

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
AUGUST 20, 2024  
6:30 P.M.  
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

1. 24-12... (APPLICANT REQUESTS TO BE POSTPONED TO 9-17-24 MEETING) A request by Michael Brown, 4655 Sweet Road, for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow solar panels to remain.

NEW BUSINESS:

2. 24-24...A request by Earl and Silvana Long, 1342 Elmhurst Dr., for a waterfront variance and any other variances deemed necessary by the Zoning Board of Appeals, to add a roof to an existing patio.
3. 24-25...A request by Gerard Delyon, 7022 Lindsey Dr., for a side yard setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to construct a detached accessory building.

Administrative Business:

1. Approval of minutes for the July 23, 2024 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>
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**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 24-24 Meeting Date: August 20, 2024 @ 6:30 pm in Boardroom  
 PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Earl and Silvana Long Email: elong@comcast.net  
Property Address: 1342 Elmhurst Drive Phone: (248) 961-1601  
Present Zoning: LRR Tax Code: 4711-10-202-038

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: We are requesting a variance to put a roof over a portion of an existing deck so that we can sit out and enjoy the view, rain or shine, just like our neighbors along the waterfront.

**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Strict compliance would preclude the affected area of the property from being used or enjoyed similarly to neighboring and surrounding properties. Both neighboring properties and a multitude of surrounding properties enjoy similar or greater awning coverage, so granting the variance would render substantial justice to the property owner without impeding others.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The waterfront encroaches into the property further than the neighbors due to the existing location of the seawall and concrete slab, both of which existed prior to the property owners' ownership and have been there for 30-40 years. The seawall cannot be removed because it is connected to the neighbors' seawalls.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Granting this variance will have no substantive impact on the supply of light or air to the adjacent properties. It will not cause increased traffic congestion, nor will it increase any fire risk. It will not endanger public safety, comfort, morals, or welfare.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Granting the variance will have no negative impact on the development, continued use, or value of any properties in the surrounding area. We have spoken with our neighbors, all of whom are in support of this variance being granted.

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: July 17, 2024 Signature: Earl Long Jr.



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** June 11, 2018  
  
**RE:** ZBA 24-24

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

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### STAFF REPORT

**File Number:** ZBA# 24-24  
**Site Address:** 1342 Elmhurst Drive  
**Parcel Number:** 4711-10-202-038  
**Parcel Size:** .278 Acres  
**Applicant:** Earl and Silvana Long, 1342 Elmhurst Drive, Howell  
**Property Owner:** Same as Applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a waterfront yard variance to construct a roof over an existing concrete patio.  
**Zoning and Existing Use:** LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.  
**Other:** Public hearing was published in the Livingston County Press and Argus on Sunday August 4, 2024 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 2018.
- The parcel is serviced by well and public sewer.
- See Assessing Record Card.

The proposed project is to add a roof structure to an existing patio. In order to construct the roof as proposed, the applicant is required to obtain a waterfront variance. The Township Assessor has verified that the applicant does own to the water's edge. The applicant is not proposing to encroach any closer into the side yard setback than the current home. The Applicant should clarify if this structure is going to be enclosed due to a note on the construction plan about future privacy screening.

### **SUPERVISOR**

Bill Rogers

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

### **MANAGER**

Kelly VanMarter

## Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

### **Table 3.04.01 (LRR District):**

<b>Required Waterfront Yard Setback:</b>	<b>97.25'</b>
<b>Proposed Waterfront Yard Setback:</b>	<b>87.70'</b>
<b>Proposed Variance Amount:</b>	<b>9.55'</b>

### **Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the waterfront setback would prevent the applicant from constructing the roof structure over an existing concrete patio as proposed. The applicant is proposing to not encroach any further into side yard setbacks as the current house location. There are other homes in the vicinity with reduced waterfront yard setbacks that would support substantial justice.
  
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is that the waterfront encroaches into the property more so than some of the other homes in the area. This is due to an existing seawall and concrete slab which existed prior to this home being built. It is connected to neighboring seawalls and cannot be removed. Granting of the variance would make it consistent with many homes in the vicinity. The need for the variance is not self-created.
  
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
  
- (d) Impact on Surrounding Neighborhood** - The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Structure must be guttered with downspouts.
2. If at anytime applicants intend to enclose this structure, permits will be required.



# Genoa Township

2911 Dorr Road, Brighton, Michigan 48116  
 Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

## Planning & Zoning

**P18-155**

Issued: 08/08/2018  
 Expires: 08/08/2019

**Residential Land Use**

**Residential New Construction**

LOCATION	OWNER	APPLICANT
1342 ELMHURST DR 4711-10-202-038 <b>Zoning: LRR</b>	LONG FAMILY TRUST 1907 CORDERO CT LADY LAKE FL 32159 <b>Phone:</b> <b>E-mail:</b>	LONG FAMILY TRUST 1907 CORDERO CT LADY LAKE FL 32159 <b>Phone:</b> <b>E-mail:</b>

**Work Description:** Construct a 4025 Sq.ft. single family home with attached garage.

**PROJECT INFORMATION:**

Front Setback: 36.3	Side Setback: 12	Water/Wetland:
Least Side Setback: 5.1	Rear Setback: 102.5	Distance from Principal Structure:
Construction Value: \$600,000.00	Height:	Total Square Feet: 4,025
ZBA Approval: n/a		

**Comments/  
Conditions:**



Permit Item	Permit Fee	Fee Basis	Item Total
Residential New Construction/Addition	Permit Fee	1.00	75.00

Fee Total:	\$75.00
Amount Paid:	\$75.00
<b>Balance Due:</b>	<b>\$0.00</b>

Issuance of this permit confirms the applicants certification that all information and data attached to and made part of this permit are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this permit as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This permit authorizes on-site inspections by an official representative of Genoa Charter Township. This permit is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.

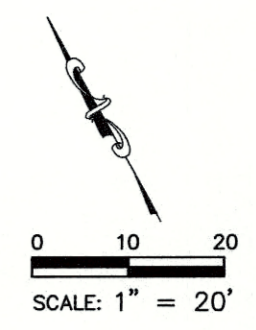
# SITE PLAN

**LEGAL DESCRIPTION:**

Lot 13 and a portion of Outlot D, Plat of Elmhurst Subdivision, a part of the Southeast 1/4 of the Northeast 1/4, Section 10, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, recorded as Document No. 19973 in Liber 2, Page 40, Livingston County Records, being more particularly described as Beginning at the Northwest Corner of said Lot 13; thence S 65°30'00" E along the Northerly Line of said Lot 13 a distance of 50.00 feet to the Northeast Corner of said Lot 13; thence S 29°26'59" W along the Easterly Line of said Lot 13 a distance of 153.20 feet to the Southeast Corner of said Lot; thence continuing S 29°26'59" W a distance of 54.48 feet to a found capped iron, said point being Point A; thence continuing S 29°26'59" W approximately 2 feet to the water's edge, being the northerly shore of Lake Chemung; thence Northwesterly along said shoreline of Lake Chemung approximately 101 feet to a point, said point being S 35°19'19" W, approximately 17 feet from a found iron pipe, said pipe being Point "B", said Point "B" being N 58°23'50" E a distance of 97.00 feet from said Point "A"; thence continuing from said Point "B" N 35°19'19" E a distance of 42.86 feet to a found iron pipe, said pipe being the Southwest Corner of said Lot 13; thence N 44°40'58" E along the West Line of said Lot a distance of 162.80 feet (recorded as 162.50 feet) to the Point of Beginning. Containing 0.37 Acres (more or less) and subject to all easement and encumbrances of record.

**NOTES:**

1. NO TITLEWORK WAS SUPPLIED BY CLIENT THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.
2. BEARING BASIS:  
HELD BEARING BASIS AS PER PLAT OF RECORD.
3. THE 100 YEAR FLOOD ZONE = 961.1' (NAVD 1988 DATUM)
4. ALL ELEVATIONS ARE SHOWN IN NAVD 1988 DATUM.



**BENCHMARK:**  
SITE BENCHMARK  
MAG NAIL IN NORTH SIDE OF  
ELMHURST DRIVE  
ELEV. = 962.24'  
(NAVD 1988 DATUM)

**ZONING CHART**  
ZONED: LRR (LAKESHORE  
RESORT RESIDENTIAL)  
  
SETBACKS  
ROAD = 35' MIN.  
SIDE = 12' MIN. (ONE SIDE)  
SIDE = 5' MIN. (OTHER SIDE)  
WATER = 97.5' (PER TOWNSHIP)  
  
Minimum 2 sides must be no  
less than 15' total

**GENOA TOWNSHIP**  
  
**Amy Ruthig**  
  
**8-8-18**  
  
**PERMIT APPROVED**

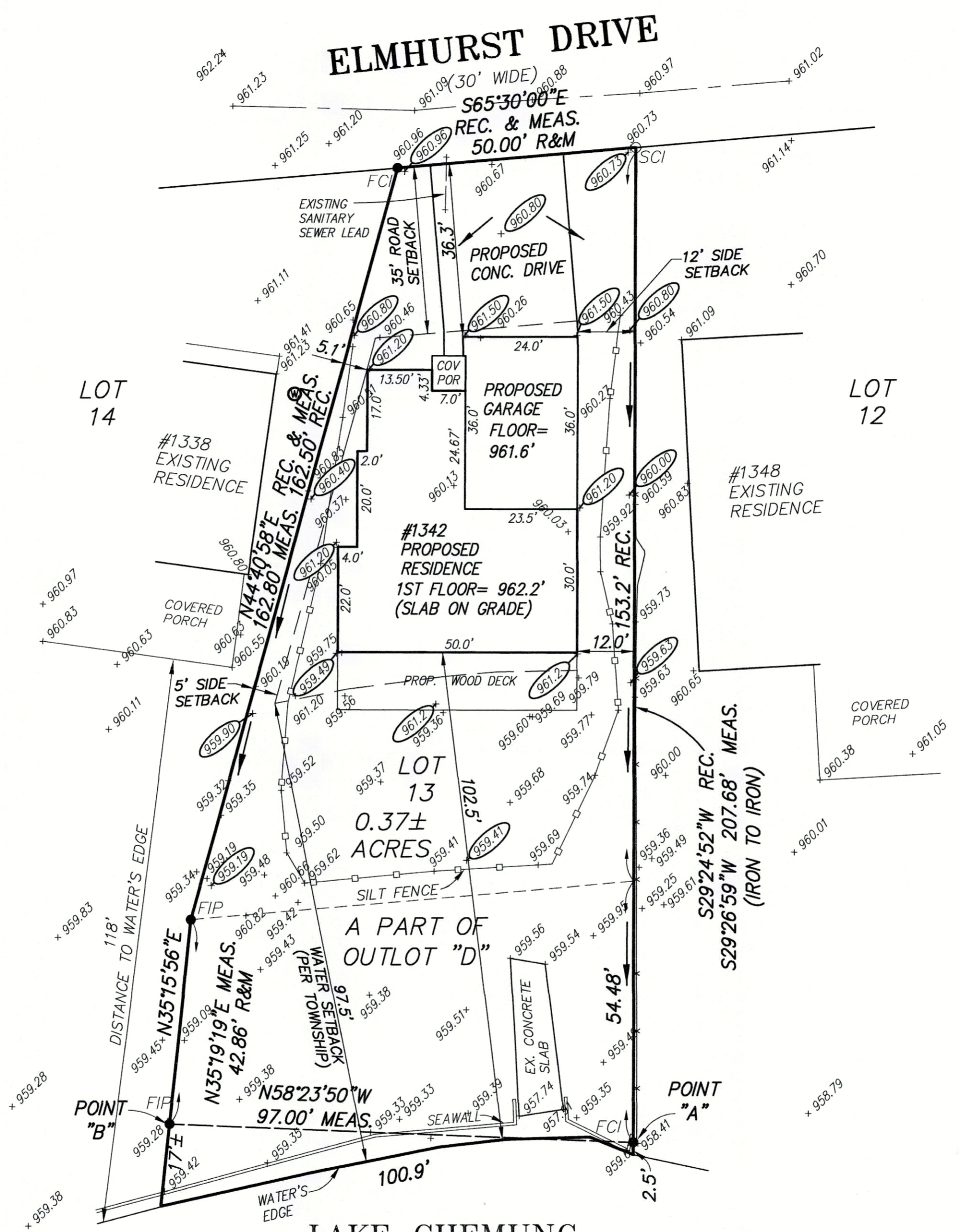
See Conditions



KAROL L. GROVE  
LICENSED PROFESSIONAL SURVEYOR #39075

**ALPINE** 11590 HIGHLAND ROAD, SUITE #100  
Land Surveying, Inc. HARTLAND, MI 48353  
PHONE: 810-207-8050, FAX: 419-735-0171

FIELD:	KG	DATE:	JULY 5, 2018
DRAWN:	DS	JOB NO:	17-3289
CHECKED:	KG	SHEET:	1 OF 1
REVISION:	REV HOUSE & TITLEBLOCK JULY 20, 2018		



**LEGEND**

- - IRON SET
- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIP - FOUND IRON PIPE
- SCI - SET CAPPED IRON
- P.O.B. - POINT OF BEGINNING
- - EXISTING WELL
- - EXISTING ELEVATION
- - PROPOSED ELEVATION
- - PROPOSED DRAINAGE
- - SILT FENCE
- - 100 YEAR FLOOD PLAIN LINE 961.1' (NAVD 88 DATUM)

**UTILITY WARNING**

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED.  
A MINIMUM OF 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DIG AND HAVE ALL UNDERGROUND UTILITIES EXPOSED BEFORE ANY WORK BEGINS.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.





S Hughes Rd

Woodland Springs Dr

S Hughes Rd

Elmhurst Dr

1370

1366

1362

1358

1369

1353

1350

1315

1348

1339

1342

1300

1338

1314

1330

Sat Apr 6 2024

Nearmap



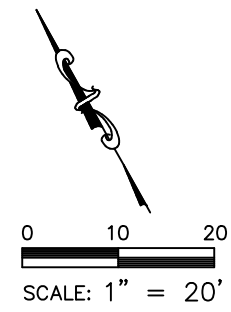
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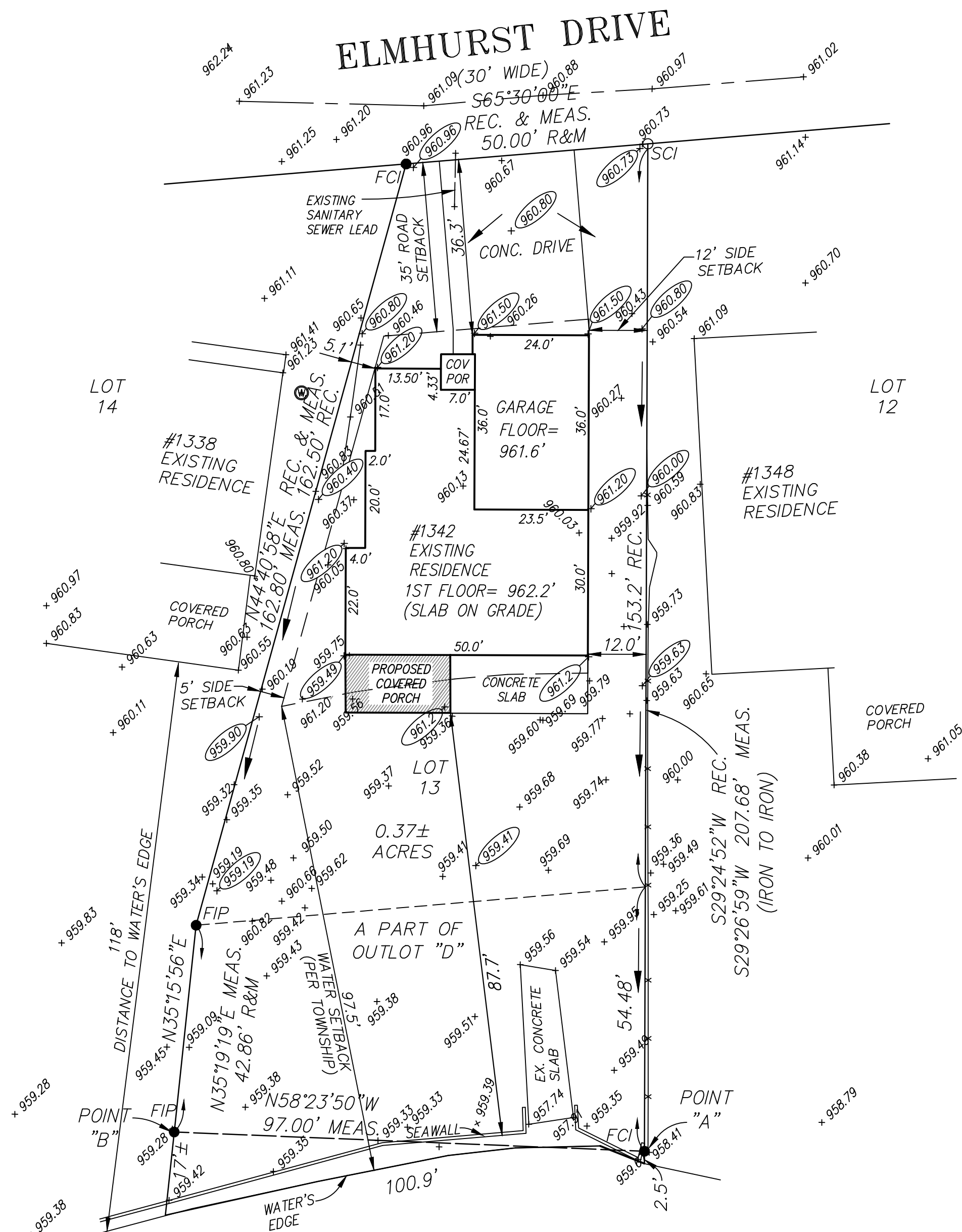
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## ZONING CHART

ZONED: LRR (LAKESHORE  
RESORT RESIDENTIAL)

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ROAD = 35' MIN.  
SIDE = 12' MIN. (ONE SIDE)  
SIDE = 5' MIN. (OTHER SIDE)  
WATER = 97.5' (PER TOWNSHIP)  
Minimum 2 sides must be no  
less than 15' total



## LAKE CHEMUNG

TOP OF WATER  
ELEV. = 957.62

## LEGEND

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- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIP - FOUND IRON PIPE
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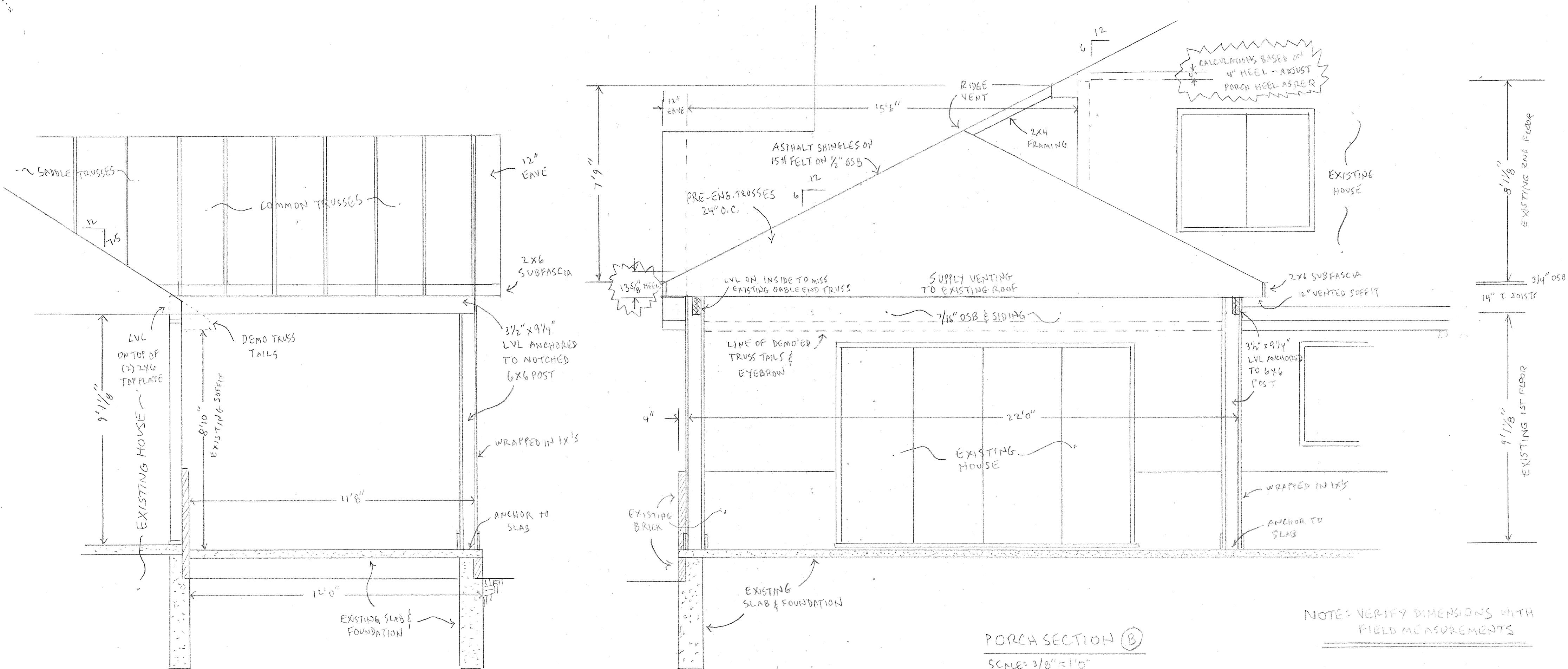
7-16-2024 NOTE:  
OBSERVED HIGH WATER AT THIS TIME. WATER IS CURRENTLY AT SEAWALL. SEE DISTANCE FROM PROPOSED COVERED PORCH AREA TO EXISTING SEAWALL.



*Karol L. Grove*  
KAROL L. GROVE  
LICENSED PROFESSIONAL SURVEYOR #39075

**ALPINE** Land Surveying, Inc.  
376 BEECH FARM CIRCLE #1293  
HIGHLAND, MI 48357  
PHONE: 810-207-8050

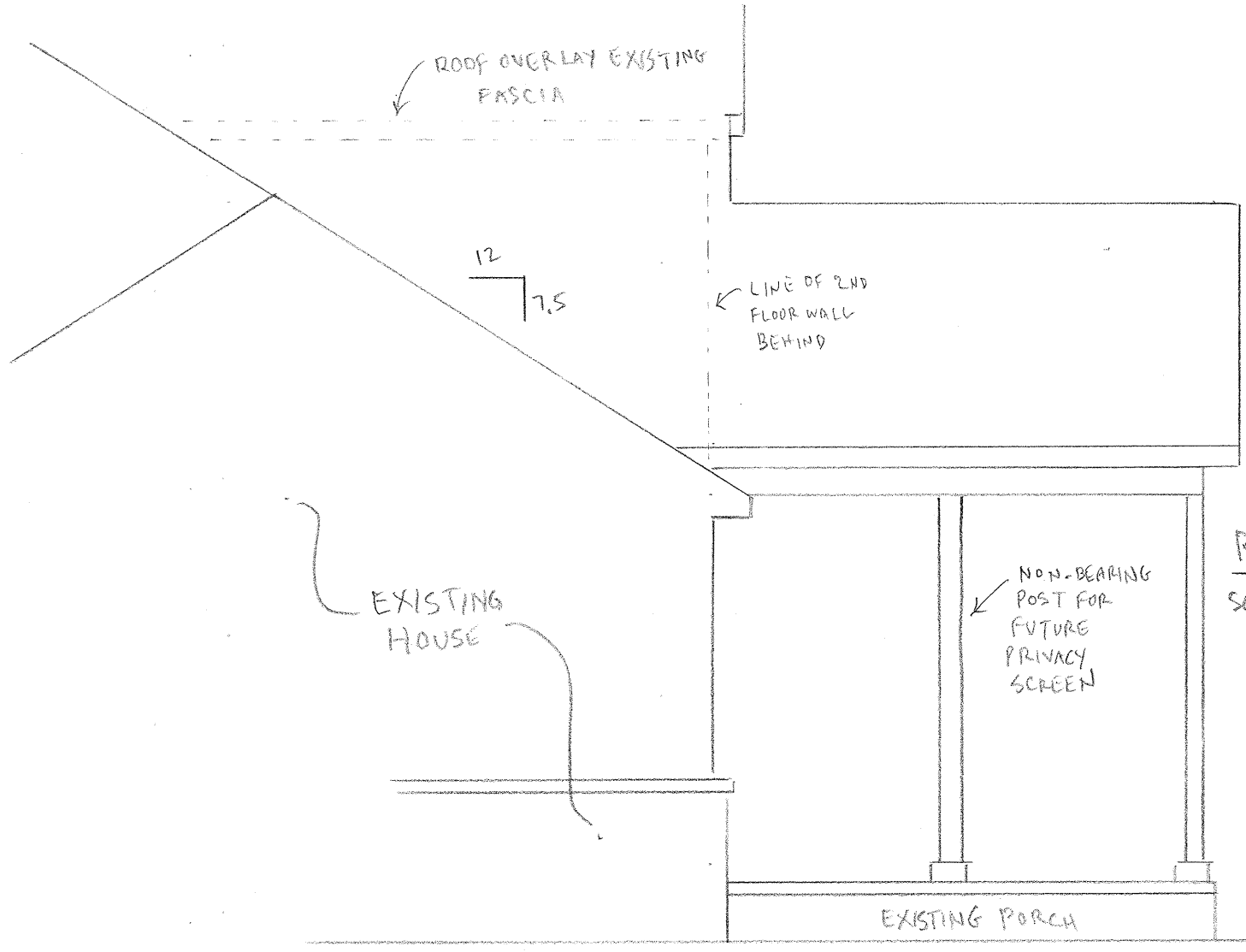
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REVISION:	REV HOUSE & TITLEBLOCK JULY 20, 2018 ADDED PROPOSED PORCH JULY 16, 2024		



**PORCH SECTION (A)**  
SCALE: 3/8" = 1'0"

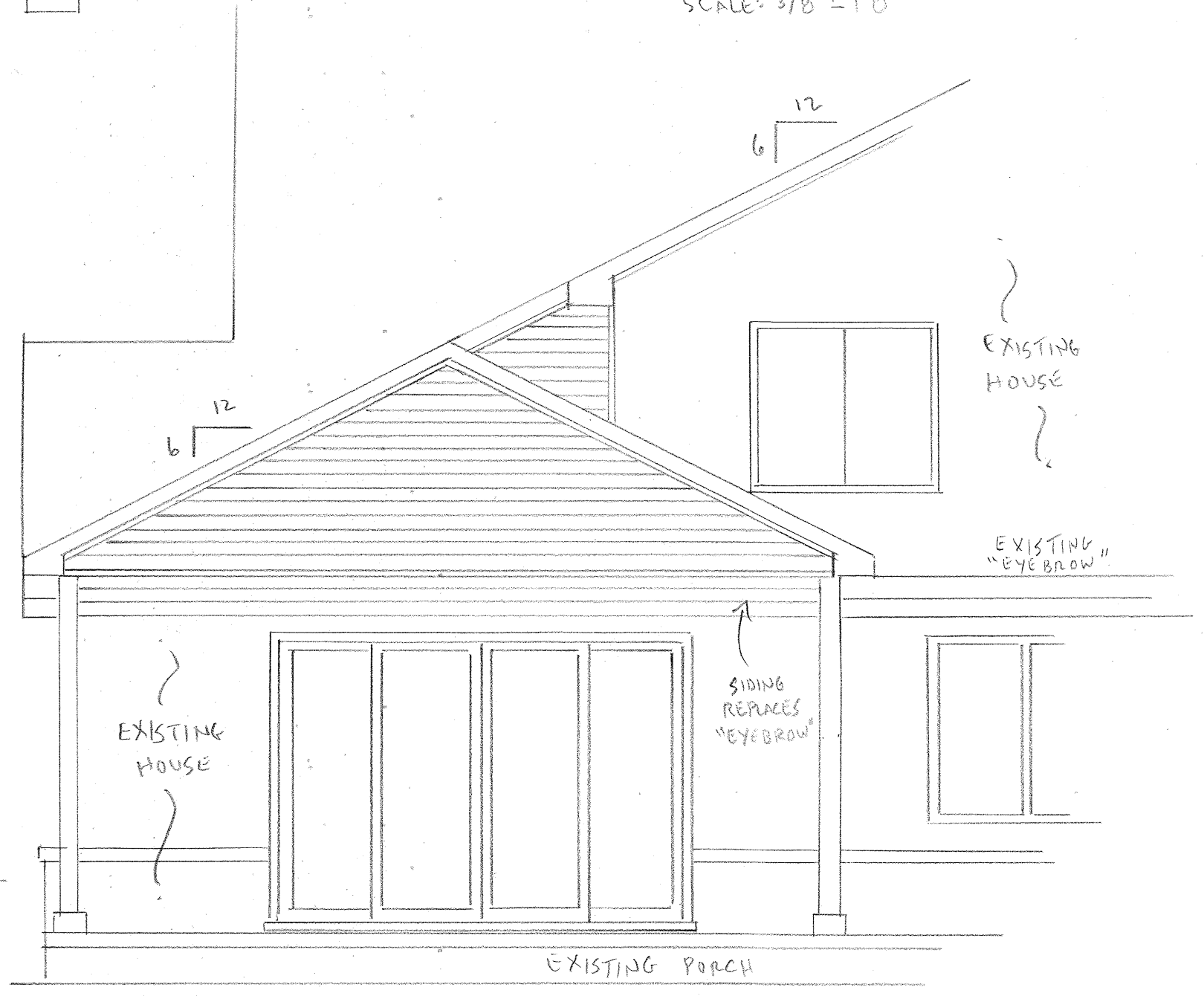
**PORCH SECTION (B)**  
SCALE: 3/8" = 1'0"

NOTE: VERIFY DIMENSIONS WITH FIELD MEASUREMENTS

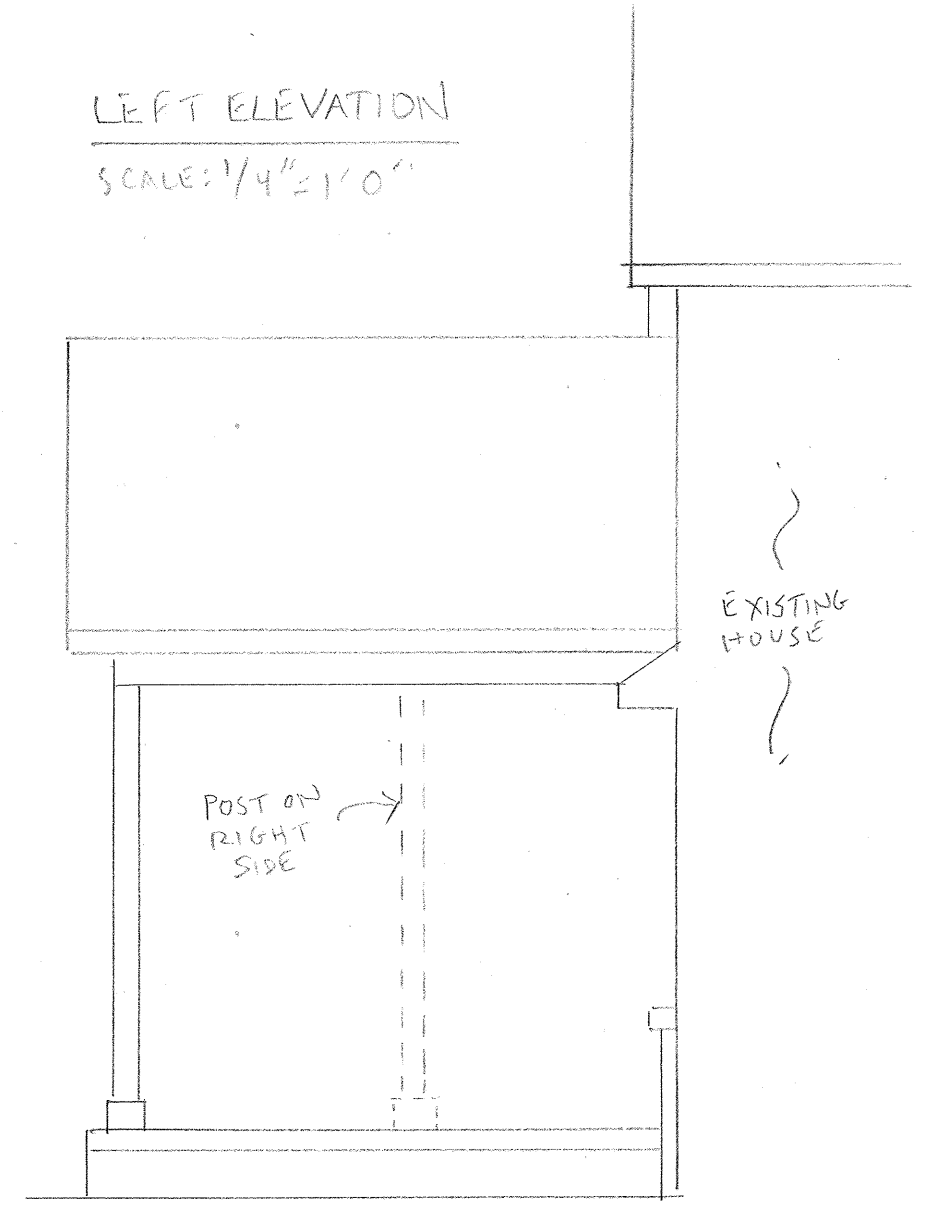


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'0"

**REAR (LAKE) ELEVATION**  
SCALE: 1/4" = 1'0"

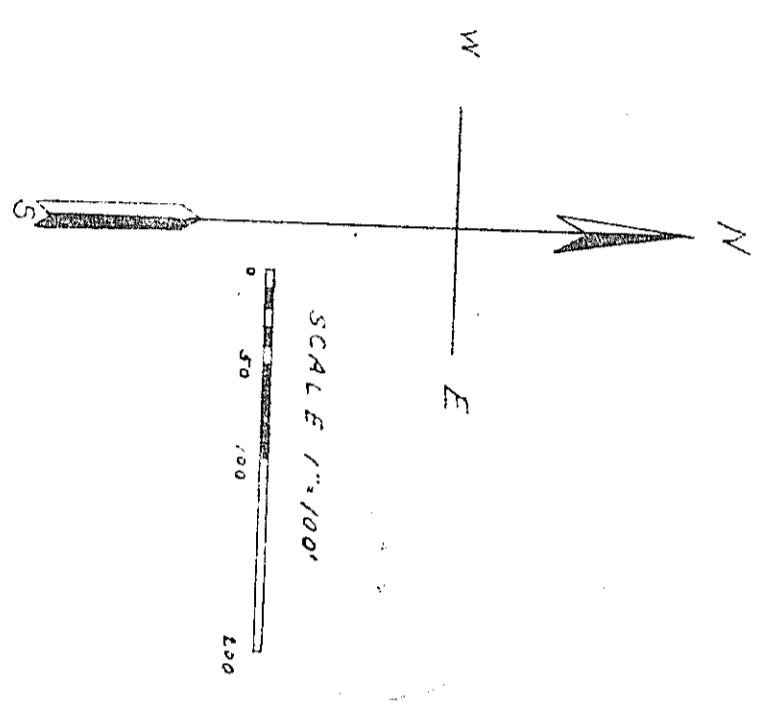


**LEFT ELEVATION**  
SCALE: 1/4" = 1'0"



NE Corner Lot 50  
McNamaras Sub

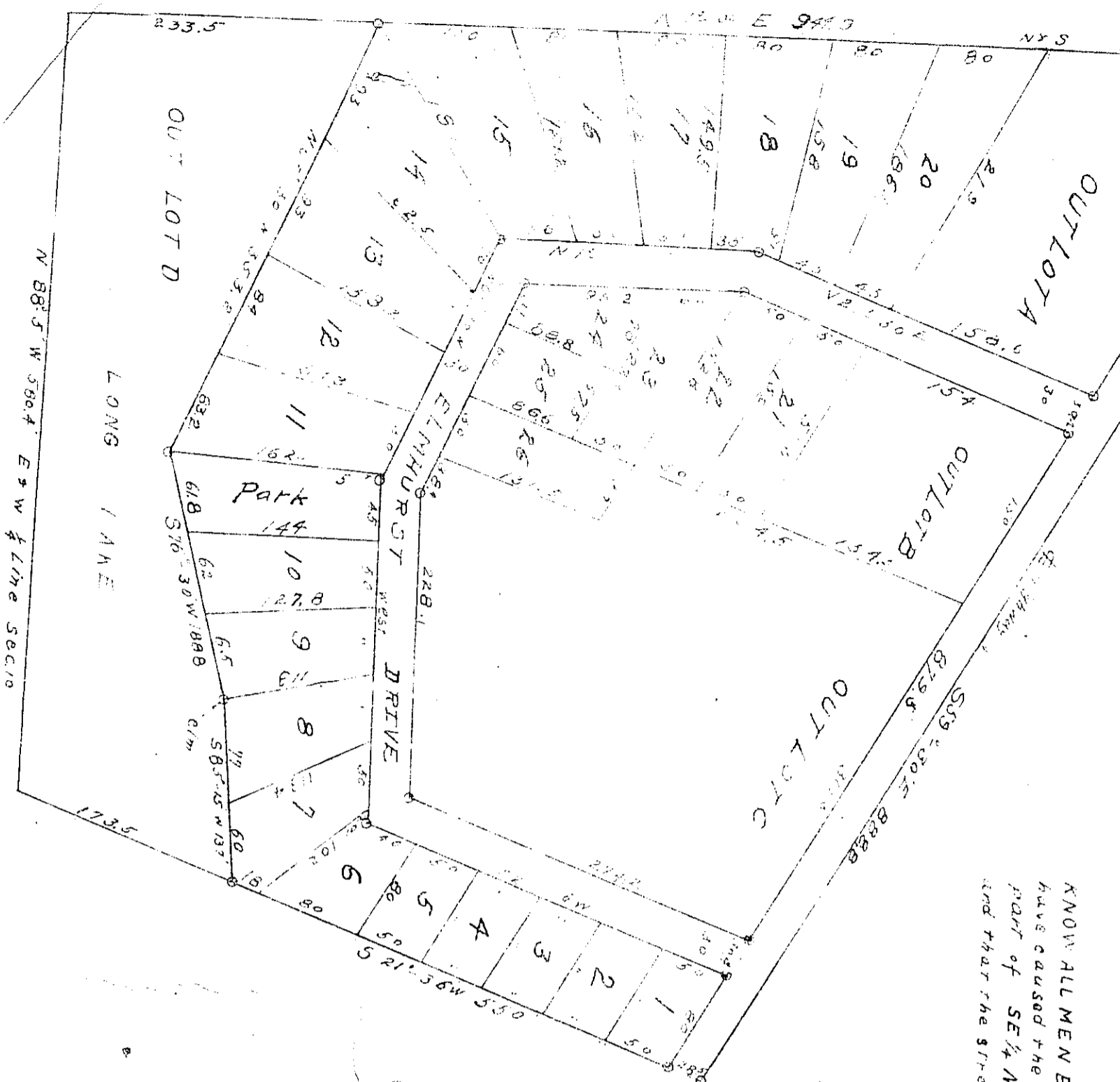
Place of Beginning



A subdivision of a part of SE 1/4 NE 1/4 Sec 10, T2N R3E  
Township of Genoa, Livingston Co. Michigan.

# ELMHURST

PLAT OF



KNOW ALL MEN BY THESE PRESENTS, That we William E. Robb and Agnes E. Robb his wife, as proprietors of a part of SE 1/4 NE 1/4 Sec 10, T2N R3E Township of Genoa, Livingston Co. Michigan, and that the streets, roads and park as shown on said plat are hereby dedicated to the use of the lot owners.

Signed and Sealed in the Presence of  
May 27, 1924  
Walter J. [Signature] (L.S.)  
William E. Robb (L.S.)  
Agnes E. Robb (L.S.)

STATE OF MICHIGAN, County of Livingston ss:

On this 22nd day of May, 1924 before me, a Notary Public in and for said county, personally came the above named William E. Robb and Agnes E. Robb his wife, known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.  
My Commission expires Oct 4, 1924.  
Notary Public Clay W. Gordon  
Livingston Co., Mich.

Thereby certify that the plat hereon delineated is a correct one, and that permanent monuments, consisting of 3" iron rods 16" long have been planted at points marked thus O as hereon shown at all angles in the boundaries of the land platted, and at all intersections of streets, or streets and alleys.

This plat was approved by the Township Board of the Township of Genoa at a meeting held June 11, 1924 and that the taxes for said period of five years are paid, as shown by the records of this office.

Office of County Treasurer Livingston County.  
Thereby certify, that there are no tax liens or titles held by individuals on said lands, for the five years preceding the 30th day of June 1924 and that the taxes for said period of five years are paid, as shown by the records of this office.  
Clay W. Gordon Registered Surveyor.  
Walter J. [Signature] Clerk.  
Walter J. [Signature] Judge of Probate.  
Walter J. [Signature] County Clerk.  
Walter J. [Signature] County Treasurer.  
Walter J. [Signature] County Treasurer.

DESCRIPTION  
The land embraced in the annexed Plat of "ELMHURST", a subdivision of a part of SE 1/4 NE 1/4 Sec 10, T2N R3E Township of Genoa, Livingston Co. Michigan, is described as follows: Beginning at a point on N 88° 5' W 580.4' E line NE 1/4 Sec 10, 29.5 feet North of the NE corner of Lot 50 "McNamaras Subdivision" on Long Lake, running thence as follows: S 59° 30' E 888.8' along E of Highway 1, S 27° 36' W 550' to E 1/4 Line Sec 10; N 88° 5' W 580.4' along 1/4 line to N 1/4 Sec 10, N 1/4 E 1/4 Line along said 1/4 line to beginning.

RECORDED  
LIVINGSTON COUNTY  
Received for record the 2nd  
day of July A. D. 1924 at 11  
o'clock A. M. and recorded in Ledger  
Book of Plats  
Page 40  
Walter J. [Signature]  
Recorder

Clay W. Gordon  
1924

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
HASKINS TERRY & LUANN TRUS	LONG FAMILY TRUST	280,000	06/14/2018	WD	03-ARM'S LENGTH	2018R-016004	BUYER/SELLER	100.0				
BUTCHER, DAVID & GEORGIA T	BUTCHER DAVID & GEORGIA RI	1	09/28/2017	QC	14-INTO/OUT OF TRUST	2017R-028585	BUYER/SELLER	0.0				
BUTCHER DAVID & GEORGIA RI	HASKINS TERRY & LUANN	200,000	09/28/2017	WD	03-ARM'S LENGTH	2017R-028587	BUYER/SELLER	100.0				
HASKINS TERRY & LUANN	HASKINS TERRY & LUANN TRUS	1	09/28/2017	QC	14-INTO/OUT OF TRUST	2017R-028589	BUYER/SELLER	0.0				
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status		
1342 ELMHURST DR		School: HOWELL PUBLIC SCHOOLS		Residential New Constructi		08/08/2018		P18-155	7 FINAL BL			
Owner's Name/Address		P.R.E. 100% 03/11/2020		AMENDED		11/01/2017		A17-195	NO START			
LONG FAMILY TRUST 1342 ELMHURST DR HOWELL MI 48843-9139		MAP #: V24-24		HOME		10/25/2017		P17-195	NO START			
Tax Description		2025 Est TCV 919,063 TCV/TFA: 288.02		DEMO		10/02/2017		W17-130	NO START			
SEC. 10 T2N, R5E, ELMHURST LOT 13 COMB.AND ALSO A PORTION OF OUTLOT D OF ELMHURST COMM AT SE COR OF LOT 13 OF SAID ELMHURST TH S29*24'52"W 54.30 FT TH NW'LY 101.7 FT TH N35*15'56"E 57.05 FT TH S65*30'00"E 93.03 FT ALONG THE S'LY LINE OF SAID LOT 13 TO POB FR 013 & 032 10/01 CORR LEGAL 9/11 Comments/Influences		X Improved		Vacant		Land Value Estimates for Land Table 4300.4300 LAKE CHEMUNG LAKE FRONT						
		Public Improvements		* Factors *								
		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
		Gravel Road		A LAKEFRONT	40.00	130.00	1.0000	1.0000	3400	100		136,000
		Paved Road		B SURPLUS LF	53.00	130.00	1.0000	1.0000	2300	100		121,900
		Storm Sewer		93 Actual Front Feet, 0.28 Total Acres Total Est. Land Value = 257,900								
		Sidewalk										
		Water										
		Sewer										
		Electric										
		Gas										
		Curb										
		Street Lights										
		Standard Utilities										
		Underground Utils.										
		Topography of Site										
		Level										
		Rolling										
		Low										
		High										
		Landscaped										
		Swamp										
		Wooded										
		Pond										
		X Waterfront										
		Ravine										
		Wetland										
		Flood Plain										
		X REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
		Who	When	What	2025	129,000	330,500	459,500		422,037C		
		IG	07/18/2019	INSPECTED	2024	99,800	331,600	431,400		422,037C		
		JB	11/14/2018	INSPECTED	2023	99,800	309,200	409,000		401,940C		
		JB	10/19/2017	INSPECTED	2022	99,100	283,700	382,800		382,800S		

4711-10-202-038 07/18/2019  
The Equalizer. Copyright (c) 1999 - 2009.  
Licensed To: Township of Genoa, County of Livingston, Michigan



