

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
FEBRUARY 20, 2024
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

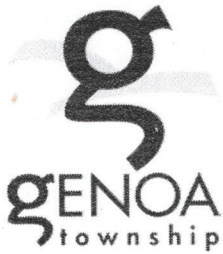
Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

1. 24-03...A request by Jacob Lubig of Ventures Design, 3910 Honors Bluff, for a rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct an addition to an existing home.
2. 24-04...A request by Jon and Danielle Wlodarczak, 4183 Homestead Dr., for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to install a whole house generator.
3. 24-05...A request by Kristie Dennes, 6511 Forest Beach Dr., for a side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to install a whole house generator.
4. 24-06...**REQUEST TO WITHDRAW** A request by Craig Sheffer, 855 Victory Dr., for a capacity variance for a fuel storage tank and any other variance deemed necessary by the Zoning Board of Appeals to allow 1,000 gallons of fuel storage.
5. 24-07...**REQUEST TO WITHDRAW** A request by John Cleary, 3820 Crystal Valley Dr., for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to install a whole house generator.

Administrative Business:

1. Approval of minutes for the January 23, 2024 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

| |
|--|
| <p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p> |
|--|



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 2403 Meeting Date: 2-20-24

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

✓ Applicant/Owner: Ventures Design (Jacob Lubig) Email: Lubig@ventures-design.com
Property Address: 3910 Honors B1F Phone: (734) 395-4375
Present Zoning: MUPUD Tax Code: 4711-28-304-006

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: We are requesting a 16' Variance to construct a covered deck structure 34' from the rear property line.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

• Covered decks are an allowable structure in this district per ordinance, but there is no space for the homeowners to build because of their 50' rear setback. Denying the Variance would deprive the homeowners rights commonly enjoyed by other property owners.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

• The 50' rear yard setback abuts the back of their home which leaves no room at all for this kind of improvement. The buildable space in their rear yard is limited compared to neighboring properties. This is caused by their trapezoid shaped lot. The home needed to be set further back in order to meet side yard setbacks.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

• This improvement will cause no additional burden to neighboring properties in regards to public safety and welfare.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

• The covered area will not extend beyond the existing deck. Our proposed concept is designed to be harmonious with the aesthetic of the home and neighborhood.

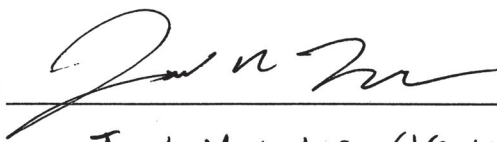
Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 1/11

Signature: _____



Jacob M. Lubig (Ventures Design)

3910 Honors Bluff

My name is Jacob Lubig with Ventures Design & Build located at 25168 Seeley Rd, Novi, MI representing the Cregar family who reside at 3910 Honors Bluff. We're proposing to build a new deck with a covered roof in place of their existing deck on their property. We originally submitted for a land use permit for this project back in November of 2022. After a short review we were given approval with the stipulation that the roof structure must maintain a 50' setback from the rear property line which is the principal structure setback in this MUPUD district. Obviously, the approval by the township was an error and were told a variance would be required. A township associate suggested we discuss the design with the neighborhood's HOA before we moved forward with the variance request. Through our discussions with the association we made a few minor adjustments and designed a concept within the HOA's standards. This also reduced the size of the roof structure to allow us to request the least amount of variance necessary.

We're asking for a variance to allow this roof structure based on the following criteria:

Practical Difficulty / Substantial Justice

- The property has a uniquely shallow rear yard preventing any kind of room to construct a covered deck structure. Covered decks are an allowable structure in this district per ordinance and strict compliance with the rear yard setback leaves our client without any rear yard space to enjoy the same property rights possessed by other properties in the same zoning district. Other homeowners in the neighborhood have similar structures and denying this variance would deprive the homeowner rights commonly enjoyed by other property owners. What we are proposing is a permitted use structure and the current zoning ordinance is prohibiting the owners their privilege/right that their peers in the community enjoy.
- The depth of the homeowners lot is approximately 157' from front to back, where each of the immediate neighbors have lots that are approximately 177' from front to back. There is no denying that this lot is much more shallow than others in the neighborhood. This creates a practical difficulty in that all of the setbacks have been maxed out on this lot. If this lot had the additional 20' of buildable space like the other homes in this neighborhood then the homeowners would not be dealing with this practical difficulty and this variance would not be necessary.

Extraordinary Circumstances

- The home is located on a uniquely shallow trapezoid shaped lot. The 50' rear yard setback abuts the back of their home which leaves no room at all for this kind of improvement. Because of the trapezoid shape the home was forced to be constructed this far back on the lot to be built within the side yard setbacks. It was also constructed this far back to leave enough room for the garage to be within the front yard setbacks.
- The home is also located off the 4th hole of the Oak Point Honors golf course, and the rear yard is directly in line with the direction of the tee boxes. This has put the rear of the home in the path of golf balls, which is a safety concern for anybody using the existing deck. Our clients have expressed that it is very frequent that balls have flown onto their

existing deck which is a major reason why they are seeking this renovation. They are expecting a child in the upcoming months and would like a safer place to enjoy the outdoors as a family.

Public Safety and Welfare

- Granting this variance will not impair an adequate supply of light or air to the adjacent property, or unreasonably increase the congestion of public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the township of Genoa.

Impact of Surrounding Neighborhood

- The variance will not interfere with, or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhoods. The covered area will not extend beyond the existing deck. Our proposed concept has been submitted to the Oak Pointe Honors HOA and received full approval. It was our goal to design something that would be harmonious with the aesthetic of the home and neighborhood.



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: February 15, 2024
RE: ZBA 24-03

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: 24-03
Site Address: 3910 Honors Bluff Drive
Parcel Number: 4711-28-304-006
Parcel Size: .37 Acres
Applicant: Ventures Design, Jacob Lubig
Property Owner: Adam and Madison Cregar, 3910 Honors Bluff, Howell
Information Submitted: Application, site plan, building plans
Request: Dimensional Variance
Project Description: Applicant is requesting a rear yard setback variance to construct a covered deck.
Zoning and Existing Use: MUPUD (Mixed Use Planned Unit Development) – Oak Pointe Honors, Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday February 4, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information on file:

- Per assessing records the parcel has an existing single-family dwelling built in 1998.
- In 1998, a land use permit was issued for a new construction home.
- In 1999, a land use permit was issued for a new deck.
- In 1999, a variance was denied for a 3-season room.
- In 2010, a variance was applied for a 2-season room. Staff could not find records of the variance request being heard at a meeting.
- In 2023, a land use permit was issued in error and then denied due to proposed covered deck not meeting the rear yard setback.
- The property utilizes a public water and sewer system.
- See Real Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The applicant is proposing to construct a covered deck at the rear of an existing home. In order to do this the applicant is requesting a rear yard setback variance.

Variance Requests

The regulations in the zoning ordinance pertaining to this variance are as follows:

Oak Pointe PUD Rear Yard Setback: **REVISED SETBACKS**

| OAK POINTE PUD - SETBACKS | Projection REAR Yard Setback |
|---------------------------|-------------------------------------|
| REAR YARD SETBACK | 50' |
| REQUESTED SETBACK | 34' |
| REQUESTED VARIANCE AMOUNT | 16' |

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** – Strict compliance with the rear yard setback would prevent the applicant from constructing a covered deck however it would not prevent the use of the property. Granting of the requested variance would not do substantial justice to the applicant as well as other property owners in the district. It is not necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same vicinity of the subject parcel. According to Township Assessing records, granting of this variance would make the covered deck one of the largest in the Oak Pointe Honors subdivision and it would be the only encroachment into the rear yard setback.
- (b) Extraordinary Circumstances** – The lot is a conforming parcel in the MUPUD zoning district. There are no exceptional circumstances of the property. Although, the lot is the smallest in the Oak Pointe Honors Subdivision, the home is larger than the average home in the neighborhood which is a self-created condition by the original owner. The size of the covered portion of the deck could be reduced in square footage to make it the least amount necessary.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**GENOA TOWNSHIP
ZONING BOARD OF APPEALS
March 9th, 1999**

MINUTES

A regular meeting of the Zoning Board of Appeals was called to order by Chairman Staley at 7:00 p.m. at the Genoa Township Hall. The following board members were present constituting a quorum for the transaction of business: Rick Staley, Barbara Figurski, Paulette Skolarus, Nancy Litogot and Robert Murray. Also present were Mike Archinal, Township Manager and approximately 15 persons in the audience.

Moved by Murray, supported by Figurski, to approve the agenda with the tabling of item seven. The motion carried.

A call to the public was made with no response.

1. *99-04...A request by Ken Janus, Section 07, the request is to allow 2 horses on 6.33 acres, instead of 6.5 acres, which is allowed only in Country Estate or Agricultural.*

A call to the public was made with no response. Moved by Murray, supported by Figurski, to deny the request since there was no demonstrated hardship or practical difficulty presented by the petitioner. The motion carried unanimously.

2. *99-05... A request by Echelon Homes, 3910 Honors Way, Section 28, for a 36' variance to the rear yard setback as it relates to deck.*

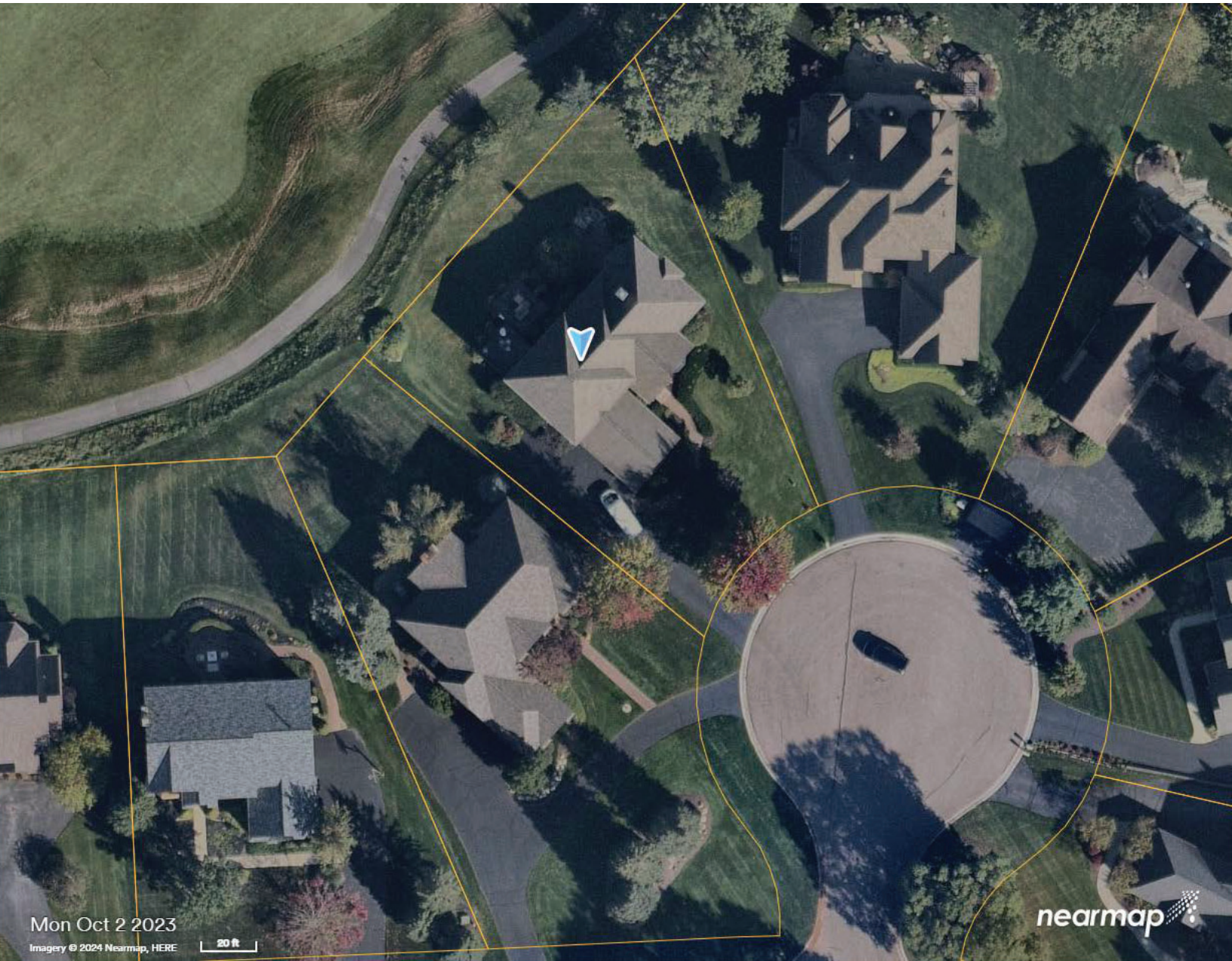
A call to the public was made with no response. A letter was received from Rich Leenstra asking the board to reject the petition. Moved by Skolarus, supported by Figurski, to deny the request since no hardship or practical difficulty that related to the land was presented by the petitioner. The Motion carried unanimously.

3. *99-06...A request by Thomas Enright, 5620 Bauer Road, Section 35, for a 29' variance to the front yard setback.*

A call to the public was made with no response. Moved by Murray, supported by Figurski, to approve a 35' variance to the front as requested. The hardship is the unusual topography of the land. The motion carried unanimously.

4. *99-07...A request by Stephen Kupa, Lot 44, Oak Pointe Highlands, Section 28, for a 10' variance to the rear setback.*

A call to the public was made with no response. Moved by Figurski, supported by Murray, to deny the request since no practical difficulty or demonstrated hardship was

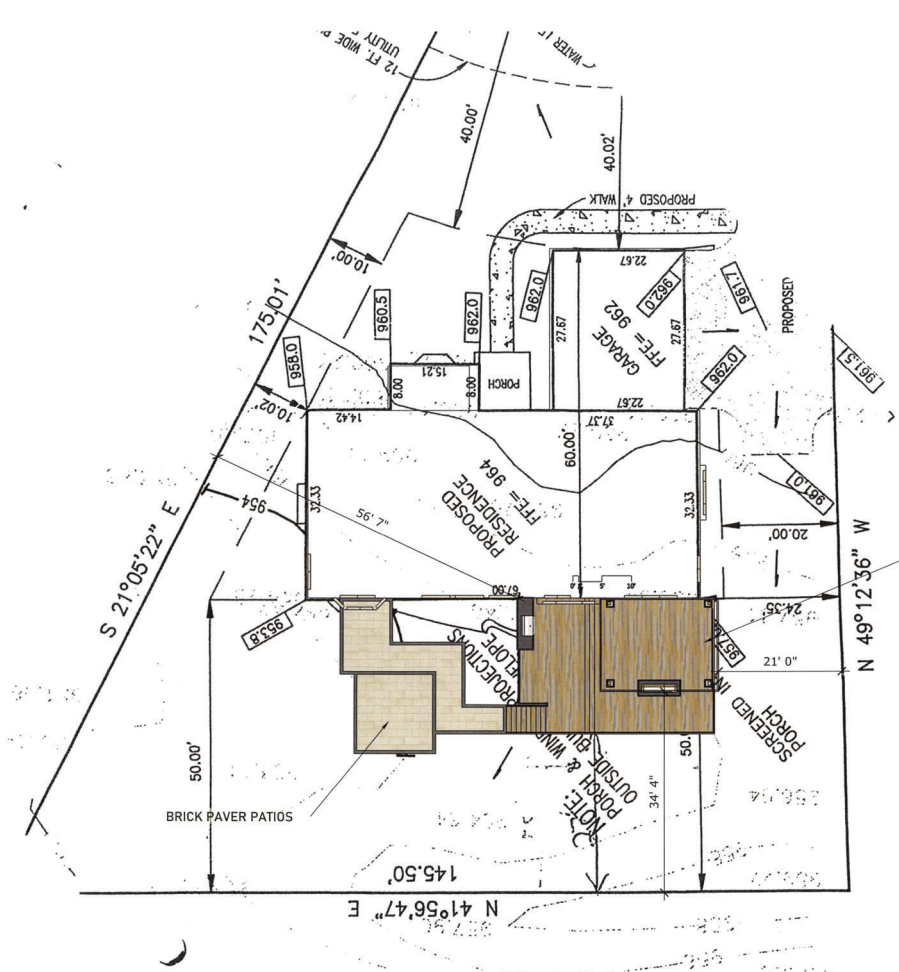


Mon Oct 2 2023

Imagery © 2024 Nearmap, HERE

20 ft

nearmap



**GENOA TOWNSHIP
LAND USE PERMIT
APPROVED**

VENTURES

29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

CLIENT
12-18 Cregar Tech Plar

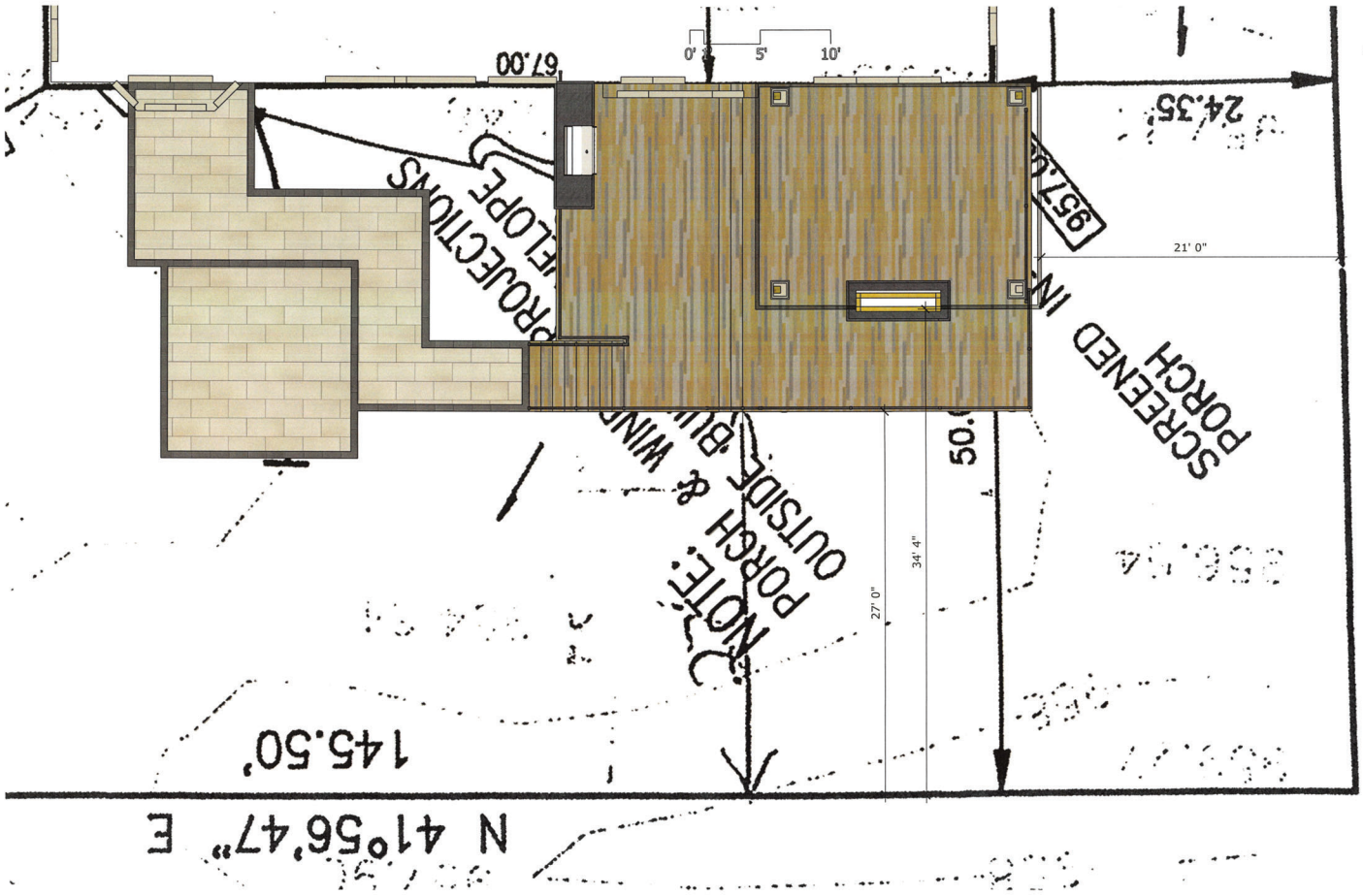
ADDRESS
3910 Honors Blf
Howell, MI 48843

DESCRIPTION
OVERLAY VIEW

SCALE
1" = 20'

ISSUE
12-22-23

NOTES



VENTURES

29454 Hass Rd
 Wixom, MI 48393
 248-767-1666
 ventures-design.com

CLIENT
 2-18 Cregar Tech Plan

ADDRESS
 3910 Honors Bldg
 Howell, MI 48843

DESCRIPTION
 OVERLAY VIEW

SCALE
 1" = 8'

ISSUE
 12-22-23

NOTES



VENTURES

29454 Hass Rd
Wixom, MI 48393
248-767-1666
ventures-design.com

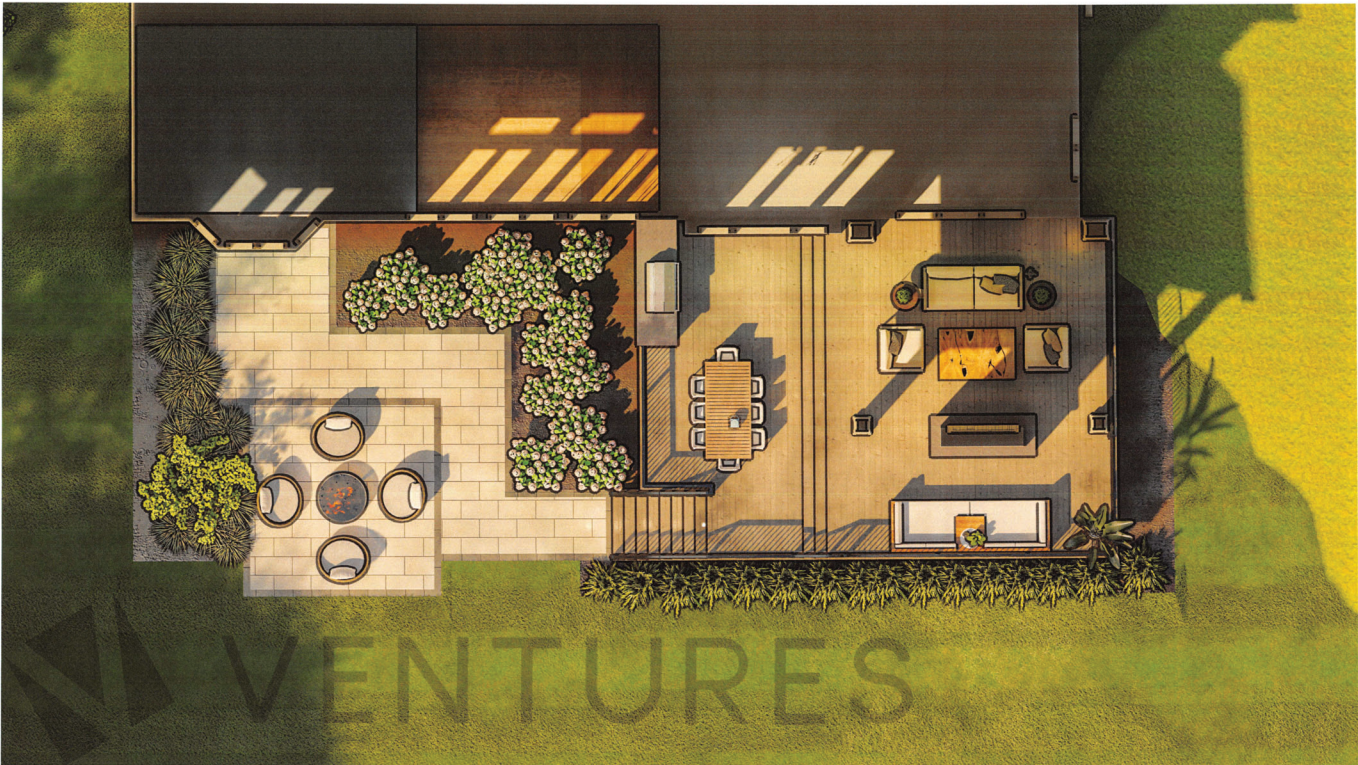
CLIENT
12-18 Cregar Tech Plan

ADDRESS
3910 Honors Blf
Howell, MI 48843

DESCRIPTION
CONCEPT VIEW

ISSUE
12-22-23

NOTES



VENTURES

29454 Hass Rd
Wixom, MI 48393
248-767-1666
ventures-design.com

CLIENT
12-18 Cregar Tech Plan

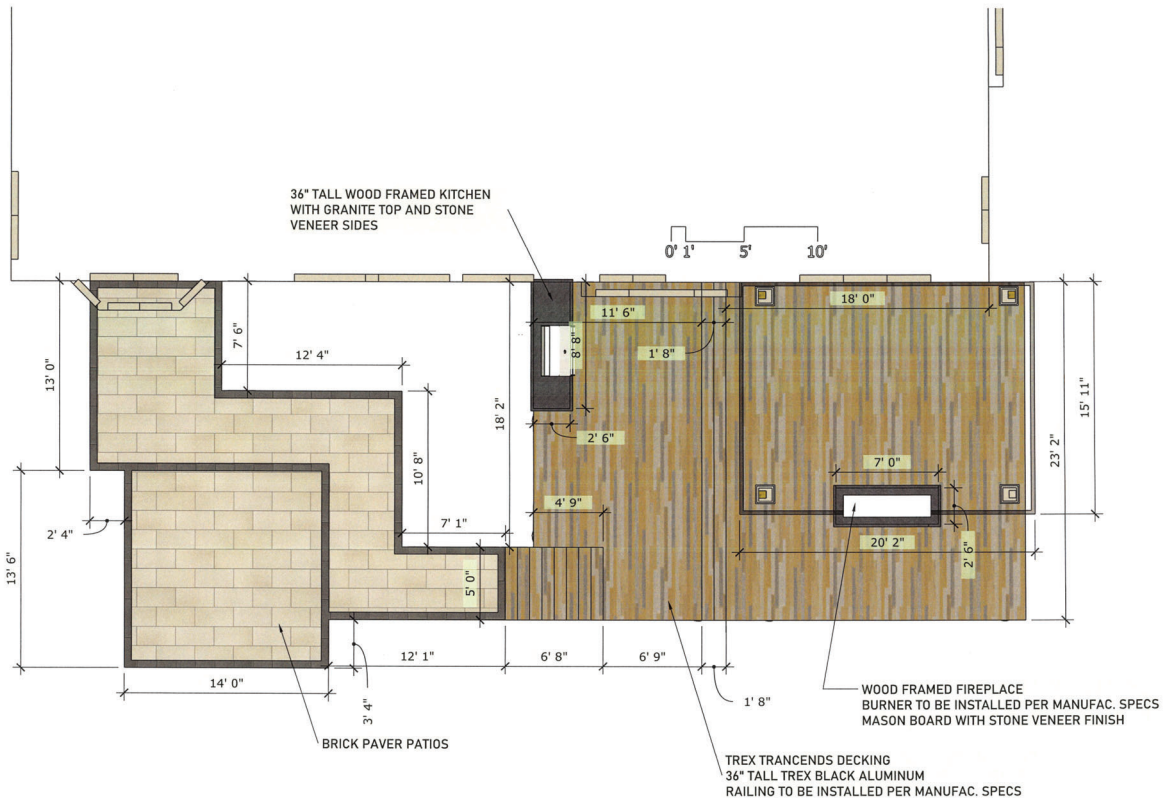
ADDRESS
3910 Honors Blf
Howell, MI 48843

DESCRIPTION
CONCEPT VIEW

ISSUE
12-22-23

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VENTURES

29454 Hass Rd
Wixom, MI 48393
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ventures-design.com

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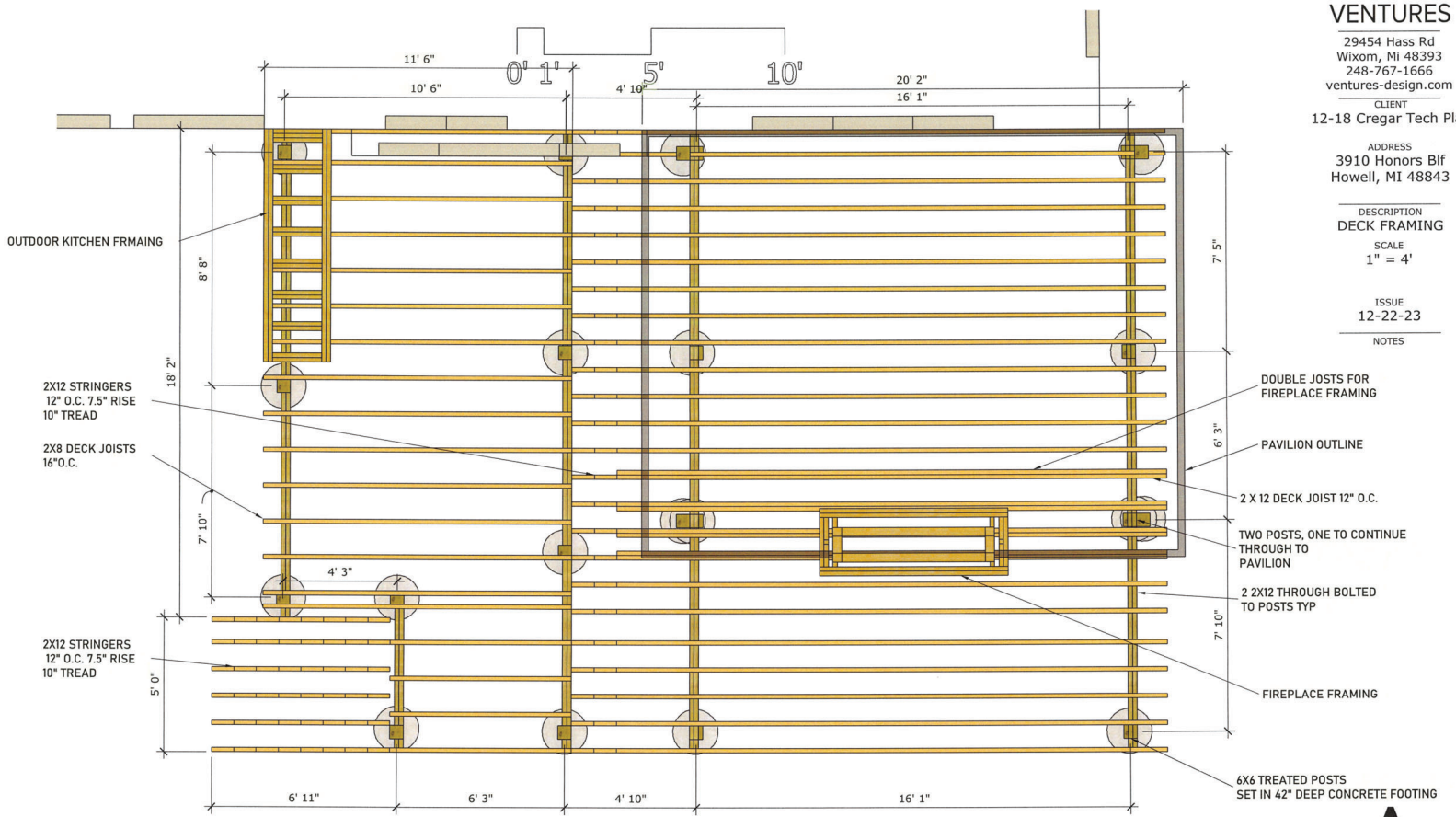
ADDRESS
3910 Honors Blf
Howell, MI 48843

DESCRIPTION
PLAN VIEW

SCALE
1" = 8'

ISSUE
12-22-23

NOTES



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 ventures-design.com

CLIENT
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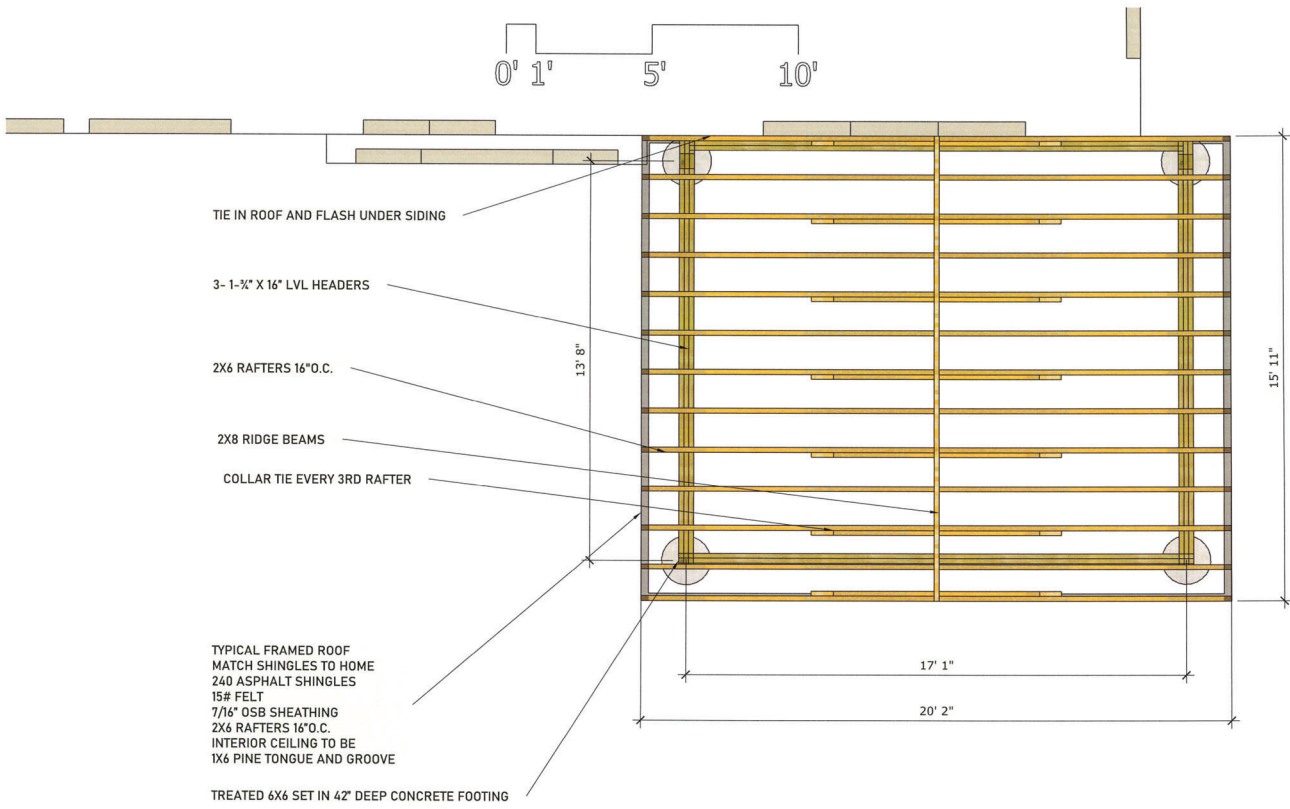
ADDRESS
 3910 Honors Bldg
 Howell, MI 48843

DESCRIPTION
DECK FRAMING

SCALE
 1" = 4'

ISSUE
 12-22-23

NOTES



TIE IN ROOF AND FLASH UNDER SIDING

3- 1-7/8" X 16" LVL HEADERS

2X6 RAFTERS 16" O.C.

2X8 RIDGE BEAMS

COLLAR TIE EVERY 3RD RAFTER

TYPICAL FRAMED ROOF
 MATCH SHINGLES TO HOME
 240 ASPHALT SHINGLES
 15# FELT
 7/16" OSB SHEATHING
 2X6 RAFTERS 16" O.C.
 INTERIOR CEILING TO BE
 1X6 PINE TONGUE AND GROOVE

TREATED 6X6 SET IN 42" DEEP CONCRETE FOOTING

VENTURES

29454 Hass Rd
 Wixom, MI 48393
 248-767-1666
 ventures-design.com

CLIENT
 12-18 Cregar Tech Plan

ADDRESS
 3910 Honors Blf
 Howell, MI 48843

DESCRIPTION
 PAVILION
 FRAMING

SCALE
 1" = 4'
 ISSUE
 12-22-23

NOTES

VENTURES

29454 Hass Rd
Wixom, MI 48393
248-767-1666
ventures-design.com

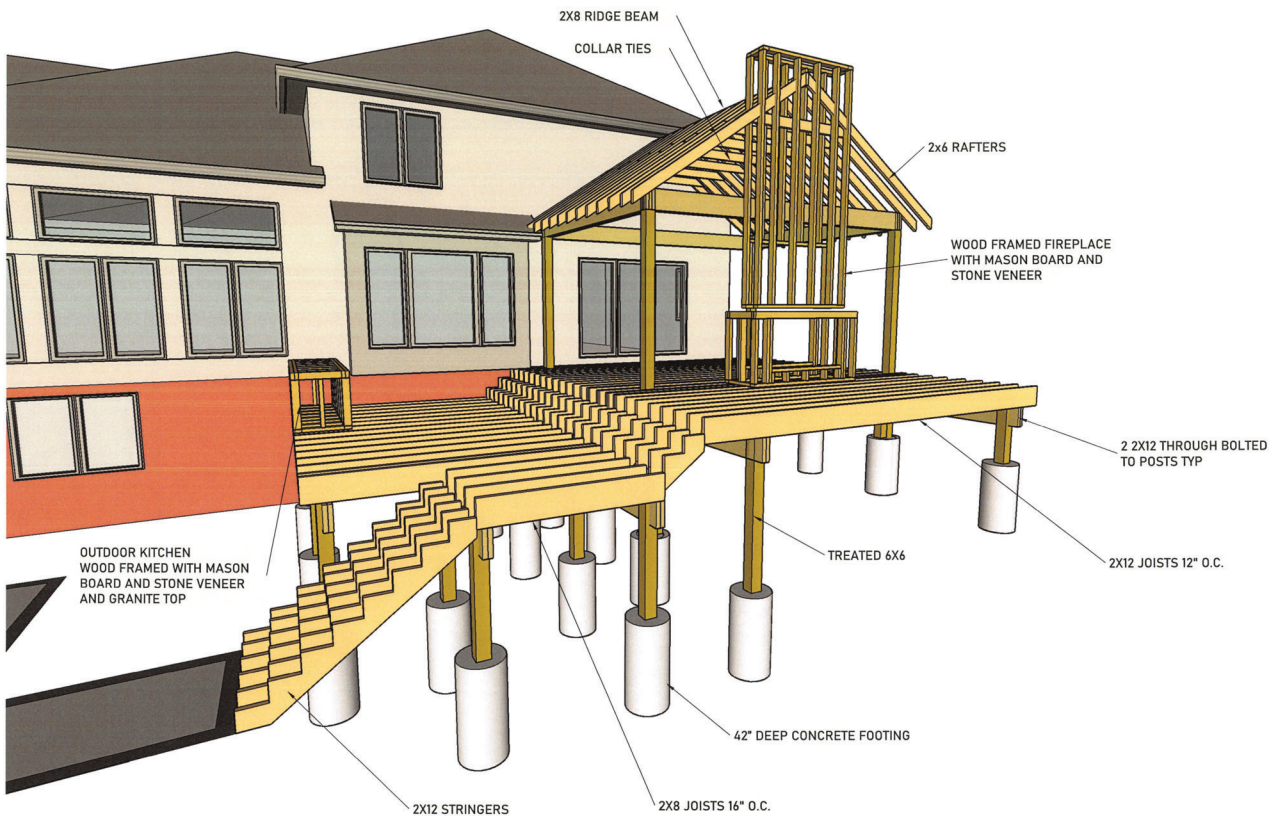
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12-18 Cregar Tech Plan

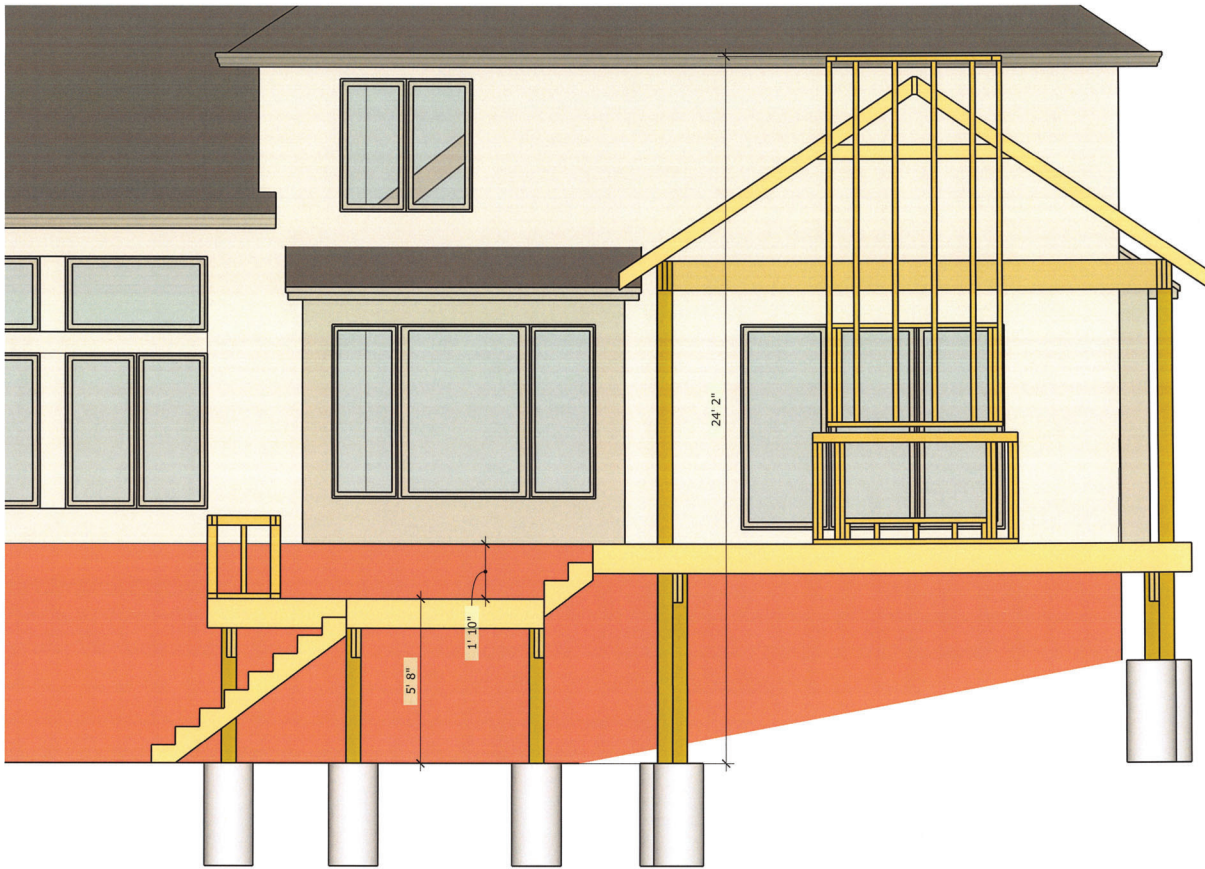
ADDRESS
3910 Honors Bldg
Howell, MI 48843

DESCRIPTION
FRAMING
CONCEPT VIEW

ISSUE
12-22-23

NOTES





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29454 Hass Rd
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CLIENT
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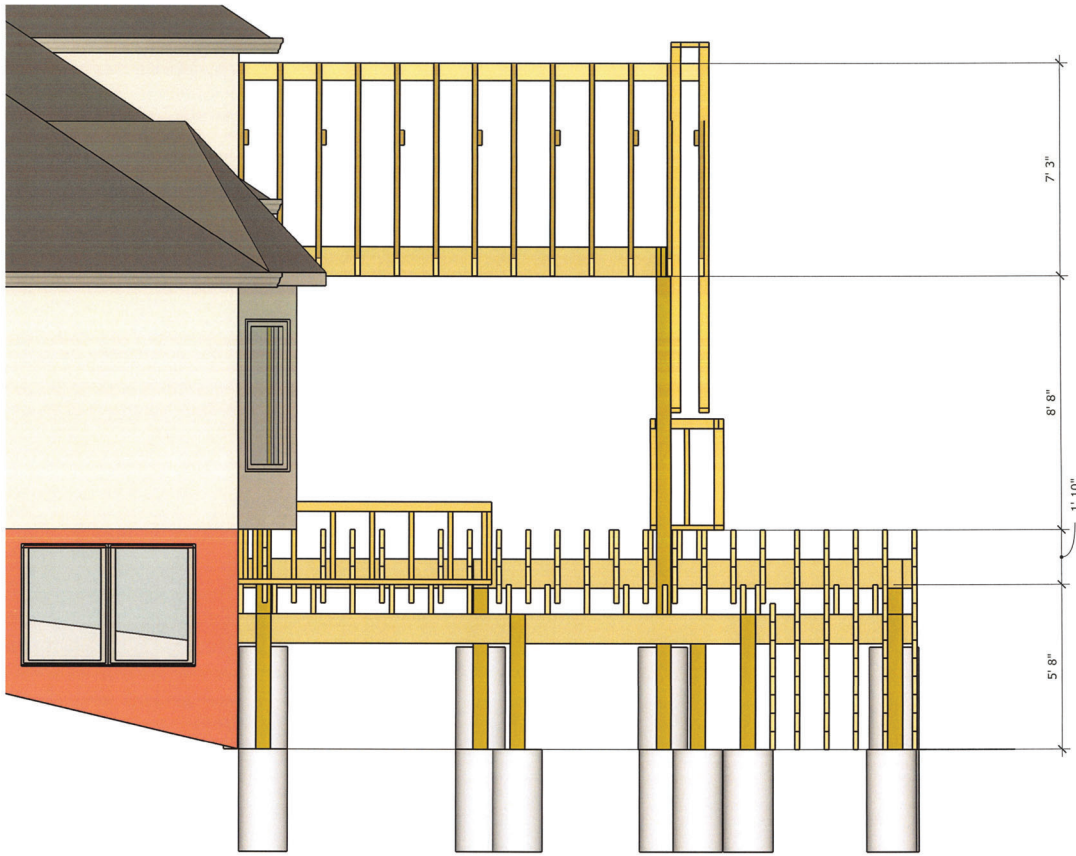
ADDRESS
 3910 Honors Bldg
 Howell, MI 48843

DESCRIPTION
FRAMING SECTION

SCALE
 1" = 4'

ISSUE
 12-22-23

NOTES



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DESCRIPTION
FRAMING SECTION

SCALE
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ISSUE
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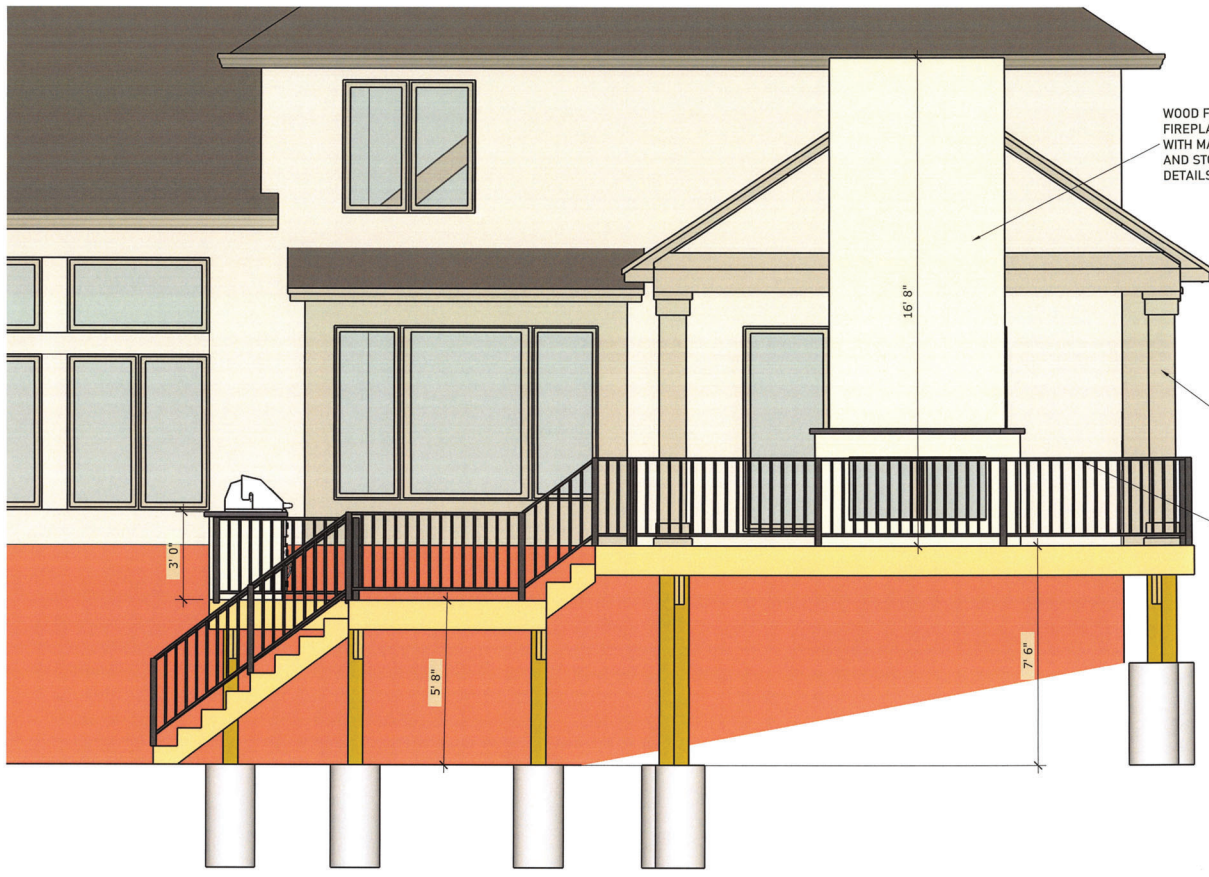
ADDRESS
3910 Honors Bldg
Howell, MI 48843

DESCRIPTION
SECTION VIEW

SCALE
1" = 4'

ISSUE
12-22-23

NOTES

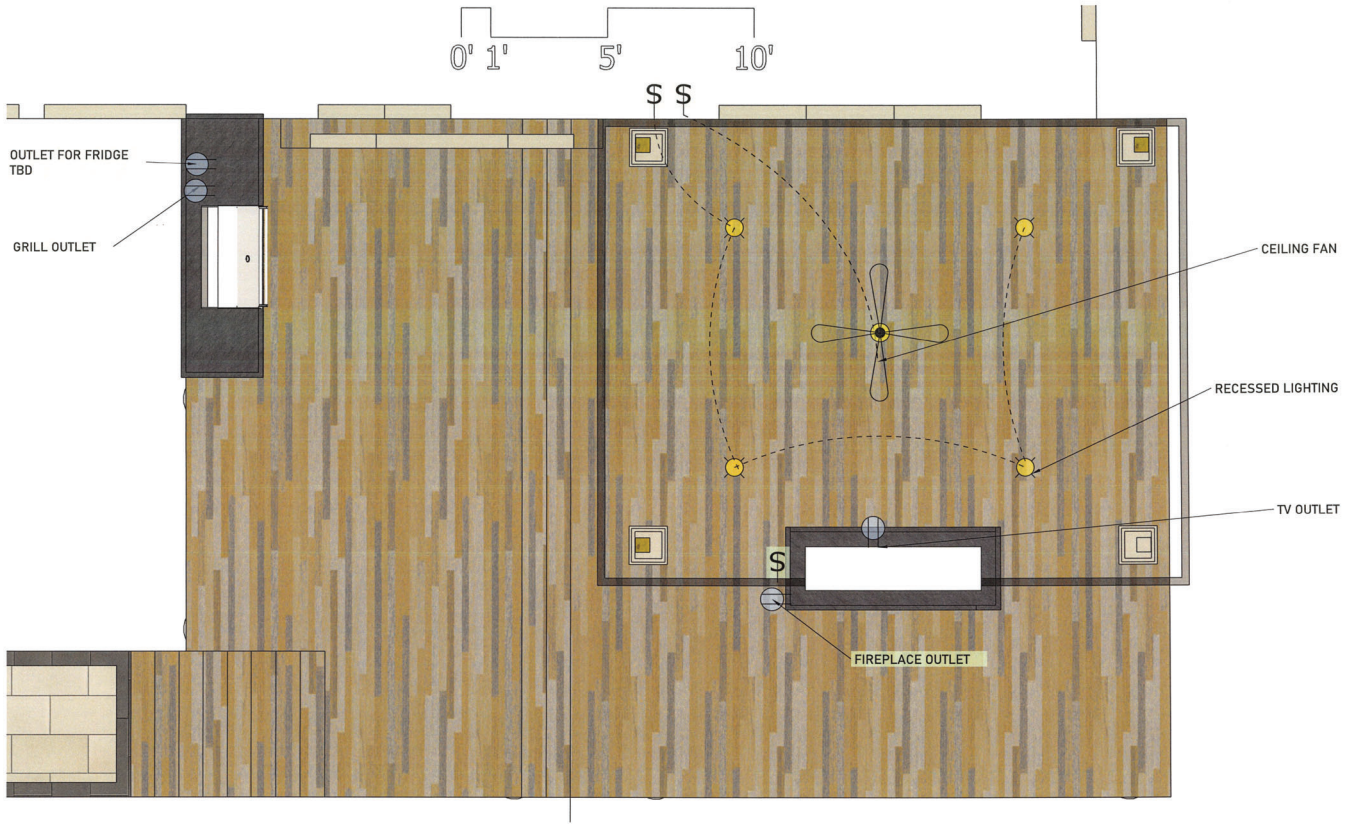


WOOD FRAMED
FIREPLACE
WITH MASON BOARD
AND STONE VENEER
DETAILS TBD

WRAP POSTS WITH 1X PINE/CEDAR

HANDRAIL TO BE
TREX BLACK
ALUMINUM
INSTALLED PER MANUFAC.
SPECS

0' 1' 5' 10'



VENTURES

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Wixom, MI 48393
248-767-1666
ventures-design.com

CLIENT
12-18 Cregar Tech Plar

ADDRESS
3910 Honors Blf
Howell, MI 48843

DESCRIPTION PLAN VIEW

SCALE
1" = 4'

ISSUE
12-22-23

NOTES



PLACEMENT OF THE TEE BOXES ON THE 4TH HOLE, AND A UNIQUELY SHALLOW BACK LOT PUT THE HOUSE IN THE PATH OF GOLF BALLS. RAISING SAFETY CONCERNS FOR RESIDENTS, CHILDREN, AND GUESTS, WHEN ON THE DECK. BALLS HAVE RECENTLY HIT THE EXISTING DECKS

GOLF BALL DIRECTION
4 HOLE TEE BOXES

Google

From: [Jake Lubig](#)
To: [Amy Ruthig](#)
Subject: Fwd: FW: Ventures - Cregar HOA - Oak Pointe Honors
Date: Thursday, January 11, 2024 3:02:36 PM

Hi Amy,

This is the email chain between the homeowner at 3910 Honors Bluff and his HOA. Let me know if this is sufficient or if you need something more formal in writing.

Thanks!

----- Forwarded message -----

From: **Adam Cregar** <acregar@towncenterinc.com>
Date: Fri, Dec 8, 2023 at 9:22 AM
Subject: FW: Ventures - Cregar HOA - Oak Pointe Honors
To: Brandon Bertrang <brandon@ventures-design.com>, lubig@ventures-design.com
<lubig@ventures-design.com>
Cc: Madison Cregar <mcregar317@gmail.com>, Adam Cregar
<acregar@towncenterinc.com>

Good Morning Brandon,

See below approval from the HOA board as long as we don't get any closer to the property line than the 27' setback of the existing deck. Please let me know next steps here. Thanks.

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

| p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com



From: Jason Rickard <jason.rickard@comcast.net>
Sent: Thursday, December 7, 2023 7:02 PM
To: Shaun Karn <shaunkarn@trmequity.com>
Cc: Adam Cregar <acregar@towncenterinc.com>; Madison Cregar <mcregar317@gmail.com>
Subject: Re: Ventures - Cregar HOA - Oak Pointe Honors

I agree

Sent from my iPhone

On Dec 7, 2023, at 6:23 PM, Shaun Karn <shaunkarn@trmequity.com> wrote:

I would agree that if you are not getting any closer than current deck, you should be fine. We can always state this was in place and approved with the original plans. You are merely maintaining the existing structure.

Jill, please weigh in.

Shaun Karn | **TRM EQUITY**

Operating Partner

C (937)248-3963

shaunkarn@trmequity.com

From: Adam Cregar <acregar@towncenterinc.com>
Sent: Thursday, December 7, 2023 5:41 PM
To: Jill Rickard <jason.rickard@comcast.net>
Cc: Adam Cregar <acregar@towncenterinc.com>; Shaun Karn <shaunkarn@trmequity.com>; Madison Cregar <mcregar317@gmail.com>
Subject: FW: Ventures - Cregar HOA - Oak Pointe Honors

Good Afternoon Jill,

Following up on the below email.

Obviously, we feel we should be able to proceed as long as we don't get any closer to the property line than our existing deck structure (27').

At this time, we have everything on hold and would just like a response so we know where we stand and can proceed accordingly as soon as possible.

Please advise. Thank you.

Best Regards,

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

l p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image002.jpg>

From: Adam Cregar
Sent: Thursday, November 30, 2023 7:51 AM
To: Jill Rickard <jason.rickard@comcast.net>
Cc: Adam Cregar <acregar@towncenterinc.com>
Subject: FW: Ventures - Cregar HOA - Oak Pointe Honors

Good Morning Jill,

Any thoughts on below? Thanks.

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

l p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image002.jpg>

From: Adam Cregar <acregar@towncenterinc.com>
Sent: Wednesday, November 22, 2023 1:27 PM
To: Kriston Detmer <kriston@thmanagement.net>; Jill Rickard <jason.rickard@comcast.net>
Subject: FW: Ventures - Cregar HOA - Oak Pointe Honors

Good Afternoon Kriston / Jill,

Below is the ***approved land use permit*** from Genoa Township for the existing deck on my house (assuming when built) with 27' setback. Can we get this approved by the HOA as long as we don't get any closer to the property line than the 27' that already exists? Please let me know thoughts. Thank you.

<image003.png>

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

l p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image002.jpg>

From: Brandon Bertrang <brandon@ventures-design.com>
Sent: Wednesday, November 22, 2023 10:14 AM
To: Adam Cregar <acregar@towncenterinc.com>
Cc: Madison Cregar <mcregar317@gmail.com>; Kriston Detmer <kriston@thmanagement.net>
Subject: Re: Ventures - Cregar HOA - Oak Pointe Honors

Hey guys, I'm working on this now. One thing though - see attached overlay that shows current deck projections.

Current deck extends approx 27' from setback, so are they saying this is non conforming? Did bylaws change at some point or was the existing deck just not

approved? Can you do some digging on that for me with the HOA?

I understand the roof structure setback, but it doesn't seem that the deck should have to be smaller than the existing as suggested by the HOA.

<image004.png>

On Tue, Nov 14, 2023 at 1:05 PM Kriston Detmer <Kriston@thmanagement.net> wrote:

Adam,

Attached is the Oak Pointe Honors Dec. CC&R.

Thank you,

Kriston Detmer

Community Manager

TH Management Consultants, LLC

o: 248.720.2432 | f: 248.720.2433

Kriston@thmanagement.net | www.thmanagement.net

1607 East Big Beaver Rd Ste. 105 | Troy, MI 48083

Adding value to individuals, their homes and community for 20 years

Accurate | Accessible | Accountable | Respect | *How are we doing?*

From: Adam Cregar <acregar@towncenterinc.com>
Sent: Tuesday, November 14, 2023 11:46 AM
To: Kriston Detmer <Kriston@thmanagement.net>
Cc: lubig@ventures-design.com; Brandon Bertrang <brandon@ventures-design.com>; Madison Cregar <mcregar317@gmail.com>
Subject: RE: Ventures - Cregar HOA - Oak Pointe Honors

Kriston,

Please send me a copy of the CC&R's so we can review ourselves.

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

l p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image002.jpg>

From: Kriston Detmer <Kriston@thmanagement.net>
Sent: Tuesday, November 14, 2023 11:55 AM
To: Jason Rickard <jason.rickard@comcast.net>
Cc: Shaun and Jenny Karn <skarn@comcast.net>; mwarpinski@yahoo.com;
Adam Cregar <acregar@towncenterinc.com>
Subject: RE: Ventures - Cregar HOA - Oak Pointe Honors

Good afternoon All,

It seems that the proposed project does not align with the CC&R's.

Article II: Restrictions; Section 3(a): There shall be a minimum setback for

decks, patios, swimming pools, hot tubs, play structure, outbuilding and similar improvements, including stair or other means of access of at least thirty-five(35) feet for the rear yard and seven(7) feet for the side yards.

The drawing of the proposed deck indicates a rear yard setback of 25' 8".

<image005.png>

Thank you,

Kriston Detmer

Community Manager

TH Management Consultants, LLC

o: 248.720.2432 | f: 248.720.2433

Kriston@thmanagement.net | www.thmanagement.net

1607 East Big Beaver Rd Ste. 105 | Troy, MI 48083

Adding value to individuals, their homes and community for 20 years

Accurate | Accessible | Accountable | Respect | *How are we doing?*

From: Jason Rickard <jason.rickard@comcast.net>

Sent: Monday, November 13, 2023 12:20 PM

To: Kriston Detmer <Kriston@thmanagement.net>

Cc: Shaun and Jenny Karn <skarn@comcast.net>; mwarpinski@yahoo.com;

ADAM CREGAR <Acregar@towncenterinc.com>

Subject: Re: Ventures - Cregar HOA - Oak Pointe Honors

Hi Kristen - please let us know if it meets our association requirements prior to us commenting

Sent from my iPhone

On Nov 13, 2023, at 12:13 PM, Kriston Detmer
<kriston@thmanagement.net> wrote:

Good afternoon Board,

Please note the attached to plan to replace existing deck and install rear yard landscaping at 3910 Honors Bluff. The alteration/modification form has been sent to Adam to complete and submit to add to the unit file.

Feel free to contact our office should you have any further questions/concerns.

Thank you,

Kriston Detmer

Community Manager

TH Management Consultants, LLC

o: 248.720.2432 | f: 248.720.2433 |

Janai@thmanagement.net | www.thmanagement.net

1607 East Big Beaver Rd. Suite 105 | Troy, MI 48083

Accurate | Accessible | Accountable | *How are we doing?*

From: Adam Cregar <acregar@towncenterinc.com>
Sent: Monday, November 13, 2023 10:39 AM
To: Kriston Detmer <Kriston@thmanagement.net>
Subject: FW: Ventures - Cregar HOA - Oak Pointe Honors

Good Afternoon Kriston,

We are looking to replace our existing deck, and backyard landscape in the spring at 3910 Honors Blf. Below and attached are the plans / drawings for the project. Once you have had a chance to review, please confirm we are approved to proceed. Thank you in advance.

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

| p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image001.jpg>

From: Adam Cregar
Sent: Monday, November 13, 2023 9:37 AM
To: Jill Rickard <jason.rickard@comcast.net>
Subject: FW: Ventures - Cregar HOA

Good Morning Jill,

We are looking to replace our existing deck, and backyard

landscape in the spring. Below and attached are the plans / drawings for the project. Once you have had a chance to review, please confirm we are approved to proceed. Thank you in advance.

Adam Cregar

Vice President, Operations

Town Center Inc

Town Center Facility Maintenance Inc

| p. 517-552-5770 | e. acregar@towncenterinc.com | f. 517-552-5771 |

Visit us at : www.Towncenterinc.com

<image001.jpg>

From: Madison Cregar <mcregar317@gmail.com>
Sent: Tuesday, November 7, 2023 7:20 PM
To: Adam Cregar <acregar@towncenterinc.com>
Subject: Fwd: Ventures - Cregar HOA

Sent from my iPhone

Begin forwarded message:

From: Jake Lubig <lubig@ventures-design.com>
Date: November 7, 2023 at 1:43:08 PM EST
To: mcregar317@gmail.com
Subject: Ventures - Cregar HOA

Hi Madison & Adam

This is Jake with Ventures & Build. I'm in charge of getting all necessary documents and permits prepared for your upcoming backyard project. One thing the building department requires is HOA approval from the neighborhood's association. I've attached a .pdf of the build plans for your project, as well as some screenshots of the 3D renders. This should cover all the details the HOA would need for their review.

Send this to the appropriate HOA personnel at your earliest convenience. Once you receive written approval just email it back to me so I can get everything submitted to Livingston County. If additional information or details are needed just let me know.

Thanks!

--

<~WRD2178.jpg>

Jake Lubig
Superintendent,
Ventures Design &
Build
734-395-4375 |
[lubig@ventures-
design.com](mailto:lubig@ventures-design.com)
25168 Seeley Rd. Novi,
MI 48375

<~WRD2178.jpg>

<~WRD2178.jpg>

<~WRD2178.jpg>

Parcel Number: 4711-28-304-006

Jurisdiction: GENOA CHARTER TOWNSHIP

County: LIVINGSTON

Printed on

02/15/2024

| Grantor | Grantee | Sale Price | Sale Date | Inst. Type | Terms of Sale | Liber & Page | Verified By | Prcnt. Trans. | |
|--|--------------------------|-------------------------------|------------|---|--------------------|--|--------------|---------------|--|
| MEKJIAN JOHN & RUPP MARY | CREGAR ADAM | 685,000 | 04/24/2020 | WD | 03-ARM'S LENGTH | 2020R-014031 | BUYER/SELLER | 100.0 | |
| CREGAR ADAM | CREGAR ADAM & MADISON | 1 | 04/24/2020 | QC | 21-NOT USED/OTHER | 2020R-032309 | BUYER/SELLER | 0.0 | |
| HELWING CARL R & KAREN | MEKJIAN JOHN & RUPP MARY | 634,000 | 05/17/2018 | WD | 03-ARM'S LENGTH | 2018R-013617 | BUYER/SELLER | 100.0 | |
| WHR GROUP INC | HELWING CARL R & KAREN | 405,000 | 07/20/2010 | WD | 21-NOT USED/OTHER | 2010R-020955 | BUYER/SELLER | 100.0 | |
| Property Address | | Class: RESIDENTIAL-IMPROV | | Zoning: MUPUD | Building Permit(s) | Date | Number | Status | |
| 3910 HONORS BLF | | School: BRIGHTON AREA SCHOOLS | | WOOD DECK | | 05/12/1999 | 99-226 | NO START | |
| Owner's Name/Address | | P.R.E. 100% 05/07/2020 | | HOME | | 07/13/1998 | 98-324 | NO START | |
| CREGAR ADAM & MADISON 3910 HONORS BLF HOWELL MI 48843-7496 | | MAP #: V24-03 | | | | | | | |
| Tax Description | | 2024 Est TCV Tentative | | | | | | | |
| SEC 28 T2N R5E OAK POINTE HONORS LOT # 6 Comments/Influences | | X Improved | | Vacant | | Land Value Estimates for Land Table 4023.OAK POINTE HONORS | | | |
| | | Public Improvements | | * Factors * | | Description Frontage Depth Front Depth Rate %Adj. Reason Value | | | |
| | | Dirt Road | | <Site Value A> GOLF CRSE SITES | | 105000 100 105,000 | | | |
| | | Gravel Road | | 0.00 Total Acres | | Total Est. Land Value = 105,000 | | | |
| | | Paved Road | | | | | | | |
| | | Storm Sewer | | Land Improvement Cost Estimates | | Description Rate Size % Good Cash Value | | | |
| | | Sidewalk | | D/W/P: Brick on Sand | | 25.16 364 50 4,579 | | | |
| | | Water | | Total Estimated Land Improvements True Cash Value = | | 4,579 | | | |
| | | Sewer | | | | | | | |
| | | Electric | | | | | | | |
| | | Gas | | | | | | | |
| | | Curb | | | | | | | |
| | | Street Lights | | | | | | | |
| | | Standard Utilities | | | | | | | |
| | | Underground Utils. | | | | | | | |
| | | Topography of Site | | | | | | | |
| | | Level | | | | | | | |
| | | Rolling | | | | | | | |
| | | Low | | | | | | | |
| | | High | | | | | | | |
| | | Landscaped | | | | | | | |
| | | Swamp | | | | | | | |
| | | Wooded | | | | | | | |
| | | Pond | | | | | | | |
| | | Waterfront | | | | | | | |
| | | Ravine | | | | | | | |
| | | Wetland | | | | | | | |
| | | Flood Plain | | | | | | | |
| | | X REFUSE | | | | | | | |
| | | Who | | When | | What | | Year | |
| | | JB | | 05/20/2020 | | SALES REVI | | 2024 | |
| | | | | | | | | Tentative | |
| | | | | | | | | 2023 | |
| | | | | | | | | 52,500 | |
| | | | | | | | | 295,700 | |
| | | | | | | | | 348,200 | |
| | | | | | | | | 2022 | |
| | | | | | | | | 52,500 | |
| | | | | | | | | 292,100 | |
| | | | | | | | | 344,600 | |
| | | | | | | | | 2021 | |
| | | | | | | | | 52,500 | |
| | | | | | | | | 285,300 | |
| | | | | | | | | 337,800 | |



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*** Information herein deemed reliable but not guaranteed***

| Building Type | (3) Roof (cont.) | (11) Heating/Cooling | (15) Built-ins | (15) Fireplaces | (16) Porches/Decks | (17) Garage |
|---|---|---|---|---|--|---|
| X Single Family Mobile Home Town Home Duplex A-Frame | Eavestrough Insulation 0 Front Overhang 0 Other Overhang | X Gas Wood Oil Coal Elec. Steam Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling | Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System | Interior 1 Story 1 Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 1 Direct-Vented Gas Class: B +10 Effec. Age: 18 Floor Area: 3,601 Total Base New : 1,097,048 Total Depr Cost: 899,560 Estimated T.C.V: 665,674 | Area Type 100 CCP (1 Story) 463 Treated Wood | Year Built: Car Capacity: Class: B Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 789 % Good: 0 Storage Area: 0 No Conc. Floor: 0 Bsmnt Garage: Carport Area: Roof: |
| X Wood Frame | (4) Interior Drywall Paneled Plaster Wood T&G Trim & Decoration | Central Air Wood Furnace | (12) Electric 0 Amps Service | Cost Est. for Res. Bldg: 1 Single Family B (11) Heating System: Forced Heat & Cool Ground Area = 2568 SF Floor Area = 3601 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=82/100/100/100/82 | | Cls B 10 Blt 1998 |
| Building Style: B | Ex X Ord Min | No./Qual. of Fixtures X Ex. Ord. Min | No. of Elec. Outlets Many X Ave. Few | Building Areas Stories Exterior Foundation Size Cost New Depr. Cost 1 Story Siding/Brick Basement 1,336 2 Story Siding/Brick Basement 992 1 Story Siding/Brick Overhang 240 1 Story Siding Overhang 41 Total: 852,221 698,802 | | |
| Yr Built 1998 | Remodeled 0 | Size of Closets Lg X Ord Small | (13) Plumbing Average Fixture(s) 4 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink 1 Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan | Other Additions/Adjustments Basement Living Area 1746 107,187 87,893 Basement, Outside Entrance, Below Grade 1 4,469 3,665 Plumbing 3 Fixture Bath 3 32,914 26,989 2 Fixture Bath 1 7,314 5,997 Extra Sink 1 1,821 1,493 Separate Shower 1 3,334 2,734 Porches CCP (1 Story) 100 4,180 3,428 Deck Treated Wood 463 8,334 6,834 Garages Class: B Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 789 58,875 48,277 Common Wall: 1 Wall 1 -3,827 -3,138 Water/Sewer Public Water 1 2,308 1,893 Public Sewer 1 2,308 1,893 | | |
| Condition: Good | Doors: Solid X H.C. | (14) Water/Sewer 1 Public Water 1 Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic | Lump Sum Items: | <<<< Calculations too long. See Valuation printout for complete pricing. >>>> | | |
| Room List | (5) Floors Kitchen: Other: Other: | | | | | |
| Basement 1st Floor 2nd Floor 4 Bedrooms | (6) Ceilings | | | | | |
| (1) Exterior | (7) Excavation Basement: 2328 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0 | | | | | |
| X Wood/Shingle Aluminum/Vinyl Brick Insulation | (8) Basement Conc. Block Poured Conc. Stone Treated Wood Concrete Floor | | | | | |
| (2) Windows | (9) Basement Finish | | | | | |
| Many Avg. Large Few Avg. Small | (10) Floor Support Joists: Unsupported Len: Cntr.Sup: | | | | | |
| Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens | | | | | | |
| (3) Roof | | | | | | |
| X Gable Hip Flat | | | | | | |
| Gambrel Mansard Shed | | | | | | |
| X Asphalt Shingle | | | | | | |
| Chimney: Brick | | | | | | |

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 24-04 Meeting Date: February 20, 2024

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Jon & Danielle Wlodarczak Email: jonjw9@gmail.com

Property Address: 4183 Homestead Dr.; Howell 48843 Phone: 517.256.1684

Present Zoning: LRR Tax Code: 11-28-201-035

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: _____

Side yard variance of 8" to allow the installation of a whole house generator on the south facing wall of the home

See pages 4 & 6

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Strict compliance with the setback requirements would unreasonably restrict the use of the property.

Due to the nonconforming size of the lot, the construction of the home required a side-yard variance (99-56).
Due to the layout of the home on the lot, and location of the utilities the location selected is the only practical location to install while meeting all manufacturer and code compliances. See pages 4, 6, 9, 10, 13.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The exceptional condition of the lot is the narrowness and existing location of the home. Surrounding homes do not have basements and the damage cause by power outages effect this property more with water ingress, and the need for continual sump pump operation.

This Installation will be adjacent to the existing central air unit, and will extend approximately 1" further toward the lot line.
The other three faces of the home do not meet the requirements for installation and/or would require greater variances.
See pages 7 & 8 of other properties in the area. Page 9 shows why the other side of the home is not a viable location.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The granting of the variance will have no impact on the supply of light or air to the adjacent property. Page 5.

There will be no effect to congestion on the private road of Homestead drive, or increase the danger of fire or to the safety of the general public. The installation will be performed by a licensed company with permits.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

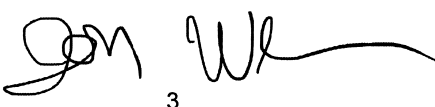
Intallation will not interfere with other development. The home next door (4195 Homestead) was recently constructed and the existing AC unit created no interference to the process. The neighboring property on the north side is the garage which has no windows, and the generator will not be visible from inside their home. The generator will be similar to other installations on Homestead (page 8).

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 01/08/2024

Signature:  3



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: February 14, 2024
RE: ZBA 24-04

STAFF REPORT

File Number: ZBA#24-04
Site Address: 4183 Homestead Drive
Parcel Number: 4711-28-201-035
Parcel Size: 0.116 Acre
Applicant: Wlodarczak, Jon and Danielle, 4183 Homestead Drive, Howell
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a projection into side yard setback variance to install a whole house generator.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday February 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling built in 2000.
- In 1999, a side yard and waterfront variance was approved the construction of a new home.
- In 2019, a land use permit was issued for the reconstruction of the existing deck.
- In 2019, a variance was approved to allow a 3-season room.
- In 2019, a land use permit was approved for the construction of a 3-season room.
- The property utilizes a well and a public sewer system.
- See Real Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

Applicant is seeking a variance to install a whole house generator that would project into the side yard setback. Mechanical equipment such as generators and HVAC units are allowed to project into a side yard setback by 2 feet however in no case shall projections be less than 3 feet from property line. Applicant’s proposed location would be located 1’4” from the side property line.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Sec. 11.01.04 Architectural Projections into Yards: Except as otherwise provided, all projections shall comply with the setback requirements as provided for principal or accessory buildings for the district in which they are located. For the purposes of this requirement, porches with screens, lattice or removable storm window sashes shall be considered enclosed.

Notwithstanding these requirements, Certain architectural features may project into the required yards as noted in the table below:

PERMITTED ARCHITECTURAL PROJECTIONS INTO REQUIRED YARDS*

| Projection | Front Yard | Rear Yard | Waterfront Yard | Side Yard | |
|--|-----------------------|-----------|-----------------|------------------------------|-----------|
| | | | | Side Yard 10’ or less in LRR | Side Yard |
| Fireplaces and chimneys under 8’ wide | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Awnings and canopies | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Bay and bow windows | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Eaves and cornices, overhanging | 3 ft. | 3 ft. | 3 ft. | 2 ft. | 3 ft. |
| Gutters | 3 ft. | 3 ft. | 3 ft. | 2 ft. | 3 ft. |
| Mechanical equipment such as HVAC and generators | -- | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Unroofed porches and stoops | 3 ft. | 5 ft. | -- | 2 ft. | 3 ft. |
| ADA Ramps | Permitted in any yard | | | | |

* In no case shall projecting architectural elements be less than three (3) feet from a property line except for ADA ramps. (as amended 10/04/21)

PERMITTED ARCHITECTURAL PROJECTIONS INTO REQUIRED YARDS:

| SECTION 11.01.04 - PERMITTED PROJECTIONS | Projection Side Yard Setback |
|--|------------------------------|
| Allowable Projection | 2’ |
| Request of Projection | 3’8” |
| Variance Amount of Projection | 1’8” |

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

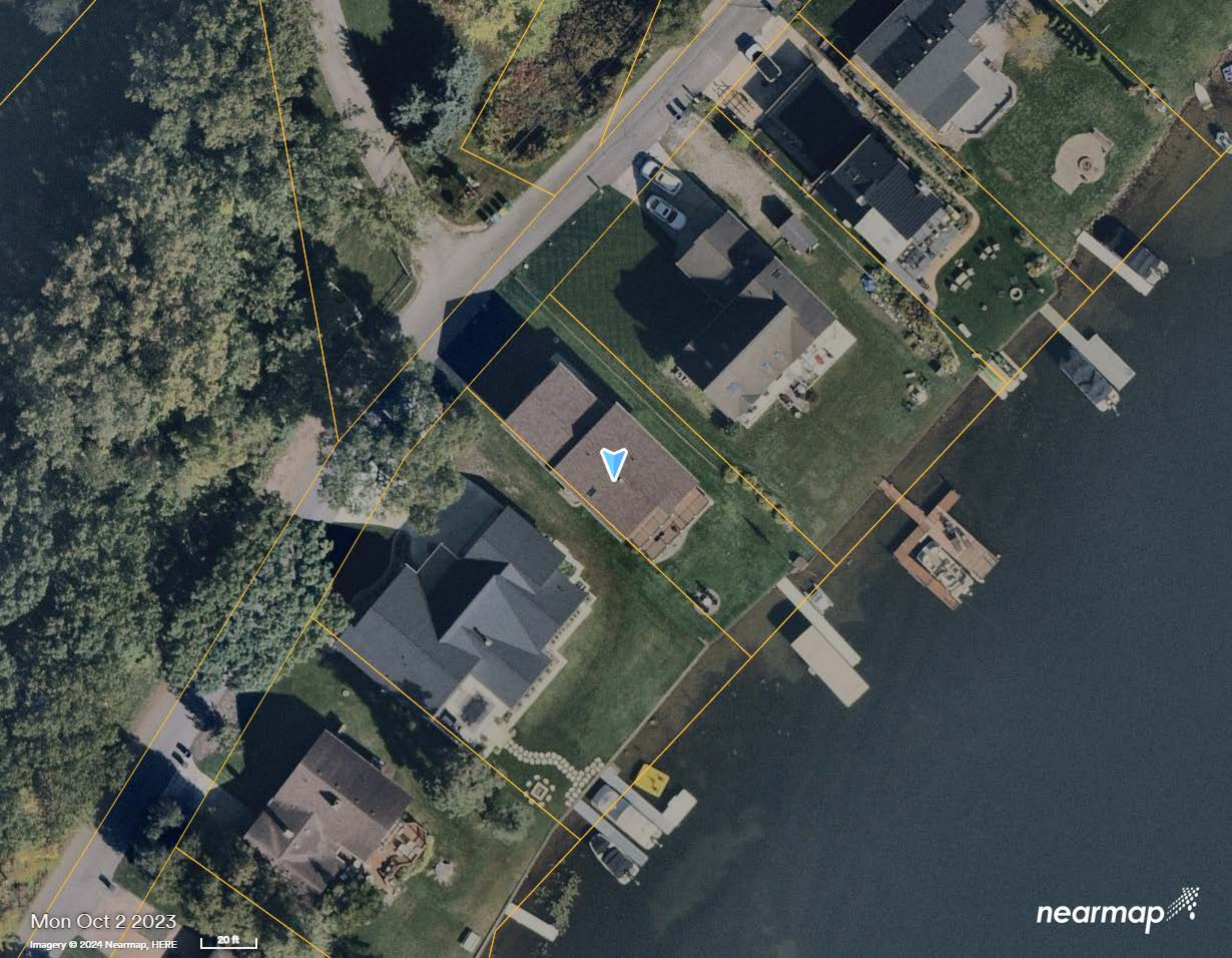
Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the setback would cause the applicant to be unable to install the generator however it does not unreasonable prevent use of the property. There are other homes in the vicinity with reduced projections into the side yard with mostly air conditioning units that would support substantial justice and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the narrowness of the lot and it is a non-conforming lot in the LRR district. Staff does not enforce the state Building Codes and cannot determine if the requested location is the only location or the least amount necessary to determine if the variance request is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The direct neighbor is located 19 feet from the proposed location of the generator. In addition, staff received correspondence from the neighbor and they have no objections to the variance request.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval:

1. Generator shall be sized to accommodate the connection of the grinder pump per recommendation by MHOG Utility Director.
2. The weekly test of the generator shall not be scheduled between 10:00 p.m. and 7:00 a.m. and must be in compliance with the Township Noise Ordinance.



Mon Oct 2 2023

Imagery © 2024 Nearmap, HERE

20 ft

nearmap 

- ❑ The 5" gutters are not included in the calculation for the overhang;
- ❑ The house sits in front of the neighboring homes and should be set back further on the property;
- ❑ The trees along the fence/property line should be preserved;
- ❑ The plan will obstruct the view of neighboring homes;
- ❑ The house should be centered on the property;
- ❑ Sparks from the fireplace could start a fire on the nearby neighbor;
- ❑ Who will pay the cost of changing the Detroit Edison lines;
- ❑ Drainage is a concern with so much of the lot covered;
- ❑ A deck over 3' above the ground is considered part of the house.

Moved by Murray, supported by Figurski, to table the petition until the concerns raised here this evening can be addressed. The motion carried.

99-54... A request by EBI Inc., Section 10, 5309 Wildwood Drive, for a 17' front variance, a 10' side variance and a 23.5 rear variance to rebuild a home.

A call to the public was made with the following response: Eileen Procus - I am glad to see this new construction. Moved by Murray, supported by Litogot, to grant the following variances: the garage will be located no closer than 18' from the property line calculated from the southeast corner of the front yard, a 10' side yard and 23.5' rear variances. Further, the garage will be attached to the home with a breezeway and no variance will be granted for the distance between the house and garage. The hardship is the shallow depth and narrowness of the lot. The motion carried as follows: Ayes - Murray, Litogot and Staley. Nay - Figurski and Hensick.

99-55... A request by Rollerama II, Section 14, for a sign variance.

A call to the public was made with no response. Staley advised the petitioner that no hardship or extraordinary circumstance was presented for the request. Moved by Hensick, supported by Figurski, to table at the petitioner's request. The motion carried.

99-56...A request by Tom Rafferty, Section 28, 4183 Homestead, for a 5' variance to rebuild a home.

A call to the public was made with the following response: Jack Weatherly - I have no objection to this petition. Staley - The neighbor at 4177 Homestead is in favor of this variance. Archinal - Any deck that is raised more than 3' above ground is considered to be part of the main structure when it comes to setbacks. Staley - Do you intend on raising the elevation of the home? Rafferty - I intend on having an elevated front porch, that is all.

Moved by Murray, supported by Hensick, to grant a 10' side yard and a 5' waterside variance to construct a new home per the plans. The hardship is the narrowness and the depth of the lot. Note: No variance was granted with regard to the height. The motion carried unanimously.

feet to 19 feet and a rear yard variance of 26 feet from the required 40 feet to 14 feet to construct a second story addition with two covered porches and a 12 x 22 carport with a deck above, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent the use of the property since it would cause the lot to be unbuildable as shown on the submitted site plan. Granting of the variance would offer substantial justice and is necessary for the preservation and enjoyment of property rights similar to that possessed by other properties in the same zoning and vicinity.
- The exceptional or extraordinary condition of the property is the small and shallow lot size. The variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance is not self-created and is least necessary.
- Granting of these variances would not impair an adequate supply of light and air to adjacent property. Granting of these variances would not increase the congestion in public streets and increase the danger of fire and public safety.
- The proposed variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

This approval is based on the following condition:

1. An easement shall be recorded for the use of the well on a separate lot.
2. The applicant shall confirm authorization from the property owner that the applicant can apply for the variances.
3. Additional parking shall be installed east of the existing driveway.
4. The proposed carport shall remain open with no sides

The motion carried unanimously.

2. 19-26... A request by Jon and Danielle Wlodeerczak, 4183 Homestead, for a waterfront variance to enclose an existing deck.

Mr. Wlodeerczak was present. He stated that due to the location of the existing home and the fact that the lot is only 45 feet wide, there is no other location on his property to build a three-season porch. The previous owner obtained a variance for the existing deck, which is included as part of the main structure. He is proposing to enclose the area under the existing deck. He will not be going out any further. The construction is already underway. He hired a contractor who pulled a deck permit and not a permit to build the enclosure. When the Township went out to do an inspection, they noticed what was being done. This will not restrict the views of the homes on either side of his property. He submitted letters from his two next door neighbors at 4177 Homestead and 4195 Homestead, who are both in favor of granting this request. Both of these homes are further back from the lake than his. There is a similar structure at 4165

Zoning Board of Appeals
July 16, 2019 Unapproved Minutes

Homestead that has an enclosed deck and there is no variance for this on file. This will not impair the light or the views of the lake for any properties in the area.

Vice-Chairperson McCreary noted that enclosing this area will bring the home closer to the water and could impede the views of his neighbors. Mr. Wloderczak reviewed photos submitted with his application showing how this addition would not block the view of the lake for the neighbors on either side of his property. He added that 4165 Homestead has a room like to what he is proposing, and that lot is of similar nature to his.

Vice-Chairperson McCreary reiterated her concerns with an additional variance being granted for this property and the structure now being an additional eight feet further toward the lake. She is concerned about the views of the neighbors. Mr. Wloderczak stated that the neighbors on both sides of his property do not have any concerns with this request.

The call to the public was made at 7:15 pm with no response.

Mr. Wloderczak requested to have his case tabled until the August 20, 2019 ZBA meeting.

Moved by Commissioner Kreutzberg, seconded by Commissioner Ledford, to postpone Case #19-26 for Jon and Danielle Wloderczak at 4183 Homestead until the August 20, 2019 ZBA meeting. **The motion carried unanimously.**

Administrative Business:

1. Approval of the minutes for the June 18, 2019 Zoning Board of Appeals Meeting.

There was one change needed.

Moved by Board Member Ledford, seconded by Board Member Kreutzberg, to approve the June 18, 2019 Zoning Board of Appeals Meeting minutes as amended. **The motion carried unanimously.**

2. Correspondence – Ms. VanMarter had nothing to report.
3. Township Board Representative Report - Board Member Ledford provided a review of the July 1 and July 15 Board meetings.

2. 19-26 ... A request by Jon and Danielle Wloderczak, 4183 Homestead, for a waterfront variance to enclose an existing deck.

Mr. and Mrs. Wloderczek were present. They would like to complete the enclosed deck construction that has already begun. Mr. Wloderczek reviewed the letter that was submitted with his application.

The purpose of the requested variance is to allow full utilization of their home, property and adjacent lake. A variance was granted in 1999 that permitted a deck only, thus there is no access to allow use of neither the existing deck nor the home dining area from the front yard (shore side). This request is the least necessary and does not extend beyond the existing building envelope. The existing setback is 43.9' and they are requesting an additional 8 feet for a setback of 35.9'. Their request is in line with other properties in the area.

Due to the narrow nature of the lot, slope, and the location of the home on the lot, there are no other suitable locations for the room. The neighboring properties do not have the same circumstances

In the 500 foot inclusion area, there are eight included lots, of which only two are of similar width to his property. There are four lots to the north and three lots to the south. He provided the following facts about the neighboring properties:

- $584/8 = 73'$ on average (full width of all eight lots)
 - $45/73 = .62$ (his property is 38% smaller than average)
- There are two 45' lots included in this area (4183 & 4165 Homestead).
- The home at 4165 Homestead has an enclosed room facing the lake, which is similar to their request and there are no variances on record for this home. That home's neighboring setbacks are 64.6' & 53.5' so their required setback is 59.05 feet so a 20.1' variance would have been needed.
- The grade/slope on the side yards of his home is not present on neighboring properties. His lot has a drop of 5', which is not present on adjoining lots.

He does not believe the variance is self-created as he relied on good faith of building permits being obtained by his contractor. The granting of the variance will have no impact on the light, air, or view of neighboring properties. There will be no effect on Homestead Drive or danger to public safety. The variance will not interfere with the use or value of neighboring properties. The structure will blend with the deck and style of the home and is similar to other area structures.

Zoning Board of Appeals
August 20, 2019 Approved Minutes

They provided photographs of other similar enclosed decks as well as an aerial showing the location of other homes in his neighborhood in relation to the lake.

A letter was submitted from his neighbor at 4177 Homestead who has no hesitation or issue with the completion of this room.

Ms. Ruthig stated that in researching the original approved variance in 1999, it does not appear that the home was built in the correct location. Additionally, that variance states “front porch” and “front” is the roadside, and not the lakeside, so she is not sure if the variance was for this porch or one on the front of the home, but there is no porch on the front of the home.

Board Member McCreary appreciates that the applicant wants to enjoy the lake from a screened-in porch; however, the homes on either side of his home sit further back. Mr. Wloderczak stated that those homes’ neighbors are also further back so they have a different setback requirement.

Board Member Rockwell questioned that if this variance is allowed, and it becomes part of the main structure, could a deck then be added. Ms. Ruthig stated a one or two-story deck could be built 15 feet out as long as there is a 15 foot greenbelt from the water’s edge. Mr. Wloderczak stated that the existing deck that he wants to enclose is 13 feet so a deck would only be able to go out an additional two feet.

The call to the public was made at 6:53 pm.

Mr. Victor Zammit of 4177 Homestead stated he has lived here for 25 years and he does not believe this would be an encumbrance for the neighbors. The applicant would like to screen in deck to enjoy his home.

The call to the public was closed at 6:55 pm.

Moved by Board Member Ledford, seconded by Board Member Kreutzberg, to approval Case #19-26 for 4183 Homestead Drive for Jon and Danielle Wloderczak for a waterfront setback variance of 20.35 feet from the required 56.25 feet to 35.90 feet to enclose a 13x18 area under an existing deck, which would be 234 square feet, to create additional living space, based on the following findings of fact:

- The practical difficulty is the narrowness and depth of the lot and location of the existing home on the property.
- Strict compliance with the setback would prevent the applicant from constructing an addition; however, there are other homes in the area that do not meet the waterfront setback.
- A variance was granted on September 14, 2199 for a five-foot waterfront variance to construct a new home with an elevated deck. Extending the area beneath the deck will not protrude beyond the building envelope of the existing structure.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the residents of the Township of Genoa.
- The proposed variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

The motion carried (Ledford - yes; Rassel - no; McCreary - no; Rockwell - yes; Kreutzberg - yes).

3. 19-27 ... A request by Steven G. Ezikian, 4640 Sweet Road, for a variance to construct a detached accessory structure in the front yard.

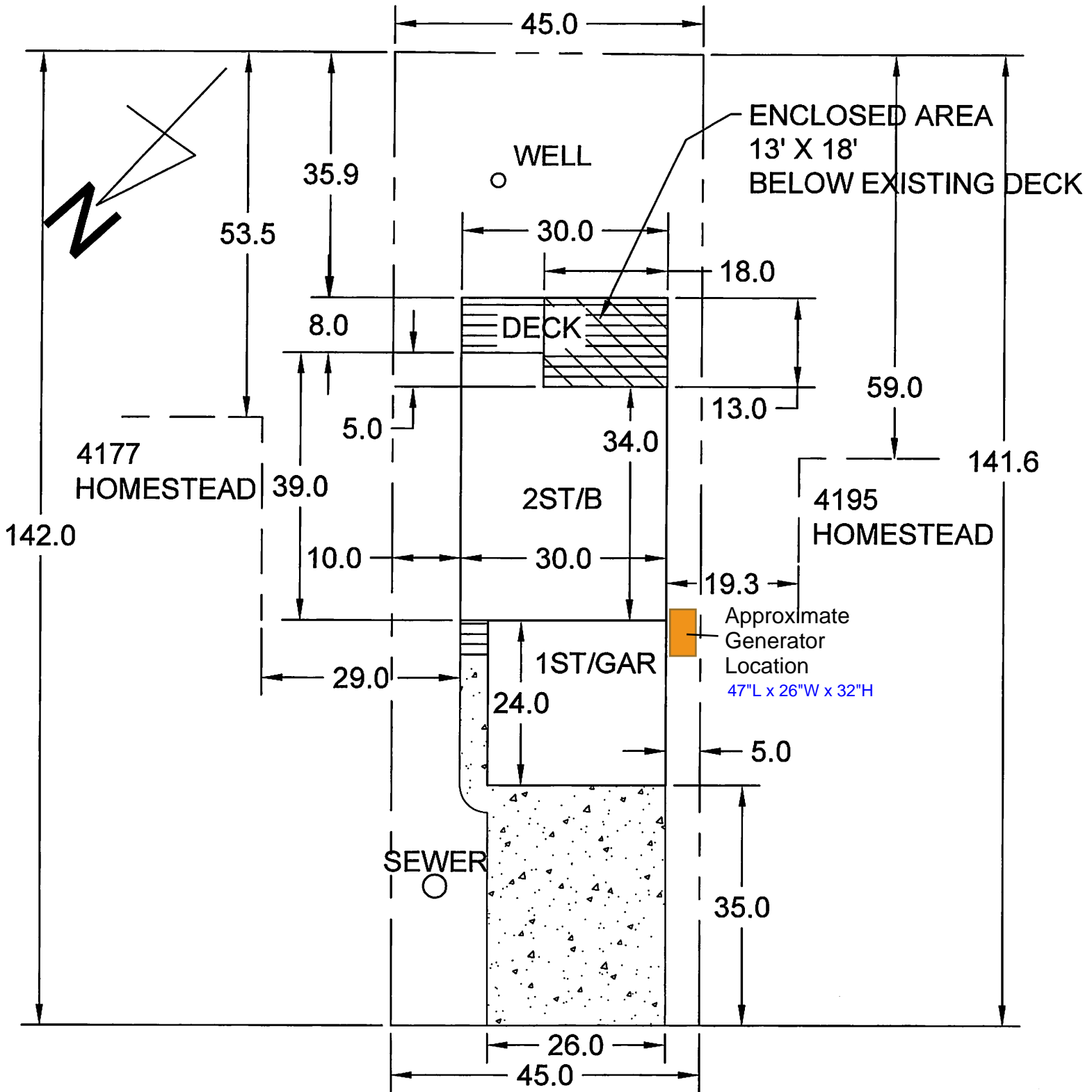
Mr. and Mrs. Ezikian were present. They are requesting a variance to build a 1,200 square foot pole barn that encroaches past their home by 10 feet. Their property is triangular shaped as they are along the railroad tracks. They are not able to put the pole barn to the rear of the home, because that is where their well and septic field are located. There are no public safety issues, and it will not prohibit others in the area from using their property. There is another home in the area whose entire barn is in the front yard.

Board Member McCreary questioned the existing accessory structure by the pool. Mr. Ezikian stated that will be removed.

The call to the public was made at 7:03 pm with no response.

Moved by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #19-27 for Steven G. Ezikian of 4640 Sweet Road, Howell to build a detached accessory structure in the front yard, based on the following findings of fact:

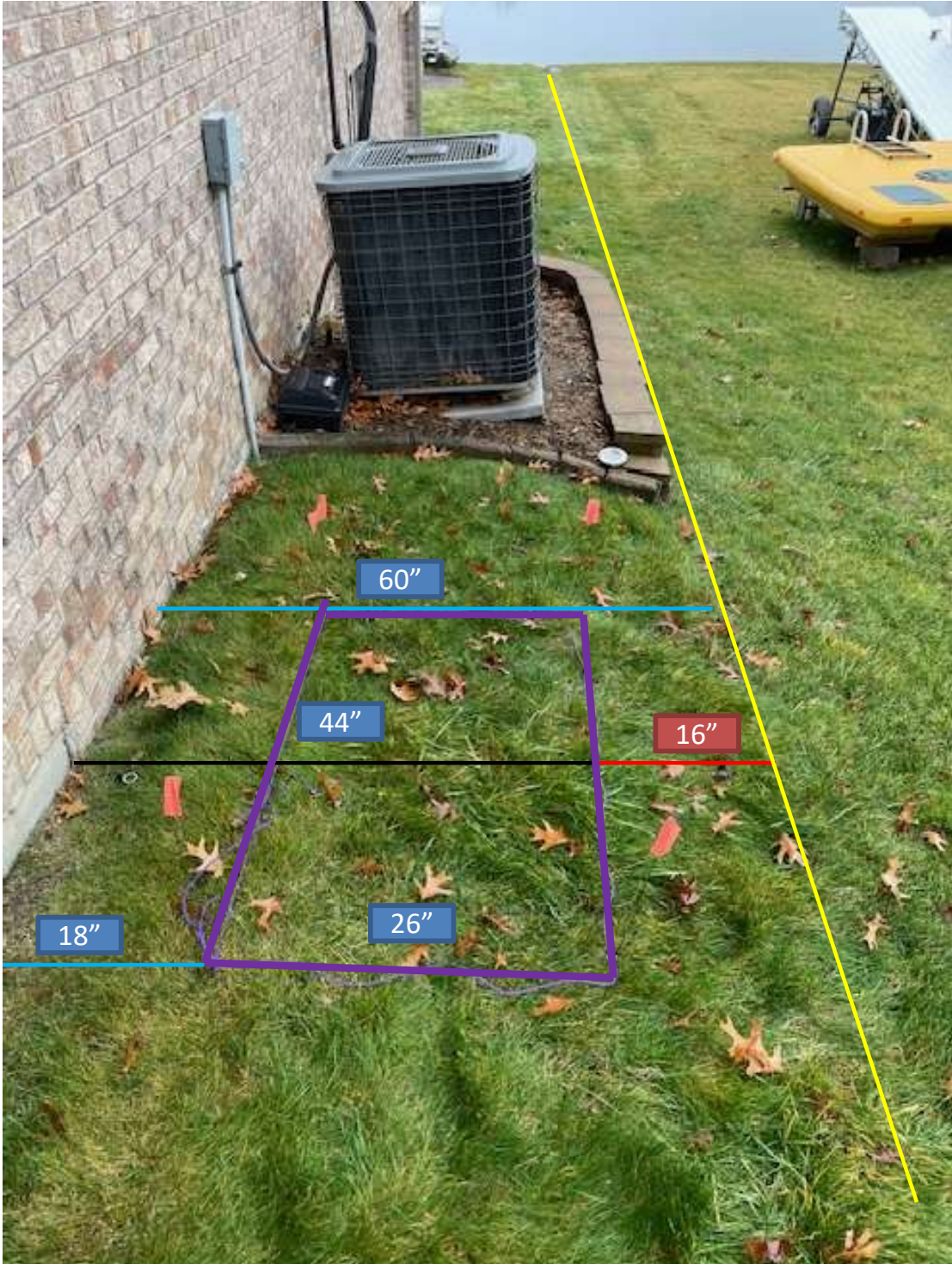
CROOKED LAKE



HOMESTEAD DRIVE 20' WD.

Location





Encroachments Examples on Homestead



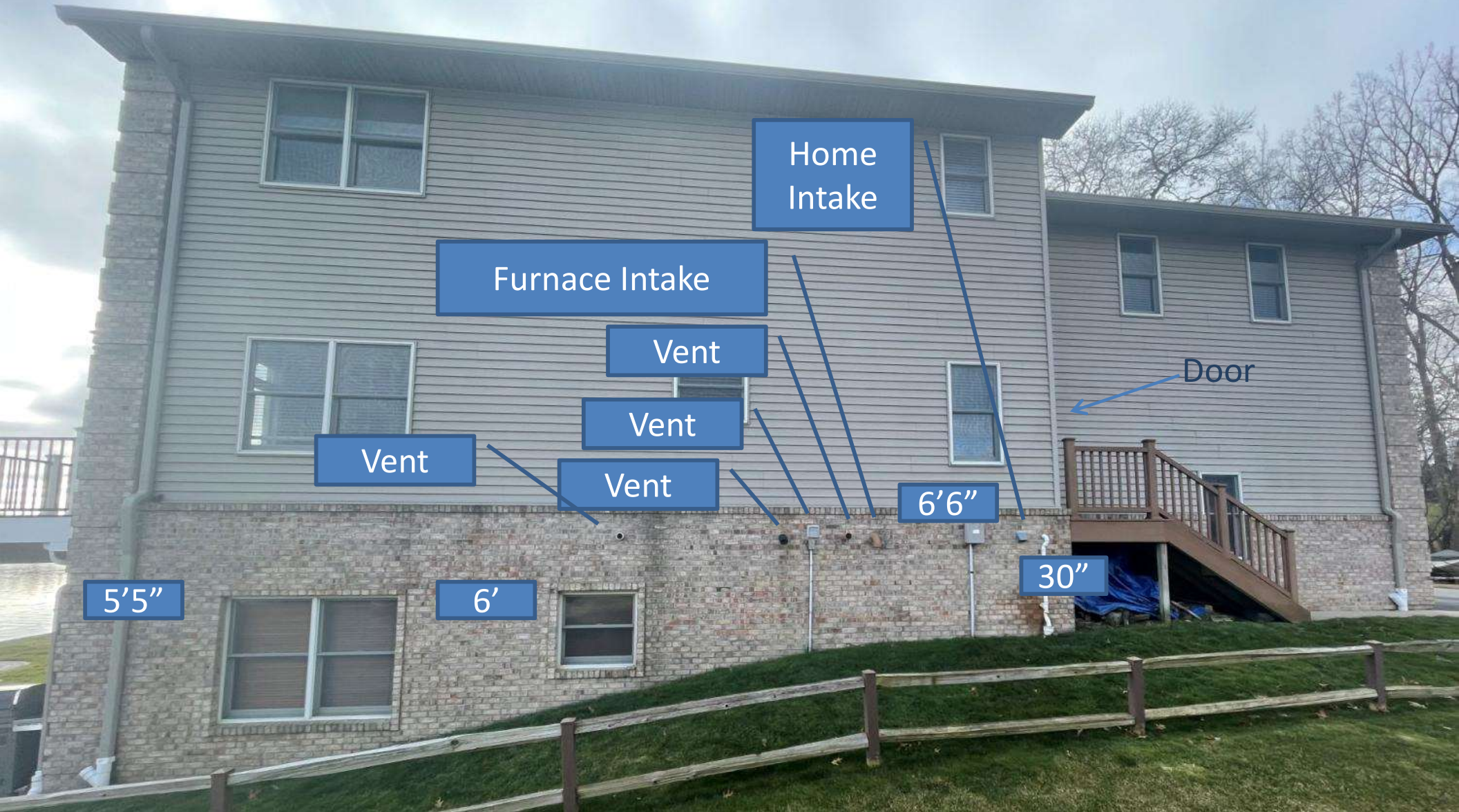
Generator Examples on Homestead



All located on side-yard property, adjacent to property line.

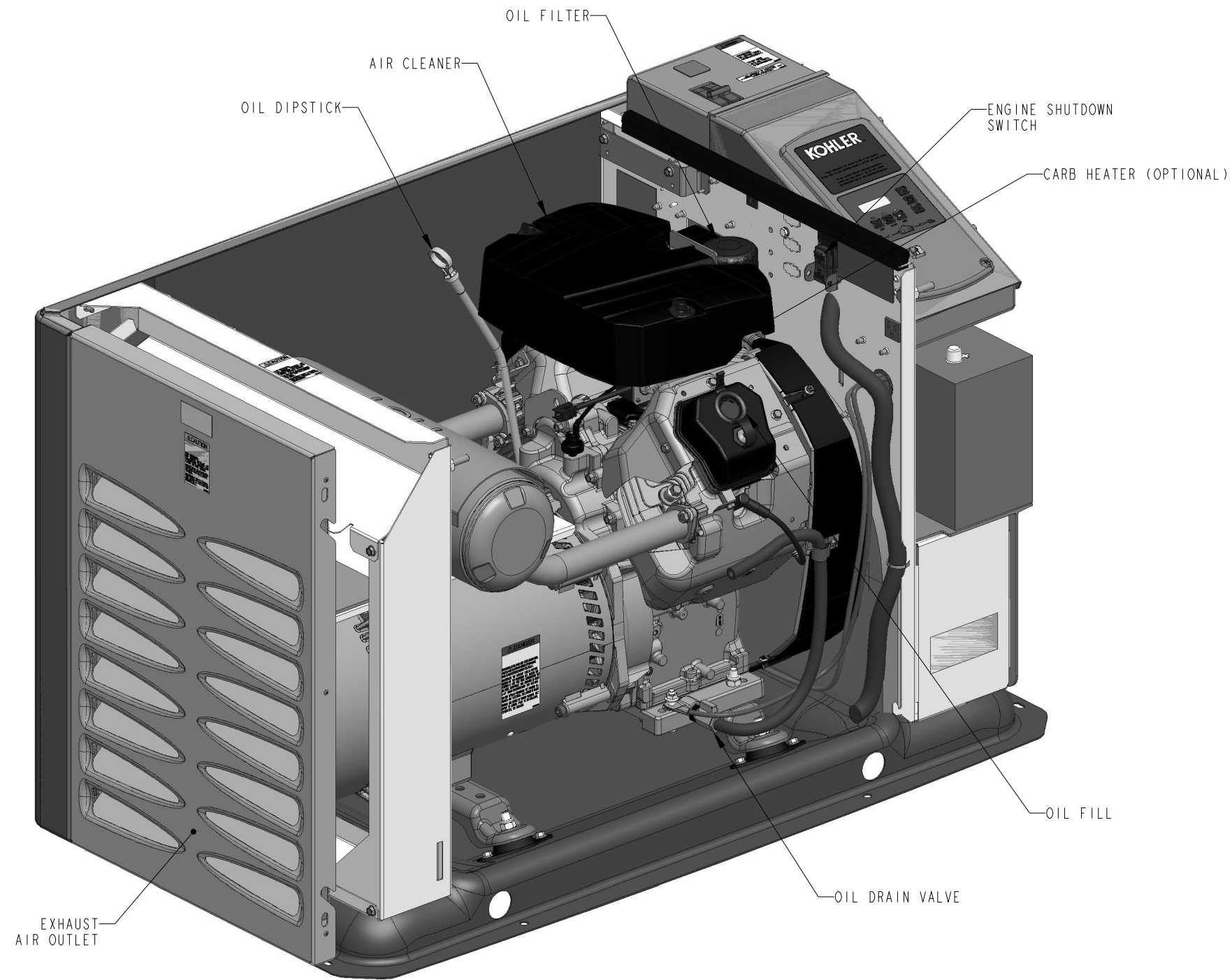


North facing side of 4183 Homestead



- The nearest window, vent, door, or similar structure opening is at least 5 feet from exhaust end (left) of unit.
- Furnace and other similar intakes are at least 10 feet from exhaust end of unit.
- There is no viable location for installation on the north side of the home*
 - Requires 10' between windows/vents and 15' between any window and intake*





| REV | DATE | CHANGE NUMBER | ON COMPOSITE DWGS, SEE PART NO. FOR REVISION LEVEL □ INDICATES PART NUMBERS AFFECTED BY LATEST DRAWING REVISION | BY |
|-----|-----------|---------------|--|-----|
| - | 04NOV2020 | CT207992 | NEW DRAWING | AZE |
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UNLESS OTHERWISE SPECIFIED:
ALL DIMENSIONS IN MILLIMETERS
GENERAL TOLERANCES:
X.XX ± 0.25
X.X ± 1.0 SURFACE FINISH
X ± 1.5
ANGLES ± 0°30' ✓ MAX.

THIRD ANGLE PROJECTION

MAJOR ⌀ = 0
CRITICAL ⌀ = 0
CHARACTERISTICS COMPLY WITH
KPS-80022

DRAWN BY AZE DATE: 04NOV2020
APPROVED BY KJB

DO NOT SCALE.
THIS ASSEMBLY OR PART MUST
COMPLY WITH PEP-RML-001.
REFERENCE CAD MODEL FOR
UNSPECIFIED DIMENSIONS.

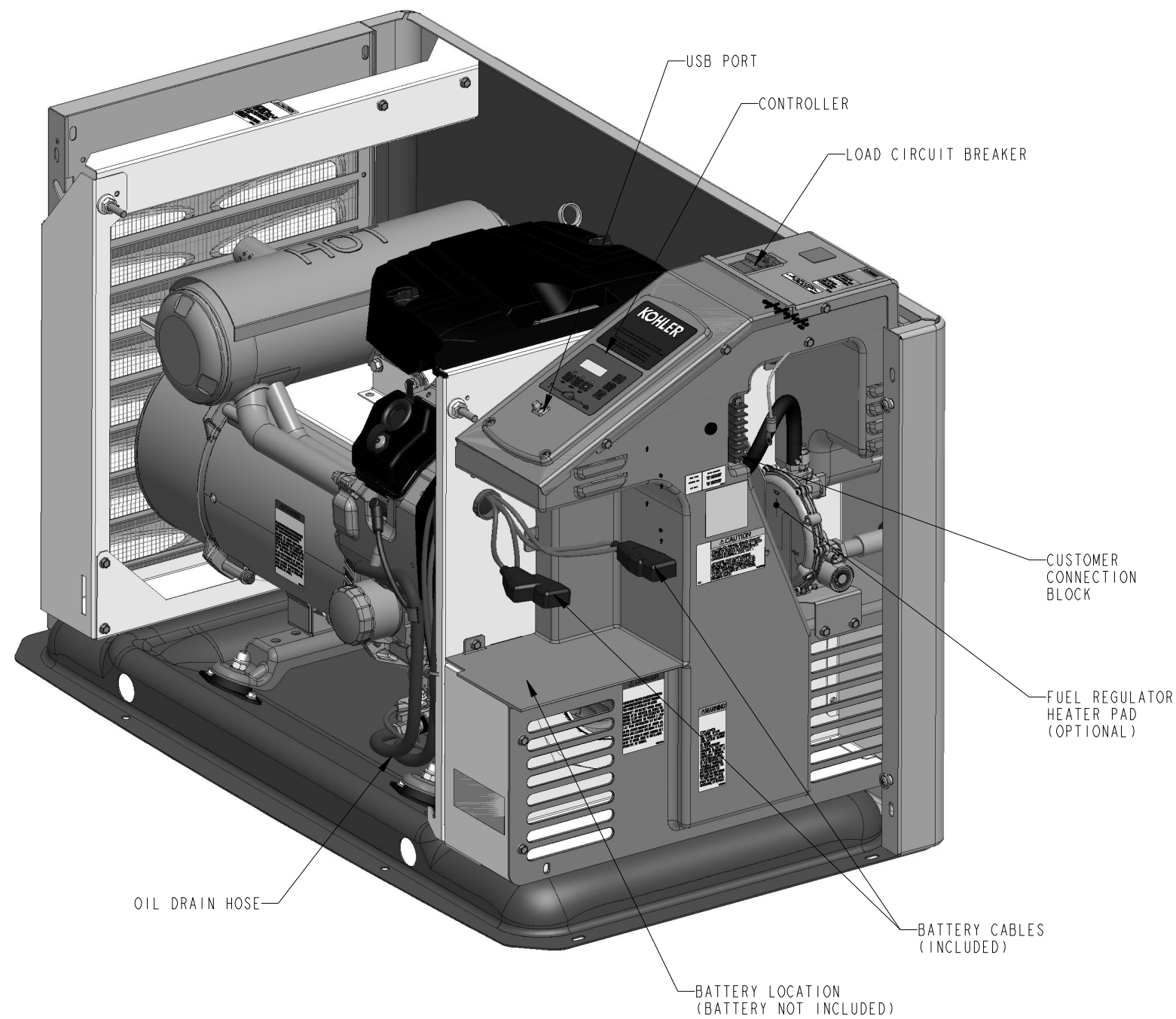
KOHLER.
KOHLER, WISCONSIN 53044

SCALE: NA SHEET SIZE: B SHEET 2 OF 5

TITLE:
**DIMENSION PRINT,
14/20RCA**

DWG NO.: **ADV-9746**

14/20RCA 11



| REV | DATE | CHANGE NUMBER | ON COMPOSITE DWGS, SEE PART NO. FOR REVISION LEVEL □ INDICATES PART NUMBERS AFFECTED BY LATEST DRAWING REVISION | BY |
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UNLESS OTHERWISE SPECIFIED:
ALL DIMENSIONS IN MILLIMETERS
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THIRD ANGLE PROJECTION

MAJOR ○ = 0
CRITICAL ● = 0
CHARACTERISTICS COMPLY WITH
KPS-80022

DRAWN BY AZE DATE: 04NOV2020
APPROVED BY KJB

DO NOT SCALE.
THIS ASSEMBLY OR PART MUST COMPLY WITH PEP-RML-001. REFERENCE CAD MODEL FOR UNSPECIFIED DIMENSIONS.

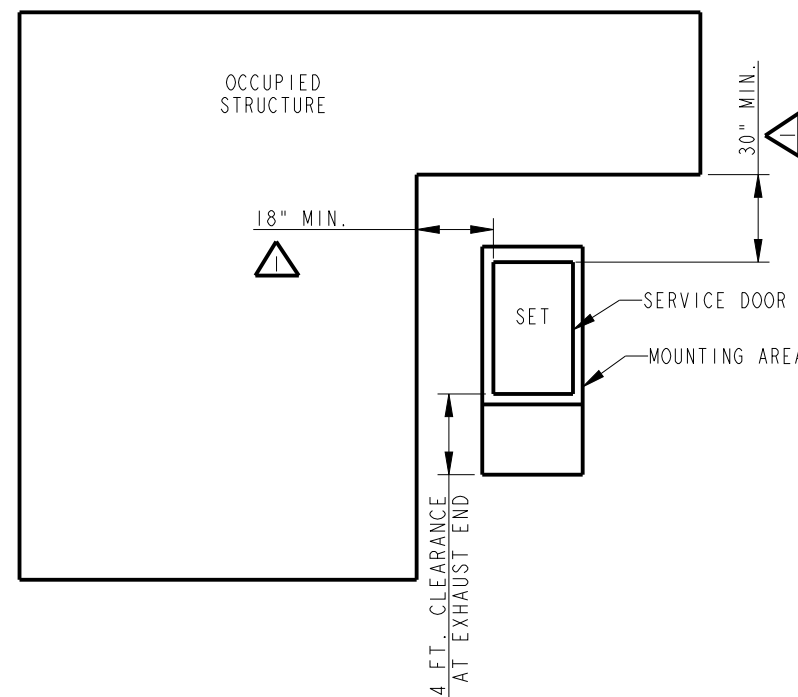
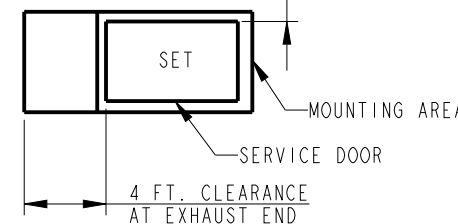
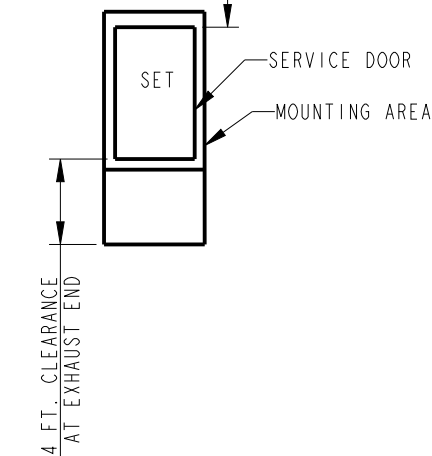
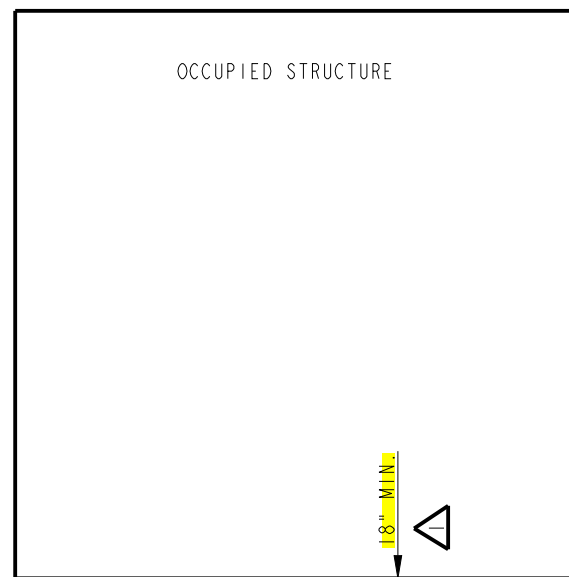
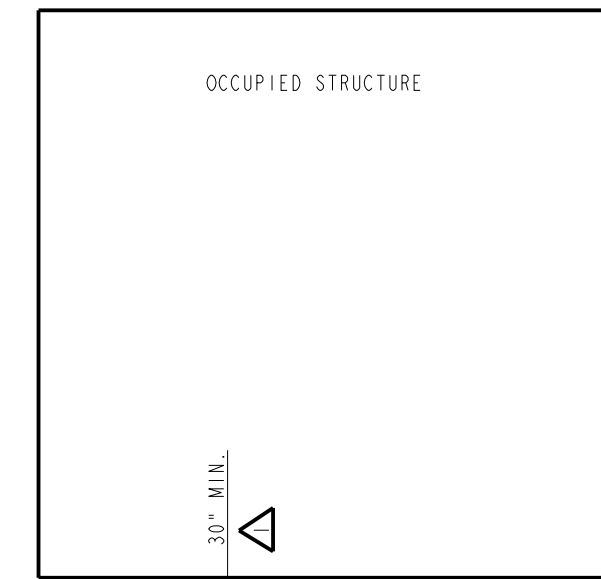
KOHLER.
KOHLER, WISCONSIN 53044


SCALE: NA SHEET SIZE: B SHEET 3 OF 5

TITLE:
DIMENSION PRINT, 14/20RCA

DWG NO.: **ADV-9746**

14/20RCA 12



NOTE:
 THE RECOMMENDED DISTANCE FROM A STRUCTURE IS DEPENDENT ON STATE AND LOCAL CODES. PRODUCT HAS BEEN DEMONSTRATED IN ACCORDANCE WITH NFPA 37 SECTION 4.1.4 BY A THIRD PARTY TEST FACILITY TO THE DIMENSIONS SHOWN.

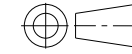
ACCEPTABLE

- 1) EXHAUST IS AIMED AWAY OR PARALLEL TO STRUCTURE.
- 2) EXHAUST IS NOT DIRECTED AT PLAY AREAS, PATIOS OR OTHER AREAS WHERE PEOPLE CONGREGATE.
- 3) THE NEAREST WINDOW, VENT, DOOR OR SIMILAR STRUCTURE OPENING IS AT LEAST 5 FEET FROM THE EXHAUST END OF THE SET.
- 4) SET HAS PROPER OFFSET FROM STRUCTURE.
- 5) WINDOWS & DOORS ON ADJACENT WALLS ARE CLOSED.
- 6) FURNACE AND OTHER SIMILAR INTAKES ARE AT LEAST 10 FEET FROM EXHAUST END OF SET.
- 7) WEED BARRIER AND 3 INCH THICK GRAVEL BASE OR CONCRETE PAD LOCATED TO PREVENT GRASS & WEEDS FROM GROWING TOO CLOSE TO THE SET.
- 8) NO PLANTS, SHRUBS OR OTHER COMBUSTIBLES ALLOWED IN CLEARANCE AREA. (MINIMUM 4 FT. FROM EXHAUST END).
- 9) REFER TO OWNERS MANUAL FOR OTHER INSTALLATION CONSTRAINTS.
- 10) NO PLANTS, SHRUBS, OR OTHER COMBUSTIBLES ALLOWED WITHIN 30" OF AIR INTAKE.

14/20RCA
 SINGLE UNIT
 CONFIGURATION

| REV | DATE | CHANGE NUMBER | ON COMPOSITE DWGS, SEE PART NO. FOR REVISION LEVEL □ INDICATES PART NUMBERS AFFECTED BY LATEST DRAWING REVISION | BY |
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| - | 04NOV2020 | CT207992 | NEW DRAWING | AZE |
| 13 | | | | |

UNLESS OTHERWISE SPECIFIED:
 ALL DIMENSIONS IN MILLIMETERS
 GENERAL TOLERANCES:
 X.XX ± 0.25
 X.X ± 1.0 SURFACE FINISH
 X ± 1.5
 ANGLES ± 0°30' ✓ MAX.

THIRD ANGLE PROJECTION


MAJOR ○ = 0
CRITICAL ⊗ = 0
 CHARACTERISTICS COMPLY WITH
 KPS-80022

DRAWN BY: AZE DATE:
 APPROVED BY: KJB 04NOV2020

DO NOT SCALE.
 THIS ASSEMBLY OR PART MUST COMPLY WITH PEP-RML-001. REFERENCE CAD MODEL FOR UNSPECIFIED DIMENSIONS.

KOHLER.
 KOHLER, WISCONSIN 53044

SCALE: NA SHEET SIZE: B SHEET 4 OF 5

TITLE:
DIMENSION PRINT, 14/20RCA

DWG NO.: **ADV-9746**



MHOG Utility Department

810-227-5225

www.mhog.org

January 5, 2024

Jon J. Wlodarczak
4183 Homestead Drive
Howell, MI48843

Subject: Proposed Whole House Generator Installation – 4183 Homestead Drive

Dear Mr. Wlodarczak;

Staff from the MHOG Utility Department have reviewed your proposed site plan for installation of a whole house generator for 4183 Homestead Drive. Based on the location of the proposed generator in relation to the existing sanitary sewer system and grinder pump, MHOG approves of the proposed location as it will not cause any interference to operation of the sanitary system.

Please let us know if you have any questions or require additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'GT', is written over the name Greg Tatara.

Greg Tatara
Utility Director
MHOG Utility Department

Osburn Services

4111 Lone Tree Rd

Milford MI 48380

877-867-5711

To whom this may concern,

1/15/2024

I am writing this letter on behalf of Jon Wlodarczak regarding the variance request on a generator installation.

The best location for the generator to our knowledge is on the right side of the home next to the air conditioner. We found during our estimate that he does not have enough property in the front or rear of the house according to the Genoa township set backs. The left side has too many windows and air intakes to be installed on that side to meet the generator requirements for installation.

Regards,

Eric Osburn

From: [Jeff Tanis](#)
To: [Amy Ruthig](#)
Cc: [Jeff Tanis](#)
Subject: Variance Notice
Date: Tuesday, February 6, 2024 7:36:18 PM

Variance Notice fl for 4183 Homestead

Hello Amy,

I received a variance notice 4183 Homestead and we live in the adjacent home at 4195 Homestead. We have no issue with the request.

Best Regards,
Jeff and Wanda Tanis

Sent from my iPad

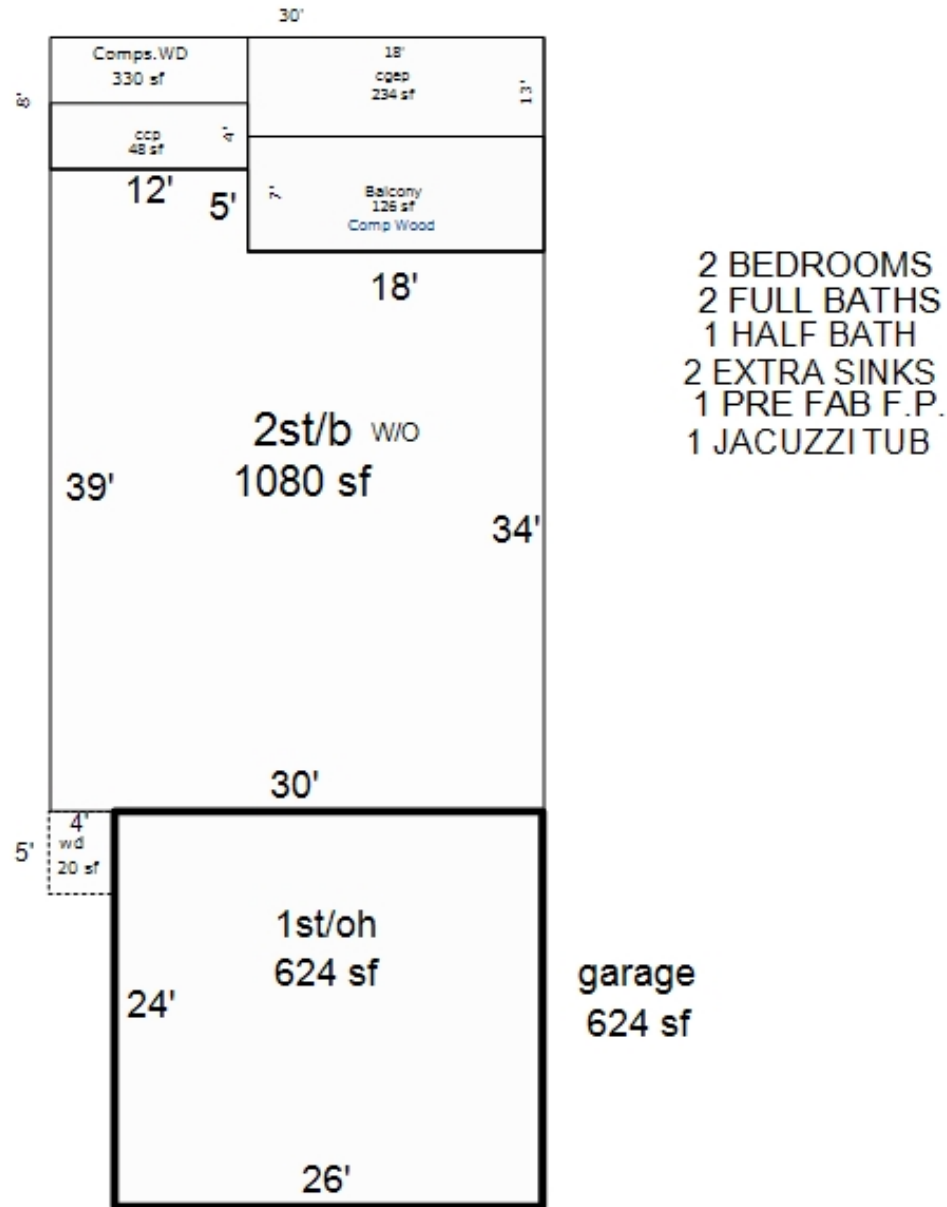
| Grantor | Grantee | Sale Price | Sale Date | Inst. Type | Terms of Sale | Liber & Page | Verified By | Prcnt. Trans. | | | | | | | | | | | | | |
|--|---------------------------|-------------------------------|------------|--|-------------------|--|--------------|---------------|------------|------------|--|----------------|--|----------------|--|-----------------|--|----------------|--|---------------|--|
| RAFFERTY SHANNON | WLODARCZAK JON & DANIELLE | 470,000 | 08/21/2013 | WD | 03-ARM'S LENGTH | 2013R-035762 | BUYER/SELLER | 100.0 | | | | | | | | | | | | | |
| RAFFERTY, THOMAS III & SHANNON | RAFFERTY SHANNON | 0 | 07/29/2008 | QC | 21-NOT USED/OTHER | 2008R-024044 | BUYER/SELLER | 0.0 | | | | | | | | | | | | | |
| RAFFERTY, THOMAS G. III | RAFFERTY III, MR. & MRS. | 1 | 12/06/1996 | WD | 03-ARM'S LENGTH | 2129-0649 | BUYER/SELLER | 0.0 | | | | | | | | | | | | | |
| | | 0 | 03/21/1993 | OTH | 21-NOT USED/OTHER | | BUYER/SELLER | 0.0 | | | | | | | | | | | | | |
| Property Address | | Class: RESIDENTIAL-IMPROV | | Zoning: LRR | | Building Permit(s) | | Date | Number | Status | | | | | | | | | | | |
| 4183 HOMESTEAD DR | | School: BRIGHTON AREA SCHOOLS | | Residential Addition | | 09/23/2019 | | P19-151 | 7 FINAL BL | | | | | | | | | | | | |
| Owner's Name/Address | | P.R.E. 100% 08/21/2013 | | Deck | | 04/15/2019 | | P19-044 | | | | | | | | | | | | | |
| WLODARCZAK JON & DANIELLE 4183 HOMESTEAD DR HOWELL MI 48843-7428 | | MAP #: V24-04 | | RES MISCEL | | 10/26/1999 | | 99-0001 | NO START | | | | | | | | | | | | |
| | | 2024 Est TCV Tentative | | HOME | | 08/13/1999 | | 99-594 | NO START | | | | | | | | | | | | |
| Tax Description | | X Improved | | Vacant | | Land Value Estimates for Land Table 4304.OLD HOMESTEAD | | | | | | | | | | | | | | | |
| SEC. 28 T2N, R5E, OLD HOMESTEAD LOT 35 | | Public Improvements | | * Factors * | | | | | | | | | | | | | | | | | |
| Comments/Influences | | Dirt Road | | Description | | Frontage | | Depth | | Front | | Depth | | Rate %Adj. | | Reason | | Value | | | |
| | | Gravel Road | | A LAKE FRONT | | 45.00 | | 142.00 | | 1.0000 | | 1.0000 | | 4500 | | 100 | | 202,500 | | | |
| | | Paved Road | | 45 Actual Front Feet, 0.15 Total Acres | | Total Est. Land Value = | | | | | | | | | | | | 202,500 | | | |
| | | Storm Sewer | | | | | | | | | | | | | | | | | | | |
| | | Sidewalk | | | | | | | | | | | | | | | | | | | |
| | | Water | | | | | | | | | | | | | | | | | | | |
| | | Sewer | | | | | | | | | | | | | | | | | | | |
| | | Electric | | | | | | | | | | | | | | | | | | | |
| | | Gas | | | | | | | | | | | | | | | | | | | |
| | | Curb | | | | | | | | | | | | | | | | | | | |
| | | Street Lights | | | | | | | | | | | | | | | | | | | |
| | | Standard Utilities | | | | | | | | | | | | | | | | | | | |
| | | Underground Utils. | | | | | | | | | | | | | | | | | | | |
| | | Topography of Site | | | | | | | | | | | | | | | | | | | |
| | | Level | | | | | | | | | | | | | | | | | | | |
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| | | Low | | | | | | | | | | | | | | | | | | | |
| | | High | | | | | | | | | | | | | | | | | | | |
| | | Landscaped | | | | | | | | | | | | | | | | | | | |
| | | Swamp | | | | | | | | | | | | | | | | | | | |
| | | Wooded | | | | | | | | | | | | | | | | | | | |
| | | Pond | | | | | | | | | | | | | | | | | | | |
| | | X Waterfront | | | | | | | | | | | | | | | | | | | |
| | | Ravine | | | | | | | | | | | | | | | | | | | |
| | | Wetland | | | | | | | | | | | | | | | | | | | |
| | | Flood Plain | | | | | | | | | | | | | | | | | | | |
| | | X REFUSE | | | | | | | | | | | | | | | | | | | |
| | | Who | | When | | What | | Year | | Land Value | | Building Value | | Assessed Value | | Board of Review | | Tribunal/Other | | Taxable Value | |
| | | JB | | 11/07/2019 | | INSPECTED | | 2024 | | Tentative | | Tentative | | Tentative | | | | | | Tentative | |
| | | JB | | 06/03/2019 | | INSPECTED | | 2023 | | 96,800 | | 275,900 | | 372,700 | | | | | | 293,514C | |
| | | | | | | | | 2022 | | 96,800 | | 247,900 | | 344,700 | | | | | | 279,538C | |
| | | | | | | | | 2021 | | 96,800 | | 232,700 | | 329,500 | | | | | | 270,608C | |

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*** Information herein deemed reliable but not guaranteed***

| Building Type | | (3) Roof (cont.) | | (11) Heating/Cooling | | | (15) Built-ins | | | (15) Fireplaces | | | (16) Porches/Decks | | (17) Garage | |
|----------------------|--|--|---|---|--|-------------|----------------|---|---|-----------------|--|---------------------------------------|--|---|-------------|--|
| X | Single Family Mobile Home Town Home Duplex A-Frame | | Eavestrough Insulation 0 Front Overhang 0 Other Overhang | X | Gas Wood | Oil Coal | Elec. Steam | | Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System | | Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas | Area 48 234 20 330 126 | Type CCP (1 Story) CGEP (1 Story) Treated Wood Composite Wood Balcony | Year Built: 2000 Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 624 % Good: 0 Storage Area: 0 No Conc. Floor: 0 | | |
| X | Wood Frame | (4) Interior | | | Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling | | | | | | | | | | | |
| Building Style: C | | Drywall Paneled | Plaster Wood T&G | Trim & Decoration | | | | | | | | | | | | |
| Yr Built 2000 | Remodeled 0 | Ex | X Ord | Min | Size of Closets | | | | | | | | | | | |
| Condition: Good | | Lg | X Ord | Small | Central Air Wood Furnace | | | | | | | | | | | |
| Room List | | Doors: | Solid X | H.C. | (12) Electric | | | | | | | | | | | |
| | Basement 1st Floor 2nd Floor 4 Bedrooms | (5) Floors | | | 0 Amps Service | | | | | | | | | | | |
| | (1) Exterior | Kitchen: Other: Other: | | | No./Qual. of Fixtures | | | | | | | | | | | |
| X | Wood/Shingle Aluminum/Vinyl Brick Insulation | (6) Ceilings | | | Ex. | X Ord. | Min | Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Heat & Cool Ground Area = 1704 SF Floor Area = 2784 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=83/100/100/100/83 | | | | | | | | |
| | (2) Windows | No. of Elec. Outlets | | | Many | X Ave. | Few | Building Areas | | | | | | | | |
| | (3) Roof | (7) Excavation | | | (13) Plumbing | | | | | | | | | | | |
| X | Many Avg. Few | X | Large Avg. Small | Basement: 1080 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0 | Average Fixture(s) 3 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan | | | | | | | | | | | |
| | (4) Windows | (8) Basement | | | (14) Water/Sewer | | | | | | | | | | | |
| | (5) Windows | Conc. Block Poured Conc. Stone Treated Wood Concrete Floor | | | Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic | | | | | | | | | | | |
| | (6) Windows | (9) Basement Finish | | | Lump Sum Items: | | | | | | | | | | | |
| | (7) Windows | Joists: Unsupported Len: Cntr.Sup: | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (8) Windows | Chimney: Brick | | | Garages | | | | | | | | | | | |
| | (9) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) | | | | | | | | | | | |
| | (10) Windows | | | | Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (11) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (12) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (13) Windows | | | | Class: C +10 Effec. Age: 17 Floor Area: 2,784 Total Base New : 500,009 Total Depr Cost: 419,151 Estimated T.C.V: 632,080 | | | | | | | | | | | |
| | (14) Windows | | | | E.C.F. X 1.508 | | | | | | | | | | | |
| | (15) Windows | | | | Bsmnt Garage: Carport Area: Roof: | | | | | | | | | | | |
| | (16) Windows | | | | Cls C 10 Blt 2000 | | | | | | | | | | | |
| | (17) Windows | | | | Stories Exterior Foundation 2 Story Siding/Brick Basement 1 Story Siding/Brick Overhang Size 1,080 624 Total: 377,436 313,234 | | | | | | | | | | | |
| | (18) Windows | | | | Other Additions/Adjustments Basement Living Area Basement, Outside Entrance, Below Grade Plumbing 3 Fixture Bath 2 Fixture Bath Extra Sink Porches CCP (1 Story) CGEP (1 Story) Balcony Wood Balcony Garages | | | | | | | | | | | |
| | (19) Windows | | | | Basement Living Area Basement, Outside Entrance, Below Grade Plumbing 3 Fixture Bath 2 Fixture Bath Extra Sink Porches CCP (1 Story) CGEP (1 Story) Balcony Wood Balcony Garages | | | | | | | | | | | |
| | (20) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (21) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (22) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (23) Windows | | | | Garages | | | | | | | | | | | |
| | (24) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (25) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (26) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (27) Windows | | | | Garages | | | | | | | | | | | |
| | (28) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (29) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (30) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (31) Windows | | | | Garages | | | | | | | | | | | |
| | (32) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (33) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (34) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (35) Windows | | | | Garages | | | | | | | | | | | |
| | (36) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (37) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (38) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (39) Windows | | | | Garages | | | | | | | | | | | |
| | (40) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (41) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (42) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (43) Windows | | | | Garages | | | | | | | | | | | |
| | (44) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (45) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (46) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (47) Windows | | | | Garages | | | | | | | | | | | |
| | (48) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (49) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (50) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (51) Windows | | | | Garages | | | | | | | | | | | |
| | (52) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (53) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (54) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (55) Windows | | | | Garages | | | | | | | | | | | |
| | (56) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (57) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (58) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (59) Windows | | | | Garages | | | | | | | | | | | |
| | (60) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (61) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (62) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (63) Windows | | | | Garages | | | | | | | | | | | |
| | (64) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (65) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (66) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (67) Windows | | | | Garages | | | | | | | | | | | |
| | (68) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (69) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (70) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (71) Windows | | | | Garages | | | | | | | | | | | |
| | (72) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (73) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (74) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (75) Windows | | | | Garages | | | | | | | | | | | |
| | (76) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (77) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (78) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (79) Windows | | | | Garages | | | | | | | | | | | |
| | (80) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (81) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (82) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (83) Windows | | | | Garages | | | | | | | | | | | |
| | (84) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (85) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (86) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (87) Windows | | | | Garages | | | | | | | | | | | |
| | (88) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (89) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (90) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (91) Windows | | | | Garages | | | | | | | | | | | |
| | (92) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (93) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (94) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (95) Windows | | | | Garages | | | | | | | | | | | |
| | (96) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (97) Windows | | | | Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (98) Windows | | | | Fireplaces Prefab 1 Story | | | | | | | | | | | |
| | (99) Windows | | | | Garages | | | | | | | | | | | |
| | (100) Windows | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost Common Wall: 1 Wall Water/Sewer Public Sewer Water Well, 200 Feet | | | | | | | | | | | |
| | (101) Windows | | | | Public Sewer Water Well, 200 Feet</ | | | | | | | | | | | |



2 BEDROOMS
2 FULL BATHS
1 HALF BATH
2 EXTRA SINKS
1 PRE FAB F.P.
1 JACUZZI TUB



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-05

Meeting Date: Feb 20, 2024
@ 6:30pm in Boardroom

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Kristie Demes Email: KLDENNES1@gmail.com

Property Address: 6511 Forest Beach Dr Phone: 419 467 5926

Present Zoning: LDR Tax Code: 4711-26-301-020

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Installation of a whole house generator. Variance of set back requirements needed

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Strict compliance with the setbacks requirements would unreasonably restrict the use of the property. Granting the variance will provide substantial justice and would make the property consistent with the other properties in the area.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The variance is necessary due to the extraordinary circumstances. Property is only 50' wide.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Granting of the variances will not impair light or air to adjacent property and will not increase congestion or increase danger of fire or public safety, comfort, morals or welfare of the inhabitants of Genoa Township.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The proposed variance would have little to no impact on appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 1/15/2024 Signature: Krista Demus



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: February 14, 2024
RE: ZBA 24-04

STAFF REPORT

File Number: ZBA#24-04
Site Address: 4183 Homestead Drive
Parcel Number: 4711-28-201-035
Parcel Size: 0.116 Acre
Applicant: Wlodarczak, Jon and Danielle, 4183 Homestead Drive, Howell
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a projection into side yard setback variance to install a whole house generator.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday February 2, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling built in 2000.
- In 1999, a side yard and waterfront variance was approved the construction of a new home.
- In 2019, a land use permit was issued for the reconstruction of the existing deck.
- In 2019, a variance was approved to allow a 3-season room.
- In 2019, a land use permit was approved for the construction of a 3-season room.
- The property utilizes a well and a public sewer system.
- See Real Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

Applicant is seeking a variance to install a whole house generator that would project into the side yard setback. Mechanical equipment such as generators and HVAC units are allowed to project into a side yard setback by 2 feet however in no case shall projections be less than 3 feet from property line. Applicant’s proposed location would be located 1’4” from the side property line.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Sec. 11.01.04 Architectural Projections into Yards: Except as otherwise provided, all projections shall comply with the setback requirements as provided for principal or accessory buildings for the district in which they are located. For the purposes of this requirement, porches with screens, lattice or removable storm window sashes shall be considered enclosed.

Notwithstanding these requirements, Certain architectural features may project into the required yards as noted in the table below:

PERMITTED ARCHITECTURAL PROJECTIONS INTO REQUIRED YARDS*

| Projection | Front Yard | Rear Yard | Waterfront Yard | Side Yard | |
|--|-----------------------|-----------|-----------------|------------------------------|-----------|
| | | | | Side Yard 10’ or less in LRR | Side Yard |
| Fireplaces and chimneys under 8’ wide | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Awnings and canopies | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Bay and bow windows | 3 ft. | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Eaves and cornices, overhanging | 3 ft. | 3 ft. | 3 ft. | 2 ft. | 3 ft. |
| Gutters | 3 ft. | 3 ft. | 3 ft. | 2 ft. | 3 ft. |
| Mechanical equipment such as HVAC and generators | -- | 5 ft. | 2 ft. | 2 ft. | 3 ft. |
| Unroofed porches and stoops | 3 ft. | 5 ft. | -- | 2 ft. | 3 ft. |
| ADA Ramps | Permitted in any yard | | | | |

* In no case shall projecting architectural elements be less than three (3) feet from a property line except for ADA ramps. (as amended 10/04/21)

PERMITTED ARCHITECTURAL PROJECTIONS INTO REQUIRED YARDS:

| SECTION 11.01.04 - PERMITTED PROJECTIONS | Projection Side Yard Setback |
|--|------------------------------|
| Allowable Projection | 2’ |
| Request of Projection | 3’8” |
| Variance Amount of Projection | 1’8” |

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the setback would cause the applicant to be unable to install the generator however it does not unreasonable prevent use of the property. There are other homes in the vicinity with reduced projections into the side yard with mostly air conditioning units that would support substantial justice and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the existing home and narrow lot. Staff does not enforce the state Building Codes and cannot determine if the requested location is the only location or the least amount necessary to determine if the variance request is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The direct neighbor is located 19 feet from the proposed location of the generator. In addition, staff received correspondence from the neighbor and they have no objections to the variance request.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval:

1. Generator shall be sized to accommodate the connection of the grinder pump per recommendation by MHOG Utility Director.
2. The weekly test of the generator shall not be scheduled between 10:00 p.m. and 7:00 a.m. and must be in compliance with the Township Noise Ordinance.

A Call to the Public was made with no response. A copy of a letter that was directed to Mr. Toomey was received from Township Attorney Rick Heikkinen. The last paragraph of the letter advised the board that the Township could not take any further action on either the boat-house or the fence until the boundary is settled either by an agreement of the concerned parties or an Order of Circuit Court quieting title. Moved by Hensick, supported by Ledford, to table the petition indefinitely as a courtesy to the petitioner until an agreement or court action is achieved. The motion carried unanimously.

Note: Residents living near the petitioner will be re-notified if the tabling of this petition extends past 90 days.

02-10...A request by David Templeton, Section 12, 1600 Euler Road, is for a 50 foot variance from wetlands with a 50 foot wetland setback for an accessory structure.

Tabled at the petitioner's request.

02-11...A request by Todd and Karen Woods, Section 9, 1096 Sunrise Park, is for a 18 foot front yard, 36 foot rear and a 22.5 foot second front yard variance to construct a single story addition measuring 20' x 24' in area.

A Call to the Public was made with no response. Moved by Hensick, supported by Ledford, to approve the following variances: 11' front yard to Cresthaven, 18' front yard to Sunrise and 36' rear yard conditioned upon retention of the large fruit tree in the corner and the home being guttered to retain all water on the parcel. This action allows the continuation of a nonconforming use. The practical difficulty is the narrowness of the lot with two front yards

4. 02-12...A request by Richard Oberliesen, Section 26, 5611 Forest Beach, is for a 19'11" side yard and a 24'11" side yard variance to construct a new home.

A Call to the Public was made with the following response: Doug Milne - I own the house next door. What assurance do we have that this work is going to make the site better? Their property is not taken care of now. Betty Swift - The septic system should be upgraded. The petitioner advised the board that a new system was put in five years ago. Moved by Skolarus, supported by Hensick, to approve side yard variances of 19' 11" and 24' 11" to allow construction of a single family home according to the plans submitted. This action is contingent upon the home being guttered with all water retained on the site. The practical difficulty is the narrowness of the lot. The motion carried unanimously.

Moved by Hensick, supported by Ledford, to approve the Minutes of February 12, 2002 regular meeting as presented. The motion carried unanimously.

Elizabeth Swift – Are you saying that a single lot could grant as many easements as they wish? Murray - The 1993 easement predates our ordinance. Cooper - This oversight would provide a method to circumvent the township ordinance. In this instance we have multiple parties using that easement. The Township Ordinance should address that specific situation.

Litogot read the declaration of easement from 1996. It appears that additional information was provided to the Planning Commission that was not provided to the Zoning Board of Appeals. Staley – I don not have enough detail to make a decision this evening.

Moved by Murray, supported by Figurski, to table the petition until the next regular meeting of the ZBA. The motion carried unanimously.

2. *98-31...A request by Michael and Jan Pozan, 4022 Aster Blvd., Howell, Section 04, for a privacy fence 6' high to enclose their yard.(Tabled from September 8, 1998 meeting)*

Case 98-31 was called with no response. Moved by Murray, supported by Figurski, to dismiss the petition. The motion carried unanimously.

3. *98-42...A request by Paul Siupik, 3671 Cresthill, Brighton, Section 22, for a 20' side variance and a second side variance of 3' to build a new home. (Tabled from September 8, 1998 meeting)*

A call to the public was made with no response. Moved by Hensick, supported by Murray, to grant the following variances: 5.8' to the east side, 8.26' to the west side and 8.12' to the road side (front) according to the plans submitted to allow the preservation of the 26" existing tree. The hardship is the configuration of a lot that is long and narrow. The motion carried unanimously.

4. *98-43...A request by Richard Oberliesen, 6511 Forest Beach Dr., Brighton, for a 23' side variance to remodel a home.(Tabled from September 8, 1998 meeting)*

A call to the public was made with the following response: Elizabeth Swift – Why is this petition called a remodeling job? Murray – The petition asks for removal of the existing home to construct a new one. Moved by Murray, supported by Hensick, to approve a 19.9' (19.9') variance to the north and a 24.9' variance to the south with the new construction being built with gutters to retain all water on the petitioner's property. The hardship is the narrowness for the lot and the reuse of the same building size. The motion carried unanimously.

Correction per Billy Hask

5. *98-45...A request by Lawrence Tabaka, 3800 Brighton Road, Brighton, for a 33' rear variance to build a home.*

A call to the public was made with no response. A letter was received from Bart Wellman voicing no objection to the petition. Moved by Figurski, supported by Murray, to approve an accessory building in the front yard and a 30' rear yard variance to build a new home and a pole barn. The hardship is the unusual grade of

A call to the public was made with the following response: Tom O'Connell – Mr. Suipik's proposal is very realistic. I have no objection. William Maruk – What is the reason for a 20' variance? Staley – This is an error. Maruk – I have no objection to the petition. Terry Ralski – I have no concerns. Moved by Murray, supported by Figurski, to table at the petitioner's request to allow the petitioner to obtain a survey and stake the property. The motion carried unanimously.

5. 98-43...A request by Richard Oberliesen, 6511 Forest Beach Dr., Brighton, for a 23' side variance to remodel a home.

A call to the public was made with the following response. George Swift – If the new home is to be placed on the foot print of the old one, how is the home closer to the lot line? Oberliesen – So that the new home can be centered on the lot. A letter was received John and Elizabeth Swift asking that a survey and staking be provided before board action. Moved by Murray, supported by Figurski, to table the request to allow the petitioner to survey and stake the lot. The motion carried unanimously.

6. 98-44...A request by Alan Umstead, 1786 South Hughes, Brighton, for a 6' privacy fence.

A call to the public was made with the following response: Harvey Zameck (Attorney representing the petitioner) – This is not a privacy issue and no hardship has been demonstrated by the petitioner. There has been no change of circumstance from two years ago. Moved by Hensick, supported by Figurski, to deny the request since no hardship or practical difficulty was presented. In addition no change in circumstance was presented which would justify a variance. The motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Moved by Murray, supported by Figurski, to approve the Minutes of the 8-11-98 regular meeting of the board with typographical corrections and adding the hardship to case 98-38. The motion carried unanimously.

The regular meeting of the Zoning Board of Appeals was adjourned at 8:45 p.m.

Respectfully submitted,

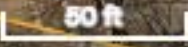


*Paulette A. Skolarus
Genoa Township Clerk*



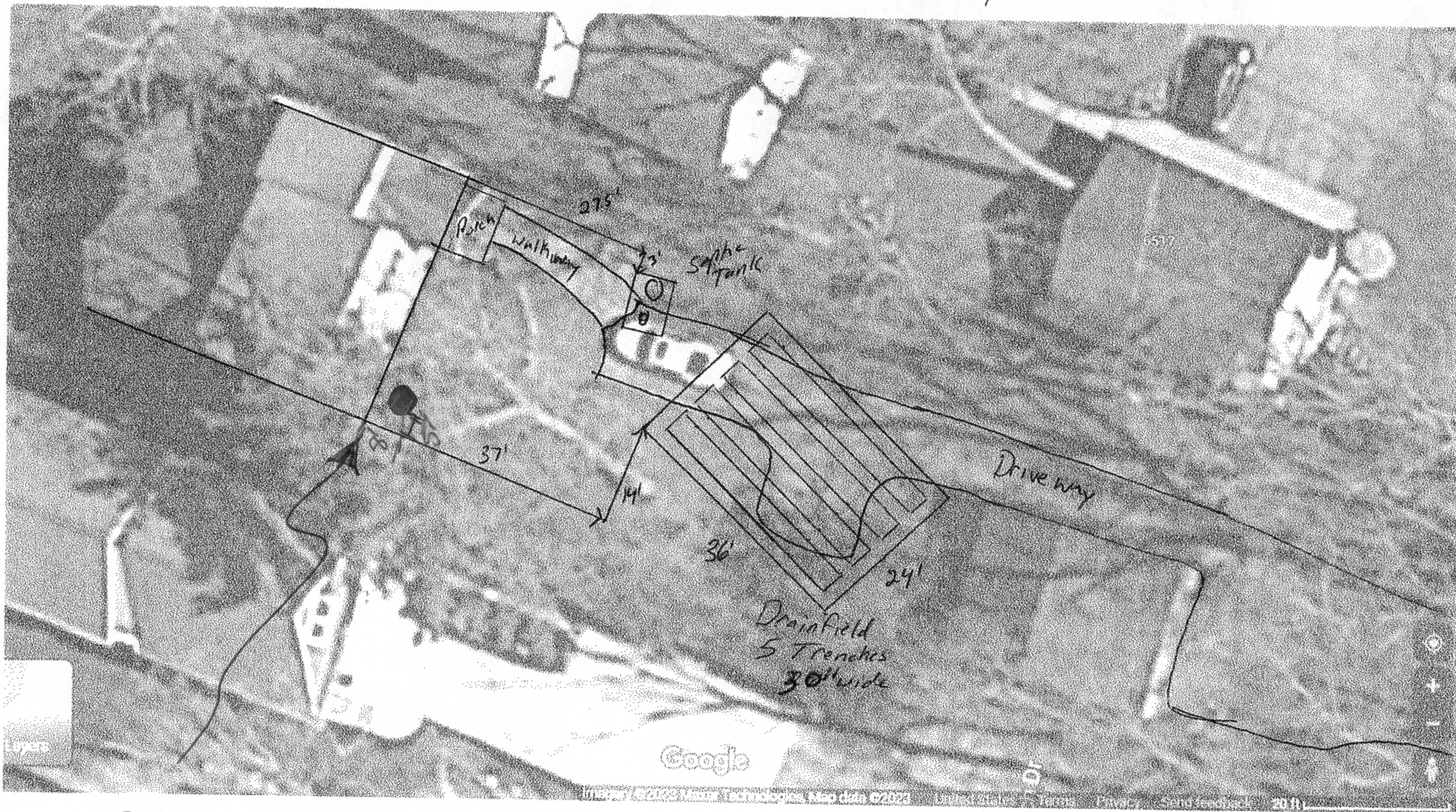
Sun Mar 26 2023

Imagery © 2024 Nearmap, HERE



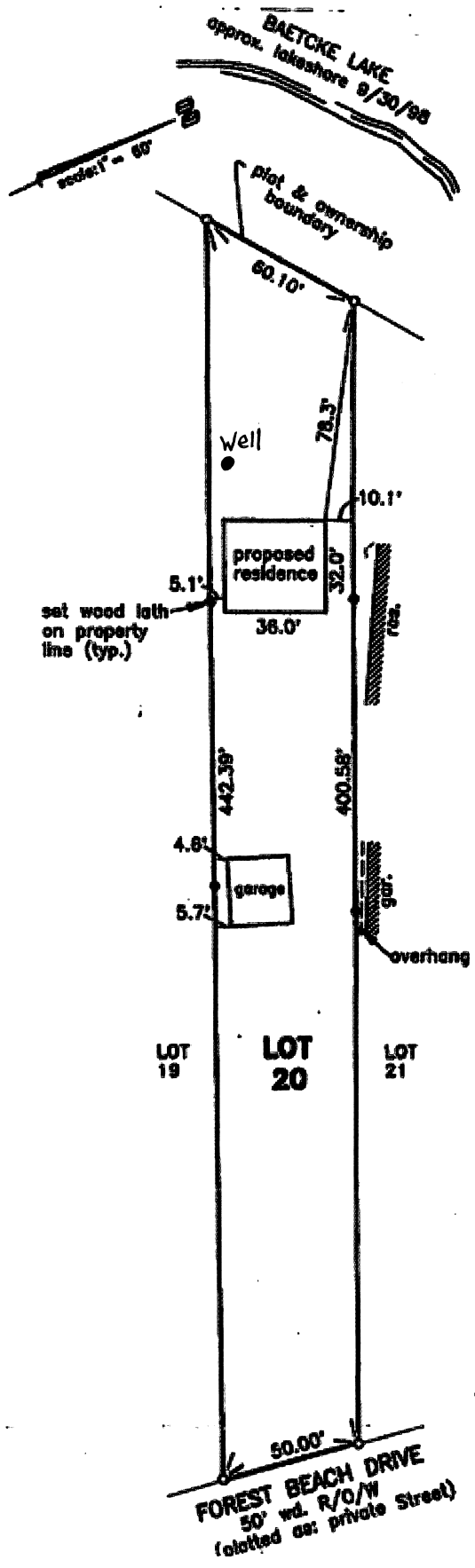
nearmap 

6511 Forest Beach, Grenon Twp.

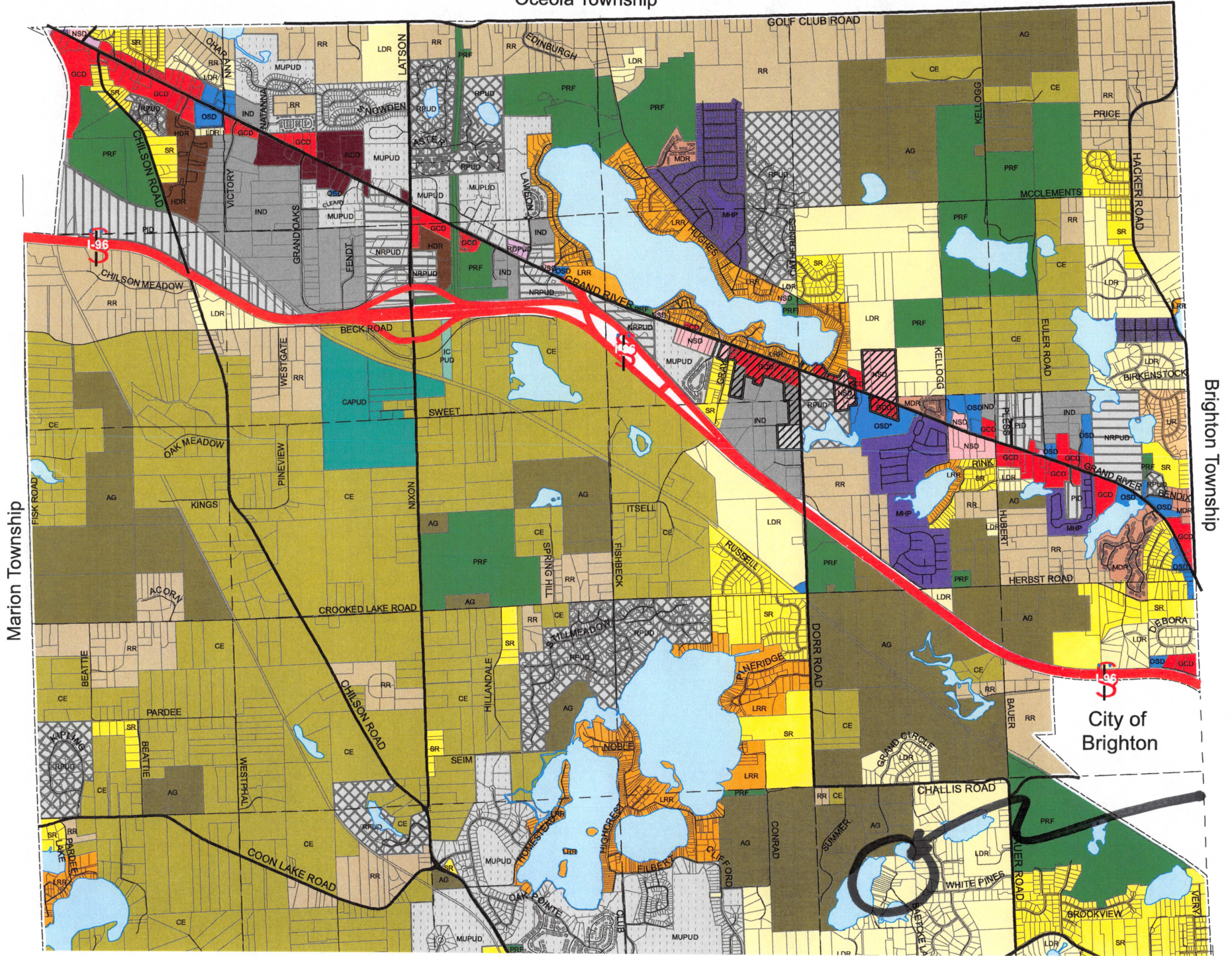


● Proposed location of generator

1" = 20'



Oceola Township

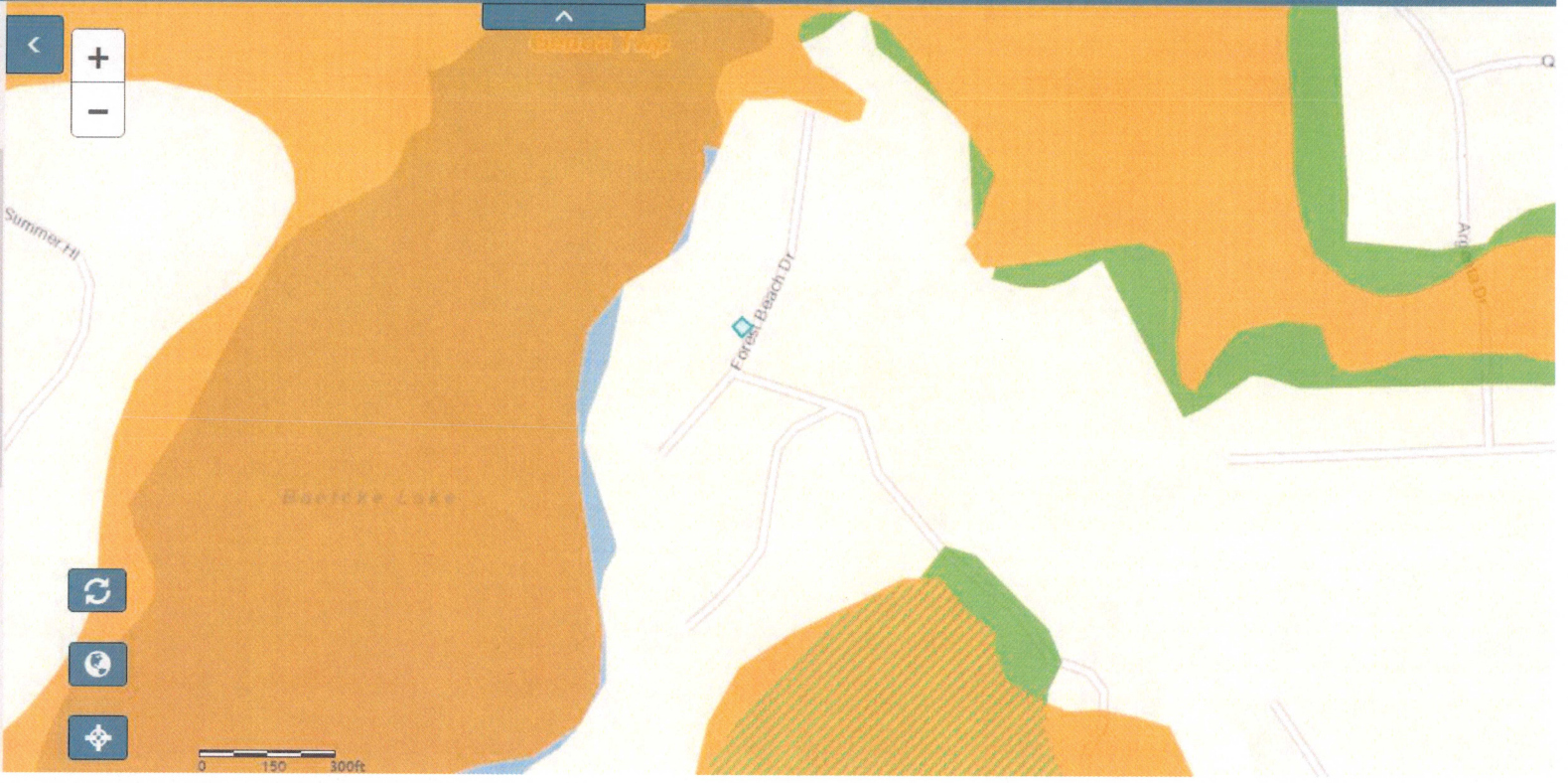


Marion Township

Brighton Township

City of Brighton

- Wetland (Hydric) Soils
- National Wetlands Inventory 2005
 - Freshwater Emergent Wetland
 - Freshwater Forested/Shrub
- Wetland
 - Freshwater Pond
 - Lake
 - Other
 - Riverine
- Potential Wetland Restoration
 - Highest Potential - Hydric and
- Presettlement Wetland Overlay
 - High Potential - Hydric Soils Only
 - Moderate Potential -
- Presettlement Wetlands Only
- Part 303 Final Wetlands Inventory
 - Wetlands as identified on NWI and MIRIS maps
 - Soil areas which include wetland



| Grantor | Grantee | Sale Price | Sale Date | Inst. Type | Terms of Sale | Liber & Page | Verified By | Prcnt. Trans. | | |
|--|--------------------------|-------------------------------|------------|--|-------------------|--------------------|----------------|-----------------|----------------|---------------|
| OBERLIESEN ARLEEN & ERIC | DENNES KRISTIE | 496,250 | 03/14/2023 | WD | 03-ARM'S LENGTH | 2023R-004614 | BUYER/SELLER | 100.0 | | |
| OBERLIESEN, RICHARD J. & A | OBERLIESEN ARLEEN & ERIC | 0 | 05/12/2011 | QC | 21-NOT USED/OTHER | 2011R-015294 | BUYER/SELLER | 0.0 | | |
| FAVIO | | 91,500 | 08/03/1995 | WD | 03-ARM'S LENGTH | 1945-0992 | BUYER/SELLER | 100.0 | | |
| | | 91,500 | 06/01/1990 | WD | 03-ARM'S LENGTH | | BUYER/SELLER | 0.0 | | |
| Property Address | | Class: RESIDENTIAL-IMPROV | | Zoning: LDR | | Building Permit(s) | | Date | Number | Status |
| 6511 FOREST BEACH DR | | School: BRIGHTON AREA SCHOOLS | | REROOF | | 05/07/2008 | | W08-033 | NO START | |
| Owner's Name/Address | | P.R.E. 100% 04/14/2023 | | PORCH | | 10/24/2002 | | 02-067A | NO START | |
| DENNES KRISTIE 6511 FOREST BEACH DR BRIGHTON MI 48116-7724 | | MAP #: V24-05 | | HOME | | 03/13/2002 | | 02-067 | NO START | |
| Tax Description | | 2024 Est TCV Tentative | | Land Value Estimates for Land Table 4012.FOREST BEACH | | | | | | |
| SEC. 26 T2N, R5E, SUPERVISOR'S PLAT OF FOREST BEACH LOT 20 | | X Improved | | Vacant | | * Factors * | | | | |
| Comments/Influences | | Public Improvements | | Description Frontage Depth Front Depth Rate %Adj. Reason Value | | | | | | |
| | | Dirt Road | | LAKE FRONT 60.00 421.00 1.0000 1.0000 2000 100 120,000 | | | | | | |
| | | Gravel Road | | 60 Actual Front Feet, 0.58 Total Acres Total Est. Land Value = 120,000 | | | | | | |
| | | Paved Road | | | | | | | | |
| | | Storm Sewer | | | | | | | | |
| | | Sidewalk | | | | | | | | |
| | | Water Sewer | | | | | | | | |
| | | Electric | | | | | | | | |
| | | Gas | | | | | | | | |
| | | Curb | | | | | | | | |
| | | Street Lights | | | | | | | | |
| | | Standard Utilities | | | | | | | | |
| | | Underground Utils. | | | | | | | | |
| | | Topography of Site | | | | | | | | |
| | | Level | | | | | | | | |
| | | Rolling | | | | | | | | |
| | | Low | | | | | | | | |
| | | High | | | | | | | | |
| | | Landscaped | | | | | | | | |
| | | Swamp | | | | | | | | |
| | | Wooded | | | | | | | | |
| | | Pond | | | | | | | | |
| | | X Waterfront | | | | | | | | |
| | | Ravine | | | | | | | | |
| | | Wetland | | | | | | | | |
| | | Flood Plain | | | | | | | | |
| | | X REFUSE | | Year | Land Value | Building Value | Assessed Value | Board of Review | Tribunal/Other | Taxable Value |
| | | Who | When | What | 2024 | Tentative | Tentative | Tentative | | Tentative |
| | | JB | 04/11/2023 | SALES REVI | 2023 | 48,000 | 172,900 | 220,900 | | 160,602C |
| | | JB | 09/22/2022 | REVIEWED R | 2022 | 48,000 | 156,400 | 204,400 | | 142,220C |
| | | | | | 2021 | 48,000 | 142,200 | 190,200 | | 137,677C |

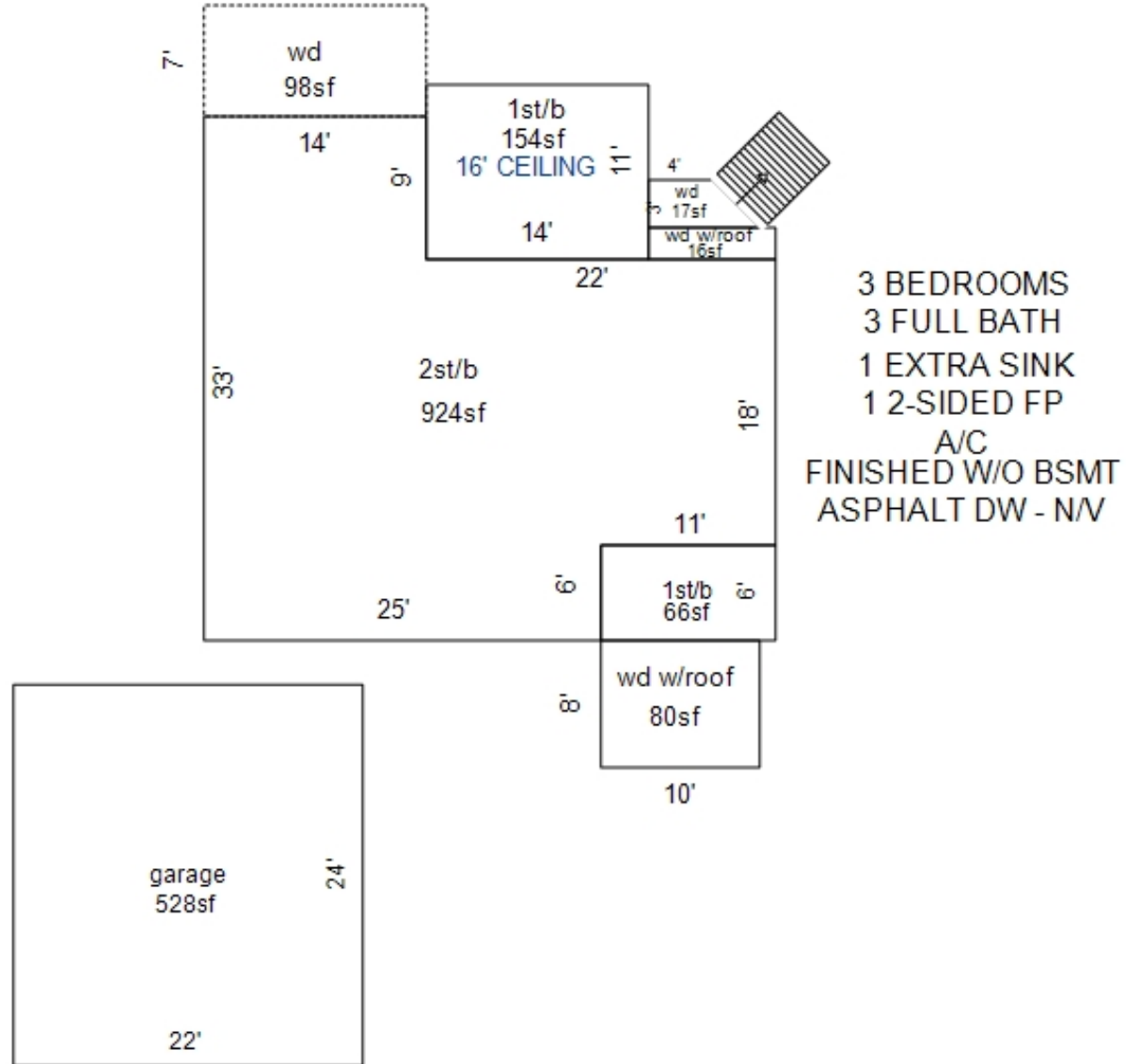


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*** Information herein deemed reliable but not guaranteed***

| Building Type | | (3) Roof (cont.) | | (11) Heating/Cooling | | | (15) Built-ins | | | (15) Fireplaces | | | (16) Porches/Decks | | (17) Garage | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|----------------------|--|-------------|----------------|--|---|-----------------|--|----------------------|--|---|-------------|----------|------------|------|----------|------------|---------|--------|----------|-----|--|--|---------|--------|----------|----|--|--|---------|--------|----------|-----|--|--|--------|--|--|--|---------|---------|-----------------------------|--|--|--|--|--|----------------------|--|--|-----|--------|--------|---|--|--|---|-------|-------|----------|--|--|--|--|--|----------------|--|--|---|-------|-------|------------|--|--|---|-----|-----|-------------|--|--|--|--|--|-----------------|--|--|---|-------|-------|----------------------|--|--|---|--------|-------|------|--|--|--|--|--|--------------|--|--|----|-------|-------|------------------------------------|--|--|----|-------|-------|------------------------------------|--|--|----|-------|-------|--------------|--|--|----|-----|-----|------------------------------------|--|--|----|-----|-----|------------------------------------|--|--|----|-----|-----|---------|--|--|--|--|--|--|--|--|--|--|--|-----------|--|--|-----|--------|--------|-------------------|--|--|--|---|--|
| X | Single Family Mobile Home Town Home Duplex A-Frame | | Eavestrough Insulation 0 Front Overhang 0 Other Overhang | X | Gas Wood | Oil Coal | Elec. Steam | | Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System | | Interior 1 Story Interior 2 Story 2nd/Same Stack 1 Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas | Area | Type | Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 528 % Good: 0 Storage Area: 0 No Conc. Floor: 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X | Wood Frame | (4) Interior | | | Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling | | | | | | | 98 80 17 16 | Treated Wood Treated Wood Treated Wood Treated Wood | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Building Style: C | | Drywall Paneled | Plaster Wood T&G | Trim & Decoration | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Yr Built 2003 | Remodeled 0 | Ex | X Ord | | Min | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Condition: Good | | Size of Closets | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Lg | X Ord | | Small | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Room List | | Doors: | Solid | X | H.C. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Basement 1st Floor 2nd Floor 3 Bedrooms | (5) Floors | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Kitchen: Other: Other: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (1) Exterior | | (6) Ceilings | | | (12) Electric | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X | Wood/Shingle Aluminum/Vinyl Brick Insulation | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | No. of Elec. Outlets | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | Many | X | Ave. | | Few | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (2) Windows | | (7) Excavation | | | (13) Plumbing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X | Many Avg. Few | X | Large Avg. Small | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens | Basement: 1144 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0 | | | Average Fixture(s) 3 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (3) Roof | | (8) Basement | | | (14) Water/Sewer | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X | Gable Hip Flat | Gambrel Mansard Shed | 870 Living 1 Walkout Doors (B) No Floor Walkout Doors (A) | SF SF SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X | Asphalt Shingle | (9) Basement Finish | | | Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Chimney: Brick | (10) Floor Support | | | Lump Sum Items: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Joists: Unsupported Len: Cntr.Sup: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr> <td>2 Story</td> <td>Siding</td> <td>Basement</td> <td>924</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Basement</td> <td>66</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Basement</td> <td>154</td> <td></td> <td></td> </tr> <tr> <td colspan="3">Total:</td> <td></td> <td>306,397</td> <td>260,412</td> </tr> <tr> <td colspan="6">Other Additions/Adjustments</td> </tr> <tr> <td colspan="3">Basement Living Area</td> <td>870</td> <td>32,747</td> <td>27,835</td> </tr> <tr> <td colspan="3">Basement, Outside Entrance, Below Grade</td> <td>1</td> <td>2,687</td> <td>2,284</td> </tr> <tr> <td colspan="6">Plumbing</td> </tr> <tr> <td colspan="3">3 Fixture Bath</td> <td>2</td> <td>9,752</td> <td>8,289</td> </tr> <tr> <td colspan="3">Extra Sink</td> <td>1</td> <td>997</td> <td>847</td> </tr> <tr> <td colspan="6">Water/Sewer</td> </tr> <tr> <td colspan="3">1000 Gal Septic</td> <td>1</td> <td>5,106</td> <td>4,340</td> </tr> <tr> <td colspan="3">Water Well, 200 Feet</td> <td>1</td> <td>11,276</td> <td>9,585</td> </tr> <tr> <td colspan="6">Deck</td> </tr> <tr> <td colspan="3">Treated Wood</td> <td>98</td> <td>2,656</td> <td>2,258</td> </tr> <tr> <td colspan="3">Treated Wood w/Roof (Deck Portion)</td> <td>80</td> <td>2,376</td> <td>2,020</td> </tr> <tr> <td colspan="3">Treated Wood w/Roof (Roof portion)</td> <td>80</td> <td>1,583</td> <td>1,346</td> </tr> <tr> <td colspan="3">Treated Wood</td> <td>17</td> <td>815</td> <td>693</td> </tr> <tr> <td colspan="3">Treated Wood w/Roof (Deck Portion)</td> <td>16</td> <td>767</td> <td>652</td> </tr> <tr> <td colspan="3">Treated Wood w/Roof (Roof portion)</td> <td>16</td> <td>378</td> <td>321</td> </tr> <tr> <td colspan="6">Garages</td> </tr> <tr> <td colspan="3">Class: C Exterior: Siding Foundation: 42 Inch (Finished)</td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="3">Base Cost</td> <td>528</td> <td>29,499</td> <td>25,074</td> </tr> </tbody> </table> | | | | | | | | | | | | | | | Stories | Exterior | Foundation | Size | Cost New | Depr. Cost | 2 Story | Siding | Basement | 924 | | | 1 Story | Siding | Basement | 66 | | | 1 Story | Siding | Basement | 154 | | | Total: | | | | 306,397 | 260,412 | Other Additions/Adjustments | | | | | | Basement Living Area | | | 870 | 32,747 | 27,835 | Basement, Outside Entrance, Below Grade | | | 1 | 2,687 | 2,284 | Plumbing | | | | | | 3 Fixture Bath | | | 2 | 9,752 | 8,289 | Extra Sink | | | 1 | 997 | 847 | Water/Sewer | | | | | | 1000 Gal Septic | | | 1 | 5,106 | 4,340 | Water Well, 200 Feet | | | 1 | 11,276 | 9,585 | Deck | | | | | | Treated Wood | | | 98 | 2,656 | 2,258 | Treated Wood w/Roof (Deck Portion) | | | 80 | 2,376 | 2,020 | Treated Wood w/Roof (Roof portion) | | | 80 | 1,583 | 1,346 | Treated Wood | | | 17 | 815 | 693 | Treated Wood w/Roof (Deck Portion) | | | 16 | 767 | 652 | Treated Wood w/Roof (Roof portion) | | | 16 | 378 | 321 | Garages | | | | | | Class: C Exterior: Siding Foundation: 42 Inch (Finished) | | | | | | Base Cost | | | 528 | 29,499 | 25,074 | E.C.F. X 1.072 | | Total Base New : 415,070 Total Depr Cost: 352,785 Estimated T.C.V: 378,186 | | Bsmnt Garage: Carport Area: Roof: | |
| Stories | Exterior | Foundation | Size | Cost New | Depr. Cost | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 Story | Siding | Basement | 924 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 Story | Siding | Basement | 66 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 Story | Siding | Basement | 154 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total: | | | | 306,397 | 260,412 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Other Additions/Adjustments | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Basement Living Area | | | 870 | 32,747 | 27,835 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Basement, Outside Entrance, Below Grade | | | 1 | 2,687 | 2,284 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Plumbing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 Fixture Bath | | | 2 | 9,752 | 8,289 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Extra Sink | | | 1 | 997 | 847 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water/Sewer | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1000 Gal Septic | | | 1 | 5,106 | 4,340 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Water Well, 200 Feet | | | 1 | 11,276 | 9,585 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Deck | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood | | | 98 | 2,656 | 2,258 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood w/Roof (Deck Portion) | | | 80 | 2,376 | 2,020 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood w/Roof (Roof portion) | | | 80 | 1,583 | 1,346 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood | | | 17 | 815 | 693 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood w/Roof (Deck Portion) | | | 16 | 767 | 652 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Treated Wood w/Roof (Roof portion) | | | 16 | 378 | 321 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Garages | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Class: C Exterior: Siding Foundation: 42 Inch (Finished) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Base Cost | | | 528 | 29,499 | 25,074 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Heat & Cool Ground Area = 1144 SF Floor Area = 2068 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=85/100/100/100/85 Building Areas <<<<< Calculations too long. See Valuation printout for complete pricing. >>>>> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

*** Information herein deemed reliable but not guaranteed***



*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
January 23, 2024 - 6:30 PM**

MINUTES

Call to Order: Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Bill Rockwell, Michele Kreutzberg, Craig Fons, Marianne McCreary, Jean Ledford and Kelly VanMarter, Township Manager.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Election of Officers:

Moved by Board Member Rockwell, supported by Board Member Kreutzberg, to maintain the current officer positions. **The motion carried unanimously.**

Introduction: The members of the Board and staff introduced themselves.

Conflict of Interest: None

Approval of the Agenda:

Moved by Board Member Ledford, supported by Board Member Kreutzberg, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was opened at 6:32 pm with no response.

1. 24-01...A request by Dennis Danville, 822 Sunrise Park, for a side and rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct an addition to an existing home.

Mr. Danville stated that the existing home is approximately 900-square feet built in the 1940's. They would like to add a bathroom and bedroom. The house would still be 29 feet from the road and this is further back than each of his neighbors; they are approximately 12 feet from the road. It does not block any of the neighbors' views. The two lots across from him are unbuildable and the lake is on the other side of the home. There are no public safety issues and does not interfere with the neighbors.

Chairperson McCreary asked how the measurements on the drawing were determined. Mr. Danville stated he used township records and a marker from a survey that was done on his property last year.

The call to the public was opened at 6:44 pm.

Mr. Thomas Sutton of 814 Sunrise Park stated that he received this notice yesterday. He is on the north side of Mr. Danville. If this addition is approved, his view pulling out of his driveway will be blocked. There are currently arborvitae planted that also block his view.

Mr. Danville stated that the last arborvitae does partially block Mr. Sutton's view. The addition will not go closer to the road than where the arborvitaes are currently.

Board Member Kreutzberg understands Mr. Sutton's concerns with the arborvitae, but the request this evening is for the addition.

The call to the public was closed at 6:52 pm.

Chairperson McCreary stated that letters of support were received from two neighbors. Mr. Danville stated another neighbor sent an email in support.

Moved by Board Member Kreutzberg, supported by Board Member Ledford, to approve Case #24-01 for Dennis Danvill of 822 Sunrise Park for a side-yard variance of .5 feet from the required 5 feet for a setback of 4.5 feet and a rear yard setback variance of 11 feet from the required 40 feet for a setback of 29 feet to construct a 280 square foot addition to an existing single-family home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. These variances will provide substantial justice, are the least necessary and would make the property consistent with other properties and homes in the area, which have reduced rear yard setbacks.
- The variances are necessary due to the extraordinary condition of the home and property on the hillside and narrow building envelope, creating the need for allowance. The alley at the rear of the home is not platted nor considered a road.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

The motion carried unanimously.

2. 24-02...A request by Chew Land Management LLC, 3638 E. Grand River Ave., for a rear yard variance and any other variance deemed necessary by the Zoning Board of Appeals to construct two additions to the existing Arby's Restaurant.

Ms. Cheryl Ball, the architect, and Mr. Joe Crawford and Mr. Jamie Crawford, the owners, were present.

Ms. Ball provided a review of the project. There are updates to the inside and the outside of the building required by Arby's Corporation. They also are proposing to add a 364 square foot addition to hold a large freezer. They had approached the property owner to the north to obtain some property from them; however, they were not successful so they are working within the constraints of the existing property.

Chairperson McCreary noted that during the Planning Commission meeting, it was suggested to have the applicant and the township work with the property owner to the north to provide them with additional property. Ms. Ball stated they have approached the owner since that meeting and they were denied.

Board Member Rockwell asked if the parking was sufficient. Mr. Crawford stated they have never filled up the parking lot. Most people do not dine inside the restaurant. They use the drive thru or pick up their order.

The call to the public was opened at 7:14 pm with no response.

Moved by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #24-02 for Chew Land Management, LLC of 3639 East Grand River for a rear yard service building variance of 3.1 feet from the required 50 feet for a setback of 46.9 feet and a rear yard setback new entry variance of 6 feet, 8 inches from the required 50 feet for a setback amount of 43 feet, 4 inches to construct a 364 square foot addition, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. The variance will provide substantial justice, is the least necessary, and would make the property consistent with other properties in the area, as there are several commercial buildings in the area with reduced setbacks.
- These variances are necessary due to the extraordinary circumstances, such as the non-conforming and irregularly shaped lot, which reduces the depth of the building envelope, with the location of the existing structure.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The applicant must receive Planning Commission approval prior to land use permit issuance.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the December 19, 2023 Zoning Board of Appeals meeting.

Moved by Board Member Rockwell, supported by Board Member Fons, to approve the minutes of the December 19, 2023 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. VanMater stated that there will be five or six items on next month's agenda.

Genoa Township Zoning Board of Appeals Meeting
January 23, 2024
Unapproved Minutes

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

Moved by Board Member Ledford, supported by Board Member Fons, to adjourn the meeting at 7:20 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary

DRAFT