

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
FEBRUARY 12, 2024
MONDAY, 6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

ELECTION OF OFFICERS:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OLD BUSINESS:

OPEN PUBLIC HEARING #1...REQUEST TO POSTPONE PER TOWNSHIP STAFF RECOMMENDATION- Consideration of a special land use application, environmental impact assessment and site plan to allow for a proposed automatic car wash located on vacant parcel #4711-04-300-017 Latson Road, east side of Latson Road, south side of Grand River Avenue. The request is petitioned by CWP West, LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1-16-24)
- C. Recommendation of Site Plan (1-16-24)

OPEN PUBLIC HEARING #2...REQUEST TO POSTPONE PER TOWNSHIP STAFF RECOMMENDATION- Consideration of a special land use application, environmental impact assessment and site plan to allow for a proposed multi-tenant commercial center including a drive through coffee shop and outdoor seating restaurant located on vacant parcels#:4711-04-300-017 and 4711-09-100-017 Latson Road, east side of Latson Road, south side of Grand River Avenue. The request is petitioned by Kevin Bahnam, 1015 Latson Road LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1-16-24)
- C. Recommendation of Site Plan (1-16-24)

OPEN PUBLIC HEARING # 3...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby's.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Disposition of Site Plan (12-13-23)

NEW BUSINESS:

OPEN PUBLIC HEARING #4...Consideration of a special land use application, environmental impact assessment and site plan to use the existing building at 2464 Dorr Road (formerly occupied by Humane Society) as a philanthropic or non-profit center to assist individuals with social needs. The property is located on the west side of Dorr Road, north of I-96 on parcel #4711-15-200-019 and the request is petitioned by The Salvation Army of Livingston County.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (12-11-23)
- C. Recommendation of Site Plan (1-19-24)

ADMINISTRATIVE BUSINESS:

- Staff Report
- Approval of January 8th and January 9th, 2024 Planning Commission meeting minutes
- Member discussion
- Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
OCT 26 2023
RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Chow Inc dba Arbys 3253 Owen Rd Fenton, MI
If applicant is not the owner, a letter of Authorization from Property Owner is needed. 48430

OWNER'S NAME & ADDRESS: James Crawford 3253 Owen Rd Fenton, MI 48430

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: (810) 444 2685 OWNER PHONE: (810) 250-9558


OWNER EMAIL: crawfordarbys@yahoo.com

LOCATION AND BRIEF DESCRIPTION OF SITE: on Grand River in Fenton
MI. closest cross street is Latson

BRIEF STATEMENT OF PROPOSED USE: to sell food

THE FOLLOWING BUILDINGS ARE PROPOSED: same as existing with the
addition of cold food storage on the rear of a
building

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: James W Crawford Jr 

ADDRESS: ~~3639 E Grand River Ave~~ 3639 E Grand River Ave
Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) James Crawford Jr of Arby's 6081 at Crawfordarbys@a
 Name Business Affiliation E-mail Address Yahoo.com

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 10-31-23
 PRINT NAME: _____ PHONE: _____
 ADDRESS: _____

2. The applicant proposes the inclusion of multiple bright colors on the mainly white and red building.
3. He asked the applicant to confirm that no changes to building materials are proposed. Mr. Schwartz stated the building materials will not change.
4. He asked the applicant to confirm that the changes are only proposed to the front and west side of the building. Mr. Schwartz stated if their proposal is approved, they would like to change the other two sides.
5. Section 12.01.05 requires that building colors “relate well and be harmonious with the surrounding area” and that “subtle earth tone colors shall be used.”
6. In his opinion, the proposed façade changes do not meet the requirements of the Zoning Ordinance.

Vice-Chairman Rauch noted that the addition of a red fence next to the outdoor seating is also being proposed.

The call to the public was made at 6:40 pm with no response.

Commissioner Dhaenens stated the fluorescent colors are too bright. They should be toned down. He will not be able to support this as presented. He would like to see a different proposal.

Vice-Chairman Rauch stated that the Township’s zoning ordinance states a consistent design throughout the area, which includes earthtones and clean lines. He is not in support of the proposal as presented. He also noted that he is not in favor of the existing red accents on the building.

Commissioner McCreary agrees.

Commissioner McBain stated this would be a great design for a downtown area. There are other ways to accent the building with different colors.

Mr. Schwartz asked if he could propose different designs for the township to review. Mr. Rauch advised him to contact Ms. Ruthig.

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to table the review of the sketch plan dated December 7, 2023 for façade revisions to the existing Dave’s Hot Chicken Restaurant located at 3667 E. Grand River Avenue, to allow the applicant to meet with township staff to develop other designs. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby’s Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby’s.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Recommendation of Site Plan (12-13-23)

Mr. Jamie Crawford, the owner, and Ms. Cheryl Ball, the architect, were present. Ms. Ball stated Arby's Corporate is requiring them to update the interior and exterior of the building. She provided the site plan, showing the new location of the entrance drive. She presented colored renderings. They have applied for a variance from the ZBA for the rear yard setback.

With regard to Mr. Borden's letter addressing the excessive EIFS, she has a revised proposal to reduce it to 31.4 percent, which is closer to the 25 percent limit.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The building materials include an excessive amount of EIFS and he noted Ms. Ball's comments this evening.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. The required drive-through stacking spaces block circulation at the main drive aisle. Alternatives should be explored to mitigate this condition.
4. The plan is deficient on parking spaces so the applicant must provide the Township with a shared parking agreement to address this deficiency. He suggests the parallel spaces be removed from the plan.
5. He suggests additional shrubs be provided to create a hedgerow that better screens the front yard parking spaces.
6. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
7. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
8. The petitioner is requesting two wall signs, where one is permitted. The Planning Commission may allow a second wall sign.
9. He is requesting the applicant amend the sign detail to note that the existing nonconforming pole sign will be removed and replaced with a monument sign.
10. The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. Approval from the Brighton Area Fire Authority should be provided prior to site plan approval, which has been obtained.
2. A detail should be provided for the proposed parking stripping.

The Brighton Area Fire Authority Fire Marshal's letter dated December 20, 2023 stated that he has no outstanding concerns.

Vice-Chairman Rauch understands that the Arby's brand has changed since this building was built and this site is a challenge to meet those changes. He asked if there is a possibility to swap this property with some property to the rear. Mr. Crawford stated he did approach the owner of the shopping center; however, their cost for the property was too high.

There was a discussion regarding the drive thru stacking. Mr. Crawford advised there are issues sometimes, but the cars needing to back out of a space wait for the drive thru car to move forward.

Commissioner Dhaenens agrees with Vice-Chairman Rauch's idea of the land swap. He would like the Township to be involved in the conversation between the petitioner and the land owner. Mr. Crawford stated he needs to meet the spring 2024 deadline from Arby's corporate.

Commissioner McCreary also agrees with Vice-Chairman Rauch's idea. It is a forward thinking idea and could be a positive for the applicant, the property owner, and the township.

Vice-Chairman Rauch asked the commissioners their opinions on the current issues with the existing site, such as the parking, drive thru stacking, etc. Mr. Borden stated it is always the desire to improve sites; however, the parking issues are minor and if they do not pose problems at this time, he recommends allowing them to remain. All commissioners agreed to allow the existing angled parking, but the parallel parking must be removed.

The call to the public was made at 7:33 pm with no response.

Ms. Ball stated that she will comply with all the requirements in Mr. Borden's review letter.

After a discussion regarding the outstanding issues, the commission and the applicant decided to table the item this evening.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to table the review of an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue to allow the applicant to address the feedback this evening regarding the amount of EIFS, the drive-thru stacking, the possibility of a shared parking agreement, plantings, and to contact staff to facilitate a discussion between the applicant, the township, and the property owner. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3... Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (10-31-23)
- B. Recommendation of Site Plan (12-18-23)

Mr. Patrick Cleary of Boss Engineering, Mr. Russ Springborn, the owner, and Mr. Dave Richardson of Lindhout & Associates, the architect, were present.

Mr. Thomas Sutton of 814 Sunrise Park stated that he received this notice yesterday. He is on the north side of Mr. Danville. If this addition is approved, his view pulling out of his driveway will be blocked. There are currently arborvitae planted that also block his view.

Mr. Danville stated that the last arborvitae does partially block Mr. Sutton's view. The addition will not go closer to the road than where the arborvitaes are currently.

Board Member Kreutzberg understands Mr. Sutton's concerns with the arborvitae, but the request this evening is for the addition.

The call to the public was closed at 6:52 pm.

Chairperson McCreary stated that letters of support were received from two neighbors. Mr. Danville stated another neighbor sent an email in support.

Moved by Board Member Kreutzberg, supported by Board Member Ledford, to approve Case #24-01 for Dennis Danvill of 822 Sunrise Park for a side-yard variance of .5 feet from the required 5 feet for a setback of 4.5 feet and a rear yard setback variance of 11 feet from the required 40 feet for a setback of 29 feet to construct a 280 square foot addition to an existing single-family home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. These variances will provide substantial justice, are the least necessary and would make the property consistent with other properties and homes in the area, which have reduced rear yard setbacks.
- The variances are necessary due to the extraordinary condition of the home and property on the hillside and narrow building envelope, creating the need for allowance. The alley at the rear of the home is not platted nor considered a road.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

The motion carried unanimously.

2. 24-02...A request by Chew Land Management LLC, 3638 E. Grand River Ave., for a rear yard variance and any other variance deemed necessary by the Zoning Board of Appeals to construct two additions to the existing Arby's Restaurant.

Ms. Cheryl Ball, the architect, and Mr. Joe Crawford and Mr. Jamie Crawford, the owners, were present.

Ms. Ball provided a review of the project. There are updates to the inside and the outside of the building required by Arby's Corporation. They also are proposing to add a 364 square foot addition to hold a large freezer. They had approached the property owner to the north to obtain some property from them; however, they were not successful so they are working within the constraints of the existing property.

Chairperson McCreary noted that during the Planning Commission meeting, it was suggested to have the applicant and the township work with the property owner to the north to provide them with additional property. Ms. Ball stated they have approached the owner since that meeting and they were denied.

Board Member Rockwell asked if the parking was sufficient. Mr. Crawford stated they have never filled up the parking lot. Most people do not dine inside the restaurant. They use the drive thru or pick up their order.

The call to the public was opened at 7:14 pm with no response.

Moved by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #24-02 for Chew Land Management, LLC of 3639 East Grand River for a rear yard service building variance of 3.1 feet from the required 50 feet for a setback of 46.9 feet and a rear yard setback new entry variance of 6 feet, 8 inches from the required 50 feet for a setback amount of 43 feet, 4 inches to construct a 364 square foot addition, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. The variance will provide substantial justice, is the least necessary, and would make the property consistent with other properties in the area, as there are several commercial buildings in the area with reduced setbacks.
- These variances are necessary due to the extraordinary circumstances, such as the non-conforming and irregularly shaped lot, which reduces the depth of the building envelope, with the location of the existing structure.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The applicant must receive Planning Commission approval prior to land use permit issuance.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the December 19, 2023 Zoning Board of Appeals meeting.

Moved by Board Member Rockwell, supported by Board Member Fons, to approve the minutes of the December 19, 2023 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. VanMater stated that there will be five or six items on next month's agenda.

February 6, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Arby's – Site Plan Review #3
Location:	3639 East Grand River Avenue – north side of Grand River, between Grand Oaks and Cleary Drives
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan for expansion, remodel and exterior site improvements of the existing Arby’s drive-through restaurant at 3639 East Grand River Avenue (revisions dated 1/22/24).

A. Review Summary

1. A variance is needed to match the nonconforming rear yard setback.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. We suggest additional shrubs be provided to fill in the gap near the sidewalk connection.
4. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
5. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
6. The Planning Commission may allow a 2nd wall sign.
7. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority

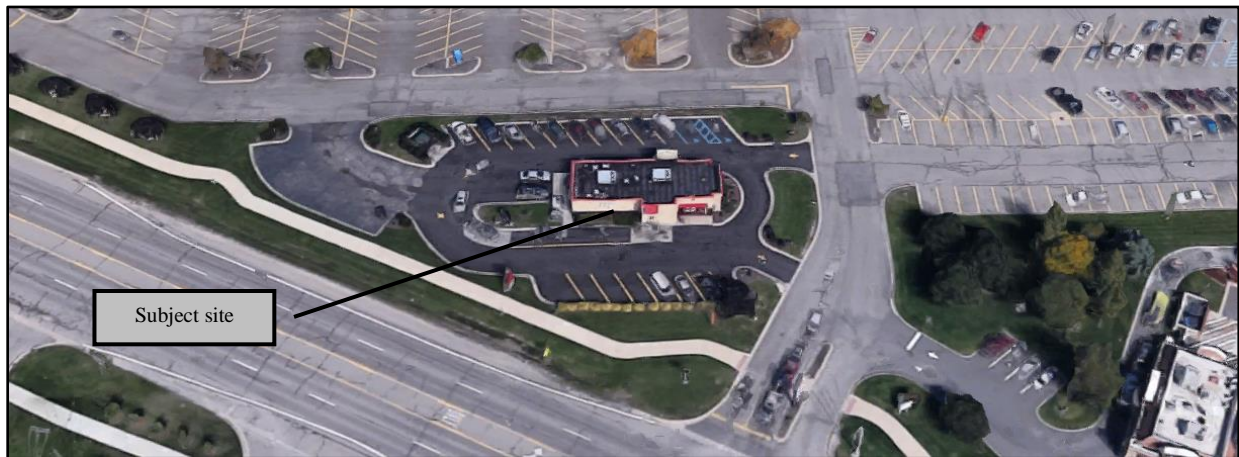
B. Proposal/Process

The applicant proposes expansion, remodeling, and site improvements for the existing Arby’s drive-through restaurant.

More specifically, the project includes an approximately 340 square foot building addition, a new waste receptacle and enclosure, resurfacing/restripping of the parking lot, new wall mounted light fixtures, new landscaping, and a façade renovation.

Section 7.02 lists restaurants with drive-throughs as special land uses in the RCD; however, the size of the expansion does not require a new special land use review (Section 19.06).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment. The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Assessment.



Aerial view of site and surroundings (looking north)

C. Site Plan Review

1. Dimensional Requirements. The proposal has been reviewed for compliance with the dimensional requirements of the RCD, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
RCD	2	200	70	20	50	20 front 10 side/rear	35% building 75% impervious	45' 3 stories
Proposal	0.81	250	71.9	31 (E) 165 (W)	46.9	30 front 16 side 5 rear	6.2% building 68.6% impervious	15.5' 1 story

The existing lot area, rear building and rear yard parking setbacks are existing nonconforming conditions. The proposed building expansion matches the existing rear yard setback, and requires a variance from the ZBA.

2. Building Design and Materials. The proposed building elevations include brick, CMU, EIFS, various siding/panel types and a cast stone base. The color scheme includes white, gray, brown and red.

The amount of EIFS exceeds that allowed by Section 12.01; however, the revised submittal reduces the amount of EIFS and increases the amount of fiber cement board siding from the previous submittal, as discussed.

The Commission has discretion to modify the material requirements based on existing conditions.

Building materials and colors are subject to review and approval by the Planning Commission.

3. Pedestrian Circulation. There is an existing sidewalk along Grand River.

The project includes a private sidewalk and crosswalk connection between the public sidewalk and main building entrance.

4. Vehicular Circulation. No changes are proposed to the existing drives and cross-connections with the shopping center.

The plan has been revised to note drive-through stacking in the aisle parallel to Grand River. While this may disrupt traffic flow, it will not fully block circulation as did the previous plan.

As discussed with the Commission, the applicant indicated that they have not encountered circulation issues with the current layout, and the proposal does not alter existing conditions in any significant way.

The plan includes a mix of one-way and two-way traffic that warrant directional signage and/or pavement markings.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 5. **Parking.** The revised plan provides 19 spaces, while 17 are required. The revised plan includes a mix of angled and 90-degree parking that meet the design and dimensional standards of the Ordinance, including looped striping.
- 6. **Exterior Lighting.** The lighting plan identifies 6 light poles, 10 wall mounted fixtures, and 3 under canopy fixtures.

Based on the detail sheet, the proposed fixtures are downward directed LED and/or ornamental, per Ordinance standards.

The revised plan demonstrates compliance with pole heights and allowable light intensity (both on-site and along property lines).

- 7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 7 canopy trees	20' width 5 canopy trees 16 shrubs proposed 11 shrubs existing	Deficient by 2 trees
Buffer Zone C (N)	10' width 15 canopy trees OR 15 evergreen trees OR 58 shrubs	5' to 10' width 19 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (E)	10' width 8 canopy trees OR 8 evergreen trees OR 31 shrubs	0' to 10' width 1 existing tree 10 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (W)	10' width 2 canopy trees OR 2 evergreen trees OR 6 shrubs	10' width 4 shrubs	Deficient in plantings
Parking lot	2 canopy trees 200 SF landscaped area	2 trees 1,000+ SF landscaped area	In compliance

Additional shrubs have been added to screen the front yard parking spaces, though there remains a small gap in plantings between the existing shrubs and proposed sidewalk connection. We suggest the applicant add more shrubs to fill in this gap.

Existing conditions preclude required widths and restrict planting in certain areas. The Commission may waive or modify the landscaping requirements based on the standards in Section 12.02.13.

The plant schedule and landscape plan are inconsistent with respect to the quantity of Majic Carpet Spirea (18 depicted; 21 noted) and Green Velvet Boxwoods (23 depicted; 24 noted).

8. Waste Receptacle. The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

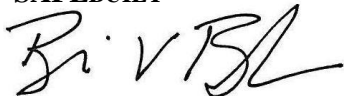
	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates access	Requirement met
Base design	9' x 15' concrete pad	17' x 28' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Split face block painted to match 6'-8" height	Requirements met

9. Signage. The revised submittal identifies 2 new wall signs and a new monument sign to replace the nonconforming pole sign.

The Planning Commission may allow a 2nd wall sign, per Footnote 2 of Table 16.1.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
 Michigan Planning Manager



January 30, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Arby's Renovation
Site Plan Review No. 3**

Dear Ms. Ruthig:

Tetra Tech conducted a third review of the proposed Arby's Renovation site plan last dated January 22, 2024. The plan was prepared by C Ball Design on behalf of CHEW Land Management, L.L.C. The development is located at the existing Arby's site on the north side of Grand River Avenue. The Petitioner is proposing to renovate the existing Arby's building, and site work includes repaving the existing parking lot and drives, repainting parking striping, and adding sidewalk.

Although the proposed angled parking adjacent to the drive-through results in a drive aisle less than the required 15 feet, the proposed configuration matches the existing parking layout and there does not appear to be any current issue with vehicle circulation as a result. The Petitioner has addressed all previous comments and we have no further engineering related concern with the proposed site plan.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrnes'.

Shelby Byrnes, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2024

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Arby's Howell Grand River
3639 E Grand River Ave.
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated February 15, 2023 with latest revisions dated January 22, 2024. The project is based on an existing 1,796 square foot drive-thru restaurant with drive-thru. The plan is proposing the addition of a new cooler/freezer to be added to the East side of the building. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously cited concerns and code requirements related to site access, water supply and fire safety have been addressed.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

PROJECT NAME

Impact Assessment

- a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Arby's #6081 Remodel, Howell MI 3639 E. Grand River Ave.
 Preparing this document; Cheryl Ball Architecture Designer cballdesign@aol.com, with review by Kim Proconier AIA registered architect. Proline Architecture: Proline8@juno.com. Review by franchise owner's Joe & Jamie Crawford, crawfordArbys@yahoo.com

- b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also included information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

See attached maps with notes

- c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Existing environmental characteristics of the site prior to development are: Low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none, (1) mature tree in front, wetlands – none, Drainage is underground toward the drainage basin. No lakes, streams, creeks or ponds.
 Existing environmental characteristics of the site after development are: Very low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none. Trees, shrubs and green have been added– see Landscape plan. Wetlands – none, Drainage is underground toward the drainage basin to remain. No lakes, streams, creeks or ponds.
 See attached aerial maps with survey, existing drainage, sewer, water, soil type.

- d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

This remodel will be reviewed by the Livingston County SESC Dpt. The drawing submittal to the Livingston Co SESC department will show the limits of the silt fence. The GC will use the required silt fence / shield prior to any exterior land & vegetation work.

- e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The impact from the remodel will be slight. The surrounding area is all Commercial; OSD, NSD, GCD and - with asphalt, concrete and minimal amount of vegetation.

- f. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The average count is 150 patrons per day. The anticipated impact to educational, municipal, or religious establishments will remain the same.

- g. **Impact on public utilities:** Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The existing water, sanitary sewer will remain the same for the restaurant remodel. The existing runoff will remain during periods of construction.

- h. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There are no hazardous materials on site, existing and for the remodel.

- i. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan.

The impact of this remodel will be approximately a 60-70 day shut down. All access points will be taped off and the rear access drive will be the designated construction traffic access. Any extra construction vehicles & equipment will be parked directly north in the vacant parking lot.

- j. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

All easement restrictions are noted on the latest survey by Mannik Smith

- k. **A list of all sources shall be provided.**

Livingston County GIS map online. [Livgov.map.arcgis.com](http://livgov.map.arcgis.com). FEMA info site. National soil types: <https://websoilsurvey.nrcs.usda.gov/app/>. Arcgis.com – flood plane info.

Drainage – Livingston county: Kenneth E. Recker, II, P.E., Chief Deputy Drain Commissioner

PROJECT TEAM

FRANCHISE OWNER: CHEW LAND MANAGEMENT LLC 111 EAST COURT ST STE 2C3, FLINT MI 48502. ALT. ADDRESS: LAKE FENTON MGMT PH # 810-750-3423. CrawfordArbys @ Yahoo.com

ARCHITECTURE DESIGNER: C BALL DESIGN LINDEN, MI 810-853-0451 CBallDesign@aol.com

ARCHITECT: KIM PROCUNIER LIC# 1301029125 ADDRESS: 3540 WEST RIVER RD, SANFORD, MI 48657. PH# 415-310-6884, PROLINE8@JUNO.COM

GENERAL CONTRACTOR: RICH SIMMONS, MICHIGAN ROOFING INC, 8465 SOUTH AIRPORT RD DEWITT, MI 48820 PH# 517-719-8017 , rdsimmons34@yahoo.com

DECOR FINISH COMPANY: CHI CHARTER HOUSE , KEITH LIEBERT, PH#248-996-0315

KITCHEN EQUIPMENT SUPPLIER: JOE VANCE TRIMARK, joe.vance@trimarkusa.com

JURISDICTION & CODE

GENOA TOWNSHIP - UNIT 4711. COMMERCIAL -IMPROVED CLASS. HOWELL PUBLIC SCHOOLS. ZONING CODE: RCD, PARCEL #4711-05-400-029. TOTAL Acres 1.11. EXST BLDG = 1769 SF (SURVEY) + 364 SF = 2168 SF Proposed.

Current codes: 2015 MBC, 2017 MI Elec w/ Part 8 amend, 2015 Plumbing+Mechanical, 2015 Int'l Fire Code

STATE OF MI 2015 BLDG - USE GROUP A-2 (ASSEMBLY) TYPE OF CONSTRUCTION: 5B (MBC TABLE 601) OCC LOAD MBC 2015 Assembly w/o fixed seats: 15 net, 1004.4. After remodel seats = 34 EGRESS: 1006.2.1 - based on OCC load and common path of travel- 2 Req'd & 2 Exits provided

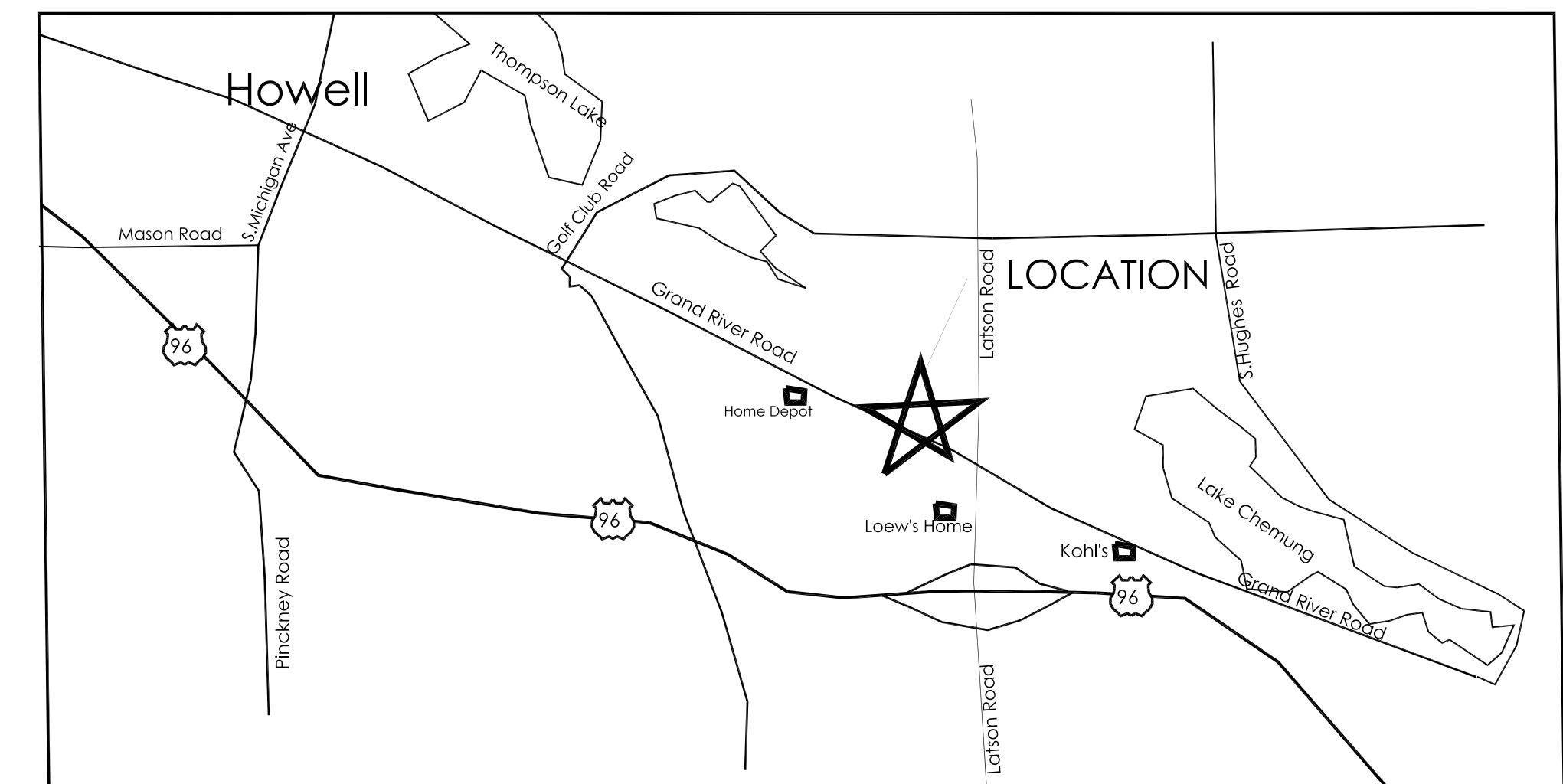
PLUMBING 2015: Fixtures Table 2902.1 Revised as follows: A2 Restaurants; WC req'd = 1:75 M/F. Provide 1 WC each M/F. See dwg A1.2 DF req'd 1:500, provided 0 (exception)

ELECTRICAL 2017 & MECH 2015

M.E.&P.INSPECTIONS: Livingston County Building Department, contact (517) 546-3240

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan



LOCATION MAP

N.T.S.

DRAWING INDEX

DWG	rev SPR	3 RD CORP REV	2nd SPR
C1.0 - COVER SHEET INDEX SURVEY	01-22-24	05.17.23	12-18-23
CS.1 - REGISTERED SURVEY	01-22-24		12-13-23
C-EX.1 - EXISTING & DEMO	01-22-24	05.17.23	12-13-23
C1.1 - SITE PLAN, CODE NOTES	01-22-24		12-13-23
C1.2 - ENLARGE SITE PLAN + DETAILS	01-22-24		12-13-23
C1.3 - ENLARGE SITE PLAN + DETAILS	01-22-24		12-18-23
C1.4 - PHOTOMETRICS	01-22-24		12-18-23
C1.5 - LANDSCAPE PLAN & DRAINAGE	01-22-24		12-13-23
GENERAL			
G1.1 - ADA MOUNTING HEIGHTS			
G1.2 - ADA MOUNTING HEIGHTS			
EX1.1 - EXISTING PLAN & PICTURES		05.17.23	
D1.1 - DEMOLITION FLOOR PLAN	01-22-24	05.17.23	12-18-23
A1.1 - NEW FLOOR PLAN	01-22-24	05.17.23	12-18-23
A1.2 - RESTROOM & INTERIOR ELEVS		05.17.23	
A1.3 - FOUNDATION PLANS & DETAILS			
A1.4 - RCP + CEILING DETAILS			
A1.5 - F. F. & E		05.17.23	
EQ1.0 - EQUIPMENT PLAN		05.17.23	
EQ1.1 - EQUIPMENT SCHEDULE			
EX2.0 - EXISTING ELEVATIONS&PICTURES	01-22-24	05.17.23	12-18-23
A2.1 - PROPOSED ELEVATIONS	01-22-24	05.17.23	12-13-23
A2.2 - ELEVATION MATERIALS	01-22-24		12-13-23
A3.0 - BUILDING SECTIONS			
E1.1 - ELECTRICAL INFORMATION			
M1.1 - MECHANICAL INFORMATION			

07.13.23 CORP FINAL APPROVAL
08.09.23 Genoa Twp submit Land Use Permit - Livingston County review
10-06-23 Genoa Twp submit SPR rev & 10-23-23 SPR
12-13-23 2nd submit SPR review Genoa Twp

SHEET INDEX COVER DRAWING



NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THE STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT ONLY AS SHOWN. ANY DISCREPANCIES THIS REPRESENTS PRESENT ONLY AS SHOWN. CONDITIONS
Arby's Store #6081 Exist 1992
model: 179 1/2094/3093
Contact: JOE /JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

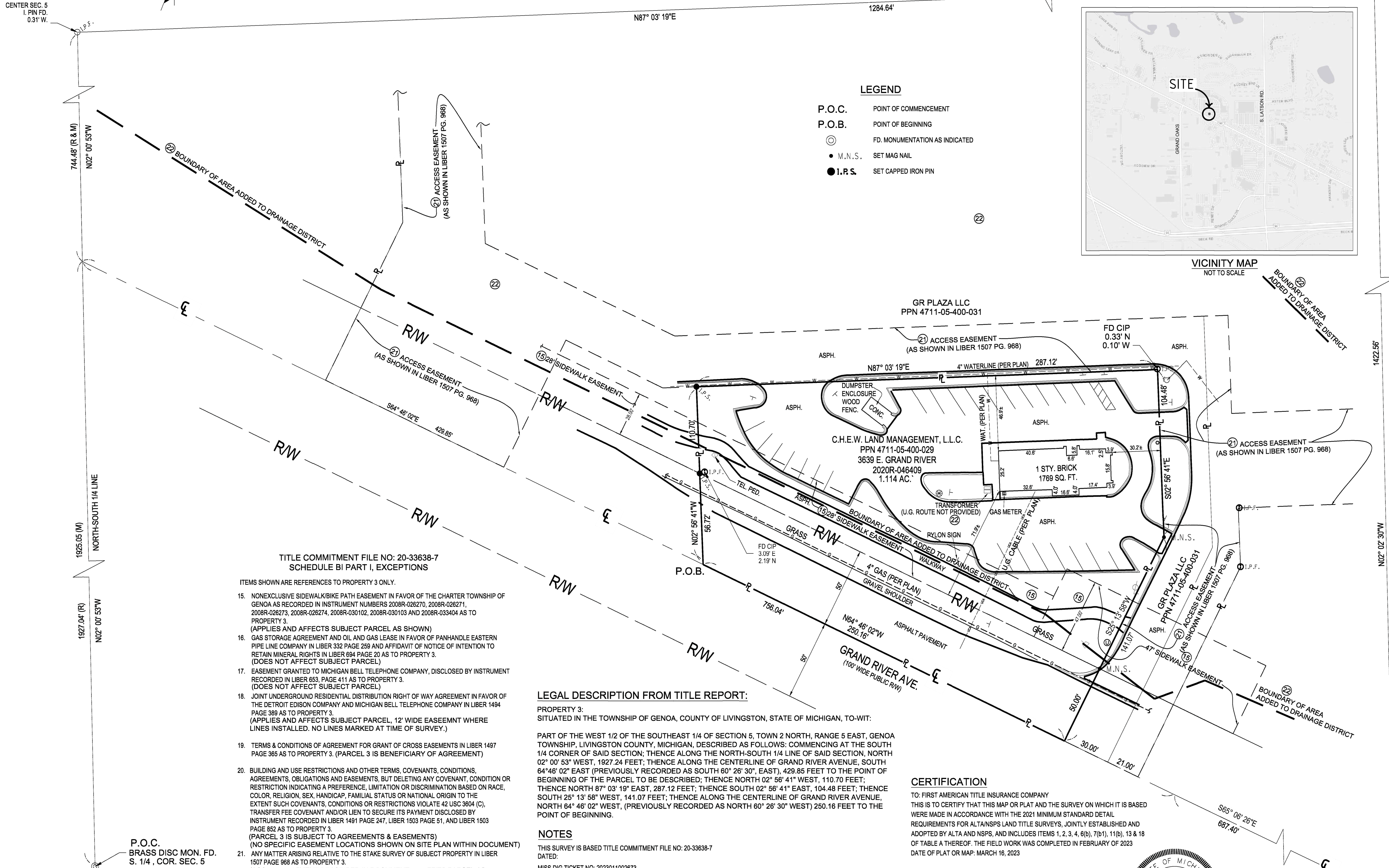
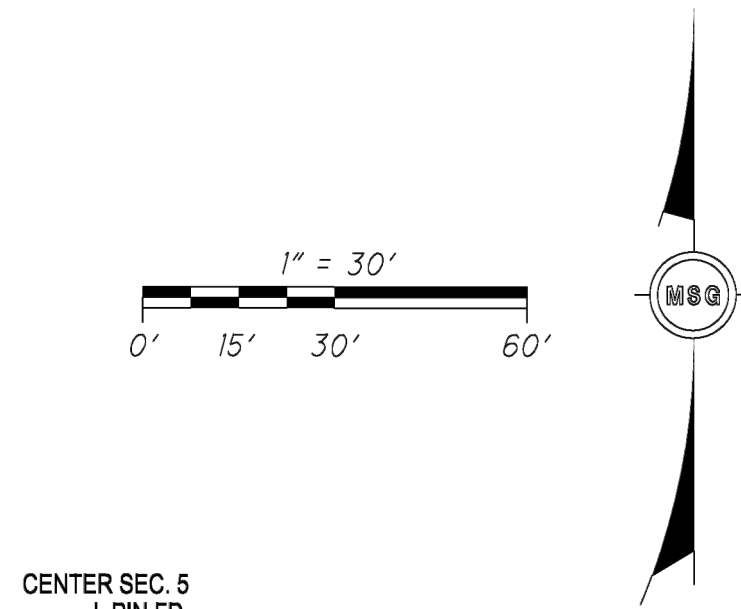
REV	DATE	DESCRIPTION
6	10-11-23	owner SPR review
5	08-08-23	Permit submit Genoa Livingston
4	07-18-23	Arch review
3	04-18-23	Arch review
2	02-24-23	Sub's Review
1	02-15-23	Owner GC Review
9	01-22-24	rev for plan comm SPR
8	12-18-23	ZBA print submittal
7	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 01-28-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:

C
1.0

ALTA / NSPS LAND TITLE SURVEY OF PART OF THE W 1/2 OF THE SE 1/4 OF SEC. 5, TOWN 2 NORTH, RANGE 5 EAST GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



- LEGEND**
- P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - FD. MONUMENTATION AS INDICATED
 - M.N.S. SET MAG NAIL
 - I.R.S. SET CAPPED IRON PIN



- TITLE COMMITMENT FILE NO: 20-33638-7
SCHEDULE BI PART I, EXCEPTIONS
- ITEMS SHOWN ARE REFERENCES TO PROPERTY 3 ONLY.
- NONEXCLUSIVE SIDEWALK/BIKE PATH EASEMENT IN FAVOR OF THE CHARTER TOWNSHIP OF GENOA AS RECORDED IN INSTRUMENT NUMBERS 2008R-026270, 2008R-028271, 2008R-026273, 2008R-026274, 2008R-030102, 2008R-030103 AND 2008R-033404 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL AS SHOWN)
 - GAS STORAGE AGREEMENT AND OIL AND GAS LEASE IN FAVOR OF PANHANDLE EASTERN PIPE LINE COMPANY IN LIBER 332 PAGE 259 AND AFFIDAVIT OF NOTICE OF INTENTION TO RETAIN MINERAL RIGHTS IN LIBER 694 PAGE 20 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 - EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 653, PAGE 411 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 - JOINT UNDERGROUND RESIDENTIAL DISTRIBUTION RIGHT OF WAY AGREEMENT IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY IN LIBER 1494 PAGE 388 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL, 12' WIDE EASEMENT WHERE LINES INSTALLED. NO LINES MARKED AT TIME OF SURVEY.)
 - TERMS & CONDITIONS OF AGREEMENT FOR GRANT OF CROSS EASEMENTS IN LIBER 1497 PAGE 365 AS TO PROPERTY 3. (PARCEL 3 IS BENEFICIARY OF AGREEMENT)
 - BUILDING AND USE RESTRICTIONS AND OTHER TERMS, COVENANTS, CONDITIONS, AGREEMENTS, OBLIGATIONS AND EASEMENTS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604 (C). TRANSFER FEE COVENANT AND/OR LIEN TO SECURE ITS PAYMENT DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1491 PAGE 247, LIBER 1503 PAGE 51, AND LIBER 1503 PAGE 852 AS TO PROPERTY 3. (PARCEL 3 IS SUBJECT TO AGREEMENTS & EASEMENTS)
 - ANY MATTER ARISING RELATIVE TO THE STAKE SURVEY OF SUBJECT PROPERTY IN LIBER 1507 PAGE 968 AS TO PROPERTY 3. (ACCESS EASEMENT DESCRIBED IN DOCUMENT, BENEFITS PARCEL AS SHOWN, GRANTED IN DECLARATION OF RESTRICTIONS SEE ITEM 20.)
 - EASEMENT GRANTED TO LIVINGSTON COUNTY DRAIN COMMISSIONER, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1519 PAGE 854 AS TO PROPERTY 3. (SUBJECT PARCEL IS PART OF THE ADDED DRAINAGE DISTRICT AS SHOWN)
 - TERMS & CONDITIONS OF THAT CERTAIN WARRANTY DEED AS RECORDED IN LIBER 2893, PAGE 10, LIVINGSTON COUNTY RECORDS, ASSAME PERTAIN TO THE TRANSFER OF DIVISIONS UNDER SECTION 109(3) OF THE SUBDIVISION CONTROL ACT OF 1967, AS AMENDED AS TO PROPERTY 3. (SUBJECT TO 0 DIVISIONS GRANTED)

LEGAL DESCRIPTION FROM TITLE REPORT:

PROPERTY 3:
SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, TO-WIT:

PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION, NORTH 02° 00' 53" WEST, 1927.24 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, SOUTH 64° 46' 02" EAST (PREVIOUSLY RECORDED AS SOUTH 60° 26' 30" EAST), 429.85 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE NORTH 02° 56' 41" WEST, 110.70 FEET; THENCE NORTH 87° 03' 19" EAST, 287.12 FEET; THENCE SOUTH 02° 56' 41" EAST, 104.48 FEET; THENCE SOUTH 25° 13' 58" WEST, 141.07 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, NORTH 64° 46' 02" WEST, (PREVIOUSLY RECORDED AS NORTH 60° 26' 30" WEST) 250.16 FEET TO THE POINT OF BEGINNING.

NOTES

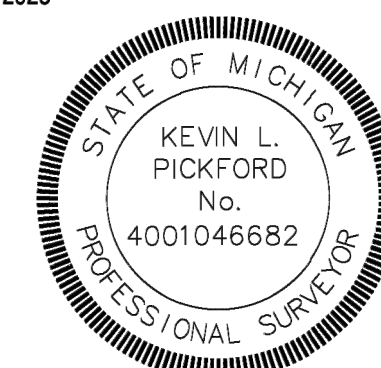
THIS SURVEY IS BASED TITLE COMMITMENT FILE NO: 20-33638-7
DATED:
MISS DIG TICKET NO: 2023011002873

BASIS OF BEARING - N02° 00' 53"W ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 5, FOR THE PURPOSE OF SHOWING ANGULAR MEASUREMENTS ONLY.

FLOOD ZONE - FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 26093C0309D DATED 9/17/2008 INDICATES THAT THIS PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD)
THIS WAS DETERMINED BY GRAPHIC PLOTTING ONLY.

CERTIFICATION

TO: FIRST AMERICAN TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(b), 11(b), 13 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN FEBRUARY OF 2023
DATE OF PLAT OR MAP: MARCH 16, 2023



KEVIN L. PICKFORD, P.S.
LICENSED PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 4001046682
DATE: MARCH 16, 2023
JOB NUMBER: L3750003

REGISTERED SURVEY
PLOT SCALE: 1"= 30'-0"

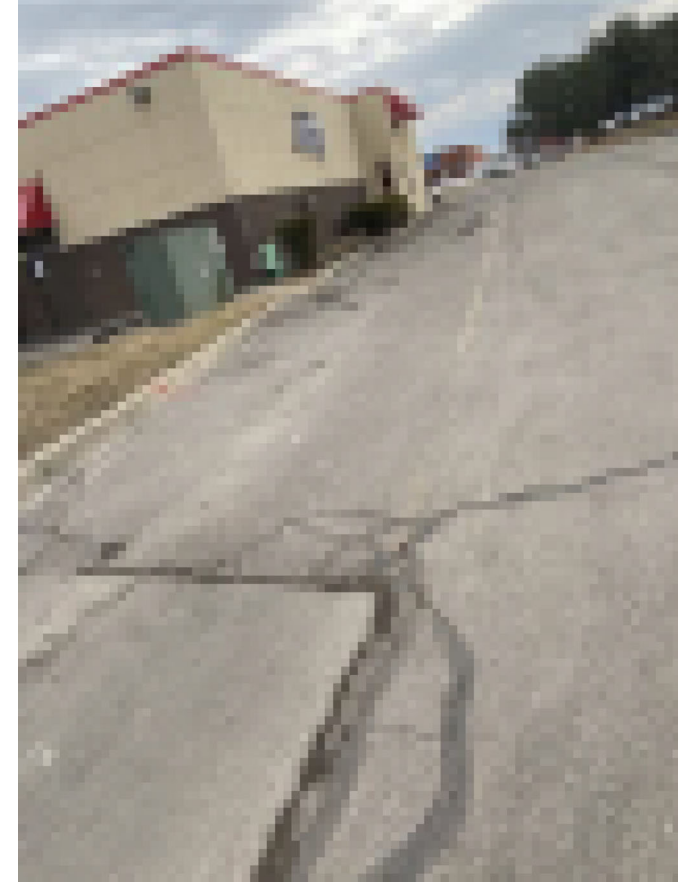
		PREPARED FOR: LAKE FENTON MANAGEMENT FENTON, MICHIGAN	PROPOSED RENOVATION FOR: ARBYS HOWELL GRAND RIVER Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843 Livingston County - Genoa Township Michigan
PROJECT NO.: L3750003 DRAWN BY: JDB/PCW	PROJECT DATE: 01/24/2023	REGISTERED SURVEY 1800 INDIAN WOOD CIRCLE FENTON, MI 48127 TEL: 419.891.2222 FAX: 419.891.1595	REGISTERED SURVEY NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE/FIELD CHECK ALL EXISTING CONDITIONS PRIOR TO THIS REPRESENTATION DAY AS BUILTS CONDITIONS. Arby's Store #6081 Exist 1992 model: 179 1/2094/3093 Contact: JOE /JAMIE CRAWFORD: 810-750-3423 CRAWFORDARBYS@YAHOO.COM
ALTA / NSPS LAND TITLE SURVEY	C.H.E.W. LAND MANAGEMENT, L.L.C. 3639 EAST GRAND RIVER AVE., HOWELL MICHIGAN	1	CS.1



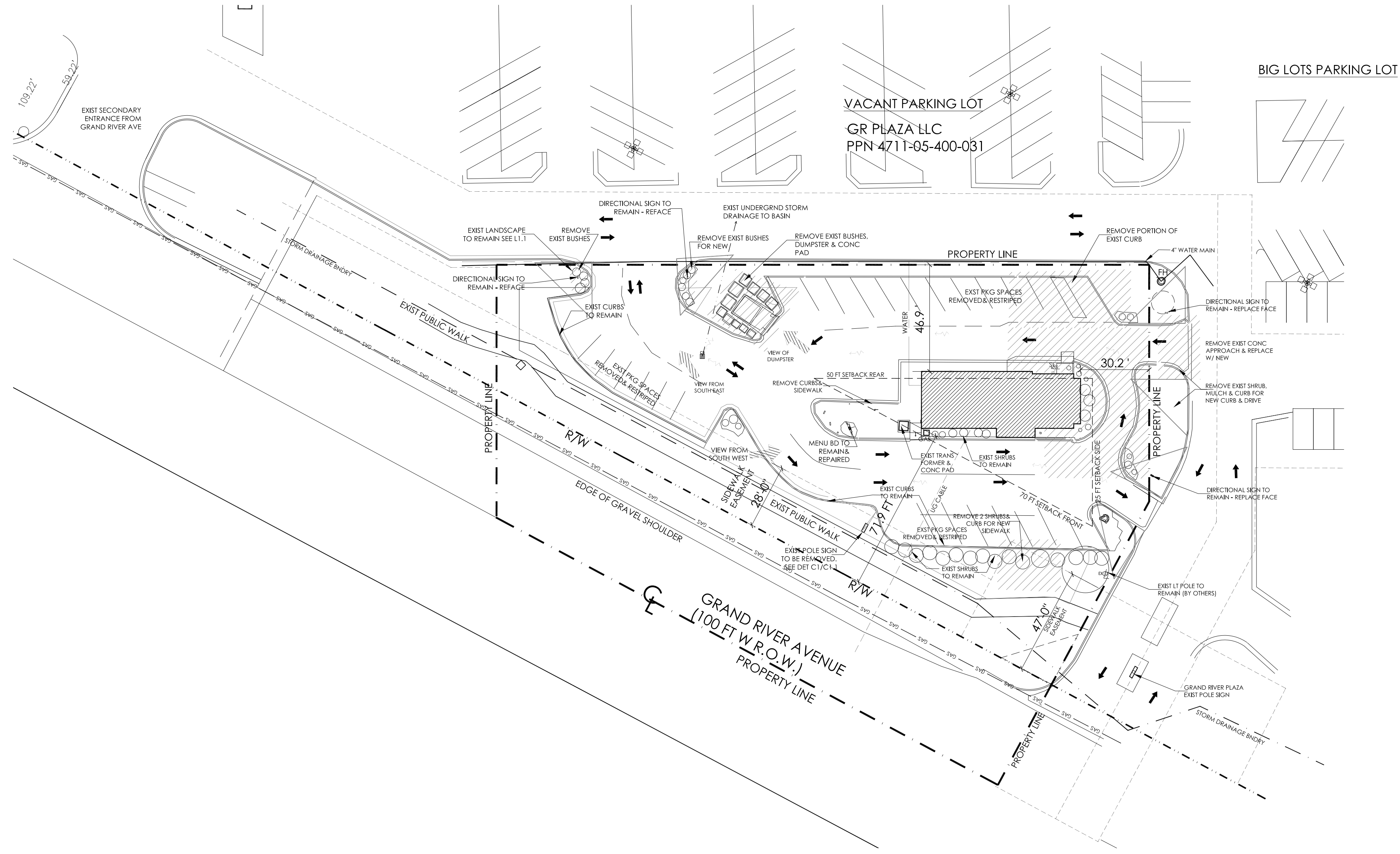
VIEW OF DUMPSTER



VIEW FROM SOUTH EAST



VIEW FROM SOUTH WEST



SITE EXISTING & DEMOLITION

SCALE: 1" = 30'-0"

OWNER & G.C. SHALL FIELD CHECK EXISTING CONDITIONS FOR FURTHER DIRECTION OF DEMOLITION

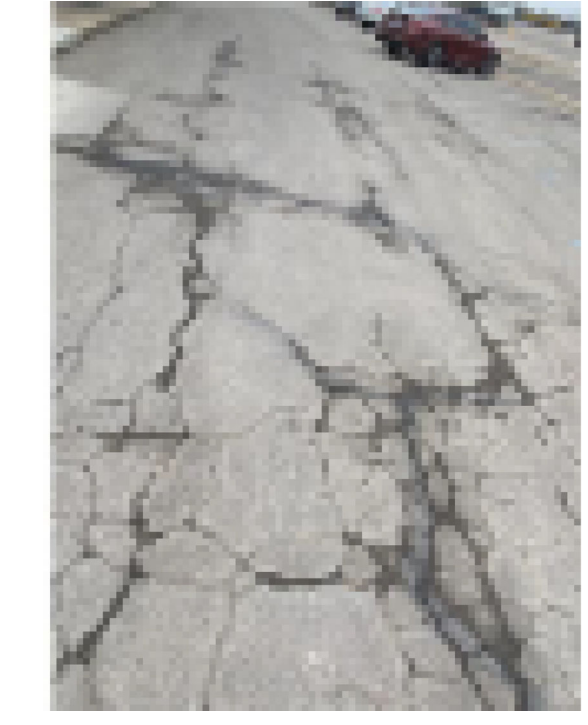
G.C. SHALL VERIFY WITH OWNER ALL ITEMS TO BE REMOVED & REUSED - OR DISPOSED OF.

EXAMPLE: EXISTING LANDSCAPE MATL. TO BE REUSED AS CONDITION PERMITS. SEE NEW LANDSCAPE PLAN - C1.5

EXISTING UTILITIES: SEE SURVEY PLAN. MHOG WATER, OSCEOLA COUNTY: SEWER (NO EXISTING SITE RECORDS OF SEWER) INFORMATION PROVIDED BY GREG TATAR: DIRECTOR OF UTILITIES - GREG@MHOG.ORG. GRAND RIVER PLAZA DEVELOPMENT - 1991, 2007 & 2009

811 CALL BEFORE YOU DIG!
1-800-482-7171

SITE EXISTING
SITE DEMO



VIEW FROM EAST



VIEW FROM SOUTH EAST

VIEW FROM SOUTH EAST

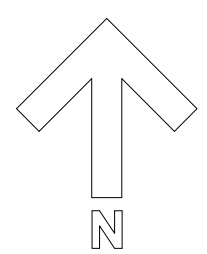
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	10-23-23	print for SPFR			
5	10-11-23	owner review for SPFR			
4	08-09-23	permit submit Genoa Livingston			
3	07-18-23	Arch review			
2	07-06-23	Photometrics			
1	06-21-23	Prelim landscape, lighting	7	12-13-23	2nd submit SPFR

DRAWN BY: C. BALL
DATE: 06-15-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C-EX
1.0

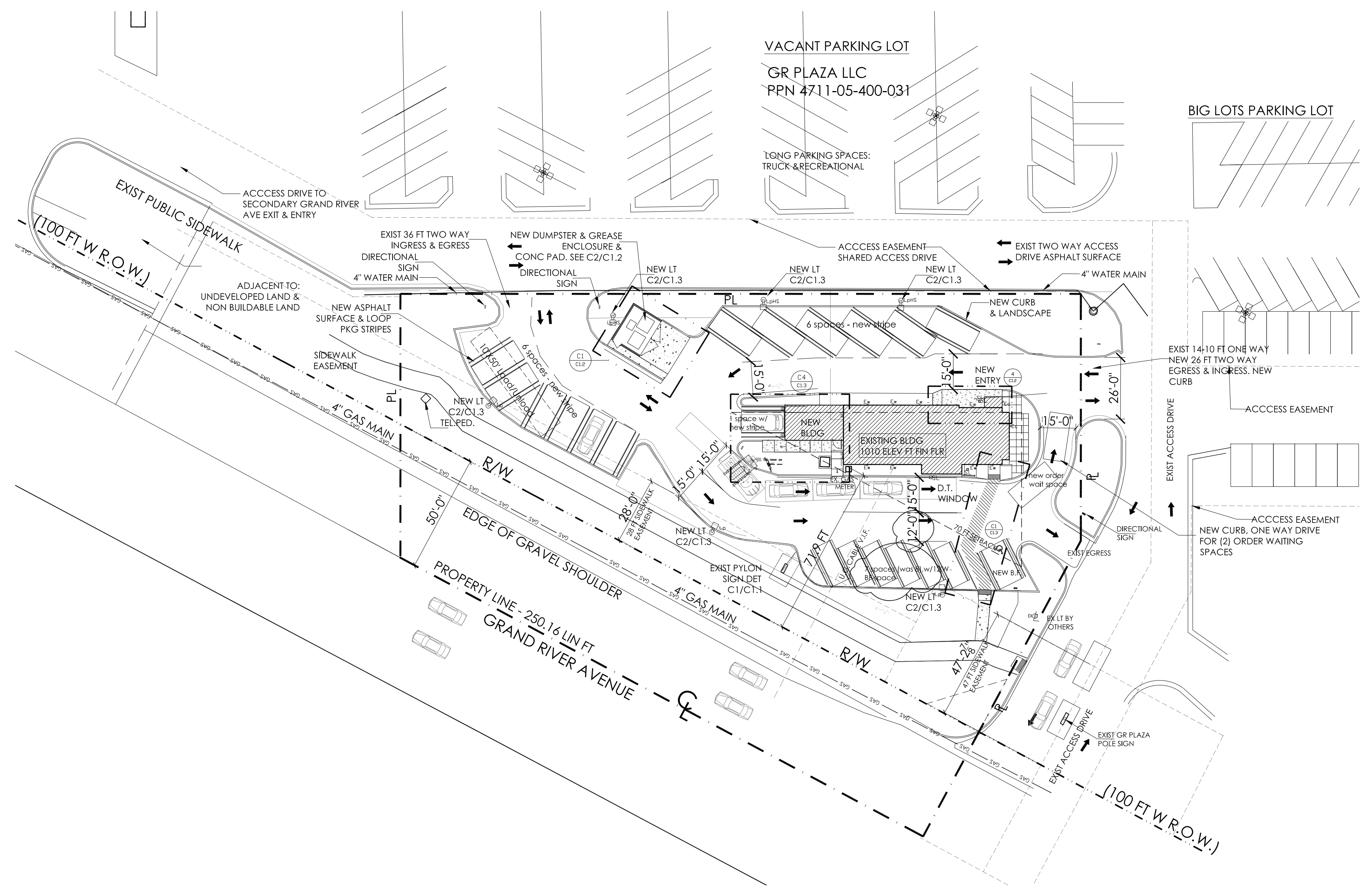
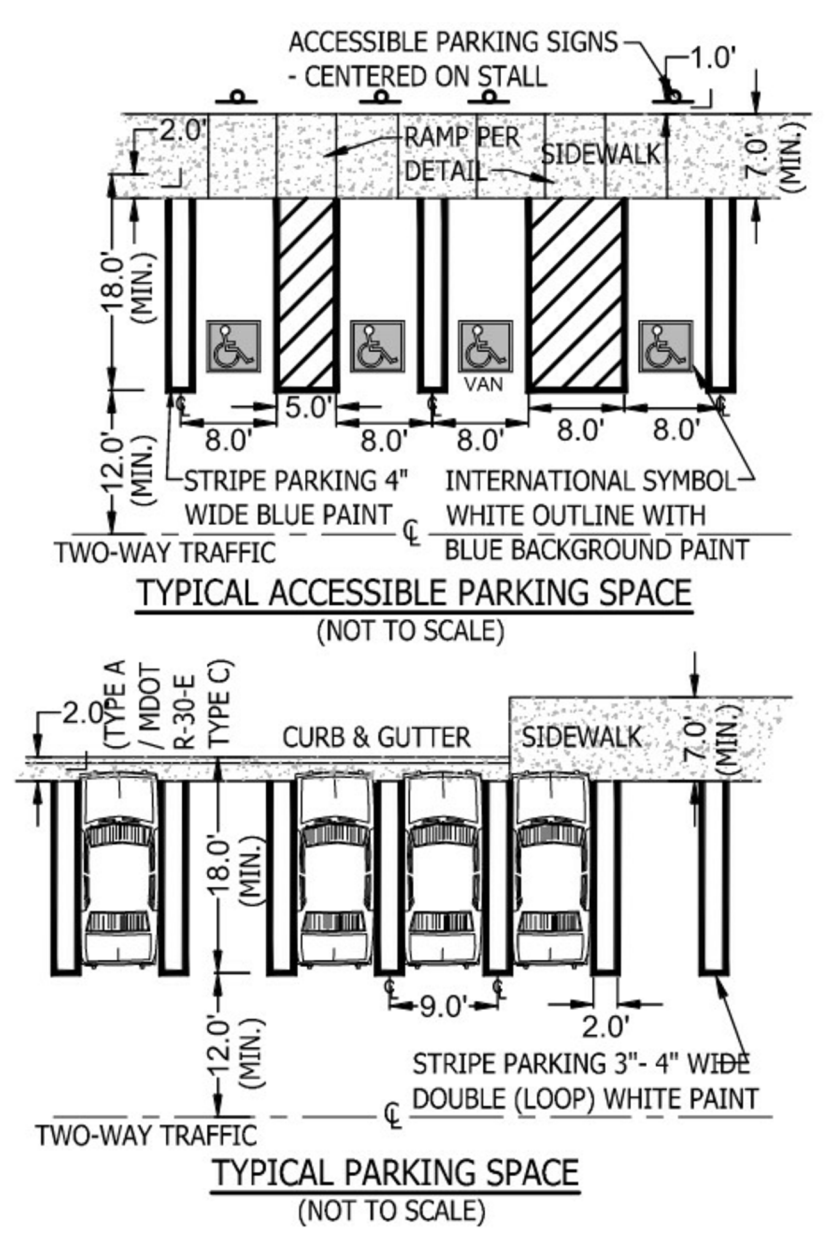


PARKING INFO REV 01-22-24

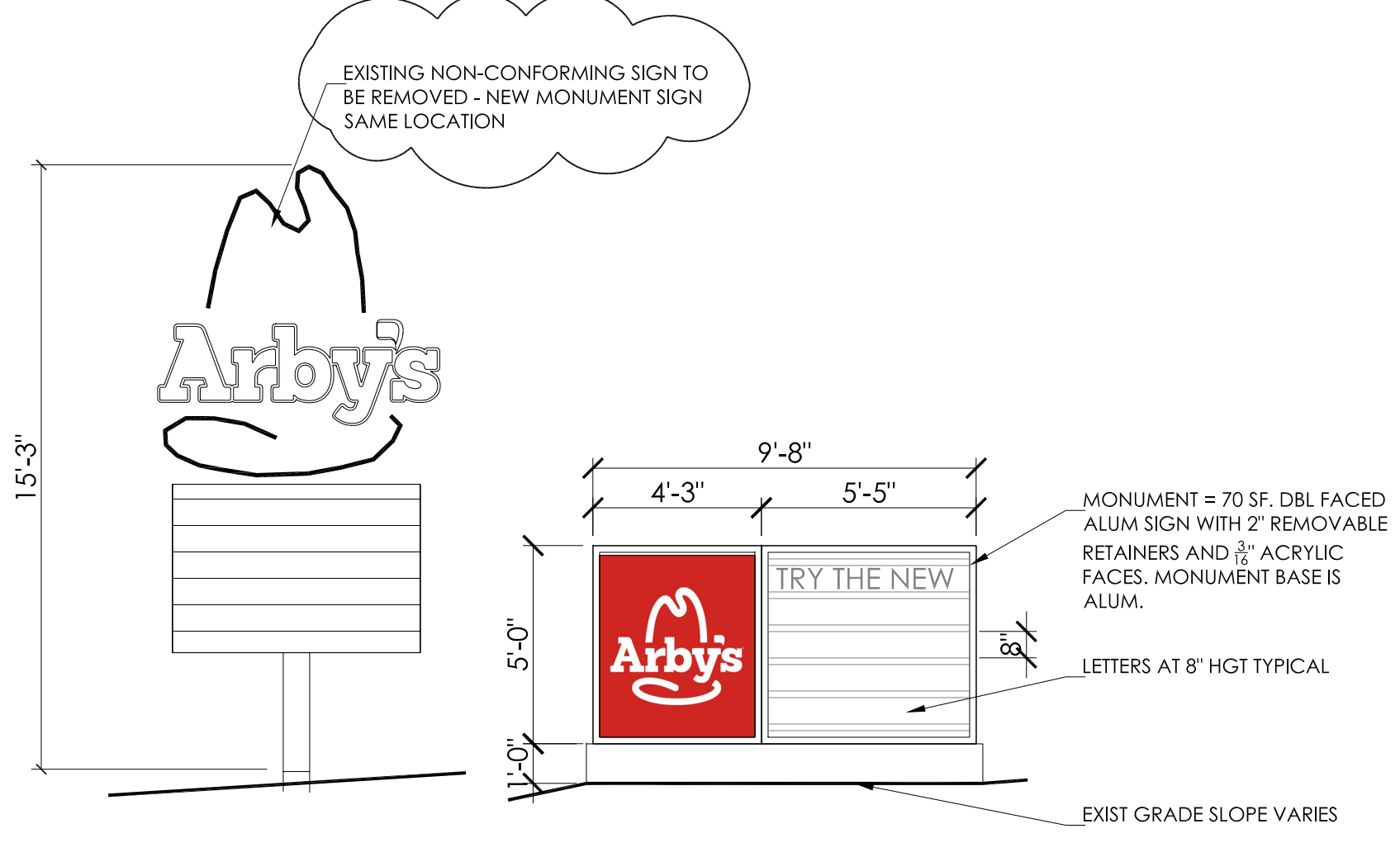
Parking Standards: ART 14.05 BF: 21 spaces provided requires 1 BF space: 12 ft x space length, ART 14.06.04 angled 30 deg = 9 ft x 21 ft. Drive by aisle one way = 15 ft. ART 14.06.05 Stacking size 9 ft x 20 ft. ART 14.06.07 loop stripe at 3-4" wide and 18-24" apart. Required parking spaces:

REQUIREMENTS FOR PARKING: GENOA TWP ZONE - RCD/GCD GENERAL COMMERCIAL DISTRICT. ART 14.04	REQD	PROVIDED:	NOT USED
Drive-in Restaurant 1 space for each employee in addition to spaces for customers at service stations, plus any parking required for indoor seating	4-5 spc	Provided 5 sp	NOT USED
Drive-through restaurant 1 space per 70 sq. ft. gross leasable floor area or 0.5 spaces per seat, whichever is greater, plus 3 designated drive-through short term waiting spaces, plus 10 stacking spaces for drive through service, plus at least 2 longer spaces designated for recreational vehicles and semi-trucks	34 seats / 2 = 17 spaces + 2 order waiting spaces.	Provided: 19 pkg sps, 5 Stacking spaces	
Employee can park in lot to the north when a scheduled delivery with truck occurs. Or a dedicated schedule for deliveries can be arranged. Additional 2 longer spaces for truck & recreational spaces provided north side.			

NOTE: SHARED PARKING AGREEMENT NOT AVAILABLE WITH GRAND RIVER PLAZA OWNER. THUS NO SPACE FOR REQD REC VEHICLE & TRUCK PARKING.

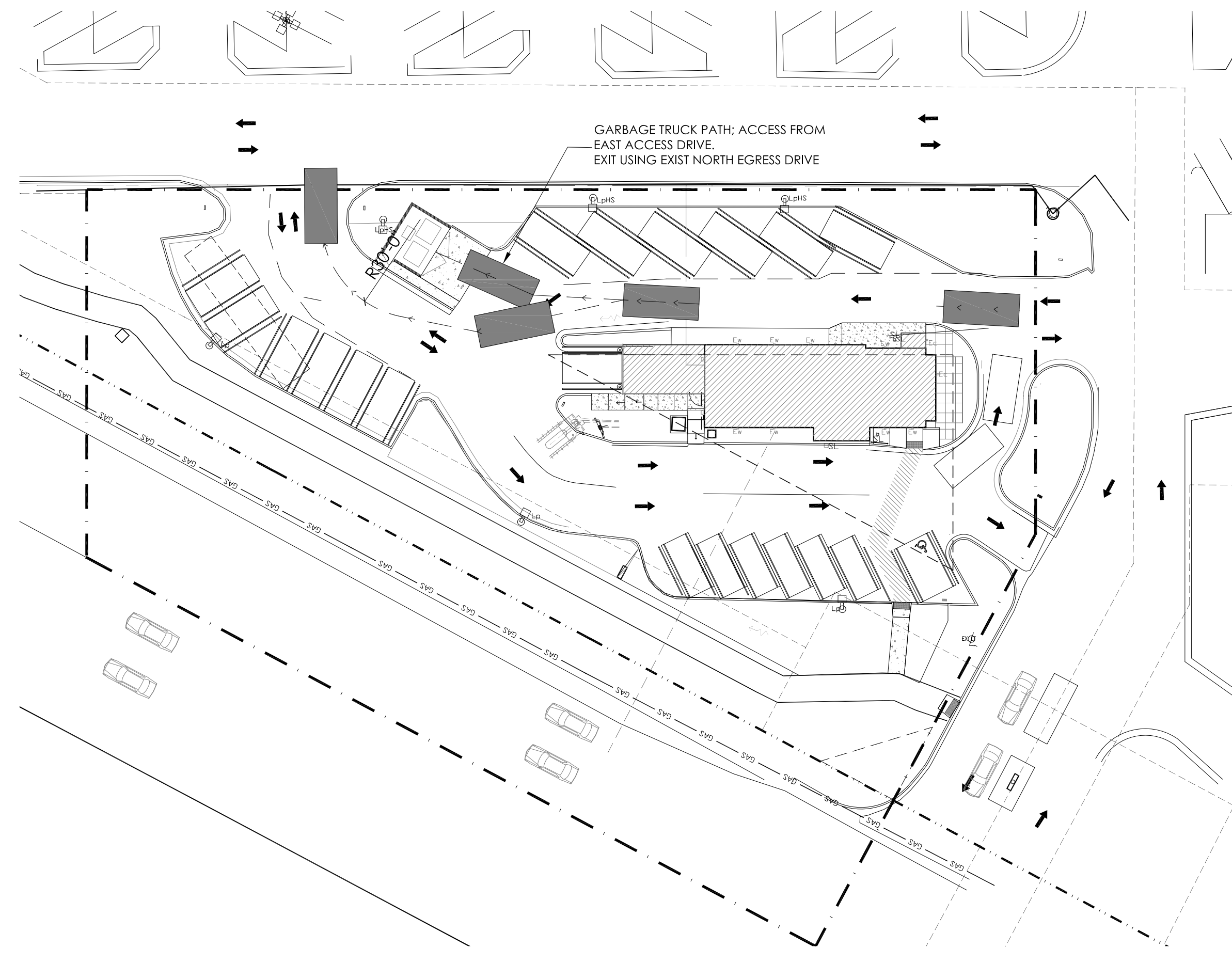


EXISTING ROAD SIGN
ALONG GRAND RIVER AVE.



C1
C1.1

SIGN PERMITTING THROUGH GENOA TWP OFFICE. INTENT IS TO PROVIDE NEW MONUMENT SIGN AT SAME LOCATION. BUILDING SIGN INFO SEE ELEVATION A2.1. EXIST SURVEY & NEW BY DESIGN TEAM SIGN COMPANY LLC.



VEHICLE CIRCULATION PLAN
SCALE: ENGINEERING: 1" = 30'-0"

GARBAGE TRUCK PATH: ACCESS FROM EAST ACCESS DRIVE. EXIT USING EXIST NORTH EGRESS DRIVE

GARBAGE TRUCK (FRONT LOADER) SIZE: 22'-10" L X 9'-10" W. CAP OF 40 YARDS.
REQD MIN 50 FT STRAIGHT ACCESS IN FRONT OF DUMPSTER - PROVIDED.
TURNING RADIUS OF 28 FT FOR inside front tire, 34.5 FT FOR outside front tire. With 4 FT bumper ovhg

2ND SUBMIT SPR

REV	DATE	DESCRIPTION
1	07-08-21	Owner request land into expand
2	07-15-21	Improved Aerial background
3	10-11-21	Arch review
4	11-18-21	Exist conditions Owner
5	05-17-23	3rd Corp Review
6	06-19-23	cooler signs owner
7	08-21-23	exterior lights
8	07-18-23	Arch review
9	08-09-23	permit submit Genoa Livingston
10	10-11-23	owner review for SPR
11	10-23-23	print for SPR
12	12-19-23	2nd submit SPR
13	01-22-24	rev for plan comm SPR

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

Livingston County - Genoa Township Michigan
Arby's #6081,3639 E. Grand River Ave, Howell, Michigan 48843

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

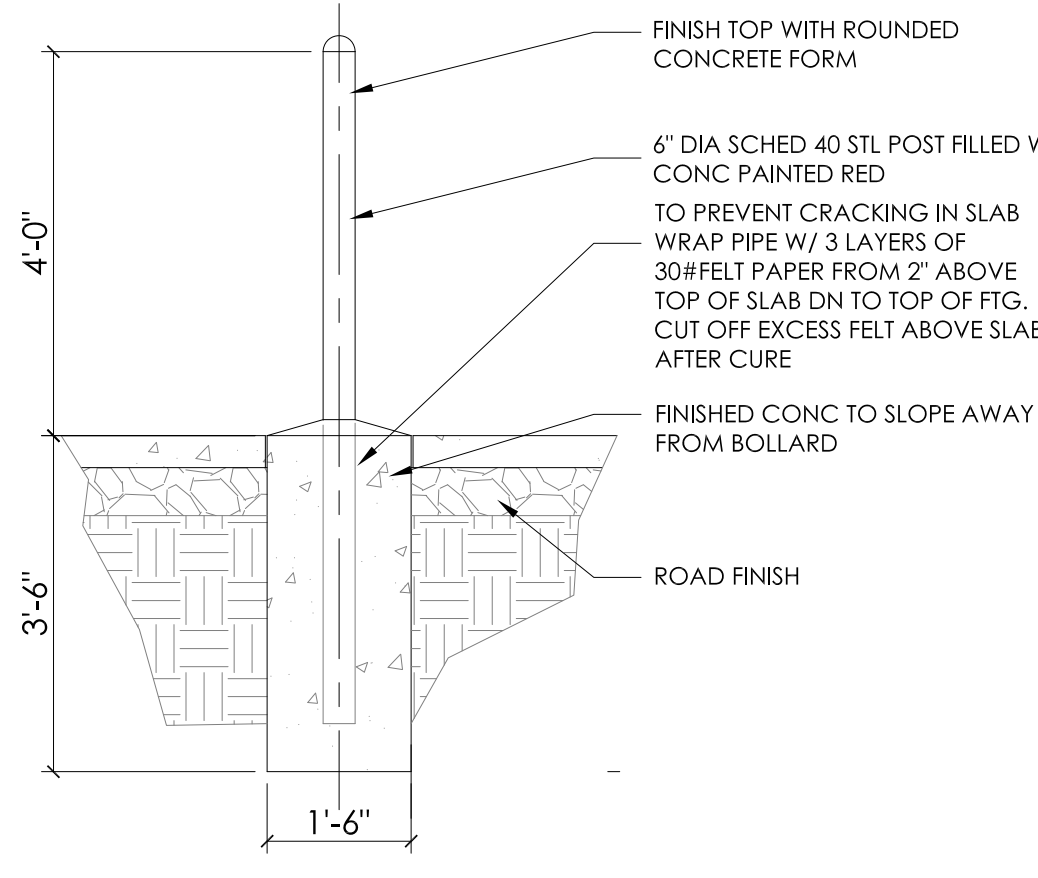
Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-9423
CRAWFORDARBY@YAHOO.COM

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-9423
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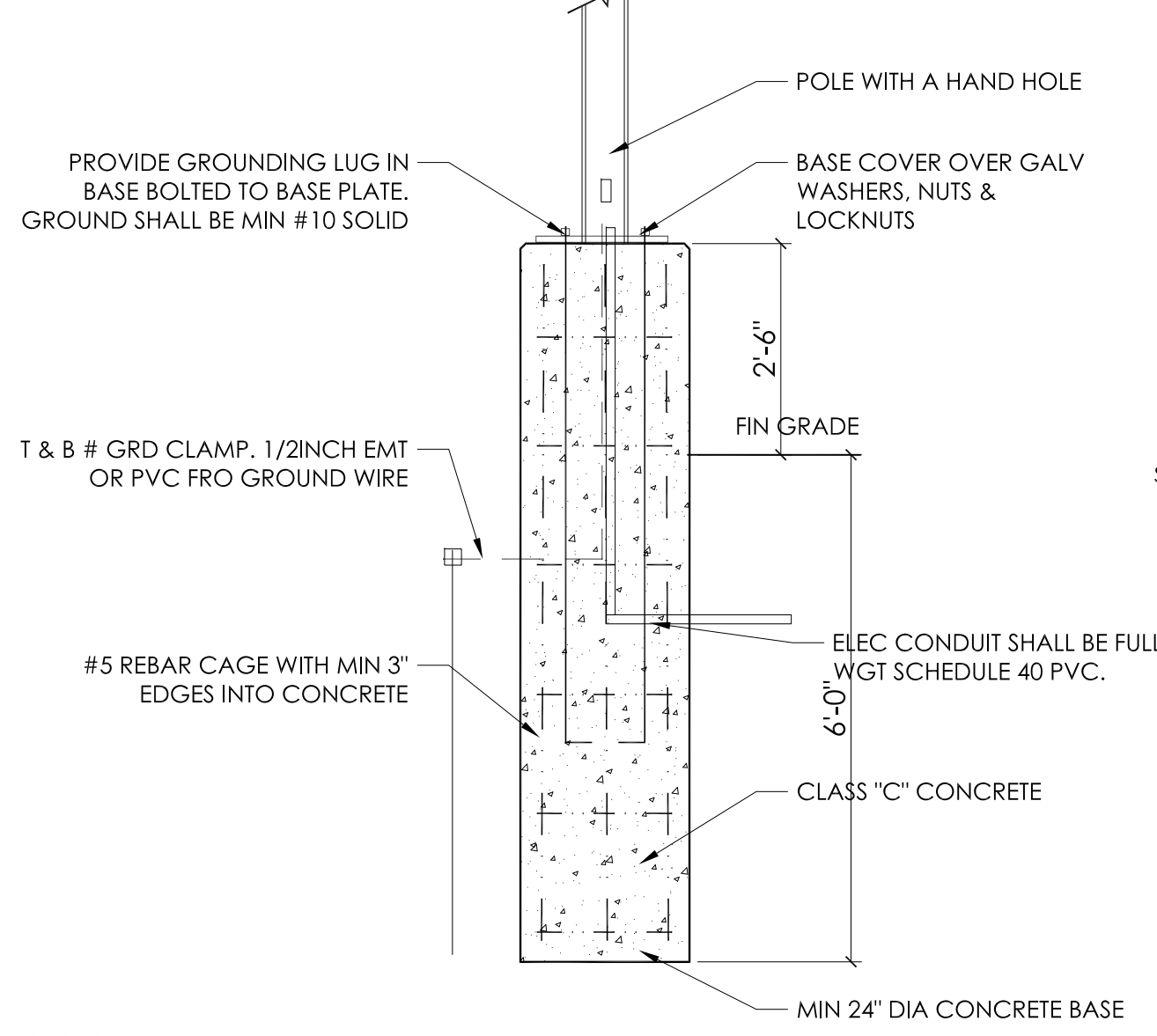
PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	permit submit Genoa Livingston
5	07-18-23	arch review
4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review