Building Type		(3) Roof (cont.)			(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage																																																																																																																								
X	Single Family Mobile Home Town Home Duplex A-Frame	X	Eavestrough	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 1 Direct-Vented Gas	Area 49 600	Type CCP (1 Story) CPP	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 864 % Good: 0 Storage Area: 864 No Conc. Floor: 0																																																																																																																									
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling						Class: C Effec. Age: 3 Floor Area: 3,191 Total Base New : 474,994 Total Depr Cost: 460,741 Estimated T.C.V: 661,163			E.C.F. X 1.435			Bsmnt Garage: Carport Area: Roof:																																																																																																																								
Building Style: C		X	Drywall Paneled		Plaster Wood T&G	Trim & Decoration																																																																																																																																			
Yr Built 2018	Remodeled 0	Ex	X	Ord		Min	Size of Closets																																																																																																																																		
Condition: Good		Lg	X	Ord		Small																																																																																																																																			
Room List		Doors:		Solid	X	H.C.	Central Air Wood Furnace																																																																																																																																		
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors			(12) Electric																																																																																																																																				
(1) Exterior		Kitchen: Other: Other:			0 Amps Service			No./Qual. of Fixtures																																																																																																																																	
	Wood/Shingle Aluminum/Vinyl Brick X Vinyl X Insulation	(6) Ceilings			No. of Elec. Outlets																																																																																																																																				
(2) Windows					(13) Plumbing																																																																																																																																				
X	Many Avg. Few	X	Large Avg. Small	Basement: 0 S.F. Crawl: 2037 S.F. Slab: 0 S.F. Height to Joists: 0.0			Average Fixture(s) 3 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																																																																																																																																		
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement			(14) Water/Sewer																																																																																																																																				
(3) Roof		Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)			1 Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic																																																																																																																																				
X	Gable Hip Flat		Gambrel Mansard Shed	(10) Floor Support			Lump Sum Items:																																																																																																																																		
Chimney:		Joists: Unsupported Len: Cntr.Sup:																																																																																																																																							
<p>Cost Est. for Res. Bldg: 1 Single Family C  (11) Heating System: Forced Heat &amp; Cool  Ground Area = 2037 SF Floor Area = 3191 SF.  Phy/Ab.Phy/Func/Econ/Comb. % Good=97/100/100/100/97  Building Areas</p> <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr><td>1 Story</td><td>Siding</td><td>Crawl Space</td><td>192</td><td></td><td></td></tr> <tr><td>1 Story</td><td>Siding</td><td>Crawl Space</td><td>244</td><td></td><td></td></tr> <tr><td>1 Story</td><td>Siding</td><td>Crawl Space</td><td>501</td><td></td><td></td></tr> <tr><td>1 Story</td><td>Siding</td><td>Crawl Space</td><td>330</td><td></td><td></td></tr> <tr><td>2 Story</td><td>Siding</td><td>Crawl Space</td><td>770</td><td></td><td></td></tr> <tr><td>1 Story</td><td>Siding</td><td>Overhang</td><td>144</td><td></td><td></td></tr> <tr><td>1 Story</td><td>Siding</td><td>Overhang</td><td>240</td><td></td><td></td></tr> <tr><td colspan="3">Total:</td><td></td><td>381,989</td><td>370,528</td></tr> </tbody> </table> <p>Other Additions/Adjustments</p> <table border="1"> <thead> <tr> <th></th> <th></th> <th></th> <th></th> <th></th> <th></th> </tr> </thead> <tbody> <tr><td>Exterior</td><td>Stone Veneer</td><td>276</td><td>10,850</td><td>10,524</td><td></td></tr> <tr><td>Plumbing</td><td>3 Fixture Bath</td><td>2</td><td>9,621</td><td>9,332</td><td></td></tr> <tr><td></td><td>Extra Sink</td><td>2</td><td>1,967</td><td>1,908</td><td></td></tr> <tr><td>Porches</td><td>CCP (1 Story)</td><td>49</td><td>1,530</td><td>1,484</td><td></td></tr> <tr><td></td><td>CPP</td><td>600</td><td>9,552</td><td>9,265</td><td></td></tr> <tr><td>Garages</td><td colspan="5">Class: C Exterior: Siding Foundation: 42 Inch (Unfinished)</td></tr> <tr><td></td><td>Base Cost</td><td>864</td><td>34,171</td><td>33,146</td><td></td></tr> <tr><td></td><td>Storage Over Garage</td><td>864</td><td>12,295</td><td>11,926</td><td></td></tr> <tr><td></td><td>Common Wall: 1 Wall</td><td>1</td><td>-2,781</td><td>-2,698</td><td></td></tr> <tr><td>Water/Sewer</td><td>Public Sewer</td><td>1</td><td>1,547</td><td>1,501</td><td></td></tr> </tbody> </table> <p>&lt;&lt;&lt;&lt;&lt; Calculations too long. See Valuation printout for complete pricing. &gt;&gt;&gt;&gt;&gt;</p>																		Stories	Exterior	Foundation	Size	Cost New	Depr. Cost	1 Story	Siding	Crawl Space	192			1 Story	Siding	Crawl Space	244			1 Story	Siding	Crawl Space	501			1 Story	Siding	Crawl Space	330			2 Story	Siding	Crawl Space	770			1 Story	Siding	Overhang	144			1 Story	Siding	Overhang	240			Total:				381,989	370,528							Exterior	Stone Veneer	276	10,850	10,524		Plumbing	3 Fixture Bath	2	9,621	9,332			Extra Sink	2	1,967	1,908		Porches	CCP (1 Story)	49	1,530	1,484			CPP	600	9,552	9,265		Garages	Class: C Exterior: Siding Foundation: 42 Inch (Unfinished)						Base Cost	864	34,171	33,146			Storage Over Garage	864	12,295	11,926			Common Wall: 1 Wall	1	-2,781	-2,698		Water/Sewer	Public Sewer	1	1,547	1,501	
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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-25

Meeting Date: August 20, 2024 @ 6:30 pm  
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential

| \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: GERARD DELYON Email: GDELTON@SBC GLOBAL.NET

Property Address: 7022 LINDSEY DRIVE Phone: 517-304-2559

Present Zoning: RESIDENTIAL Tax Code: 11-13-101-001

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

- Variance requested/intended property modifications: BUILD A STEEL GARAGE/STORAGE BUILDING  
ON My Property Behind My House

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

IT WOULD ALLOW ME TO HAVE A MUCH NEEDED STORAGE GARAGE ON MY PROPERTY IN THE ONLY PLACE IT WOULD WORK DUE TO TOPOGRAPHY

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

DUE TO THE TOPOGRAPHY OF MY LAND THIS IS THE ONLY SPOT THAT WORKS FOR MY STORAGE SHED

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

NO EFFECT

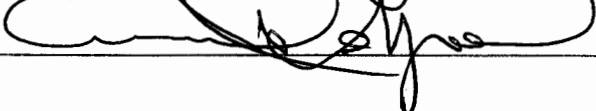
Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

NONE

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 7-19-24 Signature: 



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** August 13, 2024  
**RE:** ZBA 24-25

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

---

### STAFF REPORT

**File Number:** ZBA# 24-25  
**Site Address:** 7022 Lindsey Drive  
**Parcel Number:** 4711-13-101-001  
**Parcel Size:** .970 Acres  
**Applicant:** Gerard and Jo Ann Delyon, 7022 Lindsey Drive, Brighton  
**Property Owner:** Same as Applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a front yard variance to construct a steel accessory building.  
**Zoning and Existing Use:** LDR (Low Density Residential) Single Family Dwelling located on property.  
**Other:** Public hearing was published in the Livingston County Press and Argus on Sunday August 4, 2024 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1979.
- The parcel is serviced by well and septic.
- See Assessing Record Card.

The proposed project is to construct a detached accessory building. In order to construct the accessory building as proposed, the applicant is required to obtain a front yard variance. The location of the property is on a corner lot, thus leaving the applicant with two (2) front yards. Per Article 11.04.02 Accessory Buildings are not allowed in any front yard in this particular Zoning District. The applicant should demonstrate the building is not located in the Drain Easement shown on the Plat Map.

### **SUPERVISOR**

Bill Rogers

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

### **MANAGER**

Kelly VanMarter



## **Variance Requests**

The following is the section of the Zoning Ordinance that the variance is being requested from:

### **11.04.02 Accessory Buildings**

- (a) Restrictions in Front Yard: Detached accessory buildings shall not be erected in any front yard, except as follows:
  - (1) Waterfront lots in the Lakeshore Resort Residential District, provided the front setback is not less than ten (10) feet.
  - (2) Lots of at least five (5) acres in the AG or CE District when the front setback is equal to or greater than the average setback of established buildings on adjoining lots or seventy-five (75) feet, whichever is greater, as determined by the Zoning Administrator. If both of the adjacent lots are undeveloped, then front yard accessory buildings are permitted with a minimum front yard setback of two hundred (200) feet.
  - (1) In the case of attached residential dwelling complexes, detached parking garages or carports may be permitted in the non-required front yard provided the Planning Commission approves the site plan, elevation drawings and construction materials. In reviewing such structures, the Planning Commission shall consider the impact of headlights and views from nearby public streets and adjacent properties.

### **Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would prevent the applicant from constructing the accessory building as proposed. Strict compliance with this ordinance would not unreasonably prevent the use of the property and would not offer substantial justice. Staff could not find supporting evidence that there are any other accessory buildings in the immediate area within the same zoning district.
- (b) **Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the topography of the lot. The applicant has stated that the back of the lot drops off making this the only viable spot for this accessory building. The need for the variance is not self-created however, the applicant should demonstrate this request is the least amount necessary by possibly moving the structure closer to the house.
- (c) **Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. The construction of this structure could have an impact on public safety if the site line is not maintained on Hubert Road.
- (d) **Impact on Surrounding Neighborhood** The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the

surrounding neighborhood. It is noted that not many homes in the area have accessory buildings on their lots.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The structure should be guttered with downspouts.



Sat Jun 8 2024

Imagery © 2024 Nearmap, HERE

50 ft

Nearmap



# 20' WIDE FRAME 'CARPORT STYLE' METAL BUILDING GENERICS



MANUFACTURED BY:



457 N. Broadway,  
Joshua, TX 76058  
1-866-730-9865

ENGINEERED BY:



**A&A ENGINEERING**  
CIVIL • STRUCTURAL

### DRAWING INFORMATION

PROJECT: 20' Wide  
LOCATION: STATE OF MICHIGAN  
PROJECT NO.: 033-24-0434  
SHEET TITLE:  
**COVER SHEET**  
SHEET NO.: 1 / 11

CHECKED BY: OAA DATE: 1/25/24

### LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.  
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



STAMP EXPIRY: **MAR 24 2026**

DATE SIGNED: **FEB 23 2024**

### SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR A VARIETY OF PRE-FAB METAL BUILDINGS PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES.
2. DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.
3. DOES NOT PROVIDE ANY DOOR OR WINDOW DESIGN INFORMATION. THOSE SHALL BE ADDRESSED BY DOOR AND WINDOW MANUFACTURER.
4. THESE DOCUMENT SHALL NOT BE USED TO PERMIT OR JUSTIFY DESIGN OF AS-BUILT / EXISTING STRUCTURES OR BUILDINGS BUILT WITHOUT A PERMIT.

### GENERAL DESIGN NOTES

1. THESE STRUCTURES ARE DESIGNED AS **RISK CATEGORY I (NON-HABITABLE)**, UTILITY / STORAGE / PRIVATE GARAGE / SHED TYPE BUILDINGS - THAT ONLY DESIGNED TO RESIST THE DEAD LOADS, LIVE LOADS, AND WIND LOADS LISTED UNDER "STRUCTURAL DESIGN CRITERIA". ANY ADDITIONAL LOADINGS WITHOUT RE-DESIGN OR ENGINEERING CONSULTATION SHALL NOT BE PERMITTED.
2. ALL MATERIALS IDENTIFIED BY A MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
3. ALL WELDED CONNECTIONS SHALL BE SHOP WELDED CONNECTIONS. **FIELD WELDING IS NOT PERMITTED NOR REQUIRED.**
4. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE:  
ASTM A500 GRADE C OR EQUAL:  
**Fy = 50 KSI Fu = 65 KSI**
5. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

### STRUCTURAL DESIGN CRITERIA

ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PREVAILING CODES LISTED BELOW AND ALL APPLICABLE LOCAL REQUIREMENTS.

PREVAILING CODE:	MBC 2015
MINIMUM DESIGN STANDARD:	ASCE 7-10
OCCUPANCY GROUP:	U (CARPORT / UTILITY / GARAGE / SHED) V - B
CONSTRUCTION TYPE:	V - B
RISK CATEGORY:	<b>I (NON-HABITABLE)</b>
1. ROOF DEAD LOAD (D)	<b>2.0 PSF (COLLATERAL)</b>
2. ROOF LIVE LOAD (Lr)	Lr = <b>20 TO 61 PSF</b> (VARIES BASED ON FRAME SPACING AND DESIGN OPTIONS)
3. SNOW LOAD (S) GROUND SNOW LOAD	Pg = <b>20 TO 90 PSF</b> (VARIES BASED ON FRAME SPACING AND DESIGN OPTIONS) Is = 0.80 Ct = 1.2 Ce = 1.0 Cs = 1.0 Pf = <b>20 TO 61 PSF</b> Ps = <b>20 TO 61 PSF</b> Pm = <b>20</b>
IMPORTANCE FACTOR	
THERMAL FACTOR	
EXPOSURE FACTOR	
ROOF SLOPE FACTOR	
FLAT ROOF SNOW LOAD	
SLOPED ROOF SNOW LOAD	
MINIMUM SNOW LOAD	
4. WIND LOAD (W) EXPOSURE DESIGN WIND SPEED	C Vult = <b>105 TO 180 MPH</b> (VARIES BASED ON FRAME SPACING AND DESIGN OPTIONS)
5. SEISMIC LOAD (E) DESIGN CATEGORY IMPORTANCE FACTOR	C Ie = 1.00
ASD LOAD COMBINATIONS:	
1. D + (Lr OR S)	
2. D + (0.6W OR ±0.7E)	
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)	
4. 0.6D + (0.6W OR ±0.7E)	

### CONTACT INFORMATION

FOR QUESTIONS OR INFORMATION NEEDED PLEASE, CONTACT THE **METAL BUILDINGS MANUFACTURER LISTED ON PLANS**. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO ADDRESS ANY QUERIES

THE INFORMATION CONTAINED IN THESE DRAWINGS IS THE SOLE PROPERTY OF METAL BUILDING MANUFACTURER LISTED ON THIS PAGE. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF METAL BUILDING MANUFACTURER LISTED BELOW IS PROHIBITED. LEGAL ACTION WILL BE TAKEN AS NECESSARY AS A RESULT.

ANY REQUESTS, CHANGES, MODIFICATIONS REVISIONS TO INFORMATION PROVIDED IN THIS DOCUMENT WILL REQUIRE A COMPLETELY SEPARATE SITE-SPECIFIC SET OF PLANS; INQUIRE WITH THE LISTED METAL BUILDING MANUFACTURER.

### STRUCTURAL SHEET INDEX

COVER SHEET	1
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Omar Abu-Yasein

Digitally signed by Omar Abu-Yasein  
Date: 2024.02.28  
09:46:47 -05'00'

CUSTOMER INFORMATION	DESIGN LOADS	BUILDING INFORMATION	CERTIFICATION VALIDITY NOTICE
OWNER: <b>Gerard Delyon</b> ADDRESS: <b>7022 Lindsey Rd Brighton MI 48114</b>	GROUND SNOW: <b>30</b> ROOF LIVE LOAD: <b>20</b> BASIC WIND SPEED: <b>130</b>	WIDTH: <b>20</b> LENGTH: <b>25</b> HEIGHT: <b>9</b> FRAME TYPE: <input checked="" type="checkbox"/> A-FRAME <input type="checkbox"/> REGULAR <input type="checkbox"/> FULL <input type="checkbox"/> PARTIAL <input type="checkbox"/> OPEN ENCLOSURE TYPE:	DATE OF PLANS EXPIRATION: <b>FEB 23 2025</b> CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE

TABLE 2.1: MEMBER PROPERTIES

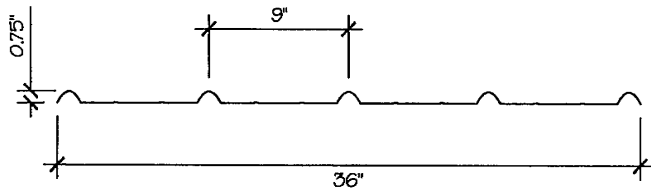
NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4" X 1" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4" X 1" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

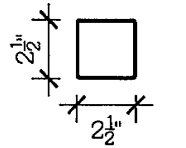
LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

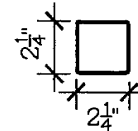
\*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.



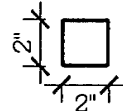
29 GA CORRUGATED SHEATHING 8  
SCALE: NTS



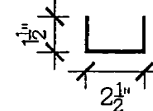
THICKNESS = 14GA  
2.5" X 2.5" 14GA TUBE 1  
SCALE: NTS



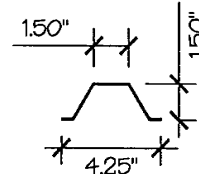
THICKNESS = 12GA  
2.25" X 2.25" 12GA TUBE 2  
SCALE: NTS



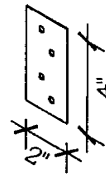
THICKNESS = 14GA  
2" X 2" 14GA TUBE 3  
SCALE: NTS



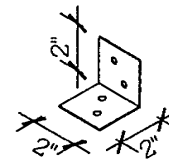
THICKNESS = 14GA  
2.5" X 1.5" 14GA CHANNEL 4  
SCALE: NTS



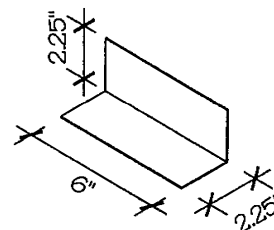
THICKNESS = 14GA / 18GA  
4.25" X 1.5" X 14GA / 18GA HAT CHANNEL 5  
SCALE: NTS



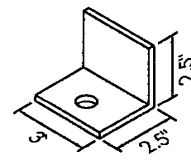
THICKNESS = 14GA  
STRAIGHT BRACKET 6  
SCALE: NTS



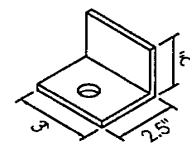
THICKNESS = 14GA  
ANGLE BRACKET 7  
SCALE: NTS



THICKNESS = 14GA  
DB BRACKET 9  
SCALE: NTS

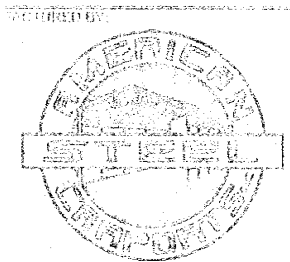


OPTION A  
1 1/2" X 2 1/2" X 3/16"  
BASE ANGLE 10  
SCALE: NTS



OPTION B  
1 1/2" X 2" X 3/16"  
SLV

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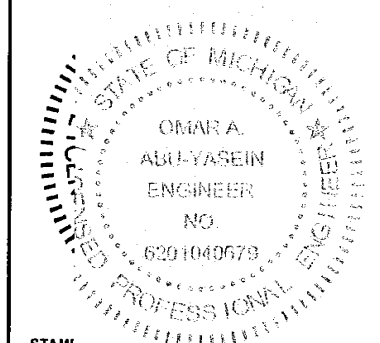
PROJECT: 20' Wide  
LOCATION: STATE OF MICHIGAN  
PROJECT NO.: 033-24-0434  
SHEET NO.: 2/11

SCHEDULES & MEMBER SECTIONS

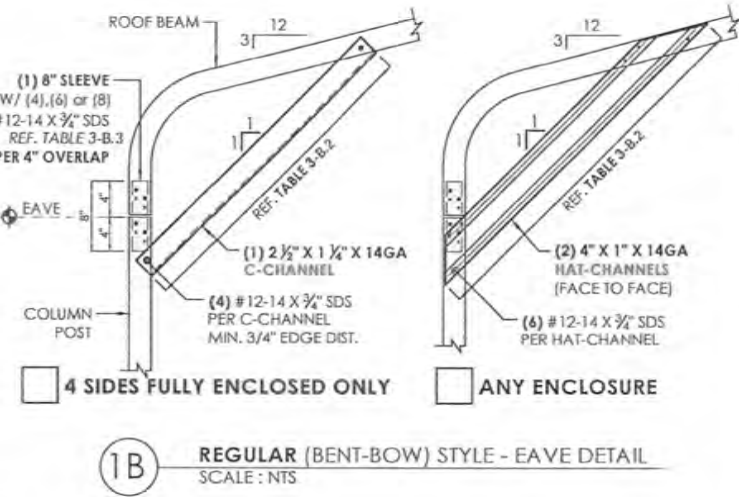
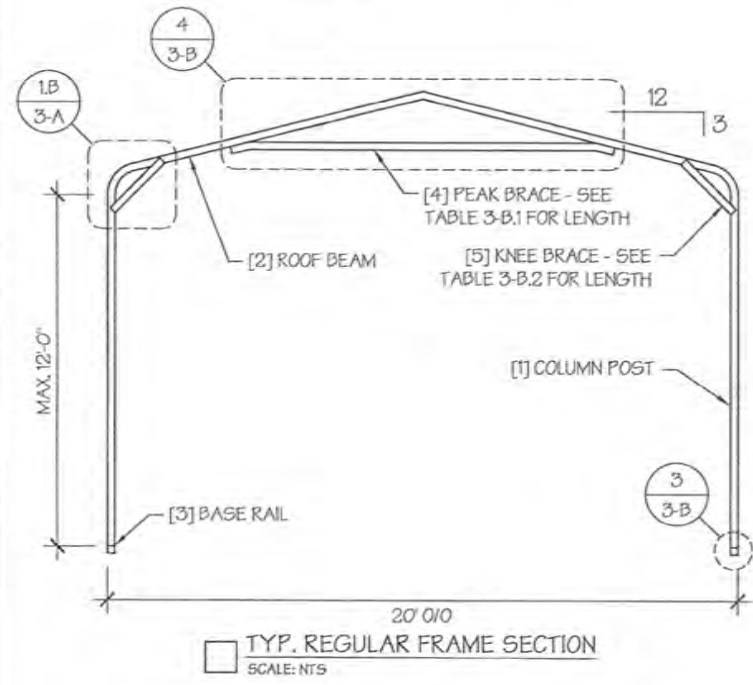
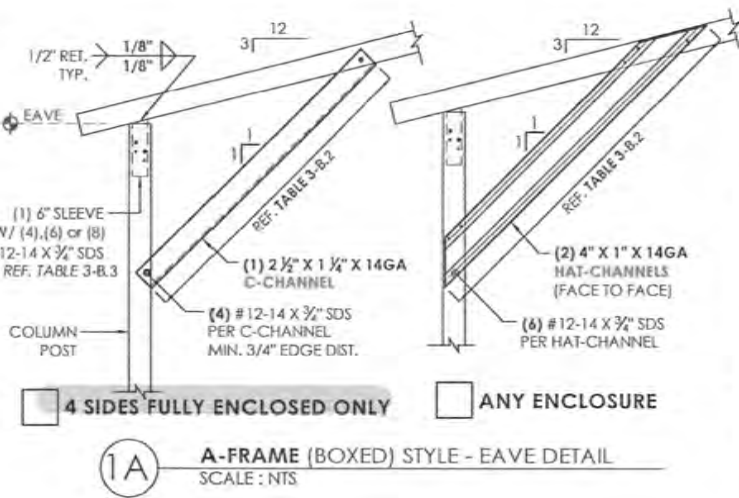
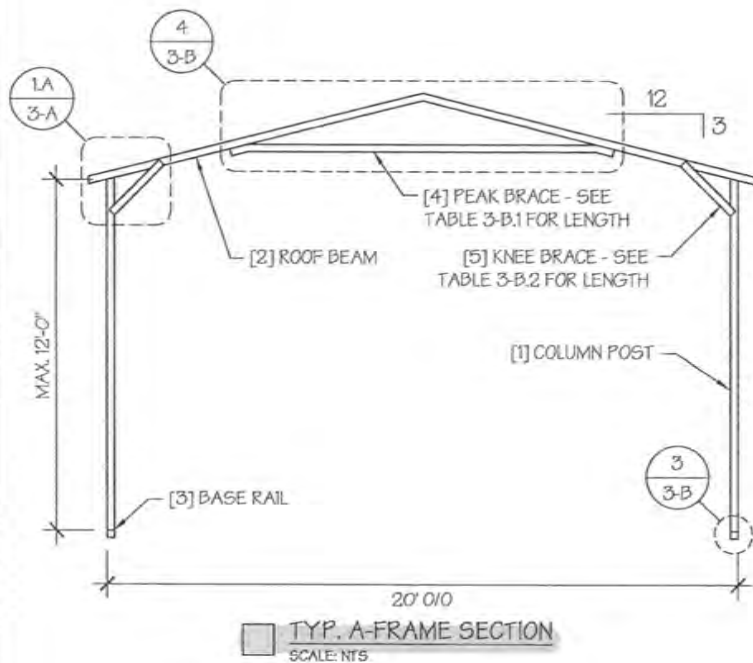
CHECKED BY: OAA DATE: 1/26/24

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DRAWING INFORMATION

PROJECT: 20' Wide

LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:  
FRAME SECTIONS &  
DETAILS

SHEET NO.: 3-A / 11

CHECKED BY: OAA DATE: 1/25/24

LEGAL INFORMATION

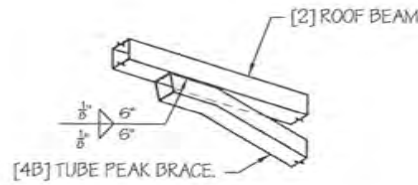
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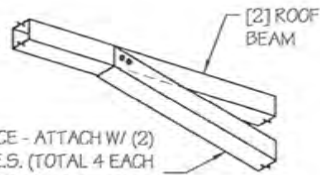


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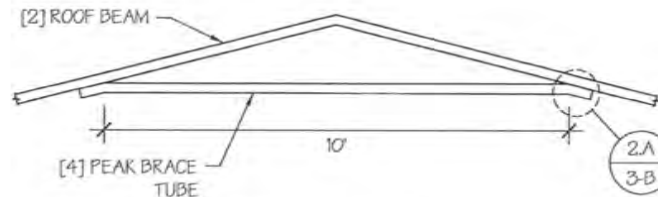
A. PEAK BRACE TUBE



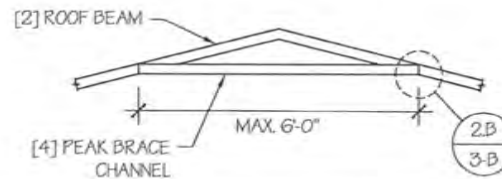
[4] PEAK BRACE - ATTACH W/ (2)  
[23] FASTENERS E.S. (TOTAL 4 EACH  
END). MAINTAIN MIN. 1" EDGE  
DISTANCE AND SPACING

B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2  
SCALE: NTS



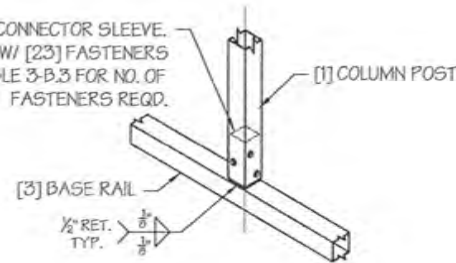
A. WELDED PEAK BRACE



B. CHANNEL PEAK BRACE

PEAK BRACE DETAILS 4  
SCALE: NTS

[6] 6" LG. CONNECTOR SLEEVE.  
FIELD BOLT W/ [23] FASTENERS  
- SEE TABLE 3-B.3 FOR NO. OF  
FASTENERS REQD.



BASE DETAIL 3  
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	105 TO 130	140 TO 180
30 / 20	6'	10'
35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
UP TO 8'	24"
9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
105 TO 125	4
130 TO 155	6
160 TO 180	8

NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING.  
MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND  
AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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DRAWING INFORMATION

PROJECT: 20' Wide

LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

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TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	□105	□115	□130	□140	□155	□165	□180	□105	□115	□130	□140	□155	□165	□180
□30 / 20	60	60	54/60	54	42	36	36	60	54/60	48/60	42/54	36/42	36	36
□40 / 27	48/60	48/60	42/60	42/54	42	36	36	48	48	42/48	42/48	36/42	36	36
□50 / 34	40/48	40/48	40/48	40/48	40/42	36	36	40/42	40/42	40/42	40/42	36/42	36	36
□60 / 41	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36	36	36
□70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30
□80 / 54	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□90 / 61	24	24	24	24	24	24	24	18	18	18	18	18	18	18
□30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
□40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48/54	48/54	42/54	42/54	36/48	36/48	36/42
□50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36/42	36/42
□60 / 41	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36
□70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30
□80 / 54	30	30	30	30	30	30	30	30	30	30	30	30	30	30
□90 / 61	24	24	24	24	24	24	24	24	24	24	24	24	24	24
□30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
□40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48/60	48/60	42/60	42/54	36/48	36/48	36/42
□50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/48	40/48	40/48	40/48	36/48	36/48	36/42
□60 / 41	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42
□70 / 47	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36
□80 / 54	30	30	30	30	30	30	30	30	30	30	30	30	30	30
□90 / 61	24	24	24	24	24	24	24	24	24	24	24	24	24	24

NOTES:

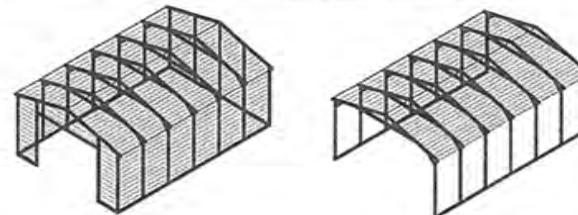
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL ROOF SHEATHING
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

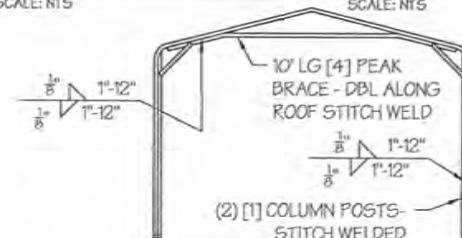
GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.



TYP. ENCLOSED BUILDING  
SCALE: NTS

TYP. OPEN BUILDING  
SCALE: NTS



TYP. OPEN END WALL ON 3  
SIDE ENCLOSED BUILDING  
SCALE: NTS

MANUFACTURED BY:



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Joshua, TX 76058  
1-866-730-9865

ENGINEERED BY:



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DRAWING INFORMATION

PROJECT: 20' Wide  
LOCATION: STATE OF MICHIGAN  
PROJECT NO.: 033-24-0434  
SHEET TITLE:  
SPACING SCHEDULES  
& ENCLOSURE NOTES

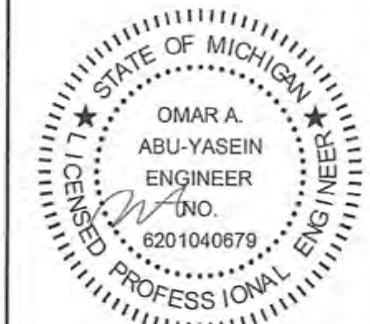
SHEET NO.: 4 / 11

CHECKED BY: OAA DATE: 1/25/24

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TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ 14GA. HAT CHANNEL PURLIN								■ 18GA. HAT CHANNEL PURLIN							
	WIND SPEED (MPH)								WIND SPEED (MPH)							
	105	115	130	140	155	165	180		105	115	130	140	155	165	180	
□ 30 / 20	54	48	42	36	30	24	24		36	30	24	18	18	12	12	
□ 40 / 27	42	42	42	36	30	24	24		30	30	24	18	18	12	12	
□ 50 / 34	40	40	40	36	30	24	24		24	24	24	18	18	12	12	
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□ 70 / 47	32	32	32	32	30	24	24		18	18	18	18	18	12	12	
□ 80 / 54	30	30	30	30	30	24	24		18	18	18	18	18	12	12	
□ 90 / 61	24	24	24	24	24	24	24		12	12	12	12	12	12	12	
□ 30 / 20	54	48	42	42	36	30	30		48	36	30	24	18	18	12	
□ 40 / 27	42	42	42	42	36	30	30		42	36	30	24	18	18	12	
□ 50 / 34	40	40	40	40	36	30	30		40	40	36	30	24	18	12	
□ 60 / 41	36	36	36	36	36	30	30		36	36	36	30	24	18	12	
□ 70 / 47	32	32	32	32	32	30	30		30	30	30	30	24	18	12	
□ 80 / 54	32	32	32	32	32	30	30		24	24	24	24	24	18	12	
□ 90 / 61	30	30	30	30	30	30	30		24	24	24	24	24	18	12	
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□ 90 / 61	30	30	30	30	30	30	30		30	30	30	30	30	30	30	
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□ 70 / 47	32	32	32	32	32	32	30		32	32	32	32	32	32	30	
□ 80 / 54	32	32	32	32	32	32	30		32	32	32	32	32	32	30	
□ 90 / 61	30	30	30	30	30	30	30		30	30	30	30	30	30	30	

- NOTES:
- PURLIN SPACING UNITS ARE IN INCHES.
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

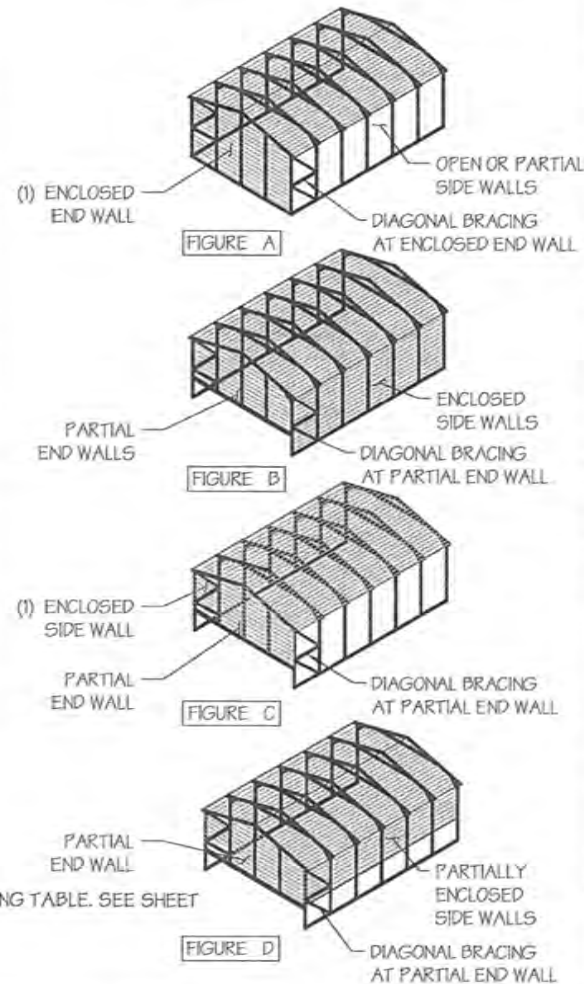
IRREGULAR BUILDING NOTES:

- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
□ 5'-0"	60	48	36	30	24	24	18
□ 4'-6"	60	60	48	42	36	30	24
□ 4'-0"	60	60	54	54	42	36	30
□ 3'-6"	60	60	54	54	48	42	42
□ 2'-0" TO 3'-0"	60	60	54	54	48	42	42

- NOTES:
- GIRT SPACING UNITS ARE IN INCHES.
  - THIS SCHEDULE IS TO BE USED FOR BOTH 14GA AND 18 GA PURLINS.
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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DRAWING INFORMATION

PROJECT: 20' Wide

PROJECT NO: 033-24-0434

SHEET TITLE: PURLIN & GIRT SPACING SCHEDULES

SHEET NO. 5 / 11

CHECKED BY: OAA DATE: 1/25/24

LEGAL INFORMATION

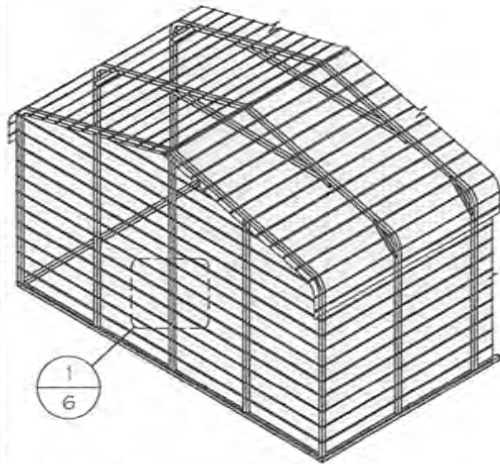
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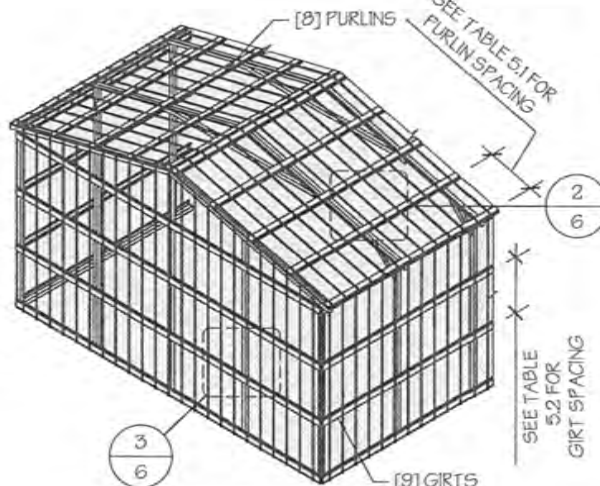
DATE SIGNED: FEB 23 2024



□ TYP. HORIZONTAL SHEATHING

SCALE: NTS

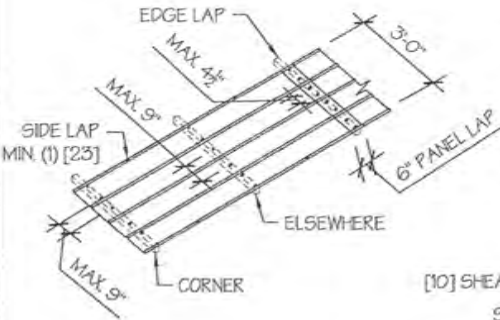
Siding Only



□ TYP. VERTICAL SHEATHING

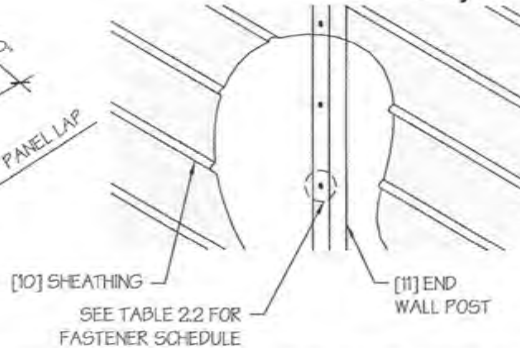
SCALE: NTS

Roof Only



TYP. SHEATHING FASTENER SCHEDULE

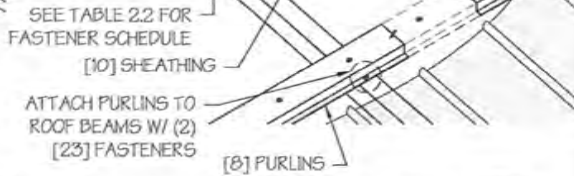
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TYP. HORIZONTAL SHEATHING DETAIL

SCALE: NTS

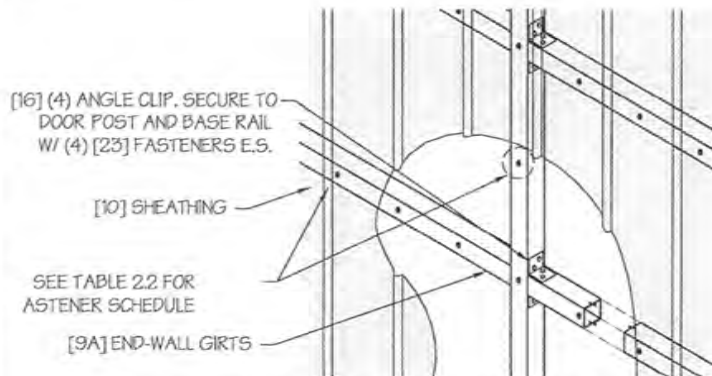
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ROOF VERTICAL SHEATHING DETAIL

SCALE: NTS

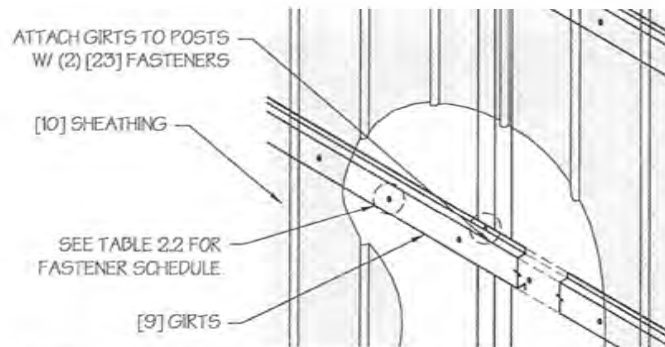
2



□ WALL VERTICAL SHEATHING - TUBE DETAIL

SCALE: NTS

3



□ WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL

SCALE: NTS

3

GENERAL SHEATHING NOTES:

1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER

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DRAWING INFORMATION

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LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:

SHEATHING OPTIONS  
& DETAILS

SHEET NO.: 6 / 11

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LEGAL INFORMATION

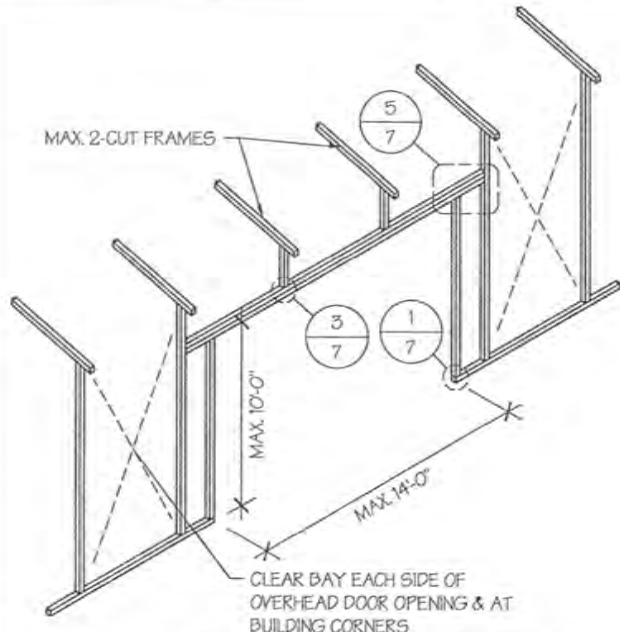
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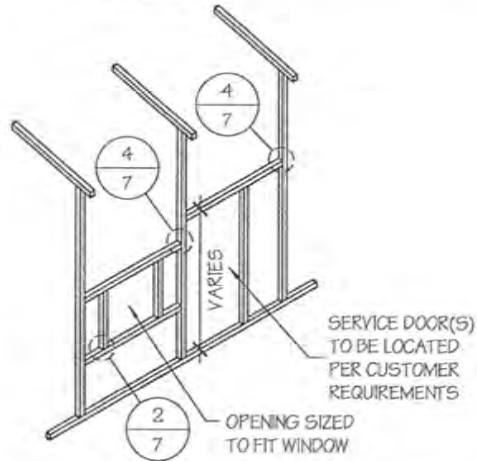
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**SIDE WALL OVERHEAD DOOR OPENINGS**

SCALE: NTS

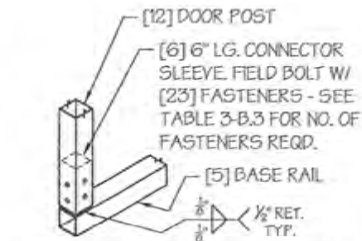


**SIDE WALL SERVICE DOOR / WINDOW OPENINGS**

SCALE: NTS

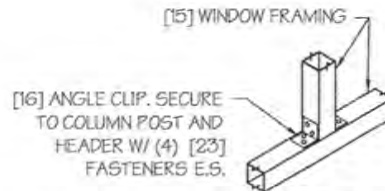
**SIDE WALL FRAMING NOTES:**

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
- OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
- MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
- MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.



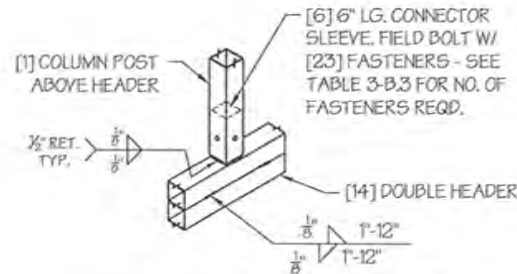
**DOOR POST BOT. CONN. DETAIL**

SCALE: NTS



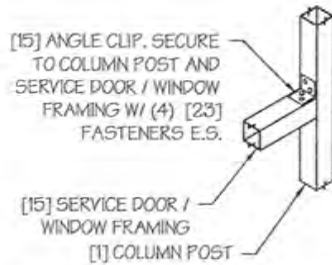
**TYP. WINDOW FRAMING CONN. DETAIL**

SCALE: NTS



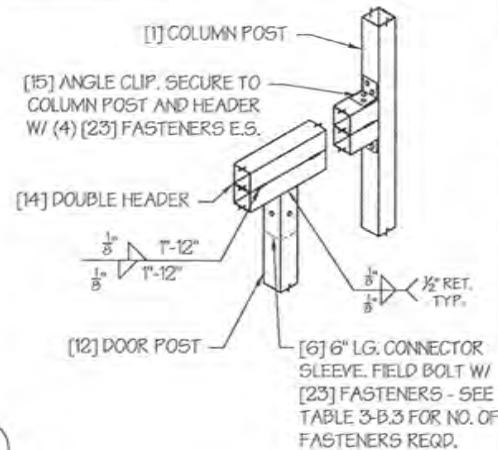
**COLUMN POST ABOVE DOOR HEADER CONN. DETAIL**

SCALE: NTS



**TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL**

SCALE: NTS



**COLUMN POST ABOVE DOOR HEADER CONN. DETAIL**

SCALE: NTS

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**DRAWING INFORMATION**

PROJECT: 20' Wide

LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:

SIDE WALL FRAMING  
& OPENINGS

SHEET NO.: 7 // 11

CHECKED BY: OAA DATE: 1/25/24

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**DRAWING INFORMATION**

PROJECT: 20' Wide

LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:

**END WALL FRAMING**

SHEET NO.: B-A / 11

CHECKED BY: OAA DATE: 1/25/24

**LEGAL INFORMATION**

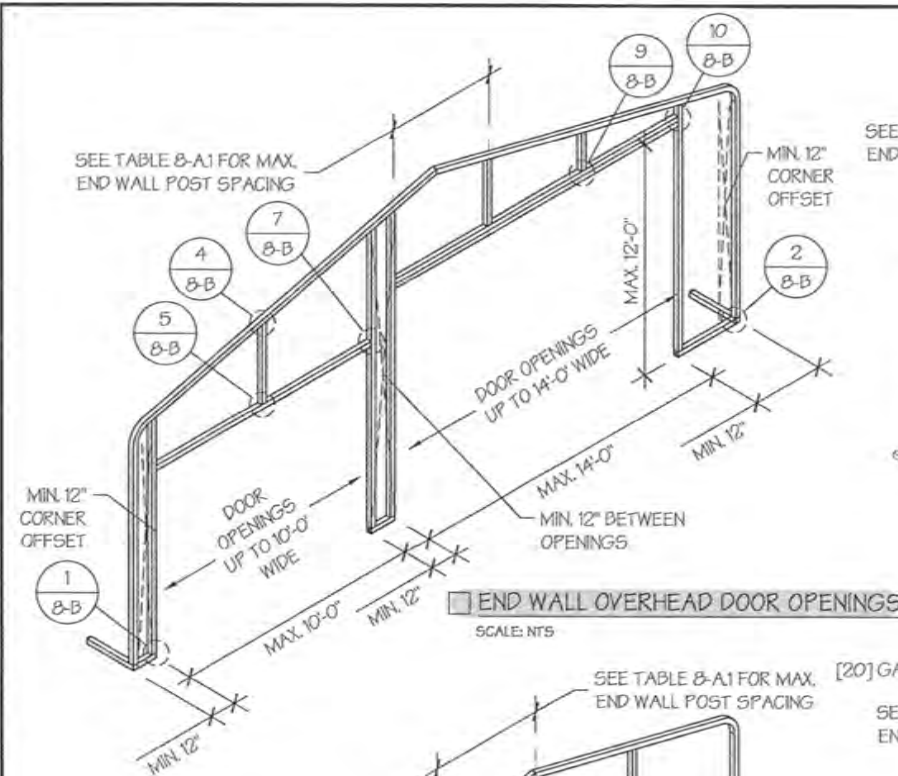
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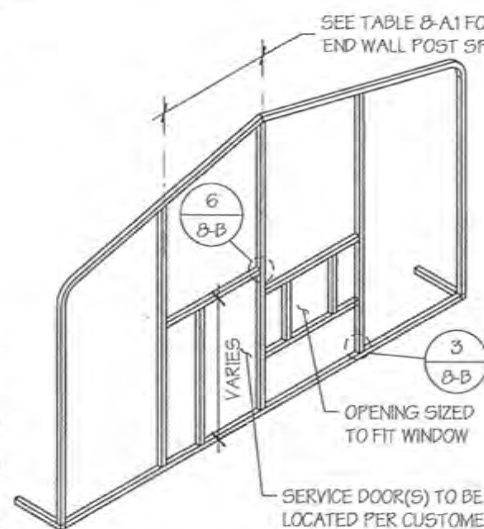
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**GABLE BRACING NOTE**

1. GABLE BRACE IS ONLY REQUIRED FOR PARTIALLY ENCLOSED END WALLS (END WALL POSTS ARE NOT ANCHORED TO THE GROUND).
2. FULLY ENCLOSED OR OPEN END WALLS DO NOT REQUIRE GABLE BRACING.



**END WALL FRAMING NOTES:**

1. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
2. MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
3. SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
4. DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.

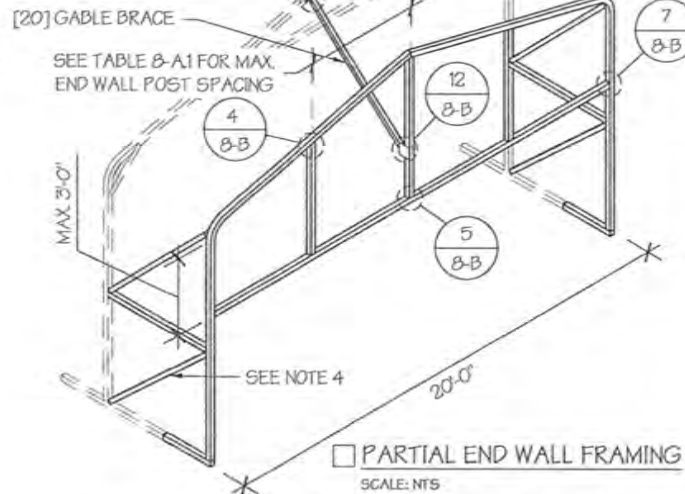
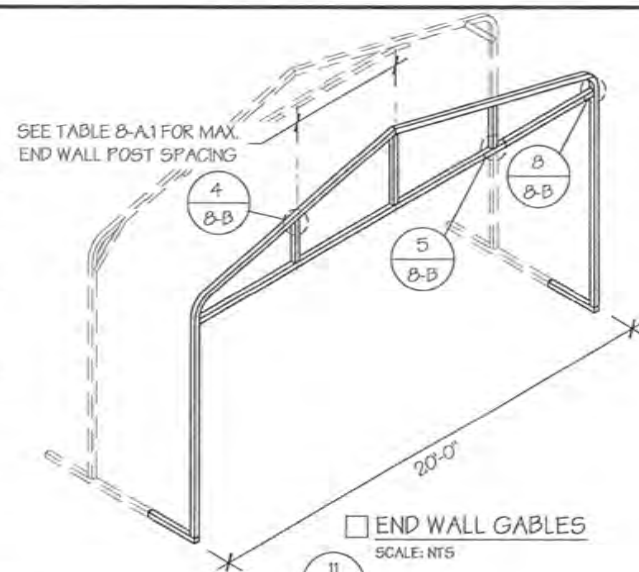
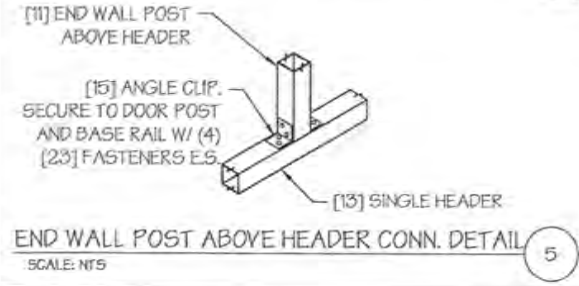
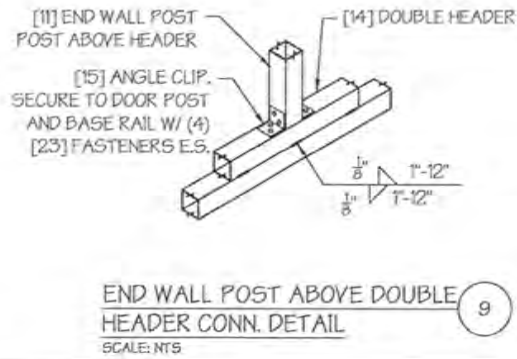
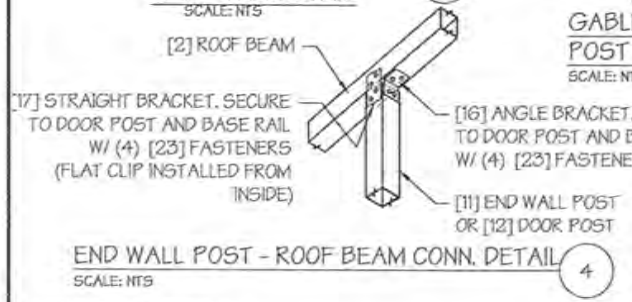
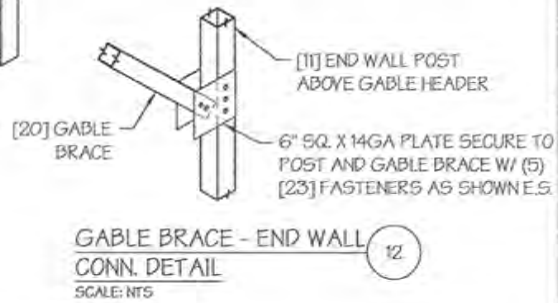
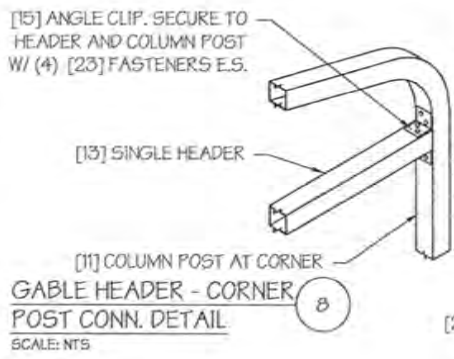
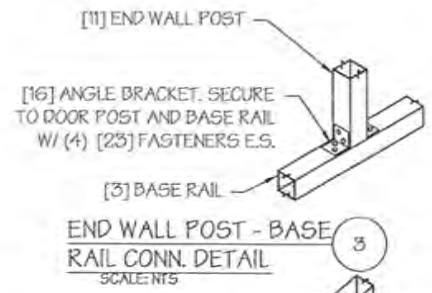
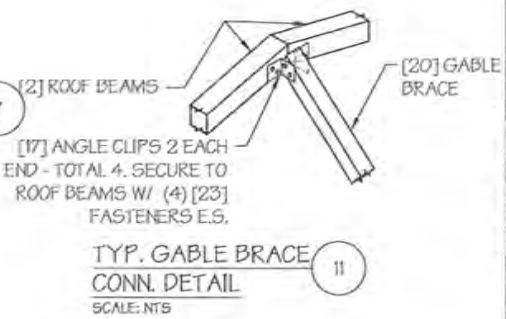
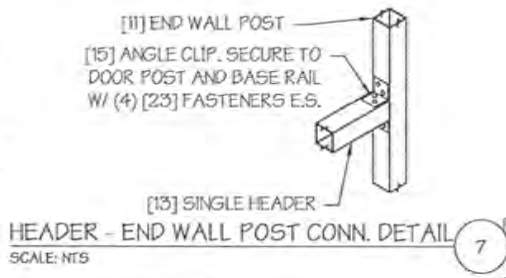
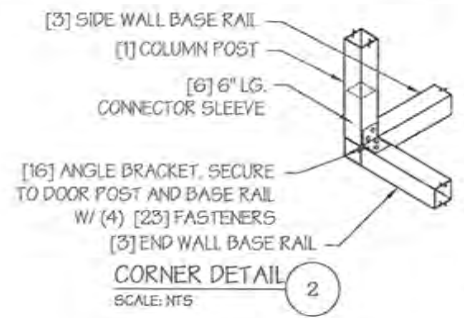
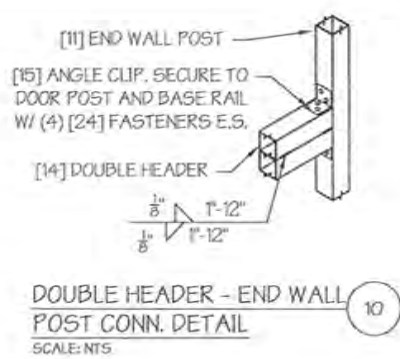
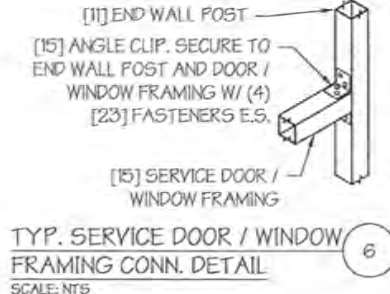
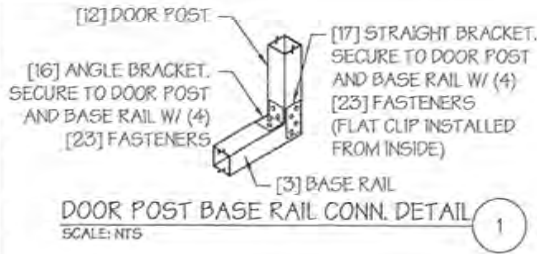


TABLE 8-A.1: END WALL POST SPACING SCHEDULE

WIND SPEED (MPH)	EAVE HEIGHT		
	UP TO 7'	8' TO 9'	10' TO 12'
□ 105	5'	5'	5'
□ 115	5'	5'	4.5'
□ 130	4.5'	4.5'	4'
□ 140	4.5'	4.5'	3'
□ 155	4'	4'	2.5'
□ 165 - 180	3.5'	3'	2'



- GABLE BRACING NOTE**
- GABLE BRACE IS ONLY REQUIRED FOR PARTIALLY ENCLOSED END WALLS (END WALL POSTS ARE NOT ANCHORED TO THE GROUND).
  - FULLY ENCLOSED OR OPEN END WALLS DO NOT REQUIRE GABLE BRACING.

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Joshua, TX 76058  
1-866-730-9865

ENGINEERED BY:

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**DRAWING INFORMATION**

PROJECT: 20' Wide  
LOCATION: STATE OF MICHIGAN  
PROJECT NO.: 033-24-0434  
SHEET TITLE: END WALL FRAMING DETAILS  
SHEET NO.: 8-B / 11

CHECKED BY: OAA DATE: 1/25/24

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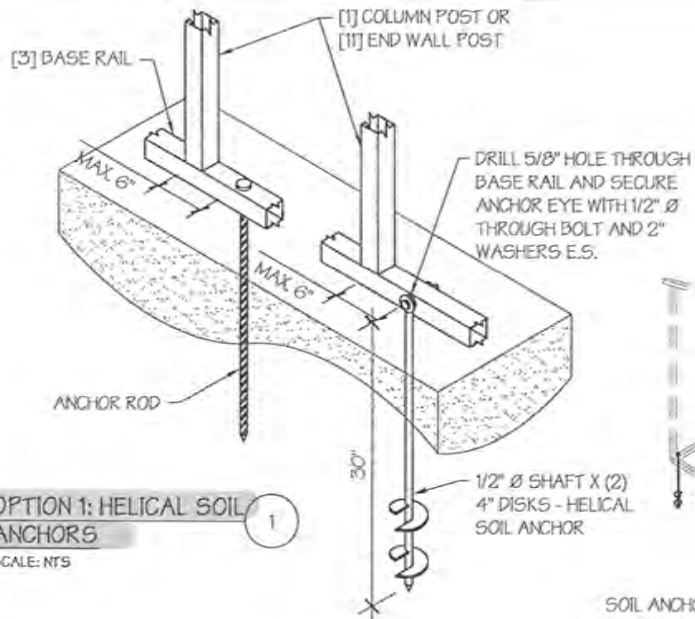
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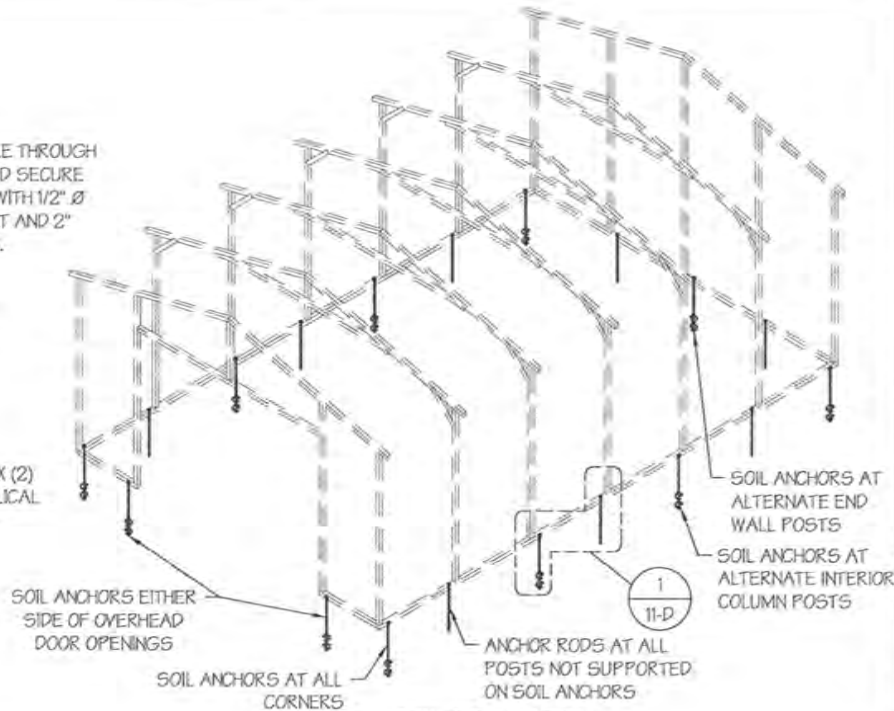
OMAR A. ABU-YASEIN  
ENGINEER  
NO. 6201040679  
LICENSED PROFESSIONAL ENGINEER

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DATE SIGNED: **FEB 23 2024**



