

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JANUARY 23, 2024
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Elections of Officers:

Introductions:

Conflict of Interest:

Approval of Agenda:

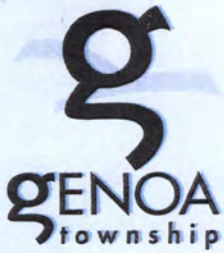
Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

1. 24-01...A request by Dennis Danville, 822 Sunrise Park, for a side and rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct an addition to an existing home.
2. 24-02...A request by Chew Land Management LLC, 3638 E. Grand River Ave., for a rear yard variance and any other variance deemed necessary by the Zoning Board of Appeals to construct two additions to the existing Arby's Restaurant.

Administrative Business:

1. Approval of minutes for the December 19, 2023 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>
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GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-01 Meeting Date: 1/23/2024
@ 6:30 pm in Boardroom
 PAID Variance Application Fee

\$215.00 for Residential

| \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Dennis Danville Email: dennisdanvillest@gmail.com
 Property Address: 822 Sunrise Park Phone: 734-558-4722
 Present Zoning: residential Tax Code: 11-09-201-119

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: The offset from proposed addition to the back road (unnamed ally) will be 33 feet. Requesting a variance from the required 40 feet.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Many of the neighbors much closer to the road even after the proposed addition. The house to the North has a kitchen addition that put is about 15 feet from the road.
See aerial view - Numbered # 119

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Both houses to the North & south will be closer to the road after the proposed addition. This addition will make the property more consistent with the other properties in the vicinity and add value to the neighborhood.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

This proposed addition will not block any views or affect the neighbors in any way.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The variance will not interfere with the neighbors.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 12/18/2023 Signature: Demin Danville

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: January 17, 2024
RE: ZBA 24-01

STAFF REPORT

File Number: ZBA#24-01
Site Address: 822 Sunrise Park Drive
Parcel Number: 4711-09-201-119
Parcel Size: .129
Applicant: Dennis Danville
Property Owner: Carlos Danville, 5442 Greenway Trenton, MI 48183
Information Submitted: Application, site plan, drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a side and rear yard setback variance to construction an addition to an existing single-family home.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.
Other: Public hearing was published in the Livingston County Press and Argus on Sunday January 7, 2024 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records there is no construction date of house.
- A land use permit was issued in 2011 for a deck.
- In 2016, a variance was granted for an enclosed deck.
- A land use permit was issued in 2016 for an enclosed deck.
- A land use permit was issued in 2020 for a fence.
- See Record Card.

Summary

The applicant is seeking a side and rear yard setback variance to allow for a 280 sq. ft. addition to an existing single-family home. Applicant has incorrect variance amount on the application. Correct request is below.

The alley located at the rear of home is a not platted and is not considered a road.

Variance Requests

The following is the section of the Zoning Ordinance that the variances are being requested from:

Table 3.04.01 (LRR District):

SINGLE FAMILY STRUCTURE	One Side South	Other Side	Rear
Setbacks of Zoning	5'	4.5'	40'
Setbacks Requested	Previously Approved	4.5'	29'
Variance Amount	-	.5'	11'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the side and rear yard setback would not allow that applicant to construct the proposed addition. There does appear to be other structures in the vicinity with reduced rear yard setbacks which
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the existing home and narrowness of the lot. The need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of these variances would not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variances may have an impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood because the deck is so close to the neighbor.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

N/A



14-09-2014-117
603 SUNRISE PARK DR

14-09-2014-368
603 SUNRISE DR

14-09-2014-118
627 SUNRISE PARK DR

14-09-2014-222
VACANT

14-09-2014-119
622 SUNRISE PARK DR

14-09-2014-120
630 SUNRISE PARK DR

14-09-2014-369
VACANT

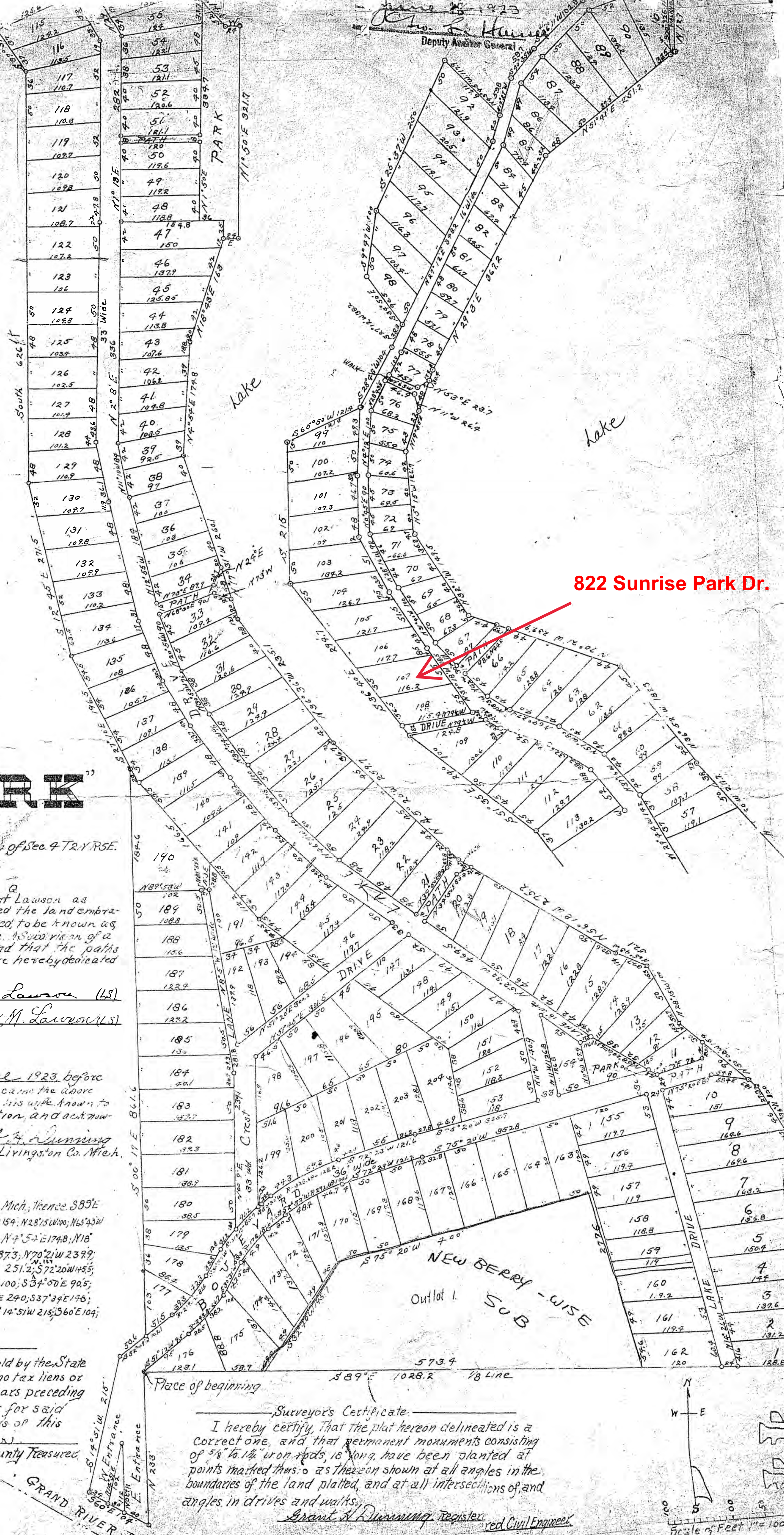


James H. Dunsmuir
Deputy Auditor General

Approval
This plat was approved by the Genoa Township Board at a meeting held June 7 1923
Lulu Larson Township Clerk

This plat was approved on the 15 day of June 1923
Willie L. Linton Judge of Probate
The C. Maguire County Clerk
Pearl M. Parker County Treasurer

Register's Office, Livingston County, Mich.
Received for record this 20th day of June A. D. 1923 at 4 o'clock P. M. and recorded in Liber Two of Plate 23 of Deeds



822 Sunrise Park Dr.

SUNRISE PARK

GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN
A Subdivision of A Part of the NE 1/4 of Sec. 9 and SE 1/4 of Sec. 4 T21N R5E.

Dedication

KNOW ALL MEN BY THESE PRESENTS, That we Ernest Lawson as proprietor, and Kathryn M. Lawson his wife, have caused the land embraced in the annexed plat to be surveyed, laid out and platted, to be known as Sunrise Park, Genoa Township, Livingston County, Michigan, a subdivision of a part of the NE 1/4 of Sec. 9 and SE 1/4 of Sec. 4 T21N R5E, and that the paths, drives, lanes and boulevard as shown on said plat, are hereby dedicated to the lot owners.

Signed and Sealed in Presence of
Ernest J. Lawson (LS)
Kathryn M. Lawson (LS)

STATE OF MICHIGAN } S.S.
County of Livingston } S.S.
On this 4th day of June 1923 before me, a Notary Public in and for said County, personally came the above named Ernest J. Lawson and Kathryn M. Lawson his wife known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.
My Commission expires Jan 31st 1927. Notary Public Livingston Co. Mich.

Description of Land Platted

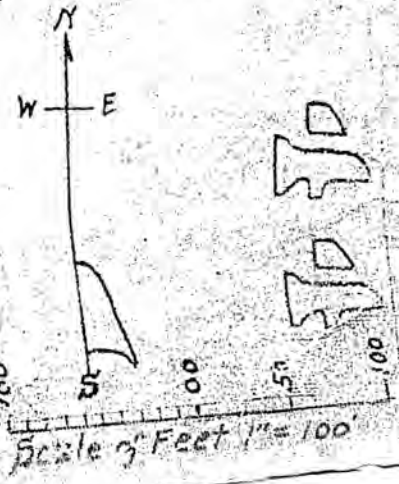
Beginning at the center of the NE 1/4 of Sec 9 T21N R5E Mich; thence S89°E 102.82 on 1/8 line; thence N6°10'W 34.55; N3°36'W 100; N50°08'W 154; N28°15'W 100; N65°43'W 52; N56°18'W 275.2; N45°20'W 259.7; N36°36'W 235.1; N7°31'W 260.1; N7°52'E 174.8; N18°48'E 163; E 24; N1°50'E 321.7; W 24; N4°50'W 211.2; N36°52'W 187.3; N70°21'W 239.9; N25°11'W 199.5; N5°15'W 126.7; N19°55'E 130.4; N29°3'E 367.2; N1°19'E 251.2; S72°20'W 45.5; S46°11'W 102.8; S40°35'W 59.7; N43°45'W 117.9; S25°37'W 250; S59°47'W 100; S34°50'E 90.5; S27°12'W 38.2; S28°43'W 104; S65°50'W 121.4; S 215; S36°40'E 294.7; S51°35'E 240; S37°39'E 176; S 26; S12°45'E 271.5; S27°10'E 196.5; S00°17'E 861.6; S52°49'W 506; S14°51'W 215; S60°E 104; N253 to place of beginning.

County Treasurer's Certificate

I hereby certify that there are no tax liens or titles held by the State on the lands described above, and that there are no tax liens or titles held by individuals on said lands for the five years preceding the 15th day of June 1923 and that the taxes for said period of five years are paid, as shown by the records of this office.
Pearl M. Parker
Livingston County Treasurer

Surveyor's Certificate

I hereby certify that the plat heron delineated is a correct one, and that permanent monuments consisting of 5/8 to 1 1/4 iron rods, 16 long, have been staked at points marked thus: o as thereon shown at all angles in the boundaries of the land platted, and at all intersections of, and angles in drives and walks.
Grant J. Dunsmuir, Registered Civil Engineer



- There is no practical difficulty.
- The need for the variance is self-created.
- The variance will not make the property more consistent with the vicinity.
- The granting of this variance will not impair an adequate supply of air to adjacent properties or unreasonably increase the congestion on public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance would have no impact on the appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

The motion carried unanimously.

3. 16-31...A request by Dennis Danville, 822 Sunrise Park, for a variance to allow a covered or enclosed deck within principle building required side yard setbacks.

Mr. Dennis Danville was present. He stated the deck is existing, and he is not increasing the footprint. He would like to screen in a section of the deck. The screen will not block the views for the neighbors. His home was built in the 1940's and it does not meet today's requirements. He is asking for a five-foot variance on one side to allow a covered and enclosed deck.

The call to the public was made at 7:32 pm.

Ms. Lyn Hewitt of 837 Sunrise Park stated she is in support of the enclosure as long as it stays within the footprint of the existing deck.

Chairman Dhaenens noted that letters have been received from four neighbors who are in support of this variance; two of whom live on either side of Mr. Danville.

The call to the public was closed at 7:35 pm.

Moved by McCreary, seconded by Ledford, to approve Case #16-31 for 822 Sunrise Park by Dennis Danville for a five-foot side-yard setback variance to allow a covered and enclosed deck within the principle building required side-yard setback based on the following findings of fact:

- Strict compliance with the setback does not unreasonably prevent the use of the property.
- Granting the variance would provide substantial justice.
- Granting of this variance will not be restricting views of the surrounding homes.
- The extraordinary circumstances are the location of the existing home and the narrowness of the lot as it exists.
- Granting this variance could impair an adequate supply of light and air to adjacent properties, but not unreasonably increase the congestion on public

streets or increase the danger of fire or compromise the comfort, morals or welfare of the inhabitants of the Township.

- Granting the variance will not have an impact on the continued use or value of adjacent properties.
- Granting the variance will not have a negative impact on surrounding properties.

The motion carried unanimously.

4. **16-32...A request by Brian Lahaie, 2862 Stanwood Place, for rear and side yard variances in order to build an attached garage addition to an existing home.**

Mr. Lahaie was present. He is asking for two variances to build a 28x32 garage addition. He noted that his lot is oddly shaped. The new addition is three feet higher than the existing garage and home. He will use the same materials that are currently on the home. He has spoken to his neighbors and they are in support of these variances.

Board Member Tengal does not see a practical difficulty. He feels the addition can be shifted or made smaller and then there would not be a need for a variance.

After a brief discussion, Mr. Lahaie asked to have his request postponed until the next meeting to review the plans and possibly change the location and/or size of the addition.

The call to the public was made at 7:55 pm with no response.

Moved by Tengal, seconded by Ledford, to postpone Case #16-32 from Brian Lahaie until the next regularly-scheduled ZBA meeting of October 18, 2016 per the petitioner's request. **The motion carried unanimously.**

16-33...A request by Scott Bederka, 3783 Highcrest, for a waterfront variance to construct a covered deck for a new construction home.

Mr. Scott Tarkleson, the builder, and Mr. Scott Bederka, the homeowner, were present. Mr. Tarkleson stated that the measurement for the setback has to be from the closest part of the lake and he made an error when calculating the need for a variance, which is why they did not make this request when they were before the Board in May. They would like to build a covered deck.

The call to the public was made at 8:01 pm with no response.

Moved by Ledford, seconded by McCreary, to approve Case #16-33 from Scott Tarkleson, builder, and Scott Bederka, owner, at 3783 Highcrest for a 4.2 foot



Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116 2011
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

RECEIVED

✓✓

1. OBJECT INFORMATION

Site Address: 822 Sunrise Park Dr, Howell, MI Acreage:

2. OWNER/APPLICANT INFORMATION

Owner Name: Dennis Danville Phone No.:

Owner Address: 5442 Greenway City: Trenton State: MI Zip: 48183

Applicant is: Owner Contractor Lessee/Renter Architect/Engineer Other:

Applicant name: SAME Phone No.: 734 558 4722

Applicant Address: City: State: Zip:

3. TYPE OF IMPROVEMENT

A. Principal Structure
 New Single Family New Multiple Family Addition to Existing Building Grading/Site Work
 Other:

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn)
 Pool/Hot Tub Other:

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION

A. Proposed Principal Structure Setbacks (in feet)

Front: (measured from front property line, right-of-way line or private road easement, whichever is less)

R Least Side: Side: Water/Wetland:

B. Proposed Accessory Structure Setbacks (in feet)

Front: 25 Least Side: Cont. same Side: Cont. same Rear: N/A (House) Water/Wetland: Distance from Principle Structure: Attached * Existing Deck

C. Proposed Building/Improvement Dimensions

Size of Building/Improvement: 300 square feet Height: 3' to 6' feet

6. SIGNATURE OF APPLICANT

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant: Dennis R. Danville Printed Applicant name: Dennis R. Danville Date: 7/1/11

FOR OFFICE USE ONLY

FLOODPLAIN

Floodplain: N/A Panel #: Zone #:

ASSESSING APPROVAL

Approved Disapproved Approved by: Date: 7/1/11

ZONING APPROVAL

Parcel I.D. No.: 11 09 201 - 119 Zoning: LRR
 Approved Disapproved Approved by: Date: 7/1/11

Comments/Conditions: Amended 479-12 - new side yard deck, must be no closer than 4' to side lot line

ZBA Case #/Approval date: Conditions:

3. FEES

Land Use: \$ 50⁰⁰ Water/Sewer: \$ / Meter: \$



Residential Land Use Permit
 Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
 Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

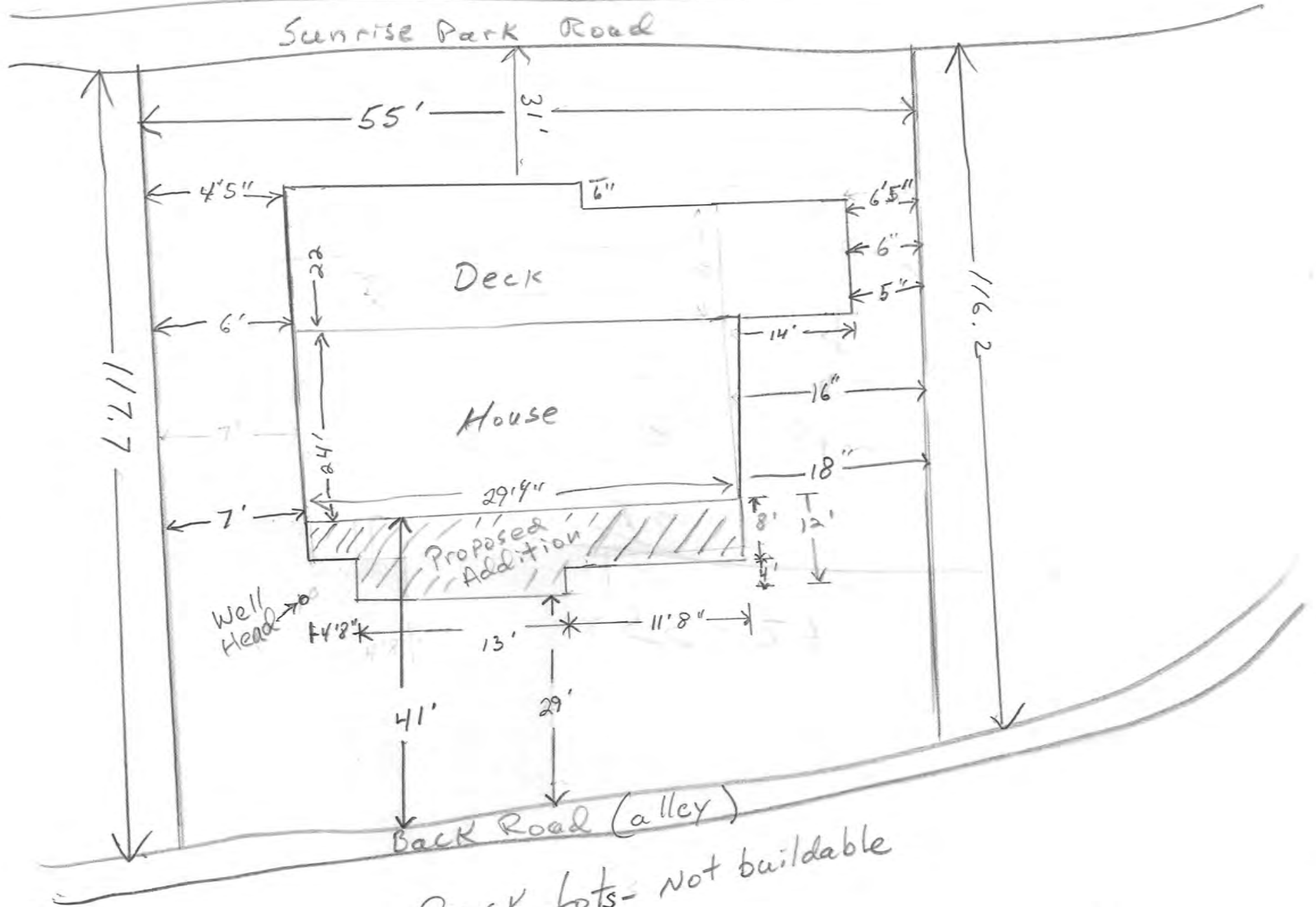
PERMIT NO. 16-198

revised 10/09/14

1. PROJECT INFORMATION			
Site Address: <u>822 Sunrise Park</u>			Acreage:
2. OWNER/CONTRACTOR INFORMATION			
Owner Name: <u>Dennis Danville</u>		Phone No.: <u>734 558 4722</u> <input type="checkbox"/>	
Owner Address: <u>5442 Greenway</u>	City: <u>Trenton</u>	State: <u>MI</u>	Zip: <u>48183</u> <input type="checkbox"/>
Contractor name: <u>Owner</u>		Phone No.: <input type="checkbox"/>	
Contractor Address: <u>Same</u>	City:	State:	Zip:
3. TYPE OF IMPROVEMENT			
A. Principal Structure			
<input checked="" type="checkbox"/> New Single Family <input type="checkbox"/> New Multiple Family <input type="checkbox"/> Addition to Existing Building <input type="checkbox"/> Grading/Site Work			
<input type="checkbox"/> Other: _____			
B. Accessory Structure			
<input type="checkbox"/> Fence <input checked="" type="checkbox"/> Deck <input type="checkbox"/> Detached Accessory (garage, shed, pole barn) <input type="checkbox"/> Pool/Hot Tub			
<input type="checkbox"/> Other: <u>Screen in a portion of existing deck area</u>			
4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION			
A. Proposed Principal Structure Setbacks (in feet)			
Front: <u>38'</u> (measured from front property line, right-of-way line or private road easement, whichever is less)			
Rear: <u>N/A</u>	Least Side: <u>5' to 6.5'</u>	Side: <u>4.5'-6'</u>	Water/Wetland: <u>N/A</u>
B. Proposed Accessory Structure Setbacks (in feet)			
Front: <u>38'</u>	Least Side: <u>5'-6.5'</u>	Side: <u>4.5'-6'</u>	Rear: <u>N/A</u> Water/Wetland: <u>N/A</u> Distance from Principle Structure: <u>Attached Deck</u>
C. Proposed Building/Improvement Dimensions			
Size of Building/Improvement: _____ square feet		Height: <u>9'</u> feet	
6. SIGNATURE OF APPLICANT			
I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent. The owner and applicant agree to conform to all applicable ordinances of Genoa Township. Any modification to location, size or dimensions must be approved by Genoa Township. A Land Use Permit is valid for a period of 12 months from the date of issue. In signing of this application, I am permitting an official representative of Genoa Charter Township to do on-site inspections. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.			
Applicant is: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee/Renter <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Other:			
Signature of Applicant: <u>Dennis R. Danville</u>		Printed Applicant name: <u>Dennis R. Danville</u>	Date: <u>8-26-16</u>
▽ FOR OFFICE USE ONLY ▽			
FLOODPLAIN			
Floodplain: <u>N/A</u>	Panel #:	Zone #:	
ASSESSING APPROVAL			
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved		Approved by: <u>James Muehl</u>	Date: <u>9-26-16</u>
ZONING APPROVAL		Parcel I.D. No.: <u>11-09-201-119</u>	Zoning: <u>LRR</u>
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved		Approved by: <u>Ang Ruediger</u>	Date:
Comments/Conditions: <u>Must obtain building permit from Liv. City Building Dept.</u>			
			Date picked up: <u>10-1-16</u>
ZBA	Case #/Approval date: <u>16-31</u> <u>9-20-16</u>	Conditions: <u>N/A</u>	
3. FEES			
Land Use:	\$ <u>50 -</u>	Water/Sewer:	\$ <u>1</u>
Meter:	\$		

222 Sunrise Park!

Sunrise Park Road



BACK lots - not buildable



-114

-072

LAKE CHEMUNG

-115

-071

-116

-070

ROW

-117

-069

-221

-068

-118

-222

-119

-120

-009

ROW

COMMON AREA

-121

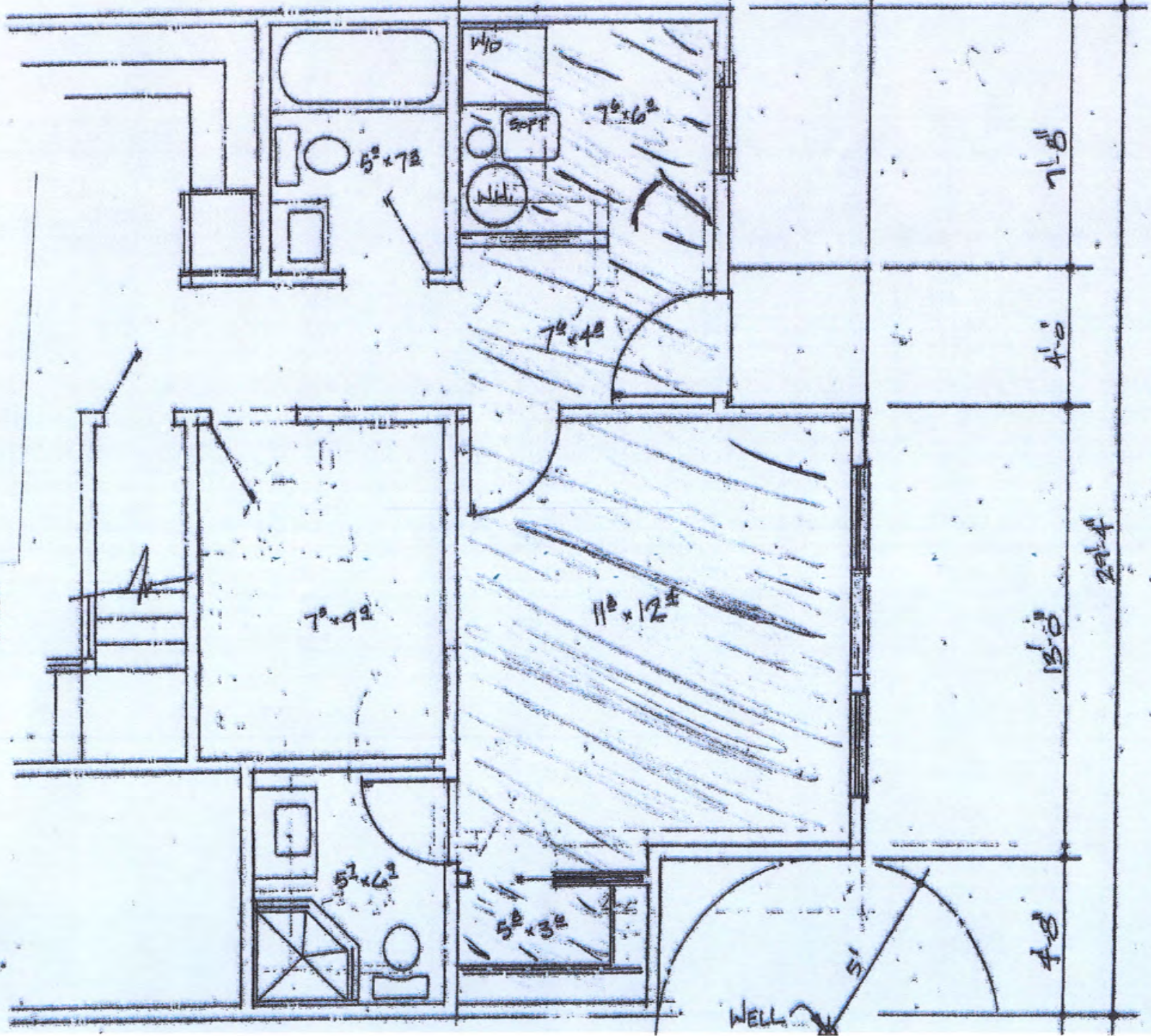
EXISTING RESIDENCE

Proposed Addition

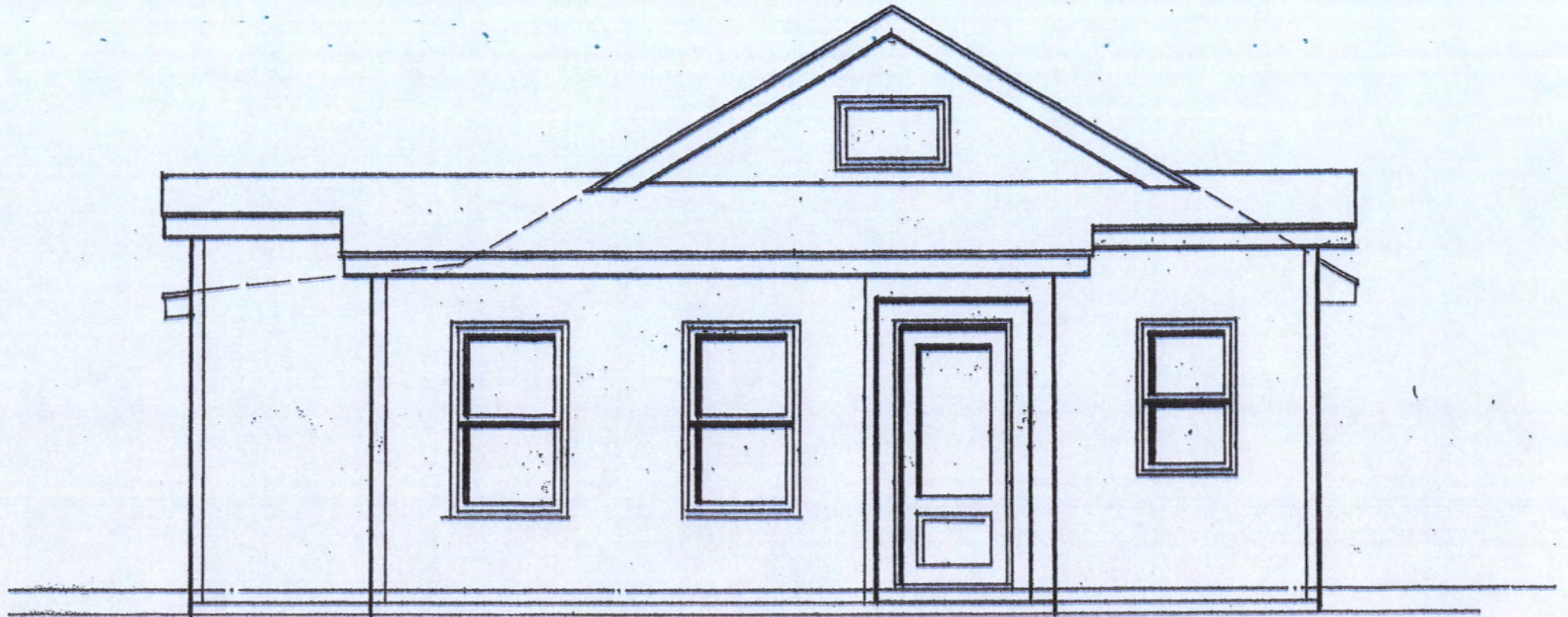
East

West

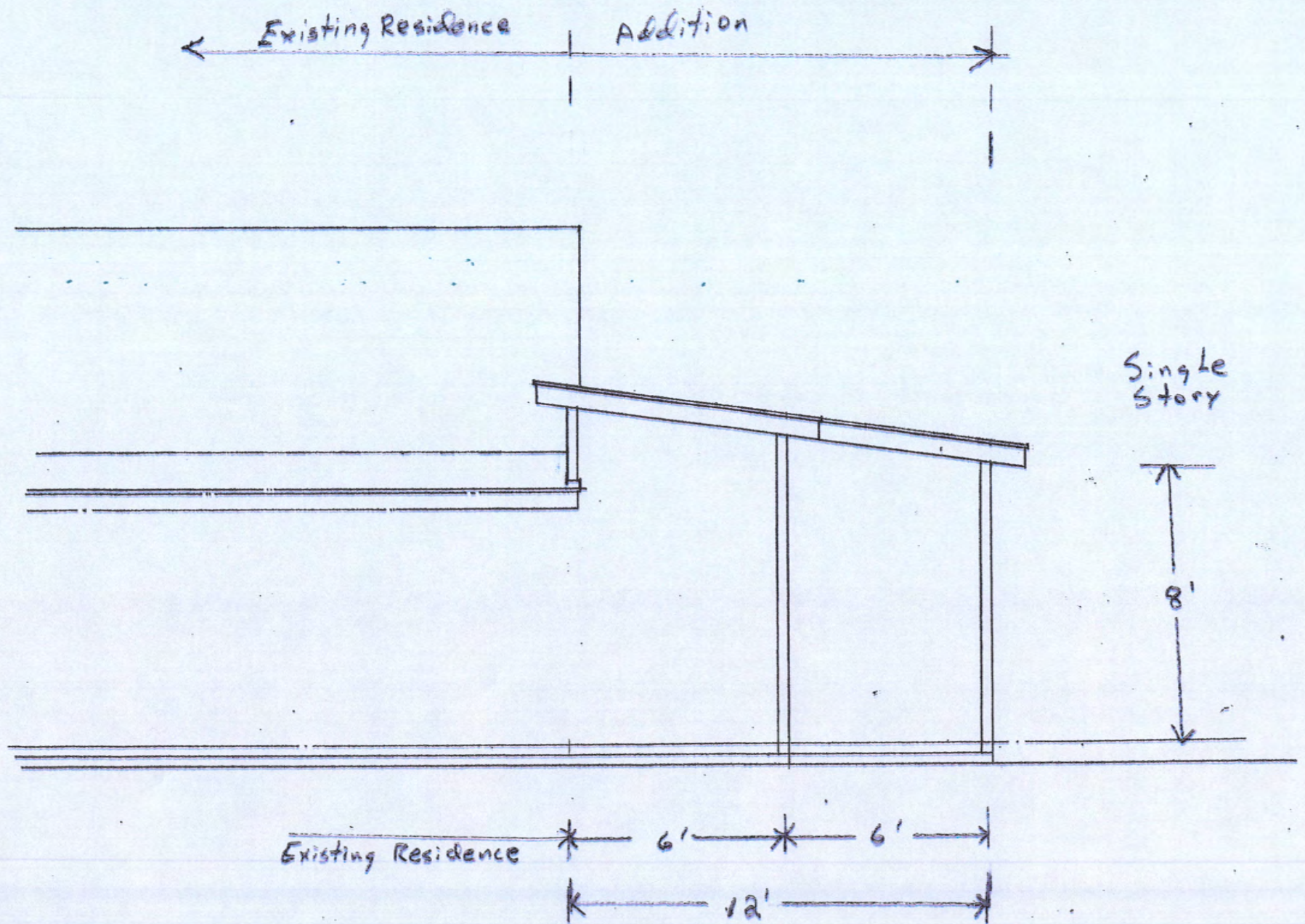
North



DANVILLE RESIDENCE
Proposed Addition
West View

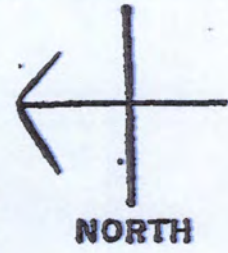


Danville Residence
North (side) view
Proposed Addition



ENGINEERS/ARCHITECTS
ANN ARBOR, MI 48108

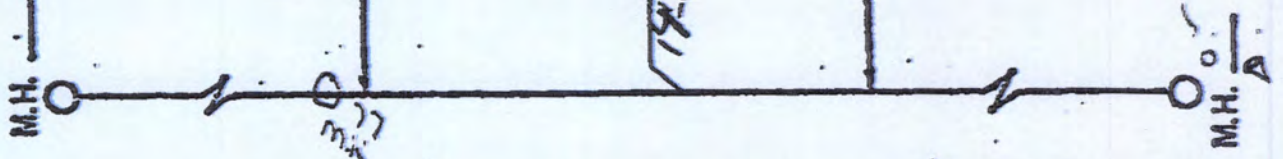
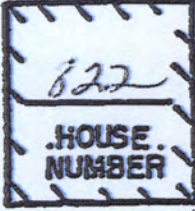
Owners name (if known) DANVILLE
Contacted home owner Yes ~ No
Was home owner involved in
location of service lateral YES



STREET NAME

STREET NAME

Lot Number 11-09-201-119
Approx. depth of lead at property
line S.D.



Complete this information

COMMENTS

- Basement or slab _____
- Distance from wye to downstream M.H. 0+59
- Location of house lead with three witnesses. (Show on dwg.) _____
- Size & type of lateral pipe 6" PVC SOR 26
- Type of Joint SOLVENT JOINT
- Length of riser pipe _____
- Was dewatering system used? NO
- Approximate depth of ground water? -

Date installed

8.7.2 SURRISE PK DR
Address

88-5-3 DIV-A
Contract Number

Inspector

TWP
City or Township

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
DANVILLE, CARLOS	DANVILLE DENNIS TRUST	0	11/28/2008	QC	09-FAMILY	2023R-022909	BUYER/SELLER	0.0		
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status
822 SUNRISE PARK		School: HOWELL PUBLIC SCHOOLS		Fence		07/13/2020		P20-106		
Owner's Name/Address		P.R.E. 0%		PORCH		10/07/2016		P16-198	NO START	
DANVILLE DENNIS TRUST 5442 GREENWAY DR TRENTON MI 48183-7206		MAP #: HEALY		WOOD DECK		07/01/2011		P11-080	NO START	
Tax Description		2024 Est TCV Tentative		Land Value Estimates for Land Table 4302.SUNRISE PARK						
SEC. 9 T2N, R5E, SUNRISE PARK LOT 107		X	Improved		Vacant	* Factors *				
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value						
		Dirt Road		B SURPLUS LF 50.00 102.00 1.0000 1.0000 1500 100 75,000						
		Gravel Road		H LKVIEW SURPLU 5.00 102.00 1.0000 1.0000 900 100 4,500						
		Paved Road		55 Actual Front Feet, 0.13 Total Acres Total Est. Land Value = 79,500						
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2024	Tentative	Tentative	Tentative		Tentative
		JB	04/18/2023	REVIEWED R	2023	39,800	64,100	103,900		47,189C
		JB	10/02/2020	INSPECTED	2022	34,800	53,300	88,100		44,942C
		JB	08/08/2017	INSPECTED	2021	42,400	42,100	84,500		43,507C

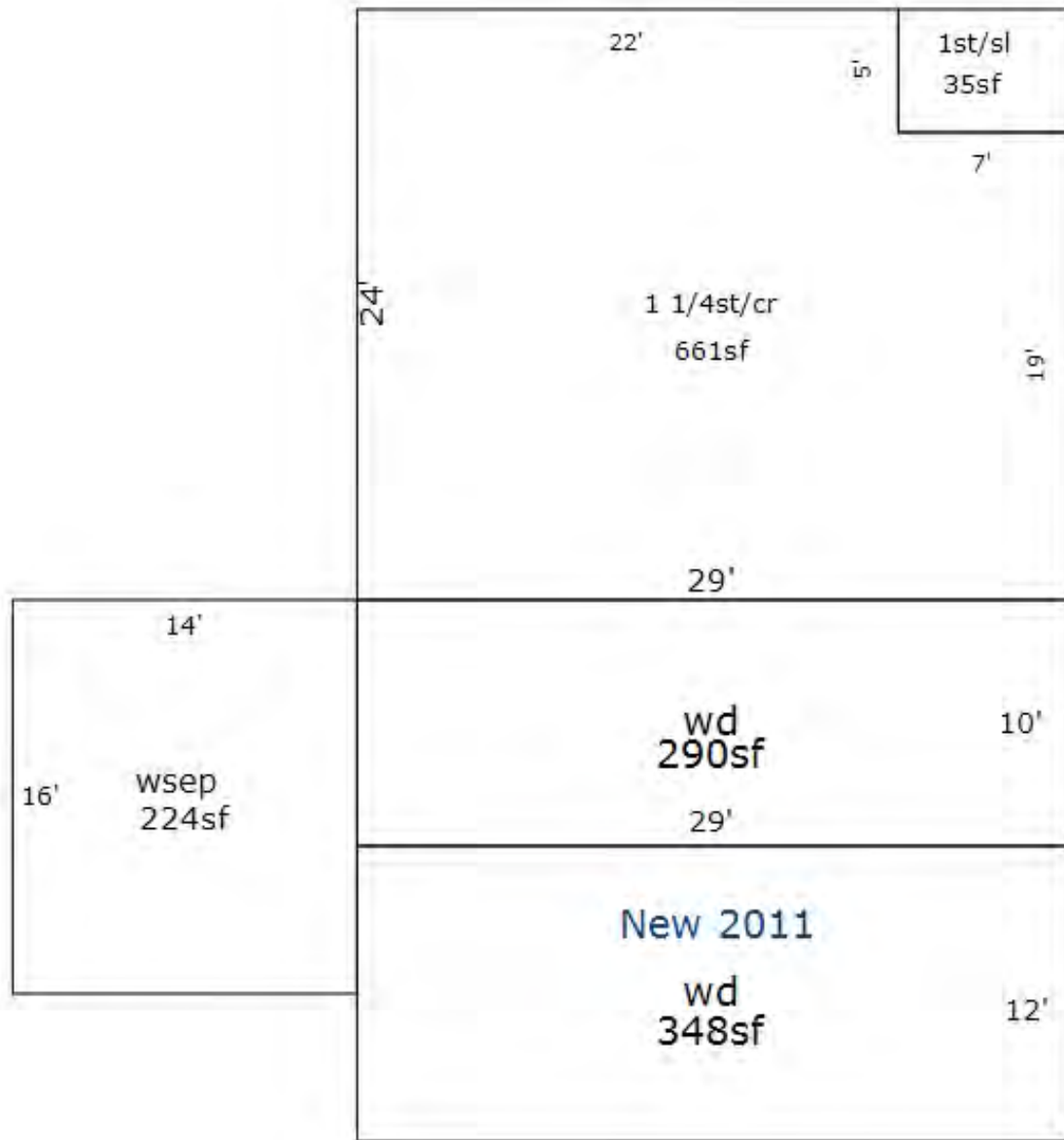


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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 224 290 348	Type WSEP (1 Story) Treated Wood Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling						Class: C Effec. Age: 35 Floor Area: 861 Total Base New : 152,796 Total Depr Cost: 104,327 Estimated T.C.V: 135,625			E.C.F. X 1.300 Bsmnt Garage: Carport Area: Roof:		
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration												
Yr Built 1945	Remodeled 0	Ex	X	Ord		Min	Size of Closets									
Condition: Good		Lg	X	Ord		Small										
Room List		Doors:		Solid	X	H.C.	Central Air Wood Furnace									
	Basement 1st Floor 2nd Floor 2 Bedrooms	(5) Floors		(12) Electric			0 Amps Service									
(1) Exterior		Kitchen: Other: Other:		No./Qual. of Fixtures			Ex. X Ord. Min			Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts Ground Area = 696 SF Floor Area = 861 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=65/100/100/100/65			Cls C		Blt 1945	
X	Wood/Shingle Aluminum/Vinyl Brick Insulation	(6) Ceilings		No. of Elec. Outlets			Many X Ave. Few			Building Areas						
(2) Windows		(7) Excavation		(13) Plumbing			Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Stories Exterior Foundation 1.25 Story Siding Crawl Space 1 Story Siding Slab			Size 661 35 Total: 116,504		Cost New Depr. Cost 75,727	
X	Many Avg. Few	X	Large Avg. Small	Basement: 0 S.F. Crawl: 661 S.F. Slab: 35 S.F. Height to Joists: 0.0						Other Additions/Adjustments Porches WSEP (1 Story) Deck Treated Wood Treated Wood Water/Sewer Public Sewer Water Well, 200 Feet			224 290 348 1 1 Totals: 152,796		11,650 5,548 6,250 1,568 11,276 104,327	
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor						Notes: ECF (4305 SUNRISE PARK NON LAKEFRONT) 1.300 => TCv:					1,019 7,329 104,327 135,625	
(3) Roof		(9) Basement Finish		(14) Water/Sewer												
X	Gable Hip Flat	Gambrel Mansard Shed	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)			1 Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic										
X	Asphalt Shingle	(10) Floor Support		Lump Sum Items:												
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:														

*** Information herein deemed reliable but not guaranteed***



FENCE - N/V



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
 (810) 227-5225 | FAX (810) 227-3420

Case # 24-02 Meeting Date: January 23, 2024 @ 3:30 pm in Boardroom
 PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Chew Land Management LLC Email: crawfordarbys@yahoo.com-Jamie Crawford

Property Address: 3639 E. Grand River Ave. Phone: 810-750-3423

Present Zoning: RCD Tax Code: 11-05-400-029

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Requesting a variance from the 50 Ft. rear yard setback.

Existing building, the north side is at 46.9 ft from property line, nonconforming by 3.1 Ft. Arby's remodel proposal is for a new entry

of 35 sf. Proposal for a new service bldg 364 sf to contain a new freezer & cooler. Both additions encroach upon the setback.

Entry by 3'-7" & service bldg by 3'-0 5/8".

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

This property & restaurant are from 1992 and satisfied the needs of the community. 31 years later the interior requirements for equipment size, type of food and BF restrooms can not be met. Trends in fast food have changed and require a larger space for an efficient service. The interior remodel will update to current barrier free requirements, thus a larger storage space is necessary.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The township ordinance for parking and driveway sizes has changed in 31 years. Currently cars are larger and the drive thru needs are greater than sit in dining. This property shape & size barely allows for the current code for vehicle circulation. The north access driveway helps with flow, as well as the 2nd access from Grand River Ave.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The north side is currently vacant - thus NO impact. This variance will not result in negative public safety, comfort, morals or welfare of the township inhabitants.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This variance will greatly help the continued use of this restaurant. The exterior & interior remodel will increase the values of the adjacent properties, keeping the dedicated Arby's patrons in this neighborhood.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 12/19/20 Signature: Jan Crawford



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Planning Director
DATE: January 18, 2024

RE: ZBA 24-02

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#24-02
Site Address: 3639 E. Grand River Avenue
Parcel Number: 4711-05-400-029
Parcel Size: 1.095 Acres
Applicant: Chew Land Management, LLC. 3253 Owen Road, Fenton
Property Owner: Same as applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a rear yard setback variance to construct an addition to the existing Arby's Restaurant.
Zoning and Existing Use: RCD (Regional Commercial District) a drive through restaurant currently occupies the parcel.
Other: Public hearing was published in the Livingston County Press and Argus on Sunday December 3, 2023 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing restaurant was constructed in 1992.
- In 2023, applicant submitted an application to the Planning Commission for the proposed addition and elevation revisions.
- January of 2024, the applicant was before the Planning Commission for the project and it was tabled for further information. See attached minutes.
- The parcel is serviced by public sewer and water.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

Summary

The applicant is requesting a rear yard setback variance to construction a 364 sq. ft. addition. The applicant is currently in the process of seeking Planning Commission approval for the proposed addition and elevation revisions. The ZBA application does not require Planning Commission approval prior to rendering a decision.

The existing building currently has a non-conforming rear yard setback. Staff could not determine if ZBA approval was granted for the current location of the existing building. When determining the setback variance request, staff determined the setbacks from the existing building location.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 7.03.01

DIMENSIONAL STANDARDS – COMMERCIAL DISTRICTS DIMENSIONAL STANDARDS (RCD)

COMMERCIAL STRUCTURE	Rear Yard Setback Service Building	Rear Yard Setback New Entry
Required Setbacks	50'	50'
Setback Amount	46.9	43'4"
Variance Amount	3.1'	6'8"

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning ordinance would prevent the applicant from constructing the proposed addition. Granting of the variance would provide substantial justice since there are other commercial buildings with reduced setbacks in the vicinity.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is a non-conforming and irregular shaped lot that reduces the depth of the building envelope and location of existing building. The variance amount seems to be the least amount necessary and is not self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood – The proposed variance would have no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood since the home is proposed to be constructed within the same footprint of the existing home and previously approved addition.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Must receive Planning Commission approval prior to land use permit issuance.

2. The applicant proposes the inclusion of multiple bright colors on the mainly white and red building.
3. He asked the applicant to confirm that no changes to building materials are proposed. Mr. Shwartz stated the building materials will not change.
4. He asked the applicant to confirm that the changes are only proposed to the front and west side of the building. Mr. Schwartz stated if their proposal is approved, they would like to change the other two sides.
5. Section 12.01.05 requires that building colors “relate well and be harmonious with the surrounding area” and that “subtle earth tone colors shall be used.”
6. In his opinion, the proposed façade changes do not meet the requirements of the Zoning Ordinance.

Vice-Chairman Rauch noted that the addition of a red fence next to the outdoor seating is also being proposed.

The call to the public was made at 6:40 pm with no response.

Commissioner Dhaenens stated the fluorescent colors are too bright. They should be toned down. He will not be able to support this as presented. He would like to see a different proposal.

Vice-Chairman Rauch stated that the Township’s zoning ordinance states a consistent design throughout the area, which includes earthtones and clean lines. He is not in support of the proposal as presented. He also noted that he is not in favor of the existing red accents on the building.

Commissioner McCreary agrees.

Commissioner McBain stated this would be a great design for a downtown area. There are other ways to accent the building with different colors.

Mr. Schwartz asked if he could propose different designs for the township to review. Mr. Rauch advised him to contact Ms. Ruthig.

Moved by Commissioner Dhaenens, supported by Commissioner Rassel, to table the review of the sketch plan dated December 7, 2023 for façade revisions to the existing Dave’s Hot Chicken Restaurant located at 3667 E. Grand River Avenue, to allow the applicant to meet with township staff to develop other designs. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby’s Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby’s.

- A. Recommendation of Environmental Impact Assessment (12-13-23)
- B. Recommendation of Site Plan (12-13-23)

Mr. Jamie Crawford, the owner, and Ms. Cheryl Ball, the architect, were present. Ms. Ball stated Arby's Corporate is requiring them to update the interior and exterior of the building. She provided the site plan, showing the new location of the entrance drive. She presented colored renderings. They have applied for a variance from the ZBA for the rear yard setback.

With regard to Mr. Borden's letter addressing the excessive EIFS, she has a revised proposal to reduce it to 31.4 percent, which is closer to the 25 percent limit.

Mr. Borden reviewed his letter dated January 2, 2024.

1. The building materials include an excessive amount of EIFS and he noted Ms. Ball's comments this evening.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. The required drive-through stacking spaces block circulation at the main drive aisle. Alternatives should be explored to mitigate this condition.
4. The plan is deficient on parking spaces so the applicant must provide the Township with a shared parking agreement to address this deficiency. He suggests the parallel spaces be removed from the plan.
5. He suggests additional shrubs be provided to create a hedgerow that better screens the front yard parking spaces.
6. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
7. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
8. The petitioner is requesting two wall signs, where one is permitted. The Planning Commission may allow a second wall sign.
9. He is requesting the applicant amend the sign detail to note that the existing nonconforming pole sign will be removed and replaced with a monument sign.
10. The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated January 3, 2024.

1. Approval from the Brighton Area Fire Authority should be provided prior to site plan approval, which has been obtained.
2. A detail should be provided for the proposed parking stripping.

The Brighton Area Fire Authority Fire Marshal's letter dated December 20, 2023 stated that he has no outstanding concerns.

Vice-Chairman Rauch understands that the Arby's brand has changed since this building was built and this site is a challenge to meet those changes. He asked if there is a possibility to swap this property with some property to the rear. Mr. Crawford stated he did approach the owner of the shopping center; however, their cost for the property was too high.

There was a discussion regarding the drive thru stacking. Mr. Crawford advised there are issues sometimes, but the cars needing to back out of a space wait for the drive thru car to move forward.

Commissioner Dhaenens agrees with Vice-Chairman Rauch's idea of the land swap. He would like the Township to be involved in the conversation between the petitioner and the land owner. Mr. Crawford stated he needs to meet the spring 2024 deadline from Arby's corporate.

Commissioner McCreary also agrees with Vice-Chairman Rauch's idea. It is a forward thinking idea and could be a positive for the applicant, the property owner, and the township.

Vice-Chairman Rauch asked the commissioners their opinions on the current issues with the existing site, such as the parking, drive thru stacking, etc. Mr. Borden stated it is always the desire to improve sites; however, the parking issues are minor and if they do not pose problems at this time, he recommends allowing them to remain. All commissioners agreed to allow the existing angled parking, but the parallel parking must be removed.

The call to the public was made at 7:33 pm with no response.

Ms. Ball stated that she will comply with all the requirements in Mr. Borden's review letter.

After a discussion regarding the outstanding issues, the commission and the applicant decided to table the item this evening.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to table the review of an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue to allow the applicant to address the feedback this evening regarding the amount of EIFS, the drive-thru stacking, the possibility of a shared parking agreement, plantings, and to contact staff to facilitate a discussion between the applicant, the township, and the property owner. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3... Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (10-31-23)
- B. Recommendation of Site Plan (12-18-23)

Mr. Patrick Cleary of Boss Engineering, Mr. Russ Springborn, the owner, and Mr. Dave Richardson of Lindhout & Associates, the architect, were present.

PROJECT TEAM

FRANCHISE OWNER: CHEW LAND MANAGEMENT LLC 111 EAST COURT ST STE 2C3, FLINT MI 48502. ALT. ADDRESS: LAKE FENTON MGMT PH # 810-750-3423. CrawfordArbys @ Yahoo.com

ARCHITECTURE DESIGNER: C BALL DESIGN LINDEN, MI 810-853-0451 CBallDesign@aol.com

ARCHITECT: KIM PROCUNIER LIC# 1301029125 ADDRESS: 3540 WEST RIVER RD, SANFORD, MI 48657. PH# 415-310-6884, PROLINE8@JUNO.COM

GENERAL CONTRACTOR: RICH SIMMONS, MICHIGAN ROOFING INC, 8465 SOUTH AIRPORT RD DEWITT, MI 48820 PH# 517-719-8017 , rdsimmons34@yahoo.com

DECOR FINISH COMPANY: CHI CHARTER HOUSE , KEITH LIEBERT, PH#248-996-0315

KITCHEN EQUIPMENT SUPPLIER: JOE VANCE TRIMARK, joe.vance@trimarkusa.com

JURISDICTION & CODE

GENOA TOWNSHIP - UNIT 4711. COMMERCIAL -IMPROVED CLASS. HOWELL PUBLIC SCHOOLS. ZONING CODE: RCD, PARCEL #4711-05-400-029. TOTAL Acres 1.11. EXST BLDG = 1769 SF (SURVEY) + 364 SF = 2168 SF Proposed.

Current codes: 2015 MBC, 2017 MI Elec w/ Part 8 amend, 2015 Plumbing+Mechanical, 2015 Int'l Fire Code

STATE OF MI 2015 BLDG - USE GROUP A-2 (ASSEMBLY) TYPE OF CONSTRUCTION: 5B (MBC TABLE 601) OCC LOAD MBC 2015 Assembly w/o fixed seats: 15 net, 1004.4. After remodel seats = 34 EGRESS: 1006.2.1 - based on OCC load and common path of travel- 2 Req'd & 2 Exits provided

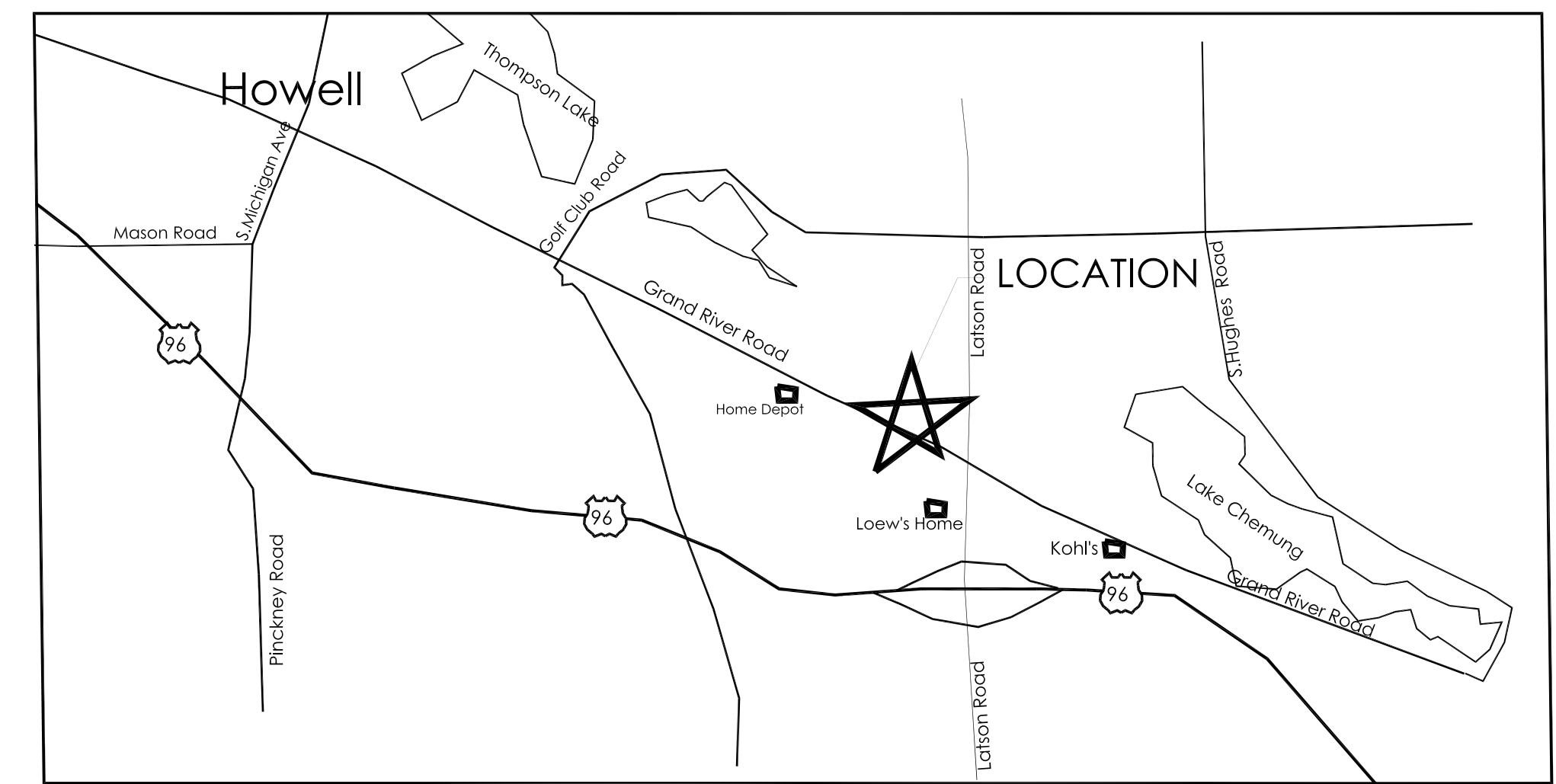
PLUMBING 2015: Fixtures Table 2902.1 Revised as follows: A2 Restaurants; WC req'd = 1:75 M/F. Provide 1 WC each M/F. See dwg A1.2 DF req'd 1:500, provided 0 (exception)

ELECTRICAL 2017 & MECH 2015

M.E.&P.INSPECTIONS: Livingston County Building Department, contact (517) 546-3240

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan



LOCATION MAP

N.T.S.

DRAWING INDEX

DWG	2nd SPR	3 RD CORP REV	PERMIT REV
C1.0 - COVER SHEET INDEX SURVEY	12-18-23	05.17.23	08.09.23
CS.1 - REGISTERED SURVEY	12-13-23		
C-EX.1 - EXISTING & DEMO	12-13-23	05.17.23	08.09.23
C1.1 - SITE PLAN, CODE NOTES	12-13-23		08.09.23
C1.2 - ENLARGE SITE PLAN + DETAILS	12-13-23		08.09.23
C1.3 - ENLARGE SITE PLAN + DETAILS	12-18-23		08.09.23
C1.4 - PHOTOMETRICS	12-18-23		08.09.23
C1.5 - LANDSCAPE PLAN & DRAINAGE	12-13-23		
GENERAL			
G1.1 - ADA MOUNTING HEIGHTS			
G1.2 - ADA MOUNTING HEIGHTS			
EX1.1 - EXISTING PLAN & PICTURES		05.17.23	
D1.1 - DEMOLITION FLOOR PLAN	12-18-23	05.17.23	
A1.1 - NEW FLOOR PLAN	12-18-23	05.17.23	
A1.2 - RESTROOM & INTERIOR ELEVS		05.17.23	
A1.3 - FOUNDATION PLANS & DETAILS			
A1.4 - RCP + CEILING DETAILS			
A1.5 - F. F. & E		05.17.23	
EQ1.0 - EQUIPMENT PLAN		05.17.23	
EQ1.1 - EQUIPMENT SCHEDULE			
EX2.0 - EXISTING ELEVATIONS&PICTURES	12-18-23	05.17.23	
A2.1 - PROPOSED ELEVATIONS	12-13-23	05.17.23	
A2.2 - ELEVATION MATERIALS	12-13-23		
A3.0 - BUILDING SECTIONS			
E1.1 - ELECTRICAL INFORMATION			
M1.1 - MECHANICAL INFORMATION			

07.13.23 CORP FINAL APPROVAL
 08.09.23 Genoa Twp submit Land Use Permit - Livingston County review
 10-06-23 Genoa Twp submit SPR rev & 10-23-23 SPR
 12-13-23 2nd submit SPR review Genoa Twp

SHEET INDEX COVER DRAWING

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THE STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT ONLY AS SHOWN. CONDITIONS DISCREPANCIES THIS REPRESENTS PRESENT ONLY AS SHOWN. CONDITIONS

Arby's Store #6081 Exist 1992
 model: 179 1/2094/3093
 Contact: JOE /JAMIE CRAWFORD: 810-750-3423
 CRAWFORDARBYS@YAHOO.COM

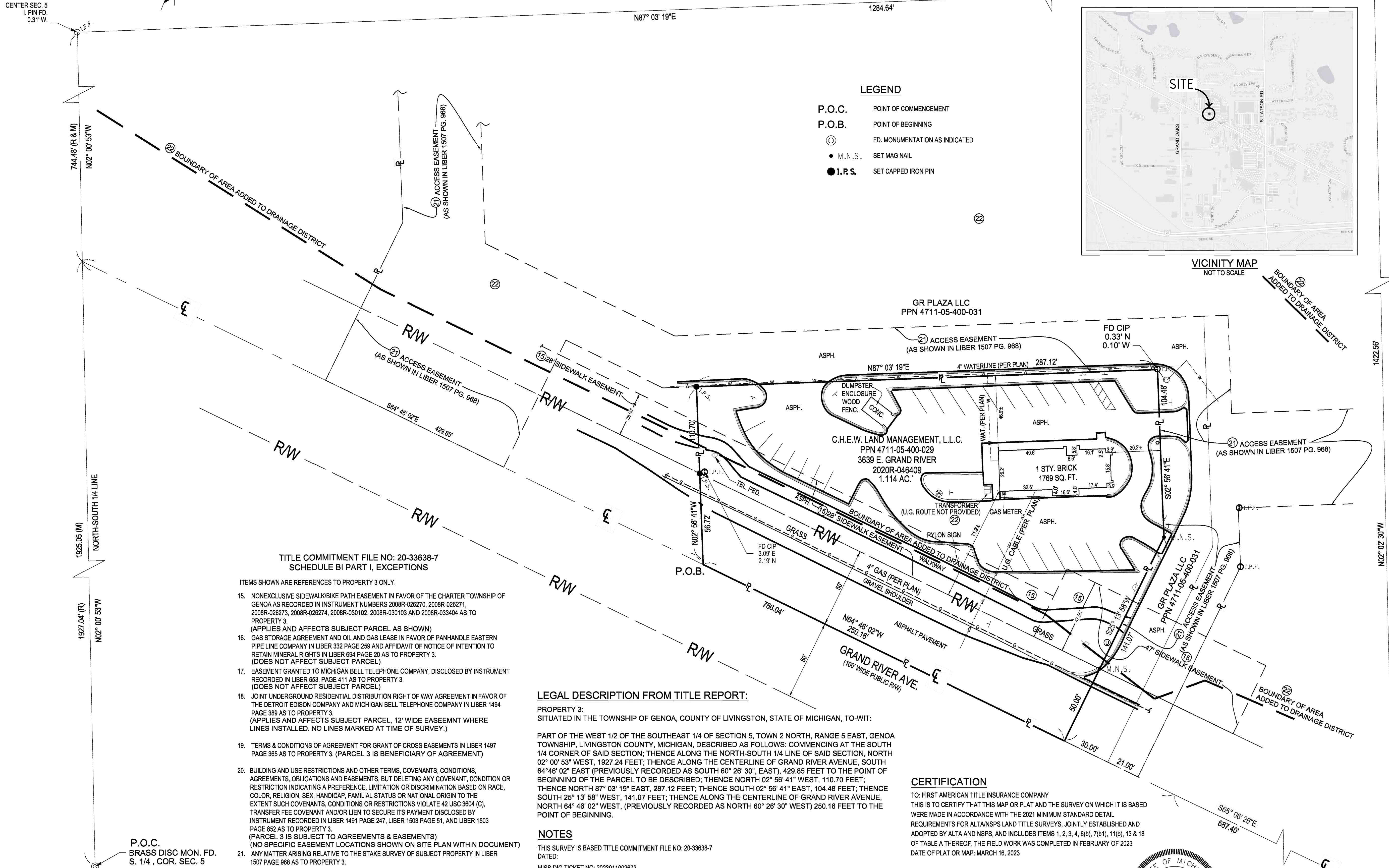
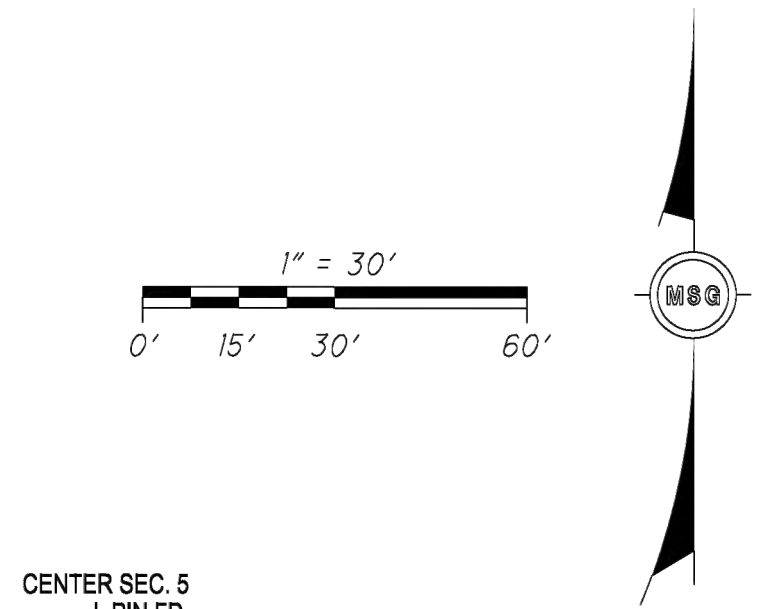
PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
 Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	10-11-23	owner SPR review
5	08-09-23	Permit submit Genoa Livingston
4	07-18-23	Arch review
3	04-18-23	Arch review
2	02-24-23	Sub's Review
1	02-15-23	Owner GC Review
8	12-18-23	ZBA print submittal
7	10-23-23	print for SPR

DRAWN BY: C. BALL
 DATE: 01-28-21
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
C 1.0

ALTA / NSPS LAND TITLE SURVEY OF PART OF THE W 1/2 OF THE SE 1/4 OF SEC. 5, TOWN 2 NORTH, RANGE 5 EAST GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LEGEND

P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
○ FD. MONUMENTATION AS INDICATED
● M.N.S. SET MAG NAIL
● I.R.S. SET CAPPED IRON PIN



- TITLE COMMITMENT FILE NO: 20-33638-7
SCHEDULE BI PART I, EXCEPTIONS
- ITEMS SHOWN ARE REFERENCES TO PROPERTY 3 ONLY.
15. NONEXCLUSIVE SIDEWALK/BIKE PATH EASEMENT IN FAVOR OF THE CHARTER TOWNSHIP OF GENOA AS RECORDED IN INSTRUMENT NUMBERS 2008R-026270, 2008R-028271, 2008R-026273, 2008R-026274, 2008R-030102, 2008R-030103 AND 2008R-033404 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL AS SHOWN)
 16. GAS STORAGE AGREEMENT AND OIL AND GAS LEASE IN FAVOR OF PANHANDLE EASTERN PIPE LINE COMPANY IN LIBER 332 PAGE 259 AND AFFIDAVIT OF NOTICE OF INTENTION TO RETAIN MINERAL RIGHTS IN LIBER 694 PAGE 20 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 17. EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 653, PAGE 411 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 18. JOINT UNDERGROUND RESIDENTIAL DISTRIBUTION RIGHT OF WAY AGREEMENT IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY IN LIBER 1494 PAGE 388 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL, 12' WIDE EASEMENT WHERE LINES INSTALLED. NO LINES MARKED AT TIME OF SURVEY.)
 19. TERMS & CONDITIONS OF AGREEMENT FOR GRANT OF CROSS EASEMENTS IN LIBER 1497 PAGE 365 AS TO PROPERTY 3. (PARCEL 3 IS BENEFICIARY OF AGREEMENT)
 20. BUILDING AND USE RESTRICTIONS AND OTHER TERMS, COVENANTS, CONDITIONS, AGREEMENTS, OBLIGATIONS AND EASEMENTS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604 (C), TRANSFER FEE COVENANT AND/OR LIEN TO SECURE ITS PAYMENT DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1491 PAGE 247, LIBER 1503 PAGE 51, AND LIBER 1503 PAGE 852 AS TO PROPERTY 3. (PARCEL 3 IS SUBJECT TO AGREEMENTS & EASEMENTS)
 21. ANY MATTER ARISING RELATIVE TO THE STAKE SURVEY OF SUBJECT PROPERTY IN LIBER 1507 PAGE 968 AS TO PROPERTY 3. (ACCESS EASEMENT DESCRIBED IN DOCUMENT, BENEFITS PARCEL AS SHOWN, GRANTED IN DECLARATION OF RESTRICTIONS SEE ITEM 20.)
 22. EASEMENT GRANTED TO LIVINGSTON COUNTY DRAIN COMMISSIONER, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1519 PAGE 654 AS TO PROPERTY 3. (SUBJECT PARCEL IS PART OF THE ADDED DRAINAGE DISTRICT AS SHOWN)
 23. TERMS & CONDITIONS OF THAT CERTAIN WARRANTY DEED AS RECORDED IN LIBER 2893, PAGE 10, LIVINGSTON COUNTY RECORDS, ASSAME PERTAIN TO THE TRANSFER OF DIVISIONS UNDER SECTION 109(3) OF THE SUBDIVISION CONTROL ACT OF 1967, AS AMENDED AS TO PROPERTY 3. (SUBJECT TO 0 DIVISIONS GRANTED)

LEGAL DESCRIPTION FROM TITLE REPORT:

PROPERTY 3:
SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, TO-WIT:

PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION, NORTH 02° 00' 53" WEST, 1927.24 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, SOUTH 64° 46' 02" EAST (PREVIOUSLY RECORDED AS SOUTH 60° 26' 30" EAST), 429.85 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE NORTH 02° 56' 41" WEST, 110.70 FEET; THENCE NORTH 87° 03' 19" EAST, 287.12 FEET; THENCE SOUTH 02° 56' 41" EAST, 104.48 FEET; THENCE SOUTH 25° 13' 58" WEST, 141.07 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, NORTH 64° 46' 02" WEST, (PREVIOUSLY RECORDED AS NORTH 60° 26' 30" WEST) 250.16 FEET TO THE POINT OF BEGINNING.

NOTES

THIS SURVEY IS BASED TITLE COMMITMENT FILE NO: 20-33638-7
DATED:
MISS DIG TICKET NO: 2023011002873

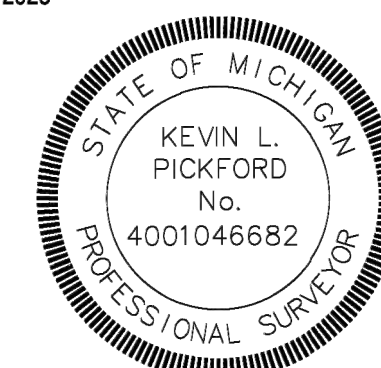
BASIS OF BEARING - N02° 00' 53"W ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 5, FOR THE PURPOSE OF SHOWING ANGULAR MEASUREMENTS ONLY.

FLOOD ZONE - FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 26093C0309D DATED 9/17/2008 INDICATES THAT THIS PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD)
THIS WAS DETERMINED BY GRAPHIC PLOTTING ONLY.


CERTIFICATION

TO: FIRST AMERICAN TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(b), 11(b), 13 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN FEBRUARY OF 2023
DATE OF PLAT OR MAP: MARCH 16, 2023

KEVIN L. PICKFORD, P.S.
LICENSED PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 4001046682
DATE: MARCH 16, 2023
JOB NUMBER: L3750003



REGISTERED SURVEY
PLOT SCALE: 1"=30'-0"

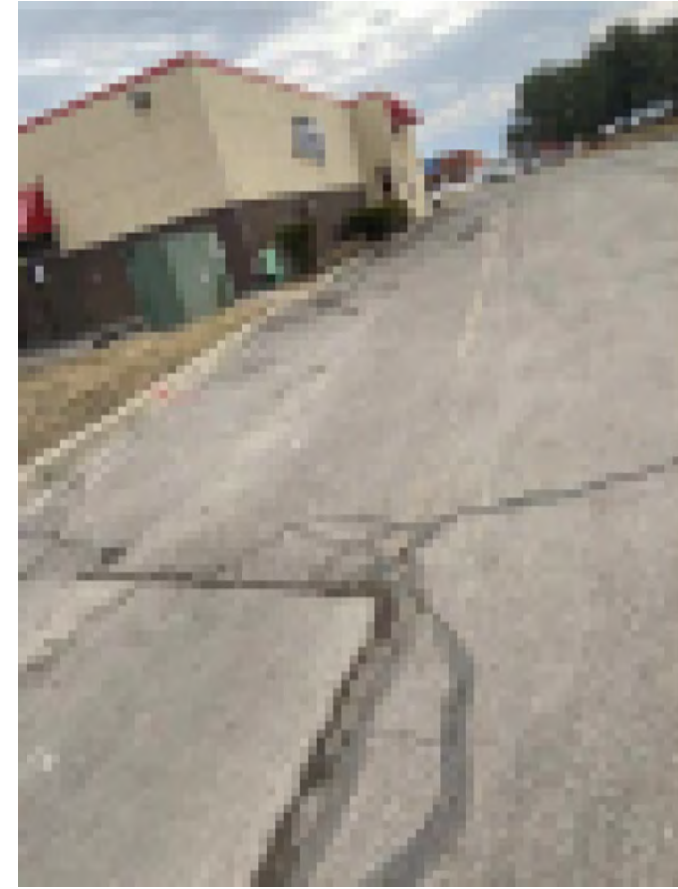
<p>1800 INDIAN WOOD CIRCLE ANN ARBOR MI 48106 TEL: 419.891.2222 FAX: 419.891.1595</p> <p>PROJECT DATE: 01/24/2023 PROJECT NO: L3750003 DRAWN BY: JDB/PCW</p>	<p>NO. _____ DATE _____ BY _____</p> <p>DESCRIPTION _____</p>	<p>NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS PRIOR TO THIS REPRESENTATION DAY AS BUILTS CONDITIONS.</p> <p>Arby's Store #6081 Exist 1992 model: 179 1/2094/3093 Contact: JOE /JAMIE CRAWFORD: 810-750-3423 CRAWFORDARBYS@YAHOO.COM</p>	<p>REGISTERED SURVEY</p>																		
		<p>PROPOSED RENOVATION FOR: ARBYS HOWELL GRAND RIVER</p> <p>Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843 Livingston County - Genoa Township Michigan</p>																			
<p>PREPARED FOR: LAKE FENTON MANAGEMENT FENTON, MICHIGAN</p>		<p>3639 EAST GRAND RIVER AVE., HOWELL MICHIGAN</p>																			
<p>C.H.E.W. LAND MANAGEMENT, L.L.C.</p>		<p>ALTA / NSPS LAND TITLE SURVEY</p>																			
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>12-13-23</td> <td>2nd submit SPR</td> </tr> <tr> <td>2</td> <td>10-23-23</td> <td>print for SPR</td> </tr> <tr> <td>1</td> <td>10-04-23</td> <td>Review for SPR</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	5			4			3	12-13-23	2nd submit SPR	2	10-23-23	print for SPR	1	10-04-23	Review for SPR	<p>DRAWN BY: C. BALL DATE: 08.12.23 JOB NUMBER: APPROVED BY:</p>	
REV	DATE	DESCRIPTION																			
5																					
4																					
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1	10-04-23	Review for SPR																			
<p>1</p>		<p>1</p>																			
<p>CS.1</p>		<p>SHEET NUMBER:</p>																			



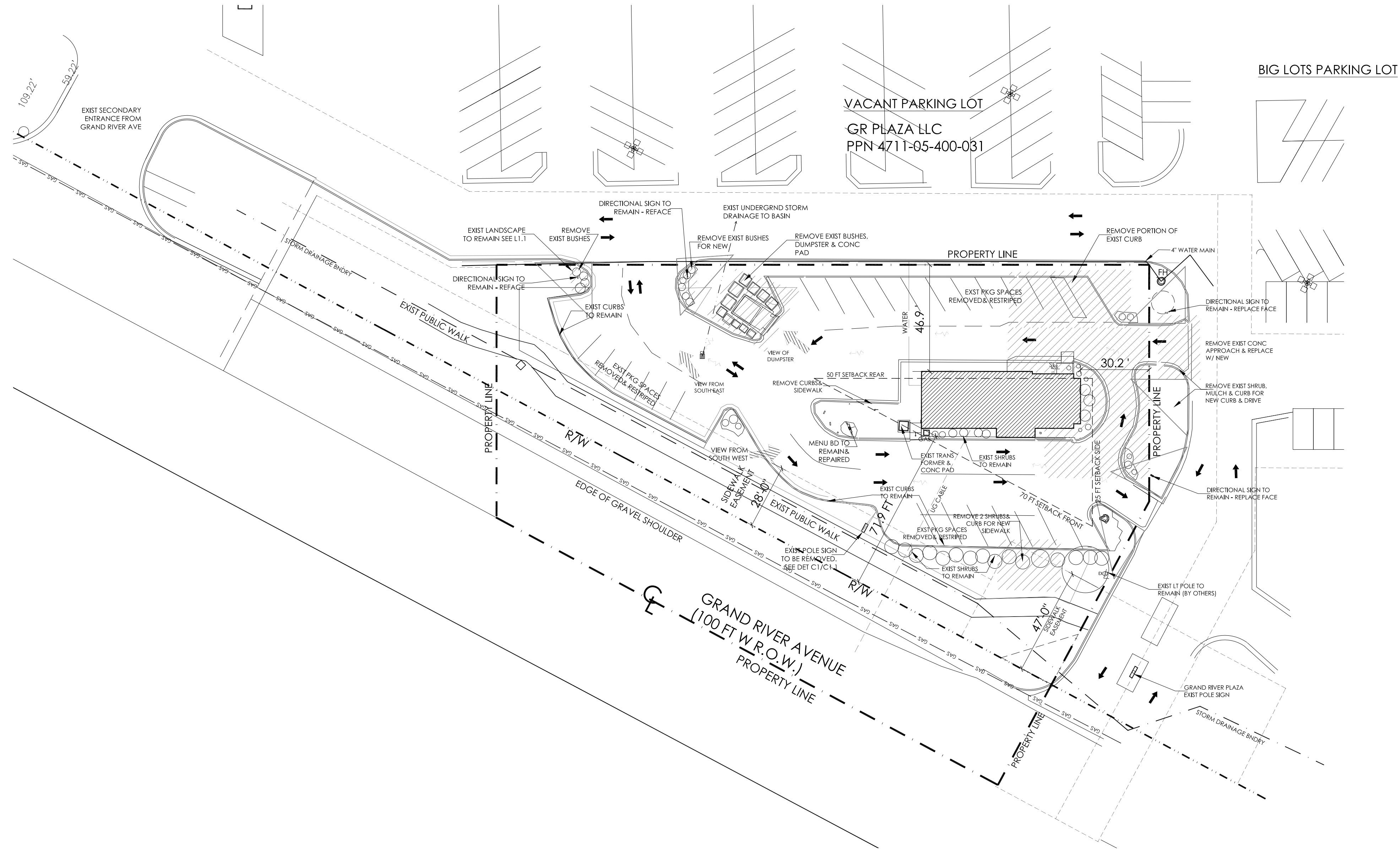
VIEW OF DUMPSTER



VIEW FROM SOUTH EAST



VIEW FROM SOUTH WEST



SITE EXISTING & DEMOLITION

SCALE: 1" = 30'-0"

OWNER & G.C. SHALL FIELD CHECK EXISTING CONDITIONS FOR FURTHER DIRECTION OF DEMOLITION

G.C. SHALL VERIFY WITH OWNER ALL ITEMS TO BE REMOVED & REUSED - OR DISPOSED OF.

EXAMPLE: EXISTING LANDSCAPE MATL. TO BE REUSED AS CONDITION PERMITS. SEE NEW LANDSCAPE PLAN - C1.5

EXISTING UTILITIES: SEE SURVEY PLAN. MHOG WATER, OSCEOLA COUNTY; SEWER (NO EXISTING SITE RECORDS OF SEWER) INFORMATION PROVIDED BY GREG TATARA: DIRECTOR OF UTILITIES - GREG@MHOG.ORG. GRAND RIVER PLAZA DEVELOPMENT - 1991, 2007 & 2009

811 CALL BEFORE YOU DIG!
1-800-482-7171

SITE EXISTING
SITE DEMO



VIEW FROM EAST



VIEW FROM SOUTH EAST

VIEW FROM SOUTH EAST

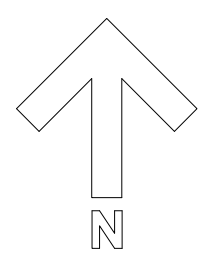
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS IN THIS REPRESENTATION FOR ANY DISCREPANCIES. THIS REPRESENTATION IS PRESENTED AS A GUIDE ONLY.
Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	10-23-23	print for SPFR			
5	10-11-23	owner review for SPFR			
4	08-08-23	permit submit Genoa Livingston			
3	07-18-23	Arch review			
2	07-06-23	Photometrics			
1	06-21-23	Prelim landscape, lighting	7	12-13-23	2nd submit SPFR

DRAWN BY: C. BALL
DATE: 06-15-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
**C-EX
1.0**



PARKING INFO

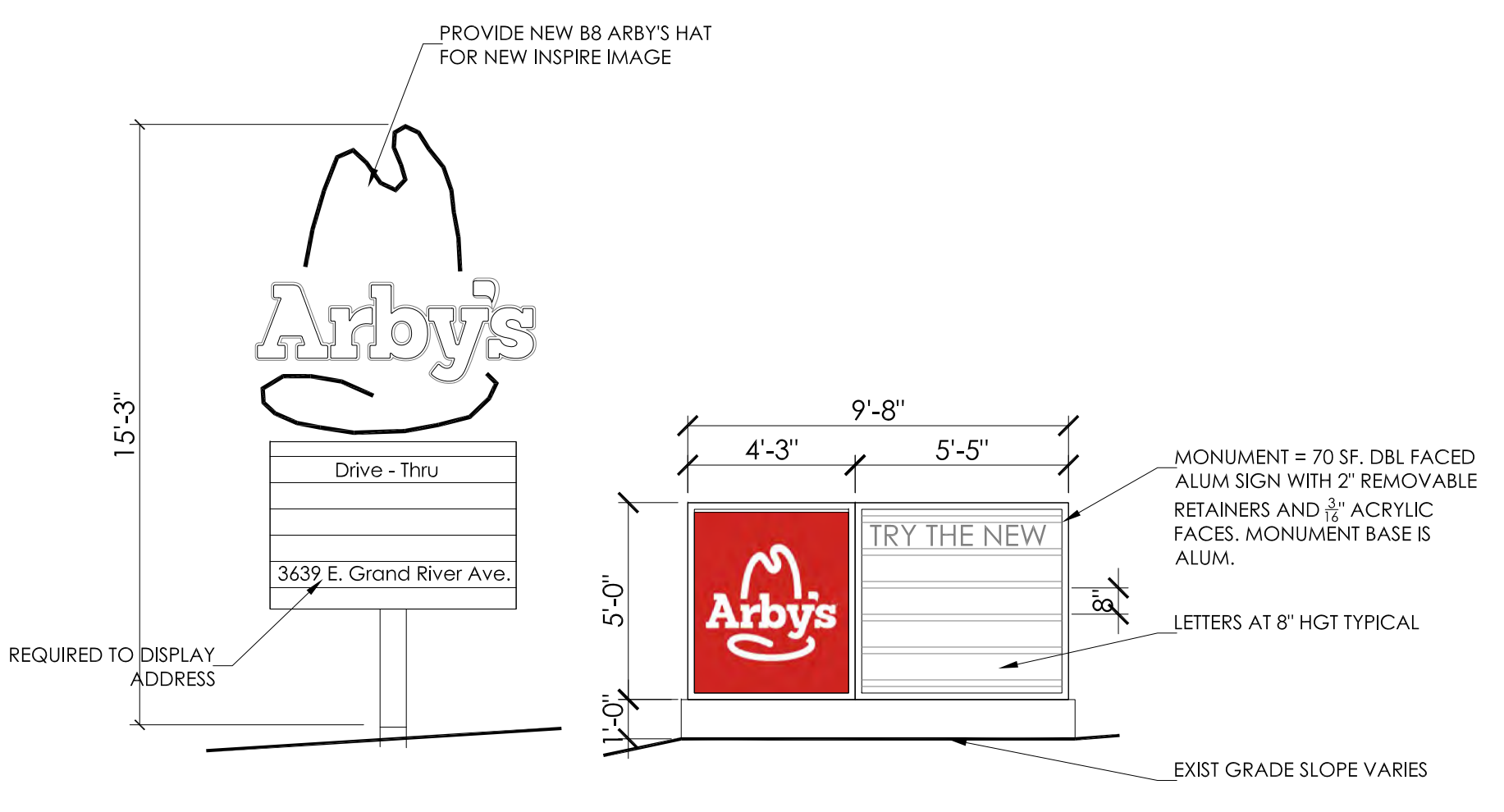
Parking Standards: ART 14.05.BF: 21 spaces provided requires 1 BF space: 12 ft x space length, ART 14.06.04 angled 30 deg = 9 ft x 21 ft. Drive by aisle one way = 15 ft. ART 14.06.05 Stacking size 9 ft x 20 ft. ART 14.06.07 loop stripe at 3-4" wide and 18-24" apart. Required parking spaces:

REQUIREMENTS FOR PARKING: GENOA TWP ZONE - RCD/GCD GENERAL COMMERCIAL DISTRICT. ART 14.04	REQD	PROVIDED:
Drive-in Restaurant 1 space for each employee in addition to spaces for customers of service stations, plus any parking required for indoor seating	4-5 spc	Provided 5 sp
Drive-through restaurant 1 space per 70 sq. ft. gross leasable floor area or 0.5 spaces per seat, whichever is greater, plus 3 designated drive-through short term waiting spaces, plus 10 stacking spaces for drive through service, plus at least 2 longer spaces designated for recreational vehicles and semi-trucks	34 seats / 2 = 17 spaces	Provided: 16 pkg sps, 10 Stacking + 2 order waiting sps. Additional: 2 long parallel spaces provided on vacant lot to the north.
Employee can park in lot to the north when a scheduled delivery with truck occurs. Or a dedicated schedule for deliveries can be arranged. Additional 2 longer spaces for truck & recreational spaces provided north side.		

NOT USED

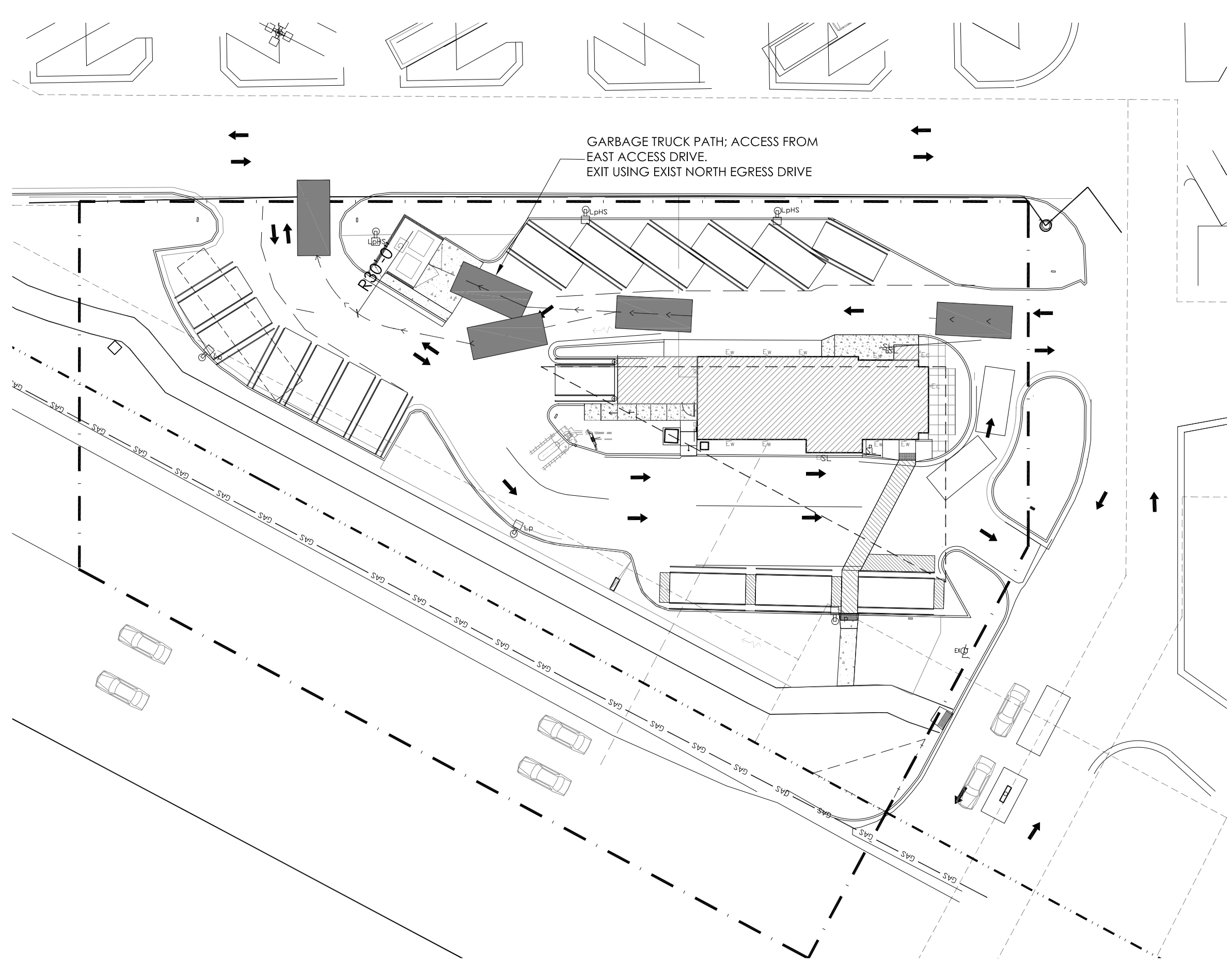
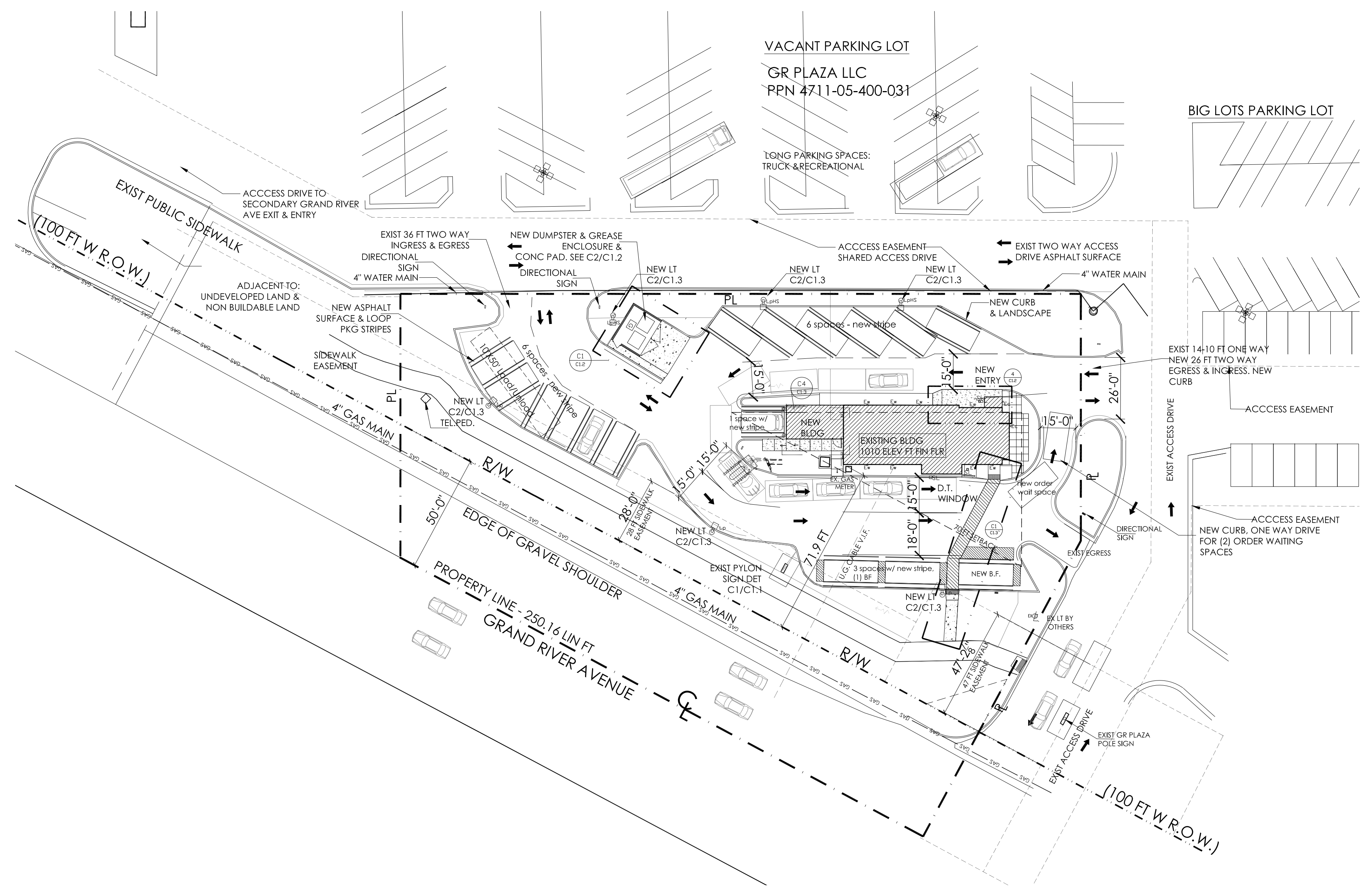


EXISTING ROAD SIGN
ALONG GRAND RIVER AVE.



SIGN DETAIL
SCALE: 1/4" = 1'-0"

SIGN PERMITTING THROUGH GENOA TWP OFFICE. INTENT IS TO PROVIDE NEW MONUMENT SIGN AT SAME LOCATION. BUILDING SIGN INFO SEE ELEVATION A2.1. EXIST SURVEY & NEW BY DESIGN TEAM SIGN COMPANY LLC.



VEHICLE CIRCULATION PLAN

SCALE: ENGINEERING: 1" = 30'-0"
GARBAGE TRUCK PATH: ACCESS FROM EAST ACCESS DRIVE. EXIT USING EXIST NORTH EGRESS DRIVE
GARBAGE TRUCK (FRONT LOADER) SIZE: 22'-10 1/2" L X 9'-10" W. CAP OF 40 YARDS.
REQD MIN 50 FT STRAIGHT ACCESS IN FRONT OF DUMPSTER - PROVIDED.
TURNING RADIUS OF 28 FT FOR inside front tire, 34.5 FT for outside front tire. With 4 FT bumper ovhg

SITE PLAN

SCALE: ENGINEERING: 1" = 30'-0"
1) SURVEY SUPPLIED BY MANNIK SMITH T. JOHNSON
2) SURVEY DRAWING ON CS.1
3) BLDG AREA PER SURVEY 1769 SF + NEW ENTRY 35 SF + NEW COOLER BLDG 324 = (359), TOTAL 2128 NEW GROSS SF
OWNER'S: JOE & JAMIE CRAWFORD; CHEW LAND MANAGEMENT LLC- 111 EAST COURT STREET STE 2C3 FLINT, MI 48802
PROPERTY COMMERCIAL
UNIT: 4711 GENOA CHARTER TOWNSHIP
PARCEL ID: 4711-05-400-029
PREV DEV 12-05-1990 - HOWELL SHOPPING CENTER

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-9423
CRAWFORDARBY@YAHOO.COM

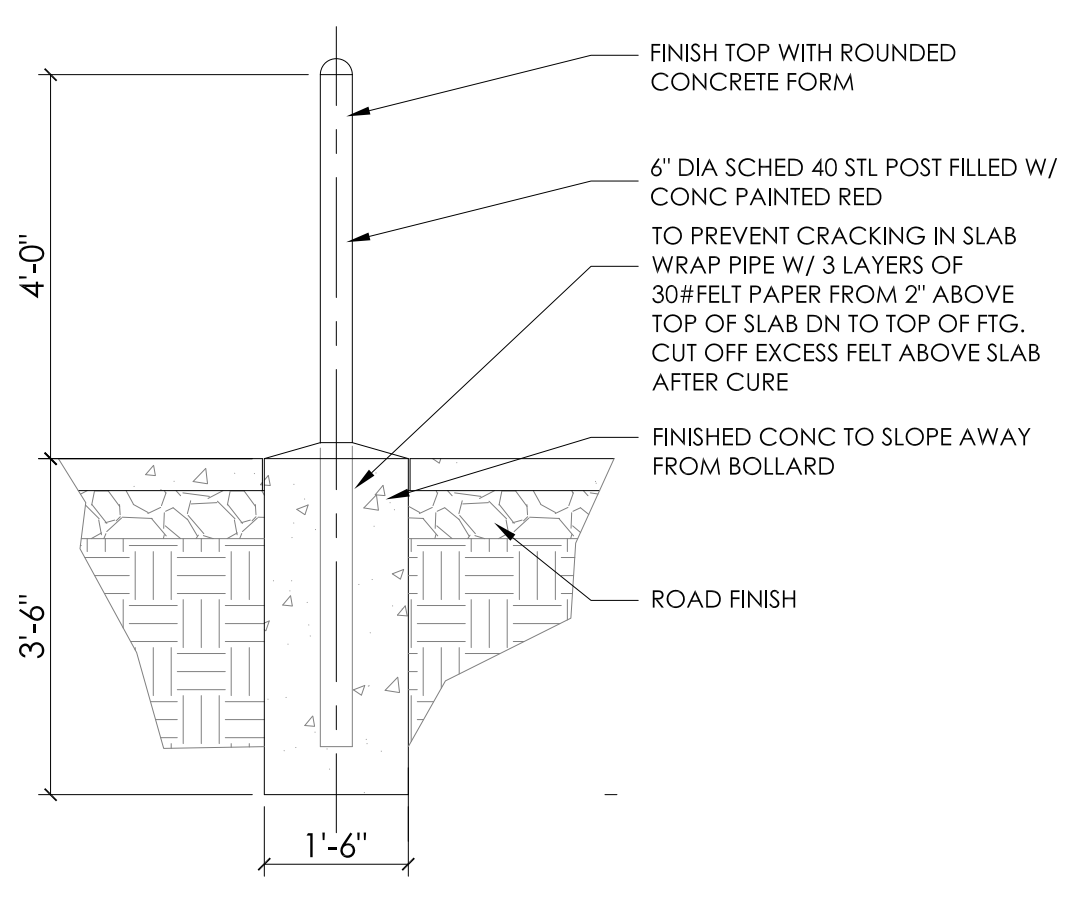
PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	06-19-23	cooler signs owner	12	12-13-23	2nd submit SPR
5	05-17-23	3rd Corp Review	11	10-23-23	print for SPR
4	11-18-21	Exist conditions Owner	10	10-11-23	owner review for SPR
3	10-11-21	Proposed prototype	9	08-09-23	permit submit Genoa Livingston
2	07-15-21	Improved Aerial background	8	07-18-23	Arch review
1	07-08-21	Owner request land into expand	7	08-31-23	exterior lights

DRAWN BY: C. BALL
DATE: 02-16-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.1

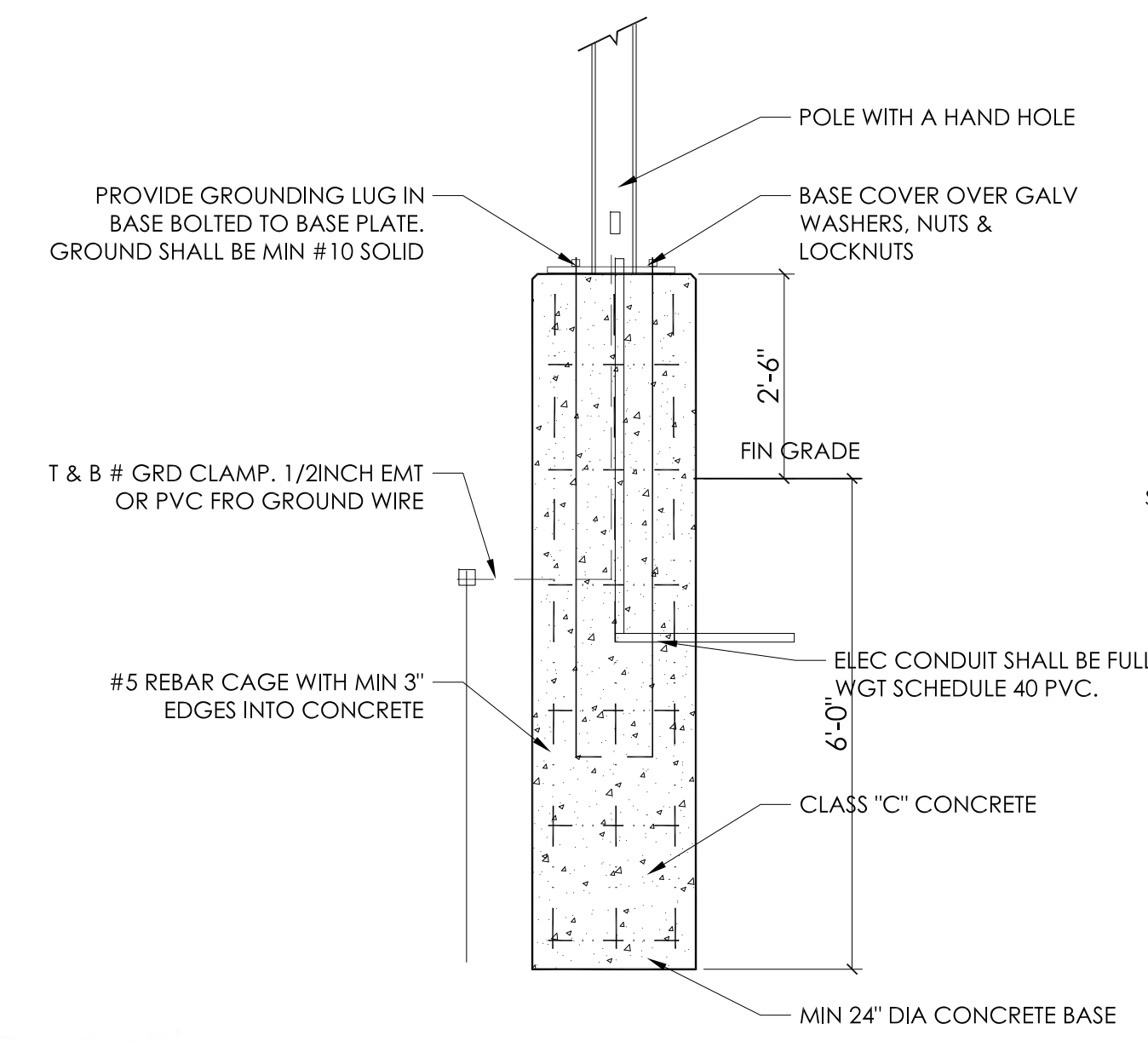
2ND SUBMIT SPR



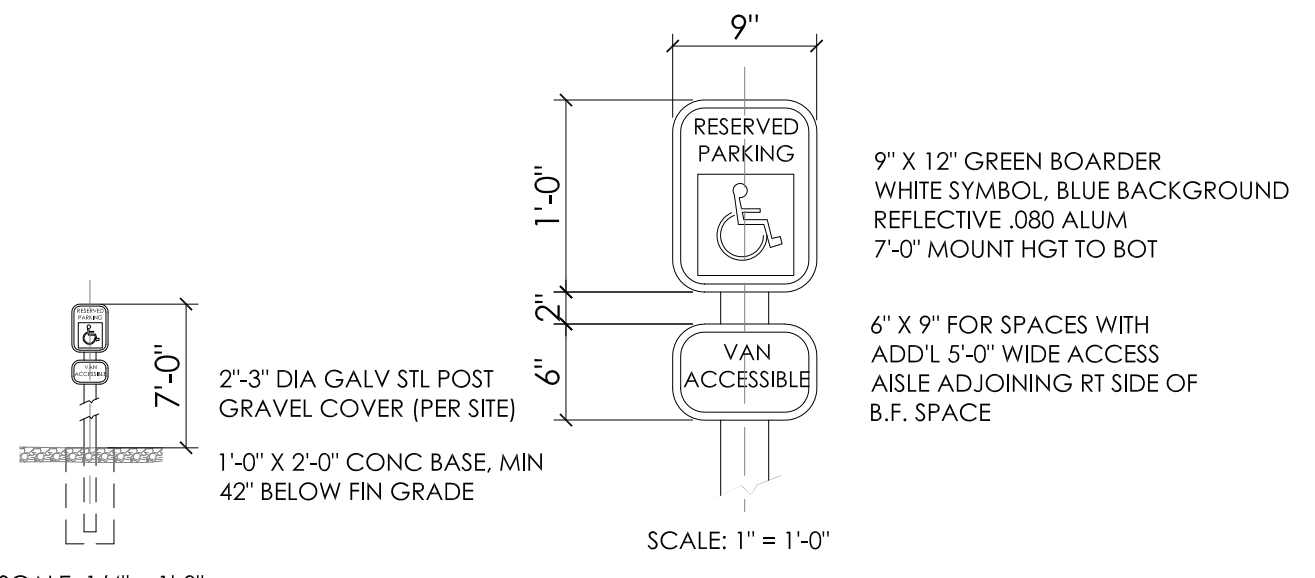
C6
C1.2
BOLLARD DETAIL
SCALE: 1/2" = 1'-0"
REPLACE EXIST BOLLARDS AS REQD



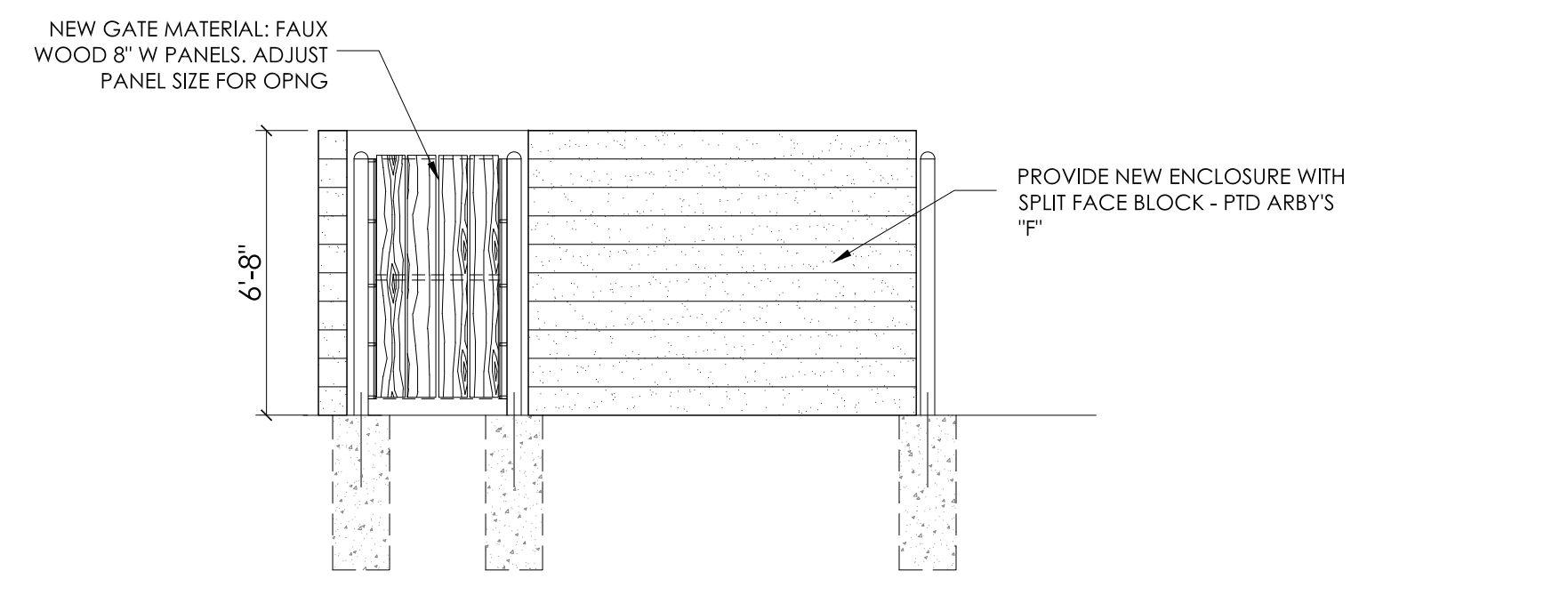
C5
C1.2
FIRE LANE SIGN
SCALE: 3/4" = 1'-0"
REFER TO C1.1 FOR SIGN LOCATIONS



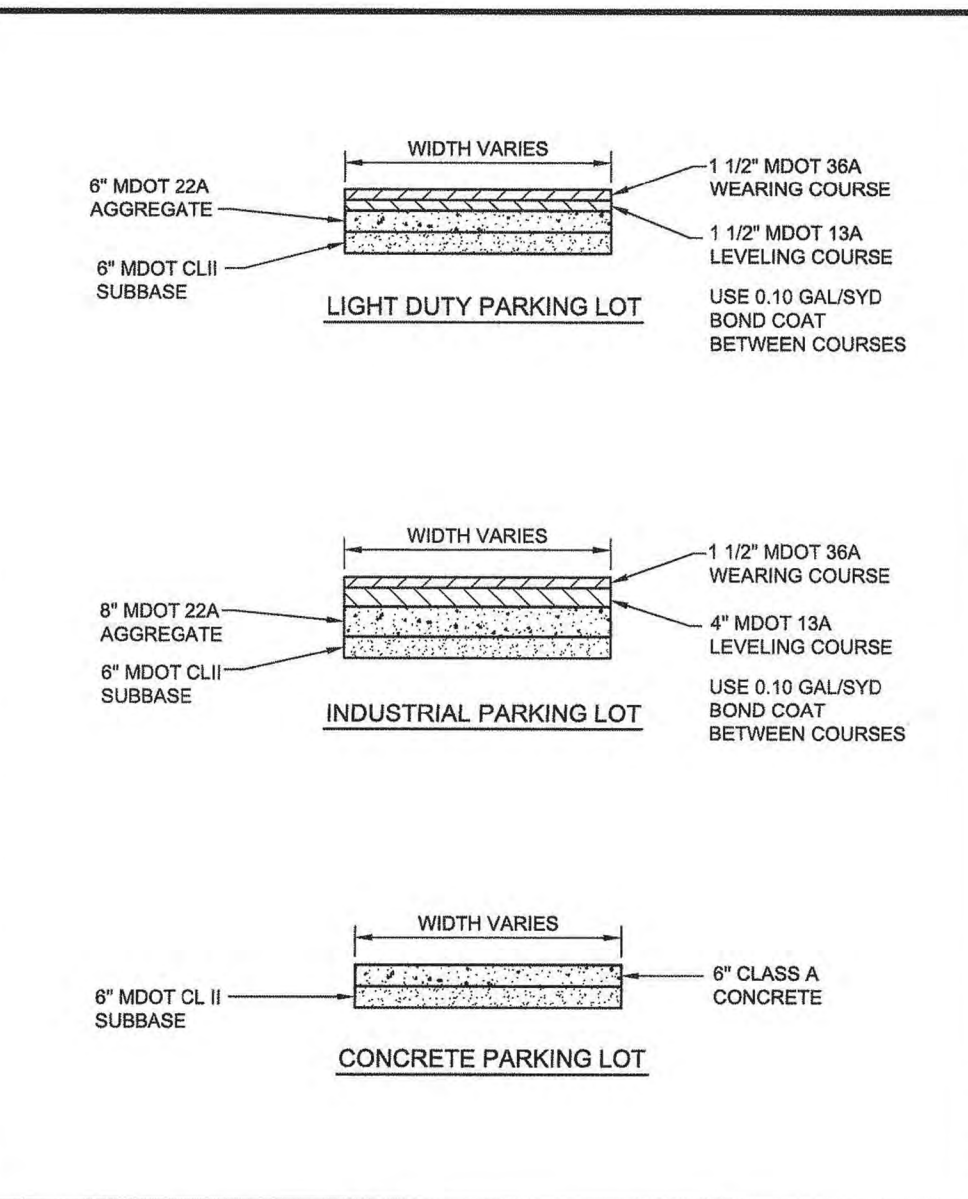
C4
C1.3
LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"



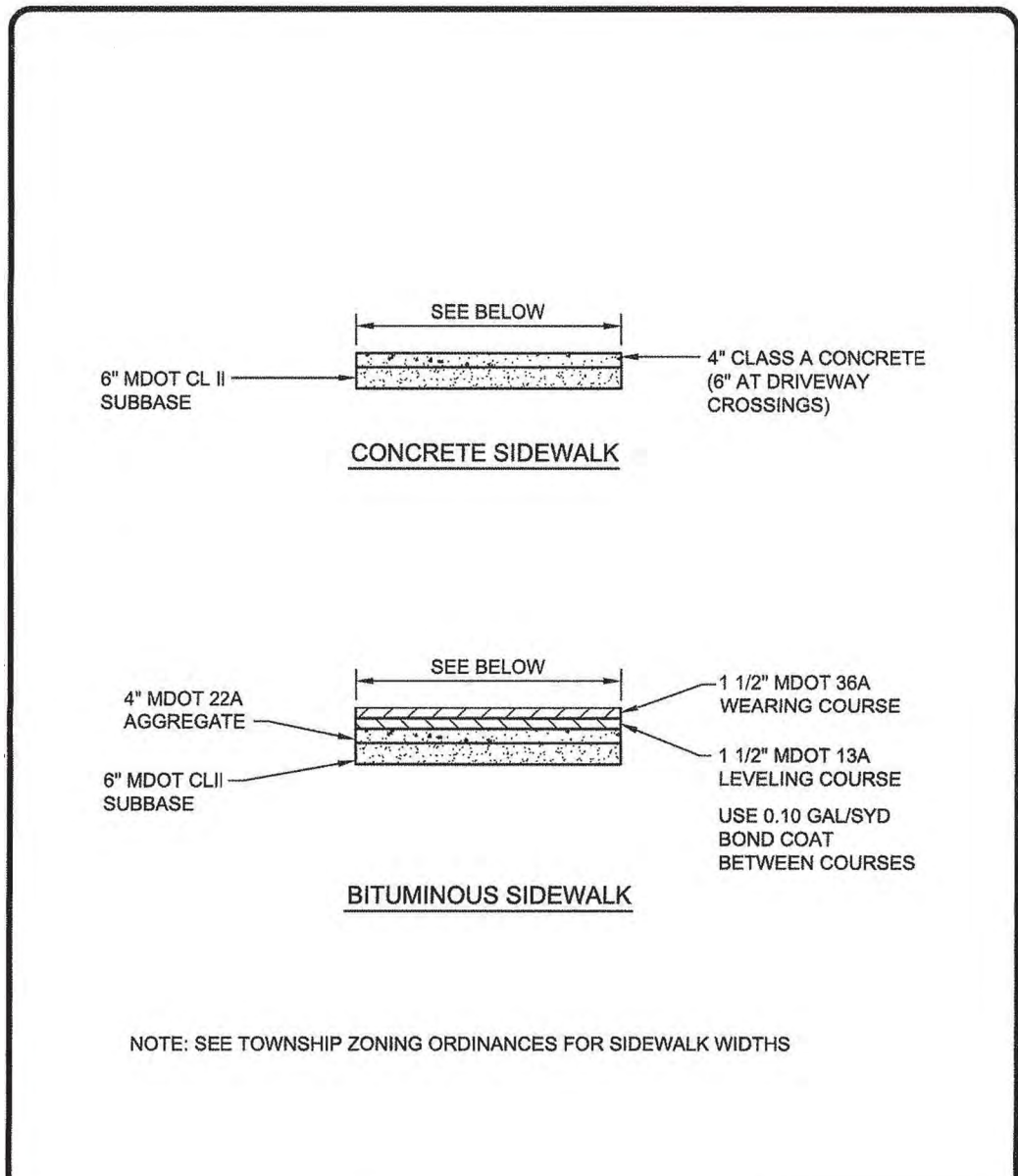
C3
C1.2
ADA / BF SIGN DETAIL
SCALE: EA VIEW



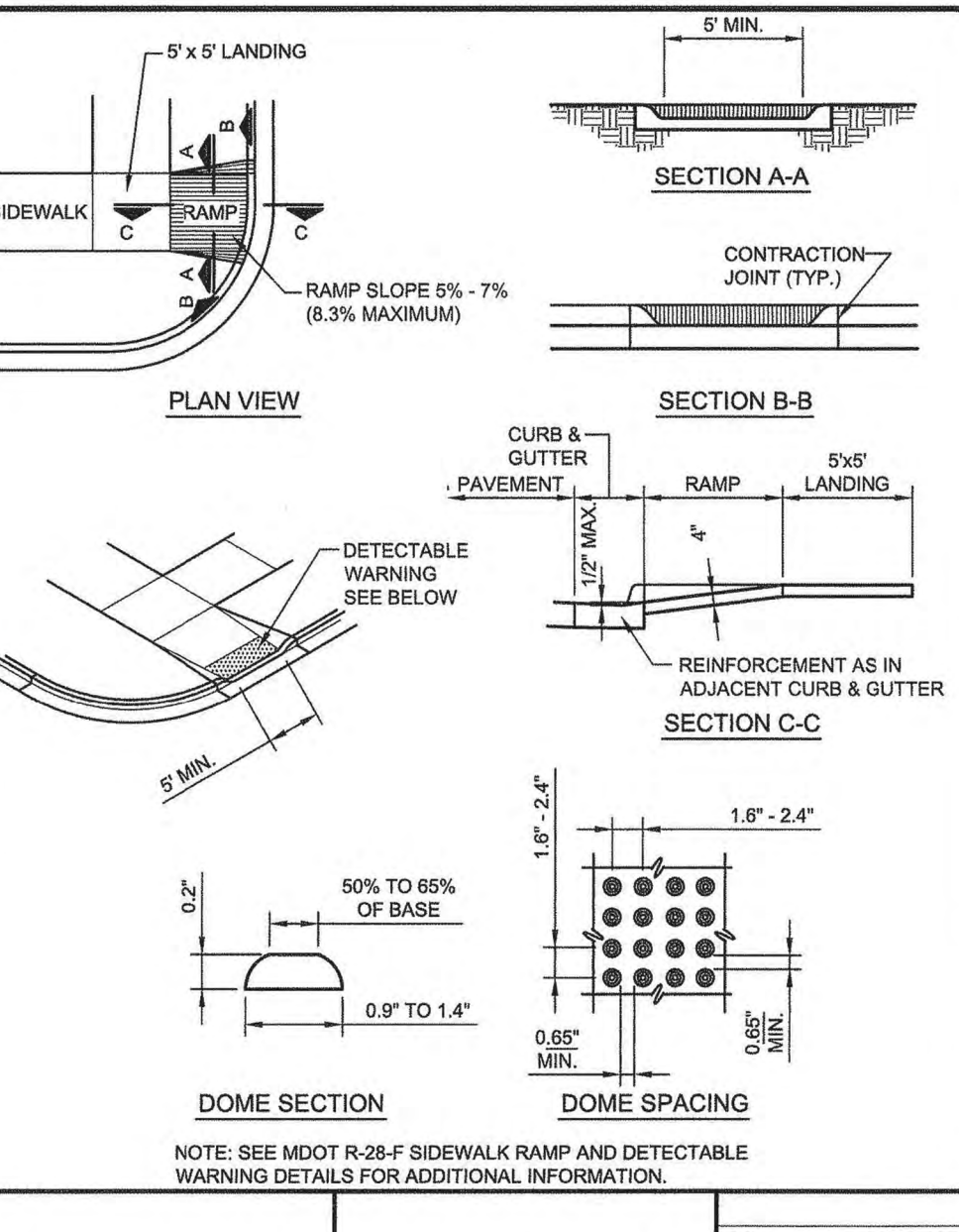
C2
C1.2
DUMPSTER GATE & DETAILS
SCALE: 1/4" = 1'-0"



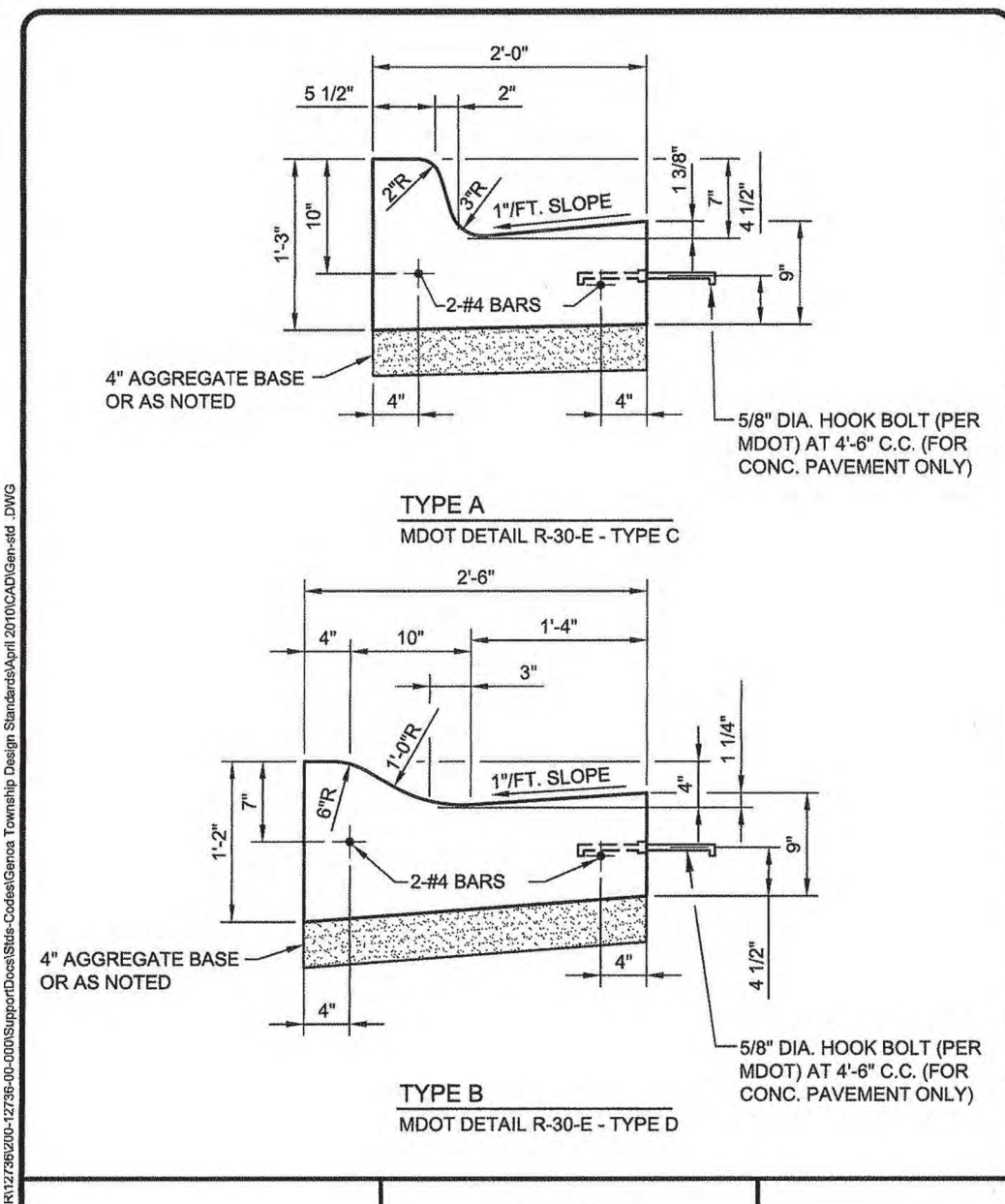
G-6
PARKING LOT CROSS SECTIONS
Date: APRIL 2010



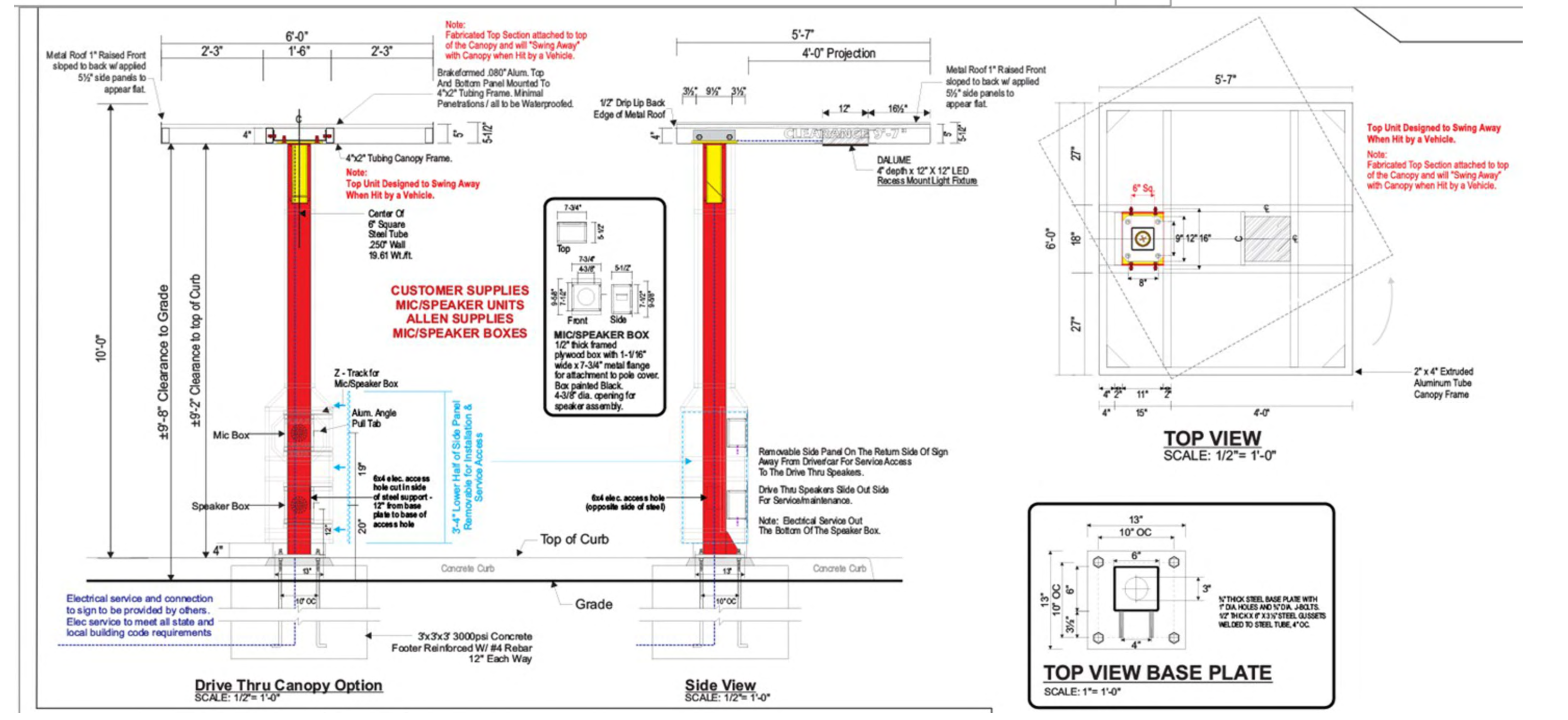
G-7
TYPICAL SIDEWALK CROSS SECTIONS
Date: APRIL 2010



G-3
SIDEWALK RAMP
Date: APRIL 2010



G-1
CONCRETE CURB & GUTTER
Date: APRIL 2010



C1
C1.2
DRIVE THRU CANOPY DETAILS
SCALE: 1/2" = 1'-0"
REFERENCE FOR G.C. OWNER SHALL CONTRACT WITH CANOPY SUPPLIER FOR SHOP DRAWINGS & ORDER FOR G.C. TO INSTALL.

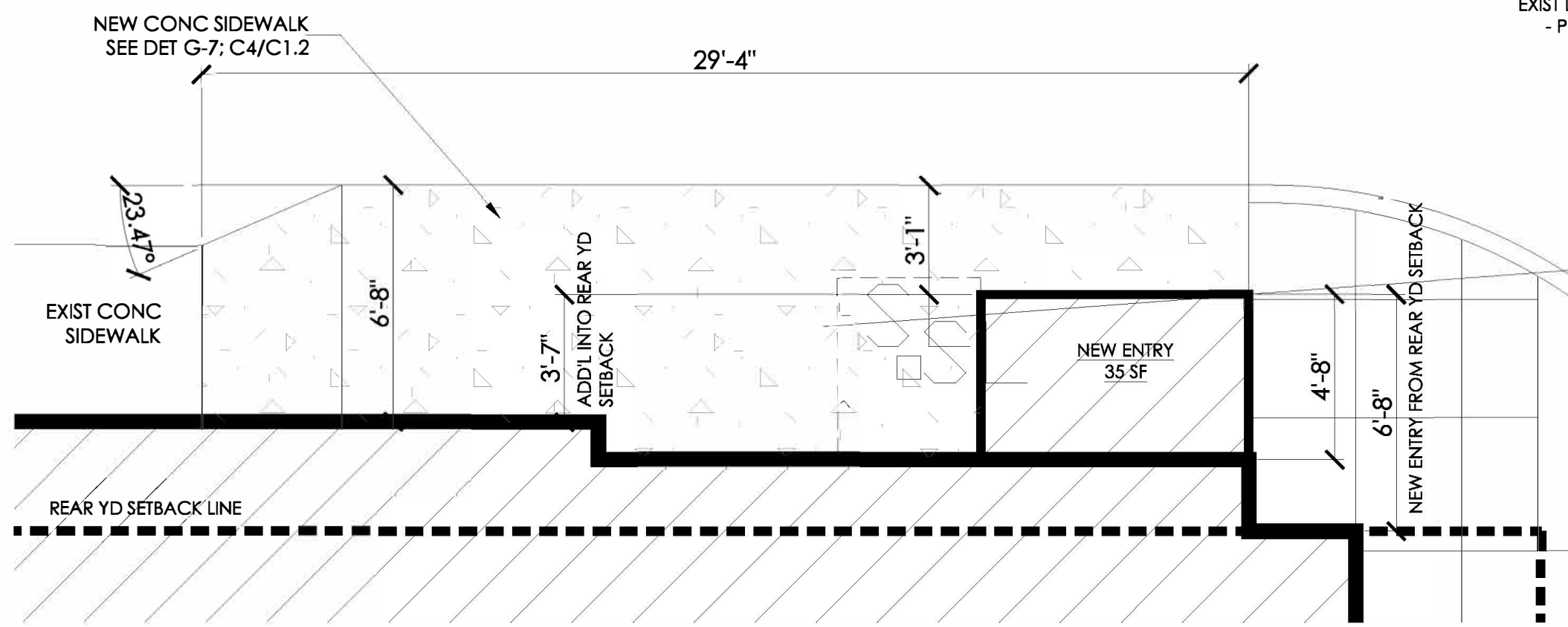
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-9423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	permit submit Genoa Livingston
5	07-18-23	arch review
4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review

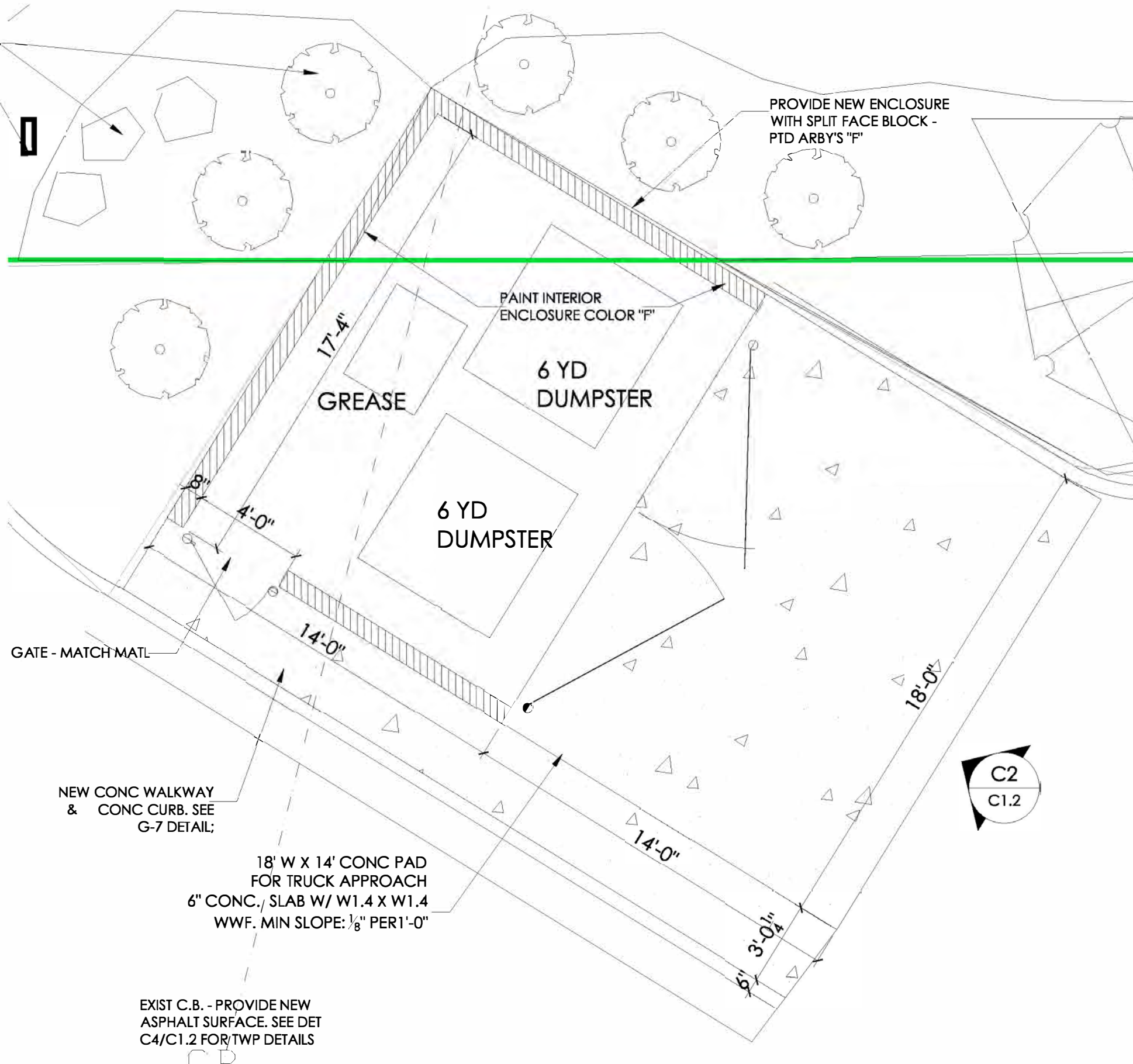
DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.2

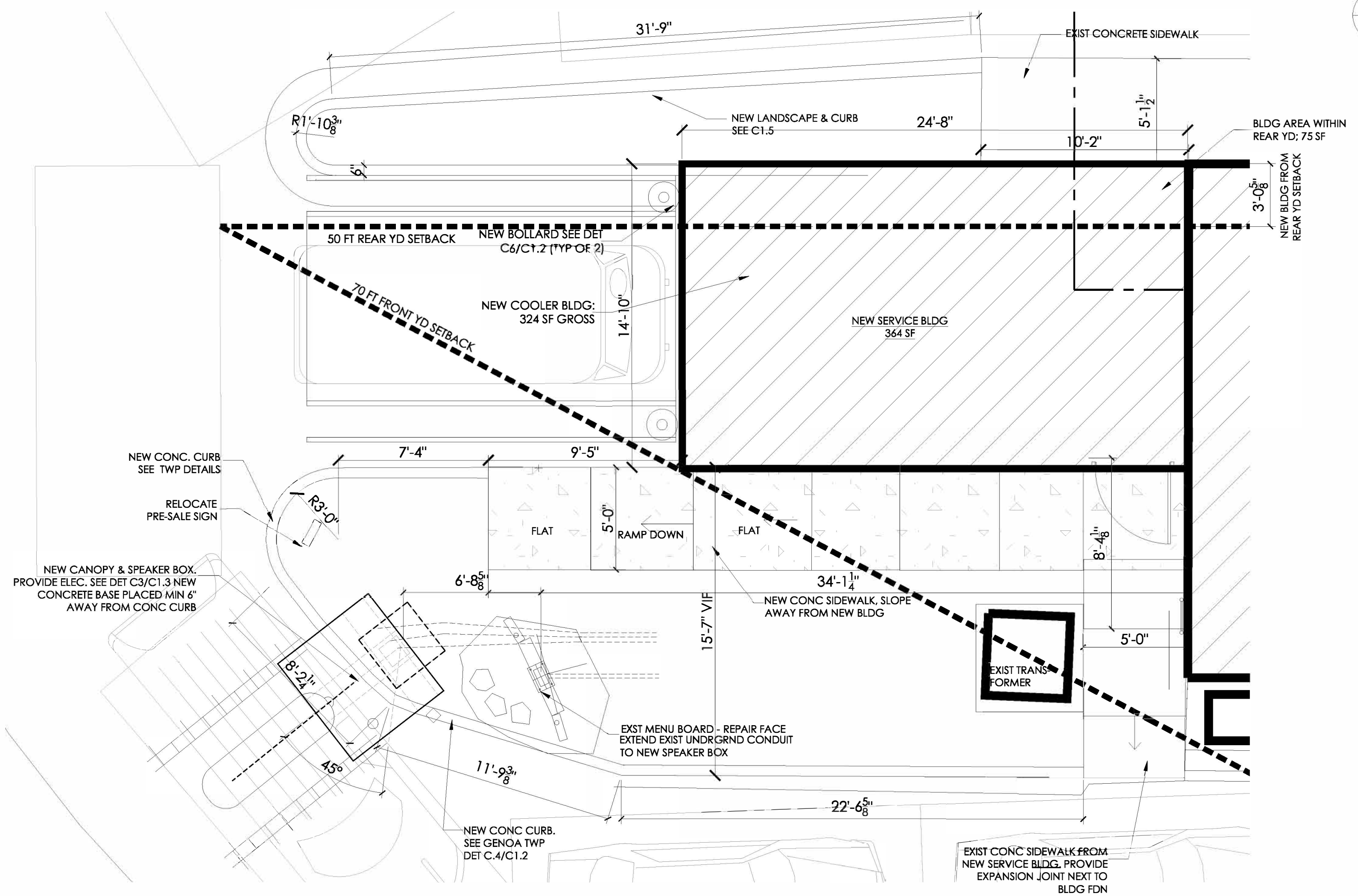


C4 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"

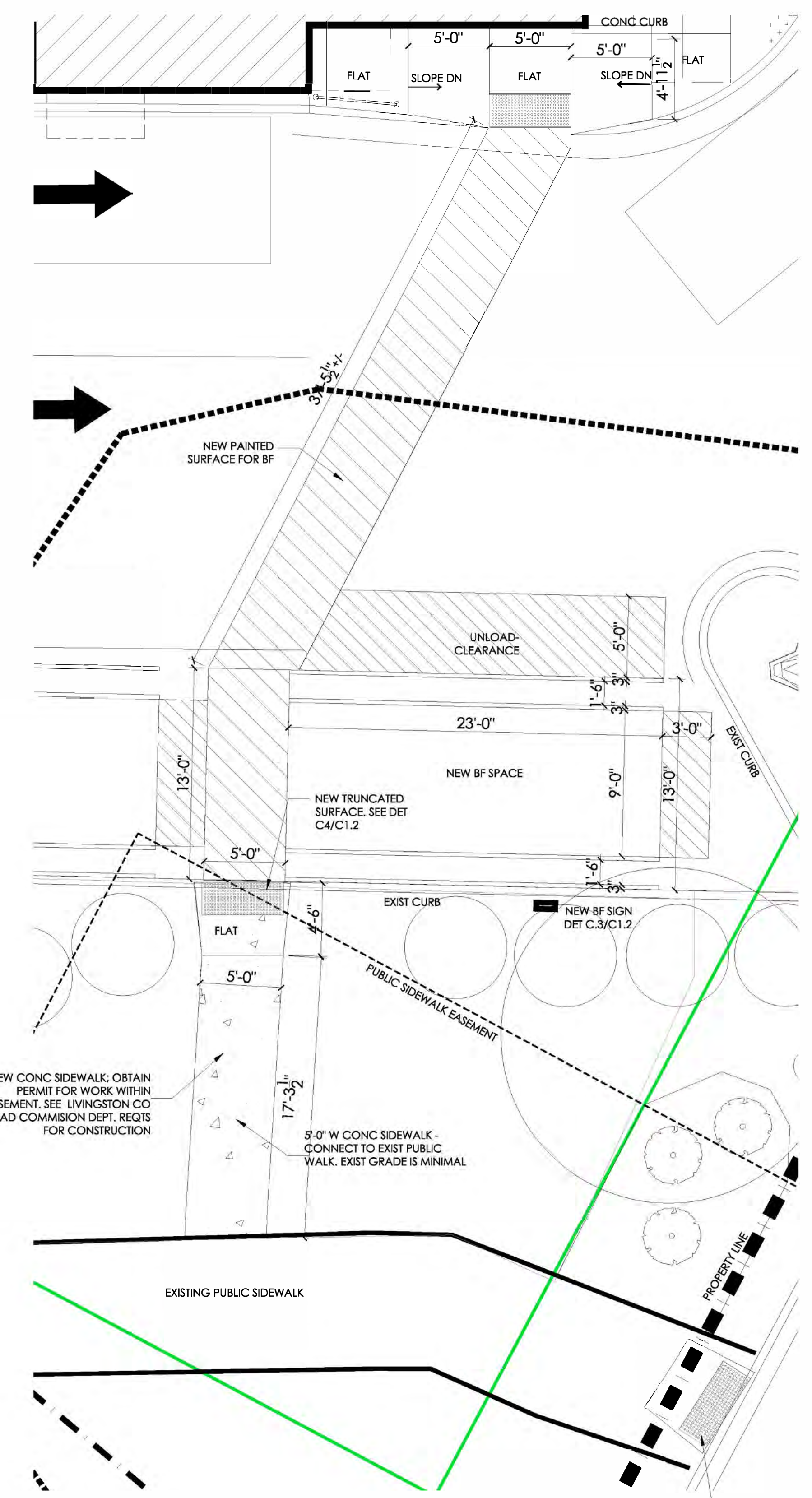
Setbacks requested



C1 DUMPSTER DETAIL
SCALE: 1/4" = 1'-0"



C4 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



C1 NEW B.F. SIDEWALK
SCALE: 3/16" = 1'-0"

NOTE TO G.C. - ALL EXISTING SITE SHALL BE FIELD MEASURED PRIOR TO COST TAKEOFF & NEW CONSTRUCTION
SCHEMATIC PROPOSAL FOR A NEW RAMP TO EXISTING PUBLIC SIDEWALK. ALL TOPOGRAPHY SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION
ANSI SECT 405 RAMP DESIGN STANDARDS; new sidewalk required along routes to span changes in level greater than 1/2 inch require curb ramp.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURED FIELD CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
Model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081: 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	Permit submit Genoa Livrigation
5	07-19-23	arch review
4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review

DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.3

LANDSCAPE REQUIREMENTS & PROPOSAL

GENOA TOWNSHIP ORD SECTION 7.03 GCD ZONING; Max Lot Coverage required: Bldg 35% coverage and Impervious surface 75% coverage. Overall property: 48523 SF. Overall within ROW: 35,373 SF. 35% of 35,373 SF = 12,381 SF. 75% of 35,373 = 26,530 SF

Bldg: 1,769 SF. + 359 SF Bldg = 2128 SF Total Impervious; (Bldg +pavement+sidewalk) = 24,256 SF < 26,530 allowable. ** Added 700 SF new grass area

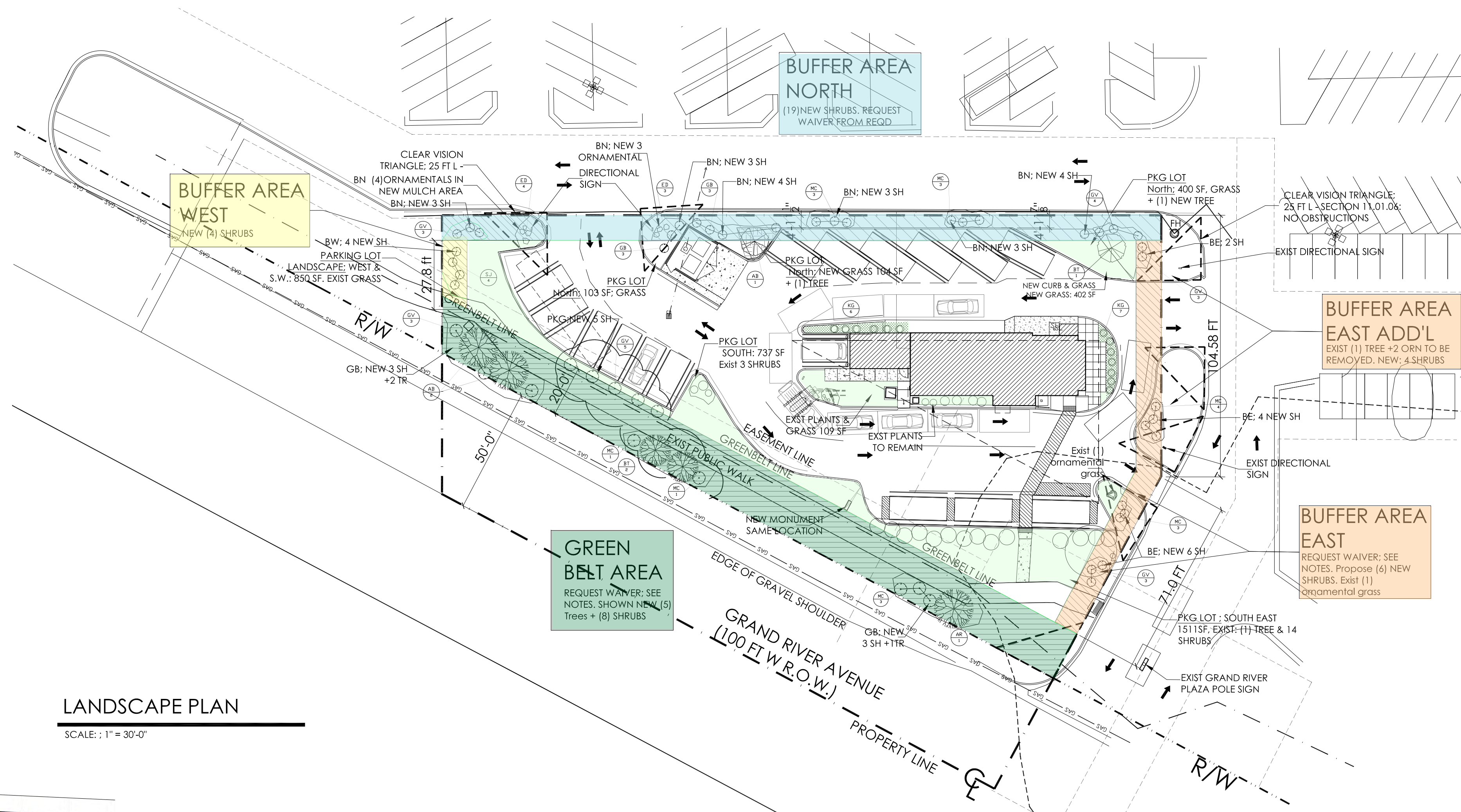
CLEAR VISION TRIANGLE: 25 FT L - SECTION 11.01.06: no obstructions at intersections. used to place new landscape.

No fence, wall, or structure shall be erected, established, or maintained on any lot which will obstruct the view of drivers in vehicles approaching the intersection adjacent to a corner lot or a driveway on any lot. Fences, walls, or structures located in the triangular area described below shall not be permitted to exceed a height of thirty six (36) inches above the lowest point of the intersecting road(s).

SECTION 12 - LANDSCAPE:

QTY'S	DESCRIPTION
5T 8 SH	1) GREENBELT: 20 FT W. Requires (1) Canopy tree per 40 Lin Ft of frontage. Thus, 276.5 Lin Ft / 40 = 6.9 = 7 Trees. Substitution of evergreen allowed for 50% of req'd. Rest of are to be plant materials. REQUEST WAIVER: Small area because of existing public sidewalk. Propose NEW (5) Trees + (8) Shrubs with natural grouping.
OT 6 SH	2) BUFFER AREA TYPE C: Zone GCD/RCD abuts commercial requires: (1) Canopy tree or (4) shrubs per 20 Lin Ft along Property Line. Min width of 10 Ft. Thus:
OT 4 SH	EAST along Service drive - 51 Lin Ft: 51 / 20 = 3: 3 x 4 = 12 shrubs OR 1 T + 8 SH OR 2T + 4 SH. REQUEST WAIVER: With clear vision area - not enough space for requirement. Propose (6) new shrubs with (1) exist ornamental grass
OT 4 SH	EAST add'l: 104.5 Lin Ft, 104.5/20 = 5.2 x 4 = 20 Shrubs OR 2T + 12 Shrubs OR 3T + 8 Shrubs. REQUEST WAIVER: With two clear vision triangle + two drives creates limited property for new. Propose (4) shrubs
OT 19 SH, 7 ORN	NORTH along service drive - 287 Lin Ft: 287 / 20 = 14.35 x 4 = 56 shrubs OR 4T + 40 SH OR 6T + 32 SH. REQUEST WAIVER from required Buffer. Min width of 10 FT NOT AVAILABLE. Existing avg 6'-0" +/- thus new trees would not survive. Proposal to provide (19) shrubs + (7) Ornamental
OT 4 SH	WEST along vacant land zoned commercial - 27.8 Lin Ft: 27.8/20 = 1.39 x 4 = Propose (4) new shrubs
2T 2 SH	3) PARKING LOT LANDSCAPE: SECTION 12.02.04 - MIN Trees in the parking area. Space count of 10-100 requires (1) canopy tree and 100 SF of landscape area PER 10 spaces. New parking space count = 16. Required: new area of (2) Trees AND 200 SF landscape area. PROVIDED:
3 ORN 9 SH	North: Provided (2) new Trees + (2) shrub + (6) G next to new bldg) with exist 437 SF grass area. Total G = 504 (77 SF new G)
1T 14 SH	West: exist 850 SF grass area
	South East: exist (1) Tree + (14) shrubs + 1511 SF grass area
	East @ parking space wait (7) G + 115 new grass
TOTALS NEW & EXIST	SECTION 12.02.09 - Mixing of Species: overall landscaping plan shall not contain more than 33% of any one plant species. See plant schedule.

(T = TREE, SH = SHRUB, ORN = ORNAMENTAL, G = GRASS)



LANDSCAPE PLAN

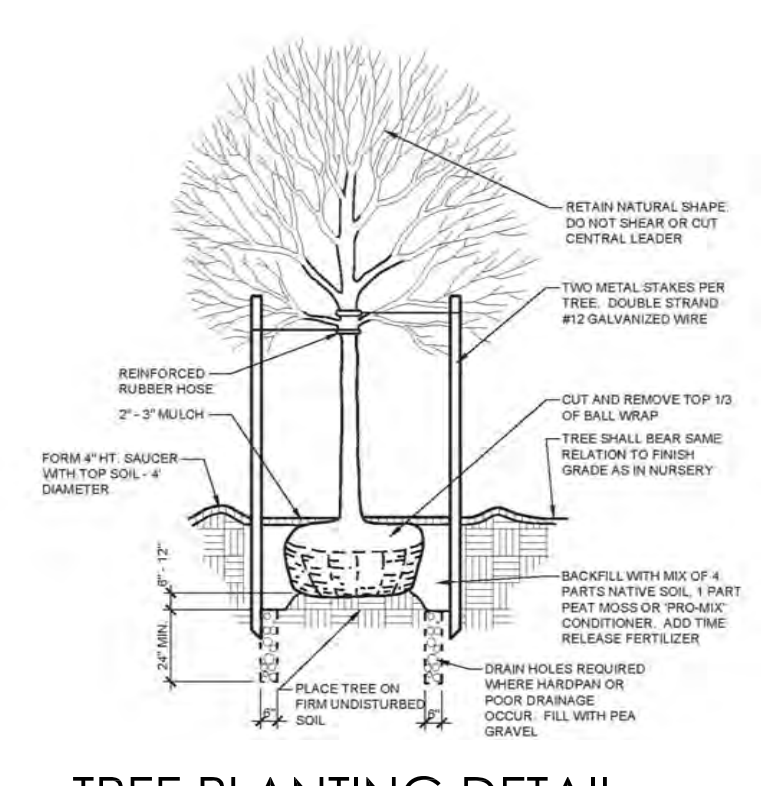
SCALE: 1" = 30'-0"

PLANT SCHEDULE

KEY	QTY	PLANT NAME	SIZE
TREES			
AR	1	ARMSTRONG RED SUNSET MAPLE-ACER RUBURM	2 1/2CAL B&B
AB	3	AUTUMN BLAZE MAPLE-ACER x freemanjii Jefeersred	2 1/2CAL B&B
BT	3	BLACK TUPELO - Nyssa Sylvatica	2 1/2CAL B&B
SHRUBS			
MC	18	MAJIC CARPET SPIREA-Walburna	18-24" SIZE
GV	21	GREEN VELVET BOXWOOD-Buxus x 'green velvet'	18-24" SIZE
SJ	4	SKYROCKET JUNIPERS-Juniperus scopulorum, columnar	24-36" w 15-20'tall
GB	7	GREEN MTN BOXWOOD Buxus x 'Green Mountain	24-36" w 4-5'tall
GRASSES			
KG	6	KARL FOERSTER GRASS(3-4HGT) Calamagostis acutiflora	36" spread, 48-72 hgt
ORNAMENTAL			
ED	7	EVERY DAYLILY-PINK WING - Hemerocallis	36" spread, 48-72 hgt

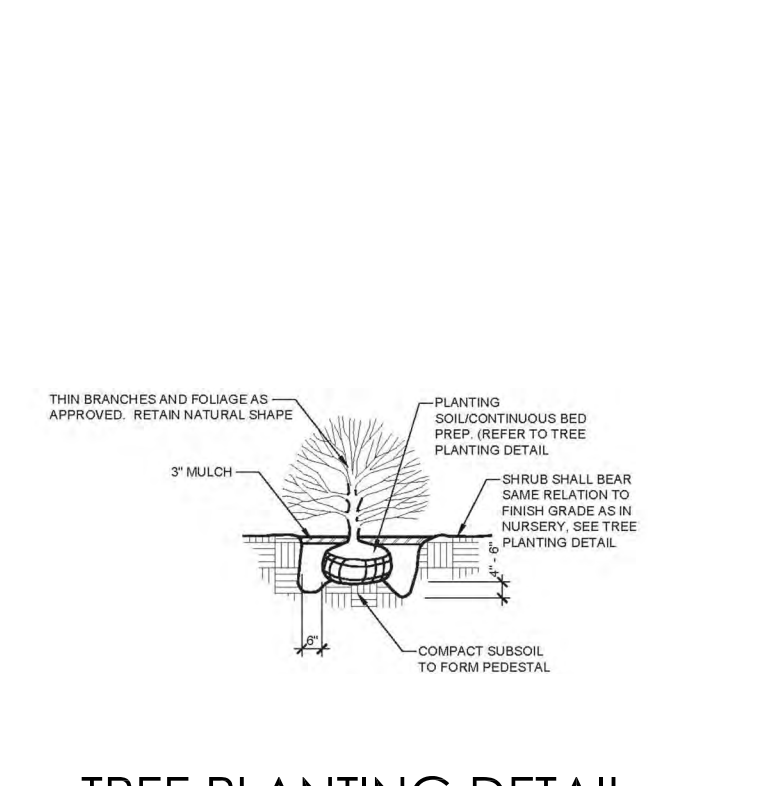
SECTION 12.02.09 Species mix proposed = total 72 new x .33 = 24-20 thus meets reqt.

NEW: 7 T 50 SH 7 ORN



TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



AERIAL MAP 2020

SCALE: ENG 1:200

GENOA TOWNSHIP ORD SECTION DRAINAGE & TOPOGRAPHY

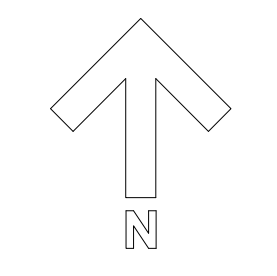
PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-760-3423
CRAWFORDARBYS@YAHOO.COM

REV	DATE	DESCRIPTION
5	12.13.23	2nd submitt SFR
4	10.25.23	print for SFR
3	10.20.23	SFR submit - clarify landscape
2	10.20.23	owner review for SFR
1	10.11.23	

DRAWN BY: C. BALL
DATE: 09-21-23
JOB NUMBER:
APPROVED BY:

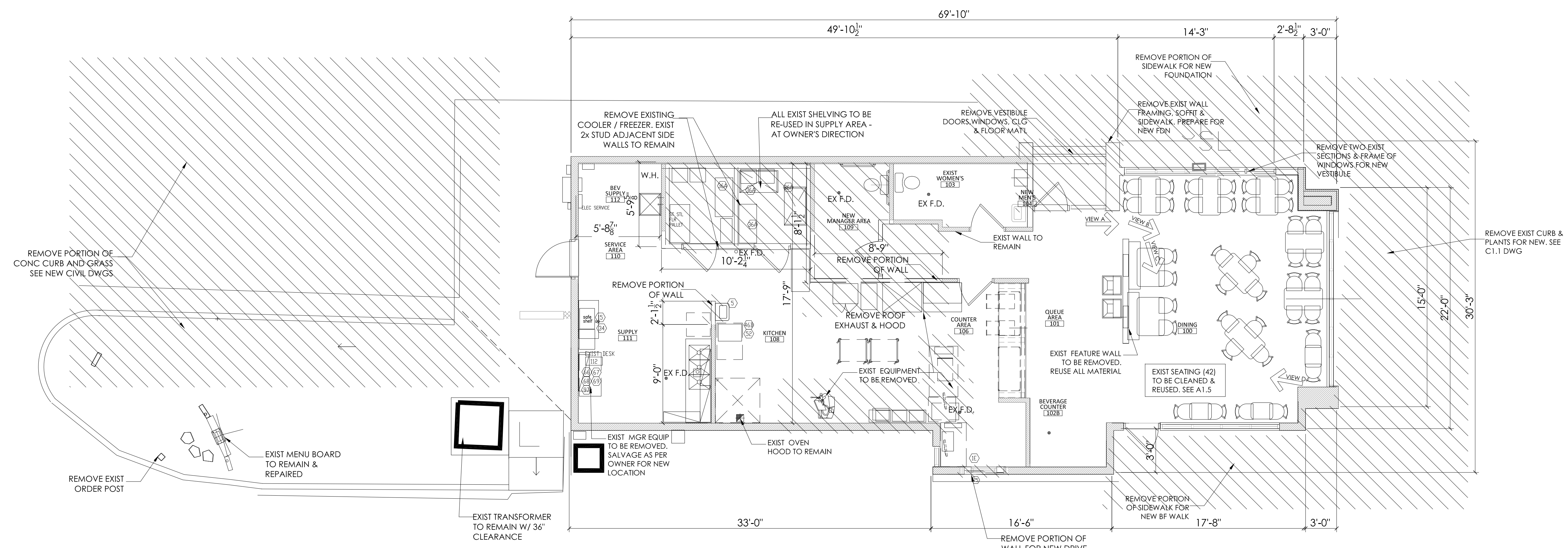
SHEET NUMBER:
C 1.5





CALL BEFORE YOU DIG!
1-800-482-7171

DEMOLITION PLAN
DETAILS



DEMOLITION FLOOR PLAN

SCALE: 3/16"=1'-0"
NOTES:
1) DIMENSIONS SHOWN ARE TO EXIST WALL FINISH: DRYWALL, CERAMIC TILE, FRP
2) DEMOLITION AREAS NOTED WITH HATCH
3) BUILDING AREA 1750 SF GROSS - TO REMAIN - NO NEW ADDITION

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) REMOVE KITCHEN EQUIPMENT: FOR COMPLETE LIST SEE EQ1.1
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES. FOR DEMOLITION OF CIVIL SEE C1.1 DRAWING
- 4) PROVIDE UPDATES TO BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C1.1 & C1.2 CIVIL DWGS FOR DETAILS

GENERAL DEMOLITION NOTES:

- A. FIELD VERIFY ALL NEW WORK WITH OWNER PRIOR TO DEMOLITION
- B. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION.
- D. SEE STRUCTURAL DRAWINGS FOR ALL WORK RELATED TO BOTH THE NEW AND EXISTING STRUCTURE. GENERAL CONTRACTOR IS TO NOTIFY THE STRUCTURAL ENGINEER OF ALL UNKNOWN CONDITIONS.
- E. ALL SUB-CONTRACTORS ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND REPORT IN WRITING ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- F. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
- G. NOTIFY OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FREON, ETC.) REQUIRED TO BE REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION.
- H. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT, AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE THE REMOVAL AND/OR STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
- I. DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR, EXHAUST, AND FUMES THAT ARE CREATED AS A RESULT OF DEMOLITION.
- J. LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL AND ELECTRICAL SHEETS.
- K. MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES IS REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- L. PROVIDE TEMPORARY LIGHTING THROUGHOUT THE FLOOR AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION/CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- M. GENERAL CONTRACTOR TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.
- N. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
- O. REMOVE ABANDONED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.
- P. REMOVE AND DISCONNECT ALL EQUIPMENT SYSTEM COMPONENTS AS REQUIRED.
- Q. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITHIN AREAS OF EXISTING BUILDING AND ADJACENT TENANT OPERATIONS.
- R. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM 1. INTERFERENCE WITH ROADWAYS, SIDEWALKS, AND SITE OPERATIONS.
- S. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY BARRICADES AND/OR OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AS REQUIRED BY LOCAL GOVERNING AUTHORITY.
- T. GENERAL CONTRACTOR IS TO PROVIDE REQUIRED PROTECTION TO PROTECT THE INTERIOR FROM WEATHER.
- U. PROVIDE PROTECTED ENTRY ACCESS AS REQUIRED TO ENSURE A SAFE PASSAGE AROUND THE AREA OF DEMOLITION FOR ALL ADJACENT TENANTS THAT ARE OPEN FOR BUSINESS.
- V. DEMOLITION CONTRACTOR IS TO REMOVE ALL UNUSED METAL STUD TOP TRACK FRAMING ABOVE CEILING.
- W. COORDINATE DEMOLITION AND CONSTRUCTION PHASING AND SEQUENCING WITH THE OWNER.
- X. COORDINATE ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORAGE, AND REINSTALLATION WITH GENERAL CONTRACTOR AS DIRECTED BY OWNER.
- Y. PATCH AND REPAIR CONCRETE FLOOR AT AREAS OF DEMOLITION AS REQUIRED TO ACHIEVE A CONSISTENT FLOOR LEVEL TO RECEIVE NEW TENANT FLOOR FINISH. PROVIDE ADDITIONAL CONCRETE TOPPING AS REQUIRED.
- Z. PATCH AND REPAIR EXISTING CONSTRUCTION ITEMS TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION OPERATIONS. PROVIDE A SMOOTH, CONSISTENT FINISH TO MATCH EXISTING SURFACES.
- AA. EXISTING CARPET, CERAMIC TILE, AND ALL OTHER EXISTING FLOOR FINISHES ARE TO BE REMOVED. GENERAL CONTRACTOR TO PATCH AND REPAIR CONCRETE SLAB AND INTERIOR PARTITION WALLS FOR A SMOOTH, CONSISTENT FINISH READY FOR NEW TENANT FINISHES.
- AB. CASH REGISTERS AND ASSOCIATED WIRING TO BE REMOVED AND REPLACED BY OWNER.
- AC. EXAMINATION OF PREMISES: THE CONTRACTOR BEFORE SUBMITTING A PROPOSAL FOR THIS WORK SHALL EXAMINE THE PREMISE AND ALL CONDITIONS THEREON AND /OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGEMENT BY HIM THAT ALL SUCH CONDITIONS AS FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH OWNER.

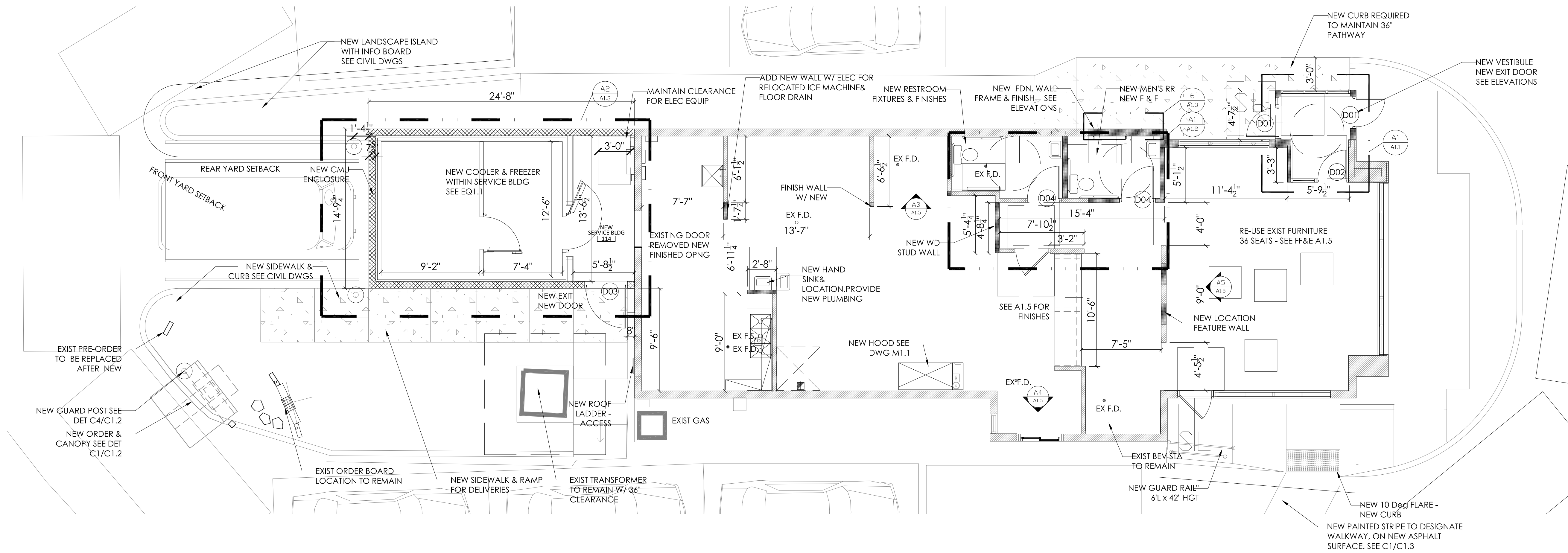
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
13	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 03-18-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
D
1.1



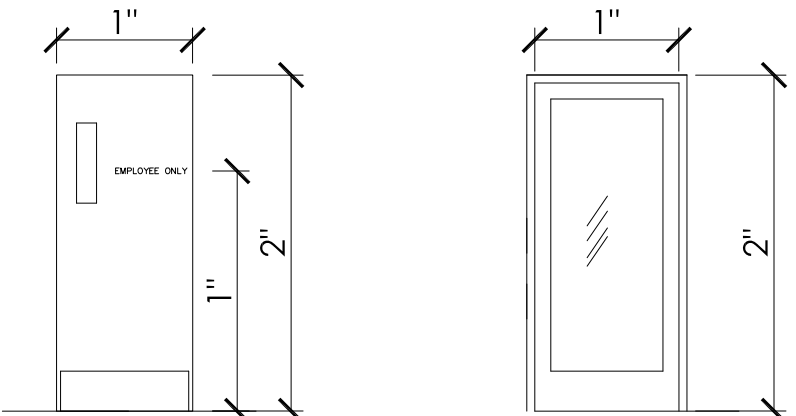
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

- 1) NEW WALL DIMENSIONS TO 1/2" GYP BD FINISH. U.N.O.
- 2) ALL DIMENSIONS FOR NEW RESTROOMS INCLUDE FINISHES. U.N.O.
- 3) SEE EQ1.1 FOR EQUIPMENT PLAN
- 4) SEE A3.1 FOR NEW DOOR SPEC + DOOR HDWR
- 5) SEE NEW FINISH LEGEND A1.3. COORDINATE WITH NEW DECOR DOCUMENTS PROVIDED BY OTHERS
- 6) BLDG FOOTPRINT = 1769 GROSS SF AREA (SURVEY)
- 7) SEE A1.4 FOR REFLECTED CEILING.

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) PROVIDE NEW KITCHEN EQUIPMENT - SEE EQUIPMENT DWG
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES - SEE ELEVATION DWGS
- 4) PROVIDE UPDATES TO EXTERIOR BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C.1.1 CIVIL DWGS FOR DETAILS
- 5) EXTERIOR CIVIL WORK: ALL NEW SEE DWGS
- 6) TOTAL BLDG AREA: 1769SF + ENTRY 35 + COOLER BLDG 364 SF = 2168 SF GROSS

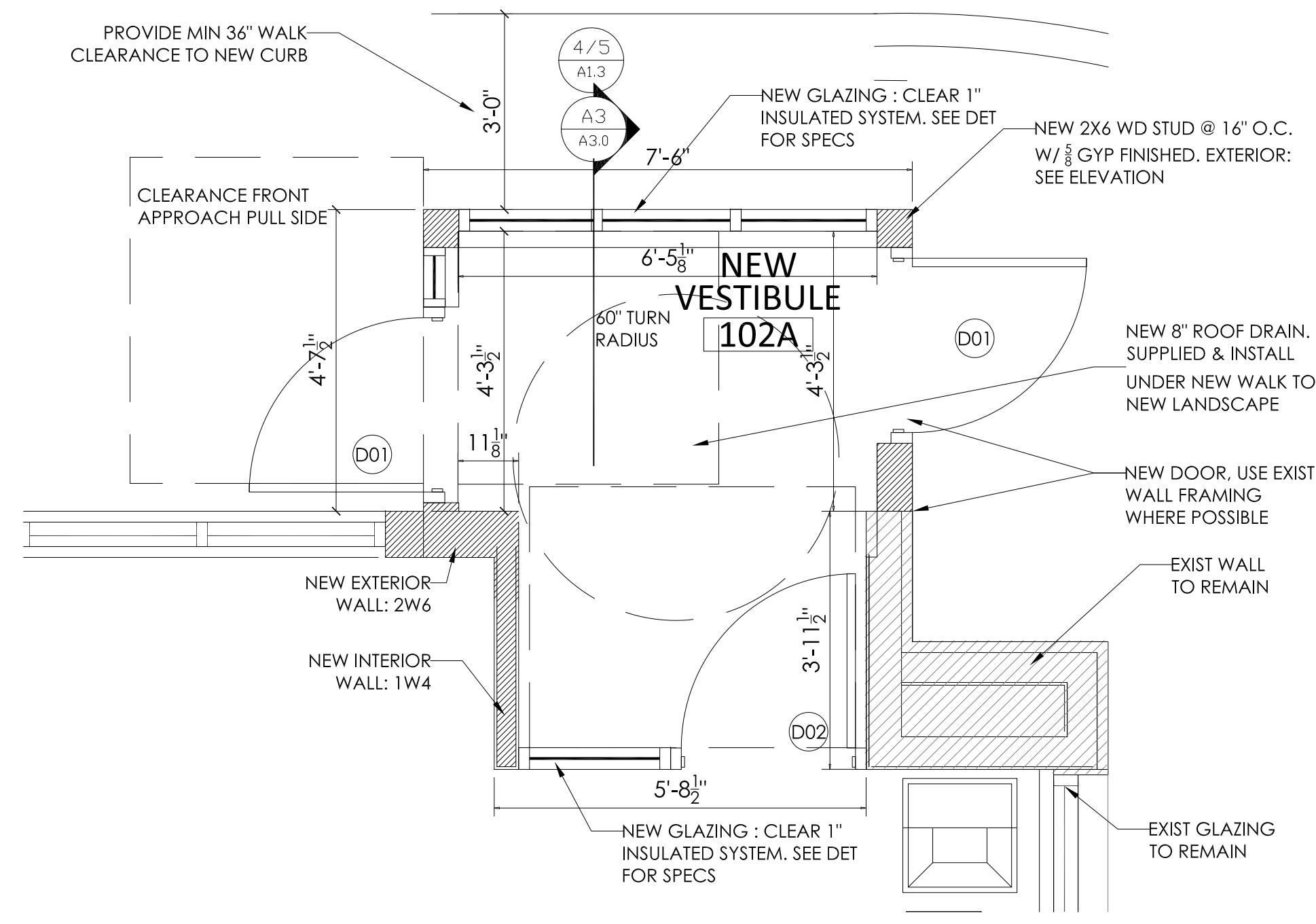


SERVICE COUNTER DOOR HALLWAY SIDE
 SCALE: 1/4" = 1'-0"
 EMPLOYEE DOOR TO SERVICE COUNTER. 2 SPRING HINGES.

ENTRANCE VESTIBULE DOOR
 3'-0" x 7'-0" x 1 1/2" HM FRAME
 TEMPERED SAFETY GLASS, ALUM STOREFRONT
 WIDE STILES & RAILS. DARK BRONZE FINISH

DOOR HARDWARE & SPECIFICATIONS

- DO1: (EXTERIOR VESTIBULE/DINING ROOM)**
 1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
 1 DOR-O-MATIC EXIT DEVICE 1993 26D
 1 SCHLAGE RIM CYLINDER 20-022 626
 1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
 1 IVES FLOOR STOP F5444 26D
 1 HAGER THRESHOLD 4185 AL
 1 HAGER WEATHERSTRIP 7365
 1 HAGER SWEEP 7535 AL
- DO2: (INTERIOR VESTIBULE)**
 1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
 1 IVES PULL-PUSH BAR 9103EZ-33-12-32D-NO
 1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
 1 HAGER WEATHERSTRIP 7365
 1 HAGER SWEEP 7535 AL
 1 IVES WALL STOP F5438 26D
- DO3: (REAR DOOR)**
 1 ROTON 780-112HD CONTINUOUS MORTISE HINGE AL 83" CLEAR
 1 CAL-ROYAL 7700EO RIM PANIC 48" (EQUAL TO VON DUPRIN 99) 32D
 1 CAL-ROYAL 7700NL NIGHT LATCH TRIM/ PULL
 1 SCHLAGE RIM CYLINDER 20-022C 626
 1 HAGER 5100 HDHOS
 1 HAGER ARMOR PLATE 1935 (BEVELED 3 SIDES) 30" X 46" 32D
 1 HAGER 2675 CAST FLOOR STOP 3 1/8" H 2 1/4" BASE 26D
 1 HAGER 1756 185 DEGREE VIEWER 26S
 1 HAGER 5415 PANIC THRESHOLD 28"X5" WIDTH W/ VINYL BUMPER STOP
 1 HAGER WEATHERSTRIP 8625
- DO4: (SINGLE OCCUPANY RR)**
 1 1/2 PR. HAGER HINGES ECB8 1100 26D
 1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
 1 SCHLAGE B571 COMMERCIAL RR INDICATOR DEADBOLT
 1 HAGER PULL BAR 33L 26D 4" X 16"
 1 HAGER PUSH PLATE 305 26D 4" X 16"
 2 HAGER 190S KICK PLATE 32D 8" X 34"
 3 SILENCERS PER DOOR
 1 SIGN- MEN'S/WOMEN'S
 1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D
 **REMOVE INDICATOR DEADBOLT FOR MULTI OCC. RR
- DO5: (SERVICE DOOR)**
 1 1/2 PR. HAGER HINGES ECB8 1100 26D
 1 HAGER 3410 WITHNELL HEAVY DUTY PASSAGE SET 26D
 1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
 2 HAGER 190S KICK PLATE 32D 8" X 34"
 1 HAGER 243F LIGHT DUTY DOME STOP HIGH
 3 SILENCERS PER DOOR
 1 SIGN "EMPLOYEES ONLY"



NEW VESTIBULE PLAN
 SCALE: 1/2" = 1'-0"

WALLS

CONSTRUCTION
 INTERIOR WALLS: 2x4 WD STUD @ 16" O.C. WITH FINISH. KITCHEN AREA USE F.R.P. PANEL SAME COLOR AS EXISTING. QUEUE AND DINING AREA SEE FF&E DWG
 EXTERIOR WALLS: 2x6 WD STUD @ 16" O.C... SEE ELEVATION DWGS FOR INSPIRE FINISH

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-750-3423
 CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
15	12-19-23	ZBA submittal
15	12-19-23	2nd submittal SPR

DRAWN BY: C. BALL
 DATE: 02-16-21
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
A
1.1

ARBY'S HOWELL EXISTING



WEST ELEVATION



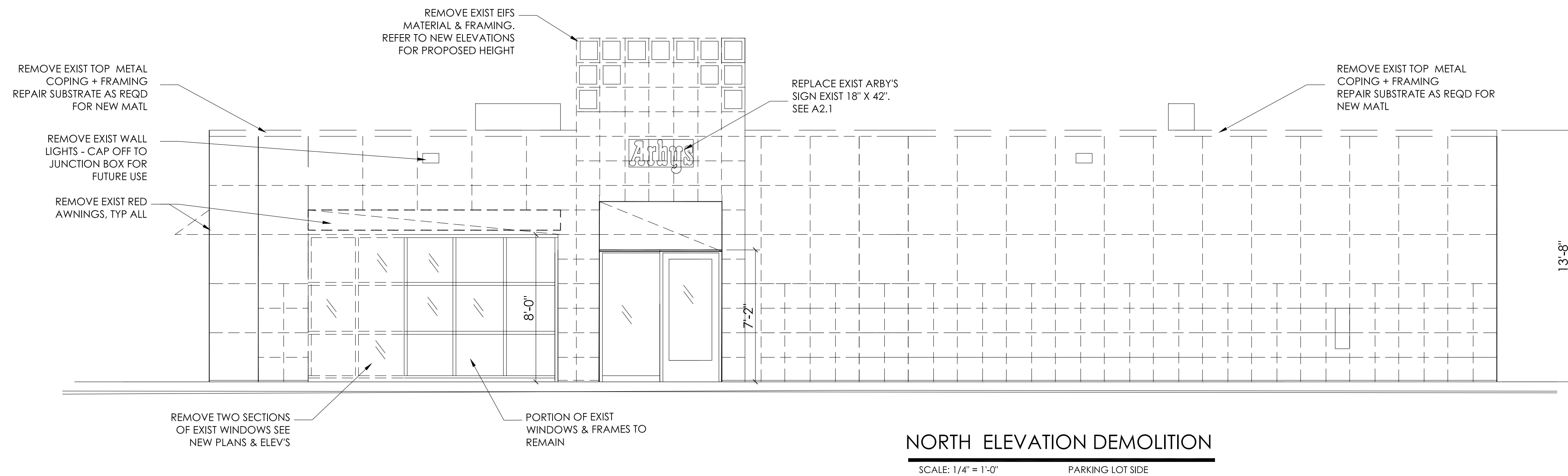
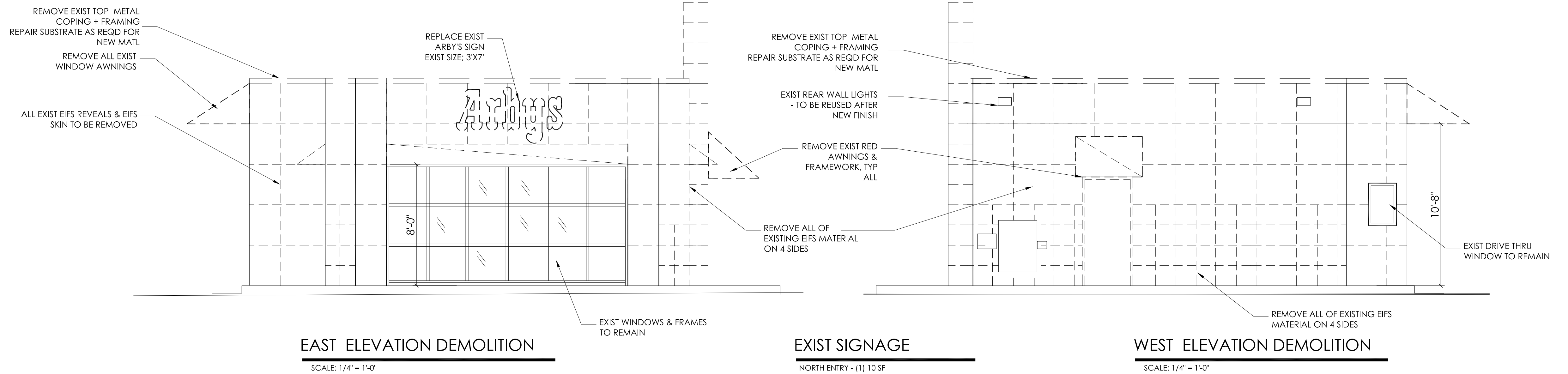
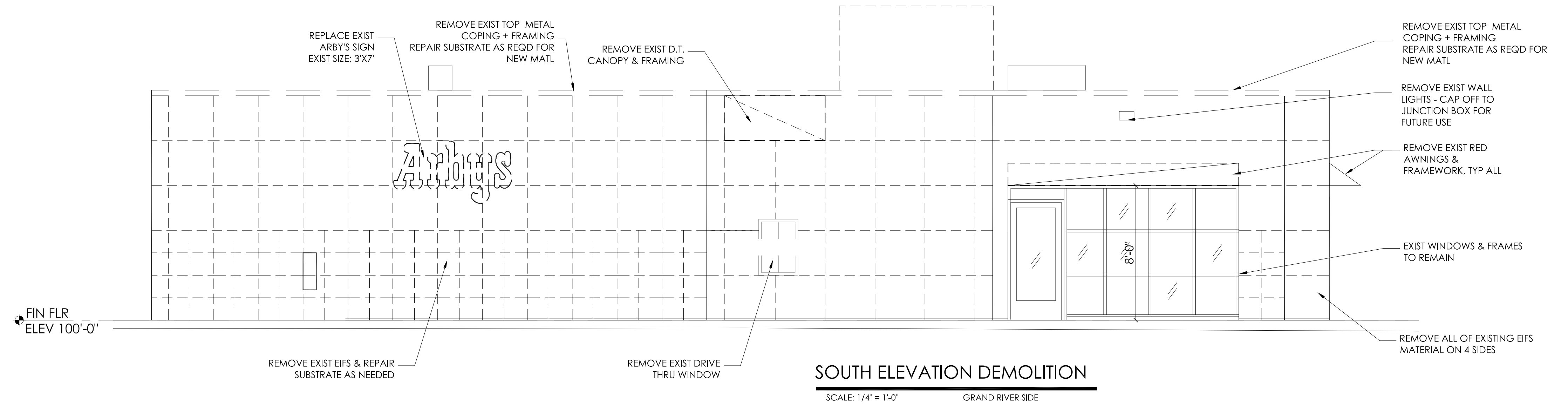
SOUTH-WEST ELEVATION



SOUTH - EAST ELEVATION



NORTH ELEVATION



EXT ELEVATIONS
EXIST

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
1	11-18-21	EXIST CONDITIONS OWNER
2	07-08-22	print to review
3	02-15-23	Owner GC Review
4	02-24-23	Sub's Review
5	03-14-23	corp. Review
6	05-17-23	3rd Corp Submittal
7	07-18-23	EXIST CONDITIONS OWNER
8	08-08-23	permit submit Genoa Livingston
9	10-11-23	owner review for SPR
10	10-23-23	report for SPR
11	12-13-23	2nd submit SPR
12	12-19-23	zbe submittal

DRAWN BY: C. BALL
DATE: 03-17-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
EX
2.0

EXTERIOR MATERIALS

METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR.70/TE.87	OR EQUAL
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR.26/TE.87	OR EQUAL
C	PRE-FABRICATED CANOPY/BAND	SHERWIN WILLIAMS SW #6869 "STOP"	--
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	NOT USED HOWELL
HARDIE PANEL SPECS (OR EQUAL)			
H.RB	HARDIE PANEL	SW "ROCKWOOD BROWN" - WITH 8" REVEAL PATTERN	SPEC XX
H.S	HARDIE PANEL	SW "STOP" - SMOOTH FINISH	
H.FG	HARDIE PANEL	SW "FUNCTIONAL GRAY" - STUCCO LOOK	
H.PW	HARDIE PANEL	SW "PURE WHITE" - STUCCO LOOK	
H.W.B.	HARDIE PANEL	SW "PURE WHITE" - BRICK PATTERN	
M1	MASONRY/MANUF	M1: "CAST STONE" / "FACE BRICK" COLOR VARIOUS GRAY	

PAINT SPECIFICATION

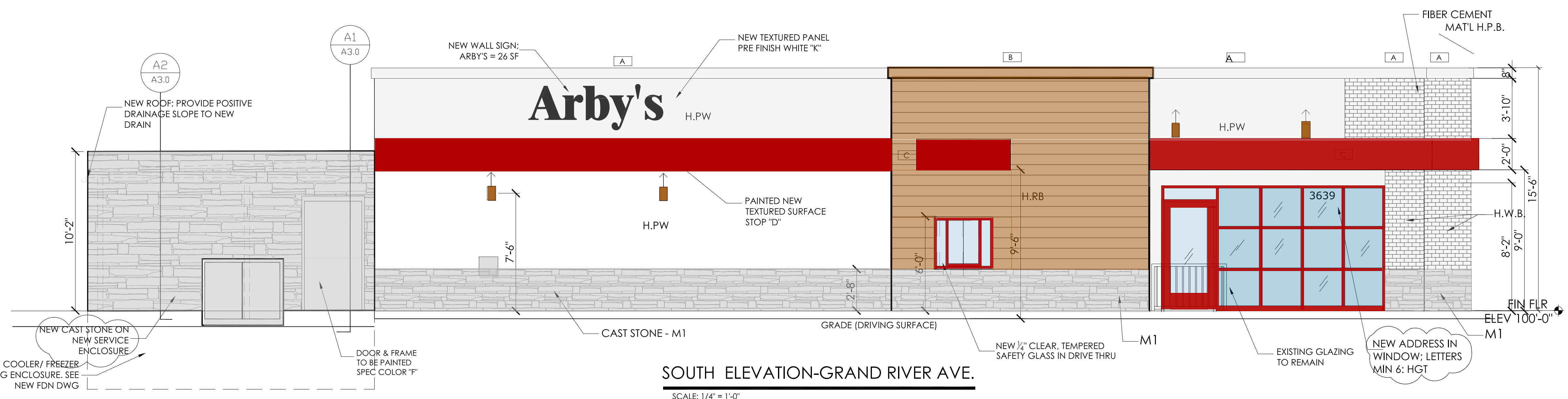
Arby's color designation (Sherwin Williams color designation)	Substrate(s)	Sherwin Williams (SW) Product	Remarks
Arby's tag designation <D> (this is a red color that is a close color match for the metal red canopy)	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: Pro Industrial DTM Acrylic Gloss, B96-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B95C Series	Use at least two coats of finish. May require 3-4 coats to get proper coverage. Primer tinted to SW P1.
SW #6869, "stop"	Pre-finished metal or factory primed, Kynar-finished roof or metal storefront	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B96-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B95C Series	
D	Wood	Primer: A-100 Exterior Latex Primer B24W08041 Finish: Pro Industrial DTM Acrylic Gloss, B96-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B95C Series	
F	Pre-finished aluminum, aluminum storefront, galvanized	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B96-1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B95C Series	Use at least two coats of finish
Arby's tag designation <F> SW #7024 "Functional Gray"	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self-Cleaning Acrylic, Flat, LX13 Series	
C	Pre-finished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EggShell, B96-1250 Series	
Arby's tag designation <C> SW #2038 "Rockwood Dark Brown"	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self-Cleaning Acrylic, Flat, LX13 Series	Use at least two coats of finish. Primer tinted to SW P2.
K	Pre-finished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EggShell, B96-1250 Series	
Arby's tag designation <K> SW #7005 "Pure White"	E, F, S (Dryvit), stucco, concrete block, cementitious material, Hardi-Panel	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050* Finish: A100 Acrylic Satin, A82W151 Series	Use at least two coats of finish. Primer tinted to SW P1.
	Wood	Primer: Exterior Latex Wood Primer B24W08041 Finish: A100 Acrylic Satin, A82W151 Series	

*Loxon Masonry Conditioner, Glaze Coat White, LX03W0100 May also be used on cementitious surfaces.

REFER TO A2.2 FOR EXTERIOR BUILDING MATERIAL CALCULATIONS

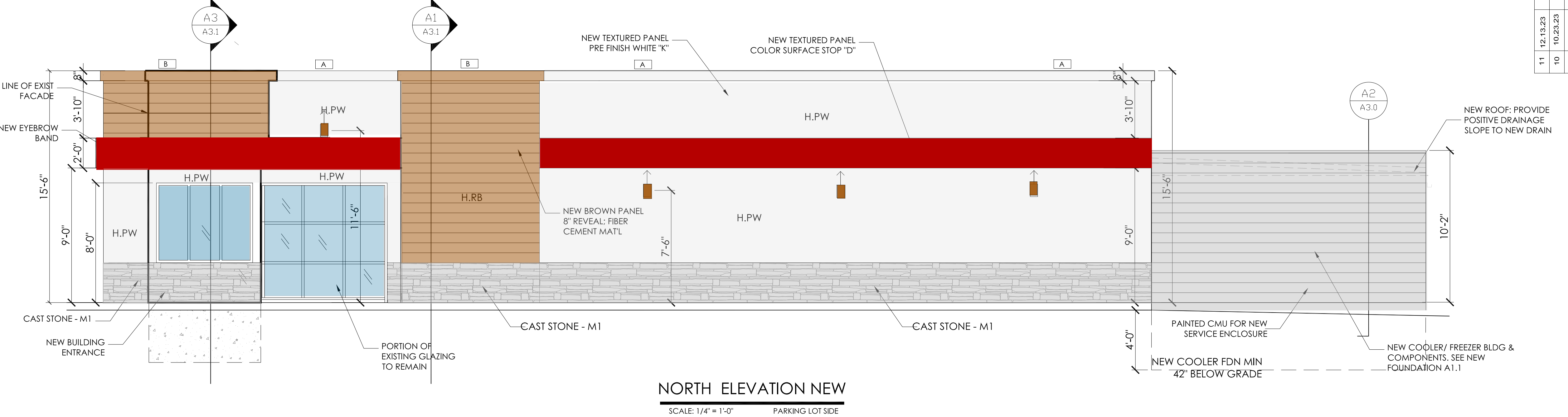
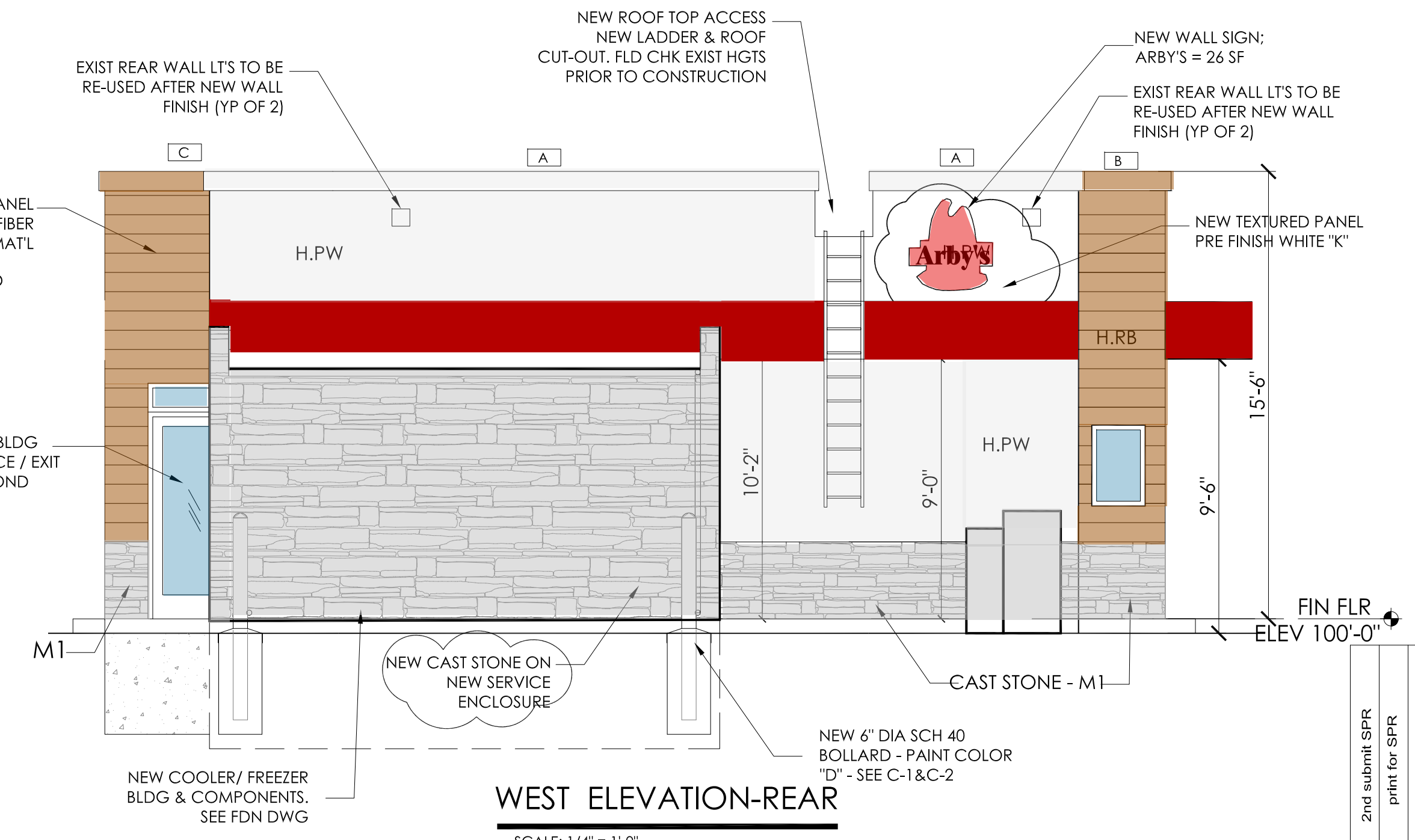
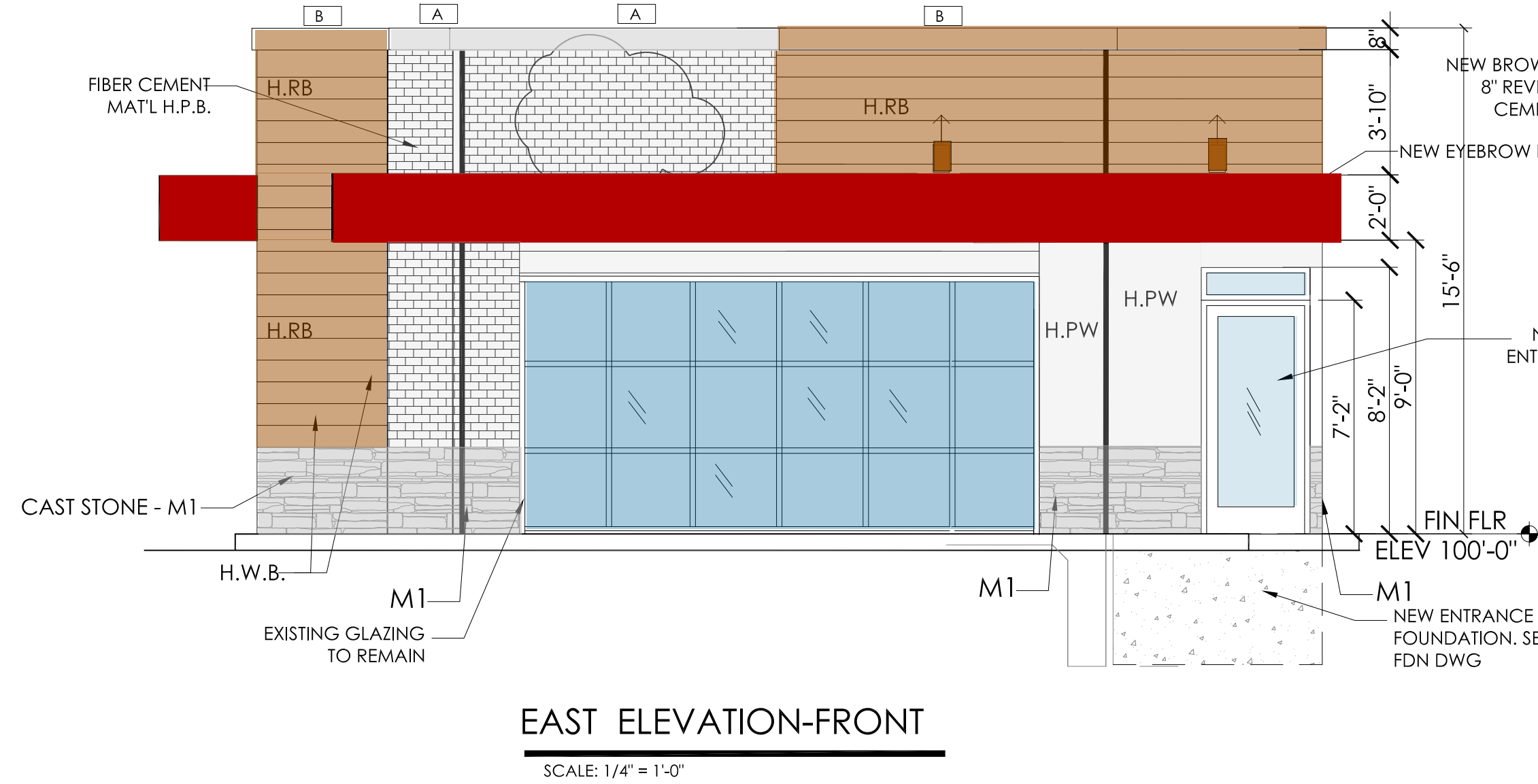
BUILDING EXTERIOR:

- G.C. TO COORDINATE WITH OWNER ALL BLDG DEMOLITION AND RENOVATION WORK AS INDICATED ON DRAWINGS.
- EXISTING STOREFRONT TO BE REMOVED AS INDICATED ON DWGS. G.C. TO CLEAN, RECAULK, AND RE-BASKET THE INSIDE AND OUTSIDE OF EXIST FRAMES TO REMAIN.
- EXIST ALUM DOOR - & DRIVE THRU WINDOW - CLEAN AND REPAINT TO MATCH COLOR "C" BRONZE LOOK. G.C. SHALL REPAIR / PRELACE ALL HARDWARE AS DIRECTED BY OWNER
- G.C. TO RECAULK THE EXTERIOR PERIMETER BASE OF BLDG WHERE IT ABUTS THE PAVEMENT / SIDEWALK AREAS.
- G.C. TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXIST ROOF DURING WORK. G.C. RESPONSIBLE FOR REPAIR OF DAMAGE TO EXIST ROOF AS A RESULT OF CONSTRUCTION ACTIVITY. G.C. TO PATCH/ REPAIR HOLES IN EXIST ROOF AS DIRECTED BY OWNER.
- G.C. TO PROVIDE WALL, ROOFING AND ASSOCIATED FLASHING AFTER DEMOLITION AND NEW CONSTRUCTION
- G.C. TO REPAIR AS NECESSARY ANY EXTERIOR DAMAGE TO SUBSTRATE & PREPARE SURFACE FOR NEW FINISH - SEE ELEVATIONS
- INSTALL NEW DOOR, FRAME AND HARDWARE AS DIRECTED ON DWGS.
- NEW EXTERIOR LIGHTING AS SHOWN ON DRAWINGS. SCONCE: TYPE SEE SPECIFICATION
- ROOF ACCESS FOR MAINTENANCE OF EQUIPMENT - IMC 2018 CHAP 3: WHERE VERTICAL ROOF HGT. IS 12 FT OR > THEN A PERMANENT LADDER / STAIR ACCESS IS REQUIRED. CURRENT BLDG HAS NO ACCESS - PROVIDE NEW
- INSTALL WALL MOUNTED LIGHT FIXTURE: AS SHOWN ON DRAWING



SIGNAGE GENOA TWP Table 16.1

Regional Commercial District: **Wall Sign** No. of signs = 1 per establishment
Wall sign Max size: 10% of front facade
 Footnote: 16.1.2a.&b. - Two wall signs permitted for establishments located on a through lot. One wall sign permitted on each side of the bldg that fronts along public ROW. Total wall sign area allowable: 100 SF
Monument Sign: (1) allowed. Pole sign - not included
 16.07.05 **Directional signs:** One allowed per Drive.
 DESIGN INTENT: Remove existing signs and provide new.
 EXISTING: North & South facade = 1273 SF x 10% = 127.3 SF. West & East Facade = 512 SF x 10% = 51.2 (allowed each facade)
 PROPOSED: North wall sign = 0 SF, East wall sign = 11.4 SF. South = 26 SF. West = 26 SF = 63.4 SF < 100 SF total allowable
 EXISTING: Pole sign - replace the Hat same size = 48.6 SF Reader board remain & cleaned = 25.6 SF = 74 SF
 EXISTING: (3) drive's and 4 Directional signs existing - reface all, each = 4 SF x 2 sides = 8 SF x 4 signs = 32 SF



EXTERIOR ELEVATIONS PROPOSED

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS AND CONDITIONS PRESENT ON SITE AS BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
 model: 1791/2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-750-3423
 CRAWFORD@ARBY'S@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
11	12.13.23	2nd submit SPFR
10	10.23.23	print for SPFR
9	10.11.23	owner review for SPFR
8	08.17.23	color elev permit
7	08.08.23	permit submit Genoa Livingston
6	03.12.23	All elevations - new stone base
5	03.12.23	Arch review
4	02.24.23	Sub's review
3	02.15.23	Owner GC Review
2	01.10.23	proposed remodel owner review
1	07.08.22	final print review

DRAWN BY: C. BALL
 DATE: 05-08-22
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
A 2.1

ARTICLE 12
SITE DEVELOPMENT REGULATIONS

Sec. 12.01 MULTIPLE FAMILY, COMMERCIAL, OFFICE AND INDUSTRIAL ARCHITECTURE

12.01.01 Purpose: The purpose of this Section is to provide a set of exterior building wall material standards, the intent of which is to enhance the visual environment of the Township. Furthermore, the review of exterior building wall design and the consistent administration of standards can help to maintain the Township's sense of place by encouraging consistent quality and character when structures are built or redeveloped. All development shall utilize quality architecture to ensure that a building is compatible with surrounding uses, protects the investment of adjacent landowners, blends harmoniously into the streetscape, and maintains a positive image for the Township's various commercial shopping districts.

12.01.02 Applicability: This Section shall apply to all construction, except single family residential structures, for all exterior building walls and shall consist of those materials and combinations of materials as set forth in this section. Architecture shall be reviewed by the Planning Commission as a part of site plan review under the requirements of this section.

12.01.03 Wall materials: The use of exterior wall materials on walls that are visible from a public, or private road or a parking lot shall be in compliance with the maximum percentages permitted in the "Schedule of Regulating Exterior Building Wall Materials."

Table 12.01.03
Schedule of Exterior Building Wall Materials

Building Materials	Maximum Percent of Wall That May be Covered by Certain Building Materials by Zoning District (a)			
	Multiple Family Residential	Office Service District (OSD), Public & Rec. Fac. District (PRF)	Commercial Districts (NSD, GCD, RCD) (c)	Industrial District (IND)
Brick or face brick	100%	100%	100%	100%
Stone	100%	100%	100%	100%
Split face block	0%	25%	25%	100%
Scored concrete block	0%	25%	25%	100%
Plain concrete block	0%	25%	25%	25%
Cast stone	100%	100%	100%	100%
Precast concrete	0%	25%	25%	100%
Concrete formed in place	0%	25%	25%	25%
Metal (d)	0%	25%	25%	25%
Reflective glass	0%	100%	50%	75%
Glass block	25%	50%	50%	50%
Wood siding	25%	25%	25%	0%
Vinyl or fiber cement siding	25%	25%	25%	25%
Finishes (e)	25%	25%	25%	75%

(a) Does not include areas of façade consisting of doors and windows.

(b) For all multiple family dwellings, all walls exposed to public view from a street shall be constructed of not less than seventy five percent (75%) brick, face brick or stone. The following materials are not permitted in the multiple family districts on building

(e) Includes fiberglass, reinforced concrete, polymer plastic (typon), exterior insulation and finishing systems (EIFS), plaster, stucco and similar materials. Such materials shall not be used where contact with vehicles may occur, such as parking areas, traffic ways, and loading areas, unless such walls are adequately protected to prevent damage. (as amended 12/31/04)

GENOA TWP ORD SECTION 12.01.03

EXTERIOR MATERIAL USAGE

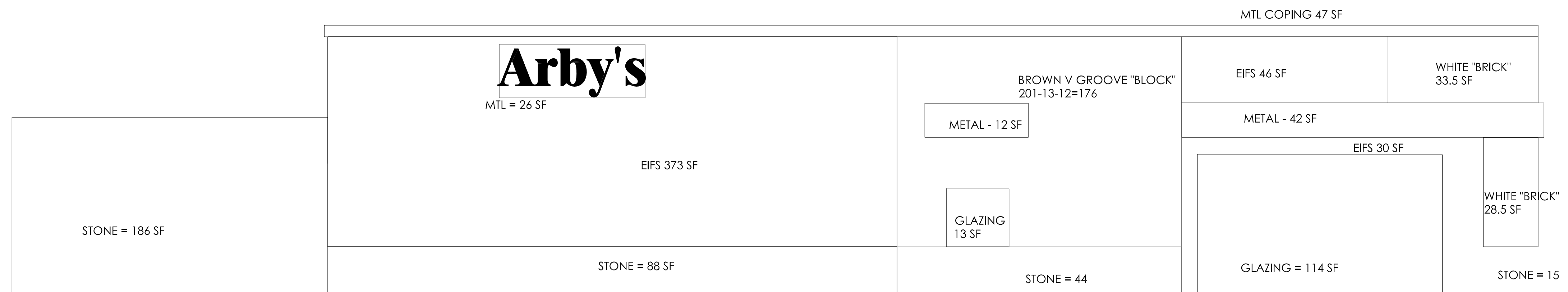
ZONING: GENERAL COMMERCIAL DISTRICT: GCM
Table 12.01.03-Max Percentage of Wall that may be covered by certain Building Materials by Zoning Ordinance
ALLOWABLE: SEE ABOVE

SOUTH/ENTRY PROVIDED: OVALL = 1273 SF (x.50=636.5 SF)(x.25 = 318 SF)
REFLECTIVE GLAZING (50% allowed) = 127 SF / 1273 = 10%
CAST STONE (100% allowed) = 332 SF / 1273 = 11%
FIBER CEMENT(25%) = 238 SF / 1273 = 19%
METAL (25% allowed)= 127 SF / 1273 = 1%
EIFS (FINISHES)(25%) = 449 SF / 1273 = 35% (over by 10%)
PTD CMU (25% allowed)= 0 SF / 1273 = 0%

NORTH/D.T. PROVIDED: OVALL:1273 SF (x.50=636.5 SF)(x.25 = 318 SF)
GLAZING = 105 SF = 8%
STONE = 164 SF = 13%
FIBER CEMENT = 154 SF = 12%
METAL = 65 SF = 5%
EIFS (FINISHES)= 599 SF = 47% (over by 22%)
PTD CMU = 186 SF = 15%

WEST REAR PROVIDED: OVALL = 512 SF (x.25 =128 SF)(x.50 =256)
GLAZING = 27 SF / 512 = 5%
CAST STONE = 218 SF = 43%
FIBER CEMENT = 54 SF = 10.5%
METAL: 41.4 SF = 8%
E.I.F.S. FINISHES = 171.6 SF = 34% (over by 9%)
PTD CMU = 0 <128 = 0%

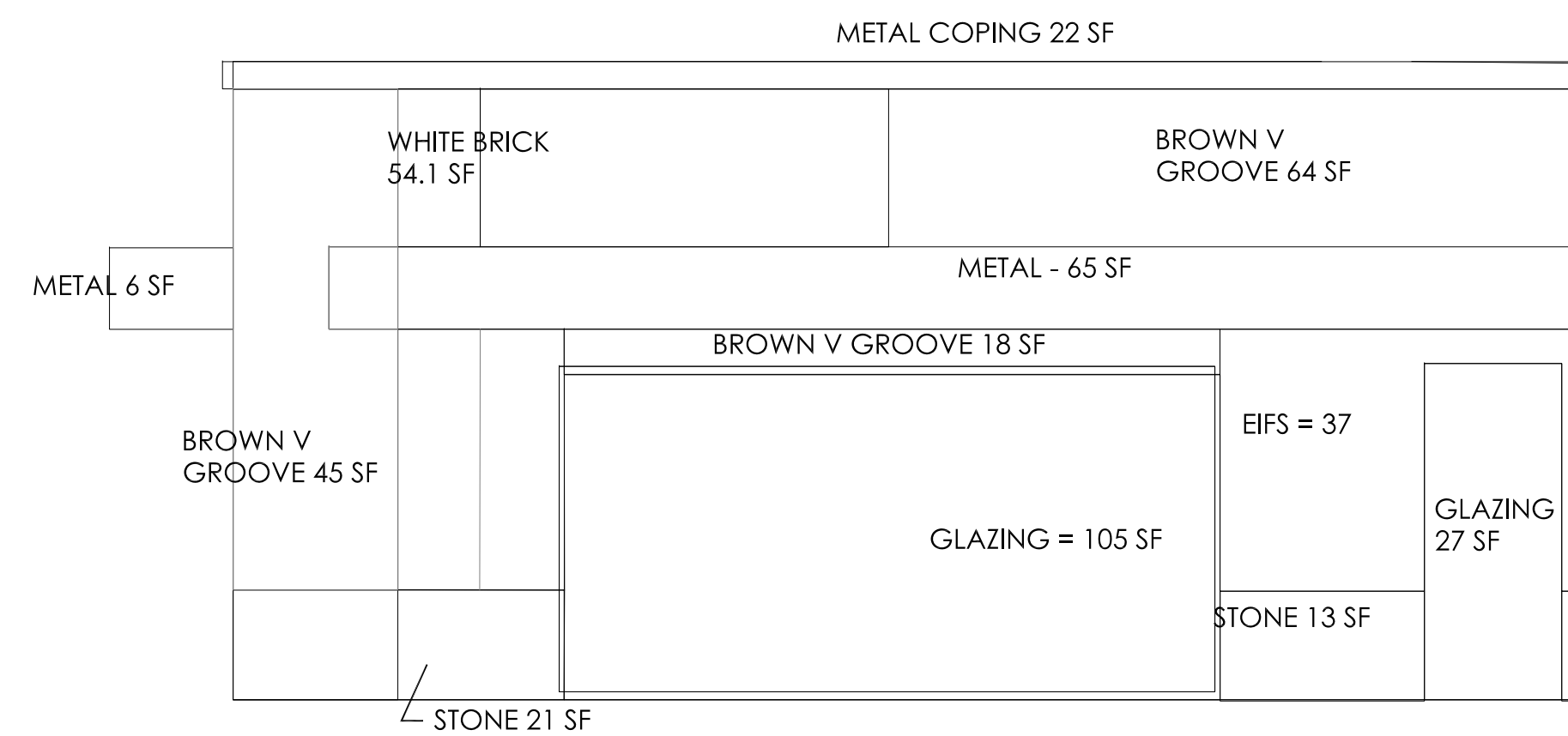
EAST FRONT PROVIDED: OVALL = 512 SF (x.25 =128 SF)(x.50 = 256)
GLAZING = 132 SF = 26%
CAST STONE = 52 SF = 10%
FIBER CEMENT = 204 SF = 40% (over by 15%)
METAL = 93 SF = 18 %
EIFS FINISHES = 37 SF = 7%



SOUTH ELEVATION -ENTRY

SCALE: 1/4" = 1'-0"

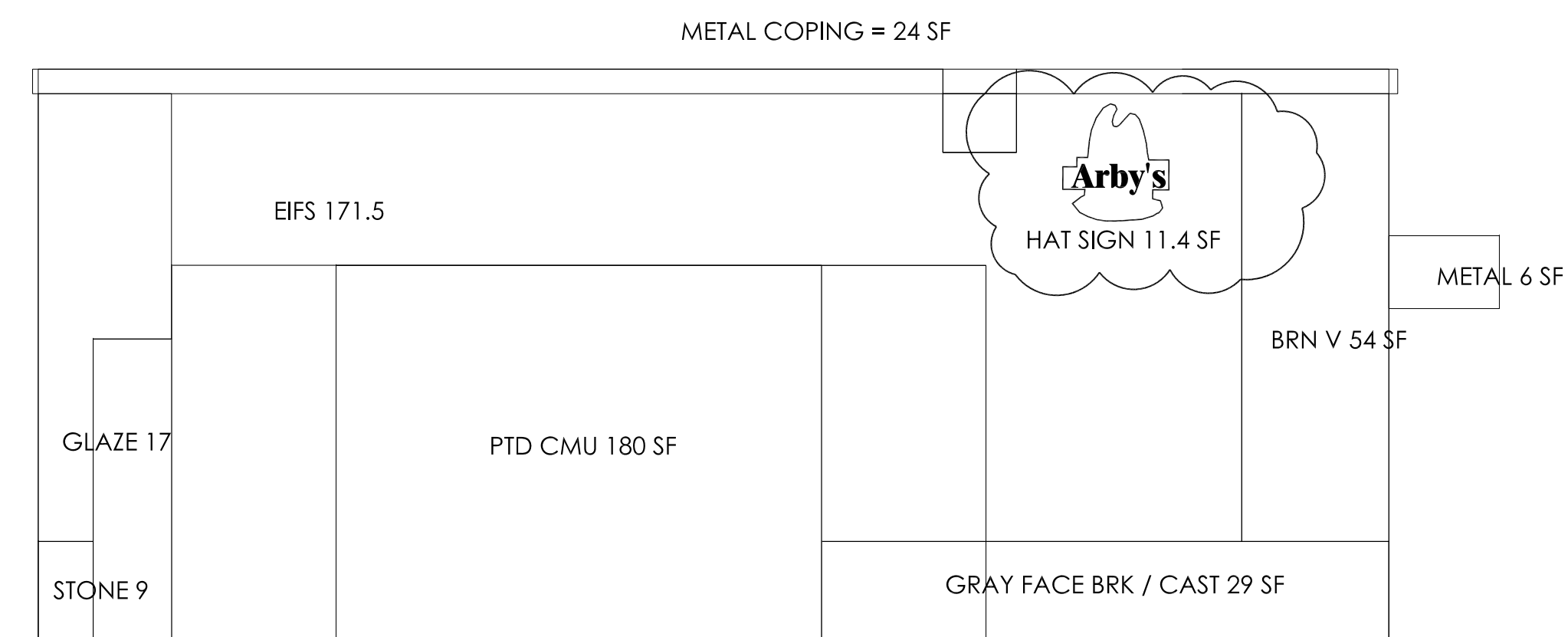
TOTAL NORTH FACADE OVALL = 1273 SF
FIBER CEMENT - BRN V GROOVE & WH. BRICK
CAST STONE = 186 + 88 + 44 + 15 = 333 SF
MTL TOTAL 127 SF



EAST ELEVATION FRONT

FIBER CEMENT - BRN V GROOVE & WH. BRICK

TOTAL OVALL = 512 SF



WEST ELEVATION REAR

FIBER CEMENT - BRN V GROOVE & WH. BRICK

TOTAL OVALL = 512 SF



NORTH ELEVATION NEW

SCALE: 1/4" = 1'-0"

FIBER CEMENT - BRN V GROOVE & WH. BRICK TOTAL OVALL = 1273 SF

EXTERIOR MATERIAL TAKEOFF - CODE

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081,3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
5	12.13.23	2nd submit SPR			
4	10.23.23	print for SPR			
3	10.11.23	owner review for SPR			
2	06.19.23	Owner - signs-materials			
1	03-10-23	contractor & owner review			

DRAWN BY: C. BALL
DATE: 03-02-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:

A
2.2

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
J & J MANAGEMENT	CHEW LAND MANAGEMENT LLC	0	12/08/2020	WD	03-ARM'S LENGTH	2020R-046409	BUYER/SELLER	100.0		
J & J MANAGEMENT	CHEW LAND MANAGEMENT LLC	1,200,000	12/08/2020	WD	03-ARM'S LENGTH	2020R-046409	BUYER/SELLER	100.0		
Property Address		Class: COMMERCIAL-IMPROVE		Zoning: RCD		Building Permit(s)		Date	Number	Status
3639 E GRAND RIVER		School: HOWELL PUBLIC SCHOOLS		COMM MISCEL		05/02/2017		W17-046	NO START	
Owner's Name/Address		P.R.E. 0%		MAP #: V24-02		2024 Est TCV Tentative				
CHEW LAND MANAGEMENT LLC 3253 OWEN RD FENTON MI 48430-1755		X Improved		Vacant		Land Value Estimates for Land Table 2003.GRAND RIVER FRONTAGE				
Tax Description		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value				
SEC 5 T2N R5E COMM AT S1/4 COR TH N02*00'53"W 1927.24 FT TH S64*46'02"E 429.85 FT TO POB TH N02*56'41"W 110.70 FT TH N87*03'19"E 287.12 FT TH S02*56'41"E 104.48 FT TH S25*13'58"W 141.07 FT TH N64*46'02"W 250.16 FT TO POB CONT. 1.11 AC M/L SPLIT FR 007 8/91 CORR LEGAL 11/00 PARCEL C		Dirt Road		GRD RIVR1600		262.00 182.00 1.0000 0.9539		1600 100		399,891
Comments/Influences		Gravel Road		262 Actual Front Feet, 1.10 Total Acres		Total Est. Land Value =		399,891		
		Paved Road		Land Improvement Cost Estimates		Description Rate Size % Good Cash Value				
		Storm Sewer		D/W/P: Asphalt Paving		3.32		40300 43		57,532
		Sidewalk		Commercial Local Cost Land Improvements		Description Rate Size % Good Arch Mult Cash Value				
		Water		WELL/WATER		4,475.00		1 70 100		3,132
		Electric		SEPTIC/SEWER		4,400.00		1 70 100		3,080
		Gas		Total Estimated Land Improvements True Cash Value =		63,744				
		Curb		Topography of Site		Year Land Value Building Value Assessed Value Board of Review Tribunal/Other Taxable Value				
		Street Lights		Level		2024 Tentative Tentative Tentative				
		Standard Utilities		Rolling		2023 199,900 145,300 345,200				
		Underground Utils.		Low		2022 199,900 131,000 330,900 258,200T 258,200S				
		Topography of Site		High		2021 199,900 145,300 345,200 345,200S				
		Level		Landscaped						
		Rolling		Swamp						
		Low		Wooded						
		High		Pond						
		Landscaped		Waterfront						
		Swamp		Ravine						
		Wooded		Wetland						
		Pond		Flood Plain						
		Waterfront		Who When What		DLR 11/11/2010 INSPECTED				
		Ravine		The Equalizer. Copyright (c) 1999 - 2009.		Licensed To: Township of Genoa, County of Livingston, Michigan				
		Wetland								
		Flood Plain								

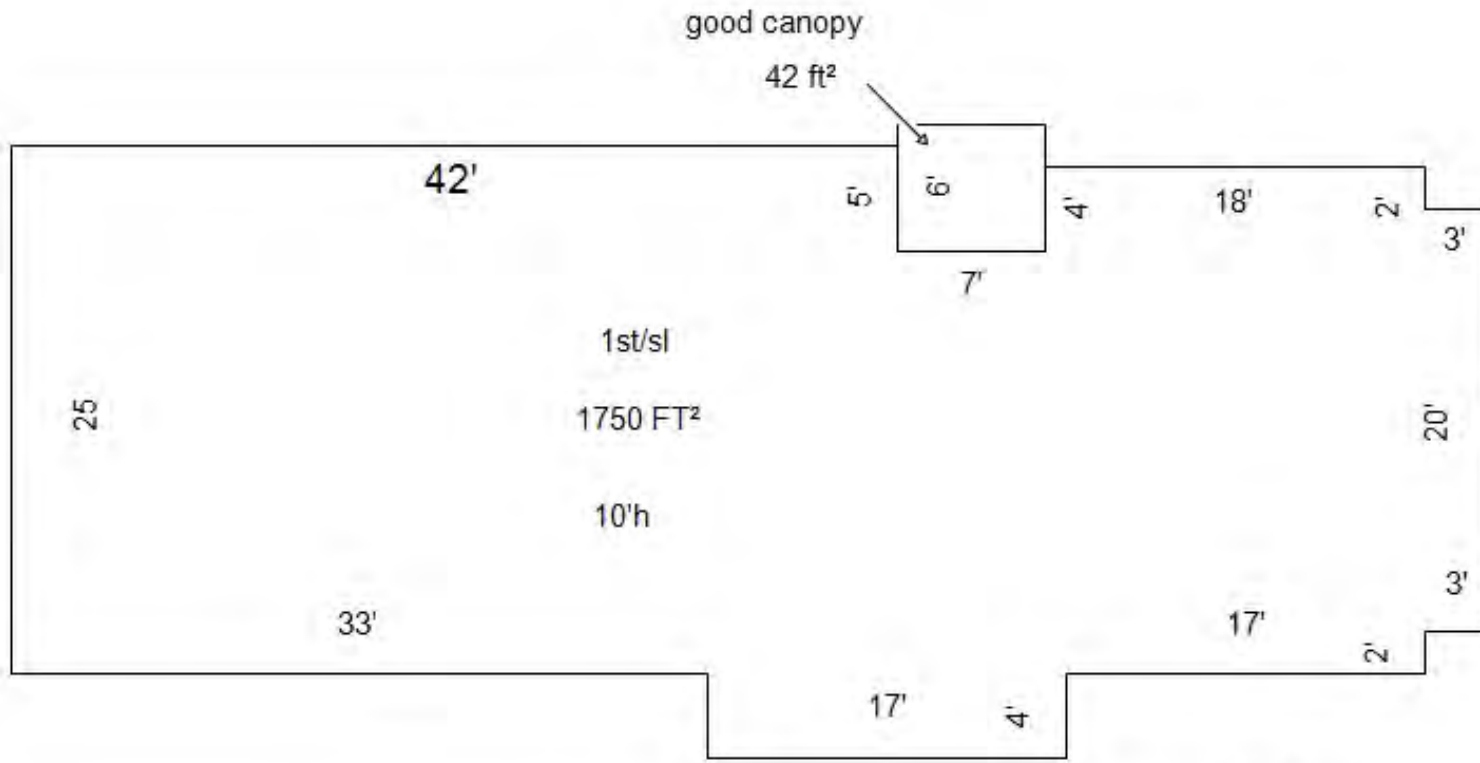


*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Calculator Occupancy: Restaurants - Fast Food				<<<<<< Calculator Cost Computations >>>>>>			
Class: C				Class: C Quality: Average		Stories: 1 Story Height: 10 Perimeter: 204	
Floor Area: 1,750 Gross Bldg Area: 1,750 Stories Above Grd: 1 Average Sty Hght : 10 Bsmnt Wall Hght		Construction Cost		Base Rate for Upper Floors = 204.35		(10) Heating system: Complete H.V.A.C. Cost/SqFt: 33.32 100% Adjusted Square Foot Cost for Upper Floors = 237.67	
Depr. Table : 1.5% Effective Age : 26 Physical %Good: 68 Func. %Good : 100 Economic %Good: 100		High Above Ave. Ave. X Low ** ** Calculator Cost Data ** ** Quality: Average Heat#1: Complete H.V.A.C. 100% Heat#2: Complete H.V.A.C. 0% Ave. SqFt/Story: 1750 Ave. Perimeter: 204 Has Elevators:		Total Floor Area: 1,750 Base Cost New of Upper Floors = 415,923		Reproduction/Replacement Cost = 415,923 Eff.Age:26 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 68 /100/100/100/68.0 Total Depreciated Cost = 282,828	
1992 Year Built Remodeled		Area: Perimeter: Type: Heat: Hot Water, Radiant Floor		ECF (2009 RESTFASTFOOD) 0.900 => TCV of Bldg: 1 = 254,545 Replacement Cost/Floor Area= 237.67 Est. TCV/Floor Area= 145.45			
Overall Bldg Height		* Mezzanine Info * Area #1: Type #1: Area #2: Type #2:					
Comments:		* Sprinkler Info * Area: Type: Average					
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:		(8) Plumbing:		Outlets: Fixtures:			
X Poured Conc.	Brick/Stone	Block	Footings	Many Above Ave.	Average Typical	Few None	
(3) Frame:		Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets		Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners		Few Average Many Unfinished Typical Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	
(4) Floor Structure:		(9) Sprinklers:		Incandescent Fluorescent Mercury Sodium Vapor Transformer		(40) Exterior Wall:	
(5) Floor Cover:		(10) Heating and Cooling:				Thickness Bsmnt Insul.	
(6) Ceiling:		Gas Oil Coal Stoker Hand Fired Boiler		(13) Roof Structure: Slope=0			
				(14) Roof Cover:			

*** Information herein deemed reliable but not guaranteed***

2017 updated their dining area



Asp. Paving
40,300 sq. ft.

*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
December 19, 2023 - 6:30 PM**

MINUTES

Call to Order: Vice Chairman Rockwell called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Bill Rockwell, Michele Kreutzberg, Craig Fons, and Amy Ruthig, Planning Director. Absent were Marianne McCreary and Jean Ledford.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board and staff introduced themselves.

Conflict of Interest: None

Approval of the Agenda:

Moved by Board Member Kreutzberg, seconded by Board Member Fons, to approve the agenda as presented. **The motion carried unanimously.**

Vice-Chairman Rockwell advised the applicants that due to there only being three of the five board members present this evening, in order for a case to be approved, it will require a unanimous vote by all members present. Applicants have the option to have their case tabled until a future meeting when there is a full board present.

Call to the Public:

The call to the public was opened at 6:31 pm with no response.

1. 23-37...A request by Shane Sumner, 1583 S. Hughes, for a front yard variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a deck with a pergola.

Mr. Sumner stated that he made an error and was not aware of the requirements for constructing the deck and pergola so it was built without permits and approval. It was a concrete porch with metal railings. The upgrade is an improvement for him and anyone entering and exiting the home. It would not cause any public safety issues, it is well built, and would not pose any obstruction for any vehicle to enter or exit his property from Hughes Road.

Board Member Kreutzberg questioned the tarp structure on the property. Mr. Sumner stated this is a temporary cover for his boat. She noted that this will need to be removed as it is considered a structure and a third structure is not permitted on the property. Ms. Ruthig confirmed this is correct and if Mr. Sumner would like it to remain, he would need to apply for an additional variance.

Genoa Township Zoning Board of Appeals Meeting
December 19, 2023
Unapproved Minutes

Board Member Fons stated that many requests for three structures on properties of this size have been denied.

The call to the public was opened at 6:44 pm with no response.

Moved by Commissioner Kreutzberg, supported by Commissioner Fons, to approve Case #23-37 for Shane Sumner at 1583 S. Hughes Road for a front yard variance of 16 feet 6 inches from the required 20 feet for a front yard setback of 3 feet 6 inches to retain a deck with a pergola, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. The variance will provide substantial justice and would make the property consistent with other properties and homes in the area as there are other homes with reduced front yard setbacks.
- The property is a non-conforming lot with non-conforming home placement. The location of the front door dictates the positioning of the porch. Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

The approval is conditioned upon:

1. A land use application will be submitted within fifteen business days of ZBA approval with the required documentation.
2. A building permit from the Livingston County Building Department will be applied for within fifteen business days after receiving the land use permit from Genoa Charter Township.
3. If permits are not applied for in the required time frame, then the deck must be removed.
4. The additional detached accessory structure must be removed; however, if a variance request is filed within thirty days, it can remain until the case is heard.
5. If conditions are not met, enforcement action will commence.

The motion carried unanimously.

2. 23-38...A request by Ken Tyler, vacant parcels 4711-29-100-008 and 4711-29-300-001 on Coon Lake Road, a variance to not require a perk test prior to a split of property and any variance deemed necessary by the Zoning Board of Appeals.

Mr. Tyler is requesting to waive the requirement to have the perk tests done prior to splitting his property because they are unsure as to where the homes will be built on the properties as each parcel will be between five to seven acres. Also, the splits have not been approved.

Board Member Fons stated that the zoning ordinance is in place in order to protect the people of the Township. If someone is interested in purchasing one of these properties, they should know that it perks.

Board Member Kreutzberg agrees with Board Member Fons. This would be setting a precedent. It is a want and not a need.

The call to the public was opened at 7:06 pm with no response.

Moved by Commissioner Kreutzberg, supported by Commissioner Fons, to deny Case #23-38 for Ken Tyler of 5200 Richardson Road for vacant parcels 4711-29-100-008 and 4711-29-300-001 on Coon Lake Road for a variance to not require a perk test prior to a split of property, based on the following findings of fact:

- There are no extraordinary conditions that would eliminate the need for perk tests.
- The need for the variance is self-created.
- Citing Article 20.04.06 - Septic and Well. For land divisions, documentation is required from the Livingston County Health Department on the suitability of the lots to accommodate individual wells, septic and reserve.

The motion carried unanimously.

3. 23.39... A request by Crystal Gardens and Joe Thomas, 5768 E. Grand River, for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to replace an existing nonconforming sign. (APPLICATION WITHDRAWN)
4. 23-40...A request by Peter Wood, 4021 Homestead, for a front, two sides and a waterfront setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a new home.

Mr. Wood stated that his project started with additions to the original home. He received variances for this work; however, after the project began, he learned that all of the floors of the original home were at different levels, the floorboards were rotted and the crawl space was contaminated. He decided to demolish the original house and rebuild it. He is now requesting additional variances. The existing home was non-compliant so the new home will also be non-compliant because it will be within the same footprint.

Mr. David Hazen, the architect, provided a review of the design and structure of the new home.

The call to the public was opened at 7:23 pm with no response.

Moved by Commissioner Kreutzberg, supported by Commissioner Fons, to approve Case #23-40 for Peter Wood of 4021 Homestead for a front yard setback variance of 25 feet from the required 35 feet for a front yard setback of 10 feet, a side yard setback variance of 1.5 feet from the required 10 feet for a side yard setback variance of 8.5 feet, another side yard setback variance of 1.4 feet from the required 5 feet for a side setback of 3.6 feet, and a waterfront setback variance of 20.75 feet from the required 57.25 feet for a waterfront setback of 36.50 feet to construct a single family home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property or cause it to be unbuildable. The variance will provide substantial justice and would make the property consistent with other properties and homes in the area with reduced setbacks. The proposed home location will be on the original footprint along with the previously approved addition.
- The variances are necessary due to the extraordinary circumstances, such as the non-conforming irregular lot size with a reduced building envelope and the original footings can be utilized.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.

Genoa Township Zoning Board of Appeals Meeting
December 19, 2023
Unapproved Minutes

- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The structure must be guttered with downspouts.
2. A land use permit is required for the construction of the new home.
3. Any retaining walls will require a land use permit and shall meet the Zoning Ordinance.
4. Lot coverage shall adhere to the Zoning Ordinance requirements.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the November 21, 2023 Zoning Board of Appeals meeting.

Moved by Board Member Kreutzberg, seconded by Board Member Fons, to approve the minutes of the October 17, 2023 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be one case on January's meeting agenda.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

Moved by Board Member Fons, seconded by Board Member Kreutzberg, to adjourn the meeting at 7:30 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary