

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting

March 4, 2024

6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person) *:

Approval of Consent Agenda:

1. Payment of Bills: March 4, 2024
2. Request to approve February 19, 2024 regular meeting minutes.

Approval of Regular Agenda:

3. Request for approval of the DPW Department Fiscal Year 2025 System Labor and Equipment Percentage Allocation, the Amended Utility Department Budget for Fiscal Year ending March 31, 2024, and the proposed Utility Department Budget for the Fiscal Year Ending March 31, 2025.
4. Consideration of a recommendation for approval of the special land use application, environmental impact assessment and site plan to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or non-profit center to assist individuals with social needs. The property is located on the west side of Dorr Road, north of I-96 on parcel #4711-15-200-019 and the request is petitioned by The Salvation Army of Livingston County.
 - A. Disposition of Special Use Application
 - B. Disposition of Environmental Impact Assessment (12-11-23)
 - C. Disposition of Site Plan (dated 1-19-24, revised 02-20-24)
5. Consideration of a recommendation for approval of the environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39-acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.
 - A. Disposition of Environmental Impact Assessment (1-23-24)
 - B. Disposition of Site Plan (2-26-24)
6. Consideration of a recommendation for approval of the environmental impact assessment dated November 29, 2023 corresponding to the site plan for reconstruction of the Faulkwood Shores Clubhouse building located at 300 S. Hughes Road, west side of S. Hughes Road, north of Arrow Drive. The request is petitioned by Singh Development, LLC.
7. Consideration of a recommendation for approval of the environmental impact assessment dated December 13, 2023 corresponding to the site plan for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby's.

8. Consider approval of a contract extension between Economic Development Council of Livingston County and Genoa Charter Township.
9. Review and approval of general appropriation of funds for the fiscal year beginning April 1, 2024 and ending March 31, 2025 for budget fund numbers: 101, 202, 208, 212, 249, 401, 464 and 532.
10. Request for approval of **Resolution 240304A** - 2024-2025 General Appropriations Act Budget for the Fiscal Year beginning April 1, 2024 and ending March 31, 2025. (Roll Call)
11. Request for approval of **Resolution 240304B** - Wages and Salaries for Appointed Officials. (Roll Call)
12. Request for approval of **Resolution 240304C** - Salaries for Elected Officials. (Roll Call)
13. Request to approve project agreements with the Livingston County Road Commission for gravel and limestone road resurfacing projects from Road Improvement Fund # 401-446-812-004 as follows:
 - A. Euler Road: Improve approximately 4,900 feet of Euler Road from the end of the payment to McClements Road for gravel resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$90,000.
 - B. Kellogg Road: Improve approximately 5,370 feet of Kellogg Road from Golf Club Road to McClements Road for limestone resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$125,000.
 - C. Kellogg Road: Improve approximately 6,065 feet of Kellogg Road from Grand River Avenue to McClements Road for gravel resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$105,000.
 - D. McClements Road: Improve approximately 5,472 feet of McClements Road from Kellogg Road to Hacker Road for limestone resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$127,000 from Road Improvement Fund # 401-446-812-005.
14. Request for approval of three proposals from Spruce Homes and Hardscapes to remove the existing wood handrails and replace them with Trex composite handrails for the Brighton Road and Bauer Road bike paths at a cost not to exceed \$26,000 from Parks and Recreation, Boardwalk/Railing Improvement Fund #208-751-934-011.
15. Request for approval of a proposal from Wingman Pest Control to perform pest management treatment and prevention at the Township Hall at a cost not to exceed \$12,446.50 from General Fund, Building and Grounds, Repairs and Maintenance Fund #101-265-934-060.

Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items *may* be offered by the Chairman as they are presented.

BOARD PACKET

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

MEETING DATE: March 4, 2024

All information below through February 28, 2024

TOWNSHIP GENERAL EXPENSES	\$	130,474.47
March 1, 2024 Bi Weekly Payroll	\$	130,079.49
OPERATING EXPENSES DPW (503 FN)	\$	17,806.79
OPERATING EXPENSES Oak Pointe (592FN)	\$	59,059.76
OPERATING EXPENSES Lake Edgewood (593FN)	\$	55,007.12
TOTAL	\$	<u>392,427.63</u>

FNBCK Check Register

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
02/15/2024	38712	ADAMS WELL REPAIR INC.	8,355.00
02/15/2024	38713	LIVINGSTON PRESS & ARGUS	490.00
02/16/2024	38714	BLUE CROSS & BLUE SHIELD OF MI	55,167.46
02/16/2024	38715	JOHN CLEARY	215.00
02/16/2024	38716	MICHIGAN RECREATIONAL CO.	395.00
02/20/2024	38717	CHILSON HILLS BAPTIST CHURCH	300.00
02/20/2024	38718	CHURCH OF THE NAZARENE	300.00
02/20/2024	38719	CLEARY UNIVERSITY	300.00
02/20/2024	38720	COMMUNITY BIBLE CHURCH	300.00
02/20/2024	38721	DELTA DENTAL	4,204.98
02/20/2024	38722	DYKEMA GOSSETT PLLC	7,437.80
02/20/2024	38723	ETNA SUPPLY COMPANY	31,315.00
02/20/2024	38724	GENOA TWP CURRENT TAX FUND	11,444.40
02/20/2024	38725	HORNUNG ELEMENTARY SCHOOL	300.00
02/20/2024	38726	HOWELL PUBLIC SCHOOLS	300.00
02/20/2024	38727	MUTUAL OF OMAHA	3,057.09
02/20/2024	38728	SEWARD HENDERSON PLLC	2,584.00
02/20/2024	38729	MARY KRENCICKI	216.56
02/20/2024	38730	TABIHA DOLAN	982.31
02/22/2024	38731	AMERICAN AQUA	59.40
02/22/2024	38732	COMCAST	277.76
02/22/2024	38733	COMCAST	949.42
02/22/2024	38734	GUS'S CARRYOUT	511.00
02/22/2024	38735	IMAGE 360	382.03
02/22/2024	38736	MICHIGAN OFFICE SOLUTIONS	230.26
02/22/2024	38737	QUADIENT FINANCE USA, INC	400.00
FNBCK TOTALS:			
Total of 26 Checks:			130,474.47
Less 0 Void Checks:			0.00
Total of 26 Disbursements:			130,474.47

March 1, 2024 Bi Weekly Payroll

PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP				Page 34 of 34	
Payroll ID: 274					
Pay Period End Date: 02/23/2024				Check Post Date: 03/01/2024	
Bank ID: FNBCK					
* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks					
WELL IQ	0.00	0.00	0.00	2,365.84	
ZBA CHAIR	1.00	0.00	215.57	431.14	
ZBA MINUTES	1.00	0.00	181.65	726.60	
ZBA MINUTES OT	0.00	0.00	0.00	0.00	
ZBA PER DIEM	3.00	0.00	610.35	1,831.05	
Gross Pay This Period	Deduction Refund	Ded. This Period	Net Pay This Period	Gross Pay YTD	Dir. Dep.
128,791.86	0.00	37,594.11	91,197.75	633,577.32	88,495.02

Check Register Report For Genoa Charter Township				Page 1 of 1			
For Check Dates 03/01/2024 to 03/01/2024							
Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
03/01/2024	FNBCK	13962	MULLALLY-HENNE, MARGARET A	1,060.00	853.20	0.00	Open
03/01/2024	FNBCK	13963	MEYERS, JEFFREY W	2,599.23	1,849.53	0.00	Open
03/01/2024	FNBCK	EFT903	FLEX SPENDING (TASC)	1,013.06	1,013.06	0.00	Open
03/01/2024	FNBCK	EFT904	INTERNAL REVENUE SERVICE	30,273.56	30,273.56	0.00	Open
03/01/2024	FNBCK	EFT905	PRINCIPAL FINANCIAL	5,211.00	5,211.00	0.00	Open
03/01/2024	FNBCK	EFT906	PRINCIPAL FINANCIAL	2,384.12	2,384.12	0.00	Open
Totals:		Number of Checks: 006		42,540.97	41,584.47	0.00	
Total Physical Checks:		2					
Total Check Stubs:		4					

Direct Deposit \$88,495.02
 Physical Check Amount \$41,584.47
TOTAL \$130,079.49

503FN Check Register

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #233			
02/15/2024	6019	CHASE CARD SERVICES	6,079.58
02/21/2024	6020	ABE'S AUTO GLASS, INC.	440.00
02/21/2024	6021	ADVANCE AUTO PARTS	131.72
02/21/2024	6022	AUTO ZONE	76.81 V
		Void Reason: WRONG VENDOR	
02/21/2024	6023	AUTO-LAB OF LIVINGSTON	159.09
02/21/2024	6024	BLACKBURN MFG. CO	465.15
02/21/2024	6025	BYRUM ACE HARDWARE	14.36
02/21/2024	6026	GIFFELS WEBSTER	2,372.50
02/21/2024	6027	HI-TECH	41.50
02/21/2024	6028	HOME DEPOT CREDIT SERVICES	1,531.28
02/21/2024	6029	HOWELL HARDWARE	38.97
02/21/2024	6030	MYERS AUTOMOTIVE	316.62
02/21/2024	6031	PORT CITY COMMUNICATIONS, INC.	404.08
02/21/2024	6032	TETRA TECH INC	5,060.00
02/21/2024	6033	THE UPS STORE # 3239	12.86
02/21/2024	6034	ULINE	661.44
02/21/2024	6035	WINDSTREAM	0.83
02/21/2024	6036	AUTO-LAB OF LIVINGSTON	76.81
503FN TOTALS:			
Total of 18 Checks:			17,883.60
Less 1 Void Checks:			76.81
Total of 17 Disbursements:			17,806.79

592FN Check Register

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
02/21/2024	6035	BRIGHTON ANALYTICAL LLC	440.00
02/21/2024	6036	BUSINESS IMAGING GROUP	56.76
02/21/2024	6037	CONSUMERS ENERGY	586.92
02/21/2024	6038	D'ANGELO BROTHERS INC.	3,866.00
02/21/2024	6039	DUBOIS-COOPER	3,000.00
02/21/2024	6040	GENOA OCEOLA SWR & WTR AUTHORI	349.08
02/21/2024	6041	GENOA TOWNSHIP DPW FUND	21,704.92
02/21/2024	6042	GENOA TOWNSHIP DPW FUND	25,756.83
02/21/2024	6043	HYDROCORP	299.25
592FN TOTALS:			
Total of 9 Checks:			56,059.76
Less 0 Void Checks:			0.00
Total of 9 Disbursements:			56,059.76

593FN Check Register

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
02/20/2024	4403	BRIGHTON ANALYTICAL LLC	255.00
02/20/2024	4404	GENOA OCEOLA SWR & WTR AUTHORI	2,072.72
02/20/2024	4405	GENOA TOWNSHIP DPW FUND	11,900.83
02/20/2024	4406	HARTLAND SEPTIC SERVICE, INC.	2,850.00
02/20/2024	4407	KENNEDY INDUSTRIES	633.00
02/20/2024	4408	MICHIGAN CAT	412.27
02/20/2024	4409	OAK POINTE OPERATING S/W	1,394.00
02/20/2024	4410	STATE OF MICHIGAN	7,500.00
02/20/2024	4411	TETRA TECH INC	27,989.30
593FN TOTALS:			
Total of 9 Checks:			55,007.12
Less 0 Void Checks:			0.00
Total of 9 Disbursements:			55,007.12



March 2024						
S	M	T	W	T	F	S
25	26	27	28	29	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31	1	2	3	4	5	6

New Balance
\$6,581.69
Minimum Payment Due
\$65.00
Payment Due Date
03/01/24

INK CASH(SM) POINT SUMMARY

Previous points balance	43,539
+ 1 Point per \$1 earned on all purchases	6,582
+ 2Pts/\$1 gas stns, rstnts, o/c sply, hm impr	90
Total points available for redemption	50,211

*2/12/24 * 502.11*

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number: [REDACTED]

Previous Balance	\$4,533.84
Payment, Credits	-\$4,533.84
Purchases	+\$6,581.69
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$6,581.69
Opening/Closing Date	01/08/24 - 02/07/24
Credit Limit	\$45,500
Available Credit	\$38,918
Cash Access Line	\$2,275
Available for Cash	\$2,275
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

Call Sys: 233-000-084-990
UTILITY DEPT.

FEB 13 2024

Jot

RECEIVED



ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
01/08	AMZN Mktp US*TK4IM6HN1 Amzn.com/bill WA <i>9/10</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD) \$59.99	59.99 ✓
02/05	EB MICHIGAN HR DAY 20 801-413-7200 CA <i>DPW - HR prof dev.</i> KIMBERLY LANE TRANSACTIONS THIS CYCLE (██████████) \$100.00	100.00 ✓
01/24	Payment ThankYou Image Check	-4,533.84
01/10	GoToCom*GoToConnect goto.com MA <i>MHO G</i>	-249.68 ✓
01/26	MEJER # 172 HOWELL MI <i>DPW training</i>	-108.08 ✓
01/31	DMI* DELL K-12/GOVT 800-981-3355 TX <i>OPW</i>	-879.14 ✓
02/04	RINGCENTRAL INC. 888-898-4591 CA <i>Phone</i>	66.13 ✓
02/06	TST* SOUP SPOON CAFE Lansing MI <i>DPW prof dev.</i> GREG TATARA TRANSACTIONS THIS CYCLE (██████████) \$3202.51- INCLUDING PAYMENTS RECEIVED	28.30 ✓
01/10	ZORO TOOLS INC 855-2899676 IL <i>MHO G</i>	110.23 ✓
01/29	PAYPAL *BWMSTRRAININ 402-935-7733 MI <i>DPW prof dev.</i>	165.00 ✓
01/30	EGLD DW TRAIN AND CERT 517-7533850 MI <i>DPW prof dev.</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (██████████) \$370.23	95.00 ✓
01/17	MICHIGAN MUNICIPAL LEAGUE 734-6623246 MI <i>101-172-910-000</i>	425.00 ✓
01/18	Arventures Framing Brighton MI <i>101-265-955-000</i>	366.22 ✓
01/18	MICHIGAN TOWNSHIPS ASS LANSING MI <i>101-101-910-000</i>	483.00 ✓
01/23	AMZN Mktp US*R09H10BD0 Amzn.com/bill WA <i>101-261-751-000</i>	141.77 ✓
01/25	EIG*CONSTANTCONTACT.COM 855-2295506 MA <i>101-261-751-000</i>	410.20 ✓
01/31	X STAMPER SHACHIHATA 800-8512686 CA <i>101-261-750-000</i>	16.42 ✓
02/01	LANDS END BUS OUTFITTERS 800-332-4700 WI <i>101-261-750-000</i> KELLY VANMARTER TRANSACTIONS THIS CYCLE (██████████) \$4720.14	2,877.53 ✓

2024 Totals Year-to-Date	
Total fees charged in 2024	\$0.00
Total interest charged in 2024	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

only charged back orders will be billed as they come in TOTAL BILL \$3166.85

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	18.49%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	29.99%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfers	18.49%(v)(d)	- 0 -	- 0 -

31 Days In Billing Period

(v) = Variable Rate
(d) = Daily Balance Method (including new transactions)
(a) = Average Daily Balance Method (including new transactions)
Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

**GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
February 19, 2024**

MINUTES

Supervisor Rogers called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Diana Lowe, and Jeff Dhaenens. Also present were Township Manager Kelly VanMarter, Township Attorney Joseph Seward and four people in the audience.

The Pledge of Allegiance was recited.

The call to the public was opened at 6:31 pm with no response.

Approval of Consent Agenda:

Ms. Ledford requested to have Item #2 moved to the regular agenda.

Moved by Hunt, supported by Skolarus, to approve the Consent Agenda as amended. **The motion carried unanimously.**

1. Payment of Bills: February 19, 2024

Approval of Regular Agenda:

Moved by Ledford, supported by Lowe, to approve the Regular Agenda as amended. **The motion carried unanimously.**

2. **Request to approve February 5, 2024 regular meeting minutes.**

Ms. Ledford noted needed corrections.

Moved by Ledford, supported by Hunt, to approve the February 5, 2024 regular meeting minutes as amended. **The motion carried unanimously.**

3. **Request for approval of amendments to the Fiscal Year 2024 Operating Budgets, approval of the Fiscal Year 2025 Operating Budgets and rate adjustments for the Oak Pointe Sewer System and the Oak Pointe Water System.**
 - A. **Consider amendments to the FY 2024 Operating Budget and approval of the 2025 Operating Budget for the Oak Pointe Water System.**
 - B. **Consider amendments to the FY 2024 Operating Budget and approval of the 2025 Operating Budget for the Oak Pointe Sewer System.**
 - C. **Consider approval of an increase for the Oak Pointe metered water charge from \$4.19 per 1,000 gallons to \$4.40 per 1,000 gallons; to increase for the Oak Pointe Sewer System metered sewer charge from \$6.89 per 1,000 gallons to \$7.58 per**

1,000 gallons, increase the flat rate sewer charge from \$107.00 per quarter to \$117.70 per quarter, increase the grinder rate from \$50.00 per quarter to \$55.00 per quarter and set the minimum sewer bill from \$62.01 to \$68.22 for usage of 9,000 gallons per quarter or less. (roll call)

Utilities Director Dr. Greg Tatara provided a review of the current fiscal year budget, the nine-month Budget to Actual Reports, the amended FY 2024 Budget, the proposed FY 2025 Operating Budget, utility rate change recommendations, and historic financial summary information for the Oak Pointe water and sanitary sewer systems. He noted that the sanitary sewer budget was over by \$110,000 because the sanitary sewer costs have increased approximately \$10,000 due to the PFAS sampling requirements from EGLE, the grinder pump repair and replacements costs were much higher than budgeted due to the increase in material costs, and G-O increased their rates for sanitary sewer treatment.

He has increased the budget for these items for Fiscal Year 2025.

Ms. Hunt questioned when these new rates would be in effect, if approved this evening. He stated the new rates will start in the billing cycle beginning May 1, 2024. She knows that the increases are justified so she asked Dr. Tatara to provide an information sheet for employees to give to residents when they collect the payments for these higher bills. He will do that as well as publish it on the website.

Ms. Skolarus questioned if Dr. Tatara has considered purchasing electric vehicles. He stated they need heavy duty vehicles.

Moved by Lowe, supported by Dhaenens, to amend the FY 2024 Operating Budget and approve the FY 2025 Operating Budget for the Oak Pointe Water and Sewer Systems. **The motion carried unanimously.**

Moved by Skolarus, supported by Croft, to increase the Oak Pointe metered water charge from \$4.19/1,000 gallons to \$4.40/1,000 gallons; to increase the Oak Pointe Sewer System metered sewer charge from \$6.89/1,000 gallons to \$7.58/1,000 gallons; increase the flat rate sewer charge from \$107.00 / quarter to \$117.70/quarter; increase the grinder rate from \$50.00/quarter to \$55.00 per quarter; and, set the minimum sewer bill from \$62.01 to \$68.22 for usage of 9,000 gallons per quarter or less. **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowé - yes, Dhaenens - yes, Skolarus - yes, and Rogers - yes).**

4. **Request for approval of amendments to the Fiscal Year 2024 Operating Budget, approval of the Fiscal Year 2025 Operating Budget and rate adjustments for the Lake Edgewood Sewer System.**
 - A. **Consider amendments to the FY 2024 Operating Budget and approval of the FY 2025 Operating Budget for the Lake Edgewood Sewer System.**
 - B. **Consider approval of rate increases for the Lake Edgewood Sewer system to increase the metered sewer charge from \$7.45 per 1,000 gallons to \$7.60 per 1,000 gallons, to increase the flat rate sewer charge from \$145.66 per quarter to \$148.57 per quarter, and to set the minimum sewer bill from \$67.05 to \$68.40 for usage of 9,000 gallons per quarter or less. (roll call)**

Dr. Tatara provided a review of the current fiscal year budget, the nine-month Budget to Actual Reports, an amended FY 2024 Budget, the proposed FY 2025 Operating Budget, utility rate change recommendations, and historic financial summary information for the Lake Edgewood sanitary sewer system. He anticipates ending the Fiscal Year 2024 budget with a surplus of approximately \$16,000. There will also be a two percent rate increase for next fiscal year.

He noted that the project to take this plant off line and transfer it to G-O has started.

Moved by Hunt, supported by Ledford, to amend the FY 2024 Operating Budget and approve the FY 2025 Operating Budget for the Lake Edgewood Sewer System.

Moved by Lowe, supported by Dhaenens, to increase the Lake Edgewood metered sewer charge from \$7.45/1,000 gallons to \$7.60/1,000 gallons, increase the flat rate sewer charge from \$145.66 per quarter to \$148.5 per quarter, and set the minimum sewer bill from \$67.05 to \$68.40 for usage of 9,000 gallons per quarter or less. **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Dhaenens - yes, Skolarus - yes, and Rogers - yes).**

5. Request for approval of per diem rates for the calendar year ending Dec. 31, 2024 as recommended by the Election Commission.

Ms. Skolarus stated she is requesting this change because she was having difficulty getting workers to work at the polls on election day.

Ms. Hunt is concerned that the early voting chair people are being paid an hourly rate of \$25, which is very high. She noted that the early voting workers have already started and this has not been approved. She would like to encourage the Election Commission to review the rates and present them again before the August election.

Ms. Ledford stated she had requested a spreadsheet showing the history of the rate increases for election workers and it has not been received.

Ms. Skolarus stated she is considering removing the absentee voter counting board on election day because those ballots can be processed by the early voting workers.

Ms. VanMarter suggested decreasing the existing rates for the early voting workers for this election and then review the rates for all workers for the August election. Ms. Skolarus stated she has already advised the workers of the rates. Ms. Hunt advised that the Board did not approve those rates so the workers should not have been told that was their rate.

Mr. Dhaenens would approve the rates presented this evening for the February election only, but he does not want to have this presented to the Board at the meeting before the election. It should be done well in advance.

Supervisor Rogers stated he has previously requested the rate schedule for before the Howell Schools election, after that election, and then these rates, but he has not received it.

Moved by Lowe, supported by Dhaenens, to approve the per diem rates for the February 27, 2024 election as recommended by the Election Commission and they shall be reviewed by the Commission and brought before the Township Board in June 2024. **The motion carried unanimously.**

6. Request for approval of a permanent part-time Election Coordinator at an hourly rate of \$25.00 as requested by the Township Clerk.

Ms. Skolarus stated that she will be retiring in November 2024 and Ms. Lowe is on the ballot to replace her. She would like to have two part-time employees in the Clerk's Office.

Human Resources Manager, Kim Lane, stated she is recommending that the election coordinator be kept as a temporary position for 2024 because the job description provided to her has very little other responsibilities other than elections. There will be a new clerk in 2025, and that new clerk may change the structure of the Clerk's Office. Adding a full time employee costs the township additional money because of benefits, etc.

Ms. Lowe advised that Ms. Lane is providing Ms. Skolarus with what she requested and what is needed for this year's elections.

Ms. VanMarter stated that Tabitha is a very good employee. She has spoken to her and she is happy to stay as a part-time employee. She will not resign if her current position is not made permanent.

Moved by Lowe, supported by Ledford, to keep Tabitha as a temporary part-time Election Coordinator at an hourly rate of \$25.00 until after the November 2024 election. **The motion carried unanimously.**

7. Review of Fiscal Year 2023-2024 Third Quarter Budget to Actual Report.

Ms. VanMarter stated that the only items that need attention are in the Clerk's budget. Ms. Skolarus stated she will make those changes.

Ms. Skolarus would like the township to build a senior center. She suggests saving money each year so this can be done. Ms. Hunt agrees, but it must be managed, and she questioned how that would be funded.

Ms. VanMarter stated that the township contributes to Howell Parks and Recreation and they offer senior programs. She suggested working with them to provide more senior services.

The Board discussed the township's parks and rec budget and if there are funds available to save. Ms. VanMarter stated there are some large projects that are needed now, so this would not be able to be done until future fiscal years.

Correspondence

An email from a resident, Gordon Witte, regarding his concern with a letter that was sent from the Township Clerk. Ms. Skolarus provided the letter that Mr. Witte is referring to. She copied

the information from the State of Michigan's website.

A letter sent to the Lakewood Knolls subdivision residents regarding an information meeting for a special assessment for road maintenance in their neighborhood.

A flier regarding the \$6.5 million grant received from SPARK for the installation of a water main that will benefit the township and the South Latson corridor. Ms. Lowe asked to have this information placed on the township's website.

A letter mailed to the Pine Creek residents advising them that the deadline for the non-interest pre-payment period has been extended to June 1, 2024.

A copy of the censure of the Township Clerk from November 21, 2022. Ms. Skolarus distributed a letter she wrote to the Board. She has already given a copy to Mr. Seward. Mr. Seward stated that this document is now able to be FOIA'd. Also, the censure motion stated that no further taxpayer dollars were to be spent on this issue.

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Ledford, supported by Croft, to adjourn the meeting at 8:03 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved: Paulette Skolarus, Clerk
Genoa Charter Township

Bill Rogers, Supervisor
Genoa Charter Township



MEMO

TO: Genoa Charter Township Board
FROM: Greg Tatara, Utility Director
DATE: February 28, 2024
RE: Approval of Utility Department Amended Budget for FY Ending March 31, 2024 and Proposed Budget for FY Ending March 31, 2025

.....

For consideration at tonight's Board Meeting, is the approval of the shared system allocation percentage for Fiscal Year (FY) 2025 as well as the DPW FY24 Amended Budget and the proposed budget DPW Budget for FY 2025.

The DPW Budget covers the expenses associated with Genoa Township personnel, who jointly work to operate the two Genoa Utility Systems of Oak Pointe and Lake Edgewood, the Howell Township Sanitary System, as well as the Genoa -Oceola (G-O) Sanitary System and the Marion, Howell, Oceola, and Genoa (MHOG) Water system.

Presented in [Attachment 1](#), is a summary of the operational conditions we used to estimate the overall percentage of time and equipment in each system. This year, there was not much movement in the allocation percentage, with only the Oak Pointe and Howell Township Sanitary Systems showing small increases. Given the work load over the past year, we agree that these two systems required some additional effort.

The amended DPW Budget for FY 2024 and the proposed FY 2025 budget is presented as [Attachment 2](#). It should be noted that both the MHOG and G-O systems have approved the budgets as presented. For tonight's meeting, we would like to highlight some of the key changes for the DPW Budgets prior to seeking Genoa Township Board approval.

FY 2024 Amended Budget

1. For the amended budget, we are once again looking to finish under budget and provide money back to each system. A big overall reason for finishing under budget was that we had a vacant position for 6 – months this past fiscal year. When we had a retirement on March 31, 2023, we chose to leave the position vacant and evaluate the best utilization of

a position to improve operation. Ultimately, we added an additional wastewater treatment plant operator to improve WWTP operation and maintenance.

2. We had increased revenues over what was projected by \$32,575. A reason for this was interest income, increased construction fees, and increased fees for Marion Township Sewer Billing due to increased customer numbers in that district.
3. Most of our expense categories finished near the initial projections when drafting the budget. The exceptions that were under the original budget amounts were auto maintenance expenses (-\$9,354 – primarily lower gasoline costs), insurance (-\$9,681 – BCBS and EHIM for vacant position), and salaries (-\$107,149 due to vacant position and reduced overtime). Only two areas finished substantially higher than anticipated, which were office expenses (+\$3,500 – due to increases in billing costs and reading equipment) and the vector truck (+\$9,000 due to increased repairs to turbo charger and rear axle brake drums).
4. Overall, we are projected in the amended budget to have revenue exceed expenditures by \$162,099. If everything holds as projected, after the audit, we may ask to have some of the surplus directed to pay off a remaining fleet loan balance of approximately \$300,000. We are working to have the DPW fund balances increased to become fully self sustaining on a cash basis for the entire fleet of 27 vehicles.

FY 2025 Proposed Budget

1. For the proposed budget, we are recommending an overall budget increase of 5.2%. A reason for the increase is anticipated salary adjustments for the team of 27 people, increasing the loan payback by \$20,000 for vehicles, increasing the transfer to equipment reserves for \$20,000, insurance by \$29,000 and increasing the potential for Vector repairs by \$7,500.
2. With the exception of the above changes, we worked hard to minimize any other significant increases in the budget.

I will be happy to answer any budget questions and we are asking the board to approve the amended FY-2024 DPW Budget and the proposed FY 2025 Budget. Based on the above explanation and attached budget document, we respectfully ask the board to consider the motion presented below:

Moved by _____, supported by _____ to approve the FY 2025 System Labor and Equipment Percentage Allocation, the Amended Utility Department Budget for FY ending March 31, 2024, and the proposed Utility Department Budget for the FY Ending March 31, 2025.

DRAFT
FY 2025 System Labor Equipment Percentage Calculation
Including Howell Twp.

System	Billed Connections	%	Mile of Pipe	%	Avg. Daily Flow (2023)	%	Storage / Pump Station with Daily Checks	%	Full Time Staff Equivalents to Operate	%	Annual Budget	%	Grinder Pumps or Hydrants	%	Total Avg.
MHOG	6,166	42.07%	149.49	45.21%	1,840,000	48.23%	8	33.47%	8	29.09%	\$3,427,334	33.76%	1,692	68.61%	42.92%
Genoa-Oceola	4,841	33.03%	92.82	28.07%	1,259,000	33.00%	6.9	28.87%	8.5	30.91%	\$2,811,761	27.70%	103	4.18%	26.54%
Oak Pointe Sewer	1,297	8.85%	31.71	9.59%	0	0.00%	2	8.37%	2.5	9.09%	\$1,188,747	11.71%	439	17.80%	9.34%
Oak Pointe Water	932	6.36%	15.46	4.68%	282,000	7.39%	3	12.55%	3	10.91%	\$511,341	5.04%	144	5.84%	7.54%
Lake Edgewood	514	3.51%	11.25	3.40%	126,000	3.30%	1	4.18%	2	7.27%	\$404,450	3.98%	88	3.57%	4.17%
Howell Township	907	6.19%	29.90	9.04%	308,000	8.07%	3	12.55%	3.5	12.73%	\$1,808,581	17.81%	0	0.00%	9.49%
Total	14,657	100.00%	331	100.00%	3,815,000	100.00%	24	100.00%	27.5	100.00%	10,152,214	100.00%	2,466	100.00%	100.00%

System	Existing Allocation %	Proposed Percentage	Difference
MHOG	42.96%	42.92%	-0.04%
Genoa-Oceola	26.66%	26.54%	-0.12%
Oak Pointe Sewer	9.09%	9.34%	0.25%
Oak Pointe Water	7.66%	7.54%	-0.12%
Lake Edgewood	4.20%	4.17%	-0.03%
Howell Township	9.43%	9.49%	0.06%

GENOA TOWNSHIP - DPW FUND #233
 BUDGET TO ACTUAL REPORT FOR YEAR ENDING 3/31/24 COMPARED TO
 ACTUAL REVENUES AND EXPENSES FOR 9-MOS ENDING 12/31/23
 AMENDED BUDGET WORKSHEET FOR YEAR ENDING 3/31/24
 PROPOSED BUDGET FOR FY ENDING 3/31/25

Att. 2

ACCOUNT#	ACCOUNT DESCRIPTION	APPROVED BUDGET FOR YEAR ENDING 3/31/24	ACTUAL FOR 9 MOS ENDING 12/31/24	PROPOSED AMENDED BUDGET FOR THE YEAR ENDING 3/31/24	PROPOSED BUDGET FOR YEAR ENDING 3/31/2025	INCREASE (DECREASE)	NOTES
REVENUES							
233-000-400-000	<i>FEES - EXCLUDING OPER LABOR</i>						
233-000-626-005	MARION SEWER (BILLING ONLY)	25,000	20,682	27,576	27,576	2,576	Increased number of customers in the past year
233-000-626-008	LAKE EDGEWOOD WATER (BILLING ONLY)	4,150	3,089	4,150	4,150	-	
233-000-626-002	HOWELL TOWNSHIP BILLING	-	-	-	-	-	
	SUBTOTAL - FEES EXCLUDING OPER LABOR	29,150	23,771	31,726	31,726	2,576	
233-000-626-010	<i>FEES - INCLUDING OPER LABOR</i>						
233-000-626-012	OAK POINTE WATER	260,459	195,344	260,459	268,293	7,834	3.01%
233-000-626-011	OAK POINTE SEWER	309,082	231,812	309,082	332,596	23,514	7.61%
233-000-626-013	MHOG WATER	1,460,745	1,095,559	1,460,745	1,527,714	66,969	4.58%
233-000-626-014	LAKE EDGEWOOD SEWER	142,810	107,107	142,810	148,584	5,774	4.04%
233-000-626-015	GENOA/OCEOLA SEWER	906,505	679,879	906,505	944,524	38,019	4.19%
233-000-626-007	HOWELL TOWNSHIP	320,643	240,482	320,643	337,624	16,981	5.30%
	SUBTOTAL - FEES INCLUDING OPER LABOR	3,400,243	2,550,183	3,400,243	3,559,334	159,091	
233-000-626-016	<i>VECTOR TRUCK</i>						
233-000-626-017	OAK POINTE WATER	3,450	2,887	3,720	3,720	270	Estimate based on historical budgeted percentage
233-000-626-018	OAK POINTE SEWER	16,100	13,472	17,360	17,360	1,260	Estimate based on historical budgeted percentage
233-000-626-019	MHOG WATER	8,050	6,736	8,680	8,680	630	Estimate based on historical budgeted percentage
233-000-626-020	LAKE EDGEWOOD SEWER	9,200	7,698	9,920	9,920	720	Estimate based on historical budgeted percentage
233-000-626-021	GENOA/OCEOLA SEWER	46,000	38,491	49,600	49,600	3,600	Estimate based on historical budgeted percentage
233-000-626-022	HOWELL TOWNSHIP	32,200	26,944	34,720	34,720	2,520	Estimate based on historical budgeted percentage
	SUBTOTAL - VECTOR TRUCK REVENUE	115,000	96,228	124,000	124,000	9,000	Based on this years repairs, hold, vector is 8 years old
233-000-672-001	<i>OTHER INCOME</i>						
233-000-672-001	MISCELLANEOUS	5,000	7,581	9,000	9,000	4,000	Insurance Refund
233-000-628-003	CONSTRUCTION FEES	8,000	12,049	12,049	8,000	-	Hold Original Budget
233-000-665-001	INTEREST INCOME	50	12,134	13,000	13,000	12,950	Increase for next year
233-000-581-001	HOWELL TOWNSHIP	-	-	-	-	-	
	SUBTOTAL - OTHER INCOME	13,050	31,764	34,049	30,000	16,950	
	TOTAL REVENUE	3,557,443	2,701,946	3,590,018	3,745,060	187,617	
EXPENDITURES							
233-600-801-071	<i>ACCOUNTING</i>						
233-600-801-072	AUDIT SERVICES	3,500	3,500	3,500	4,000	500	Per Audit Contract - Annual Increase 3rd Year
233-600-801-073	ACCOUNTING SERVICES	8,000	5,625	8,000	8,250	250	Increase 3% for FY 2025
	TOTAL ACCOUNTING EXPENSES	11,500	9,125	11,500	12,250	750	
233-601-860-001	<i>AUTO/TRUCK EXPENSES</i>						
233-601-862-001	FUEL	80,876	55,203	74,000	77,913	(2,962)	Fuel at \$3.50 per gallon, 212,000 miles per year
233-601-991-009	LOAN PAYBACK	80,000	60,000	80,000	100,000	20,000	Increase to pay off loan faster
233-601-932-001	ROUTINE MAINTENANCE	46,781	33,449	45,000	34,375	(12,406)	Calculation based on needed tires, estimated repairs
233-601-936-001	DEDUCTIBLE/BODY DAMAGE REPAIR	2,000	1,580	2,000	2,000	-	Windsheilds, deductables
233-601-936-002	AUTO INSURANCE	24,250	23,553	23,553	24,500	250	MRRMA, expect small increase for 20256
233-601-981-001	VEHICLE PURCHASES	-	-	-	-	-	
	TOTAL AUTO/TRUCK EXPENSES	233,907	173,785	224,553	238,788	4,882	
233-602-803-009	<i>ADMINISTRATIVE EXPENSES</i>						
233-602-801-004	RECEIPTING	33,176	24,882	33,176	33,176	-	Hold for FY2025
233-602-940-001	OFFICE RENT & SUPPLY	26,183	18,936	26,183	26,183	-	Hold for FY2025
	TOTAL ADMINISTRATIVE EXPENSES	59,359	43,818	59,359	59,359	-	
233-603-948-001	<i>COMPUTER/SW EXPENSES</i>						
233-603-948-002	COMPUTER HARDWARE EXPENSES	1,000	-	1,800	2,800	1,800	Many computers dating to 2012, need to purchase new
233-603-948-003	COMPUTER SOFTWARE EXPENSES	-	-	-	-	-	
233-603-948-005	BSA Utility Billing Module	4,259	4,595	4,595	5,000	741	Increase slightly for FY 2025
233-603-948-004	Web Site Maintenance	900	899	900	2,500	1,600	Increase to add employee website
233-603-948-006	Other (Adobe Upgrades, etc)	2,000	325	2,000	2,000	-	Hold
233-603-950-001	AIR CARDS/JETPACKS	7,000	5,634	7,500	7,500	500	Increase slightly, one additional jet pack
	TOTAL COMPUTER/SW EXPENSES	15,159	11,453	16,795	19,800	4,641	
233-604-910-001	<i>PROFESSIONAL DEVELOPMENT</i>						
233-604-910-002	EMPLOYEE	13,650	8,802	11,000	13,650	-	Staff conference, classes, exams, potential usage
233-604-910-003	INTERNAL TRAINING	5,000	5,403	6,000	7,800	2,800	Change first aid training this year to in person by instructor
	TOTAL PROFESSIONAL DEVELOPMENT	18,650	14,205	17,000	21,450	2,800	
233-606-959-001	<i>CONTINGENCY</i>	-	-	-	-	-	
233-608-709-001	<i>EMPLOYER'S PAYROLL TAXES</i>	149,799	107,994	143,992	155,455	5,656	Increase in 2025 based on no vacancies and increased salary
233-609-977-003	<i>GIS & WORK ORDERS</i>						
233-609-977-005	ANNUAL CENTRAL SQUARE DUES	12,000	12,115	12,115	12,500	500	Small increase in 2025
233-609-977-006	ARC GIS ON-LINE LICENSES	7,200	8,395	8,395	9,000	1,800	Increase in ArcGIS Licensing
233-609-977-008	Near Map License	4,500	4,500	4,500	4,500	-	Hold for 2025
233-609-977-007	ROUTINE GIS MAINTENANCE	18,000	14,252	18,000	19,000	1,000	Increase slightly for 2025
233-609-948-005	HARDWARE (TABLETS)	600	-	-	-	(600)	
	TOTAL GIS	42,300	39,262	43,010	45,000	2,700	
233-612-840-005	<i>INSURANCE</i>						
233-612-840-006	BC/BS MICHIGAN	386,254	288,420	384,560	390,190	3,936	Vacancy for 6-Mo saved money
233-612-840-007	EHIM	65,088	44,441	60,000	88,725	23,638	Actual employee utilization of self insurance portion
233-612-836-001	WELLNESS PROGRAM	7,865	7,078	7,865	7,865	-	Hold for 2025
233-612-844-001	LIFE/DISABILITY	14,496	14,894	20,000	19,108	4,611	Increase after two year hold
233-612-844-002	WORKERS COMPENSATION	39,082	29,312	39,082	37,747	(1,336)	
233-612-936-003	PROPERTY/LIABILITY INSURANCE	35,000	23,121	31,000	35,000	-	MRRMA Fees
233-612-844-003	DENTAL INSURANCE	33,740	22,003	29,337	31,985	(1,755)	Increase over ammended budget, increase in rate
	TOTAL INSURANCE	581,525	429,269	571,844	610,619	29,094	
233-613-804-001	<i>LEGAL FEES</i>	1,500	380	380	1,500	-	Questions on CDL for attorney this year
233-615-742-001	<i>CREDIT CARD FEES</i>	24,000	12,523	17,000	18,000	(6,000)	Reduction in credit card fees, due to more ACH
233-616-742-001	<i>EMPLOYEE RECRUITING</i>						
233-616-742-003	ADVERTISING	2,500	2,199	2,199	2,500	-	Cost for annual membership on Indeed, etc.
233-616-742-004	BACKGROUND CHECK	500	80	80	500	-	Hold, keep for potential new hires
233-616-742-005	PRE-EMPLOYMENT PHYSICALS/DRUG SCREEN	1,000	700	700	1,000	-	Hold, keep for potential new hires
233-616-742-006	CDL PHYSICALS AND DRUG TESTING	1,000	1,887	1,887	2,000	1,000	Annual and Bi-annual physical for operators to maintain CDL
	TOTAL EMPLOYEE RECRUITING	5,000	4,866	4,866	6,000	1,000	
233-617-751-008	<i>OFFICE EXPENSES</i>						
233-617-934-001	FURNITURE/CAPITAL	-	-	-	-	-	
233-617-750-099	SUPPLIES	4,000	5,600	7,500	7,500	3,500	Bills, supplies, paper, copier maintenance
233-617-851-001	POSTAGE & SHIPPING	10,000	8,154	10,000	12,000	2,000	Increased cost of mailing
	TOTAL OFFICE	14,000	13,754	17,500	19,500	5,500	
233-618-965-001	<i>OTHER EXPENSES</i>	-	-	-	-	-	
233-630-702-001	<i>SALARIES</i>						
233-627-715-001	RETIREMENT	192,856	137,285	185,000	205,163	12,307	Increase based on salary increase
233-630-702-002	STRAIGHT TIME	1,742,870	1,238,265	1,680,020	1,845,444	102,574	Increase based on salary increase

GENOA TOWNSHIP - DPW FUND #233
 BUDGET TO ACTUAL REPORT FOR YEAR ENDING 3/31/24 COMPARED TO
 ACTUAL REVENUES AND EXPENSES FOR 9-MOS ENDING 12/31/23
 AMENDED BUDGET WORKSHEET FOR YEAR ENDING 3/31/24
 PROPOSED BUDGET FOR FY ENDING 3/31/25

ACCOUNT#	ACCOUNT DESCRIPTION	APPROVED BUDGET FOR YEAR ENDING 3/31/24	ACTUAL FOR 9 MOS ENDING 12/31/24	PROPOSED AMENDED BUDGET FOR THE YEAR ENDING 3/31/24	PROPOSED BUDGET FOR YEAR ENDING 3/31/2025	INCREASE (DECREASE)	NOTES
233-630-702-007	OVERTIME	170,444	103,957	140,000	161,807	(8,637)	
233-630-702-011	CONTRACT ENGINEER	58,000	38,665	52,000	58,000	-	Keep Price the same
	COMPENSATION CALCULATION				2,100	2,100	Compease - Annual Market Data
	TOTAL SALARIES	2,164,169	1,518,172	2,057,020	2,272,514	108,344	
233-640-753-001	SUPPLIES & TOOLS	6,500	6,009	7,500	7,500	1,000	
233-651-853-001	TELEPHONE						
233-651-853-003	ANSWERING SERVICE	3,750	2,517	3,500	3,750	-	Based on number of call outs, hold for 2025
233-651-853-004	CELL PHONE ALLOWANCE	25,500	17,536	24,000	25,500	-	Operations staff phone allowance, based on rate x number of employees
233-651-853-005	CELL PHONES	2,000	1,073	1,450	1,500	(500)	Annual utility DepartmenT owned cell phone plans
233-651-853-007	CUSTOMER LINE	1,000	1,225	1,650	1,750	750	Increase slightly for customer 1-800 lines
	TOTAL TELEPHONE	32,250	22,351	30,600	32,500	250	
233-699-995-861	TRANSFERS TO EQUIPMENT RESERVES	60,000	45,000	60,000	80,000	20,000	Discuss increasing due to vehicle costs going up - need funding for vehicle replacements
233-699-995-862	TRANSFERS TO PERSONNEL RESERVES	1,000	750	1,000	1,000	-	Hold
233-705-767-001	UNIFORMS & PROTECTIVE CLOTHING						
233-705-767-002	UNIFORMS/Pants/Boots/Safety Clothing	21,825	11,027	20,000	21,825	-	Hold, combine to one line item
	TOTAL UNIFORMS & PROTECTIVE CLOTH.	21,825	11,027	20,000	21,825	-	
233-706-767-006	VACTOR TRUCK						
233-706-932-050	VT - FUEL	6,500	2,415	4,000	4,500	(2,000)	Diesel and Def for vactor
233-706-932-051	VT - EQUIPMENT/TOOLS	1,000	-	-	2,500	1,500	Jet heads, nozzles
233-706-932-052	VT - ANNUAL TRANS TO RESERVES	100,000	75,000	100,000	100,000	-	Setting money aside - current vactor is 2016
233-706-934-040	VT - REPAIRS	7,500	18,812	20,000	15,000	7,500	Increase, unit is older, had brake drums and new turbo installed this year
	TOTAL VACTOR TRUCK	115,000	96,227	124,000	122,000	7,000	
	TOTAL EXPENDITURES	3,557,443	2,559,970	3,427,919	3,745,060	187,617	Budget Increase of 5.2% for FY 2025 over 2024
	CHANGE IN FUND BALANCE	-	141,976	162,099	-		
	BEGINNING FUND BALANCE	302,509	302,509	302,509	237,099		
	LOAN REPAYMENT - ADDITIONAL	(125,000)	(125,000)	(125,000)			
	REFUNDS TO W/S DISTRICTS	(102,509)	(102,509)	(102,509)	(101,117)		
	ENDING FUND BALANCE	75,000	216,976	237,099	135,982		
		3/31/2023	12/31/2022	3/31/2023	3/31/2024		
		OK/KP	OK/KP	OK/KP	OK/KP		



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 28, 2024
RE: The Salvation Army – 2464 Dorr Road
Special Land Use, Site Plan and Impact Assessment

Please find attached the project case file for a proposed special land use permit, site plan and impact assessment for the Salvation Army to use the former Humane Society building at 2464 Dorr Road as a center to assist individuals with social needs. The proposal includes community outreach services and an accessory church. The property is zoned Industrial (IND).



SUPERVISOR
Bill Rogers
CLERK
Paulette A. Skolarus
TREASURER
Robin L. Hunt
TRUSTEES
Jean W. Ledford
Terry Croft
Diana Lowe
Jeff Dhaenens
MANAGER
Kelly VanMarter

Procedurally, the Planning Commission is to review the special land use, site plan and environmental impact assessment, and put forth recommendations to the Township Board following a public hearing. The project was heard before the Planning Commission on February 12th, 2024 and the Commission recommended approval with conditions. Based on the recommendation from the Planning Commission, I offer the following for your consideration:

February 28, 2024

The Salvation Army – 2464 Dorr Road

Page 2 of 2

SPECIAL USE PERMIT

Moved by _____, supported by _____, to approve the Special Use Application to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County because it is found that the Special Land Use standards of Zoning Ordinance Section 19.03 have been met subject to the following conditions:

- The applicant will address any concerns of the township engineer and Brighton Area Fire Authority prior to issuance to any Land Use Permit.
- The applicant shall obtain a variance from the ZBA for the lack of 500-foot spacing from residential zoning prior to issuance of a Land Use Permit.

ENVIRONMENTAL IMPACT ASSESSMENT

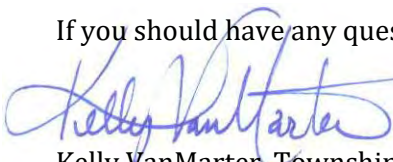
Moved by _____, supported by _____, to approve the Environmental Impact Assessment dated December 11, 2023 to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County.

SITE PLAN

Moved by _____, supported by _____, to approve the Site Plan dated January 19, 2024 to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County, with the following conditions:

- All conditions of the special land use permit shall be satisfied.
- The parking spaces will be loop striped to comply with the Township ordinance associated with any parking lot improvements.
- The revision date on the site plan shall be updated to reflect the date that the redline changes were made following the Planning Commission meeting.
- All of the existing structures shall be removed, with the exception of the garage.
- The location of the proposed bike path along Dorr Road shall be finalized with Township staff with consideration given to terminating the path at the site driveway and then connecting a sidewalk from the building/parking lot to give pedestrian access. Additionally, cross section details of the proposed sidewalk shall be provided for the township engineer's review and approval.

If you should have any questions, please feel free to contact me.



Kelly VanMarter, Township Manager



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: The Salvation Army, an Illinois Corporation
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: 5550 Prairie Stone Parkway
Hoffman Estates, IL 60195

SITE ADDRESS: 2464 Dorr Rd PARCEL #(s): 4711-15-200-019

APPLICANT PHONE: (248) 361-0459 OWNER PHONE: (248) 361-0459

OWNER EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

LOCATION AND BRIEF DESCRIPTION OF SITE: The Salvation Army of Livingston County

Corps Community Center. Food, shelter/rental assistance, Pathway of Hope, clothing/household items vouchers, and feeding programs.

Social services holiday programs, coats/boots/snow pants. Community Programs, youth, teen, older adults, music, family.

Worship activities, Sunday school, morning worship, dinners as a secondary.

BRIEF STATEMENT OF PROPOSED USE: see above

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

We will be utilizing the existing buildings, not adding any new buildings to the site.

The garage will be utilized to house the 12 passager van that is utilized to pick up
people who need assistance in the community.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: Kelly Wirebaugh, Director of Property

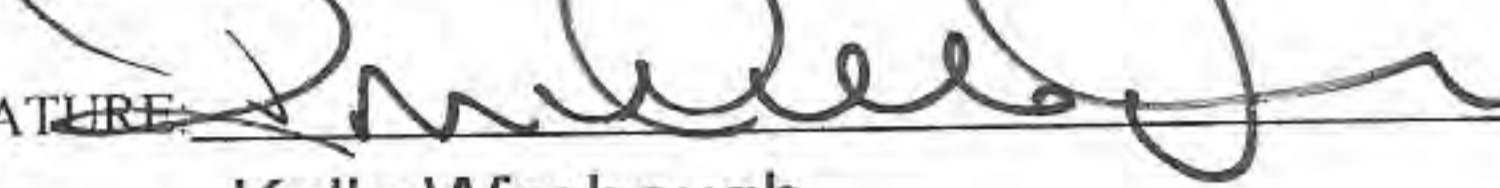
ADDRESS: 16130 Northland Dr., Southfield, MI 48075

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Kelly Wirebaugh of The Salvation Army Kelly.Wirebaugh@usc.salvationarmy.org
Name Business Affiliation at E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 11/07/2023
PRINT NAME: Kelly Wirebaugh PHONE: 248-361-0459
ADDRESS: 16130 Northland Dr., Southfield, MI 48075



GENOA CHARTER TOWNSHIP Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: The Salvation Army 16130 Northland Dr., Southfield, MI 48075
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248)361-0459 EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

OWNER NAME & ADDRESS: The Salvation Army, an Illinois Corporation 5550 Prairie Stone Prkwy Hoffman Estates IL 60192

SITE ADDRESS: 2464 Dorr Rd Genova Twp, MI PARCEL #(s): 4711-15-200-019

OWNER PHONE: (248)361-0459 EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

Location and brief description of site and surroundings:
The site consists of a main building, garage and surrounding landscape. The surroundings is light commerical properties. Industrial next door & behind and residential across the street. Expressway to the south.

Proposed Use:
Community Center with a Church as a secondary componet to the site.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Community outreach services and nonprofit church.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

Community programs, outreach services, community center, food, shelter/rental assistance, Pathway of Hope, clothing/food programs, holiday programs,

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

We will maintain the driveway/parking lot so that all essential vehicles can enter the location.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

No detrimental materials will be utilized.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

In case of emergency situations such as a tornado, this center would serve as a temporary shelter to the community.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Kelly Wirebaugh of The Salvation Army STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Kelly Wirebaugh

ADDRESS: 16130 Northland Dr., Southfield, MI 48075

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Name: Kelly Wirebaugh Business Affiliation: The Salvation Army Email: Kelly.Wirebaugh@USC.SalvationArmy.org

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 12/15/23
PRINT NAME: Kelly Wirebaugh PHONE: 248/361-0459



DOING
THE MOST
GOOD™

February 20, 2024

Township Board of Trustees
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Applicant: The Salvation Army
Property: 2464 Dorr Road
Application for Special Use

Dear Members of the Township Board of Trustees,

This will constitute the Correspondence Letter requested by the Township Planning Commission following its meeting and public hearing of February 12, 2024. At that meeting, the Planning Commission unanimously recommended Township Board approval, with conditions, of the following: (i) the Special Use Application; (ii) the Environmental Impact Assessment, and (iii) the Site Plan. In this letter, we will address each of the conditions imposed by the Planning Commission and our plans to resolve each of them to the satisfaction of Genoa Township.

1. Special Use Application to use the existing building at 2464 Dorr Road as a philanthropic or nonprofit center to assist individuals with social needs for The Salvation Army of Livingston County.
 - A. The special land use standards of Section 19.03 are generally met. The Applicant agrees.
 - B. The Applicant shall address the Township engineer and the Brighton Area Fire Authority, Fire Marshall's concerns. The Applicant will retain the services of a qualified contractor to conduct a grid test of the facility for signal strength coverage and engage the contractor to make all required changes to satisfy the conditions imposed by the Brighton Area Fire Authority.
 - C. The Applicant shall obtain a variance from the ZBA for the lack of a 500 – foot spacing from residential zoning. It should be noted that the Property is located more than 500 feet from any existing residence. The Applicant will pursue a variance from ZBA upon consummation of its purchase of the Property.

GREAT LAKES DIVISION

16130 Northland Drive
Southfield, MI 48075
(248) 443-5500
SAGreatlakes.org

Lyndon Buckingham, *General*
Evie Diaz, *Territorial Commander*
Steven J. Merritt, *Divisional Commander*

“...THERE IS NO REWARD EQUAL TO THAT OF DOING THE MOST GOOD TO THE MOST PEOPLE IN THE MOST NEED.” — EVANGELINE BOOTH

2. Environmental Impact Assessment (“EIA”) dated December 11, 2023, to use the existing building at 2464 Dorr Road as a philanthropic or nonprofit center to assist individuals with social needs for The Salvation Army of Livingston County. The EIA was approved by the Planning Commission without additional conditions.
3. Site Plan dated January 19, 2024, to use the existing building at 2464 Dorr Road as a philanthropic or nonprofit center to assist individuals with social needs for The Salvation Army of Livingston County.
 - A. The Applicant intends to repair the collapsed catch basin and will include in that project a request from the Township to repair the parking lot which will include looped parking spaces.
 - B. The Site Plan has been revised to show that all outbuildings are to be removed with the exception of the garage.
 - C. As previously detailed in 1. B. above, the Applicant will comply with all conditions of the Brighton Area Fire Authority, Fire Marshall.
 - D. The survey/topographical has been revised to show a cross section of the proposed sidewalk (see attached Exhibit “A”)

In conclusion, the Applicant is purchasing the Property pursuant to a written Purchase Agreement that contains certain contingencies, all of which the Applicant has waived with the exception of Applicant’s satisfaction that the Property is properly zoned or can be rezoned to permit its intended use. Thus, all requirements for approval of the Zoning Application and Site Plan Review where Applicant states that certain tasks will be completed in the future, Applicant represents that those tasks will be completed in accordance with Township requirements in a timely manner upon consummation of Applicant’s purchase of the Property.

Sincerely,
Kelly Wirebaugh
Divisional Property Director

- The building materials presented this evening are acceptable.
The motion carried unanimously.

NEW BUSINESS:

OPEN PUBLIC HEARING #4...Consideration of a special land use application, environmental impact assessment and site plan to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs. The property is located on the west side of Dorr Road, north of I-96 on parcel #4711-15-200-019 and the request is petitioned by The Salvation Army of Livingston County.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (12-11-23)
- C. Recommendation of Site Plan (1-19-24)

Mr. David Barner, the attorney for the Salvation Army, Lieutenant Colonel Steven Merritt, Lieutenants Roberts and Leach, who would be the core commanders at this location, and Ms. Kelly Wirebaugh, Divisional Property Manager, were present.

He stated the property will be used as a core center. It will have a church and will provide many social services.

Mr. Borden reviewed his letter dated February 1, 2024.

1. Special Land Uses (Section 19.03):
 - a. The special land use standards of Section 19.03 are generally met.
 - b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Outdoor Storage (Section 8.02.02(n)):
 - a. The subject site does not meet the 500-foot spacing from residential zoning. He noted that the applicant intends to apply to the ZBA for a variance. Ms. Wirebaugh stated they will apply for the variance after the purchase of the property is complete.
3. Site Plan Review:
 - a. If parking lot improvements are proposed, the applicant should be required to provide looped striping for parking spaces.
 - b. Removal of the existing structures associated with the Humane Society needs to be noted on the site plan. He stated the applicant has indicated they will be removed; however, it is still shown on the site plan.
 - c. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated February 5, 2024.

1. The petitioner will need to obtain approval from the Brighton Area Fire Authority prior to final site plan approval.
2. The impact assessment states that the site will be serviced by existing well and septic. The petitioner has noted that they will pursue approval from the Livingston County Health Department for the potential increased use of the existing facilities and approval should be provided to the Township for their records.
3. The existing site drive is close to the Dorr Road and I-96 overpass. The petitioner should confirm with the Livingston County Road Commission that sight distance is adequate at the current drive location and provide that approval to the Township for their records.

She added that the petitioner should provide a cross section of the proposed sidewalk for engineering review.

The Brighton Area Fire Authority Fire Marshal's letter dated February 2, 2024 states that the applicant has or will comply with his concerns. Item #5 states:

5. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building. (There is a note directed toward the owner's rep regarding this note. This will be resolved during the life safety review with the architectural firm.)

Commissioner Dhaenens questioned if the parking is adequate for large events being held at the building. Ms. Wirebaugh stated that during holidays, they may need to use the greenspace for parking. He stated the township does not like to encourage parking on the grass. He asked the applicant to look into the parking further.

Commissioner McCreary thanked the applicant for the services they provide for the community as they are much needed. She reiterated Commissioner Dhaenens' concerns regarding parking. Ms. Wirebaugh stated that during the week, people visit by appointment only. Lieutenant Colonel Merritt stated they have a maximum number of people who can attend each event.

Mr. Barner stated that the current size of the parking is adequate for their existing services. If the need increases and they require more parking, they will return to the township.

The call to the public was opened at 7:20 pm

Mr. David Yancho of 5658 Evergreen Knoll, is a member of the Salvation Army Board. The services provided here are different from the Salvation Army thrift store. The church only

services a handful of families so it is not a typical church. He reiterated that the parking is sufficient for their current needs for other larger events.

Ms. Marlene Poff with the Salvation Army stated that parents drop off their children for the youth programs so there is no parking needed for that. They usually only have three to four clients in their building at one time.

Mr. Brian Kazak of 11236 Doves Mead, who is on the Salvation Army Board, stated the current location uses 6-8 spaces on a Sunday and this new parking lot doubles this. The appointments are usually one-on-one, and not groups.

The call to the public was closed at 7:25 pm.

Commissioner Chouinard thanked the public for the clarification on the parking needs.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Special Use Application to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County, with the following conditions:

- The special land use standards of Section 19.03 are generally met.
- The applicant will address the township engineer and Brighton Area Fire Authority Fire Marshal's concerns.
- The applicant shall obtain a variance from the ZBA for the lack of 500-foot spacing from residential zoning.

The motion carried unanimously.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Environmental Impact Assessment dated December 11, 2023 to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County. **The motion carried unanimously.**

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Site Plan dated January 19, 2024 to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs for the Salvation Army of Livingston County, with the following conditions:

- If there are improvements to the parking the applicant will receive approval from the Township and it will require looped parking spaces.
- All of the existing structures shall be removed, with the exception of the garage.

- The applicant shall comply with the conditions of the Brighton Area Fire Authority Fire Marshal.
- The applicant shall provide the cross section details of the proposed sidewalk for the township engineer's review and approval.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there is a Planning Commission meeting tomorrow. Commissioner Dhaenens will not be in attendance.

There may be four items on the March meeting agenda.

Approval of the January 8 and January 9, 2024 Planning Commission meeting minutes

One needed change was noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the January 8, 2024 Planning Commission Meeting as amended. **The motion carried unanimously.**

Moved by Commissioner McCreary, seconded by Commissioner Rassel, to approve the minutes of the January 9, 2024 Planning Commission Meeting as presented. **The motion carried unanimously.**

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Commissioner McCreary, seconded by Commissioner Rassel, to adjourn the meeting at 7:39 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary



**NOTICE OF PUBLIC HEARING – FEBRUARY 12, 2024
(SPECIAL USE)**

January 26, 2024

To Whom It May Concern:

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Please be advised that the Planning Commission of Genoa Charter Township will conduct a public hearing on **Monday, February 12, 2024 commencing at 6:30 p.m.** As required by state law, you are receiving this notice because you have been identified as an owner or occupant of real property within 300 feet of the subject parcels.

The property in question is located on the west side of Dorr Road, north of I-96 at 2464 Dorr Road and was formerly occupied by the Humane Society. The parcel ID number for the property is 4711-15-200-019. **The applicant is requesting a special use permit for a philanthropic or non-profit center to assist individuals with social needs. This request is petitioned by the Salvation Army of Livingston County.**

You are invited to attend this hearing. Members of the public will be able to speak during the public hearing portions of the meeting. If, prior to the meeting, members of the public have certain questions or wish to provide input on any business that will be addressed at the meeting then such persons may contact the Planning Commissioners through email to amy@genoa.org, or by mail at 2911 Dorr Road, Brighton, Michigan 48116.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Amy Ruthig,
Planning Director

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

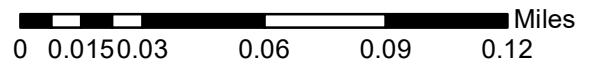
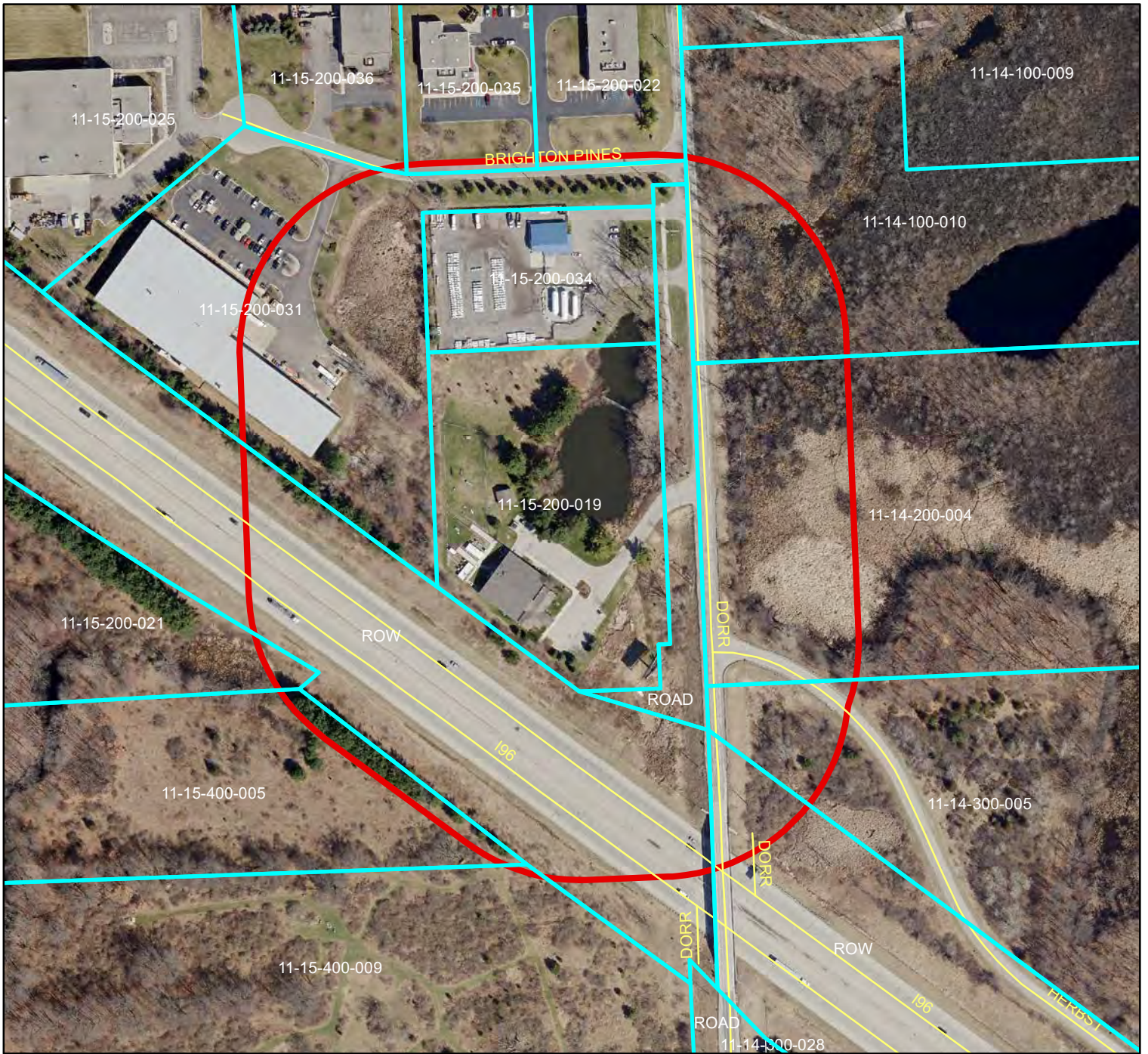
Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

300 Foot Buffer for Noticing



Special Use: Salvation Army

Address: 2464 Dorr Road

Parcel: 4711-15-200-019

Meeting Date: February 12, 2024



January 24, 2024



February 1, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	The Salvation Army – Special Land Use and Site Plan Review #2
Location:	2464 Dorr Road – west side of Dorr, north of I-96
Zoning:	IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from the Salvation Army for use of the existing building at 2464 Dorr Road (formerly occupied by the Humane Society) as a center to assist individuals with social needs (site plan dated 1/19/24).

A. Summary

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

2. Outdoor Storage (Section 8.02.02(n)):

- a. The subject site does not meet the 500-foot spacing from residential zoning. (The applicant intends to apply to the ZBA for a variance.)

3. Site Plan Review:

- a. If parking lot improvements are proposed, the applicant should be required to provide looped striping for parking spaces.
- b. Removal of the existing structures associated with the Humane Society needs to be noted on the site plan.
- c. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

B. Proposal/Process

The Salvation Army proposes to re-use the former Humane Society building as a philanthropic or non-profit center for social needs.

Table 8.02 allows shelters and rehabilitation centers for philanthropic or non-profit institutions with special land use approval in the IND. The request is also subject to the use conditions of Section 8.02.02(n).

For clarification, the proposal includes community outreach services and an accessory church (but does not entail a shelter for abused women and children or medical treatment for substance abuse).

By definition, the allowable use includes “centers operated by philanthropic or non-profit institutions that assist individuals with social needs.”

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth recommendations to the Township Board following a public hearing.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site as Industrial, which is intended for “industrial uses such as research, wholesale and warehouse activities, and light industrial operations.”

This classification does not mention centers operated by philanthropic or non-profit institutions; however, it is worth noting that the site was formerly occupied by the Humane Society (which has some similarities to the proposal).

The Plan identifies the following goal, which may be viewed as applicable to the proposal:

Accommodate a variety of Land Uses in a logical pattern and complement community goals, the surrounding Land Uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.

- 2. Compatibility.** Except for the Well Bridge development, properties along this portion of Dorr Road are generally undeveloped or contain light industrial uses.

Section 8.02.02(n), which includes a residential spacing requirement, is intended to help mitigate potential off-site impacts. As described in Paragraph D below, the spacing standard is not met; however, the site is not within 500 feet of an actual residence (but is within 500 feet of residential zoning across Dorr Road to the east and I-96 to the south).

It is worth noting that the properties across Dorr Road to the east do not appear to be developable due to environmental conditions (wetlands and surface water).

The revised submittal includes a detailed description of the services proposed as part of this use. Based upon this information, we are of the opinion that the proposal will generally be compatible with the character of the area.

- 3. Public Facilities and Services.** As a previously developed site along Dorr Road, we anticipate that necessary public facilities and services are in place.

With that being said, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

4. **Impacts.** Similar to comments under criterion #2 above, based on the information provided in the revised submittal, additional impacts to the site and surrounding area are not anticipated.
5. **Mitigation.** If additional concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions

The proposed use is subject to the use conditions of Section 8.02.02(n), as follows:

1. **The site shall not be located within five hundred (500) feet of a residential zoning district.**

The properties to the east across Dorr Road (zoned RR) and south across I-96 (zoned LDR) are located less than 500 feet from the subject site. The applicant is aware of this condition and intends to apply to the ZBA for a variance.

It is worth noting that the site is not within 500 feet of an actual residence.

E. Site Plan Review

1. **Dimensional Requirements.** No changes are proposed to the existing building. Aside from a slightly deficient side yard setback along I-96, the existing building complies with IND setback requirements.
2. **Building Design and Materials.** No exterior changes are proposed to the existing building.
3. **Pedestrian Circulation.** The revised plan depicts the 8-foot bike path required along Dorr Road.
4. **Vehicular Circulation.** The site currently has vehicular access to/from Dorr Road and no changes are proposed.

Internal drive aisles meet or exceed dimensional requirements of the Ordinance; however, the applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. **Parking.** Section 14.04 does not identify a parking calculation for the proposed use. The revised submittal includes occupancy and usage details, including the number of employees anticipated.

Based on this information, we are of the opinion that the 28 spaces provided are sufficient for the proposed use on a regular basis.

However, the submittal identifies 1 annual event with a potential attendance of 75 people. The applicant may need to make special arrangements to accommodate a group of this size.

Existing spaces meet the dimensional requirements of the Ordinance; however, spaces do not appear to provide looped striping, as currently required.

If parking lot improvements are proposed, the applicant should incorporate looped (or double) striping.

6. **Exterior Lighting.** The submittal does not identify any changes to existing site lighting; however, the revised submittal includes fixture detail sheets that depict downward directed, cut-off, LED fixtures.
7. **Landscaping.** The site contains a significant amount of mature vegetation and no changes are proposed.
8. **Waste Receptacle.** The existing waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

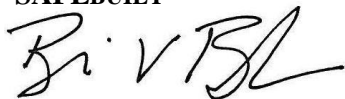
	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Non-required side yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Access through parking lot	Requirement met
Base design	9' x 15' concrete pad	20' x 25' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3-sided w/ gate Block wall 6'	Requirements met; dumpster that is not within the enclosure is to be removed

9. **Additional Considerations.** There are several structures on-site related to the former use (Humane Society).

The revised submittal materials state that these structures will be removed; however, we request that this be noted on the site plan itself.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager



February 5, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Salvation Army Special Use
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Salvation Army site plan last dated January 19, 2024. The survey was prepared by George Jerome and Co. and the Impact Assessment was prepared by ACE Civil Engineering, LLC on behalf of the Salvation Army Great Lakes Division. The development is located on the west side of Dorr Road, just north of I-96 at the former Humane Society building. The Petitioner is proposing to use the existing 9,165 square foot building for a community center and secondary church facility.

We offer the following comments for your consideration:

GENERAL

1. The Petitioner will need to obtain approval from the Brighton Area Fire Authority prior to final site plan approval.
2. The impact assessment states that the site will be serviced by existing well and septic. The Petitioner has noted that they will pursue approval from the Livingston County Health Department for the potential increased use of the existing facilities and approval should be provided to the Township for their records.
3. The existing site drive is close to the Dorr Road and I-96 overpass. The Petitioner should confirm with the Livingston County Road Commission that sight distance is adequate at the current drive location.

We recommend the petitioner address the above comments to the Township's satisfaction prior to final approval. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2024

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Salvation Army
2464 Dorr Rd
Genoa Township

Dear Amy,

The Brighton Area Fire Authority has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated October 3, 2023 with latest revisions dated Dec. 5, 2023. The project is based on the proposed renovation and change of use of an existing 9,165 square foot structure located on a 4.86-acre parcel. The re-occupancy includes change of use from an animal shelter and associated office space to a community outreach center and church facility. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition. **Previous comment regarding fire and life safety will be complied with through life safety review with the contracted architect.**

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **(Applicant acknowledges that the address will be displayed properly.)**

IFC 505.1

2. The existing access drive width is acceptable to remain as there is no proposed modification to the drive and parking area. Both sides of the drive, and curb lines behind parking shall be marked as a fire lane. Include the location of the proposed fire lane signage and a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Fire Lane signage Will comply and weight capacity of the drive be confirmed.)**

IFC D 103.6

IFC D 103.1

IFC D 102.1

IFC D 103.3

3. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere's, lighting, and large canopy trees. **(Applicant agrees to maintain overhead clearance.)**

IFC 503.2.1

4. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. *The current entry is gated and secured with a Knox padlock. Provide clarification if that is to remain.* **(Knox box and padlock are acknowledged and will be maintained on ownership transfer.)**

IFC 506.1



February 2, 2024

Page 2

Salvation Army

2464 Dorr Rd.

Site Plan Review

5. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building. **(There is a note directed toward the owner's rep regarding this note. This will be resolved during the life safety review with the architectural firm.)**

IFC 510

6. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(The owner's representative contact has been provided.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

**ACE CIVIL
ENGINEERING, LLC**

**IMPACT ASSESSMENT
FOR
SALVATION ARMY
2464 DORR ROAD
HOWELL, MI. 48843**

**SECTION 15, GENOA TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN**

Prepared for:

The Salvation Army Great Lakes Division
16130 Northland Drive
Southfield, Mi. 48075

Prepared by:

ACE Civil Engineering, LLC
5055 Lindemere Drive
Fowlerville, MI. 48836

December 11, 2023

INTRODUCTION:

The Salvation Army Great Lakes Division is currently investigating using the existing Humane Society building located at 2464 Dorr Road for a community center and secondary church facility. The property is currently zoned Industrial (IND) which requires special use approval for the proposed use. The purpose of this report is to meet the requirements of “WRITTEN IMPACT ASSESSMENT REQUIREMENTS” as identified in section 18.07 of the Genoa Township Zoning Ordinance.

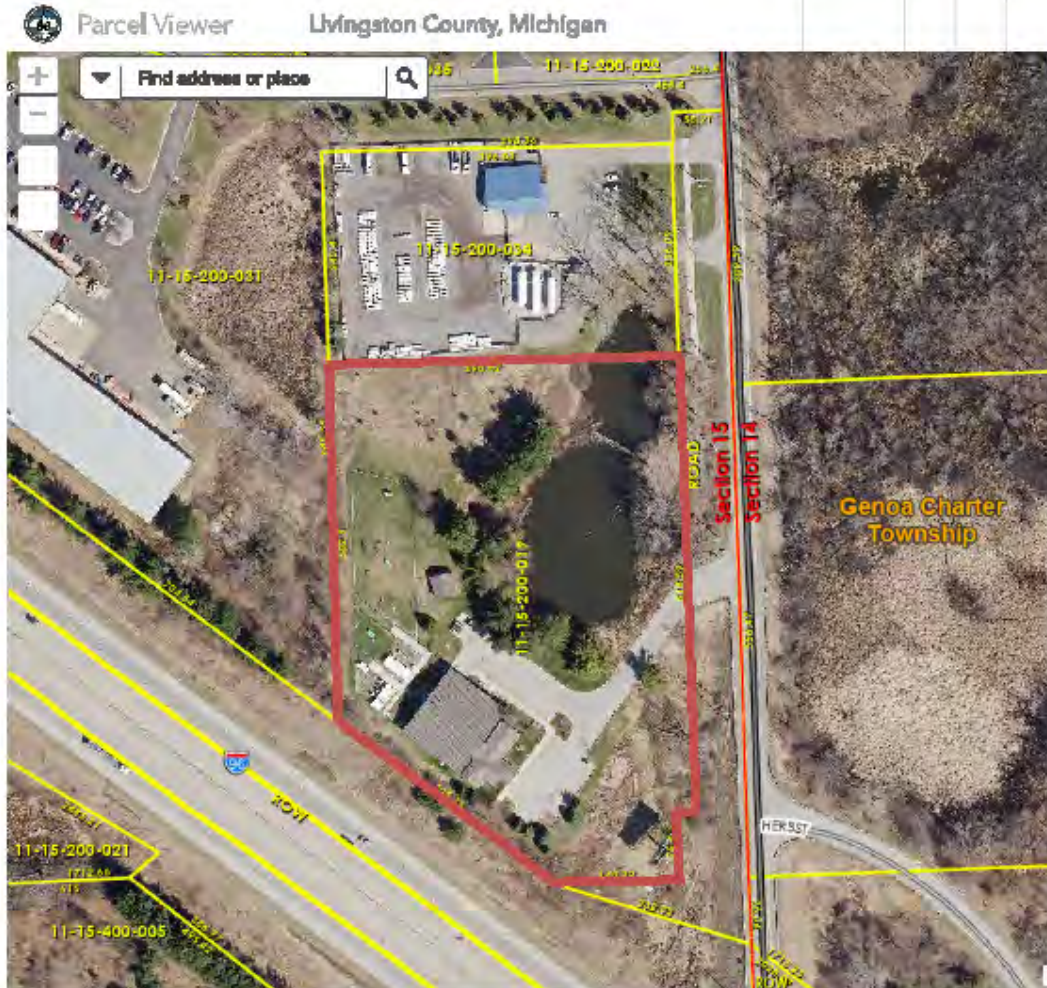
PREPARER – 18.07.01

This report was prepared by Patrick C. Keough who is the president of ACE Civil Engineering, LLC. Mr. Keough is a licensed professional engineer in the state of Michigan with over 35 years of experience in civil engineering.

LOCATION – 18.07.02

The property is located at 2464 Dorr Road, Tax I.D. 11-15-200-019. Attached is an aerial photograph taken from the Livingston County GIS Department.

SITE

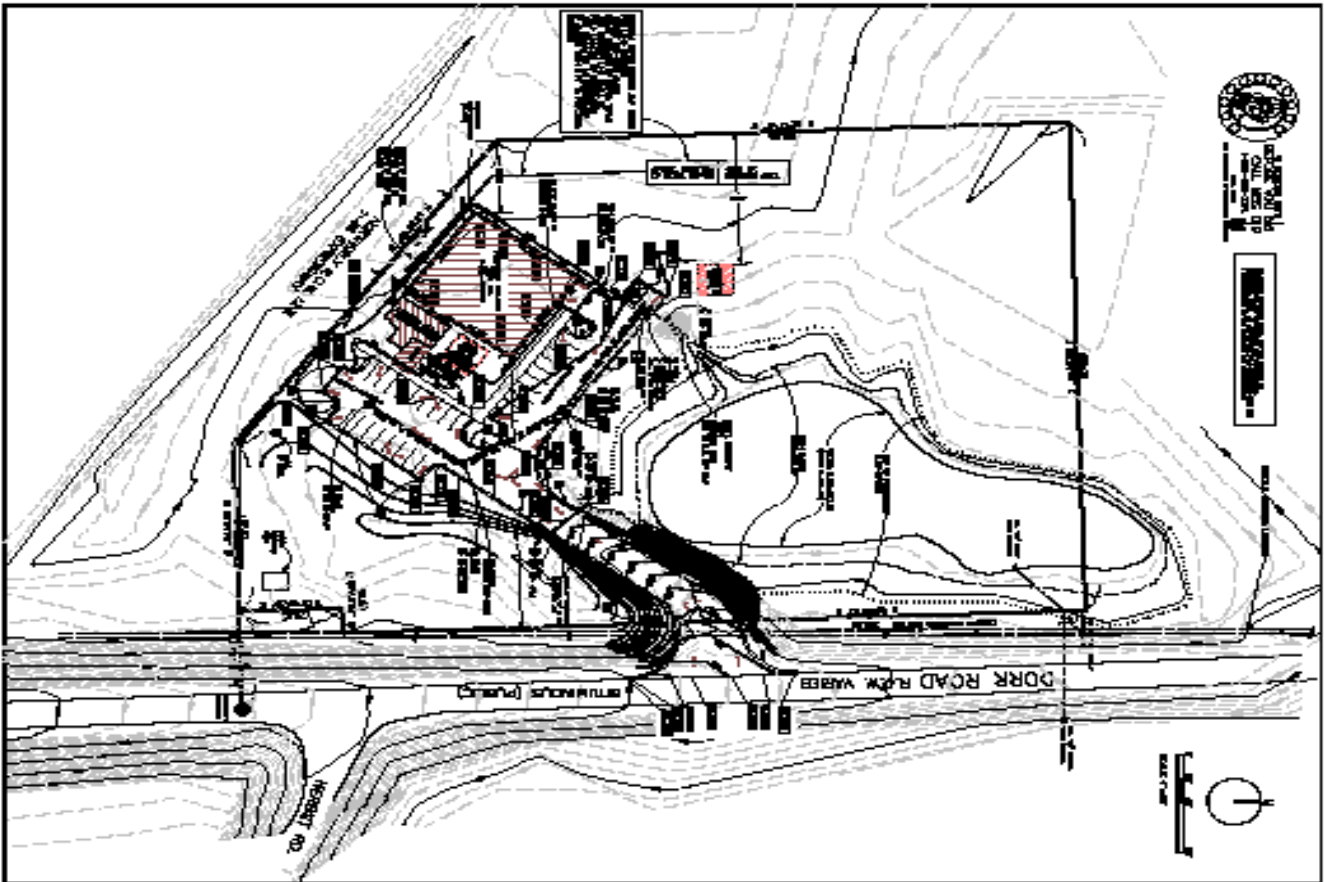


IMPACT ON NATURAL FEATURES – 18.07.03

The site consists of a 4.86 acre parcel located on Dorr Road immediately North of the I-96 expressway. The Humane Society previously constructed a 7,260 S.F. building addition back in 2001 and upgraded the drive, parking areas, landscaping, lighting and storm water facilities to meet the development standards at the time. The proposed use will not create any exterior modifications to the site and therefor will have no change in impact to the natural features. Attached is copy of the site plan prepared for the Humane Society back in 2001 that shows the natural features of the site.

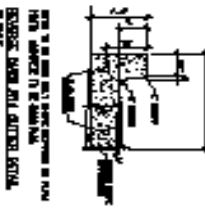
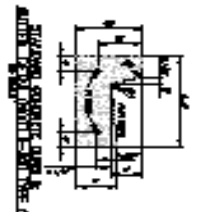
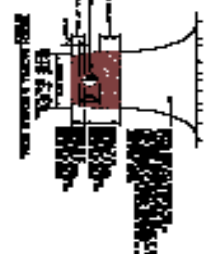


DAVID M. SMITH
Professional Engineer
License No. 10000
State of Georgia



EXPLANATION OF SYMBOLS:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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NOTES:
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10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.



STANDARD CURB & GUTTER DETAIL

NO.	DESCRIPTION
1	CONCRETE CURB & GUTTER DETAIL
2	CONCRETE CURB & GUTTER DETAIL
3	CONCRETE CURB & GUTTER DETAIL
4	CONCRETE CURB & GUTTER DETAIL
5	CONCRETE CURB & GUTTER DETAIL
6	CONCRETE CURB & GUTTER DETAIL
7	CONCRETE CURB & GUTTER DETAIL
8	CONCRETE CURB & GUTTER DETAIL
9	CONCRETE CURB & GUTTER DETAIL
10	CONCRETE CURB & GUTTER DETAIL

ADVANTAGE
CIVIL
ENGINEERING

HUMANE SOCIETY
OF LIVINGSTON COUNTY
GRADING & UTILITY PLAN

CLIENT:
BRADY Construction Company
2000 Highway 101, Brighton, SC 29617
(803) 784-4444

NO.	DESCRIPTION
1	CONCRETE CURB & GUTTER DETAIL
2	CONCRETE CURB & GUTTER DETAIL
3	CONCRETE CURB & GUTTER DETAIL
4	CONCRETE CURB & GUTTER DETAIL
5	CONCRETE CURB & GUTTER DETAIL
6	CONCRETE CURB & GUTTER DETAIL
7	CONCRETE CURB & GUTTER DETAIL
8	CONCRETE CURB & GUTTER DETAIL
9	CONCRETE CURB & GUTTER DETAIL
10	CONCRETE CURB & GUTTER DETAIL

IMPACT ON STORM WATER MANAGEMENT – 18.07.04

The property was previously developed using an underground storm collection system and detention facility meeting the requirements of the Livingston County Drain Commission. Use of the facility by the Salvation Army will not create any increased storm water runoff from the site. As a result there will be no impact to the storm water management facilities as part of the proposed use change.

IMPACT ON SURROUNDING LANDS USES – 18.07.05

The proposed use will have minimal impact on the surrounding land uses. Normal social service activities such as Food Support, Shelter Rental Assistance and Clothing Assistance generally serve approximately 50 families per week with hours of operation Monday - Friday 8:30am – 12:00pm and 1:00pm – 4:30pm.

Special social service activities such as Character Building Programs for Youth, Teen Nights, Music Programs, etc. are generally held during weekday evenings from 6:00pm – 8:00pm. These activities are less frequent in nature and generally create attendances ranging from 25 – 50 people.

Church worship activities such as Sunday school, Morning Worship Service, Bible Study, etc.. generally take place on Sundays between 10:00am and 12:00pm. Attendance for these activities generally range from 10 – 75 people.

No increase in light, dust or noise should be generated from the special use activity. Exterior lighting will remain the same as it currently exist. The roadway entrance and parking facilities are currently paved and no new construction is planned. As a result dust from the site should be unchanged.

There is no obnoxious noise or pollution that is anticipated from the site. Generally the site will be utilized by workers and families using passenger cars with minimal truck deliveries expected. Operation logistics generally spread the uses out over the day and as a result create minimal peak impacts on surrounding uses.

IMPACT ON PUBLIC FACILITIES AND SERVICES – 18.07.06

The facility is expected to employ approximately 6-8 full time employees and provide community social services to approximately 30-35 families per week. The social community services will generally be provided during the Monday to Friday work hours for approximately 6-7 families per day. There is no anticipated increase impact on the public schools or recreation facilities in the area. Also the impact on police protection, fire protection and emergency services will be minimal and generally be the consistent with the previous use at the facility.

IMPACT ON PUBLIC UTILITIES – 18.07.07

The site will be serviced by the existing well & septic as approved by the Livingston County Health Department in 1998 and will cause no increase demand on public utilities. A storm water system was previously designed and built to control storm on the site and restrict runoff from the site to an agricultural runoff rate. There are no exterior hard surface improvements proposed as part of the special use and therefor there will not be an increase in storm water runoff from the site.

STORAGE AND HANDLING OF HAZARDOUS MATERIAL – 18.07.08

No Hazardous materials will be used, stored or disposed of on the subject site.

TRAFFIC IMPACT STUDY – 18.07.09

From the ITE Trip Generation Manual, it is expected a maximum of 15 trips/day/acre will be generated. With a 4.86 acre site, the total expected trips per day is 72.9 trips/day (15 x 4.86) with a trip being defined as a one-way event (i.e. 72.9 trips per day is 37 trips in and 37 trips out). The peak hour trips can be estimated at approximately 15% of the average daily trips which equals 6 peak hour trips (37 trips/day x 0.15 = 6 peak hour trips). Based on an evaluation of similar facilities it is likely that traffic will consist of mostly passenger cars and light trucks with the occasional cube van type vehicle for deliveries.

Genoa Township requires a traffic impact study to be performed on any facility generating more than 100 peak hour trips in or out. The estimated peak hour trips for the proposed use is 6 and is less than the 100 trip threshold. As a result a detailed traffic impact study is not necessary.

HISTORIC IMPACT – 18.07.10

No historic structures exist on this site

SPECIAL PROVISIONS – 18.07.11

The preparer is not aware of any deed restrictions or protective covenants on this site.

GENERAL SOURCES – 18.07.12

Genoa Township Zoning Ordinances

ITE Trip Generation Manual

Soil Survey of Livingston County, Michigan”, Soil Conservation service
U.S.D.A.

Livingston County Drain Commission Plat Development Standards

Impact Assessment for Livingston County Humane Society dated October 1,
2001, revised 10-30-2001 as prepared by Advantage Civil Engineering, Inc...



SCHEDULE OF SERVICES

Services provided at The Salvation Army of Livingston County

Corps Community Center

Social Services: Hours are Monday - Friday from 9:00am - 12:00pm, 1:00pm - 4:00pm. Most services are by appointment only.

- **Food** - We will have a client choice food pantry where people will be interviewed and provided pantry food for meals. We serve about 15 families a week.
- **Utilities/ Rental Assistance** - Clients come in and are interviewed and are provided funds for rental assistance or utility assistance. We serve about 20 families a week.
- **Shelter** - Clients come in and are interviewed and are assisted with emergency housing in a hotel. We serve about 15 families a week.
- **Pathway of Hope** - This is a program which we try to break generational poverty. It is more extreme casework which will take place at our facility but also home visits. We will serve a total of 5 - 10 a month.
- **Warming/Cooling Center**- Members of our unhoused community or people in need of a warm or cool place to have a cup of coffee and something to eat, take a shower, Charge devices. We will serve around 5 people a week.
- **Clothing/Household Items voucher** - Clients can receive vouchers for The Salvation Army Thrift Store in Brighton for clothing and household items. We serve about 5 families a week.
- **Feeding Programs:** Summer Lunch Bunch is a program we provide in many locations that is directed by government programs. All the administration and food delivery will be done through our building. There are no clients served at our location.

Social Services Holiday Programs:

- **Christmas Food and Gifts** - We provide a Thanksgiving and Christmas food basket and toys to those who apply for assistance. Applications are taken during the months of September, October, and November. Over a Three-day period, families come and pick up their food baskets and choose toys for their children in a toy shop. We have appointed times the families come so there should be no more than 4 families every 15 minutes. The hours are usually 9AM to 7PM. We also administer the provisions of Thanksgiving food baskets for the county.
- **Coats/Boots/Snow Pants** – During the months of October through March we provide winter items which families can come during Social Services hours to choose for their family. We serve about 10 families a week. About 5 are drop in.

Livingston County Corps

503 Lake Street

Howell, Michigan 48843

P:(517)546-4750

F:(517)546-1983

www.SalvationArmyLivingston.org

Robert and Stephanie Leach

Corps Administrator

Lyndon Buckingham, *General*

Evie Diaz, *Territorial Commander*

Steven J. Merritt, *Divisional Commander*

“...THERE IS NO REWARD EQUAL TO THAT OF DOING THE MOST GOOD TO THE MOST PEOPLE IN THE MOST NEED.” — EVANGELINE BOOTH

Community Programs:

- **Character Building Programs for youth** - The Army has five programs based on age that serve youth. We educate them in many topics like camping skills, community service, personal health and safety, music. The ages are 3 years old through 12. This program is on Wednesday evening from 5:30 - 7:00pm. Total number of youth would be 25.
- **Teen Nights** - This is a program for youth ages 13 - 18, It provides educational, service, and recreational activities. We meet Wednesday evening from 5:30 - 7:00pm. Total number of youth attending would be 25.
- **Music Programs** - This is a program for grades 6 - 12. We would have music instruction for instrument and vocal. This would be on Wednesdays from 4:30 - 5:30 pm. No more than 20 students
- **Before and After School Care** – We would provide a license before and afterschool care. We would provide a fun safe place with activities including homework time, sport and recreational activity, Computer lab, snacks. Attendance would be Max 50 Children
- **Older Adults** - We would make our building available to other senior services agencies for programs aimed at seniors during the day. Either educational or recreational. These programs would take place three times a week. Attendance would be 25 at each meeting.
- **Family Activities** - Once a month during weekends and during the week we will have a family activity like free movie, crafters day or recreation night. These activities would be in the evening or Saturday afternoon. Approximately 50 in attendance.
- **Women's Activities** - Once a week is a women's program which follows a fourfold program each week of either education, service, fellowship (fun) and worship. Women ages 14-up. We will meet on Tuesdays from 10:00am – 11:00am. We will also meet once a month on a Saturday for breakfast and fellowship. Attendance would be 25.
- **Men's Activities** – We will meet one Saturday a month for Breakfast and Fellowship. Attendance would be maximum 25 people.
- **Volunteer Opportunities and Community Service:** We have volunteer opportunities during Social Services hours with about 5 volunteers. At special events a few times a year we have 10 - 15 volunteers.
- **Rentals** - We would make our facility available for use to other agencies for meetings, programs, dinners, seminars, or concerts. Rentals would be various times and days if it does not conflict with social services or worship programs. There would be no more than 96 people in attendance.
- **Advisory Board Meeting** – First Wednesday of the month from 7:30 - 8:30am. This is our Board consisting of community leaders to help guide The Salvation Army in its programming, property, and finances. Attendance no more than 25.

Worship Activities:

- **Sunday School** - Sundays at 10:00am is Christian education classes for all ages. Would not have more than 75 in attendance. (At this time our attendance is 5 - 15)
- **Morning Worship Service** - Sundays at 11:00am is our church service program. Would not have more than 75 in attendance. (At this time our attendance is 10 - 25)
- **Potluck Dinner** - The 5th Sundays of the year. Dinner is at 12:00pm. Would not be more than 75 in attendance. (At this time our attendance is 15- 25)
- **Bible Study** - Every Wednesday from 2:30 - 4:30pm we meet to study the bible. Would not be more than 25 in attendance. (At this time our attendance is 8 - 10)
- **Leadership training** - During the weekends during the morning and afternoon times. No designated dates currently. Just as needed.

Where I Call Church



Sunday School 10am
Holiness Meeting (Sunday Service) 11am

Women age 16 and older

C.A.F.E

TUESDAYS AT 10AM

for

*a time of fellowship, a time of conversation, a time of creativity,
a time of relaxation, a time of outreach*

and

of coarse coffee (or tea if that's your preference)

at our Coffee And Fellowship Embrace women's group.

Women age 16 and older

Women's Breakfast

THIRD SATURDAYS AT 9:30AM

Men age 16 and older

Breakfast with the Guys

SECOND SATURDAYS AT 9:30AM

Men & Women age 18 and older

Adult Bible Study

Wednesdays at 2:30pm

A chance to
fellowship and dive into
God's Word
together

September—November & January—May

Youth Night

Grades K—12 & Young Adults
Nursery age welcome with a sibling in program

Wednesdays
5:30pm—7pm

Program includes:

Life building Skills, Games & Crafts,
Bible Study, Field Trips & More!

Hope to see you there!



We
Are Ready To
Listen,
Pray
And
Serve

Church Ministry

Sunday:

Sunday School 10am
Holiness Meeting 11am
With Children's Church and Nursery

Ministry Opportunities

From nursery age and up there are different opportunities throughout the week. Don't hesitate to call or stop in to discover ways you can join in fellowship and dive into the bible each week.

Visitations

Visit with the local nursing homes to offer gifts, prayer and fellowship.

*If you're in need of prayer or counsel
we are happy to help.*

Volunteer Opportunities and Community Service

- Fundraising Committee Members
- Program and Event Volunteers
- Toy Shop & Holiday Assistance Volunteers
- Office Volunteers
- Service Hours available

For more information

Please Call (517)546-4750



The Salvation Army Mission Statement

*The Salvation Army, an international movement,
is an evangelical part of the universal Christian Church.
Its message is based on the Bible. Its ministry is
motivated by the love of God. Its mission is to preach the
gospel of Jesus Christ and to meet human needs in
His name without discrimination.*



The Salvation Army
Of Livingston County
Church and Social Service Office



Please check out our website for up to date information

centralusa.salvationarmy.org/livingstoncounty/
@SalvationArmyLivingston

(517)546-4750

503 Lake St. Howell MI 48843

Social Service Office

We believe that a stable house is of utmost importance to the long-term success of families. Also that Housing, Utility and Food costs go hand in hand. The Salvation Army of Livingston County is here to help find solutions to make those expenses more affordable for families.

Whatever the need, The Salvation Army wants to be there for you.

Food Assistance

Families experiencing a shortage in food and are struggling to make ends meet for the month may visit our pantry or schedule a food delivery every 30 days.

All Pantry and Deliveries are by Appointment

Emergency Boxes are available onsite (no appointment needed)

Emergency Voucher Assistance

Emergency Clothing Vouchers

- Families who are in need of clothing due to the loss in a fire or unexpected emergency in the household.
- Vouchers include items such as shoes, ties, undergarments and belts

Emergency Household Vouchers

- Families who recently obtained new residency within the last 30 days of signing their lease
- Households who may have lost items due to a fire
- Vouchers include items such as dishes, bedding, linen and small appliances

All Vouchers are by Appointment.

All Vouchers will be redeemed at
The Salvation Army Thrift Store located in Brighton.

Housing Assistance

To help provide or maintain stable housing we have developed a variety of housing assistance programs which includes assistance with the following:

- First Months Rent
- Security Deposit
- Eviction

Temporary Shelter

For individuals and households that find themselves without housing, we offer temporary shelter through local hotels.

- Overnight Hotline (248) 346-1017

Utility Assistance

In our efforts to help people keep the lights and heat on year round we offer assistance in the following ways:

- Emergency Utility Assistance
- Enrollment into Cost Effective Programs
- Energy Saving Tips

Pathway of Hope

We believe that every family deserves the basics for human survival. Through our initiative, we help families break away from the cycle of generational poverty and equip them with the tools and resources they need to reach their goals for a better future. When families in Livingston County struggle to overcome challenges like unemployment, lack of education, and unstable housing, the Pathway of Hope program can help them take action to meet their needs and achieve their full potential. Our staff is prepared to support families in need on a path toward stability and self-sufficiency for more successful, fulfilling lives.

Events / Programs

Summer Lunch Bunch

A program that serves households who are finding it difficult to provide the extra lunch time meal when school is not in session by providing meals, fun activities, and a pantry pack.

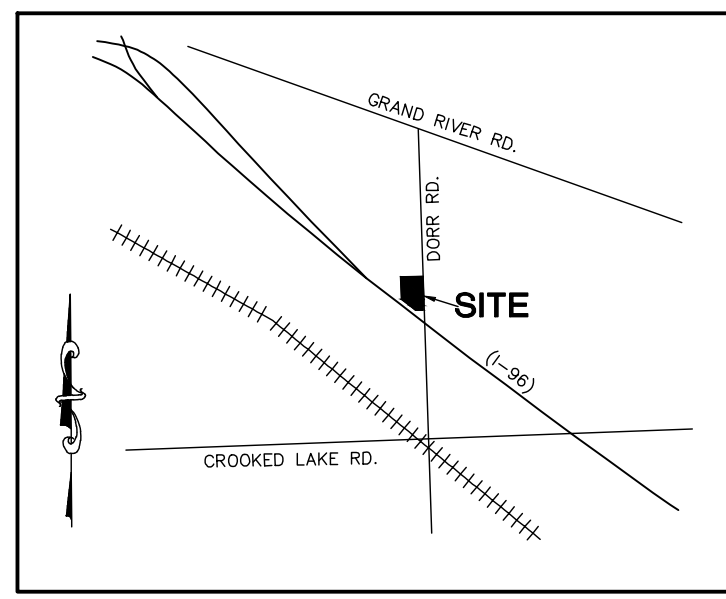
Holiday Assistance

During the Thanksgiving and Christmas seasons we offer assistance to families in need by providing gifts and food as well as winter gear.

For more information about our services

Please Call (517)546-4750





LOCATION MAP
NOT TO SCALE

LEGEND

- R. RECORD
- M. MEASURED
- C. CALCULATED
- F.I.R. FOUND IRON ROD
- H. HEARNE BROTHERS
- F.C.M. FOUND CONCRETE MONUMENT
- S.I.R. SET IRON ROD
- S.P.K. SET P.K. NAIL
- F.P.K. FOUND P.K. NAIL
- T/C TOP OF CURB
- G. GUTTER
- FF FINISHED FLOOR
- T/W TOP OF WALL
- T/P TOP OF PIPE
- C.B. CATCH BASIN
- U.P. UTILITY POLE
- M.H. MANHOLE
- C.O. CLEAN OUT
- D.S. DOWNSPOUT
- L.P. LIGHT POLE
- L.L. LANDSCAPE LIGHT
- GW GATE VALVE AND WELL
- WSV WATER STOP VALVE
- HYD. FIRE HYDRANT
- BOL. BOLLARD
- M.W. MONITORING WELL
- SIGN
- HP NUMBER PARKING SPACES
- HC HANDICAP PARKING
- G.W. GUY WIRE
- X FENCE
- SC SANITARY/COMBINED SEWER
- SS STORM SEWER
- WM WATERMAIN
- OHW OVERHEAD UTILITY LINES

ZONING INFORMATION

Zoned IND - Industrial District

FLOOD NOTE

Property is located in Zone X on FEMA Maps, No. 26093C0330D Effective Date September 17, 2008

SCHEDULE B EXCEPTIONS

- (9) Oil and Gas Lease as recorded in Liber 966, page 4, Livingston County Records, and mesne assignments thereof. Item is blanket in nature and therefore not plottable.
- (10) Rights of others in and to the 12 foot wide Private Easement for driveway and public utility access from Dorr Road to a free standing highway sign and including an area around the sign for maintenance crossing subject property, as reserved in instrument recorded in Liber 3475, page 805, Livingston County Records. Item is plotted hereon.

LEGAL DESCRIPTION

Liberty Title Agency, Commitment No: LIB188712, Dated November 8, 2023 Revision No. 4

Land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:

Part of the Southeast 1/4 of the Northeast 1/4 of Section 15, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Beginning at a point on the East-West 1/4 line of said Section 15, distant South 88 degrees 24 minutes 36 seconds West, 80.0 feet from the East 1/4 corner of said Section 15; thence South 88 degrees 24 minutes 36 seconds West along said East-West 1/4 line 139.42 feet; thence North 53 degrees 28 minutes 50 seconds West along the Northerly Right of Way line of I-96 Expressway, 308.41 feet; thence North 02 degrees 13 minutes 10 seconds West 399.65 feet; thence North 88 degrees 24 minutes 36 seconds East, 400.0 feet; thence South 02 degrees 13 minutes 10 seconds East along the Westerly Right of Way line of Dorr Road, 517.69 feet; thence South 87 degrees 46 minutes 50 seconds West along said Westerly Right of Way line 20.0 feet; thence South 02 degrees 13 minutes 10 seconds East along said Westerly Right of Way line, 72.09 feet to the point of beginning, part of which is under waters of a pond.

SUBJECT TO -

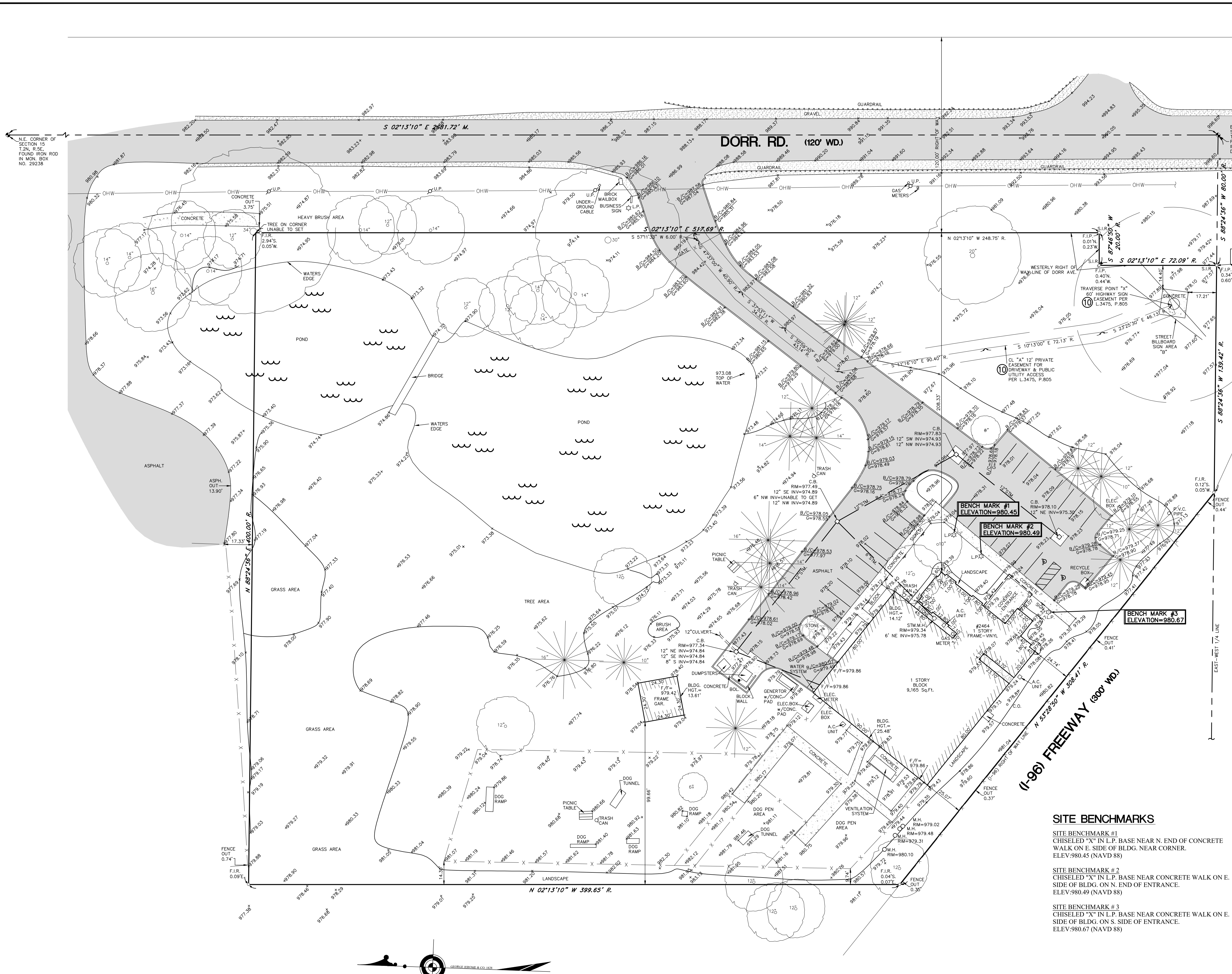
A 12 foot wide private easement for driveway and public utility for access from Dorr Road to a free standing highway sign ("A") and including an area around the sign for maintenance ("B") described as follows:

"A" the centerline of the 12 foot wide access easement is described as: Beginning at a point on the Westerly Right of Way line of Dorr Road, which is also the Easterly property line of above described parcel, distant South 88 degrees 24 minutes 36 seconds West along the East and West 1/4 line of said Section 15, 80.00 feet and along the following (3) courses on said Westerly Right of Way line of Dorr Road, North 02 degrees 13 minutes 10 seconds West, 72.09 feet; thence North 87 degrees 46 minutes 50 seconds East, 20.0 feet and North 02 degrees 13 minutes 10 seconds West 248.75 feet from the East 1/4 corner of said Section 15; thence South 57 degrees 11 minutes 33 seconds West 6.00 feet; thence South 47 degrees 37 minutes 00 seconds West 40.90 feet; thence South 37 degrees 53 minutes 11 seconds West 34.33 feet; thence South 35 degrees 59 minutes 30 seconds East 43.13 feet; thence South 11 degrees 16 minutes 10 seconds East, 90.40 feet; thence South 10 degrees 13 minutes 00 seconds East 72.13 feet; thence South 23 degrees 25 minutes 30 seconds East 46.13 feet to a point of ending (traverse point X), said point being the center of the support pole for an existing free standing highway sign, "B". The area around the sign described as being the area within the above described 4.85 acre parcel, that lies within a circle with a radius of 60.00 feet, the center point of which is the center of the support pole of the existing free standing highway sign, described as Traverse Point "X" in the easement description "A" immediately above in which the location of said Traverse Point "X" is indicated.

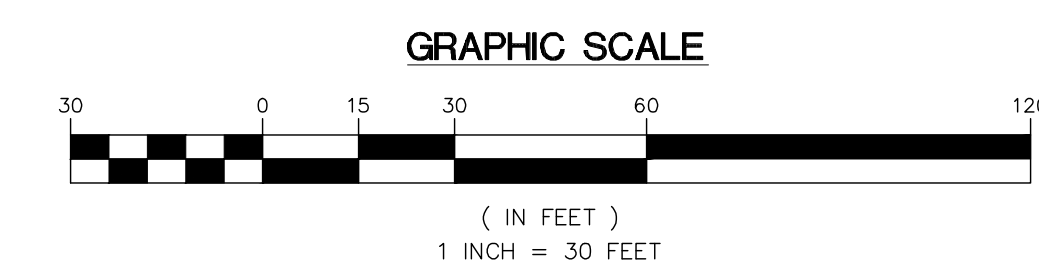
BOUNDARY CERTIFICATION

George Jerome & Co. hereby certifies to The Salvation Army that it has surveyed the above described property, description furnished by you, for the purpose of establishing outline boundaries, and that the boundaries and corners of said property are as indicated herein.

George G. Jerome Jr., P.S. P.E.
46672



UTILITY NOTE:
ALL PUBLIC UTILITY LINES, AS SHOWN HEREON, ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. OTHER UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF SURVEY. NO GUARANTEE CAN BE GIVEN BY US AS TO THE ACCURACY OR COMPLETENESS THEREOF.



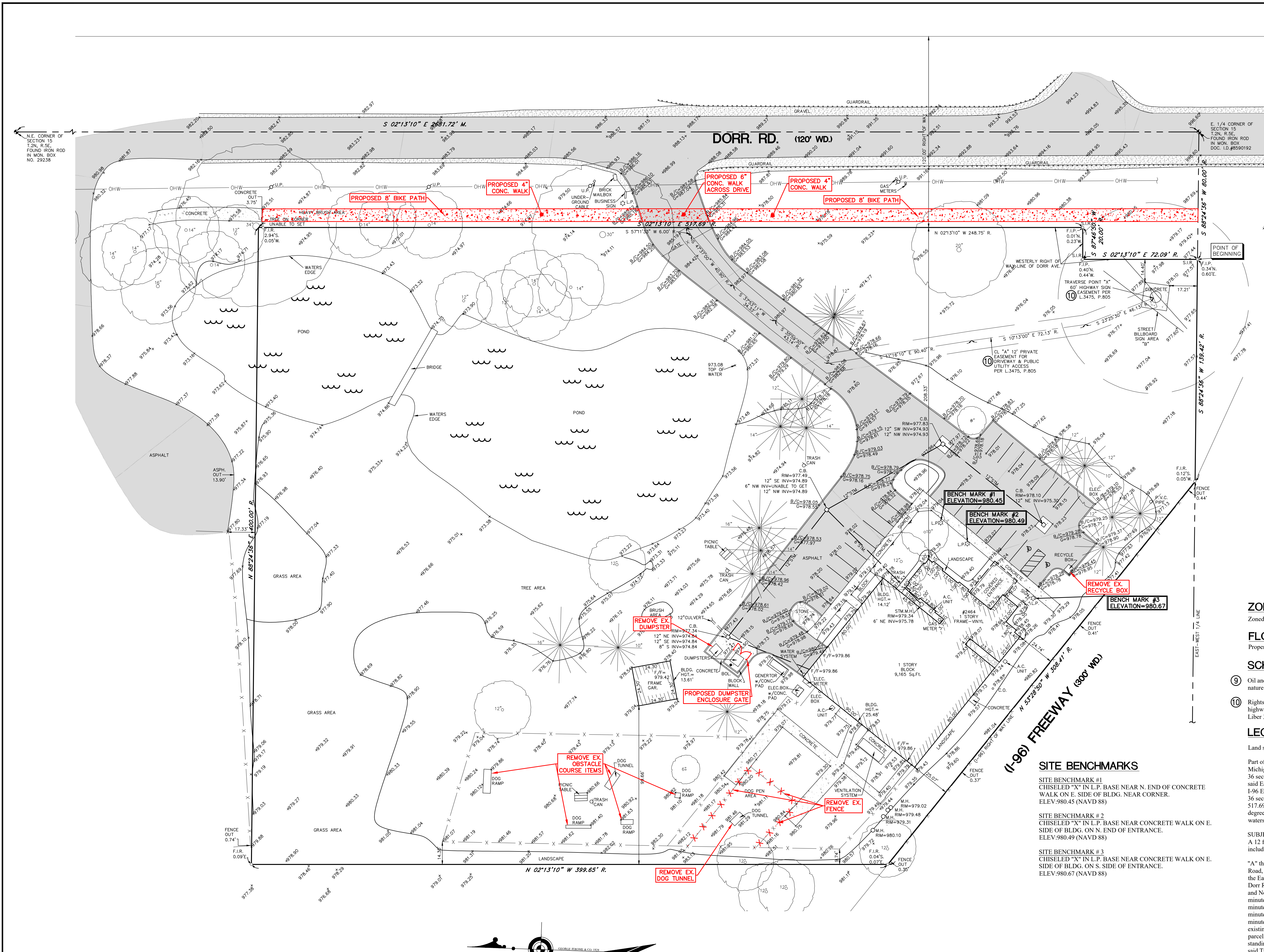
BOUNDARY & TOPOGRAPHIC SURVEY
2464 DORR RD., TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN

DATE:	BY:	REVISIONS:	DATE:	BY:	REVISIONS:
11-13-23	N.L.R.	ADDED TIES TO RIGHT OF WAY			
12-05-23	N.L.R.	REVISED PER NEW TITLE COMMITMENT			

SURVEY BY: R.S./S.D.
DRAWN BY: T.M.M.
CHECKED BY: G.J.J.R.
APPROVED BY: G.J.J.R.

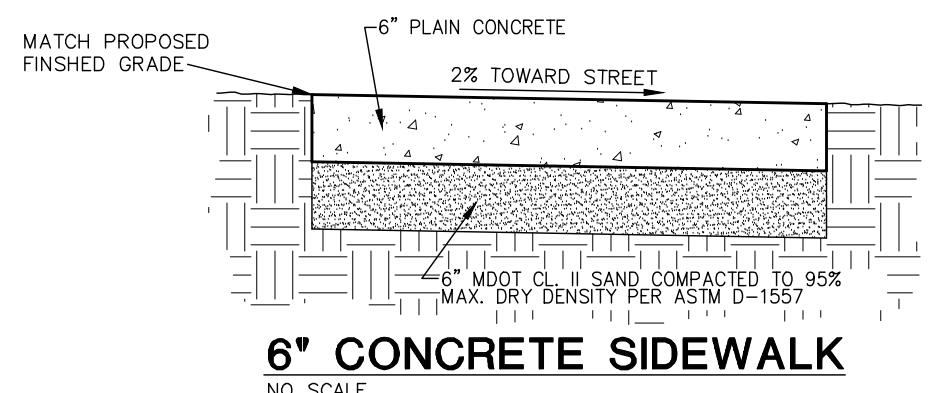
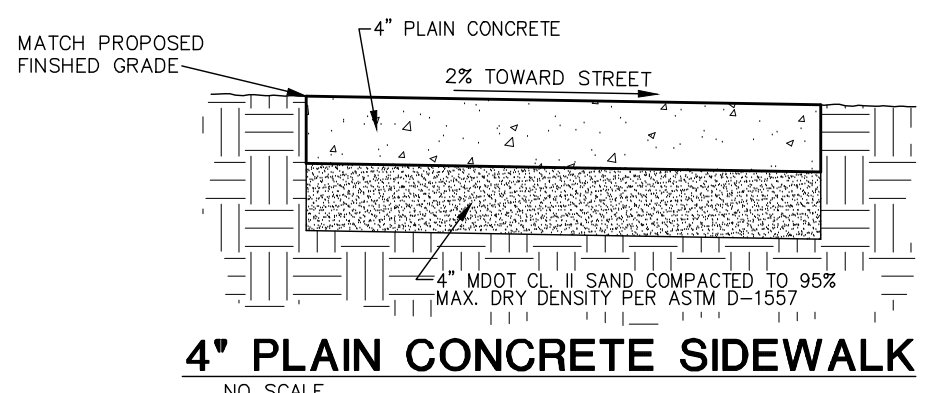
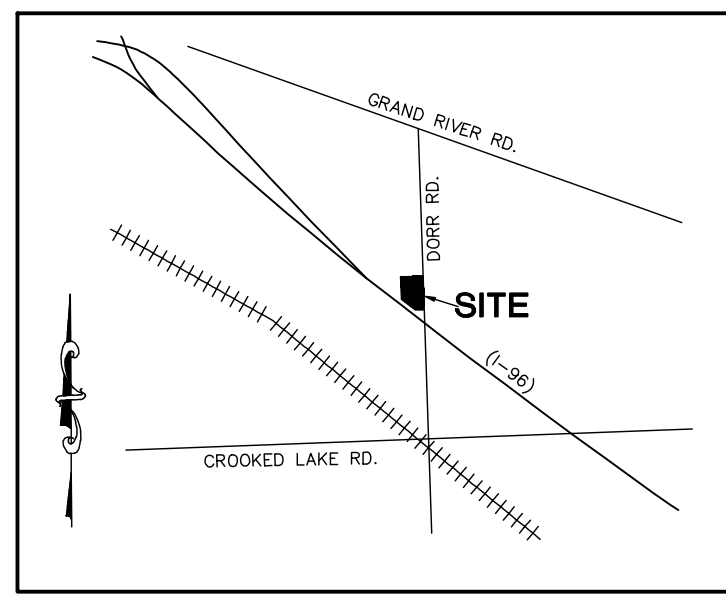
GEORGE J. JEROME & CO.
CONSULTING MUNICIPAL & CIVIL ENGINEERS
28304 HAYES ROSEVILLE, MI 48066
www.GeorgeJerome.com
SCALE 1"=30'
FOR SALVATION ARMY
DATE 10-03-23

ORDER NO. 26-608
FIELD BOOK 1436, P.73
DRAWING FILE NO.



LEGEND

- R. RECORD
- M. MEASURED
- C. CALCULATED
- F.I.R. FOUND IRON ROD
- H. HEARNE BROTHERS
- F.C.M. FOUND CONCRETE MONUMENT
- S.I.R. SET IRON ROD
- S.P.K. SET P.K. NAIL
- F.P.K. FOUND P.K. NAIL
- T/C TOP OF CURB
- G. GUTTER
- FF FINISHED FLOOR
- T/W TOP OF WALL
- T/P TOP OF PIPE
- D.C.B. CATCH BASIN
- U.P. UTILITY POLE
- O.M.H. MANHOLE
- C.O. CLEAN OUT
- D.S. DOWNSPOUT
- L.P. LIGHT POLE
- L.L. LANDSCAPE LIGHT
- G.V. GATE VALVE AND WELL
- W.S.V. WATER STOP VALVE
- F.H. FIRE HYDRANT
- BOL. BOLLARD
- M.W. MONITORING WELL
- S. SIGN
- N.P.S. NUMBER PARKING SPACES
- H.P. HANDICAP PARKING
- G.W. GUY WIRE
- X. FENCE
- S.S. SANITARY/COMBINED SEWER
- S.S. STORM SEWER
- W.M. WATERMAIN
- O.H.W. OVERHEAD UTILITY LINES



ZONING INFORMATION
Zoned IND - Industrial District

FLOOD NOTE
Property is located in Zone X on FEMA Maps, No. 26093C0330D Effective Date September 17, 2008

SCHEDULE B EXCEPTIONS

- (9) Oil and Gas Lease as recorded in Liber 966, page 4, Livingston County Records, and mesne assignments thereof. Item is blanket in nature and therefore not plottable.
- (10) Rights of others in and to the 12 foot wide Private Easement for driveway and public utility access from Dorr Road to a free standing highway sign and including an area around the sign for maintenance crossing subject property, as reserved in instrument recorded in Liber 3475, page 805, Livingston County Records. Item is plotted hereon.

LEGAL DESCRIPTION Liberty Title Agency, Commitment No: LIB188712, Dated November 8, 2023 Revision No. 4

Land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:
Part of the Southeast 1/4 of the Northeast 1/4 of Section 15, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Beginning at a point on the East-West 1/4 line of said Section 15, distant South 88 degrees 24 minutes 36 seconds West, 80.0 feet from the East 1/4 corner of said Section 15; thence South 88 degrees 24 minutes 36 seconds West along said East-West 1/4 line 139.42 feet; thence North 53 degrees 28 minutes 50 seconds West along the Northerly Right of Way line of I-96 Expressway, 308.41 feet; thence North 02 degrees 13 minutes 10 seconds East along the Westerly Right of Way line of Dorr Road, 517.69 feet; thence South 87 degrees 46 minutes 50 seconds West along said Westerly Right of Way line 20.0 feet; thence South 02 degrees 13 minutes 10 seconds East along said Westerly Right of Way line, 72.09 feet to the point of beginning, part of which is under waters of a pond.

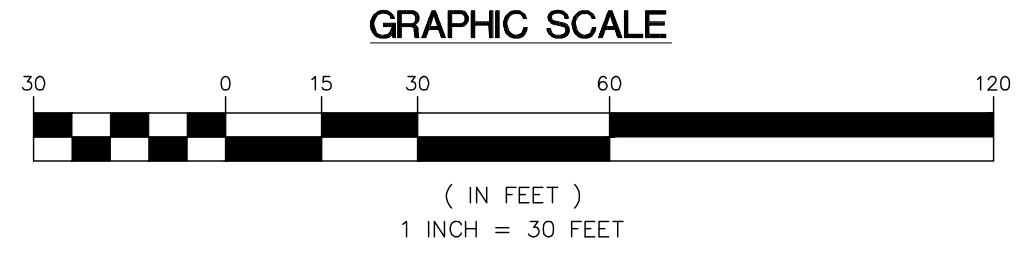
SUBJECT TO
A 12 foot wide private easement for driveway and public utility for access from Dorr Road to a free standing highway sign ("A") and including an area around the sign for maintenance ("B") described as follows:

"A" the centerline of the 12 foot wide access easement is described as: Beginning at a point on the Westerly Right of Way line of Dorr Road, which is also the Easterly property line of above described parcel, distant South 88 degrees 24 minutes 36 seconds West along the East and West 1/4 line of said Section 15, 80.00 feet and along the following (3) courses on said Westerly Right of Way line of Dorr Road, North 02 degrees 13 minutes 10 seconds West, 72.09 feet; thence North 87 degrees 46 minutes 50 seconds East, 20.0 feet and North 02 degrees 13 minutes 10 seconds West 248.75 feet from the East 1/4 corner of said Section 15; thence South 57 degrees 11 minutes 33 seconds West 60.00 feet; thence South 47 degrees 37 minutes 00 seconds West 40.90 feet; thence South 37 degrees 53 minutes 11 seconds West 34.33 feet; thence South 35 degrees 59 minutes 30 seconds East 43.14 feet; thence South 11 degrees 16 minutes 10 seconds East, 90.40 feet; thence South 10 degrees 13 minutes 00 seconds East 72.13 feet; thence South 23 degrees 25 minutes 30 seconds East 46.13 feet to a point of ending (traverse point X), said point being the center of the support pole for an existing free standing highway sign, "B". The area around the sign described as being the area within the above described 4.85 acre parcel, that lies within a circle with a radius of 60.00 feet, the center point of which is the center of the support pole of the existing free standing highway sign, described as Traverse Point "X" in the easement description "A" immediately above in which the location of said Traverse Point "X" is indicated.

BOUNDARY CERTIFICATION
George Jerome & Co. hereby certifies to The Salvation Army that it has surveyed the above described property, description furnished by you, for the purpose of establishing outline boundaries, and that the boundaries and corners of said property are as indicated herein.

George G. Jerome Jr., P.S. P.E.
46672

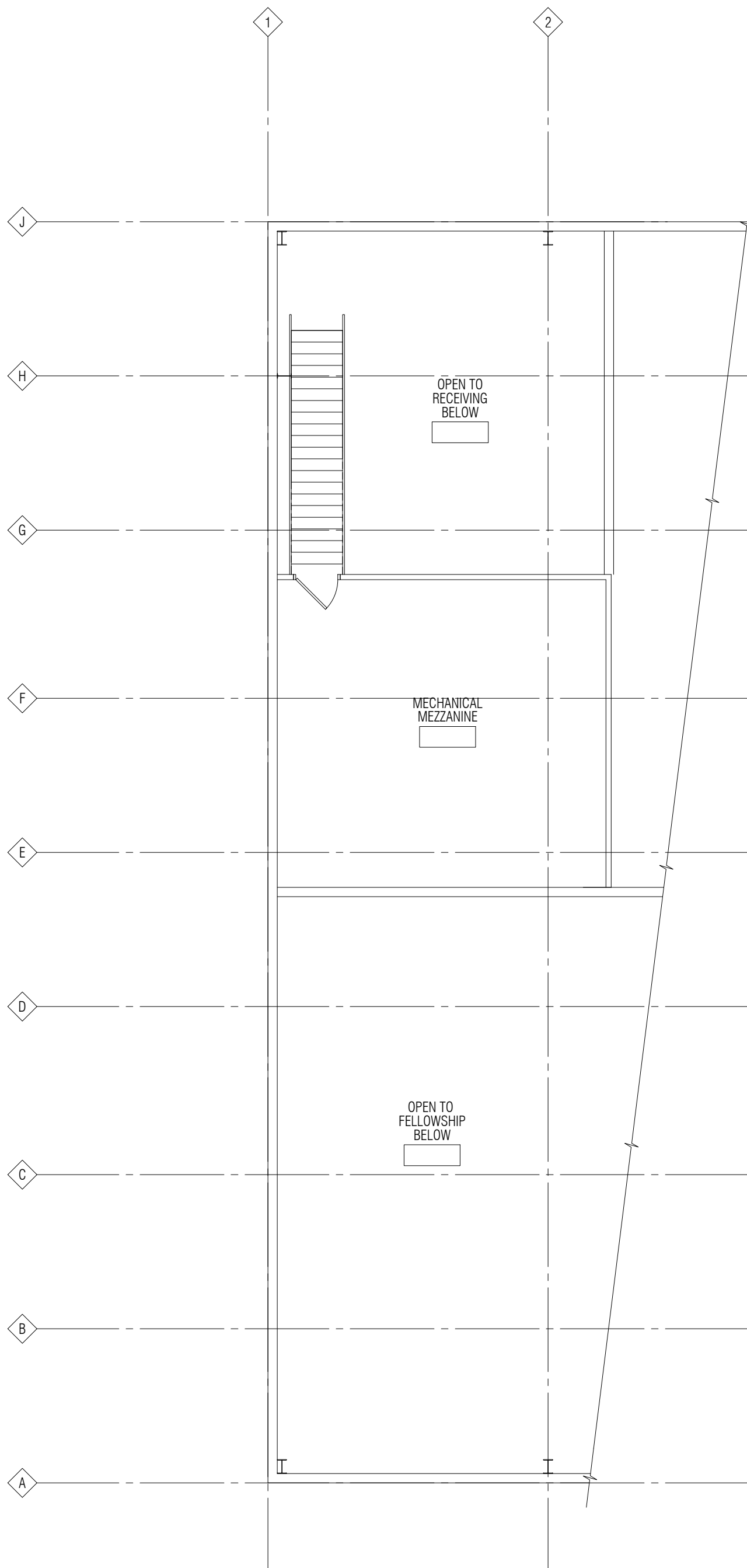
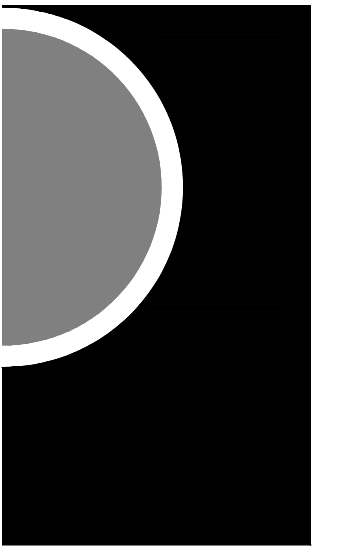
UTILITY NOTE:
ALL PUBLIC UTILITY LINES, AS SHOWN HEREON, ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. OTHER UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF SURVEY. NO GUARANTEE CAN BE GIVEN BY US AS TO THE ACCURACY OR COMPLETENESS THEREOF.



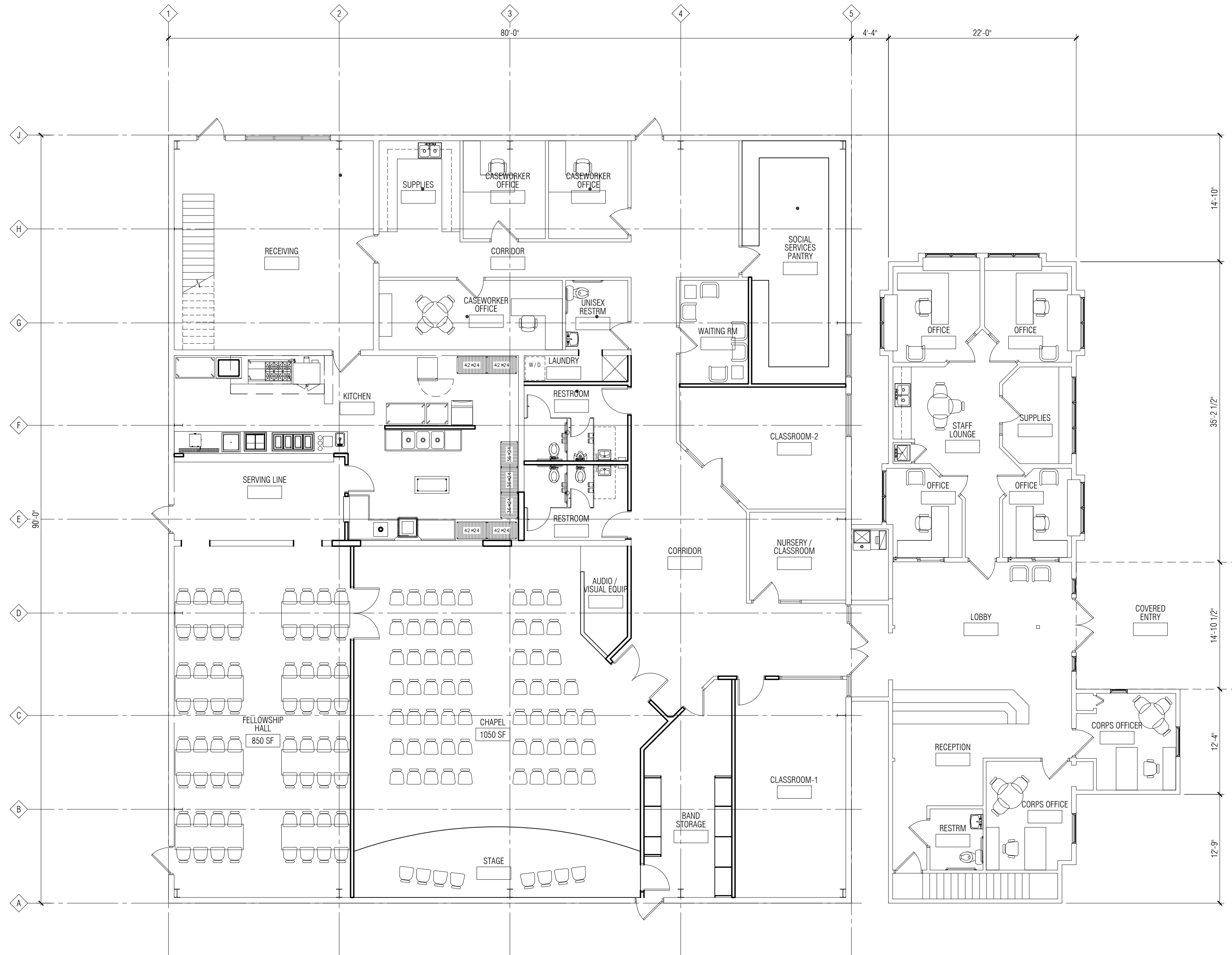
DATE:	BY:	REVISIONS:	DATE:	BY:	REVISIONS:
11-13-23	N.L.R.	ADDED TIES TO RIGHT OF WAY			
12-05-23	N.L.R.	REVISED PER NEW TITLE COMMITMENT			
01-19-24	N.L.R.	REVISED FOR SITE PLAN			
01-19-24	N.L.R.	REVISED PER GENOA TOWNSHIP			

SITE PLAN
2464 DORR RD., TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN

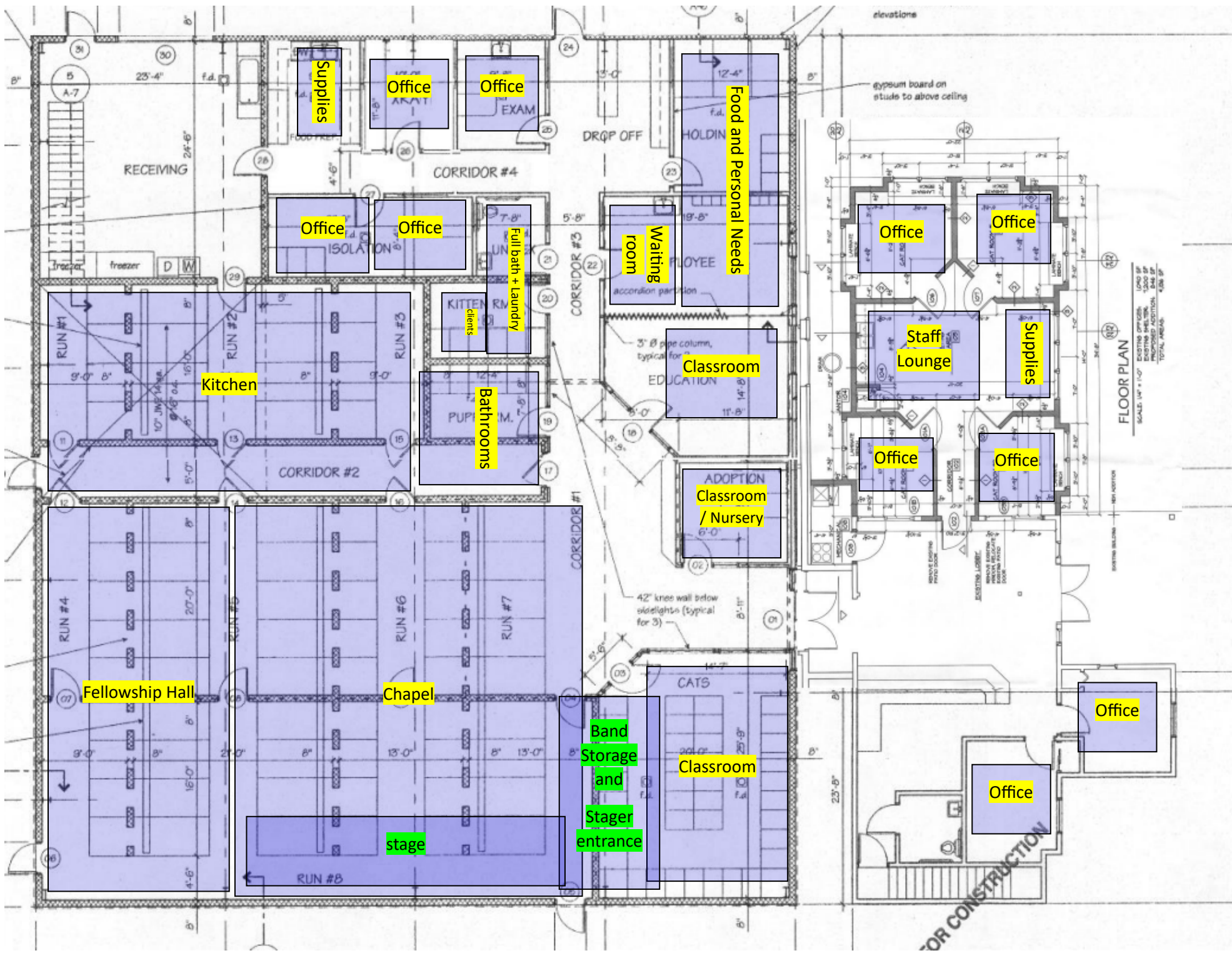
SURVEY BY: R.S./S.D.	GEORGE JEROME & CO. CONSULTING MUNICIPAL & CIVIL ENGINEERS 28304 HAYES ROSELVILLE, MI 48066 www.GeorgeJerome.com (586) 774-3000	ORDER NO. 26-608	SHT. NO.	
DRAWN BY: N.L.R.		FIELD BOOK 1436, P.73	2	
CHECKED BY: G.J.J.R.		SCALE 1"=30'	DATE 01-19-24	DRAWING FILE NO.
APPROVED BY: G.J.J.R.		FOR SALVATION ARMY		



2 Mezzanine Level Floor Plan
1/8" = 1'-0"



1 Main Level Floor Plan
1/8" = 1'-0"

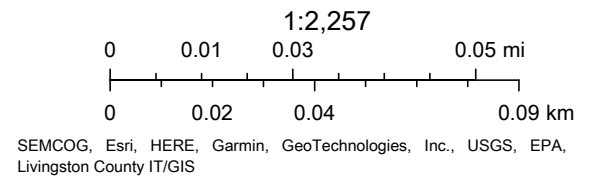


Livingston County GIS Map



6/20/2023, 11:31:11 AM

- Tax Parcel
- Parcel Dimensions
- Interstate Highway
- Major Road
- Minor Road
- PLSS Section
- Municipality



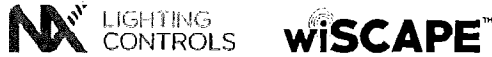
SARA2
ARCHITECTURAL AREA/SITE

FEATURES

- TIR Strike Optics
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K and 5000K
- Type 1, 2, 3, 4, 4W, 5W, 5QM, L, and R distributions
- 0 - 10V dimming drivers standard
- IP65 optical assembly



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- One piece die-cast housing, low copper (<0.6% Cu) Aluminum Alloy with integral cooling ribs over the optical chamber and electrical compartment
- Solid barrier wall separates optical and electrical compartments
- Double-thick wall with gussets on the support-arm mounting end
- Housing forms a half cylinder with 55° front face plane providing a recess to allow a flush single-latch detail
- All hardware is stainless steel or electro-zinc plated steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat
- One-piece die-cast, low copper (<0.6% Cu) aluminum alloy lens frame with 1" minimum depth around the gasket flange
- Optional clear 1/8" thick tempered glass lens retained by eight steel clips with full silicone gasketing around the perimete
- Optional, fixture supplied with a one-piece flat, clear, UV stabilized polycarbonate, fully gasketed, replacing the standard tempered glass lens. CAUTION: Use only when vandalism is anticipated to be high. Useful life is limited by UV discoloration from sunlight. A program of regular inspection and periodic replacement is highly recommended to maintain optimum fixture performance
- One-piece extruded aluminum arm with internal bolt guides and fully radiussed top and bottom
- Luminaire-to-pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief

CONSTRUCTION (CONTINUED)

- Arm is circular cut for specified round pole
- Optional cast, low copper aluminum horizontal slip-fitter with adaptor plate to secure the luminaire to 2" IPS pipe size arms
- Optional cast aluminum wall mount plate assembly. Attaches to the wall over the junction box. Luminaire attaches to the wall plate

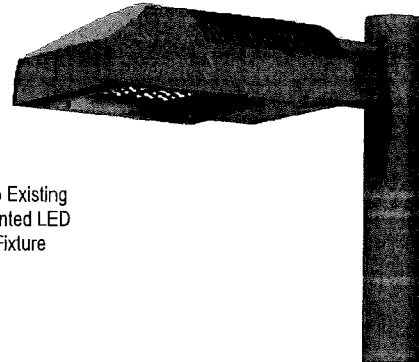
OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED Total Internal Reflection (TIR) optics, gasket and bezel plate
- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features revolutionary individual LED optical control based on high performance TIR optical designs
- Optional BackLight Control for complete control of unwanted backlight
- IP65 Optical assembly
- Type 1, 2, 3, 4, 4W, 5W, 5QM, R, and L standard distributions
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K and 5000K
- Die-cast, low copper aluminum heat sink modules provide thermal transfer at PCB level
- Anodized aluminum heat sink modules

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

The Archetype®



Similar to Existing Wall Mounted LED Light Fixture

RELATED PRODUCTS

- Ouro Pavilion PGL8

ELECTRICAL

- Dimming range from 10% to 100% through the use of standard 0-10V interface on the programmable driver
- Modular wiring harness in the service area provides user access to the dimming circuitry
- Optional factory programmed dimming profile
- Surge protection: 10kV surge suppression
- SF for 120, 277, 347 Line volts
DF for 208, 240, 480 Line volts

CONTROLS

- 7-pin Receptacle and Button Photocell

CERTIFICATIONS AND LISTINGS

- Listed to UL1598 and CSA C22.2#250.0-24 for wet location and 40°C ambient temperatures
- IDA approved, 3000K and warmer CCTs only
- RoHS compliant
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. See Buy American Solutions

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	2,714–10,814
Wattage Range	58.87–84.27
Efficacy Range (LPW)	45.3–127.7
Reported Life (Hours)	L70/60,000
Weight	21 lbs 9.5 kg
EPS Side View	0.70

Noctura Series

LED Wall Mount Luminaires

DATE: 1/22/2024

LOCATION: 2464 Dorr Road

TYPE: S2

PROJECT: TSA Livingston County Corps Community Center

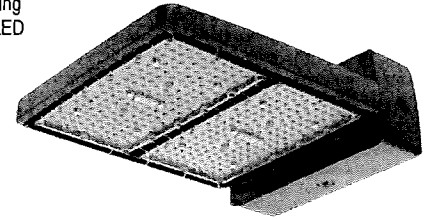
CATALOG #: Existing Wall Mounted Light Fixture

Product Description

The Noctura® LED Wall Mount luminaire minimizes cost of ownership with easy installation, high performance and quality backed by a Cree Lighting 5-year limited warranty. The Noctura Series has a coordinated style across area, flood and wall mount luminaires to provide a consistent daytime appearance across a building site or campus. The rugged yet lightweight aluminum housing and mounting box are designed for easy installation of a variety of junction box styles (4" square, 3" and 4" octagonal, single gang (vertical or horizontal mounts). Luminaires (1L & 3L) allow for through-wired or conduit entry from the top, sides and rear. Luminaires (7L and higher) allow for through-wired or conduit entry from the top, bottom, sides and rear.

Applications: Ideal for both retrofit and new installation: building facade, security and general lighting applications.

Similar to Existing Wall Mounted LED Light Fixture



Performance Summary

Initial Delivered Lumens: Up to 22,600 lumens

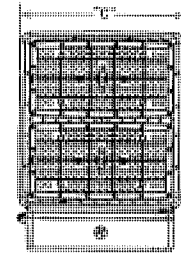
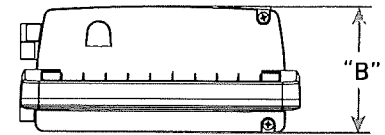
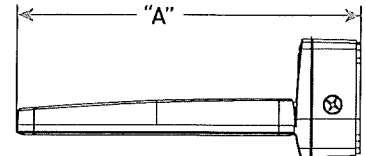
Efficacy: Up to 154 LPW

CRI: Minimum 70 CRI

CCT: 4000K, 5000K

Limited Warranty*: 5 years on luminaire/ up to 5 years for Synapse® accessory/ 1 year on photocell accessory

* See <http://creelighting.com/warranty> for warranty terms



Accessories

Field-Installed
Field-Installed Button Photocell JL-423CZ - UL (120-277V) Voltage only Synapse® SimplySnap 10V Interface DIM10-220F - 120V-277V - Requires other Synapse components to complete system - Refer to DIM10-220F spec sheet for details

Lumen Package	Weight	Dim "A"	Dim "B"	Dim "C"
11L	8.2 lbs. (3.9kg)	12.19" (310mm)	5.51" (140mm)	12.36" (314mm)

Ordering Information**

Example: NTW-A-WM-T3-1L-40K-UL-BZ

NTW	A	WM	T3	Lumen Package*		CCT	Voltage	BZ
Product	Version	Mounting	Optic					Color Options
NTW	A	WM Wall Mount	T3 Type III Medium	Small 1L 1,600 lumens - Not available in 347-480V 3L 3,500 lumens 7L 7,000 lumens	Large 11L 11,000 lumens 17L 17,000 lumens 23L 23,000 lumens	40K 4000K 50K 5000K	UL Universal 120-277V UH Universal 347-480V	BZ Bronze

* Lumen Package codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values

** Consult factory for availability



CREE ⇄ LIGHTING®

US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 28, 2024
RE: Soapy Bucket Car Wash – 1415 Lawson Drive
Site Plan and Impact Assessment

Please find attached the project case file for the Soapy Bucket car wash project. This project involves site plan and impact assessment approval for a car wash with 2 automatic bays and 4 self-service bays with 5 vacuum stations. The site is located at 1415 Lawson Drive which is at the southwest corner of Grand River Avenue and Lawson Drive in front of the Kohl's department store. The site is located within the Genoa Square Development and is zoned non-residential planned unit development (NRPUD).



SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Procedurally, the Planning Commission is to review the site plan and environmental impact assessment, and put forth recommendations to the Township Board following a public hearing. The project was heard before the Planning Commission on February 13th, 2024 and the Commission recommended approval (5 yes/1 no/1 absent) with conditions. Based on the recommendation from the Planning Commission, I offer the following for your consideration:

February 28, 2024

Soapy Bucket Car Wash – 1415 Lawson Drive

Page 2 of 2

ENVIRONMENTAL IMPACT ASSESSMENT

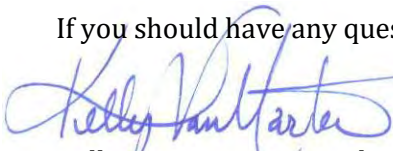
Moved by _____, supported by _____, to approve the Environmental Impact Assessment dated January 23, 2024 for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located on a vacant 1.39-acre site (parcel#4711-09-200-028).

SITE PLAN

Moved by _____, supported by _____, to approve the Site Plan dated January 19, 2024 for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located on a vacant 1.39-acre site (parcel#4711-09-200-028) with the following conditions:

- The vacuum details on sheet A0 shall be revised to reflect that the vacuum unit caps and posts shall also be black rather than the blue as currently depicted.
- A photometric analysis shall be provided in regard to the vacuum canopy lighting to ensure that the light source on the vacuum canopies comply with the Township ordinance. This must be provided prior to issuance of a land use permit.
- All site plan review overage fees must be paid prior to issuance of a land use permit.

If you should have any questions, please feel free to contact me.



Kelly VanMarter, Township Manager



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Springborn Properties
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Russ Springborn

SITE ADDRESS: 3535 High Hillcrest Dr PARCEL #(s): 4711-09-200-028

APPLICANT PHONE: (313) 350-3358 OWNER PHONE: (313) 350-3358

OWNER EMAIL: russs@soringbornproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Lot 4 of 'Genoa Outlots LLC' PUD
deveopment - Kohl's Anchor. 1.54 acre lot front Grand River Avenue.

Access by Lawson Drive private road. Site is vacant, mowed lawn
Site is served by municipal water & sanitary sewer & regional storn basin,

BRIEF STATEMENT OF PROPOSED USE: Proposed for carwash including
4 self-serve wash bays and 2 wash automatic bays & vacuum stations

THE FOLLOWING BUILDINGS ARE PROPOSED: 1 carwash building encompassing
All bays and mechanical room spaces

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: *Russell J*

ADDRESS: 3535 HIGH HILLCREST DRIVE HOWELL, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Patrick Cleary of Boss Engineering at patrickc@bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Russell Springborn DATE: 10/17/23
PRINT NAME: Russell Springborn PHONE: 313-350-3350
ADDRESS: 3535 High Hillcrest Dr Howell, MI 48843



3121 E. Grand River Howell, MI 48843
517.546.4836 fax 517.548.1670
www.bosseng.com

February 26, 2024

Amy Ruthig, Planning Director
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Springborn – Soapy Bucket Carwash – Site Plan Re-Submittal

Amy

We have received the review letters from SafeBuilt dated 2-6-2024, TetraTech dated 2-6-24, and The Brighton Area Fire Authority dated 2-2-24. Additional verbal comments from the Plan Commission at the February 13, 2024, special meeting were also received for the Soapy Bucket Carwash related to the letters. We offer the following responses:

Planner Review Letter – SafeBuilt:

A. Summary

1. Use Conditions (Section 7.02.02(1)):
 - a. Self-Serve Bay Openings Not in ‘Enclosed Building’: Proposed openings (no doors) for the self-serve bays were approved at the 2-13-24 Plan Commission meeting.
2. Site Plan Review:
 - a. Vacuum Station Color: This was confirmed as black and approved at the 2-13-24 Plan Commission meeting. An additional architectural sheet has been added to the submittal for further clarification.
 - b. Building Materials and Color Scheme Subject to Plan Commission Approval: Approved at the 2-13-24 Plan Commission meeting.
 - c. Traffic Impact Assessment: Requirement waived at the 2-13-24 Plan Commission meeting.
 - d. Lighting Fixture Schedule: Overlapping text on the plan corrected. Schedule & plan match.
 - e. Greenbelt and Planting Deficiencies:
 - East Greenbelt: Approved at the 2-13-24 Plan Commission meeting.
 - Landscape Plan: Approved as submitted at the 2-13-24 Plan Commission meeting.

Engineer Review Letter - TetraTech

1. Previous comments have been acknowledged as being met.

Brighton Area Fire Authority Review Letter

1. Previous comments have been acknowledged by the Fire Authority as being met.

Please contact us with additional questions, or if you are in need additional information.

Regards,

BOSS ENGINEERING COMPANY

Patrick L. Cleary, PLA
Senior Associate
Patrickc@bosseng.com

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**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 13, 2024
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Commissioners Chris Grajek, Eric Rauch, Tim Chouinard, Glynis McBain, Marianne McCreary, and Greg Rassel. Absent was Jeff Dhaenens. Also present were Planning Director Amy Ruthig, Brian Borden of SafeBuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA: Moved by Commissioner Rassel, seconded by Commissioner Rauch, to approve the agenda as presented. The motion carried unanimously.

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC: The call to the public was made at 6:31 pm with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING #1...Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39-acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (1-23-24)
- B. Recommendation of Site Plan (1-23-24)

Patrick Cleary of Boss Engineering, Dave Richardson of Lindhout and Associates and Russell Springborn of Springborn Properties were present for the applicant.

Mr. Richardson gave an overview of the revisions that have been made since the last Planning Commission meeting in January. After receiving great feedback from the Commissioners, the building has been rotated 90 degrees which allows the 15- car stacking requirement to be met, allows for less pavement and for the brick gable with windows to be facing Grand River Avenue. The trench drains have been eliminated. The vacuum hoods will be black instead of blue. Mr. Cleary clarified that the renderings in the packet will need to be updated since the building was rotated.

Commissioner Rauch asked the applicant if the glass on the north elevation could be increased and if someone could see through the windows from Grand River Avenue. Mr. Richardson stated that mechanical units were in the location of the windows and would not be visible. The windows could be 50% higher with the addition of square transom windows. Commissioner Rauch believes that would be a great addition with some landscaping along the Grand River Avenue frontage.

Mr. Borden reviewed his letter dated February 6, 2024:

1. The use conditions for the car wash is mostly met however the self-service bays are not within a completely enclosed building. The applicant could apply for a variance or the Planning Commission could determine that. There was discussion as to how to handle the bays not being enclosed.
2. The applicant must identify the proposed color for the vacuum stations. Mr. Springborn stated that the color will be black instead of blue on the vacuums.
3. The building materials and color scheme are subject to approval by the Planning Commission. He stated that the building materials are high in quality and more than what is required in the ordinance.
4. A traffic impact assessment is required, though the Planning Commission may waive or modify this requirement.
5. The lighting plan has inconsistencies on the number of fixtures and he would like to have that corrected.
6. The landscaping plan has a slight deficiency in width as well as tree plantings. The southerly greenbelt has deficiencies as well. In total, it is 4 trees short however there are an additional 87 shrubs more than what is required and it exceeds the ordinance standards. Mr. Rauch asked if they could add in the 4 trees as required. Mr. Springborn stated that he felt they did not need to due to the fact that they are over the shrub count. Mr. Rauch is comfortable with the deficiency in the 4 trees. It was the consensus that the commissioners are good with the number of shrubs and short 4 trees. Commissioner McCreary asked about the type and height of the shrubs. Mr. Springborn stated that the tallest of the shrubs are 4-5 feet and are a mixture of species to compliment the spruces.

Ms. Ruthig had questions about the lighting on the vacuums. Mr. Springborn stated that the LED lights will be under the canopies and they are designed to shine on the car and they are shielded with canvas and do not shine up. The lights are on timers. Commissioner Rauch stated that the vacuum lights would fall under the site lighting and shall meet the Township Ordinance.

The Commissioners discussed the use condition requirement of section 7.02.02 (l) that self-service bays must be fully enclosed. Mr. Rauch believes that with this style of operation, it would not make sense to be fully enclosed and that requiring the applicant to apply for a variance would be an encumbrance. With the addition of the higher quality materials being proposed and because of the inability to efficiently operate, the majority of the Commissioners find that it meets the spirit of the ordinance by everything that can be enclosed is in enclosed and the building materials exceed the Zoning Ordinance requirements.

A call to the public was made at 7:02 p.m. with the following response: Susan Nickels, 4935 Fairways Drive, Brighton, MI. stated that she has been through a couple of these meetings and she is impressed with how much thought the commissioners put into the projects. She asked how many car washes does the Township really need. She thanked the Commissioners for their thoughtfulness and how they take a look at what is happening. The call to the public was closed at 7:03 p.m.

Commissioner McCreary stated that she is not in favor of this project even though it is located in a Planned Unit Development. She commended the applicant on their plan however she is not in agreement that the use condition has been met. Commissioner McCreary questioned if the reason for a

car wash being allowed in the Planned Unit Development is because of what of the developer is trying to bring to the development by allowing self-service car washes because of the use requirement that self-service car washes would be fully enclosed.

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend approval to the Township Board, the Environmental Impact Assessment dated January 23, 2024 as written. **The motion carried as follows: Ayes- Commissioner Rauch, Commissioner Grajek, Commissioner Rassel, Commissioner Chouinard, and Commissioner McBain. Nays- Commissioner McCreary.**

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend approval to the Township Board, the Site Plan dated January 23, 2024 with the following conditions:

1. The use conditions 7.02.02 (l) of the Zoning Ordinance meets the intent of the ordinance by all possible features for the operations of the building are enclosed and the materials are equal to or higher quality than what the Zoning Ordinance requires.
2. The four windows along the Grand River Avenue elevation (North elevation) be increased in area by 20 percent.
3. All vacuum and external elements for the operation are to be black and all site lighting shall meet the Township standards are met.
4. The landscape plan that was submitted is acceptable due to the increased number of shrubs.
5. The elevation plans need to be corrected.
6. The easterly greenbelt is deficient in width and the Planning Commission finds it acceptable.

The motion carried as follows: Ayes- Commissioner Grajek, Commissioner Rassel, Commissioner Chouinard, Commissioner McBain and Commissioner Rauch. Nays- Commissioner McCreary.

NEW BUSINESS:

OPEN PUBLIC HEARING #2...Consideration of a sketch plan for a facade updates to the existing Discount Tire building located at 3480 E. Grand River Avenue, located on the northeast corner of Grand River Avenue and Grand Oaks Drive. The request is petitioned by Isaac Nagel.

- A. Disposition of Sketch Plan (11-21-23)

Darrin LaButte of Discount Tire and Charlie Kemp of JLL Construction were present for the applicant.

Mr. LaButte stated that the elevations that were included in the Commissioners' packet were incorrect and the applicant is not painting the building. It will remain as the current red brick. The dumpster enclosure is not being relocated and the current enclosure will be brought into compliance with the addition of gates. The landscape plan will be improved upon with the addition of 4 trees. The existing pole sign will be removed and a conforming monument sign will be installed under a separate sign permit.

Mr. Borden reviewed his letter dated February 8th, 2024:

1. Use Conditions:
 - a. The east building elevation appears to exceed the maximum allowance of 25% of composite and metal siding, the Commission has the discretion to modify these requirements.
2. Site Plan:

There was a discussion regarding the drive thru stacking. Mr. Crawford advised there are issues sometimes, but the cars needing to back out of a space wait for the drive thru car to move forward.

Commissioner Dhaenens agrees with Vice-Chairman Rauch's idea of the land swap. He would like the Township to be involved in the conversation between the petitioner and the land owner. Mr. Crawford stated he needs to meet the spring 2024 deadline from Arby's corporate.

Commissioner McCreary also agrees with Vice-Chairman Rauch's idea. It is a forward thinking idea and could be a positive for the applicant, the property owner, and the township.

Vice-Chairman Rauch asked the commissioners their opinions on the current issues with the existing site, such as the parking, drive thru stacking, etc. Mr. Borden stated it is always the desire to improve sites; however, the parking issues are minor and if they do not pose problems at this time, he recommends allowing them to remain. All commissioners agreed to allow the existing angled parking, but the parallel parking must be removed.

The call to the public was made at 7:33 pm with no response.

Ms. Ball stated that she will comply with all the requirements in Mr. Borden's review letter.

After a discussion regarding the outstanding issues, the commission and the applicant decided to table the item this evening.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to table the review of an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue to allow the applicant to address the feedback this evening regarding the amount of EIFS, the drive-thru stacking, the possibility of a shared parking agreement, plantings, and to contact staff to facilitate a discussion between the applicant, the township, and the property owner. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3... Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

A. Recommendation of Environmental Impact Assessment (10-31-23)

B. Recommendation of Site Plan (12-18-23)

Mr. Patrick Cleary of Boss Engineering, Mr. Russ Springborn, the owner, and Mr. Dave Richardson of Lindhout & Associates, the architect, were present.

Mr. Cleary provided a review of the project. They would like to develop a car wash, which is a permitted use in this PUD. He showed the site plan and photos of an existing facility in the City of Howell.

Mr. Borden reviewed his letter dated January 2, 2023.

1. Use Conditions (Section 7.02.02(l)). Three of the five conditions are not applicable or have been met. There are two outstanding.
 - a. The self-service wash bays are not within a completely enclosed building. He suggested having bay doors installed. Mr. Cleary stated having overhead doors creates challenges and they would prefer not to have them. Mr. Springborn stated having doors is a safety issue.
 - b. The two automatic wash bays do not provide the required 15 stacking spaces required. One provides 12 spaces and the other provides 8. Mr. Cleary stated that if 15 cars are stacked at a bay, the last car would be waiting for 1 ½ hours. On average, there are six cars in line. The seventh customer would leave and not wait. The data from the existing Soapy Bucket car wash in Howell, which has been in business for four years, shows that there has never been more than eight cars stacked at one time.
2. Site Plan Review:
 - a. Building materials and color scheme are subject to approval by the Planning Commission. He noted that the colors and building materials are high quality; however, the vacuum stations are bright blue. Mr. Richardson showed sample materials of the blue for the vacuums and the bollards. They are located along Lawson Drive and cannot be seen from Grand River.
 - b. The sidewalk easement is subject to review by the Township's engineering consultant, and we suggest the easement be extended to cover the entire sidewalk.
 - c. The slight driveway offset along Lawson Drive may disrupt traffic flow.
 - d. A traffic impact assessment is required based on the trip generation that was provided in the impact assessment, but the Planning Commission can waive this requirement. The applicant will provide this if required. Ms. Byrne stated this assessment would only provide data for Lawson Drive and not Grand River.
 - e. The easterly greenbelt is deficient in width and two trees, while the southerly greenbelt is deficient in two trees; however, both areas provide excess shrubs plantings to help offset the trees.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. The proposed catch basins are labeled, but actual structures are not shown at the pipe junctions. This may be a plotting error.
2. The site plan proposes exterior trench drains that connect to the sanitary sewer outside of the car wash in the area where vehicles will stack to get into the car wash. Any trench drains connected to the sanitary sewer should be within the carwash or covered areas and should not receive site storm drainage from outside the carwash. Genoa-Oceola Sewer and Water Authority design standards do not allow for storm sewer facilities to be connected to their sanitary sewer. The eight exterior trench drains shown connecting to the sanitary sewer will

not be allowed and shall be removed from the site plan. If the existing building layout does not allow for effective containment and collection of vehicle runoff within the carwash, then the carwash will need to be modified so that no runoff from within the carwash is going into the on-site storm sewer. The applicant agreed to remove all the exterior trench drains.

The Brighton Area Fire Authority Fire Marshal's letter dated December 22, 2023 stated the applicant has addressed all of his concerns.

The call to the public was made at 8:41 pm.

Mr. Steve Samona, who represents Genoa Outlots, stated they only became aware of this recently. They are concerned with the traffic flow and the stacking onto Lawson Drive. The existing traffic study is over 20 years old. They have not been contacted about the cross access. This site shares a detention pond with the entire development and it discharges into Lake Chemung across Grand River. They want to ensure that runoff from the car wash does not end up in the lake. He also has not had time to review all of the PUD documents to ensure that all of the approvals have been obtained and all use restrictions are met.

Mr. Harvey Weiss with Genoa Outlots reiterated Mr. Samoa's concerns. He is concerned with the site circulation and stacking onto Lawson Drive.

The call to the public was closed at 8:53 pm.

Mr. Springborn stated that he purchased the property because it is specifically approved for a car wash. They can remove the driveway that would require the cross access easement, and there is sufficient containment for the car wash run off.

Commissioner McBain feels the building is too large for the site. There are a lot of safety issues with the traffic flow.

Commissioner Dhaenens is in favor of the material and the business, but he is also concerned with the traffic stacking. He suggested reorienting the building to address that issue. Mr. Cleary noted that the waiting cars and the vacuums would be more visible from Grand River if the building was moved. Vice-Chairman Rauch agrees, but suggested the view can be mitigated with landscape screening.

Commissioner Chouinard is in favor of the proposed building design and materials. It is a beautiful building. However, he would like to have the blue removed. The other commissioners agree.

Moved by Commissioner McCreary, supported by Commissioner Rassel, to table the review for a proposed car wash with two automatic bays, four self-service bays and five vacuum stations located within the existing Genoa Outlots PUD to allow the applicant to address the colors, engineer's report, planner's review, stacking, building orientation, and other items discussed this evening. **The motion carried unanimously.**



SAMONA WEISS
PROPERTIES

*32820 Woodward Avenue, Suite 240
Royal Oak, MI 48073
(248) 565-8582*

January 8, 2024

Genoa Township
Attn: Kelly VanMartar
2911 Dorr Road
Brighton, MI 48116

**Re: 1415 Lawson Drive, Genoa Twp, MI
Site Plan**

Dear Kelly,

It has come to our attention that the above referenced property is seeking site plan approval for a car wash facility (“Car Wash”). The Car Wash would be part of the Genoa Square Shopping Center (“GSSC”), and share roads, access, detention and other facilities with the development. I am writing this letter on behalf of Genoa Square, LLC who owns the shopping center at 1251 Lawson Drive and Genoa Outlots, LLC who owns the two vacant adjacent outlots to the Car Wash. The principals behind those entities are also the original developers of the GSSC.

While we do not object to development of the property and are excited to see more activity in the GSSC, we are concerned with what is being proposed. The Car Wash property was sold initially in 2005, after being site plan approved for a Tutor Time. Unfortunately, the property has sat undeveloped since. On December 19, 2023, we first become aware of the new owner of the property and the proposed Car Wash. Based on the materials we have seen, it looks like this has been in process since summer of 2023. At no point had anyone notified or involved us. Since we became aware of the matter, we have done our best to gather our responses here with the limited time and information we have. We have concerns regarding the impact this could have on the community, our properties, the shared common areas and the development as whole. We feel that there should have been dialogue with us and other property owners in the development here to make sure the Car Wash is developed in a proper manner.

One of our concerns is the potential environmental impact the Car Wash could have on our property and the community. We anticipate the car wash to use a large volume of chemicals and wastewater. The use could potentially result in environmental contamination of our properties if this were to migrate through the ground or water. Further, the entire development shares a detention pond with the Car Wash. This same detention pond discharges water into Lake Chemung across Grand River. There are houses there and people using the lake. It is unclear if

wastewater from the Car Wash is designed to go into the storm water facilities, or what is being done to prevent chemicals from entering them, if not designed that way. If contamination from the Car Wash makes its way into the storm water facilities, it would discharge the same chemicals into our detention pond and make its way into Lake Chemung. This would be a major public health and safety issue. There is no discussion on design or safeguards to avoid environmental contamination. We need to ensure proper measures are in place to prevent a threat to the community, as well as the properties, tenants, customers and employees of the GSSC.

We are also concerned with the potential traffic impacts and safety risks to drivers and pedestrians. The Car Wash is only accessible through Lawson Drive, a ring road on the property used by all the tenants in the GSSC. We are in charge of managing this road. The Car Wash is proposing one curb cut on Lawson Drive. It appears users of the automated carwash enter and turning right on the property, while users of a self-serve car wash are supposed to bypass them and head straight. Meanwhile, cars exit from that same curb cut. This seems like a recipe for confusion and congestion, as well as a major safety hazard. Per the notes provided to us, the Car Wash also does not have the required stacking by code. This will lead to traffic spilling over and stacking into Lawson Drive. This is a safety hazard for drivers and the customers, tenants and employees for the rest of the development. At a minimum, a traffic study would need to be done to evaluate the situation fully. Yet, no traffic study was provided despite being required by the township. Proposing site plan approval here without a traffic study seems premature. We would need a proper traffic study and involvement from our consultants to ensure there is no adverse impact. We are sure the other tenants and owners in the GSSC would want the same opportunity.

We also object to the proposed “cross-access” of the property with the property we own. This is not something we had agreed to or discussed. The current site plan proposes that customers exiting the self-serve and automated car wash could enter our property to the west immediately afterward. This would divert a great deal of their exit traffic onto our property, and have them use our property as a primary exit. The property to the west has not been developed. Doing this now would severely limit our ability to develop and design the property in the future. Furthermore, this would further migration of potential environmental contamination onto our site, put further wear and tear and traffic on our site, and could result in potential traffic hazards in the future. We are disappointed the Car Wash applicant proposes to use our property without our involvement. Consenting to cross access at this stage, based on what is proposed and the uncertainty of the future development of the site, could severely limit potential development in the future. Cross-access is certainly something we would like to investigate in the future when the neighboring property is developed, but not something we think makes sense at this phase.

We further do not like the appearance of the self-serve car wash facility, especially one visible to the road. The design with all cars exiting the car wash along the entry of the development is something we are not in favor of. This does not fit with the goal of a first-class appearance for the development or meet the standards of the community as a whole.

What is also unclear is the impact this would have on the various development documents and whether this the Car Wash development is permitted under them. The property is bound by a Reciprocal Easement Agreement, PUD and other agreements that govern and restrict the usage and development of the property and require consent and approvals from various parties. We do not know if the property owner has provided the proper consents and approvals necessary under those various documents. To the extent our approval or consent is required, it has not been requested or provided.

We thank you for your consideration in allowing us to voice our concerns on the matter. We would be happy to discuss this further if needed.

Very Truly Yours,

Steven S. Samona

SSS



February 6, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Soapy Bucket Car Wash – Site Plan Review #3
Location:	1415 Lawson Drive – southwest corner of Grand River Avenue and Lawson Drive
Zoning:	NRPUD Non-Residential Planned Unit Development

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Springborn Properties for development of a car wash at 1415 Latson Road (plans dated 1/23/24).

A. Summary

1. Use Conditions (Section 7.02.02(I)):

- a. The self-service wash bays are not within a completely enclosed building.

2. Site Plan Review:

- a. The applicant must identify the proposed color for the vacuum stations.
- b. Building materials and color scheme are subject to approval by the Planning Commission.
- c. A traffic impact assessment is required, though the Commission may waive or modify this requirement.
- d. The schedule of light fixtures notes 12 wall mounted fixtures, though the plan depicts only 11.
- e. The easterly greenbelt is partially deficient in width.
- f. The landscape plan is deficient by 4 trees, though there are 87 excess shrubs provided above Ordinance requirements.

B. Proposal/Process

The applicant proposes development of a car wash with 2 automatic bays and 4 self-service bays on the vacant 1.39 acre site. The project includes 6,877 square feet of building area, as well as 5 vacuum stations.

Exhibit C of the Genoa 24 Grand PUD Agreement allows automobile washes (automatic or self-serve) as principal permitted uses within the PUD. The proposed development is subject to GCD dimensional standards, as well as the use conditions of Section 7.02.02(I).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment.

The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Environmental Impact Assessment.



Aerial view of site and surroundings (looking north)

C. Use Conditions

Automobile washes are subject to the use requirements of Section 7.02.02(1), as follows:

1. Only one (1) ingress/egress driveway shall be permitted on any single street.

The site plan depicts 1 ingress/egress driveway to/from Lawson Drive on the south side of the site.

2. Where adjoining a residential district, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may require landscaping, including a berm, as an alternative.

The subject site does not adjoin a residential district.

3. All washing facilities shall be within a completely enclosed building.

The automatic wash portion of the building is enclosed, with automatic overhead doors on both sides.

The self-service bays have open ends, though the revised building orientation will help to screen views of the open wash bays from Grand River.

4. Vacuuming and drying may be located outside the building, but shall not be in the required front yard and shall be set back at least fifty (50) feet from any residential district.

These conditions are met.

5. All cars required to wait for access to the facilities shall be provided stacking spaces fully off the street right-of-way which does not conflict with vehicle maneuvering areas to access gasoline pumps or vacuums, and as required Article 14, Parking and Loading-Unloading Standards.

Section 14.04 requires 15 stacking spaces per automatic bay and 2 stacking spaces per self-service bay.

The revised building orientation provides compliant stacking for each wash bay (automatic and self-service).

D. Site Plan Review

1. Dimensional Requirements. As shown in the table below, the proposal complies with the dimensional requirements for development in the Genoa 24 Grand PUD:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
GCD	1	150	35	15	50	20 front 10 side/rear	35% building 75% impervious	35' 2 stories
Proposal	1.39	226	58 (N)	80 (E) 40 (W)	150 (S)	35 front 10 side	11.4% building 58.4% impervious	31.5' 1 story

It is worth noting that the PUD Agreement specifically identifies the easterly property line as a side lot line and the southerly lot line as a rear lot line (though they are along a roadway).

2. Building Design and Materials. The building is primarily brick with a stone base, and utilizes earth-tone colors, which is consistent with the requirements of the PUD Agreement.

The previous submittal included blue vacuum stations. The cover letter included with the revised submittal notes that the blue color has been changed, though there is no indication of the newly proposed color.

Building materials and colors are subject to review and approval by the Planning Commission.

3. Pedestrian Circulation. The site plan proposes an 8-foot wide concrete sidewalk along Grand River, as required.

4. Vehicular Circulation. The site plan proposes 1 curb cut for a full turning movement driveway along Lawson Drive.

The proposed driveway is spaced as far as practical from the 90-degree turn in Lawson Drive, though it is only slightly offset from the driveway across Lawson to the south.

The revised building orientation mitigates the stacking deficiency of previous submittals, which will help to prevent back-ups into Lawson Drive.

As noted in previous reviews, a traffic impact assessment is required, per Section 18.07.09. However, the Commission may waive this requirement or modify the required contents.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. Parking. Based on information contained in the submittal, the project requires 3 parking spaces. The site plan provides 6 parking spaces (5 of which double as vacuum stations), including the required barrier-free space.

The dimensions and design of parking spaces and drive aisles comply with Ordinance standards.

6. Exterior Lighting. The lighting plan identifies 9 light poles and 11 wall mounted fixtures (the notes indicate 12, but only 11 are depicted).

Additionally, the ornamental lighting required by the PUD Agreement is provided along Grand River (4 poles/fixtures).

Based on the detail sheets, the proposed fixtures are downward direct LED (aside from the ornamental lighting).

Pole heights and photometric readings comply with Ordinance standards.

The current submittal does not include ornamental lighting along Grand River, as required by Section 7.5 of the PUD Agreement, as was noted in the previous submittal.

- 7. Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt (N)	20' width 6 canopy trees	35' width 6 canopy trees	In compliance
Front yard greenbelt (E)	20' width 8 canopy trees	12' to 20'+ width 6 canopy trees 30 shrubs	Partially deficient in width and tree plantings
Front yard greenbelt (S)	20' width 5 canopy trees	25' width 3 canopy trees 37 shrubs	Deficient in tree plantings
Buffer Zone C (W)	10' width 18 canopy trees OR 18 evergreen trees OR 70 shrubs	10' width 90 shrubs	In compliance

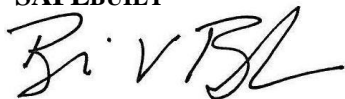
Though the landscape plan is deficient by 4 trees, there are 87 excess shrubs provided along the perimeter of the property.

- 8. Waste Receptacle.** The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates sufficient maneuvering area	Requirement met
Base design	9' x 15' concrete pad	14' x 23' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Brick to match building 6'-8" height	Requirements met

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
 Michigan Planning Manager



February 6, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Soapy Bucket Car Wash
Site Plan Review No. 3**

Dear Ms. Ruthig:

Tetra Tech conducted a third review of the proposed Soapy Bucket Car Wash site plan last dated January 23, 2024. The plan was prepared by Boss Engineering on behalf of Springborn Properties. The development is located in Lot 4 of Genoa Outlots LLC (Genoa Square), which is on the south side of Grand River Avenue off Lawson Drive. The Petitioner is proposing a 6,877 square foot carwash that includes 4 self-serve wash bays and 2 automatic wash bays. Site improvements include parking lot improvements and storm drainage improvements that would connect to the existing storm system at Genoa Square.

Since the previous submittal, the proposed building orientation has been revised to allow for better site circulation and increased carwash stacking space. The revised plans also addressed our previous comment regarding exterior trench drains connecting to the public sanitary sewer. Since all previous comments have been addressed, we have no further engineering related concern with the proposed site plan. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2024

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Soapy Bucket Carwash
1415 Lawson Drive
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated October 31, 2023 with latest revisions dated January 23, 2024. The project is based on the proposed development of a currently vacant 1.54-acre parcel into a new manual and automatic car wash. The building has been rotated 90-degrees however it does not affect previous access. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously cited concerns and code requirements related to site access, water supply and fire safety have been addressed.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

**GENOA TOWNSHIP IMPACT ASSESSMENT
Soapy Bucket Car Wash**

Prepared for:

**Property Owner:
Springborn Properties
Russ Springborn**

Applicant:

**Springborn Properties
Russ Springborn**

Prepared by:

Patrick Cleary, PLA



3121 E. Grand River Howell, MI 48843
517.546.4836 fax 517.548.1670
www.bosseng.com

January 23, 2024

DISCUSSION ITEMS

- A. Name(s) and address(es) of person(s) responsible for preparation of the Impact Assessment and a brief statement of their qualifications.

Prepared by:

Patrick Cleary, PLA
Professional Landscape Architect/Senior Project Manager
Boss Engineering
3121 E Grand River
Howell, MI 48843

Prepared for:

Owner and Applicant:
Springborn Properties – Russ Springborn
3535 High Hillcrest Drive
Howell, MI 48343

- B. Description of the site, including existing structures, man-made facilities, and natural features, all-inclusive to within 10' of the property boundary.***

The project site is on parcel # 4711-09-200-028 in Section 9, Genoa Township, Livingston County, MI. It is Outlot #4 of the 'Genoa Outlots LLC' PUD development anchored by Kohl's Department Store.

The subject site is bordered:

- On the north by Grand River Avenue. Midway Party Store is directly across the street.
- On the east by Lawson Drive, a private road and one of the main entrances to the development. Directly across Lawson is a commercial retail building that is part of the overall development that is zoned NR PUD. On this property are approximately 5, 8-10" DBH Little Leaf Linden deciduous trees.
- On the south by Lawson Drive. Directly across the road is the parking lot for Kohl's with approximately 6, 6-10" DBH deciduous trees.
- On the west by vacant Outlot #3 of the overall 'Genoa Outlots LLC' development, zoned NR PUD. This site is all mowed lawn with no trees or shrubs, similar to the subject parcel.

The overall 21.84 +/- acre development is bordered by Interstate 96 on the south with on and off ramps to the east, and Grand River Avenue to the north. On the west side is an 8.79 +/- acre parcel, zoned Industrial (IND) and occupied by Reuland Electric Motor Company – electric motor manufacturer.

MHOG sanitary runs along the east lot line in Lawson Drive. MHOG water runs along the south lot line also in Lawson Drive. See the Existing Conditions Plan for specific locations.

The subject site is a vacant lot of land consisting of mowed lawn grasses and no trees or shrubs. The site will be accessed from the south from Lawson Drive, a private road.

C. Impact on natural features: A written description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.

These currently vacant parcels are relatively flat (1-4% slopes) and covered by grasses.

The soils are NRCS / SCS designated Miami Loam. The site drains via surface flow primarily from south to north to the Grand River Avenue storm sewer system. There is a narrow rudimentary rip-rapped channel to the street. No wetlands/streams/creeks or other water bodies are located on site.

D. Impact on storm water management: description of soil erosion control measures during construction.

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Although the amount of impervious surfaces is proposed to be higher than originally anticipated in the original development calculations it has been confirmed by Township staff that the existing basin is 'over-sized' and able to accommodate the difference. Detailed construction plans for the lot will be reviewed by the Township Engineer and the Soil Erosion Control plans will be reviewed and permit issued by the Livingston County Drain Commissioners office prior to construction commencing. Ongoing/periodic soil erosion on-site inspections will occur per County requirements to ensure soil erosion is managed proactively.

E. Impact on surrounding land use: Description of proposed usage and other man-made facilities; how it conforms to existing and potential development patterns. Effects of added lighting, noise or air pollution which could negatively impact adjacent properties.

The proposed use on this Non-Residential Planned Unit Development (NR PUD) site includes automatic and self-serve car wash bays with supporting vacuum cleaning stations behind the building from Grand River Avenue. The proposed uses were part of the originally approved development scenarios in the PUD, conforming to existing and potential development patterns. It will not negatively impact adjacent properties with added lighting, noise or air pollution. The site development will comply with Township Ordinances for lighting levels as well as noise levels. The uses proposed do not impact adjacent properties with noise, light or air pollution.

F. Impact on public facilities and services: Description of number of residents, employees, patrons, and impact on general services, i.e., schools, police, fire.

The proposed car wash does not add additional burden on the fire and police services as the site is surrounded by similar development that already receives coverage. The uses do not add population that impacts schools. The car wash will add to Township tax revenue as the site currently sits vacant. The car wash will add 1-2 jobs which has a positive impact on the community.

G. Impact on public utilities: description of public utilities serving the project, i.e., water, sanitary sewer, and storm drainage system. Expected flows projected in residential units.

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Although the amount of impervious surfaces is proposed to be higher than originally anticipated in the original development calculations it has been confirmed by Township staff that the existing basin is 'over-sized' and able to accommodate the difference. Detailed construction plans for the lot will be reviewed by the Township Engineer and the Soil Erosion Control plans will be reviewed and permit issued by the Livingston County Drain Commissioners office.

MHOG sanitary sewer runs along the east lot line in Lawson Drive and the development is expected to connect to it. The development will connect to MHOG water along the south lot line also in Lawson Drive.

The proposed car wash use will utilize 'automatic, no conveyer' type (2) and 'self-service' type (4) car wash system per the Township REU Factor Table. This calculates to a total of 31.2 REU's. The MHOG public water is anticipated to accommodate the use.

H. Storage or handling of any hazardous materials: Description of any hazardous materials used, stored, or disposed of on-site.

No storing or handling of quantities of hazardous materials is expected for this development.

I. Impact on traffic and pedestrians: Description of traffic volumes to be generated and their effect on the area.

The site will be accessed from the south of the lot off the development's internal private road primary circulation system, Lawson Drive. There will be no direct access to Grand River, utilizing two existing development entrances. The west entrance to the development is signalized. Potential traffic volumes with the proposed use were anticipated with the original development and accommodated through the current entrances and signalization. In addition, an 8-foot wide public sidewalk will be extended along Grand River Avenue for the entire width of the lot.

J. Special provisions: Deed restrictions, protective covenants, etc.

Site is subject to the provisions of the 'Genoa Outlots LLC' PUD agreement.

K. Description of all sources:

- Genoa Township Zoning Ordinance
- "Soil Survey of Livingston County Michigan" Soil Conservation Services, USDA
- Livingston County parcel viewer

SITE PLAN FOR SOAPY BUCKET CARWASH - LAWSON DR. 1415 LAWSON DRIVE GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

PROPERTY DESCRIPTION:

GENERAL INFORMATION:

PARCEL NO.: 4711-09-200-028 (LOT 4)
ZONING: NR PUD (NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT)
LOT AREA: 1.54 ACRES+-

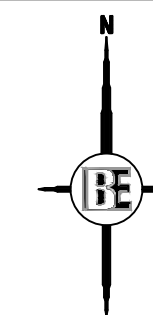
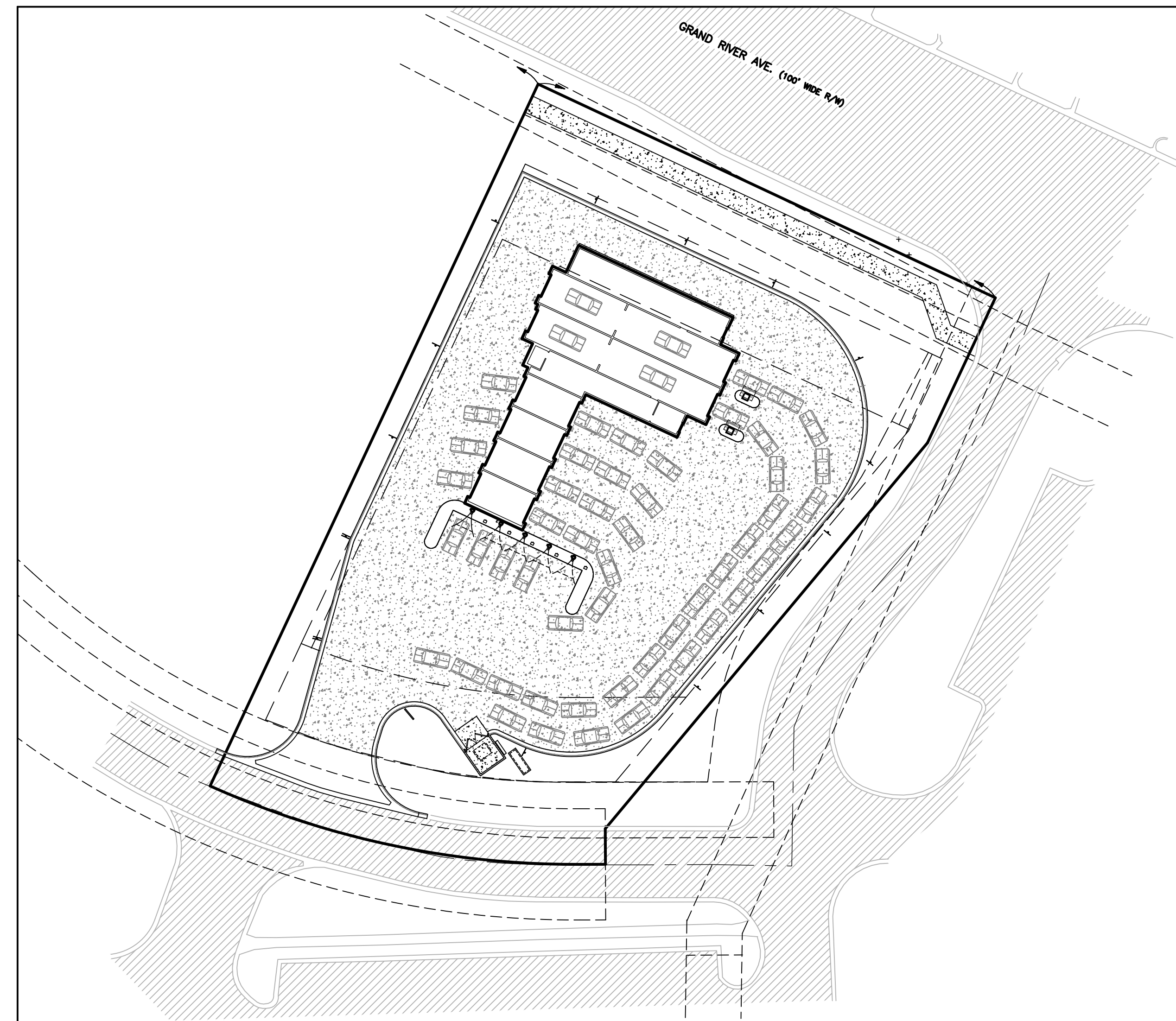
LEGAL DESCRIPTION:

A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the N011h and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; thence S 64°41'00" E 226.83 feet along the South line of said Grand River Avenue; thence S 25°19'00" W 71.98 feet; thence S 40°07'33" W 226.01 feet; thence South 15.97 feet; thence N 89°56'16" W 11.60 feet; thence 171.09 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing and distance of N 77°44'37" W 169.78 feet; thence N 25°19'00" E 348.40 feet to the point of beginning. All of the above containing 1.54 acres. All of the above along with and being subject to a 50' wide Private road Access Easement, the centerline of said easement being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°03'05" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 552.94 feet along the South line of said Grand River Avenue; to a point of beginning; thence S 26°06'30" W 47.03 feet; thence 251.05 feet along the arc of a curve to the left, said curve having a radius of 202.87 feet and a chord bearing and distance of S 09°25'46" E 235.33 feet; thence S 47°14'03" E 308.04 feet; thence 296.81 feet along the arc of a curve to the left, said curve having a radius of 400.00 feet and a chord bearing and distance of S 68°44'20" E 290.05 feet; thence S 89°56'16" E 11.60 feet to a point of ending. The above easement containing 1.05 acres. All of the above being subject to easements, restrictions and right-of-ways of record.



LOCATION MAP

SCALE: +-1"=1,000'



OVERALL SITE MAP

SCALE: 1" = 40'

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	NATURAL FEATURES
5	SITE PLAN
6	CIRCULATION PLAN
7	GRADING & DRAINAGE PLAN
8	SOIL EROSION & SEDIMENTATION CONTROL PLAN
9	UTILITY PLAN
10	LANDSCAPE PLAN
11A	LIGHTING PLAN ON-SITE (PREPARED BY GASSER BUSH)
11B	LIGHTING PLAN OFF-SITE GRAND RIVER AVE.
12	CONSTRUCTION DETAILS-1
13	CONSTRUCTION DETAILS-2
14	CONSTRUCTION DETAILS-3
PLANS BY OTHERS (LINDHOUT ASSOCIATES)	
A1	FLOOR PLAN
A0	EQUIPMENT STANDARDS
A4	EXTERIOR ELEVATIONS

PREPARED FOR:

RUSS SPRINGBORN
3535 HIGH HILLCREST DR
HOWELL, MI 48843
PHONE: 313.350.3358
EMAIL: RUSS@SPRINGBORNPROPERTIES.COM

GENERAL CONTRACTOR:

SCHAFFER CONSTRUCTION, INC.
102 E. GRAND RIVER, BRIGHTON, MI 48116
CONTACT: JOE CHIDESTER, PROJ MGR - OFFICE
EMAIL: JCHIDESTER@SCHAFFERCONSTRUCTION.NET
PHONE: (810) 923-8540

LIGHTING PREPARED BY:

GASSER BUSH ASSOCIATES
30984 INDUSTRIAL RD, LIVONIA, MI 48150
QUOTES@GASSERBUSH.COM
PHONE: 734-266-6705

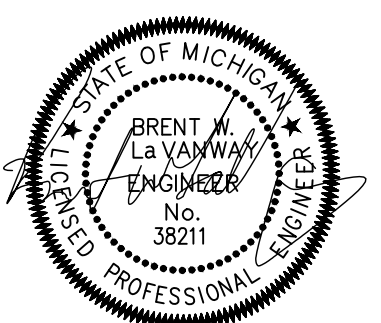
ARCHITECT:

LINDHOUT ASSOCIATES ARCHITECTS, AIA, PC
10465 CITATION DRIVE BRIGHTON, MI 48116
CONTACT: DAVE RICHARDSON
EMAIL: DAR@LINDHOUT.COM
PHONE: (810) 227-5668

PREPARED BY:

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670
CONTACT: PATRICK CLEARY
EMAIL: PATRICKC@BOSSENG.COM



INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

REQUIRED PERMITS & APPROVALS

AGENCY	DATE SUBMITTED	DATE APPROVED
TOWNSHIP ENGINEERING APPROVAL	1/23/24	-
TOWNSHIP PLANNING APPROVAL	1/23/24	-
BRIGHTON AREA FIRE AUTHORITY	1/23/24	-
LCDC SESC	TBD	-

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

NO	BY	CK	REVISION	DATE	JOB NO: 23-134
3	PC		REVIEW COMMENTS (ARCHITECTURAL ONLY)	2/26/24	1
2	PC		REVIEW COMMENTS	1/23/24	
1	PC		REVIEW COMMENTS	12/18/23	
ISSUE DATE: 10/31/23					

GENERAL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
2. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
3. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
...
35. WHERE CITY/TOWNSHIP STANDARD CONSTRUCTION DETAILS/SPECIFICATIONS ARE PROVIDED AND ARE IN CONFLICT WITH NOTES AND SPECIFICATIONS HEREIN, THE CITY/TOWNSHIP STANDARD SHALL GOVERN.

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

GENERAL GRADING & SESC NOTES

- 1. THE CONTRACTOR SHALL HAVE IN PLACE ALL REQUIRED EROSION CONTROL METHODS AS INDICATED ON THE CONSTRUCTION PLANS AND AS REQUIRED BY GENERAL PRACTICE. SPECIFIC MEANS, METHODS AND SEQUENCES OF CONSTRUCTION MAY DICTATE ADDITIONAL SOIL EROSION CONTROL MEASURES BE NEEDED.
2. ACTUAL FIELD CONDITIONS MAY DICTATE ADDITIONAL OR ALTERNATE SOIL EROSION CONTROL MEASURES BE UTILIZED.
...
11. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).

GENERAL LANDSCAPE NOTES

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
2. ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED.
...
SEED MIXTURE SHALL BE AS FOLLOWS:
KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, CLADE, OR PARADE) 30%
RUBY RED OR DAWSON RED FINE FESCUE 30%
ATLANTA RED FESCUE 20%
PENNFINE PERENNIAL RYE 20%

GENERAL UTILITY NOTES

- 1. BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW THE PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. BEDDING SHALL BE OF UNIFORM GRADATION MDOT 6AA STONE OR MDOT CLASS II GRANULAR MATERIAL FOR SANITARY AND STORM PIPE AND MDOT CLASS II GRANULAR MATERIAL ONLY FOR WATERMAIN.
2. WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER.
...
18" MINIMUM VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATERMAIN AND SANITARY/STORM SEWER TO THE MAXIMUM EXTENT POSSIBLE.

GENERAL STORM NOTES

- 1. ALL STORM PIPE LENGTHS ARE SHOWN FROM C/L TO C/L OF STRUCTURE OR FROM C/L OF STRUCTURE TO DISCHARGE END OF FLARED END SECTION.
2. STORM PIPE MATERIALS SHALL BE AS FOLLOWS:
2.1. RCP(REINFORCED CONCRETE PIPE): SHALL MEET THE REQUIREMENTS OF ASTM C76 WITH MODIFIED GROOVED TONGUE AND RUBBER GASKETS MEETING THE REQUIREMENTS OF ASTM C443. RCP TO BE EITHER CLASS IV OR V AS CALLED OUT ON THE PLANS.
...
9. STORM DRAINAGE STRUCTURE COVERS SHALL BE OF THE FOLLOWING (OR APPROVED EQUIV.):
COVER USE FRAME GRADE/BACK
'MH' ALL 1040 SANITARY-SOLID SELF-SEALING STORM-VENTED
'CB' TYPE A CURB 7000-T1-M1 FLAT GRATE WITH VERT. OPEN BACK

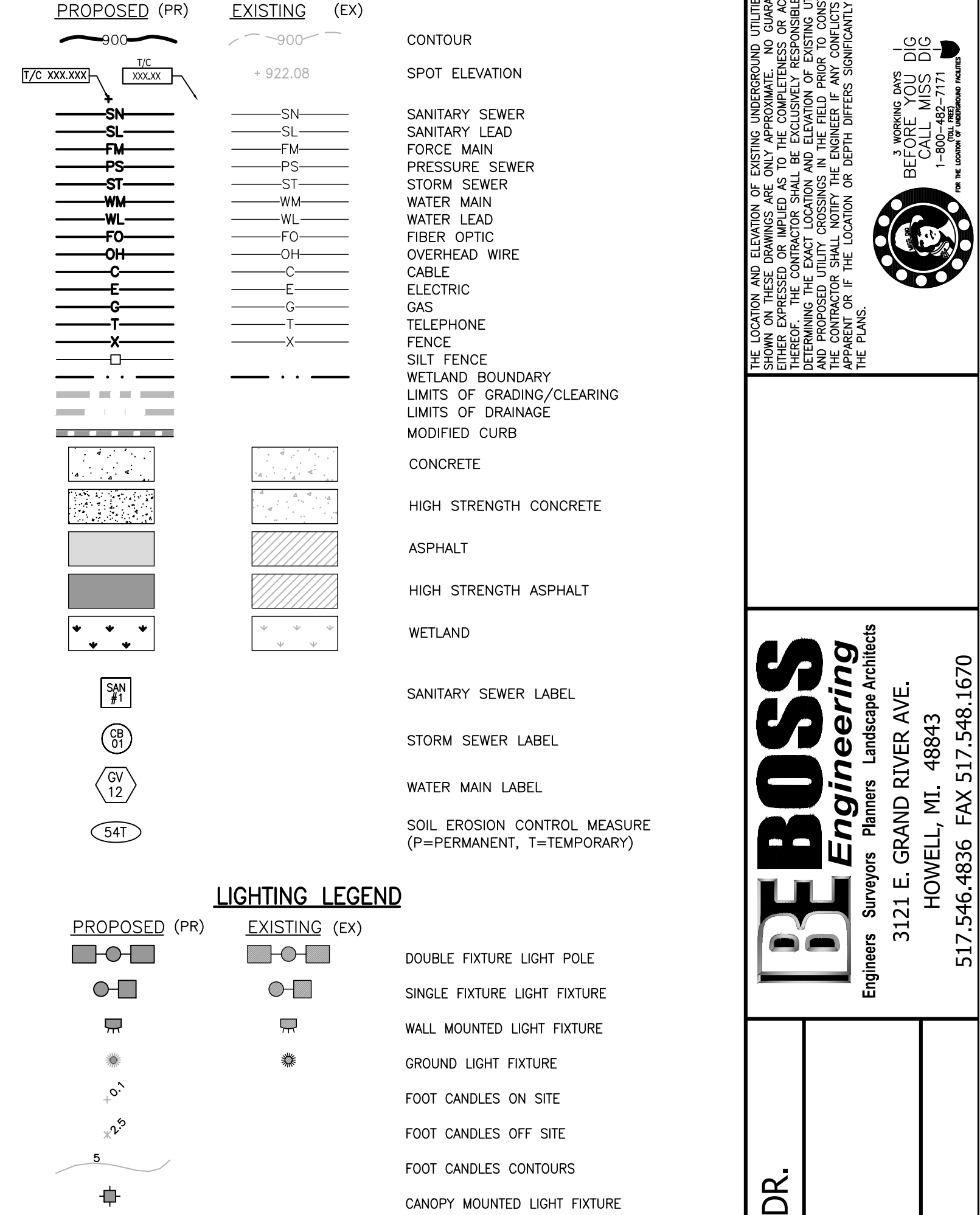
GENERAL SANITARY NOTES

- 1. ALL SANITARY PIPE LENGTHS ARE SHOWN FROM C/L OF STRUCTURE TO C/L OF STRUCTURE.
2.1. SANITARY PIPE MATERIALS SHALL BE AS FOLLOWS:
PVC SDR-23.5 (SANITARY LEADS)
2. ALL PVC SDR SANITARY SEWER PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034 AND D2241. PVC SDR 40 PIPE SHALL MEET THE REQUIREMENTS OF ASTM D1785. GASKET JOINTS FOR SANITARY PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3139 AND D3312.
...
11. SANITARY SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 1.0%.
12. CLEANOUTS SHALL BE INSTALLED EVERY 100', AT ALL BENDS AND STUBS.
13. PUBLIC SANITARY SEWER SHALL BE CENTERED WITHIN A 20 FOOT WIDE SANITARY SEWER EASEMENT.

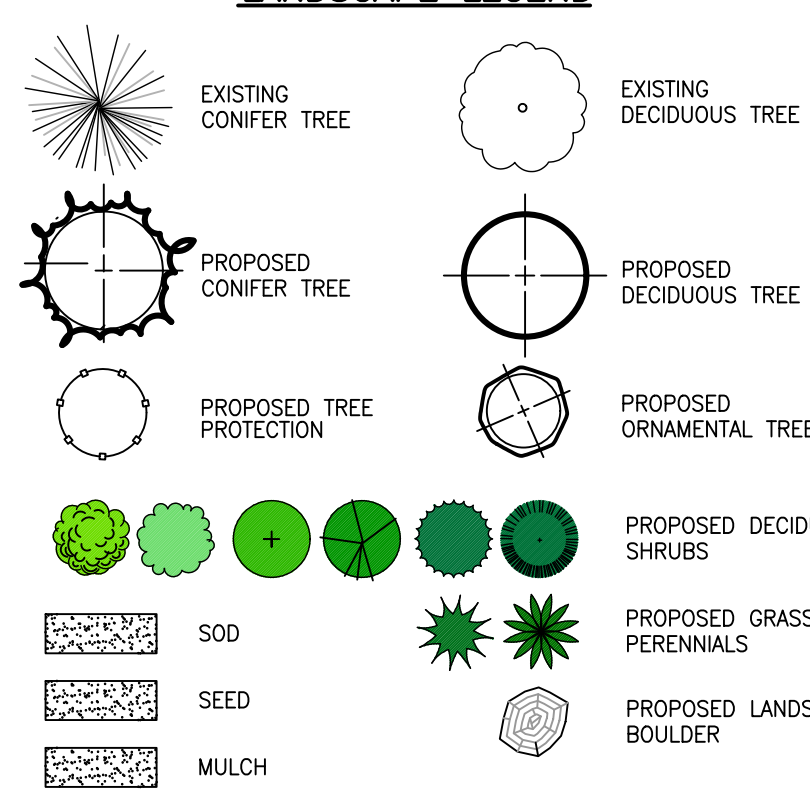
GENERAL WATERMAIN NOTES

- 1. WATERMAIN PIPE MATERIALS SHALL BE AS FOLLOWS:
D.I.P. CL52 (WATERMAIN)
2. WATERMAIN FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO AWWA C110.
3. WATERMANS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. BAC-T SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH 9235.11110 OF THE ADMINISTRATIVE RULES PROMULGATED UNDER MICHIGAN SAFE DRINKING WATER ACT, 1976 PA 399, AS AMENDED.
...
11. PUBLIC WATERMAIN SHALL BE CENTERED WITHIN A 25 FOOT WIDE WATERMAIN EASEMENT.

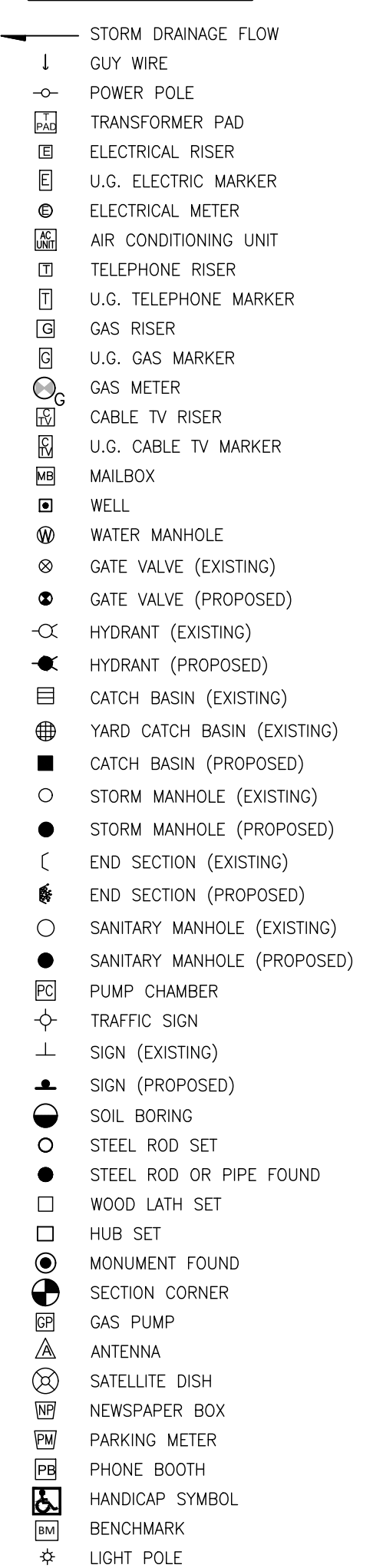
GENERAL NOTES



LANDSCAPE LEGEND



SYMBOL LEGEND



ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes FFE, BFE, GFE, FC, T/A, T/C, T/W, T/P, B/P, F/L, RIM, INV, MH, CB, RY, YD, RD, FES, CMP, CPP, RCP, HDPE, PVC, DIP, CV, G/W, G/VB, HYD, FDC, UP, NFV, TBR, L, P, and L.C.R.-LIVINGSTON COUNTY RECORDS (M&R) MEASURED AND RECORD L.O.B.POINT OF BEGINNING.

FOR SITE PLAN APPROVAL ONLY! NOT FOR CONSTRUCTION



BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT SOAPY BUCKET CARWASH - LAWSON DR.

PREPARED FOR SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

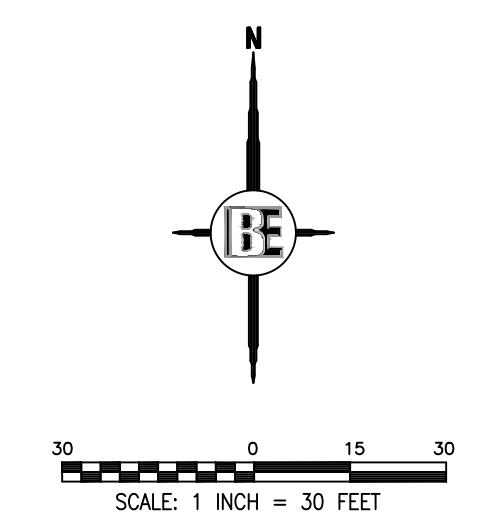
DATE

Table with 3 columns: Reviewer, Date, and Title. Includes 3 PC REVIEW COMMENTS (2/26/24), 2 PC REVIEW COMMENTS (1/23/24), and 1 PC REVIEW COMMENTS (12/18/23).

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: NO SCALE
JOB NO: 23-134
DATE: 10/31/23

SHEET NO. 2 BOSS Engineering

N 1/4 COR.
SEC. 9
T2N-R5E
(F-03)



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

BEFORE ANY UTILITIES ARE LOCATED, THE ENGINEER SHALL OBTAIN RECORD DRAWINGS AND FIELD SURVEY DATA TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THESE RECORDS AS THEY ARE NOT GUARANTEED. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THESE RECORDS AS THEY ARE NOT GUARANTEED.

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HOWELL, MI. 48843
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GENERAL SURVEY NOTES:

1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
4. ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD88 DATUM)
5. CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS SUPPLIED BY MHOG.

SITE BENCHMARKS (NAVD88):

- BM #200 = BM ARROW TOP HYDRANT
ELEV.=981.66
- BM #201 = BM CHIS X W/S LPOLE CONC BASE
ELEV.=980.88

PROPERTY DESCRIPTION AS PROVIDED:

Land situated in the Township of Genoa, County of Livingston, State of Michigan, described as:
A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; thence S 64°41'00" E 226.83 feet along the South line of said Grand River Avenue; thence S 25°19'00" W 71.98 feet; thence S 40°07'33" W 226.01 feet; thence South 15.97 feet; thence N 89°56'16" W 11.60 feet; thence 171.09 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing and distance of N 77°44'37" W 169.78 feet; thence N 25°19'00" E 348.40 feet to the point of beginning. All of the above containing 1.54 acres. All of the above along with and being subject to a 50' wide Private road Access Easement, the centerline of said easement being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 552.94 feet along the South line of said Grand River Avenue; to a point of beginning; thence S 26°06'30" W 47.03 feet; thence 251.05 feet along the arc of a curve to the left, said curve having a radius of 202.87 feet and a chord bearing and distance of S 09°25'46" E 235.33 feet; thence S 47°14'03" E 308.04 feet; thence 296.81 feet along the arc of a curve to the left, said curve having a radius of 400.00 feet and a chord bearing and distance of S 68°44'20" E 290.05 feet; thence S 89°56'16" E 11.60 feet to a point of ending. The above easement containing 1.05 acres. All of the above being subject to easements, restrictions and right-of-ways of record.

Commonly known as: 1415 Lawson Drive, Howell, Michigan 48843
Tax Identification No.: 11-09-200-028

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
FOR: 3535 HIGH HILLCREST DRIVE
HOWELL, MI 48843
313-350-3588

TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

NO	PC	TOWNSHIP REVIEW COMMENTS	DATE
1	PC	TOWNSHIP REVIEW COMMENTS	12-18-23
2	PC	TOWNSHIP REVIEW COMMENTS	1-23-24

DATE: 10-31-23
SHEET NO. 3

BEBOSS
Engineering

STORM SEWER INVENTORY:

- STORM CB #1
RIM=975.91
INV. NW=970.21 (24" CONC.)
INV. SE=970.11 (24" CONC.)
- STORM CB #2
RIM=972.39
INV. NW=966.99 (24" CONC.)
- STORM CB #3
RIM=972.04
INV. SE=968.59 (12" CONC.)
- STORM CB #4
RIM=972.04
INV. NW=968.54 (12" CONC.)
INV. S=968.54 (12" CONC.)
(FULL OF WATER)
- STORM CB #5
RIM=977.27
INV. NE=968.07 (15" CONC.)
INV. S=968.12 (15" CONC.)
- STORM CB #6
RIM=977.32
INV. N=967.82 (15" CONC.)
INV. E=967.02 (36" CONC.)
INV. S=968.97 (24" CONC.)
INV. W=968.12 (36" CONC.)
- STORM CB #7
RIM=979.02
INV. S=968.92 (36" CONC.)
INV. NW=968.42 (36" CONC.)
- STORM CB #8
RIM=976.59
INV. SE=969.69 (36" CONC.)
INV. NE=970.39 (24" CONC.)
INV. NW=970.49 (24" CONC.)
INV. SW=971.79 (24" CONC.)
- STORM CB #9
RIM=976.56
INV. SW=970.56 (24" CONC.)
INV. NE=970.66 (6" CONC.)

SANITARY SEWER INVENTORY:

- SANITARY MANHOLE #1
RIM=980.62
INV. W=972.12 (8")
INV. SE=971.42 (8")
- SANITARY MANHOLE #2
RIM=978.18
INV. S=965.43 (8")
INV. NE=965.18 (8")
- SANITARY MANHOLE #3
RIM=972.52
INV. SW=964.02 (8")
INV. SE=964.07 (8")
INV. NE=963.67 (8")
INV. NW=963.92 (8")
- SANITARY MANHOLE #4
RIM=972.29
INV. SW=962.99 (8")
INV. NE=968.07 (15" CONC.)
INV. NW=962.19 (8")

OUTLOT 3

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 4

PARCEL
#4711-09-200-028
1.54 AC ±

1415 LAWSON DR.
ZONED NR PUD

OUTLOT 5

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 6

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 7

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 8

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 9

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 10

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 11

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 12

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 13

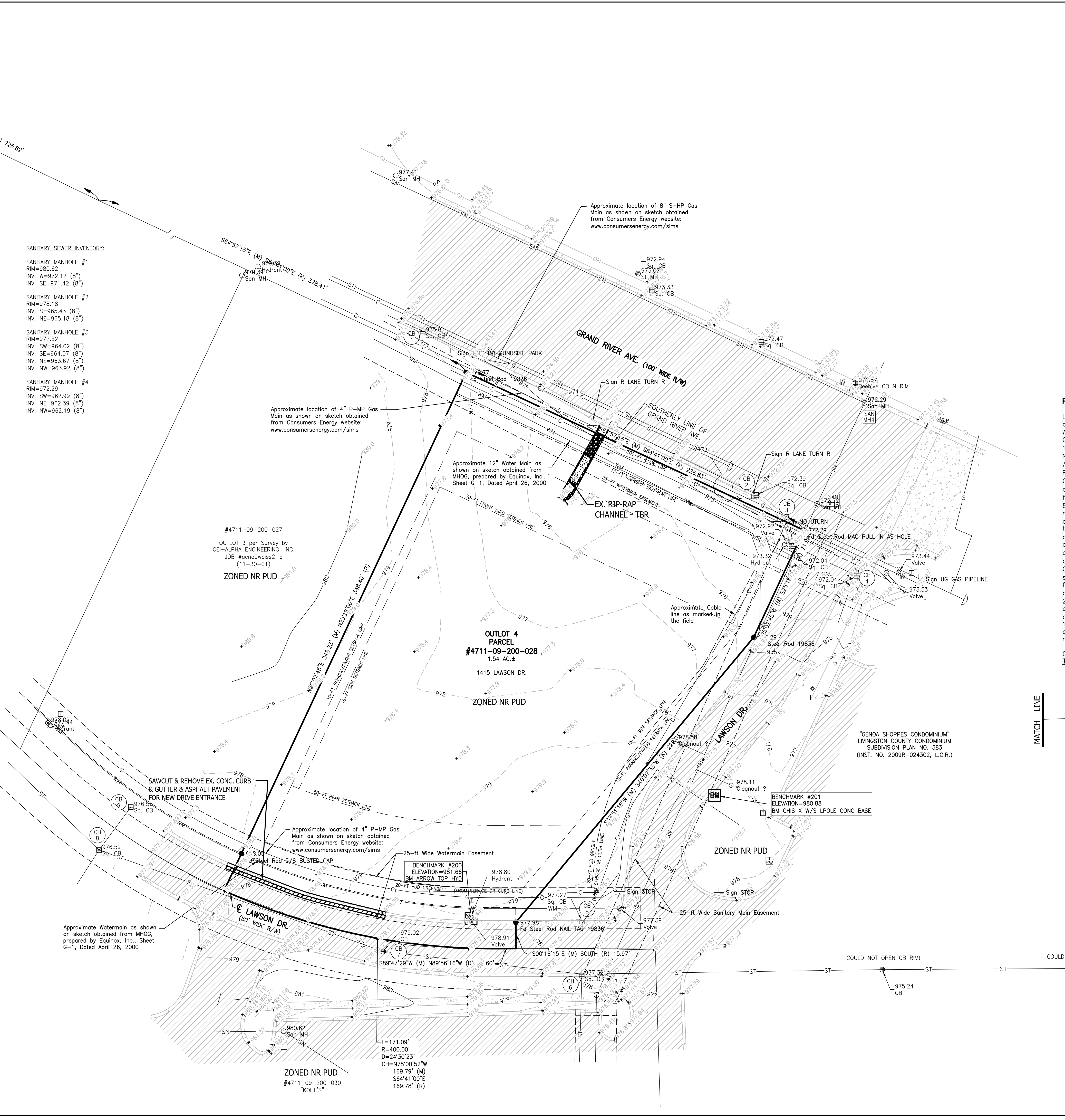
per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 14

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)

OUTLOT 15

per Survey by
CEI-ALPHA ENGINEERING, INC.
JOB #geno2weiss2-b
(11-30-01)



MATCH LINE

MATCH LINE

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

CENTER
SEC. 9
T2N-R5E
(F-04)

N 1/4 COR.
SEC. 9
T2N-R5E
(F-03)

CENTER
SEC. 9
T2N-R5E
(F-04)

STORM SEWER INVENTORY:

STORM CB #1	RIM=975.91
INV. NW=970.21 (24" CONC.)	INV. SE=970.11 (24" CONC.)
STORM CB #2	RIM=972.39
INV. NW=966.99 (24" CONC.)	
STORM CB #3	RIM=972.04
INV. SE=968.59 (12" CONC.)	
STORM CB #4	RIM=972.04
INV. NW=968.54 (12" CONC.)	INV. S=968.54 (12" CONC.) (FULL OF WATER)
STORM CB #5	RIM=977.27
INV. NE=968.07 (15" CONC.)	INV. S=968.12 (15" CONC.)
STORM CB #6	RIM=977.32
INV. N=967.82 (15" CONC.)	INV. E=967.02 (36" CONC.)
INV. S=968.97 (24" CONC.)	INV. W=968.12 (36" CONC.)
STORM CB #7	RIM=979.02
INV. E=968.92 (36" CONC.)	INV. NW=968.42 (36" CONC.)
STORM CB #8	RIM=976.59
INV. SE=969.69 (36" CONC.)	INV. NE=970.39 (24" CONC.)
INV. NW=970.49 (24" CONC.)	INV. SW=971.79 (24" CONC.)
STORM CB #9	RIM=976.56
INV. SW=970.56 (24" CONC.)	INV. NE=970.66 (6" CONC.)

SANITARY SEWER INVENTORY:

SANITARY MANHOLE #1	RIM=980.62
INV. W=972.12 (8")	INV. SE=971.42 (8")
SANITARY MANHOLE #2	RIM=978.18
INV. S=965.43 (8")	INV. NE=965.18 (8")
SANITARY MANHOLE #3	RIM=972.52
INV. SW=964.02 (8")	INV. SE=964.07 (8")
INV. NW=963.67 (8")	INV. NW=963.92 (8")
SANITARY MANHOLE #4	RIM=972.29
INV. SW=962.99 (8")	INV. NE=962.39 (8")
INV. NW=962.19 (8")	

Approximate location of 8" S-HP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

Approximate location of 4" P-MP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

Approximate 12" Water Main as shown on sketch obtained from MHO, prepared by Equinox, Inc., Sheet G-1, Dated April 26, 2000

Approximate Watermain as shown on sketch obtained from MHO, prepared by Equinox, Inc., Sheet G-1, Dated April 26, 2000

OUTLOT 3 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno9weiss2-b (11-30-01)

OUTLOT 4 PARCEL #4711-09-200-028, 1.54 AC.± 1415 LAWSON DR. ZONED NR PUD

Approximate location of 4" P-MP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

BENCHMARK #200 ELEVATION=981.66 BM ARROW TOP HYD

25-ft Wide Watermain Easement

25-ft Wide Sanitary Main Easement

500'±16'±15"E (M) SOUTH (R) 15.97'

S88°47'29"W (M) N89°56'16"W (R) 11.60'

L=171.09'
R=400.00'
D=24'30"±23"
CH=N78°00'52"W
169.79' (M)
S64°41'00"E
169.78' (R)

ZONED NR PUD #4711-09-200-030 "KOHL'S"

LEGEND

- NATURAL FEATURE TYPE BOUNDARY
- EXISTING DRAINAGE FLOW
- EXISTING 1-FEET CONTOURS

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

NATURAL FEATURES NARRATIVE:

NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON SEPTEMBER 1, 2023. SITE IS A VACANT OUTLOT OF AN OVERALL PLANNED UNIT DEVELOPMENT (PUD). IT CONSISTS ENTIRELY OF MOWED LAWN. THERE ARE NO TREES OR SHRUBS ON SITE. THERE IS A SMALL RIPPLED-RAPPAED SWALE AREA NEAR THE NORTHEAST CORNER OF THE SITE PRESUMABLY TO FACILITATE DRAINAGE OFF THE SITE.

THE ENTIRE SITE IS RELATIVELY FLAT WITH SLOPES RANGING FROM 1 -4% TOWARD GRAND RIVER ROAD. SOILS ARE ALSO UNIFORM PER USDA NRCS SOILS DATA CONSISTING OF MIAMI LOAM, HOWEVER THE STEEPER INDICATED SLOPES ALONG THE WEST SIDE ACTUALLY CONTINUE TO FALL INTO THE MoB 2-6% RANGE (SEE PLAN)

NRCS EXISTING SOILS DATA:

MoB	MIAMI LOAM, 2-6% SLOPES
MoC	MIAMI LOAM, 6-12% SLOPES

ADDITIONAL SOIL INFORMATION IS ALSO CONTAINED IN GEOTECHNICAL INVESTIGATION REPORT BY G2 CONSULTING GROUP, DATED 11-20-2023

SURROUNDING AREAS MAP

HIGH DENSITY RESIDENTIAL

REGIONAL COMMERCIAL

SOAPY BUCKET CARWASH - LAWSON DR.

PREPARED FOR: SPRINGBORN PROPERTIES 3335 HIGH HILLCREST DRIVE HOWELL, MI. 48843 313.350.3388

TITLE: NATURAL FEATURES

NO	BY	DATE	REVISION PER
3	PC	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)
2	PC	1/23/24	REVIEW COMMENTS
1	PC	12/18/23	REVIEW COMMENTS
NO	BY	DATE	REVISION PER

DESIGNED BY: PC

DRAWN BY: JS

CHECKED BY:

SCALE: 1" = 30'

JOB NO: 23-134

DATE: 10/31/23

SHEET NO. 4

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

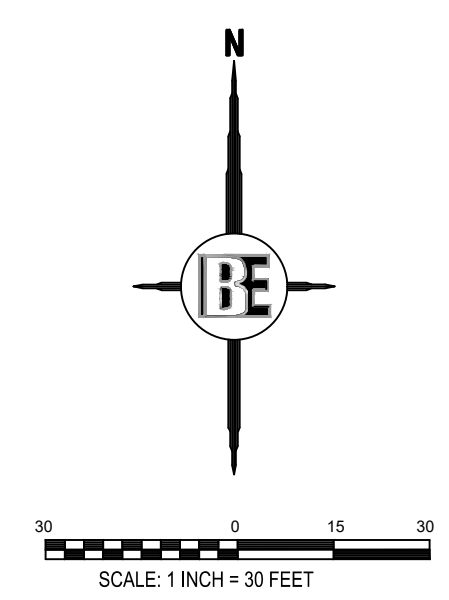
BE Engineering

Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE LOCATION OR DEPTH OF ANY UTILITIES IS SHOWN ON THE PLANS.

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1-800-487-7171
www.be-engineering.com

Packet Page 87



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

SITE STATISTICAL DATA:
 ZONED: 'NR PUD' - PER PUD AGREEMENT SETBACKS TO FOLLOW GCD ZONING
 DEVELOPMENT TYPE/USE PROPOSED: CARWASH
 ADJACENT ZONING: NR PUD

MIN LOT: 1.0 AC SIZE; MIN LOT WIDTH 150 FT; MAX DEPTH/WIDTH RATIO 4:1
 MAX BLDG. HGT: 35-FT (2-STORIES) (TO 'BEAM HEIGHT' PER ORDINANCE)
 MAX LOT COVERAGES: BUILDING 35%, IMPERVIOUS SURFACES 75%

GROSS SITE AREA: ±1.52 AC (NET 1.39 AC [60,550 SQFT.] EXCL. OF R.O.W.)
 MIN. LOT WIDTH ALONG GRAND RIVER AVE: 226.81-FT
 DEPTH-WIDTH RATIO: 1.54:1
 PROPOSED BUILDING HEIGHT: 31.5-FT
 BUILDING COVERAGE (FOOTPRINT): 6,877 SQFT (11.4%)
 IMPERVIOUS SURFACE (EXCL. OF BLDG.): 35,360 SQFT (0.81 AC) (58.4%)
 PERVIOUS SURFACE: 18,313 SQFT. (0.42 AC) (30.2%)
 TOTAL LOT COVERAGE (BLDG + IMPERVIOUS): 42,237 / 60,550 = 69.8%

MIN. SETBACKS REQUIRED AT PROPOSED BUILDING (NO ADJACENT RESIDENTIAL):

FRONT - NORTH:	35-FT (SERVICE DR ONLY)	58-FT
REAR - SOUTH:	50-FT (FROM R.O.W.)	125.4-FT (VARIES, MIN)
SIDE - EAST:	15-FT (FROM R.O.W.)	87.6-FT (VARIES, MIN)
SIDE - WEST:	15-FT	36.5-FT (VARIES, MIN)

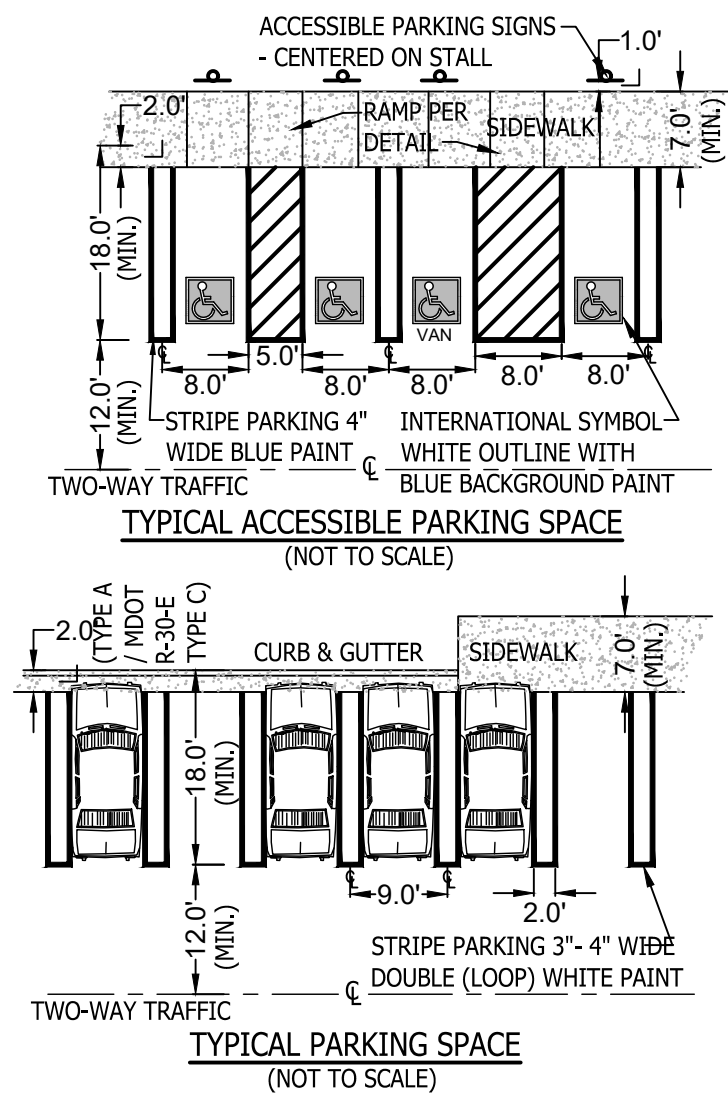
PARKING CALCULATIONS:
 CARWASH = 2 SPACES + 1 SPACE / EMPLOYEE PEAK SHIFT = 3 SPACES
 INCLUDING MIN 1 VAN ACCESSIBLE BARRIER-FREE SPACE
 STACKING SPACES: MIN 15 PER EACH AUTOMATIC BAY
 MIN 2 EACH PER SELF-SERVE BAY
 LOADING SPACE: MIN 1, 10-FT x 50-FT x 14-FT CLEAR, REQUIRED

PROVIDED PARKING: 5 VACUUM STATIONS + 1 EMPLOYEE = 6 TOTAL SPACES
 (INCLUDING 1 VAN ACCESSIBLE BARRIER-FREE SPACE)
 PROVIDED STACKING SPACES: 20 COMBINED FOR AUTOMATIC BAYS
 (SPLIT LANES) + 4 IN BAYS
 MIN. 2+ EACH FOR 4 SELF-SERVE BAYS
 [IN-BAY-TYPE SYSTEM ONLY]

PROVIDED LOADING = N/A

GENERAL NOTES

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL BE BUILDING MOUNTED AND SHALL MEET DEVELOPMENT'S PUD AND TOWNSHIP SIGN ORDINANCE REQUIREMENTS.
- THE BUILDING ADDRESS SHALL BE A MINIMUM 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- A KEY BOX/KNOX BOX SHALL BE LOCATED NEAR THE FRONT ENTRY (FINAL LOCATION TO BE DETERMINED BETWEEN THE OWNER & FIRE MARSHALL).
- ONE SIDE OF THE SITE CIRCULATION ROUTE SHALL BE MARKED AS A FIRE LANE AND SHALL HAVE APPROPRIATE SIGNAGE.
- SITE CIRCULATION ROUTE SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 84,000 LBS.
- A MINIMUM VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED THROUGHOUT THE SITE. THIS INCLUDES ENCROACHMENTS FROM LARGE TREE CANOPIES, LIGHTING, ETC.
- DURING THE CONSTRUCTION PROCESS, THE BUILDING WILL BE EVALUATED FOR EMERGENCY RESPONDER RADIO SIGNAL STRENGTH. IF COVERAGE IS FOUND TO BE QUESTIONABLE OR INADEQUATE, AN APPROVED CONTRACTOR SHALL BE HIRED TO PERFORM A GRID TEST OF THE FACILITY. IF THE SIGNAL STRENGTH COVERAGE IS FOUND TO BE NON-COMPLIANT, AN APPROVED EMERGENCY RESPONDER RADIO COVERAGE SYSTEM SHALL BE PROVIDED IN THE BUILDING.
- SITE LIGHTING SHALL BE PLACED ON TIMERS TO BE OFF DURING NON-USE HOURS TO THE EXTENT POSSIBLE WHILE MAINTAINING SITE SAFETY. SITE LIGHTING SHALL BE PROGRAMMED TO TURN OFF AT NIGHT WHEN ACTIVITIES ARE NO LONGER OCCURRING ON THE PROPERTY.



TRIP GENERATION SUMMARY

LAND USE DESCRIPTION*	ITE CAT.	SIZE	UNIT	AVG DAILY TRAFFIC (vpd)	WEEKDAY AM PEAK HOUR		WEEKDAY PM PEAK HOUR				
					TOTAL	IN	TOTAL	IN	OUT		
CARWASH SELF-SERVICE	947	4	WASH STALLS	432	32	16	16	32	16	16	
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%	
CARWASH AUTOMATIC (NON-TUNNEL TYPE)	948	3.26	TH-GFA**	***	46	23	23	38	19	19	
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%	
TOTALS					-	78	39	39	70	35	35
GENOA TOWNSHIP THRESHOLD FOR TIS						100	100	100	100	100	100
TIS REQUIRED						NO	NO	NO	NO	NO	NO

* TRIP DATA PER INSTITUTE OF TRAFFIC ENGINEERS (ITE) TRIP GENERATION MANUAL 10TH EDITION - VOLUME 2-PART 3
 ** PER THOUSAND SQUARE FEET OF GROSS FLOOR AREA
 *** TOTAL DAILY TRAFFIC NOT LISTED; AM PEAK HOUR IS MAX WEEKDAY PEAK HOUR OF ADJ TRAFFIC IN PM

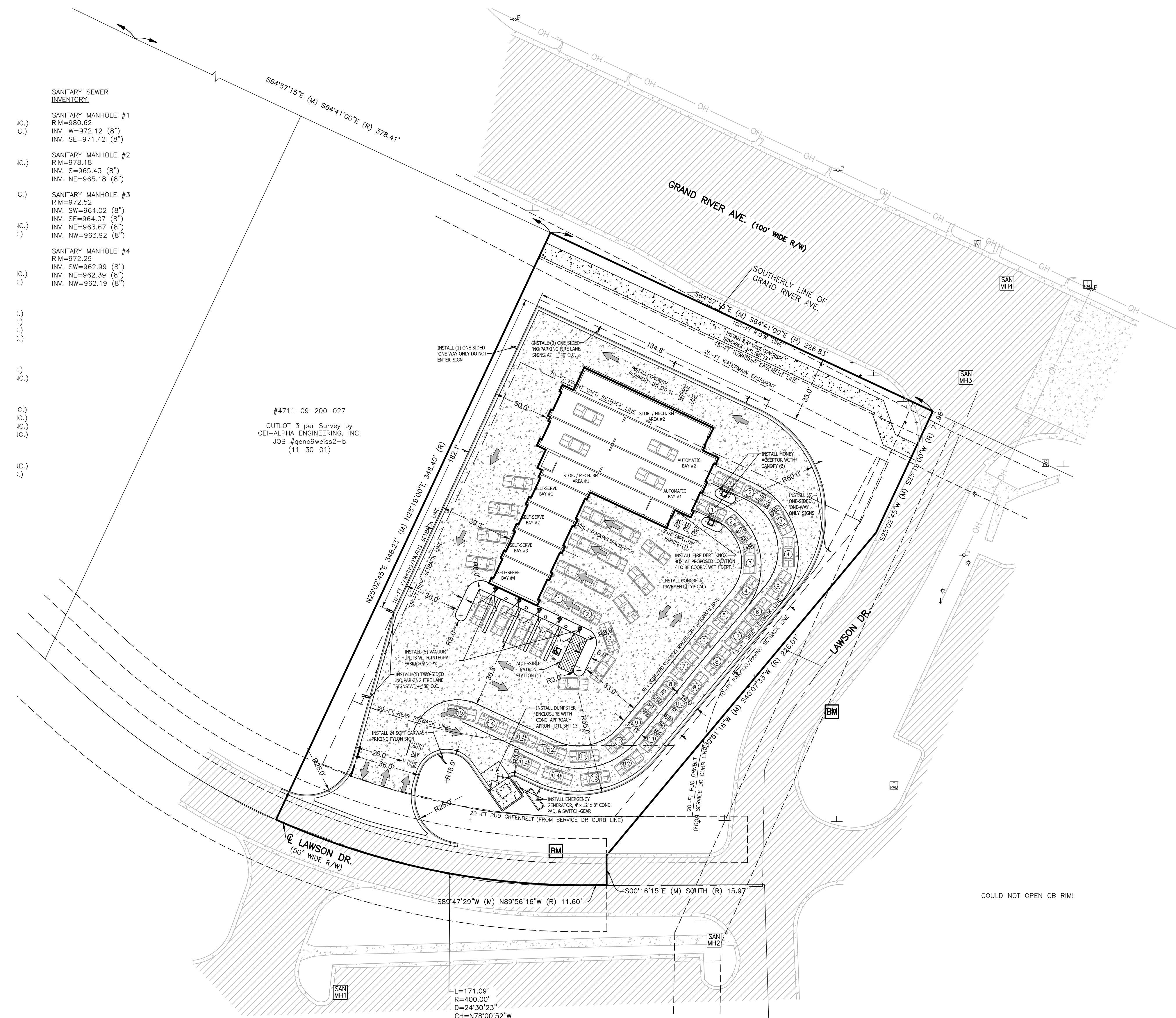
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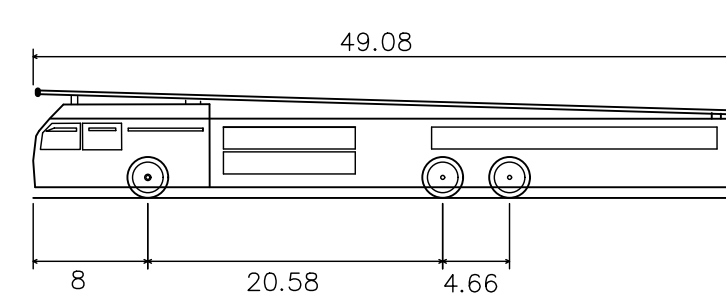
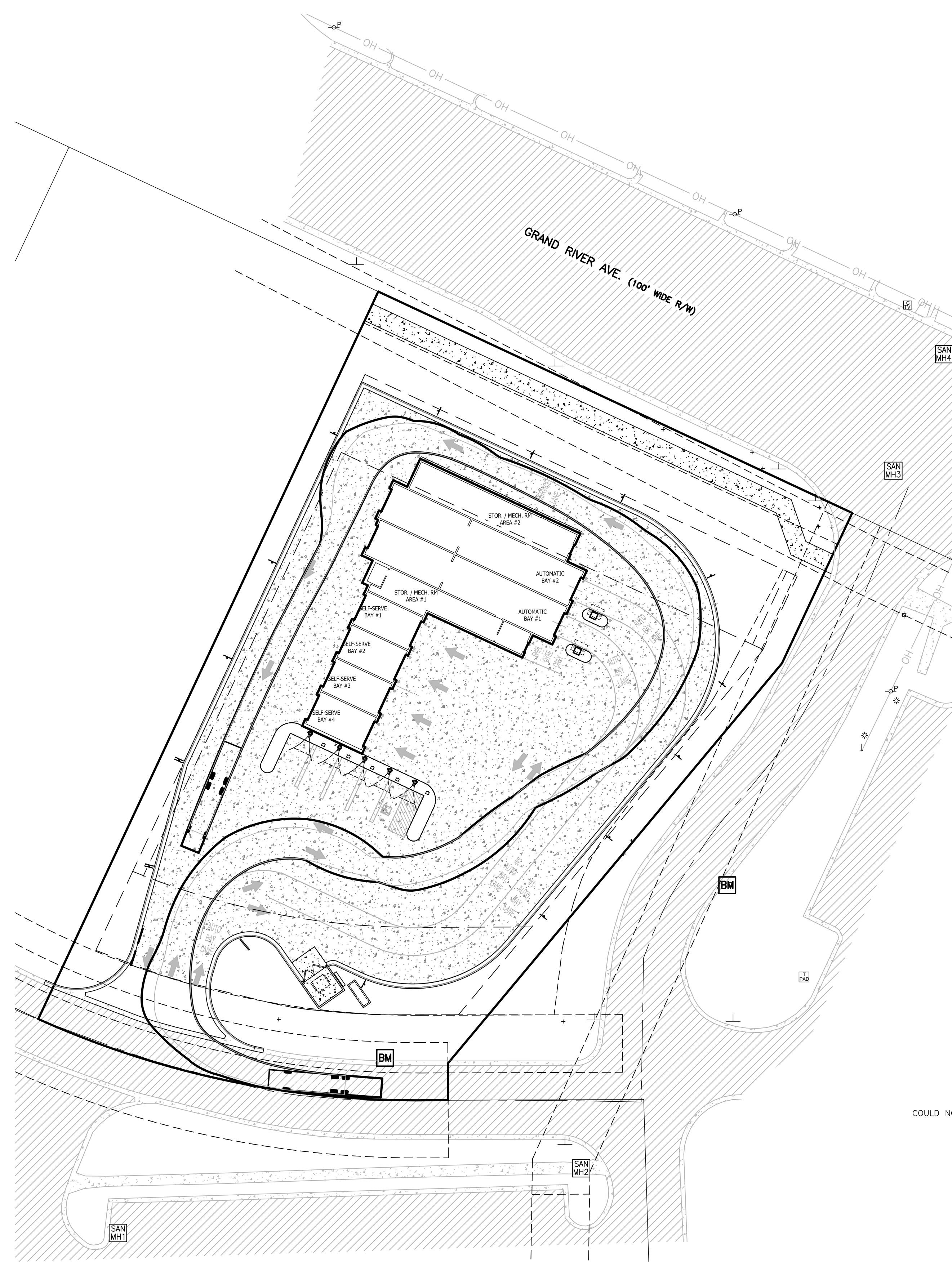
- SANITARY SEWER INVENTORY:**
- (C.) SANITARY MANHOLE #1
RIM=980.62
INV. W=972.12 (8")
INV. SE=971.42 (8")
 - (C.) SANITARY MANHOLE #2
RIM=978.18
INV. S=965.43 (8")
INV. NE=965.18 (8")
 - (C.) SANITARY MANHOLE #3
RIM=972.52
INV. SW=964.02 (8")
INV. SE=964.07 (8")
INV. NE=963.67 (8")
INV. NW=963.92 (8")
 - (C.) SANITARY MANHOLE #4
RIM=972.29
INV. SW=962.99 (8")
INV. NE=962.39 (8")
INV. NW=962.19 (8")

#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #geno9weiss2-b
 (11-30-01)

#4711-09-200-030
 "KOHLS"

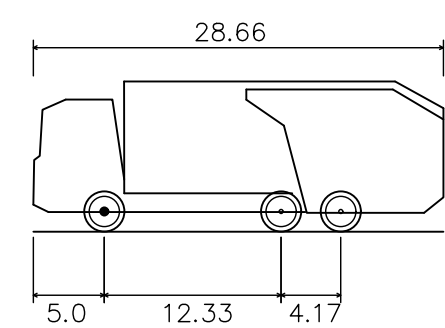
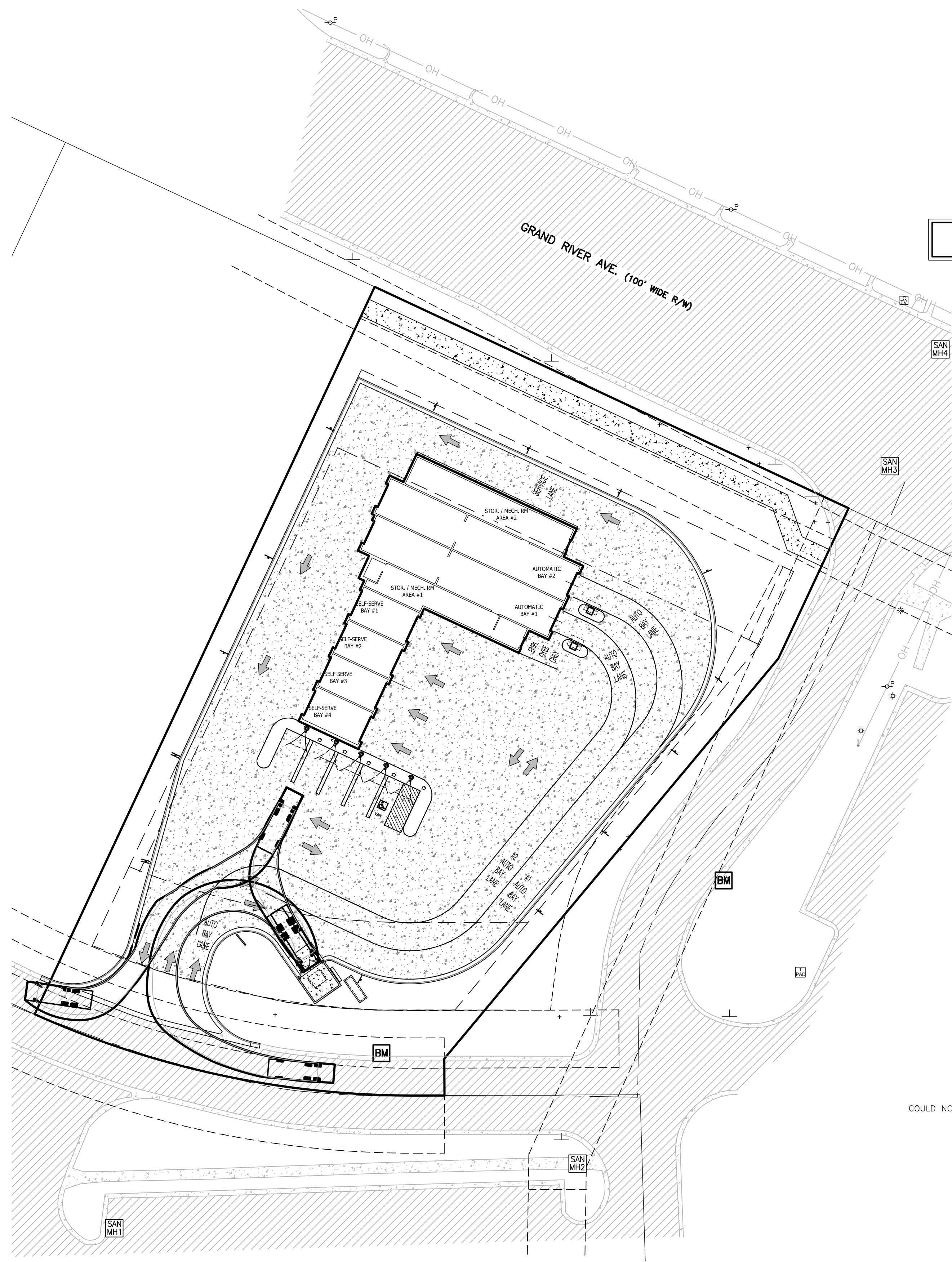
L=171.09'
 R=400.00'
 D=24°30'23"
 CH=N78°00'52"W
 169.79' (M)
 S64°41'00"E
 169.78' (R)





**FIRE LADDER TRUCK
VEHICLE TRACKING PLAN**

Brighton Area Fire Authority
 Overall Length 49.083ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 45.00°



**WASTE HAULING TRUCK
VEHICLE TRACKING PLAN**

Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd
 Overall Length 28.6ft
 Overall Width 8.0ft
 Overall Body Height 10.5ft
 Min Body Ground Clearance 1.3ft
 Track Width 8.0ft
 Lock-to-lock time 6.0s
 Curb to Curb Turning Radius 33.5ft

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

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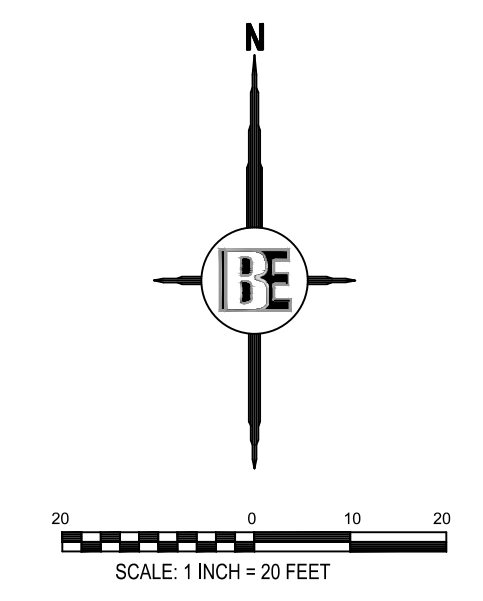
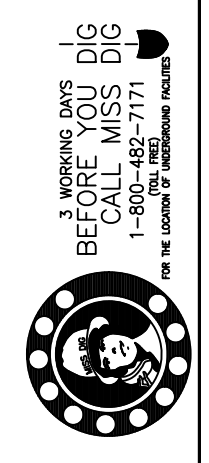
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 BE Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3332 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3358
 TITLE: CIRCULATION PLAN

NO	BY	DATE	REVISION PER
3	PC	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)
2	PC	1/23/24	REVIEW COMMENTS
1	PC	12/18/23	REVIEW COMMENTS
NO	BY	DATE	REVISION PER

DESIGNED BY: PC
 DRAWN BY: DH
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. 6

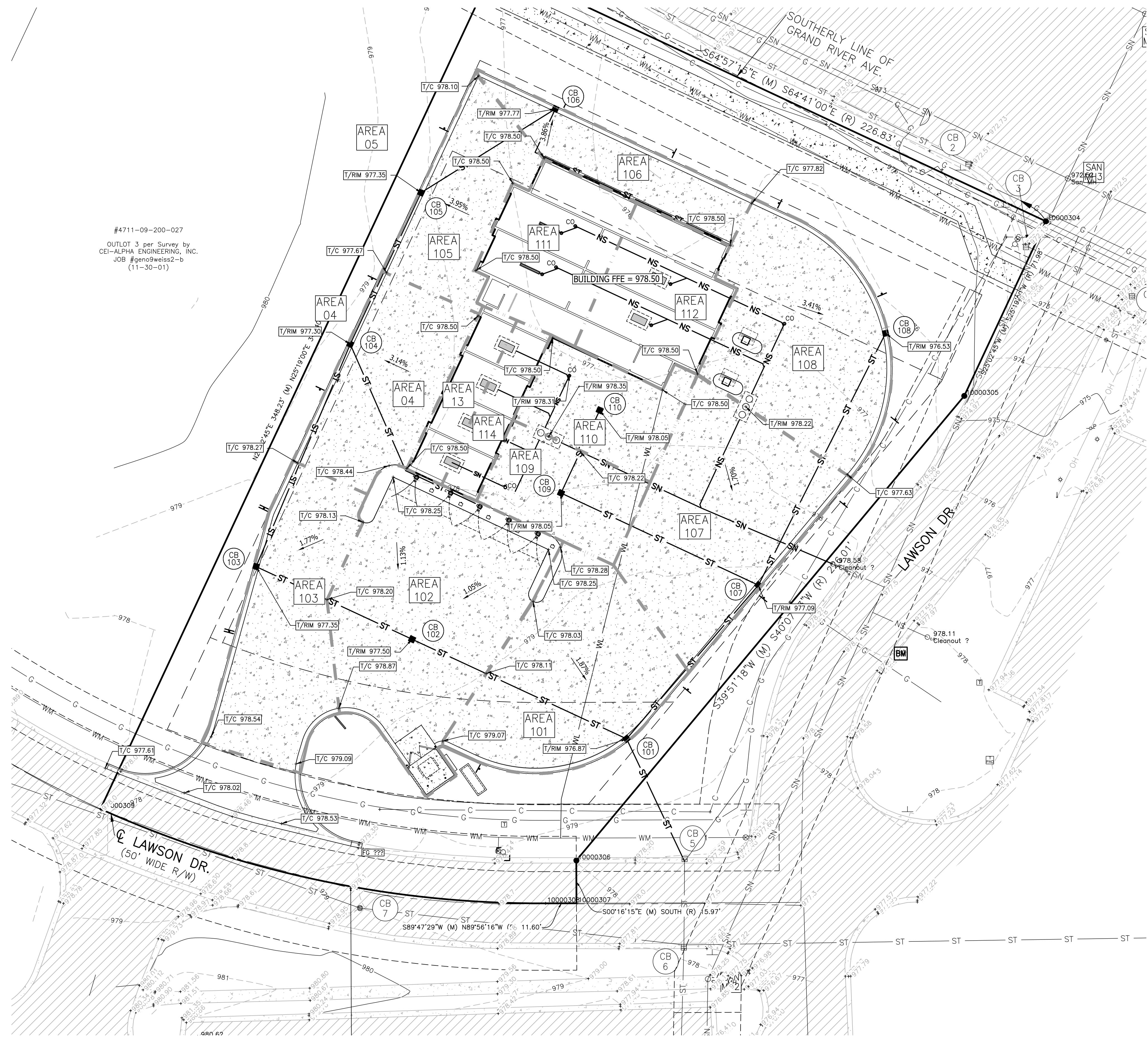
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SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

DRAINAGE AREA TABLE				
DRAINAGE AREA	TOTAL AREA (AC)	IMP. AREA (AC)	C VALUE	A ² C
101	0.10	0.10	0.90	0.09
102	0.14	0.14	0.90	0.13
103	0.09	0.09	0.90	0.08
104	0.07	0.07	0.90	0.06
105	0.06	0.06	0.90	0.05
106	0.04	0.04	0.90	0.04
107	0.11	0.11	0.90	0.10
108	0.11	0.11	0.90	0.10
109	0.04	0.04	0.90	0.04
110	0.05	0.05	0.90	0.04
111	0.06	0.06	0.90	0.05
112	0.06	0.06	0.90	0.05
113	0.02	0.02	0.90	0.02
114	0.02	0.02	0.90	0.02
TOTALS	0.97	0.97	0.90	0.87

#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #geno9weiss2-b
 (11-30-01)



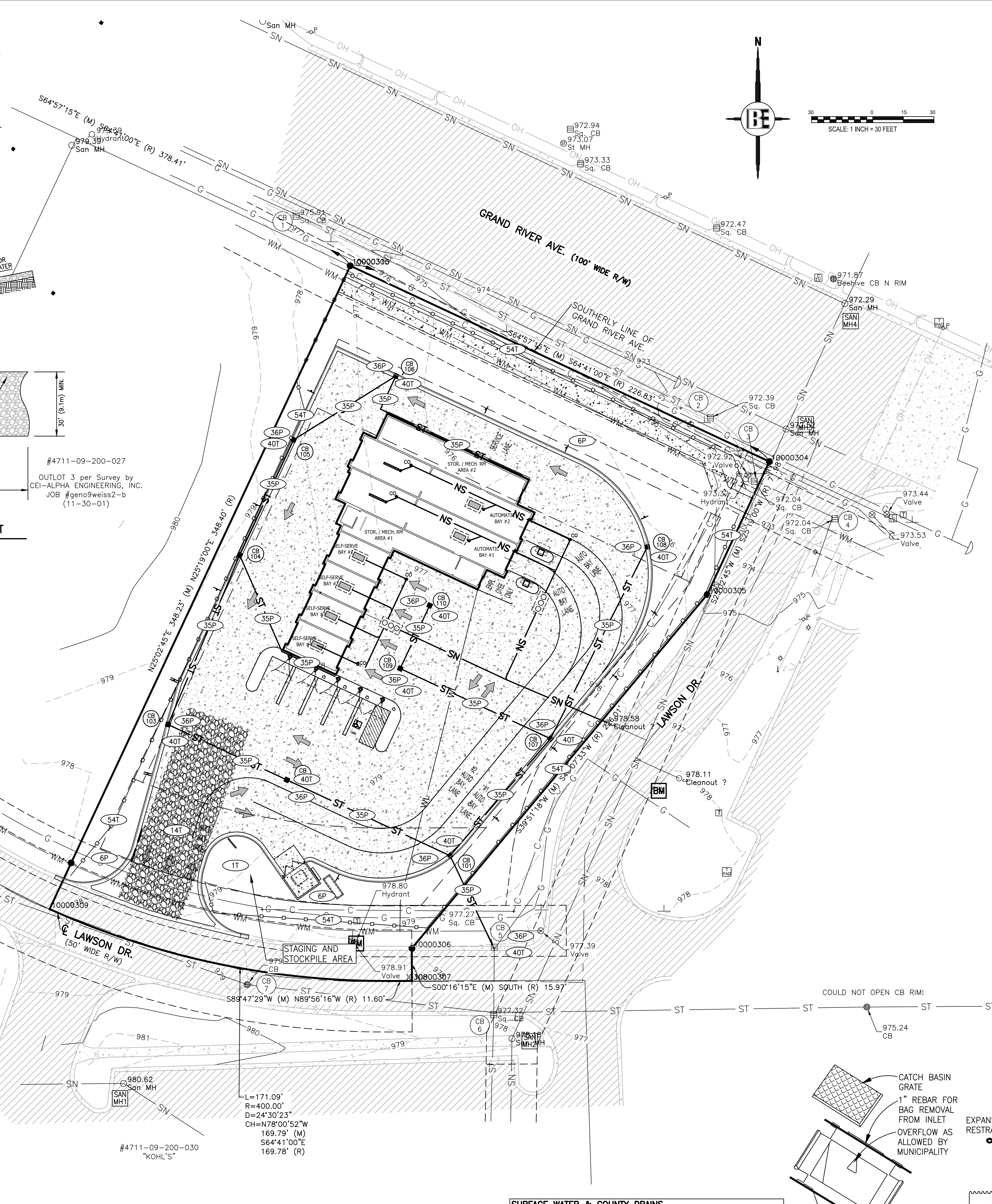
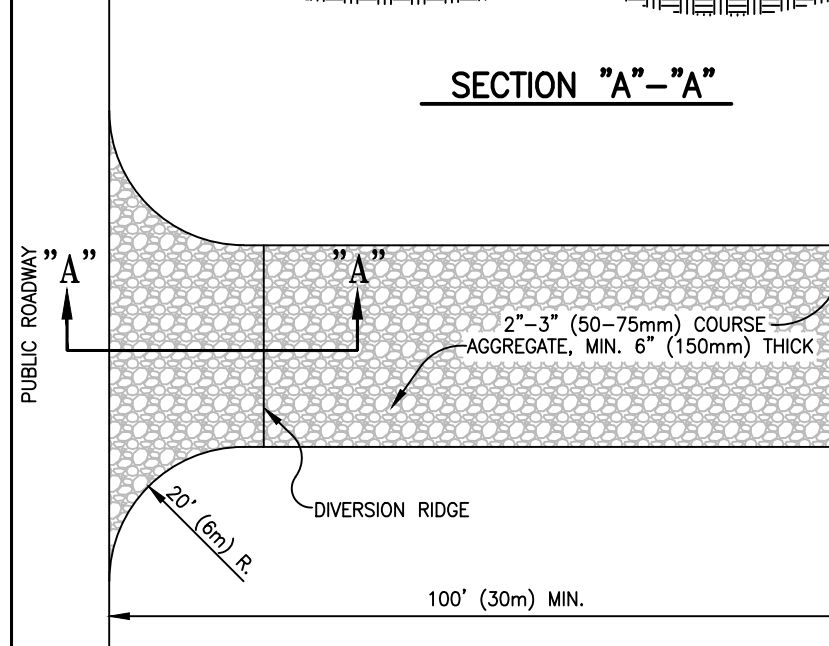
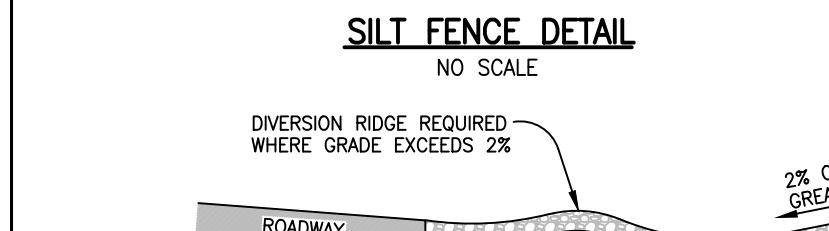
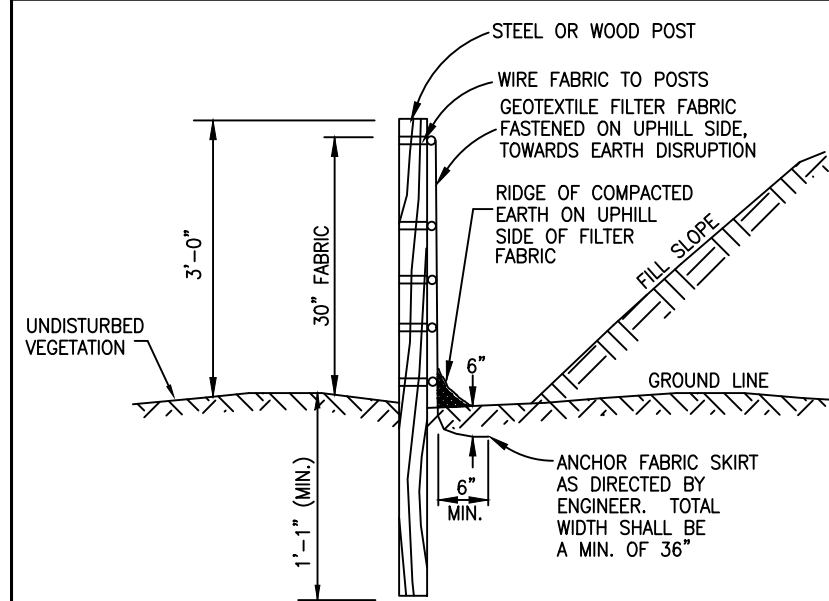
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 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388
 TITLE: GRADING & DRAINAGE PLAN

NO	BY	DATE	REVISION
3	PC	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)
2	PC	1/23/24	REVIEW COMMENTS
1	PC	12/18/23	REVIEW COMMENTS
NO	BY	DATE	REVISION

DESIGNED BY: ST
 DRAWN BY: DH
 CHECKED BY:
 SCALE: 1" = 20'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. **7**

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND
FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

- LIVINGSTON COUNTY SOIL EROSION PERMIT TEMPLATE**
TEMPORARY CONTROLS AND SEQUENCE
- NOTIFY LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO START OF GRADE WORK.
 - IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974 THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE START OF ANY WORK.
 - (IMPORTANT NOTICE) RETENTION/DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUST HAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
 - 36" M.D.O.T SPECIFICATION TYPE SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED AND MAINTAINED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITE.
 - ALL TEMPORARY EROSION CONTROL DEVICES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 - PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 100' LINEAL FEET.
 - RETENTION PONDS
 - RETENTION/DETENTION/SEDIMENTATION PONDS SHALL BE EXCAVATED, TOPSOILED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 - DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND/PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD. AN EMERGENCY SPILLWAY SHALL BE CONSTRUCTED WITHIN THE FREEBOARD LEVEL.
 - THE EMERGENCY SPILLWAY FROM THE DETENTION POND SHALL BE SODDED AND PEGGED, OR RIP RAPPED, 15 FEET PAST THE TOE OF THE SLOPE OF THE BERM.
 - DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER.
 - RETENTION/DETENTION PONDS SHALL BE FENCED WITH A 4" CHAIN LINK FENCE, INCLUDING A 12" ACCESS GATE FOR MAINTENANCE UNLESS MINIMUM 5 FT. HORIZONTAL TO 1 FT. VERTICAL SIDE SLOPES ARE PROVIDED. THE FENCE SHALL BE INSTALLED AT THE OUTER PORTION OF THE BERM, TO ALLOW FOR MAINTENANCE WORK TO BE DONE INSIDE THE FENCE.
 - ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE DURING THE EXCAVATING STAGE. TOPSOIL PILES SHALL BE SEED, MULCHED, OR MATTED WITH STRAW IN THE NON-GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.
 - SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.

- SLOPES AND DITCHES**
- ON SITE DITCHES SHALL BE OF THE FLAT BOTTOM TYPE MINIMUM WIDTH OF 2' WITH A MINIMUM OF 3 HORIZONTAL TO 1 VERTICAL SIDE SLOPES, 3:1.
 - DITCHES WITH STEEP SLOPES WILL NEED FLOW CHECKS TO PREVENT SCOURING OF THE DITCH BOTTOM. THESE SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR INSPECTOR.
 - SLOPES IN EXCESS OF 3 HORIZONTAL TO 1 VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PRIOR APPROVED DEVICE.
- STORM DRAINS**
- ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BLOCK, SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE.
 - STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BALE BARRIER AND STONE FILTER INSTALLED AROUND THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BALE BARRIER, A BURLAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURLAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. IN DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURLAP FILTER THE MINIMUM OF 1 FT. OF STONE IS VERY IMPORTANT. THE CONTROL SHALL BE INSTALLED AS SOON AS THE STRUCTURE IS BUILT AND INSPECTED DAILY.
 - BURLAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL.
 - COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12" CAN BE BAFFLED TO THE CORRECT SIZE. ALL PIPE SHALL MEET THE 12" DIAMETER CODE SIZE.
 - ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.

NRCS EXISTING SOILS DATA:
MoB MIAMI LOAM, 2-6% SLOPES
Moc MIAMI LOAM, 6-12% SLOPES

ADDITIONAL SOIL INFORMATION IS ALSO CONTAINED IN GEOTECHNICAL INVESTIGATION REPORT BY G2 CONSULTING GROUP, DATED 11-20-2023

CONSTRUCTION SEQUENCE
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT LOCALIZATION OF THIS PROJECT.

1 DAY	1. INSTALL SILT FENCE AS SHOWN ON PLANS.
5 DAYS	2. ROUGH GRADE AND INSTALL STORM DRAINAGE.
1 DAY	3. INSTALL INLET PROTECTION ON STORM INLETS.
180 DAY	4. START BLDG. CONSTRUCTION
4 DAYS	5. INSTALL PAVEMENT
4 DAYS	6. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
1 DAY	7. REMOVE ALL EROSION CONTROL STRUCTURES
1 DAY	8. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

CONTROLS & MEASURES NARRATIVE

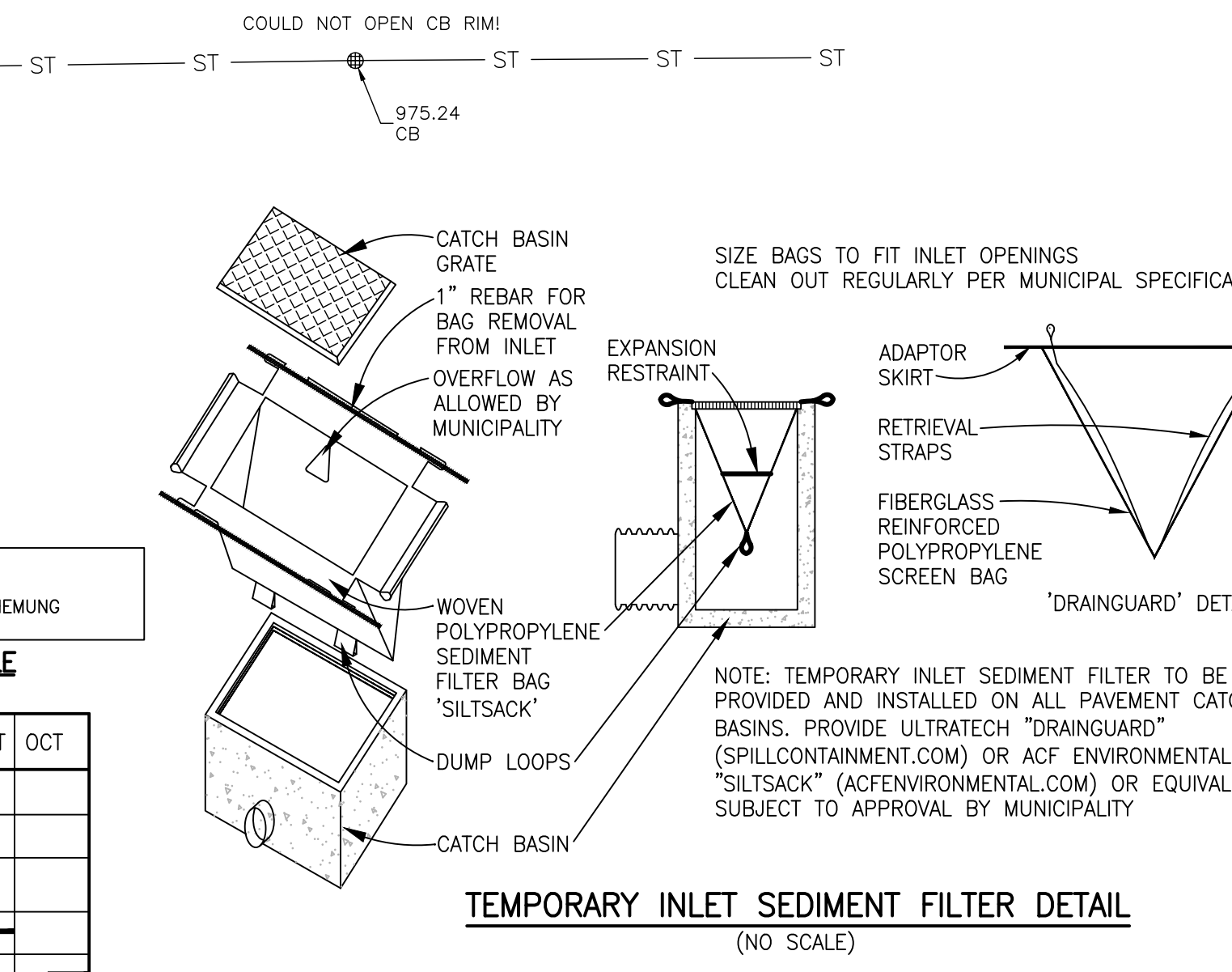
ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS, DISPOSE IN APPROVED CONTAINER, REPLACE DEAD SOD, TREES AND SHRUBS
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS, DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING
DUST CONTROL	SPRINKLE WATER AS NEEDED

PROPOSED CONST. SCHEDULE FOR THE YEAR 2024

ACTIVITY	MAY	JUNE	JULY	AUG	SEPT	OCT
DEMO & CLEAR						
MASS GRADING						
UNDERGROUND UTILITY						
FINAL GRADING						
SEED & MULCH						

CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE

ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X	X	X
SWEEP PARKING LOT	X	X	X



NO.	DESCRIPTION	DATE
1	STRIPPING & STOCKPILING TOPSOIL	
6	SEEDING WITH MULCH AND/OR MATTING	2/26/24
15	PAVING	1/23/24
16	CURB & GUTTER	12/18/23
35	STORM SEWER	
36	CATCH BASIN DRAIN NET	
40	INLET SEDIMENT FILTER	
54	SILT FENCE	

T = TEMPORARY, P = PERMANENT
TOTAL DISTURBED AREA = 1.38 AC.

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BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

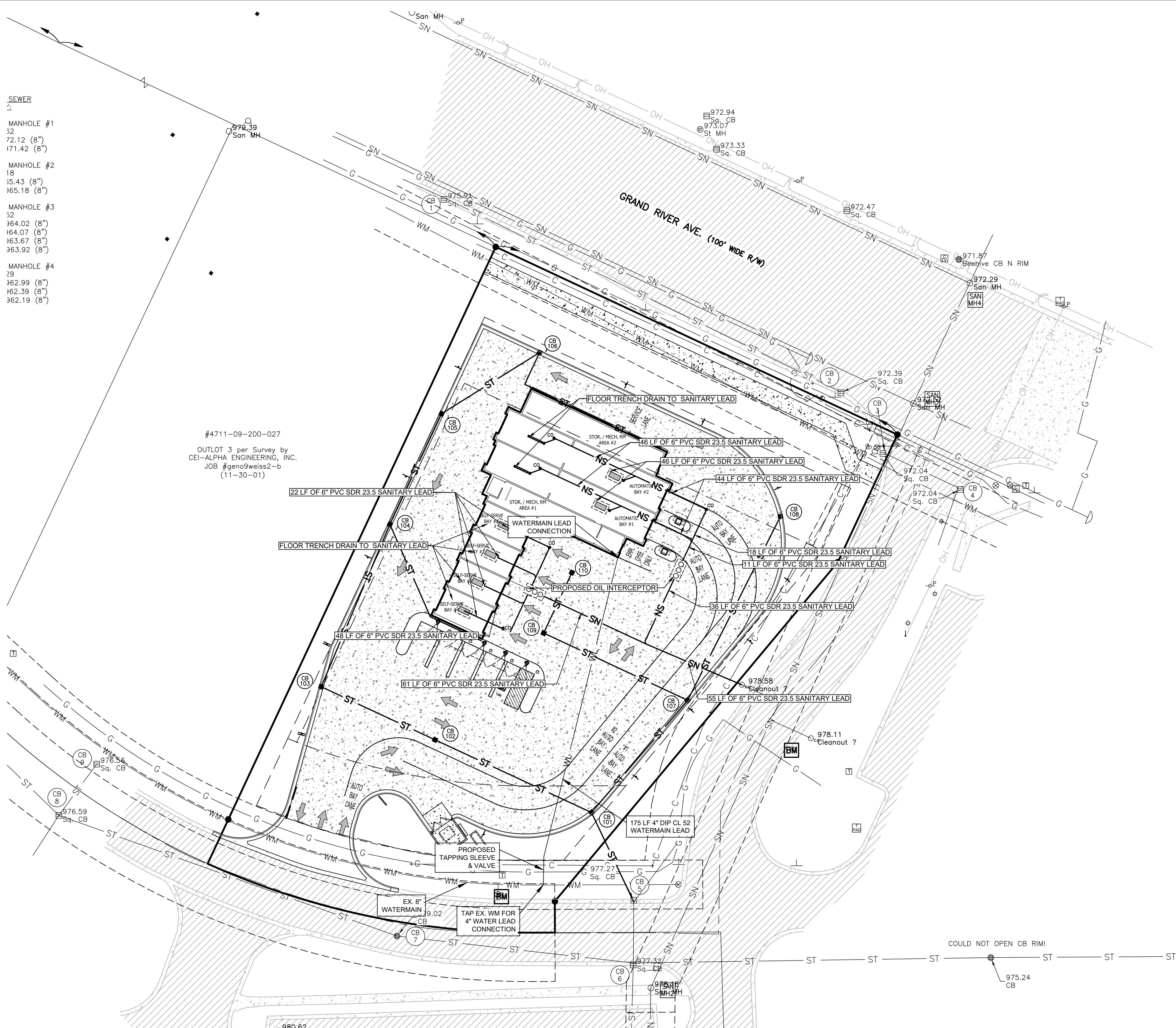
SOOPY BUCKET CARWASH - LAWSON DR.

PROJECT: SOOPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLcrest DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: SOIL EROSION & SEDIMENTATION CONTROL PLAN

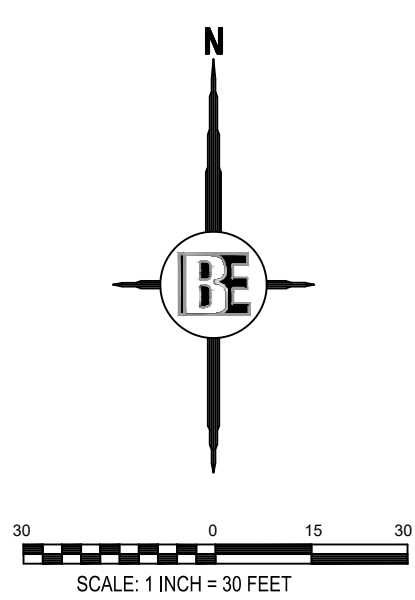
NO.	DATE	REVISION PER
1	12/18/23	ST
2	1/23/24	DH
3	1/23/24	DH

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 8



- SEWER
- MANHOLE #1
32
72.12 (8")
171.42 (8")
 - MANHOLE #2
18
15.43 (8")
165.18 (8")
 - MANHOLE #3
32
364.02 (8")
164.07 (8")
163.67 (8")
363.92 (8")
 - MANHOLE #4
29
362.99 (8")
162.39 (8")
362.19 (8")

#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #gen9weiss2-b
 (11-30-01)



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE LOCATION OR DEPTH OFFSETS SIGNIFICANTLY FROM THE PLANS.

BE ENGINEERING, INC.
 CALL MESS DIG
 1-800-462-7171
 www.be-engineering.com

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 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
 PREPARED FOR: **SPRINGBORN PROPERTIES**
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388

TITLE: **UTILITY PLAN**

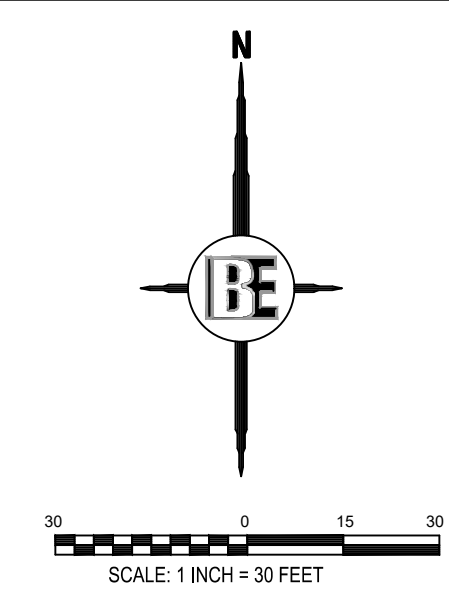
FROM	TO	DRAIN AREA	ACRES A	RUNOFF COEFF C	EQUIV. AREA A * C	INTEN-SITY I	TIME OF CONC. Tc	ADDL RUNOFF Q	RUNOFF (CFS) Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING COEFFICIENT	MANNING FLOW CAPACITY	MANNING'S VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RIM ELEV UPPER END	RIM ELEV LOWER END	INVERT UPPER END	INVERT LOWER END
106	105	106	0.04	0.90	0.04	4.38	15.00	0.17	59	12	1.50	0.11%	0.50%	0.013	2.53	3.22	0.31	972.87	972.58	977.77	977.35	972.07	971.78	
105	104	105	0.06	0.90	0.05	4.34	15.31	0.39	62	12	1.93	0.18%	0.50%	0.013	2.53	3.22	0.32	972.58	972.27	977.35	977.30	971.78	971.47	
104	103	104	0.07	0.90	0.06	4.31	15.63	0.66	90	12	2.25	0.24%	0.50%	0.013	2.53	3.22	0.47	972.27	971.82	977.30	977.35	971.47	971.02	
103	102	103	0.09	0.90	0.08	4.26	16.10	1.00	60	12	2.57	0.32%	0.50%	0.013	2.53	3.22	0.31	971.82	971.52	977.35	977.50	971.02	970.72	
102	101	102	0.14	0.90	0.13	4.23	16.41	1.53	93	12	2.93	0.41%	0.50%	0.013	2.53	3.22	0.48	971.52	971.05	977.50	976.87	970.72	970.25	
101	EX	101	0.10	0.90	0.09	4.18	16.89	1.92	51	12	3.14	0.48%	0.50%	0.013	2.53	3.22	0.26	971.05	970.80	976.87	-	970.25	970.00	
108	107	108	0.11	0.90	0.10	4.38	15.00	0.42	105	12	1.93	0.18%	0.50%	0.013	2.53	3.22	0.55	971.96	971.43	976.53	977.09	971.16	970.63	
107	101	107	0.11	0.90	0.10	4.32	15.55	0.86	76	12	2.49	0.30%	0.50%	0.013	2.53	3.22	0.39	971.43	971.05	977.09	976.87	970.63	970.25	
110	109	110	0.05	0.90	0.04	4.38	15.00	0.18	34	12	1.50	0.11%	0.50%	0.013	2.53	3.22	0.18	972.01	971.84	978.05	978.05	971.21	971.04	
109	107	109	0.04	0.90	0.04	4.36	15.18	0.35	81	12	1.93	0.18%	0.50%	0.013	2.53	3.22	0.42	971.84	971.43	978.05	977.09	971.04	970.63	
112	111	112	0.06	0.90	0.05	4.38	15.00	0.23	77	6	2.29	0.64%	1.00%	0.013	0.56	2.87	0.45	973.94	973.45	978.50	978.50	973.42	972.65	
111	106	111	0.06	0.90	0.05	4.33	15.45	0.46	18	6	2.84	0.98%	1.00%	0.013	0.56	2.87	0.10	973.45	973.27	978.50	-	972.65	972.47	
114	113	114	0.02	0.90	0.02	4.38	15.00	0.09	29	6	1.72	0.36%	1.00%	0.013	0.56	2.87	0.17	973.07	972.96	978.50	978.50	972.67	972.38	
113	104	113	0.02	0.90	0.02	4.36	15.17	0.17	52	6	2.15	0.56%	1.00%	0.013	0.56	2.87	0.30	972.96	972.67	978.50	977.30	972.38	971.87	

STRUCTURE	DIAMETER (FT)
CB 101	4
CB 102	4
CB 103	4
CB 104	4
CB 105	4
CB 106	2
CB 107	4
CB 108	2
CB 109	4
CB 110	2

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION

NO	BY	DATE	REVISION PER
3	PC	2/26/24	REVIEW COMMENTS
2	PC	1/23/24	REVIEW COMMENTS
1	PC	12/18/23	REVIEW COMMENTS

DESIGNED BY: ST
 DRAWN BY: DH
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. **9**



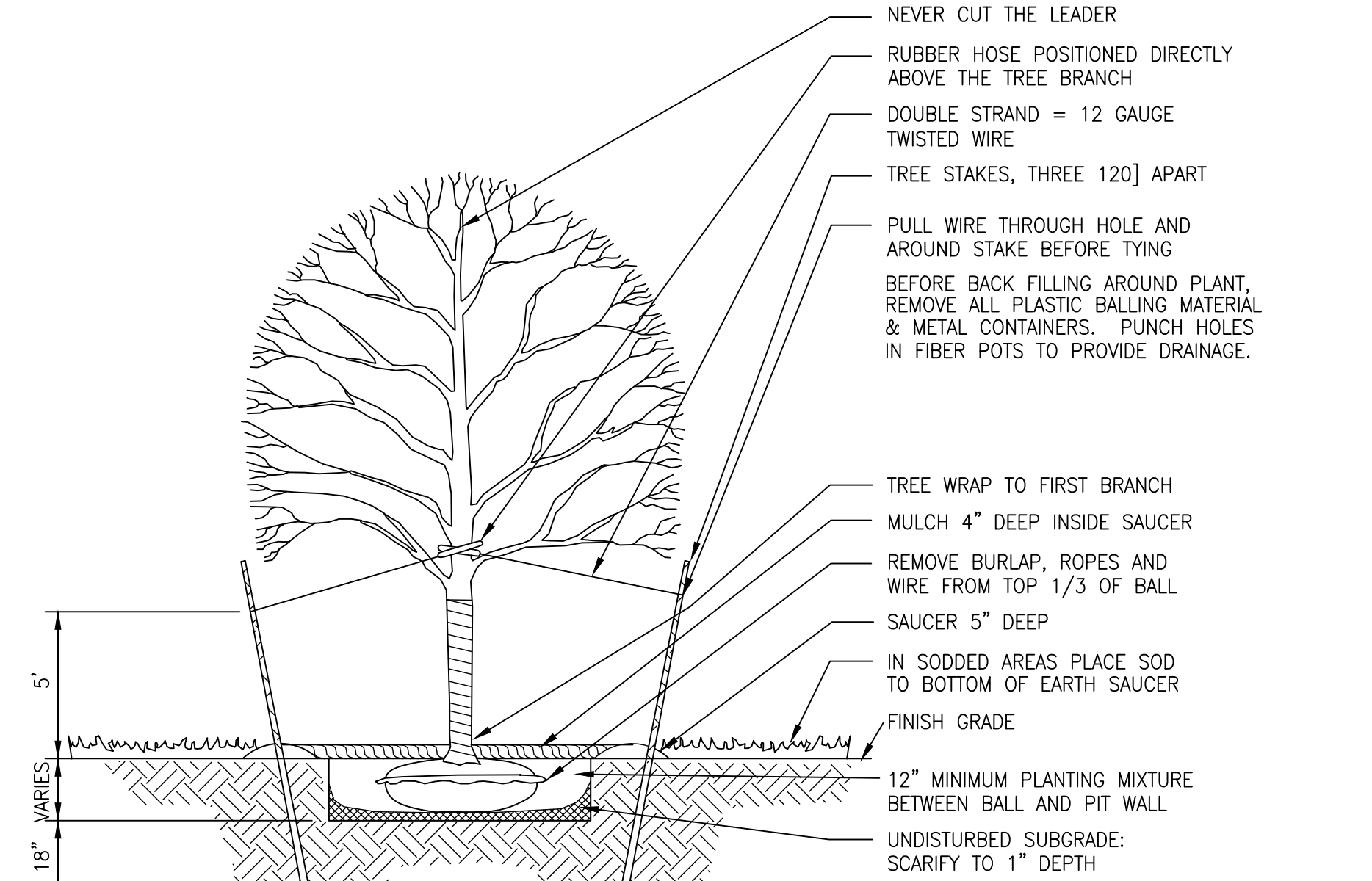
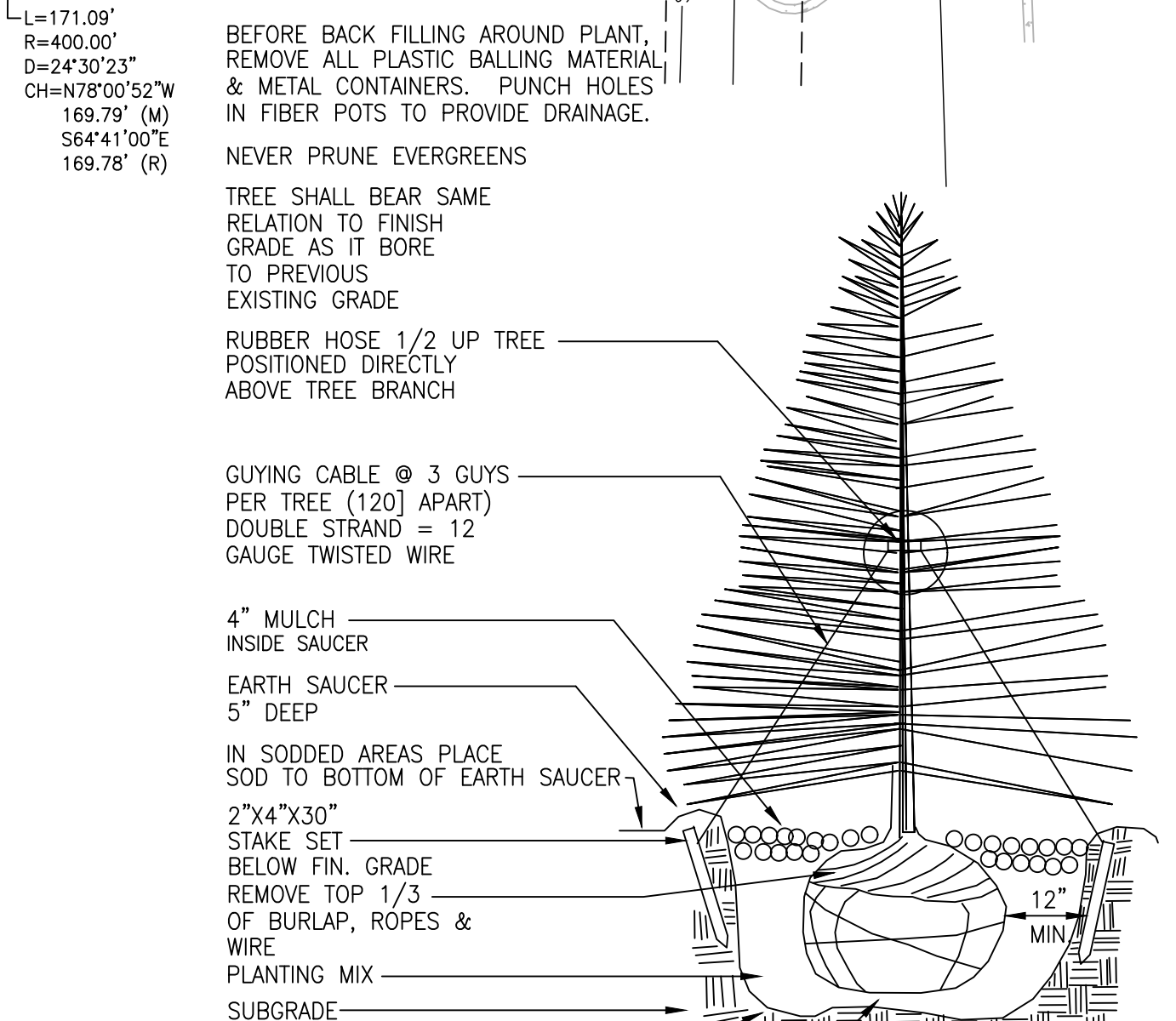
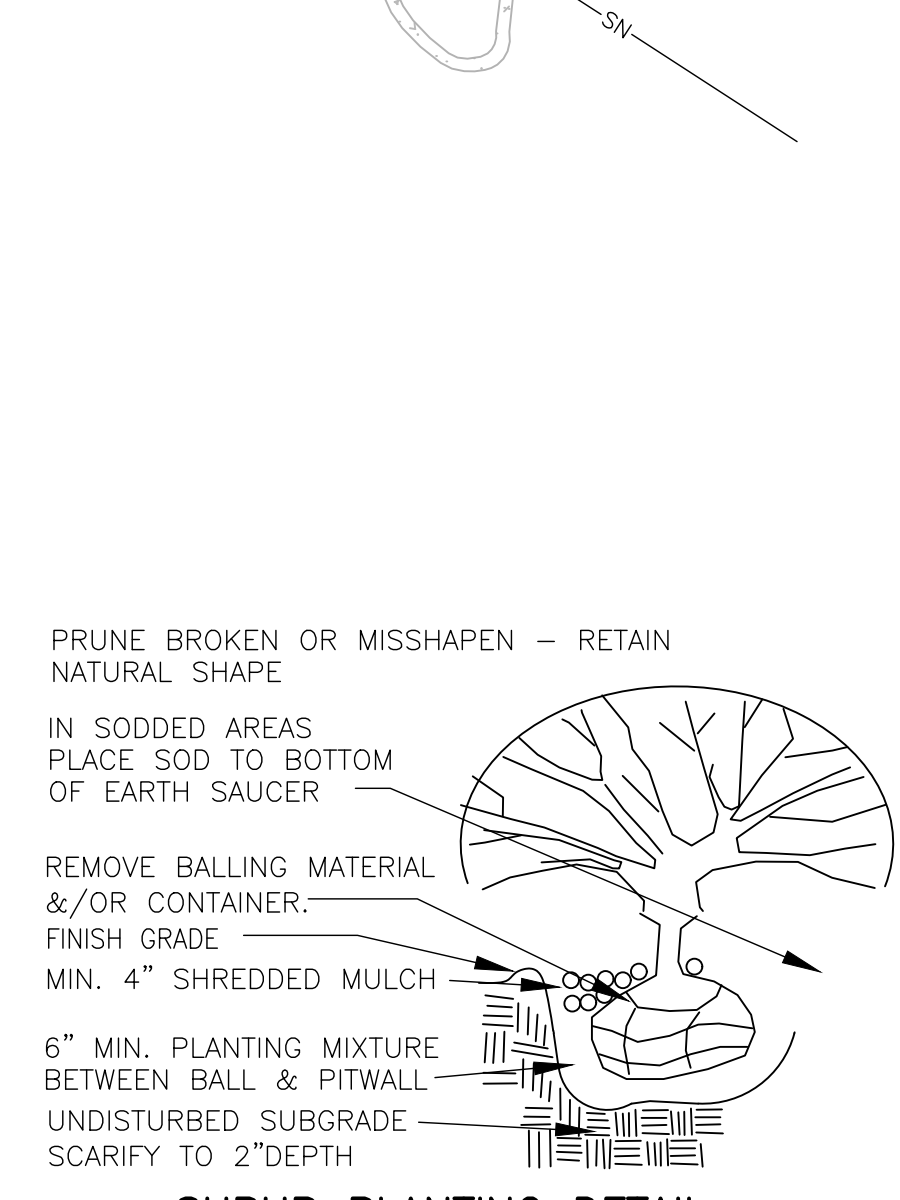
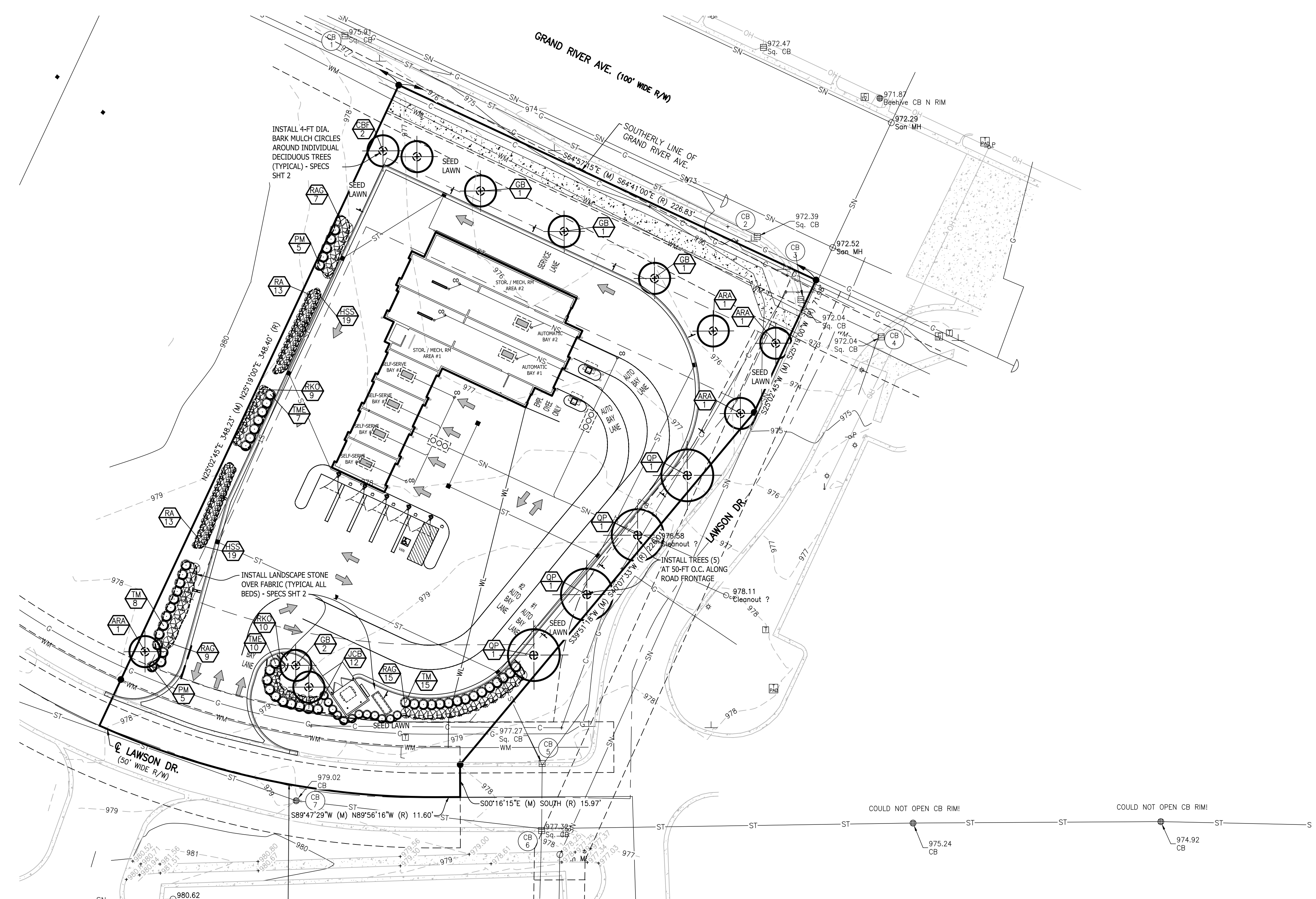
SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

LANDSCAPE CALCULATIONS 'NR PUD' ZONING (FOLLOWING SECTION 12.02):

REQUIRED: GREENBELT - PUBLIC R.O.W.'S - GRAND RIVER AVE: (LAWSON DR. PRIVATE RD.)	1 CANOPY TREE / 40 LFT FRONTAGE, MIN 20 FT WIDTH
BUFFER - WEST ADJ. TO COMMERCIAL - TYPE C:	1 CANOPY OR CONIFER TREE OR 4 SHRUBS / 20 LFT MIN. 10 FT WIDTH
PARKING AREA (<10 SPACES):	N/A - 3 USE CALCULATED / PROVIDED SPACES BELOW MIN.
DETENTION / RETENTION BASIN:	N/A - TO CONNECT TO OVERALL DEVELOPMENT SYSTEM
ACCESSORY STRUCTURES (DUMPSTER ENCLOSURE):	SCREENED WITH SHRUBS IF IN 'VISIBLE LOCATION'
PROVIDED: GREENBELT - PUBLIC R.O.W. - GRAND RIVER AVE:	226.83 LFT FRONTAGE / 40 = 6 CANOPY TREES REQ'D & PROVIDED
ALONG EAST PROP. LINE - LAWSON DRIVE:	226.01 LFT / 40 = 6 DECIDUOUS TREES PROVIDED
ALONG SOUTH PROP. LINE - LAWSON DRIVE:	181.38 LFT / 40 = 5 DECIDUOUS TREES REQ'D AS BUFFER PROPOSE 2 DECID. TREES + 26 CONIFER SHRUBS + 26 DECID. SHRUBS SHRUBS BEING EQUIVALENT TO OVER 17 SHRUBS / TREE
BUFFER - WEST PROP. LINE ADJ. TO COMMERCIAL - TYPE C:	348.40 LFT / 20 = 18 TREES OR 72 SHRUBS OR COMBINATION 1 DECID. TREE + 25 CONIFER SHRUBS + 89 DECID. SHRUBS PROVIDED
DUMPSTER ENCLOSURE:	SCREENED WITH 9 CONIFER SHRUBS

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
DECIDUOUS TREES					
CBF	2	Carpinus betulus 'Frans Fontaine'	Frans Fontaine European Hornbeam	2-1/2" cal.	B-B
ARA	4	Acer rubrum 'J's KW 78'	Armstrong Gold Red Maple	2-1/2" cal.	B-B
GB	5	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Columnar Ginkgo	2-1/2" cal.	B-B
QP	4	Quercus palustris	Northern Pin Oak	2-1/2" cal.	B-B
CONIFER SHRUBS					
JCB	12	Juniperus chinensis 'Blue Point'	Blue Point Juniper	48" ht./#5	Cont.
PM	10	Pinus mugo 'Mops'	Mops Mugo Pine shrub	24" ht./#3	Cont.
TM	23	Taxus X Media 'Densiformis'	Densiformis Yew	36" ht./#5	Cont.
TME	17	Taxus X Media 'Everlow'	Everlow Yew	36" ht./#5	Cont.
DECIDUOUS SHRUBS					
HSS	38	Hydrangea serrata 'Smmakts'	Mountain Tuff Stuff Red Hydrangea	18" ht./#3	Cont.
RA	26	Ribes Alpinum 'Greenmound'	Greenmound Currant	18" ht./#3	Cont.
RKO	19	Rosa x 'Knock Out Red'	Knock Out Red Shrub Rose	24" ht./#3	Cont.
RAG	31	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht./#3	Cont.

SUPPLEMENTAL LANDSCAPE NOTES
1. ANY SUBSTITUTIONS OF PLANT MATERIAL FROM THE APPROVED SITE PLAN WILL BE APPROVED BY THE TOWNSHIP PRIOR TO INSTALLATION.



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE APPARENT OR THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

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Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

SOAPY BUCKET CARWASH

PROJECT: SPRINGBORN PROPERTIES
3325 HIGH HILLOREST DR
HOWELL, MI 48843
313.350.3388

PREPARED FOR: []

TITLE: LANDSCAPE PLAN

NO	BY	DATE	REVISION PER
3	PC	2/26/24	ARCHITECTURAL ONLY
2	PC	1/23/24	TOWNSHIP REVIEW COMMENTS
1	PC	12/18/23	TOWNSHIP REVIEW COMMENTS

DESIGNED BY: PC
DRAWN BY: PC
CHECKED BY: []
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 10

BEBOSS Engineering

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION



D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.48 ft
 Length: 28.18" (726mm)
 Width: 14.06" (357mm)
 Height H1: 2.24" (57mm)
 Height H2: 7.44" (189mm)
 Weight: 2.16 lbs (980g)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
 The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Design Select
 Items marked with a **Design Select** qualify for the Design Select program and ship 15 days in stock. To learn more about Design Select, visit www.lithonia.com/designselect.
 *See ordering tree for details.

Ordering Information
 EXAMPLE: DSXO LED P6 40K 70CRI TMV MOUNT SPA NLTAR2 PIRHN DDBX2

Code	LED	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Notes
DSXO	P3	4000K	80CRI	110°	TMV	Standard Mounting
DSXO	P3	4000K	80CRI	110°	SPA	Standard Mounting
DSXO	P3	4000K	80CRI	110°	NLTAR2	Standard Mounting
DSXO	P3	4000K	80CRI	110°	PIRHN	Standard Mounting
DSXO	P3	4000K	80CRI	110°	DDBX2	Standard Mounting

Code	LED	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Notes
DSXO	P3	4000K	80CRI	110°	TMV	Standard Mounting
DSXO	P3	4000K	80CRI	110°	SPA	Standard Mounting
DSXO	P3	4000K	80CRI	110°	NLTAR2	Standard Mounting
DSXO	P3	4000K	80CRI	110°	PIRHN	Standard Mounting
DSXO	P3	4000K	80CRI	110°	DDBX2	Standard Mounting

One Lithonia Way • Conley, Georgia 30024 • Phone 1-800-705-5876 • www.lithonia.com
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Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
A			7	Lithonia Lighting	DSXO LED P3 40K 80CRI BLCC	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control	5870	0.9	68.95
B			1	Lithonia Lighting	DSXO LED P3 40K 80CRI TFFM	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Forward Throw	8247	0.9	68.95
C			1	Lithonia Lighting	DSXO LED P3 40K 80CRI RCCO	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	5923	0.9	68.95
D			9	Lithonia Lighting	WIDGE2 LED P3 40K 80CRI TFFM	WIDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	3166	0.9	32.1375
E			3	Lithonia Lighting	WIDGE2 LED P3 40K 80CRI T1S	WIDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 1 SHORT OPTIC	3089	0.9	32.1375

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall	+	0.8 fc	4.6 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Drive Lanes	X	1.6 fc	4.6 fc	0.3 fc	15.3:1	5.3:1

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

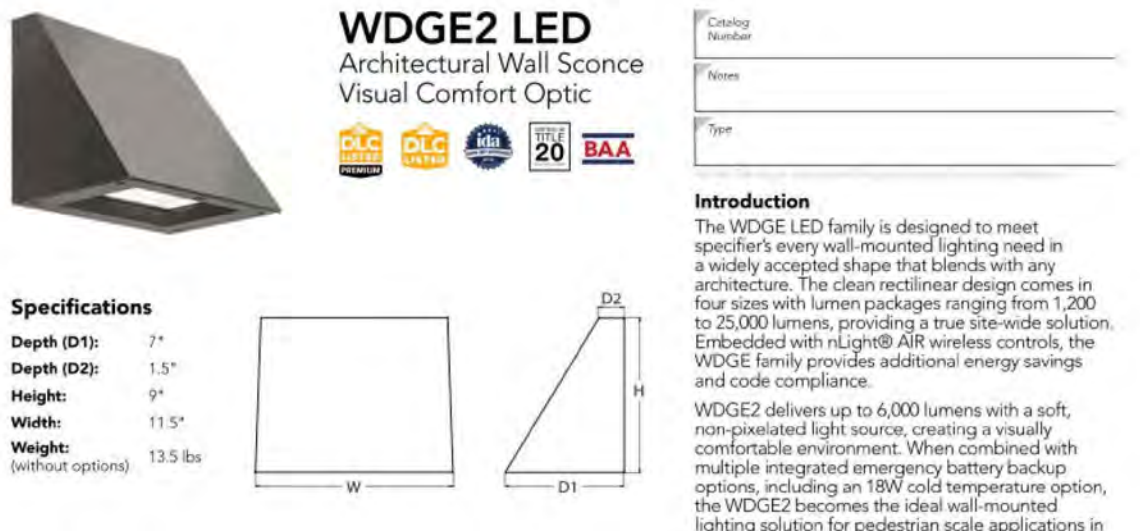
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
 THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note
 MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



WIDGE2 LED Architectural Wall Sconce Visual Comfort Optic

Specifications

Depth (D1): 7"
 Depth (D2): 1.5"
 Height: 5"
 Width: 11.5"
 Weight: 13.5 lbs
 (with mounting option)

WIDGE2 LED Family Overview

Luminaire	Optic	Standard (H, W)	Grid (H, W)	Mounting	P1	P2	P3	P4	P5	P6
WIDGE2 LED Visual Comfort	VC	19W	19W	Standard/height	750	1,200	2,000	—	—	—
WIDGE2 LED Precision Reflector	RF	19W	19W	Standard/height	1,200	2,000	3,000	4,000	6,000	—
WIDGE2 LED Precision Reflector	RF	19W	19W	Standard/height	750	1,200	2,000	3,000	4,000	—
WIDGE2 LED Precision Reflector	RF	19W	19W	Standard/height	—	2,000	4,000	10,000	12,000	—
WIDGE2 LED Precision Reflector	RF	19W	19W	Standard/height	—	10,000	16,000	18,000	20,000	22,000

Ordering Information
 EXAMPLE: WIDGE2 LED P3 40K 80CRI VF MVRM SLMT DDBX2

Code	LED	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Notes
WIDGE2	P3	4000K	80CRI	110°	MVRM	Standard Mounting
WIDGE2	P3	4000K	80CRI	110°	SLMT	Standard Mounting
WIDGE2	P3	4000K	80CRI	110°	DDBX2	Standard Mounting

One Lithonia Way • Conley, Georgia 30024 • Phone 1-800-705-5876 • www.lithonia.com
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Plan View
 Scale - 1" = 25ft



SOAPY BUCKET GENCOA TOWNSHIP
 PHOTOMETRIC SITE PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 BK
Date
 01/23/2024
Scale
 Not to Scale
Drawing No.
 #23-19570 V2

D650-VCOB BOULEVARD SERIES **LED**

EPA 1.04 (ft)	7 YEAR WARRANTY	LUMEN RANGE 4,115-8,050	LIFE SPAN MINIMUM 100,000 HOURS	UL LISTED	CLICK FOR FAQ'S	JOB NAME
WEIGHT 25 LBS						FIXTURE TYPE
						MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: **PT-D650-5P-VCOB-4L4OTS-MDL03-A-PEC-FHD/4212FP4-188/BK1T**

Mounting Config.	Fixture	Filter	LED	ECT	Type	Driver	Lens	Option Control	Option Control	Option Fuse	Option Decoraive Ring	Option GFI	Option Block	Option Mount Side Sheet	Arm	Pole	Finish
------------------	---------	--------	-----	-----	------	--------	------	----------------	----------------	-------------	-----------------------	------------	--------------	-------------------------	-----	------	--------

Mounting Configuration
(Click here to link to mounting configuration specification page)

W - Wall Mount, **PT** - Post Top, **A** - Arm Mount, **AM** - Arm Mid Mount, **PS** - Pole Side

Filter
D650SR

LED
VCOB-4L

CCT - Color Temperature (K)
27(00) - 30(00) - 35(00) - 40(00) - 50(00)

Type
TS (Symmetric) - TA (Asymmetric)

Driver
MDL02 (120V-277V, 250mA)
MDL03 (120V-277V, 250mA)
MDL05 (120V-277V, 500mA)
MDH02 (347V-480V, 250mA)
MDH03 (347V-480V, 250mA)
MDH05 (347V-480V, 500mA)

Lens
A (Textured Acrylic)
P (Textured Poly)
WP (White Textured Poly)

Options
R - 3-Pin control receptacle only
R5 - 5-Pin control receptacle only
R7 - 7-Pin control receptacle only
PE - Twist-Lock Photocontrol (120V-277V)

Specifications

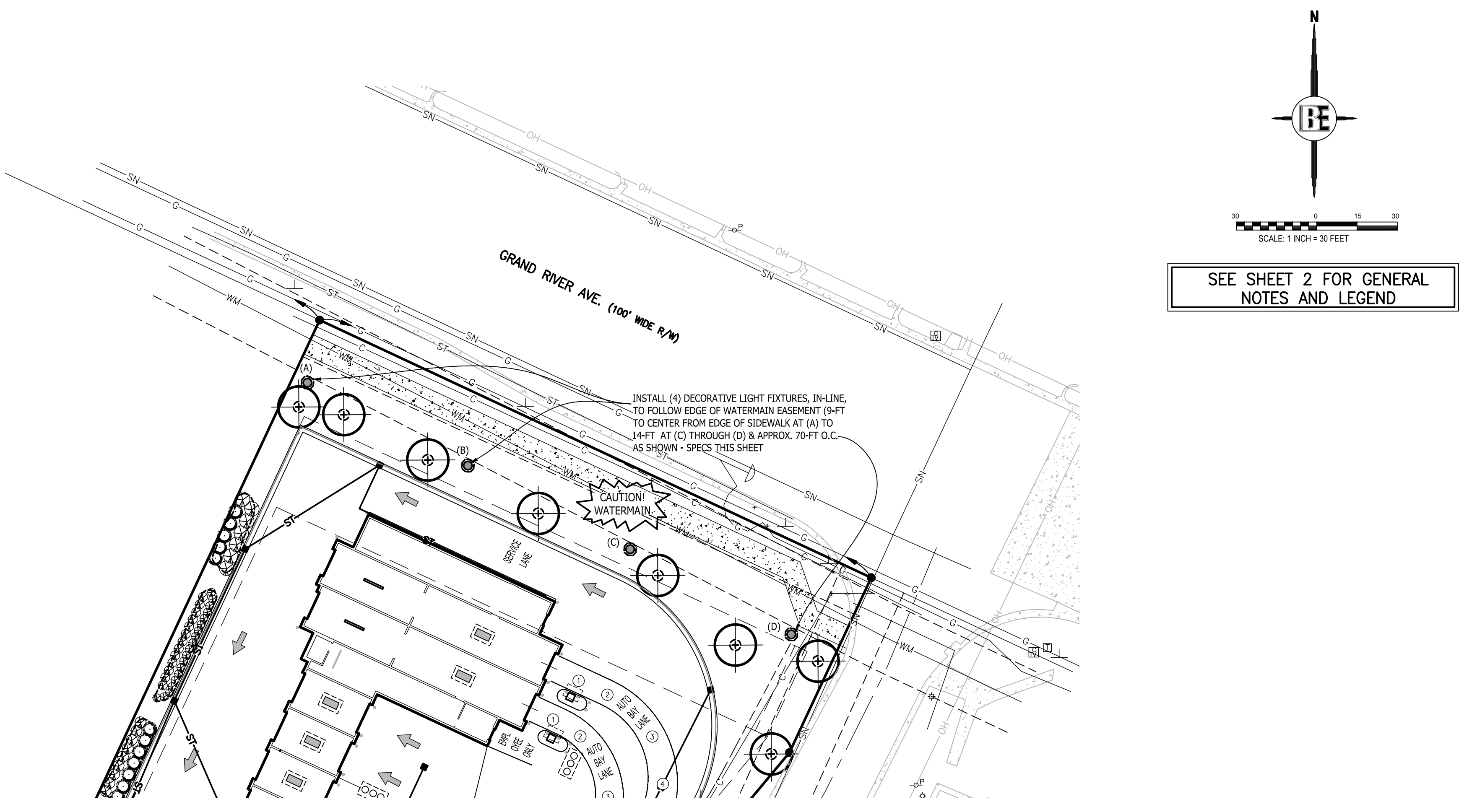
Fixtures
PE3* Twist-Lock Photocontrol (347V)
PE4* Twist-Lock Photocontrol (480V)
PEC Electronic Button Photocontrol (120V-277V)
PEC Electronic Button Photocontrol (200V-277V)
FHD Double Fuse and Holder
CDR Cast Decorative Ring
CDRCL Cast Decorative Ring with Custom Logo
PDR* Perforated Brass Decorative Ring
CFI 15A Duplex GFI for Utility Filter
TIP Terminal Block
HSP 120" House Side Shield

Fitter - Standard
The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 8-1/2" inside diameter opening to attach to the 8" neck of the acorn globe. When ordered with a Sternberg aluminum pole, the fitter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

900 Series Utility Fitter Option
The fitter shall be heavy wall cast aluminum, 360 die cast alloy for high tensile strength. It shall have a 9-1/4" inside diameter opening to attach to the 8" neck of the acorn globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 900 shall have an optional terminal block for ease of wiring, an optional Twist-Lock Photocontrol receptacle, an optional single GFI outlet for auxiliary power needs. The top mounted driver mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly. When supplied with GFI receptacle a hole will be provided for cord and plug installation with the access door closed. When cord and plug is not in use a filter plug will be provided.

SternbergLighting
ESTABLISHED 1923 / EMPLOYEE OWNED

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
info@sternberglighting.com
www.sternberglighting.com



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACTED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE APPROPRIATE LOCAL AGENCIES SHALL BE CONTACTED TO OBTAIN APPROPRIATE FROM THE PLANS.

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Engineering
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
1-800-488-7171
www.beboss.com

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Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

D650-VCOB BOULEVARD SERIES **LED**

shall be tethered to the fitter for easy removal and installation.

Twist-Lock Fitter (Optional)
The TL (Twist-Lock) fitter shall have an aluminum die-cast twist-lock mechanism. The tool-less 1/4" turn action allows for easy globe removal and replacement. A die-cast ring assembly is mechanically attached to the globe and is removable if the globe is broken or replaced.

LED's
The luminaire shall use high output, high brightness LED's, consisting of a two piece assembly complete with Chip on Board (COB) LED component and COB holder frame mounted to vertical heat sinks. The LED's and printed circuit boards shall be 100% recyclable; they shall also be protected from moisture and corrosion by a conformal coating. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 100,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4000K (2700K, 3000K, 3500K or 5000K optional) color temperature with a minimum CRI of 70. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen output when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics
The luminaire shall be provided with individual, molded silicone refractor type optics applied to each COB (Chip On Board) LED assembly. The optic shall be at least 92% efficient while providing superior thermal, UV and impact resistance for the COB assembly. The optic helps efficiently shape and distribute the light while minimizing up-light. The luminaire shall provide Symmetric and Asymmetric light distribution. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers
The LED driver shall be UL Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60Hz. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62-41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than 9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols
Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 3-10 second turn off, and shall turn on at 15 footcandles with a turn off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years. See pole spec sheet for pole mounted version.
Twist-Lock Style: The photocontrol shall be mounted in the utility fitter and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 15 footcandles with a turn off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.

Warranty
Seven-year limited warranty. See product and finish warranty guide for details.

Finish
Refer to website for details.

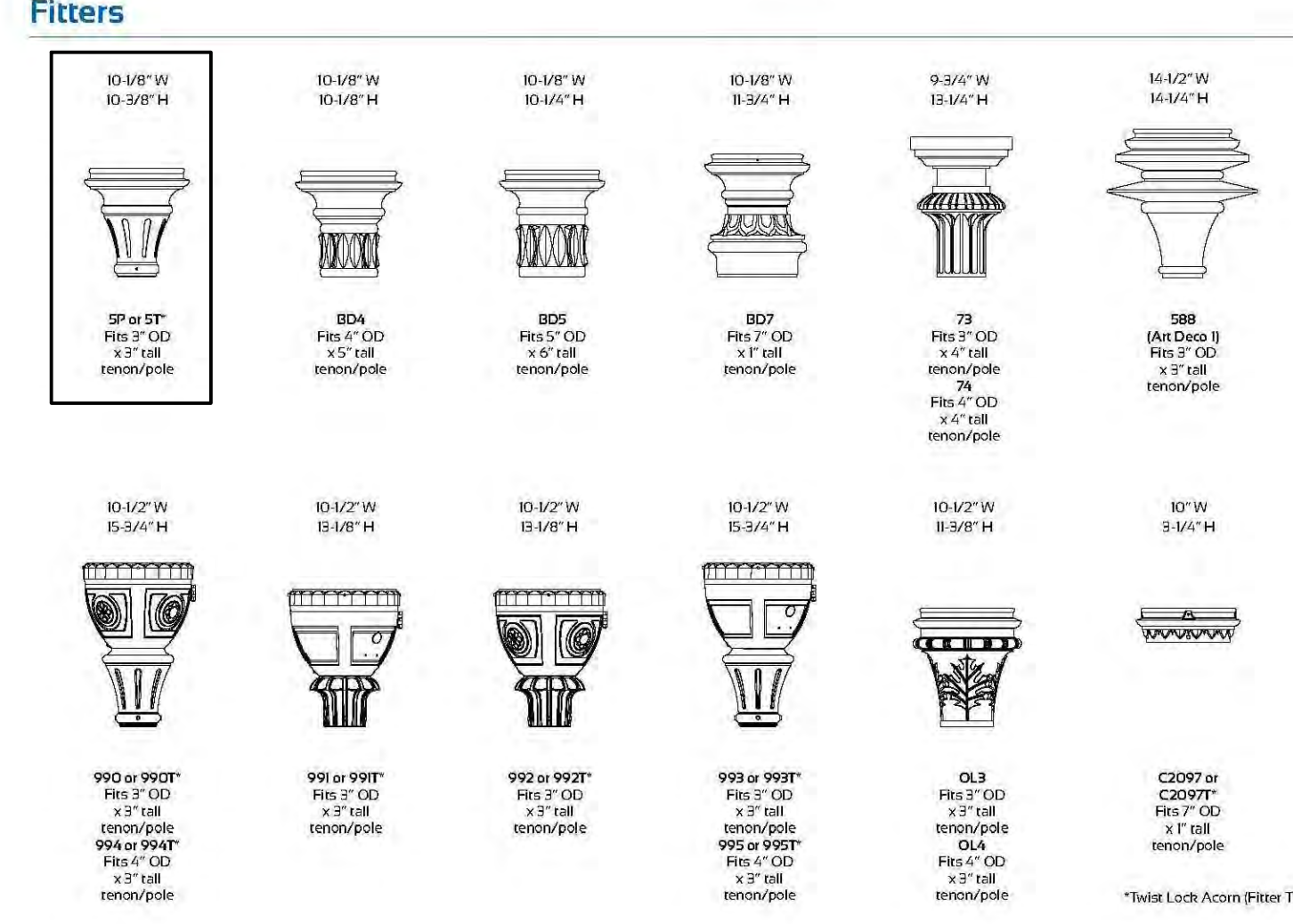
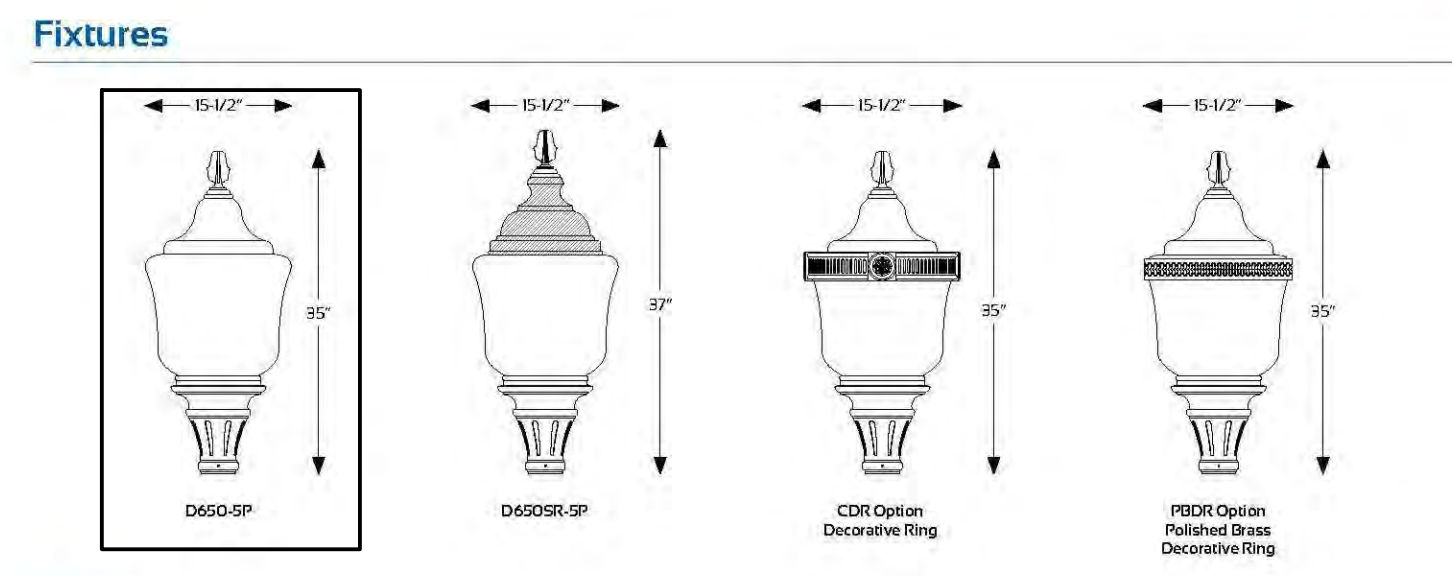
Performance

LIGHT SOURCE	IS LUMENS	EFFICIENCY (LPW)	IS LUMENS	EFFICIENCY (LPW)	WATTAGE
4,401-480L05	8950	107.3	8950	107.3	75
4,301-480L05	7705	103.0	7705	103.0	75
4,271-480L05	2090	94.5	2090	94.5	75
4,401-480L03	6430	114.8	6225	112.9	58
4,301-480L03	5230	111.3	5125	108.4	58
4,271-480L03	5690	101.1	5670	99.5	58
4,401-480L02	4745	118.8	4675	118.9	40
4,301-480L02	4555	114.9	4530	113.3	40
4,271-480L02	4190	104.5	4115	102.9	40

SternbergLighting
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D650-VCOB BOULEVARD SERIES **LED**

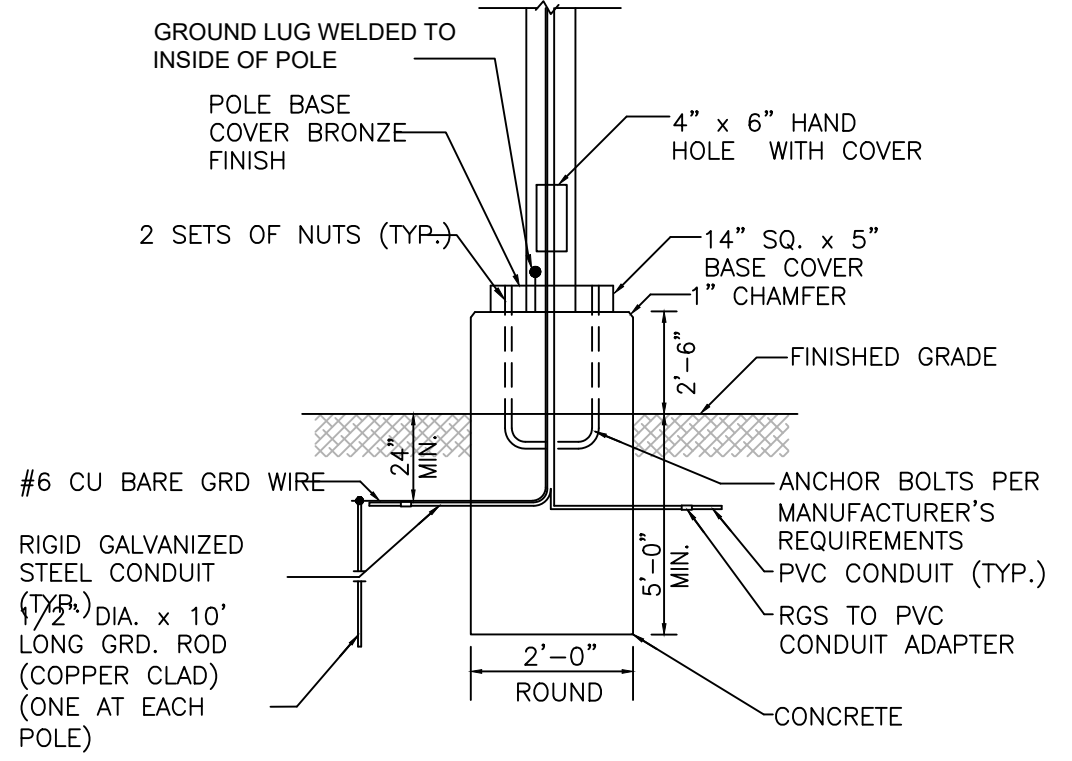


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www.sternberglighting.com



REPRESENTATIVE LIGHT FIXTURE & FITTER IMAGE



DECORATIVE LIGHT POLE BASE DETAIL (NO SCALE)

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

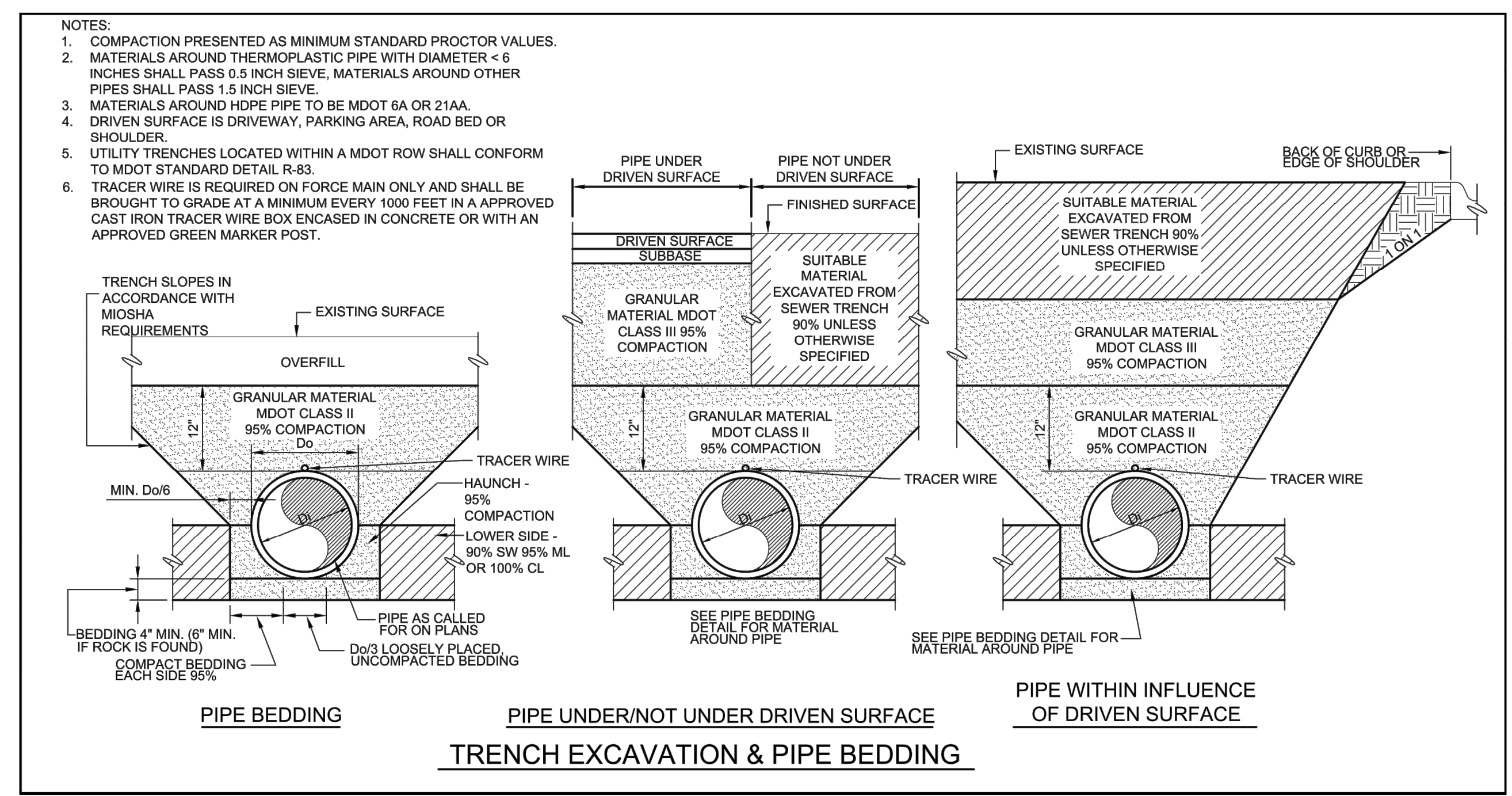
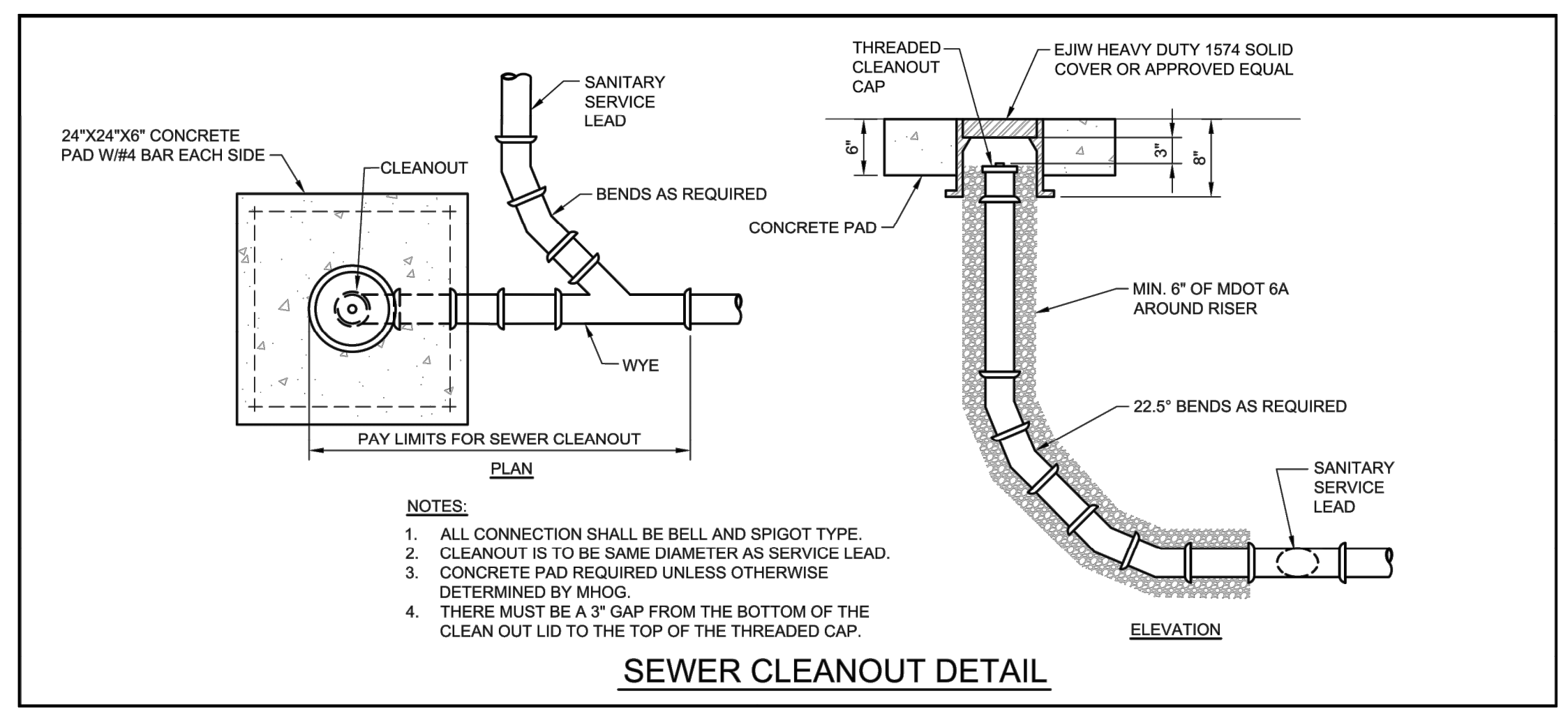
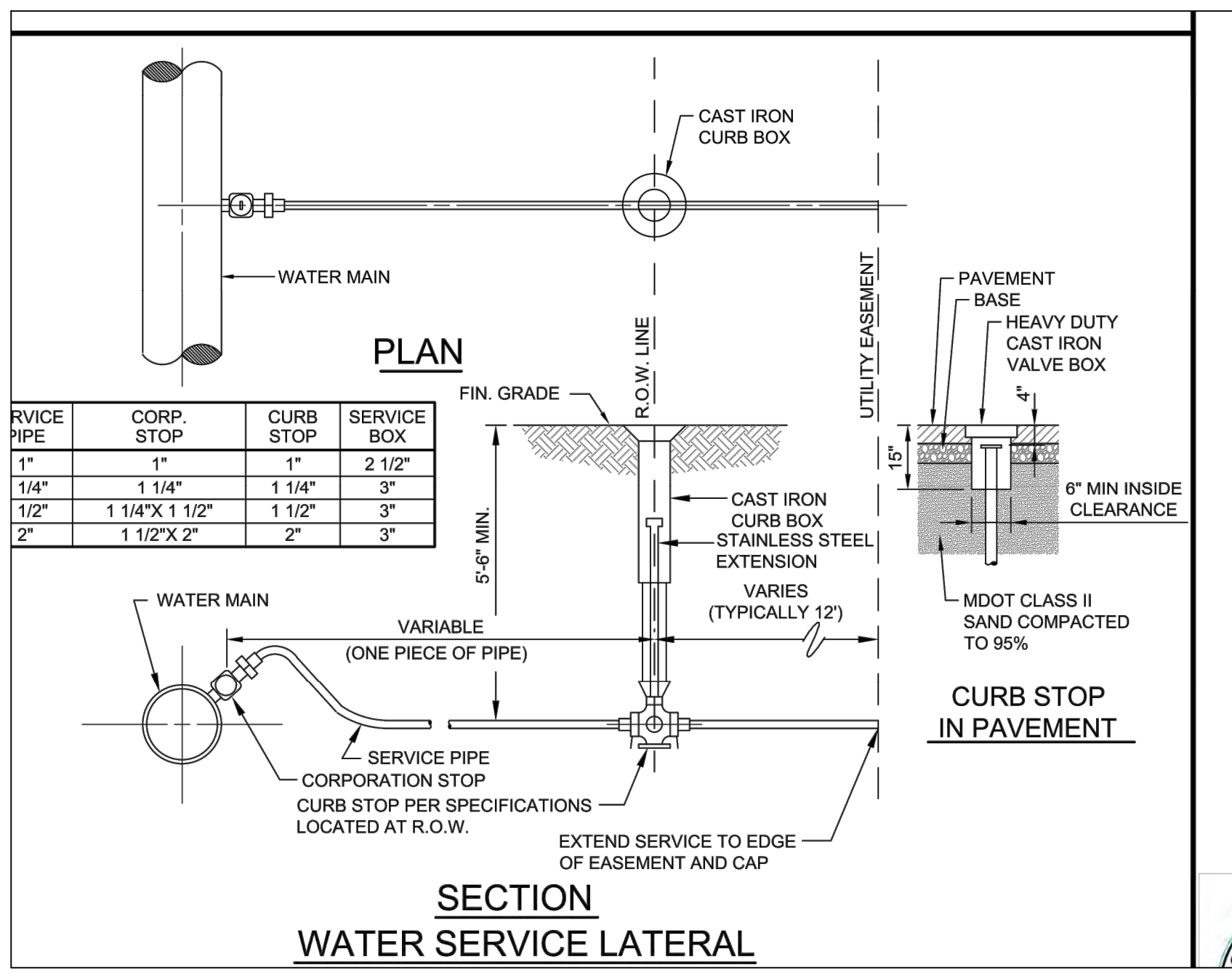
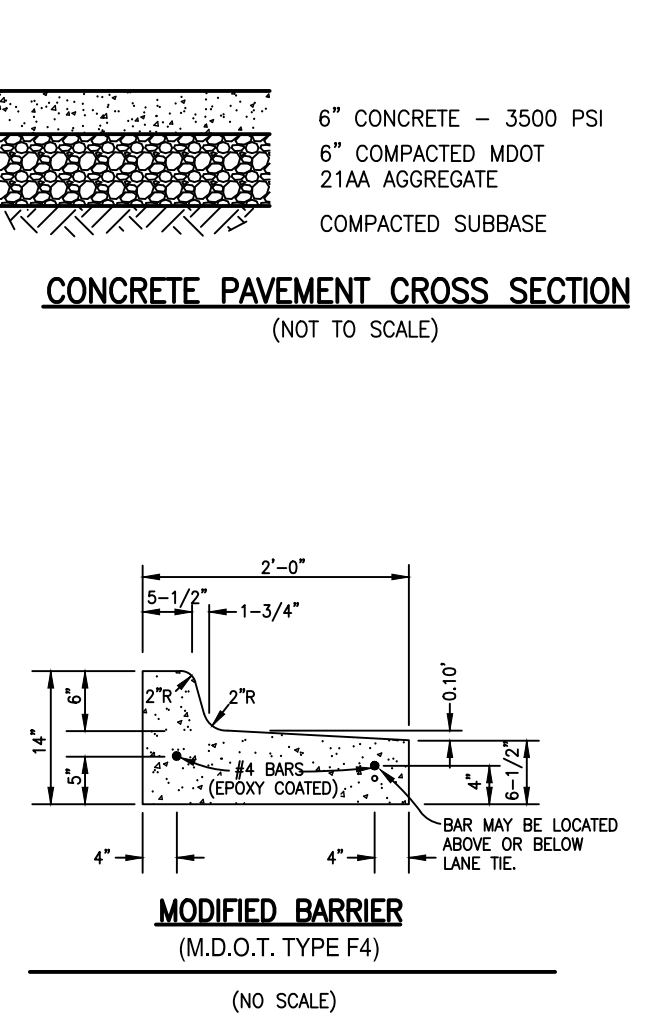
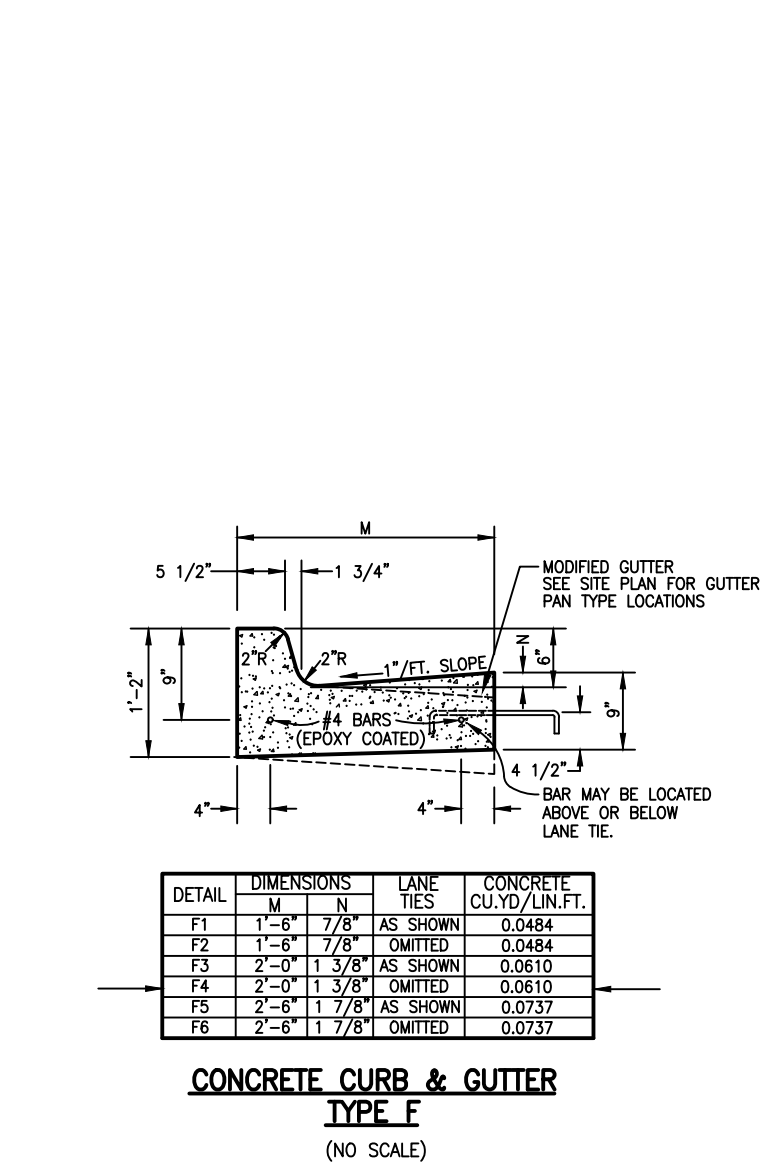
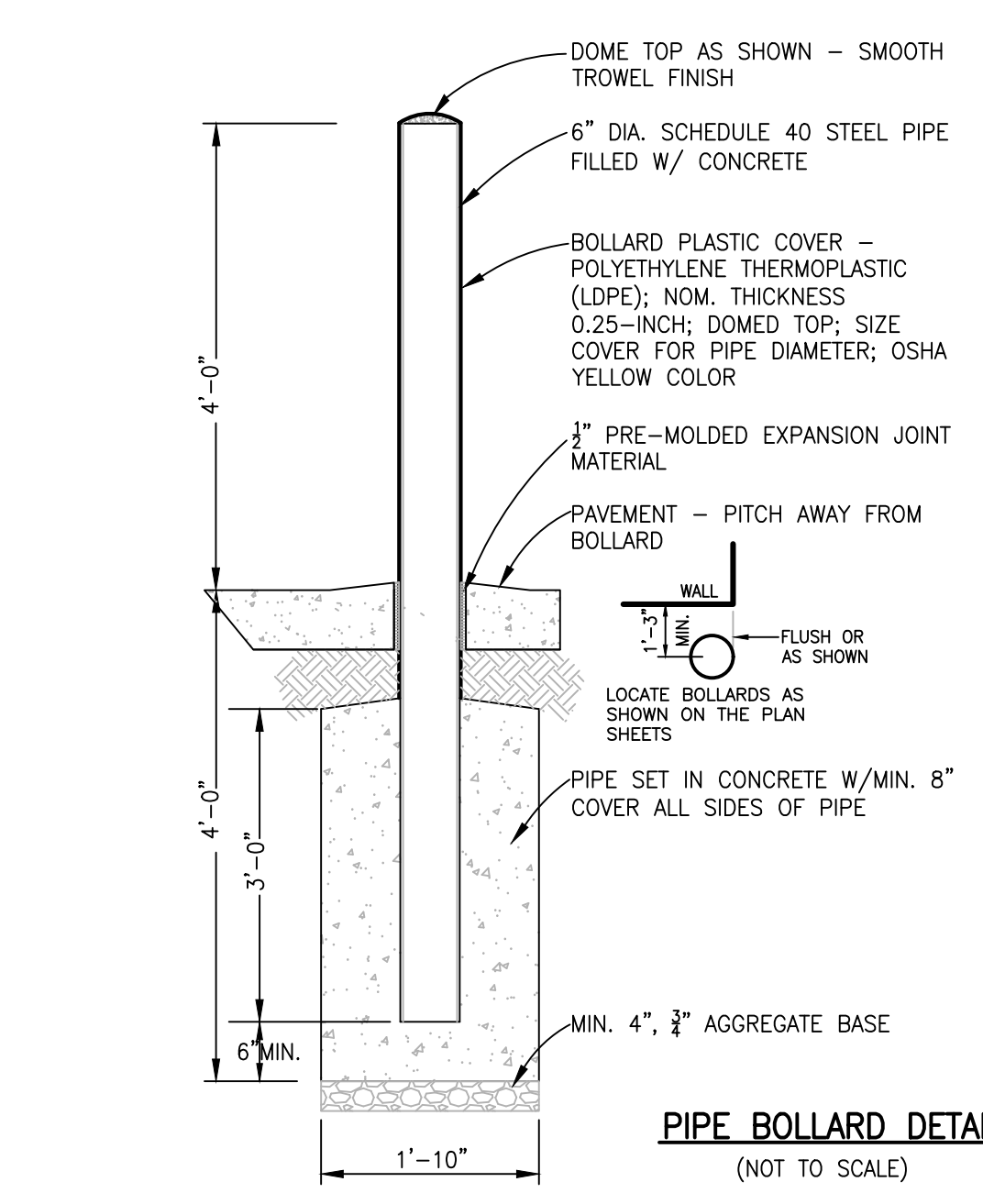
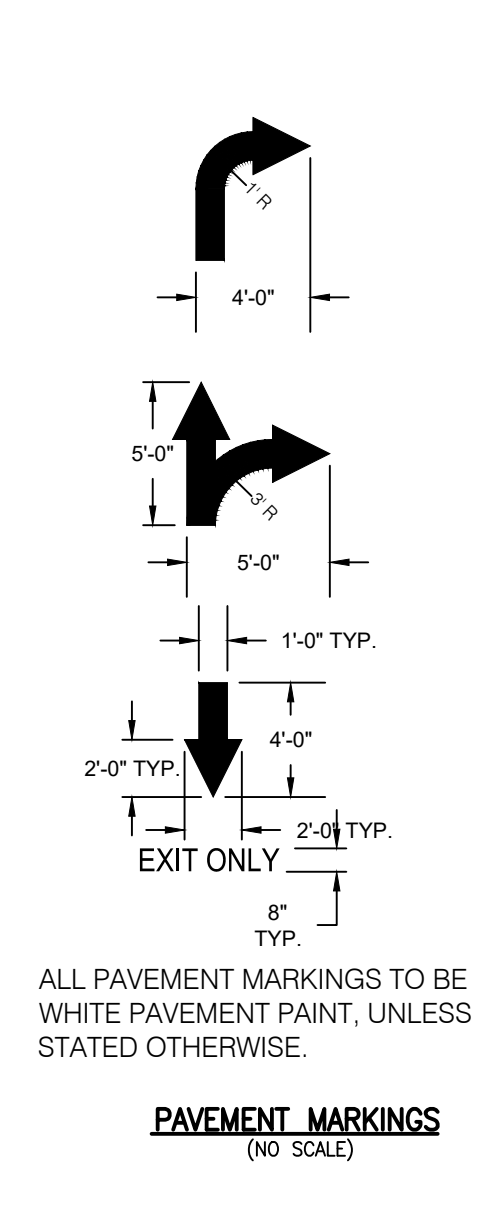
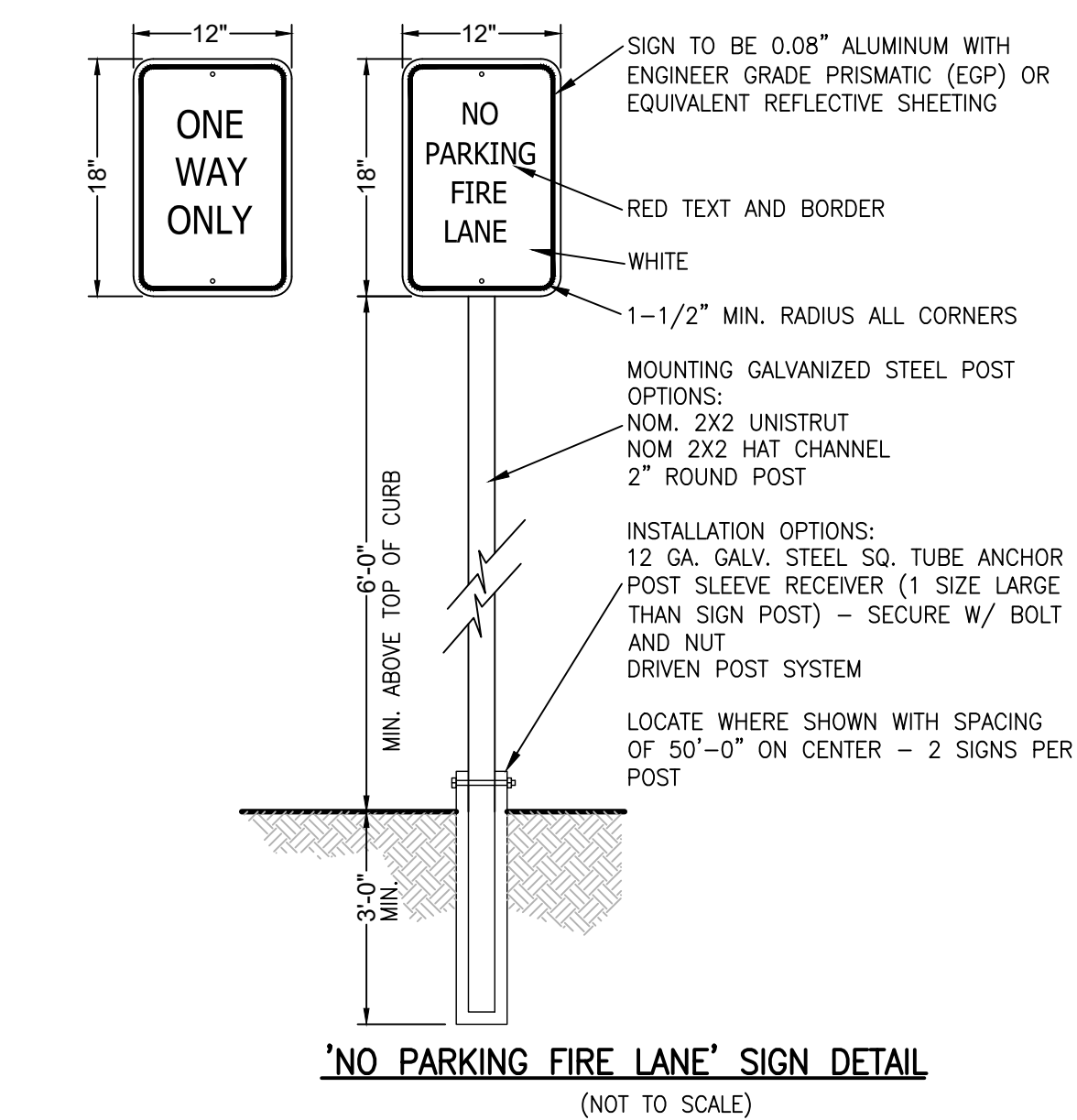
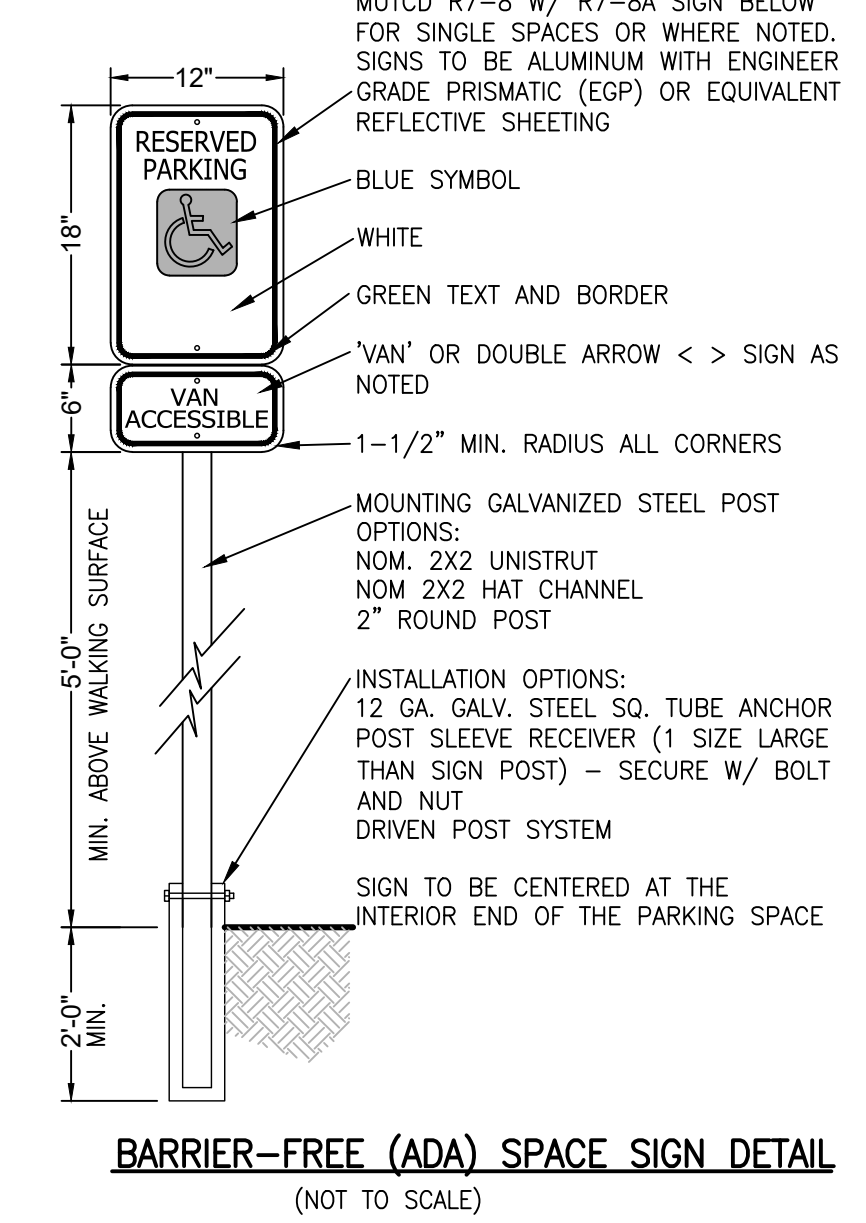
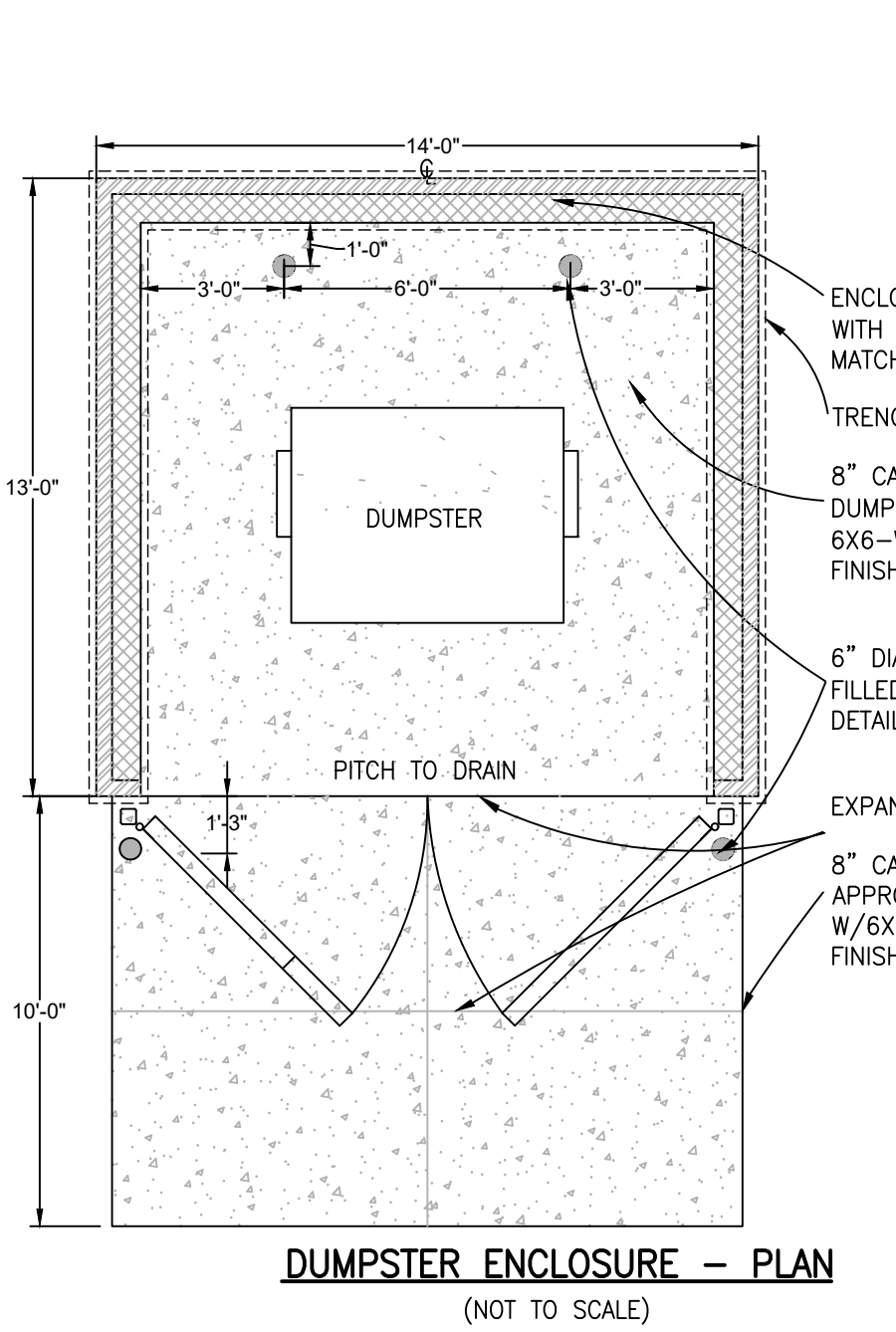
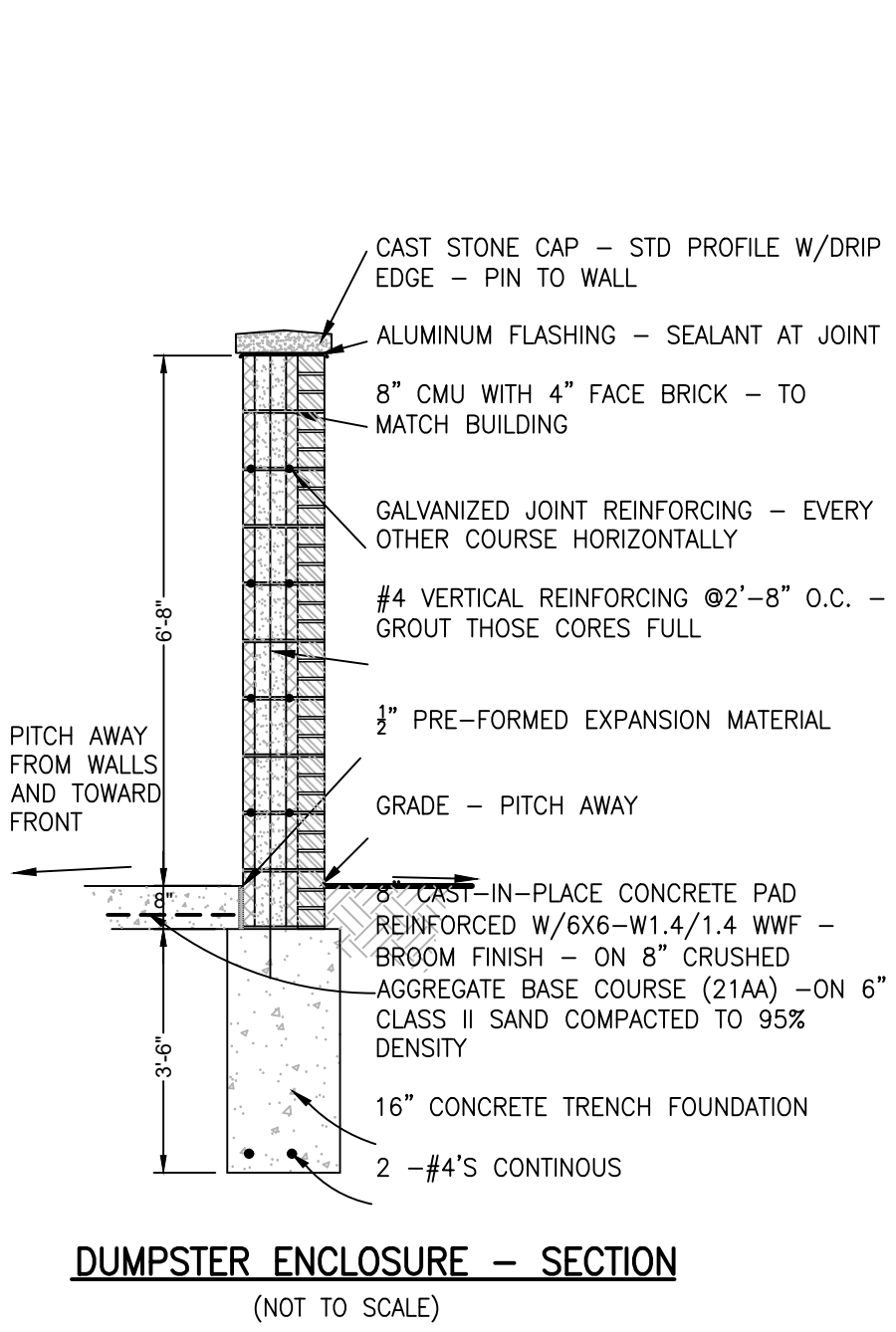
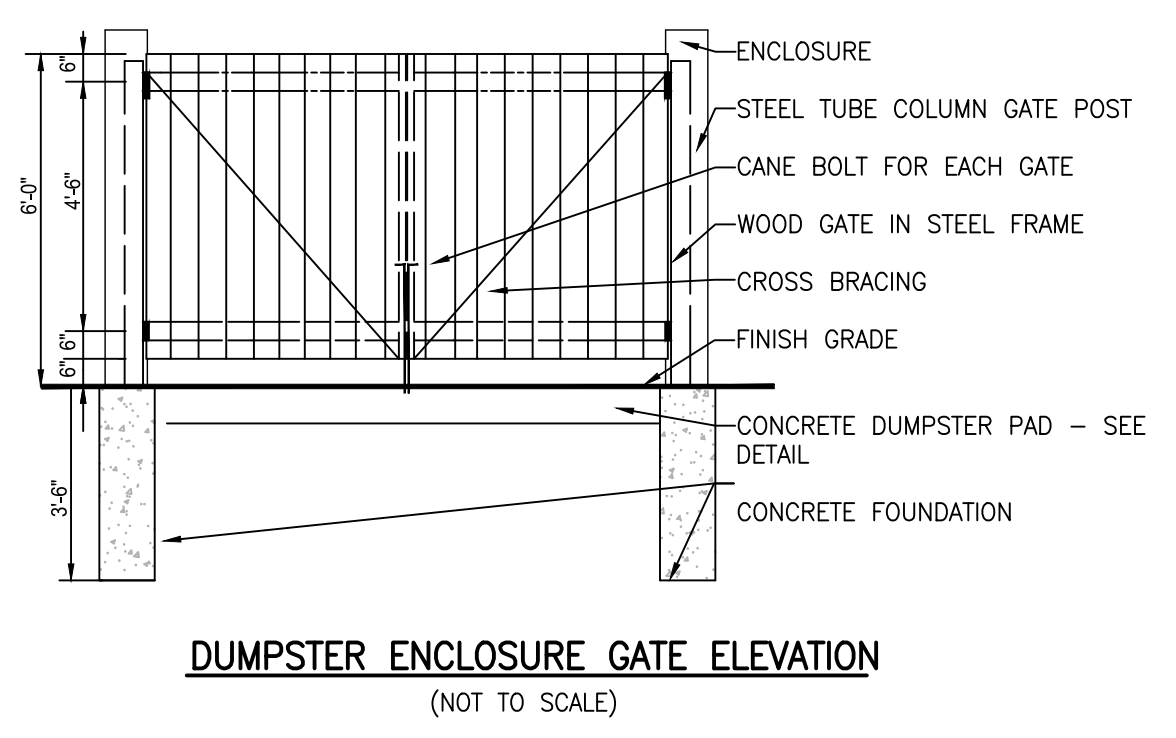
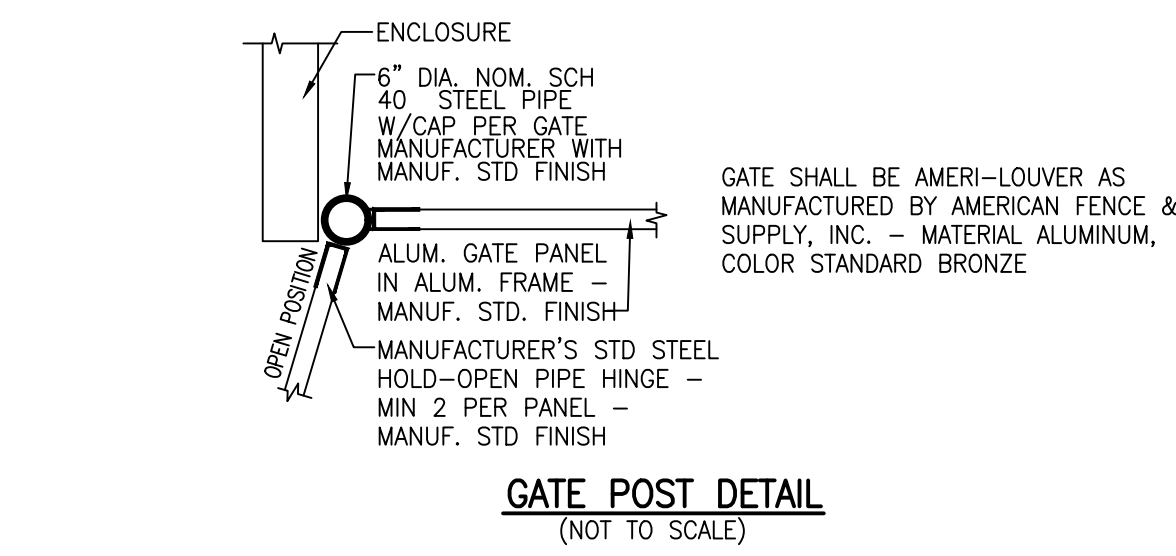
PROJECT: **SOAPY BUCKET CARWASH**

PREPARED FOR: **SPRINGBORN PROPERTIES**
3535 HIGH HILLOREST DR
HOWELL, MI. 48843
313.350.3388

TITLE: **LIGHTING PLAN OFFSITE GRAND RIVER AVE.**

NO	BY	DATE	REVISION PER
3	PC	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)
2	PC	1/23/24	TOWNSHIP REVIEW COMMENTS
1	PC	12/18/23	TOWNSHIP REVIEW COMMENTS

DESIGNED BY: PC
DRAWN BY: PC
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 11B



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

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Engineers Surveyors Planners Landscape Architects
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HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

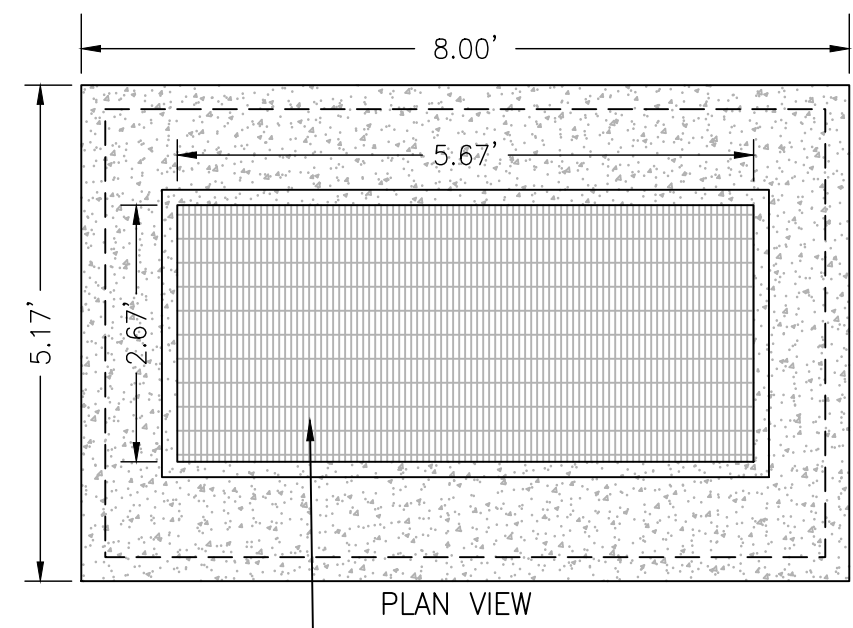
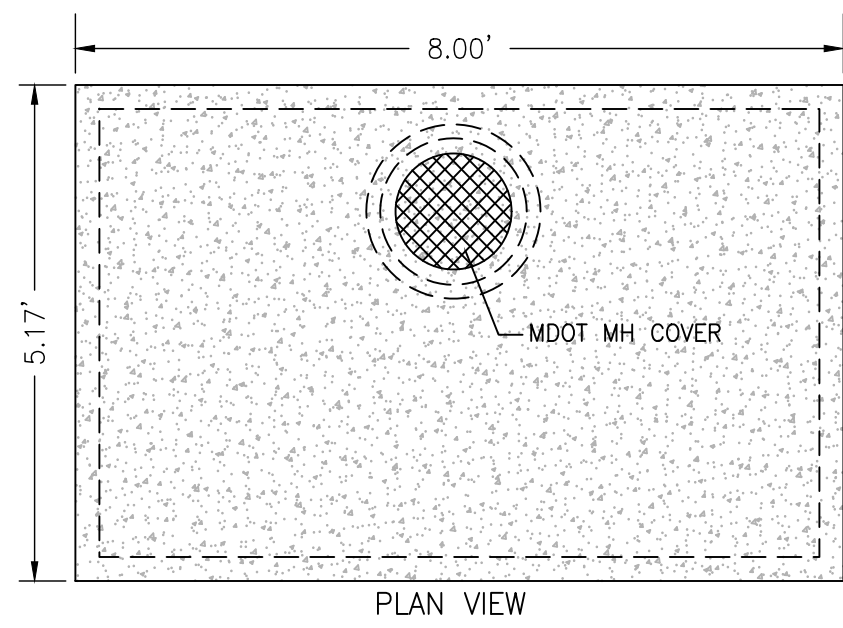
PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: CONSTRUCTION DETAILS-1

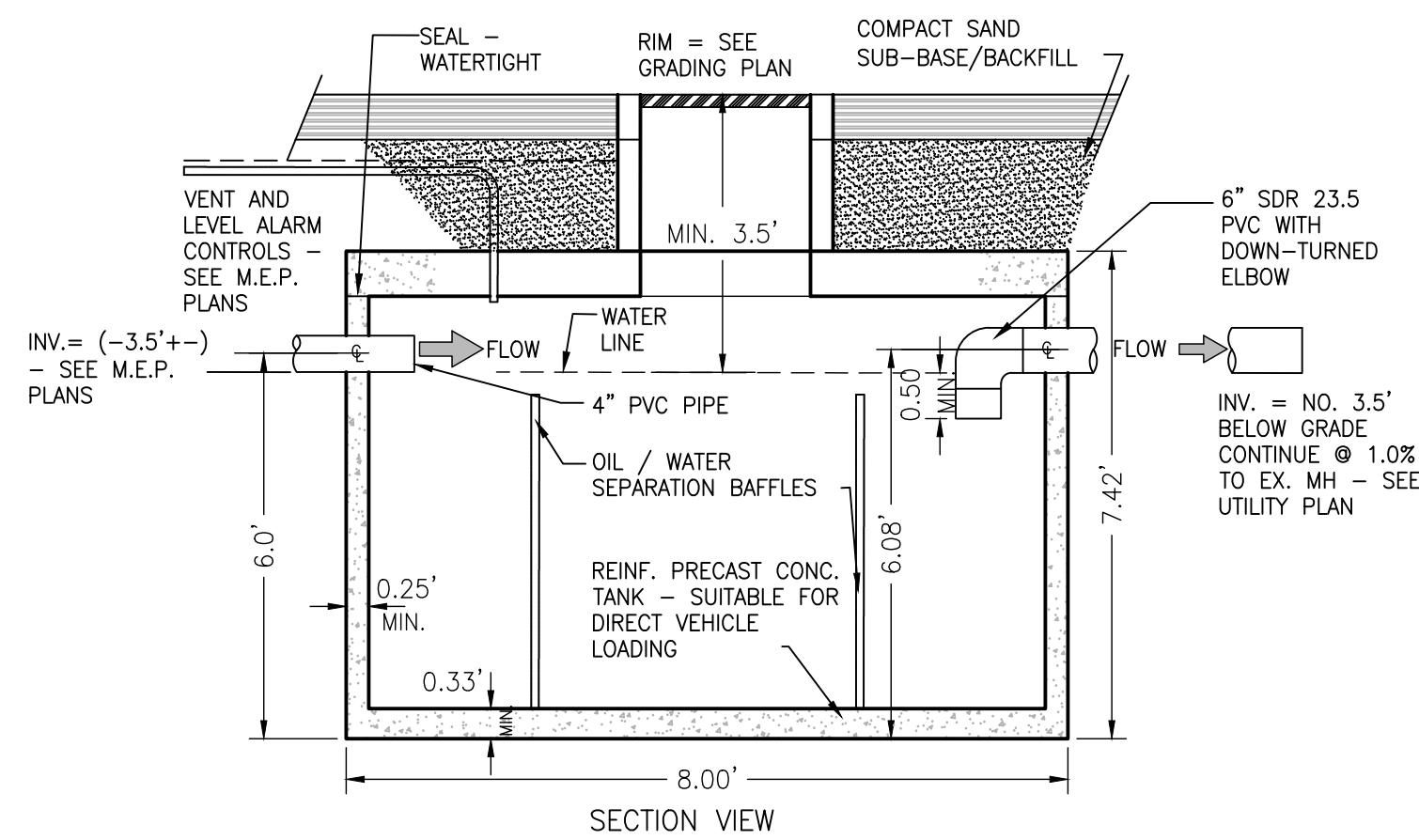
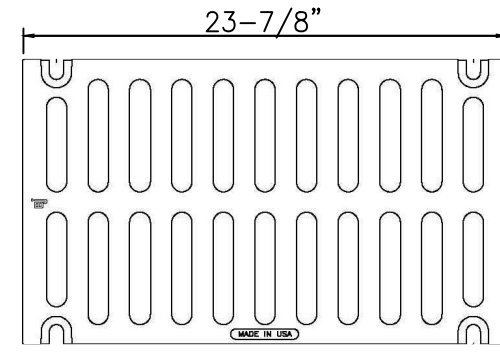
NO.	DATE	REVISION PER	BY
3	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)	ST
2	1/23/24	REVIEW COMMENTS	DH
1	12/18/23	REVIEW COMMENTS	ST
NO		REVISION PER	BY

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: NO SCALE
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 12

BOSS Engineering

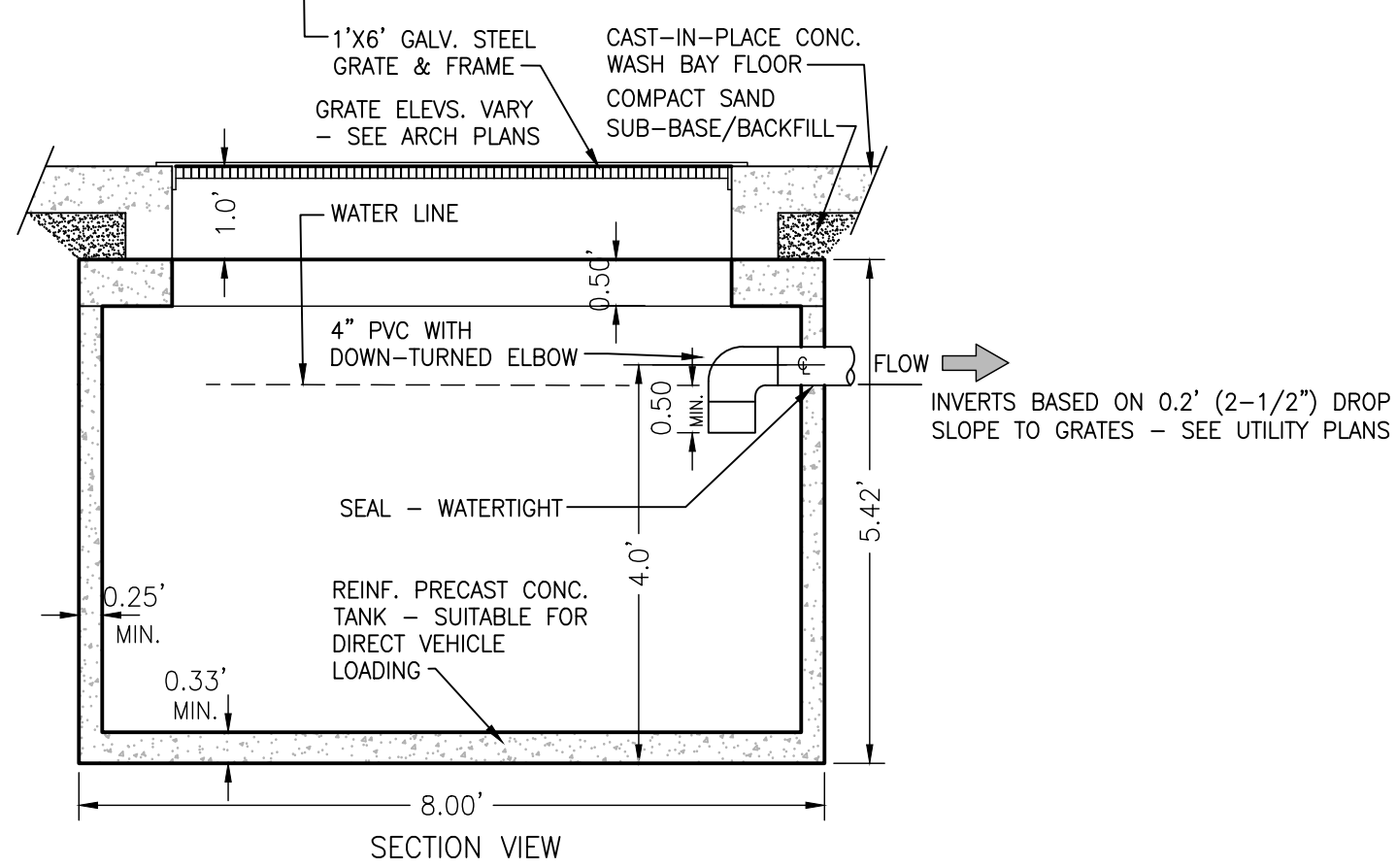


EJ 6954 GRATE
(WITH CORED SLOTS FOR BOLTING)



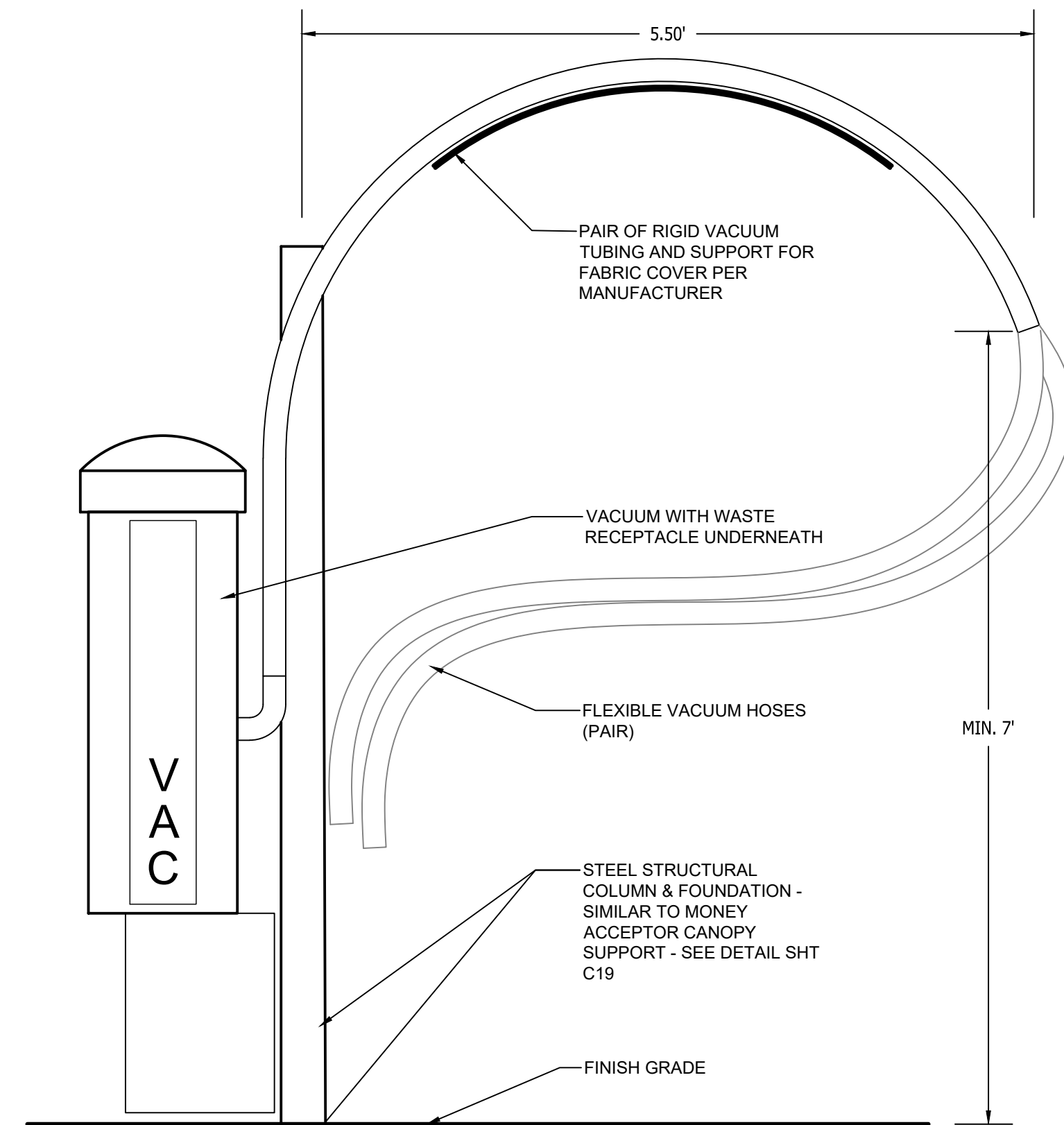
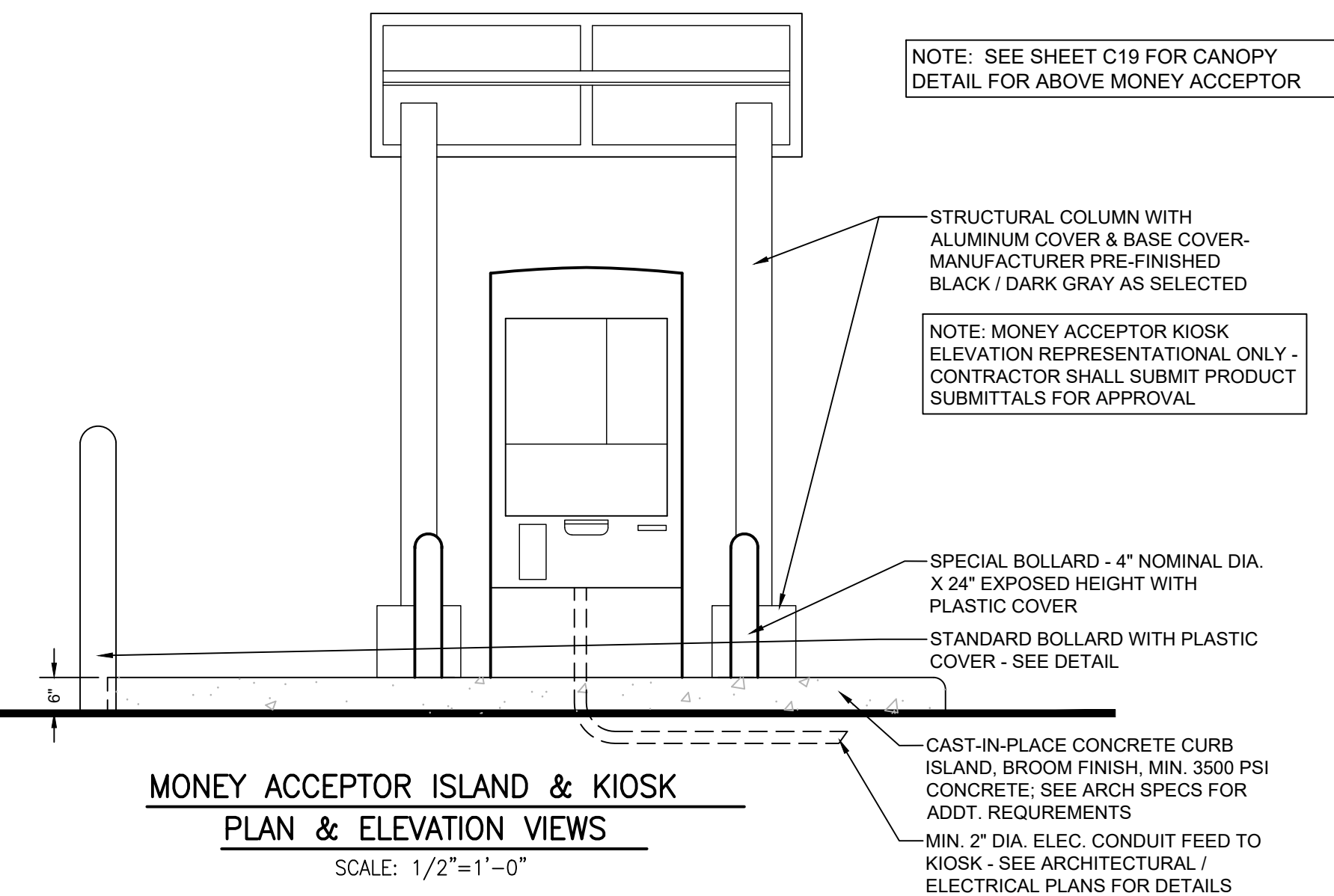
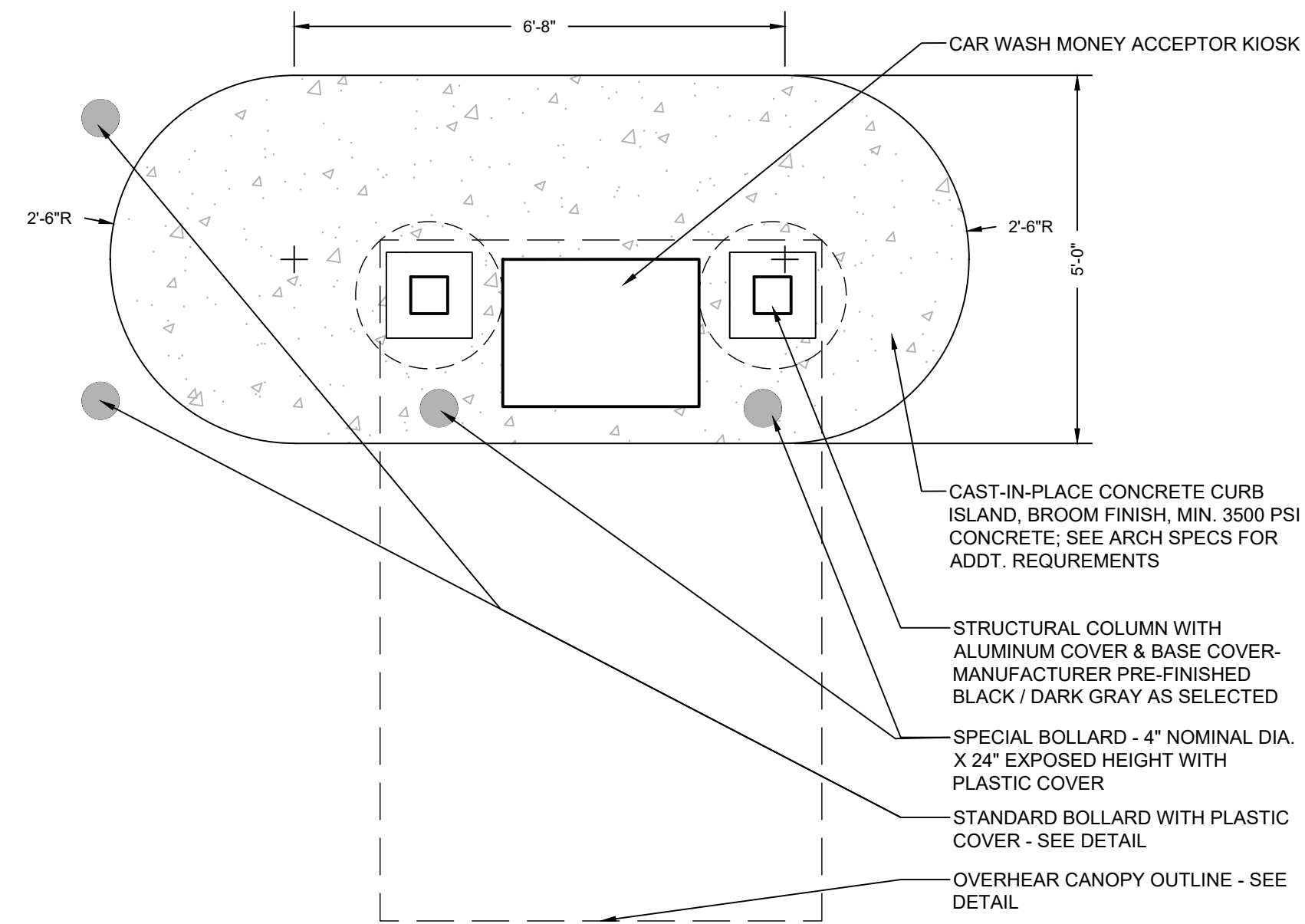
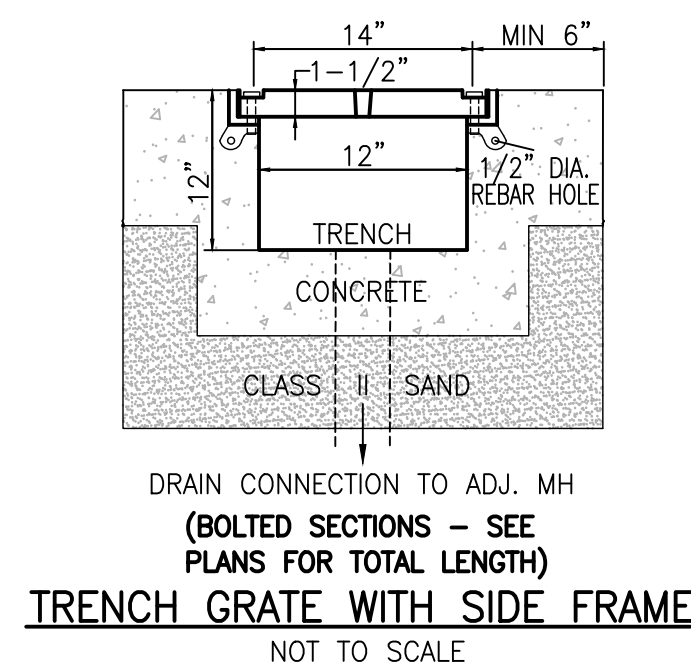
NOTES:
1. DIMENSIONS SHOWN FOR 1,000 GAL. NOMINAL TANK - SEE UTILITY PLAN

CARWASH MONITORING & OIL
INTERCEPTOR TANK DTL (TYPICAL)
NOT TO SCALE



NOTE:
REFER TO ARCHITECTURAL BUILDING MECH., ELEC., &
PLUMBING (M.E.P.) PLANS FOR ADDITIONAL INFORMATION
INCLUDING SPECIFIC PIPING CONFIGURATIONS, SLOPES, AND
ELEVATIONS

CARWASH SEDIMENTATION CONTROL
TANK DETAIL
NOT TO SCALE



SEE SHEET 2 FOR GENERAL
NOTES AND LEGEND

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NOT FOR CONSTRUCTION

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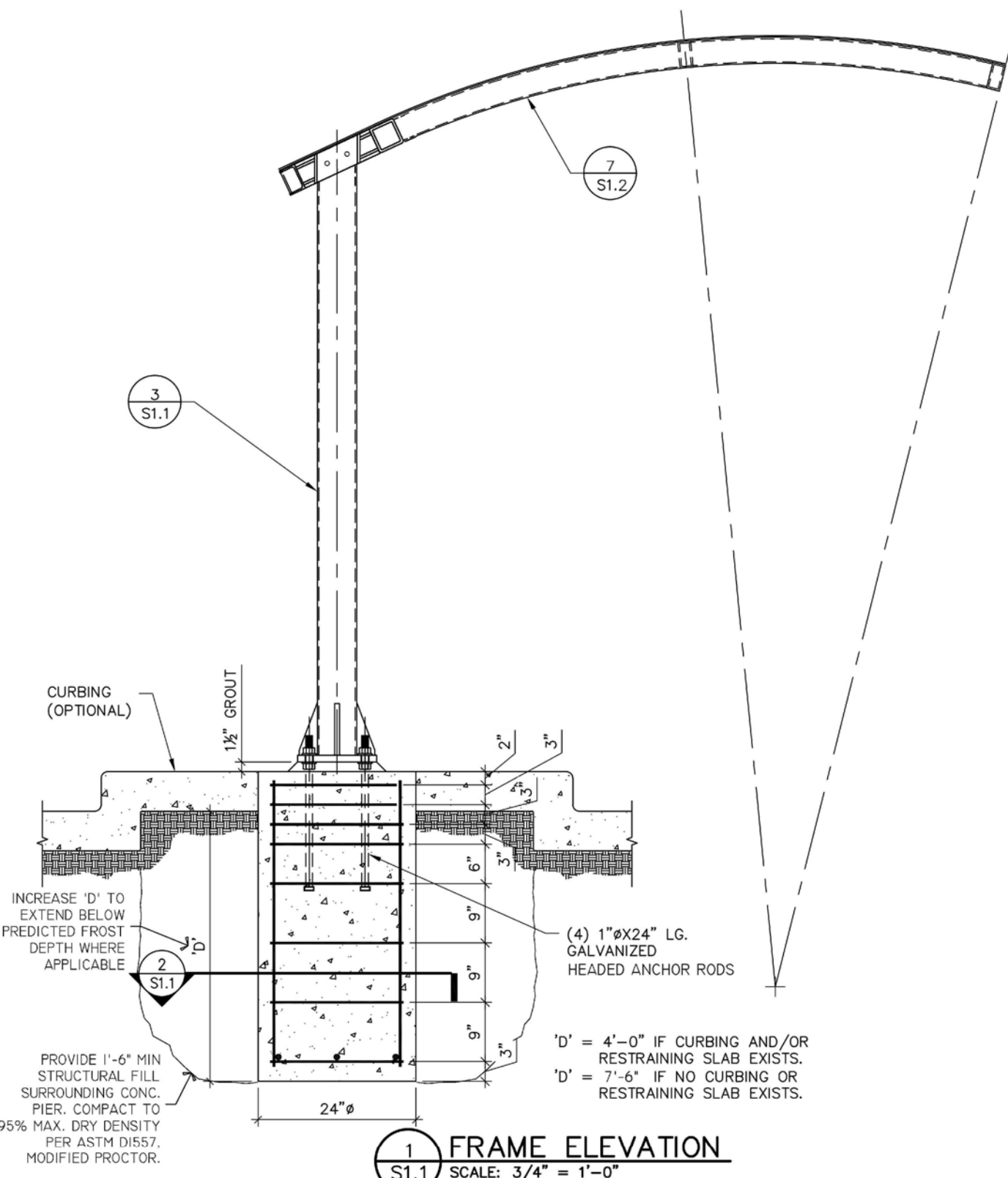
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Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3335 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3358

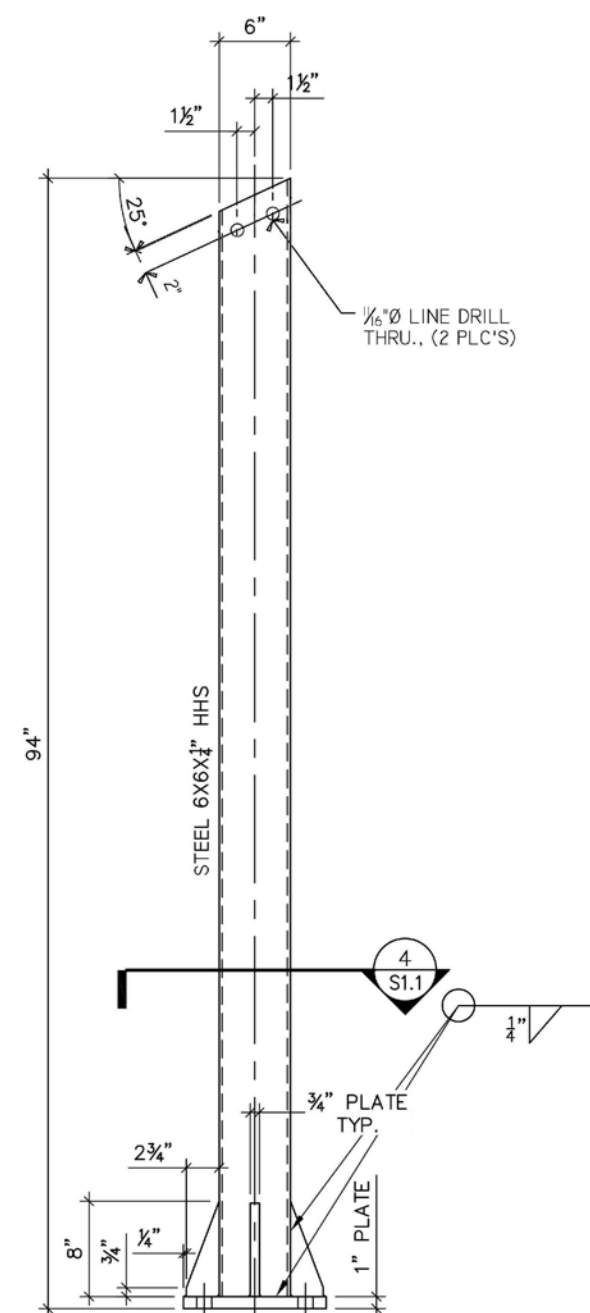
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NO	BY	DATE	REVISION PER

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DRAWN BY: DH
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SCALE: NO SCALE
JOB NO: 23-134
DATE: 10/31/23
SHEET NO.

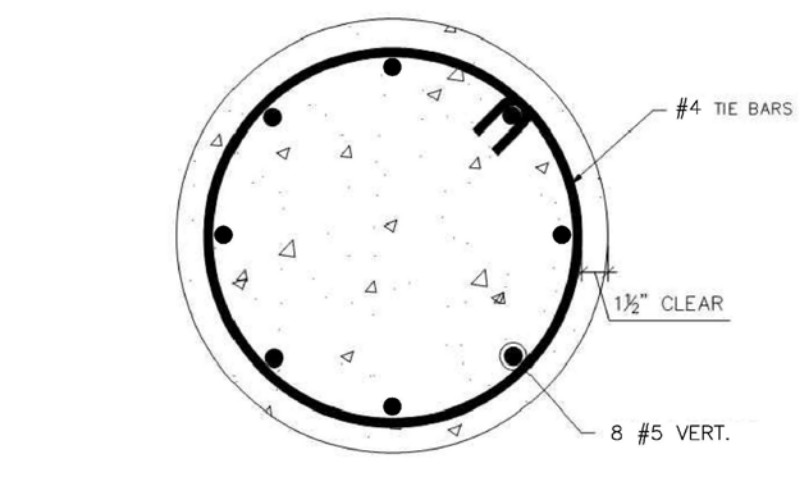
13 **BEBOSS**
Engineering



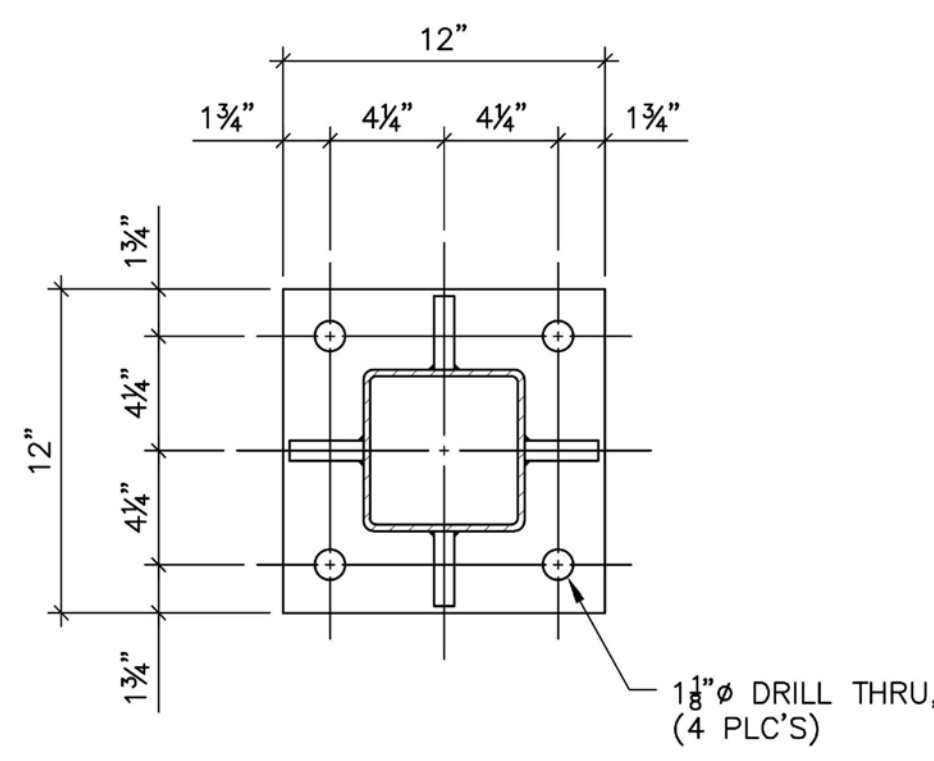
1 FRAME ELEVATION
S1.1 SCALE: 3/4" = 1'-0"



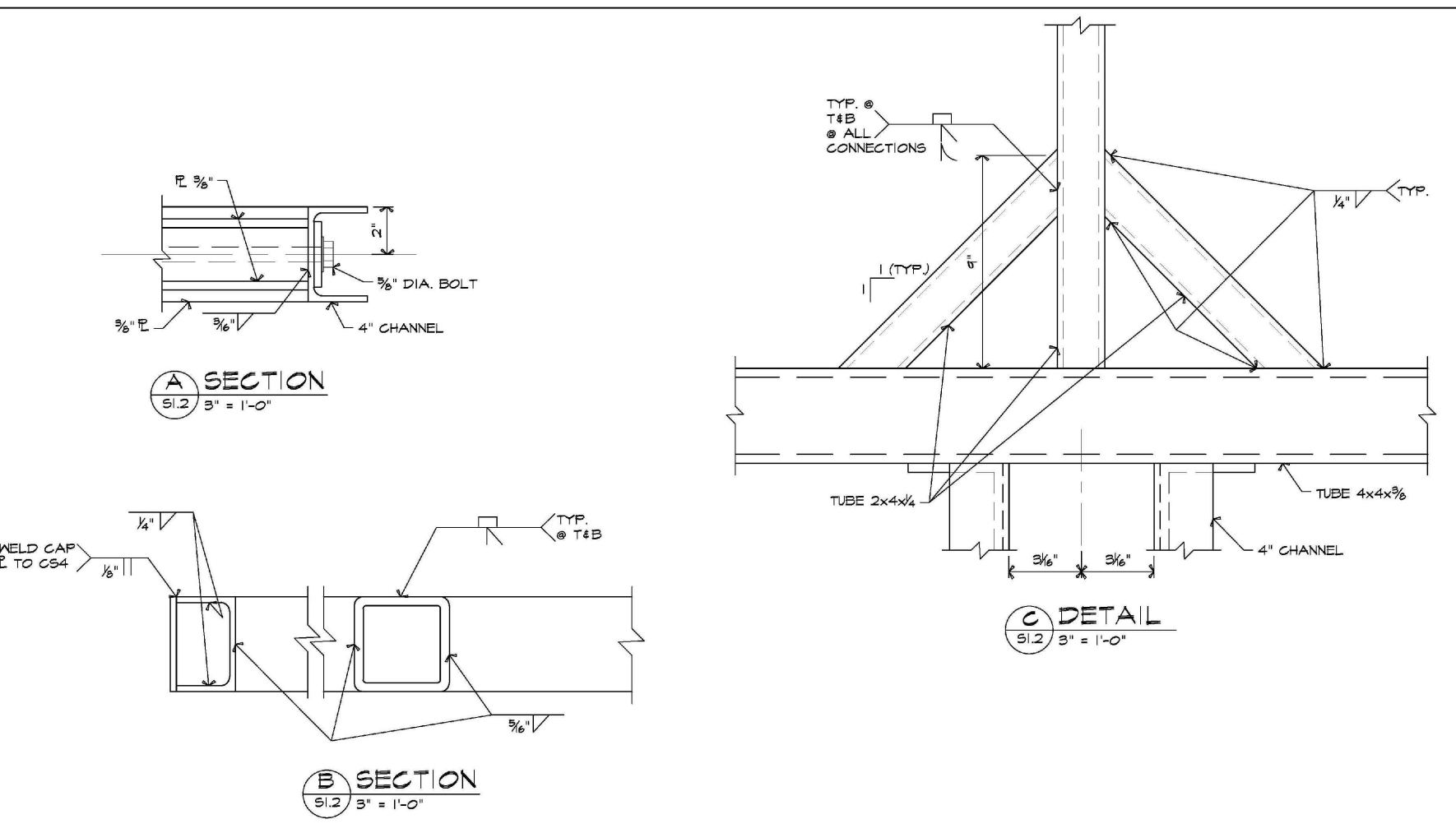
3 POST DETAIL
S1.1 SCALE: 1" = 1'-0"



2 SECTION THRU FOUNDATION
S1.1 SCALE: 1 1/2" = 1'-0"



4 SECTION - BASE PLATE
S1.1 SCALE: 1 1/2" = 1'-0"



MONEY ACCEPTOR CANOPY DETAILS
SCALES AS NOTED

STRUCTURAL STEEL NOTES

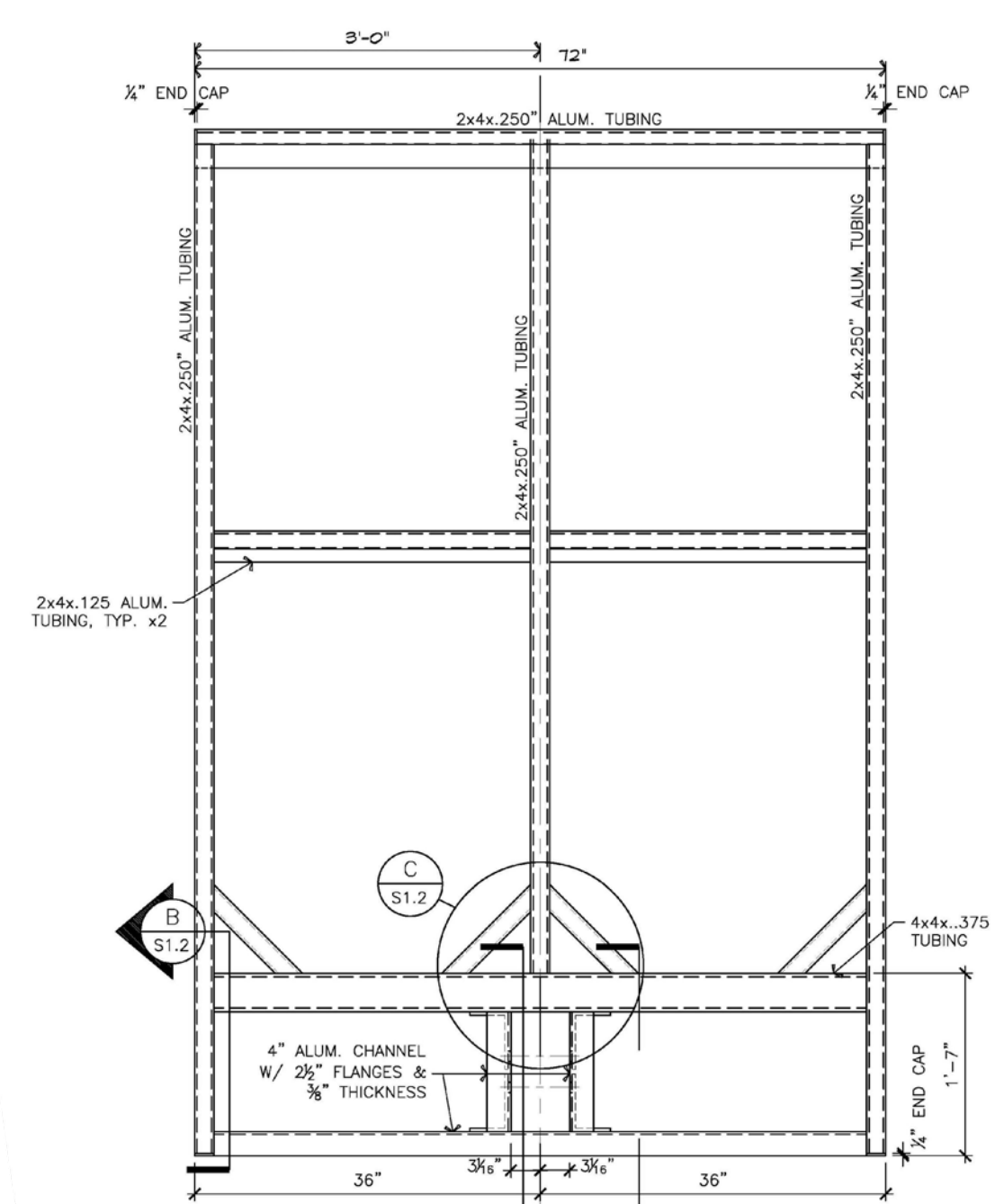
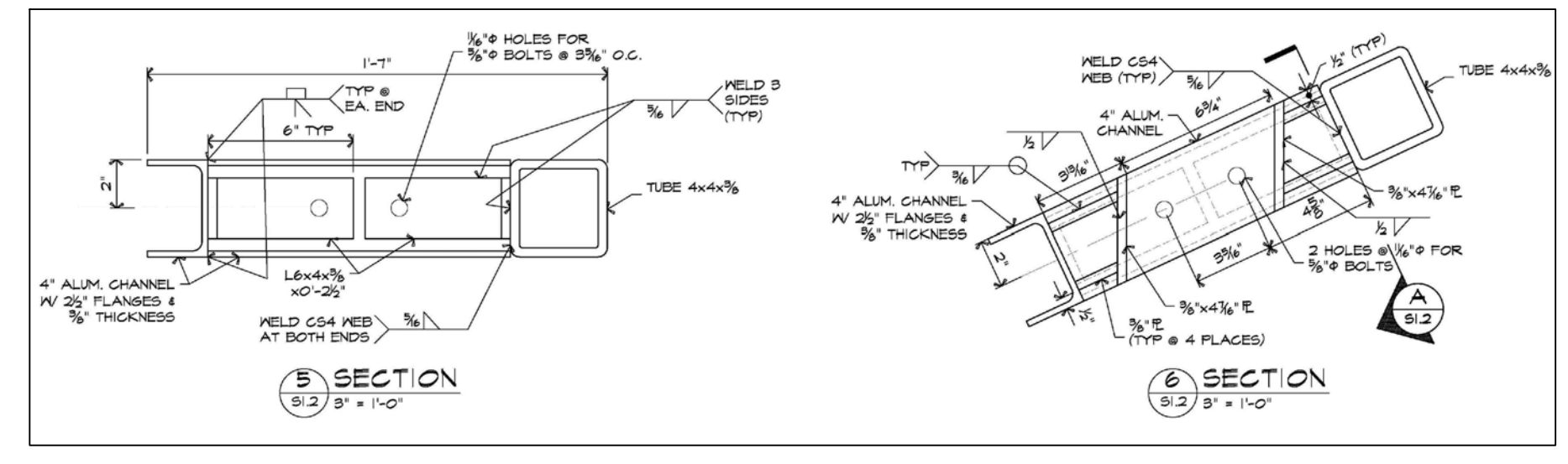
- COMPLY WITH AISC'S "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS—ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN," RCSC'S "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A 325 OR A 490 BOLTS," AND AWS D1.1 "STRUCTURAL WELDING CODE—STEEL."
- HOLLOW STEEL SECTIONS: ASTM A500, GRADE B, F_y = 46 KSI.
- PLATES, BARS & OTHER SHAPES: ASTM A36
- ANCHOR BOLTS & NUTS: ASTM F1554, GR. 36, HEADED RODS, AND ASTM A36 NUTS. INSURE THAT RODS ARE FREE OF OIL AND DEBRIS PRIOR TO PLACEMENT.
- GROUT: ASTM C 1107, NONMETALLIC, SHRINKAGE RESISTANT, PREMIXED.
- FABRICATE STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" FOR STRUCTURAL STEEL.
- SHOP PRIMER: ONE COAT OF RED OXIDE, MIN. (2) MILS THICK. TOUCH-UP ANY DAMAGED SURFACES AFTER ERECTION.
- ERECT STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND WITHIN ERECTION TOLERANCES OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES."
- SET BASE AND BEARING PLATES ON WEDGES, SHIMS, OR SETTING NUTS. TIGHTEN ANCHOR BOLTS, CUT OFF WEDGES OR SHIMS FLUSH WITH EDGE OF PLATE, AND PACK GROUT SOLIDLY BETWEEN BEARING SURFACES AND PLATES.
- ALL WELDING SHALL BE DONE IN ACCORDANCE WITH AWS BY CERTIFIED WELDERS. WELD FILLER ALLOY SHALL BE ONE OF THE FOLLOWING: 5183, 5356, 5554, OR 5556.
- BREAK ALL SHARP EDGES.
- ALL ALUMINUM SHALL BE 6061 ALLOY.
- THE STRUCTURE IS DESIGNED FOR LOADS IN ACCORDANCE WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2005 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE7-05.

- A. ROOF LIVE LOAD: 25 PSF
- B. WIND LOAD:
 (1) BASIC WIND SPEED V = 120 MPH
 (2) WIND IMPORTANCE FACTOR I = 1
 (3) OCCUPANCY CATEGORY II
 (4) WIND EXPOSURE EXPOSURE B
 (5) INTERNAL PRESSURE COEFFICIENT GCPI = 0.0
- C. FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF.

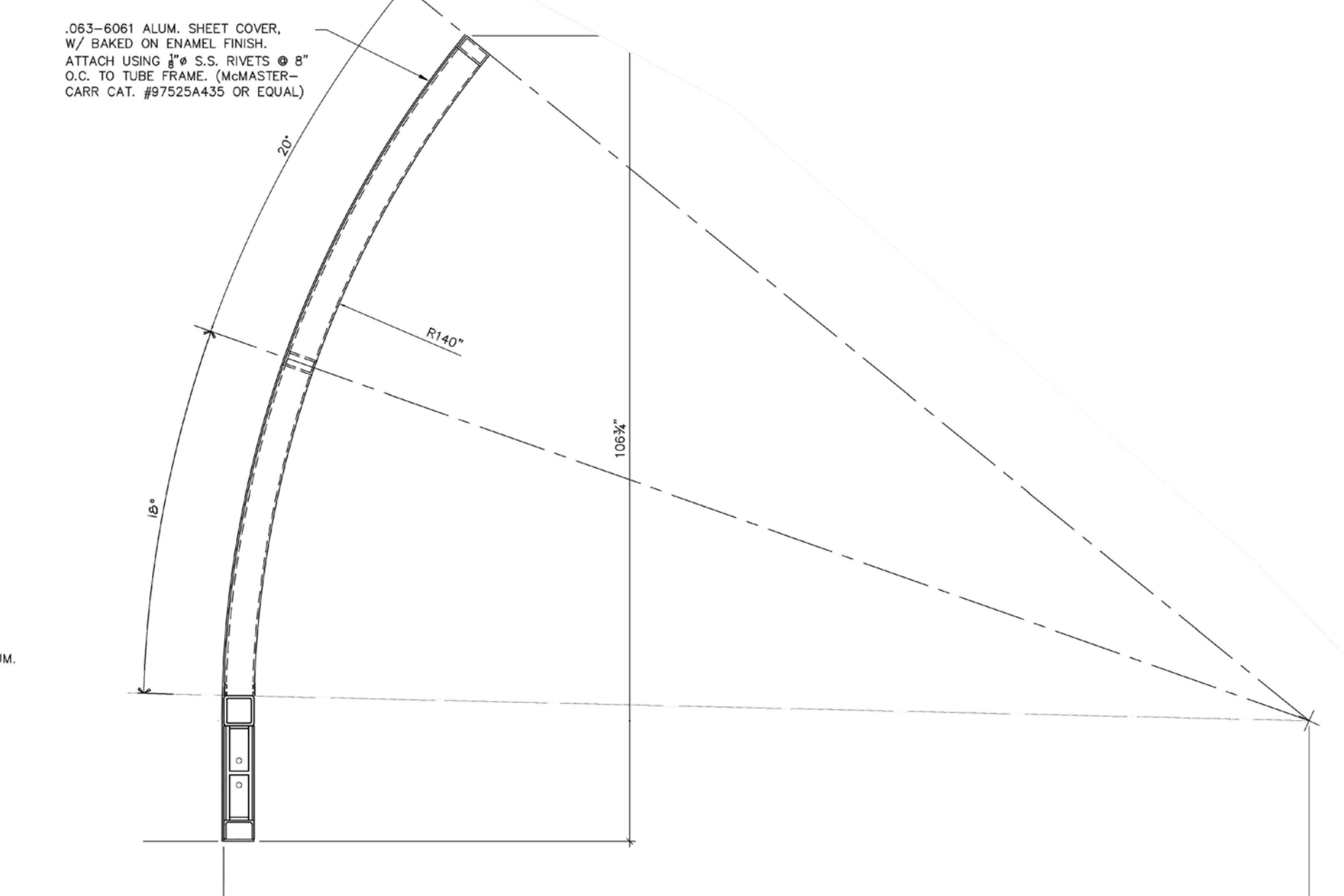
CAST-IN-PLACE CONCRETE

- COMPLY WITH ASTM C94; ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"; AND CRSI'S "MANUAL OF STANDARD PRACTICE."
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI. CONCRETE THAT WILL NOT BE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- REINFORCING BARS SHALL NOT BE SPLICED.
- DEFORMED REINFORCING BARS: ASTM A615, GRADE 60.
- PORTLAND CEMENT: ASTM C150, TYPE 1.
- FLY ASH: ASTM C618, TYPE F (LIMITED TO 15 PERCENT OF TOTAL CEMENT CONTENT).
- PROPORTION NORMAL-WEIGHT CONCRETE MIXES TO PROVIDE THE FOLLOWING PROPERTIES:
 A. COMPRESSIVE STRENGTH: 3000 PSI AT 28 DAYS FOR BUILDING FOUNDATIONS AND FOOTINGS.
- DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT, UNLESS APPROVED BY ENGINEER.
- PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACING, AND CURING. REPAIR SURFACE DEFECTS AS REQ'D.
- STRUCTURAL FILL SHALL BE CLEAN, NON-FROST SUSCEPTIBLE SAND AND GRAVEL MEETING THE GRADATION REQUIREMENTS GIVEN BELOW:

STRUCTURAL FILL	
SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90 TO 100
1/2 INCH	25 TO 90
#40	0 TO 30
#200	0 TO 5



7 CURVED CANOPY TOP FRAME
S1.2 SCALE: 1" = 1'-0"



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

BEBOSS ENGINEERING, INC.
 3121 E. GRAND RIVER AVE.
 HOWELL, MI 48843
 517-546-4836

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3335 HIGH HILLcrest DRIVE
 HOWELL, MI. 48843
 313.350.3388

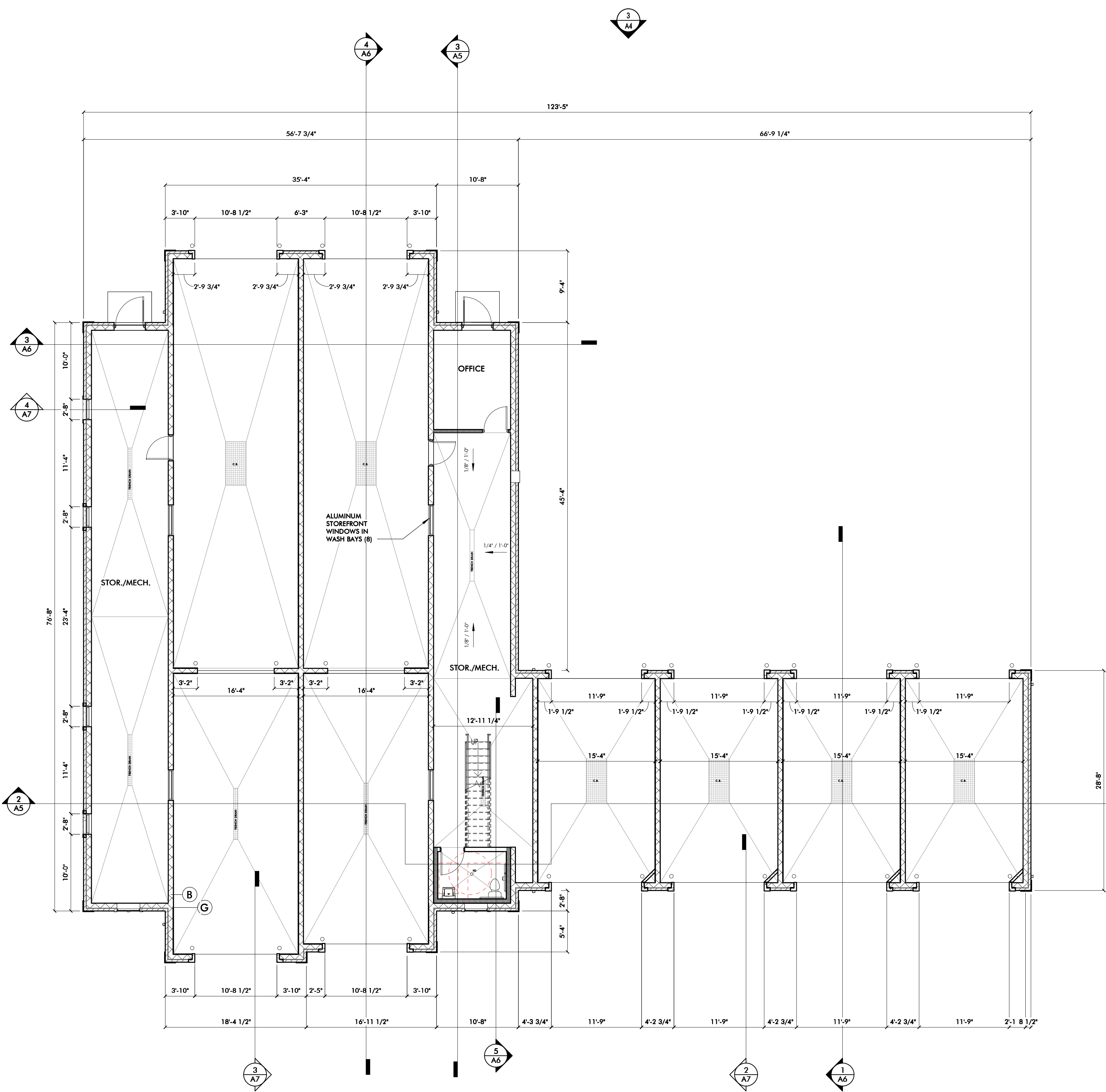
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NO	BY	DATE	REVISION PER
3	PC	2/26/24	REVIEW COMMENTS (ARCHITECTURAL ONLY)
2	PC	1/23/24	REVIEW COMMENTS
1	PC	12/18/23	REVIEW COMMENTS
NO	BY	DATE	REVISION PER

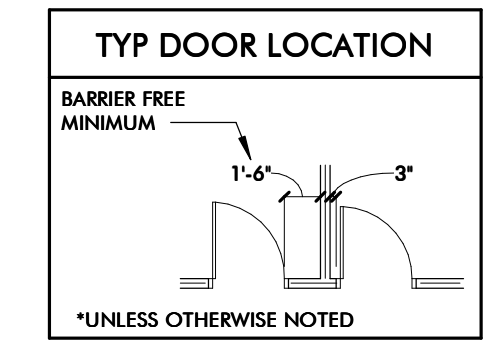
DESIGNED BY: PC
 DRAWN BY: PC
 CHECKED BY:
 SCALE: NO SCALE
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. 14

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION

H:\8400\WORKING\Soapy Bucket Genoa Two Kohler\23035 Soapy Bucket Genoa Kohler.rvt
 DATE PLOTTED: 10/20/2023 4:45:44 FILE LOCATION: C:\Users\kohlert\OneDrive\Documents\23035 Soapy Bucket Genoa Kohler.rvt
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WALL TYPES	
	8" CMU 1" AIR GAP 4" FACE BRICK
	8" CMU
	5/8" TYPE X GYP. BD. 2" MINERAL WOOL INSULATION BOARD 2x4 WOOD STUD FRAMING 5/8" TYPE X GYP. BD.
	5/8" TYPE X GYP. BD. 2" MINERAL WOOL INSULATION BOARD 2x4 WOOD STUD FRAMING
	5/8" TYPE X GYP. BD. 2x4 WOOD STUD FRAMING w/ BATT INSUL. 5/8" TYPE X GYP. BD.
	5/8" TYPE X GYP. BD. 2x6 WOOD STUD FRAMING w/ BATT INSUL.
	WALL LINER PANELS, TYP. of ALL WASH BAYS



NOTES

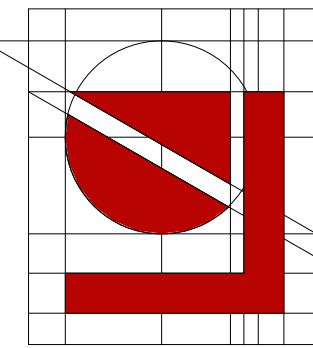
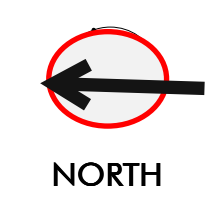
- ASSUMED F.F.E. = 100'-0"

LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED

1
A4

FLOOR PLAN

1/8" = 1'-0"



Lindhout Associates
architects aia pc
 Brighton, Michigan 48116-9510
 10465 Citation Drive, (810) 227-5668 fax: (810) 227-5855
 www.lindhout.com

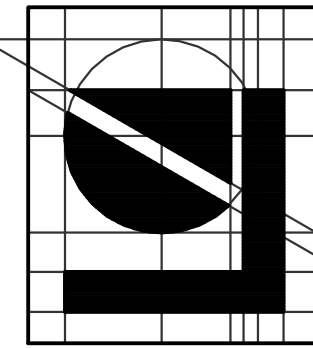
CONSULTANT

DATE	ISSUED FOR
10-23-23 <td>SITE PLAN REVIEW </td>	SITE PLAN REVIEW

NEW BUILDING for:
SOAPY BUCKET CAR WASH
 HOWELL, MI
FLOOR PLAN

A1
23035

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Lindhout Associates
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10465 citation drive, brighton, michigan 48116-9510
www.lindhout.com (810)227-5666 fax: (810)227-5655

1
AO

XX

	SOIL		MARBLE		RIGID INSULATION
	SAND GRANULAR FILL		METALS-LARGE SCALE		PREMOLDED EXPANSION JOINT OR COMPRESSIBLE FILLER STRIP
	GRAVEL		METALS-SMALL SCALE		GLASS OR PLASTIC GLAZING
	CONCRETE		FINISH WOOD		PLASTER OR GYPSUM BOARD
	CONCRETE MASONRY UNIT		PLYWOOD PARTICLE BOARD		CERAMIC OR QUARRY TILE
	BRICK		CONTINUOUS WOOD BLOCKING		TERRAZZO
	GLAZED CMU		INTERRUPTED WOOD BLOCKING OR SHIMS		ACOUSTICAL PANEL OR ACOUSTICAL TILE
	STONE		BATT INSULATION		



COMBINE BLACK CANOPIES WITH BLACK HOSES
"BLACK" FINISH VACUUM PACKAGE



2
AO

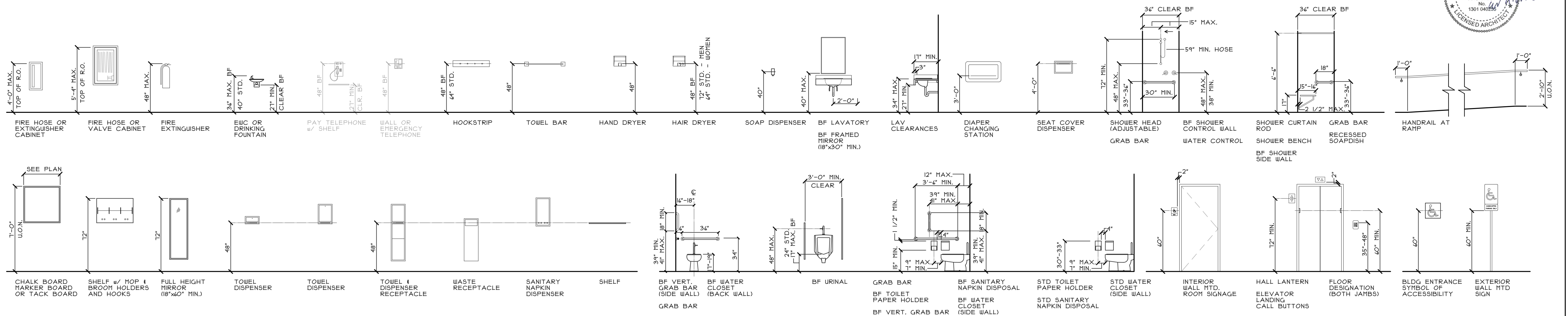
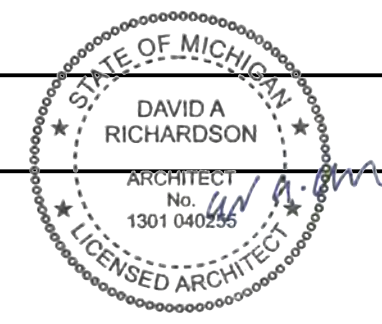
MATERIAL LEGEND

3
AO

VACUUMS, BLACK HOSES

4
AO

VACUUMS, BLACK CANOPIES



5
AO

MOUNTING HEIGHT

MOUNTING HEIGHTS SHOWN ARE BASED UPON RECOGNIZED DESIGN STANDARDS AND/OR BARRIER FREE CODE REQUIREMENTS. IT IS INTENDED THAT LIKE DEVICES ALL BE MOUNTED AT THE SAME HEIGHT THROUGHOUT THE ENTIRE PROJECT. RECESSED DEVICES IN MASONRY WALLS MAY DICTATE A DEVIATION (± 2") FROM THESE HEIGHTS (WHEN PERMITTED BY CODE) SO AS TO ALLOW THE BOTTOM OR THE TOP OF THE DEVICE RECESS TO ALIGN WITH MASONRY COURSING. COORDINATE THESE DEVIATIONS WITH THE ARCHITECT'S/OWNER'S REPRESENTATIVE. SCALE: 1/4" = 1'-0"

consultant

SITE PLAN REVISION: WINDOWS
issued for

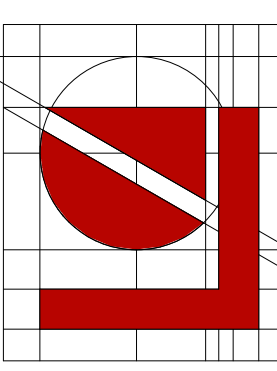
2-22-24
date

dr: DAR
ck'd: DAR
app'd: XXX

NEW BUILDING for:
SOAPY BUCKET CAR WASH
GENOA TWP., MI
EQUIPMENT STANDARDS

AO
23106

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CONSULTANT

DATE:	ISSUED FOR:
02-22-24	SITE PLAN REVISION, WINDOWS
02-15-23	SITE PLAN REVISION ROTATED
11-28-23	PRELIMINARY PRICING SET
10-25-23	SITE PLAN REVIEW

NEW BUILDING for:
SOAPY BUCKET CAR WASH
GENOA TWP., MI
EXTERIOR ELEVATIONS

A4
23106



EAST ELEVATION
1/8" = 1'-0"



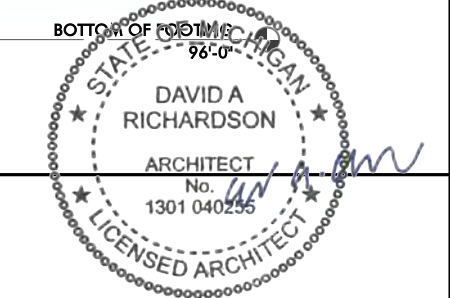
WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



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DATE PLOTTED: 2/13/2024 4:18:18 PM FILE LOCATION:



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 28, 2024
RE: Faulkwood Shores New Clubhouse – 300 S. Hughes Rd.
Impact Assessment

Please find attached the project case file for the Faulkwood Shores golf course clubhouse reconstruction. The previous building was destroyed by fire in 2022. This project involves construction of a new clubhouse in addition to parking lot and site layout improvements. The site is located at 300 S. Hughes Road on the west side of S. Hughes Road, south of Golf Club Road. The site is zoned Public and Recreational Facilities (PRF).



SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Procedurally, the Planning Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Environmental Impact Assessment. The project was heard before the Planning Commission on February 13th, 2024 and the Commission approved the site plan and recommended approval of the Impact Assessment as submitted. Based on the recommendation from the Planning Commission, I offer the following for your consideration:

February 28, 2024

Faulkwood Shores New Clubhouse – 300 S. Hughes Road

Page 2 of 2

ENVIRONMENTAL IMPACT ASSESSMENT

Moved by _____, supported by _____, to approve the Environmental Impact Assessment dated November 29, 2023 for reconstruction of the Faulkwood Shores Clubhouse building and related site improvements located at 300 S. Hughes Road with the condition that all requirements of the site plan approval by the Planning Commission be met prior to issuance of a land use permit.

If you should have any questions, please feel free to contact me.



Kelly VanMarter, Township Manager



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
NOV 29 2023
RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Matt DeLapp
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Faulkwood Shores Singh LLC / 7125 Orchard Lake Road Suite 200 West Bloomfield, MI 48325

SITE ADDRESS: 300 S Hughes Rd PARCEL #(s): 4711-04-200-018

APPLICANT PHONE: (248) 986-6875 OWNER PHONE: () N/A

OWNER EMAIL: N/A

LOCATION AND BRIEF DESCRIPTION OF SITE: West of South Hughes Road
between Grand River and Golf Club Road.

BRIEF STATEMENT OF PROPOSED USE: No change in use is proposed.

THE FOLLOWING BUILDINGS ARE PROPOSED: Reconstruction of the Clubhouse

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Matt DeLapp

ADDRESS: 7125 Orchard Lake Road Suite 200 West Bloomfield, MI 48325

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

I.) Matt DeLapp of Singh Development at matt.delapp@singhmail.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Matt DeLapp Digitally signed by Matt DeLapp
DN: cn=Matt DeLapp, o=Singh Homes, ou=emaia-Matt DeLapp@singhmail.com, c=US
Date: 2023.11.29 14:30:45 -0500 DATE: 11/29/2023
PRINT NAME: Matt DeLapp PHONE: (248) 986-6875
ADDRESS: 7125 Orchard Lake Rd West Bloomfield Township, MI 48322

Singh Development, LLC
7125 Orchard Lake Road Suite 200
West Bloomfield, MI 48325-3005

Telephone: (248) 865-1600
Fax: (248) 865-1630
Web: www.SinghWeb.com

February 26, 2024

Genoa Charter Township
2911 Dorr Road, Brighton
Michigan 48116

Subject: Faulkwood Shores Clubhouse Application for Site Plan Review

To Whom it May Concern,

I am pleased to be submitting the attached revised submittal for the Faulkwood Shores Clubhouse reconstruction located at 300 S Hughes Rd, Howell, MI 48843.

Along with this transmittal please find the following:

- Correspondence Letter: Indicating changes made to the submittal per Planning Commission approval. One PDF and one printed copy
- Environmental Impact Assessment: One PDF and one printed copy of the most recent version with attachments.
- Site Plans: One reduced file size PDF and one printed copy folded.
- Building Elevations: One reduced file size PDF and one printed copy.
- Photometric Plan: One reduced file size PDF and one printed copy folded.

The following changes were made to the submittal per Planning Commission approval:

Site Plan

- C4 and C5; Updated rain garden detail as follows:
- Additional proposed pavement along the south edge of the parking lot will be directed to the rain gardens and underdrain. There is some runoff that flows that direction currently as well. Additional flow arrows and proposed grade elevations will be added. Collecting, infiltrating, and treating storm water runoff in the rain garden will be provided.
- The flow to the rain garden is sheet flow and not concentrated, rip rap would not be necessary. A 2' inlet structure with 8" underdrain will be added at each rain garden connecting to the existing catch basin near the storage and maintenance building. The existing structure has 1' of cover.

Landscaping Plan

- LS-1; Added rain gardens and revised the location of (2) proposed trees.
- LS-2; Added planting detail for the rain gardens.

Photometric Plan

- Submitting for initial review.

With this, I believe we have submitted all documents necessary for your review. Please do not hesitate to contact me should you need anything further. Thank you.

Sincerely,



Matt DeLapp
Singh Development

Cc: Avi Grewal, Todd Rankine

- b. A color rendering and/or color samples should be provided prior to making discretion decision about materials.
- c. Any landscaping that is in poor condition should be replaced as part of this project. Any landscaping on the original approved site plan that has been removed should also be replaced.
- d. Since applicant has stated that the dumpster is being relocated, then he does not believe that a truck turning template needs to be provided.
- e. It was encouraged that the applicant removes the non-conforming pole sign and replace it with a conforming monument sign.
- f. A second wall sign is allowed for corner lots.
- g. The applicant is required to obtain a sign permit from the Township prior to installation of any new signage.

Applicant showed color renderings to the Commissioners. The Commission requested that the color renderings be emailed to staff to be included in the record. It was stated that the roof top mechanicals will continue to be screened.

Commissioners discussed the non-conforming pole sign being replaced with a monument sign. Commissioners requested that due to the building being allowed two wall signs and allowed to be deficient in materials on the new façade, the pole sign will be removed and replaced with a monument sign in conformance with the Township Ordinance.

A call to the public was made at 7:25 p.m.

Moved by Commissioner Rauch, supported by Commissioner McCreary, to approve the Sketch Plan dated November 21, 2023 for 3480 E. Grand River Avenue with the following conditions:

1. The updated renderings emailed to staff on February 13, 2024 and that were presented to the Commissioners at the February 13, 2024 Planning Commission meeting are acceptable.
2. Existing dumpster enclosure is found to be acceptable and will be brought into conformance with the addition of gates.
3. Landscaping will be reviewed staff and if required will be brought into compliance.
4. Material color and samples are acceptable and the Commission acknowledges the deficiency in the required materials percentages and will allow it due to the monument sign will replace the existing non-conforming pole sign.
5. Applicant is required to submit for a sign permit for the new monument sign.

OPEN PUBLIC HEARING #3...Consideration of a site plan application, environmental impact assessment and site plan for the reconstruction of the Faulkwood Shores Clubhouse building located at 300 S. Hughes Road, west side of S. Hughes Road, north of Arrow Drive. The request is petitioned by Singh Development, LLC.

- A. Recommendation of Environmental Impact Assessment (11-29-23)
- B. Disposition of Site Plan (1-22-24)

Matt DeLapp of Singh Development and Jason Fleis of the Umlor Group were present for the petitioner.

Mr. DeLapp stated that the Faulkwood Golf Course has been a staple in the community since 1969 with 117 acres that include natural features. Singh Development has owned and operated the golf course since 2017. The clubhouse was destroyed by a fire in 2022 which is made this project necessary. Mr. DeLapp proceeded to give a presentation of their request indicating the parking has been expanded to enhance public safety and be brought closer into conformance with the Township Zoning Ordinance by adding additional parking spaces and lighting. The floor plan was designed based on the concept of the Links of Novi Clubhouse on a smaller scale, and closing off the overflow parking unless the parking lot is at capacity. In regards to the building materials, the applicant is proposing to construct a building with incorporated materials that will maintain the character of the neighbor and resemble a residential building.

Mr. Fleis gave a brief overview of the proposed drainage on the site in regards to the additional hard surface being proposed to the project and the addition of rain-gardens that will direct runoff to the existing basin.

The Commissioners discussed their concerns about the public safety of the overflow parking and how it was going to be managed. Mr. DeLapp stated that the employees will manage the overflow parking especially on the peak days and times. There is a gate that will be installed to prohibit anyone from parking in overflow lot unless necessary.

The applicant is working with the Livingston County Road Commission on how to enhance the crossing on Hughes Road for the golf carts. Additional signage and striping on Hughes Road will be added for public safety.

Commissioner Rauch asked when the landscaping plan and lighting plan will be submitted for review. Mr. Borden stated that the landscape plan was included in the original submittal however it was not part of the resubmittal. The original landscape plan did meet the Township Zoning Ordinance and lighting plan must be reviewed for compliance. Mr. DeLapp stated that there are no proposed revisions to the landscaping plan.

Mr. Borden reviewed his letter dated February 1, 2024:

1. Use Conditions:
 - a. A variance is required to allow the encroachment into the front yard setback. The applicant has obtained a variance from the Zoning Board of Appeals.
2. Site Plan Review:
 - b. The amount of fiber cement siding exceeds the ordinance. The Planning Commission has discretion to modify that requirement.
 - c. The Commission may wish to require improvements to the overflow parking.
 - d. The lighting plan shall be submitted to the Township and reviewed for compliance with the Township Zoning Ordinance.

Ms. Shelby Byrne reviewed her letter dated February 6, 2024:

1. The proposed parking lot does not include concrete curb and gutter as required. The Commission may wish to require the addition of curb and gutter as part of this project.

2. Drainage on this site goes directly to the Lake Chemung Outlet drain without any detention or pretreatment. As part of this project, pretreatment should be provided for any additional impervious surface added to the site. Rain gardens sized for the additional impervious surface have been added to the plans, but it appears that the entire parking lot drains away from the rain gardens and they would not provide any pretreatment of storm water flow from the parking lot. A portion of the parking lot should be graded toward the rain gardens, or the rain gardens should be relocated.
3. It is recommended that an additional drainage and grading review be required to ensure that the rain gardens are functional.

Commissioner McCreary asked if the removal of the trees as stated in the Impact Assessment were taken into account on the original landscaping plan. Mr. DeLapp stated that the landscaping plan does include the removal of the 5 trees.

A call to the public was made at 8:04 p.m. with the following response: Melanie Johnson, 3990 Chilson Road, asked if the structure behind clubhouse is where the golfers obtain the golf cart and if so then that encourages the golfers to park in the overflow parking. Mr. DeLapp stated that the golfers have to go into the clubhouse prior to obtaining a golf cart. The call to the public was closed at 8:05 p.m.

Moved by Commissioner Rauch, supported by Commissioner McCreary, to recommend approval to the Township Board, the Environmental Impact Assessment dated November 29, 2023 for improvements to the Faulkwood Clubhouse as submitted. **The motioned carried unanimously.**

Moved by Commissioner Rauch, support by Commissioner McBain, to approve the Site Plan dated January 22, 2024 with the following conditions:

1. Planning Commission finds the deficiency of the materials to be acceptable because it provides a more residential look to the building and fits in with the neighboring properties and the quality of materials is not diminished.
2. A lighting plan must be submitted to Township Staff for review and shall comply with the Township Lighting Standards.
3. Landscape plan provided in a previous submittal shall be a part of this submission and that it meets the Township Zoning Ordinance per the Township Planner.
4. Exclusion of curb and gutter is acceptable as the modifications to the site include significant upgrades to the parking lot and drainage would be encumbered by the addition of the curb and gutter.
5. The grading and drainage updates specifically the rain garden components need to be submitted and approved by the Township Engineer.
6. The operations of the golf course will require the overflow parking to be gated and only open in the necessity of the primary parking lot being at capacity.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig did not have a report.



February 1, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Faulkwood Shores Clubhouse – Site Plan Review #2
Location:	300 S. Hughes Road – west side of S. Hughes Road, north of Arrow Drive
Zoning:	PRF Public and Recreational Facilities District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Singh Development for reconstruction of the Faulkwood Shores clubhouse building at 300 Hughes Road (site plan dated 1/19/24).

A. Summary

1. Use Conditions (Section 6.02.02(d)):

- a. A variance was granted allowing encroachment into the required front yard setback.

2. Site Plan Review:

- a. The amount of fiber cement siding exceeds Ordinance limitations; however, Planning Commission has the discretion to modify this requirement.
- b. Building materials and color scheme are subject to approval by the Planning Commission.
- c. The Commission may wish to require improvement to the overflow parking lot.
- d. When completed, the lighting plan will be subject to review/approval based on current Ordinance standards.
- e. The applicant must provide the landscape plan with the revised plan set.
- f. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

B. Proposal/Process

The applicant proposes construction of a new clubhouse building for Faulkwood Shores (the previous building was destroyed by fire in 2022). The location of the original clubhouse building was nonconforming due to a deficient front yard setback.

At their September 2023 meeting, the ZBA granted a variance allowing the new clubhouse building to be constructed with a 34-foot front yard setback (75-foot minimum required) similar to the original building.

Table 6.02 of the Township Zoning Ordinance lists golf courses as a special land use. Since the project entails construction of the clubhouse building and site improvements (parking, landscaping, etc.), and not an expansion of the actual use, Section 19.06 deems it a minor amendment.

As such, site plan review is required, but a new special land use review/approval is not. The proposal is also subject to the use conditions of Section 6.02.02(d).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment. The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Environmental Impact Assessment.



Aerial view of site and surroundings (looking north; prior to demolition)

C. Use Conditions

Golf courses (and related buildings) are subject to the use requirements of Section 6.02.02(d), as follows:

- 1. The principal and accessory buildings, including maintenance sheds, shall be set back at least seventy five (75) feet from all property and street lines.**

The applicant obtained a variance from the ZBA for the proposed 34-foot front yard setback. The clubhouse building complies with this requirement from the remaining property lines.

- 2. Accessory buildings, structures and storage areas shall be screened on all sides from adjacent residential areas and public street rights-of-way.**

The proposed project does not alter accessory buildings, structures or storage areas.

- 3. Operational hours for maintenance vehicles, course maintenance and/or irrigation may be restricted by the Planning Commission to protect nearby residential.**

The proposed project does not alter the operational standards/conditions of the golf course.

D. Site Plan Review

- 1. Dimensional Requirements.** As previously noted, the ZBA granted a variance allowing the front yard setback encroachment. The proposed building complies with the remaining dimensional requirements of the PRF District.

The existing parking lot is nonconforming due to its deficient setback from the Hughes Road right-of-way; however, this condition is not altered by the proposed project.

- 2. Building Design and Materials.** The building has a stone base and board and batten vertical siding, with an asphalt shingled roof.

The covered porch (front elevation) and window dormers (north and south side elevations) each have a standing seam metal roof.

Colors include white (siding), light gray (stone), dark gray (shingled roof) and black (metal roof).

The revised submittal includes building material calculations noting that the amount of fiber cement siding exceeds the ratio allowed by Section 12.01.

In response to this deficiency, the applicant states that “the design of the clubhouse elevation is inspired by an arts and crafts style of architecture which typically includes little to no masonry.”

Building materials and colors are subject to review and approval by the Planning Commission, which includes discretion to modify materials.

3. **Pedestrian Circulation.** Section 12.05 does not require a public sidewalk or pathway; however, the site plan includes internal sidewalks between the parking lot and building entrances.
4. **Vehicular Circulation.** The site currently has vehicular access to/from Hughes Road and no changes are proposed.

Internally, the parking lot contains a mix of one-way and two-way travel, with appropriate drive aisle widths.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. **Parking.** Based on information contained in the submittal, the project requires 120 parking spaces. The site plan provides 108 spaces in the lot south of the clubhouse building, with another 20 spaces available for overflow parking north of the clubhouse building.

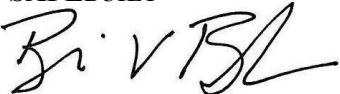
The overflow parking is noted as having been used “historically,” though it does not appear to be an improved parking lot. As such, the Commission may wish to require improvement to this parking lot, in accordance with current Ordinance standards.

Parking space dimensions and design comply with current Ordinance standards.

6. **Exterior Lighting.** A lighting plan has not yet been provided, though the applicant notes they are currently working on one. The applicant further states that existing parking lot lighting will be removed and replaced with fixtures that meet current Ordinance standards.
7. **Landscaping.** The revised submittal does not include the landscape plan provided with the initial submittal. That plan demonstrated compliance with the applicable Ordinance requirements; however, it must be included with the current plan set.
8. **Waste Receptacle.** The site plan does not identify a waste receptacle/enclosure; however, a note indicates that there is an existing dumpster across Hughes Road to the east.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT


Brian V. Borden, AICP
Michigan Planning Manager



February 6, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Faulkwood Shores Clubhouse
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Faulkwood Shores Clubhouse site plan last dated January 19, 2024. The plan was prepared by The ULMOR Group on behalf of Singh Development. The development is located on the west side of South Hughes Road to the north of Fairview Drive. The Petitioner is proposing a new 4,575 square foot clubhouse building. The site plan also includes improvements to the existing parking lot and sidewalks.

We offer the following comments for your consideration:

GENERAL

1. The paved parking area does not have the required amount of parking spaces shown in the proposed parking calculations. An existing overflow parking area is being used to account for the remaining parking requirements.
2. The proposed parking lot does not include concrete curb and gutter as required by Genoa Township's Zoning Ordinance. The Township may wish to require the addition of curb and gutter as part of this project.
3. The Petitioner has submitted plans to the Livingston County Road Commission (LCRC) for approval of the proposed golf cart crossings and said approval should be provided to the Township for their records.

DRAINAGE AND GRADING

1. The existing parking lot drains to an existing storm sewer that outlets directly to the Lake Chemung Outlet Drain without any detention or pretreatment. As part of this project, pretreatment should be provided for any additional impervious surface being added to the site. Rain gardens sized for the additional impervious surface have been added to the plans, but it appears that the entire parking lot drains away from the rain gardens and they would not provide any pretreatment of storm flow from the parking lot. A portion of the rain gardens should be graded towards the rain gardens, or the rain gardens should be relocated.
2. If rain gardens will be used as stormwater pretreatment, rip rap will be required at the inlet to trap sediment and prevent erosion. The rain gardens should also include some type of outlet to direct flow towards the County Drain. It may be a better option to remove a portion of the existing culvert and add a sedimentation basin before outletting to the County Drain.

We recommend the petitioner address the above comments and resubmit for additional review. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2204

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Faulkwood Shores Club Rebuild
300 S. Hughes Rd.
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated November 28, 2023 with latest revisions dated January 19, 2024. The project is based on the proposed new construction of an A-2 occupancy with accessory B-use. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously cited concerns and code requirements related to site access, water supply and fire safety have been addressed.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org



Environmental Impact Assessment
November 2023

1. **Name(s) and address(es) of person(s) responsible for preparation**

This environmental impact assessment was prepared by Matt DeLapp of Singh Development which is located at 7125 Orchard Lake Rd #200, West Bloomfield Township, MI 48322.

2. **Map(s) and Written Description/Analysis of the Project Site**

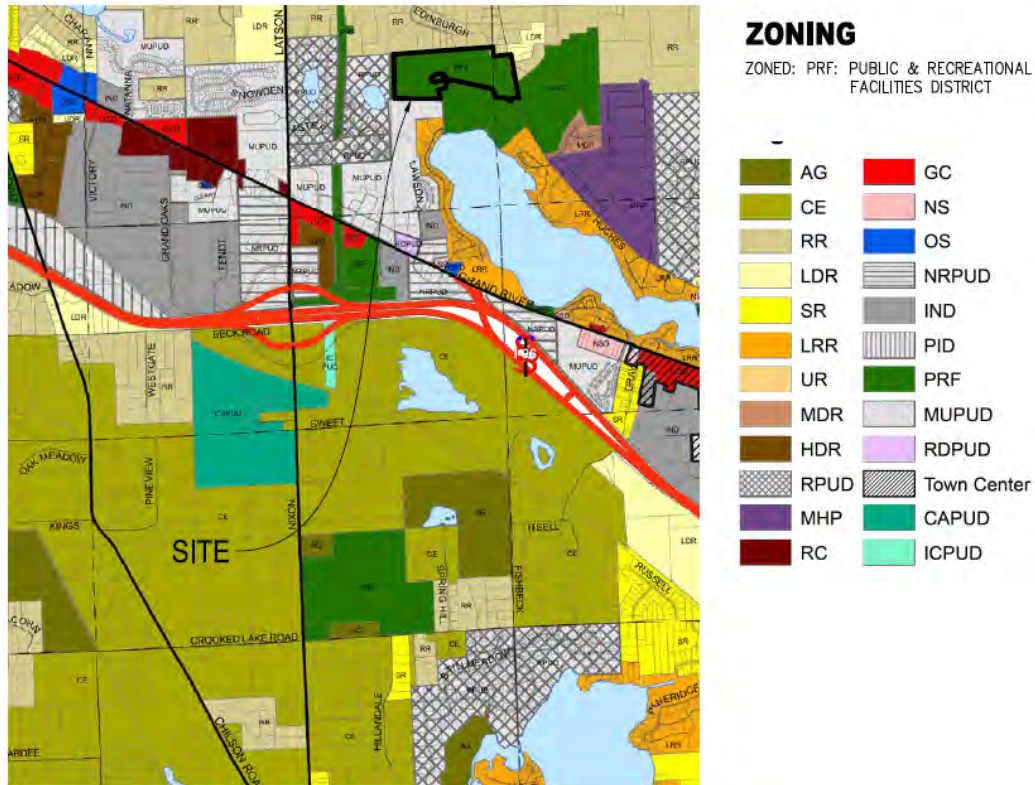
Faulkwood Shores Golf Club consists of two parcels of land containing 174.7 Acres in total. The proposed clubhouse is located on the west parcel which contains 74.2 acres.

The property is located on both the east and west side of South Hughes Road between Grand River and Golf Club Road. The property is zoned PRF – Public and Recreations Facilities District.

The surrounding land uses for the west parcel of the property where the proposed clubhouse is located are as follows:

- North:** Single Family Residential, zoned RR
- South:** Lake Chemung Outdoor Resort, zoned PRF
- East:** Single Family Residential, zoned RR and LDR
- West:** Single Family Residential, zoned RPUD

Figure 1 - Genoa Township Zoning Map
GENOA TOWNSHIP ZONING MAP & LEGEND



The proposed clubhouse is located on the west side of South Hughes Road in the same relative location of the original clubhouse which burned down in 2022 and was subsequently demolished.

The original clubhouse was initially a farmhouse estimated to have been built in the late 1800s or early 1900s and then converted to a clubhouse when the golf course first opened. It is the intention of the applicant to reconstruct a new clubhouse in the same relative location, thereby maintaining the character of the area while avoiding any adverse impact.

The original clubhouse had a nonconforming front yard setback. As it is our intention to build the new clubhouse in the same location, a variance was sought and granted by the zoning board of appeals in September.

The golf course comprises 18 holes, with 8 of them featuring water elements. The front 9 holes are situated to the west of South Hughes Road, while the back 9 holes are on the east side of South Hughes Road alongside a driving range.

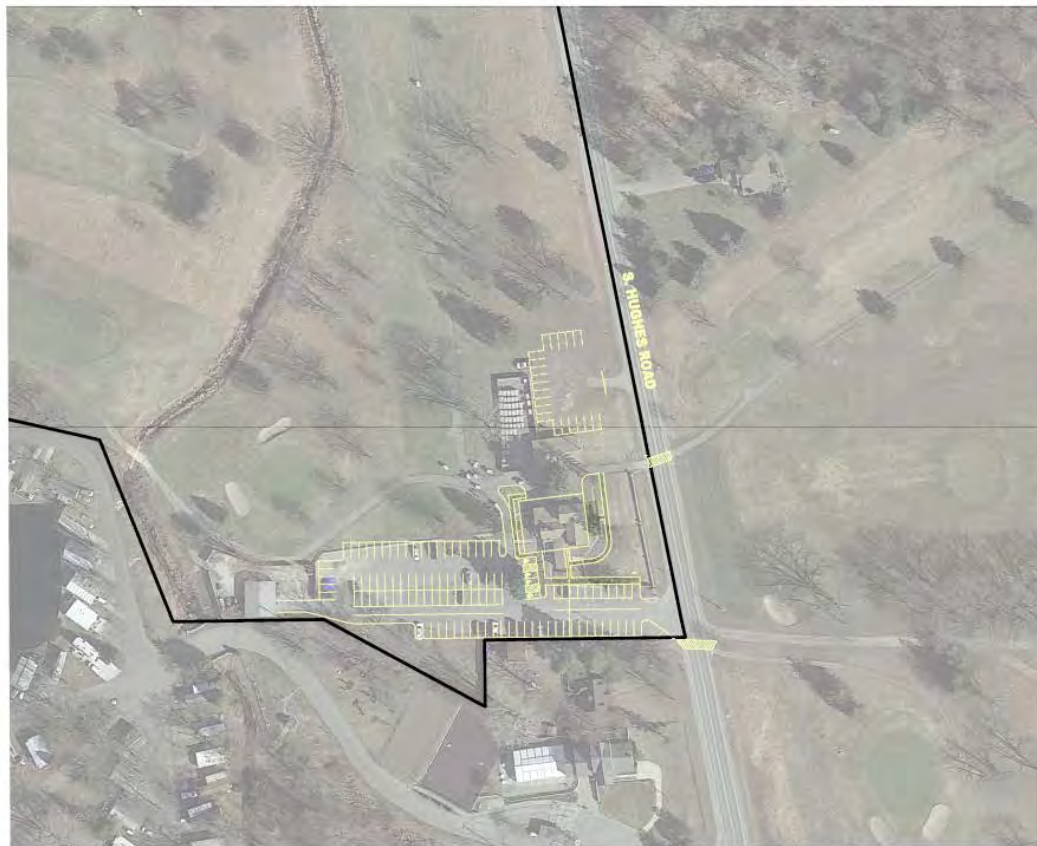
Besides the course, the Golf Club includes two storage and maintenance buildings; one situated directly north of the original clubhouse and the other at the western end of the parking lot.

The scope of this project encompasses the construction of a new clubhouse complete with landscaping. The project also aims to ensure that adequate

parking is provided. To that end, we are proposing an expansion of the existing parking lot and restricting access to an unpaved area to the north of the original clubhouse that has been historically used as an auxiliary parking area. Our proposal involves installing a gate to restrict access to this area, ensuring that it is solely used for overflow parking and maintenance vehicle access.

Finally, our proposal seeks to enhance safety for golfers crossing South Hughes Road to reach the driving range and the back 9 holes. We intend to request approval to install striping in two distinct areas where the cart path intersects the road, along with adding more prominent signage along the road approaching the course to alert drivers.

Figure 2 - Site Map



SITE MAP
SCALE: 1" = 100'

3. Impact on natural features

The proposed reconstruction is designed to have minimal impact on the natural features of the property. By rebuilding the clubhouse in the same relative location as it was before, we are ensuring a seamless integration with the existing landscape.

There are no wetlands or woodlands that will be impacted by this proposal.

The soil conditions on the property include colwood fine sandy loam, oakville find sand, and spinks-oakville loamy sands. Locations of each soil type are labeled on the topography survey which is included with the site plan on page C3.

The new clubhouse is designed to align with the existing topography of the area, thereby reducing the necessity for extensive grading and minimizing overall disturbance. The topography of the lot before and after construction are included with the site plan on page C3 and C5 respectively.

To accommodate the parking lot expansion and the clubhouse reconstruction, which has a slightly larger footprint and different design compared to the original clubhouse, we are proposing to remove 5 existing trees which are detailed on the tree inventory list.

Figure 3 - Tree Inventory List

TREE INVENTORY LIST						
TAG NUMBER	Size	TwIn	Height	DBH & COMMON NAME	Condition	SAVL/REMOVE
1801	13	13"/12"	25	ALABAMA PINE	GOOD	REMOVE
1802	13		20	SPRUCE	GOOD	REMOVE
1803	24		35	CEDAR	GOOD	SAVL
1804	16		35	SPRUCE	GOOD	REMOVE
1805	20		40	SPRUCE	GOOD	SAVF
1806	22		40	SPRUCE	GOOD	SAVF
1807	16		25	SPRUCE	GOOD	REMOVE
1808	27		30	SPRUCE	GOOD	REMOVE
1809	28			MAPLE	GOOD	SAVL
1810	30			COTTONWOOD	GOOD	SAVF
1811	24		30	CEDAR	GOOD	SAVF
1812	16		30	CEDAR	GOOD	SAVF
1813	18		25	CEDAR	GOOD	SAVF
1814	17		20	CEDAR	GOOD	SAVF
1815	28			RED OAK	GOOD	SAVL
1816	20			RED OAK	GOOD	SAVF
1817	30			RED OAK	GOOD	SAVF
1818	14			MAPLE	GOOD	SAVF
1819	24			MAPLE	GOOD	SAVF
1820	17	12"/15"		RED OAK	GOOD	SAVF
1821	28			RED OAK	GOOD	SAVL

4. Impact on stormwater management

Our construction process will comply with Livingston County soil regulations and will incorporate best practices in storm water management to prevent any adverse effects on the surrounding environment.

Implementation of modern control measures such as installing silt fencing to prevent soil particles suspended in water from leaving the construction site, and installing a coarse aggregate tracking mat to prevent vehicles from carrying mud from the work site onto the roadway will be employed to minimize any potential impact on water quality or natural habitats.

5. Impact on surrounding land used:

The project is focused on restoring the clubhouse to its previous state, thereby maintaining the established land use patterns. No changes to land use are anticipated, and the new clubhouse will seamlessly blend with the existing surroundings, contributing positively to the overall aesthetics of the golf course.

The reconstructed clubhouse will continue to serve its original purpose as a community gathering space and recreational facility. This not only upholds the intended function of the property but can also contribute positively to property values and the overall neighborhood ambiance.

Rebuilding an integral community asset can enhance the attractiveness of the neighborhood to potential buyers and residents. This could have a positive impact on property values rather than discouraging appropriate development or use.

6. Impact on public facilities and services

The reconstruction of the golf course clubhouse will not have an adverse impact on public facilities and services such as police and fire. As we are essentially restoring what was previously there, the rebuilding process does not introduce any new elements that would necessitate additional demands on emergency services. The function of the clubhouse will mirror its predecessor, ensuring that the infrastructure remains consistent with existing safety protocols and regulations.

Given that the new clubhouse will replicate the former structure, emergency response procedures and access routes for police and fire services will remain unchanged.

This continuity guarantees that the rebuilding efforts will not impose any new requirements or strain on the resources of these essential services. Therefore, the reconstruction will not affect or alter the established protocols and support provided by police and fire departments, maintaining a seamless transition from the previous clubhouse to the restored facility.

7. Impact on public utilities

The original clubhouse was connected to a well and septic system. The new clubhouse will integrate with the existing septic system. However, a new well is necessary to provide water to the clubhouse because the existing well is situated in the area designated for the proposed parking expansion.

8. Storage and handling of any hazardous materials

There are no known above or underground storage tanks of any kind. No hazardous or toxic chemicals will be stored on-site except for household cleaners, pesticides, and fertilizers used for lawn and plant care.

9. Impact on Traffic and Pedestrians

A trip generation analysis was conducted by Fleis & Vandenbrink. A memorandum summarizing their findings is included with this submission. The number of peak hour daily vehicle trips that would be generated by the proposed development are below the Township’s threshold for additional traffic analyses and the proposed development is expected to have a minimal impact on the existing road network.

Figure 4 - Trip Generation Summary

Trip Type	Land Use	Amount	Units	Daily Trip Generation (Max)		
				In	Out	Total
Vehicle Trips	Special Event Space	160	Seats	80	80	160
Genoa Township TIS Threshold				100	100	
TIS Required?				No	No	

10. Special Provisions

There are no deed restrictions, protective covenants, master deed or association bylaws that would restrict our proposal in any way.

ENGINEER/SURVEYOR



LAND DEVELOPMENT SERVICES

THE UMLOR GROUP
49287 WEST ROAD
WYOM, MI 48393
FAX: (866) 690-4307
WEB: www.umlorgroup.com

JASON M. FLEIS, P.E.
PHONE: (248) 773-7656
EMAIL: jfleis@umlorgroup.com

ROBERT Q. MAYNES, P.E., P.S.
PHONE: (248) 773-7656
EMAIL: rmaynes@umlorgroup.com

DEVELOPER/APPLICANT



SINGH DEVELOPMENT
7125 ORCHARD LAKE RD, SUITE 200
WEST BLOOMFIELD, MI 48322
PHONE:(248) 785-3964

REQUIRED APPLICATIONS/PERMITS

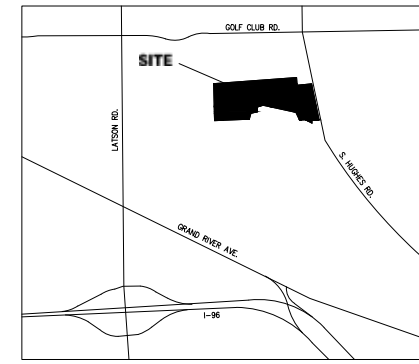
GENOA TOWNSHIP SITE PLAN APPLICATION

SITE PLAN FAULKWOOD SHORES CLUBHOUSE

SECTION 3, TOWN 2 NORTH, RANGE 5 EAST
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SITE MAP
SCALE: 1" = 100'



VICINITY MAP
SCALE: 1" = 2,000' ±



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SHEET INDEX

SHEET NUMBER	SHEET TITLE
C1	COVER
C2	BOUNDARY SURVEY
C3	TOPOGRAPHICAL SURVEY & DEMOLITION PLAN
C4	SITE PLAN
C5	GRADING & DRAINAGE PLAN

REFERENCE

- 1 OF 2 BOSS ALTA
- 2 OF 2 BOSS ALTA

GENOA TOWNSHIP ZONING MAP & LEGEND



ZONING

ZONING: PFR - PUBLIC & RECREATIONAL FACILITIES DISTRICT

AG	EC
EA	ES
EM	EV
EA	EW
EA	EX
EA	EX
EA	EX
EA	EX
EA	EX
EA	EX
EA	EX

LEGAL DESCRIPTION - PER BOSS ALTA DATED 12/18/2017

LEGAL DESCRIPTION PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO: 727707, REVISION E1, WITH AN EFFECTIVE DATE OF AUGUST 15, 2017 AT 8:00 A.M.:

Land situated in the County of Livingston, Township of Genoa, State of Michigan, described as follows:

WEST PARCEL:

Beginning at the Northwest corner of Section 3, Twp 2 North, Range 5 East, thence North 89 degrees 37 minutes East 106.30 feet to the centerline of Hughes Road, thence South 10 degrees 17 minutes 30 seconds East 2881.00 feet, thence South 11 degrees 42 minutes East 113.34 feet to the Point of Beginning of land to be described, thence South 83 degrees 18 minutes 27 seconds West 185.79 feet, thence North 89 degrees 37 minutes West 286.72 feet, thence South 89 degrees 40 minutes East 40 minutes 22 seconds West 724.25 feet, thence South 22 degrees 30 minutes East 130.25 feet, thence North 89 degrees 48 minutes 28 seconds West 1173.83 feet to the centerline of Section 4, Twp 2 North, Range 5 East, thence North 00 degrees 00 minutes West 1168.5 feet, thence North 86 degrees 19 minutes East 2625.82 feet to the centerline of said Hughes Road, thence South 10 degrees 17 minutes 30 seconds East 134.0 feet, thence South 11 degrees East 113.34 feet to the point of beginning, EXCEPTING THEREFROM 1.98 acres from the Northwest corner of said parcel described as: Commencing at the Northwest corner of Section 3, Twp 2 North, Range 5 East, thence North 89 degrees 37 minutes East 106.30 feet to the centerline of Gulf Club Road, thence South 10 degrees 17 minutes East 1381 feet to the centerline of Hughes Road to the point of beginning of the land to be described, thence South 89 degrees 37 minutes East 418.5 feet to the centerline of County drain, thence South 10 degrees 17 minutes East 17 minutes 30 seconds West 220.00 feet along said centerline to the Point of Beginning, ALSO EXCEPTING THEREFROM a part of the Southeast 1/4 of Section 3, Twp 2 North, Range 5 East, described as follows: Commencing at the Northwest corner of said Section 3, thence North 89 degrees 37 minutes East along the north line of said Section 3, 508.32 feet to the Southeast corner of Section 34, Twp 2 North, Range 5 East, thence South 12 degrees 17 minutes East 2881.75 feet (recorded as 2881.6 feet), thence South 11 degrees 42 minutes 00 seconds East along the centerline of Hughes Road, (as monumented) 20.50 feet to the point of beginning of the parcel to be described, thence continuing South 11 degrees 42 minutes 00 seconds East along said centerline 82.84 feet, thence South 83 degrees 18 minutes 27 seconds West 185.79 feet, thence North 89 degrees 37 minutes East 29.30 feet, thence North 00 degrees 18 minutes 27 seconds East 76.80 feet, thence South 89 degrees 40 minutes 22 seconds East 231.62 feet to the Point of Beginning. FURTHER EXCEPTING THEREFROM land in part of Section 4, Twp 2 North, Range 5 East, more particularly described as commencing at the intersection of Gulf Club Road and Hughes Road at the Southeast corner of said Section 34, Twp 2 North, Range 5 East, as recorded in file 2553, page 812, Livingston County Records, thence South 10 degrees 17 minutes 30 seconds East 2885.89 feet along the centerline of Hughes Road, said centerline being at an angle of 60 degrees 04 minutes clockwise from the South line of said Section 34, Twp 2 North, Range 5 East, thence continuing along said centerline South 11 degrees 42 minutes 00 seconds East 113.34 feet, thence South 83 degrees 18 minutes 27 seconds West 185.79 feet, thence North 89 degrees 37 minutes East 29.30 feet, thence North 89 degrees 37 minutes East 173.84 feet, thence North 21 degrees 36 minutes 34 seconds West 338.21 feet, thence North 16 degrees 16 minutes 32 seconds East 143.82 feet, thence North 15 degrees 41 minutes 36 seconds East 186.19 feet, thence South 75 degrees 48 minutes 00 seconds East 301.88 feet to the Point of Beginning.

EAST PARCEL: PARCEL 1:

A part of the Northeast 1/4 and a part of the Southeast 1/4 of Section 3, Twp 2 North, Range 5 East, described as follows: Commencing at the Northwest corner of said Section, thence North 89 degrees 37 minutes 00 seconds East 106.30 feet to the Southwest corner of Section 34, Twp 2 North, Range 5 East, thence South 10 degrees 17 minutes 00 seconds East along the centerline of Hughes Road, 2530.89 feet (recorded as 2494.94 feet) to the point of beginning of the parcel to be described, thence North 04 degrees 03 minutes 58 seconds East 412.00 feet, thence North 53 degrees 59 minutes 02 seconds East 249.17 feet, thence North 37 degrees 58 minutes 52 seconds East 288.71 feet, thence North 02 degrees 48 minutes 58 seconds West 251.43 feet, thence South 89 degrees 37 minutes 13 seconds East 408.59 feet, thence North 12 degrees 40 minutes 48 seconds East 115.59 feet, thence South 89 degrees 38 minutes 55 seconds East 213.76 feet, thence due East 438.24 feet, thence North 04 degrees 58 minutes West 129.76 feet, thence due East 282.06 feet, (said point bearing South 00 degrees 38 minutes 58 seconds East 1070.56 feet from the North 1/4 corner of said Section 35, thence South 00 degrees 38 minutes 58 seconds East 244.81 feet, thence South 00 degrees 37 minutes 57 seconds East 1096.23 feet to the Northwest corner of 7622 GRASS OF CHEMUNG RD. #, a subdivision as recorded in liber 20 of Plans, page 36, 37 and 38, Livingston County Records, thence South 02 degrees 04 minutes 30 seconds East 480 feet (recorded as South 02 degrees 05 minutes 37 seconds East 480.00 feet) to the Northwest corner of 7622 GRASS OF CHEMUNG RD. #, a subdivision as recorded in liber 18 of Plans, page 16, Livingston County Records, thence continuing South 02 degrees 04 minutes 30 seconds West (recorded as South 02 degrees 01 minutes 57 seconds East 480.00 feet) to the South line of said Plat, 651.71 feet, thence South 88 degrees 54 minutes 54 seconds West 233.36 feet, thence North 22 degrees 38 minutes 57 seconds East 487.32 feet, thence South 34 degrees 32 minutes 30 seconds West 793.20 feet, thence South 18 degrees 40 minutes 45 seconds West 424.80 feet, thence North 81 degrees 31 minutes 30 seconds East 338.20 feet to the centerline of Hughes Road, thence along said centerline of Hughes Road at the following (2) corners: North 29 degrees 21 minutes 00 seconds West 112.08 feet and North 28 degrees 23 minutes 00 seconds West 234.00 feet and North 22 degrees 07 minutes 02 seconds East 670.20 feet and North 11 degrees 42 minutes 02 seconds East 602.79 feet and North 18 degrees 17 minutes 02 seconds East 331.08 feet to the Point of Beginning.

EAST PARCEL: PARCEL 2:

A part of the Northeast 1/4 and a part of the Southeast 1/4 of Section 3, Twp 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Northwest corner of said Section, thence North 89 degrees 37 minutes 00 seconds East 106.30 feet to the Southwest corner of Section 34, Twp 2 North, Range 5 East, thence South 10 degrees 17 minutes 00 seconds East along the centerline of Hughes Road, 2647.02 feet to the point of beginning of the parcel to be described, thence due East, 892.31 feet, thence South 40 degrees 02 minutes 20 seconds East 206.62 feet, thence North 34 degrees 24 minutes 40 seconds East 620.90 feet, thence due East 210.09 feet, thence due South 120.09 feet, thence due East 50.00 feet, thence North 45 degrees 32 minutes 45 seconds East 261.44 feet, thence South 11 minutes 17 seconds West 612.02 feet, thence North 32 degrees 43 minutes 47 seconds East 322.10 feet, thence South 32 degrees West 322.10 feet, thence South 33 degrees 59 minutes 24 seconds West 761.76 feet, thence North 33 degrees 29 minutes 24 seconds East 261.44 feet, thence North 87 degrees 02 minutes 00 seconds West 68.38 feet, thence North 33 degrees 29 minutes 24 seconds West 617.44 feet, thence North 17 degrees 33 minutes 02 seconds West 618.06 feet, thence due East 210.09 feet, thence due South 212.52 feet to the centerline of Hughes Road, thence North 11 degrees 42 minutes 02 seconds East 670.23 feet along said centerline, thence North 10 degrees 12 minutes 02 seconds West 331.08 feet to the Point of Beginning.

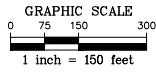
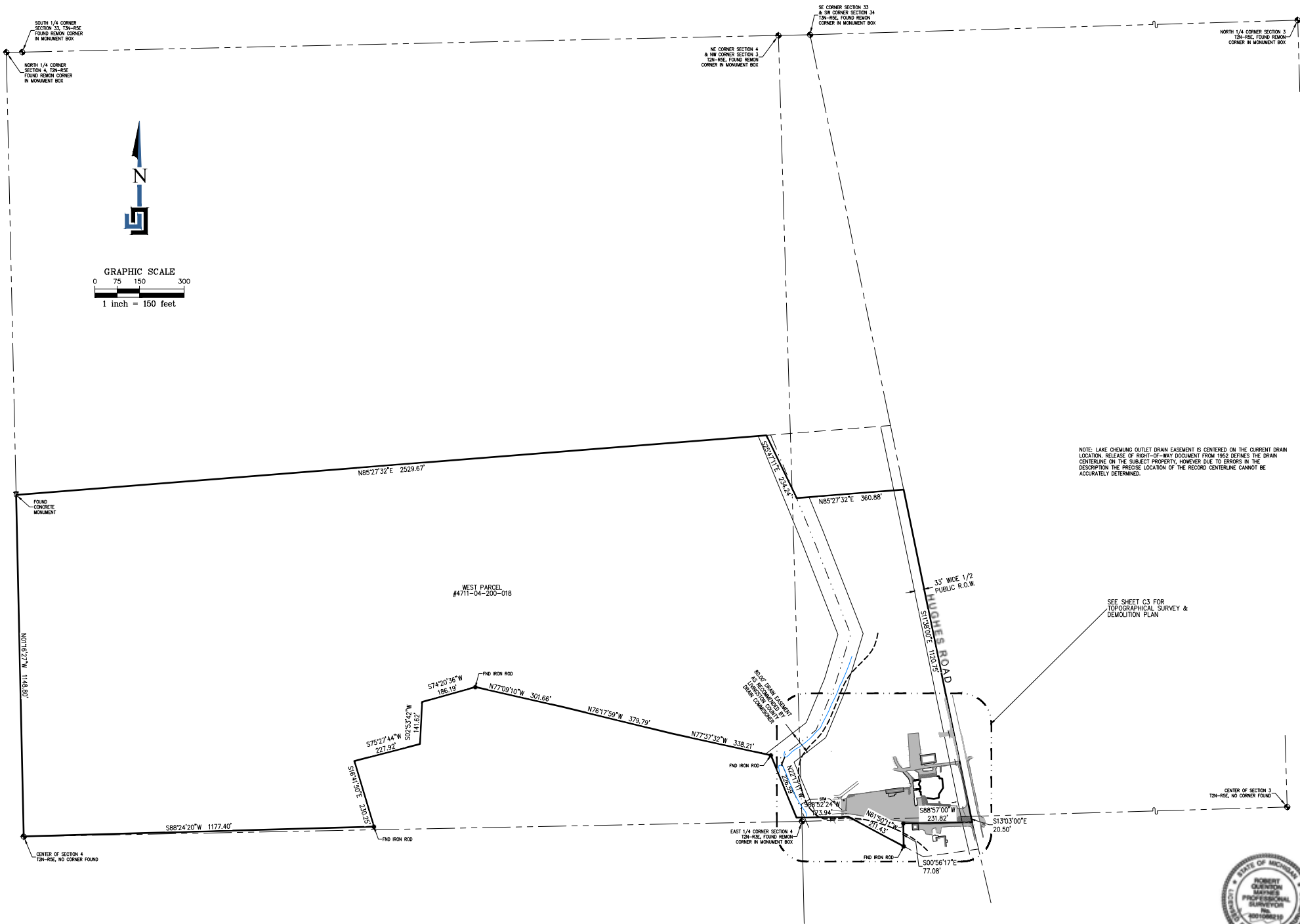
SECTION 3	TOWN 2 NORTH, RANGE 5 EAST
GENOA TOWNSHIP	LIVINGSTON COUNTY, MI

DATE: 11/28/23
REVISIONS
1/19/24 PER TWP
2/15/24 PER TWP

CUSTOMER: SINGH DEVELOPMENT 7125 ORCHARD LAKE ROAD, SUITE 200 WEST BLOOMFIELD, MI 48322
COVER

PROJECT: FAULKWOOD SHORES CLUBHOUSE
SCALE: 1" = 100 FEET
SHEET NO: 02 OF 05
SHEET TITLE: COVER





NOTE: LAKE OHEMING OUTLET DRAIN EASEMENT IS CENTERED ON THE CURRENT DRAIN LOCATION. RELEASE OF RIGHT-OF-WAY DOCUMENT FROM 1952 DEFINES THE DRAIN CENTERLINE ON THE SUBJECT PROPERTY. HOWEVER DUE TO ERRORS IN THE DESCRIPTION THE PRECISE LOCATION OF THE RECORD CENTERLINE CANNOT BE ACCURATELY DETERMINED.

SEE SHEET C3 FOR TOPOGRAPHICAL SURVEY & DEMOLITION PLAN

811
Know what's below.
Call before you dig.

These documents are instruments of service in respect of the Project and any reuse without written verification or assistance by The Liner Group (LLG) for the specific purposes intended will be at user's risk and without liability or legal exposure to LLG and User shall indemnify and hold harmless LLG from all claims, damages, losses and expenses including attorney fees arising out of or resulting therefrom. Any such verification or adaptation will entitle LLG to further compensation at rates to be agreed upon by User and LLG.

THE UNILOR GROUP
LAND DEVELOPMENT SERVICES
WEST WEST ROAD WAGON, MI 48393
TEL 248.273.7438 • FAX 248.690.4307

SECTION 3	TOWN 2 NORTH, RANGE 5 EAST	GENOA TOWNSHIP	LIVINGSTON COUNTY, MI
-----------	----------------------------	----------------	-----------------------

DATE: 11/28/23
REVISIONS
1/19/24 PER TWP
2/15/24 PER TWP

CLIENT:	FAULKWOOD SHORES CLUBHOUSE
ADDRESS:	SINCH DEVELOPMENT 7128 ORCHARD LAKE ROAD, SUITE 200 WEST BLOOMFIELD, MI 48322

DR BY: SH	DATE: 11/28/23
PL BY: JF	SCALE: 1" = 150 FEET
DATE: 11/28/23	PLNO: 2209215
PROJECT: BOUNDARY SURVEY	SHEET NO: C2



UNILOR GROUP PROJECT FOR FERAL CONSULTING REVENUE/RENTAL 2023/15 - FAULKWOOD SHORES CLUBHOUSE, TOPO SURVEY C2/C3

LEGEND	
SYMBOL	DESCRIPTION
⊕	SECTION CORNER
⊙	WELL HEAD
---	SECTION LINE
---	BOUNDARY LINE
--- ---	UTILITY POLE & OH. WIRES
---	FENCE LINE
---	SILT FENCE
⊙ 1800	EXISTING TREE
→	EXISTING DRAINAGE FLOW ARROW
▨	EXISTING GRAVEL

REMOVALS LEGEND	
SYMBOL	DESCRIPTION
▨	ASPHALT TO BE REMOVED
▨	CONCRETE TO BE REMOVED
▨	BRICK TO BE REMOVED
▨	GRAVEL TO BE REMOVED
---	OVERHEAD ELECTRIC TO BE REMOVED
---	LANDSCAPE FENCE TO BE REMOVED
---	SILT FENCE TO BE REMOVED
⊙ 1800	EXISTING TREE TO BE REMOVED

TREE INVENTORY LIST						
TRF#	TRF#	TRF#	TRF#	TRF#	TRF#	TRF#
1800	1801	1802	1803	1804	1805	1806
1807	1808	1809	1810	1811	1812	1813
1814	1815	1816	1817	1818	1819	1820
1821	1822	1823	1824	1825	1826	1827
1828	1829	1830	1831	1832	1833	1834
1835	1836	1837	1838	1839	1840	1841
1842	1843	1844	1845	1846	1847	1848
1849	1850	1851	1852	1853	1854	1855
1856	1857	1858	1859	1860	1861	1862
1863	1864	1865	1866	1867	1868	1869
1870	1871	1872	1873	1874	1875	1876
1877	1878	1879	1880	1881	1882	1883
1884	1885	1886	1887	1888	1889	1890
1891	1892	1893	1894	1895	1896	1897
1898	1899	1900	1901	1902	1903	1904
1905	1906	1907	1908	1909	1910	1911
1912	1913	1914	1915	1916	1917	1918
1919	1920	1921	1922	1923	1924	1925
1926	1927	1928	1929	1930	1931	1932
1933	1934	1935	1936	1937	1938	1939
1940	1941	1942	1943	1944	1945	1946
1947	1948	1949	1950	1951	1952	1953
1954	1955	1956	1957	1958	1959	1960
1961	1962	1963	1964	1965	1966	1967
1968	1969	1970	1971	1972	1973	1974
1975	1976	1977	1978	1979	1980	1981
1982	1983	1984	1985	1986	1987	1988
1989	1990	1991	1992	1993	1994	1995
1996	1997	1998	1999	2000	2001	2002
2003	2004	2005	2006	2007	2008	2009
2010	2011	2012	2013	2014	2015	2016
2017	2018	2019	2020	2021	2022	2023
2024	2025	2026	2027	2028	2029	2030
2031	2032	2033	2034	2035	2036	2037
2038	2039	2040	2041	2042	2043	2044
2045	2046	2047	2048	2049	2050	2051
2052	2053	2054	2055	2056	2057	2058
2059	2060	2061	2062	2063	2064	2065
2066	2067	2068	2069	2070	2071	2072
2073	2074	2075	2076	2077	2078	2079
2080	2081	2082	2083	2084	2085	2086
2087	2088	2089	2090	2091	2092	2093
2094	2095	2096	2097	2098	2099	2100

SOILS MAP LEGEND:	
Map Unit Symbol	Map Unit Name
Gr	Coarse fine sandy loam
OsB	Coarse fine sand, heavy substratum, 0 to 8 percent silt
SsB	Spodosol fine sandy, 0 to 8 percent silt



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LAND DEVELOPMENT SERVICES
1000 WEST ROAD WYOMING, MI 48393
TEL: 248.777.7438 • FAX: 248.690.4307

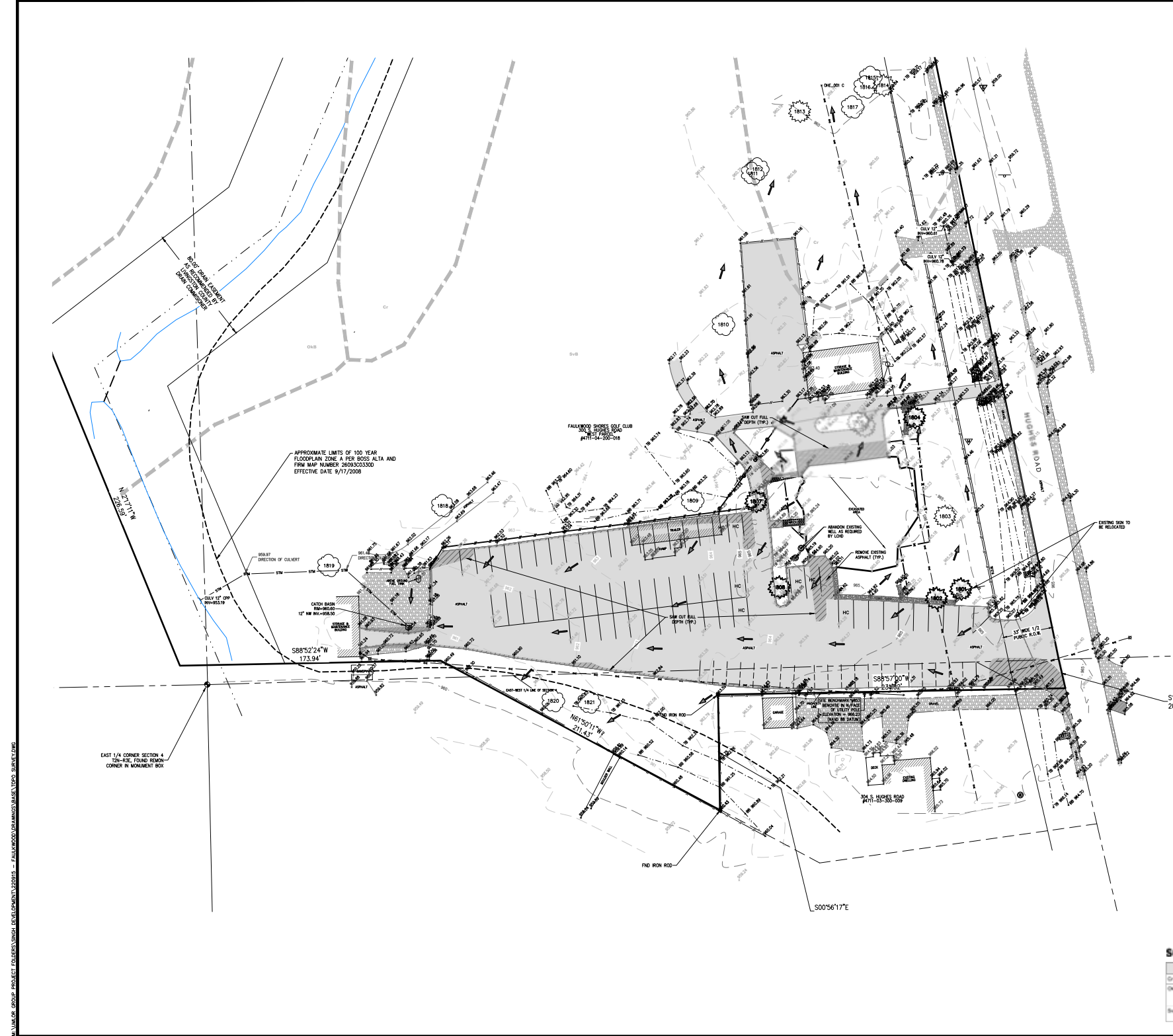
SECTION 3
TOWN 2 NORTH, RANGE 5 EAST
GENOA TOWNSHIP
LIVINGSTON COUNTY, MI

DATE: 11/28/23
REVISIONS:
1/19/24 PER TWP
2/15/24 PER TWP

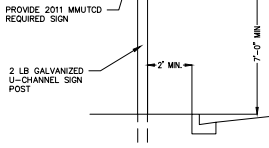
CLIENT:
FAULKWOOD SHORES CLUBHOUSE
SINCH DEVELOPMENT
7128 ORCHARD LAKE ROAD, SUITE 200
WEST BLOOMFIELD, MI 48322

PROJECT:
TOPOGRAPHICAL SURVEY & DEMOLITION PLAN

SCALE: 1" = 30 FEET
SHEET NO. C3
SHEET 03 OF 5



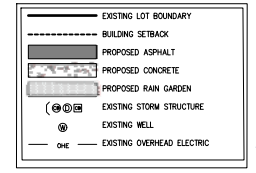
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN SURVEYING BOARD'S PRACTICE MANUALS AND THE MICHIGAN SURVEYING BOARD'S PRACTICE MANUALS.



SIGN #	SIGN TYPE	REQUIRED
1		6
2		4
3		2

- SIGN NOTES:**
- ALL SIGNS WILL COMPLY WITH CURRENT 2011 MUTCD STANDARDS
 - ALL TRAFFIC CONTROL SIGNS WILL COMPLY WITH FHWA STANDARD ALPHABET SERIES.
 - ALL TRAFFIC CONTROL SIGNS WILL USE HIGH INTENSITY PRISMATIC (HP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY REQUIREMENTS.
 - MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMS GREATER THAN 12"x18" SHALL BE MOUNTED ON GALVANIZED 3 LB. OR GREATER U-CHANNEL POSTS.

SIGN DETAIL
NO SCALE



ZONING: PRF - PUBLIC & RECREATIONAL FACILITIES DISTRICT

TOTAL SITE AREA: 74.2 AC

SITE IMPROVEMENTS: CLUB HOUSE 4,575 SF.

BUILDING SETBACKS:

FRONT SETBACK HUGHES ROAD	MIN. REQUIRED	VARIANCE	PROPOSED
	75 FT	50 FT	90 FT

SIDE YARD SETBACK: 75 FT

PARKING:

REQUIRED: (9'X18' SPACES)

18 HOLE GOLF COURSE	6 SPACES / HOLE	109
DRIVING RANGE	2 SPACES / 3 TEES	
BANQUET HALL/LOUNGES	0.5 SPACE / SEAT LESS REQUIRED COURSE	

PORTION OF PROPOSED BUILDING AREA USED FOR PARKING CALCULATION

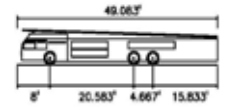
QUANTITY	SPACES/UNIT	REQD
18 HOLE GOLF COURSE	18 HOLES / 6 HOLE	109
DRIVING RANGE	18 TEES / 2/3 TEES	120
SUBTOTAL		120
BANQUET HALL/LOUNGE	120 SEATS / 0.5/SEAT	60
PATIO	40 SEATS / 0.5/SEAT	20
LESS REQUIRED GOLF COURSE SPACES		-108
SUBTOTAL		0
TOTAL SPACES REQUIRED		120
TOTAL PAVED SPACES PROVIDED		108
TOTAL OVERFLOW SPACES PROVIDED		20
TOTAL SPACES PROVIDED		128

IMPERVIOUS SURFACE AREA

REMOVAL	3,523 SF
ADDITIONAL	8,180 SF
INCREASE	4,657 SF

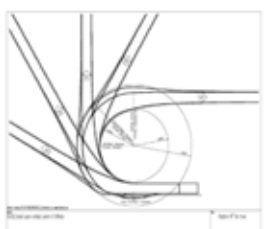
FIRE DEPARTMENT NOTES:

- BUILDING IS FIRE SUPPRESSED
- THE PROPOSED FIRE DEPARTMENT CONNECTION (FDC) IS CURRENTLY SHOWN AT THE SOUTH EAST CORNER OF THE BUILDING. FINAL LOCATION TO BE COORDINATED BY SPRINKLER DESIGN AND APPROVED BY THE FIRE MARSHAL.
- A DEDICATED WELL, TANK, OR COMBINATION WILL BE PROVIDED AS REQUIRED FOR FIRE PROTECTION TO BE APPROVED BY THE FIRE MARSHAL.



Brighton 40' Fire Truck
 Overall Length: 49.0x17
 Overall Width: 20.5x17
 Overall Height: 4.6x17
 Overall Wheelbase: 15.6x17
 Max Steering Angle (Virtual): 30.0x17

FIRE TRUCK DETAIL
NOT TO SCALE



SITE BENCHMARK:

(NAVD. 88 DATUM)
 BM_#803
 BENCHMARK IN N/FACE OF UTILITY POLE
 ELEVATION = 966.23



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 These documents are instruments of service in respect of the Project and are issued without further verification of location by the User Group (UG) for the specific purposes intended and/or to clear color risk without liability or legal exposure to UG and User and equipment and that damages UG from all claims, damages, losses and expenses, including attorney's fees arising out of or resulting therefrom. Any such verification or restoration will be the responsibility of the User and UG to be agreed upon by User and UG.

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 1001 WEST ROAD WALKER, MI 48393
 TEL: 248.777.7438 • FAX: 248.696.4397

SECTION 3
 TOWN 2 NORTH, RANGE 5 EAST
 GENOA TOWNSHIP
 LIVINGSTON COUNTY, MI

DATE: 11/28/23

REVISIONS

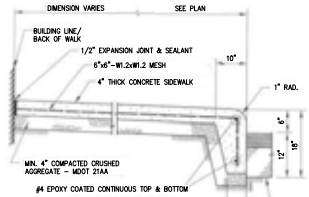
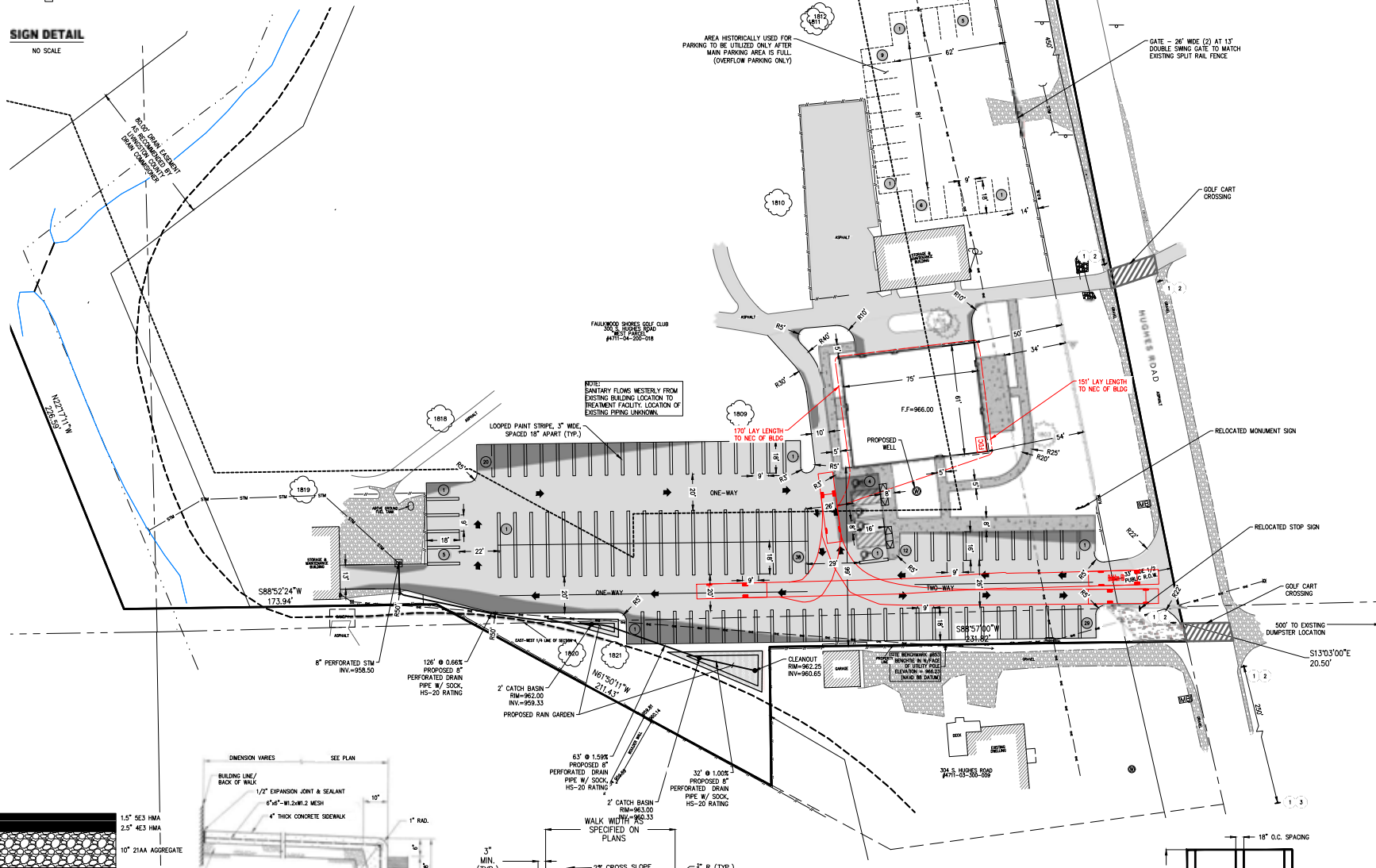
1/19/24	PER TWP
2/15/24	PER TWP

REVISIONS

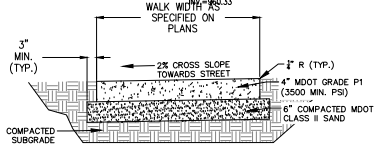
1/19/24	PER TWP
2/15/24	PER TWP

FAULKWOOD SHORES CLUBHOUSE
 SINGH DEVELOPMENT
 7125 ORCHARD LAKE ROAD, SUITE 200
 WEST BLOOMFIELD, MI 48322

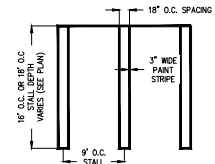
SITE PLAN
 CLIENT: SINGH DEVELOPMENT
 PROJECT: FAULKWOOD SHORES CLUBHOUSE
 DATE: 11/28/23
 SCALE: 1" = 30 FEET
 SHEET NO. C4
 SHEET C4 OF 5



SIDEWALK WITH INTEGRAL CURB
NO SCALE



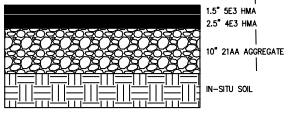
SIDEWALK DETAIL
NO SCALE



LOOPED PAINT STRIPING DETAIL
SCALE: 1" = 10'

NOTE
 EXISTING LIGHTING IN PARKING AREA WILL BE REMOVED. PROPOSED LIGHTING WILL BE PROVIDED AS REQUIRED BY ORDINANCE, WORKING WITH GASSER BUSH TO PROVIDE PHOTOMETRIC PLAN.

HMA PAVEMENT DETAIL
NO SCALE





LEGEND

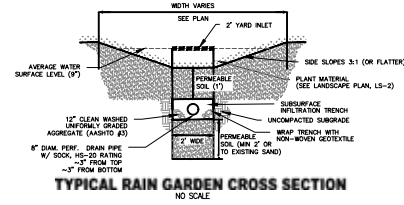
- PROPOSED LOT BOUNDARY
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM CLEANOUT
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SANITARY CLEANOUT
- PROPOSED SANITARY MANHOLE
- EXISTING STORM STRUCTURE
- EXISTING STORM SEWER
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE
- EXISTING ASPHALT
- PROPOSED RAIN GARDEN
- EXISTING CONTOURS
- TREE FENCE
- SILT FENCE
- DRAINAGE FLOW ARROW

RAIN GARDEN CALCULATIONS

IMPERVIOUS SURFACE AREA
 REMOVAL 3,023 SF
 ADDITIONAL 8,180 SF
 INCREASE 4,657 SF

REQUIRED RAIN GARDEN VOLUME
 4,657 SF x 1 1/2 INCH DEPTH x 1 FT/12 INCH = 388 CF

PROPOSED RAIN GARDEN VOLUME
 (100 SF x 0.75 FT) + (450 SF x 0.75 FT) =
 75 CF + 337.5 CF = 412.5 CF



SITE BENCHMARK:
 (NAVD. 88 DATUM)
 BM_803
 BENCHMARK IN N/FACE
 OF UTILITY POLE
 ELEVATION = 966.23



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LAND DEVELOPMENT SERVICES
 1001 WEST BROADWAY, MI 48303
 TEL: 248.774.7438 • FAX: 248.606.1397

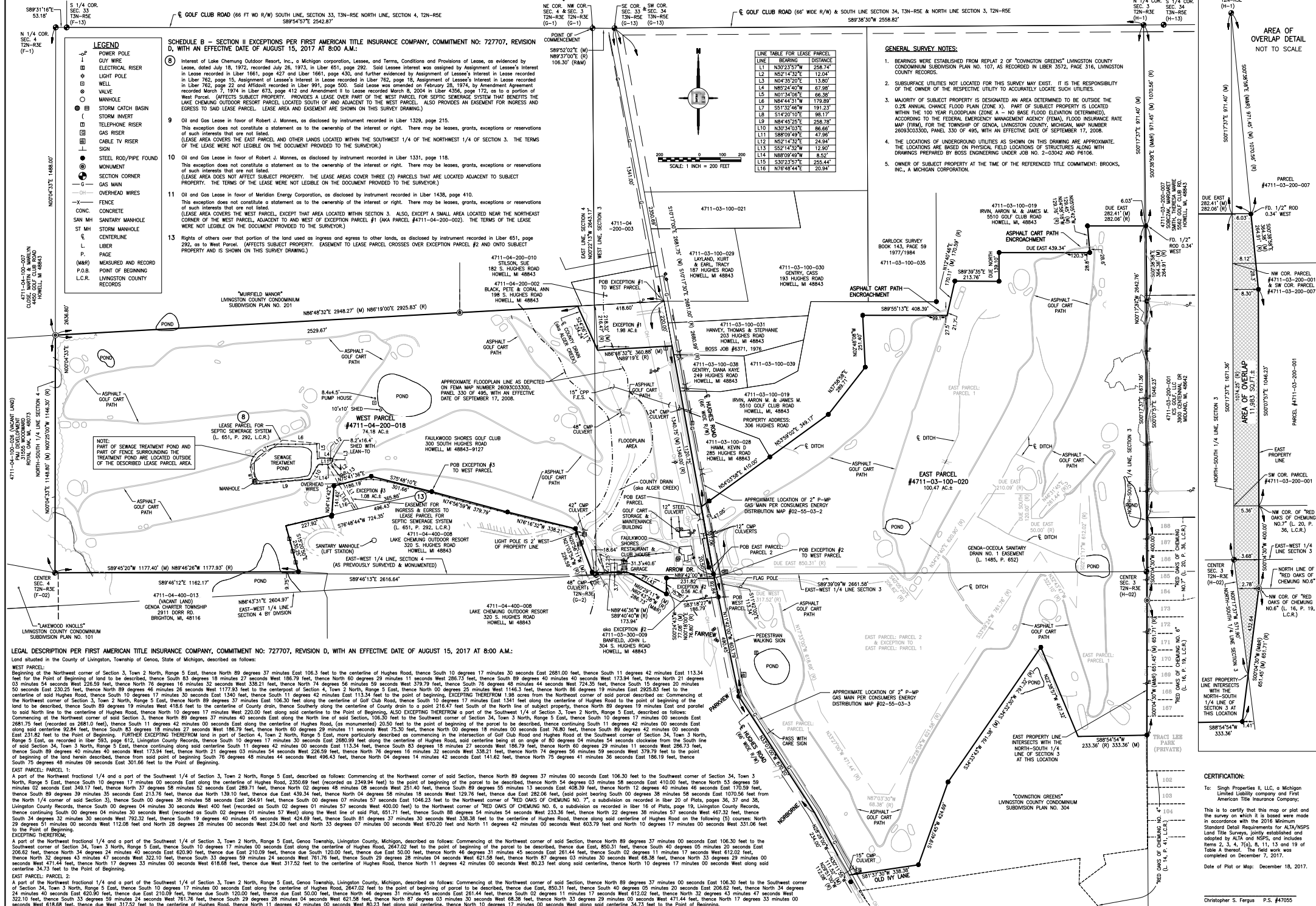
SECTION 3	TOWN 2 NORTH, RANGE 5 EAST
GENOA TOWNSHIP	LIVINGSTON COUNTY, MI

DATE: 11/28/23
REVISIONS
1/19/24 PER TWP
2/15/24 PER TWP

CLIENT:	FAULKWOOD SHORES CLUBHOUSE
PROJECT:	SINGH DEVELOPMENT 7125 ORCHARD LAKE ROAD, SUITE 200 WEST BLOOMFIELD, MI 48322

DR BY: SF	SCALE: 0 10 20
DATE: 2/15/24	SCALE: 1" = 20 FEET
JOB NO: 2202915	SHEET NO. C5
SHEET 05 OF 5	

ALTA/NSPS LAND TITLE SURVEY



BOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI 48843
800.246.6735 FAX 517.548.1670

FAULKWOOD SHORES GOLF CLUB
SINGH DEVELOPMENT, LLC
2601 WESTON PARKWAY SUITE 203
HOWELL, MI 48843
916-677-1510

ALTA/NSPS LAND TITLE SURVEY

PROJECT: FAULKWOOD SHORES GOLF CLUB
PREPARED FOR: SINGH DEVELOPMENT, LLC
DATE: 12-18-17

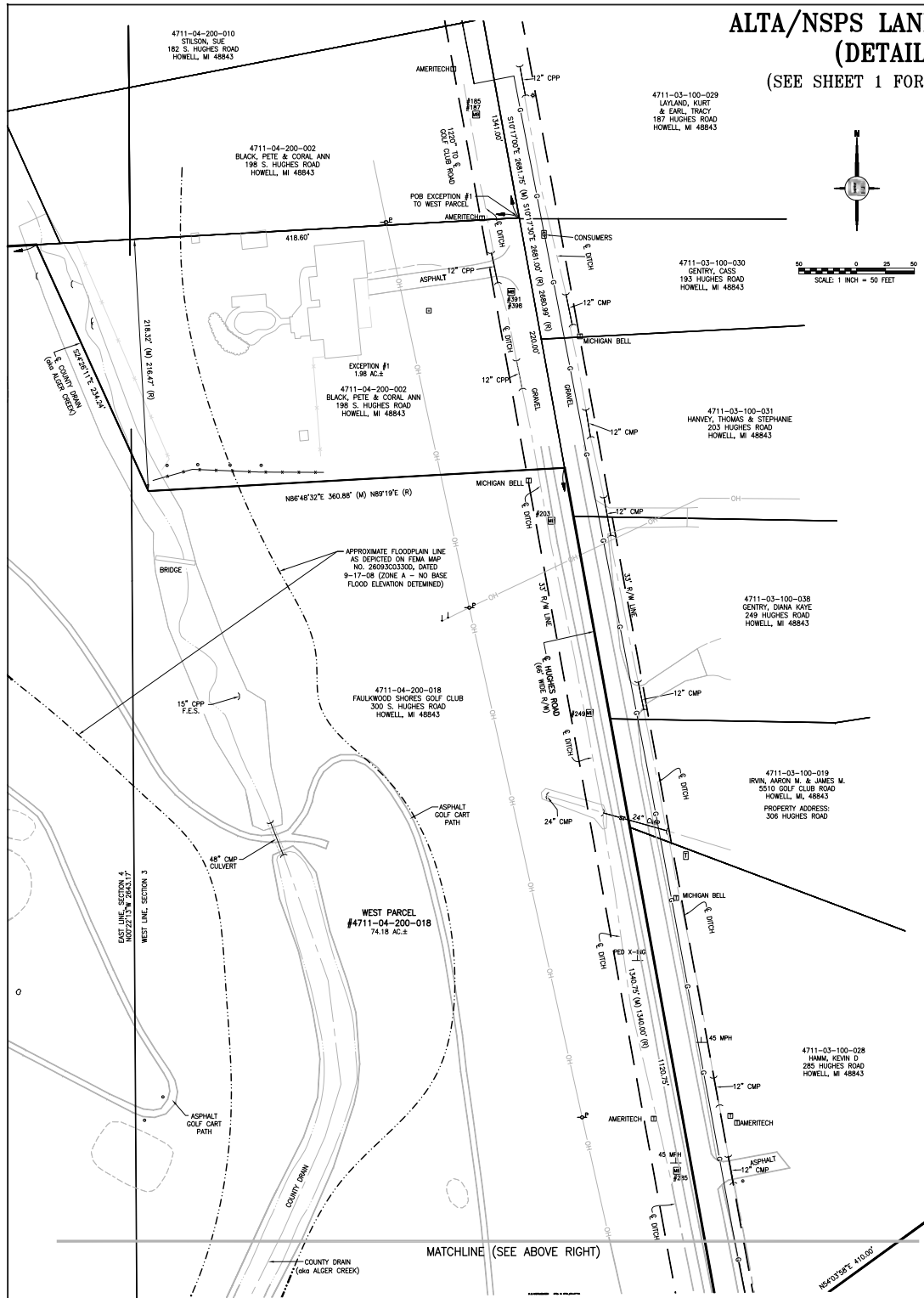
DESIGNED BY: AEB
CHECKED BY: AEB
SCALE: 1" = 200'
JOB NO: 17-453
SHEET NO: 1 OF 2

CERTIFICATION:
To: Singh Properties II, LLC, a Michigan Limited Liability company and First American Title Insurance Company
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 8, 11, 13 and 19 of Table A thereof. The field work was completed on December 7, 2017.
Date of Plot or Map: December 18, 2017.

Christopher S. Fergue P.S. 447055

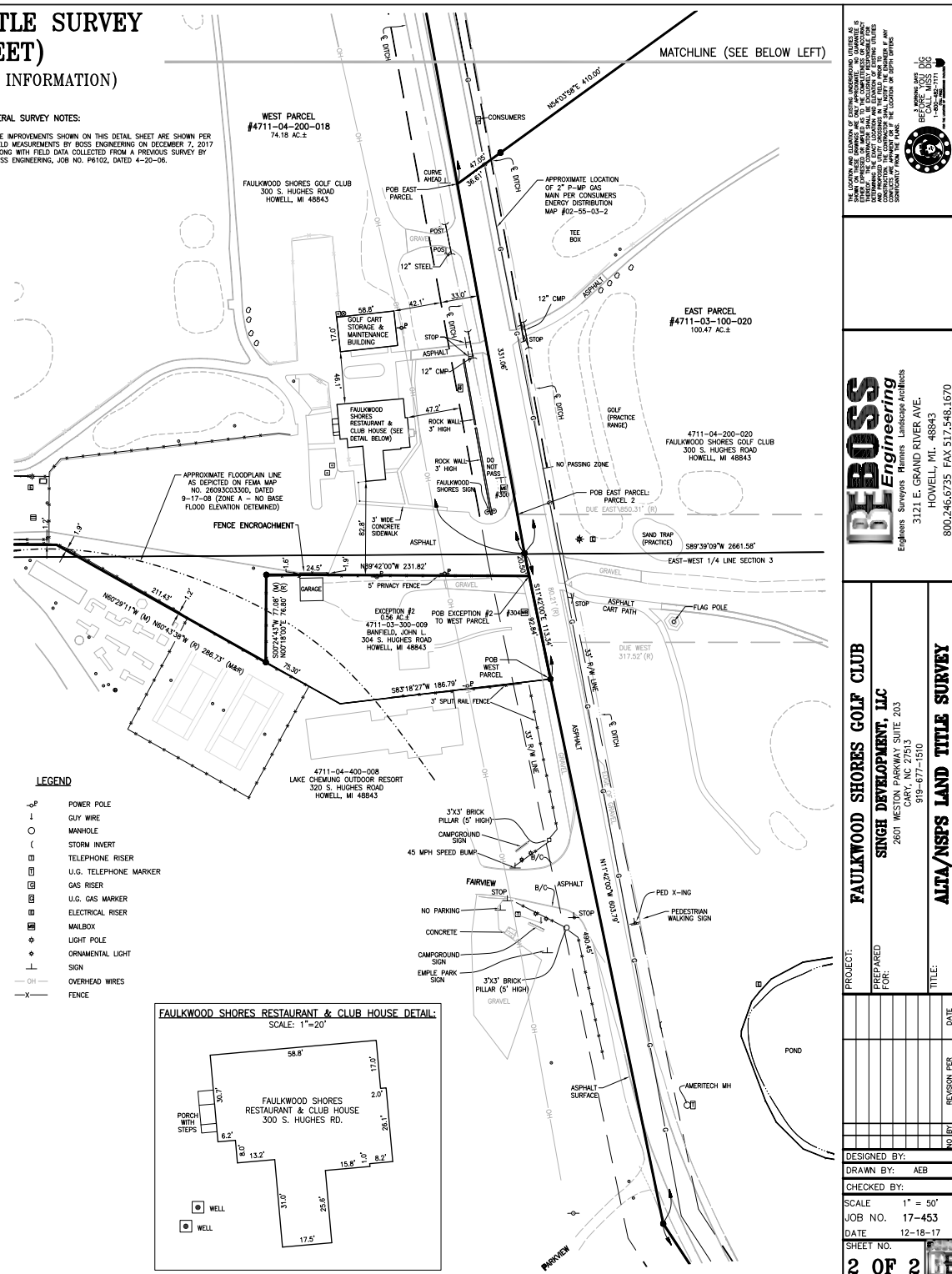
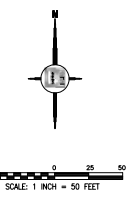
ALTA/NSPS LAND TITLE SURVEY (DETAIL SHEET)

(SEE SHEET 1 FOR MORE INFORMATION)

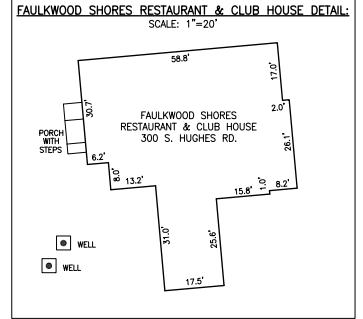


GENERAL SURVEY NOTES:

1. SITE IMPROVEMENTS SHOWN ON THIS DETAIL SHEET ARE SHOWN PER FIELD MEASUREMENTS BY BOSS ENGINEERING ON DECEMBER 7, 2017 ALONG WITH FIELD DATA COLLECTED FROM A PREVIOUS SURVEY BY BOSS ENGINEERING, JOB NO. P8102, DATED 4-23-06.



- LEGEND**
- P POWER POLE
 - I GUY WIRE
 - MANHOLE
 - () STORM INVERT
 - TELEPHONE RISER
 - U.G. TELEPHONE MARKER
 - GAS RISER
 - U.G. GAS MARKER
 - ELECTRICAL RISER
 - MAILBOX
 - LIGHT POLE
 - ORNAMENTAL LIGHT
 - SIGN
 - OVERHEAD WIRES
 - X- FENCE



THE LOCATION AND EXISTENCE OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED TO BOSS ENGINEERING BY THE CLIENT. BOSS ENGINEERING HAS CONDUCTED VISUAL SURVEYS AND FIELD SURVEYS TO VERIFY THE LOCATION AND EXISTENCE OF EXISTING UTILITIES. BOSS ENGINEERING HAS CONDUCTED VISUAL SURVEYS AND FIELD SURVEYS TO VERIFY THE LOCATION AND EXISTENCE OF EXISTING UTILITIES. BOSS ENGINEERING HAS CONDUCTED VISUAL SURVEYS AND FIELD SURVEYS TO VERIFY THE LOCATION AND EXISTENCE OF EXISTING UTILITIES. BOSS ENGINEERING HAS CONDUCTED VISUAL SURVEYS AND FIELD SURVEYS TO VERIFY THE LOCATION AND EXISTENCE OF EXISTING UTILITIES.

BOSS ENGINEERING
3121 E. GRAND RIVER AVE.
HOWELL, MI 48843
800.246.6735 FAX 517.548.1670

BOSS ENGINEERING
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI 48843
800.246.6735 FAX 517.548.1670

PROJECT: FAULKWOOD SHORES GOLF CLUB	TITLE: ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR: SINGH DEVELOPMENT, LLC 2601 WESTON PARKWAY SUITE 203 GRAND RAPIDS MI 49508 949-677-1510	DATE:
DESIGNED BY: AEB	REVISION PER:
DRAWN BY: AEB	NO:
CHECKED BY:	DATE:
SCALE: 1" = 50'	REVISION PER:
JOB NO.: 17-453	NO:
DATE: 12-18-17	DATE:
SHEET NO.: 2 OF 2	DATE:



client:
Singh Development, LLC
 7125 Orchard Lake Road,
 Suite 200, West Bloomfield,
 Michigan 48325

project:
Faulkwood Shores Golf Club - Clubhouse Improvement

project location:
Genoa Township, Michigan
 S. Hughes Road

sheet title:
LANDSCAPE PLANTING DETAIL

job no. / issue / revision date:
 1823.117.11 SPA 11-28-2023
 1824.028.02 SPA 2-12-2024

drawn by:
JP
 checked by:
FP
 date:
2-11-2024

notice:
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Do Not scale drawings. Use figured dimensions only.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

To the best of our ability

The location and creation of existing underground utilities as shown on this drawing is only approximate. We guarantee to either express or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:
LS24.028.02

sheet no:
LS-1 of 2

landscape plan for:

Faulkwood Shores Golf Club-clubhouse improvement

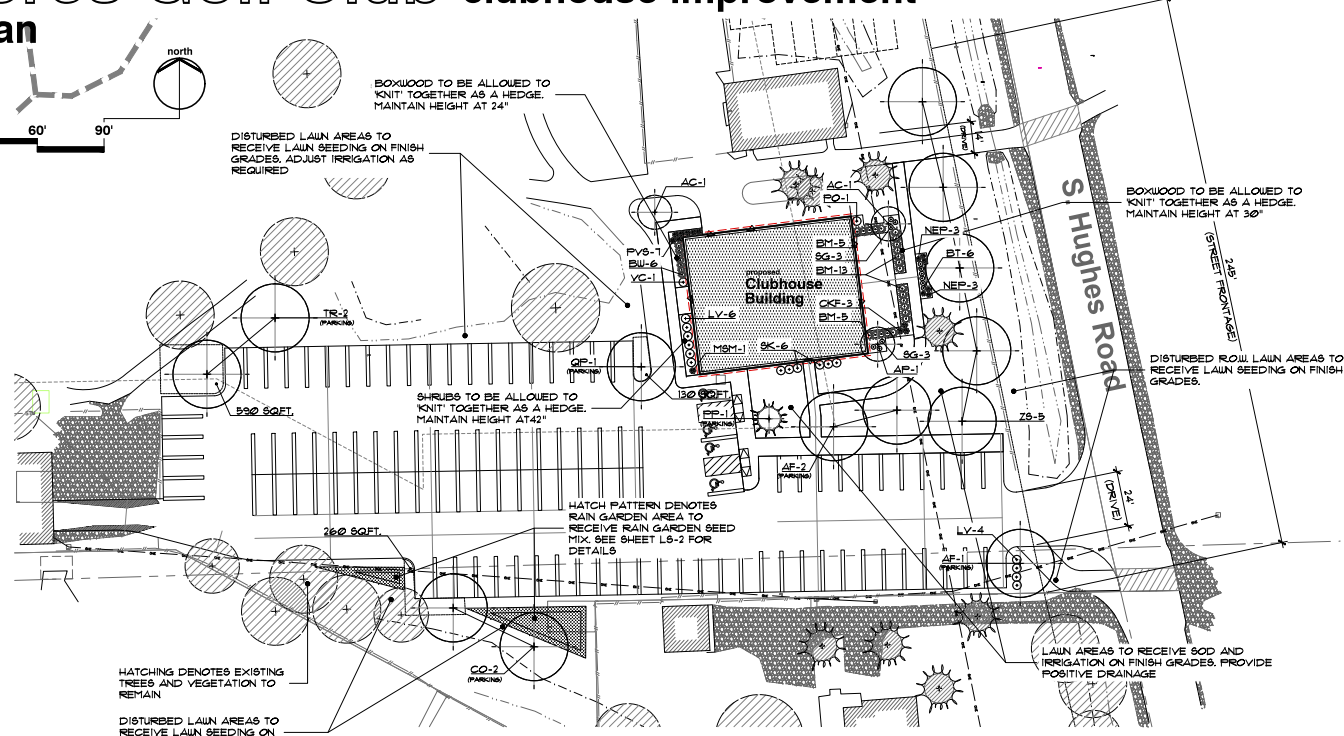
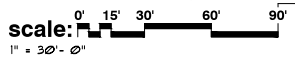
Genoa Township, Michigan

note:

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.

general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG (800-482-7171). ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUES ON LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY GENOA TOWNSHIP AND LANDSCAPE ARCHITECT IN WRITING.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD-BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- REMOVE ALL TWINE WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" FILLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE SOOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE. NO PEAT SOOD.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 - SHADE TREES 5 FT.
 - ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) 10 FT.
 - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL NEW LAWN AREAS AND NEW LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH A AUTOMATIC UNDERGROUND SYSTEMS. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED. IRRIGATION PLAN TO BE PROVIDED DURING FINAL SITE PLAN APPROVAL.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING, EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL, AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OR ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 18" DEPTH BACK FILL WITH GOOD, TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND FILLINGS WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.



plant material list

key	quant.	botanical name	common name	size	comments
DECIDUOUS AND EVERGREEN TREES					
QP	1	QUERCUS PALUSTRIS	PIN OAK	2 1/2' BB	
TR	2	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2' BB	
GO	2	GELTIS OCCIDENTALIS	COMMON HUCKBERRY	2 1/2' BB	
ZS	5	ZELKOVA BERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2' BB	
AF	3	ACER X FRAXINUM 'JUPITERBIRD'	AUTUMN BLAZE RED MAPLE	2 1/2' BB	
FP	1	PICEA MARGEN	COLORADO GREEN SPRUCE	8' BB	
AP	1	ACER PALMATHUM 'BLOODGOOD'	BLOODGOOD LACE LEAF MAPLE	8' BB	
AC	2	'AMELANCHIER X 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' BB	MULTI-STEM (N)
SHRUBS					
FO	1	PHYSCARPUS OPULIFOLIUS 'BUTTER WINE'	BUTTER WINE NINEBARK	36" CONT	36" O.C. SPACING
VC	1	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	36" CONT	48" O.C. SPACING
SK	6	SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC	36" CONT	48" O.C. SPACING
SG	6	SPIRAEA J. 'GOLDFOUND'	GOLDFOUND SPIREA	24" CONT	36" O.C. SPACING
BM	23	BUXUS M. 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	36" CONT	36" O.C. SPACING
BU	6	BUXUS M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" CONT	24" O.C. SPACING
BT	6	BERBERIS T. 'CRIMSON PYGMY'	CRIMSON PYGMY DWARF JAPANESE BARBERRY	18" CONT	24" O.C. SPACING
LV	10	LIGUSTRUM X VICARYI	GOLDEN VICARY PRIVET	36" CONT	48" O.C. SPACING
PERENNIALS AND GRASSES					
FPV	1	FANCIPT YIREGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	75 CONT.	36" O.C. SPACING
CKF	3	SALAMAGROSTIS XA. 'KARL FORBSTER'	KARL FORBSTER FEATHER REED GRASS	75 CONT.	48" O.C. SPACING
MSH	1	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAPANESE SILVER GRASS	75 CONT.	48" O.C. SPACING
NEP	6	HEPETA PASCANENI 'WALKER'S LOU'	WALKER'S LOU GAITHER	12 CONT.	24" O.C. SPACING

landscape requirement summary

open space landscape	REQUIRED	PROVIDED
TOTAL ACRES OF OPEN SPACE	11,850 ±	8
ONE (1) CANOPY TREE PER 3,000 SQ FT. (1,800 SQ FT. / 3,000 PER TREE = 3.6 TREES)	5	EXISTING TREES SAVED
street trees		
TOTAL LINFT. OF DESOTO COURT (249 LBS 38" DRIVE ACCESS + 207')	249 ±	
ONE (1) CANOPY TREE PER 40' (207' / 40' PER TREE = 5.17 TREES)	5	5
parking		
TOTAL NO. OF PARKING PROVIDED	108	
ONE (1) CANOPY TREE PER 100 SPACES (108 SPACES / 100 PER TREE = 1 TREE)	1	1
LANDSCAPE PARKING AREA (108 SPACES / 1/2 SPACES PER 100 SQ FT. = 400 SQ FT.)	400 SQ.FT.	460 SQ.FT.

landscape maintenance notes:

- LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.
- PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION. ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

sheet index

- LS-1 LANDSCAPE PLANTING DETAIL
- LS-2 NOTES , PLANTING DETAILS & SOD, SEEDING REFERENCE PLAN

planting landscape notes:

GENERAL NOTES:

1. PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE GENOA TOWNSHIP AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
2. PLANT MATERIALS TO BE GUARANTEED FOR 3 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
3. PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSERY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
4. MULCH IS TO BE NATURAL COLORED, FINELY SHREDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE (1/8" PULLED AWAY FROM TRUNK), 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR FORBENALS.
5. CALL MISS DIG AT 1-800-482-1111 PRIOR TO ANY CONSTRUCTION.

DECIDUOUS & EVERGREEN TREE:

1. TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
3. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNLIGHTELY AND COULD CAUSE GIRDLING.
4. REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.
5. SHRUBS SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
6. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
7. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNLIGHTELY AND COULD CAUSE GIRDLING.

TREE PROTECTION:

1. EITHER PLASTIC OR WOOD CRANES SHOW FENCING SHALL BE INSTALLED AT OR BETTER ON THE DRIFLINE, UNLESS MORE SUBSTANTIAL FENCING IS REQUIRED.
2. STAKES SHALL BE METAL T" POLES SPACED NO FURTHER THAN 5' ON CENTER.
3. FENCING SHALL NOT BE INSTALLED CLOSER TO THE TREE THAN THE DRIFLINE OF THOSE TREES TO BE SAVED. SPECIAL CIRCUMSTANCES SHALL BE REVIEWED BY THE CITY.
4. FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION. THE CITY SHALL BE NOTIFIED ONCE THE FENCING IS INSTALLED FOR INSPECTION.
5. UNDER NO CIRCUMSTANCES SHALL THE PROTECTIVE FENCING BE REMOVED WITHOUT PROPER APPROVAL FROM THE CITY.
6. NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE AREAS PROPOSED TO REMAIN THIS SHALL INCLUDE BUT NOT LIMITED TO:
 - a. NO SOLVENTS OR CHEMICALS WITHIN THE PROTECTED AREAS.
 - b. NO BUILDING MATERIALS OR CONSTRUCTION EQUIPMENT WITHIN THE PROTECTED AREAS.
 - c. NO GRADE CHANGES, INCLUDING FILL, WITHIN THE PROTECTED AREAS.
 - d. NO REMOVAL OF VEGETATION FROM THE GROUND UP WITHOUT PERMISSION FROM THE PROPER REVIEWING AUTHORITY, INCLUDING THE WOODLANDS REVIEW BOARD.
 - e. ANY REQUIRED SVALE NEEDS TO BE DIRECTED AROUND THE PROTECTED AREAS. IN INSTANCES WHERE SVALES ARE APPROVED THROUGH A PROTECTED AREA, THE SVALES NEED TO BE HAND DUG. MACHINERY OF ANY KIND IS PROHIBITED.
7. REGULATED WOODLANDS OR REGULATED TREES ADJACENT ADJACENT TO THE PROPERTY ARE ALSO REQUIRED TO BE PROTECTED WHETHER OR NOT THEY ARE SHOWN ON THE PLAN.

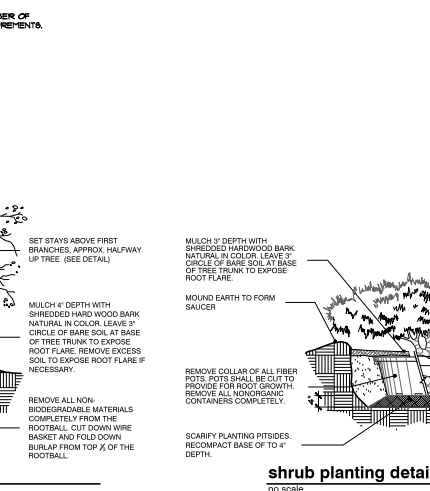
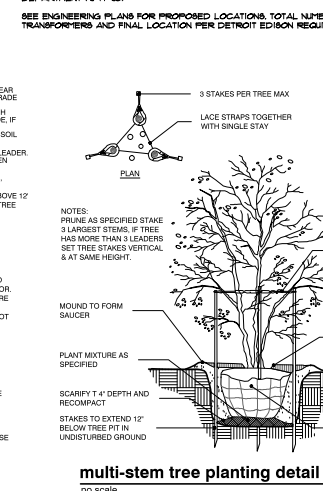
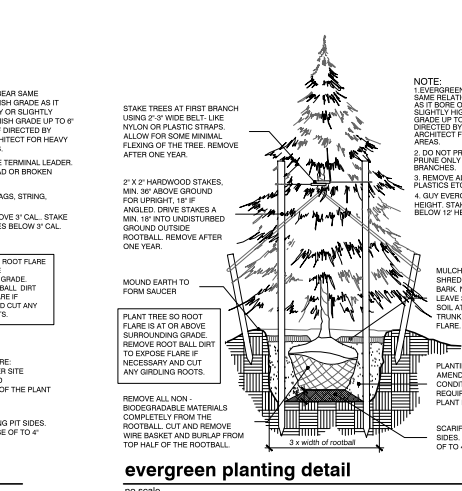
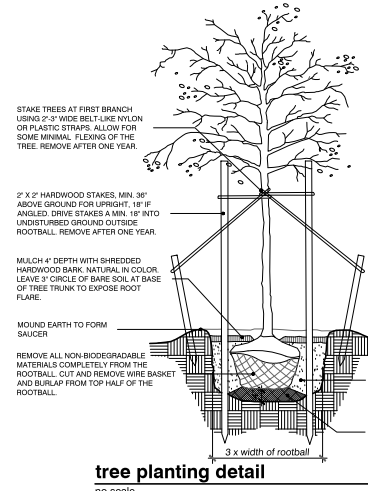
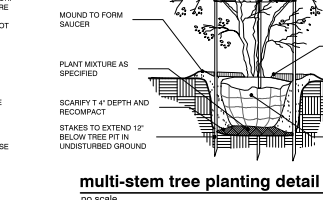
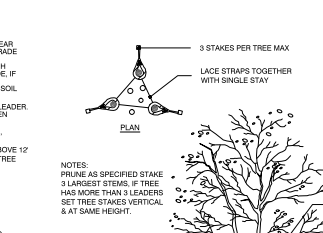
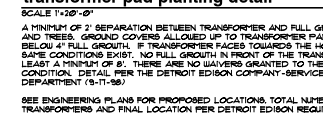
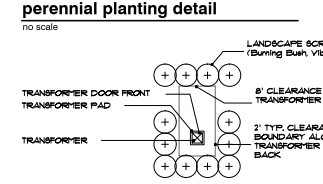
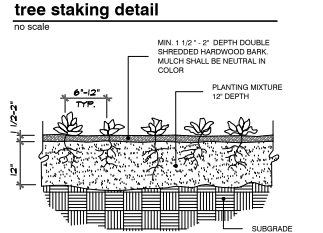
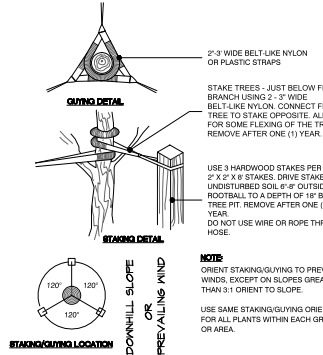
rain-garden

BEST SUITED FOR DRAINAGE SWALES OR DEPRESSIONS. THE NATIVE PLANTS USED IN THIS MIX HELP FILTER POLLUTANTS FROM LAWNS AND PAVEMENT RUNOFF. THIS SEED MIX CAN ALSO BE APPLIED TO AREAS THAT TEMPORARILY SET AN WATER AFTER A RAIN EVENT OR DRY-BOTTOMED DETENTION BASINS. THE SVALE SEED MIX INCLUDES AT LEAST 10 OF 12 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 12 OF 17 NATIVE FORB SPECIES TO PROVIDE DIVERSITY FOR ESTABLISHMENT. APPLY AT 37.00 PLS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
ANDROPOGON GERARDI	BIG BLUESTEM	4.00
CAREX CRISTATELLA	CRESTED OVAL SEDGE	0.50
CAREX LURIDA	BOTTLEBRUSH SEDGE	3.00
CAREX SPP.	PRAIRIE SEDGE SPECIES	8.00
CAREX VULPINOIDEA	BROWN FOX SEDGE	3.00
ELYMUS CANADENSIS	CANADA WILD RYE	16.00
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	16.00
JUNCUS CANADENSIS	CANADIAN RUSH	1.00
PANICUM VIRGATUM	SWITCH GRASS	3.00
SCIRPUS ATROVIRENS	DARK GREEN RUSH	2.00
SCIRPUS CYPHERNUS	WOOL GRASS	0.50
SPARTINA PECTINATA	PRAIRIE CORD GRASS	3.00
	TOTAL	60.00

TEMPORARY COVER		
AVENA SATIVA	COMMON OAT 512.00	
	TOTAL	512.00

FORBS		
ALISMA SUBCORDATUM	COMMON WATER PLANTAIN	1.00
ASCLEPIAS INCARNATA	SWAMP MILKWEED	2.00
COREOPSIS TRIPTERIS	TALL COREOPSIS	1.00
EUTHAMIA GRAMMIFOLIA	COMMON GRASS-LEAVED GOLDENROD	0.50
EUTROCHUM MACULATUM	SPOTTED JOE-PYE WEED	1.00
IRIS VIRGINICA V. SHREVEI	BLUE FLAG	4.00
LIATRIS SPICATA	MARSH BLAZING STAR	1.00
LYCOPUS AMERICANUS	COMMON WATER HOREHOUND	0.50
MIMULUS RINGENS	MONKEY FLOWER	0.50
PENTHORUM SEDOIDES	DITCH STONECROP	1.00
PHYCNANTHEMUM VIRGINIANUM	COMMON MOUNTAIN MINT	0.50
RUBICECKA TRILOBA	BROWN-EYED SUSAN	1.00
SENNA HEBECARRA	WILD SENNA	1.00
SILPHIUM TERREBINTHINACEUM	PRAIRIE DOCK	1.00
SYMPHYOTRICHUM NOVAE-ANGLIAE	BLUE VERVAIN	0.50
VERBENA HASTATA	BLUE VERVAIN	1.50
ZIZIA AUREA	GOLDEN ALEXANDERS	2.00
	TOTAL	20.00



client:
Singh Development, LLC
 7125 Orchard Lake Road,
 Suite 200, West Bloomfield,
 Michigan 48325

project:
Faulkwood Shores Golf Club - Clubhouse Improvement

project location:
Genoa Township, Michigan
 S. Hughes Road

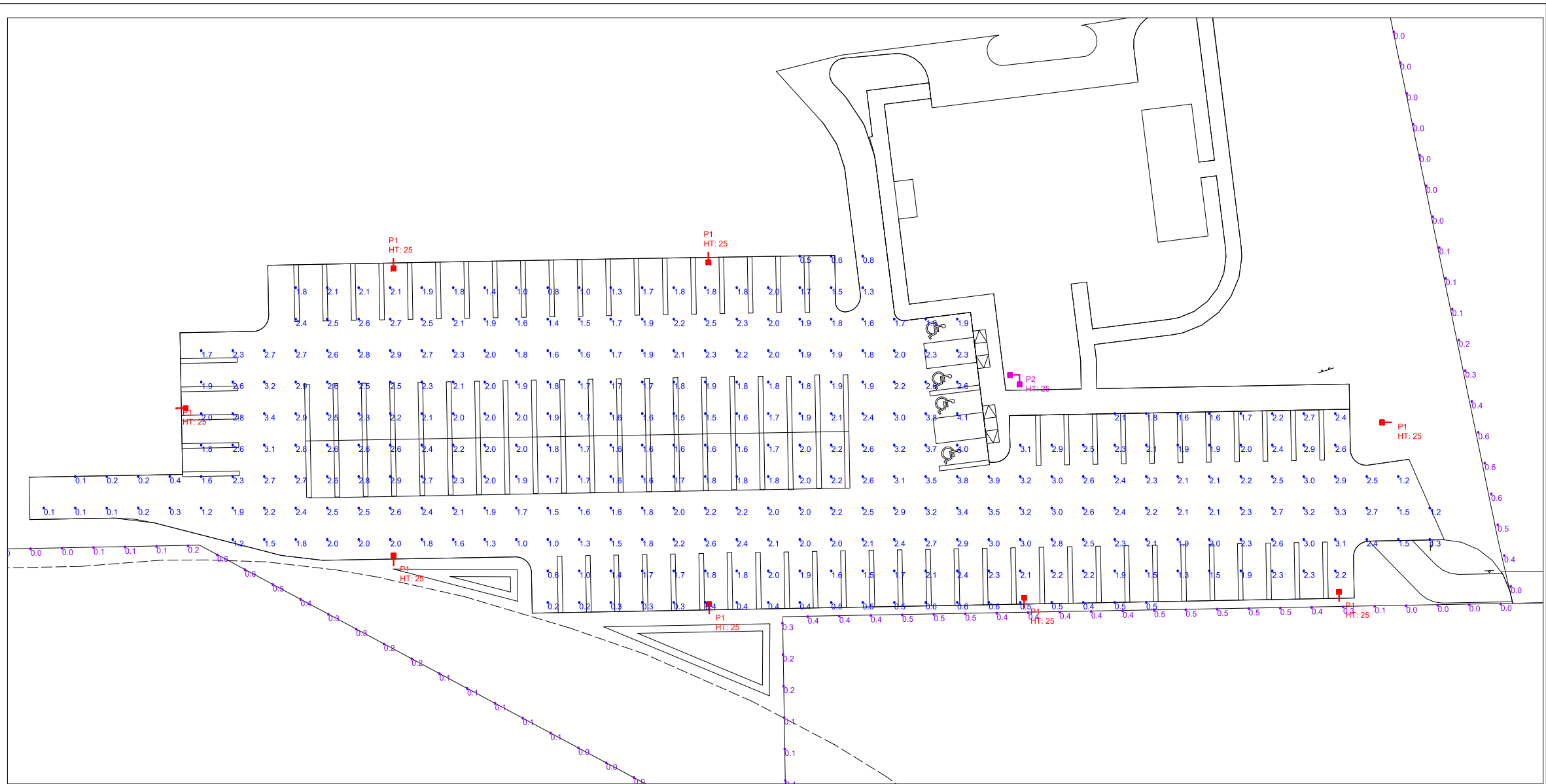
sheet title:
PLANT DETAILS AND LANDSCAPE NOTES

job no. / issue / revision date:
 LS24.117.11 SPA 11-28-2023
 LS24.028.02 SPA 2-12-2024

drawn by:
JP
 checked by:
FP
 date:
2-11-2024

notice:
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 Do Not scale drawings. Use figured dimensions only.
3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
 To the location of public utility lines
 The location and locations of existing underground utilities as shown on this drawing are only approximate. No guarantee or other expressed or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:
LS24.028.02



Label	Symbol	Qty	Manufacturer	Catalog Number	Light Loss Factor	Lumens Per Lamp	Watts	Controls
P2		1	LITHONIA P2	DSX1 (2 HEAD)	0.900			
P1		8	LITHONIA P1	DSX1	0.900			

Statistics					
Description	Avg fc	Max fc	Min fc	Avg/Min (-1)	Max/Min (-1)
PARKING LOT	1.98	4.1	0.1	19.80	41.00
PROPERTY LINE	0.18	0.6	0.0	N.A.	N.A.

PLAN VIEW: NOT TO SCALE

Page 1 of 2

GENERAL NOTE
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 0'-0", FOOD SERVICE AREA AT: 2'-6", TREES SHOWN AT BOTTOM OF LEAVES
 3. ALTERNATE LIGHTING FIXTURES WILL NOT MEET CITY ORDINANCE COMPLIANCE DUE TO THE PRECISE OPTICAL AND OUTPUT PERFORMANCE SELECTED FOR THESE FIXTURES. ALTERNATE LIGHTING PROPOSALS MUST BE RECALCULATED AND RESUBMITTED TO THE CITY FOR APPROVAL. CONTACT LAYOUTS@GASSERBUSH.COM FOR ASSISTANCE WITH ALTERNATE OPTIONS IF NEEDED.
 * THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.
 * THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY.
 * THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.
 * UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.
 * FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.
 * THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.
 * MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Faulkwood Shores Golf Club_V1 #24-24817.AGI
 Gasser Bush Associates / Applications
 www.gasserbush.com

Designer: JC3
 Date: 1/23/2024
 Scale: NOT TO SCALE



Faulkwood Shores Clubhouse

KRIEGER KLATT ARCHITECTS

2120 E. 11 Mile Rd. | Royal Oak, MI 48067
 P: 248.414.9270 F: 248.414.9275
 www.kriegerklatt.com

Client: Singh Development, LLC
 7125 Orchard Lake Rd., Ste. 200
 West Bloomfield, MI 48322

Project: Faulkwood Shores Clubhouse
 300 S. Hughes Rd.
 Howell, MI 48843

Issued	Description	By
2023-11-29	Site Plan Approval	
2024-01-22	City Comments	

New Construction
300 S. Hughes Rd.
Howell, MI 48843

General Scope of Work
 1. Construction of new wood framed, (1) story clubhouse building with kitchen, bar, open seating, and pro-shop
 2. Site and landscaping work as indicated

Owner
 Singh Development
 (Matt Delapp)
 7125 Orchard Lake Rd., Ste. 200
 West Bloomfield, MI 48322
 P.248.702.4826

Architect
 Krieger Klatt Architects Inc.
 (Jason Krieger, R.A.)
 2120 E. 11 Mile Rd.
 Royal Oak, MI 48067
 P.248.414.9270 F.248.414.9275

Landscape Designer
 Felino A. Pascual and Associates
 (Felino A. Pascual, L.A.)
 24333 Orchard Lake Rd., Ste. G
 Farmington Hills, MI
 P.248.557.5588



View of Front Facade From Hughes Rd. (REFERENCE ONLY)

Sheet Number	Sheet Name	2023-11-29 SPA	2024-01-22 City Comments
1 - General			
G.001	Cover Sheet	*	*
G.002	3D Views	*	*
2 - Civil			
C1	Cover	*	*
C2	Boundary Survey	*	*
C3	Topographical Survey & Demolition Plan	*	*
C4	Site Plan	*	*
C5	Grading & Drainage Plan	*	*
3 - Landscape			
LS-1	Landscape Planting Detail	*	*
LS-2	Plant Details and Landscape Notes	*	*
4 - Architectural			
A.000	Architectural Site Plan	*	*
A.001	Material Board	*	*
A.100	Floor Plan	*	*
A.200	Elevations	*	*
Total Sheets: 13			

Building Code Notes:
 All work is to comply with 2015 Michigan Building, 2015 Michigan Mechanical Code, 2017 Michigan Electrical Code, 2018 Michigan Plumbing Code and ASHRAE Standard 90.1-2007



North Aerial Map NTS



North Location Map NTS

PRELIMINARY NOT FOR CONSTRUCTION

Seal: _____

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

Sheet Title: _____
 Cover Sheet

Project Number: _____
 23-114

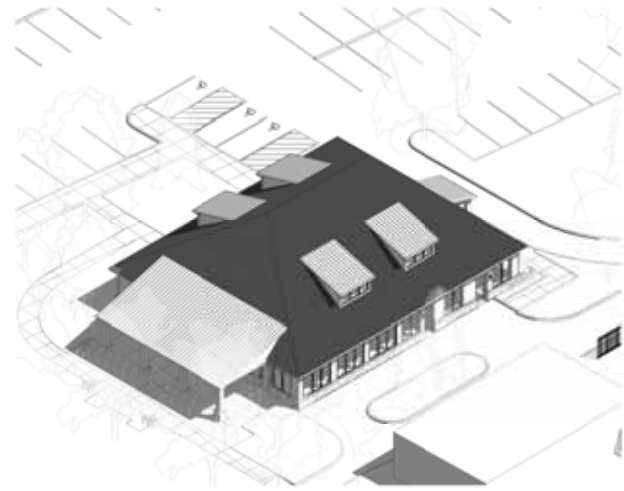
Scale: _____

Sheet Number: _____
G.001

Client: Singh Development, LLC

Project: Faulkwood Shores Clubhouse
300 S. Hughes Rd.
Howell, MI 48843

Issued	Description	By
2023-11-29	Site Plan Approval	
2024-01-22	City Comments	



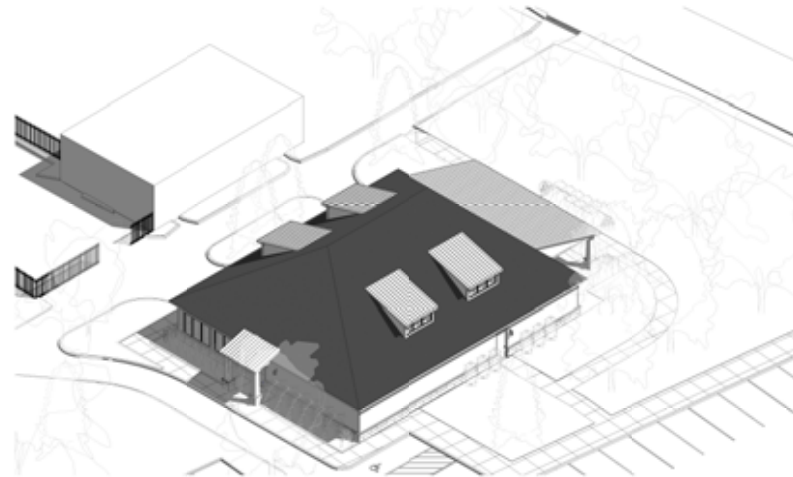
Isometric View Looking Northeast



Isometric View Looking Northwest



Isometric View Looking Southeast



Isometric View Looking Southwest

PRELIMINARY NOT FOR CONSTRUCTION

Seal: _____

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

Sheet Title: 3D Views

Project Number: 23-114

Scale: _____

Sheet Number: _____



East Elevation

Scale: N.T.S.



M-1: Exterior Siding
Manuf: James Hardie
Type: Board and Batten Vertical Siding
Color/Finish: Arctic White



M-4: Standing Seam Metal Roof
Manuf: Pac-Clad
Color/Finish: Matte Black



M-2: Stone Masonry Skirt
Manuf: Shouldice
Model: Estate Stone
Color/Finish: Warton



M-5: Vinyl Window Frames
Manuf: Andersen
Color/Finish: Black



North Elevation

Scale: N.T.S.



M-3: Asphalt Shingles
Manuf: GAF Timberline
Color/Finish: Charcoal

Client:
 Singh Development, LLC
 7125 Orchard Lake Rd., Ste. 200

Project:
 Faulkwood Shores Clubhouse
 300 S. Hughes Rd.
 Howell, MI 48843

Issued	Description	By
2023-11-29	Site Plan Approval	
2024-01-22	City Comments	

Seal:

Note:
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in
 field.
 North Arrow:

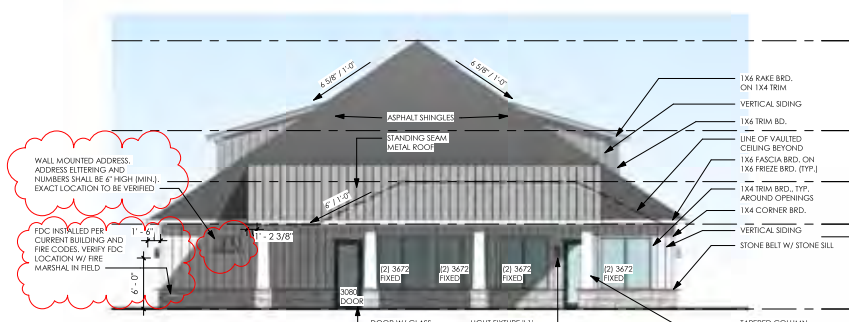
Sheet Title:
 SPA - Elevations

Project Number:
 23-114

Scale:
 As indicated

Sheet Number:

PRELIMINARY NOT FOR CONSTRUCTION



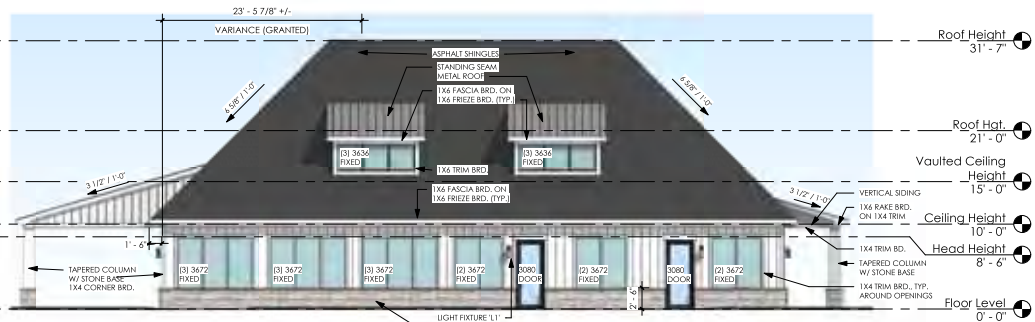
1 East (Front) Elevation
 1/8" = 1'-0"

MATERIAL PERCENTAGES: EAST (FRONT) FACADE

FRONT FACADE: 409 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	130 SF	32%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 32%
BOARD AND BATTON SIDING	279 SF	68%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 68%

MATERIAL PERCENTAGES: EAST (FRONT) FACADE OVERALL

FRONT FACADE: 603 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	130 SF	22%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 22%
BOARD AND BATTON SIDING	279 SF	46%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 46%
FENESTRATION	192 SF	32%	



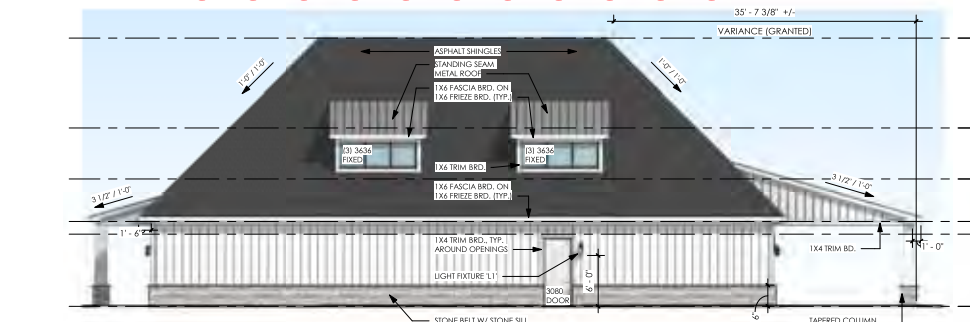
2 North (Side) Elevation
 1/8" = 1'-0"

MATERIAL PERCENTAGES: NORTH (SIDE) FACADE

FRONT FACADE: 420 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	164 SF	39%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 39%
BOARD AND BATTON SIDING	256 SF	60%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 60%

MATERIAL PERCENTAGES: NORTH (SIDE) FACADE OVERALL

FRONT FACADE: 727 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	164 SF	23%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 23%
BOARD AND BATTON SIDING	256 SF	35%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 35%
FENESTRATION	307 SF	42%	



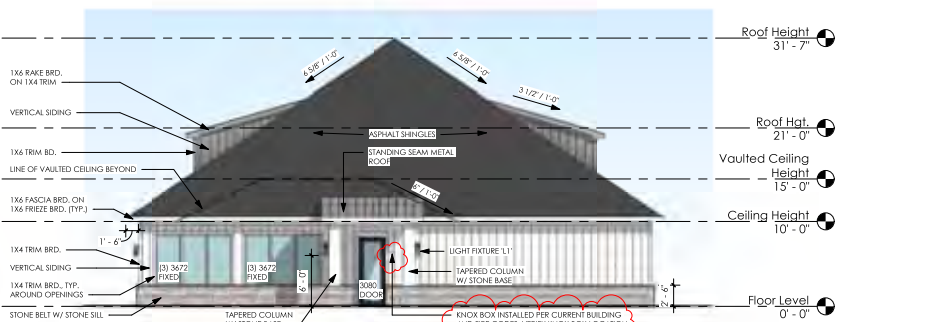
3 South (Side) Elevation
 1/8" = 1'-0"

MATERIAL PERCENTAGES: SOUTH (SIDE) FACADE

FRONT FACADE: 701 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	165 SF	24%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 24%
BOARD AND BATTON SIDING	536 SF	76%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 76%

MATERIAL PERCENTAGES: SOUTH (SIDE) FACADE OVERALL

FRONT FACADE: 727 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	165 SF	23%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 23%
BOARD AND BATTON SIDING	536 SF	74%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 55%
FENESTRATION	26 SF	4%	



4 West (Rear) Elevation
 1/8" = 1'-0"

MATERIAL PERCENTAGES: WEST (REAR) FACADE

FRONT FACADE: 467 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	137 SF	29%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 29%
BOARD AND BATTON SIDING	334 SF	71%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 71%

MATERIAL PERCENTAGES: WEST (REAR) FACADE OVERALL

FRONT FACADE: 603 SQFT			
ASSEMBLY AREAS	TOTAL (S.F.)	% OF OPAQUE	TOTAL % OF OPAQUE
STONE MASONRY	137 SF	23%	BRICK/STONE MATERIALS MAX ALLOWED: 100% PROVIDED: 23%
BOARD AND BATTON SIDING	334 SF	55%	WOOD/FIBER CEMENT MATERIALS MAX ALLOWED: 25% PROVIDED: 55%
FENESTRATION	132 SF	22%	



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 28, 2024
RE: Arby's Restaurant Renovations – 3639 E. Grand River
Impact Assessment

Please find attached the project case file for an expansion, remodel and related site improvements for the existing Arby's fast food restaurant. The site is located at 3639 East Grand River Avenue on the north side of Grand River between Grand Oaks and Cleary Drive. The site is zoned Regional Commercial District (RCD).



SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Procedurally, the Planning Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Environmental Impact Assessment. The project was heard before the Planning Commission on February 12th, 2024 and the Commission approved the site plan and recommended approval of the Impact Assessment as submitted. Based on the recommendation from the Planning Commission, I offer the following for your consideration:

February 28, 2024

Arby's Restaurant Renovations - 3639 E. Grand River


Page 2 of 2

ENVIRONMENTAL IMPACT ASSESSMENT

Moved by _____, supported by _____, to approve the Environmental Impact Assessment dated December 13, 2023 for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue. with the following conditions:

- All requirements of the site plan approval by the Planning Commission be met.
- The color of the service door on the new addition facing Grand River shown on elevation rendering site plan sheet A2.1 shall be revised to reflect the label color which is Functional Gray and not the red color shown.
- All site plan review overage fees be paid prior to issuance of a land use permit.

If you should have any questions, please feel free to contact me.



Kelly VanMarter, Township Manager



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
OCT 26 2023
RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Chew Inc dba Arbys 3253 Owen Rd Fenton, MI
If applicant is not the owner, a letter of Authorization from Property Owner is needed. 48430

OWNER'S NAME & ADDRESS: James Crawford 3253 Owen Rd Fenton, MI 48430

SITE ADDRESS: PARCEL #(s):

APPLICANT PHONE: (810) 444-2685 OWNER PHONE: (810) 250-9558

OWNER EMAIL: crawfordarbys@yahoo.com

LOCATION AND BRIEF DESCRIPTION OF SITE: on Grand River in front of mall. closest cross street is Latson

BRIEF STATEMENT OF PROPOSED USE: to sell food

THE FOLLOWING BUILDINGS ARE PROPOSED: same as existing with the addition of cold food storage on the rear of a building

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: James W Crawford Jr [Signature]

ADDRESS: 3639 E Grand River Ave Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) James Crawford Jr of Arby's 6081 at Crawfordarbys@
Name Business Affiliation E-mail Address Yahoo.com

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 10-31-23
PRINT NAME: _____ PHONE: _____
ADDRESS: _____

Arby's #6081 building remodel

February 26, 2024

To Amy Ruthig and the Township board regarding:

Arby's Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. Owner Chew Inc, dba Arby's. Resubmittal for the March 4th, 2024 Township board meeting;

These items have been revised per the discussion of the PC meeting held February 12, 2024.

- 1) Building materials: We met the previous requirements to reduce the EIFS. Owner Joe C. asked to eliminate all EIFS, plan reviewer Brian V. Borden stated yes. Thus we have made revisions to the materials and spec notes, See A2.1 proposed colored exterior elevations.
- 2) Landscape: The plant schedule and landscape plan amounts have been revised per request—Add 2-3 shrubs next to new sidewalk area (to block the headlights) See revised C1.5 landscape plan

Received unanimous approval for Impact assessment, site plan review drawings dated 01-22-24. Allow 2nd wall signage and decrease / eliminate EIFS.

Respectfully,

Cheryl Ball, CBall Design

Kim Procnier AIA, Proline Architecture

Moved by Commissioner Rassel, supported by Commissioner Chouinard, to postpone Open Public Hearing #1. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2...REQUEST TO POSTPONE PER TOWNSHIP STAFF

RECOMMENDATION- Consideration of a special land use application, environmental impact assessment and site plan to allow for a proposed multi-tenant commercial center including a drive through coffee shop and outdoor seating restaurant located on vacant parcels#:4711- 04-300-017 and 4711-09-100-017 Latson Road, east side of Latson Road, south side of Grand River Avenue. The request is petitioned by Kevin Bahnam, 1015 Latson Road LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1-16-24)
- C. Recommendation of Site Plan (1-16-24)

The call to the public was opened at 6:34 pm with no response.

Moved by Commissioner Rassel, supported by Commissioner Chouinard, to postpone Open Public Hearing #2. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 3...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby's.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Disposition of Site Plan (12-13-23)

Ms. Cheryl Ball, the architect, and Mr. Joe Crawford, the owner, were present.

Ms. Ball stated they have altered the stacking spaces, changed the parking to meet the requirements, and updated the landscaping plan. They will be removing the pole sign and installing a monument sign. They presented colored renderings, colored photographs showing a newly built Arby's restaurant, which has the materials they would like to use, and sample building materials.

Mr. Borden stated they have met the vehicle parking requirements, but they do not have the RV and semi parking requirements. They do not have that currently so it is an existing condition. He noted the petitioner did a good job meeting his requirements. He reviewed his letter dated February 6, 2024:

1. A variance is needed to match the nonconforming rear yard setback. Ms. Ball stated they have received ZBA approval.
2. Building materials and color scheme are subject to approval by the Planning Commission, noting they do not completely meet the ordinance, but this is a remodel and they are

matching existing materials. Mr. Crawford stated they are proposing to remove all of the EFIS material.

3. He suggests additional shrubs be provided to fill in the gap near the sidewalk connection.
4. Required landscape buffer zone areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13. He noted that there are two greenbelt trees missing. He suggests those be added.
5. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
6. The Planning Commission may allow a second wall sign.
7. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority

The petitioner agreed to the landscape and tree planting requirements.

Ms. Byrne's letter stated that the petitioner has addressed her concerns, however, the proposed angled parking adjacent to the drive-through results in a drive aisle less than the required 15 feet. The proposed configuration matches the existing parking layout and there does not appear to be any current issue with vehicle circulation as a result so she has no concerns.

The Brighton Area Fire Authority Fire Marshals letter dated February 2, 2024 states that all his previous concerns have been addressed.

The call to the public was opened at 6:54 pm with no response.

Commissioner Dhaenens does not agree that the two trees need to be added and he would approve two building signs. Commissioner McBain agrees. Commissioner Chouinard agreed that the bushes should be added, but no additional trees are needed.

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to recommend to the Township Board approval of the Environmental Impact Assessment dated December 13, 2023 for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue. **The motion carried unanimously.**

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to approve the Site Plan dated January 22, 2014 for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue, with the following conditions:

- The requirement for the landscaping per section 12.02.13 is deficient; however, the Planning Commission will allow for shrubs and no canopy trees to be planted. The revised plan shall be reviewed and approved by township staff.
- The applicant is permitted to decrease the amount of EFIS on the building. The revision shall be reviewed and approved by township staff.
- A second wall sign is permitted.

- The building materials presented this evening are acceptable.
The motion carried unanimously.

NEW BUSINESS:

OPEN PUBLIC HEARING #4...Consideration of a special land use application, environmental impact assessment and site plan to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or nonprofit center to assist individuals with social needs. The property is located on the west side of Dorr Road, north of I-96 on parcel #4711-15-200-019 and the request is petitioned by The Salvation Army of Livingston County.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (12-11-23)
- C. Recommendation of Site Plan (1-19-24)

Mr. David Barner, the attorney for the Salvation Army, Lieutenant Colonel Steven Merritt, Lieutenants Roberts and Leach, who would be the core commanders at this location, and Ms. Kelly Wirebaugh, Divisional Property Manager, were present.

He stated the property will be used as a core center. It will have a church and will provide many social services.

Mr. Borden reviewed his letter dated February 1, 2024.

1. Special Land Uses (Section 19.03):
 - a. The special land use standards of Section 19.03 are generally met.
 - b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Outdoor Storage (Section 8.02.02(n)):
 - a. The subject site does not meet the 500-foot spacing from residential zoning. He noted that the applicant intends to apply to the ZBA for a variance. Ms. Wirebaugh stated they will apply for the variance after the purchase of the property is complete.
3. Site Plan Review:
 - a. If parking lot improvements are proposed, the applicant should be required to provide looped striping for parking spaces.
 - b. Removal of the existing structures associated with the Humane Society needs to be noted on the site plan. He stated the applicant has indicated they will be removed; however, it is still shown on the site plan.
 - c. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

2. The applicant proposes the inclusion of multiple bright colors on the mainly white and red building.
3. He asked the applicant to confirm that no changes to building materials are proposed. Mr. Shwartz stated the building materials will not change.
4. He asked the applicant to confirm that the changes are only proposed to the front and west side of the building. Mr. Schwartz stated if their proposal is approved, they would like to change the other two sides.
5. Section 12.01.05 requires that building colors “relate well and be harmonious with the surrounding area” and that “subtle earth tone colors shall be used.”
6. In his opinion, the proposed façade changes do not meet the requirements of the Zoning Ordinance.

Vice-Chairman Rauch noted that the addition of a red fence next to the outdoor seating is also being proposed.

The call to the public was made at 6:40 pm with no response.

Commissioner Dhaenens stated the fluorescent colors are too bright. They should be toned down. He will not be able to support this as presented. He would like to see a different proposal.

Vice-Chairman Rauch stated that the Township’s zoning ordinance states a consistent design throughout the area, which includes earthtones and clean lines. He is not in support of the proposal as presented. He also noted that he is not in favor of the existing red accents on the building.

Commissioner McCreary agrees.

Commissioner McBain stated this would be a great design for a downtown area. There are other ways to accent the building with different colors.

Mr. Schwartz asked if he could propose different designs for the township to review. Mr. Rauch advised him to contact Ms. Ruthig.

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to table the review of the sketch plan dated December 7, 2023 for façade revisions to the existing Dave’s Hot Chicken Restaurant located at 3667 E. Grand River Avenue, to allow the applicant to meet with township staff to develop other designs. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby’s Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby’s.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Recommendation of Site Plan (12-13-23)

Mr. Jamie Crawford, the owner, and Ms. Cheryl Ball, the architect, were present. Ms. Ball stated Arby's Corporate is requiring them to update the interior and exterior of the building. She provided the site plan, showing the new location of the entrance drive. She presented colored renderings. They have applied for a variance from the ZBA for the rear yard setback.

With regard to Mr. Borden's letter addressing the excessive EIFS, she has a revised proposal to reduce it to 31.4 percent, which is closer to the 25 percent limit.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The building materials include an excessive amount of EIFS and he noted Ms. Ball's comments this evening.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. The required drive-through stacking spaces block circulation at the main drive aisle. Alternatives should be explored to mitigate this condition.
4. The plan is deficient on parking spaces so the applicant must provide the Township with a shared parking agreement to address this deficiency. He suggests the parallel spaces be removed from the plan.
5. He suggests additional shrubs be provided to create a hedgerow that better screens the front yard parking spaces.
6. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
7. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
8. The petitioner is requesting two wall signs, where one is permitted. The Planning Commission may allow a second wall sign.
9. He is requesting the applicant amend the sign detail to note that the existing nonconforming pole sign will be removed and replaced with a monument sign.
10. The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. Approval from the Brighton Area Fire Authority should be provided prior to site plan approval, which has been obtained.
2. A detail should be provided for the proposed parking stripping.

The Brighton Area Fire Authority Fire Marshal's letter dated December 20, 2023 stated that he has no outstanding concerns.

Vice-Chairman Rauch understands that the Arby's brand has changed since this building was built and this site is a challenge to meet those changes. He asked if there is a possibility to swap this property with some property to the rear. Mr. Crawford stated he did approach the owner of the shopping center; however, their cost for the property was too high.

There was a discussion regarding the drive thru stacking. Mr. Crawford advised there are issues sometimes, but the cars needing to back out of a space wait for the drive thru car to move forward.

Commissioner Dhaenens agrees with Vice-Chairman Rauch's idea of the land swap. He would like the Township to be involved in the conversation between the petitioner and the land owner. Mr. Crawford stated he needs to meet the spring 2024 deadline from Arby's corporate.

Commissioner McCreary also agrees with Vice-Chairman Rauch's idea. It is a forward thinking idea and could be a positive for the applicant, the property owner, and the township.

Vice-Chairman Rauch asked the commissioners their opinions on the current issues with the existing site, such as the parking, drive thru stacking, etc. Mr. Borden stated it is always the desire to improve sites; however, the parking issues are minor and if they do not pose problems at this time, he recommends allowing them to remain. All commissioners agreed to allow the existing angled parking, but the parallel parking must be removed.

The call to the public was made at 7:33 pm with no response.

Ms. Ball stated that she will comply with all the requirements in Mr. Borden's review letter.

After a discussion regarding the outstanding issues, the commission and the applicant decided to table the item this evening.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to table the review of an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue to allow the applicant to address the feedback this evening regarding the amount of EIFS, the drive-thru stacking, the possibility of a shared parking agreement, plantings, and to contact staff to facilitate a discussion between the applicant, the township, and the property owner. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3... Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (10-31-23)
- B. Recommendation of Site Plan (12-18-23)

Mr. Patrick Cleary of Boss Engineering, Mr. Russ Springborn, the owner, and Mr. Dave Richardson of Lindhout & Associates, the architect, were present.

Mr. Thomas Sutton of 814 Sunrise Park stated that he received this notice yesterday. He is on the north side of Mr. Dansville. If this addition is approved, his view pulling out of his driveway will be blocked. There are currently arborvitae planted that also block his view.

Mr. Danville stated that the last arborvitae does partially block Mr. Sutton's view. The addition will not go closer to the road than where the arborvitaes are currently.

Board Member Kreutzberg understands Mr. Sutton's concerns with the arborvitae, but the request this evening is for the addition.

The call to the public was closed at 6:52 pm.

Chairperson McCreary stated that letters of support were received from two neighbors. Mr. Danville stated another neighbor sent an email in support.

Moved by Board Member Kreutzberg, supported by Board Member Ledford, to approve Case #24-01 for Dennis Danvill of 822 Sunrise Park for a side-yard variance of .5 feet from the required 5 feet for a setback of 4.5 feet and a rear yard setback variance of 11 feet from the required 40 feet for a setback of 29 feet to construct a 280 square foot addition to an existing single-family home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. These variances will provide substantial justice, are the least necessary and would make the property consistent with other properties and homes in the area, which have reduced rear yard setbacks.
- The variances are necessary due to the extraordinary location of the home and property on the hillside and narrow building envelope, creating the need for allowance. The alley at the rear of the home is not platted nor considered a road.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

The motion carried unanimously.

2. 24-02...A request by Chew Land Management LLC, 3638 E. Grand River Ave., for a rear yard variance and any other variance deemed necessary by the Zoning Board of Appeals to construct two additions to the existing Arby's Restaurant.

Ms. Cheryl Ball, the architect, and Mr. Joe Crawford and Mr. Jamie Crawford, the owners, were present.

Ms. Ball provided a review of the project. There are updates to the inside and the outside of the building required by Arby's Corporation. They also are proposing to add a 364 square foot addition to hold a large freezer. They had approached the property owner to the north to obtain some property from them; however, they were not successful so they are working within the constraints of the existing property.

Chairperson McCreary noted that during the Planning Commission meeting, it was suggested to have the applicant and the township work with the property owner to the north to provide them with additional property. Ms. Ball stated they have approached the owner since that meeting and they were denied.

Board Member Rockwell asked if the parking was sufficient. Mr. Crawford stated they have never filled up the parking lot. Most people do not dine inside the restaurant. They use the drive thru or pick up their order.

The call to the public was opened at 7:14 pm with no response.

Moved by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #24-02 for Chew Land Management, LLC of 3639 East Grand River for a rear yard service building variance of 3.1 feet from the required 50 feet for a setback of 46.9 feet and a rear yard setback new entry variance of 6 feet, 8 inches from the required 50 feet for a setback amount of 43 feet, 4 inches to construct a 364 square foot addition, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. The variance will provide substantial justice, is the least necessary, and would make the property consistent with other properties in the area, as there are several commercial buildings in the area with reduced setbacks.
- These variances are necessary due to the extraordinary circumstances, such as the non-conforming and irregularly shaped lot, which reduces the depth of the building envelope, with the location of the existing structure.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The applicant must receive Planning Commission approval prior to land use permit issuance.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the December 19, 2023 Zoning Board of Appeals meeting.

Moved by Board Member Rockwell, supported by Board Member Fons, to approve the minutes of the December 19, 2023 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. VanMater stated that there will be five or six items on next month's agenda.



February 6, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Arby's – Site Plan Review #3
Location:	3639 East Grand River Avenue – north side of Grand River, between Grand Oaks and Cleary Drives
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan for expansion, remodel and exterior site improvements of the existing Arby's drive-through restaurant at 3639 East Grand River Avenue (revisions dated 1/22/24).

A. Review Summary

1. A variance is needed to match the nonconforming rear yard setback.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. We suggest additional shrubs be provided to fill in the gap near the sidewalk connection.
4. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
5. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
6. The Planning Commission may allow a 2nd wall sign.
7. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority

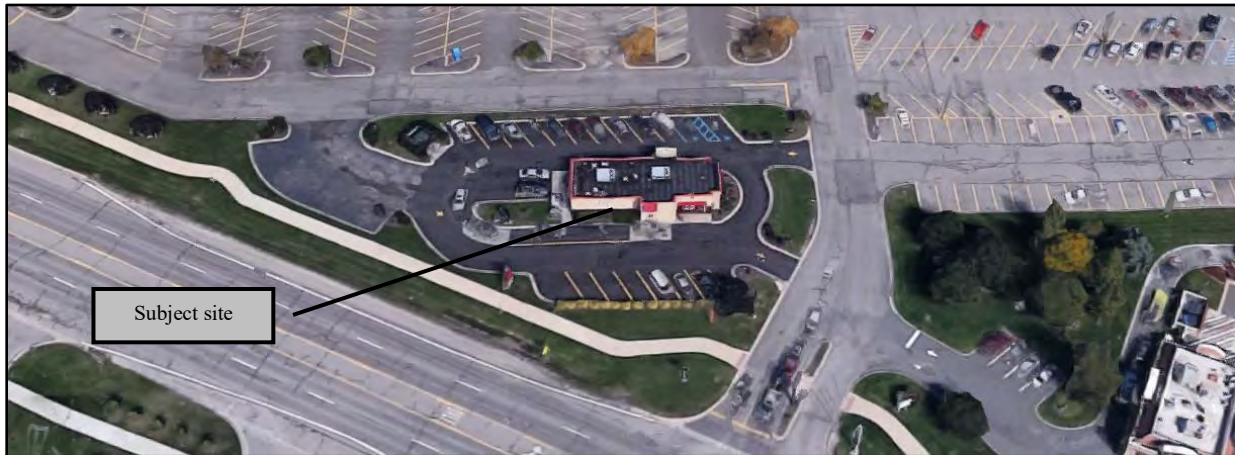
B. Proposal/Process

The applicant proposes expansion, remodeling, and site improvements for the existing Arby's drive-through restaurant.

More specifically, the project includes an approximately 340 square foot building addition, a new waste receptacle and enclosure, resurfacing/restriping of the parking lot, new wall mounted light fixtures, new landscaping, and a façade renovation.

Section 7.02 lists restaurants with drive-throughs as special land uses in the RCD; however, the size of the expansion does not require a new special land use review (Section 19.06).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment. The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Assessment.



Aerial view of site and surroundings (looking north)

C. Site Plan Review

1. Dimensional Requirements. The proposal has been reviewed for compliance with the dimensional requirements of the RCD, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
RCD	2	200	70	20	50	20 front 10 side/rear	35% building 75% impervious	45' 3 stories
Proposal	0.81	250	71.9	31 (E) 165 (W)	46.9	30 front 16 side 5 rear	6.2% building 68.6% impervious	15.5' 1 story

The existing lot area, rear building and rear yard parking setbacks are existing nonconforming conditions. The proposed building expansion matches the existing rear yard setback, and requires a variance from the ZBA.

2. Building Design and Materials. The proposed building elevations include brick, CMU, EIFS, various siding/panel types and a cast stone base. The color scheme includes white, gray, brown and red.

The amount of EIFS exceeds that allowed by Section 12.01; however, the revised submittal reduces the amount of EIFS and increases the amount of fiber cement board siding from the previous submittal, as discussed.

The Commission has discretion to modify the material requirements based on existing conditions.

Building materials and colors are subject to review and approval by the Planning Commission.

3. Pedestrian Circulation. There is an existing sidewalk along Grand River.

The project includes a private sidewalk and crosswalk connection between the public sidewalk and main building entrance.

4. Vehicular Circulation. No changes are proposed to the existing drives and cross-connections with the shopping center.

The plan has been revised to note drive-through stacking in the aisle parallel to Grand River. While this may disrupt traffic flow, it will not fully block circulation as did the previous plan.

As discussed with the Commission, the applicant indicated that they have not encountered circulation issues with the current layout, and the proposal does not alter existing conditions in any significant way.

The plan includes a mix of one-way and two-way traffic that warrant directional signage and/or pavement markings.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 5. **Parking.** The revised plan provides 19 spaces, while 17 are required. The revised plan includes a mix of angled and 90-degree parking that meet the design and dimensional standards of the Ordinance, including looped striping.
- 6. **Exterior Lighting.** The lighting plan identifies 6 light poles, 10 wall mounted fixtures, and 3 under canopy fixtures.

Based on the detail sheet, the proposed fixtures are downward directed LED and/or ornamental, per Ordinance standards.

The revised plan demonstrates compliance with pole heights and allowable light intensity (both on-site and along property lines).

- 7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 7 canopy trees	20' width 5 canopy trees 16 shrubs proposed 11 shrubs existing	Deficient by 2 trees
Buffer Zone C (N)	10' width 15 canopy trees OR 15 evergreen trees OR 58 shrubs	5' to 10' width 19 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (E)	10' width 8 canopy trees OR 8 evergreen trees OR 31 shrubs	0' to 10' width 1 existing tree 10 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (W)	10' width 2 canopy trees OR 2 evergreen trees OR 6 shrubs	10' width 4 shrubs	Deficient in plantings
Parking lot	2 canopy trees 200 SF landscaped area	2 trees 1,000+ SF landscaped area	In compliance

Additional shrubs have been added to screen the front yard parking spaces, though there remains a small gap in plantings between the existing shrubs and proposed sidewalk connection. We suggest the applicant add more shrubs to fill in this gap.

Existing conditions preclude required widths and restrict planting in certain areas. The Commission may waive or modify the landscaping requirements based on the standards in Section 12.02.13.

The plant schedule and landscape plan are inconsistent with respect to the quantity of Majic Carpet Spirea (18 depicted; 21 noted) and Green Velvet Boxwoods (23 depicted; 24 noted).

8. Waste Receptacle. The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

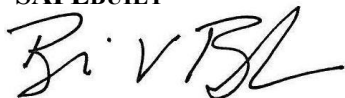
	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates access	Requirement met
Base design	9' x 15' concrete pad	17' x 28' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Split face block painted to match 6'-8" height	Requirements met

9. Signage. The revised submittal identifies 2 new wall signs and a new monument sign to replace the nonconforming pole sign.

The Planning Commission may allow a 2nd wall sign, per Footnote 2 of Table 16.1.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
 Michigan Planning Manager



January 30, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Arby's Renovation
Site Plan Review No. 3**

Dear Ms. Ruthig:

Tetra Tech conducted a third review of the proposed Arby's Renovation site plan last dated January 22, 2024. The plan was prepared by C Ball Design on behalf of CHEW Land Management, L.L.C. The development is located at the existing Arby's site on the north side of Grand River Avenue. The Petitioner is proposing to renovate the existing Arby's building, and site work includes repaving the existing parking lot and drives, repainting parking striping, and adding sidewalk.

Although the proposed angled parking adjacent to the drive-through results in a drive aisle less than the required 15 feet, the proposed configuration matches the existing parking layout and there does not appear to be any current issue with vehicle circulation as a result. The Petitioner has addressed all previous comments and we have no further engineering related concern with the proposed site plan.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrme'.

Shelby Byrme, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2024

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Arby's Howell Grand River
3639 E Grand River Ave.
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated February 15, 2023 with latest revisions dated January 22, 2024. The project is based on an existing 1,796 square foot drive-thru restaurant with drive-thru. The plan is proposing the addition of a new cooler/freezer to be added to the East side of the building. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously cited concerns and code requirements related to site access, water supply and fire safety have been addressed.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

PROJECT NAME

Impact Assessment

- a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Arby's #6081 Remodel, Howell MI 3639 E. Grand River Ave.
Preparing this document; Cheryl Ball Architecture Designer cballdesign@aol.com, with review by Kim Proconier AIA registered architect. Proline Architecture: Proline8@juno.com. Review by franchise owner's Joe & Jamie Crawford, crawfordArbys@yahoo.com

- b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also included information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

See attached maps with notes

- c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Existing environmental characteristics of the site prior to development are: Low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none, (1) mature tree in front, wetlands – none, Drainage is underground toward the drainage basin. No lakes, streams, creeks or ponds.
Existing environmental characteristics of the site after development are: Very low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none. Trees, shrubs and green have been added– see Landscape plan. Wetlands – none, Drainage is underground toward the drainage basin to remain. No lakes, streams, creeks or ponds.
See attached aerial maps with survey, existing drainage, sewer, water, soil type.

- d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

This remodel will be reviewed by the Livingston County SESC Dpt. The drawing submittal to the Livingston Co SESC department will show the limits of the silt fence. The GC will use the required silt fence / shield prior to any exterior land & vegetation work.

- e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The impact from the remodel will be slight. The surrounding area is all Commercial; OSD, NSD, GCD and - with asphalt, concrete and minimal amount of vegetation.

- f. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The average count is 150 patrons per day. The anticipated impact to educational, municipal, or religious establishments will remain the same.

- g. **Impact on public utilities:** Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The existing water, sanitary sewer will remain the same for the restaurant remodel. The existing runoff will remain during periods of construction.

- h. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There are no hazardous materials on site, existing and for the remodel.

- i. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan.

The impact of this remodel will be approximately a 60-70 day shut down. All access points will be taped off and the rear access drive will be the designated construction traffic access. Any extra construction vehicles & equipment will be parked directly north in the vacant parking lot.

- j. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

All easement restrictions are noted on the latest survey by Mannik Smith

- k. **A list of all sources shall be provided.**

Livingston County GIS map online. [Livgov.map.arcgis.com](http://livgov.map.arcgis.com). FEMA info site. National soil types: <https://websoilsurvey.nrcs.usda.gov/app/>. Arcgis.com – flood plane info.

Drainage – Livingston county: Kenneth E. Recker, II, P.E., Chief Deputy Drain Commissioner

PROJECT TEAM

FRANCHISE OWNER: CHEW LAND MANAGEMENT LLC 111 EAST COURT ST STE 2C3, FLINT MI 48502. ALT. ADDRESS: LAKE FENTON MGMT PH # 810-750-3423. CrawfordArbys @ Yahoo.com

ARCHITECTURE DESIGNER: C BALL DESIGN LINDEN, MI 810-853-0451 CBallDesign@aol.com

ARCHITECT: KIM PROCUNIER LIC# 1301029125 ADDRESS: 3540 WEST RIVER RD, SANFORD, MI 48657. PH# 415-310-6884, PROLINE8@JUNO.COM

GENERAL CONTRACTOR: RICH SIMMONS, MICHIGAN ROOFING INC, 8465 SOUTH AIRPORT RD DEWITT, MI 48820 PH# 517-719-8017 , rdsimmons34@yahoo.com

DECOR FINISH COMPANY: CHI CHARTER HOUSE , KEITH LIEBERT, PH#248-996-0315

KITCHEN EQUIPMENT SUPPLIER: JOE VANCE TRIMARK, joe.vance@trimarkusa.com

JURISDICTION & CODE

GENOA TOWNSHIP - UNIT 4711. COMMERCIAL -IMPROVED CLASS. HOWELL PUBLIC SCHOOLS. ZONING CODE: RCD, PARCEL #4711-05-400-029. TOTAL Acres 1.11. EXST BLDG = 1769 SF (SURVEY) + 364 SF = 2168 SF Proposed.

Current codes: 2015 MBC, 2017 MI Elec w/ Part 8 amend, 2015 Plumbing+Mechanical, 2015 Int'l Fire Code

STATE OF MI 2015 BLDG - USE GROUP A-2 (ASSEMBLY) TYPE OF CONSTRUCTION: 5B (MBC TABLE 601) OCC LOAD MBC 2015 Assembly w/o fixed seats: 15 net, 1004.4. After remodel seats = 34 EGRESS: 1006.2.1 - based on OCC load and common path of travel- 2 Req'd & 2 Exits provided

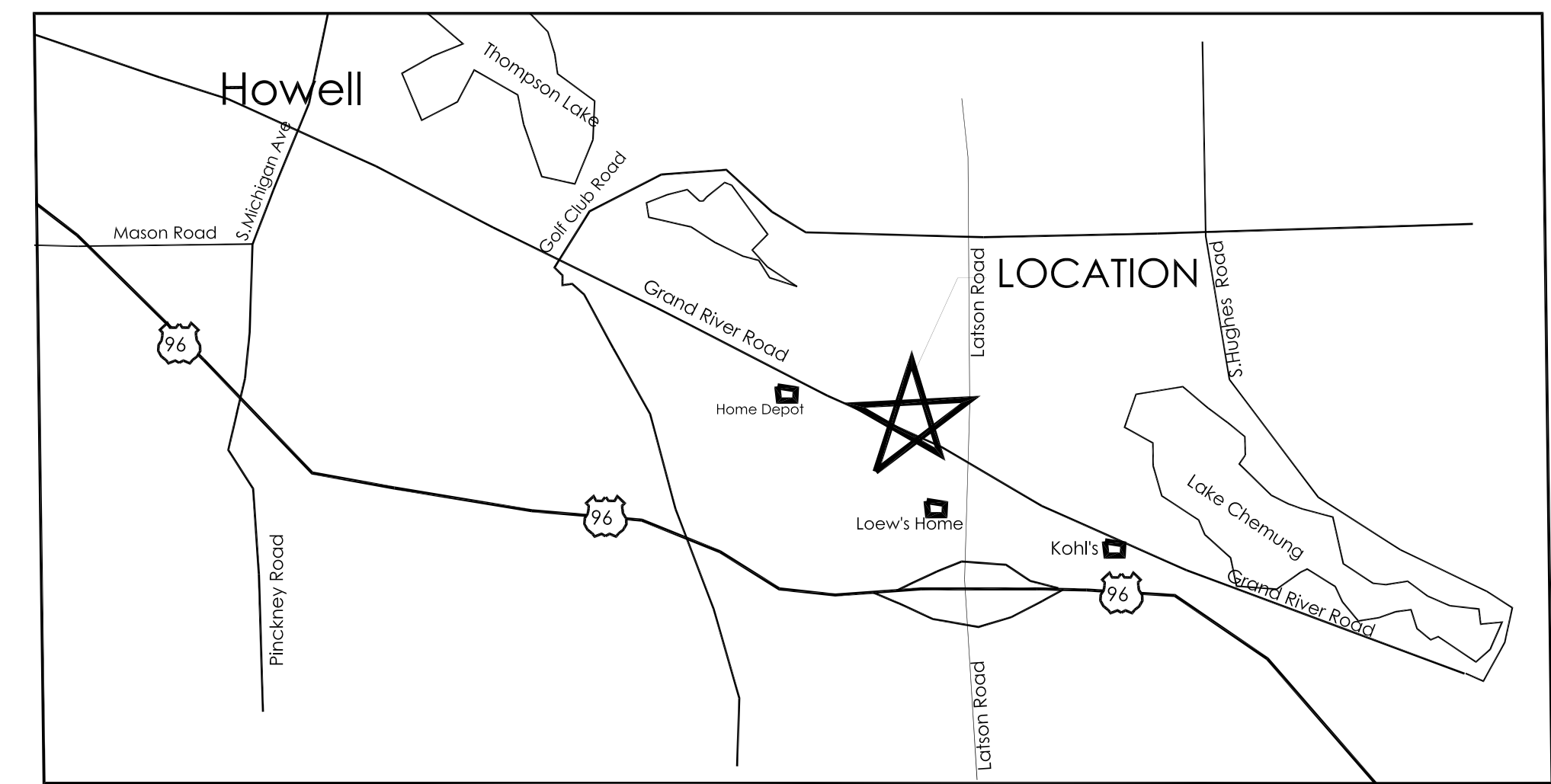
PLUMBING 2015: Fixtures Table 2902.1 Revised as follows: A2 Restaurants; WC req'd = 1:75 M/F. Provide 1 WC each M/F. See dwg A1.2 DF req'd 1:500, provided 0 (exception)

ELECTRICAL 2017 & MECH 2015

M.E.&P.INSPECTIONS: Livingston County Building Department, contact (517) 546-3240

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan



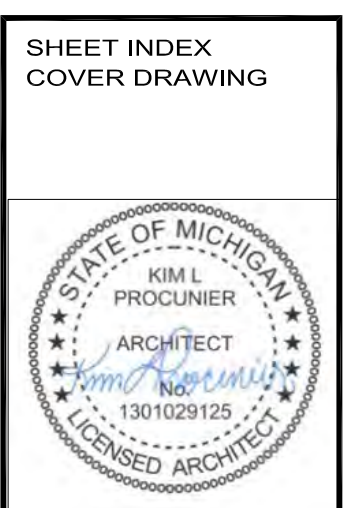
LOCATION MAP

N.T.S.

DRAWING INDEX

DWG	rev SPR	3 RD CORP REV	100%CD	TWP BOARD
C1.0 - COVER SHEET INDEX SURVEY	01-22-24	05.17.23	01-31-24	02-23-24
CS.1 - REGISTERED SURVEY	01-22-24		01-31-24	01-22-24
C-EX.1 - EXISTING & DEMO	01-22-24	05.17.23	01-31-24	01-22-24
C1.1 - SITE PLAN, CODE NOTES	01-22-24		01-31-24	01-22-24
C1.2 - ENLARGE SITE PLAN + DETAILS	01-22-24		01-31-24	01-22-24
C1.3 - ENLARGE SITE PLAN + DETAILS	01-22-24		01-31-24	01-22-24
C1.4 - PHOTOMETRICS	01-22-24		01-31-24	01-22-24
C1.5 - LANDSCAPE PLAN & DRAINAGE	01-22-24		01-31-24	02-23-24
GENERAL				
G1.1 - ADA MOUNTING HEIGHTS			01-31-24	
G1.2 - ADA MOUNTING HEIGHTS			01-31-24	
EX1.1 - EXISTING PLAN & PICTURES		05.17.23	01-31-24	
D1.1 - DEMOLITION FLOOR PLAN	01-22-24	05.17.23	01-31-24	02-22-24
A1.1 - NEW FLOOR PLAN	01-22-24	05.17.23	01-31-24	02-22-24
A1.2 - RESTROOM & INTERIOR ELEVS		05.17.23	01-31-24	
A1.3 - FOUNDATION PLANS & DETAILS			01-31-24	
A1.4 - RCP + CEILING DETAILS			01-31-24	
A1.5 - F. F. & E		05.17.23	01-31-24	
EQ1.0 - EQUIPMENT PLAN		05.17.23	01-31-24	
EQ1.1 - EQUIPMENT SCHEDULE				
EX2.0 - EXISTING ELEVATIONS&PICTURES	01-22-24	05.17.23	01-31-24	01-22-24
A2.1 - PROPOSED ELEVATIONS	01-22-24	05.17.23	01-31-24	02-23-24
A2.2 - ELEVATION MATERIALS	01-22-24		01-31-24	
A3.0 - BUILDING SECTIONS			01-31-24	
E1.1 - ELECTRICAL INFORMATION			01-31-24	
M1.1 - MECHANICAL & ROOF INFO			01-31-24	

07.13.23 CORP FINAL APPROVAL
08.09.23 Genoa Twp submit Land Use Permit - Livingston County review
10-06-23 Genoa Twp submit SPR rev & 10-23-23 SPR
12-13-23 2nd submit SPR review Genoa Twp
01-22-24 3rd SPR submit Genoa Twp
01-23-24 ZBA approval variances Genoa Twp
02-12-24 SPR approval Genoa Twp Planning Commission



NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. DISCREPANCIES THIS REPRESENTS PRESENT ONLY AS SUITABLE CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 1/209473093
Contact: JOE /JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

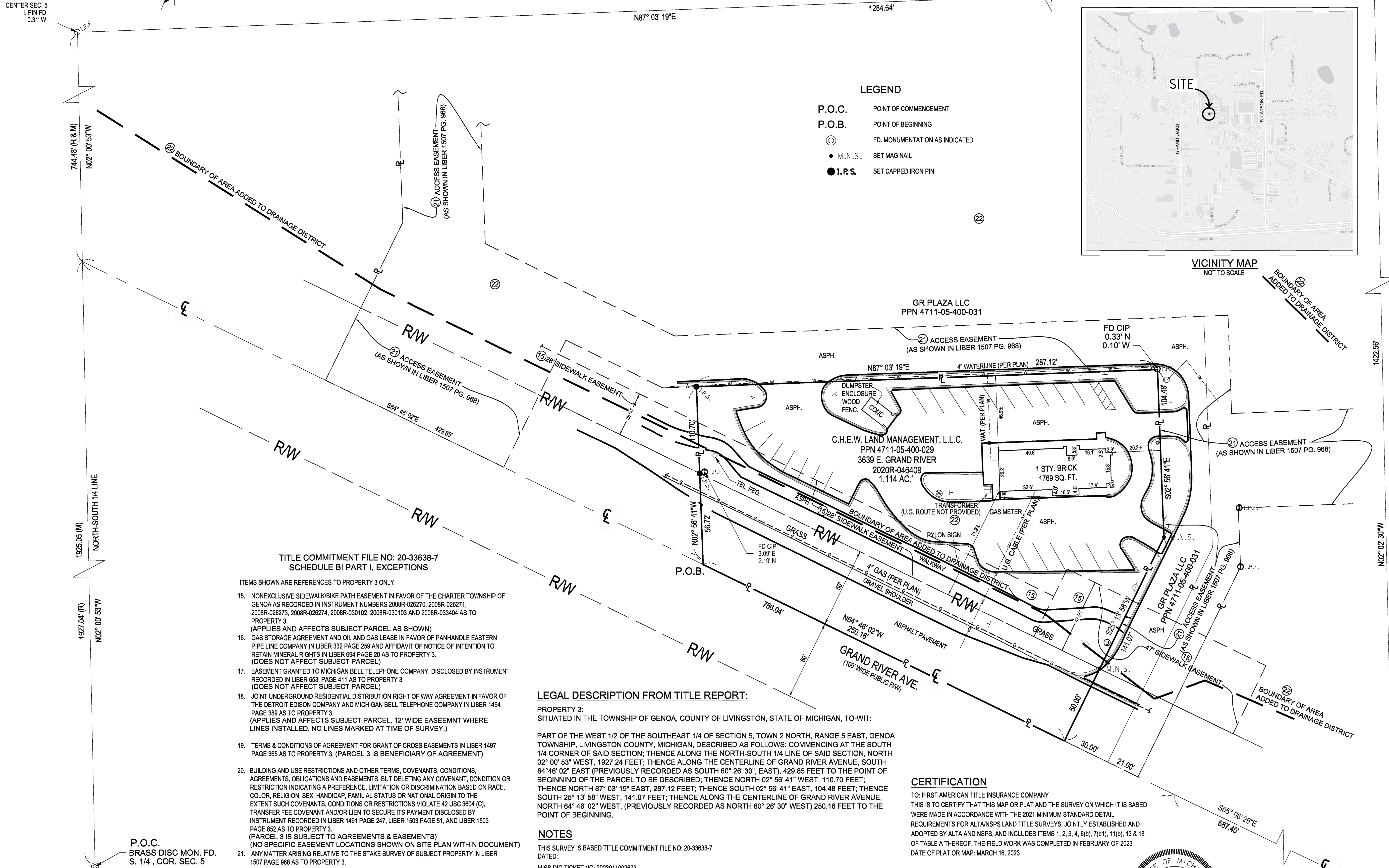
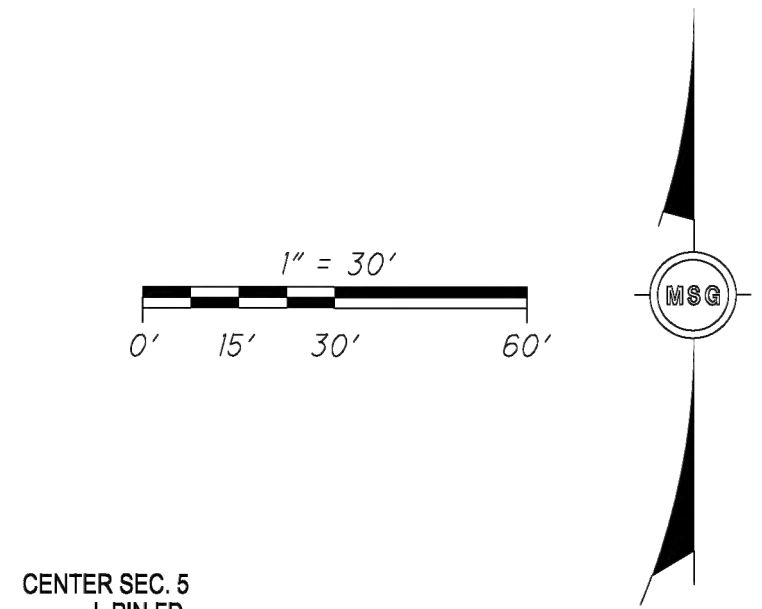
PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	10-11-23	owner SPR review
5	08-08-23	Permit submit Genoa Livingston
4	07-18-23	Arch review
3	04-18-23	Arch review
2	02-24-23	Sub's Review
1	02-15-23	Owner GC Review

DRAWN BY: C. BALL
DATE: 01-28-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.0

ALTA / NSPS LAND TITLE SURVEY OF PART OF THE W 1/2 OF THE SE 1/4 OF SEC. 5, TOWN 2 NORTH, RANGE 5 EAST GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LEGEND

P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
○ FD. MONUMENTATION AS INDICATED
● M.N.S. SET MAG NAIL
● I.R.S. SET CAPPED IRON PIN



- TITLE COMMITMENT FILE NO: 20-33638-7
SCHEDULE BI PART I, EXCEPTIONS
- ITEMS SHOWN ARE REFERENCES TO PROPERTY 3 ONLY.
15. NONEXCLUSIVE SIDEWALK/BIKE PATH EASEMENT IN FAVOR OF THE CHARTER TOWNSHIP OF GENOA AS RECORDED IN INSTRUMENT NUMBERS 2008R-026270, 2008R-028271, 2008R-026273, 2008R-026274, 2008R-030102, 2008R-030103 AND 2008R-033404 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL AS SHOWN)
 16. GAS STORAGE AGREEMENT AND OIL AND GAS LEASE IN FAVOR OF PANHANDLE EASTERN PIPE LINE COMPANY IN LIBER 332 PAGE 259 AND AFFIDAVIT OF NOTICE OF INTENTION TO RETAIN MINERAL RIGHTS IN LIBER 694 PAGE 20 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 17. EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 653, PAGE 411 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 18. JOINT UNDERGROUND RESIDENTIAL DISTRIBUTION RIGHT OF WAY AGREEMENT IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY IN LIBER 1494 PAGE 388 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL, 12' WIDE EASEMENT WHERE LINES INSTALLED. NO LINES MARKED AT TIME OF SURVEY.)
 19. TERMS & CONDITIONS OF AGREEMENT FOR GRANT OF CROSS EASEMENTS IN LIBER 1497 PAGE 365 AS TO PROPERTY 3. (PARCEL 3 IS BENEFICIARY OF AGREEMENT)
 20. BUILDING AND USE RESTRICTIONS AND OTHER TERMS, COVENANTS, CONDITIONS, AGREEMENTS, OBLIGATIONS AND EASEMENTS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604 (C), TRANSFER FEE COVENANT AND/OR LIEN TO SECURE ITS PAYMENT DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1491 PAGE 247, LIBER 1503 PAGE 51, AND LIBER 1503 PAGE 852 AS TO PROPERTY 3. (PARCEL 3 IS SUBJECT TO AGREEMENTS & EASEMENTS)
 21. ANY MATTER ARISING RELATIVE TO THE STAKE SURVEY OF SUBJECT PROPERTY IN LIBER 1507 PAGE 968 AS TO PROPERTY 3. (ACCESS EASEMENT DESCRIBED IN DOCUMENT, BENEFITS PARCEL AS SHOWN, GRANTED IN DECLARATION OF RESTRICTIONS SEE ITEM 20.)
 22. EASEMENT GRANTED TO LIVINGSTON COUNTY DRAIN COMMISSIONER, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1519 PAGE 654 AS TO PROPERTY 3. (SUBJECT PARCEL IS PART OF THE ADDED DRAINAGE DISTRICT AS SHOWN)
 23. TERMS & CONDITIONS OF THAT CERTAIN WARRANTY DEED AS RECORDED IN LIBER 2893, PAGE 10, LIVINGSTON COUNTY RECORDS, ASSAME PERTAIN TO THE TRANSFER OF DIVISIONS UNDER SECTION 109(3) OF THE SUBDIVISION CONTROL ACT OF 1967, AS AMENDED AS TO PROPERTY 3. (SUBJECT TO 0 DIVISIONS GRANTED)

LEGAL DESCRIPTION FROM TITLE REPORT:

PROPERTY 3:
SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, TO-WIT:

PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION, NORTH 02° 00' 53" WEST, 1927.24 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, SOUTH 64° 46' 02" EAST (PREVIOUSLY RECORDED AS SOUTH 60° 26' 30" EAST), 429.85 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE NORTH 02° 56' 41" WEST, 110.70 FEET; THENCE NORTH 87° 03' 19" EAST, 287.12 FEET; THENCE SOUTH 02° 56' 41" EAST, 104.48 FEET; THENCE SOUTH 25° 13' 58" WEST, 141.07 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, NORTH 64° 46' 02" WEST, (PREVIOUSLY RECORDED AS NORTH 60° 26' 30" WEST) 250.16 FEET TO THE POINT OF BEGINNING.

NOTES

THIS SURVEY IS BASED TITLE COMMITMENT FILE NO: 20-33638-7
DATED:
MISS DIG TICKET NO: 2023011002873

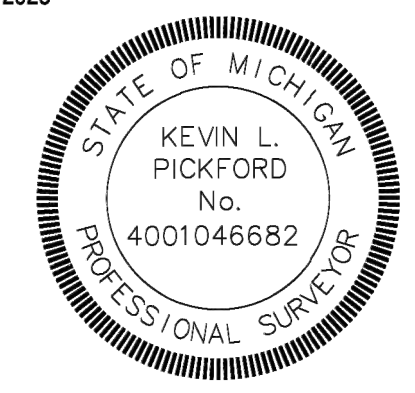
BASIS OF BEARING - N02° 00' 53"W ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 5, FOR THE PURPOSE OF SHOWING ANGULAR MEASUREMENTS ONLY.

FLOOD ZONE - FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 26093C0309D DATED 9/17/2008 INDICATES THAT THIS PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD)
THIS WAS DETERMINED BY GRAPHIC PLOTTING ONLY.

CERTIFICATION

TO: FIRST AMERICAN TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(b), 11(b), 13 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN FEBRUARY OF 2023
DATE OF PLAT OR MAP: MARCH 16, 2023

KEVIN L. PICKFORD, P.S.
LICENSED PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 4001046682
DATE: MARCH 16, 2023
JOB NUMBER: L3750003



REGISTERED SURVEY
PLOT SCALE: 1"=30'-0"

<p>1800 INDIAN WOOD CIRCLE ANN ARBOR MI 48106 TEL: 419.891.2222 FAX: 419.891.1595</p> <p>PROJECT DATE: 01/24/2023 PROJECT NO: L3750003 DRAWN BY: JDB/PCW</p>	<p>PREPARED FOR: LAKE FENTON MANAGEMENT FENTON, MICHIGAN</p>	<p>PROPOSED RENOVATION FOR: ARBYS HOWELL GRAND RIVER Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843 Livingston County - Genoa Township Michigan</p>	<p>REGISTERED SURVEY</p> <p>NO. _____ DATE _____ BY _____</p> <p>DESCRIPTION _____</p>																	
<p>C.H.E.W. LAND MANAGEMENT, L.L.C. 3639 EAST GRAND RIVER AVE., HOWELL MICHIGAN</p>		<p>ALTA / NSPS LAND TITLE SURVEY</p>	<p>1 / 1</p>																	
<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>12-13-23</td> <td>2nd submit SPR</td> </tr> <tr> <td>2</td> <td>10-23-23</td> <td>print for SPR</td> </tr> <tr> <td>1</td> <td>10-04-23</td> <td>Review for SPR</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	5			4			3	12-13-23	2nd submit SPR	2	10-23-23	print for SPR	1	10-04-23	Review for SPR	<p>DRAWN BY: C. BALL DATE: 08.12.23 JOB NUMBER: APPROVED BY:</p>
REV	DATE	DESCRIPTION																		
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<p>CS.1</p>																				

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS PRIOR TO THIS REPRESENTATION DAY AS BUILTS CONDITIONS.

Arby's Store #6081 Exist 1992
model: 179 1/2094/3093
Contact: JOE /JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

TECHNICAL SKILL:
CREATIVE SPIRIT.

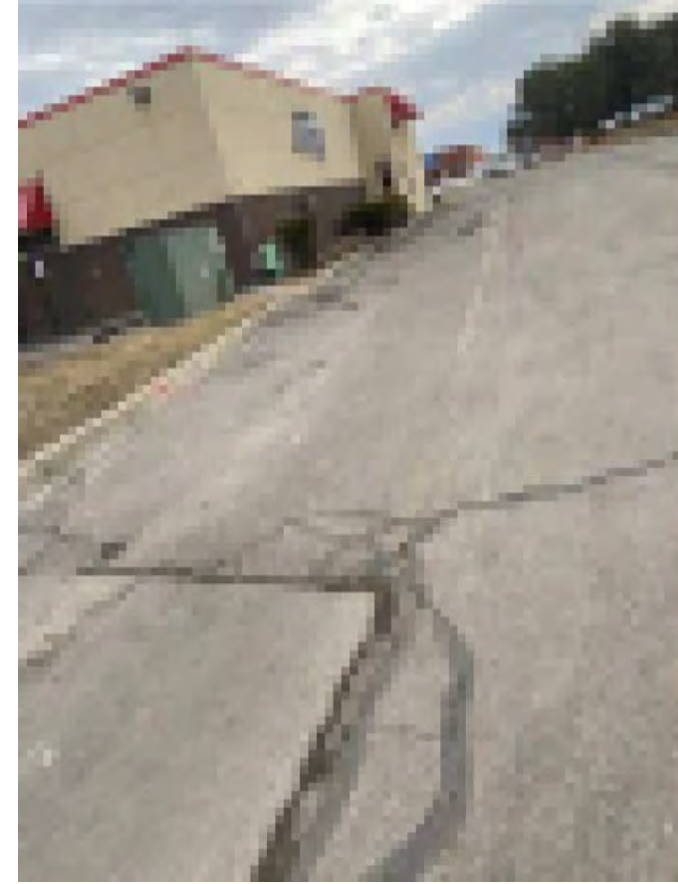
Mannik Smith GROUP
www.MannikSmithGroup.com



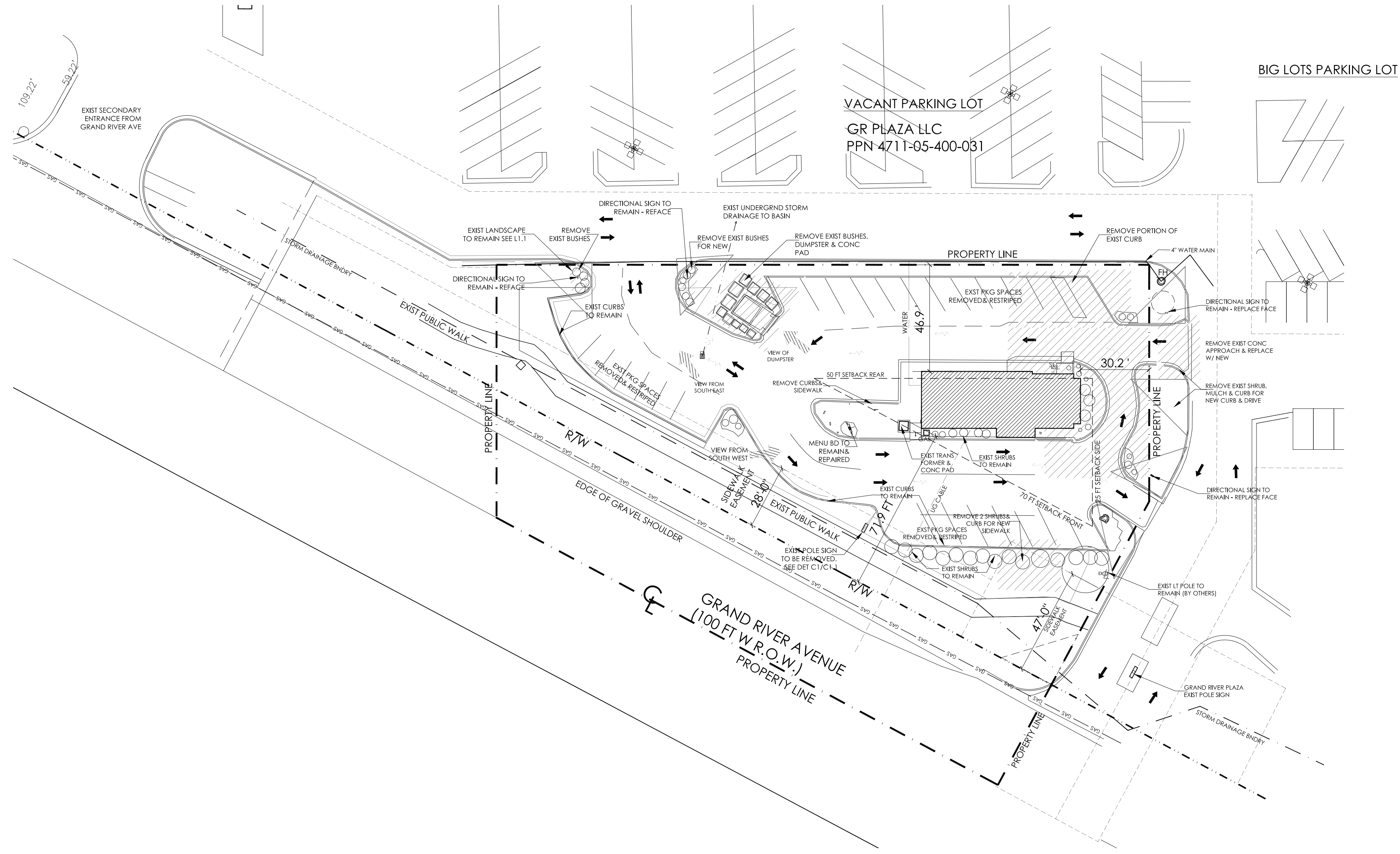
VIEW OF DUMPSTER



VIEW FROM SOUTH EAST



VIEW FROM SOUTH WEST



SITE EXISTING & DEMOLITION

SCALE: 1" = 30'-0"

OWNER & G.C. SHALL FIELD CHECK EXISTING CONDITIONS FOR FURTHER DIRECTION OF DEMOLITION

G.C. SHALL VERIFY WITH OWNER ALL ITEMS TO BE REMOVED & REUSED - OR DISPOSED OF.

EXAMPLE: EXISTING LANDSCAPE MATL TO BE REUSED AS CONDITION PERMITS. SEE NEW LANDSCAPE PLAN - C1.5

EXISTING UTILITIES: SEE SURVEY PLAN. MHOG WATER, OSCEOLA COUNTY: SEWER (NO EXISTING SITE RECORDS OF SEWER) INFORMATION PROVIDED BY GREG TATARAK: DIRECTOR OF UTILITIES - GREG@MHOG.ORG. GRAND RIVER PLAZA DEVELOPMENT - 1991, 2007 & 2009

811 CALL BEFORE YOU DIG!
1-800-482-7171

SITE EXISTING
SITE DEMO



VIEW FROM EAST



VIEW FROM SOUTH EAST

VIEW FROM SOUTH EAST

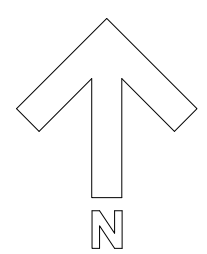
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
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PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	10-23-23	print for SPFR			
5	10-11-23	owner review for SPFR			
4	08-09-23	permit submit Genoa Livingston			
3	07-18-23	Arch review			
2	07-06-23	Photometrics			
1	06-21-23	Prelim landscape, lighting	7	12-13-23	2nd submit SPFR

DRAWN BY: C. BALL
DATE: 06-15-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
**C-EX
1.0**

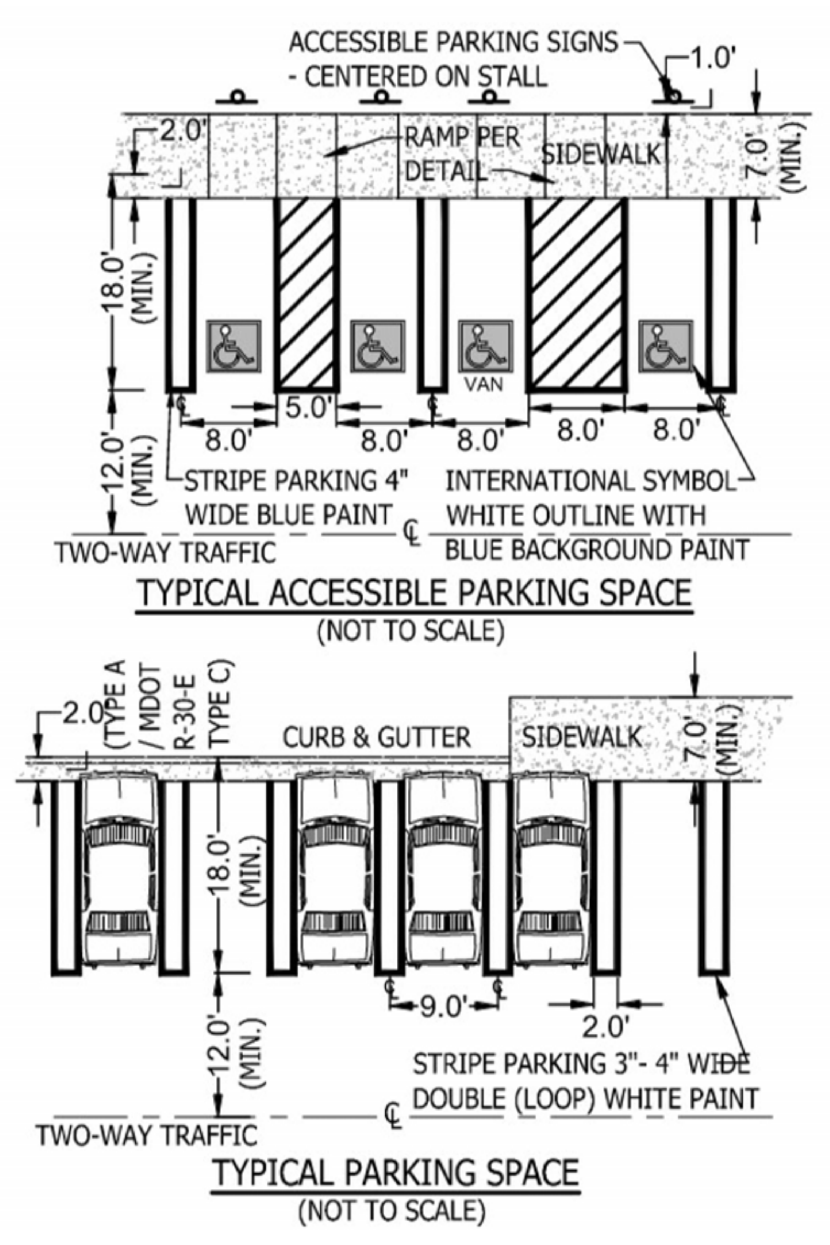


PARKING INFO REV 01-22-24

Parking Standards: ART 14.05 BF: 21 spaces provided requires 1 BF space: 12 ft x space length, ART 14.06.04 angled 30 deg = 9 ft x 21 ft. Drive by aisle one way = 15 ft. ART 14.06.05 Stacking size 9 ft x 20 ft. ART 14.06.07 loop stripe at 3-4" wide and 18-24" apart. Required parking spaces:

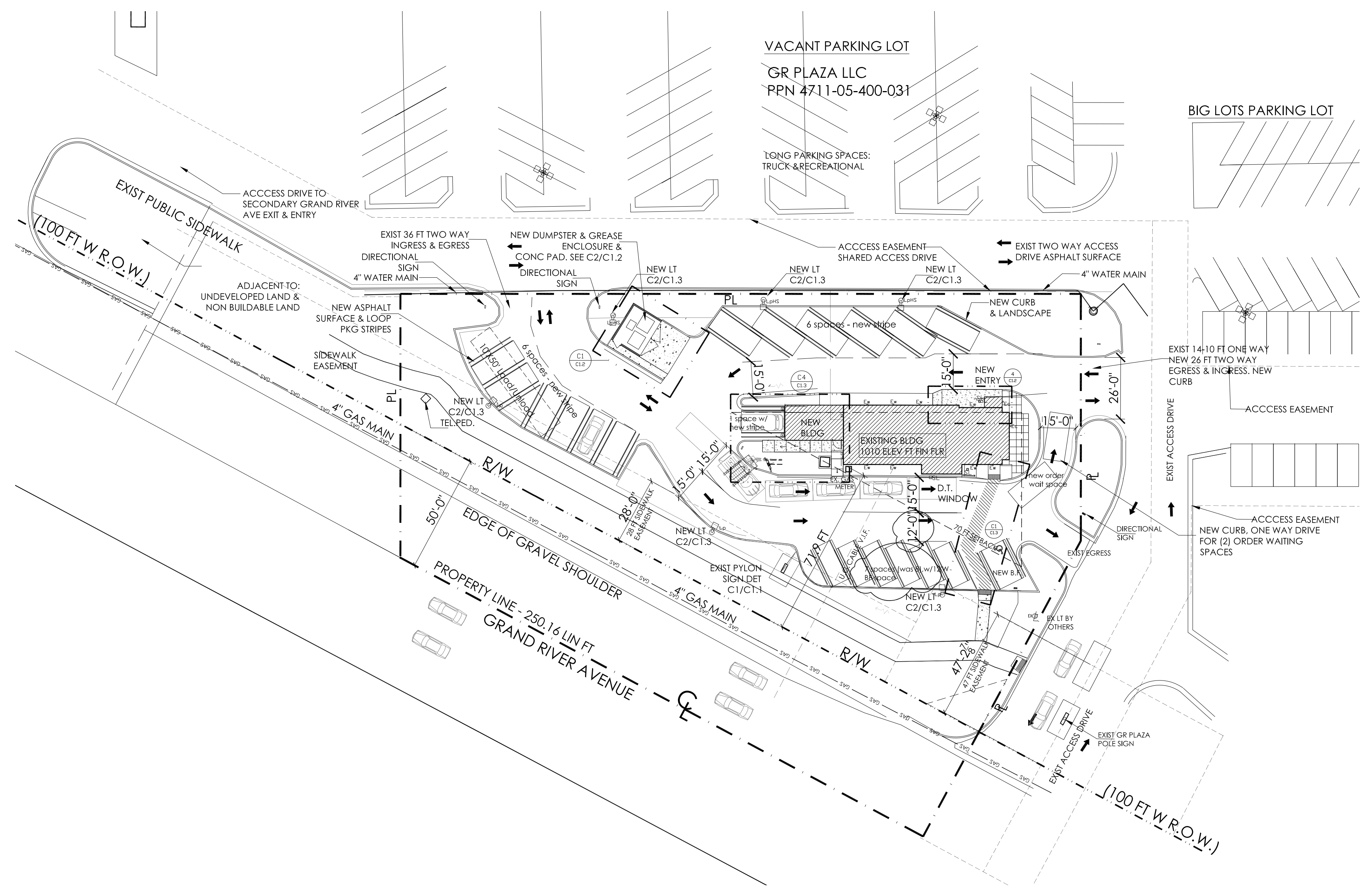
REQUIREMENTS FOR PARKING: GENOA TWP ZONE - RCD/GCD GENERAL COMMERCIAL DISTRICT. ART 14.04	REQD	PROVIDED:	NOT USED
Drive-in Restaurant 1 space for each employee in addition to spaces for customers at service stations, plus any parking required for indoor seating	4-5 spc	Provided 5 sp	NOT USED
Drive-through restaurant 1 space per 70 sq. ft. gross leasable floor area or 0.5 spaces per seat, whichever is greater, plus 3 designated drive-through short term waiting spaces, plus 10 stacking spaces for drive through service, plus at least 2 longer spaces designated for recreational vehicles and semi-trucks	34 seats / 2 = 17 spaces + 2 order waiting spaces.	Provided: 19 pkg sps, 5 Stacking spaces	
Employee can park in lot to the north when a scheduled delivery with truck occurs. Or a dedicated schedule for deliveries can be arranged. Additional 2 longer spaces for truck & recreational spaces provided north side.			

NOTE: SHARED PARKING AGREEMENT NOT AVAILABLE WITH GRAND RIVER PLAZA OWNER. THUS NO SPACE FOR REQD REC VEHICLE & TRUCK PARKING.



PARKING STRIPPING DETAIL

SCALE: N.T.S.

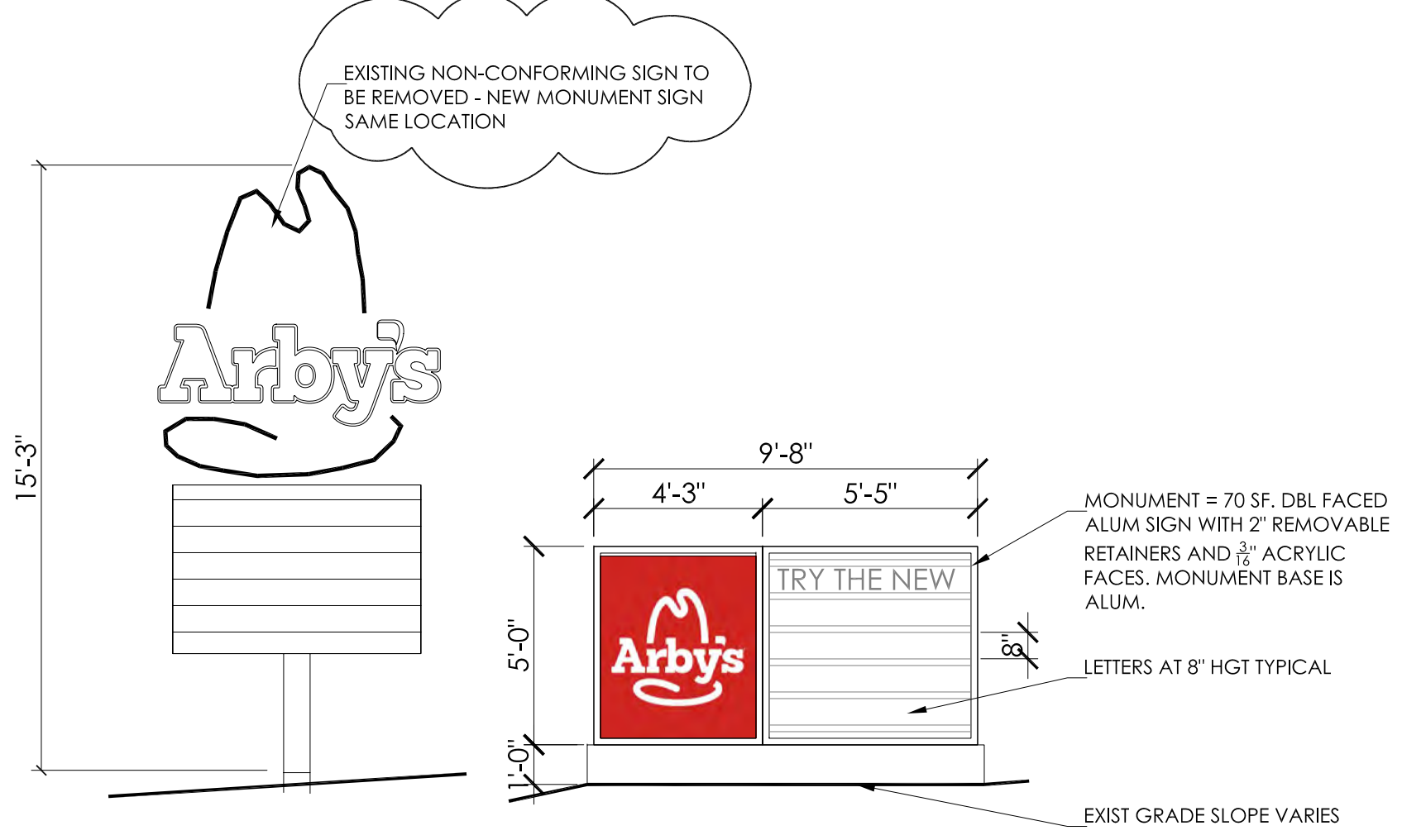


SITE PLAN



EXISTING ROAD SIGN

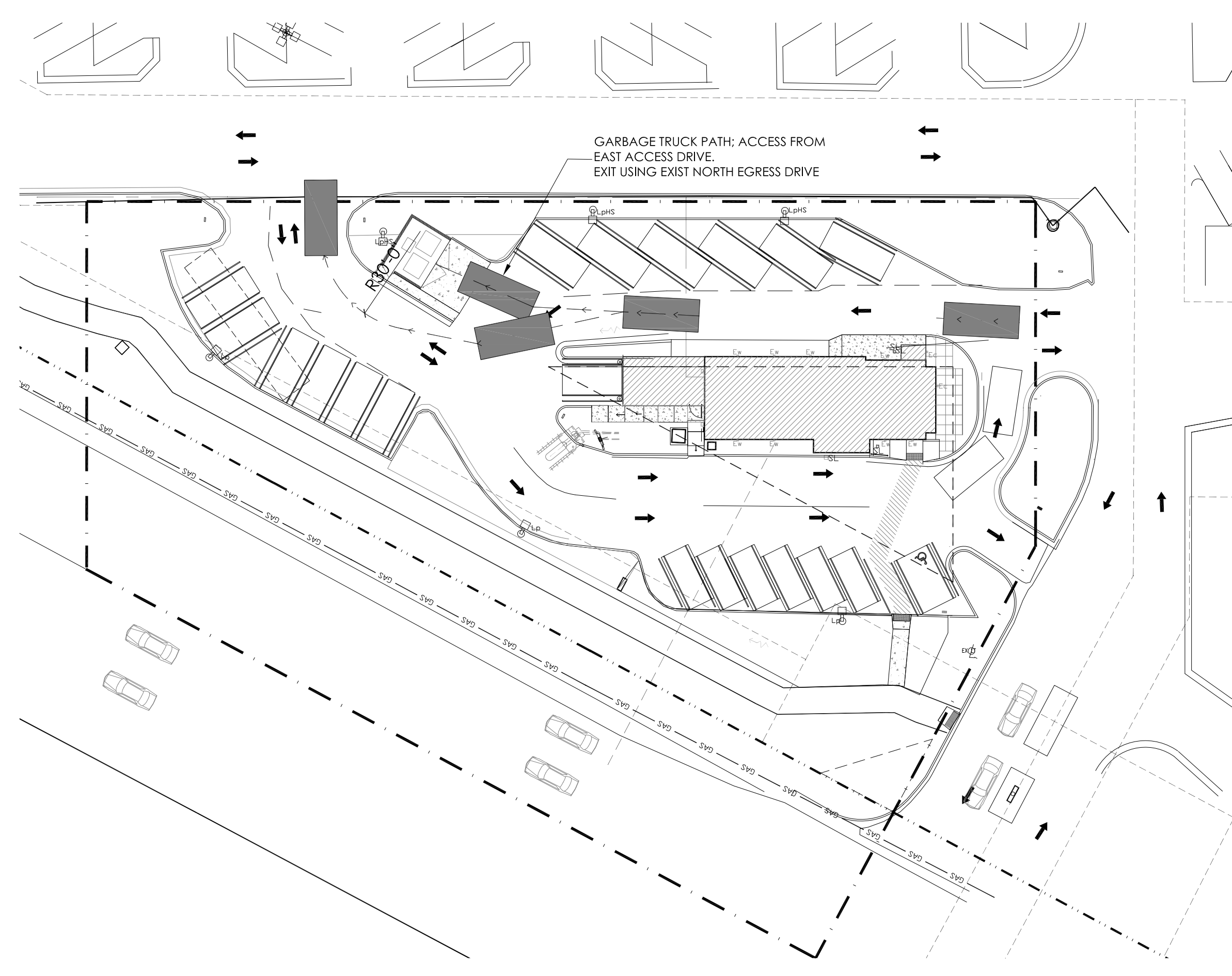
ALONG GRAND RIVER AVE.



SIGN DETAIL

SCALE: 1/4" = 1'-0"

SIGN PERMITTING THROUGH GENOA TWP OFFICE. INTENT IS TO PROVIDE NEW MONUMENT SIGN AT SAME LOCATION. BUILDING SIGN INFO SEE ELEVATION A2.1. EXIST SURVEY & NEW BY DESIGN TEAM SIGN COMPANY LLC.



VEHICLE CIRCULATION PLAN

SCALE: ENGINEERING: 1" = 30'-0"

GARBAGE TRUCK PATH: ACCESS FROM EAST ACCESS DRIVE. EXIT USING EXIST NORTH EGRESS DRIVE

GARBAGE TRUCK (FRONT LOADER) SIZE: 22'-10" L X 9'-10" W, CAP OF 40 YARDS.
REQD MIN 50 FT STRAIGHT ACCESS IN FRONT OF DUMPSTER - PROVIDED.
TURNING RADIUS OF 28 FT FOR inside front tire, 34.5 FT FOR outside front tire. With 4 FT bumper ovhg

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS AND CONDITIONS PRESENT ON AS-BUILT CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-9423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

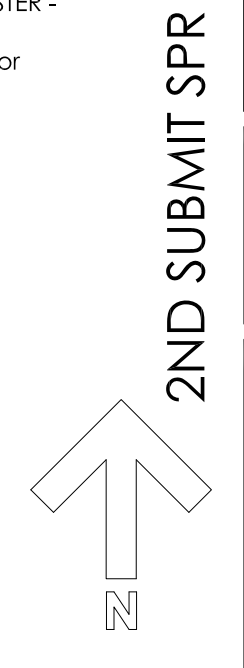
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
13	01-22-24	rev for plan comm SPR
12	12-19-23	2nd submit SPR
11	10-23-23	print for SPR
10	10-11-23	owner review for SPR
9	08-09-23	permit submit Genoa Livingston
8	07-18-23	Arch review
7	08-21-23	exterior lights

REV	DATE	DESCRIPTION
6	06-19-23	cooler signs owner
5	06-17-23	3rd Corp Review
4	11-18-21	Exist conditions Owner
3	10-11-21	Proposed prototype
2	07-15-21	Improved Aerial background
1	07-08-21	Owner request land into expand

DRAWN BY: C. BALL
DATE: 02-16-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.1



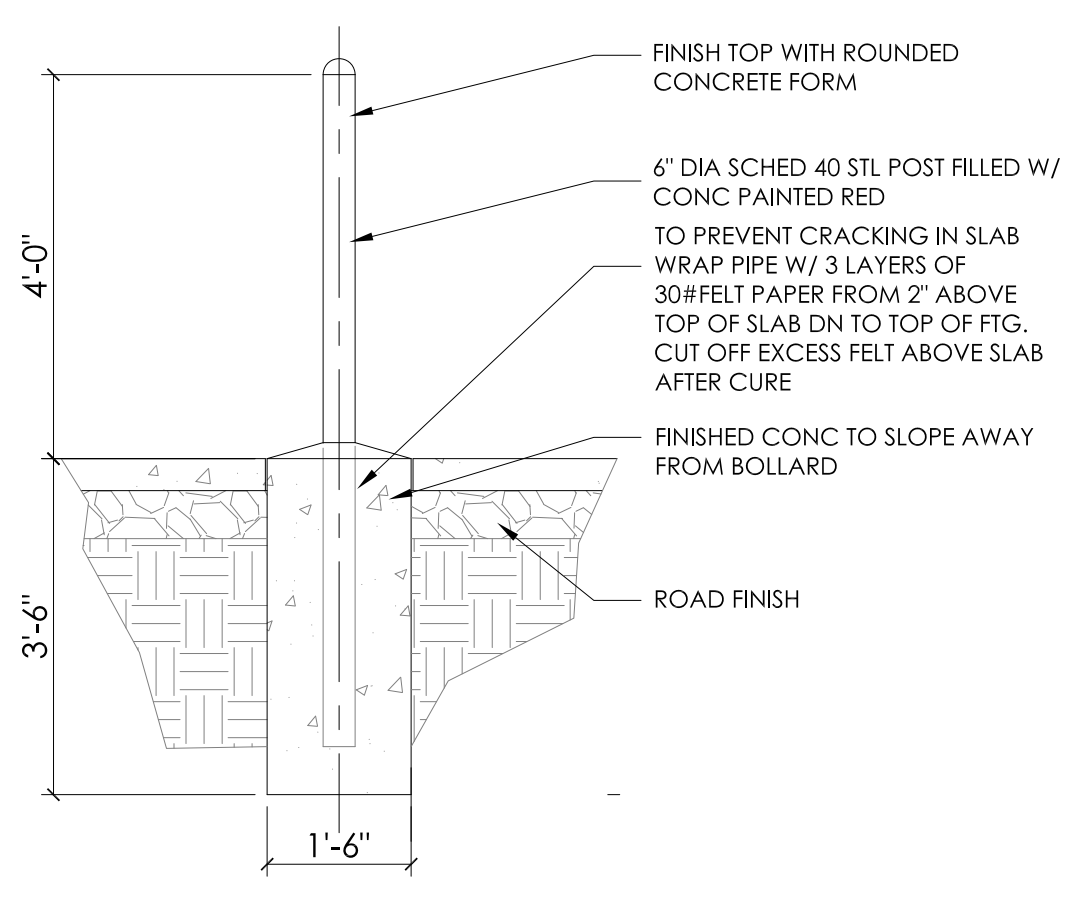
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-9423
CRAWFORDARBY@YAHO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	permit submit Genoa Livingston
5	07-18-23	arch review
4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review

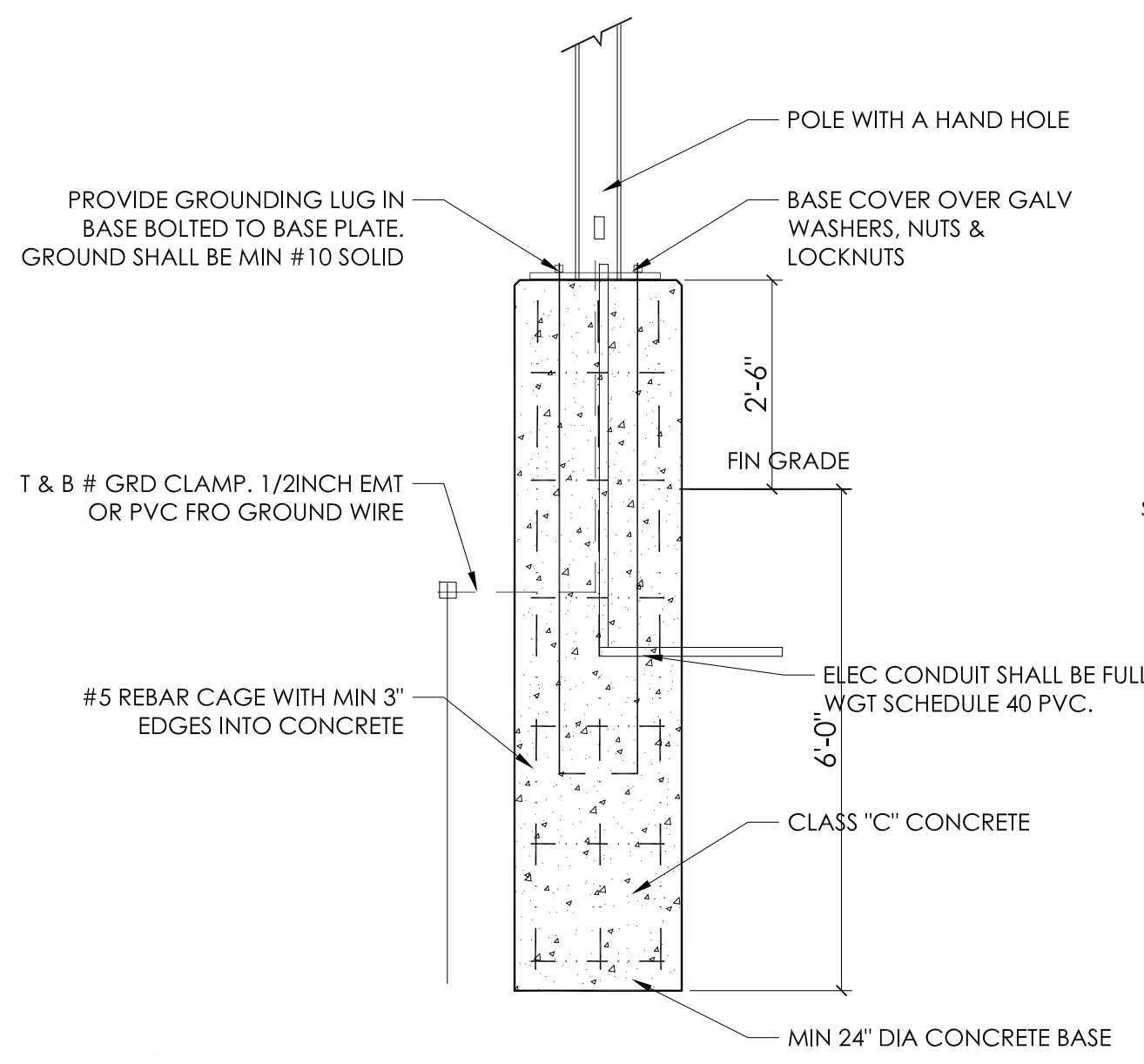
DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.2



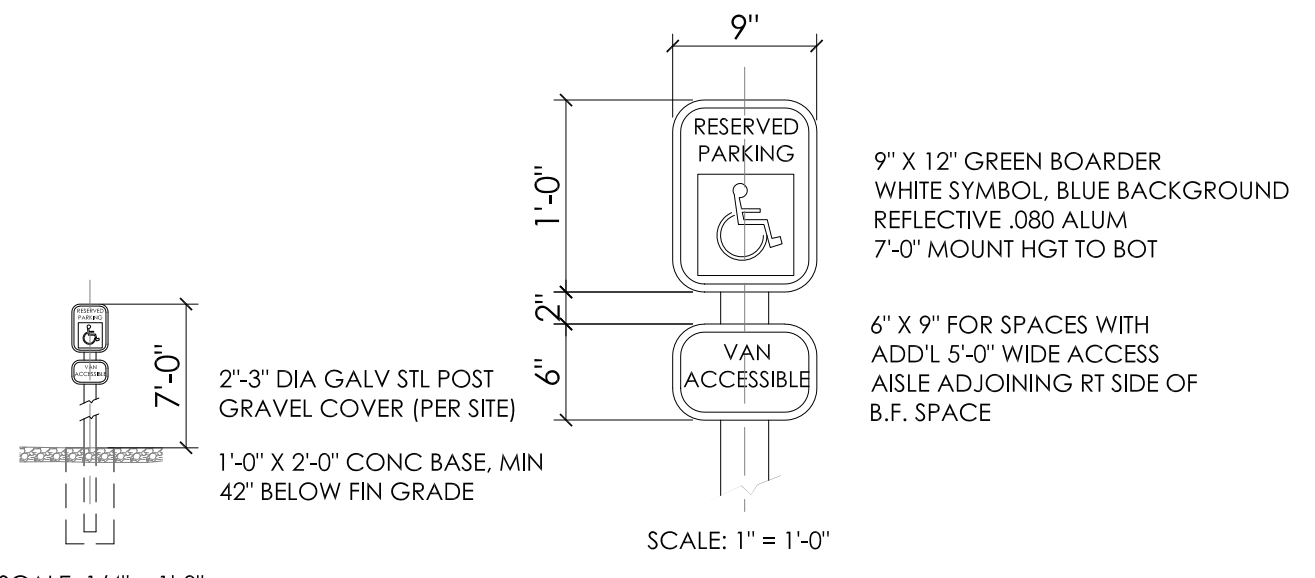
BOLLARD DETAIL

SCALE: 1/2" = 1'-0"
REPLACE EXIST BOLLARDS AS REQD



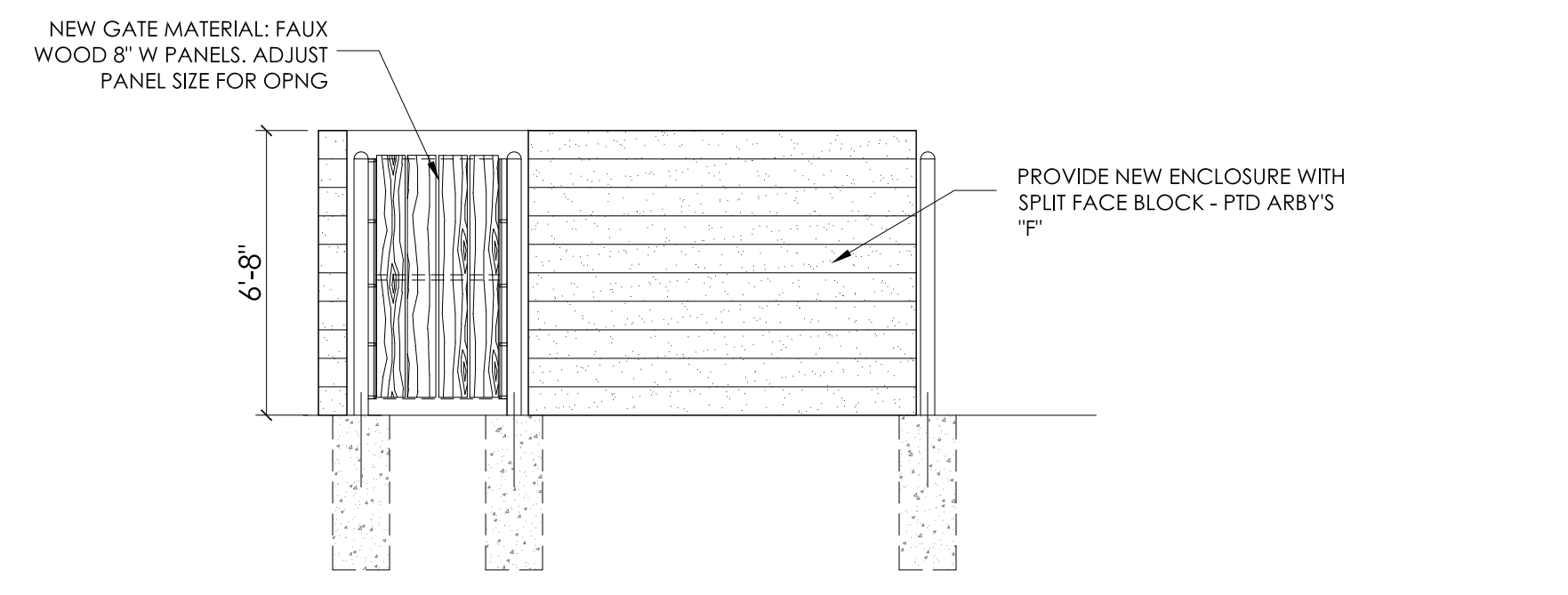
LIGHT POLE DETAIL

SCALE: 1/2" = 1'-0"



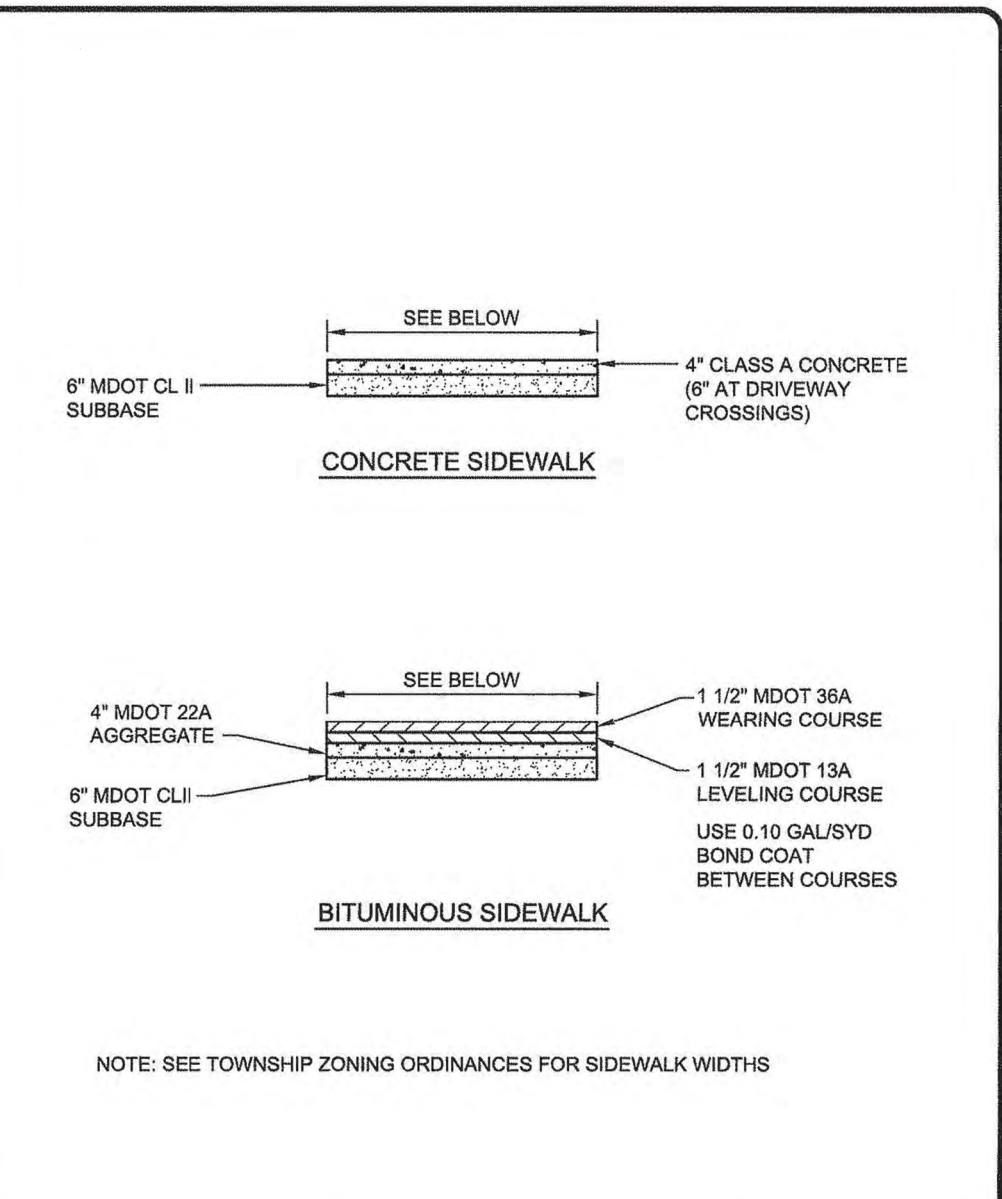
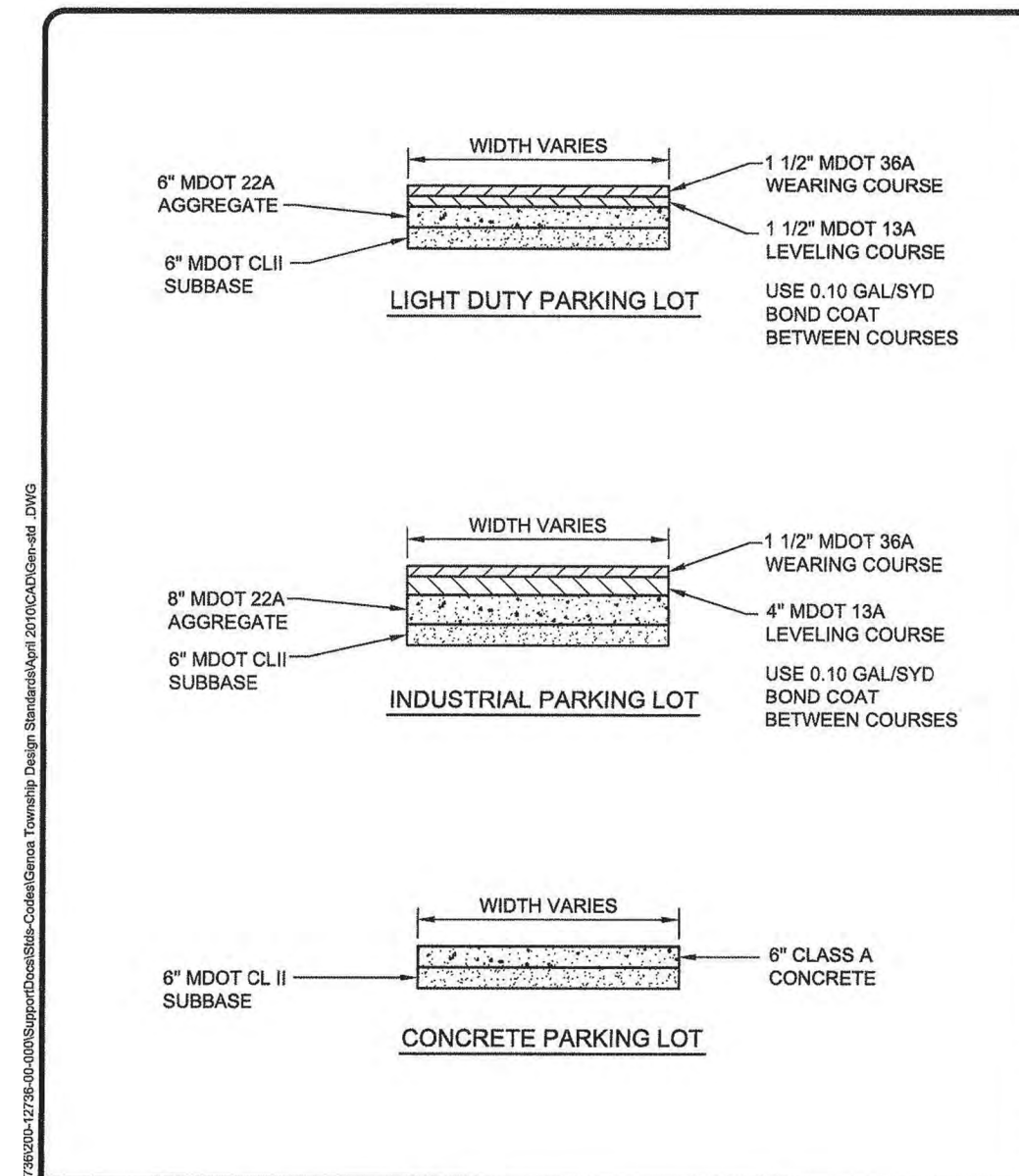
ADA / BF SIGN DETAIL

SCALE: 1/4" = 1'-0"



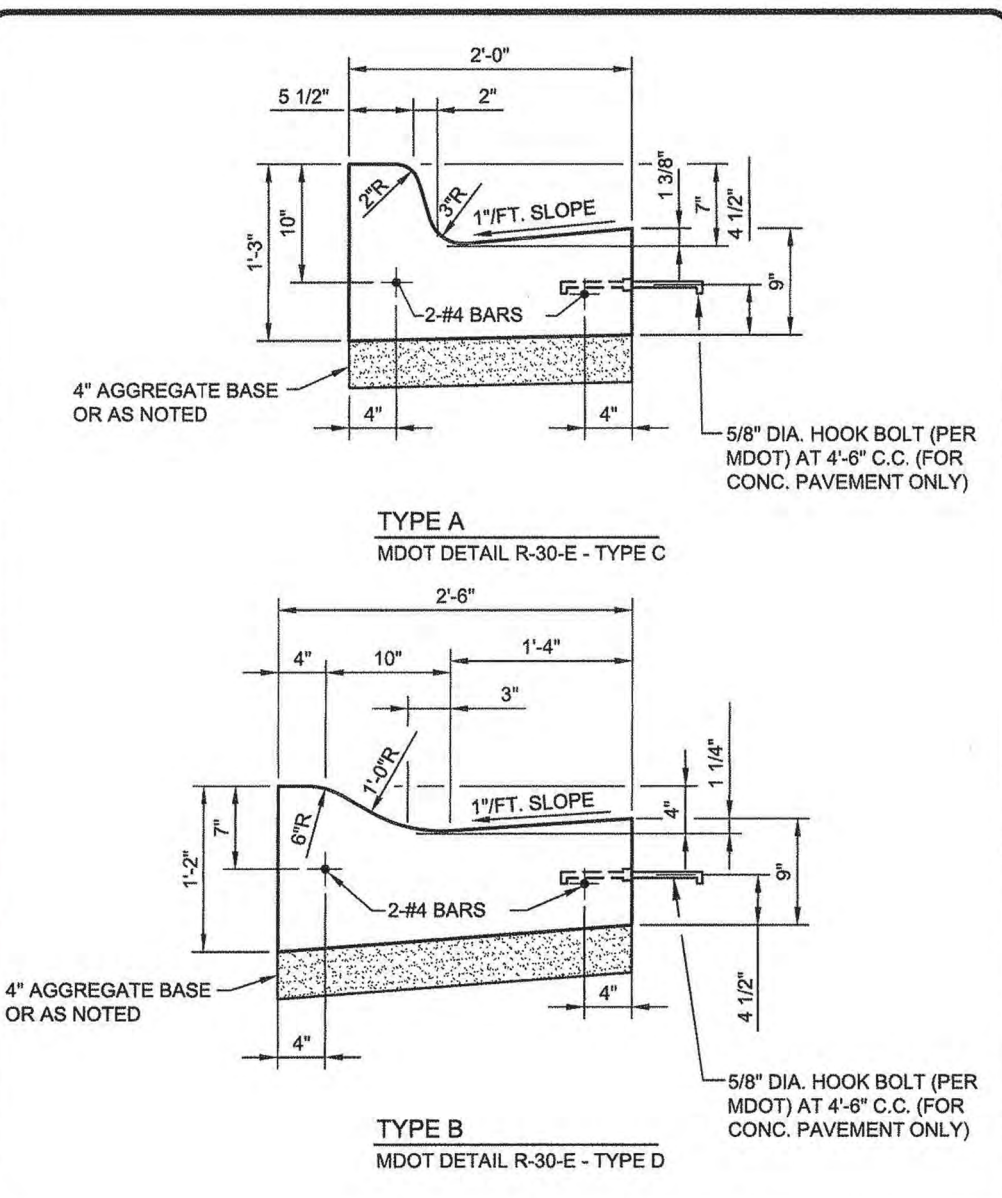
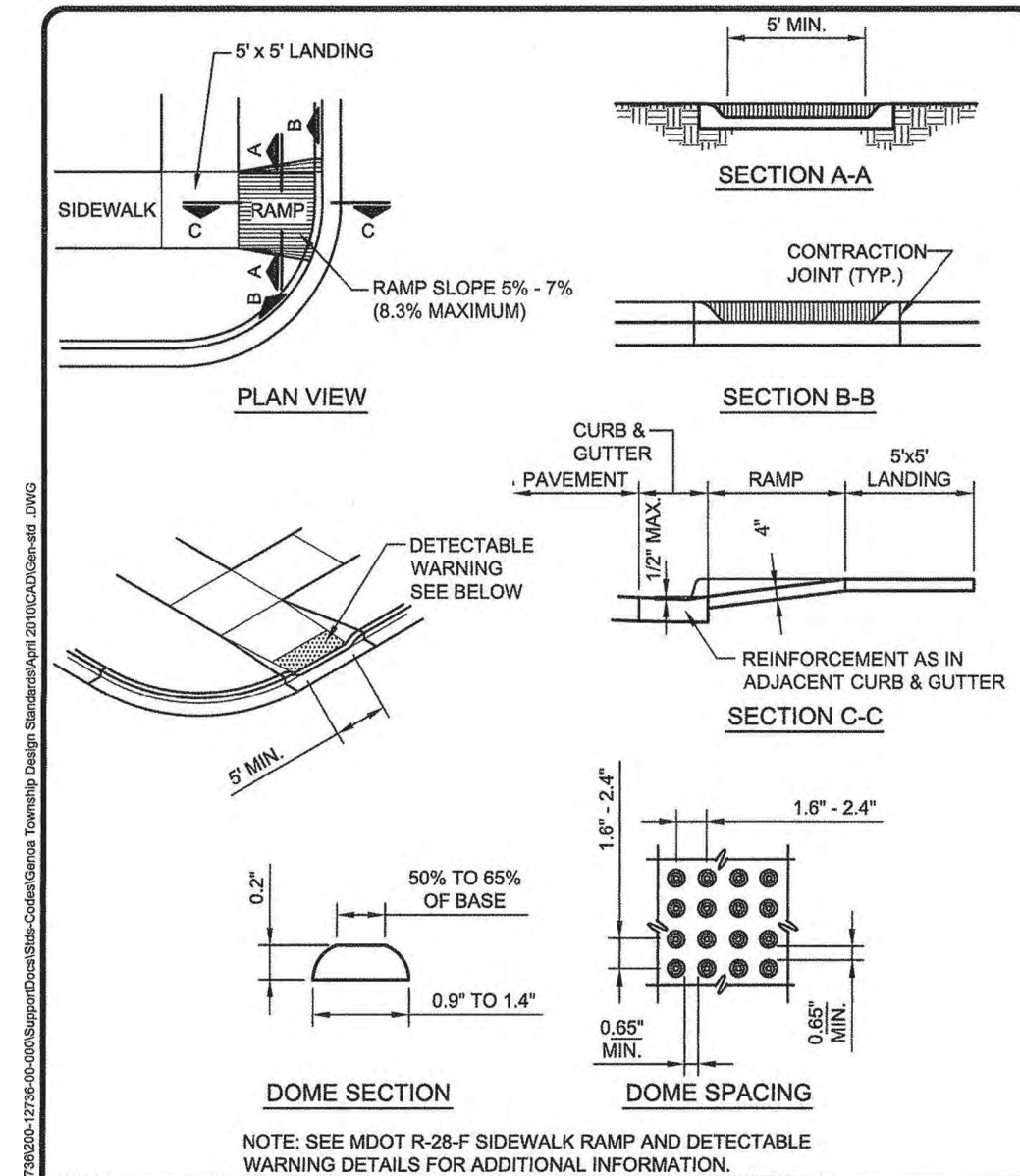
DUMPSTER GATE & DETAILS

SCALE: 1/4" = 1'-0"



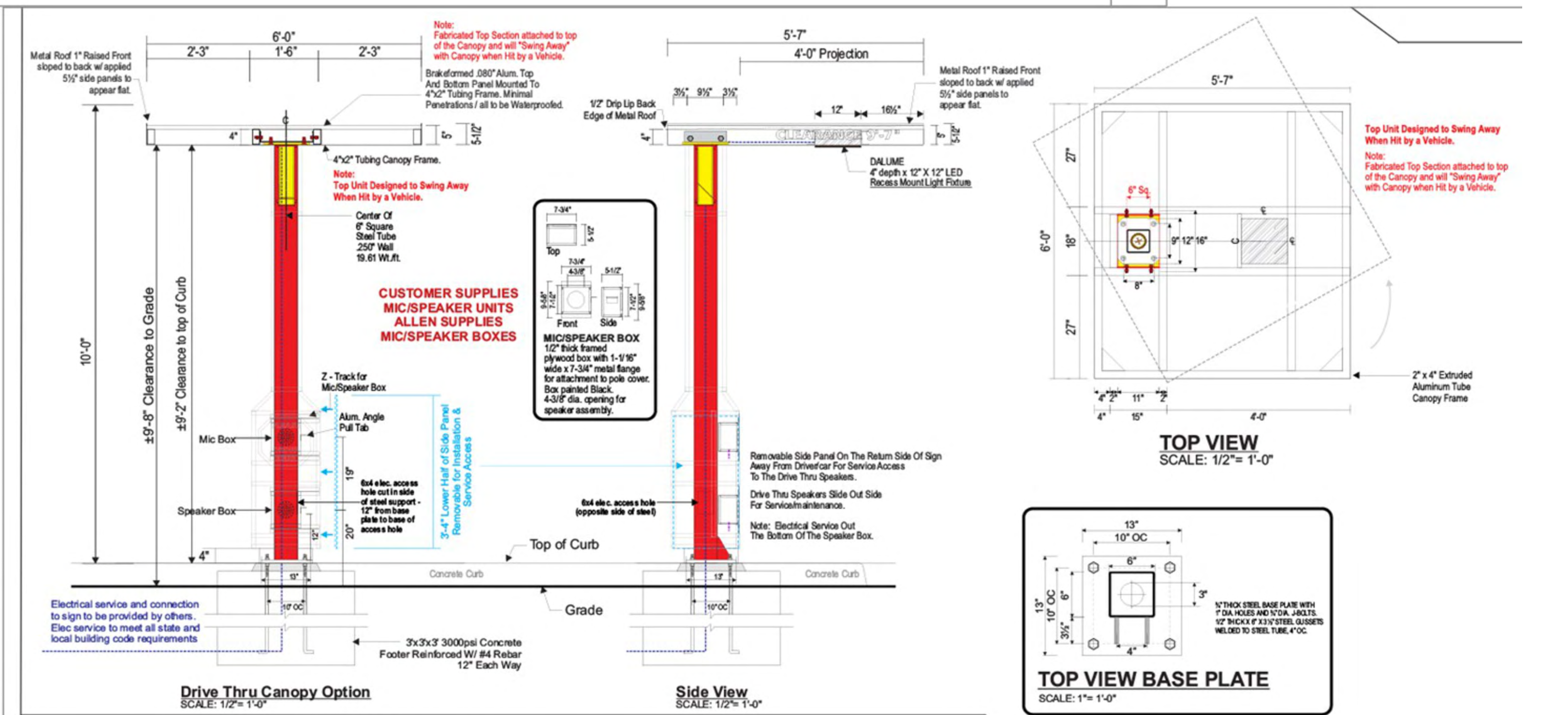
PARKING LOT CROSS SECTIONS

TYPICAL SIDEWALK CROSS SECTIONS



SIDEWALK RAMP

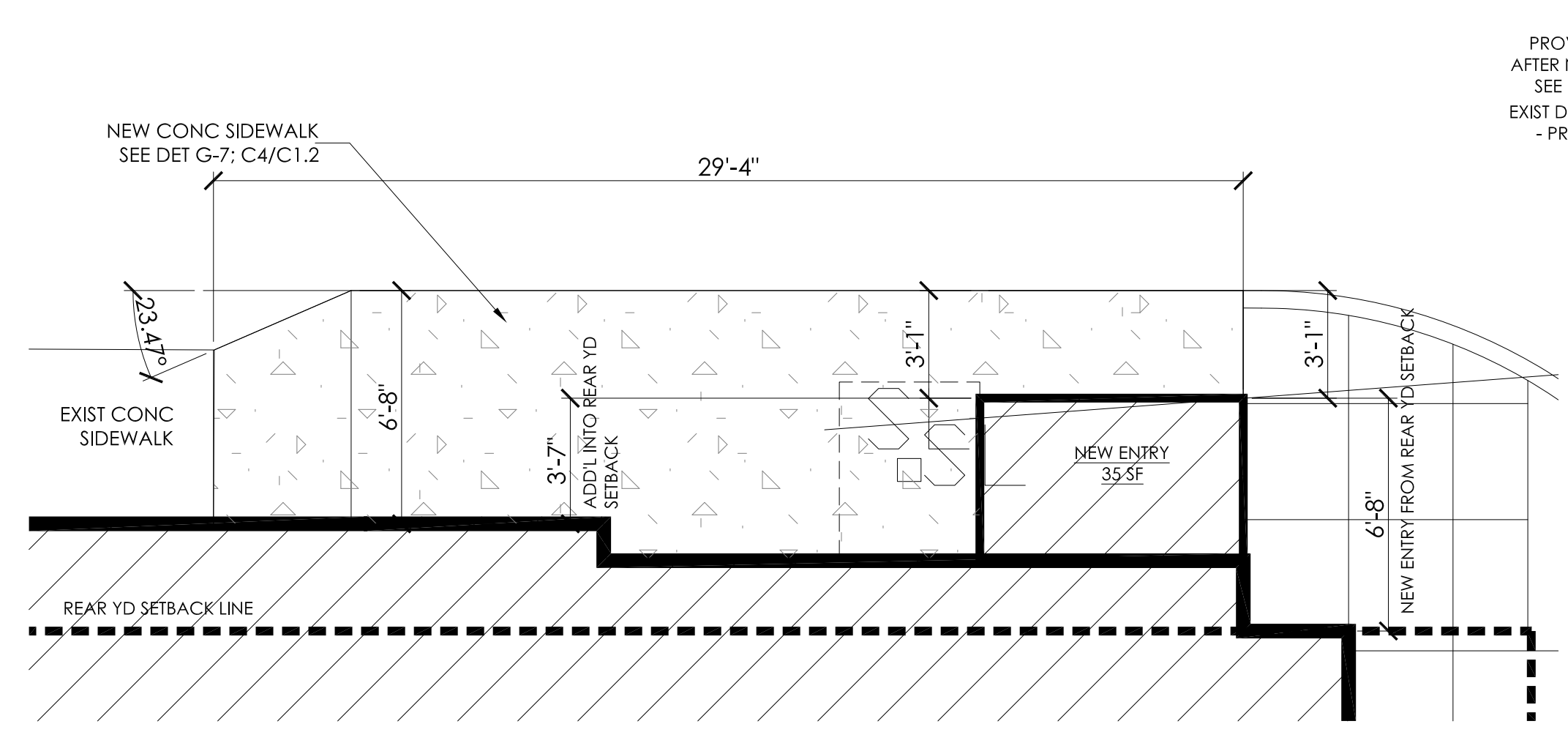
CONCRETE CURB & GUTTER



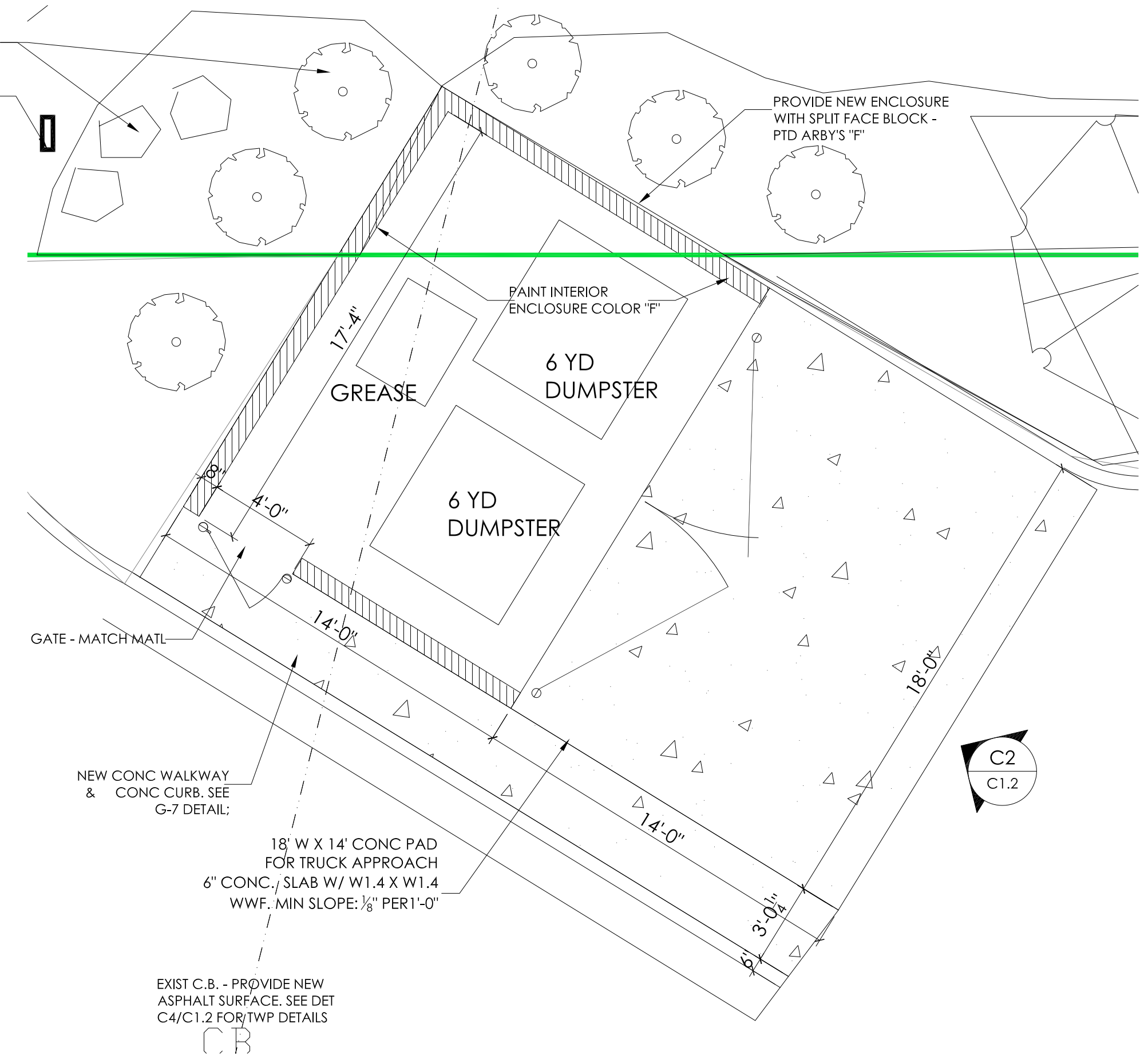
DRIVE THRU CANOPY DETAILS

SCALE: 1/2" = 1'-0"

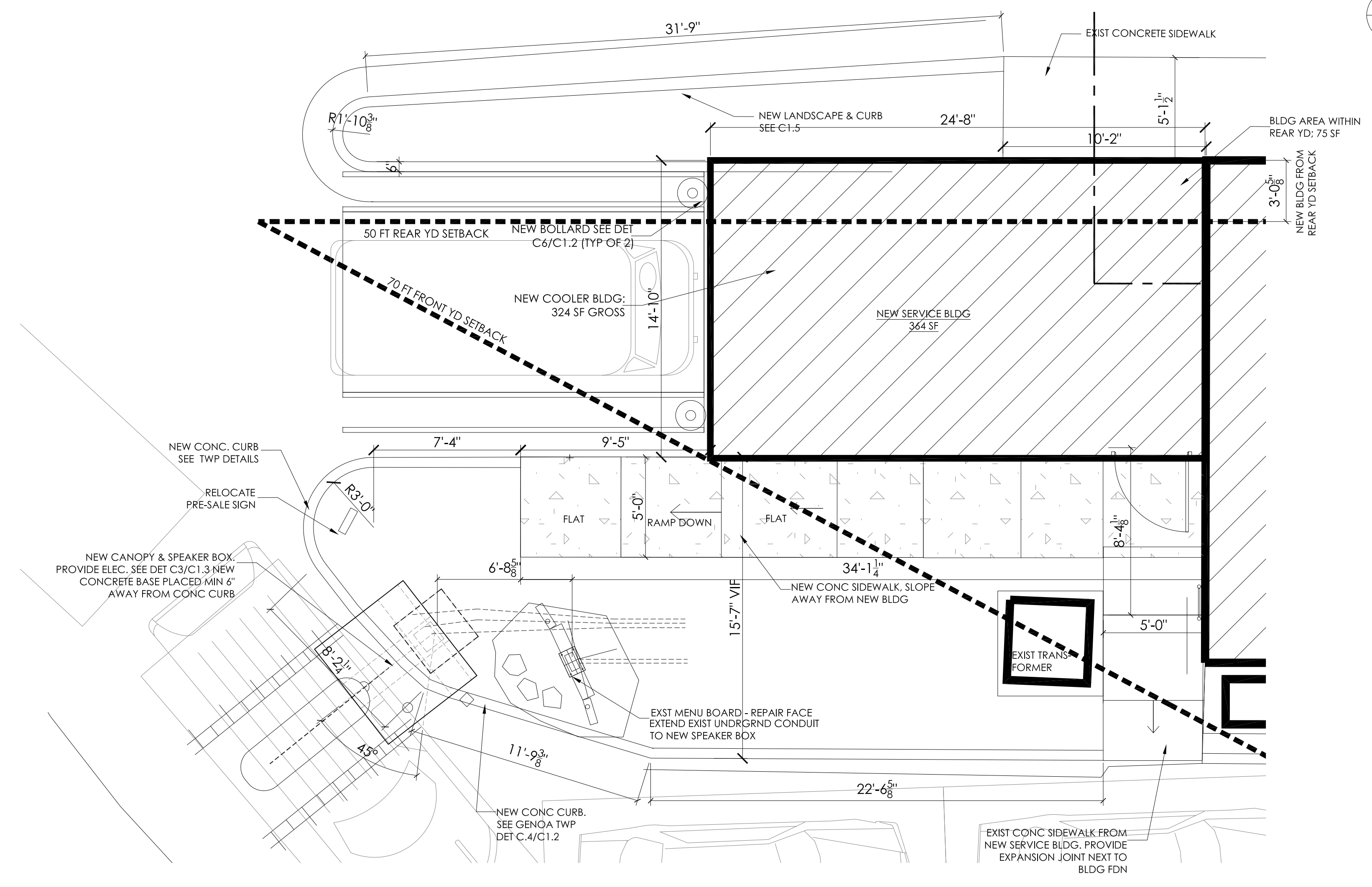
REFERENCE FOR G.C. OWNER SHALL CONTRACT WITH CANOPY SUPPLIER FOR SHOP DRAWINGS & ORDER FOR G.C. TO INSTALL.



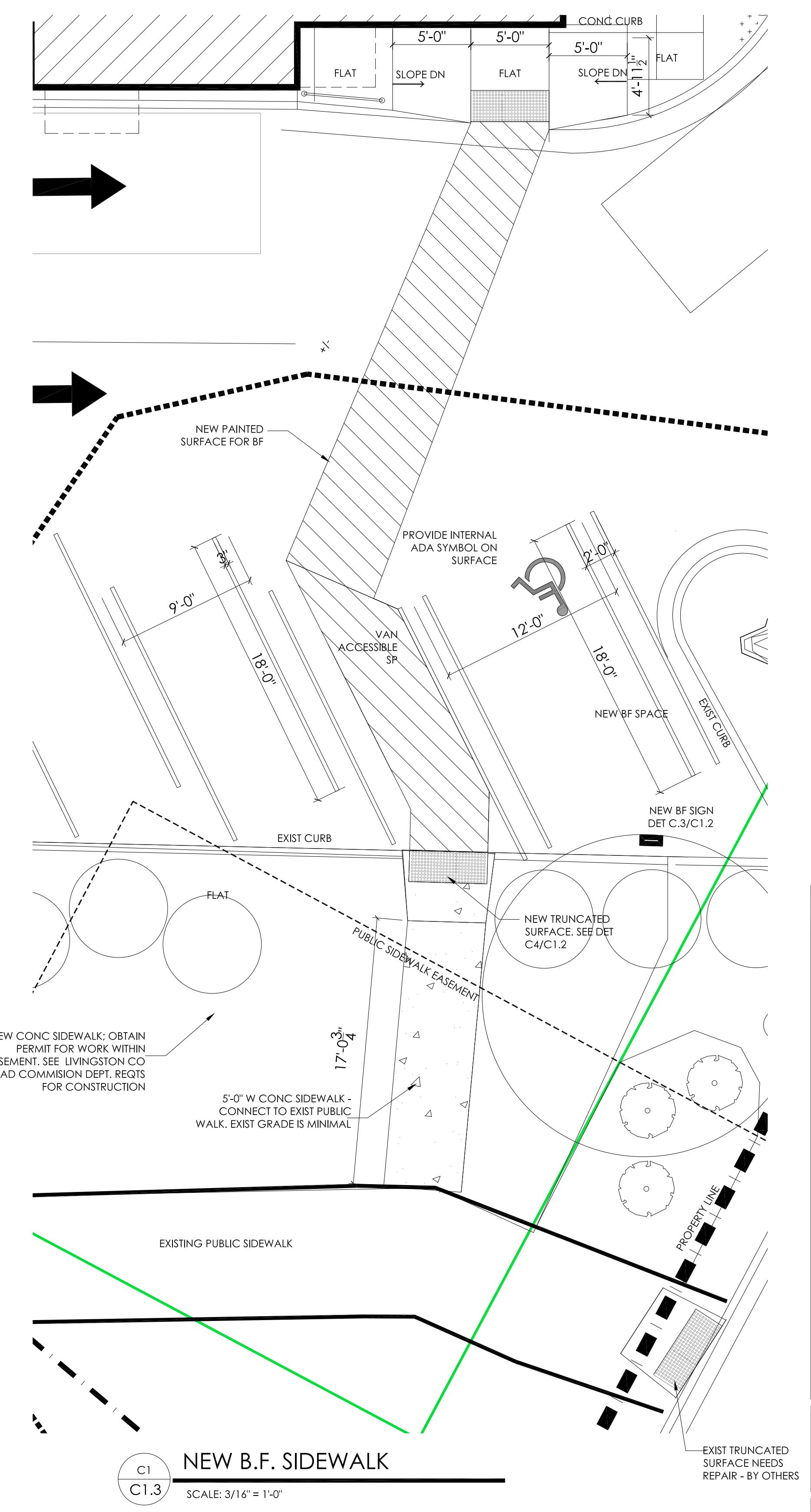
C4
C1.3 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



C1
C1.2 DUMPSTER DETAIL
SCALE: 1/4" = 1'-0"



C4
C1.3 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



C1
C1.3 NEW B.F. SIDEWALK
SCALE: 3/16" = 1'-0"

NOTE TO G.C. - ALL EXISTING SITE SHALL BE FIELD MEASURED PRIOR TO COST TAKEOFF & NEW CONSTRUCTION
SCHEMATIC PROPOSAL FOR A NEW RAMP TO EXISTING PUBLIC SIDEWALK- ALL TOPOGRAPHY SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION
ANSI SECT 405 RAMP DESIGN STANDARDS; new sidewalk required along routes to span changes in level greater than 1/2inch require curb ramp.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
Model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	permit submit Genoa Livingston
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10	12-19-23	2nd submittal
9	12-19-23	2nd submittal SPR
8	10-23-23	permit for SPR
7	10-11-23	owner Review for SPR

DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.3

Project:	ARBYS 6081	Category:	Lighting	Type:	
Prepared by:	VILLA: RONDA	Revised:	Lp / LpHS	Date:	12.12.23



Lumark Prevail LED

Area / Site Luminaire

Product Features

Product Certifications

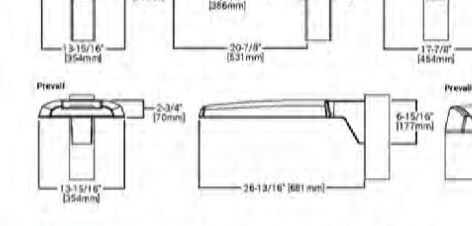
Connected Systems

- Interactive Menu**
- Ordering Information [view 1](#)
 - Mounting Details [view 4](#)
 - Optical Configurations [view 1](#)
 - Product Specifications [view 3](#)
 - Energy and Performance Data [view 4](#)
 - Control Options [view 6](#)

Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 589W)
- Replaces 70W up to 1,000W HID equivalents
- Replaces up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal 6000 options

Dimensional Details



COOPER Lighting Solutions	VILLA: RONDA ARBYS 6081	Ew / Ec
---------------------------	-------------------------	---------

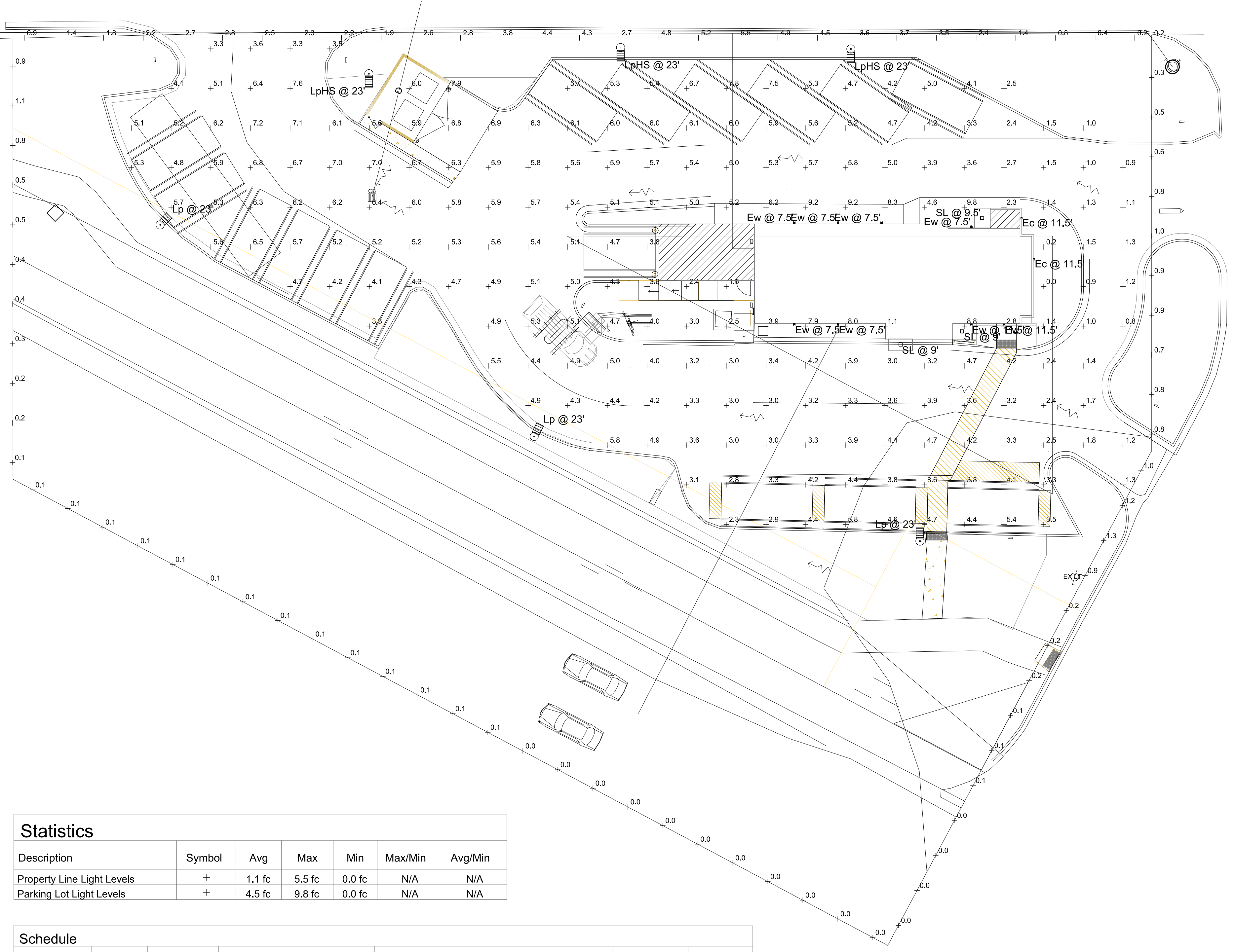
SATCO NUVO	
General	Active
Finish	Black
Wattage	10W
Style	LED
CCT (Klm/h)	3000K
Color Temperature	Warm White
Width (in.)	4.83
Height (in.)	6.77
Depth (in.)	3.43
Indoor or Outdoor Fixture	Indoor
Specifications	
Technology	LED
CRI	90
Lumen Output	900L
Rated Power	8000W
Voltage	200V/277V
Dimmable	Non-Dimmable
Photoelectric Sensor	Not Provided
Weight (lb.)	1.72
LED Driver Installation	LED Down
Fixture Material	Die-Cast Aluminum
Fixture Type	Sconce
Clearing Temperature	-30C (-22F) to 40C (-10F)
Dimension	
Black Plate to Ceiling Width (in.)	4.83
Black Plate to Ceiling Height (in.)	4.83
Description	
Model / Listing	62-1143R1
Location Rating	Wall
UL Application	Class 1
Energy Star	Yes
ES Listing ID	E8202330103
UL Approved	Yes
ADA Compliant	Yes
CA T20 / T24 Notable	T20 Notable - F-Value Not
California Status	Level 1 for sale in California
T10 / T14 Status	Level 1 for sale
California Prop 65	Level 1
RoHS Compliant	Yes
FGC Compliant	Yes
SDS Sheet	LED_F_Lum
Additional Information	
Installation Notes	Mount to Wall and Down
Warranty	5 Year Limited Fixture

C-CP-D-SQ-SCCT Series	C-LITE
-----------------------	--------

THE VERSATILE SQUARE LED CANOPY FIXTURE
 Experience ultimate flexibility and tailored lighting solutions with our remarkable Square LED Canopy Fixture. Designed to meet the diverse needs of various applications, this cutting-edge lighting solution offers a unique feature in some models: selectable CCT and Wattage options. With just a few simple adjustments, you can customize the lighting output to suit your specific requirements. Whether you desire a warm, relaxing ambience or a bright, crisp illumination, our Square LED Canopy Fixture delivers a range of performance and reliability with up to 125,000 lumens. For mounting options, we've got you covered: the option to install this canopy on a surface or with a pendant. A hole mounting is also an option for the 3L, 6L or 9L lumen packages, all included and based on your 5-year limited warranty. Say goodbye to the limitations of most lighting configurations and embrace the freedom to create your desired lighting environment with this state-of-the-art LED canopy.

PRODUCT SPECIFICATIONS		VILLA: RONDA ARBYS 6081	Item # SL
FEATURES	RECOMMENDED USE	INPUT VOLTAGE	
<ul style="list-style-type: none"> Adjustable Lumen Output (up to 125,000 Lumens) CCT 3000K CCT Selectable: 3000K, 4000K or 5000K Warm White: 2700K-6500K (90CRI) Dimmable: 0-10V Dimming (0-10V) Estimated Life: Lifetime @ 35°C > 100,000 hours 	<ul style="list-style-type: none"> Operating Temperature Range: 40°F to 104°F (-40°C to 40°C) Power Factor: 0.95 at full load Total Harmonic Distortion: < 20% at full load Limited Warranty: 5 Year* Replaces up to 250W T8H* 	<ul style="list-style-type: none"> Interior (200V through 277V (Optional)) Security Entrypways Pendant Lighting 	

ORDERING INFORMATION		EXAMPLE: 300-C-CP-D-SQ-SCCT-60
6-CP	300	60
Product	Series	Wattage
6-CP	300	60
Product	Series	Wattage
6-CP	300	60
Product	Series	Wattage



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	1.1 fc	5.5 fc	0.0 fc	N/A	N/A
Parking Lot Light Levels	+	4.5 fc	9.8 fc	0.0 fc	N/A	N/A

Symbol	Label	Quantity	Catalog Number	Description	Lamp	Wattage
[Symbol]	Lp	3	PRV-XL-C75-D-UNV-T4-BZ	Single Head Cooper Lighting Solutions Lumark Prevail XL Series LED Area Unit w/Type T4 Distribution (20ft. Pole Height w/3ft. Concrete Base)	LED/4000K	176
[Symbol]	LpHS	3	PRV-XL-C75-D-UNV-T4-BZ-HSS	Single Head Cooper Lighting Solutions Lumark Prevail XL Series LED Area Unit w/Type T4 Distribution (20ft. Pole Height w/3ft. Concrete Base) House Side Shielding	LED/4000K	176
[Symbol]	Ew	8	XTOR1B-W	Cooper Lighting Solutions Lumark Crosstour Series Wall Mounted LED Sconce Unit	LED/4000K	12.2
[Symbol]	Ec	2	62/1143R1	Satco Nuvo 62/1143R1 Series Wall Mounted 2-Light LED Up/Down Wall Cylinder LED Sconce Unit	LED/3000K	20.0385
[Symbol]	SL	3	C-CP-D-SQ-S3L-SCCT-WH	Cree Lighting Inc. C-Lite Series LED Canopy Light, 3L Selectable Lumen Package, Selectable CCT (27W_40K)	LED/5000K	14

PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"
 UPDATED: 12-12-23
 PREPARED BY: Ronda Schrage Villa Lighting 314-633-0536
 ronda.schrage@villalighting.com. Product specs or Equal.

PHOTOMETRICS
 MANUF LIGHT INFO
 CODE NOTES

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
 Arby's Store #6081 Exist 1992
 Model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-760-3423
 CRAWFORD@ARBYS.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
7	08-09-23	Permit submit Genoa Livngston
2	10-04-23	review for SPR
3	10-23-23	print for SPR
4	12-13-23	2nd Submit SPR

DRAWN BY: C. BALL
 DATE: 08-07-23
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
C
1.4

LANDSCAPE REQUIREMENTS & PROPOSAL

GENOA TOWNSHIP ORD SECTION 7.03 GCD ZONING; Max Lot Coverage required: Bldg 35% coverage and Impervious surface 75% coverage. Overall property: 48523 SF. Overall within ROW: 35,373 SF. 35% of 35,373 SF = 12,381 SF. 75% of 35,373 = 26,530 SF

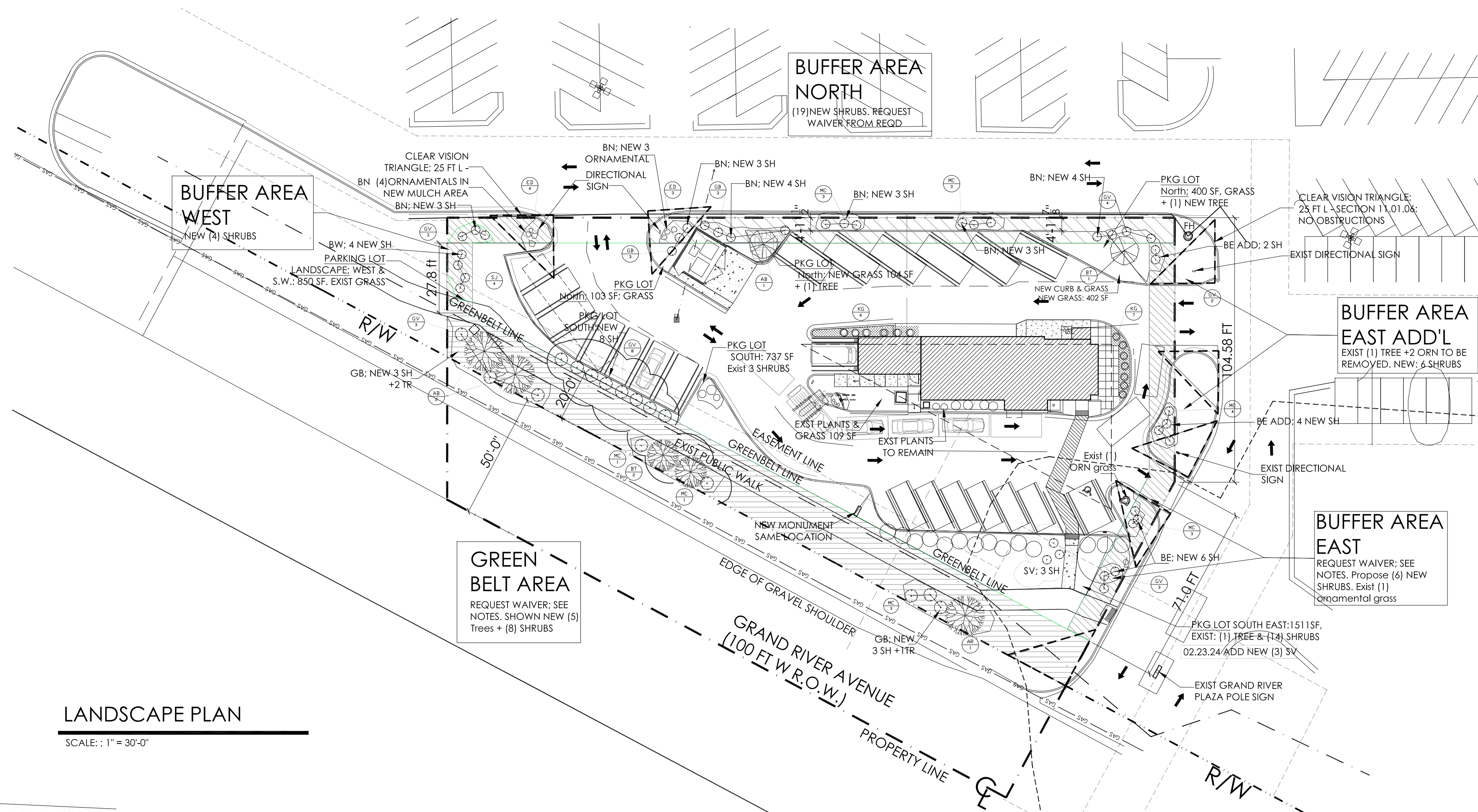
Bldg: 1,769 SF. + 359 SF Bldg = 2128 SF Total Impervious; (Bldg +pavement+sidewalk) = 24,256 SF < 26,530 allowable. ** Added 700 SF new grass area

CLEAR VISION TRIANGLE: 25 FT L - SECTION 11.01.06: no obstructions at intersections. used to place new landscape.

No fence, wall, or structure shall be erected, established, or maintained on any lot which will obstruct the view of drivers in vehicles approaching the intersection adjacent to a corner lot or a driveway on any lot. Fences, walls, or structures located in the triangular area described below shall not be permitted to exceed a height of thirty six (36) inches above the lowest point of the intersecting road(s).

SECTION 12 - LANDSCAPE:

QTY'S	
5T 8 SH	1) GREENBELT: 20 FT W. Requires (1) Canopy tree per 40 Lin Ft of frontage. Thus, 276.5 Lin Ft / 40 = 6.9 = 7 Trees. Substitution of evergreen allowed for 50% of req'd. Rest of are to be plant materials. REQUEST WAIVER: Small area because of existing public sidewalk. Propose NEW (5) Trees + (8) Shrubs with natural grouping.
OT 6 SH	2) BUFFER AREA TYPE C: Zone GCD/RCD abuts commercial requires: (1) Canopy tree or (4) shrubs per 20 Lin Ft along Property Line. Min width of 10 Ft. Thus:
OT 6 SH	EAST along Service drive - 51 Lin Ft: 51 / 20 = 3: 3 x 4 = 12 shrubs OR 1 T + 8 SH OR 2T + 4 SH. REQUEST WAIVER: With clear vision area - not enough space for requirement. Propose (6) new shrubs with (1) exist ornamental grass
OT 6 SH	EAST add'l: 104.5 Lin Ft: 104.5/20 = 5.2 = 5 shrubs OR 2T + 12 Shrubs OR 3T + 8 Shrubs. REQUEST WAIVER: With two clear vision triangle + two drives creates limited property for new. Propose (6) Shrubs
OT 17 SH, 7 ORN	NORTH along service drive - 287 Lin Ft: 287 / 20 = 14.35 = 14 shrubs OR 4T + 40 SH OR 6T + 32 SH. REQUEST WAIVER: from required Buffer. Min width of 10 FT NOT AVAILABLE. Existing avg 6'-0" +/- thus new trees would not survive. Proposal to provide (17) shrubs + (7) Ornamental
OT 4 SH	WEST along vacant land zoned commercial - 27.8 Lin Ft: 27.8/20 = 1.39 = 1 x 4 = Propose (4) new shrubs
2T 2 SH	3) PARKING LOT LANDSCAPE: SECTION 12.02.04 - MIN Trees in the parking area. Space count of 10-100 requires (1) canopy tree and 100 SF of landscape area PER 10 spaces. New parking space count = 16. Required: new area of (2) Trees AND 200 SF landscape area. PROVIDED:
3 ORN 8 SH	North: Provided (2) new Trees + (2) shrub + (6) G next to new bldg) with exist 437 SF grass area. Total G = 504 (77 SF new G)
OT 3 SH	West: exist 850 SF grass area
OT 3 SH	South East: exist (1) tree + (14) shrubs + 1511 SF grass area
OT 3 SH	East @ parking space wait (7) G + 115 SF new grass. 02.23.24 Added(3) SV SH
TOTALS NEW & EXIST	(T = TREE, SH = SHRUB, ORN = ORNAMENTAL, G = GRASS)
7T 54 SH 10 ORN	



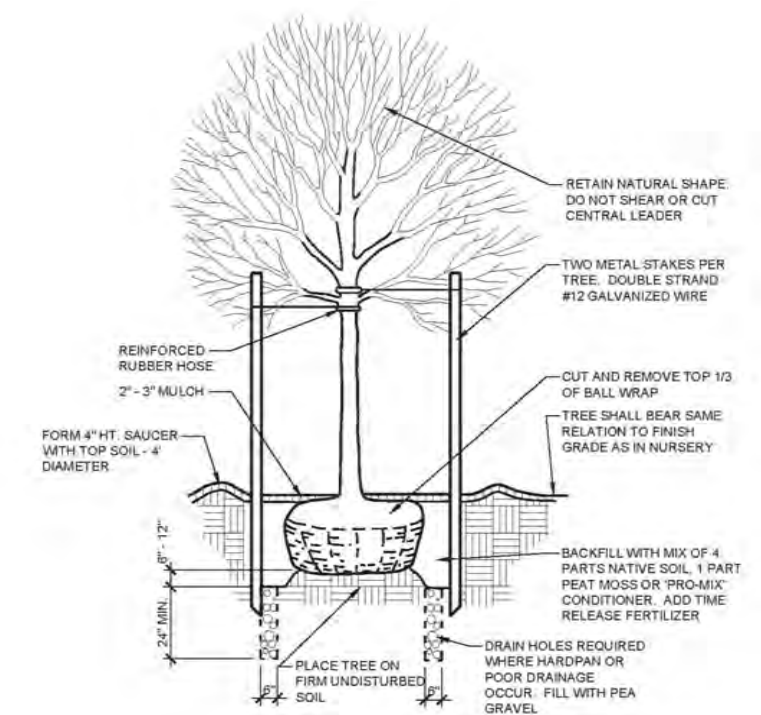
LANDSCAPE PLAN
SCALE: 1" = 30'-0"

PLANT SCHEDULE

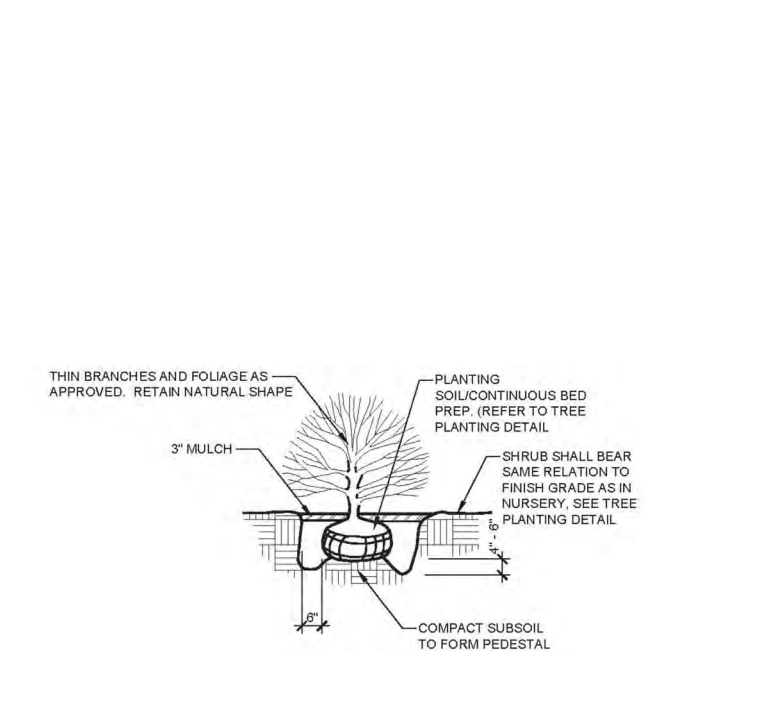
KEY	QTY	PLANT NAME	SIZE
TREES			
AR	1	ARMSTRONG RED SUNSET MAPLE-ACER RUBURM	2 1/2CAL B&B
AB	3	AUTUMN BLAZE MAPLE-ACER x freemanjii Jefeersred	2 1/2CAL B&B
BT	3	BLACK TUPELO - Nyssa Sylvatica	2 1/2CAL B&B
SHRUBS			
SV	3	Snowflake Viburnum	18-24" SIZE
MC	18	MAJIC CARPET SPIREA-Walburna	18-24" SIZE
GV	23	GREEN VELVET BOXWOOD-Buxus x 'green velvet'	18-24" SIZE
SJ	4	SKYROCKET JUNIPERS-Juniperus scopulorum, columnar	24-36" w 15-20'tall
GB	6	GREEN MTN BOXWOOD Buxus x 'Green Mountain'	24-36" w 4-5'tall
GRASSES			
KG	13	KARL FOERSTER GRASS(3-4HGT) Calamagostis acutiflora	36" spread, 48-72 hgt
ORNAMENTAL			
ED	7	EVERY DAYLILY-PINK WING - Hemerocallis	36" spread, 48-72 hgt

SECTION 12.02.09 Species mix proposed = total 69 new x .33 = 23

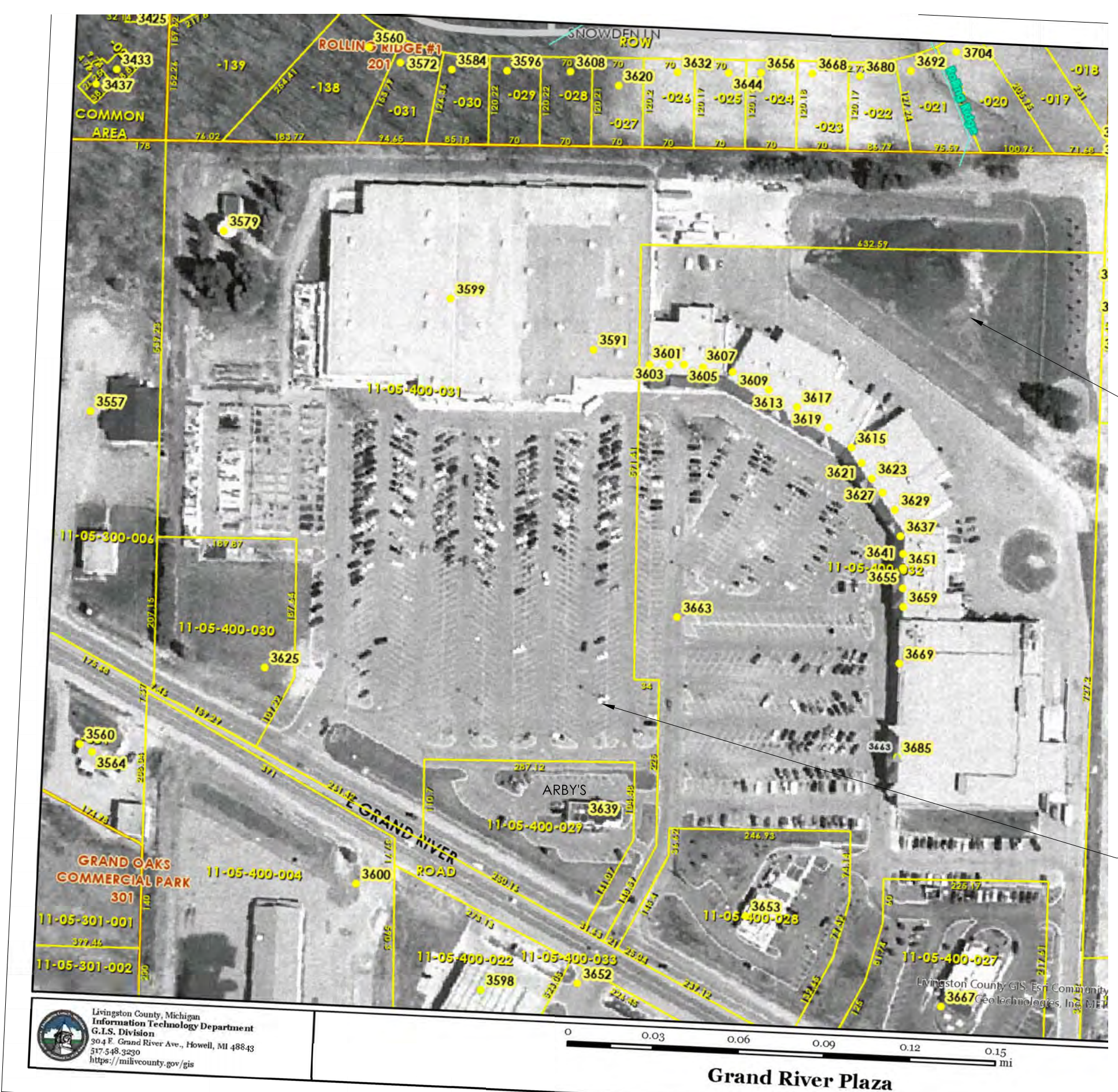
NEW: 7T 54 SH 7 ORN



TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"



TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"



AERIAL MAP 2020
SCALE: ENG 1:200

GENOA TOWNSHIP ORD SECTION 7.03 GCD ZONING - DRAINAGE & TOPOGRAPHY

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURED FIELD CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

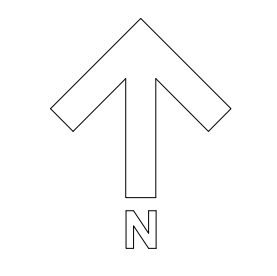
Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-760-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	02-23-24	divgs for Genoa tw mfg
5	01-22-24	rev for plan comm SPR
4	12-13-23	2nd submitt SPR
3	10-25-23	print for SPR
2	10-20-23	SPR submit - clarify landscape
1	10-11-23	owner review for SPR

DRAWN BY: C. BALL
DATE: 09-21-23
JOB NUMBER:
APPROVED BY:

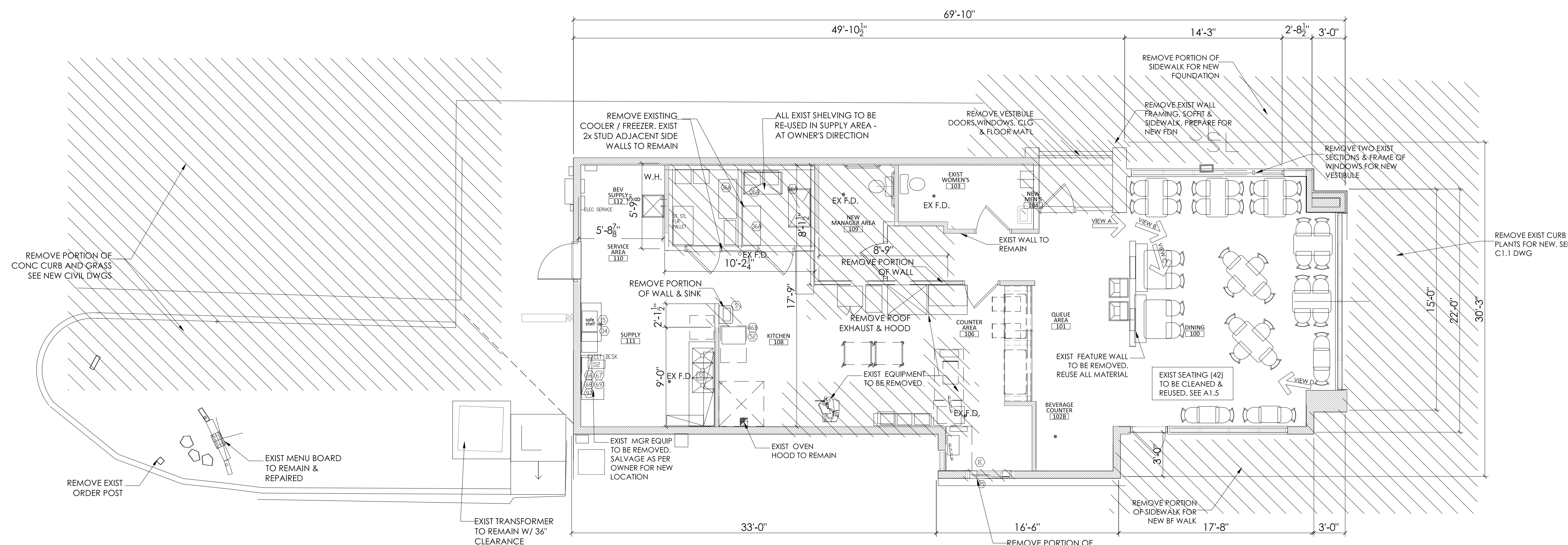
SHEET NUMBER:
C 1.5





CALL BEFORE YOU DIG!
1-800-482-7171

DEMOLITION PLAN
DETAILS



DEMOLITION FLOOR PLAN

SCALE: 3/16"=1'-0"

NOTES:

- 1) DIMENSIONS SHOWN ARE TO EXIST WALL FINISH: DRYWALL, CERAMIC TILE, FRP
- 2) DEMOLITION AREAS NOTED WITH HATCH
- 3) BUILDING AREA 1750 SF GROSS - TO REMAIN - NO NEW ADDITION

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) REMOVE KITCHEN EQUIPMENT: FOR COMPLETE LIST SEE EQ1.1
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES. FOR DEMOLITION OF CIVIL SEE C1.1 DRAWING
- 4) PROVIDE UPDATES TO BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C1.1 & C1.2 CIVIL DWGS FOR DETAILS

GENERAL DEMOLITION NOTES:

- A. FIELD VERIFY ALL NEW WORK WITH OWNER PRIOR TO DEMOLITION
- B. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION.
- D. SEE STRUCTURAL DRAWINGS FOR ALL WORK RELATED TO BOTH THE NEW AND EXISTING STRUCTURE. GENERAL CONTRACTOR IS TO NOTIFY THE STRUCTURAL ENGINEER OF ALL UNKNOWN CONDITIONS.
- E. ALL SUB-CONTRACTORS ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND REPORT IN WRITING ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- F. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
- G. NOTIFY OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FREON, ETC.) REQUIRED TO BE REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION.
- H. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT, AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE THE REMOVAL AND/OR STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
- I. DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR, EXHAUST, AND FUMES THAT ARE CREATED AS A RESULT OF DEMOLITION.
- J. LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL AND ELECTRICAL SHEETS.
- K. MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES IS REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- L. PROVIDE TEMPORARY LIGHTING THROUGHOUT THE FLOOR AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION/CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- M. GENERAL CONTRACTOR TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.

- N. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
- O. REMOVE ABANDONED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.
- P. REMOVE AND DISCONNECT ALL EQUIPMENT SYSTEM COMPONENTS AS REQUIRED.
- Q. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITHIN AREAS OF EXISTING BUILDING AND ADJACENT TENANT OPERATIONS.
- R. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADWAYS, SIDEWALKS, AND SITE OPERATIONS.
- S. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY BARRICADES AND/OR OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AS REQUIRED BY LOCAL GOVERNING AUTHORITY.
- T. GENERAL CONTRACTOR IS TO PROVIDE REQUIRED PROTECTION TO PROTECT THE INTERIOR FROM WEATHER.
- U. PROVIDE PROTECTED ENTRY ACCESS AS REQUIRED TO ENSURE A SAFE PASSAGE AROUND THE AREA OF DEMOLITION FOR ALL ADJACENT TENANTS THAT ARE OPEN FOR BUSINESS.
- V. DEMOLITION CONTRACTOR IS TO REMOVE ALL UNUSED METAL STUD TOP TRACK FRAMING ABOVE CEILING.
- W. COORDINATE DEMOLITION AND CONSTRUCTION PHASING AND SEQUENCING WITH THE OWNER.
- X. COORDINATE ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORAGE, AND REINSTALLATION WITH GENERAL CONTRACTOR AS DIRECTED BY OWNER.
- Y. PATCH AND REPAIR CONCRETE FLOOR AT AREAS OF DEMOLITION AS REQUIRED TO ACHIEVE A CONSISTENT FLOOR LEVEL TO RECEIVE NEW TENANT FLOOR FINISH. PROVIDE ADDITIONAL CONCRETE TOPPING AS REQUIRED.
- Z. PATCH AND REPAIR EXISTING CONSTRUCTION ITEMS TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION OPERATIONS. PROVIDE A SMOOTH, CONSISTENT FINISH TO MATCH EXISTING SURFACES.
- AA. EXISTING CARPET, CERAMIC TILE, AND ALL OTHER EXISTING FLOOR FINISHES ARE TO BE REMOVED. GENERAL CONTRACTOR TO PATCH AND REPAIR CONCRETE SLAB AND INTERIOR PARTITION WALLS FOR A SMOOTH, CONSISTENT FINISH READY FOR NEW TENANT FINISHES.
- AB. CASH REGISTERS AND ASSOCIATED WIRING TO BE REMOVED AND REPLACED BY OWNER.
- AC. EXAMINATION OF PREMISES: THE CONTRACTOR BEFORE SUBMITTING A PROPOSAL FOR THIS WORK SHALL EXAMINE THE PREMISE AND ALL CONDITIONS THEREON AND /OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGEMENT BY HIM THAT ALL SUCH CONDITIONS AS FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH OWNER.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

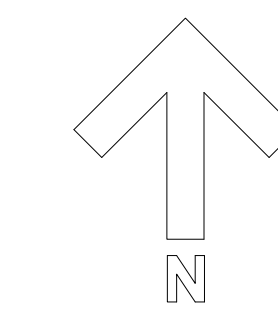
PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

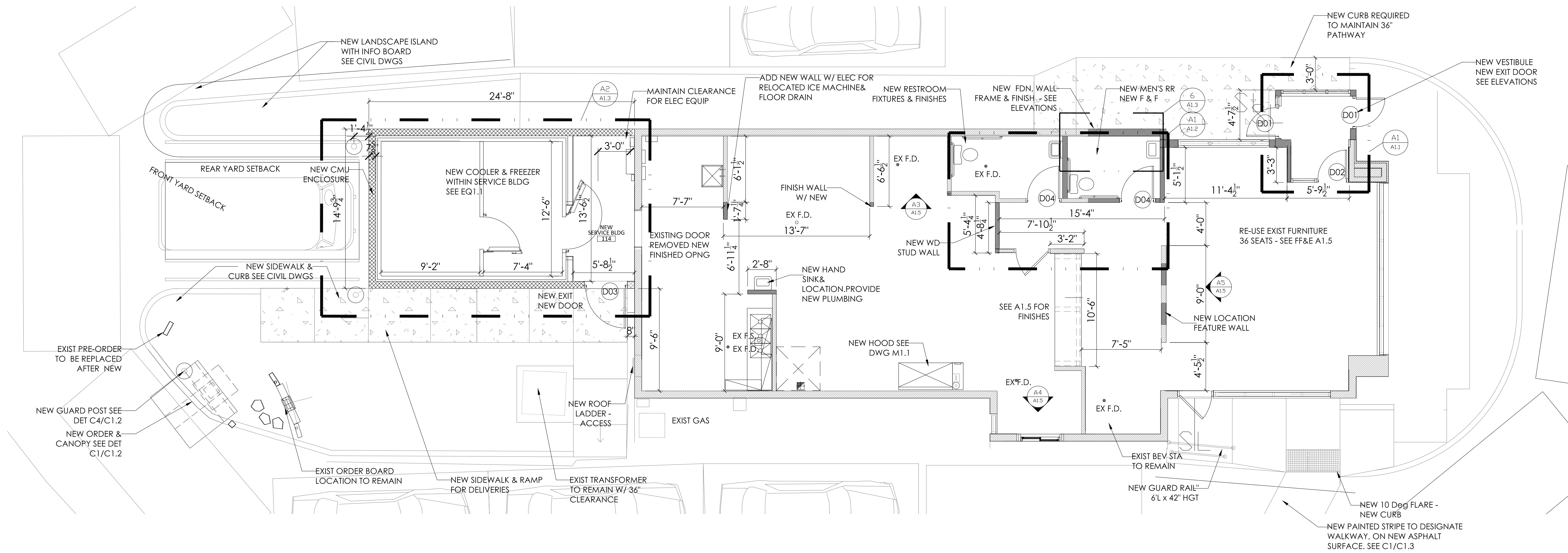
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
15	02-23-24	dwg for Genoa 1/wp mfg
14	01-31-24	current set 100% CD
13	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 03-18-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
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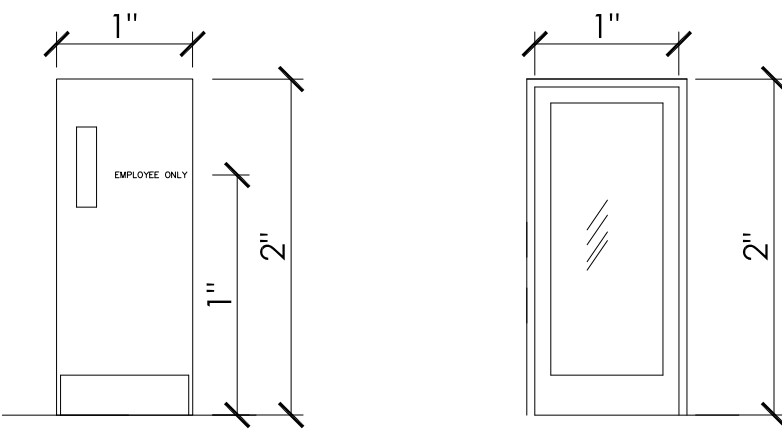
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

- 1) NEW WALL DIMENSIONS TO 1/2" GYP BD FINISH. U.N.O.
- 2) ALL DIMENSIONS FOR NEW RESTROOMS INCLUDE FINISHES. U.N.O.
- 3) SEE EQ1.1 FOR EQUIPMENT PLAN
- 4) SEE A3.1 FOR NEW DOOR SPEC + DOOR HDWR
- 5) SEE NEW FINISH LEGEND A1.3. COORDINATE WITH NEW DECOR DOCUMENTS PROVIDED BY OTHERS
- 6) BLDG FOOTPRINT = 1769 GROSS SF AREA (SURVEY)
- 7) SEE A1.4 FOR REFLECTED CEILING.

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) PROVIDE NEW KITCHEN EQUIPMENT - SEE EQUIPMENT DWG
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES - SEE ELEVATION DWGS
- 4) PROVIDE UPDATES TO EXTERIOR BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C.1.1 CIVIL DWGS FOR DETAILS
- 5) EXTERIOR CIVIL WORK: ALL NEW SEE DWGS
- 6) TOTAL BLDG AREA: 1769SF + ENTRY 35 + COOLER BLDG 364 SF = 2168 SF GROSS

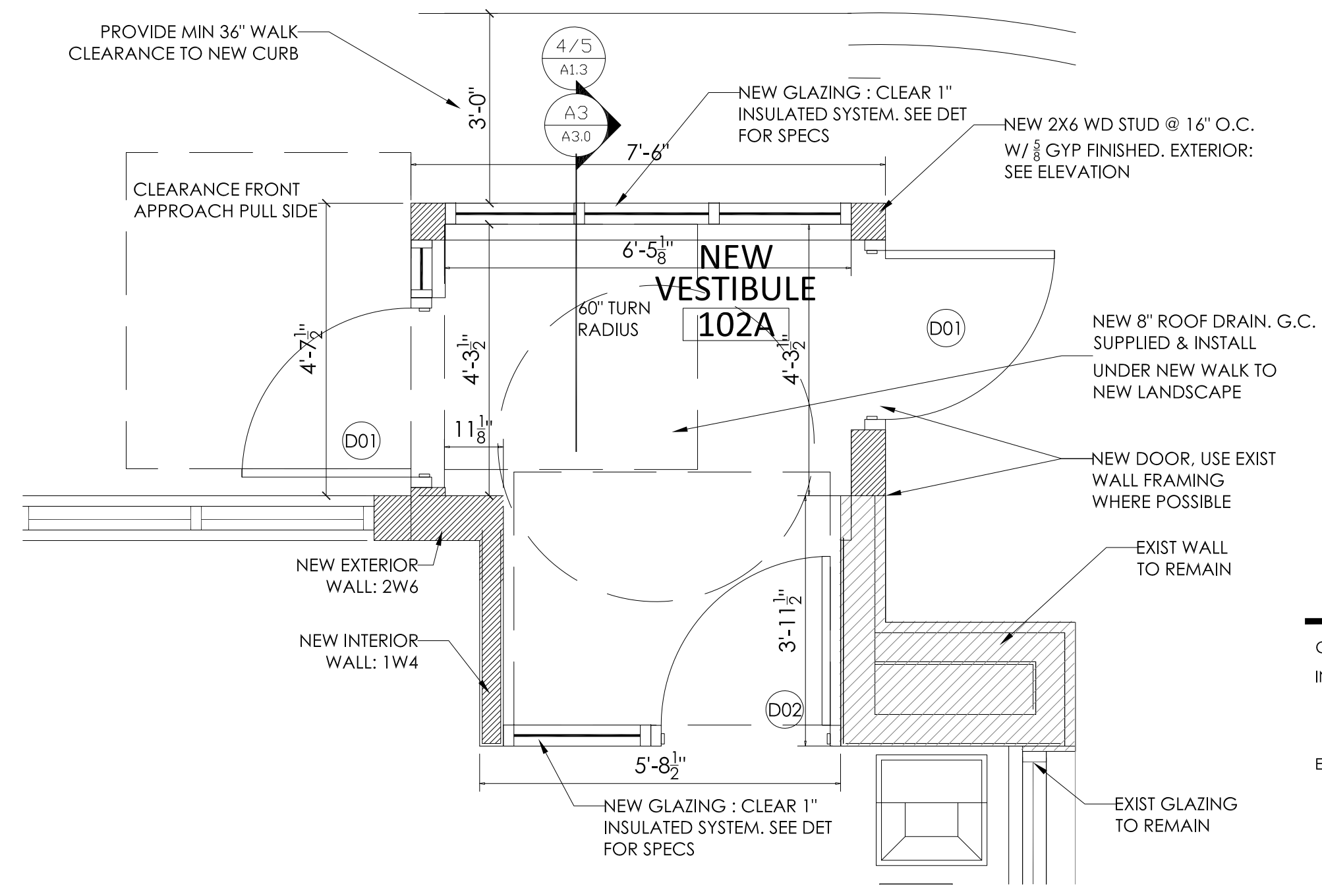


SERVICE COUNTER DOOR HALLWAY SIDE
SCALE: 1/4" = 1'-0"
EMPLOYEE DOOR TO SERVICE COUNTER. 2 SPRING HINGES.

ENTRANCE VESTIBULE DOOR
3'-0" x 7'-0" x 1 1/2" HM FRAME
TEMPERED SAFETY GLASS, ALUM STOREFRONT
WIDE STILES & RAILS. DARK BRONZE FINISH

DOOR HARDWARE & SPECIFICATIONS

- DO1: (EXTERIOR VESTIBULE/DINING ROOM)**
1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
1 DOR-O-MATIC EXIT DEVICE 1993 26D
1 SCHLAGE RIM CYLINDER 20-022 626
1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
1 IVES FLOOR STOP FS444 26D
1 HAGER THRESHOLD 4185 AL
1 HAGER WEATHERSTRIP 7365
1 HAGER SWEEP 7535 AL
- DO2: (INTERIOR VESTIBULE)**
1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
1 IVES PULL-PUSH BAR 9103EZ-33-12-32D-NO
1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
1 HAGER WEATHERSTRIP 7365
1 HAGER SWEEP 7535 AL
1 IVES WALL STOP FS438 26D
- DO3: (REAR DOOR)**
1 ROTON 780-112HD CONTINUOUS MORTISE HINGE AL 83" CLEAR
1 CAL-ROYAL 7700EO RIM PANIC 48" (EQUAL TO VON DUPRIN 99) 32D
1 CAL-ROYAL 7700NL NIGHT LATCH TRIM/ PULL
1 SCHLAGE RIM CYLINDER 20-022C 626
1 HAGER 5100 HDHOS
1 HAGER ARMOR PLATE 1935 (BEVELED 3 SIDES) 30" X 46" 32D
1 HAGER 2675 CAST FLOOR STOP 3 1/8" H 2 1/4" BASE 26D
1 HAGER 1756 185 DEGREE VIEWER 26S
1 HAGER 5415 PANIC THRESHOLD 28"X5" WIDTH W/ VINYL BUMPER STOP
1 HAGER WEATHERSTRIP 8625
- DO4: (SINGLE OCCUPANY RR)**
1 1/2 PR. HAGER HINGES ECB8 1100 26D
1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
1 SCHLAGE B571 COMMERCIAL RR INDICATOR DEADBOLT
1 HAGER PULL BAR 33L 26D 4" X 16"
1 HAGER PUSH PLATE 305 26D 4" X 16"
2 HAGER 190S KICK PLATE 32D 8" X 34"
3 SILENCERS PER DOOR
1 SIGN- MEN'S/WOMEN'S
1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D
**REMOVE INDICATOR DEADBOLT FOR MULTI OCC. RR
- DO5: (SERVICE DOOR)**
1 1/2 PR. HAGER HINGES ECB8 1100 26D
1 HAGER 3410 WITHNELL HEAVY DUTY PASSAGE SET 26D
1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
2 HAGER 190S KICK PLATE 32D 8" X 34"
1 HAGER 243F LIGHT DUTY DOME STOP HIGH
3 SILENCERS PER DOOR
1 SIGN "EMPLOYEES ONLY"



NEW VESTIBULE PLAN
SCALE: 1/2" = 1'-0"

WALLS

CONSTRUCTION
INTERIOR WALLS: 2x4 WD STUD @ 16" O.C. WITH FINISH. KITCHEN AREA USE F.R.P. PANEL SAME COLOR AS EXISTING. QUEUE AND DINING AREA SEE FF&E DWG
EXTERIOR WALLS: 2x6 WD STUD @ 16" O.C... SEE ELEVATION DWGS FOR INSPIRE FINISH

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
18	02-23-24	dwgs for Genoa Two mig
17	01-31-24	current set 100%CD
16	01-26-24	replot for equip & final
15	12-19-23	ZBA submittal
15	12-19-23	2nd submittal SPR

DRAWN BY: C. BALL
DATE: 02-16-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
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ARBY'S HOWELL EXISTING



WEST ELEVATION



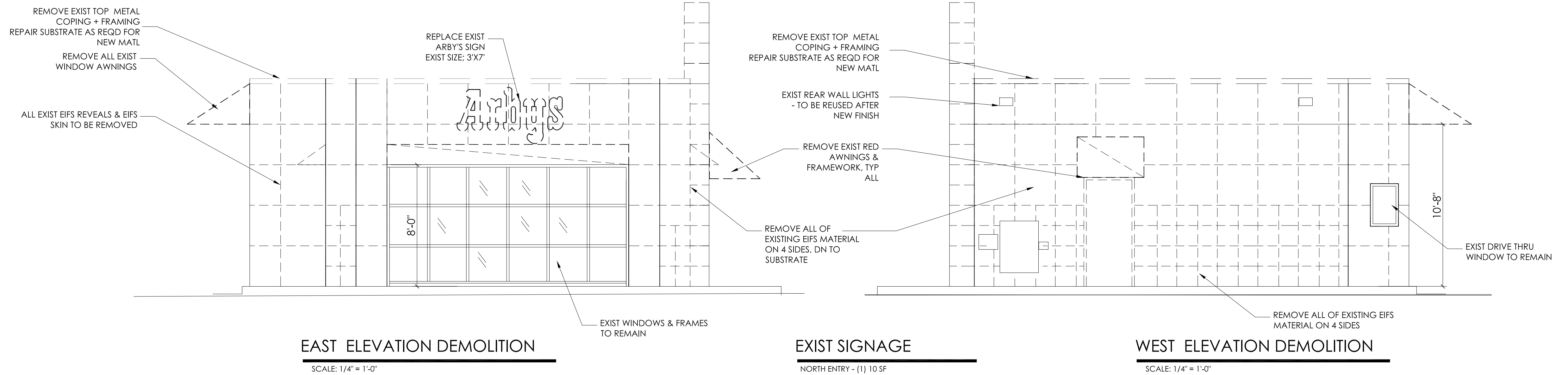
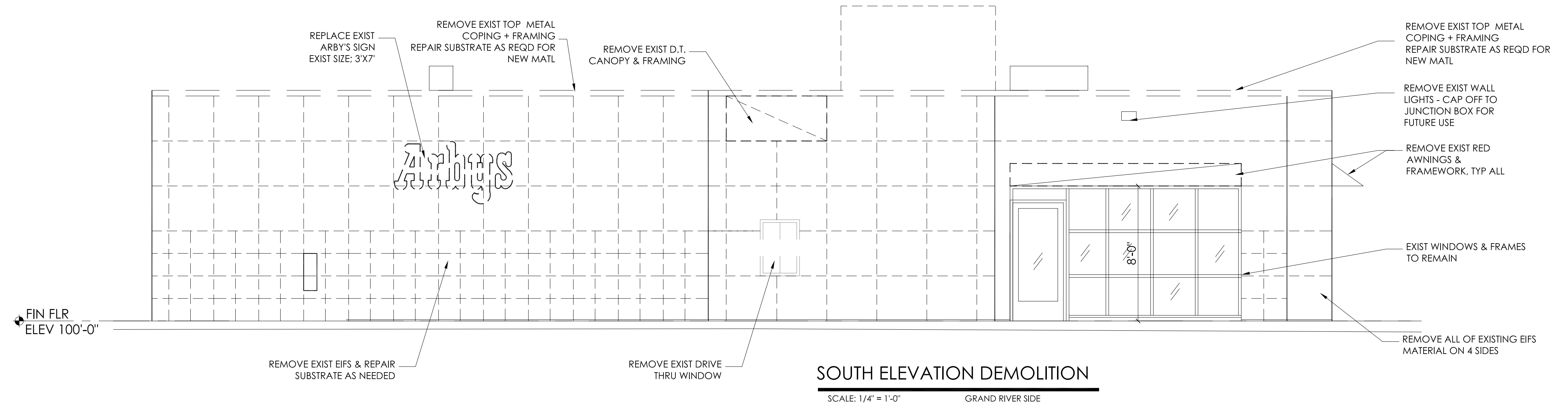
SOUTH-WEST ELEVATION



SOUTH - EAST ELEVATION



NORTH ELEVATION

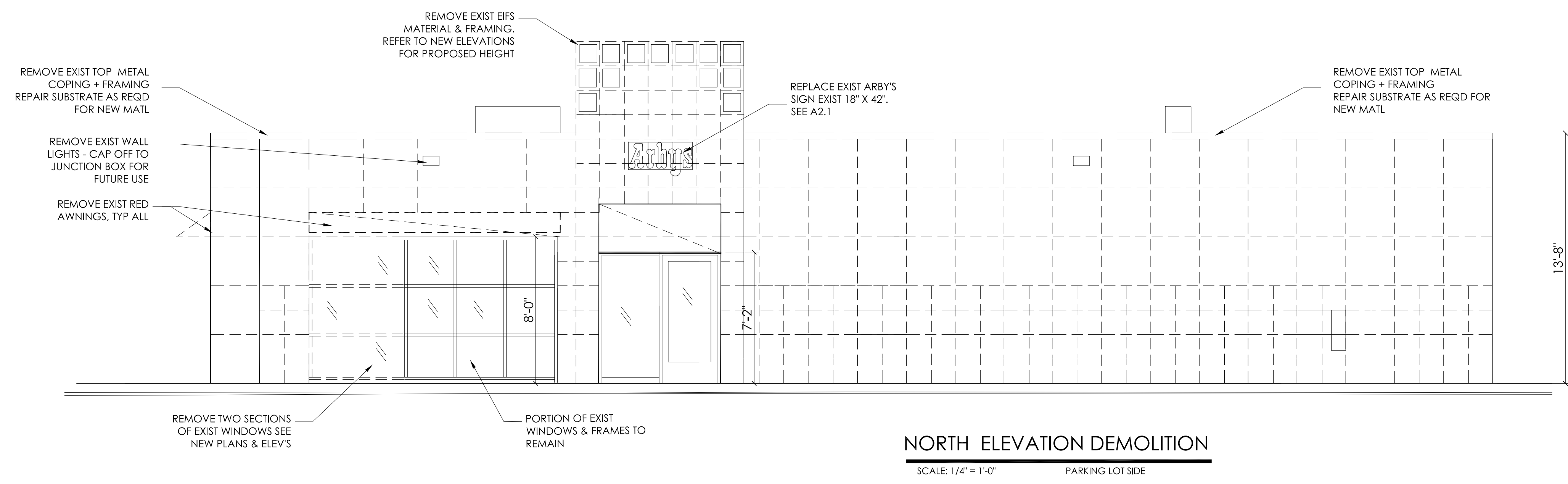


EXIST SIGNAGE

NORTH ENTRY - (1) 10 SF
 WEST REAR - NONE
 SOUTH GRAND RIVER AVE - 18.3 SF
 EAST PUBLIC ACCESS - 18.3 SF
 TOTAL SIGNAGE AREA EXIST: 46.6 SF

DEMOLITION NOTES

DEMOLITION NOTES REFER TO OBJECT'S NOTED AND ANY ADJACENT SURFACES. REPAIR & PROVIDE NEW ROOF /PARAPET FRAMING AS REQUIRED



EXT ELEVATIONS EXIST

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD; 810-750-3423
 CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
14	02.23.24	dwgs for Genoa Two mtg			
13	01.22.23	rev for plan comm SPR			
12	12.19.23	2ba submittal			
11	12.13.23	2nd submit SPR			
10	10.23.23	reprint for SPR			
9	10.11.23	owner review for SPR			

DRAWN BY: C. BALL
 DATE: 03-17-21
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
EX 2.0

EXTERIOR MATERIALS

METALS			
A	EXCEPTIONAL METALS / DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR.70/TE.87	OR EQUAL
B	EXCEPTIONAL METALS / DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR.26/TE.87	OR EQUAL
C	PRE-FABRICATED CANOPY/BAND	SHERWIN WILLIAMS SW #6869 "STOP"	--
NST	NICHIHA	PRE-FINISHED BROWN COLOR; ROUGHSAWN SERIES	
NPW	NICHIHA	PRE-FINISHED WHITE PANEL "ILLUMINATION SERIES"	
M1	MASONRY "CAST STONE"	VERSETTA STONE - LEDGESTONE "STERLING" #9005177W	

PAINT SPECIFICATION

Arby's color designation (Sherwin Williams color designation)	Substrate(s)	Sherwin Williams (SW) Product	Remarks
Arby's tag designation <D> (this is a red color that is a close color match for the metal roof canopy)	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	Use at least two coats of finish. May require 3-4 coats to get proper coverage. Primer tinted to SW P1.
SW #6869, "stop"	Prefinished metal or factory primed, Kynar-finished roof or metal storefront	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	
D	Wood	Primer: A-100 Exterior Latex Primer B24W03041 Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series	
F	Prefinished aluminum, aluminum storefront, galvanized	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	
Arby's tag designation <F> SW #7024, "Functional Gray"	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self-Cleaning, Flat, LX13 Series	Use at least two coats of finish.
F	Prefinished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Eggshell, B66-1292 Series	
	Wood	Primer: Exterior Latex Wood Primer B24W03041 Finish: A100 Acrylic Satin, A82W151	

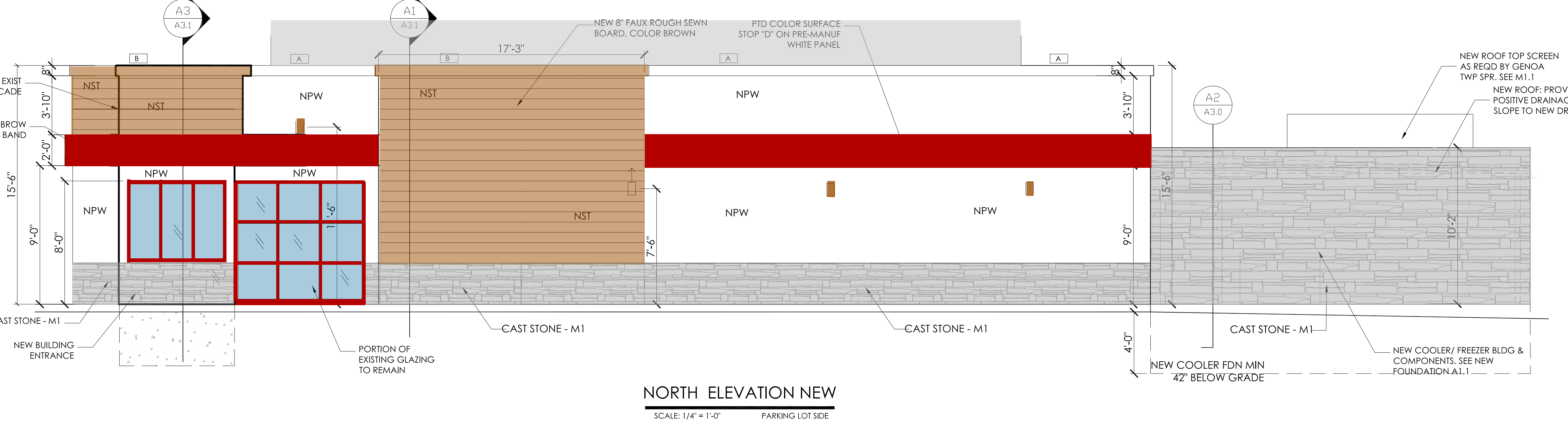
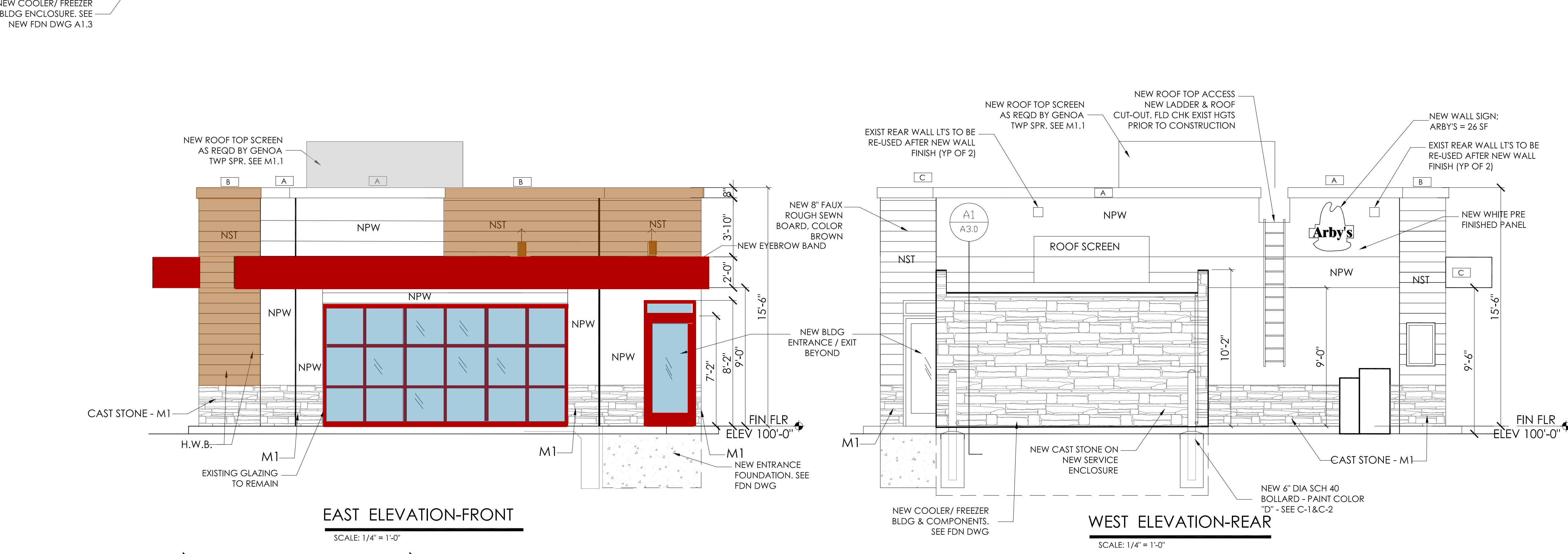
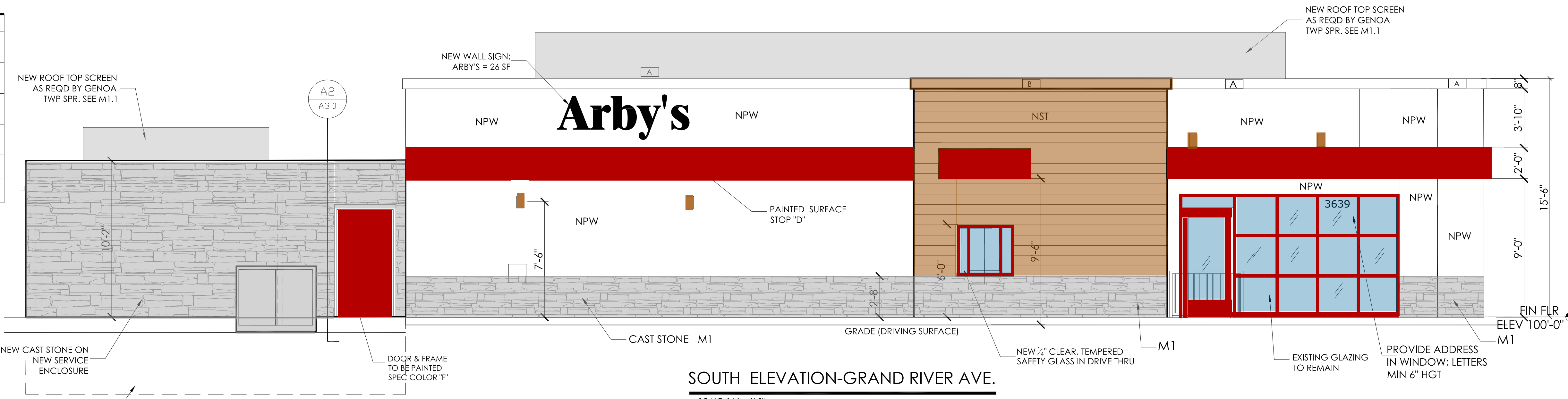
REFER TO A2.2 FOR EXTERIOR BUILDING MATERIAL CALCULATIONS

SIGNAGE GENOA TWP Table 16.1

Regional Commercial District; **Wall Sign** No. of signs = 1 per establishment
Wall sign Max size: 10% of front facade
 Footnote: 16.1.2a.&b. - Two wall signs permitted for establishments located on a through-lot. One wall sign permitted on each side of the bldg that fronts along public ROW. Total wall sign area allowable; 100 SF
Monument Sign: (1) allowed. Pole sign - not included
 16.07.05 **Directional signs:** One allowed per Drive.
 DESIGN INTENT: Remove existing signs and provide new.
 EXISTING: North & South facade = 1273 SF x 10% = 127.3 SF. West & East Facade = 512 SF x 10% = 51.2 (allowed each facade)
 PROPOSED: North wall sign = 0 SF, East wall sign = 11.4 SF, South = 26 SF, West = 26 SF = 63.4 SF < 100 SF total allowable
 EXISTING: Pole sign - replace the Hat same size = 48.6 SF Reader board remain & cleaned = 25.6 SF = 74 SF
 EXISTING: (3) drive's and 4 Directional signs existing - reface all, each = 4 SF x 2 sides = 8 SF x 4 signs = 32 SF

BUILDING EXTERIOR:

- G.C. TO COORDINATE WITH OWNER ALL BLDG DEMOLITION AND RENOVATION WORK AS INDICATED ON DRAWINGS.
- EXISTING STOREFRONT TO BE REMOVED AS INDICATED ON DWGS. G.C. TO CLEAN, RECAULK, AND RE-GASKET THE INSIDE AND OUTSIDE OF EXIST FRAMES TO REMAIN.
- EXIST ALUM DOOR - & DRIVE THRU WINDOW - CLEAN AND REPAINT TO MATCH COLOR "C" BRONZE LOOK. G.C. SHALL REPAIR / PRELACE ALL HARDWARE AS DIRECTED BY OWNER G.C. TO RECAULK THE EXTERIOR PERIMETER BASE OF BLDG WHERE IT ABUTS THE PAVEMENT / SIDEWALK AREAS.
- G.C. TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXIST ROOF DURING WORK. G.C. RESPONSIBLE FOR REPAIR OF DAMAGE TO EXIST ROOF AS A RESULT OF CONSTRUCTION ACTIVITY. G.C. TO PATCH/ REPAIR HOLES IN EXIST ROOF AS DIRECTED BY OWNER.
- G.C. TO PROVIDE WALL ROOFING AND ASSOCIATED FLASHING AFTER DEMOLITION AND NEW CONSTRUCTION
- G.C. TO TO REPAIR AS NECESSARY ANY EXTERIOR DAMAGE TO SUBSTRATE & PREPARE SURFACE FOR NEW FINISH - SEE ELEVATIONS.
- INSTALL NEW DOOR, FRAME AND HARDWARE AS DIRECTED ON DWGS.
- NEW EXTERIOR LIGHTING AS SHOWN ON DRAWINGS. SCONCE: TYPE SEE SPECIFICATION
- ROOF ACCESS FOR MAINTENANCE OF EQUIPMENT - IWC 2018 CHAP 3: WHERE VERTICAL ROOF HGT. IS AT 12 FT OR > THEN A PERMANENT LADDER / STAIR ACCESS IS REQUIRED. CURRENT BLDG HAS NO ACCESS - PROVIDE NEW
- INSTALL WALL MOUNTED LIGHT FIXTURE: AS SHOWN ON DRAWING



EXTERIOR ELEVATIONS PROPOSED

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-750-3423
 CRAWFORD@ARBY'S@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
14	01-31-24	current set 100% CD
13	01-22-24	Rev#2 mat'l & resubmit SPR
12	01-09-24	Rev#2 material correction
11	12-13-23	2nd submit SPR
10	10-23-23	print for SPR
9	10-11-23	owner review for SPR
15	02-23-24	dwgs for twp bid mtg

DRAWN BY: C. BALL
 DATE: 05-08-22
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
A
2.1

**SERVICE AGREEMENT WITH ECONOMIC DEVELOPMENT
COUNCIL OF LIVINGSTON COUNTY**

THIS AGREEMENT, made and entered into this ____ day of _____, 2024 between Genoa Charter Township, a Michigan Municipal Corporation, having its offices at 2911 Dorr Rd, Brighton, Michigan hereinafter referred to as the "Township", and the ECONOMIC DEVELOPMENT COUNCIL OF LIVINGSTON COUNTY, a Michigan non-profit corporation, having its registered office at 218 East Grand River Avenue, Brighton, Michigan, hereinafter referred to as the "EDC."

WHEREAS, in the current economic climate skilled worker shortages and static tax bases are problems which are faced by many counties in Michigan; and

WHEREAS, a coordinated effort on the part of citizens and institutions in Livingston County is desirable in order to solve the above problems and create employment, industrial expansion and to promote the economic well-being and development of Livingston County and of Genoa Charter Township; and

WHEREAS, the EDC has been formed for the purpose of developing jobs and promoting the economic development of Livingston County through the cooperation and participation of interested private and public organizations in the Township and the County; and

WHEREAS, a coordinated approach to the development of employment and the promotion of economic development for Livingston County will aid Genoa Charter Township in its own economic development;

NOW, THEREFORE, for considerations recited herein, the parties agree as follows:

1. The EDC shall act as Township's non-exclusive agent with respect to economic development projects in and for the for purposes of promoting both the retention and economic expansion of local business and employment currently located within the Township as well as establishing new businesses and employment within Genoa Charter Township. The EDC will renew its contract services agreement with Ann Arbor SPARK to provide business retention, expansion and attraction services for three years beginning January 1, 2024.
2. The EDC will review Township development policies, procedures and zoning ordinances and offer recommendations to the Township to enhance R & D or industrial development of the type and nature sought by the Township Board and conveyed to the EDC by the Township representative.
3. The EDC will prepare focused marketing material to highlight the key demographics and attributes of the Township that will be used to introduce the Township to EDC's targets and contacts.
4. The EDC will apply their extensive experience and knowledge of incentives and their practical applications and work with Township staff to craft development of programs

and recommendations that will benefit both private and public sectors for the encouragement of new investment. EDC will also assist the Township with any agreements relating to the private and public sector investment.

5. The EDC will visit existing companies to identify their needs and ensure their retention. In addition, the EDC will consult with Township staff and/or designated officials to identify attraction targets that will meet the long term needs of the Township as identified.
6. The EDC will actively recruit targets supported by all available resources. Recruitment efforts will be through personal contact, mail, email, economic development events, and industry contacts continually throughout the term of this contract.
7. When it becomes apparent a relocation in the Township is imminent, EDC agrees that it will coordinate, facilitate and mediate meetings with the Township and the potential target in order to expedite the closing of the transaction.
8. The EDC will provide quarterly updates to the Township detailing the economic development services provided each quarter. Quarterly reports will identify all companies visited and report on the EDC's progress toward set goals and potential targets. In addition, these reports will provide partners with updated data and demographics.
9. Amendments to the Scope of Services may be made as necessary, provided that such amendments are agreed to in writing by both parties.
10. Genoa Charter Township agrees to pay to the EDC an amount not to exceed \$23,282.00 in 2024, \$23,747.00 in 2025, and \$24,211.00 in 2026; on or before April 15th of each year, for services furnished under this Agreement to be rendered for the calendar year to the Township by the EDC which shall specifically report, with documentation, whatever services have been performed and whatever expenses have been incurred on behalf of the Township by the EDC for economic development in and for the Township in accord with the terms of this agreement.
11. The EDC agrees to keep books, records and accounts which will accurately reflect and document the disposition of all funds coming into and disbursed by the EDC as a result of this Agreement, to make the same available for inspection by Genoa Charter Township during normal business hours.
12. The EDC agrees to hold Genoa Charter Township harmless from any and all liability which might result from its activities, and the EDC further agrees to carry such liability insurance naming Genoa Charter Township as additional insured, as Genoa Township shall deem necessary to insure protection of Genoa Charter Township from any and all liability.
13. Within ninety (90) days after the end of the EDC's fiscal year the EDC shall submit to Genoa Charter Township a final written statement for all work and services performed under this Agreement. All data and work product related to the activities of the EDC and utilized or developed in performance of work in and for Genoa Charter Township shall

become the property of Genoa Township upon termination of this Agreement.

14. Both parties agree that this Agreement is subject to all applicable ordinances, resolutions and rules of Genoa Charter Township, Livingston County, and the State of Michigan.
15. Genoa Charter Township shall have the right to review any and all documents or reports as outlined above that are required to be submitted by EDC or its agents. If, at the end of the second year of this Agreement, the Township in its sole discretion determines the said documents and records have not been submitted to their satisfaction, or if EDC otherwise fails to produce the said documents and records, the Township may, at its option, terminate this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

WITNESSES:

Genoa Township

Bill Rogers, Township Supervisor

Paulette Skolarus, Genoa Township Clerk

**ECONOMIC DEVELOPMENT COUNCIL
OF LIVINGSTON COUNTY**

Janelle Smith, EDC Chair

Kyle Mazurek, EDC Secretary



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 28, 2024
RE: FY 24-25 Final Budget Revisions

Please find attached the Mortensen Report and final Fiscal Year April 1, 2024- March 31, 2025 Budget for your review and approval. Amendments to the current fiscal year budget (23/24) will be considered at the next meeting planned for March 18, 2024. The Mortensen Report has been edited with “red text” to show the changes that have occurred since the public hearing which was held on February 5, 2024.

Please note that the Clerk provided revised numbers for the Clerks Department and Elections budget which have been incorporated. With no explanation for the changes provided, the Mortensen Report only documents the change. To assist in your review of the Clerk and Election budget changes staff has prepared a comparative spreadsheet showing this current fiscal year followed by the draft budget amounts and the new proposed budget amounts. This comparative analysis is attached on the following page. The Board may wish to request additional information regarding the changes in both the Clerks Department and Elections budget.

I look forward to discussing this with you on Monday.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

BUDGET REPORT FOR GENOA TOWNSHIP CLERK AND ELECTIONS - COMPARATIVE ANALYSIS
2/28/2024

10/27/2023 2/22/2024

2023-24 2023-24 2023-24 2023-24 2024-25 2024-25
ORIGINAL AMENDED ACTIVITY PROPOSED REQUESTED REQUESTED
BUDGET 11/6/2023 2/28/2024 AMENDMENTS BUDGET BUDGET

GL NUMBER	DESCRIPTION	2023-24 ORIGINAL BUDGET	2023-24 AMENDED 11/6/2023	2023-24 ACTIVITY 2/28/2024	2023-24 PROPOSED AMENDMENTS	2024-25 REQUESTED BUDGET	2024-25 REQUESTED BUDGET
REVENUE:							
Reimbursent Hartland Schools				8,303	8,500		
Reimbursement Howell Schools					43,000		
Reimbursement State of Michigan					180,000		
Total Reimbursement				8,303	231,500		

APPROPRIATIONS:

101-215-702-014	TWP CLERK SALARY	58,755	58,755	54,332	58,755	58,755	58,755
101-215-703-000	CLERKS DEPT WAGES & SALARIES	44,000	44,000	32,793	54,000	54,000	65,000
101-215-861-000	CLERKS DEPT MILEAGE & TRAVEL EXPENSE	200	200	-		200	-
101-215-910-000	CLERKS DEPT PRO DEV/CONFERENCE/DUES	100	100	46	700	100	700
101-215-955-000	CLERKS DEPT MISCELLANEOUS	100	100	-	100	100	100
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	50,000	50,000	43,600	40,000	50,000	40,000
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	45,000	45,000	10,410	40,000	60,000	40,000
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	5,000	5,000	-	5,000	4,000	5,000
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	800	800	600	1,600	1,600	1,600
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	7,950	15,000	14,662	17,000	15,000	17,000
101-262-791-000	ELECTION PUBLICATIONS	1,500	1,500	260	1,500	1,500	1,500
101-262-802-001	ELECTION MEETING FEES	1,500	1,500	1,350	1,350	1,000	1,200
101-262-802-002	BALLOT TESTING	10,000	10,000	1,881	10,000	13,000	10,000
101-262-802-003	LIVINGSTON COUNTY CLERK	9,000	9,000	-	9,000	9,000	9,000
101-262-802-004	CHURCH / SCHOOL CLEANUP/SETUP/ TAKE DOW	5,425	5,425	3,530	5,425	2,500	5,500
101-262-802-005	ELECTION BREAKFAST / DINNER	1,700	1,700	874	1,700	1,700	1,800
101-262-861-001	ELECTION MILEAGE & TRAVEL	575	575	225	575	500	500
101-262-901-001	POSTAGE FOR APPLICATIONS	4,650	8,000	11,687	12,000	1,000	-
101-262-901-002	POSTAGE FOR MAILING BALLOTS	4,650	6,000	2,472	8,000	6,500	8,000
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	200	200	2,704	2,800	200	300
101-262-955-000	ELECTION MISCELLANEOUS	1,500	1,500	44	500	1,500	1,500
TOTAL APPROPRIATIONS		252,605	264,355	181,470	270,005	282,155	267,455

Please note that all costs for Hartland, Howell, and the Presidential Primary elections will be reimbursed in full for all three elections this fiscal year.

MORTENSEN REPORT*

2024-2025 FISCAL YEAR BUDGET - ASSUMPTIONS AND SIGNIFICANT EXPENSES

FUND 101 GENERAL FUND

2/28/24 RED text reflects changes to the budget as compared to the February version of the draft budget.

General Assumptions:

Salary Increases for Elected and Appointed – generally assuming a 5% increase with a proposed base wage increase of 4% unless otherwise restricted.

Salary Increases for Township Employees – generally assuming a 5% increase. All salaries should be within their intended range due to the salary audit performed in 2022 and increases over the last several years. Due to this, we anticipate a 5% increase to salaries. Due to the results of the Compease compensation analysis, employee wage adjustments will be determined commensurate with a merit based matrix not to exceed a 5% overall budget increase.

Notable Line Item Changes:

Dept. 000 - REVENUE

- | | |
|-----------------|--|
| 101-000-452-001 | The number of SAD projects increased which increases the amount of interest transferred to the general fund. |
| 101-000-631-000 | Increase of Collection Fees annually \$15.00 per home to reduce the gap of township expenses per home. |
| 101-000-665-001 | Increased Interest Rates are generating more revenue. <u>This amount reduced by \$5,000 due to potential for lower rates during the election year.</u> |
| 101-000-699-464 | Revenue from ARPA for additional recycling expenses and interest earned to close our Fund 464. |

Dept. 191 – Accounting and Finance

- | | |
|------------------------|---|
| <u>101-191-703-000</u> | <u>Corrected math error in accounting department wages and salaries to reflect 5% budget increase. This line item increased from \$86,000 to \$91,000</u> |
|------------------------|---|

Dept. 215 – Township Clerk

NOTE – The Clerk provided revised budget numbers which have been incorporated. With no explanation for the changes provided the Board may wish to request additional information regarding the changes in both the Clerks Department and Elections budget. A copy of the budget request is attached.

- | | |
|-----------------|--|
| 101-215-703-000 | <u>The Clerk requested an increase from \$54,000 to \$65,000 for this item. Also, a change to the title from Deputy Clerk to Deputy Clerk/Election Coordinator was requested but not implemented since the permanent Election Coordinantor position was not approved by the Board and all Election items should remain under the Election category for ease of tracking.</u>
The Clerk's department wages and salaries. The 10% increase is to cover the additional time worked by the Deputy Clerk due to the elections in 2024. |
|-----------------|--|

MORTENSEN REPORT*

2024-2025 FISCAL YEAR BUDGET - ASSUMPTIONS AND SIGNIFICANT EXPENSES

101-215-861-000 Clerks Dept. Mileage and Travel Expenses decreased from \$200 to zero.

101-215-910-000 Clerks Dept. Pro Dev/Conference/Dues was increased from \$100 to \$700.

Dept. 223 – Audit

101-223-801-000 Increase per contract in addition to Manor Costerisan submitting forms E65 and 5572 to the Treasury.

Dept. 261 – General Government

101-261-718-001 Reduction of \$46,456 due to one-time payoff of former manager retirement liability.

101-261-718-002 When we configured this line for the budget 23/24 we used the wrong number of months as the date of activity at the time was 10/31/2022. We counted that as 10 months which is incorrect as with our year runs April to March, it was actually month 7.

101-261-750-000 Decreased supplies by \$2,000 due to less needed for office supplies and better pricing.

101-261-750-001 Decrease of Postage by \$3,000 as this was a new line item in 23/24 and was combined with supplies previously but not all funds spent.

101-261-751-000 Reduced to \$125,000 as the BS&A Cloud Upgrade has been moved to 25/26FY

101-261-752-000 New line item for 24/25 to update the Genoa Township Website.

101-261-802-000 Decreased Unallocated Contractual Services by \$25,000 due to unused 23/24 expenses. Most contractual services are department specific with their own GL Number.

101-261-941-000 Contingency was reduced \$20,000 due to unused funds in 23/24.

101-261-955-000 Unallocated Miscellaneous was increased \$2,000 due to additional bank fees due to higher interest rates on return.

Dept. 262 – Elections

SEE NOTE UNDER DEPT. 215

101-262-703-001 Decrease by \$10,000 for Part Time Office Worker Wages

101-262-703-002 Decrease of \$20,000 compared to February draft budget which is \$5,000 less than current year budget for ~~Increase by \$15,000~~ for scanners, chairperson & poll worker wages

101-262-703-004 Increase of \$1,000 from February draft budget for Training.

101-262-751-001 Increase of \$2,000 for Election Office Supplies/Equipment

101-262-802-002 Decrease from \$13,000 to \$10,000 for Ballot Testing

MORTENSEN REPORT*

2024-2025 FISCAL YEAR BUDGET - ASSUMPTIONS AND SIGNIFICANT EXPENSES

101-262-802-004 ~~Decrease Church/School Setup and Take Down by \$2,925~~ Increase from \$2,500 to \$5,500 for Church/School Setup and Take Down

101-262-802-005 Election Breakfast / Dinner increase from \$1,700 to \$1,800

101-262-901-001 Decrease postage for applications from ~~\$8,000 to \$1,000~~ to zero.

101-262-901-002 Postage for Ballots increased from \$6,500 to \$8,000

101-262-901-003 Postage for ID Cards increased from \$200 to \$300

Dept. 265 – Building and Grounds

101-265-934-060 Reduced repairs and maintenance from \$150,000 to \$130,000 based on spending history.

Dept. 266 – Legal Services

101-266-803-000 General Township Legal Fees reduced by \$25,000 due to reduced activity this year

Dept. 445 – Drains at Large

101-445-802-000 Reduced Drains at Large by \$5,000

Dept. 567- Cemetery

101-567-703-002 Cemetery Maintenance reduced by \$2,000 due to 23/24 expenses.

Dept. 701 – Planning and Zoning

101-701-802-000 Reduce contractual services from \$50,000 to \$30,000 due to planned hire of new Zoning Official.

101-701-946-001 Review Services – Planning increased from \$35,000 to \$45,000 due to high volume project case submission trend.

Dept. 728 – Economic Development

101-728-880-000 Reduced ~~\$2,960~~ 3,676 due to 23/24 expenses with no expectation of increase.

Dept. 900 - Capital Outlay

101-900-970-000 Reduced Capital Outlay> \$5,000 \$100,000 as funds were unused 23/24.

101-900-975-000 Reduced Capital Outlay<\$5,000 \$5,000 as funds were unused 23/24.

Dept. 965 – Transfers Out

101-965-995-249 Increased Transfer out by \$250,000 to Fund 249 – Building Reserve for: Asphalt Replacement and Repairs, Planned Security Updates, Twp Cubicle and Carpet Design, Herbst Home Office Renovation and Wayfinding Signs.

101-965-995-401 Increase Transfer out by ~~\$160~~ 360,000 to Fund 401 – Road Improvement for: Challis/Bauer Roundabout, and Chilson Road – Beck to Grand River.

MORTENSEN REPORT*

2024-2025 FISCAL YEAR BUDGET - ASSUMPTIONS AND SIGNIFICANT EXPENSES

FUND 202 SAD ROADS AND LAKES

New Projected Road projects for 2024-2025: Crystal Valley Revenue

202-487-801-075 2023 was the final year for the Edwin Drive SAD. The expense budget amount was reduced from \$4,700 to \$3,800 to reflect the funds available in the account.

202-496-801-075 The Crystal Valley Road Improvement project was partially completed in 2023, the remaining project cost of \$134,920 was therefore allocated to the 24/25 FY

FUND 208 PARKS AND RECREATION

208-000-434-001 Farm Lease Revenue line item was added for income to lease the farm land.

208-751-934-011 Boardwalk Improvements increased \$15,000 to replace with composite existing wooden guard rails and hand rails along Brighton Road and Bauer Road pathway.

208-751-934-012 Removed Grand River Sidewalk Infill as not completed in 23/24, postponing project to future date to allow the Township to focus on parking and other improvements at the Township Hall.

208-751-934-013 Security Upgrades not completed 23/24, moving project to 24/25.

208-751-934-015 10% Retainer for Rubber Replacement Contract.

208-751-934-016 NEW PROJECT - Township Pavilion Restroom Expansion/Addition.

208-751-934-017 NEW PROJECT - North Soccer Field Drainage Repair

208-751-934-018 NEW PROJECT - Parking Expansion/Pickleball.

208-751-934-019 NEW PROJECT - Install and improve park wayfinding signage.

208-751-934-060 Increased Path/Park Maintenance due to increased area to maintain.

208-751-934-061 NEW ITEM – Equipment Replacement to replace accessible swing with proper harness for \$5,000.

FUND 249 BUILDING AND GROUNDS FUND

249-000-699-000 Increase Transfer in from General Fund by \$250,000 to fund new projects

249-265-981-007 Increased \$40,000 Asphalt Replacement, Repairs & Resealing for the park/sled hill lot.

249-265-981-008 Security Updates for Building and Parking Lot Project \$100,000 not completed in 23/24.

MORTENSEN REPORT*

2024-2025 FISCAL YEAR BUDGET - ASSUMPTIONS AND SIGNIFICANT EXPENSES

249-265-981-012	NEW PROJECT - Township Board Room Upgrades Project for \$50,000 working with a designer to create a better layout.
249-265-981-013	NEW PROJECT - Township Hall Cubicle/Carpet Design \$10,000 working with a designer to create a better use of space for the Township Hall.
249-265-981-014	NEW PROJECT - Herbst Home Office Renovations \$400,000 to make repairs to the house for office use.
249-265-981-015	NEW PROJECT - Wayfinding Signs for \$3,000 directional signs to help residents identify where to go, park, and any further instructions.

FUND 401 ROAD IMPROVEMENT FUND

401-000-699-000	Increased General Fund contribution to cover the amount of road work for the FY 24/25.
401-000-699-000	Increase transfer in by \$160,000 to fund Challis Road and Chilson Road Projects
401-446-812-006	Township contribution of \$500,000 to the Challis/Bauer Roundabout Project
401-446-812-007	Pavement Preservation Program Match of \$600,000 (50%) with the Road Commission to repave Chilson Road from Beck Road to Grand River.
401-446-812-002 through 005	Adjust costs per Road Commission for gravel and limestone road projects

FUND 464 ARPA

464-906-956-000	Broadband project not completed in 23/24, moving funds of \$112,500 to 24/25.
464-521-802-000	The FY 24/25 Budget will be the last ARPA fund contribution to weekly recycling service.
464-965-995-101	In order to close the ARPA fund 464, the remaining amount of \$42,683 will be transferred to the general fund as interest earned.

Kelly VanMarter

From: Polly
Sent: Saturday, February 24, 2024 1:14 PM
To: Bill Rogers; Kelly VanMarter
Subject: budget amendment and recommendation
Attachments: budget amend and new 2024-25.xlsx

Attached for the next board meeting is an amendment to 2023- 2024 budget and a recommended budget for 2024-2025.

Paulette Skolarus, Clerk



Genoa Charter Township
2911 Dorr Rd
Brighton, MI 48116
(810)227-5225

polly@genoa.org
www.genoa.org

GL NUMBER	DESCRIPTION	2023-24	2023-24	2023-24	2024-25
		ORIGINAL BUDGET	ACTIVITY THRU 02/23/24	AMENDED BUDGET	REQUESTED BUDGET
101-215-702-014	TWP CLERK SALARY	58,755	54,332	58,755	58,755
101-215-703-000	DEPUTY CLERK/ELECTION COORDINATOR	44,000	44,212	54,000	65,000
101-215-910-000	PRO DEV/CONFERENCE/DUES	100	46	700	700
101-215-955-000	MISCELLANEOUS	100		100	100
	TOTAL	102,955	98,590	113,555	124,555
	HARTLAND SCHOOLS			8,500	
	HOWELL SCHOOLS			43,000	
	STATE OF MICHIGAN			180,000	
	TOTAL REVENUE			231,500	-
APPROPRIATIONS					
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	35,000	32,182	40,000	40,000
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	40,000	10,410	40,000	40,000
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	5,000		5,000	5,000
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	1,600	600	1,600	1,600
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	17,000	14,662	17,000	17,000
101-262-791-000	ELECTION PUBLICATIONS	1,500	260	1,500	1,500
101-262-802-001	ELECTION MEETING FEES	1,500	1,350	1,350	1,200
101-262-802-002	BALLOT TESTING	10,000	1,881	10,000	10,000
101-262-802-003	LIVINGSTON COUNTY CLERK	9,000		9,000	9,000
101-262-802-004	CHURCH/SCHOOL /SETUP/TAKE DOWN	5,425	3,530	5,425	5,500
101-262-802-005	ELECTION BREAKFAST / DINNER	1,700	874	1,700	1,800
101-262-861-001	ELECTION MILEAGE & TRAVEL	575	225	575	500
101-262-901-001	POSTAGE FOR APPLICATIONS	14,000	11,687	12,000	-
101-262-901-002	POSTAGE FOR MAILING BALLOTS	8,000	7,472	8,000	8,000
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	2,800	2,704	2,800	300
101-262-955-000	ELECTION MISCELLANEOUS	1,500	44	500	1,500
TOTAL APPROPRIATIONS	TOTAL EXPENDITURE	154,600	87,881	156,450	142,900

2024 - 2025 FISCAL YEAR BUDGET

2/26/2024

GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 101 - GENERAL FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
101-000-402-001	CURRENT REAL PROP TAX	770,547	1,200,000	1,220,000
101-000-411-001	DELINQ TAX - PERSONAL & REAL	3,099	1,000	1,000
101-000-434-002	TRAILER FEES	3,419	4,000	3,600
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	364,676	400,000	430,000
101-000-448-002	COLLECTION FEE - SCHOOLS	24,573	25,000	25,000
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	44,519	59,359	59,359
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS	0	7,263	15,494
101-000-476-001	CABLE FRANCHISE	369,849	410,000	390,000
101-000-476-002	LICENSE & PERMITS	18,754	20,000	20,000
101-000-567-001	CEMETERY REVENUE	1,200	800	400
101-000-572-001	METRO ACT REVENUE	21,636	15,500	21,700
101-000-573-001	LCSA-PPT REIMBURSEMENT	19,250	25,500	20,200
101-000-574-002	STATE SHARED REVENUE	1,930,449	2,210,292	2,346,759
101-000-608-000	CHARGES FOR SERV-APPL FEES	78,878	60,000	60,000
101-000-609-000	CHARGES FOR SERVICES- FOIA/PRINTING	332	500	500
101-000-626-032	ADM FEE LIQUOR LAW	2,704	3,500	3,790
101-000-631-000	REFUSE COLLECTION FEES	920,730	1,270,000	1,348,457
101-000-657-001	ORDINANCE FINES	900	1,000	1,500
101-000-665-001	INTEREST	71,974	10,000	65,000
101-000-671-000	OTHER REVENUE	6,763	1,000	1,000
101-000-672-000	TAXES ON LAND TRANSFER	143,380	149,000	145,000
101-000-682-000	ELECTION REIMBURSEMENTS	8,303	0	0
101-000-698-202	TRANSFER IN - SAD RESIDUAL BALANCE	0	0	500
101-000-699-249	MMRMA REIMBURSEMENT	11,327	10,000	10,000
101-000-699-464	TRANSFER IN FROM ARPA FUND #464	0	0	266,683
Totals for dept 000 - REVENUE		4,817,262	5,883,714	6,455,942
TOTAL ESTIMATED REVENUES		4,817,262	5,883,714	6,455,942
APPROPRIATIONS				
Dept 101 - TOWNSHIP BOARD				
101-101-702-014	TRUSTEES/SECRETARY WAGES & SALARIES	32,336	37,575	40,000
101-101-861-000	TRUSTEES MILEAGE & TRAVEL EXPENSE	1,443	3,800	3,000
101-101-910-000	TRUSTEES PRO DEV/CONFERENCE/DUES	11,063	15,000	15,000
101-101-955-000	TRUSTEES MISCELLANEOUS	0	100	100
Totals for dept 101 - TOWNSHIP BOARD		44,842	56,475	58,100

2/26/2024

GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 171 - TOWNSHIP SUPERVISOR				
101-171-702-014	TWP SUPERVISOR SALARY	58,215	65,877	70,000
101-171-861-000	SUPERVISOR MILEAGE & TRAVEL EXPENSE	109	500	500
101-171-910-000	SUPERVISOR PRO DEV/CONFERENCE/DUES	170	1,000	500
101-171-955-000	SUPERVISOR MISCELLANEOUS	0	1,000	500
Totals for dept 171 - TOWNSHIP SUPERVISOR		58,494	68,377	71,500
Dept 172 - TOWNSHIP MANAGER				
101-172-702-014	TWP MANAGER SALARY	133,716	151,500	160,000
101-172-703-000	MANAGER DEPT WAGES & SALARIES	40,796	45,460	48,500
101-172-861-000	MANAGER DEPT MILEAGE & TRAVEL EXPENSE	0	1,000	1,000
101-172-910-000	MANAGER DEPT PRO DEV/CONFERENCE/DUES	2,241	4,000	4,000
101-172-955-000	MANAGER DEPT MISCELLANEOUS	0	1,000	1,000
Totals for dept 172 - TOWNSHIP MANAGER		176,753	202,960	214,500
Dept 191 - ACCOUNTING & FINANCE				
101-191-703-000	ACCT DEPT WAGES & SALARIES	70,656	85,458	91,000
101-191-801-000	ACCOUNTING CONSULTANT (PHP)	16,903	30,000	30,000
101-191-801-001	FINANCIAL CONSULTING (PFM)	1,000	1,200	1,200
101-191-861-000	ACCT DEPT MILEAGE & TRAVEL EXPENSE	0	100	100
101-191-910-000	ACCT DEPT PRO DEV/CONFERENCE/DUES	0	500	100
101-191-955-000	ACCT DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 191 - ACCOUNTING & FINANCE		88,559	118,258	122,900
Dept 215 - TOWNSHIP CLERK				
101-215-702-014	TWP CLERK SALARY	52,120	58,755	58,755
101-215-703-000	CLERKS DEPT WAGES & SALARIES	25,348	44,000	65,000
101-215-861-000	CLERKS DEPT MILEAGE & TRAVEL EXPENSE	0	200	0
101-215-910-000	CLERKS DEPT PRO DEV/CONFERENCE/DUES	46	100	700
101-215-955-000	CLERKS DEPT MISCELLANEOUS	0	100	100
Totals for dept 215 - TOWNSHIP CLERK		77,514	103,155	124,555
Dept 223 - AUDIT				
101-223-801-000	AUDIT SERVICES (MANOR COSTERISAN)	27,400	30,900	34,000
Totals for dept 223 - AUDIT		27,400	30,900	34,000
Dept 228 - INFORMATION TECHNOLOGY				
101-228-703-000	IT DEPT WAGES & SALARIES	66,971	77,000	81,000
101-228-861-000	IT DEPT MILEAGE & TRAVEL EXPENSE	0	500	500
101-228-910-000	IT DEPT PRO DEV/CONFERENCE/DUES	0	200	200
101-228-955-000	IT DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 228 - INFORMATION TECHNOLOGY		66,971	78,700	82,200

2/26/2024

GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 247 - BOARD OF REVIEW				
101-247-702-014	BOARD OF REVIEW SALARIES	516	4,410	4,000
101-247-791-000	BD OF REV PUBLICATIONS	480	1,000	1,100
101-247-861-000	BD OF REV MILEAGE & TRAVEL EXPENSE	64	100	100
101-247-910-000	BD OF REV PRO DEV/CONFERENCE/DUES	160	540	540
101-247-955-000	BD OF REV MISCELLANEOUS	110	500	500
101-247-964-000	REFUNDS & CHARGEBACKS	429	5,000	5,000
Totals for dept 247 - BOARD OF REVIEW		1,759	11,550	11,240
Dept 253 - TOWNSHIP TREASURER				
101-253-702-014	TREASURER SALARY	58,396	65,918	69,000
101-253-703-000	TREASURERS DEPT WAGES & SALARIES	92,262	101,004	110,000
101-253-861-000	TREASURERS DEPT MILEAGE & TRAVEL EXPENSE	362	1,000	750
101-253-910-000	TREASURERS DEPT PRO DEV/CONFERENCE/DUES	183	500	500
101-253-955-000	TREASURERS DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 253 - TOWNSHIP TREASURER		151,203	169,422	180,750
Dept 257 - ASSESSING DEPARTMENT				
101-257-702-014	ASSESSING SALARIES	218,559	253,458	266,000
101-257-703-000	ASSESSING WAGES & SALARIES INTERN	0	10,000	10,000
101-257-803-000	ASSESSING LEGAL	650	15,000	15,000
101-257-861-000	ASSESSING MILEAGE & TRAVEL EXPENSE	0	500	500
101-257-910-000	ASSESSING PRO DEV/CONFER/DUES/SUB	2,978	5,000	5,000
101-257-955-000	ASSESSING MISCELLANEOUS	40	1,000	500
Totals for dept 257 - ASSESSING DEPARTMENT		222,227	284,958	297,000
Dept 261 - GENERAL GOVERNMENT				
101-261-703-000	UNALLOCATED WAGES & SALARIES	0	2,000	2,000
101-261-709-000	EMPLOYER'S SHARE SS & MEDICARE	71,427	110,000	110,000
101-261-709-001	CELLPHONE REIMBURSEMENT	2,729	4,000	5,800
101-261-709-002	WORKERS COMP	8,062	11,000	11,000
101-261-718-001	RETIREMENT	156,925	201,456	155,000
101-261-718-002	HEALTH/LIFE INSURANCE	263,507	225,000	320,000
101-261-718-003	WELLNESS	4,571	8,000	8,000
101-261-718-004	EHIM RESERVE	0	50,000	50,000
101-261-750-000	SUPPLIES	18,338	27,000	25,000
101-261-750-001	POSTAGE	22,610	33,000	30,000
101-261-751-000	EQUIP / SOFTWARE / SOFTWARE MAINTENANCE	93,560	200,000	125,000
101-261-752-000	WEBSITE MAINTENANCE	0	0	20,000
101-261-791-000	SUBSCRI/PUBLICATIONS/MEMBERS	8,691	6,000	6,000
101-261-802-000	CONTRACTUAL SERVICES / CONSULTING	5,880	35,000	10,000
101-261-802-001	TWP VEHICLE EXPENSES	488	2,000	2,000
101-261-861-000	UNALLOCATED MILEAGE & TRAVEL EXPENSE	0	100	100
101-261-941-000	CONTINGENCY	4,477	50,000	30,000
101-261-955-000	UNALLOCATED MISCELLANEOUS	1,367	1,000	3,000
Totals for dept 261 - GENERAL GOVERNMENT		662,632	965,556	912,900

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 262 - ELECTIONS				
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	38,355	50,000	40,000
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	10,410	45,000	40,000
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	0	5,000	5,000
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	600	800	1,600
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	14,662	15,000	17,000
101-262-791-000	ELECTION PUBLICATIONS	260	1,500	1,500
101-262-802-001	ELECTION MEETING FEES	1,350	1,500	1,200
101-262-802-002	BALLOT TESTING	1,881	10,000	10,000
101-262-802-003	LIVINGSTON COUNTY CLERK	0	9,000	9,000
101-262-802-004	CHURCH / SCHOOL CLEANUP/SETUP/ TAKE DOW	3,530	5,425	5,500
101-262-802-005	ELECTION BREAKFAST / DINNER	874	1,700	1,800
101-262-861-001	ELECTION MILEAGE & TRAVEL	225	575	500
101-262-901-001	POSTAGE FOR APPLICATIONS	11,687	8,000	0
101-262-901-002	POSTAGE FOR MAILING BALLOTS	7,472	6,000	8,000
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	2,704	200	300
101-262-955-000	ELECTION MISCELLANEOUS	44	1,500	1,500
Totals for dept 262 - ELECTIONS		94,054	161,200	142,900
Dept 265 - BUILDING & GROUNDS				
101-265-740-000	INSURANCE - PROP LIAB/VEHICLE	50,171	54,510	53,000
101-265-802-000	BUILDING & GROUNDS CONTRACTUAL SERVICES	0	1,000	1,000
101-265-850-000	PHONE/INTERNT/CABLE/ALARM	22,854	30,000	30,000
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	18,626	25,000	23,000
101-265-934-060	REPAIRS & MAINTENANCE	74,797	150,000	130,000
101-265-955-000	BUILDING & GROUNDS MISCELLANEOUS	366	5,000	5,000
Totals for dept 265 - BUILDING & GROUNDS		166,814	265,510	242,000
Dept 266 - LEGAL SERVICES				
101-266-803-000	GENERAL TOWNSHIP LEGAL FEES	20,463	75,000	50,000
101-266-803-001	LITIGATION LEGAL FEES	58,862	100,000	100,000
Totals for dept 266 - LEGAL SERVICES		79,325	175,000	150,000
Dept 270 - HUMAN RESOURCES				
101-270-703-000	HR WAGES & SALARIES	17,432	19,286	20,500
101-270-802-000	HR CONTRACTUAL SERVICES	0	2,500	1,500
101-270-861-000	HR MILEAGE & TRAVEL EXPENSE	0	100	100
101-270-910-000	HR PRO DEV/CONFERENCE/DUES	0	500	500
101-270-955-000	HR MISCELLANEOUS	0	1,000	500
Totals for dept 270 - HUMAN RESOURCES		17,432	23,386	23,100
Dept 445 - DRAINS AT LARGE				
101-445-802-000	CONTRACTUAL SERVICES - LIVINGSTON COUNTY	0	30,000	25,000
Totals for dept 445 - DRAINS AT LARGE		0	30,000	25,000

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 521 - REFUSE COLLECTION				
101-521-802-000	REFUSE CONTRACTUAL SERVICES	1,219,745	1,422,000	1,557,576
Totals for dept 521 - REFUSE COLLECTION		1,219,745	1,422,000	1,557,576
Dept 567 - CEMETERY				
101-567-703-001	CEMETERY PURCHASE			
101-567-703-002	CEMETERY MAINTENANCE	6,095	10,000	8,000
Totals for dept 567 - CEMETERY		6,095	10,000	8,000
Dept 701 - PLANNING & ZONING				
101-701-702-014	PLANNING COMMISSION SALARIES	21,967	26,250	27,563
101-701-702-015	ZONING BOARD WAGES	10,918	15,750	16,538
101-701-703-000	PLANNING & ZONING WAGES & SALARIES	116,905	242,000	254,100
101-701-791-000	PLANNING & ZONING PUBLICATIONS	1,525	3,000	3,000
101-701-802-000	PLANNING & ZONING CONTRACTUAL SERVICES	22,868	50,000	30,000
101-701-861-000	PLANNING & ZONING MILEAGE & TRAVEL EXP	1,518	2,500	2,500
101-701-910-000	PLANNING & ZONING PRO DEV/CONFERENCE/DL	6,190	10,000	10,000
101-701-946-001	REVIEW SERVICES - PLANNING	40,190	35,000	45,000
101-701-946-002	REVIEW SERVICES - ENGINEERING	29,420	40,000	40,000
101-701-946-003	REVIEW SERVICES - PUBLICATIONS/POSTAGE	1,960	3,000	3,000
101-701-946-004	REVIEW SERVICES - ROUTING	1,215	2,000	2,000
101-701-946-005	REVIEW SERVICES - LEGAL/RECORDING FEES	7,771	10,000	10,000
101-701-955-000	PLANNING & ZONING MISCELLANEOUS	838	1,000	1,000
Totals for dept 701 - PLANNING & ZONING		263,285	440,500	444,701
Dept 728 - ECONOMIC DEVELOPMENT				
101-728-880-000	COMMUNITY PROMOTION - CONTRIBUTION	23,283	26,960	24,000
Totals for dept 728 - ECONOMIC DEVELOPMENT		23,283	26,960	24,000
Dept 900 - CAPITAL OUTLAY FUNCTION				
101-900-970-000	CAPITAL OUTLAY > \$5,000	31,691	150,000	50,000
101-900-975-000	CAPITAL OUTLAY < \$5,000	2,120	15,000	10,000
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		33,811	165,000	60,000
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES				
101-965-995-208	TRANSFER OUT- FUND #208 - PARKS & REC	850,000	850,000	850,000
101-965-995-249	TRANSFER OUT- FUND #249 - BLDG RESERVE	300,000	300,000	550,000
101-965-995-401	TRANSFER OUT- FUND #401 - ROAD IMPROVE	640,000	640,000	1,000,000
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		1,790,000	1,790,000	2,400,000
TOTAL APPROPRIATIONS		5,272,198	6,599,867	7,186,922
NET OF REVENUES/APPROPRIATIONS - FUND 101		(454,936)	(716,153)	(730,980)
BEGINNING FUND BALANCE		3,588,259	3,588,259	2,872,106
ENDING FUND BALANCE		3,133,323	2,872,106	2,141,126

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 202 - SAD ROADS AND LAKES				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
202-000-452-001	INTEREST	77,659	15,000	45,000
Totals for dept 000 - REVENUE		77,659	15,000	45,000
Dept 448 - STREETLIGHTS				
202-448-628-005	WHITE PINES LIGHTING -SAD PRINCIPAL	36	735	795
Totals for dept 448 - STREETLIGHTS		36	735	795
Dept 470				
202-470-628-005	FENDT DR (W18-22) -SAD PRINCIPAL	0	87,485	0
Totals for dept 470 -		0	87,485	0
Dept 472				
202-472-628-005	RED OAKS (W13-22) -SAD PRINCIPAL	7,847	52,155	0
Totals for dept 472 -		7,847	52,155	0
Dept 478				
202-478-628-005	HOMESTEAD (S22-31) -SAD PRINCIPAL	294	14,967	13,986
202-478-665-001	HOMESTEAD (S22-31) -INTEREST	0	2,993	2,238
Totals for dept 478 -		294	17,960	16,224
Dept 484				
202-484-628-005	EARL LAKE (W18-25) -SAD PRINCIPAL	710	18,803	18,803
Totals for dept 484 -		710	18,803	18,803
Dept 485				
202-485-628-005	NOVEL ESTATES (W18-25) -SAD PRINCIPAL	0	10,964	10,964
Totals for dept 485 -		0	10,964	10,964
Dept 487				
202-487-628-005	EDWIN DR (S19-23) -SAD PRINCIPAL	253	3,554	0
Totals for dept 487 -		253	3,554	0
Dept 489				
202-489-628-005	BLACK OAKS (W21-30) -SAD PRINCIPAL	0	916	922
202-489-665-001	BLACK OAKS (W21-30) -INTEREST	0	165	129
Totals for dept 489 -		0	1,081	1,051

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 490				
202-490-628-005	DARLENE DR (W21-30) -SAD PRINCIPAL	0	2,867	2,867
202-490-665-001	DARLENE DR (W21-30) -INTEREST	376	516	402
Totals for dept 490 -		376	3,383	3,269
Dept 491				
202-491-628-005	ELMHURST (S20-26) -SAD PRINCIPAL	0	7,612	7,612
202-491-665-001	ELMHURST (S20-26) -INTEREST	523	761	457
Totals for dept 491 -		523	8,373	8,069
Dept 492				
202-492-628-005	MCNAMARA (S23-32) -SAD PRINCIPAL	2,772	14,139	13,947
202-492-665-001	MCNAMARA (S23-32) -INTEREST	0	2,828	2,546
Totals for dept 492 -		2,772	16,967	16,493
Dept 494				
202-494-628-005	STILLRIVER (S23-32) -SAD PRINCIPAL	3,192	9,575	9,220
202-494-665-001	STILLRIVER (S23-32) -INTEREST	0	1,915	1,659
Totals for dept 494 -		3,192	11,490	10,879
Dept 495				
202-495-628-005	TIMBERVIEW PRIV (W23-32)-SAD PRINCIPLE	0	3,795	3,795
202-495-665-001	TIMBERVIEW PRIV (W23-32)-INTEREST	0	759	683
Totals for dept 495 -		0	4,554	4,478
Dept 496				
202-496-628-005	CRYSTAL VALLEY (S24-33) - SAD PRINCIPLE	14,760	0	36,900
202-496-665-001	CRYSTAL VALLEY (S24-33) - INTEREST	0	0	7,380
Totals for dept 496 -		14,760	0	44,280
Dept 570 - LAKE IMPROVEMENTS				
202-570-628-005	LK CHEMUNG (W23-27) -SAD PRINCIPAL	3,339	46,300	48,222
Totals for dept 570 - LAKE IMPROVEMENTS		3,339	46,300	48,222
Dept 571				
202-571-628-005	PARDEE LK (W21-25) -SAD PRINCIPAL	2,604	22,396	22,396
Totals for dept 571 -		2,604	22,396	22,396
Dept 572				
202-572-628-005	GRAND BEACH (W21-25) -SAD PRINCIPAL	0	14,125	14,125
Totals for dept 572 -		0	14,125	14,125

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 573				
202-573-628-005	E/W CROOKED LK (S23-27) -SAD PRINCIPAL	619	18,050	18,414
Totals for dept 573 -		619	18,050	18,414
Dept 575				
202-575-628-005	BAETCKE LK (S23-27) -SAD PRINCIPAL	0	7,600	7,600
Totals for dept 575 -		0	7,600	7,600
TOTAL ESTIMATED REVENUES		114,984	360,975	291,062
APPROPRIATIONS				
Dept 223 - AUDIT				
202-223-801-000	AUDIT	3,200	5,000	5,000
Totals for dept 223 - AUDIT		3,200	5,000	5,000
Dept 448 - STREETLIGHTS				
202-448-801-075	WHITE PINES LIGHTING -PROJECT EXPENSE	705	800	895
Totals for dept 448 - STREETLIGHTS		705	800	895
Dept 478				
202-478-801-075	HOMESTEAD (S22-31) -PROJECT EXPENSE			
202-478-802-000	HOMESTEAD (S22-31) -ANNUAL MAINT. EXP	13,508	13,508	3,100
Totals for dept 478 -		13,508	13,508	3,100
Dept 487				
202-487-801-075	EDWIN DR (S19-23) -PROJECT EXPENSE	4,445	1,500	3,800
Totals for dept 487 -		4,445	1,500	3,800
Dept 492				
202-492-801-075	MCNAMARA (S23-32) -PROJECT EXPENSE	192,685	192,685	0
Totals for dept 492 -		192,685	192,685	0
Dept 493				
202-493-801-075	PINE CREEK -ADMINISTRATIVE FEES	570	2,000	0
Totals for dept 493 -		570	2,000	0
Dept 494				
202-494-801-075	STILLRIVER (S23-32) -PROJECT EXPENSE	121,548	127,000	0
Totals for dept 494 -		121,548	127,000	0

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 496				
202-496-801-075	CRYSTAL VALLEY (S24-33) - PROJECT EXP	234,080	369,000	134,920
Totals for dept 496 -		234,080	369,000	134,920
Dept 570 - LAKE IMPROVEMENTS				
202-570-801-075	LK CHEMUNG (W23-27) -PROJECT EXPENSE	39,724	55,000	55,000
Totals for dept 570 - LAKE IMPROVEMENTS		39,724	55,000	55,000
Dept 571				
202-571-801-075	PARDEE LK (W21-25) -PROJECT EXPENSE	21,341	30,000	22,700
Totals for dept 571 -		21,341	30,000	22,700
Dept 572				
202-572-801-075	GRAND BEACH (W21-25) -PROJECT EXPENSE	12,849	11,000	13,508
Totals for dept 572 -		12,849	11,000	13,508
Dept 573				
202-573-801-075	E/W CROOKED LK (S23-27) -PROJECT EXPENSE	17,336	15,000	15,000
Totals for dept 573 -		17,336	15,000	15,000
Dept 575				
202-575-801-075	BAETCKE LK (S23-27) -PROJECT EXPENSE	7,000	7,000	7,000
Totals for dept 575 -		7,000	7,000	7,000
Dept 852 - TRANSFER TO OTHER FUNDS				
202-852-995-101	SAD INTEREST TRANSFER OUT TO 101	0	7,263	8,000
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0	7,263	8,000
Dept 906				
202-906-956-000	MISC EXPENSE	864	600	600
Totals for dept 906 -		864	600	600
TOTAL APPROPRIATIONS		669,855	837,356	269,523
NET OF REVENUES/APPROPRIATIONS - FUND 202		(554,871)	(476,381)	21,539
BEGINNING FUND BALANCE		2,792,450	2,792,450	2,316,069
ENDING FUND BALANCE		2,237,579	2,316,069	2,337,608

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 208 - PARK/RECREATION FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
208-000-434-001	FARM LEASE REVENUE	0	0	2,800
208-000-665-001	INTEREST	35,716	6,000	6,000
208-000-699-101	TRANSFER IN FROM GF #101 OPERATING	850,000	850,000	850,000
208-000-699-249	DNR ACQUISITION /MATCH	0	138,000	0
Totals for dept 000 - REVENUE		885,716	994,000	858,800
TOTAL ESTIMATED REVENUES		885,716	994,000	858,800
APPROPRIATIONS				
Dept 223 - AUDIT				
208-223-801-000	AUDIT	300	500	500
Totals for dept 223 - AUDIT		300	500	500
Dept 536				
208-536-972-100	LAND FOR RECREATION	1,055,108	1,055,018	0
Totals for dept 536 -		1,055,108	1,055,018	0
Dept 751 - PARKS & RECREATION				
208-751-934-001	SENIOR SURVIVOR PARK PROJECT	814,000	814,000	0
208-751-934-006	PARK MASTER PLAN	8,028	30,000	30,000
208-751-934-007	HAPRA	121,125	120,000	124,500
208-751-934-010	B-BALL BENCHES PICNIC TABLE CHARGERS	6,790	19,200	0
208-751-934-011	BOARDWALK/RAILING IMPROVEMENTS	0	15,000	30,000
208-751-934-012	GRAND RIVER SIDEWALK INFILL	0	31,000	0
208-751-934-013	SECURITY UPGRADES	0	50,000	50,000
208-751-934-015	REPAIR/REPLACE RUBBER- POUR IN PLACE	118,061	132,000	13,200
208-751-934-016	TWP PAVILION RESTROOM EXPANSION/ADDITIC	0	0	200,000
208-751-934-017	NORTH SOCCER FIELD DRAINAGE REPAIR	0	0	60,000
208-751-934-018	PARKING EXPANSION/PICKLEBALL	0	0	500,000
208-751-934-019	WAYFINDING SIGNAGE	0	0	2,000
208-751-934-060	PATH / PARK MAINTENANCE	131,521	130,000	175,000
208-751-934-061	EQUIPMENT REPLACEMENT	0	0	5,000
Totals for dept 751 - PARKS & RECREATION		1,199,525	1,341,200	1,189,700
Dept 906				
208-906-956-000	MISC EXPENSE	1,025	600	1,000
Totals for dept 906 -		1,025	600	1,000
TOTAL APPROPRIATIONS		2,255,958	2,397,318	1,191,200
NET OF REVENUES/APPROPRIATIONS - FUND 208		(1,370,242)	(1,403,318)	(332,400)
BEGINNING FUND BALANCE		2,059,735	2,059,735	656,417
ENDING FUND BALANCE		689,493	656,417	324,017

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 212 - LIQUOR LAW ENFORCEMENT				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
212-000-574-001	STATE SHARED REV LIQUOR LAW	16,872	16,700	16,700
212-000-665-001	INTEREST	47	10	20
Totals for dept 000 - REVENUE		16,919	16,710	16,720
TOTAL ESTIMATED REVENUES		16,919	16,710	16,720
APPROPRIATIONS				
Dept 330 - LIQUOR LAW ENFORCEMENT				
212-330-702-013	LIQUOR LAW ENF WAGES	7,002	9,336	9,336
212-330-709-009	EMPLOYER'S SHARE FICA	543	724	724
212-330-715-002	RETIREMENT	701	933	933
212-330-801-070	AUDITING EXPENSE	400	500	500
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	2,704	3,605	3,605
212-330-860-070	VEHICLE EXPENSE	206	1,545	1,545
Totals for dept 330 - LIQUOR LAW ENFORCEMENT		11,556	16,643	16,643
TOTAL APPROPRIATIONS		11,556	16,643	16,643
NET OF REVENUES/APPROPRIATIONS - FUND 212		5,363	67	77
BEGINNING FUND BALANCE		3,836	3,836	3,903
ENDING FUND BALANCE		9,199	3,903	3,980

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 249 - BUILDING AND GROUNDS FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
249-000-665-001	INTEREST	1,270	90	1,440
249-000-699-000	OPERATING TRANSFER IN #101	300,000	300,000	550,000
Totals for dept 000 - REVENUE		301,270	300,090	551,440
TOTAL ESTIMATED REVENUES		301,270	300,090	551,440
APPROPRIATIONS				
Dept 265 - BUILDING & GROUNDS				
249-265-801-000	AUDIT	0	250	250
249-265-955-000	MISCELLANEOUS EXP	364	0	0
249-265-981-002	TWP HALL DR/PARKING LIGHT REPLACEMENT	3,945	10,000	0
249-265-981-007	ASPHALT REPLACE, REPAIRS & RESEALING	1,425	10,000	50,000
249-265-981-008	SECURITY UPGRADES	2,488	100,000	100,000
249-265-981-009	MISTER REPLACEMENT	0	15,000	0
249-265-981-012	TWP BOARD ROOM UPGRADES	0	0	50,000
249-265-981-013	TWP HALL CUBICLE/CARPET DESIGN	0	0	10,000
249-265-981-014	HERBST HOME OFFICE RENOVATION	0	0	400,000
249-265-981-015	WAYFINDING SIGNS	0	0	3,000
Totals for dept 265 - BUILDING & GROUNDS		8,222	135,250	613,250
TOTAL APPROPRIATIONS		8,222	135,250	613,250
NET OF REVENUES/APPROPRIATIONS - FUND 249		293,048	164,840	(61,810)
BEGINNING FUND BALANCE		188,436	188,436	353,276
ENDING FUND BALANCE		481,484	353,276	291,466

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 401 - ROAD IMPROVEMENT FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
401-000-665-001	INTEREST	18,571	6,000	22,800
401-000-699-000	OPERATING TRANSFER IN	640,000	640,000	1,000,000
Totals for dept 000 - REVENUE		658,571	646,000	1,022,800
TOTAL ESTIMATED REVENUES		658,571	646,000	1,022,800
APPROPRIATIONS				
Dept 223 - AUDIT				
401-223-801-000	AUDIT	400	500	500
Totals for dept 223 - AUDIT		400	500	500
Dept 446 - ROAD PROJECTS				
401-446-804-000	DUST CONTROL/CHLORIDE	89,204	90,000	95,000
401-446-812-001	CHILSON RD - HAMBURG TO BRIGHTON	299,409	320,000	0
401-446-812-002	KELLOGG - LIMESTONE G.C. TO MCCLEMENS	0	0	125,000
401-446-812-003	KELLOGG - GRAVEL G.R. TO MCCLEMENS	0	0	105,000
401-446-812-004	EULER GRAVEL	0	0	90,000
401-446-812-005	MCCLEMENS LIMESTONE	0	0	127,000
401-446-812-006	CHALLIS/BAUER ROUNDABOUT	0	0	500,000
401-446-812-007	CHILSON ROAD-BECK TO GRAND RIVER	0	0	600,000
Totals for dept 446 - ROAD PROJECTS		388,613	410,000	1,642,000
Dept 906				
401-906-956-000	MISC EXPENSE	500	600	600
Totals for dept 906 -		500	600	600
TOTAL APPROPRIATIONS		389,513	411,100	1,643,100
NET OF REVENUES/APPROPRIATIONS - FUND 401		269,058	234,900	(620,300)
BEGINNING FUND BALANCE		722,024	722,024	956,924
ENDING FUND BALANCE		991,082	956,924	336,624

2/26/2024

GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 464 - GENOA TOWNSHIP ARPA				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
464-000-665-001	INTEREST	30,383	8,250	1,000
Totals for dept 000 - REVENUE		30,383	8,250	1,000
TOTAL ESTIMATED REVENUES		30,383	8,250	1,000
APPROPRIATIONS				
Dept 261 - GENERAL GOVERNMENT				
464-261-803-001	LAKE EDGEWOOD CONSOLIDATION	631,621	631,621	0
Totals for dept 261 - GENERAL GOVERNMENT		631,621	631,621	0
Dept 262 - ELECTIONS				
464-262-803-000	ELECTION MACHINE	36,495	36,495	0
Totals for dept 262 - ELECTIONS		36,495	36,495	0
Dept 521 - REFUSE COLLECTION				
464-521-802-000	ADDITIONAL RECYCLING EXPENSES	0	0	224,000
Totals for dept 521 - REFUSE COLLECTION		0	0	224,000
Dept 900 - CAPITAL OUTLAY FUNCTION				
464-900-977-001	BROADBAND	0	0	112,500
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		0	0	112,500
Dept 906				
464-906-956-000	MISC EXPENSE	500	300	600
Totals for dept 906 -		500	300	600
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES				
464-965-995-101	TRANFER OUT - FUND #101 - GENERAL FUND	0	0	34,631
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES:		0	0	34,631
TOTAL APPROPRIATIONS		668,616	668,416	371,731
NET OF REVENUES/APPROPRIATIONS - FUND 464		(638,233)	(660,166)	(370,731)
BEGINNING FUND BALANCE		18,979	18,979	(641,187)
ENDING FUND BALANCE		(619,254)	(641,187)	(1,011,918)
Unearned Revenue(Money Received prior years but not yet spent)				1,011,918.00
Ending Balance				-

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 532 - GENOA OP-GO CONVERSION DEBT				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
532-000-665-001	INTEREST	14,833	600	15,000
532-000-699-592	TRANSFER IN OP OPER # 592	269,709	356,000	358,000
Totals for dept 000 - REVENUE		284,542	356,600	373,000
TOTAL ESTIMATED REVENUES		284,542	356,600	373,000
APPROPRIATIONS				
Dept 223 - AUDIT				
532-223-801-000	AUDIT	0	1,001	1,000
Totals for dept 223 - AUDIT		0	1,001	1,000
Dept 906				
532-906-956-000	AGENT FEES	550		550
532-906-956-001	MISC EXPENSE	450		450
532-906-991-001	PRINCIPAL ON LONG TERM DEBT	323,750	145,688	330,000
532-906-992-001	INTEREST ON LONG TERM DEBT	83,138		79,987
Totals for dept 906 -		407,888	145,688	410,987
TOTAL APPROPRIATIONS		407,888	146,689	411,987
NET OF REVENUES/APPROPRIATIONS - FUND 532		(123,346)	209,911	(38,987)
BEGINNING FUND BALANCE		(4,333,225)	(4,333,225)	(4,333,225)
ENDING FUND BALANCE		(4,456,571)	(4,333,225)	(4,495,558)

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 240304A

**2024-2025 GENERAL APPROPRIATIONS ACT
BUDGET RESOLUTION
FISCAL YEAR: APRIL 1, 2024 THROUGH MARCH 31, 2025**

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at 6:30pm at the Township Hall on Monday, March 4, 2024 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

**2024-2025 GENERAL APPROPRIATIONS ACT
BUDGET RESOLUTION
FISCAL YEAR: APRIL 1, 2024 THROUGH MARCH 31, 2025**

WHEREAS, the Charter Township Act, MCL 42.1 et. seq, as amended, requires the Township to prepare a detailed budget for the upcoming fiscal year; and

WHEREAS, the Uniform Budgeting and Accounting Act, MCL 141.421 et seq, as amended, which is applicable to the Township, requires that the Township pass a general appropriation act setting forth certain information for the upcoming fiscal year; and

WHEREAS, the Township Board of Genoa Charter Township (“the Board”) seeks to adopt a resolution, which shall be known as the “2024-2025 General Appropriations Act”, which authorizes the Township to levy and collect taxes and authorize the spending of the money collected in the manner set forth below and in the approved budget document for the Fiscal Year beginning April 1, 2024 and ending March 31, 2025;

NOW THEREFORE BE IT RESOLVED by the Board of Trustees of Genoa Charter Township the following:

Section 1: Title

This resolution shall be known as the 2024-2025 Genoa Charter Township General Appropriations Act.

Section 2: Chief Administrative Officer

The Supervisor, pursuant to state law, shall be the Chief Administrative Officer and shall perform the duties of the Chief Administrative Officer enumerated in this resolution.

Section 3: Public Hearings on the Budget

Pursuant to MCL 42.26, 141.412 and 141.413 notice of a public hearing on the proposed budget was published in the Livingston Daily, a newspaper of general circulation on January 28, 2024, and a public hearing on the proposed budget was held on February 05, 2024.

Section 4: Millage Levy

The Genoa Charter Township Board shall cause to be levied and collected the general property tax on all real and personal property within the township upon the current tax roll an amount equal to 0.7774 mills as authorized under state law.

Section 5: Estimated Revenues and Expenditures

The estimated total revenues and expenditures for the various funds, wages and or salaries is presented in Exhibit A.

Section 6: Adoption of Budget by Reference

The 2024-2025 fiscal year budget for the various funds by Department is hereby adopted by reference, with revenues and activity expenditures as indicated in Section 6 and Exhibit A of this resolution.

Section 7: Appropriation not a Mandate to Spend

Appropriations will be deemed maximum authorizations to incur expenditures. The Township officials responsible for the expenditures authorized in the budget may expend township funds up to, but not exceed, the total appropriation for each Department.

Section 8: Payment of Bills

Pursuant to MCL 41.75, as amended, all claims (bills) against the Township shall be approved by the Board prior to being paid. Certain bills may be paid prior to approval by the Township Board to avoid late penalties, service charges and interest, and payroll in accordance with the approved salaries and wages adopted in this appropriations act. The Board shall receive a list of claims (bills) paid prior to approval so that they may be approved at the next Board Meeting.

Section 9: Budget Monitoring

Whenever it appears to the Chief Administrative Officer or the Township Board that the actual and probable revenues in any fund will be less than the estimated revenues upon which appropriations from such fund were based, and when it appears that expenditures shall exceed an appropriation, the Chief Administrative Officer shall present to the township board recommendations to prevent expenditures from exceeding available revenues or appropriations for the current fiscal year. Such recommendations shall include proposals for reducing appropriations, increasing revenues, or both.

Section 10: Board Adoption

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared adopted.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date

EXHIBIT A

2/26/2024

GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 101 - GENERAL FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
101-000-402-001	CURRENT REAL PROP TAX	770,547	1,200,000	1,220,000
101-000-411-001	DELINQ TAX - PERSONAL & REAL	3,099	1,000	1,000
101-000-434-002	TRAILER FEES	3,419	4,000	3,600
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	364,676	400,000	430,000
101-000-448-002	COLLECTION FEE - SCHOOLS	24,573	25,000	25,000
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	44,519	59,359	59,359
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS	0	7,263	15,494
101-000-476-001	CABLE FRANCHISE	369,849	410,000	390,000
101-000-476-002	LICENSE & PERMITS	18,754	20,000	20,000
101-000-567-001	CEMETERY REVENUE	1,200	800	400
101-000-572-001	METRO ACT REVENUE	21,636	15,500	21,700
101-000-573-001	LCSA-PPT REIMBURSEMENT	19,250	25,500	20,200
101-000-574-002	STATE SHARED REVENUE	1,930,449	2,210,292	2,346,759
101-000-608-000	CHARGES FOR SERV-APPL FEES	78,878	60,000	60,000
101-000-609-000	CHARGES FOR SERVICES- FOIA/PRINTING	332	500	500
101-000-626-032	ADM FEE LIQUOR LAW	2,704	3,500	3,790
101-000-631-000	REFUSE COLLECTION FEES	920,730	1,270,000	1,348,457
101-000-657-001	ORDINANCE FINES	900	1,000	1,500
101-000-665-001	INTEREST	71,974	10,000	65,000
101-000-671-000	OTHER REVENUE	6,763	1,000	1,000
101-000-672-000	TAXES ON LAND TRANSFER	143,380	149,000	145,000
101-000-682-000	ELECTION REIMBURSEMENTS	8,303	0	0
101-000-698-202	TRANSFER IN - SAD RESIDUAL BALANCE	0	0	500
101-000-699-249	MMRMA REIMBURSEMENT	11,327	10,000	10,000
101-000-699-464	TRANSFER IN FROM ARPA FUND #464	0	0	266,683
Totals for dept 000 - REVENUE		4,817,262	5,883,714	6,455,942
TOTAL ESTIMATED REVENUES		4,817,262	5,883,714	6,455,942
APPROPRIATIONS				
Dept 101 - TOWNSHIP BOARD				
101-101-702-014	TRUSTEES/SECRETARY WAGES & SALARIES	32,336	37,575	40,000
101-101-861-000	TRUSTEES MILEAGE & TRAVEL EXPENSE	1,443	3,800	3,000
101-101-910-000	TRUSTEES PRO DEV/CONFERENCE/DUES	11,063	15,000	15,000
101-101-955-000	TRUSTEES MISCELLANEOUS	0	100	100
Totals for dept 101 - TOWNSHIP BOARD		44,842	56,475	58,100

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 171 - TOWNSHIP SUPERVISOR				
101-171-702-014	TWP SUPERVISOR SALARY	58,215	65,877	70,000
101-171-861-000	SUPERVISOR MILEAGE & TRAVEL EXPENSE	109	500	500
101-171-910-000	SUPERVISOR PRO DEV/CONFERENCE/DUES	170	1,000	500
101-171-955-000	SUPERVISOR MISCELLANEOUS	0	1,000	500
Totals for dept 171 - TOWNSHIP SUPERVISOR		58,494	68,377	71,500
Dept 172 - TOWNSHIP MANAGER				
101-172-702-014	TWP MANAGER SALARY	133,716	151,500	160,000
101-172-703-000	MANAGER DEPT WAGES & SALARIES	40,796	45,460	48,500
101-172-861-000	MANAGER DEPT MILEAGE & TRAVEL EXPENSE	0	1,000	1,000
101-172-910-000	MANAGER DEPT PRO DEV/CONFERENCE/DUES	2,241	4,000	4,000
101-172-955-000	MANAGER DEPT MISCELLANEOUS	0	1,000	1,000
Totals for dept 172 - TOWNSHIP MANAGER		176,753	202,960	214,500
Dept 191 - ACCOUNTING & FINANCE				
101-191-703-000	ACCT DEPT WAGES & SALARIES	70,656	85,458	91,000
101-191-801-000	ACCOUNTING CONSULTANT (PHP)	16,903	30,000	30,000
101-191-801-001	FINANCIAL CONSULTING (PFM)	1,000	1,200	1,200
101-191-861-000	ACCT DEPT MILEAGE & TRAVEL EXPENSE	0	100	100
101-191-910-000	ACCT DEPT PRO DEV/CONFERENCE/DUES	0	500	100
101-191-955-000	ACCT DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 191 - ACCOUNTING & FINANCE		88,559	118,258	122,900
Dept 215 - TOWNSHIP CLERK				
101-215-702-014	TWP CLERK SALARY	52,120	58,755	58,755
101-215-703-000	CLERKS DEPT WAGES & SALARIES	25,348	44,000	65,000
101-215-861-000	CLERKS DEPT MILEAGE & TRAVEL EXPENSE	0	200	0
101-215-910-000	CLERKS DEPT PRO DEV/CONFERENCE/DUES	46	100	700
101-215-955-000	CLERKS DEPT MISCELLANEOUS	0	100	100
Totals for dept 215 - TOWNSHIP CLERK		77,514	103,155	124,555
Dept 223 - AUDIT				
101-223-801-000	AUDIT SERVICES (MANOR COSTERISAN)	27,400	30,900	34,000
Totals for dept 223 - AUDIT		27,400	30,900	34,000
Dept 228 - INFORMATION TECHNOLOGY				
101-228-703-000	IT DEPT WAGES & SALARIES	66,971	77,000	81,000
101-228-861-000	IT DEPT MILEAGE & TRAVEL EXPENSE	0	500	500
101-228-910-000	IT DEPT PRO DEV/CONFERENCE/DUES	0	200	200
101-228-955-000	IT DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 228 - INFORMATION TECHNOLOGY		66,971	78,700	82,200

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 247 - BOARD OF REVIEW				
101-247-702-014	BOARD OF REVIEW SALARIES	516	4,410	4,000
101-247-791-000	BD OF REV PUBLICATIONS	480	1,000	1,100
101-247-861-000	BD OF REV MILEAGE & TRAVEL EXPENSE	64	100	100
101-247-910-000	BD OF REV PRO DEV/CONFERENCE/DUES	160	540	540
101-247-955-000	BD OF REV MISCELLANEOUS	110	500	500
101-247-964-000	REFUNDS & CHARGEBACKS	429	5,000	5,000
Totals for dept 247 - BOARD OF REVIEW		1,759	11,550	11,240
Dept 253 - TOWNSHIP TREASURER				
101-253-702-014	TREASURER SALARY	58,396	65,918	69,000
101-253-703-000	TREASURERS DEPT WAGES & SALARIES	92,262	101,004	110,000
101-253-861-000	TREASURERS DEPT MILEAGE & TRAVEL EXPENSE	362	1,000	750
101-253-910-000	TREASURERS DEPT PRO DEV/CONFERENCE/DUES	183	500	500
101-253-955-000	TREASURERS DEPT MISCELLANEOUS	0	1,000	500
Totals for dept 253 - TOWNSHIP TREASURER		151,203	169,422	180,750
Dept 257 - ASSESSING DEPARTMENT				
101-257-702-014	ASSESSING SALARIES	218,559	253,458	266,000
101-257-703-000	ASSESSING WAGES & SALARIES INTERN	0	10,000	10,000
101-257-803-000	ASSESSING LEGAL	650	15,000	15,000
101-257-861-000	ASSESSING MILEAGE & TRAVEL EXPENSE	0	500	500
101-257-910-000	ASSESSING PRO DEV/CONFER/DUES/SUB	2,978	5,000	5,000
101-257-955-000	ASSESSING MISCELLANEOUS	40	1,000	500
Totals for dept 257 - ASSESSING DEPARTMENT		222,227	284,958	297,000
Dept 261 - GENERAL GOVERNMENT				
101-261-703-000	UNALLOCATED WAGES & SALARIES	0	2,000	2,000
101-261-709-000	EMPLOYER'S SHARE SS & MEDICARE	71,427	110,000	110,000
101-261-709-001	CELLPHONE REIMBURSEMENT	2,729	4,000	5,800
101-261-709-002	WORKERS COMP	8,062	11,000	11,000
101-261-718-001	RETIREMENT	156,925	201,456	155,000
101-261-718-002	HEALTH/LIFE INSURANCE	263,507	225,000	320,000
101-261-718-003	WELLNESS	4,571	8,000	8,000
101-261-718-004	EHIM RESERVE	0	50,000	50,000
101-261-750-000	SUPPLIES	18,338	27,000	25,000
101-261-750-001	POSTAGE	22,610	33,000	30,000
101-261-751-000	EQUIP / SOFTWARE / SOFTWARE MAINTENANCE	93,560	200,000	125,000
101-261-752-000	WEBSITE MAINTENANCE	0	0	20,000
101-261-791-000	SUBSCRI/PUBLICATIONS/MEMBERS	8,691	6,000	6,000
101-261-802-000	CONTRACTUAL SERVICES / CONSULTING	5,880	35,000	10,000
101-261-802-001	TWP VEHICLE EXPENSES	488	2,000	2,000
101-261-861-000	UNALLOCATED MILEAGE & TRAVEL EXPENSE	0	100	100
101-261-941-000	CONTINGENCY	4,477	50,000	30,000
101-261-955-000	UNALLOCATED MISCELLANEOUS	1,367	1,000	3,000
Totals for dept 261 - GENERAL GOVERNMENT		662,632	965,556	912,900

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 262 - ELECTIONS				
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	38,355	50,000	40,000
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	10,410	45,000	40,000
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	0	5,000	5,000
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	600	800	1,600
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	14,662	15,000	17,000
101-262-791-000	ELECTION PUBLICATIONS	260	1,500	1,500
101-262-802-001	ELECTION MEETING FEES	1,350	1,500	1,200
101-262-802-002	BALLOT TESTING	1,881	10,000	10,000
101-262-802-003	LIVINGSTON COUNTY CLERK	0	9,000	9,000
101-262-802-004	CHURCH / SCHOOL CLEANUP/SETUP/ TAKE DOW	3,530	5,425	5,500
101-262-802-005	ELECTION BREAKFAST / DINNER	874	1,700	1,800
101-262-861-001	ELECTION MILEAGE & TRAVEL	225	575	500
101-262-901-001	POSTAGE FOR APPLICATIONS	11,687	8,000	0
101-262-901-002	POSTAGE FOR MAILING BALLOTS	7,472	6,000	8,000
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	2,704	200	300
101-262-955-000	ELECTION MISCELLANEOUS	44	1,500	1,500
Totals for dept 262 - ELECTIONS		94,054	161,200	142,900
Dept 265 - BUILDING & GROUNDS				
101-265-740-000	INSURANCE - PROP LIAB/VEHICLE	50,171	54,510	53,000
101-265-802-000	BUILDING & GROUNDS CONTRACTUAL SERVICES	0	1,000	1,000
101-265-850-000	PHONE/INTERNT/CABLE/ALARM	22,854	30,000	30,000
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	18,626	25,000	23,000
101-265-934-060	REPAIRS & MAINTENANCE	74,797	150,000	130,000
101-265-955-000	BUILDING & GROUNDS MISCELLANEOUS	366	5,000	5,000
Totals for dept 265 - BUILDING & GROUNDS		166,814	265,510	242,000
Dept 266 - LEGAL SERVICES				
101-266-803-000	GENERAL TOWNSHIP LEGAL FEES	20,463	75,000	50,000
101-266-803-001	LITIGATION LEGAL FEES	58,862	100,000	100,000
Totals for dept 266 - LEGAL SERVICES		79,325	175,000	150,000
Dept 270 - HUMAN RESOURCES				
101-270-703-000	HR WAGES & SALARIES	17,432	19,286	20,500
101-270-802-000	HR CONTRACTUAL SERVICES	0	2,500	1,500
101-270-861-000	HR MILEAGE & TRAVEL EXPENSE	0	100	100
101-270-910-000	HR PRO DEV/CONFERENCE/DUES	0	500	500
101-270-955-000	HR MISCELLANEOUS	0	1,000	500
Totals for dept 270 - HUMAN RESOURCES		17,432	23,386	23,100
Dept 445 - DRAINS AT LARGE				
101-445-802-000	CONTRACTUAL SERVICES - LIVINGSTON COUNTY	0	30,000	25,000
Totals for dept 445 - DRAINS AT LARGE		0	30,000	25,000

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 521 - REFUSE COLLECTION				
101-521-802-000	REFUSE CONTRACTUAL SERVICES	1,219,745	1,422,000	1,557,576
Totals for dept 521 - REFUSE COLLECTION		1,219,745	1,422,000	1,557,576
Dept 567 - CEMETERY				
101-567-703-001	CEMETERY PURCHASE			
101-567-703-002	CEMETERY MAINTENANCE	6,095	10,000	8,000
Totals for dept 567 - CEMETERY		6,095	10,000	8,000
Dept 701 - PLANNING & ZONING				
101-701-702-014	PLANNING COMMISSION SALARIES	21,967	26,250	27,563
101-701-702-015	ZONING BOARD WAGES	10,918	15,750	16,538
101-701-703-000	PLANNING & ZONING WAGES & SALARIES	116,905	242,000	254,100
101-701-791-000	PLANNING & ZONING PUBLICATIONS	1,525	3,000	3,000
101-701-802-000	PLANNING & ZONING CONTRACTUAL SERVICES	22,868	50,000	30,000
101-701-861-000	PLANNING & ZONING MILEAGE & TRAVEL EXP	1,518	2,500	2,500
101-701-910-000	PLANNING & ZONING PRO DEV/CONFERENCE/DL	6,190	10,000	10,000
101-701-946-001	REVIEW SERVICES - PLANNING	40,190	35,000	45,000
101-701-946-002	REVIEW SERVICES - ENGINEERING	29,420	40,000	40,000
101-701-946-003	REVIEW SERVICES - PUBLICATIONS/POSTAGE	1,960	3,000	3,000
101-701-946-004	REVIEW SERVICES - ROUTING	1,215	2,000	2,000
101-701-946-005	REVIEW SERVICES - LEGAL/RECORDING FEES	7,771	10,000	10,000
101-701-955-000	PLANNING & ZONING MISCELLANEOUS	838	1,000	1,000
Totals for dept 701 - PLANNING & ZONING		263,285	440,500	444,701
Dept 728 - ECONOMIC DEVELOPMENT				
101-728-880-000	COMMUNITY PROMOTION - CONTRIBUTION	23,283	26,960	24,000
Totals for dept 728 - ECONOMIC DEVELOPMENT		23,283	26,960	24,000
Dept 900 - CAPITAL OUTLAY FUNCTION				
101-900-970-000	CAPITAL OUTLAY > \$5,000	31,691	150,000	50,000
101-900-975-000	CAPITAL OUTLAY < \$5,000	2,120	15,000	10,000
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		33,811	165,000	60,000
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES				
101-965-995-208	TRANSFER OUT- FUND #208 - PARKS & REC	850,000	850,000	850,000
101-965-995-249	TRANSFER OUT- FUND #249 - BLDG RESERVE	300,000	300,000	550,000
101-965-995-401	TRANSFER OUT- FUND #401 - ROAD IMPROVE	640,000	640,000	1,000,000
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		1,790,000	1,790,000	2,400,000
TOTAL APPROPRIATIONS		5,272,198	6,599,867	7,186,922
NET OF REVENUES/APPROPRIATIONS - FUND 101		(454,936)	(716,153)	(730,980)
BEGINNING FUND BALANCE		3,588,259	3,588,259	2,872,106
ENDING FUND BALANCE		3,133,323	2,872,106	2,141,126

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 202 - SAD ROADS AND LAKES				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
202-000-452-001	INTEREST	77,659	15,000	45,000
Totals for dept 000 - REVENUE		77,659	15,000	45,000
Dept 448 - STREETLIGHTS				
202-448-628-005	WHITE PINES LIGHTING -SAD PRINCIPAL	36	735	795
Totals for dept 448 - STREETLIGHTS		36	735	795
Dept 470				
202-470-628-005	FENDT DR (W18-22) -SAD PRINCIPAL	0	87,485	0
Totals for dept 470 -		0	87,485	0
Dept 472				
202-472-628-005	RED OAKS (W13-22) -SAD PRINCIPAL	7,847	52,155	0
Totals for dept 472 -		7,847	52,155	0
Dept 478				
202-478-628-005	HOMESTEAD (S22-31) -SAD PRINCIPAL	294	14,967	13,986
202-478-665-001	HOMESTEAD (S22-31) -INTEREST	0	2,993	2,238
Totals for dept 478 -		294	17,960	16,224
Dept 484				
202-484-628-005	EARL LAKE (W18-25) -SAD PRINCIPAL	710	18,803	18,803
Totals for dept 484 -		710	18,803	18,803
Dept 485				
202-485-628-005	NOVEL ESTATES (W18-25) -SAD PRINCIPAL	0	10,964	10,964
Totals for dept 485 -		0	10,964	10,964
Dept 487				
202-487-628-005	EDWIN DR (S19-23) -SAD PRINCIPAL	253	3,554	0
Totals for dept 487 -		253	3,554	0
Dept 489				
202-489-628-005	BLACK OAKS (W21-30) -SAD PRINCIPAL	0	916	922
202-489-665-001	BLACK OAKS (W21-30) -INTEREST	0	165	129
Totals for dept 489 -		0	1,081	1,051

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 490				
202-490-628-005	DARLENE DR (W21-30) -SAD PRINCIPAL	0	2,867	2,867
202-490-665-001	DARLENE DR (W21-30) -INTEREST	376	516	402
Totals for dept 490 -		376	3,383	3,269
Dept 491				
202-491-628-005	ELMHURST (S20-26) -SAD PRINCIPAL	0	7,612	7,612
202-491-665-001	ELMHURST (S20-26) -INTEREST	523	761	457
Totals for dept 491 -		523	8,373	8,069
Dept 492				
202-492-628-005	MCNAMARA (S23-32) -SAD PRINCIPAL	2,772	14,139	13,947
202-492-665-001	MCNAMARA (S23-32) -INTEREST	0	2,828	2,546
Totals for dept 492 -		2,772	16,967	16,493
Dept 494				
202-494-628-005	STILLRIVER (S23-32) -SAD PRINCIPAL	3,192	9,575	9,220
202-494-665-001	STILLRIVER (S23-32) -INTEREST	0	1,915	1,659
Totals for dept 494 -		3,192	11,490	10,879
Dept 495				
202-495-628-005	TIMBERVIEW PRIV (W23-32)-SAD PRINCIPLE	0	3,795	3,795
202-495-665-001	TIMBERVIEW PRIV (W23-32)-INTEREST	0	759	683
Totals for dept 495 -		0	4,554	4,478
Dept 496				
202-496-628-005	CRYSTAL VALLEY (S24-33) - SAD PRINCIPLE	14,760	0	36,900
202-496-665-001	CRYSTAL VALLEY (S24-33) - INTEREST	0	0	7,380
Totals for dept 496 -		14,760	0	44,280
Dept 570 - LAKE IMPROVEMENTS				
202-570-628-005	LK CHEMUNG (W23-27) -SAD PRINCIPAL	3,339	46,300	48,222
Totals for dept 570 - LAKE IMPROVEMENTS		3,339	46,300	48,222
Dept 571				
202-571-628-005	PARDEE LK (W21-25) -SAD PRINCIPAL	2,604	22,396	22,396
Totals for dept 571 -		2,604	22,396	22,396
Dept 572				
202-572-628-005	GRAND BEACH (W21-25) -SAD PRINCIPAL	0	14,125	14,125
Totals for dept 572 -		0	14,125	14,125

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 573				
202-573-628-005	E/W CROOKED LK (S23-27) -SAD PRINCIPAL	619	18,050	18,414
Totals for dept 573 -		619	18,050	18,414
Dept 575				
202-575-628-005	BAETCKE LK (S23-27) -SAD PRINCIPAL	0	7,600	7,600
Totals for dept 575 -		0	7,600	7,600
TOTAL ESTIMATED REVENUES		114,984	360,975	291,062
APPROPRIATIONS				
Dept 223 - AUDIT				
202-223-801-000	AUDIT	3,200	5,000	5,000
Totals for dept 223 - AUDIT		3,200	5,000	5,000
Dept 448 - STREETLIGHTS				
202-448-801-075	WHITE PINES LIGHTING -PROJECT EXPENSE	705	800	895
Totals for dept 448 - STREETLIGHTS		705	800	895
Dept 478				
202-478-801-075	HOMESTEAD (S22-31) -PROJECT EXPENSE			
202-478-802-000	HOMESTEAD (S22-31) -ANNUAL MAINT. EXP	13,508	13,508	3,100
Totals for dept 478 -		13,508	13,508	3,100
Dept 487				
202-487-801-075	EDWIN DR (S19-23) -PROJECT EXPENSE	4,445	1,500	3,800
Totals for dept 487 -		4,445	1,500	3,800
Dept 492				
202-492-801-075	MCNAMARA (S23-32) -PROJECT EXPENSE	192,685	192,685	0
Totals for dept 492 -		192,685	192,685	0
Dept 493				
202-493-801-075	PINE CREEK -ADMINISTRATIVE FEES	570	2,000	0
Totals for dept 493 -		570	2,000	0
Dept 494				
202-494-801-075	STILLRIVER (S23-32) -PROJECT EXPENSE	121,548	127,000	0
Totals for dept 494 -		121,548	127,000	0

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Dept 496				
202-496-801-075	CRYSTAL VALLEY (S24-33) - PROJECT EXP	234,080	369,000	134,920
Totals for dept 496 -		234,080	369,000	134,920
Dept 570 - LAKE IMPROVEMENTS				
202-570-801-075	LK CHEMUNG (W23-27) -PROJECT EXPENSE	39,724	55,000	55,000
Totals for dept 570 - LAKE IMPROVEMENTS		39,724	55,000	55,000
Dept 571				
202-571-801-075	PARDEE LK (W21-25) -PROJECT EXPENSE	21,341	30,000	22,700
Totals for dept 571 -		21,341	30,000	22,700
Dept 572				
202-572-801-075	GRAND BEACH (W21-25) -PROJECT EXPENSE	12,849	11,000	13,508
Totals for dept 572 -		12,849	11,000	13,508
Dept 573				
202-573-801-075	E/W CROOKED LK (S23-27) -PROJECT EXPENSE	17,336	15,000	15,000
Totals for dept 573 -		17,336	15,000	15,000
Dept 575				
202-575-801-075	BAETCKE LK (S23-27) -PROJECT EXPENSE	7,000	7,000	7,000
Totals for dept 575 -		7,000	7,000	7,000
Dept 852 - TRANSFER TO OTHER FUNDS				
202-852-995-101	SAD INTEREST TRANSFER OUT TO 101	0	7,263	8,000
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0	7,263	8,000
Dept 906				
202-906-956-000	MISC EXPENSE	864	600	600
Totals for dept 906 -		864	600	600
TOTAL APPROPRIATIONS		669,855	837,356	269,523
NET OF REVENUES/APPROPRIATIONS - FUND 202		(554,871)	(476,381)	21,539
BEGINNING FUND BALANCE		2,792,450	2,792,450	2,316,069
ENDING FUND BALANCE		2,237,579	2,316,069	2,337,608

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 208 - PARK/RECREATION FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
208-000-434-001	FARM LEASE REVENUE	0	0	2,800
208-000-665-001	INTEREST	35,716	6,000	6,000
208-000-699-101	TRANSFER IN FROM GF #101 OPERATING	850,000	850,000	850,000
208-000-699-249	DNR ACQUISITION /MATCH	0	138,000	0
Totals for dept 000 - REVENUE		885,716	994,000	858,800
TOTAL ESTIMATED REVENUES		885,716	994,000	858,800
APPROPRIATIONS				
Dept 223 - AUDIT				
208-223-801-000	AUDIT	300	500	500
Totals for dept 223 - AUDIT		300	500	500
Dept 536				
208-536-972-100	LAND FOR RECREATION	1,055,108	1,055,018	0
Totals for dept 536 -		1,055,108	1,055,018	0
Dept 751 - PARKS & RECREATION				
208-751-934-001	SENIOR SURVIVOR PARK PROJECT	814,000	814,000	0
208-751-934-006	PARK MASTER PLAN	8,028	30,000	30,000
208-751-934-007	HAPRA	121,125	120,000	124,500
208-751-934-010	B-BALL BENCHES PICNIC TABLE CHARGERS	6,790	19,200	0
208-751-934-011	BOARDWALK/RAILING IMPROVEMENTS	0	15,000	30,000
208-751-934-012	GRAND RIVER SIDEWALK INFILL	0	31,000	0
208-751-934-013	SECURITY UPGRADES	0	50,000	50,000
208-751-934-015	REPAIR/REPLACE RUBBER- POUR IN PLACE	118,061	132,000	13,200
208-751-934-016	TWP PAVILION RESTROOM EXPANSION/ADDITIC	0	0	200,000
208-751-934-017	NORTH SOCCER FIELD DRAINAGE REPAIR	0	0	60,000
208-751-934-018	PARKING EXPANSION/PICKLEBALL	0	0	500,000
208-751-934-019	WAYFINDING SIGNAGE	0	0	2,000
208-751-934-060	PATH / PARK MAINTENANCE	131,521	130,000	175,000
208-751-934-061	EQUIPMENT REPLACEMENT	0	0	5,000
Totals for dept 751 - PARKS & RECREATION		1,199,525	1,341,200	1,189,700
Dept 906				
208-906-956-000	MISC EXPENSE	1,025	600	1,000
Totals for dept 906 -		1,025	600	1,000
TOTAL APPROPRIATIONS		2,255,958	2,397,318	1,191,200
NET OF REVENUES/APPROPRIATIONS - FUND 208		(1,370,242)	(1,403,318)	(332,400)
BEGINNING FUND BALANCE		2,059,735	2,059,735	656,417
ENDING FUND BALANCE		689,493	656,417	324,017

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 212 - LIQUOR LAW ENFORCEMENT				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
212-000-574-001	STATE SHARED REV LIQUOR LAW	16,872	16,700	16,700
212-000-665-001	INTEREST	47	10	20
Totals for dept 000 - REVENUE		16,919	16,710	16,720
TOTAL ESTIMATED REVENUES		16,919	16,710	16,720
APPROPRIATIONS				
Dept 330 - LIQUOR LAW ENFORCEMENT				
212-330-702-013	LIQUOR LAW ENF WAGES	7,002	9,336	9,336
212-330-709-009	EMPLOYER'S SHARE FICA	543	724	724
212-330-715-002	RETIREMENT	701	933	933
212-330-801-070	AUDITING EXPENSE	400	500	500
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	2,704	3,605	3,605
212-330-860-070	VEHICLE EXPENSE	206	1,545	1,545
Totals for dept 330 - LIQUOR LAW ENFORCEMENT		11,556	16,643	16,643
TOTAL APPROPRIATIONS		11,556	16,643	16,643
NET OF REVENUES/APPROPRIATIONS - FUND 212		5,363	67	77
BEGINNING FUND BALANCE		3,836	3,836	3,903
ENDING FUND BALANCE		9,199	3,903	3,980

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 249 - BUILDING AND GROUNDS FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
249-000-665-001	INTEREST	1,270	90	1,440
249-000-699-000	OPERATING TRANSFER IN #101	300,000	300,000	550,000
Totals for dept 000 - REVENUE		301,270	300,090	551,440
TOTAL ESTIMATED REVENUES		301,270	300,090	551,440
APPROPRIATIONS				
Dept 265 - BUILDING & GROUNDS				
249-265-801-000	AUDIT	0	250	250
249-265-955-000	MISCELLANEOUS EXP	364	0	0
249-265-981-002	TWP HALL DR/PARKING LIGHT REPLACEMENT	3,945	10,000	0
249-265-981-007	ASPHALT REPLACE, REPAIRS & RESEALING	1,425	10,000	50,000
249-265-981-008	SECURITY UPGRADES	2,488	100,000	100,000
249-265-981-009	MISTER REPLACEMENT	0	15,000	0
249-265-981-012	TWP BOARD ROOM UPGRADES	0	0	50,000
249-265-981-013	TWP HALL CUBICLE/CARPET DESIGN	0	0	10,000
249-265-981-014	HERBST HOME OFFICE RENOVATION	0	0	400,000
249-265-981-015	WAYFINDING SIGNS	0	0	3,000
Totals for dept 265 - BUILDING & GROUNDS		8,222	135,250	613,250
TOTAL APPROPRIATIONS		8,222	135,250	613,250
NET OF REVENUES/APPROPRIATIONS - FUND 249		293,048	164,840	(61,810)
BEGINNING FUND BALANCE		188,436	188,436	353,276
ENDING FUND BALANCE		481,484	353,276	291,466

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 401 - ROAD IMPROVEMENT FUND				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
401-000-665-001	INTEREST	18,571	6,000	22,800
401-000-699-000	OPERATING TRANSFER IN	640,000	640,000	1,000,000
Totals for dept 000 - REVENUE		658,571	646,000	1,022,800
TOTAL ESTIMATED REVENUES		658,571	646,000	1,022,800
APPROPRIATIONS				
Dept 223 - AUDIT				
401-223-801-000	AUDIT	400	500	500
Totals for dept 223 - AUDIT		400	500	500
Dept 446 - ROAD PROJECTS				
401-446-804-000	DUST CONTROL/CHLORIDE	89,204	90,000	95,000
401-446-812-001	CHILSON RD - HAMBURG TO BRIGHTON	299,409	320,000	0
401-446-812-002	KELLOGG - LIMESTONE G.C. TO MCCLEMENS	0	0	125,000
401-446-812-003	KELLOGG - GRAVEL G.R. TO MCCLEMENS	0	0	105,000
401-446-812-004	EULER GRAVEL	0	0	90,000
401-446-812-005	MCCLEMENS LIMESTONE	0	0	127,000
401-446-812-006	CHALLIS/BAUER ROUNDABOUT	0	0	500,000
401-446-812-007	CHILSON ROAD-BECK TO GRAND RIVER	0	0	600,000
Totals for dept 446 - ROAD PROJECTS		388,613	410,000	1,642,000
Dept 906				
401-906-956-000	MISC EXPENSE	500	600	600
Totals for dept 906 -		500	600	600
TOTAL APPROPRIATIONS		389,513	411,100	1,643,100
NET OF REVENUES/APPROPRIATIONS - FUND 401		269,058	234,900	(620,300)
BEGINNING FUND BALANCE		722,024	722,024	956,924
ENDING FUND BALANCE		991,082	956,924	336,624

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 464 - GENOA TOWNSHIP ARPA				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
464-000-665-001	INTEREST	30,383	8,250	1,000
Totals for dept 000 - REVENUE		30,383	8,250	1,000
TOTAL ESTIMATED REVENUES		30,383	8,250	1,000
APPROPRIATIONS				
Dept 261 - GENERAL GOVERNMENT				
464-261-803-001	LAKE EDGEWOOD CONSOLIDATION	631,621	631,621	0
Totals for dept 261 - GENERAL GOVERNMENT		631,621	631,621	0
Dept 262 - ELECTIONS				
464-262-803-000	ELECTION MACHINE	36,495	36,495	0
Totals for dept 262 - ELECTIONS		36,495	36,495	0
Dept 521 - REFUSE COLLECTION				
464-521-802-000	ADDITIONAL RECYCLING EXPENSES	0	0	224,000
Totals for dept 521 - REFUSE COLLECTION		0	0	224,000
Dept 900 - CAPITAL OUTLAY FUNCTION				
464-900-977-001	BROADBAND	0	0	112,500
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		0	0	112,500
Dept 906				
464-906-956-000	MISC EXPENSE	500	300	600
Totals for dept 906 -		500	300	600
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES				
464-965-995-101	TRANFER OUT - FUND #101 - GENERAL FUND	0	0	34,631
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES:		0	0	34,631
TOTAL APPROPRIATIONS		668,616	668,416	371,731
NET OF REVENUES/APPROPRIATIONS - FUND 464		(638,233)	(660,166)	(370,731)
BEGINNING FUND BALANCE		18,979	18,979	(641,187)
ENDING FUND BALANCE		(619,254)	(641,187)	(1,011,918)
Unearned Revenue(Money Received prior years but not yet spent)				1,011,918.00
			Ending Balance	-

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GL NUMBER	DESCRIPTION	2023-24 ACTIVITY THRU 01/31/24	2023-24 AMENDED BUDGET	2024-25 RECOMMENDED BUDGET
Fund 532 - GENOA OP-GO CONVERSION DEBT				
ESTIMATED REVENUES				
Dept 000 - REVENUE				
532-000-665-001	INTEREST	14,833	600	15,000
532-000-699-592	TRANSFER IN OP OPER # 592	269,709	356,000	358,000
Totals for dept 000 - REVENUE		284,542	356,600	373,000
TOTAL ESTIMATED REVENUES		284,542	356,600	373,000
APPROPRIATIONS				
Dept 223 - AUDIT				
532-223-801-000	AUDIT	0	1,001	1,000
Totals for dept 223 - AUDIT		0	1,001	1,000
Dept 906				
532-906-956-000	AGENT FEES	550		550
532-906-956-001	MISC EXPENSE	450		450
532-906-991-001	PRINCIPAL ON LONG TERM DEBT	323,750	145,688	330,000
532-906-992-001	INTEREST ON LONG TERM DEBT	83,138		79,987
Totals for dept 906 -		407,888	145,688	410,987
TOTAL APPROPRIATIONS		407,888	146,689	411,987
NET OF REVENUES/APPROPRIATIONS - FUND 532		(123,346)	209,911	(38,987)
BEGINNING FUND BALANCE		(4,333,225)	(4,333,225)	(4,333,225)
ENDING FUND BALANCE		(4,456,571)	(4,333,225)	(4,495,558)

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 240304B

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at 6:30pm at the Township Hall on Monday, March 4, 2024 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION TO ESTABLISH THE WAGES AND SALARIES FOR APPOINTED OFFICIALS

NOW THEREFORE, BE IT RESOLVED that for the fiscal year beginning on April 1, 2024, the base wage for the appointed officials on the Planning Commission, Zoning Board of Appeals, and Board of Review shall be increased by four (4%) percent. The chairperson for the Planning Commission and Zoning Board of Appeals shall get the per diem plus an additional ten dollars (\$10.00). The hereby established base salaries shall therefore be adopted as follows:

Planning Commission and Zoning Board of Appeals (Per Diem) - \$ 211.58 (Chairperson - \$221.58)

Board of Review (Hourly) - \$29.81 hourly

Recording Secretary (Per Diem) - \$188.91 plus \$25 per ½ hour after 9:30pm

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared adopted.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 240304C

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the "Township") held at 6:30pm at the Township Hall on Monday, March 4, 2024 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION TO ESTABLISH THE WAGES AND SALARIES FOR ELECTED OFFICIALS

NOW THEREFORE, BE IT RESOLVED that for the fiscal year beginning on April 1, 2024, the base wage salaries* for the elected officials shall be increased by four (4%) percent with the exception of the Clerk which shall remain static as adopted by the Board on March 15, 2021. The hereby established base salaries shall therefore be adopted as follows:

Supervisor	\$ 68,522
Treasurer	\$ 67,254
Clerk	\$ 57,505
Trustees	\$ 246.64 Per-Diem

*(base wage salaries do not include pay for longevity, cell phone reimbursement or medical opt out)

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared adopted.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 27, 2024
RE: Euler Road Gravel Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for the Euler Road gravel resurfacing project. This project was originally budgeted in the 23/24 fiscal year and was moved to the 24/25 fiscal year. Approval of this agreement will ensure that the project is completed this construction season.

Please consider the following motion:

Moved by _____ and supported by _____ to approve a project agreement with the Livingston County Road Commission to improve approximately 4,900 feet of Euler Road from the end of the payment to McClements Road for gravel resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$90,000 from Road Improvement Fund # 401-446-812-004

Sincerely,



Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

PROJECT AGREEMENT
JOB NUMBER: 489.05.5133BV

This Agreement made and entered into this _____ day of _____, 2024 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

EULER ROAD
(FROM END OF PAVEMENT TO MCCLEMENTS ROAD)
APPROXIMATELY 4,900 FEET
GRAVEL RESURFACING, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$90,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
BILL ROGERS, SUPERVISOR

PAULETTE A. SKOLARUS, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 27, 2024
RE: Kellogg Road Limestone Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for the Kellogg Road Limestone resurfacing project. This project was originally budgeted in the 23/24 fiscal year and was moved to the 24/25 fiscal year. Approval of this agreement will ensure that the project is completed this construction season.

Please consider the following motion:

Moved by _____ and supported by _____ to approve a project agreement with the Livingston County Road Commission to improve approximately 5,370 feet of Kellogg Road from Golf Club Road to McClements Road for limestone resurfacing with limited drainage and necessary related work with the Township’s cost not to exceed \$125,000 from Road Improvement Fund # 401-446-812-002.

Sincerely,

Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

PROJECT AGREEMENT
JOB NUMBER: 489.05.5135BV

This Agreement made and entered into this _____ day of _____, 2024 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

**KELLOGG ROAD
(FROM GOLF CLUB ROAD TO MCCLEMENTS ROAD)
APPROXIMATELY 5,370 FEET
LIMESTONE RESURFACING, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$125,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
BILL ROGERS, SUPERVISOR

PAULETTE A. SKOLARUS, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 27, 2024
RE: Kellogg Road Gravel Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for the Kellogg Road Gravel resurfacing project. This project was originally budgeted in the 23/24 fiscal year and was moved to the 24/25 fiscal year. Approval of this agreement will ensure that the project is completed this construction season.

Please consider the following motion:

Moved by _____ and supported by _____ to approve a project agreement with the Livingston County Road Commission to improve approximately 6,065 feet of Kellogg Road from Grand River Avenue to McClements Road for gravel resurfacing with limited drainage and necessary related work with the Township’s cost not to exceed \$105,000 from Road Improvement Fund # 401-446-812-003.

Sincerely,

Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

PROJECT AGREEMENT
JOB NUMBER: 489.05.5134BV

This Agreement made and entered into this _____ day of _____, 2024 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

**KELLOGG ROAD
(FROM GRAND RIVER AVENUE TO MCCLEMENTS ROAD)
APPROXIMATELY 6,065 FEET
GRAVEL RESURFACING, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$105,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
BILL ROGERS, SUPERVISOR

PAULETTE A. SKOLARUS, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 27, 2024
RE: McClements Road Limestone Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for the McClements Road limestone resurfacing project. This project was originally budgeted in the 23/24 fiscal year and was moved to the 24/25 fiscal year. Approval of this agreement will ensure that the project is completed this construction season.

Please consider the following motion:

Moved by _____ and supported by _____ to approve a project agreement with the Livingston County Road Commission to improve approximately 5,472 feet of McClements Road from Kellogg Road to Hacker Road for limestone resurfacing with limited drainage and necessary related work with the Township's cost not to exceed \$127,000 from Road Improvement Fund # 401-446-812-005.

Sincerely,

Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

PROJECT AGREEMENT
JOB NUMBER: 489.05.5136BV

This Agreement made and entered into this _____ day of _____, 2024 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

**MCCLEMENTS ROAD
(FROM KELLOGG ROAD TO HACKER ROAD)
APPROXIMATELY 5,472 FEET
LIMESTONE RESURFACING, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$127,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
BILL ROGERS, SUPERVISOR

PAULETTE A. SKOLARUS, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: February 27, 2024
RE: Handrail Replacement – Brighton Road and Bauer Road

Please find attached three proposals to replace the 20-year-old wooden guardrail/handrails adjacent to the Brighton Road and Bauer Road bike paths. See area map below with locations and pictures of the existing handrails.



SUPERVISOR
Bill Rogers
CLERK
Paulette A. Skolarus
TREASURER
Robin L. Hunt
TRUSTEES
Jean W. Ledford
Terry Croft
Diana Lowe
Jeff Dhaenens
MANAGER
Kelly VanMarter

North side of Brighton Road – West of Bauer:



North side of Brighton Road – East of Bauer:



West side Bauer Road – South of Challis Road:



Over the past few years the Township has replaced the boardwalks associated with these same pathways with a Trex composite material to improve safety and longevity. See image below of the Brighton Road boardwalk replacement project:



For your consideration, I have provided three proposals to remove the old wooden rails and replace them with a trex composite material which will match the appearance, safety and durability of the boardwalk railings. The proposals have been submitted by Tyler Young with Spruce Homes and Hardscapes. Mr. Young performed the boardwalk work and is proven to be responsive, hardworking, honest and fair priced. See summary of proposal costs below:

LOCATION	COST
BRIGHTON ROAD – WEST OF BAUER ROAD	\$9,645.00
BRIGHTON ROAD – EAST OF BAUER ROAD	\$1,865.00
BAUER ROAD – SOUTH OF CHALLIS ROAD	\$11,711.00
TOTAL:	\$23,221.00

Due to the age of the existing railings and bikepaths I am requesting Board approval of the proposal amount PLUS an additional 10% for contingency which is \$25,543.10, rounded up to \$26,000.

In this regard, please consider the following motion:

Moved by _____ and supported by _____ to approve three proposals from Spruce Homes and Hardscapes to remove the existing wood handrails and replace them with Trex composite handrails for the Brighton Road and Bauer Road bike paths at a cost not to exceed \$26,000 from Parks and Recreation, Boardwalk/Railing Improvement Fund #208-751-934-011.

Sincerely,



Kelly VanMarter



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Adam VanTassell

DATE: March 4th, 2024

RE: Township Hall Preventative Pest Control – Building Sealing

The Township Hall has experienced larger and larger incursions by pests such as mice, bats and ants in recent years. Due to the age of the building, there are an increasing numbers of gaps for pests to gain entry into the building. A recent inspection shows evidence of mice and bats in the attic. Township Staff has received proposals to seal up the entire exterior of the Hall.

Recommended Motion

- A. Moved by _____, Supported by _____ to approve the proposal from Wingman Pest Control for \$12, 446.50.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

ESTIMATE



Prepared For

Genoa Township Hall
2911 Dorr Road
Brighton, MI 48116
(810) 227-5225

Wingman Pest Control

10079 Colonial Industrial Drive
South Lyon, MI 48178
Phone: (810) 923-3364
Email: service@wingmanpest.com
Web: www.wingmanpest.com

Estimate # 16550
Date 02/23/2024
Business / Tax # 81-5445007

Description	Rate	Quantity	Total
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Animal Removal Service Fee - Two Species	\$1,648.90	1	\$1,648.90
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Control target nuisance wildlife from inside of the structure. This type of service is done in conjunction with sealing work. Includes a 3 year warranty on all sealing work and materials.

- Bats are removed from inside of a structure by installing a one-way door system over their main entry points.

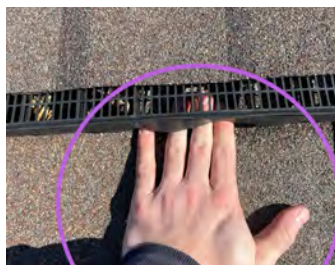
- Mice are controlled by applying rodenticide as needed in attic, basement, and or garage.

Interior Aggressive Mouse Trapping - 2 Week	\$438.90	1	\$438.90
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Interior trapping service for mice. Traps will be set for 2 weeks. Traps will be checked 2-3 times per week. Mouse trapping service needs to be done in conjunction with sealing work and animal removal.

Ridge Vent Guard Screen	\$8.80	394	\$3,467.20
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Using Ridge Guard vent screen to protect against animal entry at the roof ridge vent. The black powder coated galvanized steel is chew proof.



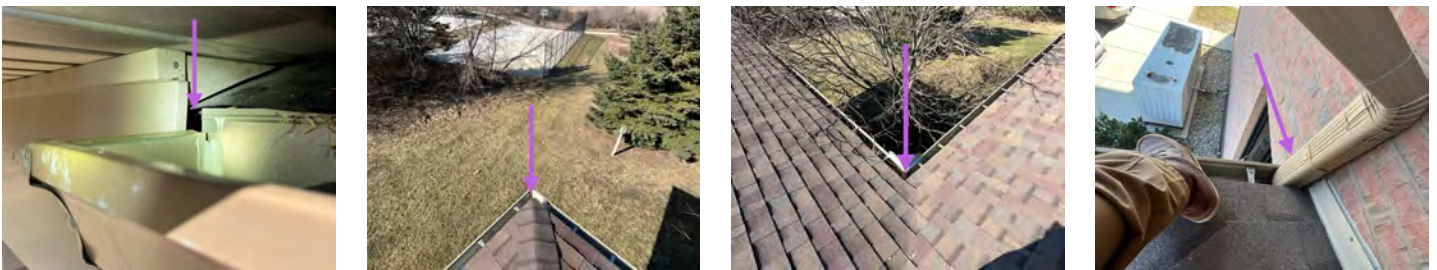
Roof Return	\$55.00	10	\$550.00
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Seal roof return gap with metal and caulk or custom metal repair.



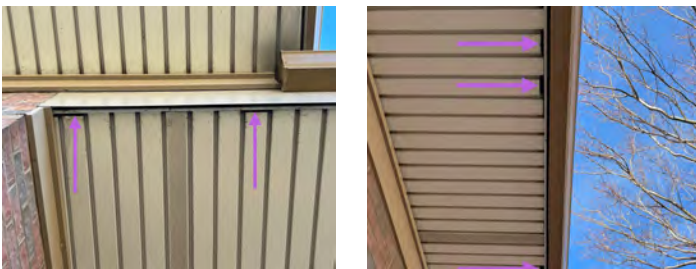
Drip Edge Gap - Small	\$16.50	6	\$99.00
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Seal gap in drip edge using caulk and metal backer, or using custom metal repair.



Soffit Gap - Small	\$22.00	9	\$198.00
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Seal gaps in soffit with metal and caulk or custom metal repair.



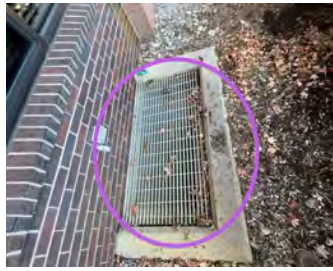
Frieze Board Gap	\$33.00	8	\$264.00
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Seal gaps in the frieze board with metal and caulk, or custom metal repair.



Exhaust Vent Screen - Large	\$165.00	1	\$165.00
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Install custom made screen over open exhaust vent to keep out wildlife.



Conduit Pipe Gaps - Large

\$55.00

1

\$55.00

Seal gap around pipe penetrations using caulk with metal backer.



Weep Hole - Stainless Steel Screen

\$16.50

335

\$5,527.50

Installing Stainless Steel weep hole screens on structure. Weep hole screens stop mice, snakes, and other small pests from entering your home while maintaining ventilation and drainage.



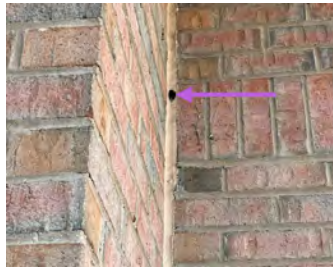
Foundation Gaps - Small

\$11.00

2

\$22.00

Seal gaps on foundation with metal and caulk, or custom metal repair.



Door Frame Gap - Small

\$11.00

1

\$11.00

Seal gaps around exterior door frames using caulk and metal backer.



Subtotal	\$12,446.50
Total	\$12,446.50

Notes:

**If the sealing work estimate is approved along with the monthly Rodent Defender and Pest Services the Rodent Defender setup fee (\$699.00) will be waived from estimate #2235.

Please see contract for terms.



Mouse pathway through the attic insulation.



Mouse tunnel through the attic insulation.



Mouse tunnel and mouse droppings in the attic space.



Mouse droppings in the attic space.



Mouse droppings in the attic space.



Mouse droppings above the drop ceiling.



Mouse droppings above the drop ceiling.



Mouse droppings above the drop ceiling.



Bat droppings in the attic space.



Bat droppings throughout the attic space.

TERMS OF SERVICE:

PEST(S) TO BE CONTROLLED

See front of Wingman Pest Control, Inc. Wildlife Service Agreement. This agreement does not provide the control or prevention of wood destroying organisms: powder post beetles, wood borers, wood wasps, wood decaying fungus, or termites.

This agreement does not cover bedbugs, mosquitos, or wildlife unless indicated, or any other pests not indicated herein.

SEALING WORK

All animal-proofing materials used in sealing up a structure are guaranteed for 36 months from the date of service. Only work performed by Wingman Pest Control is covered in the guarantee. No sealing work performed by the client or any other 3rd party falls under our guarantee.

Failure to have the recommended necessary repairs and/or preventative sealing work listed in the inspection report voids any guarantee against future nuisance animal entry in those specific areas.

Mouse-proofing performed by Wingman Pest Control has proven to be 99% effective when the complete control is performed. A combination of sealing work and rodenticide application on the interior of the structure is the surest way to keep mice under control. The guarantee will be for control of a mouse infestation, but we do not guarantee that a single mouse cannot make it back inside of the structure. Entry doors left open as well as garage doors left open can be an ongoing possibility for the sighting of a random mouse.

If a live bat is found in your structure, Wingman Pest Control will attempt to locate the bat for a reasonable amount of time. If it is during the bat's hibernation period (Dec-Apr), a follow-up inspection on the exterior will be scheduled when it can be done safely (May-Nov). Wingman Pest Control is not responsible for any possible rabies exposure from bats or any other animal found inside or outside of the living structure.

New holes created on a structure by having construction, renovations, or caused by any natural act of the weather are not covered under the Wingman Pest Control guarantee.

TRAPS AND TRAPPING WILD ANIMALS

Due to the unpredictable nature of wild animals, the actual capture of the nuisance animal is not guaranteed. For example: a nuisance animal damaging the yard can sometimes be shy of traps and avoid them despite being baited, can leave the area on their own before having the chance of being captured, can die off-site of natural causes before being captured, etc.

Animals captured past 4:00pm possibly may not be picked up and removed until the following day.

Wingman Pest Control is not responsible for any damage to persons or property caused by the capture and/or removal of a nuisance animal. This includes skunk's spraying, removal of dead

animals from inside of structures, animals biting, or injury to person or non-target animal injured by a set trap.

Customers are responsible for the security of the traps while set on their property and will be charged for the full retail replacement value of any traps damaged or stolen while on their property. This includes third party companies running over traps with lawn mowers or other such vehicles.

Genoa Township Hall

ESTIMATE



Prepared For

Genoa Township
2911 Dorr Rd
Brighton, MI 48116
(810) 227-5225

Knock'em Out Pest Control

P.O.Box 2242
Howell, MI 48844
Phone: (517) 548-7709
Email: appointments@knockemoutpest.com
Web: www.knockemoutpest.com

Estimate # 319
Date 02/05/2024

Description	Rate	Quantity	Total
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Bat Exclusion/Rodent	\$950.00	1	\$950.00
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Remove target nuisance wildlife from inside of a structure. This type of service is done in conjunction with sealing work.
Bats are removed using a one-way door system. Mice are controlled by use of a rodenticide in attic, basement and garage for control. We would also recommend our exterior rodent program. This will help to reduce the population on the exterior.

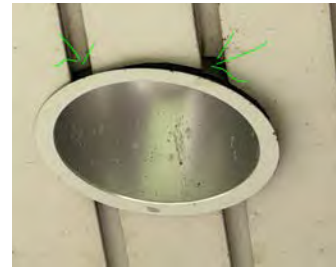
Soffit	\$65.00	8	\$520.00
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We will seal areas around soffits, overhangs



Soffit	\$550.00	1	\$550.00
--------	----------	---	----------

We will seal areas around trim, light fixtures, fix loose soffit



Ridge Guard

\$11.00

385

\$4,235.00

We will install ridge guard around existing ridge vent. Ridge guard will prevent wildlife from gaining access through ridge vent. Length/price is a rough estimate as we did not measure from on top of the roof. We will charge for materials used, so price could increase or decrease depending on actual finished length.



Trim

\$11.25

620

\$6,975.00

We will seal along where soffit meets the brick veneer, caulk ALL groves around in soffit. Holes go behind brick veneer



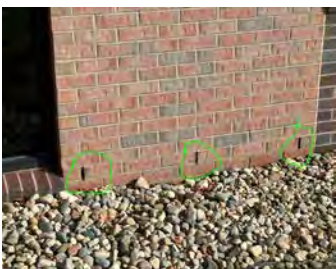
Weep holes

\$9.75

400

\$3,900.00

Installation of stainless steel weep hole covers in all weep holes around structure. There are roughly 400 weep hole some are berried under ground. we will have to remove the soil around them



Subtotal	\$17,130.00
Total	\$17,130.00

1. Sealing Work:

All areas performed by Knock'em Out are guaranteed. Animal-proofing materials used in sealing up a structure are guaranteed for 24-months from start of work. Additional guarantee extensions are available under a separate agreement. Only work performed by Knock'em Out Pest Control is covered in the guarantee. If the client or any other 3rd party do any sealing on the structure that would also void our guarantee.

If all recommended work is not completed on the home for necessary repairs it will also void out any guarantee for future animal entry on any areas not performed.

Mouse proofing that is performed on your home is effective as long as all areas are completed that was found during the initial inspection. Along with sealing we would recommend an exterior rodent program. This will help reduce the overall population of ALL rodents. Mice can gain access into a home as small as a dime size hole. Mice can also gain access into a home via open doors such as garage, basement etc. This service is for rodent infestation and not for a random mouse in the house.

Repairs completed by Knock'em Out, if wildlife re-enters the home or noise is heard we will come out and re-inspect our repairs. If it is not one of our repairs there will be a service charge and or additional charge for repairs on home. This also does not include wildlife from chewing, tearing open any new areas on structure.

2. Terms

A 3% per month late charge of the balance is applied to accounts delinquent 30-days or more and a \$35.00 charge will be applied on returned checks. Accounts past due more than 90-days are

subject to loss of all work guarantees, service, and may be sent to a collections agency.

3. Home Improvements:

If a new roof, additions, or other improvements on the areas that were performed by Knock'em Out will also void out warranty. If a new roof is installed this will usually permit wildlife back into the structure.

By signing this document, the customer agrees to the services and conditions outlined in this document.

Genoa Township