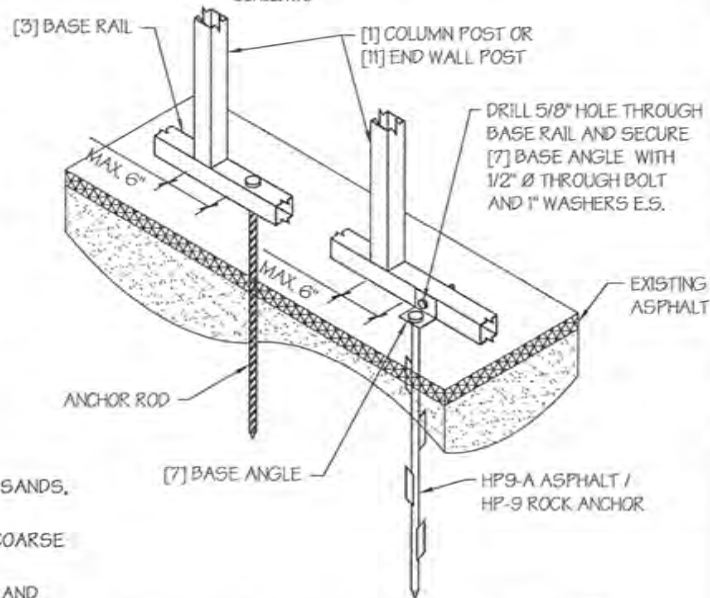
**OPTION 1: HELICAL SOIL ANCHORS**

SCALE: NTS



**OPTION 2: ROCK / ASPHALT ANCHORS**

SCALE: NTS



**OPTION 2: ROCK / ASPHALT ANCHORS**

SCALE: NTS

**SOIL FOUNDATION NOTES:**

- DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
- SOIL ANCHORS (HELICAL OR ROCK/ASPHALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
- HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
- ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

**SOIL CLASSIFICATIONS:**

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/COBBLES, PRELOADED SILTS, CLAYS AND CORAL.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

\*FROM HUD "MODEL MANUFACTURED HOME INSTALLATION STANDARDS"

MANUFACTURED BY:



457 N. Broadway,  
Joshua, TX 76058  
1-866-730-9865

ENGINEERED BY:



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**DRAWING INFORMATION**

PROJECT: 20' Wide

LOCATION: STATE OF MICHIGAN

PROJECT NO.: 033-24-0434

SHEET TITLE:

FOUNDATION OPTION 4:  
SOIL ANCHORS

SHEET NO.: 11-D / 11

CHECKED BY: OAA DATE: 1/25/24

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DATE SIGNED: **FEB 23 2024**





Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
MILESKEI	DELYON	159,500	07/23/1998	WD	03-ARM'S LENGTH	2397-0651	BUYER/SELLER	100.0			
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LDR	Building Permit(s)		Date	Number	Status		
7022 LINDSEY DR		School: HOWELL PUBLIC SCHOOLS									
Owner's Name/Address		P.R.E. 100% 07/23/1998									
DELYON, GERARD & JO ANN 7022 LINDSEY DR BRIGHTON MI 48114-9439		MAP #: V24-25		2025 Est TCV 322,776 TCV/TFA: 205.85							
Tax Description		X	Improved	Vacant	Land Value Estimates for Land Table 4004.4004 GRAND BEACH						
SEC 13 T2N R5E HERBST ESTATES SUB, LOT 1		Public Improvements		* Factors *							
Comments/Influences		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
		Gravel Road		<Site Value B> B SITE VALUE		60000	100				60,000
		Paved Road		157 Actual Front Feet, 0.97 Total Acres		Total Est. Land Value =					60,000
		Storm Sewer									
		Sidewalk									
		Water									
		Sewer									
		Electric									
		Gas									
		Curb									
		Street Lights									
		Standard Utilities									
		Underground Utils.									
		Topography of Site									
		Level									
		Rolling									
		Low									
		High									
		Landscaped									
		Swamp									
		Wooded									
		Pond									
		Waterfront									
		Ravine									
		Wetland									
		Flood Plain									
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value	
		Who	When	What	2025	30,000	131,400	161,400		102,430C	
		JB	03/10/2021	INSPECTED	2024	27,500	125,100	152,600		102,430C	
		TJL	05/26/2011	DATA ENTER	2023	27,500	114,500	142,000		97,553C	
					2022	27,500	111,100	138,600		92,908C	



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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 88	Type CCP (1 Story)	Year Built: Car Capacity: Class: BC Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 440 % Good: 0 Storage Area: 0 No Conc. Floor: 0	
X	Wood Frame	(4) Interior		X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling						Class: BC Effec. Age: 25 Floor Area: 1,568 Total Base New : 307,076 Total Depr Cost: 230,303 Estimated T.C.V: 262,776		E.C.F. X 1.141		Bsmnt Garage: Carport Area: Roof:		
Building Style: BC		Drywall Paneled	Plaster Wood T&G	Trim & Decoration													
Yr Built 1979	Remodeled 0	Ex	X	Ord		Min											
Condition: Good		Size of Closets			Lg	X	Ord		Small								
Room List		Doors:		Solid	X	H.C.	Central Air Wood Furnace										
	Basement 1st Floor 2nd Floor 4 Bedrooms	(5) Floors			(12) Electric												
(1) Exterior		Kitchen: Other: Other:			0 Amps Service												
		No./Qual. of Fixtures			Ex.	X	Ord.		Min	Cost Est. for Res. Bldg: 1 Single Family BC (11) Heating System: Forced Air w/ Ducts Ground Area = 1080 SF Floor Area = 1568 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=75/100/100/100/75			Cls BC		Blt 1979		
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			No. of Elec. Outlets			Many	X	Ave.		Few					
(2) Windows		(7) Excavation			(13) Plumbing												
X	Many Avg. Few	X	Large Avg. Small	Basement: 528 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0			Average Fixture(s) 1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Stories Exterior Foundation Size Cost New Depr. Cost 1 Story Siding Basement 528 Bi-Level Siding Bi-Lev. 80% 552 1 Story Siding Overhang 46 Total: 248,621 186,462							
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement			(14) Water/Sewer												
		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			1 1000 Gal Septic 1 2000 Gal Septic			Other Additions/Adjustments Plumbing 2 Fixture Bath 1 4,740 3,555 Water/Sewer 1000 Gal Septic 1 5,836 4,377 Water Well, 200 Feet 1 12,132 9,099 Porches CCP (1 Story) 88 3,323 2,492 Garages Class: BC Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 440 27,628 20,721 Common Wall: 1 Wall 1 -3,227 -2,420 Fireplaces Prefab 1 Story 1 3,796 2,847 Lump Sum Items 4,227 3,170 Totals: 307,076 230,303									
(3) Roof		(9) Basement Finish						Notes: ECF (4004 GRAND BEACH/HERBST EST.) 1.141 => TCV: 262,776									
X	Gable Hip Flat	Gambrel Mansard Shed	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)			Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic											
X	Asphalt Shingle	(10) Floor Support			Lump Sum Items: 4,227												
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:															

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
July 23, 2024 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Bill Rockwell, Craig Fons, Marianne McCreary, Michele Kreutzberg, and Amy Ruthig, Planning Director.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

**Moved** by Board Member Kreutzberg, supported by Board Member Rockwell, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was made at 6:32 pm with no response.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

**OLD BUSINESS:**

1. 24-12... (APPLICANT REQUESTS TO BE POSTPONED) A request by Michael Brown, 4655 Sweet Road, for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow solar panels to remain.

**Moved** by Board Member Rockwell, supported by Board Member Kreutzberg, to postpone Case #24-12 until the August 20, 2024 ZBA meeting. **The motion carried unanimously**

2. 24-20...A request by James Frederick, 1632 High Haven, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a new home.

Mr. James Frederick spoke with Livingston County and learned that he must be 5 feet from the septic field and 10 feet from the septic tank. He is proposing to relocate the home and is now

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asking for a variance of 12 feet. He did research purchasing a different home; however, he was not able to find one that he could afford that would fit on this site.

Mr. Frederick showed a sketch of the site and a floor plan of the home.

Chairperson McCreary stated that the need for the variance is self-created because the property is there and the septic field is there and the applicant is trying to fit his existing home here. She appreciates his research to relocate the home and lessen the variance amount requested. Mr. Frederick stated that the property is small. He is 23 feet behind the end of the fence line on the property.

Board Member Kreutzberg questioned if the size of the property has been verified. The plat says 125 feet; however, Mr. Frederick's plan shows it is 128 feet. Ms. Ruthig confirmed that it is 125 feet.

Board Member Rockwell agrees that the need for the variance is self-created.

The call to the public was made at 6:46 pm with no response.

**Moved** by Board Member Kreutzberg, supported by Board Member Rockwell, to deny Case #24-20, submitted by James Frederick of 1632 High Haven, based on the following findings of fact:

- Strict compliance with the setbacks would not unreasonably prevent/restrict intended use of the property or cause it to be unbuildable. The need for the variance is self-created.
- This variance will not provide substantial justice, is not the least necessary and would make the property inconsistent with other properties and homes in the area.
- There are no extraordinary circumstances as property will comfortably fit a smaller home.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

**The motion carried unanimously.**

NEW BUSINESS:

3. 24-21...A request by Christopher Malysz, 1330 Clark Lake Road, appealing the decision regarding interpretation of conditions for approval of Zoning Board of Appeals Case 14-21.

Chairperson McCreary reviewed the reason for the applicant's appeal, which is the requirement that an as-built drawing be signed and sealed by a licensed engineer.

Mr. Malysz stated he is appealing the interpretation of the condition. He requested additional time to review his paperwork to respond.

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The Board agreed to move onto Agenda Item #4.

He returned before the Board at 7:13 pm.

He reviewed the conditions of the approval from the 2014 minutes. He is contesting that the current Zoning Administrator is requiring him to present signed engineered drawings. This is not the same as as-built drawings. They are requiring something that is above and beyond the condition of the ZBA approval.

Chairperson McCreary was on the ZBA in 2014 and she recalls this case and the requirement for plans to be submitted when the project was complete. She reviewed documents provided in this evening's packet as well as a report from the township's planner dated July 16, 2024, which confirms that as builts are signed by a licensed engineer. Mr. Malysz stated it is a hardship for him to hire an engineer to review what was built. This will cost approximately \$10,000. He questioned how many applicants are required to provide engineered as builts. Chairperson McCreary stated it was required for Mr. Malysz because there were concerns with how the work was being done. The Board wanted to ensure that what was approved is what was built.

Board Member Kreuzberg asked that, since the applicant is a licensed builder, can he draw up the plans and have an engineer review and sign them. Ms. Ruthig stated that would be a decision that would need to be made by the Board.

Mr. Fons stated that as builts were required to be submitted after each of his projects. That information went from him to the engineer on the job, he or she reviewed it and made any necessary changes, signed and stamped them and submitted them as the final record of the project. There must be a person of authority who reviews and approves the final plans.

Ms. Ruthig stated that staff has required as builts be provided numerous times and they require an engineer's certification.

There was a discussion regarding the motions from previous ZBA meetings regarding Mr. Malysz's cases and a letter from William Goodreau, the applicant's engineer at the time the variance was granted.

The call to the public was made at 7:44 pm.

Mr. Ken Frasheski of 1348 Clark Lake Road is pleased to hear that a certified civil engineer approves all projects. When someone lives on a lake, they are a steward of the environment and have to protect it. Mr. Malysz's earth moving has caused erosion on his property. He explained and showed a photograph of the erosion issues on his property. There was never an erosion barrier put in place to protect his property. He wants the engineered plans to be submitted.

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The call to the public was closed at 7:51 pm.

Board Rockwell asked for confirmation that the township requires as builts signed by an engineer. Ms. Ruthig stated that is correct.

Mr. Malysz asked for clarification of what is being required. Can he submit a set of drawings confirming the plans that were submitted is what was built? The Board agreed, stating the plans from 2011 that were signed and sealed by William Goodreau are what needs to be submitted as the as-builts which are required to be signed and sealed by a licensed engineer.

**Moved** by Board Member Rockwell, supported by Board Member Kreutzberg, to deny Case #24-21 for Christopher Malysz of 1330 Clark Lake Road appealing the decision regarding interpretation of conditions for approval of Zoning Board of Appeals Case 14-21. **The motion carried unanimously**

4. 24-22...A request by Doug and Jenifer Kern, 977 Sunrise Park, for front yard setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to construct a new home.

Mr. and Mrs. Doug and Jennifer Kern were present. Ms. Kern stated that they are requesting a front yard variance to make their summer cottage a year-round home. The front of the new home will be in the same location as the current home. They will be widening it two feet, adding two feet towards the lake, and demolishing and rebuilding the garage. They are within the setbacks for the water's edge and the side-yard setbacks. They are keeping the same sight lines as their neighbors.

Ms. Ruthig stated that the applicant has worked with staff to ensure they are requesting the least amount necessary.

Board Member Rockwell asked for clarification on the amount of the variance needed based on the topographical map in the packet. Ms. Ruthig confirmed that the amount of the setback will be 14 feet. He advised the applicant that the deck cannot be covered.

The call to the public was made at 7:10 pm with no response.

**Moved** by Board Member Rockwell, supported by Board Member Kreutzberg, to approve Case #24-22 for Doug and Jenifer Kern of 977 Sunrise Park, for a front yard setback variance of 21 feet from the required 35 feet for a front yard setback of 14 feet, to construct a new single-family home, based on the following findings of fact:

- Strict compliance with the front yard setback would prevent the applicant from constructing the new home. There are other homes in the vicinity that have reduced front yard setbacks. Granting of this variance would do substantial justice to the applicant and is necessary for

the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity of the subject parcel.

- The exceptional or extraordinary condition of the property is the topography of the lot and the narrow building envelope. The variance request appears to be the least amount necessary and provides for adequate parking on the lot. The variance request is not self-created.
- The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is conditioned upon the following:

1. The structure must be guttered with downspouts.
2. Any retaining walls must comply with Article 11.04.03 (J) Retaining Walls section of the Zoning Ordinance.
3. The building height cannot exceed 25 feet.
4. The detached garage shall be removed.

**The motion carried unanimously**

5. 24-23...A request by Keepin It Realz LLC, 3220 E. Grand River, for a variance to split property and any other variances deemed necessary by the Zoning Board of Appeals.

Mr. Adam Fasick, Mr. Saman Abro, and Mr. Zaid Abro were present. Mr. Fasick stated they are requesting a variance to parcel out a part of his property at 3220 East Grand River to the adjacent one at 3200 E Grand River. This will allow the property owner of 3200 to expand their car wash. Currently both of these properties are non-conforming. This transfer will allow one to conform to the ordinance and one to become less conforming than it is now.

Chairperson McCreary is concerned that one parcel will be less than one acre, without the required minimum width, which will make the need for any variances self-created and could affect the approval of variances in the future. Mr. Fasick noted that his property is already non-conforming. He does not have any plans to expand his business or increase the size of his building.

The call to the public was made at 8:19 pm with no response.

**Moved** by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #24-23 for Adam Fasick of Keepin It Realz, LLC of 3220 E. Grand River for two dimensional variances to permit a land division/combination to reduce the conforming lot width of 3200 E. Grand River from 159.59 feet to 137.59 feet where a minimum of 150 feet is required and to permit a land division/combination to reduce the already nonconforming lot area of 3220 E.

Grand River from 0.97 acres to 0.83 acres where a minimum of one acre is required, based on the following findings of fact:

- This variance will provide substantial justice as it is not self-created, is the least necessary and would make the property consistent with other properties in the GCD zoning area, as there appears to be multiple developed properties along this portion of Grand River that fail to meet at least one of the GCD dimensional requirements.
- The variance is necessary due to extraordinary circumstances, such as both properties are currently deficient in minimum GCD dimensional standards. Strict compliance with the minimum GCD dimensional standards cannot be achieved for both properties, yet the request will eliminate non-conforming conditions on both properties, such as non-conforming property size and a nonconforming building.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

- The nonconforming accessory building shall be removed
- The application form shall be corrected to stated 22 feet of width and not 40 feet.
- Any future development on either property shall obtain necessary zoning approvals, including but not limited to, special land use and site plan review.

**The motion carried unanimously**

**Administrative Business:**

1. Approval of minutes for the June 18, 2024 Zoning Board of Appeals meeting.

**Moved** by Board Member Kreuzberg, supported by Board Member Fons, to approve the minutes of the June 18, 2024 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be two cases on the August agenda.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

**Moved** by Board Member Fons, supported by Board Member Rockwell, to adjourn the meeting at 8:34 pm. **The motion carried unanimously.**



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Respectfully submitted:

Patty Thomas, Recording Secretary

DRAFT