

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
SPECIAL MEETING AND PUBLIC HEARING
JANUARY 9, 2024
TUESDAY
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: (Note: The Board reserves the right to not begin new business after 10:00 p.m.)

OPEN PUBLIC HEARING #1...Consideration of a sketch plan application and sketch plan for façade revisions to the existing Dave's Hot Chicken Restaurant located at 3667 E. Grand River Avenue, north side of Grand River Avenue, west of Latson Road. The request is petitioned by Sarah Goeke, Owners Agent.

A. Disposition of Sketch Plan (Façade Revisions) (12-7-23)

OPEN PUBLIC HEARING # 2...Consideration of a site plan application, environmental impact assessment and site plan for an expansion, remodel and exterior site improvements for the existing Arby's Restaurant located at 3639 E. Grand River Avenue, between Grand Oaks Drive and Cleary Drive. The request is petitioned Chew Inc, dba Arby's.

A. Recommendation of Environmental Impact Assessment (12-13-23)

B. Recommendation of Site Plan (12-13-23)

OPEN PUBLIC HEARING #3...Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39 acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

A. Recommendation of Environmental Impact Assessment (10-31-23)

B. Recommendation of Site Plan (12-18-23)

ADMINISTRATIVE BUSINESS:

- Staff Report
- Member discussion
- Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.



GENOA CHARTER TOWNSHIP APPLICATION

Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: _____

If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: _____

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: (815) 541-7995 OWNER PHONE: (248) 894-0434

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

BRIEF STATEMENT OF PROPOSED USE: _____

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: _____

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Sarah Joekes

ADDRESS: _____

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) _____ of _____ at _____
Name Business Affiliation Email Address

FEE EXCEEDANCE AGREEMENT

All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: _____ DATE: _____

PRINT NAME: _____ PHONE: _____



January 2, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Dave’s Hot Chicken – Sketch Plan Review #1
Location:	3667 E. Grand River Avenue – north side of Grand River, west of Latson Road
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the sketch plan request from Dave’s Hot Chicken for façade updates to the existing building at 3667 E. Grand River Avenue.

A. Summary

1. The Planning Commission has review and approval authority over building materials and colors.
2. The applicant proposes the inclusion of multiple bright colors on the mainly white and red building.
3. We request the applicant confirm that no changes to building materials are proposed (or provide additional details).
4. We request the applicant confirm that the changes are only proposed to the front and west side of the building (or provide additional details).
5. Section 12.01.05 requires that building colors “relate well and be harmonious with the surrounding area” and that “subtle earth tone colors shall be used.”
6. In our opinion, the proposed façade changes do not meet the requirements of the Zoning Ordinance.

B. Proposal/Process

The applicant proposes façade updates “per corporate brand standards.” Based on the materials submitted, the updates appear to be only to the color scheme, while the existing (primarily brick) materials are to remain.

Since the Planning Commission had review/approval authority over the site plan for the project, they retain review/approval authority over the proposed façade changes.



Aerial view of site and surroundings (looking north)

C. Review

As noted above, the changes proposed appear to be related to the color scheme of the building; however, we request the applicant confirm that no material changes are proposed.

The proposal includes the use of multiple bright colors (blue, green, red, yellow and purple) with mural-like qualities to the front and west side of the building.

If similar changes are also proposed to the east side and/or rear of the building, the applicant must provide details for the Commission's consideration.

Section 12.01.05 states that "building and sign materials and colors shall relate well and be harmonious with the surrounding area." This Section further states that "subtle earth tone colors shall be used for building and roofing material."

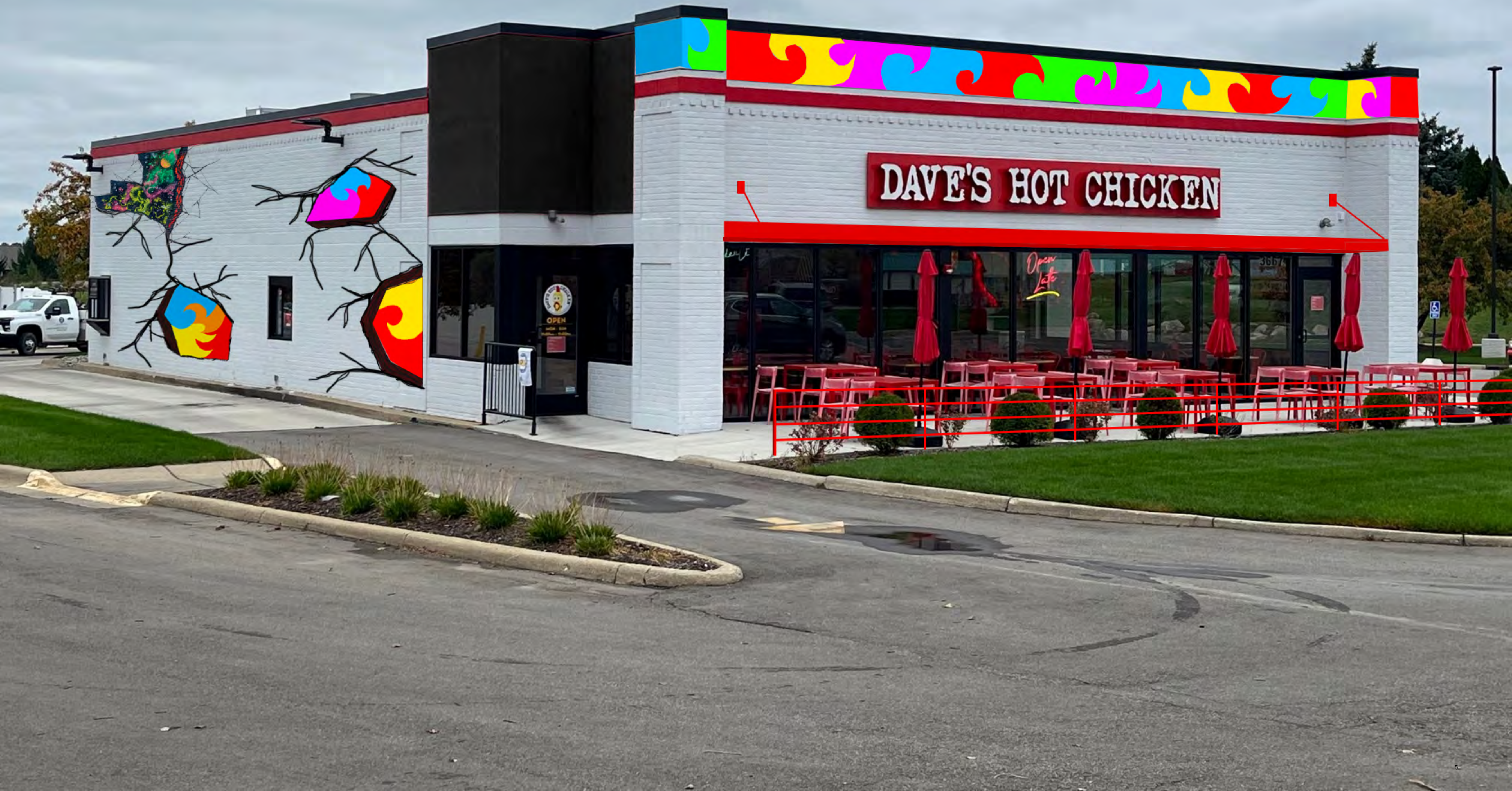
In our opinion, the proposal does not comply with these standards.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

Brian V. Borden, AICP
Michigan Planning Manager

PROPOSED ELEVATION
RECEIVED 12-7-23

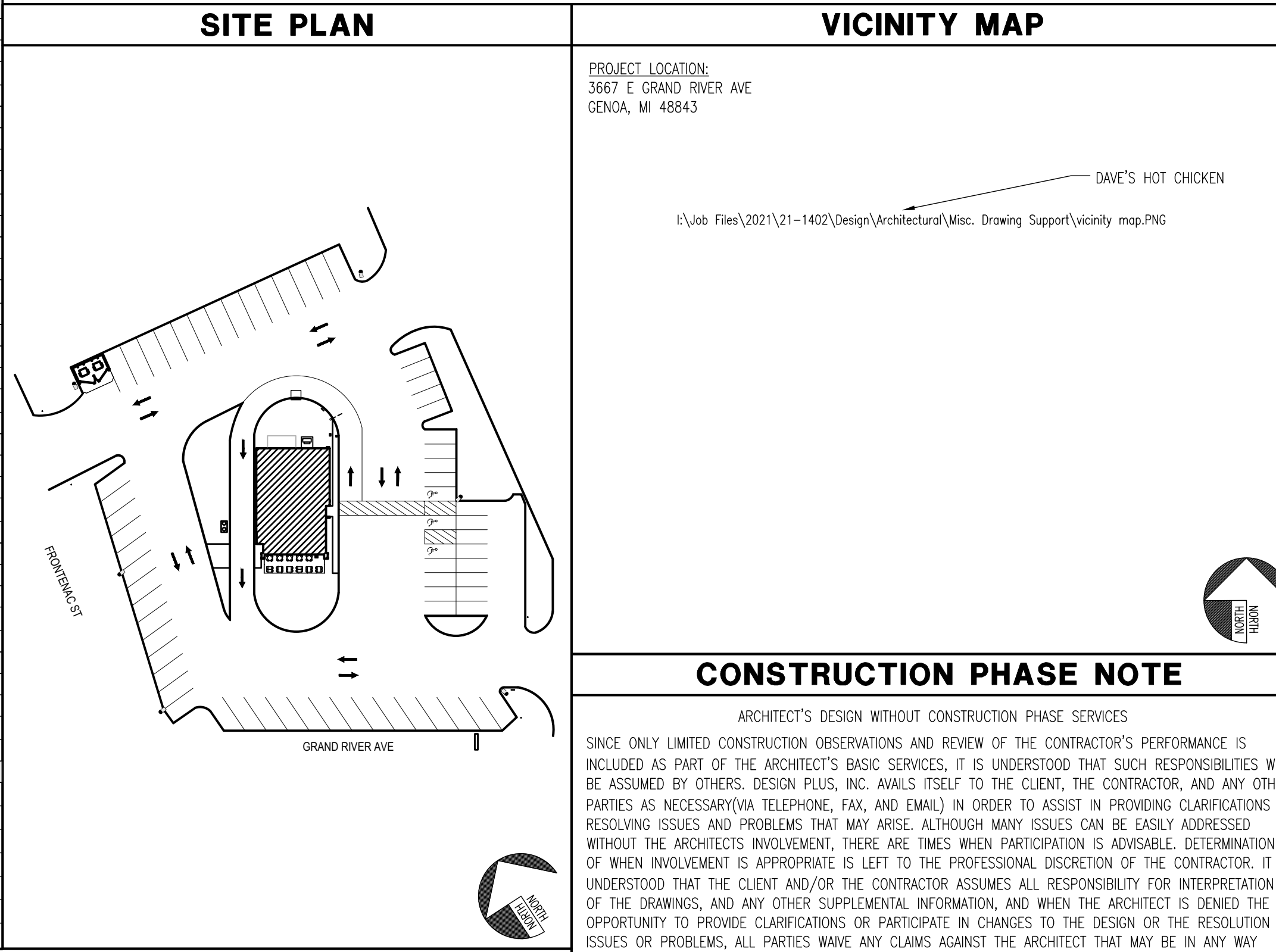


Current Elevation



Previously approved land use use site plan

RESPONSIBILITY MATRIX and VENDOR LIST. Includes columns for notes, responsibility (FURNISH/INSTALL), vendor details, and project location (3667 E GRAND RIVER AVE, GENOA, MI 48843).



SYMBOL LEGEND and STATEMENT OF COMPLIANCE. Lists symbols for detail numbers, sheet numbers, exterior and interior elevation markers, and equipment types.

REVIEW AND COMMENTS. Includes a drawing index table listing sheets like G001 (TITLE SHEET), G002 (GENERAL NOTES), and structural/demolition details.

CONSTRUCTION PHASE NOTE and PROJECT DIRECTORY. Contains text regarding construction observations and a list of project participants including the architect (Intertech Design Services) and project manager.

PROJECT SUMMARY IDEARBORNI. Summary table with columns for state, building code, accessibility code, energy code, electrical code, fire/life safety code, mechanical code, plumbing code, structural code, occupancy classification, construction type, stories, and occupant load by area.

Vertical sidebar containing Intertech Design Services logo, drawing issue table, stamp, title sheet information, project number (21-1402), sheet number (G001), and drawing status (Checked G/W).

GENERAL NOTES - ACCESSIBILITY PLAN

- GC TO VERIFY QUANTITY & LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL AUTHORITIES. FIRE EXTINGUISHERS TO BE SUPPLIED BY G.C. - REFER TO FLOOR PLAN.
- G.C. TO PROVIDE FIRE DEPARTMENT REQUIRED KEY BOX. G.C. VERIFY IF EXIST'G KNOX BOX IS PROVIDED. IF NOT, COORDINATE LOCATION AND SIZE WITH LOCAL AUTHORITIES.
- SEE MEP DRAWINGS AND RESPONSIBILITY SCHEDULE FOR INFORMATION REGARDING FIRE ALARM SYSTEM - SYSTEM BY GENERAL CONTRACTOR.
- EMERGENCY LIGHTS IN DINING AREAS SUCH THAT THEY DO NOT INTERFERE WITH WALL DECOR OR DINING ROOM LIGHTS.
- ALL CLEAR FLOOR SPACE AND TURNING SPACE TO BE NO GREATER THAN 2% (1:48)

EGRESS LEGEND

- aisle accessway** INDICATES AN UNENCLOSED EXIT ACCESS COMPONENT THAT DEFINES AND PROVIDES A PATH OF EGRESS TRAVEL.
- EGRESS AISLE** INDICATES PORTION OF AN EXIT ACCESS THAT LEADS TO AN AISLE.
- MNL CLR** INDICATES DIRECTION OF TRAVEL AND MIN. WIDTH OF AN AISLE OR ACCESSWAY.
- EXIT SEPARATION DISTANCE** LINE INDICATING DISTANCE BETWEEN TWO REMOTE EXIT DOORS BASED ON THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- OVERALL DIAGONAL** LINE INDICATING MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

CODED NOTES - ACCESSIBILITY PLAN

- TACTILE SIGNAGE AT EXTERIOR EXIT DOORS. SIGNAGE TO READ: "EXIT", PER MBC-SEE A5/G100.
- SIGNAGE "MAXIMUM OCCUPANCY" COORDINATE w/FIRE MARSHAL FOR FINAL PLACEMENT.

EXIT TRAVEL DISTANCES

PATH	COMMON PATH DISTANCE	OVERALL TRAVEL DISTANCE	EGRESS DOOR	NOTES
PA1	32'-0"	<75 FT.	32'-0"	<250 FT. 101
PA2	0'-0"	<30 FT.	49'-0"	<250 FT. 103
PA3	64'-2"	<75 FT.	81'-3"	<250 FT. 106
PA4	30'-0"	<75 FT.	59'-1"	<250 FT. 105

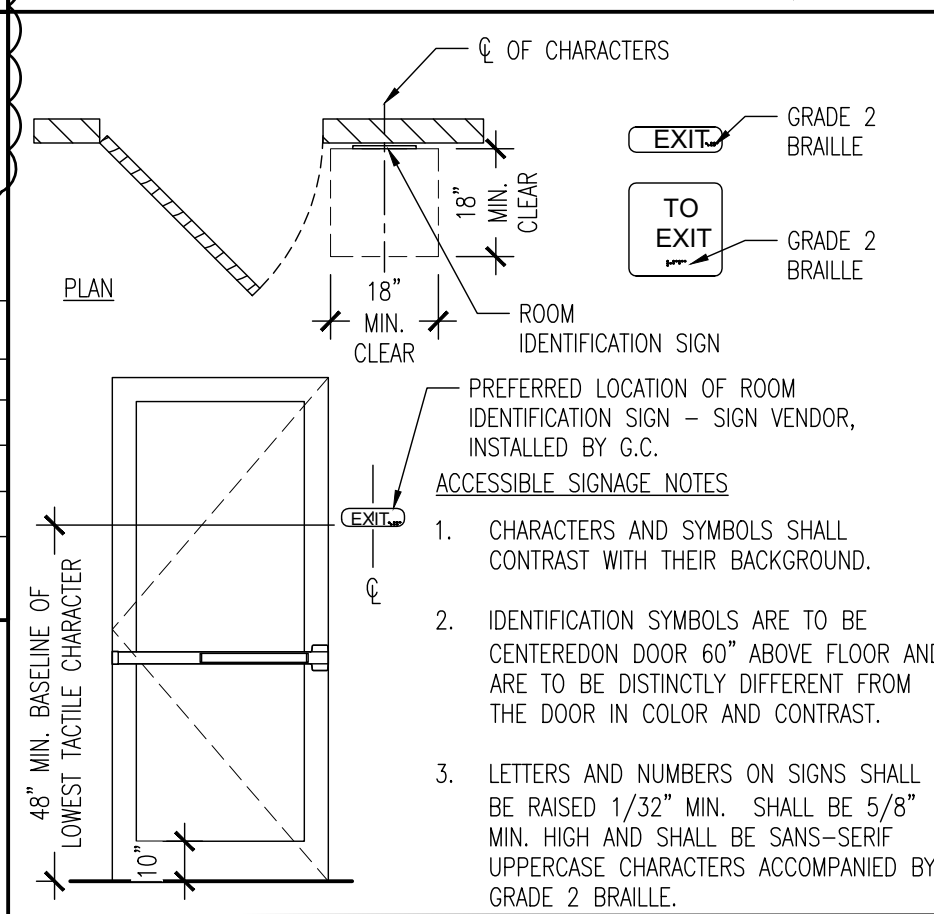
RESTROOM PLUMBING FIXTURES

FROM MICHIGAN PLUMBING CODE BUILDING OCCUPANCY CALCULATION:
 MAXIMUM OCCUPANTS (GREATEST OF OCCUP. CALCULATION OR SEAT COUNT NUMBERS, INCL. PATIO) = 121
 50 % MALE AND 50 % FEMALE = 121/2 = 61 EACH
 ONE WATER CLOSET PER 20 PERSONS PER SEX
 2. ONE URINAL PER 200 MALES
 3. ONE LAVATORY PER 200 PERSONS PER SEX

REQUIRED:	Men	Women	PROVIDED:	Men	Women
W.C.	1	1	W.C.	2	3
Urinal*	1	-	Urinal*	1	-
Lavatory	1	1	Lavatory	1	1

* THE TOTAL NUMBER OF WATER CLOSETS FOR FEMALES SHALL BE AT LEAST EQUAL TO THE TOTAL NUMBER OF WATER CLOSETS AND URINALS REQUIRED FOR MALES.

EXIT SIGNAGE DETAIL



REVIEW AND COMMENTS

BUILDING INFORMATION

- A. GENERAL DESCRIPTION: INTERIOR/EXTERIOR REMODEL CONSTRUCTION OF EXISTING STAND ALONE RESTAURANT BUILDING
- B. OCCUPANCY: 1. OCCUPANCY: NON-SEPARATED OCCUPANCIES PER CODE 2015 MBC SECTION 508.3 A-2
- C. GENERAL BUILDING SIZE: 1. CONSTRUCTION TYPE: FULLY SPRINKLERED BUILDING: II-B NO 2. ALLOWABLE STORIES (TABLE 503 & SEC. 504.2): ACTUAL STORIES: 1
- D. TYPE OF CONSTRUCTION: 1. CONSTRUCTION (SECTION 603): TYPE II-B
- E. MAXIMUM OPENING AREA: 1. OPENINGS NOT LIMITED WHERE YARDS ARE > 30' PER TABLE 705.8
- F. ALLOWABLE AREA: BASIC ALLOWABLE AREA: 6,000 SF (Table 503) BUILDING AREA (GROSS LEASEABLE): 3,689 SF TOTAL
- G. PARKING (NO CHANGES TO LAYOUT; NEW TOP COAT)
- H. CONSTRUCTION TYPE: TYPE II-B - NON-SPRINKLED
- I. GROSS FLOOR AREA (LEASEABLE): 3,689 SF
- J. USEABLE INTERIOR AREA: 3,471 SF
- K. OCCUPANCY GROUP: A-2
- L. BUSINESS HOURS: (2) MEALS PER DAY (LUNCH & DINNER) MON - SUN. 11:00AM - 10:30PM

REQUIRED EGRESS WIDTH

BUILDING EGRESS:
 TOTAL EGRESS WIDTH REQUIRED:
 121 MAX INTERIOR OCCUPANT x 2" = 242"
 TOTAL EGRESS WIDTH PROVIDED:
 FOUR 36" CLEAR DOOR EXIT LEAF = 144"
 TOTAL = 144"
 MAIN ENTRANCE:
 WIDTH REQUIRED (1/2 OCCUPANT LOAD):
 121 INTERIOR OCCUPANTS / 2 = 61
 61 INTERIOR OCCUPANTS x 2 = 122"
 CLEAR WIDTH PROVIDED: = 36"

OCCUPANT LOAD CALCS.

ASSEMBLY (UNCONCENTRATED):
 TOTAL NET DINING AREA (1055 S.F.)
 OCCUPANT LOAD FACTOR (15 NET)
 OCCUPANT LOAD (70)
 PLAN INDICATOR

ASSEMBLY (STANDING):
 TOTAL NET STANDING AREA (150 S.F.)
 OCCUPANT LOAD FACTOR (15 NET)
 OCCUPANT LOAD (10)
 PLAN INDICATOR

KITCHEN AREA:
 TOTAL GROSS KITCHEN AREA (965 S.F.)
 OCCUPANT LOAD FACTOR (200 GROSS)
 OCCUPANT LOAD (5)
 PLAN INDICATOR

ACCESSORY AREAS (RSTRM./WALK-IN):
 TOTAL ACCESSORY AREA (580 S.F.)
 PLAN INDICATOR

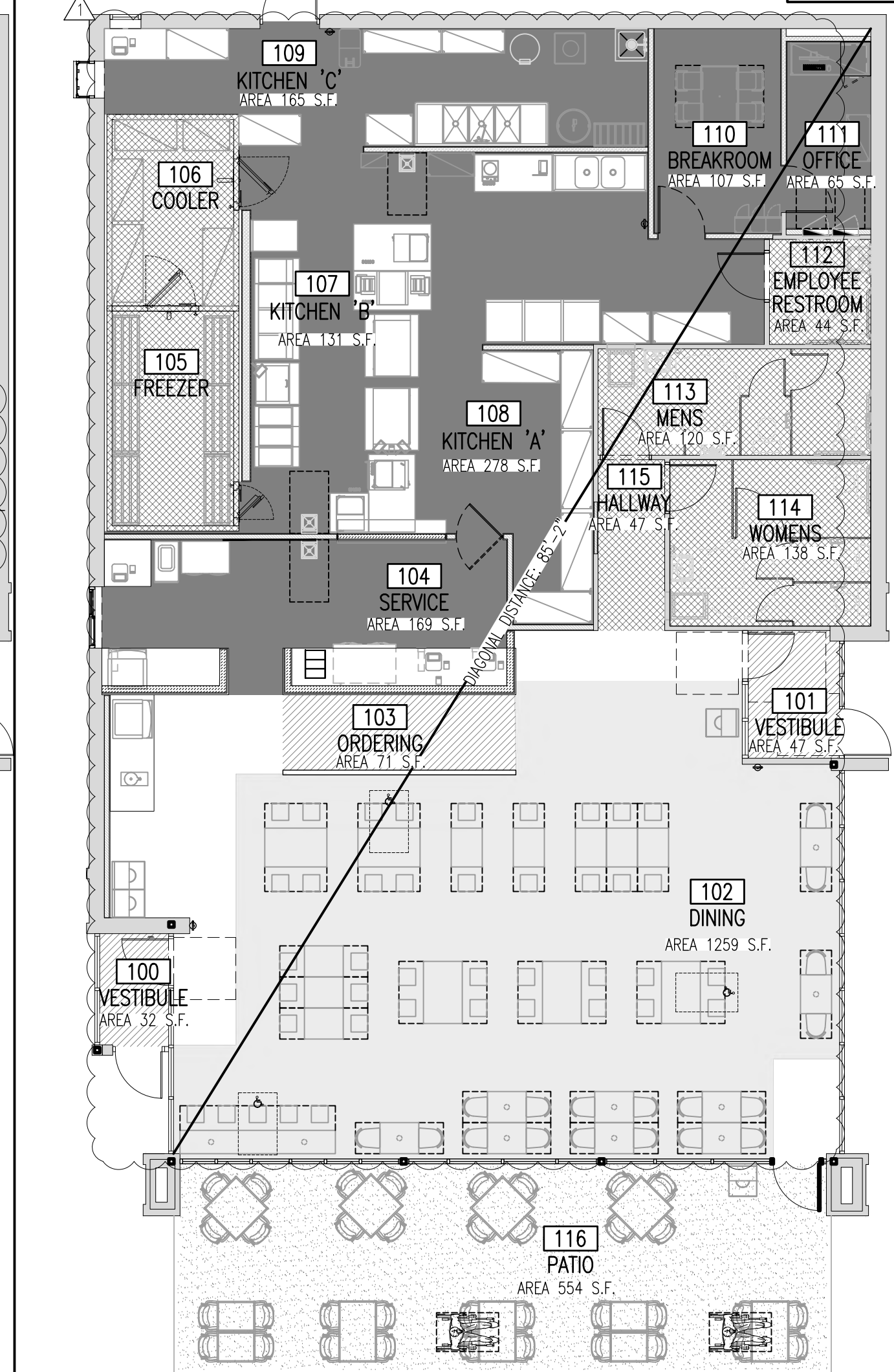
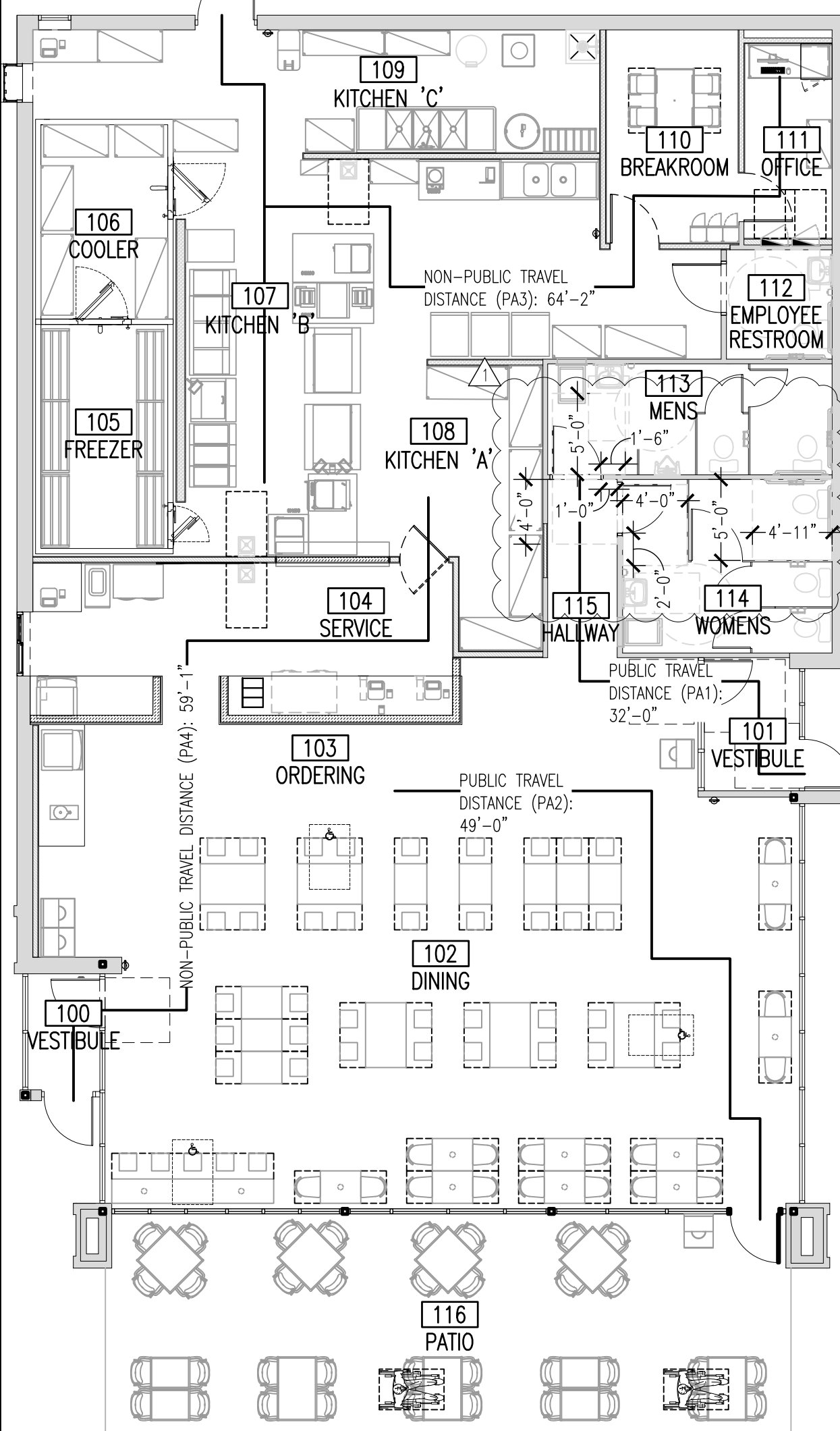
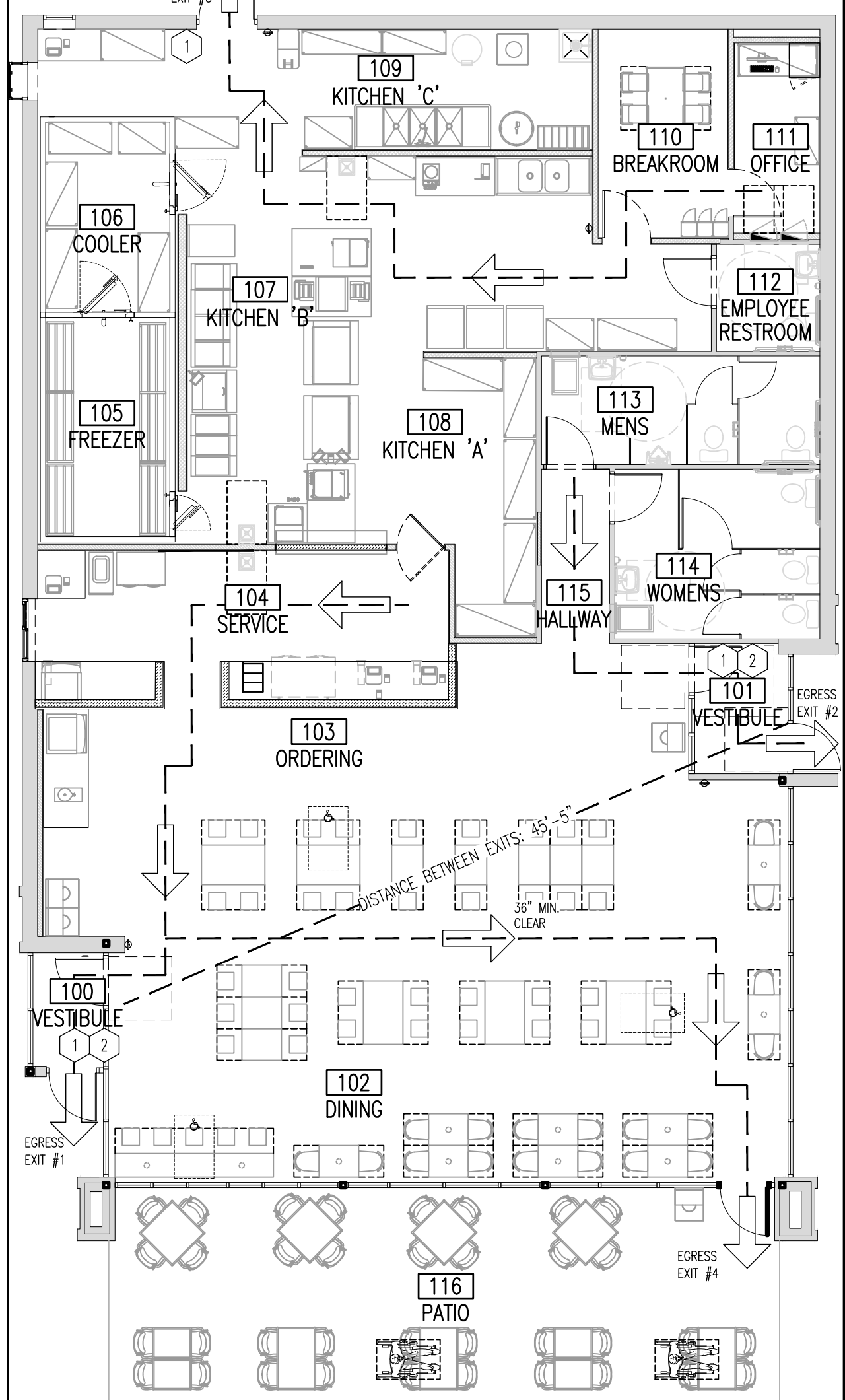
TOTAL INTERIOR OCCUPANT LOAD: 85

PATIO AREA:
 TOTAL NET PATIO AREA (554 S.F.)
 OCCUPANT LOAD FACTOR (15 NET)
 OCCUPANT LOAD (36)
 PLAN INDICATOR

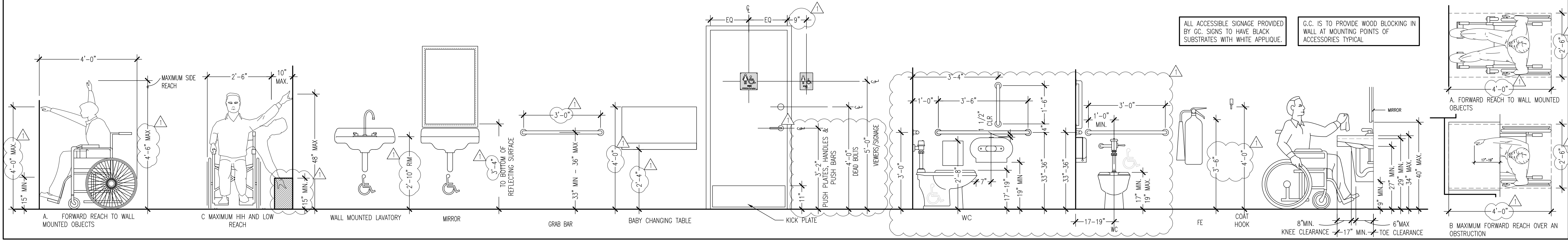
TOTAL OCCUPANT LOAD USED FOR RESTROOM CALCULATIONS: 121

ACCESSIBLE SEATING

REQUIRED:	PROVIDED:
INTERIOR: 59 SEATS x .05=2.95	5 (3 TABLES)



TYPICAL ACCESSIBILITY DETAILS



Intertech Design Services, Inc.
 Architecture and Engineering
 9675 Montgomery Rd.
 Cincinnati, Ohio 45242
 Phone: (513) 791-6588
 Fax: (513) 792-7923
 Web: www.intertechdesign.com

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DAVE'S HOT CHICKEN
STAND ALONE
3667 E GRAND RIVER AVE
HOWELL, MI 48843

DRAWING ISSUE

NO	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
2	CODE REVIEW	06/19/21
3	CODE REVIEW (OCCUPANCY CLARIFICATION)	09/20/21
4	DRIVE THRU SIGNAGE	11/18/21

STAMP

STATE OF MICHIGAN
 ZSOLT S. VAMOSI
 ARCHITECT
 No. 130846954
 Licensed Architect

10/5/2023

ACCESSIBILITY EGRESS PLAN
 SCALE: AS NOTED
 Drawn By: CJB Checked G/W

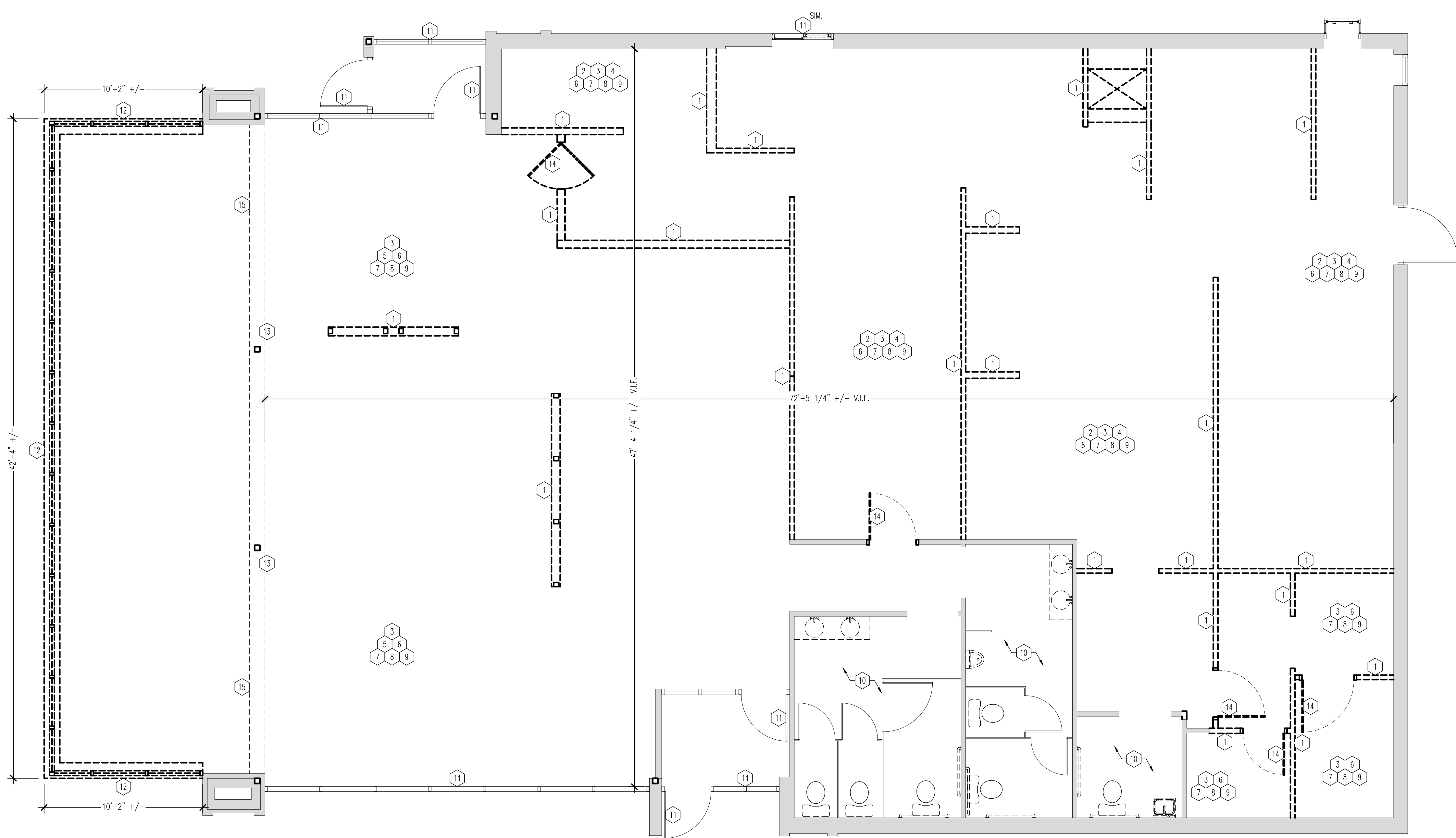
PROJECT NUMBER
 21-1402

SHEET NUMBER
G100

- ### CODED NOTES
1. DEMO EXISTING WALL PARTITION (TYP.) AND ALL ASSOCIATED COMPONENTS.
 2. DEMO EXISTING KITCHEN SINKS, KITCHEN EQUIP. & PLUMBING FIXTURES; DEMO EXISTING WALK-IN COOLER/FREEZER, CONDENSING UNITS, REFRIGERANT LINES ETC. AND ALL ASSOCIATED COMPONENTS.
 3. DEMO EXISTING MILLWORK, COUNTERS, CABINETS, WALL SHELVING, MOUNTING HARDWARE. & BRACKETS COMPLETE.
 4. REMOVE ALL EXISTING FINISHES, FLOOR TILE & FRP IN KITCHEN; NEW FINISHES TO BE PROVIDED.
 5. REMOVE ALL EXISTING WD. TRIM, WAINSCOTING, WALL FINISHES IN DINING & PUBLIC AREAS; PREPARE SPACE THROUGHOUT FOR NEW FINISHES TO BE PROVIDED.
 6. DEMO EXISTING ACT CEILING, GYP. BRD., & ASSOCIATED SUSP. SYSTEMS ETC.
 7. DEMO LIGHTING FIXTURES, RECESSED CANS, RECESSED TROFFERS, PENDANTS, WALL SCONCES ETC. DEMO ASSOCIATED ELECT. CONDUIT & WIRING COMPLETE. SEE ELECTRICAL REGARDING REBULBING.
 8. DEMO EXISTING HVAC DUCTING, SUPPLY & RETURN AIR DIFFUSERS, THERMOSTAT, CONDUIT & WIRING; SEE MECHANICAL DRAWINGS.
 9. MODIFY EXISTING FIRE ALARM & SPRINKLER SYSTEM; GC TO COORDINATE WORK w/ALARM LICENSED SUBCONTRACTORS FOR THE MODIFICATION OF THE ALL FIRE ALARM DEVICES & ASSOCIATED CONTROL WIRING & CONDUIT.
 10. DEMO ALL EXISTING RESTROOM FIXTURES, FINISHES, MILLWORK, FLOOR TILE AND CEILING ELEMENTS. PREPARE SPACE THROUGHOUT FOR NEW FINISHES AND FIXTURES AS INDICATED WITHIN THESE DOCUMENTS.
 11. EXISTING STOREFRONT AND STOREFRONT DOORS TO REMAIN. G.C. TO INSPECT AND ENSURE ALL WEATHER SEALS AND GASKETS ARE IN PROPER WORKING ORDER. REPLACE AS NECESSARY TO ENSURE LIKE NEW CONDITIONS.
 12. EXISTING STOREFRONT, EXTERIOR WALLS, ROOF ENTIRETY OF ATRIUM AREA TO BE REMOVED. G.C. PATCH AND REPAIR ADJACENT WALLS AS REQUIRED TO ENSURE LIKE NEW CONDITION.
 13. EXISTING STRUCTURAL COLUMNS TO REMAIN. G.C. TO PROTECT THEM FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ALL EXISTING FINISHES TO REMOVE AND COLUMN TO BE PREPARED FOR NEW STOREFRONT.
 14. DEMO EXISTING DOOR, FRAME AND ALL ASSOCIATED COMPONENTS.
 15. EXISTING BULKHEAD AND STRUCTURAL BEAM TO REMAIN. G.C. TO REMOVE ALL FINISHES AND PREPARE FOR NEW.

- ### GENERAL NOTES
1. DEMOLITION MEANS AND METHODS ARE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
 2. THE DEMOLITION CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR INVESTIGATIONS OF BEARING CONDITIONS BEFORE REMOVING ANY WALL (INCLUDING LOAD-BEARING WALLS) OR OTHER ELEMENTS. ANY DAMAGE TO STRUCTURE AS A RESULT OF IMPROPER DEMOLITION PROCEDURES WILL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO REPAIR AT HIS EXPENSE.
 3. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
 4. THE ARCHITECTURAL DRAWINGS SHOW THE PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THE CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED AND DO THAT WORK INCLUDING ENGINEERING IF REQUIRED IN ACCORD WITH THE CONTRACT REQUIREMENTS.
 5. ALL EXISTING INTERIOR FINISHES & TRIM WORK TO BE REMOVED. (U.N.O.) PATCH AND REPAIR AS REQUIRED AND PREPARE ALL AREAS FOR NEW FINISH.
 6. REMOVE EXISTING ELECTRICAL PANEL. ALL KITCHEN ELECT. DEVICES, OUTLETS, SWITCHES, CONDUIT & WIRING TO LIGHTING FIXTURES & KIT. EQUIPMENT TO BE REMOVED B.O.H. (U.N.O.)
 7. ASBESTOS AND HAZARDOUS WASTE EXCLUSION. THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (AND IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO THE PREPARATION OF REPORTS, DESIGN DRAWINGS AND SPECIFICATIONS AS RELATED TO ASBESTOS AND HAZARDOUS MATERIALS INVESTIGATION DETECTION AND REMOVAL. IF GC OR HIS SUBCONTRACTORS ENCOUNTERS OR SUSPECTS HAZARDOUS MATERIALS ARE PRESENT, WORK SHALL BE CEASED IMMEDIATELY AND THE OWNER SHALL BE NOTIFIED.

REVIEW AND COMMENTS



01 DEMO PLAN
SCALE: 1/4"=1'-0"

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DAVE'S HOT CHICKEN
STAND ALONE
3667 E GRAND RIVER AVE
HOWELL, MI 48843

NO.	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
2	CODE REVIEW	06/19/21
3	CODE REVIEW (OCCUPANCY CLARIFICATION)	09/14/21
4	DRIVE THRU SIGNAGE	09/20/21
		11/18/21

STAMP

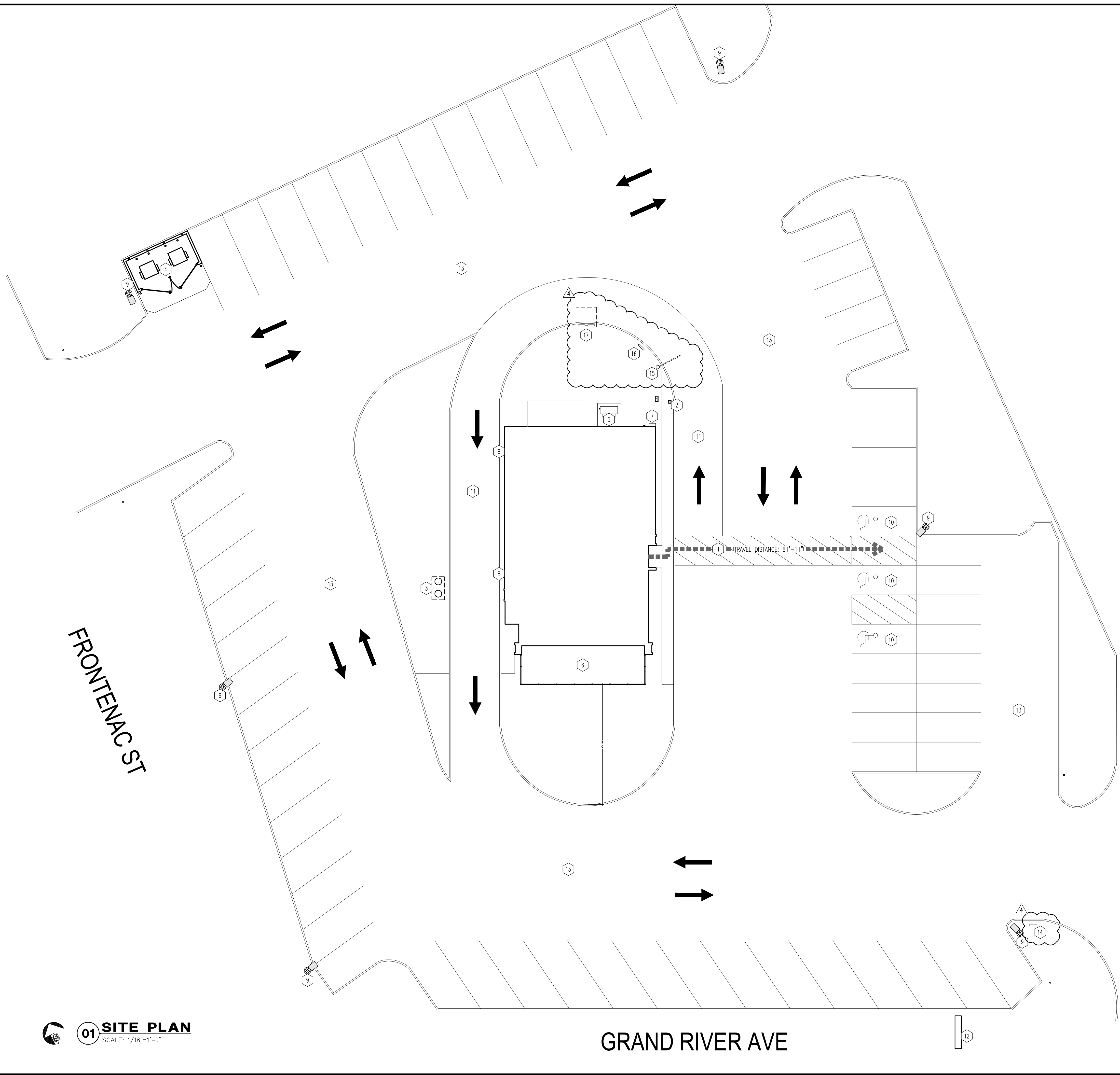
10/5/2023

DEMO PLAN

SCALE: 1/4" = 1'-0"
Drawn By: CJB Checked G/W

PROJECT NUMBER
21-1402

SHEET NUMBER
D100



REVIEW AND COMMENTS

- KEY NOTES**
1. ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY, MAX. 5% SLOPE IN THE DIRECTION OF TRAVEL WITH 2% MAX. CROSS SLOPE.
 2. DRIVE THRU SIGNAGE PACKAGE UNDER A SEPARATE PERMIT. SIGNAGE VENDOR TO PROVIDE ALL NECESSARY SIGNAGE. G.C. TO PROVIDE POWER AS REQUIRED. REFER TO ELECTRICAL SHEETS FOR FURTHER INFORMATION.
 3. NEW LOCATION OF GREASE INTERCEPTOR.
 4. EXISTING TRASH LOCATION. G.C. TO INVESTIGATE CONDITION AND COORDINATE WITH OWNER ON NECESSARY UPGRADES.
 5. EXISTING ELECTRICAL SERVICE LOCATION. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
 6. OUTDOOR SEATING BY G.C.
 7. LOCATION OF EXISTING GAS METER, CONFIRM WITH LOCAL UTILITY AGENCY. SEE PLUMBING SHEETS.
 8. EXISTING DRIVE THRU WINDOW LOCATION TO REMAIN AND BE RE-USED.
 9. NEW SITE LIGHT. REFER TO ELECTRICAL DRAWINGS.
 10. EXISTING ACCESSIBLE PARKING AND ASSOCIATED SIGNAGE TO REMAIN.
 11. G.C. TO VERIFY DRIVE THRU DETECTOR LOOP AND ENSURE PROPER WORKING ORDER. COORDINATE WITH OWNER AND ARCHITECT FOR ANY DISCREPANCIES.
 12. LOCATION OF MONUMENT SIGN. G.C. TO VERIFY AND PROVIDE ADEQUATE POWER IF NOT ALREADY EXISTING. COORDINATE WITH SIGN VENDOR.
 13. G.C. TO REPOUR BLACKTOP THROUGHOUT ENTIRE SITE. G.C. TO PATCH AND REPAIR AS REQUIRED.
 14. DIRECTION SIGNAGE TO BE INSTALLED WHERE INDICATED. G.C. TO COORDINATE WITH SIGN VENDOR FOR FINAL LOCATION. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
 15. CLEARANCE BAR FOR NEW DRIVE THRU TO BE INSTALLED WHERE INDICATED. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
 16. PRE-MENU SIGNAGE TO BE INSTALLED WHERE INDICATED. G.C. TO COORDINATE WITH SIGN VENDOR FOR FINAL LOCATION. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
 17. INDICATED AREA FOR DRIVE THRU ORDERS INSTALLED WITH ORDERING CANOPY. FINAL LOCATION TO BE COORDINATED WITH SIGN VENDOR IN THE FIELD. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.

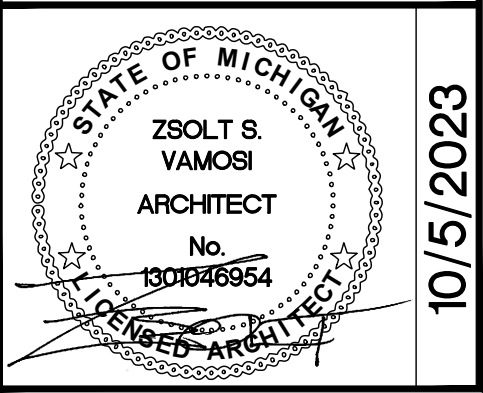
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STAMP



SITE PLAN
 SCALE: AS NOTED
 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
A105

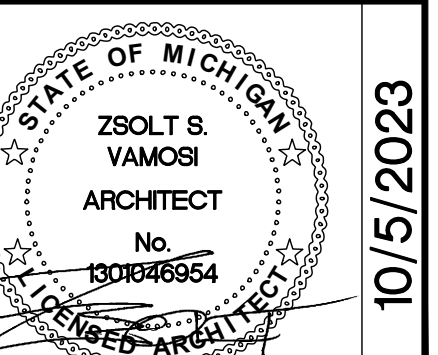
01 SITE PLAN
 SCALE: 1/16"=1'-0"

DAVE'S HOT CHICKEN
STAND ALONE
3667 E GRAND RIVER AVE
HOWELL, MI 48843

DRAWING ISSUE

NO.	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
2	CODE REVIEW	06/19/21
3	CODE REVIEW (OCCUPANCY CLARIFICATION)	09/20/21
4	DRIVE THRU SIGNAGE	11/18/21

STAMP



10/5/2023

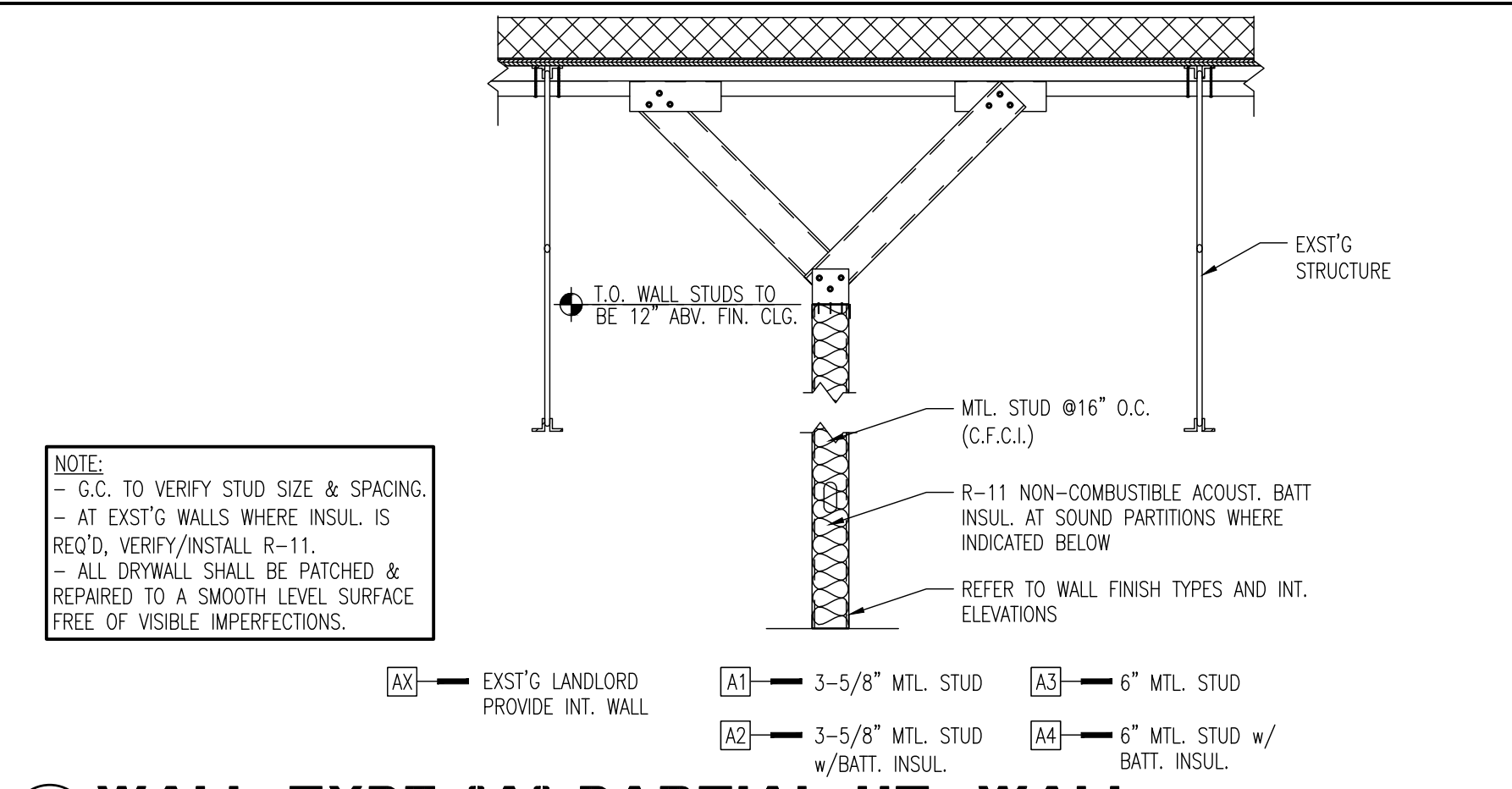
WALL TYPES

SCALE: AS NOTED
Checked G/W
Drawn By CJB

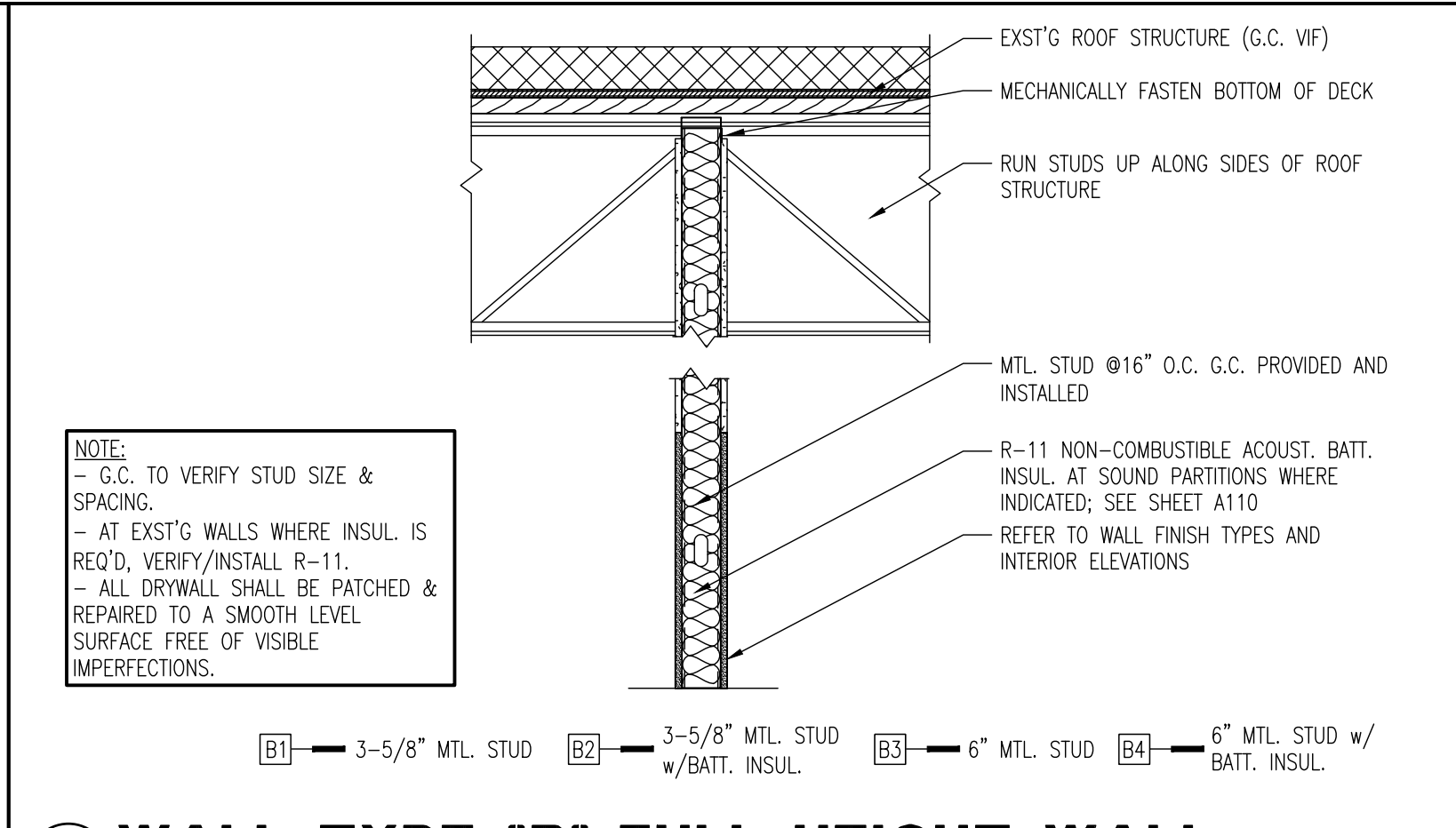
PROJECT NUMBER
21-1402

SHEET NUMBER

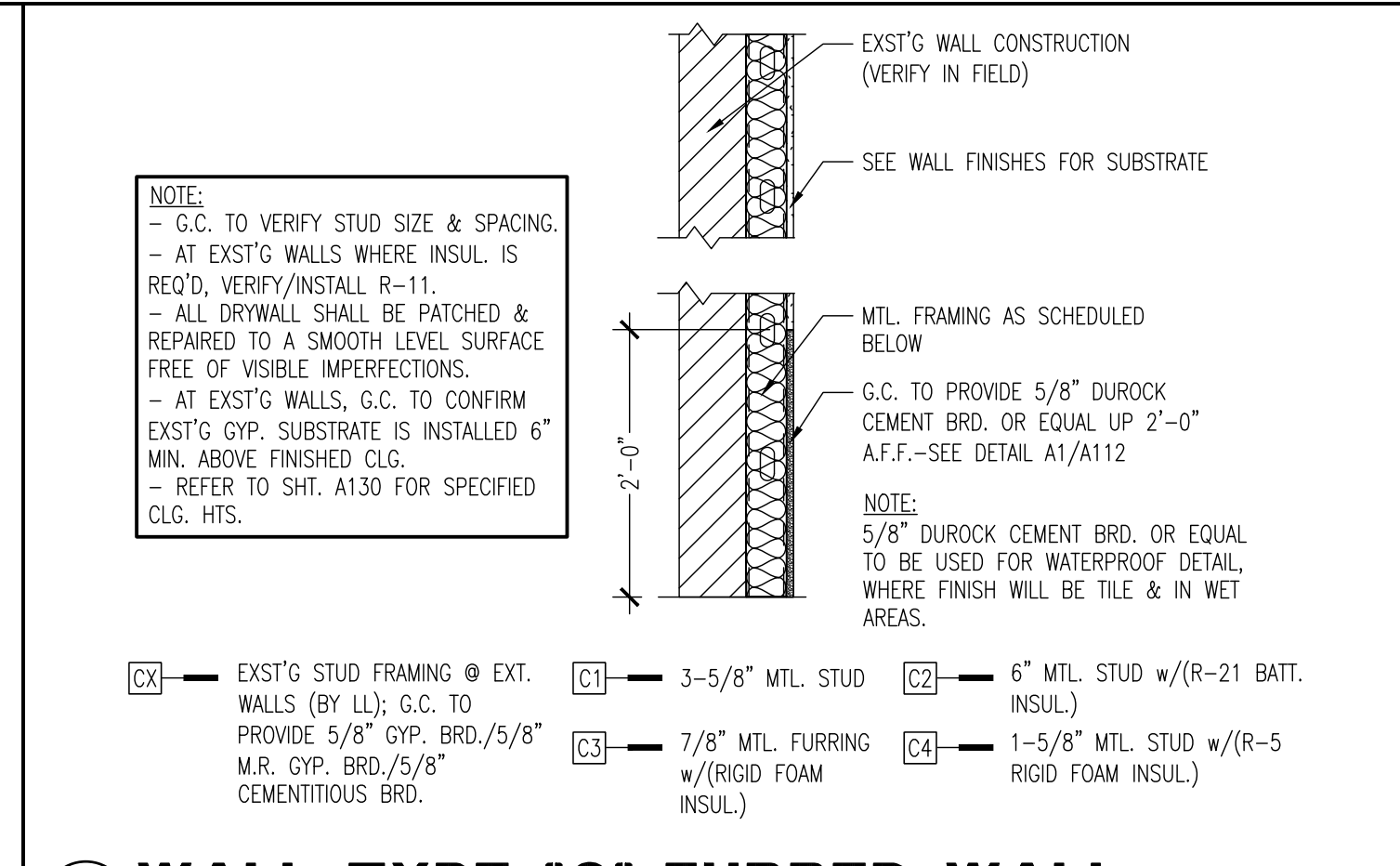
A111



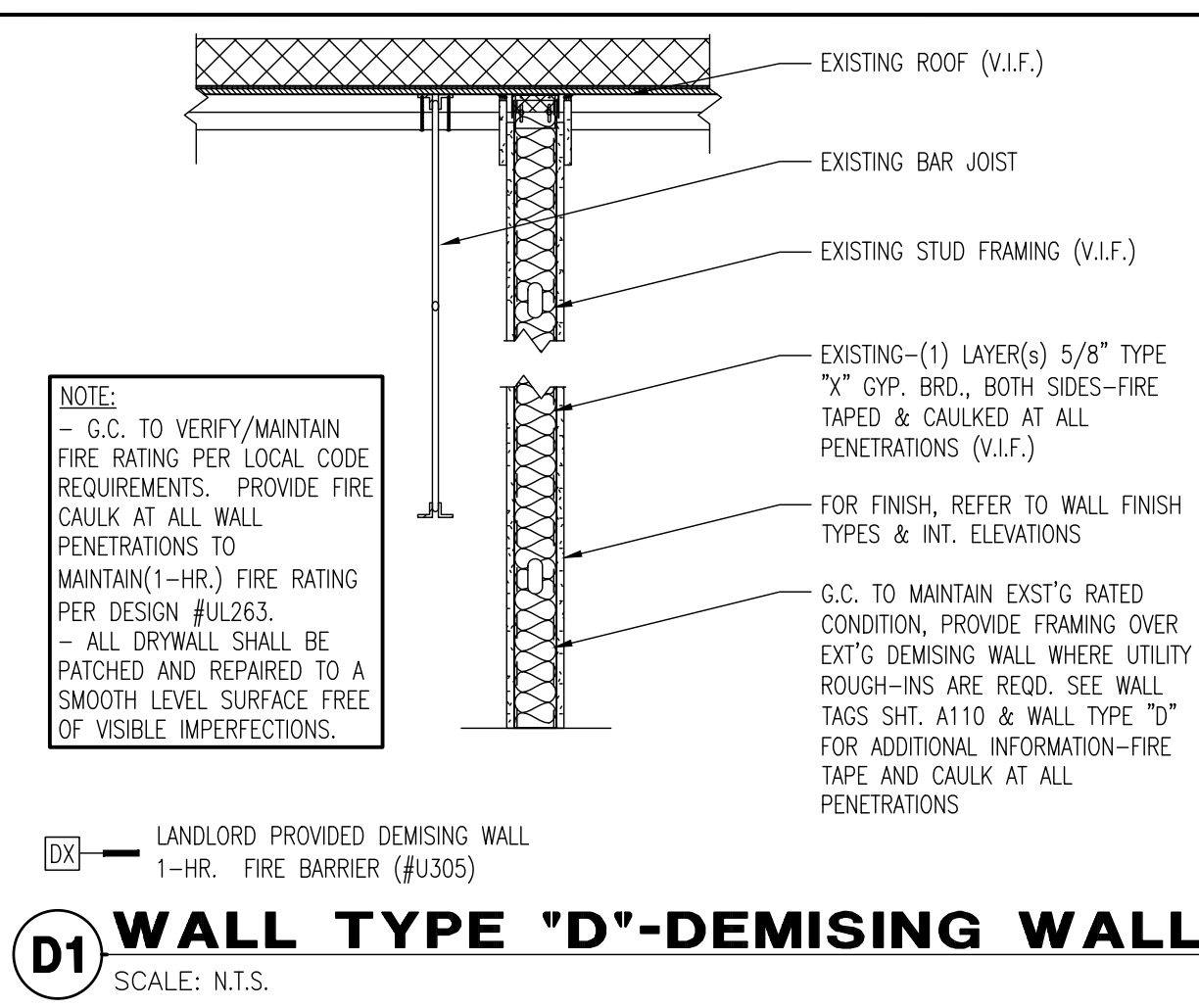
A1 WALL TYPE 'A'-PARTIAL HT. WALL
SCALE: N.T.S.



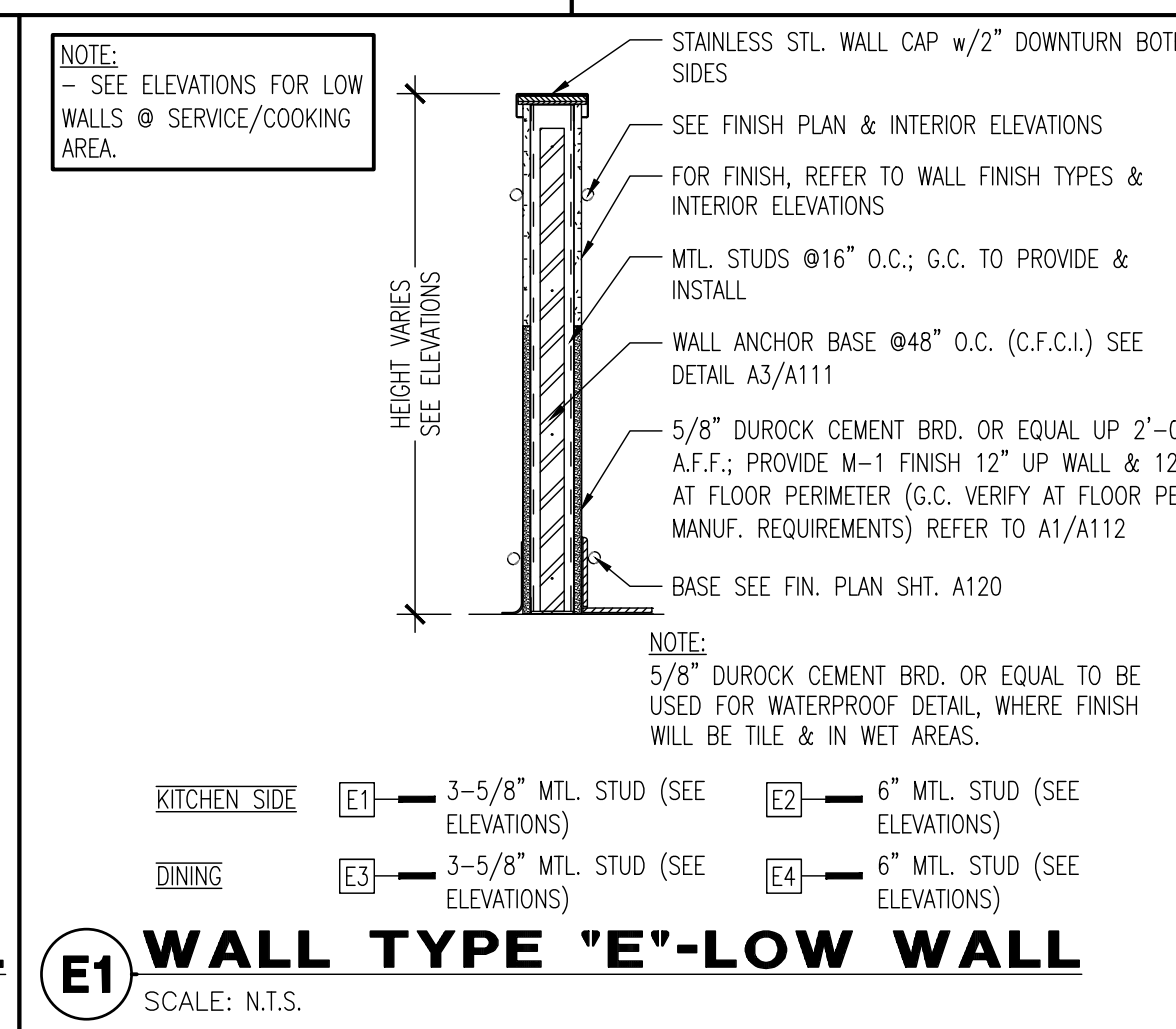
B1 WALL TYPE 'B'-FULL HEIGHT WALL
SCALE: N.T.S.



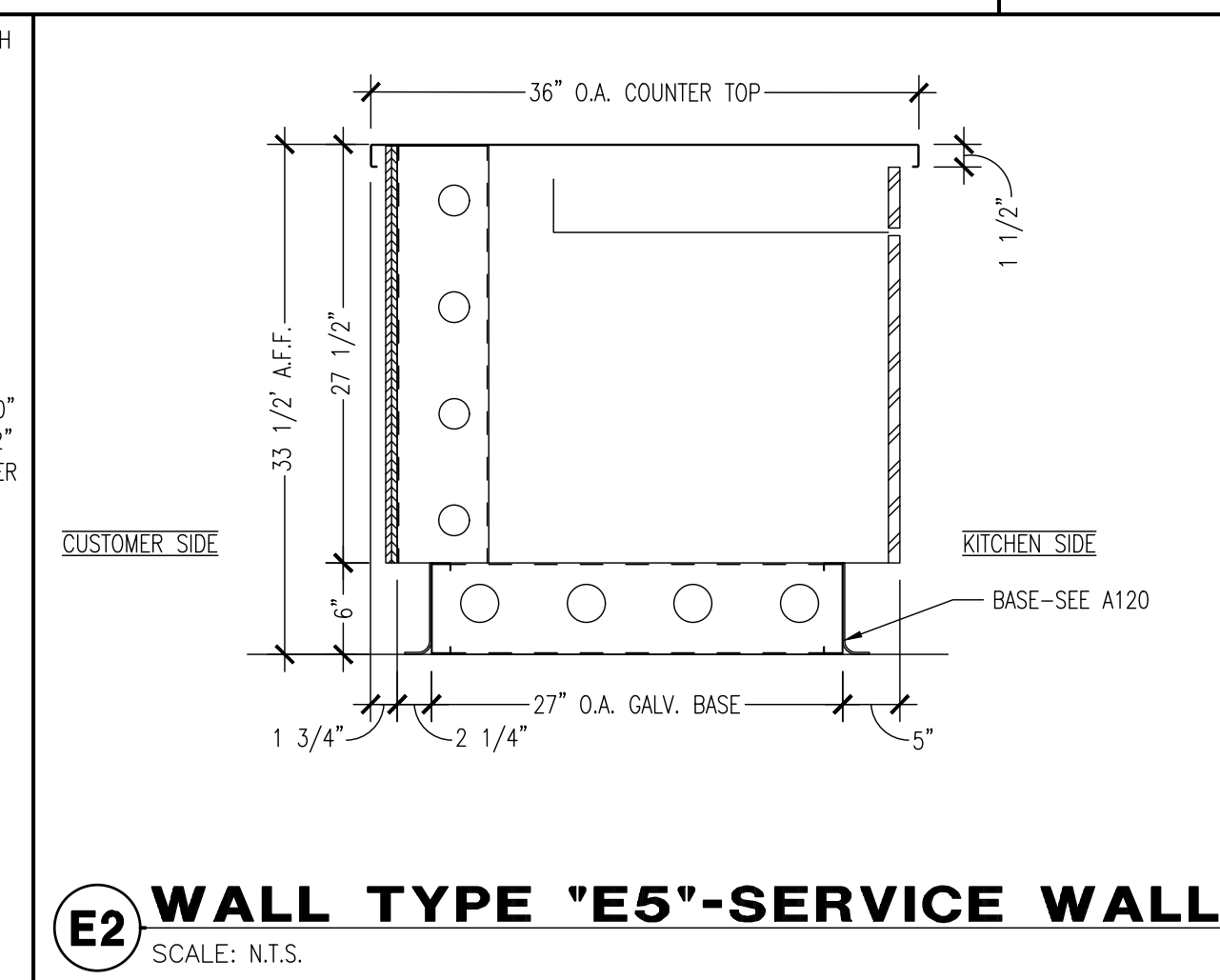
C1 WALL TYPE 'C'-FURRED WALL
SCALE: N.T.S.



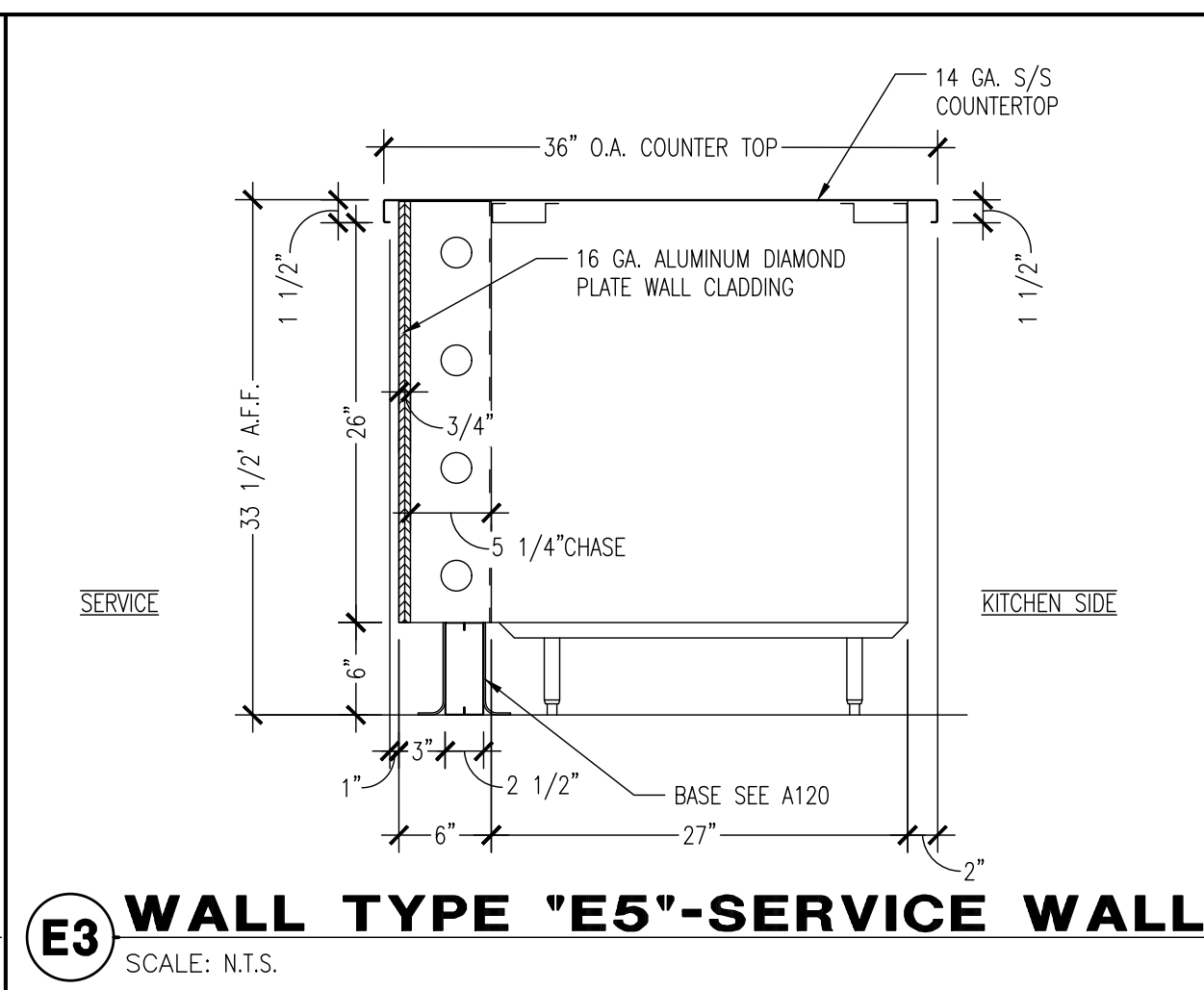
D1 WALL TYPE 'D'-DEMISING WALL
SCALE: N.T.S.



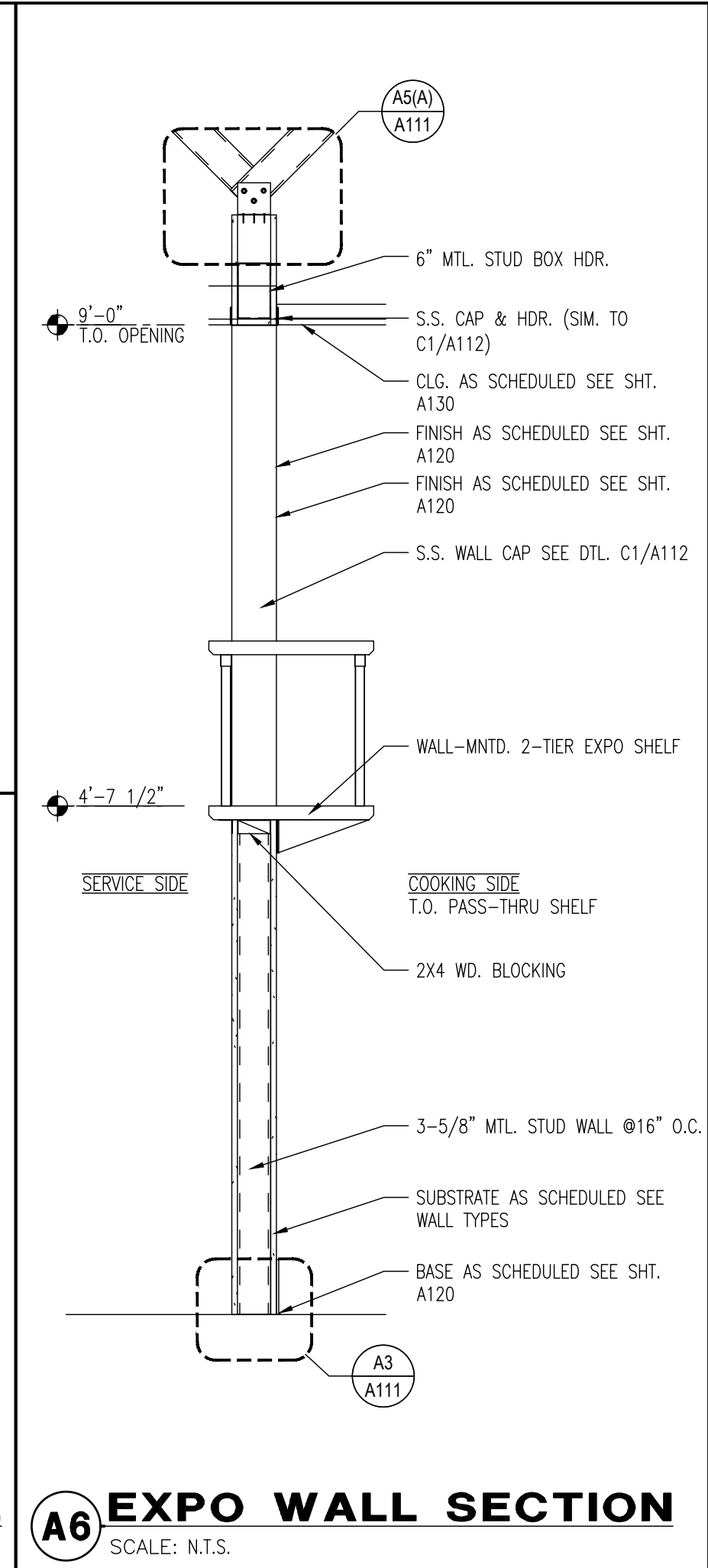
E1 WALL TYPE 'E'-LOW WALL
SCALE: N.T.S.



E2 WALL TYPE 'E5'-SERVICE WALL
SCALE: N.T.S.



E3 WALL TYPE 'E5'-SERVICE WALL
SCALE: N.T.S.



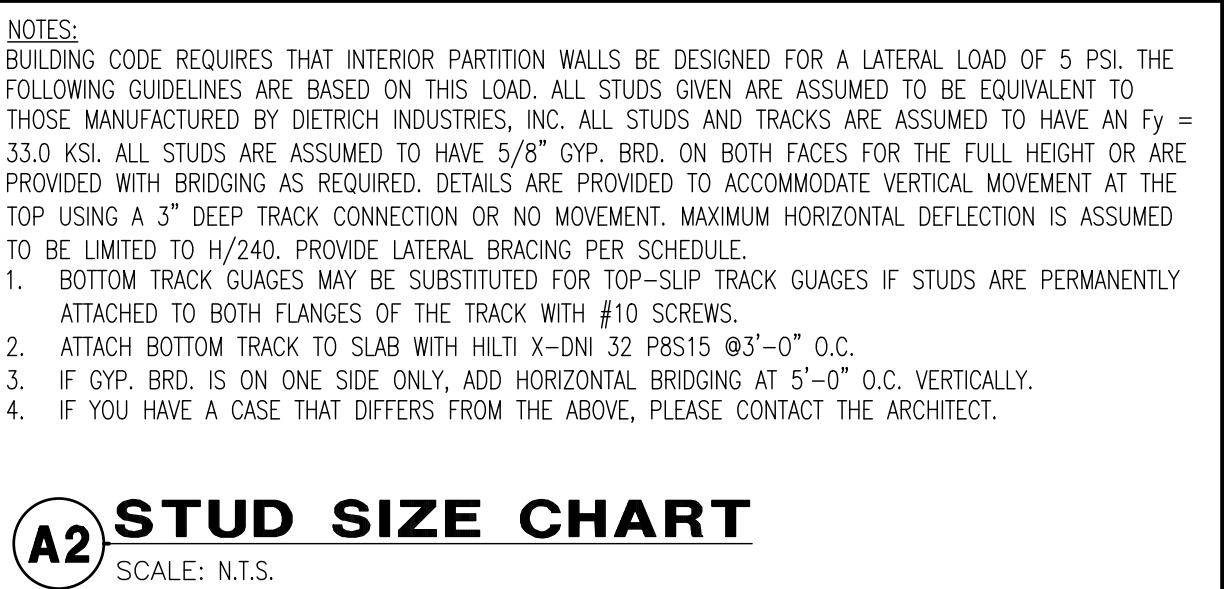
A6 EXPO WALL SECTION
SCALE: N.T.S.

A111 - TYP. INTERIOR NON-LOAD BEARING STUD WALL -SLIP TRACK AT TOP

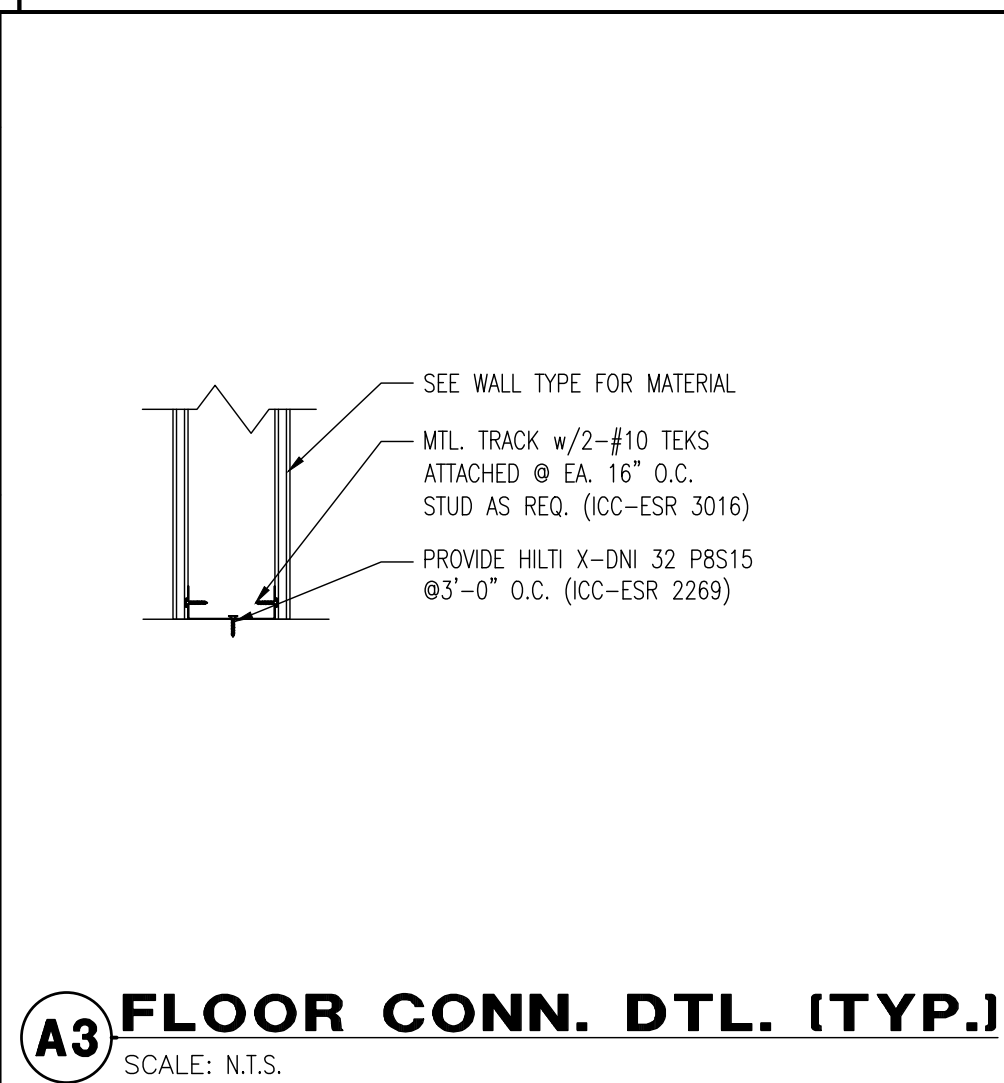
STUDS TO BE USED (ICC-ES# ESR-3016):

STUD SIZE	SPACING	ALLOWABLE HT.	BOTTOM TRACK GAUGE	TOP - "SLIP" TRACK GAUGE (3" DEEP TRACK)
3-5/8"-25G STN	16"	15.4'	20	18
3-5/8"-20G STR	16"	17.0'	20	18
3-5/8"-18G HDS	16"	22.6'	20	18
6"-20G STR	16"	24.5'	20	18
6"-18G HDS	16"	33.6'	20	18

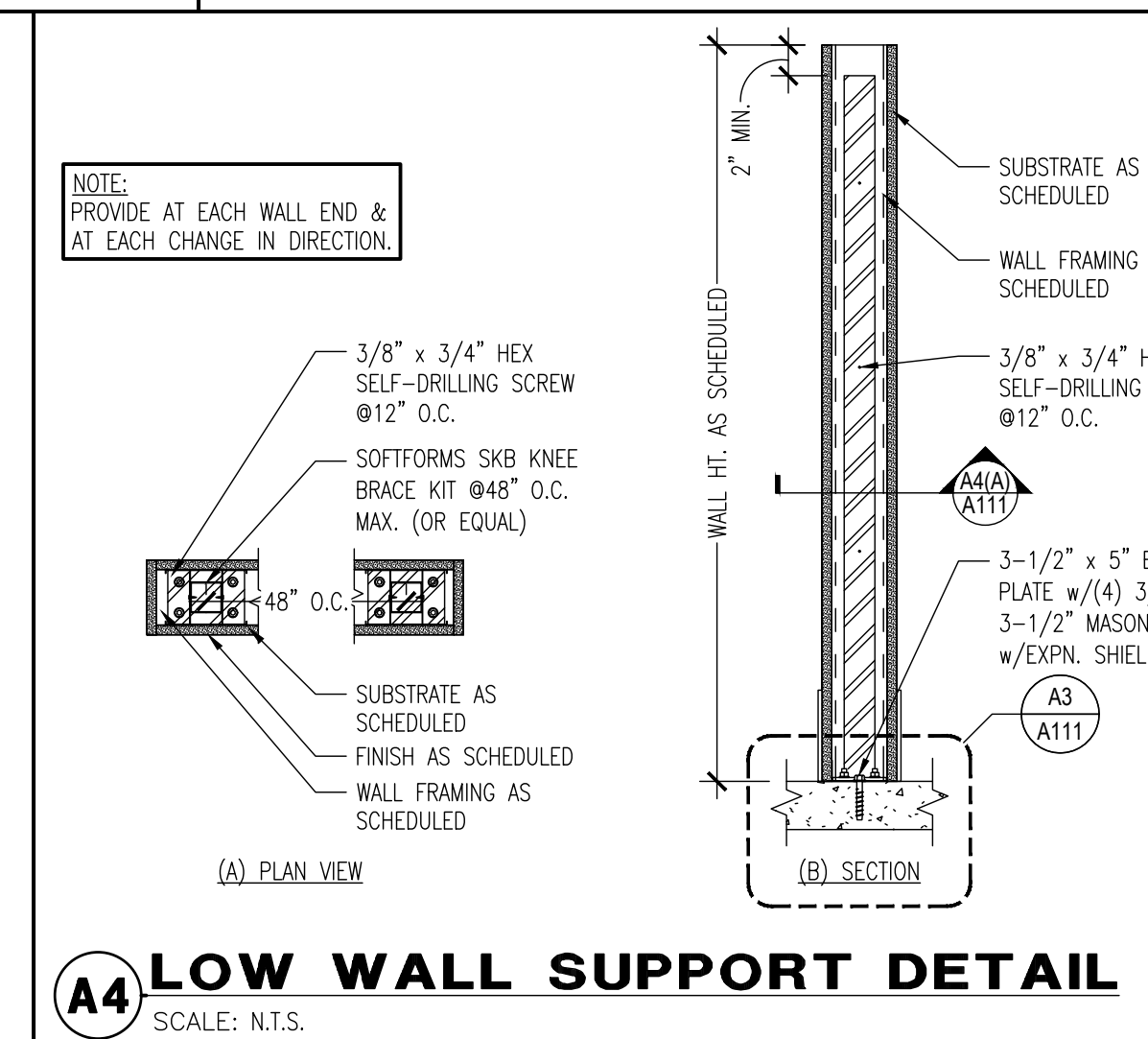
NOTES:
1. BUILDING CODE REQUIRES THAT INTERIOR PARTITION WALLS BE DESIGNED FOR A LATERAL LOAD OF 5 PSI. THE FOLLOWING GUIDELINES ARE BASED ON THIS LOAD. ALL STUDS GIVEN ARE ASSUMED TO BE EQUIVALENT TO THOSE MANUFACTURED BY DIETRICH INDUSTRIES, INC. ALL STUDS AND TRACKS ARE ASSUMED TO HAVE AN Fy = 33.0 KSI. ALL STUDS ARE ASSUMED TO HAVE 5/8" GYP. BRD. ON BOTH FACES FOR THE FULL HEIGHT OR ARE PROVIDED WITH BRIDGING AS REQUIRED. DETAILS ARE PROVIDED TO ACCOMMODATE VERTICAL MOVEMENT AT THE TOP USING A 3" DEEP TRACK CONNECTION OR NO MOVEMENT. MAXIMUM HORIZONTAL DEFLECTION IS ASSUMED TO BE LIMITED TO 1/1240. PROVIDE LATERAL BRIDGING PER SCHEDULE.
2. BOTTOM TRACK GAUGES MAY BE SUBSTITUTED FOR TOP-SLIP TRACK GAUGES IF STUDS ARE PERMANENTLY ATTACHED TO BOTH FLANGES OF THE TRACK WITH #10 SCREWS.
3. ATTACH BOTTOM TRACK TO SLAB WITH HILTI X-DNI 32 P8S15 @3'-0" O.C.
4. IF GYP. BRD. IS ON ONE SIDE ONLY, ADD HORIZONTAL BRIDGING AT 5'-0" O.C. VERTICALLY.
5. IF YOU HAVE A CASE THAT DIFFERS FROM THE ABOVE, PLEASE CONTACT THE ARCHITECT.



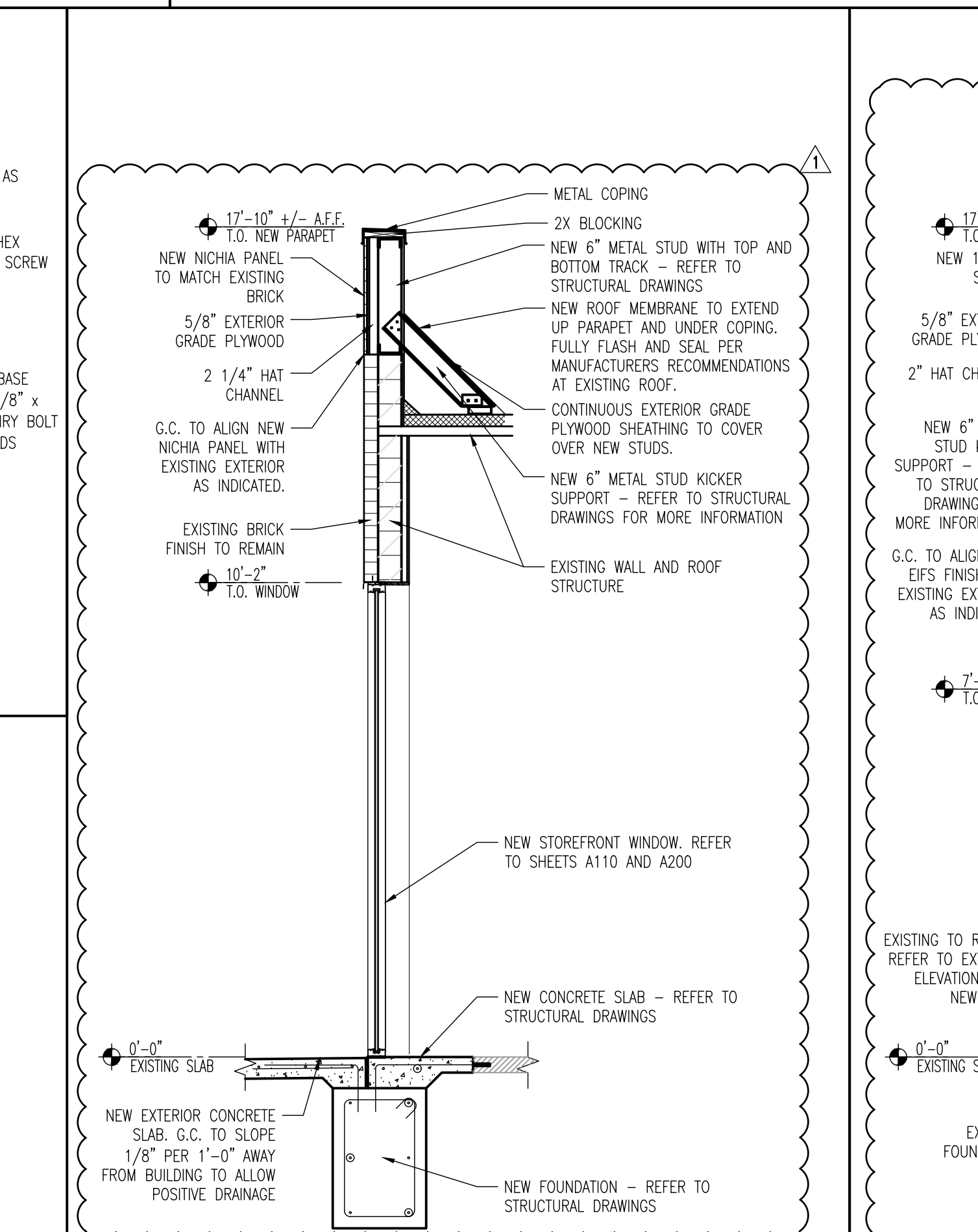
A2 STUD SIZE CHART
SCALE: N.T.S.



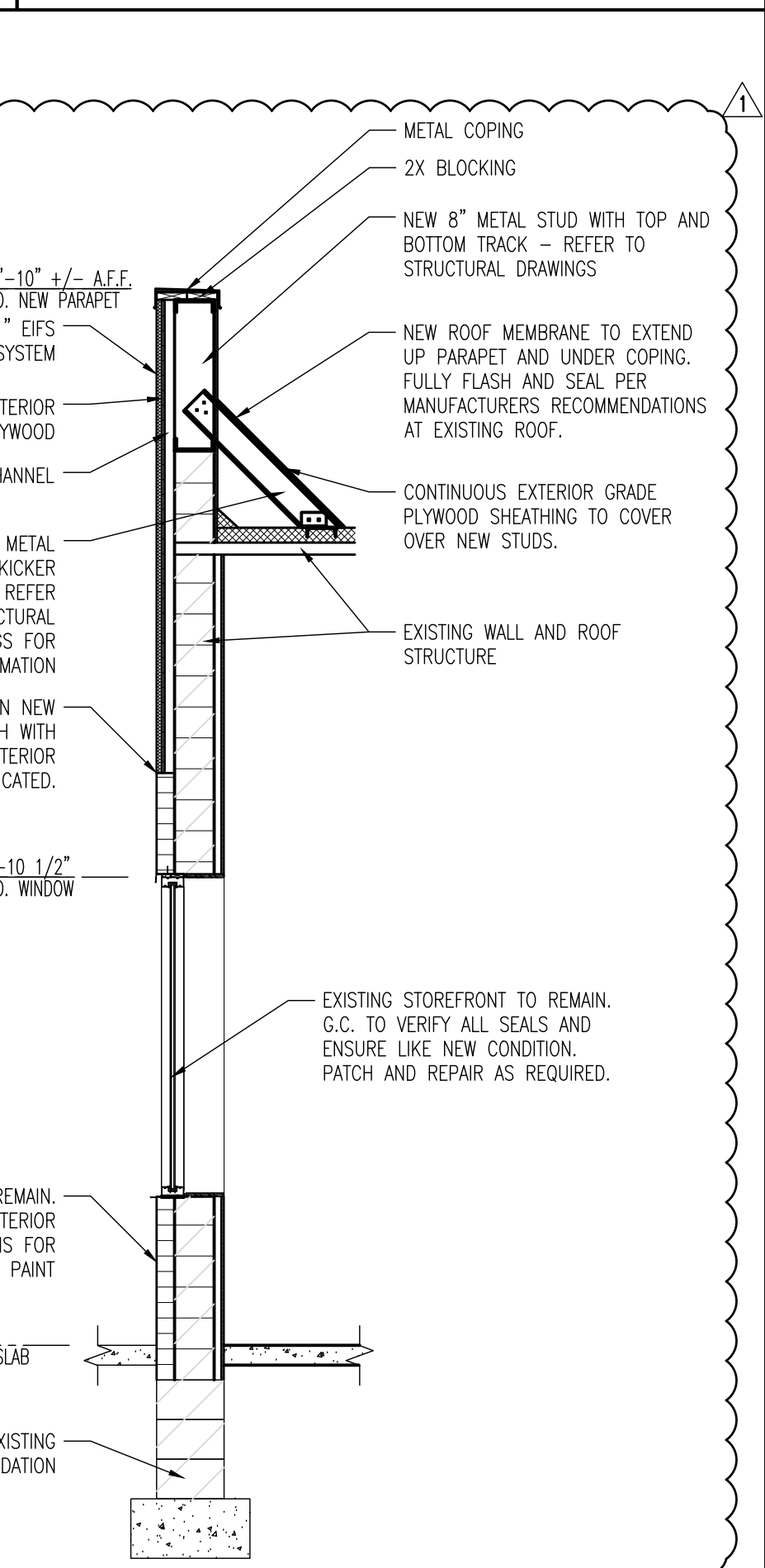
A3 FLOOR CONN. DTL. (TYP.)
SCALE: N.T.S.



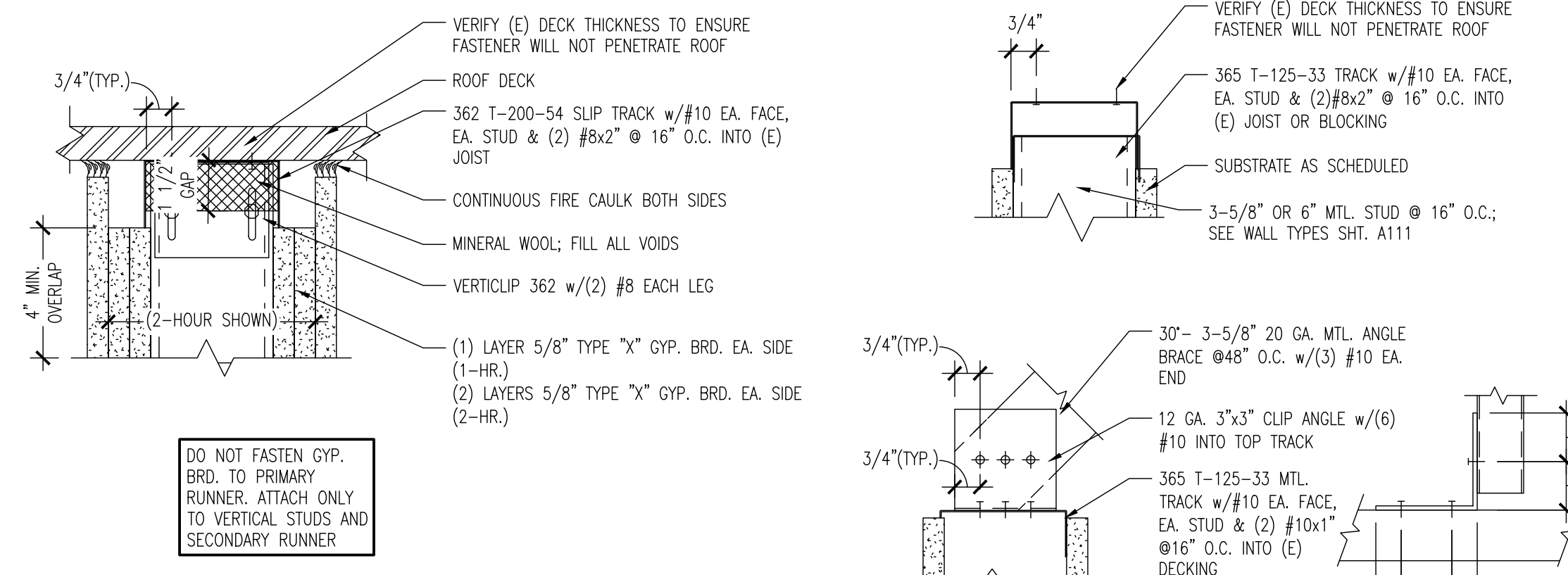
A4 LOW WALL SUPPORT DETAIL
SCALE: N.T.S.



A7 WALL SECTION
SCALE: 3/8" = 1'-0"



A8 WALL SECTION
SCALE: 3/8" = 1'-0"



A5 HEAD TRACK DETAILS
SCALE: N.T.S.

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HOWELL, MI 48843

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DRAWING ISSUE

STAMP

STATE OF MICHIGAN
 ZSOLT S. VAMOSI
 ARCHITECT
 No. 130846954
 01/18/2015

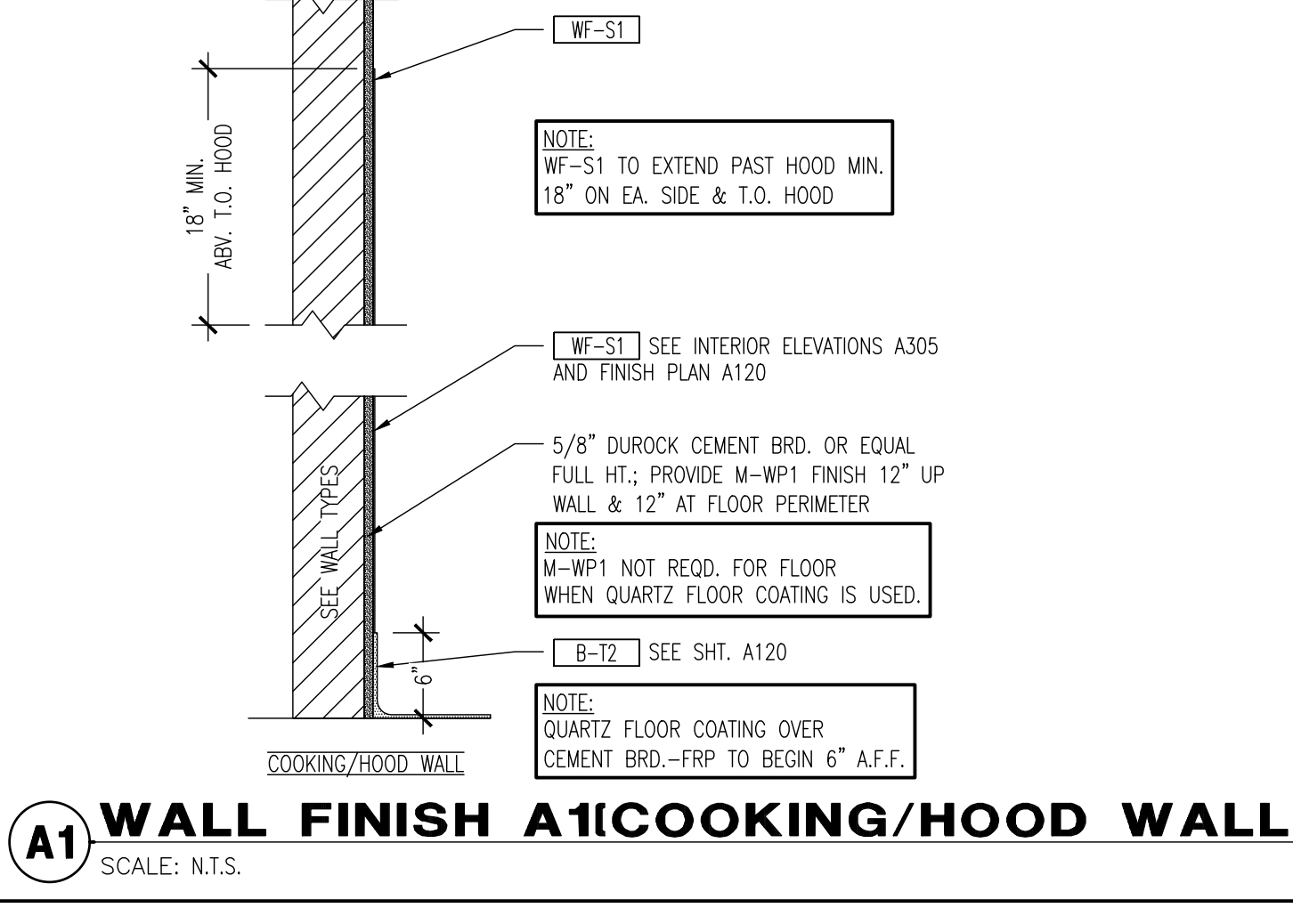
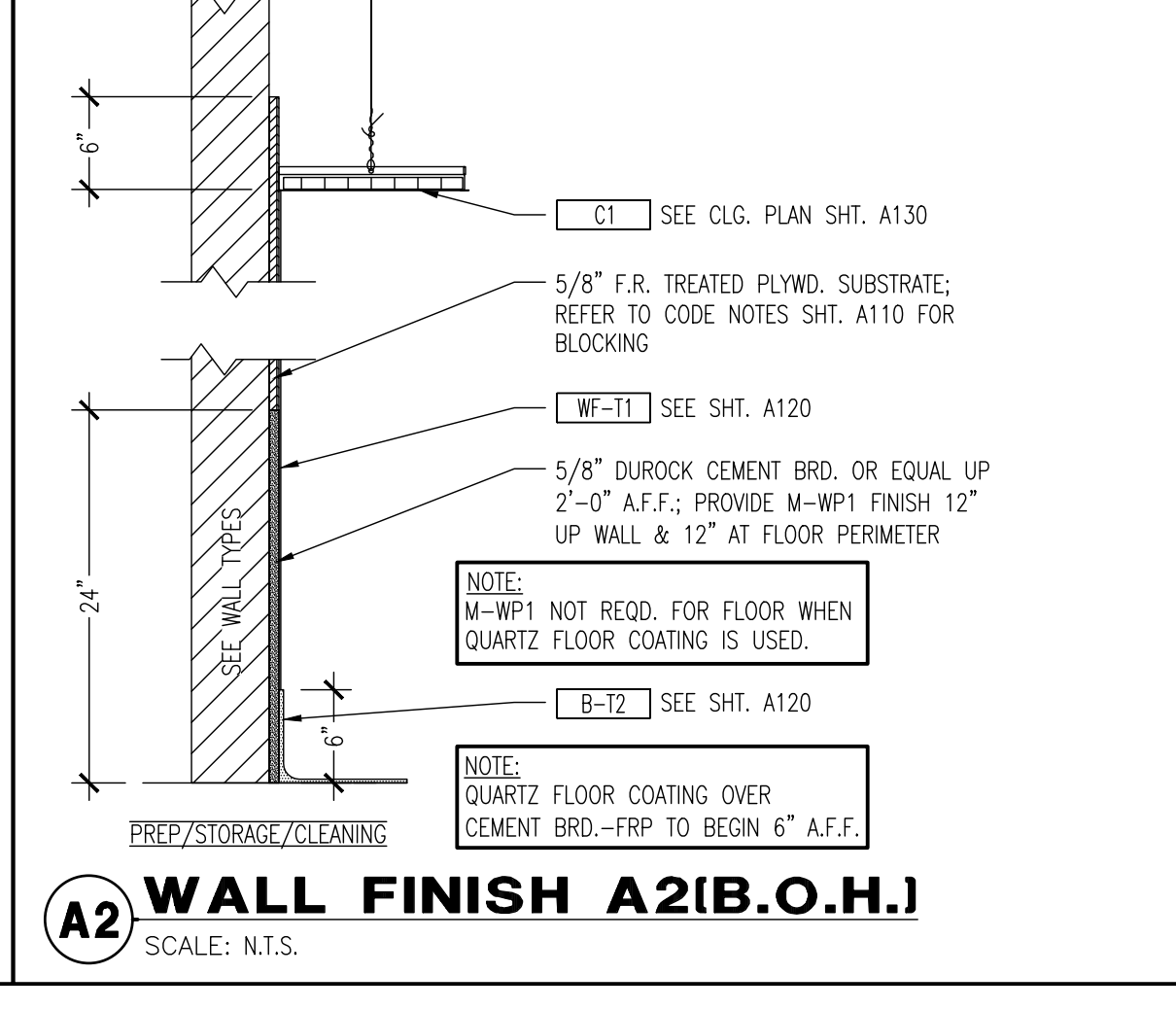
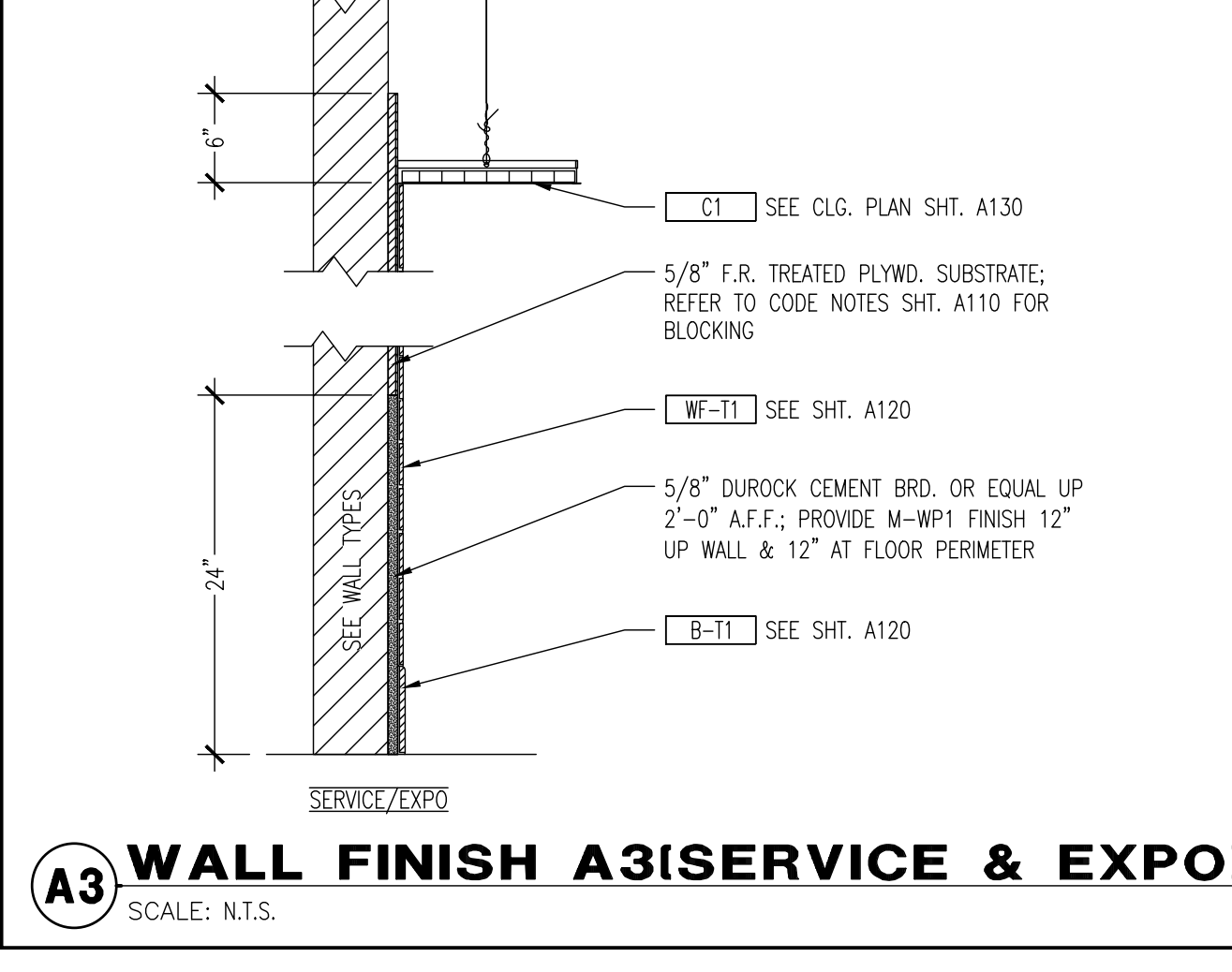
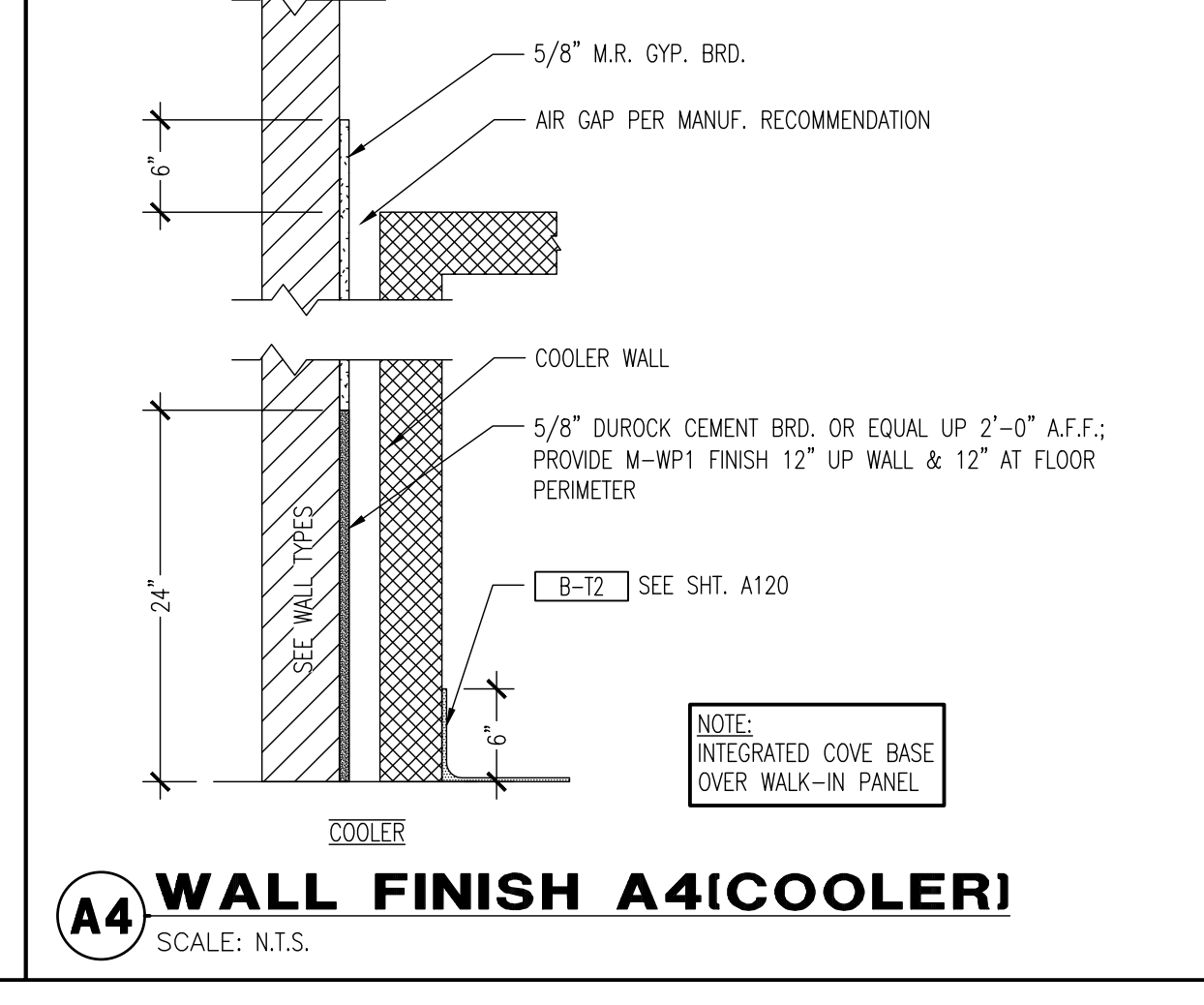
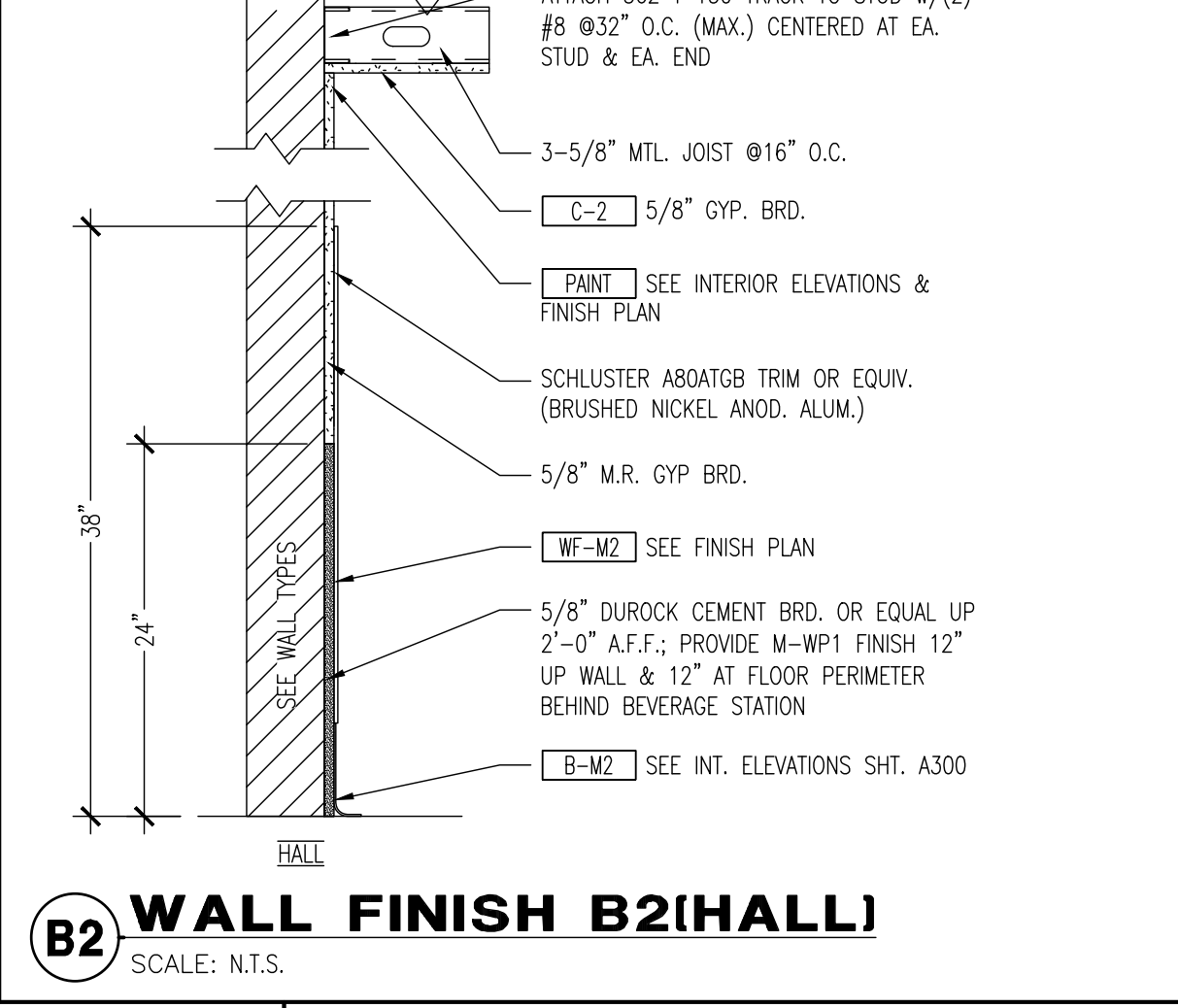
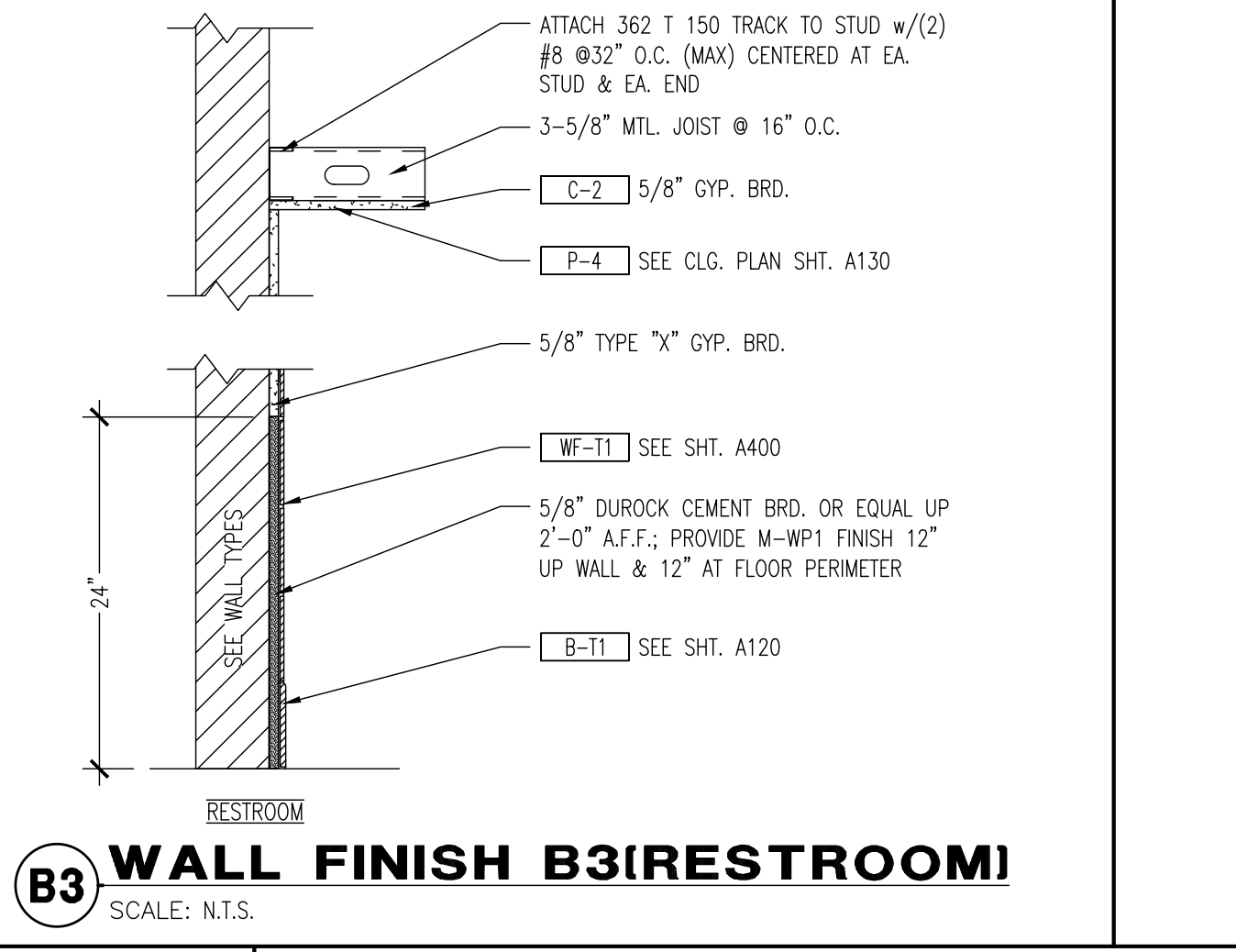
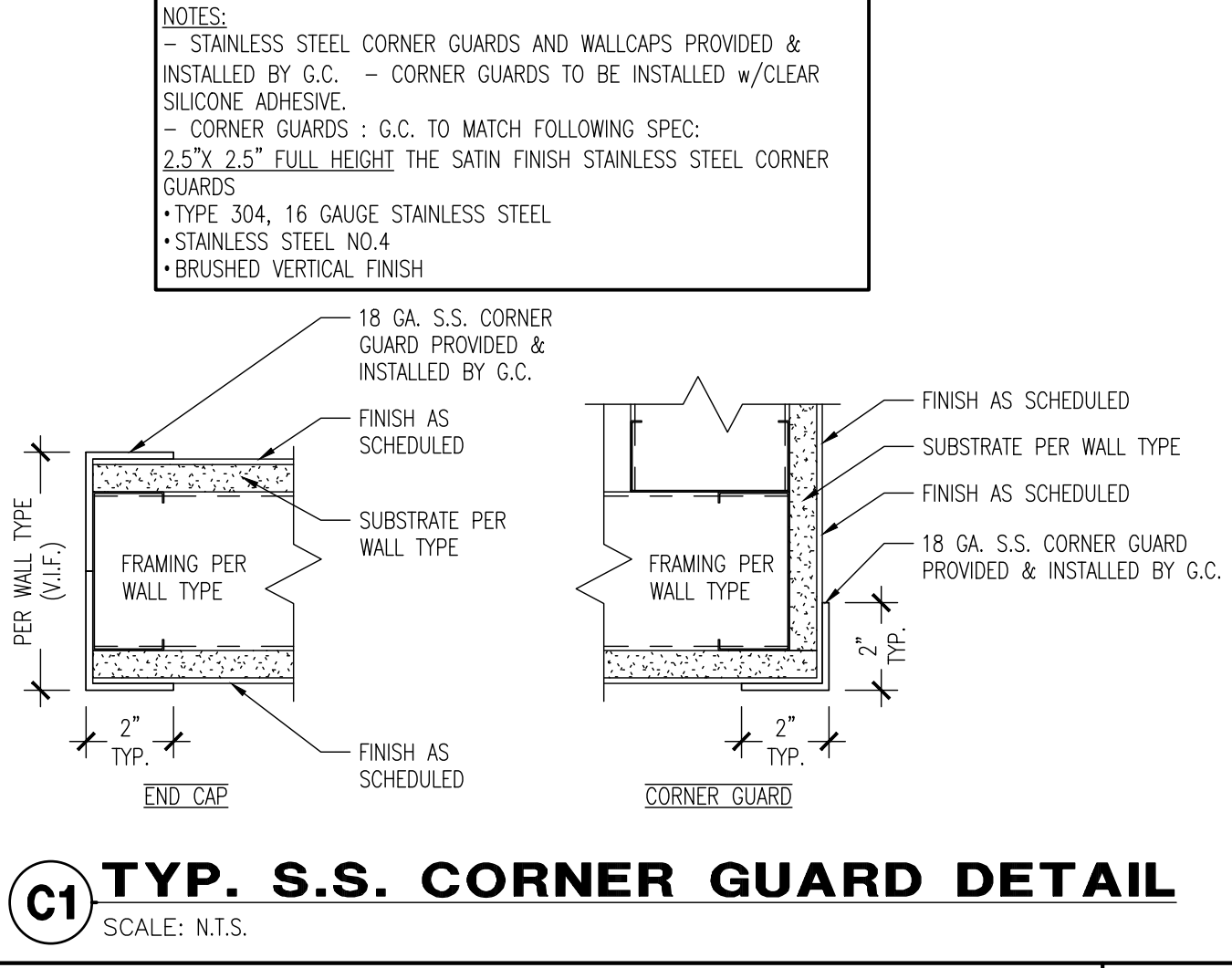
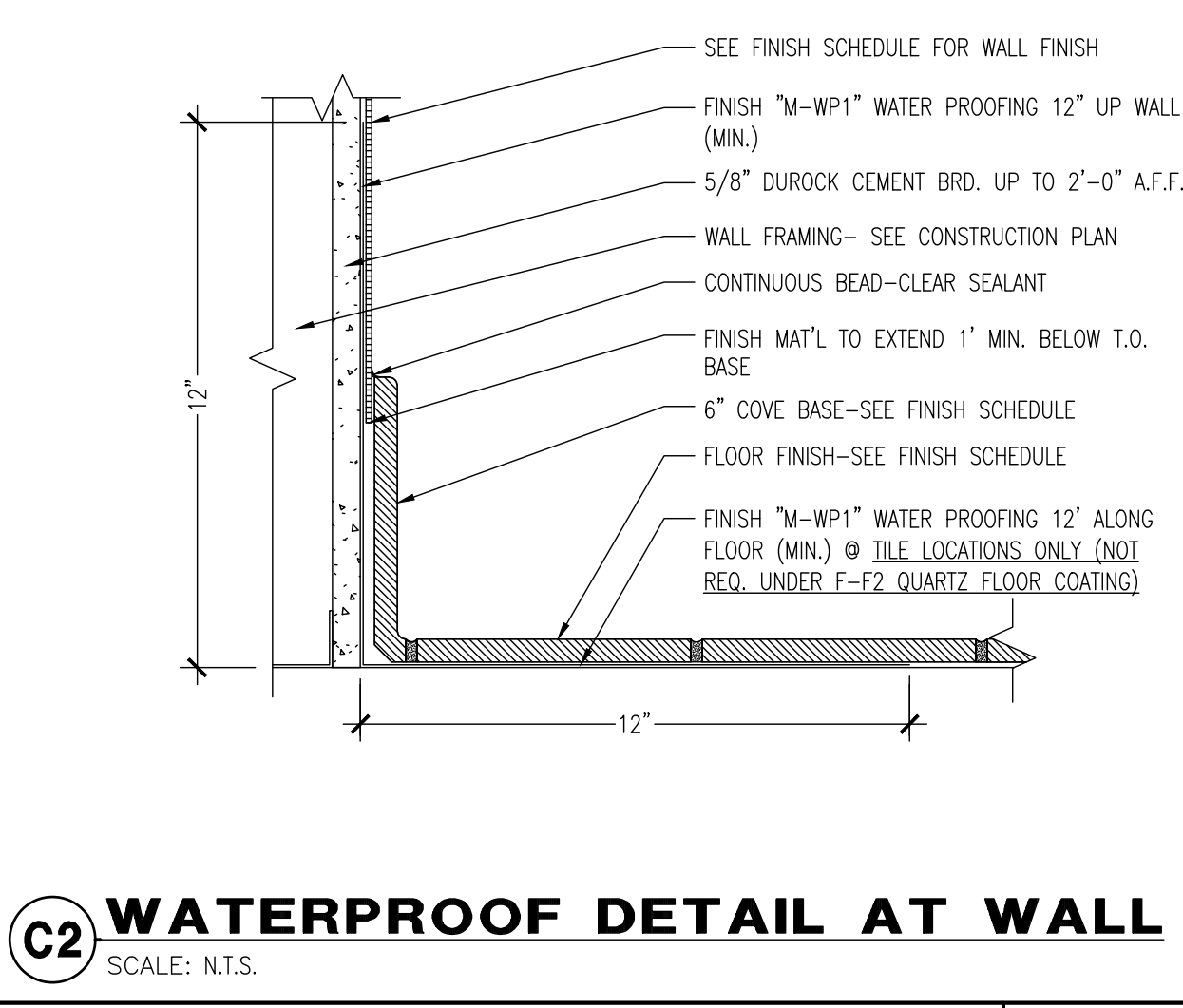
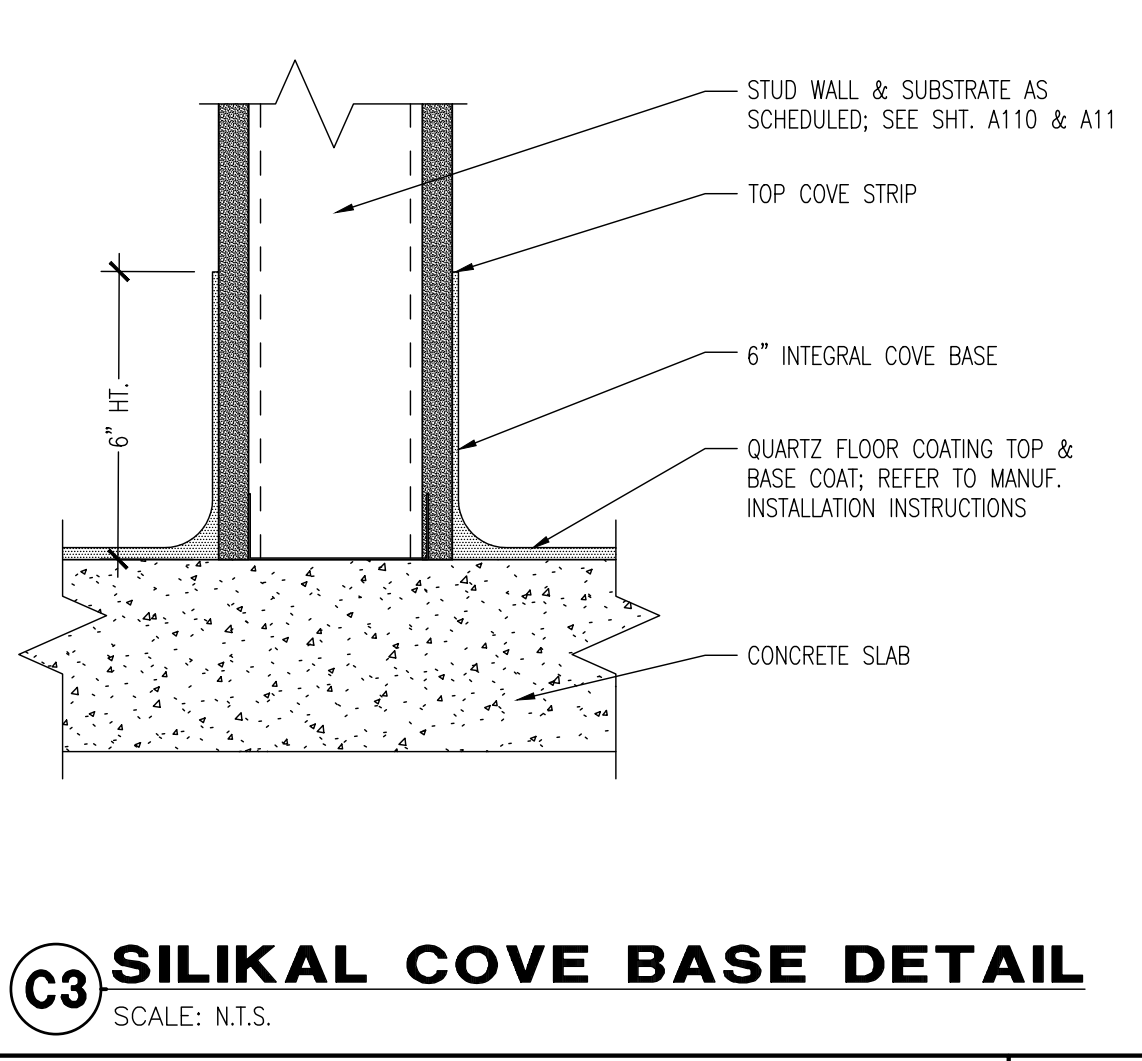
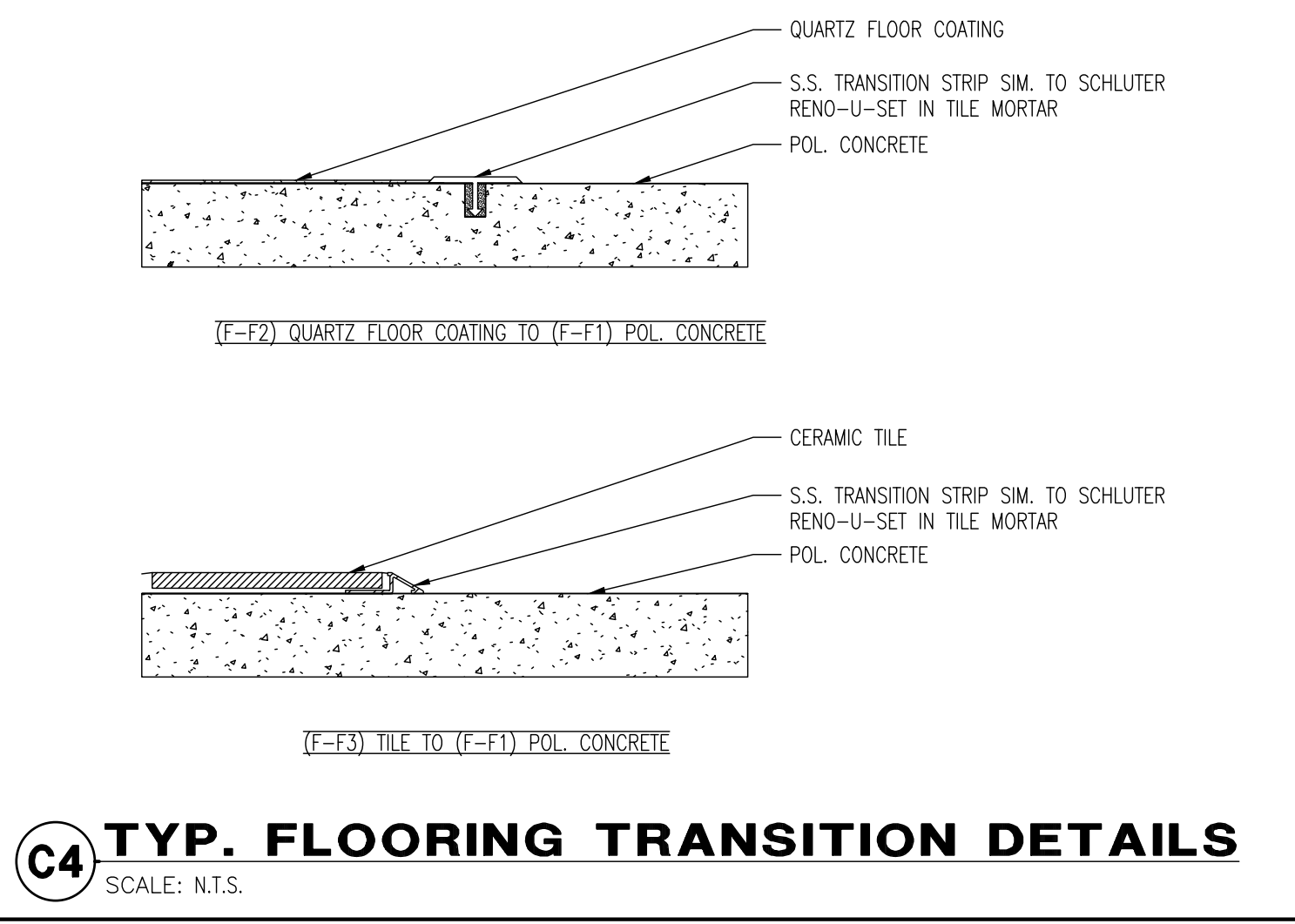
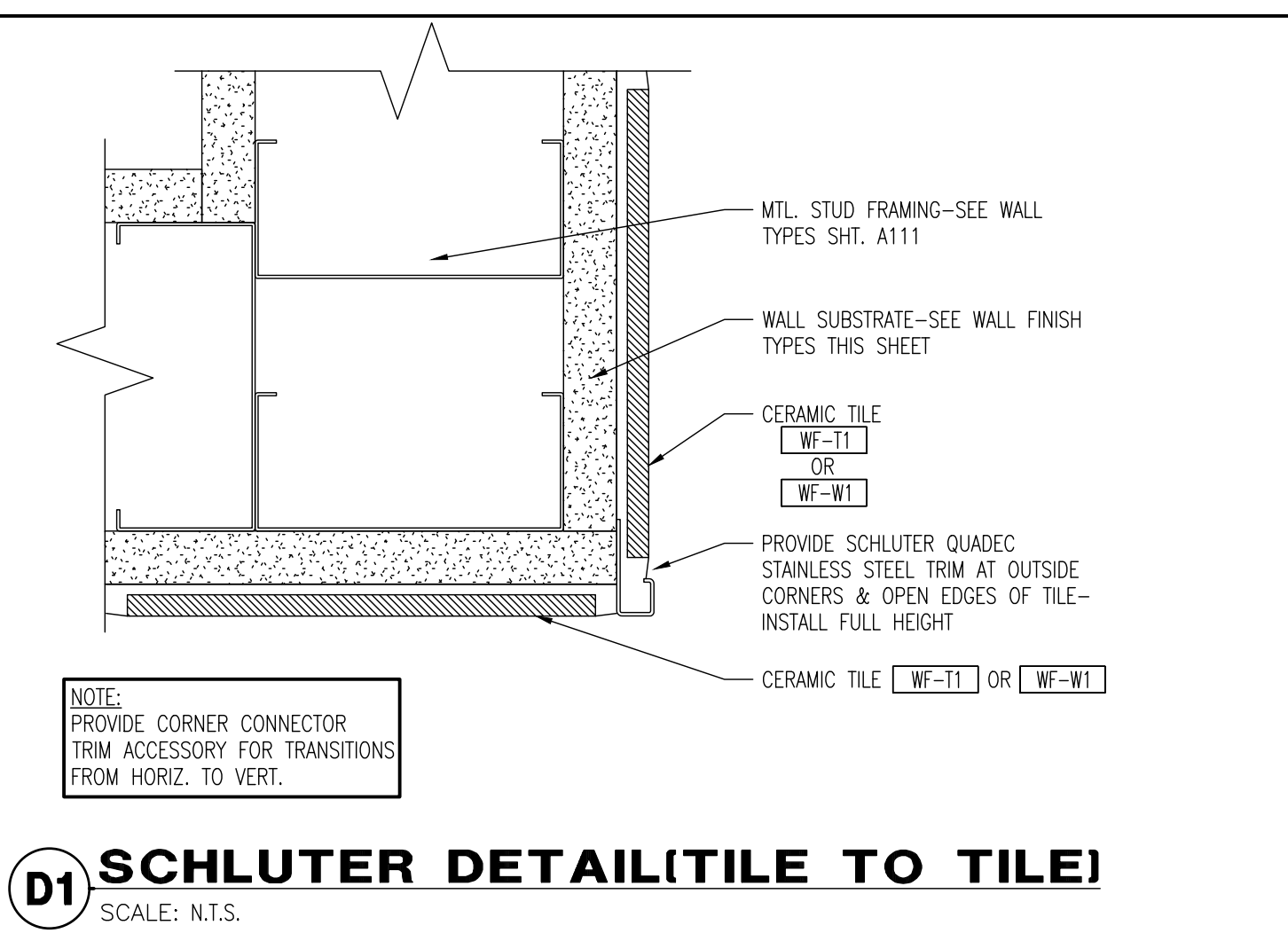
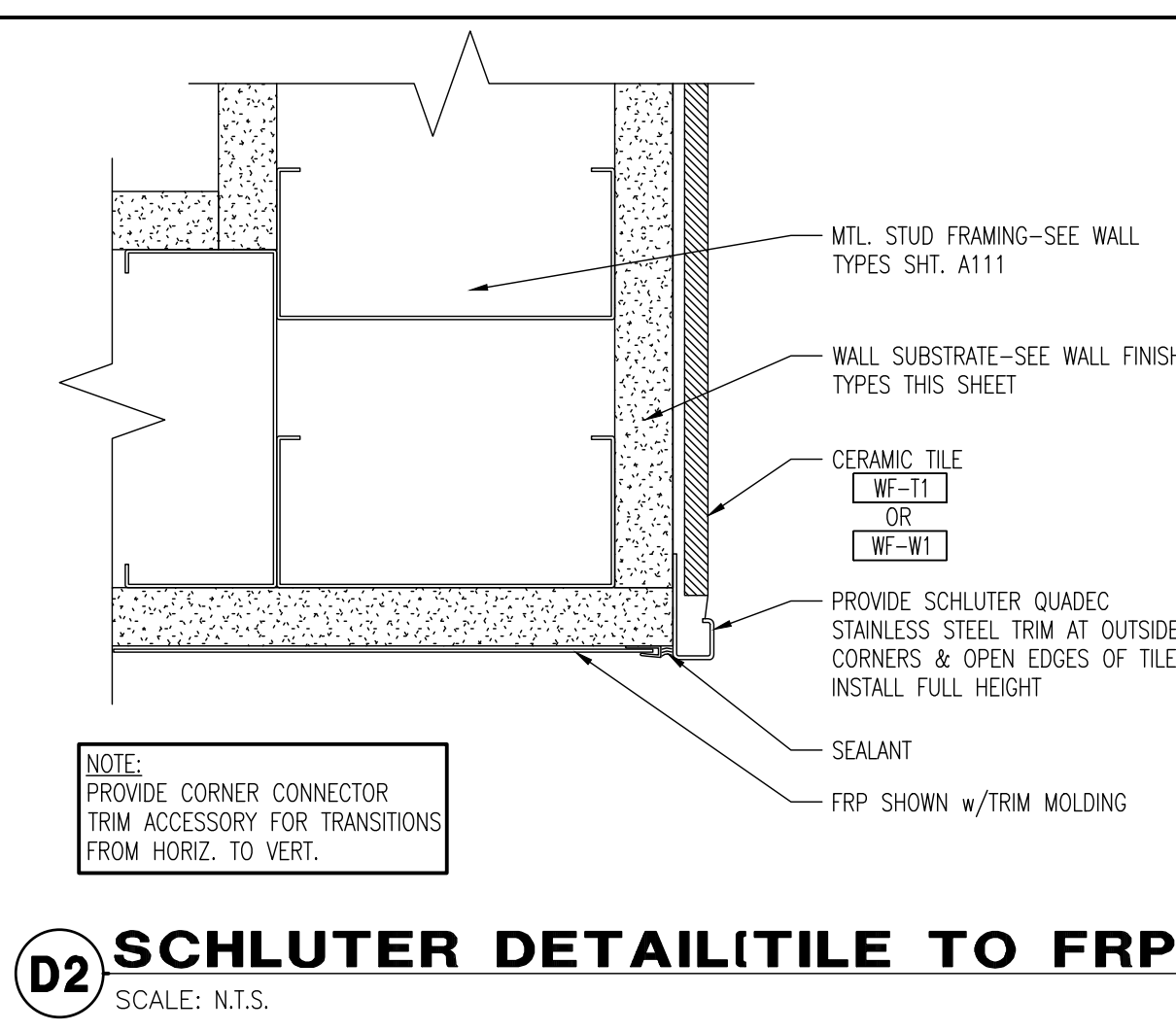
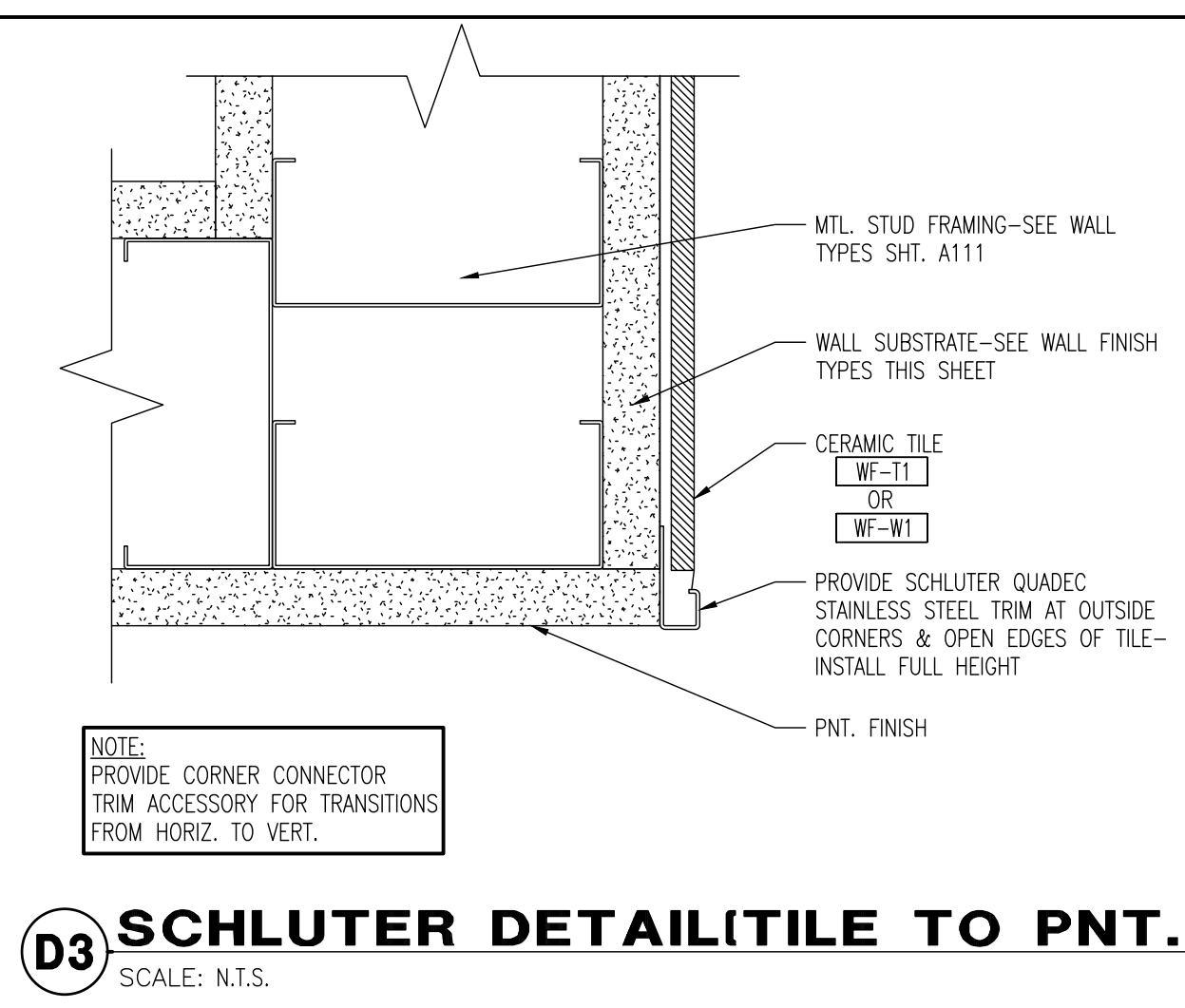
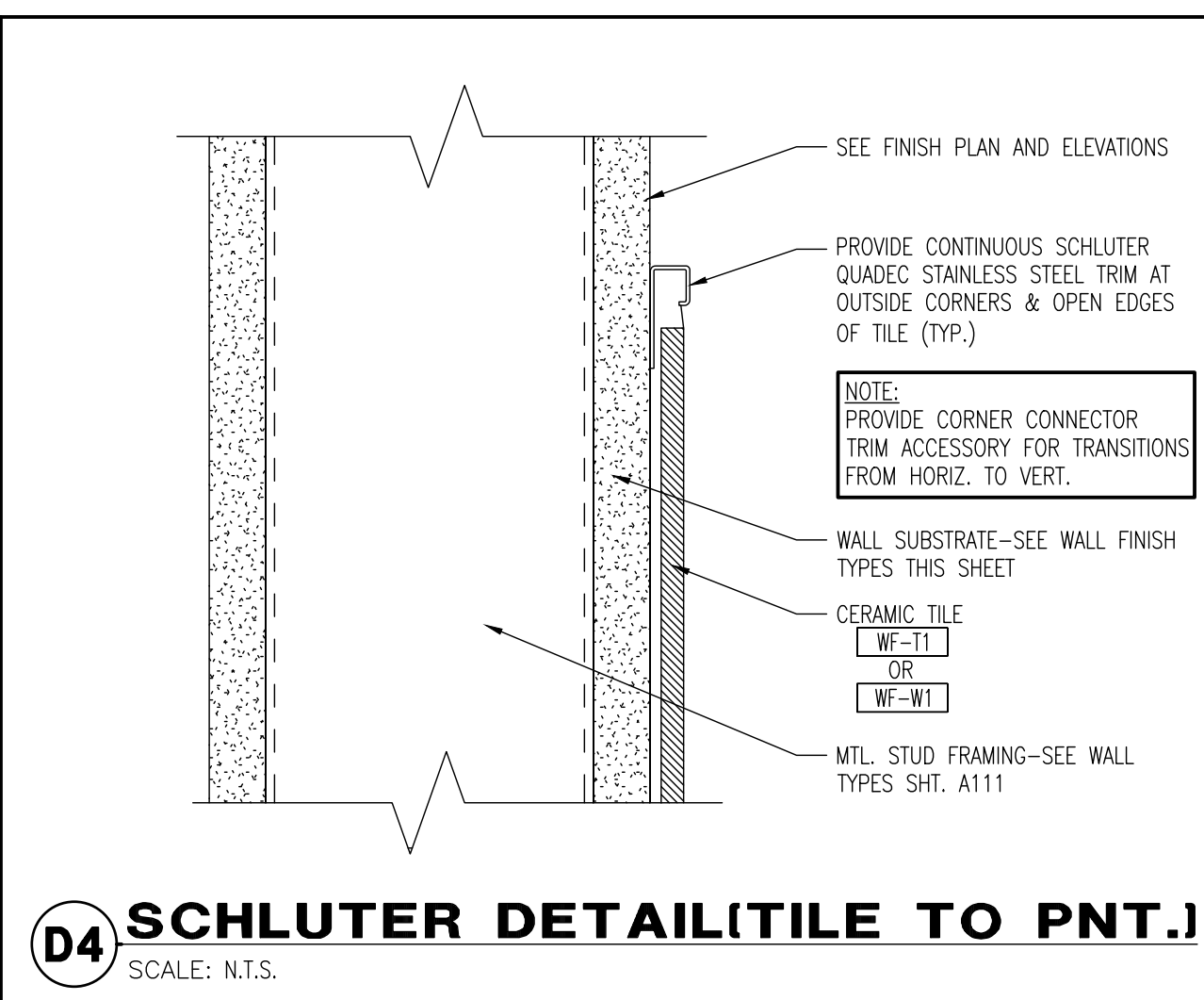
10/5/2023

FINISH DETAILS

SCALE: AS NOTED
 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
A112



INTERIOR FINISH SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	SPECIFICATION	SIZE	REMARKS
PAINT (P)					
P-1	PAINT - BLACK	DUNN EDWARDS	DE6350 DARK ENGINE - SATIN FINISH		SEE PLAN
P-2	PAINT - GRAY	DUNN EDWARDS - FINISH: EGGSHELL (U.N.O.)	DE6349 EDGE OF BLACK- SATIN FINISH		SEE PLAN
P-3	PAINT - LIGHT GRAY	DUNN EDWARDS	DE6348 DRAW YOUR SWORD- SATIN FINISH		SEE PLAN
P-4	PAINT - WHITE	DUNN EDWARDS	DEW383 COOL DECEMBER- SATIN FINISH		SEE PLAN
P-5	PAINT - OFF WHITE	DUNN EDWARDS	DE6344 WSP OF SMOKE BRIGHT- SATIN FINISH		SEE PLAN
P-6	PAINT - RED	DUNN EDWARDS	DET412 HEART THROB- SATIN FINISH		SEE PLAN
P-7	PAINT - DARK RED	DUNN EDWARDS	DET410 FLOROGRAPHY- SATIN FINISH		SEE PLAN
WALL FINISH (WF)					
WF-F1	FRP WALL PANEL (FRP-1)	"MARLITE" INC.	S-100 SMOOTH (DRY- ERASE)		INSTALL FULL HEIGHT IN B.O.H. NOT IN CUSTOMER VIEW
WF-G1	WALL GRAPHIC - BY VENDOR				
WF-M2	DIAMOND PLATE METAL SHEETS (WP-2)	CCS MILLWORK	48"x96" ALUM. DIAMOND PLATE		
WF-S1	STAINLESS STEEL (SS-1)	CCS MILLWORK			
WF-S2	STAINLESS STEEL (SS-2)	CCS MILLWORK			
WF-T1	WALL TILE (WT-1)	DALTILE - SERIES: COLOR WHEEL CLASSIC	COLOR: 0190 ARTIC WHITE	3x6	SCHLUTER QUADREC STAINLESS STEEL TRIM TO BE USED AT OUTSIDE CORNERS & OPEN EDGES OF TILE - INSTALL FULL HEIGHT IN SERVICE AREA (WITHIN CUSTOMER VIEW)
WF-W1	WOOD FINISH (WD-1)	VIRODIA/ CCS			
BASE (B)					
B-M2	DIAMOND PLATE METAL SHEETS (WP-3)	CCS MILLWORK	3/8" RADIUS COVE BASE		
B-T1	WALL TILE (WT-2) (CERAMIC)	DALTILE - SERIES: COLOR WHEEL CLASSIC	COLOR: 0190 ARTIC WHITE	A3601 6x6 FLAT TOP COVE BASE	SCHLUTER QUADREC STAINLESS STEEL TRIM T.O. TILE WAJNSCOT. INSTALL IN RESTROOMS
B-T3	INTEGRATED COVE BASE	SILIKAL 61 CQ	COLOR: QUARTZ BLEND #4		INSTALLATION BY ONLY APPROVED APPLICATORS -CONSULT LOCAL REP
FLOOR (F)					
F-F1	POLISHED CONCRETE	CONCRETE POLISHED AND SEALED (G.C. SUPPLY SPEC) - COLOR: CLEAR - WARRANTY INFO TO BE PRESENTED AT WALK THROUGH	USE HEALTH DEPT. APPROVED SEALER FOR HIGH TRAFFIC		INSTALL THROUGHOUT DINING AND HALLWAY AREA GC SUPPLIED AND INSTALLED RETROPLATE AUTHORIZED INSTALLERS ONLY SEE VENDOR LIST FOR MORE INFORMATION
F-F2	QUARTZ FLOORING SYSTEM	SILIKAL 61 CQ.	COLOR: QUARTZ BLEND #4		INSTALLATION BY ONLY APPROVED APPLICATORS -CONSULT LOCAL REP
MISCELLANEOUS (M)					
M-S1	STAINLESS STL. (SS-1) WALL PROTECTION (TYPE 304, 16 GAUGE STAINLESS STEEL STAINLESS STEEL NO.4 BRUSHED VERTICAL FINISH)	LOCAL	CORNER GUARDS & WALL CAPS		FULL HT.
M-S2	STAINLESS STL. (SS-2) WORKTOP	LOCAL	EDGE DETAIL / GAUGE		
M-WP1	LATICRETE	HYDRO BAN			INSTALL AT ALL WET WALLS & DEMISING WALL(S) ALONG FLOORING

GENERAL NOTES

- GC TO SUBMIT SAMPLES OF ALL FINISH MATERIAL TO HEALTH DEPARTMENT FOR REVIEW PRIOR TO PURCHASE AND INSTALLATION.
- ALL FLOOR FINISHES SHALL BE INSTALLED WITH TOP EDGES LEVEL WITH ADJACENT MATERIAL TOP EDGES. CONFIRM TILE THICKNESS AS THESE MAY VARY. CONFIRM THAT NO OVERALL FLOATING OF FLOOR IS REQUIRED.
- COORDINATE FLOORING TRANSITIONS AND BASE TILE INSTALLATION WITH MILLWORK SHOP DRAWINGS AND FIELD CONDITIONS.
- ALL THRESHOLDS SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE EXISTING CONCRETE SLAB AND/OR INTERIOR FINISHES.
- TILE TRANSITION BETWEEN ROOMS TO BE CENTERED ON DOOR FRAME.
- SEE ROUGH-IN / PLUMBING DRAWINGS FOR DIMENSIONS AND LOCATIONS OF FLOOR DRAINS AND FLOOR SINKS.
- G.C. TO LEAVE ONSITE, UPON COMPLETION OF JOB (1) BOX EACH OF ALL WALL, FLOOR AND CEILING TILE USED.
- ALL FINISH MATERIALS TO BE IBC CHAPTER 8 COMPLIANT.
- ALL INTERIOR FINISHES TO HAVE A FLAME SPREAD RATING OF 25 OR LESS. WITH A MAXIMUM SMOKE GENERATION FACTOR OF 450.
- TILE INSTALLER SHALL COORDINATE WITH GENERAL CONTRACTOR AND PROVIDE LAYOUT OF ALL WALL TILE PRIOR TO INSTALLATION. GENERAL CONTRACTOR, SHALL PREPARE WALLS AS TO MINIMIZE CUT TILES IN THE HORIZONTAL DIRECTION AND ELIMINATE CUT TILES IN THE VERTICAL DIRECTION ON ANY WALLS. CONTACT ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS FOR DIRECTION PRIOR TO INSTALLATION. FAILURE TO ADHERE TO THESE REQUIREMENTS RESULTING IN ANY REMEDIATION REQUIRED TO MEET DESIGN INTENT WILL BE AT CONTRACTORS COST.
- ALL WALL MOUNTED HVAC VENT REGISTERS AND GRILLS TO BE PAINTED TO MATCH ASSOCIATED WALL SURFACE.
- ALL GYPSUM BOARD WALLS TO RECEIVE PAINT TO HAVE LEVEL 5 FINISH.
- QUARTZ FLOORING SYSTEMS TO REQUIRE APPROVED APPLICATORS - CONSULT LOCAL REP.
- IF ALTERNATE PAINT SPECIFICATIONS USED, PAINTING CONTRACTOR TO VERIFY COLORS MATCH SPECIFIED DURABLE FINISH PER FINISH REMARKS.

CODED NOTES

- STAINLESS STEEL WALL PANELS TO EXTEND ABV. HOOD MIN. 18" & PAST EA. END OF HOOD MIN. 18". PROVIDE STAINLESS STEEL WRAPPER AT T.O. HOOD - COORD. w/KEE & HOOD VENDOR.
- STAINLESS STEEL CORNER GUARD TO BE 2" WIDE & FULL HT. & END CAPS TO FULLY COVER END WALL CONDITIONS FULL HT. w/2" RETURNS; PROVIDE CLEAR COATED FINISH & ADHERE TO WALL w/CLEAR SILICONE - NO SCREWS. FURNISHED & INSTALLED BY GC.
- EXPO & POS COUNTER TO SIT FLUSH TO FLOOR - FINISH BASE AND FLOOR TILE INSTALLATION AFTER MILLWORK IS SET IN PLACE - GC TO COORD. w/VENDOR & FINISH INSTALLERS.
- FEATURE WALL - VERIFY FINAL GRAPHIC PACKAGE AND LOCATION WITH FRANCHISER, CLIENT, AND VENDOR.
- GC TO COORD. FLOOR SINK INSTALLATION TO BE POSITIONED CLOSE TO FRONT OF CABINERY & CABINET DOORS TO OPEN SUCH THAT FULL ACCESS IS ALLOWED TO FLOOR SINK FOR CLEANING & MAINTENANCE. PROVIDE COVED BASE & FLOOR FINISH AT EXPOSED FLOORING INSIDE DRINK STATION CABINERY PER HEALTH CODE REQUIREMENT.
- TILE / TILE TRANSITION STRIP TO ALIGN WITH MILLWORK AS SHOWN.

REVIEW AND COMMENTS

Intertech Design Services, Inc.
 Architecture and Engineering
 9675 Montgomery Rd.
 Cincinnati, Ohio 45242
 Phone: (513) 791-6588
 Fax: (513) 792-7923
 Web: www.intertechdesign.com

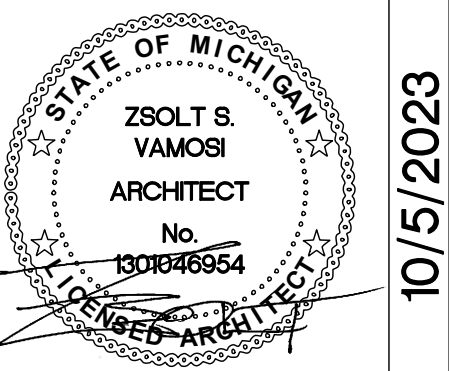
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		11/18/21

STAMP

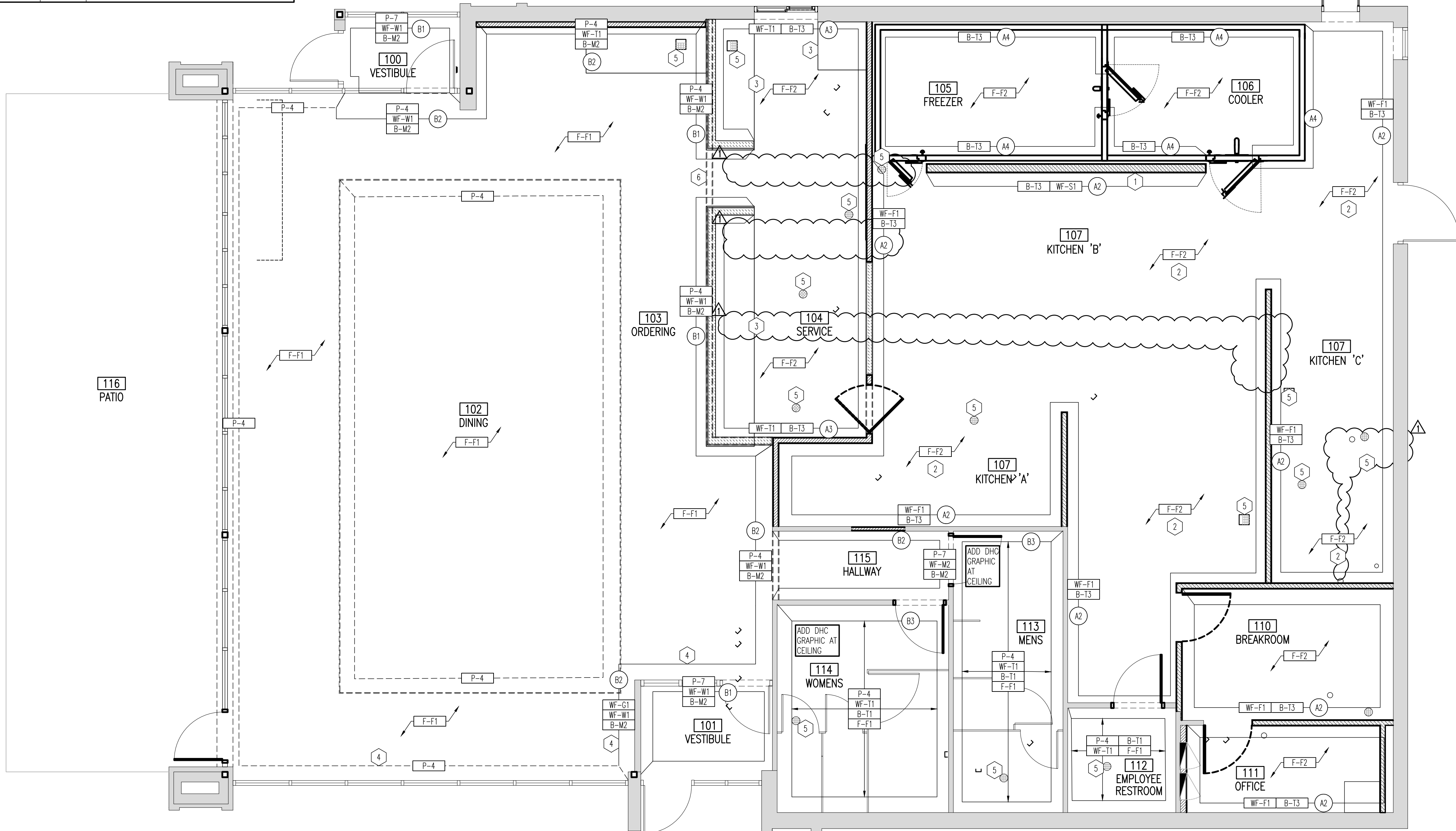


FINISH PLAN
 SCALE: 1/4" = 1'-0"
 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER

A120



01 FINISH PLAN
 SCALE: 1/4"=1'-0"

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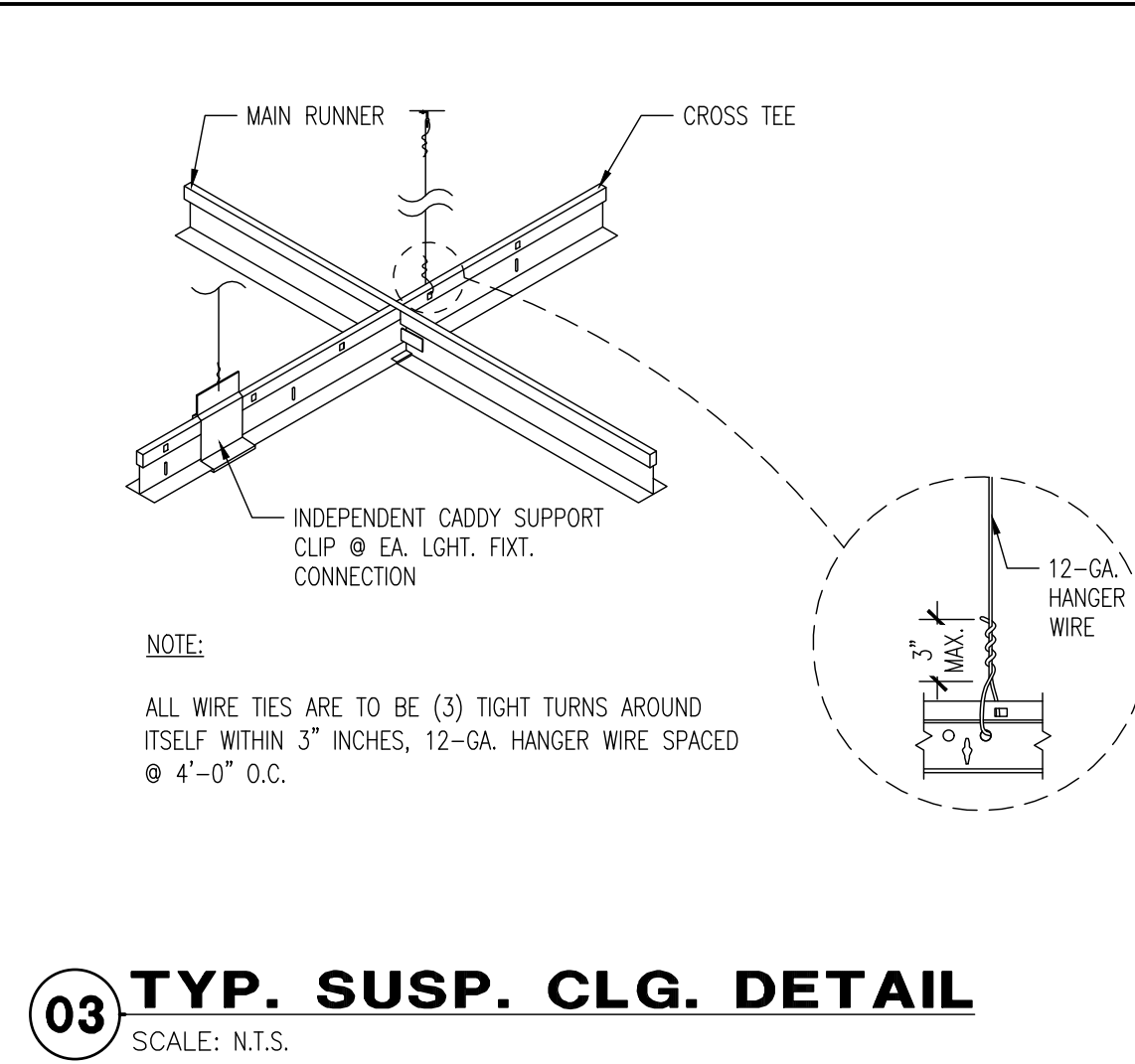
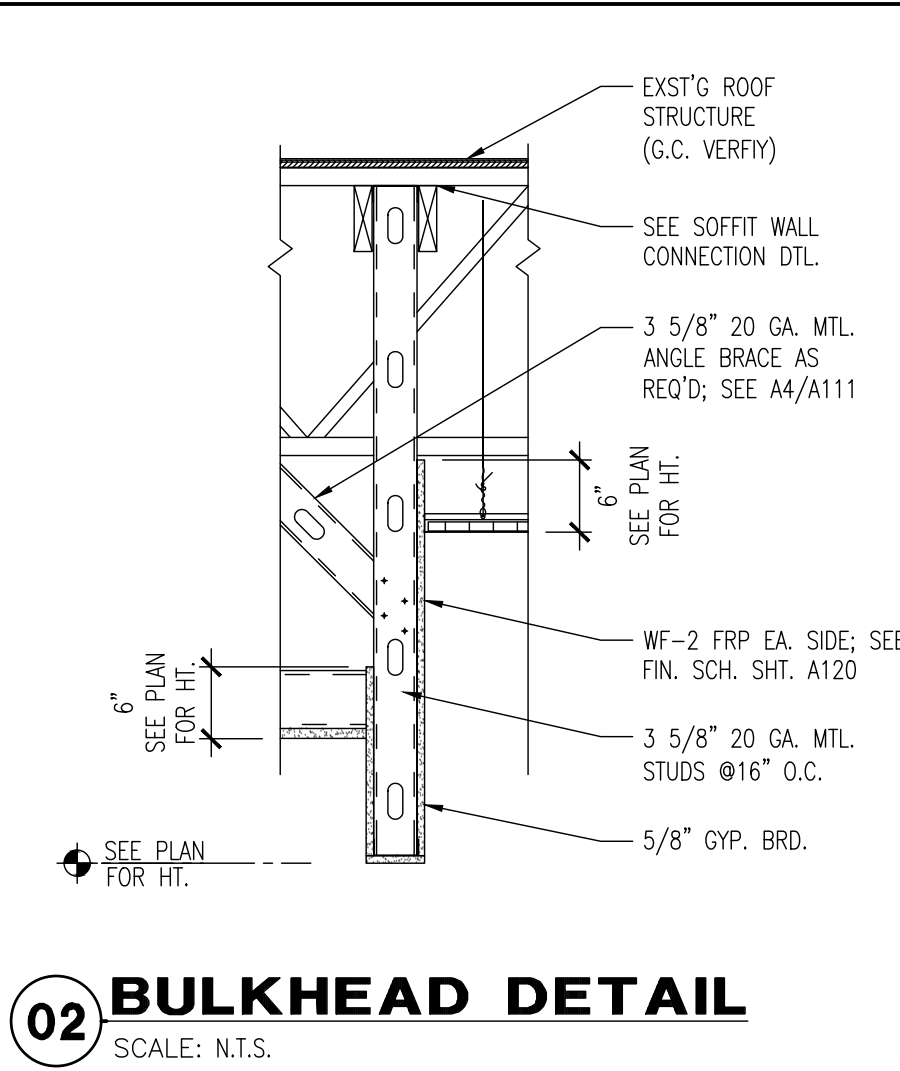
CEILING PLAN
 SCALE: 1/4" = 1'-0"
 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
A130

REVIEW AND COMMENTS

LIGHT FIXTURE SCHEDULE							
SYMBOL	#	MANUFACTURER & MODEL #	LIGHT FIXTURE DESCRIPTION	SYMBOL	#	MANUFACTURER & MODEL #	LIGHT FIXTURE DESCRIPTION
○	T1	COOPER / METALUX #2GR8-232A-UNV-EB81-U COOPER/METALUX #2GR8-232A-UNV-EL4-EB81-U	2'x4' RECESSED FLUORESCENT TROFFER W/0.125" THICK PATTERNED ACRYLIC SHIELD. FIXTURES DESIGNATED FOR EMERGENCY LIGHTING SHALL HAVE 90 MIN. BATTERY BACKUP	○	R1	HOUSING: ELITE LED #LD86C-14W-DIMTR-120 MODULE: ELITE LED #RL607-14W-DIMTR-120-30K-W-WH ISOLITE INVERTER: #MI-12-V1 OR #MI-25-V1	6" RECESSED DOWNLIGHT W/ BLACK RING. EM FIXTURES SHALL HAVE A 90 MIN. BATTERY BACKUP CENTER IN 2'x4 CEILING TILE
⊠	T1-EM	COOPER / METALUX #2GR8-232A-UNV-EB81-U COOPER/METALUX #2GR8-232A-UNV-EL4-EB81-U	2'x4' RECESSED FLUORESCENT TROFFER W/0.125" THICK PATTERNED ACRYLIC SHIELD. FIXTURES DESIGNATED FOR EMERGENCY LIGHTING SHALL HAVE 90 MIN. BATTERY BACKUP	○	R1-EM	HOUSING: ELITE LED #LD86C-14W-DIMTR-120 MODULE: ELITE LED #RL607-14W-DIMTR-120-30K-W-WH ISOLITE INVERTER: #MI-12-V1 OR #MI-25-V1	6" RECESSED DOWNLIGHT W/ BLACK RING. EM FIXTURES SHALL HAVE A 90 MIN. BATTERY BACKUP CENTER IN 2'x4 CEILING TILE
⊠	EM1	EXITRONIX #VEX-U-BP-WB-WH-EL90	EXIT / UNIT COMBO EMERGENCY LIGHT WITH 90 MIN. BATTERY BACKUP	○	R2	HOUSING: LITON #LH7CA-GU24-LBL1326 MODULE: LITON #LH7A-LBL15/LRS40W	6" RECESSED HOUSING DOWNLIGHT, BLACK RING FINISH - INSTALL CENTERED ABOVE FOOD TRAYS
⊠	EM3	EXITRONIX #LL-50H	EMERGENCY LIGHT WITH 90 MIN. BATTERY BACKUP. MOUNT HORIZONTALLY ON CEILING -BLACK FINISH TO BE USED IF INSTALLED AT GRAPHIC WALL	□	EX1	EXITRONIX #VEX-U-BP-WB-WH	EXIT SIGN LIGHT



02 BULKHEAD DETAIL
 SCALE: N.T.S.

03 TYP. SUSP. CLG. DETAIL
 SCALE: N.T.S.

GENERAL NOTES

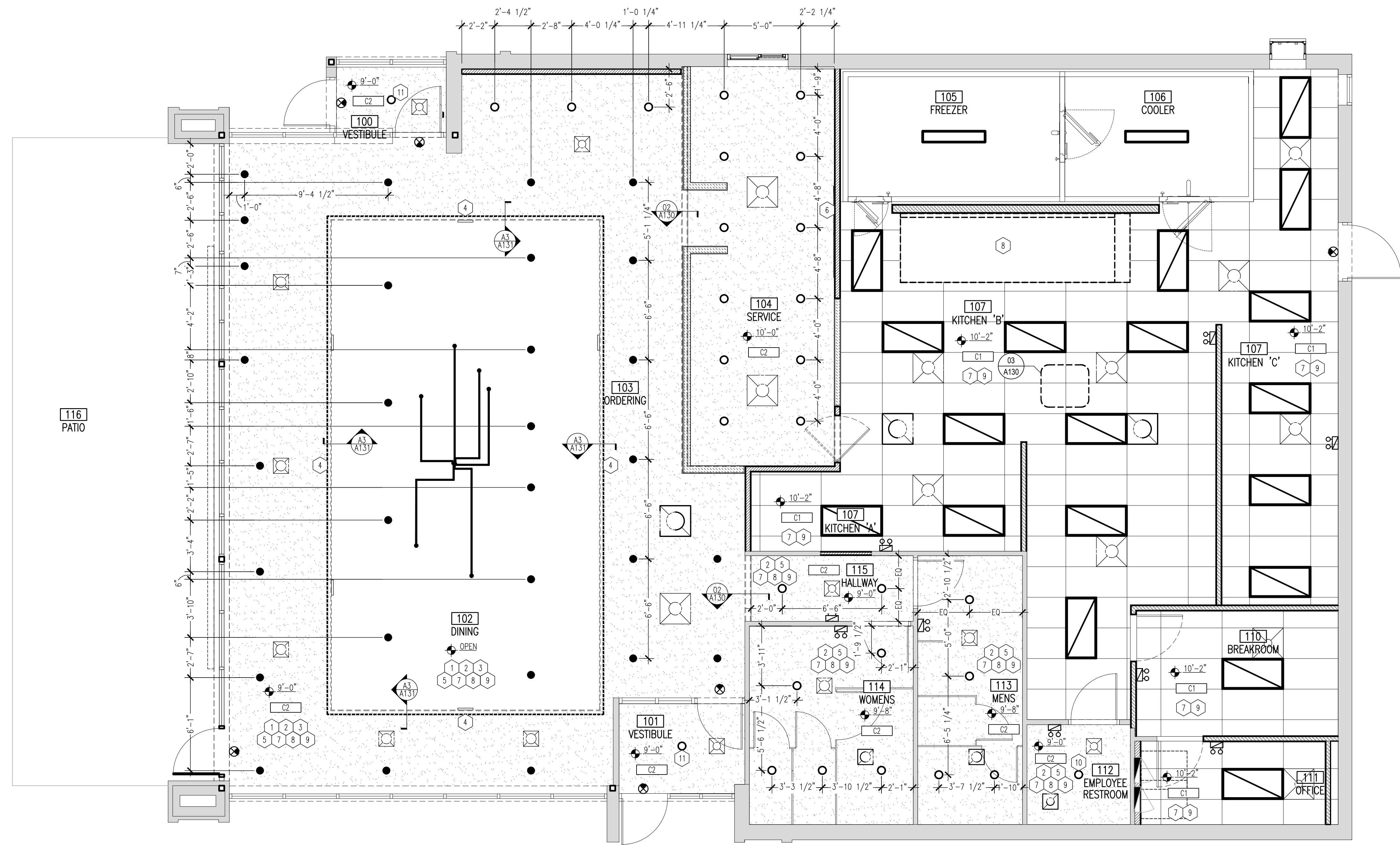
- VERIFY ALL PLACEMENT OF LIGHTS w/ OWNER PRIOR TO INSTALLATION & ROUGH-IN. SEE SHT. A300 FOR MNTG. INFORMATION, GC TO CONFIRM ALL MNTG. HTS. OF ALL FIXTURES, MNTG. HDWR. & CONDUIT.
- SEE ELECTRICAL PLANS FOR ADDITIONAL LIGHTING INFORMATION.
- ALL CEILING MATERIAL SHALL NOT EXCEED FLAME CLASS II - FLAME SPREAD INDEX 25-75.
- GC SHALL BE RESPONSIBLE TO COORD. THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE THAT PROPER CLEARANCES FOR DUCTS, LIGHTS, PIPING, ETC. ARE MET AND THAT THE CEILING HEIGHTS NOTED ON THE DRAWING ARE MAINTAINED.
- GC TO VERIFY REQUIREMENTS & QUANTITIES OF FIRE PROTECTION DEVICES INCLUDING SMOKE DETECTORS, DUCT SMOKE DETECTORS, FIRE ALARMS, RELATED SPEAKERS, STROBES, ETC. LIFE SAFETY INSTALLATIONS TO MEET REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES. PER CODE REVIEW COMMENT, SPRINKLER HEADS & OTHER PENETRATIONS SHALL HAVE A 2-INCH OVERSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1-INCH IN ALL HORIZ. DIRECTIONS.
- GC TO CONFIRM LEADTIMES ON ACOUSTICAL CEILING TILES AND CEILING GRID PRIOR TO COMMENCING CONSTRUCTION FOR ON-TIME DELIVERY OF CLG. PRODUCTS.
- ELECTRICAL CONTRACTOR SHALL SUPPLY 10% ADDITIONAL SPARE, OF ALL LAMP TYPE, TO BE LEFT AT JOB SITE AT END OF JOB.
- GC TO SUPPLY (1) UNOPENED CASE OF EACH TYPE OF CEILING TILE USED.
- ALL LIGHTING SHALL BE 20 FC AT 30" AFF, LIGHTING ABOVE FOOD OR UTENSILS SHALL BE SHATTERPROOF.
- CAULK JOINTS BETWEEN CEILING GRID AND ADJACENT SURFACES.
- EXISTING CONDITIONS CEILING CONDITIONS WHICH CAUSE ATYPICAL CHANGES MUST BE VERIFIED WITH CLIENT, CORPORATION, AND LIGHTING VENDOR.
- ALL LIGHT FIXTURES SUSPENDED FROM THE ROOF STRUCTURE w/UNISTRUT-DO NOT CONNECT JUNCTION BOXES DIRECTLY TO ROOF STRUCTURE. HOLD UNISTRUT CLOSE TO BOTTOM OF STRUCTURE U.N.O.

CODED NOTES

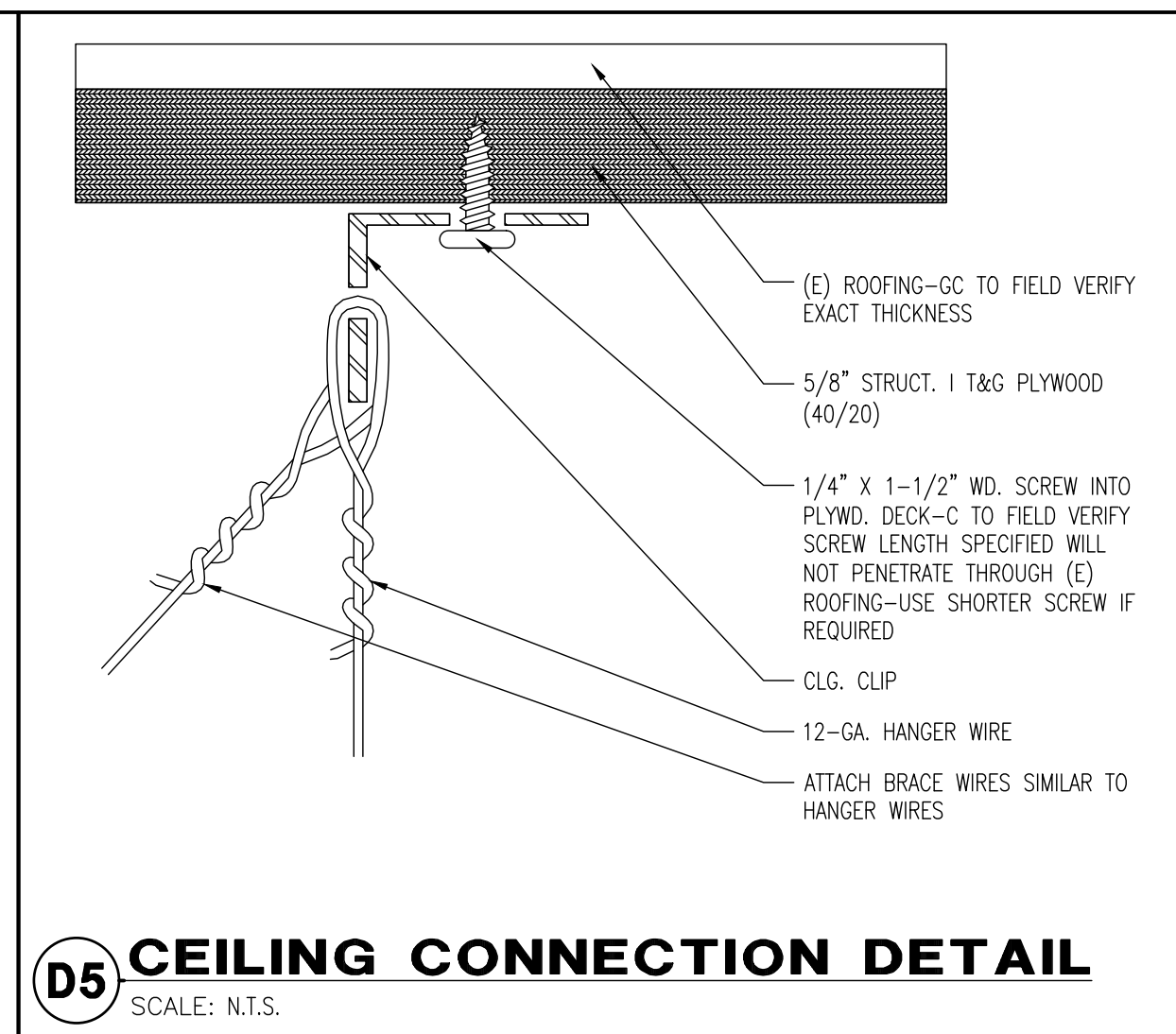
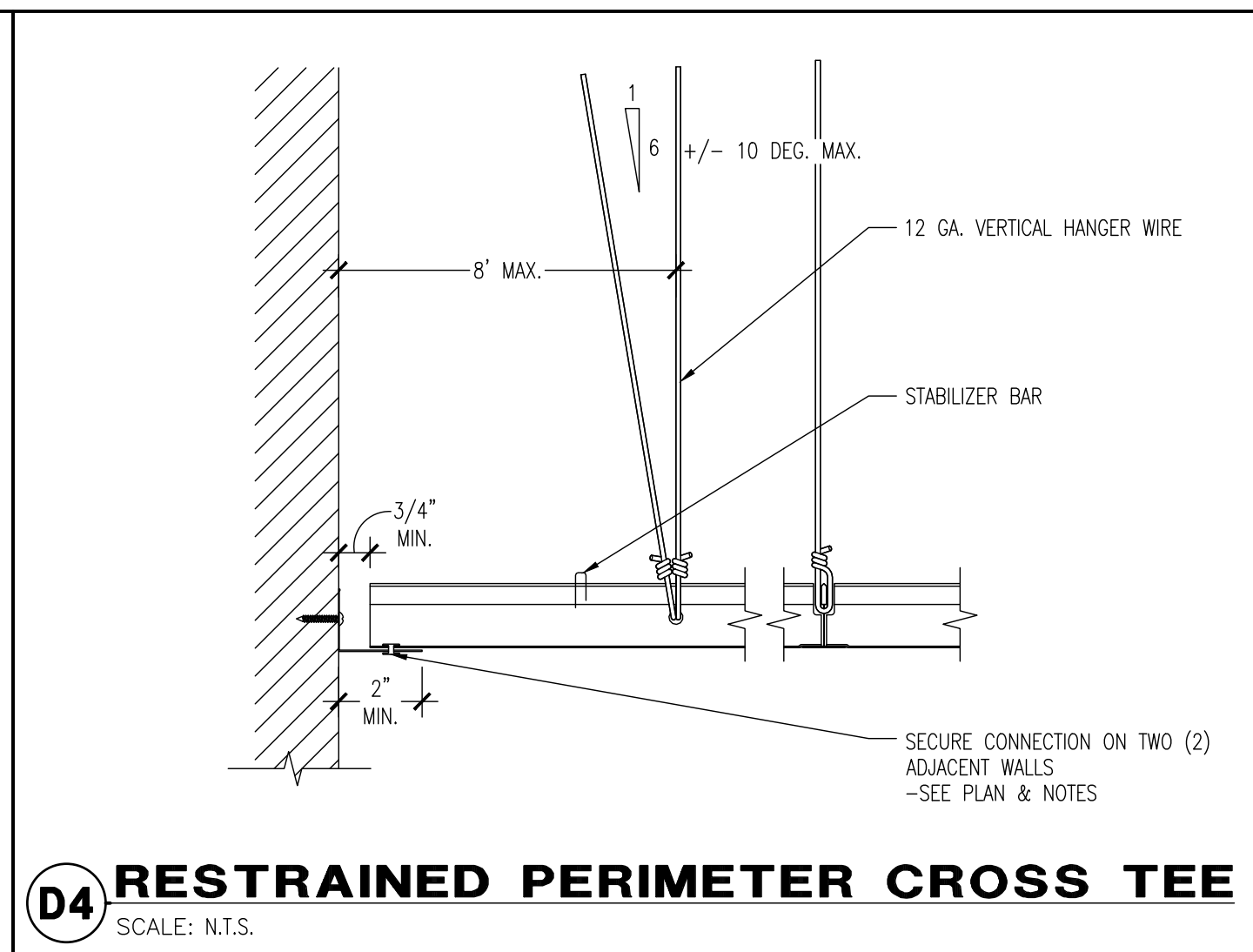
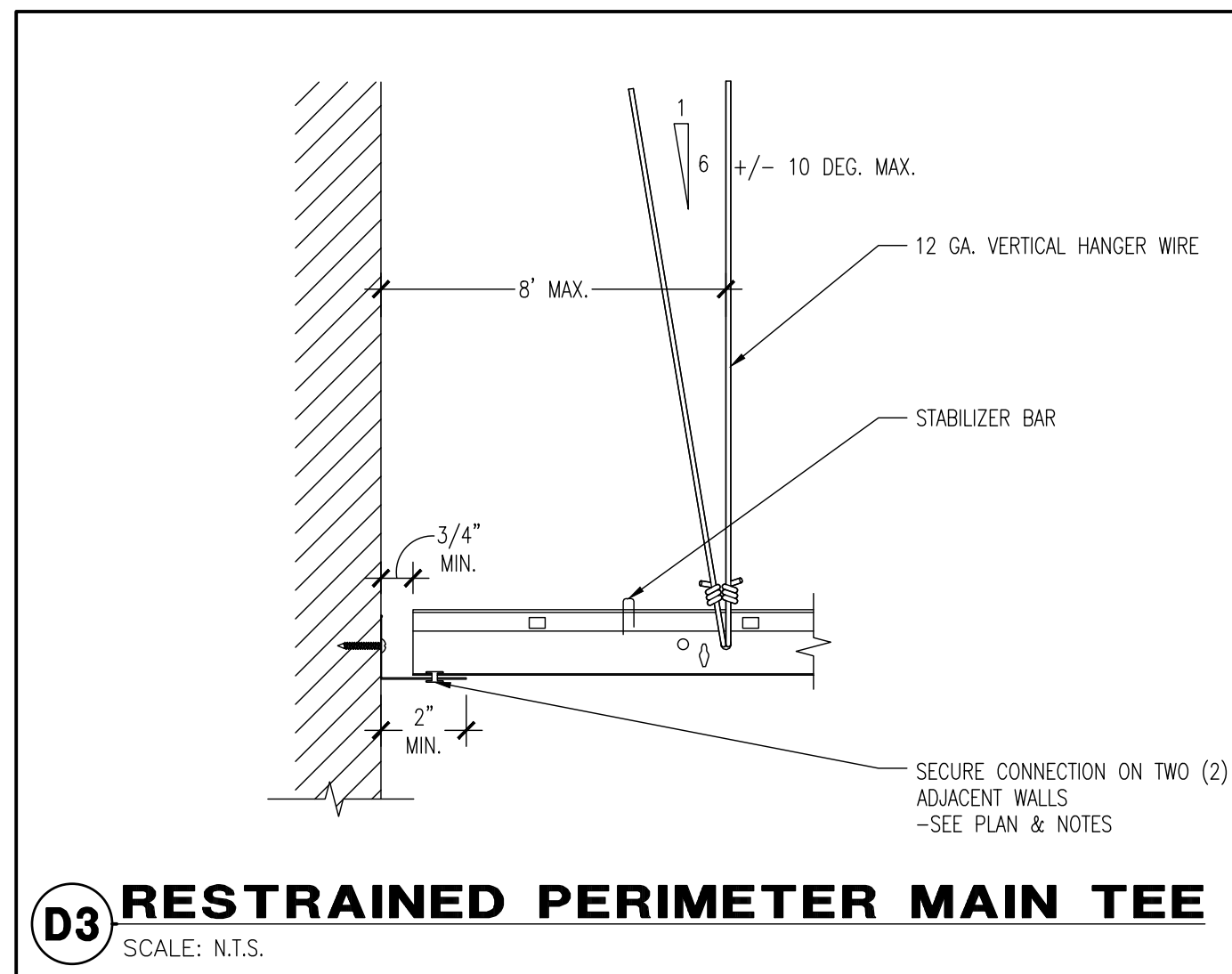
- GC TO COORD. THE LOW VOLTAGE INSTALLATION INCLUDING SECURITY, CAMERAS, SOUND & AUDIO SYSTEM, POS, TELE. & DATA ROUGH-IN WORK AND REQUIREMENTS NEEDED FOR THE VENDOR(S) TO COMPLETE THE SYSTEMS INSTALLATION INCLUDING ALL SECURITY CAMERAS, SUSPENDED INTERIOR SPEAKERS, PATIO SPEAKERS, CONTROLS & DEVICES AND CENTRAL COMMAND CENTER. VERIFY REQUIREMENTS w/ THE VENDOR PRIOR TO THE ELECT. ROUGH-IN WORK.
- COORD. LTG. INSTALLATION w/DHC CM PRIOR TO COMMENCING LTG. ELECT. ROUGH-IN WORK, VERIFY DUCTING MNTG. HT.
- GC TO VERIFY STRUCTURE HT. PRIOR TO ORDERING FIXTURES (GC COORD. w/LTG. VENDOR).
- COVE LIGHTING AROUND SOFFIT MOUNTED WITHIN RECESSED COVE. REFER TO ELECTRICAL DRAWINGS AND DETAILS FOR FURTHER INFORMATION.
- ALL WALL MOUNTED GRILLES IN PUBLIC AREAS SHALL BE PAINTED TO MATCH WALL SURFACE - ALL GRILLES IN NON-PUBLIC AREAS SHALL BE WHITE.
- NON-ILLUMINATED MENU BOARD PROVIDED BY VENDOR - GC TO INSTALL (GC COORD. w/OWNER & VENDOR).
- CONFIRM HVAC DUCTWORK AND DIFFUSER/RETURN LOCATIONS WITH MECHANICAL SHEETS.
- SEE MECHANICAL PLANS FOR ALL HOOD AND HVAC INFORMATION.
- SPRINKLER HEADS & OTHER PENETRATIONS SHALL HAVE A 2-INCH OVERSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1-INCH IN ALL HORIZ. DIRECTIONS.
- CEILING MOUNTED RESTROOM FIXTURE TO BE CENTERED WITHIN SPACE AS SHOWN. BOTTOM OF FIXTURE TO BE AT 9'-0" A.F.F. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- CEILING MOUNTED VESTIBULE FIXTURE TO BE CENTERED WITHIN SPACE AS SHOWN. BOTTOM OF FIXTURE TO BE AT 9'-0" A.F.F. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.

CEILING FINISH SCHEDULE

NEW	DESCRIPTION:	LOCATION(S):	NOTES:
C1	MANUF.: ARMSTRONG KITCHEN ZONE OR SIM. 24"x48" SQ. LAY-IN WHITE - SMOOTH TEXTURE PNTD. COLOR: LATEX SURFACE SEISMIC RX - FACTORY FINISH FINISH: WHITE GRID: 5/8" GYP. BRD. CEILING PAINT P-4 (U.N.O.)	FOOD PREP -B.O.H.	G.C. TO SUPPLY & INSTALL GRID
C2	CEILING: 5/8" GYP. BRD. CEILING PAINT P-4 (U.N.O.) FINISH:	SEE PLAN	FOH, SERVICE AREA, RESTROOMS
C3	CEILING: EXPOSED TO STRUCTURE PAINT P-1 (U.N.O.) FINISH:	DINING ROOM	DINING AREA, HALL
C4	CEILING: EXPOSED DUCTWORK LEAVE UNFINISHED & CLEAN EXPOSED SURFACE FINISH:	DINING ROOM	DINING AREA



01 CEILING PLAN
 SCALE: 1/4"=1'-0"



REVIEW AND COMMENTS

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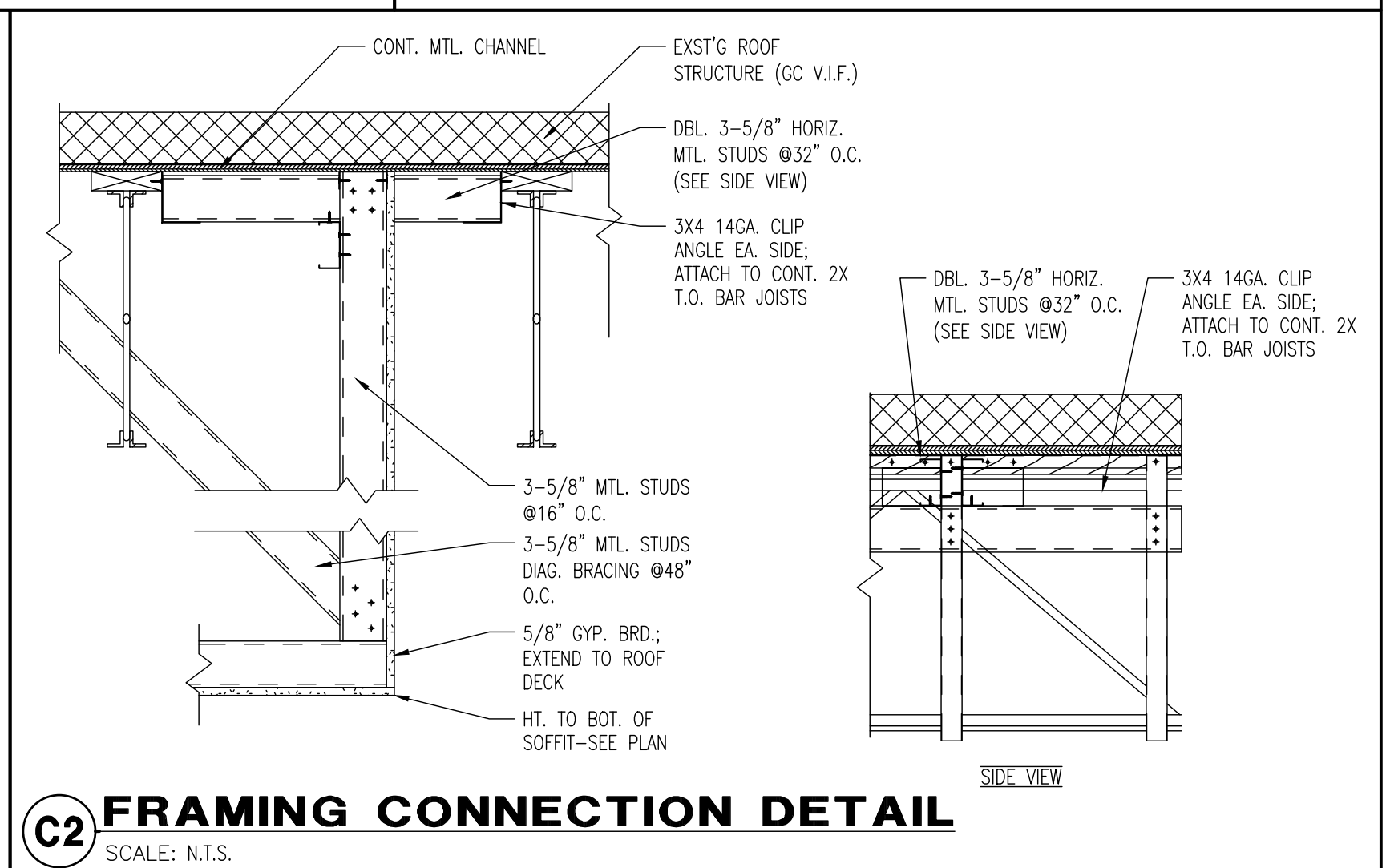
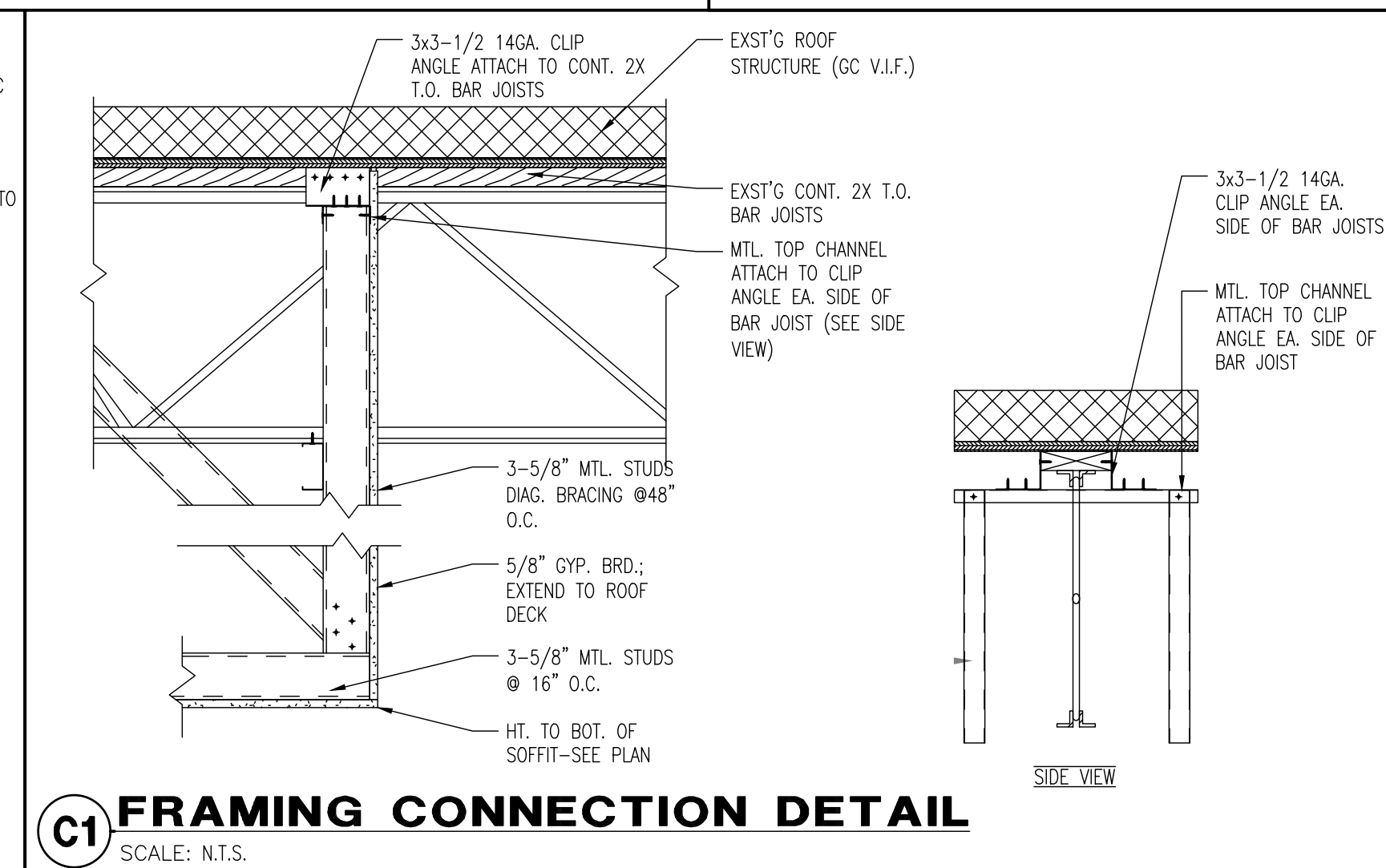
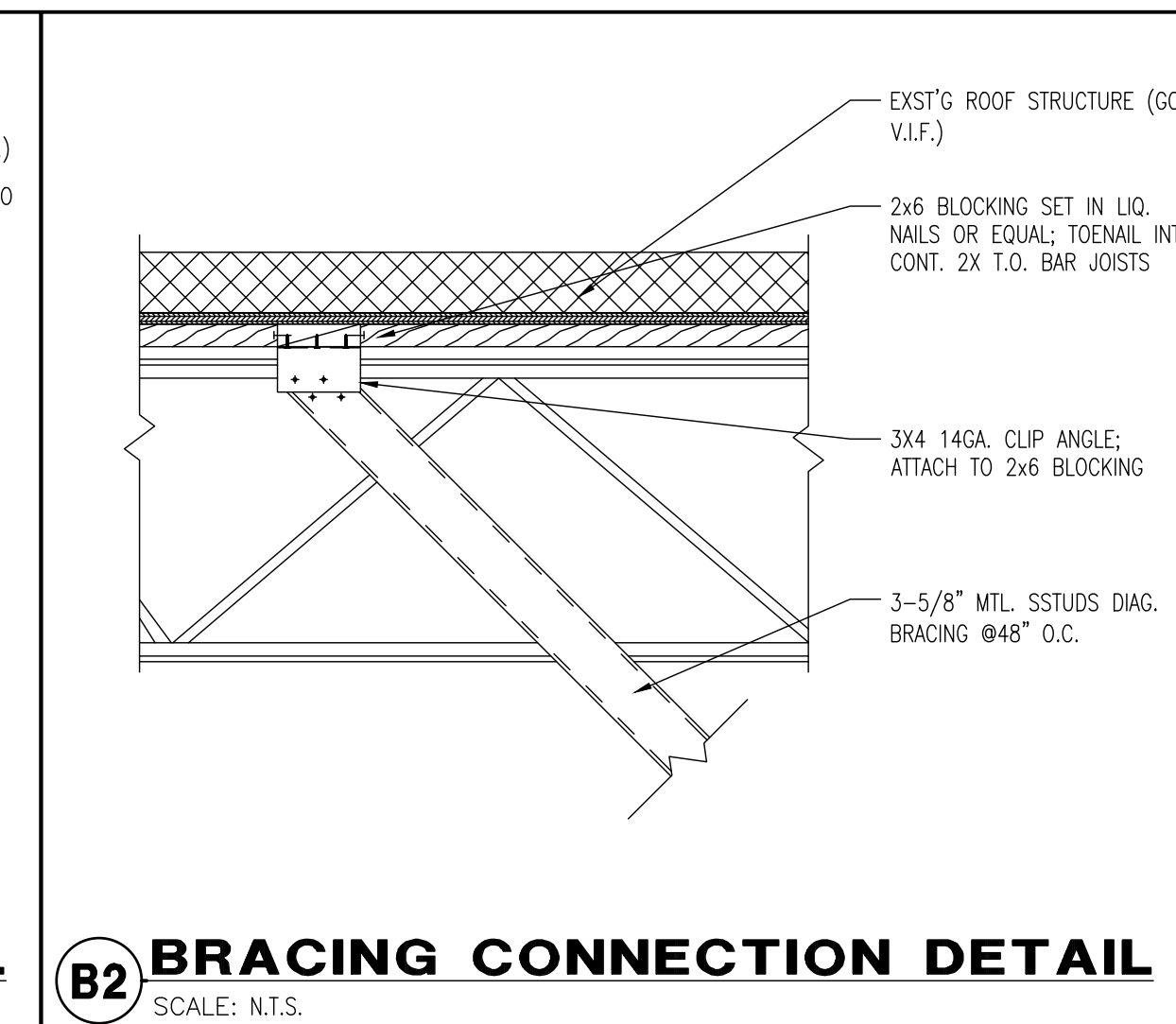
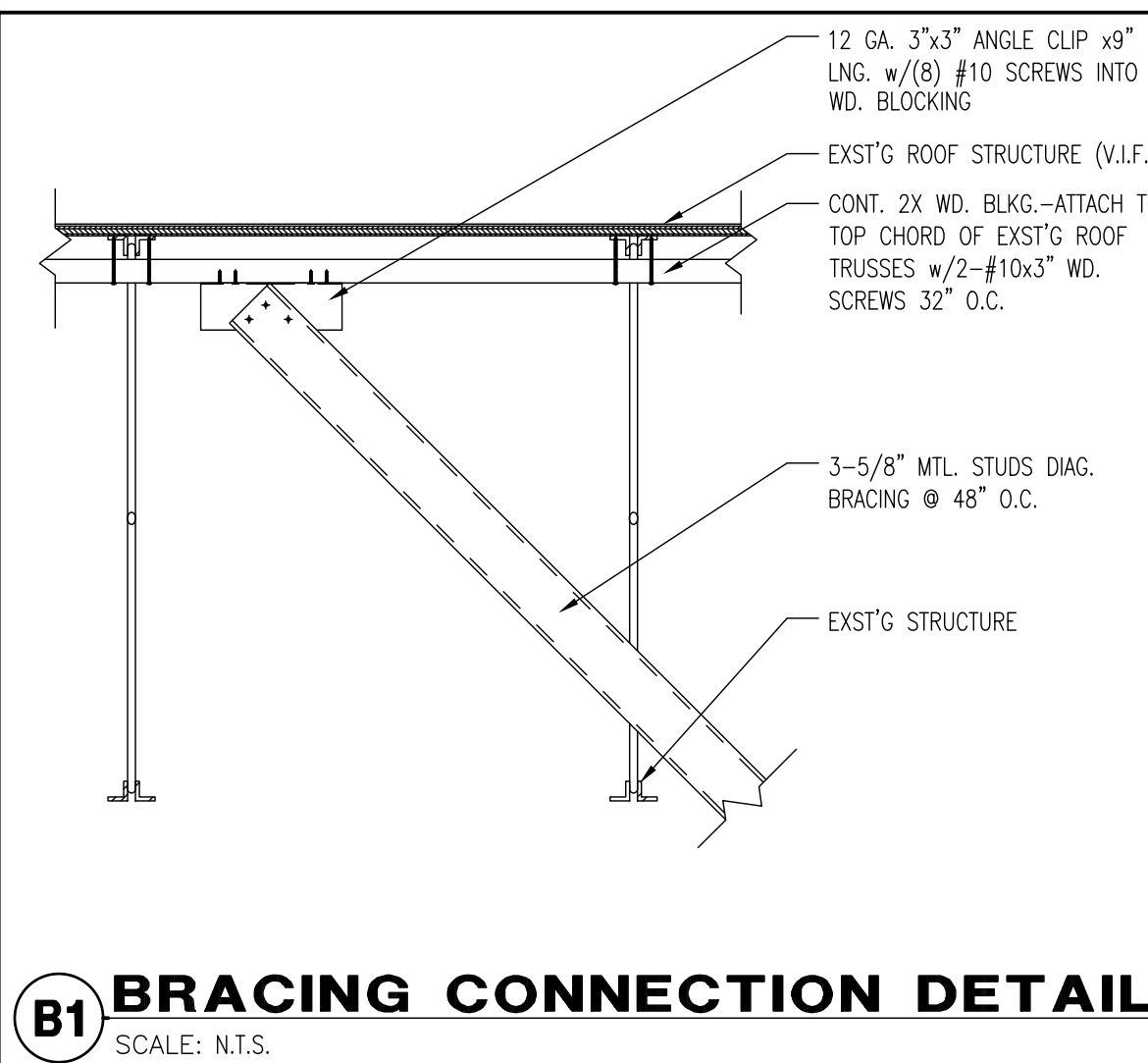
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HOWELL, MI 48843

D1 CLG. GRID DETAIL "UNATTACHED"
 SCALE: N.T.S.

D2 CLG. GRID DETAIL "ATTACHED"
 SCALE: N.T.S.

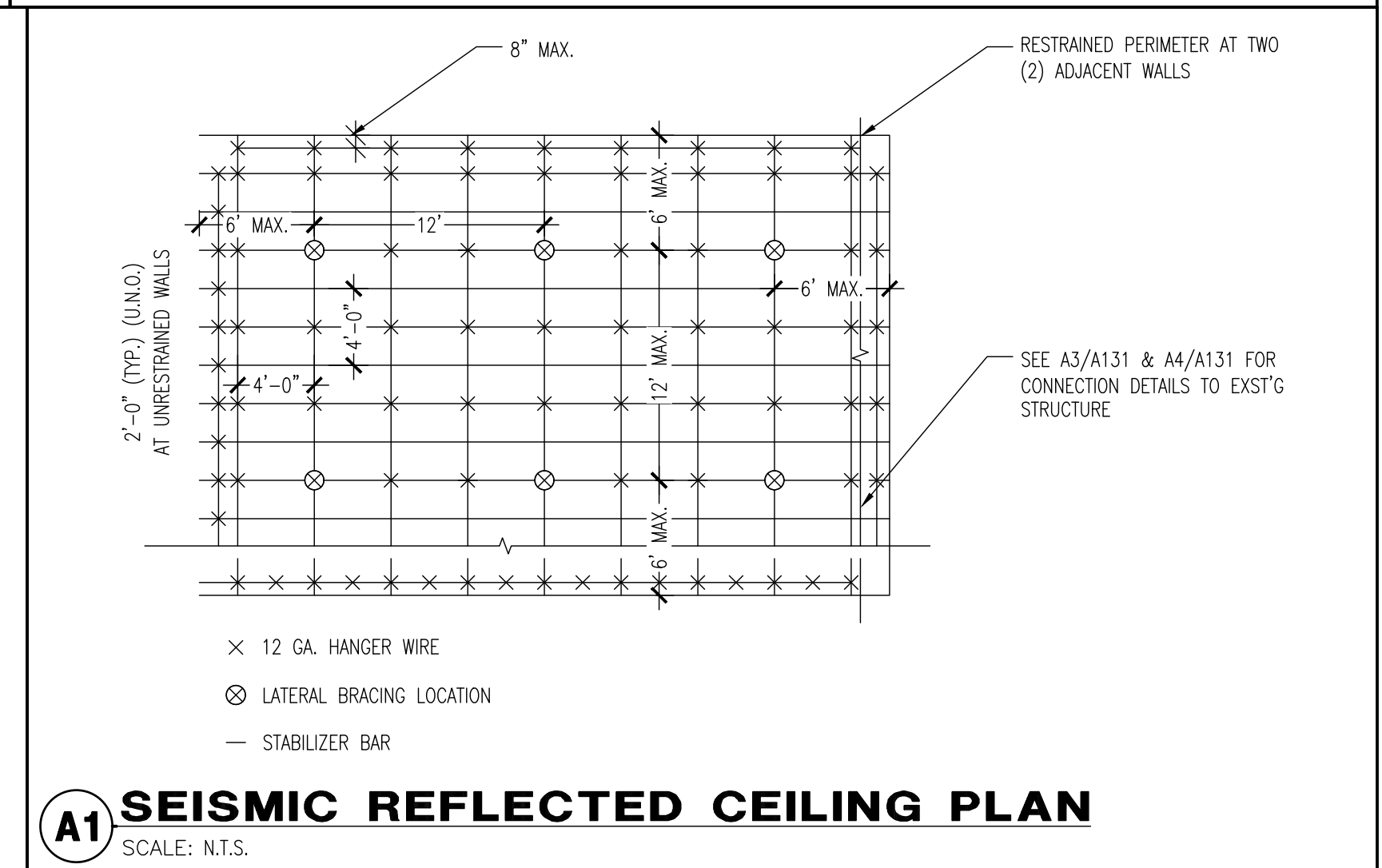
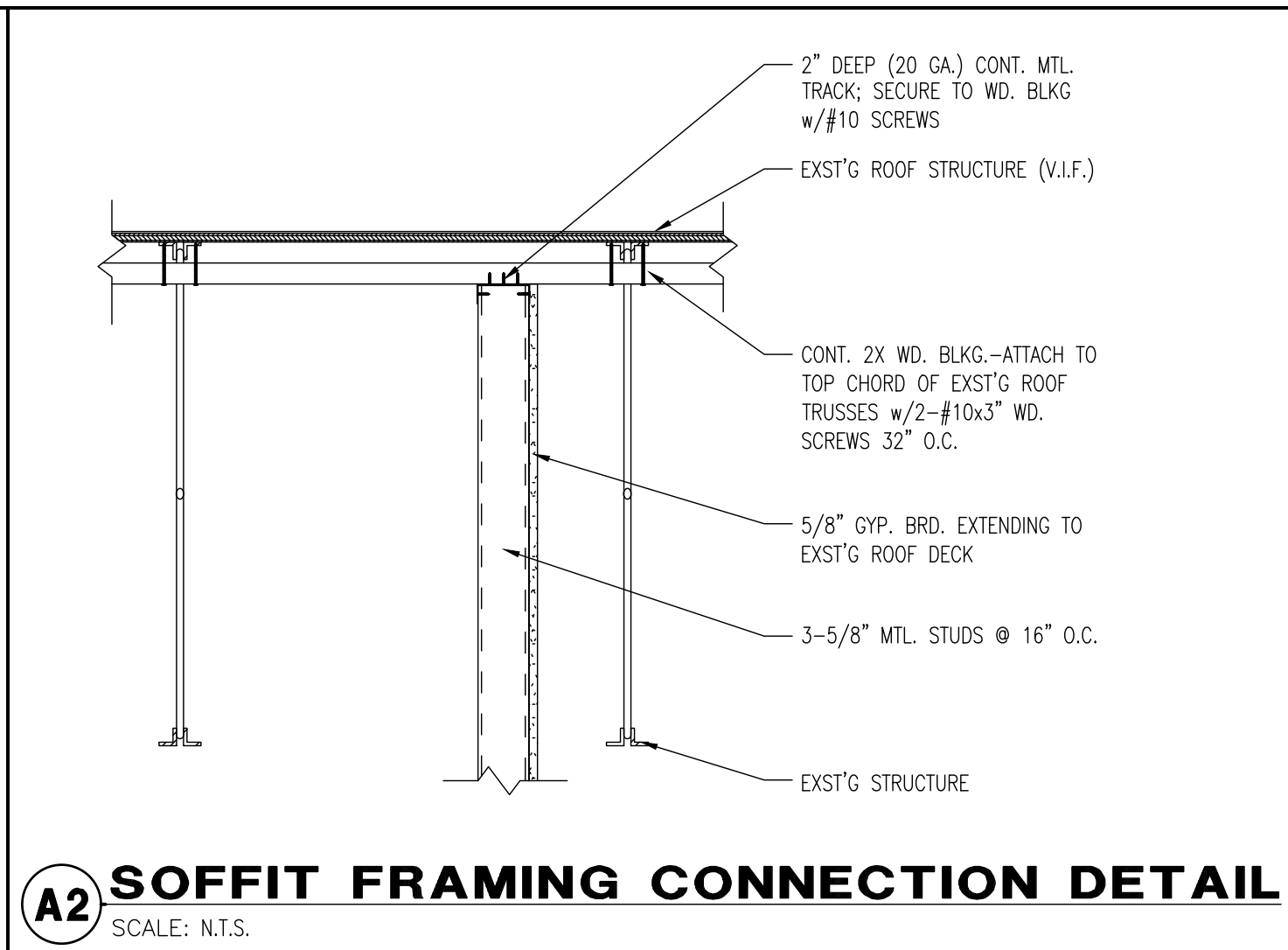
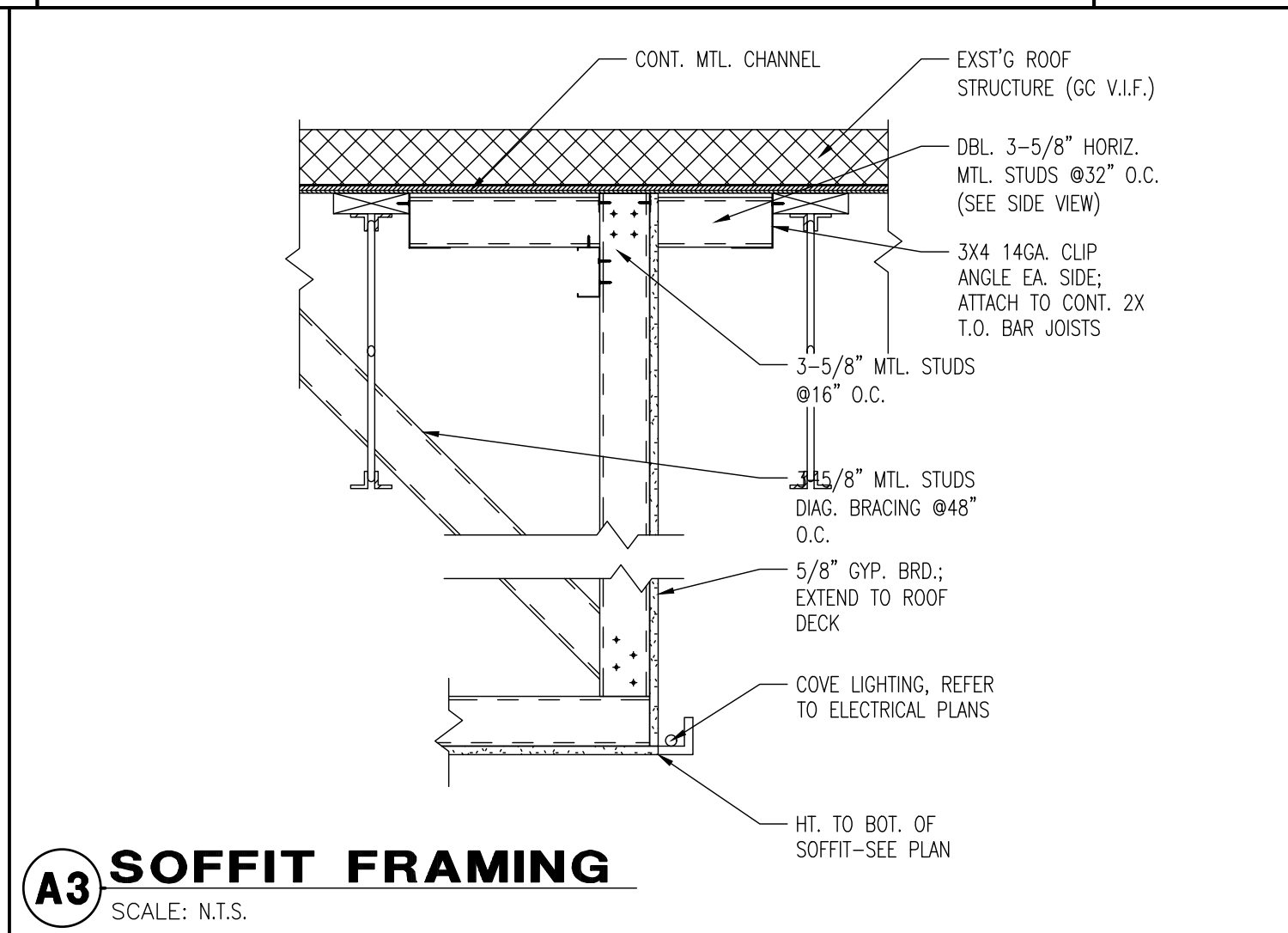


B1 BRACING CONNECTION DETAIL
 SCALE: N.T.S.

B2 BRACING CONNECTION DETAIL
 SCALE: N.T.S.

C1 FRAMING CONNECTION DETAIL
 SCALE: N.T.S.

C2 FRAMING CONNECTION DETAIL
 SCALE: N.T.S.



A3 SOFFIT FRAMING
 SCALE: N.T.S.

A2 SOFFIT FRAMING CONNECTION DETAIL
 SCALE: N.T.S.

A1 SEISMIC REFLECTED CEILING PLAN
 SCALE: N.T.S.

DRAWING ISSUE

NO	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
2	CODE REVIEW	06/19/21
3	CODE REVIEW (OCCUPANCY CLARIFICATION)	09/20/21
4	DRIVE THRU SIGNAGE	11/18/21

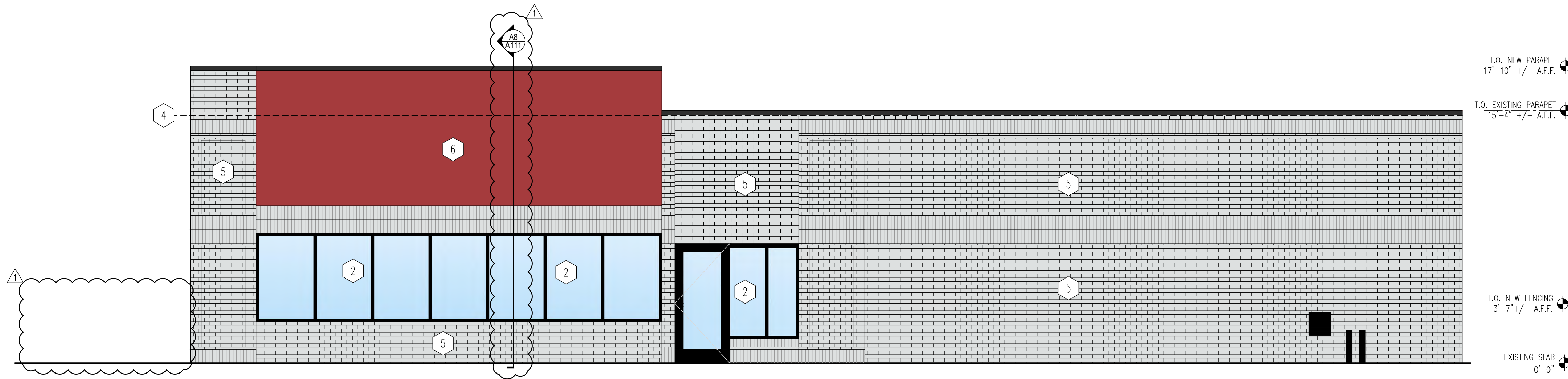
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10/5/2023

CEILING DETAILS
 SCALE: AS NOTED
 Drawn By: CJB Checked: G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
A131

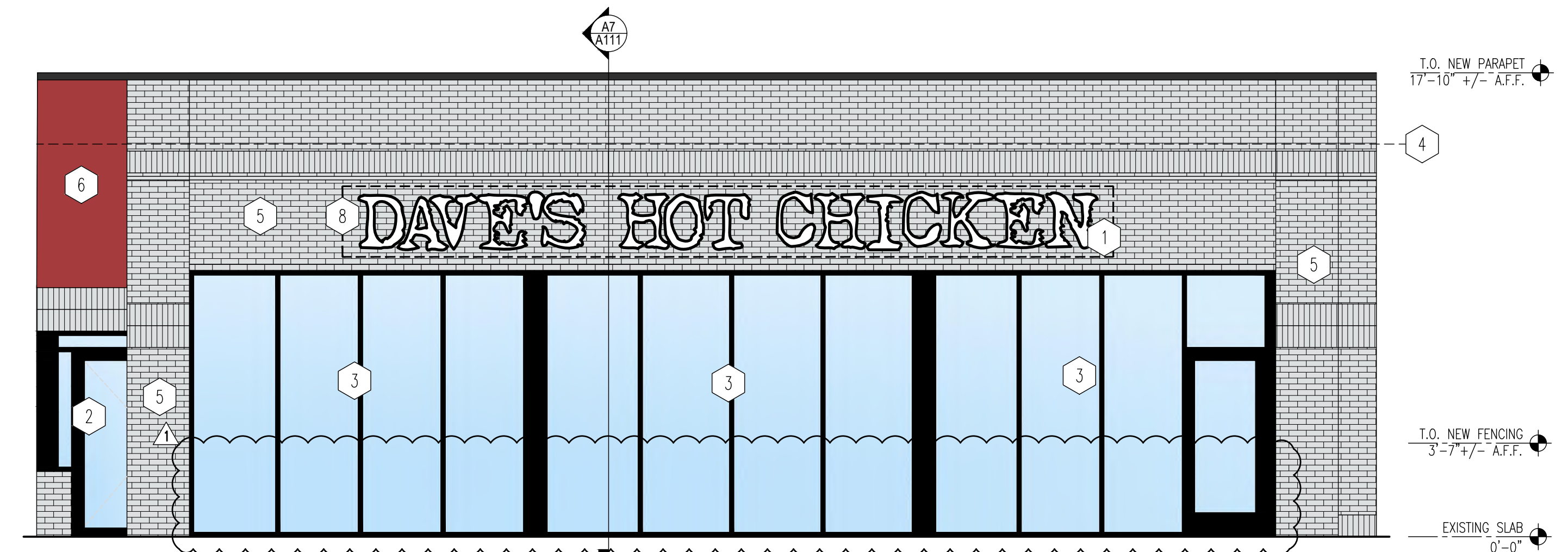
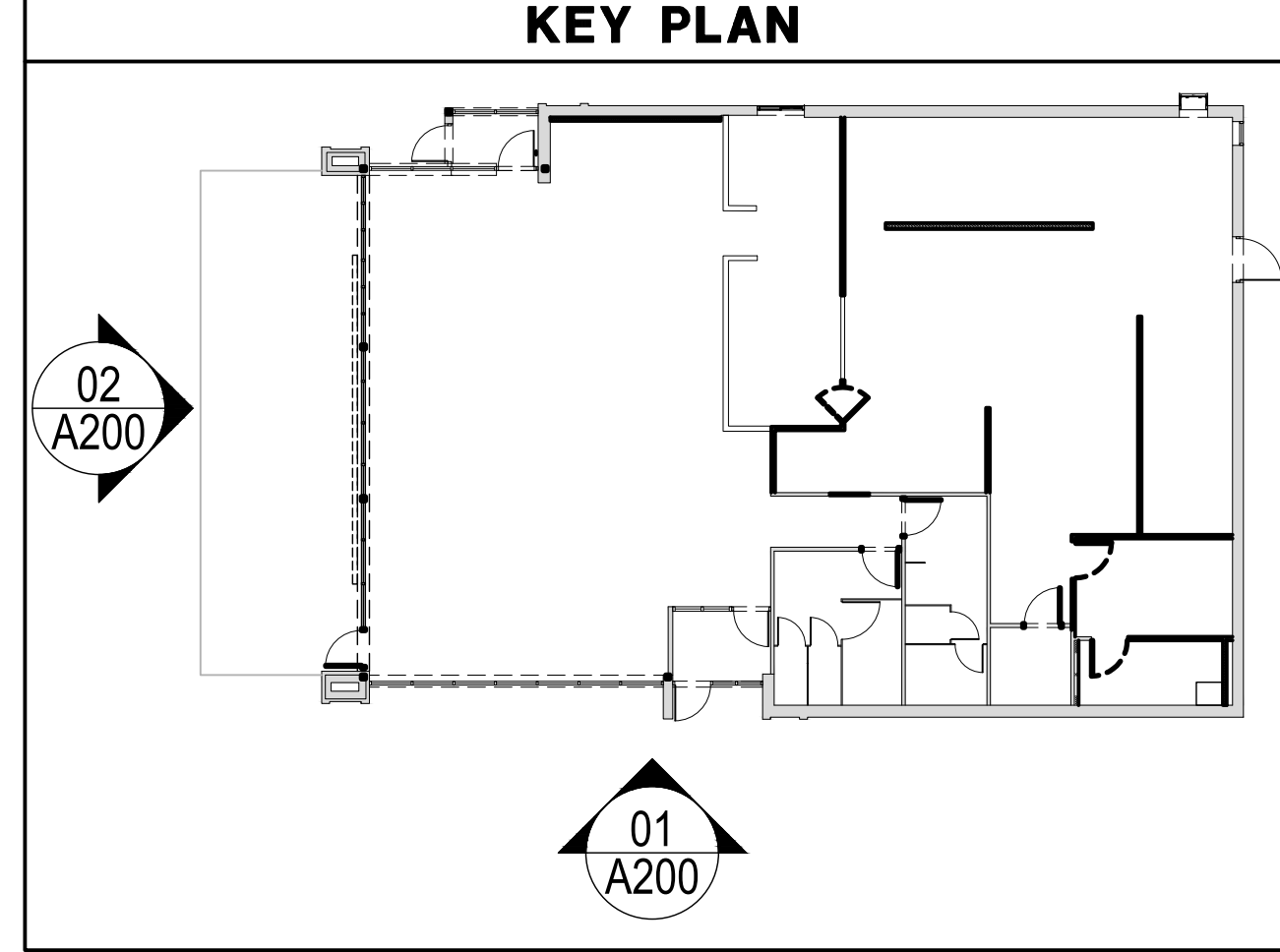


01 EAST ELEVATION
SCALE: 1/4"=1'-0"

REVIEW AND COMMENTS

- GENERAL NOTES**
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL PENETRATIONS IN THE EXTERIOR FACADES.
 - G.C. TO VERIFY LOCATION, SIZE & TYPE OF ADDRESS NUMBERS & LETTERS FOR BUILDING WITH LOCAL AUTHORITIES. LETTERS & NUMBERS TO BE PROVIDED & INSTALLED BY G.C.
 - BUILDING SIGNAGE IS UNDER A SEPARATE PERMIT AND LANDLORD APPROVAL & NOT PART OF THIS PLAN REVIEW. SIGN VENDOR TO COORDINATE ALL NECESSARY SUBMITTALS AND APPROVALS. G.C. TO PROVIDE BLOCKING AND POWER AS NECESSARY FOR SIGNAGE. COORDINATE WITH SIGN VENDOR AND ELECTRICAL DRAWINGS.
 - G.C. TO COORDINATE WITH SIGN VENDOR FOR MOUNTING DETAILS AND EXACT DIMENSIONS AND MOUNTING HEIGHTS. CONTRACTOR TO PROVIDE NECESSARY BLOCKING, POWER AND SUPPORT/FRAMING CONNECTIONS ACCORDINGLY.
 - SIGNAGE VENDOR IS RESPONSIBLE FOR ALL LOCAL JURISDICTION REQUIREMENTS AND CITY APPROVALS ON SIGNAGE INSTALLATION AND SPECIFICATIONS.
 - G.C. TO FOLLOW MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS FOR INSTALLATION OF FINISHES AS APPLICABLE.
 - G.C. TO VERIFY KNOX BOX LOCATION AND COORDINATE WITH LOCAL AUTHORITY AND LANDLORD FOR LOCATION AND QUANTITY.

- CODED NOTES**
- NEW SIGNAGE (UNDER SEPARATE PERMIT) - G.C. VERIFY WITH SIGN VENDOR IF ACCESS PANEL OR PANELS ARE REQUIRED IN EXTERIOR WALL OR IN PARAPET WALL IN AREAS ABOVE ROOF DECK FOR ACCESS TO BACK OF SIGNAGE. IF MULTIPLE PENETRATIONS ARE NEEDED ABOVE ROOF DECK OR IN PARAPET WALL TO SUPPLY ELECTRICAL TO SIGNS, G.C. TO COORD. WORK w/APPROVED ROOFING VENDOR TO MAINTAIN WARRANTY -VERIFY SCOPE OF WORK PRIOR TO SUBMITTING BID & PRIOR TO CONSTRUCTION. ELECTRICAL, CONDUIT (IF NOT INSTALLED), WIRING, ACCESS PANELS, & ROOFING WORK TO BE BY T.G.C.; COORD w/SIGN VENDOR THE INSTALLATION REQUIREMENTS.
 - EXISTING STOREFRONT SYSTEM TO BE REMAIN.
 - NEW INSULATED STOREFRONT SYSTEM AND DOOR TO MATCH STYLE AND COLOR OF EXISTING.
 - NEW PARAPET EXTENSION AS SHOWN TO FINISHED WITH PAINTED BRICK TO EXISTING.
 - EXISTING BRICK TO BE PAINTED W/SP OF SMOKE BY DUN EDWARD #DDE0EO.
 - NEW EIFS AND METAL STUD BUILD OUT TO BE INSTALLED WHERE SHOWN. PAINTED SCARLET PAST BY DUN EDWARD #DE150.
 - NOT USED.
 - BACKER PLATE TO BE ADDED BEHIND THE SIGNAGE GC TO COORDINATE.



02 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

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STAND ALONE
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DRAWING ISSUE

NO	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
2	CODE REVIEW	06/19/21
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4	DRIVE THRU SIGNAGE	09/20/21
		11/18/21

STAMP

STATE OF MICHIGAN
ZSOLT S. VAMOSI
ARCHITECT
No. 130846954
LICENSED ARCHITECT

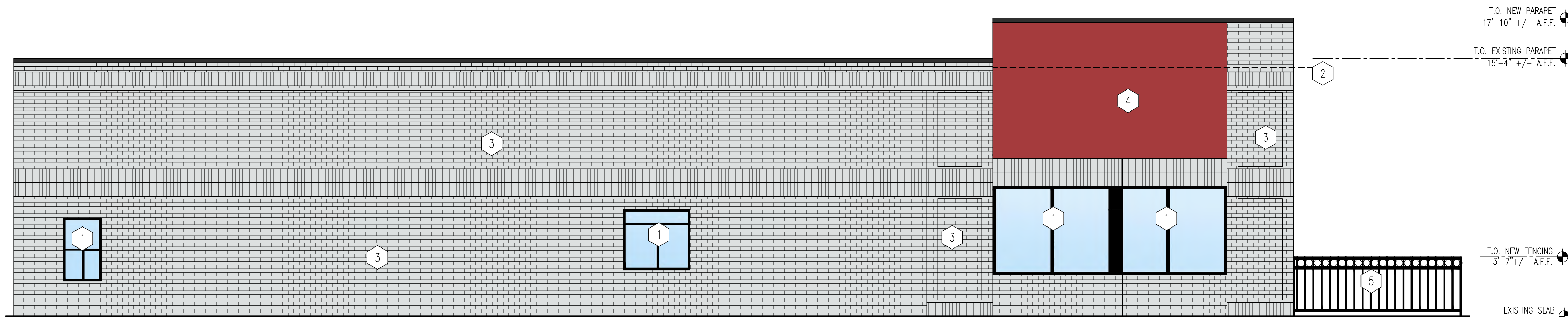
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EXTERIOR ELEVATIONS

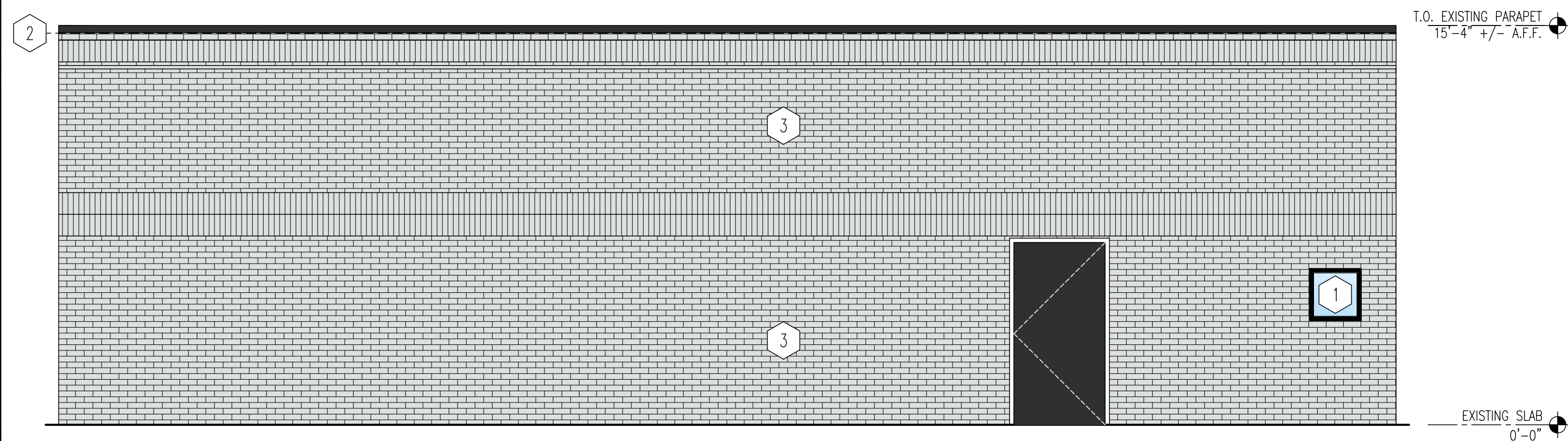
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PROJECT NUMBER
21-1402

SHEET NUMBER
A200



01 WEST ELEVATION
SCALE: 1/4"=1'-0"



02 NORTH ELEVATION
SCALE: 1/4"=1'-0"

REVIEW AND COMMENTS

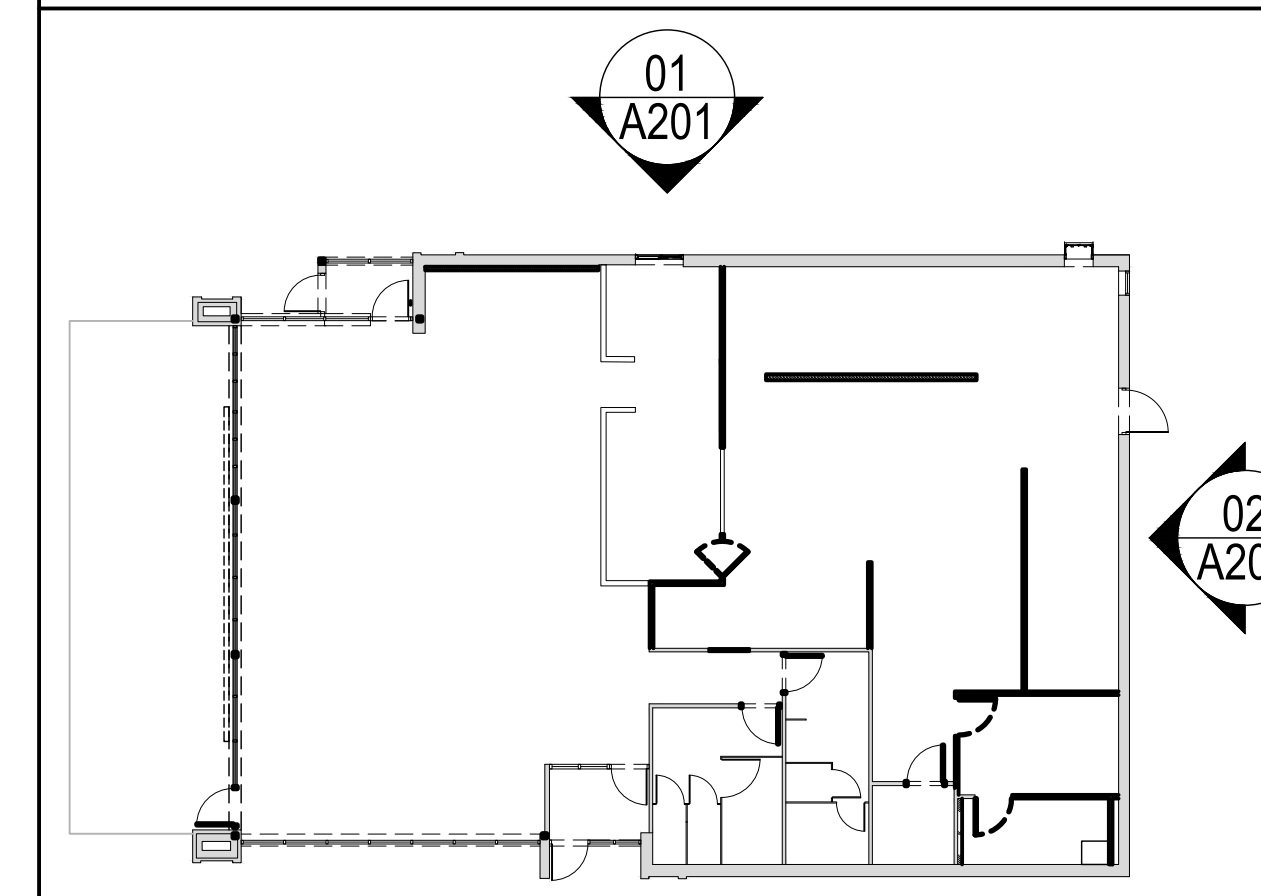
GENERAL NOTES

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- G.C. TO VERIFY LOCATION, SIZE & TYPE OF ADDRESS NUMBERS & LETTERS FOR BUILDING WITH LOCAL AUTHORITIES. LETTERS & NUMBERS TO BE PROVIDED & INSTALLED BY G.C.
- BUILDING SIGNAGE IS UNDER A SEPARATE PERMIT AND LANDLORD APPROVAL & NOT PART OF THIS PLAN REVIEW. SIGN VENDOR TO COORDINATE ALL NECESSARY SUBMITTALS AND APPROVALS. G.C. TO PROVIDE BLOCKING AND POWER AS NECESSARY FOR SIGNAGE. COORDINATE WITH SIGN VENDOR AND ELECTRICAL DRAWINGS.
- G.C. TO COORDINATE WITH SIGN VENDOR FOR MOUNTING DETAILS AND EXACT DIMENSIONS AND MOUNTING HEIGHTS. CONTRACTOR TO PROVIDE NECESSARY BLOCKING, POWER AND SUPPORT/FRAMING CONNECTIONS ACCORDINGLY.
- SIGNAGE VENDOR IS RESPONSIBLE FOR ALL LOCAL JURISDICTION REQUIREMENTS AND CITY APPROVALS ON SIGNAGE INSTALLATION AND SPECIFICATIONS.
- G.C. TO FOLLOW MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS FOR INSTALLATION OF FINISHES AS APPLICABLE.
- G.C. TO VERIFY KNOX BOX LOCATION AND COORDINATE WITH LOCAL AUTHORITY AND LANDLORD FOR LOCATION AND QUANTITY.

CODED NOTES

- EXISTING STOREFRONT SYSTEM TO BE REMAIN.
- NEW PARAPET EXTENSION AS SHOWN TO FINISHED WITH PAINTED BRICK TO EXISTING.
- EXISTING BRICK TO BE PAINTED W/SP OF SMOKE BY DUN EDWARD #DDE0EO.
- NEW EIFS AND METAL STUD BUILD OUT TO BE INSTALLED WHERE SHOWN. PAINTED SCARLET PAST BY DUN EDWARD #DE15O.
- NEW BLACK ALUMINUM FENCING INSTALLED AS INDICATED.

KEY PLAN



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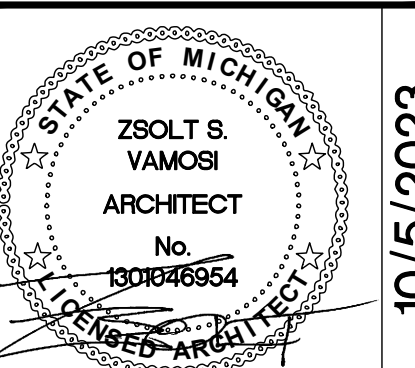
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DRAWING ISSUE

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		11/18/21

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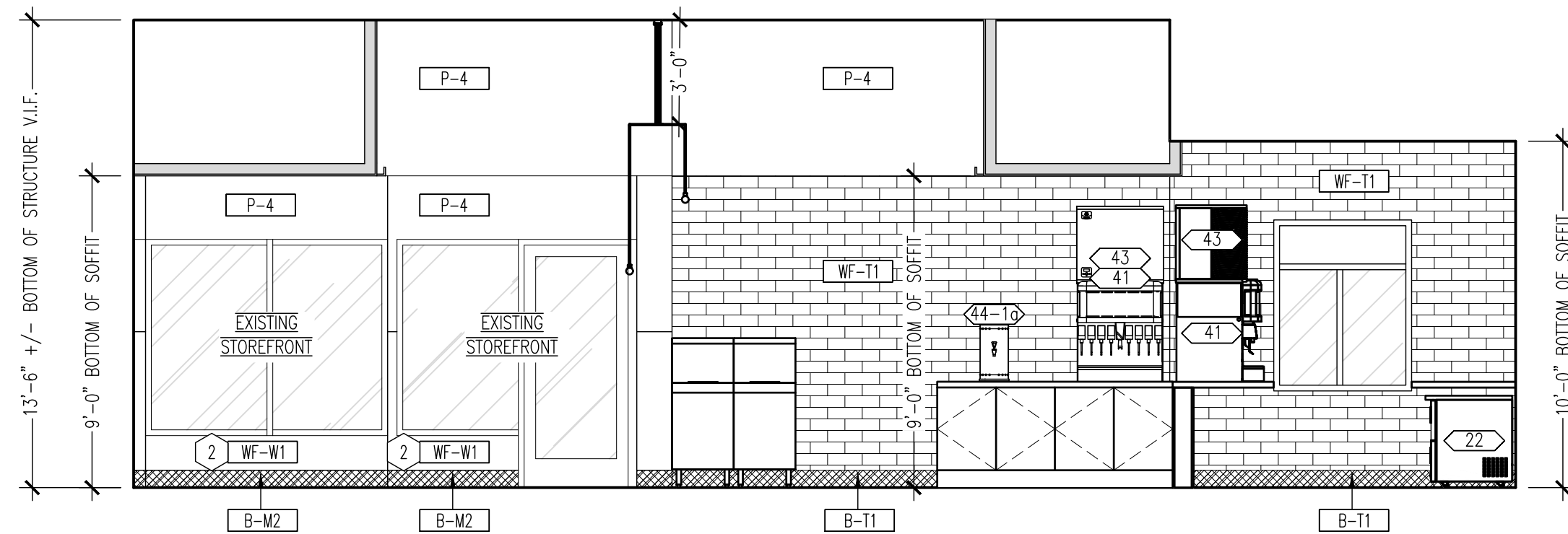
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EXTERIOR ELEVATIONS

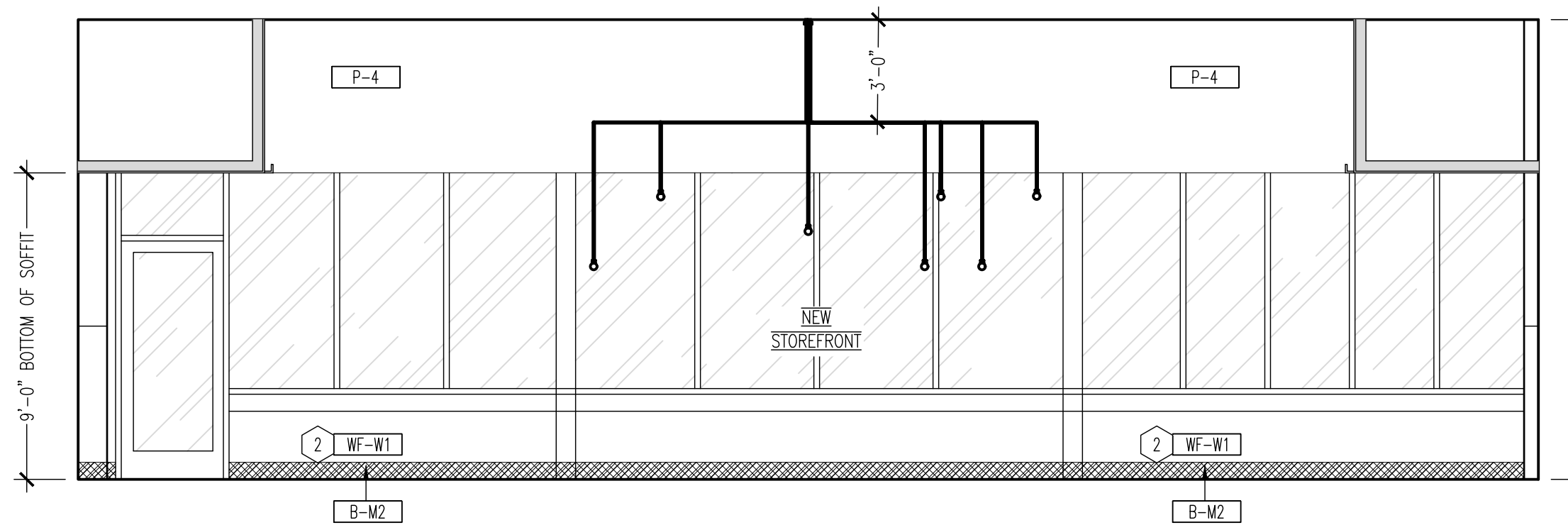
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PROJECT NUMBER
21-1402

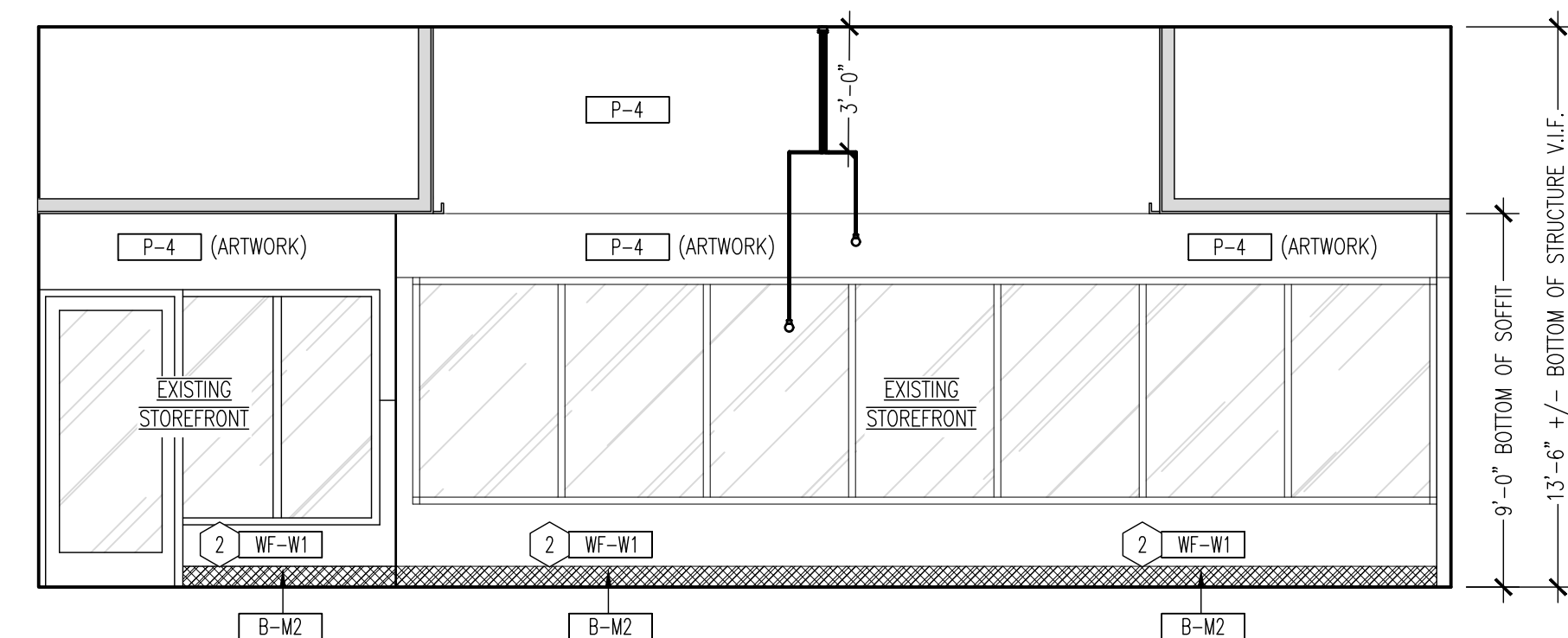
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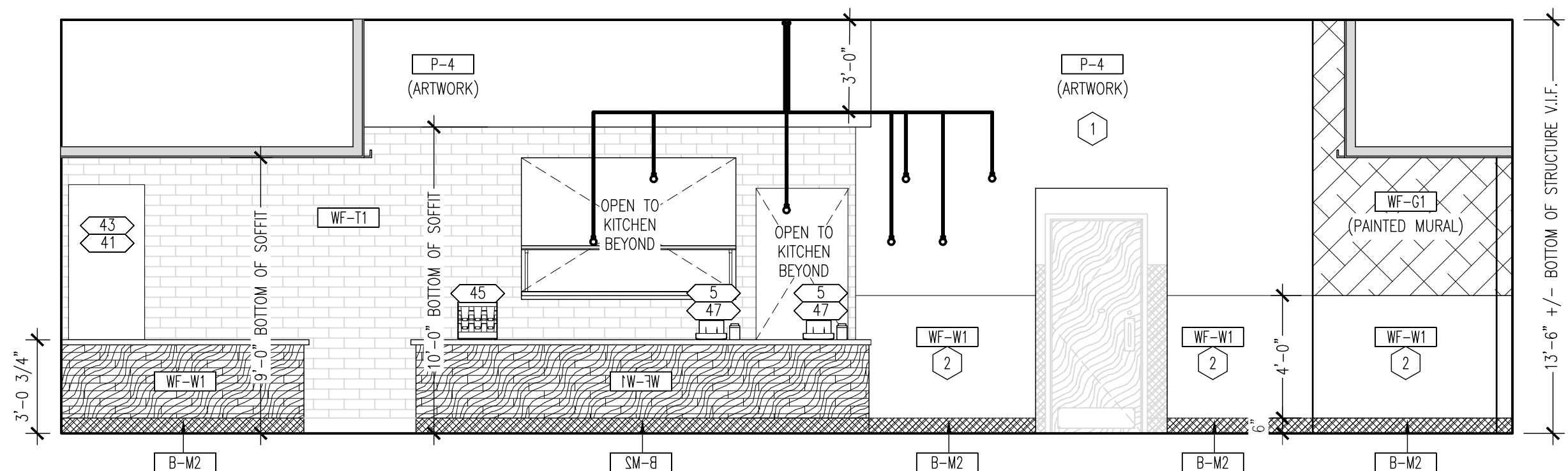
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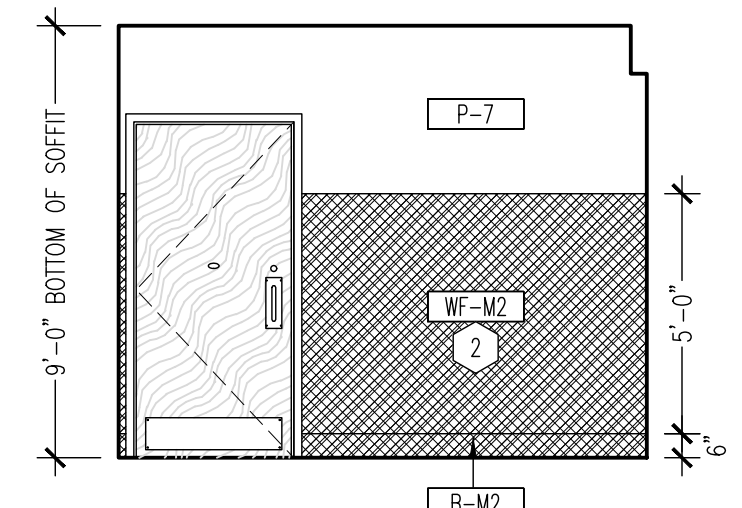
02 DINING ELEVATION
SCALE: 1/4"=1'-0"



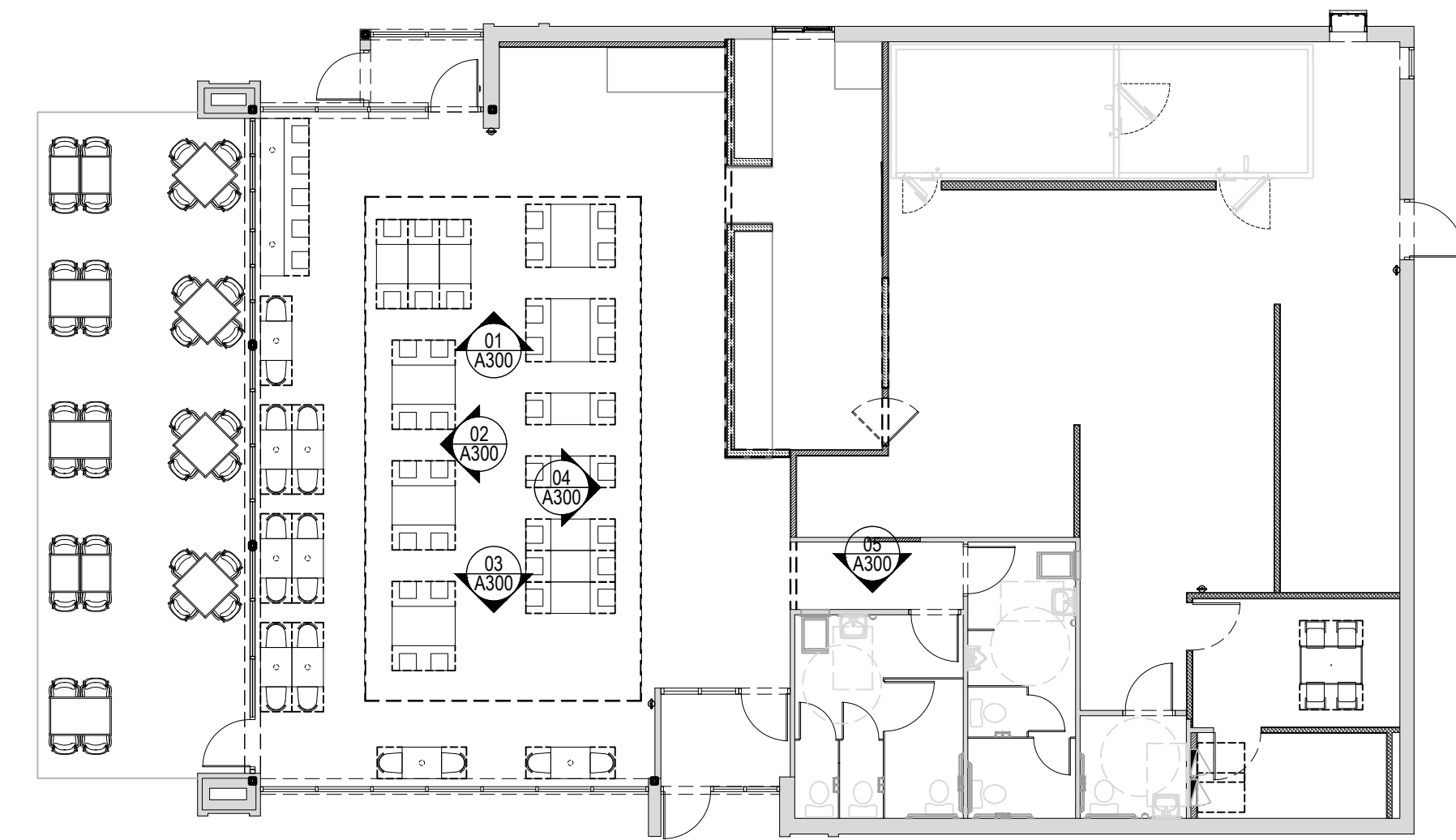
03 DINING ELEVATION
SCALE: 1/4"=1'-0"



04 ORDER/DINING ELEVATION
SCALE: 1/4"=1'-0"



05 R.R. HALL ELEVATION
SCALE: 1/4"=1'-0"



01 KEY PLAN
SCALE: N.T.S.

REVIEW AND COMMENTS

GENERAL NOTES

- REFER TO FINISH TYPE SCHEDULE ON SHEET A120 FOR FULL SPECIFICATION INFORMATION.
- EQUIPMENT SCHEDULE AND FURNITURE SCHEDULE. REFER TO Q100 AND Q110.
- PROVIDE ADEQUATE BLOCKING, BACKING, OR OTHER REINFORCING NECESSARY FOR WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH VENDORS. ALL WOOD BLOCKING IS TO BE FIRE RETARDANT TREATED.
- COORDINATE WITH ELECTRICAL SHEETS FOR ALL LIGHTING.
- G.C. TO FURNISH AND INSTALL ADA RESTROOM SIGNAGE AS REQUIRED BY LOCAL CODE. REFER TO THIS SHEET FOR MINIMUM REQUIREMENTS.
- REFER TO PLUMBING SHEETS FOR FULL PLUMBING, EQUIPMENT AND ACCESSORY SCHEDULE.
- G.C. TO ENSURE ALL TOILET ACCESSORIES ARE INSTALLED TO MEET ADA REQUIREMENTS.
- G.C. TO PROVIDE AND INSTALL COAT HOOKS ON INSIDE OF RESTROOM DOOR. COORDINATE MOUNTING HEIGHT WITH LOCAL ACCESSIBILITY REQUIREMENTS.

CODED NOTES

- PROVIDE POWER/ACCESS PANEL AND TRANSFORMER FOR LED "NEON" SIGN.
- REFER TO SHEET A120 FOR INFORMATION ON WALL PANEL AND TRIM.

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DAVE'S HOT CHICKEN
STAND ALONE
3667 E GRAND RIVER AVE
HOWELL, MI 48843

DRAWING ISSUE

NO	DESCRIPTION	DATE
	FOR PERMIT	06/25/21
1	CODE REVIEW	06/19/21
2	CODE REVIEW	09/14/21
3	CODE REVIEW (OCCUPANCY CLARIFICATION)	09/20/21
4	DRIVE THRU SIGNAGE	11/18/21

STAMP

STATE OF MICHIGAN
ZSOLT S. VAMOSI
ARCHITECT
No. 130846954
LICENSED ARCHITECT

10/5/2023

INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"
Drawn By: CJB Checked G/W

PROJECT NUMBER
21-1402

SHEET NUMBER
A300

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DAVE'S HOT CHICKEN
STAND ALONE
3667 E GRAND RIVER AVE
HOWELL, MI 48843

REVIEW AND COMMENTS

GENERAL NOTES

- REFER TO FINISH TYPE SCHEDULE ON SHEET A120 FOR FULL SPECIFICATION INFORMATION.
- EQUIPMENT SCHEDULE AND FURNITURE SCHEDULE. REFER TO Q100 AND Q110.
- PROVIDE ADEQUATE BLOCKING, BACKING, OR OTHER REINFORCING NECESSARY FOR WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH VENDORS. ALL WOOD BLOCKING IS TO BE FIRE RETARDANT TREATED.
- COORDINATE WITH ELECTRICAL SHEETS FOR ALL LIGHTING.
- G.C. TO FURNISH AND INSTALL ADA RESTROOM SIGNAGE AS REQUIRED BY LOCAL CODE. REFER TO THIS SHEET FOR MINIMUM REQUIREMENTS.
- REFER TO PLUMBING SHEETS FOR FULL PLUMBING, EQUIPMENT AND ACCESSORY SCHEDULE.
- G.C. TO ENSURE ALL TOILET ACCESSORIES ARE INSTALLED TO MEET ADA REQUIREMENTS.
- G.C. TO PROVIDE AND INSTALL COAT HOOKS ON INSIDE OF RESTROOM DOOR. COORDINATE MOUNTING HEIGHT WITH LOCAL ACCESSIBILITY REQUIREMENTS.

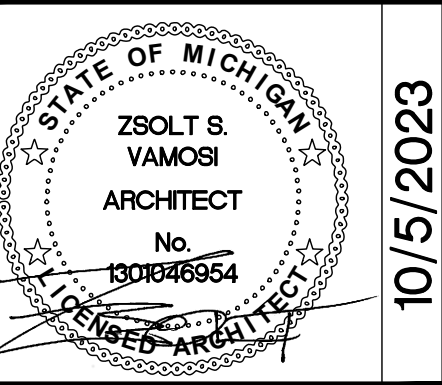
CODED NOTES

- NEW HOOD, REFER TO MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- NEW ELECTRICAL PANEL, REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.

DRAWING ISSUE

NO	DESCRIPTION	DATE
	FOR PERMIT	06/25/21
1	CODE REVIEW	06/19/21
2	CODE REVIEW	09/14/21
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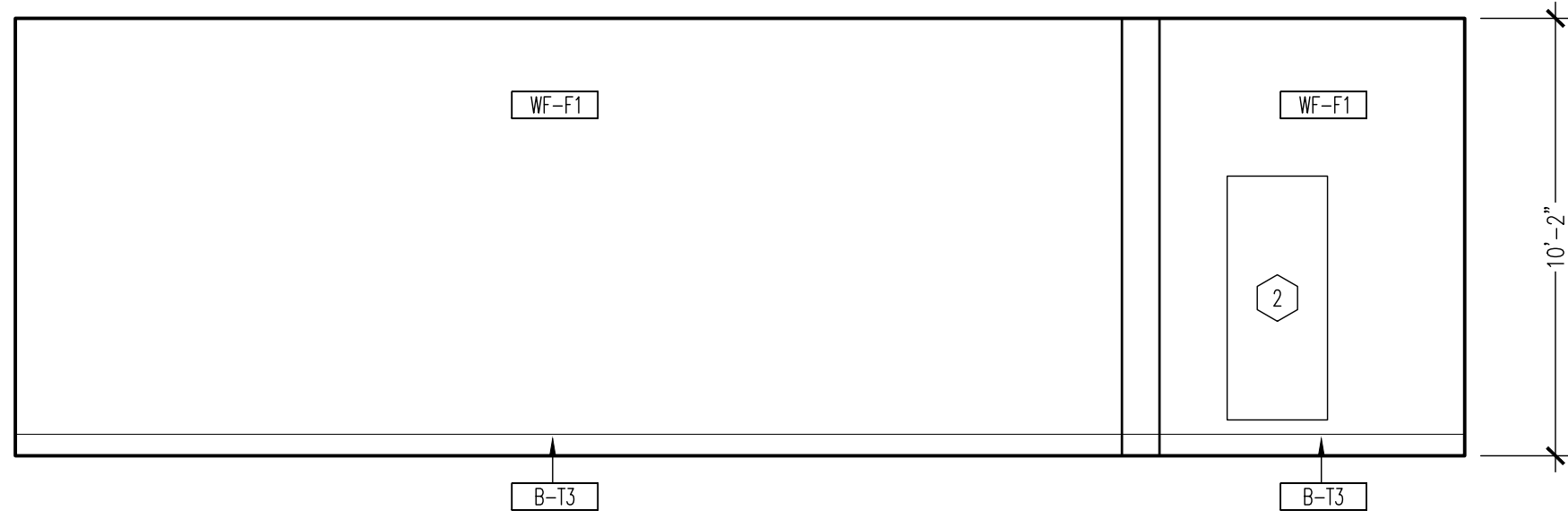
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INTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"
 Drawn By: CJB Checked G/W

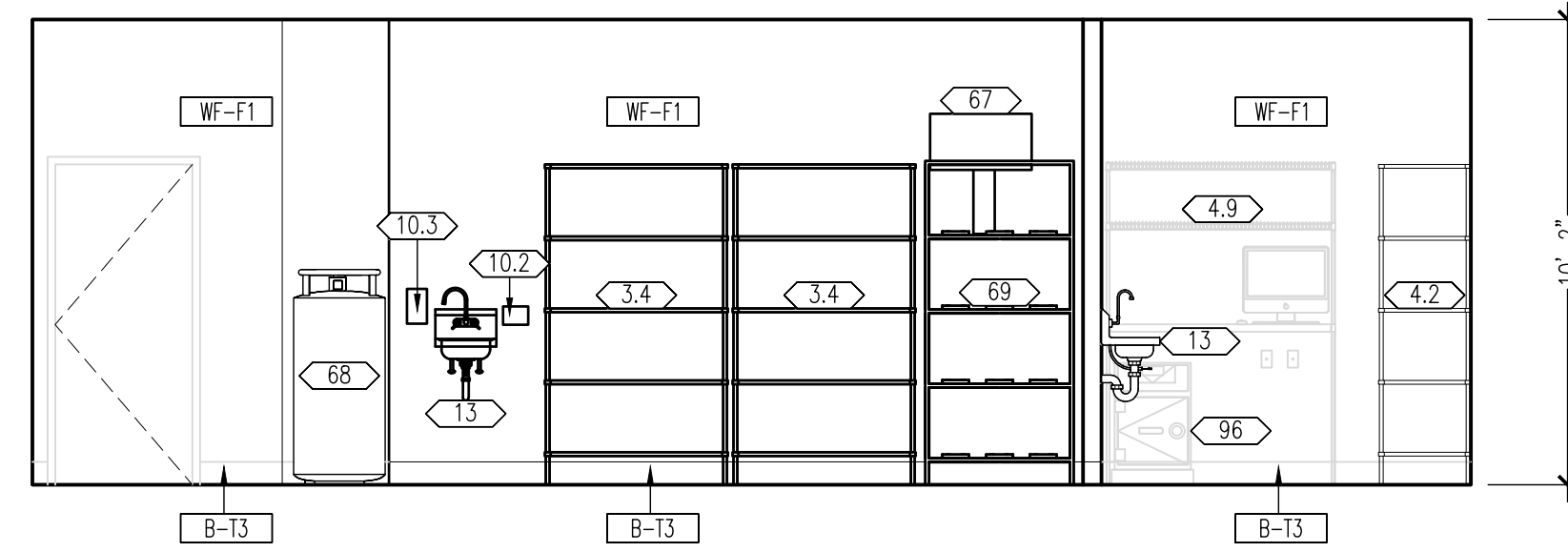
PROJECT NUMBER
 21-1402

SHEET NUMBER
A305



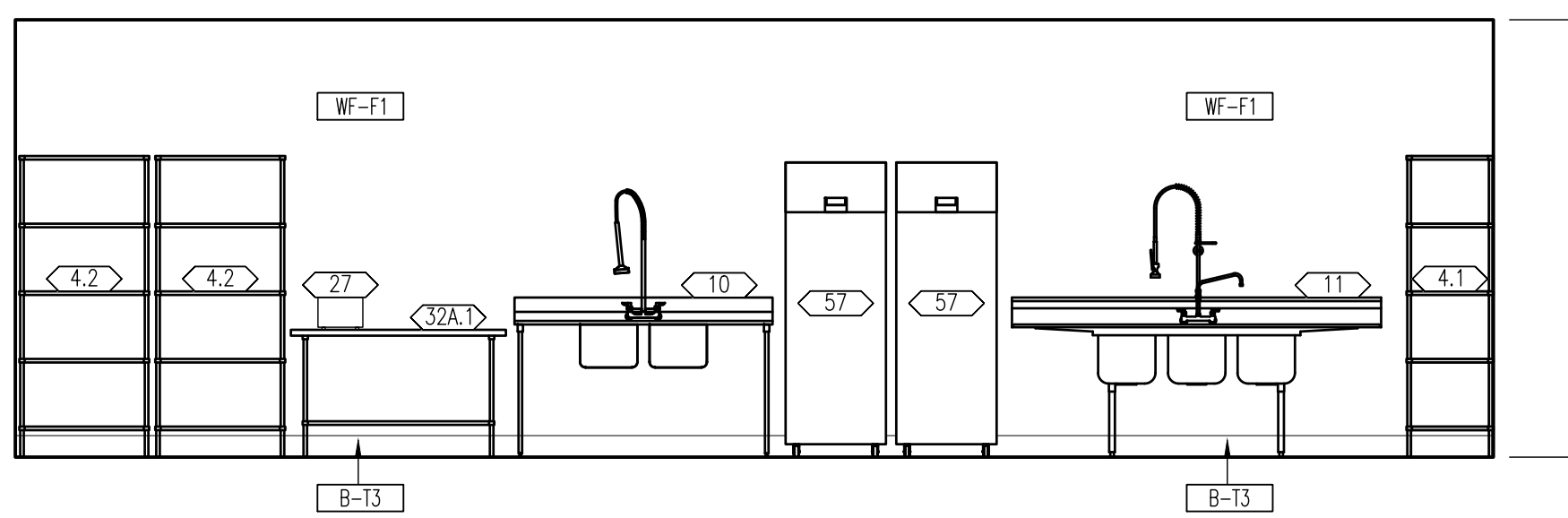
02 KITCHEN ELEVATION

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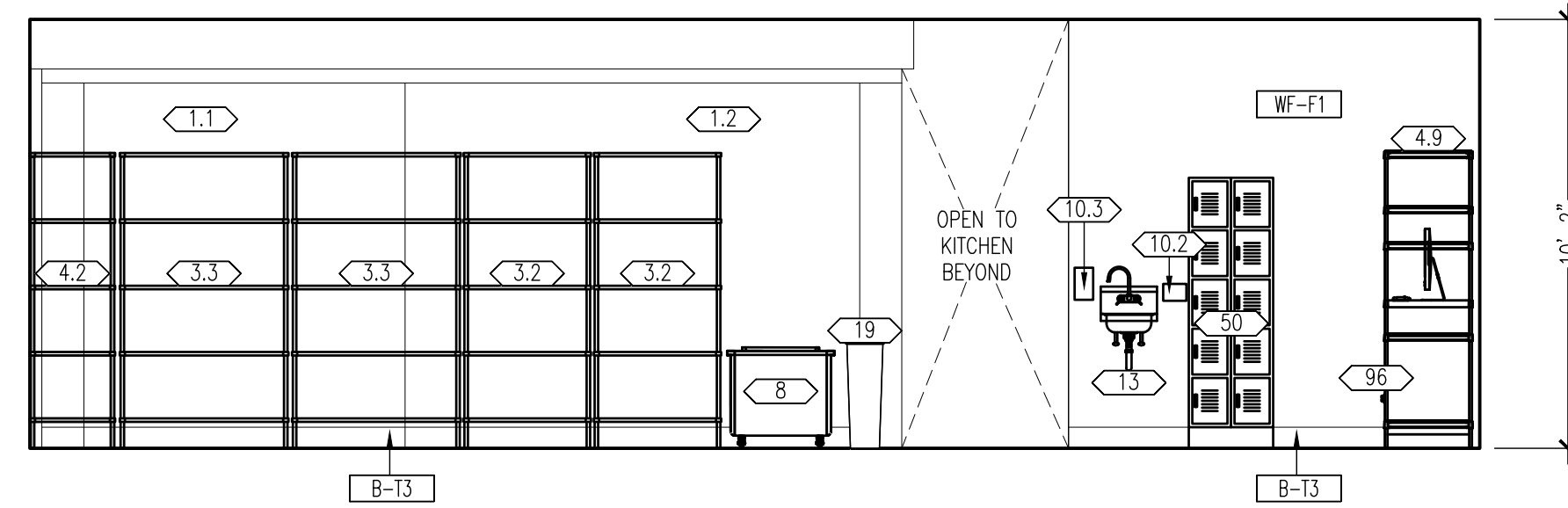
03 KITCHEN ELEVATION

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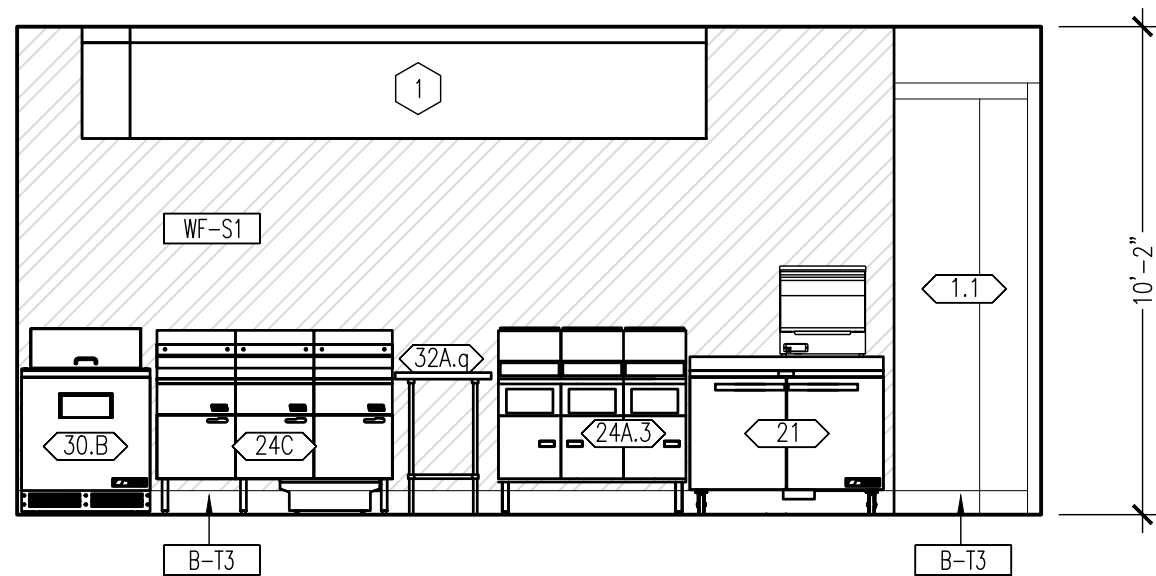
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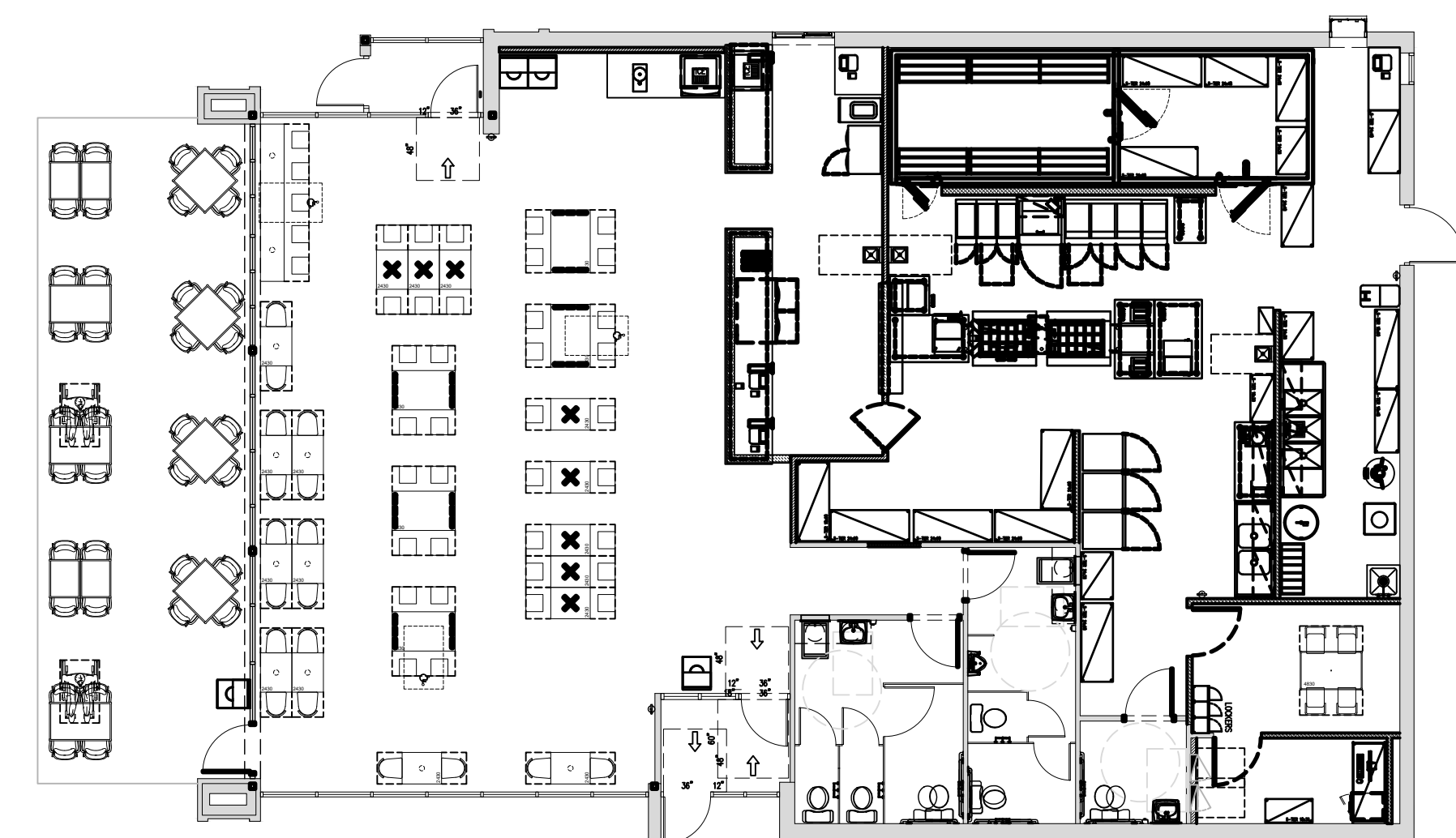
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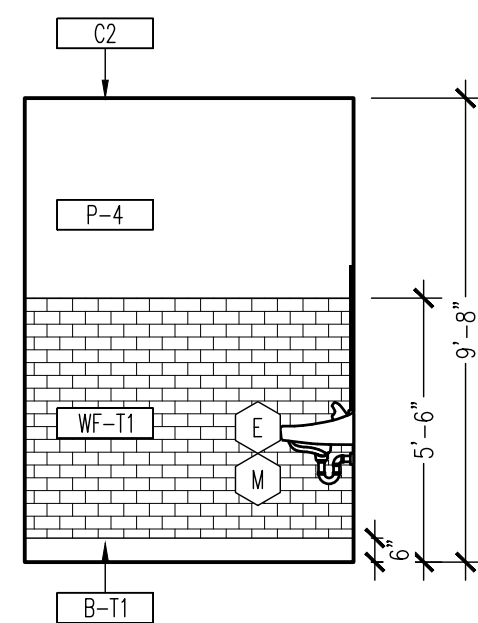


06 KITCHEN ELEVATION

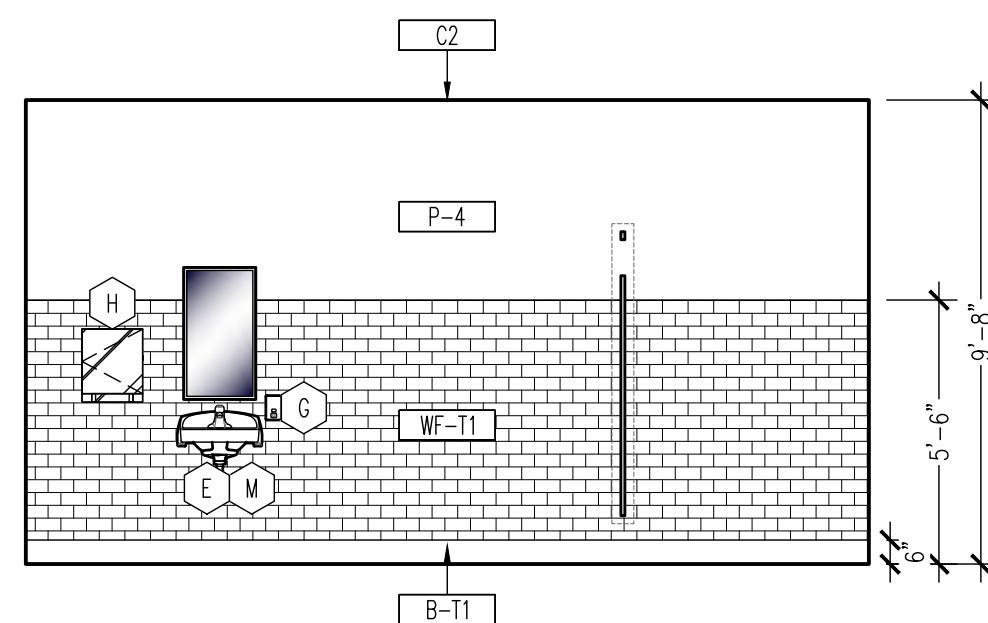
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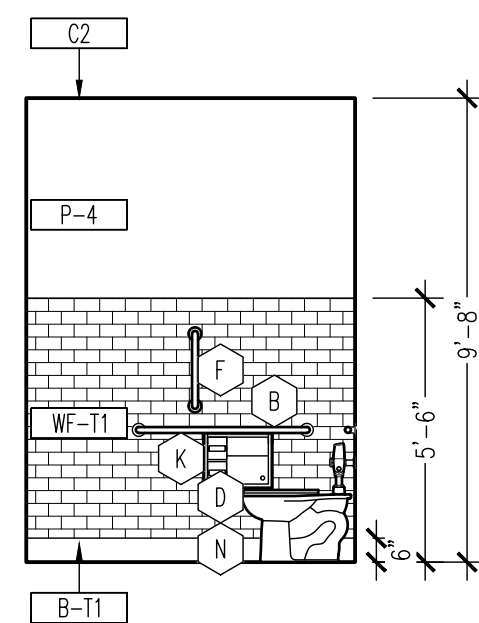
01 KEY PLAN
 SCALE: N.T.S.



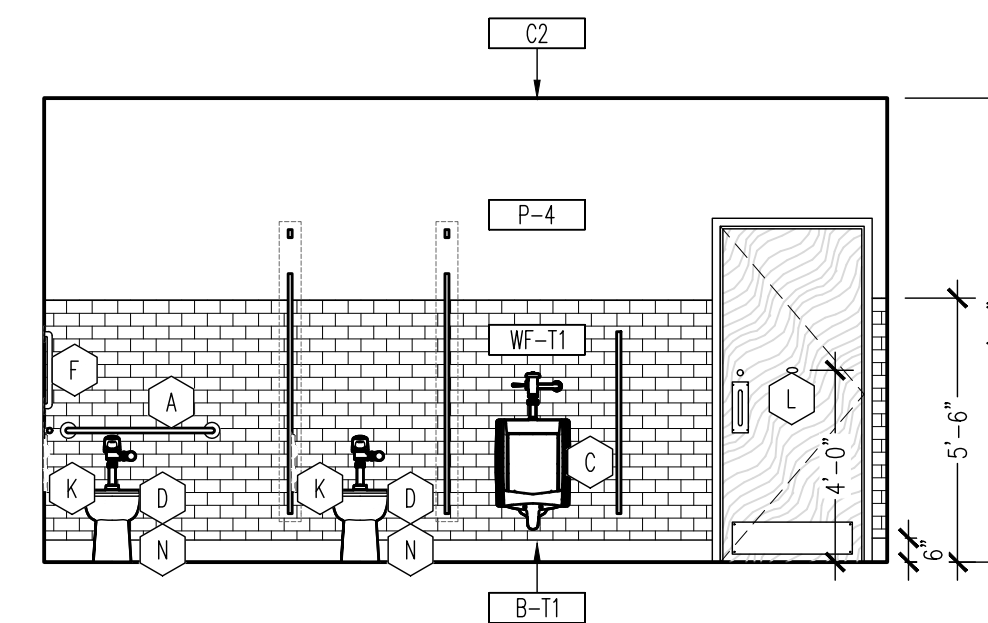
02 RESTROOM ELEVATION
SCALE: 1/4"=1'-0"



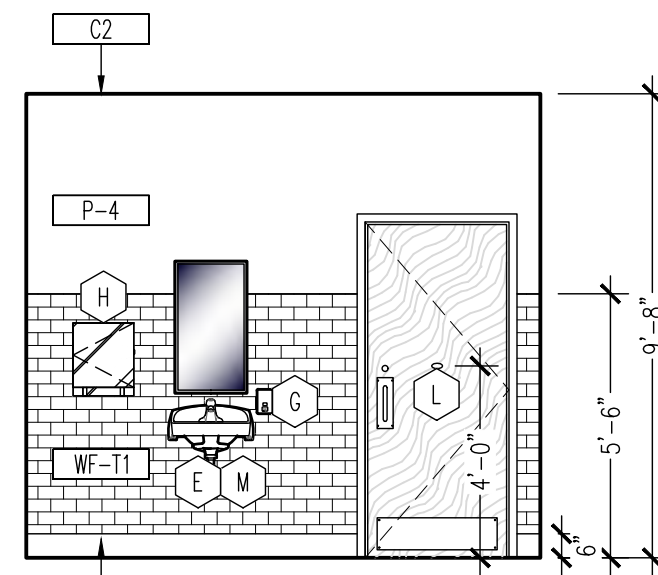
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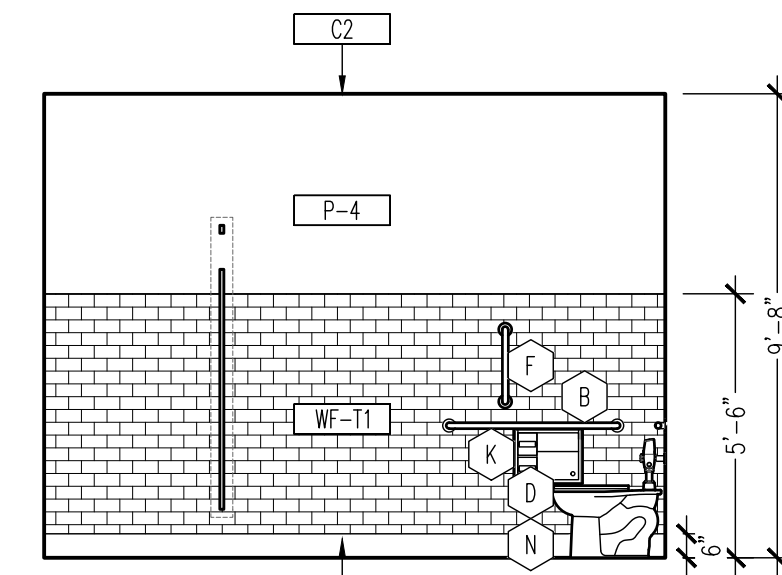
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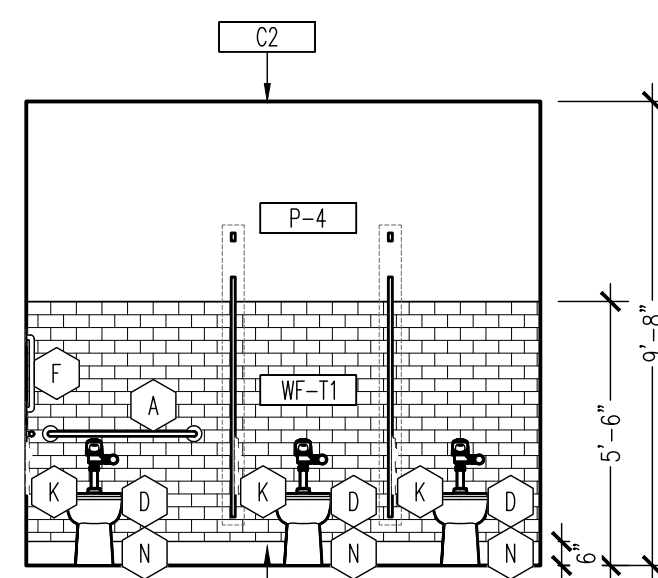
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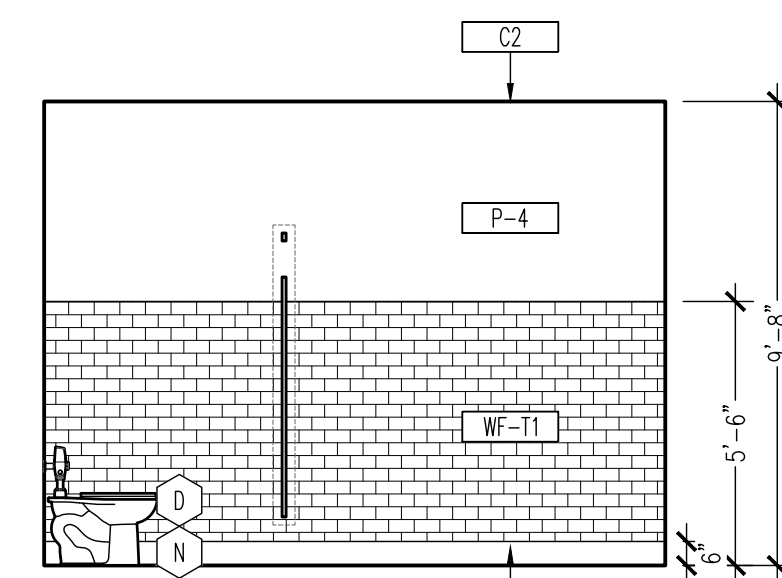
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SCALE: 1/4"=1'-0"



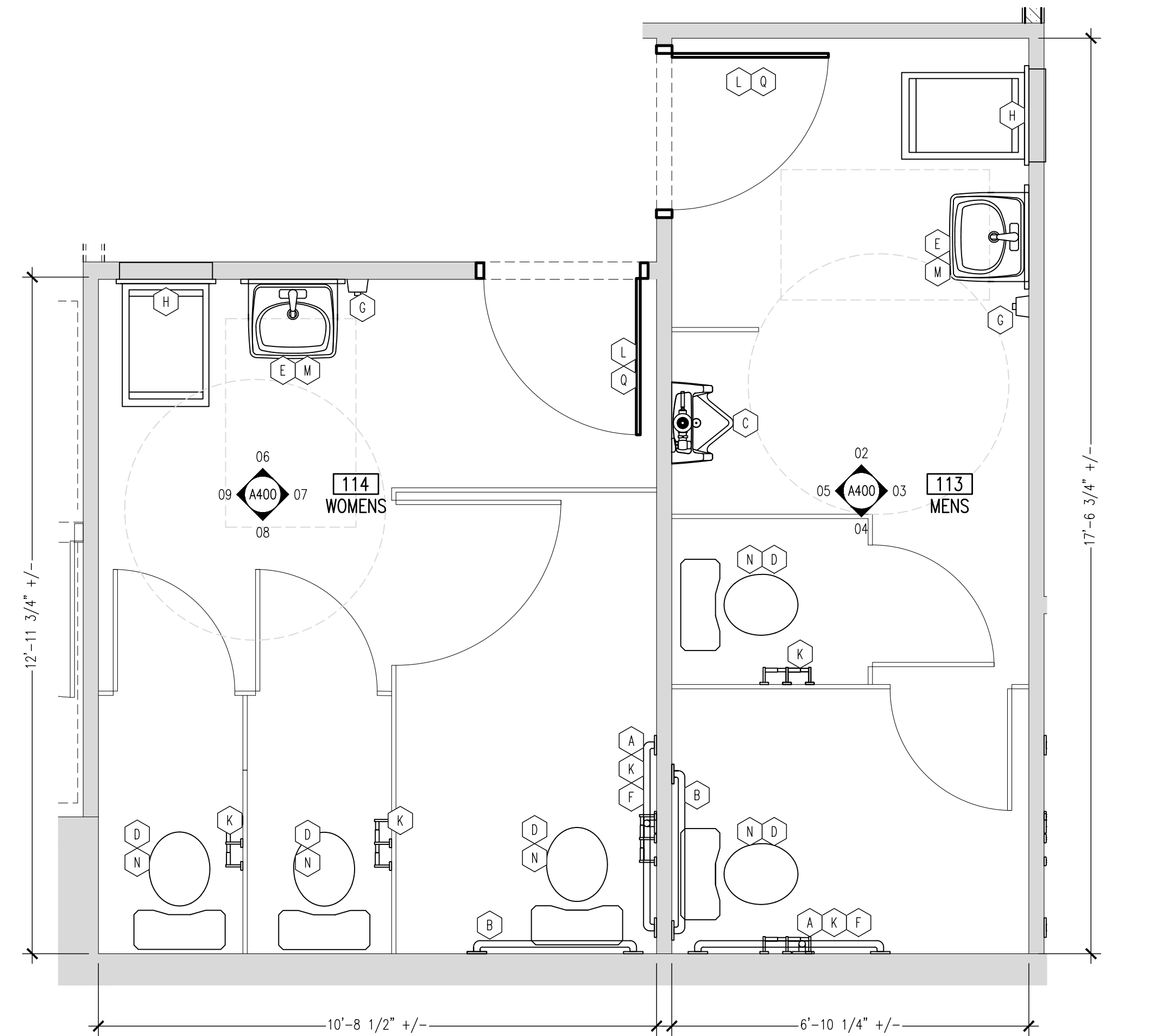
07 RESTROOM ELEVATION
SCALE: 1/4"=1'-0"



08 RESTROOM ELEVATION
SCALE: 1/4"=1'-0"

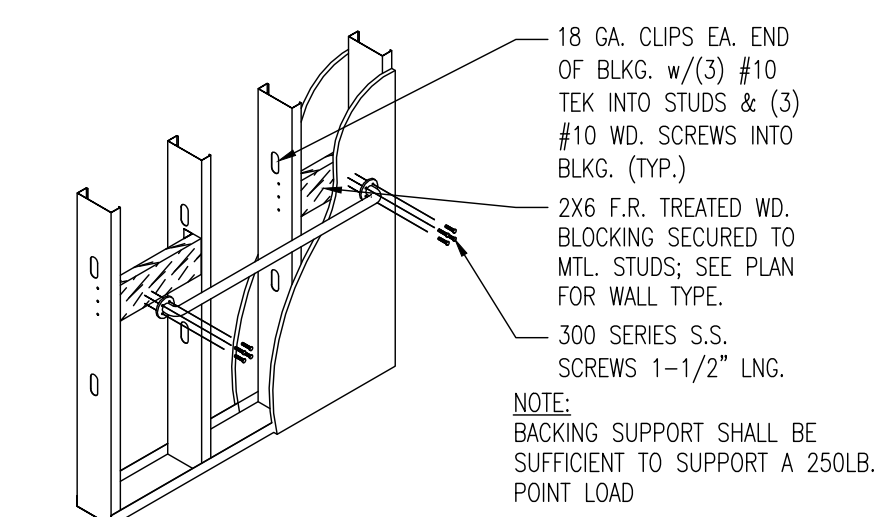


09 RESTROOM ELEVATION
SCALE: 1/4"=1'-0"



01 ENLARGED RESTROOM PLAN
SCALE: 1/2"=1'-0"

ADA NOTE:
MBC 2009 ADA SECTION 603.2.3 DOOR SWING EXCEPTION 2 WHERE THE TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND A CLEAR FLOOR SPACE COMPLYING WITH SECTION 119-305.3 IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE, REQUIRED FOR ANY FIXTURE.



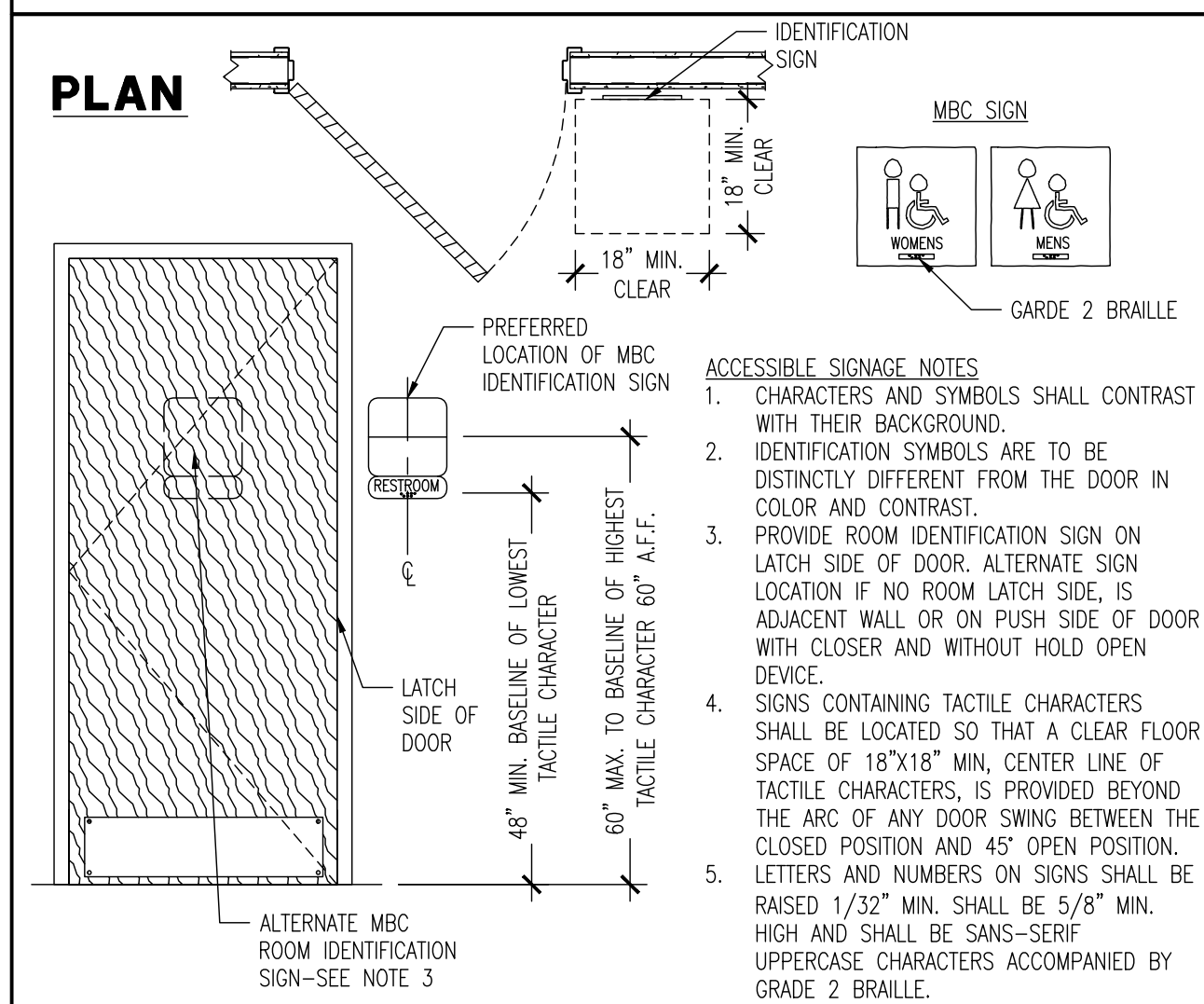
GRAB BAR ATTACHMENT DETAIL

GENERAL NOTES

- SEE SHEET A110 FOR ADDITIONAL DIMENSIONS.
- USE MOISTURE RESISTANT GYP. BRD. AT WALL BEHIND PLUMBING FIXTURES.
- PROVIDE ACOUST. BAT. INSUL. IN WALLS WHERE SCHEDULED ON SHT. A110.
- ALL ACCESSORIES SHALL BE INSTALLED AT 40" MAX. TO THE CENTERLINE OF THE OPERATING PART FROM FINISHED FLOOR SURFACE.
- TOILET PARTITIONS FOR THE ACCESSIBLE TOILET STALL TO BE PROVIDED WITH A LATCH THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQD. TO ACTIVATE OPERABLE PARTS SHALL BE 5LBS. MAX; ALSO PROVIDE A U-SHAPE OR LOOP HANDLE HWDR. MNTD. BETWEEN 34" A.F.F. MIN. - 44" A.F.F. MAX. ADJACENT ABOVE OR BELOW THE LATCH ON THE INSIDE & OUTSIDE OF THE PARTITION DOOR - REFER TO MBC SECTIONS 11B-404.2.7 & 11B-604.8.1.2.
- FIXTURES ARE DIMENSIONED FROM CENTER OF FIXTURE TO FACE OF TILE.
- ALL WALL DIMENSIONS ARE TO THE FACE OF DRYWALL UNLESS OTHERWISE NOTED. ALL PLUMBING FIXTURES AND ACCESSORIES DIMENSIONS AND MINIMUM CLEAR SPACES REQUIRED WILL BE MEASURED EXPOSED TILE FACE.
- DOOR SWINGS SHALL NOT ENCR OACH ONTO REQUIRED 5'-0" DIAMETER CLEAR TURNING RADIUS MORE THAN 12"
- PROVIDE BLOCKING AS REQUIRED FOR ALL TOILET PARTITIONS & ACCESSORIES.
- DOOR TAG - SEE DOOR SCHEDULE SHT. A110.
- FINISH TAG - SEE FINISH SCHEDULE SHT. A120.
- ALL FIXTURES & ACCESSORIES MUST MEET ALL STATE, LOCAL CODES & ACCESSIBILITY REQUIREMENTS PER MBC 11B. PROVIDE SOLID FIRE TREATED BLOCKING AT ALL WALL MOUNTED FIXTURES FOR SECURE ANCHORING, VERIFY LOCATION WITH MANUFACTURERS SPECIFICATIONS. CLEAR SILICONE CAULK ALL FIXTURES TO PARTITION.
- WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR.
- THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING CONTROLS, SHALL BE NO GREATER THAN 5 LBF.
- PROVIDE DOOR HANDLES ON EA. SIDE OF THE TLT. PARTITION DOORS-TO BE COMPLIANT w/MBC 11B-604.8.2.2 & 11B-404.2.7.5 TLT. PARTITIONS TO BE PROVIDED WITH MIN. 9" TOE CLEARANCE A.F.F. PER MBC 11B-604.8.1.4

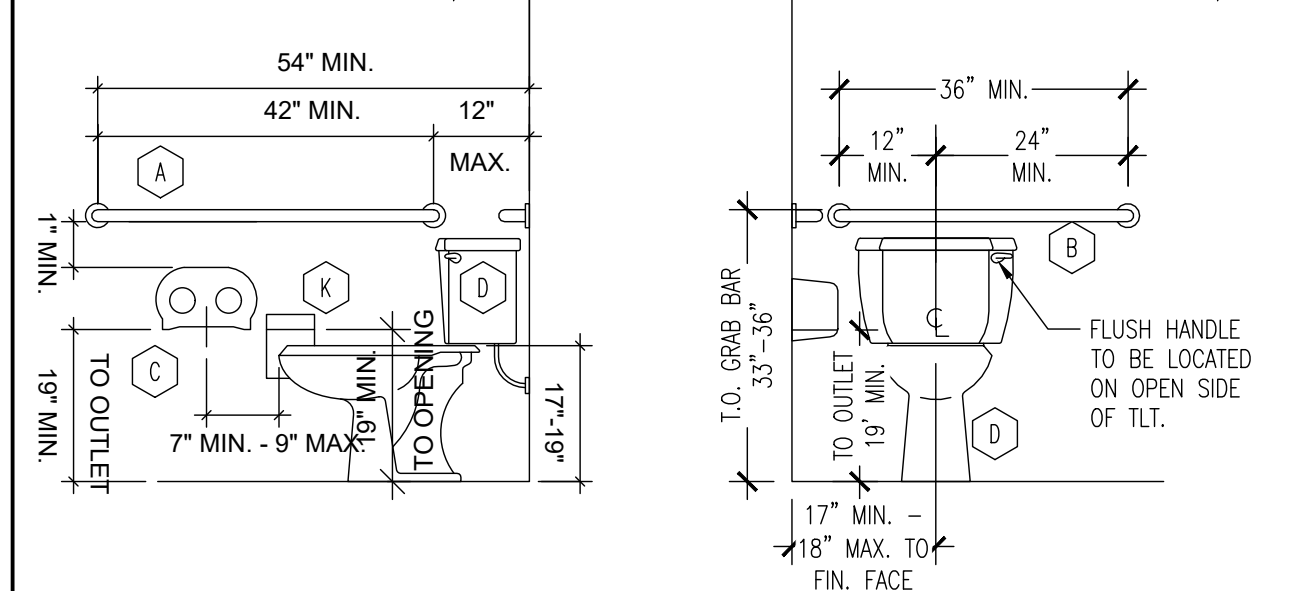
REVIEW AND COMMENTS

PLAN



RESTROOM SIGNAGE DETAIL

NOTE: SEE GRAB BAR ATTACHMENT DETAIL D5/A400



RESTROOM DIAGRAM

Intertech Design Services, Inc.
Architecture and Engineering
9675 Montgomery Rd.
Cincinnati, Ohio 45242
Phone: (513) 791-5588
Fax: (513) 792-7923
Web: www.intertechdesign.net

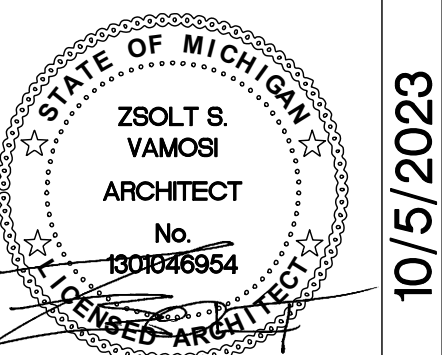
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DAVE'S HOT CHICKEN
STAND ALONE
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HOWELL, MI 48843

DRAWING ISSUE

NO	DESCRIPTION	DATE
1	FOR PERMIT	06/25/21
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4	DRIVE THRU SIGNAGE	09/20/21
		11/18/21

STAMP



RESTROOM PLAN + ELEVATIONS
SCALE: AS NOTED
Drawn By: CJB Checked G.W.

PROJECT NUMBER
21-1402

SHEET NUMBER
A400

REVIEW AND COMMENTS

Intertech Design Services, Inc.

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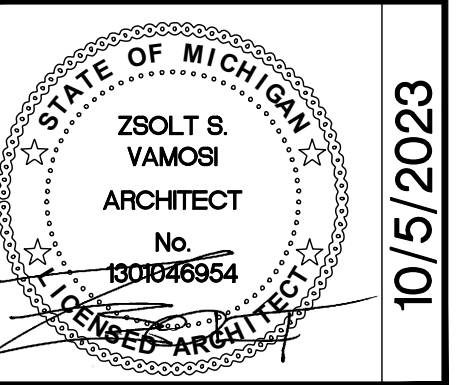
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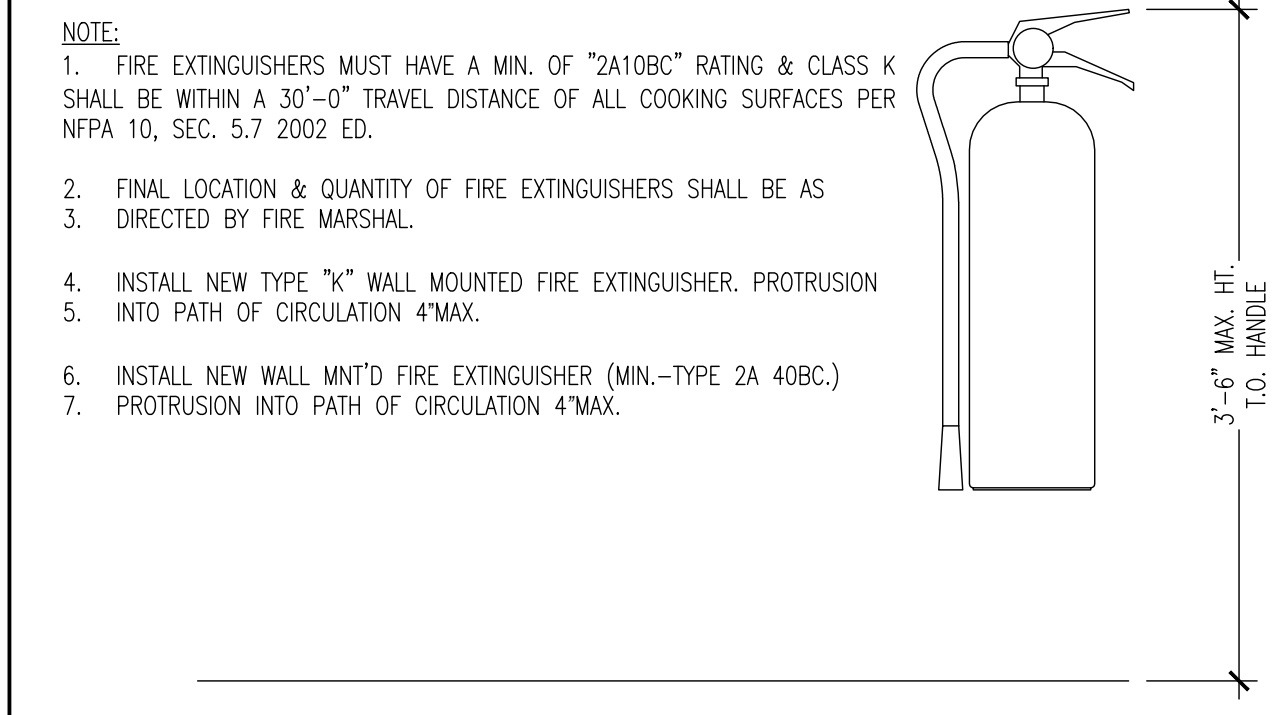


DETAILS

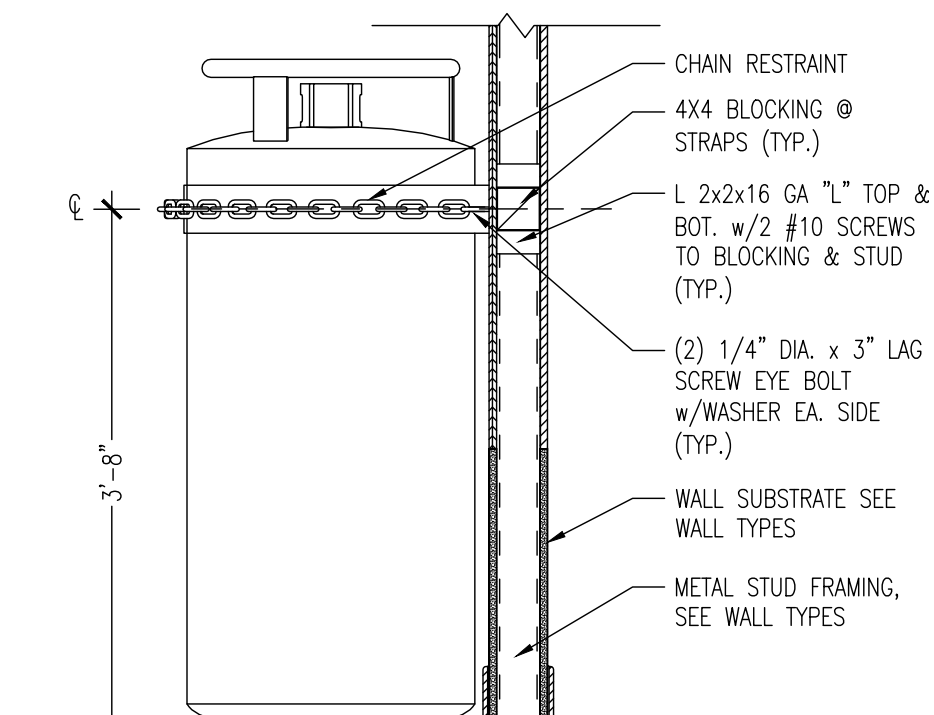
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 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
A600

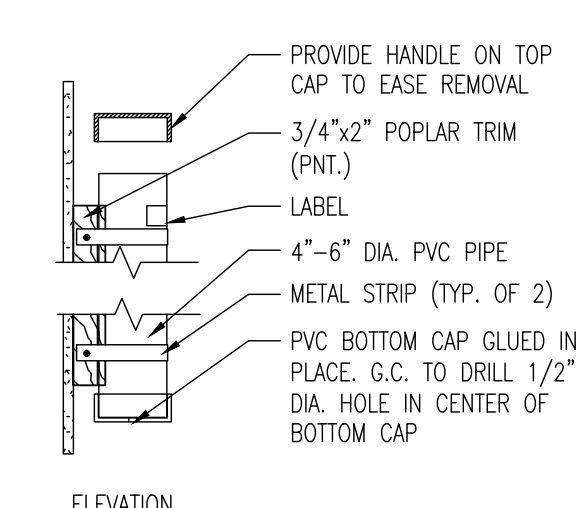
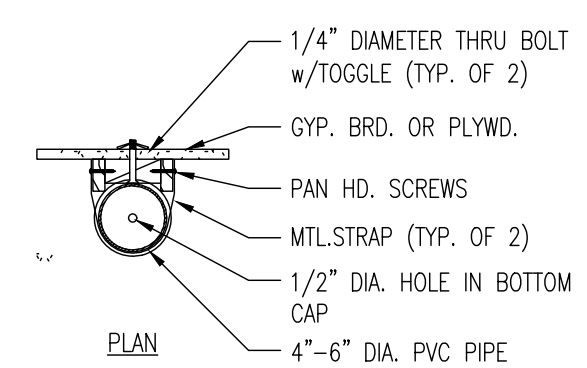


A1 FIRE EXTINGUISHER DETAIL
 SCALE: N.T.S.

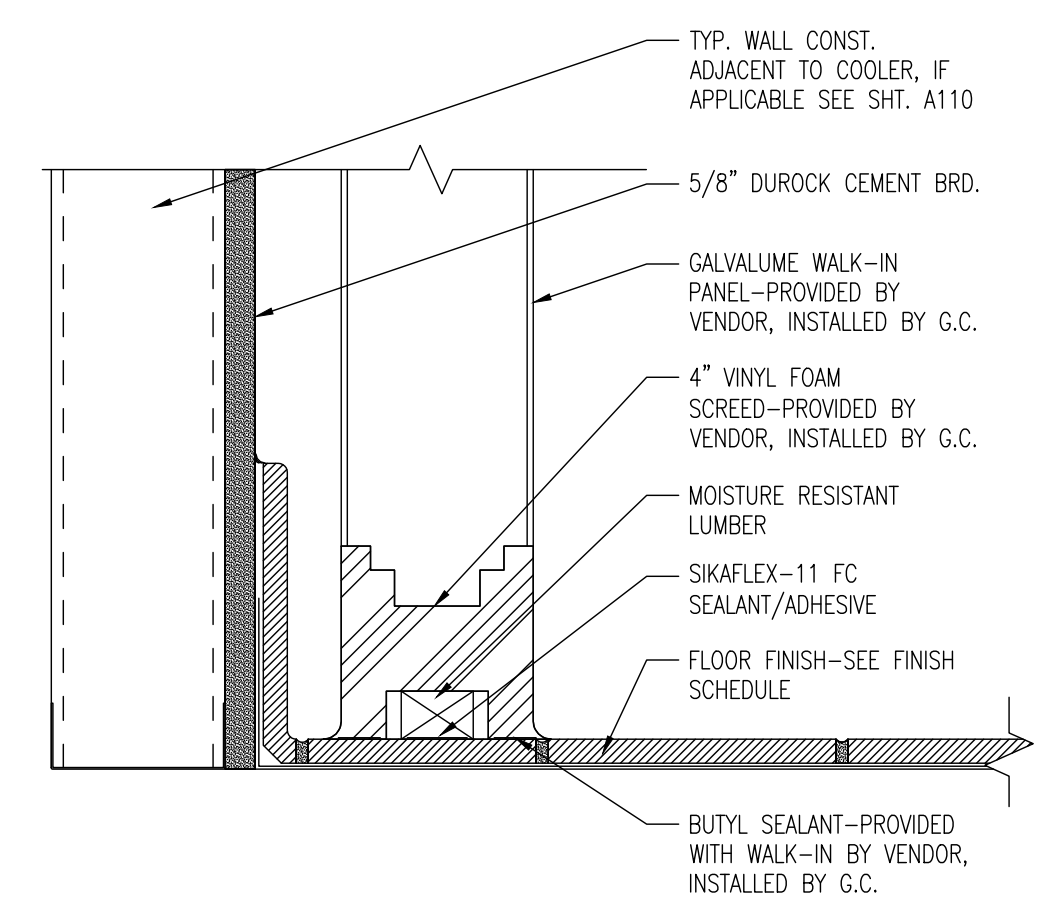


A2 BRACING AT CO2 CANISTER
 SCALE: N.T.S.

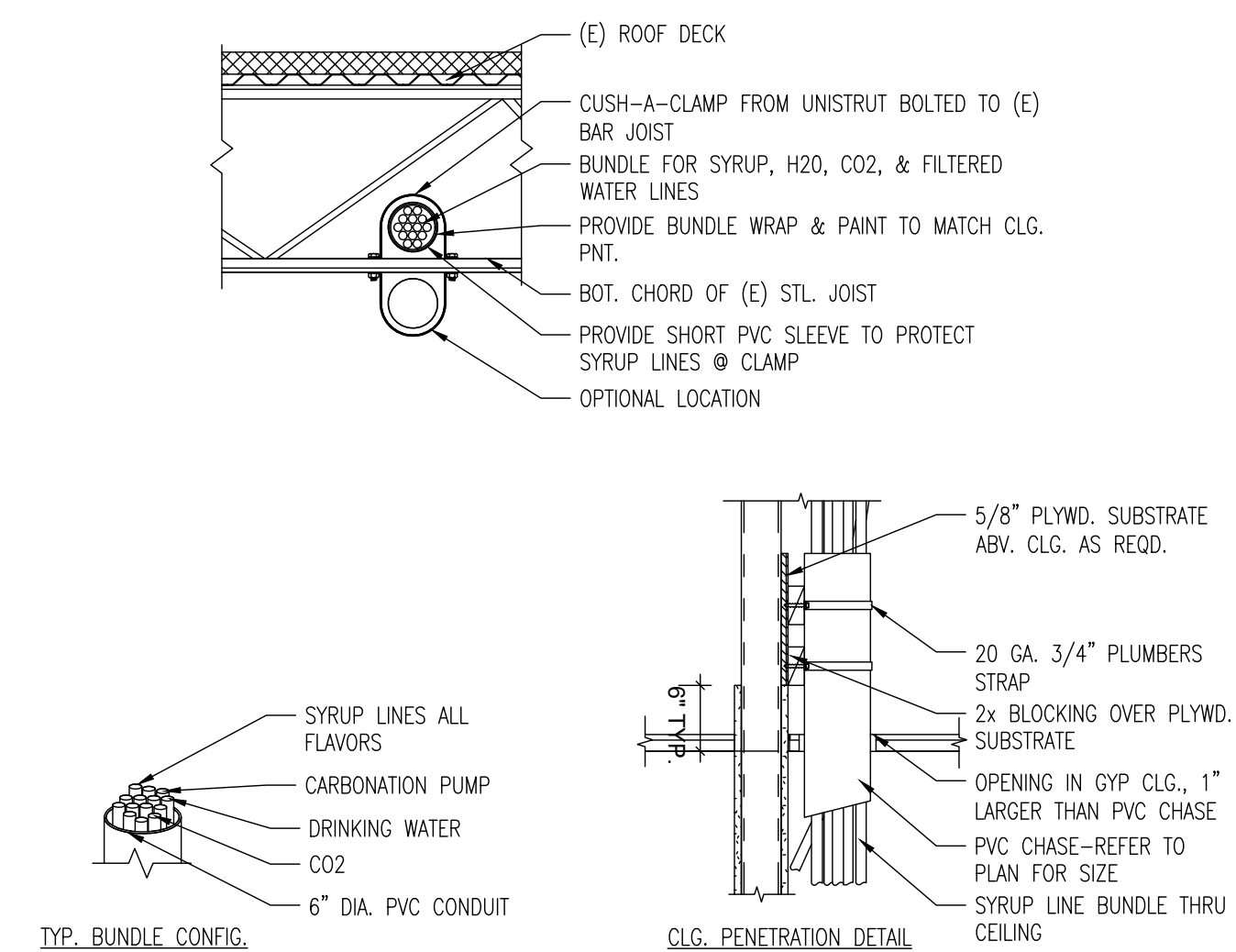
- NOTE:**
1. FIRE EXTINGUISHERS MUST HAVE A MIN. OF "2A10BC" RATING & CLASS K SHALL BE WITHIN A 30'-0" TRAVEL DISTANCE OF ALL COOKING SURFACES PER NFPA 10, SEC. 5.7 2002 ED.
 2. FINAL LOCATION & QUANTITY OF FIRE EXTINGUISHERS SHALL BE AS DIRECTED BY FIRE MARSHAL.
 3. DIRECTED BY FIRE MARSHAL.
 4. INSTALL NEW TYPE "K" WALL MOUNTED FIRE EXTINGUISHER. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.
 5. INSTALL NEW WALL MNT'D FIRE EXTINGUISHER (MIN.-TYPE 2A 40BC).
 6. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.



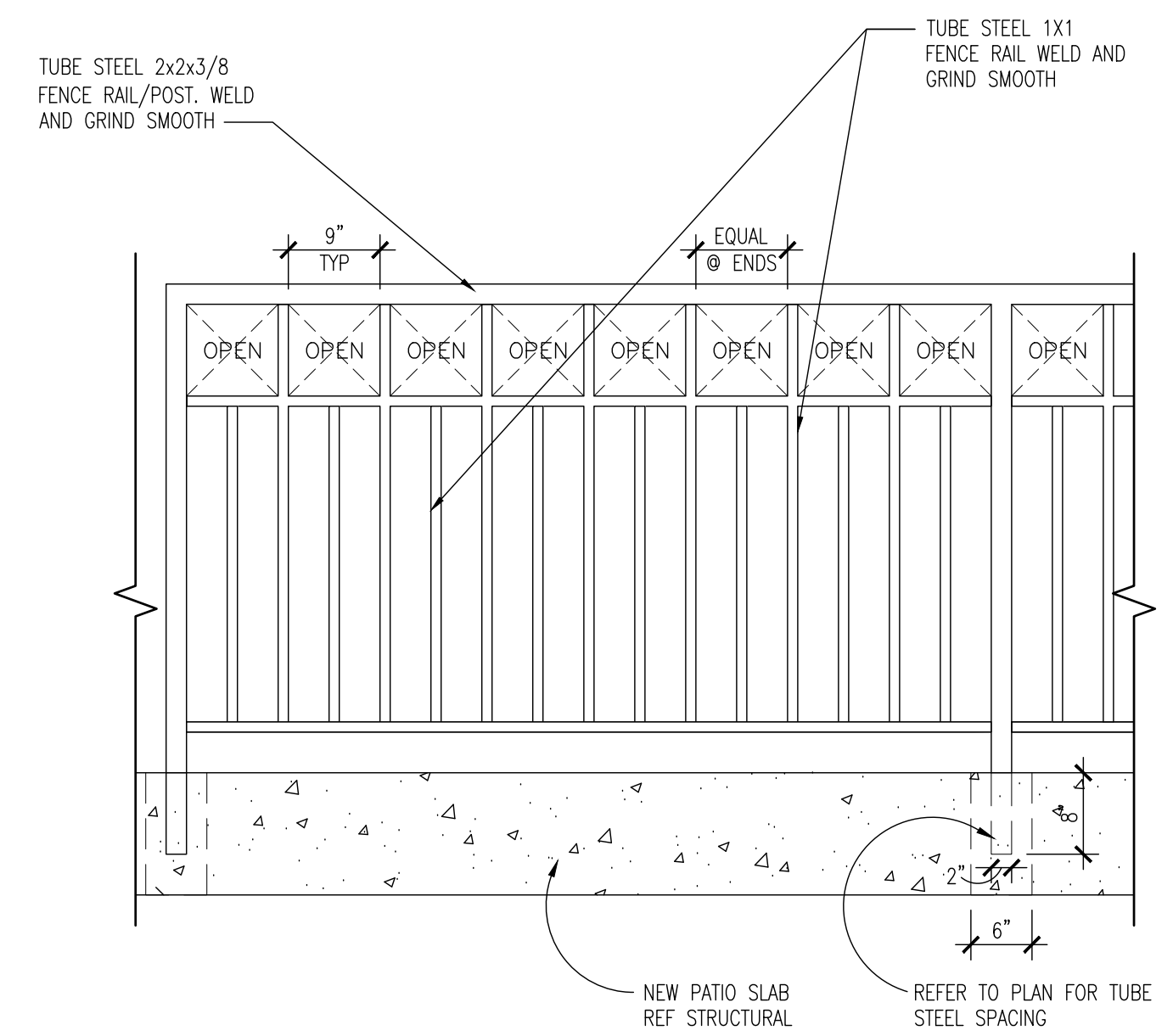
A3 PLANS STORAGE
 SCALE: N.T.S.



A4 WALK-IN BASE DETAIL
 SCALE: N.T.S.



A5 OVERHEAD SODA LINE DETAILS
 SCALE: N.T.S.



A6 TYP. RAILING PANEL DETAIL
 SCALE: 3/4" = 1'-0"

NOTE:
 UPON COMPLETION OF THE PROJECT, GENERAL CONTRACTOR MUST RUN A NEW BLUEPRINT SET FOR THE COMPLETED STORE DRAWINGS (ARCHITECTURAL, MECHANICAL AND ELECTRICAL) AND PLACE BLUEPRINTS INTO THE PLAN TUBE HOLDER, LABEL (WITH CLEAR TAPE) STATING THIS TUBE CONTAINS STORE DRAWINGS AND IS NOT TO BE REMOVED WITHOUT THE CONSENT OF THE STORE MANAGER. TENANT G.C. TO SUPPLY AND INSTALL DRAWING TUBE ASSEMBLY ABOVE DOOR OR OTHER APPROVED LOCATION TO BE DETERMINED.

GENERAL NOTES

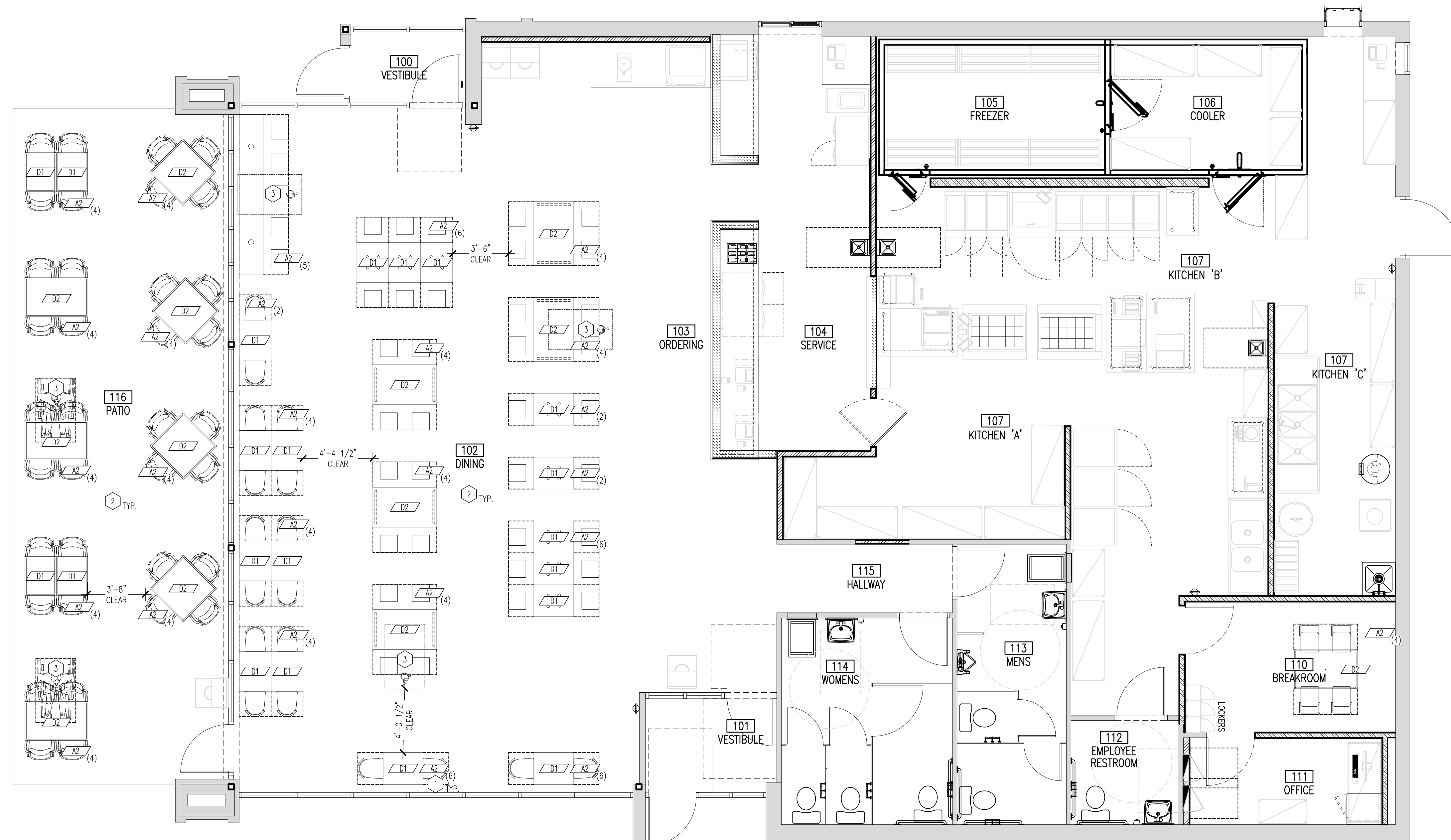
- FURNITURE PLAN PROVIDED FOR REFERENCE ONLY. ALL FURNITURE TO BE PROVIDED BY TENANT AS SCHEDULED.
- REFER TO THIS SHEET FOR FURNITURE SCHEDULES.
- VERIFY ALL DIMENSIONS WITH MILLWORK VENDOR WHERE ITEMS ARE TO BE BUILT-IN AND/OR CUTOUTS ARE REQUIRED FOR INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- NO PIPING, WIRE, CONDUIT, ETC. SHALL BE EXPOSED MORE THAN THE MINIMUM REQUIRED TO INSTALL PROPER FITTINGS AND ESCUTCHEON PLATES. ENSURE CLEAN AND PROFESSIONAL APPEARANCES IN ALL EXPOSED AREAS VISIBLE TO THE PUBLIC.
- MILLWORK TO BE PROVIDED AND INSTALLED BY OWNER'S VENDOR. G.C. TO COORDINATE AND INSTALL AS NECESSARY.
- SEE THIS SHEET, INTERIOR ELEVATIONS AND ELECTRICAL DRAWINGS FOR BACK OF HOUSE LAYOUT.
- CONTRACTOR TO COORDINATE ALL WORK WITH OTHER TRADES.
- FURNITURE SCHEDULE IS PROVIDED BY CORPORATE APPROVED VENDOR. CONTRACTOR SHALL CONFIRM MODEL AND SIZE PRIOR TO ORDERING. IF ANY DISCREPANCIES EXIST IN SIZE, MAKE OR MODEL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT OF RECORD AND AWAIT DIRECTION. SHOULD CONTRACTOR ORDER FURNITURE WITHOUT CONFIRMATION, CONTRACTOR DOES SO AT OWN RISK AND ANY ASSOCIATED COST.
- ACCESSIBLE WHEELCHAIR SEATING FOR MIN. 5% OF TOTAL SEATS. AT LEAST (1) PER FUNCTIONAL AREA OF THE RESTAURANT. MIN. 36" W CLEAR AISLE & SEATS SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 34" A.F.F. w/27" h x 30" w x 19" d KNEE SPACE BELOW.
- ALL INTERIOR AND EXTERIOR TABLES AND CHAIRS TO BE PROVIDED BY FURNITURE VENDOR. ALL BOOTH BENCHES AND BANQUETTE BENCH TO BE PROVIDED BY MILLWORK VENDOR.
- ALL FIXED INTERIOR TABLES TO BE CORE-DRILLED - SEE DETAIL D4/Q100 BY THE G.C. ALL FIXED BOOTHS & BANQUETTES ARE TO BE ANCHORED INTO THE FLOOR SLAB BY THE G.C. w/MASONRY BOLTS. G.C. VERIFY & COORDINATE w/MILLWORK SHOP DRAWINGS PRIOR TO CONSTRUCTION.
- UNLESS NOTED OTHERWISE, ALL FURNITURE PLACEMENT DIMENSIONS ARE TO BE CENTER LINE OF TABLES AND TOP EDGE OF BANQUETTES. G.C. TO VERIFY w/ARCHITECT OF RECORD IN ANY CASE OF DISCREPANCY.

CODED NOTES

- HOLD TABLETOP 1" OFF WALL.
- TABLES TO BE 4"-6" FROM SEATING SIDE TABLE EDGE TO TABLE EDGE.
- (1) WHEELCHAIR SEATING FOR EVERY (20) SEATS, WITH AT LEAST ONE PER EACH FUNCTIONAL AREA OF THE ESTABLISHMENT. SPACE MIN. 36" W CLEAR AISLE & SEATS SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 34" ABOVE FLOOR W/ A 27" H. x 30" W. x 19" D. KNEE SPACE UNDERNEATH. SEE SHEET G120.

FURNITURE SCHEDULE

TAG	QTY	DESCRIPTION	REMARKS
A2	99	TYPE 1 STOOL - "BLUE METAL"	
D1	21	FREESTANDING LOW 2-TOP TABLE	FREESTANDING TABLES - VERIFY BASE TYPE BEFORE ORDER
D2	12	FREESTANDING LOW 4-TOP TABLE	ADA COMPLIANT - INSTALL AT ENDS OF BANQUETTE, BOOTHS, OR FREESTANDING



REVIEW AND COMMENTS

Empty box for review and comments.

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STAMP

10/5/2023

FURNITURE FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 Drawn By: CJB Checked G/W

PROJECT NUMBER
 21-1402

SHEET NUMBER
Q100

01 FURNITURE PLAN
 SCALE: 1/4"=1'-0"



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
OCT 26 2023
RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Chow Inc dba Arbys 3253 Owen Rd Fenton MI
If applicant is not the owner, a letter of Authorization from Property Owner is needed. 48430

OWNER'S NAME & ADDRESS: James Crawford 3253 Owen Rd Fenton, MI 48430

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: (810) 444 2685 OWNER PHONE: (810) 250-9558

OWNER EMAIL: crawfordarbys@yahoo.com

LOCATION AND BRIEF DESCRIPTION OF SITE: on Grand River in front of mall. closest cross street is Latson

BRIEF STATEMENT OF PROPOSED USE: to sell food

THE FOLLOWING BUILDINGS ARE PROPOSED: same as existing with the addition of cold food storage on the rear of a building

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: James W Crawford Jr 

ADDRESS: ~~3639 E Grand River Ave~~ 3639 E Grand River Ave
Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) James Crawford Jr of Arby's 6081 at Crawfordarbys@a
Name Business Affiliation E-mail Address Yahoo.com

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 10-31-23
PRINT NAME: _____ PHONE: _____
ADDRESS: _____



January 2, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

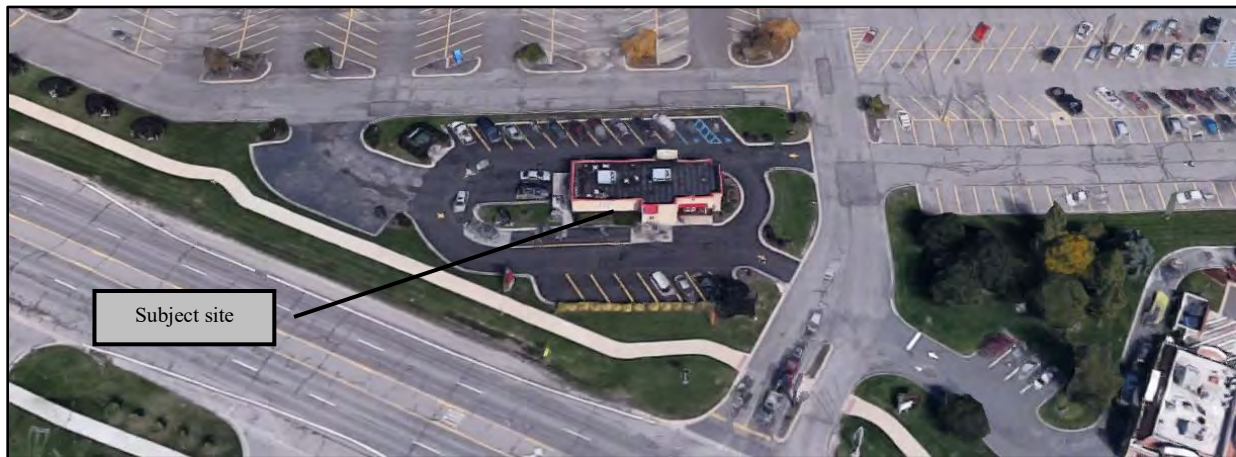
Attention:	Amy Ruthig, Planning Director
Subject:	Arby’s – Site Plan Review #2
Location:	3639 East Grand River Avenue – north side of Grand River, between Grand Oaks and Cleary Drives
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan for expansion, remodel and exterior site improvements of the existing Arby’s drive-through restaurant at 3639 East Grand River Avenue (revisions dated 12/13/23).

A. Review Summary

1. The building materials include an excessive amount of EIFS.
2. Building materials and color scheme are subject to approval by the Planning Commission.
3. The required drive-through stacking blocks circulation at the main drive aisle. Alternatives should be explored to mitigate this condition.
4. The applicant must provide the Township with a shared parking agreement that addresses the on-site deficiencies. We suggest the parallel spaces be removed from the plan.
5. We suggest additional shrubs be provided to create a hedgerow that better screens the front yard parking spaces.
6. Required landscape areas are deficient in both widths and plantings; however, the Commission may waive or modify the landscaping requirements, per Section 12.02.13.
7. There are minor discrepancies between the plant schedule and landscape plan that need to be corrected.
8. The Planning Commission may allow a 2nd wall sign.
9. We request the applicant amend the sign detail to note that the existing nonconforming pole sign will be removed.
10. The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The applicant proposes expansion, remodeling, and site improvements for the existing Arby's drive-through restaurant.

More specifically, the project includes an approximately 340 square foot building addition, a new waste receptacle and enclosure, resurfacing/restriping of the parking lot, new wall mounted light fixtures, new landscaping, and a façade renovation.

Section 7.02 lists restaurants with drive-throughs as special land uses in the RCD; however, the size of the expansion does not require a new special land use review (Section 19.06).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment. The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Assessment.

C. Site Plan Review

1. Dimensional Requirements. The proposal has been reviewed for compliance with the dimensional requirements of the RCD, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
RCD	2	200	70	20	50	20 front 10 side/rear	35% building 75% impervious	45' 3 stories
Proposal	0.81	250	71.9	31 (E) 165 (W)	46	30 front 16 side 5 rear	6.2% building 68.6% impervious	15.5' 1 story

The existing lot area, rear building and rear yard parking setbacks are existing nonconforming conditions that are not altered by the proposal.

2. Building Design and Materials. The proposed building elevations include brick, CMU, EIFS, various siding/panel types and a cast stone base.

The revised submittal includes material calculations demonstrating an excessive amount of EIFS; however, the Commission has discretion to modify the material requirements based on existing conditions.

The color scheme includes white, gray, brown and red.

Building materials and colors are subject to review and approval by the Planning Commission.

3. Pedestrian Circulation. There is an existing sidewalk along Grand River.

The project includes a private sidewalk and crosswalk connection between the public sidewalk and main building entrance.

4. Vehicular Circulation. No changes are proposed to the existing drives and cross-connections with the shopping center.

Though it appears to be an existing condition, the 7th car in the drive-through stacking will completely block the main ingress drive aisle when occupied.

The applicant notes that they have not encountered circulation issues in the past, but this is not an ideal situation. We suggest that alternatives, such as shared parking with the shopping center, be explored to avoid this traffic conflict.

The plan includes a mix of one-way and two-way traffic that warrant directional signage and/or pavement markings.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

6. Parking. A comparison of the existing conditions survey and proposed site plan appears to indicate the loss of 8 parking spaces as a result of the project. Based on calculations included on the revised plan, a total of 17 spaces are required; however, the plan provides only 15 on-site.

A note indicates the use of excess parking on the adjacent property to the north for the longer RV spaces. The applicant must provide documentation of a shared parking agreement, which should also include the 2 space deficiency.

The on-site parking includes 3 parallel spaces, which typically do not function well for commercial developments. As such, we suggest the applicant remove these spaces and adjust the amount of parking shared with the adjacent property to the north.

The dimensions of parking spaces and drive aisles comply with Ordinance standards. Spaces appear to be double striped, as required.

7. Exterior Lighting. The lighting plan identifies 6 light poles and 13 wall mounted fixtures.

Based on the detail sheet, the proposed fixtures are downward directed LED and ornamental, per Ordinance standards.

The revised plan demonstrates compliance with pole heights and allowable intensity.

8. Landscaping. The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 7 canopy trees	20' width 5 canopy trees 13 shrubs	Deficient by 2 trees

Buffer Zone C (N)	10' width 15 canopy trees OR 15 evergreen trees OR 58 shrubs	5' to 10' width 20 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (E)	10' width 8 canopy trees OR 8 evergreen trees OR 31 shrubs	0' to 10' width 1 existing tree 13 shrubs	Deficient in width (existing condition) and plantings
Buffer Zone C (W)	10' width 2 canopy trees OR 2 evergreen trees OR 6 shrubs	10' width 4 shrubs	Deficient in plantings
Parking lot	2 canopy trees 200 SF landscaped area	2 trees 1,000+ SF landscaped area	In compliance

Shrubs have been added to screen the front yard parking spaces, though they are spaced too far apart to create a hedgerow. We suggest the applicant add more shrubs to create a hedgerow.

Existing conditions preclude required widths and restrict planting in certain areas. The Commission may waive or modify the landscaping requirements based on the standards in Section 12.02.13.

The plant schedule and landscape plan are inconsistent with respect to the quantity of Green Velvet Boxwoods and Green Mountain Boxwoods.

- 9. Waste Receptacle.** The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates clear access	Requirement met
Base design	9' x 15' concrete pad	17' x 28' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Split face block painted to match 6'-8" height	Requirements met

- 10. Signage.** The submittal identifies 2 new wall signs and a new monument sign to replace the nonconforming pole sign.

The Planning Commission may allow a 2nd wall sign, per Footnote 2 of Table 16.1.

The proposed monument sign complies with setback, height, and area requirements of Article 16; however, we request the applicant amend the sign detail on Sheet C1.1 to clarify that the pole sign will be removed.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager



January 3, 2023

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Arby's Renovation
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Arby's Renovation site plan last dated December 13, 2023. The plan was prepared by Kim Procnier on behalf of CHEW Land Management, L.L.C. The development is located at the existing Arby's site on the north side of Grand River Avenue. The Petitioner is proposing to renovate the existing Arby's, and site work includes repaving the existing parking lot and drives, repainting parking striping, and adding sidewalk. We offer the following comments for your consideration:

GENERAL

1. Approval from the Brighton Area Fire Authority should be provided prior to site plan approval.
2. A detail should be provided for the proposed parking striping.

We recommend the petitioner address the above comments to the Township's satisfaction prior to approval. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

December 20, 2023

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Arby's Howell Grand River
3639 E Grand River Ave.
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on December 15, 2023 and the drawings are dated February 15, 2023 with latest revisions dated October 23, 2023. The project is based on an existing 1,796 square foot drive-thru restaurant with drive-thru. The plan is proposing the addition of a new cooler/freezer to be added to the East side of the building. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

After further review of the most current plans it is apparent that the one-way access drive modifications are not feasible based on the lot restrictions. Please disregard the previous comment regarding their modification

1. The location of a Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. **(Noted to be complied with.)**

IFC 506.1

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

PROJECT NAME

Impact Assessment

- a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Arby's #6081 Remodel, Howell MI 3639 E. Grand River Ave.
Preparing this document; Cheryl Ball Architecture Designer cballdesign@aol.com, with review by Kim Proconier AIA registered architect. Proline Architecture: Proline8@juno.com. Review by franchise owner's Joe & Jamie Crawford, crawfordArbys@yahoo.com

- b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also included information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

See attached maps with notes

- c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Existing environmental characteristics of the site prior to development are: Low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none, (1) mature tree in front, wetlands – none, Drainage is underground toward the drainage basin. No lakes, streams, creeks or ponds.
Existing environmental characteristics of the site after development are: Very low slope of land to the NW. Soils are MoB, wildlife – none, woodlands – none. Trees, shrubs and green have been added– see Landscape plan. Wetlands – none, Drainage is underground toward the drainage basin to remain. No lakes, streams, creeks or ponds.
See attached aerial maps with survey, existing drainage, sewer, water, soil type.

- d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

This remodel will be reviewed by the Livingston County SESC Dpt. The drawing submittal to the Livingston Co SESC department will show the limits of the silt fence. The GC will use the required silt fence / shield prior to any exterior land & vegetation work.

- e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The impact from the remodel will be slight. The surrounding area is all Commercial; OSD, NSD, GCD and - with asphalt, concrete and minimal amount of vegetation.

- f. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The average count is 150 patrons per day. The anticipated impact to educational, municipal, or religious establishments will remain the same.

- g. **Impact on public utilities:** Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The existing water, sanitary sewer will remain the same for the restaurant remodel. The existing runoff will remain during periods of construction.

- h. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There are no hazardous materials on site, existing and for the remodel.

- i. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan.

The impact of this remodel will be approximately a 60-70 day shut down. All access points will be taped off and the rear access drive will be the designated construction traffic access. Any extra construction vehicles & equipment will be parked directly north in the vacant parking lot.

- j. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

All easement restrictions are noted on the latest survey by Mannik Smith

- k. **A list of all sources shall be provided.**

Livingston County GIS map online. [Livgov.map.arcgis.com](http://livgov.map.arcgis.com). FEMA info site. National soil types: <https://websoilsurvey.nrcs.usda.gov/app/>. Arcgis.com – flood plane info.

Drainage – Livingston county: Kenneth E. Recker, II, P.E., Chief Deputy Drain Commissioner

PROJECT TEAM

FRANCHISE OWNER: CHEW LAND MANAGEMENT LLC 111 EAST COURT ST STE 2C3, FLINT MI 48502. ALT. ADDRESS: LAKE FENTON MGMT PH # 810-750-3423. CrawfordArbys @ Yahoo.com

ARCHITECTURE DESIGNER: C BALL DESIGN LINDEN, MI 810-853-0451 CBallDesign@aol.com

ARCHITECT: KIM PROCUNIER LIC# 1301029125 ADDRESS: 3540 WEST RIVER RD, SANFORD, MI 48657. PH# 415-310-6884, PROLINE8@JUNO.COM

GENERAL CONTRACTOR: RICH SIMMONS, MICHIGAN ROOFING INC, 8465 SOUTH AIRPORT RD DEWITT, MI 48820 PH# 517-719-8017 , rdsimmons34@yahoo.com

DECOR FINISH COMPANY: CHI CHARTER HOUSE , KEITH LIEBERT, PH#248-996-0315

KITCHEN EQUIPMENT SUPPLIER: JOE VANCE TRIMARK, joe.vance@trimarkusa.com

JURISDICTION & CODE

GENOA TOWNSHIP - UNIT 4711. COMMERCIAL -IMPROVED CLASS. HOWELL PUBLIC SCHOOLS. ZONING CODE: GCD, PARCEL #4711-05-400-029. TOTAL Acres 1.11. EXST BLDG = 1769 SF (SURVEY) + 359 SF = 2128 SF Proposed.

Current codes: 2015 MBC, 2017 MI Elec w/ Part 8 amend, 2015 Plumbing+Mechanical, 2015 Int'l Fire Code

STATE OF MI 2015 BLDG - USE GROUP A-2 (ASSEMBLY) TYPE OF CONSTRUCTION: 5B (MBC TABLE 601) OCC LOAD MBC 2015 Assembly w/o fixed seats: 15 net, 1004.4. After remodel seats = 34 EGRESS: 1006.2.1 - based on OCC load and common path of travel- 2 Req'd & 2 Exits provided

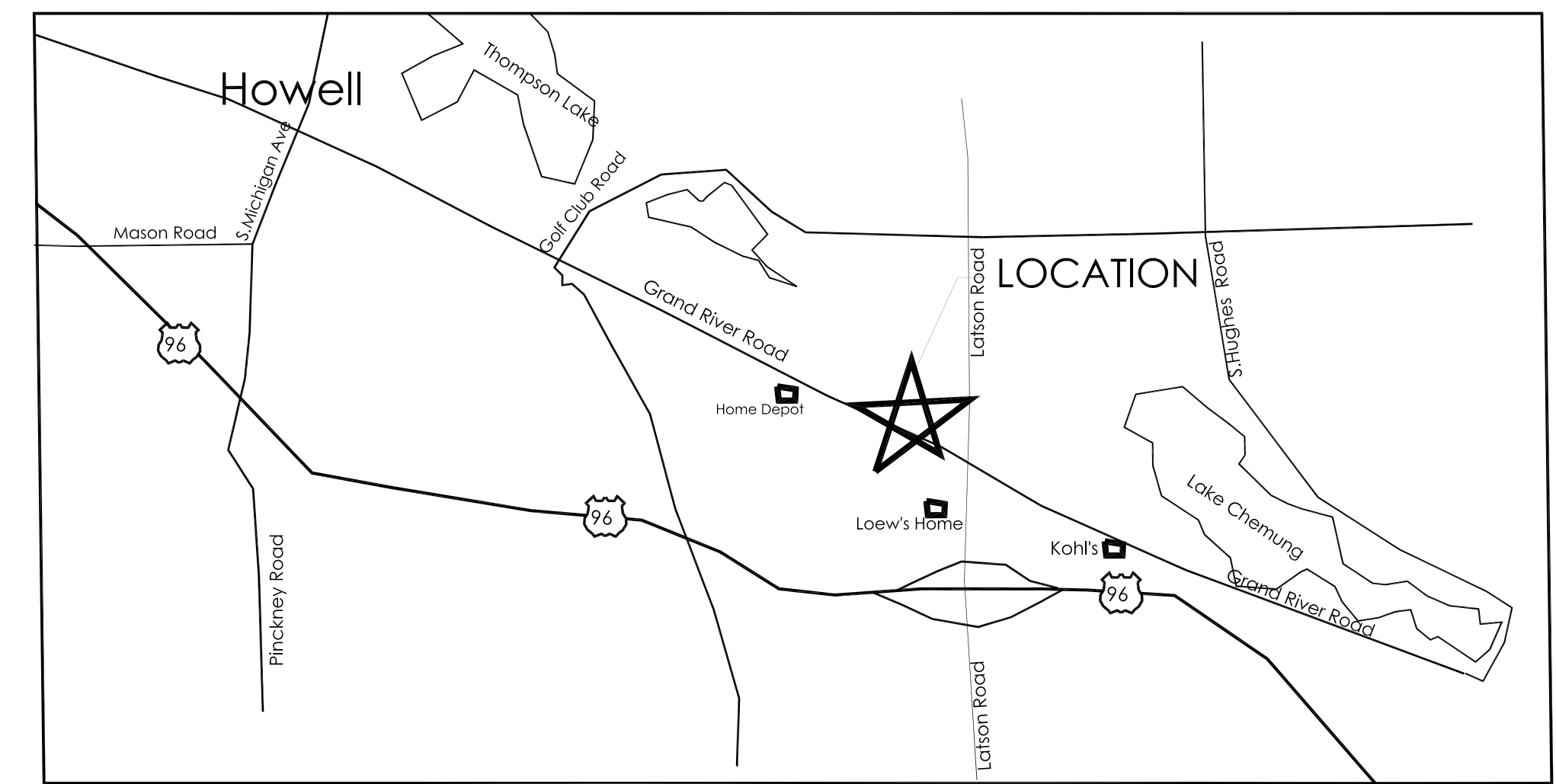
PLUMBING 2015: Fixtures Table 2902.1 Revised as follows: A2 Restaurants; WC req'd = 1:75 M/F. Provide 1 WC each M/F. See dwg A1.2 DF req'd 1:500, provided 0 (exception)

ELECTRICAL 2017 & MECH 2015

M.E.&P.INSPECTIONS: Livingston County Building Department, contact (517) 546-3240

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan



LOCATION MAP

N.T.S.

DRAWING INDEX

DWG	2nd SPR	3 RD CORP REV	PERMIT REV
C1.0 - COVER SHEET INDEX SURVEY	12-13-23	05.17.23	08.09.23
CS.1 - REGISTERED SURVEY	12-13-23		
C-EX.1 - EXISTING & DEMO	12-13-23	05.17.23	08.09.23
C1.1 - SITE PLAN, CODE NOTES	12-13-23		08.09.23
C1.2 - ENLARGE SITE PLAN + DETAILS	12-13-23		08.09.23
C1.3 - ENLARGE SITE PLAN + DETAILS	12-13-23		08.09.23
C1.4 - PHOTOMETRICS			08.09.23
C1.5 - LANDSCAPE PLAN & DRAINAGE	12-13-23		
GENERAL			
G1.1 - ADA MOUNTING HEIGHTS			
G1.2 - ADA MOUNTING HEIGHTS			
EX1.1 - EXISTING PLAN & PICTURES		05.17.23	
D1.1 - DEMOLITION FLOOR PLAN		05.17.23	
A1.1 - NEW FLOOR PLAN	12-13-23	05.17.23	
A1.2 - RESTROOM & INTERIOR ELEVS		05.17.23	
A1.3 - FOUNDATION PLANS & DETAILS			
A1.4 - RCP + CEILING DETAILS			
A1.5 - F. F. & E		05.17.23	
EQ1.0 - EQUIPMENT PLAN		05.17.23	
EQ1.1 - EQUIPMENT SCHEDULE			
EX2.0 - EXISTING ELEVATIONS&PICTURES	12-13-23	05.17.23	
A2.1 - PROPOSED ELEVATIONS	12-13-23	05.17.23	
A2.2 - ELEVATION MATERIALS	12-13-23		
A3.0 - BUILDING SECTIONS			
E1.1 - ELECTRICAL INFORMATION			
M1.1 - MECHANICAL INFORMATION			

07.13.23 CORP FINAL APPROVAL
08.09.23 Genoa Twp submit Land Use Permit - Livingston County review
10-06-23 Genoa Twp submit SPR rev & 10-23-23 SPR
12-13-23 2nd submit SPR review Genoa Twp

SHEET INDEX COVER DRAWING

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THE STRUCTURE FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT ONLY AS SHOWN ON THIS DRAWING. DISCREPANCIES THIS REPRESENTS PRESENT ONLY AS SHOWN ON THIS DRAWING.

Arby's Store #6081 Exist 1992
model: 179 1/2094/3093
Contact: JOE /JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER

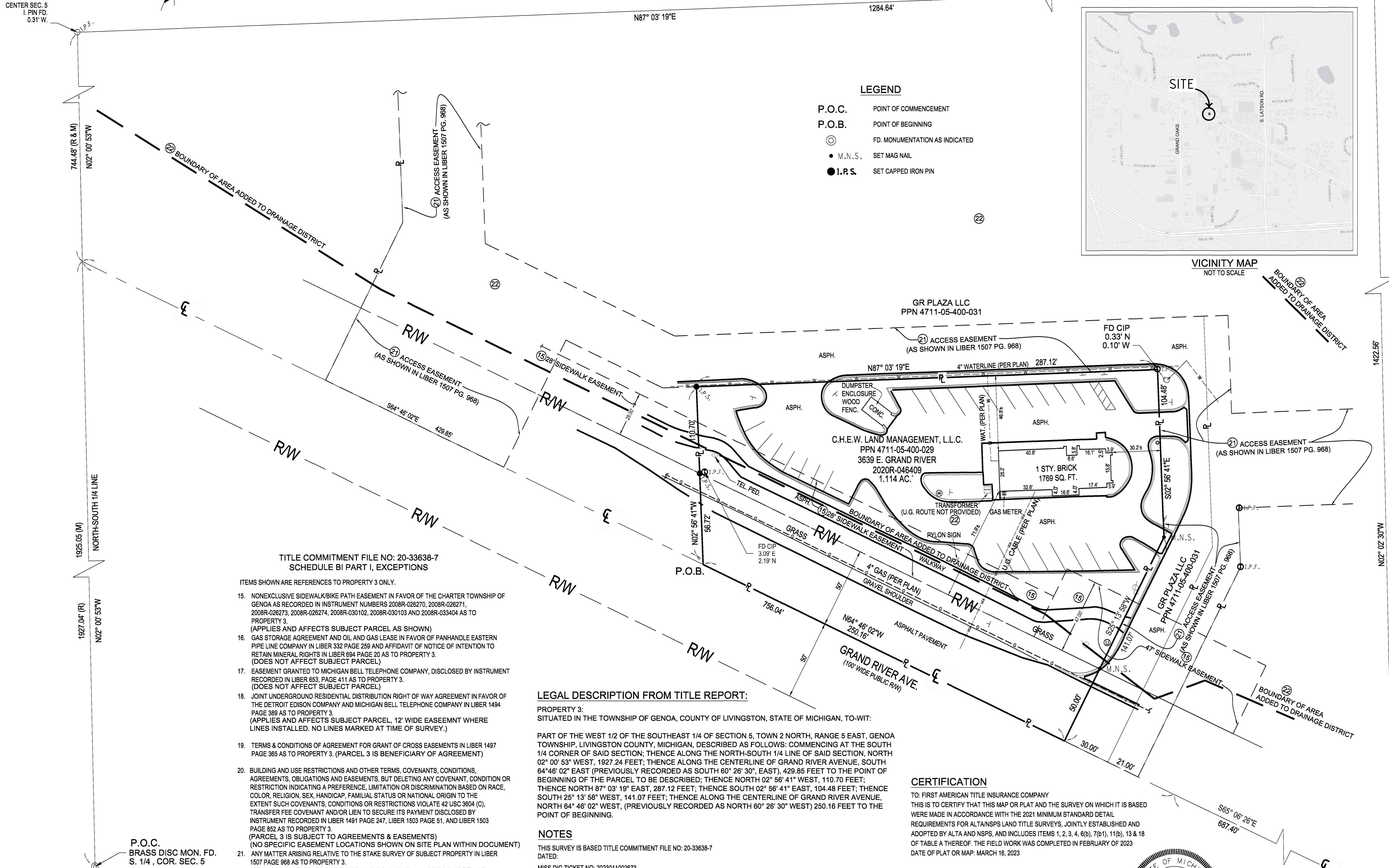
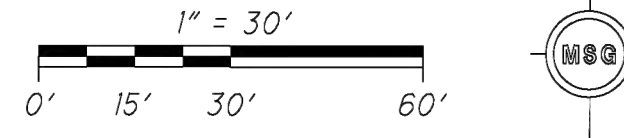
Arby's #6081:3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	10-11-23	owner SPR review
5	08-08-23	Permit submit Genoa Livingston
4	07-18-23	Arch review
3	04-18-23	Arch review
2	02-24-23	Sub's Review
1	02-15-23	Owner GC Review
7	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 01-28-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.0

ALTA / NSPS LAND TITLE SURVEY OF PART OF THE W 1/2 OF THE SE 1/4 OF SEC. 5, TOWN 2 NORTH, RANGE 5 EAST GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LEGEND

P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
⊙ FD. MONUMENTATION AS INDICATED
• M.N.S. SET MAG NAIL
● I.R.S. SET CAPPED IRON PIN

- TITLE COMMITMENT FILE NO: 20-33638-7
SCHEDULE BI PART I, EXCEPTIONS
- ITEMS SHOWN ARE REFERENCES TO PROPERTY 3 ONLY.
15. NONEXCLUSIVE SIDEWALK/BIKE PATH EASEMENT IN FAVOR OF THE CHARTER TOWNSHIP OF GENOA AS RECORDED IN INSTRUMENT NUMBERS 2008R-026270, 2008R-028271, 2008R-026273, 2008R-026274, 2008R-030102, 2008R-030103 AND 2008R-033404 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL AS SHOWN)
 16. GAS STORAGE AGREEMENT AND OIL AND GAS LEASE IN FAVOR OF PANHANDLE EASTERN PIPE LINE COMPANY IN LIBER 332 PAGE 259 AND AFFIDAVIT OF NOTICE OF INTENTION TO RETAIN MINERAL RIGHTS IN LIBER 694 PAGE 20 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 17. EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 653, PAGE 411 AS TO PROPERTY 3. (DOES NOT AFFECT SUBJECT PARCEL)
 18. JOINT UNDERGROUND RESIDENTIAL DISTRIBUTION RIGHT OF WAY AGREEMENT IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY IN LIBER 1494 PAGE 388 AS TO PROPERTY 3. (APPLIES AND AFFECTS SUBJECT PARCEL, 12' WIDE EASEMENT WHERE LINES INSTALLED. NO LINES MARKED AT TIME OF SURVEY.)
 19. TERMS & CONDITIONS OF AGREEMENT FOR GRANT OF CROSS EASEMENTS IN LIBER 1497 PAGE 385 AS TO PROPERTY 3. (PARCEL 3 IS BENEFICIARY OF AGREEMENT)
 20. BUILDING AND USE RESTRICTIONS AND OTHER TERMS, COVENANTS, CONDITIONS, AGREEMENTS, OBLIGATIONS AND EASEMENTS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604 (C), TRANSFER FEE COVENANT AND/OR LIEN TO SECURE ITS PAYMENT DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1491 PAGE 247, LIBER 1503 PAGE 51, AND LIBER 1503 PAGE 852 AS TO PROPERTY 3. (PARCEL 3 IS SUBJECT TO AGREEMENTS & EASEMENTS)
 21. ANY MATTER ARISING RELATIVE TO THE STAKE SURVEY OF SUBJECT PROPERTY IN LIBER 1507 PAGE 968 AS TO PROPERTY 3. (ACCESS EASEMENT DESCRIBED IN DOCUMENT, BENEFITS PARCEL AS SHOWN, GRANTED IN DECLARATION OF RESTRICTIONS SEE ITEM 20.)
 22. EASEMENT GRANTED TO LIVINGSTON COUNTY DRAIN COMMISSIONER, DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1519 PAGE 854 AS TO PROPERTY 3. (SUBJECT PARCEL IS PART OF THE ADDED DRAINAGE DISTRICT AS SHOWN)
 23. TERMS & CONDITIONS OF THAT CERTAIN WARRANTY DEED AS RECORDED IN LIBER 2893, PAGE 10, LIVINGSTON COUNTY RECORDS, ASSAME PERTAIN TO THE TRANSFER OF DIVISIONS UNDER SECTION 109(3) OF THE SUBDIVISION CONTROL ACT OF 1967, AS AMENDED AS TO PROPERTY 3. (SUBJECT TO 0 DIVISIONS GRANTED)

LEGAL DESCRIPTION FROM TITLE REPORT:

PROPERTY 3:
SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, TO-WIT:

PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION, NORTH 02° 00' 53" WEST, 1927.24 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, SOUTH 64° 46' 02" EAST (PREVIOUSLY RECORDED AS SOUTH 60° 26' 30" EAST), 429.85 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE NORTH 02° 56' 41" WEST, 110.70 FEET; THENCE NORTH 87° 03' 19" EAST, 287.12 FEET; THENCE SOUTH 02° 56' 41" EAST, 104.48 FEET; THENCE SOUTH 25° 13' 58" WEST, 141.07 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE, NORTH 64° 46' 02" WEST, (PREVIOUSLY RECORDED AS NORTH 60° 26' 30" WEST) 250.16 FEET TO THE POINT OF BEGINNING.

NOTES

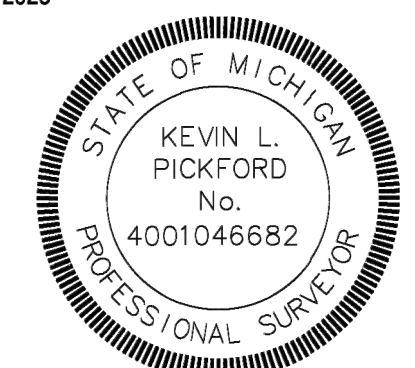
THIS SURVEY IS BASED TITLE COMMITMENT FILE NO: 20-33638-7
DATED:
MISS DIG TICKET NO: 2023011002873

BASIS OF BEARING - N02° 00' 53"W ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 5, FOR THE PURPOSE OF SHOWING ANGULAR MEASUREMENTS ONLY.

FLOOD ZONE - FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 26093C0309D DATED 9/17/2008 INDICATES THAT THIS PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD)
THIS WAS DETERMINED BY GRAPHIC PLOTTING ONLY.

CERTIFICATION

TO: FIRST AMERICAN TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(b), 11(b), 13 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN FEBRUARY OF 2023
DATE OF PLAT OR MAP: MARCH 16, 2023



KEVIN L. PICKFORD, P.S.
LICENSED PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 4001046682
DATE: MARCH 16, 2023
JOB NUMBER: L3750003

REGISTERED SURVEY
PLOT SCALE: 1"=30'-0"

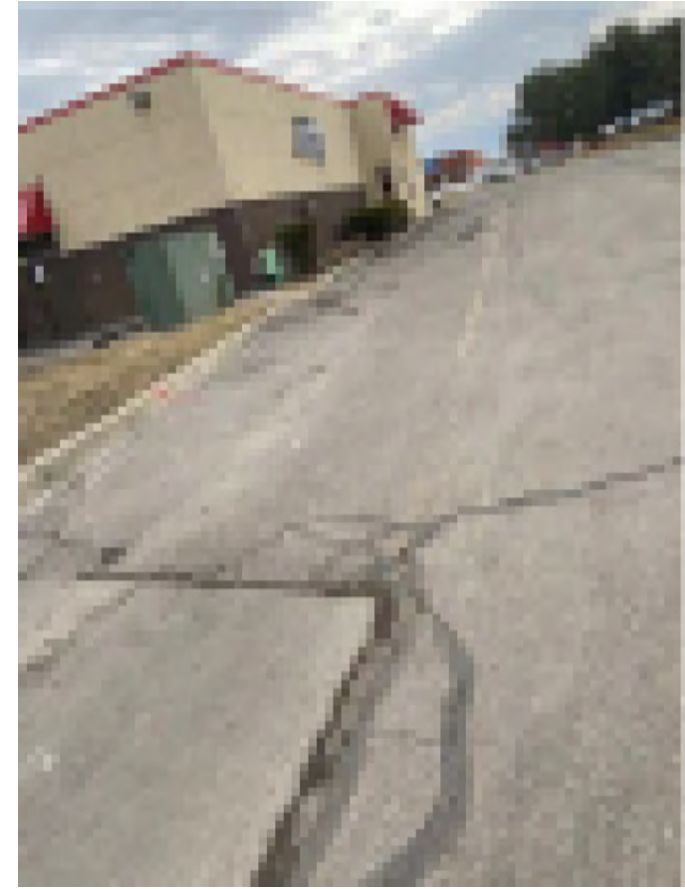
<p>1800 INDIAN WOOD CIRCLE ANN ARBOR MI 48106 TEL: 419.891.2222 FAX: 419.891.1595</p> <p>PROJECT DATE: 01/24/2023 PROJECT NO.: L3750003 DRAWN BY: JDB/PCW</p>	<p>PREPARED FOR: LAKE FENTON MANAGEMENT FENTON, MICHIGAN</p>	<p>PROPOSED RENOVATION FOR: ARBYS HOWELL GRAND RIVER Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843 Livingston County - Genoa Township Michigan</p>	<p>REGISTERED SURVEY</p> <p>NO. DATE BY DESCRIPTION</p>	<p>NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE/FIELD CHECK ALL EXISTING CONDITIONS PRIOR TO THIS REPRESENTATION DAY. AS-BUILT CONDITIONS.</p> <p>Arby's Store #6081 Exist 1992 model: 179 1/2094/3093 Contact: JOE /JAMIE CRAWFORD: 810-750-3423 CRAWFORDARBYS@YAHOO.COM</p>																		
<p>Mannik Smith GROUP www.MannikSmithGroup.com</p>		<p>ALTA / NSPS LAND TITLE SURVEY</p>																				
<p>C.H.E.W. LAND MANAGEMENT, L.L.C. 3639 EAST GRAND RIVER AVE., HOWELL MICHIGAN</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>12-13-23</td> <td>2nd submit SPR</td> </tr> <tr> <td>2</td> <td>10-23-23</td> <td>print for SPR</td> </tr> <tr> <td>1</td> <td>10-04-23</td> <td>Review for SPR</td> </tr> </tbody> </table>			REV	DATE	DESCRIPTION	5			4			3	12-13-23	2nd submit SPR	2	10-23-23	print for SPR	1	10-04-23	Review for SPR
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<p>DRAWN BY: C. BALL DATE: 08.12.23 JOB NUMBER: APPROVED BY:</p>		<p>SHEET NUMBER: CS.1</p>																				



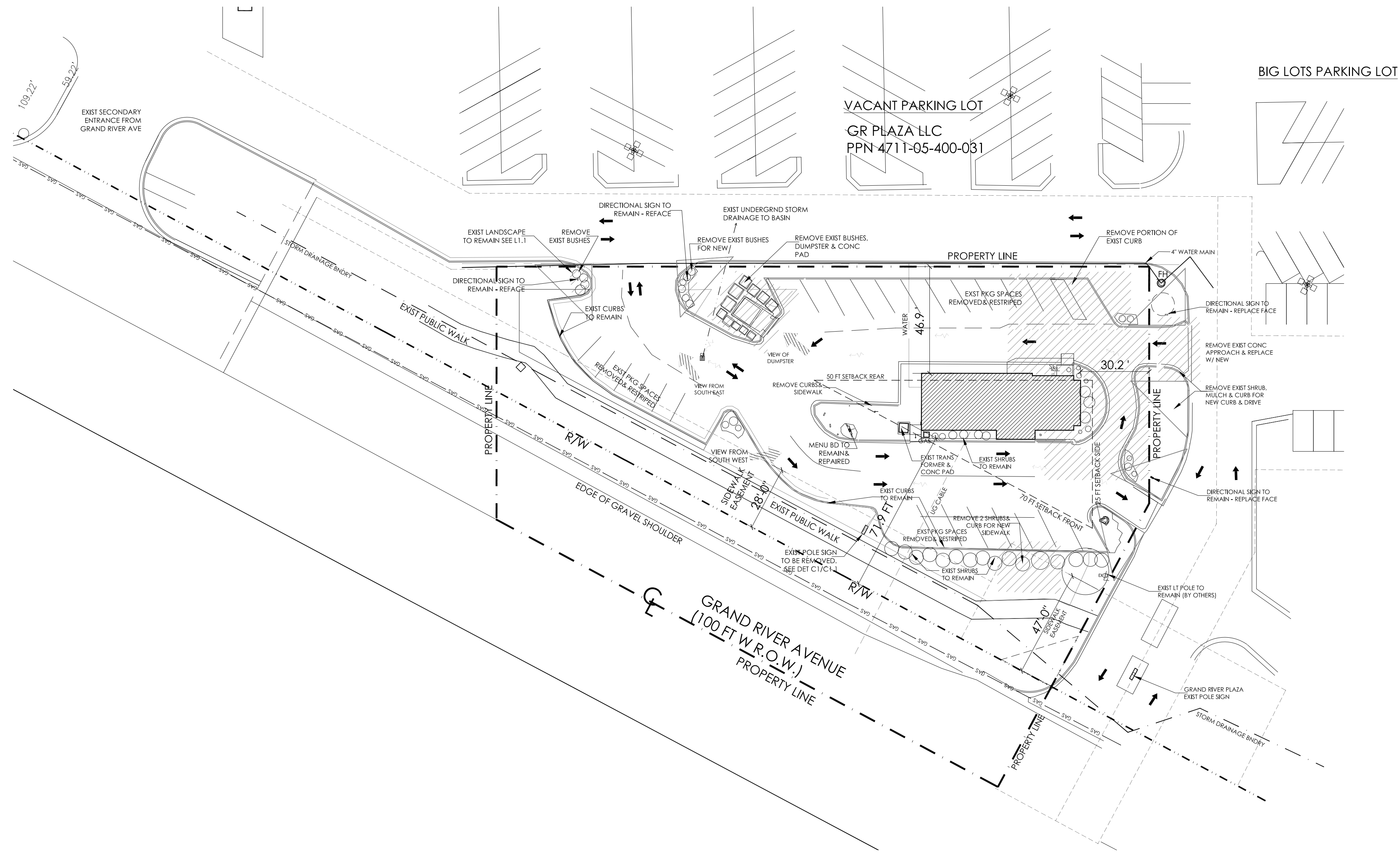
VIEW OF DUMPSTER



VIEW FROM SOUTH EAST



VIEW FROM SOUTH WEST



SITE EXISTING & DEMOLITION

SCALE: 1" = 30'-0"

OWNER & G.C. SHALL FIELD CHECK EXISTING CONDITIONS FOR FURTHER DIRECTION OF DEMOLITION

G.C. SHALL VERIFY WITH OWNER ALL ITEMS TO BE REMOVED & REUSED - OR DISPOSED OF.

EXAMPLE: EXISTING LANDSCAPE MATL. TO BE REUSED AS CONDITION PERMITS. SEE NEW LANDSCAPE PLAN - C1.5

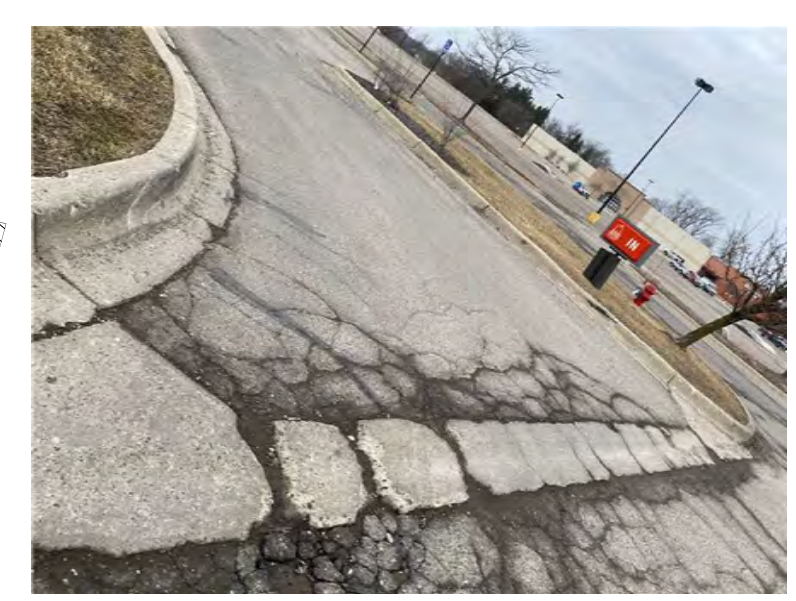
EXISTING UTILITIES: SEE SURVEY PLAN. MHOG WATER, OSCEOLA COUNTY: SEWER (NO EXISTING SITE RECORDS OF SEWER) INFORMATION PROVIDED BY GREG TATAR: DIRECTOR OF UTILITIES - GREG@MHOG.ORG. GRAND RIVER PLAZA DEVELOPMENT - 1991, 2007 & 2009

811 CALL BEFORE YOU DIG!
1-800-482-7171

SITE EXISTING
SITE DEMO



VIEW FROM EAST



VIEW FROM SOUTH EAST

VIEW FROM SOUTH EAST

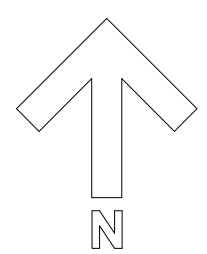
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arbys Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arbys #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	10-23-23	print for SPFR			
5	10-11-23	owner review for SPFR			
4	08-08-23	permit submit Genoa Livingston			
3	07-18-23	Arch review			
2	07-06-23	Photometrics			
1	06-21-23	Prelim landscape, lighting	7	12-13-23	2nd submit SPFR

DRAWN BY: C. BALL
DATE: 06-15-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
**C-EX
1.0**

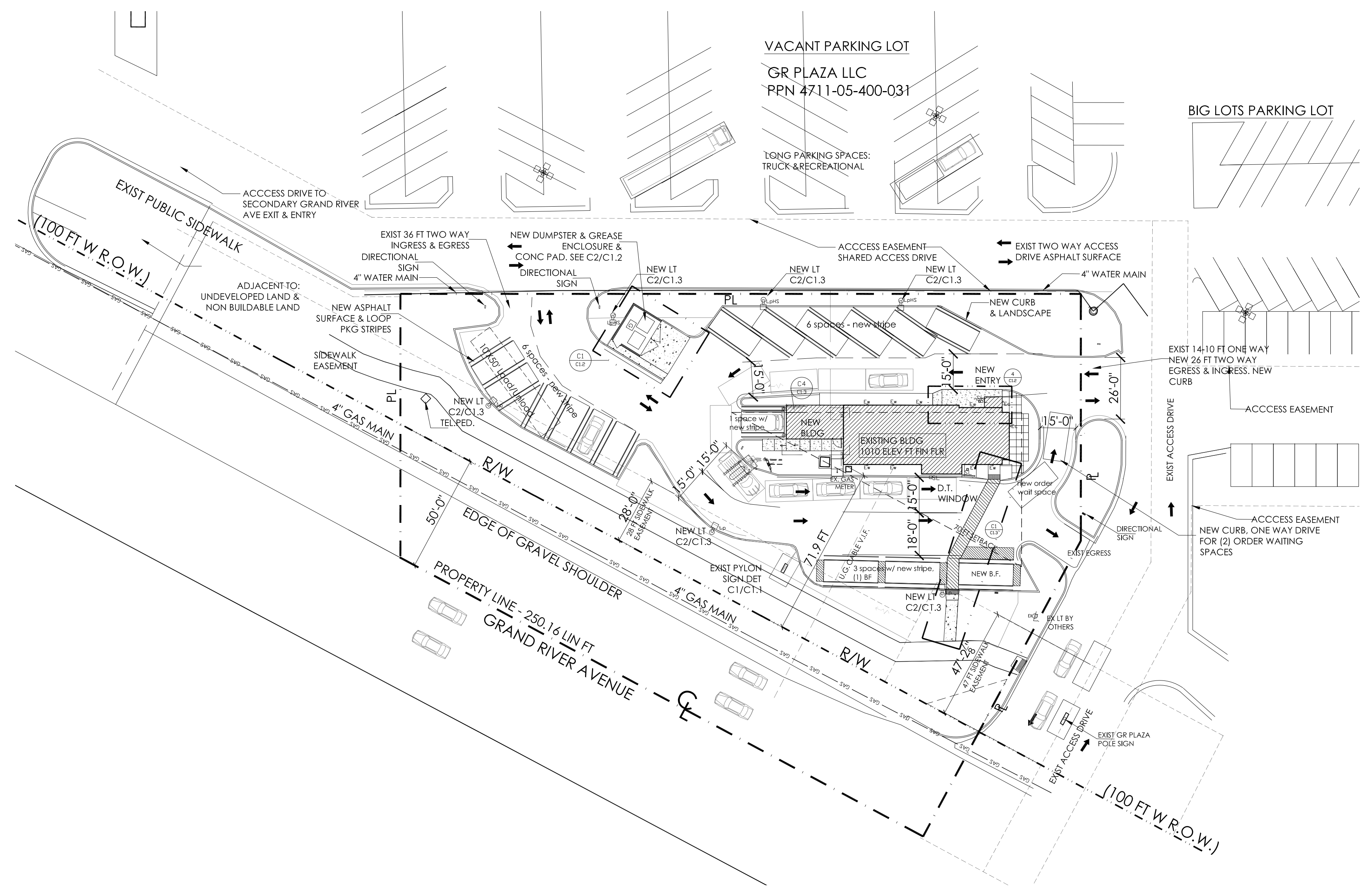


PARKING INFO

Parking Standards: ART 14.05.BF: 21 spaces provided requires 1 BF space: 12 ft x space length, ART 14.06.04 angled 30 deg = 9 ft x 21 ft. Drive by aisle one way = 15 ft. ART 14.06.05 Stacking size 9 ft x 20 ft. ART 14.06.07 loop stripe at 3-4" wide and 18-24" apart. Required parking spaces:

REQUIREMENTS FOR PARKING: GENOA TWP ZONE - RCD/GCD GENERAL COMMERCIAL DISTRICT. ART 14.04	REQD	PROVIDED:
Drive-in Restaurant 1 space for each employee in addition to spaces for customers of service stations, plus any parking required for indoor seating	4-5 spc	Provided 5 sp
Drive-through restaurant 1 space per 70 sq. ft. gross leasable floor area or 0.5 spaces per seat, whichever is greater, plus 3 designated drive-through short term waiting spaces, plus 10 stacking spaces for drive through service, plus at least 2 longer spaces designated for recreational vehicles and semi-trucks Employee can park in lot to the north when a scheduled delivery with truck occurs. Or a dedicated schedule for deliveries can be arranged. Additional 2 longer spaces for truck & recreational spaces provided north side.	34 seats / 2 = 17 spaces Additional: 2 long parallel spaces provided on vacant lot to the north.	16 pkg sps, 10 Stacking + 2 order waiting sps. Additional: 2 long parallel spaces provided on vacant lot to the north.

NOT USED

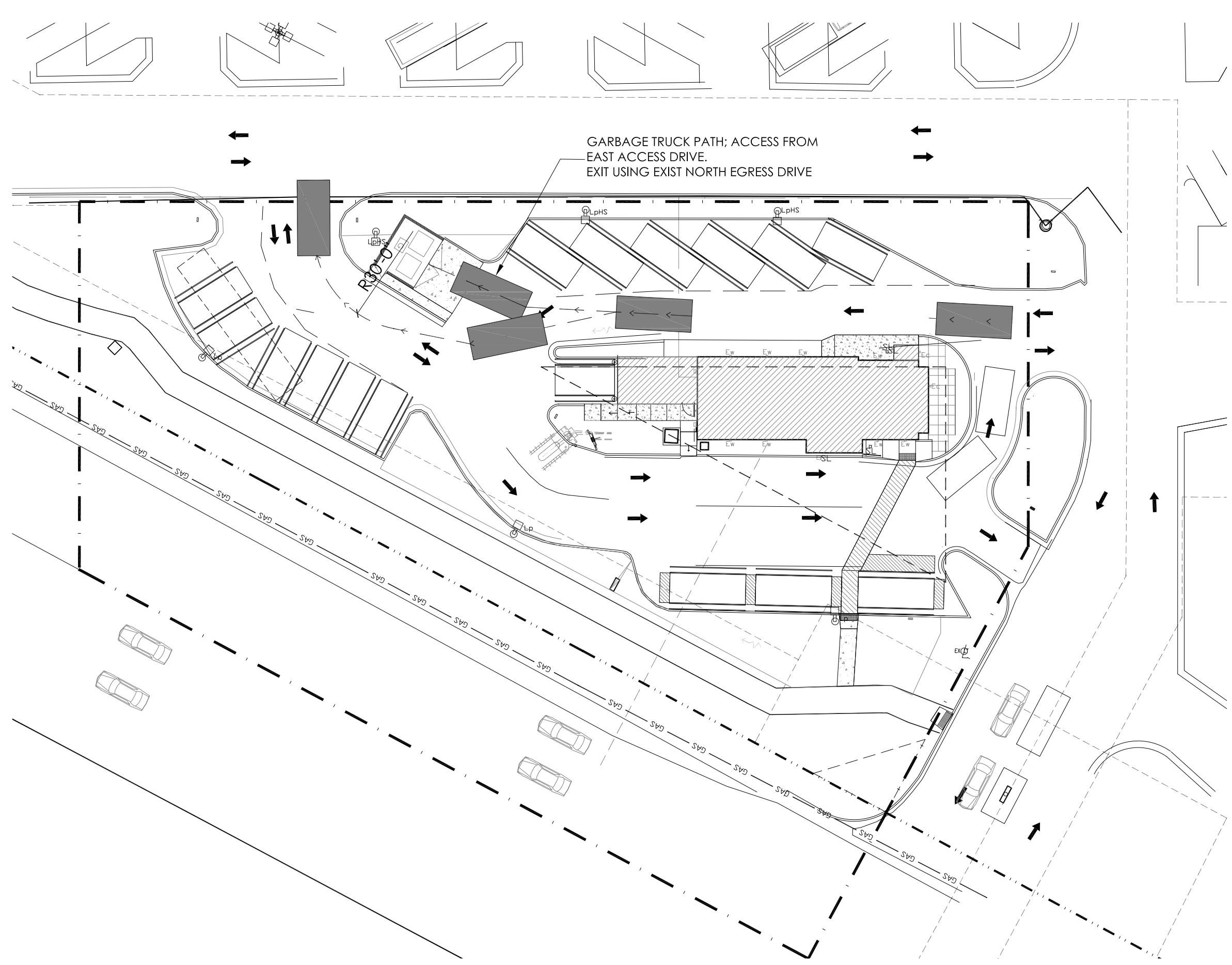


SITE PLAN

SCALE: ENGINEERING: 1" = 30'-0"
 1) SURVEY SUPPLIED BY MANNIK SMITH T. JOHNSON
 2) SURVEY DRAWING ON CS. 1
 3) BLDG AREA PER SURVEY 1769 SF + NEW ENTRY 35 SF + NEW COOLER BLDG 324 = (359), TOTAL 2128 NEW GROSS SF
 OWNER'S: JOE & JAMIE CRAWFORD;
 CHEW LAND MANAGEMENT LLC- 111 EAST COURT STREET STE 2C3 FLINT, MI 48802
 PROPERTY COMMERCIAL
 UNIT: 4711 GENOA CHARTER TOWNSHIP
 PARCEL ID: 4711-05-400-029
 PREV DEV 12-05-1990 - HOWELL SHOPPING CENTER

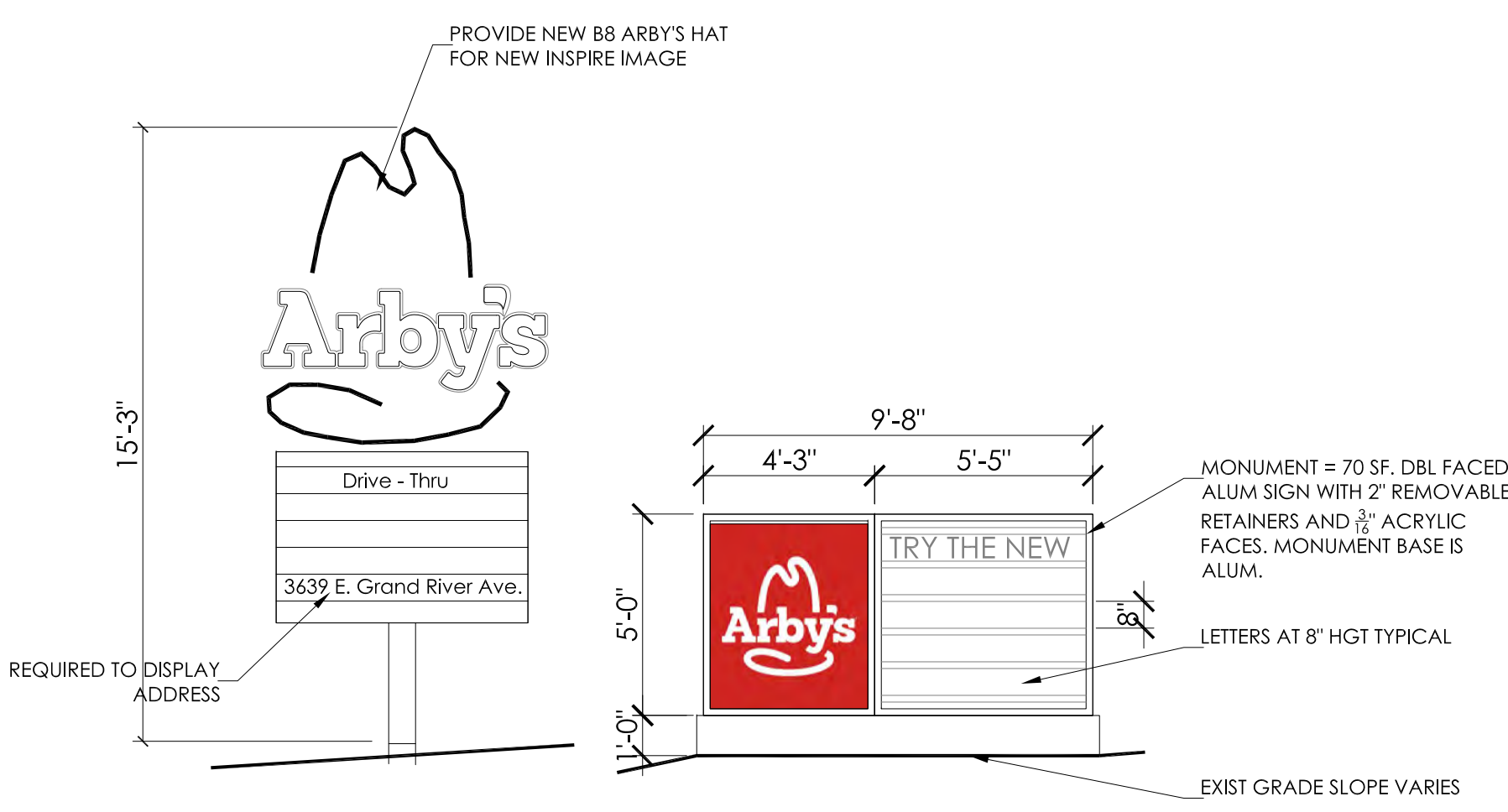


EXISTING ROAD SIGN
ALONG GRAND RIVER AVE.



VEHICLE CIRCULATION PLAN

SCALE: ENGINEERING: 1" = 30'-0"
 GARBAGE TRUCK PATH: ACCESS FROM EAST ACCESS DRIVE. EXIT USING EXIST NORTH EGRESS DRIVE
 GARBAGE TRUCK (FRONT LOADER) SIZE: 22'-10" L X 9'-10" W, CAP OF 40 YARDS.
 REQD MIN 50 FT STRAIGHT ACCESS IN FRONT OF DUMPSTER - PROVIDED.
 TURNING RADIUS OF 28 FT FOR inside front tire, 34.5 FT for outside front tire. With 4 FT bumper ovhg



SIGN DETAIL

SCALE: 1/4" = 1'-0"
 SIGN PERMITTING THROUGH GENOA TWP OFFICE. INTENT IS TO PROVIDE NEW MONUMENT SIGN AT SAME LOCATION. BUILDING SIGN INFO SEE ELEVATION A2.1. EXIST SURVEY & NEW BY DESIGN TEAM SIGN COMPANY LLC.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
 Arby's Store #6081 Exist 1992
 model: 179 / 2094/3093
 Contact: JOE / JAMIE CRAWFORD: 810-750-9423
 CRAWFORDARBY@YAHOO.COM

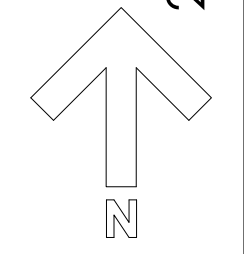
PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
 Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
 Livingston County - Genoa Township Michigan

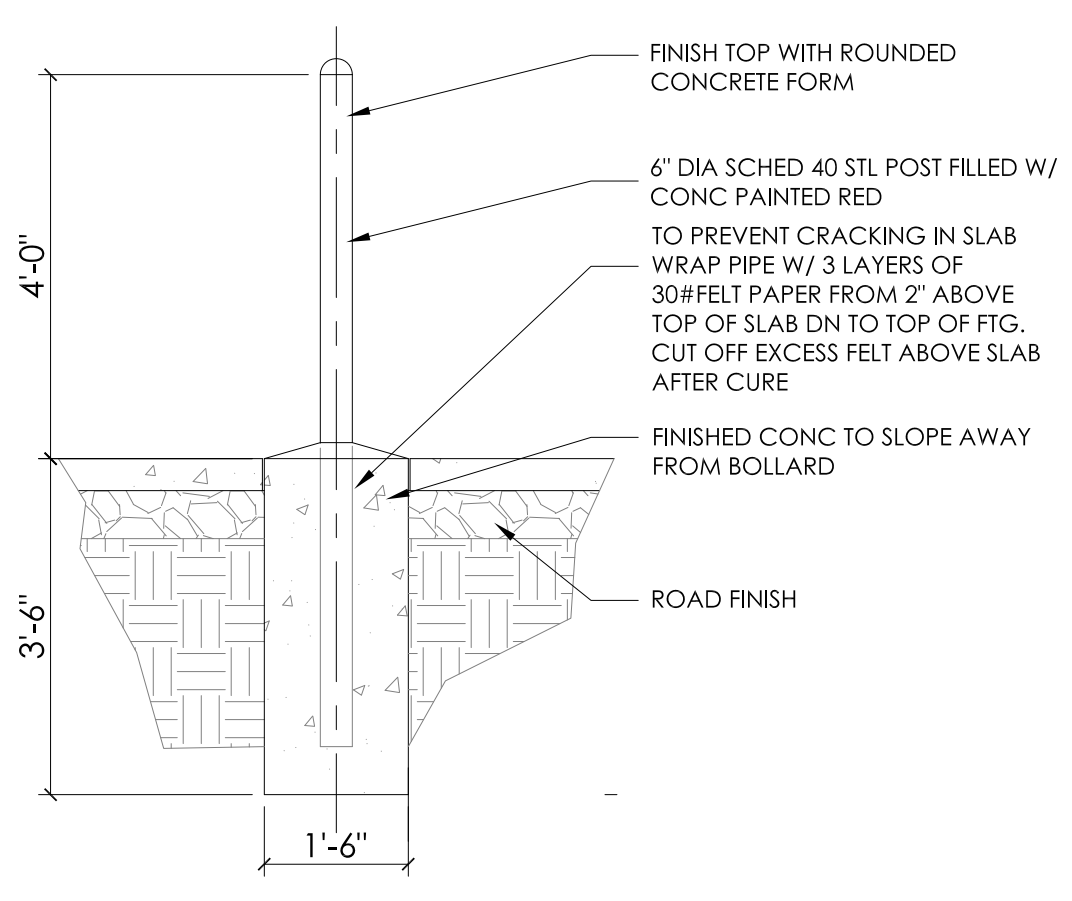
REV	DATE	DESCRIPTION
1	07-08-21	Owner request land into expand
2	07-15-21	Improved Aerial background
3	10-11-21	Arch review
4	11-18-21	Owner review for SFR
5	05-17-23	3rd Corp Review
6	06-19-23	cooler signs owner
7	08-21-23	exterior lights
8	07-18-23	Arch review
9	08-09-23	permit submit Genoa Livingston
10	10-11-23	owner review for SFR
11	10-23-23	print for SFR
12	12-13-23	2nd submit SFR

DRAWN BY: C. BALL
 DATE: 02-16-21
 JOB NUMBER:
 APPROVED BY:

SHEET NUMBER:
C
1.1

2ND SUBMIT SPR

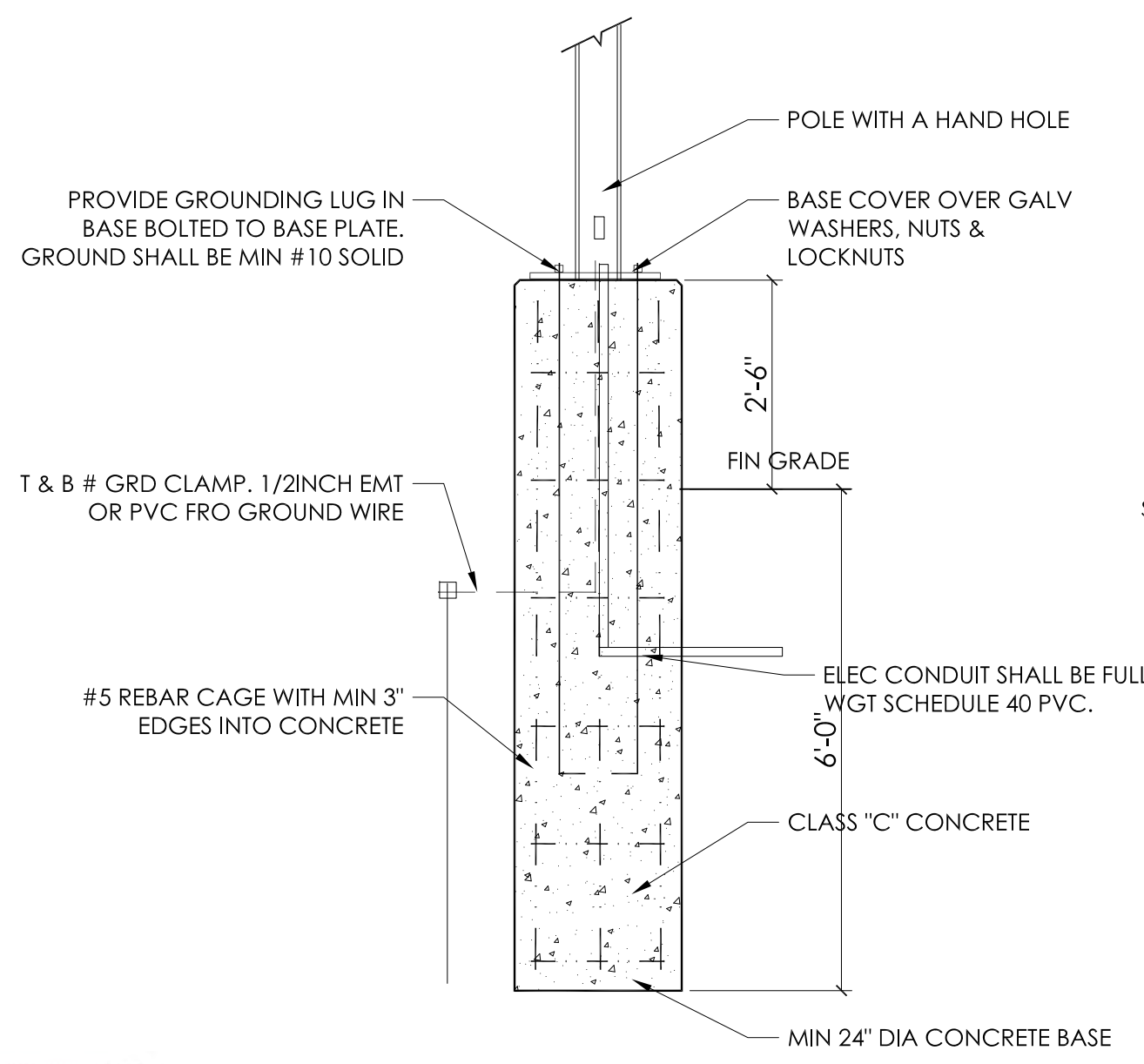




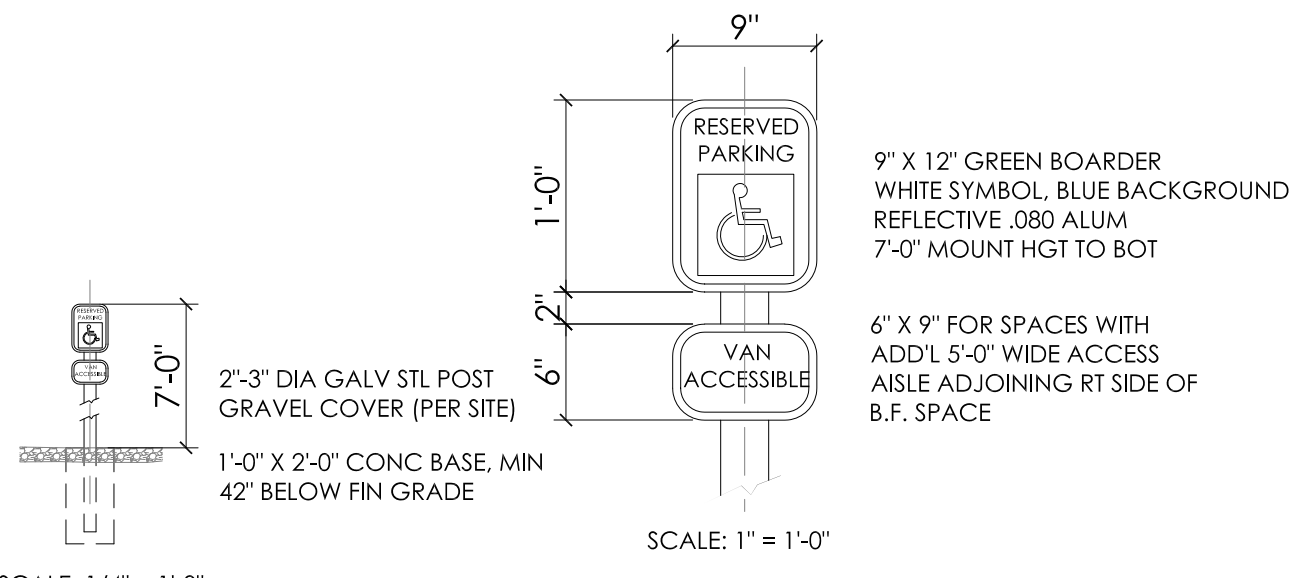
C6
C1.2
BOLLARD DETAIL
SCALE: 1/2" = 1'-0"
REPLACE EXIST BOLLARDS AS REQD



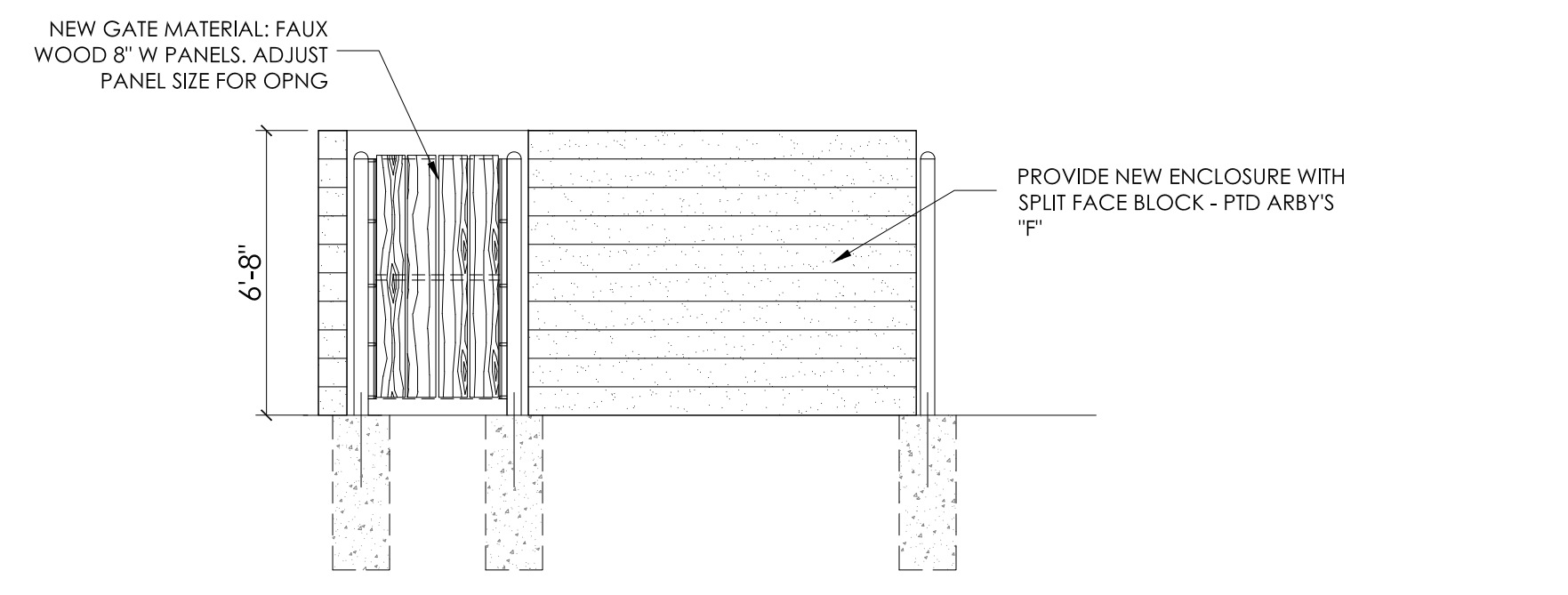
C5
C1.2
FIRE LANE SIGN
SCALE: 3/4" = 1'-0"
REFER TO C1.1 FOR SIGN LOCATIONS



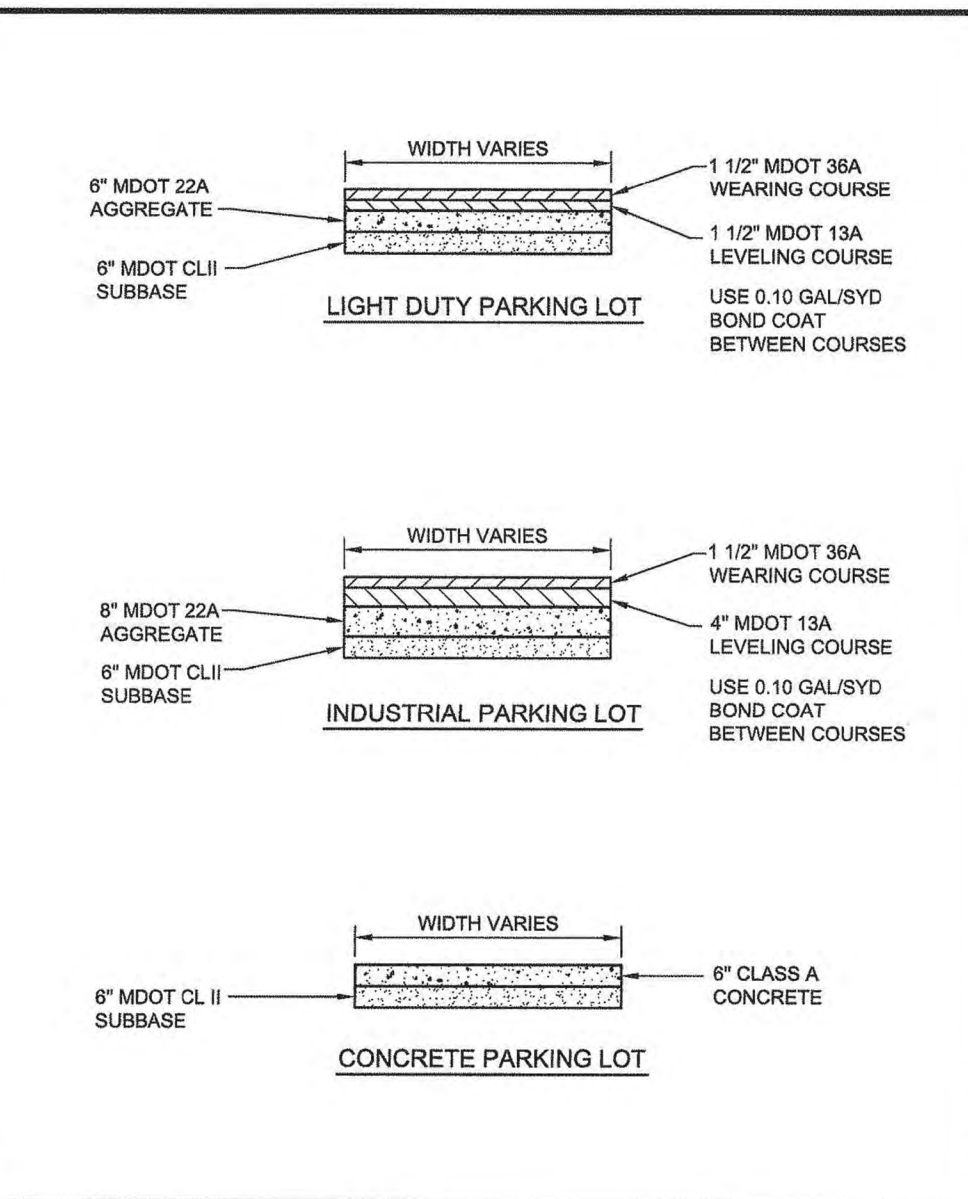
C4
C1.3
LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"



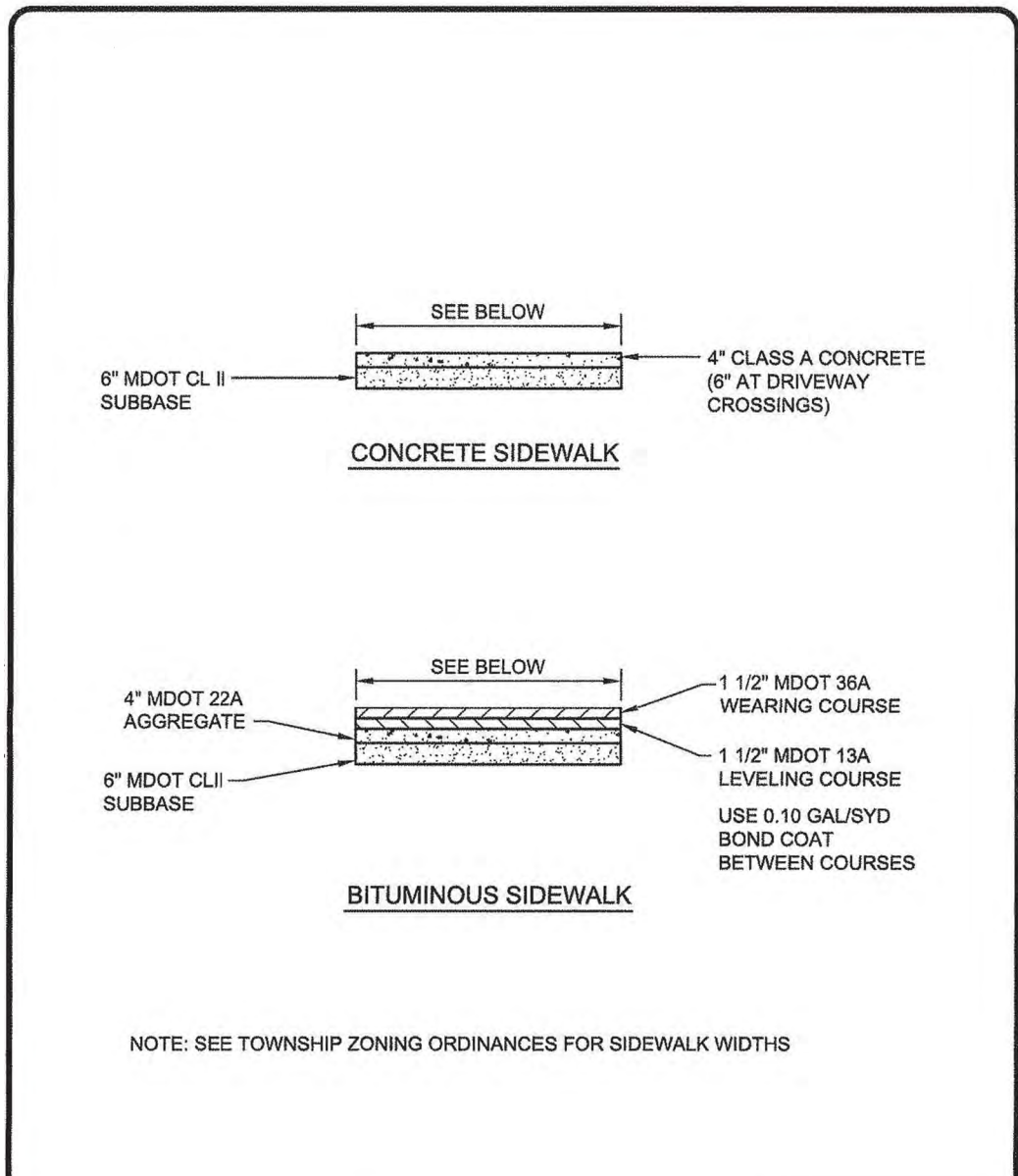
C3
C1.2
ADA / BF SIGN DETAIL
SCALE: EA VIEW



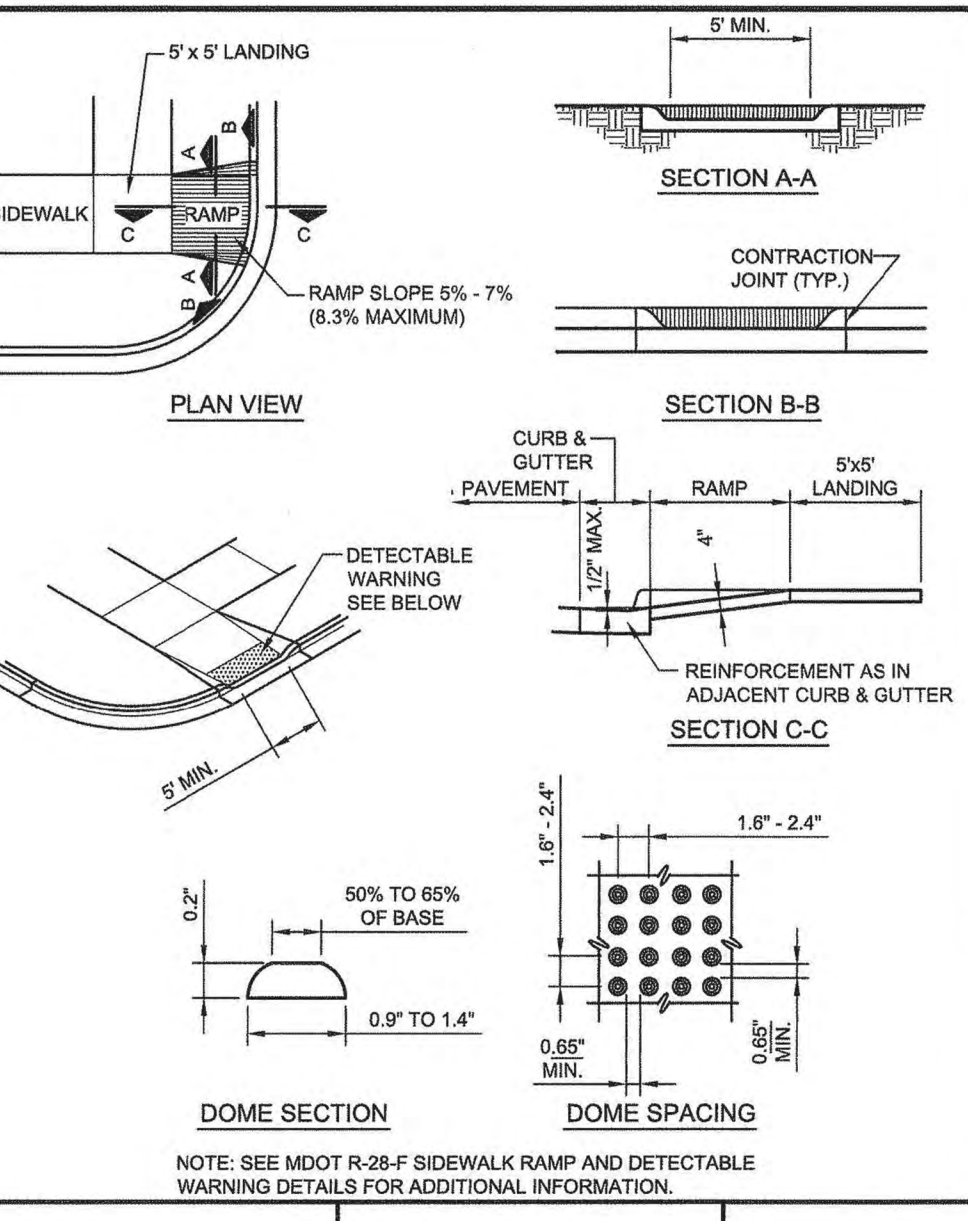
C2
C1.2
DUMPSTER GATE & DETAILS
SCALE: 1/4" = 1'-0"



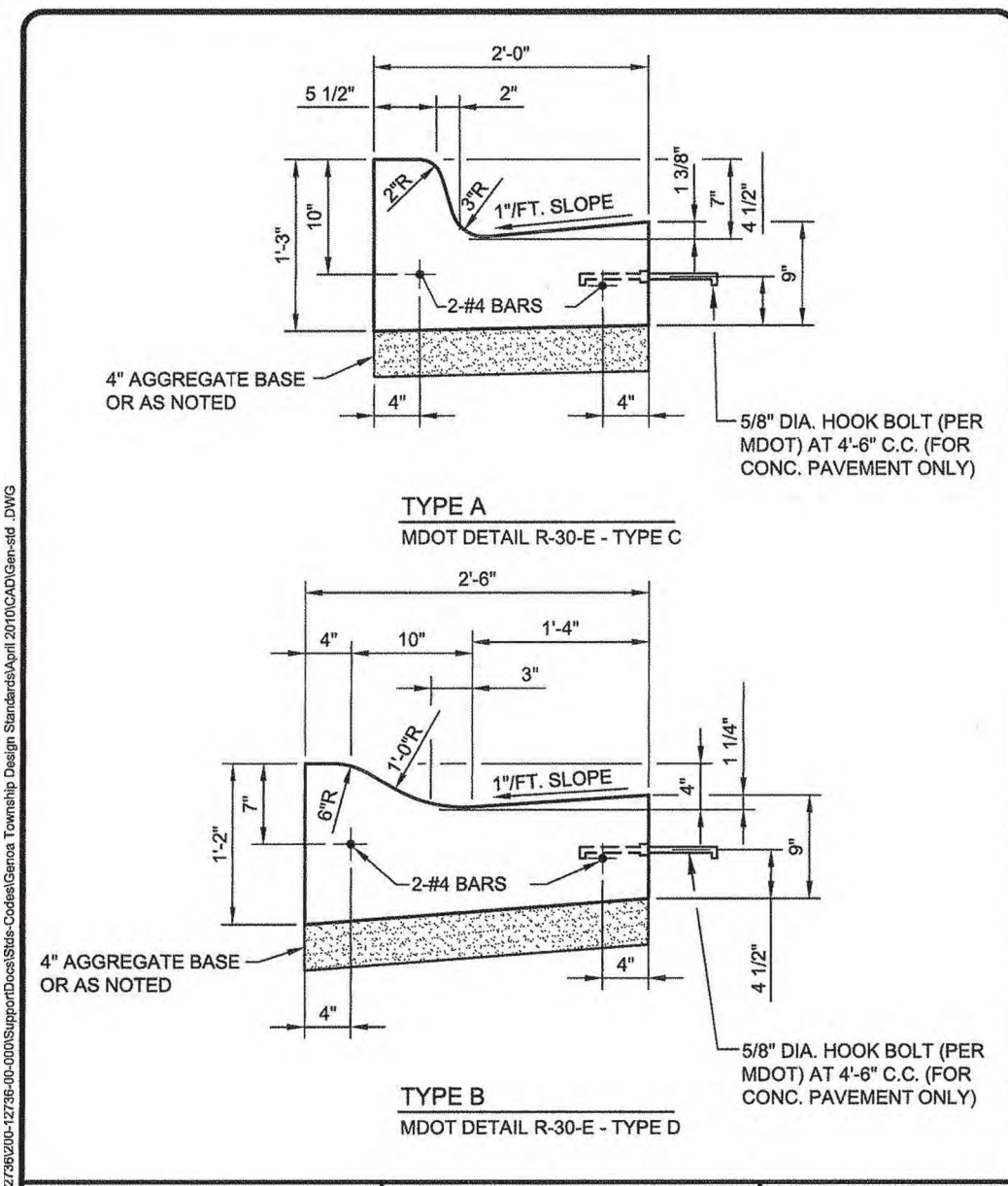
G-6
PARKING LOT CROSS SECTIONS
Date: APRIL 2010



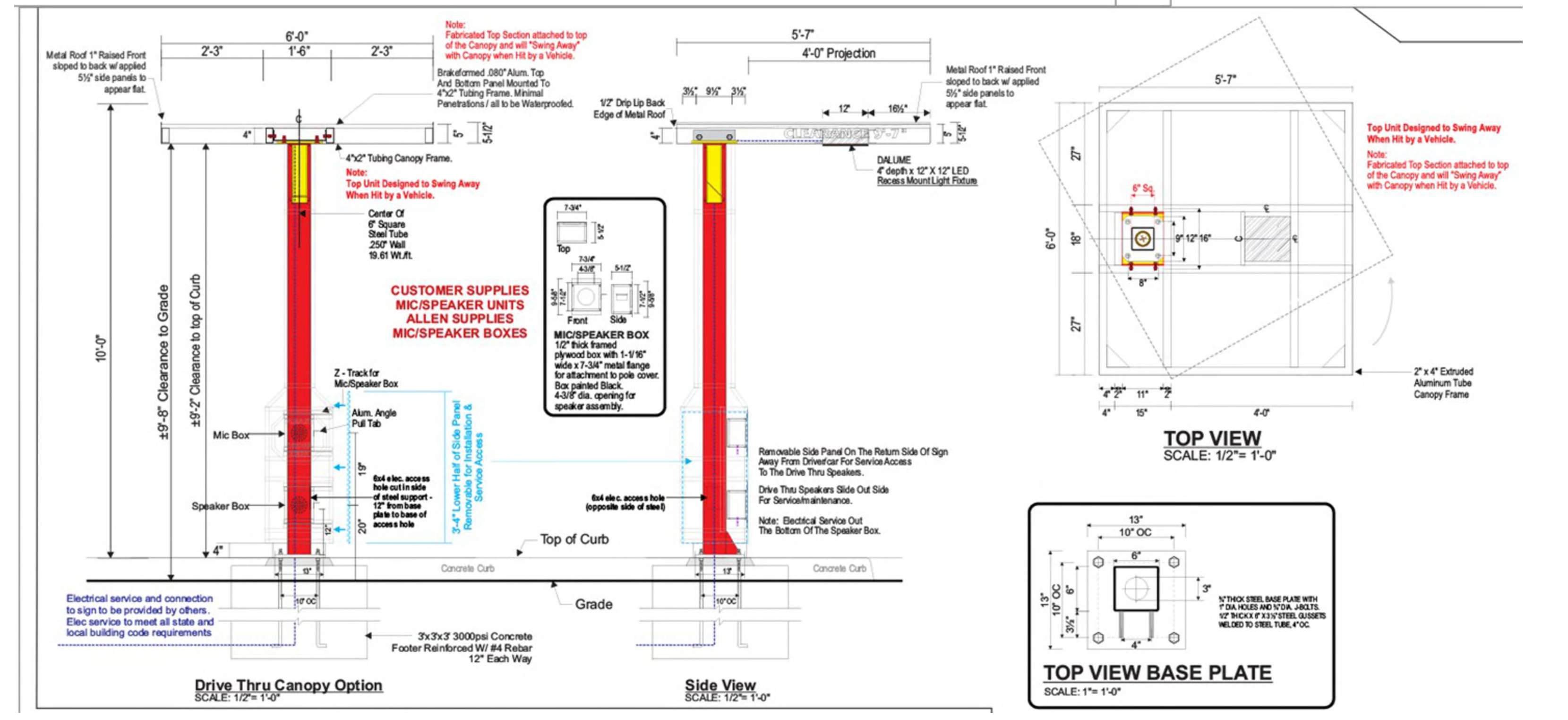
G-7
TYPICAL SIDEWALK CROSS SECTIONS
Date: APRIL 2010



G-3
SIDEWALK RAMP
Date: APRIL 2010



G-1
CONCRETE CURB & GUTTER
Date: APRIL 2010



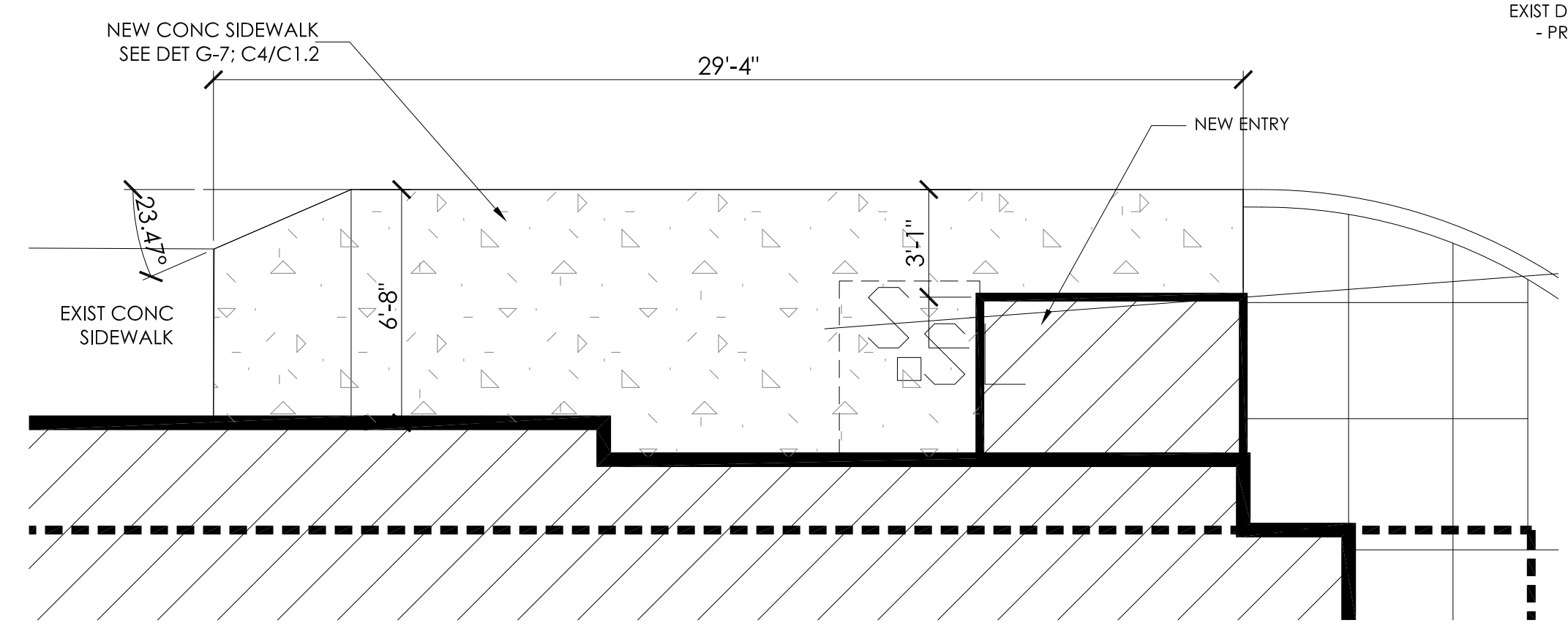
C1
C1.2
DRIVE THRU CANOPY DETAILS
SCALE: 1/2" = 1'-0"
REFERENCE FOR G.C. OWNER SHALL CONTRACT WITH CANOPY SUPPLIER FOR SHOP DRAWINGS & ORDER FOR G.C. TO INSTALL.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
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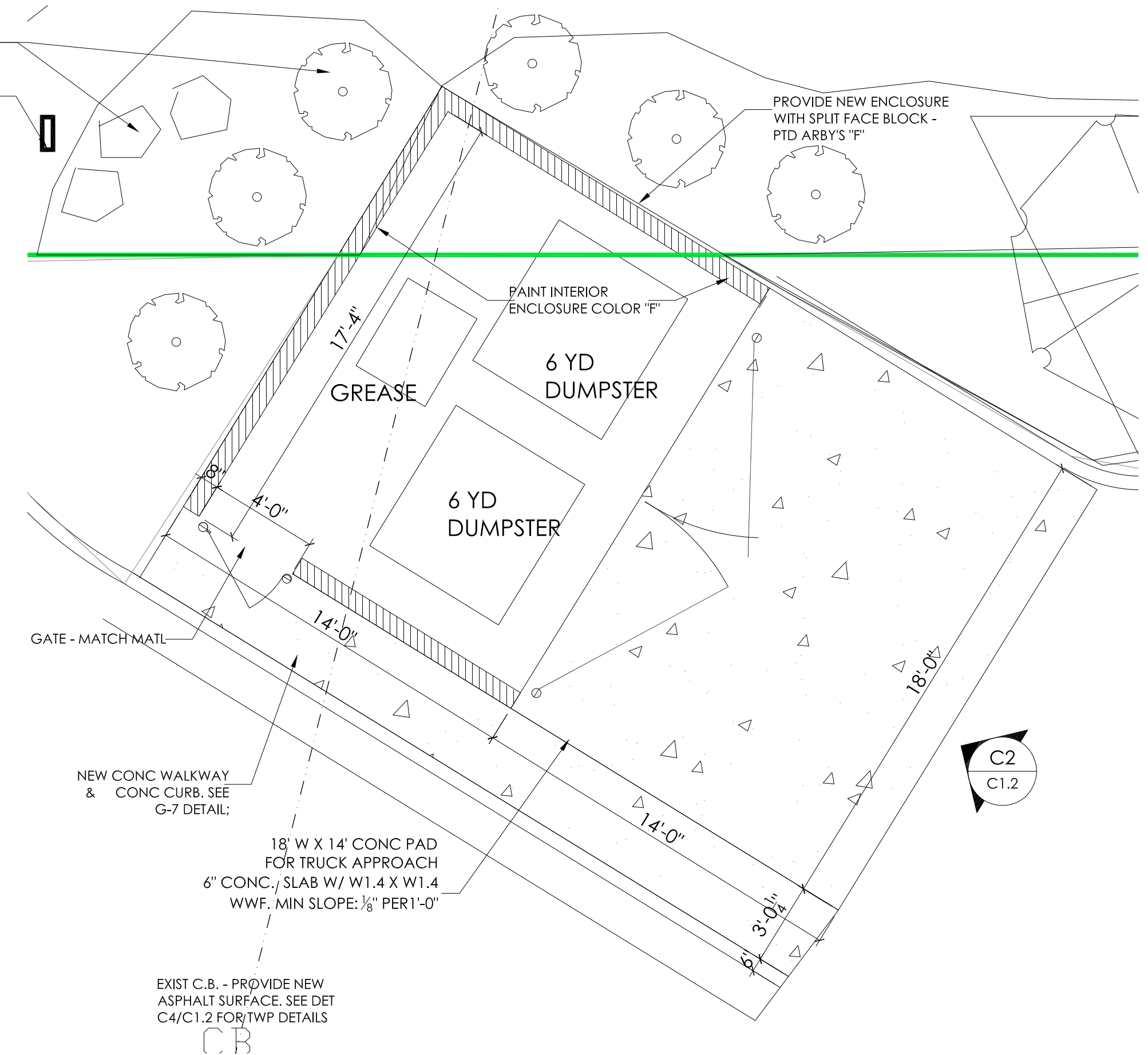
PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
6	08-09-23	permit submit Genoa Livingston
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4	04-24-23	owner meet
3	08-25-20	Corporate review
2	05-05-20	Preliminary review
1	04-23-20	Preliminary review

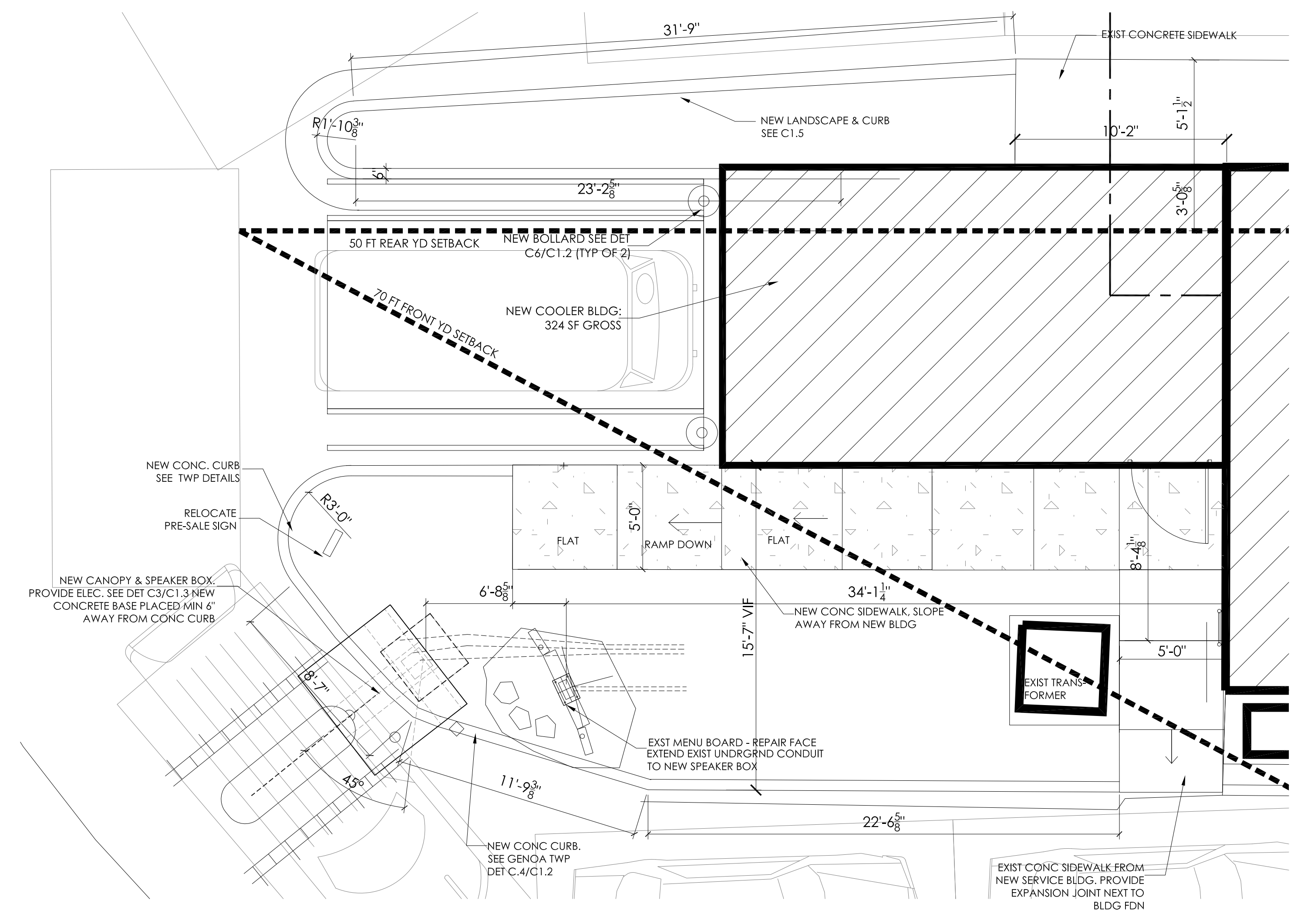
DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:



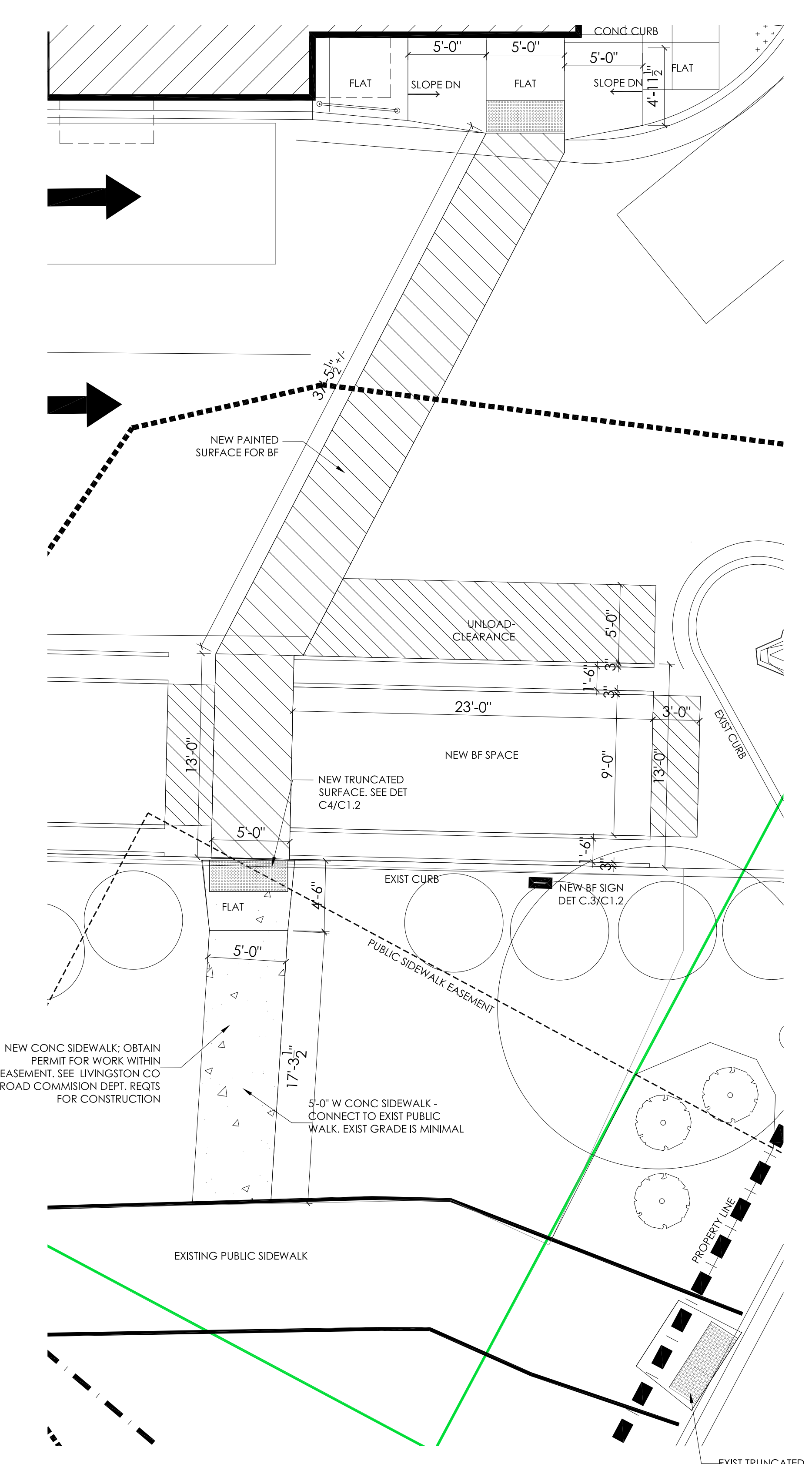
C4
C1.3 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



C1
C1.2 DUMPSTER DETAIL
SCALE: 1/4" = 1'-0"



C4
C1.3 PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



C1
C1.3 NEW B.F. SIDEWALK
SCALE: 3/16" = 1'-0"

NOTE TO G.C. - ALL EXISTING SITE SHALL BE FIELD MEASURED
PRIOR TO COST TAKEOFF & NEW CONSTRUCTION

SCHEMATIC PROPOSAL FOR A NEW RAMP TO EXISTING PUBLIC
SIDEWALK- ALL TOPOGRAPHY SHALL BE ESTABLISHED PRIOR TO
CONSTRUCTION

ANSI SECT 405 RAMP DESIGN STANDARDS; new sidewalk
required along routes to span changes in level greater than
1/2inch require curb ramp.

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE
REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS
AND THIS REPRESENTATION AGAINST ALL APPLICABLE CONDITIONS.
THIS REPRESENTATION IS NOT A WARRANTY.

Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBY'S HOWELL GRAND RIVER

Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
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1	04-23-20	Preliminary review
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8	12-19-23	2nd submit SPR
9	10-23-23	print for SPR

DRAWN BY: C. BALL
DATE: 01-20-20
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C
1.3

LANDSCAPE REQUIREMENTS & PROPOSAL

GENOA TOWNSHIP ORD SECTION 7.03 GCD ZONING; Max Lot Coverage required: Bldg 35% coverage and Impervious surface 75% coverage. Overall property: 48523 SF. Overall within ROW: 35,373 SF. 35% of 35,373 SF = 12,381 SF. 75% of 35,373 = 26,530 SF

Bldg: 1,769 SF. + 359 SF Bldg = 2128 SF Total Impervious; (Bldg +pavement+sidewalk) = 24,256 SF < 26,530 allowable. ** Added 700 SF new grass area

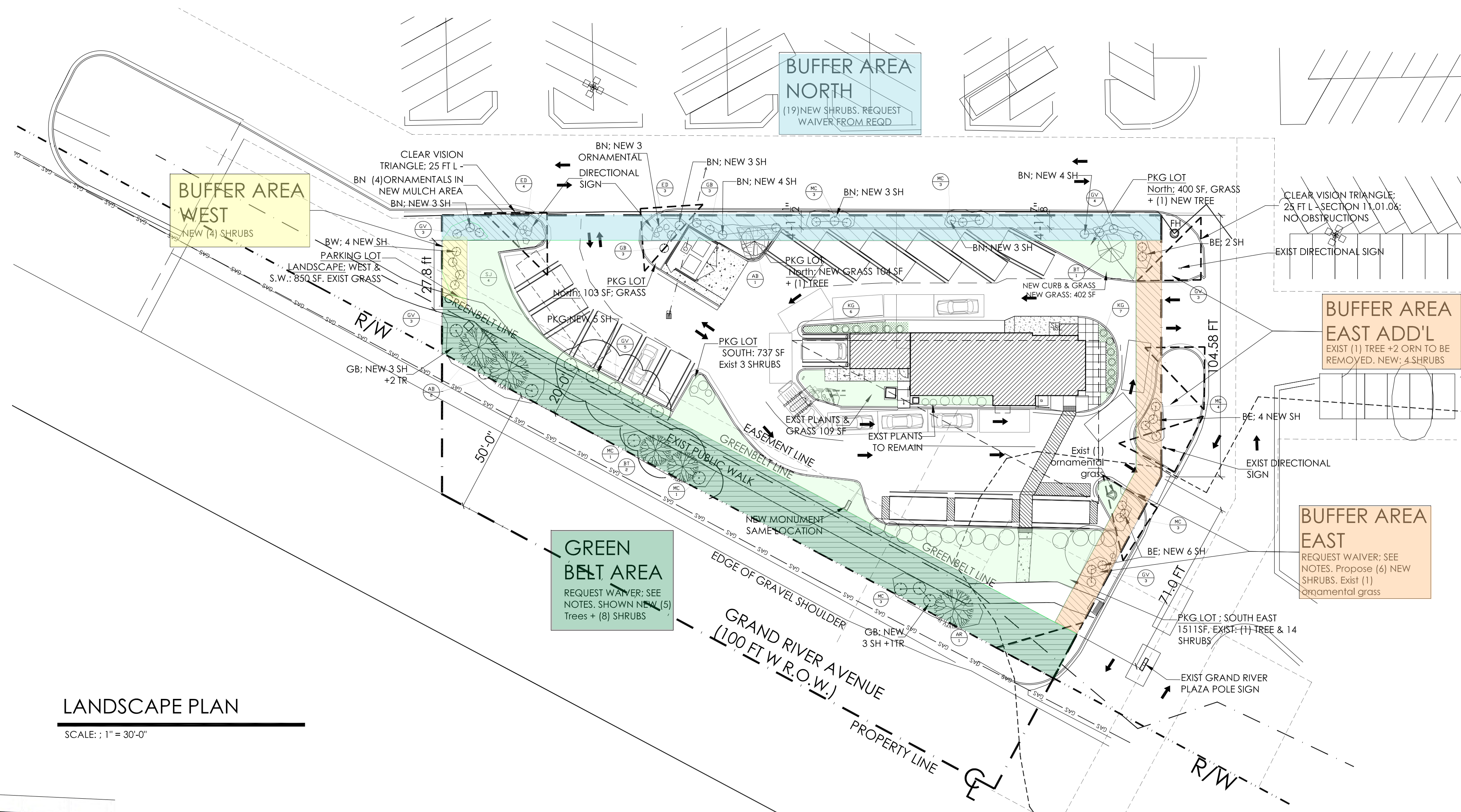
CLEAR VISION TRIANGLE: 25 FT L - SECTION 11.01.06: no obstructions at intersections. used to place new landscape.

No fence, wall, or structure shall be erected, established, or maintained on any lot which will obstruct the view of drivers in vehicles approaching the intersection adjacent to a corner lot or a driveway on any lot. Fences, walls, or structures located in the triangular area described below shall not be permitted to exceed a height of thirty six (36) inches above the lowest point of the intersecting road(s).

SECTION 12 - LANDSCAPE:

QTY'S	DESCRIPTION
5T 8 SH	1) GREENBELT: 20 FT W. Requires (1) Canopy tree per 40 Lin Ft of frontage. Thus, 276.5 Lin Ft / 40 = 6.9 = 7 Trees. Substitution of evergreen allowed for 50% of req'd. Rest of are to be plant materials. REQUEST WAIVER: Small area because of existing public sidewalk. Propose NEW (5) Trees + (8) Shrubs with natural grouping.
OT 6 SH	2) BUFFER AREA TYPE C: Zone GCD/RCD abuts commercial requires: (1) Canopy tree or (4) shrubs per 20 Lin Ft along Property Line. Min width of 10 Ft. Thus:
OT 4 SH	EAST along Service drive - 51 Lin Ft: 51 / 20 = 3: 3 x 4 = 12 shrubs OR 1 T + 8 SH OR 2T + 4 SH. REQUEST WAIVER: With clear vision area - not enough space for requirement. Propose (6) new shrubs with (1) exist ornamental grass
OT 4 SH	EAST add'l: 104.5 Lin Ft, 104.5/20 = 5.2 x 4 = 20 Shrubs OR 2T + 12 Shrubs OR 3T + 8 Shrubs. REQUEST WAIVER: With two clear vision triangle + two drives creates limited property for new. Propose (4) shrubs
OT 19 SH, 7 ORN	NORTH along service drive - 287 Lin Ft: 287 / 20 = 14.35 x 4 = 56 shrubs OR 4T + 40 SH OR 6T + 32 SH. REQUEST WAIVER from required Buffer. Min width of 10 FT NOT AVAILABLE. Existing avg 6'-0" +/- thus new trees would not survive. Proposal to provide (19) shrubs + (7) Ornamental
OT 4 SH	WEST along vacant land zoned commercial - 27.8 Lin Ft: 27.8/20 = 1.39 x 4 = Propose (4) new shrubs
2T 2 SH	3) PARKING LOT LANDSCAPE: SECTION 12.02.04 - MIN Trees in the parking area. Space count of 10-100 requires (1) canopy tree and 100 SF of landscape area PER 10 spaces. New parking space count = 16. Required: new area of (2) Trees AND 200 SF landscape area. PROVIDED:
3 ORN 9 SH	North: Provided (2) new Trees + (2) shrub + (6) G next to new bldg with exist 437 SF grass area. Total G = 504 (77 SF new G)
1T 14 SH	West: exist 850 SF grass area South East: exist (1) Tree + (14) shrubs + 1511 SF grass area East @ parking space wait (7) G + 115 new grass
TOTALS NEW & EXIST	4) Section 12.02.09 - Mixing of Species: overall landscaping plan shall not contain more than 33% of any one plant species. See plant schedule.

(T = TREE, SH = SHRUB, ORN = ORNAMENTAL, G = GRASS)



LANDSCAPE PLAN

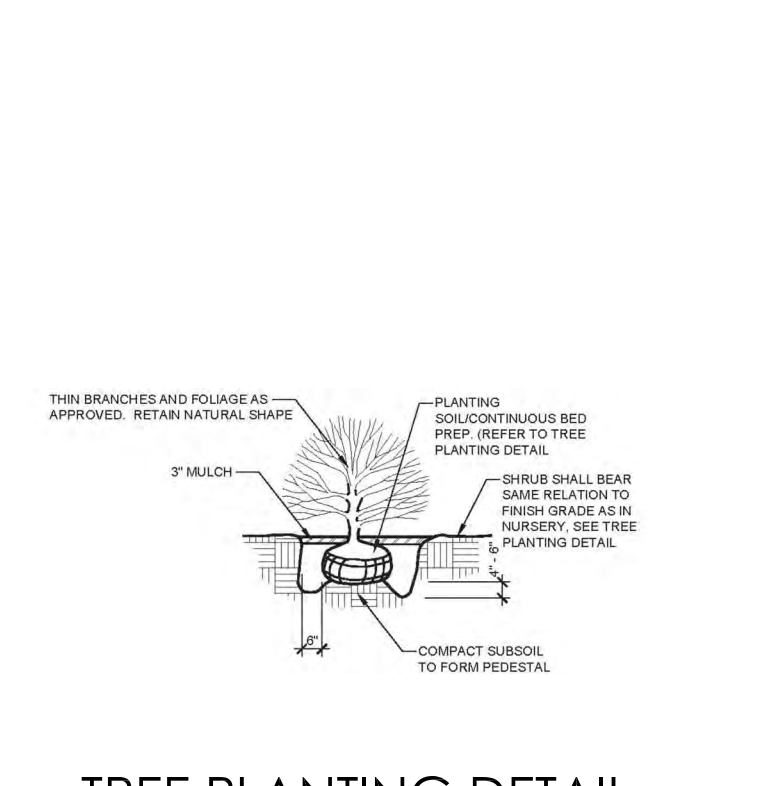
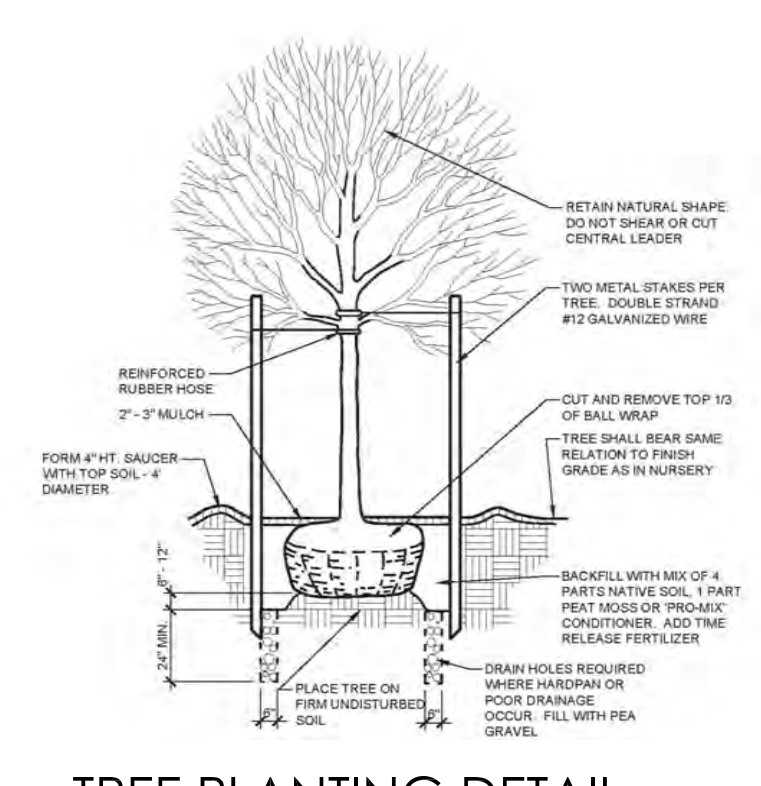
SCALE: 1" = 30'-0"

PLANT SCHEDULE

KEY	QTY	PLANT NAME	SIZE
TREES			
AR	1	ARMSTRONG RED SUNSET MAPLE-ACER RUBURM	2 1/2CAL B&B
AB	3	AUTUMN BLAZE MAPLE-ACER x freemanjii Jefersred	2 1/2CAL B&B
BT	3	BLACK TUPELO - Nyssa Sylvatica	2 1/2CAL B&B
SHRUBS			
MC	18	MAJIC CARPET SPIREA-Walburna	18-24" SIZE
GV	21	GREEN VELVET BOXWOOD-Buxus x 'green velvet'	18-24" SIZE
SJ	4	SKYROCKET JUNIPERS-Juniperus scopulorum, columnar	24-36" w 15-20'tall
GB	7	GREEN MTN BOXWOOD Buxus x 'Green Mountain'	24-36" w 4-5'tall
GRASSES			
KG	6	KARL FOERSTER GRASS(3-4HGT) Calamagostis acutiflora	36" spread, 48-72 hgt
ORNAMENTAL			
ED	7	EVERY DAYLILY-PINK WING - Hemerocallis	36" spread, 48-72 hgt

SECTION 12.02.09 Species mix proposed = total 72 new x .33 = 24-20 thus meets reqt.

NEW: 7 T 50 SH 7 ORN

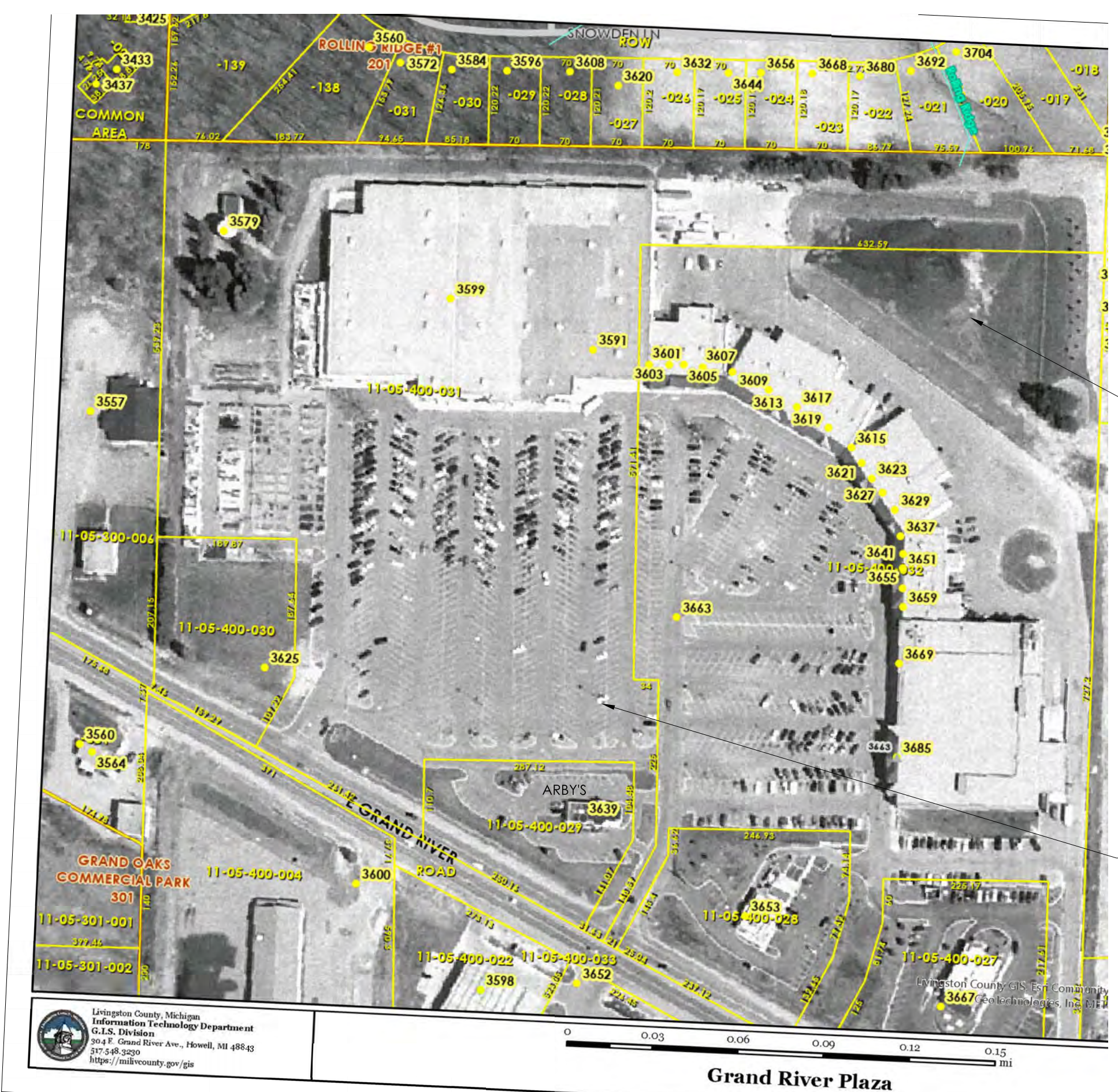


TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



AERIAL MAP 2020

SCALE: 1" = 200'

GENOA TOWNSHIP ORD SECTION DRAINAGE & TOPOGRAPHY -

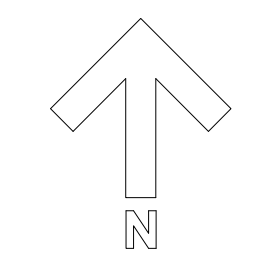
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Livingston County - Genoa Township Michigan

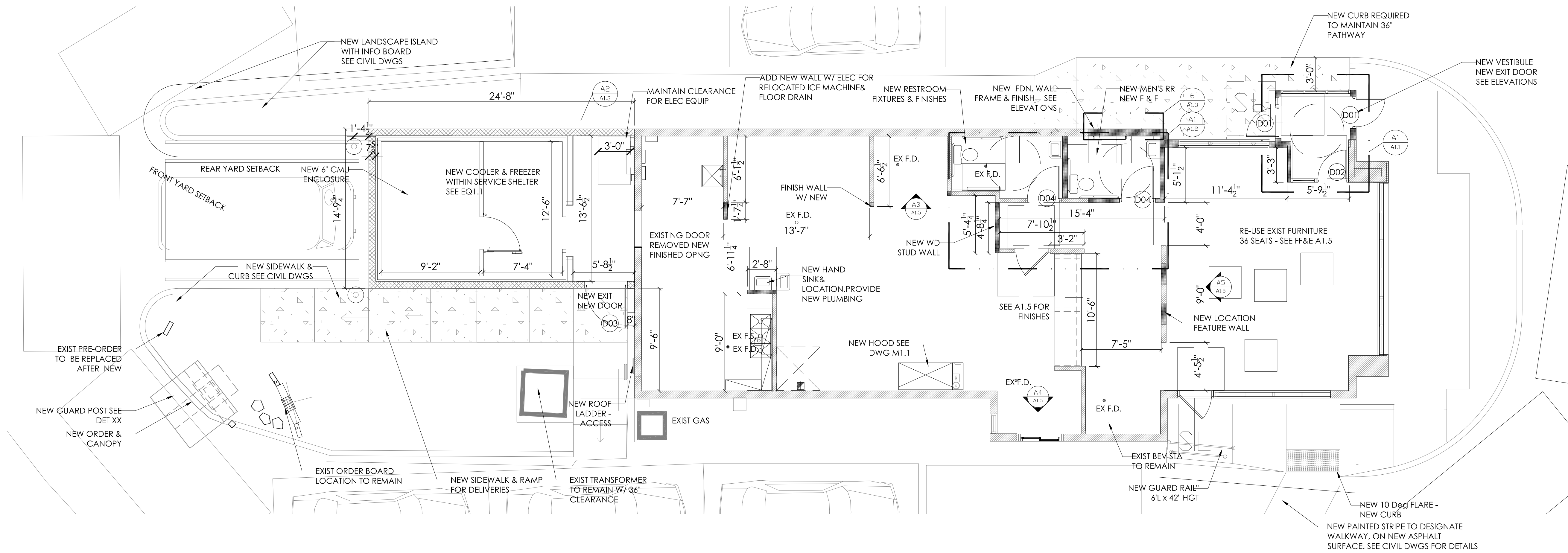
NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURED FIELD CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTATION IS NOT A WARRANTY OF ANY KIND.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-760-3423
CRAWFORDARBYS@YAHOO.COM

REV	DATE	DESCRIPTION
5		
4	12.13.23	2nd submittal SPR
3	10.25.23	print for SPR
2	10.20.23	SPR submit - clarify landscape
1	10.11.23	owner review for SPR

DRAWN BY: C. BALL
DATE: 09-21-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
C 1.5





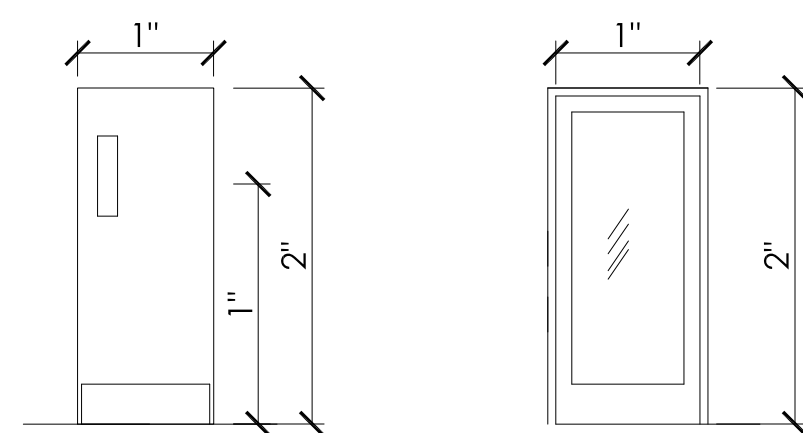
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

- 1) NEW WALL DIMENSIONS TO 1/2" GYP BD FINISH. U.N.O.
- 2) ALL DIMENSIONS FOR NEW RESTROOMS INCLUDE FINISHES. U.N.O.
- 3) SEE EQ1.1 FOR EQUIPMENT PLAN
- 4) SEE A3.1 FOR NEW DOOR SPEC + DOOR HDWR
- 5) SEE NEW FINISH LEGEND A1.3. COORDINATE WITH NEW DECOR DOCUMENTS PROVIDED BY OTHERS
- 6) BLDG FOOTPRINT = 1769 GROSS SF AREA (SURVEY)
- 7) SEE A1.4 FOR REFLECTED CEILING.

SCOPE OF WORK

- 1) PROVIDE NEW ADA INSPIRE FINISH RESTROOMS
- 2) PROVIDE NEW KITCHEN EQUIPMENT - SEE EQUIPMENT DWG
- 3) DEMOLITION OF EXTERIOR FINISHES - PROVIDE NEW INSPIRE EXTERIOR FINISHES - SEE ELEVATION DWGS
- 4) PROVIDE UPDATES TO EXTERIOR BARRIER FREE ACCESSIBILITY EXTERIOR - SEE C.1.1 CIVIL DWGS FOR DETAILS
- 5) EXTERIOR CIVIL WORK: ALL NEW SEE DWGS
- 6) TOTAL BLDG AREA: 1769SF + ENTRY 35 + COOLER BLDG 324 = 2128 SF GROSS

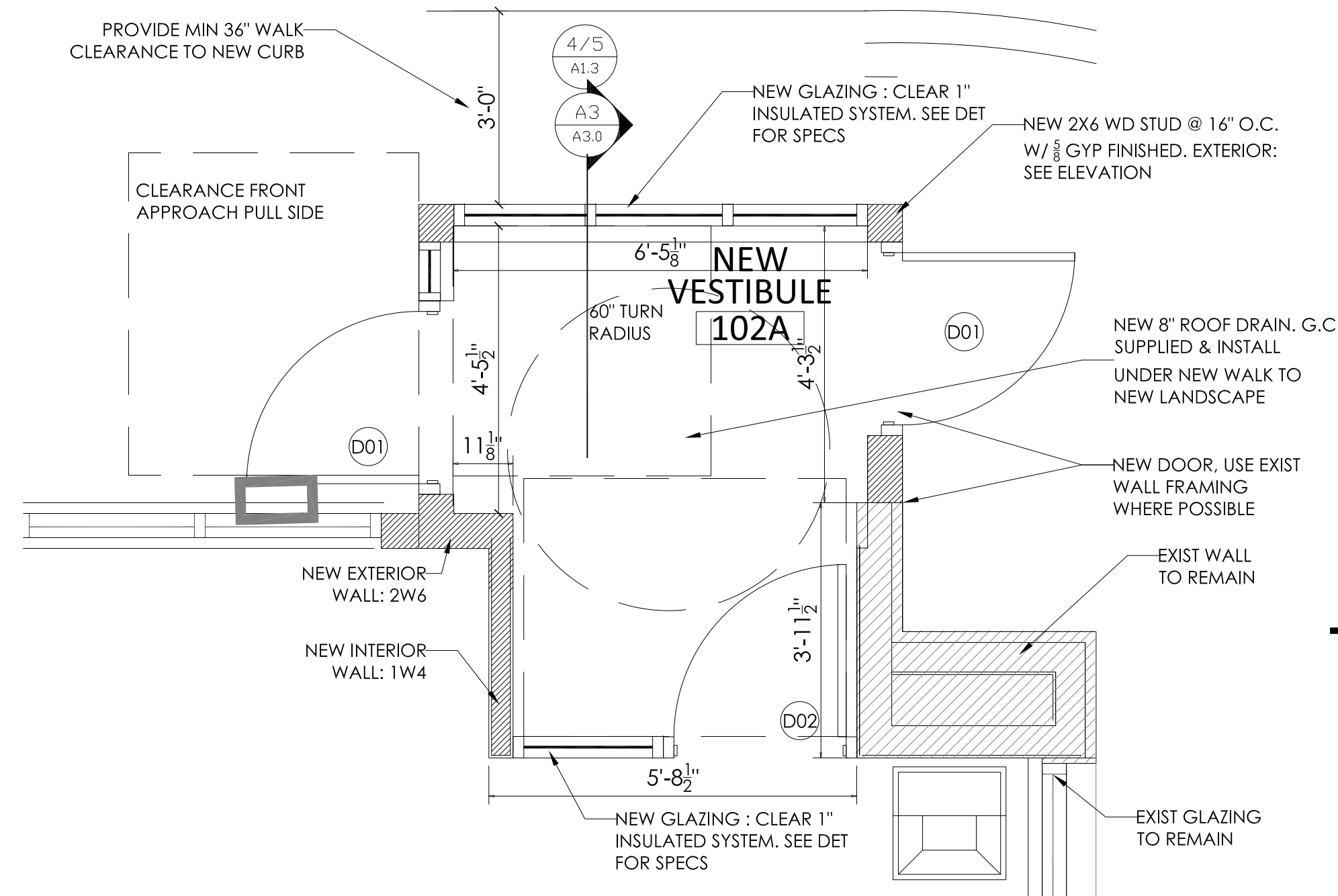


SERVICE COUNTER DOOR HALLWAY SIDE
SCALE: 1/4" = 1'-0"
EMPLOYEE DOOR TO SERVICE COUNTER. 2 SPRING HINGES.

ENTRANCE VESTIBULE DOOR
3'-0" x 7'-0" x 1 1/2" HM FRAME
TEMPERED SAFETY GLASS, ALUM STOREFRONT
WIDE STILES & RAILS. DARK BRONZE FINISH

DOOR HARDWARE & SPECIFICATIONS

- DO1: (EXTERIOR VESTIBULE/DINING ROOM)**
1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
1 DOR-O-MATIC EXIT DEVICE 1993 26D
1 SCHLAGE RIM CYLINDER 20-022 626
1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
1 IVE'S FLOOR STOP FS444 26D
1 HAGER THRESHOLD 4185 AL
1 HAGER WEATHERSTRIP 7365
1 HAGER SWEEP 7535 AL
- DO2: (INTERIOR VESTIBULE)**
1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH
1 IVE'S PULL-PUSH BAR 9103EZ-33-12-32D-NO
1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)
1 HAGER WEATHERSTRIP 7365
1 HAGER SWEEP 7535 AL
1 IVE'S WALL STOP FS438 26D
- DO3: (REAR DOOR)**
1 ROTON 780-112HD CONTINUOUS MORTISE HINGE AL 83" CLEAR
1 CAL-ROYAL 7700EO RIM PANIC 48" (EQUAL TO VON DUPRIN 99) 32D
1 CAL-ROYAL 7700NL NIGHT LATCH TRIM/ PULL
1 SCHLAGE RIM CYLINDER 20-022C 626
1 HAGER 5100 HDHOS
1 HAGER ARMOR PLATE 1935 (BEVELED 3 SIDES) 30" X 46" 32D
1 HAGER 2675 CAST FLOOR STOP 3 1/8" H 2 1/4" BASE 26D
1 HAGER 1756 185 DEGREE VIEWER 26S
1 HAGER 5415 PANIC THRESHOLD 28"X5" WIDTH W/ VINYL BUMPER STOP
1 HAGER WEATHERSTRIP 862S
- DO4: (SINGLE OCCUPANY RR)**
1 1/2 PR. HAGER HINGES ECB8 1100 26D
1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
1 SCHLAGE B571 COMMERCIAL RR INDICATOR DEADBOLT
1 HAGER PULL BAR 33L 26D 4" X 16"
1 HAGER PUSH PLATE 305 26D 4" X 16"
2 HAGER 190S KICK PLATE 32D 8" X 34"
3 SILENCERS PER DOOR
1 SIGN- MEN'S/WOMEN'S
1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D
**REMOVE INDICATOR DEADBOLT FOR MULTI OCC. RR
- DO5: (SERVICE DOOR)**
1 1/2 PR. HAGER HINGES ECB8 1100 26D
1 HAGER 3410 WITHNELL HEAVY DUTY PASSAGE SET 26D
1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
2 HAGER 190S KICK PLATE 32D 8" X 34"
1 HAGER 243F LIGHT DUTY DOME STOP HIGH
3 SILENCERS PER DOOR
1 SIGN "EMPLOYEES ONLY"



NEW VESTIBULE PLAN
SCALE: 1/2" = 1'-0"

WALLS

CONSTRUCTION
INTERIOR WALLS: 2x4 WD STUD @ 16" O.C. WITH FINISH. KITCHEN AREA USE F.R.P. PANEL SAME COLOR AS EXISTING. QUEUE AND DINING AREA SEE FF&E DWG
EXTERIOR WALLS: 2x6 WD STUD @ 16" O.C... SEE ELEVATION DWGS FOR INSPIRE FINISH

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION
15	12-13-23	2nd submit SPR

DRAWN BY: C. BALL
DATE: 02-16-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
A 1.1

ARBY'S HOWELL EXISTING



WEST ELEVATION



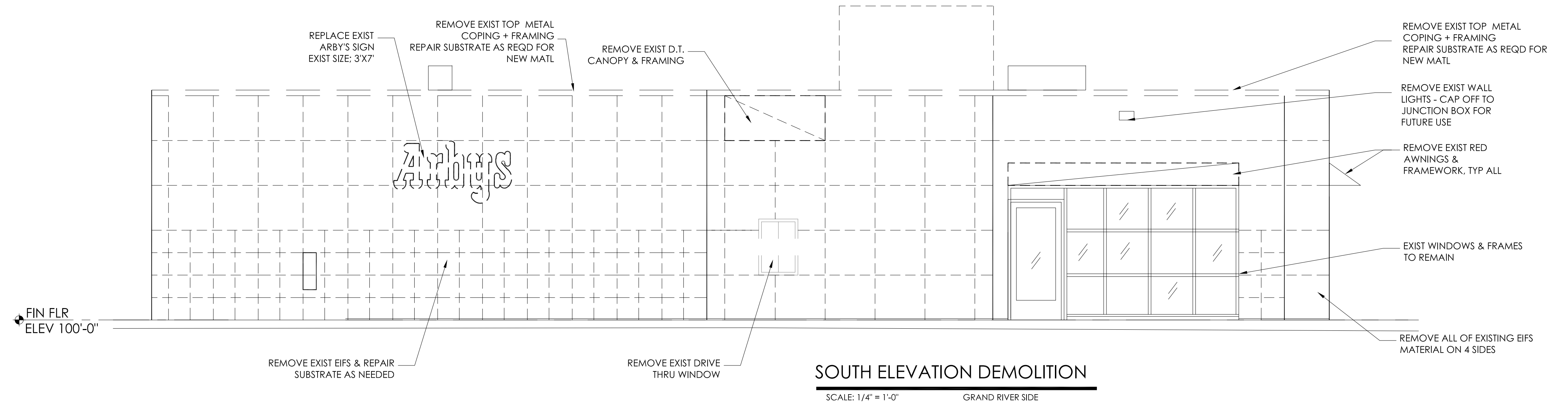
SOUTH-WEST ELEVATION



SOUTH - EAST ELEVATION

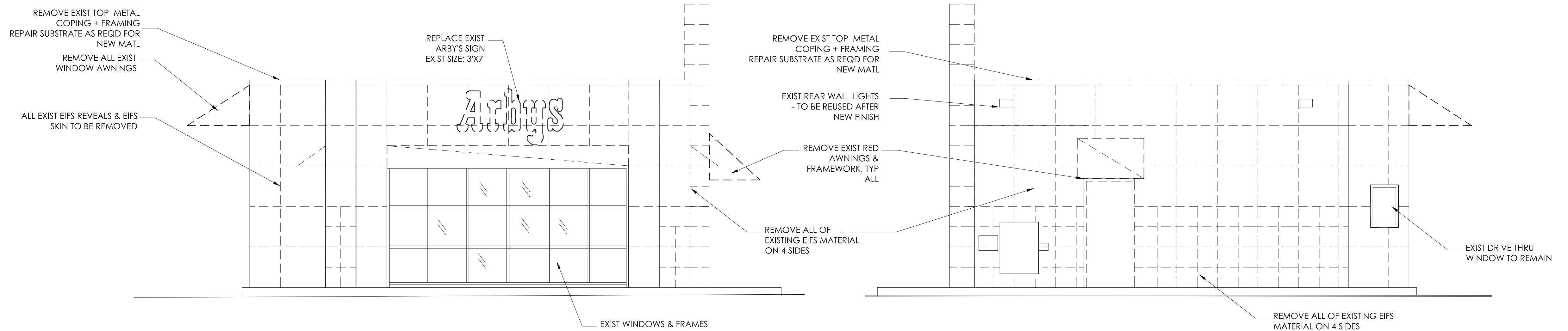


NORTH ELEVATION



SOUTH ELEVATION DEMOLITION

SCALE: 1/4" = 1'-0" GRAND RIVER SIDE



EAST ELEVATION DEMOLITION

SCALE: 1/4" = 1'-0"

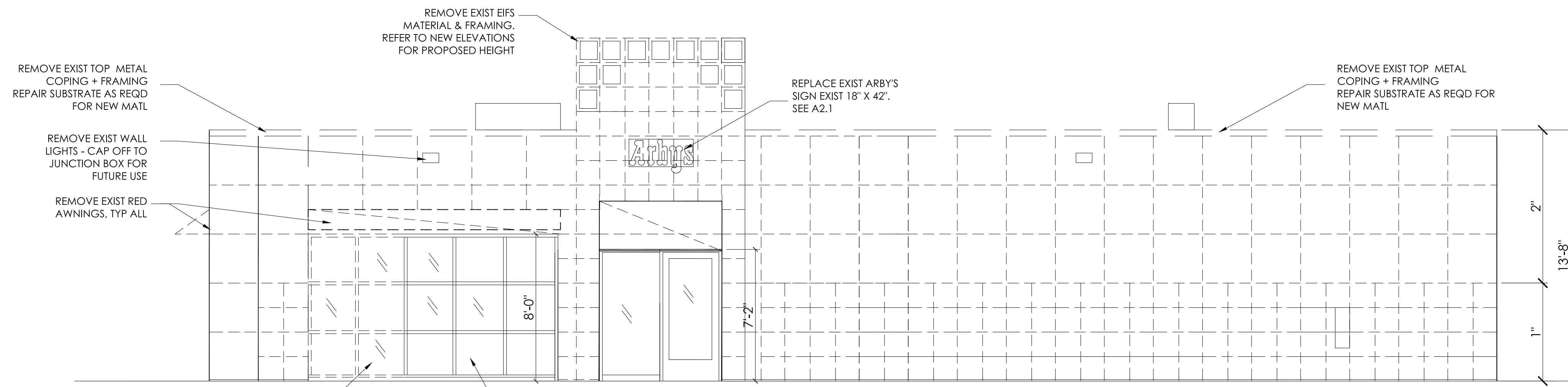
EXIST SIGNAGE

NORTH ENTRY - (1) 10 SF
WEST REAR - NONE
SOUTH GRAND RIVER AVE - 18.3 SF
EAST PUBLIC ACCESS - 18.3 SF
TOTAL SIGNAGE AREA EXIST: 46.6 SF

WEST ELEVATION DEMOLITION

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES REFER TO OBJECT'S NOTED AND ANY ADJACENT SURFACES. REPAIR & PROVIDE NEW ROOF /PARAPET FRAMING AS REQUIRED



NORTH ELEVATION DEMOLITION

SCALE: 1/4" = 1'-0" PARKING LOT SIDE

EXT ELEVATIONS EXIST

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS FOR DISCREPANCIES. THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.

Arby's Store #6081 Exist 1992
model: 1791/2094/3093
Contact: JOE / JAMIE CRAWFORD; 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR:

ARBY'S HOWELL GRAND RIVER

Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	05.17.23	3rd Corp Submittal	11	12.13.23	2nd submittal SPR
5	03.14.23	corp. Review	10	10.23.23	replot for SPR
4	02.24.23	Sub's Review	9	10.11.23	owner review for SPR
3	02.15.23	Owner GC Review	8	08.08.23	permit submit Genoa Livingston
2	07.08.22	print to review	7	07.18.23	Arch review
1	11.18.21	EXIST CONDITIONS OWNER			

DRAWN BY: C. BALL
DATE: 03-17-21
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:
EX 2.0

EXTERIOR MATERIALS

Table with 2 columns: METALS and HARDIE PANEL SPECS (OR EQUIV). Lists materials like Exceptional Metals Durco-Last, Hardie Panel, etc.

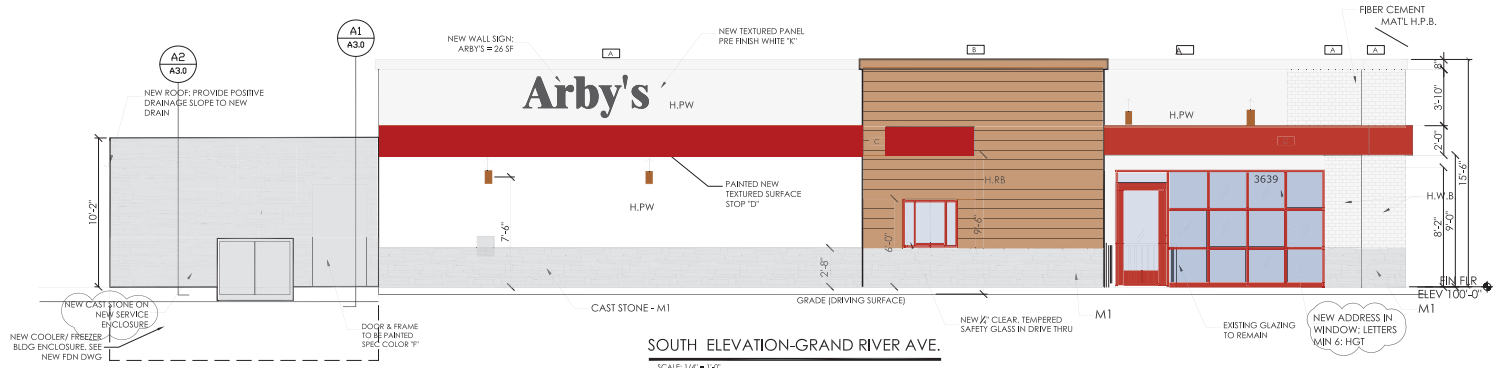
COLOR TO BE REVISED PER TOWNSHIP APPROVAL

PAINT SPECIFICATION

Table with 4 columns: Arby's color designation, Substrates, Primer, Finish. Lists paint specifications for various materials like Arby's Sign, Arby's Sign, Arby's Sign, etc.

REFER TO A2.2 FOR EXTERIOR BUILDING MATERIAL CALCULATIONS

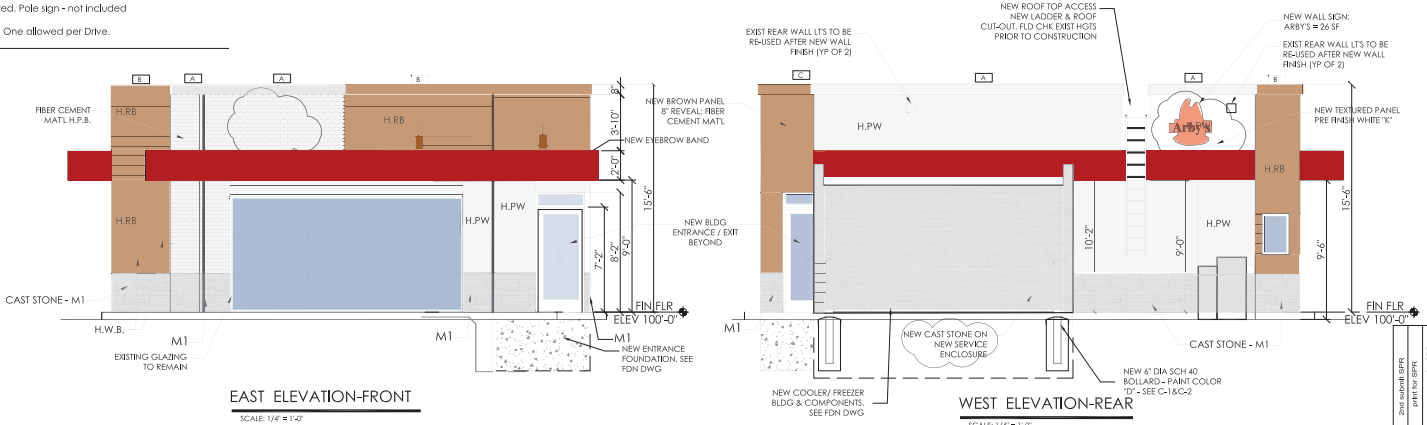
- 1. G.C. TO COORDINATE WITH OWNER ALL BLDG DEMOLITION AND RENOVATION WORK AS INDICATED ON DRAWINGS.
2. EXISTING STOREFRONT TO BE REMOVED AS INDICATED ON DWGS. G.C. TO CLEAN, RECALL AND RE-ASKET THE INSIDE AND OUTSIDE OF EXIST FRAME TO REMAIN.
3. EXIST ALUM DOOR - 8' DRIVE THRU WINDOW - CLEAN AND REPAIR TO MATCH COLOR & BRONZE LOOK. G.C. SHALL REPAIR / PRELACE ALL HARDWARE AS DIRECTED BY OWNER.
4. G.C. TO RECALL THE EXTERIOR PRESERVE BASE OF BLDG WHERE IT ABUTS THE PAVEMENT / SIDEWALK AREAS.
5. G.C. TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXIST ROOF DURING WORK. G.C. RESPONSIBLE FOR REPAIR OF DAMAGE TO EXIST ROOF AS A RESULT OF CONSTRUCTION ACTIVITY. G.C. TO PATCH / REPAIR HOLES IN EXIST ROOF AS DIRECTED BY OWNER.
6. G.C. TO PROVIDE WALL, ROOFING AND ASSOCIATED FLASHING AFTER DEMOLITION AND NEW CONSTRUCTION.
7. G.C. TO TO REPAIR AS NECESSARY ANY EXTERIOR DAMAGE TO SUBSTRATE & PREPARE SURFACE FOR NEW FINISH - SEE ELEVATIONS.
8. INSTALL NEW DOOR, FRAME AND HARDWARE AS DIRECTED ON DWGS.
9. NEW EXTERIOR LIGHTING AS SHOWN ON DRAWINGS. SCOOZE TYPE SEE SPECIFICATION.
10. ROOF ACCESS FOR MAINTENANCE OF EQUIPMENT - IBC 2018 CHAP 3: WHERE VERTICAL ROOF HGT. B. AT 12 FT OR MORE THEN A PERMANENT LADDER / STAIR ACCESS IS REQUIRED. CURRENT BLDG HAS NO ACCESS - PROVIDE NEW.
11. INSTALL WALL MOUNTED LIGHT FIXTURE AS SHOWN ON DRAWING.



SOUTH ELEVATION-GRAND RIVER AVE. SCALE: 1/4" = 1'-0"

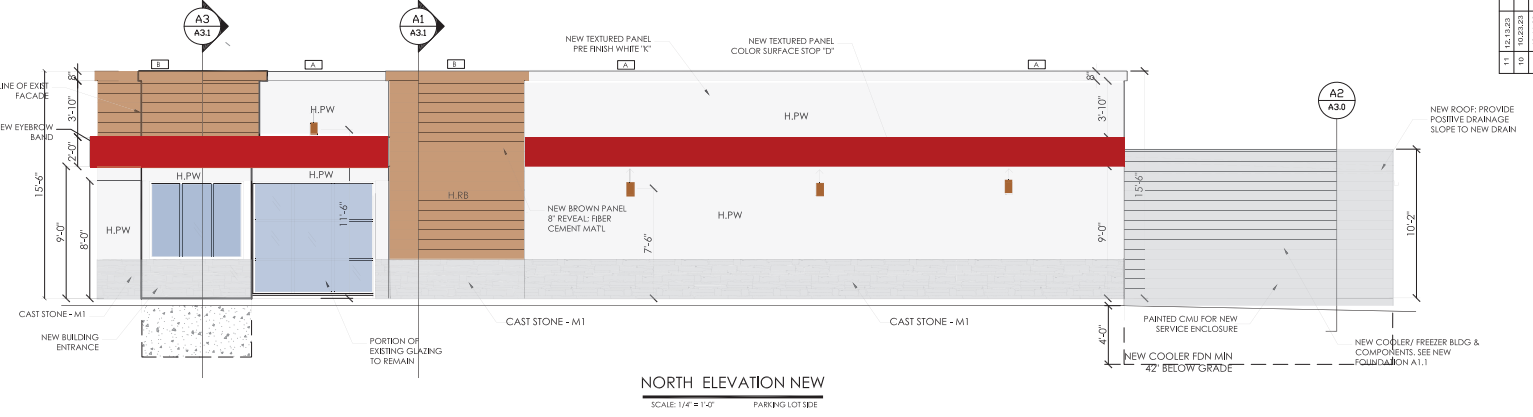
SIGNAGE GENOA TWP Table 16.1 PER TWP REQTS - 2 SIGNS PROPOSED

Regional Commercial District: Wall Sign No. of signs = 1 per establishment.
Footnote: 16.1.2a.&b. TWO WALL SIGNS PERMITTED FOR ESTABLISHMENTS LOCATED ON A THOUGHT-LET. ONE WALL SIGN PERMITTED ON EACH SIDE OF THE BLDG THAT FRONTS ALONG PUBLIC ROW. TOTAL WALL SIGN AREA ALLOWABLE: 100 SF.
Monument Sign: (1) allowed. Pole sign - not included.
16.07.05 Directional signs: One allowed per Drive.



EAST ELEVATION-FRONT SCALE: 1/4" = 1'-0"

WEST ELEVATION-REAR SCALE: 1/4" = 1'-0"



NORTH ELEVATION NEW SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS PROPOSED

NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REPRESENTATION OF THIS STRUCTURE. FIELD CHECK ALL EXISTING CONDITIONS. THE REPRESENTATIONS PRESENT MAY VARY FROM ACTUAL CONDITIONS.
Arby's Store # 6081 Exist 1992
model: 1791/2094/3093
Contract: DE/JAMIE CHAWFORD: 810-750-3423
CRAWFORDARBY@YAHOO.COM

PROPOSED RENOVATION FOR: ARBY'S HOWELL GRAND RIVER
Arby's #6081: 13609 E. Grand River Ave., Howell, Michigan 48843
Livingston County - Genoa Township Michigan

Table with 12 columns: REV, DATE, DESCRIPTION. Lists revision history for the drawing.

DRAWN BY: C. BALL
DATE: 05-08-22
JOB NUMBER:
APPROVED BY:
SHEET NUMBER: A 2.1

ARTICLE 12
SITE DEVELOPMENT REGULATIONS

Sec. 12.01 MULTIPLE FAMILY, COMMERCIAL, OFFICE AND INDUSTRIAL ARCHITECTURE

12.01.01 Purpose: The purpose of this Section is to provide a set of exterior building wall material standards, the intent of which is to enhance the visual environment of the Township. Furthermore, the review of exterior building wall design and the consistent administration of standards can help to maintain the Township's sense of place by encouraging consistent quality and character when structures are built or redeveloped. All development shall utilize quality architecture to ensure that a building is compatible with surrounding uses, protects the investment of adjacent landowners, blends harmoniously into the streetscape, and maintains a positive image for the Township's various commercial shopping districts.

12.01.02 Applicability: This Section shall apply to all construction, except single family residential structures, for all exterior building walls and shall consist of those materials and combinations of materials as set forth in this section. Architecture shall be reviewed by the Planning Commission as a part of site plan review under the requirements of this section.

12.01.03 Wall materials: The use of exterior wall materials on walls that are visible from a public, or private road or a parking lot shall be in compliance with the maximum percentages permitted in the "Schedule of Regulating Exterior Building Wall Materials."

Table 12.01.03
Schedule of Exterior Building Wall Materials

Building Materials	Maximum Percent of Wall That May be Covered by Certain Building Materials by Zoning District (a)			
	Multiple Family Residential	Office Service District (OSD), Public & Rec. Fac. District (PRF)	Commercial Districts (NSD, GCD, RCD) (c)	Industrial District (IND)
Brick or face brick	100%	100%	100%	100%
Stone	100%	100%	100%	100%
Split face block	0%	25%	25%	100%
Scored concrete block	0%	25%	25%	100%
Plain concrete block	0%	25%	25%	25%
Cast stone	100%	100%	100%	100%
Precast concrete	0%	25%	25%	100%
Concrete formed in place	0%	25%	25%	25%
Metal (d)	0%	25%	25%	25%
Reflective glass	0%	100%	50%	75%
Glass block	25%	50%	50%	50%
Wood siding	25%	25%	25%	0%
Vinyl or fiber cement siding	25%	25%	25%	25%
Finishes (e)	25%	25%	25%	75%

(a) Does not include areas of façade consisting of doors and windows.

(b) For all multiple family dwellings, all walls exposed to public view from a street shall be constructed of not less than seventy five percent (75%) brick, face brick or stone. The following materials are not permitted in the multiple family districts on building

(e) Includes fiberglass, reinforced concrete, polymer plastic (typon), exterior insulation and finishing systems (EIFS), plaster, stucco and similar materials. Such materials shall not be used where contact with vehicles may occur, such as parking areas, traffic ways, and loading areas, unless such walls are adequately protected to prevent damage. (as amended 12/31/04)

GENOA TWP ORD SECTION 12.01.03

EXTERIOR MATERIAL USAGE

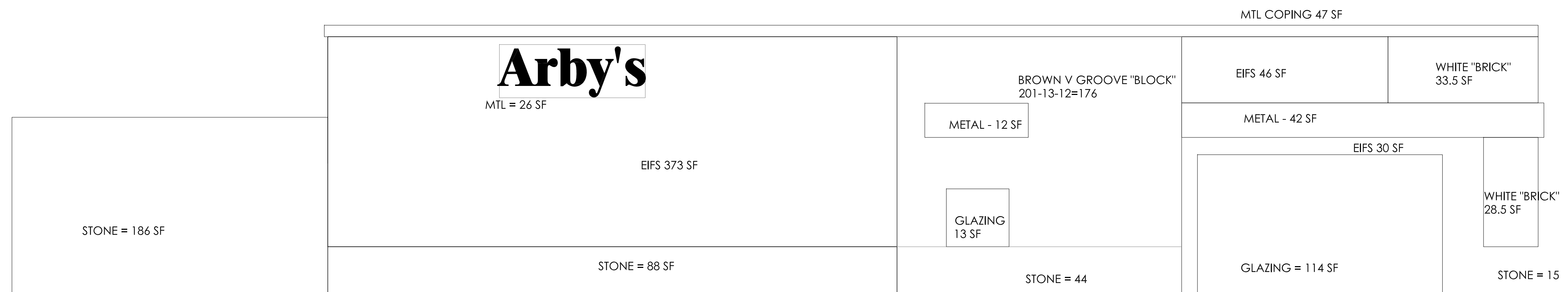
ZONING: GENERAL COMMERCIAL DISTRICT: GCM
Table 12.01.03-Max Percentage of Wall that may be covered by certain Building Materials by Zoning Ordinance
ALLOWABLE: SEE ABOVE

SOUTH/ENTRY PROVIDED: OVALL = 1273 SF (x.50=636.5 SF)(x.25 = 318 SF)
REFLECTIVE GLAZING (50% allowed) = 127 SF / 1273 = 10%
CAST STONE (100% allowed) = 332 SF /1273 = 11%
FIBER CEMENT(25%) = 238 SF /1273 = 19%
METAL (25% allowed)= 127 SF /1273 = 1%
EIFS (FINISHES)(25%) = 449 SF /1273 = 35% (over by 10%)
PTD CMU (25% allowed)= 0 SF /1273 = 0%

NORTH/D.T. PROVIDED: OVALL:1273 SF (x.50=636.5 SF)(x.25 = 318 SF)
GLAZING = 105 SF = 8%
STONE = 164 SF = 13%
FIBER CEMENT = 154 SF = 12%
METAL = 65 SF = 5%
EIFS (FINISHES)= 599 SF = 47% (over by 22%)
PTD CMU = 186 SF = 15%

WEST REAR PROVIDED: OVALL = 512 SF (x.25 =128 SF)(x.50 =256)
GLAZING = 27 SF / 512 = 5%
CAST STONE = 218 SF = 43%
FIBER CEMENT = 54 SF = 10.5%
METAL: 41.4 SF = 8%
E.I.F.S. FINISHES = 171.6 SF = 34% (over by 9%)
PTD CMU = 0 <128 = 0%

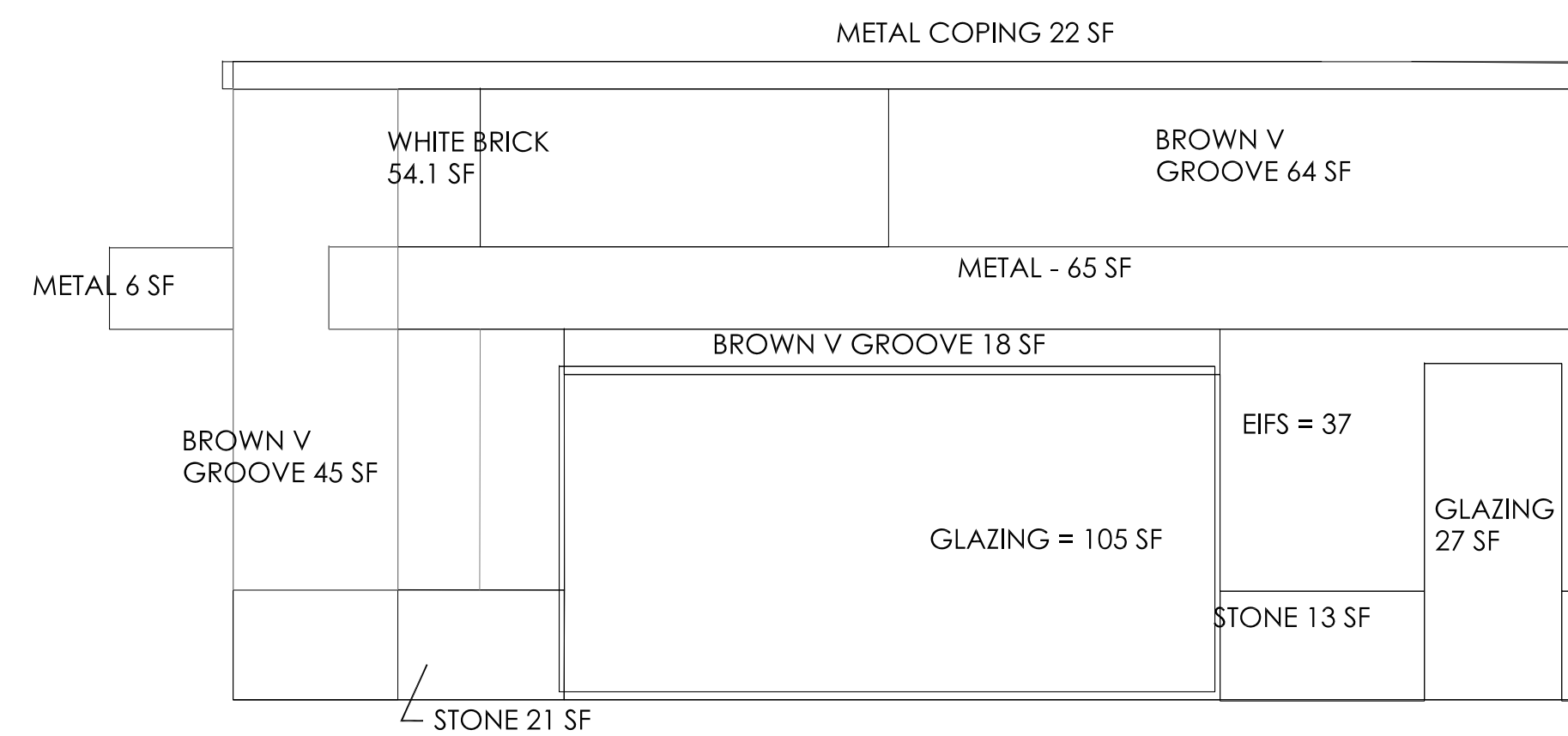
EAST FRONT PROVIDED: OVALL = 512 SF (x.25 =128 SF)(x.50 = 256)
GLAZING = 132 SF = 26%
CAST STONE = 52 SF = 10%
FIBER CEMENT = 204 SF = 40% (over by 15%)
METAL = 93 SF = 18 %
EIFS FINISHES = 37 SF = 7%



SOUTH ELEVATION -ENTRY

SCALE: 1/4" = 1'-0"

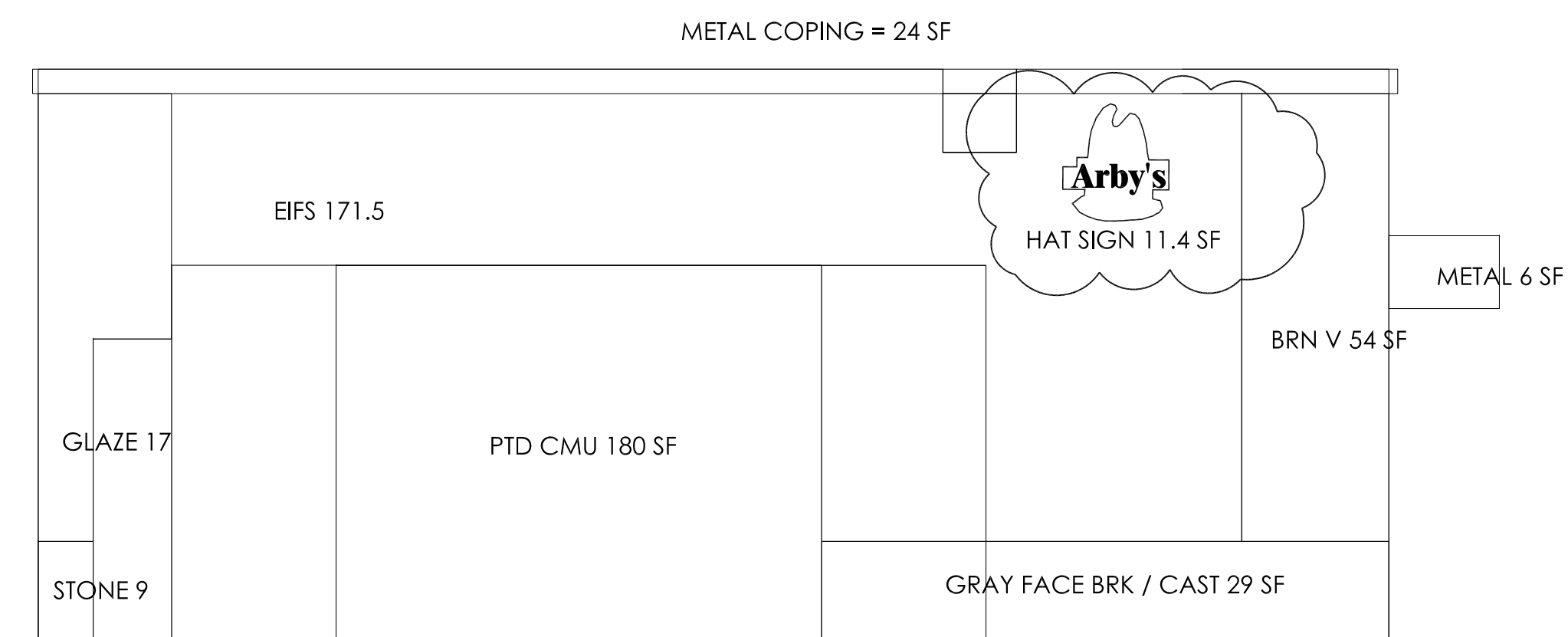
TOTAL NORTH FACADE OVALL = 1273 SF
FIBER CEMENT - BRN V GROOVE & WH. BRICK
CAST STONE = 186 + 88 + 44 +15 = 333 SF
MTL TOTAL 127 SF



EAST ELEVATION FRONT

FIBER CEMENT - BRN V GROOVE & WH. BRICK

TOTAL OVALL = 512 SF



WEST ELEVATION REAR

FIBER CEMENT - BRN V GROOVE & WH. BRICK

TOTAL OVALL = 512 SF



NORTH ELEVATION NEW

SCALE: 1/4" = 1'-0"

FIBER CEMENT - BRN V GROOVE & WH. BRICK TOTAL OVALL = 1273 SF

EXTERIOR MATERIAL TAKEOFF - CODE

NOTE: ALL ATTEMPT HAS BEEN MADE TO PROVIDE AN ACCURATE REPRESENTATION OF THIS STRUCTURE. CHECK ALL EXISTING CONDITIONS THIS REPRESENTS PRESENT DAY AS-BUILT CONDITIONS.
Arby's Store #6081 Exist 1992
model: 179 / 2094/3093
Contact: JOE / JAMIE CRAWFORD: 810-750-3423
CRAWFORDARBYS@YAHOO.COM

PROPOSED RENOVATION FOR:
ARBYS HOWELL GRAND RIVER
Arby's #6081, 3639 E. Grand River Ave, Howell, Michigan 48843
Livingston County - Genoa Township Michigan

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
5	12.13.23	2nd submit SPR			
4	10.23.23	print for SPR			
3	10.11.23	owner review for SPR			
2	06.19.23	Owner - signs-materials			
1	03-10-23	contractor & owner review			

DRAWN BY: C. BALL
DATE: 03-02-23
JOB NUMBER:
APPROVED BY:

SHEET NUMBER:

A
2.2

Opposite Side

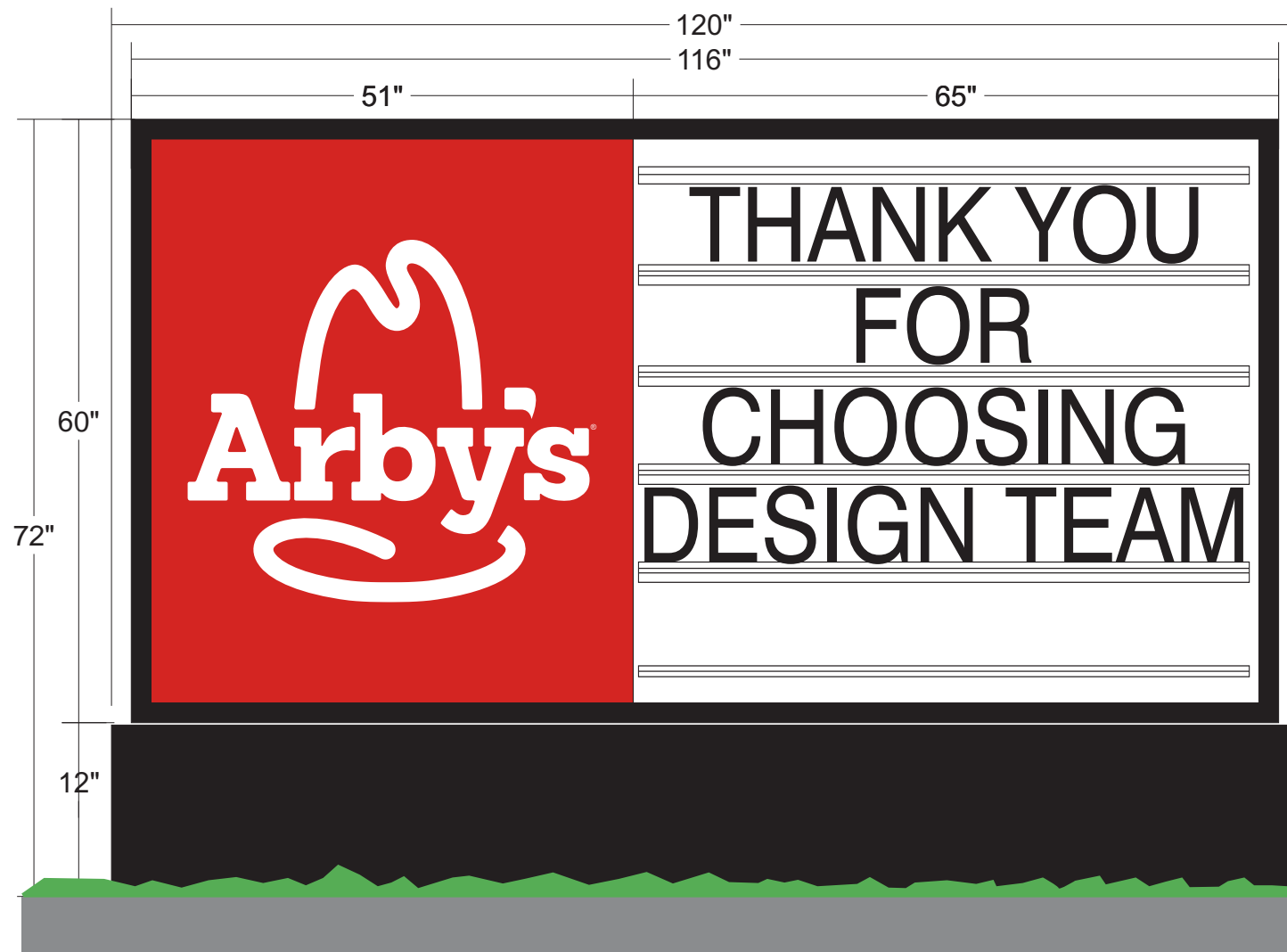


Colors	
	Red PMS 1795 Painted 2nd surface
	White painted 2nd surface
	Black painted 1st surface (structure)
	Internally Illuminated with White LED

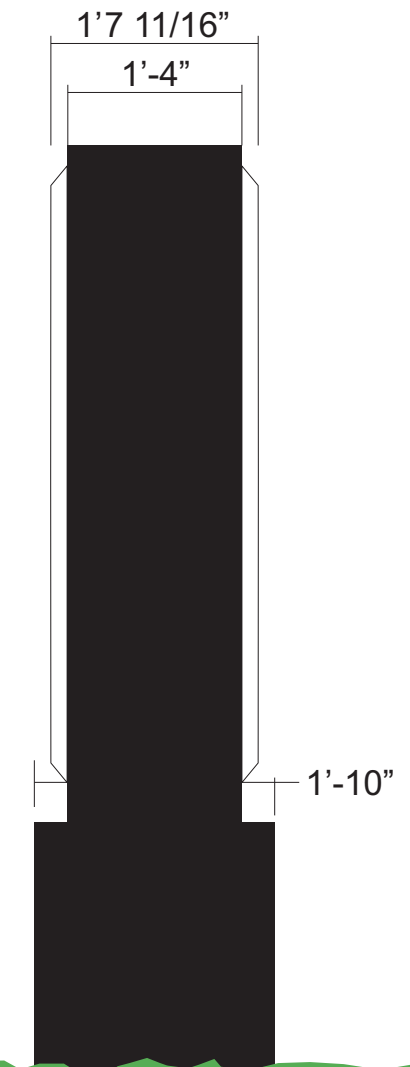
Specifications

New double faced aluminum monument sign with 2" removable retainers and 3/16" perforated acrylic faces. Faces to be painted 2nd surface 5 rows of changeable 8" on 9" copy Monument to have aluminum base.

Front Side



Monument Sq Ft = 70



APPROVAL INFORMATION & CONFIRMATION

- Proof is approved. Proceed with production of order.
- Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____

I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or exhibition of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one embodied herein, is expressly forbidden. In the event that exhibition or construction occurs, Design Team Sign Company expects to be reimbursed \$500 in compensation for time and effort entailed in creating these plans.



Client:	ARBY'S #6250	
Location:	2000 Arby Way, Anderson, CA 96007	
Drawn By:	MBJ	Date: 03/11/2021
Approved By:		
Sheet:	Scale:	
File:	Filesystem/Rest./Arbys/CA/Anderson/CP	

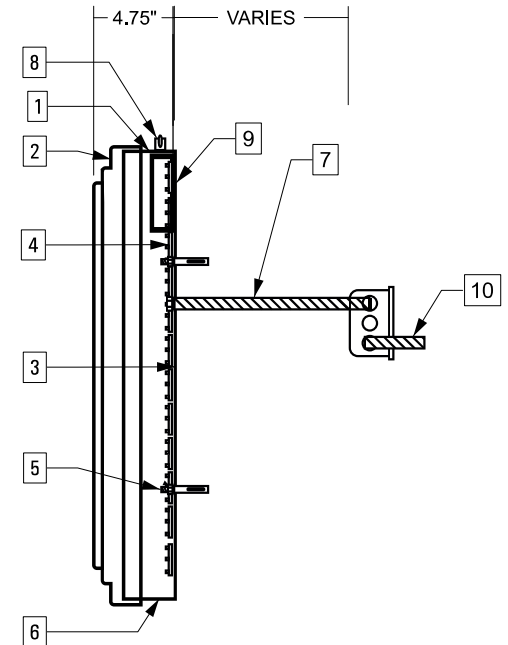
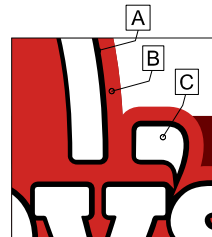
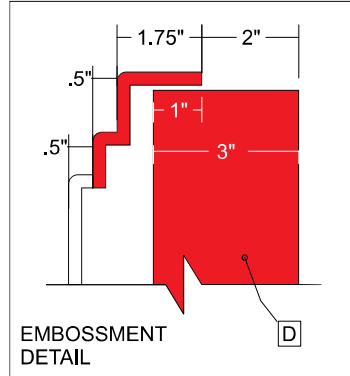
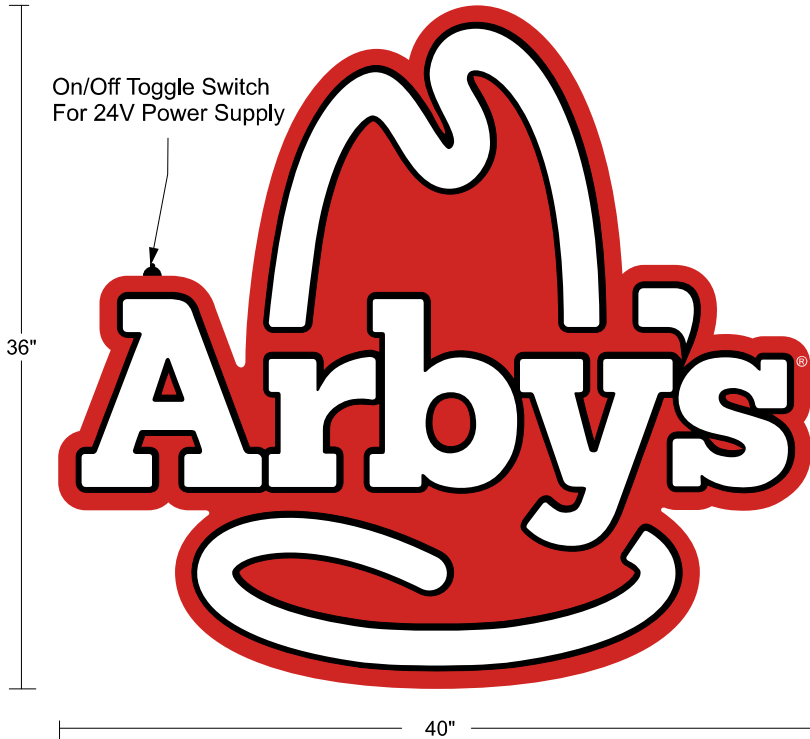


SIGN COMPANY LLC.

31-925-4448 • 800-953-3744 • Fax 731-926-2022

www.designteam.net

Front View



Actual Area
6.1 SqFt

3 Box Area
7.22 SqFt

Color Specifications

A	Outline Painted Black 2nd Surface
B	Faces Painted To Match 3630-0033 2nd Surface
C	Clear Polycarbonate Faces Painted White 2nd Surface
D	Returns Painted Red PMS 1795

MATERIALS	
1	.063 ALUMINUM RETURN
2	.150 CLEAR POLYCARBONATE FACE
3	.090 ALUMINUM BACK
4	LED MODULE
5	MOUNTING HARDWARE
6	1/4" WEEP HOLE
7	1/2" FLEX CONDUIT
8	TOGGLE SWITCH MOUNTED TO BOX
9	POWER SUPPLY
10	PRIMARY ELECTRICAL LEADS

APPROVAL INFORMATION & CONFIRMATION

Proof is approved. Proceed with production of order. Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____
I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

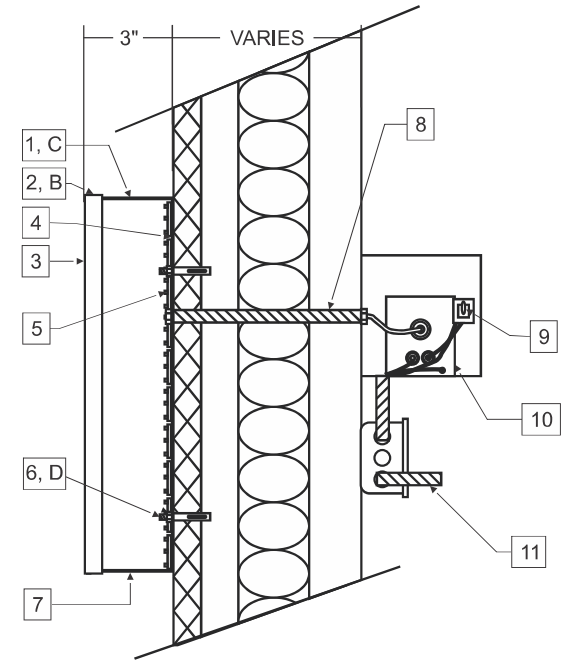
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Client: ARBY'S
 Location: _____
 Drawn By: JRB Date: 8/3/17
 Approved By: _____
 Sheet: _____ Scale: _____
 File: Filesystem/Rest./Arbys/CP



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 www.designteam.net



Actual 10.1 SF.



Rectangle 26 SF.

Color Specifications

A	2793 Red Acrylic Faces
B	1" Silver Trim Cap
C	Wrisco Silver Metallic Returns
D	Internally Illuminated w/ Red LED

Materials

1	.040 Prefinished Aluminum Return
2	1" Trimcap
3	3/16 Acrylic Face
4	.090 Aluminum Back
5	L.e.d. Module
6	Mounting Hardware
7	1/4" Weep Hole w/ Baffle
8	1/2" Flex Conduit
9	Toggle Switch Mounted To Box
10	Power Supply
11	Primary Electrical Leads

APPROVAL INFORMATION & CONFIRMATION

- Proof is approved. Proceed with production of order. Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____

I have reviewed this proof in regard to: Sign type, order quantity, and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

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Client: ARBY'S
 Location: _____
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 Sheet: _____ Scale: _____
 File: Filesystem/Rest/Arbys/CP



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GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Springborn Properties
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Russ Springborn

SITE ADDRESS: 3535 High Hillcrest Dr PARCEL #(s): 4711-09-200-028

APPLICANT PHONE: (313) 350-3358 OWNER PHONE: (313) 350-3358

OWNER EMAIL: russs@soringbornproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Lot 4 of 'Genoa Outlots LLC' PUD
deveopment - Kohl's Anchor. 1.54 acre lot front Grand River Avenue.

Access by Lawson Drive private road. Site is vacant, mowed lawn
Site is served by municipal water & sanitary sewer & regional storn basin,

BRIEF STATEMENT OF PROPOSED USE: Proposed for carwash including
4 self-serve wash bays and 2 wash automatic bays & vacuum stations

THE FOLLOWING BUILDINGS ARE PROPOSED: 1 carwash building encompassing
All bays and mechanical room spaces

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *Russell J*

ADDRESS: 3535 HIGH HILLCREST DRIVE HOWELL, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Patrick Cleary of Boss Engineering at patrickc@bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Russell Springborn DATE: 10/17/23
PRINT NAME: Russell Springborn PHONE: 313-350-3350
ADDRESS: 3535 High Hillcrest Dr Howell, MI 48843

January 2, 2024

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Soapy Bucket Car Wash – Site Plan Review #2
Location:	1415 Lawson Drive – southwest corner of Grand River Avenue and Lawson Drive
Zoning:	NRPUD Non-Residential Planned Unit Development

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Springborn Properties for development of a car wash at 1415 Latson Road (plans dated 12/18/23).

A. Summary

1. Use Conditions (Section 7.02.02(I)):

- a. The self-service wash bays are not within a completely enclosed building.
- b. The 2 automatic wash bays do not provide the 15 stacking spaces required.

2. Site Plan Review:

- a. Building materials and color scheme are subject to approval by the Planning Commission.
- b. The sidewalk easement is subject to review by the Township’s engineering consultant, and we suggest the easement be extended to cover the entire sidewalk.
- c. The slight driveway offset along Lawson Drive may disrupt traffic flow.
- d. A traffic impact assessment is required.
- e. The easterly greenbelt is deficient in width and trees (2), while the southerly greenbelt is deficient in trees (2); however, both areas provide excess shrubs plantings to help offset the trees.

B. Proposal/Process

The applicant proposes development of a car wash with 2 automatic bays and 4 self-service bays on the vacant 1.39 acre site. The project includes 6,877 square feet of building area, as well as 5 vacuum stations.

Exhibit C of the Genoa 24 Grand PUD Agreement allows automobile washes (automatic or self-serve) as principal permitted uses within this PUD. The proposed development is subject to GCD dimensional standards, as well as the use conditions of Section 7.02.02(I).

Procedurally, the Planning Commission is to review the site plan and Environmental Impact Assessment.

The Commission has approval authority over the site plan, but is to put forth a recommendation to the Township Board on the Environmental Impact Assessment.



Aerial view of site and surroundings (looking north)

C. Use Conditions

Automobile washes are subject to the use requirements of Section 7.02.02(1), as follows:

1. Only one (1) ingress/egress driveway shall be permitted on any single street.

The site plan depicts 1 ingress/egress driveway to/from Lawson Drive on the south side of the site.

Cross access with the other outlots to the west is also provided along the north side of the site parallel to Grand River Avenue.

2. Where adjoining a residential district, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may require landscaping, including a berm, as an alternative.

The subject site does not adjoin a residential district.

3. All washing facilities shall be within a completely enclosed building.

The automatic wash is a completely enclosed building; however, the building elevation drawings depict open ends for the self-service wash bays. As such, this condition is not met.

4. Vacuuming and drying may be located outside the building, but shall not be in the required front yard and shall be set back at least fifty (50) feet from any residential district.

These conditions are met. The revised submittal includes a detail and photographic example of the vacuum stations for the Commission's consideration. The stations include silver and blue vacuums.

5. All cars required to wait for access to the facilities shall be provided stacking spaces fully off the street right-of-way which does not conflict with vehicle maneuvering areas to access gasoline pumps or vacuums, and as required Article 14, Parking and Loading-Unloading Standards.

Section 14.04 requires 15 stacking spaces per automatic bay and 2 stacking spaces per self-service bay.

The self-service bays meet this requirement; however, the automatic bays do not provide 15 stacking spaces each – Bay #1 provides 12 stacking spaces and Bay #2 provides 8 stacking spaces.

This condition is not met.

D. Site Plan Review

- 1. Dimensional Requirements.** As shown in the table below, the proposal complies with the dimensional requirements for development in the Genoa 24 Grand PUD:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
GCD	1	150	35	15	50	20 front 10 side/rear	35% building 75% impervious	35' 2 stories
Proposal	1.39	226	70.9 (N)	29.7 (E) 47.8 (W)	145 (S)	20 front 10 side	11.4% building 68.7% impervious	31.5' 1 story

It is worth noting that the PUD Agreement specifically identifies the easterly property line as a side lot line and the southerly lot line as a rear lot line (though they are along a roadway).

- 2. Building Design and Materials.** The building is primarily brick with a stone base, and utilizes earth-tone colors, which is consistent with the requirements of the PUD Agreement. As previously noted, the vacuum stations include a blue color that does not appear on the building (save for protective bollards).

Building materials and colors are subject to review and approval by the Planning Commission.

- 3. Pedestrian Circulation.** The site plan proposes an 8-foot wide concrete sidewalk along Grand River, as required.

Since the sidewalk is outside of the Grand River right-of-way, the site plan notes a 15-foot wide Township easement; however, a portion of the sidewalk is outside of the easement area.

The easement language is subject to review by the Township’s engineering consultant, and we suggest the easement be extended to cover the entire sidewalk.

- 4. Vehicular Circulation.** The site plan proposes 1 curb cut for a full turning movement driveway along Lawson Drive. An east/west cross-access drive is also provided along the north side of the property for future connection to the remaining outlots in this PUD.

The proposed driveway is spaced as far as practical from the 90-degree turn in Lawson Drive, though it is only slightly offset from the driveway across Lawson to the south. As such, left turns may prove difficult at certain times of day and/or back-ups along Lawson may occur that disrupt traffic flow (particularly with deficient stacking).

Based on the trip generation information provided, a traffic impact assessment is required, per Section 18.07.09.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 5. Parking.** Based on information contained in the submittal, the project requires 3 parking spaces. The site plan provides 2 parking spaces, 1 barrier-free space, and an additional 4 spaces for vacuum stations.

The dimensions and design of parking spaces and drive aisles comply with Ordinance standards.

6. Exterior Lighting. The lighting plan identifies 7 light poles and 6 wall mounted fixtures.

Based on the detail sheets, the proposed fixtures are downward direct LED, as required.

Pole heights and photometric readings comply with Ordinance standards.

The revised submittal also include ornamental lighting along Grand River, as required by Section 7.5 of the PUD Agreement.

7. Landscaping. The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt (N)	20' width 6 canopy trees	35' width 6 canopy trees	In compliance
Front yard greenbelt (E)	20' width 8 canopy trees	10' width 6 canopy trees 30 shrubs	Deficient in width and tree plantings
Front yard greenbelt (S)	20' width 5 canopy trees	25' width 3 canopy trees 31 shrubs	Deficient in tree plantings
Buffer Zone C (W)	10' width 18 canopy trees OR 18 evergreen trees OR 70 shrubs	18' width 114 shrubs	In compliance

Though the landscape plan does not identify greenbelt requirements along Lawson Drive, Section 2.9 of the PUD Agreement requires a 20-foot greenbelt along the service drive (Lawson Drive).

8. Waste Receptacle. The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates sufficient maneuvering area	Requirement met
Base design	9' x 15' concrete pad	14' x 23' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Brick to match building 6'-8" height	Requirements met

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager



January 3, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Soapy Bucket Car Wash
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Soapy Bucket Car Wash site plan last dated October 31, 2023. The plan was prepared by Boss Engineering on behalf of Springborn Properties. The development is located in Lot 4 of Genoa Outlots LLC (Genoa Square), which is on the south side of Grand River Avenue off Lawson Drive. The Petitioner is proposing a 6,877 square foot carwash that includes 4 self-serve wash bays and 2 automatic wash bays. Site improvements include parking lot improvements and storm drainage improvements that would connect to the existing storm system at Genoa Square.

We offer the following comments for your consideration:

DRAINAGE AND GRADING

1. Proposed catch basins are labeled, but actual structures are not shown at the pipe junctions. This may be a plotting error.

UTILITIES

1. The site plan proposes exterior trench drains that connect to the sanitary sewer outside of the car wash in the area where vehicles will stack to get into the car wash. Any trench drains connected to the sanitary sewer should be within the carwash or covered areas and should not receive site storm drainage from outside the carwash. Genoa-Oceola Sewer and Water Authority design standards do not allow for storm sewer facilities to be connected to their sanitary sewer. The eight exterior trench drains shown connecting to the sanitary sewer will not be allowed and shall be removed from the site plan. If the existing building layout does not allow for effective containment and collection of vehicle runoff within the carwash, then the carwash will need to be modified so that no runoff from within the carwash is going into the on-site storm sewer.

We recommend the petitioner address the above comments and resubmit for additional review. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

December 22, 2023

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Soapy Bucket Carwash
1415 Lawson Drive
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on December 19, 2023 and the drawings are dated October 31, 2023 and revised on December 18, 2023. The project is based on the proposed development of a currently vacant 1.54-acre parcel into a new manual and automatic car wash. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. Two-way emergency vehicle access roads shall be a minimum clear width of 26 feet wide. The clear width of the Lawson Dr. entrance is currently shown at 24 feet. The future connection drive at the North end of the property shall also be 26 feet clear width. Fire lane signs shall be located along the North and West curb lines. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Drive width have been revised and notes added to Sheet 5 Genrel Notes addressing compliance with additional access needs.)**

IFC D 103.6
IFC D 103.1
IFC D 102.1
IFC D 103.3

2. The building address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified before installation. **(General Note acknowledging requirement added.)**

IFC 505.1

3. Access around the building shall provide emergency vehicles with a turning radius of 50-feet outside and 30-feet inside. Vehicle circulation shall account for non-emergency traffic and maintain the vehicle within the boundary of lanes of travel. **(Vehicle circulation is compliant. Circulation plan has been provided.)**

IFC 503.2.4

4. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. **(Knox box added to Sheet 5 and note regarding location provided.)**

IFC 506.1



December 22, 2023

Page 2

Soapy Bucket Carwash

1415 Lawson Dr.

Site Plan Review

5. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building. **(Acknowledged)**

IFC 510

6. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Provided on response letter and Cover Sheet.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Rick Boisvert, CFPS
Fire Marshal

cc:Amy Ruthig amy@genoa.org

**GENOA TOWNSHIP IMPACT ASSESSMENT
Soapy Bucket Car Wash**

Prepared for:

**Property Owner:
Springborn Properties
Russ Springborn**

Applicant:

**Springborn Properties
Russ Springborn**

Prepared by:

Patrick Cleary, PLA



3121 E. Grand River Howell, MI 48843
517.546.4836 fax 517.548.1670
www.bosseng.com

October 31, 2023

DISCUSSION ITEMS

- A. Name(s) and address(es) of person(s) responsible for preparation of the Impact Assessment and a brief statement of their qualifications.

Prepared by:

Patrick Cleary, PLA
Professional Landscape Architect/Senior Project Manager
Boss Engineering
3121 E Grand River
Howell, MI 48843

Prepared for:

Owner and Applicant:
Springborn Properties – Russ Springborn
3535 High Hillcrest Drive
Howell, MI 48343

- B. Description of the site, including existing structures, man-made facilities, and natural features, all-inclusive to within 10' of the property boundary.***

The project site is on parcel # 4711-09-200-028 in Section 9, Genoa Township, Livingston County, MI. It is Outlot #4 of the 'Genoa Outlots LLC' PUD development anchored by Kohl's Department Store.

The subject site is bordered:

- On the north by Grand River Avenue. Midway Party Store is directly across the street.
- On the east by Lawson Drive, a private road and one of the main entrances to the development. Directly across Lawson is a commercial retail building that is part of the overall development that is zoned NR PUD. On this property are approximately 5, 8-10" DBH Little Leaf Linden deciduous trees.
- On the south by Lawson Drive. Directly across the road is the parking lot for Kohl's with approximately 6, 6-10" DBH deciduous trees.
- On the west by vacant Outlot #3 of the overall 'Genoa Outlots LLC' development, zoned NR PUD. This site is all mowed lawn with no trees or shrubs, similar to the subject parcel.

The overall 21.84 +- acre development is bordered by Interstate 96 on the south with on and off ramps to the east, and Grand River Avenue to the north. On the west side is an 8.79 +- acre parcel, zoned Industrial (IND) and occupied by Reuland Electric Motor Company – electric motor manufacturer.

MHOG sanitary runs along the east lot line in Lawson Drive. MHOG water runs along the south lot line also in Lawson Drive. See the Existing Conditions Plan for specific locations.

The subject site is a vacant lot of land consisting of mowed lawn grasses and no trees or shrubs. The site will be accessed from the south from Lawson Drive, a private road.

C. *Impact on natural features: A written description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.*

These currently vacant parcels are relatively flat (1-4% slopes) and covered by grasses.

The soils are NRCS / SCS designated Miami Loam. The site drains via surface flow primarily from south to north to the Grand River Avenue storm sewer system. There is a narrow rudimentary rip-rapped channel to the street. No wetlands/streams/creeks or other water bodies are located on site.

D. *Impact on storm water management: description of soil erosion control measures during construction.*

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Detailed construction plans for the lot will be reviewed by the Township Engineer and the Soil Erosion Control plans will be reviewed and permit issued by the Livingston County Drain Commissioners office prior to construction commencing. Ongoing/periodic soil erosion on-site inspections will occur per County requirements to ensure soil erosion is managed proactively.

E. *Impact on surrounding land use: Description of proposed usage and other man-made facilities; how it conforms to existing and potential development patterns. Effects of added lighting, noise or air pollution which could negatively impact adjacent properties.*

The proposed use on this Non-Residential Planned Unit Development (NR PUD) site includes automatic and self-serve car wash bays with supporting vacuum cleaning stations behind the building from Grand River Avenue. The proposed uses were part of the originally approved development scenarios in the PUD, conforming to existing and potential development patterns. It will not negatively impact adjacent properties with added lighting, noise or air pollution. The site development will comply with Township Ordinances for lighting levels as well as noise levels. The uses proposed do not impact adjacent properties with noise, light or air pollution.

F. *Impact on public facilities and services: Description of number of residents, employees, patrons, and impact on general services, i.e., schools, police, fire.*

The proposed car wash does not add additional burden on the fire and police services as the site is surrounded by similar development that already receives coverage. The uses do not add population that impacts schools. The car wash will add to Township tax revenue as the site currently sits vacant. The car wash will add 1-2 jobs which has a positive impact on the community.

G. Impact on public utilities: description of public utilities serving the project, i.e., water, sanitary sewer, and storm drainage system. Expected flows projected in residential units.

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Detailed construction plans for the lot will be reviewed by the Township Engineer and the Soil Erosion Control plans will be reviewed and permit issued by the Livingston County Drain Commissioners office.

MHOG sanitary sewer runs along the east lot line in Lawson Drive and the development is expected to connect to it. The development will connect to MHOG water along the south lot line also in Lawson Drive.

The proposed car wash use will utilize 'automatic, no conveyer' type (2) and 'self-service' type (4) car wash system per the Township REU Factor Table. This calculates to a total of 31.2 REU's. The MHOG public water is anticipated to accommodate the use.

H. Storage or handling of any hazardous materials: Description of any hazardous materials used, stored, or disposed of on-site.

No storing or handling of any hazardous materials is expected for this development.

I. Impact on traffic and pedestrians: Description of traffic volumes to be generated and their effect on the area.

The site will be accessed from the south of the lot off the development's internal private road primary circulation system, Lawson Drive. There will be no direct access to Grand River, utilizing two existing development entrances. The west entrance to the development is signalized. Potential traffic volumes with the proposed use were anticipated with the original development and accommodated through the current entrances and signalization. In addition, an 8-foot wide public sidewalk will be extended along Grand River Avenue for the entire width of the lot.

J. Special provisions: Deed restrictions, protective covenants, etc.

Site is subject to the provisions of the 'Genoa Outlots LLC' PUD agreement.

K. Description of all sources:

- Genoa Township Zoning Ordinance
- "Soil Survey of Livingston County Michigan" Soil Conservation Services, USDA
- Livingston County parcel viewer

SITE PLAN FOR SOAPY BUCKET CARWASH - LAWSON DR. 1415 LAWSON DRIVE GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

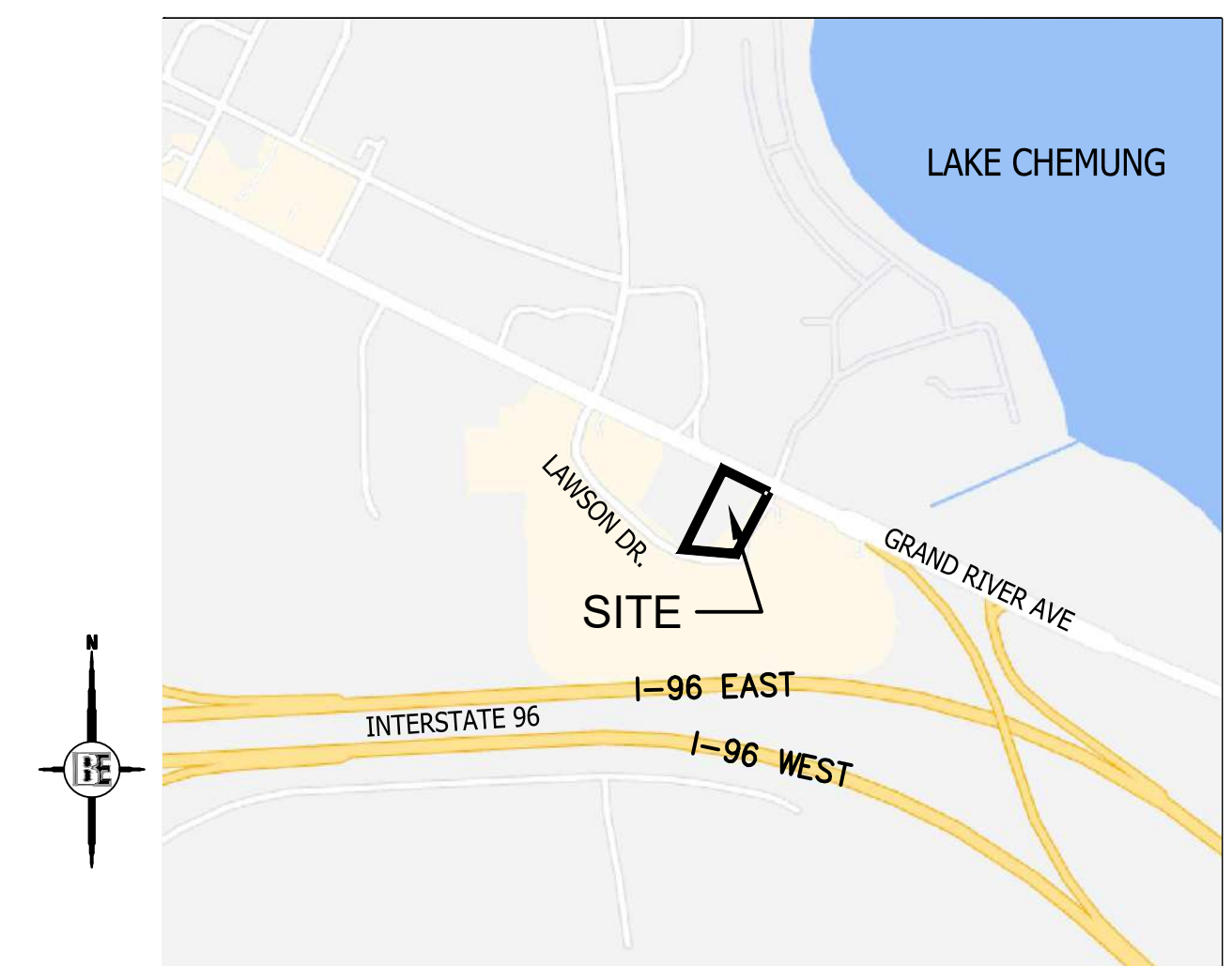
PROPERTY DESCRIPTION:

GENERAL INFORMATION:

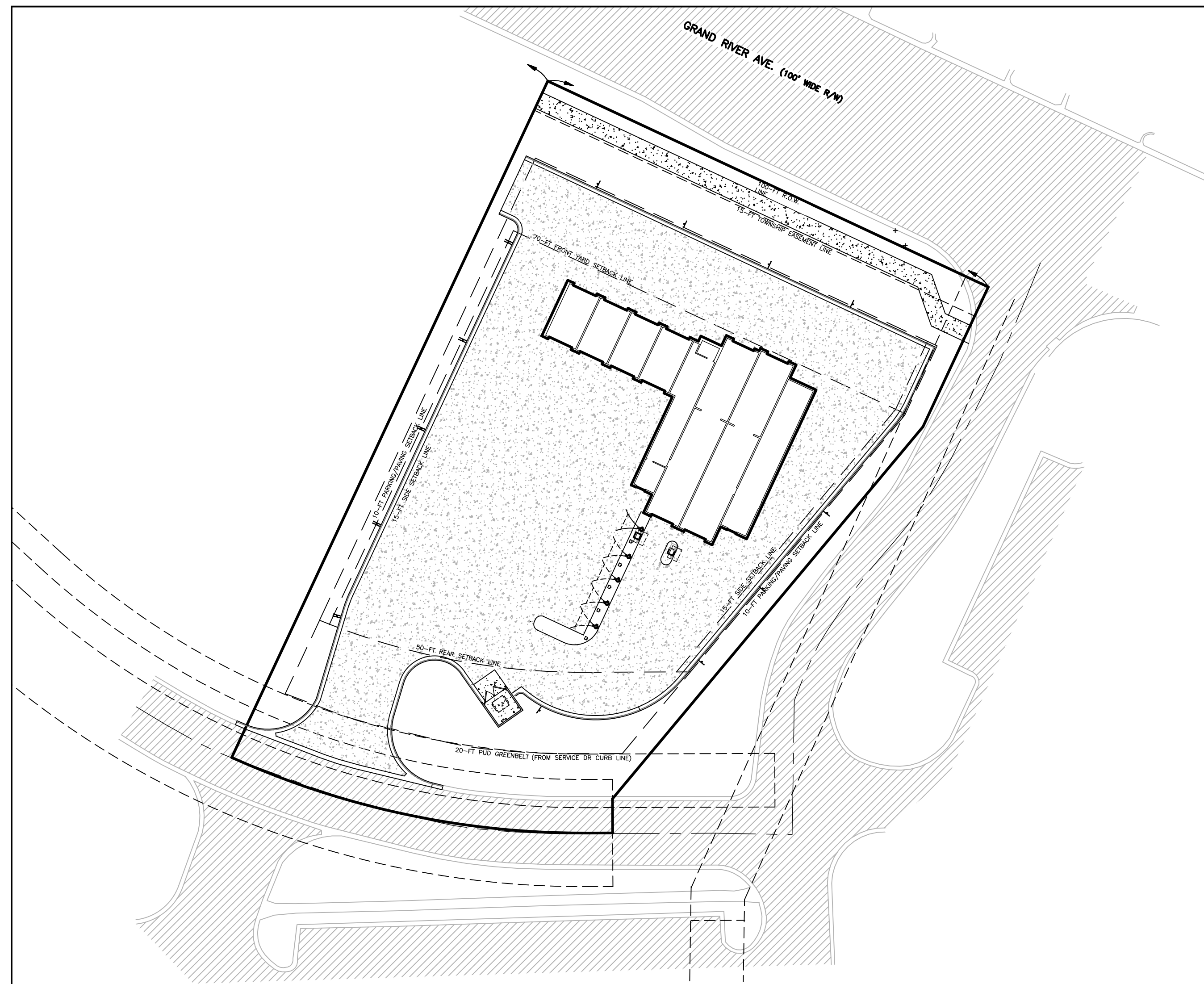
PARCEL NO.: 4711-09-200-028 (LOT 4)
ZONING: NR PUD (NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT)
LOT AREA: 1.54 ACRES+-

LEGAL DESCRIPTION:

A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; hence S 64°41'00" E 226.83 feet along the South line of said Grand River Avenue; thence S 25°19'00" W 71.98 feet; thence S 40°07'53" W 226.01 feet; thence South 15.97 feet; thence N 89°56'16" W 11.60 feet; thence 171.09 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing and distance of N 77°44'37" W 169.78 feet; thence N 25°19'00" E 348.40 feet to the point of beginning. All of the above containing 1.54 acres. All of the above along with and being subject to a 50' wide Private Road Access Easement, the centerline of said easement being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 552.94 feet along the South line of said Grand River Avenue; to a point of beginning; thence S 26°06'30" W 47.03 feet; thence 251.05 feet along the arc of a curve to the left, said curve having a radius of 202.87 feet and a chord bearing and distance of S 09°25'46" E 235.33 feet; thence S 47°14'03" E 308.04 feet; thence 296.81 feet along the arc of a curve to the left, said curve having a radius of 400.00 feet and a chord bearing and distance of S 68°44'20" E 290.05 feet; thence S 89°56'16" E 11.60 feet to a point of ending. The above easement containing 1.05 acres. All of the above being subject to easements, restrictions and right-of ways of record.



LOCATION MAP
SCALE: + - 1" = 1,000'



OVERALL SITE MAP
SCALE: 1" = 40'

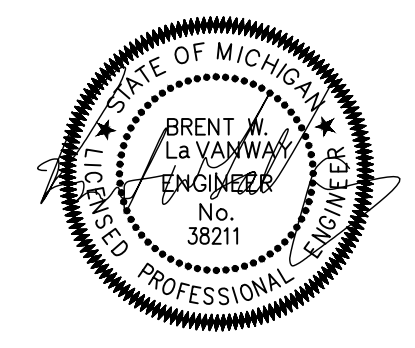
SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	NATURAL FEATURES
5	SITE PLAN
6	CIRCULATION PLAN
7	GRADING & DRAINAGE PLAN
8	SOIL EROSION & SEDIMENTATION CONTROL PLAN
9	UTILITY PLAN
10	LANDSCAPE PLAN
11A	LIGHTING PLAN ON-SITE
11B	LIGHTING PLAN OFF-SITE GRAND RIVER AVE.
12	CONSTRUCTION DETAILS-1
13	CONSTRUCTION DETAILS-2
14	CONSTRUCTION DETAILS-3
PLANS BY OTHERS	
A1	FLOOR PLAN
A4	EXTERIOR ELEVATIONS

LIGHTING PREPARED BY:
GASSER BUSH ASSOCIATES
30984 INDUSTRIAL RD
LIVONIA, MI 48150
QUOTES@GASSERBUSH.COM
PHONE: 734-266-6705

PREPARED FOR:
RUSS SPRINGBORN
3535 HIGH HILLCREST DR
HOWELL, MI 48843
PHONE: 313.350.3358
EMAIL: RUSS@SPRINGBORNPROPERTIES.COM

ARCHITECT:
LINDHOUT ASSOCIATES ARCHITECTS, AIA, PC
10465 CITATION DRIVE BRIGHTON, MI 48116
CONTACT: DAVE RICHARDSON
EMAIL: DAR@LINDHOUT.COM
PHONE: (810) 227-5668

PREPARED BY:
BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670
CONTACT: PATRICK CLEARY
EMAIL: PATRICKC@BOSSENG.COM



INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

PERMITS & APPROVALS		
AGENCY	DATE SUBMITTED	DATE APPROVED
• TOWNSHIP ENGINEERING APPROVAL	11/1/23	-
• TOWNSHIP PLANNING APPROVAL	11/1/23	-
• BRIGHTON AREA FIRE AUTHORITY	11/1/23	-
• LCDC SESC	TBD	-

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

		1	
1	PC	REVIEW COMMENTS	12/18/23 ISSUE DATE: 10/31/23
	NO BY	CK REVISION	DATE JOB NO: 23-134

GENERAL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
2. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
3. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
...
35. WHERE CITY/TOWNSHIP STANDARD CONSTRUCTION DETAILS/SPECIFICATIONS ARE PROVIDED AND ARE IN CONFLICT WITH NOTES AND SPECIFICATIONS HEREIN, THE CITY/TOWNSHIP STANDARD SHALL GOVERN.

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

GENERAL GRADING & SESC NOTES

- 1. THE CONTRACTOR SHALL HAVE IN PLACE ALL REQUIRED EROSION CONTROL METHODS AS INDICATED ON THE CONSTRUCTION PLANS AND AS REQUIRED BY GENERAL PRACTICE. SPECIFIC MEANS, METHODS AND SEQUENCES OF CONSTRUCTION MAY DICTATE ADDITIONAL SOIL EROSION CONTROL MEASURES BE NEEDED. THE CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER ON THESE ANTICIPATED METHODS. ADDITIONAL SOIL EROSION CONTROL METHODS SHALL BE INCIDENTAL TO THE SCOPE OF WORK.
2. ACTUAL FIELD CONDITIONS MAY DICTATE ADDITIONAL OR ALTERNATE SOIL EROSION CONTROL MEASURES BE UTILIZED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR FIELD CONDITIONS THAT WARRANT ADDITIONAL AND/OR ALTERNATIVE SESC MEASURES BE UTILIZED.
...
11. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOOT CLASS II).

GENERAL LANDSCAPE NOTES

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, & DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
...
14. ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.
SEED MIXTURE SHALL BE AS FOLLOWS:
KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADLPHI, RUGBY, GLADE, OR PARADE) 30%
RUBY RED OR DAWSON RED FINE FESCUE 30%
ATLANTA RED FESCUE 20%
PENNFINE PERENNIAL RYE 20%

- 13. ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.

GENERAL UTILITY NOTES

- 1. BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW THE PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. BEDDING SHALL BE OF UNIFORM GRADATION MDOOT 6AA STONE OR MDOOT CLASS II GRANULAR MATERIAL FOR SANITARY AND STORM PIPE AND MDOOT CLASS II GRANULAR MATERIAL ONLY FOR WATERMAIN.
2. WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER.
3. BACKFILL SHALL BE OF A SUITABLE MATERIAL AND SHALL BE FREE OF ANY ORGANIC MATERIALS AND ROCKS.
...
5. 18" MINIMUM VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATERMAIN AND SANITARY/STORM SEWER TO THE MAXIMUM EXTENT POSSIBLE.

GENERAL STORM NOTES

- 1. ALL STORM PIPE LENGTHS ARE SHOWN FROM C/L TO C/L OF STRUCTURE OR FROM C/L OF STRUCTURE TO DISCHARGE END OF FLARED END SECTION.
2. STORM PIPE MATERIALS SHALL BE AS FOLLOWS:
2.1. RCP(REINFORCED CONCRETE PIPE); SHALL MEET THE REQUIREMENTS OF ASTM C76 WITH MODIFIED GROOVED TONGUE AND RUBBER GASKETS MEETING THE REQUIREMENTS OF ASTM C443. RCP TO BE EITHER CLASS IV OR V AS CALLED OUT ON THE PLANS.
...
10. A MAXIMUM OF 12" OF GRADE ADJUSTMENT RINGS SHALL BE USED TO ADJUST THE FRAME ELEVATION. BUTYL ROPE SHALL BE USED BETWEEN EACH ADJUSTMENT RING.

GENERAL SANITARY NOTES

- 1. ALL SANITARY PIPE LENGTHS ARE SHOWN FROM C/L OF STRUCTURE TO C/L OF STRUCTURE.
2. SANITARY PIPE MATERIALS SHALL BE AS FOLLOWS:
2.1. PVC SDR-23.5 (SANITARY LEADS)
3. ALL PVC SDR SANITARY SEWER PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034 AND D2241. PVC SCHD 40 PIPE SHALL MEET THE REQUIREMENTS OF ASTM D1785. GASKET JOINTS FOR SANITARY PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3139 AND D3212.
...
13. PUBLIC SANITARY SEWER SHALL BE CENTERED WITHIN A 20 FOOT WIDE SANITARY SEWER EASEMENT.

GENERAL WATERMAIN NOTES

- 1. WATERMAIN PIPE MATERIALS SHALL BE AS FOLLOWS:
1.1. D.I.P. CL52 (WATERMAIN)
2. WATERMAIN FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO AWWA C110.
3. WATERMANS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. BAC-1 SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH R235.11110 OF THE ADMINISTRATIVE RULES PROMULGATED UNDER MICHIGAN SAFE DRINKING WATER ACT, 1976 PA 399, AS AMENDED.
...
11. PUBLIC WATERMAIN SHALL BE CENTERED WITHIN A 25 FOOT WIDE WATERMAIN EASEMENT.

LINES & HATCHES LEGEND

Table with columns for PROPOSED (PR) and EXISTING (EX) showing symbols for SANITARY SEWER, STORM SEWER, WATER MAIN, ASPHALT, HIGH STRENGTH ASPHALT, and WETLAND.

LIGHTING LEGEND

Table with columns for PROPOSED (PR) and EXISTING (EX) showing symbols for DOUBLE FIXTURE LIGHT POLE, SINGLE FIXTURE LIGHT FIXTURE, WALL MOUNTED LIGHT FIXTURE, GROUND LIGHT FIXTURE, FOOT CANDLES ON SITE, FOOT CANDLES OFF SITE, FOOT CANDLES CONTOURS, and CANOPY MOUNTED LIGHT FIXTURE.

LANDSCAPE LEGEND

Table showing symbols for EXISTING and PROPOSED CONIFER TREES, DECIDUOUS TREES, PROTECTION TREE, ORNAMENTAL TREE, SHRUBS, GRASSES & PERENNIALS, and LANDSCAPE BOULDER.

ABBREVIATIONS

Table listing abbreviations such as FFE (FINISHED FLOOR ELEVATION), BFE (BASEMENT FLOOR ELEVATION), GFE (GARAGE FLOOR ELEVATION), and others.

FOR SITE PLAN APPROVAL ONLY! NOT FOR CONSTRUCTION

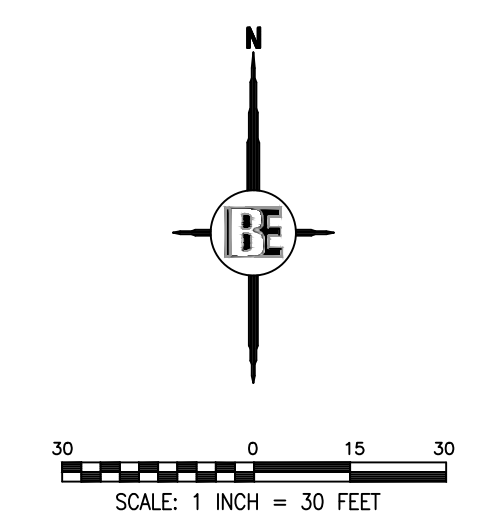
Professional seal and contact information for BEBOSS Engineering, including name, address, phone, and fax numbers.

Project title: SOAPY BUCKET CARWASH - LAWSON DR. and location: SPRINGBORN PROPERTIES, 3332 HIGH HILLCREST DRIVE, HOWELL, MI, 48843.

General notes table with columns for PROJECT, PREPARED FOR, TITLE, DATE, REVIEW COMMENTS, and REVISION PER.



N 1/4 COR.
SEC. 9
T2N-R5E
(F-03)



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

BEFORE ANY EXCAVATION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE THAT THESE UTILITIES ARE ACCURATELY LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY UTILITIES ARE FOUND AT A LOCATION OR DEPTH DIFFERENT FROM THAT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

GENERAL SURVEY NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING (NAVD88 DATUM).
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- THE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS SUPPLIED BY MHOG.

SITE BENCHMARKS (NAVD88):

- BM #200 = BM ARROW TOP HYDRANT
ELEV.=981.66
- BM #201 = BM CHIS X W/S LPOLE CONC BASE
ELEV.=980.88

PROPERTY DESCRIPTION AS PROVIDED:

Land situated in the Township of Genoa, County of Livingston, State of Michigan, described as:

A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; thence S 64°41'00" E 226.83 feet along the South line of said Grand River Avenue; thence S 40°07'33" W 226.01 feet; thence South 15.97 feet; thence N 89°56'16" W 11.60 feet; thence 171.09 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing and distance of N 77°44'37" W 169.78 feet; thence N 25°19'00" E 348.40 feet to the point of beginning. All of the above containing 1.54 acres. All of the above along with and being subject to a 50' wide Private Road Access Easement, the centerline of said easement being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 552.94 feet along the South line of said Grand River Avenue; to a point of beginning; thence S 26°06'30" W 47.03 feet; thence 251.05 feet along the arc of a curve to the left, said curve having a radius of 202.87 feet and a chord bearing and distance of S 09°25'46" E 235.33 feet; thence S 47°14'03" E 308.04 feet; thence 296.81 feet along the arc of a curve to the left, said curve having a radius of 400.00 feet and a chord bearing and distance of S 68°44'20" E 290.05 feet; thence S 89°56'16" E 11.60 feet to a point of ending. The above easement containing 1.05 acres. All of the above being subject to easements, restrictions and right-of-ways of record.

Commonly known as: 1415 Lawson Drive, Howell, Michigan 48843
Tax Identification No.: 11-09-200-028

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3535 HIGH HILLCREST DRIVE
HOWELL, MI 48843
313-350-3598

NO	BY	DATE	REVISION

TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

DRAWN BY: AEB
FIELD CREW: CZ/PB
CHECKED BY:
SCALE: 1" = 30'
JOB NO.: 23-134
DATE: 10-31-23
SHEET NO.: 3



STORM SEWER INVENTORY:

STORM CB #	RIM	INV.	CONC.
STORM CB #1	RIM=975.91	INV. NW=970.21 (24" CONC.)	INV. SE=970.11 (24" CONC.)
STORM CB #2	RIM=972.39	INV. SW=966.99 (24" CONC.)	INV. NE=965.18 (8")
STORM CB #3	RIM=972.04	INV. SE=968.59 (12" CONC.)	
STORM CB #4	RIM=972.04	INV. NW=968.54 (12" CONC.)	INV. SW=968.54 (12" CONC.) (FULL OF WATER)
STORM CB #5	RIM=977.27	INV. NE=968.07 (15" CONC.)	INV. SW=968.12 (15" CONC.)
STORM CB #6	RIM=977.32	INV. N=967.82 (15" CONC.)	INV. E=967.02 (36" CONC.)
STORM CB #7	RIM=979.02	INV. E=968.92 (36" CONC.)	INV. NW=968.42 (36" CONC.)
STORM CB #8	RIM=976.59	INV. SE=969.69 (36" CONC.)	INV. NE=970.39 (24" CONC.)
STORM CB #9	RIM=976.56	INV. SW=970.56 (24" CONC.)	INV. NE=970.66 (6" CONC.)

SANITARY SEWER INVENTORY:

SANITARY MANHOLE #	RIM	INV.	CONC.
SANITARY MANHOLE #1	RIM=980.62	INV. W=972.12 (8")	INV. SE=971.42 (8")
SANITARY MANHOLE #2	RIM=978.18	INV. S=965.43 (8")	INV. NE=965.18 (8")
SANITARY MANHOLE #3	RIM=972.52	INV. SW=964.02 (8")	INV. SE=964.07 (8")
SANITARY MANHOLE #4	RIM=972.29	INV. SW=962.99 (8")	INV. NE=962.39 (8")

OUTLOT 3 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 4 PARCEL #4711-09-200-028 1.54 AC ± 1415 LAWSON DR. ZONED NR PUD

OUTLOT 5 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 6 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 7 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 8 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 9 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 10 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 11 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 12 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 13 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 14 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 15 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 16 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 17 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 18 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 19 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 20 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 21 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 22 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 23 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 24 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 25 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

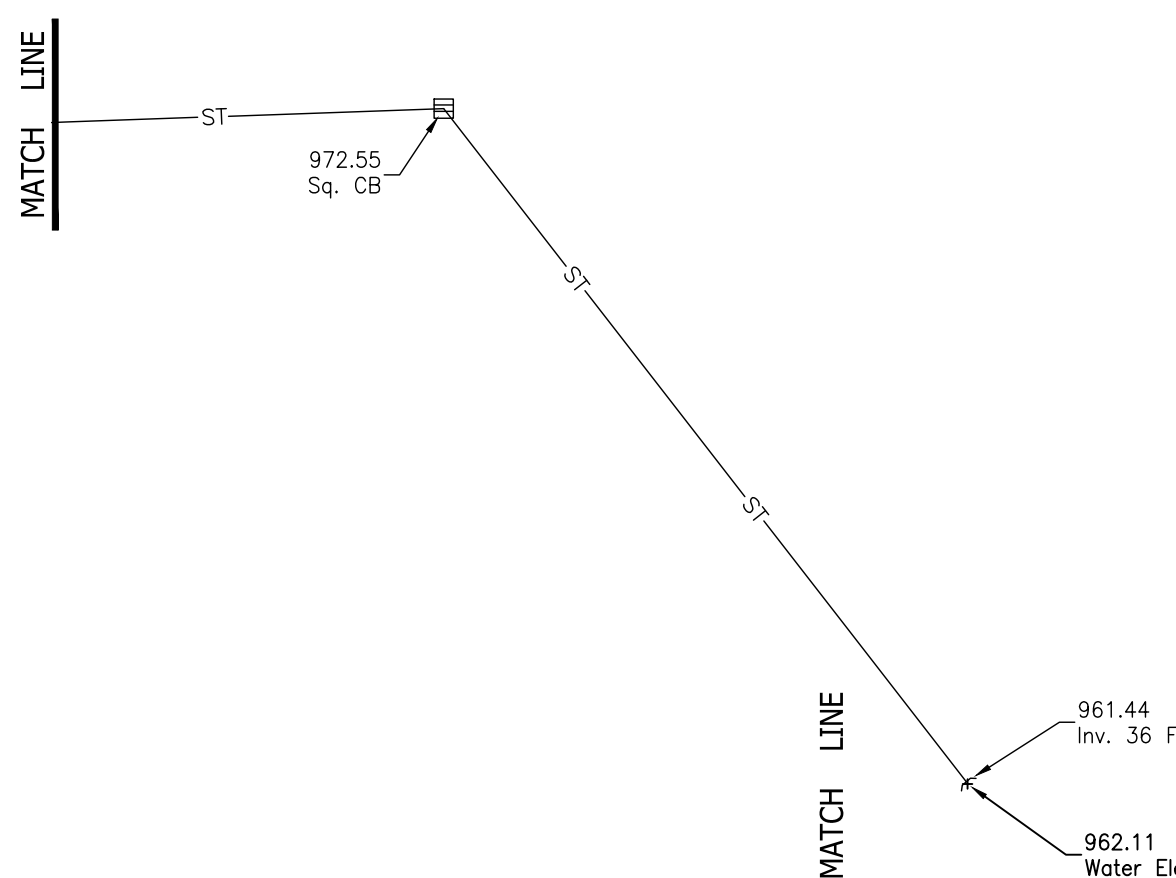
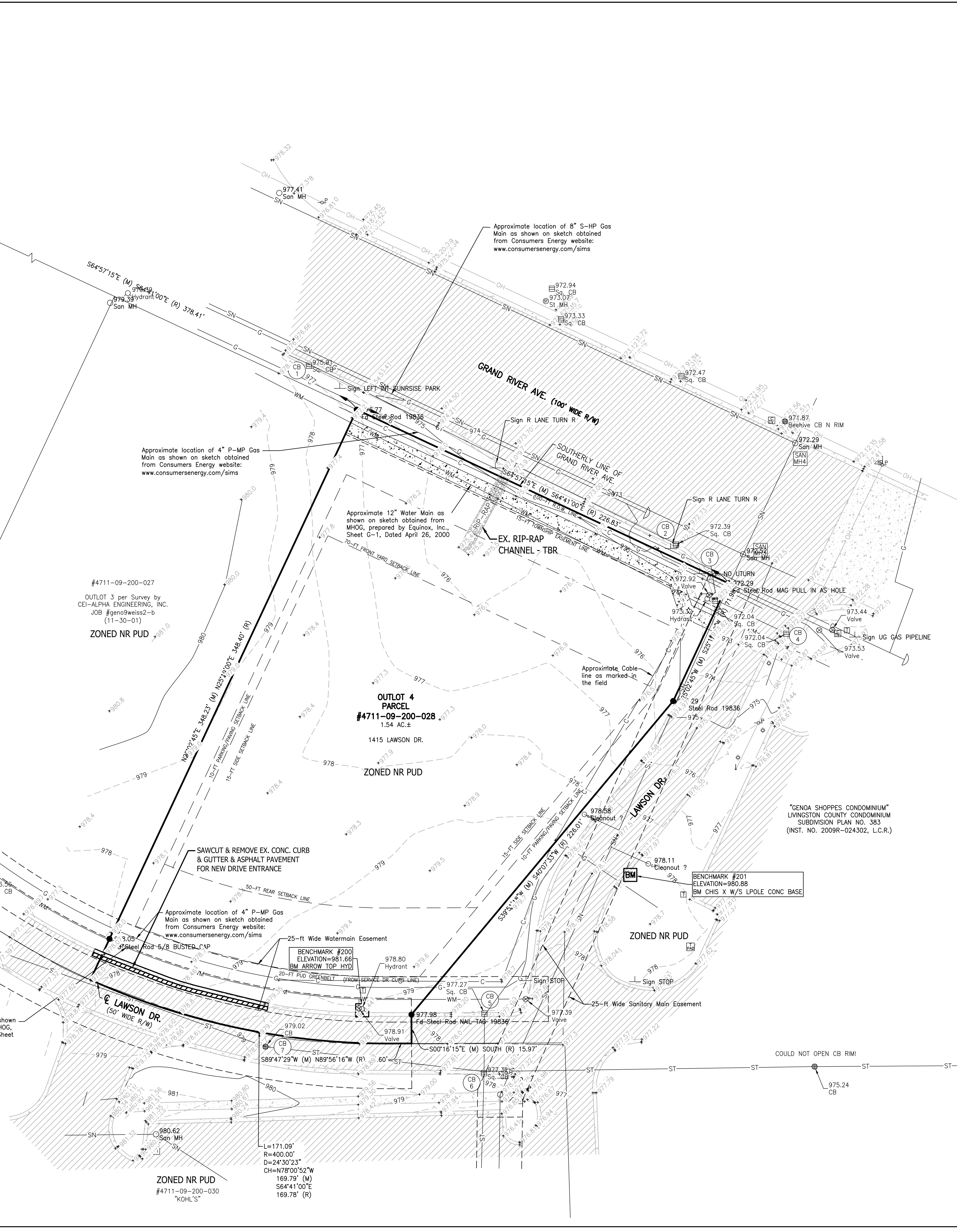
OUTLOT 26 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 27 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

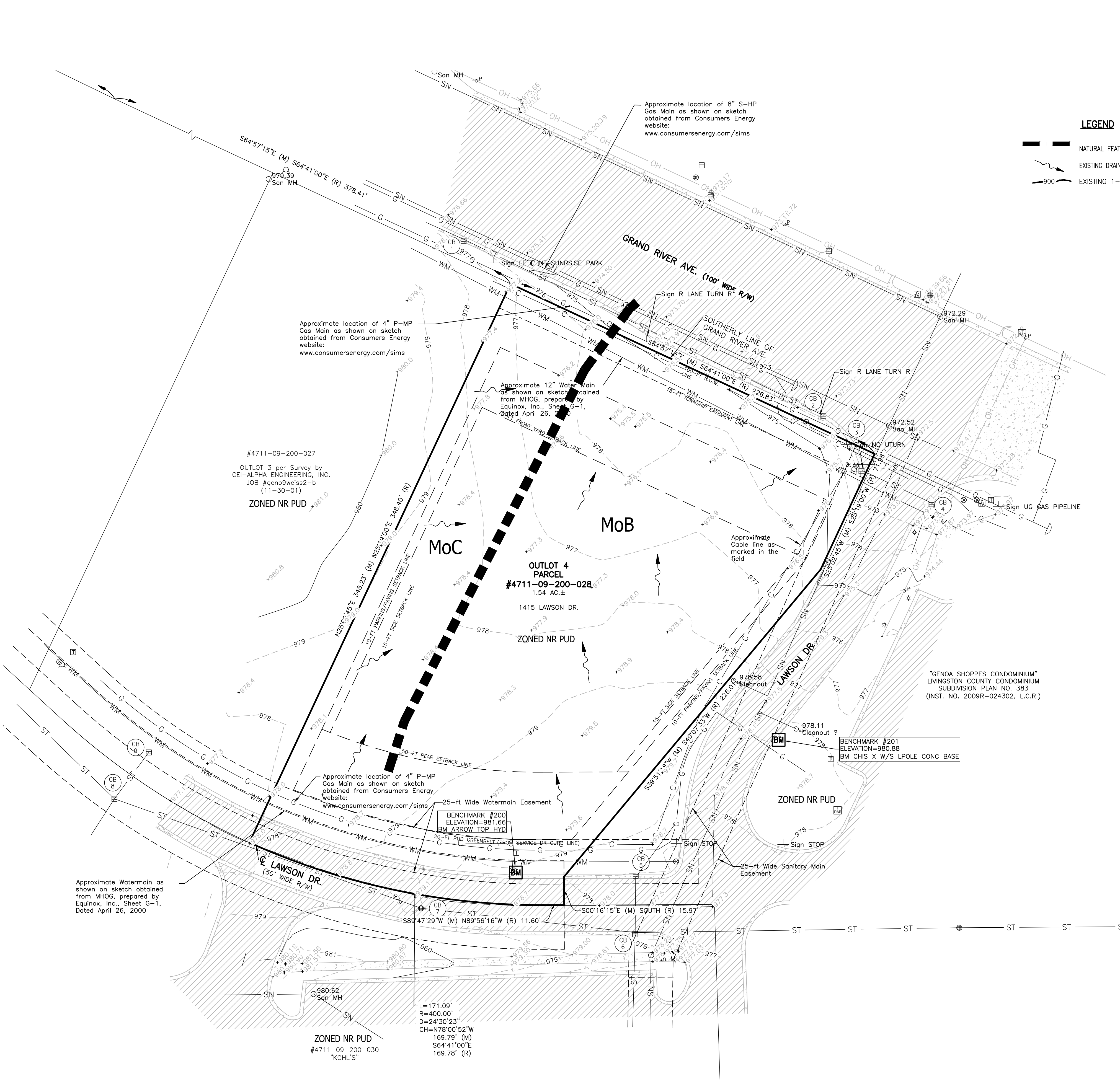
OUTLOT 28 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 29 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)

OUTLOT 30 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno2weiss2-b (11-30-01)



FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION



LEGEND

- NATURAL FEATURE TYPE BOUNDARY
- EXISTING DRAINAGE FLOW
- EXISTING 1-FT CONTOURS

SCALE: 1 INCH = 30 FEET

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

NATURAL FEATURES NARRATIVE:
 NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON SEPTEMBER 1, 2023. SITE IS A VACANT OUTLOT OF AN OVERALL PLANNED UNIT DEVELOPMENT (PUD). IT CONSISTS ENTIRELY OF MOWED LAWN. THERE ARE NO TREES OR SHRUBS ON SITE. THERE IS A SMALL RIPPLED-RAPED SHALE AREA NEAR THE NORTHEAST CORNER OF THE SITE PRESUMABLY TO FACILITATE DRAINAGE OFF THE SITE.

THE ENTIRE SITE IS RELATIVELY FLAT WITH SLOPES RANGING FROM 1 - 4% TOWARD GRAND RIVER ROAD. SOILS ARE ALSO UNIFORM PER USDA NRCS SOILS DATA CONSISTING OF MIAMI LOAM. HOWEVER THE STEEPER INDICATED SLOPES ALONG THE WEST SIDE ACTUALLY CONTINUE TO FALL INTO THE MoB 2-6% RANGE (SEE PLAN)

NRCS EXISTING SOILS DATA:

- MoB MIAMI LOAM, 2-6% SLOPES
- MoC MIAMI LOAM, 6-12% SLOPES



Approximate location of 8" S-HP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

Approximate location of 4" P-MP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

Approximate 12" Water Main as shown on sketch obtained from MHO, prepared by Equinox, Inc., Sheet G-1, Dated April 26, 2000

#4711-09-200-027
 OUTLOT 3 per Survey by CEI-ALPHA ENGINEERING, INC. JOB #geno9weiss2-b (11-30-01)
 ZONED NR PUD

OUTLOT 4 PARCEL #4711-09-200-028, 1.54 AC.±
 1415 LAWSON DR.
 ZONED NR PUD

Approximate location of 4" P-MP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

Approximate Watermain as shown on sketch obtained from MHO, prepared by Equinox, Inc., Sheet G-1, Dated April 26, 2000

ZONED NR PUD #4711-09-200-030 "KOHLS"

BENCHMARK #200
 ELEVATION=981.66
 BM ARROW TOP HYD

"GENOA SHOPPES CONDOMINIUM" LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 363 (INST. NO. 2009R-024302, L.C.R.)

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

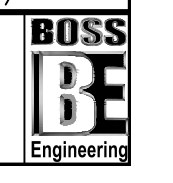
BEBOSS ENGINEERING
 BEBOSS ENGINEERING
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 1-800-467-7171
 www.beboss.com

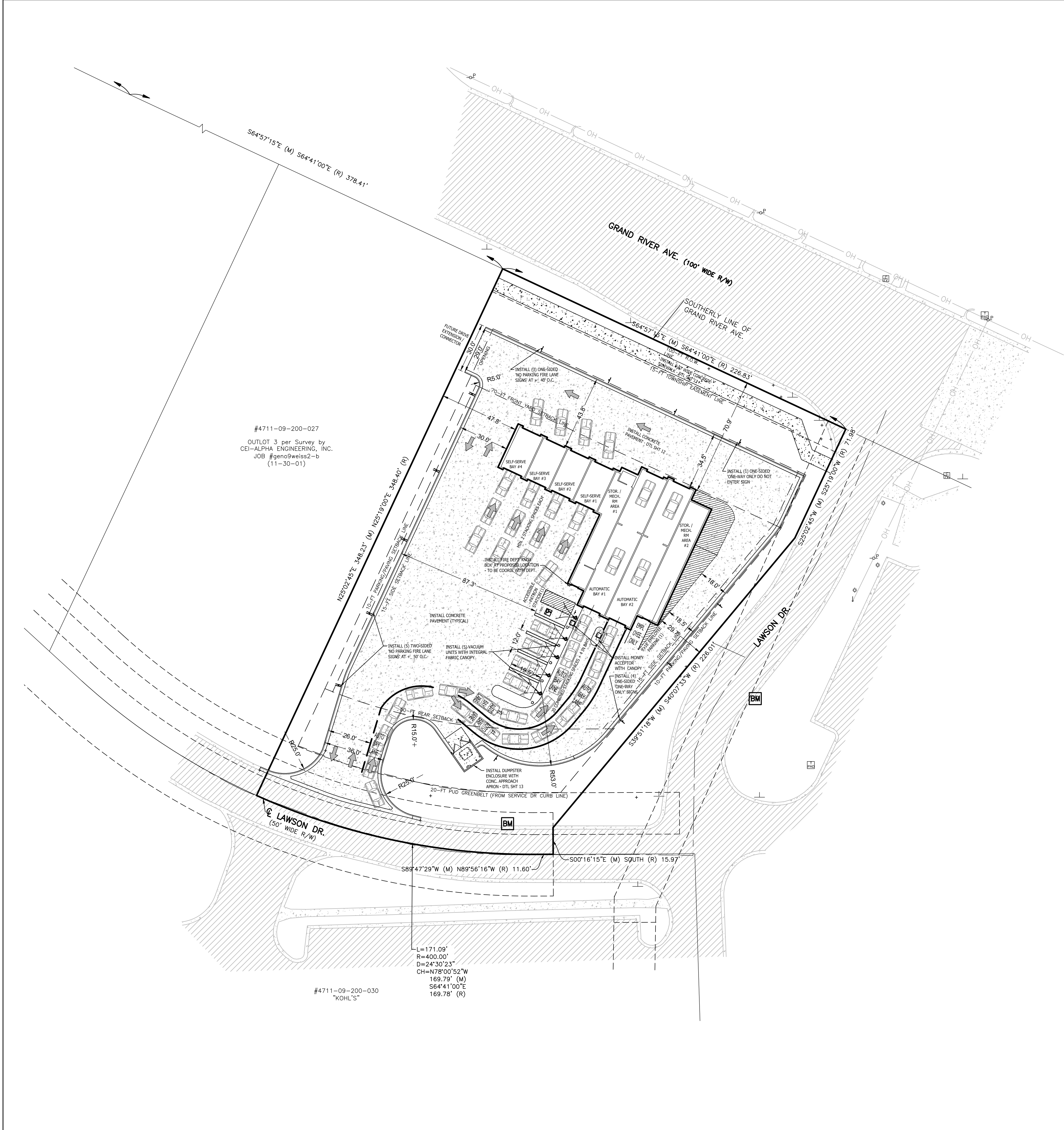
BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388

NO	BY	REVISION COMMENTS	DATE
1	PC		12/18/23

DESIGNED BY: PC
 DRAWN BY: JS
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. 4





#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #geno9weiss2-b
 (11-30-01)

#4711-09-200-030
 "Kohl's"

L=171.09'
 R=400.00'
 D=24'30"23"
 CH=N78°00'52"W
 169.79' (M)
 S64°41'00"E
 169.78' (R)

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

SITE STATISTICAL DATA:
 ZONED: 'NR PUD' - PER PUD AGREEMENT SETBACKS TO FOLLOW GCD ZONING
 DEVELOPMENT TYPE/USE PROPOSED: CARWASH
 ADJACENT ZONING: NR PUD

MIN LOT: 1.0 AC SIZE; MIN LOT WIDTH 150 LFT; MAX DEPTH/WIDTH RATIO 4:1
 MAX BLDG. HGT: 35-FT (2-STORIES)
 MAX LOT COVERAGES: BUILDING 35%, IMPERVIOUS SURFACES 75%

GROSS SITE AREA: ±1.52 AC (NET 1.39 AC [60,550 SQFT.] EXCL. OF R.O.W.)
 MIN. LOT WIDTH ALONG GRAND RIVER AVE: 226.81-FT
 DEPTH-WIDTH RATIO: 1.54:1
 PROPOSED BUILDING HEIGHT: TBD
 BUILDING COVERAGE (FOOTPRINT): 6,877 SQFT (11.4%)
 IMPERVIOUS SURFACE (EXCL. OF BLDG): 34,715 SQFT (0.80 AC) (57.3%)
 PERVIOUS SURFACE: 18,958 SQFT. (0.43 AC) (31.3%)
 TOTAL LOT COVERAGE (BLDG + IMPERVIOUS): 41,592 / 60,550 = 68.7%

MIN. SETBACKS REQUIRED AT PROPOSED BUILDING (NO ADJACENT RESIDENTIAL):

REQUIRED:	PROVIDED:
FRONT - NORTH: 70-FT (FRONT YARD PAVEMENT)	70-FT
REAR - SOUTH: 50-FT	125-FT (VARIES, MIN)
SIDE - EAST: 15-FT	29.1-FT (VARIES, MIN)
SIDE - WEST: 15-FT	46.6-FT

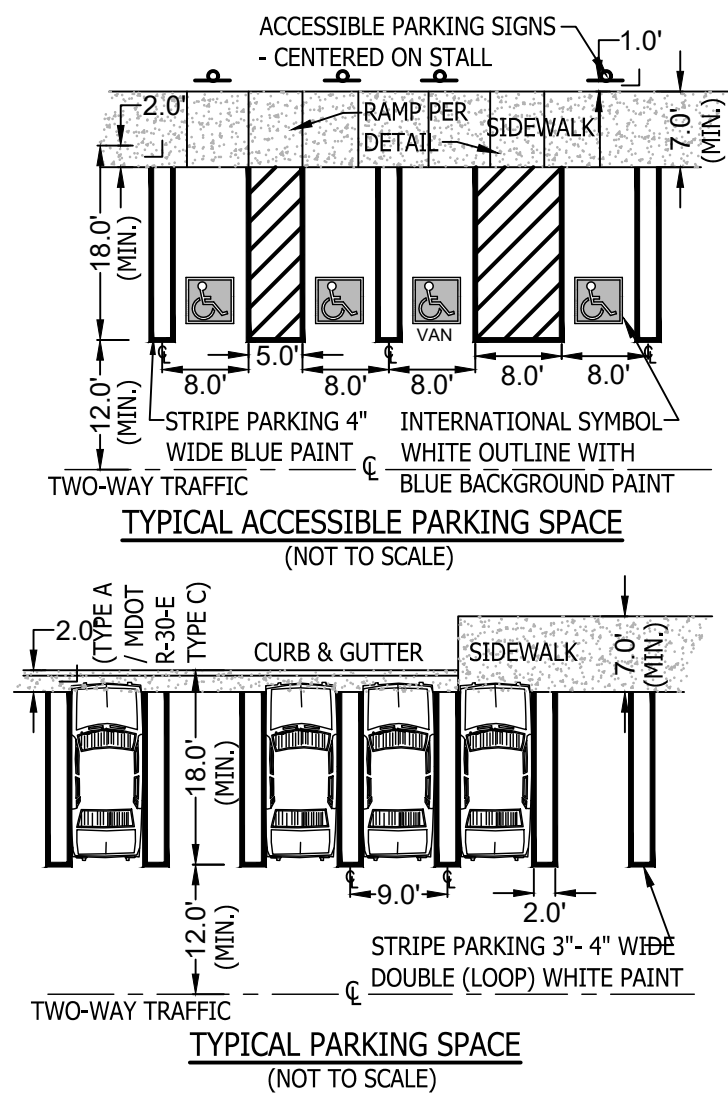
PARKING CALCULATIONS:
 CARWASH = 2 SPACES + 1 SPACE / EMPLOYEE PEAK SHIFT = 3 SPACES
 INCLUDING MIN 1 VAN ACCESSIBLE BARRIER-FREE SPACE
 STACKING SPACES: MIN 15 PER EACH AUTOMATIC BAY
 MIN 2 EACH PER SELF SERVE BAY
 LOADING SPACE: MIN 1, 10-FT x 50-FT x 14-FT CLEAR, REQUIRED

PROVIDED PARKING: 5 VACUUM STATIONS + 1 EMPLOYEE = 6 TOTAL SPACES
 (INCLUDING 1 VAN ACCESSIBLE BARRIER-FREE SPACE)
 PROVIDED STACKING SPACES: 20 COMBINED FOR AUTOMATIC BAYS
 (SPLIT LANES) + 4 IN BAYS
 MIN. 2+ EACH FOR 4 SELF-SERVE BAYS
 [IN-BAY-TYPE SYSTEM ONLY]

PROVIDED LOADING = N/A

GENERAL NOTES

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL BE BUILDING MOUNTED AND SHALL MEET DEVELOPMENT'S PUD AND TOWNSHIP SIGN ORDINANCE REQUIREMENTS.
- THE BUILDING ADDRESS SHALL BE A MINIMUM 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- A KEY BOX/KNOX BOX SHALL BE LOCATED NEAR THE FRONT ENTRY (FINAL LOCATION TO BE DETERMINED BETWEEN THE OWNER & FIRE MARSHALL).
- ONE SIDE OF THE SITE CIRCULATION ROUTE SHALL BE MARKED AS A FIRE LANE AND SHALL HAVE APPROPRIATE SIGNAGE.
- SITE CIRCULATION ROUTE SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 84,000 LBS.
- A MINIMUM VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED THROUGHOUT THE SITE. THIS INCLUDES ENCROACHMENTS FROM LARGE TREE CANOPIES, LIGHTING, ETC.
- DURING THE CONSTRUCTION PROCESS, THE BUILDING WILL BE EVALUATED FOR EMERGENCY RESPONDER RADIO SIGNAL STRENGTH. IF COVERAGE IS FOUND TO BE QUESTIONABLE OR INADEQUATE, AN APPROVED CONTRACTOR SHALL BE HIRED TO PERFORM A GRID TEST OF THE FACILITY. IF THE SIGNAL STRENGTH COVERAGE IS FOUND TO BE NON-COMPLIANT, AN APPROVED EMERGENCY RESPONDER RADIO COVERAGE SYSTEM SHALL BE PROVIDED IN THE BUILDING.
- SITE LIGHTING SHALL BE PLACED ON TIMERS TO BE OFF DURING NON-USE HOURS TO THE EXTENT POSSIBLE WHILE MAINTAINING SITE SAFETY. SITE LIGHTING SHALL BE PROGRAMMED TO TURN OFF AT NIGHT WHEN ACTIVITIES ARE NO LONGER OCCURRING ON THE PROPERTY.



TRIP GENERATION SUMMARY

LAND USE DESCRIPTION*	ITE CAT.	SIZE	UNIT	AVG DAILY TRAFFIC (vpd)	WEEKDAY AM PEAK HOUR			WEEKDAY PM PEAK HOUR			
					TOTAL			TOTAL			
					IN	OUT	TOTAL	IN	OUT	TOTAL	
CARWASH SELF-SERVICE	947	4	WASH STALLS	432	32	16	16	32	16	16	
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%	
CARWASH AUTOMATIC (NON-TURNEL TYPE)	948	3.26	TH-GFA**	***	46	23	23	38	19	19	
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%	
TOTALS					-	78	39	39	70	35	35
GENOA TOWNSHIP THRESHOLD FOR TIS						100	100	100	100	100	100
TIS REQUIRED						NO	NO	NO	NO	NO	

* TRIP DATA PER INSTITUTE OF TRAFFIC ENGINEERS (ITE) TRIP GENERATION MANUAL 10TH EDITION - VOLUME 2: PART 3
 ** PER THOUSAND SQUARE FEET OF GROSS FLOOR AREA
 *** TOTAL DAILY TRAFFIC NOT LISTED; AM PEAK HOUR IS MAX WEEKDAY PEAK HOUR OF ADJ. TRAFFIC IN PM

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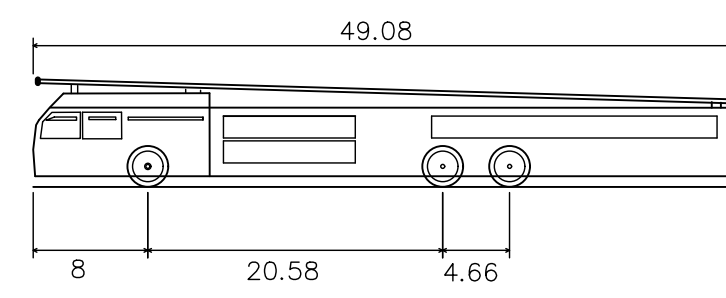
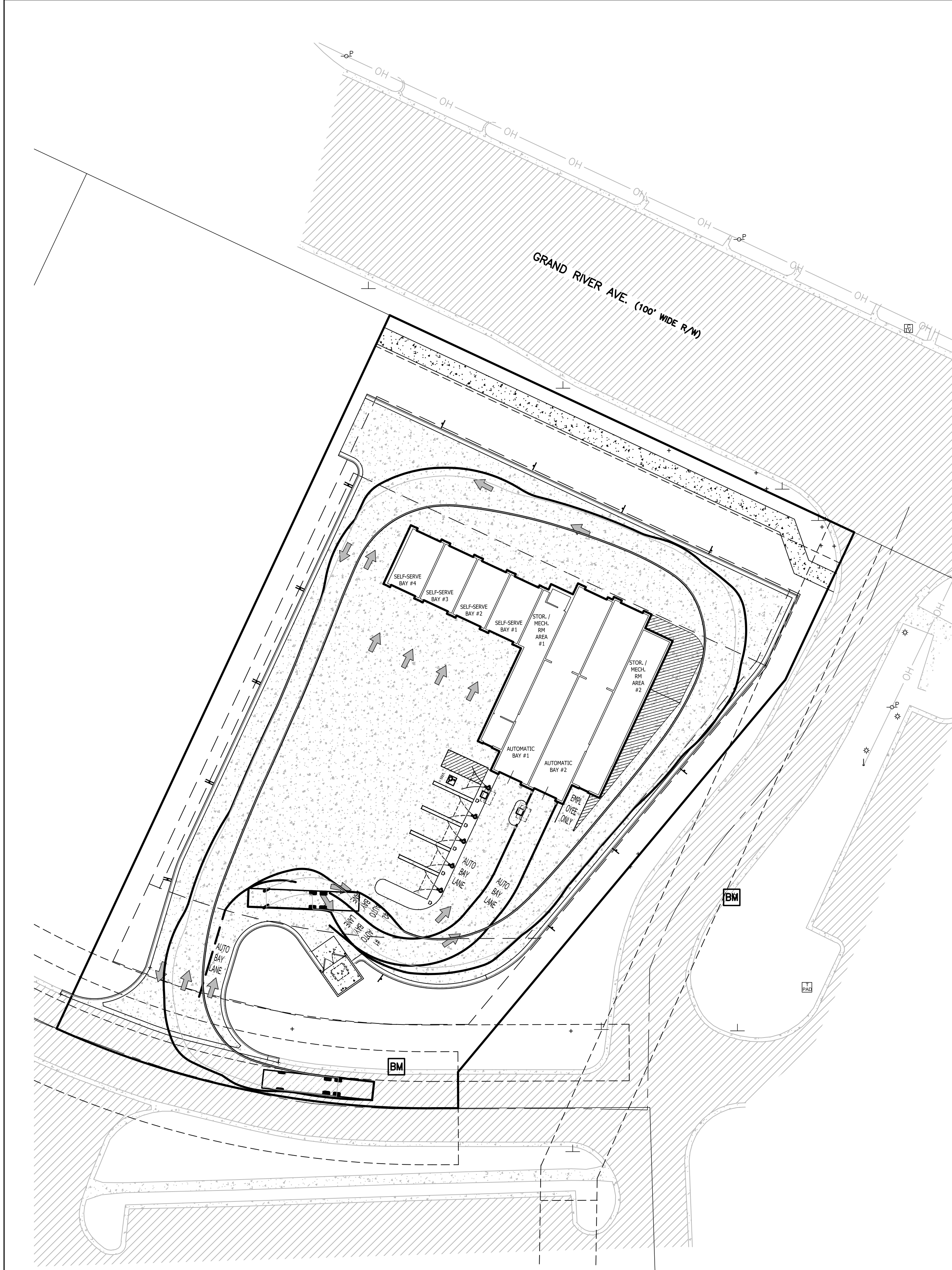
BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3332 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3358

TITLE: SITE PLAN
 DATE: 12/18/23
 REVIEW COMMENTS PER: 1 PC
 NO BY:

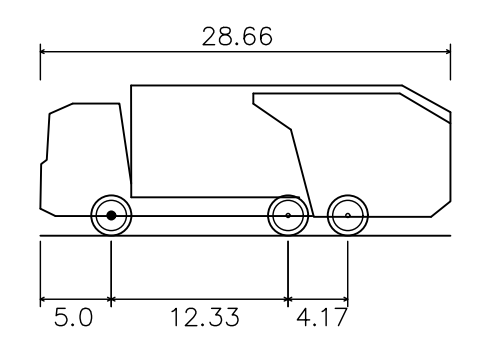
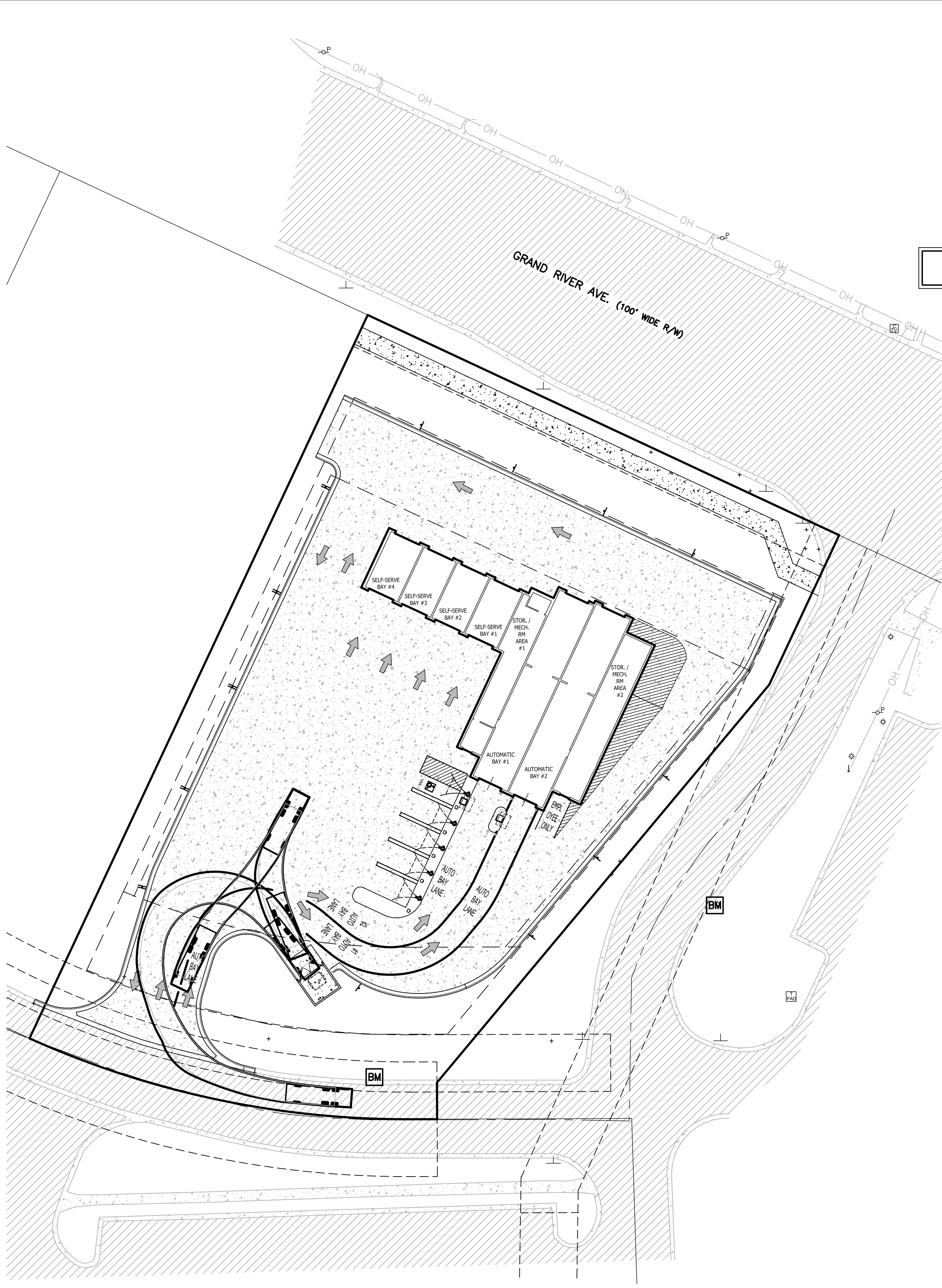
DESIGNED BY: PC
 DRAWN BY: DH
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. 5

BEBOSS Engineering



**FIRE LADDER TRUCK
VEHICLE TRACKING PLAN**

Brighton Area Fire Authority	
Overall Length	49.083ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	45.00°



**WASTE HAULING TRUCK
VEHICLE TRACKING PLAN**

Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd	
Overall Length	28.6ft
Overall Width	8.0ft
Overall Body Height	10.5ft
Min Body Ground Clearance	1.3ft
Track Width	8.0ft
Lock-to-lock time	6.0s
Curb to Curb Turning Radius	33.5ft

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

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THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY IS MADE BY THE ENGINEER AS TO THE ACCURACY OF THE LOCATION, DEPTH, OR ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR FROM THE PLANS.

BE ENGINEERING, INC.
CALL: M55-DIG
1-800-442-7171
www.be-engineering.com

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Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
PREPARED FOR: **SPRINGBORN PROPERTIES**
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: **CIRCULATION PLAN**

NO	BY	REVISION COMMENTS	DATE
1	PC	DESIGNED BY:	12/18/23
	DH	DRAWN BY:	
		CHECKED BY:	
		SCALE: 1" = 30'	
		JOB NO: 23-134	
		DATE: 10/31/23	
		SHEET NO.	
		6	

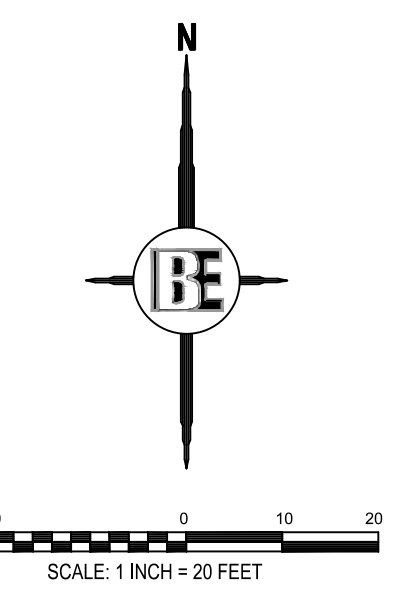
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY OF ACCURACY IS MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

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PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
 PREPARED FOR: **SPRINGBORN PROPERTIES**
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388

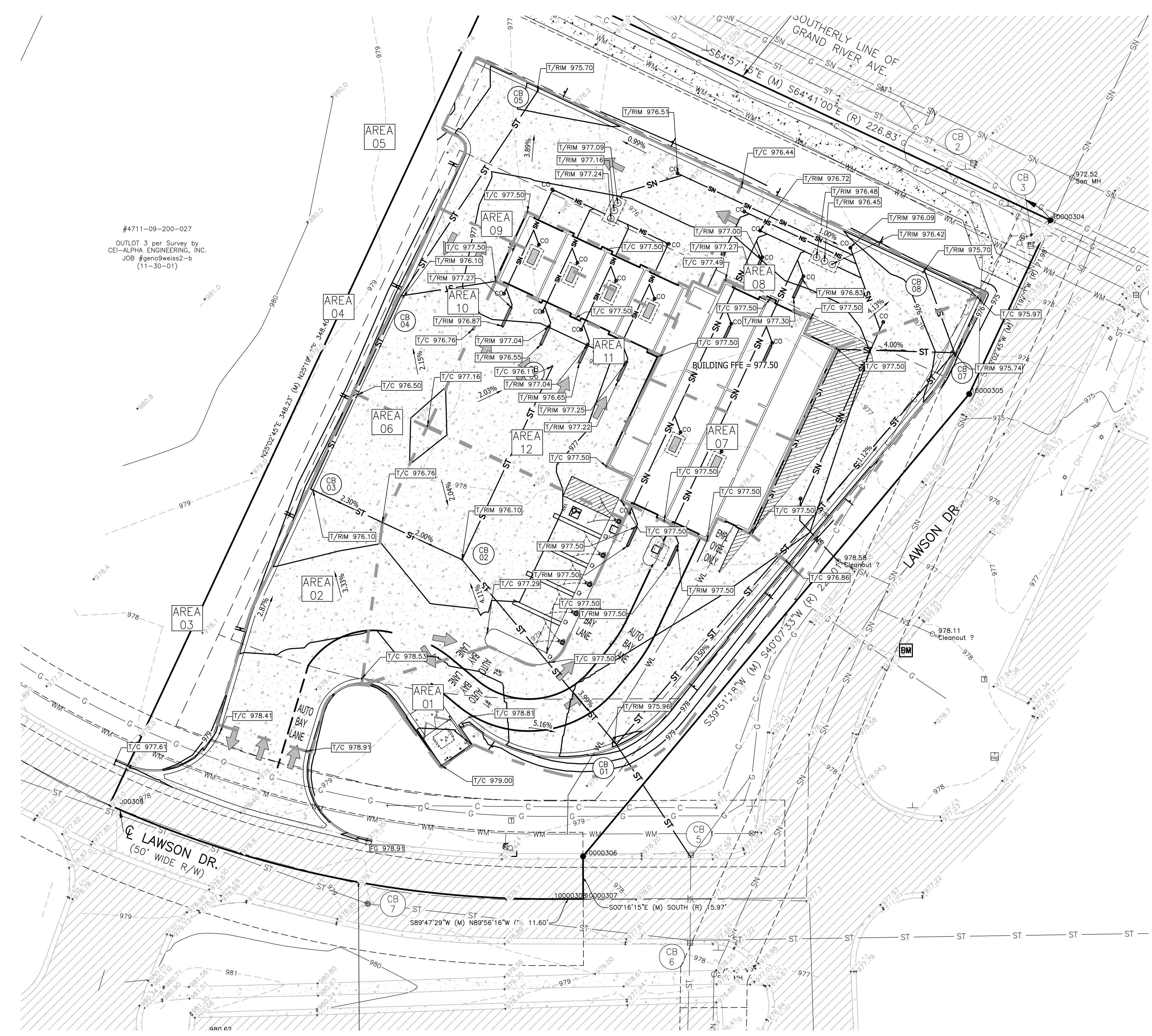
TITLE: **GRADING & DRAINAGE PLAN**

NO	BY	DATE	REVISION
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2	PC		DRAWN BY: DH
3	PC		CHECKED BY:
4	PC		SCALE: 1" = 20'
5	PC		JOB NO: 23-134
6	PC		DATE: 10/31/23
7	PC		SHEET NO.



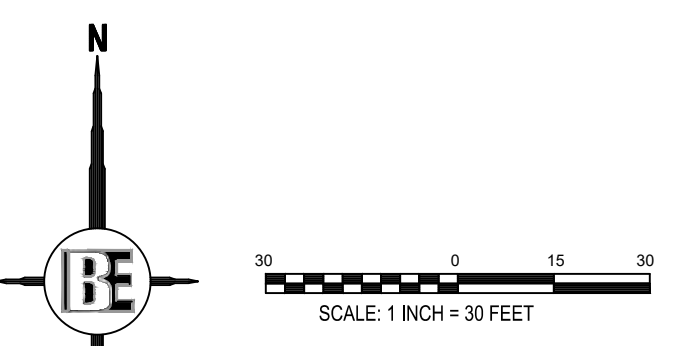
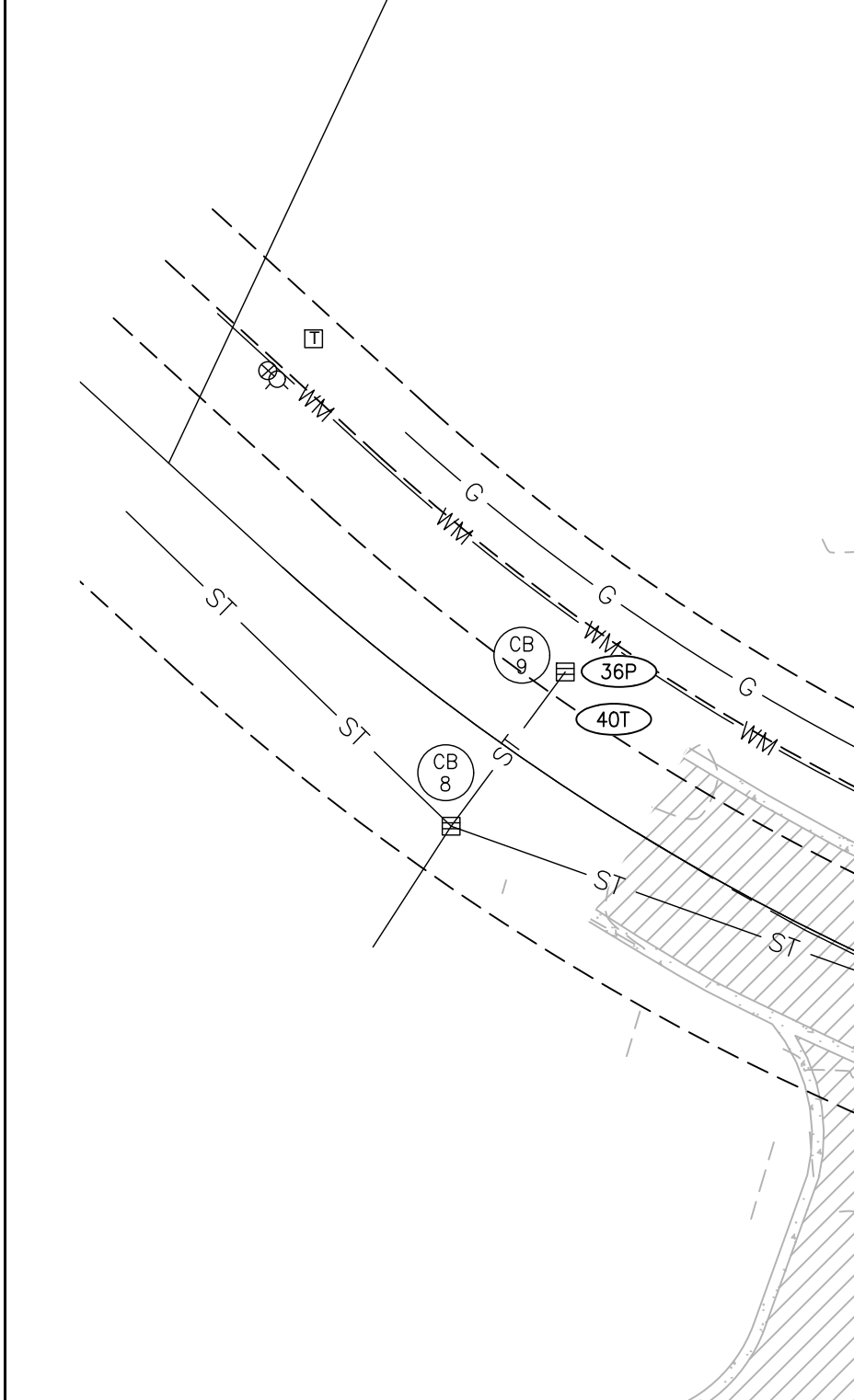
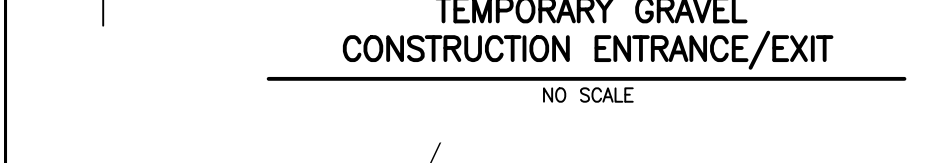
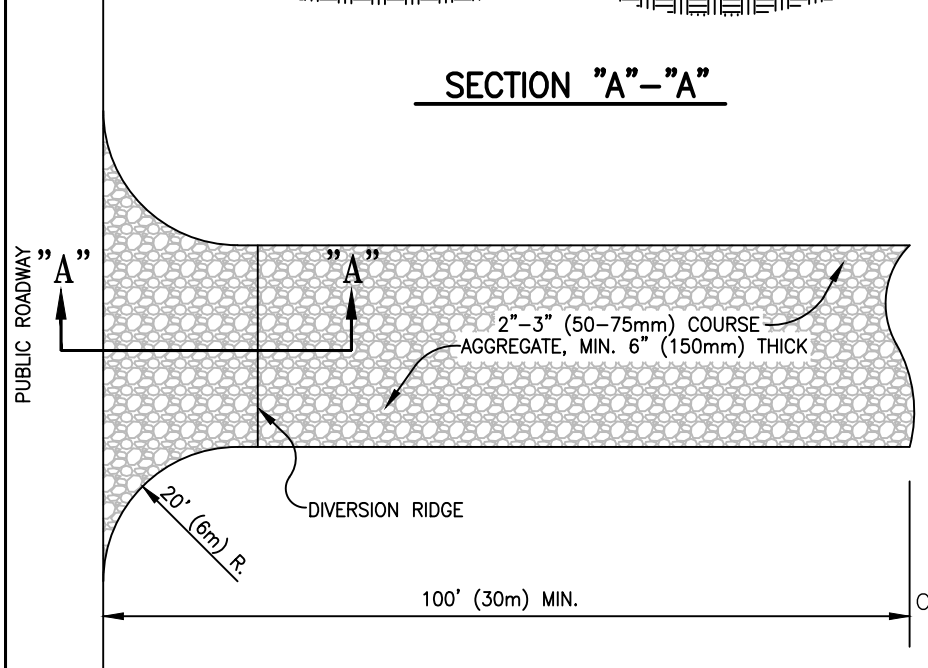
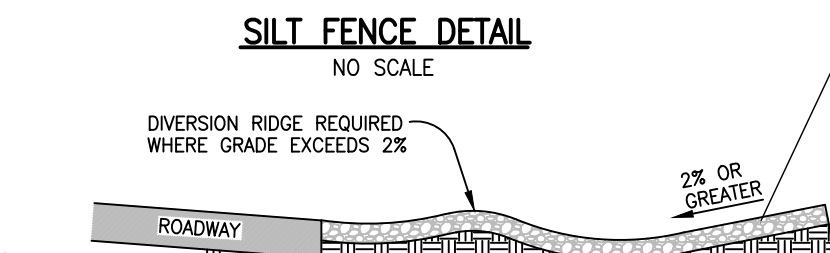
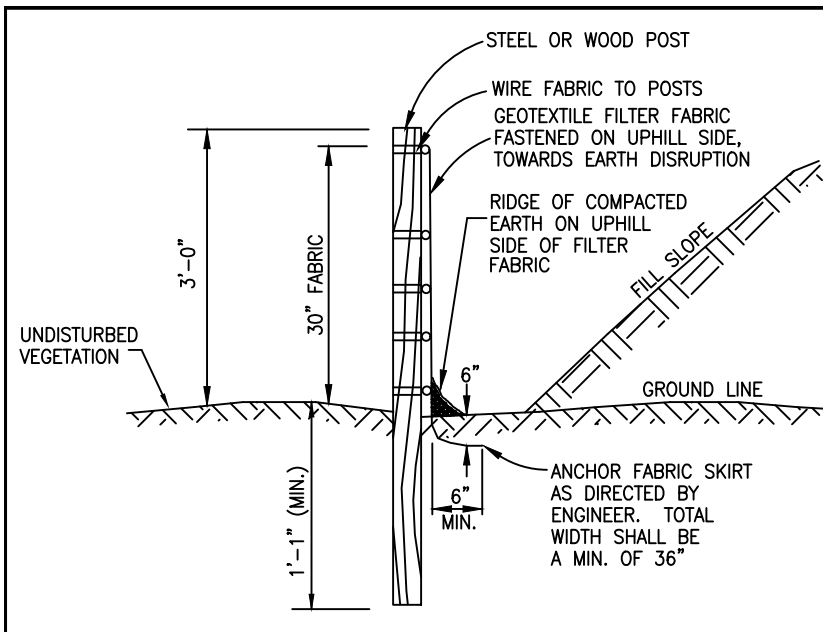
SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

DRAINAGE AREA TABLE				
DRAINAGE AREA	TOTAL AREA (AC)	IMP. AREA (AC)	C VALUE	A'C
1	0.18	0.17	0.85	0.15
2	0.14	0.14	0.90	0.13
3	0.11	0.11	0.90	0.10
4	0.05	0.05	0.90	0.05
5	0.12	0.12	0.90	0.10
6	0.10	0.10	0.90	0.09
7	0.07	0.07	0.90	0.07
8	0.07	0.07	0.90	0.06
9	0.02	0.02	0.90	0.02
10	0.02	0.02	0.90	0.02
11	0.06	0.06	0.90	0.05
12	0.06	0.06	0.90	0.05
TOTALS	1.00	0.99	0.89	0.90



#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #geno9weiss2-b
 (11-30-01)

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND
FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

LIVINGSTON COUNTY SOIL EROSION PERMIT TEMPLATE
TEMPORARY CONTROLS AND SEQUENCE

- NOTIFY LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO START OF GRADE WORK.
- IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974 THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE START OF ANY WORK.
- (IMPORTANT NOTICE) RETENTION/DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUST HAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
- 36" M.D.O.T SPECIFICATION TYPE SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED AND MAINTAINED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITE.
- ALL TEMPORARY EROSION CONTROL DEVICES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
- PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 100' LINEAL FEET.
- RETENTION PONDS
- RETENTION/DETENTION/SEDIMENTATION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
- DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND/PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD. AN EMERGENCY SPILLWAY SHALL BE CONSTRUCTED WITHIN THE FREEBOARD LEVEL.
- THE EMERGENCY SPILLWAY FROM THE DETENTION POND SHALL BE SODDED AND PEGGED, OR RIP RAPPED, 15 FEET PAST THE TOE OF THE SLOPE OF THE BERM.
- DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER.
- RETENTION/DETENTION PONDS SHALL BE FENCED WITH A 4" CHAIN LINK FENCE, INCLUDING A 12" ACCESS GATE FOR MAINTENANCE UNLESS MINIMUM 5 FT. HORIZONTAL TO 1 FT. VERTICAL. SIDE SLOPES ARE PROVIDED, THE FENCE SHALL BE INSTALLED AT THE OUTER PORTION OF THE BERM, TO ALLOW FOR MAINTENANCE WORK TO BE DONE INSIDE THE FENCE.
- ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE DURING THE EXCAVATING STAGE. TOPSOIL PILES SHALL BE SEEDED AND MULCHED, OR MATTED WITH STRAW IN THE NON-GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.
- SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.

- SLOPES AND DITCHES**
- ON SITE DITCHES SHALL BE OF THE FLAT BOTTOM TYPE MINIMUM WIDTH OF 2' WITH A MINIMUM OF 3 HORIZONTAL TO 1 VERTICAL SIDE SLOPES, 3:1.
 - DITCHES WITH STEEP SLOPES WILL NEED FLOW CHECKS TO PREVENT SCOURING OF THE DITCH BOTTOM. THESE SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR INSPECTOR.
 - SLOPES IN EXCESS OF 3 HORIZONTAL TO 1 VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PRIOR APPROVED DEVICE.
- STORM DRAINS**
- ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BLOCK, SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE.
 - STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BALE BARRIER AND STONE FILTER INSTALLED ALONG THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BALE BARRIER, A BURLAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURLAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. IN DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURLAP FILTER THE MINIMUM OF 1 FT. OF STONE IS VERY IMPORTANT. THE CONTROL SHALL BE INSTALLED AS SOON AS THE STRUCTURE IS BUILT AND INSPECTED DAILY.
 - BURLAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL.
 - COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12" CAN BE BAFFLED TO THE CORRECT SIZE. ALL PIPE SHALL MEET THE 12" DIAMETER CODE SIZE.
 - ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.

- ALL STORM DRAINAGE PIPE 30" IN DIAMETER OR LARGER SHALL BE POINTED, AT THE JOINTS ON THE INSIDE WITH MORTAR, AFTER BACKFILLING.
- ALL STORM DRAIN OUTLETS THAT DO NOT EMPTY INTO THE RETENTION/DETENTION POND SHALL HAVE A TEMPORARY 5'X10'X3' SUMP INSTALLED AT THE TERMINATION OF THE STORM SEWER. UPON COMPLETION OF THE STABILIZATION WORK THE SUMP AREA SHALL BE FILLED AND RIP RAPPED WITH STONE. SILT TRAPS SHALL BE INSPECTED AFTER EACH STORM.
- STORM WATER OUTLETS DO DENOTE RIP RAP. ALL OUTLETS SHALL BE RIP RAPPED OVER KEYED FILTER FABRIC WITH A MINIMUM OF 15 SQ. YARDS OF 6" OR LARGER STONE.
- RIP RAP AS NOTED ON THE PLAN SHALL BE OF A FUNNEL SHAPE CONSTRUCTION, WIDTH SHALL INCREASE AS DISTANCE FROM THE OUTLET POINT INCREASES AT A 3:1 RATIO.
- RIP RAP SHALL BE OF STONE, 6" IN DIAMETER OR LARGER. GROUTING MAY BE NECESSARY, AND SHALL BE A MINIMUM OF 6" IN DEPTH WITH THE STONE SET IN THE CEMENT SLURRY.
- STORM WATER OUTLET IS IN NEED OF A SPLASH BLOCK WHICH IS NOT NOTED ON THE PLAN. INSTALL SPLASH BLOCK IF SLOPE OF THE PIPE IS 4% OR GREATER.
- IT WILL BE NECESSARY FOR THE DEVELOPER TO HAVE THE STORM DRAINAGE LINES CLEANED PRIOR TO FINAL INSPECTION BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE. IF REQUIRED, THIS WORK SHALL BE DONE BY A PROFESSIONAL SEWER CLEANING FIRM AND CERTIFIED IN WRITING BY THE PROJECT ENGINEER. ALL SUMPS AND TEMPORARY SILT TRAPS SHALL ALSO BE CLEANED AT THIS TIME.
- STABILIZATION**
- ALL UNIMPROVED DISTURBED AREAS SHALL BE RE-TOP SOILED, WITH A MINIMUM OF 3" OF MATERIAL, SEEDED, MULCHED AND TACKED WITHIN 15 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION. IN THE NON-GROWING SEASON STRAW MATTING WILL SURFACE. HYDROSEEDING WILL BE AN ACCEPTABLE ALTERNATE FOR MULCHING. EXTREME CARE SHOULD BE EXERCISED IN SPRING AND FALL PERIODS AS A FROST WILL BREAK THE BIND OF THE HYDROSEEDING, WHICH WILL AFFECT THE EFFECTIVENESS OF THIS PROCEDURE.
- IN THE NON-GROWING SEASON, TEMPORARY STABILIZATION OF MASSIVELY EXPOSED AREAS FOR WINTER STABILIZATION SHALL BE DONE WITH STRAW MATTING.
- PERIODIC INSPECTIONS WILL BE MADE THROUGHOUT THE COURSE OF THE PROJECT. IT WILL BE THE RESPONSIBILITY OF THE MANAGERS OF THE PROJECT TO CONTACT THIS OFFICE FOR THE FINAL INSPECTION AT THE END OF THE PROJECT.
- THIS COMMERCIAL PERMIT IS VALID FOR THE MASS EARTH MOVEMENT, THE INSTALLATION OF ROADS, DRAINS, AND UTILITIES ONLY. THE PERMIT IS NOT FOR INDIVIDUAL BUILDING UNITS. IT IS REQUIRED THAT THE TEMPORARY STABILIZATION OF THE ENTIRE SITE BE COMPLETED AND APPROVAL FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE MUST BE OBTAINED PRIOR TO THE ISSUANCE OF PERMITS FOR INDIVIDUAL BUILDING UNITS.
- THE ISSUING BUILDING DEPARTMENT SHALL NOT ISSUE THE CERTIFICATE OF OCCUPANCY UNTIL THE FINAL INSPECTION LETTER FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE HAS BEEN OBTAINED.
- PER THE LIVINGSTON COUNTY DRAIN COMMISSIONER THE SEEDING, FERTILIZER AND MULCH MINIMUM QUANTITIES SHALL BE AS FOLLOWS:
TOP-SOIL 3" IN DEPTH
GRASS SEED 218 LBS. PER ACRE
FERTILIZER 150 LBS. PER ACRE
STRAW MULCH 3" IN DEPTH 1.5 TO 2 TONS PER ACRE (ALL MULCHING MUST HAVE A TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.)
- HYDRO-SEEDING
HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% IN SUCH CASES STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.

MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROLS

- SILT FENCE SHALL BE INSPECTED WEEKLY AND AFTER EACH MAJOR STORM EVENT. MAINTENANCE SHALL INCLUDE REMOVAL OF ACCUMULATED SILT AND REPLACEMENT OF TORN SECTIONS. SILT FENCE SHALL BE REMOVED WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED.
- TRACKING PAD SHALL BE INSPECTED MONTHLY FOR ACCUMULATED DIRT. TRACKING PAD SHALL BE REPLACED WHEN THE STONES ARE CHOKED WITH DIRT. TRACKING PAD SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FIRST COURSE OF ASPHALT BEING LAID.
- DETENTION/RETENTION POND SHALL BE INSPECTED QUARTERLY ON A PERMANENT BASIS. MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL, EMBANKMENT STABILIZATION AND MAINTAINING THE OUTLET STRUCTURE IN GOOD CONDITION. NO TREES SHALL BE ALLOWED TO GROW ON THE EMBANKMENT.
- CATCH BASINS SHALL BE INSPECTED ANNUALLY FOR ACCUMULATION OF SEDIMENT. ALL SEDIMENT MUST BE REMOVED AND DISPOSED OF PROPERLY WHEN THE SUMP IS FULL.
- COMMON AREAS SHALL BE STABILIZED NO LATER THAN 15 DAYS AFTER GRADE WORK, PURSUANT TO RULE 1709 (5).

CONSTRUCTION SEQUENCE

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT LOCAL OF THIS PROJECT.

1 DAYS	1. INSTALL SILT FENCE AS SHOWN ON PLANS.
5 DAYS	2. ROUGH GRADE AND INSTALL STORM DRAINAGE.
1 DAY	3. INSTALL INLET PROTECTION ON STORM INLETS.
180 DAY	4. START BLDG. CONSTRUCTION
4 DAYS	5. INSTALL PAVEMENT
4 DAYS	6. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
1 DAY	7. REMOVE ALL EROSION CONTROL STRUCTURES
1 DAY	8. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

CONTROLS & MEASURES NARRATIVE

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING
DUST CONTROL	SPRINKLE WATER AS NEEDED

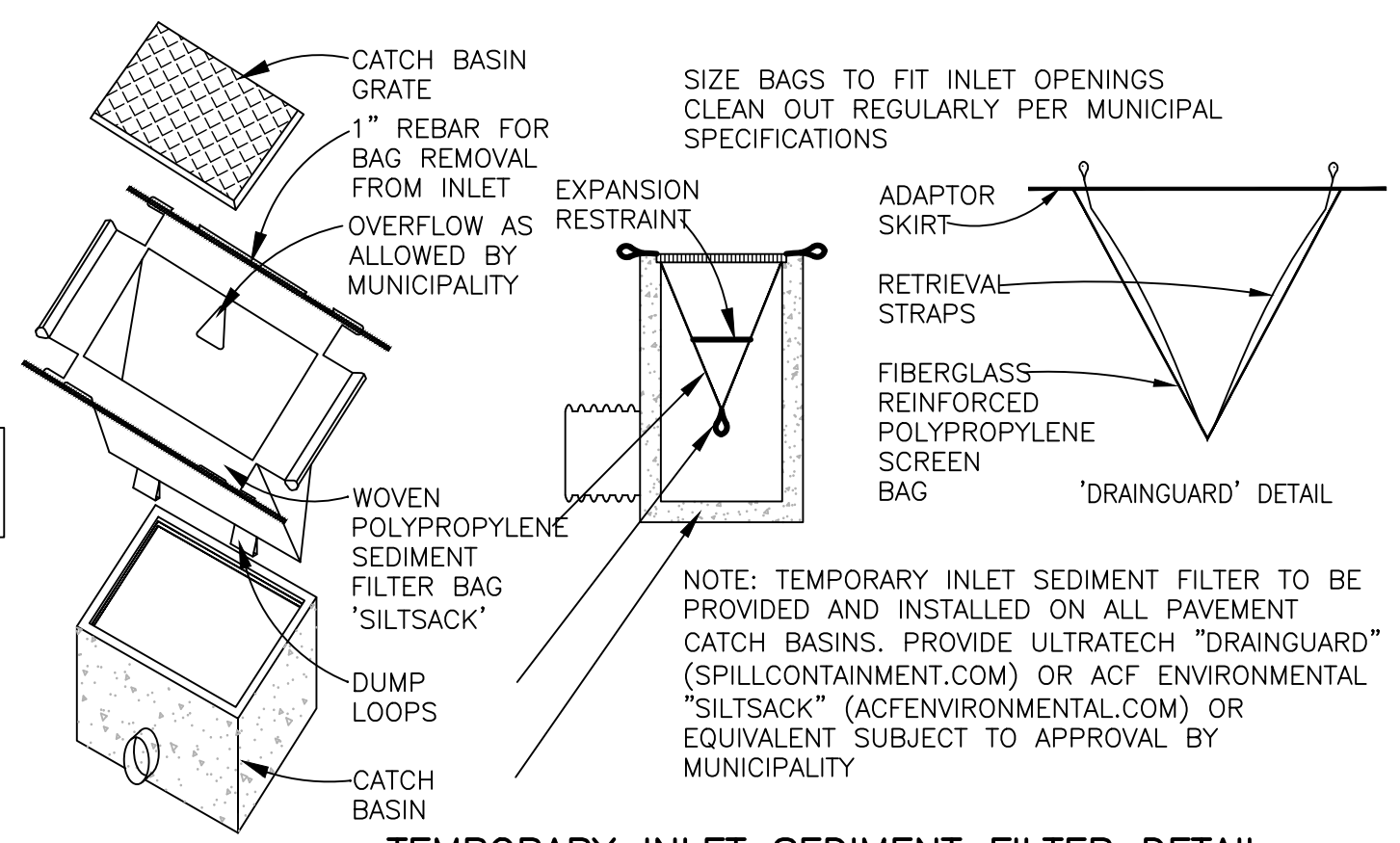
PROPOSED CONST. SCHEDULE FOR THE YEAR 2024

ACTIVITY	MAY	JUNE	JULY	AUG	SEPT	OCT
DEMO & CLEAR						
MASS GRADING						
UNDERGROUND UTILITY						
FINAL GRADING						
SEED & MULCH						

CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE

ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X	X	X
SWEEP PARKING LOT		X	X

SURFACE WATER & COUNTY DRAINS
WETLAND - ON SITE
LAKES - APPROXIMATELY 1300 FT NORTH EAST TO LAKE CHEMUNG



TEMPORARY INLET SEDIMENT FILTER DETAIL (NO SCALE)

ITEM #	CONTROL TYPE	DESCRIPTION
1	STRIPPING & STOCKPILE TOPSOIL	TOPSOIL MAY BE STOCKPILED AROUND BERM AREAS TO ACT AS A DIVERSION STOCKPILE SHOULD BE TEMPORARILY SEEDED
6	SEEDING WITH MULCH AND/OR MATTING	ESTABLISH VEGETATION COVER ESTABLISH FOR DRAINWAYS WITH LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL. SHOULD INCLUDE HYDRO-SEEDING TOPSOIL, SOD.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURBS & GUTTERS	KEEPS HIGH VELOCITY RUNOFF FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUITS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREHARED DRAINAGEWAY
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE. PREVENTS RUNOFF FROM AREAS CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF. CONDUITS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION. USE CHECK BASINS TO COLLECT SEDIMENT.
36	CATCH BASIN, DRAIN NET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. MAY USE FILTER CLOTH OVER INLET.
40	INLET SEDIMENT FILTER	EASY TO SHAPE. COLLECTS SEDIMENT. MAY BE CLEANED AND EXPANDED AS NEEDED.
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR PILES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

T = TEMPORARY, P = PERMANENT
TOTAL DISTURBED AREA = 1.38 AC.

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

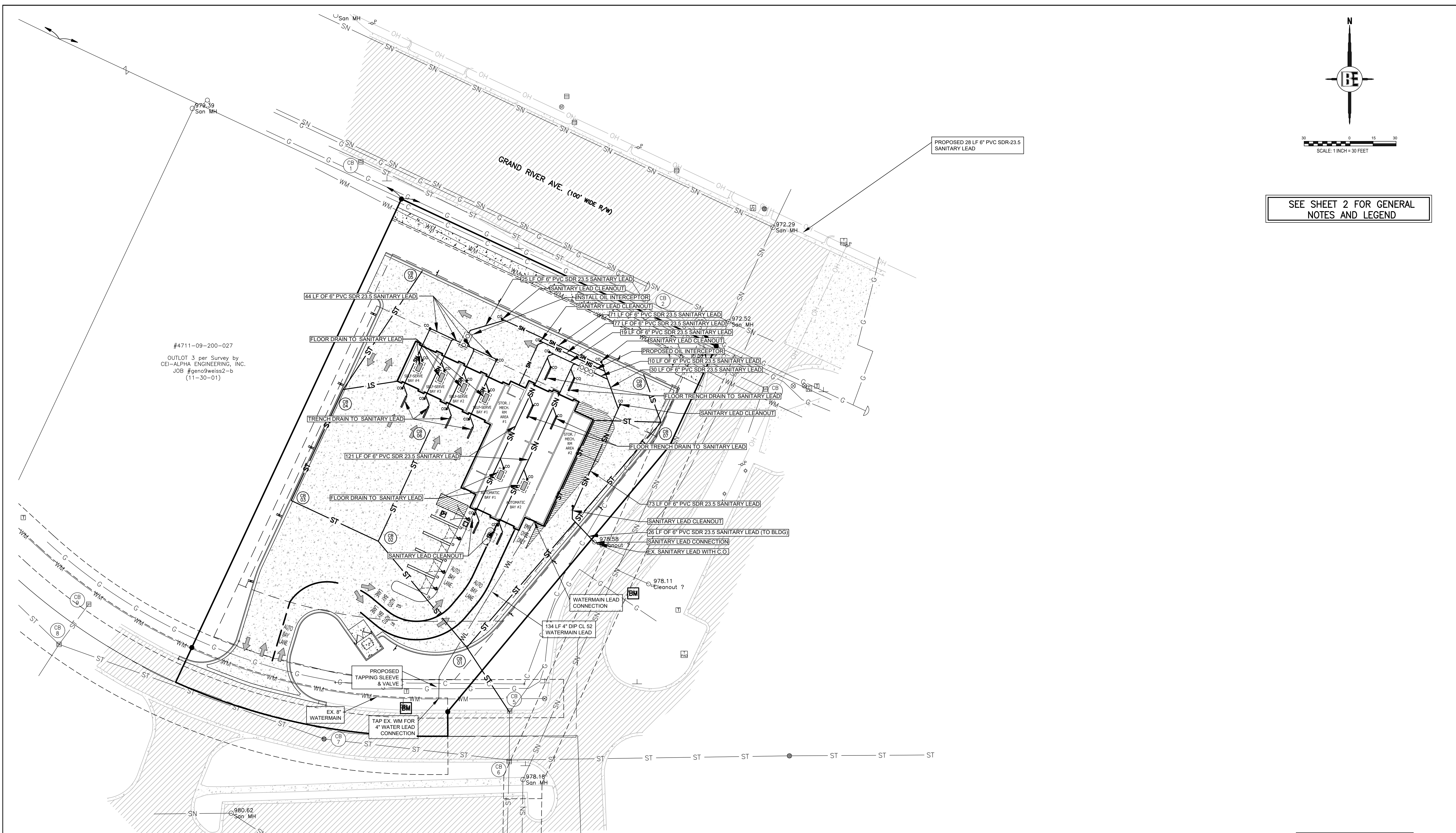
ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
BEBOSS Engineering
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
PREPARED FOR: **SPRINGBORN PROPERTIES**
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: **SOIL EROSION & SEDIMENTATION CONTROL PLAN**

NO.	BY	DATE
1	PC	12/18/23

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 10/31/23
SHEET NO: 8



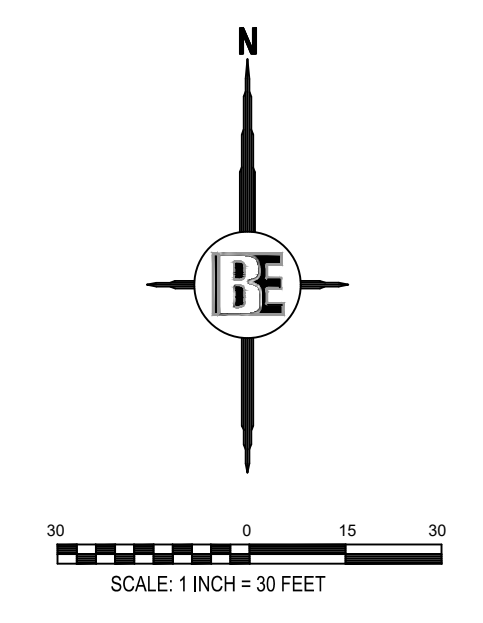
#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #gen9weiss2-b
 (11-30-01)

#4711-09-200-030
 "KOHLS"

FROM	TO	DRAIN AREA	ACRES A	RUNOFF COEFF C	EQUIV. AREA A * C	INTEN-SITY I	TIME OF CONC. T _c	ADDL. RUNOFF Q	RUNOFF (CFS) Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING COEFFICIENT	MANNING FLOW CAPACITY	MANNING'S VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RIM ELEV UPPER END	RIM ELEV LOWER END	INVERT UPPER END	INVERT LOWER END
5	4	5	0.12	0.90	0.10	4.38	15.00	0.09	0.55	93	12	2.15	0.22%	0.50%	0.013	2.53	3.22	0.48	972.88	972.42	975.70	976.10	972.08	971.62
4	3	4	0.05	0.90	0.05	4.32	15.48	0.09	0.29	80	12	1.77	0.15%	0.50%	0.013	2.53	3.22	0.41	972.42	972.02	976.10	976.10	971.62	971.22
3	2	3	0.11	0.90	0.10	4.28	15.90	0.09	0.71	63	12	2.41	0.28%	0.50%	0.013	2.53	3.22	0.32	972.02	971.71	976.10	976.10	971.22	970.91
2	1	2	0.14	0.90	0.13	4.25	16.22	0.49	1.75	90	12	3.06	0.45%	0.50%	0.013	2.53	3.22	0.47	971.71	971.25	976.10	975.96	970.91	970.45
1	EX	1	0.18	0.85	0.15	4.20	16.69	1.12	3.50	51	15	3.64	0.48%	0.50%	0.013	4.58	3.73	0.23	971.25	971.00	975.96	977.27	970.25	970.00
6	2	6	0.10	0.90	0.09	4.38	15.00		0.49	80	12	2.15	0.22%	0.50%	0.013	2.53	3.22	0.41	972.11	971.71	976.11	976.10	971.31	970.91
8	7	8	0.07	0.90	0.06	4.38	15.00		0.28	33	12	1.77	0.15%	0.50%	0.013	2.53	3.22	0.17	972.39	972.22	975.70	975.74	971.59	971.42
7	1	7	0.07	0.90	0.07	4.36	15.17	0.56	1.12	194	12	2.68	0.35%	0.50%	0.013	2.53	3.22	1.01	972.22	971.25	975.74	975.96	971.42	970.45
9	5	9	0.02	0.90	0.02	4.38	15.00		0.09	46	6	1.72	0.36%	1.00%	0.013	0.56	2.87	0.27	973.34	972.88	977.50	975.70	972.94	972.48
10	4	10	0.02	0.90	0.02	4.38	15.00		0.09	36	6	1.72	0.36%	1.00%	0.013	0.56	2.87	0.21	972.46	972.11	977.50	976.10	972.06	971.71
12	11	8	0.07	0.90	0.06	4.38	15.00		0.28	77	6	1.77	0.15%	1.00%	0.013	2.53	3.22	1.01	971.37	970.40	977.50	975.74	970.57	969.60
11	7	7	0.07	0.90	0.07	4.27	16.01		0.56	44	6	2.15	0.22%	1.00%	0.013	2.53	3.22	0.17	970.40	970.23	977.50	975.74	969.60	969.43

STRUCTURE	DIAMETER (FT)
CB 01	4
CB 02	4
CB 03	4
CB 04	4
CB 05	2
CB 06	2
CB 07	4
CB 08	2

FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO COMPLETELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, OR ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND ELEVATION OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND ELEVATION OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND ELEVATION OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION.

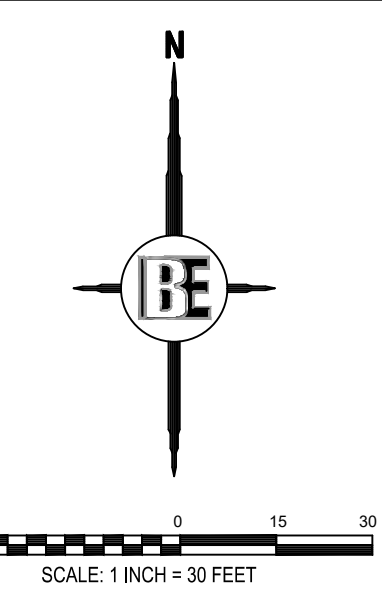
BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
 PREPARED FOR: **SPRINGBORN PROPERTIES**
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388

TITLE: **UTILITY PLAN**

NO	BY	DATE	REVISION	COMMENTS
1	PC	12/18/23		

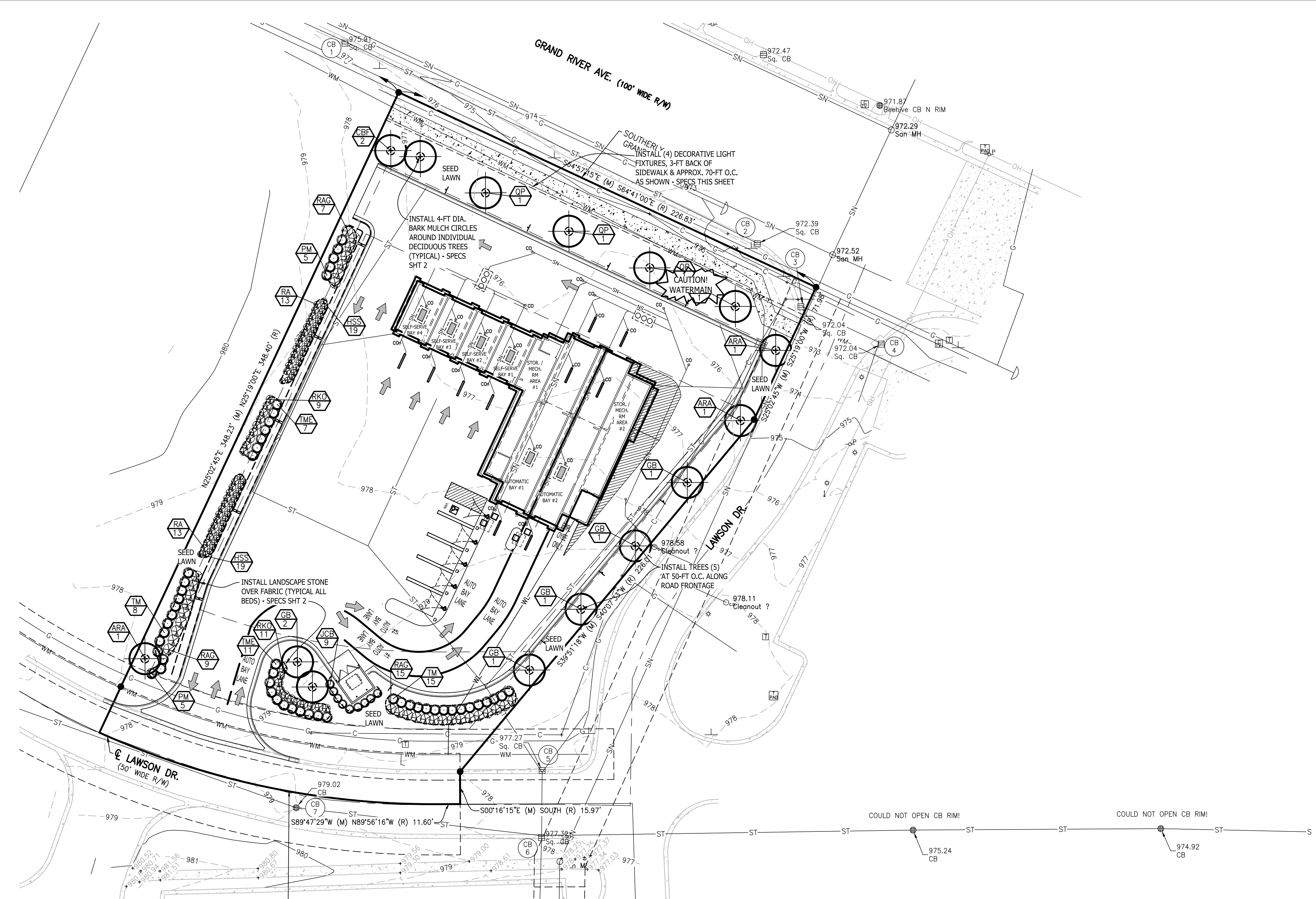
DESIGNED BY: ST
 DRAWN BY: DH
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: **23-134**
 DATE: 10/31/23
 SHEET NO. **9**



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

BEBOSS Engineering
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670



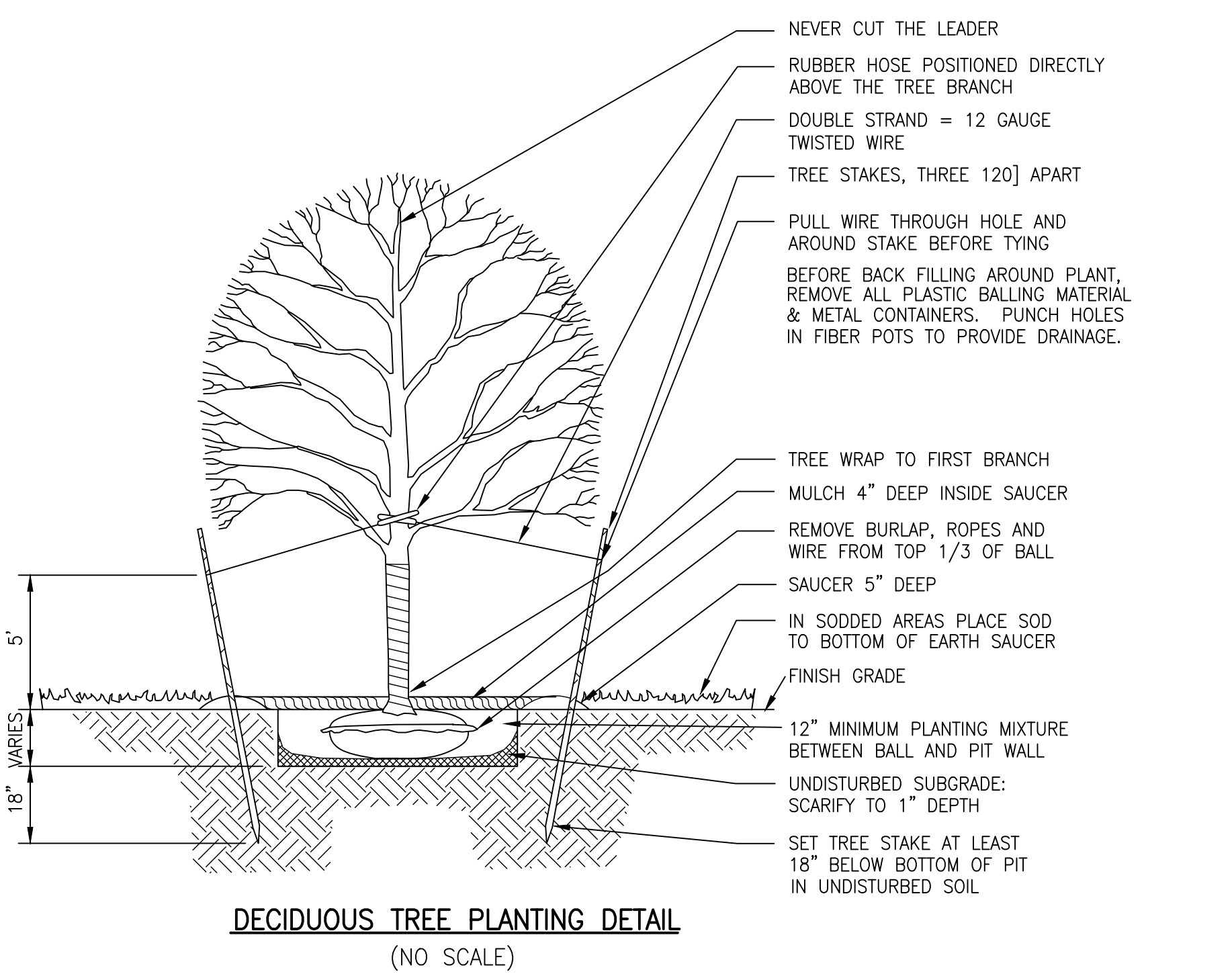
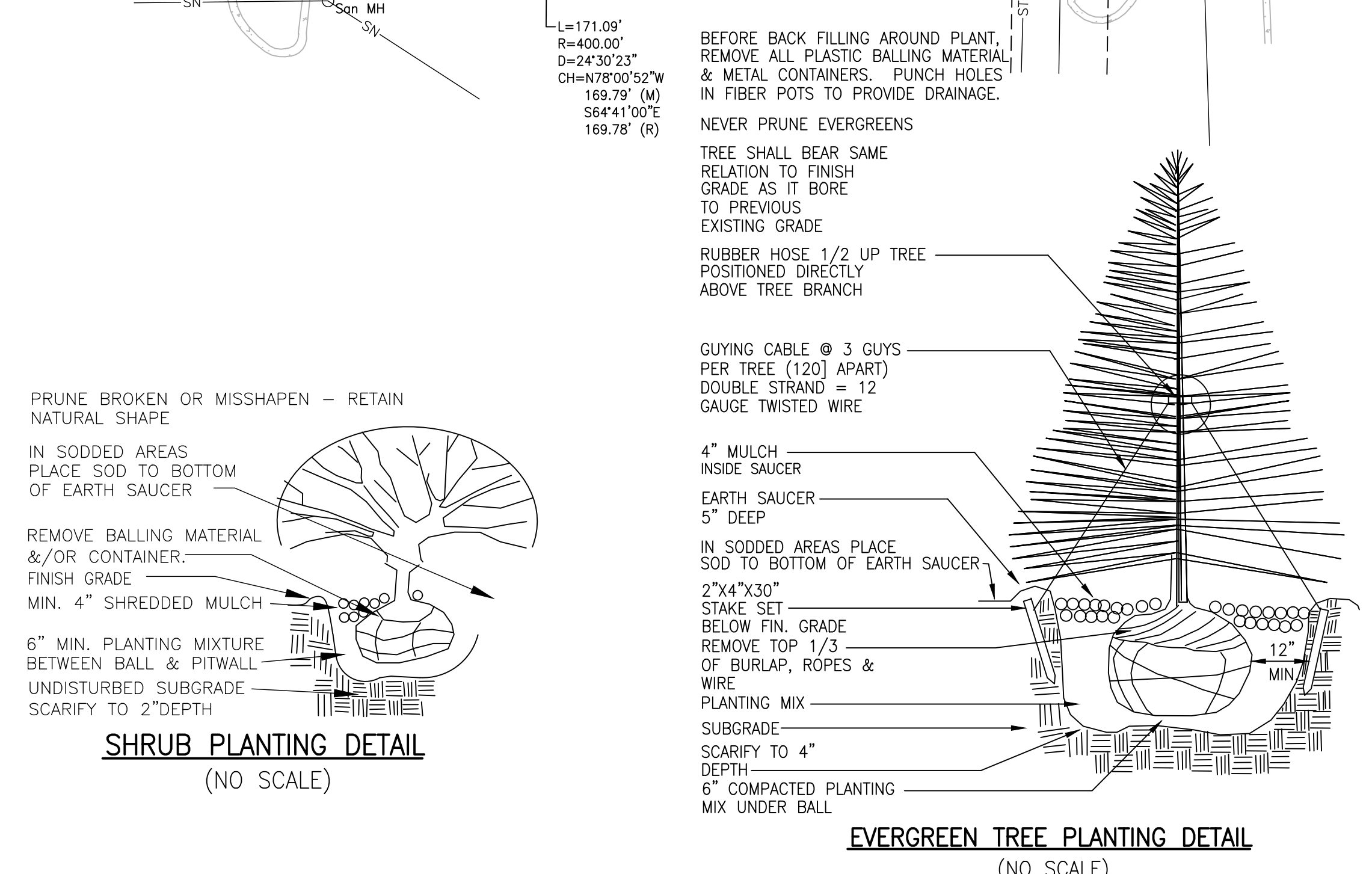
LANDSCAPE CALCULATIONS 'NR PUD' ZONING (FOLLOWING SECTION 12.02):

REQUIRED: GREENBELT - PUBLIC R.O.W.'S - GRAND RIVER AVE: (LAWSON DR. PRIVATE RD.)	1 CANOPY TREE / 40 LFT FRONTAGE, MIN 20 FT WIDTH
BUFFER - WEST ADJ. TO COMMERCIAL - TYPE C:	1 CANOPY OR CONIFER TREE OR 4 SHRUBS / 20 LFT MIN. 10 FT WIDTH
PARKING AREA (<10 SPACES):	N/A - 3 USE CALCULATED / PROVIDED SPACES BELOW MIN.
DETENTION / RETENTION BASIN:	N/A - TO CONNECT TO OVERALL DEVELOPMENT SYSTEM
ACCESSORY STRUCTURES (DUMPSTER ENCLOSURE):	SCREENED WITH SHRUBS IF IN 'VISIBLE LOCATION'
PROVIDED: GREENBELT - PUBLIC R.O.W. - GRAND RIVER AVE:	226.83 LFT FRONTAGE / 40 = 6 CANOPY TREES REQ'D & PROVIDED
ALONG EAST PROP. LINE - LAWSON DRIVE:	226.01 LFT / 40 = 6 DECIDUOUS TREES PROVIDED
ALONG SOUTH PROP. LINE - LAWSON DRIVE:	181.38 LFT / 40 = 5 DECIDUOUS TREES REQ'D AS BUFFER PROPOSE 2 DECID. TREES + 26 CONIFER SHRUBS + 26 DECID. SHRUBS BEING EQUIVALENT TO OVER 17 SHRUBS / TREE
BUFFER - WEST PROP. LINE ADJ. TO COMMERCIAL - TYPE C:	348.40 LFT / 20 = 18 TREES OR 72 SHRUBS OR COMBINATION 1 DECID. TREE + 25 CONIFER SHRUBS + 89 DECID. SHRUBS PROVIDED

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
DECIDUOUS TREES					
CBF	2	Carpinus betulus 'Frans Fontaine'	Frans Fontaine European Hornbeam	2-1/2" cal.	B-B
ARA	4	Acer rubrum 'Jfs KW 78'	Armstrong Gold Red Maple	2-1/2" cal.	B-B
GB	6	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Columnar Ginkgo	2-1/2" cal.	B-B
QP	3	Quercus palustris	Northern Pin Oak	2-1/2" cal.	B-B
CONIFER SHRUBS					
JCB	9	Juniperus chinensis 'Blue Point'	Blue Point Juniper	48" ht./#5	Cont.
PM	10	Pinus mugo 'Mops'	Mops Mugo Pine shrub	24" ht./#3	Cont.
TM	23	Taxus X Media 'Densiformis'	Densiformis Yew	36" ht./#5	Cont.
TME	18	Taxus X Media 'Everlow'	Everlow Yew	36" ht./#5	Cont.
DECIDUOUS SHRUBS					
HSS	38	Hydrangea serrata 'Smmakts'	Mountain Tuff Stuff Red Hydrangea	18" ht./#3	Cont.
RA	26	Ribes Alpinum 'Greenmound'	Greenmound Currant	18" ht./#3	Cont.
RKO	20	Rosa x 'Knock Out Red'	Knock Out Red Shrub Rose	24" ht./#3	Cont.
RAG	31	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht./#3	Cont.

SUPPLEMENTAL LANDSCAPE NOTES
 1. ANY SUBSTITUTIONS OF PLANT MATERIAL FROM THE APPROVED SITE PLAN WILL BE APPROVED BY THE TOWNSHIP PRIOR TO INSTALLATION.



FOR SITE PLAN APPROVAL ONLY!
 NOT FOR CONSTRUCTION

DUMPSTER ENCLOSURE:

PROJECT: SOAPOY BUCKET CARWASH
 PREPARED FOR: SPRINGBORN PROPERTIES
 3535 HIGH HILLOREST DR
 HOWELL, MI. 48843
 313.350.3388

TITLE: LANDSCAPE PLAN

NO	BY	DATE	REVISION COMMENTS
1	PC	12/18/23	

DESIGNED BY: PC
 DRAWN BY: PC
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 10/31/23
 SHEET NO. 10

BEBOSS Engineering



Specifications

EPA: 0.44 ft² (0.04 m²)
 Length: 26.18" (665 mm)
 Width: 14.05" (357 mm)
 Height H1: 2.26" (57 mm)
 Height H2: 7.46" (190 mm)
 Weight: 23 lbs (10 kg)

Ordering Information EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DBDX

Series	LEDs	Color Temperature*	Color Rendering Index*	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	(This section 70CRI only)				
	P1	30K 3000K	70CRI	T1S Type I slim	120V	Standard / right
	P2	40K 4000K	70CRI	T2M Type II medium	120V	Standard / right
	P3	50K 5000K	70CRI	T3M Type III medium	120V	Standard / right
Rotated optics	(This section 80CRI only, extended lead times apply)					
	P4	30K 3000K	80CRI	T1R Type I slim	120V	Standard / right
	P5	40K 4000K	80CRI	T2R Type II medium	120V	Standard / right
	P6	50K 5000K	80CRI	T3R Type III medium	120V	Standard / right

Control options	Other options	Finish
Shipped installed NLTAIR2 PIRHN Light Rail (per 2) enabled with bi-level motion / ambient sensor 8-47 mounting height, ambient sensor mounted at 26" (665 mm) PIR High flow, maintenance sensor, 8-47 mounting height, ambient sensor mounted at 26" (665 mm) PER NEMA tamper lock receptacle only (controls ordered separately) PER5 Five-pin receptacle only (controls ordered separately)	PER7 Seven-pin receptacle only (controls ordered separately) FAO Field adjustable output 10% BL30 Bi-level switched dimming, 30% BL30 Bi-level switched dimming, 30% DMG 0-10V dimming when pulled outside fixture (for use with an external control, ordered separately)	DD000 Dark Bronze DD100 Black DD200 Natural Aluminum DD300 White DD400 Textured dark bronze DD500 Textured black DD600 Textured natural aluminum DD700 Textured white



Specifications

Depth (D1): 7"
 Depth (D2): 1.5"
 Height: 9"
 Width: 11.5"
 Weight: 13.5 lbs (without options)

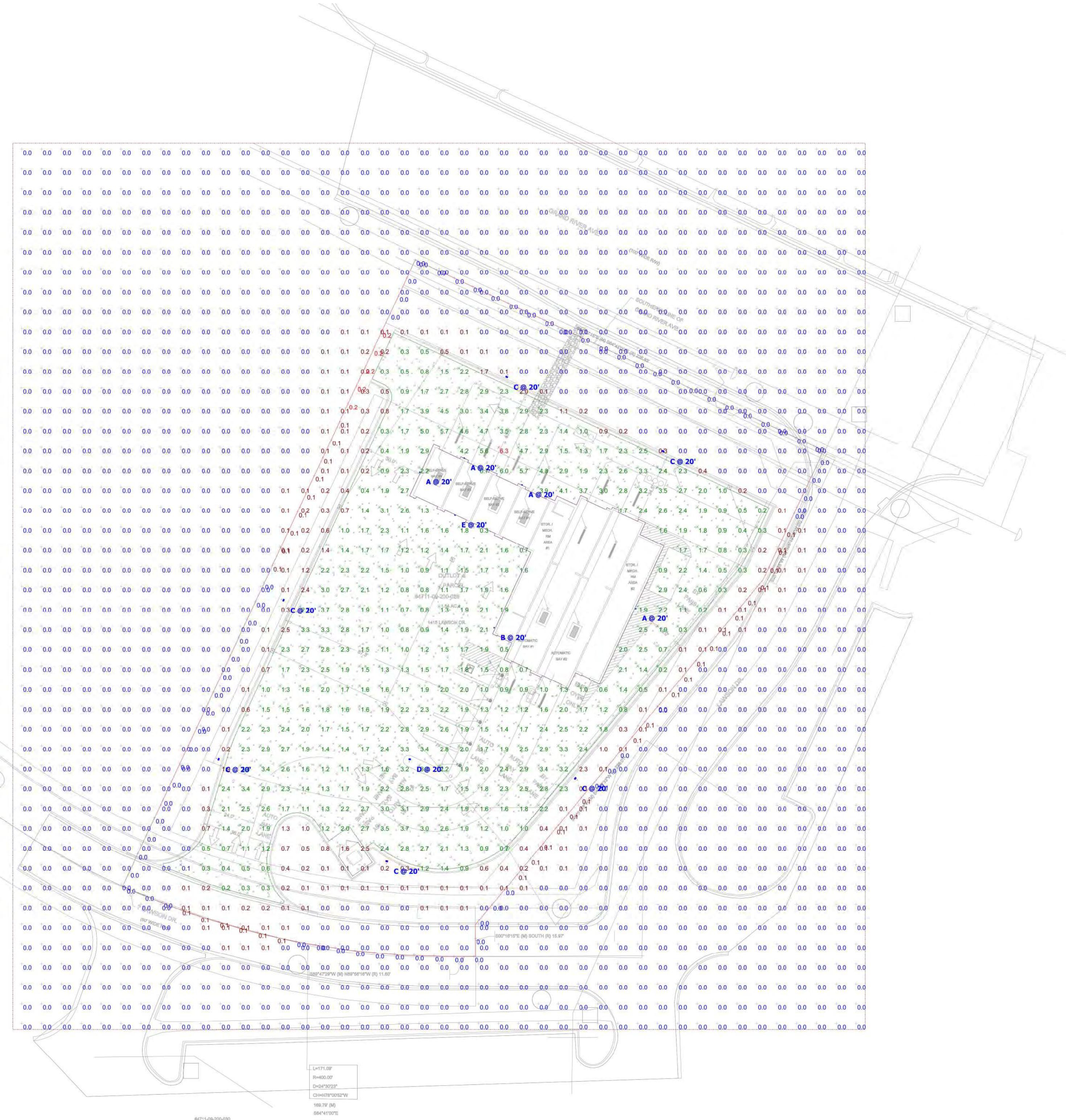
WDGE LED Family Overview

Luminaire	Optics	Standard EM, V/C	Cold EM, 20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE2 LED	Visual Comfort	4W	18W	Standard / right	750	1,200	2,000	3,000	4,500	6,000	—
WDGE2 LED	Precision Reflective	10W	18W	Standard / right	700	1,200	2,000	3,200	4,200	—	
WDGE2 LED	Precision Reflective	15W	18W	Standard / right	7,500	8,500	10,000	12,000	—	—	
WDGE4 LED	Precision Reflective	—	—	Standard / right	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DBDX

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0	27K 2700K	70CRI	T1S Type I Short	120V	Standard / right
	P1	30K 3000K	80CRI	T2M Type II Medium	120V	Standard / right
	P2	40K 4000K	LW Limited Wavelength	T3M Type III Medium	120V	Standard / right
	P3	50K 5000K	80CRI	T4M Type IV Medium	120V	Standard / right

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MARSDES 120K, 12V 10Ah E20WC Emergency battery backup, Certified in CA Title 20 MARSDES 120K, 20V 10Ah P1 Photocell, Button type DM3 0-10V dimming when pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (BSWB), Total of 4 entry points BAA Bay (recessed) Act Compliance	DD000 Dark bronze DD100 Black DD200 Natural aluminum DD300 White DD400 Textured dark bronze DD500 Textured black DD600 Textured natural aluminum DD700 Textured white



Plan View
Scale - 1" = 35ft

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
A			4	Lithonia Lighting	WDGE2 LED P4 40K 70CRI T1S	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 1 SHORT OPTIC	4627	0.9	46.6589
C			6	Lithonia Lighting	DSX0 LED P4 40K 70CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 3 Extreme Backlight Control	8096	0.9	93.04
D			1	Lithonia Lighting	DSX0 LED P4 40K 70CRI TFTM	D-Series Size 0 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Forward Throw	11374	0.9	93.04
E			1	Lithonia Lighting	WDGE2 LED P4 40K 70CRI T3M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 3 MEDIUM OPTIC	4817	0.9	46.6589
B			1	Lithonia Lighting	WDGE2 LED P4 40K 70CRI T2M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	4815	0.9	46.6589

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall	+	0.4 fc	6.3 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Lot	X	1.9 fc	6.3 fc	0.1 fc	63.0:1	19.0:1

D650-VCOB BOULEVARD SERIES

LED

EPA 1.04 (F)	7 YEAR WARRANTY	LUMEN RANGE 4,115 to 8,050	LIFE SPAN MINIMUM 100,000 HOURS	UL LISTED	CLICK FOR FAQ'S	JOB NAME
WEIGHT 29 LBS						FIXTURE TYPE
						MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: PT-D650-5P-VCOB-4L40TS-MDL03-A-PEC-FHD/4212FP4-188/DKIT

Mounting Config.	Fixture	Filter	LED	CCT	Type	Driver	Lens	Option Receptacle	Option Control	Option Fuse	Option Decorative Ring	Option GFI	Option Block	Option House Side Sheet	Arm (See Spec)	Pole (See Spec)	Finish
------------------	---------	--------	-----	-----	------	--------	------	-------------------	----------------	-------------	------------------------	------------	--------------	-------------------------	----------------	-----------------	--------

Mounting Configuration

W-Wall Mount, IP-Post Top, A-Arm Mount, AM-Arm Mid Mount, P-Post Base

Fixtures

- D650SR

Filters

- 991, • 995, • OL3, • 73, • 992, • 994, • OL4, • 74, • 993, • 995, • 588, • 990, • 994, • C2997

LED

- VCOB-4L

CCT - Color Temperature (K)

- 27(00) • 30(00) • 35(00) • 40(00) • 50(00)

Type

- TS (Symmetric) • TA (Asymmetric)

Driver

- MDL01 (120V-277V, 250mA)
- MDL02 (120V-277V, 350mA)
- MDL03 (120V-277V, 500mA)
- MDH02 (347V-480V, 250mA)
- MDH03 (347V-480V, 350mA)
- MDH05 (347V-480V, 500mA)

Lens

- A (Textured Acrylic)
- P (Textured Poly)
- WP (White Textured Poly)

Options

- R3 - 3-Pin control receptacle only
- R5 - 5-Pin control receptacle only
- R7 - 7-Pin control receptacle only
- PE - Twist-Lock Photocontrol (120V-277V)

Specifications

Fixtures

The fixture shall be 16" in diameter and 34-1/2" tall. It will be made of vandal resistant clear textured polycarbonate or dent resistant (DR) clear textured acrylic. White textured polycarbonate is also available. The fixture is available in a solid roof (D650SR) for added distinction and reduced up-light. The solid roof will be made of spun aluminum and securely attached to the top of the acorn. The luminaire shall be UL listed in US and Canada.

Filter - Standard

The filter shall be heavy wall cast aluminum, .356 alloy for high tensile strength. It shall have an 8-1/2" inside diameter opening to attach to the 8" neck of the acorn globe. When ordered with a Sternberg aluminum pole, the filter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The filter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

900 Series Utility Filter Option

The filter shall be heavy wall cast aluminum, 360 die cast alloy for high tensile strength. It shall have a 9-1/4" inside diameter opening to attach to the 8" neck of the acorn globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 990 shall have an optional terminal block for ease of wiring, an optional Twist-Lock Photocontrol receptacle, an optional single GFCI outlet for auxiliary power needs. The top mounted driver mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 finger latches. When ordered with a Sternberg aluminum pole, the filter shall be set screwed to the pole top or tenon. The filter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly. When supplied with GFI receptacle a hole will be provided for cord and plug installation with the access door closed. When cord and plug is not in use a filter plug will be provided and

Standard Finishes

- BK (Black Textured)
- WT (White Textured)
- PG (Park Green Textured)
- ADZ (Architectural Medium Bronze Textured)
- DT (Dark Bronze Textured)

Custom Finishes

- CI (Old Iron)
- R (Rust)
- WDR (Weathered Brown)
- CD (Cedar)
- WBK (Weathered Black)
- TT (Two Tone)

Sternberg Select Finishes

- VG (Verte Green)
- SI (Swedish Iron)
- DWCT (Old World Gray Textured)

800-821-3376
555 Lawrence Ave., Roselle, IL 60172
info@sternberglighting.com
www.sternberglighting.com

SternbergLighting

ESTABLISHED 1923 / EMPLOYEE OWNED

D650-VCOB BOULEVARD SERIES

LED

shall be tethered to the filter for easy recovery and installation.

Twist-Lock Filter (Optional)

The TL (Twist-Lock) filter shall have an aluminum die cast twist lock mechanism. The lock has 1/4 turn action allows for easy globe removal and replacement. A die cast ring assembly is mechanically attached to the globe and is removable if the globe is broken or replaced.

LED's

The luminaire shall use high output, high brightness LED's, consisting of two piece assembly complete with Chip On Board (COB) LED component and COB holder frame mounted to vertical heat sinks. The LED's and printed circuit boards shall be 100% recyclable; they shall also be protected from moisture and corrosion by a conformal coating. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance White LED's will have a life expectancy of approximately 100,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4000K (2700K, 3000K, 3500K or 5000K option) color temperature with a minimum CRI of 70. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen rating when operated as steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with individual, molded silicone refractor type optics applied to each COB (Chip On Board) LED assembly. The optic shall be at least 92% efficient while providing superior thermal, UV and impact resistance for the COB assembly. The optic helps efficiently shape and distribute the light while minimizing up-light. The luminaire shall provide Symmetric and Asymmetric light distribution. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers

The LED driver shall be UL Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60Hz. It shall be supplied with line-ground, line-neutral and neutral ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than 9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols

Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 3-10 second turn off, and shall turn on at 15 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years. See pole spec sheet for pole mounted version.

Twist-Lock Style: The photocontrol shall be mounted in the utility filter and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-5 second turn off, and shall turn on at 15 footcandles with a turn off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.

Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

Finish

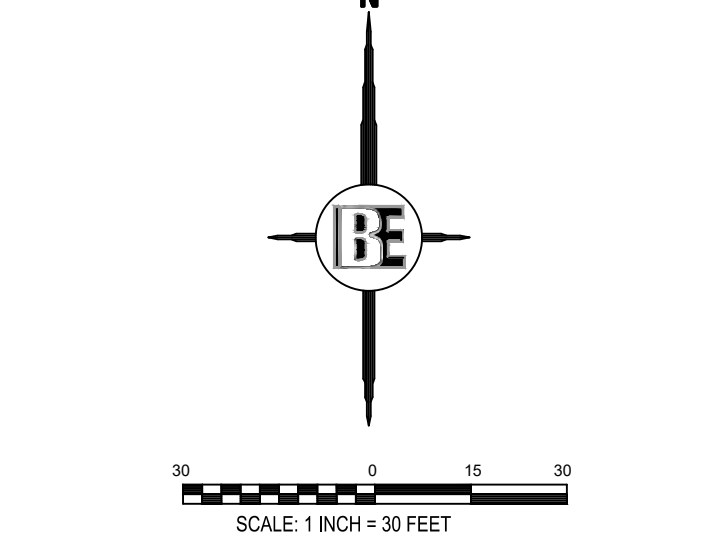
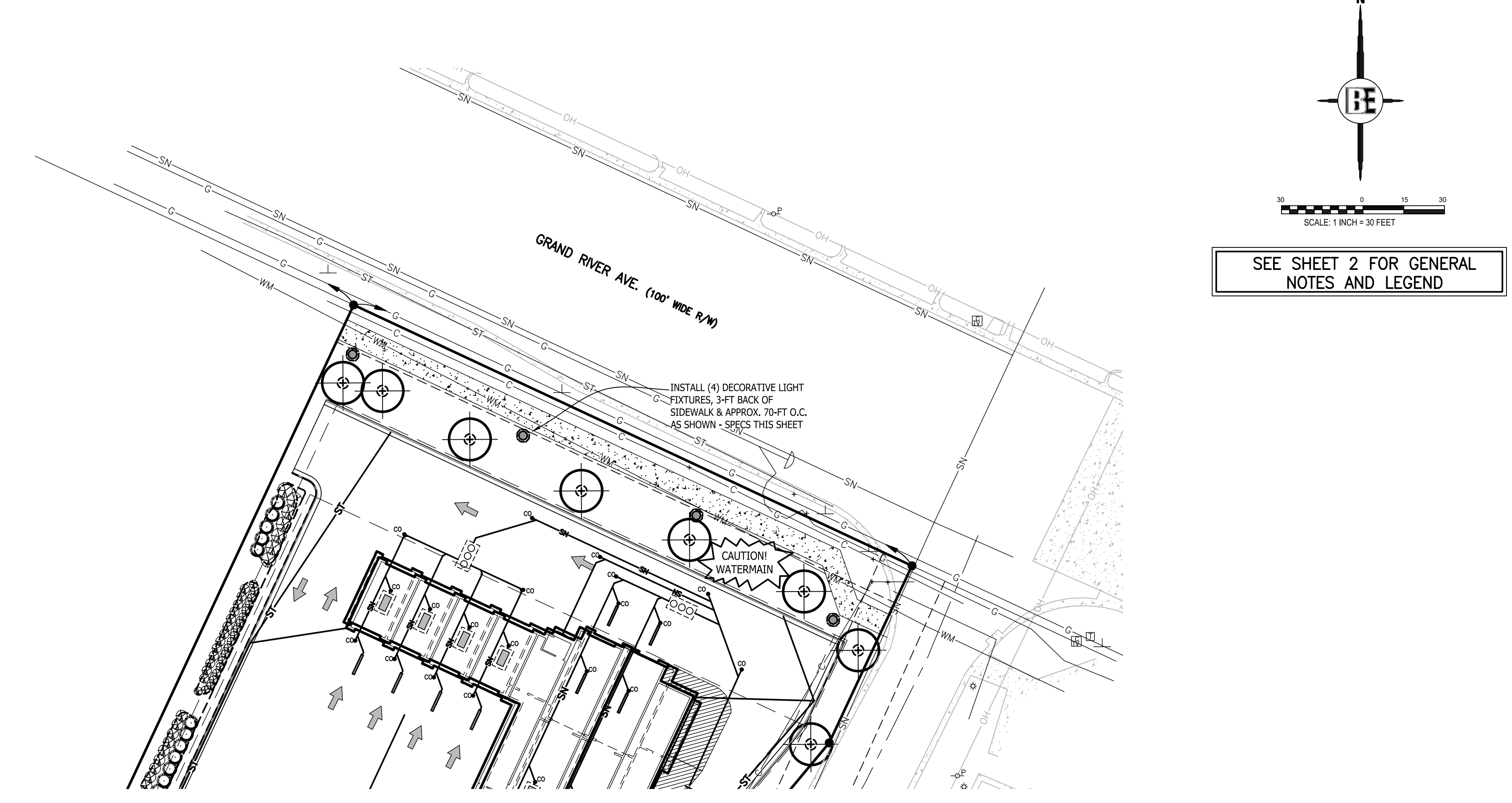
Refer to website for details.

Performance

LIGHT SOURCE	FLUMENS	EFFICIENCY (LM/IN)	A LUMENS	EFFICIENCY (LM/W)	WATTAGE
4L401-MBL05	806	107.2	86.9	16.2	7.6
4L291-MBL05	776	102.9	77.6	16.38	7.5
4L271-MBL05	209	96.5	20.9	9.5	2.5
4L401-MBL03	643	114.8	62.9	112.6	5.6
4L391-MBL03	529	111.3	51.9	103.4	5.0
4L271-MBL03	569	101.1	56.9	99.5	5.6
4L401-MBL02	116	116.6	11.6	116.6	9.0
4L391-MBL02	469	114.8	46.9	113.2	4.0
4L271-MBL02	418	104.5	41.8	102.6	3.6

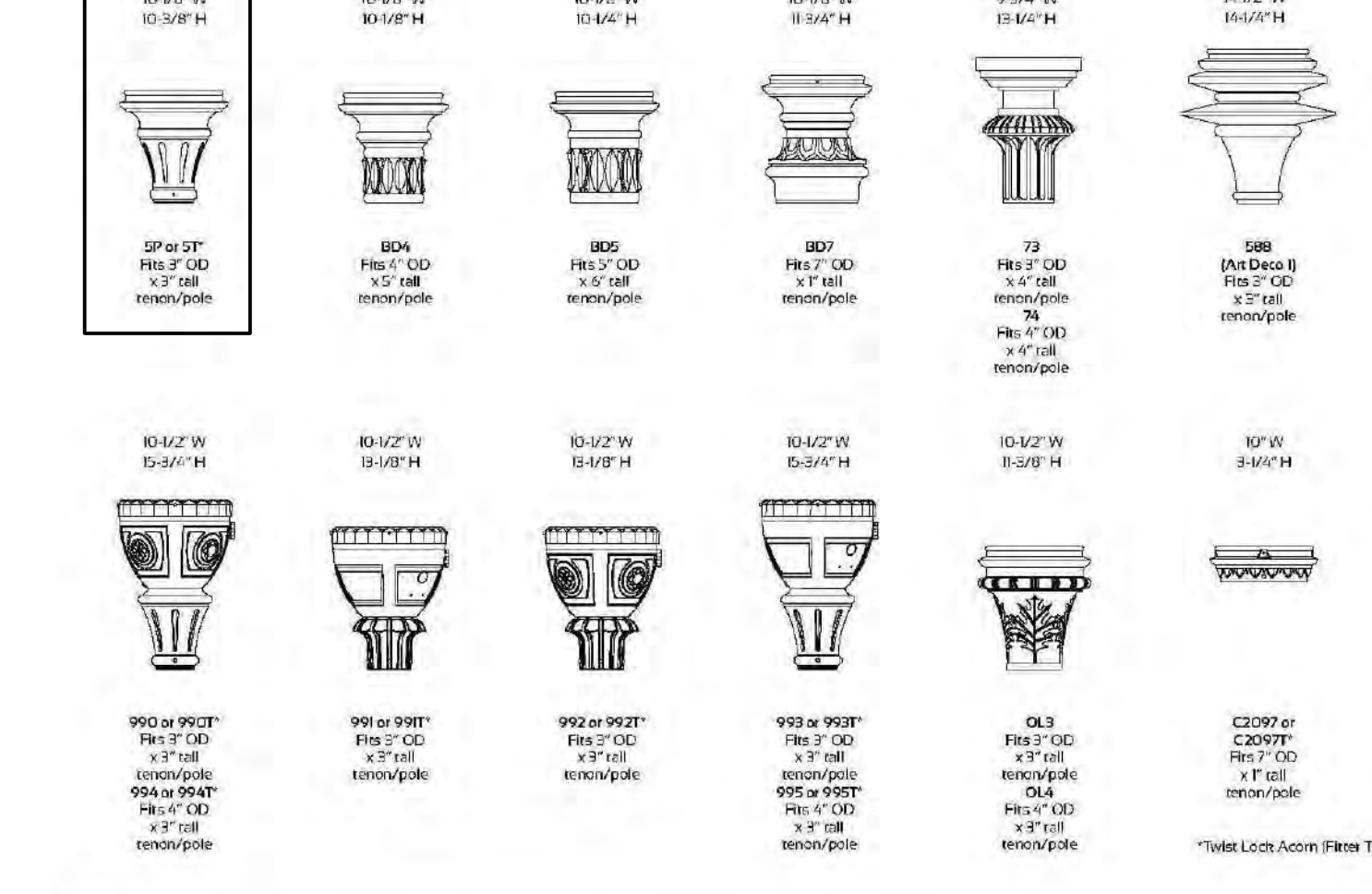
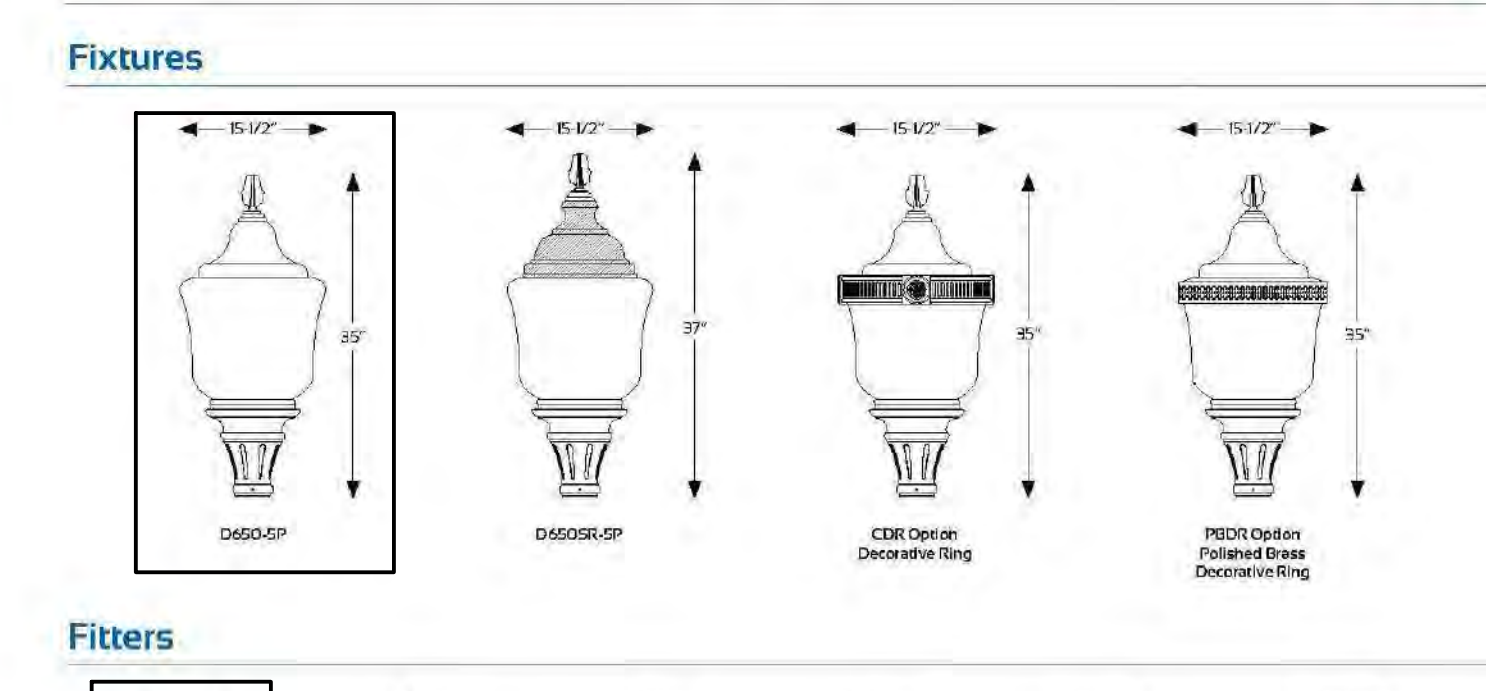
SternbergLighting

ESTABLISHED 1923 / EMPLOYEE OWNED

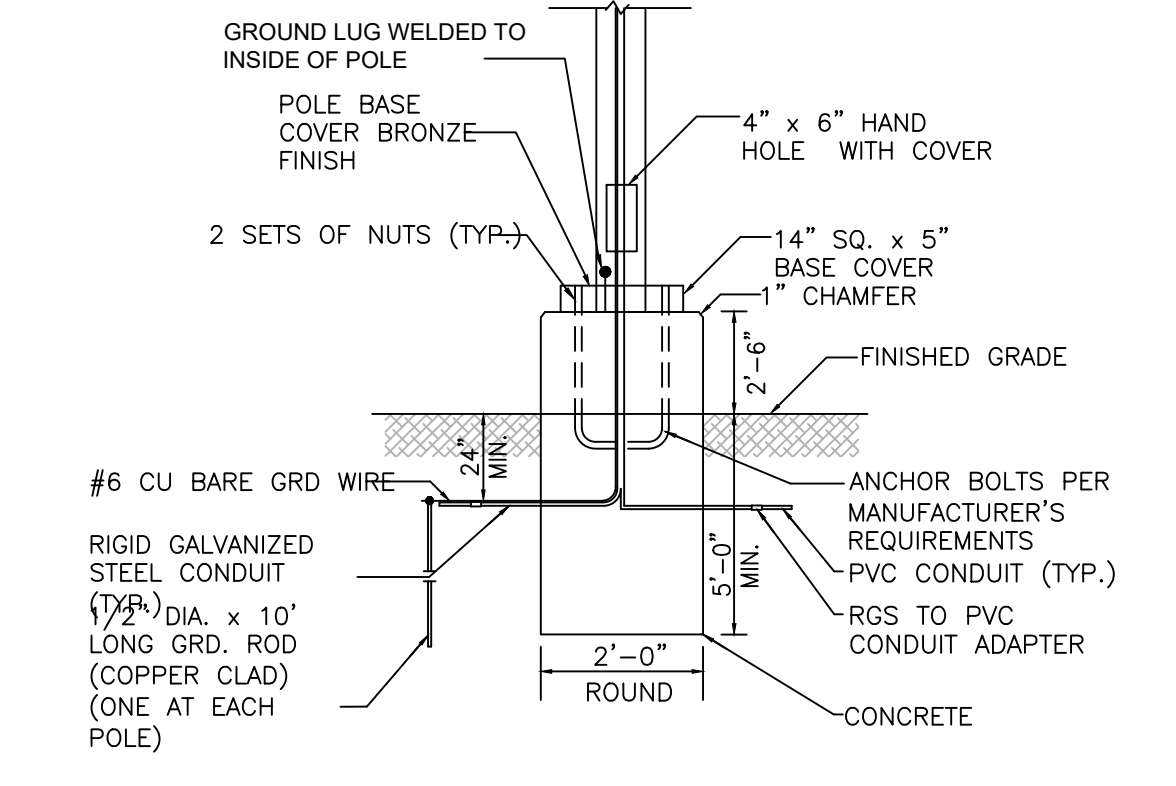


D650-VCOB BOULEVARD SERIES

LED



REPRESENTATIVE LIGHT FIXTURE & FITTER IMAGE



SternbergLighting

ESTABLISHED 1923 / EMPLOYEE OWNED

REBOSS Engineering

Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843

517.546.4836 FAX 517.548.1670

SOAPY BUCKET CARWASH

SPRINGBORN PROPERTIES

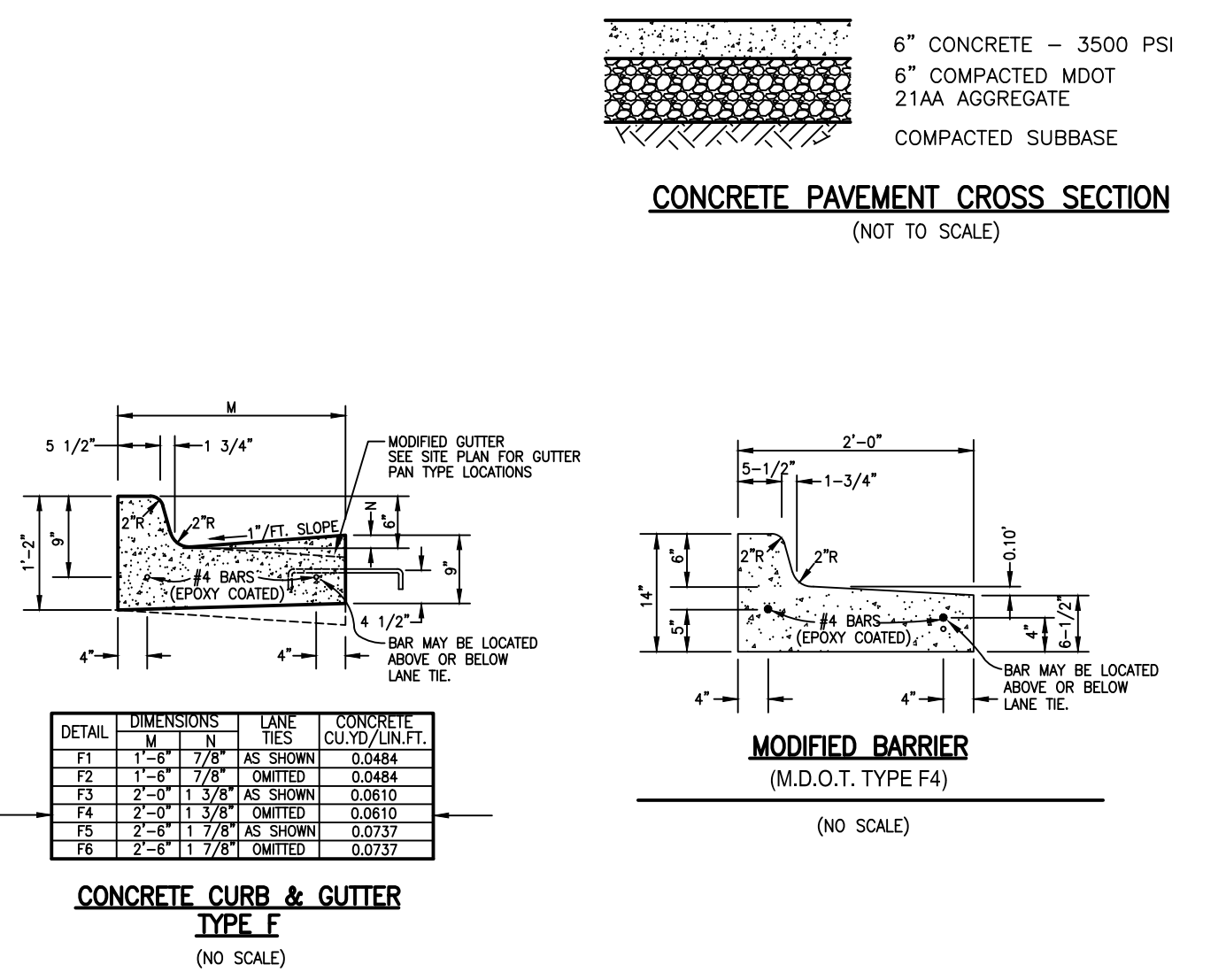
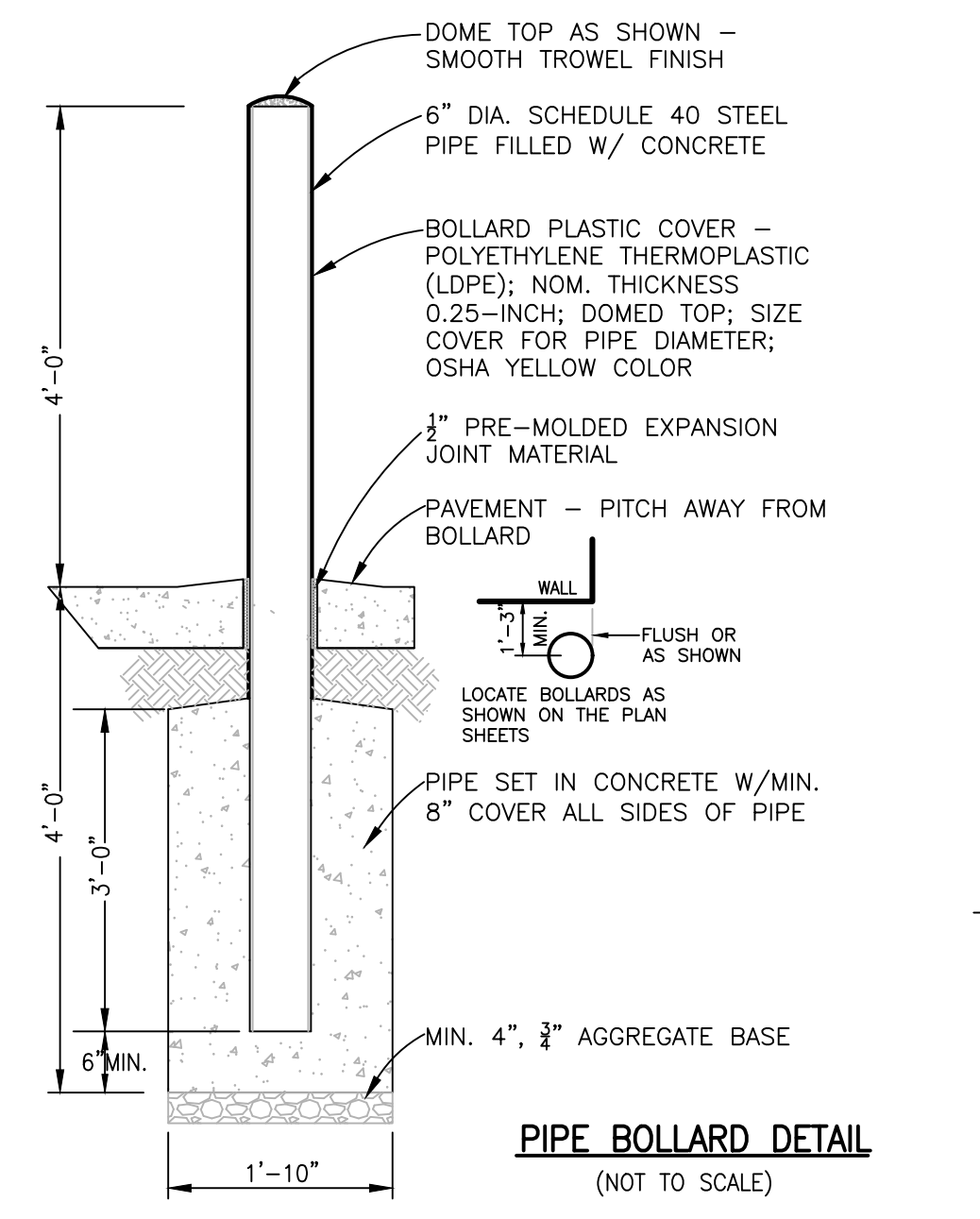
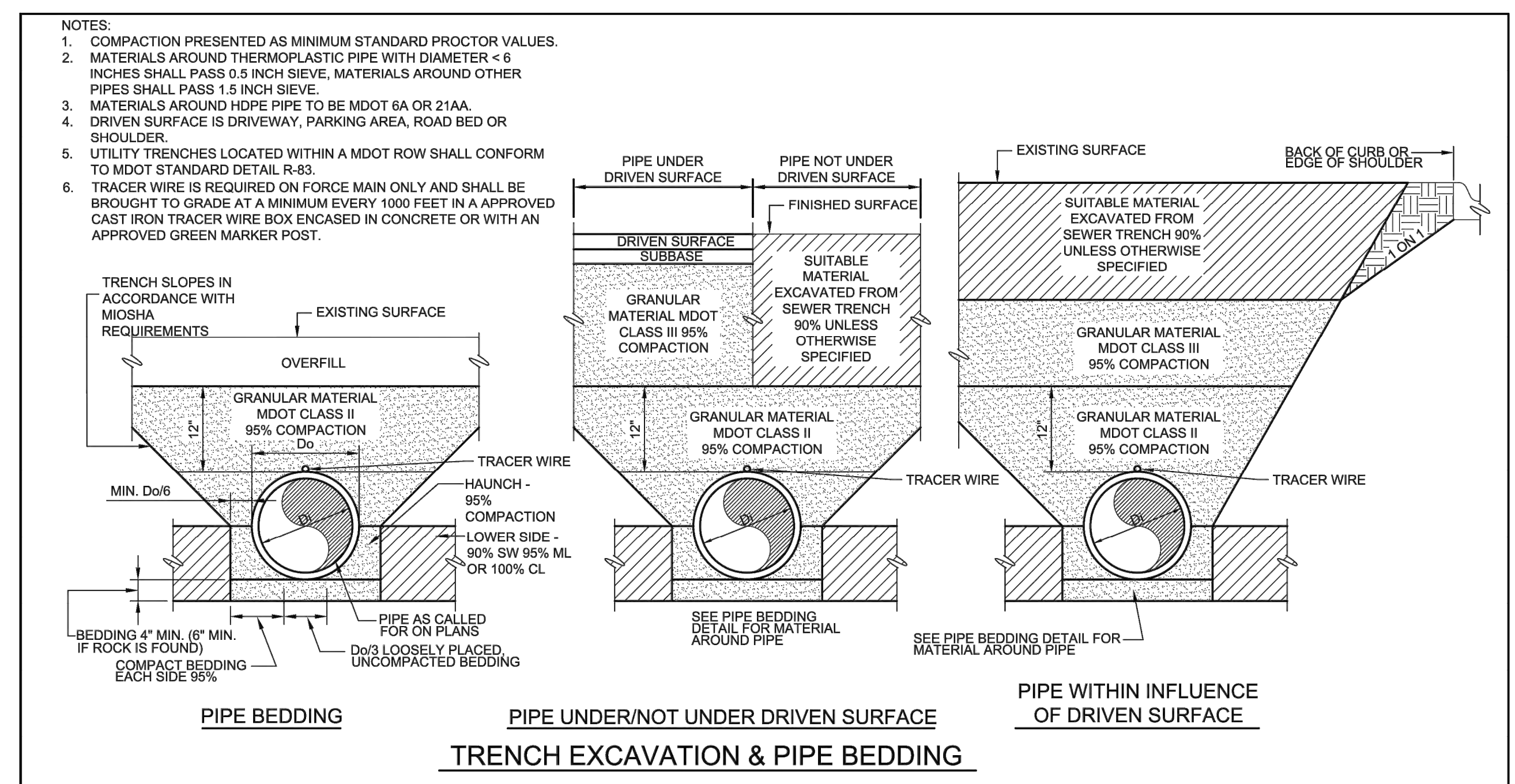
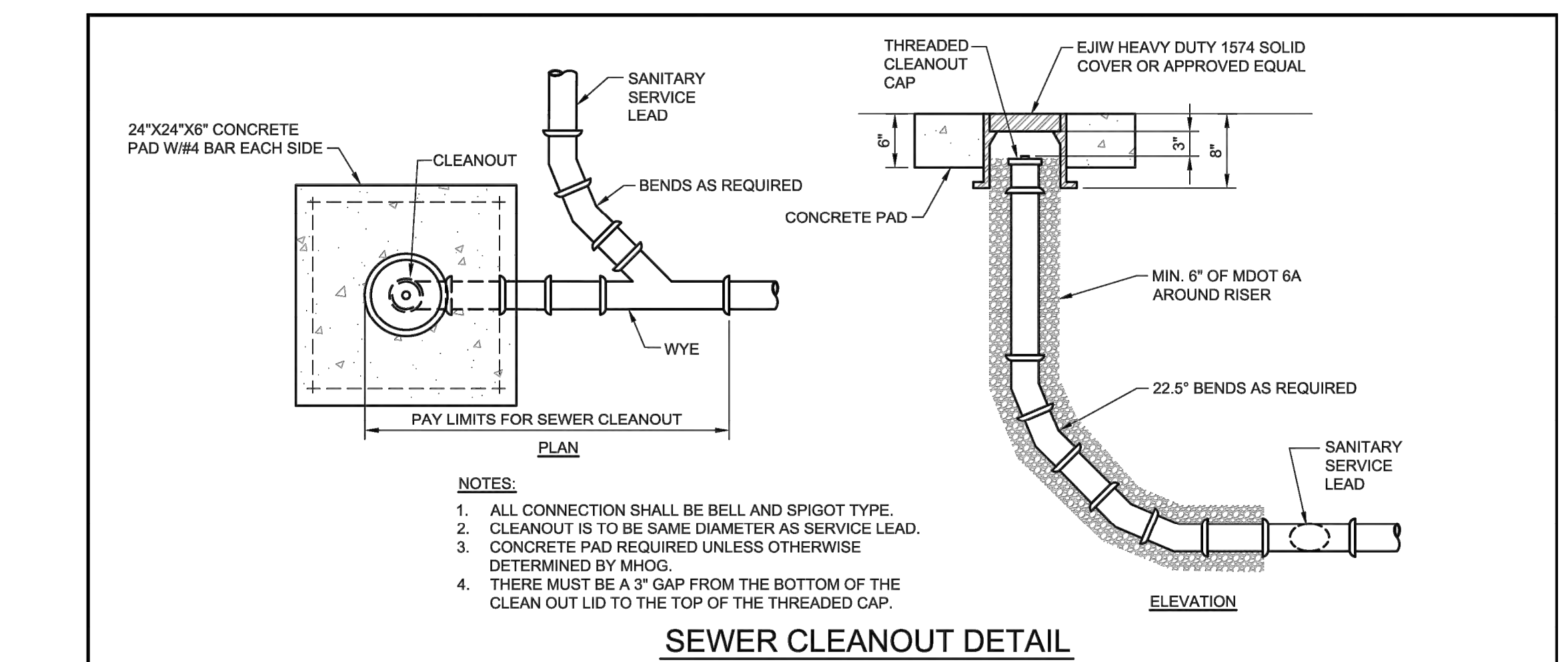
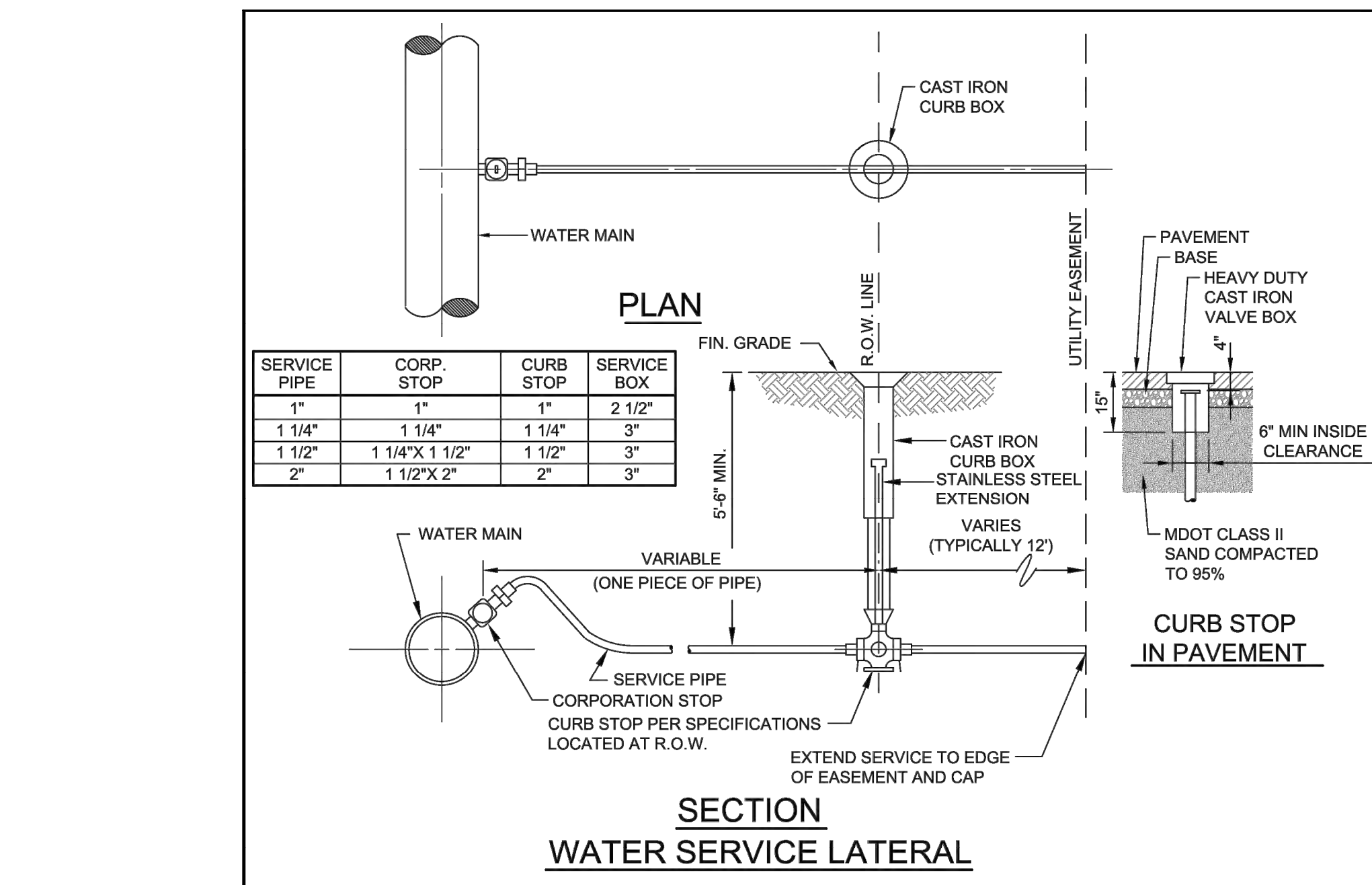
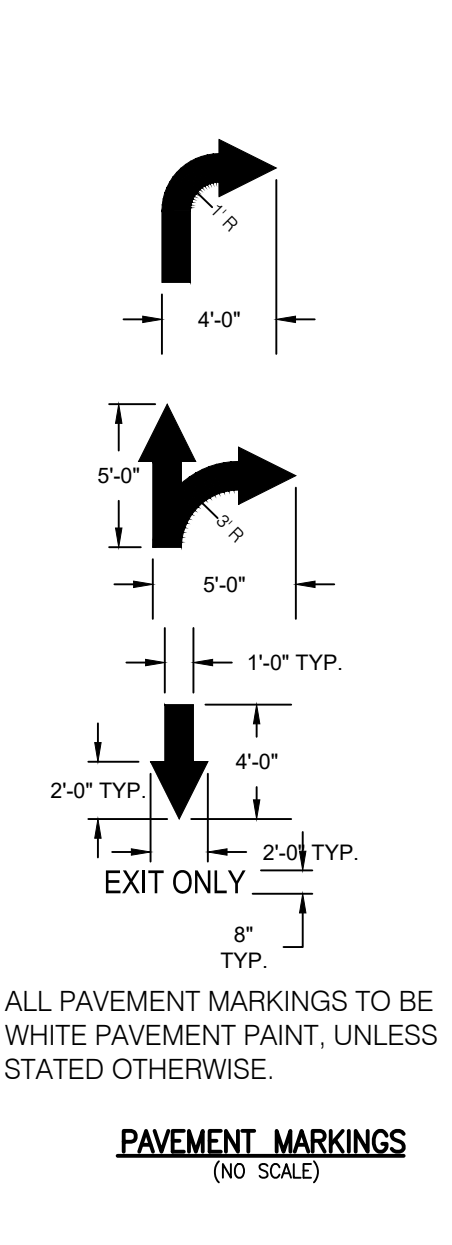
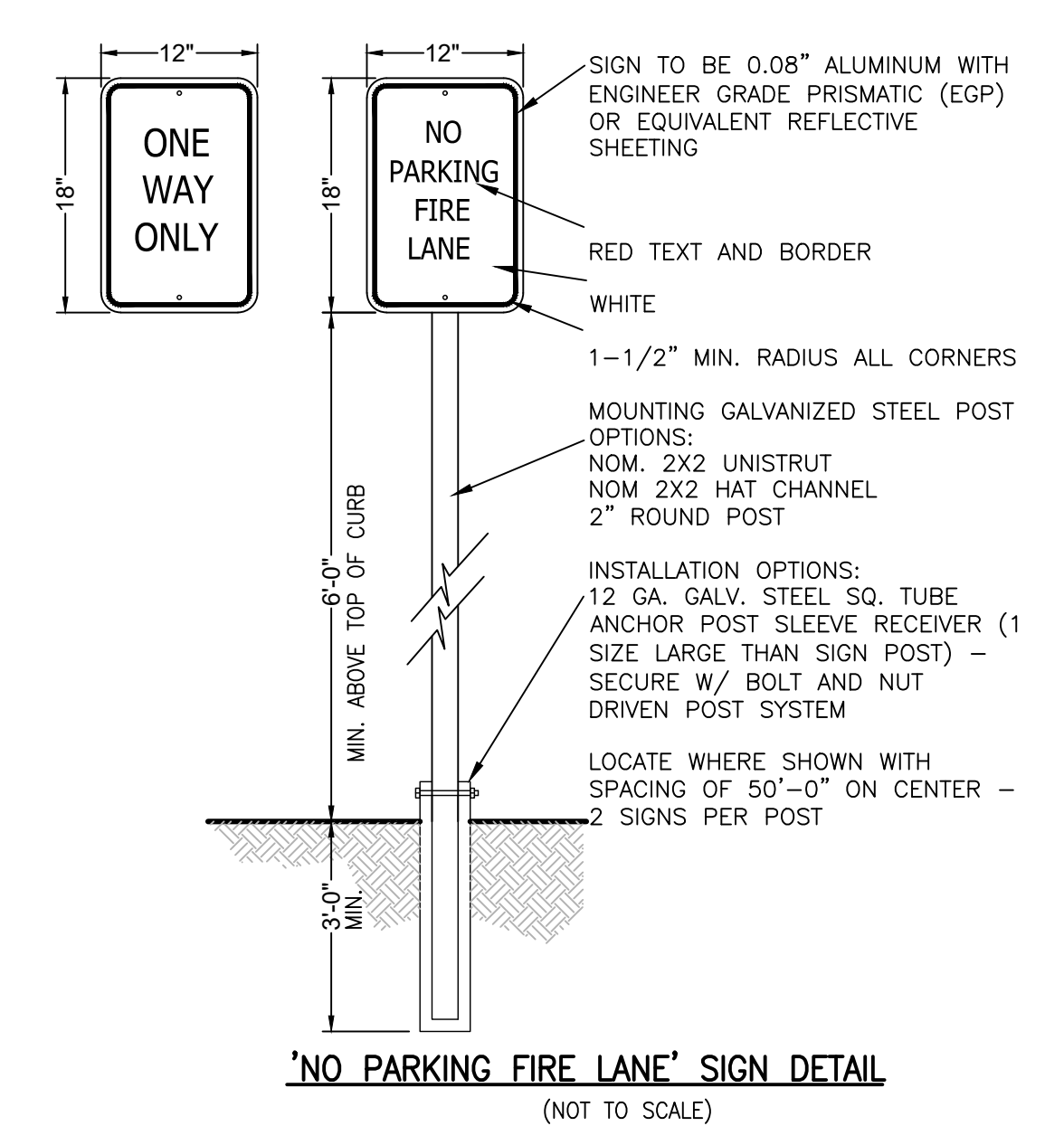
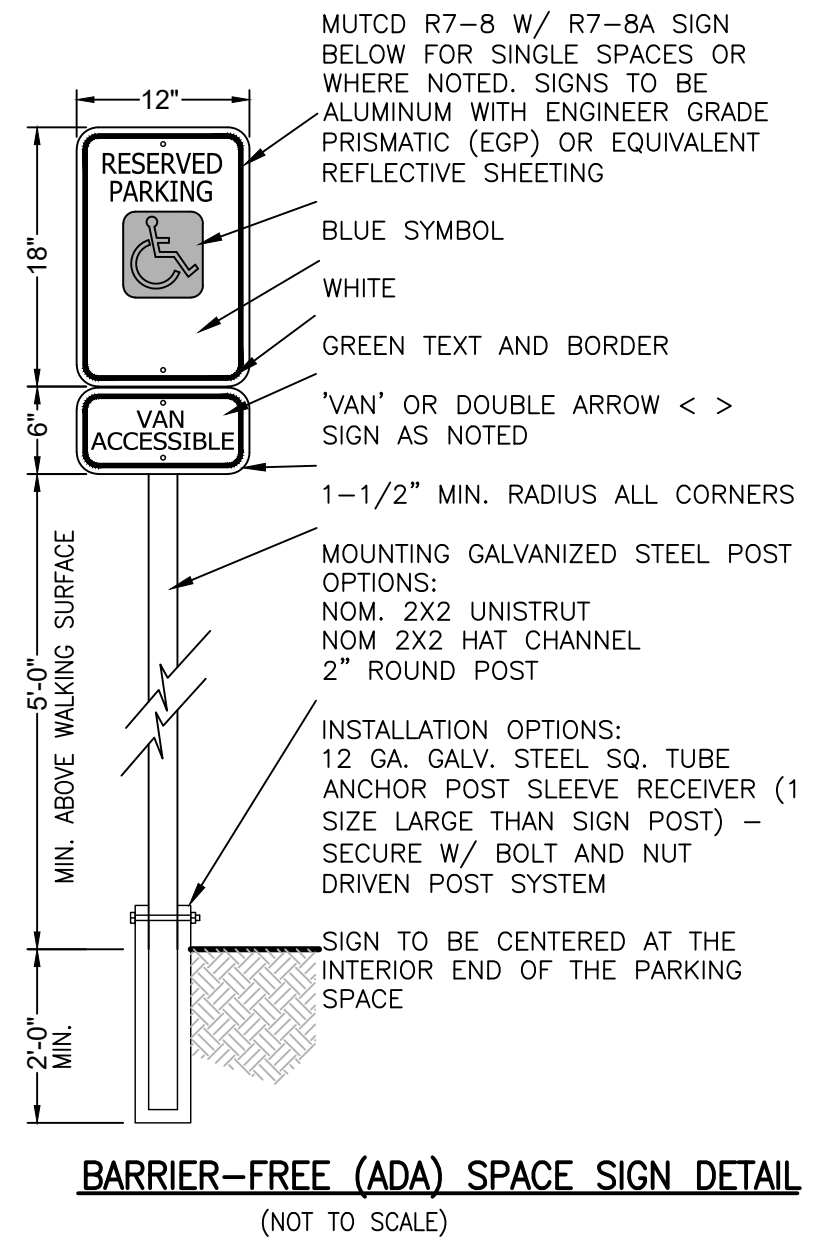
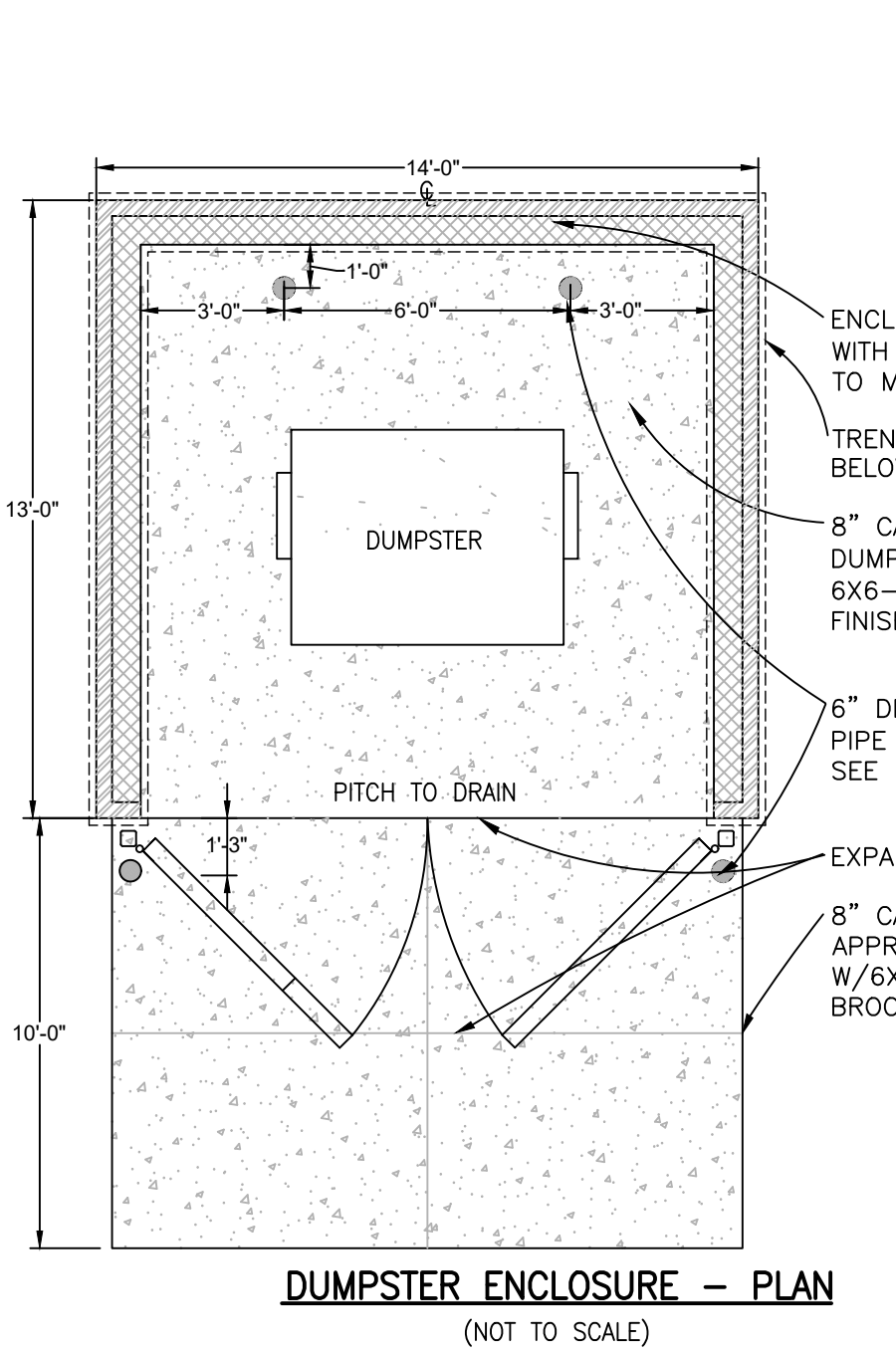
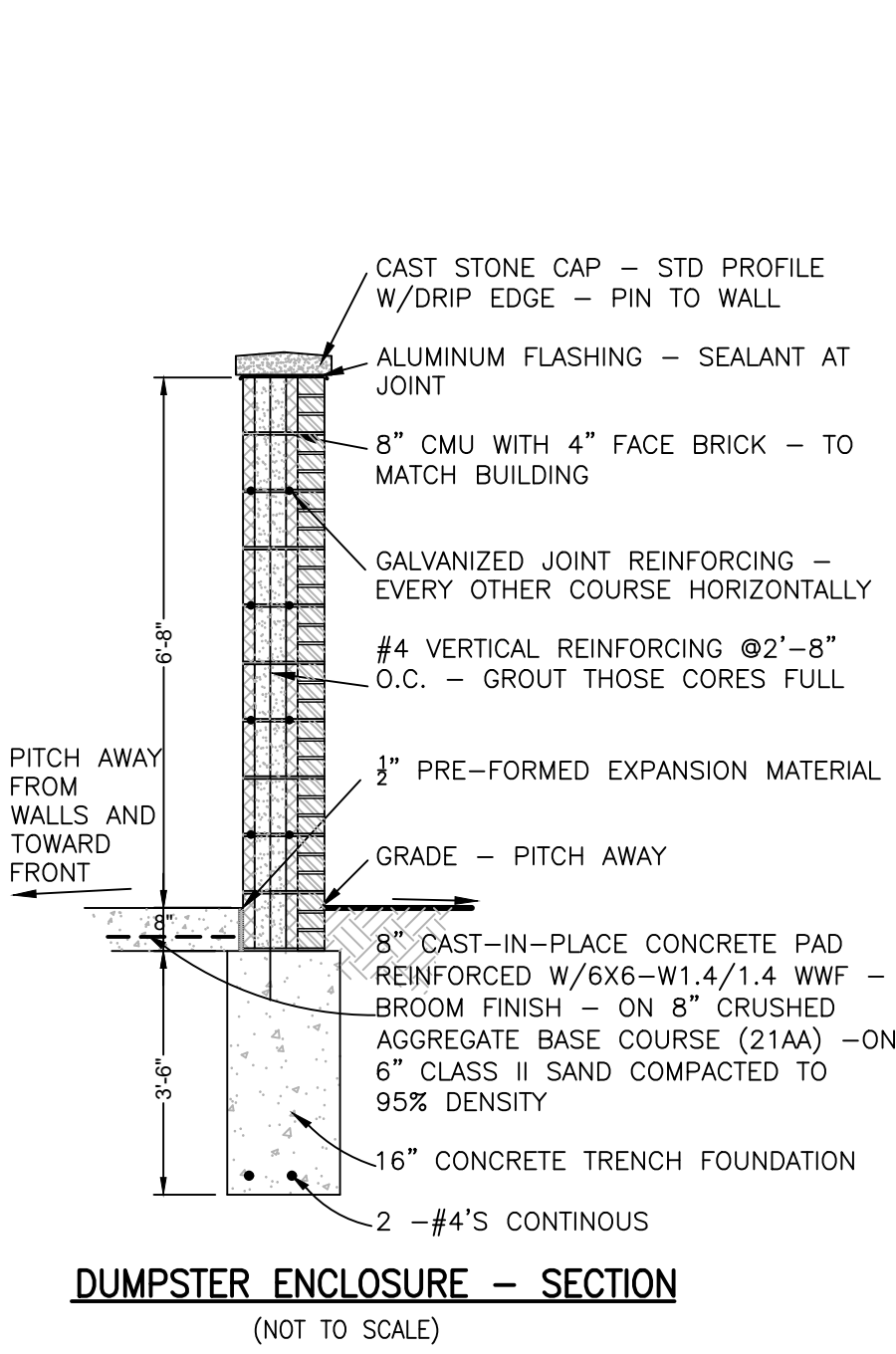
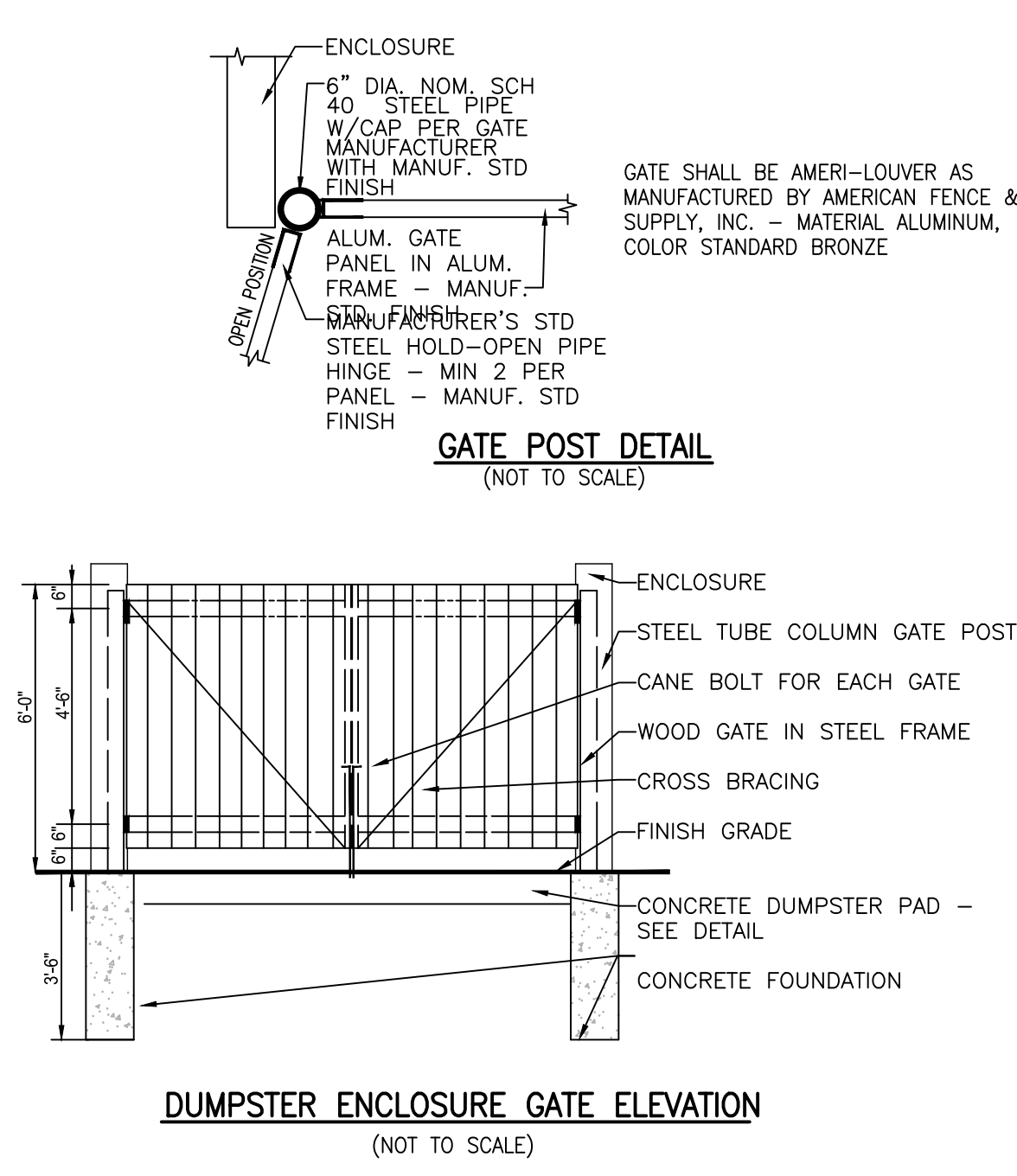
3525 HIGH HILLOREST DR
HOWELL, MI 48843
313.350.3388

LIGHTING PLAN - OFF SITE GRAND RIVER AVE.

PROJECT	SOAPY BUCKET CARWASH
PREPARED FOR	SPRINGBORN PROPERTIES
TITLE	LIGHTING PLAN - OFF SITE GRAND RIVER AVE.
DATE	12/18/23
REVISION PER	1 PC
NO BY	NO BY

DESIGNED BY: PC
DRAWN BY: PC
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. **11B**

**FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION**



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

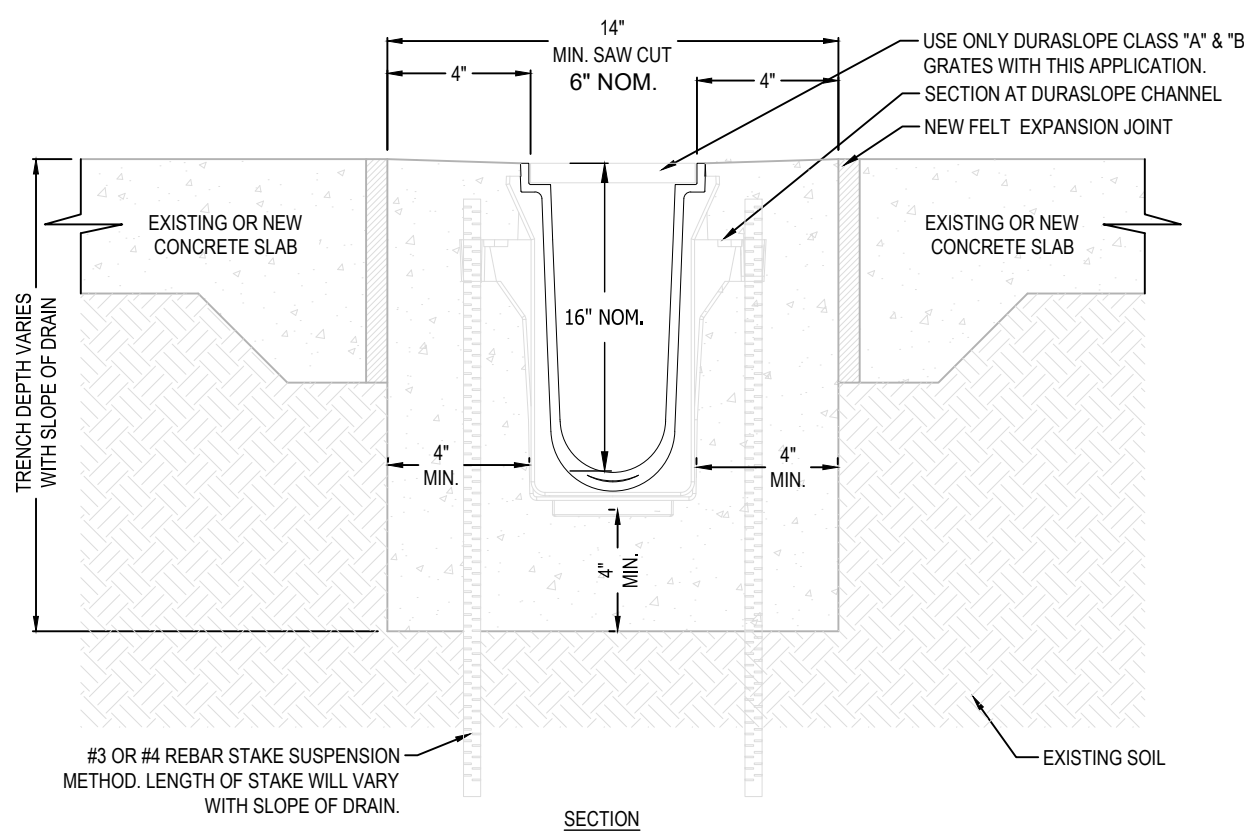
BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: CONSTRUCTION DETAILS-1

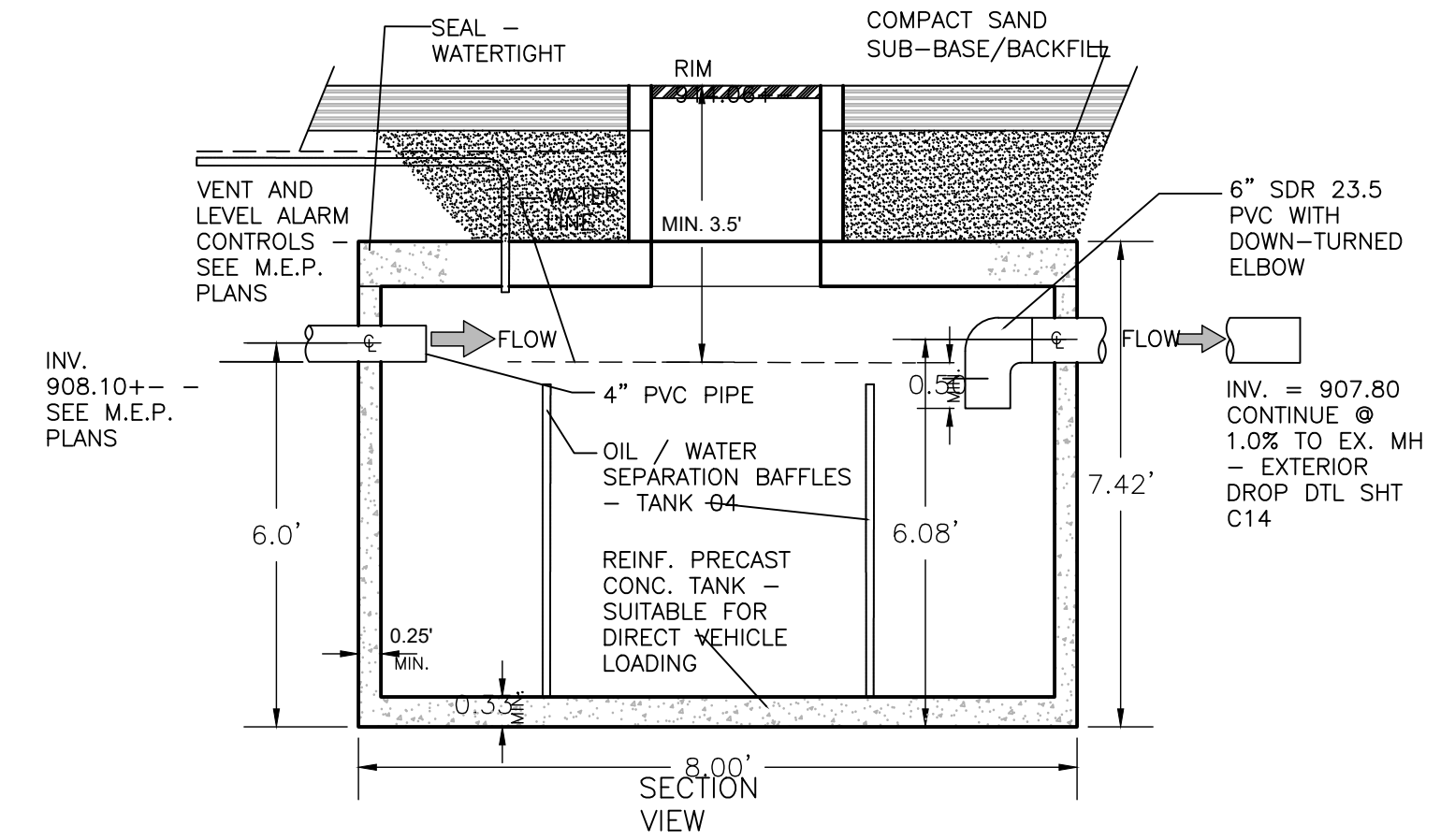
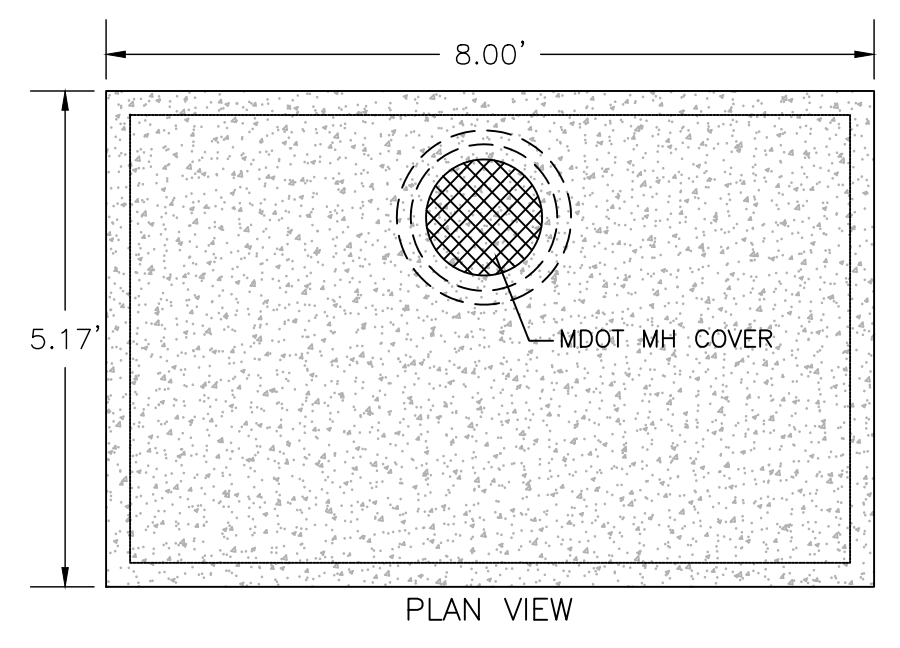
NO.	REVISION	DATE
1	BY	12/18/23

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: NO SCALE
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 12



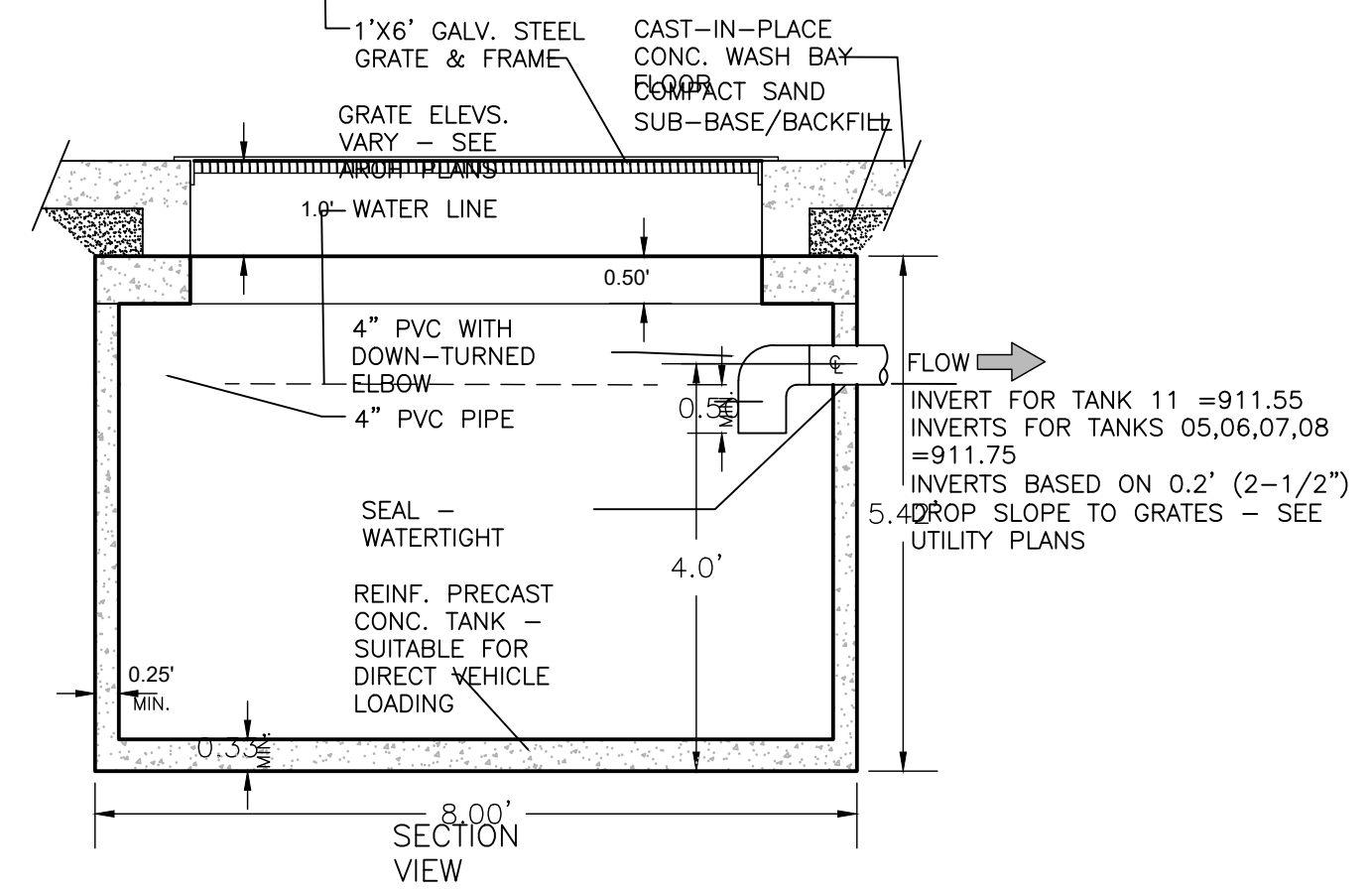
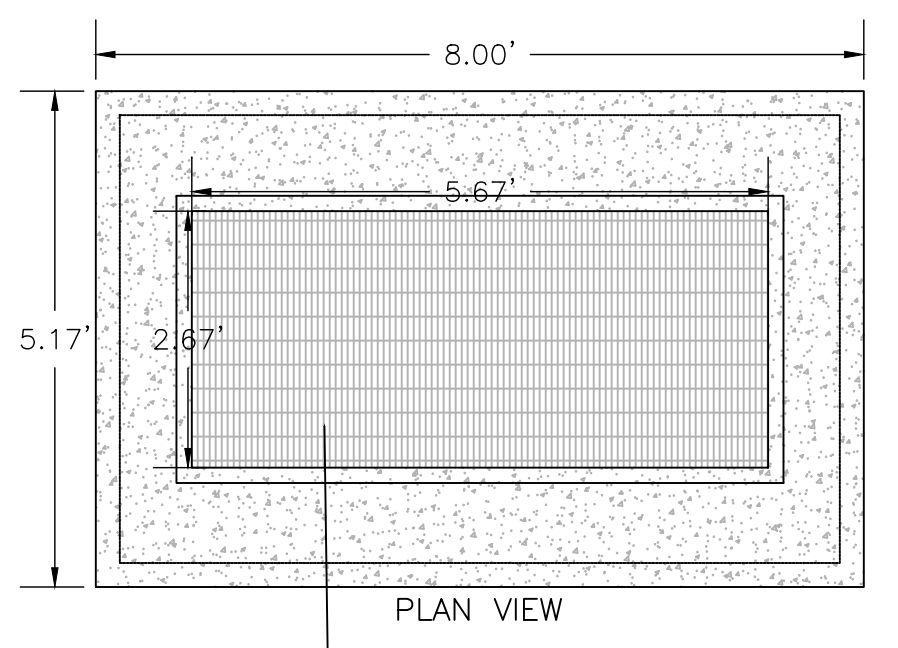
- NOTES:
- CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

TRENCH FRAME AND GRATE
NOT TO SCALE



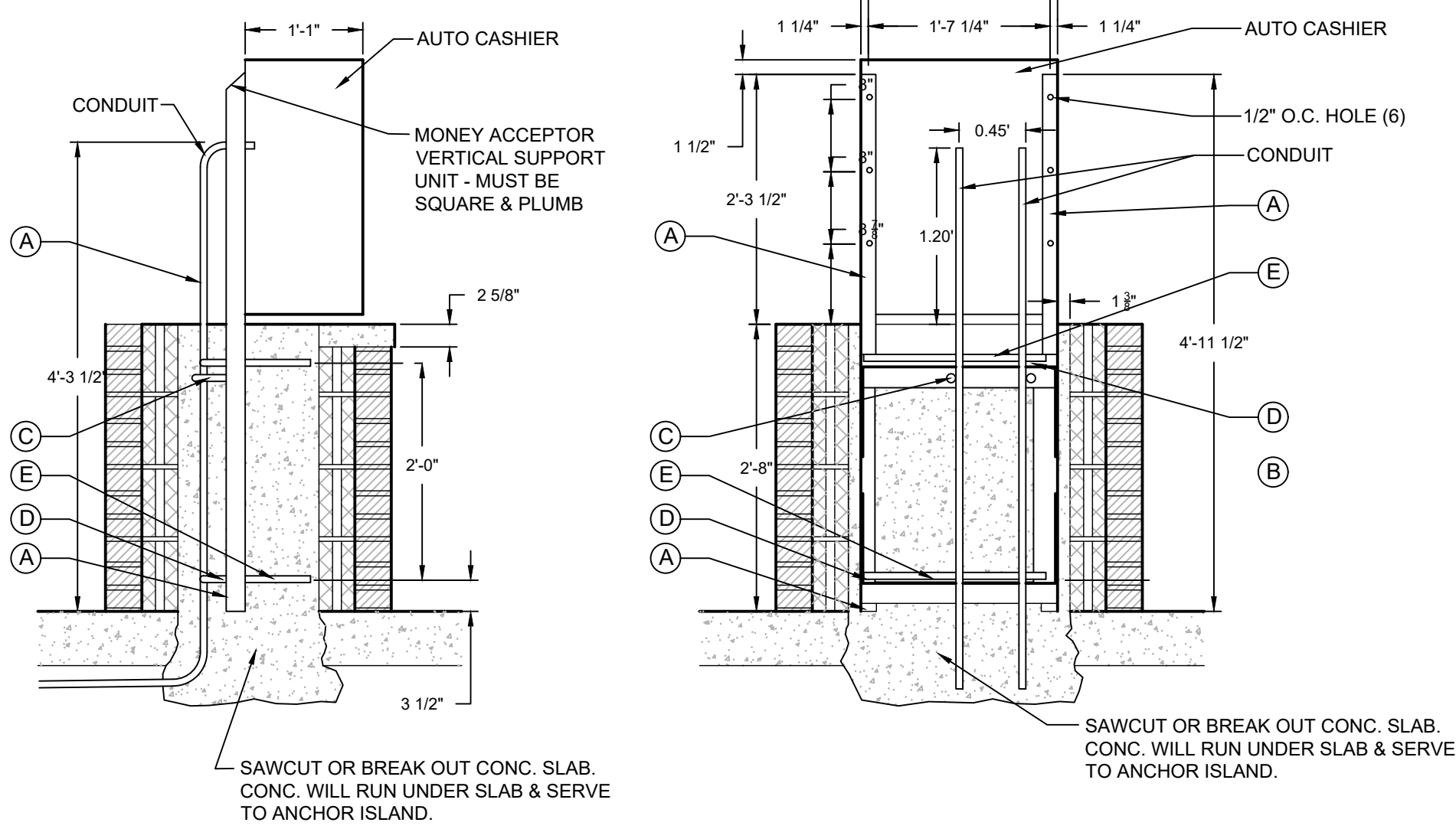
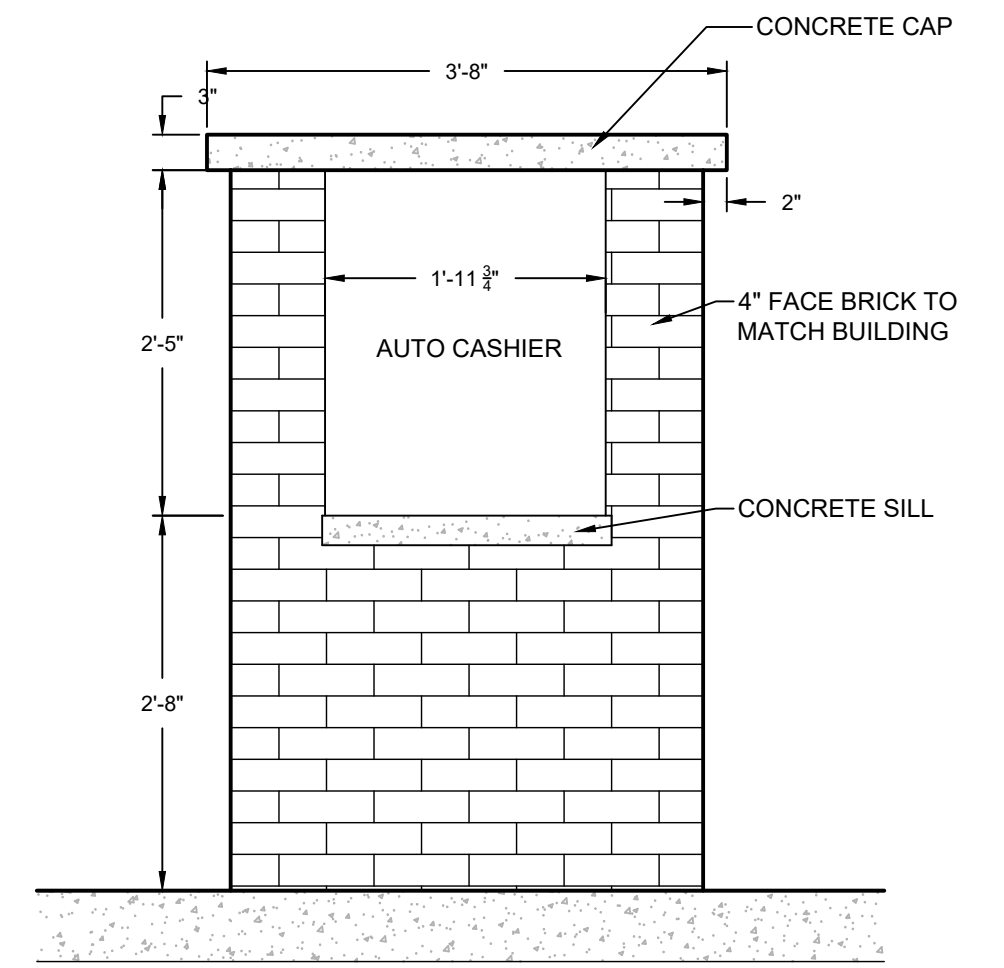
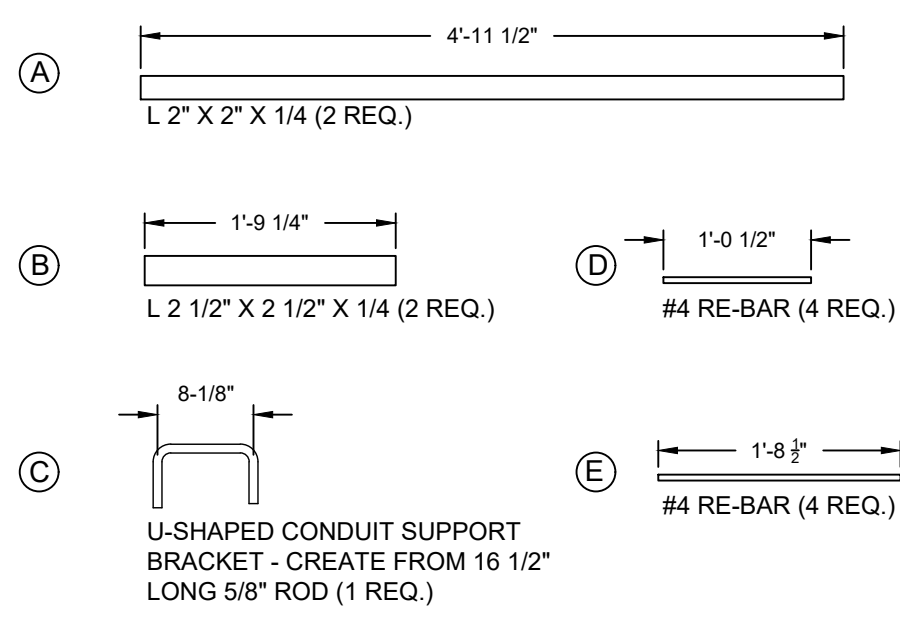
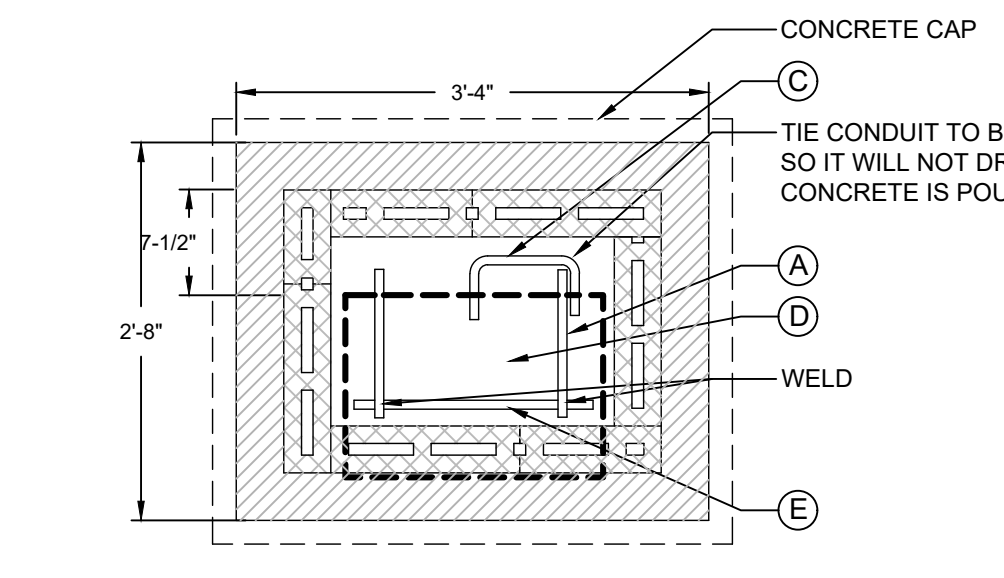
- NOTES:
- DIMENSIONS SHOWN FOR 1,000 GAL. NOMINAL TANK - TANKS 05, 06, 07, 08, 12 - SEE UTILITY PLAN
 - TANK 04 TO BE OIL / WATER SEPARATION TANK WITH APPROPRIATE BAFFLES - 750 GAL. NOMINAL CAPACITY - SEE UTILITY PLAN

CARWASH MONITORING & OIL INTERCEPTOR TANK DTL (TANK 04)
NOT TO SCALE



NOTE: REFER TO ARCHITECTURAL BUILDING MECH., ELEC., & PLUMBING (M.E.P.) PLANS FOR ADDITIONAL INFORMATION INCLUDING SPECIFIC PIPING CONFIGURATIONS, SLOPES, AND ELEVATIONS

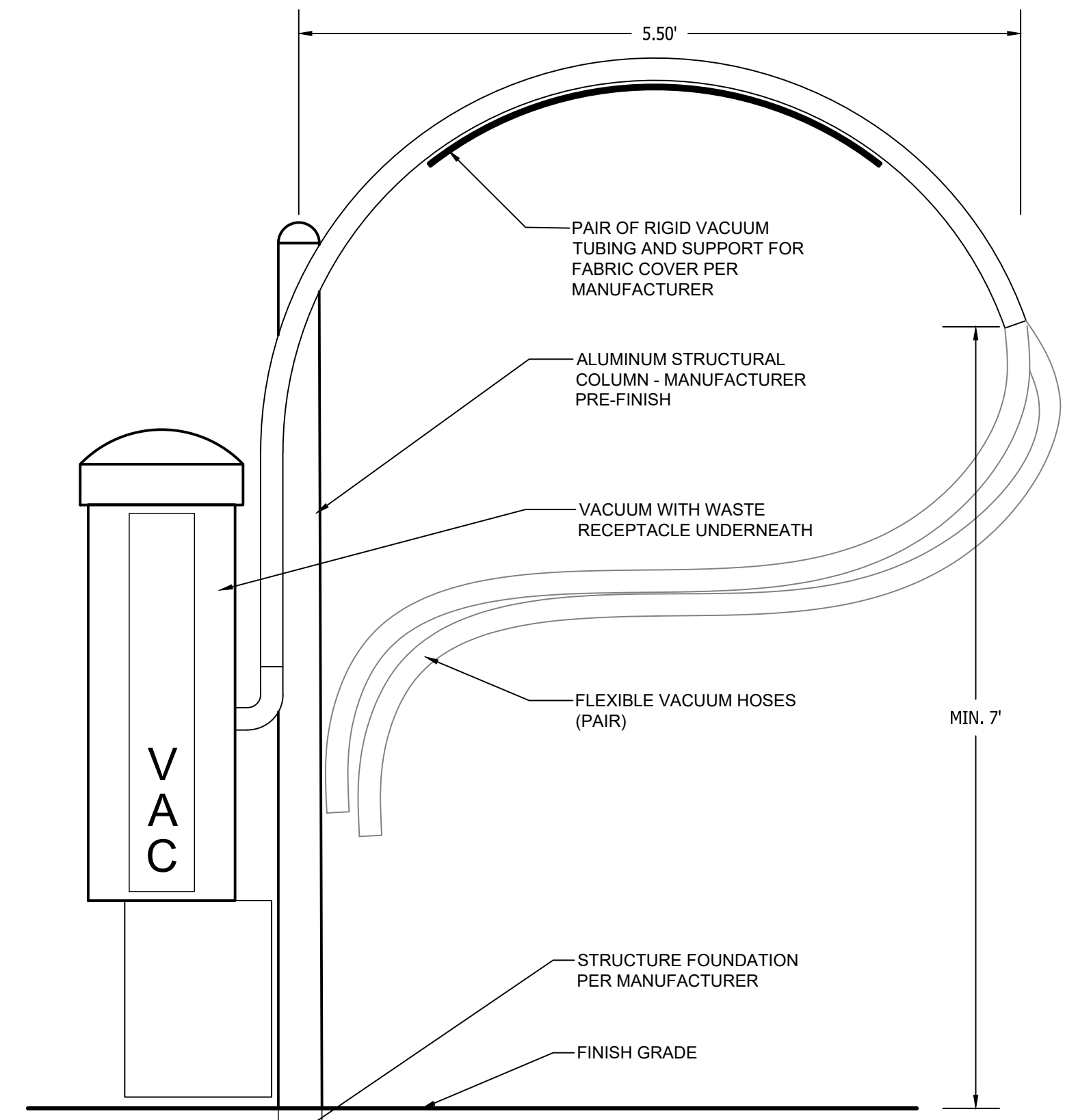
CARWASH SEDIMENTATION CONTROL TANK DETAIL
NOT TO SCALE



MONEY ACCEPTOR ISLAND

NOT TO SCALE

NOTE: SEE SHEET C11 FOR CANOPY DETAIL FOR ABOVE MONEY ACCEPTOR



VACUUM STATION ELEVATION

NOT TO SCALE

NOTE: ELEVATION REPRESENTATIONAL ONLY - CONTRACTOR SHALL SUBMIT FINAL PRODUCT SHOP DRAWINGS/DETAILS FOR APPROVAL BY THE CITY BUILDING INSPECTOR.

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

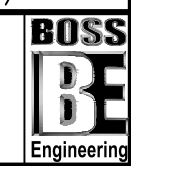
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

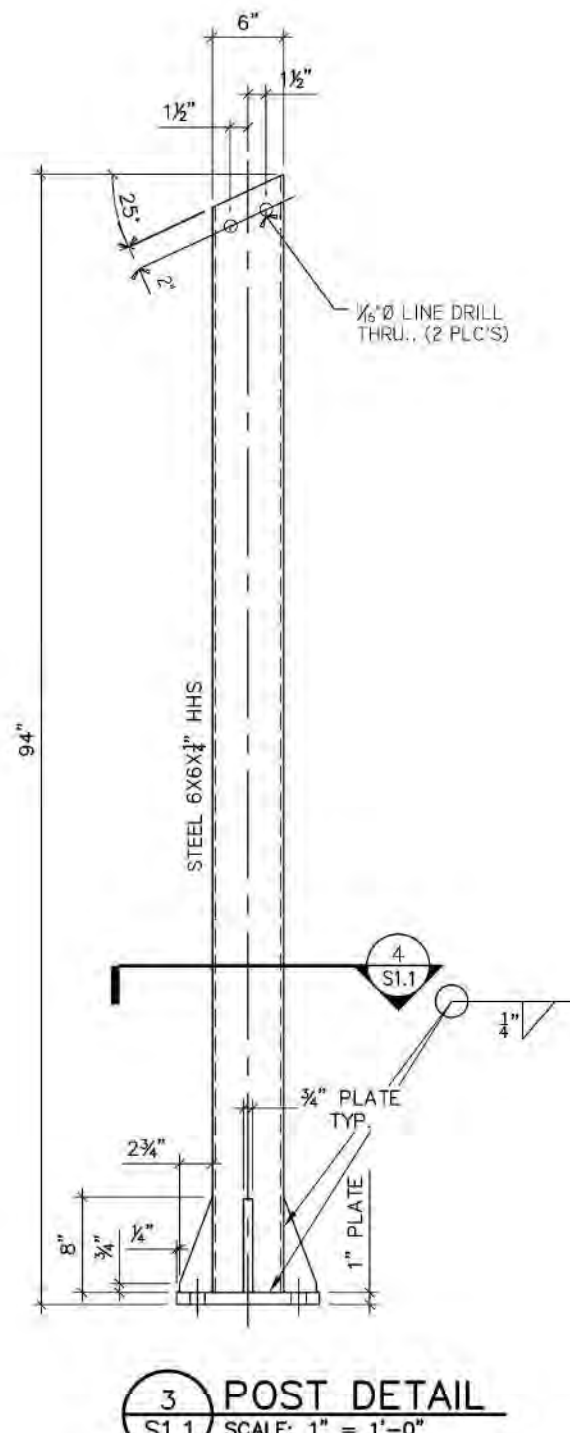
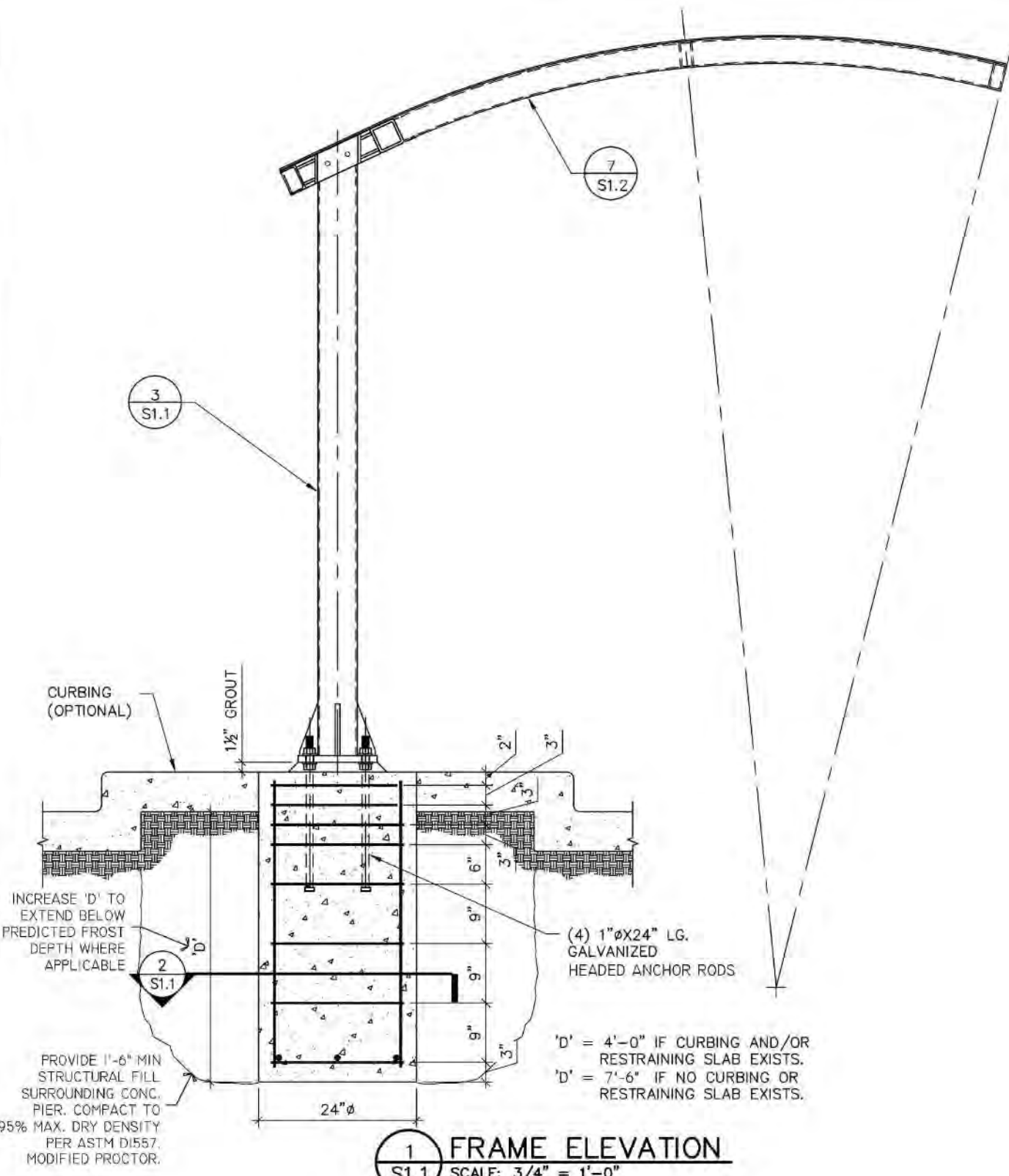
BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
PREPARED FOR: **SPRINGBORN PROPERTIES**
3335 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

NO	BY	DATE	REVISION COMMENTS
1	PC	12/18/23	REVISION PER

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: NO SCALE
JOB NO: 23-134
DATE: 10/31/23
SHEET NO. 13





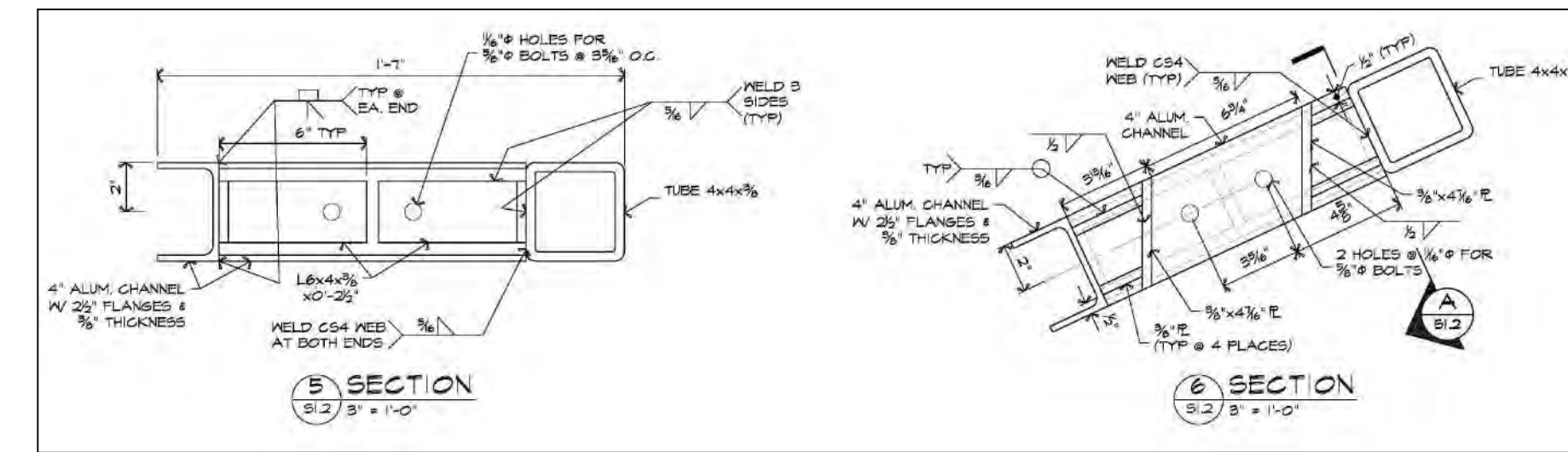
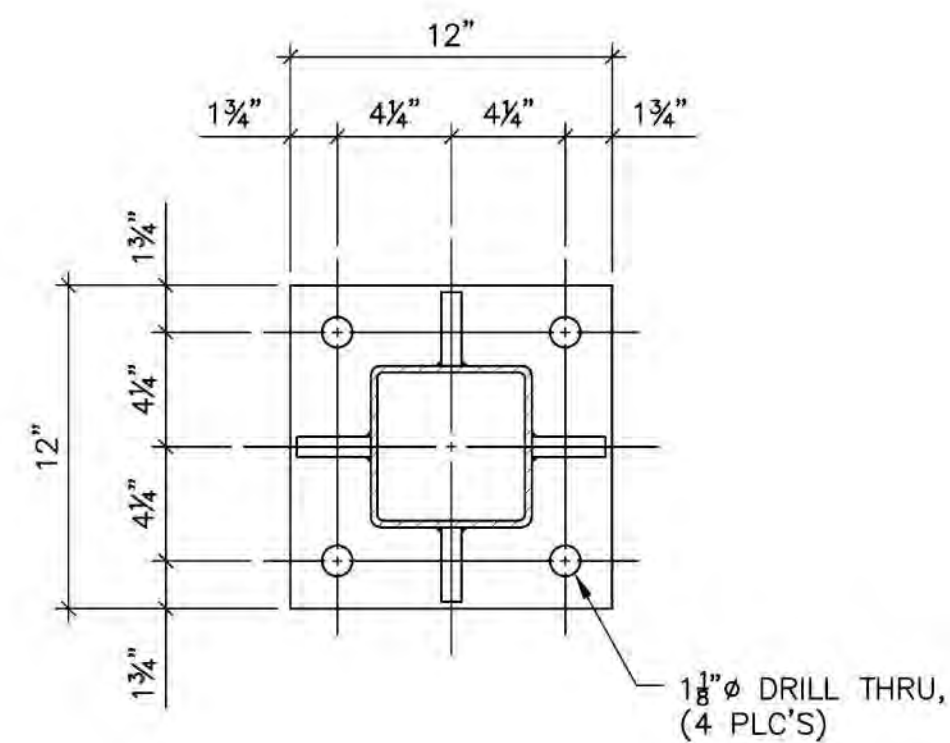
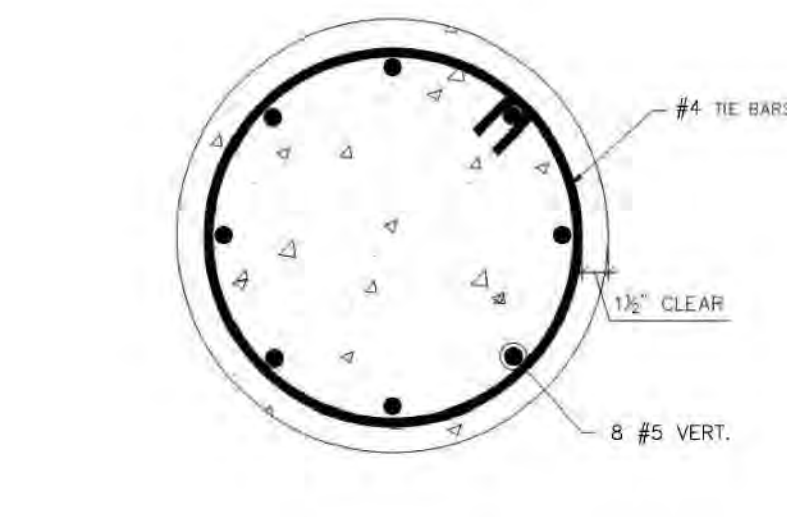
STRUCTURAL STEEL NOTES

1. COMPLY WITH AISC'S "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS--ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN," RCSC'S "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A 325 OR A 490 BOLTS," AND AWS D1.1 "STRUCTURAL WELDING CODE--STEEL."
2. HOLLOW STEEL SECTIONS: ASTM A500, GRADE B, $F_y = 46$ KSI.
3. PLATES, BARS & OTHER SHAPES: ASTM A36
4. ANCHOR BOLTS & NUTS: ASTM F1554, GR. 36, HEADED RODS, AND ASTM A36 NUTS. INSURE THAT RODS ARE FREE OF OIL AND DEBRIS PRIOR TO PLACEMENT.
5. GROUT: ASTM C 1107, NONMETALLIC, SHRINKAGE RESISTANT, PREMIXED.
6. FABRICATE STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" FOR STRUCTURAL STEEL.
7. SHOP PRIMER: ONE COAT OF RED OXIDE, MIN. (2) MILS THICK. TOUCH-UP ANY DAMAGED SURFACES AFTER ERECTION.
8. ERECT STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND WITHIN ERECTION TOLERANCES OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES."
9. SET BASE AND BEARING PLATES ON WEDGES, SHIMS, OR SETTING NUTS. TIGHTEN ANCHOR BOLTS, CUT OFF WEDGES OR SHIMS FLUSH WITH EDGE OF PLATE, AND PACK GROUT SOLIDLY BETWEEN BEARING SURFACES AND PLATES.
10. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH AWS BY CERTIFIED WELDERS. WELD FILLER ALLOY SHALL BE ONE OF THE FOLLOWING: 5183, 5356, 5554, OR 5556.
11. BREAK ALL SHARP EDGES.
12. ALL ALUMINUM SHALL BE 6061 ALLOY.
13. THE STRUCTURE IS DESIGNED FOR LOADS IN ACCORDANCE WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2005 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE7-05.

CAST-IN-PLACE CONCRETE

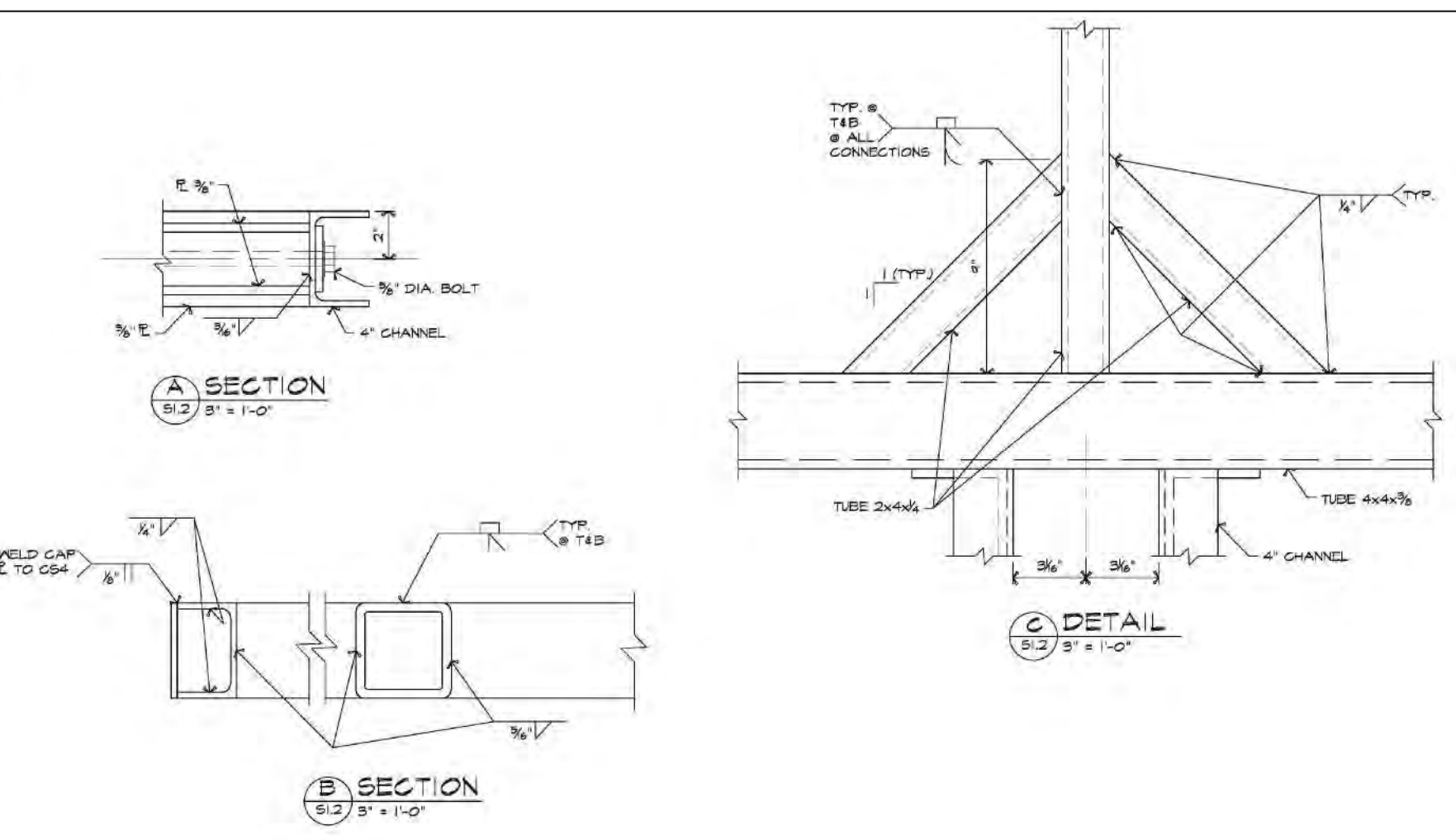
1. COMPLY WITH ASTM C94; ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"; AND CRSI'S "MANUAL OF STANDARD PRACTICE."
2. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI. CONCRETE THAT WILL NOT BE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
3. REINFORCING BARS SHALL NOT BE SPLICED.
4. DEFORMED REINFORCING BARS: ASTM A615, GRADE 60.
5. PORTLAND CEMENT: ASTM C150, TYPE 1.
6. FLY ASH: ASTM C618, TYPE F (LIMITED TO 15 PERCENT OF TOTAL CEMENT CONTENT).
7. PROPORTION NORMAL-WEIGHT CONCRETE MIXES TO PROVIDE THE FOLLOWING PROPERTIES:
A. COMPRESSIVE STRENGTH: 3000 PSI AT 28 DAYS FOR BUILDING FOUNDATIONS AND FOOTINGS.
8. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT, UNLESS APPROVED BY ENGINEER.
9. PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACING, AND CURING. REPAIR SURFACE DEFECTS AS REQ'D.
10. STRUCTURAL FILL SHALL BE CLEAN, NON-FROST SUSCEPTIBLE SAND AND GRAVEL MEETING THE GRADATION REQUIREMENTS GIVEN BELOW:

STRUCTURAL FILL	
SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90 TO 100
3/4 INCH	25 TO 90
#40	0 TO 30
#200	0 TO 5



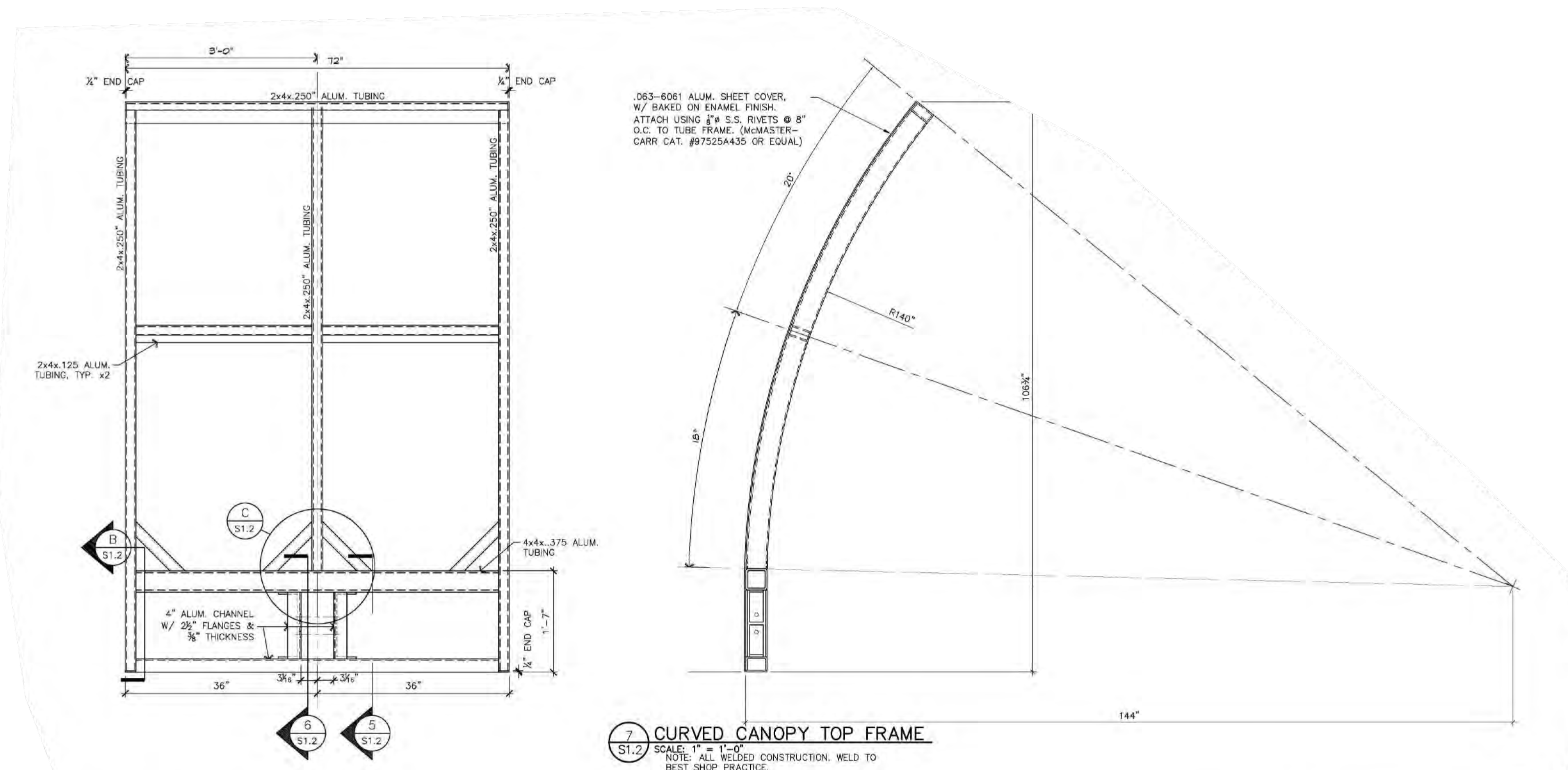
2 SECTION THRU FOUNDATION S1.1 SCALE: 1 1/2" = 1'-0"

4 SECTION - BASE PLATE S1.1 SCALE: 1 1/2" = 1'-0"



MONEY ACCEPTOR CANOPY DETAILS

SCALES AS NOTED



8 CURVED CANOPY TOP FRAME S1.2 SCALE: 1" = 1'-0"

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO WARRANTY IS MADE BY THE ENGINEER AS TO THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE FROM THE PLANS.

BEFORE ANY DIG CALL MMS DIG 1-800-487-7171

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.

PREPARED FOR: SPRINGBORN PROPERTIES
3335 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: CONSTRUCTION DETAILS-3

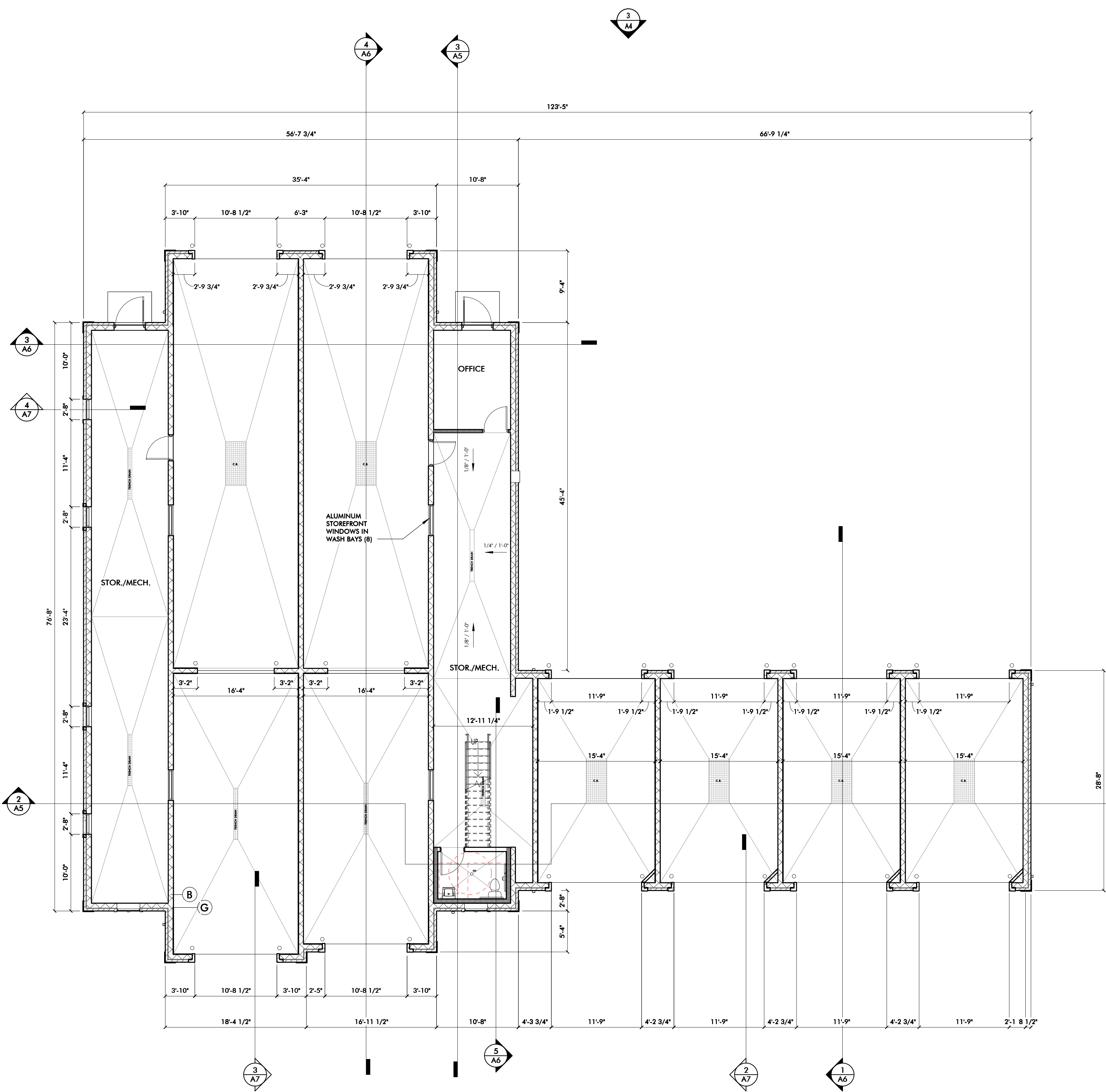
NO	BY	REVISION	DATE
1	PC	DESIGNED BY	12/18/23
1	PC	DRAWN BY	
		CHECKED BY	
		SCALE:	NO SCALE
		JOB NO:	23-134
		DATE:	10/31/23
		SHEET NO.	

14

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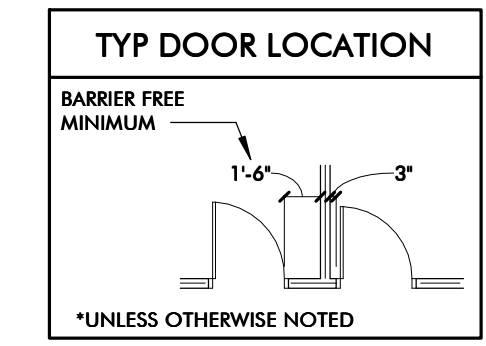
BOSS Engineering

PL: 8400\WORKING\Soapy Bucket Genoa Twp Kohls23035 Soapy Bucket Genoa Kohls.txd
 FILE LOCATION: 10/20/2023 4:45:44
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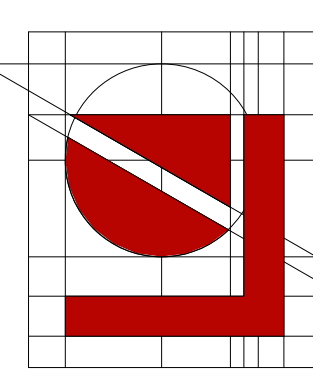
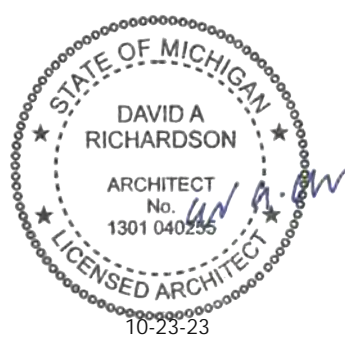
GROSS FOOTPRINT: 6,800 sf

WALL TYPES	
	8" CMU 1" AIR GAP 4" FACE BRICK
	8" CMU
	5/8" TYPE X GYP. BD. 2" MINERAL WOOL INSULATION BOARD 2x4 WOOD STUD FRAMING 5/8" TYPE X GYP. BD.
	5/8" TYPE X GYP. BD. 2" MINERAL WOOL INSULATION BOARD 2x4 WOOD STUD FRAMING
	5/8" TYPE X GYP. BD. 2x4 WOOD STUD FRAMING w/ BATT INSUL. 5/8" TYPE X GYP. BD.
	5/8" TYPE X GYP. BD. 2x6 WOOD STUD FRAMING w/ BATT INSUL.
	WALL LINER PANELS, TYP. OF ALL WASH BAYS



NOTES
 - ASSUMED F.F.E. = 100'-0"

LINE LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
	HIDDEN WORK
	EXISTING TO BE REMOVED



Lindhout Associates
architects aia pc
 Brighton, Michigan 48116-9510
 10465 Citation Drive, (810) 227-5668
 www.lindhout.com fax: (810) 227-5855

CONSULTANT

DATE	ISSUED FOR
10-23-23 <td>SITE PLAN REVIEW </td>	SITE PLAN REVIEW

NEW BUILDING for:
SOAPY BUCKET CAR WASH
 HOWELL, MI
FLOOR PLAN

1
FLOOR PLAN
 1/8" = 1'-0"

A1
23035

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 PL: 8400\WORKING\Soapy Bucket Genoa Twp Kohls\23035 Soapy Bucket Genoa Kohls.rvt FILE LOCATION: DATE PLOTTED: 10/20/2023 4:46:53 PM



SOUTH ELEVATION
1/8" = 1'-0"

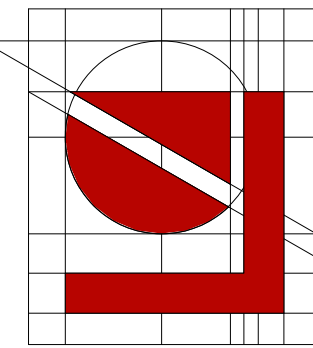


NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

EAST ELEVATION
1/8" = 1'-0"



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CONSULTANT

DATE:	10-22-23	ISSUED FOR:	SITE PLAN REVIEW
DRAWN:	TWJ	CHECKED:	DMK
APP'D:			

NEW BUILDING FOR:
SOAPY BUCKET CAR WASH
 HOWELL, MI
EXTERIOR ELEVATIONS

A4
23035