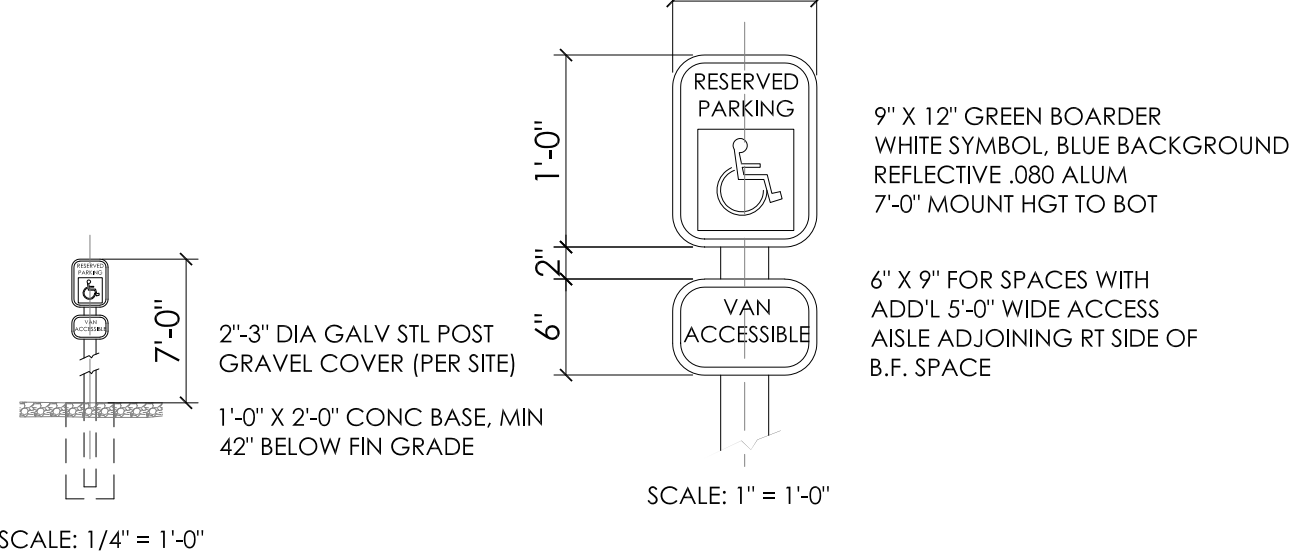
DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:
SHEET NUMBER:
C
1.2



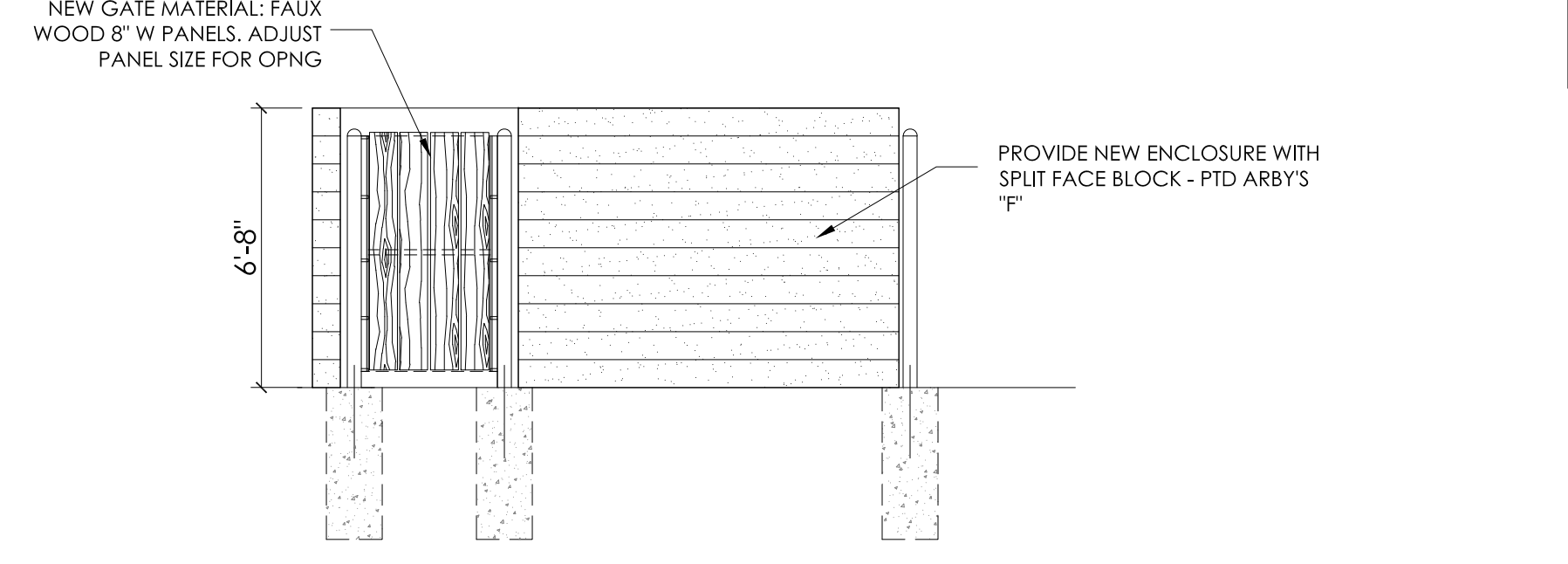
C6
C1.2
BOLLARD DETAIL
SCALE: 1/2" = 1'-0"
REPLACE EXIST BOLLARDS AS REQD



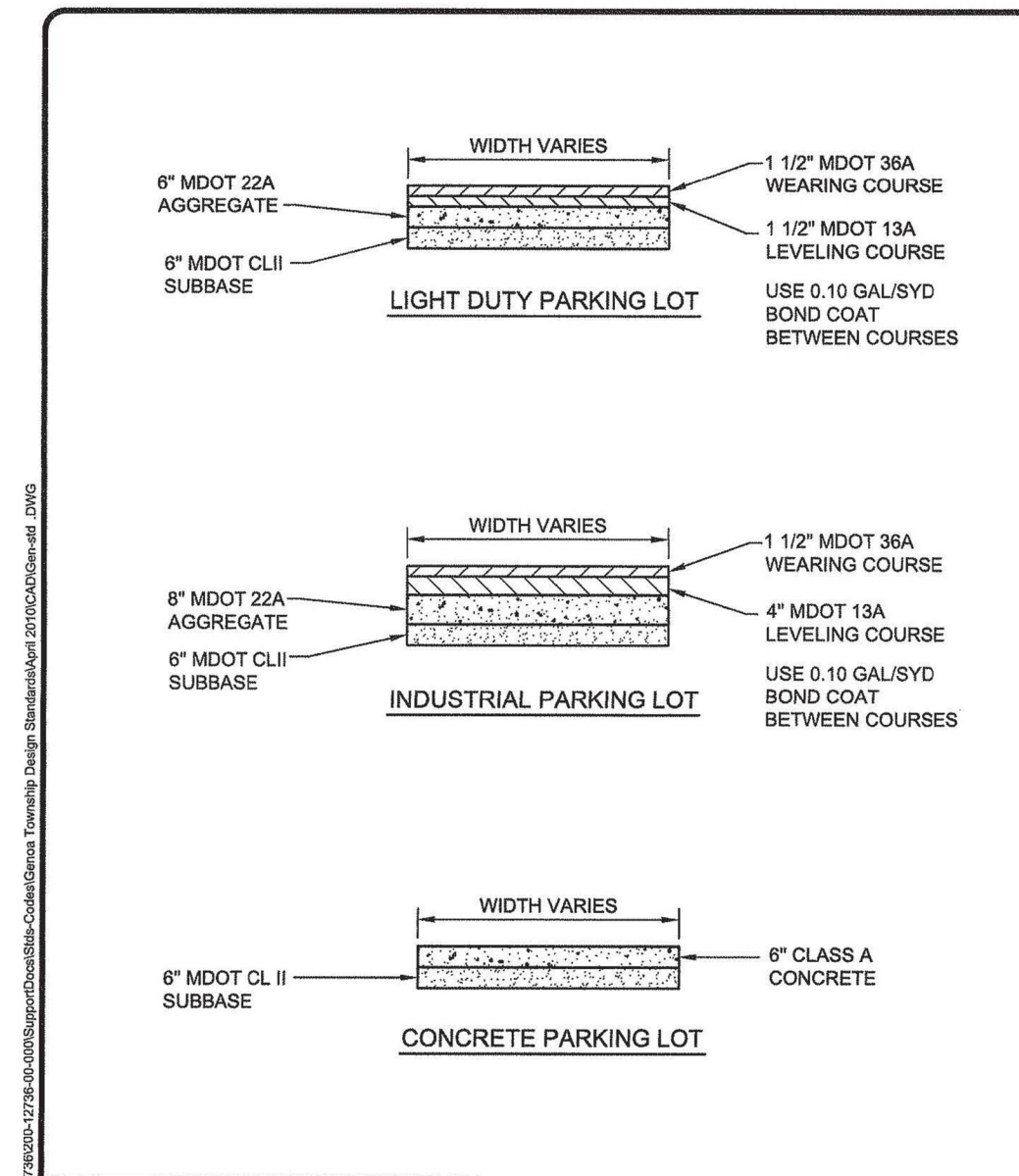
C4
C1.3
LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"



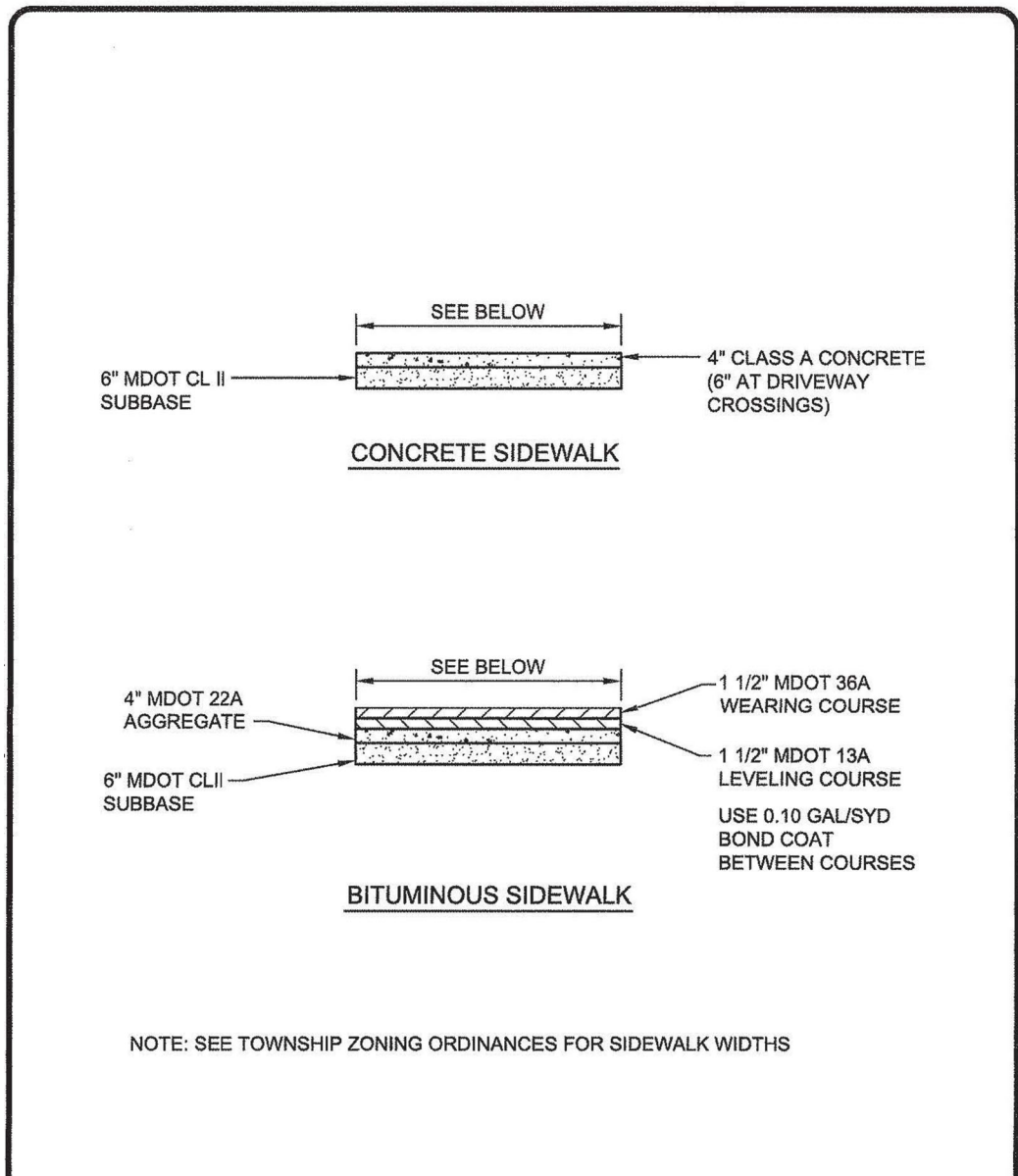
C3
C1.2
ADA / BF SIGN DETAIL
SCALE: 1/4" = 1'-0"
SCALE: EA VIEW



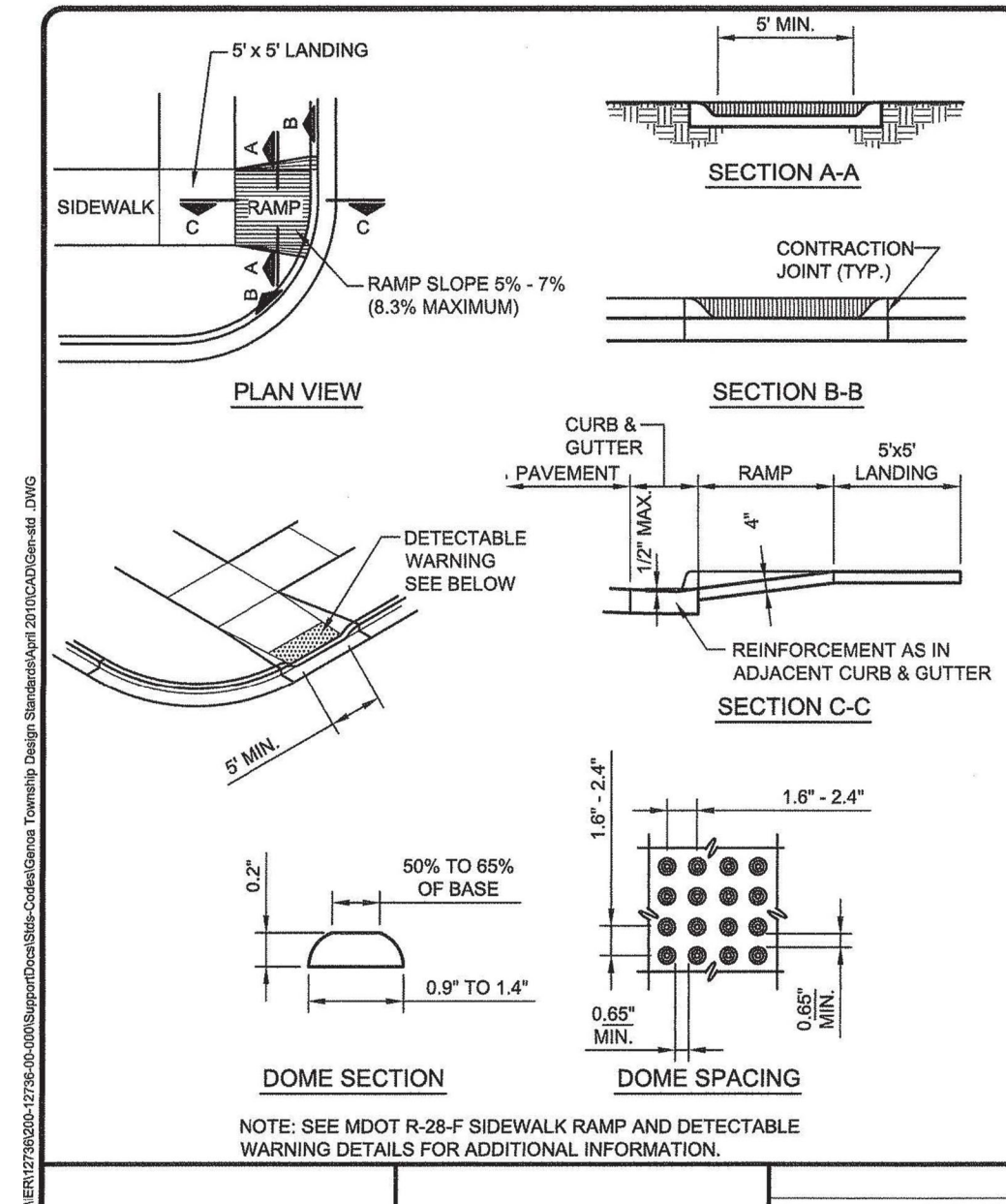
C2
C1.2
DUMPSTER GATE & DETAILS
SCALE: 1/4" = 1'-0"



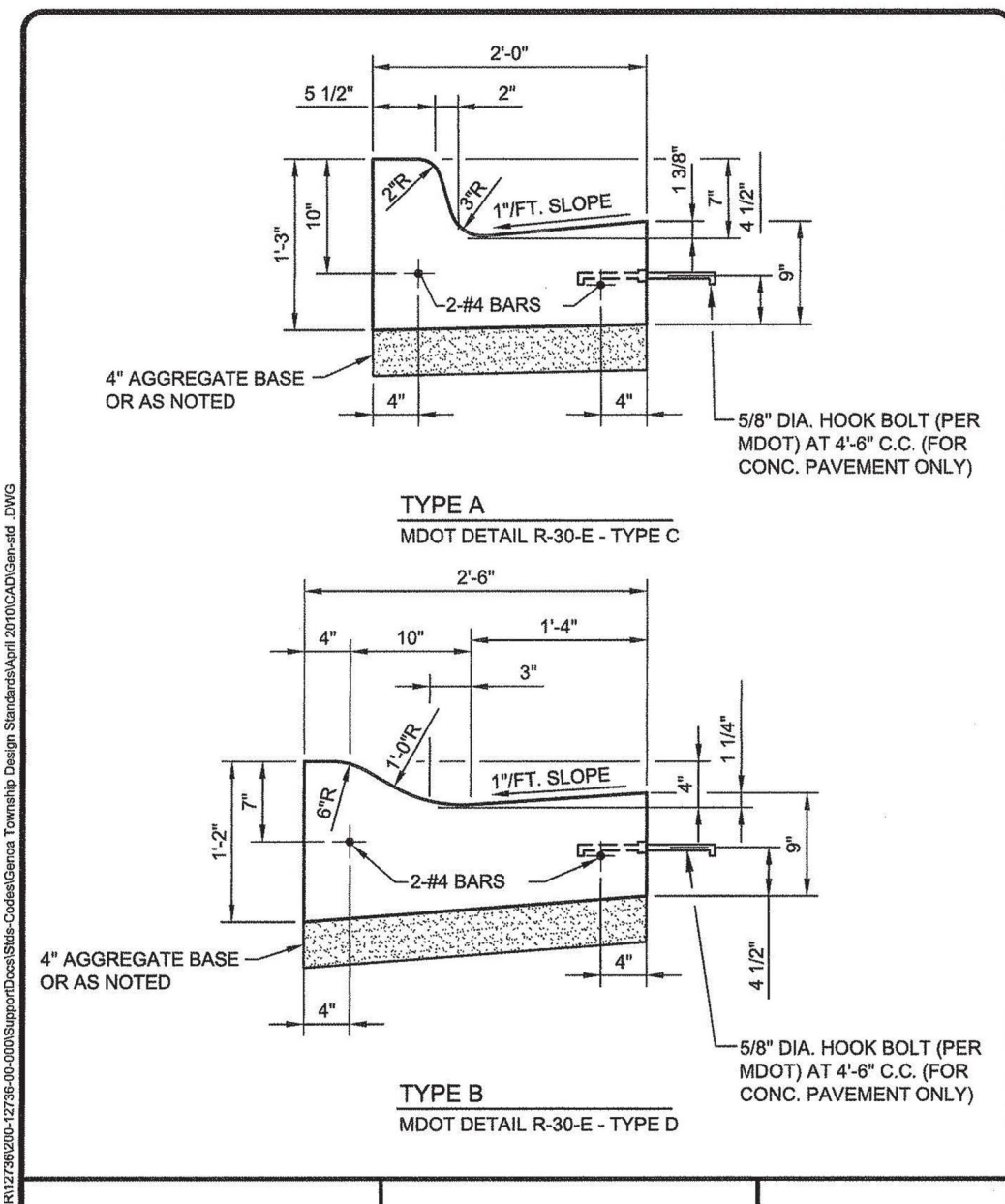
G-6
PARKING LOT CROSS SECTIONS
Date: APRIL 2010



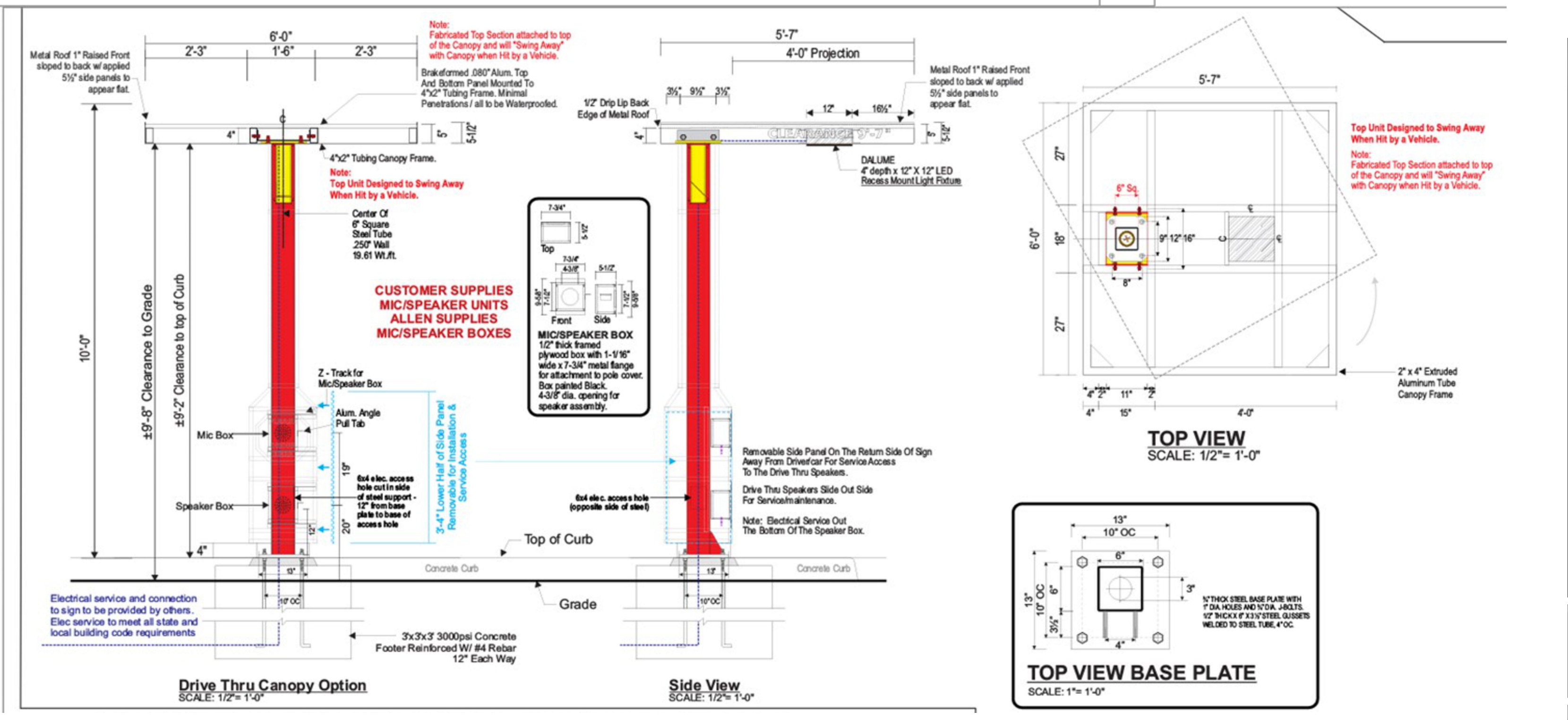
G-7
TYPICAL SIDEWALK CROSS SECTIONS
Date: APRIL 2010



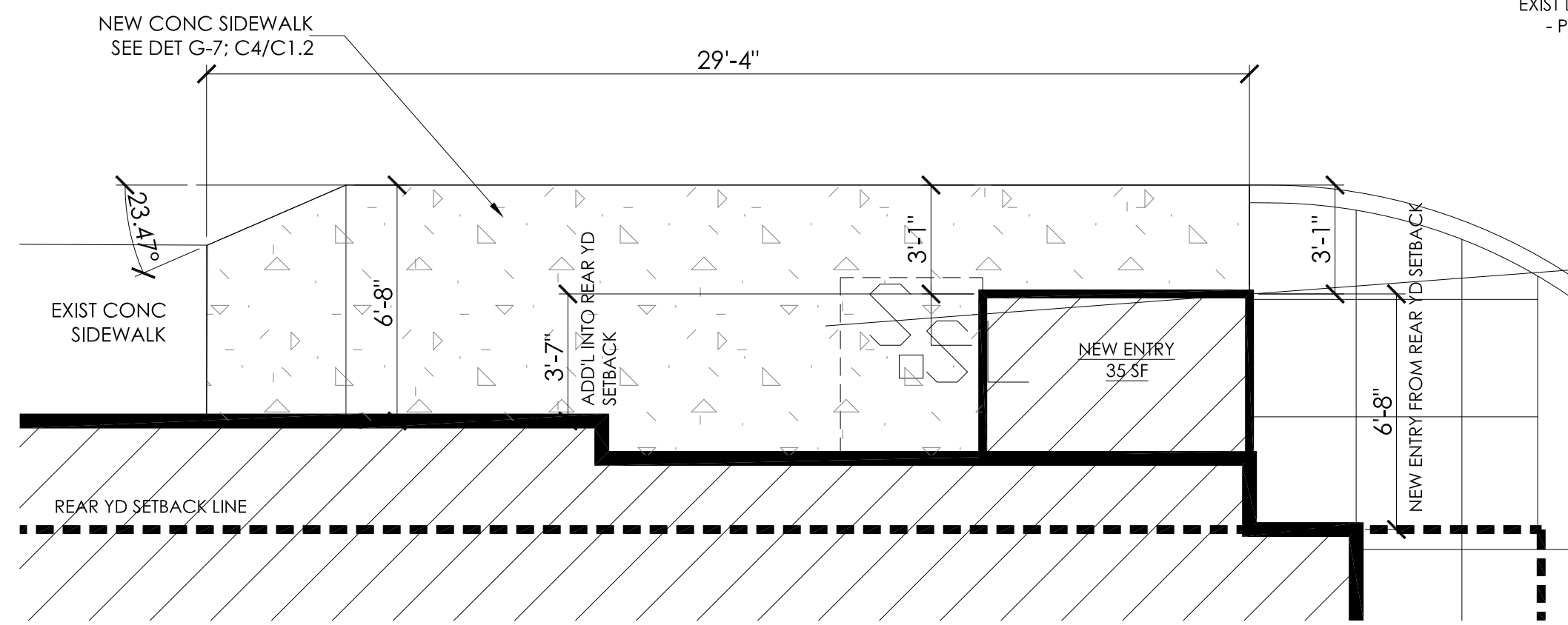
G-3
SIDEWALK RAMP
Date: APRIL 2010



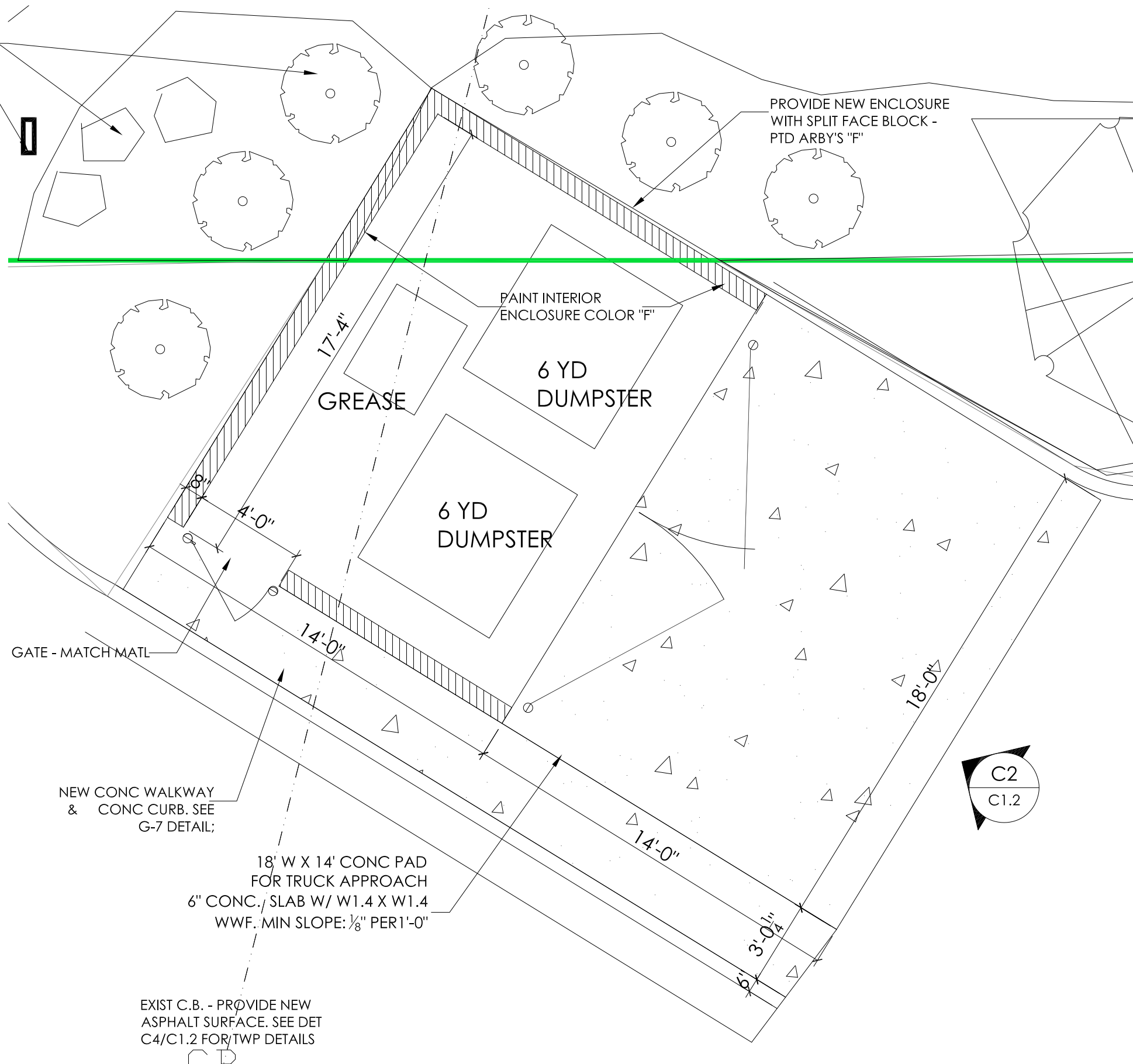
G-1
CONCRETE CURB & GUTTER
Date: APRIL 2010



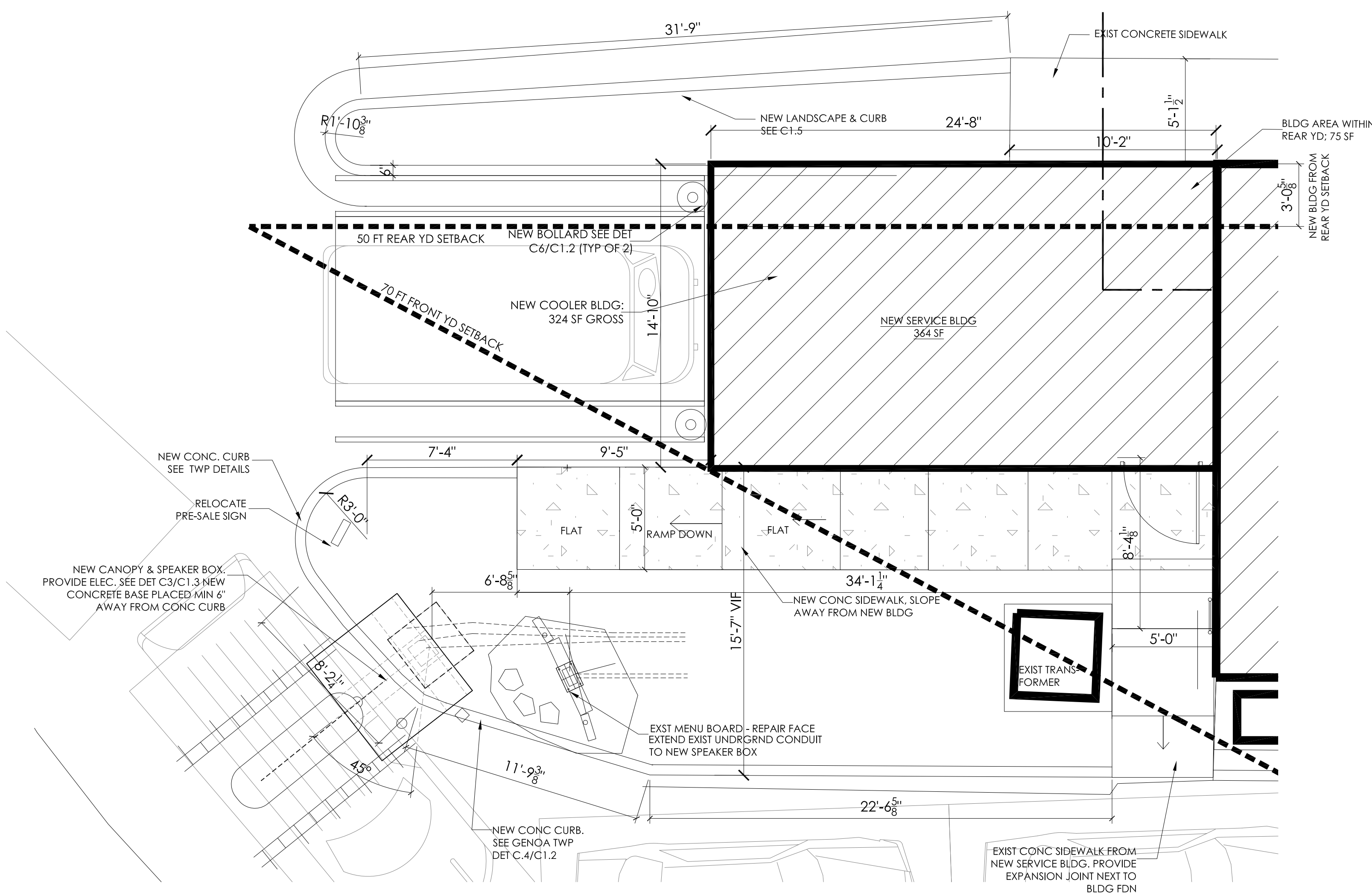
C1
C1.2
DRIVE THRU CANOPY DETAILS
SCALE: 1/2" = 1'-0"
REFERENCE FOR G.C. OWNER SHALL CONTRACT WITH CANOPY SUPPLIER FOR SHOP DRAWINGS & ORDER FOR G.C. TO INSTALL.



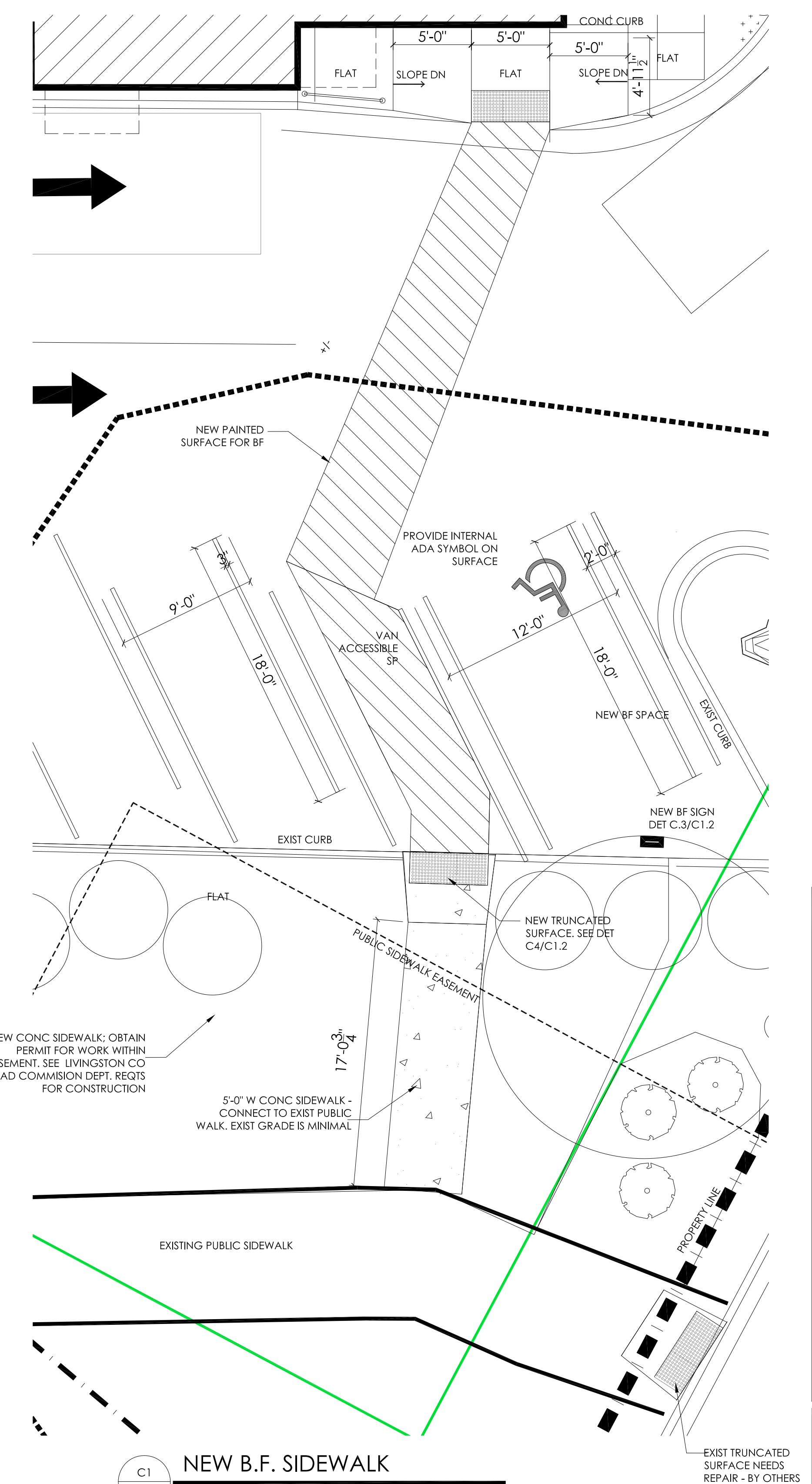
C4 PARTIAL SITE PLAN SCALE: 1/4" = 1'-0"



C1 DUMPSTER DETAIL SCALE: 1/4" = 1'-0"



C4 PARTIAL SITE PLAN SCALE: 1/4" = 1'-0"



C1 NEW B.F. SIDEWALK SCALE: 3/16" = 1'-0"

NOTE TO G.C. - ALL EXISTING SITE SHALL BE FIELD MEASURED PRIOR TO COST TAKEOFF & NEW CONSTRUCTION
SCHEMATIC PROPOSAL FOR A NEW RAMP TO EXISTING PUBLIC SIDEWALK- ALL TOPOGRAPHY SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION
ANSI SECT 405 RAMP DESIGN STANDARDS; new sidewalk required along routes to span changes in level greater than 1/2inch require curb ramp.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTATION DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THIS REPRESENTATION IS SUBJECT TO DISCREPANCIES.
Arby's Store #6081 Exist 1992
Model: 179 / 2094 / 3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-08-23	permit submit Genoa Livingston
5	07-18-23	arch review
4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review
11	01-22-24	rev for plan comm SPR
10	12-19-23	2nd submittal
9	12-19-23	2nd submittal SPR
8	10-23-23	permit for SPR
7	10-11-23	owner Review for SPR

DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.3

Project ARBYS 6081 Catalog # Lp / LpHS Type
 Prepared by VILLA: RONDA Notes Date 12.12.23



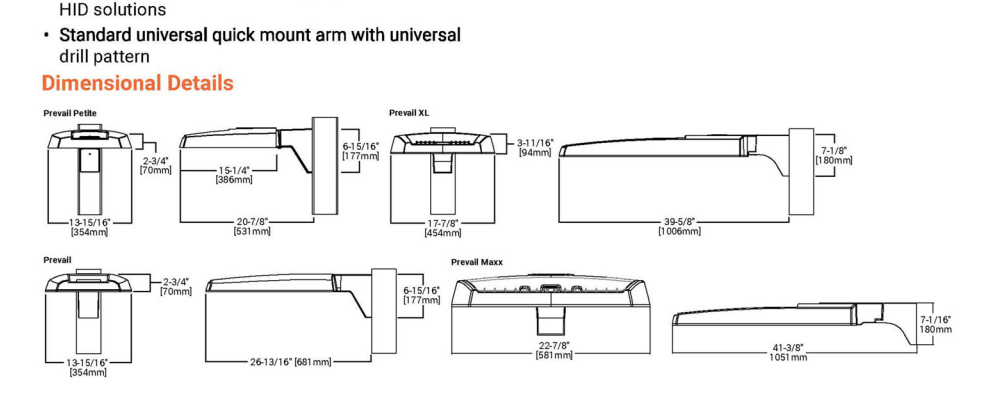
Lumark Prevail LED
 Area / Site Luminaire

Product Features

Product Certifications

Connected Systems

- Interactive Menu**
- Ordering Information page 1
 - Mounting Details page 4
 - Optical Configurations page 5
 - Product Specifications page 6
 - Energy and Performance Data page 7
 - Control Options page 8
- Quick Facts**
- Lumen packages range from 4,800 - 84,000 lumens (30W - 588W)
 - Replaces 70W up to 1,000W HID equivalents
 - Efficiency up to 160 lumens per watt
 - Energy and maintenance savings up to 85% versus HID solutions
 - Standard universal quick mount arm with universal ball options
- Dimensional Details**
-



COOPER Lighting Solutions VILLA: RONDA ARBYS 6081 Ew / Ec



General	
Status	Active
Finish	Black
Wattage	10W
Style	L111V
CCT (Ra) (s)	3000K
Color Temperature	Warm White
Width (in.)	4.83
Height (in.)	9.77
Element (in.)	3.43
Indoor/Outdoor Fixture	Outdoor
Specifications	
Technology	LED
CRI	90
Lumen Output	900L
Rated Power	6000W
Voltage	200-277V
Dimmable	Non-Dimmable
Photocell Sensor	No Photocell
Weight (lb.)	1.72
Light Down Indicator	Light Down
Fixture Material	Die-Cast Aluminum
Fixture Type	Sconce
Operating Temperature	-30C (-22F) to 40C (-10F)
Dimensions	
Black Plate to Ceiling Width (in.)	4.83
Black Plate to Ceiling Height (in.)	4.83
Compliance	
EMC L-100	UL, UL, C-UL
Location Rating	Wet
UL Application	C-UL
Energy Star	Yes
ES Listing ID	ES0-D233103
UL Approved	No
ADA Compliant	Yes
CA T20 / T21 Wall Mount	T20 Element - Fixture Not Registered
California Status	Level 1 for sale in California
Title 20 / 21 Status	Level 1 for sale
California Price 65	Level 1
RoHS Compliant	Yes
FGC Compliant	Yes
SDS Sheet	LED_F_Lum
Additional Information	
Installation Notes	Mount to Wall and Down
Warranty	5 Year Limited Fixture

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C-CP-D-SQ-SCCT Series
 Square LED Canopy Light | Field Selectable CCT & Wattage Options
 Replaces up to 250W P-38H

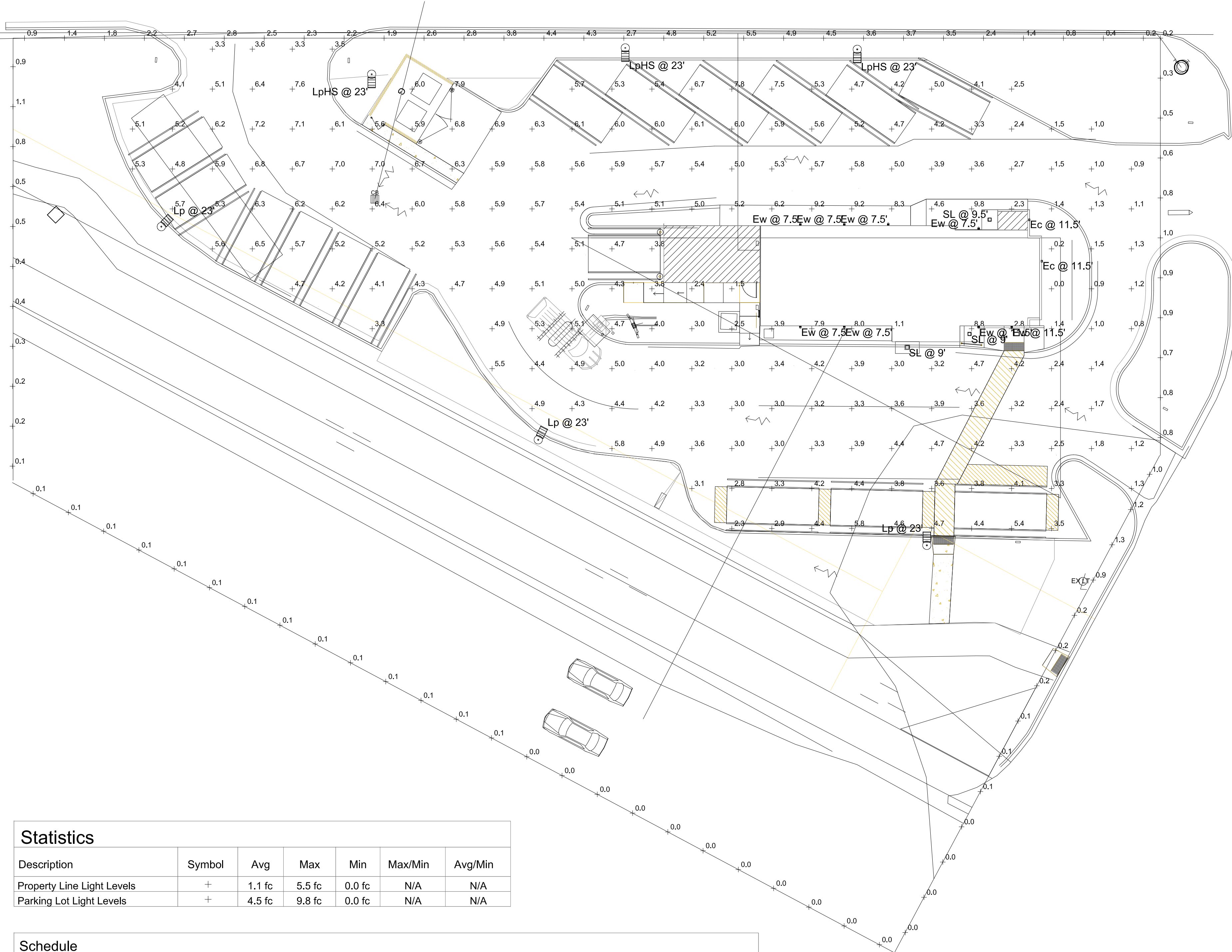


THE VERSATILE SQUARE LED CANOPY FIXTURE
 Experience ultimate flexibility and tailored lighting solutions with our remarkable Square LED Canopy Fixture. Designed to meet the diverse needs of various applications, this cutting-edge lighting solution offers a unique feature in some models: selectable CCT and Wattage options. With just a few simple adjustments, you can customize the lighting output to suit your specific requirements. Whether you desire a warm, inviting ambience or a bright, crisp illumination, our Square LED Canopy Fixture delivers a superior performance and remarkable energy efficiency with up to 15,000 lumens. For mounting options are as versatile as well, you have the option to install this canopy on a surface or with a pendant. A ball mounting is also an option for the 3L, 6L or 9L lumen packages. All are listed and based on your 5-year limited warranty. Our goal is to meet the limitations of these lighting configurations and embrace the freedom to create your desired lighting environment with the state-of-the-art LED canopy.

VILLA: RONDA ARBYS 6081 Item # SL

PRODUCT SPECIFICATIONS					
<ul style="list-style-type: none"> Initial Delivered Lumens up to 12,500 Lumens CRI: 90 CCT Selectable: 3000K, 4000K or 5000K Input Power: 27W (5W-67W/30W) Dimmable: 0-10V dimming to 2% Estimated (avg) Lifetime @ 25°C: > 100,000 hours 	<ul style="list-style-type: none"> Operating Temperature Range: -40°F to 104°F (-40°C to 40°C) Power Factor: 0.9 at full load Total Harmonic Distortion: < 20% at full load Limited Warranty: 5-Year* Replaces up to 250W P-38H 				
FEATURES					
<ul style="list-style-type: none"> Wattage Selectable: 5W, 20W or 30W, 40W or 50W CCT Selectable: 3000K, 4000K and 5000K (3L, 6L and 9L only). Fixed CCT of either 4000K or 5000K (3L only). Dark bronze or white polycarbonate powder-coat finish provides corrosion protection for long-lasting color. UV-stabilized acrylic lens designed to last. FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions. 	<ul style="list-style-type: none"> Energy Star compliant Security Pendant Lighting 				
ORDERING INFORMATION					
Example: 301-C-CP-D-SQ-SCCT-6B					
PRODUCT	SEMI	STYLE	FIELD SELECTABLE LUMEN PACKAGE	FIELD SELECTABLE CCT	HOUSING COLOR
6-6P	6	SQ	3000 Lumens 540 870 Lumens	5000 Lumens 900 Lumens 13,500 Lumens	6B Dark Bronze WH White
<p>4000 (Neutral White) 5000 (Cool White) 5000 (Cool White) For use only with 30L lumen package For use only with 30L lumen package</p>					

*Default settings of color temperature and wattage are 4000K and 30W.
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 For More Information: www.cooperlighting.com
 CERTIFICATIONS:



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	1.1 fc	5.5 fc	0.0 fc	N/A	N/A
Parking Lot Light Levels	+	4.5 fc	9.8 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Catalog Number	Description	Lamp	Wattage
	Lp	3	PRV-XL-C75-D-UNV-T4-BZ	Single Head Cooper Lighting Solutions Lumark Prevail XL Series LED Area Unit w/Type T4 Distribution (20ft. Pole Height w/3ft. Concrete Base)	LED/4000K	176
	LpHS	3	PRV-XL-C75-D-UNV-T4-BZ-HSS	Single Head Cooper Lighting Solutions Lumark Prevail XL Series LED Area Unit w/Type T4 Distribution (20ft. Pole Height w/3ft. Concrete Base) House Side Shielding	LED/4000K	176
	Ew	8	XTOR1B-W	Cooper Lighting Solutions Lumark Crosstour Series Wall Mounted LED Sconce Unit	LED/4000K	12.2
	Ec	2	62/1143R1	Satco Nuvo 62/1143R1 Series Wall Mounted 2-Light LED Up/Down Wall Cylinder LED Sconce Unit	LED/3000K	20.0385
	SL	3	C-CP-D-SQ-S3L-SCCT-WH	Cree Lighting Inc. C-Lite Series LED Canopy Light, 3L Selectable Lumen Package, Selectable CCT (27W_40K)	LED/5000K	14

PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"
 UPDATED 12-12-23
 PREPARED BY: Ronda Schrage Villa Lighting 314-633-0536
 ronda.schrage@villalighting.com. Product specs or Equal.

PHOTOMETRICS
 MANUF LIGHT INFO
 CODE NOTES

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT TO AS-BUILT CONDITIONS.
 Arby's Store #6081 Exist 1992
 Model: 179 / 2094 / 3093
 Contact: JOE / JAMIE CRAWFORD: 810-760-3423
 CRAWFORD@ARBYS.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
7	08-09-23	Permit submit Genoa Livngston
1	10-04-23	review for SPR
2	10-23-23	print for SPR
4	12-13-23	2nd Submittal SPR

DRAWN BY: C. BALL
 DATE: 08-07-23
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
C 1.4

LANDSCAPE REQUIREMENTS & PROPOSAL

GENOA TOWNSHIP ORD SECTION 7.03 GCD ZONING; Max Lot Coverage required: Bldg 35% coverage and Impervious surface 75% coverage. Overall property: 48523 SF. Overall within ROW: 35,373 SF. 35% of 35,373 SF = 12,381 SF. 75% of 35,373 = 26,530 SF

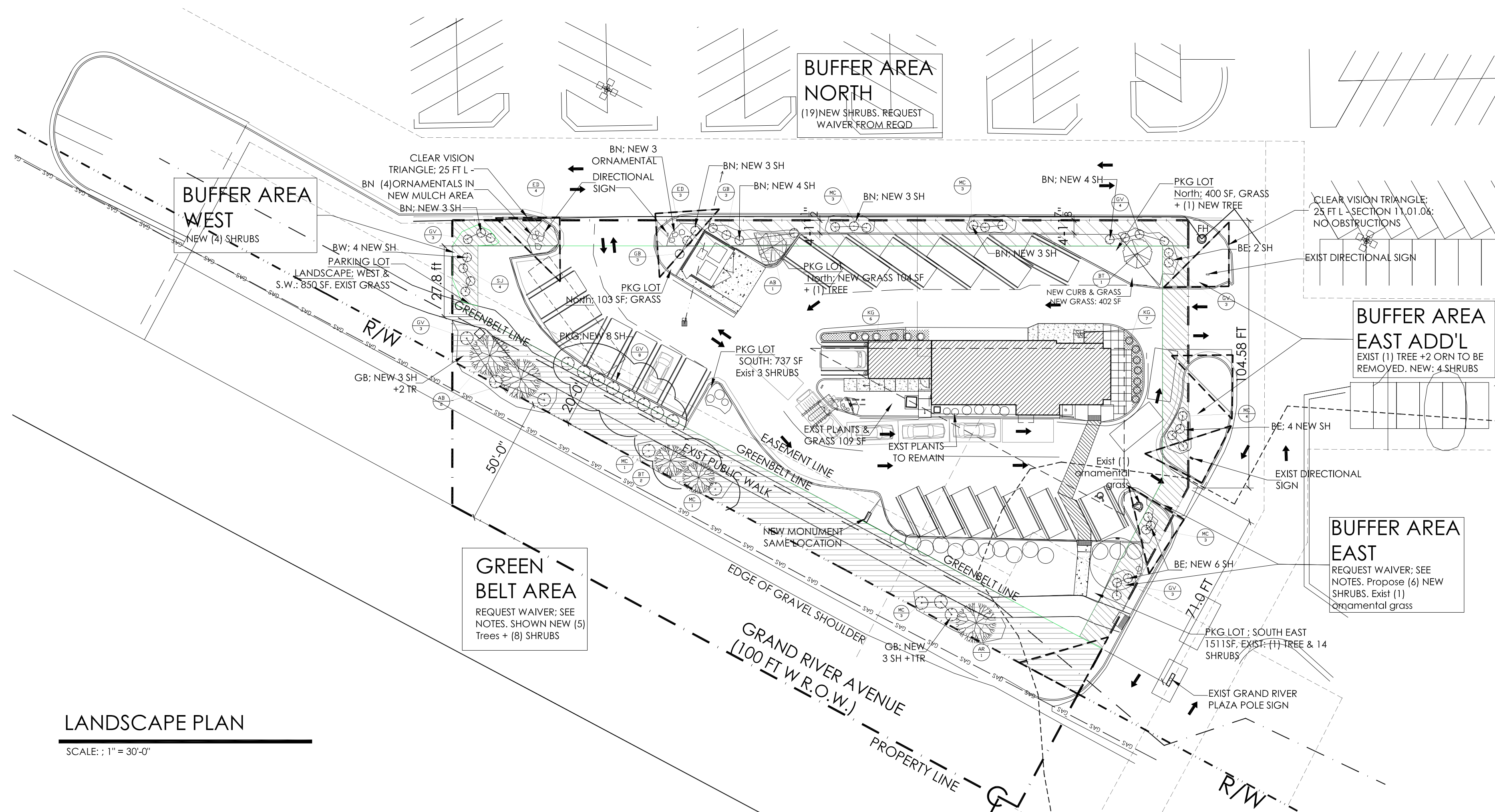
Bldg: 1,769 SF. + 359 SF Bldg = 2128 SF Total Impervious; (Bldg +pavement+sidewalk) = 24,256 SF < 26,530 allowable. ** Added 700 SF new grass area

CLEAR VISION TRIANGLE: 25 FT L - SECTION 11.01.06: no obstructions at intersections. used to place new landscape.

No fence, wall, or structure shall be erected, established, or maintained on any lot which will obstruct the view of drivers in vehicles approaching the intersection adjacent to a corner lot or a driveway on any lot. Fences, walls, or structures located in the triangular area described below shall not be permitted to exceed a height of thirty six (36) inches above the lowest point of the intersecting road(s).

SECTION 12 - LANDSCAPE:

QTY'S	DESCRIPTION
5T 8 SH	1) GREENBELT: 20 FT W. Requires (1) Canopy tree per 40 Lin Ft of frontage. Thus, 276.5 Lin Ft / 40 = 6.9 = 7 Trees. Substitution of evergreen allowed for 50% of req'd. Rest of are to be plant materials. REQUEST WAIVER: Small area because of existing public sidewalk. Propose NEW (5) Trees + (11) Shrubs with natural grouping.
OT 6 SH	2) BUFFER AREA TYPE C: Zone GCD/RCD abuts commercial requires: (1) Canopy tree or (4) shrubs per 20 Lin Ft along Property Line. Min width of 10 Ft. Thus:
OT 4 SH	EAST along Service drive - 51 Lin Ft: 51 / 20 = 3: 3 x 4 = 12 shrubs OR 1 T + 8 Sh OR 2T + 4 Sh. REQUEST WAIVER: With clear vision area - not enough space for requirement. Propose (6) new shrubs with (1) exist ornamental grass
OT 4 SH	EAST addl: 104.5 Lin Ft: 104.5/20 = 5.2 x 4 = 20 Shrubs OR 2T + 12 Shrubs OR 3T + 8 Shrubs. REQUEST WAIVER: With two clear vision triangle + two drives creates limited property for new. Propose (4) Shrubs
OT 19 SH, 7 ORN	NORTH along service drive - 287 Lin Ft: 287 / 20 = 14.35 x 4 = 56 shrubs OR 4 T + 40 Sh OR 6 T + 32 Sh. REQUEST WAIVER from required Buffer. Min width of 10 FT NOT AVAILABLE. Existing avg 6'-0" +/- thus new trees would not survive. Proposal to provide (19) shrubs + (7) Ornamental
OT 4 SH	WEST along vacant land zoned commercial - 27.8 Lin Ft: 27.8/20 = 1.39 x 4 = Propose (4) new shrubs
2T 2 SH	3) PARKING LOT LANDSCAPE: SECTION 12.02.04 - MIN Trees in the parking area. Space count of 10-100 requires (1) canopy tree and 100 SF of landscape area PER 10 spaces. New parking space count = 16. Required: new area of (2) Trees AND 200 SF landscape area. PROVIDED:
3 ORN 9 SH	North: Provided (2) new Trees + (2) shrub + (6) G next to new bldg with exist 437 SF grass area. Total G = 504 (77 SF new G)
TT 14 SH	West: exist 850 SF grass area South East: exist (1) tree + (14) shrubs + 1511 SF grass area East @ parking space wait (7) G + 115 new grass
TOTALS NEW & EXIST	4) Section 12.02.09 - Mixing of Species: oval landscaping plan shall not contain more than 33% of any one plant species. See plant schedule. (T = TREE, SH = SHRUB, ORN = ORNAMENTAL, G = GRASS)



LANDSCAPE PLAN
SCALE: 1" = 30'-0"

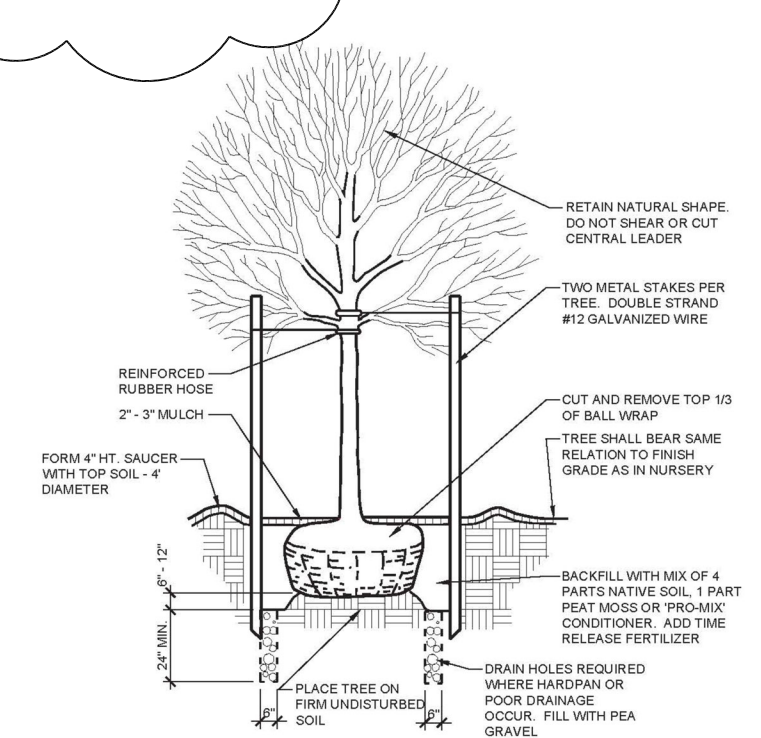


AERIAL MAP 2020
SCALE: ENG 1:200

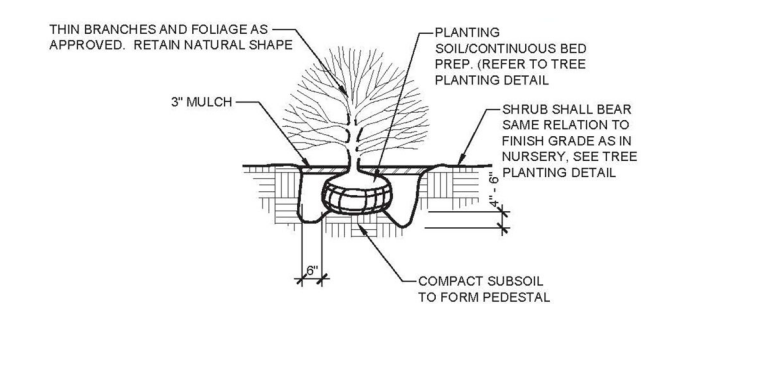
GENOA TOWNSHIP ORD SECTION DRAINAGE & TOPOGRAPHY

PLANT SCHEDULE

KEY	QTY	PLANT NAME	SIZE
TREES			
AR	1	ARMSTRONG RED SUNSET MAPLE-ACER RUBURM	2 1/2CAL B&B
AB	3	AUTUMN BLAZE MAPLE-ACER x freemanjii Jefeersred	2 1/2CAL B&B
BT	3	BLACK TUPELO - Nyssa Sylvatica	2 1/2CAL B&B
SHRUBS			
MC	21	MAJIC CARPET SPIREA-Walburna	18-24" SIZE
GV	24	GREEN VELVET BOXWOOD-Buxus x 'green velvet'	18-24" SIZE
SJ	4	SKYROCKET JUNIPERS-Juniperus scopulorum, columnar	24-36" w 15-20'tall
GB	6	GREEN MTN BOXWOOD Buxus x 'Green Mountain'	24-36" w 4-5'tall
GRASSES			
KG	13	KARL FOERSTER GRASS(3-4HGT) Calamagostis acutiflora	36" spread, 48-72 hgt
ORNAMENTAL			
ED	7	EVERY DAYLILY-PINK WING - Hemerocallis	36" spread, 48-72 hgt
SECTION 12.02.09 Species mix proposed = total 69 new x .33 = 23			
NEW: 7 T 55 SH 7 ORN			



TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"



TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"

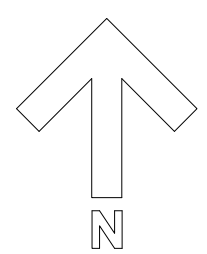
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Contact: JOE / JAMIE CRAWFORD: 810-760-3423
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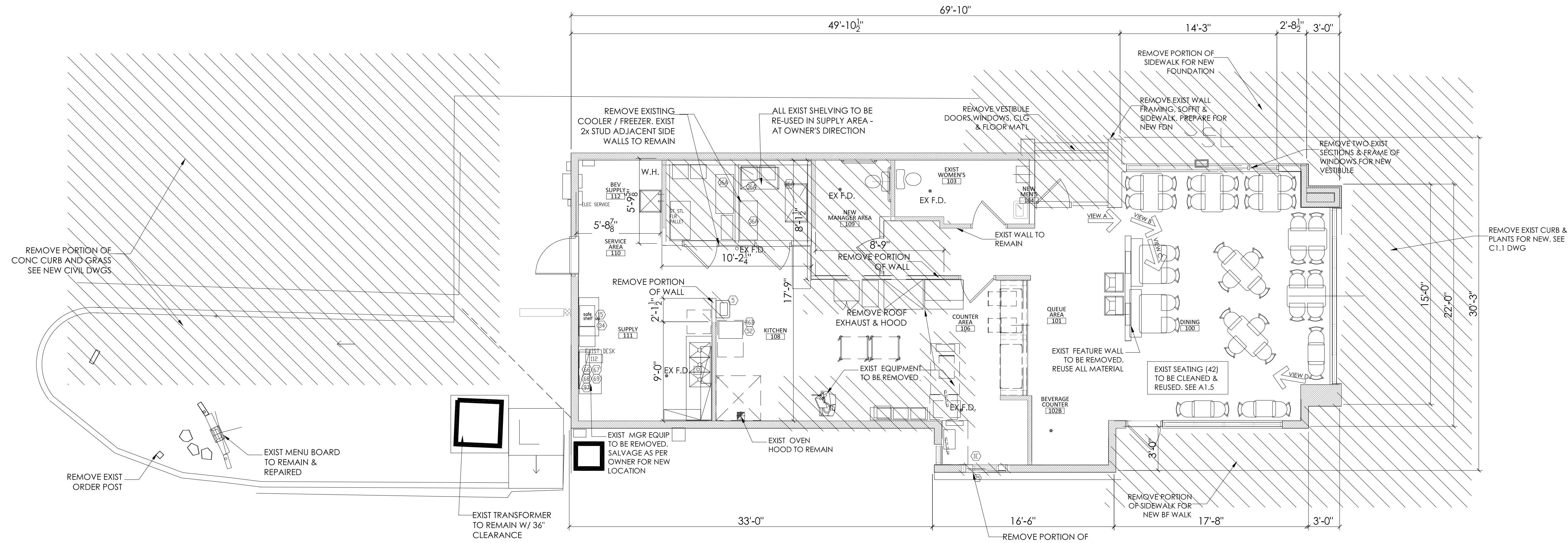
PROPOSED RENOVATION FOR:
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Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
5	01-22-24	rev for plan comm SPR
4	12-13-23	2nd submitt SPR
3	10-25-23	print for SPR
2	10-20-23	SPR submit - clarify landscape
1	10-11-23	owner review for SPR

DRAWN BY: C. BALL
DATE: 09-21-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.5





DEMOLITION FLOOR PLAN

SCALE: 3/16"=1'-0"

NOTES:

- 1) DIMENSIONS SHOWN ARE TO EXIST WALL FINISH: DRYWALL, CERAMIC TILE, FRP
- 2) DEMOLITION AREAS NOTED WITH HATCH
- 3) BUILDING AREA 1750 SF GROSS - TO REMAIN - NO NEW ADDITION

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) REMOVE KITCHEN EQUIPMENT: FOR COMPLETE LIST SEE EQ1.1
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES. FOR DEMOLITION OF CIVIL SEE C1.1 DRAWING
- 4) PROVIDE UPDATES TO BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C1.1 & C1.2 CIVIL DWGS FOR DETAILS

GENERAL DEMOLITION NOTES:

- A. FIELD VERIFY ALL NEW WORK WITH OWNER PRIOR TO DEMOLITION
- B. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION.
- D. SEE STRUCTURAL DRAWINGS FOR ALL WORK RELATED TO BOTH THE NEW AND EXISTING STRUCTURE. GENERAL CONTRACTOR IS TO NOTIFY THE STRUCTURAL ENGINEER OF ALL UNKNOWN CONDITIONS.
- E. ALL SUB-CONTRACTORS ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND REPORT IN WRITING ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- F. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
- G. NOTIFY OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FRIION, ETC.) REQUIRED TO BE REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION.
- H. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT, AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE THE REMOVAL AND/OR STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
- I. DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR, EXHAUST, AND FUMES THAT ARE CREATED AS A RESULT OF DEMOLITION.
- J. LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL AND ELECTRICAL SHEETS.
- K. MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES IS REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- L. PROVIDE TEMPORARY LIGHTING THROUGHOUT THE FLOOR AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION/CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- M. GENERAL CONTRACTOR TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.
- N. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
- O. REMOVE ABANDONED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.
- P. REMOVE AND DISCONNECT ALL EQUIPMENT SYSTEM COMPONENTS AS REQUIRED.
- Q. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITHIN AREAS OF EXISTING BUILDING AND ADJACENT TENANT OPERATIONS.
- R. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADWAYS, SIDEWALKS, AND SITE OPERATIONS.
- S. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY BARRICADES AND/OR OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AS REQUIRED BY LOCAL GOVERNING AUTHORITY.
- T. GENERAL CONTRACTOR IS TO PROVIDE REQUIRED PROTECTION TO PROTECT THE INTERIOR FROM WEATHER.
- U. PROVIDE PROTECTED ENTRY ACCESS AS REQUIRED TO ENSURE A SAFE PASSAGE AROUND THE AREA OF DEMOLITION FOR ALL ADJACENT TENANTS THAT ARE OPEN FOR BUSINESS.
- V. DEMOLITION CONTRACTOR IS TO REMOVE ALL UNUSED METAL STUD TOP TRACK FRAMING ABOVE CEILING.
- W. COORDINATE DEMOLITION AND CONSTRUCTION PHASING AND SEQUENCING WITH THE OWNER.
- X. COORDINATE ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORAGE, AND REINSTALLATION WITH GENERAL CONTRACTOR AS DIRECTED BY OWNER.
- Y. PATCH AND REPAIR CONCRETE FLOOR AT AREAS OF DEMOLITION AS REQUIRED TO ACHIEVE A CONSISTENT FLOOR LEVEL TO RECEIVE NEW TENANT FLOOR FINISH. PROVIDE ADDITIONAL CONCRETE TOPPING AS REQUIRED.
- Z. PATCH AND REPAIR EXISTING CONSTRUCTION ITEMS TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION OPERATIONS. PROVIDE A SMOOTH, CONSISTENT FINISH TO MATCH EXISTING SURFACES.
- AA. EXISTING CARPET, CERAMIC TILE, AND ALL OTHER EXISTING FLOOR FINISHES ARE TO BE REMOVED. GENERAL CONTRACTOR TO PATCH AND REPAIR CONCRETE SLAB AND INTERIOR PARTITION WALLS FOR A SMOOTH, CONSISTENT FINISH READY FOR NEW TENANT FINISHES.
- AB. CASH REGISTERS AND ASSOCIATED WIRING TO BE REMOVED AND REPLACED BY OWNER.
- AC. EXAMINATION OF PREMISES: THE CONTRACTOR BEFORE SUBMITTING A PROPOSAL FOR THIS WORK SHALL EXAMINE THE PREMISE AND ALL CONDITIONS THEREON AND /OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGEMENT BY HIM THAT ALL SUCH CONDITIONS AS FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH OWNER.

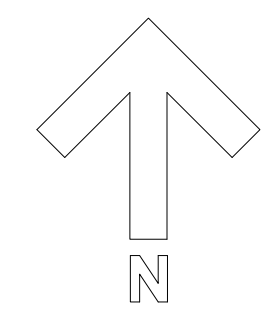
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Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

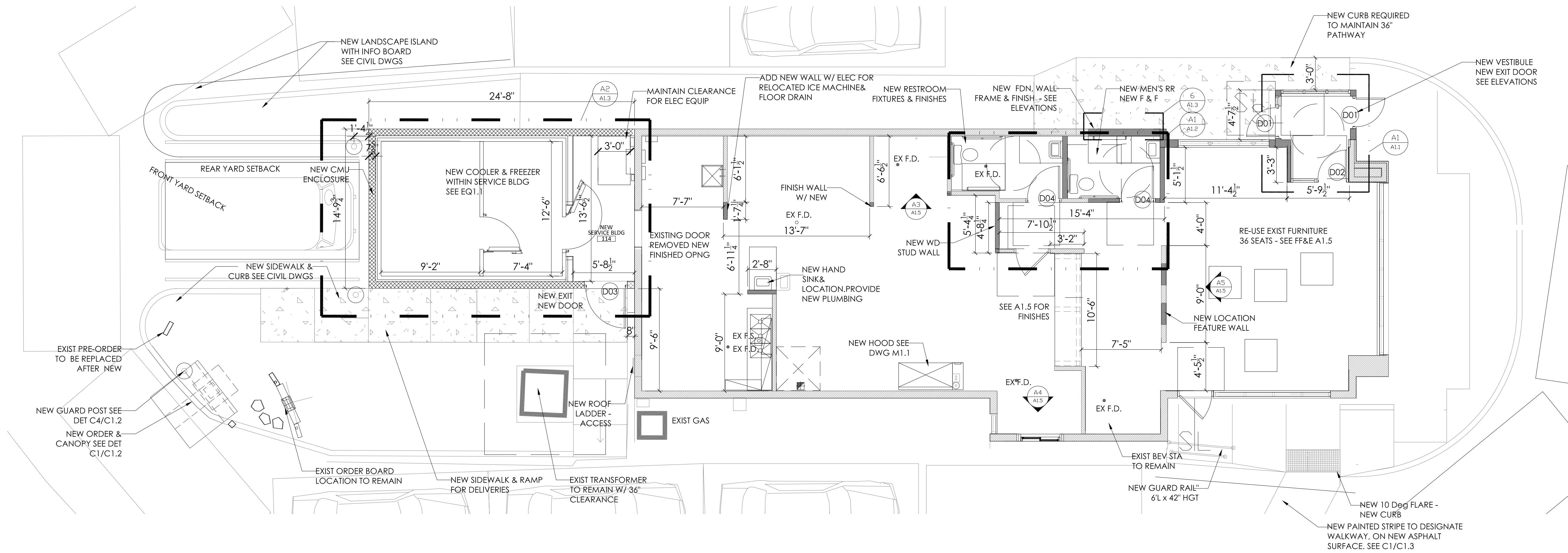
PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
13	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 03-18-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
D
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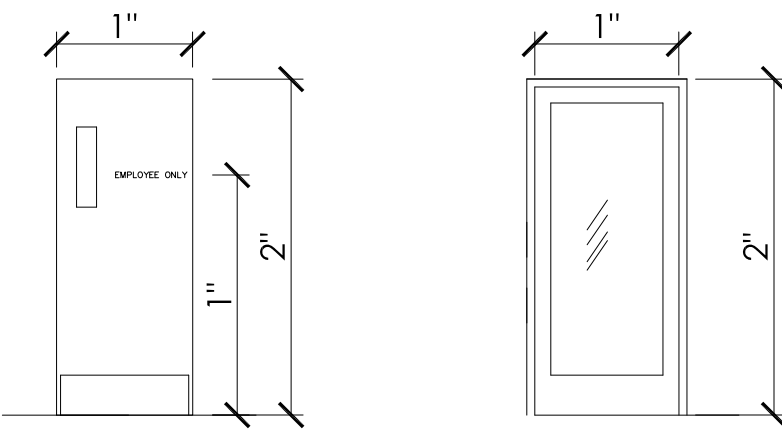
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

- 1) NEW WALL DIMENSIONS TO 1/2" GYP BD FINISH. U.N.O.
- 2) ALL DIMENSIONS FOR NEW RESTROOMS INCLUDE FINISHES. U.N.O.
- 3) SEE EQ1.1 FOR EQUIPMENT PLAN
- 4) SEE A3.1 FOR NEW DOOR SPEC + DOOR HDWR
- 5) SEE NEW FINISH LEGEND A1.3. COORDINATE WITH NEW DECOR DOCUMENTS PROVIDED BY OTHERS
- 6) BLDG FOOTPRINT = 1769 GROSS SF AREA (SURVEY)
- 7) SEE A1.4 FOR REFLECTED CEILING.

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) PROVIDE NEW KITCHEN EQUIPMENT - SEE EQUIPMENT DWG
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES - SEE ELEVATION DWGS
- 4) PROVIDE UPDATES TO EXTERIOR BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C1.1 CIVIL DWGS FOR DETAILS
- 5) EXTERIOR CIVIL WORK: ALL NEW SEE DWGS
- 6) TOTAL BLDG AREA: 1769SF + ENTRY 35 + COOLER BLDG 364 SF = 2168 SF GROSS

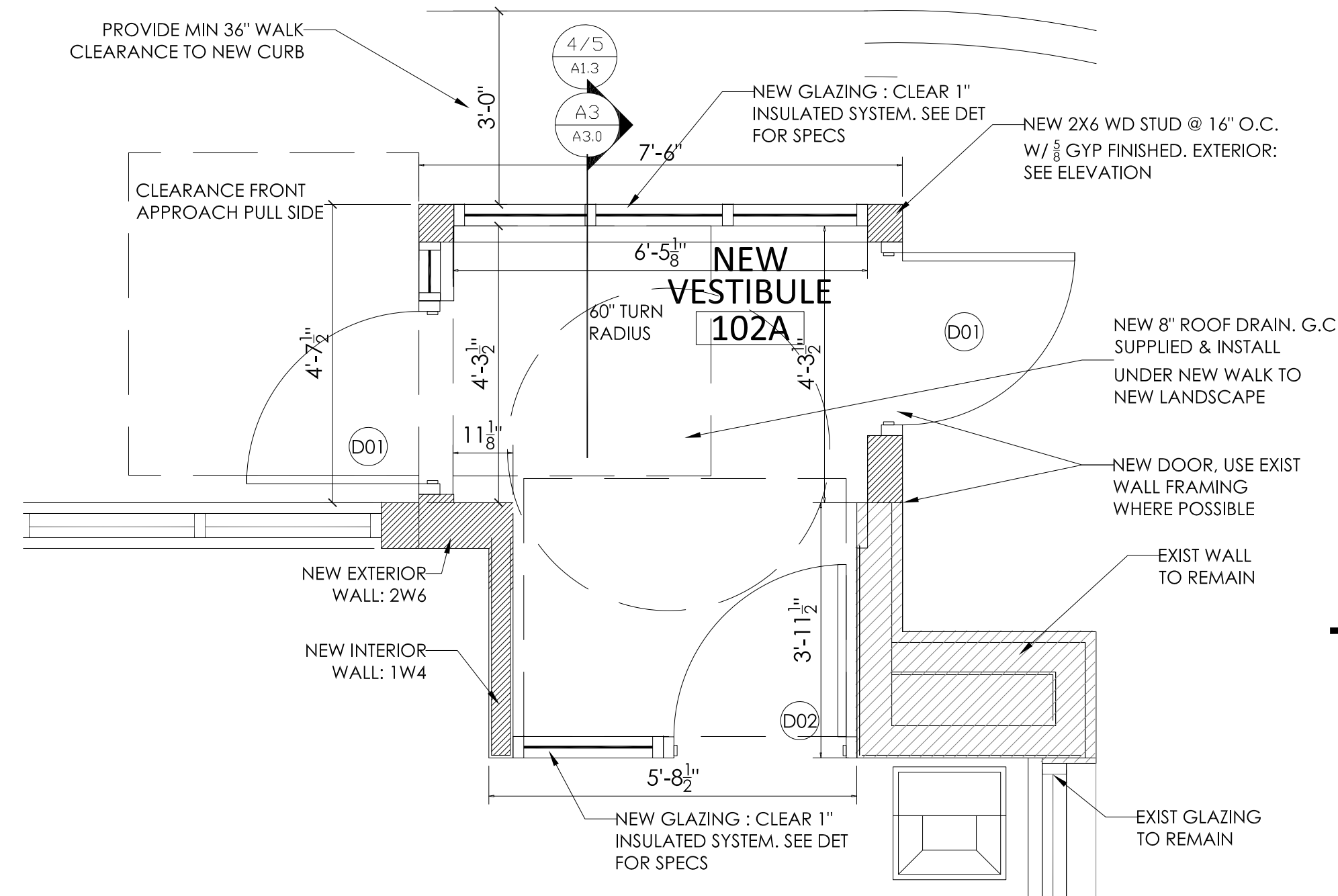


SERVICE COUNTER DOOR HALLWAY SIDE
SCALE: 1/4" = 1'-0"
EMPLOYEE DOOR TO SERVICE COUNTER. 2 SPRING HINGES.

ENTRANCE VESTIBULE DOOR
3'-0" x 7'-0" x 1 1/2" HM FRAME
TEMPERED SAFETY GLASS, ALUM STOREFRONT
WIDE STILES & RAILS. DARK BRONZE FINISH

DOOR HARDWARE & SPECIFICATIONS

- DO1: (EXTERIOR VESTIBULE/DINING ROOM)**
 - 1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
 - 1 DOR-O-MATIC EXIT DEVICE 1993 26D
 - 1 SCHLAGE RIM CYLINDER 20-022 626
 - 1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
 - 1 IVES FLOOR STOP F5444 26D
 - 1 HAGER THRESHOLD 4185 AL
 - 1 HAGER WEATHERSTRIP 7365
 - 1 HAGER SWEEP 7535 AL
- DO2: (INTERIOR VESTIBULE)**
 - 1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
 - 1 IVES PULL-PUSH BAR 9103E2-33-12-32D-NO
 - 1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
 - 1 HAGER WEATHERSTRIP 7365
 - 1 HAGER SWEEP 7535 AL
 - 1 IVES WALL STOP F5438 26D
- DO3: (REAR DOOR)**
 - 1 ROTON 780-112HD CONTINUOUS MORTISE HINGE AL 83" CLEAR
 - 1 CAL-ROYAL 7700EO RIM PANIC 48" (EQUAL TO VON DUPRIN 99) 32D
 - 1 CAL-ROYAL 7700NL NIGHT LATCH TRIM/ PULL
 - 1 SCHLAGE RIM CYLINDER 20-022C 626
 - 1 HAGER 5100 HDHOS
 - 1 HAGER ARMOR PLATE 1935 (BEVELED 3 SIDES) 30" X 46" 32D
 - 1 HAGER 2675 CAST FLOOR STOP 3 1/8" H 2 1/4" BASE 26D
 - 1 HAGER 1756 185 DEGREE VIEWER 26S
 - 1 HAGER 5415 PANIC THRESHOLD 28"X5" WIDTH W/ VINYL BUMPER STOP
 - 1 HAGER WEATHERSTRIP 8625
- DO4: (SINGLE OCCUPANY RR)**
 - 1 1/2 PR. HAGER HINGES ECB8 1100 26D
 - 1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
 - 1 SCHLAGE B571 COMMERCIAL RR INDICATOR DEADBOLT
 - 1 HAGER PULL BAR 33L 26D 4" X 16"
 - 1 HAGER PUSH PLATE 305 26D 4" X 16"
 - 2 HAGER 190S KICK PLATE 32D 8" X 34"
 - 3 SILENCERS PER DOOR
 - 1 SIGN- MEN'S/WOMEN'S
 - 1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D
 - **REMOVE INDICATOR DEADBOLT FOR MULTI OCC. RR
- DO5: (SERVICE DOOR)**
 - 1 1/2 PR. HAGER HINGES ECB8 1100 26D
 - 1 HAGER 3410 WITHNELL HEAVY DUTY PASSAGE SET 26D
 - 1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
 - 2 HAGER 190S KICK PLATE 32D 8" X 34"
 - 1 HAGER 243F LIGHT DUTY DOME STOP HIGH
 - 3 SILENCERS PER DOOR
 - 1 SIGN "EMPLOYEES ONLY"



NEW VESTIBULE PLAN
SCALE: 1/2" = 1'-0"

WALLS

CONSTRUCTION
INTERIOR WALLS: 2x4 WD STUD @ 16" O.C. WITH FINISH. KITCHEN AREA USE F.R.P. PANEL SAME COLOR AS EXISTING. QUEUE AND DINING AREA SEE FF&E DWG
EXTERIOR WALLS: 2x6 WD STUD @ 16" O.C... SEE ELEVATION DWGS FOR INSPIRE FINISH

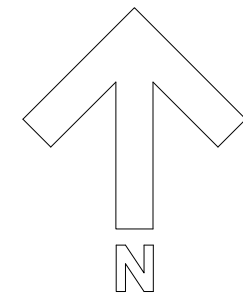
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
15	12-19-23	ZBA submittal
15	12-19-23	2nd submittal SPR

DRAWN BY: C. BALL
DATE: 02-16-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
A 1.1



ARBY'S HOWELL EXISTING



WEST ELEVATION



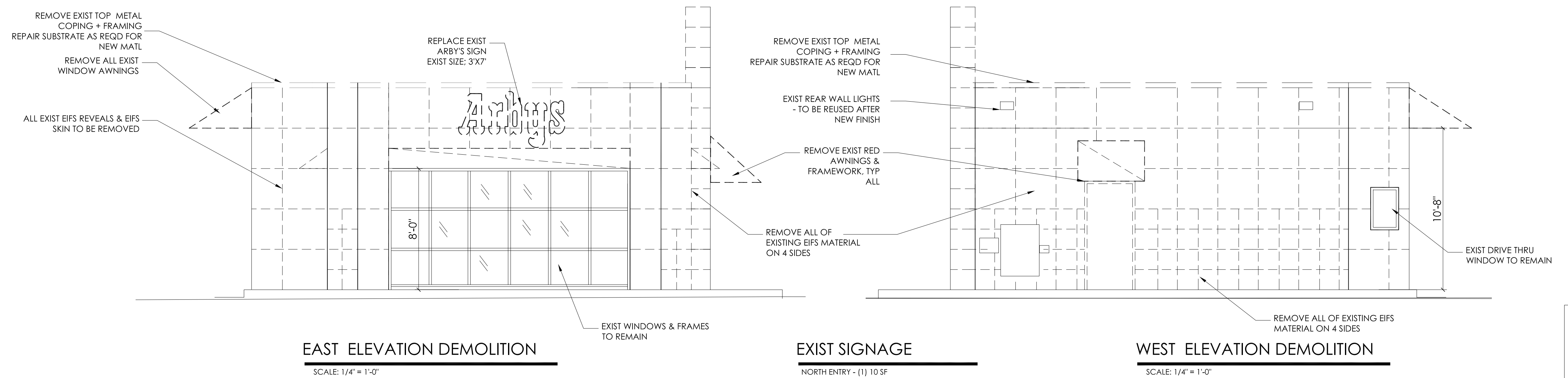
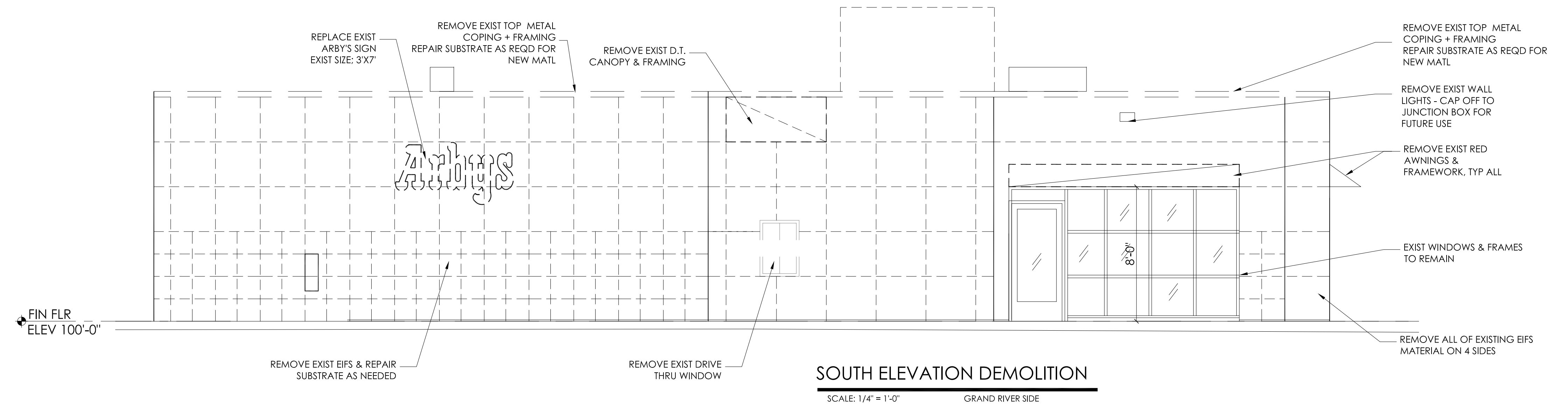
SOUTH-WEST ELEVATION



SOUTH - EAST ELEVATION



NORTH ELEVATION

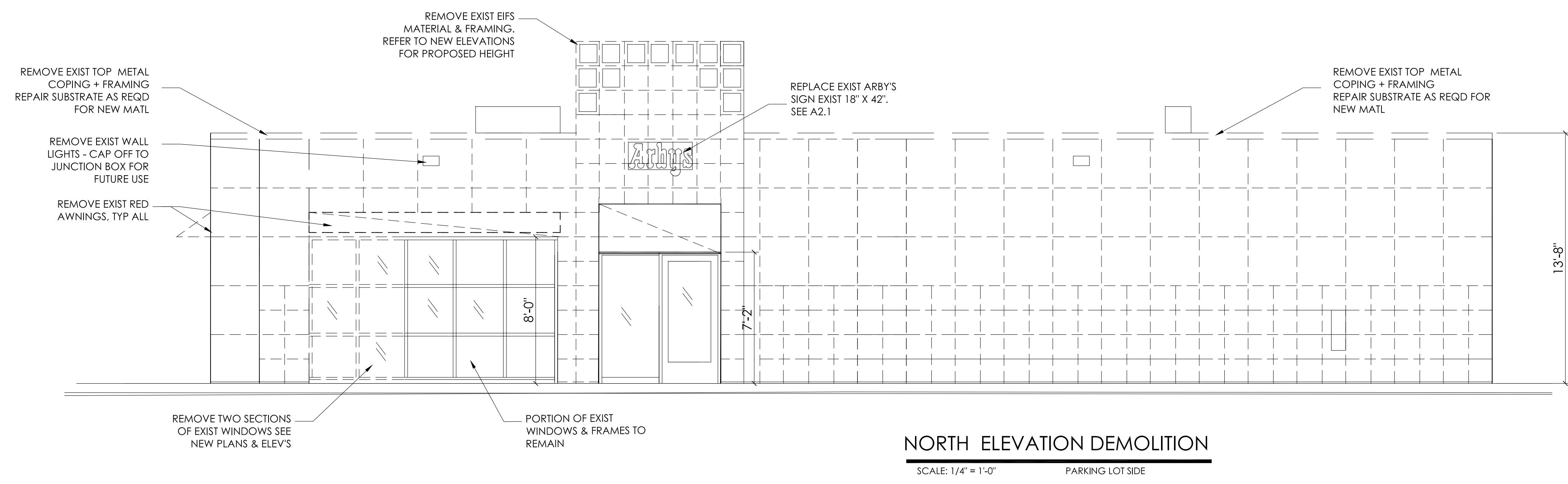


EXIST SIGNAGE

NORTH ENTRY - (1) 10 SF
 WEST REAR - NONE
 SOUTH GRAND RIVER AVE - 18.3 SF
 EAST PUBLIC ACCESS - 18.3 SF
 TOTAL SIGNAGE AREA EXIST: 46.6 SF

WEST ELEVATION DEMOLITION

SCALE: 1/4" = 1'-0"
 DEMOLITION NOTES REFER TO OBJECT'S NOTED AND ANY ADJACENT SURFACES. REPAIR & PROVIDE NEW ROOF /PARAPET FRAMING AS REQUIRED



EXT ELEVATIONS EXIST

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD; 810-750-3423
 CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
1	11-18-21	EXIST CONDITIONS OWNER
2	07-08-22	print to review
3	02-15-23	Owner GC Review
4	02-24-23	Sub's Review
5	03-14-23	corp. Review
6	05-17-23	3rd Corp Submittal
7	07-18-23	Arch review
8	08-08-23	permit submit Genoa Livingston
9	10-11-23	owner review for SPR
10	10-23-23	report for SPR
11	12-13-23	2nd submit SPR
12	12-19-23	zba submittal
13	01-22-23	rev for plan comm. SPR

DRAWN BY: C. BALL
 DATE: 03-17-21
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
EX 2.0

EXTERIOR MATERIALS

METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR.70/TE.87	OR EQUAL
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR.26/TE.87	OR EQUAL
C	PRE-FABRICATED CANOPY/BAND	SHERWIN WILLIAMS SW #6869 "STOP"	--
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	NOT USED HOWELL
HARDIE PANEL SPECS (OR EQUAL)			
H.RB	HARDIE PANEL	SW "ROCKWOOD BROWN" - WITH 8" REVEAL PATTERN	SPEC XX
H.S	HARDIE PANEL	SW "STOP" - SMOOTH FINISH	
H.FG	HARDIE PANEL	SW "FUNCTIONAL GRAY" - STUCCO LOOK	
H.PW	HARDIE PANEL	SW "PURE WHITE" - STUCCO LOOK	
H.W.B.	HARDIE PANEL	SW "PURE WHITE" - BRICK PATTERN	
M1	MASONRY/MANUF	M1: "CAST STONE" / "FACE BRICK" COLOR VARIOUS GRAY	

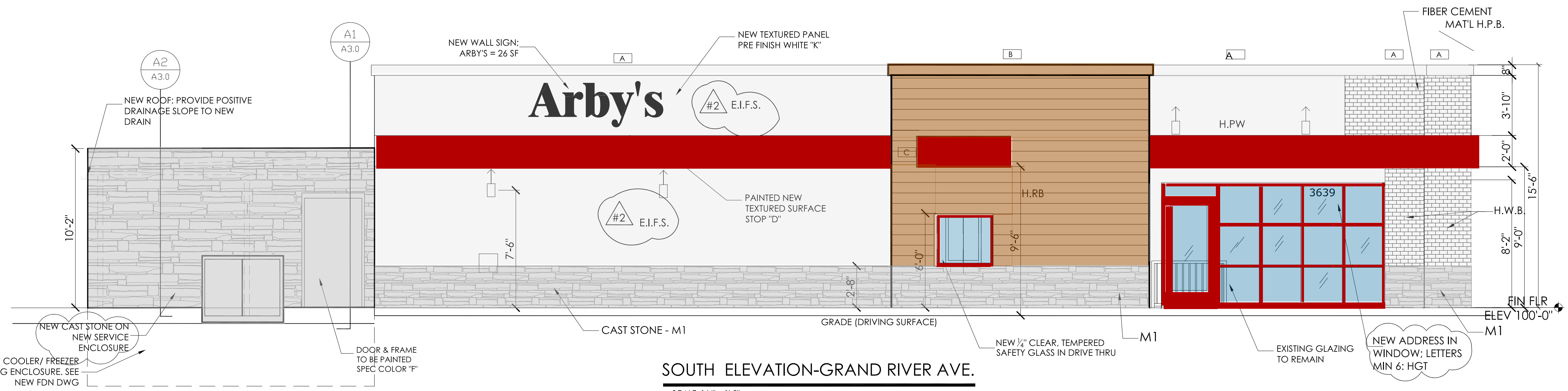
PAINT SPECIFICATION

Arby's color designation (Sherwin Williams color designation)	Substrate(s)	Sherwin Williams (SW) Product	Remarks
Arby's tag designation <D> (this is a red color that is a close color match for the metal roof canopy)	E.I.F.S. (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	Use at least two coats of finish. May require 3-4 coats to get proper coverage. Primer tinted to SW P1.
SW #6869 "Stop"	Prefinished metal or factory primed, Kynar-finished roof or metal storefront	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	
D	Wood	Primer: A-100 Exterior Latex Primer B42W08041 Finish: Pro Industrial DTM Acrylic Gloss, B66-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B65C Series	
Arby's tag designation <F> SW #7024 "Functional Gray"	E.I.F.S. (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self-Cleaning, Flat, LX13 Series	Use at least two coats of finish.
F	Prefinished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EggShell, B66-1250 Series	
Arby's tag designation <C> SW #2308 "Rockwood Dark Brown"	E.I.F.S. (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self-Cleaning, Flat, LX13 Series	Use at least two coats of finish. Primer tinted to SW P2.
C	Prefinished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EggShell, B66-1250 Series	
Arby's tag designation <K> SW #7005 "Pure White"	E.I.F.S. (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Acrylic Satin, A82W151 Series	Use at least two coats of finish. Primer tinted to SW P1.
K	Prefinished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EggShell, B66-1250 Series	
	Wood	Primer: A-100 Exterior Latex Primer B42W08041 Finish: A100 Acrylic Satin, A82W151 Series	

REFER TO A2.2 FOR EXTERIOR BUILDING MATERIAL CALCULATIONS

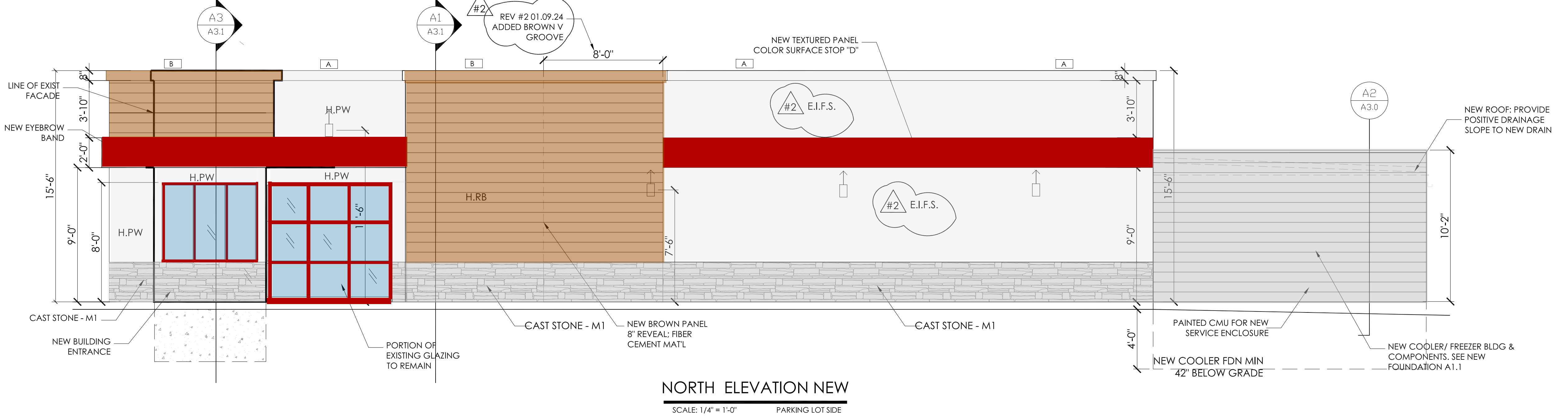
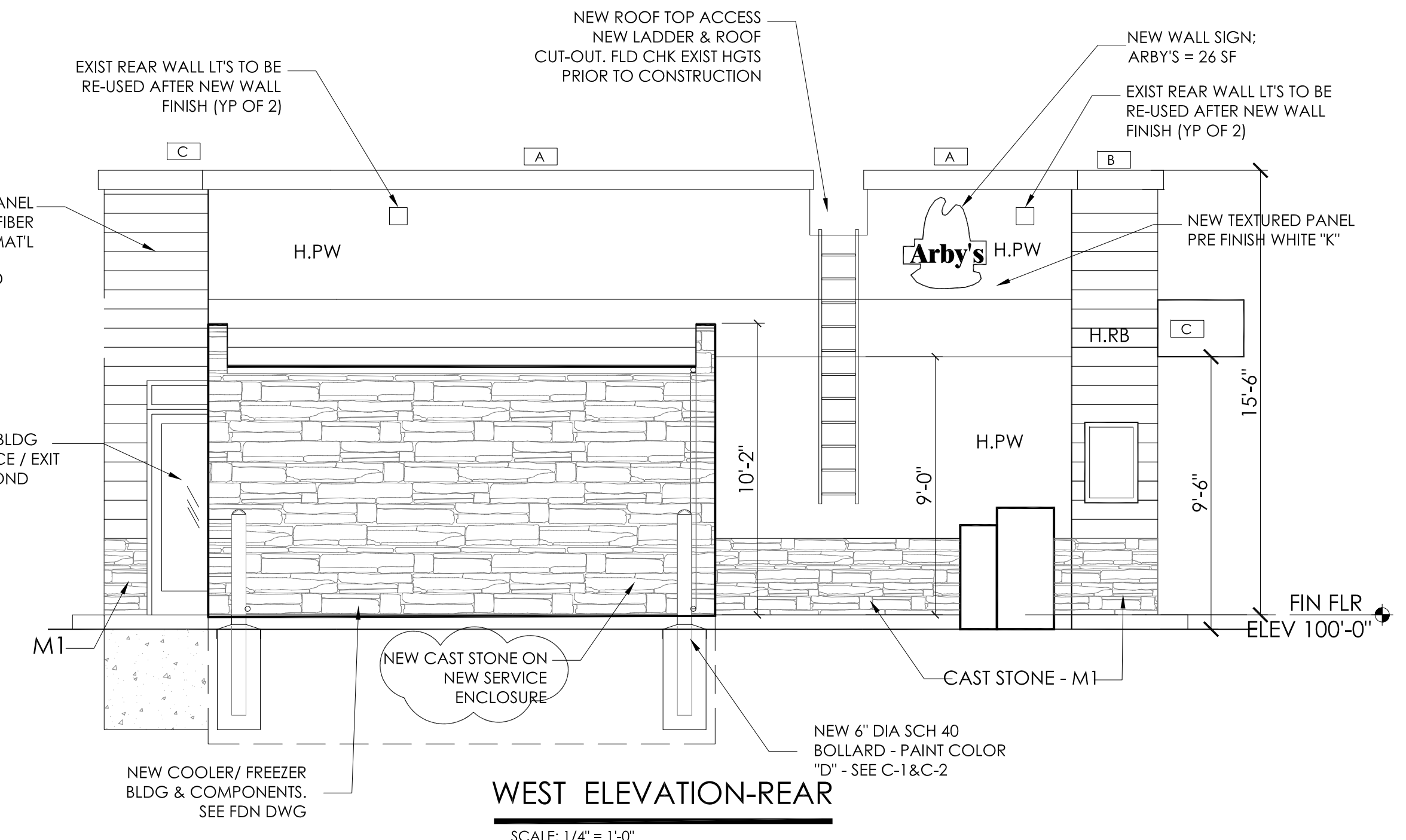
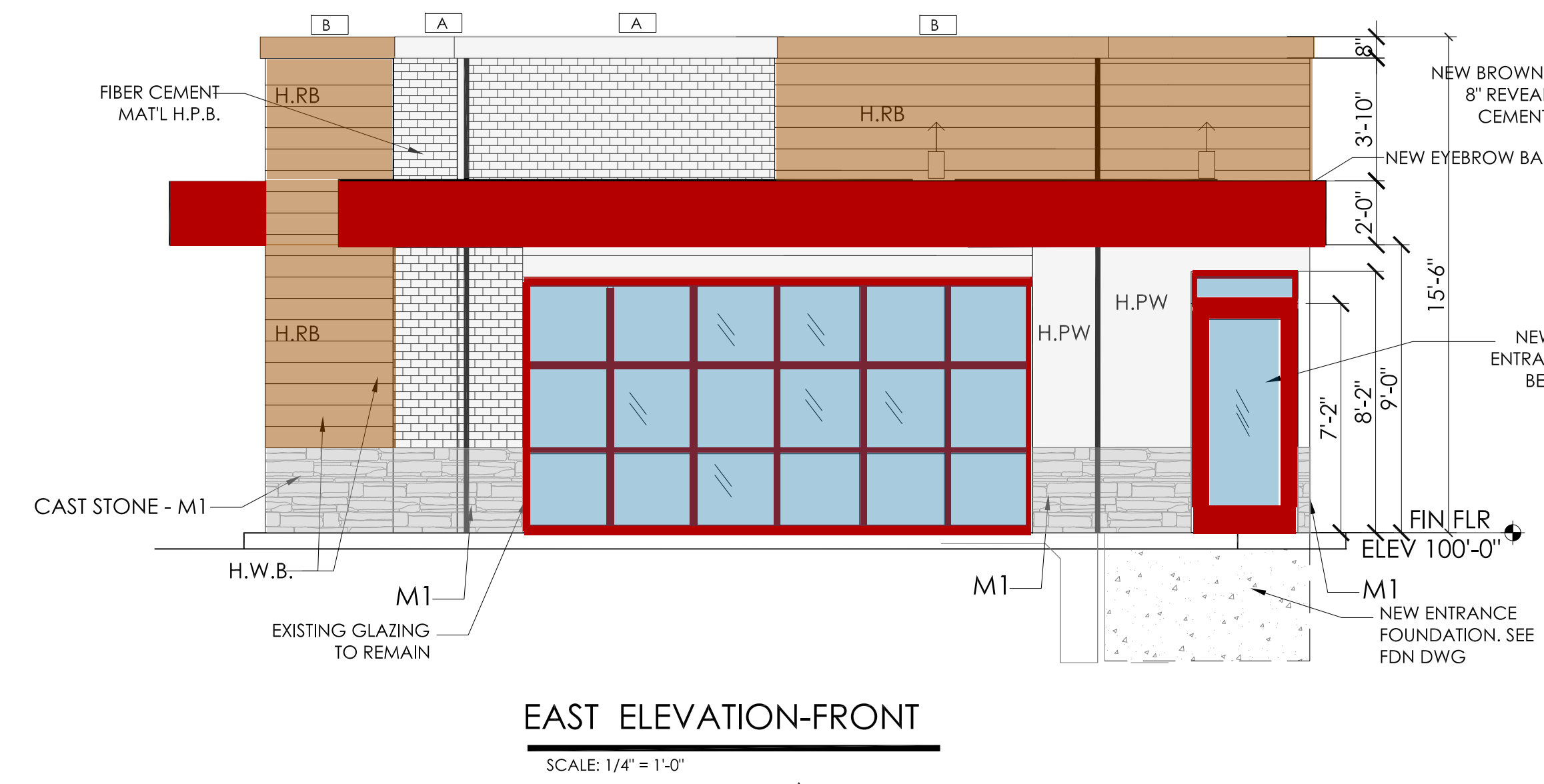
BUILDING EXTERIOR:

- G.C. TO COORDINATE WITH OWNER ALL BLDG DEMOLITION AND RENOVATION WORK AS INDICATED ON DRAWINGS.
- EXISTING STOREFRONT TO BE REMOVED AS INDICATED ON DWGS. G.C. TO CLEAN, RECAULK, AND RE-BASKET THE INSIDE AND OUTSIDE OF EXIST FRAMES TO REMAIN.
- EXIST ALUM DOOR - & DRIVE THRU WINDOW - CLEAN AND REPAINT TO MATCH COLOR "C" BRONZE LOOK. G.C. SHALL REPAIR / PRELACE ALL HARDWARE AS DIRECTED BY OWNER
- G.C. TO RECAULK THE EXTERIOR PERIMETER BASE OF BLDG WHERE IT ABUTS THE PAVEMENT / SIDEWALK AREAS.
- G.C. TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXIST ROOF DURING WORK. G.C. RESPONSIBLE FOR REPAIR OF DAMAGE TO EXIST ROOF AS A RESULT OF CONSTRUCTION ACTIVITY. G.C. TO PATCH/ REPAIR HOLES IN EXIST ROOF AS DIRECTED BY OWNER.
- G.C. TO PROVIDE WALL, ROOFING AND ASSOCIATED FLASHING AFTER DEMOLITION AND NEW CONSTRUCTION
- G.C. TO REPAIR AS NECESSARY ANY EXTERIOR DAMAGE TO SUBSTRATE & PREPARE SURFACE FOR NEW FINISH - SEE ELEVATIONS
- INSTALL NEW DOOR, FRAME AND HARDWARE AS DIRECTED ON DWGS.
- NEW EXTERIOR LIGHTING AS SHOWN ON DRAWINGS. SCOURCE: TYPE SEE SPECIFICATION
- ROOF ACCESS FOR MAINTENANCE OF EQUIPMENT - IMC 2018 CHAP 3: WHERE VERTICAL ROOF HGT. IS AT 12 FT OR > THEN A PERMANENT LADDER / STAIR ACCESS IS REQUIRED. CURRENT BLDG HAS NO ACCESS - PROVIDE NEW
- INSTALL WALL MOUNTED LIGHT FIXTURE: AS SHOWN ON DRAWING



SIGNAGE GENOA TWP Table 16.1

Regional Commercial District: **Wall Sign** No. of signs = 1 per establishment
Wall sign Max size: 10% of front facade
 Footnote: 16.1.2a.&b. - Two wall signs permitted for establishments located on a through-lot. One wall sign permitted on each side of the bldg that fronts along public ROW. Total wall sign area allowable: 100 SF
Monument Sign: (1) allowed. Pole sign - not included
 16.07.05 **Directional signs:** One allowed per Drive.
 DESIGN INTENT: Remove existing signs and provide new.
 EXISTING: North & South facade = 1273 SF x 10% = 127.3 SF. West & East Facade = 512 SF x 10% = 51.2 (allowed each facade)
 PROPOSED: North wall sign = 0 SF, East wall sign = 11.4 SF. South = 26 SF. West = 26 SF = 63.4 SF < 100 SF total allowable
 EXISTING: Pole sign - replace the Hat same size = 48.6 SF Reader board remain & cleaned = 25.6 SF = 74 SF
 EXISTING: (3) drive's and 4 Directional signs existing - reface all, each = 4 SF x 2 sides = 8 SF x 4 signs = 32 SF



EXTERIOR ELEVATIONS PROPOSED

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-750-3423
 CRAWFORD@ARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
13	01-22-24	Rev#2 mat'l & resubmit SPR
12	01-09-24	Rev#2 material connection
11	12-13-23	2nd submit SPR
10	10-23-23	print for SPR
9	10-11-23	owner review for SPR

DRAWN BY: C. BALL
 DATE: 05-08-22
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
A 2.1

ARTICLE 12
SITE DEVELOPMENT REGULATIONS

Sec. 12.01 MULTIPLE FAMILY, COMMERCIAL, OFFICE AND INDUSTRIAL ARCHITECTURE

12.01.01 Purpose: The purpose of this Section is to provide a set of exterior building wall material standards, the intent of which is to enhance the visual environment of the Township. Furthermore, the review of exterior building wall design and the consistent administration of standards can help to maintain the Township's sense of place by encouraging consistent quality and character when structures are built or redeveloped. All development shall utilize quality architecture to ensure that a building is compatible with surrounding uses, protects the investment of adjacent landowners, blends harmoniously into the streetscape, and maintains a positive image for the Township's various commercial shopping districts.

12.01.02 Applicability: This Section shall apply to all construction, except single family residential structures, for all exterior building walls and shall consist of those materials and combinations of materials as set forth in this section. Architecture shall be reviewed by the Planning Commission as a part of site plan review under the requirements of this section.

12.01.03 Wall materials: The use of exterior wall materials on walls that are visible from a public, or private road or a parking lot shall be in compliance with the maximum percentages permitted in the "Schedule of Regulating Exterior Building Wall Materials."

**Table 12.01.03
Schedule of Exterior Building Wall Materials**

Building Materials	Maximum Percent of Wall That May be Covered by Certain Building Materials by Zoning District (a)			
	Multiple Family Residential (b)	Office Service District (OSD), Public & Rec. Fac. District (PRF)	Commercial Districts (NSD, GCD, RCD) (c)	Industrial District (IND)
Brick or face brick	100%	100%	100%	100%
Stone	100%	100%	100%	100%
Split face block	0%	25%	25%	100%
Scored concrete block	0%	25%	25%	100%
Plain concrete block	0%	25%	25%	25%
Cast stone	100%	100%	100%	100%
Precast concrete	0%	25%	25%	100%
Concrete formed in place	0%	25%	25%	25%
Metal (d)	0%	25%	25%	25%
Reflective glass	0%	100%	50%	75%
Glass block	25%	50%	50%	50%
Wood siding	25%	25%	25%	0%
Vinyl or fiber cement siding	25%	25%	25%	25%
Finishes (e)	25%	25%	25%	75%

- (a) Does not include areas of façade consisting of doors and windows.
- (b) For all multiple family dwellings, all walls exposed to public view from a street shall be constructed of not less than seventy five percent (75%) brick, face brick or stone. The following materials are not permitted in the multiple family districts on building
- (c) Includes fiberglass, reinforced concrete, polymer plastic (typon), exterior insulation and finishing systems (EIFS), plaster, stucco and similar materials. Such materials shall not be used where contact with vehicles may occur, such as parking areas, traffic ways, and loading areas, unless such walls are adequately protected to prevent damage. (as amended 12/31/04)

GENOA TWP ORD SECTION 12.01.03

EXTERIOR MATERIAL USAGE

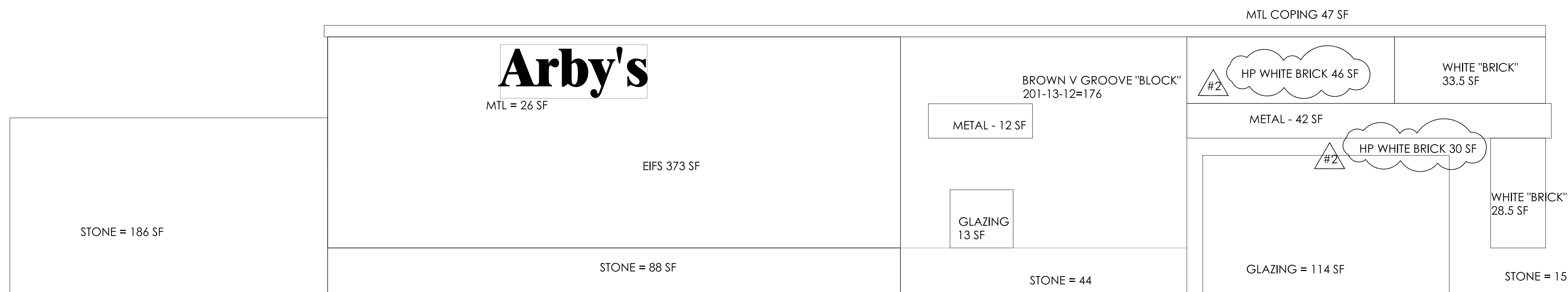
ZONING: GENERAL COMMERCIAL DISTRICT: GCM
Table 12.01.03-Max Percentage of Wall that may be covered by certain Building Materials by Zoning Ordinance
ALLOWABLE: SEE ABOVE

SOUTH/ENTRY PROVIDED: OVALL = 1276.6SF (x.50=638.3 SF)(x.25 = 319.5 SF)
REFLECTIVE GLAZING (50% allowed) = 127 SF / 1273 = 10%
CAST STONE (100% allowed) = 332 SF / 1276.6 = 26%
FIBER CEMENT(25%) = 314 / 1276.6 = 24.6%
METAL (25% allowed)= 127 SF / 1276.6 = 9%
EIFS (FINISHES)(25%) = 4373 / 1276.6 = 29.8%
PTD CMU (25% allowed)= 0 SF / 1276.6 = 0%

NORTH/D.I. PROVIDED: OVALL:1276.6 SF (x.50=638.3 SF)(x.25 = 319.5 SF)
GLAZING = 105 SF = 8%
STONE = 164.6 SF = 13%
FIBER CEMENT = 332 / 1276.6 = 26%
METAL = 41+47 = 88 SF = 7%
EIFS (FINISHES)= 401 / 1276.6 = 31.4%
PTD CMU = 186 SF = 15%

WEST REAR PROVIDED: OVALL = 507.5 SF (x.25 =127 SF)(x.50 =254)
GLAZING = 22.2 SF / 507.5 = 4%
CAST STONE = 218 SF = 43%
FIBER CEMENT = 80.8 SF = 16%
METAL: 41.4 SF = 8%
E.I.F.S. FINISHES = 144.4 SF = 28%
PTD CMU = 0 < 128 = 0%

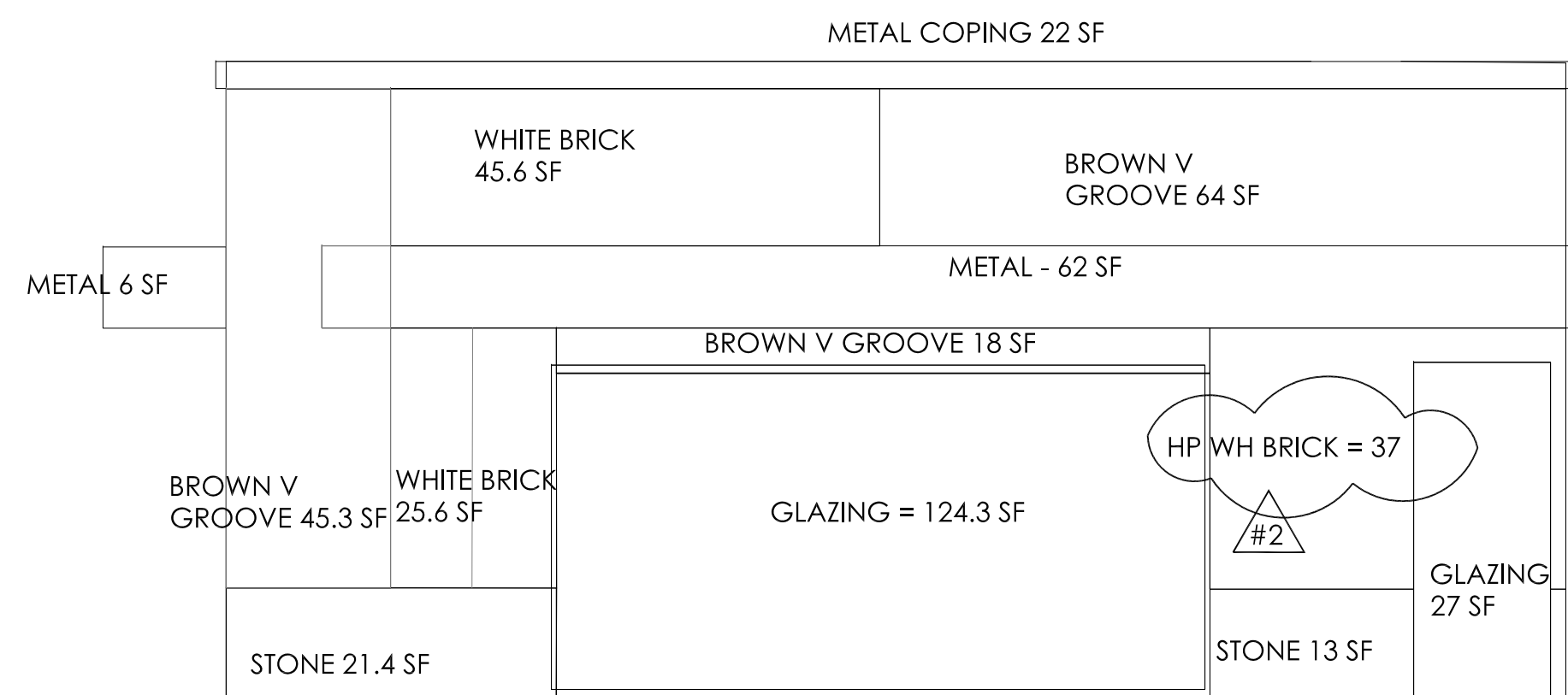
EAST FRONT PROVIDED: OVALL = 512 SF (x.25 =128 SF)(x.50 = 256)
GLAZING = 151.3 SF = 29%
CAST STONE = 35.4 SF =7%
FIBER CEMENT = 235.5 SF = 46%
METAL = 89.8 SF = 17.5 %
EIFS FINISHES = 0 SF = 0%



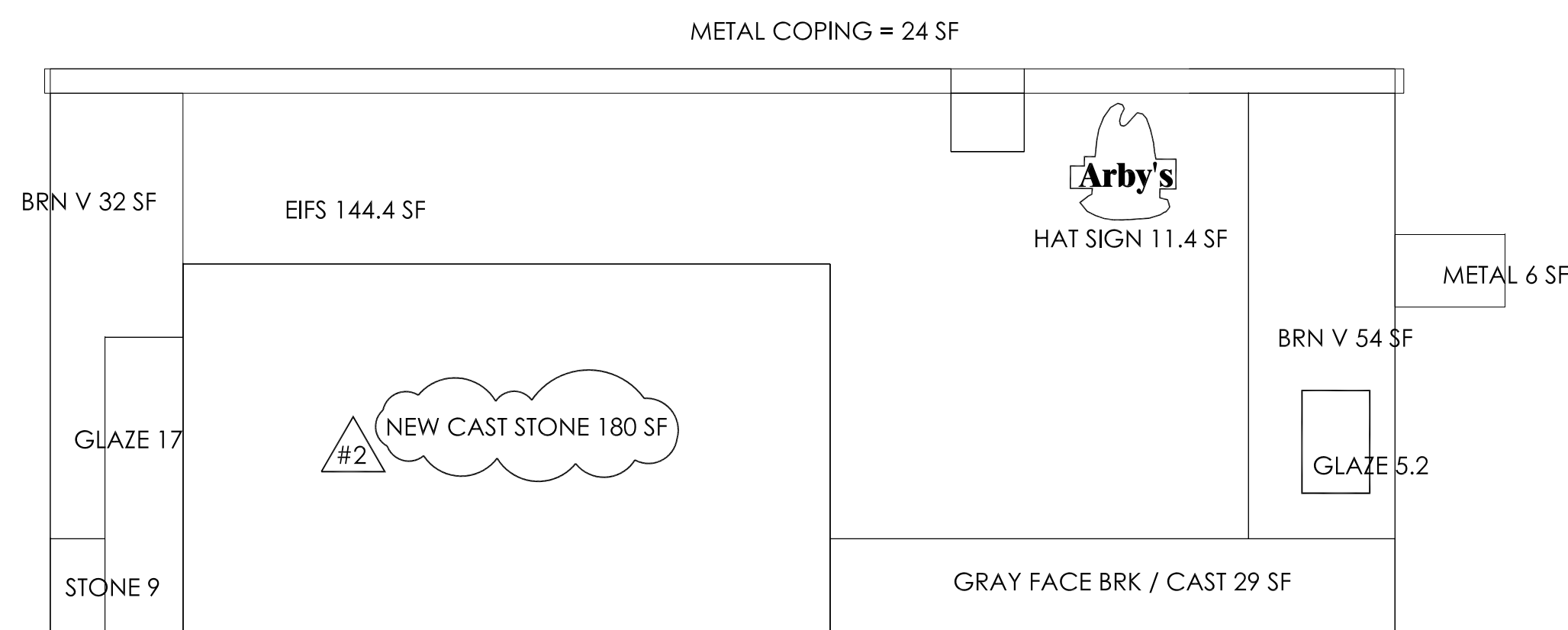
SOUTH ELEVATION -ENTRY

SCALE: 1/4" = 1'-0"

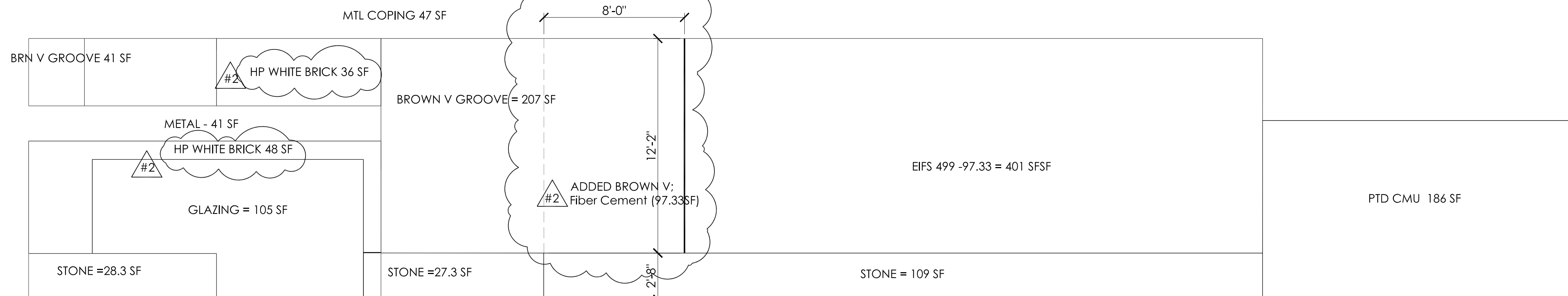
TOTAL NORTH FACADE OVALL = 1276.6 SF
FIBER CEMENT - BRN V GROOVE & WH. BRICK
CAST STONE = 186 + 88 + 44 + 15 = 333 SF
MTL TOTAL 127 SF



TOTAL OVALL = 512 SF
FIBER CEMENT; BRN V GROOVE & WH. BRICK
EAST ELEVATION FRONT



TOTAL OVALL = 507.5 SF
FIBER CEMENT - BRN V GROOVE & WH. BRICK
WEST ELEVATION REAR



TOTAL OVALL = 1278.7 SF

NORTH ELEVATION NEW

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL TAKEOFF - CODE

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
1	03-10-23	contractor & owner review
2	06-19-23	Owner - signs-materials
3	10-11-23	owner review for SPR
4	10-23-23	print for SPR
5	12-13-23	2nd submit SPR
6	01-09-24	Rev#2 EIFS & fiber cement
7	01-22-24	Rev#2 matl & resubmit SPR

DRAWN BY: C. BALL
DATE: 03-02-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
A
2.2



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: The Salvation Army, an Illinois Corporation
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: 5550 Prairie Stone Parkway
Hoffman Estates, IL 60195

SITE ADDRESS: 2464 Dorr Rd PARCEL #(s): 4711-15-200-019

APPLICANT PHONE: (248)361-0459 OWNER PHONE: (248)361-0459

OWNER EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

LOCATION AND BRIEF DESCRIPTION OF SITE: The Salvation Army of Livingston County

Corps Community Center. Food, shelter/rental assistance, Pathway of Hope, clothing/household items vouchers, and feeding programs.

Social services holiday programs, coats/boots/snow pants. Community Programs, youth, teen, older adults, music, family.

Worship activities, Sunday school, morning worship, dinners as a secondary.

BRIEF STATEMENT OF PROPOSED USE: see above

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

We will be utilizing the existing buildings, not adding any new buildings to the site.

The garage will be utilized to house the 12 passager van that is utilized to pick up
people who need assistance in the community.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: Kelly Wirebaugh, Director of Property

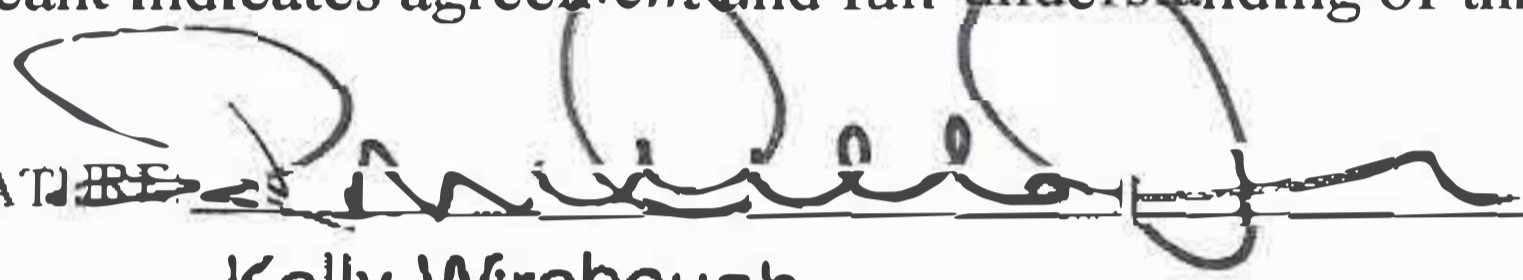
ADDRESS: 16130 Northland Dr., Southfield, MI 48075

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Kelly Wirebaugh of The Salvation Army Kelly.Wirebaugh@usc.salvationarmy.org
 Name Business Affiliation at E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 11/07/2023
 PRINT NAME: Kelly Wirebaugh PHONE: 248-361-0459
 ADDRESS: 16130 Northland Dr., Southfield, MI 48075



GENOA CHARTER TOWNSHIP
Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: The Salvation Army 16130 Northland Dr., Southfield, MI 48075
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248)361-0459 EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

OWNER NAME & ADDRESS: The Salvation Army, an Illinois Corporation 5550 Prairie Stone Prkwy Hoffman Estates IL 60192

SITE ADDRESS: 2464 Dorr Rd Genova Twp, MI PARCEL #(s): 4711-15-200-019

OWNER PHONE: (248)361-0459 EMAIL: Kelly.Wirebaugh@usc.salvationarmy.org

Location and brief description of site and surroundings:
The site consists of a main building, garage and surrounding landscape. The surroundings is light commerical properties.
Industrial next door & behind and residential across the street. Expressway to the south.

Proposed Use:
Community Center with a Church as a secondary componet to the site.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):
a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Community outreach services and nonprofit church.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

Community programs, outreach services, community center, food, shelter/rental assistance, Pathway of Hope, clothing/food programs, holiday programs,

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

We will maintain the driveway/parking lot so that all essential vehicles can enter the location.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

No detrimental materials will be utilized.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

In case of emergency situations such as a tornado, this center would serve as a temporary shelter to the community.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Kelly Wirebaugh of The Salvation Army STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Kelly Wirebaugh

ADDRESS: 16130 Northland Dr., Southfield, MI 48075

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Kelly Wirebaugh of The Salvation Army at Kelly.Wirebaugh@USC.SalvationArmy.Org
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 12/15/23
PRINT NAME: Kelly Wirebaugh PHONE: 248/361-0459



2911 Dorr Road
 Brighton, MI 48116
 810.227.5225
 810.227.3420 fax
 genoa.org

NOTICE OF PUBLIC HEARING – FEBRUARY 12, 2024 (SPECIAL USE)

January 26, 2024

To Whom It May Concern:

Please be advised that the Planning Commission of Genoa Charter Township will conduct a public hearing on **Monday, February 12, 2024 commencing at 6:30 p.m.** As required by state law, you are receiving this notice because you have been identified as an owner or occupant of real property within 300 feet of the subject parcels.

The property in question is located on the west side of Dorr Road, north of I-96 at 2464 Dorr Road and was formerly occupied by the Humane Society. The parcel ID number for the property is 4711-15-200-019. **The applicant is requesting a special use permit for a philanthropic or non-profit center to assist individuals with social needs. This request is petitioned by the Salvation Army of Livingston County.**

You are invited to attend this hearing. Members of the public will be able to speak during the public hearing portions of the meeting. If, prior to the meeting, members of the public have certain questions or wish to provide input on any business that will be addressed at the meeting then such persons may contact the Planning Commissioners through email to amy@genoa.org, or by mail at 2911 Dorr Road, Brighton, Michigan 48116.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Amy Ruthig,
 Planning Director

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

February 1, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	The Salvation Army – Special Land Use and Site Plan Review #2
Location:	2464 Dorr Road – west side of Dorr, north of I-96
Zoning:	IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from the Salvation Army for use of the existing building at 2464 Dorr Road (formerly occupied by the Humane Society) as a center to assist individuals with social needs (site plan dated 1/19/24).

A. Summary

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

2. Outdoor Storage (Section 8.02.02(n)):

- a. The subject site does not meet the 500-foot spacing from residential zoning. (The applicant intends to apply to the ZBA for a variance.)

3. Site Plan Review:

- a. If parking lot improvements are proposed, the applicant should be required to provide looped striping for parking spaces.
- b. Removal of the existing structures associated with the Humane Society needs to be noted on the site plan.
- c. The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

B. Proposal/Process

The Salvation Army proposes to re-use the former Humane Society building as a philanthropic or non-profit center for social needs.

Table 8.02 allows shelters and rehabilitation centers for philanthropic or non-profit institutions with special land use approval in the IND. The request is also subject to the use conditions of Section 8.02.02(n).

For clarification, the proposal includes community outreach services and an accessory church (but does not entail a shelter for abused women and children or medical treatment for substance abuse).

By definition, the allowable use includes “centers operated by philanthropic or non-profit institutions that assist individuals with social needs.”

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth recommendations to the Township Board following a public hearing.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site as Industrial, which is intended for “industrial uses such as research, wholesale and warehouse activities, and light industrial operations.”

This classification does not mention centers operated by philanthropic or non-profit institutions; however, it is worth noting that the site was formerly occupied by the Humane Society (which has some similarities to the proposal).

The Plan identifies the following goal, which may be viewed as applicable to the proposal:

Accommodate a variety of Land Uses in a logical pattern and complement community goals, the surrounding Land Uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.

- 2. Compatibility.** Except for the Well Bridge development, properties along this portion of Dorr Road are generally undeveloped or contain light industrial uses.

Section 8.02.02(n), which includes a residential spacing requirement, is intended to help mitigate potential off-site impacts. As described in Paragraph D below, the spacing standard is not met; however, the site is not within 500 feet of an actual residence (but is within 500 feet of residential zoning across Dorr Road to the east and I-96 to the south).

It is worth noting that the properties across Dorr Road to the east do not appear to be developable due to environmental conditions (wetlands and surface water).

The revised submittal includes a detailed description of the services proposed as part of this use. Based upon this information, we are of the opinion that the proposal will generally be compatible with the character of the area.

- 3. Public Facilities and Services.** As a previously developed site along Dorr Road, we anticipate that necessary public facilities and services are in place.

With that being said, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

4. **Impacts.** Similar to comments under criterion #2 above, based on the information provided in the revised submittal, additional impacts to the site and surrounding area are not anticipated.
5. **Mitigation.** If additional concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions

The proposed use is subject to the use conditions of Section 8.02.02(n), as follows:

1. **The site shall not be located within five hundred (500) feet of a residential zoning district.**

The properties to the east across Dorr Road (zoned RR) and south across I-96 (zoned LDR) are located less than 500 feet from the subject site. The applicant is aware of this condition and intends to apply to the ZBA for a variance.

It is worth noting that the site is not within 500 feet of an actual residence.

E. Site Plan Review

1. **Dimensional Requirements.** No changes are proposed to the existing building. Aside from a slightly deficient side yard setback along I-96, the existing building complies with IND setback requirements.
2. **Building Design and Materials.** No exterior changes are proposed to the existing building.
3. **Pedestrian Circulation.** The revised plan depicts the 8-foot bike path required along Dorr Road.
4. **Vehicular Circulation.** The site currently has vehicular access to/from Dorr Road and no changes are proposed.

Internal drive aisles meet or exceed dimensional requirements of the Ordinance; however, the applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. **Parking.** Section 14.04 does not identify a parking calculation for the proposed use. The revised submittal includes occupancy and usage details, including the number of employees anticipated.

Based on this information, we are of the opinion that the 28 spaces provided are sufficient for the proposed use on a regular basis.

However, the submittal identifies 1 annual event with a potential attendance of 75 people. The applicant may need to make special arrangements to accommodate a group of this size.

Existing spaces meet the dimensional requirements of the Ordinance; however, spaces do not appear to provide looped striping, as currently required.

If parking lot improvements are proposed, the applicant should incorporate looped (or double) striping.

6. **Exterior Lighting.** The submittal does not identify any changes to existing site lighting; however, the revised submittal includes fixture detail sheets that depict downward directed, cut-off, LED fixtures.
7. **Landscaping.** The site contains a significant amount of mature vegetation and no changes are proposed.
8. **Waste Receptacle.** The existing waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:


	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Non-required side yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Access through parking lot	Requirement met
Base design	9' x 15' concrete pad	20' x 25' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3-sided w/ gate Block wall 6'	Requirements met; dumpster that is not within the enclosure is to be removed

9. **Additional Considerations.** There are several structures on-site related to the former use (Humane Society).

The revised submittal materials state that these structures will be removed; however, we request that this be noted on the site plan itself.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager



February 5, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Salvation Army Special Use
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Salvation Army site plan last dated January 19, 2024. The survey was prepared by George Jerome and Co. and the Impact Assessment was prepared by ACE Civil Engineering, LLC on behalf of the Salvation Army Great Lakes Division. The development is located on the west side of Dorr Road, just north of I-96 at the former Humane Society building. The Petitioner is proposing to use the existing 9,165 square foot building for a community center and secondary church facility.

We offer the following comments for your consideration:

GENERAL

1. The Petitioner will need to obtain approval from the Brighton Area Fire Authority prior to final site plan approval.
2. The impact assessment states that the site will be serviced by existing well and septic. The Petitioner has noted that they will pursue approval from the Livingston County Health Department for the potential increased use of the existing facilities and approval should be provided to the Township for their records.
3. The existing site drive is close to the Dorr Road and I-96 overpass. The Petitioner should confirm with the Livingston County Road Commission that sight distance is adequate at the current drive location.

We recommend the petitioner address the above comments to the Township's satisfaction prior to final approval. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 2, 2024

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Salvation Army
2464 Dorr Rd
Genoa Township

Dear Amy,

The Brighton Area Fire Authority has reviewed the above-mentioned site plan. The plans were received for review on January 23, 2024 and the drawings are dated October 3, 2023 with latest revisions dated Dec. 5, 2023. The project is based on the proposed renovation and change of use of an existing 9,165 square foot structure located on a 4.86-acre parcel. The re-occupancy includes change of use from an animal shelter and associated office space to a community outreach center and church facility. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition. **Previous comment regarding fire and life safety will be complied with through life safety review with the contracted architect.**

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **(Applicant acknowledges that the address will be displayed properly.)**

IFC 505.1

2. The existing access drive width is acceptable to remain as there is no proposed modification to the drive and parking area. Both sides of the drive, and curb lines behind parking shall be marked as a fire lane. Include the location of the proposed fire lane signage and a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Fire Lane signage Will comply and weight capacity of the drive be confirmed.)**

IFC D 103.6

IFC D 103.1

IFC D 102.1

IFC D 103.3

3. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere's, lighting, and large canopy trees. **(Applicant agrees to maintain overhead clearance.)**

IFC 503.2.1

4. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. *The current entry is gated and secured with a Knox padlock. Provide clarification if that is to remain.* **(Knox box and padlock are acknowledged and will be maintained on ownership transfer.)**

IFC 506.1



February 2, 2024

Page 2

Salvation Army

2464 Dorr Rd.

Site Plan Review

5. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building. **(There is a note directed toward the owner's rep regarding this note. This will be resolved during the life safety review with the architectural firm.)**

IFC 510

6. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(The owner's representative contact has been provided.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

**ACE CIVIL
ENGINEERING, LLC**

**IMPACT ASSESSMENT
FOR
SALVATION ARMY
2464 DORR ROAD
HOWELL, MI. 48843**

**SECTION 15, GENOA TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN**

Prepared for:

The Salvation Army Great Lakes Division
16130 Northland Drive
Southfield, Mi. 48075

Prepared by:

ACE Civil Engineering, LLC
5055 Lindemere Drive
Fowlerville, MI. 48836

December 11, 2023

INTRODUCTION:

The Salvation Army Great Lakes Division is currently investigating using the existing Humane Society building located at 2464 Dorr Road for a community center and secondary church facility. The property is currently zoned Industrial (IND) which requires special use approval for the proposed use. The purpose of this report is to meet the requirements of “WRITTEN IMPACT ASSESSMENT REQUIREMENTS” as identified in section 18.07 of the Genoa Township Zoning Ordinance.

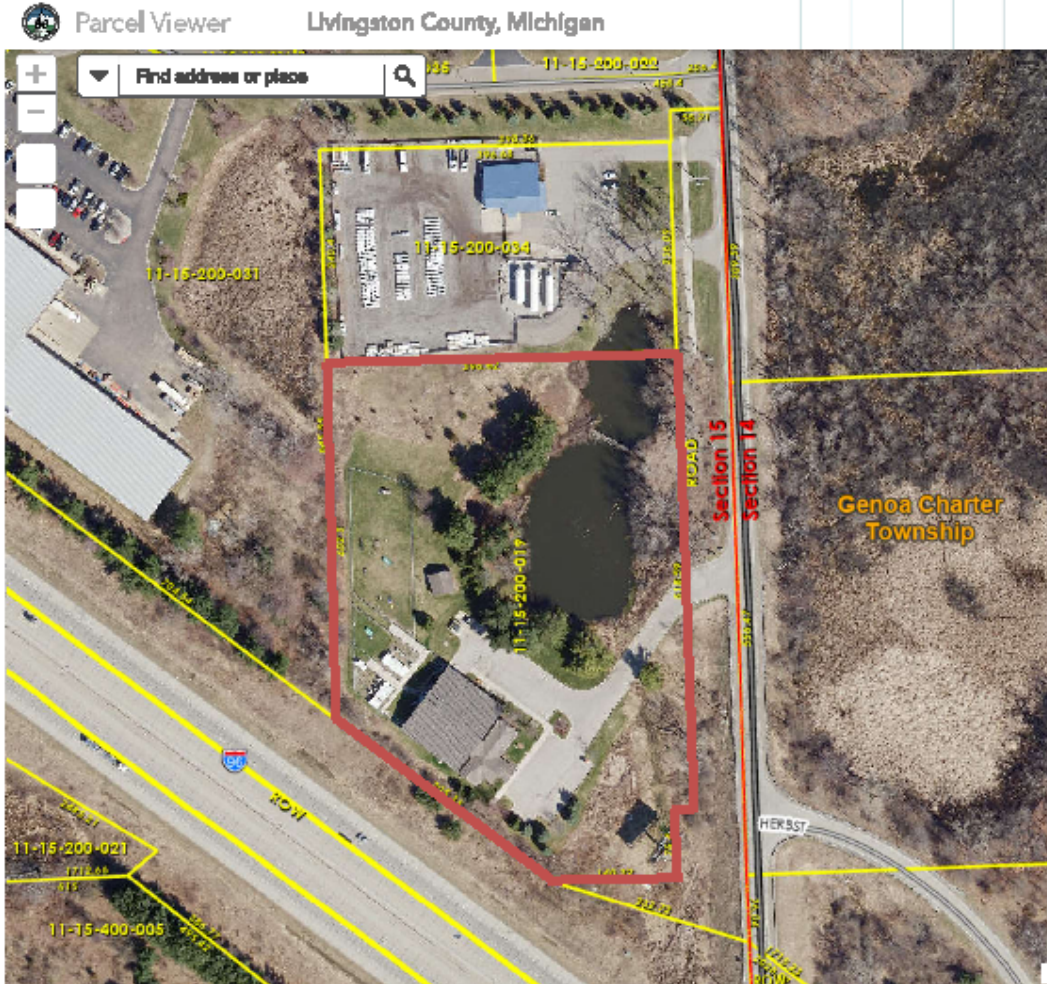
PREPARER – 18.07.01

This report was prepared by Patrick C. Keough who is the president of ACE Civil Engineering, LLC. Mr. Keough is a licensed professional engineer in the state of Michigan with over 35 years of experience in civil engineering.

LOCATION – 18.07.02

The property is located at 2464 Dorr Road, Tax I.D. 11-15-200-019. Attached is an aerial photograph taken from the Livingston County GIS Department.

SITE



IMPACT ON NATURAL FEATURES – 18.07.03

The site consists of a 4.86 acre parcel located on Dorr Road immediately North of the I-96 expressway. The Humane Society previously constructed a 7,260 S.F. building addition back in 2001 and upgraded the drive, parking areas, landscaping, lighting and storm water facilities to meet the development standards at the time. The proposed use will not create any exterior modifications to the site and therefor will have no change in impact to the natural features. Attached is copy of the site plan prepared for the Humane Society back in 2001 that shows the natural features of the site.

IMPACT ON STORM WATER MANAGEMENT – 18.07.04

The property was previously developed using an underground storm collection system and detention facility meeting the requirements of the Livingston County Drain Commission. Use of the facility by the Salvation Army will not create any increased storm water runoff from the site. As a result there will be no impact to the storm water management facilities as part of the proposed use change.

IMPACT ON SURROUNDING LANDS USES – 18.07.05

The proposed use will have minimal impact on the surrounding land uses. Normal social service activities such as Food Support, Shelter Rental Assistance and Clothing Assistance generally serve approximately 50 families per week with hours of operation Monday - Friday 8:30am – 12:00pm and 1:00pm – 4:30pm.

Special social service activities such as Character Building Programs for Youth, Teen Nights, Music Programs, etc. are generally held during weekday evenings from 6:00pm – 8:00pm. These activities are less frequent in nature and generally create attendances ranging from 25 – 50 people.

Church worship activities such as Sunday school, Morning Worship Service, Bible Study, etc.. generally take place on Sundays between 10:00am and 12:00pm. Attendance for these activities generally range from 10 – 75 people.

No increase in light, dust or noise should be generated from the special use activity. Exterior lighting will remain the same as it currently exist. The roadway entrance and parking facilities are currently paved and no new construction is planned. As a result dust from the site should be unchanged.

There is no obnoxious noise or pollution that is anticipated from the site. Generally the site will be utilized by workers and families using passenger cars with minimal truck deliveries expected. Operation logistics generally spread the uses out over the day and as a result create minimal peak impacts on surrounding uses.

IMPACT ON PUBLIC FACILITIES AND SERVICES – 18.07.06

The facility is expected to employ approximately 6-8 full time employees and provide community social services to approximately 30-35 families per week. The social community services will generally be provided during the Monday to Friday work hours for approximately 6-7 families per day. There is no anticipated increase impact on the public schools or recreation facilities in the area. Also the impact on police protection, fire protection and emergency services will be minimal and generally be the consistent with the previous use at the facility.

IMPACT ON PUBLIC UTILITIES – 18.07.07

The site will be serviced by the existing well & septic as approved by the Livingston County Health Department in 1998 and will cause no increase demand on public utilities. A storm water system was previously designed and built to control storm on the site and restrict runoff from the site to an agricultural runoff rate. There are no exterior hard surface improvements proposed as part of the special use and therefor there will not be an increase in storm water runoff from the site.

STORAGE AND HANDLING OF HAZARDOUS MATERIAL – 18.07.08

No Hazardous materials will be used, stored or disposed of on the subject site.

TRAFFIC IMPACT STUDY – 18.07.09

From the ITE Trip Generation Manual, it is expected a maximum of 15 trips/day/acre will be generated. With a 4.86 acre site, the total expected trips per day is 72.9 trips/day (15 x 4.86) with a trip being defined as a one-way event (i.e. 72.9 trips per day is 37 trips in and 37 trips out). The peak hour trips can be estimated at approximately 15% of the average daily trips which equals 6 peak hour trips (37 trips/day x 0.15 = 6 peak hour trips). Based on an evaluation of similar facilities it is likely that traffic will consist of mostly passenger cars and light trucks with the occasional cube van type vehicle for deliveries.

Genoa Township requires a traffic impact study to be performed on any facility generating more than 100 peak hour trips in or out. The estimated peak hour trips for the proposed use is 6 and is less than the 100 trip threshold. As a result a detailed traffic impact study is not necessary.

HISTORIC IMPACT – 18.07.10

No historic structures exist on this site

SPECIAL PROVISIONS – 18.07.11

The preparer is not aware of any deed restrictions or protective covenants on this site.

GENERAL SOURCES – 18.07.12

Genoa Township Zoning Ordinances

ITE Trip Generation Manual

Soil Survey of Livingston County, Michigan”, Soil Conservation service
U.S.D.A.

Livingston County Drain Commission Plat Development Standards

Impact Assessment for Livingston County Humane Society dated October 1,
2001, revised 10-30-2001 as prepared by Advantage Civil Engineering, Inc...



SCHEDULE OF SERVICES

Services provided at The Salvation Army of Livingston County

Corps Community Center

Social Services: Hours are Monday - Friday from 9:00am - 12:00pm, 1:00pm - 4:00pm. Most services are by appointment only.

- **Food** - We will have a client choice food pantry where people will be interviewed and provided pantry food for meals. We serve about 15 families a week.
- **Utilities/ Rental Assistance** - Clients come in and are interviewed and are provided funds for rental assistance or utility assistance. We serve about 20 families a week.
- **Shelter** - Clients come in and are interviewed and are assisted with emergency housing in a hotel. We serve about 15 families a week.
- **Pathway of Hope** - This is a program which we try to break generational poverty. It is more extreme casework which will take place at our facility but also home visits. We will serve a total of 5 - 10 a month.
- **Warming/Cooling Center**- Members of our unhoused community or people in need of a warm or cool place to have a cup of coffee and something to eat, take a shower, Charge devices. We will serve around 5 people a week.
- **Clothing/Household Items voucher** - Clients can receive vouchers for The Salvation Army Thrift Store in Brighton for clothing and household items. We serve about 5 families a week.
- **Feeding Programs:** Summer Lunch Bunch is a program we provide in many locations that is directed by government programs. All the administration and food delivery will be done through our building. There are no clients served at our location.

Social Services Holiday Programs:

- **Christmas Food and Gifts** - We provide a Thanksgiving and Christmas food basket and toys to those who apply for assistance. Applications are taken during the months of September, October, and November. Over a Three-day period, families come and pick up their food baskets and choose toys for their children in a toy shop. We have appointed times the families come so there should be no more than 4 families every 15 minutes. The hours are usually 9AM to 7PM. We also administer the provisions of Thanksgiving food baskets for the county.
- **Coats/Boots/Snow Pants** – During the months of October through March we provide winter items which families can come during Social Services hours to choose for their family. We serve about 10 families a week. About 5 are drop in.

Livingston County Corps

503 Lake Street

Howell, Michigan 48843

P:(517)546-4750

F:(517)546-1983

www.SalvationArmyLivingston.org

Robert and Stephanie Leach

Corps Administrator

Lyndon Buckingham, *General*

Evie Diaz, *Territorial Commander*

Steven J. Merritt, *Divisional Commander*

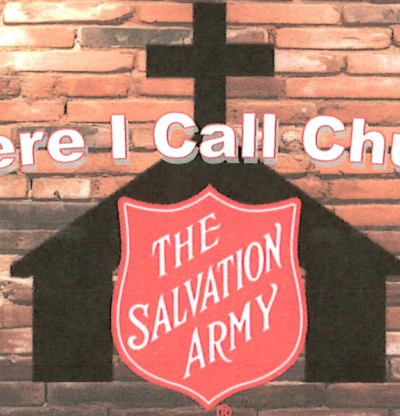
Community Programs:

- **Character Building Programs for youth** - The Army has five programs based on age that serve youth. We educate them in many topics like camping skills, community service, personal health and safety, music. The ages are 3 years old through 12. This program is on Wednesday evening from 5:30 - 7:00pm. Total number of youth would be 25.
- **Teen Nights** - This is a program for youth ages 13 - 18, It provides educational, service, and recreational activities. We meet Wednesday evening from 5:30 - 7:00pm. Total number of youth attending would be 25.
- **Music Programs** - This is a program for grades 6 - 12. We would have music instruction for instrument and vocal. This would be on Wednesdays from 4:30 - 5:30 pm. No more than 20 students
- **Before and After School Care** – We would provide a license before and afterschool care. We would provide a fun safe place with activities including homework time, sport and recreational activity, Computer lab, snacks. Attendance would be Max 50 Children
- **Older Adults** - We would make our building available to other senior services agencies for programs aimed at seniors during the day. Either educational or recreational. These programs would take place three times a week. Attendance would be 25 at each meeting.
- **Family Activities** - Once a month during weekends and during the week we will have a family activity like free movie, crafters day or recreation night. These activities would be in the evening or Saturday afternoon. Approximately 50 in attendance.
- **Women's Activities** - Once a week is a women's program which follows a fourfold program each week of either education, service, fellowship (fun) and worship. Women ages 14-up. We will meet on Tuesdays from 10:00am – 11:00am. We will also meet once a month on a Saturday for breakfast and fellowship. Attendance would be 25.
- **Men's Activities** – We will meet one Saturday a month for Breakfast and Fellowship. Attendance would be maximum 25 people.
- **Volunteer Opportunities and Community Service:** We have volunteer opportunities during Social Services hours with about 5 volunteers. At special events a few times a year we have 10 - 15 volunteers.
- **Rentals** - We would make our facility available for use to other agencies for meetings, programs, dinners, seminars, or concerts. Rentals would be various times and days if it does not conflict with social services or worship programs. There would be no more than 96 people in attendance.
- **Advisory Board Meeting** – First Wednesday of the month from 7:30 - 8:30am. This is our Board consisting of community leaders to help guide The Salvation Army in its programming, property, and finances. Attendance no more than 25.

Worship Activities:

- **Sunday School** - Sundays at 10:00am is Christian education classes for all ages. Would not have more than 75 in attendance. (At this time our attendance is 5 - 15)
- **Morning Worship Service** - Sundays at 11:00am is our church service program. Would not have more than 75 in attendance. (At this time our attendance is 10 - 25)
- **Potluck Dinner** - The 5th Sundays of the year. Dinner is at 12:00pm. Would not be more than 75 in attendance. (At this time our attendance is 15- 25)
- **Bible Study** - Every Wednesday from 2:30 - 4:30pm we meet to study the bible. Would not be more than 25 in attendance. (At this time our attendance is 8 - 10)
- **Leadership training** - During the weekends during the morning and afternoon times. No designated dates currently. Just as needed.

Where I Call Church



Sunday School 10am
Holiness Meeting (Sunday Service) 11am

Women age 16 and older

C.A.F.E

TUESDAYS AT 10AM

for

*a time of fellowship, a time of conversation, a time of creativity,
a time of relaxation, a time of outreach*

and

of coarse coffee (or tea if that's your preference)

at our **Coffee And Fellowship Embrace** women's group.

Women age 16 and older

**Women's
Breakfast**

**THIRD
SATURDAYS
AT 9:30AM**

Men age 16 and older

Breakfast with the Guys

SECOND SATURDAYS AT 9:30AM

Men & Women age 18 and older

Adult Bible Study

Wednesdays at 2:30pm

A chance to
fellowship and dive into
God's Word
together

September—November & January—May

Youth Night

Grades K—12 & Young Adults
Nursery age welcome with a sibling in program

**Wednesdays
5:30pm—7pm**

Program includes:

Life building Skills, Games & Crafts,
Bible Study, Field Trips & More!

Hope to see you there!

We
Are Ready To
Listen,
Pray
And
Serve

55 Church Ministry

Sunday:

- Sunday School 10am
- Holiness Meeting 11am
With Children's Church and Nursery

Ministry Opportunities

From nursery age and up there are different opportunities throughout the week. Don't hesitate to call or stop in to discover ways you can join in fellowship and dive into the bible each week.

Visitations

Visit with the local nursing homes to offer gifts, prayer and fellowship.

If you're in need of prayer or counsel we are happy to help.

Volunteer Opportunities and Community Service

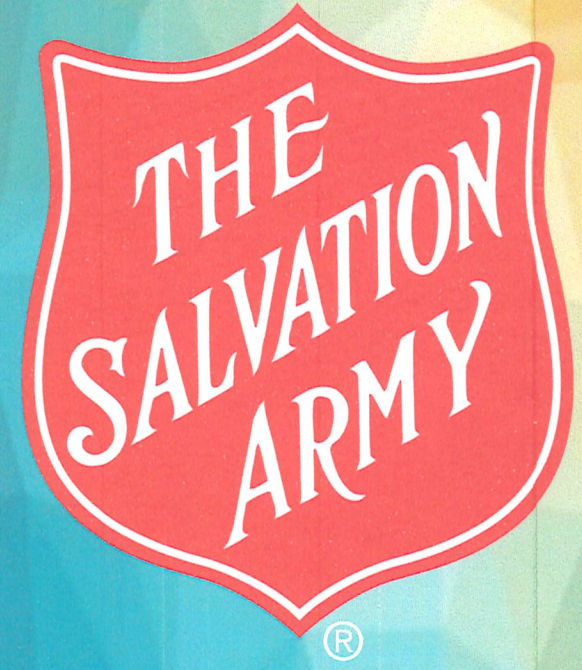
- Fundraising Committee Members
- Program and Event Volunteers
- Toy Shop & Holiday Assistance Volunteers
- Office Volunteers
- Service Hours available

For more information
Please Call (517)546-4750



The Salvation Army Mission Statement

The Salvation Army, an international movement, is an evangelical part of the universal Christian Church. Its message is based on the Bible. Its ministry is motivated by the love of God. Its mission is to preach the gospel of Jesus Christ and to meet human needs in His name without discrimination.



The Salvation Army
Of Livingston County
Church and Social Service Office



Please check out our website for up to date information

centralusa.salvationarmy.org/livingstoncounty/
@SalvationArmyLivingston

(517)546-4750

503 Lake St. Howell MI 48843

Social Service Office

We believe that a stable house is of utmost importance to the long-term success of families. Also that Housing, Utility and Food costs go hand in hand. The Salvation Army of Livingston County is here to help find solutions to make those expenses more affordable for families.

Whatever the need, The Salvation Army wants to be there for you.

Food Assistance

Families experiencing a shortage in food and are struggling to make ends meet for the month may visit our pantry or schedule a food delivery every 30 days.

All Pantry and Deliveries are by Appointment

Emergency Boxes are available onsite (no appointment needed)

Emergency Voucher Assistance

Emergency Clothing Vouchers

- Families who are in need of clothing due to the loss in a fire or unexpected emergency in the household.
- Vouchers include items such as shoes, ties, undergarments and belts

Emergency Household Vouchers

- Families who recently obtained new residency within the last 30 days of signing their lease
- Households who may have lost items due to a fire
- Vouchers include items such as dishes, bedding, linen and small appliances

All Vouchers are by Appointment.

All Vouchers will be redeemed at
The Salvation Army Thrift Store located in Brighton.

Housing Assistance

To help provide or maintain stable housing we have developed a variety of housing assistance programs which includes assistance with the following:

- First Months Rent
- Security Deposit
- Eviction

Temporary Shelter

For individuals and households that find themselves without housing, we offer temporary shelter through local hotels.

- Overnight Hotline (248) 346-1017

Utility Assistance

In our efforts to help people keep the lights and heat on year round we offer assistance in the following ways:

- Emergency Utility Assistance
- Enrollment into Cost Effective Programs
- Energy Saving Tips

Pathway of Hope

We believe that every family deserves the basics for human survival. Through our initiative, we help families break away from the cycle of generational poverty and equip them with the tools and resources they need to reach their goals for a better future. When families in Livingston County struggle to overcome challenges like unemployment, lack of education, and unstable housing, the Pathway of Hope program can help them take action to meet their needs and achieve their full potential. Our staff is prepared to support families in need on a path toward stability and self-sufficiency for more successful, fulfilling lives.

Events / Programs

Summer Lunch Bunch

A program that serves households who are finding it difficult to provide the extra lunch time meal when school is not in session by providing meals, fun activities, and a pantry pack.

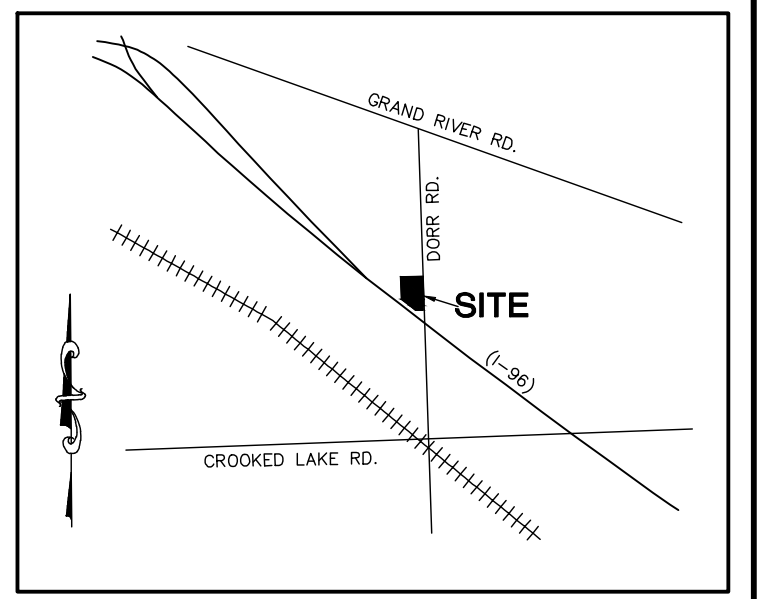
Holiday Assistance

During the Thanksgiving and Christmas seasons we offer assistance to families in need by providing gifts and food as well as winter gear.

For more information about our services

Please Call (517)546-4750





LOCATION MAP
NOT TO SCALE



LEGEND

- R. RECORD
- M. MEASURED
- C. CALCULATED
- F.I.R. FOUND IRON ROD
- H. HEARNE BROTHERS
- F.C.M. FOUND CONCRETE MONUMENT
- S.I.R. SET IRON ROD
- S.P.K. SET P.K. NAIL
- F.P.K. FOUND P.K. NAIL
- T/C TOP OF CURB
- G. GUTTER
- FF FINISHED FLOOR
- T/W TOP OF WALL
- T/P TOP OF PIPE
- C.B. CATCH BASIN
- U.P. UTILITY POLE
- M.H. MANHOLE
- C.O. CLEAN OUT
- D.S. DOWNSPOUT
- L.P. LIGHT POLE
- L.L. LANDSCAPE LIGHT
- GW GATE VALVE AND WELL
- WSV WATER STOP VALVE
- HYD. FIRE HYDRANT
- BOL. BOLLARD
- M.W. MONITORING WELL
- SIGN
- HP NUMBER PARKING SPACES
- HC HANDICAP PARKING
- G.W. GUY WIRE
- X FENCE
- SC SANITARY/COMBINED SEWER
- SS STORM SEWER
- WM WATERMAIN
- OHW OVERHEAD UTILITY LINES

ZONING INFORMATION

Zoned IND - Industrial District

FLOOD NOTE

Property is located in Zone X on FEMA Maps, No. 26093C0330D Effective Date September 17, 2008

SCHEDULE B EXCEPTIONS

- (9) Oil and Gas Lease as recorded in Liber 966, page 4, Livingston County Records, and mesne assignments thereof. Item is blanket in nature and therefore not plottable.
- (10) Rights of others in and to the 12 foot wide Private Easement for driveway and public utility access from Dorr Road to a free standing highway sign and including an area around the sign for maintenance crossing subject property, as reserved in instrument recorded in Liber 3475, page 805, Livingston County Records. Item is plotted hereon.

LEGAL DESCRIPTION

Liberty Title Agency, Commitment No: LIB188712, Dated November 8, 2023 Revision No. 4

Land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:

Part of the Southeast 1/4 of the Northeast 1/4 of Section 15, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Beginning at a point on the East-West 1/4 line of said Section 15, distant South 88 degrees 24 minutes 36 seconds West, 80.0 feet from the East 1/4 corner of said Section 15; thence South 88 degrees 24 minutes 36 seconds West along said East-West 1/4 line 139.42 feet; thence North 53 degrees 28 minutes 50 seconds West along the Northern Right of Way line of I-96 Expressway, 308.41 feet; thence North 02 degrees 13 minutes 10 seconds West 399.65 feet; thence North 88 degrees 24 minutes 36 seconds East, 400.0 feet; thence South 02 degrees 13 minutes 10 seconds East along the Westerly Right of Way line of Dorr Road, 517.69 feet; thence South 87 degrees 46 minutes 50 seconds West along said Westerly Right of Way line 20.0 feet; thence South 02 degrees 13 minutes 10 seconds East along said Westerly Right of Way line, 72.09 feet to the point of beginning, part of which is under waters of a pond.

SUBJECT TO -

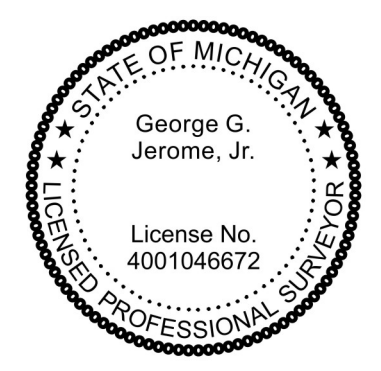
A 12 foot wide private easement for driveway and public utility for access from Dorr Road to a free standing highway sign ("A") and including an area around the sign for maintenance ("B") described as follows:

"A" the centerline of the 12 foot wide access easement is described as: Beginning at a point on the Westerly Right of Way line of Dorr Road, which is also the Easterly property line of above described parcel, distant South 88 degrees 24 minutes 36 seconds West along the East and West 1/4 line of said Section 15, 80.00 feet and along the following (3) courses on said Westerly Right of Way line of Dorr Road, North 02 degrees 13 minutes 10 seconds West, 72.09 feet; thence North 87 degrees 46 minutes 50 seconds East, 20.0 feet and North 02 degrees 13 minutes 10 seconds West 248.75 feet from the East 1/4 corner of said Section 15; thence South 57 degrees 11 minutes 33 seconds West 6.00 feet; thence South 47 degrees 37 minutes 00 seconds West 40.90 feet; thence South 37 degrees 53 minutes 11 seconds West 34.33 feet; thence South 35 degrees 59 minutes 30 seconds West 43.13 feet; thence South 11 degrees 16 minutes 10 seconds East, 90.40 feet; thence South 10 degrees 13 minutes 00 seconds East 72.13 feet; thence South 23 degrees 25 minutes 30 seconds East 46.13 feet to a point of ending (traverse point X), said point being the center of the support pole for an existing free standing highway sign, "B". The area around the sign described as being the area within the above described 4.85 acre parcel, that lies within a circle with a radius of 60.00 feet, the center point of which is the center of the support pole of the existing free standing highway sign, described as Traverse Point "X" in the easement description "A" immediately above in which the location of said Traverse Point "X" is indicated.

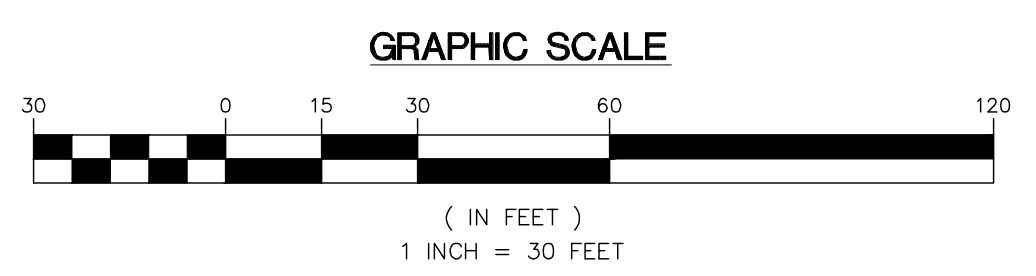
BOUNDARY CERTIFICATION

George Jerome & Co. hereby certifies to The Salvation Army that it has surveyed the above described property, description furnished by you, for the purpose of establishing outline boundaries, and that the boundaries and corners of said property are as indicated herein.

George Jerome Jr., P.S. P.E.
46672
George@GeorgeJerome.com



UTILITY NOTE:
ALL PUBLIC UTILITY LINES, AS SHOWN HEREON, ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. OTHER UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF SURVEY. NO GUARANTEE CAN BE GIVEN BY US AS TO THE ACCURACY OR COMPLETENESS THEREOF.



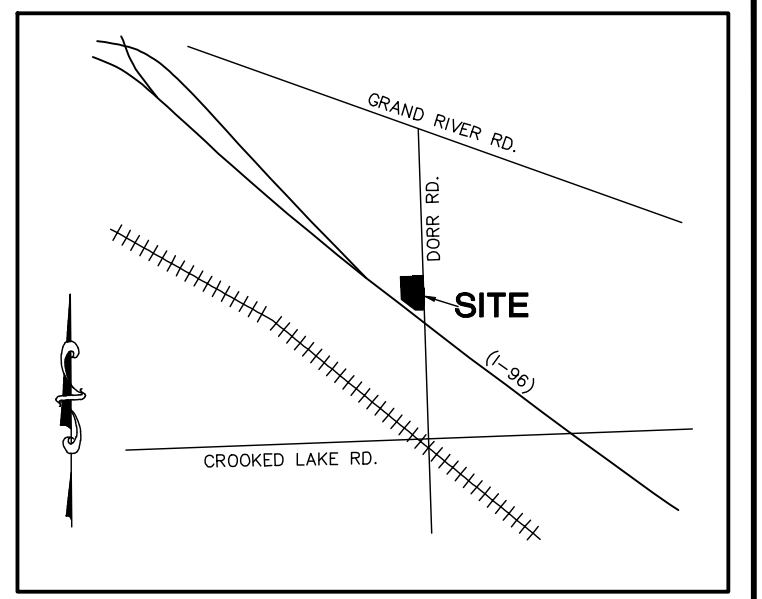
DATE:	BY:	REVISIONS	DATE:	BY:	REVISIONS
11-13-23	N.L.R.	ADDED TIES TO RIGHT OF WAY			
12-05-23	N.L.R.	REVISED PER NEW TITLE COMMITMENT			

BOUNDARY & TOPOGRAPHIC SURVEY
2464 DORR RD., TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN

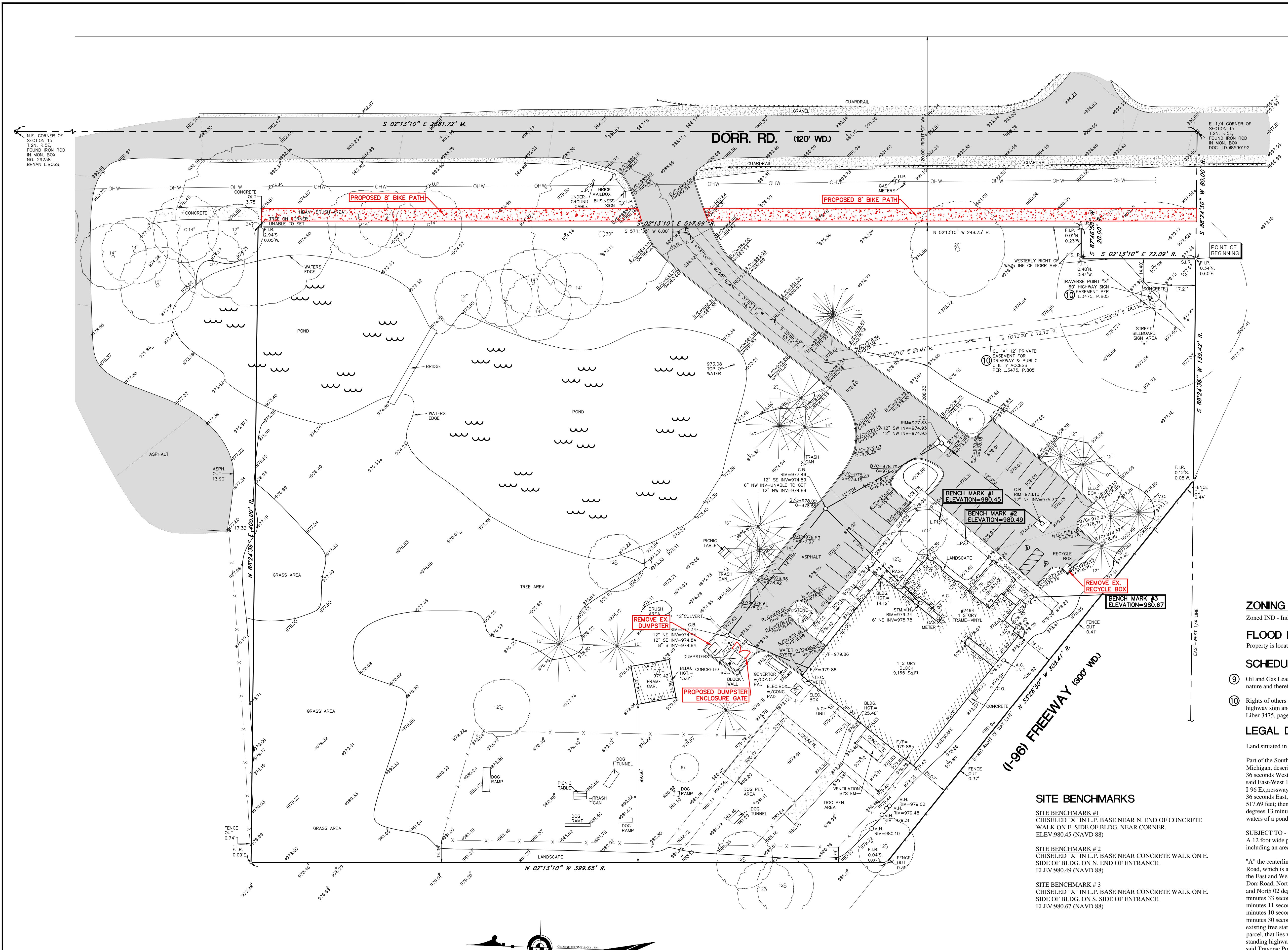
SURVEY BY: R.S./S.D.
DRAWN BY: T.M.M.
CHECKED BY: G.J.J.R.
APPROVED BY: G.J.J.R.

GEORGE J. JEROME & CO.
CONSULTING MUNICIPAL & CIVIL ENGINEERS
28304 HAYES ROSEVILLE, MI 48066
(586) 774-3000
www.GeorgeJerome.com

ORDER NO. 26-608
FIELD BOOK 1436, P.73
SCALE 1"=30'
FOR SALVATION ARMY
DATE 10-03-23
DRAWING FILE NO.
SHT. NO. 1 OF 2



LOCATION MAP
NOT TO SCALE



LEGEND

- R. RECORD
- M. MEASURED
- C. CALCULATED
- F.I.R. FOUND IRON ROD
- H. HEARNE BROTHERS
- F.C.M. FOUND CONCRETE MONUMENT
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- HANDICAP PARKING
- G.W. GUY WIRE
- FENCE
- SANITARY/COMBINED SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD UTILITY LINES

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Zoned IND - Industrial District

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Property is located in Zone X on FEMA Maps, No. 26093C0330D Effective Date September 17, 2008

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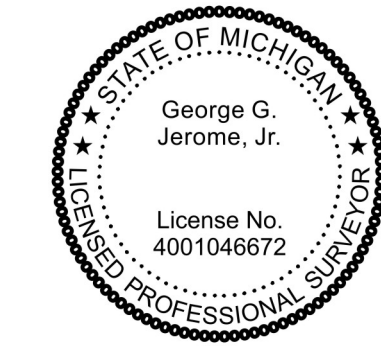
SUBJECT TO
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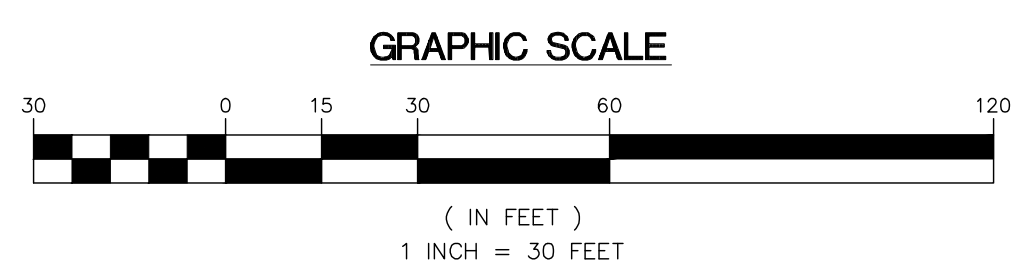
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George Jerome, Jr., P.S., P.E.
46672
George@GeorgeJerome.com



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DATE:	BY:	REVISIONS	DATE:	BY:	REVISIONS
11-13-23	N.L.R.	ADDED TIES TO RIGHT OF WAY			
12-05-23	N.L.R.	REVISED PER NEW TITLE COMMITMENT			
01-19-24	N.L.R.	REVISED FOR SITE PLAN			



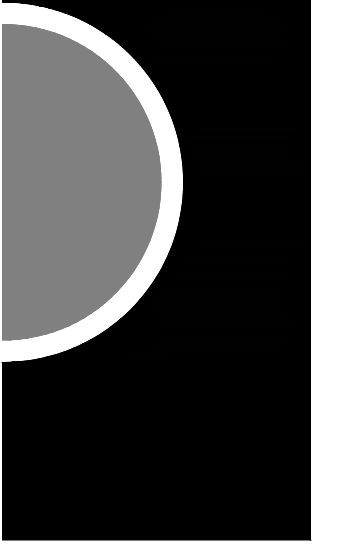
SITE PLAN
2464 DORR RD., TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN

GEORGE J. JEROME & CO.
CONSULTING MUNICIPAL & CIVIL ENGINEERS • SURVEYORS
2830A HAYES ROSEVILLE, MI 48066 (586) 774-3000
www.GeorgeJerome.com

SURVEY BY: R.S./S.D.
DRAWN BY: N.L.R.
CHECKED BY: G.J.J.R.
APPROVED BY: G.J.J.R.

ORDER NO. 26-608
FIELD BOOK 1436, P.73
SCALE 1"=30'
FOR SALVATION ARMY
DATE 01-19-24
DRAWING FILE NO.

SHT. NO. 2 OF 2



PARTNERS in Architecture, PLC

65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600

Statement of Intellectual Property

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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BELOW SPECIFICALLY FOR "BIDDING / CONSTRUCTION"

CONSULTANT

KEY PLAN

OWNER

The Salvation Army

PROJECT NAME

The Salvation Army
Livingston County Corps
Community Center

2464 Dorr Road
Genoa Township, MI

PROJECT NO.

23-166

ISSUES / REVISIONS

Site Plan Review 01/22/2024

DRAWN BY

CHECKED BY

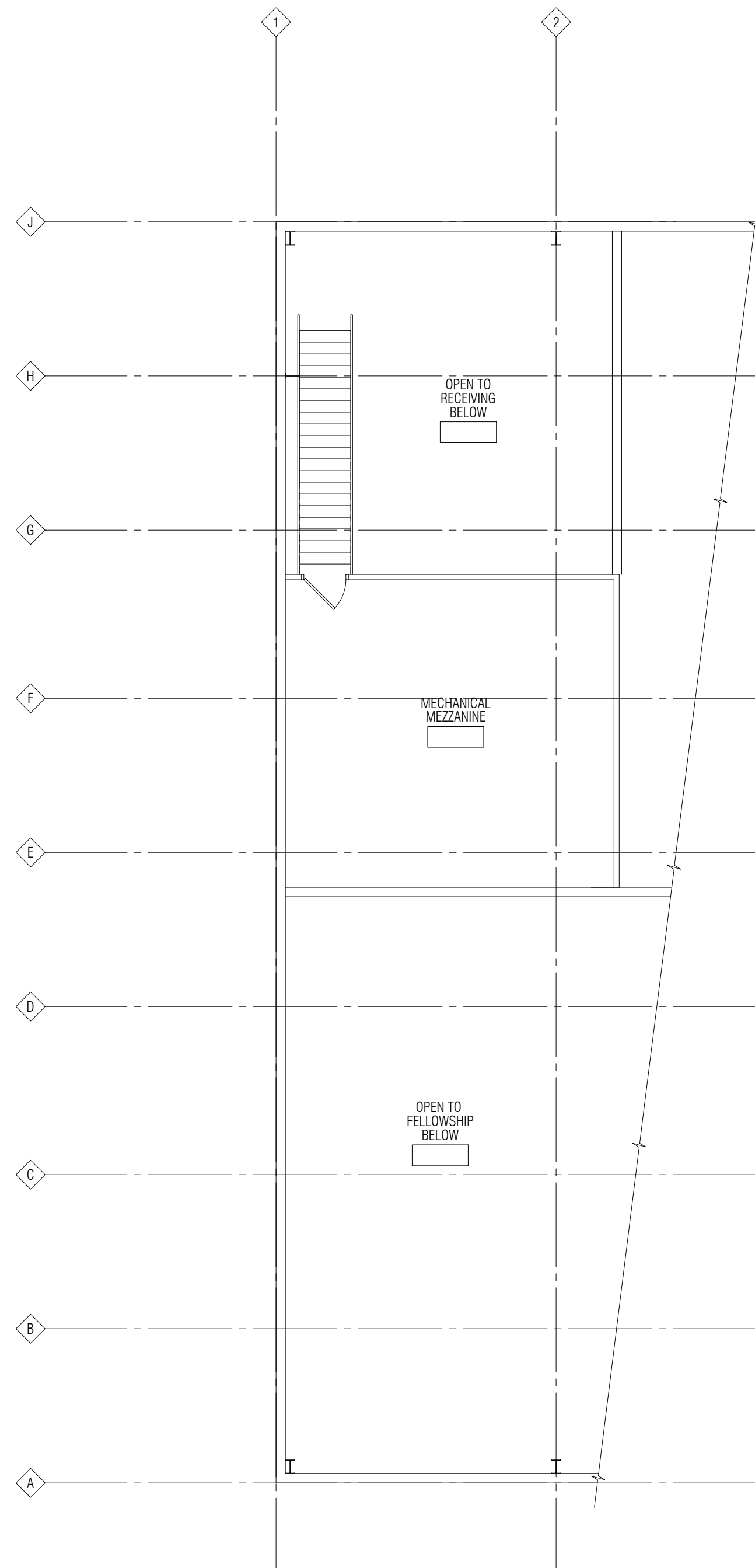
APPROVED BY

SHEET NAME

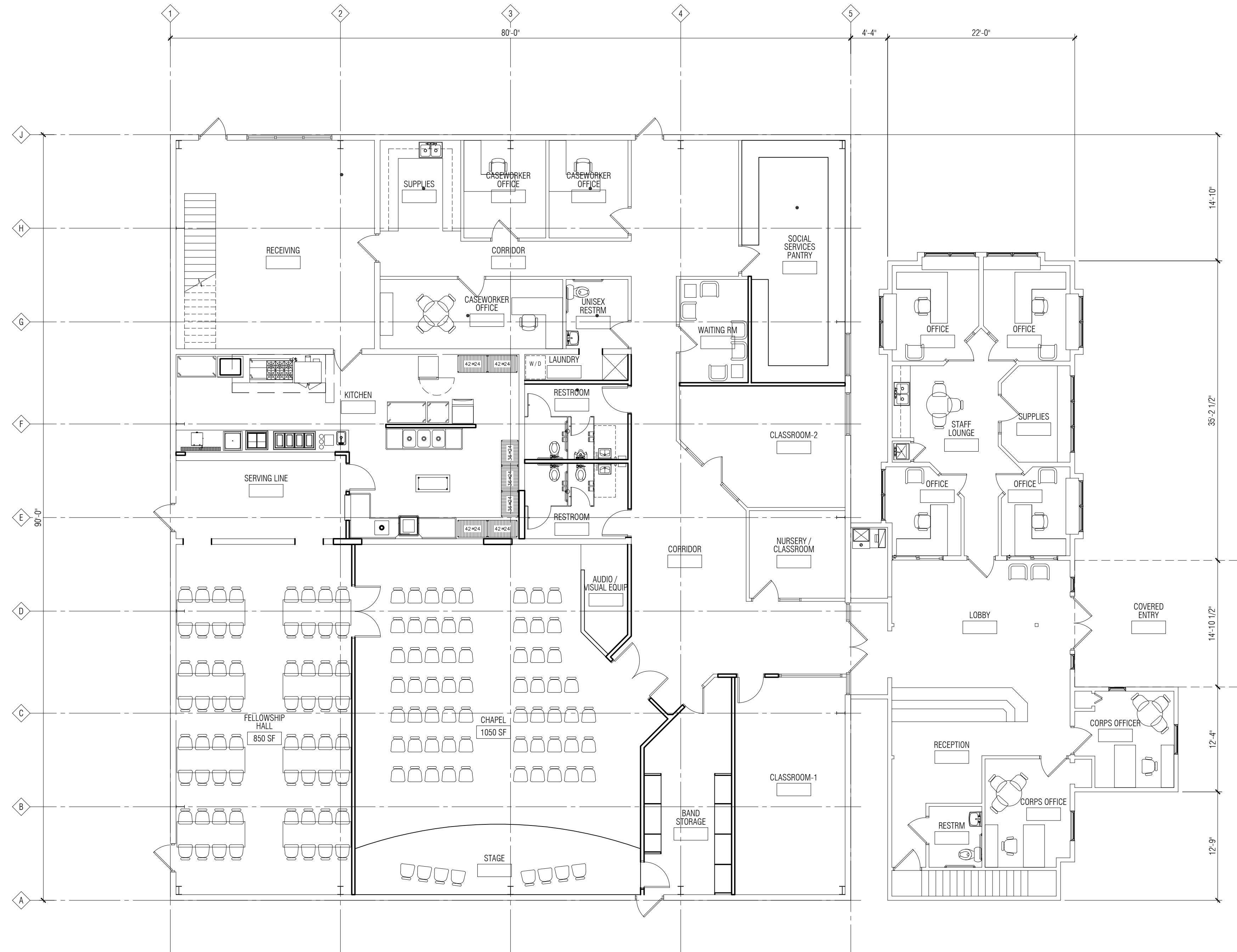
MAIN LEVEL
FLOOR PLAN

SHEET NO.

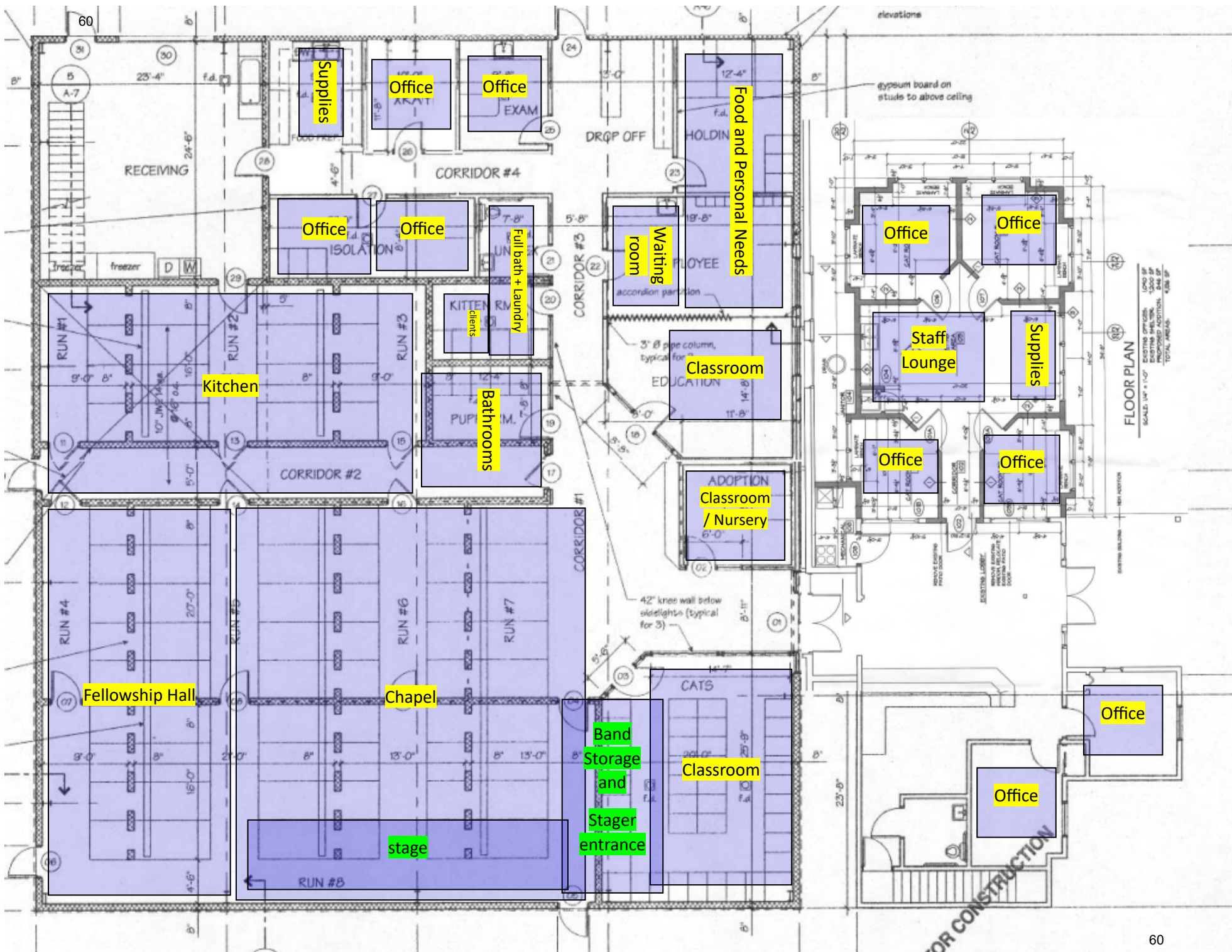
A3-01



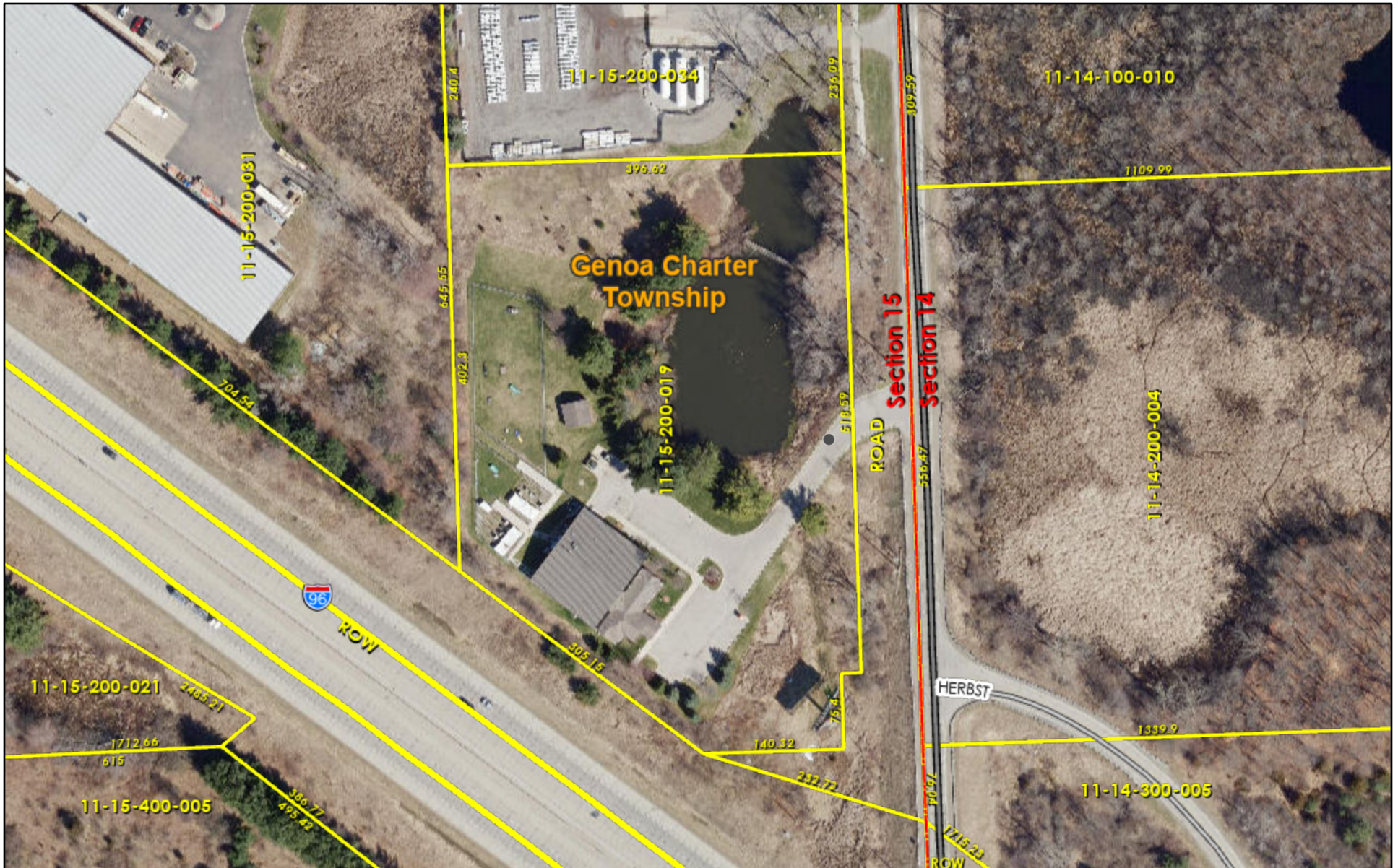
2 Mezzanine Level Floor Plan
1/8" = 1'-0"



1 Main Level Floor Plan
1/8" = 1'-0"



Livingston County GIS Map



6/20/2023, 11:31:11 AM

- Tax Parcel
- Parcel Dimensions
- Roads
- Interstate Highway
- Major Road
- Minor Road
- PLSS Section
- Municipality

1:2,257

0 0.01 0.03 0.05 mi

0 0.02 0.04 0.09 km

SEMCOG, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA, Livingston County IT/GIS

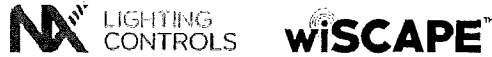
SARA2
ARCHITECTURAL AREA/SITE

FEATURES

- TIR Strike Optics
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K and 5000K
- Type 1, 2, 3, 4, 4W, 5W, 5QM, L, and R distributions
- 0 - 10V dimming drivers standard
- IP65 optical assembly



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- One piece die-cast housing, low copper (<0.6% Cu) Aluminum Alloy with integral cooling ribs over the optical chamber and electrical compartment
- Solid barrier wall separates optical and electrical compartments
- Double-thick wall with gussets on the support-arm mounting end
- Housing forms a half cylinder with 55° front face plane providing a recess to allow a flush single-latch detail
- All hardware is stainless steel or electro-zinc plated steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat
- One-piece die-cast, low copper (<0 6% Cu) aluminum alloy lens frame with 1" minimum depth around the gasket flange
- Optional clear 1/8" thick tempered glass lens retained by eight steel clips with full silicone gasketing around the perimete
- Optional, fixture supplied with a one-piece flat, clear, UV stabilized polycarbonate, fully gasketed, replacing the standard tempered glass lens. CAUTION: Use only when vandalism is anticipated to be high. Useful life is limited by UV discoloration from sunlight. A program of regular inspection and periodic replacement is highly recommended to maintain optimum fixture performance
- One-piece extruded aluminum arm with internal bolt guides and fully radiussed top and bottom
- Luminaire-to-pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief

CONSTRUCTION (CONTINUED)

- Arm is circular cut for specified round pole
- Optional cast, low copper aluminum horizontal slip-fitter with adaptor plate to secure the luminaire to 2" IPS pipe size arms
- Optional cast aluminum wall mount plate assembly. Attaches to the wall over the junction box. Luminaire attaches to the wall plate

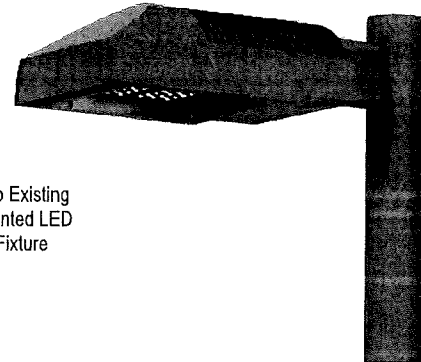
OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED Total Internal Reflection (TIR) optics, gasket and bezel plate
- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features revolutionary individual LED optical control based on high performance TIR optical designs
- Optional BackLight Control for complete control of unwanted backlight
- IP65 Optical assembly
- Type 1, 2, 3, 4, 4W, 5W, 5QM, R, and L standard distributions
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K and 5000K
- Die-cast, low copper aluminum heat sink modules provide thermal transfer at PCB level
- Anodized aluminum heat sink modules

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

The Archetype®



Similar to Existing Wall Mounted LED Light Fixture

RELATED PRODUCTS

- Ouro Pavilion PGL8

ELECTRICAL

- Dimming range from 10% to 100% through the use of standard 0-10V interface on the programmable driver
- Modular wiring harness in the service area provides user access to the dimming circuitry
- Optional factory programmed dimming profile
- Surge protection: 10kV surge suppression
- SF for 120, 277, 347 Line volts
DF for 208, 240, 480 Line volts

CONTROLS

- 7-pin Receptacle and Button Photocell

CERTIFICATIONS AND LISTINGS

- Listed to UL1598 and CSA C22.2#250.0-24 for wet location and 40°C ambient temperatures
- IDA approved, 3000K and warmer CCTs only
- RoHS compliant
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. See Buy American Solutions

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	2,714–10,814
Wattage Range	58.87–84.27
Efficacy Range (LPW)	45.3–127.7
Reported Life (Hours)	L70/60,000
Weight	21 lbs 9.5 kg
EPS Side View	0.70

Noctura Series

LED Wall Mount Luminaires

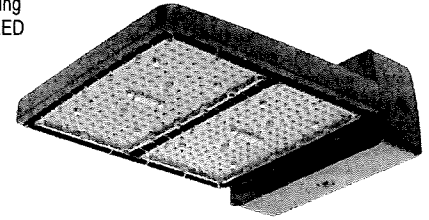
DATE: 1/22/2024 | LOCATION: 2464 Dorr Road
 TYPE: S2 | PROJECT: TSA Livingston County Corps Community Center
 CATALOG #: Existing Wall Mounted Light Fixture

Product Description

The Noctura® LED Wall Mount luminaire minimizes cost of ownership with easy installation, high performance and quality backed by a Cree Lighting 5-year limited warranty. The Noctura Series has a coordinated style across area, flood and wall mount luminaires to provide a consistent daytime appearance across a building site or campus. The rugged yet lightweight aluminum housing and mounting box are designed for easy installation of a variety of junction box styles (4" square, 3" and 4" octagonal, single gang (vertical or horizontal mounts). Luminaires (1L & 3L) allow for through-wired or conduit entry from the top, sides and rear. Luminaires (7L and higher) allow for through-wired or conduit entry from the top, bottom, sides and rear.

Applications: Ideal for both retrofit and new installation: building facade, security and general lighting applications.

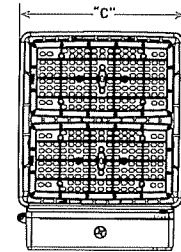
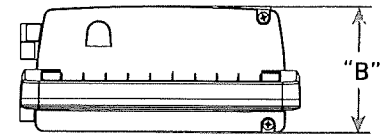
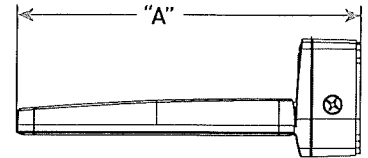
Similar to Existing Wall Mounted LED Light Fixture



Performance Summary

- Initial Delivered Lumens:** Up to 22,600 lumens
- Efficacy:** Up to 154 LPW
- CRI:** Minimum 70 CRI
- CCT:** 4000K, 5000K
- Limited Warranty*:** 5 years on luminaire/ up to 5 years for Synapse® accessory/ 1 year on photocell accessory

* See <http://creelighting.com/warranty> for warranty terms



Accessories

Field-Installed
Field-Installed Button Photocell JL-423CZ - UL (120-277V) Voltage only Synapse® SimplySnap 10V Interface DIM10-220F - 120V-277V - Requires other Synapse components to complete system - Refer to DIM10-220F spec sheet for details

Lumen Package	Weight	Dim "A"	Dim "B"	Dim "C"
11L	8.2 lbs. (3.9kg)	12.19" (310mm)	5.51" (140mm)	12.36" (314mm)

Ordering Information**

Example: NTW-A-WM-T3-1L-40K-UL-BZ

NTW	A	WM	T3	Lumen Package*		CCT	Voltage	BZ
Product	Version	Mounting	Optic					Color Options
NTW	A	WM Wall Mount	T3 Type III Medium	Small 1L 1,600 lumens - Not available in 347-480V 3L 3,500 lumens 7L 7,000 lumens	Large 11L 11,000 lumens 17L 17,000 lumens 23L 23,000 lumens	40K 4000K 50K 5000K	UL Universal 120-277V UH Universal 347-480V	BZ Bronze

* Lumen Package codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values
 ** Consult factory for availability



**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
January 8, 2024**

MINUTES

CALL TO ORDER: Vice Chairman Rauch called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Eric Rauch, Tim Chouinard, Glynis McBain, Marianne McCreary, Greg Rassel and Jeff Dhaenens. Absent was Chris Grajek. Also present were Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

ELECTION OF OFFICERS:

Vice Chairman Rauch recommended tabling this item until the February 12 meeting when Chairman Grajek will be present. All Commissioners agreed. **Moved** by Commissioner McCreary, supported by Commissioner Rassel to table the Election of Officers until the February 12, 2024 Planning Commission meeting. **The motion carried unanimously.**

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, seconded by Commissioner Chouinard, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

CALL TO THE PUBLIC:

The call to the public was made at 6:32 pm with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING #1... Consideration of a special use application, environmental impact assessment and site plan to allow for a contractor's yard with outdoor storage, wetland buffer encroachment and accessory fuel storage located at 855 Victory Drive, east side of Victory Drive, south of Grand River Avenue. The request is petitioned by Michigan Recreation Construction, Inc.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (12-19-23)
- C. Recommendation of Site Plan (12-19-23)

Mr. Scott Tousignant with Boss Engineering and Craig Sheffer, the owner of Michigan Recreational Construction, were present. Mr. Tousignant provided a review of the project. There will be two parcels combined to create one approximate 17-acre parcel. There is an existing building and material storage bins on the site. This project will add additional parking spaces and additional gravel storage. He showed the site plan, noting what will be used to screen the material storage. There are two encroachments into the natural features setback, one of which is a crossing of the wetland, and they will work with EGLE on obtaining approval. They will be seeking a variance for the additional fuel storage being requested.

Mr. Tousignant provided the reasons why they are proposing not to have an enclosure around their Dumpster. After a discussion, the Commissioners agreed that another enclosure was not required.

Mr. Borden reviewed his letter dated January 2, 2024.

1. Special Land Uses (Section 19.03):
 - a. The special land use standards of Section 19.03 are generally met.
 - b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 8.02.02(b), 13.02 and 13.07 need to be met to the Commission's satisfaction.
 - c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Outdoor Storage (Section 8.02.02(b)):
 - a. The use of gravel surfacing is allowed to be approved but requires a recommendation by the Township Engineer. Ms. Byrne stated that she has no concerns with the gravel driveway.
3. Wetland Protection (Section 13.02)
 - a. There are three proposed encroachments into the 25-foot natural feature setback.
 - b. The drive across the wetland that connects the two proposed outdoor storage areas requires approval from the State.
4. Fuel Storage (Section 13.07)
 - a. The project does not meet the capacity limitation, which is a three-hundred-gallon tank. He noted that the applicant will be seeking a variance; however, he suggested they install three each three-hundred-gallon tanks
 - b. The applicant must obtain all necessary permits.
5. Site Plan Review:
 - a. The applicant may wish to incorporate some type of internal pedestrian walkway as opposed to having people walk 300 feet in the drive aisle. Mr. Tousignant stated because the pedestrians will be employees, they are familiar with the site, and they will all be entering and exiting at the same time.
 - b. The applicant will coordinate refuse removal since the waste receptacle is behind a security gate.
 - c. Waste receptacle/enclosure details are provided; however, the applicant would like to discuss the need for an enclosure given the nature of the project.

Ms. Byrne reviewed her letter dated January 4, 2024. This letter was not included in the packet and was presented to the commissioner's this evening.

1. Approval from the Brighton Area Fire Authority will be required prior to final site plan approval.
2. There is a proposed 20-foot gravel drive across the wetland. An EGLE wetland permit will be required and should be provided to the Township for their records.
3. The Livingston County Drain Commission (LCDC) has an unresolved permit with the subject property concerning the existing northern basin. Ms. Tousignant has discussed this with the LCDC and they are requiring documentation that the outstanding items will be addressed with this project.
4. She reiterated that she has no concerns with the proposed gravel parking lot.

The Commission discussed allowing the applicant to install three each three-hundred-gallon fuel tanks instead of the need to obtain a variance from the ZBA. Commissioner McBain suggested the ordinance limits the capacity to 300 for safety reasons. Commissioner McCreary noted that this variance could be considered to be self-created. The Commission agrees the Fire Marshal will need to review increasing the capacity limit.

The Brighton Area Fire Authority's letter dated December 26, 2024 states that the applicant has addressed all of his previous outstanding items.

The Livingston County Road Commissioner's letter dated January 4, 2024 states:

Before a commercial approach permit can be issued the following items need to be addressed:

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respect to General Liability."
2. Victory Drive is classified as an All-Weather road, therefore the proposed pavement cross-section within the road right-of-way will need to match the cross section of Victory Drive. Please include a pavement cross section for the approach within the road right-of-way that consists of 2" 5E3 top HMA, 2" 5E3 leveling HMA, 4" 4E3 base HMA, 8" 21AA Aggregate, and 12" CL II Sand in the plan set. The revised plan set will need to be submitted electronically.

Mr. Tousignant stated they will address the LCDC's concerns.

The call to the public was made at 6:59 pm with no response.

Vice-Chairman Rauch noted a letter was received from Joseph Riccardi, the owner of San Marino Capital Partners, LLC at 970 Grand Oaks Drive. They are concerned with the increase of storage and the traffic that may transpire due to this special land use permit approval. They would like the Planning Commission to require buffers on the property line.

Mr. Tousignant stated there will not be an increase in traffic as they will have the same number of employees.

Commissioner McCreary questioned what vehicles and equipment would drive on the wetland crossing. Mr. Sheffer stated that semi-trucks would drive over that to deliver their playground equipment. Their trucks and equipment are not stored there.

She stressed to the applicant that what is being approved should be complied with. Mr. Sheffer stated they will comply with all requirements and will improve the site.

The Commissioners discussed the outstanding issues of the delineated walkway on the driveway, the wetland encroachments, the screening for the Dumpster, and the fuel storage.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Special Use Application to allow for a contractor's yard with outdoor storage, wetland buffer encroachment and accessory fuel storage located at 855 Victory Drive, east side of Victory Drive as this plan meets the standards of Sections 19.03, 13.02 and 13.07 of the Zoning Ordinance. **The motion carried (McCreary - no; Rassel - yes; Chounard - yes; McBain - yes; Dhaenens - yes; Rauch - yes).**

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to recommend to the Township Board approval of the Environmental Impact Assessment dated December 19, 2023 to allow for a contractor's yard with outdoor storage, wetland buffer encroachment and accessory fuel storage located at 855 Victory Drive, conditioned upon the requirements stated in the letters from the Township Engineer, Brighton Area Fire Authority, Livingston County Road Commission, and Livingston County Drain Commissioner. **The motion carried (McCreary - no; Rassel - yes; Chounard - yes; McBain - yes; Dhaenens - yes; Rauch - yes).**

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to recommend to the Township Board approval of the Site Plan dated December 19, 2023 to allow for a contractor's yard with outdoor storage, wetland buffer encroachment and accessory fuel storage located at 855 Victory Drive as the proposal is consistent with the Master Plan and the Future Land Use Map. with the following conditions:

- The removal of the dumpster enclosure is acceptable.
- The two properties must be combined.
- The wetland crossing shall be approved by EGLE.
- The encroachment into the wetland setback is acceptable to the Planning Commission
- The gravel parking lot is acceptable to the Planning Commission.
- The Planning Commission recommends approval of the fuel storage as submitted, subject to changes to the zoning ordinance or approval from the ZBA.

The motion carried unanimously.

OPEN PUBLIC HEARING # 2...Consideration of a special use application, environmental impact assessment and preliminary site plan for a 2-unit non-residential site condominium with contractor's offices and yards with outdoor storage and accessory fuel storage. The property is located at 2025 Euler Road, east side of Euler Road, north of Grand River Avenue. The request is petitioned by Desine, Inc.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (12-18-23)
- C. Recommendation of Preliminary Site Plan (12-19-23)

Mr. Steve Baibak of Desine, Inc. provided a review of the proposal. He showed the proposed site plan. Ms. Kathy Riesterer, representing the applicant stated this site is being developed as a condominium. The Master Deed and Bylaws have been reviewed to the Township Attorney and his comments have been incorporated into those documents.

Mr. Borden reviewed his letter dated January 2, 2024, noting this is preliminary approval.

- 1. Special Land Uses (Section 19.03):
 - a. In order to make a favorable finding related to the Master Plan, the Commission needs to deem the building architecture "high quality" and the site landscaping "enhanced."
 - b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 8.02.02(b) and 13.07 need to be met to the Commission's satisfaction, with particular attention paid to protecting the adjacent residence.
 - c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
- 2. Outdoor Storage (Section 8.02.02(b)):
 - a. The use of gravel surfacing is allowed to be approved but requires a recommendation by the Township Engineer.
- 3. Site Plan Review:
 - a. The applicant must address any comments provided by the Township Attorney regarding the condominium documents. He noted that Ms. Riesterer has addressed this item.
 - b. Building materials and design, including color palette, are subject to review and approval by the Planning Commission.
 - c. The amount of metal as a building material exceeds that allowed.
 - d. The applicant should be prepared to present building material and color samples at the Planning Commission meeting. Mr. Baibak provided photographs of the proposed materials. There was a discussion regarding not allowing the red material being proposed. The Commissioners agree that the proposed materials are acceptable, but colored renderings must be provided for color palette review and approval.
 - e. Parking space depths may be reduced by 2 feet, if desired by the applicant.
 - f. The applicant must make arrangements for refuse removal since the receptacles are behind security gates.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. The Genoa Township Zoning Ordinance requires that the parking lot be hard surface with concrete curb and gutter. However, she does not have any objection to the use of gravel for the storage areas.
2. After final site plan approval, water main and sanitary sewer construction plans should be provided to MHOG Sewer and Water Authority for their review and approval and permitting with EGLE.
3. The domestic water lead should come off the fire suppression line closer to the proposed buildings per MHOG standard details. This can be revised as part of MHOG's construction plan review after final site plan approval.

The Brighton Area Fire Department Fire Marshal's letter dated December 26, 2023 states that two items are outstanding:

1. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cocheres, lighting, and large canopy trees.
2. The shared drive to the storage yard shall be signed on both sides as a fire lane. Include the location of the proposed fire lane signage and a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds.

Mr. Baibak stated he will address their Fire Marshal's concerns.

Commissioner McCreary questioned that the Master Deed and Bylaws state the use as "a medical and business office condominium". Ms. Riesterer stated this will be removed as there will be no medical uses here.

The call to the public was made at 7:42 pm.

Mr. Joe Lubig of 7576 Spring Trace, which is directly east of the property, would like to know what type of businesses will be here. He used to see the pond and the trees and now he sees the orange fencing. Will this affect his property values and what will he see from his windows? Will there be landscaping planted? He would like to keep the rural nature of the area.

Ms. Marie Parish of 1885 Euler has the same concerns as Mr. Lubig. She would like the applicant to consider a neutral palette. She is concerned about any fuel storage.

Mr. John Moretti, who owns the property at 2224 Euler Road, is happy with this proposed development. This property has been abandoned for many years. There has been debris, unsafe buildings, tires, etc. and has not been well maintained.

The call to the public was closed at 7:48 pm.

Vice Chairman Rauch asked the applicant to explain their proposed screening. Mr. Baibak showed the proposed landscaping plan. They will be keeping all of the existing major vegetation and they will be adding additional plantings around the detention basin. There will be more plantings on this site after it is developed than what is currently there.

Commissioner McBain would like to see additional plantings installed along the back of the property between this site and the residential neighbors abutting it. Mr. Baibak stated additional plantings can be added where there is a gap in the buffer on that side. He requested specific direction on what should be planted.

Moved by Commissioner Dhaenens, supported by Commissioner McCreary, to recommend to the Township Board approval of the Special Use Application for a two-unit non-residential site condominium with contractor's offices and yards with outdoor storage at 2025 Euler Road as this Planning Commission finds that the conditions of Sections 8.02.02(b), 13.07 and 19.03 of the zoning ordinance have been met. This approval is conditioned upon the applicant addressing any comments provided by the Township Engineer and Brighton Area Fire Authority regarding public facilities and services. **The motion carried unanimously.**

Moved by Commissioner Dhaenens, supported by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment dated December 18, 2023 for a two-unit non-residential site condominium with contractor's offices and yards with outdoor storage at 2025 Euler Road. **The motion carried unanimously.**

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Preliminary Site Plan dated December 19, 2023 for a two-unit non-residential site condominium with contractor's offices at 2025 Euler Road, with the following conditions:

- The applicant is to review the tones and textures of the building and their ability to improve upon the landscaping as discussed, this evening.
- The gravel parking lot is acceptable.
- The Dumpster screening is not required.
- The Master Deed and Bylaws shall be amended per the comments provided by the Township Attorney.

The motion carried unanimously.

OPEN PUBLIC HEARING #3...Consideration of a sketch plan application and sketch plan for a proposed 1,704 sq. ft. addition for Michigan Rod Products located at 1326 Grand Oaks Drive.
A. Disposition of Sketch Plan (11-28-23)

Mr. Raymond Embach of Asselin, McLane Architectural Group, LLC stated they are proposing to install a recycling bin enclosure. They have received the comments from the planner, engineer and fire marshal and will address their concerns, noting that he has spoken to the Fire Marshal and he has agreed to waive the requirement for the water main.

Vice Chairman Rauch confirmed that the Fire Marshal provided a new review letter stating that he is waiving the water main requirement until any additional development is done on this site.

He showed building material samples.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The applicant should be prepared to present building material and color samples to the Commission, which have been presented this evening.
2. If there is a significant increase and/or any parking issues have been documented for this site, the Township may require construction of some or all of the land-banked parking. Based on the petitioner's comments this evening, no additional parking is required.
3. If there are landscaping deficiencies from the previously approved plan, or if required plantings are dead/diseased, the Township may require improvements/replacement plantings as part of this project.
4. If new lighting is proposed as part of this project, the applicant must provide details in accordance with Section 12.03.
5. The applicant must address any concerns raised by the Township Engineer or Brighton Area Fire Authority, which the applicant stated he has done.

Ms. Byrne reviewed her letter dated January 2, 2024.

1. The proposed building addition appears to overlap with the existing fire lane. Rerouting of the fire lane around the addition should be shown more clearly on the site plan.
2. Approval from the Brighton Area Fire Authority should be obtained and provided to the Township prior to sketch plan approval. The existing building does not appear to be completely within a 500-foot hydrant coverage radius.
3. The existing water main and hydrant to the north of the building should be clearly labeled.
4. The site plan shows 2,888 square feet of added impervious surface but does not include any detail on what type of surface is proposed. The site plan should call out if any new gravel or pavement is proposed and should provide a cross section of the proposed surface.

Mr. Embach stated they will comply with all of Ms. Byrne's requirements.

The call to the public was made at 8:10 pm with no response.

Moved by Commissioner McCreary, supported by Commissioner Rassel, to approve the Sketch Plan dated November 28, 2023 for a proposed 1,704 sq. ft. addition for Michigan Rod Products located at 1326 Grand Oaks Drive, with the following conditions:

- The applicant shall comply with Items #1, 3 and 4 of the Engineer's review letter dated January 2, 2024.
- Final building material samples shall be provided to the Township.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated she has provided the annual report to the Planning Commission.

Approval of the December 11, 2023 Planning Commission meeting minutes

One needed change was noted.

Moved by Commissioner McCreary, seconded by Commissioner Rassel, to approve the minutes of the December 11, 2023 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Commissioner Rauch, seconded by Commissioner Rassel, to adjourn the meeting at 7:31 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
January 9, 2024**

MINUTES

CALL TO ORDER: Vice Chairman Rauch called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Eric Rauch, Tim Chouinard, Glynis McBain, Marianne McCreary, Greg Rassel and Jeff Dhaenens. Absent was Chris Grajek. Also present were Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Rassel, seconded by Commissioner Dhaenens, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

CALL TO THE PUBLIC:

The call to the public was made at 6:31 pm with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING #1... Consideration of a sketch plan application and sketch plan for façade revisions to the existing Dave's Hot Chicken Restaurant located at 3667 E. Grand River Avenue, north side of Grand River Avenue, west of Latson Road. The request is petitioned by Sarah Goeke, Owners Agent.

A. Disposition of Sketch Plan (Façade Revisions) (12-7-23)

Mr. Howard Schwartz, a principal of Dave's Hot Chicken stated they have other locations in Michigan, with two more being built. They would like to add some color to their building to bring attention to their business and increase their sales. He showed colored renderings of the proposed design.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The Planning Commission has review and approval authority over building materials and colors.

2. The applicant proposes the inclusion of multiple bright colors on the mainly white and red building.
3. He asked the applicant to confirm that no changes to building materials are proposed. Mr. Schwartz stated the building materials will not change.
4. He asked the applicant to confirm that the changes are only proposed to the front and west side of the building. Mr. Schwartz stated if their proposal is approved, they would like to change the other two sides.
5. Section 12.01.05 requires that building colors “relate well and be harmonious with the surrounding area” and that “subtle earth tone colors shall be used.”
6. In his opinion, the proposed façade changes do not meet the requirements of the Zoning Ordinance.

Vice-Chairman Rauch noted that the addition of a red fence next to the outdoor seating is also being proposed.

The call to the public was made at 6:40 pm with no response.

Commissioner Dhaenens stated the fluorescent colors are too bright. They should be toned down. He will not be able to support this as presented. He would like to see a different proposal.

Vice-Chairman Rauch stated that the Township’s zoning ordinance states a consistent design throughout the area, which includes earthtones and clean lines. He is not in support of the proposal as presented. He also noted that he is not in favor of the existing red accents on the building.

Commissioner McCreary agrees.

Commissioner McBain stated this would be a great design for a downtown area. There are other ways to accent the building with different colors.

Mr. Schwartz asked if he could propose different designs for the township to review. Mr. Rauch advised him to contact Ms. Ruthig.

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to table the review of the sketch plan dated December 7, 2023 for façade revisions to the existing Dave’s Hot Chicken Restaurant located at 3667 E. Grand River Avenue, to allow the applicant to meet with township staff to develop other designs. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby’s Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby’s.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Recommendation of Site Plan (12-13-23)

Mr. Jamie Crawford, the owner, and Ms. Cheryl Ball, the architect, were present. Ms. Ball stated Arby's Corporate is requiring them to update the interior and exterior of the building. She provided the site plan, showing the new location of the entrance drive. She presented colored renderings. They have applied for a variance from the ZBA for the rear yard setback.

With regard to Mr. Borden's letter addressing the excessive EIFS, she has a revised proposal to reduce it to 31.4 percent, which is closer to the 25 percent limit.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The building materials include an excessive amount of EIFS and he noted Ms. Ball's comments this evening.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. The required drive-through stacking spaces block circulation at the main drive aisle. Alternatives should be explored to mitigate this condition.
4. The plan is deficient on parking spaces so the applicant must provide the Township with a shared parking agreement to address this deficiency. He suggests the parallel spaces be removed from the plan.
5. He suggests additional shrubs be provided to create a hedgerow that better screens the front yard parking spaces.
6. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
7. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
8. The petitioner is requesting two wall signs, where one is permitted. The Planning Commission may allow a second wall sign.
9. He is requesting the applicant amend the sign detail to note that the existing nonconforming pole sign will be removed and replaced with a monument sign.
10. The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. Approval from the Brighton Area Fire Authority should be provided prior to site plan approval, which has been obtained.
2. A detail should be provided for the proposed parking stripping.

The Brighton Area Fire Authority Fire Marshal's letter dated December 20, 2023 stated that he has no outstanding concerns.

Vice-Chairman Rauch understands that the Arby's brand has changed since this building was built and this site is a challenge to meet those changes. He asked if there is a possibility to swap this property with some property to the rear. Mr. Crawford stated he did approach the owner of the shopping center; however, their cost for the property was too high.

There was a discussion regarding the drive thru stacking. Mr. Crawford advised there are issues sometimes, but the cars needing to back out of a space wait for the drive thru car to move forward.

Commissioner Dhaenens agrees with Vice-Chairman Rauch's idea of the land swap. He would like the Township to be involved in the conversation between the petitioner and the land owner. Mr. Crawford stated he needs to meet the spring 2024 deadline from Arby's corporate.

Commissioner McCreary also agrees with Vice-Chairman Rauch's idea. It is a forward thinking idea and could be a positive for the applicant, the property owner, and the township.

Vice-Chairman Rauch asked the commissioners their opinions on the current issues with the existing site, such as the parking, drive thru stacking, etc. Mr. Borden stated it is always the desire to improve sites; however, the parking issues are minor and if they do not pose problems at this time, he recommends allowing them to remain. All commissioners agreed to allow the existing angled parking, but the parallel parking must be removed.

The call to the public was made at 7:33 pm with no response.

Ms. Ball stated that she will comply with all the requirements in Mr. Borden's review letter.

After a discussion regarding the outstanding issues, the commission and the applicant decided to table the item this evening.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to table the review of an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue to allow the applicant to address the feedback this evening regarding the amount of EIFS, the drive-thru stacking, the possibility of a shared parking agreement, plantings, and to contact staff to facilitate a discussion between the applicant, the township, and the property owner. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3... Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (10-31-23)
- B. Recommendation of Site Plan (12-18-23)

Mr. Patrick Cleary of Boss Engineering, Mr. Russ Springborn, the owner, and Mr. Dave Richardson of Lindhout & Associates, the architect, were present.

Mr. Cleary provided a review of the project. They would like to develop a car wash, which is a permitted use in this PUD. He showed the site plan and photos of an existing facility in the City of Howell.

Mr. Borden reviewed his letter dated January 2, 2023.

1. Use Conditions (Section 7.02.02(l)). Three of the five conditions are not applicable or have been met. There are two outstanding.
 - a. The self-service wash bays are not within a completely enclosed building. He suggested having bay doors installed. Mr. Cleary stated having overhead doors creates challenges and they would prefer not to have them. Mr. Springborn stated having doors is a safety issue.
 - b. The two automatic wash bays do not provide the required 15 stacking spaces required. One provides 12 spaces and the other provides 8. Mr. Cleary stated that if 15 cars are stacked at a bay, the last car would be waiting for 1 ½ hours. On average, there are six cars in line. The seventh customer would leave and not wait. The data from the existing Soapy Bucket car wash in Howell, which has been in business for four years, shows that there has never been more than eight cars stacked at one time.
2. Site Plan Review:
 - a. Building materials and color scheme are subject to approval by the Planning Commission. He noted that the colors and building materials are high quality; however, the vacuum stations are bright blue. Mr. Richardson showed sample materials of the blue for the vacuums and the bollards. They are located along Lawson Drive and cannot be seen from Grand River.
 - b. The sidewalk easement is subject to review by the Township's engineering consultant, and we suggest the easement be extended to cover the entire sidewalk.
 - c. The slight driveway offset along Lawson Drive may disrupt traffic flow.
 - d. A traffic impact assessment is required based on the trip generation that was provided in the impact assessment, but the Planning Commission can waive this requirement. The applicant will provide this if required. Ms. Byrne stated this assessment would only provide data for Lawson Drive and not Grand River.
 - e. The easterly greenbelt is deficient in width and two trees, while the southerly greenbelt is deficient in two trees; however, both areas provide excess shrubs plantings to help offset the trees.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. The proposed catch basins are labeled, but actual structures are not shown at the pipe junctions. This may be a plotting error.
2. The site plan proposes exterior trench drains that connect to the sanitary sewer outside of the car wash in the area where vehicles will stack to get into the car wash. Any trench drains connected to the sanitary sewer should be within the carwash or covered areas and should not receive site storm drainage from outside the carwash. Genoa-Oceola Sewer and Water Authority design standards do not allow for storm sewer facilities to be connected to their sanitary sewer. The eight exterior trench drains shown connecting to the sanitary sewer will

not be allowed and shall be removed from the site plan. If the existing building layout does not allow for effective containment and collection of vehicle runoff within the carwash, then the carwash will need to be modified so that no runoff from within the carwash is going into the on-site storm sewer. The applicant agreed to remove all the exterior trench drains.

The Brighton Area Fire Authority Fire Marshal's letter dated December 22, 2023 stated the applicant has addressed all of his concerns.

The call to the public was made at 8:41 pm.

Mr. Steve Samona, who represents Genoa Outlots, stated they only became aware of this recently. They are concerned with the traffic flow and the stacking onto Lawson Drive. The existing traffic study is over 20 years old. They have not been contacted about the cross access. This site shares a detention pond with the entire development and it discharges into Lake Chemung across Grand River. They want to ensure that runoff from the car wash does not end up in the lake. He also has not had time to review all of the PUD documents to ensure that all of the approvals have been obtained and all use restrictions are met.

Mr. Harvey Weiss with Genoa Outlots reiterated Mr. Samoa's concerns. He is concerned with the site circulation and stacking onto Lawson Drive.

The call to the public was closed at 8:53 pm.

Mr. Springborn stated that he purchased the property because it is specifically approved for a car wash. They can remove the driveway that would require the cross access easement, and there is sufficient containment for the car wash run off.

Commissioner McBain feels the building is too large for the site. There are a lot of safety issues with the traffic flow.

Commissioner Dhaenens is in favor of the material and the business, but he is also concerned with the traffic stacking. He suggested reorienting the building to address that issue. Mr. Cleary noted that the waiting cars and the vacuums would be more visible from Grand River if the building was moved. Vice-Chairman Rauch agrees, but suggested the view can be mitigated with landscape screening.

Commissioner Chouinard is in favor of the proposed building design and materials. It is a beautiful building. However, he would like to have the blue removed. The other commissioners agree.

Moved by Commissioner McCreary, supported by Commissioner Rassel, to table the review for a proposed car wash with two automatic bays, four self-service bays and five vacuum stations located within the existing Genoa Outlots PUD to allow the applicant to address the colors, engineer's report, planner's review, stacking, building orientation, and other items discussed this evening. **The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there are ten pending items to come before the Planning Commission.

There could possibly be a second meeting in February, depending on when the submittals are received.

Member Discussion

Vice-Chairman Rauch noted that building sample boards have been lacking with presentations recently. He would like to see them.

There was a discussion regarding the parking ordinance with regard to double striping, width, required number of parking spaces, etc.

Adjournment

Moved by Commissioner Dhaenens, seconded by Commissioner Chouinard, to adjourn the meeting at 9:32 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary