

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
MAY 21, 2024  
6:30 P.M.  
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

1. 24-13...A request by Dave and Karen Rebiger, 4371 Skusa Drive, for a fence height variance and an impervious variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow a six-foot in height fence in the front yard.
2. 24-14...A request by Steffan Ramage, 3771 Dorr Road, for side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct an attached garage.
3. 24-15...A request by John T. Price, 145 Meadowview Drive, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a covered porch.
4. 24-16...A request by Gerald Wilson, vacant parcel 4711-03-200-018, for a wetland setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a shared driveway for four parcels.
5. 24-17...A request by Symmetry Management, 3599 E. Grand River, for rear and side setback variances, a height variance and any other variance deemed necessary by the Zoning Board of Appeals, to construct a retaining wall.

Administrative Business:

1. Approval of minutes for the April 16, 2024 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

\*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-13

Meeting Date: 5-21-24  
@ 6:30pm in Boardroom  
 PAID Variance Application Fee

\$215.00 for Residential

| \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Dave Karen Reitzig Email: \_\_\_\_\_

Property Address: 4371 Skusa Phone: 810-588-6472

Present Zoning: S/F Tax Code: RESIDENTIAL VACANT - CLASS 402

11-27-103-061

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Install 6' Shadow Box fence to provide privacy, aesthetic and value, security

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

*A 6' fence along the back 135' of lot parcel #4711-27-103-062  
This improvement will provide privacy, add value to our  
property, establish better boundaries for neighbors to enjoy  
security. Will help to hide blight*

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

*The variance is consistent with other properties in the vicinity.  
Consistent*

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

*N/A Will have no impact on traffic. No impact on safety,  
comfort or morals or welfare*

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

*N/A The variance will not interfere with continued use  
of adjacent properties*

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 4/9/2024 Signature: David Reblor  
DAVID REBLOR



# MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Planning Director  
**DATE:** May 15, 2024

**RE:** ZBA 24-13

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

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## STAFF REPORT

**File Number:** ZBA#24-13  
**Site Address:** 4371 Skusa Drive  
**Parcel Number:** 4711-27-103-061  
**Parcel Size:** 1.066 Acre  
**Applicant:** Dave and Karen Rebiger  
**Property Owner:** Same as applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a fence height and allowable impervious variance to install a 6-foot privacy fence in the front yard.  
**Zoning and Existing Use:** LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.  
**Other:** Public hearing was published in the Livingston County Press and Argus on Sunday May 5, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records, the existing single-family home was built in 1990.
- In 2012, a land use waiver was issued for a new roof.
- In 2015, a land use waiver was issued for new siding and trim.
- In 2018, a waiver was issued for a shed.
- The property is serviced by public sewer and a private well.
- See Real Record Card.

### **SUPERVISOR**

Bill Rogers

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

### **MANAGER**

Kelly VanMarter

**Summary**

Applicant is seeking a fence height variance and allowable impervious variance to install a 6-foot privacy in the front yard due to the property being considered a through lot. The property fronts on a public road (Skusa Drive) and a private platted road.

**Variance Requests**

The following is the section of the Zoning Ordinance that the variance is being requested from:

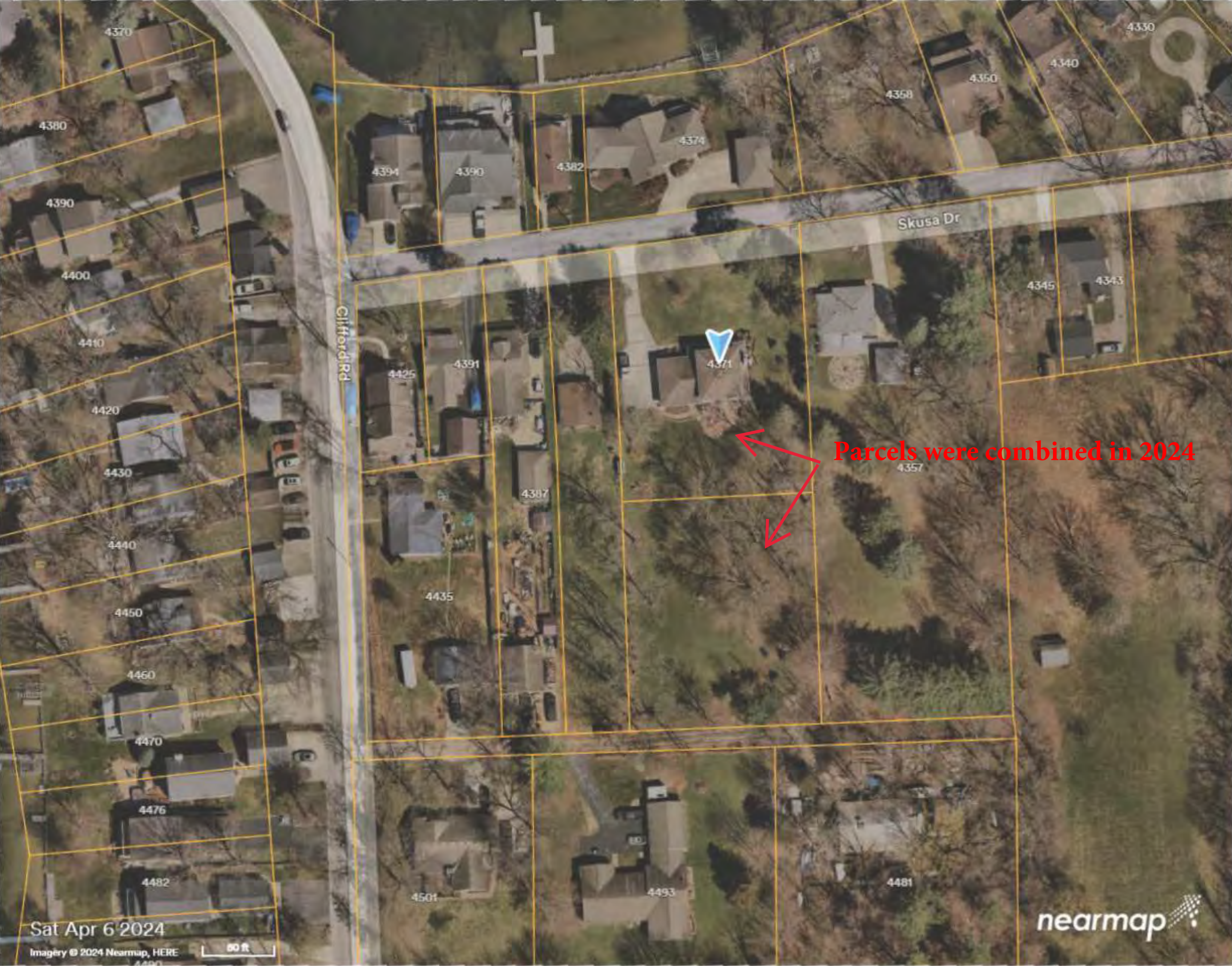
**11.03.04 (c) Fences and Walls**

- (1) All fences and walls shall be located entirely on the property of the owner of the fence. Adjoining property owners may jointly apply for a fence permit for the purpose of constructing a fence on the common property line.
- (2) Unless specifically authorized elsewhere in this Ordinance, fences and walls located within the front yard in any residential zoning district shall not exceed three (3) feet in height, or be in excess of forty-nine (49) percent (%) solid or impervious.

FRONT YARD FENCE	HEIGHT	IMPERVIOUS
REQUIRED YARD SETBACK	3'	49%
PROPOSED YARD SETBACKS	6'	100%
REQUESTED YARD VARIANCES	3'	51%

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:** Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the fence ordinance would prevent the 6-foot fence from being installed in the front yard. It would not prevent the use of the property and it is not necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.
- (b) **Extraordinary Circumstances** – There are no exceptional or extraordinary conditions of the property other than the property being considered a through lot due to the location on a public road and a private platted road. The need for the variance is self-created.
- (c) **Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) **Impact on Surrounding Neighborhood** – The proposed variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.



**Parcels were combined in 2024**

Sat Apr 6 2024

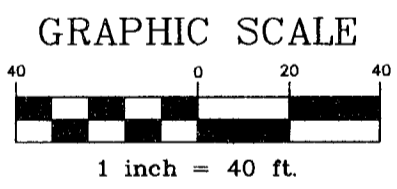
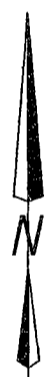
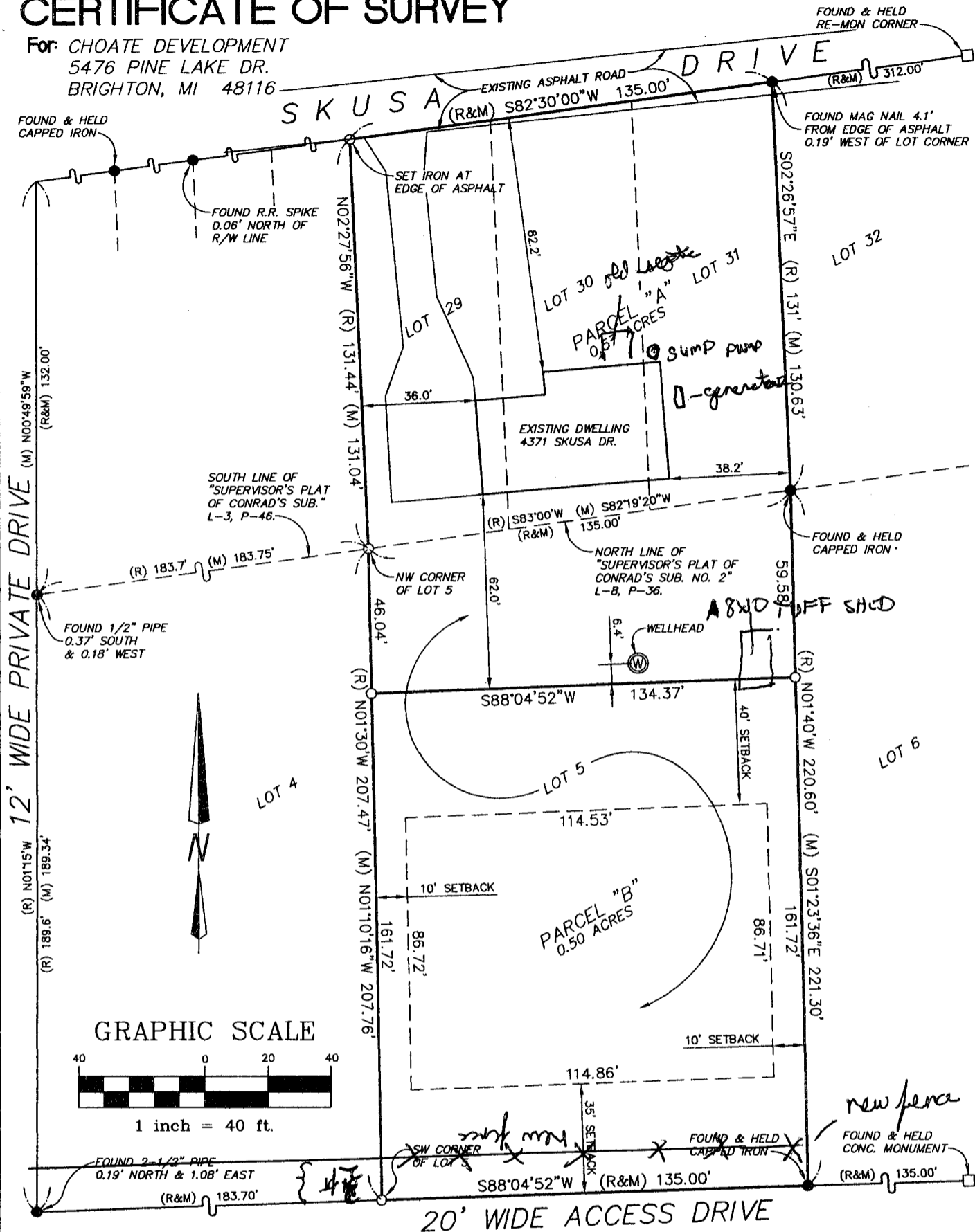
Imagery © 2024 Nearmap, HERE

50 ft

**nearmap**

# CERTIFICATE OF SURVEY

For: CHOATE DEVELOPMENT  
5476 PINE LAKE DR.  
BRIGHTON, MI 48116



BEARINGS ARE REFERENCED TO: "SUPERVISOR'S PLAT OF CONRAD'S SUBDIVISION" AS RECORDED IN L-3, P-46, LIVINGSTON COUNTY RECORDS.  
I hereby certify that this survey was prepared by me or under my direct supervision, that I am a duly Licensed Professional Surveyor under the laws of the State of Michigan, that this survey complies with the requirements of Section No. 3, P.A. No. 132 of 1970, and that the error of closure is no greater than 1 in 5000. The ratio of closure of the unadjusted field observations of this survey was 1/5000

## REAL ESTATE CONSULTING ENGINEERS INC.

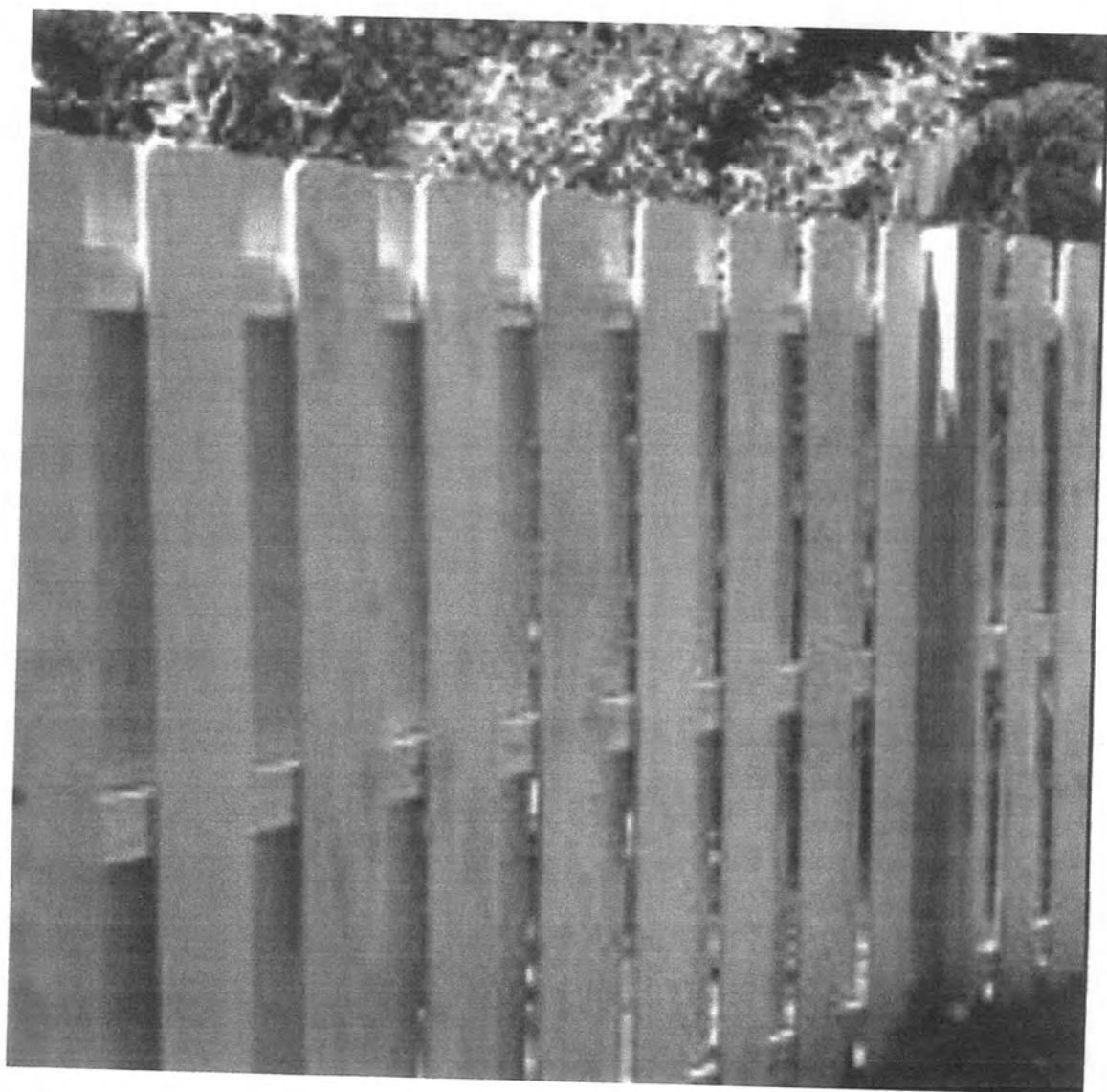
212 SILVER LAKE RD FENTON, MICHIGAN 48430  
810-750-0100 810-743-3770 Fax 810-750-0194

JOSEPH A. WIZYNAJTYS P. S. No. 21585

LEGEND: ○ -SET IRON, ● -FOUND IRON, □ -MONUMENT, \*-\* -FENCE, (R) -RECORDED, (M) -MEASURED

DATE: 07/07/06	SCALE: 1" = 40'	DRAWN BY: BDR	CREW CHIEF: BKR	CHECKED BY: JAW	SHEET: 1 OF 2
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190.21





**Notice of Assessment, Taxable Valuation, and Property Classification**

This form is issued under the authority of P.A. 206 of 1893, Sec. 211.24 (c) and Sec. 211.34c, as amended. This is a model assessment notice to be used by the local assessor.

FROM: GENOA CHARTER TOWNSHIP DEBRA L. ROJEWSKI 2911 DORR RD BRIGHTON MI 48116	<b>PARCEL IDENTIFICATION</b> PARCEL NUMBER: <b>4711-27-103-062</b> PROPERTY ADDRESS:  <b>BRIGHTON, MI 48116</b>
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OWNER'S NAME & ADDRESS/PERSON NAMED ON ASSESSMENT ROLL: REBIGER DAVID & KAREN LTS 9.3 4371 SKUSA DR BRIGHTON MI 48116-9720	<b>PRINCIPAL RESIDENCE EXEMPTION</b> % Exempt As "Homeowners Principal Residence": <b>100.00%</b> % Exempt As "Qualified Agricultural Property": <b>.00%</b> % Exempt As "MBT Industrial Personal": <b>.00%</b> % Exempt As "MBT Commercial Personal": <b>.00%</b> Exempt As "Qualified Forest Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Exempt As "Development Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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**LEGAL DESCRIPTION:**  
 SEC 27 T2N R5E PART OF LOT 5 OF SUPERVISORS PLAT OF CONRADS SUB #2 DESCRIBED AS COMM AT THE SW CORNER OF SAID LOT TH N01\*10'16"W 161.72 FT TH N88\*04'52"E 134.37 FT TH S01\*23'36"E 161.72 FT TH S88\*04'52"W 135 FT TO POB CONT .50 AC M/L

**ACCORDING TO MCL 211.34c THIS PROPERTY IS CLASSIFIED AS: 402 (RESIDENTIAL-VACANT)**

**PRIOR YEAR'S CLASSIFICATION: 402 (RESIDENTIAL-VACANT)**

The change in taxable value will increase/decrease your tax bill for the 2024 year by approximately: <b>\$21</b>	PRIOR AMOUNT YEAR: 2023	CURRENT TENTATIVE AMOUNT YEAR: 2024	CHANGE FROM PRIOR YEAR TO CURRENT YEAR
1. TAXABLE VALUE:	17,212	18,072	860
2. ASSESSED VALUE:	22,500	22,500	0
3. TENTATIVE EQUALIZATION FACTOR: 1.000			
4. STATE EQUALIZED VALUE (SEV):	22,500	22,500	0
5. There WAS or WAS NOT a transfer of ownership on this property in 2023 <b>WAS NOT</b>			

**6. Assessor Change Reason:**  
 Market Adjustment

**The 2024 Inflation rate Multiplier is: 1.05**

Questions regarding the Notice of Assessment, Taxable Valuation, and Property Classification may be directed to the Following:

Name: ASSESSOR'S OFFICE	Phone: 810-227-5225	Email Address: JESSICA@GENOA.ORG
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**March Board of Review Appeal Information. The board of review will meet at the following dates and times:**  
 APPOINTMENTS FOR THE BOARD OF REVIEW CAN BE MADE BY CALLING 810.227.5225 BETWEEN 9:00AM AND 5:00PM.  
 HEARING DATES: MARCH 11, 2024 9:00AM-12:00PM AND 1:00PM-5:00PM AND MARCH 12, 2024 1:00PM-5:00PM AND 6:00PM-9:00PM. TAXPAYERS MAY ALSO APPEAL BY LETTER, SENT TO GENOA CHARTER TOWNSHIP ASSESSORS OFFICE: 2911 DORR RD, BRIGHTON MI 48116 OR THE DROP-BOX OR BY E-MAIL TO JESSICA@GENOA.ORG, DUFFY@GENOA.ORG OR LAURA@GENOA.ORG, WRITTEN APPEALS AND EVIDENCE VIA USPS, E-MAIL, OR DROP-BOX MUST BE SUBMITTED BY 12:00PM (NOON) MARCH 8, 2024.  
 POSTMARKS WILL NOT BE ACCEPTED.



## Residential Land Use Permit Application

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116  
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

APPLICATION NO. \_\_\_\_\_

**1. PROJECT INFORMATION**

Site Address: <b>4371 SKUSA DR.</b>	Parcel No. <b>2 LOTS</b> <b>4711 - 27 - 103 - 062</b>	Acreage: <b>EST. 1 ACRE</b>	Zoning: <b>VACANT RESIDENTIAL HO2</b>
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**2. OWNER/CONTRACTOR INFORMATION**

Owner Name: <b>DAVID + KAREN REBIGER</b>	Phone No.: <b>810 588 6472</b>	E-mail:	
Owner Address: <b>4371 SKUSA DR.</b>	City: <b>BRIGHTON</b>	State: <b>MICH</b>	Zip: <b>48116</b>
Contractor Name: <b>CHUCK CHURCH</b>	Phone No.: <b>517-202-5987</b>	Email: <b>CHUCK@FOWLERVILLE</b>	
Contractor Address: <b>11531 EAST SILVER LAKE RD</b>	City: <b>BYRON</b>	State: <b>MICH</b>	Zip: <b>48415</b>

**3. TYPE OF IMPROVEMENT**

**A. Principal Building:**     New Single Family     New Multiple Family     Addition to Existing Building

**B. Accessory Building or Structure:**     Fence     Deck     Detached Building/Structure     Pool/Hot Tub

**C. Other:**     Grading/Site Work     Generator     Other, explain:  
**6 FOOT FENCE - BACK YARD**

**4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION**

**A. Proposed Principal Structure Setbacks (in feet)**  
(measured from front property line, right-of-way line or private road easement, whichever is less)

Front:	Rear:	Least Side:	Side:	Water/Wetland:
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**B. Proposed Detached Accessory Structure Setbacks (in feet)**

Front:	Least Side:	Side:	Rear:	Water/Wetland:	Distance from Principle Structure:
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**C. Proposed Building/Improvement Dimensions**

Size of Building/Improvement: <b>137</b> square feet	Height: <b>6</b> feet
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**5. CHARACTERISTICS OF IMPROVEMENT**

Total Project Cost	\$ <b>EST 5500.00</b>			
Building Style	<input type="checkbox"/> Ranch	<input type="checkbox"/> 1.5 Story	<input type="checkbox"/> 2 Story	
Frame	<input type="checkbox"/> Masonry, Wall Bearing	<input type="checkbox"/> Wood Frame	<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Reinforced Concrete
Exterior	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input type="checkbox"/> Siding	<input type="checkbox"/> Wood
Foundation	<input type="checkbox"/> Basement	<input type="checkbox"/> Crawl	<input type="checkbox"/> Slab	
Area	New Building Square Footage:		Addition Square Footage:	
Bedrooms	Number of bedrooms:			
Bathrooms	No. of Full:	No. of Half:	No. of Sinks:	No. of Showers:
Basement	<input type="checkbox"/> Walkout <input type="checkbox"/> Finished	Finished Sq. Ft.:	Bsmt. Baths:    # Full:    # Half:	
Attached Garage	Type of Foundation:		Depth:    feet	Width:    feet
Central Air/Generator	<input type="checkbox"/> Yes <input type="checkbox"/> No	Generator kw:		
Fireplace	<input type="checkbox"/> Direct Vent	<input type="checkbox"/> Pre-fab	<input type="checkbox"/> Other:	
Inground Pool	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Vinyl	<input type="checkbox"/> Gunite	<input type="checkbox"/> Plastic
Driveway	<input type="checkbox"/> Gravel	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Concrete	<input type="checkbox"/> Brick <input type="checkbox"/> Other:
Detached Building/Structure	Height:    feet	Depth:    feet	Width:    feet	Foundation: <input type="checkbox"/> Basement <input type="checkbox"/> Slab <input type="checkbox"/> Crawl    Flooring: <input type="checkbox"/> Concrete <input type="checkbox"/> Dirt <input type="checkbox"/> Wood
Deck	<input type="checkbox"/> Treated Wood	<input type="checkbox"/> Cedar	<input type="checkbox"/> Composite	<input type="checkbox"/> Other:

**7. APPLICANT CERTIFICATION**


I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent. The owner and applicant agree to conform to all applicable ordinances of Genoa Township. Any modification to location, size or dimensions must be approved by Genoa Township. A Land Use Permit is valid for a period of 12 months from the date of issue. In signing of this application, I am permitting an official representative of Genoa Charter Township to do on-site inspections. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Applicant is:     Owner     Contractor     Lessee/Renter     Architect/Engineer     Other:

Signature of Applicant: <i>David Rebigier</i>	Printed Applicant name: <b>DAVID REBIGER</b>
--	---

**▽ FOR OFFICE USE ONLY ▽**

FLOODPLAIN: <input type="checkbox"/> Yes <input type="checkbox"/> No	Panel No.:	Firm No.:
ZBA    Case #/Approval date:	Conditions:	

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status	
4371 SKUSA DR		School: BRIGHTON AREA SCHOOLS		SHED		02/26/2018		W18-016	NO START		
Owner's Name/Address		P.R.E. 100% 07/03/2007		SIDING/TRIM		12/17/2015		W15-214	NO START		
REBIGER DAVID & KAREN 4371 SKUSA DR BRIGHTON MI 48116-9720		MAP #: V24-13		REROOF		04/11/2012		W12-043	NO START		
Tax Description		2025 Est TCV Tentative		Land Value Estimates for Land Table 4303.TRI LAKES							
SEC 27 T2N R5E SUPERVISORS PLAT OF CONRADS SUB LOTS 29, 30 & 31 AND ALSO PART OF LOT 5 OF SUPREVISORS PLAT OF CONRADS SUB #2 DESCRIBED AS COMM AT NW COR OF SAID LOT 5 TH N82*19'20"E 135 FT TH S01*23'36"E 59.58 FT TH S88*04'52"W 134.37 FT TH N01*10'16"W 46.04 FT TO POB CONT. .57 AC M/L PARCEL A SPLIT ON 09/08/2006 FROM 4711-27-103-052; Split/Combined on 04/24/2024 from 4711-27-103-061, 4711-27-103-062;		X	Improved	Vacant	* Factors *						
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value							
PARCEL COMBINED WITH 27-103-061 INTO 27-103-066 4/2024		Dirt Road		B NON LF 50.00 183.00 1.0000 0.0000 1100 100* 0							
		Gravel Road		D SURPLU NON LF 85.00 183.00 1.0000 0.0000 700 100* 0							
		Paved Road		TRI-LAKE ACREAGE 1.066 Acres 58,533 100 62,396							
		Storm Sewer		* denotes lines that do not contribute to the total acreage calculation.							
		Sidewalk		135 Actual Front Feet, 1.07 Total Acres Total Est. Land Value = 62,396							
		Water		Land Improvement Cost Estimates							
		Sewer		Description Rate Size % Good Cash Value							
		Electric		Wood Frame 37.61 120 98 4,423							
		Gas		Total Estimated Land Improvements True Cash Value = 4,423							
		Curb		Topography of Site							
		Street Lights		Level							
		Standard Utilities		Rolling							
		Underground Utils.		Low							
		Topography of Site		High							
		Level		Landscaped							
		Rolling		Swamp							
		Low		Wooded							
		High		Pond							
		Landscaped		Waterfront							
		Swamp		Ravine							
		Wooded		Wetland							
		Pond		Flood Plain							
		Waterfront		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value	
		Ravine		2025	Tentative	Tentative	Tentative			Tentative	
		Wetland		2024	0	0	0			0	
		Flood Plain		2023	0	0	0			0	
		Who		2022	0	0	0			0	
		When									
		What									

The Equalizer. Copyright (c) 1999 - 2009.  
Licensed To: Township of Genoa, County of Livingston, Michigan

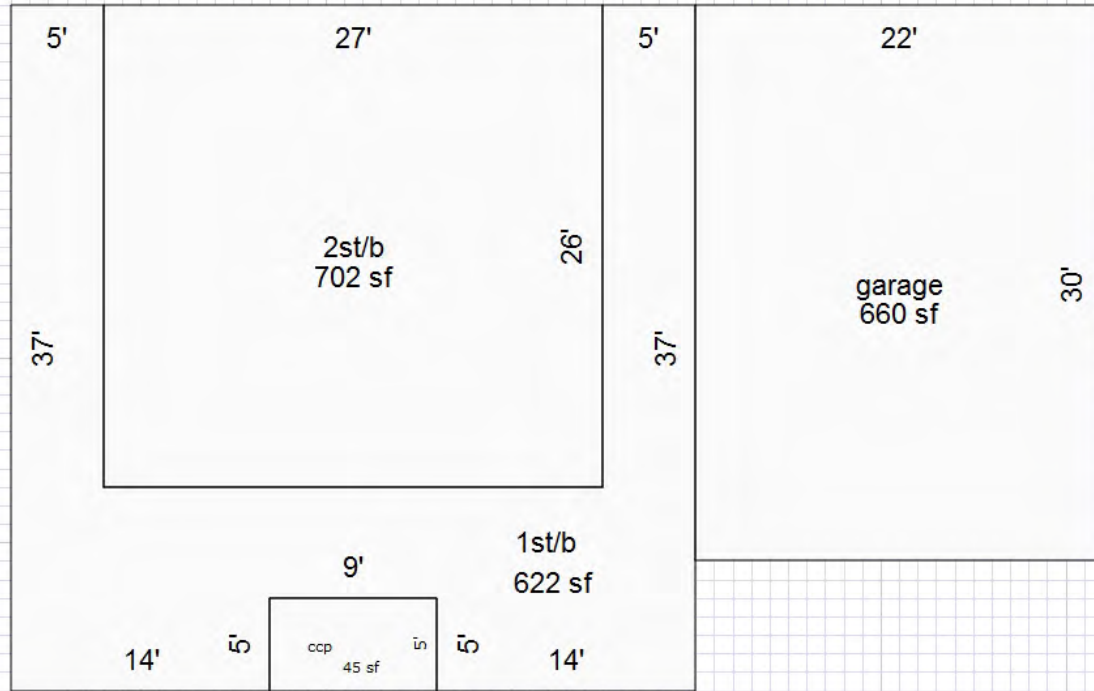
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage			
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	45	CCP (1 Story)	Year Built: Car Capacity: Class: BC Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 660 % Good: 0 Storage Area: 0 No Conc. Floor: 0	
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling														
Building Style: BC		Drywall Paneled	Plaster Wood T&G	Trim & Decoration															
Yr Built 1990	Remodeled 0	Ex	X	Ord		Min													
Condition: Good		Size of Closets																	
		Lg	X	Ord		Small													
Room List		Doors:		Solid	X	H.C.													
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors			(12) Electric														
		Kitchen: Other: Other:			0 Amps Service														
(1) Exterior		No./Qual. of Fixtures			Ex. X Ord. Min														
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			No. of Elec. Outlets														
(2) Windows		(7) Excavation			(13) Plumbing														
		Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																	
X	Many Avg. Few	X	Large Avg. Small	Basement: 1324 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0															
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(8) Basement			(14) Water/Sewer														
				Conc. Block Poured Conc. Stone Treated Wood Concrete Floor															
(3) Roof		(9) Basement Finish			Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic														
X	Gable Hip Flat		Gambrel Mansard Shed	1200	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)														
X	Asphalt Shingle	(10) Floor Support			Lump Sum Items:														
	Chimney: Brick	Joists: Unsupported Len: Cntr.Sup:																	
Cost Est. for Res. Bldg: 1 Single Family BC										Cls BC			Blt 1990						
(11) Heating System: Forced Heat & Cool																			
Ground Area = 1324 SF Floor Area = 2026 SF.																			
Phy/Ab.Phy/Func/Econ/Comb. % Good=72/100/100/100/72																			
Building Areas																			
Stories Exterior Foundation																			
2 Story Siding Basement																			
1 Story Siding Basement																			
Total:										352,441			253,757						
Other Additions/Adjustments																			
Basement Living Area										1200			67,488 48,591						
Plumbing																			
3 Fixture Bath										1			7,171 5,163						
2 Fixture Bath										1			4,804 3,459						
Porches																			
CCP (1 Story)										45			1,837 1,323						
Garages																			
Class: BC Exterior: Siding Foundation: 42 Inch (Unfinished)																			
Base Cost										660			37,085 26,701						
Common Wall: 1 Wall										1			-3,272 -2,356						
Water/Sewer																			
Public Sewer										1			2,009 1,446						
Water Well, 200 Feet										1			12,298 8,855						
Fireplaces																			
Prefab 1 Story										1			3,848 2,771						
Totals:										485,709			349,710						
Notes:																			
ECF (4303 TRI LAKES NON LAKEFRONT) 1.200 =>													TCV: 419,652						

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

3 Bedrooms  
2 Full Baths  
1 1/2 Bath  
1 Pre Fab Fireplace

Shed N/V



Sketch by Apex ESketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP**  
**USE VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-14 Meeting Date: 5-21-24 26:30

PAID Variance Application Fee

\$215.00 for Residential

| \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Steffan Ramage Email: steffanramage@gmail.com

Property Address: 3771 Dorr Road Brighton Mi 48116 Phone: 248.860.8312

Present Zoning: CE Tax Code: 4711-23-300-010

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Seeking relief from sideline setback for garage placed at the front of the house. Adding a <sup>attached</sup> detached garage to front of house with covered walkway  
Adding the garage will casue the structure to end up 25' from the sideline vs the current ~~20~~ or the requiered 40'

The following is per Article 23.05.04 of the Genoa Township Ordinance:

**Criteria Applicable to Use Variances.** The Board of Appeals may grant a use variance only upon a finding that an unnecessary hardship exists. A use variance is approval to allow a use that is otherwise not permitted in a zoning district.

A finding of an unnecessary hardship shall require demonstration by the applicant of all of the following:

**Under each please indicate how the proposed project meets each criteria.**

Unreasonable Current Zoning Designation. Demonstrate that the site cannot reasonably be used for any of the uses allowed within the current zoning district designation. The Board of Appeals may require submission of documentation from professionals or certified experts to substantiate this finding.

Addition to the existing house for a garage is only available in the front due to well location and existing house location

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Unique Circumstances. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district. Must prove that there are certain features or conditions of the land that are not generally applicable throughout the zone and that these features make it impossible to earn a reasonable return without some adjustment.

The lot is only 168' wide and current house is only 29 feet from the lot line. Well location prevents garage in back, septic field restricts moving garage further from sideline.

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Not Self-Created. The problem and resulting need for the variance has not been self-created. The Board of Appeals shall consider changes made to the property by the applicant and near term predecessors.

The house foot print is original and the width of the lot has not been reduced and septic and well locations are in only available location.

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Capacity of Roads, Infrastructure and Public Services. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised.

No change in roads or other public services

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Character of Neighborhood. The use variance will not alter the essential character of the neighborhood nor be a detriment to adjacent properties.

There is only one other house viewable from the street and the 4' is not impacting the character and the garage will match house character with same roof pitch, windows, siding.

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**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.**

Date: 4-18-2024 Signature: 



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Planning Director  
**DATE:** May 15, 2024  
**RE:** ZBA #24-14

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**File Number:** ZBA# 24-14

**Site Address:** 3771 Dorr Road, Brighton

**Parcel Number:** 4711-23-300-010

**Parcel Size:** 5.0 Acres

**Applicant:** Steffan Ramage

**Property Owner:** Same as applicant

**Information Submitted:** Application, site plan, elevations

**Request:** Side yard setback and Wetland Setback Variance

**Project Description:** Applicant is requesting a side yard setback to construct an addition to an existing single-family home.

**Zoning and Existing Use:** Country Estates (CE), Single family dwelling and detached accessory structure are located on the property

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 3, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- Per Assessing Records, the home was built in 1973, remodeled in 2021.
- In 2020, a wetland setback variance and a side yard setback variance were approved for two additions to the existing home. The additions were never constructed. (See attached minutes)
- In 2021, a land use waiver was issued for demolition of interior of home.
- In 2021, a land use waiver was issued for interior work of home.
- In 2023, a land use permit was issued for retaining walls.
- The property will be serviced by a well and a septic system.
- See Record Card.

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

**MANAGER**

Kelly VanMarter



**Summary:** The applicant is requesting a side yard setback variance to construct an attached garage to an existing single-family home.

**Variance Requests:** The following is the section of the Zoning Ordinance that the variance is being requested from:

**Sec. 3.04 DIMENSIONAL STANDARDS - Table 3.04.01 (CE District)**

<b>SINGLE FAMILY STRUCTURE</b>	<b>Side Yard Setback</b>
<b>REQUIRED YARD SETBACK</b>	40'
<b>PROPOSED YARD SETBACKS</b>	25'1"
<b>REQUESTED YARD VARIANCES</b>	14'11"

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

(a) Practical Difficulty/Substantial Justice –Strict compliance with the side yard setback would prevent the applicant from constructing the addition in the proposed location. The variance does not seem to provide substantial justice for there are quite a few homes in the surrounding area with conforming side yard setbacks. However, the lot width for the surrounding area is not as narrow as the applicant’s property.

(b) Extraordinary Circumstances – The exceptional or extraordinary condition of the property is the existing location of the home, the narrowness of the lot and the wetlands that are located on the property. Applicant should address if the proposed location is the only location on the property with the least amount of a variance setback and that it is not self-created.

(c) Public Safety and Welfare – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance, staff recommends the following conditions be placed on the approval:

1. Structure must be guttered with downspouts.

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
NOVEMBER 17, 2020 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairman Rassel called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Greg Rassel, Michele Kreutzberg, Jean Ledford, Marianne McCreary, Craig Fons, and Amy Ruthig, Zoning Official. Absent was Bill Rockwell.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board introduced themselves.

**Approval of the Agenda:**

**Moved** by Board Member Ledford, seconded by Board Member Kreutzberg, to approve the agenda with the withdrawal of Case # 20-25, A request by Metro Detroit Signs, 7799 Conference Center Drive, for a variance to allow a third wall sign on an existing business. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was made at 6:34 pm with no response.

1. 20-22... A request by Catherine Richmond and Frederick Ort, 2742 Scottwood Place, for a retaining wall height variance to allow existing retaining walls in the rear yard. (Request for table).

**Moved** by Board Member Ledford, seconded by Board Member McCreary, to table Case #20-22 for Catherine Richmond and Frederick Ort, 2742 Scottwood Place until the next scheduled ZBA meeting of December 17, 2020 per the petitioner's request. **The motion carried unanimously.**

2. 20-23 ... A request by Steffan Ramage, 3771 Dorr Road, for a side yard setback variance and a wetland setback variance to allow for an addition to an existing home.

Mr. Steffan Ramage was present. He stated the property is five acres; however it is only 166 feet wide. They are planning on reusing the existing foundation and adding on to the rear of the home. The current garage is 28 feet from the side setback, so he is requesting to keep it in that

location. They will be adding onto the home on each side of the existing porch on the rear of the home to expand the size of the master bedroom and bathroom; which is why they are requesting a wetland setback on the side of the home. It will be in line with the existing home on the side and rear. They will be putting in a silt fence to protect the wetland during construction. Board Member McCreary questioned how the wetlands will be preserved after construction. What will be done to ensure more water does not flow into the wetland? Mr. Ramage stated there will be gutters on the home and there will be hedges planted on the north side of the home. His property is very flat so there is not a lot of runoff from that area. Ms. Ruthig stated that an inspection is done prior to the C of O being issued and at that time, they will determine that the wetlands were not disturbed and could require additional landscaping, etc. to be installed.

Board Member Fons asked the applicant if there were other options to gain the square footage desired. Mr. Ramage stated that they could not move the home further toward the front because of the septic field and moving it to the south would encroach on the location of the well. They do not want to add a second story to the home.

The call to the public was made at 6:51 pm with no response.

Board Member McCreary believes the variance request is the least necessary and noted that the wetland line varies along the property line. Board Member Fons stated that the home is currently non-conforming and knows that wetland borders vary; however, he is concerned that there would be more additions made to the home in the future that could continue to be further toward the wetland. It was noted that a condition could be placed on the variance approvals that no further additions or outbuildings are allowed on the property.

**Moved** by Board Member McCreary, seconded by Board Member Ledford, to approved Case #20-23 for Steffan Ramage at 3771 Dorr Road for a side yard setback variance of 12 feet from the required 40 feet for a setback of 28 feet to allow for an addition to an existing home, based on the following findings of fact:

- The current home will be reconstructed on the current perimeter foundation and will not change other than the 12 foot addition to the back portion of the home.
- The hardship is that the current home sits in the location and this would appear to be the least invasive way to add on to the home while keeping in mind a minimum disturbance.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.
- The natural drainage should be noted is currently a lawn and has been maintained as a lawn historically.

This approval is conditioned upon the following:

1. No further wetland variances will be granted for this property.
2. The applicant must obtain all required permits necessary for the addition and all interior work
3. The property will be guttered with downspouts directed into dry wells or rain gardens containing native plants to help slow the flow of water to the wetlands.
4. No work can be done on the home without proper permits.
5. The applicant shall permanently demarcate and install educational signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
6. The entire remaining 20' setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
7. If used, the applicant shall utilize slow release and low phosphorus fertilizers.
8. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
9. No other encroachments on the entire property are allowed.

**The motion carried unanimously.**

**Moved** by Board Member McCreary, seconded by Board Member Kreutzberg, to approved Case #20-23 for Steffan Rampage at 3771 Dorr Road for a wetland setback variance of five feet from the required 25 feet for a 20 foot wetland setback to allow for an addition to an existing home, based on the following findings of fact::

- Applicant is going to be using the same footprint that is in existence
- The width of the property is narrower than most properties in the surrounding area and the variance is considered the least amount necessary.
- The need for the variance is not self-created.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is conditioned upon the following:

1. No further wetland variances will be granted for this property.
2. The applicant must obtain all required permits necessary for the addition and all interior work
3. The property will be guttered with downspouts directed into dry wells or rain gardens containing native plants to help slow the flow of water to the wetlands.
4. No work can be done on the home without proper permits.
5. The applicant shall permanently demarcate and install educational signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.

6. The entire remaining 20' setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
7. If used, the applicant shall utilize slow release and low phosphorus fertilizers.
8. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
9. No other encroachments on the entire property are allowed.

**The motion carried unanimously.**

3. 20-24 ... A request by Brian and Lynn Shelters, 3829 Highcrest, for front, side, rear and waterfront yard setback variances to construct a new single family home.

Mr. Dennis Disner of Arcadian Design was present to represent the applicant. They are planning to demolish the existing cottage and build a new single-family home. The existing cottage is currently out of compliance on the waterfront and side yard setbacks. The side yard setbacks will be brought closer to compliance. The new structure will be further from the water than the existing cottage; however, the neighbor to the north built very close to the lake so that affects the applicant's waterfront setback. They are requesting a 10-foot variance from the formula that determined their waterfront setback. They are attempting to stagger the three homes along the diagonal lakefront. He understands the formula that establishes the lakefront setback, but it is harming his client. If the neighbor to the north had built to the formula, they would not need a waterfront variance. This home will be in between the setbacks of the two homes on either side of them. The average setback in the area is 18.6 feet and they are asking for a variance of 3 feet less than that average. They do not want to be harmed by the position of the neighbor's home.

The call to the public was made at 7:16 pm with no response.

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #20-24 for Brian and Lynn Shelters at 3829 Highcrest for a front yard variance of 13 feet, 6 inches; a rear yard setback variance of 9.5 inches; a side yard variance of 1 foot; and a waterfront setback variance of 10 feet for the construction of a new single family home, based on the following findings of fact:

- Strict compliance with setbacks would unreasonably prevent the use of the property (or cause it to be unbuildable)
- The variances will provide substantial justice in granting the applicant the same right as similar properties in the neighborhood.
- The exceptional or extraordinary condition of the property is the narrowness of the lot. The need for the front, waterfront, rear and side yard setback variances is not self-created and seems to be the least amount necessary.
- The granting of the variances will not impair adequate light and air to adjacent properties, would not increase congestion or increase the danger of fire or threaten public safety or welfare.

← 166.62' →

# 2020 ZBA SITE PLAN



Key



Addition



Replace current to add basement

Scale

1"=10'

*Wetlands*

Pole

20'

Well

← 36' →

← 20' →

↑ 20' ↓

22'

1368 sqft main floor

Garage

← 28' →

29'

↑ 38' ↓

Tank →

Driv

50x40'

Field

← 30' →

142' ↓

- Current
- 3 Bedroom
  - 1.5 Bath
  - 2 garage
  - 1368 sqft w/out porch

- New
- 3 Bedroom
  - 3 Bath
  - 3 garage
  - 1952 sqft w/out porch

22-141 50 SHEETS  
22-142 100 SHEETS  
22-144 200 SHEETS



← 1275.63' →



**SITE PLAN**

Address: 3771 Dorr Road

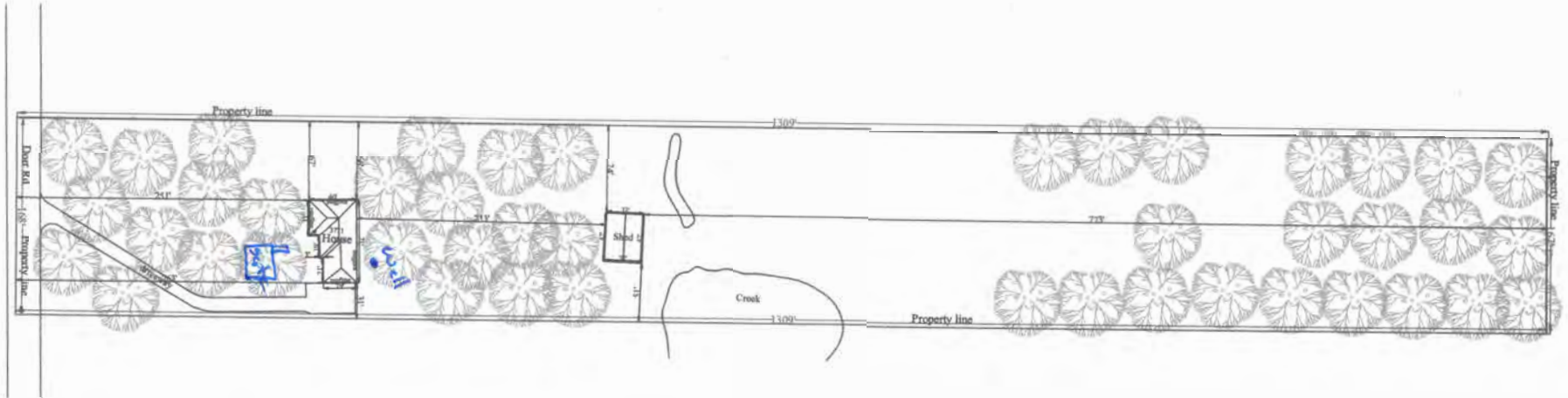
City, State, ZIP: Brighton, MI 48116

County: USA

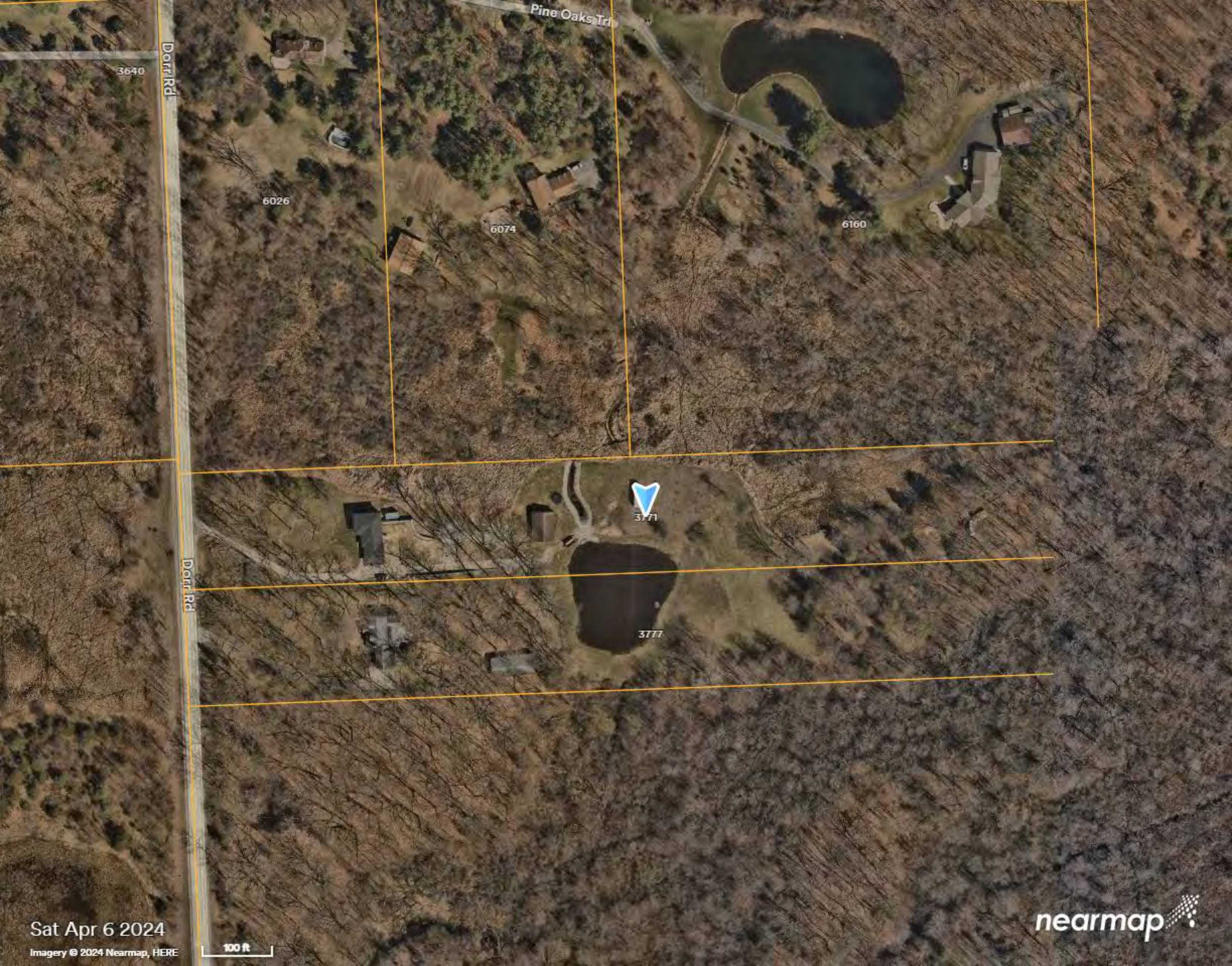
Scale 1":90'



**Additional site plan submitted with 2024 ZBA Request**







Pine Oaks Trl

Dorr Rd

3640

6026

6074

6160

3771

3777

Dorr Rd

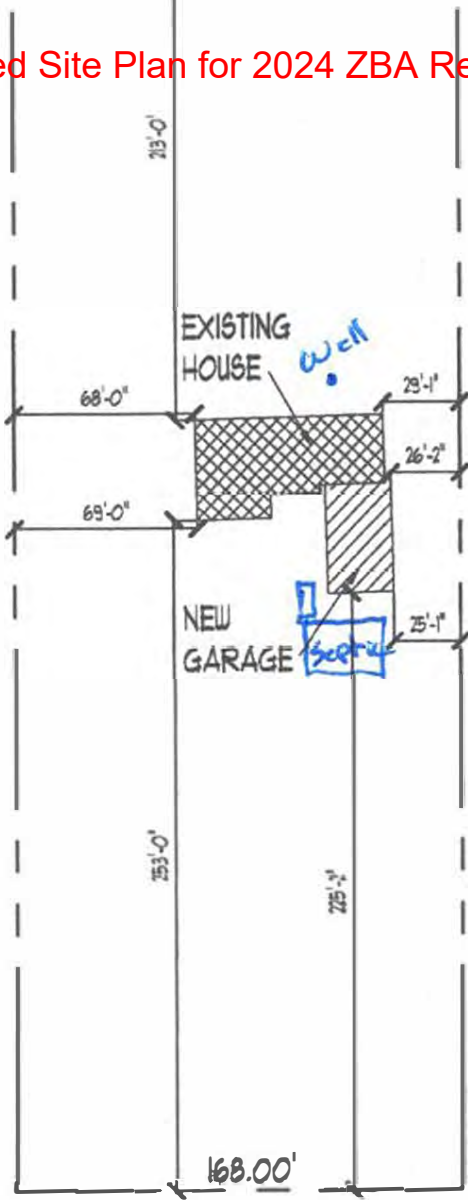
Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

100 ft

nearmap

Enlarged Site Plan for 2024 ZBA Request



DORR RD





**TABLE RAD1.1.2(1)**  
MINIMUM HORIZONTAL REINFORCEMENT FOR CONCRETE BASEMENT WALLS\*

MINIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (ft)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One No. 4 bar within 18 inches of the top of the wall story and one No. 6 bar near mid-height of the wall story
> 8	One No. 4 bar within 18 inches of the top of the wall story and one No. 4 bar near mid-height in the wall story

\* For 1500 psi concrete, 1 inch x 28k bars, 1 post per square foot x 48 in.  
 \* Minimum reinforcement requirements apply only to exterior walls. Minimum reinforcement for interior walls shall be determined by other applicable provisions.  
 \* L/20 max.  
 \* See Table RAD1.1.2(2) for reinforcement required for foundation walls supporting aboveground walls.

**TABLE RAD1.1.2(2)**  
MINIMUM VERTICAL REINFORCEMENT FOR 4-, 6-, 8-, 10- IN. DIAM NOMINAL FLAT CONCRETE BASEMENT WALLS\*

MAXIMUM WALL HEIGHT (ft)	MINIMUM UNBALANCED LATERAL FORCE (kips)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (INCHES)														
		Wall design "end design" based on full and partial moments														
		GR. OR CR. TP 30				CON. SLAB 500# AC and 10# 14				FC. RE. C1 and 10# 14						
		Minimum required wall thickness (inches)														
		4	6	8	10	12	4	6	8	10	12	4	6	8	10	12
5	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
6	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
7	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
8	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
9	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
10	4	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10

\* For 1500 psi concrete, 1 inch x 28k bars, 1 post per square foot x 48 in.  
 \* Minimum reinforcement requirements apply only to exterior walls. Minimum reinforcement for interior walls shall be determined by other applicable provisions.  
 \* L/20 max.  
 \* See Table RAD1.1.2(1) for reinforcement required for foundation walls supporting aboveground walls.

**TABLE RAD2.10.4.4**  
MINIMUM FRAP CAPACITY FOR WOOD FRAMING PERPENDICULAR TO MEMBERS PER FRAM AND CS-FR BRACED WALL PANELS

MINIMUM WALL ETD BEARING NOMINAL SET AND GIRT	MAXIMUM POINT LOAD WEIGHT (lb)	MAXIMUM WALL HEIGHT (ft)	EMBEDDED WALL HEIGHT (ft)	MINIMUM FRAP CAPACITY REQUIRED (lb/ft)				
				Ultimate Design Wind Speed (V, mph)				
				10	15	20	30	40
2 x 4 No. 2 Girts	0	10	10	1,000	1,200	1,500	1,800	2,100
			7	1,000	1,200	1,500	1,800	2,100
	1	10	10	1,000	1,200	1,500	1,800	2,100
			7	1,000	1,200	1,500	1,800	2,100
	2	10	10	1,775	2,175	2,675	3,275	3,875
			7	2,875	3,475	4,175	4,975	5,775
	3	10	10	2,875	3,475	4,175	4,975	5,775
			7	3,125	3,725	4,425	5,225	6,025
	4	10	10	3,125	3,725	4,425	5,225	6,025
			7	3,375	3,975	4,675	5,475	6,275
5	10	10	3,375	3,975	4,675	5,475	6,275	
		7	3,625	4,225	4,925	5,725	6,525	
6	10	10	3,625	4,225	4,925	5,725	6,525	
		7	3,875	4,475	5,175	5,975	6,775	
7	10	10	3,875	4,475	5,175	5,975	6,775	
		7	4,125	4,725	5,425	6,225	7,025	
8	10	10	4,125	4,725	5,425	6,225	7,025	
		7	4,375	4,975	5,675	6,475	7,275	
9	10	10	4,375	4,975	5,675	6,475	7,275	
		7	4,625	5,225	5,925	6,725	7,525	
10	10	10	4,625	5,225	5,925	6,725	7,525	
		7	4,875	5,475	6,175	6,975	7,775	

\* For 1500 psi concrete, 1 inch x 28k bars, 1 post per square foot x 48 in.  
 \* Minimum reinforcement requirements apply only to exterior walls. Minimum reinforcement for interior walls shall be determined by other applicable provisions.  
 \* L/20 max.  
 \* See Table RAD1.1.2(1) for reinforcement required for foundation walls supporting aboveground walls.

**TABLE RAD2.3.(5)**  
SIZE HEIGHT AND SPACING OF WOOD STUDS

W STUD (inches)	BEARING WALLS				NON-BEARING WALLS			
	Minimum Spacing (ft)	Minimum Height (ft)	Minimum Spacing (ft)	Minimum Height (ft)	Minimum Spacing (ft)	Minimum Height (ft)	Minimum Spacing (ft)	Minimum Height (ft)
2x4	10	10	10	10	10	10	10	10
2x6	10	10	10	10	10	10	10	10
2x8	10	10	10	10	10	10	10	10
2x10	10	10	10	10	10	10	10	10

\* For 1500 psi concrete, 1 inch x 28k bars, 1 post per square foot x 48 in.  
 \* Minimum reinforcement requirements apply only to exterior walls. Minimum reinforcement for interior walls shall be determined by other applicable provisions.  
 \* L/20 max.  
 \* See Table RAD1.1.2(1) for reinforcement required for foundation walls supporting aboveground walls.

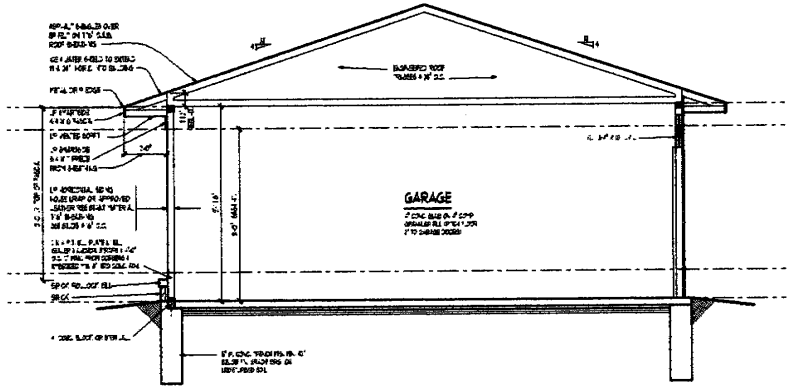
**TABLE RAD2.3.(1)**  
ALLOWABLE SPAN FOR MEMBERS SUPPORTING WALLS ON V-DIMED STUDS

MEMBER TYPE	MEMBER SIZE	MEMBER SPACING (ft)	MEMBER HEIGHT (ft)	MEMBER WEIGHT (lb/ft)	MEMBER DEFLECTION (in)
2x4	4" x 4"	4'-0"	8'-0"	1.5	1/8"
2x6	6" x 6"	6'-0"	12'-0"	2.5	1/8"
2x8	8" x 8"	8'-0"	16'-0"	3.5	1/8"
2x10	10" x 10"	10'-0"	20'-0"	4.5	1/8"

\* For 1500 psi concrete, 1 inch x 28k bars, 1 post per square foot x 48 in.  
 \* Minimum reinforcement requirements apply only to exterior walls. Minimum reinforcement for interior walls shall be determined by other applicable provisions.  
 \* L/20 max.  
 \* See Table RAD1.1.2(1) for reinforcement required for foundation walls supporting aboveground walls.

**TYPICAL CONVENTIONAL ROOF FRAMING**  
\* RIDGE BEAMS SHALL BE 6 IN DIA TO THE GARAGE CUT OFF

RAFTER SPACING	2'-0"	2'-4"	2'-8"	3'-0"	3'-4"	3'-8"	4'-0"
MINIMUM SPACING	2'-0"	2'-4"	2'-8"	3'-0"	3'-4"	3'-8"	4'-0"



**BUILDING SECTION**  
SCALE 3/8" = 1'-0"

PROJECT BUILDER:  
 PROJECT NO.:  
 SHEET NO.:

**DM DESIGN, LLC.**  
 Damien Mazurek, Designer  
 36235 West 7th Mile Rd  
 Suite 200  
 Brookton, MI 48116  
 (248) 772-8100  
 (248) 772-8101  
 (248) 772-8102  
 (248) 772-8103  
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 (248)



**PLAN NOTES**

**INTERIOR WALLS:**  
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 1/4" TACK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSIONS TAKEN FROM FINISH SURFACE.

**EXTERIOR WALLS:**  
CONCRETE FOUNDATION WITH AIRSPACE. NON-FIRE RATED Gypsum BOARD PAPER AND Gypsum BOARD SHALL BE MOUNTED ON THE WOOD STUDS @ 16" O.C. OR AS NOTED. FINISH SHALL CONFORM TO THE GYPSUM BOARD MANUFACTURER'S RECOMMENDATIONS. ALL DIMENSIONS TAKEN FROM FINISH SURFACE. TYPICAL, UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FINISH SURFACE UNLESS NOTED OTHERWISE.

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SEVERE FIRE RATED DOORS OR EQUIVALENT PER THE FIRE DEPARTMENT REQUIREMENTS.
2. VENT ALL EXHAUST FANS TO EXTERIOR.
3. WHEN POSSIBLE DIRECT ALL PILES AND VENTS THAT PENETRATE ROOF BEHIND THEM TO EXTERIOR.
4. GARAGE SHALL BE 10'0" WIDE BY 10'0" TALL.

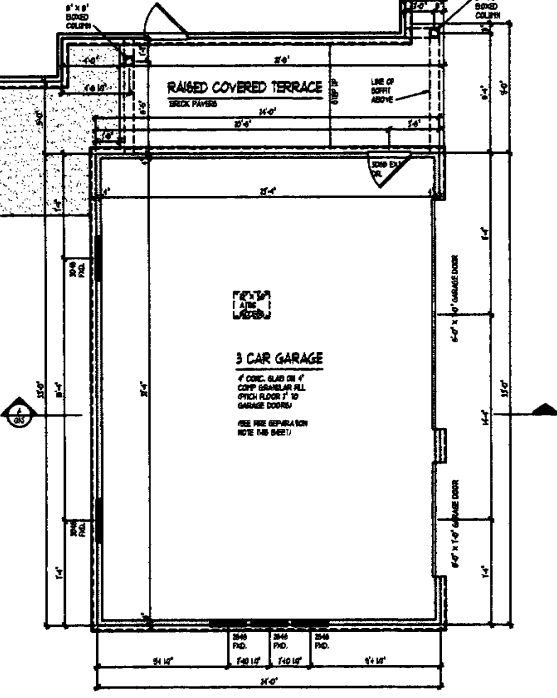
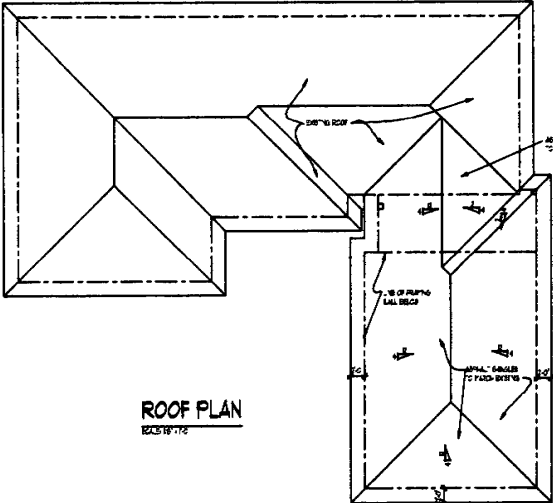
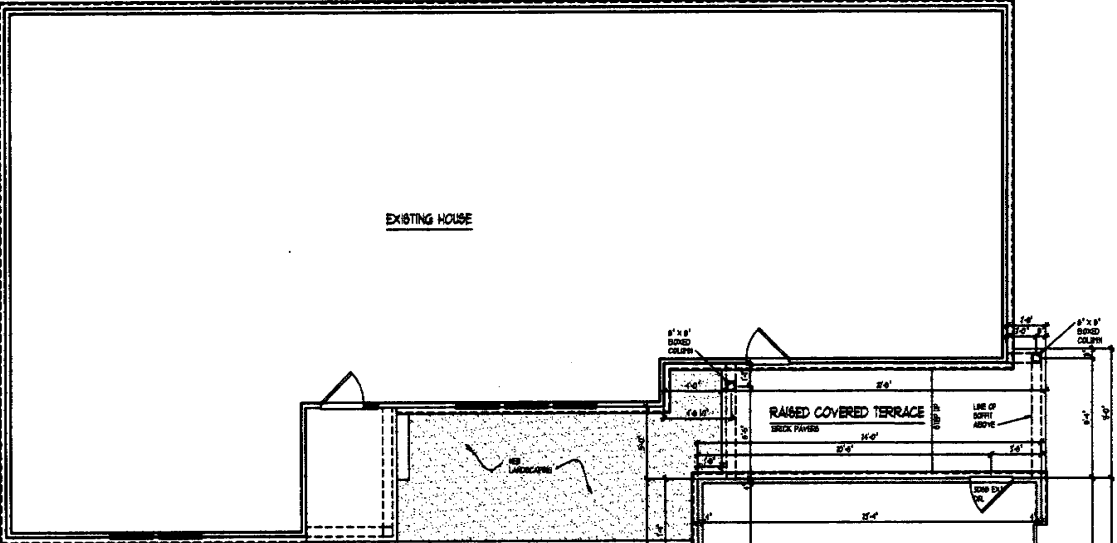
**NOTE:**  
PROVIDE PER 2x4 JOIST HEADERS AT ALL EXTERIOR EXTERIOR CORNERS UNLESS OTHERWISE NOTED OTHERWISE.

**NOTE:**  
PROVIDE PER 2x4 JOIST HEADERS AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE PER 2x4 JOIST ON LADDER FLOOR FROM ALL OTHER FLOOR PARALLEL PARTITIONS.

**NOTE:**  
**DOOR THRESHOLDS:**  
ALL DOOR THRESHOLDS ARE ASSUMED TO BE CENTERED IN THE CENTER OF THE DOOR FRAME OR TO BE CENTERED FROM PERPENDICULAR WALL FOR CASES UNLESS NOTED OTHERWISE.

**FIRE SEPARATION NOTE**  
**FIRE SEPARATION WALLS:**  
EXTERIOR WALLS BETWEEN THIS BUILDING SHALL BE SEPARATED FROM ALL UNDESIRABLE ROOMS AND BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. INSIDE THE SEPARATION IS A FIRE-RATED INSULATION. THE FIRE-RATED INSULATION SHALL ALSO BE PROVIDED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND TO BE SEPARATED BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. CONSULT WITH THE ARCHITECT, MECHANICAL, AND ELECTRICAL ENGINEERS BY PLAN.



NO.	DATE	DESCRIPTION

**DM DESIGNS, LLC**  
Darien Mazurek, Designer  
36235 Wood 7 Mile RD  
Livonia, MI 48152  
(734) 248-7228  
(734) 248-7228 (F) (734) 248-7228 (C)  
(734) 248-7228 (H)

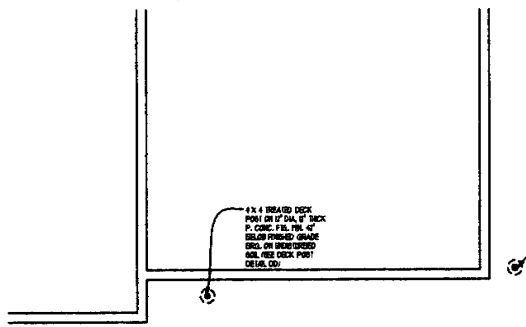
PROJECT BUILDER:

PROPOSED RESIDENTIAL PROJECT FOR:  
**RAMAGE GARAGE**  
3771 DORR ROAD  
BRIGHTON, MI 48116

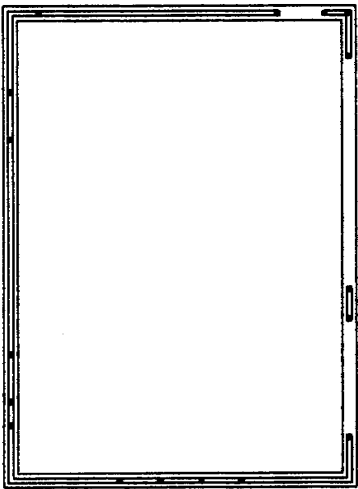
REVISION DATE	12/23
SCALE	AS SHOWN
DRAWN BY	D. MAZUREK
APPROVED BY	
DATE	12/23
FINAL DATE	12/23
SHEET	A-2



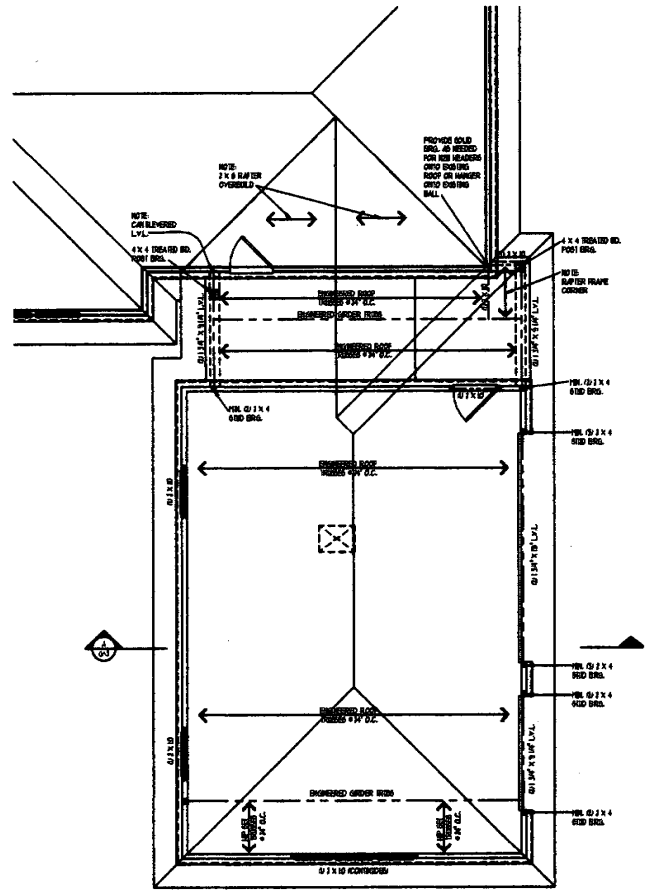




4 X 4 TREATED DECK  
POST ON 12\"/>



FOUNDATION PLAN STRUCTURE  
SCALE 1/4\"/>



NOTE:  
2 X 8 RAFTER  
CROSSWALL

NOTE:  
CABLE-KNIFE  
LVL

4 X 4 TREATED DECK  
POST ON 12\"/>

PROVIDE GILD  
BRG. AS NEEDED  
FOR THE HEADERS  
CROSSING THE  
ROOF ON HANGER  
CROSSING THE  
BALL

2 X 4 TREATED HD.  
POST BRG.

NO 10  
RAFTER FRAME  
CORNER

2 X 4 TREATED  
HD BRG.

2 X 4 TREATED  
HD BRG.

2 X 4 TREATED  
HD BRG.

2 X 4 TREATED  
HD BRG.

2 X 4 TREATED  
HD BRG.

FIRST FLOOR PLAN STRUCTURE  
SCALE 1/4\"/>

NOTE:  
PROVIDE 2\"/>

NOTE:  
PROVIDE NO. 6 ANCHORED 1-1/2\"/>

NOTE:  
PROVIDE NO. 4 LAGS OR LAGGED  
NAILS THROUGH ALL UPPER FLOOR  
PARALLEL PARTITION

NOTE:  
MINOR ALL CONCRETE BLOCK  
CORNER BUILT SHALL SUPPORT 1 POINT  
LOAD FROM ABOVE (TYPICAL)

NOTE:  
CORNER BRG. BALL  
CORNER BRG. BALL ABOVE  
CORNER BRG. BALL 1 BRG. BALL ABOVE  
IN POINT LOAD  
IN POINT LOAD FROM ABOVE

- STRUCTURAL GENERAL NOTES  
DESIGNED FOR SERVICE TO THE AC AND RIBD SPEEDS OF 60 N.P.M. OR  
LESS
1. BALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION BRACKLE OF  
THE 2015 IBC CODE
  2. BRACING REQUIREMENTS SHALL BE PER IBCS 1803.1.1
  3. EXTERIOR BRACED BALL PANELS (SBP) SHALL BE CONSTRUCTED IN  
ACCORDANCE WITH COMP. METHOD AS PRESCRIBED IN SECTION  
1803.1.1.1
  4. ALL BRACKLE BRACES OF EXTERIOR BALLS INCLUDING AREAS  
ABOVE AND BELOW OPENINGS AND SHALLE END BALLS SHALL BE  
CORROSION BRACED WITH BRONZE COATING. PANELS MUST  
BE GALVANIZED WITH A MINIMUM THICKNESS OF 54\"/>
1. PROVIDE 60 COPPER BALLS AT 8\"/>
  2. BRACKLE BALLS AT 12\"/>
  3. END CORNERS FOR ALL BRACKLE PANEL CORNERS SHALL BE BUILT UP  
WITH 2\"/>

REVISION	DATE	BY	DESCRIPTION

DM DESIGNS, LLC.  
Civil/Structural Designer  
38235 West 7 Mile Rd.  
Livonia, MI 48150  
(734) 248-7222  
(9) DMDESIGNSLLC@GMAIL.COM

PROJECT BUILDERS

PROPOSED RESIDENTIAL PROJECT FOR:  
**RAMAGE GARAGE**  
3771 DORR ROAD  
BRIGHTON, MI 48116

REVISION	DATE	BY	DESCRIPTION

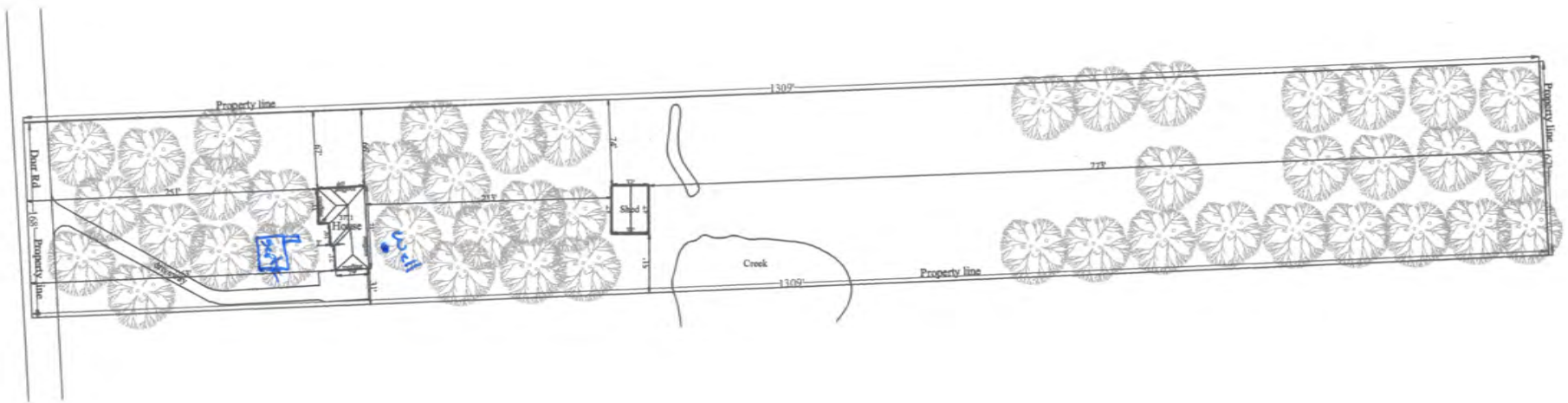
# SITE PLAN

Address: 3771 Dorr Road

City, State, ZIP: Brighton, MI 48116

County: USA

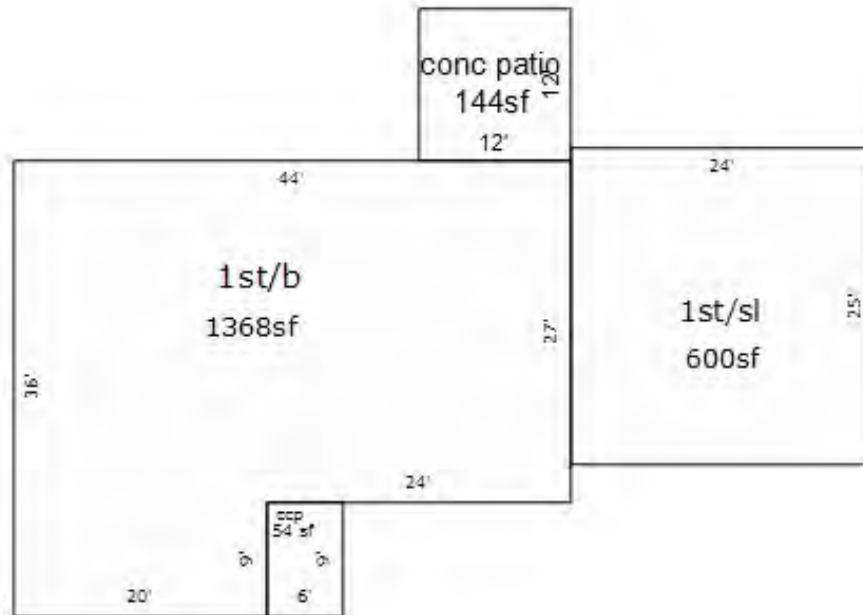
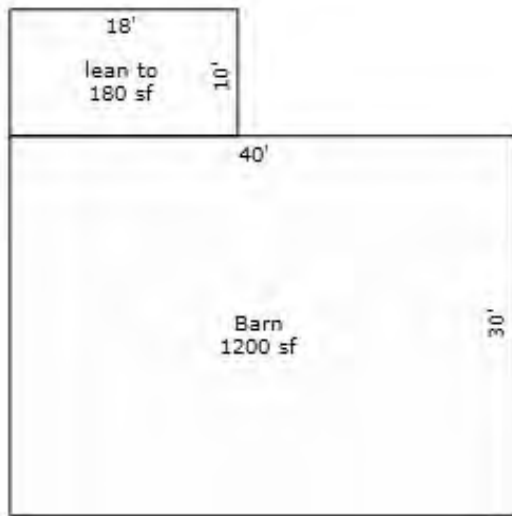
Scale 1":90'



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
LANGE, DENNIS	RAMAGE STEFFAN	250,000	09/02/2016	WD	03-ARM'S LENGTH	2016R-027182	BUYER/SELLER	100.0			
LANGE, DENNIS		0	10/06/1998	QC	21-NOT USED/OTHER	24420988	BUYER/SELLER	0.0			
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: CE		Building Permit(s)		Date	Number	Status	
3771 DORR RD		School: BRIGHTON AREA SCHOOLS		Fence		10/12/2023		P23-197	7 FINAL BL		
Owner's Name/Address		P.R.E. 100% 10/07/2016		Interior Work/Repairs		05/28/2021		PW21-055	7 FINAL BL		
RAMAGE STEFFAN 3771 DORR RD BRIGHTON MI 48116-9423		MAP #: V24-14		Demolition		05/26/2021		PW21-054			
Tax Description		2025 Est TCV Tentative (6,400 MCL 211.)		Land Value Estimates for Land Table 4501.4501 (47010) BRIGHTON M & B							
SEC 23 T2N R5E BEG AT A PT ON THE C.L. OF DORR RD, N 0*18'15"W 1168.62 FT FROM SW COR, TH N 0*18'15"W 166.62 FT, TH S 89*58' 30"E 1308.53 FT, TH S 0*26'E 166.62 FT, TH N 89*58'30"W 1308. 91 FT TO POB, 5AC M/L		X	Improved	Vacant	* Factors *						
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value							
		X	Dirt Road	TABLE A 5.00 Acres 21,000 100 105,000							
		X	Gravel Road	5.00 Total Acres Total Est. Land Value = 105,000							
		X	Paved Road								
		X	Storm Sewer								
		X	Sidewalk								
		X	Water								
		X	Sewer								
		X	Electric								
		X	Gas								
		X	Curb								
		X	Street Lights								
		X	Standard Utilities								
		X	Underground Utils.								
		Topography of Site									
		Level									
		Rolling									
		Low									
		High									
		Landscaped									
		Swamp									
		Wooded									
		Pond									
		Waterfront									
		Ravine									
		Wetland									
		Flood Plain									
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value	
		Who	When	What	2025	Tentative	Tentative	Tentative		Tentative	
4711-23-300-010 11/02/2023		JB	11/02/2023	INSPECTED	2024	52,500	153,900	206,400		160,093C	
The Equalizer. Copyright (c) 1999 - 2009.		LG	05/13/2022	INSPECTED	2023	44,000	135,200	179,200		152,470C	
Licensed To: Township of Genoa, County of Livingston, Michigan		JB	10/28/2021	INSPECTED	2022	44,000	113,000	157,000		145,210C	

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





3 BEDROOMS  
2 FULL BATH  
2 EXTRA SINKS  
1 DVFP  
A/C  
FINISHED W/O BSMT  
WHOLE HOME GENERATOR  
CNC DW - NV

Building Type	Farm Utility Buildings				
Year Built					
Class/Construction	D,Pole				
Quality/Exterior	Average				
# of Walls, Perimeter	4 Wall, 140				
Height	10				
Heating System	No Heating/Cooling				
Length/Width/Area	40 x 30 = 1200				
Cost New	\$ 20,424				
Phy./Func./Econ. %Good	59/100/100 59.0				
Depreciated Cost	\$ 12,050				
+ Unit-In-Place Items	\$ 0				
Description, Size X Rate X %Good = Cost					
Itemized ->					
Unit-In-Place ->					
Items ->					
E.C.F.	X 0.980				
% Good	59				
Est. True Cash Value	\$ 11,809				
Comments:					
Total Estimated True Cash Value of Agricultural Improvements / This Card: 11809 / All Cards: 11809					



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 24-15

Meeting Date: May 21, 2024  
@ 6:30 pm in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: JOHN T Price Email: Pricejohn384@gmail.com

Property Address: 145 Meadowview PR Phone: (517) 375-1748

Present Zoning: Suburban Residential Tax Code: 4711-06-201-030

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: we would like to  
build a 12 ft deep by 21 ft wide covered  
decks onto the front of our home for a  
front Porch Entry

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

**Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

we really like our neighborhood and would like to make improvements to our front porch so we can have room to sit out there and enjoy

**Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

we feel the front porch is undersized and would like to make it larger we feel the design is an improvement to the look of the house and our property

**Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

we feel its far enough away from public streets and neighbors to affect anybody's safety or wellfare

**Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

we feel the improvement would increase the appeal of our home and the neighborhood by making our front porch more visually appealing  
Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 4/22/2024 Signature: Jah & Rie





# MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Planning Director  
**DATE:** May 14, 2024

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

**RE:** ZBA 24-15

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## STAFF REPORT

**File Number:** ZBA#24-15  
**Site Address:** 145 Meadowview Drive  
**Parcel Number:** 4711-06-201-030  
**Parcel Size:** 0.402  
**Applicant:** John T Price  
**Property Owner:** Debra Turner and John Price, 145 Meadowview Drive, Howell

**Information Submitted:** Application, site plan, conceptual drawings

**Request:** Dimensional Variance

**Project Description:** Applicant is requesting a front yard setback variance to construct a covered porch on an existing home.

**Zoning and Existing Use:** SR (Suburban Residential) Single Family Dwelling located on property.

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 5, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- Per assessing records, the existing single-family home was built in 1968, updated in 2003.
- In 2020, a land use permit was issued for a carport.
- The property utilizes a well and public sewer system.
- See Real Record Card.

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

**MANAGER**

Kelly VanMarter

**Summary**

Applicant is seeking a front yard setback variance to construct a covered porch at the front of an existing home. There appear to be zoning ordinance violations on the property in regards to the storage and parking of trailers.

**Variance Requests**

The following is the section of the Zoning Ordinance that the variance is being requested from: **Table 3.04.01 (SR District)**

SINGLE FAMILY STRUCTURE	Front Yard Setback
REQUIRED YARD SETBACK	40'
PROPOSED YARD SETBACKS	36'
REQUESTED YARD VARIANCES	4'

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:** Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the setbacks would prevent the covered front porch from being constructed. It would not prevent the use of the property and it is not necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel. There appear to be no other parcels in the vicinity with reduced front yard setbacks.
- (b) **Extraordinary Circumstances** – There are no exceptional or extraordinary conditions of the property. Granting of the variance would not make the property consistent with other properties in the vicinity. The need for the variance is self-created.
- (c) **Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) **Impact on Surrounding Neighborhood** – The proposed variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

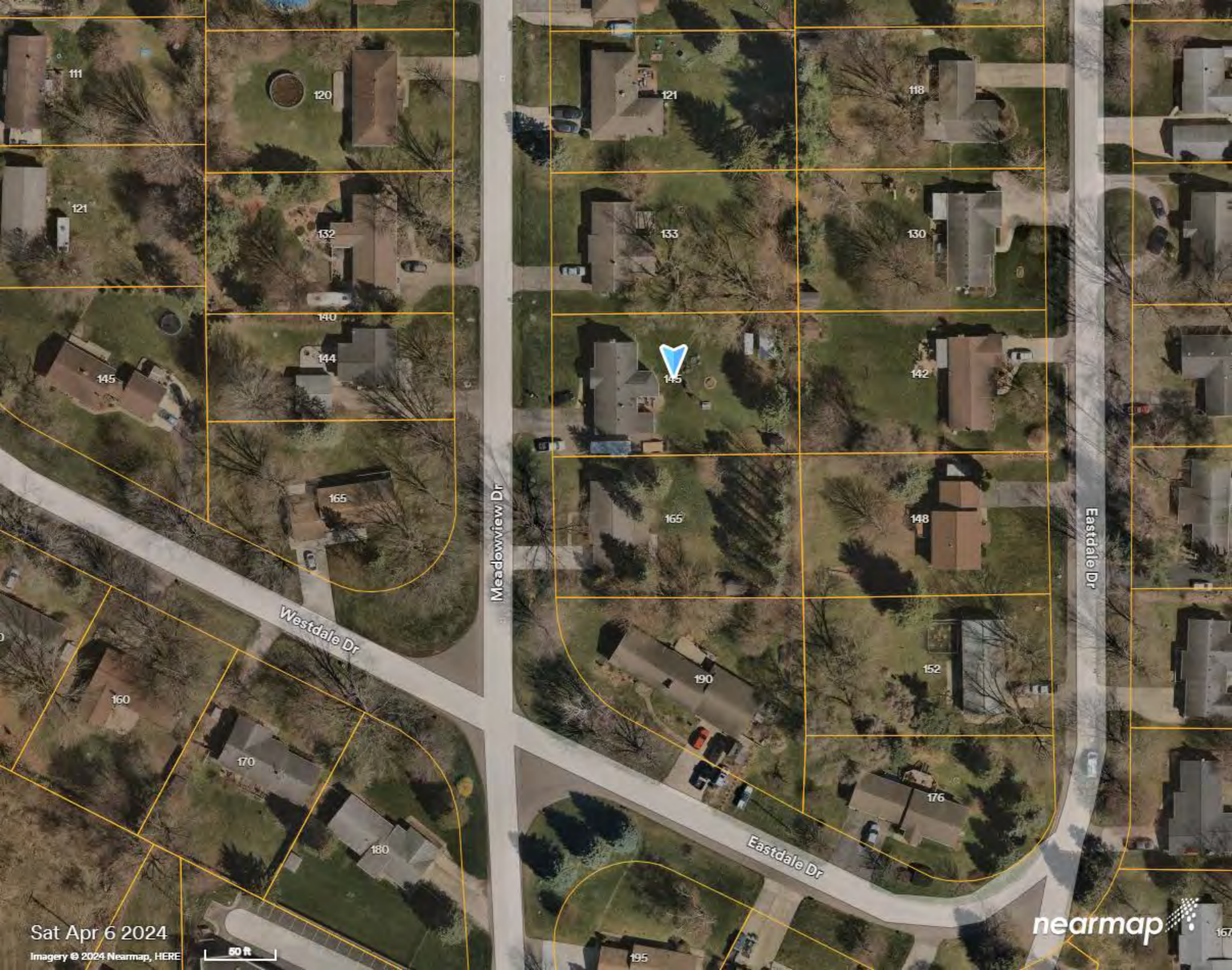
**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval:

- 1. The property shall be brought into compliance with the storage of trailers within 14 days of approval.

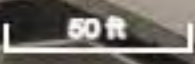
If the Zoning Board of Appeals denies the variance requests, staff recommends the following conditions be placed on the denial:

- 1. The property shall be brought into compliance with the storage of trailers within 14 days of denial.

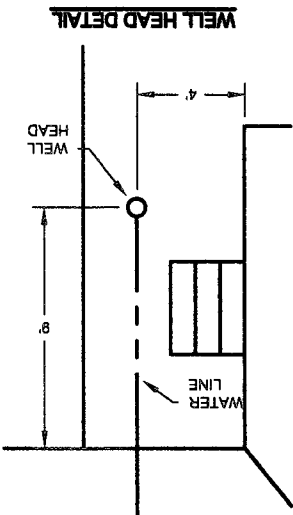
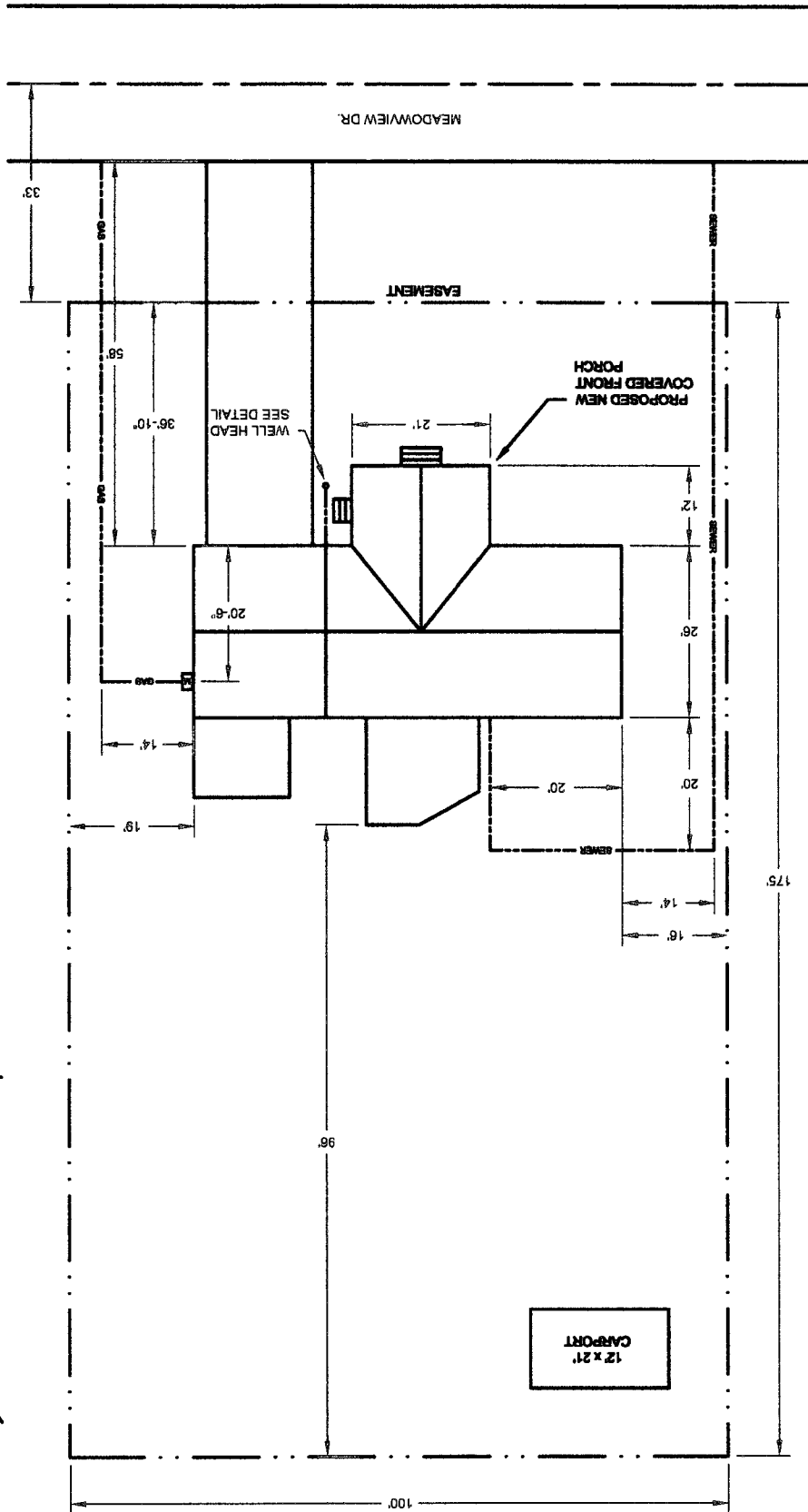


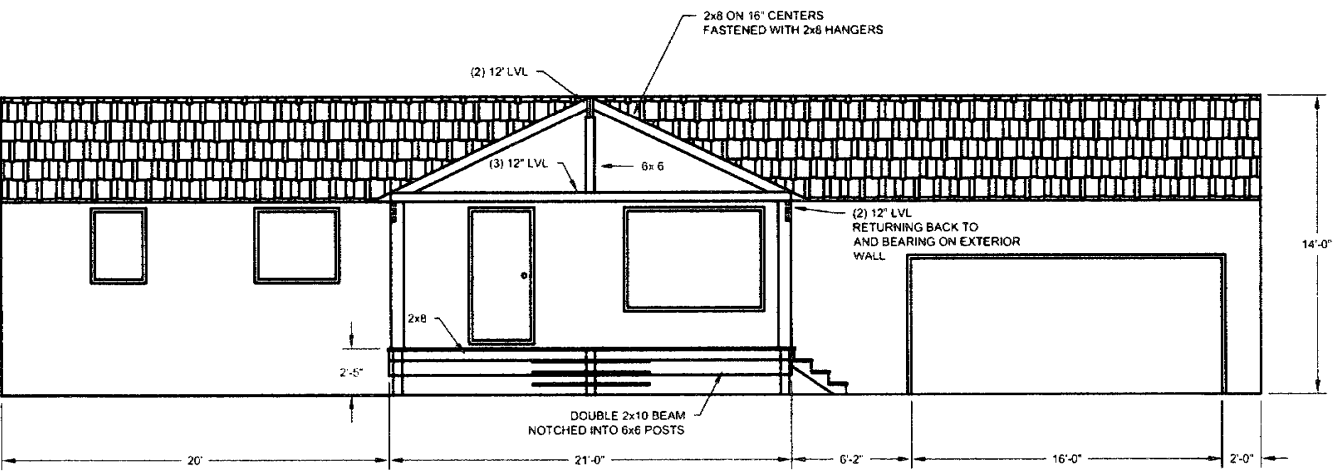
Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE



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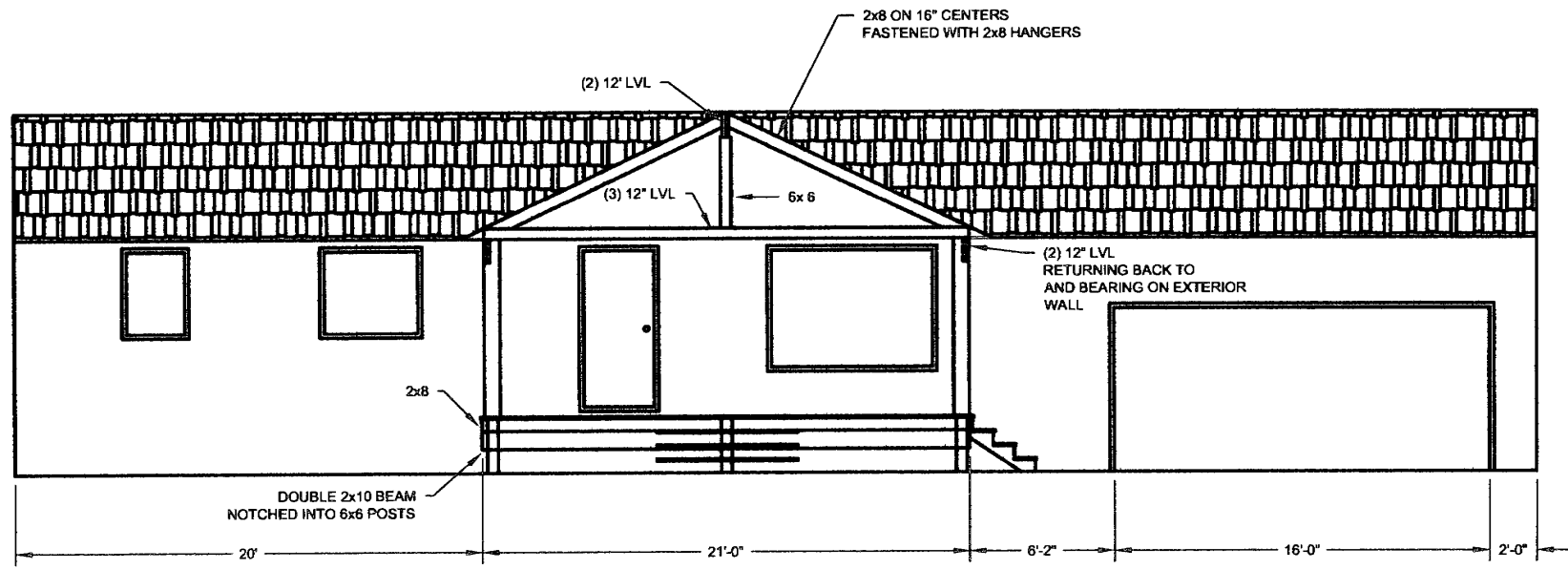




**WEST ELEVATION**

**PRICE FRONT PORCH**  
 145 MEADOWVIEW DR.  
 HOWELL, MI

**POLI CONSTRUCTION**  
 313-910-2100



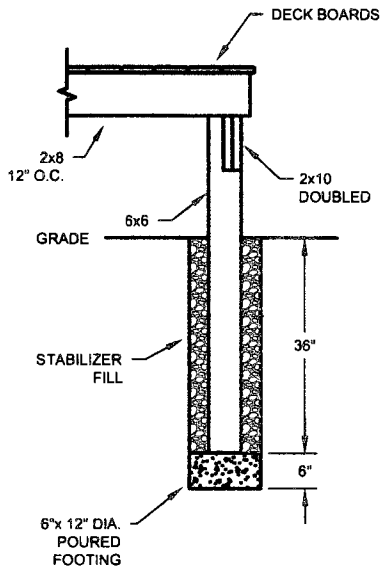
**WEST ELEVATION**

APRIL 16, 2024  
 4/18/2024 10:30:18 AM

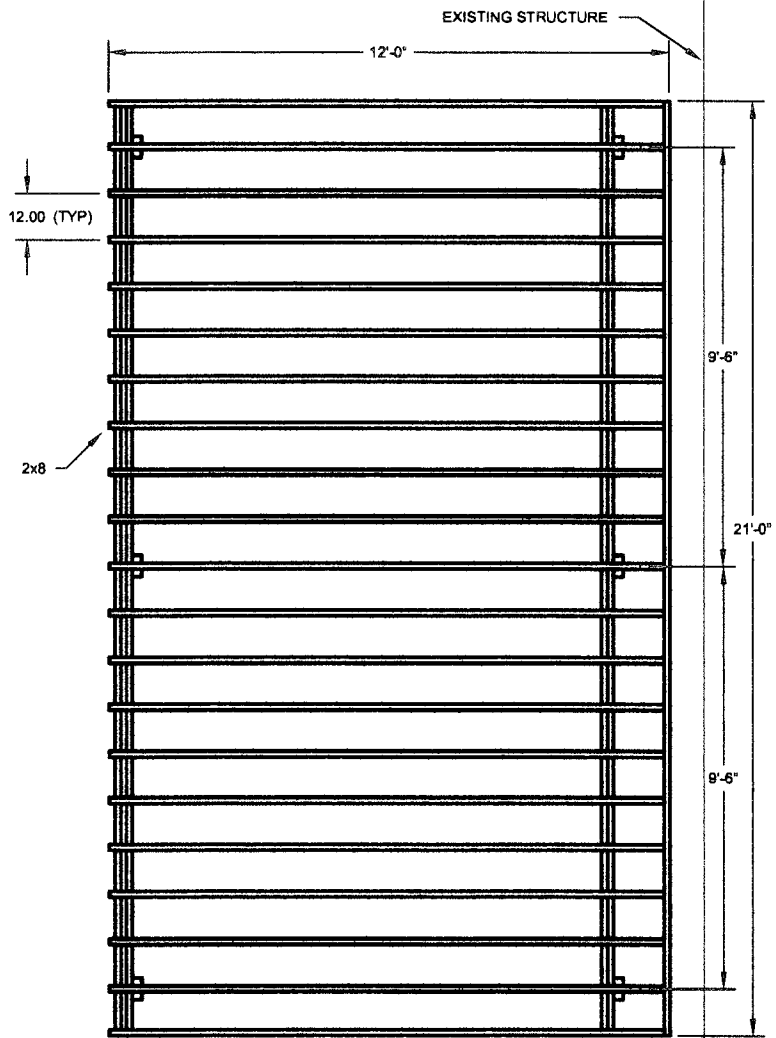
**PRICE FRONT PORCH**  
 145 MEADOWVIEW DR.  
 HOWELL, MI

**POLI CONSTRUCTION**  
 313-810-2100  
 2 OF 3



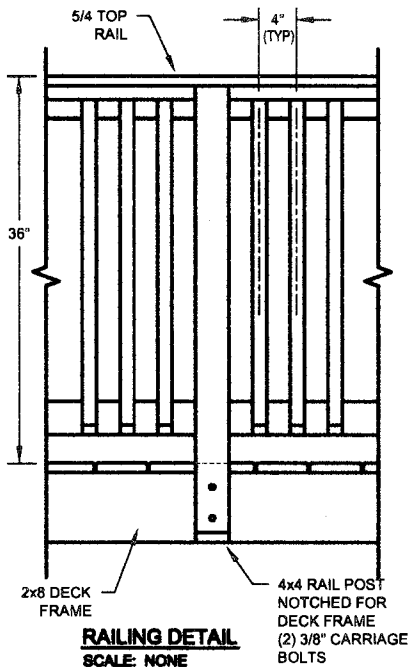


**POST DETAIL**  
SCALE: NONE

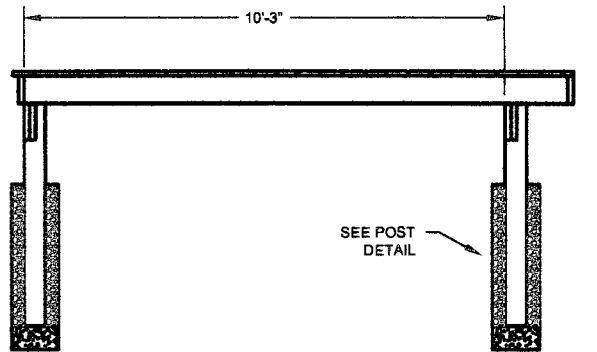


**PLAN**  
SCALE: NONE

NOTE: TOP DECK BOARDS NOT SHOWN




**RAILING DETAIL**  
SCALE: NONE



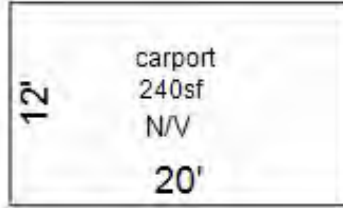
**ELEVATION**  
SCALE: 1/4"=1'-0"



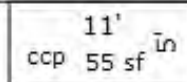
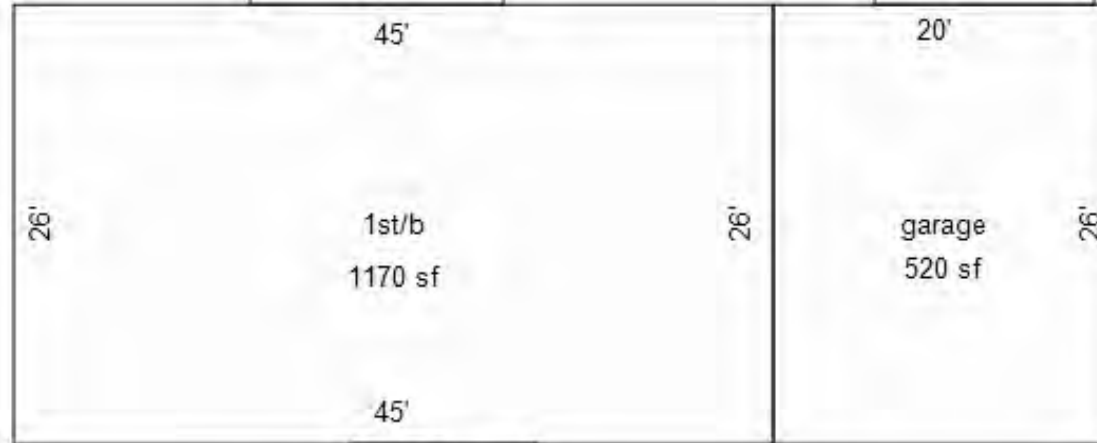
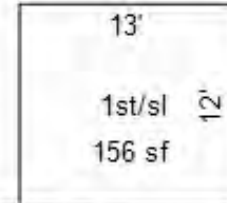
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.													
TURNER DEBRA	TURNER DEBRA & PRICE JOHN	0	05/15/2019	QC	09-FAMILY	2019R-012087	BUYER/SELLER	0.0													
BANISTER ELISA LTS 9.3	TURNER DEBRA	215,000	04/04/2019	WD	03-ARM'S LENGTH	2019R-008791	BUYER/SELLER	100.0													
BANISTER ELISA F	BANISTER ELISA LTS 9.3	0	07/05/2016	WD	15-LADY BIRD	2016R-021580	BUYER/SELLER	0.0													
JAROS, SARAH & DANIEL	BANISTER ELISA F	162,000	07/30/2008	PTA	03-ARM'S LENGTH	2008R-026177	BUYER/SELLER	100.0													
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: SR		Building Permit(s)		Date	Number	Status											
145 MEADOWVIEW DR		School: HOWELL PUBLIC SCHOOLS		Detached Accessory		08/31/2020		P20-150													
Owner's Name/Address		P.R.E. 100% 04/18/2019		MAP #: V24-15		2025 Est TCV Tentative															
TURNER DEBRA & PRICE JOHN 145 MEADOWVIEW DR HOWELL MI 48843-8606		X Improved		Vacant		Land Value Estimates for Land Table 4000.4000 EASTDALE WESTDALE															
Tax Description		Public Improvements		* Factors *																	
SEC. 6 T2N, R5E, "EARL LAKE HEIGHTS NO. 1" LOT 30		Dirt Road		Description		Frontage		Depth		Front		Depth		Rate %Adj.		Reason		Value			
Comments/Influences		Gravel Road		<Site Value A>		A SITE VALUE		60000		100								60,000			
		Storm Sewer		100 Actual Front Feet, 0.40 Total Acres		Total Est. Land Value =		60,000										60,000			
		Sidewalk		Topography of Site		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value			
		Water		Level		X		REFUSE		2025		Tentative		Tentative		Tentative		Tentative		Tentative	
		Sewer		Rolling		Who		When		What		2025		2024		2023		2022			
		Electric		Low		JB		10/02/2020		INSPECTED		2024		27,500		110,900		138,400		119,582C	
		Gas		High		JB		05/09/2019		REVIEWED R		2023		22,500		104,500		127,000		113,888C	
		Curb		Landscaped		LM		08/11/2014		DATA ENTER		2022		22,500		91,400		113,900		108,465C	
		Street Lights		Swamp																	
		Standard Utilities		Wooded																	
		Underground Utils.		Pond																	
		Waterfront																			
		Ravine																			
		Wetland																			
		Flood Plain																			
		X REFUSE																			
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan																					

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





3 BEDROOMS  
2 FULL BATH  
1 FP  
A/C  
DAYLIGHT BSMT  
ASPHALT DW - N/V





**GENOA CHARTER TOWNSHIP**  
**WETLAND VARIANCE APPLICATION**

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 24-16 Meeting Date: May 21, 2024 @ 6:30pm  
in Boardroom  
 PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Gerald Wilson Email: \_\_\_\_\_  
698 Indiana St. Vacant  
Property Address: Howell, MI 48843 Phone: 517 672-6353  
Present Zoning: Rural Residential Tax Code: 11-03-200-018

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: The variance request is  
for 17' from the Natural Features Setback to  
construct a shared drive for access to four  
parcels.

The following is per Article 13.02.05 of the Genoa Township Ordinance:

**Criteria Applicable to Wetland Setback Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

**13.02.05 Variances from the Wetland Setback Requirements**

The setback is not necessary to preserve the wetland's ecological and aesthetic value;

*The variance requested is from manmade ditches that now contain wetland vegetation. Boss Engineering wetland specialist, Patrick Clary, has indicated the wetlands have low ecological and aesthetic value.*

The natural drainage pattern to the wetland will not be significantly affected;

*The shared drive will be constructed in a similar location to an existing farm drive. The shared drive will not impact the drainage pattern to the existing ditches.*

The variance will not increase the potential for erosion, either during or after construction;

*Proper soil erosion control measures will be required during construction. When completed, the shared drive will have a gravel surface similar to the drive that is there today.*

No feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed;

*The proposed shared drive width will meet Brighton Area Fire Department standards. The location is similar to an existing drive on the property.*

MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

*There is no impact to the existing wetlands within the manmade ditches. No EGLE permit is required.*

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 4-23-21 Signature: 



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Planning Director  
**DATE:** May 15, 2024  
**RE:** ZBA 24-16

---

**File Number:** ZBA#24-16

**Site Address:** Vacant parcel, Golf Club Road (4711-03-200-018)

**Parcel Number:** 4711-03-200-018

**Parcel Size:** 5.0 Acres

**Applicant:** Gerald Wilson

**Property Owner:** Jerry Wilson and Michael Dwyer, 698 Indiana St. Howell

**Information Submitted:** Application and site plan

**Request:** Wetland Setback Variance to install a shared driveway to allow for property to be split.

**Zoning and Existing Use:** Rural Residential (RR), vacant property.

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 3, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per Assessing Records, the property is vacant.
- The property will be serviced by a well and a septic system.
- See Record Card.

### **SUPERVISOR**

Bill Rogers

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

### **MANAGER**

Kelly VanMarter

## Summary

The applicant is requesting a variance from the required 25-foot undisturbed natural features setback to install a shared driveway to allow for the property to be split into 4 new parcels.

## Variance Requests

The following is the section of the zoning ordinance that the variance is being requested from as well as the criteria applicable for your review of the variance in this regard.

### *13.02.04 Genoa Township Wetland Protection Standards*

*(d) Required 25-foot setback: An undisturbed natural setback shall be maintained twenty-five (25) feet from a MDEQ determined/regulated wetland. Trails and recreational areas may be allowed in the wetland setback. Any site grading or storage within the wetland protection setback area shall require a Special Land Use Permit according to Article 19; provided that no such activity shall be allowed within ten (10) feet of a regulated wetland unless specifically approved by the Planning Commission.*

### *13.02.05 Variances from the Wetland Setback Requirement*

*In considering a variance for the wetland setback, the applicant must demonstrate to the Board of Appeals:*

- (a) the setback is not necessary to preserve the wetland's ecological and aesthetic value.*
- (b) the natural drainage pattern to the wetland will not be significantly affected;*
- (c) the variance will not increase the potential for erosion, either during or after construction;*
- (d) no feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed; or*
- (e) MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.*

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 13.02.05.

- (a)** Evidence should be provided that the setback is not necessary to preserve the wetland's ecological and aesthetic value. The application indicates that a wetland specialist has determined that the wetlands have low ecological and aesthetic value.
- (b)** The natural drainage pattern could be affected due to the proposed driveway being located in an area that has only been a farm path. Additional information should be provided in regards to the need for culverts which would have a greater impact to the wetland buffer.
- (c)** Applicant has stated that proper soil erosion control measures will be followed during construction. Wetland buffer could be permanently demarcated with signage to indicate the edge of the undisturbed natural area and could remain in perpetuity to ensure future owners do not further encroach.
- (d)** Although the applicant indicates compliance with BAFD in regards to the width of the shared driveway, the BAFD does not review shared driveways and the ordinance requirement is 16 feet

with the ability to be reduced down to 12 feet in order to preserve wetlands. The driveway should be reduced to an approved width to the minimum amount necessary.

- (e) A MDEQ permit is not needed for a work inside in the 25-foot natural features setback from the wetland.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The applicant shall permanently demarcate and install signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed.
5. All existing storage on site which is an ordinance violation shall be removed prior to split approval.

If the Zoning Board of Appeals denies the variance requests staff recommends the following conditions be placed on the denial:

1. All existing storage on site which is an ordinance violation shall be removed within 14 days.





Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

← Subject Property

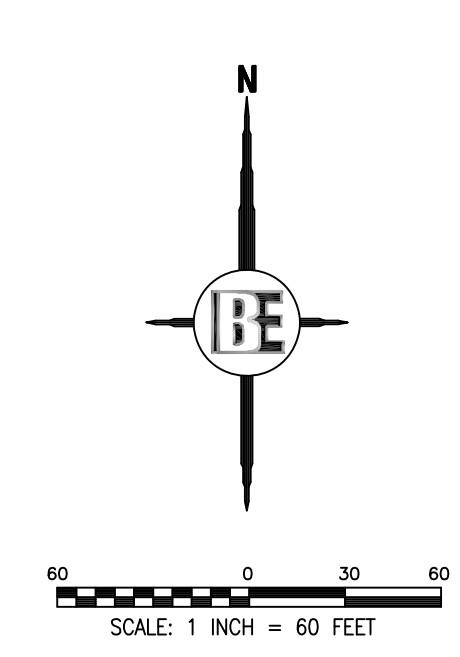
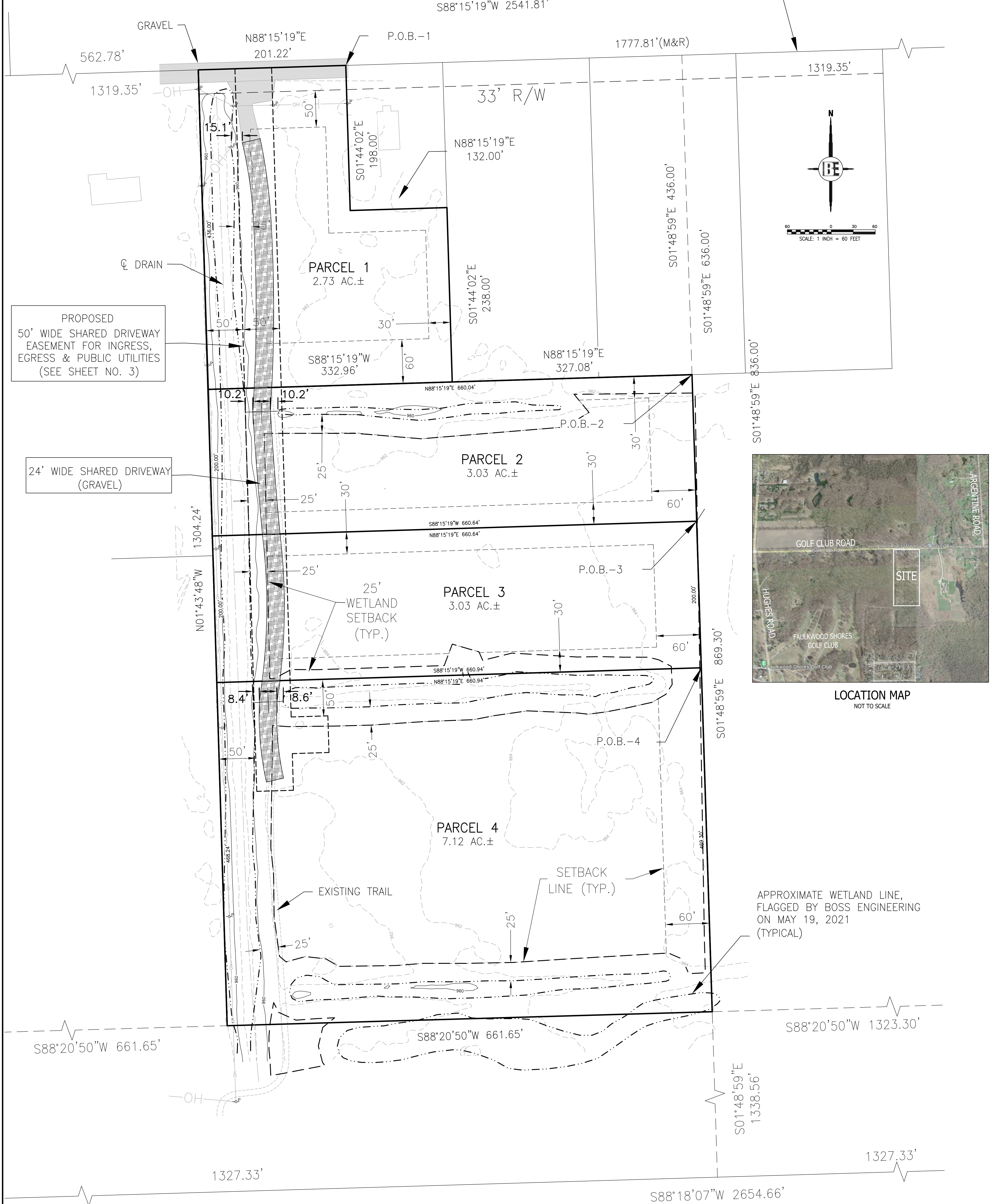
Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

200 ft

nearmap

☉ GOLF CLUB ROAD (66' WIDE R/W) AND NORTH LINE SECTION 3



PROPOSED  
50' WIDE SHARED DRIVEWAY  
EASEMENT FOR INGRESS,  
EGRESS & PUBLIC UTILITIES  
(SEE SHEET NO. 3)

24' WIDE SHARED DRIVEWAY  
(GRAVEL)



LOCATION MAP  
NOT TO SCALE

APPROXIMATE WETLAND LINE,  
FLAGGED BY BOSS ENGINEERING  
ON MAY 19, 2021  
(TYPICAL)

SHEET NO. <b>1 OF 1</b>	DESIGNED BY: PC	PROJECT: PARCEL # 11-03-200-018 GOLF CLUB ROAD
	DRAWN BY: PC	PREPARED FOR: GERALD WILSON 698 INDIANA STREET HOWELL, MI 48843 517-672-6353
CHECKED BY: BL	DATE: 4/23/24	TITLE: WETLAND VARIANCE PLAN
SCALE: 1" = 60'	NO BY	REVISION PER
JOB NO.: 19-321		

**BOSS Engineering**  
Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

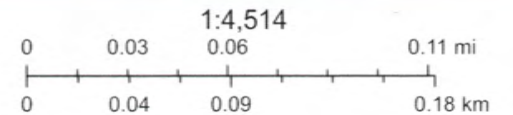
3 WORKING DAYS BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
FOR THE LOCATION OF UNDERGROUND UTILITIES

# Livingston County GIS Map



4/23/2024, 6:43:16 AM

- Tax Parcel
- Roads
- PLSS Section
- Municipality
- Major Road



SEMCOG, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA, Livingston County IT/GIS

Livingston County IT/GIS

Map information depicted is not intended to replace or substitute for any official or primary source. Boundary measurements and area calculations are approximate and should not be construed as survey measurements.

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.									
CS GOLF LLC	WILSON JERRY	175,000	08/12/2019	WD	20-MULTI PARCEL SALE REF	2019R-021179	BUYER/SELLER	100.0									
WILSON JERRY	WILSON JERRY & DWYER MICHAEL	1	08/12/2019	QC	21-NOT USED/OTHER	2019R-021263	BUYER/SELLER	0.0									
CALKA JASON & ROBIN	CS GOLF LLC	1	03/31/2015	WD	21-NOT USED/OTHER	2016R-017346	BUYER/SELLER	0.0									
FIRST NATIONAL BANK IN HOWELL	CALKA JASON & ROBIN	190,000	04/19/2010	PTA	10-FORECLOSURE	2010R-012256	BUYER/SELLER	100.0									
Property Address		Class: RESIDENTIAL-VACANT		Zoning: RR		Building Permit(s)		Date	Number	Status							
VACANT		School: HARTLAND CONSOLIDATED SCHS		P.R.E. 0%		MAP #: V24-16		2025 Est TCV Tentative									
Owner's Name/Address		WILSON JERRY & DWYER MICHAEL 698 INDIANA ST HOWELL MI 48843-1777		Improved		X	Vacant		Land Value Estimates for Land Table 4502.4502 (47060) HARTLAND M & B								
Tax Description		SEC. 3 T2N, R5E, COMM NE COR TH N88*24'05"W 1777.81 FT TO POB TH N88*24'05"W 201.76 FT TH S01*20'49"W 1320 FT TH S88*24'05"E 659.19 FT TH N01*20'49"E 884 FT TH N88*24'05"W 326.43 FT TH N01*20'49"E 238 FT TH N88*24'05"W 132 FT TH N01*20'49"E 198 FT TO POB CONT. 16.1 AC M/L SPLIT FR 004 & 011 9/01 PARCEL E/CORR 10/04		Dirt Road		X	Gravel Road		TABLE A								
Comments/Influences		NO SEWER SERVICE AVAILABLE, SEE ATTACHED LETTER FROM GREG		Public Improvements		* Factors *		Description		Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
				Topography of Site		Level		15.92 Total Acres		14,455		100		Total Est. Land Value =		230,120	
				Level		Rolling		15.92		14,455		100		230,120			
				Rolling		Low											
				High		Landscaped											
				Swamp		Wooded											
				Pond		Waterfront											
				Ravine		Wetland											
				Flood Plain													
				Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
				Who		When		What		2025		Tentative		Tentative		Tentative	
										2024		115,100		0		115,100	
										2023		97,700		0		97,700	
										2022		91,400		0		91,400	
																88,195C	

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP**  
**WETLAND VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-16 Meeting Date: May 21, 2024 @ 6:30pm  
in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Gerald Wilson Email: \_\_\_\_\_

Property Address: ~~698 Indiana St.~~ <sup>Vicinity</sup> Howell, M: 48843 Phone: 517 672-6353

Present Zoning: Rural Residential Tax Code: 11-03-200-018

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

- Variance requested/intended property modifications:** The variance request is for 17' from the Natural Features Setback to construct a shared drive for access to four parcels.

The following is per Article 13.02.05 of the Genoa Township Ordinance:

**Criteria Applicable to Wetland Setback Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

**13.02.05 Variances from the Wetland Setback Requirements**

The setback is not necessary to preserve the wetland's ecological and aesthetic value;

*The variance requested is from manmade ditches that now contain wetland vegetation. Boss Engineering wetland specialist, Patrice Clouty, has indicated the wetlands have low ecological and aesthetic value.*

The natural drainage pattern to the wetland will not be significantly affected;

*The shared drive will be constructed in a similar location to an existing farm drive. The shared drive will not impact the drainage pattern to the existing ditches.*

The variance will not increase the potential for erosion, either during or after construction;

*Proper soil erosion control measures will be required during construction. When completed, the shared drive will have a gravel surface similar to the drive that is there today.*

No feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed;

*The proposed shared drive width will meet Brighton Area Fire Department standards. The location is similar to an existing drive on the property.*

MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

*There is no impact to the existing wetlands within the manmade ditches. No EGLE permit is required.*

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 4-23-21 Signature: 



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Planning Director  
**DATE:** May 15, 2024  
**RE:** ZBA 24-16

---

**File Number:** ZBA#24-16

**Site Address:** Vacant parcel, Golf Club Road (4711-03-200-018)

**Parcel Number:** 4711-03-200-018

**Parcel Size:** 5.0 Acres

**Applicant:** Gerald Wilson

**Property Owner:** Jerry Wilson and Michael Dwyer, 698 Indiana St. Howell

**Information Submitted:** Application and site plan

**Request:** Wetland Setback Variance to install a shared driveway to allow for property to be split.

**Zoning and Existing Use:** Rural Residential (RR), vacant property.

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 3, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per Assessing Records, the property is vacant.
- The property will be serviced by a well and a septic system.
- See Record Card.

### **SUPERVISOR**

Bill Rogers

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

### **MANAGER**

Kelly VanMarter

## Summary

The applicant is requesting a variance from the required 25-foot undisturbed natural features setback to install a shared driveway to allow for the property to be split into 4 new parcels.

## Variance Requests

The following is the section of the zoning ordinance that the variance is being requested from as well as the criteria applicable for your review of the variance in this regard.

### *13.02.04 Genoa Township Wetland Protection Standards*

*(d) Required 25-foot setback: An undisturbed natural setback shall be maintained twenty-five (25) feet from a MDEQ determined/regulated wetland. Trails and recreational areas may be allowed in the wetland setback. Any site grading or storage within the wetland protection setback area shall require a Special Land Use Permit according to Article 19; provided that no such activity shall be allowed within ten (10) feet of a regulated wetland unless specifically approved by the Planning Commission.*

### *13.02.05 Variances from the Wetland Setback Requirement*

*In considering a variance for the wetland setback, the applicant must demonstrate to the Board of Appeals:*

- (a) the setback is not necessary to preserve the wetland's ecological and aesthetic value.*
- (b) the natural drainage pattern to the wetland will not be significantly affected;*
- (c) the variance will not increase the potential for erosion, either during or after construction;*
- (d) no feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed; or*
- (e) MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.*

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 13.02.05.

- (a)** Evidence should be provided that the setback is not necessary to preserve the wetland's ecological and aesthetic value. The application indicates that a wetland specialist has determined that the wetlands have low ecological and aesthetic value.
- (b)** The natural drainage pattern could be affected due to the proposed driveway being located in an area that has only been a farm path. Additional information should be provided in regards to the need for culverts which would have a greater impact to the wetland buffer.
- (c)** Applicant has stated that proper soil erosion control measures will be followed during construction. Wetland buffer could be permanently demarcated with signage to indicate the edge of the undisturbed natural area and could remain in perpetuity to ensure future owners do not further encroach.
- (d)** Although the applicant indicates compliance with BAFD in regards to the 24' width of the shared driveway, the BAFD typically requires a 20-foot wide shared driveway. The Township ordinance



requirement is 16 feet with the ability to be reduced down to 12 feet in order to preserve wetlands. The driveway should be reduced to an approved width to the minimum amount necessary. An approval letter should be provided by the Brighton Area Fire Dept. indicating that they are requiring the 24-foot wide drive. A MDEQ permit is not needed for a work inside in the 25-foot natural features setback from the wetland.

### **Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The applicant shall permanently demarcate and install signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed.
5. All existing storage on site which is an ordinance violation shall be removed prior to split approval.

If the Zoning Board of Appeals denies the variance requests staff recommends the following conditions be placed on the denial:

1. All existing storage on site which is an ordinance violation shall be removed within 14 days.



Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

Golf Club Rd

Subject Property

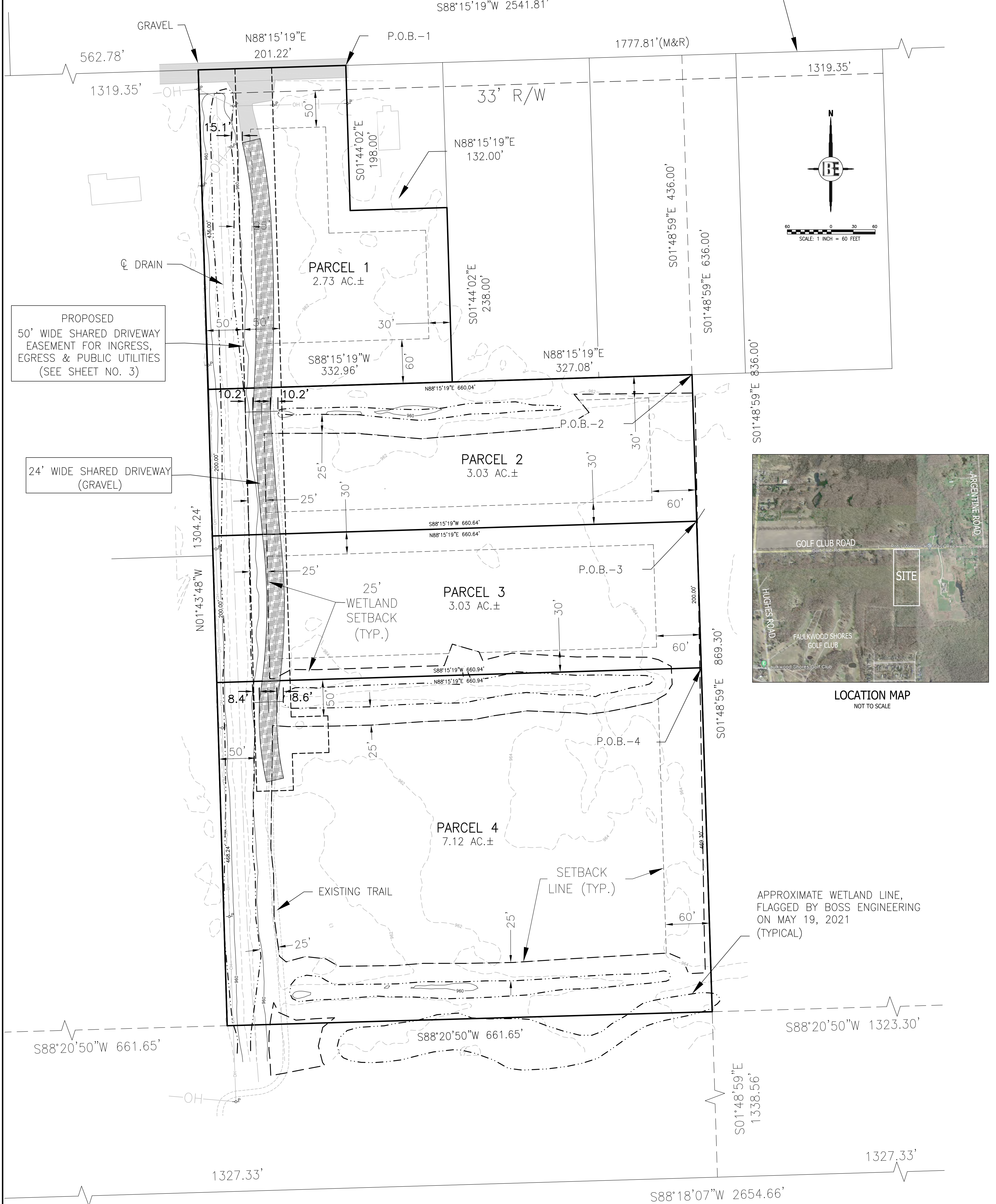
Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

200 ft

nearmap

☉ GOLF CLUB ROAD (66' WIDE R/W) AND NORTH LINE SECTION 3



PROPOSED  
50' WIDE SHARED DRIVEWAY  
EASEMENT FOR INGRESS,  
EGRESS & PUBLIC UTILITIES  
(SEE SHEET NO. 3)

24' WIDE SHARED DRIVEWAY  
(GRAVEL)



LOCATION MAP  
NOT TO SCALE

APPROXIMATE WETLAND LINE,  
FLAGGED BY BOSS ENGINEERING  
ON MAY 19, 2021  
(TYPICAL)

SHEET NO. <b>1 OF 1</b>	DESIGNED BY: PC	PROJECT: PARCEL # 11-03-200-018 GOLF CLUB ROAD
	DRAWN BY: PC	PREPARED FOR: GERALD WILSON 698 INDIANA STREET HOWELL, MI 48843 517-672-6353
JOB NO.: 19-321	CHECKED BY: BL	TITLE: WETLAND VARIANCE PLAN
DATE: 4/23/24	NO BY: _____	REVISION PER: _____
	DATE: _____	

**BOSS Engineering**  
Engineers Surveyors Planners Landscape Architects

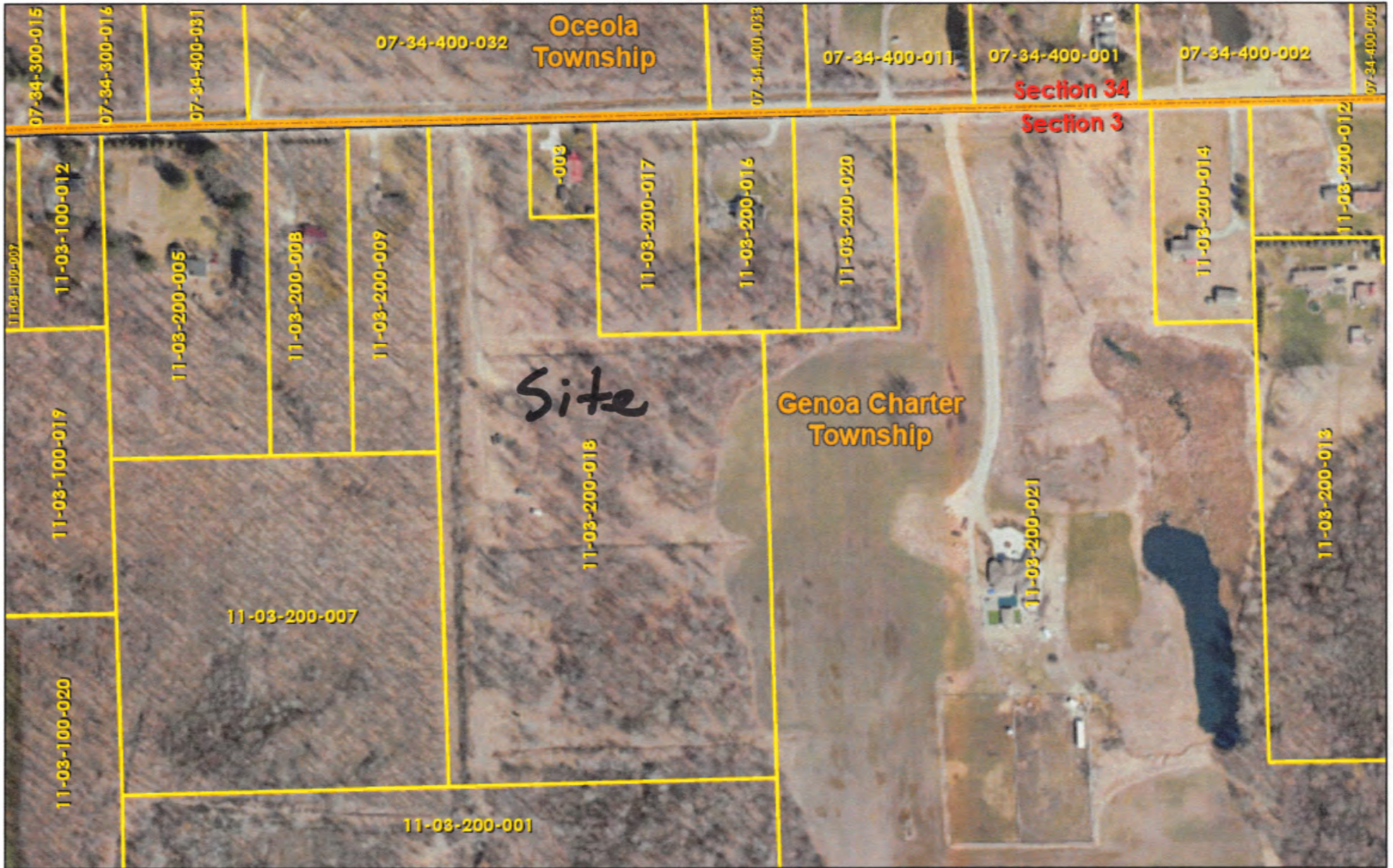
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670

STATE OF MICHIGAN  
BRENT W. LA VONWAY  
ENGINEER  
No. 38211  
PROFESSIONAL ENGINEER

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

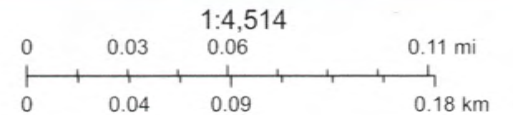
3 WORKING DAYS BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
FOR THE LOCATION OF UNDERGROUND UTILITIES

# Livingston County GIS Map



4/23/2024, 6:43:16 AM

- Tax Parcel
- Roads
- Major Road
- PLSS Section
- Municipality



SEMCOG, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA, Livingston County IT/GIS

Livingston County IT/GIS

Map information depicted is not intended to replace or substitute for any official or primary source. Boundary measurements and area calculations are approximate and should not be construed as survey measurements.

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.											
CS GOLF LLC	WILSON JERRY	175,000	08/12/2019	WD	20-MULTI PARCEL SALE REF	2019R-021179	BUYER/SELLER	100.0											
WILSON JERRY	WILSON JERRY & DWYER MICHAEL	1	08/12/2019	QC	21-NOT USED/OTHER	2019R-021263	BUYER/SELLER	0.0											
CALKA JASON & ROBIN	CS GOLF LLC	1	03/31/2015	WD	21-NOT USED/OTHER	2016R-017346	BUYER/SELLER	0.0											
FIRST NATIONAL BANK IN HOWELL	CALKA JASON & ROBIN	190,000	04/19/2010	PTA	10-FORECLOSURE	2010R-012256	BUYER/SELLER	100.0											
Property Address		Class: RESIDENTIAL-VACANT		Zoning: RR		Building Permit(s)		Date	Number	Status									
VACANT		School: HARTLAND CONSOLIDATED SCHS		P.R.E. 0%		MAP #: V24-16		2025 Est TCV Tentative											
Owner's Name/Address		WILSON JERRY & DWYER MICHAEL 698 INDIANA ST HOWELL MI 48843-1777		Improved		X	Vacant		Land Value Estimates for Land Table 4502.4502 (47060) HARTLAND M & B										
Tax Description		SEC. 3 T2N, R5E, COMM NE COR TH N88*24'05"W 1777.81 FT TO POB TH N88*24'05"W 201.76 FT TH S01*20'49"W 1320 FT TH S88*24'05"E 659.19 FT TH N01*20'49"E 884 FT TH N88*24'05"W 326.43 FT TH N01*20'49"E 238 FT TH N88*24'05"W 132 FT TH N01*20'49"E 198 FT TO POB CONT. 16.1 AC M/L SPLIT FR 004 & 011 9/01 PARCEL E/CORR 10/04		Dirt Road		X	Gravel Road		TABLE A										
Comments/Influences		NO SEWER SERVICE AVAILABLE, SEE ATTACHED LETTER FROM GREG		Public Improvements		* Factors *		Description		Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value		
		SEC 3 T2N R5E COMM NE COR TH N88*15'19"W 1777.81 FT TO POB TH S01*44'02"E 198 FT TH N88*15'19"E 132 FT TH S 01*44'02"E 238 FT TH N88*15'19"E 327.08 FT TH S01*48'59"E 869.30 FT TH S88*20'50"W 661.65 FT TH N01*43'48"W 1304.24 FT TH N88*15'19"E 201.22 FT TO POB CONT 15.92 AC M/L SPLIT FR 004 & 011 9/01 PARCEL E		Level		Rolling		15.92 Total Acres		Total Est. Land Value =		230,120		230,120					
				Topography of Site		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
				Level		2025		Tentative		Tentative		Tentative						Tentative	
				Rolling		2024		115,100		0		115,100						97,234C	
				Low		2023		97,700		0		97,700						92,604C	
				High		2022		91,400		0		91,400						88,195C	
				Landscaped															
				Swamp															
				Wooded															
				Pond															
				Waterfront															
				Ravine															
				Wetland															
				Flood Plain															

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 24-17 Meeting Date: May 21, 2024 @ 6:30 pm

PAID Variance Application Fee in Boardroom

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Symmetry Management Email: fjarbou@symmetrymgmt.com

Property Address: 3599 E Grand River Ave Phone: 248-465-0200

Present Zoning: Regional Commercial District (RCD) Tax Code: 4711-05-400-031

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Seeking allowance of a retaining wall in the rear(north) and side(west) property setback that exceeds the 6' height indicated in Ordinance Section 11.04.03.j.4.ii. Max height of wall to be approximately 11' high. The purpose of the retaining wall is not only to accommodate the elevation change at the rear of the property but also to save some existing vegetation (trees) backing up to the residential parcel.

**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The shopping center buildings are existing, and the proposed drive aisle at the rear of the building (north side) is required for fire access. There is substantial elevation change occurring at the rear of the property and thus a retaining wall is required to accommodate the grade change. Maintaining a 6' wall height would require grading to the property line and removal of all the existing trees adjacent to the residentially zoned parcels. The wall height is an effort to keep existing vegetation along the residential parcels.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

There is approximately 50' from the back of existing shopping center buildings. A new 20' fire drive is required for fire access. Existing stair access and transformers dictate the location of the drive aisle to be 16' from the north property line. A wall is required to accommodate the extensive grade change at the northwest corner of the site, and in an effort to preserve as many existing trees as possible, the retaining wall needs to exceed 6' in height.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Granting of this variance does not impact the supply of light and air on the adjacent property nor does it have an impact on public streets. The wall is required for a fire access drive at the rear of the existing shopping center which currently exists as a gravel drive. The paved drive and resultant retaining wall improves public safety on the site due to improved fire access to the rear of the building.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This retaining wall does not interfere nor discourage the appropriate development or value of adjacent parcels. Adjacent parcels are already developed and this proposed retaining wall with screen fence mounted on it will improve the overall aesthetic at the rear of the property by improving the screening of the rear of the shopping center and maintaining some of the existing vegetation (trees).

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 4-17-24 Signature: 



May 13, 2024

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	Grand River Plaza – Dimensional Variance Review
<b>Location:</b>	3599 Grand River Avenue – north side of Grand River Avenue, west of Latson Road
<b>Zoning:</b>	RCD Regional Commercial District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking a dimensional variance for the construction of a retaining wall for the existing commercial center at 3599 Grand River Avenue.

The proposal entails a retaining wall in the rear (northerly) and westerly side yard with a maximum height of 11’.

Per Section 11.04.03(j), the following variance is needed from the retaining wall regulations of the Zoning Ordinance:

- A retaining wall in the required rear and side yard with a height of 11’ (where a maximum of 6’ is allowed).

It is worth noting that the Planning Commission recently approved the site plan for the property with a ZBA approval of the retaining wall height as a condition.

**SUMMARY**

1. Significant topographic changes create difficulty for strict compliance with retaining wall regulations (practical difficulty).
2. The wall will preserve existing mature vegetative screening between the commercial development and adjacent residential properties (substantial justice).
3. The Board could view strict compliance as unnecessarily burdensome (practical difficulty).
4. The property contains significant topographic changes in the northwest corner (extraordinary circumstance).
5. Given the nature of the project and property, we do not anticipate issues with the supply of light and air or to traffic and public safety (public safety and welfare).
6. The project will allow for a compliant emergence fire access drive without disrupting the existing vegetative screen between commercial and residential uses (public safety and welfare).
7. The wall will be on the inside of the commercial property, so any views from the residential property will be of vegetation and a screen fence, and not an 11’ masonry wall (impact on surrounding neighborhood).





*Aerial view of site and surroundings (looking north)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** A variance is not necessary to maintain the existing commercial operation of the site; however, the significant topographic changes in the rear yard impact the owner's ability to install the required emergency fire access drive and maintain existing mature vegetation to screen the residential uses to the north.

As noted in the submittal materials, a compliant wall could be accommodated, but it would require grading up to the property line, which would require removal of the existing mature vegetation between the commercial site and adjacent residential properties.

In our opinion, the Board could view strict compliance as unnecessarily burdensome and fair to both the owner and other owners in the immediate area.

- 2. Extraordinary Circumstances.** The property contains significant topographic changes in the northwest corner of the site.
- 3. Public Safety and Welfare.** Given the nature of the proposal, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety.

Part of the need for the wall is to provide a 20' wide drive around the rear of the building for emergency fire access without forcing the removal of existing mature vegetation.

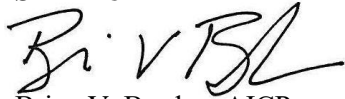
- 4. Impact on Surrounding Neighborhood.** The wall will help to preserve existing mature vegetation, which provides enhanced screening between the site and adjacent residential to the north.

The wall will be on the inside of the commercial property, so any views from the residential property will be of vegetation and a screen fence (not an 11' masonry wall).

Genoa Township ZBA  
**Grand River Plaza**  
Dimensional Variance Review  
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP  
Michigan Planning Manager

**Moved** by Lowe, supported by Croft to approve the Consent Agenda as presented. **The motion carried unanimously.**

- 1. Payment of Bills: May 6, 2024**
- 2. Request to approve the April 15, 2024 regular meeting minutes.**

**Approval of Regular Agenda:**

**Moved** by Hunt, supported by Dhaenens, to approve the Regular Agenda as presented. **The motion carried unanimously.**

- 3. Consideration of a recommendation for approval of an environmental impact assessment dated March 19, 2024 associated with a site plan for a proposed building addition and related façade, parking and site improvements for an existing multi-tenant shopping center. The property is located at 3599 and 3669 Grand River Avenue, north side of Grand River Avenue, west of Latson Road. The request is petitioned by Symmetry Management.**

Mr. Brent Lavanway of Boss Engineering; Mr. Frank Jarbou of Symmetry Management, the property owner, his son Gabriel Jarbou; and Mr. Robert Jordan from Serenity Architecture were present.

Mr. Lavanway provided a review of the proposed project. They will be making facade, parking lot, landscaping, and stormwater improvements. They are adding a paved driveway to connect the two parcels.

Mr. Jarbou stated that the Big Lots and Family Farm and Home stores will not be receiving facade improvements, but the parking lot in front of them will be redone. They are proposing to have Hobby Lobby occupy the large space, but he is not sure what the other tenants will be.

Ms. Hunt is very pleased that the drainage issue to the rear of the site will be improved for the residents there.

Mr. Dhaenens hopes that a shared parking agreement can be done with the Arby's tenant in the front of the property.

Ms. Lowe thanked Mr. Jarbou for being a good neighbor. She is glad the parking lot will be repaved.

Mr. Jordan showed colored renderings and provided building material samples.

Supervisor Rogers confirmed that the applicant is aware of the concerns and comments from the township planner and engineer.

**Moved** by Dhaenens, supported by Lowe, to approve the Environmental Impact Assessment dated March 19, 2024 for Symmetry Management for proposed façade improvements and addition to an existing multi-tenant shopping center. The property is located at 3599 and 3669 Grand River Avenue, north side of Grand River Avenue, west of Latson Road, based on the following conditions:

1. The applicant shall comply with the Township Engineer's concerns as stated in the April 1, 2024 letter.
2. The drive aisle parking and runoff easements between the two properties shall be put in place and shared with the Township prior to land use permit issuance.
3. The applicant shall obtain a variance from the ZBA for the nine-foot high retaining wall.
4. Township staff shall be given physical samples of material samples vs. photographs.

**The motion carried unanimously.**

- 4. Consideration of a recommendation for approval of an environmental impact assessment dated April 9, 2024 associated with a site plan amendment for revisions to the previously approved site grading on a 4.32-acre parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. The request is petitioned by Chestnut Development.**

Mr. Alan Pruss with Monument Engineering, and Steve Gronow of Chestnut Development, were present. Mr. Pruss provided a review of the project. They would like to prepare the site for sale. They will be installing a berm and replacing trees that were removed. He noted that some of the small trees on the south side of the berm have been removed. He advised Ms. Ruthig.

Ms. Hunt is disappointed that these trees were removed. She encourages the Board to include the eight conditions by the Planning Commission if this item is approved this evening. Mr. Pruss and Mr. Gronow agreed to comply with the conditions.

**Moved** by Lowe, supported by Ledford, to approve the Environmental Impact Assessment dated April 9, 2024 for revisions to the previously approved site grading on a 4.32-acre parcel (4711-06-200-101) with the following conditions:

1. The Impact Assessment shall be reviewed for the revision and approved by Township staff.
2. The project shall be completed north to south.
3. Required berm and landscaping must be completed within 14 days of any tree removal.
4. Trees that are to remain shall be marked.
5. A performance guarantee shall be submitted prior to land use permit issuance.
6. Site plan overages shall be paid prior to land use permit issuance.
7. Staff recommends that the silt fence line shall be adjusted to ensure protection of trees that are to be preserved.

- The township engineer shall review and approve the plans.
- The Impact Assessment shall be reviewed for the corrections and approved by township staff.
- The project shall be completed from north to south
- A performance guarantee shall be submitted prior to land use permit issuance.

**The motion carried unanimously.**

**Moved** by Commissioner Rassel, supported by Commissioner McCreary, to approve the Amended Site Plan dated April 3, 2024 for revisions to the previously approved site grading on a 4.32-acre parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive, with the following conditions:

- Review by staff prior to submission to the Township Board.

**The motion carried unanimously.**

NEW BUSINESS:

**OPEN PUBLIC HEARING #3...**Consideration of a site plan application and environmental impact assessment for a proposed façade improvement and addition to an existing multi-tenant shopping center. The property is located at 3599 and 3669 Grand River Avenue, north side of Grand River Avenue, west of Latson Road. The request is petitioned by Symmetry Management.

- A. Recommendation of Environmental Impact Assessment (3-19-24)
- B. Recommendation of Site Plan (3-19-24)

Mr. Brent Lavanway of Boss Engineering; Mr. Frank Jarbou of Symmetry Management, the property owner; and Mr. Robert Jordan from Serenity Architecture were present.

Mr. LaVanway provided a review of the proposal. They will be adding landscape islands and landscaping, adding a boulevard entrance where the current traffic signal is located, adding a 20,000 building addition on the far west portion of the site, expanding the detention basin, planting an addition 90 trees and 200 shrubs, adding a paved driveway to connect the two parcels, and adding two out lots. They are reducing the number of parking spaces from 900 to 680, which must be approved by the Planning Commission; however, the ordinance does allow for shared parking.

Mr. Jarbou provided a history of his company. They are a redevelopment company that transforms and adds value to existing properties. They have secured a large tenant and have serious interests in the other locations. He reviewed the updates that will be made to the building and the site.

Black and white elevations and colored material example photos were presented. Commissioner McCreary would like to see sample materials and not a photograph.

Mr. Borden stated that the Planning Commission can approve the site plan. It does not have to go before the Township Board. He reviewed his letter dated April 2, 2024.

1. The two separate parcels should be combined as part of this project; however, the applicant seeks to keep them separate. Mr. Jarbou stated they can have two different debts if the parcels are separate and shared access and parking can be accomplished with easements. Ms. Ruthig noted keeping the properties separate could affect the setbacks for the two proposed out lots.
2. The façade improvements do not include three of the existing tenant spaces. Future changes to these spaces will be subject to review and approval by the Township.
3. Building design, including materials and color, are subject to review and approval by the Planning Commission.
4. Crosswalk striping should be added across the drive aisle connection to Dave's Hot Chicken. Mr. Jarbou agreed to add this.
5. The Commission may reduce the amount of parking required based on different peak usage for the variety of businesses included in the development. He noted that they are not asking for the largest amount of parking reduction as is allowed.
6. The three light poles in the northwest corner of the property must be reduced in height to not more than 20 feet high. They are currently 30 feet.
7. The landscape plan is slightly deficient in greenbelt and buffer zone plantings; however, the Commission may modify requirements since numerous existing, mature trees are being preserved. He noted that it has four separate frontages so it is difficult to identify locations for additional plantings.
8. There are three evergreen trees on the landscape plan that are unaccounted for in the plant list.
9. The gate on the waste receptacle enclosure must be changed from chain link fencing to wood per the ordinance.
10. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority, including any comments on the traffic study.

Mr. Barber reviewed his letter dated April 1, 2024.

They have addressed his previous concerns, but he noted that after final site plan approval, the water main and sanitary sewer construction plans must be provided to MHOG Sewer and Water Authority for their review and approval and permitting with EGLE.

He reviewed the Traffic Impact Study, although the pass-by rates used in the trip generation forecast are not the latest information available from ITE (pass-by rates within the 11th edition of Trip Generation should be used, not those from the Handbook which is older information), the trip generation forecast for the site would be considered conservative, as it does not consider internal capture reductions. He does not see much gain from a corrected report and finds this to be acceptable.

The Brighton Area Fire Marshal's letter dated March 27, 2024 states, "Based on the submitted documents, all required revisions have been corrected for compliance except for the clear width dimension of the rear access drive. The applicant is field verifying the bollard and transformer pad locations along with drive dimensions. They have committed to making the appropriate revisions to provide the proper clear 20' width along the rear."

Mr. Jarbou believes that the amount of parking they are proposing is sufficient for the types of tenants they anticipate occupying these spaces.

Commissioner Dhaenens asked why the applicant did not agree to the shared access agreement with the owner of Arby's. Mr. Jarbou stated that when his company first purchased this property, he reached out to the Arby's owners on many occasions to work on the shared parking agreement and they never responded. Those owners then needed the agreement so they contacted him, but he did not want to help.

The call to the public was made at 9:39 pm.

Ms. Amy Sheehy of 3560 Snowden Lane stated her property backs up to the old Elder Beerman building. She would like the drainage to be repaired. Their property gets flooded. She is happy with the plans.

The call to the public was closed at 9:41 pm.

Mr. Jarbou stated he has spoken to Ms. Sheehy regarding the drainage. He advised Ms. Ruthig that they purchased the property so they own it and they own the drainage problem.

There was a discussion regarding the proposed nine-foot-high retaining wall on the rear of the site. The maximum height allowed is six feet, so a variance is going to be needed.

**Moved** by Commissioner Dhaenens, supported by Commissioner Rassel, to approve the Site Plan dated March 19, 2024 for Symmetry Management for proposed façade improvement and addition to an existing multi-tenant shopping center. The property located at 3599 and 3669 Grand River Avenue, north side of Grand River Avenue, west of Latson Road, based on the following conditions:

- The drive aisle parking and runoff easements between the two properties shall be put in place and shared with the township
- Crosswalk striping shall be added on the Dave's Hot Chicken Driveway
- Three light poles on the northwest side of the site are to be compliant with the township ordinance
- The discrepancy of three evergreens shall be corrected and approved by staff
- The waste receptacle gate shall be updated to comply with the township ordinance
- The applicant shall obtain a variance from the ZBA for the nine-foot high retaining wall.
- Township staff shall be given physical samples of material samples vs. photographs.

**The motion carried unanimously.**

**Moved** by Commissioner Dhaenens, supported by Commissioner Rassel to recommend to the Township Board approval of the Environmental Impact Assessment dated March 19, 2024 for Symmetry Management for proposed façade improvement and addition to an existing multi-tenant shopping center. The property located at 3599 and 3669 Grand River Avenue, north side of Grand River Avenue, west of Latson Road, based on the following condition:

- The applicant shall comply with the township engineer's concerns.

**The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

**Staff Report**

Ms. Ruthig stated there will be five cases on the May meeting agenda.

The developer of the Latson PUD is requesting to amend the uses proposed. The township and the consultants are reviewing the proposal.

**Approval of the March 11, 2024 Planning Commission meeting minutes**

Needed changes were noted.

**Moved** by Commissioner McCreary, seconded by Commissioner Rassel, to approve the minutes of the March 11, 2024 Planning Commission Meeting as amended. **The motion carried unanimously.**

**Member Discussion**

Commissioner McCreary stated that planning training says the site plan approval should be obtained prior to seeking a variance. Mr. Borden said that a site plan review should be done prior to obtaining a variance; it does not need to be approved, just reviewed.

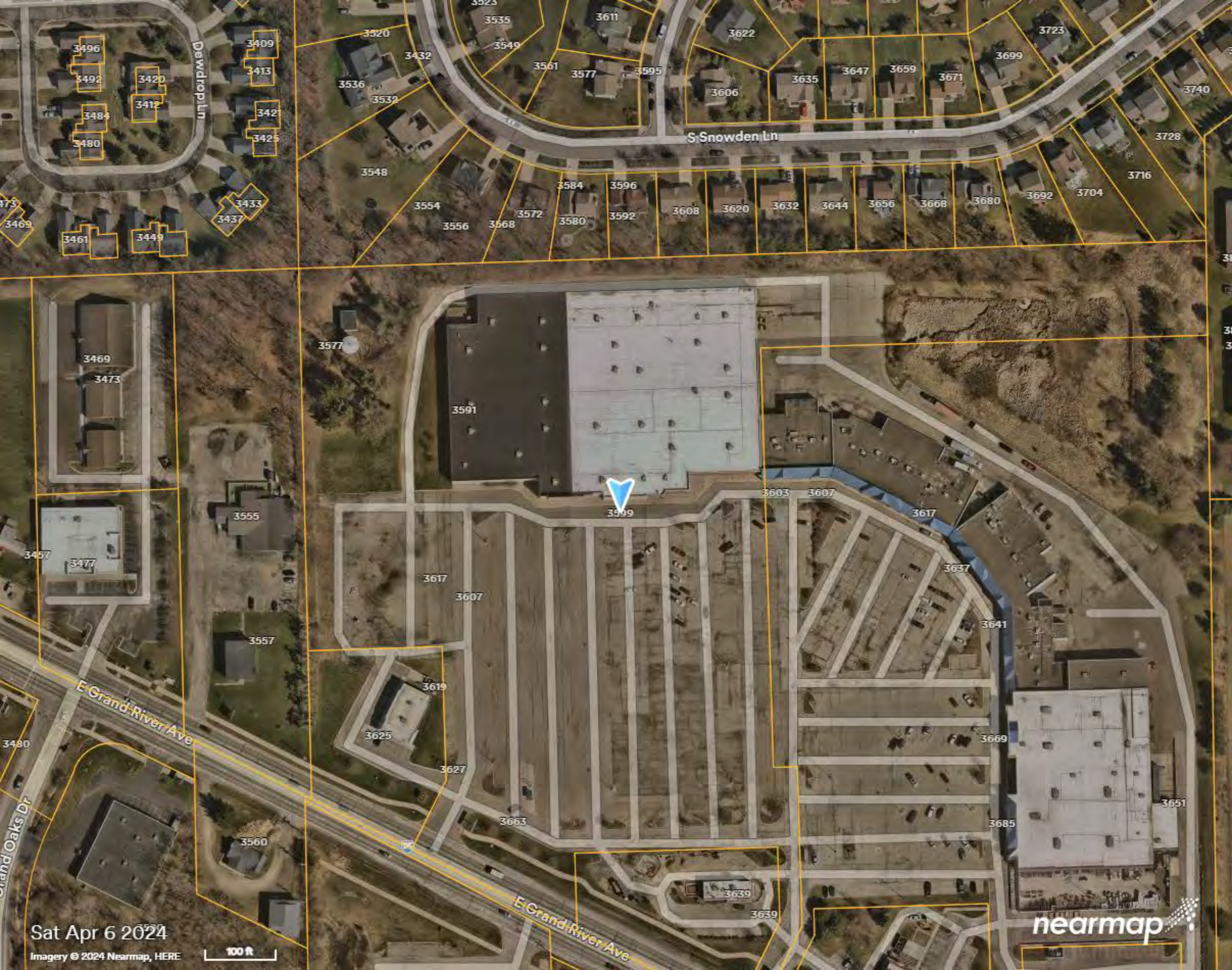
**Adjournment**

**Moved** by Commissioner Rassel, seconded by Commissioner McCreary, to adjourn the meeting at 10:04 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary





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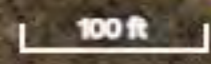
E Grand River Ave

E Grand River Ave

Grand Oaks Dr

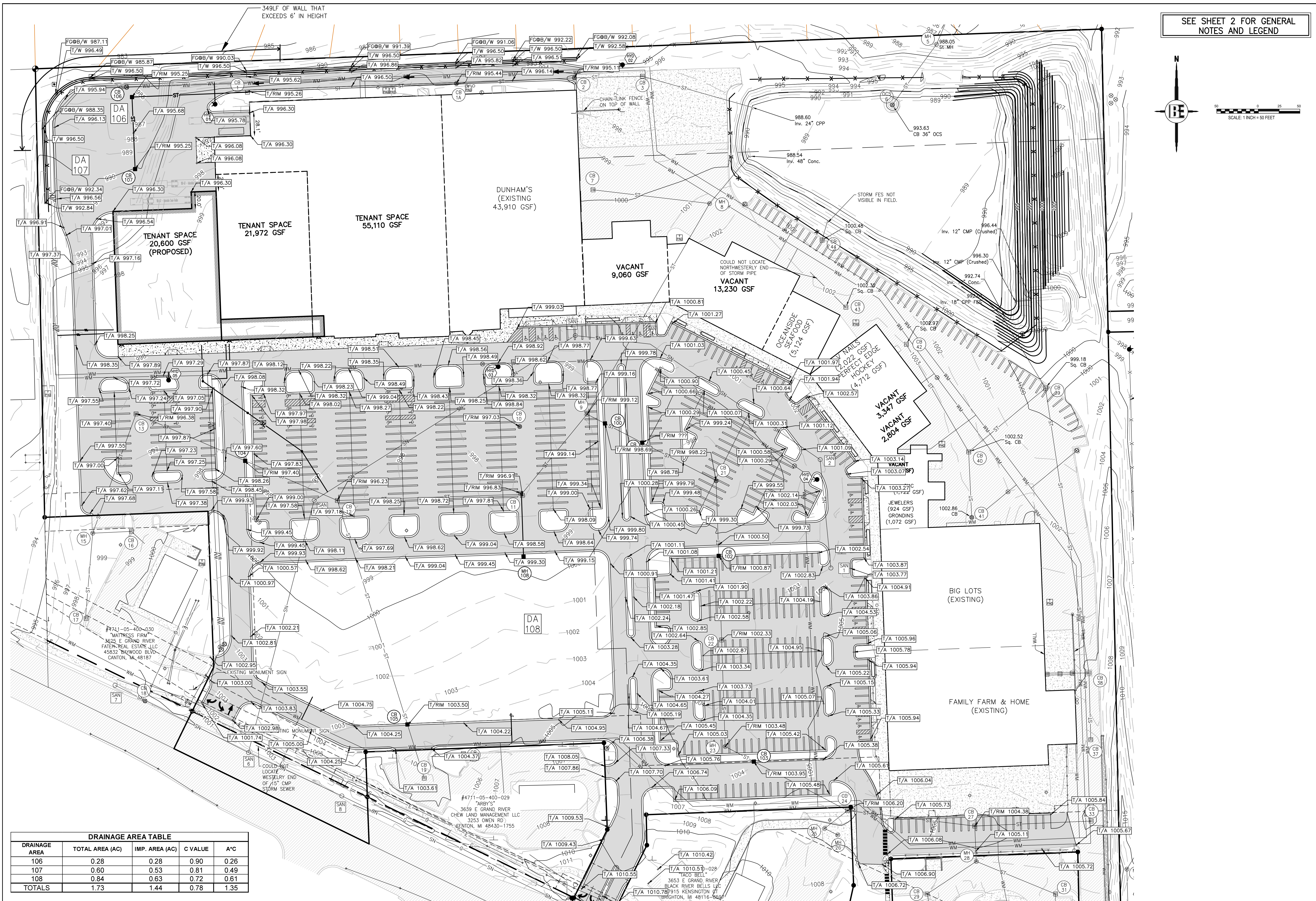
Sat Apr 6 2024

Imagery © 2024 Nearmap, HERE

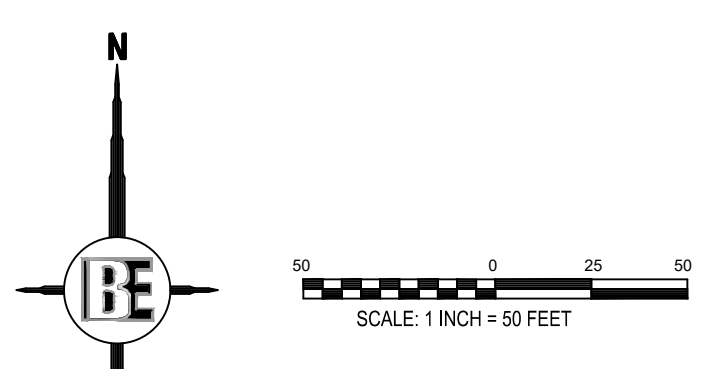


nearmap

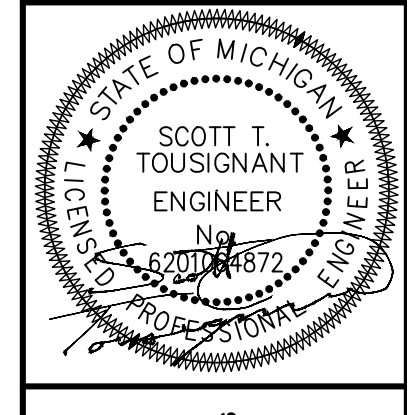




SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY OF ACCURACY IS MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION.



**BEBOSS**  
**Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

**GRAND RIVER PLAZA**  
 SYMMETRY MANAGEMENT  
 813 SOUTH MAIN STREET, SUITE 200  
 ROYAL OAK, MI 48067  
 248-665-0200

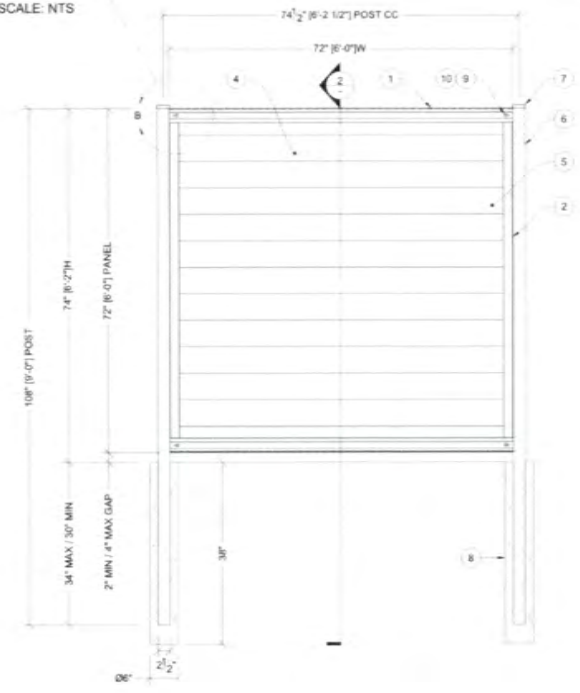
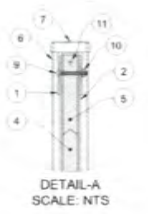
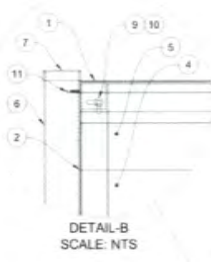
PROJECT	PREPARED FOR	TITLE	DATE
GRAND RIVER PLAZA	SYMMETRY MANAGEMENT	GRADING & DRAINAGE PLAN	02/20/24

NO	BY	DATE	REVISION
1	ST	4-15-2024	DESIGNED BY
2	DH	3-19-2024	DRAWN BY
1	ST	3-19-2024	CHECKED BY
1	ST	3-19-2024	SCALE: 1" = 50'
1	ST	3-19-2024	JOB NO: 22-262-1
1	ST	3-19-2024	DATE: 02/20/24
1	ST	3-19-2024	SHEET NO.

DRAINAGE AREA	TOTAL AREA (AC)	IMP. AREA (AC)	C VALUE	A <sup>c</sup>
106	0.28	0.28	0.90	0.26
107	0.60	0.53	0.81	0.49
108	0.84	0.63	0.72	0.61
TOTALS	1.73	1.44	0.78	1.35

G:\22-262\DWG\SP\22-262-1 SHEETS SP.dwg, 4/18/2024 11:52:31 AM, dnh



1 FRONT VIEW  
SCALE: 1/2" = 1'-0"



2 SECTION  
SCALE: 1/2" = 1'-0"



3 ISO VIEW  
SCALE: 1/2" = 1'-0"

**BILL OF MATERIALS**

ITEM	QTY	PART NUMBER	DESCRIPTION
1	2	3" X 6'-0" CHANNEL	HORIZONTAL (TOP/BTM) GALVANIZED STEEL CHANNEL RAIL
2	2	2" X 6'-0" CHANNEL	VERTICAL GALVANIZED STEEL CHANNEL RAIL
3	N/A	CHANNELS ALLOW FOR UP TO 1" THK INFILL MATERIAL	INFILL QUANTITY MAY VARY DEPENDING ON TYPE SELECTED
4	11	1" X 6" X 6'-0" BOARDS	INFILL EXAMPLE ILLUSTRATED: HORIZONTAL BOARDS
5	2	1" X 6" X 6'-0" NOTCHED INFILLBOARDS	TWO BOARDS TO BE NOTCHED FOR BOLT CLEARANCE AT TOP AND BTM CHANNEL
6	2	2-1/2" X 2-1/2" X 16GA, 9'-0" POST	STANDARD FENCE POST
7	2	2-1/2" X 2-1/2" CAP	2-1/2" SQ POST CAP STANDARD
8	2	6" DIAMETER CONCRETE PIER	POST PIER SIZE AND DEPTH TO BE SPECIFIED BY THE PROJECT'S EOR
9	4	ANSI B18.5 - 1/4-20 X 1-1/2" UNC CARRIAGE BOLT	ROUND HEAD SQUARE NECK CARRIAGE BOLT
10	4	IFI 100107 1/4-20 HEX-HEAD FLANGE NUT	PREVAILING TORQUE TYPE HEX-HEAD FLANGE NUT
11	12	ANSI B18.6.4 - NO 10 X 5/8" SELF-TAPPING SCREW	VERTICAL CHANNEL RECESSED HEAD SELF-TAPPING SCREW, TYPE-BT, TYPE-I

**ABBREVIATIONS**

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
CC	CENTER TO CENTER
EOR	ENGINEER OF RECORD
GA	GAUGE
H	HEIGHT
IFI	INDUSTRIAL FASTENER INSTITUTE
L	LENGTH
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE / DO NOT SCALE
SQ	SQUARE
THK	THICK / THICKNESS
TYP	TYPICAL
UNC	UNIFIED COURSE THREAD
W	WIDTH

**DIMENSIONS ARE IN INCHES**

UNLESS OTHERWISE SPECIFIED:

TOLERANCES	NAME	DATE
FRACTIONAL	NLI	05/30/2022
ANGULAR: MATCH 1/2" BEND		
TWO PLACE DECIMAL		
THREE PLACE DECIMAL		

DRAWN: \_\_\_\_\_  
 REVISED: \_\_\_\_\_  
 MFG APPR: \_\_\_\_\_  
 MATERIAL: GALVANIZED STEEL

**PROPRIETARY AND CONFIDENTIAL**  
 THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF FENCE TRAC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OFFENCE TRAC IS PROHIBITED.

MANUFACTURED BY: **FENCE TRAC**  
 DISTRIBUTED BY:  
**PERIMTEC**  
 TITLE: **HORIZONTAL 6'X6' PANEL**  
 SIZE DWG. NO. **B 22-0530-002** REV **A**  
 SCALE: SEE DRAWING SHEET 1 OF 1

$\phi = 40^\circ$  over  $26^\circ$

CRUSHED STONE BACKFILL REPLACING SILTY or CLAYEY SAND

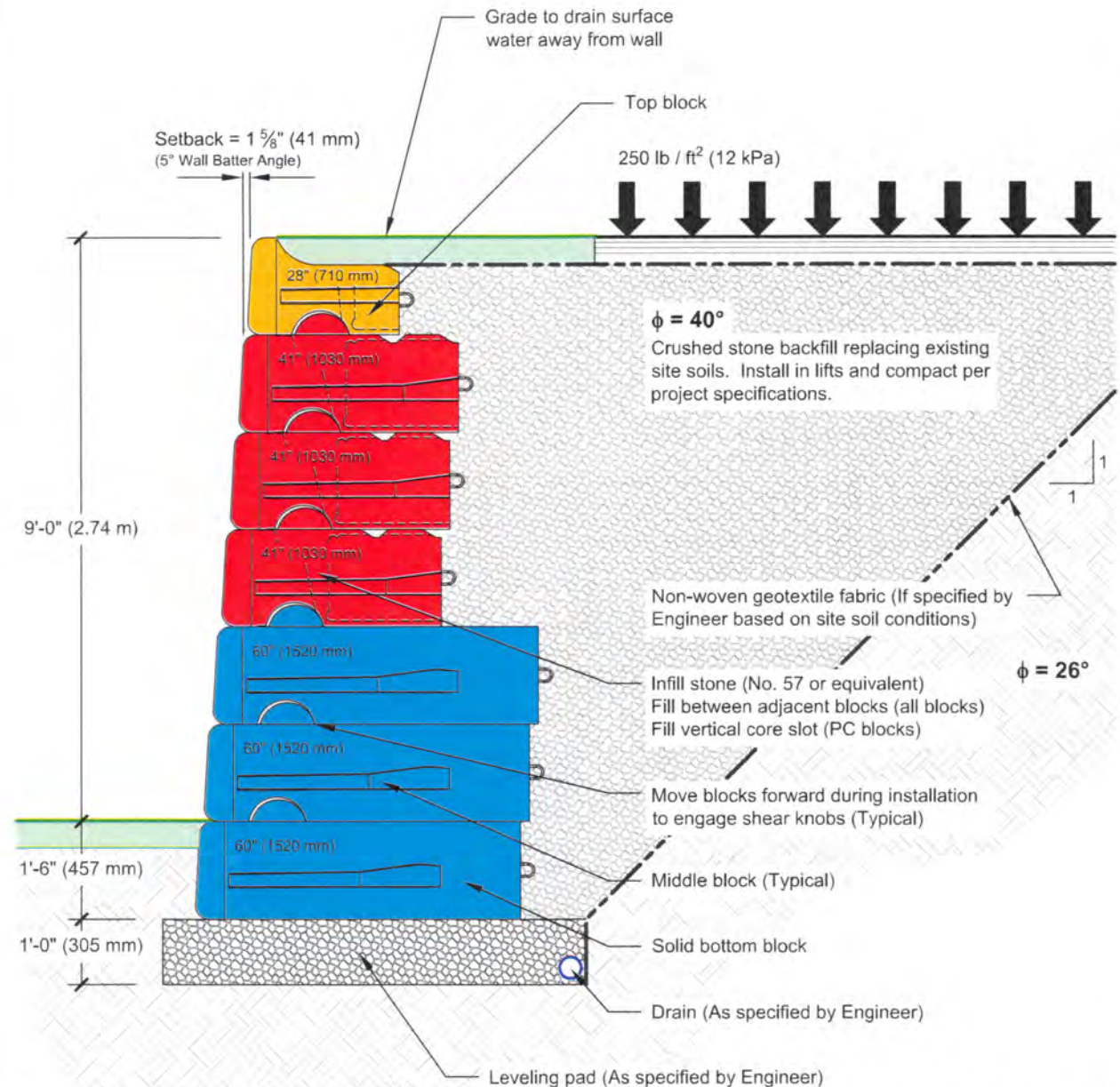
**LOAD CONDITION B**

250 lb/ft<sup>2</sup> (12 kPa) LIVE LOAD SURCHARGE, NO BACK SLOPE, NO TOE SLOPE

**7 BLOCK HIGH SECTION**

- (1) 28" (710 mm) Block
- (3) 41" (1030 mm) Blocks
- (3) 60" (1520 mm) Blocks

**PRELIMINARY**  
Professional Engineering Design  
Required for Construction



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

DRAWN BY:	C. Kruger
APPROVED BY:	J. Johnson
DATE:	June 17, 2015
SHEET:	1 of 1

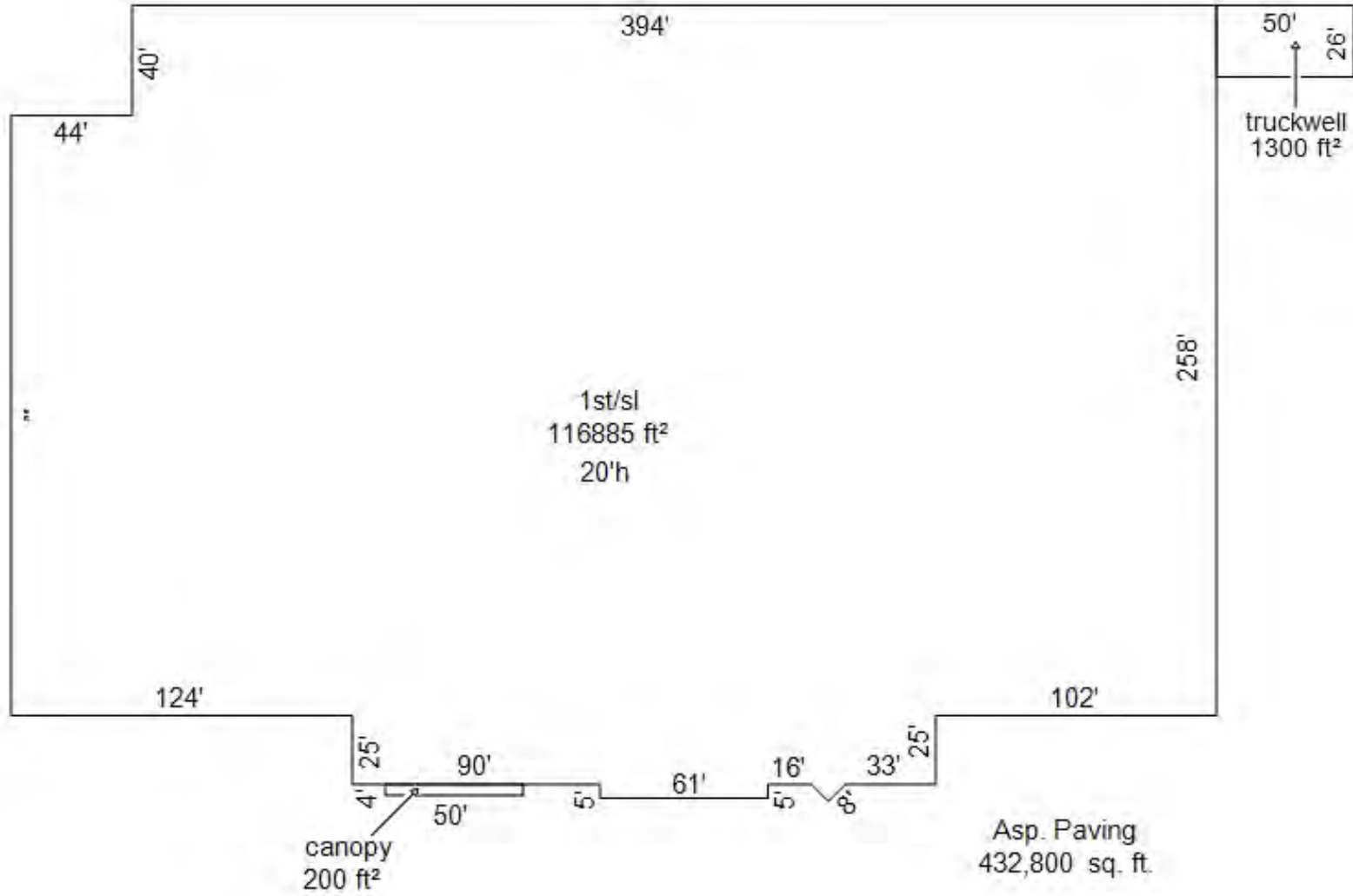
TITLE:	<b>Preliminary Wall Section</b>
	Crushed Stone Backfill Replacing Silty or Clayey Sand 250 lb/ft <sup>2</sup> (12 kPa) Live Load Surcharge
FILE:	B_4026_B_60_126_cad.dwg

**REDI-ROCK**  
05481 US 31 SOUTH, CHARLEVOIX, MI 49720  
(866) 222-8400 ext 3010 • engineering@redi-rock.com  
www.redi-rock.com



Desc. of Bldg/Section: Calculator Occupancy: Stores - Discount				<<<<<< Calculator Cost Computations >>>>>>			
Class: C Floor Area: 116,885 Gross Bldg Area: 116,885 Stories Above Grd: 1 Average Sty Hght : 20 Bsmnt Wall Hght				Class: C Quality: Average Stories: 1 Story Height: 20 Perimeter: 1451			
Depr. Table : 3% Effective Age : 28 Physical %Good: 43 Func. %Good : 100 Economic %Good: 100				Base Rate for Upper Floors = 76.78 (10) Heating system: Complete H.V.A.C. Cost/SqFt: 33.69 100% Adjusted Square Foot Cost for Upper Floors = 110.47			
1994 Year Built Remodeled				Total Floor Area: 116,885 Base Cost New of Upper Floors = 12,912,287			
Overall Bldg Height				Reproduction/Replacement Cost = 12,912,287 Eff.Age:28 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 43 /100/100/100/43.0 Total Depreciated Cost = 5,552,283			
Comments:				Unit in Place Items Rate Quantity Arch %Good Depr.Cost /CIMS/DOC/LOAWA 20.61 1300 1.00 43 11,521			
(1) Excavation/Site Prep:				(7) Interior:			
(2) Foundation:				(8) Plumbing:			
X Poured Conc. Brick/Stone Block				Outlets: Fixtures:			
(3) Frame:				Many Above Ave. Average Typical Few None			
(4) Floor Structure:				Total Fixtures Urinals 3-Piece Baths Wash Bowls 2-Piece Baths Water Heaters Shower Stalls Wash Fountains Toilets Water Softeners			
(5) Floor Cover:				Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct Incandescent Fluorescent Mercury Sodium Vapor Transformer			
(6) Ceiling:				(9) Sprinklers:			
				(10) Heating and Cooling:			
				Gas Oil Coal Stoker Hand Fired Boiler			
				(11) Electric and Lighting:			
				(12) Roof Structure: Slope=0			
				(13) Roof Cover:			
				(14) Roof Cover:			
				(39) Miscellaneous:			
				(40) Exterior Wall:			
				Thickness Bsmnt Insul.			

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
April 16, 2024 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:31 pm. The members and staff of the Zoning Board of Appeals were present as follows: Bill Rockwell, Craig Fons, Marianne McCreary, Jean Ledford, Michele Kreutzberg and Amy Ruthig, Planning Director.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

Ms. Ledford noted that Case #24-10 was requested to be withdrawn, “of Venture Designs” should be removed from Case #24-08, and the Case #'s for Items #4 and Items #5 are reversed. Item #4 should be Case #24-12 and Item #5 should be Case #24-11.

**Moved** by Board Member Ledford, supported by Board Member Kreutzberg, to approve the agenda as corrected. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was opened at 6:34 pm with no response.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

1. 24-08...A request by Robert Dow of 5425 Wildwood Drive, for a side and waterfront yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow an existing covered patio on an existing home.

Mr. Dow stated the existing house was built in 1930. The property is very narrow so parking is difficult. The garage will allow for parking. He is also requesting approval for the existing patio roof. This is not an approved covered patio as no permit was received or approved for this. If the patio roof is not approved, then he will have to move the solar panels to the house roof and he isn't able to do that.

Board Member Kreutzberg asked the applicant if the roof on the patio is temporary to hold the solar panels until the garage roof is completed and then they will be moved there. Mr. Dow stated the roof on the patio is his priority this evening so he can keep the solar panels.

Genoa Township Zoning Board of Appeals Meeting

April 16, 2024

Unapproved Minutes

Chairperson McCreary noted that there were previous variance requests that were denied before Mr. Dow owned the home. Mr. Dow stated he would like to make the house more conforming. He asked the Board for feedback on what would be allowed.

Board Member Kreutzberg stated that there is only a mortgage survey and not an engineered survey so the township is unsure where the house is located in relation to the property lines. Board Member Rockwell agrees. He will not vote for approval of these requests without a survey.

Mr. Dow agreed to have the garage variance tabled this evening but would like the patio reviewed for approval. Mr. Rockwell reiterated that he would not be able to approve the patio without the survey. Mr. Dow requested that approval for the patio be granted contingent upon him submitting the engineer survey. The Board agreed that they need the survey before approving a variance.

**Moved** by Board Member Rockwell, supported by Board Member Kreutzberg, to table Case #24-08 until the May 21, 2024 Zoning Board of Appeals meeting. **The motion carried unanimously.**

2. 24-09...A request by Nancy Dykema, 4053 Homestead Drive, for side yard setback variance and a height variance and any other variance deemed necessary by the Zoning Board of Appeals, to build a new home.

Ms. Dykema stated their lot is very narrow at the road. The existing home is non-conforming on either side, and she will be increasing the setbacks with the new home.

Chairperson McCreary questioned if the overhangs have been included in determining the setback. Ms. Ruthig stated, yes, and they are allowed to be into the setback. Chairperson McCreary advised the applicant that if she would like to install a full-house generator, she would have to comply with the ordinance. Ms. Ruthig stated generators can encroach into the setback two feet but are not allowed on the road side of the property.

Ms. Dykema confirmed that the house and the shed in the front will be removed.

The call to the public was opened at 7:07 pm with no response.

**Moved** by Board Member Ledford, supported by Board Member Rockwell, to approve Case #24-09 for 4053 Homestead Drive for Nancy Dykema for a north side yard setback variance of 5 feet from the required 10 feet for a north side yard setback of 5 feet and a south side yard setback variance of 3.3 feet from the required 10 feet for a south side yard setback of 6.7 feet to demolish the existing home and two existing road side sheds and constructed a new single family home, based on the following findings of fact:

- The practical difficulty is that strict compliance with the setbacks would cause the applicant to be unable to construct the proposed single family home. Other homes in the vicinity have reduced side yard setbacks that will support substantial justice and is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same vicinity
- The granting of the variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variances would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The approval is conditioned upon the following:

1. The structure to be guttered with downspouts.
2. If retaining walls are required, they must adhere to the township zoning ordinance and receive a land use permit.

**The motion carried unanimously.**

~~3. 24-10...A request by MITTS LLC, 5776 E. Grand River Avenue, for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow barrier-free parking near the building entrance. (REQUEST TO WITHDRAW)~~

4. 24-12...A request by 1015 Latson Road LLC, 1111 S. Latson Road, for a setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow for a drive-thru.

Mr. Brent LaVanway from Boss Engineering and Mr. Travis O'Connor, representing the property owner, were present.

Chairperson McCreary advised the Board Members that this was recommended to be approved by the Planning Commission; however, it was conditioned upon this variance being approved.

Mr. LaVanway provided a review of the project and the property. A drive-thru is allowed as a special use; however, a variance is needed because of the distance between this property and Panda Express, which has an existing drive-thru. He stated the applicant had purchased the property and was in the process of planning its development but the Panda Express was approved and built first. This drive thru is over 700 feet from the Panera Drive through and over 800 feet from the Panda Express, but the ordinance states 500 feet from lot line to lot line. The parcel is only 88 feet from the Panda Express Parcel

This will not have a negative impact on the surrounding area. It was recommended for approval by the Planning Commission and approved by the Township Board. The practical difficulty is the configuration of the Panda Express Parcel and how it came in after this property was purchased and the planning began.

They have worked with the township, Brighton Area Fire Authority, and Livingston County Road Commission regarding the two entrances. The entrance that is directly across from the Wal Mart driveway will be the primary entrance and the entrance to the north, on the car wash parcel, will be the secondary and will be a right on and right out. They are required to have both of these entrances from the LCRC.

Ms. Ruthig stated that township staff are working with O'Reilly's for an easement from them for the second entrance and then the right in/right out will be removed.

Mr. O'Connor stated there is no committed tenant for this space. Mr. LaVanway stated in developments such as this, a coffee shop is an anchor, and they want to have a drive thru. Having a coffee shop helps the marketing for the other tenants. Ms. Ruthig advised that a coffee shop is the only use that is allowed in this space.

Mr. Rockwell stated that this is not zoned for a drive thru, but it's allowed through a special use, and now they are asking for a variance. Ms. Ruthig stated it is zoned for a coffee shop with a special use. In a different zoning district, a drive-thru would not be allowed. The applicant is not asking for a variance from the zoning district. She added that a fast-food restaurant would not be allowed here.

Board Member Fons noted that there are seven lanes of roadway between the two drive thru windows and the Panda Express lot has an irregular shape.

Mr. LaVanway stated that part of the traffic study included the intersection of Latson Road and Grand River, and traffic signal timing issues will need to be done to improve the traffic score at this location. These types of uses are local uses, and not destinations, so the drive-by traffic are people who would be traveling in this area already.

Board Member Rockwell is not in favor of the increase in traffic in this area.

The call to the public was opened at 7:37 pm with no response.

**Moved** by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #24-12 submitted by 1015 Latson Road LLC for 1111 Latson Road a drive-through setback variance of 412 feet from the required 500 feet for a setback of 88 feet, to allow construction of a drive-thru coffee shop within 500 feet of another drive-thru restaurant, based on the following findings of fact:

- Strict complaint with the setbacks would unreasonably restrict use of the property. This variance will provide substantial justice, is the least necessary and would make the property consistent with other restaurants in the area.

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- The need for variance is driven by a proposed use, extraordinary size and depth of parcel, which reduce the list of permissible uses. Site plan approval was recommended from the Planning Commission and granted by the Township Board.
- Granting of this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- Proposed variance would have little impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. As noted by project engineering traffic and pavement impact modifications must be implemented as recommended by the Livingston County Road Commission and MDOT.

**The motion carried (Fons - yes; Kreutzberg - yes; Rockwell - no; McCreary - yes; Ledford - yes).**

5. 24-11...A request by Michael Brown, 4655 Sweet Road, for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals, to allow solar panels to remain.

Mr. Brown stated that if the solar panels were put in a location to meet the ordinance, it would have completely blocked their view of the lake. He thought that the solar panel company was going to obtain the correct permits prior to placing them on the side of the house. That company is now out of business. He has spent \$45,000 and it would cost another \$20,000 to have them moved, but then they would block his view of the lake. He has listed his home for sale and will build a new home on another parcel that he owns on Sweet Road.

Chairperson McCreary confirmed that the solar panel company is out of business.

Board Member Kreutzberg stated that the solar panels are on top of the septic tank and within view of the neighbor.

There was a discussion regarding the actual location of the solar panels on the property as there is a discrepancy of the survey and the information that was provided by the applicant. The variance needed is 22 feet, and the setback is 18 feet.

Board Member Rockwell noted that the property to the east of Mr. Brown's may be developed one day and the panels would be within view of that neighbor.

The call to the public was opened at 8:07 pm.

Mr. Wade Migliore, who owns property near Mr. Brown stated he was not aware that the solar panels were there. He does not have an issue with them. He agreed to sell Mr. Brown part of his property adjacent to him to ensure that he meets the ordinance.

The call to the public was closed at 8:09 pm.

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Chairperson McCreary stated that Mr. Brown hired a company to obtain the permits and install the solar panels and they did not do it. This is not his fault.

There was a discussion regarding the property sale, widening the road, granting access to Mr. Brown to his vacant property, etc. Mr. Brown, Mr. Migliore, and township staff will meet so this item will be postponed this evening.

**Moved** by Board Member Kreutzberg, supported by Board Member Fons, to postpone Case 24-11 until the July 23, 2024 ZBA meeting at the petitioner's request. **The motion carried unanimously.**

**Administrative Business:**

1. Approval of minutes for the February 20, 2024 Zoning Board of Appeals meeting.

Chairperson McCreary noted one change was needed.

**Moved** by Board Member Ledford, supported by Board Member Kreutzberg, to approve the minutes of the February 20, 2024 Zoning Board of Appeals meeting as corrected. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be one case on the May agenda.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

**Moved** by Board Member Fons, supported by Board Member Rockwell, to adjourn the meeting at 8:25 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary