

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JUNE 18, 2024
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

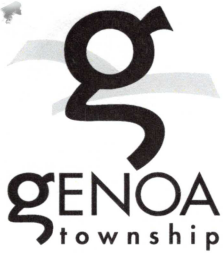
Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

1. 24-18...A request by Deatrick Moore, 4313 Ridge Lake Drive, for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a detached accessory building.
2. 24-19...A request by Adam K. Wolak, 916 Sunrise Park, for rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct an addition to an existing home.
3. 24-20...A request by James Frederick, 1632 High Haven, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a new home.

Administrative Business:

1. Approval of minutes for the May 21, 2024 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>
--



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-18

Meeting Date: June 18, 2024 @ 6:30pm
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential

| \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Debra Ann Moore

Email: moorede5@gmail.com

Property Address: 4313 Ridge Lake Ct

Phone: 248-977-0253

Present Zoning: LDR

Tax Code: 4711-26-202-015

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications:

See Attached - Build within the
30ft Setback - Sideyard

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

There are multiple Detached Units in my Sub & with the severe slope, it is requiring a retaining wall

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The topography of my home is causing for a variance for most projects on my home, including the shift of my primary residence during initial build.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No effect to Public Safety, if anything this is improving the safety w/ reducing erosion

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

No impact to neighbors or neighborhood, but improving the value of the neighborhood is what this project is doing.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 5/3/24 Signature: 

To whom it may concern,

I am writing to ask for a variance for our storage building. Due to the topography, my side yard will require a retaining wall, to help with erosion from the hill above. Since I have decided to potentially build a storage building, I could use the foundation and side of the building to serve as the retaining wall and help control the erosion from the Hill in my side yard. This would require a variance of 4 ft, to push the building within the required side setback of 30ft. The side of the Storage building would have a side setback of 26.1ft, but again this would help out with the erosion within my property. Thank you for your time and consideration.

Deatrick Moore

4313 Ridge Lake Ct

Brighton, MI 48116



May 13, 2024

Zoning Board of Appeals
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	4313 Ridgelake Court – Dimensional Variance Review
Location:	4313 Ridgelake Court – Unit 15 The Ridge Site Condominiums (north of Mountain Ridge Drive, west of Bauer Road)
Zoning:	LDR Low Density Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking a dimensional variance for the construction of a new detached accessory building for the residence at 4313 Ridgelake Court.

The subject site is a conforming LDR lot containing a compliant single-family residence.

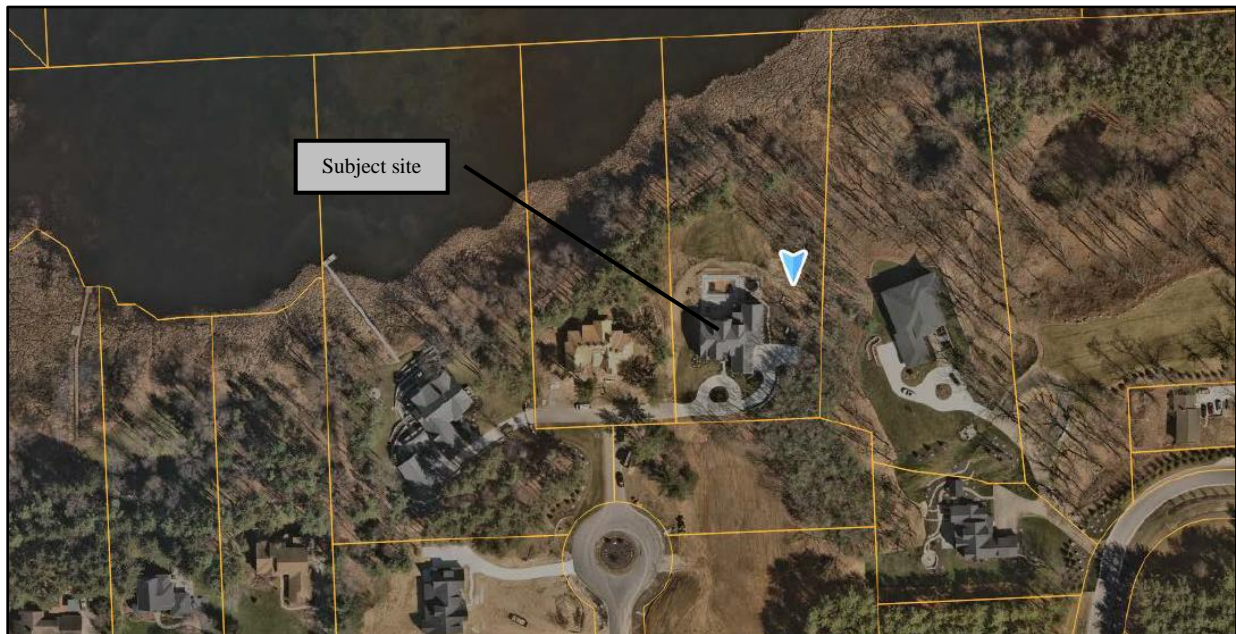
The proposal entails a 720 square foot (24’ x 30’) 1.5-story detached garage in the easterly side yard of the site.

Per Section 11.04.02, the proposed building complies with requirements for yard location, rear setback, spacing from the principal building, and height; however, the following dimensional variance is requested:

- A detached accessory building with a 26.1’ side yard setback (where a minimum setback of 30’ is required).

SUMMARY

1. Steep topography creates difficulty for locating a fully compliant detached accessory building (practical difficulty).
2. The applicant must explain to the Board alternatives that were evaluated and why the additional 3.9’ of side setback cannot be accommodated north of the proposed location (substantial justice).
3. The one variance sought is the minimum needed to grant relief (substantial justice).
4. The Board could view strict compliance as unnecessarily burdensome (practical difficulty).
5. The steep topography from west to east impacts the applicant’s ability to locate a fully compliant detached accessory building (extraordinary circumstance).
6. Given the nature of the project, we do not anticipate issues with the supply of light and air or to traffic and public safety (public safety and welfare).
7. If the Board considers favorable action, we suggest a condition that the applicant must maintain (or supplement, if deemed necessary) the existing vegetation in the easterly side yard to mitigate potential impacts of the reduced setback upon the adjacent residence (impact on surrounding neighborhood).



Aerial view of site and surroundings (looking north)

VARIANCE REVIEW

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variance from the Zoning Ordinance is not necessary to maintain the existing residence; however, site topography creates difficulty for locating a fully compliant detached accessory building.

With that being said, we request the applicant explain any alternatives that were evaluated and why the additional 3.9' of side setback cannot be accommodated north of the proposed location.

It is worth noting that the request minimizes the variance sought, as all other dimensional requirements (yard, rear setback, height, spacing, etc.) of the Ordinance are met.

Based on site conditions, the Board could view strict compliance as unnecessarily burdensome to the applicant; however, the applicant needs to describe alternatives as part of the test for substantial justice.

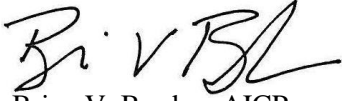
- 2. Extraordinary Circumstances.** The steep topography of the site from west to east impacts the owner's ability to locate a detached accessory building.
- 3. Public Safety and Welfare.** Given the nature of the request, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety.
- 4. Impact on Surrounding Neighborhood.** Based on review of aerial photos, there is existing vegetation that will help limit views of the accessory building and provide screening for the adjacent residence.

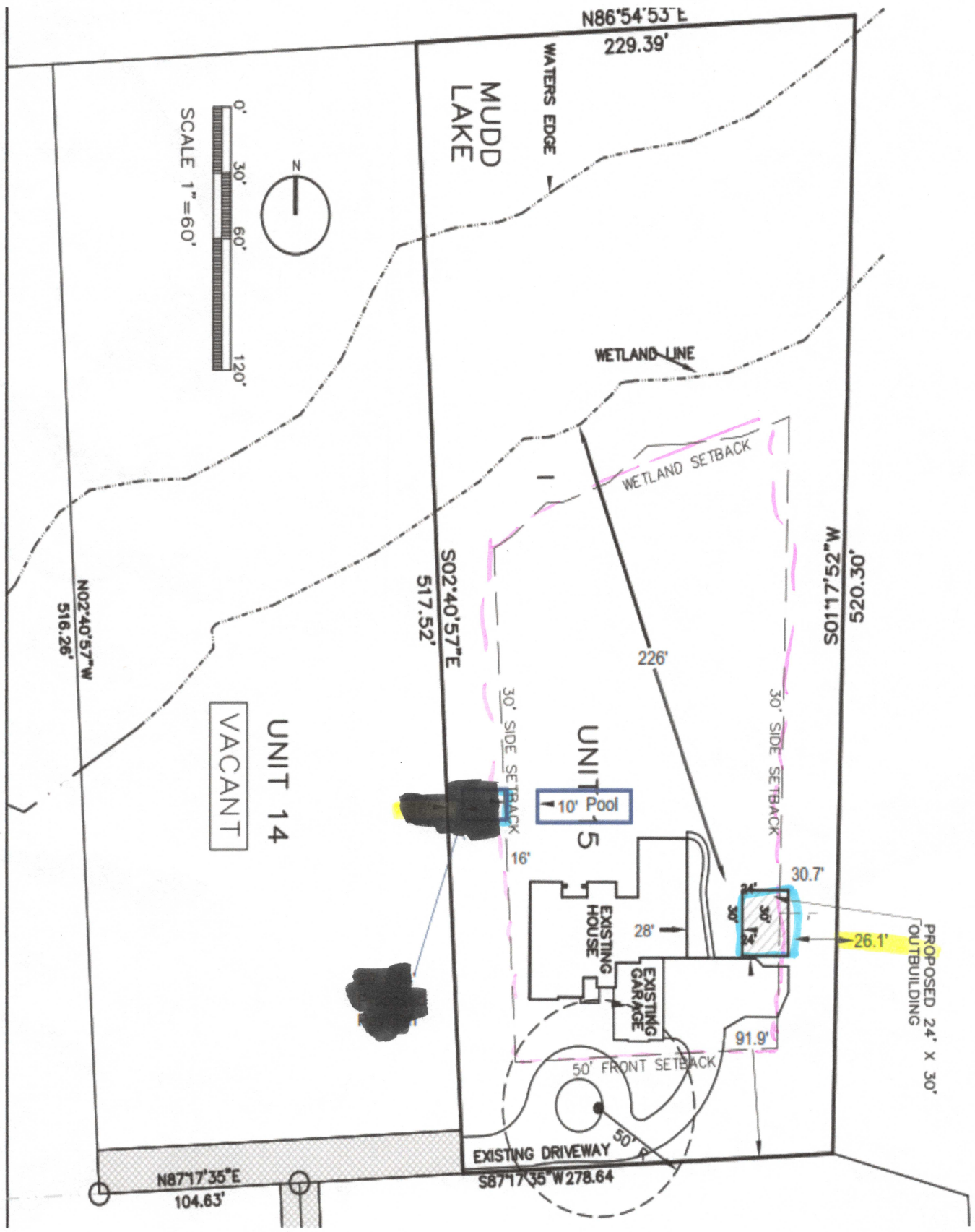
We suggest a condition that the existing vegetation must be maintained (and/or supplemented if deemed necessary) to mitigate potential impacts of the reduced setback (if favorable action is taken).

Genoa Township ZBA
4313 Ridgelake Court
Dimensional Variance Review
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

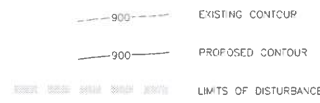

Brian V. Borden, AICP
Michigan Planning Manager



SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION

1. THE CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON APPROVED PLANS.
2. REMOVE ALL TOPSOIL AND ORGANIC MATTER. TOPSOIL MAY BE STORED ON SITE IN DESIGNATED AREA TO BE USED FOR FUTURE PLANTING AND FILL AREAS. TRUCK REMAINING TOP SOIL OFFSITE AND PROPERLY DISPOSE.
3. THE CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR TREES OUTSIDE THE LIMITS OF DISTURBANCE.
4. ROUGH GRADE AND INSTALL NEW UNDERGROUND UTILITIES INCLUDING SEDIMENTATION FOREBAY. PLACE INLET FILTERS AT PROPOSED CATCH BASINS THROUGHOUT SITE.
5. SEDIMENTATION FOREBAY SHALL BE EXCAVATED, TOP SOILED, AND SEED IMMEDIATELY AFTER DEMOLITION WORK IS COMPLETED.
6. CONSTRUCT ROAD.
7. FINISH GRADE AROUND ROAD AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1.4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.
8. REPAIR/CLEAN INLET FILTERS AS REQUIRED.
9. INSTALL FINAL LANDSCAPING PER SEPARATE LANDSCAPE PLAN.
10. STONE AROUND OUTLET STANDPIPE STRUCTURE SHALL BE REFRESHED.
11. REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDING VEGETATION HAS ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.

GRADING LEGEND

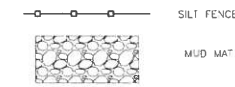


THE RIDGE SITE CONDOMINIUM GRADING, SOIL EROSION & SEDIMENTATION CONTROL PLAN

AERIAL PHOTOGRAMMETRY

TOPOGRAPHIC CONTOURS BASED ON MIGA AERIAL
 CONTOUR INTERVAL: 2 FOOT
 VERTICAL DATUM: NAVD88
 DATE OF PHOTOGRAPHY: 4/24/2018

SESC LEGEND



EROSION CONTROL QUANTITIES

Disturbed Area: 15.894 Acres

QTY	UNIT	ITEM
3,455	LF	SILT FENCE
4	EA	INLET FILTER
40	EA	CHECK DAM

MDMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET (MDMB)

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E6	MULCH		FOR USE IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND UP NEARLY SEEDING AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (SEEDING, SPRINKLING, ATTACHED).

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS TO PREVENT SEDIMENT LOADED SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ACCESS		USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S55	SEDIMENT BASIN		AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES31	CHECK DAM		USED TO REDUCE SURFACE FLOW VELOCITIES AND TO CONSTRUCTED AND EXISTING FLOW CORRIDORS.

EROSION CONTROL STANDARDS

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
2. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
5. STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
7. A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE MDEQ NOTICE OF COVERAGE FOR NPDES AS REQUIRED.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

1. CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE PRIOR TO COMMENCING WORK.
2. EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
3. CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
4. ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
6. PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
7. ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE. NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
8. INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
9. IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE, THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.
10. HYDRO-SEEDING - HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% ON SLOPES OVER 1%. STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER, OR STRAW BLANKETS PEGGED IN PLACE.
11. STRAW MULCH - 3" IN DEPTH, 1.5 TO 2 TONS PER ACRE (ALL MULCH MUST HAVE A TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.)
12. FERTILIZER - 150 LBS. PER ACRE.
13. GRASS SEED - 210 LBS. PER ACRE.
14. TOP SOIL - 3 INCHES IN DEPTH.
15. ALL RIP-RAP MUST BE PLACED OVER KEYED IN GEO-FABRIC

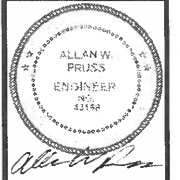
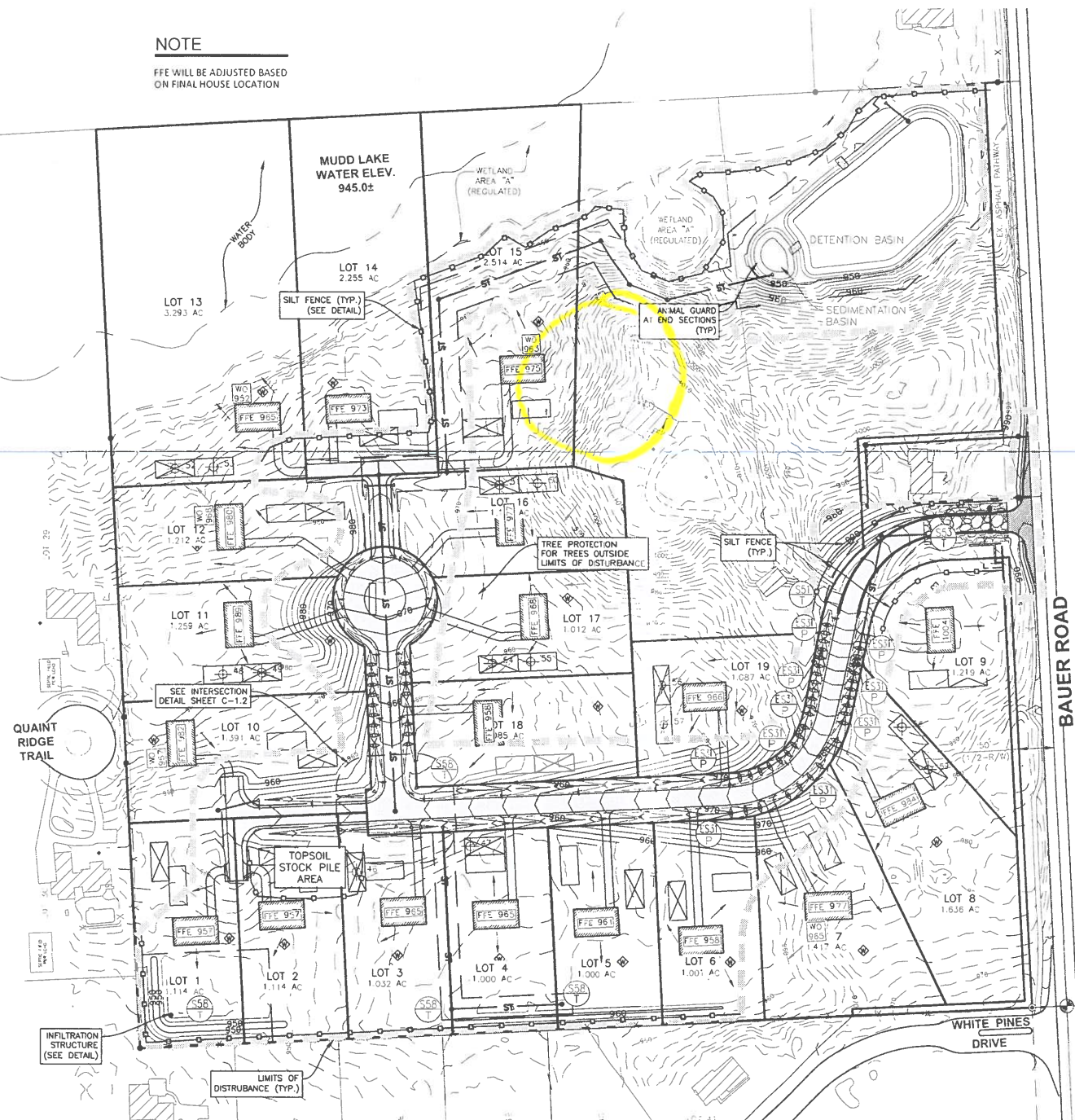
BENCHMARKS

Datum: NAVD88

- BM A:
RAIL ROAD SPIKE IN WEST FACE UTILITY POLE, 26' WEST OF CENTERLINE OF BAUER ROAD & 539' NORTH FROM SUBJECT'S SOUTH PROPERTY LINE.
Elev = 986.91
- BM B:
RAIL ROAD SPIKE IN WEST FACE UTILITY POLE, 28' WEST OF CENTERLINE OF BAUER ROAD & 58' NORTH FROM SUBJECT'S SOUTH PROPERTY LINE.
Elev = 970.48
- BM C:
RAIL ROAD SPIKE IN WEST FACE UTILITY POLE, 439' WEST OF CENTERLINE OF BAUER ROAD & 565' SOUTH FROM SUBJECT'S NORTH PROPERTY LINE.
Elev = 1013.57

NOTE

FFE WILL BE ADJUSTED BASED ON FINAL HOUSE LOCATION



Call MISS DIG
 3 full working days before you dig
 Michigan's Utility Notification Organization
 One-Call 1-800-482-7171
 www.missdig.org

CLIENT:
JOHN MORETTI
 4242 BAUER ROAD
 BRIGHTON, MI 48116

GRADING, SESC PLAN
 THE RIDGE SITE CONDOMINIUM
 4242 BAUER ROAD
 PART OF NE 1/4, SEC. 26, T2N-R5E
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
9/6/2019 <td>REVISED FINAL SITE PLAN TO TOWNSHIP</td>	REVISED FINAL SITE PLAN TO TOWNSHIP
8/21/2019 <td>REVISED FINAL SITE PLAN TO TOWNSHIP</td>	REVISED FINAL SITE PLAN TO TOWNSHIP
1/22/2019 <td>PRELIMINARY SITE PLAN TO TOWNSHIP</td>	PRELIMINARY SITE PLAN TO TOWNSHIP
1/25/2019 <td>REVISED SITE PLAN TO TOWNSHIP</td>	REVISED SITE PLAN TO TOWNSHIP
2/20/2019 <td>REVISED SITE PLAN TO TOWNSHIP</td>	REVISED SITE PLAN TO TOWNSHIP
4/17/2019 <td>FINAL SITE PLAN TO TOWNSHIP</td>	FINAL SITE PLAN TO TOWNSHIP
4/24/2019 <td>REVISED FINAL SITE PLAN TO TOWNSHIP</td>	REVISED FINAL SITE PLAN TO TOWNSHIP
6/21/2019 <td>REVISED FINAL SITE PLAN TO TOWNSHIP</td>	REVISED FINAL SITE PLAN TO TOWNSHIP
7/23/2019 <td>REVISED FINAL SITE PLAN PER LCO</td>	REVISED FINAL SITE PLAN PER LCO
7/22/2019 <td>REVISED FINAL SITE PLAN PER LCO</td>	REVISED FINAL SITE PLAN PER LCO

ORIGINAL ISSUE DATE:
 1/2/2019
 PROJECT NO: 18-025
 SCALE: 1" = 100'
 0 1/2" 1"
 FIELD: SE
 DRAWN BY: DC
 DESIGN BY: DD
 CHECK BY: AP

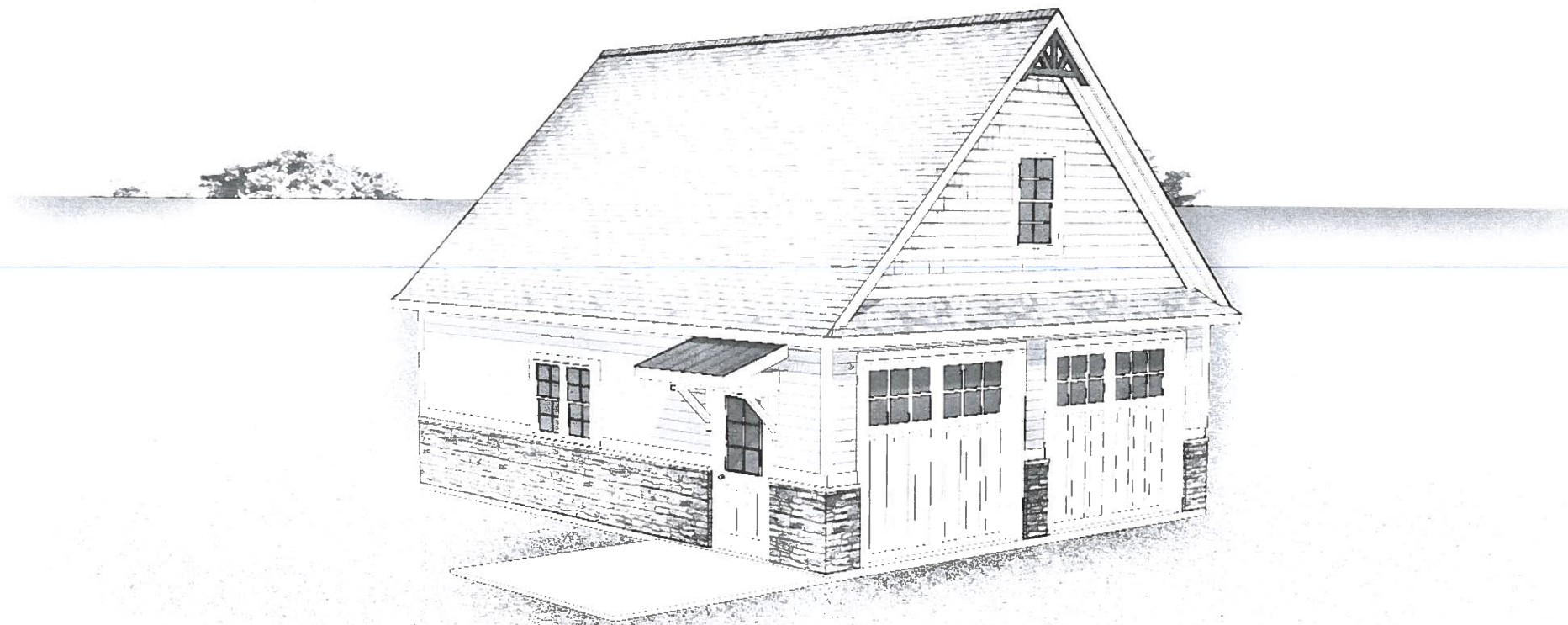
C-7.0

NOT FOR CONSTRUCTION



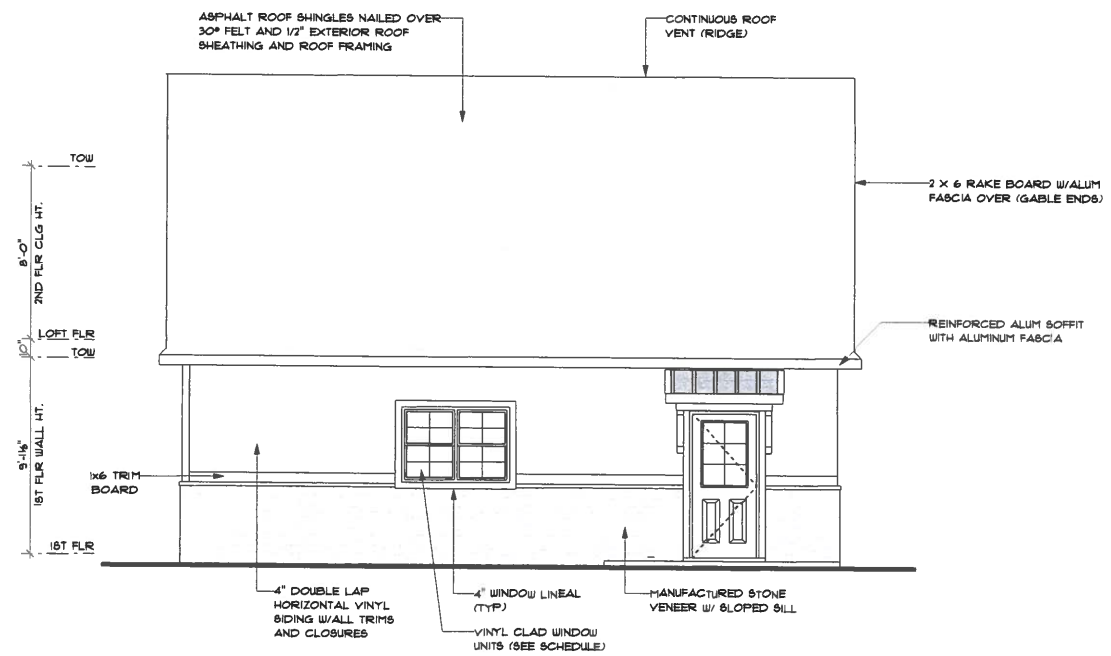
Custom Home Designs

WWW.CHD-LLC.COM

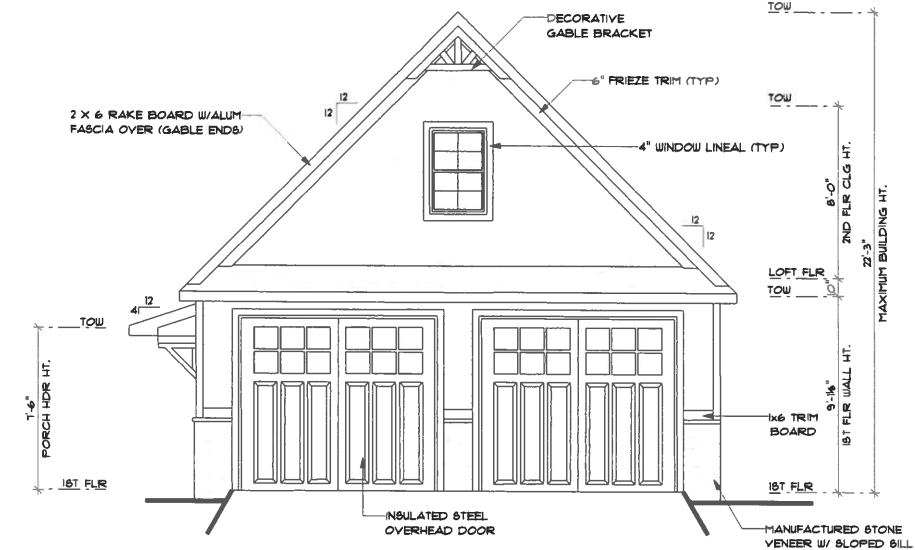


PLAN #23352

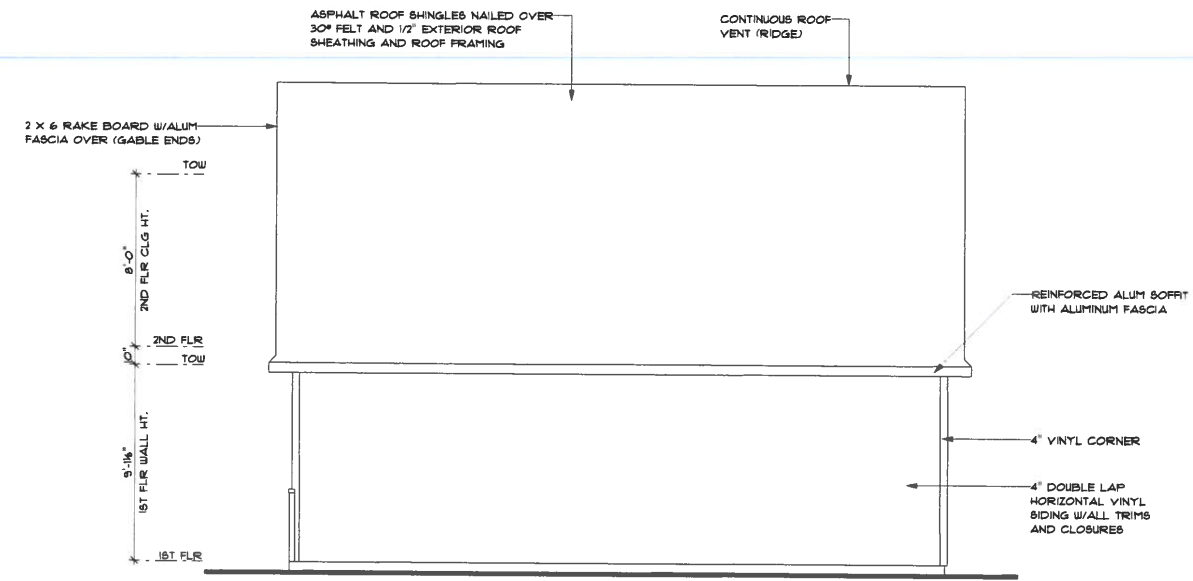
SHEET INDEX:	
SHEET #	SHEET NAME
A-1	ELEVATIONS
A-2	FLOOR PLANS
A-3	FOUNDATION PLAN & SECTION
A-4	GENERAL NOTES
E-1	ELECTRICAL PLANS



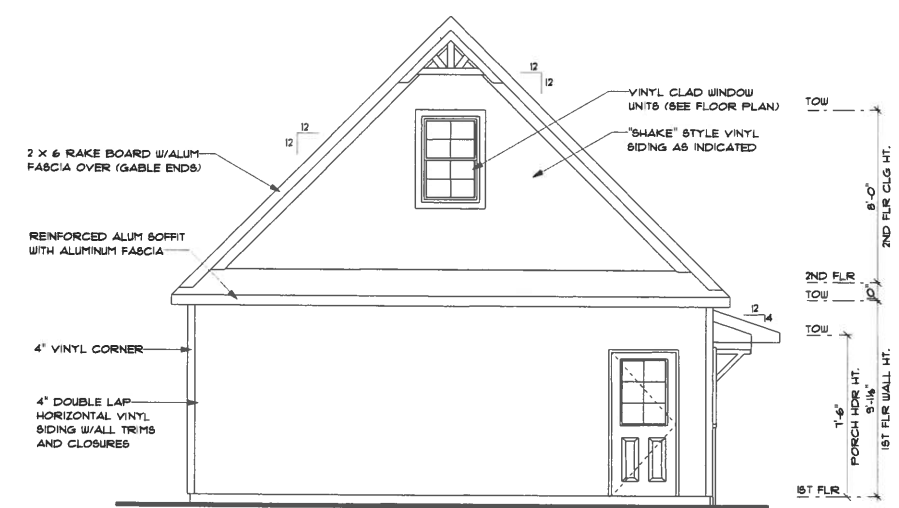
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT DETAILS	
WINDOWS:	BRAND TBD
FOUNDATION:	POURED SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"

CUSTOM HOME DESIGNS
1126 S. 50 E.
COLUMBIA CITY, IN 46725
(260) 244-5851
WWW.CHD-LLC.COM

THESE DRAWINGS ARE THE
COPYRIGHTED PROPERTY OF
THE DESIGNER,
AND ARE NOT TO BE
REPRODUCED WITHOUT HIS
WRITTEN PERMISSION

ELEVATIONS
PLAN #23352

DRAWN BY:	BG/TL/MK
PROJECT:	23352-1712
PRINT DATE:	11/14/2023
PAPER:	ARCH D
SIZE:	24" x 36"

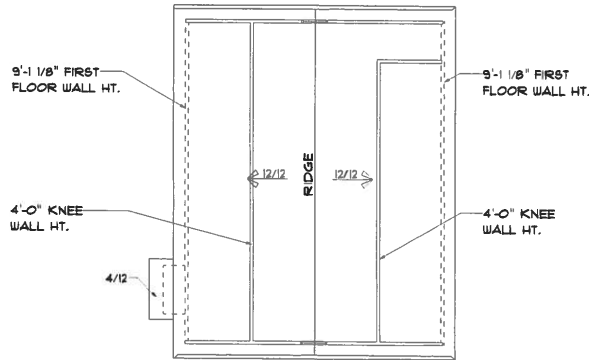
A-1

GENERAL NOTES:

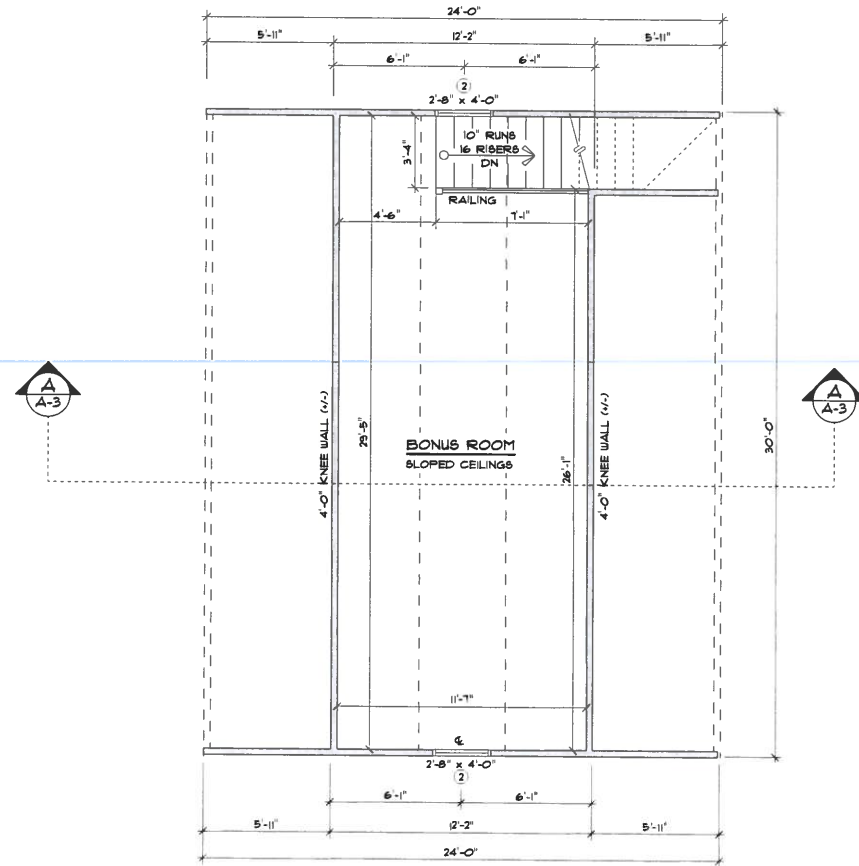
1. ALL DIMENSIONS TO FACE OF STUD WALL.
2. ALL ANGLED WALLS ASSUMED TO BE 45 DEGREES UNLESS OTHERWISE INDICATED.
3. ALL WOOD FRAMING IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE TREATED.
4. ALL EXTERIOR WALLS TO BE 2x4 (3 1/2") UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE 2x4 (3 1/2") UNLESS NOTED OTHERWISE. GARAGE WALLS TO BE 2x4 (3 1/2").
5. ALL CONSTRUCTION TO BE AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE (IRC) THAT IS CURRENTLY IN EFFECT IN THE LOCALITY THE BUILDING IS TO BE CONSTRUCTED.
6. THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN ONLY.
7. THE FINAL LAYOUT AND DETAIL OF THESE DRAWINGS ARE THE RESPONSIBILITY OF CONTRACTOR AND/OR HOMEOWNERS AND SHOULD BE VERIFIED TO BE CORRECT PRIOR TO CONSTRUCTION.
8. ANY DISCREPANCIES OR ERRORS FOUND IN THE PLANS TO BE REPORTED TO THE DESIGNER AND APPROPRIATE PLANS TO BE RE-ISSUED IF NECESSARY.
9. ALL GRADE LINES SHOWN ARE ESTIMATES OF THE FINAL GRADE AND ARE SCHEMATIC ONLY.
10. STAIR RISE & RUN CALCULATIONS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL FLOOR TO FLOOR MEASUREMENTS BEFORE COMMENCEMENT OF STAIRWAY FRAMING.
11. VERIFY SIZE AND ALL ROUGH OPENINGS REQUIRED FOR THE FIREPLACE IF REQUIRED BEFORE FRAMING.
12. ALL ROOM DIMENSIONS SHOWN DURING THE PRELIMINARY PLAN PHASE ARE TO BE CONSIDERED ROUGH DIMENSIONS AND NOT A REFLECTION OF THE FINAL ROOM SIZES.
13. WINDOW HEAD HEIGHTS SHOULD BE CHANGED IF REQUIRED FOR PROPER ROOF CLEARANCE.
14. NOT ALL FRAMING BEAMS HAVE BEEN LOCATED OR VERIFIED. LOCATION AND SIZING OF THOSE BEAMS TO BE PERFORMED BY A QUALIFIED INDIVIDUAL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY LOCATIONS OF ALL BEARING POINTS AND THICKEN ALL FLOOR SLABS AND OR FOUNDATIONS AS REQUIRED TO MEET BEARING REQUIREMENTS.
15. CONTRACTOR TO IDENTIFY ALL LOAD BEARING WALLS AND THICKEN BASEMENT SLABS APPROPRIATELY.
16. PROPER FROST PROTECTION TO BE MAINTAINED, ADJUST ALL WALLS AND OR FOOTINGS TO MAINTAIN FROST PROTECTION.

ROOF NOTES:

1. ALL EAVE OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE.
2. ALL GABLE OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE.
3. ALL OVERHANGS DIMENSIONED FROM THE EXTERIOR WALL FRAMING.
4. CHANGE HEEL HEIGHTS, BEAM HEIGHTS, WALL HEIGHTS, AND OR OVERHANG DEPTHS WHERE DIFFERING ROOF PITCHES ARE USED.
5. ASSUME 5" HEEL HEIGHT, UNLESS NOTED OTHERWISE.



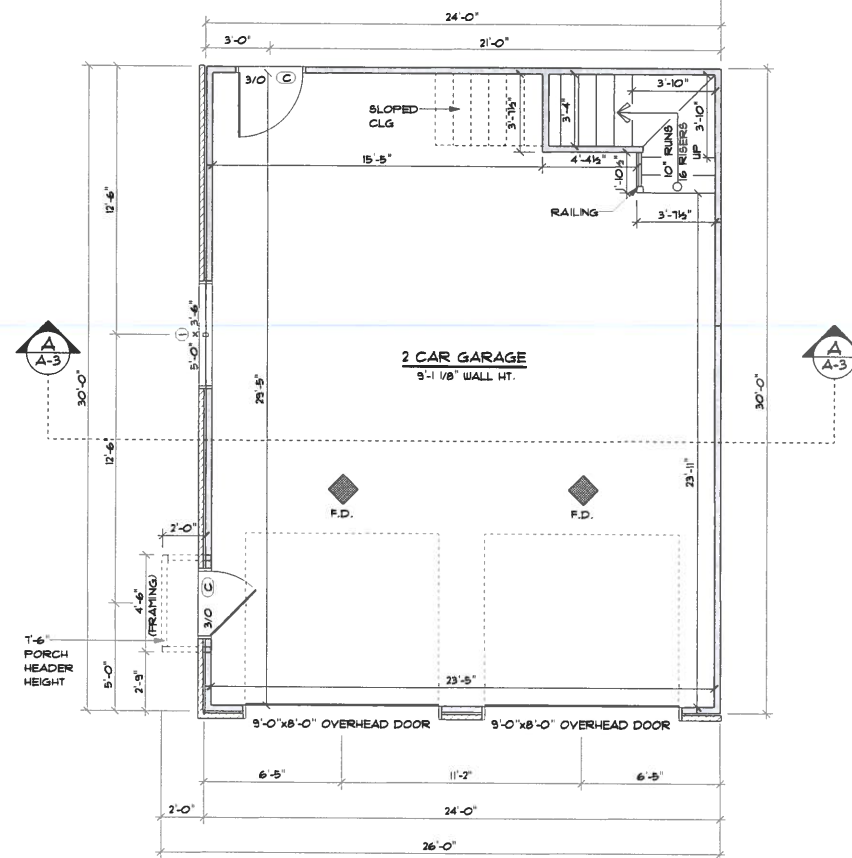
ROOF PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA SCHEDULE		
NAME	AREA	
FIRST FLOOR	721 sq ft.	
BONUS ROOM	343 sq ft.	

DOUBLE HUNG WINDOWS				
OPENING SCHEDULE				
COUNT	OPENING ID	TYPE	WIDTH	HEIGHT
2	2	WINDOW	2'-8"	4'-0"
2	C	DOOR	3'-0"	6'-8"
1	1	WINDOW	5'-0"	3'-6"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT DETAILS	
WINDOWS:	BRAND TBD
FOUNDATION:	POURED SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"

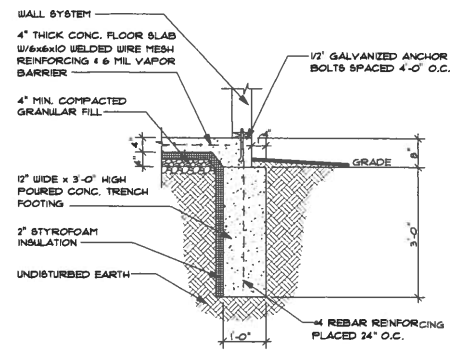
CUSTOM HOME DESIGNS
1126 S. 50 E.
COLUMBIA CITY, IN 46725
(260) 244-5851
WWW.CHD-LLC.COM

THESE DRAWINGS ARE THE
COPYRIGHTED PROPERTY OF
THE DESIGNER,
AND ARE NOT TO BE
REPRODUCED WITHOUT HIS
WRITTEN PERMISSION

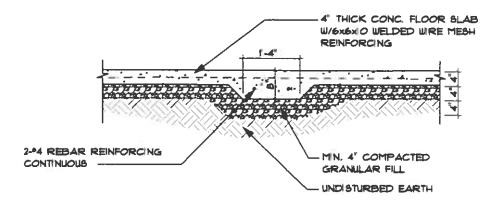
FLOOR PLANS
PLAN #23352

DRAWN BY: BG/TL/MK
PROJECT: 23352-1712
PRINT DATE:
11/14/2023
PAPER: ARCH D
SIZE: 24" x 36"

A-2

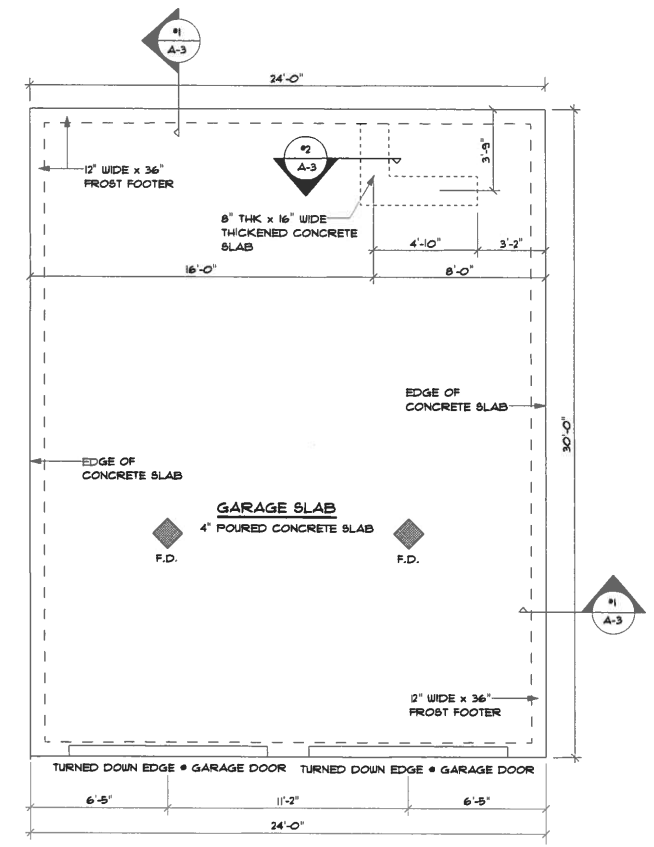


FROST WALL SECTION
A-3 SCALE: 1/2" = 1'-0"

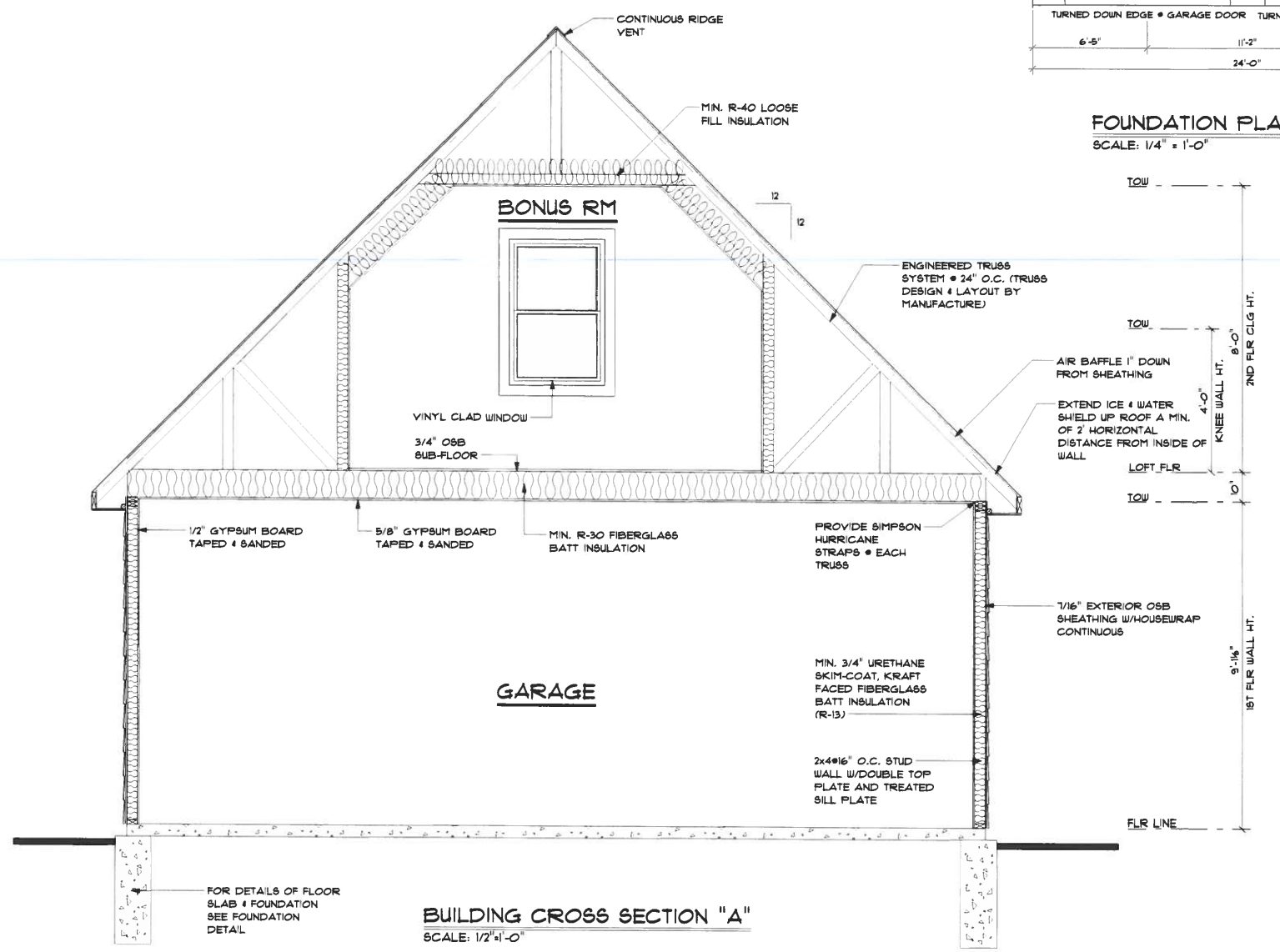


THICKENED SLAB SECTION
A-3 SCALE: 1/2" = 1'-0"

*NOTE: FINAL CONCRETE FOOTING # WALL SIZES SUBJECT TO CHANGE ACCORDING TO SOILS INVESTIGATION REPORT. ALL FOOTINGS SIZES TO BE VERIFIED BY CONTRACTOR TO HAVE ADEQUATE SOIL BEARING.
 *NOTE: FROST DEPTH TO BE CONFIRMED BY CONTRACTOR. ALL FOOTINGS TO MEET ALL FROST DEPTHS AS REQUIRED BY ALL LOCAL AND STATE CODES.
 * FINAL CONCRETE WALL HEIGHTS TO BE DETERMINED BY CONTRACTOR UPON COMPLETION OF EXCAVATION.
 * BEAM POCKET SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR BEFORE POURING OF CONCRETE WALLS.
 * ALL DIMENSIONS TO OUTSIDE OF CONCRETE WALLS.
 * THICKEN ALL FLOOR SLABS UNDER BASEMENT WALLS WHERE REQUIRED FOR FLOOR JOIST BEARING, CONTRACTOR TO DETERMINE LOCATION ON SITE.
 * WHERE BASEMENT WALLS ARE DRAIN WITH A BRICK LEDGE, ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF THE STUD FRAMING.



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



BUILDING CROSS SECTION "A"
SCALE: 1/2" = 1'-0"

PROJECT DETAILS	
WINDOWS:	BRAND TBD
FOUNDATION:	POURED SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"

CUSTOM HOME DESIGNS
 1126 S. 50 E.
 COLUMBIA CITY, IN 46725
 (260) 244-5851
 WWW.CHHD-LLC.COM

THESE DRAWINGS ARE THE
 COPYRIGHTED PROPERTY OF
 THE DESIGNER,
 AND ARE NOT TO BE
 REPRODUCED WITHOUT HIS
 WRITTEN PERMISSION

FOUNDATION PLAN & SECTION
PLAN #23352

DRAWN BY:	BG/TL/MK
PROJECT:	23352-1712
PRINT DATE:	11/14/2023
PAPER:	ARCH D
SIZE:	24" x 36"

A-3

TERMS & CONDITIONS

1. Generally, "Customer" is the person or business who purchased this design plan. "Designer" is the designer of this design plan. The "Design Plan" includes the drawings, notes, recommendations and other materials provided by Designer to Customer regarding the house designed in the Design Plan. By purchasing this Design Plan and constructing the house designed in the Design Plan (the "House"), Customer agrees to the terms and conditions stated herein.

2. Design Plan Review. The Design Plan is not a comprehensive blueprint but is intended only to provide a general layout and aesthetic design of the House. The Design Plan provides information relevant to the general design of the House, but expressly does not include all information necessary to construct the House. Customer shall have the Design Plan reviewed by all applicable contractors and engineers, who shall be responsible to add the information necessary to build the House and ensure the House as constructed complies with all applicable local laws, building codes, local custom, and is suited to the environmental conditions in the place where the House is to be built.

3. Disclaimer. BY USING THE DESIGN PLAN TO CONSTRUCT A HOUSE, CUSTOMER UNDERSTANDS AND AGREES THAT DESIGNER EXPRESSLY DISCLAIMS ALL LIABILITY ARISING FROM OR RELATED TO THE CONSTRUCTION OF THE HOUSE. In the event that Designer shall be liable for any costs or damages of Customer, such liability shall be limited to the amount Customer paid for the Design Plan. Customer and its contractors, engineers, and agents, are exclusively responsible for ensuring the House and its construction comply with all laws, rules, codes, and regulations, as well as best practices in the location where the House is built.

4. License. Designer hereby grants Customer a license to use the Design Plan to build one House. This license is not transferrable or assignable by Customer to third parties.

RECOMMENDATIONS

Designer recommends that Customer and its agents, contractors, and engineers, construct the House in accordance with the following recommendations. Notwithstanding the foregoing, Customer agrees to have the following recommendations reviewed by applicable contractors and engineers to ensure the recommendations comply with local laws, rules, and regulations, and are applicable to the environmental conditions and best practices of the location where the House is being built.

CONCRETE

ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES, AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. CONCRETE SHALL BE NORMAL WEIGHT GREY CONCRETE AND DEVELOPE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. BASEMENT AND FOUNDATION WALLS ARE TO BE CONSTRUCTED WITH POURED IN PLACE STEEL REINFORCED CONCRETE. ALL SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6X6 WELDED WIRE MESH (WWM) CONFORMING TO ASTM A185. OVERLAP WWM MINIMUM OF 6" AT ALL SPLICES. INTERIOR SLABS SHALL HAVE 6 MIL., POLYETHYLENE VAPOR BARRIER UNDERNEATH. ALL 36"x36"x18" CONCRETE PADS ARE TO HAVE FOUR #4 RODS EACH WAY. FOUNDATION'S BOLTS MUST BE ANCHORED TO SILL PLATE WITH 1/2" BOLTS EMBEDDED 15" INTO CONCRETE FOUNDATION WALL. ANCHOR BOLTS TO CONFORM TO ASTM A307. BOLTS SPACED 4'-0" O.C. LAP ALL REINFORCING BARS A LENGTH OF 30 BAR DIAMETERS, MINIMUM. PROVIDE ONE CORNER BAR, LAPPED 30 BAR DIAMETERS EACH WAY, FOR EACH PIECE OF CONTINUOUS REINFORCING. ALL CONSTRUCTION JOINTS ARE TO BE ROUGH-SURFACE AND CLEANED BEFORE THE NEXT POUR. NO HORIZONTAL CONSTRUCTION JOINTS PERMITTED IN FOUNDATION WALLS. PROVIDE EXPANSION JOINTS WHERE REQUIRED BY LOCAL CODES AND FOR REQUIREMENTS. CONTROL JOINTS IN CONCRETE SLABS SHALL BE LOCATED SO THAT THE MAXIMUM AREA WITHIN JOINTS IS 600 SF OR LESS, AND THE RATIO OF SIDE DIMENSIONS IS NO MORE THAN 2:1.

STEEL

ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL. ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH ASTM A 572 GRADE 50. ALL STRUCTURAL STEEL COLUMNS SHALL COMPLY WITH ASTM A 615 GRADE 60. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES. ALL BUTT WELDS SHALL BE FULL PENETRATION. MINIMUM SIZE OF FILLET WELDS SHALL CONFORM TO AISC SPECIFICATIONS.

WOOD FRAMING

ALL WOOD FRAMING AND MATERIALS SHALL COMPLY WITH THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. UNLESS NOTED OTHERWISE, ALL FRAMING LUMBER IS TO BE FIR #2, SOUTHERN PINE #2, OR EQUAL. LUMBER FOR 2X4 OR 2X6 STUD PARTITIONS SHALL BE STUD GRADE SPRUCE-PINE-FIR OR EQUAL. ALL EXTERIOR STUD WALLS ARE TO BE CONSTRUCTED OF 2X4 OR 2X6 STUDS AT 16" O.C. ALL STUD WALLS TALLER THAN 9'-0" ARE TO BE BLOCKED SOLID TWICE AT THE THIRD HEIGHTS. ALL HEADERS AND BEAMS ARE TO BE SUPPORTED BY BUILD-UP FRAMING LUMBER OR COLUMNS. SUPPORT IS TO BE CONTINUOUS TO THE FOUNDATION. ALL KNEE-WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4'-0" O.C. MAXIMUM. ANY STRUCTURAL AND/OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY THE CONTRACTOR. DESIGN SIZES REFERENCED FOR BEAMS OR HEADERS GIVEN ON THE PLANS ARE FOR REFERENCE ONLY. CONSULT WITH A LICENSED STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR FINAL BEAM AND HEADER SIZING. LUMBER TO BE IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED LUMBER. ALL EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALL FRAMING. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUDS. ALL EXTERIOR WALLS, INCLUDING GARAGE, ARE TO HAVE 1/2" OSB SHEATHING ON THE FACE. ALL TRUSSES ARE TO BE ENGINEERED AND CONSTRUCTED BY A TPI MEMBER TRUSS MANUFACTURER. INSTALL TEMPORARY AND PERMANENT BRIDGING PER TRUSS MANUFACTURER'S RECOMMENDATIONS. ONE ROW OF 2X4 WOOD, CROSS-BRACING OR SOLID BLOCKING, ON ALL SPANS OVER 16'-0". COLLAR TIES ARE TO BE SPACED AT 4'-0". ALL FURLINS AND KICKERS ARE TO BE 2"x6" UNLESS NOTED OTHERWISE. ANY HIP OR VALLEY RAFTERS OF 24'-0" SPAN OR GREATER ARE TO BE LAMINATED VENEER LUMBER (LVL).

DESIGN LOADS

Floor: 40 PSF Live load	Attic: 30 PSF In Storage Areas
15 PSF Dead load	10 PSF where no storage
Roof: 30 PSF Live load	Assumed Soil Bearing Capacity: 2000 PSF
15 PSF Dead Load	Verify soil bearing capacity on site.

MISCELLANEOUS

THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY SURVEYS NEEDED TO LOCATE EXISTING SITE UTILITY SERVICES AND SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING THE DISCONNECTION OF EXISTING SERVICES AND THE RECONNECTION OF NEW SYSTEMS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS PRIOR TO COMMENCEMENT OF WORK. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL HOUSE IS COMPLETELY FRAMED AND ROOF OF STRUCTURE IS IN PLACE. BACKFILL SHALL BE FREE OF DELETERIOUS MATERIAL AND SHALL HAVE A MINIMUM OF 90% STANDARD PROCTOR DENSITY. BOTTOM OF FOOTINGS TO BE BELOW FROST DEPTH. PROVIDE TERMITE PROTECTION AS REQUIRED BY HUD MINIMUM PROPERTY STANDARDS. PREFABRICATED FIREPLACES AND FLUES ARE TO BE U.L. APPROVED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL MATERIALS, SUPPLIES AND EQUIPMENT ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS. 1/2" WATER RESISTANT DRYWALL TO BE INSTALLED AROUND SHOWER AND TUBS. 1/2" DRYWALL ON INTERIOR WALLS AND 5/8" DRYWALL ON CEILING UNLESS NOTED OTHERWISE. 5/8" TYPE-X GYPSUM WALLBOARD ON GARAGE WALLS AND CEILINGS. THE CONTRACTOR IS RESPONSIBLE THAT ALL MECHANICAL AND ELECTRICAL SYSTEMS ARE DESIGNED AND INSTALLED PER APPLICABLE CODES. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE TO COORDINATE WITH THE GENERAL CONTRACTOR AS WELL AS ALL OTHER TRADES AS NECESSARY. THE GENERAL CONTRACTOR WILL COORDINATE WITH THE OWNER AND THE DESIGN CONSULTANT WITH REGARD TO THE LOCATION OF FIXTURES AND MECHANICAL SYSTEM COMPONENTS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD. "V.I.F." VERIFY IN FIELD. DIMENSION MAY BE VARIABLE OR MAY BE DETERMINED BY RELATED FACTORS.

ELECTRICAL NOTES

ELECTRICAL RECEPTACLES SHALL BE NO MORE THAN 12 FT. APART INCLUDING ANY WALL 2 FT. OR WIDER (BATHROOMS AND UTILITY ROOMS EXCEPTED).

ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP HORIZONTALLY OF THE KITCHEN SINK, IN BATHROOMS, RECEPTACLES INSTALLED WITHIN 6 FT., MEASURED IN GARAGES, OUTDOORS OR IN LAUNDRY ROOMS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION. RECEPTACLES AT CONSTRUCTION POST, GARAGE AND BATHS TO BE G.F.I.C.

ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE BEDSIDE OUTLET CONTROLLED BY SWITCH. BATHROOMS SHALL BE PROVIDED WITH SWITCHES CONTROLLING LIGHT FIXTURES AND MECHANICAL VENTILATION. EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED AT ALL DOORS TO THE EXTERIOR. SWITCHES SHALL BE PROVIDED NEAR DOORS CONTROLLING OUTDOOR LIGHT FIXTURES.

A BARE COPPER WIRE (20 FT. OF #2) SHALL BE WRAPPED AROUND THE LOWEST PIECE OF FOOTING REBAR AND SHALL TERMINATE WITH ENOUGH WIRE TO REACH THE ELECTRICAL SERVICE PANEL FOR USE AS A GROUND SOURCE.

PRE-WIRE FOR PHONE AND T.V. 200 AMP MAIN PANEL WITH CIRCUIT PANELS. MINIMUM 12 GAUGE WIRE THROUGH-OUT. REINFORCE ALL CEILING MOUNTED LIGHTS, FIXTURES, AND/OR DEVICES.

PROVIDE FRONT DOOR CHIME.

OUTLETS, SWITCH BOXES AND DEVICES ON EXTERIOR WALLS SHALL BE INSTALLED WITH SEALANT, GASKETING AND FLASHINGS AS REQUIRED.

AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED IN ATTICS, UNDER FLOOR SPACE, IN UTILITY ROOMS, IN BASEMENTS USED FOR STORAGE OR WHERE EQUIPMENT EXTERIOR EXITS REQUIRING SERVICING IS LOCATED, AND AT BASEMENT

PROVIDE A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

RECEPTACLES ARE REQUIRED AT THE FRONT AND REAR OF THE HOME, AND THEY MUST BE WITHIN 6'-6" OF GRADE, AND WEATHERPROOF (GFCI) PROTECTED.

EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS OR AUTOMATIC DAMPERS.

ELECTRICAL LIGHTING FIXTURES IN CLOTHES CLOSET SHALL BE INSTALLED WITH A MINIMUM OF 18 INCHES CLEARANCE TO COMBUSTIBLE MATERIALS. FIXTURES SHALL BE VERTICALLY CLEAR TO FLOOR OR RECESSED. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

FIRE-WARNING SYSTEMS

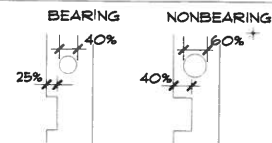
PROVIDE MINIMUM OF ONE SMOKE DETECTOR PER FLOOR.

SMOKE DETECTORS TO BE PROVIDED ABOVE DOOR AT EACH SLEEPING ROOM.

CONNECT SMOKE DETECTORS TO HOUSE POWER AND INSTALL INTERCONNECT SO THAT WHEN ANY ONE IS TRIPPED, ALL UNITS WILL SOUND.

PROVIDE BATTERY BACK-UP FOR ALL UNITS.

NOTCHING AND BORING STUDS:



SOUND INSULATION

PROVIDE SOUND INSULATION IN ALL WALLS BETWEEN BATHROOMS AND ADJACENT ROOMS.

ALL EXPOSED INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITH IN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 WITH A ACCOMPANYING SMOKE DEVELOPED FACTOR NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE ASTM E 84. EXCEPTION: WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME-SPREAD AND SMOKE-DEVELOPMENT LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH.

PLUMBING NOTES

PLUMBING FIXTURES:
WATER CLOSET = 1.6 GALLONS PER FLUSH MAX.
SHOWERHEAD = 2.5 GPM MAX.
LAVATORY FAUCETS = 2.2 GPM MAX.
SINK FAUCETS = 2.2 GPM MAX.

WATER USAGE LABELS SHALL BE LEFT ON PLUMBING FIXTURES UNTIL FINAL INSPECTION HAS BEEN DONE SO THAT PROOF OF WATER USAGE COMPLIANCE CAN BE VERIFIED BY THE BUILDING DEPARTMENT.

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOP SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEG. F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION.

WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FT. OR LESS THAN 6 IN. ABOVE THE GRADE, POINTING DOWNWARD.

PROVIDE COMBUSTION AIR VENTS (WITH SCREEN AND BACK DAMPER) FOR ANY APPLIANCE WITH OPEN FLAME PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR AT MAXIMUM 3 FEET FROM EVERY GAS APPLIANCE

UNDERGROUND FERROUS GAS PIPING SHALL BE ELECTRICALLY ISOLATED FROM TO REST OF THE GAS SYSTEM WITH LISTED ISOLATION FITTINGS INSTALLED A MINIMUM OF 6 IN. ABOVE GRADE.

ALL EXTERIOR HOSE BIBS TO HAVE NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

PROVIDE AN ACCESS DOOR, 18" x 24" MINIMUM, WITHIN 20 FT. OF THE PLUMBING CLEANOUT.

ALL DISHWASHER WASTE LINES SHALL BE PROVIDED WITH AN APPROVED AIRGAP SEPARATION DEVICE.

PROVIDE MIN. 30 INCH WIDE SPACE AT WATER CLOSET, EXTENDING AT LEAST 30 INCHES IN FRONT.

NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST 6 IN. ABOVE GRADE OR STRUCTURE.

INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PROJECT DETAILS

WINDOWS:	BRAND TBD
FOUNDATION:	POURED SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"

CUSTOM HOME DESIGNS
1126 S. 50 E.
COLUMBIA CITY, IN 46725
(260) 244-5851
WWW.CHD-LLC.COM

THESE DRAWINGS ARE THE
COPYRIGHTED PROPERTY OF
THE DESIGNER,
AND ARE NOT TO BE
REPRODUCED WITHOUT HIS
WRITTEN PERMISSION

GENERAL NOTES

PLAN #23352

DRAWN BY:	BG/TL/MK
PROJECT:	23352-1712
PRINT DATE:	11/14/2023
PAPER:	ARCH D
SIZE:	24" x 36"

A-4

PROJECT DETAILS

WINDOWS:	BRAND TBD
FOUNDATION:	POURED SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'11 1/8"

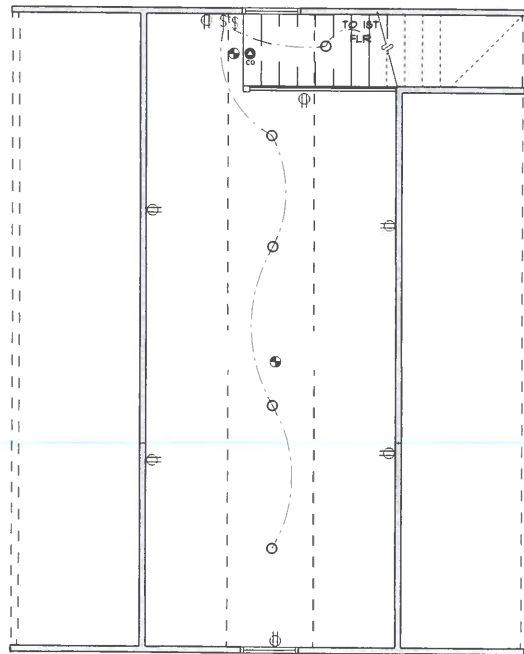
CUSTOM HOME DESIGNS
 1126 S. 50 E.
 COLUMBIA CITY, IN 46725
 (260) 244-5851
 WWW.CHHD-LLC.COM

THESE DRAWINGS ARE THE
 COPYRIGHTED PROPERTY OF
 THE DESIGNER,
 AND ARE NOT TO BE
 REPRODUCED WITHOUT HIS
 WRITTEN PERMISSION

ELECTRICAL PLANS
PLAN #23352

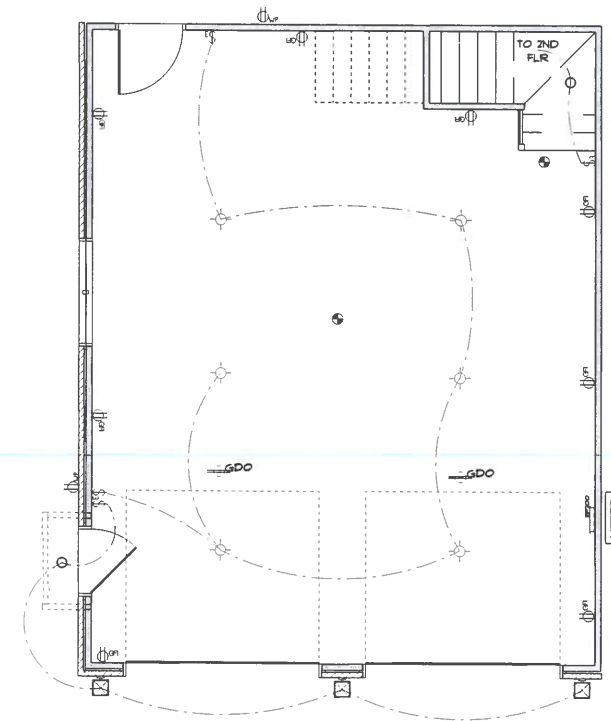
DRAWN BY: BG/TL/MK
 PROJECT: 23352-1712
 PRINT DATE:
 11/14/2023
 PAPER: ARCH D
 SIZE: 24" x 36"

ELECTRICAL LEGEND		
COUNT	SYMBOL	ELECTRICAL
5	○	CAN LIGHT 6"
7	⊕	OUTLET
2	⊕	SMOKE DETECTOR
1	⊕	SWITCH
1	⊕	SWITCH 3 WAY
1	TO 1ST FLR	TO 1ST FLR
1	CO	CO detector



LOFT ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND		
COUNT	SYMBOL	ELECTRICAL
1	⊕	200 AMP PANEL
2	○	CAN LIGHT 6"
3	⊕	EXTERIOR LIGHT
6	⊕	LIGHT
1	METER	METER
2	GDO	OUTLET GARAGE DOOR
8	⊕	OUTLET GFI
2	⊕	OUTLET UP
2	⊕	SMOKE DETECTOR
1	⊕	SWITCH
3	⊕	SWITCH 3 WAY
1	TO 2ND FLR	TO 2ND FLR



FIRST FLOOR ELECTRIC PLAN
 SCALE: 1/4" = 1'-0"

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
MITCH HARRIS BUILDING COMP	MOORE DEATRICK & LEAH	250,000	11/17/2020	WD	03-ARM'S LENGTH	2020R-044354	BUYER/SELLER	100.0
THE RIDGE AT BRIGHTON LLC	MITCH HARRIS BUILDING COMP	125,000	04/22/2020	LC	16-LC PAYOFF	2020R-013006	BUYER/SELLER	0.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LDR	Building Permit(s)	Date	Number	Status
4313 RIDGE LAKE CT	School: BRIGHTON AREA SCHOOLS		Basement Finish	12/18/2023	PW23-173	
	P.R.E. 100% 03/04/2022		Swimming Pool	05/24/2023	P23-093	
Owner's Name/Address	MAP #: V24-18		Residential New Constructi	10/15/2020	P20-174	7 FINAL BL
MOORE DEATRICK & LEAH 4313 RIDGE LAKE CT BRIGHTON MI 48116	2025 Est TCV Tentative					
	X Improved	Vacant	Land Value Estimates for Land Table 4054.4054 THE RIDGE SITE CONDOMINIUM			
	Public Improvements		* Factors *			

Tax Description	Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
SEC 26 T2N R5E THE RIDGE SITE CONDOMINIUMS SITE #15 SPLIT/COMBINED ON 03/27/2020 FROM 4711-26-200-035, 4711-26-200-036, 4711-26-200-037;	Dirt Road					295000	100		295,000
	Gravel Road					211 Actual Front Feet, 2.51 Total Acres		Total Est. Land Value =	295,000
	Paved Road					Land Improvement Cost Estimates			
	Storm Sewer					Rate	Size	% Good	Cash Value
	Sidewalk					30.48	1799	50	27,417
	Water					52.49	800	50	20,996
	Sewer					Total Estimated Land Improvements True Cash Value =			48,413
	Electric								
	Gas								
	Curb								
	Street Lights								
	Standard Utilities								
	Underground Utils.								

Comments/Influences	Topography of Site	Level	Rolling	Low	High	Landscaped	Swamp	Wooded	Pond	X Waterfront	Ravine	Wetland	Flood Plain
Split/Comb. on 03/27/2020 completed 03/27/2020 Duffy ; Parent Parcel(s): 4711-26-200-035, 4711-26-200-036, 4711-26-200-037; Child Parcel(s): 4711-26-200-038, 4711-26-200-039, 4711-26-200-040, 4711-26-202-001, 4711-26-202-002, 4711-26-202-003, 4711-26-202-004, 4711-26-202-005, 4711-26-202-006, 4711-26-202-007, 4711-26-202-008, 4711-26-202-009, 4711-26-202-010													

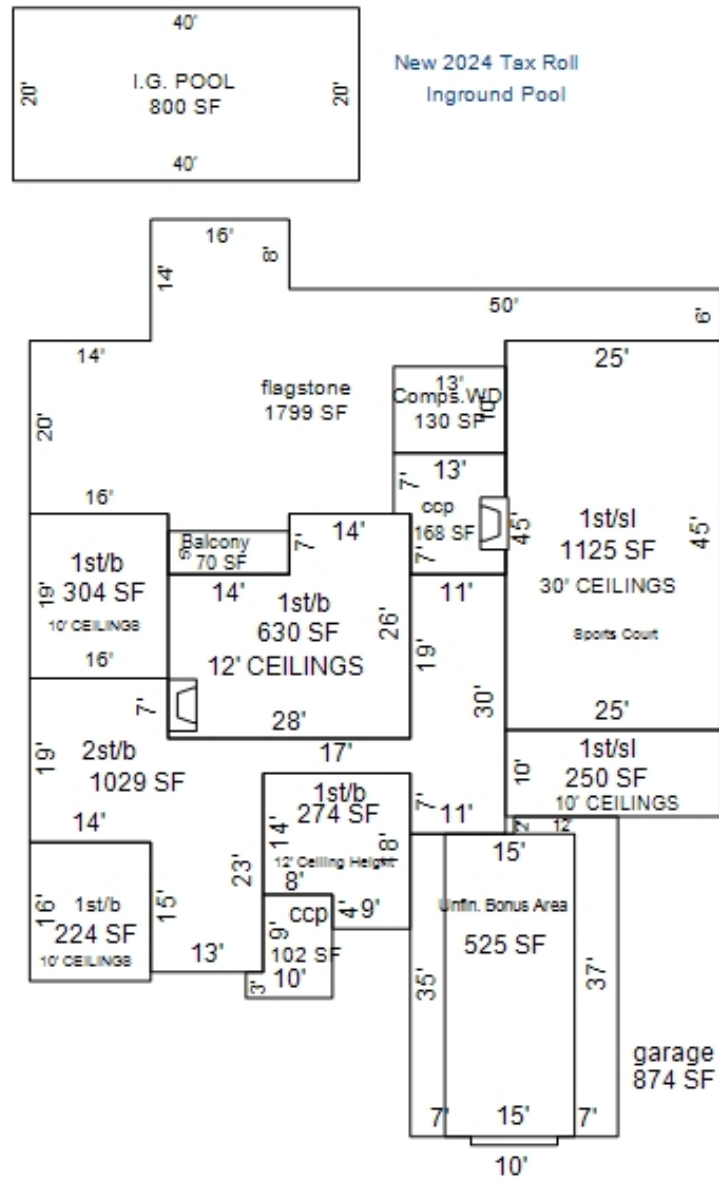


Who	When	What	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
4711-26-202-015	12/21/2021	JB 11/02/2023 INSPECTED	2025	Tentative	Tentative	Tentative			Tentative
The Equalizer. Copyright (c) 1999 - 2009.		JB 11/08/2021 INSPECTED	2024	120,000	487,000	607,000			578,662C
Licensed To: Township of Genoa, County of Livingston, Michigan		JB 05/18/2021 INSPECTED	2023	115,000	429,700	544,700			526,155C
			2022	115,000	544,100	659,100	501,100M		501,100S

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame	X	Eavestrough Insulation	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 2 Direct-Vented Gas	Area 168 102 130 70	Type CCP (1 Story) CCP (1 Story) Composite Wood Balcony	Year Built: Car Capacity: Class: B Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1.5 Wal Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 874 % Good: 0 Storage Area: 525 No Conc. Floor: 0 Bsmnt Garage: Carport Area: Roof:
X	Wood Frame	(4) Interior		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling												
Building Style: B		X	Drywall Paneled													
Yr Built 2020	Remodeled 0	Ex	X	Ord												
Condition: Good		Trim & Decoration														
Room List		Doors:		Solid	X											
	Basement 1st Floor 2nd Floor 4 Bedrooms	(5) Floors		(12) Electric			0 Amps Service			No./Qual. of Fixtures						
(1) Exterior		Kitchen: Other: Other:		Ex. X Ord. Min			No. of Elec. Outlets			Cost Est. for Res. Bldg: 1 Single Family B			Cls B 10 Blt 2020			
X	Wood/Shingle Aluminum/Vinyl Brick Vinyl Insulation	(6) Ceilings		Many X Ave. Few			(13) Plumbing			Ground Area = 2711 SF Floor Area = 3740 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=100/100/100/100/100						
(2) Windows		(7) Excavation		(14) Water/Sewer			Average Fixture(s)			Building Areas						
X	Many Avg. Few	X	Large Avg. Small	Basement: 2461 S.F. Crawl: 0 S.F. Slab: 250 S.F. Height to Joists: 0.0			4 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Stories Exterior Foundation 1 Story Siding/Brick Basement 224 1 Story Siding/Brick Basement 304 1 Story Siding/Brick Basement 274 1 Story Siding/Brick Basement 630 1 Story Siding/Brick Slab 250 2 Story Siding/Brick Basement 1,029 Total: 836,636 836,635			Other Additions/Adjustments			
X	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(8) Basement		1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Basement, Outside Entrance, Below Grade			Plumbing			1 4,408 4,408			
(3) Roof		(9) Basement Finish		3 Fixture Bath 2 Fixture Bath Extra Sink Water/Sewer 1000 Gal Septic Water Well, 200 Feet			3 Fixture Bath 3 32,469 32,469 2 Fixture Bath 1 7,215 7,215 Extra Sink 1 1,797 1,797			Water/Sewer 1000 Gal Septic 1 6,331 6,331 Water Well, 200 Feet 1 12,792 12,792						
X	Gable Hip Flat		Gambrel Mansard Shed	1 Walkout Doors (B) No Floor SF Walkout Doors (A)			Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			Porches CCP (1 Story) 168 6,700 6,700 CCP (1 Story) 102 4,202 4,202						
X	Asphalt Shingle	(10) Floor Support		Lump Sum Items:			Balcony Wood Balcony, Roof 70 6,446 6,446			Garages Class: B Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 874 62,185 62,185						
Chimney:		Joists: Unsupported Len: Cntr.Sup:								<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>						

*** Information herein deemed reliable but not guaranteed***



New 2024 Tax Roll
Inground Pool

New 2025 Tax Roll
FINISHED BSMT
Walk-out Basement
1824 SQ FT
1 FULL BATH
1 HALF BATH
DV Fireplace

4 BEDROOMS
4 FULL BATH
1 HALF BATH
1 EXTRA SINK
1 DVFP
A/C
W/O BSMT
1 OUTDOOR FP
CNC DW - N/V

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-19 Meeting Date: June 18, 2024 @ 6:30pm
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Adam K. Wolak Email: adammmklaw@yahoo.com

Property Address: 916 SunrisePk. St, Howell Phone: 313 310 9859

Present Zoning: _____ Tax Code: 4711-09-201-233

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: REQUESTING 12' REAR
YARD ~~SETBACK~~ VARIANCE. EXISTING SHED TO BE
REMOVED. THIS IS A NON-CONFORMING LOT AS
IT EXISTS

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

THE 40' REAR YARD SETBACK + THE RESULTING NARROW BUILDING ENVELOPE DO NOT ALLOW FOR PROPER DESIGN + DIMENSIONS. GRANTING THE APPEAL WOULD ALLOW FOR A PROPER HOME AND NOT JUST A COTTAGE. NEIGHBORING PROPERTIES HAVE BEEN GRANTED SIMILAR APPEALS BENEFITING ALL.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

THE 40' REAR YARD SETBACK CREATES A SMALL + NARROW BUILDING ENVELOPE. GRANTING THE VARIANCE ALLOWS FOR PROPER DESIGN AND IS CONSISTENT WITH NEIGHBORING PROPERTIES WHERE VARIANCES HAVE BEEN GRANTED PREVIOUSLY.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

THIS IS A TRUE STATEMENT.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

THIS IS A TRUE STATEMENT. IN FACT, IT MAY INCREASE VALUES OF NEIGHBORING PROPERTIES

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 5-16-24 Signature: Adam K Weber



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: June 7, 2024
RE: ZBA 24-19

File Number: ZBA#24-19

Site Address: 916 Sunrise Park Drive

Parcel Number: 4711-09-201-233

Parcel Size: 0.311

Applicant: Adam Wolak

Property Owner: Adam Wolak, 916 Sunrise Park Drive, Howell

Information Submitted: Application, site plan, building plans

Request: Dimensional Variance

Project Description: Applicant is requesting a rear yard setback variance to construct an addition to an existing single-family home.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, home was constructed in 1940.
- See Record Cards.
- The property is serviced by public sewer and a private well.
- The parcel does not require a grinder pump. Utility Dept. approval is not required.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The applicant is proposing to construct an addition. In order to construct the proposed addition, the applicant must request a rear yard setback variance. The existing home encroaches into the rear yard setback however the addition is proposed to encroach further into the rear yard setback.

The applicant has indicated that the existing shed will be removed.

Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

Section 03.04.01: Residential Schedule of Area and Bulk Requirements.

Required Rear Yard Setback: 40'

Proposed Rear Yard Setback: 28'

Proposed Variance Amount: 12'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** – Strict compliance with the rear yard setback would prevent the applicant from constructing the addition. It would not prevent the use of the property. There are other homes in the vicinity that have reduced rear yard setbacks, however the parcels have topography issues and are narrower compared to the applicant's parcel. It appears that this parcel is larger than a majority of the parcels in the area. Granting of the requested variance could do substantial justice to the applicant and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district only and not in the vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the current home. Applicant should demonstrate that the variance request is the least amount necessary. The need for the variance might be self-created if the house can be designed to not require a variance.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval:

1. Structure must be guttered with downspouts.
2. Any retaining walls must comply with Article 11.04.03 (J) Retaining walls section of the Zoning Ordinance.
3. Building height cannot exceed 25 feet.
4. Shed shall be removed.



860

870

880

890

885

895

903

916

921

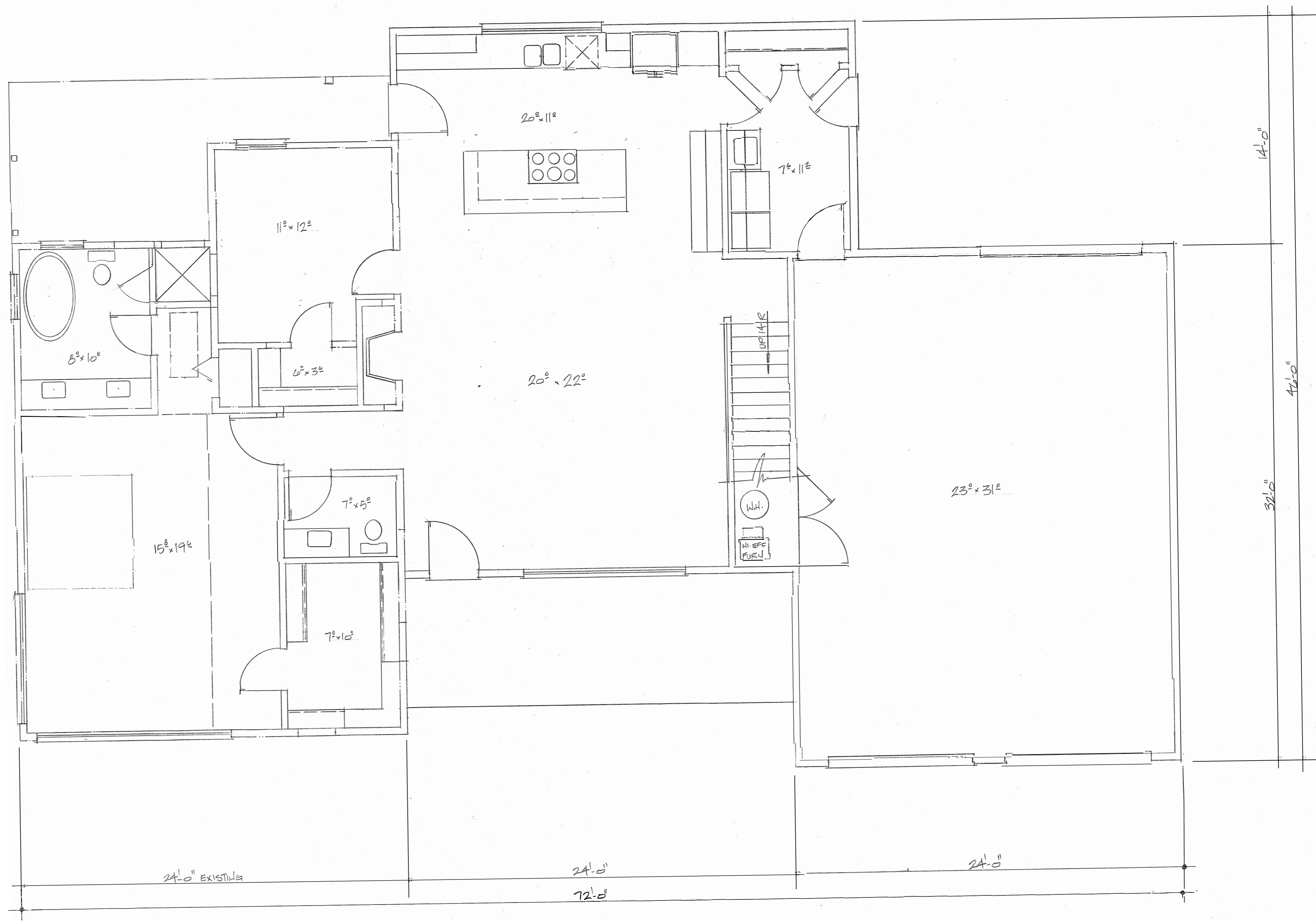
924

911

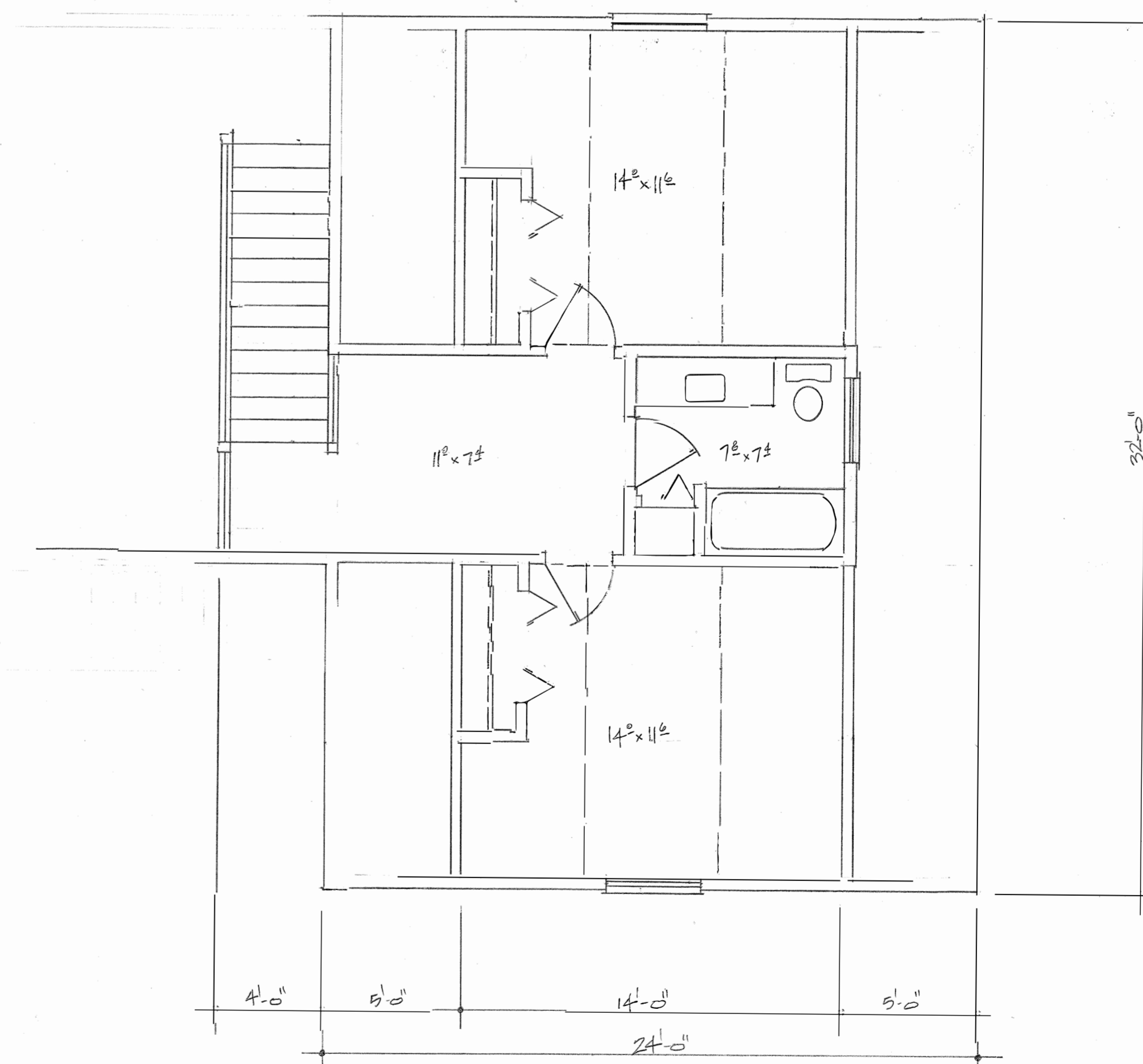
932

929

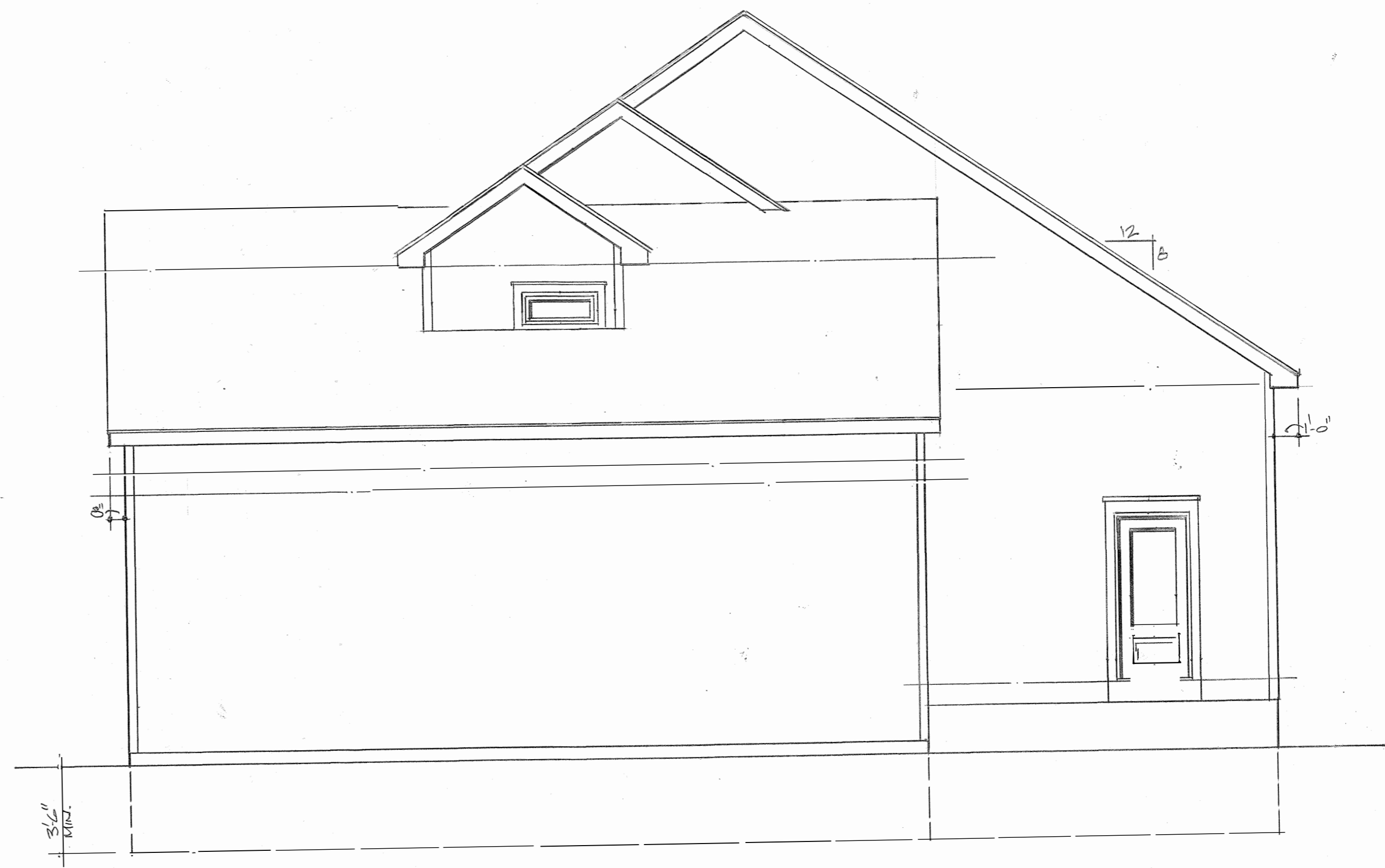
935



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

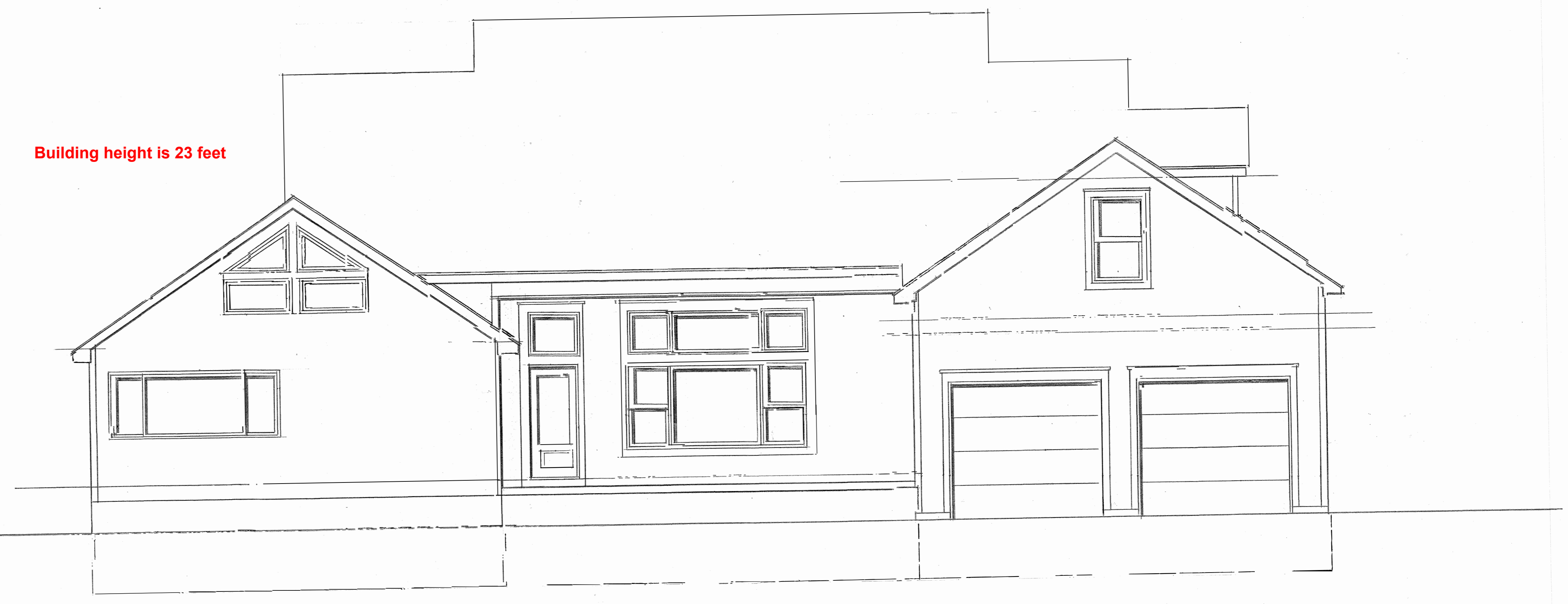


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

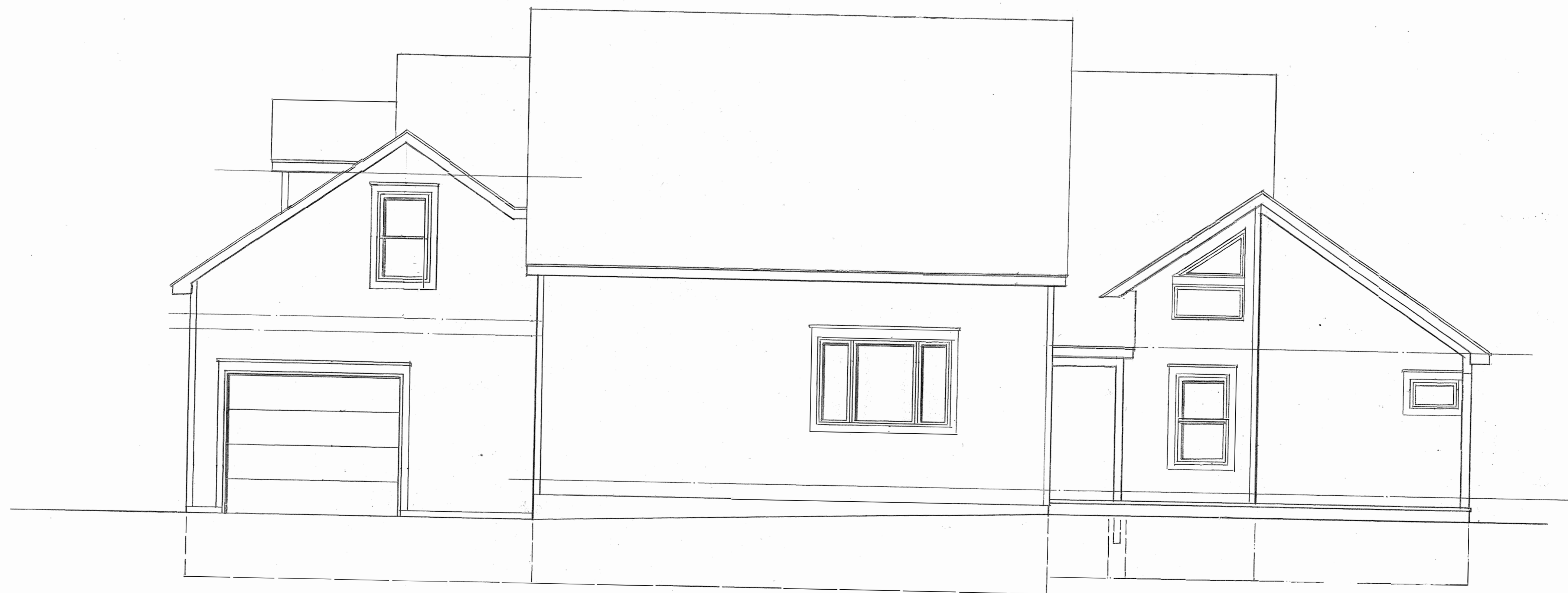
Building height is 23 feet



EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
DZYNGEL, CHRISTINE	WOLAK ADAM	1	08/29/2023	QC	09-FAMILY	2023R-023429	BUYER/SELLER	0.0				
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR	Building Permit(s)	Date	Number	Status				
916 SUNRISE PARK ST		School: HOWELL PUBLIC SCHOOLS										
Owner's Name/Address		P.R.E. 0%										
WOLAK ADAM 916 SUNRISE PARK ST HOWELL MI 48843-7501		MAP #: V24-19		2025 Est TCV Tentative								
Tax Description		X	Improved	Vacant	Land Value Estimates for Land Table 4301.4301 LAKE CHEMUNG NON LAKE FRONT							
SEC 9 T2N R5E SUNRISE PARK, LOT 117 & 118 COMBINED ON 08/31/2015 FROM 4711-09-201-130, 4711-09-201-129; Comments/Influences Split/Comb. on 08/31/2015 completed 08/31/2015 Duffy ; Parent Parcel(s): 4711-09-201-130, 4711-09-201-129; Child Parcel(s): 4711-09-201-233; -----		Public Improvements		* Factors *								
		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
		Gravel Road		A NON LF	50.00	110.00	1.0000	1.0000	900	100		45,000
		Paved Road		B NONLF SURPLUS	73.00	110.00	1.0000	1.0000	630	100		45,990
		Storm Sewer		123 Actual Front Feet, 0.31 Total Acres				Total Est. Land Value =		90,990		
		Sidewalk		Land Improvement Cost Estimates								
		Water		Description	Rate		Size % Good		Cash Value			
		Sewer		Wood Frame	24.85		144 49		1,753			
		Electric		Total Estimated Land Improvements True Cash Value =				1,753				
		Gas										
		Curb										
		Street Lights										
		Standard Utilities										
		Underground Utils.										
Topography of Site		Level		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
		Rolling		2025	Tentative	Tentative	Tentative			Tentative		
		Low		JB 04/18/2023	REVIEWED R	2024	43,300	61,900	105,200	58,464C		
		High		LM 09/01/2015	REVIEWED R	2023	42,000	47,100	89,100	55,680C		
		Landscaped		2022	42,000	35,700	77,700			53,029C		
		Swamp										
		Wooded										
		Pond										
		Waterfront										
		Ravine										
		Wetland										
		Flood Plain										

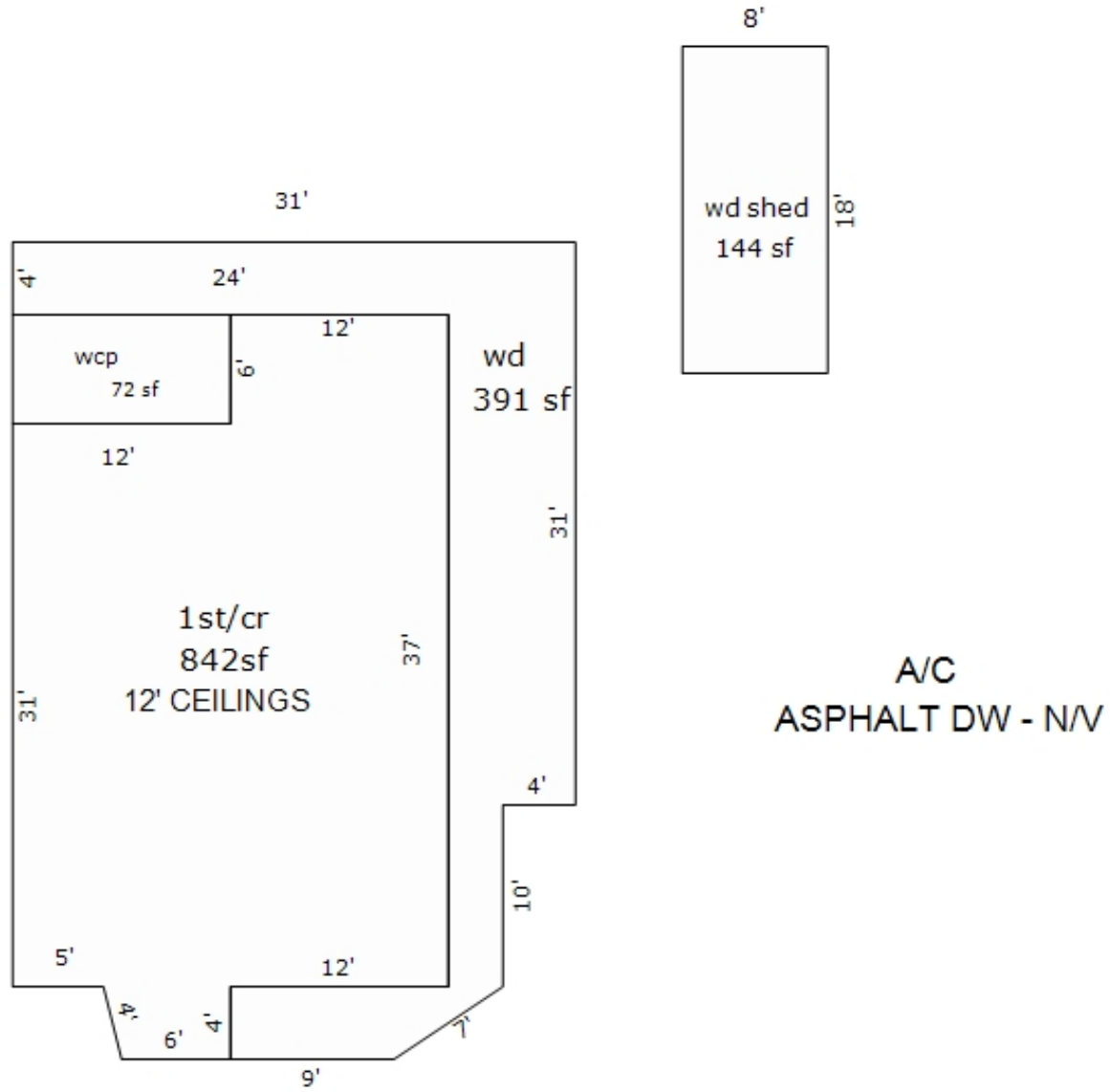


The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

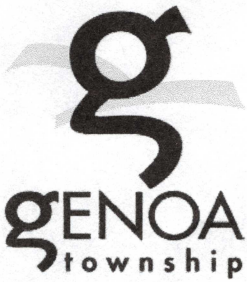
*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 72 391	Type WCP (1 Story) Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:			
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling												
Building Style: CD		Drywall Paneled	Plaster Wood T&G	Trim & Decoration													
Yr Built 1940	Remodeled 0	Ex	X Ord	Min	Size of Closets												
Condition: Good		Lg	X Ord	Small	Central Air Wood Furnace												
Room List		Doors:	Solid X	H.C.	(5) Floors												
	Basement 1st Floor 2nd Floor 2 Bedrooms	Kitchen: Other: Other:			(12) Electric												
(1) Exterior		0 Amps Service			No./Qual. of Fixtures												
X	Wood/Shingle Aluminum/Vinyl Brick Insulation	Ex.	X Ord.	Min	No. of Elec. Outlets												
(2) Windows		Many	X Avg.	Few	Many	X Ave.	Few	(13) Plumbing									
X	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Basement: 0 S.F. Crawl: 842 S.F. Slab: 0 S.F. Height to Joists: 0.0			Average Fixture(s) 1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan												
(3) Roof		(7) Excavation			(14) Water/Sewer												
X	Gable Hip Flat	Gambrel Mansard Shed	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)			Public Water Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic											
X	Asphalt Shingle	(8) Basement			Lump Sum Items:												
Chimney: Brick		(9) Basement Finish			Notes: ECF (4305 SUNRISE PARK NON LAKEFRONT) 1.300 => TCV: 120,545												
		(10) Floor Support			Joists: Unsupported Len: Cntr.Sup:												

*** Information herein deemed reliable but not guaranteed***



*** Information herein deemed reliable but not guaranteed***



**GENOA CHARTER TOWNSHIP
USE VARIANCE APPLICATION**

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-20

Meeting Date: June 18, 2024 @ 6:30 pm
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: James Frederick Email: cloud 9 special events@gmail.com

Property Address: 1632 High Haven, Brighton Phone: 313 363-5312

Present Zoning: _____ Tax Code: 4711-12-401-088

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Requesting an
18-21 ft set back from the front property line
as opposed to the required 35 ft.
(my property on record states it is a 60 x 125
but I measured 60 - 128)

The following is per Article 23.05.04 of the Genoa Township Ordinance:

Criteria Applicable to Use Variances. The Board of Appeals may grant a use variance only upon a finding that an unnecessary hardship exists. A use variance is approval to allow a use that is otherwise not permitted in a zoning district.

A finding of an unnecessary hardship shall require demonstration by the applicant of all of the following:

Under each please indicate how the proposed project meets each criteria.

Unreasonable Current Zoning Designation. Demonstrate that the site cannot reasonably be used for any of the uses allowed within the current zoning district designation. The Board of Appeals may require submission of documentation from professionals or certified experts to substantiate this finding.

The land is 60 x 125 and my home is 27 x 60 not leaving enough room for the 35 ft front set back

Unique Circumstances. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district. Must prove that there are certain features or conditions of the land that are not generally applicable throughout the zone and that these features make it impossible to earn a reasonable return without some adjustment.

This is a small lot and I already own the home that I want to put on it. I am just asking for a few feet to make it work

Not Self-Created. The problem and resulting need for the variance has not been self-created. The Board of Appeals shall consider changes made to the property by the applicant and near term predecessors.

I am not responsible for self creating this issue.

Capacity of Roads, Infrastructure and Public Services. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised.

My home will be well within the property line and not affect or compromise the above mentioned.

Character of Neighborhood. The use variance will not alter the essential character of the neighborhood nor be a detriment to adjacent properties.

The home will not stand out in any way, shape or form different to the character of the neighborhood

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 5/20/2024 Signature: 



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

CORRECTED MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: June 10, 2024

RE: ZBA 24-20

STAFF REPORT

File Number: ZBA#24-20
Site Address: 1632 High Haven
Parcel Number: 4711-12-401-088
Parcel Size: Platted 60 x 125
Applicant: James Frederick
Property Owner: Patricia Cagnoli, 7918 Birkenstock, Brighton
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a **front** yard variance to allow for new single-family home.

Zoning and Existing Use: MHP (Mobile Home Estates) The property is vacant.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, the existing home was demolished in 2020.
- In 2020, a land use waiver was issued for the demotion of a single-family home.
- The property will be serviced with a private well and private septic system.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The proposed project is to install a new single-family home on the vacant lot. In order to install the single-family home, a front yard setback variance is required. Applicant states that he measured the lot to be 60 X 128. Staff has included the plat map for Suburban Estates. The plat map states that the lot is 60 x 125. Without a certified survey indicating the plat map is incorrect, staff reviewed the request as the lot is platted (60 x 125).

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

TABLE 4.05.01 DESIGN STANDARDS FOR INDIVIDUAL LOTS (MHP District):

Required Front Yard Setback: 35'

Proposed Front Yard Setback: 18'

Proposed Variance Amount: 17'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would not unreasonably prevent use of the property. The applicant could reduce the size of the new home to negate the need for the variance. Staff reviewed the square footage of homes in the immediate area, the requested home would be one of the largest homes in the area. A home the same size is located across the street however it is located on a double lot. There do not appear to be other homes in the immediate vicinity that do not meet the required front yard setback therefore a claim for substantial justice cannot be supported.
- (b) Extraordinary Circumstances** – There is no exceptional or extraordinary circumstances to the property. The need for the variance is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

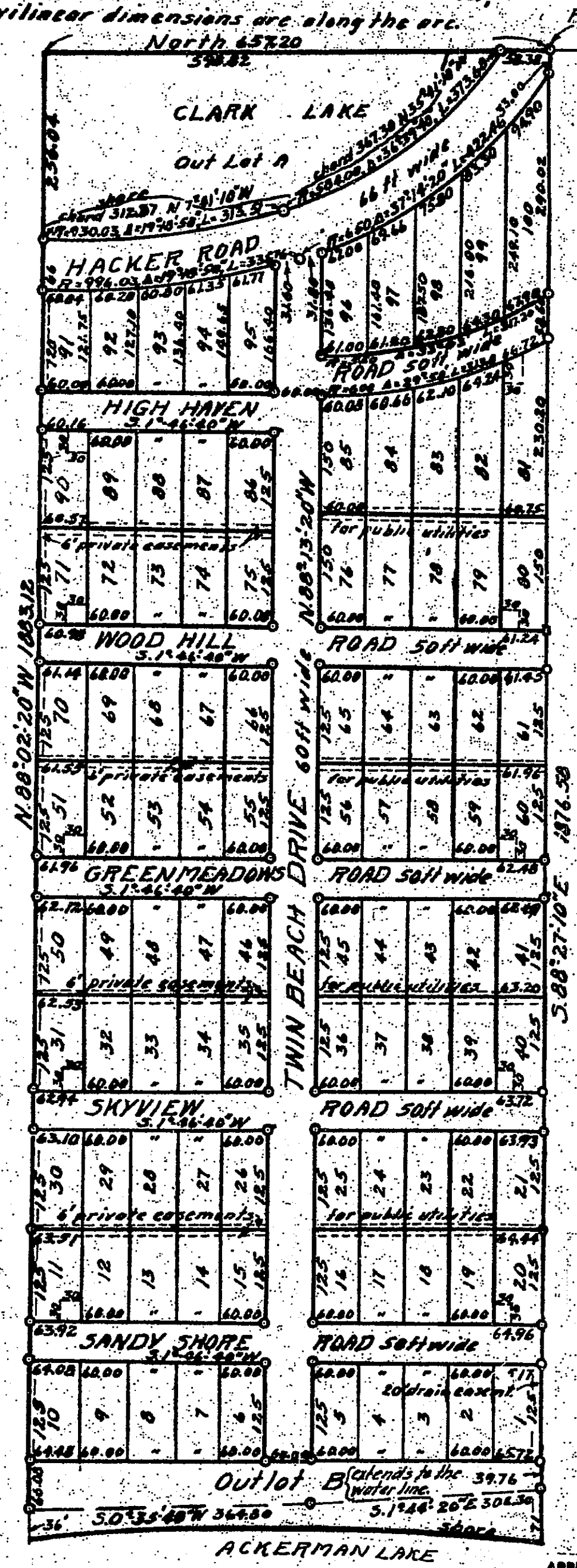
If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Drainage from the detached structure must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Health Department approval of setback from septic field.

"SUBURBAN MOBILE HOME ESTATES"

SUBDIVISION OF PART OF THE SE 1/4 OF SEC. 12, T2N R5E, GENOA TWP, LIVINGSTON CO, MICH.

Note: all dimensions are in feet and decimals of feet;
all curvilinear dimensions are along the arc.



Point of beginning
E. Line Sec. 12
SE cor. Sec. 12 T2N R5E
North 1372.86

Scale 1"=150ft
0 50 100 150 200

COPY
Register's Office
Livingston County, Mich.
Plat of Suburban Mobile Home Estates
was Recorded this 9th day of
May A.D. 1958 at 10 o'clock
P.M. in Liber 9 of plate
on Page 14
William L. Haack
Register of Deeds
ORIGINAL ON FILE

I hereby certify this copy is a true copy of map or plat forwarded the Register of Deeds for recording.
Date May 8, 1958
FILED IN AUDITOR GENERAL'S DEPT.
Date May 21, 1958
EXAMINED AND APPROVED
Date May 8, 1958
Frank S. Szymanski
Auditor General
D. L. MacFarland
Plat Engineer

DESCRIPTION OF LAND PLATTED

The land embraced in the annexed plat of "Suburban Mobile Home Estates" Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich. is described as follows:
Comprises lots 1 to 100 inclusive, and outlots A and B is described as beginning at a point on the east line of Sec. 12, T2N, R5E, distant north 1372.86 ft. from the SE corner of said Sec. 12, Thence north 657.20 ft. along said east line of Sec. 12, Thence N88°02'20" W 1883.12 ft., Thence S0°35'40" W 364.80 ft., Thence S 1°44'20" E 306.30 ft., Thence S88°27'10" E 1876.58 ft. to the point of beginning. 100 Numbered Lots 2 curvilinear

DEDICATION
KNOW ALL MEN BY THESE PRESENTS, that we, Ross Reynolds and Hazel N. Reynolds, his wife as proprietors and Pleasure Land, Inc.
Michigan corporation by E. Charles Wagner President and Joseph L. Abby, Vice President
Robert T. Chapek, Sec. -Treas., as Vendees
under land contract have caused the land embraced in the annexed plat to be surveyed, laid out and platted to be known as "Suburban Mobile Home Estates" Subdivision of part of the SE 1/4 of Sec. 12, T2N, R5E, Genoa Twp., Livingston Co., Mich.
and that the streets as shown on said plat are hereby dedicated to the use of the public, that the 30 ft. easements on lots 11, 20, 31, 40, 51, 60, 71, 80, 81, and 90 are for road maintenance use and that the private easements shown on said plat are not dedicated to the public, but the right to use said easements is hereby reserved for public utilities or for use as designated thereon, and no permanent structures are to be erected within the limits of said easements.
Signed and Sealed in the Presence of
G. D. Stickney (Witness) Ross Reynolds (L.S.)
James R. Hayner (Witness) Hazel N. Reynolds (L.S.)
Signed and Sealed in the Presence of
G. D. Stickney (Witness) E. Charles Wagner (L.S.) President
James R. Hayner (Witness) Joseph L. Abby (L.S.) Vice President
Robert T. Chapek (L.S.) Sec. -Treas.

ACKNOWLEDGMENT

STATE OF MICHIGAN
County of Livingston
On this 9th day of May, 1958, before me, a Notary Public in and for said County, personally came the above named Ross Reynolds and Hazel N. Reynolds, his wife known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.
G. D. Stickney
Notary Public in and for said County
My Commission expires November 3, 1961

ACKNOWLEDGMENT

STATE OF Michigan
County of Livingston
On this 9th day of May, A.D. 1958, before me, G. D. Stickney, a Notary Public in and for said county appeared E. Charles Wagner, Joseph L. Abby and Robert T. Chapek to me personally known, who being each by me duly sworn did say that they are the President and Vice President and Sec. -Treas. respectively of the Pleasure Land, Inc. Michigan corporation, and that the seal affixed to said instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors and the said E. Charles Wagner, Joseph L. Abby and Robert T. Chapek acknowledged said instrument to be the free act and deed of said corporation.
G. D. Stickney
Notary Public in and for said County
My Commission expires November 3, 1961

COUNTY TREASURER'S CERTIFICATE

Office of County Treasurer, Livingston County.
I hereby certify, that there are no tax liens or titles held by the State on the lands described herein, and that there are no tax liens or titles held by individuals on said lands, for the five years preceding the 9th day of May, 1958, and that the taxes for said period of five years are all paid, as shown by the records of this office.
This certificate does not apply to taxes, if any, now in process of collection by township, city or village collecting officers.
Dorothea J. Greer
County Treasurer

CERTIFICATE OF MUNICIPAL APPROVAL

This plat was approved by the Township Board of the Township of Genoa at a meeting held Jan. 24, 1958 and that the width of lots is in compliance with requirements of Section 30, Act 172, of 1929, as amended.
Dorothy Musch
Clerk

APPROVAL BY BOARD OF COUNTY ROAD COMMISSIONERS

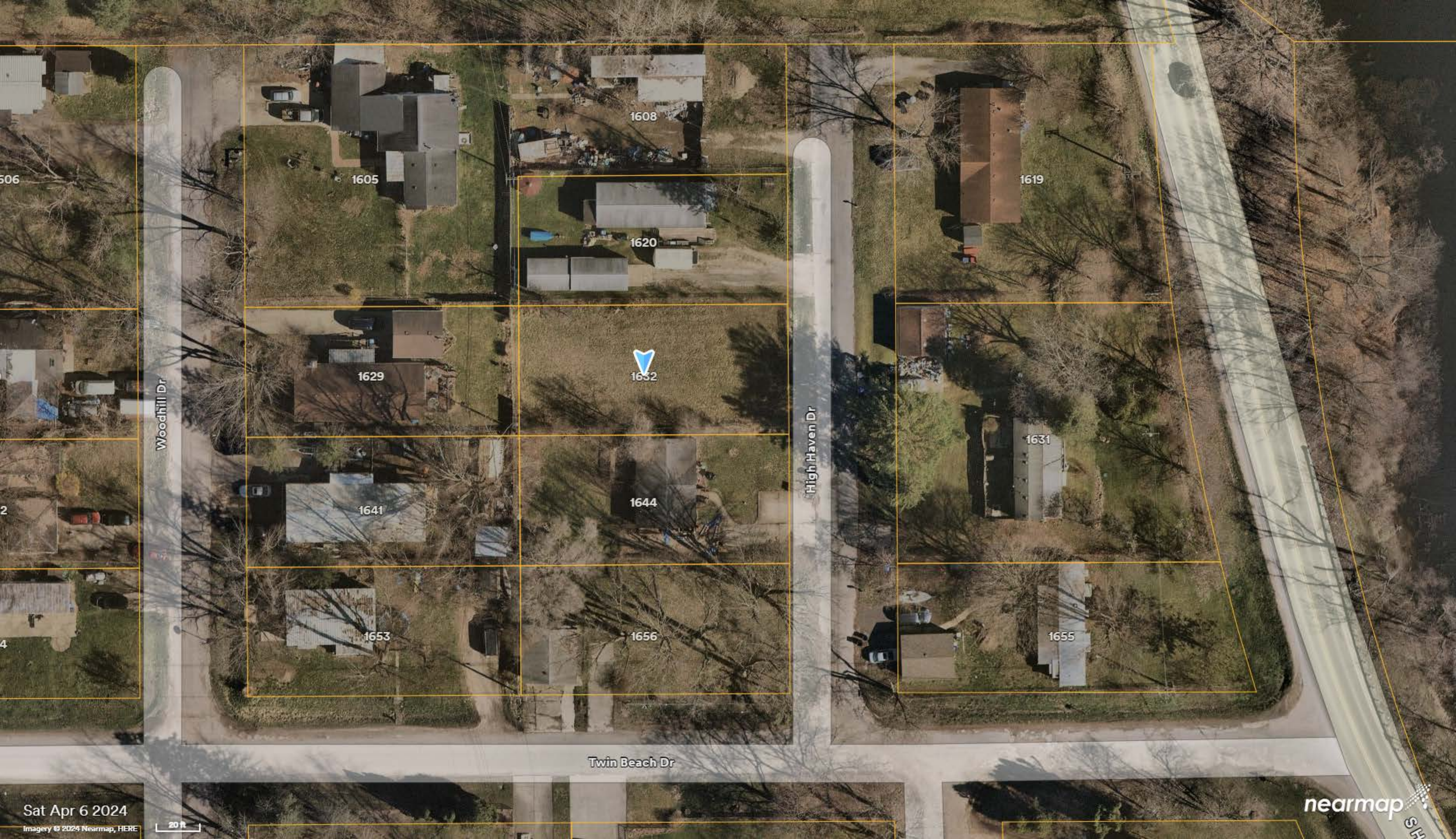
This plat has been examined and was approved on the 2nd day of May, 1958 by the Livingston County Board of Road Commissioners.
Fred Berry (Chairman)
Delbert W. Smith (Member)
Norman S. Topping (Member)

APPROVAL BY COUNTY PLAT BOARD

This plat was approved on the 8th day of May, 1958 by the Livingston County Plat Board.
William L. Haack (County Register of Deeds)
John A. Hagman (County Clerk)
Dorothea J. Greer (County Treasurer)
Floyd W. Munsell (County Drain Commissioner)

SURVEYOR'S CERTIFICATE

I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments consisting of bars not less than one-half inch in diameter and 36 inches in length, or shorter bars of not less than one-half inch in diameter lapped over each other at least 6 inches with an over-all length of not less than 36 inches, encased in a concrete cylinder at least 4 inches in diameter and 36 inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted, at all the intersections of streets, intersections of alleys, or of streets and alleys, and at the intersections of streets and alleys with the boundaries of the plat as shown on said plat.
Russell A. Cole
Registered Land Surveyor Professional Engineer
Russell A. Cole



Woodhill Dr

High Haven Dr

Twin Beach Dr

1608

1605

1620

1619

1629

1652

1631

1641

1644

1655

1653

1656

Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

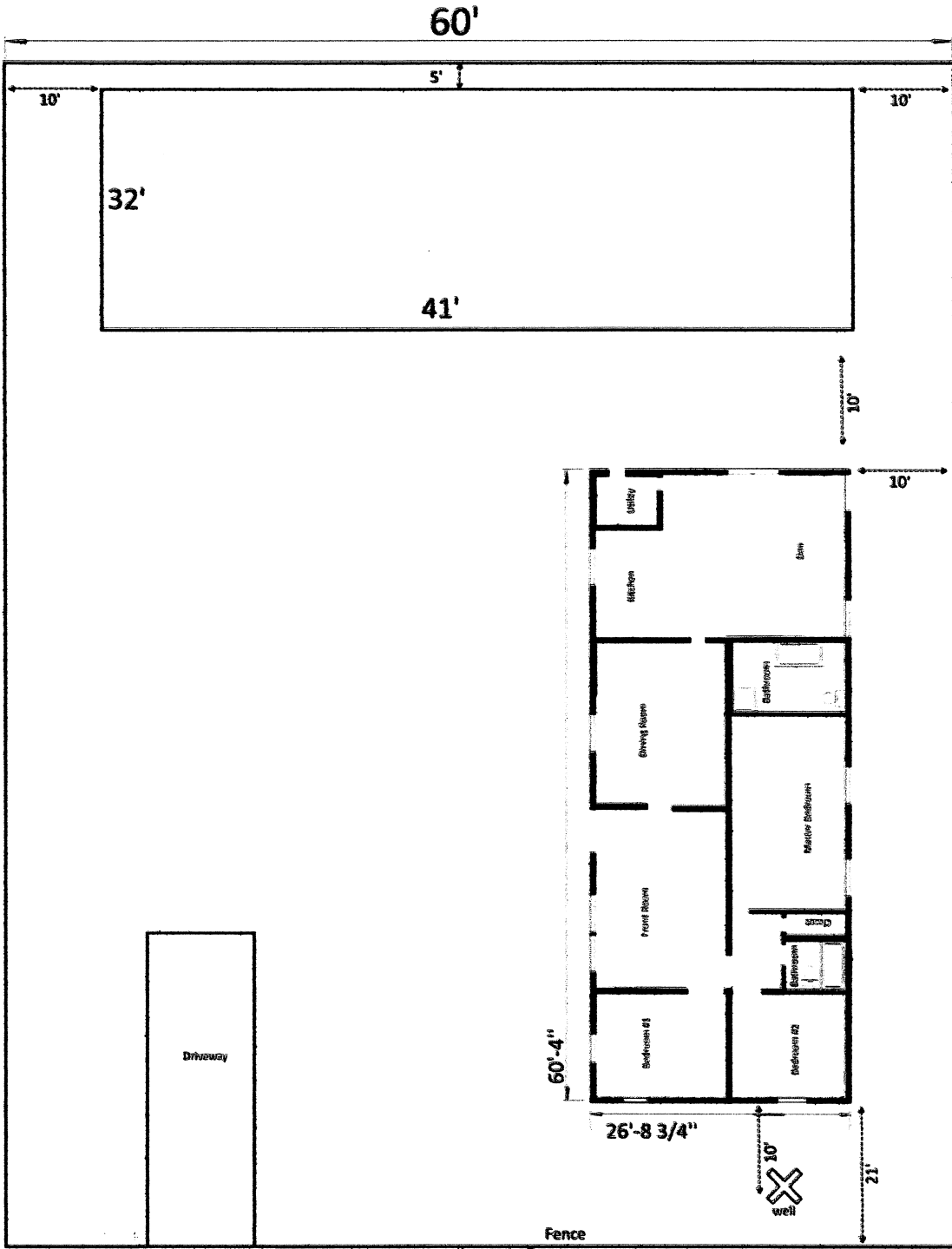
20 ft

nearmap

SH

128'

Fence/ Prop. Line



Fence / Prop. Line

Fence
Grass
High Haven

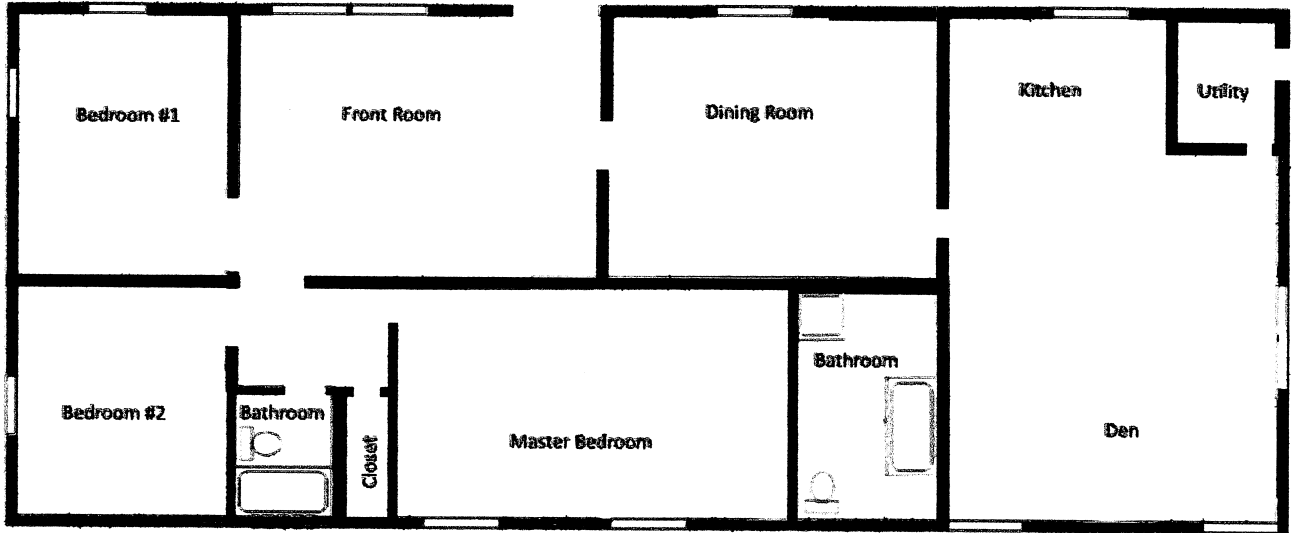
Plot Plan

N7

Floor Plan

60'-4"

26'-8 3/4"



Kathleen Murphy

From: Amy Ballard Perry <amy321home@gmail.com>
Sent: Monday, May 20, 2024 2:58 PM
To: Kathleen Murphy
Subject: Fwd: Variance permission

Amy Perry
Associate Broker
Expert Realty Solutions
amy321home@gmail.com
248-321-1757

----- Forwarded message -----

From: Patricia Cagnoli <patriciacagnoli@gmail.com>
Date: Mon, May 20, 2024, 2:57 PM
Subject: Variance permission
To: <amy@genoa.org>

1

Dear Ms. Ruthie

I Patricia C.Cagnoli give permission to Mr. James Frederick to Obtain a variance for the property located at 1632 High Haven Brighton Mi 48114.

Patricia C Cagnoli
810-986-6468
Sent from my iPhone

2

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.													
WALBLAY ALLEN	CAGNOLI PATRICIA	37,000	12/29/2021	WD	03-ARM'S LENGTH	2022R-001420	BUYER/SELLER	100.0													
OLIVER-REYNOLDS HOLDINGS L	WALBLAY ALLEN	4,000	07/24/2020	QC	21-NOT USED/OTHER	2020R-024367	BUYER/SELLER	100.0													
REYNOLDS DANIEL LEE	OLIVER-REYNOLDS HOLDINGS I	0	02/11/2014	QC	21-NOT USED/OTHER	2014R-003589	BUYER/SELLER	0.0													
DAVENPORT DANIEL M & JANE	REYNOLDS DANIEL LEE	6,000	03/15/2011	LC	21-NOT USED/OTHER	2011R-008538	BUYER/SELLER	100.0													
Property Address		Class: RESIDENTIAL-VACANT		Zoning: MHP		Building Permit(s)		Date	Number	Status											
1632 HIGH HAVEN DR		School: HOWELL PUBLIC SCHOOLS		Demolition		08/25/2020		PW20-090	7 FINAL BL												
Owner's Name/Address		P.R.E. 0%		MAP #: V24-20		2025 Est TCV Tentative															
CAGNOLI PATRICIA 7918 BIRKENSTOCK BRIGHTON MI 48114		Improved X Vacant		Land Value Estimates for Land Table 4404.4404 SUBURBAN MOBILE HOME ESTATES																	
Tax Description		Public Improvements		* Factors *																	
SEC. 12 T2N, R5E, "SUBURBAN MOBILE HOME ESTATES" LOT 88		Dirt Road		Description		Frontage		Depth		Front Depth		Rate %Adj. Reason		Value							
Comments/Influences		Gravel Road		<Site Value A> A STANDARD LOT		20000		100		0.00		Total Acres		Total Est. Land Value =							
		Paved Road												20,000							
		Storm Sewer												20,000							
		Sidewalk																			
		Water																			
		Sewer																			
		Electric																			
		Gas																			
		Curb																			
		Street Lights																			
		Standard Utilities																			
		Underground Utils.																			
		Topography of Site																			
		Level																			
		Rolling																			
		Low																			
		High																			
		Landscaped																			
		Swamp																			
		Wooded																			
		Pond																			
		Waterfront																			
		Ravine																			
		Wetland																			
		Flood Plain																			
		X REFUSE																			
		Who		When		What		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
4711-12-401-088		10/02/2020		JB		10/02/2020 INSPECTED		2025		Tentative		Tentative		Tentative						Tentative	
The Equalizer. Copyright (c) 1999 - 2009.		LM		09/23/2014		REVIEWED R		2024		10,000		0		10,000						8,820C	
Licensed To: Township of Genoa, County of Livingston, Michigan								2023		10,000		0		10,000						8,400C	
								2022		8,000		0		8,000						8,000S	



*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
May 21, 2024 - 6:30 PM**

MINUTES

Call to Order: Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:31 pm. The members and staff of the Zoning Board of Appeals were present as follows: Bill Rockwell, Craig Fons, Marianne McCreary, Jean Ledford, Michele Kreutzberg and Amy Ruthig, Planning Director.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board and staff introduced themselves.

Conflict of Interest: Mr. Fons stated that he does a lot of business with Boss Engineering. His company has performed a lot of work on the property for Case #24-14 throughout the years. He knows that he can be fair and make a decision without bias.

Approval of the Agenda:

Moved by Board Member Ledford, supported by Board Member Rockwell, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was opened at 6:32 pm.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

1. 24-13... A request by Dave and Karen Rebiger, 4371 Skusa Drive, for a fence height variance and an impervious variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow a six-foot in height fence in the front yard.

Mr. Dave Rebiger stated they would like to install a six-foot privacy fence along the back of their property. It is adjacent to an undeveloped dirt alley easement. It will provide privacy and security and add value to their property.

Ms. Ruthig stated that the alley easement is a platted road so the fence would be in the front yard.

Ms. Rebiger stated that other homes in the neighborhood have six-foot high fences. She has planted trees and bushes for screening but the deer have eaten them.

Mr. Rockwell stated that 4387 Skusa has a stockade fence running the entire length of the property. Ms. Ruthig does not believe that the property owner pulled a permit for that fence.

Ms. Kreutzberg reiterated that while the path does not seem to be a road, it is considered one so the fence would be in the front yard.

Mr. Fons suggested the applicant install a three-foot fence to keep the animals off of the property.

The call to the public was opened at 6:48 pm with no response.

Moved by Board Member Fons, supported by Kreutzberg, to deny a fence height variance of three feet for Case #24-13 for Dave and Karen Rebiger of 4371 Skusa Drive **The motion carried unanimously.**

Moved by Board Member Fons, supported by Kreutzberg, to approve Case #24-13 for Dave and Karen Rebiger of 4371 Skusa Drive for an impervious surface variance of 51 percent from the required 49 percent for an impervious amount of 100 percent, based on the following findings of fact:

- The infiltration by wildlife is a concern and an impervious fence would address that concern for substantial justice and practical difficult
- Extraordinary circumstances there is an unsightly roadway on this side of the property.
- Granting the variance will have no impact on the surrounding neighborhood
- The proposed variance will not interfere with the surrounding neighborhood.
- The need for the variance is not self-created.

The motion carried (Fons - yes; Rockwell - no; Kreutzberg - yes; McCreary - yes; Ledford - yes).

2. 24-14...A request by Steffan Ramage, 3771 Dorr Road, for side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct an attached garage.

Mr. Steffan Ramage is requesting a side yard setback of 25 feet to install a covered walk to a three-car garage at the front of the home. He stated that neither his property nor his house meet the current zoning requirements of the Country Estates zoning district.

Chairperson McCreary stated there was a variance granted in 2020. Ms. Ruthig added that a side yard variance was granted for part of the addition at that time as well. Mr. Ramage stated neither variance was needed because they changed the plans for the home. Chairperson McCreary noted that one of the conditions of the approval in 2020 was that no other variances shall be granted for the property, but it was not used.

Board Member Kreutzberg confirmed the location of the septic field with the applicant.

The call to the public was opened at 7:05 pm with no response.

Chairperson McCreary stated that a variance cannot be granted if the need for it is self-created. When the home was redone, the existing garage was made into living space and now a

variance is being requested to install a garage. Also, the front of the garage will extend past the front of the neighbor's house.

Board Member Kreutzberg stated that due to the topography of the property, the building envelope is quite small. The applicant could have requested a larger variance in 2020 to build a larger home, but he did not. This is the least necessary.

Mr. Ramage stated that he was not able to construct the garage at the time the two variances were granted. He agrees that due to the topography and the wetlands there is very little space for the garage.

Moved by Rockwell, supported by Kreutzberg, to approve Case #24-14 for Steffan Ramage of 3371 Dorr Road for a side yard setback variance of 14 feet, 11 inches, from the required 40 feet, for a side yard setback of 25 feet, 1 inch, to construct an attached garage, based on the following findings of fact:

- Strict compliance would prevent the applicant from constructing the garage in the proposed location. The variance does provide
- seem to provide substantial justice for there are quite a few homes in the surrounding area with conforming side yard setbacks. However, the lot width for the surrounding area is not as narrow as the applicant's property.
- The exceptional or extraordinary condition of the property is the existing location of the home, the narrowness of the lot and the location of the septic tank, well and wetlands that are located on the property.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance will not interfere with the development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is conditioned upon the following

1. The structure must be guttered with downspouts.

The motion carried unanimously.

3. 24-15...A request by John T. Price, 145 Meadowview Drive, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a covered porch.

Mr. Price is requesting to redo an existing porch and make it larger. It is currently only five feet wide and he is not able to sit on it when it is raining. The current porch is falling down.

Chairperson McCreary stated that there are no other homes in that area that have porches that extend further than Mr. Price's existing porch. A request is being made that is not a right granted to the neighbors. The request does not meet the requirements of granting a variance.

Board Member Kreutzberg stated one of the requirements to granting a variance is that the variance must be the least amount necessary. The porch could be made larger along the home instead of extending out. It is self-created.

Genoa Township Zoning Board of Appeals Meeting
May 21, 2024
Unapproved Minutes

Ms. Ruthig stated the variance report is incorrect. The variance being requested is 15 feet, 2 inches and not 4 feet.

The call to the public was opened at 7:27 pm

Rachel, who lives at 133 Meadowview, next to the applicant, stated that due to the hill of the road, they have very steep grade decline and the applicant's house is much higher than hers. If the porch comes out further it will obstruct her view. It will degrade the value of her home.

Ken, who lives at 132 Meadowview, is in favor of the improvement to the home. He has considered adding a larger porch to his home as well.

The call to the public was closed at 7:35 pm.

Board Member Rockwell stated the need for the variance is self-created. Board Member Ledford agrees. Also, there would be no substantial justice as there are no other homes with this size porch.

Moved by Kreutzberg, supported by Fons, to deny Case #24-15 for John T. Price of 145 Meadowview Drive for a front yard setback variance of 15 feet, 2 inches, from the required 40 feet, for a front yard setback of 24 feet, 10 inches to construct a covered porch, based on the following findings of fact:

- Strict compliance with the setbacks would not prevent the use of the property. It is not necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and vicinity of the subject parcel. There appear to be no other parcels in the vicinity with reduced front yard setbacks.
- There are no exceptional or extraordinary conditions of the property. Granting of the variance would not make the property consistent with other properties in the vicinity. The need for the variance is self-created.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the comfort, morals or welfare
- There would be no impact on the surrounding neighborhood.

This denial is conditioned upon:

1. The property shall be brought into compliance with the storage of trailers within 14 days of denial.

The motion carried unanimously.

4. 24-16...A request by Gerald Wilson, vacant parcel 4711-03-200-018, for a wetland setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a shared driveway for four parcels.

Mr. Brent LaVanway of Boss Engineering and Mr. Gerald Wilson were present. Mr. LaVanway stated they are requesting to split the 16 acre parcel into four separate parcels. The property is very long and narrow. The wetlands have finger ditches that run east to west and the driveway

bisects these ditches. These wetlands were manmade approximately 50 years ago and there is wetland vegetation established, but it is not high-quality. They have Livingston County Road Commission approval for the entrance drive and Livingston County Health Department approval for well and septic for the four splits. He showed photographs of where the shared driveway will be and the location of finger ditches that are the subject of the variance request.

Chairperson McCreary referenced the report submitted by Boss Engineering regarding the condition of the wetlands. Board Member Fons stated his company has worked on this property. They cleared the trees and dug the ditches to help it drain. His company created the wetlands and they are not regulated by EGLE.

Board Member Rockwell would like clarification if these are valuable wetlands, regardless of how they were created.

Mr. LaVanway stated that they could decrease the width of the shared driveway to 16 feet, which is consistent with the township ordinance, if approved by the Fire Marshal. Board Member Rockwell would like to see the road built as wide as possible to allow for two vehicles to pass easily and to allow emergency vehicle access.

The call to the public was opened at 8:08 pm with no response.

Moved by Kreutzberg, supported by Fons, to approve Case #24-16 for Gerald Wilson for Parcel #4711-03-200-018 on Golf Club Road for a wetland setback of 17 feet from the required 25 for a setback of 8 feet for an access drive to a four parcel split, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent/restrict intended use of the property or cause it to be unbuildable.
- The variance will provide substantial justice, is the least necessary and would make the property consistent with other properties in the area.
- The Boss Engineering Wetlands Inventory Report from 2021 states the parcel is not a wetland and does not contain vegetation except in the ditches.
- The variance is necessary due to the extraordinary circumstance of the existing path to the rear of the property is adjacent to utility lines and will serve access to all property when split
- The applicant has demonstrated that:
 - The setback is not necessary to preserve the wetland's ecological and aesthetic value.
 - The natural drainage pattern to the wetland will not be significantly affected
 - The variance will not increase the potential for erosion, either during or after construction
 - No feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed
 - MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is conditioned upon:

1. The applicant shall permanently demarcate and install signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed.
5. All existing storage on site, which is an ordinance violation, shall be removed prior to split approval.
6. Approval of the shared driveway from the Brighton Area Fire Authority.

The motion carried unanimously.

5. 24-17...A request by Symmetry Management, 3599 E. Grand River, for rear and side setback variances, a height variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a retaining wall.

Mr. Brent LaVanway of Boss Engineering stated this project has received site plan approval from the Planning Commission and the Township Board. They are requesting to build a retaining wall over the six foot allowable height. The practical difficulties are that there is existing vegetation that they do not want to remove, significant slope in the area and there is an existing water main that is very close to the wall. They have located the wall in the optimum location and it exceeds six feet in height. There is also a six-foot screen fence above this wall per the zoning ordinance. The neighbors to the rear will partially see the retaining wall but they will see the fence.

Additionally, they are constructing curb and gutter in this area to assist with the drainage that is currently going onto the properties adjacent to this site.

Chairperson McCreary stated this is necessary and meets the criteria for granting a variance.

The call to the public was opened at 8:27 pm with no response.

Moved by Kreutzberg, supported by Rockwell, to approve Case #24-17 for Symmetry Management of 3599 E. Grand River for a dimensional height variance of 5 feet for a total allowance of up to 11 feet from the required 6 feet, for a based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. The variance will provide substantial justice, is the least necessary, and would make the property consistent with other retail properties in the area.
- The Site Plan has been approved by the Planning Commission and Township Board.
- The variance is necessary due to extraordinary circumstances, such as:
 - The need for the variance exists to provide emergency fire access.

Genoa Township Zoning Board of Appeals Meeting

May 21, 2024

Unapproved Minutes

- The current topography and elevation changes at the rear of the property
- The location of the adjacent residential properties and the need to maintain existing mature vegetation along the property line deem this project necessary.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. Any drainage concerns shall be addressed
2. Replace any significant vegetation if lost during the project.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the April 16, 2024 Zoning Board of Appeals meeting.

Moved by Board Member Kreutzberg, supported by Board Member Ledford, to approve the minutes of the April 16, 2024 Zoning Board of Appeals meeting as submitted. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be four cases on the June agenda. She Ruthig introduced Ms. Carrie Aulette, who is the new zoning official.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

Moved by Board Member Kreutzberg, supported by Board Member Ledford, to adjourn the meeting at 8:40 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary