

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JULY 23, 2024
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

1. 24-12... (APPLICANT REQUESTS TO BE POSTPONED) A request by Michael Brown, 4655 Sweet Road, for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow solar panels to remain.
2. 24-20...A request by James Frederick, 1632 High Haven, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a new home.

NEW BUSINESS:

3. 24-21...A request by Christopher Malysz, 1330 Clark Lake Road, appealing the decision regarding interpretation of conditions for approval of Zoning Board of Appeals Case 14-21.
4. 24-22...A request by Doug and Jenifer Kern, 977 Sunrise Park, for front yard setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to construct a new home.
5. 24-23...A request by Keepin It Realz LLC, 3220 E. Grand River, for a variance to split property and any other variances deemed necessary by the Zoning Board of Appeals.

Administrative Business:

1. Approval of minutes for the June 18, 2024 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.

Carrie Aulette

From: Cloud 9 Special Events <cloud9specialevents@gmail.com>
Sent: Thursday, July 11, 2024 5:17 PM
To: Carrie Aulette
Subject: Fwd: Isolation distances
Attachments: Example-Plot-Plan.pdf

----- Forwarded message -----

From: Amy Ballard Perry <amy321home@gmail.com>
Date: Thu, Jul 11, 2024, 5:07 PM
Subject: Fwd: Isolation distances
To: Cloud 9 Special Events <cloud9specialevents@gmail.com>

Amy Perry
Associate Broker
Expert Realty Solutions
amy321home@gmail.com
248-321-1757

----- Forwarded message -----

From: Aaron Aumock <AAumock@livgov.com>
Date: Thu, Jul 11, 2024, 4:27 PM
Subject: Isolation distances
To: amy321home@gmail.com <amy321home@gmail.com>

Hi Amy,

I have attached a document with some of the required minimum isolation distances for well and septic for single family homes. Septic tank and drainfield isolation distance to a home without footing drains or basement would be 5 ft.

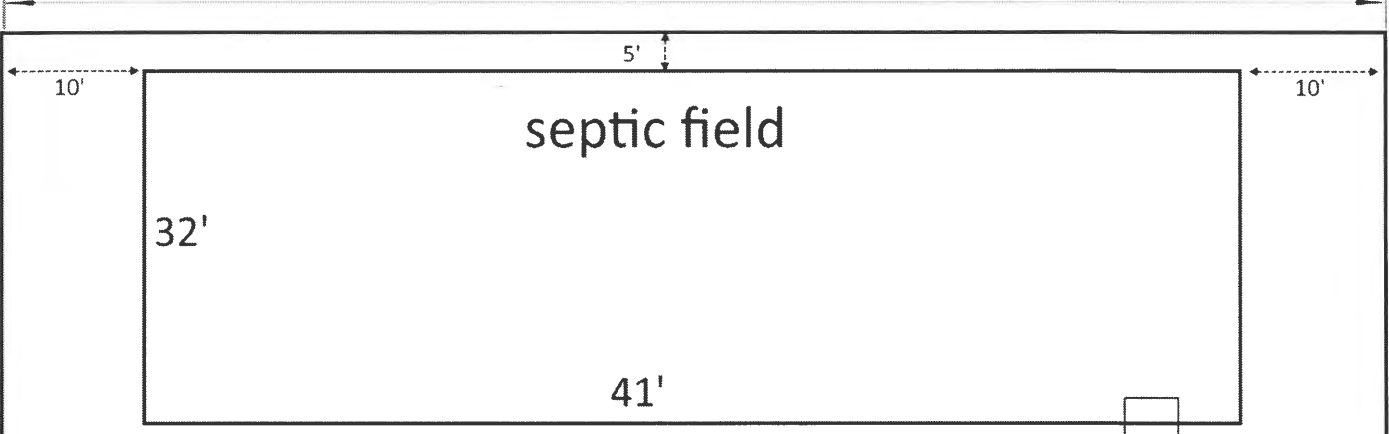
Hope this helps,

Aaron Aumock, REHS, PEM

Environmental Health Supervisor

Livingston County Health Department

60'



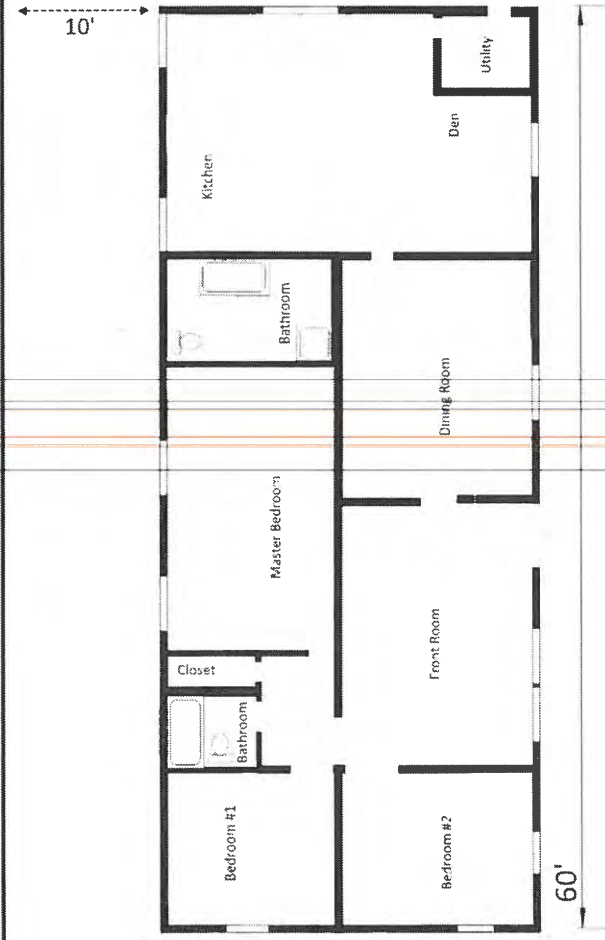
septic field

32'

41'

tank

5'



10'

26'-8 3/4"

60'

23'

Fence/ Prop. Line

GENOA TOWNSHIP

JUL 15 2024

RECEIVED



Driveway

Fence

Grass

High Haven



**GENOA CHARTER TOWNSHIP
USE VARIANCE APPLICATION**

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-20

Meeting Date: June 18, 2024 @ 6:30 pm
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: James Frederick Email: cloud 9 special events@gmail.com

Property Address: 1632 High Haven, Brighton Phone: 313 363-5312

Present Zoning: _____ Tax Code: 4711-12-401-088

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Requesting an
18-21 ft set back from the front property line
as opposed to the required 35 ft.
(my property on record states it is a 60 x 125
but I measured 60 - 128)

The following is per Article 23.05.04 of the Genoa Township Ordinance:

Criteria Applicable to Use Variances. The Board of Appeals may grant a use variance only upon a finding that an unnecessary hardship exists. A use variance is approval to allow a use that is otherwise not permitted in a zoning district.

A finding of an unnecessary hardship shall require demonstration by the applicant of all of the following:

Under each please indicate how the proposed project meets each criteria.

Unreasonable Current Zoning Designation. Demonstrate that the site cannot reasonably be used for any of the uses allowed within the current zoning district designation. The Board of Appeals may require submission of documentation from professionals or certified experts to substantiate this finding.

The land is 60 x 125 and my home is 27 x 60 not leaving enough room for the 35 ft front set back

Unique Circumstances. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district. Must prove that there are certain features or conditions of the land that are not generally applicable throughout the zone and that these features make it impossible to earn a reasonable return without some adjustment.

This is a small lot and I already own the home that I want to put on it. I am just asking for a few feet to make it work

Not Self-Created. The problem and resulting need for the variance has not been self-created. The Board of Appeals shall consider changes made to the property by the applicant and near term predecessors.

I am not responsible for self creating this issue.

Capacity of Roads, Infrastructure and Public Services. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised.

My home will be well within the property line and not affect or compromise the above

Character of Neighborhood. The use variance will not alter the essential character of the neighborhood nor be a detriment to adjacent properties.

The home will not stand out in any way, shape or form different to the character of the neighborhood

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 5/20/2024 Signature: 



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

CORRECTED MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: June 10, 2024

RE: ZBA 24-20

STAFF REPORT

File Number: ZBA#24-20
Site Address: 1632 High Haven
Parcel Number: 4711-12-401-088
Parcel Size: Platted 60 x 125
Applicant: James Frederick
Property Owner: Patricia Cagnoli, 7918 Birkenstock, Brighton
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a front yard variance to allow for new single-family home.

Zoning and Existing Use: MHP (Mobile Home Estates) The property is vacant.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, the existing home was demolished in 2020.
- In 2020, a land use waiver was issued for the demotion of a single-family home.
- The property will be serviced with a private well and private septic system.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The proposed project is to install a new single-family home on the vacant lot. In order to install the single-family home, a front yard setback variance is required. Applicant states that he measured the lot to be 60 X 128. Staff has included the plat map for Suburban Estates. The plat map states that the lot is 60 x 125. Without a certified survey indicating the plat map is incorrect, staff reviewed the request as the lot is platted (60 x 125).

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

TABLE 4.05.01 DESIGN STANDARDS FOR INDIVIDUAL LOTS (MHP District):

Required Front Yard Setback: 35'

Proposed Front Yard Setback: 23'

Proposed Variance Amount: 12'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would not unreasonably prevent use of the property. The applicant could reduce the size of the new home to negate the need for the variance. Staff reviewed the square footage of homes in the immediate area, the requested home would be one of the largest homes in the area. A home the same size is located across the street however it is located on a double lot. There do not appear to be other homes in the immediate vicinity that do not meet the required front yard setback therefore a claim for substantial justice cannot be supported.
- (b) Extraordinary Circumstances** – There is no exceptional or extraordinary circumstances to the property. The need for the variance is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

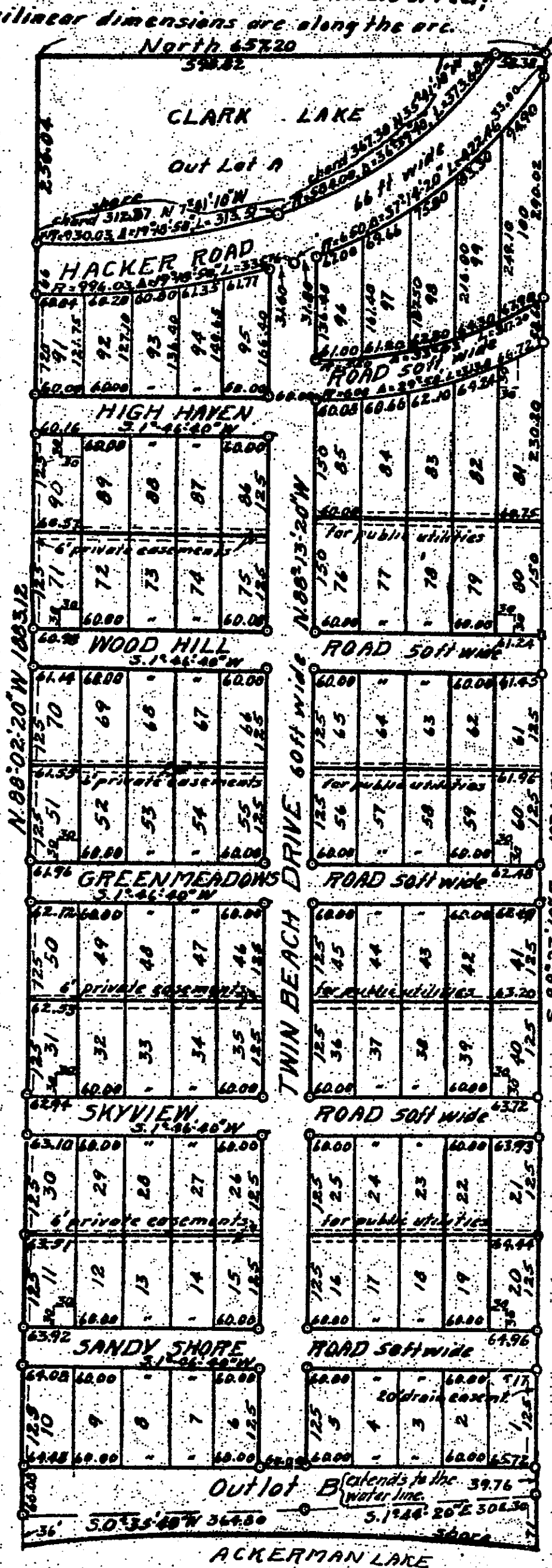
If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Drainage from the detached structure must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Health Department approval of setback from septic field.

"SUBURBAN MOBILE HOME ESTATES"

SUBDIVISION OF PART OF THE SE 1/4 OF SEC. 12, T2N R5E, GENOA TWP, LIVINGSTON CO., MICH.

Note: all dimensions are in feet and decimals of feet;
all curvilinear dimensions are along the arc.



Point of beginning
E. Line Sec. 12
SE cor. Sec. 12 T2N R5E
North 1372.86

Scale 1"=150ft
0 50 100 150 200

COPY
Register's Office
Livingston County, Mich.
Plat of Suburban Mobile Home Estates
was Recorded this 9th day of
May A.D., 1958 at 10 o'clock
P.M. in Liber 9 of plate
on Page 14
William L. Haack
Register of Deeds
ORIGINAL ON FILE

I hereby certify this copy is a true copy of map or plat forwarded the Register of Deeds for recording.
Date May 8, 1958
FILED IN AUDITOR GENERAL'S DEPT.
Date May 21, 1958
EXAMINED AND APPROVED
Date May 8, 1958
Frank S. Szymanski
Auditor General
E. L. MacFarland
Plat Engineer

DEDICATION
KNOW ALL MEN BY THESE PRESENTS, that we, Ross Reynolds and Hazel N. Reynolds, his wife as proprietors and Pleasure Land, Inc.
Michigan corporation by E. Charles Wagner President, and Joseph L. Abby, Vice President
Robert T. Chapek, Sec. - Treas., as Vendees
under land contract have caused the land embraced in the annexed plat to be surveyed, laid out and platted to be known as Suburban Mobile Home Estates Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich.
and that the streets as shown on said plat are hereby dedicated to the use of the public, that the 30 ft. easements on lots 11, 20, 31, 40, 51, 60, 71, 80, 81, and 90 are for road maintenance use and that the private easements shown on said plat are not dedicated to the public, but the right to use said easements is hereby reserved for public utilities or for use as designated thereon, and no permanent structures are to be erected within the limits of said easements.
Signed and Sealed in the Presence of
James R. Hayner (Witness) Ross Reynolds (L.S.)
James R. Hayner (Witness) Hazel N. Reynolds (L.S.)
Signed and Sealed in the Presence of
James R. Hayner (Witness) E. Charles Wagner (L.S.)
James R. Hayner (Witness) Joseph L. Abby (L.S.)
Robert T. Chapek (L.S.)
Robert T. Chapek Sec. - Treas.

DESCRIPTION OF LAND PLATTED
The land embraced in the annexed plat of Suburban Mobile Home Estates Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich. is described as follows:
Comprises lots 1 to 100 inclusive, and outlots A and B is described as beginning at a point on the east line of Sec. 12, T2N, R5E, distant north 1372.86 ft. from the SE corner of said Sec. 12, Thence north 657.20 ft. along said east line of Sec. 12, Thence N88°02'20" W 1883.12 ft., Thence S0°35'40" W 364.80 ft., Thence S 1°44'20" E 306.30 ft., Thence S88°27'10" E 1876.58 ft. to the point of beginning. 100 Numbered Lots 2 courses

ACKNOWLEDGMENT
STATE OF MICHIGAN
County of Livingston
On this 9th day of May, 1958, before me, a Notary Public in and for said County, personally came the above named Ross Reynolds and Hazel N. Reynolds, his wife known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.
G. D. Stickney
Notary Public in and for Livingston County
My Commission expires November 3, 1961

CERTIFICATE OF MUNICIPAL APPROVAL
This plat was approved by the Township Board of the Township of Genoa at a meeting held Jan. 24, 1958 and that the width of lots is in compliance with requirements of Section 30, Act 172, of 1929, as amended.
Dorothy Musch
Clerk

APPROVAL BY BOARD OF COUNTY ROAD COMMISSIONERS
This plat has been examined and was approved on the 2nd day of May, 1958 by the Livingston County Board of Road Commissioners.
Fred Berry (Chairman)
Delbert W. Smith (Member)
Norman S. Topping (Member)

ACKNOWLEDGMENT
STATE OF Michigan
County of Livingston
On this 9th day of May, A.D. 1958, before me, G. D. Stickney, a Notary Public in and for said county appeared E. Charles Wagner, Joseph L. Abby and Robert T. Chapek to me personally known, who being each by me duly sworn did say that they are the President and Vice President and Sec. - Treas. respectively of the Pleasure Land, Inc. Michigan corporation, and that the seal affixed to said instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors and the said E. Charles Wagner, Joseph L. Abby and Robert T. Chapek acknowledged said instrument to be the free act and deed of said corporation.
G. D. Stickney
Notary Public in and for Livingston County
My Commission expires November 3, 1961

SURVEYOR'S CERTIFICATE
I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments consisting of bars not less than one-half inch in diameter and 36 inches in length, or shorter bars of not less than one-half inch in diameter lapped over each other at least 6 inches with an over-all length of not less than 36 inches, encased in a concrete cylinder at least 4 inches in diameter and 36 inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted, at all the intersections of streets, intersections of alleys, or of streets and alleys, and at the intersections of streets and alleys with the boundaries of the plat as shown on said plat.
Russell A. Cole
Registered Land Surveyor Professional Engineer
Russell A. Cole

APPROVAL BY COUNTY PLAT BOARD
This plat was approved on the 8th day of May, 1958 by the Livingston County Plat Board.
William L. Haack (County Register of Deeds)
John A. Hagman (County Clerk)
Dorothea J. Greer (County Treasurer)
Floyd W. Munsell (County Drain Commissioner)

COUNTY TREASURER'S CERTIFICATE
Office of County Treasurer, Livingston County.
I hereby certify, that there are no tax liens or titles held by the State on the lands described hereon, and that there are no tax liens or titles held by individuals on said lands, for the five years preceding the 9th day of May, 1958, and that the taxes for said period of five years are all paid, as shown by the records of this office.
This certificate does not apply to taxes, if any, now in process of collection by township, city or village collecting officers.
Dorothea J. Greer
County Treasurer



506

Woodhill Dr

High Haven Dr

Twin Beach Dr

Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

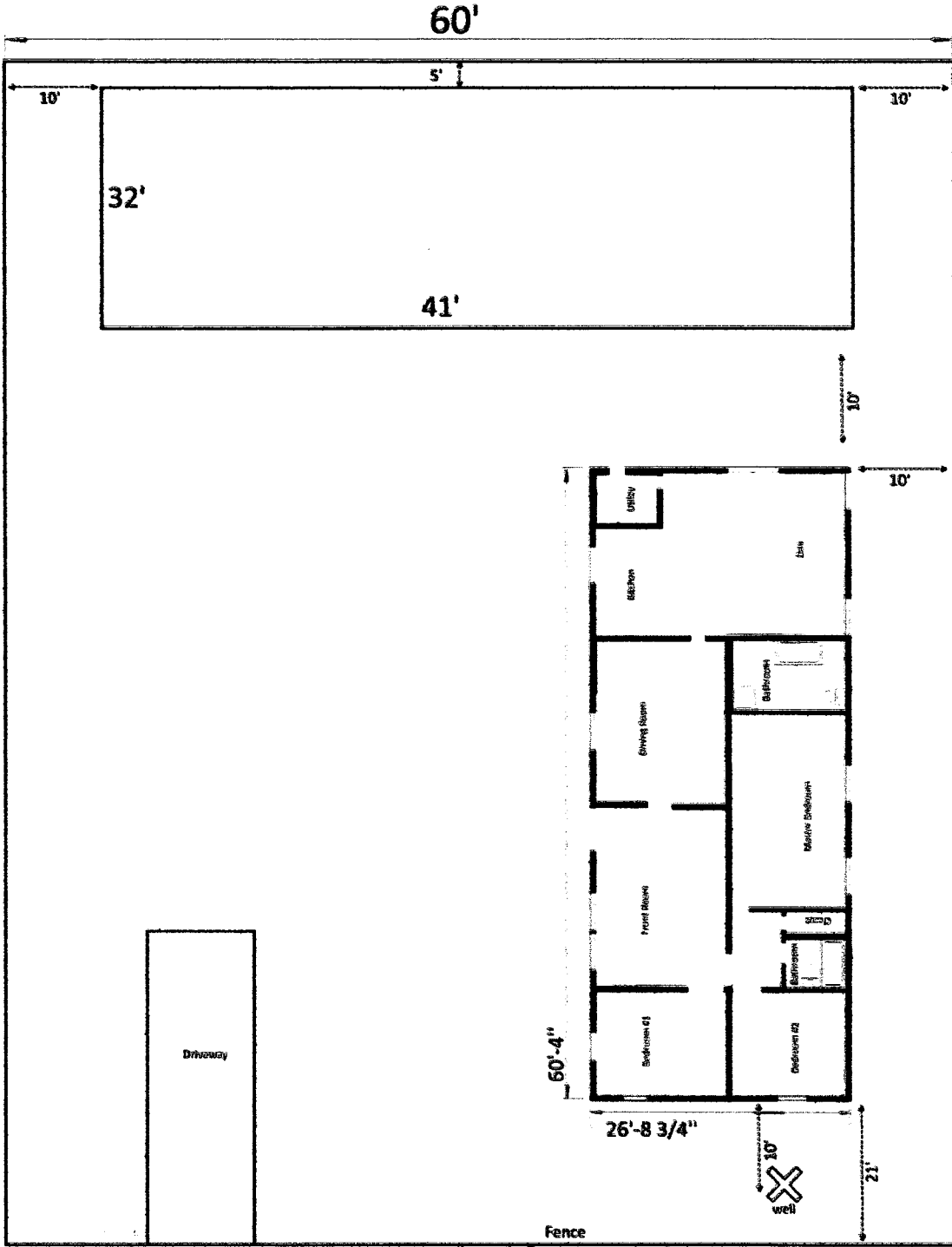
20 ft

nearmap

SH

128'

Fence/ Prop. Line



Fence / Prop. Line

Fence
Grass
High Haven

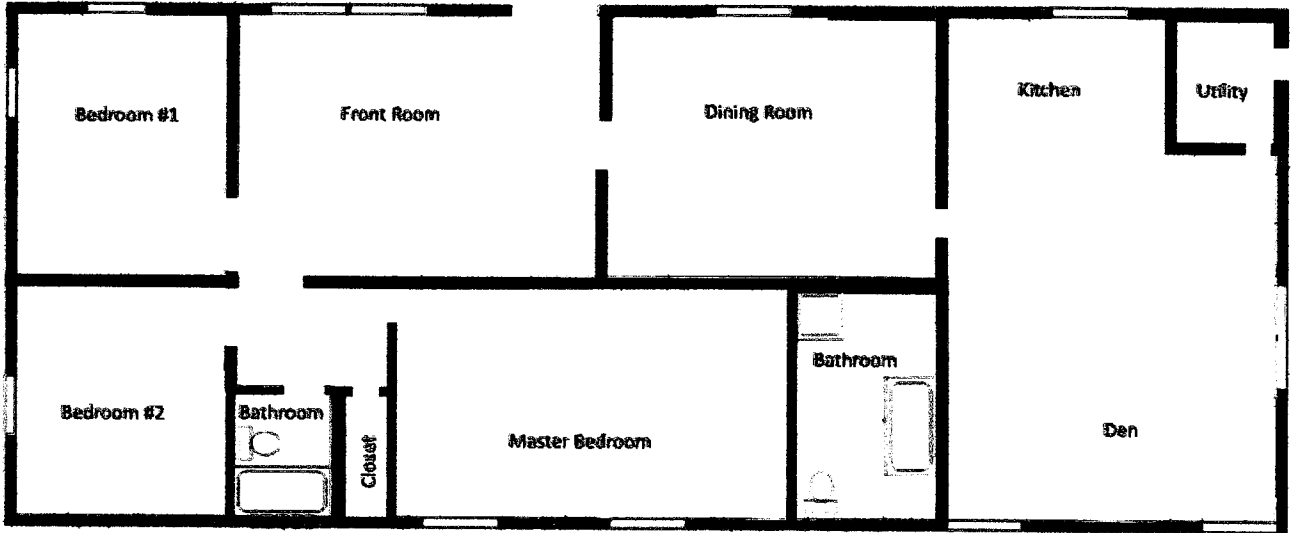
Plot Plan

N 7

Floor Plan

60'-4"

26'-8 3/4"



Kathleen Murphy

From: Amy Ballard Perry <amy321home@gmail.com>
Sent: Monday, May 20, 2024 2:58 PM
To: Kathleen Murphy
Subject: Fwd: Variance permission

Amy Perry
Associate Broker
Expert Realty Solutions
amy321home@gmail.com
248-321-1757

----- Forwarded message -----

From: Patricia Cagnoli <patriciacagnoli@gmail.com>
Date: Mon, May 20, 2024, 2:57 PM
Subject: Variance permission
To: <amy@genoa.org>

1

Dear Ms. Ruthie

I Patricia C.Cagnoli give permission to Mr. James Frederick to Obtain a variance for the property located at 1632 High Haven Brighton Mi 48114.

Patricia C Cagnoli
810-986-6468
Sent from my iPhone

2

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.							
WALBLAY ALLEN	CAGNOLI PATRICIA	37,000	12/29/2021	WD	03-ARM'S LENGTH	2022R-001420	BUYER/SELLER	100.0							
OLIVER-REYNOLDS HOLDINGS L	WALBLAY ALLEN	4,000	07/24/2020	QC	21-NOT USED/OTHER	2020R-024367	BUYER/SELLER	100.0							
REYNOLDS DANIEL LEE	OLIVER-REYNOLDS HOLDINGS I	0	02/11/2014	QC	21-NOT USED/OTHER	2014R-003589	BUYER/SELLER	0.0							
DAVENPORT DANIEL M & JANE	REYNOLDS DANIEL LEE	6,000	03/15/2011	LC	21-NOT USED/OTHER	2011R-008538	BUYER/SELLER	100.0							
Property Address		Class: RESIDENTIAL-VACANT		Zoning: MHP		Building Permit(s)		Date	Number	Status					
1632 HIGH HAVEN DR		School: HOWELL PUBLIC SCHOOLS		Demolition		08/25/2020		PW20-090	7 FINAL BL						
Owner's Name/Address		P.R.E. 0%		MAP #: V24-20		2025 Est TCV Tentative									
CAGNOLI PATRICIA 7918 BIRKENSTOCK BRIGHTON MI 48114		Improved X Vacant		Land Value Estimates for Land Table 4404.4404 SUBURBAN MOBILE HOME ESTATES											
Tax Description		Public Improvements		* Factors *											
SEC. 12 T2N, R5E, "SUBURBAN MOBILE HOME ESTATES" LOT 88		Dirt Road		Description		Frontage		Depth		Front Depth		Rate %Adj. Reason		Value	
Comments/Influences		Gravel Road		<Site Value A> A STANDARD LOT		20000		100		20,000		0.00 Total Acres		Total Est. Land Value = 20,000	
		Paved Road													
		Storm Sewer													
		Sidewalk													
		Water													
		Sewer													
		Electric													
		Gas													
		Curb													
		Street Lights													
		Standard Utilities													
		Underground Utils.													
		Topography of Site													
		Level													
		Rolling													
		Low													
		High													
		Landscaped													
		Swamp													
		Wooded													
		Pond													
		Waterfront													
		Ravine													
		Wetland													
		Flood Plain													
		X REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value					
		Who	When	What	2025	Tentative	Tentative	Tentative		Tentative					
4711-12-401-088 10/02/2020		JB	10/02/2020	INSPECTED	2024	10,000	0	10,000		8,820C					
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		LM	09/23/2014	REVIEWED R	2023	10,000	0	10,000		8,400C					
					2022	8,000	0	8,000		8,000S					



*** Information herein deemed reliable but not guaranteed***



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

CORRECTED MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: June 10, 2024

RE: ZBA 24-20

STAFF REPORT

File Number: ZBA#24-20
Site Address: 1632 High Haven
Parcel Number: 4711-12-401-088
Parcel Size: Platted 60 x 125
Applicant: James Frederick
Property Owner: Patricia Cagnoli, 7918 Birkenstock, Brighton
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a **front** yard variance to allow for new single-family home.

Zoning and Existing Use: MHP (Mobile Home Estates) The property is vacant.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

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- Per assessing records, the existing home was demolished in 2020.
- In 2020, a land use waiver was issued for the demotion of a single-family home.
- The property will be serviced with a private well and private septic system.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

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Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The proposed project is to install a new single-family home on the vacant lot. In order to install the single-family home, a front yard setback variance is required. Applicant states that he measured the lot to be 60 X 128. Staff has included the plat map for Suburban Estates. The plat map states that the lot is 60 x 125. Without a certified survey indicating the plat map is incorrect, staff reviewed the request as the lot is platted (60 x 125).

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

TABLE 4.05.01 DESIGN STANDARDS FOR INDIVIDUAL LOTS (MHP District):

Required Front Yard Setback: 35'

Proposed Front Yard Setback: 18'

Proposed Variance Amount: 17'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would not unreasonably prevent use of the property. The applicant could reduce the size of the new home to negate the need for the variance. Staff reviewed the square footage of homes in the immediate area, the requested home would be one of the largest homes in the area. A home the same size is located across the street however it is located on a double lot. There do not appear to be other homes in the immediate vicinity that do not meet the required front yard setback therefore a claim for substantial justice cannot be supported.
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Recommended Conditions

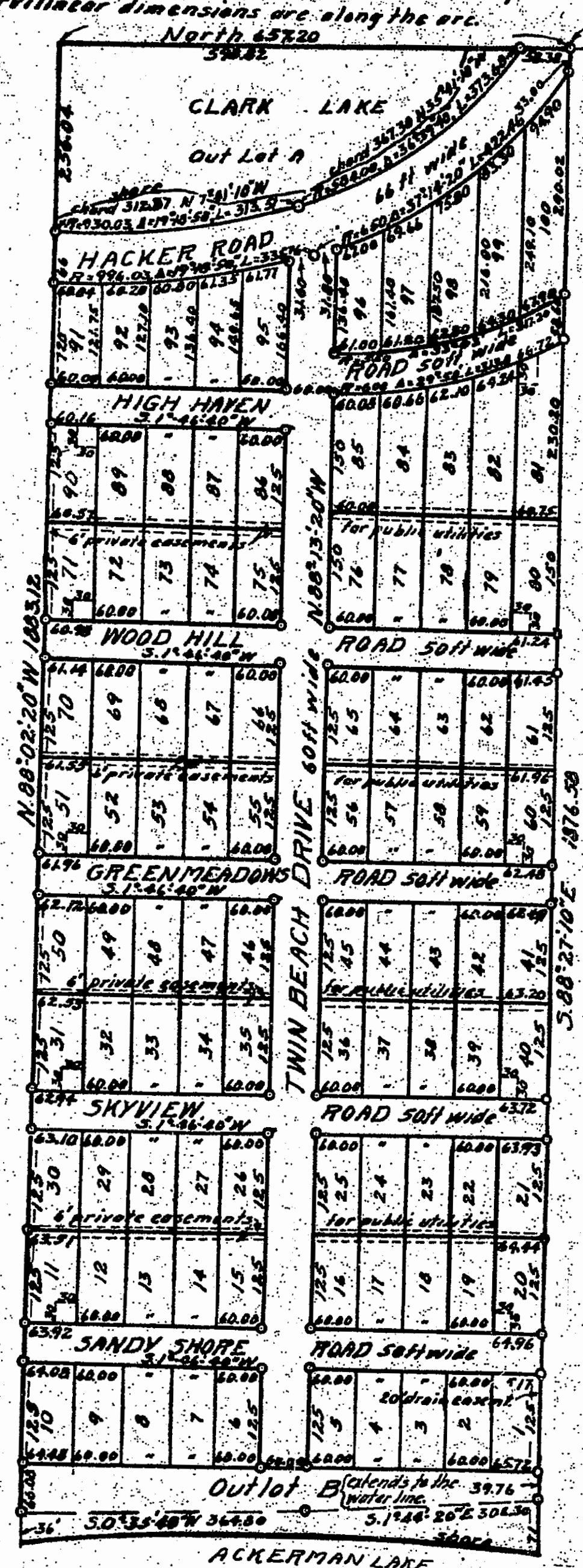
If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Drainage from the detached structure must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Health Department approval of setback from septic field.

"SUBURBAN MOBILE HOME ESTATES"

SUBDIVISION OF PART OF THE SE 1/4 OF SEC. 12, T2N R5E, GENOA TWP, LIVINGSTON CO, MICH.

Note: all dimensions are in feet and decimals of feet;
all curvilinear dimensions are along the arc.



Point of beginning
E. Line Sec. 12
North 1372.86
SE cor. Sec. 12 T2N R5E

Scale 1"=150ft
0 50 100 150 200

COPY
 Register's Office
 Livingston County
 Plat of Suburban Mobile Home Estates
 was Recorded this 9th day of
May A.D. 1958 at 4:00 o'clock
 P.M. in Liber 7 of plates
 on Page 14
William L. Hack
 Register of Deeds
 ORIGINAL ON FILE

I hereby certify this copy to be a true copy of the original plat forwarded to the Register of Deeds for recording.
 Date May 8, 1958
 FILED IN AUDITOR GENERAL'S DEPT.
 Date May 21, 1958
 EXAMINED AND APPROVED
 Date May 8, 1958
Frank S. ...
E. L. ...
 Plat Engineer

DEDICATION
 KNOW ALL MEN BY THESE PRESENTS, that we, Ross Reynolds and Hazel N. Reynolds, his wife as proprietors and Pleasure Land, Inc.
 Michigan corporation by E. Charles Wagner President and Joseph L. Abby, Vice President
Robert T. Chapek, Sec. -Treas., as Vendees
 under land contract have caused the land embraced in the annexed plat to be surveyed, laid out and platted to be known as "Suburban Mobile Home Estates" Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich.
 and that the streets as shown on said plat are hereby dedicated to the use of the public, that the 30 ft. easements on lots 11, 20, 31, 40, 51, 60, 71, 80, 81, and 90 are for road maintenance use and that the private easements shown on said plat are not dedicated to the public, but the right to use said easements is hereby reserved for public utilities or for use as designated thereon, and no permanent structures are to be erected within the limits of said easements.

Signed and Sealed in the Presence of
G.D. Stickney (Witness) Ross Reynolds (I.S.)
James R. Hayner (Witness) Hazel N. Reynolds (I.S.)
 Pleasure Land, Inc.
 Signed and Sealed in the Presence of
G.D. Stickney (Witness) E. Charles Wagner (President)
James R. Hayner (Witness) Joseph L. Abby (Vice President)
Robert T. Chapek (Sec. - Treas.)

DESCRIPTION OF LAND PLATTED

The land embraced in the annexed plat of "Suburban Mobile Home Estates" Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich. is described as follows:
 Comprises lots 1 to 100 inclusive, and outlots A and B is described as beginning at a point on the east line of Sec. 12, T2N, R5E, distant north 1372.86 ft. from the SE corner of said Sec. 12, Thence north 657.20 ft. along said east line of Sec. 12, Thence N88°02'20" W 1883.12 ft., Thence S0°35'40" W 384.80 ft., Thence S 1°44'20" E 306.30 ft., Thence S88°27'10" E 1876.58 ft. to the point of beginning, 100 Numbered Lots 2 course

ACKNOWLEDGMENT

STATE OF Michigan
 County of Livingston
 On this 8th day of May, 1958, before me, a Notary Public in and for said County, personally came the above named Ross Reynolds and Hazel N. Reynolds, his wife known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.
G.D. Stickney
 Notary Public, Livingston County
 My Commission expires November 3, 1961

ACKNOWLEDGMENT

STATE OF Michigan
 County of Livingston
 On this 8th day of May, A.D. 1958, before me, G.D. Stickney a Notary Public in and for said county appeared E. Charles Wagner, Joseph L. Abby and Robert T. Chapek to me personally known, who being each by me duly sworn did say that they are the President and Vice President and Sec. -Treas. respectively of the Pleasure Land, Inc. Michigan corporation, and that the seal affixed to said instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors and the said E. Charles Wagner, Joseph L. Abby and Robert T. Chapek acknowledged said instrument to be the free act and deed of said corporation.
G.D. Stickney
 Notary Public, Livingston County
 My Commission expires November 3, 1961

COUNTY TREASURER'S CERTIFICATE

Office of County Treasurer, Livingston County.
 I hereby certify, that there are no tax liens or taxes held by the State on the lands described herein, and that there are no tax liens or taxes held by individuals on said lands, for the five years preceding the 8th day of May, 1958 and that the taxes for said period of five years are all paid, as shown by the records of this office.
 This certificate does not apply to taxes, if any, now in process of collection by township, city or village collecting officers.
Dorothea J. Greer
 County Treasurer

CERTIFICATE OF MUNICIPAL APPROVAL

This plat was approved by the Township Board of the Township of Genoa at a meeting held Jan. 24, 1958 and that the width of lots is in compliance with requirements of Section 30, Act 172, of 1929, as amended.
Dorothy T. Musch
 Clerk

APPROVAL BY BOARD OF COUNTY ROAD COMMISSIONERS

This plat has been examined and was approved on the 2nd day of May, 1958 by the Livingston County Board of Road Commissioners.
Fred Berry (Chairman)
Delbert W. Smith (Member)
Norman S. Topping (Member)

APPROVAL BY COUNTY PLAT BOARD

This plat was approved on the 8th day of May, 1958, by the Livingston County Plat Board.
William L. Hack (County Register of Deeds)
John A. Hagman (County Clerk)
Dorothea J. Greer (County Treasurer)
Floyd W. Munsell (County Drain Commissioner)

SURVEYOR'S CERTIFICATE

I hereby certify that the plat herein delineated is a correct one and that permanent metal monuments consisting of bars not less than one-half inch in diameter and 36 inches in length, or shorter bars of not less than one-half inch in diameter lapped over each other at least 6 inches with an over-all length of not less than 36 inches, encased in a concrete cylinder at least 4 inches in diameter and 36 inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted, at all the intersections of streets, intersections of alleys, or of streets and alleys, and at the intersections of streets and alleys with the boundaries of the plat as shown on said plat.
Russell A. Cole
 Registered Land Surveyor Professional Engineer
 Russell A. Cole


Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
WALBLAY ALLEN	CAGNOLI PATRICIA	37,000	12/29/2021	WD	03-ARM'S LENGTH	2022R-001420	BUYER/SELLER	100.0
OLIVER-REYNOLDS HOLDINGS L	WALBLAY ALLEN	4,000	07/24/2020	QC	21-NOT USED/OTHER	2020R-024367	BUYER/SELLER	100.0
REYNOLDS DANIEL LEE	OLIVER-REYNOLDS HOLDINGS I	0	02/11/2014	QC	21-NOT USED/OTHER	2014R-003589	BUYER/SELLER	0.0
DAVENPORT DANIEL M & JANE	REYNOLDS DANIEL LEE	6,000	03/15/2011	LC	21-NOT USED/OTHER	2011R-008538	BUYER/SELLER	100.0

Property Address	Class: RESIDENTIAL-VACANT	Zoning: MHP	Building Permit(s)	Date	Number	Status
1632 HIGH HAVEN DR	School: HOWELL PUBLIC SCHOOLS		Demolition	08/25/2020	PW20-090	7 FINAL BL
Owner's Name/Address	P.R.E. 0%					
CAGNOLI PATRICIA 7918 BIRKENSTOCK BRIGHTON MI 48114	MAP #: V24-20					
	2025 Est TCV Tentative					

Tax Description	Improved	X	Vacant	Land Value Estimates for Land Table 4404.4404 SUBURBAN MOBILE HOME ESTATES							
SEC. 12 T2N, R5E, "SUBURBAN MOBILE HOME ESTATES" LOT 88				* Factors *							
Comments/Influences				Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
				<Site Value A>	A STANDARD LOT		20000	100			20,000
					0.00	Total Acres	Total Est. Land Value =				20,000

Public Improvements	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Dirt Road	2025	Tentative	Tentative	Tentative			Tentative
Gravel Road	2024	10,000	0	10,000			8,820C
Paved Road	2023	10,000	0	10,000			8,400C
Storm Sewer	2022	8,000	0	8,000			8,000S
Sidewalk							
Water							
Sewer							
Electric							
Gas							
Curb							
Street Lights							
Standard Utilities							
Underground Utils.							

Topography of Site	Who	When	What	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level	JB	10/02/2020	INSPECTED	2025	Tentative	Tentative	Tentative			Tentative
Rolling	LM	09/23/2014	REVIEWED R	2024	10,000	0	10,000			8,820C
Low				2023	10,000	0	10,000			8,400C
High				2022	8,000	0	8,000			8,000S
Landscaped										
Swamp										
Wooded										
Pond										
Waterfront										
Ravine										
Wetland										
Flood Plain										
X REFUSE										

	4711-12-401-088	10/02/2020		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
				2025	Tentative	Tentative	Tentative			Tentative
				2024	10,000	0	10,000			8,820C
				2023	10,000	0	10,000			8,400C

				2022	8,000	0	8,000			8,000S
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*** Information herein deemed reliable but not guaranteed***



July 16, 2024

Zoning Board of Appeals
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	1330 Clark Lake Road – Appeal of administrative decision
Location:	1330 Clark Lake Road – south/east side of Clark Lake Road, northeast of the Clark Lake Road/Hacker Road intersection
Zoning:	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted appealing an administrative decision related to the property at 1330 Clark Lake Road.

More specifically, the applicant is appealing the decision that an as-built drawing needs to be signed and sealed by a licensed engineer.

The matter stems from a condition tied to a ZBA approval in 2014 that required the applicant to provide an as-built drawing to the Township upon completion of the construction project. (This case was originally heard and granted in 2011, though construction never commenced and the approval was deemed null and void. The applicant submitted again in 2014 and the request was again granted with the same conditions.)

Per Section 23.02.01, the ZBA has the authority “to hear and decide appeals where it is alleged by an appellant that there is an error in any order, requirement, permit, decision, or refusal made by the Planning Commission or any administrative official charged with administration or enforcement of this Ordinance.”

We provide the following points for the Board’s consideration:

- The Township Zoning Ordinance defines *as-built plans* as “revised construction plans in accordance with all approved field changes.”
- A letter dated January 4, 2011 from a professional engineer (William J. Goodreau, PE) included on the applicant’s behalf as part of the original variance submittal in 2011, states that “I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an “as-built” plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.”
- We consulted *A Planner’s Dictionary*, a book published by the American Planning Association for a definition of *as-built plans*, as follows: “construction (or) engineering plans prepared after the completion of construction, by the engineer or record, in such a manner as to accurately identify and depict the location of all on-site improvements, which includes but is not limited to all structures, parking facilities, detention / retention areas, curbs, gutters, (and) sidewalks.”
- We consulted with Building Officials representing several communities in Michigan and found that the Building Code does not require an as-built plan for residential construction under 3,500 square feet. However, this was a condition of a ZBA approval, so it must be provided regardless.

Additionally, said Building Officials indicated that where an as-built plan is required, they would not accept anything that was not signed and sealed by a licensed engineer.

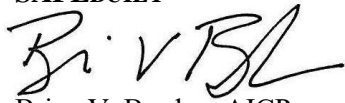
In summary, though the Township Zoning Ordinance's definition does not include reference to a licensed engineer, in our opinion, this was very likely the ZBAs intent.

This is based on the generally common acceptance that an "as-built plan" is one that is prepared by a licensed engineer, as well as the fact that it was specifically recommended by the applicant's engineer as part of the 2011 ZBA request.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFEBUILT

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP
Michigan Planning Manager

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
MALYSZ DOLORES	MALYSZ CHRIS	100,000	04/01/2021	QC	09-FAMILY	2021R-014487	BUYER/SELLER	0.0
MALYSZ DOLORES REVOCABLE T	MALYSZ DOLORES	1	06/26/2017	QC	14-INTO/OUT OF TRUST	2017R-019247	BUYER/SELLER	0.0
MALYSZ DELORES	MALYSZ DOLORES REVOCABLE T	0	03/21/2013	QC	14-INTO/OUT OF TRUST	2013R-011998	BUYER/SELLER	0.0
MALYSZ, CHRISTOPHER A.	MALYSZ DELORES	0	12/29/2003	QC	09-FAMILY	4288/0287	BUYER/SELLER	0.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LRR	Building Permit(s)	Date	Number	Status
1330 CLARK LAKE RD	School: HOWELL PUBLIC SCHOOLS		Residential Addition	04/19/2021	P21-050	7 FINAL BL
	P.R.E. 100% 05/21/2021		Residential Addition	11/20/2018	P18-205	
Owner's Name/Address	MAP #: V24-21		Other: See Work Descriptio	10/30/2018	PW18-157	
MALYSZ CHRIS 1330 CLARK LAKE RD BRIGHTON MI 48114-8917	2025 Est TCV Tentative		ADDITION	05/21/2015	P15-073	NO START

Tax Description	Improved	Vacant	Land Value Estimates for Land Table 4002.4002 DODGE ESTATES							
SEC. 12 T2N, R5E, CLARK LAKE PARK LOTS 113 AND 114	X		* Factors *							
Comments/Influences			Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
			A WF CLARK LK	70.00	195.00	1.0000	1.0000	1300	100	91,000
			70 Actual Front Feet, 0.31 Total Acres Total Est. Land Value = 91,000							

Public Improvements	Topography of Site	Level	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
X Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.		Rolling Low High Landscaped Swamp Wooded Pond	2025	Tentative	Tentative	Tentative			Tentative
X Waterfront Ravine Wetland Flood Plain			2024	45,500	132,100	177,600			90,577C
X REFUSE			2023	45,500	120,900	166,400	0M		0
			2022	45,500	107,700	153,200	0J		0

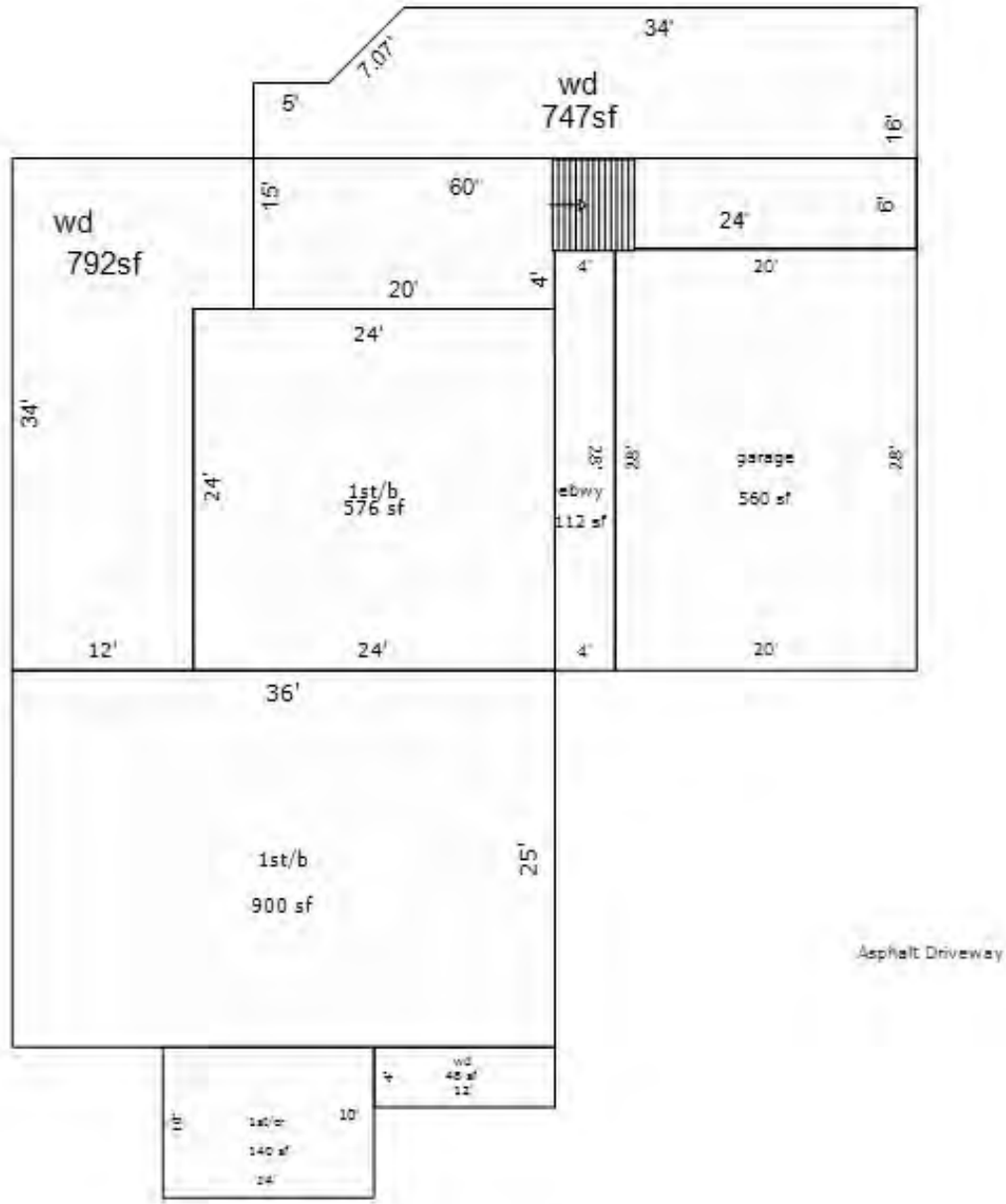


4711-12-400-009 10/02/2020
 The Equalizer. Copyright (c) 1999 - 2009.
 Licensed To: Township of Genoa, County of Livingston, Michigan

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 48 456 112	Type Treated Wood Treated Wood Brzwy, FW	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 560 % Good: 98 Storage Area: 0 No Conc. Floor: 0
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling											
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration			Central Air Wood Furnace			Class: C Effec. Age: 31 Floor Area: 1,616 Total Base New : 299,586 Total Depr Cost: 243,781 Estimated T.C.V: 292,537						
Yr Built 1962	Remodeled 2014	Ex	X	Ord		Min	No./Qual. of Fixtures			Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts Ground Area = 1616 SF Floor Area = 1616 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=69/100/100/100/69						
Condition: Good		Lg	X	Ord		Small	No. of Elec. Outlets			Building Areas						
Room List		Doors:		Solid	X	H.C.	(12) Electric			Stories						
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors		(12) Electric			0 Amps Service			Foundation						
(1) Exterior		Kitchen: Other: Other:		Ex. X Ord. Min			Average Fixture(s)			Size						
X	Wood/Shingle Aluminum/Vinyl Brick Insulation	(6) Ceilings		No. of Elec. Outlets			1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Cost New						
(2) Windows		(7) Excavation		Many X Ave. Few			(13) Plumbing			Depr. Cost						
X	Many Avg. Few	X	Large Avg. Small	Basement: 1476 S.F. Crawl: 140 S.F. Slab: 0 S.F. Height to Joists: 0.0			1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Total:						
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			Average Fixture(s)			Other Additions/Adjustments						
(3) Roof		(9) Basement Finish		(14) Water/Sewer			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Basement, Outside Entrance, Below Grade						
X	Gable Hip Flat		Gambrel Mansard Shed	Recreation SF Living SF 1 Walkout Doors (B) No Floor SF Walkout Doors (A)			Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			Plumbing						
X	Asphalt Shingle	(10) Floor Support		Lump Sum Items:			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Deck						
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:		Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Garages						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Class: C Exterior: Siding Foundation: 42 Inch (Unfinished)						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Base Cost						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Breezeways						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Frame Wall						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Notes:						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			ECF (4002 DODGE ESTATES) 1.200 => TCV:						
				Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			2 Fixture Bath Water/Sewer 1000 Gal Septic Water Well, 200 Feet			Totals:						

*** Information herein deemed reliable but not guaranteed***



*** Information herein deemed reliable but not guaranteed***

May 20, 2024

Genoa Charter Township Zoning Board of Appeals
c/o Kelly VanMarter, AICP, Township Manager
2911 Dorr Road
Brighton, Michigan 48116

Re: Appeal of Township Manager's Decision pertaining to
Petition 14-21

Dear ZBA Board Members:

I am writing this letter to appeal the decision of the Township Manager regarding her interpretation of the conditions of its approval, to-wit:

The adopted minutes of the ZBA for Petition 14-21 specify the following:

“This approval is conditioned upon the drawings that were submitted being stamped and signed by a certified engineer, and as-built to be drawn up, and all necessary approvals from the Health Department...”

Following the conditions imposed by the ZBA, I had my engineer stamp and sign the drawings and contacted the Health Department for its approvals. I then submitted the stamped and signed drawings and the Health Department approvals to the Township Planning Department for the land use permit. I then submitted appropriate information to the Livingston County Building Department for a building permit. The building permit was issued, and I constructed the addition according to the plans.

Post construction and for some time now, I have had conversations with Township staff regarding the preparation and submittal of the as-built drawing. The Township Manager has intervened and has officially informed me that I must submit an as-built drawing that is **stamped and signed by a certified engineer**. Therein lies the issue of my appeal.

Referring to the conditions of approval, the ZBA **did not require** the as-built drawing to be stamped and signed by a certified engineer. It only required that an as-built drawing be prepared and, presumably, submitted.

Also, I think it is important to point out that the neighboring property owner who objected to my proposal was concerned about drainage issues affecting his property and mine. At this time, I am pleased to report that the Livingston County Road Commission recently completed roadway improvements designed to alleviate the surface drainage issues. The roadbed and the drainage swale on the western side of the roadbed have been regraded, a new catch basin has been installed, and a collapsed drainage pipe has been replaced.

So, since the drainage issue has been addressed by the County Road Commission, it would appear requiring an as-built drawing stamped and signed by a certified engineer would be moot.

Finally, on a personal note, I am a retired and disabled member of the United States Army. At this time expending additional dollars for an as-built drawing that is stamped and signed by a certified engineer would be an expensive and unnecessary given that the drainage issue has been addressed.

I will be in attendance to provide you with photographs of my completed project and the roadway improvements implemented by the County Road Commission, and to answer any questions you may have.

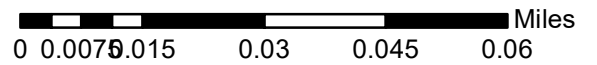
Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "C. A. Malysz". The signature is fluid and cursive, written over a white background.

Christopher A. Malysz
1330 Clark Lake Road
Brighton, Michigan 48144

300 Foot Buffer for Noticing



Variance Case: 24-21

Address: 1330 Clark Lake

Parcel: 4711-12-400-009

Meeting Date: July 23, 2024



June 24, 2024

From: [Kelly VanMarter](#)
To: "I am Tall!"
Bcc: [Amy Ruthig](#)
Subject: RE: Citation and permit.
Date: Tuesday, April 30, 2024 1:55:00 PM
Attachments: [image005.png](#)
[010411 Revised Engineer Letter.pdf](#)
[Schedule for ZBA 2024.pdf](#)
Importance: High

Mr. Malysz,

I do not agree. I believe the intent of the Zoning Board was for a certified as-built drawing to be prepared and submitted from an engineer or licensed surveyor. The basis for this opinion can be found in the staff report from the March 15th, 2011 Zoning Board of Appeals packet and also from the letter submitted from your civil engineer, Bill Goodreau dated January 4, 2011 (attached again). I've posted excerpts of these documents below.

My email to you on April 3rd stands as written and provides my analysis and expectation for your project.

If you wish to appeal this decision you may submit an appeal to the Zoning Board of Appeals. The Zoning Board has jurisdiction to hear and decide appeals where it is alleged by an appellant that there is an error in any order, requirement, permit, decision, or refusal made by any administrative official charged with administration or enforcement of the Ordinance. The Board of Appeals may reverse an order of an administrative official or the Planning Commission only if it finds that the action or decision appealed meets one (1) or more of the following requirements: (a) Was arbitrary or capricious.; (b) Was based on an erroneous finding of a material fact.; (c) Constituted an abuse of discretion.; (d) Was based on erroneous interpretation of the Zoning Ordinance or zoning law.

If you wish to file an appeal, you must submit a notice of appeal, specifying the grounds thereof. The cost is \$215 and the schedule is attached.

Charter Township of Genoa
ZONING BOARD OF APPEALS
MARCH 15, 2011
CASE #10-25

PROPERTY LOCATION: 1330 Clark Lake Road

PETITIONER: Dolores Malysz

ZONING: LRR (Lakeshore Resort Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a front yard variance to construct a covered porch.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards - LRR (Lakeshore Resort Residential)

STAFF COMMENTS: Petitioner is seeking a variance to enclose a porch on the front of the home. Additionally, the petitioner is seeking to raise the home up to make a walkout basement.

Petitioner was tabled at the December 14th, 2010 meeting to allow the petitioner time to get a revised letter from an engineer to approve the proposed drainage plan.

Staff recommends that any plan approved by the ZBA be conditioned upon the petitioner having the plans drawn by a certified engineer, that those plans be then reviewed by the Township Engineer and that a certified engineer inspect the actual construction and sign off that they were built according to the plans.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	10	40		-
Setbacks Requested	15					
Variance Amount	20					

The proposed improvements to this site will result in negligible rainfall runoff from this site to flow onto adjacent properties. Drainage runoff from Clark Lake Road along the frontage of the subject property and drainage runoff from the site will be contained within the site and will eventually discharge into Clark Lake.

I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an "as-built" plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,



William J. Goodreau, PE

Kelly VanMarter, AICP
Township Manager

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: I am Tall <cmalysz@yahoo.com>
Sent: Tuesday, April 30, 2024 12:57 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: Re: Citation and permit.

Hello Kelly,

I think that we're on the same page now. I will get an "as-built" drawing together for the Township as clearly outlined in the ZBA minutes. I was being told that it had to be drawn up and stamped by an engineer, and that would cost a lot of money, and not what's in the ZBA minutes.

If we're on the same page, I'll have that to you next Monday if that's acceptable.

Please let me know.

Thank you very much,

Christopher Malysz

On Friday, April 26, 2024 at 02:33:31 PM EDT, Kelly VanMarter <kelly@genoa.org> wrote:

My mistake. It was the July 15, 2014 ZBA meeting not the June meeting. See attached and snips below. Also, please note that all zoning runs with the land. This means that variances and land use permits are granted to the property and stay with the property not the property owner. Lastly, please see email thread attached and note your email to Amy Ruthig on Friday, December 18, 2020 in which you indicate in post script that you are working on completing the "as built" for the Township as requested. This is not a new requirement and the condition has been an open and obvious requirement of the renovation project since it started.

Motion by Barbara Figurski to approve petition 14-21 for a front yard setback variance to construct an addition and raise foundation. Ms. Figurski quoted item 10-25 from the minutes of March 15, 2011.

... front yard variance for a covered porch with a variance amount of 20' and setback of 15'. The finding of fact is the topography of lot. This approval is conditioned upon the drawings that were submitted being

stamped and signed by a certified engineer, **an as-built to be drawn up**, and all the necessary approvals from the Health Department ...

and Building Department to be supplied to the Township. The applicant will agree to have Mr. Akers review the litter ordinance with the petitioner. Support by Jean Ledford.
Motion carried unanimously.

10-25...A request by Delores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made by Kenneth Frasheski, 1348 Clark Lake Road, who asked what if the plan that Mr. Malysz is presenting does not work. This is the second variance that he has made on property that he does not own. There is no attention to detail with the drawings and what is the distance from the swale to his property. I hope that if you agree to grant this variance that the board would require professional drawings.

Moved by Wildman, supported by McCreary, to grant case #10-25, 1330 Clark Lake Road, for a front yard variance for a covered porch with a variance amount of 20' and a setback with 15'. The finding of fact is the typography of the lot. This approval is conditioned upon the drawings that were submitted being stamped and signed by a certified engineer, **an as-built to be drawn up**, and all the necessary approvals from the Livingston County Health Department are to be supplied to the Township. **Motion carried unanimously.**

Kelly VanMarter, AICP

Township Manager

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: I am Tall <cmalysz@yahoo.com>
Sent: Friday, April 26, 2024 1:17 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: Re: Citation and permit.

Good afternoon Ms. VanMarter,

I have looked over the 06-17-14 minutes several times as my sight has allowed me, and nowhere within that document do I see anything pertaining to the variances requested by Dolores M. Malysz. On the 03-15-11 minutes, it is noted that the individual who resides at 1348 Clark Lake Road, "who asked what if the plan that Mr. Malysz is presenting does not work. This is the second variance that he has made on the property that he does not own." That individual is correct, I didn't own the property at the time the variances were requested. Additionally, the individual who resides at 1348 Clark Lake Road said, "there is no attention to detail with

the drawings and what is the distance of the swale to his property." I'm not sure what he is trying to express, but the swale is located on the property formerly owned by Dolores M. Malysz at the time of the meeting and the variances were approved.

In the unanimously passed motion by the Z.B.A. it is so noted, "This approval is conditioned up the drawings that were submitted being stamped and signed by a certified engineer, an as-built to be drawn up, and all necessary approvals by the Livingston County Health Department are to be supplied to the Township." In the 14-21 packet, on page 14, the drawings were signed by a certified engineer, William Goodreau. As far as the "as-built" in the approval, it makes only a requirement of an as-built be submitted, and not that it be submitted by an engineer. Finally, the Board requested that Livingston County Health Department approval to be submitted. Now, the entire reason for that is because Kenneth Frasheski who resides at 1348 Clark Lake Road, came before the Z.B.A. and lied repeatedly that I had sewage water draining into the lake. I provided to the Township the requested documentation of approval from the L.C.H.D. I also provided the documentation that Frasheski called the L.C.H.D., met with a health department official on my property, and the health department official showed Frasheski that the sewage leaking into the lake that Frasheski lied to the Z.B.A. about, was actually Blue Gills making their spawning beds. All of the additional requirements made by the Z.B.A. was from Frasheski lying.

On page 3 of three of the Z.B.A. 14-21, Ron Akers, who I spoke to the previously on the property at 1330 Clark Lake Road, asked what the paver bricks and block were doing on the site. I informed him that the structural moving company that I had hired to raise the house would be here the next Spring to raise the house and replaced the foundation and to complete the work that was approved. Unfortunately, Mr. Akers never went back to the Township to review that submitted and approved documents and reported inaccurately that no work had been completed. Mr. Akers apparently doesn't know what is required to raise a house off of its foundation. There had been substantial work completed on the interior so the house could be raised, and the foundation replaced. Disconnecting the house anchoring from the foundation, waterlines to be disconnected, electrical lines to be rerouted and adjusted, sanitary lines to be prepared for immediate disconnection and ready for reconnection, etc. Mr. Akers never entered the house to confirm anything. Additionally, Adam Van Tassel who was the prior zoning official who was overseeing the department had indicated to me that the project simply needed to be started within the 12 months of the approval of the permit, but not completed. Once again, the project had begun. That being said, and more importantly, the property owner and applicant was Dolores M. Malysz.

If you look at the minutes from both Z.B.A. meetings, within the recorded minutes, can you please show me where it says that an engineered drawing is supposed to be submitted, and for that matter, where my name is. I didn't become the property owner until the "new" land use application was applied for, I believe April 5, 2021, for a garage, sprinkler system, retaining walls, and something else, but I can't find or remember exactly what was on that application, but that application didn't require any variances.

Sorry for taking so long, but I deal with migraines, and some other pain and issues from T.B.I.'s I sustained while in the Army.

Sincerely,

Christopher Malysz

On Tuesday, April 9, 2024 at 05:02:54 PM EDT, Kelly VanMarter <kelly@genoa.org> wrote:

The Zoning Board of Appeals required it at their June 17, 2014 and March 15, 2011 meetings. See attached minutes and also the packet from the 2014 meeting.

Kelly VanMarter, AICP
Township Manager

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: I am Tall <cmalysz@yahoo.com>
Sent: Tuesday, April 9, 2024 4:29 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: Re: Citation and permit.

Hi Ms. VanMarter,

I'm still confused, where is it on either of these land use permits, the original owner being Dolores Malysz and I think may have received variances on a different project, the requirement of engineered drawings?

Thanks,

Christopher Malysz

On Tuesday, April 9, 2024 at 02:39:01 PM EDT, Kelly VanMarter <kelly@genoa.org> wrote:

The permits were issued to 1330 Clark Lake Road. See below images for permit application details.

Kelly VanMarter, AICP
Township Manager

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: I am Tall <cmalysz@yahoo.com>
Sent: Tuesday, April 9, 2024 1:25 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: Citation and permit.

Good morning Ms. VanMarter,

Please excuse my delay as I'm dealing with numerous health issues brought on from my time in service, cancer, vision loss, migraines, and several other issues. I'm confused on the citation and permitting. Who were the permits issued to?

I'm doing better today and will reply today if you do to further this process.

Sincerely,

Christopher Malysz

Amy Ruthig
Planning Director



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824
E-mail: amy@genoa.org, Url: www.genoa.org

From: Amy Ruthig
Sent: Monday, December 21, 2020 4:38 PM
To: I am Tall <cmalysz@yahoo.com>
Subject: RE: Extension of the Land Use permit.

Good Afternoon,

I have attached your amended land use permit. However, I only felt comfortable extending the permit until March 23, 2020. Please see the following conditions for the Dec. 21, 2020 Permit Amendment below as stated on the permit:

Amended 12-21-20: Due to COVID-19 Issues, the applicant has until March 23, 2020 to complete the project including submitting as-built per ZBA approval and obtaining Certificate of Occupancy. If applicant cannot meet the March 23, 2020, a new land use permit is required. AR

Also, the Code Enforcement Officer was out for an inspection today and noticed that you have drainage from the garage to the side of the property. It appears that it is draining onto the vacant lot. It was difficult to tell where the property line is. As part of the ZBA approval, it states that drainage must be maintained on the lot. Even though you own the lot next door, the drainage has to be maintained on 1330 Clark Lake Road.

Thank You,

Amy Ruthig
Zoning Official



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824
E-mail: amy@genoa.org, Url: www.genoa.org

From: I am Tall [<mailto:cmalysz@yahoo.com>]
Sent: Friday, December 18, 2020 11:40 AM
To: Amy Ruthig
Subject: Extension of the Land Use permit.

Good Morning Amy,

I'm requesting an extension of the land use permit for another 6 months. Unfortunately I'm not able to acquire some of the electrical materials needed to complete the electrical work that's required due to the current environment with the virus; there has been a shortage of lots of different materials from what I've been told. The property is all cleaned up, and the structure is completed. I've

received numerous complements from neighbors as to how nice everything looks, and I hope to have all of the landscaping completed next spring also. The pallets of brick pavers are all removed and installed, the only thing left is the retaining wall blocks, 3 pallets left out of the 12 that were there, and that will be installed after the seawall and grading is completed next spring. I've contracted a contractor to do that, and that's the time frame that I was given. They also suggested not to complete the landscaping until after they finish due to the machinery that will be required for the job and the damage that it would do to the grounds and sprinkling system. They're handling all of the permits, and whatever is required with E.G.L.E.

Thank you very much for your patience and understanding. If you have any questions I'd be more than happy to answer them for you.

Merry Christmas and Happy Holidays,

Christopher Malysz

P.S. I'm working on completing an "as built" for the Township as requested.

revised
letter

P.O. Box 163 • Fowlerville, MI 48836
(586) 980-9118 • Fax (517) 546-2059

January 4, 2011

Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members :

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

The proposed improvements to this site will result in negligible rainfall runoff from this site to flow onto adjacent properties. Drainage runoff from Clark Lake Road along the frontage of the subject property and drainage runoff from the site will be contained within the site and will eventually discharge into Clark Lake.

I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an "as-built" plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. J. Goodreau', with a long horizontal flourish extending to the right.

William J. Goodreau, PE

ZBA MEETING SCHEDULE AND SUBMITTAL DATES FOR 2024

Complete applications must be submitted by 1:00 p.m.

***** Please note that any incomplete applications will not be accepted***

Meeting Date:

January 23, 2024 Tuesday @ 6:30 p.m.*

Submit by: December 19, 2023

February 20, 2024 Tuesday @ 6:30 p.m.

Submit by: January 23, 2024

March 19, 2024 Tuesday @ 6:30 p.m.

Submit by: February 20, 2024

April 16, 2024 Tuesday @ 6:30 p.m.

Submit by: March 19, 2024

May 21, 2024 Tuesday @ 6:30 p.m.

Submit by: April 23, 2024

June 18, 2024 Tuesday @ 6:30 p.m.

Submit by: May 21, 2024

July 23, 2024 Tuesday @ 6:30 p.m.*

Submit by: June 18, 2024

August 20, 2024 Tuesday @ 6:30 p.m.

Submit by: July 23, 2024

September 17, 2024 Tuesday @ 6:30 p.m.

Submit by: August 20, 2024

October 22, 2024 Tuesday @ 6:30 p.m.*

Submit by: September 17, 2024

November 19, 2024 Tuesday @ 6:30 p.m.

Submit by: October 22, 2024

December 17, 2024 Tuesday @ 6:30 p.m.

Submit by: November 19, 2024

**denotes meeting date disrupted by a holiday or conflict.*

From: [Kelly VanMarter](#)
To: [Chris Malysz](#)
Cc: [Amy Ruthig](#); [Sharon Stone-Francis](#); [Rick Swanson \(RSwanson@livgov.com\)](#)
Subject: RE: Permit for garage at 1330 Clark Lake Road.
Date: Wednesday, April 3, 2024 11:04:00 AM
Attachments: [1330 Clark Road Engineer Certification.pdf](#)
Importance: High

Mr. Malysz,

I have reviewed all of our records related to the ongoing remodeling project at 1330 Clark Lake Road. As you know, this project has dragged on for 14 years. There have been multiple permits related to different aspects of the project. The time delay and project variation have created confusion. I have carefully analyzed the requirement for “as-built” plans in regard to this property and as Zoning Administrator I offer the following opinion and guidance:

The variance granted in 2014 was for a 12’x9’ addition to the front (north) side of the home, raising the finished floor elevation of the home by 5 feet, and eliminating the taper on the east side to construct retaining walls for maximum water control. These were minor amendments to an expired variance request that was approved after multiple meetings in 2011. The main concerns discussed during the Zoning Board of Appeals hearings in 2010, 2011 & 2014 related to stormwater runoff and drainage.

In conjunction with the 2011 variance, the applicant’s engineer recommended that the applicant hire a licensed civil engineer to monitor the construction of the proposed improvement and prepare as-built plan of the improvements, and provide certification that the improvements are in substantial compliance with the design plan (Goodreau letter 01/4/11). The certified drawing and letter from the engineer are attached to this email. It was this recommendation which I believe was the basis for the staff recommendation and Zoning Board requirement that an as-built drawing be provided.

The permit issued on May 21, 2015, was the implementation of the 2014 Variance and carried with it the conditions of the Zoning Board of Appeals approvals. One of those conditions required that as-built drawings be provided by a certified engineer to inspect the actual construction and ensure that the home is constructed according to the plans. The 2015 permit included the breezeway addition for the garage.

In 2018 and again in 2021, the Township issued new permits for the breezeway garage addition and retaining walls since the 2015 permit would have expired. Since the required as-built drawings were yet to be provided, Township staff continued to correctly condition these permits to ensure that the requirements of the Zoning Board were satisfied. I know that you were aware of this requirement because you indicated in an email to my staff in December of 2020 that you were working on the required as-built.

Although multiple permits have been issued for various portions of the project, the requirement for as-builts has been consistent and remains outstanding. The Township has not issued final approval for any aspects of the project and we cannot sign off on any Certificates of Occupancy until this issue

is resolved. **To that end, please provide an as-built drawing by a licensed surveyor or civil engineer to confirm that the home location which was subject to the front yard setback variance is in compliance. Additionally, and perhaps more relevant to the Zoning Board's condition, please provide certification from a licensed surveyor or civil engineer regarding site drainage to show that it is either in compliance with the certified plan stamped approved on 3/12/12 or to verify that site grading and drainage is properly managed on-site with no impact to adjacent properties.**

I will void Citation #1472 however you must submit the required as-built plan from a licensed surveyor or civil engineer on or before May 1, 2024 to avoid additional enforcement action.

Please let me know if you have any questions.

Sincerely,

Kelly VanMarter, AICP
Township Manager

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: I am Tall <cmalysz@yahoo.com>
Sent: Friday, March 22, 2024 2:29 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: Permit for garage at 1330 Clark Lake Road.

Good afternoon Kelly,

Please excuse the casual greeting, but I didn't get the correct spelling of your last name, so instead of messing it up I just went with Kelly.

If you have approximately 5 minutes, I was hoping to get a small matter addressed and clarified.

Here's my cell phone number. 586-292-6688

I hope to hear from you this afternoon, but if you don't have the time, please let me know what your earliest convenience will be.

Thank you very much,

Christopher Malysz

P.S. I don't have the direct phone number from your office in my phone book, so the call unfortunately will go directly into voicemail, which at that time I'll call you right back. Sorry

revised
letter

P.O. Box 163 • Fowlerville, MI 48836
(586) 980-9118 • Fax (517) 546-2059

January 4, 2011

Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members :

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

The proposed improvements to this site will result in negligible rainfall runoff from this site to flow onto adjacent properties. Drainage runoff from Clark Lake Road along the frontage of the subject property and drainage runoff from the site will be contained within the site and will eventually discharge into Clark Lake.

I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an "as-built" plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. J. Goodreau', with a long horizontal flourish extending to the right.

William J. Goodreau, PE

1330 CLARK LK. RD.

1" = 10'

— EXISTING GRADE
X — PROPOSED GRADE

WATERS EDGE "APPROXIMATE"

FENCE LINE

FENCE LINE

X 85.15

86.15 X

87.15 X

88.15 X

X 96.15

91.15 X

95.6 X

X 95.0

91.35

X 95.6

96.55 X

3' WIDE SWALE

4' WIDE SLOPE

96.65 X

100.8

PROPOSED EXPANSION

SWALE

100.6 X

16'

96.75 X

100.8

X 96.15

100.4 X

X 97.15

100. X

X 98.15

SUMP

99.8 X

DRAIN IN UNDER DRIVE WAY

100.8 X

101.5 X

101.8 X

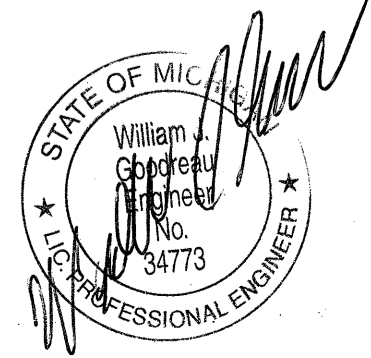
102.4 X

102.6 X

EDGE OF GRAVEL

NORTH CLARK LAKE ROAD

12-400-009



GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
July 15, 2014, 6:30 P.M.
AGENDA

Call to Order: Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals present were as follows: Marianne McCreary, Barbara Figurski, Jean Ledford, Chris Grajek, and Chairman Dhaenens. Also present was Township staff member, Ron Akers. There were 18 members of the public present.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: **Moved** by Barbara Figurski to approve the agenda. Support by Jean Ledford. **Motion passed unanimously.**

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 14-15 ... A request by Kristinne Horvath, 3682 Beattie Road, for a variance from the maximum allowable building height of an accessory building to construct a detached accessory building.

Ron Akers reported that the applicant is requesting a postponement. **Motion** by Chris Grajek to postpone this item until the August meeting. Support by Barbara Figurski. **Motion carried unanimously.**

2. 14-16 ... A request by NorthRidge Church, 7555 Brighton Road, for a variance to install a wall sign in a single family residential zoning district.

Brian Ammon appeared on behalf of NorthRidge Church and addressed the Zoning Board of Appeals. They would like to put a sign on the front wall facing Brighton Road, which would not normally be permitted. There will be a monument sign, but given the curvature of the road and slope of the property, they desire a sign on the front wall, as well.

Ms. McCreary and Ms. Ledford voiced concerns that the additional sign, as proposed, would not be in a location that would be visible from the roadway. Mr. Ammon indicated that it would be more visible for the cars coming from the east. Mr. Grajek believed it would not be of assistance in navigation, but rather in confirming that the motorist had pulled into the correct driveway. Ms. Figurski indicated that the sign is more visible from Pine Creek than from the road. Chairman Dhaenens indicated that it was a shame that this is a residential area. Ms. Ledford expressed her concerns as it relates to the precedent that would be created if this is approved. The sign will not be

illuminated. Ms. McCreary asked the petitioner what harm would be suffered if this were not granted . He said none.

Rick Bibick, 7544 Brookview Drive addressed the Zoning Board of Appeals. He believes this is a self-created issue and he does not support this variance. He believes that only one criteria has been satisfied. He thinks the wall sign is larger than the monument sign. He is concerned about the precedence that would be set.

Ann Bibick, 7544 Brookview Drive addressed the Zoning Board of Appeals. She concurs with the comments made previously by the public and by the members of the Zoning Board of Appeals.

Motion by Jean Ledford to deny this petition. The need for this variance is based on the philosophy of the church, not on extraordinary circumstances applicable to the property or use and is therefore, self-created. The zoning prohibits the use of more than one sign. The petitioner has the ability to construct a monument sign, which may be relocated or redesigned. Support by Barbara Figurski. **Motion carried.**

Ayes: Grajek, McCreary, Ledford, Figurski. Nay: Dhaenens.

3. 14-17 ... A request by Tim Chouinard, 824 Pathway, for side yard setback variance, front yard setback variance and shoreline setback variance to construct an addition to the existing house.

Tim Chouinard addressed the Zoning Board of Appeals. The new drawings were submitted for review prior to this evening. The foundation was moved slightly to accommodate the oak tree.

Derek Dixon, 836 Pathway Drive addressed the Zoning Board of Appeals. He asked whether the side setback would require a cantilever. The two feet setback was granted for the eaves, not for the physical building. He discussed his concerns about preserving the oak tree. The view of the shoreline may be impaired, but they are more concerned about preserving the oak tree. The document from the Tree Doctor was shared with the petitioner and with the Zoning Board of Appeals members.

Motion by Chris Grajek to grant a variance of 27.5' from the front yard setback which is proposed at 7.5 feet; a variance of 1.34' from the side yard setback which is proposed at 8.66'; and a variance of 6' from the shoreline setback which is proposed at 39.5 feet. The side setback would be measured to the cantilevered area of the southeast corner of the house and would be specified as cantilever and not foundation to that setback to make allowance for saving the oak tree. The practical difficulty is the size of the lot(s) around lakefronts and their topography. In this case, there is substantial hardship because of where the road placement is. It does not affect the safety and welfare in neighboring housing. It is consistent with the neighborhood. Gutter and downspout installation is required. Support by Barbara Figurski. Motion carried unanimously.

4. 14-19 ... A request by John Smarch, 715 Pathway, for a side yard setback variance to construct an addition above the attached garage.

John Smarch, 715 Pathway, addressed the Zoning Board of Appeals. He wishes to add onto the attached garage upper level.

Mr. Grajek asked if there are any gutters or downspouts at this point. There is not.

Motion by Jean Ledford to approve case 14-19 for a side yard setback variance of 10 feet to construct an addition to the attached garage and resolve a drainage issue on the property. This need is not self-created, but it is necessary to correct the drainage issue. The unique circumstances of the property are the size of the lot and the current location of the house on the property. Because of the close proximity of the neighboring house, the applicant must construct the appropriate firewall to alleviate the situation. He must install gutters and downspouts. Support by Barbara Figurski. **Motion carried unanimously.**

5. 14-20 ... A request by Poloski Construction Inc., 3758 Noble St., for a shoreline setback variance and a front yard setback variance in order to construct a single family home.

Scott King, 3758 Noble addressed the Zoning Board of Appeals. He is requesting the setback variance from the property line of three feet. The road easement extends substantially from the road. This is partially to preserve the views of the neighbors. There was discussion about the views being partially obstructed. The house will be 1.5 stories. The deck will go 10 to 12 feet beyond the house. The deck will not be covered, so the setback should not be measured to the deck, but rather to the house. Height is measured at the center of the front of the building, which would be the roadside in this instance. Chairman Dhaenens indicated that he really wishes that the setback wasn't required, but that it appears to be a nice project.

A call was made to the public. No one wished to address the Zoning Board of Appeals.

Motion by Mr. Grajek as it relates to petition 14-20 to grant Poloski Construction a front yard setback required depth 35 feet; proposed depth 3 feet; shoreline setback required at 84 feet, proposed to be 80 feet. The practical difficulty is the narrowness of the land and topography. Consideration is given to the wide easement along both sides of the road which provides for adequate movement of emergency vehicles in spite of front yard setbacks. The improvements would not present any public safety or welfare issues. Gutters and downspouts will be required. This would be consistent with the surrounding neighborhood. Support by Jean Ledford.

Ayes: Grajek, McCreary, Dhaenens, Ledford. Nays: Figurski. **Motion carried.**

6. 14-21 ... A request by Delores Malysz, 1330 Clark Lake Road, for a front yard setback variance to construct an addition and raise the foundation.

Christopher Malysz addressed the Zoning Board of Appeals. There is a drainage and topography problem. The four homes to the north are draining onto this property. He is reducing his request from 10 feet to 9 feet in the front yard for the addition. Mr. Akers outlined the differences between the most recent plan and the plans that were approved

by an engineer. The issue really boils down to the fact that the petitioner was told he could not continue with his construction because his variance had expired.

Ken Fruceski, 1348 Clark Lake Road addressed the Zoning Board of Appeals. He asserted that the petitioner is living in the property. He believes there are safety issues and health issues. He would request an internal inspection as well as external. He does not feel safe with the situation as it currently is. Several neighbors have had their septic system redone. He is concerned that the septic on the subject property is not properly connected.

Cheryl Fruceski, 1348 Clark Lake Road addressed the Zoning Board of Appeals. She showed photographs that reflect pollution of the lake by the defendant's septic system.

Marilyn Lorigan, 1354 Clark Lake Road. She lives two houses east of the petitioner. She presented photographs, as well. She indicated the neighbors are all complaining of the smell. She wondered how long this can go on.

Dan Row, 1345 Clark Lake Road. He has eight children who swim in the lake. He is concerned about the septic draining in the lake.

Mr. Grajek explained to the members of the public that the Health Department must approve occupancy. The petitioner admitted that he is residing in the house. He indicated that the Building Department didn't have an issue with it. He indicated one sanitary line was disconnected. The electrical panel was placed on a temporary platform. A 60" piece of PVC was installed to reconnect the home to the septic line. He noted that the house was raised 60" rather than the 68" that was approved. He indicated that all plumbing and electrical continues to work.

Mr. Grajek asked how the petitioner enters the home. He enters through a ladder.

No height variance was granted initially. The front yard setback variance of 19' is what is in front of the Zoning Board of Appeals per Chairman Dhaenens.

Mr. Grajek asked why silt fence is not installed around the building. The petitioner indicated it was not required. The petitioner said he will install the silt fence tomorrow. Ron Akers requests the same conditions on the variance as were previously granted. If the porch is going to be changed, the plans must be resubmitted and reviewed/certified by an engineer. Ms. McCreary asked if there are contractors lined up. The petitioner said he believes it can be down and on the foundation within three weeks. The petitioner indicated he has plenty of funds to pay for the work.

Motion by Barbara Figurski to approve petition 14-21 for a front yard setback variance to construct an addition and raise foundation. Ms. Figurski quoted item 10-25 from the minutes of March 15, 2011.

... front yard variance for a covered porch with a variance amount of 20' and setback of 15'. The finding of fact is the topography of lot. This approval is conditioned upon the drawings that were submitted being

stamped and signed by a certified engineer, an as-built to be drawn up, and all the necessary approvals from the Health Department ...

and Building Department to be supplied to the Township. The applicant will agree to have Mr. Akers review the litter ordinance with the petitioner. Support by Jean Ledford. **Motion carried unanimously.**

Administrative Business:

1. Approval of minutes for the June 17, 2014 Zoning Board of Appeals meeting. **Motion** by Barbara Figurski to approve the minutes as corrected. Support by Jean Ledford. **Motion carried unanimously.**
2. 2013 Annual Report Executive Summary. **Motion** by Barbara Figurski to table this until next month. Support by Chris Grajek. **Motion carried unanimously.**
3. Correspondence – There was none.
4. Township Board Representative Report - There was discussion about fireworks.
5. Planning Commission Representative Report – Barbara Figurski updated the Zoning Board of Appeals regarding Planning Commission business.
6. Zoning Official Report – The Township has been busy, but he is beginning to catch up. There will be a lot of code enforcement addressed in the next few weeks.
7. Member Discussion – There was general discussion.
8. Adjournment – **Motion** by Jean Ledford to adjourn the meeting at 8:53 p.m. Support by Barbara Figurski. **Motion carried unanimously.**

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 14-21 Meeting Date: July 15, 2014

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: DOLores M. MALYSZ
Property Address: 1330 CLARK LK. Phone: 586-292-6688
Present Zoning: LR2 Tax Code: 4711-12-400-009

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: FRONT YARD ENCROACHMENT OF 9'
RAISE FINISH FLOOR 60"
2. Intended property modifications: SAME AS #1

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) FIVE ACRES OF RAIN WATER DRAINS ONTO THE PROPERTY, DOWN THE DRIVEWAY
- b. Other (explain) AND ~~THROUGH~~ THROUGH THE GARAGE AND FOUNDATION OF HOME.

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information.
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting.
- Petitioner (or a Representative) must be present at the meeting

Date: 27 JUNE 2014

Signature: C. L. Galley

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Ron at the township office to discuss what your next step is.

Charter Township of Genoa
ZONING BOARD OF APPEALS
July 15, 2014
CASE #14-21

PROPERTY LOCATION: 1330 Clark Lake Rd

PETITIONER: Dolores Malysz

ZONING: LRR (Lake Resort Residential)

WELL AND SEPTIC INFO: Septic, well

PETITIONERS REQUEST: Requesting a front yard variance to construct an addition and raise the foundation.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards – LRR

STAFF COMMENTS: See Attached Staff Report

	Front	One Side	Other Side	Rear	Height	Shoreline
Setbacks for Zoning	35'	10'	10'	40'	24'	N/A
Setbacks Requested	16'	N/A	N/A	N/A	N/A	N/A
Variance Amount	19'	N/A	N/A	N/A	N/A	N/A



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: July 11, 2014
RE: ZBA 14-21

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#14-21

Site Address: 1330 Clark Lake Rd

Parcel Number: 4711-12-400-009

Parcel Size: 0.31 Acres

Applicant: Dolores Malysz, 1330 Clark Lake Rd, Brighton, MI 48114

Property Owner: Same as applicant

Information Submitted: Application, site plan, letter depicting changes

Request: Dimensional Variance

Project Description: Applicant is requesting a variance from table 3.04.01 to increase the foundation height and construct an addition to the existing house on the property.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 29, 2014 and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The applicant obtained a variance for the proposed work on March 11, 2011. The language of the variance approval is in the attached minutes. There was no work done within twelve (12) months of the variance approval and due to this the variance approval is null and void per section 23.08.02 of the Zoning Ordinance. As part of the original approval the Board of Appeals made conditions which required the applicant to have an engineer review the storm water runoff calculations to ensure that this proposed activity would not create additional run-off on adjacent properties. An e-mail sent by the applicant on June 30, 2014 indicated there were two proposed changes to the project. These are as follows:

1. The addition to the existing home will be reduced from 10' to 9' which would reduce the variance amount required from 20' to 19'

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

2. The applicant has indicated that the slope to the east side of the property will no longer be on a taper, but instead made out of stone/concrete retaining wall materials.

As the conditions of the property or the Zoning Ordinance have not changed since the initial variance was granted and the reduction on size will reduce the variance amount needed, I recommend that the Zoning Board of Appeals approve the variance as it was before, with the changes being reviewed by an engineer as they were in the previous approval.

Ron Akers

From: cmalysz@yahoo.com
Sent: Monday, June 30, 2014 6:19 AM
To: Ron Akers
Subject: Changes to Prints/Variance requests.

Mr. Akers,

As per your request from Friday the 27th of June 2014, the adjustments to the variance requests are as follows.

1. The extension/addition to the north/roadside of 1330 Clark Lake Road will only be 9 feet in depth and not the 10 feet originally approved.
2. The slope to the East side of property will not be on a taper, but instead made out of stone/concrete retaining wall materials installed vertically for maximum water control.

If any further questions please contact me.

Sincerely,

Christopher Malysz



Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

PERMIT NO. 12-019

11-19-12

1. PROJECT INFORMATION

Site Address: 1330 CLARK LK. RD. Acreage:

2. OWNER/APPLICANT INFORMATION

Owner Name: DOLORES MALYSZ Phone No.: 810-923-8843

Owner Address: 1330 CLARK LK RD. City: BRIGHTON State: MI Zip: 48114

Applicant is: Owner Contractor Lessee/Renter Architect/Engineer Other:

Applicant name: Phone No.:

Applicant Address: City: State: Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure

New Single Family New Multiple Family Addition to Existing Building Grading/Site Work

Other: REPAIRS TO FOUNDATION, ADD ON ENCLOSED ENTRY

B. Accessory Structure

Fence Deck Detached Accessory (garage, shed, pole barn)

Pool/Hot Tub ROOF TEAR-OFF

Other: REPAIRS TO GARAGE FOUNDATION, RAISE HOUSE ELEVATION

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION

A. Proposed Principal Structure Setbacks (in feet)

Front: 30' (measured from front property line, right-of-way line or private road easement, whichever is less)

Rear: 80' Least Side: 8'5" Side: 30' Water/Wetland: 135'

B. Proposed Accessory Structure Setbacks (in feet)

Front: Least Side: 8'5" Side: 30' Rear: 70' Water/Wetland: 125' Distance from Principle Structure:

C. Proposed Building/Improvement Dimensions

Size of Building/Improvement: 120 square feet Height: 14 feet

6. SIGNATURE OF APPLICANT

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant: Dolores Malysz Printed Applicant name: Dolores Malysz Date: 9 MAR 12

FOR OFFICE USE ONLY

FLOODPLAIN

Floodplain: N/A Panel #: Zone #:

ASSESSING APPROVAL

Approved Disapproved Approved by: Tommy Rudberg Date: 3/14/12

ZONING APPROVAL Parcel I.D. No.: 11-12-400-009 Zoning: LRR

Approved Disapproved Approved by: Agua Via Tamuli Date: 3-12-12

Comments/Conditions: LCHD approvals to be supplied to Township

ZBA Case #/Approval date: 10-25 / 03-15-11 Conditions: Engineer certified, As-Built, LCHD approval

3. FEES

Land Use: \$ 75.00 Water/Sewer: \$ / Meter: \$

GENOA TOWNSHIP ASSESSING DEPARTMENT

2911 Dorr Road ❖ Brighton, Michigan 48126

Phone: (810) 227-5225 ❖ Fax: (810) 227-3420

PERMIT: 12-019

1. PROJECT INFORMATION

Site Address: 1330 CLARK LK. RD.	Parcel I.D. No.: 4711-12-400-009	Zoning: LR
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2. OWNER/APPLICANT INFORMATION

Owner Name: DOLORES MALYST	Phone No.: 810-923-8843
Owner Address: 1330 CLARK LK. RD.	City: BRIGHTON State: MI Zip: 48114

Applicant is: Owner Contractor Lessee Architect/Engineer Other:

Applicant Name:	Phone No.:
Applicant Address:	City: State: Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure
 New Building - Single Family Multi-Family Commercial/Industrial
 Tenant Buildout Addition to Existing Building

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn)
 Pool/Hot Tub- Above ground In ground

4. SELECTED CHARACTERISTICS OF IMPROVEMENT

Value of Improvement	\$ 12,000		
Building Style	<input checked="" type="checkbox"/> Ranch	<input type="checkbox"/> 1.5 Story	<input type="checkbox"/> 2 Story
Frame	<input type="checkbox"/> Masonry, Wall Bearing	<input checked="" type="checkbox"/> Wood Frame	<input type="checkbox"/> Structural Steel <input type="checkbox"/> Reinforced Concrete
Exterior	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input checked="" type="checkbox"/> Siding <input type="checkbox"/> Wood
Foundation	<input checked="" type="checkbox"/> Basement	<input type="checkbox"/> Crawl	<input type="checkbox"/> Slab
Area	New Building Square Footage:	Addition Square Footage:	120 sqft.
Bedrooms	No. of: 3		
Bathrooms	No. of Full: 2	No. of Half:	No. of Sinks: No. of Showers:
Basement	Walkout: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Finished: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Finished Square Footage: Basement Baths- No. of Full: No. of Half:
Central Air	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Fire Suppression	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Fireplace	<input checked="" type="checkbox"/> Direct Vent	<input type="checkbox"/> Pre-fab	<input type="checkbox"/> Other:
Garage	<input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached	Height: 12' feet	Depth: 22' feet Width: 22' feet
Inground Pool	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Gunite	<input type="checkbox"/> Plastic
Accessory Structure	Height: feet Depth: feet	Width: feet	Flooring- <input type="checkbox"/> Concrete <input type="checkbox"/> Dirt <input type="checkbox"/> Wood

5. APPLICANT SIGNATURE

I hereby certify that all information and data attached to and made part of this application are true and accurate and to the best of my knowledge and belief. I also certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent, and we agree to conform to all applicable laws, codes and ordinances of the State of Michigan and Genoa Township. Private covenants and restrictions are potentially enforceable by private parties. Any modification to location, size, or dimensions must be approved by Genoa Township.

Signature of Applicant: Dolores Malyst	Date: 9 MARCH 2012
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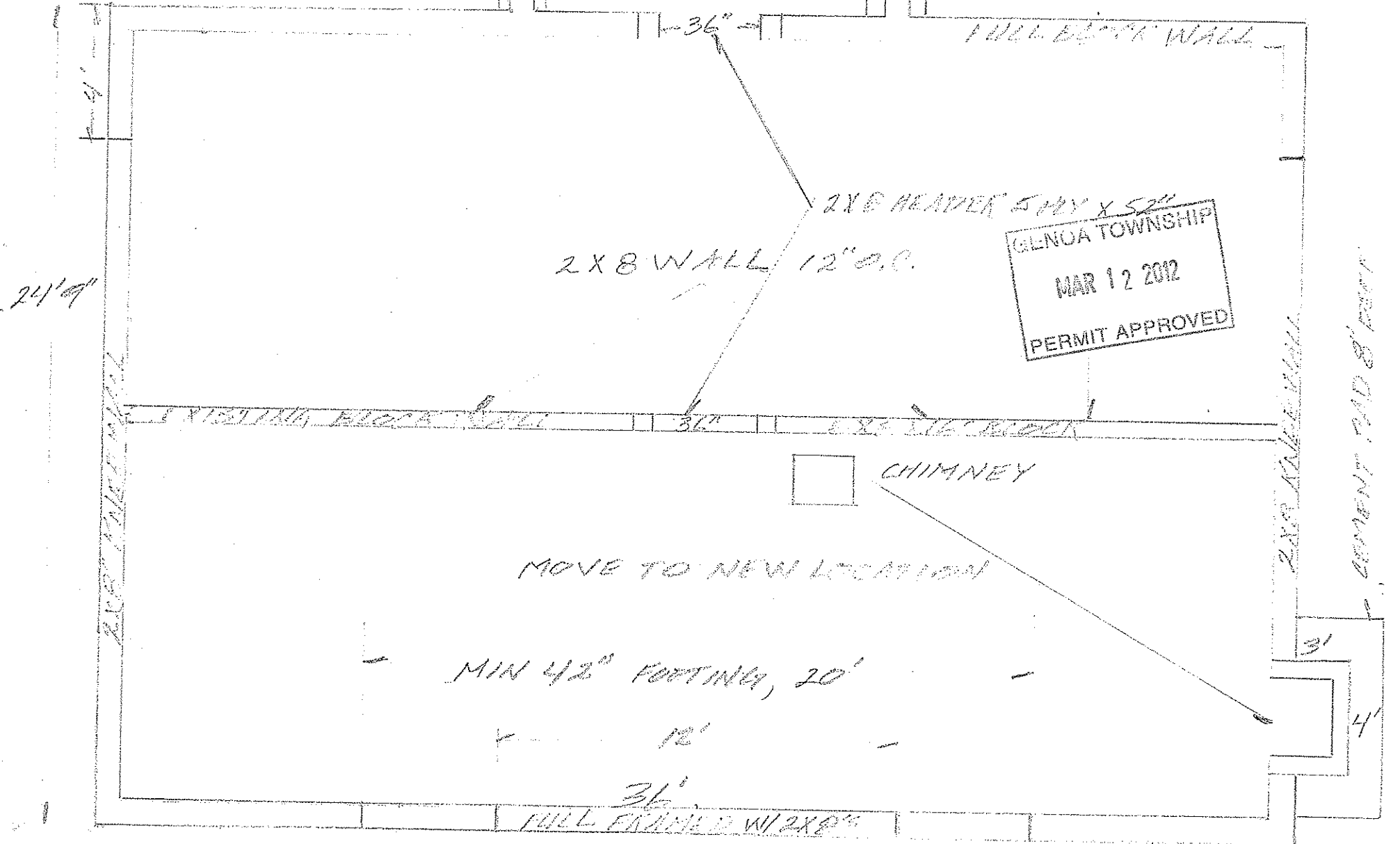
FOUNDATION

ALL BLOCK TO BE FILLED EVERY 4' O.C. AND REINFORCED WITH #5 REBAR. EMIN MIN AND PERMANENT.

1330 CLARK LN. RD.
1/4" = 1'

PROPOSED EXPANSION

SPREAD FOOTING 8" X 16" X 8"
5" BLOCK



1330 CLARK CRD.
1/8" = 1'

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

3/4" OSB
TYVEK

SIDING, TBD

2x8

2x8

6" R-30 FIBER INSUL.

8" BLOCK, FILLED EVERY 4', #5 REBAR

120G 2x8 FRAMED WALL, 3/4" OSB,

2x5
2x8

TREATED 2x4
PLATE

37'

EXISTING GUTTERS

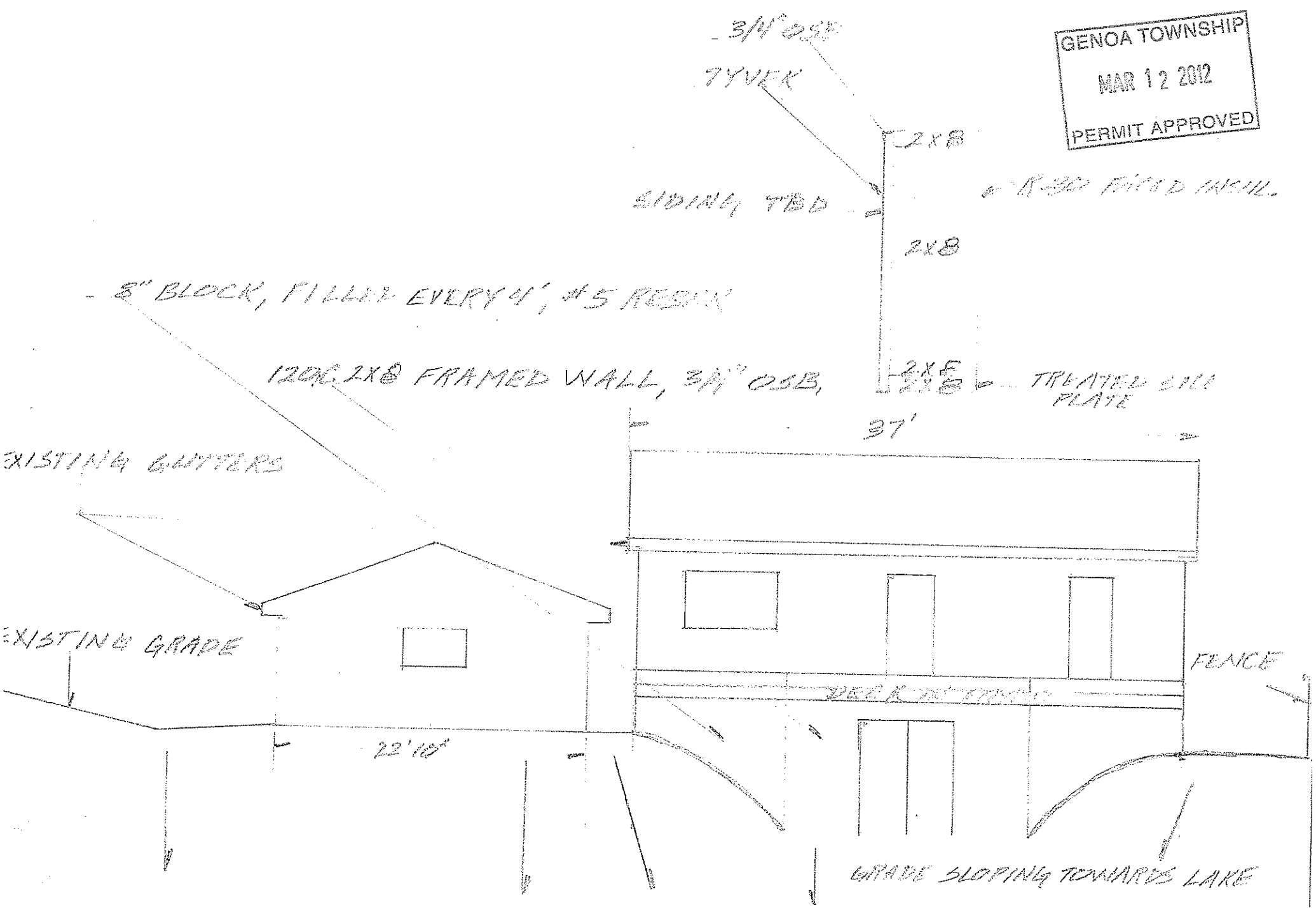
EXISTING GRADE

22'10"

DECK DECKING

FENCE

GRADE SLOPING TOWARDS LAKE



ALL ELEVATIONS
TO MATCH EXISTING.

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

ROOFING
3 TAB SHINGLES
30 LB FELT PAPER
W/1 ALONG PERIMETER
COIL ROOFING NAHS
1 1/4"

2X6 RAFTERS 16 O.C.

1/2 OSB DECKING

12
6

2X6, FASCIA ALUM.

VINYL SIDING

GUTTERS &
DOWN SP. 1/2"
RAIN WATER COLLECTED
IN 4" PIPE AND
DISCHARGED TO LANE
SIDE BY SP. 1/2" 1/2"

INSULATION R-30 IN
ALL WALLS, RAFTERS
& BONDS FILLED WITH,
CLOSEST SYSTEM.

36" EXIT
DOOR

TYVEK
1/2" OSB.

2X6 WALLS

3/4" SUB FLOOR

"NOT TO SCALE"

2X8 F.I.T.

FLOOR JOISTS
INSULATED R-30

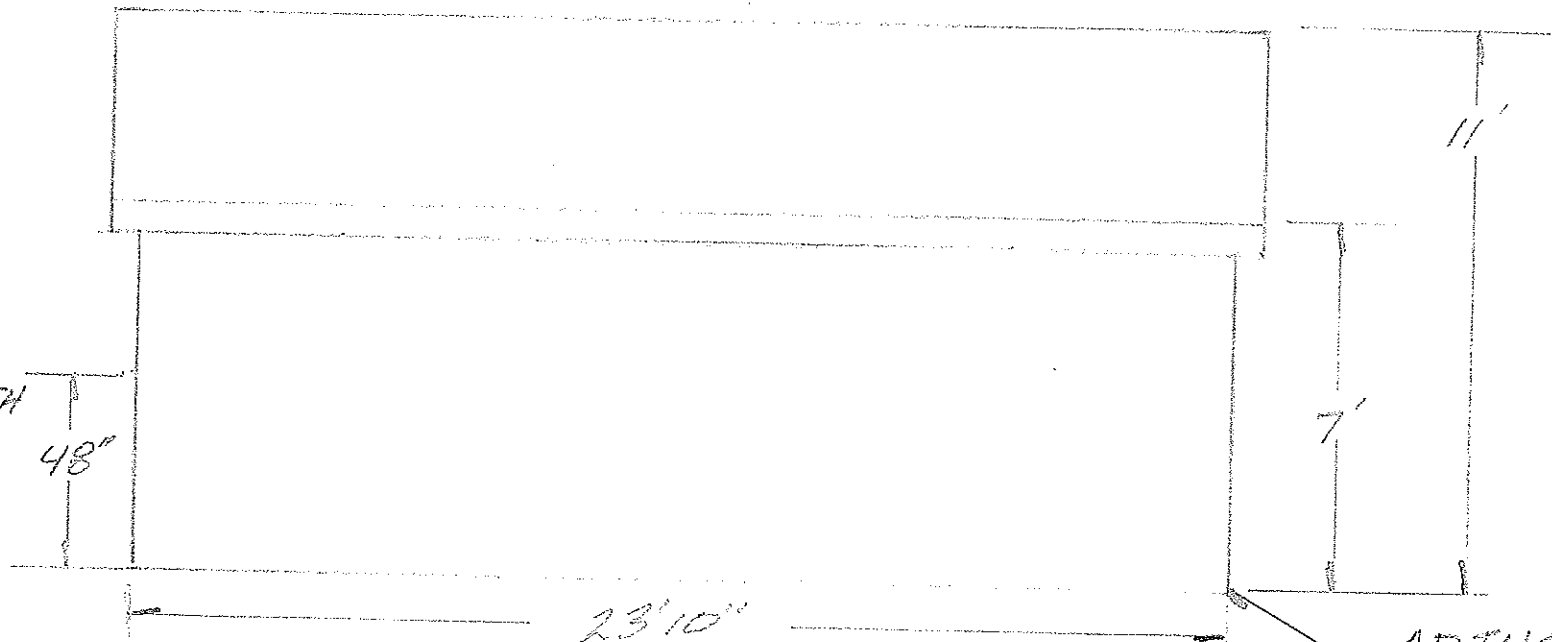
BOND STAP, SET IN
MORTAR, 2 MAX MID SILL
ANCHOR. 4' O.C.

SIDE WALK ADJUSTED TO
GRADE

42" SIDE WALK

1/4" = 1'

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED



ADJUST FINISH
GRADE TO
COMPLY WITH ORDINANCE.

1350 CLARK LK RD
3-9-2012

DOWN SPROUT WELL

DOWN SPROUTS ON BOTH SIDES 95.6 X

BACK PUMP

96.55 X

95.0
91.35

E SWALE

PE

96.65
100.8

DOWN SPROUT

DOWN SPROUT

96.15

PROPOSED EXPANSION

SIDE POWER

96.75
100.8

DOWN SPROUT

96.15

34 X

97.15

PAVED DRIVEWAY

98.15

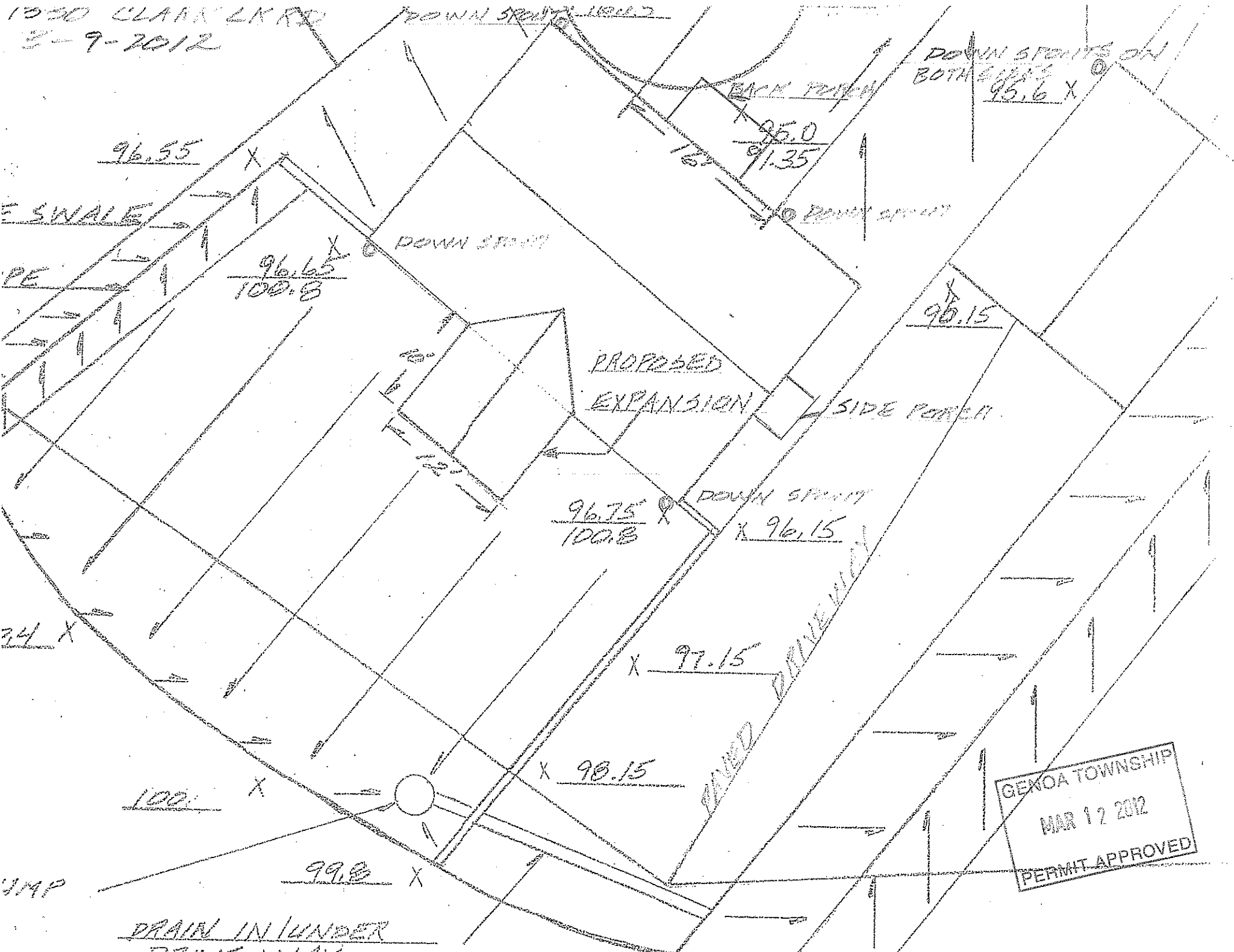
100.1

99.8 X

GEXOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

JMP

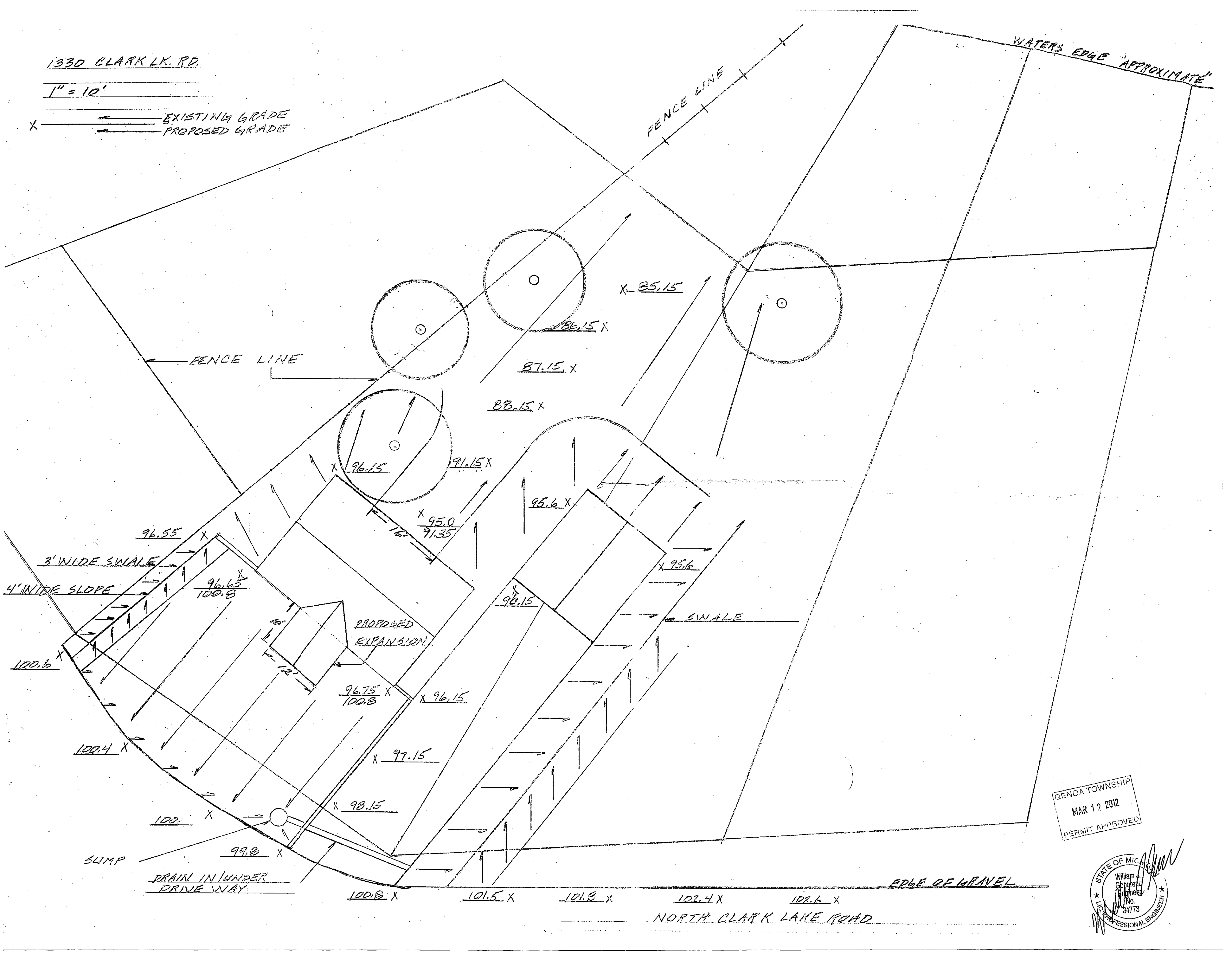
DRAIN IN UNDER



1330 CLARK LK. RD.

1" = 10'

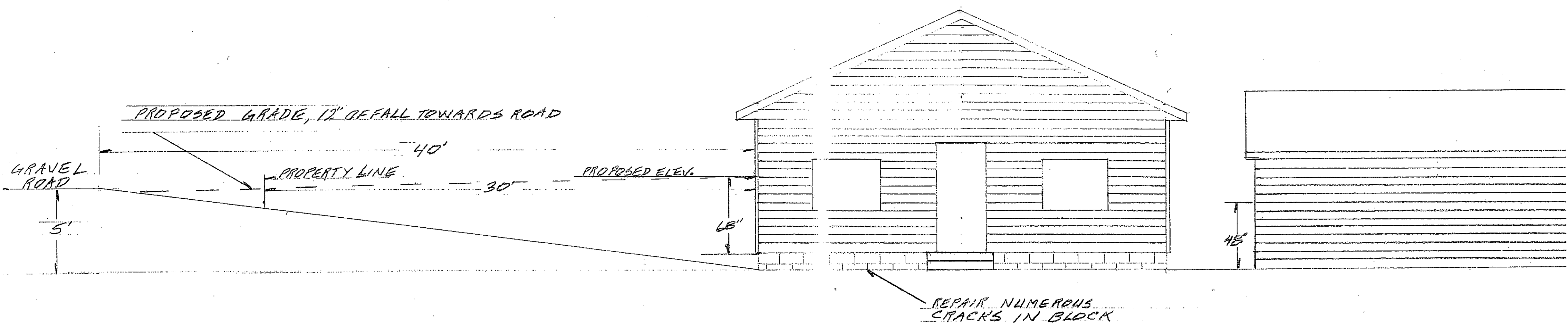
— EXISTING GRADE
— PROPOSED GRADE



GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

STATE OF MICHIGAN
 William J. Gopreau
 No. 34773
 PROFESSIONAL ENGINEER

1330 CLARK LK RD
1/4" PER FOOT
FOUNDATION REPAIRS
ELEVATION & GRADE CHANGES
CONTACT # 526-272-6688
PLEASE CALL IF ANY ?'S



GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
MARCH 15th, 2011
6:30 P.M.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Chris Grajek, Jeff Dhaenens and Steve Wildman. Also present was Township staff member Adam VanTassell and 18 persons in the audience.

Moved by McCreary, supported by Grajek, to approve the agenda as submitted. **Motion carried unanimously.**

10-25...A request by Delores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made by Kenneth Frasheski, 1348 Clark Lake Road, who asked what if the plan that Mr. Malysz is presenting does not work. This is the second variance that he has made on property that he does not own. There is no attention to detail with the drawings and what is the distance from the swale to his property. I hope that if you agree to grant this variance that the board would require professional drawings.

Moved by Wildman, supported by McCreary, to grant case #10-25, 1330 Clark Lake Road, for a front yard variance for a covered porch with a variance amount of 20' and a setback with 15'. The finding of fact is the typography of the lot. This approval is conditioned upon the drawings that were submitted being stamped and signed by a certified engineer, an as-built to be drawn up, and all the necessary approvals from the Livingston County Health Department are to be supplied to the Township. **Motion carried unanimously.**

11-05...A request by Ray Henrickson, Sec. 19, 3856 Beattie Road, for a rear yard variance to allow for a detached accessory structure.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek, to grant case #11-05, 3856 Beattie Road, a side yard variance of 25' with a setback of 15' and a rear yard variance of 45' with a setback of 15'. The finding of fact is the placement of the home on the property. **Motion carried unanimously.**

3-15-11 Approved minutes

11-06...A request by Tom Crane, Sec. 22, 3934 Highcrest, for a front yard variance to construct an addition to an existing nonconforming detached accessory structure.

Tom Crane, property owner and Frank Mastroni from Little Italy Construction was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by McCreary, to grant case #11-06, 3934 Highcrest, for a front yard variance of 8'8" with a setback of 1'4". This approval is conditioned upon the structure to be guttered with water runoff to the lake. The finding of fact is the narrowness of the lot. **Motion carried unanimously.**

11-07...A request by Tony Baiardi, Sec. 22, 3817 Highcrest, for front yard and two side yard variances to construct a second story addition to an existing nonconforming residence.

Mr. Tony Baiardi, Builder and Designer, was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek to grant case #11-07, 3817 Highcrest, for a front yard variance of 11'4" with a setback of 23'8", a one side yard variance of 1'9" with a setback of 8'3" and another side yard variance of 4'7" with a setback of 5'5". This approval is conditioned upon the structure being guttered and drained towards the lake. The finding of fact is the size of the lot. **Motion carried unanimously.**

11-08...A request by Bob Blair, Sec. 19, 3810 Kipling Circle, for a rear and side yard variance to construct a detached accessory structure.

A call to the public was made with the following responses: Greg Moore, 3518 Kipling Circle, stated what purpose does subdivision setbacks have if they are not followed. When the builder built this home they were not concerned about another building going on this property. There is a hill on the property; however that does not make it impossible to build there. The location of the garage would affect the curb appeal of the subdivision and it would affect my home's value also. Mr. Moore states that he lives in an area of upper class homes. The reason that people chose to live in the neighborhood was because of the nice views they have to look at. Please consider the view of the neighbors having to look at the garage out their windows. If Mr. Blair built the garage along his driveway close to his house, it would have a look of being tucked in. I would ask that the Board deny this variance.

Petitioner withdrew his petition.

3-15-11 Approved minutes

Moved by Wildman, supported by Grajek, to approve the February 15, 2011 Zoning Board of Appeals minutes with corrections mentioned. Motion carried unanimously.

Moved by Wildman, supported by Grajek to adjourn the Zoning Board of Appeals meeting at 7:55 p.m.
Motion carried unanimously.

Respectfully submitted:

Amy Ruthig

revised
letter

P.O. Box 163 • Fowlerville, MI 48836
(586) 980-9118 • Fax (517) 546-2059

January 4, 2011

Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members :

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

The proposed improvements to this site will result in negligible rainfall runoff from this site to flow onto adjacent properties. Drainage runoff from Clark Lake Road along the frontage of the subject property and drainage runoff from the site will be contained within the site and will eventually discharge into Clark Lake.

I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an "as-built" plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. J. Goodreau', with a long horizontal flourish extending to the right.

William J. Goodreau, PE

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
PUBLIC HEARING
DECEMBER 14TH, 2010
6:30 P.M.**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Township Hall. The Pledge of Allegiance was then said. The following board members were present constituting a quorum for transaction of business: Jeff Dhaenens, Barbara Figurski, Marianne McCreary and Chris Grajek. Also present was Township staff member Adam VanTassell and 10 persons in the audience.

Moved by Figurski, supported by McCreary, to approve the agenda as submitted. **Motion carried unanimously.**

10-25...A request by Dolores Malysz, Section 12, 1300 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made with the following response: Mr. Kenneth Frasheski, 1348 Clark Lake Road, stated that he is the immediate neighbor to the east and would like to know when the next meeting is and if comment will be made available.

Moved by Grajek, supported by Figurski to table petitioner requests until the next meeting to give petitioner time to get clarification on the engineering letter submitted by Civil Design Services. **Motion carried unanimously.**

10-27...A request by John Sherston, Section 10, 1706, 1462 S. Hughes Road, for a front variance to extend existing gables.

A call to the public was made with no response.

Moved by Figurski, supported by Grajek, to grant case#10-27 for a 42 foot variance with a 28 foot setback to allow extension of the roof to accommodate pedestrian ingress and egress. The finding of the fact is the size of the lot facing onto Hughes Road and the topography of the lot. Motion carried unanimously.

10-28...A request by Eileen Klein, Section 12, 1706 High Haven, for a side detached and rear yard variance to allow for an addition to a non-conforming detached accessory structure.

Chairman Dhaehens made a call to the public. Mr. Saunders of 6945 Wide Valley Drive, spoke on behalf of Ms. Bhasvar. Mr. Sanders stated that Ms. Bhasvar has submitted packets of information to the Zoning Board of Appeals to review. He went over some points in the letters to the board.

Moved by Wildman, supported by Figurski, to approve case #10-24, 5365 Walnut Hills Drive, for a rear yard variance of 10' with a 50' setback to construct an addition. Approval conditioned upon the addition being guttered. The finding of fact is the topography of land and the proximity of the wetlands. **Motion carried unanimously.**

10-25...A request by Dolores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

Mr. Malysz read from the following letter: "I am here this evening to request relief on a unique situation and a hardship that I have to address at 1330 Clark Lake Road pertaining to drainage and runoff of the road and surrounding properties within 300 ft. of 1330 Clark Lake Road.

The finish floor elevation sets between 5 and 6 feet lower than the properties to the north. The drainage and runoff from these properties on their south and east sides all runs towards North Clark Lake Road. Over a period of time the Livingston County Road Commission has changed the direction of the runoff and elevations of the road resulting in the water running into the front yard and driveway at 1330 Clark Lake Road. The drainage and runoff follows a path down the driveway and through the front yard, into and around the crawlspace and basement causing foundation failures, than eventually draining into the neighbor's yard to the east.

Through further inspection it was discovered that the foundation for the crawlspace at 1330 Clark Lake Road isn't deep enough to meet frost codes. It currently only has 24 inches of block below finish grade and code requires a minimum of 42 inches of frost protection.

My requests for relief have taken into the account the following items and none of them being more important or to be concerned about then the other: public safety, drainage and runoff, building codes, topography, neighborhood characteristics, conformity to Genoa Townships Ordinances under Article 24: Non-Conforming structures and uses, any foreseeable concerns of Genoa Township and the neighbors and added value to the community.

With the change of elevation of the structure a change of egress into the structure would be moved from the side of the structure to the roadside front of the home. A ten foot by twelve foot (10 X 12) enclosed entry would be added on. Taking into account the entry would be an encroachment into the front yard setback currently enforced by the Township "a line of sight" for vehicular and pedestrian safety was taken into account.

The Clark Lake Park Community is a rural development, platted and subdivided in 1923 with no sidewalks for pedestrians to walk on. At no point is there less than 300 feet of unobstructed view of the road for vehicle and pedestrian traffic to have sight of one another.

As mentioned before there is a large collection of water that drains onto this property from the property to the north and Clark Lake Road. It drains into the front yard and driveway at 1330 and then into the yard of the property directly to the East, and drain at it's will.

The solution that is being proposed will contain and redirect the runoff. The change in grade proposed will redirect 95% of the current runoff towards and around the West side of the garage with the implementation of a small swale adjacent and following the Southside of Clark Lake Road beginning at the Northeast property iron. The swale drainage will be caught in a catch basin and redirected through a storm drain to another swale along the Westside of the existing garage at 1330 Clark Lake Road down to the lake. With respect to the other 5% of the runoff, a small swale along the East property line will be developed to catch the remaining balance from the front yard and directed down towards the lake. No change in grades will be implemented along the Eastside of the structure; all grades will remain the same. To further reduce any uncontrolled runoff, PVC drains from the downspouts will be installed underground and terminated at the lakes edge.

This where a unique situation and hardship takes place. Given the topography, structure elevation, existing grades of the surrounding properties, road elevations, zoning ordinances being enforced, accompanied with the construction standards applied to the structure, corrections and modernization to current standards need to be applied. The increase elevation will allow for control of the runoff and meet currently enforced codes. Here are just a few of the corrections needed to be made that are imperative of your relief: treated sill plate, proper anchoring of the structure to the foundation, proper foundation depth below frost line, proper finish grades and drain water control and diversion, proper waterproofing of the foundation, proper insulation of the foundation, attractive landscaping and ground cover. As I stated above, these are a few of the improvements that will be made to the property but only with your relief.

Clark Lake Park Subdivision was platted in 1923 with no set standards to the homes nor were any deed restrictions registered with the county leaving it an eclectic development of random decorative ideas. Homes range from setbacks of as little as 6 feet to in the front yard to within 2 feet of side yard. The proposed addition to the front of the structure would be within the front yard setback but would not cause any hardships, eyesores or public safety concerns. It would still be setting back from the road approximately 30 feet.

As stated previously, Clark Lake Park Subdivision was platted in 1923 which predates the current zoning and construction standards by more than 80 years. New and more modern ordinances have been put into place such as the Lakeshore Resort Residential (LRR) as a standard for new developments to meet new safety and construction standards. Some of the considerations would be for the following: there is more than adequate sight distances for public safety and operation, separation of structures for fire jumping prevention and adequate room to extinguish and fight a fire, perform any future maintenance or improvements to the property without causing any hardship or inconvenience on adjacent property owners, additionally heights, egress and drainage

considerations. All of these standards and considerations are being addressed and met given the dimensions and topography of the property however a front yard setback is in need for relief. Under Article 24.04.06 of the ordinance the repairs, improvements and or modernization shall be less then ½ of the value of the property during any period twelve months.

Any foreseeable concerns of Genoa Township or the neighbors. I've tried to give everything that is to be undertaken on this project the utmost consideration and concern for public safety and any concerns of the Township and neighbors in this community. The project won't impair anyone's view, I will be alleviating, I am sure unwanted water from the properties to the north, from further damaging mine or the neighbor's property to the east. I've spoken to numerous neighbors in the community and they all think that it is a great idea and would be nice improvement to the development.

Given today's real estate market any type of dollars invested into a residential project is a plus for the community to improve its appearance, make it a more desirable location and create a higher taxable value for the Township."

A call to the public was with the following responses: Kenneth and Cheryle Frasheski, 1348 Clark Lake Road, stated that he had a lot of concerns with the drainage from the property with the addition of the front porch and raising the walls, how much runoff is he going to get on his property. He would like to know where the concrete holding tank and the leech bed is on the property and with the lot being small are the workers going to be driving over the septic while they do the work. This property is located at the shallow end of the lake and what would happen to the overflow?

Moved by Figurski, supported by Grajek to allow the petitioner time to supply the Zoning Board of Appeals with a letter of approval from a drainage engineer. **Motion carried unanimously.**

10-26...A request by Lawrence Bacon, Sec. 22, 5100 Wildberry Lane, for a waterfront variance to construct an addition.

A call to the public was made with no response.

Moved by Wildman, supported by McCreary, to approve case #10-26, 5100 Wildberry Lane, for a 37' variance with a 93' setback . Conditioned upon the structure being guttered. The finding of fact is the topography of the land. Motion carried unanimously.

Moved by Figurski, supported by McCreary to approve the minutes of the October 19th, 2010 Zoning Board of Appeals with corrections as submitted. **Motion carried as follows: Ayes- Figurski, McCreary, Wildman, and Dhaenens. Abstain: Grajek.**

The meeting adjourned at 7:55 p.m.

November 23, 2010

Adam VanTasle
Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members and Mr. VanTasle:

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

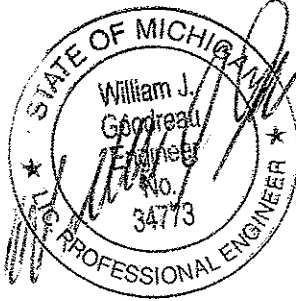
In conclusion, the proposed improvements will reduce rainfall drainage from the subject property onto adjacent properties.

If you should have any questions or need additional information , please call me at (586) 980-9118.

Sincerely,



William J. Goodreau, PE



1330 Clark Lake Rd



1 inch = 100 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate
This is not a survey.

Source: Livingston County GIS Department

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/11/2014 11:46 AM

Parcel: 4711-12-400-009
Owner's Name: MALYSZ DOLORES REVOCABLE TRUST
Property Address: 1330 CLARK LAKE RD
BRIGHTON, MI 48114
Liber/Page: 2013R-011998
Split: / /
Public Impr.: None
Topography: REFUSE

Current Class: 401.401 RESIDENTIAL-IMPROVED
Previous Class: 401.401 RESIDENTIAL-IMPROVED
Gov. Unit: 4711 GENOA CHARTER TOWNSHIP
MAP # V14-21
School: 47070 HOWELL
Neighborhood: 47070 47070 HOWELL M & B

Created: / /
Active: Active

Mailing Address:

MALYSZ DOLORES REVOCABLE TRUST
1330 CLARK LAKE RD
BRIGHTON MI 48114

Most Recent Sale Information

Sold on 03/21/2013 for 0 by MALYSZ DELORES.

Terms of Sale: INVALID SALE

Liber/Page: 2013R-011998

Most Recent Permit Information

Permit W11-025 on 04/08/2011 for \$0 category REROOF.

Physical Property Characteristics

2015 S.E.V.: Tentative	2015 Taxable: Tentative	Lot Dimensions:
2014 S.E.V.: 34,400	2014 Taxable: 33,121	Acres: 0.00
Zoning: LRR	Land Value: 28,000	Frontage: 70.0
PRE: 100.000	Land Impr. Value: 0	Average Depth: 0.0

Improvement Data

of Residential Buildings: 1
Year Built: 1962
Occupancy: Single Family
Class: CD
Style: CD
Exterior: Wood Siding
% Good (Physical): 47
Heating System: Forced Air w/ Ducts
Electric - Amps Service: 0
of Bedrooms: 3
Full Baths: 1 Half Baths: 1
Floor Area: 900
Ground Area: 900
Garage Area: 460
Basement Area: 0
Basement Walls:
Estimated TCV: 43,243

Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
MALYSZ DELORES	MALYSZ DOLORES REVOCABLE T	0	03/21/2013	QC	INVALID SALE	2013R-011998	BUYER	0.0		
MALYSZ, CHRISTOPHER A.	MALYSZ DELORES	0	12/29/2003	QC	QUIT CLAIM	4288/0287	BUYER	0.0		
OZAR, CASIMIRA	MALYSZ, CHRISTOPHER A.	62,500	01/30/2001	WD	ARMS-LENGTH	3079-0691	BUYER	100.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status		
1330 CLARK LAKE RD		School: HOWELL			ADDITION	03/12/2012	P12-019	NO START		
Owner's Name/Address		P.R.E. 100% 08/10/2012			REROOF	04/08/2011	W11-025	NO START		
MALYSZ DOLORES REVOCABLE TRUST 1330 CLARK LAKE RD BRIGHTON MI 48114		MAP #: V14-21			RES MISCEL	10/15/2010	10-127	NO START		
Tax Description		2015 Est TCV Tentative		Land Value Estimates for Land Table 00010.DODGE ESTATES						
SEC. 12 T2N, R5E, CLARK LAKE PARK LOTS 113 AND 114		X	Improved	Vacant	* Factors *					
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason				Value		
		Dirt Road		'A' FRONTAGE 70.00 0.00 1.0000 1.0000 400 100				28,000		
		Gravel Road		70 Actual Front Feet, 0.00 Total Acres Total Est. Land Value =				28,000		
		Paved Road								
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2015	Tentative	Tentative	Tentative		Tentative
		LM	10/25/2012	DATA ENTER	2014	14,000	20,400	34,400		33,121C
		LLM	10/28/2010	DATA ENTER	2013	14,000	18,600	32,600		32,600S
					2012	14,000	18,300	32,300	32,300J	32,300S



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Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 55	Type CPP	Year Built: Car Capacity: Class: CD Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 460 % Good: 0 Storage Area: 0 No Conc. Floor: 0	
X	Wood Frame		Drywall Paneled		Plaster Wood T&G												
Building Style: CD		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj			CnlyMult		Bsmnt Garage:		
Yr Built 1962	Remodeled 0	Ex	X	Ord		Min	0 Amps Service			Total Base Cost: 67,811			X	1.470			
Condition for Age: Good		Size of Closets		No./Qual. of Fixtures			Other Additions/Adjustments			Rate			E.C.F.		Carport Area: Roof:		
Room List		Lg		X	Ord		Average Fixture(s)			Basement Recreation Finish			X		0.923		
Basement 1st Floor 2nd Floor 3 Bedrooms		Doors:			Solid	X	H.C.	1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Basement Recreation Finish			11.25		180 2,025	
(1) Exterior		(7) Excavation		(13) Plumbing			2 Fixture Bath			Well, 200 Feet			1325.00		1 1,325		
X	Wood/Shingle Aluminum/Vinyl Brick	Basement: 0 S.F. Crawl: 900 S.F. Slab: 0 S.F. Height to Joists: 0.0		Ex.			X	Ord.		1000 Gal Septic			4675.00			1 4,675	
(2) Windows		(8) Basement		Many			X	Ave.		(16) Porches			2895.00			1 2,895	
X	Many Avg. Few	X	Large Avg. Small	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			CPP, Standard			18.32			55 1,008	
(3) Roof		(9) Basement Finish		Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens			180 Recreation SF Living SF Walkout Doors No Floor SF			(17) Garages			Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 20.45			460 9,407	
X	Gable Hip Flat		Gambrel Mansard Shed	Public Water Public Sewer			1 Water Well			Phy/Ab.Phy/Func/Econ/Comb.%Good= 47/100/100/100/47.0,			Depr.Cost = 46,850				
X	Asphalt Shingle	(10) Floor Support		1 1000 Gal Septic			2000 Gal Septic			ECF (47070 HOWELL M & B)			0.923 => TCV of Bldg: 1 = 43,243				
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:		Lump Sum Items:													

*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
MARCH 15th, 2011
6:30 P.M.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Chris Grajek, Jeff Dhaenens and Steve Wildman. Also present was Township staff member Adam VanTassell and 18 persons in the audience.

Moved by McCreary, supported by Grajek, to approve the agenda as submitted. **Motion carried unanimously.**

10-25...A request by Delores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made by Kenneth Frasheski, 1348 Clark Lake Road, who asked what if the plan that Mr. Malysz is presenting does not work. This is the second variance that he has made on property that he does not own. There is no attention to detail with the drawings and what is the distance from the swale to his property. I hope that if you agree to grant this variance that the board would require professional drawings.

Moved by Wildman, supported by McCreary, to grant case #10-25, 1330 Clark Lake Road, for a front yard variance for a covered porch with a variance amount of 20' and a setback with 15'. The finding of fact is the typography of the lot. This approval is conditioned upon the drawings that were submitted being stamped and signed by a certified engineer, an as-built to be drawn up, and all the necessary approvals from the Livingston County Health Department are to be supplied to the Township. **Motion carried unanimously.**

11-05...A request by Ray Henrickson, Sec. 19, 3856 Beattie Road, for a rear yard variance to allow for a detached accessory structure.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek, to grant case #11-05, 3856 Beattie Road, a side yard variance of 25' with a setback of 15' and a rear yard variance of 45' with a setback of 15'. The finding of fact is the placement of the home on the property. **Motion carried unanimously.**

3-15-11 Approved minutes

11-06...A request by Tom Crane, Sec. 22, 3934 Highcrest, for a front yard variance to construct an addition to an existing nonconforming detached accessory structure.

Tom Crane, property owner and Frank Mastroni from Little Italy Construction was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by McCreary, to grant case #11-06, 3934 Highcrest, for a front yard variance of 8'8" with a setback of 1'4". This approval is conditioned upon the structure to be guttered with water runoff to the lake. The finding of fact is the narrowness of the lot. **Motion carried unanimously.**

11-07...A request by Tony Baiardi, Sec. 22, 3817 Highcrest, for front yard and two side yard variances to construct a second story addition to an existing nonconforming residence.

Mr. Tony Baiardi, Builder and Designer, was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek to grant case #11-07, 3817 Highcrest, for a front yard variance of 11'4" with a setback of 23'8", a one side yard variance of 1'9" with a setback of 8'3" and another side yard variance of 4'7" with a setback of 5'5". This approval is conditioned upon the structure being guttered and drained towards the lake. The finding of fact is the size of the lot. **Motion carried unanimously.**

11-08...A request by Bob Blair, Sec. 19, 3810 Kipling Circle, for a rear and side yard variance to construct a detached accessory structure.

A call to the public was made with the following responses: Greg Moore, 3518 Kipling Circle, stated what purpose does subdivision setbacks have if they are not followed. When the builder built this home they were not concerned about another building going on this property. There is a hill on the property; however that does not make it impossible to build there. The location of the garage would affect the curb appeal of the subdivision and it would affect my home's value also. Mr. Moore states that he lives in an area of upper class homes. The reason that people chose to live in the neighborhood was because of the nice views they have to look at. Please consider the view of the neighbors having to look at the garage out their windows. If Mr. Blair built the garage along his driveway close to his house, it would have a look of being tucked in. I would ask that the Board deny this variance.

Petitioner withdrew his petition.

3-15-11 Approved minutes

Moved by Wildman, supported by Grajek, to approve the February 15, 2011 Zoning Board of Appeals minutes with corrections mentioned. Motion carried unanimously.

Moved by Wildman, supported by Grajek to adjourn the Zoning Board of Appeals meeting at 7:55 p.m.
Motion carried unanimously.

Respectfully submitted:

Amy Ruthig

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 10-25 Meeting Date: 11-16-10

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: DOLORES MALYSZ

Property Address: 1330 CLARK LRD. Phone: 810-923-8843 586-292-6688

Present Zoning: LRR Tax Code: 11-12-400-009

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: FRONT YARD SETBACK

2. Intended property modifications: ENCLOSED FRONT ENTRY, GRADING

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) HOME SETS 48" LOWER THEN ROAD.

b. Other (explain) RAISE HOME 68" S, CONVERT TO WALK OUT BASEMENT.

Variance Application Requires the Following:

Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.

- **Waterfront properties must indicate setback from water for adjacent homes**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 22 Oct 2010

Signature: Dolores Malysz

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
MARCH 15th, 2011
6:30 P.M.

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Chris Grajek, Jeff Dhaenens and Steve Wildman. Also present was Township staff member Adam VanTassell and 18 persons in the audience.

Moved by McCreary, supported by Grajek, to approve the agenda as submitted. **Motion carried unanimously.**

10-25...A request by Delores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made by Kenneth Frasheski, 1348 Clark Lake Road, who asked what if the plan that Mr. Malysz is presenting does not work. This is the second variance that he has made on property that he does not own. There is no attention to detail with the drawings and what is the distance from the swale to his property. I hope that if you agree to grant this variance that the board would require professional drawings.

Moved by Wildman, supported by McCreary, to grant case #10-25, 1330 Clark Lake Road, for a front yard variance for a covered porch with a variance amount of 20' and a setback with 15'. The finding of fact is the typography of the lot. This approval is conditioned upon the drawings that were submitted being stamped and signed by a certified engineer, an as-built to be drawn up, and all the necessary approvals from the Livingston County Health Department are to be supplied to the Township. **Motion carried unanimously.**

11-05...A request by Ray Henrickson, Sec. 19, 3856 Beattie Road, for a rear yard variance to allow for a detached accessory structure.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek, to grant case #11-05 ,3856 Beattie Road, a side yard variance of 25' with a setback of 15' and a rear yard variance of 45' with a setback of 15'. The finding of fact is the placement of the home on the property. **Motion carried unanimously.**

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
PUBLIC HEARING
DECEMBER 14TH, 2010
6:30 P.M.**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Township Hall. The Pledge of Allegiance was then said. The following board members were present constituting a quorum for transaction of business: Jeff Dhaenens, Barbara Figurski, Marianne McCreary and Chris Grajek. Also present was Township staff member Adam VanTassell and 10 persons in the audience.

Moved by Figurski, supported by McCreary, to approve the agenda as submitted. **Motion carried unanimously.**

10-25...A request by Dolores Malysz, Section 12, 1300 Clark Lake Road, for a front yard variance to construct an addition.

A call to the public was made with the following response: Mr. Kenneth Frasheski, 1348 Clark Lake Road, stated that he is the immediate neighbor to the east and would like to know when the next meeting is and if comment will be made available.

Moved by Grajek, supported by Figurski to table petitioner requests until the next meeting to give petitioner time to get clarification on the engineering letter submitted by Civil Design Services. **Motion carried unanimously.**

10-27...A request by John Sherston, Section 10, 1706, 1462 S. Hughes Road, for a front variance to extend existing gables.

A call to the public was made with no response.

Moved by Figurski, supported by Grajek, to grant case#10-27 for a 42 foot variance with a 28 foot setback to allow extension of the roof to accommodate pedestrian ingress and egress. The finding of the fact is the size of the lot facing onto Hughes Road and the topography of the lot. Motion carried unanimously.

10-28...A request by Eileen Klein, Section 12, 1706 High Haven, for a side detached and rear yard variance to allow for an addition to a non-conforming detached accessory structure.

Chairman Dhaehens made a call to the public. Mr. Saunders of 6945 Wide Valley Drive, spoke on behalf of Ms. Bhasvar. Mr. Sanders stated that Ms. Bhasvar has submitted packets of information to the Zoning Board of Appeals to review. He went over some points in the letters to the board.

Moved by Wildman, supported by Figurski, to approve case #10-24, 5365 Walnut Hills Drive, for a rear yard variance of 10' with a 50' setback to construct an addition. Approval conditioned upon the addition being guttered. The finding of fact is the topography of land and the proximity of the wetlands. **Motion carried unanimously.**

10-25...A request by Dolores Malysz, Sec. 12, 1330 Clark Lake Road, for a front yard variance to construct an addition.

Mr. Malysz read from the following letter: "I am here this evening to request relief on a unique situation and a hardship that I have to address at 1330 Clark Lake Road pertaining to drainage and runoff of the road and surrounding properties within 300 ft. of 1330 Clark Lake Road.

The finish floor elevation sets between 5 and 6 feet lower than the properties to the north. The drainage and runoff from these properties on their south and east sides all runs towards North Clark Lake Road. Over a period of time the Livingston County Road Commission has changed the direction of the runoff and elevations of the road resulting in the water running into the front yard and driveway at 1330 Clark Lake Road. The drainage and runoff follows a path down the driveway and through the front yard, into and around the crawlspace and basement causing foundation failures, than eventually draining into the neighbor's yard to the east.

Through further inspection it was discovered that the foundation for the crawlspace at 1330 Clark Lake Road isn't deep enough to meet frost codes. It currently only has 24 inches of block below finish grade and code requires a minimum of 42 inches of frost protection.

My requests for relief have taken into the account the following items and none of them being more important or to be concerned about then the other: public safety, drainage and runoff, building codes, topography, neighborhood characteristics, conformity to Genoa Townships Ordinances under Article 24: Non-Conforming structures and uses, any foreseeable concerns of Genoa Township and the neighbors and added value to the community.

With the change of elevation of the structure a change of egress into the structure would be moved from the side of the structure to the roadside front of the home. A ten foot by twelve foot (10 X 12) enclosed entry would be added on. Taking into account the entry would be an encroachment into the front yard setback currently enforced by the Township "a line of sight" for vehicular and pedestrian safety was taken into account.

The Clark Lake Park Community is a rural development, platted and subdivided in 1923 with no sidewalks for pedestrians to walk on. At no point is there less than 300 feet of unobstructed view of the road for vehicle and pedestrian traffic to have sight of one another.

As mentioned before there is a large collection of water that drains onto this property from the property to the north and Clark Lake Road. It drains into the front yard and driveway at 1330 and then into the yard of the property directly to the East, and drain at it's will.

The solution that is being proposed will contain and redirect the runoff. The change in grade proposed will redirect 95% of the current runoff towards and around the West side of the garage with the implementation of a small swale adjacent and following the Southside of Clark Lake Road beginning at the Northeast property iron. The swale drainage will be caught in a catch basin and redirected through a storm drain to another swale along the Westside of the existing garage at 1330 Clark Lake Road down to the lake. With respect to the other 5% of the runoff, a small swale along the East property line will be developed to catch the remaining balance from the front yard and directed down towards the lake. No change in grades will be implemented along the Eastside of the structure; all grades will remain the same. To further reduce any uncontrolled runoff, PVC drains from the downspouts will be installed underground and terminated at the lakes edge.

This where a unique situation and hardship takes place. Given the topography, structure elevation, existing grades of the surrounding properties, road elevations, zoning ordinances being enforced, accompanied with the construction standards applied to the structure, corrections and modernization to current standards need to be applied. The increase elevation will allow for control of the runoff and meet currently enforced codes. Here are just a few of the corrections needed to be made that are imperative of your relief: treated sill plate, proper anchoring of the structure to the foundation, proper foundation depth below frost line, proper finish grades and drain water control and diversion, proper waterproofing of the foundation, proper insulation of the foundation, attractive landscaping and ground cover. As I stated above, these are a few of the improvements that will be made to the property but only with your relief.

Clark Lake Park Subdivision was platted in 1923 with no set standards to the homes nor were any deed restrictions registered with the county leaving it an eclectic development of random decorative ideas. Homes range from setbacks of as little as 6 feet to in the front yard to within 2 feet of side yard. The proposed addition to the front of the structure would be within the front yard setback but would not cause any hardships, eyesores or public safety concerns. It would still be setting back from the road approximately 30 feet.

As stated previously, Clark Lake Park Subdivision was platted in 1923 which predates the current zoning and construction standards by more than 80 years. New and more modern ordinances have been put into place such as the Lakeshore Resort Residential (LRR) as a standard for new developments to meet new safety and construction standards. Some of the considerations would be for the following: there is more than adequate sight distances for public safety and operation, separation of structures for fire jumping prevention and adequate room to extinguish and fight a fire, perform any future maintenance or improvements to the property without causing any hardship or inconvenience on adjacent property owners, additionally heights, egress and drainage

considerations. All of these standards and considerations are being addressed and met given the dimensions and topography of the property however a front yard setback is in need for relief. Under Article 24.04.06 of the ordinance the repairs, improvements and or modernization shall be less than ½ of the value of the property during any period twelve months.

Any foreseeable concerns of Genoa Township or the neighbors. I've tried to give everything that is to be undertaken on this project the utmost consideration and concern for public safety and any concerns of the Township and neighbors in this community. The project won't impair anyone's view, I will be alleviating, I am sure unwanted water from the properties to the north, from further damaging mine or the neighbor's property to the east. I've spoken to numerous neighbors in the community and they all think that it is a great idea and would be nice improvement to the development.

Given today's real estate market any type of dollars invested into a residential project is a plus for the community to improve its appearance, make it a more desirable location and create a higher taxable value for the Township."

A call to the public was with the following responses: Kenneth and Cheryle Frasheski, 1348 Clark Lake Road, stated that he had a lot of concerns with the drainage from the property with the addition of the front porch and raising the walls, how much runoff is he going to get on his property. He would like to know where the concrete holding tank and the leech bed is on the property and with the lot being small are the workers going to be driving over the septic while they do the work. This property is located at the shallow end of the lake and what would happen to the overflow?

Moved by Figurski, supported by Grajek to allow the petitioner time to supply the Zoning Board of Appeals with a letter of approval from a drainage engineer. **Motion carried unanimously.**

10-26...A request by Lawrence Bacon, Sec. 22, 5100 Wildberry Lane, for a waterfront variance to construct an addition.

A call to the public was made with no response.

Moved by Wildman, supported by McCreary, to approve case #10-26, 5100 Wildberry Lane, for a 37' variance with a 93' setback . Conditioned upon the structure being guttered. The finding of fact is the topography of the land. Motion carried unanimously.

Moved by Figurski, supported by McCreary to approve the minutes of the October 19th, 2010 Zoning Board of Appeals with corrections as submitted. **Motion carried as follows: Ayes- Figurski, McCreary, Wildman, and Dhaenens. Abstain: Grajek.**

The meeting adjourned at 7:55 p.m.

Charter Township of Genoa
ZONING BOARD OF APPEALS
MARCH 15, 2011
CASE #10-25

PROPERTY LOCATION: 1330 Clark Lake Road

PETITIONER: Dolores Malysz

ZONING: LRR (Lakeshore Resort Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a front yard variance to construct a covered porch.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards - LRR (Lakeshore Resort Residential)

STAFF COMMENTS:

Petitioner is seeking a variance to enclose a porch on the front of the home. Additionally, the petitioner is seeking to raise the home up to make a walkout basement.

Petitioner was tabled at the December 14th, 2010 meeting to allow the petitioner time to get a revised letter from an engineer to approve the proposed drainage plan.

Staff recommends that any plan approved by the ZBA be conditioned upon the petitioner having the plans drawn by a certified engineer, that those plans be then reviewed by the Township Engineer and that a certified engineer inspect the actual construction and sign off that they were built according to the plans.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	10	40		-
Setbacks Requested	15					
Variance Amount	20					

Charter Township of Genoa
ZONING BOARD OF APPEALS
DECEMBER 14th, 2010
CASE #10-25

PROPERTY LOCATION: 1330 Clark Lake Road

PETITIONER: Dolores Malysz

ZONING: LRR (Lakeshore Resort Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a front yard variance to construct a covered porch.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards - LRR (Lakeshore Resort Residential)

STAFF COMMENTS: Petitioner is seeking a variance to enclose a porch on the front of the home. Additionally, the petitioner is seeking to raise the home up to make a walkout basement.

Petitioner was tabled at the November 16th, 2010 meeting to allow the petitioner time to get a letter from an engineer to approve the proposed drainage plan.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	10	40		-
Setbacks Requested	15					
Variance Amount	20					

Charter Township of Genoa
ZONING BOARD OF APPEALS
NOVEMBER 16TH, 2010
CASE #10-25

PROPERTY LOCATION: 1330 Clark Lake Road

PETITIONER: Dolores Malysz

ZONING: LRR (Lakeshore Resort Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a front yard variance to construct a covered porch.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards - LRR (Lakeshore Resort Residential)

STAFF COMMENTS: Petitioner is seeking a variance to enclose a porch on the front of the home. Additionally, the petitioner is seeking to raise the home up to make a walkout basement. Both of these require variances as the home and porch are too close to the road. Boardmembers should take careful note of the extreme grade change the petitioner is proposing between the home and Clark Lake Road. Staff recommends special consideration with respect to the drainage impact this grade change will have on the neighboring properties.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	10	40		-
Setbacks Requested	15					
Variance Amount	20					



Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

PERMIT NO. _____

1. PROJECT INFORMATION

Site Address: <u>1330 CLARK LK. RD.</u>	Acreage:
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2. OWNER/APPLICANT INFORMATION

Owner Name: <u>DOLORES M. MALYSZ</u>	Phone No.: <u>810-973-8843</u>	<input type="checkbox"/>
Owner Address: <u>1330 CLARK LK. RD.</u>	City: <u>BRIGHTON</u>	State: <u>MI</u>
		Zip: <u>48114</u>
Applicant is: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee/Renter <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Other:		
Applicant name: <u>1</u>	Phone No.:	<input type="checkbox"/>
Applicant Address:	City:	State:
		Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure

New Single Family New Multiple Family Addition to Existing Building Grading/Site Work

Other: REPAIRS TO FOUNDATION, ADD ON ENCLOSED ENTRY

B. Accessory Structure

Fence Deck Detached Accessory (garage, shed, pole barn)

Pool/Hot Tub

Other: _____

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION

A. Proposed Principal Structure Setbacks (in feet)

Front: _____ (measured from front property line, right-of-way line or private road easement, whichever is less)

Rear:	Least Side:	Side:	Water/Wetland:
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B. Proposed Accessory Structure Setbacks (in feet)

Front:	Least Side:	Side:	Rear:	Water/Wetland:	Distance from Principle Structure:
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C. Proposed Building/Improvement Dimensions

Size of Building/Improvement: _____ square feet Height: _____ feet

6. SIGNATURE OF APPLICANT

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant:	Printed Applicant name:	Date:
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▽ FOR OFFICE USE ONLY ▽

FLOODPLAIN

Floodplain:	Panel #:	Zone #:
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ASSESSING APPROVAL

<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by:	Date:
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ZONING APPROVAL

<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by: <u>Asten Van Tassel</u>	Date: <u>4-8-11</u>
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Comments/Conditions: RAISE STRUCTURE APPROX 68". ADD ON 10'X12'W/FOUNDATION ENCLOSED FRONT PORCH.

ZBA	Case #/Approval date:	Conditions:
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3. FEES

Land Use:	\$ <u>7500</u>	Water/Sewer:	\$ <u>1</u>	Meter:	\$
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**GENOA TOWNSHIP ASSESSING DEPARTMENT
REQUIRED LAND USE INFORMATION FORM**
2911 Dorr Road ❖ Brighton, Michigan 48116
Phone: (810) 227-5225 ❖ Fax: (810) 227-3420

1. PROJECT INFORMATION										
Site Address: <i>1330 CLARK LK RD</i>			Parcel I.D. No.: <i>11-12-400-009</i>				Zoning: <i>ERR</i>			
2. OWNER/APPLICANT INFORMATION										
Owner Name: <i>DOLORES MALYSZ</i>			Phone No.: <i>810-973-8843</i>							
Owner Address: <i>1330 CLARK LK RD</i>			City: <i>BRIGHTON</i>		State: <i>MI</i>		Zip: <i>48114</i>			
Applicant is: <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Owner <input type="checkbox"/> Other: _____										
Applicant Name: <i>CHRISTOPHER MALYSZ</i>			Phone No.: <i>586-297-6688</i>							
Applicant Address: <i>1330 CLARK LK RD</i>			City: <i>BRIGHTON</i>		State: <i>MI</i>		Zip: <i>48114</i>			
3. TYPE OF IMPROVEMENT										
A. <u>Principal Structure</u>										
<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Commercial/Industrial <input type="checkbox"/> Tenant Buildout <input checked="" type="checkbox"/> Addition to Existing Building <i>ENCLOSED ENTRY</i>										
B. <u>Accessory Structure</u>										
<input type="checkbox"/> Fence <input type="checkbox"/> Deck <input type="checkbox"/> Detached Accessory (garage, shed, pole barn) <input type="checkbox"/> Pool/Hot Tub- <input type="checkbox"/> Above ground <input type="checkbox"/> In ground										
4. SELECTED CHARACTERISTICS OF IMPROVEMENT										
Building Style		<input checked="" type="checkbox"/> Ranch		<input type="checkbox"/> 1.5 Story		<input type="checkbox"/> 2 Story				
Frame		<input type="checkbox"/> Masonry, Wall Bearing		<input checked="" type="checkbox"/> Wood Frame		<input type="checkbox"/> Structural Steel		<input type="checkbox"/> Reinforced Concrete		
Exterior		<input type="checkbox"/> Brick		<input type="checkbox"/> Stone		<input checked="" type="checkbox"/> Siding		<input type="checkbox"/> Wood		
Foundation		<input checked="" type="checkbox"/> Basement		<input type="checkbox"/> Crawl		<input type="checkbox"/> Slab				
Area		New Building Square Footage:			Addition Square Footage: <i>120</i>					
Bedrooms		No. of:								
Bathrooms		No. of Full: <i>1</i>		No. of Half:		No. of Sinks:		No. of Showers:		
Basement		Walkout: <input type="checkbox"/> Yes <input type="checkbox"/> No	Finished: <input type="checkbox"/> Yes <input type="checkbox"/> No	Finished Square Footage:		Basement Baths- <input type="checkbox"/>	No. of Full:		No. of Half:	
Central Air		<input type="checkbox"/> Yes <input type="checkbox"/> No			Fire Suppression		<input type="checkbox"/> Yes <input type="checkbox"/> No			
Fireplace		<input type="checkbox"/> Direct Vent		<input type="checkbox"/> Pre-fab		<input type="checkbox"/> Other:				
Garage		<input type="checkbox"/> Attached	<input type="checkbox"/> Detached	Height: feet		Depth: feet		Width: feet		
Inground Pool		<input type="checkbox"/> Fiberglass			<input type="checkbox"/> Gunite			<input type="checkbox"/> Plastic		
Accessory Structure		Height: feet	Depth: feet	Width: feet		Flooring- <input type="checkbox"/> Concrete	<input type="checkbox"/> Dirt	<input type="checkbox"/> Wood		
5. APPLICANT SIGNATURE										
I hereby certify that all information and data attached to and made part of this application are true and accurate and to the best of my knowledge and belief. I also certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent, and we agree to conform to all applicable laws, codes and ordinances of the State of Michigan and Genoa Township. Private covenants and restrictions are potentially enforceable by private parties. Any modification to location, size, or dimensions must be approved by Genoa Township.										
Signature of Applicant: <i>C. J. G. [Signature]</i>					Date: <i>8 April 2011</i>					



Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

PERMIT NO. 10-127

1. PROJECT INFORMATION	
Site Address: <u>1330 CLARK LK. RD.</u>	Acreage:

2. OWNER/APPLICANT INFORMATION			
Owner Name: <u>DOLORES MALYSZ</u>	Phone No.: <u>810-923-8843</u>	<input type="checkbox"/>	
Owner Address: <u>1330 CLARK LK RD</u>	City: <u>BRIGHTON</u>	State: <u>MI</u>	Zip: <u>48114</u>
Applicant is: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee/Renter <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Other:			
Applicant name:		Phone No.: <input type="checkbox"/>	
Applicant Address:		City:	State: Zip:

3. TYPE OF IMPROVEMENT	
A. Principal Structure <input type="checkbox"/> New Single Family <input type="checkbox"/> New Multiple Family <input checked="" type="checkbox"/> Addition to Existing Building <input checked="" type="checkbox"/> Grading/Site Work <input checked="" type="checkbox"/> Other: <u>REPAIRS TO FOUNDATION, ADD ON ENCLOSED ENTRY</u>	
B. Accessory Structure <input type="checkbox"/> Fence <input checked="" type="checkbox"/> Deck <input checked="" type="checkbox"/> Detached Accessory (garage, shed, pole barn) <input type="checkbox"/> Pool/Hot Tub <input checked="" type="checkbox"/> Other: <u>REPAIRS TO GARAGE FOUNDATION.</u>	

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION					
A. Proposed Principal Structure Setbacks (in feet)					
Front: <u>30'</u>	(measured from front property line, right-of-way line or private road easement, whichever is less)				
Rear: <u>80'</u>	Least Side: <u>8'5"</u>	Side: <u>30'</u>	Water/Wetland: <u>135'</u>		
B. Proposed Accessory Structure Setbacks (in feet)					
Front:	Least Side:	Side:	Rear:	Water/Wetland:	Distance from Principle Structure:
C. Proposed Building/Improvement Dimensions					
Size of Building/Improvement: <u>120</u> square feet			Height: <u>14</u> feet		

5. SIGNATURE OF APPLICANT		
I hereby certify that all information attached to this application are true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.		
Signature of Applicant: <u>Dolores Malysz</u>	Printed Applicant name: <u>Dolores Malysz</u>	Date: <u>6 Oct. 2010</u>

FOR OFFICE USE ONLY

FLOODPLAIN		
Floodplain: <u>N/A</u>	Panel #:	Zone #:

ASSESSING APPROVAL		
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by: <u>Haime W. Proff</u>	Date: <u>10/13/10</u>

ZONING APPROVAL		
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by: <u>Adam Van Tamell</u>	Date: <u>10-15-10</u>

Comments/Conditions: Garage repair only
Garage height not to exceed 14' (11.04.01-j)
No grading change more than 3' on average of site

ZBA	Case #/Approval date:	Conditions:
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3. FEES			
Land Use:	\$ <u>50.00</u>	Water/Sewer:	\$ <u>1</u>
Meter:	\$		\$

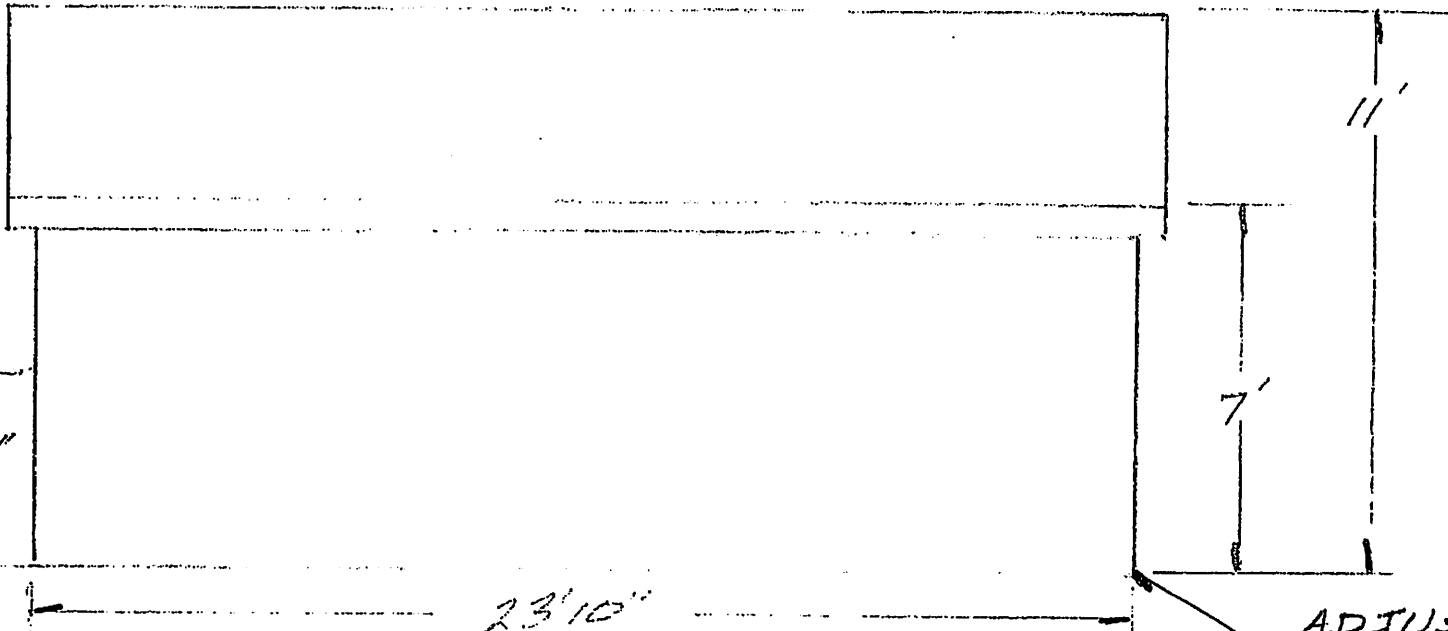
Permit # 11-12-400-009

1/4" = 1'

GENOA TOWNSHIP
OCT 15 2010
PERMIT APPROVED

RAISE WITH
BLOCK

48"



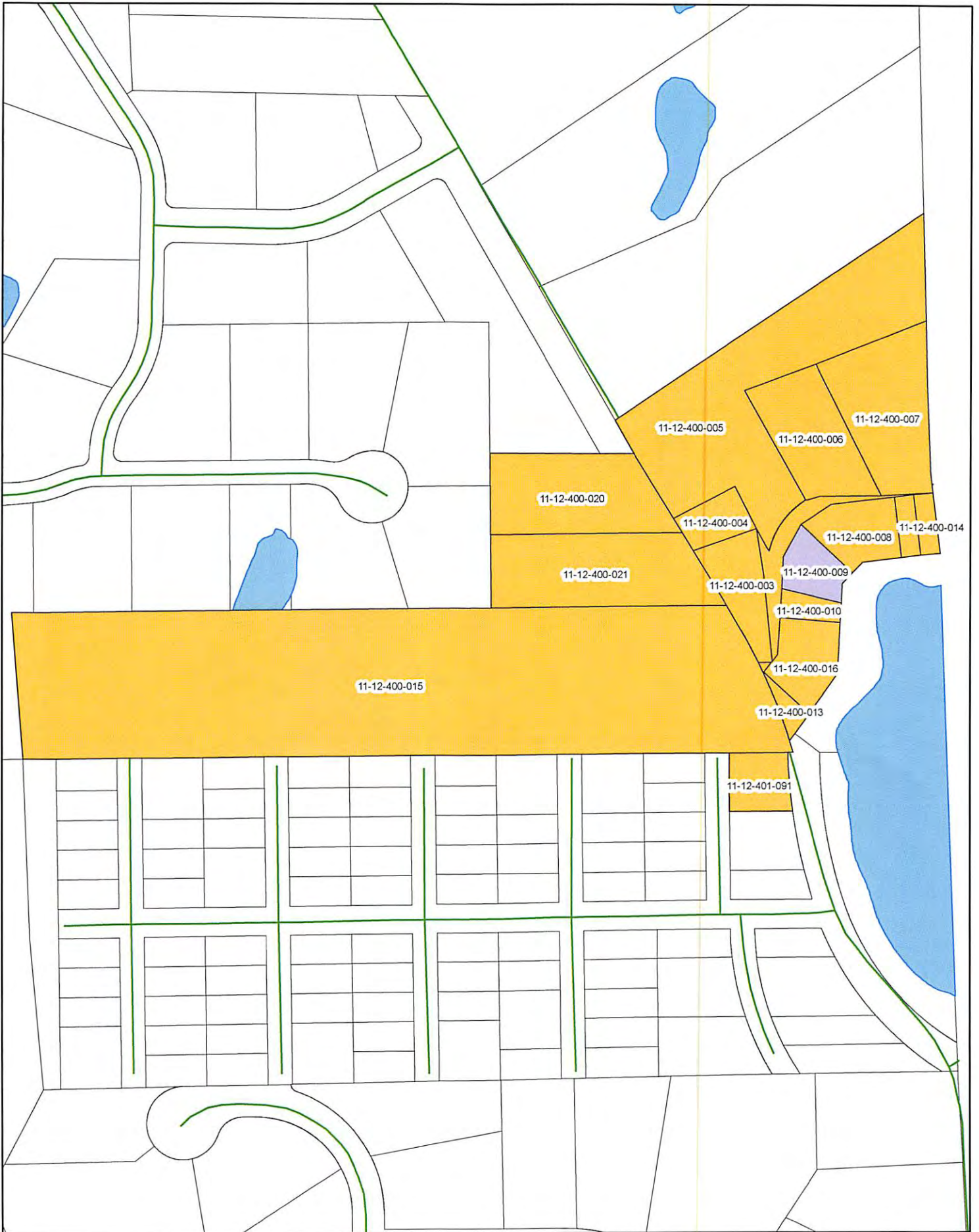
23'10"

11'

7'

ADJUST FINISH
GRADE TO
COMPLY WITH ORDINANCE.

1330 Clark Lake Road



revised
letter

P.O. Box 163 • Fowlerville, MI 48836
(586) 980-9118 • Fax (517) 546-2059

January 4, 2011

Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members :

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

The proposed improvements to this site will result in negligible rainfall runoff from this site to flow onto adjacent properties. Drainage runoff from Clark Lake Road along the frontage of the subject property and drainage runoff from the site will be contained within the site and will eventually discharge into Clark Lake.

I would recommend that Mr. Malysz hire a licensed civil engineer to monitor construction of the proposed improvements and prepare an "as-built" plan of the improvements and provide certification that the improvements are in substantial compliance with the design plan.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. J. Goodreau', with a long horizontal flourish extending to the right.

William J. Goodreau, PE

**CIVIL
DESIGN
SERVICES**

**P.O. Box 163 • Fowlerville, MI 48836
(586) 980-9118 • Fax (517) 546-2059**

November 23, 2010

Adam VanTasle
Genoa Township Zoning Board of Appeals
2911 Dorr Road
Brighton, Michigan 48116

Re: 1330 Clark Lake Road Residence, Chris Malysz

Dear Board Members and Mr. VanTasle:

At the request of Mr. Malysz, I have reviewed the proposed site improvement plan and inspected the existing field conditions regarding the referenced residential property. Based on my review and site inspection, I offer the following for your consideration:

1. The proposed grading required for elevating the existing house will allow for concentrated rainfall run-off to be diverted to two drainage swales along the east and west property lines. The two swales shall be approximately 1 – 2 feet deep and shall be stabilized with sod or seed and mulch or stabilization blankets.
2. Proposed grading will provide positive drainage away from the house.
3. A low point shall be established along the east side of the driveway near Clark Lake Road. A two (2) foot diameter storm drain inlet structure with a flat drain cover shall be provided at the low point in order to intercept run-off from the high point to the driveway. An 8" diameter PVC drainage pipe constructed at 1.00% grade shall be provided as an outlet for the drainage structure. The pipe shall outlet into the west side drainage swale. Stone rip-rap placed over geotextile fabric shall be provided at the point of discharge.
4. Rooftop drainage leads shall be connected to an enclosed piping network and diverted down grade to the drainage swales along the east and west property lines
5. All appropriate approvals and permits shall be acquired prior to the start of any work on this site.
6. Proper soil erosion and sedimentation devices shall be in place prior to the start of work.
7. All disturbed areas shall be stabilized with seed and mulch as soon as the final grade is established.

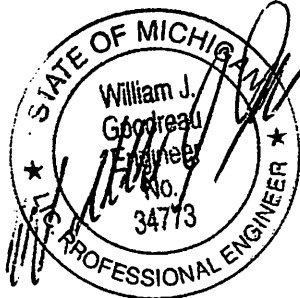
In conclusion, the proposed improvements will reduce rainfall drainage from the subject property onto adjacent properties.

If you should have any questions or need additional information, please call me at (586) 980-9118.

Sincerely,



William J. Goodreau, PE



FOUNDATION

1330 CLARK CR. RD.
1/4" = 1'

10'

12'

PROPOSED
EXPANSION

3" BLOCK

STANCHIONS

IBEAM W6X21

24' 9"



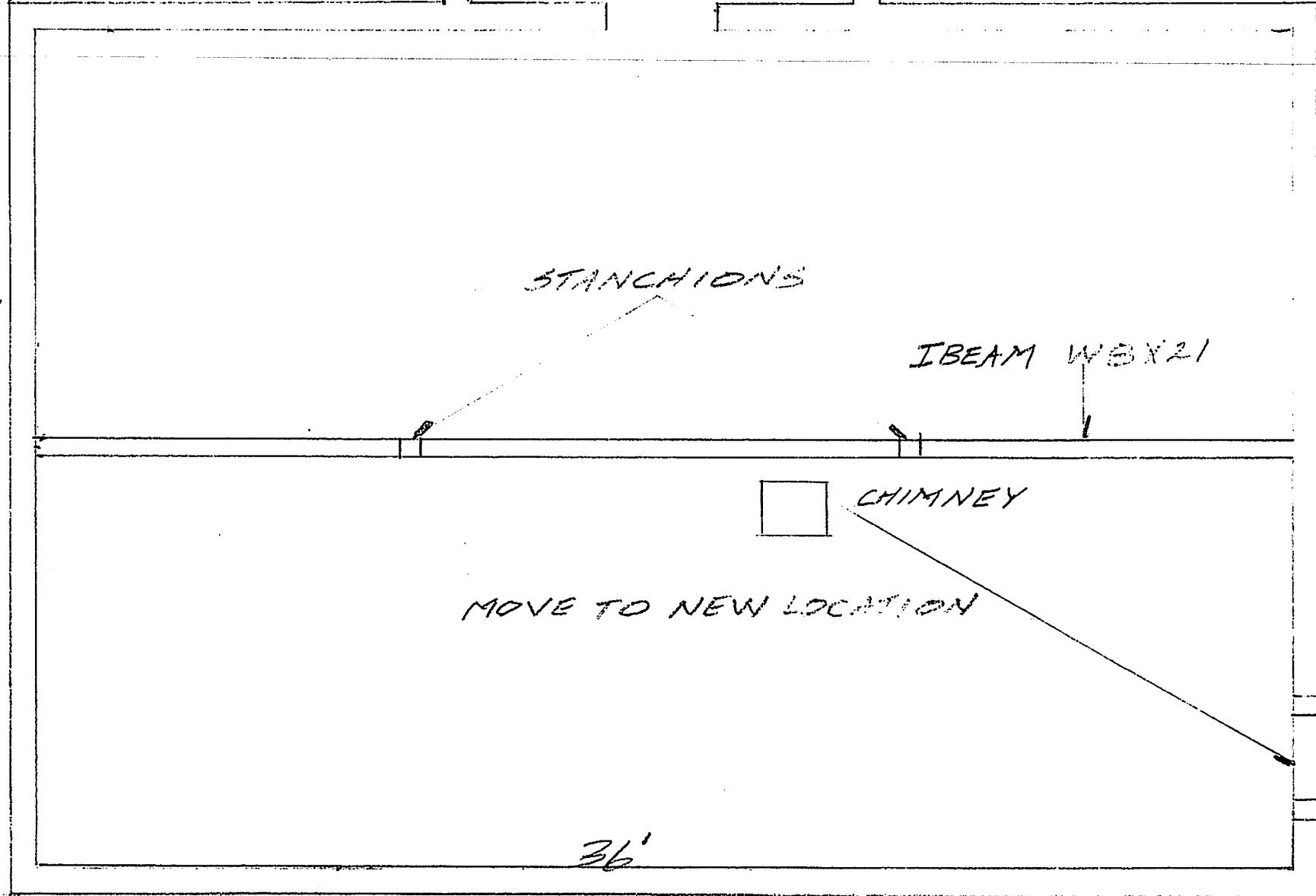
CHIMNEY

MOVE TO NEW LOCATION

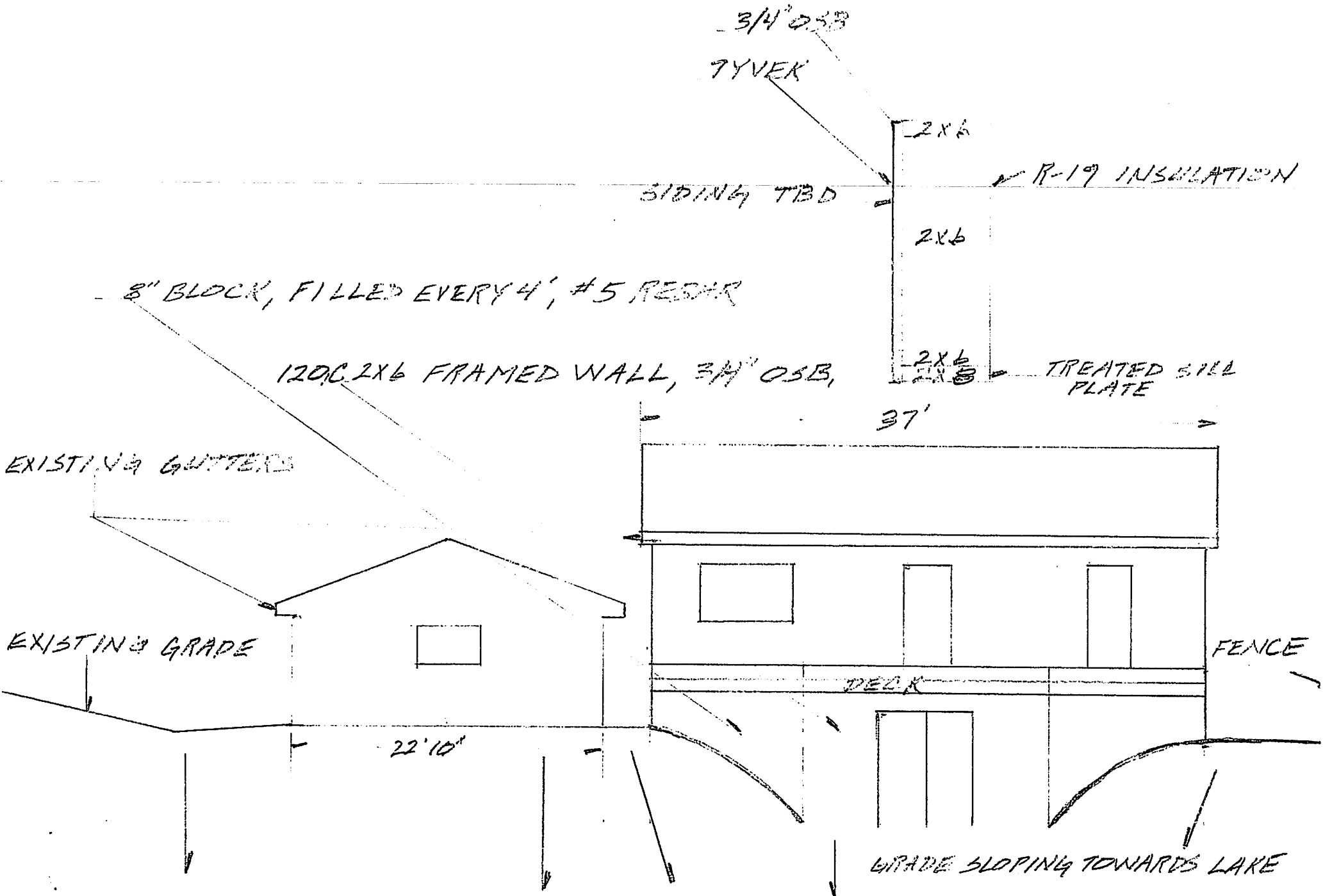
3'

4'

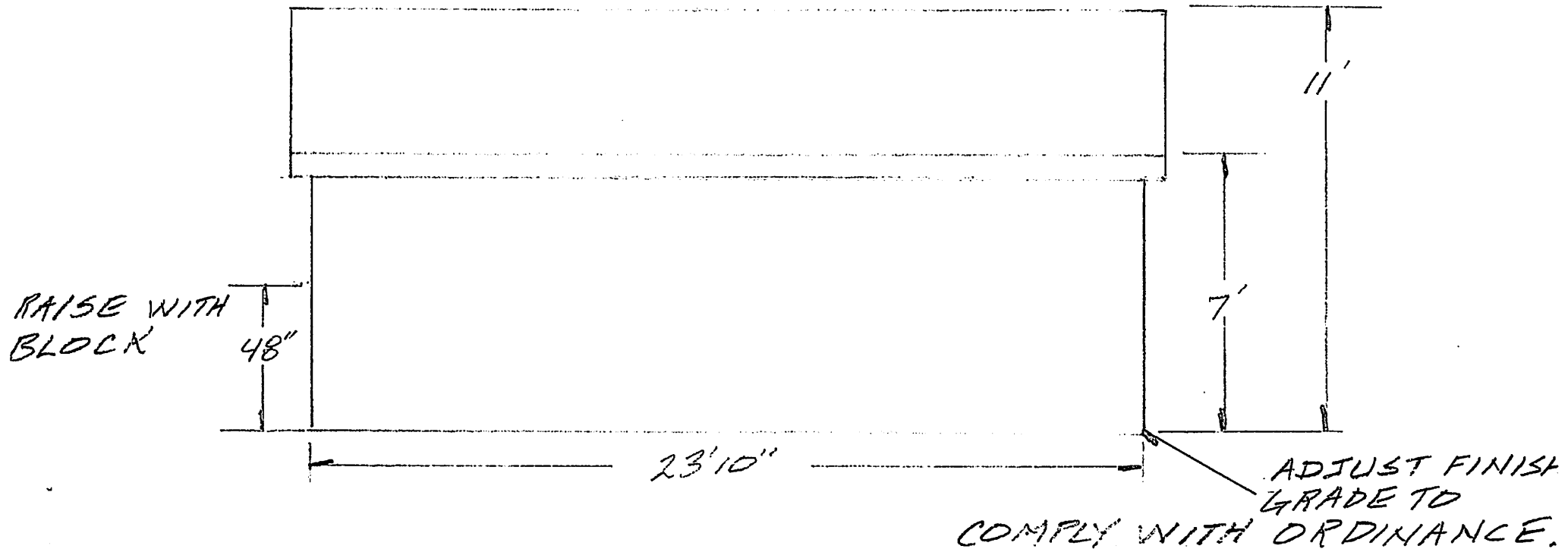
36'



1330 CLARK LK RD.
1/8" = 1'



1/4" = 1'



FRANK J. MANCUSO, JR.

DOUGLAS D. CAMERON

October 8, 2010

Adam VanTassell
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: 1330 N. Clark Lake Road
Delores Malysz/Chris Malysz

Dear Mr. VanTassell:

As you requested, I have reviewed Mr. Chris Malysz's request to raise his mother's home located at 1330 N. Clark Lake Road in the Township. According to the Assessor's records, the property is owned by Delores Malysz and is zoned Lakeshore Resort Residential (LRR). The minimum front yard setback required for that zoning district is 35' as you stated. The home currently sits back 30' from the front lot line which means that the home is a non-conforming structure under the ordinance. You have informed me that Mr. Malysz has intending on raising the home 5.8 feet and raising the garage 4 feet. Mr. Malysz has informed you that the home is in need of foundation repairs and that the home should be raised to prevent future damage to the foundation from water. I have also visited the site to familiarize myself with the topography of the surrounding properties, especially the property to the East which is under different ownership.

Article 24 of the Genoa Township Zoning Ordinance governs Nonconforming Structures and Uses. Section 24.02 states: Buildings, structures, lots and uses of land which were lawfully in existence at the time or enactment of amendment to this ordinance and which have been prohibited, regulated or restricted under the terms of this Ordinance are hereby recognized as nonconforming buildings, structures, lots, uses and sites. Section 24.04.08 provides as follows: Expansion of a Nonconforming Residential Building; A residential nonconforming building may be expanded provided the expansion will be within required setbacks and other dimensional and building code requirements are met (spacing between structures, height, maximum lot coverage, etc.).

Mr. Malysz intends on raising his mother's home and converting the existing crawl space to a walkout basement. This is an expansion of a non-conforming building even though Mr. Malysz is not expanding the footprint of the building further into the front yard setback. Mr. Malysz is adding living space/usable space to the home. As such, Mr. Malysz should be required to apply for a variance to raise the home.

There are some other concerns that I want to point out to you with regard to the proposed improvements. First, the site plan and drawings that Mr. Malysz submitted are inconsistent.

You pointed out that Mr. Malysz intends on installing a retaining wall on the North-East corner of the home to maintain the grade on the East Side of the home and in the rear of the home at its present elevation – this is shown on the Site Plan. However, the rear elevation sketch that Mr. Malysz submitted shows the new elevated grade on the East side of the home (to the rear corner) where it then slopes down at the rear of the home. The property to the East of the subject home is significantly lower than the subject property and, according to the site plan submitted by Mr. Malysz, contains a septic field. Raising the grade on the East side of the subject home may cause additional water runoff to the neighboring property unless measures are taken in the design and construction of the subject home to prevent additional water runoff to the East.

Lastly, the Site plan submitted by Mr. Malysz also shows the construction of a retaining wall on the West side of Lot 113 from the North West corner of the home. The sketch of the side elevation submitted by Mr. Malysz shows that the finish grade will be approximately 4" (5' – 68") lower than the grade of the road. This along with the construction of the retaining wall extending from the North East corner of the home seems to suggest that the only place for all of the storm water to drain will be to the East. This may cause problems with the neighbor to the East in the form of additional storm water runoff.

In summary, my conclusion is that Mr. Malysz is required to apply for a variance to raise the home and/or garage at 1330 N. Clark Lake Road and that if the ZBA is to consider granting the variance, consideration should be given to managing storm water runoff from the property as a condition of granting the variance.

If you have any questions, please feel free to contact me.

Sincerely,

MANCUSO & CAMERON, P.C.

Frank J. Mancuso, Jr.

October 19, 2010

Adam VanTassell
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: 1330 N. Clark Lake Road
Delores Malysz/Chris Malysz

Dear Mr. VanTassell:

I am in receipt of Mr. Malysz's October 14, 2010 letter in response to my recommendation to the Township in this matter. My reply is as follows. While I am sympathetic to Mr. Malysz's situation, it is still my opinion that Ms. Malysz (Mr. Malysz's mother) needs a variance to construct the improvements that her son is requesting on her behalf. Mr. Malysz in his letter acknowledges the proposed "vertical expansion" of the home (paragraph 3). Even though Mr. Malysz is not now proposing to expand the living area he is intending on expanding the structure vertically and part of this vertical expansion will be within the required setback area. Please refer to Section 24.04.08 of the Genoa Township Ordinance – it is not limited to expansion of habitable living space.

If you have any further questions about this matter, please let me know

Sincerely,

MANCUSO & CAMERON, P.C.

Frank J. Mancuso, Jr.

October 14, 2010

Frank J. Mancuso, Jr.
MANCUSO & CAMERON, P.C.
317 West Main Street
Brighton, MI 48116-1525
and

Adam Van Tassell
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: 1330 N. Clark Lake Road
Delores Malysz/Chris Malysz

Gentlemen:

I am writing in response to Mr. Mancuso's letter of October 8, 2010 pertaining to the above-referenced matter, to-wit:

First of all, thank you for your letter, although I do not agree with all of your findings and conclusions. That said, I am writing this letter to propose an interim solution to my primary objective, that being securing a permit to perform basement/foundation work at the above-cited residence.

For the record, I need to implement improvements at 1330 N. Clark Lake Road as my mother, Delores Malysz, is permitting me to assume residence at this premises as I will soon be losing my home across the lake due to foreclosure. Otherwise, I might find my son and myself homeless at the outset of 2011.

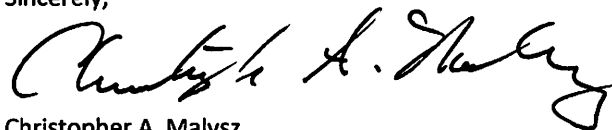
With respect to the interim solution, I am proposing to implement the basement improvements respecting the required 35' setback. In other words, I will leave the area within the 35' setback as a crawl space with a dirt floor. Therefore, no additional habitable living space will be included in the vertical expansion of the building. Foundation modifications/repairs will only be implemented within the existing five foot front yard encroachment area.

Let me reiterate: The only living space added to the structure will be a finished, walkout basement that is at or behind the required 35' setback line. The area between the existing 30' setback and the required 35' setback will remain a crawl space with a dirt floor. Moreover, I will not endeavor to convert that 5' crawl space to habitable space until and if I am granted a Variance or other remedy prescribed under the code.

I would also like to point out that the gradients I am proposing to implement will not divert storm water runoff onto adjacent properties. (I think there may be some confusion over my drawings and instructions.) I intend to direct all of the runoff to the lake.

I am trying to secure the issuance of the required permits before the weather works against my plans. Thank you for your additional consideration of this matter.

Sincerely,



Christopher A. Malysz

cc. Delores Malysz

Building Department and Zoning Enforcement

Tips for Code Compliance

Residential Builders

Michigan Residential Code 2006

No information sheet such as this can substitute for a thorough knowledge of the Building Code, however it may be helpful to know the areas where most commonly found problems occur. The code sections cited are Michigan Residential Code 2006.

Building Planning

1. Foam plastic shall be separated from the interior of a building by an approved thermal barrier (2" drywall or equivalent), attics and crawl spaces only require d "(this includes foam insulation baffles in attic). Sections R-314.5.2 AND R-314.5.4
2. A kitchen, storage room, laundry room, or bathroom can have a CEILING HEIGHT OF 7', but for either present or future HABITABLE rooms, whether basements or any other part of a dwelling, ceiling height cannot be less than 7' BETWEEN FINISHED floor and FINISHED ceiling. This 7' minimum requirement applies to at least 50% of the total area of rooms with partly SLOPED ceilings. The ceiling height in basements without habitable spaces may be not less than 6'8" clear except for under beams, girders, ducts or other obstructions where the clear height shall be 6'4". Sections R-305.1
3. All habitable rooms, or those to be occupied must have a WINDOW GLASS AREA of at least 8% of the total floor area (light requirement) with at least 2 operable (ventilation requirement), or an alternate mechanical ventilation system. Sections R-303.1
4. Bathrooms must be equipped with a mechanical vent fan. All fans and vents must vent directly to the outside. Sections R-303.3
5. SLEEPING ROOMS & BASEMENTS WHETHER HABITABLE OR NOT, must comply with item 3, but, also have an EMERGENCY EGRESS opening of 5'7" sq. ft., (5'0" if grade level). The minimum clear opening must be at least 20" wide and at least 24" high and the clear open space (sill) can be no higher than 44" above the finished floor. An exterior door within the room can be considered an emergency egress opening. Sections R-310
6. UNDER STAIR PROTECTION - Enclosed accessible space under stairs shall have walls and soffits on enclosed side with 2" drywall. Sections R-311.2.2
7. A solid wood door not less than 1 3/8" thick or equivalent, without glass, is required between a house and attached garage. A garage shall be completely separate from the residence and its attic by 2" drywall or equivalent on garage side. Sections R-309.1 & R-309.2
8. STAIRWAYS - The greatest riser height (maximum 83") within any flight of stairs shall not exceed the smallest by more than d ". Minimum tread width is 9". Stairways shall not be less than 3' in clear width and shall have a minimum 6'8" headroom from top of tread to finished ceiling. Sections R-311.5.1, R-311.5.2, R-311-5.3.1, R-311.5.3.2
9. Garage floor must be installed so as to prevent the flow of liquids through doorways into the adjoining dwelling. Sections R-309.3
10. Ground fault interrupters (GFI) are required for electrical protection on bathrooms, kitchens, exterior outlets and outlets in garages and basements. Bedrooms shall be protected by an arc-fault circuit interrupter for each branch circuit. Sections National Electrical Code 210.8 & E3802.11
11. Maintain 6" of CLEARANCE between the bottom edge of the siding and top of the final grade below. (Driveway, sidewalk, patio slab, top of the sod or landscape bark.) Sections R-404.1.6. & R-323.1
12. SLOPE all final grades away from the building for drainage with a minimum fall of 6" within the first 10' or minimum 6" to lot line. Sections R-401.3
13. SMOKE DETECTORS are required on each floor immediately adjacent to all sleeping areas, and in any basement. In new construction, all detectors shall be wired together and receive their power from the building wiring. Sections R-313.2

Foundation:

1. Location - Check closely to be sure the location of your footing forms are in accordance with the site plan that you submitted for a building permit.
2. Depth - Footings must rest on undisturbed soil below the frost line. (42" below finished grade, as measured at a distance of 6' from the building in the State of Michigan). Sections R-403.1.4
3. Anchorage - 2" anchor bolts, 6' O.C., 7" into concrete, (or 15" into block) and not more than 12" from a corner are required in the top of the foundation wall for the purpose of securing the sill. An approved alternative is galvanized straps, IF installed according to manufacturer= s specifications. Sections R-403.1.6
4. Damp Proofing/Water Proofing - Damp proofing of exterior foundation walls enclosing basements below grade is required. Water proofing is required on foundation walls located below grade which enclose habitable rooms. See code for specific requirements based on foundation type and space use. Footing lip must be clean before tarring. Sections R-406.1 & R-406.2
5. Crawl spaces must be vented on all walls within 3' of each corner. An access crawl hole 18" x 24" shall be provided under floor spaces. Sections R-408.1, R-408.2 & R-408.4

Rough In

1. Headers - 2x headers of appropriate size for the span are required in ALL exterior walls, as well as any interior load-bearing partitions. Support is required at each end. (See span table for specs.) Sections Table R-502.5(1)
2. Fire Blocking - Fireblocking of 23/32" plywood, 2" nominal lumber or 1/2" type 2M particle board shall be provided to cut off all concealed draft openings, such as occur at bulkheads, soffits, drop ceilings, spaces between stair stringers, at the top and bottom of run to form a fire barrier between stories, boxed-in hoist runs, chimney chase, top and bottom of furring strips (basement), and between a top story and roof space. Sections R-602.8
3. Corner Bracing - Exterior and foundation wall panels of frame construction shall be braced with approved structural sheathing 1"x4" let-in braces, or approved metal strap devices. Sections R-602.10.3
4. Treated Wood is required at the following locations:
 - Joists within 18" of exposed ground, girders within 12" of exposed ground, sills on masonry and within 8" of exposed ground, siding & sheathing with 6" of exposed ground, all wood in direct ground contact, all wood girders ending in exterior masonry walls having less than 2" clearance on any side. Sections R-324
5. Rafter/Joist Notching - Notching at the ends of the rafter or ceiling/floor joist shall not exceed 3/8th of the depth. Notches in the top or bottom of the joists shall not exceed 1/6th of the depth. Bored holes shall not be within 2" of the top and bottom and their diameter shall not exceed a 1/4rd the depth of the member. If plates are cut more than 50% of its width, a 24 gauge steel metal angle is required spanning the studs. Sections R-502.8, R-802.7 & R-602.6.1
6. All made up beams (Ex. 3-2 x 10"s) must have the ends of all splices located on support posts and held together with 16d 32" O.C. at the top and bottom, and 2-20d staggered at the end of each splice. Sections R-502.6 & TABLE 602.7
7. Basement POSTS must be fastened to the floor and the beam above. The screw end down and prevented from moving. Sections R-407.3
8. Double Floor Joists, as required next to framed openings, under bearing wall partitions, or any concentrated load bearing areas above freezers, hot tubs, etc.). Joist Headers around floor openings must be doubled if 4' or longer and corner fasteners used for any of 6' or longer. Any joist (deck included) must have at least 12" of end support or be in approved hangers. Hangers must be installed with the correct nails in all provided holes. Sections R-502.6.2, R-502.4 & FIGURE R-502.2
9. Joist Hangers - Where joist hangers are used, they must be of an appropriate size for the width of the joist and securely fastened to the header and the tail end of the joist. All nail holes in all joist hangers must be filled with the nail of the appropriate size. Refer to manufacturer's specifications for the proper size nails and other installation instructions. Sections R-802.9
10. Provide a 22" x 30" ACCESS into all attic and concealed areas over 30" in height. Use fire rated covers with tight joints. Sections R-807.1
11. Chimneys must top out at least 24" above any roof within 10' but not less than 3' above the point where the chimney passes through the roof. Sections R-1003.9
12. Rafters resting on another rafter or roof section must bear on a 2X board over the roof below. The lower roof, or trusses beneath, must be rated to carry that extra dead load placed above. Sections R-802.3 & R-802.10.1
13. Vent eaves and roof (or gable ends), including garages that have ceilings. Sections R-806.1
14. Trusses shall be installed and braced in accordance with manufacturer's specifications. Truss members shall not be cut or altered. Trusses shall be connected to wall plates by use of approved connectors having a resistance to uplift of not less than 175 pounds. Sections R-802.10.2-R-802.10.5
15. Roofing felt (No. 15) & ice water shield is required beneath shingles. Sections R803.2 & R803.3
16. Where the opening of an operable window is located more than 72" above the finish grade, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor. Glazing between the floor and 24" shall be fixed or have openings through which a 4" diameter sphere cannot pass. Sections R613.2
17. Cement, fiber-cement or glass mat gypsum shall be used as backers for wall tile in tub and shower areas. Water resistant green gypsum board is no longer allowed in tub and shower areas. Sections R702.4.2
18. The air removed by every mechanical exhaust system shall be discharged to the outdoors. Air shall not be exhausted into an attic, soffit, ridge vent or crawl space. Sections M150.1

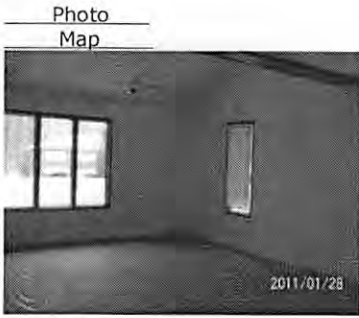
Finish:

1. Handrails - Handrails shall be provided on at least one side of the stairways if there are 4 or more risers and it shall have a minimum and maximum heights of 34 to 38 inches. It shall be continuous the full length of the stairs. Ends shall be returned or terminated in a newel post or wall. The maximum cross section shall not be more than 23". This includes decks, porches and other outdoor handrails. Sections R-311.5.6 & R-311.5.6.1
2. Guardrails - Open side of stairs (including basement stairs); and porches, balconies, and raised floor areas located more than 30" above the floor or grade below shall have guardrails or spindles which will not allow passage of an object 4" or more in diameter. Minimum height is 36" everywhere but stairways which has a minimum of 34". Sections R-312.1
3. There shall be a floor or landing on each side of each exterior door not more than 12" @ lower than the top of the threshold and not more than 7" @ below top of the threshold. Exception: Where a stairway of two or fewer risers is located on the exterior side of a door, a landing is not required. Stairs from the attached garage are interior stairs. Sections R311.4.3

4. Flashing shall be located beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels when masonry veneers are designed in accordance with section R703.7. See section R703.8 for additional requirements. Section R703.7.5. Landings - A 3 x 3 landing is required on both sides of all egress doors. Doors between the house and the attached garage are not considered egress doors, but the doors out of the garage area. Sections R-311.5.4
5. Metal Flash the top of any exposed window (not made with built-in flashing) or door opening, skirt boards, stacked plywood sheet siding that is not lapped, and any projecting trim or belt boards. This includes 1 x 4 added over windows, doors, porches, decks and plywood siding head joints, etc. CAULKING IS NOT FLASHING! Sections R-703.8
6. Provide a space for AIR CIRCULATION between all roof and ceiling insulation from eaves to ridge lines. Each space, if between rafters (sloped or cathedral ceilings), and past the edges of blown-in flat ceiling areas. Sections R-806.1, R-806.2 & R-806.3
7. DECKS, porches, stoops, balconies, and outside stairways must also meet all code requirements, including the following items. Flash between all wood frame and concrete, above all projections and the junction to the house. Decay resistant material must be used anywhere within 8" of the earth or exposure to weather. All posts must be on concrete footings pads that rest on undisturbed earth, below the front line and must withstand side sway. Use joist hangers as required if less than 12 " of end bearing. Joists must be sized and spaced to meet code, which exceeds residential floor loading specs. Double up the end trim and notch the support posts, or rest the joists on a beam over posts beneath. Guard and hand rails must meet code requirements.

February 24, 2009 * JB

[Top](#)



Residential MLS #211025171

For Sale Price: \$129,900

Status: NEW

Mailing Address: 1746 CLARK LAKE RD BRIGHTON MI 48114
Property Township: BRIGHTON TWP
Directions: GRAND RIVER TO HACKER R ON CLARK LAKE
Crossroads: E OF HACKER, N OF GRAND RIVER
Subdivision: CLARK LAKE PARK - BRIGHTON
School District: HOWELL
Sq Footage: 1,869 **Year Built:** 1930
Lwr Lvl Sq Ft: **Yr Remodeled:**
Lot Size: 46 X 140 **Acreage:** 0.00

INVESTOR SPECIAL - CASH BUYER NEEDED. THIS CLARK LAKE FRONT HOME IS CONDEMNED - IT NEEDS A SEPTIC SYSTEM, WELL, AND THE INTERIOR FINISHED. SOLD "AS-IS". CALL AGENT FOR ADDITIONAL INFO.

[Links:](#)
[Print Listing](#)
[Email Listing](#)

Room Information			
Bedrooms: 3	MBR: 12x14 Upper	BR5:	DR: 12x12 Entry
Full Bath(s): 1	BR2: 10x10 Upper	GR:	FLA: 14x10 Entry
Lav(s): 0	BR3: 10x10 Upper	LR: 18x16 Entry	BFT:
	BR4:	FR: 12x14 Entry	LB:
Other Rooms: 1ST FL LAU, LIVING RM, FAMILY RM			
Property Information			
Winter Taxes: \$740	Spec Assmt: YES	Assoc Fee:	
Summer Taxes: \$1,040	Homestead: N	Assoc Fee Period:	
Ownership: OTHER/SEE REMARKS			
Exterior/Construction Information			
Architecture: 1-1/2-ST	Ext Material: VINYL		
Style: CAPE COD	Construction:		
Site Desc:			
Exterior Feat: DECK			
Garage: 2 CAR, ATT, DIRECT ACC			
Water Fac: LAKE FRNT			
Water Name: CLARK LAKE			
Water Sewer: WELL, SEPTIC			
Out Buildings:			
Road Frontage: GRAVEL			
Interior Information			
Foundation: CRAWL, SLAB	Basement:		
Heating: FRCD AIR	Fuel Type: GAS, ELECTRIC		
Cooling:			
Interior Feat:			
Appliances:			
Fireplace:			
Bath Desc: MBR BTH			
Listing Information			
List Office: RE/MAX PLATINUM-HARTLAND			
Terms Offered: CASH			
LC Down Payment:		Short Sale: N	
LC Interest Rate:			
LC Payment:			
LC Term:			

From: Jim Rowell (JRowell@co.livingston.mi.us)
To: cmalysz@yahoo.com;
Date: Tue, November 16, 2010 4:57:08 PM
Cc:
Subject: RE: Codes being enforced.

Mr. Malysz

I am out of the office but I can be reached at 517-861-6372. We use the Michigan Building Code and Michigan Residential Codes.

Jim Rowell

From: Carol Shaw On Behalf Of Building
Sent: Tuesday, November 16, 2010 2:39 PM
To: Jim Rowell
Subject: FW: Codes being enforced.

From: cmalysz@yahoo.com [mailto:cmalysz@yahoo.com]
Sent: Tuesday, November 16, 2010 12:01 PM
To: Building
Subject: Codes being enforced.

Mr. Rowell,

I'm trying to obtain some form of documentation as to which codes or code book is being enforced for Livingston County.

I have a meeting with the Genoa Township Z.B.A. this evening and would like to have something to indicate such and use the appropriate text.

Thank you very much,

Christopher A. Malysz

Z.B.A. of Genoa Township
Meeting on November 16, 2010
For variances at 1330 Clark LK.RD.
Brighton, MI. 48114

I am here this evening to request relief on a unique situation and a hardship that I have to address at 1330 Clark Lake Road pertaining to drainage and runoff of the road and surrounding properties within 300 ft. of 1330 Clark Lake Road.

The finish floor elevation sets between 5 and 6 feet lower than the properties to the north. The drainage and runoff from these properties on their south and east sides all runs towards North Clark Lake Road. Over a period of time the Livingston County Road Commission has changed the direction of runoff and elevations of the road resulting in the water running into the front yard and driveway at 1330 Clark Lake Road. The drainage and runoff follows a path down the driveway and through the front yard, into and around the crawlspace and basement causing foundation failures, than eventually draining into the neighbor's yard to the east.

Through further inspection it was discovered that the foundation for the crawlspace at 1330 Clark Lake Road isn't deep enough to meet frost codes. It currently only has 24 inches of block below finish grade and code requires a minimum of 42 inches of frost protection.

My requests for relief have taken into account the following items and none of them being more important or to be concerned about then the other.

1. Public safety.
2. Drainage and runoff.
3. Building Codes.
4. Topography.
5. Neighborhood characteristics.
6. Conformity to Genoa Townships Ordinances under Article 24: Non-Conforming Structures and Uses.
7. Any foreseeable concerns of Genoa Township and the neighbors.
8. Added value to the community.

Public Safety.

With the change of elevation of the structure a change of egress into the structure would be moved from the side of the structure to the roadside/front of the home. A ten foot by twelve foot (10'X12') enclosed entry would be added on. Taking into account the entry would be an encroachment into the front yard setback currently enforced by the Township "a line of sight" for vehicular and pedestrian safety was taken into account.

The Clark Lake Park Community is a rural development, platted and subdivided in 1923 with no sidewalks for pedestrians to walk on. At no point is there less than 300 feet of unobstructed view of the road for vehicle and pedestrian traffic to have sight of one another.

Drainage and Runoff.

As mentioned before there is a large collection of water that drains onto this property from the properties to the north and Clark Lake Road. It drains into the front yard and driveway at 1330 and then into the yard of the property directly to the East, and drain at it's will.

The solution that is being proposed will contain and redirect the runoff. The change in grade proposed will redirect 95% of the current runoff towards and around the West side of the garage with the implementation of a small swale adjacent and following the Southside of Clark Lake Road beginning at the Northeast Property iron. The swale drainage will be caught in a catch basin and redirected through a storm drain to another swale along the Westside of the existing garage at 1330 Clark Lake Road down to the lake. With respect to the other 5% of the runoff, a small swale along the East property line will be developed to catch the remaining balance from the front yard and directed down towards the lake. No change in grades will be implemented along the Eastside of the structure; all grades will remain the same. To further reduce any uncontrolled runoff, PVC drains for the downspouts will be installed underground and terminated at the lakes edge.

Building Codes and Topography.

This where a unique situation and hardship takes place. Given the topography, structure elevation, existing grades of the surrounding properties, road elevations, zoning ordinances being enforced, accompanied with the construction standards applied to the structure, corrections and modernization to current standards need to be applied.

The increased elevation will allow for control of the runoff and meet currently enforced codes. (See attached). Here are just a few of the corrections needed to be made that are imperative of your relief.

1. Treated sill plate.
2. Proper anchoring of the structure to the foundation.
3. Proper foundation depth below frost line.
4. Proper finish grades and drain water control and diversion.
5. Proper waterproofing of the foundation.
6. Proper insulation of the foundation.
7. Attractive landscaping and ground cover.

As I stated above, these are a few of the improvements that will be made to the property but only with your relief.

Neighborhood characteristics.

Clark Lake Park Subdivision was platted in 1923 with no set standards to the homes nor any deed restrictions were registered with the county leaving it an eclectic development of random decorative ideas.

Homes range from setbacks of as little as 6 feet to in the front yard to within 2 feet of side yard.

The proposed addition to the front of the structure would be within the front yard setback but would not cause any hardships, eyesores or public safety concerns. It would still be setting back from the road approximately 30 feet.

Conformity to Genoa Township Ordinances under Article 24: Non-Conforming Structures and Uses.

As stated previously, Clark Lake Park Subdivision was platted in 1923 which predates the current zoning and construction standards by more than 80 years. New and more modern ordinances have been put into place such as the Lakeshore Resort Residential (LRR) as a standard for new developments to meet new safety and construction standards. Some of the considerations would be for the following. There is more than adequate sight distances for public safety and operation, separation of structures for fire jumping prevention and adequate room to extinguish and fight a fire, perform any future maintenance or improvements to the property without causing any hardship or inconvenience on adjacent property owners, additionally height, egress and drainage considerations. All of these standards and considerations are being addressed and met given the dimensions and topography of the property however a front yard setback is in need for relief.

Under Article 24.04.06 of the ordinance the repairs, improvements and or modernization shall be less than ½ of the value of the property during any period of twelve months.

Any foreseeable concerns of Genoa Township or the neighbors.

I've tried to give everything that is to be undertaken on this project the utmost consideration and concern for public safety and any concerns of the Township and neighbors in this community. The project won't impair anyone's view, I will be alleviating, I'm sure unwanted water from the properties to the north, from further damaging mine or the neighbor's property to the east. I've spoken to numerous neighbors in the community and they all think that it is a great idea and would be a nice improvement to the development.

Added value to the community.

Given today's real estate market any type of dollars invested into a residential project is a plus for the community to improve its appearance, make it a more desirable location and create a higher taxable value for the Township.

Thank you for your time and consideration.

Sincerely,

Christopher A. Malysz



Genoa Charter Township

2911 Dorr Road • Brighton, Michigan 48116 • (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

October 29, 2010

Dear Property Owner:

The following is a proposed variance in your neighborhood that is on the agenda for the Genoa Township Zoning Board of Appeals meeting, Tuesday November 16, 2010, at 6:30 p.m. at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI.

The State Statute provides for notifying property owners in close proximity of proposed variance requests. A request is being made in your area located in Section 12, 1330 Clark Lake Road, requested by Dolores Malysz, for a front yard variance to construct an enclosed porch.

If you have any questions in this regard, please be present at the public hearing noted above.

Please address any written comments to the Genoa Township Zoning Board of Appeals either at the Genoa Township mailing address listing above or via email at adam@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Sincerely,

Adam Van Tassell
Genoa Township Ordinance Officer

AVT/ar

Supervisor
Gary T. McCririe

Clerk
Paulette A. Skolarus

Treasurer
Robin L. Hunt

Manager
Michael C. Archinal

Trustees
H. James Mortensen • Jean W. Ledford • Todd W. Smith • Steven Wildman

4711-12-400-003
KANDLER, GEORGE & DIANE
1475 S HACKER RD
BRIGHTON MI 48114

4711-12-400-004
TANK, KARL
1467 S HACKER RD
BRIGHTON MI 48114

4711-12-400-005
BRENEMAN, WAYNE
1333 CLARK LAKE RD
BRIGHTON MI 48114

4711-12-400-006
ROE DAN & JAIME
1345 CLARK LAKE RD
BRIGHTON MI 48114

4711-12-400-007
KANKA BEVERLY
9897 ROLLING GREENS DR
PINCKNEY MI 48169

4711-12-400-008
FRASHESKI KENNETH P & CHERYLE R
1348 CLARK LAKE RD
BRIGHTON MI 48114

4711-12-400-009
MALYSZ DELORES
1746 CLARK LAKE RD
BRIGHTON MI 48114

4711-12-400-010
MALYSZ DOLORES & CHRISTOPHER
1746 CLARK LAKE RD
Brighton MI 48114

4711-12-400-013
O'HARA, JOHN JR, RICHARD & PAUL
1668 S BATES ST
BIRMINGHAM MI 48009

4711-12-400-014
MORGAN, MARILYN
1354 CLARK LAKE RD
BRIGHTON MI 48116

4711-12-400-015
APOSTOLIC-LUTHERAN CHURCH OF
P O BOX 104
BRIGHTON MI 48116

4711-12-400-016
FELLA, JAMES & SONIA
1324 CLARK LAKE RD
BRIGHTON MI 48114

4711-12-400-020
BUCZEK, BRIAN
1452 S HACKER RD
BRIGHTON MI 48114

4711-12-400-021
MARCINIAK, STEVEN W.
1470 S HACKER RD
BRIGHTON MI 48114

4711-12-401-091
DUTY, JAMES & ROSALIE
8087 STONEGATE DR
Northville MI 48168

1330 CLARK LK. RD.

1" = 10'

— EXISTING GRADE
X — PROPOSED GRADE

WATERS EDGE "APPROXIMATE"

FENCE LINE

FENCE LINE

X 85.15

86.15 X

87.15 X

88.15 X

X 96.15

91.15 X

95.6 X

X 95.0

91.35

X 95.6

96.15

SWALE

96.55

3' WIDE SWALE

4' WIDE SLOPE

96.65 X

100.8

PROPOSED EXPANSION

16'

12'

96.75 X

100.8

X 96.15

X 97.15

X 98.15

100. X

99.8 X

SUMP

DRAIN IN UNDER DRIVE WAY

100.8 X

101.5 X

101.8 X

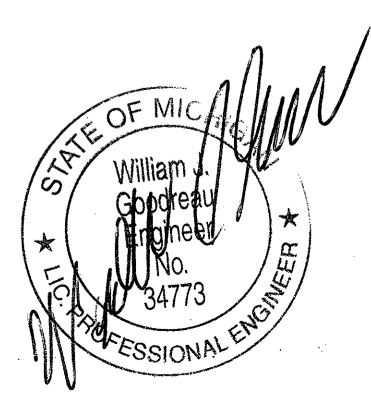
102.4 X

102.6 X

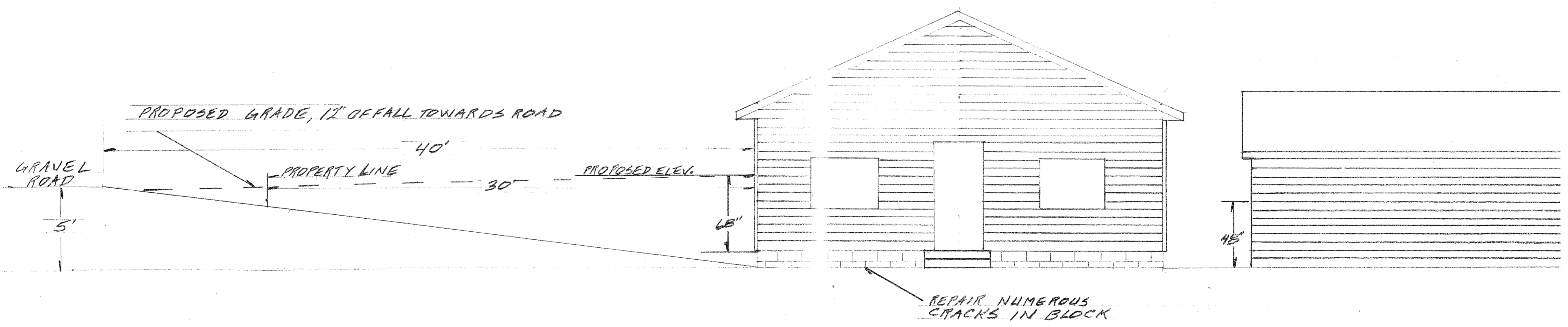
EDGE OF GRAVEL

NORTH CLARK LAKE ROAD

12-400-009



1330 CLARK LK RD
1/4" PER FOOT
FOUNDATION REPAIRS
ELEVATION & GRADE CHANGES
CONTACT # 586-292-6288
PLEASE CALL IF ANY ?'S





Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

PERMIT NO. 12-019

1. PROJECT INFORMATION

Site Address: 1330 CLARK LK. RD. Acreage:

2. OWNER/APPLICANT INFORMATION

Owner Name: DOLORES MALYSZ Phone No.: 810-923-8843

Owner Address: 1330 CLARK LK RD. City: BRIGHTON State: MI Zip: 48114

Applicant is: Owner Contractor Lessee/Renter Architect/Engineer Other:

Applicant name: Phone No.:

Applicant Address: City: State: Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure
 New Single Family New Multiple Family Addition to Existing Building Grading/Site Work

Other: REPAIRS TO FOUNDATION, ADD ON ENCLOSED ENTRY

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn)

Pool/Hot Tub ROOF TEAR-OFF
 Other: REPAIRS TO GARAGE FOUNDATION, RAISE HOUSE ELEVATION

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION

A. Proposed Principal Structure Setbacks (in feet)

Front: 30' (measured from front property line, right-of-way line or private road easement, whichever is less)
Rear: 80' Least Side: 8'5" Side: 30' Water/Wetland: 135'

B. Proposed Accessory Structure Setbacks (in feet)

Front: Least Side: 8'5" Side: 30' Rear: 70' Water/Wetland: 125' Distance from Principle Structure:

C. Proposed Building/Improvement Dimensions

Size of Building/Improvement: 120 square feet Height: 14 feet

6. SIGNATURE OF APPLICANT

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant: Dolores Malysz Printed Applicant name: Dolores Malysz Date: 9 MAR 12

FOR OFFICE USE ONLY

FLOODPLAIN
Floodplain: N/A Panel #: Zone #:

ASSESSING APPROVAL

Approved Disapproved Approved by: Tommy Rudberg Date: 3/14/12

ZONING APPROVAL Parcel I.D. No.: 11-12-400-009 Zoning: LRR

Approved Disapproved Approved by: Agua Via Tamuli Date: 3-12-12

Comments/Conditions: LCHD approvals to be supplied to Township

ZBA Case #/Approval date: 10-25 / 03-15-11 Conditions: Engineer certified, As-Built, LCHD approval

3. FEES

Land Use: \$ 75.00 Water/Sewer: \$ / Meter: \$

GENOA TOWNSHIP ASSESSING DEPARTMENT

2911 Dorr Road ❖ Brighton, Michigan 48126

Phone: (810) 227-5225 ❖ Fax: (810) 227-3420

PERMIT: 12-019

1. PROJECT INFORMATION

Site Address: 1330 CLARK LK. RD.	Parcel I.D. No.: 4711-12-400-009	Zoning: LTR
--	--	-----------------------

2. OWNER/APPLICANT INFORMATION

Owner Name: DOLORES MALYST	Phone No.: 810-923-8843
Owner Address: 1330 CLARK LK. RD.	City: BRIGHTON State: MI Zip: 48114

Applicant is: Owner Contractor Lessee Architect/Engineer Other:

Applicant Name:	Phone No.:
Applicant Address:	City: State: Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure
 New Building - Single Family Multi-Family Commercial/Industrial
 Tenant Buildout Addition to Existing Building

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn)
 Pool/Hot Tub- Above ground In ground

4. SELECTED CHARACTERISTICS OF IMPROVEMENT

Value of Improvement	\$ 12,000		
Building Style	<input checked="" type="checkbox"/> Ranch	<input type="checkbox"/> 1.5 Story	<input type="checkbox"/> 2 Story
Frame	<input type="checkbox"/> Masonry, Wall Bearing	<input checked="" type="checkbox"/> Wood Frame	<input type="checkbox"/> Structural Steel <input type="checkbox"/> Reinforced Concrete
Exterior	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input checked="" type="checkbox"/> Siding <input type="checkbox"/> Wood
Foundation	<input checked="" type="checkbox"/> Basement	<input type="checkbox"/> Crawl	<input type="checkbox"/> Slab
Area	New Building Square Footage:	Addition Square Footage:	120 sqft.
Bedrooms	No. of: 3		
Bathrooms	No. of Full: 2	No. of Half:	No. of Sinks: No. of Showers:
Basement	Walkout: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Finished: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Finished Square Footage: Basement Baths- No. of Full: No. of Half:
Central Air	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Fire Suppression	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Fireplace	<input checked="" type="checkbox"/> Direct Vent	<input type="checkbox"/> Pre-fab	<input type="checkbox"/> Other:
Garage	<input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached	Height: 12' feet	Depth: 22' feet Width: 22' feet
Inground Pool	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Gunite	<input type="checkbox"/> Plastic
Accessory Structure	Height: feet Depth: feet	Width: feet	Flooring- <input type="checkbox"/> Concrete <input type="checkbox"/> Dirt <input type="checkbox"/> Wood

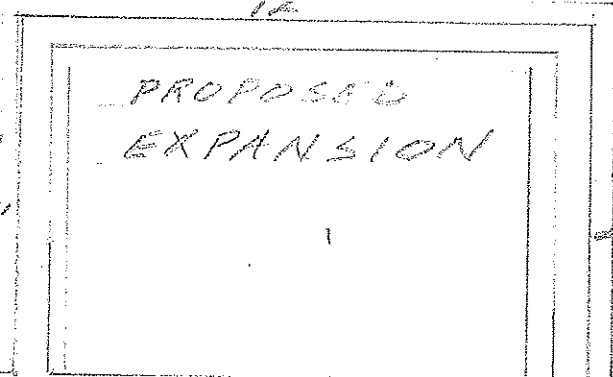
5. APPLICANT SIGNATURE

I hereby certify that all information and data attached to and made part of this application are true and accurate and to the best of my knowledge and belief. I also certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent, and we agree to conform to all applicable laws, codes and ordinances of the State of Michigan and Genoa Township. Private covenants and restrictions are potentially enforceable by private parties. Any modification to location, size, or dimensions must be approved by Genoa Township.

Signature of Applicant: <i>Dolores Malyst</i>	Date: 9 MARCH 2012
--	------------------------------

FOUNDATION

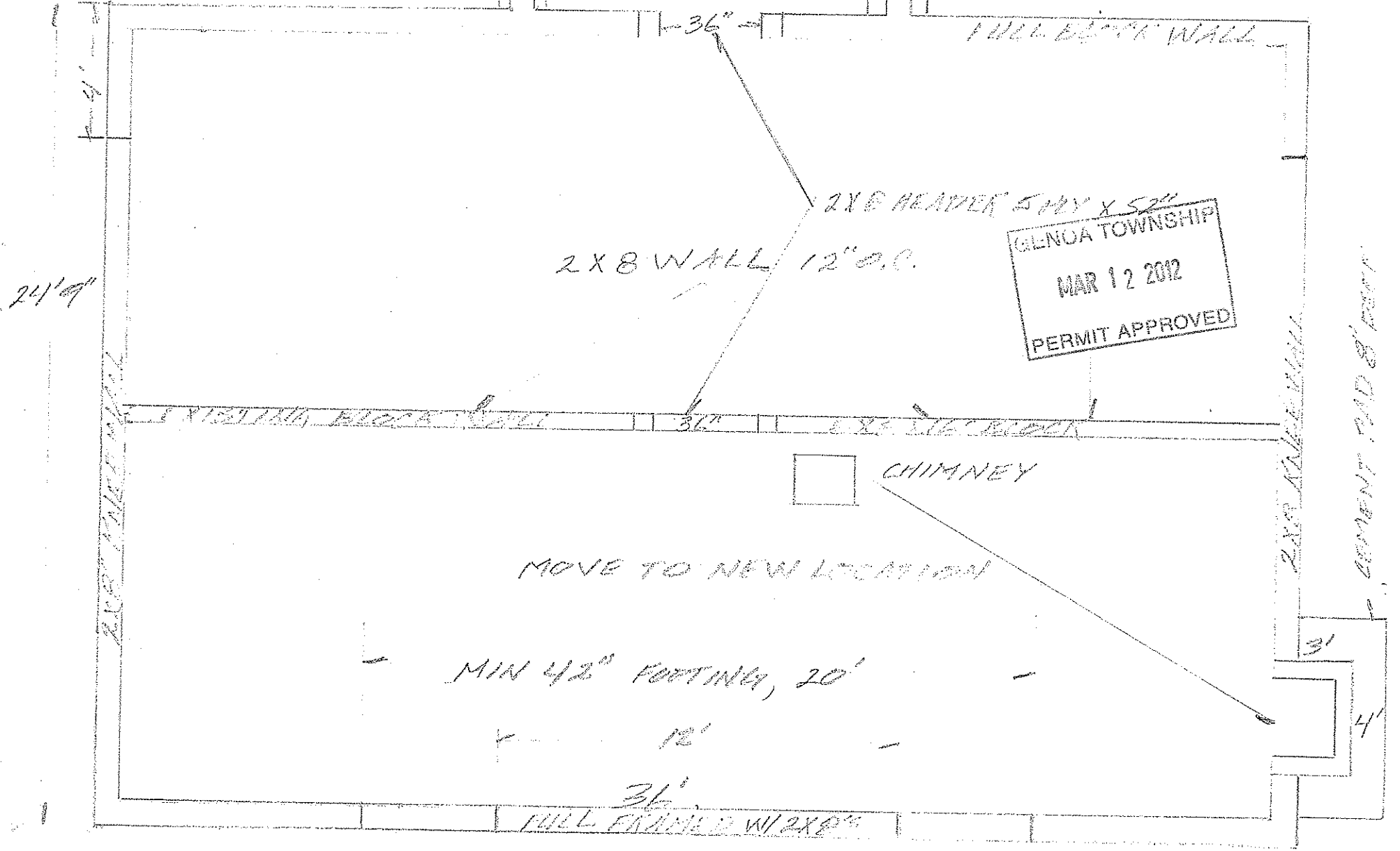
ALL BLOCK TO BE FILLED EVERY 4' O.C. AND REINFORCED WITH #5 REBAR, 18" MIN AND CAPS ARE



1330 CLARK LN, RD.

1/4" = 1'

SPREAD FOOTING 8" X 16" X 8" 5" BLOCK



2X8 WALL 12" O.C.

2X8 HEADER 5 1/2" X 5 1/2"

GLENDIA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

FULL BLOCK WALL

EXISTING BLOCK WALL

EXISTING BLOCK

CHIMNEY

MOVE TO NEW LOCATION

MIN 4" FOOTING, 20'

FULL FINISHED W/ 2X8'S

1/2" CEMENT PAD 8' FEET

1330 CLARK CRD.
1/8" = 1'

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

3/4" OSB
TYVEK

SIDING, TBD

2x8

2x8

6" R-30 FIBER INSUL.

8" BLOCK, FILLED EVERY 4', #5 REBAR

120G 2x8 FRAMED WALL, 3/4" OSB,

2x6
2x6

TREATED 2x4
PLATE

37'

EXISTING GUTTERS

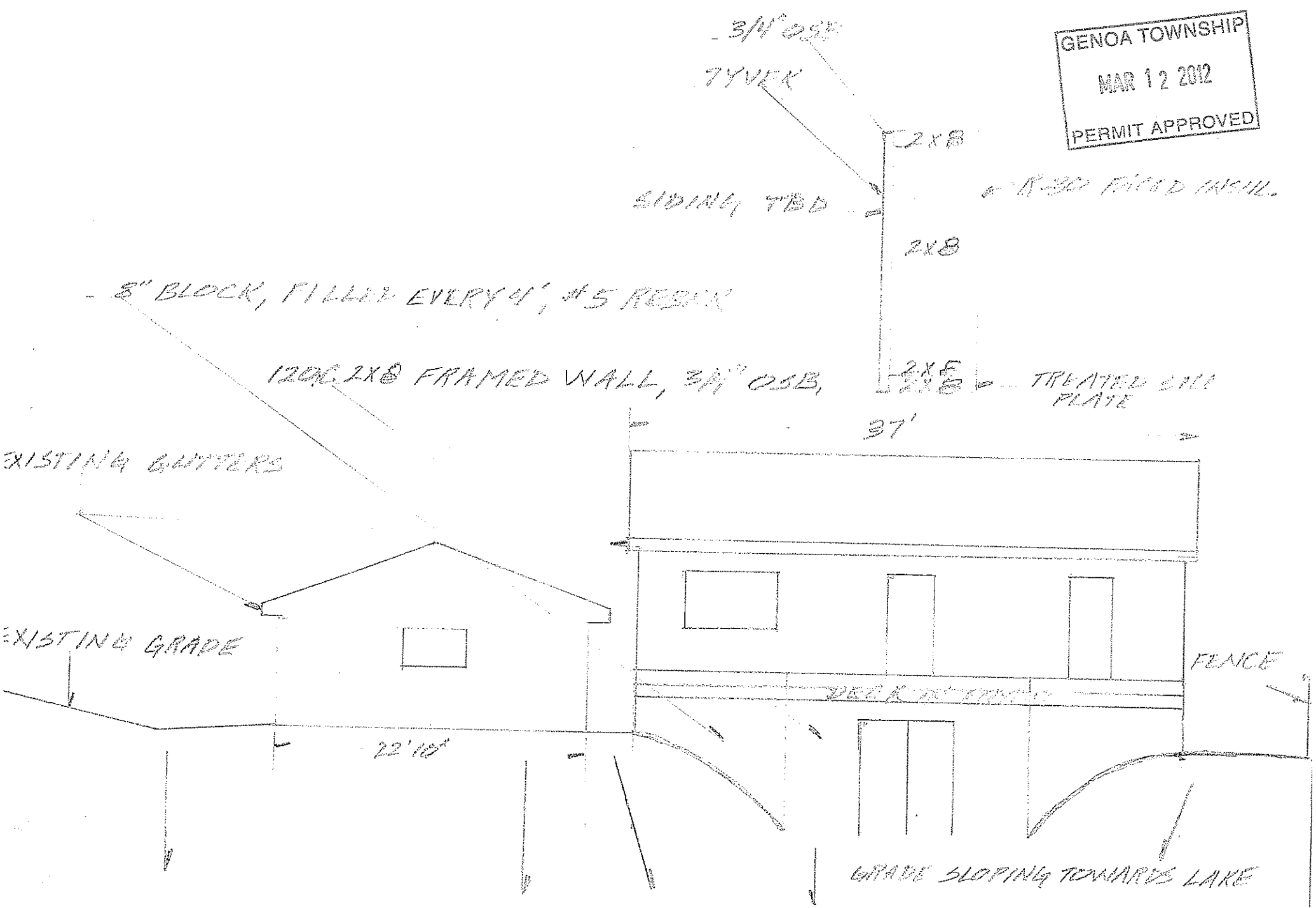
EXISTING GRADE

22'10"

DECK DECKING

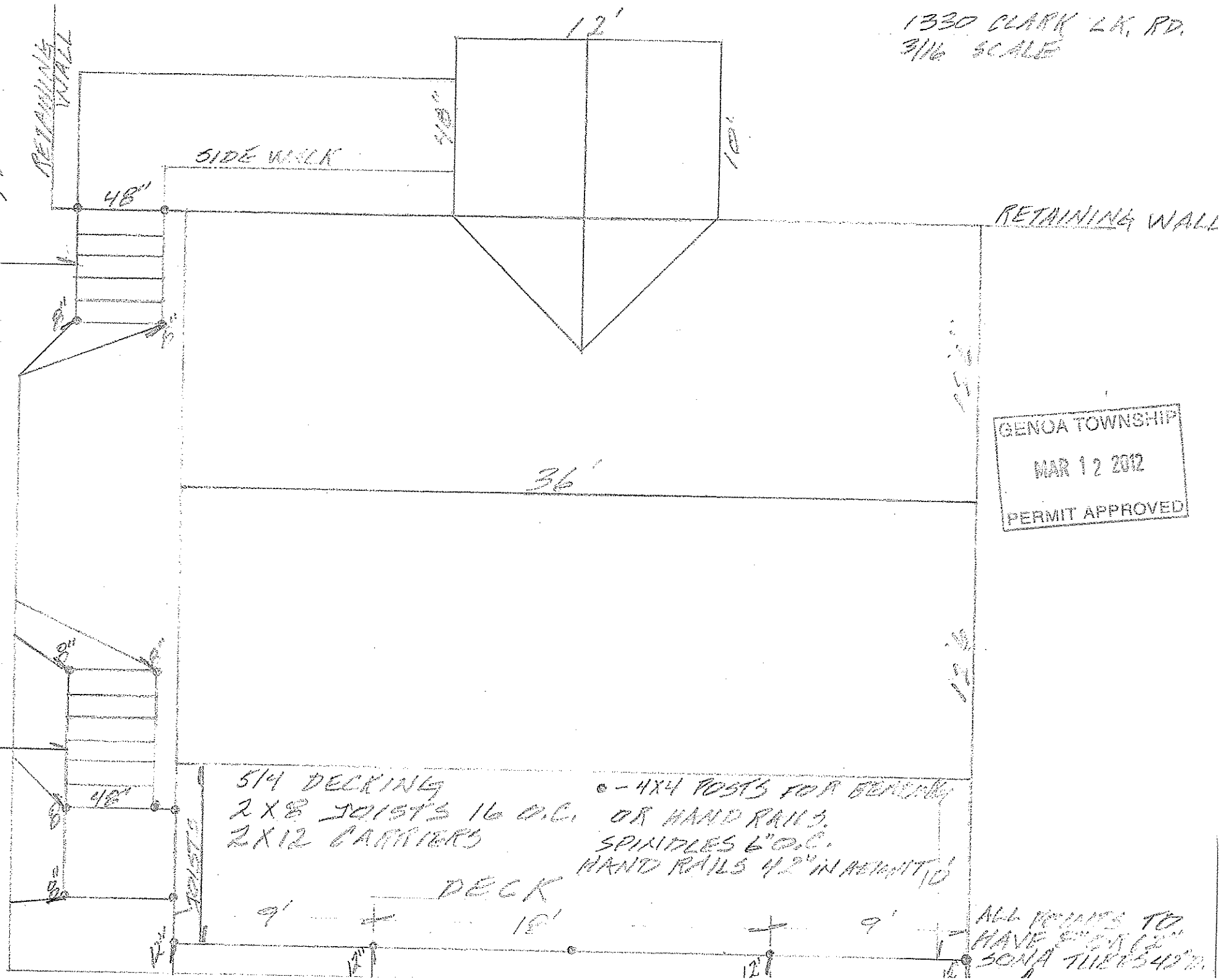
FENCE

GRADE SLOPING TOWARDS LAKE



1330 CLARK LK. RD.
3/16 SCALE

STAIRS TO HAVE 12' SPACING, 12' SPACES, 7" RISE



GENOA TOWNSHIP
 MAR 12 2012
 PERMIT APPROVED

5/4 DECKING
 2X8 JOISTS 16 O.C. OR HANDRAILS.
 2X12 CARRIERS
 • - 4X4 POSTS FOR BEARING
 SPINDLES 6" O.C.
 HANDRAILS 42" IN HEIGHT

ALL POINTS TO
 HAVE 5/8" X 12"
 SONA TIERS 5420.

ALL ELEVATIONS
TO MATCH EXISTING.

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

ROOFING
3 TAB SHINGLES
30 LB FELT PAPER
W/1 ALONG PERIMETER
COIL ROOFING NAHS
1 1/4"

2X6 RAFTERS 16 O.C.

1/2 OSB DECKING

12
6

2X6, FASCIA ALUM.

VINYL SIDING

GUTTERS &
DOWN SP. 1/2"
RAIN WATER COLLECTED
IN 4" PIPE AND
DISCHARGED TO LANE
SIDE BY SP. 1/2" 1/2"

INSULATION R-30 IN
ALL WALLS, RAFTERS
& BONDS FILLED WITH,
CLOSED SYSTEM.

36" EXIT
DOOR

TYVEK

1/2" OSB.

2X6 WALLS

3/4" SUB FLOOR

"NOT TO SCALE"

2X8 F.T.

FLOOR JOISTS
INSULATED R-30

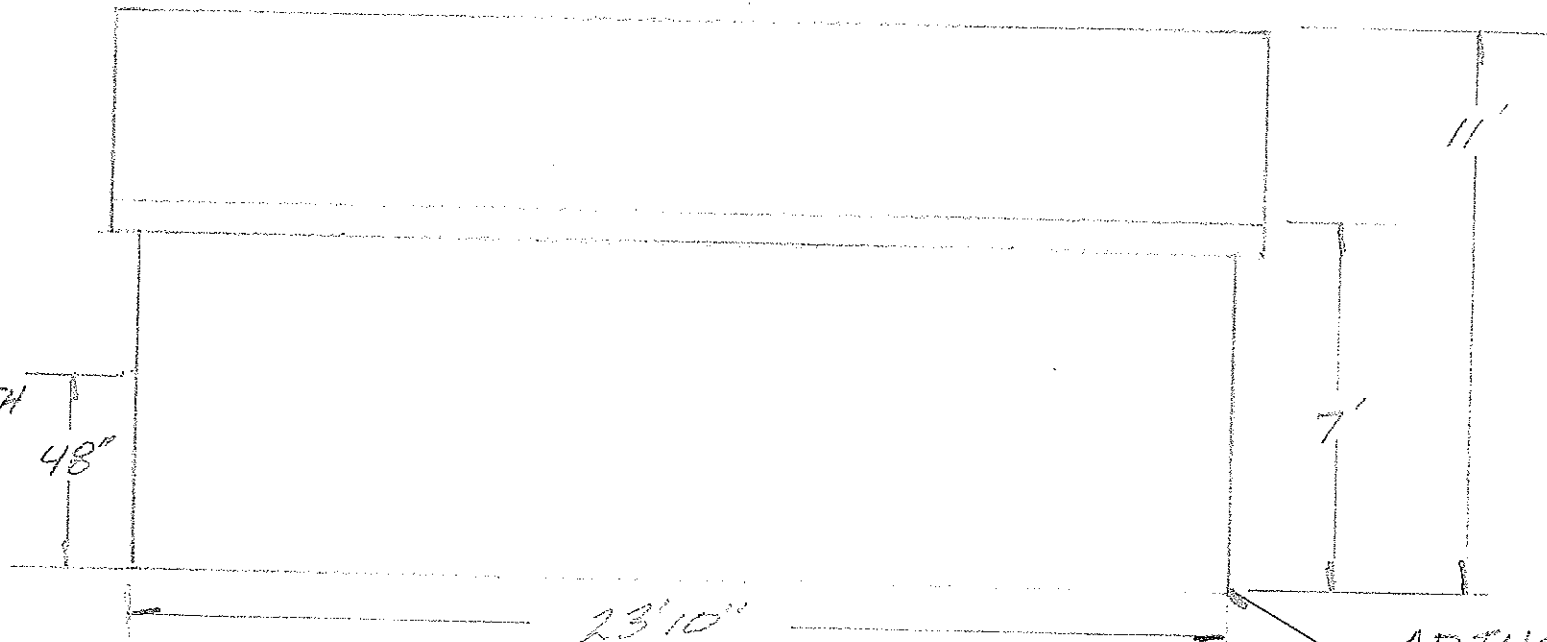
BOND STAP, SET IN
MORTAR, 2 MAX MID SILL
ANCHOR. 4' O.C.

SIDE WALK ADJUSTED TO
GRADE

42" SIDE WALK

1/4" = 1'

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED



RAISE WITH
BLOCK 48"

23'10"

7'

11'

ADJUST FINISH
GRADE TO
COMPLY WITH ORDINANCE.

1350 CLARK LK RD
3-9-2012

DOWN SPOUT

DOWN SPOUTS ON BOTH SIDES
95.6 X

BACK PUMP

96.55 X

95.0
91.35

E SWALE

PE

96.65
100.8

DOWN SPOUT

DOWN SPOUT

96.15

PROPOSED EXPANSION

SIDE PUMP

96.75
100.8

DOWN SPOUT

96.15

34 X

97.15

PAVED DRIVEWAY

98.15

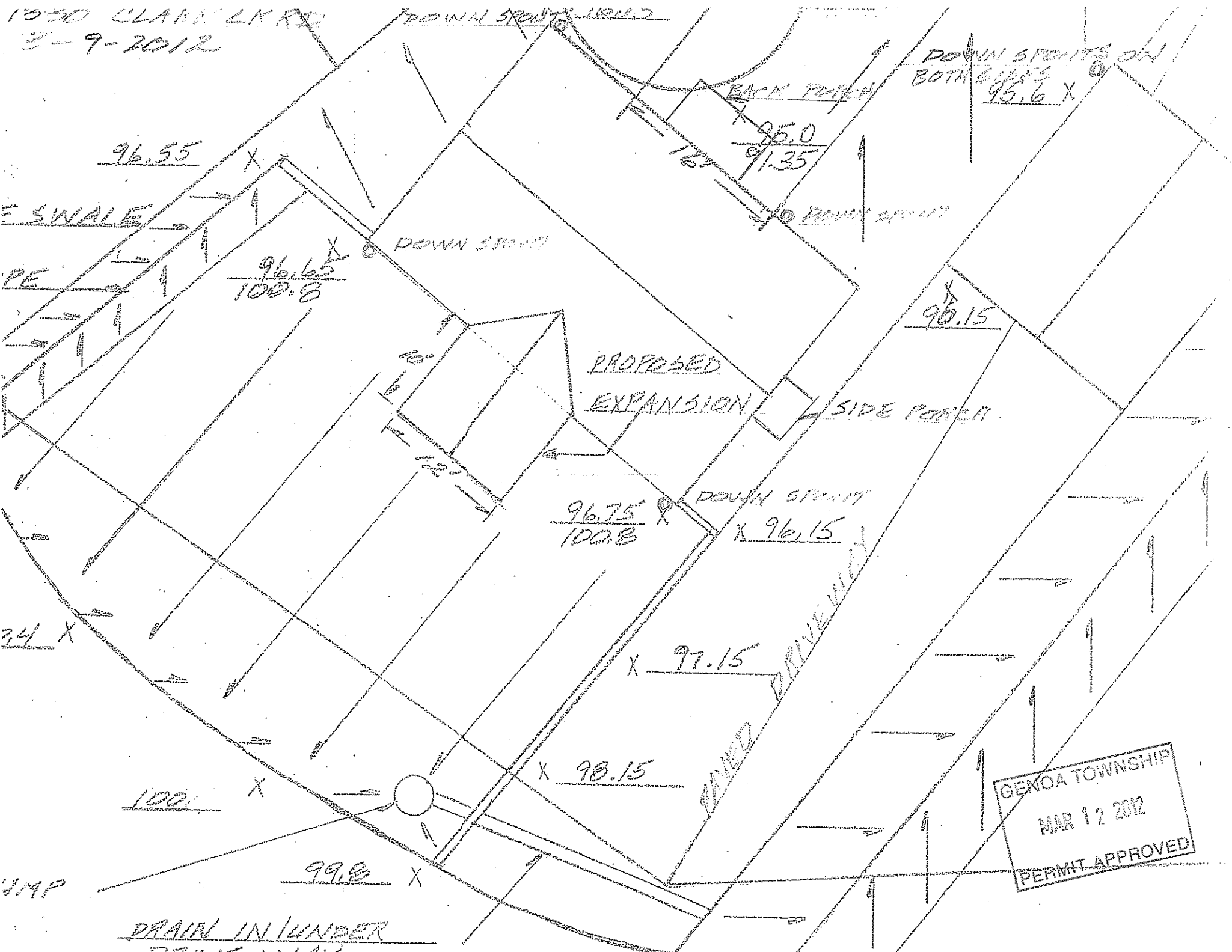
100.1

99.8 X

GEXOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

JMP

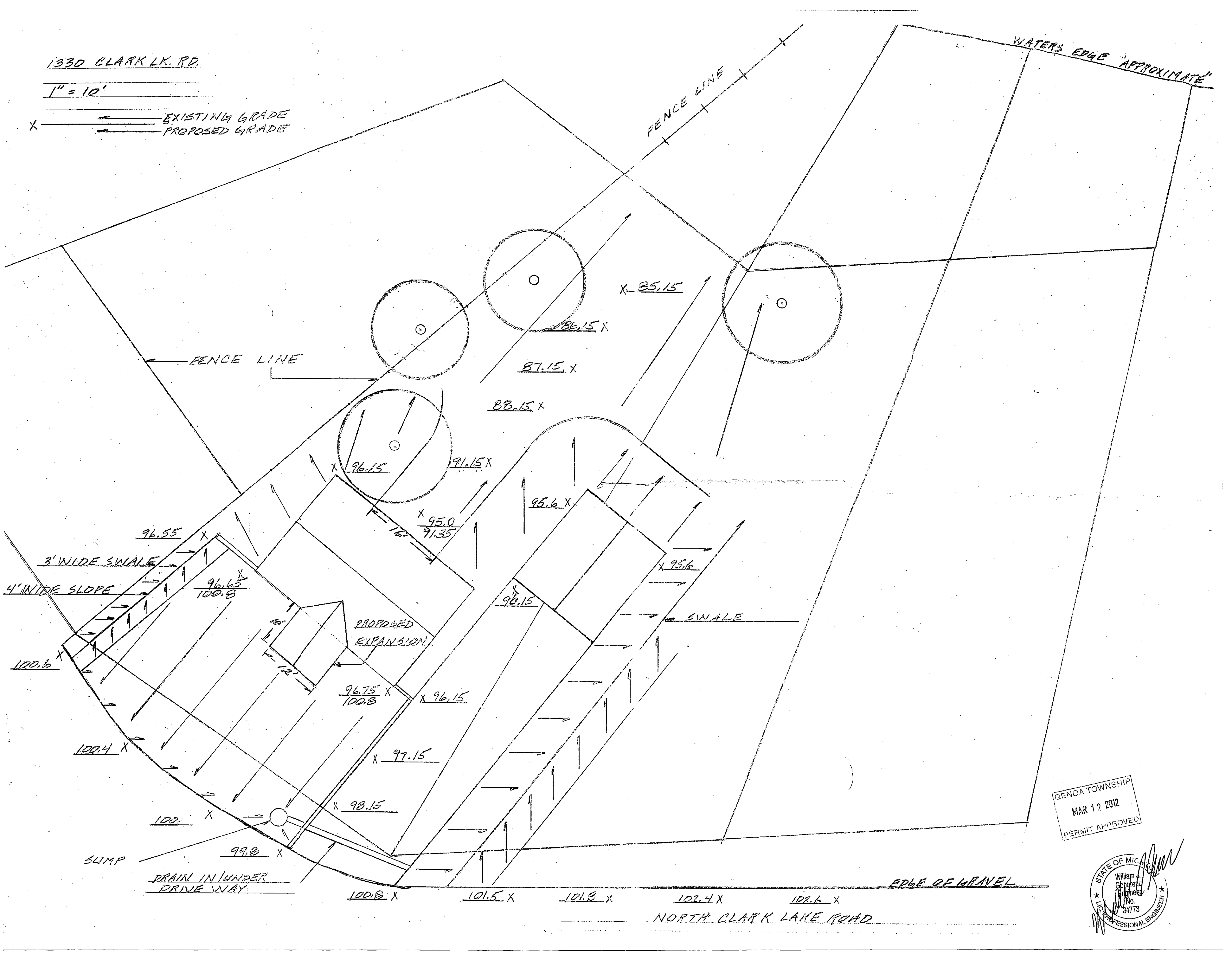
DRAIN IN UNDER



1330 CLARK LK. RD.

1" = 10'

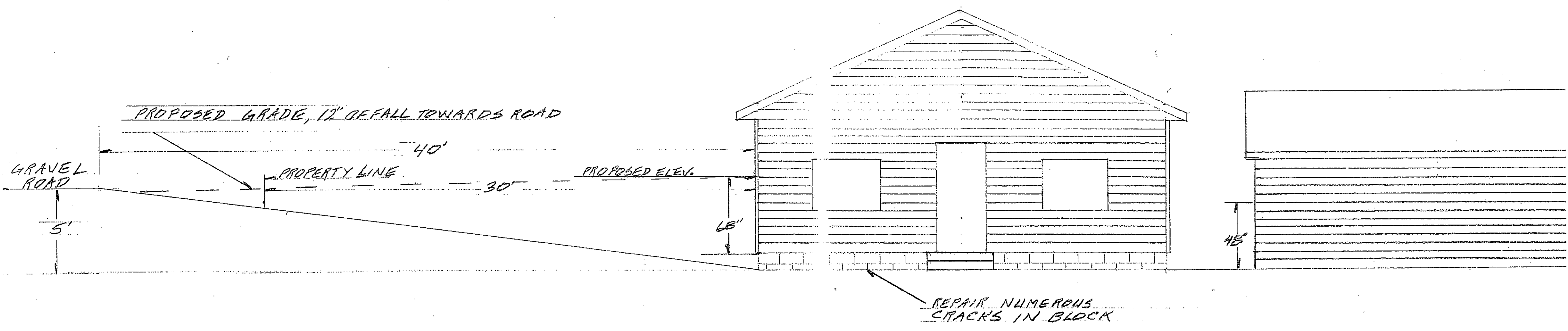
— EXISTING GRADE
— PROPOSED GRADE



GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

STATE OF MICHIGAN
 William J. Gopreau
 No. 34773
 PROFESSIONAL ENGINEER

1330 CLARK LK RD
1/4" PER FOOT
FOUNDATION REPAIRS
ELEVATION & GRADE CHANGES
CONTACT # 526-272-6688
PLEASE CALL IF ANY ?'S



GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED



1. PROJECT INFORMATION					
Site Address: 1330 Clark Lk. Rd.				Acreage: .25	
2. OWNER/CONTRACTOR INFORMATION					
Owner Name: Dolores M. Malysz			Phone No.: 586-292-6688 <input type="checkbox"/>		
Owner Address: 1330 Clark Lk. Rd.		City: Brighton	State: MI	Zip: 48114	
Contractor name:			Phone No.: <input type="checkbox"/>		
Contractor Address:		City:	State:	Zip:	
3. TYPE OF IMPROVEMENT					
A. Principal Structure					
<input type="checkbox"/> New Single Family	<input type="checkbox"/> New Multiple Family	<input checked="" type="checkbox"/> Addition to Existing Building		<input type="checkbox"/> Grading/Site Work	
<input type="checkbox"/> Other: _____					
B. Accessory Structure					
<input type="checkbox"/> Fence	<input type="checkbox"/> Deck	<input type="checkbox"/> Detached Accessory (garage, shed, pole barn)		<input type="checkbox"/> Pool/Hot Tub	
<input type="checkbox"/> Other: _____					
4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION					
A. Proposed Principal Structure Setbacks (in feet)					
Front: 54' (measured from front property line, right-of-way line or private road easement, whichever is less)					
Rear: 105'	Least Side: 8'6"	Side: 30'	Water/Wetland: 115'		
B. Proposed Accessory Structure Setbacks (in feet)					
Front: 78'	Least Side: 8'6"	Side: 30'	Rear:	Water/Wetland: 105'	Distance from Principle Structure:
C. Proposed Building/Improvement Dimensions					
Size of Building/Improvement: 661 square feet			Height: 18' feet		
6. SIGNATURE OF APPLICANT					
I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent. The owner and applicant agree to conform to all applicable ordinances of Genoa Township. Any modification to location, size or dimensions must be approved by Genoa Township. A Land Use Permit is valid for a period of 12 months from the date of issue. In signing of this application, I am permitting an official representative of Genoa Charter Township to do on-site inspections. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.					
Applicant is: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee/Renter <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Other:					
Signature of Applicant: <i>Dolores M. Malysz</i>		Printed Applicant name: DOLORES M. MALYSZ		Date: 5-15-2015	
FOR OFFICE USE ONLY					
FLOODPLAIN					
Floodplain: N/A		Panel #: -		Zone #: -	
ASSESSING APPROVAL					
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by: <i>Jenny Lindberg</i>		Date: 5/21/15		
ZONING APPROVAL		Parcel I.D. No.: 11-12-400-009		Zoning: LRR	
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved	Approved by: <i>James A. Allen</i>		Date: 5-21-15		
Comments/Conditions: ① Permit excludes privacy fence depicted on plans ② All conditions on previous permit + ZBA approval shall be met. ③ Applicant shall maintain drainage on site with runoff running toward lake. ④ Applicant shall secure approval from all applicable County Agencies.					
ZBA	Case #/Approval date: _____		Conditions: _____		
3. FEES					
Land Use:	\$ 75	Water/Sewer:	\$ - / -	Meter:	\$ -



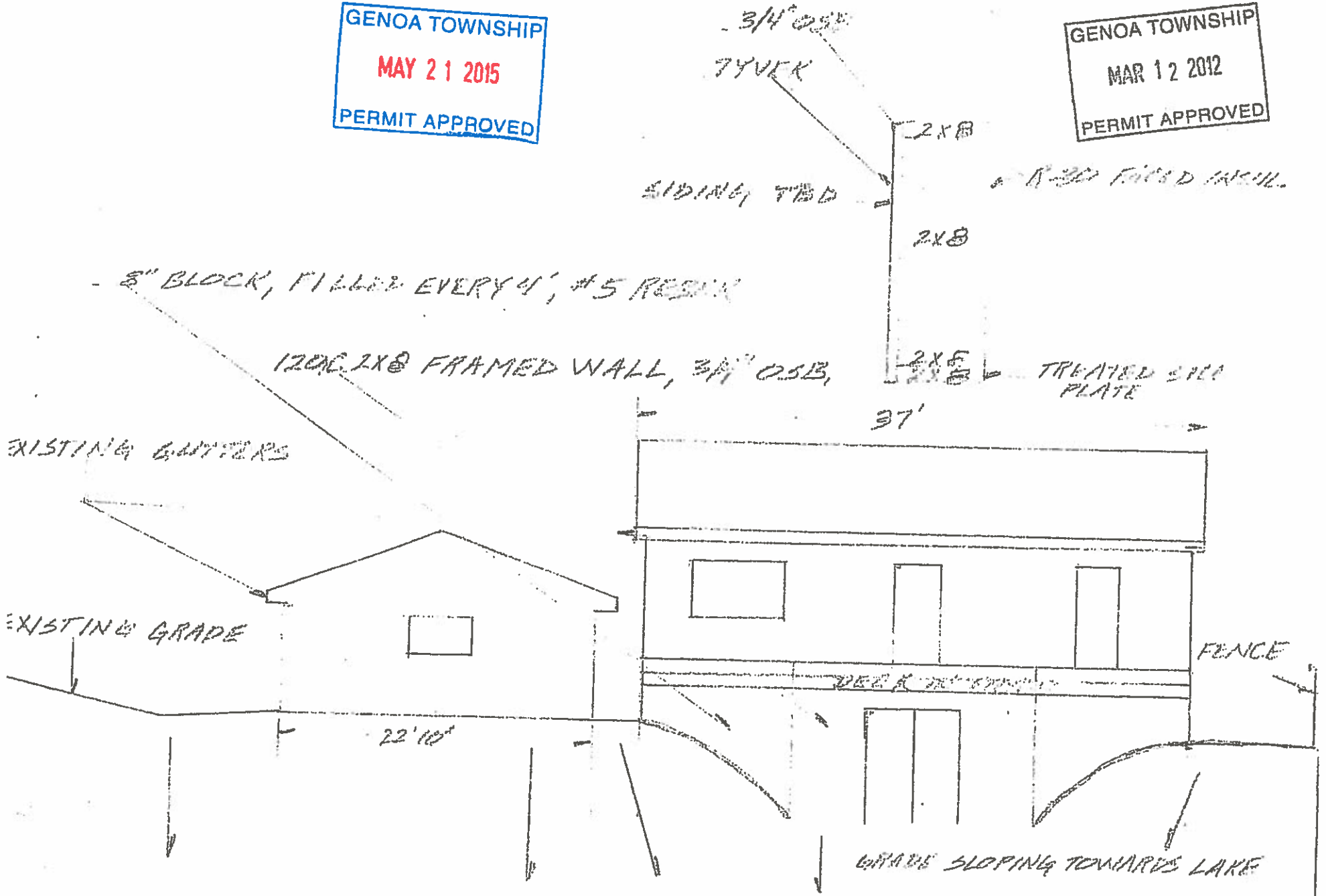
GENOA TOWNSHIP ASSESSING DEPARTMENT
REQUIRED LAND USE INFORMATION FORM
 2911 Dorr Road ❖ Brighton, Michigan 48116
 Phone: (810) 227-5225 ❖ Fax: (810) 227-3420 ❖ www.genoa.org

1. PROJECT INFORMATION									
Site Address: 1330 Clark Lk. Rd.			Parcel I.D. No.: 4711-12-400-009				Zoning: LRR		
2. TYPE OF IMPROVEMENT									
A. <u>Principal Structure</u> <input type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family <input checked="" type="checkbox"/> Addition to Existing Building									
B. <u>Accessory Structure</u> <input type="checkbox"/> Fence <input type="checkbox"/> Deck <input type="checkbox"/> Detached Accessory (garage, shed, pole barn) <input type="checkbox"/> Sunroom <input type="checkbox"/> Pool/Hot Tub: <input type="checkbox"/> Above ground <input type="checkbox"/> In ground									
C. Total Project Cost: \$ <u>14,000</u>									
3. SELECTED CHARACTERISTICS OF IMPROVEMENT									
Building Style		<input checked="" type="checkbox"/> Ranch		<input type="checkbox"/> 1.5 Story		<input type="checkbox"/> 2 Story			
Frame		<input checked="" type="checkbox"/> Masonry, Wall Bearing		<input type="checkbox"/> Wood Frame		<input type="checkbox"/> Structural Steel		<input type="checkbox"/> Reinforced Concrete	
Exterior		<input type="checkbox"/> Brick		<input type="checkbox"/> Stone		<input checked="" type="checkbox"/> Siding		<input type="checkbox"/> Wood	
Foundation		<input checked="" type="checkbox"/> Basement		<input type="checkbox"/> Crawl		<input type="checkbox"/> Slab			
Area		New Building Square Footage:				Addition Square Footage: 661			
Bedrooms		No. of: 0							
Bathrooms		No. of Full: 0		No. of Half: 0		No. of Sinks: 1		No. of Showers: 0	
Basement		Walkout: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Finished: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Finished Square Footage:		Basement Baths:	No. of Full: 0		No. of Half: 0
Central Air		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				Fire Suppression:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fireplace		<input type="checkbox"/> Direct Vent		<input type="checkbox"/> Pre-fab		<input checked="" type="checkbox"/> Other:			
Garage		<input type="checkbox"/> Attached <input type="checkbox"/> Detached		Height: feet		Depth: feet		Width: feet	
Inground Pool		<input type="checkbox"/> Fiberglass		<input type="checkbox"/> Gunite		<input type="checkbox"/> Plastic			
Driveway		<input type="checkbox"/> Gravel <input type="checkbox"/> Asphalt		<input type="checkbox"/> Concrete		<input type="checkbox"/> Brick		<input type="checkbox"/> Other _____	
Accessory Structure		Height: feet	Depth: feet	Width: feet	Flooring:	<input type="checkbox"/> Concrete	<input type="checkbox"/> Dirt	<input type="checkbox"/> Wood	
4. APPLICANT SIGNATURE (below)									
I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.									
Signature of Applicant: <i>Salores M. Malysz</i>					Date: <i>5-15-2015</i>				

1330 CLARK LKRD
1/8" = 1'

GENOA TOWNSHIP
MAY 21 2015
PERMIT APPROVED

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED

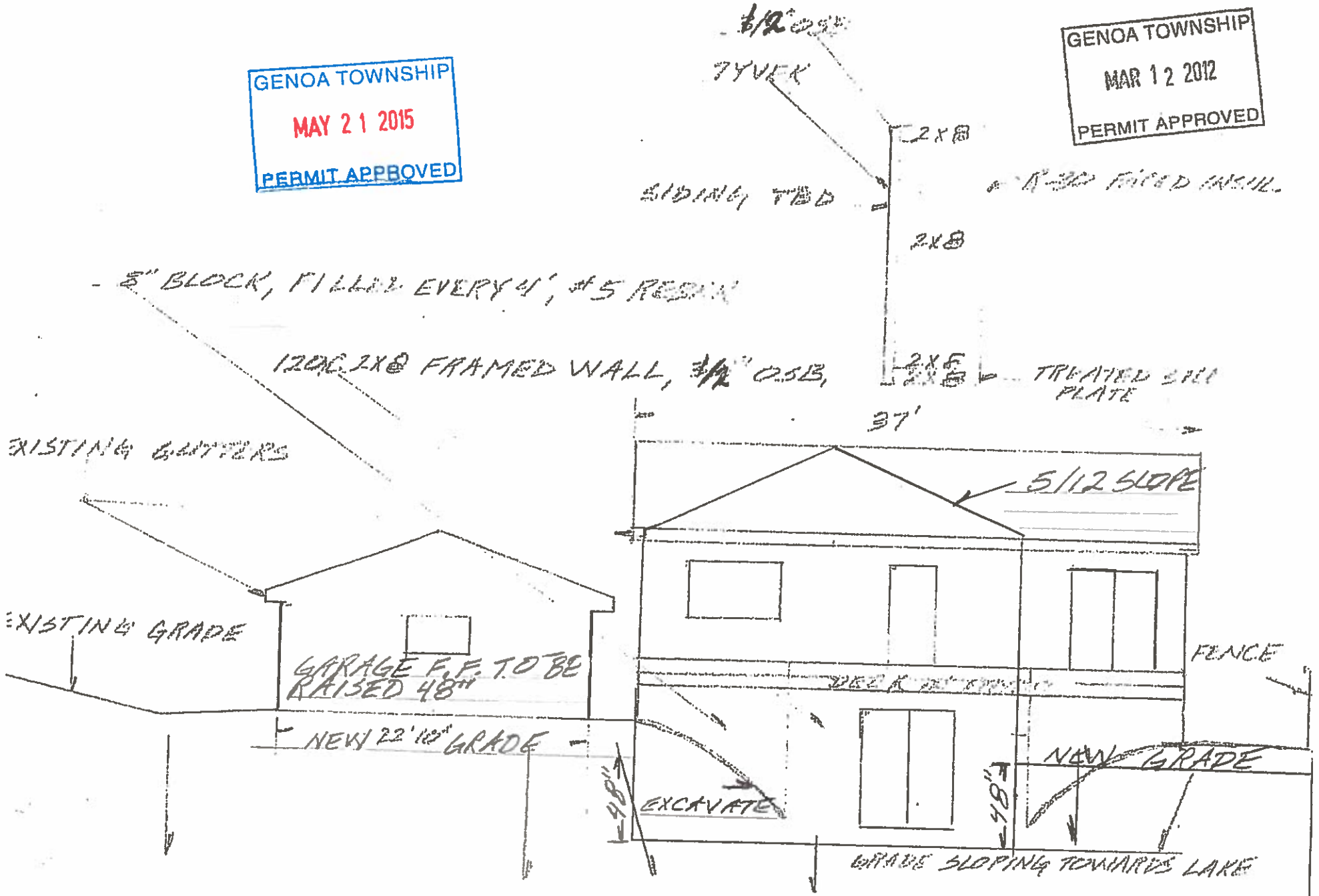


UPDATED 5-15-2015

1330 CLARK LKRD
1/8" = 1'

GENOA TOWNSHIP
MAY 21 2015
PERMIT APPROVED

GENOA TOWNSHIP
MAR 12 2012
PERMIT APPROVED



EXISTING STRUCTURE 36'

8 COURSES OF 8" X 8" X 16"
BLOCK, GROUTED 4' W/ #5 REBAR
TOP COURSE GROUTED A.A. W/ SILL ANCHORS
BLOCK PINNED TO EXISTING
FOUNDATION

10'

12'

12"
PIER
FOR
DECK
BEAM

24'

16" WIDE SPREAD
FOOTINGS W/ #5
REBAR

Living room

BLOCK
PEA STONE @ WALL BAS
PARGED & TARED
4" DRAIN @ BLOCK BAS
1/4" FOAM SILL SEAL
4" CEMENT FLOOR
6 MIL FLEET BARRIER

42" DEEP X 12" WIDE
TRENCH FOOTING

2" FOAM ON EXTERIOR
OF FOOTING

6"

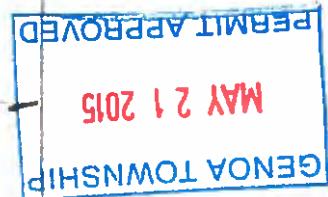
6"

24'

4'

1330 CLARK LN

2 COURSES OF 8" X 8" X 16"
BLOCK ON WALKOUT WALL



EXISTING STRUCTURE

2x6" EXTERIOR WALLS

2' O.C.

18" FLOOR TRUSSES

R-19 INS.

3/4" 5 PLY T&G 4x8

6' PRIVACY FENCE

1/2" DRYWALL

BASEMENT*

2x8 TREATED DECK JOISTS W/ 5/4 CEDAR DECK & 42" 6" O.C. HAND RAIL

2x8" KNEEWALLS

2C 2x12" FOR BEAM

8" FIBER GLASS INS.

ROOF*

2' O.C. SCISSOR TRUSSES

1/2" O.S.B. 4'x8'

PLYWOOD

6" SPRAY FOAM INS.

4x8 T&G

10" PIERS, CONCRETE

GENOA TOWNSHIP

MAY 21 2015

PERMIT APPROVED

6" DRYWALL

DECK

12" PIERS

1/4" PER FOOT 1330 CLARK LK.

36" DOOR

36" DOOR

36" DOOR

2x8 F.J.

BREEZEWAY

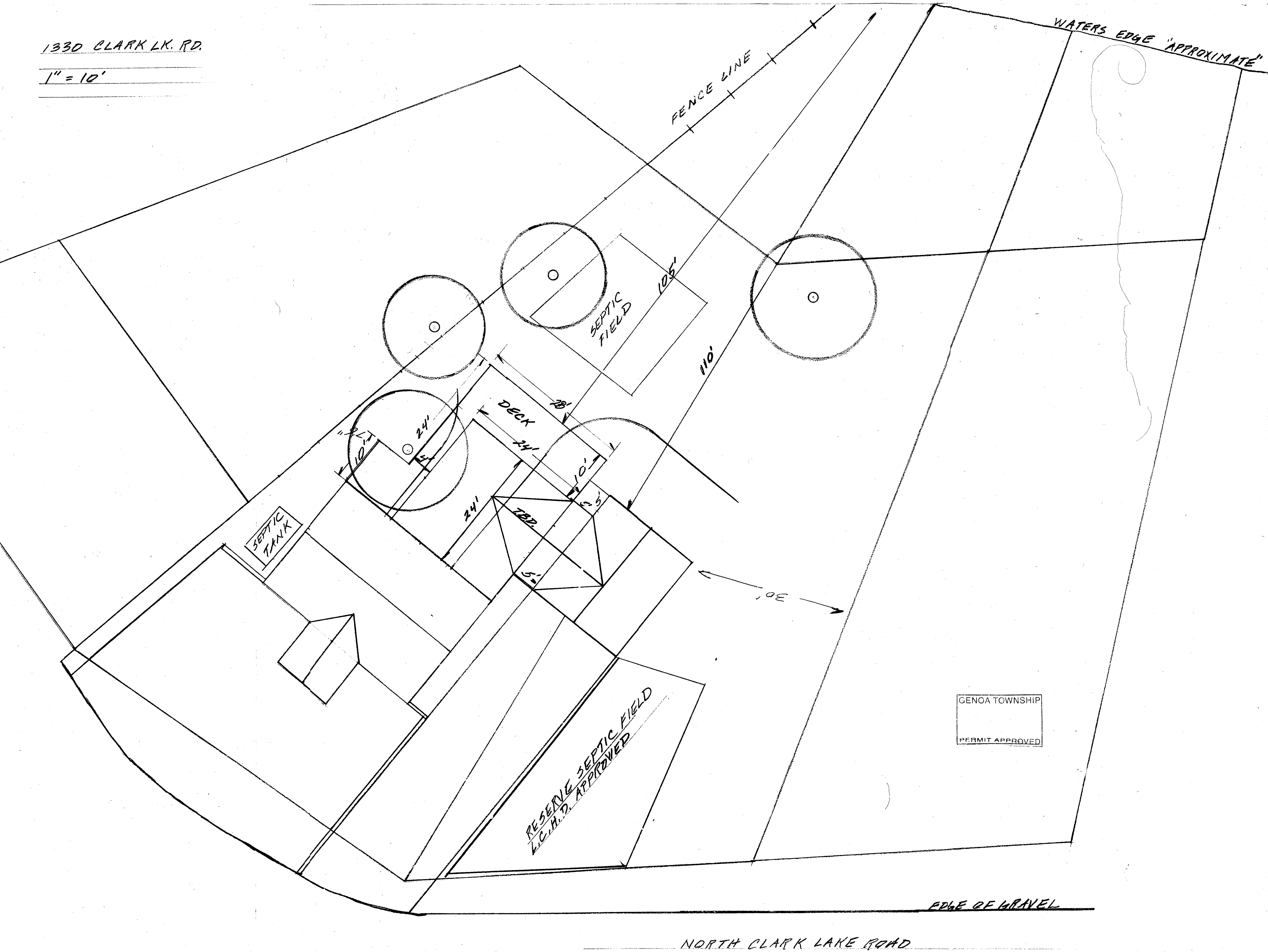
RETAINING WALL 8" BLOCK

WINDBREAK

RETAINING WALL 8" BLOCK

1330 CLARK LK. RD.

1" = 10'





Genoa Township

2911 Dorr Road, Brighton, Michigan 48116
 Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

Planning & Zoning

P18-205

Issued: 11/20/2018
 Expires: 11/20/2019

Residential Land Use
Residential Addition

LOCATION	OWNER	APPLICANT
1330 CLARK LAKE RD 4711-12-400-009 Zoning: LRR	MALYSZ DOLORES 18297 UNIVERSITY PK. DR. LIVONIA MI 48152 Phone: E-mail:	MALYSZ DOLORES 18297 UNIVERSITY PK. DR. LIVONIA MI 48152 Phone: E-mail:

Work Description: garage and breezeway
 landscape, sprinkler system and retaining walls

PROJECT INFORMATION:

Front Setback: 54	Side Setback: 32	Water/Wetland:
Least Side Setback: 8.6	Rear Setback: 80	Distance from Principal Structure:
Construction Value: \$10,000.00	Height:	Total Square Feet: 672
ZBA Approval: n/a		

Comments/ Conditions: **Approval is only for the addition of garage with breezeway and new retaining walls with the height as indicated on the site plan. Proposed retaining walls are approved since they are outside of the required waterfront yard. Retaining wall in front is an existing non-conforming wall.**

Judicious effort shall be made to complete this project within the 12 month time frame for which the permit is valid. If construction is not completed within 12 months, application for a new land use permit will be required.

The site must be brought into compliance with Township Ordinances and approvals prior to issuance of a Certificate of Occupancy. This includes all illegal outdoor storage on this site and on the adjacent parcel under common ownership.

Per ZBA approval: An as-built drawing will be required to be submitted to Township prior to Certificate of Occupancy for the garage. Drainage must be maintained on-site.

Amended 4-11-19: The owner has a year from 4-11-19 to complete the construction of the addition. AR

Amended 9-21-19: The owner has a year from amended date of 9-21-19. AR

Amended 8-14-20: The owner has until December 23, 2020 to complete the project or apply for a new land use permit.

Amended 12-21-20: Due to COVID-19 Issues, the applicant has until March 23, 2020 to complete the project including submitting as-built per ZBA approval and obtaining Certificate of Occupancy. If applicant can not meet the March 23, 2020, a new land use permit is required.

Permit Item	Permit Fee	Fee Basis	Item Total
Residential New Construction/Addition	Permit Fee	1.00	75.00

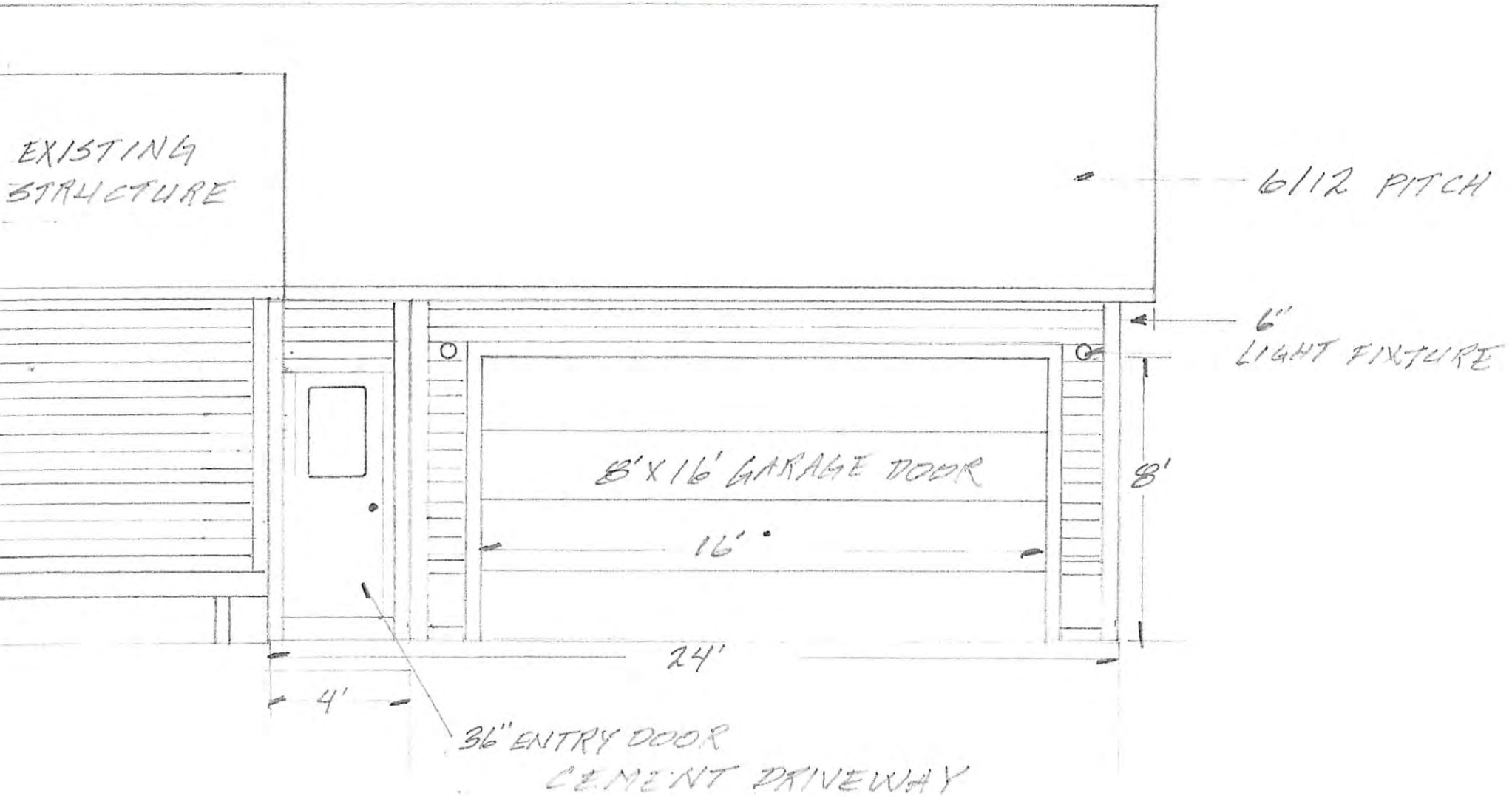
Fee Total:	\$75.00
Amount Paid:	\$75.00
Balance Due:	\$0.00

Issuance of this permit confirms the applicants certification that all information and data attached to and made part of this permit are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this permit as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This permit authorizes on-site inspections by an official representative of Genoa Charter Township. This permit is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.

1330 CLARK LK. RD.
NORTH WALL 1/4" = 1'
ATTACH TO EXISTING
STRUCTURE
FIELD ADJUSTMENTS
AS NEEDED.

GENOA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

See Conditions



See Conditions

GENOA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

1500 ...
WEST WALL, 14'±1'
GARAGE WALLS AND
ELEVATIONS TO MATCH
EXISTING STRUCTURE;
FIELD ADJUSTMENTS AS
NEEDED.

1x6 P.V.C. TRIM
6/12 PITCH

1x6 P.V.C.
GUTTERS &
DOWNSPOUTS
@ RAKE EDGES

VINYL SIDING

HOUSE
WRAP
1/2" OSB
SHEATHING

48" X 36"

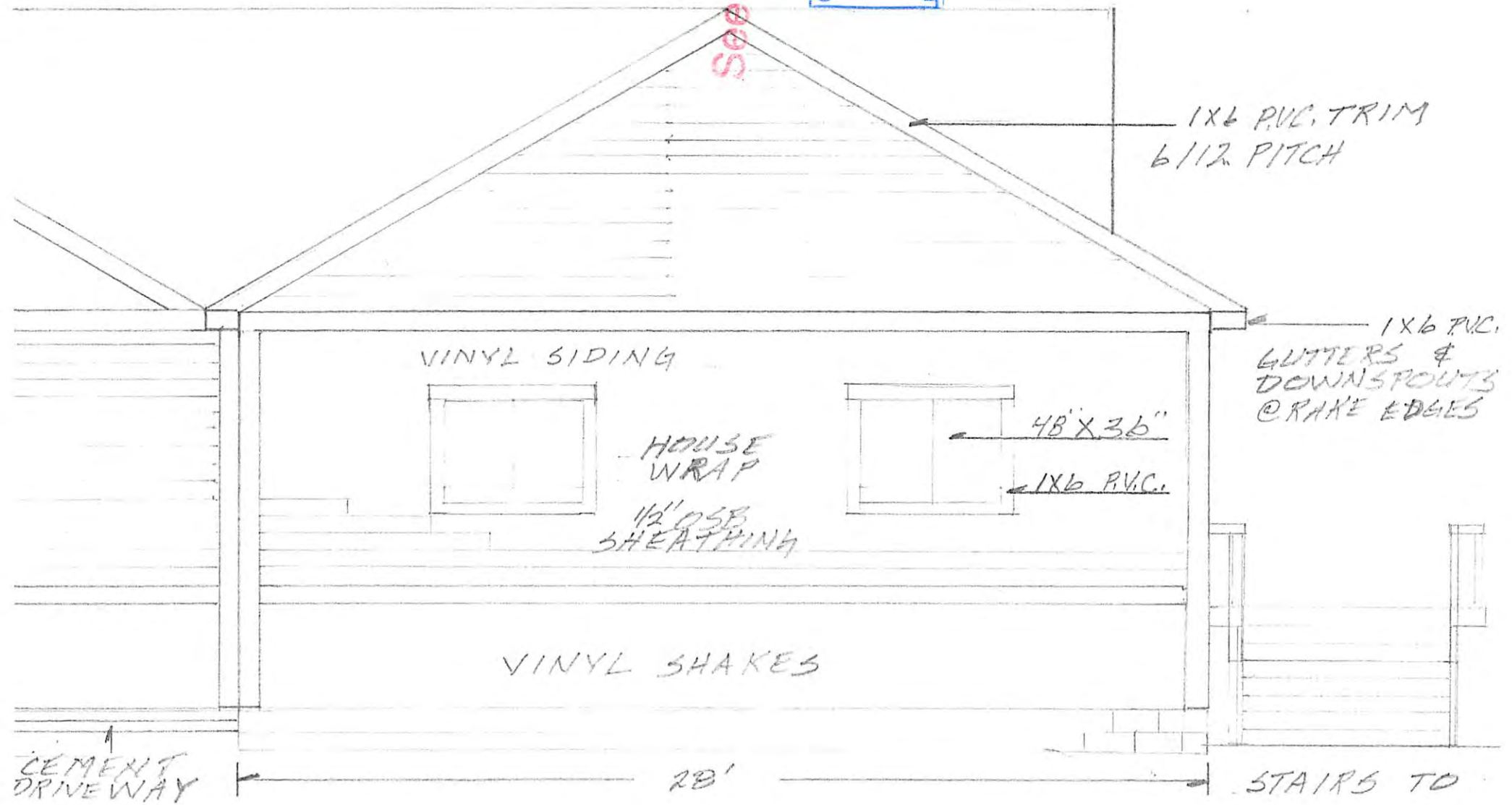
1x6 P.V.C.

VINYL SHAKES

CEMENT
DRIVEWAY

28'

STAIRS TO
GRADE.



1330 CLARK LK. RD.
SOUTH WALL

GENDA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

See Conditions

TRUSSES 24" O.C.
2x8 16" O.C.

1/2" O.S.B.
45lb. FELT
W&I 3 ROLLS WIDE
IN VALLEY'S BRAKES
SHINGLES TO MATCH

VINYL SIDED

FIRE WALL

HOUSE WRAP

2x6 16" O.C.
1/2" O.S.B.

36"

DECK

STONE
PLANTERS

BLOCK WALLS

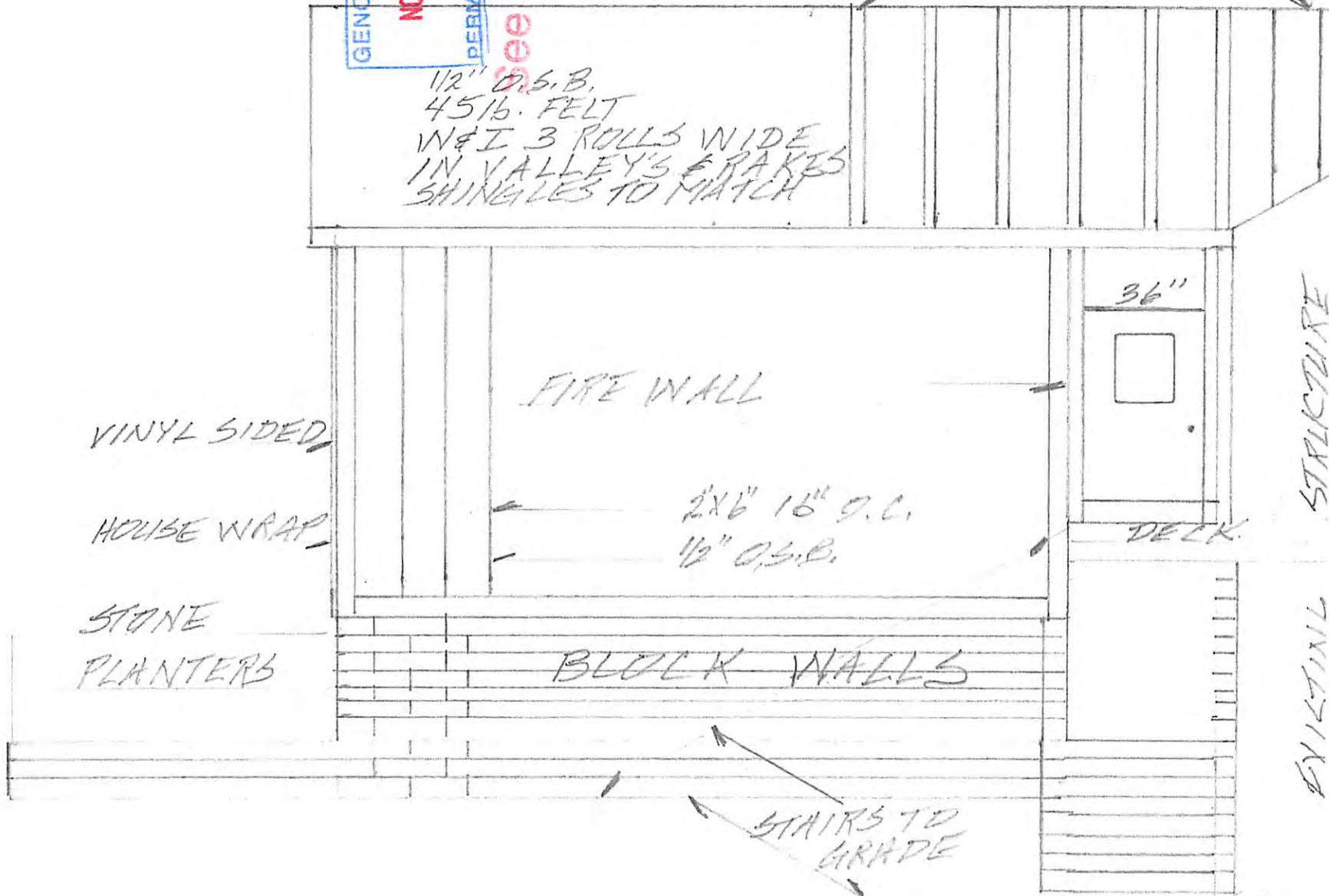
GRADE

STAIRS TO
GRADE

STONE RETAINING WALL

GRADE

EXISTING STRUCTURE



DECK

20

GENOA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

UNHEATED BREEZEWAY

- 2"X16" TREATED SILL PLATE
- 3/8" CEMENT ANCHORS
- 3/4" PLYWOOD
- 2"X8" JOISTS
- ELECTRICAL=MINIMUM REQUIREMENTS

FIRE WALLS

2"X12" TREADS

28'

16'

2'

24'

EXISTING STRUCTURE

3'

3'

3'

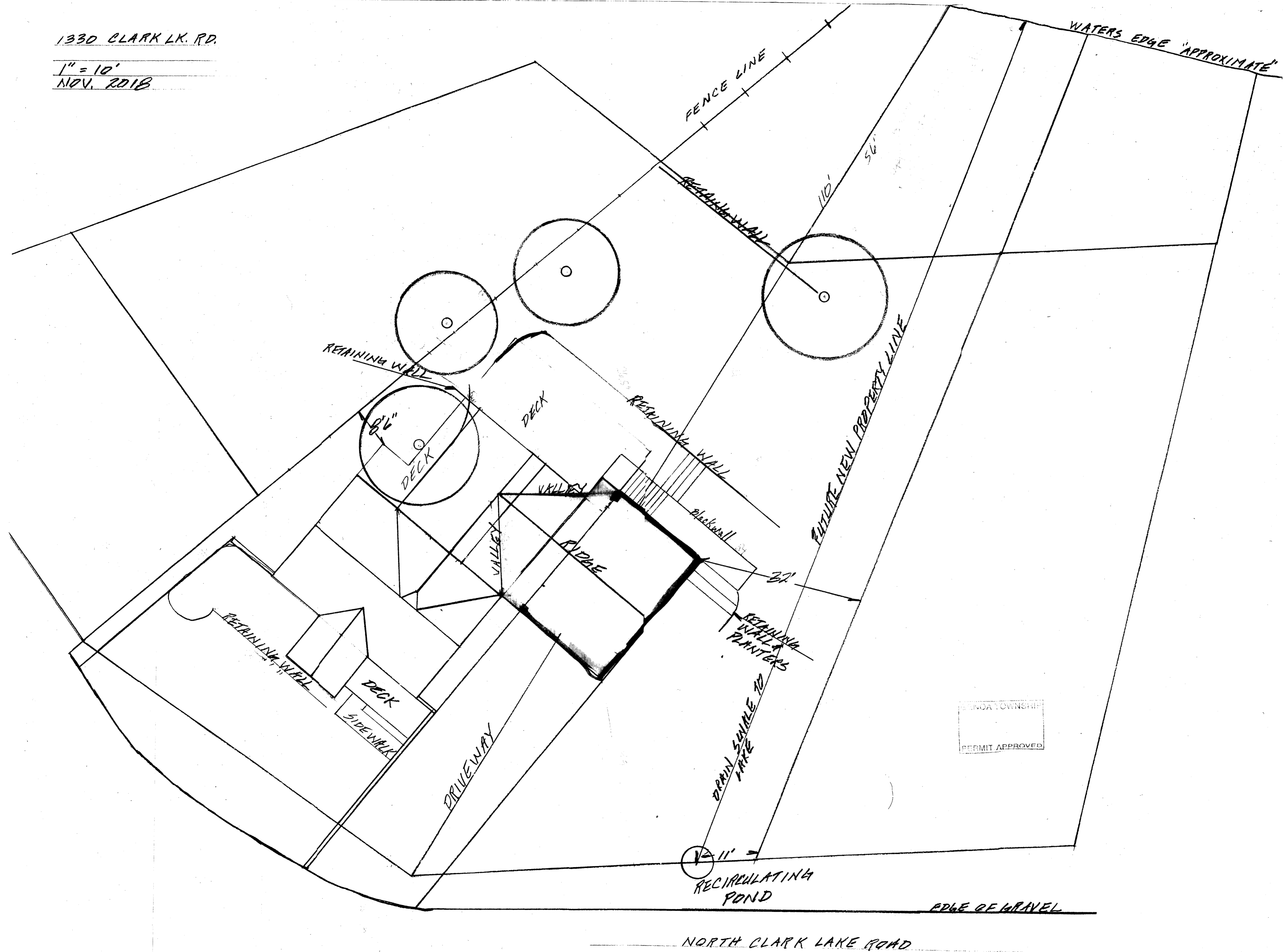
2'

See Conditions

CHRIS MALY 586-292-6688
1330 CHARLAK LN. RD. BRIGHTON, MI 48114

1330 CLARK LK. RD.

1" = 10'
NOV. 2018





Genoa Township

2911 Dorr Road, Brighton, Michigan 48116
 Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

Planning & Zoning

P21-050

Issued: 04/19/2021
 Expires: 04/19/2022

Residential Land Use
Residential Addition

LOCATION	OWNER	APPLICANT
1330 CLARK LAKE RD 4711-12-400-009 Zoning: LRR	MALYSZ DOLORES 18297 UNIVERSITY PK. DR. LIVONIA MI 48152 Phone: E-mail:	MALYSZ DOLORES 18297 UNIVERSITY PK. DR. LIVONIA MI 48152 Phone: E-mail:

Work Description: Renewal of land use permit for Garage and breezeway

PROJECT INFORMATION:

Front Setback: 54	Side Setback: 32	Water/Wetland:
Least Side Setback: 8.6	Rear Setback: 80	Distance from Principal Structure:
Construction Value: \$10,000.00	Height:	Total Square Feet: 672
ZBA Approval: n/a		

**Comments/
Conditions:**

Judicious effort shall be made to complete this project by August 2021 for which the permit is valid. Applicant will need to obtain Township approval if additional time is required.

Approval is only for the addition of garage with breezeway and new retaining walls with the height as indicated on the site plan. Proposed retaining walls are approved since they are outside of the required waterfront yard. Retaining wall in front is an existing non-conforming wall.

The site must be brought into compliance with Township Ordinances and approvals prior to issuance of a Certificate of Occupancy. This includes all illegal outdoor storage on this site and on the adjacent parcel under common ownership. Zoning Inspection is required prior to Certificate of Occupancy.

Will be getting a permit from EGLE for seawall

Per ZBA approval: An as-built drawing will be required to be submitted to Township prior to Certificate of Occupancy for the garage. Drainage must be maintained on-site.

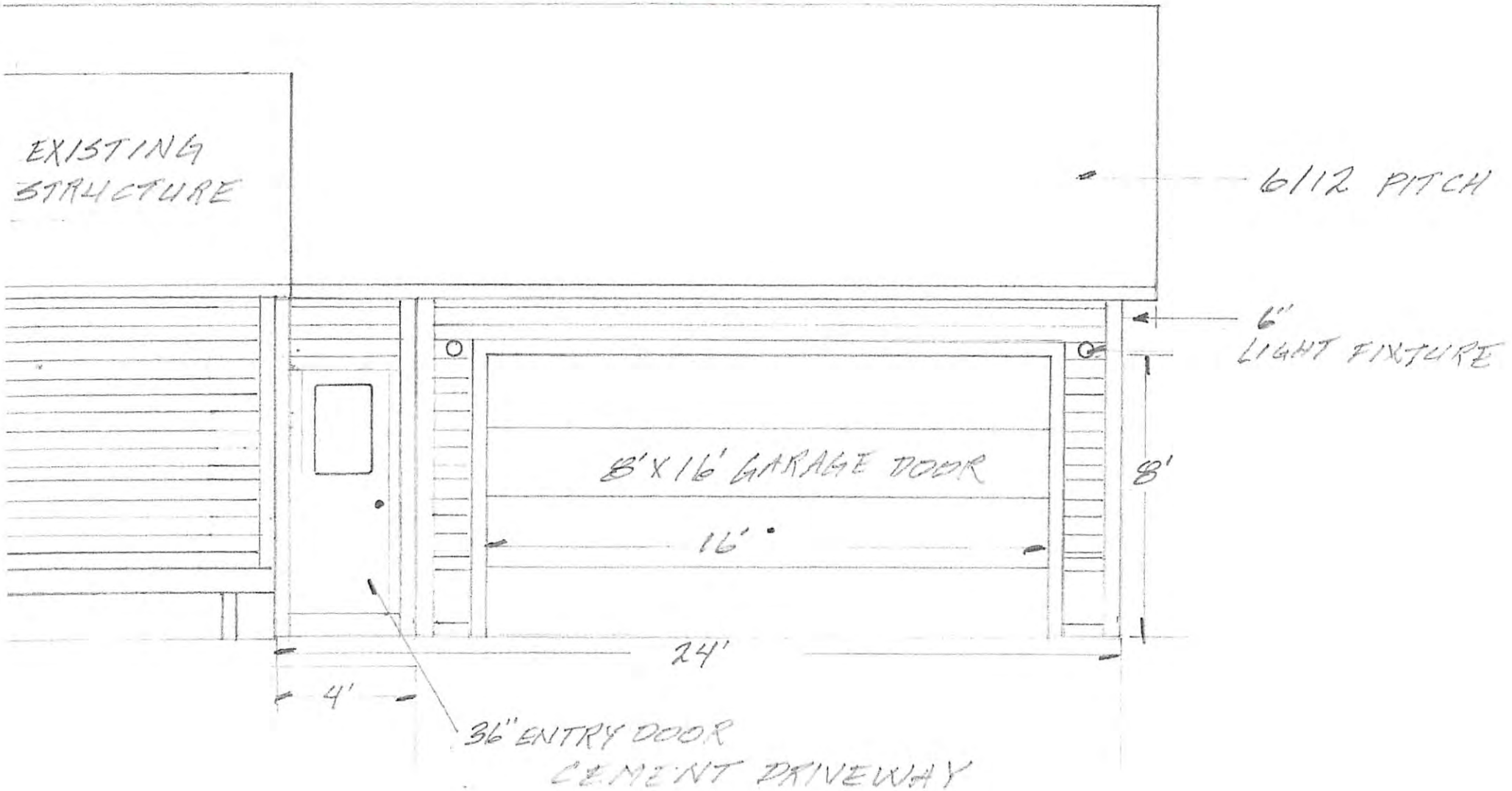
Permit Item	Permit Fee	Fee Basis	Item Total
Residential New Construction/Addition	Permit Fee	1.00	75.00
		Fee Total:	\$75.00
		Amount Paid:	\$75.00
		Balance Due:	\$0.00

Issuance of this permit confirms the applicants certification that all information and data attached to and made part of this permit are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this permit as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This permit authorizes on-site inspections by an official representative of Genoa Charter Township. This permit is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.

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NOV 20 2018
PERMIT APPROVED

See Conditions



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NOV 20 2018
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FIRE WALL

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DECK

BLOCK WALLS

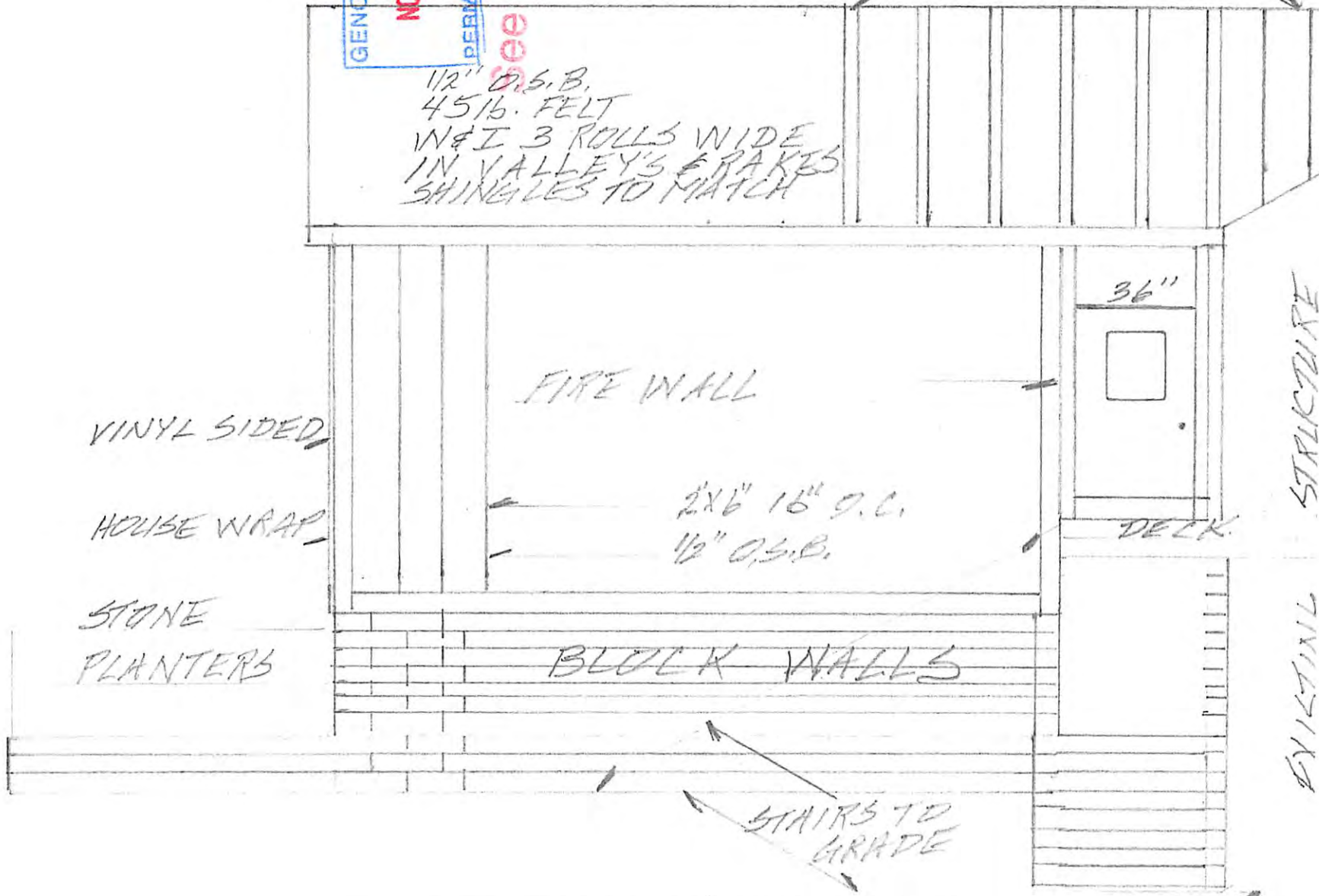
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STONE RETAINING WALL

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EXISTING STRUCTURE



See Conditions

GENOA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

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GUTTERS &
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@ RAKE EDGES

VINYL SIDING

HOUSE
WRAP
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SHEATHING

48" X 36"

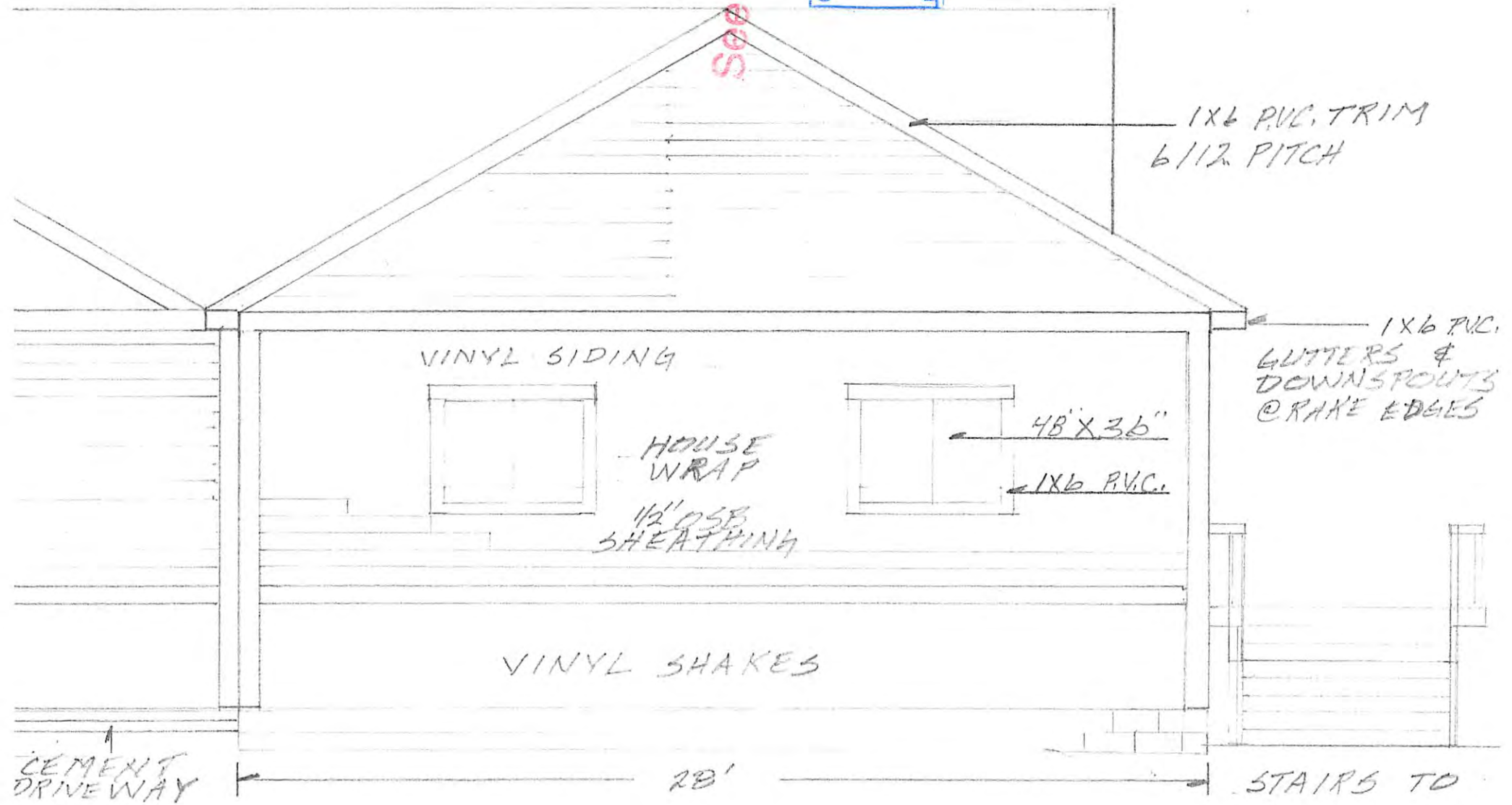
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GENOA TOWNSHIP
NOV 20 2018
PERMIT APPROVED

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3'

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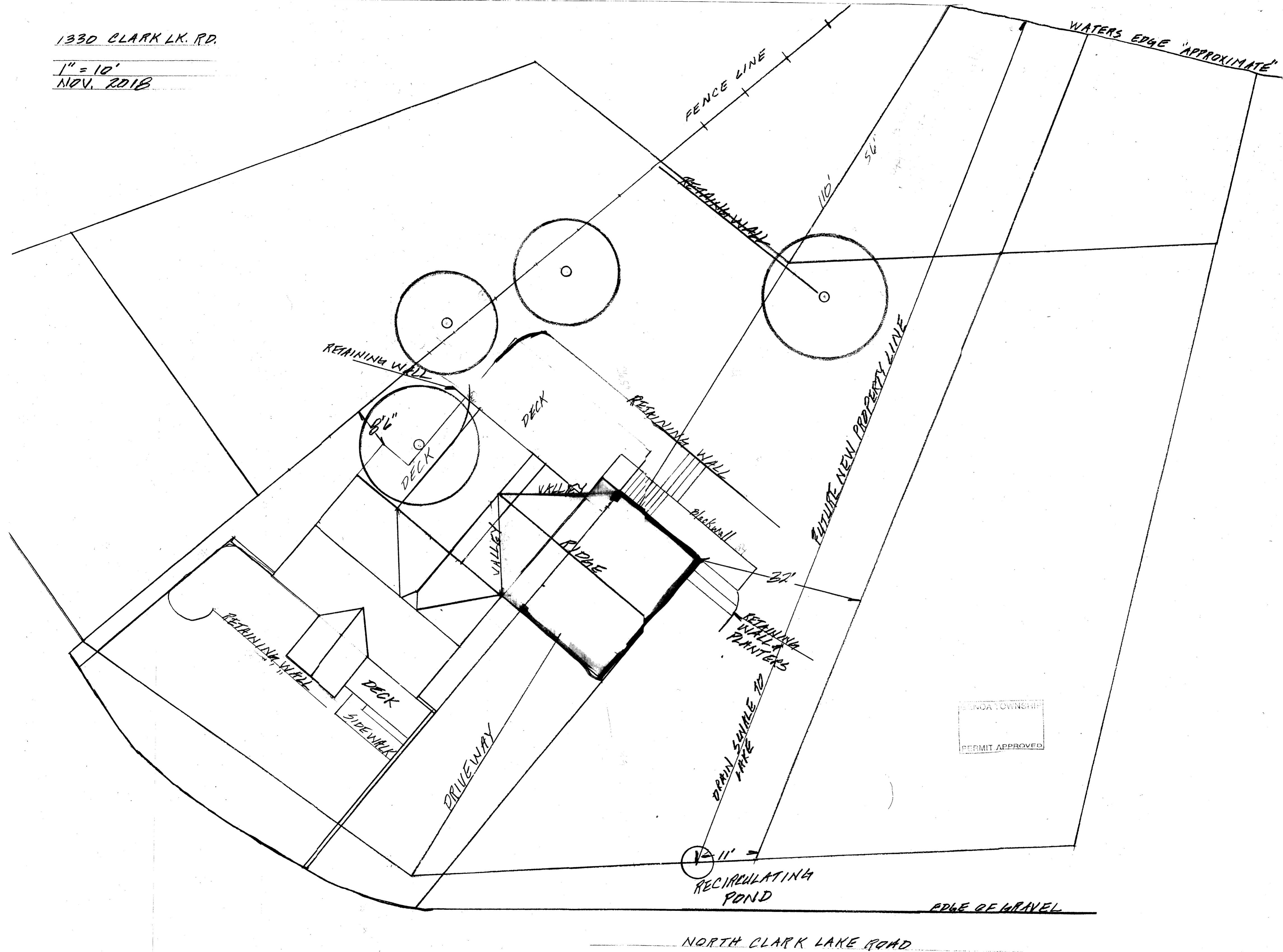
2'

See Conditions

CHRIS MALY 586-292-6688
1330 CHARLAK LN. RD. BRIGHTON, MI 48114

1330 CLARK LK. RD.

1" = 10'
NOV. 2018



WINDA TOWNSHIP
PERMIT APPROVED

NORTH CLARK LAKE ROAD



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-22

Meeting Date: July 23
~~6/18/24~~ in Boardroom
at 6:30pm

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Doug & Jenifer Kern

Email: dougkern@msn.com:jenkern11@gmail.com

Property Address: 977 Sunrise Park St.

Phone: 810-355-5286 (D) 810-623-8897 (J)

Present Zoning: LLR (Lake Resort Residential)

Tax Code: 4711-09-201-043

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. **Variance requested/intended property modifications:** Demo/Rebuild Cottage with addition of a 2-car garage.

Requesting front yard setback consistent with existing home setbacks. The new home will be within the

waterfront setback guidelines.

Request for house to be 16.1 feet from front yard property line.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that **all** of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The proposed front yard setback is the same as existing home keeping in line with neighbor's front yard setbacks.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Due to topography and size of lot, proposed placement of home is the least amount necessary for a variance. It is not Self-created.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Keeping with front yard setbacks it will allow a better turn radius to garage from the driveway that is on a hill and it will still accommodate visitor parking.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This demo/remodel will allow construction of a new home with higher value than the current cottage. The home will be Structurally sound and code compliant in safety features.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 6/18/2024

Signature: _____





2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: July 9, 2024
RE: ZBA 24-22

File Number: ZBA#24-22

Site Address: 977 Sunrise Park Drive

Parcel Number: 4711-09-201-043

Parcel Size: 0.197 acres

Applicant: Doug and Jenifer Kern, 589 Oak Ridge Drive, Brighton

Property Owner: Same as applicant

Information Submitted: Application, site plan, building plans

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard setback variance to demolish the existing home and construct a new home.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday July 7, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, there is no date built for the existing home.
- See Record Cards.
- The property is serviced by public sewer and a private well.
- The parcel does not require a grinder pump. Utility Dept. approval is not required.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The applicant is proposing to construct a new home. In order to construct the proposed home, the applicant is required to demolish the existing home and request a front yard setback. The existing home encroaches into the front yard setback however the proposed location of the new home with attached garage does encroach two additional feet than the existing home.

The applicant has indicated that the existing detached garage will be removed. The proposed home does not require a height variance.

Applicant has consulted with staff to determine the least amount necessary for a variance request.

Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

Section 03.04.01: Residential Schedule of Area and Bulk Requirements.

Required Front Yard Setback: 35'

Proposed Front Yard Setback: 14'

Proposed Variance Amount: 21'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** – Strict compliance with the front yard setback would prevent the applicant from constructing the new home. There are other homes in the vicinity that have reduced front yard setbacks. Granting of this variance would do substantial justice to the applicant and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the topography of the lot and the narrow building envelope. The variance request appears to be the least amount necessary and provides for adequate parking on the lot. The variance request is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval:

1. Structure must be guttered with downspouts.
2. Any retaining walls must comply with Article 11.04.03 (J) Retaining walls section of the Zoning Ordinance.
3. Building height cannot exceed 25 feet.
4. Detached garage shall be removed.



RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

RIDGE DR

11-09-201-133
940 SUNRISE PARK DR

11-09-201-134
948 SUNRISE PARK DR

11-09-201-135
956 SUNRISE PARK DR

11-09-201-136
964 SUNRISE PARK DR

11-09-201-137
972 SUNRISE PARK DR

11-09-201-138
980 SUNRISE PARK DR

11-09-201-139
0 VACANT

11-09-201-238
0 VACANT

11-09-201-043
935 SUNRISE PARK DR

11-09-201-048
941 SUNRISE PARK DR

11-09-201-046
959 SUNRISE PARK DR

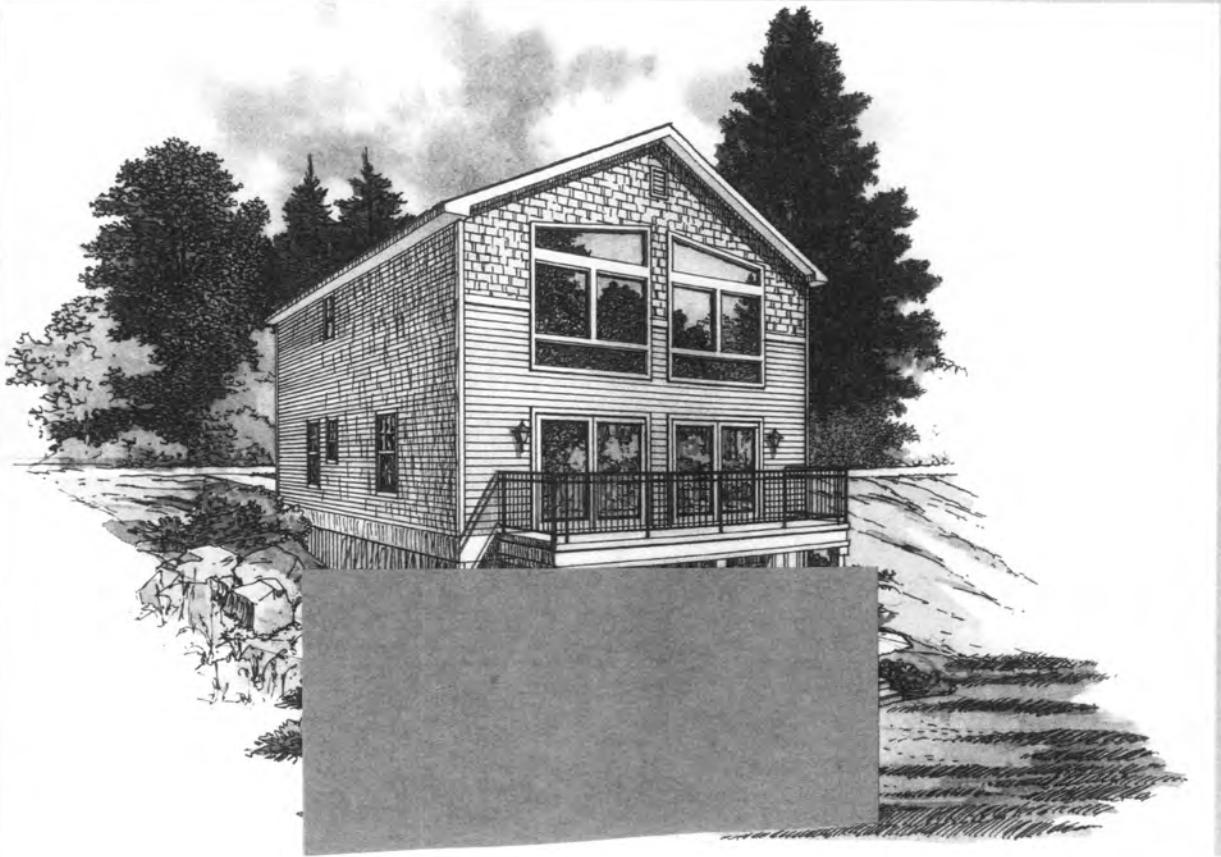
11-09-201-045
965 SUNRISE PARK DR

11-09-201-043
977 SUNRISE PARK DR

11-09-201-041
989 SUNRISE PARK DR

11-09-201-040
0 VACANT

11-09-400-016
0



Northwood
1,766 sq. ft.



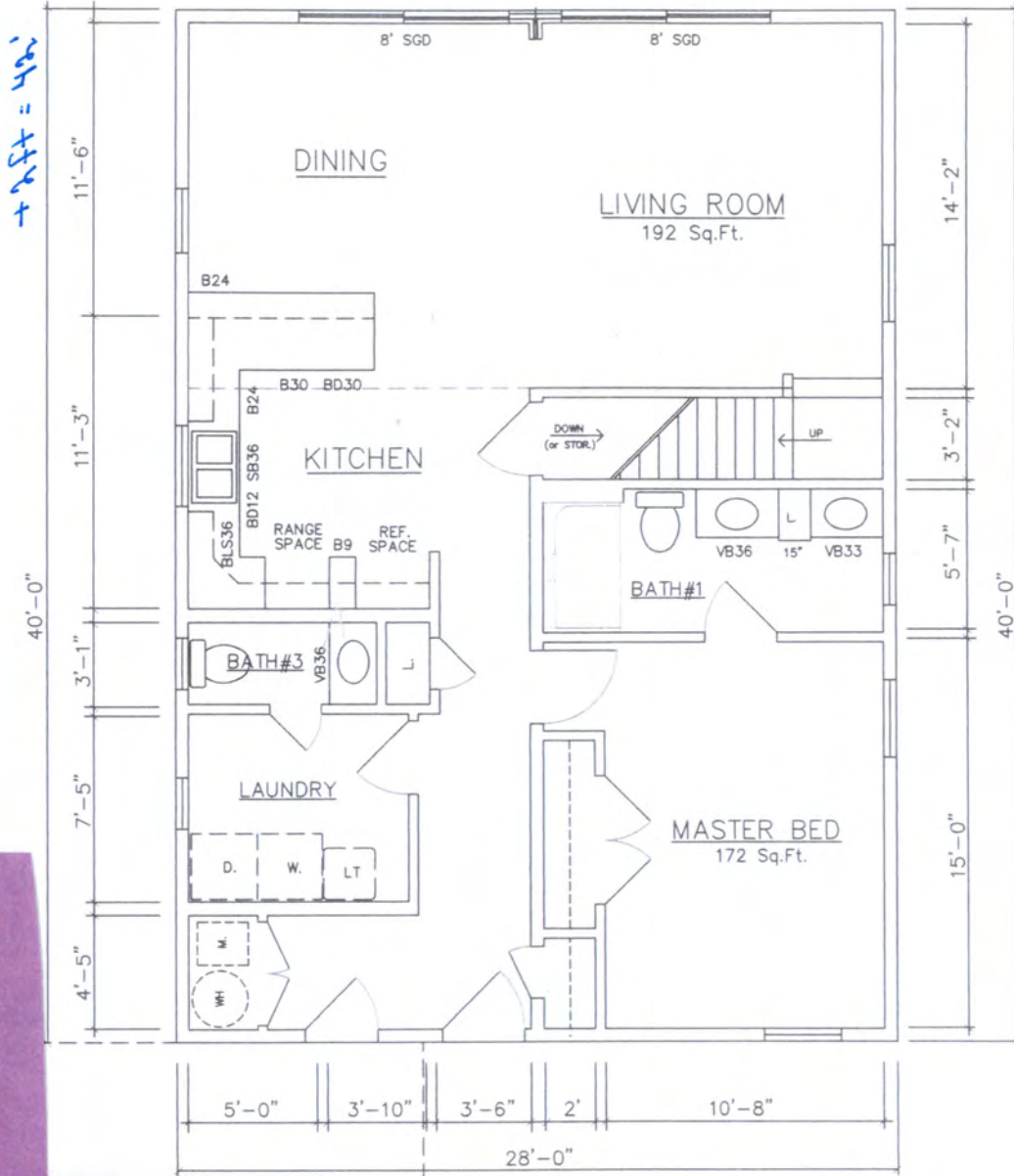
General Housing Corporation
Custom Crafted Construction



Northwood Model

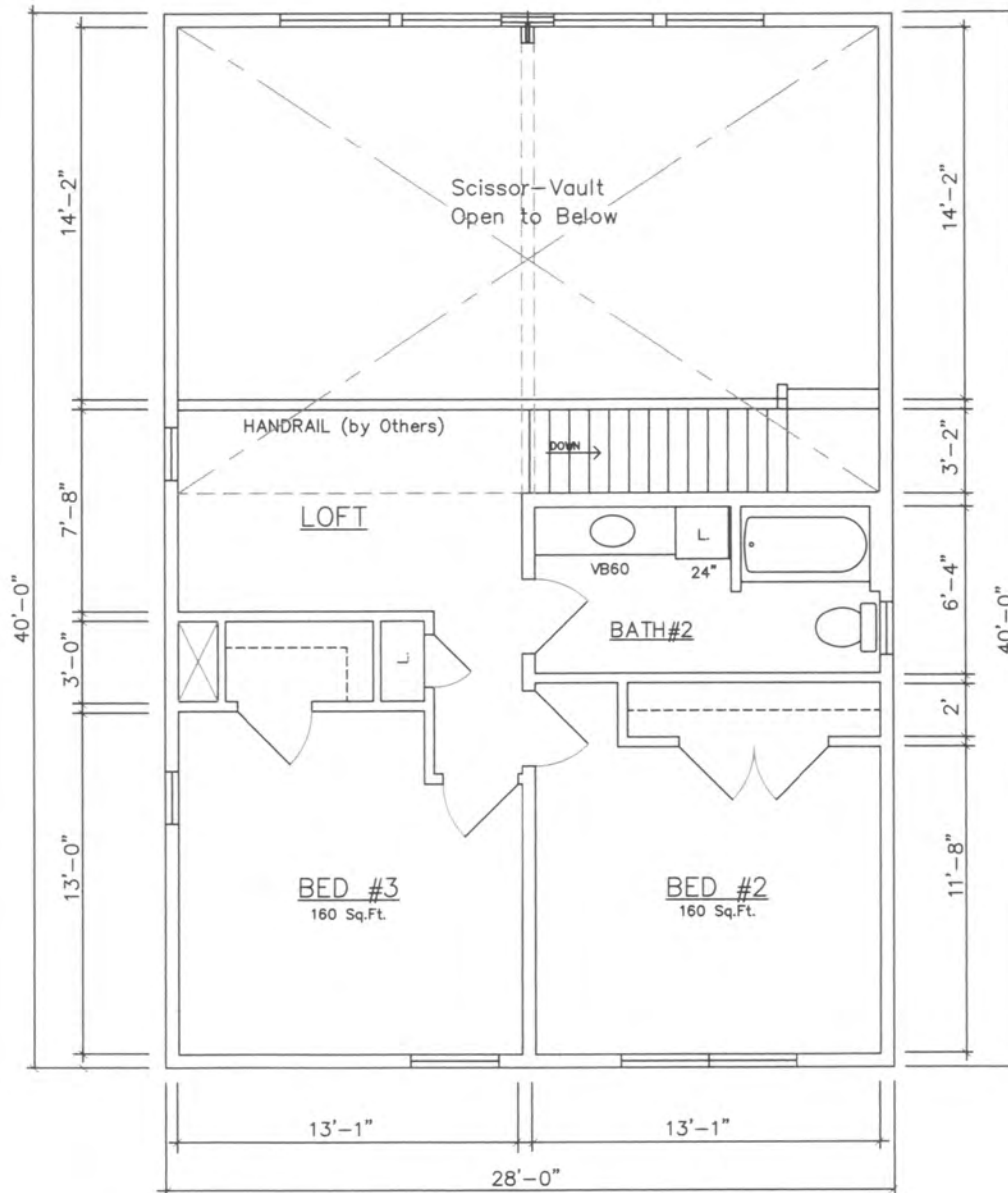
1,766 sq. ft. Total

GARAGE



1st Floor (1,120 sq. ft.) – Northwood 14008 (Crawlspace) 14010 (Basement)

Northwood Model



2nd Floor (646 sq. ft.) - Northwood

TOPOGRAPHICAL SURVEY

Prepared For: JENNIFER KERN

Legal Description:

Lots 42 and 43, SUNRISE PARK, a subdivision of part of the Northeast 1/4 of the Southeast 1/4 of Section 9, and the Southeast 1/4 of Section 4, T 2 N, R 5 E, Genoa Township, Livingston County, Michigan

PARCEL ID:
11-09-201-043

ZONING:

PROPERTY IS ZONED: LRR
(LAKESHORE RESORT RESIDENTIAL)

SETBACKS:

FRONT: = 35 feet
SIDES: = 10 feet MIN./20 feet TOTAL
WATER: = 40 feet

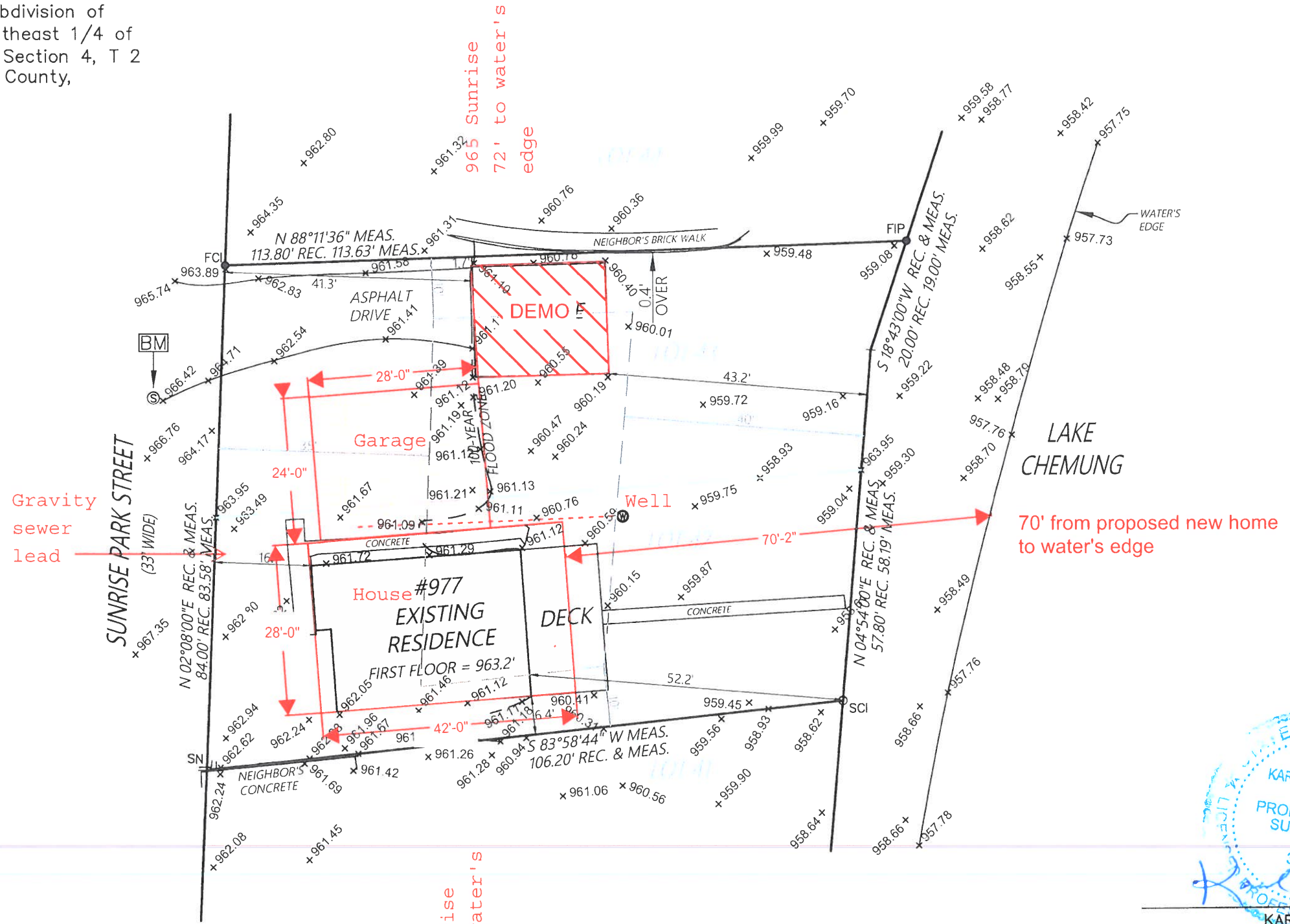
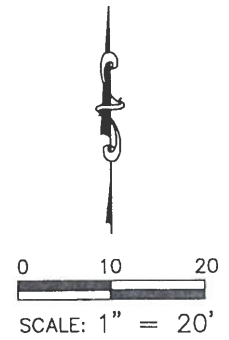
NOTE:

NO TITLEWORK WAS SUPPLIED BY CLIENT THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.

ALL ELEVATIONS ARE SHOWN IN NAVD 1988 DATUM

FEMA 100-Year Base Flood Elevation = 961.1' (NAVD 1988)

THE SITE BENCH MARK IS RIM IN MANHOLE COVER LOCATED AT NORTH WEST CORNER OF LOT 43. ELEVATION = 966.57' (NAVD 1988)



70' from proposed new home to water's edge

LEGEND

- - IRON SET
- - IRON FOUND
- ⊙ - FOUND CONC MONUMENT
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIP - FOUND IRON PIPE
- SCI - SET CAPPED IRON
- SN - SET NAIL IN WALL
- POB - POINT OF BEGINNING



KAROL L. GROVE
LICENSED PROFESSIONAL SURVEYOR #39075

ALPINE 11590 HIGHLAND ROAD, SUITE #100
Land Surveying, Inc. HARTLAND, MI 48353
PHONE: 810-207-8050

FIELD: KG	DATE: JULY 20, 2022
DRAWN: DJS	JOB NO: 22-5861
CHECKED: KG	SHEET: 1 OF 1
REVISION:	

Prepared For: JENNIFER KERN

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Legal Description:

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PARCEL ID:
11-09-201-043

ZONING:

PROPERTY IS ZONED: LRR
(LAKESHORE RESORT RESIDENTIAL)

SETBACKS:

FRONT: = 35 feet
SIDES: = 10 feet MIN./20 feet TOTAL
WATER: = 40 feet

NOTE:

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NOT BE SHOWN.

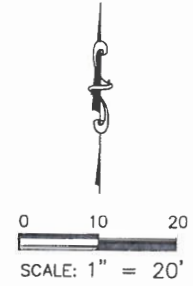
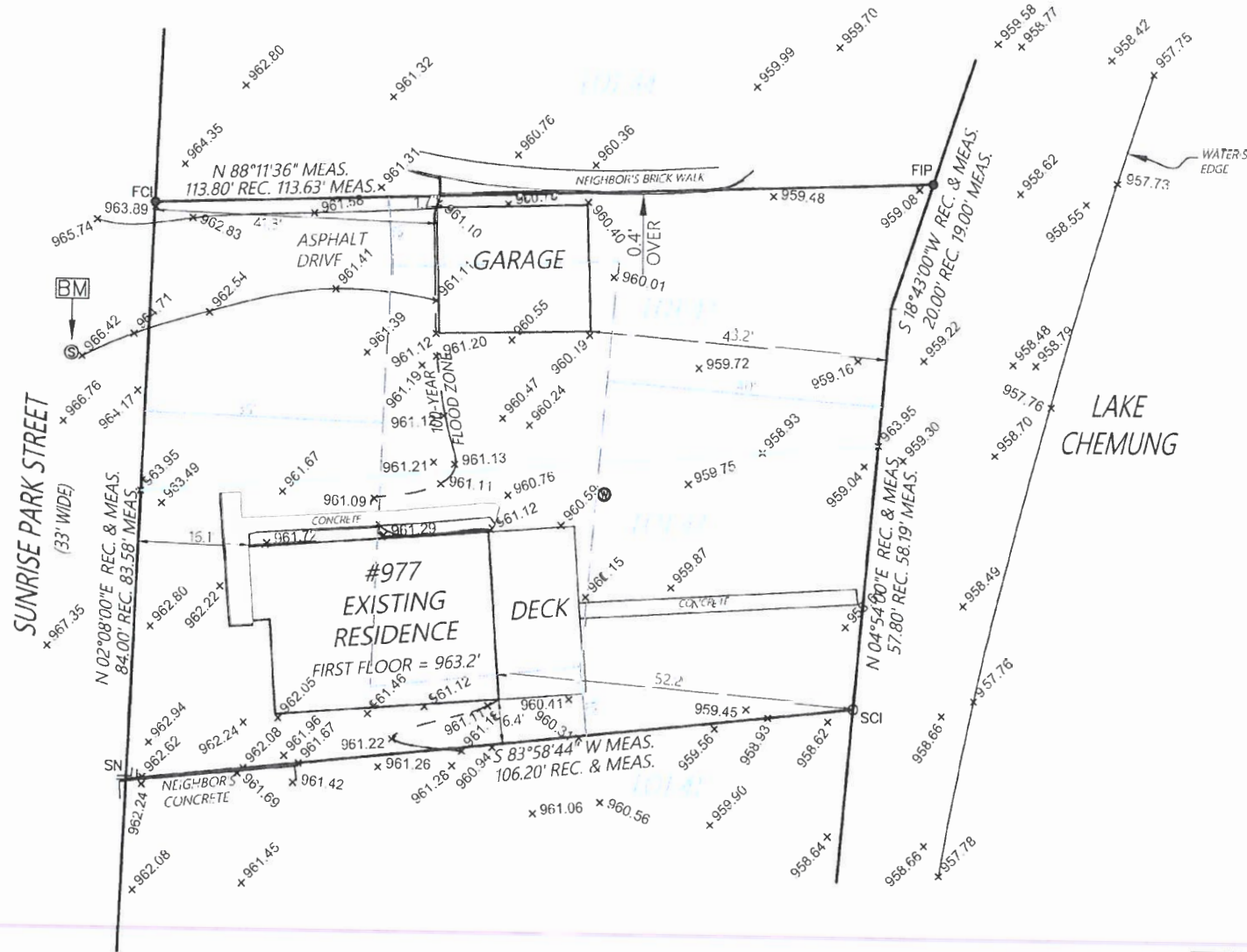
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LICENSED PROFESSIONAL SURVEYOR #39075

ALPINE 11590 HIGHLAND ROAD, SUITE #100
Land Surveying, Inc. HARTLAND, MI 48353
PHONE: 810-207-8050

FIELD: KG	DATE: JULY 20, 2022
DRAWN: DJS	JOB NO: 22-5861
CHECKED: KG	SHEET: 1 OF 1
REVISION:	

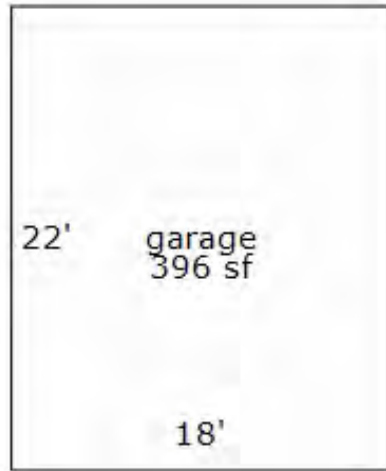
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.						
MAULE, MARY LOUISE TRUSTEE	KERN JENIFER & DOUGLAS	270,000	12/02/2020	WD	09-FAMILY	2020R-047412	BUYER/SELLER	0.0						
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status				
977 SUNRISE PARK ST		School: HOWELL PUBLIC SCHOOLS		P.R.E. 0%										
Owner's Name/Address		MAP #: V24-22		2025 Est TCV Tentative										
KERN JENIFER & DOUGLAS 589 OAK RIDGE DR BRIGHTON MI 48116-1773		X Improved		Vacant		Land Value Estimates for Land Table 4300.4300 LAKE CHEMUNG WATER FRONT								
Tax Description		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value								
SEC. 9 T2N, R5E, SUNRISE PARK LOTS 42 AND 43		Dirt Road		A LAKEFRONT		40.00 110.00 1.0000 1.0000 3400 100 136,000								
Comments/Influences		Gravel Road		B SURPLUS LF		38.00 110.00 1.0000 1.0000 2300 100 87,400								
		Paved Road		78 Actual Front Feet, 0.20 Total Acres		Total Est. Land Value = 223,400								
		Storm Sewer												
		Sidewalk												
		Water												
		Sewer												
		Electric												
		Gas												
		Curb												
		Street Lights												
		Standard Utilities												
		Underground Utils.												
		Topography of Site												
		Level												
		Rolling												
		Low												
		High												
		Landscaped												
		Swamp												
		Wooded												
		Pond												
		X Waterfront												
		Ravine												
		Wetland												
		Flood Plain												
		X REFUSE												
		Who		When		What		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		LM		05/16/2012		DATA ENTER		2025	Tentative	Tentative	Tentative			Tentative
								2024	96,000	58,600	154,600			83,288C
								2023	96,000	54,600	150,600			79,322C
								2022	93,200	50,100	143,300			75,545C



The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

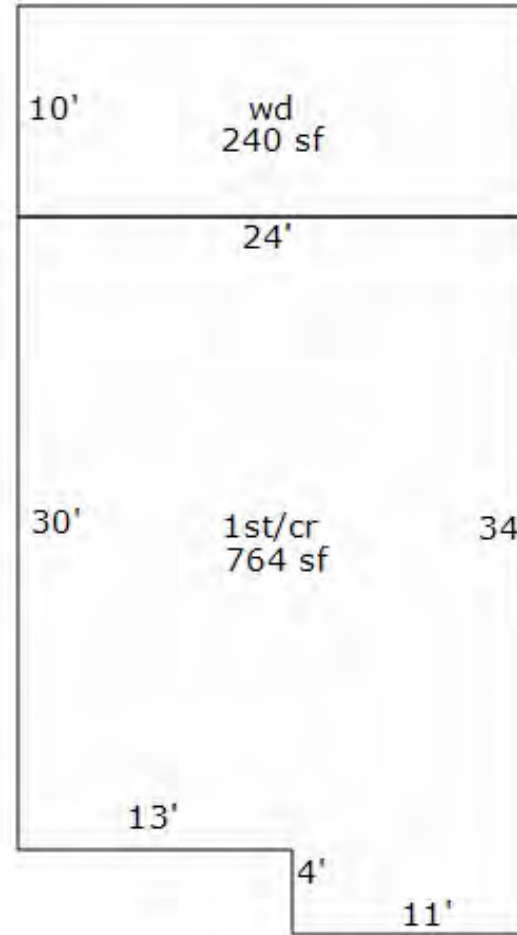
Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 240	Type Pine	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 396 % Good: 0 Storage Area: 0 No Conc. Floor: 0			
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling												
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration													
Yr Built 0	Remodeled 0	Ex	X Ord		Min												
Condition: Good		Size of Closets															
		Lg	X Ord		Small												
Room List		Doors:	Solid	X	H.C.												
	Basement 1st Floor 2nd Floor 2 Bedrooms	(5) Floors															
		Kitchen: Other: Other:															
(1) Exterior		(6) Ceilings															
X	Wood/Shingle Aluminum/Vinyl Brick Insulation																
		No. of Elec. Outlets															
			Many	X Ave.		Few											
(2) Windows		(7) Excavation															
X	Many Avg. Few	X	Large Avg. Small														
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Basement: 0 S.F. Crawl: 764 S.F. Slab: 0 S.F. Height to Joists: 0.0															
		(8) Basement															
			Conc. Block Poured Conc. Stone Treated Wood Concrete Floor														
(3) Roof		(9) Basement Finish															
			Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)														
X	Gable Hip Flat		Gambrel Mansard Shed														
X	Asphalt Shingle	(10) Floor Support															
	Chimney: Brick	Joists: Unsupported Len: Cntr.Sup:															
		(12) Electric															
		0 Amps Service															
		No./Qual. of Fixtures															
		Ex.	X Ord.		Min												
		(13) Plumbing															
			Average Fixture(s)														
			1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan														
		(14) Water/Sewer															
			Public Water Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic														
		Lump Sum Items:															
		Class: C Effec. Age: 45 Floor Area: 764 Total Base New : 148,006 Total Depr Cost: 81,403 Estimated T.C.V: 116,813															
		E.C.F. X 1.435															
		Bsmnt Garage:															
		Carport Area: Roof:															
		Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Heat & Cool Ground Area = 764 SF Floor Area = 764 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=55/100/100/100/55 Building Areas															
		Stories	Exterior	Foundation	Size	Cost New	Depr. Cost										
		1 Story	Siding	Crawl Space	764												
		Total:				111,509	61,330										
		Other Additions/Adjustments															
		Deck															
		Pine			240	3,864	2,125										
		Garages															
		Class: C Exterior: Siding Foundation: 42 Inch (Unfinished)															
		Base Cost			396	19,962	10,979										
		Water/Sewer															
		Public Sewer			1	1,547	851										
		Water Well, 200 Feet			1	11,124	6,118										
		Totals:				148,006	81,403										
		Notes:															
		ECF (4302 SUNRISE PARK LAKEFRONT) 1.435 => TCV:					116,813										

*** Information herein deemed reliable but not guaranteed***



2 BEDROOMS
1 FULL BATH
A/C
GRAVEL DW - N/V

LAKE SIDE



ROAD SIDE



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-23

Meeting Date: July 23, 2024 @ 6:30pm
in the Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

KEEPIN' IT REALZ

Applicant/Owner: ADAM FASICK Email: fasickd@gmail.com

Property Address: 3220 E Genoa River Ave Phone: 248-730-5507

Present Zoning: _____ Tax Code: 4711-05-100-008

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

- Variance requested/intended property modifications: SEEN 40' FROM WEST BORDER
(TO INCLUDE OUT-BUILDING). OUT BUILDING WILL BE
RAISED BY ZADY ABRO SO HE CAN BEAUTIFY DRIP CAR
WASH. REMAINING BUILDING FOR 3220 E GENOA RIVER
WILL ALSO BE BEAUTIFIED (PAINT, LANDSCAPING).

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

THE OUT-BUILDING IS NON-CONFORMING AND UNUSABLE.
RAZING OUT-BUILDING TO ENHANCE 2 LOCAL BUSINESSES
WILL HELP BUSINESS IN THIS AREA.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

THE OUT-BUILDING IS NON-CONFORMING AND NOT ^{USABLE} ~~USABLE~~ ^{AT}.
BOTH PROPERTIES ARE CURRENTLY NON-CONFORMING BY BEING
LESS THAN 1 ACRE. THE PROPOSAL WOULD ALLOW FOR A MORE
APPEALING SITE FOR THE COMMUNITY.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

RAZING THE OUT-BUILDING WILL ALLOW MORE NATURAL
LIGHTS TO BOTH PROPERTIES AND BE LESS OF A FIRE
HAZARD

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

THE PROPOSAL WILL ALLOW FOR 2 BUSINESSES TO
ENHANCE THE LOOK OF OLD BUILDINGS AND BE MORE
APPEALING TO THE COMMUNITY

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 06/25/2024 Signature: 



July 16, 2024

Zoning Board of Appeals
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Drip Car Wash land division – Dimensional Variance Review
Location:	3200 and 3220 E. Grand River Avenue – south side of Grand River, east of Victory Drive
Zoning:	GCD General Commercial District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking a dimensional variance for a land division/combination between 2 abutting properties.

More specifically, the request entails the adjustment of the common side lot line between 3200 and 3220 E. Grand River whereby approximately 22 feet of width will be taken from 3220 and transferred to 3200 (Drip Car Wash). However, the application form notes the transfer of 40 feet. This should be corrected to match the plans.

The following table identifies existing and proposed parcel dimensions:

Address	Existing Width	Proposed Width	Existing Area	Proposed Area
3200 E. Grand River	136.31’	158.31’	0.86 acres	1.00 acres
3220 E. Grand River	159.59’	137.59’	0.97 acres	0.83 acres

In summary, the project requires 2 dimensional variances from Section 7.03, as follows:

- To permit a land division/combination to reduce a conforming lot width from 159.59’ to 137.59’, where a minimum of 150’ is required; and
- To permit a land division/combination to reduce an already nonconforming lot area of 0.97 acres to 0.83 acres, where a minimum of 1 acre is required.

SUMMARY

1. *Practical Difficulty/Substantial Justice:* Strict compliance with Ordinance standards will not prevent continued use of the previously developed properties for a permitted purpose. However, overall, the request results in a decrease in nonconforming conditions between the 2 properties by making 1 property compliant and removing a nonconforming accessory building.
2. *Extraordinary Circumstances:* Both properties are currently deficient in minimum GCD dimensional standards. The request will eliminate a nonconforming property and a nonconforming building.
3. *Public Safety and Welfare:* Given the nature of the request, we do not anticipate adverse impacts upon public safety and welfare.
4. *Impact on Surrounding Neighborhood:* Adverse impacts upon the surrounding neighborhood are not anticipated.
5. *Additional Considerations:* If the Board considers favorable action on the variance request, we suggest it be conditioned upon removal of the nonconforming accessory building, correction to the application form, and that any future development on either property obtain necessary zoning approvals (special land use, site plan review, etc.).



Aerial view of site and surroundings (looking south)

VARIANCE REVIEW

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

1. **Practical Difficulty/Substantial Justice.** A variance is not necessary for continued use or establishment of a new use for either property.

Both properties are currently nonconforming due to deficiencies from current GCD standards – 3200 is deficient in both lot width and area, while 3220 is deficient in lot area. The property at 3220 E. Grand River also contains a nonconforming detached accessory building that will be removed as part of the project.

As a result of the proposal, 3200 E. Grand River will provide a compliant lot width and area, while 3220 E. Grand River will see a reduction in a currently compliant lot width and further reduction of an already nonconforming lot area.

Given existing conditions, strict compliance with minimum GCD dimensional standards cannot be achieved for both properties, though granting of the request will eliminate nonconforming conditions on both properties.

In our opinion, the best way to evaluate the request under this criterion is a comparison of current and proposed Ordinance deficiencies. More specifically, there are currently 4 deficiencies (1 lot width, 2 lot areas, 1 detached accessory building), while the proposal results in 2 deficiencies (1 lot width, 1 lot area).

Accordingly, the Board could consider strict compliance to be unnecessarily burdensome and that the request is fair to both the owners and surrounding owners via a reduction in Ordinance deficiencies.

2. **Extraordinary Circumstances.** As previously noted, both properties are nonconforming.

While the request will create a further reduction of an existing nonconforming condition, it will also eliminate a nonconforming property and a nonconforming building.

3. **Public Safety and Welfare.** Given the nature of the request, we do not anticipate adverse impacts upon public safety and welfare.


4. **Impact on Surrounding Neighborhood.** Based on review of aerial photos and the Township Zoning Map, there appear to be multiple developed properties along this portion of Grand River that fail to meet at least one of the GCD dimensional requirements.

As such, granting of the variances is unlikely to adversely impact the surrounding area.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

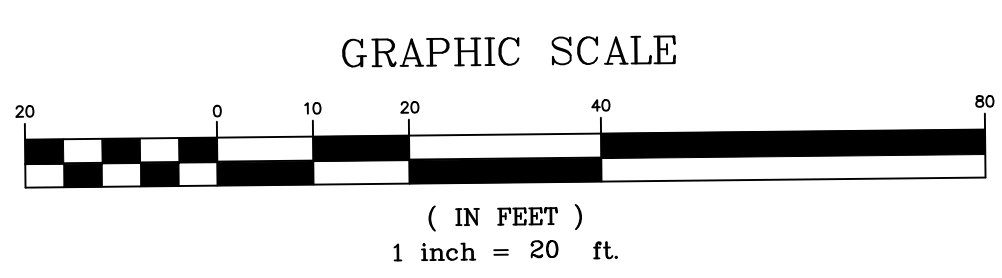
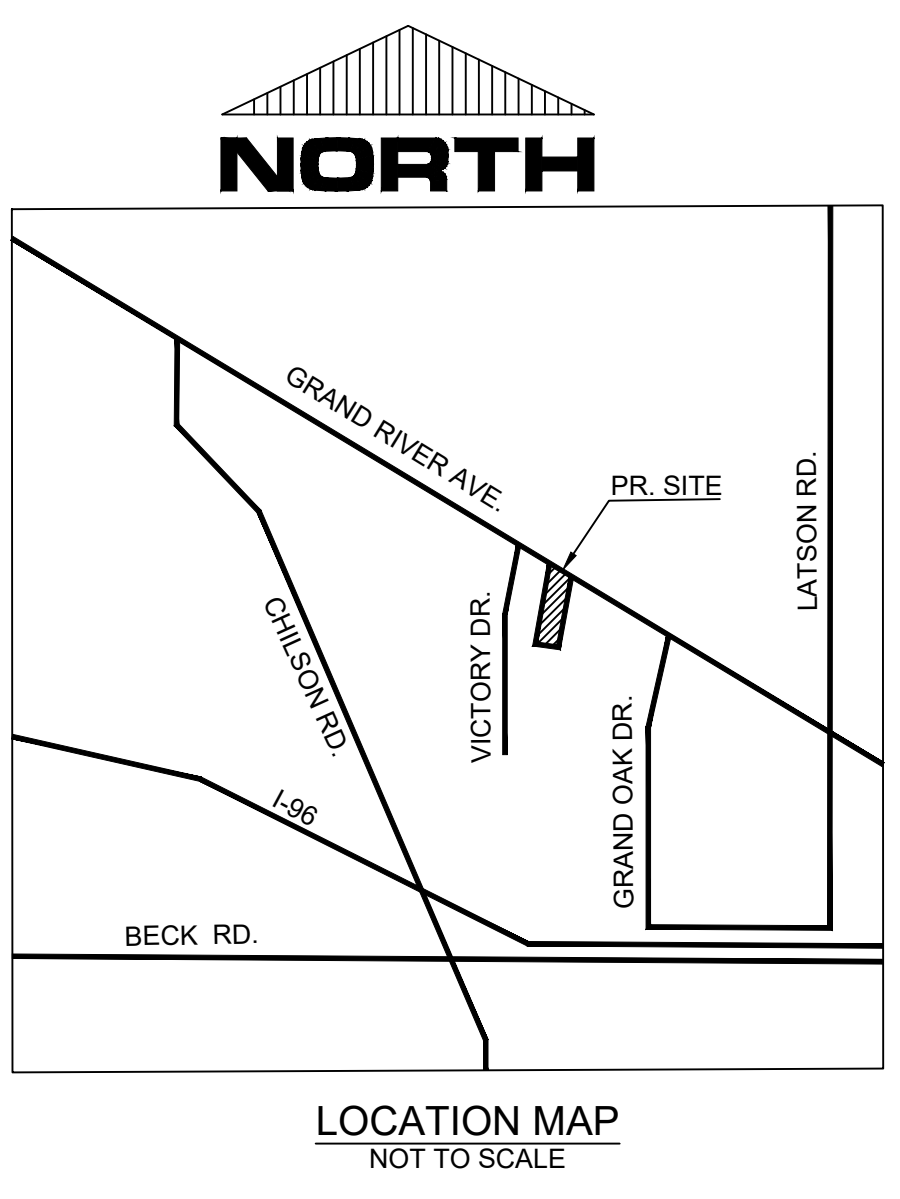
SAFE BUILT

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP
Michigan Planning Manager



TOPOGRAPHIC SURVEY
SCALE: 1" = 20.00'



SITE BENCHMARK: (NAVD 88 - BY GPS)
ARROW ON HYD. LOCATED ON THE GRAND RIVER AVE. R.O.W
APPRX. 81' FORM THE N-E CORNER OF PROPERTY.
ELEVATION= 952.62

SOIL LEGEND:
MoB- WAWASEE LOAM, 2 to 6 percent slopes

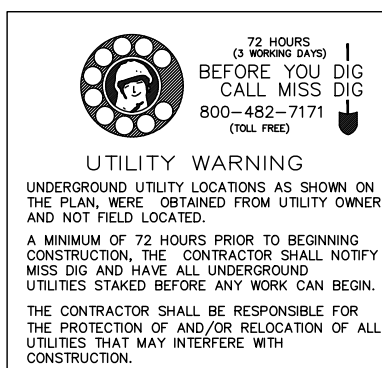
FLOODPLAIN NOTE:
SUBJECT PROPERTY (ZONE X) IS IN AN AREA OF MINIMAL FLOOD HAZARD.
FIRM MAP NUMBER: 26093C0309D
EFFECTIVE DATE: SEPTEMBER 17, 2008

LEGAL DESCRIPTION FOR PID# 4711-05-100-008
SEC 5 T2N R5E COMM W 1/4 POST SEC 5 TH N 538.50 FT TH S62°56'E 709.20 TO POB TH S62°56'E 155.80 FT TH S27°04'W 240.50 FT N71°25'W 20.8 FT N84°15'W 145.80 FT TH N27°04'E 297.80 FT TO POB. CONT 0.96 AC M.L. CORR 02/00 TVF.

LEGAL DESCRIPTION
PARCEL ID # 4711-05-303-024
SEC 5 T2N R5E GRAND OAKS WEST INDUSTRIAL PARK PART OF LOT 1 DESCRIBED AS BEG AT TH SE COR TH N10°09'14"E 111.73 FT TH N02°19'58"W 70.58 FT N25°05'34"E 156.37 FT TH S64°54'26"E 61.31 FT TH S25°05'34"W 326.97 FT TO POB ALSO COMM AT SE COR LOT 1 TH N25°05'34"E 326.97 FT TH S64°54'26"E 75 FT TH S25°05'34"W 297.80 FT TH N86°09'47"W 80.47 FT TO POB CONT. .86 AC M.L SPLIT FR 05-303-001 AND 05-100-009 12/99 CORR LEGAL 2/05

- LEGEND**
- EXIST. STORM SEWER
 - EXIST. OVERHEAD UTILITY
 - EXIST. FENCE LINE
 - EXIST. WATERMAIN
 - EXIST. SANITARY LINE.
 - EXIST. GAS LINE
 - EXIST. HYDRANT
 - EXIST. UTILITY POLE
 - EXIST. LIGHT POLE
 - EXIST. GATE WELL
 - EXIST. ROAD CATCH BASIN
 - EXIST. STORM CATCH BASIN
 - EXIST. SANITARY MANHOLE
 - EXIST. ROAD SIGN BOARD
 - EXIST. SIDEWALK
 - EXIST. CONC. PAVEMENT
 - EXIST. ASPH. PAVEMENT
- NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY

LEGEND
R-O-W = RIGHT OF WAY
P.O.B = POINT OF BEGINNING
FI = FOUND IRON
S-PR COR = SET PROPERTY CORNER
N, E, S, W = NORTH, EAST, SOUTH, WEST
P.I.D.# = PARCEL IDENTIFICATION NUMBER
T./R. = TOWN/RANGE
L./P. = LIBER/PAGE
R./M. = RECORD/MEASURE



GATEWAY
8155 ANSBURY DRIVE, SUITE # 109
SHELBY TWP., MI 48316
OFFICE # (360) 786-5533 FAX # (360) 786-5575
www.gatewayengineer.com

PROJECT INFORMATION:
DRIP AUTO WASH
3200 E GRAND RIVER AVE.
HOWELL, MI 48843
PARCEL ID# 4711-05-303-024

CLIENT INFORMATION:
HOWELL 2 LLC
ZAID ABRO
1372 CLEAR CREEK DR.
ROCHESTER HILLS, MI 48306
PHONE#: 248-885-4441
EMAIL:
ZAID.ABRO44@YAHOO.COM

ISSUANCE:

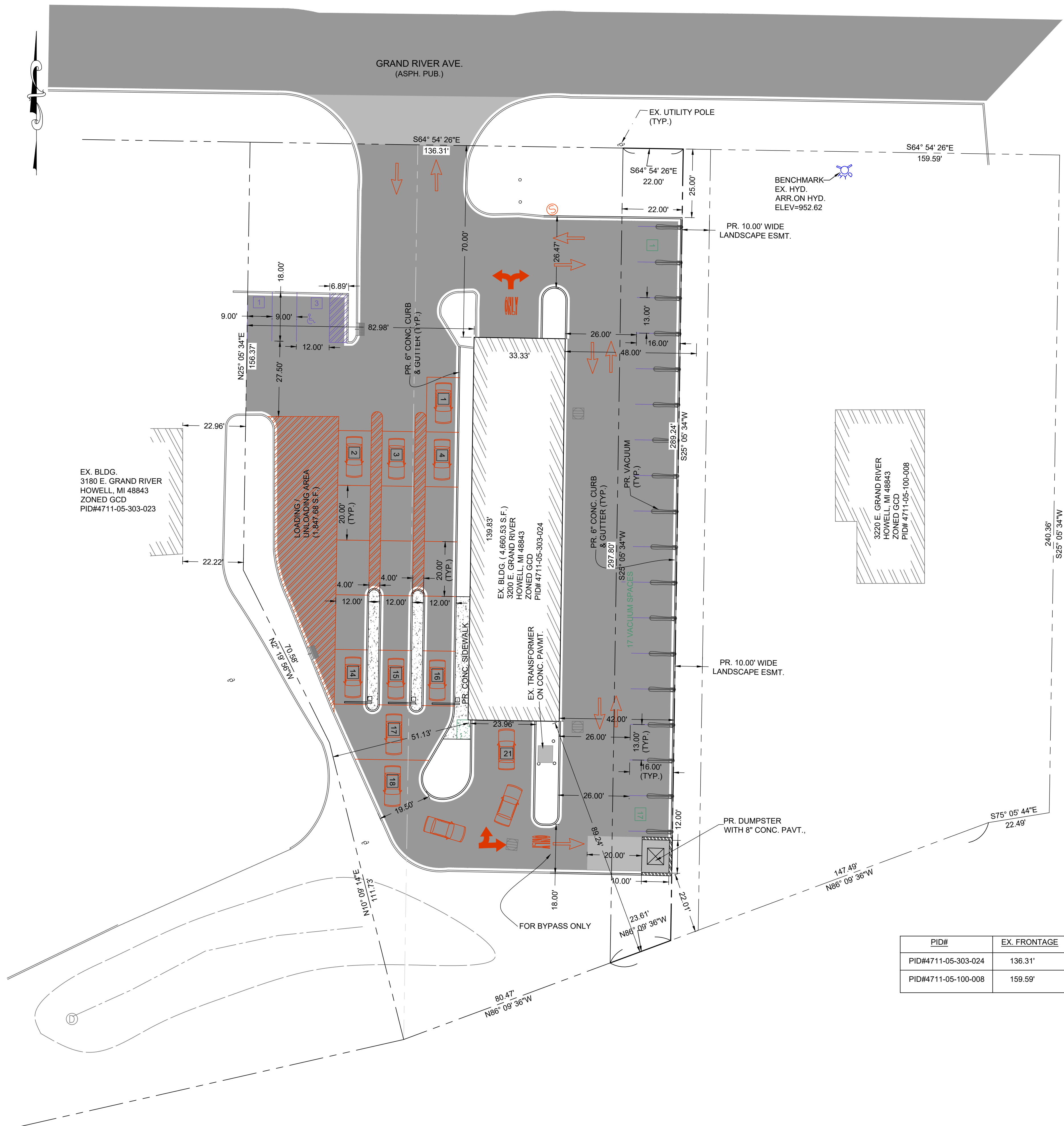
- SCHEMATIC
- BIDDING
- MUNI SUBMITTAL
- CONSTRUCTION
- OTHER

DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESC.	DATE
1.	CONCEPT	01/15/2024
2.	PSP	02/14/2024
3.	PSP REV.	04/08/2024
4.	PSP REV.	06/25/2024

REVIEWED BY: J.V.
DESIGNED BY: M.G.
DRAWN BY: V.V.

DRAWING:
TOPOGRAPHIC SURVEY
NO. **C1.1**
PROJECT NO. 24-0107



PRELIMINARY SITE PLAN
SCALE: 1" = 20.00'

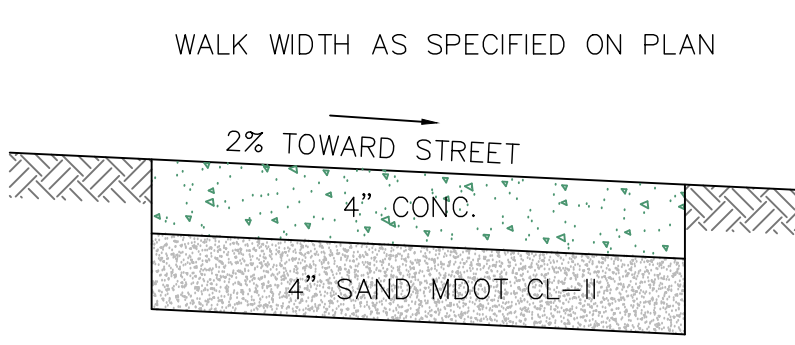
PID#	EX. FRONTAGE	PR. FRONTAGE	EX. ACREAGE	PR. ACREAGE
PID#4711-05-303-024	136.31'	158.31'	0.86	1.00
PID#4711-05-100-008	159.59'	137.59'	0.97	0.83

FIRE DEPT. NOTE:
 * ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, FLUSHED AND IN SERVICE PRIOR TO THE START OF CONSTRUCTION.
 * THE BASE OF THE ACCESS DRIVE SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE START OF CONSTRUCTION.
 * FIRE ACCESS ROADS MUST BE ABLE TO SUPPORT DEPARTMENT'S LARGEST VEHICAL WEIGHT OF 76,800 PLUS AN ADDITIONAL 10% FOR A TOTAL OF 84,480.

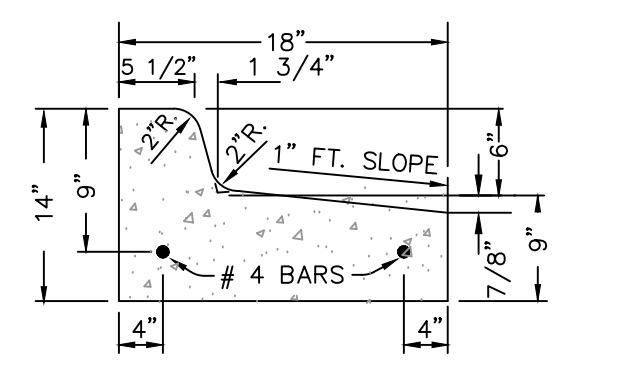
SITE BENCHMARK: (NAVD 88 - BY GPS)
 ARROW ON HYD. LOCATED ON THE GRAND RIVER AVE. R.O.W APPROX. 81' FORM THE N-E CORNER OF PROPERTY.
 ELEVATION= 952.62

SET BACK REQUIREMENTS:
 FRONT: 70 FEET
 35 FEET IF NO PARKING IN THE FRONT YARD
 SIDE: 15 FEET EACH SIDE
 REAR: 50 FEET

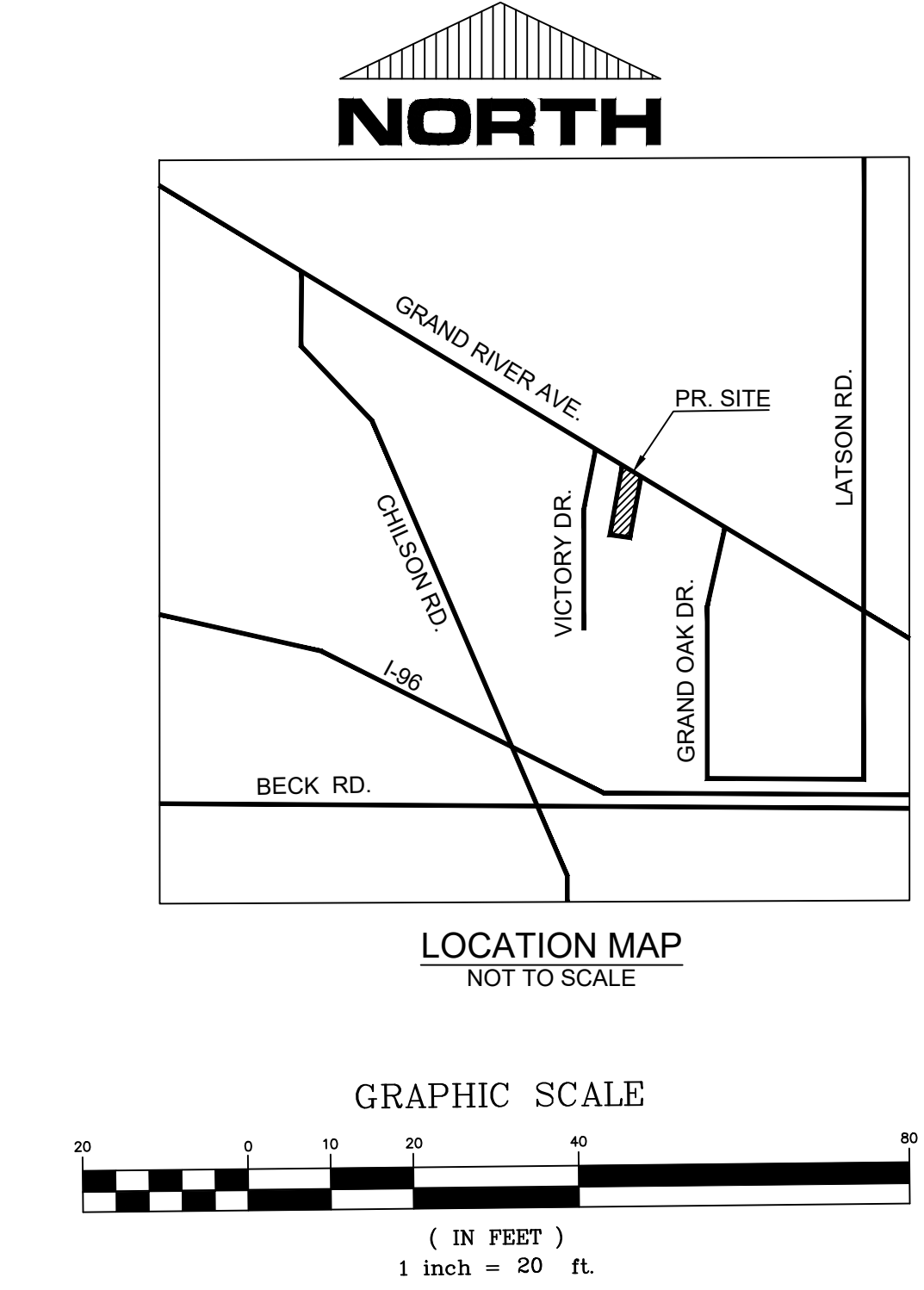
PARKING LOT SET BACK REQUIREMENTS:
 FRONT: 20 FEET
 SIDE AND REAR: 10 FEET



4" CONCRETE SIDEWALK
N.T.S.



CONC. CURB & GUTTER DETAIL WITH REVERSE SLOPE (F2 MOD.)
NOT TO SCALE



PROJECT : DRIP AUTO-WASH

LEGAL DESCRIPTION:
 PARCEL ID # 4711-05-303-024
 SEC 5 T2N R5E GRAND OAKS WEST INDUSTRIAL PARK PART OF LOT 1 DESCRIBED AS BEG AT TH SE COR TH N10°09'14"E 111.73 FT TH N02°19'56"W 70.58 FT N25°05'34"E 156.37 FT TH S64°54'26"E 61.31 FT TH S25°05'34"W 326.97 FT TO POB ALSO COMM AT SE COR LOT 1 TH N25°05'34"E 326.97 FT TH S64°54'26"E 75 FT TH S25°05'34"W 297.80 FT TH N86°09'47"W 80.47 FT TO POB CONT. .86 AC M/L SPLIT FR 05-303-001 AND 05-100-009 12/99 CORR LEGAL 2/05

LOCAL AGENCY: GENOA TOWNSHIP PLANNING & ZONING 2911 DORR RD. GENOA TWP., MI 48116

EXISTING ZONING: GCD- GENERAL COMMERCIAL DISTRICT
PROPOSED LAND USE: AUTO-WASH

GROSS/NET AREA OF SITE: ± 43,850.09 S.F. (ACRES ± 1.00 ACRES)
EX GROSS BUILDING FOOT AREA: 4,461 S.F.
SITE COVERAGE (BUILDING): ± 10.17%
EX. GROSS AREA OF PAVEMENT (ROAD & SIDEWALK) = ± 20,172.50 S.F.
PR. GROSS AREA OF PAVEMENT (ROAD & SIDEWALK) = ± 25,177.15 S.F.

PR. SITE COVERAGE BY IMPERVIOUS SURFACE (BUILD., PAVT., ETC.) = ± 67.58% (29,638.15 S.F.)

WATER SUPPLY: MUNICIPAL - EXISTING SERVICE LEAD
SANITARY: MUNICIPAL - EXISTING SERVICE LEAD
STORM/DETENTION: EXISTING STORM SEWER WITH EXISTING DETENTION.

PARKING CALCULATIONS
REQUIRED PARKING: REFERENCE GENOA TOWNSHIP ZONING ORDINANCE SEC. 14.04. PARKING SPACE NUMERICAL REQUIREMENTS
 2 SPACES PLUS 1 SPACE PER EACH EMPLOYEE ON PEAK SHIFT, PLUS 15 STACKING SPACES PER BAY FOR A SEMI - OR FULLY AUTOMATIC CAR WASH, 2 STACKING SPACES PER BAY FOR A SELF-SERVE CAR WASH.
 2 SPACES + 1 EMPLOYEE = 3 SPACES
TOTAL PARKING REQUIRED: 3 SPACES

PARKING PROVIDED:
 TOTAL 3 PARKING SPACES (INCLUDING 1 H.P.)
 TOTAL 21 STACKING SPACES.
 TOTAL 17 VACUUM SPACES.

LEGAL DESCRIPTION FOR PID# 4711-05-100-008
 SEC 5 T2N R5E COMM W 1/4 POST SEC 5 TH N 538.50 FT TH S82°56'E 709.20 TO POB TH S82°56'E 155.80 FT TH S27°04'W 240.50 FT N71°25'W 20.8 FT N84°15'W 145.80 FT TH N27°04'E 297.80 FT TO POB. CONT 0.96 AC M/L. CORR 02/00 TVF.

NOTE:
 1. IF ANY DISCREPANCY BETWEEN THESE PLANS AND CITY / TWP. STANDARDS OCCURS THE CITY / TWP. STANDARDS SHALL GOVERN...
 2. IF ANY DISCREPANCY BETWEEN DESIGNS OR CODES RELATED WITH THESE DESIGNED PLANS OCCURS THE STRICTEST SHALL APPLY.
 3. "NO PARKING-FIRE LANE" SIGNS SHALL BE INSTALLED AND MAINTAINED AS DESIGNATED BY THE FIRE MARSHAL.
 4. AN EMERGENCY ACCESS LANE, AS REQUIRED IN ORDINANCE 145, SHALL BE PROVIDED PRIOR TO THE START OF CONSTRUCTION UNLESS THE PERMANENT HARD SURFACE IS INSTALLED PRIOR TO CONSTRUCTION.
 5. PRIOR TO CONSTRUCTION, ALL LOCATION AND DEPTHS OF EXISTING OVERHEAD AND UNDER-GROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.
 6. DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES. CALL MISS DIG.
 7. MUNICIPAL UTILITIES (WATER, SANITARY AND STORM SEWER) ARE TO BE BROUGHT ON SITE BY THE DEVELOPER FROM EXISTING SOURCES.

UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
 A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL NOTIFY UTILITIES STATED BEFORE ANY WORK CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT INTERFERE WITH CONSTRUCTION.

GATEWAY
 8155 ANNSBURY DRIVE, SUITE # 109
 SHELBY TWP., MI 48316
 OFFICE # (586) 786-5533 FAX # (586) 786-5575
 www.gatewayengineer.com

PROJECT INFORMATION:
DRIP AUTO WASH
 3200 E GRAND RIVER AVE.
 HOWELL, MI 48843
 PARCEL ID# 4711-05-303-024

CLIENT INFORMATION:
 HOWELL 2 LLC
 ZAID ABR0
 1372 CLEAR CREEK DR.
 ROCHESTER HILLS, MI 48306
 PHONE#: 248-885-4441
 EMAIL:
 ZAID.ABR044@YAHOO.COM

ISSUANCE:
 SCHEMATIC
 BIDDING
 MUNI SUBMITTAL
 CONSTRUCTION
 OTHER

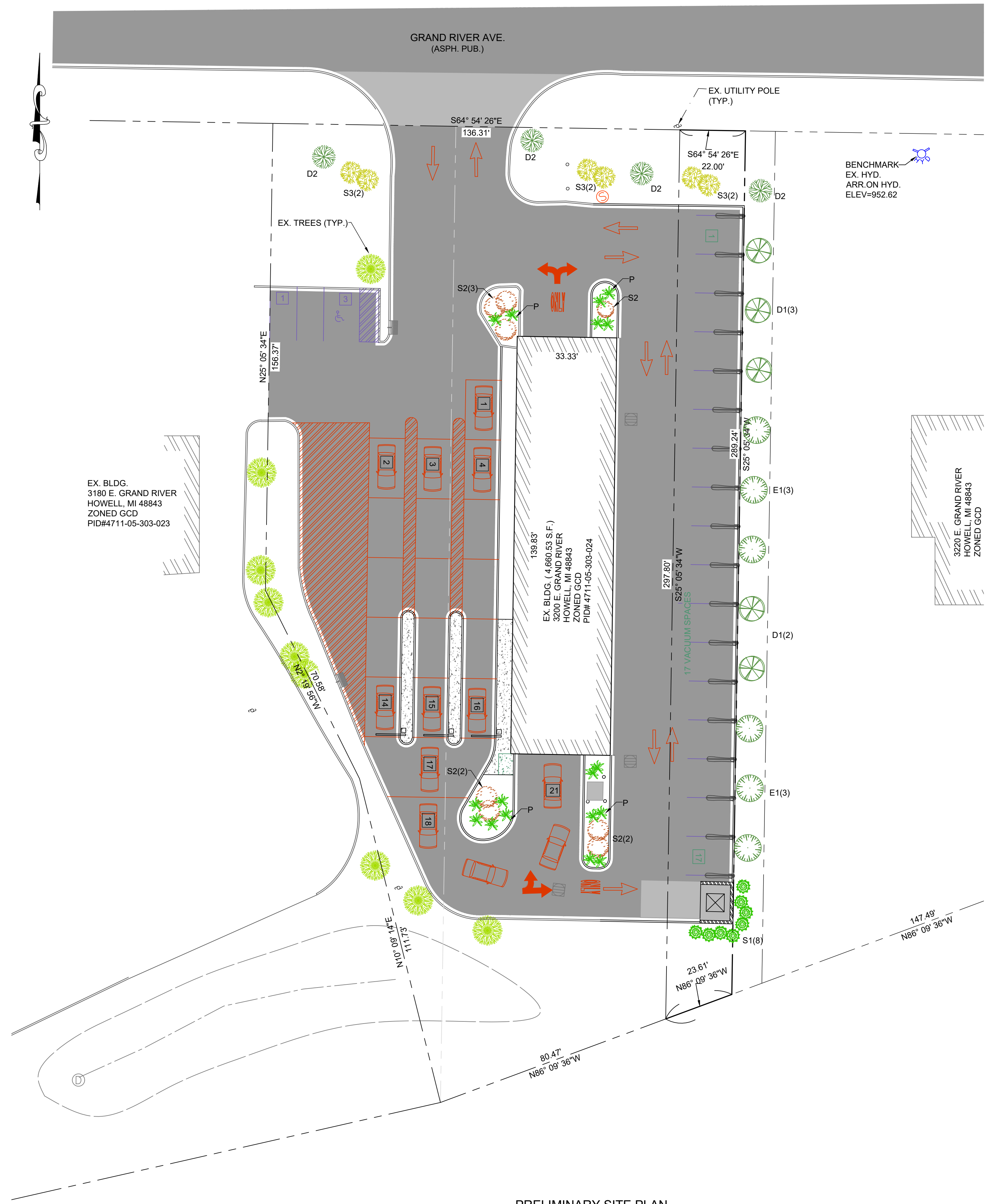
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESC.	DATE
1.	CONCEPT	01/15/2024
2.	PSP	02/14/2024
3.	PSP REV.	04/08/2024
4.	PSP REV.	06/25/2024

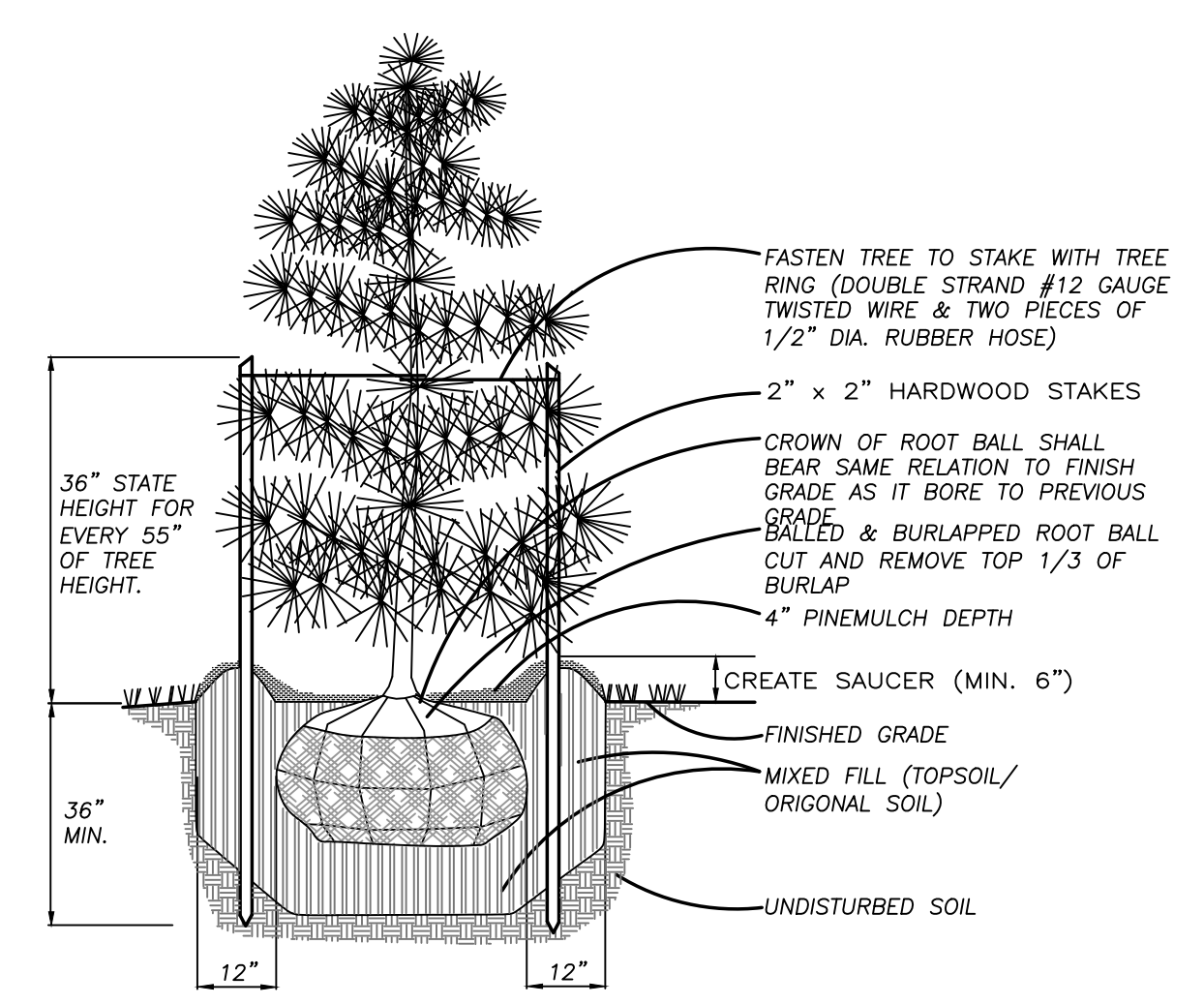
REVIEWED BY: J.V.
 DESIGNED BY: M.G.
 DRAWN BY: V.V.

DRAWING:
PRELIMINARY SITE PLAN

NO. **C2.1**
 PROJECT NO. 24-0107

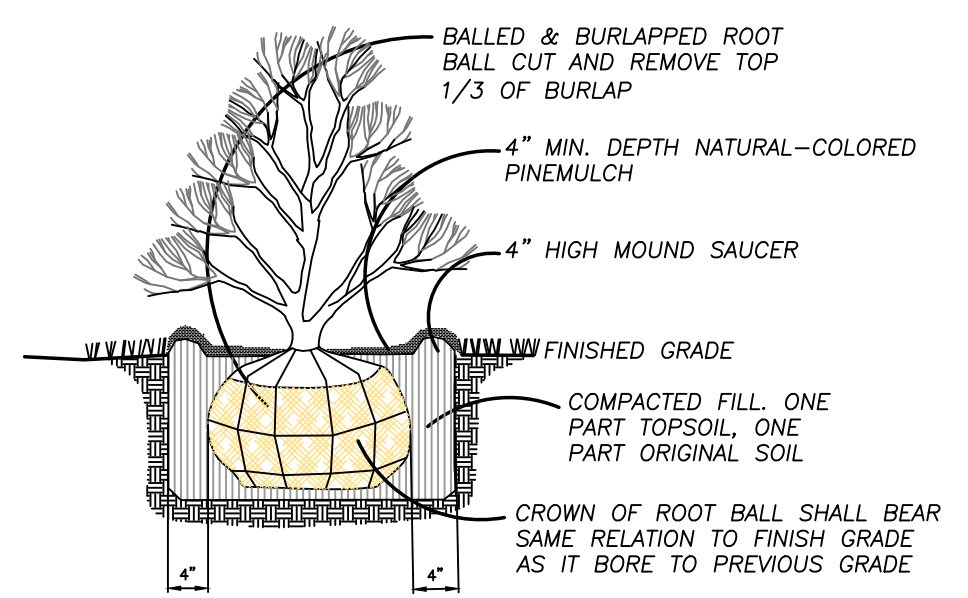


PRELIMINARY SITE PLAN
SCALE: 1" = 20.00'



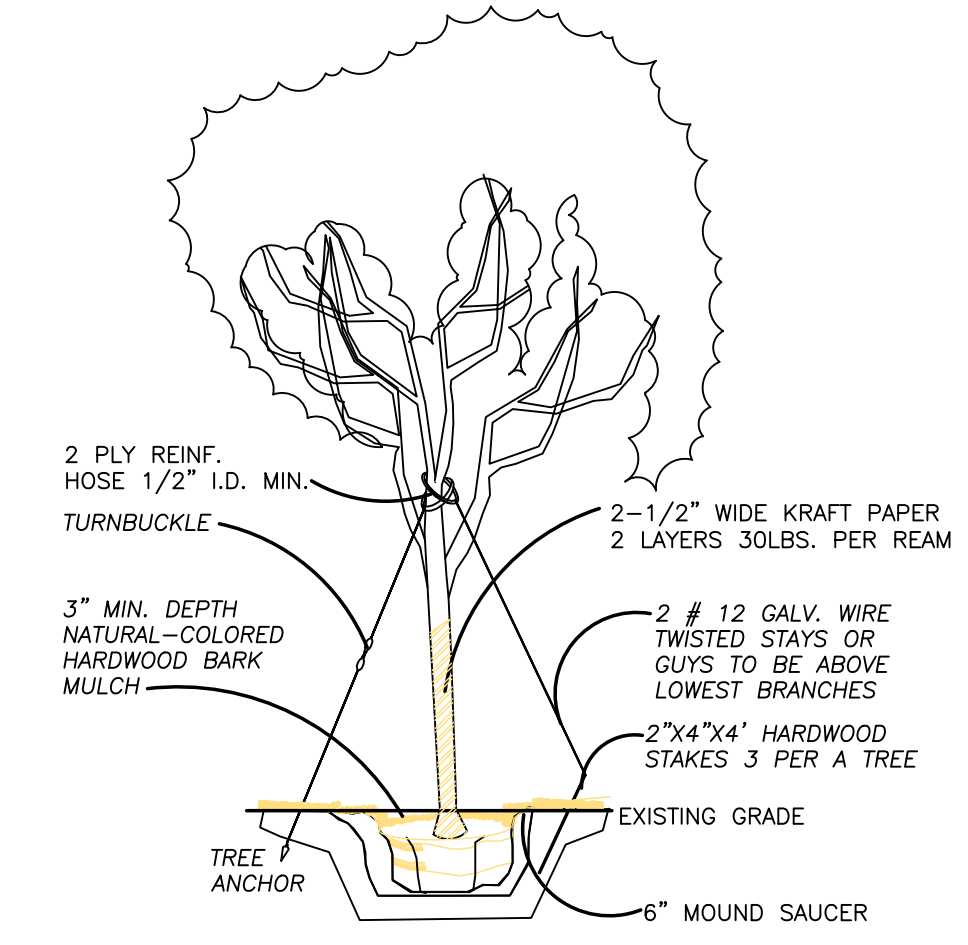
EVERGREEN TREE PLANTING DETAIL

- N.T.S.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION
 - WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION



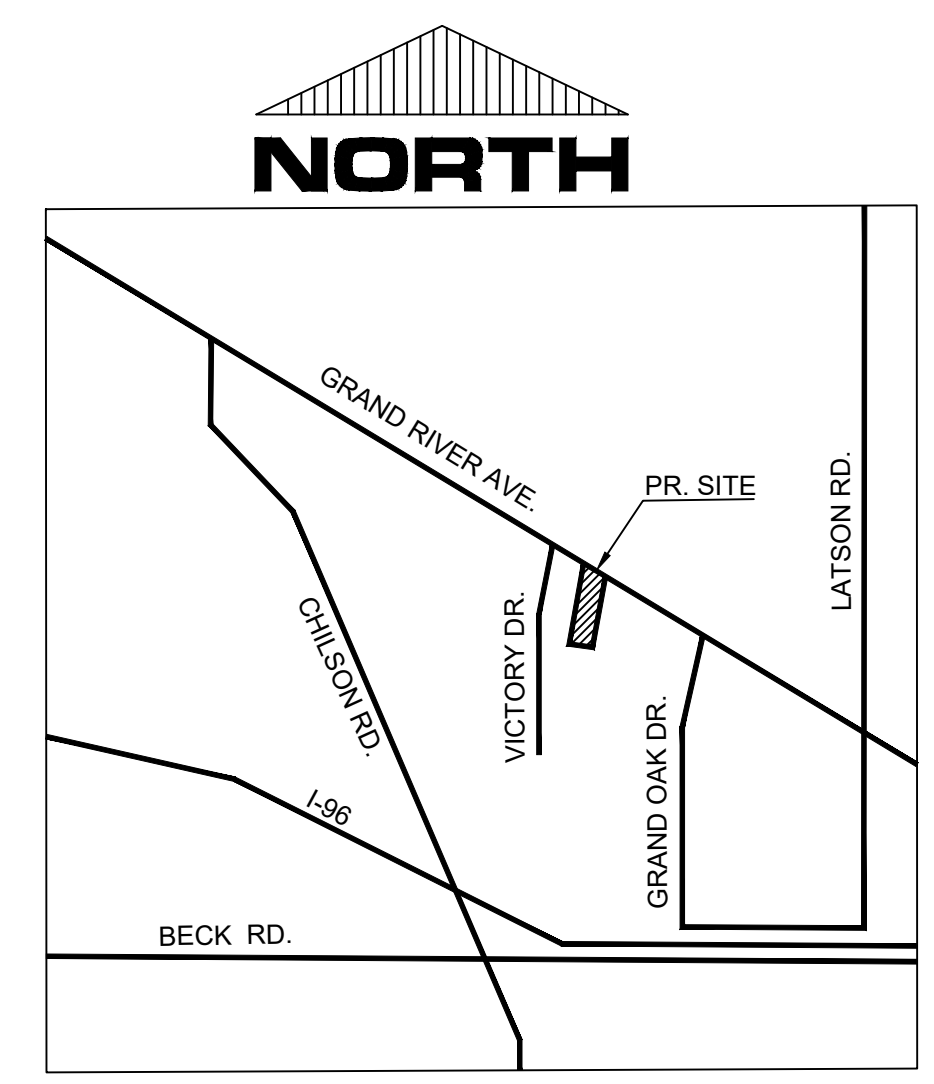
DECIDUOUS SHRUB PLANTING DETAIL

- N.T.S.
- PLANT SHRUB AT THE SAME GRADE AS IT WAS GROWN
 - PRUNE AND TRIM ALL DEAD OR DYING STEMS.
 - DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL.

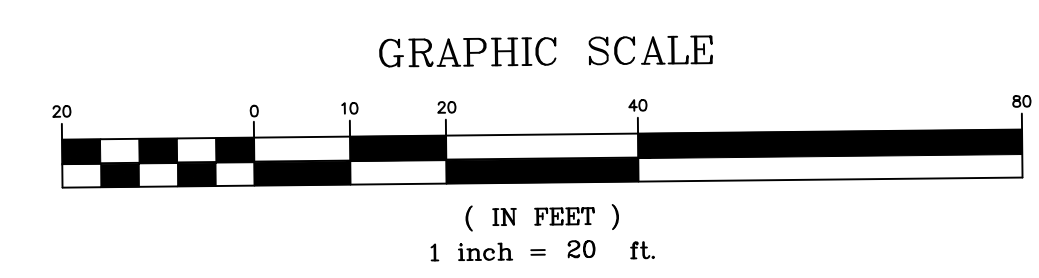


DECIDUOUS TREE PLANTING DETAIL

- N.T.S.
- STAKE ALL TREES UNDER 3-1/2" CALP.
 - GUY ALL TREES OVER 3-1/2" CALP.
 - PLANT TREE AT THE SAME GRADE AS IT W/ GROWN
 - NEVER CUT CENTRAL LEADER
 - PRUNE TO THIN & SHAPE TREE CANOPY
 - DISPOSE OF ALL NON BIODEGRADABLE MATERIAL.
 - MAKE PLANTING PITS 24" GREATER THAN SOIL BALL DIA.



LOCATION MAP
NOT TO SCALE



EXISTING TREE AND SHRUB SCHEDULE

KEY	SYMBOL	QUANT.	TYPE
EXISTING TREES			
EX-D		16	EXISTING TREES
D1		5	ACER RUBRUM RED MAPLE 2.5" CALIPER BB
D2		4	MALUS FLORIBUNDA FLOWERING CRAB 2.5" CALIPER BB
E1		6	PICEA ABIES NORWAY SPRUCE 6' HT. BB
TOTAL EVERGREEN TREES PROVIDED: 6			
TOTAL DECIDUOUS TREES PROVIDED: 9			
TOTAL TREES PROVIDED: 15			
EXISTING DECIDUOUS TREES TO REMAIN: 3			
SHRUBS AND FLOWERS			
S1		8	JUNIPERUS CHINENSIS KETELEERI KETLAR JUNIPER 6' HT. BB
S2		8	COMPACT BURNING BUSH AND/OR CRIMSON PYGMY BARBERRY 30" HT. BB
S3		6	FORSYTHIA AND/OR LIMELIGHT HYDRANGEA 30" HT. BB
P		16	VARIOUS FLOWERING PLANTS OR GRASSES *PROVIDE PLANTINGS AT A RATE THAT PROVIDES ADEQUATE COVERAGE FOR AREA INTENDED TO BE COVERED. 30" HT. BB
TOTAL SHRUBS PROVIDED: 22			
TOTAL TREES (EXISTING + PROVIDED) : 18			
TOTAL SHRUBS PROVIDED: 22			
TOTAL FLOWERS: 16			

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PROJECT INFORMATION:
DRIP AUTO WASH
3200 E GRAND RIVER AVE.
HOWELL, MI 48843
PARCEL ID# 4711-05-303-024

CLIENT INFORMATION:
HOWELL 2 LLC
ZAID ABRU
1372 CLEAR CREEK DR.
ROCHESTER HILLS, MI 48306
PHONE#: 248-885-4441
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DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

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REVIEWED BY: J.V.
DESIGNED BY: M.G.
DRAWN BY: V.V.

DRAWING:
LANDSCAPE PLAN

NO. **LS1.1**
PROJECT NO. 24-0107

UTILITY WARNING
72 HOURS BEFORE YOU DIG
CALL MISS DIG
800-482-7171
THE PLAN HERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DIG AND HAVE ALL UNDERGROUND UTILITIES STATED BEFORE ANY WORK CAN BEGIN.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

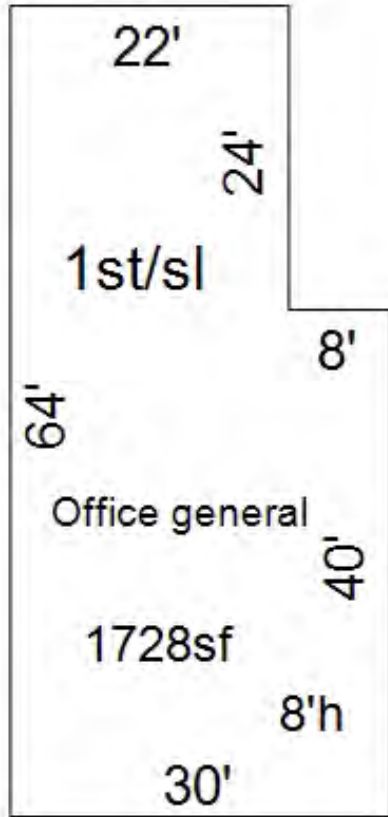
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.											
LONE PEAK PROPERTIES LLC	KEEPIN IT REALZ LLC	385,000	05/24/2023	WD	03-ARM'S LENGTH	2023R-009984	BUYER/SELLER	100.0											
TEE BONE'Z REAL ESTATE, LL	LONE PEAK PROPERTIES LLC	480,000	06/07/2004	WD	03-ARM'S LENGTH	4475/0979	BUYER/SELLER	100.0											
KROL, JOHN & BARBARA	TEE BONE'Z REAL ESTATE, LI	350,000	07/31/2001	WD	03-ARM'S LENGTH	3084-0478	BUYER/SELLER	100.0											
KROL, JOHN & BARBARA	KROLAND L.L.C.	0	07/26/2000	QC	21-NOT USED/OTHER	28020576	BUYER/SELLER	0.0											
Property Address		Class: COMMERCIAL-IMPROVE		Zoning: GCD		Building Permit(s)		Date	Number	Status									
3220 E GRAND RIVER		School: HOWELL PUBLIC SCHOOLS		Wall Sign		11/28/2023		PS23-027											
Owner's Name/Address		P.R.E. 0%		Tenant Build-Out		06/05/2023		P23-099	7 FINAL BL										
KEEPIN IT REALZ LLC 3789 SILVER CHARM LN HOWELL MI 48843		MAP #: V24-23		Wall Sign		08/19/2020		PS20-013											
Tax Description		2025 Est TCV Tentative		SIGN		02/11/2011		S11-013	NO START										
SEC 5 T2N R5E COMM W 1/4 POST SEC 5 TH N 538.50 FT TH S62*56'E 709.20 TO POB TH S62*56'E 155.80 FT TH S27*04'W 240.50 FT N71*25'W 20.8 FT N84*15'W 145.80 FT TH N27*04'E 297.80 FT TO POB. CONT 0.96 AC M/L. CORR 02/00 TVF.		X Improved		Vacant		Land Value Estimates for Land Table 2003.2003 GRAND RIVER FRONTAGE													
Comments/Influences		Public Improvements		* Factors *															
		Dirt Road		Description		Frontage		Depth		Front		Depth		Rate %Adj.		Reason		Value	
		Gravel Road		GRDRIVR 1400		160.00		268.00		1.0000		1.1576		1400 100				259,299	
		Paved Road		160 Actual Front Feet, 0.98 Total Acres										Total Est. Land Value =				259,299	
		Storm Sewer		Land Improvement Cost Estimates															
		Sidewalk		Description															
		Water		Rate															
		Sewer		Size % Good															
		Electric		Cash Value															
		Gas		D/W/P: Asphalt Paving															
		Curb		3.32 6300 30															
		Street Lights		Total Estimated Land Improvements True Cash Value =															
		Standard Utilities		6,275															
		Underground Utils.		6,275															
		Topography of Site		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value			
		Level		2025		Tentative		Tentative		Tentative						Tentative			
		Rolling		2024		129,600		74,000		203,600						203,600S			
		Low		2023		129,600		71,700		201,300						166,077C			
		High		2022		129,600		63,500		193,100						158,169C			
		Landscaped		Who		When		What											
		Swamp		JB		04/19/2024		INSPECTED											
		Wooded		JB		07/27/2023		INSPECTED											
		Pond																	
		Waterfront																	
		Ravine																	
		Wetland																	
		Flood Plain																	
		4711-05-100-008				04/19/2024													
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		Licensed To: Township of Genoa, County of Livingston, Michigan																	



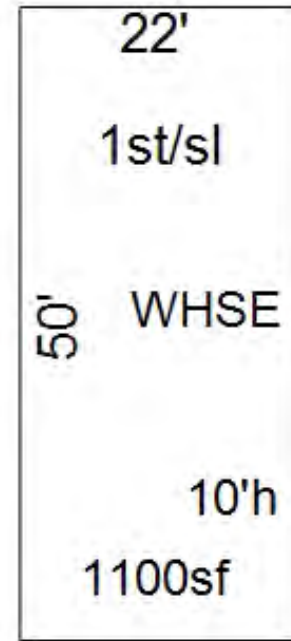
*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Calculator Occupancy: Stores - Retail				<<<<< Calculator Cost Computations >>>>>											
Class: C Floor Area: 1,728 Gross Bldg Area: 2,828 Stories Above Grd: 1 Average Sty Hght : 8 Bsmnt Wall Hght				Construction Cost				Class: C Quality: Low Cost Stories: 1 Story Height: 8 Perimeter: 188 Overall Building Height: 8							
Depr. Table : 1.5% Effective Age : 30 Physical %Good: 64 Func. %Good : 100 Economic %Good: 100				High Above Ave. Ave. X Low				Base Rate for Upper Floors = 88.13							
Year Built Remodeled				** ** Calculator Cost Data ** ** Quality: Low Cost Heat#1: Package Heating & Cooling 100% Heat#2: Forced Air Furnace 0%				(10) Heating system: Package Heating & Cooling Cost/SqFt: 20.49 100% Adjusted Square Foot Cost for Upper Floors = 108.62							
8 Overall Bldg Height				Area: Perimeter: Type: Heat: Hot Water, Radiant Floor				Total Floor Area: 1,728 Base Cost New of Upper Floors = 187,695 Reproduction/Replacement Cost = 187,695 Eff.Age:30 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 64 /100/100/100/64.0 Total Depreciated Cost = 120,125							
Comments:				*** Basement Info *** Area #1: Type #1: Area #2: Type #2:				Local Cost Items Rate Quantity/Area %Good Depr.Cost WELL/WATER 4500.00 1 64 2,880 SEPTIC/SEWER 4500.00 1 64 2,880 ECF (2014 MAIN COMMERCIAL) 0.950 => TCV of Bldg: 1 = 119,591 Replacement Cost/Floor Area= 111.95 Est. TCV/Floor Area= 69.21							
(1) Excavation/Site Prep:				(7) Interior:				(11) Electric and Lighting:				(39) Miscellaneous:			
(2) Foundation:				(8) Plumbing:				Outlets:				Fixtures:			
X Poured Conc. Brick/Stone Block				Many Above Ave. Average Typical Few None				Few Average Many Unfinished Typical				Few Average Many Unfinished Typical			
(3) Frame:				Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners				Flex Conduit Rigid Conduit Armored Cable Non-Metallic Bus Duct				Incandescent Fluorescent Mercury Sodium Vapor Transformer			
(4) Floor Structure:				(9) Sprinklers:				(13) Roof Structure: Slope=0				(40) Exterior Wall:			
(5) Floor Cover:				(10) Heating and Cooling:				(14) Roof Cover:				Thickness Bsmnt Insul.			
(6) Ceiling:				Gas Oil Coal Stoker Hand Fired Boiler											

*** Information herein deemed reliable but not guaranteed***



1 OF 2 BLDG



2 OF 2 BLDG

Desc. of Bldg/Section: Calculator Occupancy: Warehouses - Storage				<<<<<< Calculator Cost Computations >>>>>>			
Class: D,Pole Floor Area: 1,100 Gross Bldg Area: 2,828 Stories Above Grd: 1 Average Sty Hght : 14 Bsmnt Wall Hght				Construction Cost		Class: D,Pole Quality: Low Cost Stories: 1 Story Height: 14 Perimeter: 144	
				High	Above Ave.	Ave.	X
Depr. Table : 1.5% Effective Age : 46 Physical %Good: 50 Func. %Good : 100 Economic %Good: 100				** ** Calculator Cost Data ** **		(10) Heating system: No Heating or Cooling Cost/SqFt: 0.00 100% Adjusted Square Foot Cost for Upper Floors = 41.99	
				Quality: Low Cost Heat#1: No Heating or Cooling 100% Heat#2: Space Heaters, Gas with Fan 0% Ave. SqFt/Story: 1100 Ave. Perimeter: 144 Has Elevators:		Total Floor Area: 1,100 Base Cost New of Upper Floors = 46,189 Reproduction/Replacement Cost = 46,189 Eff.Age:46 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 50 /100/100/100/50.0 Total Depreciated Cost = 23,095	
Year Built Remodeled Overall Bldg Height				*** Basement Info ***		ECF (2014 MAIN COMMERCIAL) 0.950 => TCV of Bldg: 2 = 21,940 Replacement Cost/Floor Area= 41.99 Est. TCV/Floor Area= 19.95	
				Area: Perimeter: Type:		Heat: Hot Water, Radiant Floor	
Comments:				* Mezzanine Info *			
				Area #1: Type #1: Area #2: Type #2:			
				* Sprinkler Info *			
				Area: Type: Low			
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:		(8) Plumbing:		Outlets: Fixtures:			
X	Poured Conc.	Brick/Stone	Block	Many Above Ave.	Average Typical		
(3) Frame:		Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets		Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners		Few Average Many Unfinished Typical	
(4) Floor Structure:		(9) Sprinklers:		Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct		Incandescent Fluorescent Mercury Sodium Vapor Transformer	
(5) Floor Cover:				(10) Heating and Cooling:		(13) Roof Structure: Slope=0	
(6) Ceiling:		Gas Oil	Coal Stoker	Hand Fired Boiler	(14) Roof Cover:		

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