

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
DECEMBER 11, 2023
MONDAY
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OLD BUSINESS:

OPEN PUBLIC HEARING #1... Consideration of a site plan amendment for revisions to the previously approved site grading on a 4.32-acre parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. The request is petitioned by Chestnut Development.

- A. Recommendation of Environmental Impact Assessment (9-20-23)
- B. Disposition of Amended Site Plan (10-17-23)

NEW BUSINESS:

OPEN PUBLIC HEARING # 2... Consideration of a special use application, environmental impact assessment and site plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road. The request is petitioned by the Nancy Merlo, Brighton Equestrian Club.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (4-22-22)
- C. Recommendation of Site Plan (4-21-22)

OPEN PUBLIC HEARING #3... Consideration of a sketch plan amendment to the previously approved design for Innovation Highway sign as part of the Versa Development (Latson Road) PUD. The proposed sign is located on vacant land (4711-09-300-043) on the east side of Latson Road and on the south side of I-96 at mile marker 140.2. The request is petitioned by Todd Wyett.

- A. Disposition of Sketch Plan Amendment (1-27-22)

ADMINISTRATIVE BUSINESS:

- Staff Report
- Approval of November 13, 2023 Planning Commission meeting minutes
- Member discussion
- Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: CHESTNUT DEVELOPMENT LLC. 6253 GRAND RIVER AVE STE 700
BRIGHTON, MI 48116

If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: CHESTNUT DEVELOPMENT LLC. 6253 GRAND RIVER AVE STE 700
BRIGHTON, MI 48116

SITE ADDRESS: Grand River Ave PARCEL #(s): 11-06-200-101

APPLICANT PHONE: (734)679-4356 OWNER PHONE: (888)825-1420

OWNER EMAIL: permits@chestnutdev.com

LOCATION AND BRIEF DESCRIPTION OF SITE: North side of Grand River Ave.
Just west of Char-Ann Drive.

BRIEF STATEMENT OF PROPOSED USE: Grading preparation for future
development. Replacement of trees that were inadvertently removed by contractor.

Please see letter from MEGA Engineering dated 9-20-23 and revised site plans showing
proposed mitigation.

THE FOLLOWING BUILDINGS ARE PROPOSED: None

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: Steve Gronow, Owner

ADDRESS: 6253 GRAND RIVER AVE STE 700 BRIGHTON, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Kelly Ralko _____ of Chestnut Development, LLC. _____ at permits@chestnutdev.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Steve Gronow, Owner of Chestnut DATE: 9/20/23

PRINT NAME: Steve Gronow, Owner PHONE: 888-825-1420

ADDRESS: 6253 GRAND RIVER AVE STE 700 BRIGHTON, MI 48116

Moved by Commissioner Rauch, seconded by Commissioner Chouinard, to recommend to the Township Board approval of the Environmental Impact Assessment dated September 20, 2023 for two contiguous parcels (4711-09-200-006 and 008) at 4675 Grand River Avenue to allow for trailer sales and storage. **The motion carried unanimously.**

OPEN PUBLIC HEARING #3...Consideration of a site plan amendment for revisions to the previously approved site grading on a 4.32-acre parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. The request is petitioned by Chestnut Development.

- A. Disposition of amended Site Plan (9-1-23)
- B. Recommendation of Environmental Impact Assessment (9-20-23)

Ms. Brittney Shay of Monument Engineering was present. She advised that grading plans were previously approved by the township in preparation for future development. There were 19 trees that were required to be saved; however, when the project started, those trees were removed. They are proposing a new plan to establish screening due to the removal of these trees.

Mr. Borden reviewed his letter dated October 3, 2023.

1. In accordance with Section 13.01, the Planning Commission has review and approval authority over the site plan for grading and tree removal.
2. The approved site plan included a condition for additional tree preservation in the northerly portion of the site; however, those trees were removed, and the applicant now seeks approval of an amended site plan.

The applicant has addressed some of their concerns; however, his additional comments are:

3. There is a discrepancy between the notes and plan with respect to the number of new trees proposed. The plan depicts 20 trees, while the notes say 19. This must be corrected.
4. The size of the new trees proposed is not identified.
5. In his opinion, if the new trees are to be treated as replacement for what was removed, the new trees need to be much larger than Ordinance minimums of six feet in height at the time of planting. The trees removed were well above 20 feet in height. Alternatively, the Commission could require an increase in the number of trees to be planted to help offset what was removed.
6. The silt fence line should be adjusted to ensure protection of the tree along the west side of the limits of disturbance.
7. The applicant must address any comments provided by the Township Engineer.

Ms. Byrne has no engineering issues. She stated that the berm or plantings will not affect the drainage or underground utilities.

The Fire Marshal had no issues.

Commissioner Rauch is disappointed that the petitioner is not present this evening. He would like to know what happened. This is a significant oversight. He is not in favor of replacing what was removed with 19 six-foot trees. He would request that they be replaced with something much more robust. Also, to ensure that the new plantings grow, it would require irrigation.

Commissioner McBain is not in favor of a berm because that suggests manicured landscaping. She would like to have more natural plantings, such as trees, bushes, brush, etc.

Ms. Ruthig stated that when staff was made aware of the trees being removed, they were concerned with the location the applicant proposed to place the berm because it is in the 50-foot wide buffer that was supposed to remain natural. This could compromise some of the existing trees inside that 50-foot buffer.

Commissioner Rauch reiterated Commissioner McBain's comments that it should look natural and not manicured.

After discussion, it was determined that a landscape architect needs to provide a plan for approval by the township.

The call to the public was made at 7:16 pm.

Mr. Dan Hassett of 2955 Turning Leaf stated there was an approximate 300-foot-wide area of trees removed. His house can now be seen from Grand River. He would suggest the applicant bring in a lot of dirt to make a 10-12-foot-high berm, and then plant 30-40 white pines.

Mr. Chris Mammoser of 2757 Turning Leaf is the secretary of the homeowner's association. He thanked Ms. Ruthig for all of her help with this issue. They have purchased much larger trees than what is being proposed so the developer can also.

The call to the public was closed at 7:22 pm.

Commissioner Lowe would like to request that the developer or his representative be present at all future meetings.

Moved by Rauch, supported by Lowe, to table Open Public Hearing #3 for a site plan amendment for revisions to the previously approved site grading on a 4.32-acre parcel, #4711-06-200-101. **The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there will be a Planning Commission meeting next month.

Genoa Charter Township Board Meeting

May 1, 2023

Approved Minutes

Moved by Skolarus, supported by Ledford, to approve Resolution #4 Acknowledging the filing of the Special Assessment Roll, Scheduling the Second Hearing for May 15, 2023, and Directing the Issuance of Statutory Notices for the Stillriver Drive Road Rehabilitation Special Assessment Project (Summer Tax 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen- absent, Skolarus - yes, and Rogers - yes).**

Ms. Skolarus stated that an appeal of the Pine Creek Road Improvement Special Assessment District has been filed so township counsel has asked for a temporary postponement of agenda items #6, 7 and 8 to allow the attorneys to review the appeals and advise staff on the next steps.

Moved by Skolarus, supported by Lowe, to postpone Agenda Items #6, 7, and 8 as requested by the Township Attorney. **The motion carried unanimously,**

6. Request for approval of Resolution #6 Bond Authorizing Resolution for the Pine Creek Ridge Road Improvement Special Assessment District. (Roll Call)
7. Request to approve the Memorandum of Understanding with the Lake Villas of Pine Creek for their contribution to the 2023 Pine Creek Ridge Road Improvement Project.
8. Request to approve a project agreement with the Livingston County Road Commission to reconstruct the roads within the Pine Creek Ridge Subdivision consisting of approximately 5.45 miles with the Township's cost not to exceed \$4,210,000.
9. Consideration of a recommendation for approval of an environmental impact assessment corresponding to the site plan for proposed site grading on a 4.32-acre vacant parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. The request is petitioned by Chestnut Development.

Mr. Allan Pruss of Monument Engineering, representing Chestnut Development, provided a review of the project. They will be grading the property and removing the guard rail to prepare it for future development. They will be preserving the trees as requested by the Planning Commission.

Mr. Mortensen arrived at 6:51 pm.

Moved by Hunt, supported by Lowe, to approve the Environmental Impact Assessment dated April 24, 2023 for Chestnut Development site grading project located on a 4.32-acre vacant parcel (4711-06-200-101) with the following conditions:

1. The silt fence line shall be adjusted to ensure protection of trees that are to be preserved per Planner's review letter dated April 4, 2023
2. MDOT approval for the removal of the guard rail shall be submitted to Township staff prior to issuance of land use permit.

The motion carried unanimously.

4. The proposal will result in the removal of several trees, though the submittal does not identify the exact (or estimated) quantity.
5. The submittal notes a potential location for structures that are not described/depicted in the PUD Agreement or the approved PUD plans. As suggested by Mr. Lekas , he recommends removing it from the plans.
6. The proposed construction road likely requires approval from the Road Commission.
7. Given the nature of the project, the plans need to be signed/sealed by a professional engineer.

Ms. Byrne has no engineering-related concerns with the project.

The Brighton Area Fire Authority Fire Marshal has no concerns regarding this project.

Ms. Spano stated Trinity has community farms at their other facilities. They use it as a community garden, patients use it for rehabilitation, the vegetables are served to the patients in the hospital, and it helps with their carbon footprint.

Commissioner Chouinard complimented the applicant for keeping the material on site.

The call to the public was made at 8:15 pm with no response.

Commissioner McCreary would like the applicant to add a tree buffer between this area and the adjacent residential property. Ms. Spano agrees. She recommended determining what should be planted after the grading has been completed. Commissioners agreed and recommended it be approved by Township Staff.

Moved by Commissioner Lowe, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated February 24, 2023 for site grading for Trinity Health. **The motion carried unanimously.**

Moved by Commissioner McCreary, seconded by Commissioner McBain, to approve the Amendment to the approved Final PUD Site Plan dated February 24, 2023 for site grading for Trinity Health conditioned upon staff approval of additional tree plantings on the eastern side to buffer the neighboring property. **The motion carried unanimously.**

OPEN PUBLIC HEARING #5...Consideration of an environmental impact assessment and site plan for proposed site grading on a 4.32-acre vacant parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. The request is petitioned by Chestnut Development.

- A. Recommendation of Environmental Impact Assessment (3-2-23)
- B. Disposition of Site Plan (2-10-23)

Mr. Allan Pruss of Monument Engineering Group and Brad Opfer of Chestnut Development were present. Mr. Pruss provided a review of the project, which will be to regrade the site and remove the guardrail along Grand River. The comments noted by the Township Planner will be addressed on the grading plan. They do not anticipate the need for stockpiling and staging; however, if it is, they have shown it on the plans.

The call to the public was made at 8:31 pm with no response.

Mr. Borden reviewed his letter dated April 4, 2023.

1. In accordance with Section 13.01, the Planning Commission has review and approval authority over the site plan for grading and tree removal.
2. Since the project only entails site engineering at this time, the applicant must address any comments provided by the Township Engineer.
3. He noted that the applicant has provided details of the stockpile and staging areas.
4. The silt fence line may need to be slightly adjusted to ensure protection of three trees that are to be preserved along the west and north sides of the limits of disturbance. Mr. Pruss advised that he will address these concerns.

Ms. Byrne reviewed her letter dated March 30, 2023.

1. The grading plan appears to be filling in an existing detention pond area and adjusting the outlet rim elevation. As the site is currently undeveloped, this change won't have a major impact on the downstream storm system. When the site is developed in the future it will need to have a new storm management system designed and would need MDOT approval to outlet to the Grand River storm sewer.
2. She noted the applicant has addressed the existing storm pipes shown on the survey plan but missing on the proposed grading plan.
3. The existing water main is shown on the survey plan but should also be clearly shown on the grading plan.

The Brighton Area Fire Authority Fire Marshal has no concerns regarding this project.

Commissioner McCreary questioned the trees along Char-Ann and Turning Leaf that have blue tags. Mr. Pruss stated there is 20 feet of greenspace from the end of pavement on Char-Ann to their property line and they will not be grading within the first 50 feet of their property, so this is almost 80 feet of trees and brush that will remain. She does not want to see those trees removed now since there is no plan to develop the site at this time. Mr. Pruss and Mr. Opfer agreed not to remove the trees.

Moved by Commissioner Lowe, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment submitted by Chestnut Development dated March 2, 2023 for proposed site grading on a 4.32-acre vacant parcel

(4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive. **The motion carried unanimously.**

Moved by Commissioner Lowe, seconded by Commissioner Dhaenens, to approved the Site Plan submitted by Chestnut Development dated February 10, 2023 for site grading on a 4.32-acre vacant parcel (4711-06-200-101) on the north side of Grand River Avenue, just west of Char-Ann Drive, conditioned upon the trees to the north side of the property as discussed this evening shall not be removed per the revised diagram submitted this evening and final approval to be done by Township Staff. **The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there will be May and June Planning Commission meetings.

She advised that Staff may begin requesting demarcation signs be installed for wetlands in new developments. The developer does not encroach into the wetlands per the plans, but homeowners are not aware where the wetlands are adjacent to their property and sometimes mow their lawn into them, etc.

Approval of the February 13, 2022 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Lowe, to approve the minutes of the February 13, 2022 Planning Commission Meeting as corrected. **The motion carried unanimously.**

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Commissioner McCreary, seconded by Commissioner Lowe, to adjourn the meeting at 9:02 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary



December 5, 2023

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Chestnut Development site grading and tree removal – Amendment to Approved Site Plan (2 nd Review)
Location:	Vacant parcel – north side of Grand River, west of Char-Ann Drive
Zoning:	OSD Office Service District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal proposing to amend a previously approved site plan.

At their April 10, 2023 meeting, the Planning Commission granted conditional site plan approval to allow site grading and tree removal, per Section 13.01 of the Township Zoning Ordinance.

The condition was that the (19) existing trees on the north side of the property were not to be removed.

In the time since approval, grading activities commenced, and the trees subject to the Commission’s condition were “inadvertently” removed.

Subsequently, the Commission tabled a request to amend the approved site plan at their October 10, 2023 meeting due to insufficient replacement plantings and a lack of attendance by the developer.

The applicant now seeks to plant replacement trees to better screen the residential properties north of the subject site.

A. Summary

1. In accordance with Section 13.01, the Planning Commission has review and approval authority over the site plan for grading and tree removal.
2. The approved site plan included a condition for additional tree preservation in the northerly portion of the site; however, those trees were removed, and the applicant now seeks approval of an amended site plan.
3. The “Tree Removal Calcs” on the amended site plan may need to be updated.
4. The silt fence line should be adjusted to ensure protection of the tree along the west side of the limits of disturbance.
5. The applicant must address any comments provided by the Township Engineer.



Aerial view of site and surroundings (looking north)

B. Background/Proposal/Process

The applicant proposes site grading in anticipation of future development of the property.

The site and adjacent properties to the east are zoned OSD; those to the west along Grand River are zoned GCD; and the adjacent properties to the north are zoned LDR. It is important to note that the adjacent property to the west contains a single-family residence, though it is zoned GCD.

Per Section 13.01, grading that changes the topography of the site by more than 3 feet on average or removal of more than 25% of existing trees with a diameter of 8 inches or more is subject to review by the Zoning Administrator, though it may be forwarded to the Planning Commission for their consideration (as is the case in this instance).

Similar to the original proposal, the project entails filling to level the parcel, which has/had approximately 20' of elevation change from the northwest (high ground) to the southeast.

The project included the removal of 42 trees with a diameter of 8 inches or more (57% of such trees on site); however, it is unclear whether this includes the 19 additional trees that were removed. As such, the "Tree Removal Calcs" on Sheet V-1.0 may need to be updated.

Procedurally, the Planning Commission has review and approval authority over the amended site plan; however, the amended Environmental Impact Assessment is subject to Planning Commission recommendation with final approval by the Township Board.

C. Site Plan Review

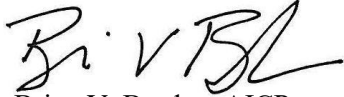
The project entails site grading, tree removal, and new tree plantings.

We provide the following comments for the Commission's consideration:

- The amended grading plan maintains 20' side yard buffer zones, and a 50' rear buffer zone from the LDR property to the north.
- 38 new evergreen trees are proposed to replace the 19 were "inadvertently" removed.
- The proposal includes 4 different types of evergreen trees (Norway Spruce, Black Hill Spruce, Colorado Blue Spruce, and Eastern White Pine).
- The silt fence line should be adjusted to ensure protection of the tree along the west side of the limits of disturbance.
- The Commission should consider any comments provided by the Township engineering consultant.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letter of each word being capitalized and prominent.

Brian V. Borden, AICP
Michigan Planning Manager



December 4, 2023

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Chestnut Site Grading Amendment
Sketch Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed amended Chestnut Development Grading plan last dated October 17, 2023. The plan was prepared by Monument Engineering Group Associates on behalf of Chestnut Development. The sketch plan was previously approved, but the Petitioner is proposing to amend the sketch plan to replace additional trees that have been removed. The proposed berm from the previous submittal has been removed from the plans.

The proposed trees will not impact existing utilities or site drainage; therefore, we have no engineering related concern to the proposed amended sketch plan.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer

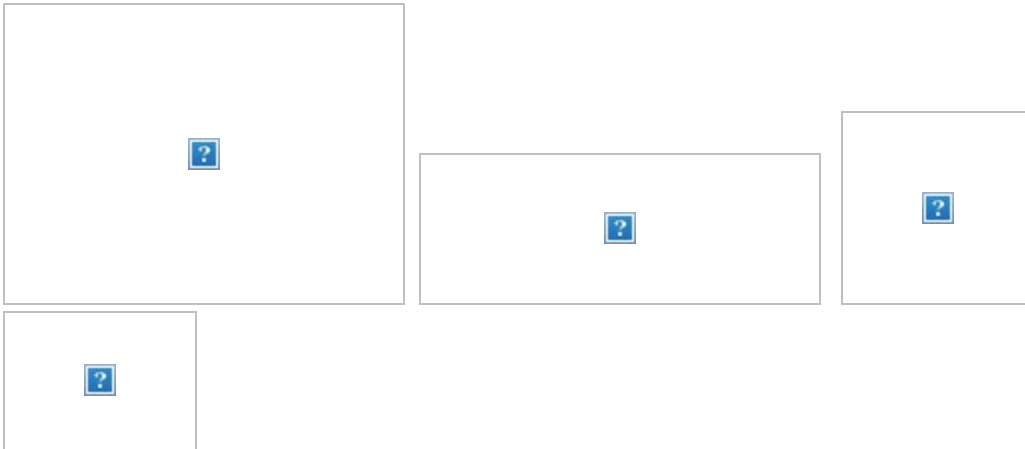
From: [Rick Boisvert](#)
To: [Amy Ruthig](#)
Cc: [Kelly VanMarter](#)
Subject: Plans
Date: Friday, November 3, 2023 4:48:03 PM
Attachments: [7075 McClements Rd. Fillmore Park Mountain Bike GT \(Site\) 11032023.pdf](#)
[1015 S. Latson Rd - Mister Car Wash GT \(Site\) 11032023.pdf](#)
[1111 S Latson Rd South Latson Commercial Development GT \(Site\) 11032023.pdf](#)
[3639 E Grand River Ave - Arby's \(Site\) \(GT\) 11032023.pdf](#)

Amy,
Attached are review letters for those who need them from us.

We have no new comments on the Chestnut Site Grading and No issues with the Woodland Village Parking plans. I don't see a need for a letter unless you would like one for these two.

Cordially,

Rick Boisvert, FM, CFPS
Fire Marshal
Brighton Area Fire Authority
615 W. Grand River
Brighton, MI 48116
O: (810)229-6640 D: (810)299-0033
F: (810)229-1619 C: (248)762-7929
rboisvert@brightonareafire.com





Monument Engineering Group Associates, Inc.

Developing Lifelong Relationships

monumentengineering.com

298 Veterans Drive, Fowlerville, MI 48836 (HQ)
(517) 223-3512



IMPACT ASSESSMENT

VACANT LAND GRAND RIVER AVE.
SECTION 6, GENOA TOWNSHIP

PREPARED BY:

Monument Engineering Group Associates, Inc.
298 Veterans Drive
Fowlerville, MI 48836

PREPARED FOR:

Chestnut Development
6253 Grand River Avenue
Suite 750
Brighton, MI 48114

March 2, 2023

Revised April 24, 2023

Updated September 20, 2023

- Fowlerville
- Northern Michigan
- Portage

IMPACT ASSESSMENT

Revised Plans:

Plans were revised on September 1, 2023, to show new trees (19) replacing trees originally identified to be saved that were inadvertently removed during grading operations. These revisions have no impact on the Impact Assessment previously submitted.

18.07.01 Preparer:

Prepared by: Monument Engineering Group Associates, Inc.

298 Veterans Drive, Michigan 48836

Allan W Pruss, PE, PS

Mr. Pruss has over 30 years of land development experience as an engineer and project manager.

Project Description:

This project entails filling the site in preparation for future development. Currently the site has approximately 20' of fall from the northwest corner to the southeast corner of the site. Some clearing of the site (tree removal) will take place as part of the earthmoving operations.

Landscape setbacks will be adhered to around the perimeter of the site so as to not affect the adjoining parcels.

18.07.02 Location:

The site is in Section 6 T02N, R05E on the north side of Grand River Avenue. Just west of Char Ann Drive and east of Tahoe Blvd. Parcel ID 4711-06-200-101. See location map.

The site is a 4.34 acres parcel of vacant land with some trees mainly on the north side of the property. There is approximately 20' of vertical relief from the northwest corner of the property to the southeast corner. There are no structures on the site.

The property to the north is a residential neighborhood with Turning Leaf Drive adjacent to the property. To the east is an office building with access off Char Ann Drive. To the south is Grand River Avenue with vacant land (wetlands) to the south of Grand River Ave. To the west is a single-family structure located +/-350' from Grand River Ave.

See Location Map and aerial photo for specific location and description of the property.

IMPACT ASSESSMENT



18.07.03 Impact on natural features:

The site is a 4.34 acres parcel of vacant land with some trees mainly on the north side of the property. There is approximately 20' of vertical relief from the northwest corner of the property to the southeast corner. There are no structures on the site. There are approximately 70 trees on site with a diameter breast height (DBH) of 8" or greater. Per the soil survey mapper, soil characteristics are mainly loam with some Carlisle muck. No soils investigation has been conducted as part of this project. There are no known wetlands (regulated or non-regulated) on the site. See site plan for existing conditions survey of the site.

18.07.04 Impact on stormwater management:

The site drains from northwest to southeast with approximately 20' of fall. The plan for this project is to prepare the site for future development by bringing fill to the site and creating a more level site. There will be no increase in impervious area. Soil erosion control measures will be implemented, and a soil erosion sediment control (SESC) permit will be applied for with the Livingston County Drain Commission (LCDC). There will be no impact on stormwater management nor the surrounding stormwater facilities.

18.07.05 Impact on surrounding land uses:

The proposed use will remain unchanged from current use (Vacant Land) as this is a site preparation project only. There will be no increase in noise, light or pollutants when this project is finished. Construction activities will take place during normal business hours, Monday through Saturday, 8 am until 6 pm. Dust control during construction will be handled by utilizing water buffalos during dry periods to keep moisture in the soils and minimize dust to adjoining parcels.

IMPACT ASSESSMENT

Included as part of the soil erosion permit will be a tracking mat designed to knock mud off equipment and vehicles leaving the site. Any mud tracked onto any adjoining roads will be cleaned up daily or as needed during the day.

18.07.06 Impact on public facilities and services:

The proposed use will remain unchanged from current use (Vacant Land) as this is a site preparation project only. There will be no increase in activity on this site after the project is completed. There will be no impact on public facilities or services after the project is completed.

18.07.07 Impact on public utilities:

The proposed use will remain unchanged from current use (Vacant Land) as this is a site preparation project only. Although all public and private utilities are available to service this site, no new utility connections are proposed, therefore there will be no impact on public utilities. There is an existing connection to the public storm sewer system connecting into the Grand River right of way (ROW). This connection will remain in place and the current drainage patterns on the site will be maintained.

A SESC permit will be applied for from LCDC which will have erosion control measures implemented on the site throughout construction. These measures require them to be inspected on a weekly basis, or within 24 hours of a rain event, to ensure their integrity and that they are working properly.

18.07.08 Storage and handling of any hazardous materials:

There will be no storage or handling of any hazardous materials on this site during or after construction.

18.07.09 Traffic Impact Study:

As the property will remain vacant after construction activities, there will be no increase in directional trips to or from the site. Therefore, no traffic impact study will be required.

18.07.10 Historic and Cultural Resources:

The site is currently vacant land with no structures.

18.07.11 Special Provisions:

No special provisions are being requested.

18.07.12 A list of all sources shall be provided:

No sources cited herein.

18.07.13 Any impact assessment previously submitted:

There are no previous impact assessments previously submitted that we are aware of.

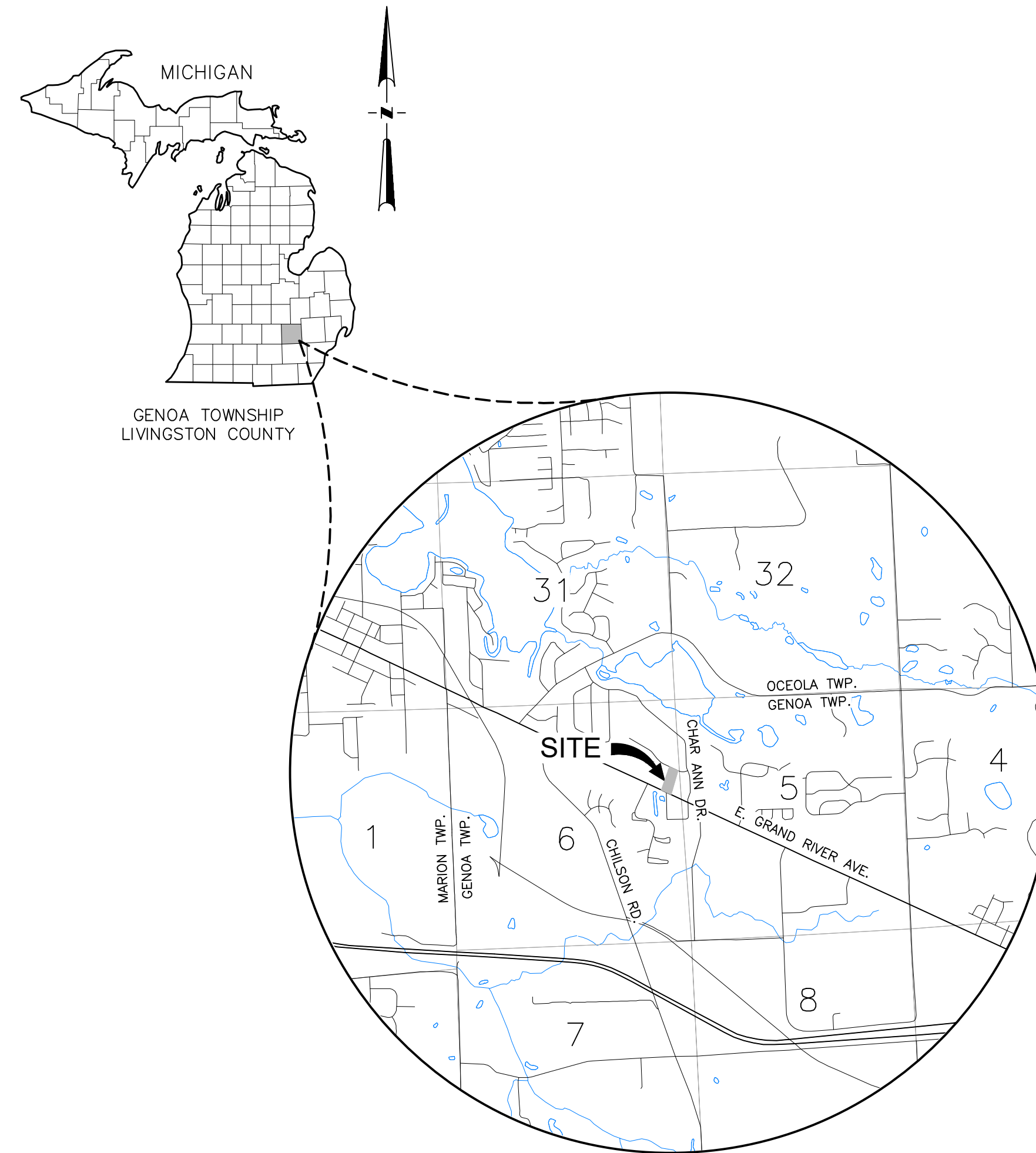
LEGAL DESCRIPTION (AS PROVIDED)

(PER TAX DESCRIPTION PROVIDED BY LIVINGSTON COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

TAX NUMBER: 4711-06-200-101

SEC 6 T2N 55E COMM E 1/4 COR SEC TH N01°17'20"E 674.10 FT TH N61°41'16"W 330 FT FOR POB TH CONT N61°40'16"W 398.16 FT TH N21°00'11"E 424.64 FT TH N62°52'38"W 100.58 FT TH N20°45'29"E 50.12 FT TH S62°41'43"E 483.35 FT TH S19°15'30"W 483.42 FT TO POB CORR LEGAL 10/01 CONT. 4.37 AC.

PRELIMINARY SITE PLAN DRAWING FOR
**CHESTNUT
E. GRAND AVE**

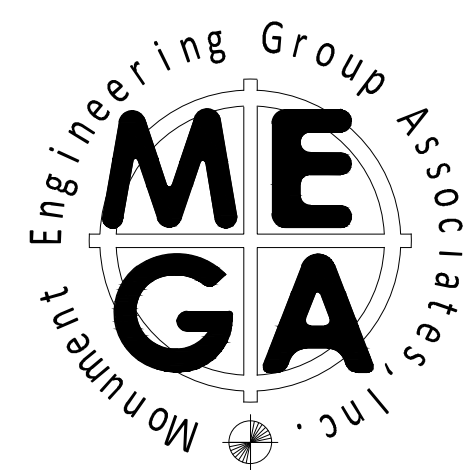


LOCATION MAP

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°35'46.85" N, LON: 83°53'42.74" W, ELEV: 800.00', SCALE FACTOR: 1.00003817).

DESIGN ENGINEER/SURVEYOR



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE,
FOWLERVILLE, MI 48836
ALLAN W PRUSS, PE, PS
PHONE: 517-223-3512

CLIENT

CHESTNUT DEVELOPMENT
6253 GRAND RIVER AVENUE
SUITE 750
BRIGHTON, MICHIGAN 48114
POC: STEVE GRONOW
PHONE: 517-552-2489

		PLAN SUBMITTALS									
		SESC SUBMITTAL	REVISED SESC SUBMITTAL	REVISED GRADING PLAN	REVISED TREE REMOVAL CALC	SITE PLAN SUBMITTAL	SITE PLAN REVIEW COMMENTS	REVISED MDOT SUBMITTAL	REVISED MDOT SUBMITTAL	REVISED SITE PLAN SUBMITTAL	REVISED SITE PLAN SUBMITTAL
		2/10/2023	2/13/2023	2/21/2023	2/22/2023	3/1/2023	4/24/2023	6/30/2023	7/7/2023	9/1/2023	10/17/2023
SHEET INDEX											
INCLUDED SHEETS											
GENERAL											
SHEET	G-1.0	COVER	●	●	●	●	●	●	●	●	●
SURVEY											
SHEET	V-1.0	TOPOGRAPHIC SURVEY & DEMO PLAN	●	●	●	●	●	●	●	●	●
SHEET	V-2.0	AERIAL VIEW									
GRADING AND SOIL EROSION & SEDIMENTATION CONTROL (SESC)											
SHEET	C-7.0	GRADING AND SESC PLAN	●	●	●	●	●	●	●	●	●
SHEET	C-7.1	LCDC SESC NOTES AND DETAILS	●	●	●	●	●	●	●	●	●
SHEET	C-7.2	LCDC SESC DETAILS	●	●	●	●	●	●	●	●	●
ROAD PLANS											
SHEET	C-10.0	MOT PLAN								●	●
SHEET	C-10.1	MOT PLAN - LANE CLOSURE FORM								●	●
DETAILS											
SHEET	C-11.0	DETAILS								●	●
SHEET	C-11.1	DETAILS								●	●
SHEET	C-11.2	DETAILS								●	●
SPECIFICATIONS											
SHEET	C-12.0	SPECIFICATIONS	●	●	●	●	●	●	●	●	●
GENOA TOWNSHIP, LIVINGSTON COUNTY STANDARD DETAILS											



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6253 GRAND RIVER AVE.
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COVER
PARCEL 4711-06-200-101
PART OF NE 1/4, SEC. 6, T2N-R5E,
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
REVISED GRADING PLAN	02/21/2023
REVISED TREE REMOVAL CALC	02/22/2023
SITE PLAN SUBMITTAL	03/01/2023
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REVISED SITE PLAN SUBMITTAL	09/01/2023
REVISED SITE PLAN SUBMITTAL	10/17/2023

CURRENT ISSUE DATE:
4/24/2023

PROJECT NO: 22-168

SCALE: N/A
0 1/2" 1"

FIELD: RZ
DRAWN BY: MV/MN
DESIGN BY: BS
CHECK BY: MAJAP

G-10

NOT FOR CONSTRUCTION

STRUCTURE SCHEDULE

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50412) CBB	953.05	24" NW IE= 943.90 24" SE IE= 944.03
(60196) CBS	961.31	UNABLE TO ACCESS
(60290) CBR	949.74	12" SE IE= 944.52
(60291) STMH	952.44	UNABLE TO ACCESS
(60295) CBB	951.48	24" NW IE= 944.03 24" SE IE= 945.23
(60342) CBS	952.91	12" N IE= 950.69
(60375) CBS	955.08	10" NE IE= 952.87

EXISTING PARKING

THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.

SOILS INFO

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE
(<https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>)

- Caraba: CARLISLE MUCK, 0-2% SLOPES
- MoA: WAWASEE LOAM, 0-2% SLOPES
- MoB: WAWASEE LOAM, 2-6% SLOPES
- MoD: MIAMI LOAM, 12-18% SLOPES

DEMOLITION LEGEND

- • • • • ABANDON IN PLACE
- /// ABANDON LINEAR FEATURE
- SAWCUT
- X X X X X X X X REMOVE LINEAR FEATURE
- LIMITS OF DISTURBANCE
- X REMOVE OBJECT
- REMOVE PAVEMENT

DEMOLITION NOTES

- UTILITY OBJECTS SUCH AS GAS METER, TRANSFORMER, TELEPHONE PEDESTAL, UTILITY POLE & WIRES ARE TO BE REMOVED BY OTHERS IF APPLICABLE.
- ANY TREES NOT MARKED PER PLAN ARE TO BE PROTECTED & PRESERVED DURING CONSTRUCTION.
- ALL EXISTING MDOOT SIGNS DAMAGED OR LOST BY THE CONTRACTOR MUST BE REPLACED IN KIND ON NEW SUPPORTS AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING PAVEMENT MARKINGS THAT ARE REMOVED FOR TRAFFIC CONTROL OR OBLITERATED DURING CONSTRUCTION OPERATIONS MUST BE REPLACED WITH WATERBORNE FOR THE LONGITUDINAL, LANE LINES.

TREE REMOVAL CALCS

74 TREES ON-SITE WITH A DIAMETER 8" OR LARGER
NUMBER OF TREES PROPOSED TO BE REMOVED: 42
42/74 x 100 = 57% OF TREES 8" OR LARGER BEING REMOVED

EXISTING LEGEND

DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
TREE LINE/ CANOPY
DITCH/ DRAINING COURSE
UG TELE, MH, TELE PED, CABLE PED
UG FIBER, PED, LINE MARKER, VAULT
UG ELEC, MH, TRANSFORMER, AC UNIT, METER, BOX
OH ELEC, UTIL POLE, GUY WIRE
GROUND LIGHT, POLE, POLE W/ ARM LT
LIGHT MH, LT CTRL BOX, PARK METER, CAR CHARGER
ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
UG GAS, MH, VALVE, LINE MARKER
GAS WELL, METER, VENT
WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
IRRIGATION CONTROL VALVE, SPRINKLER HEAD
STORM SEWER, MH, CB, INLET, YARD DRAIN, DOWN SPOUT
CULVERT/ END SECTION
SANITARY SEWER, MH, CLEAN OUT
COMBINED SEWER, MH
STEAM LINE, MH
MISC. MANHOLE, HAND HOLE, HAND BOX
PARKING BLOCK, SIGN, FLAG POLE, POST, ROCK, MAIL BOX
SECTION LINE, SECTION CORNER
FOUND IRON ROD (FIR), FD MON, FD PK
SET IRON ROD (SIR), SET PK, MAG NAIL
FINISH FLOOR ELEVATION, SPOT ELEVATION
CONTOUR
FENCE
GUARD RAIL
RAILROAD SIGNAL, SIGNAL BOX
SOIL BORING
EX. ASPHALT
EX. CONCRETE
EX. GRAVEL

WETLAND NOTE

ACCORDING TO THE NATIONAL WETLAND INVENTORY WEBSITE
([HTTP://WWW.FWS.GOV/WETLANDSDATAMAPPER.HTML](http://www.fws.gov/wetlands/datamapper.html)), THERE ARE NO NOTED WETLANDS ON THE SUBJECT PARCEL.
WETLAND FLAGGING WAS NOT OBSERVED DURING THE FIELD SURVEY. AN OFFICIAL STUDY FOR THE PRESENCE OF WETLANDS WAS NOT CONDUCTED BY MONUMENT ENGINEERING GROUP ASSOCIATES.

FLOOD ZONE

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.

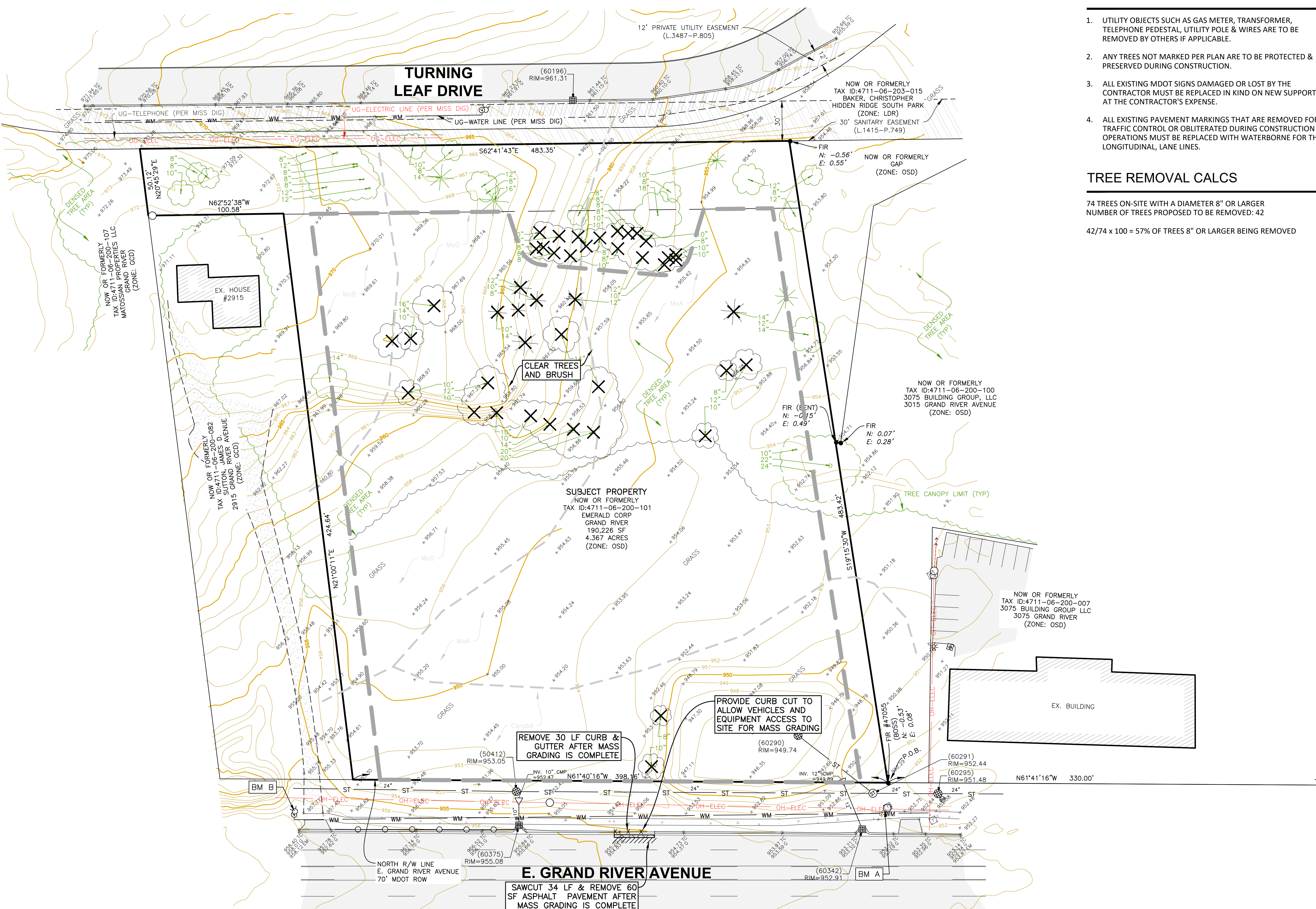
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF LIVINGSTON, COMMUNITY PANEL NO. (26093C0307D), EFFECTIVE DATE 9/17/2008.

UTILITY NOTES

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOWN ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
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BENCHMARKS

DATUM: NAVD88
BM A:
DESC. BENCH TIE ON SOUTH SIDE OF UTILITY POLE
ELEV = 952.871'
BM B:
DESC. TOP ARROW OF HYDRANT
ELEV = 960.727'



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
MONUMENT ENGINEERING GROUP ASSOCIATES, INC.

298 VERNON DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM
SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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TOPOGRAPHIC SURVEY & DEMO PLAN
PARCEL 4711-06-200-101
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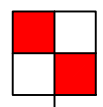
PROJECT NO: 22-168

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: RZ
DESIGN BY: MV/MN
CHECK BY: MAJAP

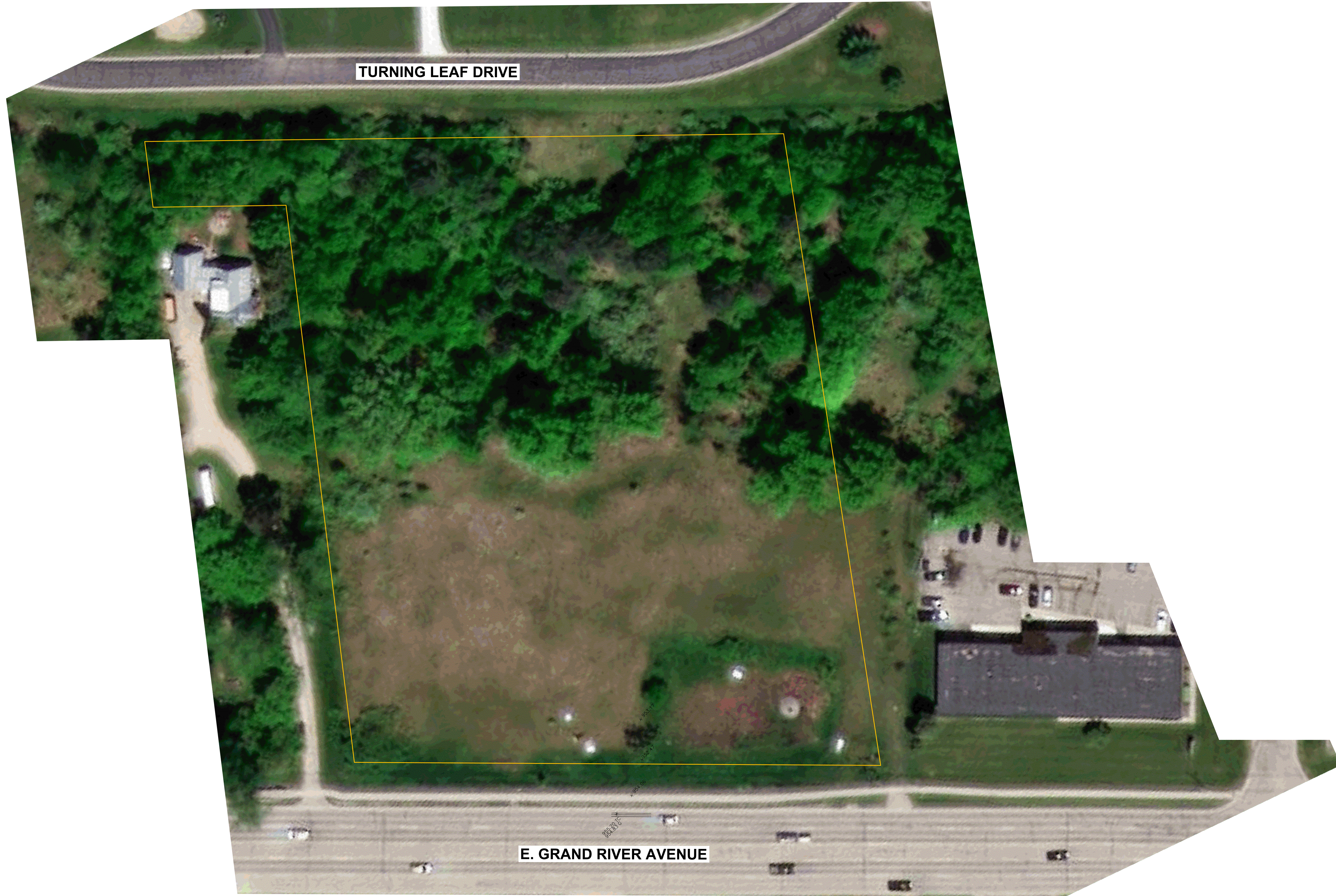
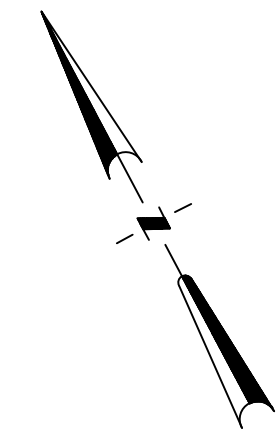
V-10

NOT FOR CONSTRUCTION



AERIAL SOURCE

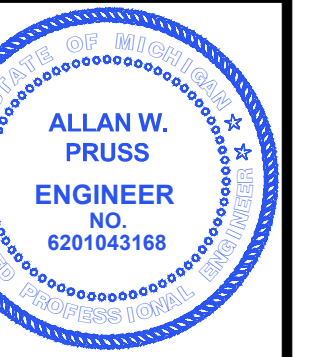
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DATE: UNKNOWN



TURNING LEAF DRIVE

E. GRAND RIVER AVENUE

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MONUMENT ENGINEERING GROUP ASSOCIATES
MEGA
INC.
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Allan W. Pruss

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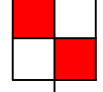
PROJECT NO: 22-168

SCALE: 1" = 40'
0 1/2" 1"

FIELD: RZ
DRAWN BY: MV,MN
DESIGN BY: BS
CHECK BY: MA,AP

V-2.0

NOT FOR CONSTRUCTION



BENCHMARKS

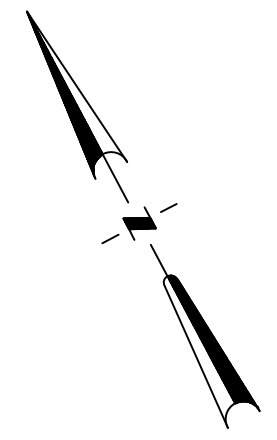
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 ELEV = 952.871'
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 - MoA: WAWASEE LOAM, 0-2% SLOPES
 - MoB: WAWASEE LOAM, 2-6% SLOPES
 - Mod: MIAMI LOAM, 12-18% SLOPES

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - BEGINNING		
	JUL	AUG	SEP
1 CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON APPROVED PLANS.			
3 REMOVE ALL TOPSOIL AND ORGANIC MATTER. TOPSOIL MAY BE STORED ON SITE IN DESIGNATED AREA TO BE USED FOR FUTURE PLANTING AND FILL AREAS. TRUCK REMAINING TOP SOIL OFFSITE AND PROPERLY DISPOSE.			
4 PLACE INLET FILTERS AT CATCH BASINS THROUGHOUT SITE.			
6 FINISH GRADE AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1:4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.			
7 REPAIR/CLEAN INLET FILTERS AS REQUIRED.			
10 REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDED VEGETATION HAS BEEN ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.			



SESC LEGEND

- SILT FENCE
- STABILIZED CONSTRUCTION ACCESS
- RIP RAP

EROSION CONTROL QUANTITIES

Disturbed Area: 3.29 Acres

QTY	UNIT	ITEM
1172	LF	SILT FENCE
4	EA	INLET PROTECTION
1	EA	STABILIZED CONSTRUCTION ACCESS

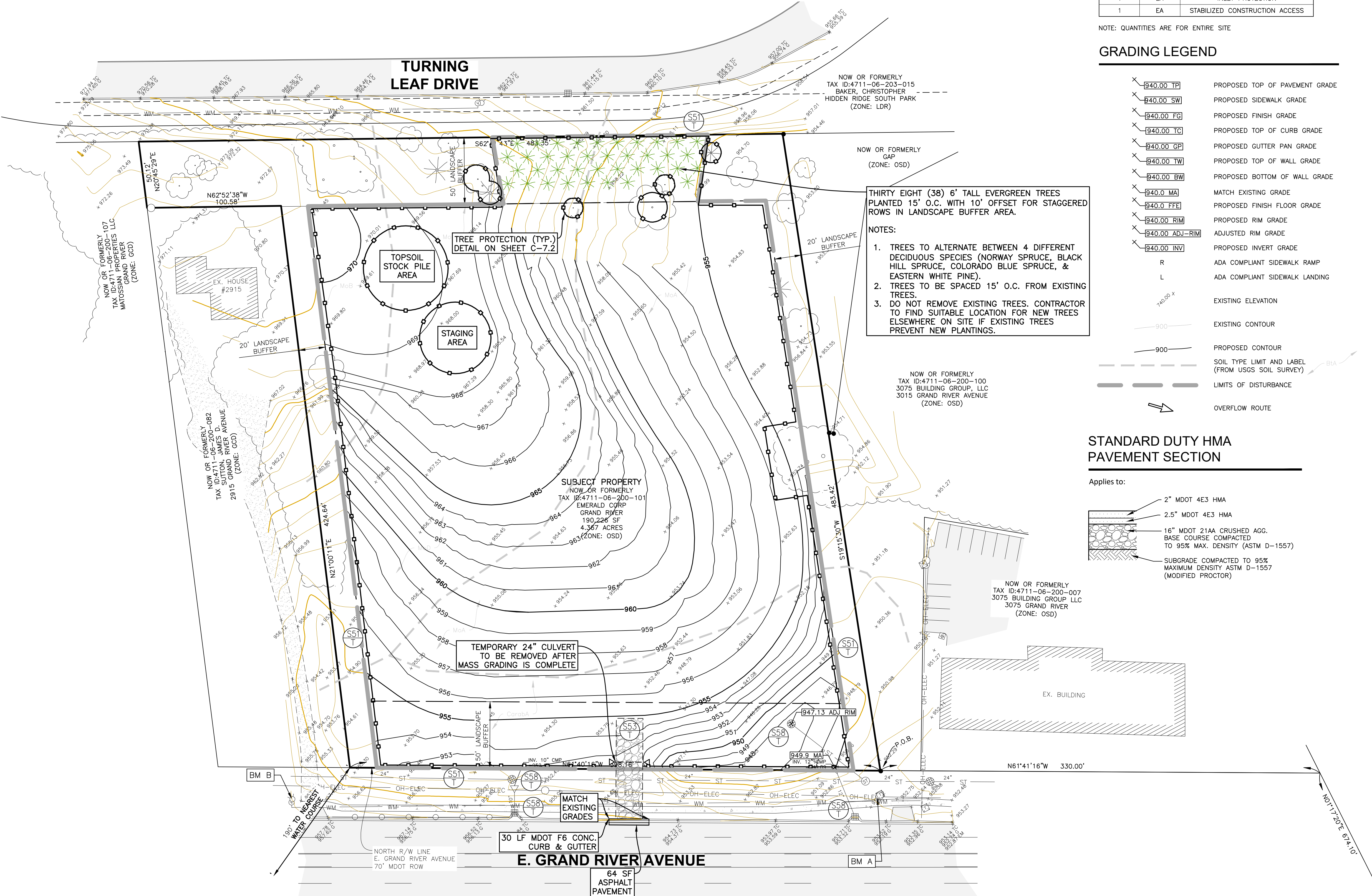
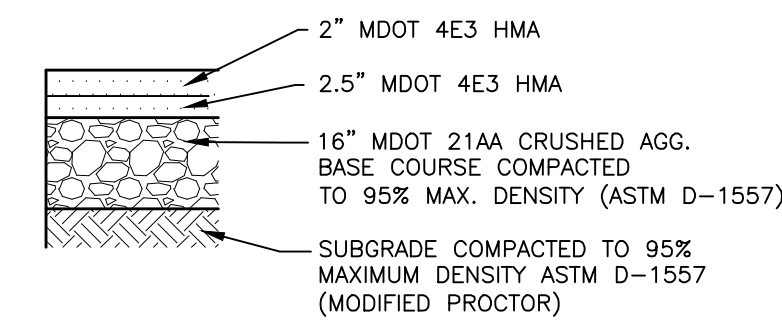
NOTE: QUANTITIES ARE FOR ENTIRE SITE

GRADING LEGEND

- PROPOSED TOP OF PAVEMENT GRADE
- PROPOSED SIDEWALK GRADE
- PROPOSED FINISH GRADE
- PROPOSED TOP OF CURB GRADE
- PROPOSED GUTTER PAN GRADE
- PROPOSED TOP OF WALL GRADE
- PROPOSED BOTTOM OF WALL GRADE
- MATCH EXISTING GRADE
- PROPOSED FINISH FLOOR GRADE
- PROPOSED RIM GRADE
- ADJUSTED RIM GRADE
- PROPOSED INVERT GRADE
- ADA COMPLIANT SIDEWALK RAMP
- ADA COMPLIANT SIDEWALK LANDING
- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SOIL TYPE LIMIT AND LABEL (FROM USGS SOIL SURVEY)
- LIMITS OF DISTURBANCE
- OVERFLOW ROUTE

STANDARD DUTY HMA PAVEMENT SECTION

Applies to:



THIRTY EIGHT (38) 6' TALL EVERGREEN TREES PLANTED 15' O.C. WITH 10' OFFSET FOR STAGGERED ROWS IN LANDSCAPE BUFFER AREA.

NOTES:

- TREES TO ALTERNATE BETWEEN 4 DIFFERENT DECIDUOUS SPECIES (NORWAY SPRUCE, BLACK HILL SPRUCE, COLORADO BLUE SPRUCE, & EASTERN WHITE PINE).
- TREES TO BE SPACED 15' O.C. FROM EXISTING TREES.
- DO NOT REMOVE EXISTING TREES. CONTRACTOR TO FIND SUITABLE LOCATION FOR NEW TREES ELSEWHERE ON SITE IF EXISTING TREES PREVENT NEW PLANTINGS.

DTMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB)

EROSION CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E6	MULCH		FOR USE IN AREAS SUBJECT TO ERODING SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).

SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ACCESS		USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S55	SEDIMENT BASIN		AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

EROSION & SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES31	CHECK DAM		USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONSTRUCTED AND EXISTING FLOW CORRIDORS.

EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
- DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
- STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE MDEQ NOTICE OF COVERAGE FOR NPDES AS REQUIRED.
- ALL DISTURBED AREAS ARE TO BE TOP SOILED AND SEEDED WITH THE FOLLOWING MIN RATIO: TOP-SOIL 3" IN DEPTH, GRASS SEED 218 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.
- HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%. ON SLOPES OVER 1%, STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER, OR STRAW BLANKETS PEGGED IN PLACE.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

- CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE PRIOR TO COMMENCING WORK.
- EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
- ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
- PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
- ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
- INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
- IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE, THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.

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GRADING AND SESC PLAN

PARCEL 4711-06-200-101
 PART OF NE 1/4, SEC. 6, T2N-R5E,
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 LIVINGSTON COUNTY, MICHIGAN

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CURRENT ISSUE DATE:
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 DRAWN BY: MV/MN
 DESIGN BY: BS
 CHECK BY: MA/JP

C-7.0

NOT FOR CONSTRUCTION

LCDC NOTES

Top Soil & Soil Storage Areas:

- Top soil or soil storage areas shall be seeded and mulched, or matted with straw, immediately after the stripping process is completed, to prevent wind and water erosion.

Slopes and Ditches:

- On-site ditches shall be of the flat bottom type, minimum width of 2' with a minimum of 3' horizontal to 1' vertical side slopes, 3:1.
- Side slopes in excess of 3' horizontal to 1' vertical shall not be used except with a mechanical device such as a retaining wall, or terracing.
- Ditches with steep grades will need "stone flow checks" to prevent scouring of the ditch bottoms. They may be used as a temporary measure and removed once sufficient stabilization has been established. These shall be depicted on plans by the engineer. Indicate flow checks on all slopes 3.00% and greater.

Detention/Retention, Sedimentation Ponds:

- New land developments within Livingston County shall be equipped with detention/retention facilities for storm water in accordance with the Drainage Policies of the Livingston County Drain Commissioner.
- Inlets into detention ponds must not discharge at the same location as the outlet structure.
- Detention Pond Stand Pipe Outlet Detail must be the Livingston County Drain Commissioner's standard Detention Pond outlet, e.g. orifice outlets without sedimentation control devices are prohibited.
- Stand pipe structure must have a 2 ft. sump.
- Detention Pond stand pipe structure shall show staggering of outlet holes at different elevations. This will minimize plugging and provide for more effective filtering.
- The stone around the stand pipe structure shall be refreshed with clean stone prior to completion of the project.
- Detention/Retention, Sedimentation Ponds shall be excavated, top soiled, seeded, mulched and tacked prior to the start of massive earth disruption.
- Inlets into Detention/Retention Ponds must be located within two feet of the bottom floor of the pond.

Detention Pond Spillway:

- Rip-rap proposed in the construction of the emergency spillway must be placed over keyed-in geo-fabric blanket.

Silt Fence:

- All commercial projects constructed in Livingston County shall install 36" high silt fence.

Inlet Protection:

- Sedimentation protection for catch-basin inlets. Silt sacks are the preferred choice in the winter months, because they are less likely to be disturbed by the process of snow plowing.
- Open-Pipe, inlet protection must be provided with straw bales, stone or geo-fabric.

Outlet Protection:

- All storm drains 15" in diameter or larger shall have animal guards installed to prevent entrance to the system.
- All rip-rap must be placed over keyed in geo-fabric.
- Storm drain outlets that do not empty into the retention/detention pond shall have a temporary 5'x10'x3' sump installed at the termination of the storm sewer. Upon completion of the stabilization work the sump area shall be filled and rip-rapped with cobble stone over keyed in filter fabric. Silt traps shall be inspected after each storm.
- Splash blocks may be required depending on the outley flow rate or velocity.

Tracking onto public roadway:

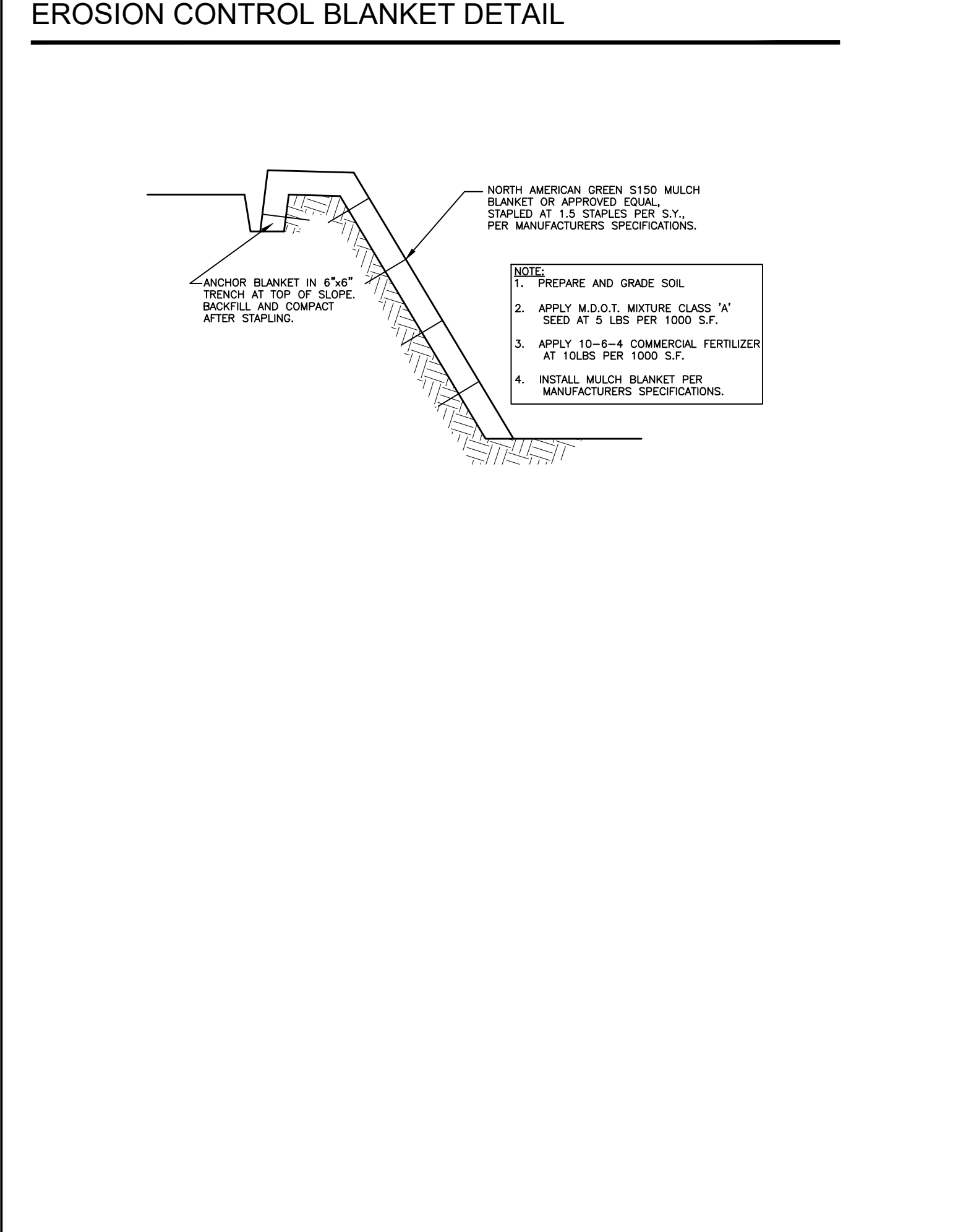
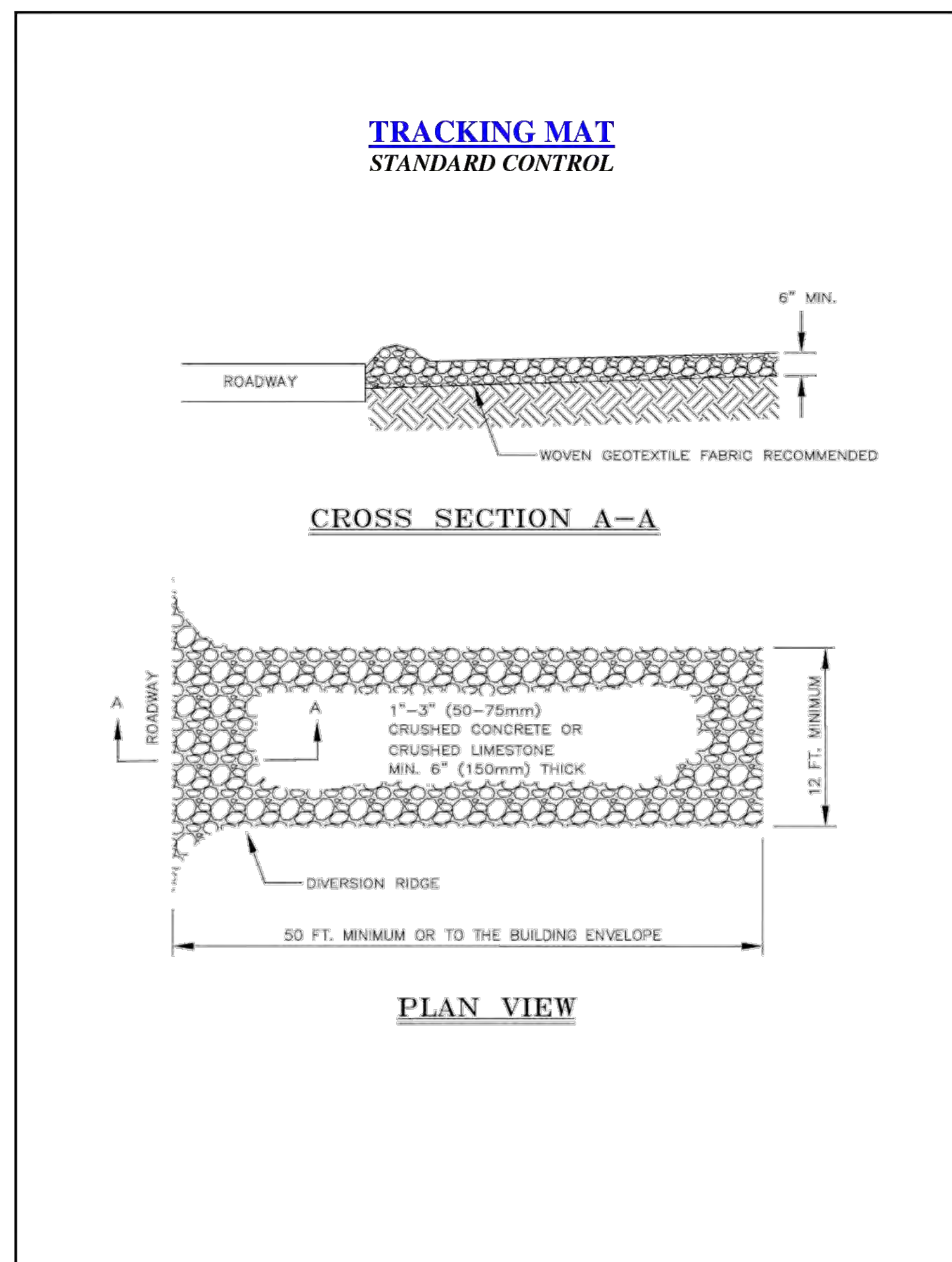
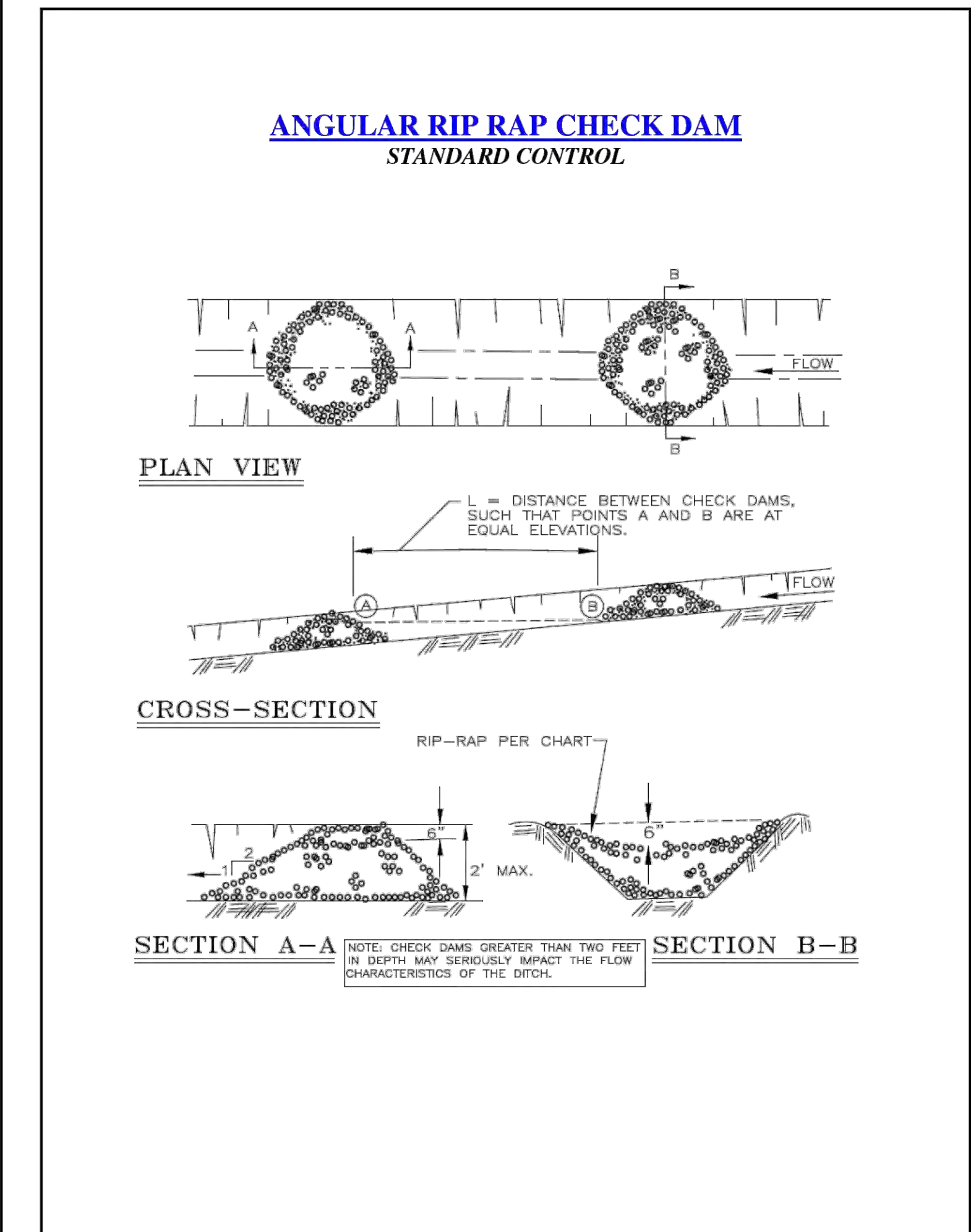
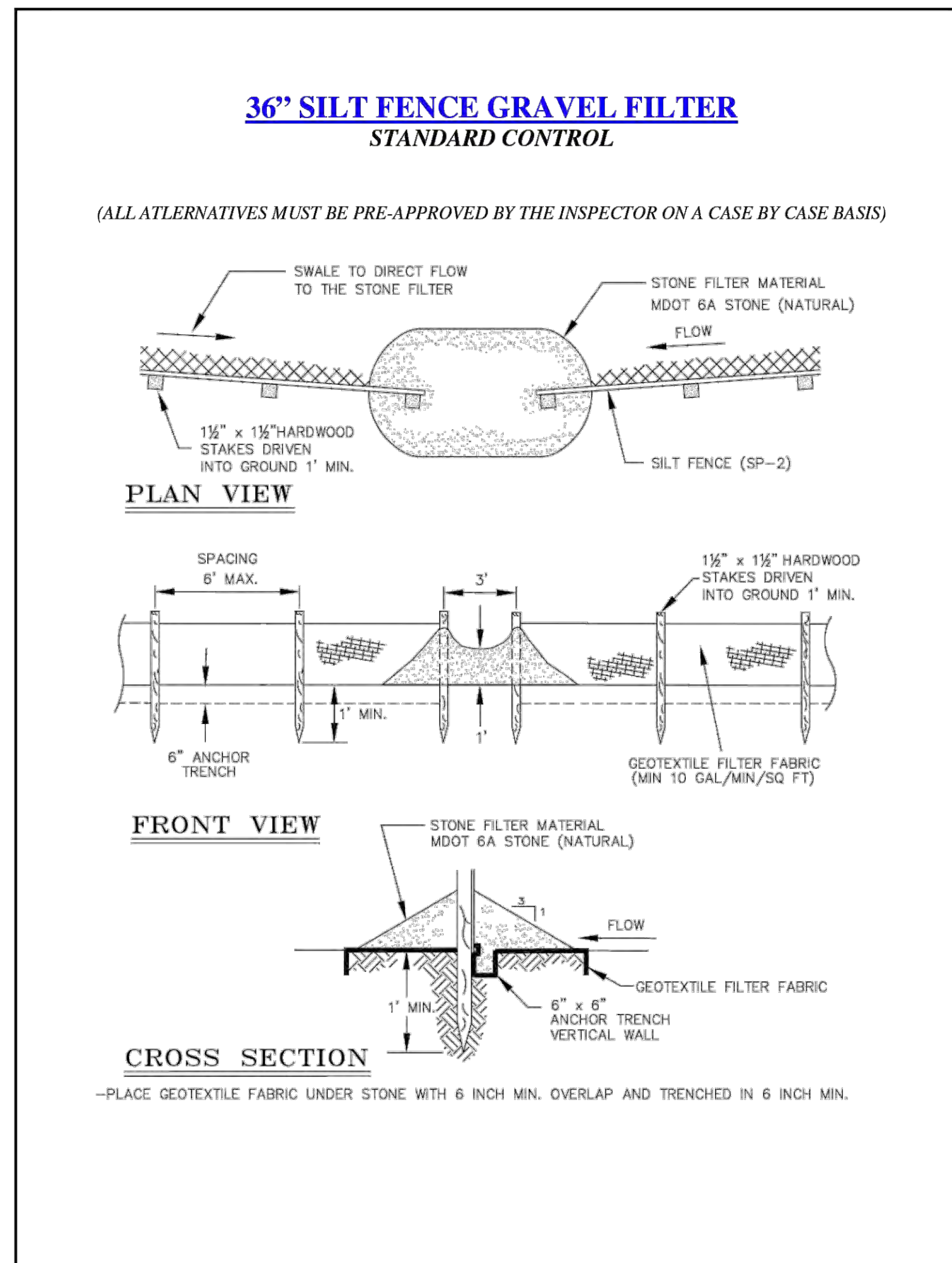
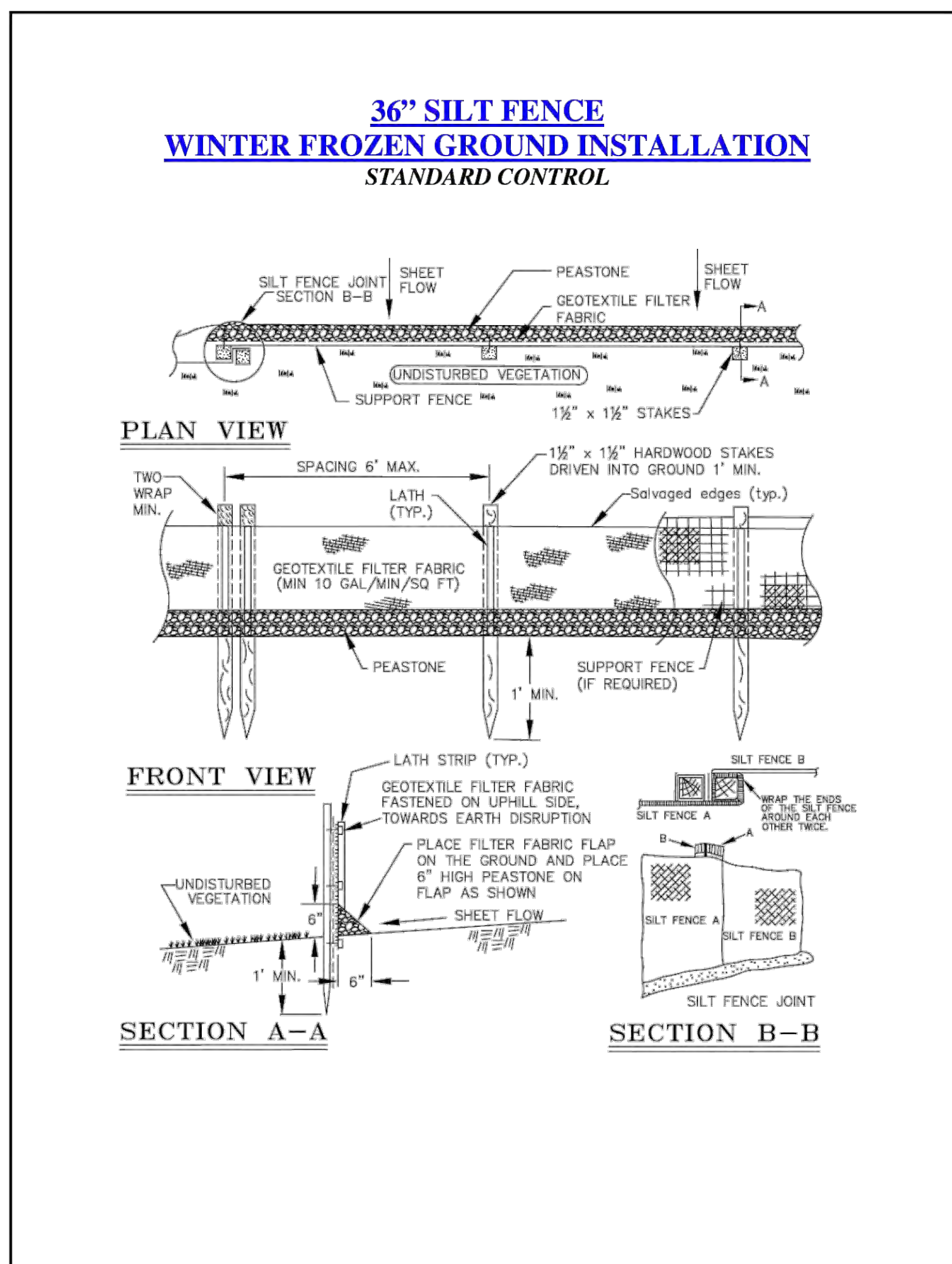
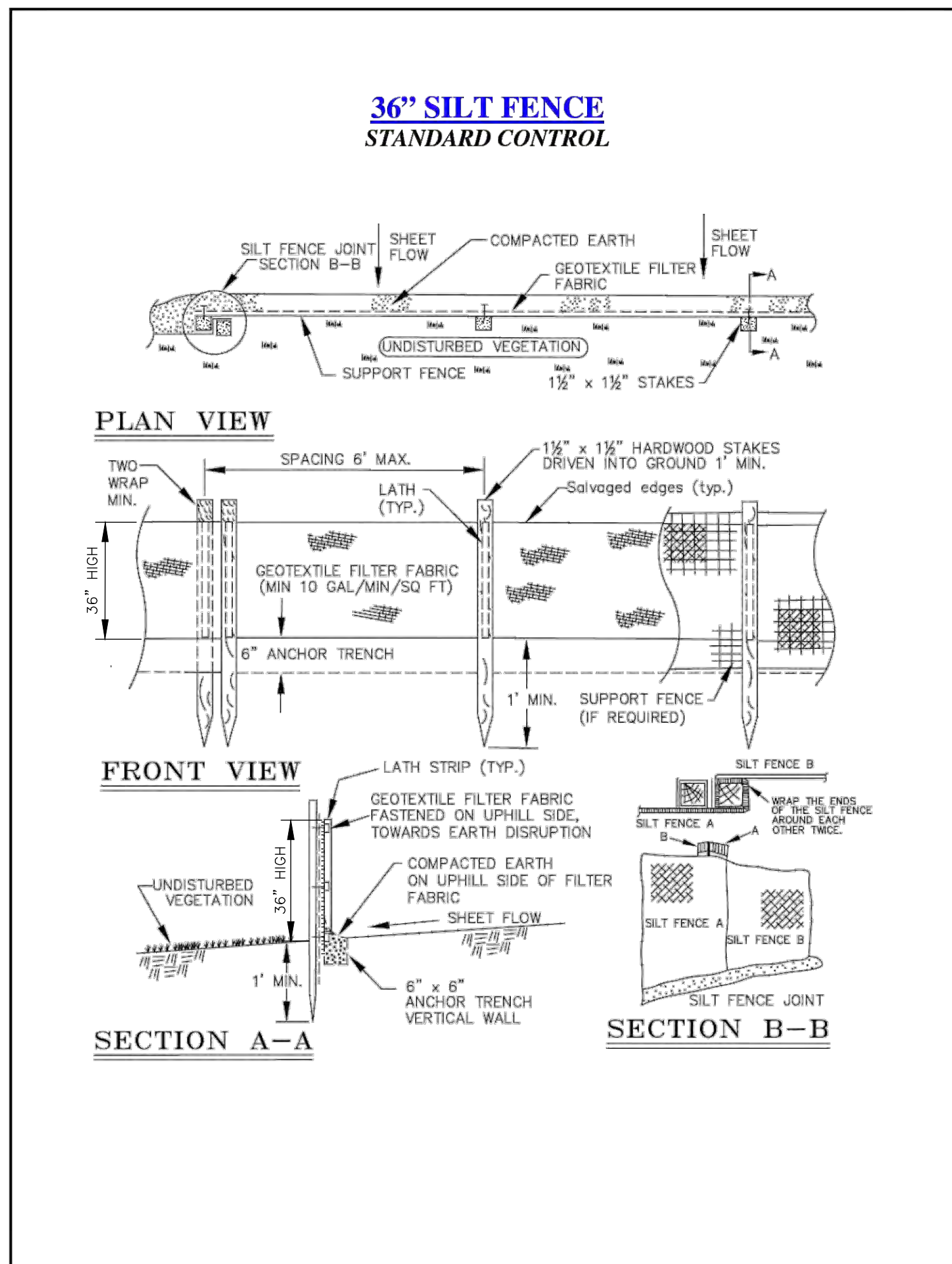
- It is required that each development have an ingress/egress of crushed stone to restrict tracking of material onto the Public Roadway. All commercial construction sites require a minimum 75-foot tracking mat shown at ingress/egress.

Stabilization Standards:

- For subdivision and site condominium developments: As of May 01, 2000, it is required that temporary stabilization of the entire site be completed and approval from the Livingston County Drain Commissioner's Office obtained prior to the issuance of single family dwelling permits.
- For commercial or industrial sites, common areas shall be called out on plans, in accordance with Part 17, prescribed by R 323.1709 and R 323.1710, pursuant to PART 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act (Previously known as P.A. 347 of 1972) of Act 347, Public Acts OF 1972, as amended) indicating areas to be stabilized after 15 days of grade work. Areas to be outlined are as follows: detention/retention, drainage easements, utility easements, boulevards, etc.

Seeding, Fertilizer and Mulch Bare Ground Ratio:

- This information shall be detailed on the construction plans.
- Top Soil 3" in depth
- Grass Seed 217.84 lbs per acre
- Fertilizer 150 lbs per acre
- Straw Mulch 3" in depth (All mulching must have a tie down)
- Hydroseeding is not acceptable for slopes exceeding 1%, in such cases stabilization shall be done with seed and straw mulch with a tackifier.



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CHESTNUT DEVELOPMENT

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POC: STEVE GRONOW
517-552-2489

LCDC SECC NOTES AND DETAILS

PARCEL 4711-06-200-101
PART OF NE 1/4, SEC. 6, T2N-R5E,
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
02/21/2023	REVISED GRADING PLAN
02/22/2023	REVISED TREE REMOVAL CALC
03/01/2023	SITE PLAN SUBMITTAL
04/25/2023	PLAN REVIEW COMMENTS
06/30/2023	REVISED MDOT SUBMITTAL
07/07/2023	REVISED MDOT SUBMITTAL
09/01/2023	REVISED SITE PLAN SUBMITTAL
10/17/2023	REVISED SITE PLAN SUBMITTAL

CURRENT ISSUE DATE: 4/24/2023

PROJECT NO: 22-168

SCALE: N/A

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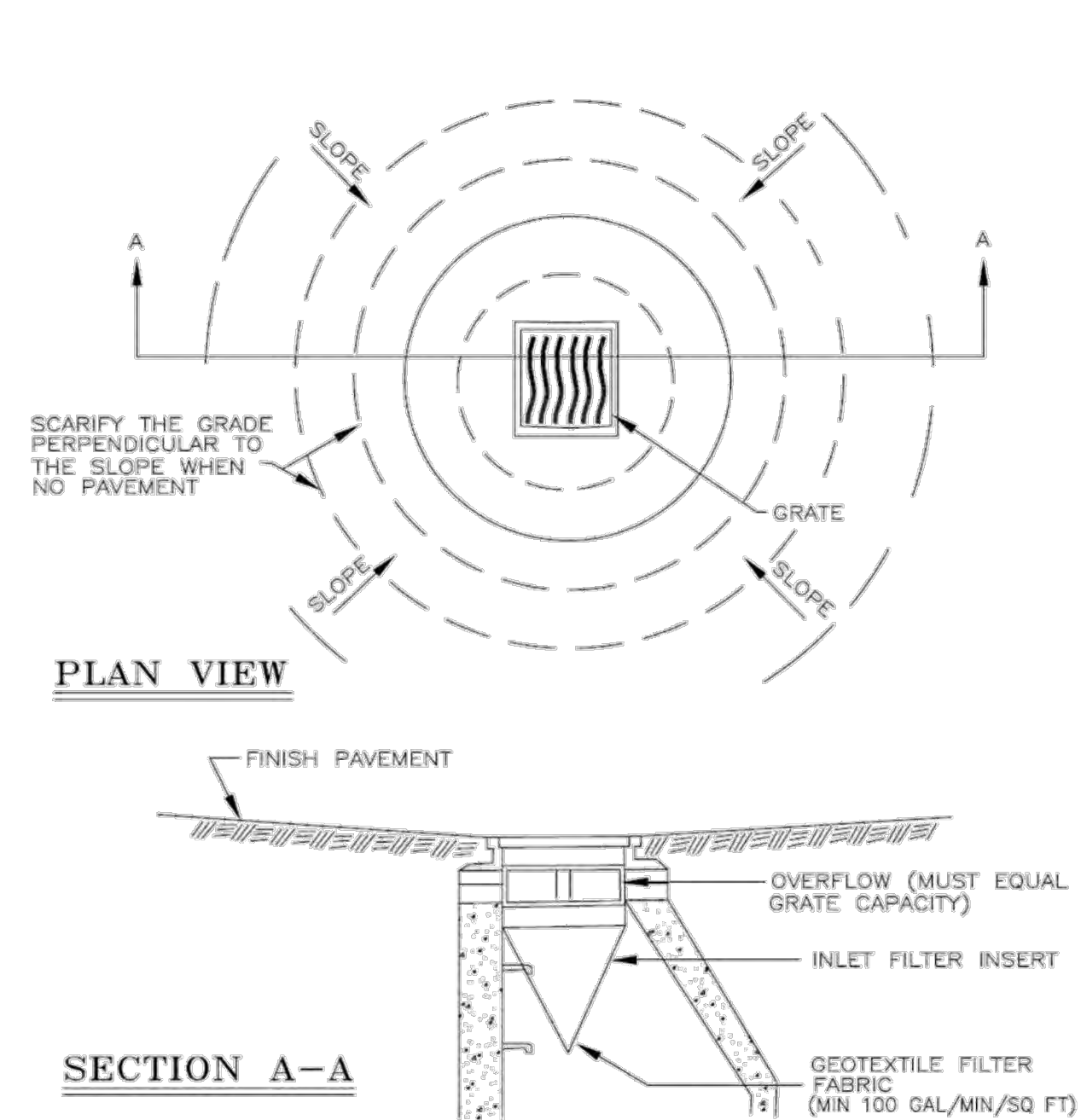
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DRAWN BY: MV/MN
DESIGN BY: BS
CHECK BY: MA/JP

C-7.1

NOT FOR CONSTRUCTION

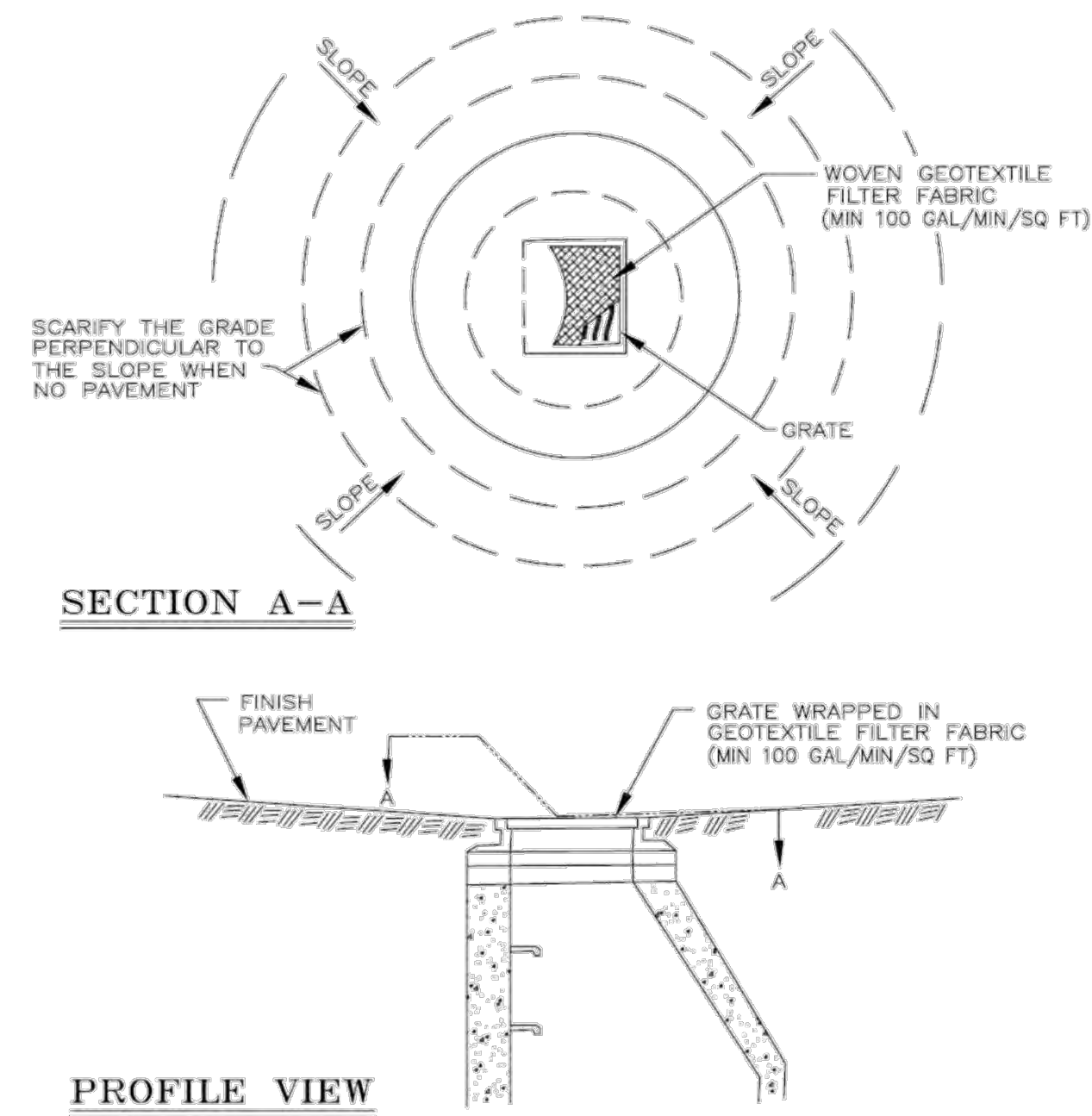
SILT SACK OR APPROVED EQUAL LOW POINT/YARD INLET FILTER
STANDARD CONTROL YEAR ROUND OR WINTER USE

APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



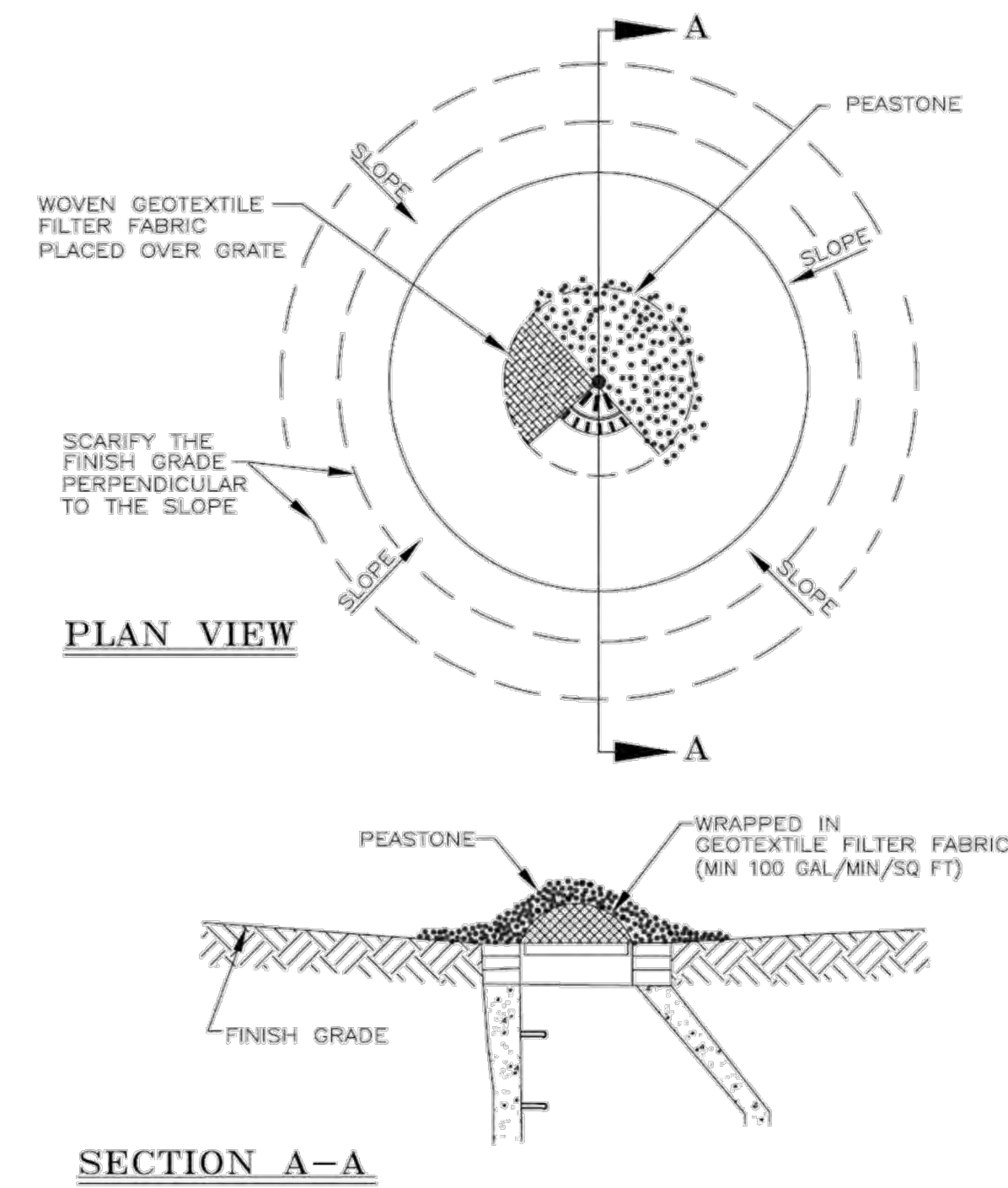
GEOTEXTILE FABRIC LOW POINT/YARD INLET FILTER
STANDARD CONTROL NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



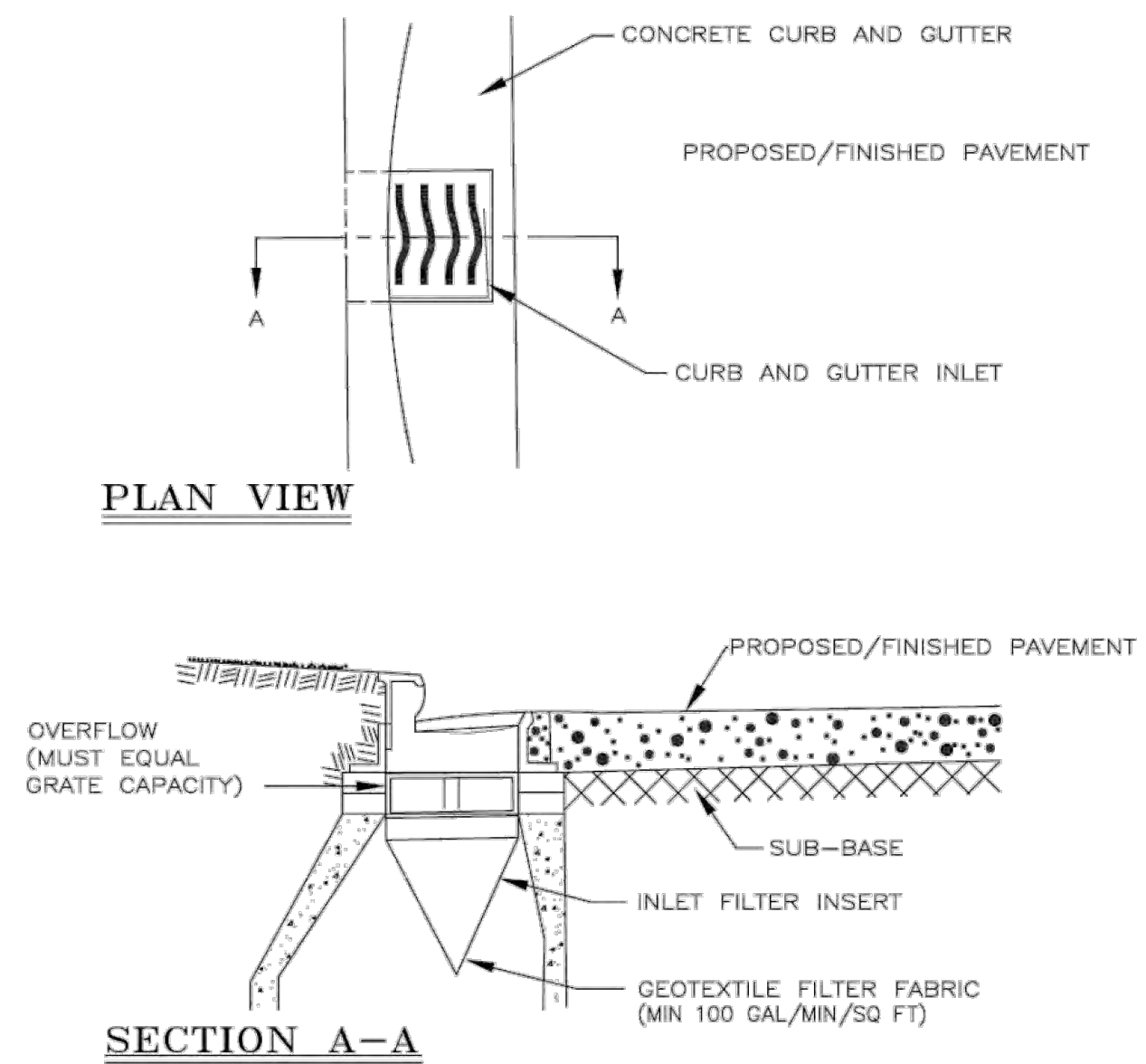
GEOTEXTILE & PEASTONE LOW POINT/YARD INLET FILTER
STANDARD CONTROL NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



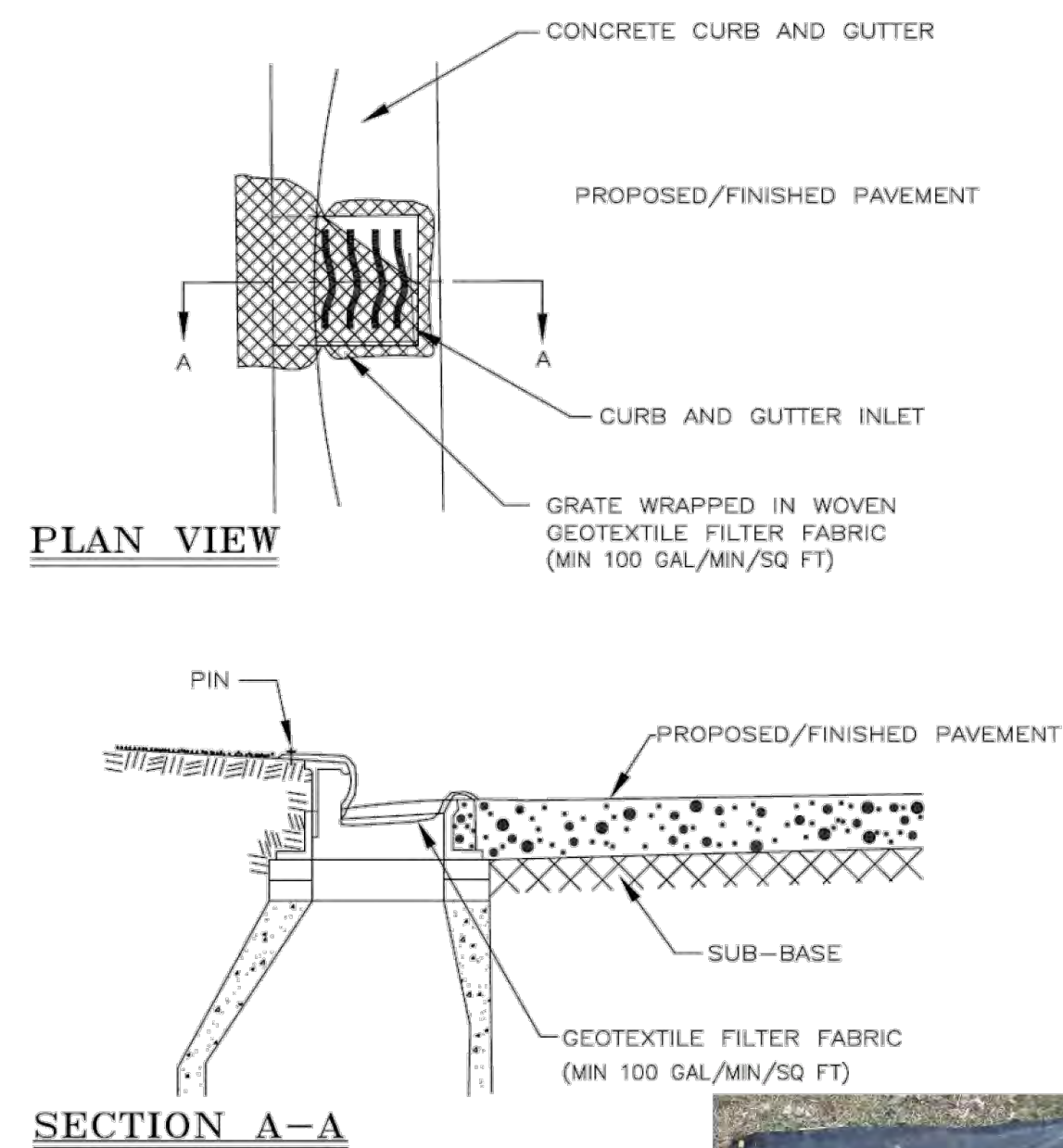
SILT SACK OR APPROVED EQUAL CURB AND GUTTER INLET FILTER
STANDARD CONTROL YEAR ROUND OR WINTER USE

APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING

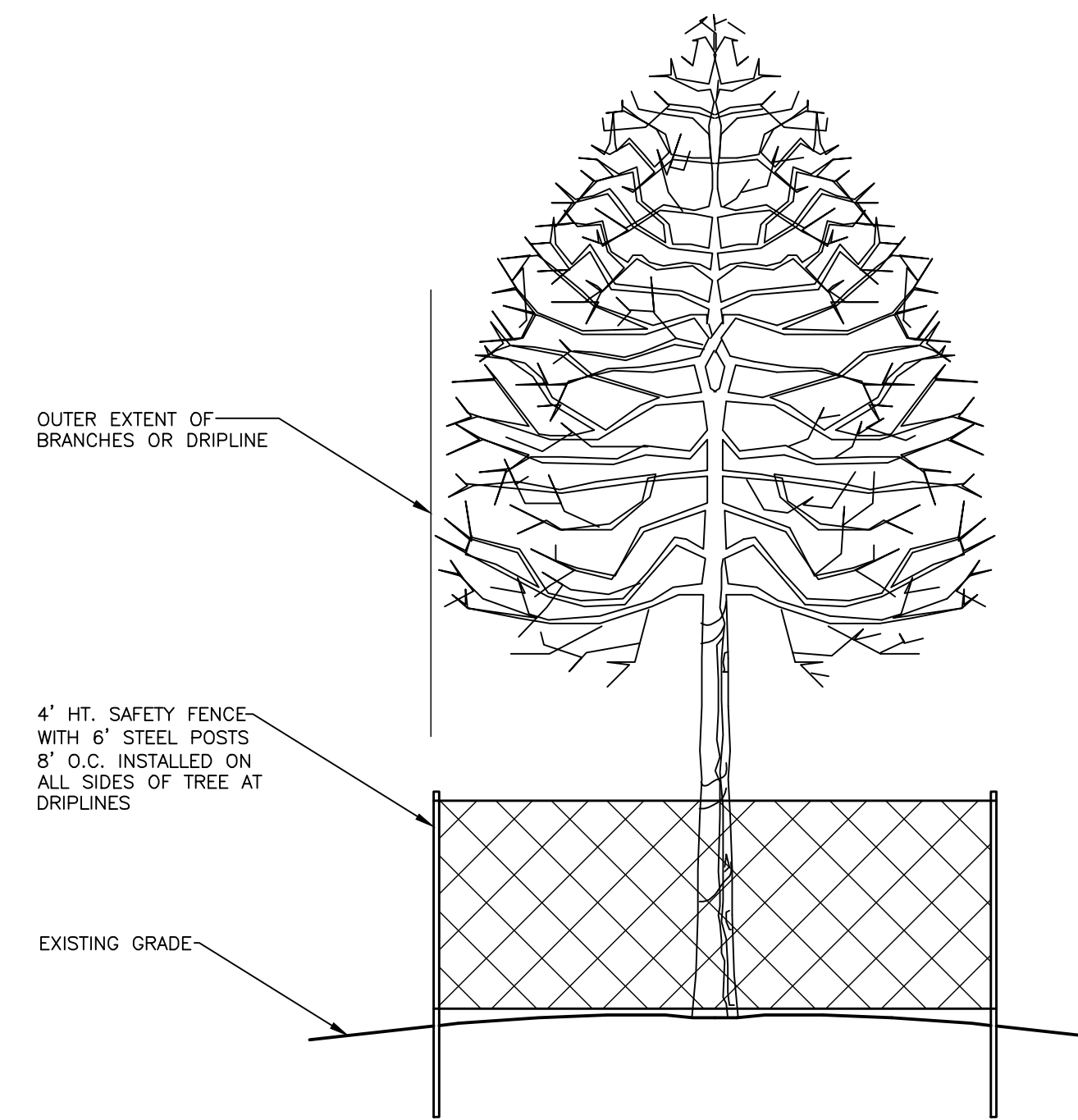


GEOTEXTILE FABRIC CURB AND GUTTER INLET FILTER
STANDARD NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



FENCE DETAIL - TREE PROTECTION



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CLIENT :

CHESTNUT DEVELOPMENT
6253 GRAND RIVER AVE.
SUITE 750
BRIGHTON, MI 48114
POC: STEVE GRONOW
517-552-2489

LCDC SESC DETAILS

PARCEL 4711-06-200-101
PART OF NE 1/4, SEC. 6, T2N-R5E,
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
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10/17/2023	REVISED SITE PLAN SUBMITTAL

CURRENT ISSUE DATE: 4/24/2023

PROJECT NO: 22-168

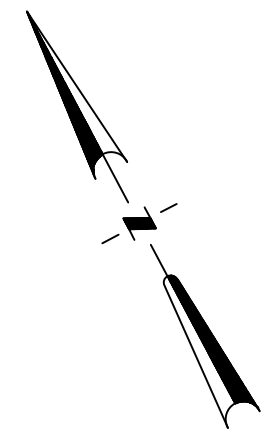
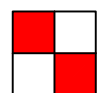
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0 1/2" 1"

FIELD: RZ
DRAWN BY: MV/MN
DESIGN BY: BS
CHECK BY: MAJAP

C-7.2

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LEGEND

- CHANNELIZING DEVICES
- TYPE III LIGHTED BARRICADE
- ⬇ SIGN, TYPE (A OR B), TEMPORARY
- ⬆ LIGHTED ARROW, TYPE C
- ➡ TRAFFIC FLOW
- ▨ WORK AREA
- ▩ BUFFER ZONE

NOTES

- ALL SIGN MATERIALS AND SUPPORTS MUST MEET NCHRP-350 CRASH WORTHY OR MASH REQUIREMENTS
- TEMPORARY WARNING, REGULATORY, AND GUIDE SIGNS NOT REQUIRED FOR A PARTICULAR LANE OR SHOULDER CLOSURE MUST BE REMOVED, COVERED OR LAID DOWN WITH THE LEGS REMOVED
- ANY MDOT SIGNS IMPACTED DURING CONSTRUCTION MUST BE REPLACED IN KIND ON NEW SUPPORTS PER MDOT STANDARDS.
- DURING THE LANE CLOSURES ACCESS FOR EMERGENCY VEHICLES (FIRE, AMBULANCE, POLICE) MUST BE MAINTAINED TO ADJACENT HOMES, BUSINESSES AND SUBDIVISIONS AT ALL TIMES.
- ANY LANE CLOSURES ON GRAND RIVER AVE. WILL ONLY BE ALLOWED WHEN THERE IS ACTIVE WORK. PRIOR TO APPROVAL AS STATED BELOW, A LANE CLOSURE REQUEST FORM NEEDS TO BE SUBMITTED FOR REVIEW AND APPROVAL.
- NO LANE CLOSURES OR WORK DURING ANY DESIGNATED STATE HOLIDAY OR SPECIAL EVENT AS DEFINED BY THE ENGINEER. LANE CLOSURES ON GRAND RIVER AVE. WILL ONLY BE PERMITTED FROM 9:00 AM TO 3:00 PM, WEEKDAY OR 7:00 AM TO 7:00 PM ON SATURDAY AND SUNDAY UNLESS DETOURED AND OTHERWISE APPROVED BY THE ENGINEER. NEED TO SUBMIT A LANE CLOSURE REQUEST FORM A MINIMUM OF 5 BUSINESS DAYS IN ADVANCE OF THE PROPOSED CLOSURE TO THE MDOT BRIGHTON TSC OPERATIONS/TRAFFIC AND SAFETY UNIT BY E-MAIL FOR REVIEW AND APPROVAL. SUBMIT TO GEORGE SEIF AT SEIFG@MICHIGAN.GOV. SEE ATTACHED FORM ON SHEET C-10.1
- ALL EXISTING PAVEMENT MARKINGS THAT ARE REMOVED FOR TRAFFIC CONTROL OR OBLITERATED DURING CONSTRUCTION OPERATIONS MUST BE REPLACED WITH WATERBORNE FOR THE LONGITUDINAL, LANE LINES.
- ALL EXISTING PERMANENT MDOT SIGNS DAMAGED OR LOST BY THE CONTRACTOR MUST BE REPLACED IN KIND ON NEW SUPPORTS AT THE CONTRACTOR'S EXPENSE.

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CLIENT :

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MOT PLAN

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CURRENT ISSUE DATE:
4/24/2023

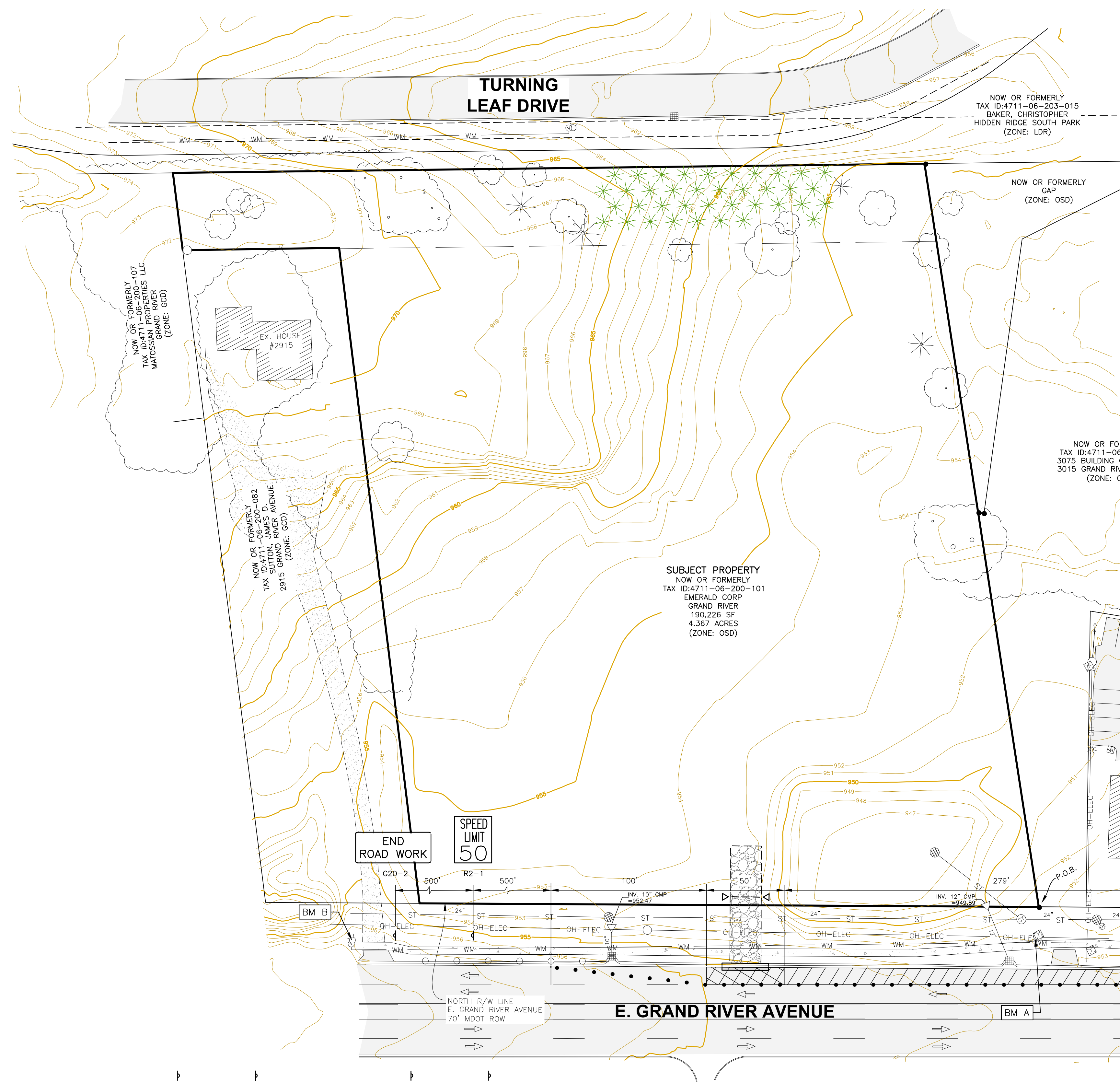
PROJECT NO: 22-168

SCALE: 1" = 40'
0 1/2" 1"

FIELD: RZ
DRAWN BY: MY/MN
DESIGN BY: BS
CHECK BY: MAJAP

C-10.0

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TYPICAL NUMBER KEY

CODES

AB = ARROW BOARD	LD = LANE OPEN
AW = ADVANCE WARNING	O = OUTSIDE (LANE CLOSURE)
C = CLOSURE	OUT = OUTSIDE OF SHOULDER
CLT = CENTER LEFT TURN LANE	MID = MIDDLE OF INTERSECTION OR ROAD
CROSS = CROSSOVER	NFW = NON-FREEWAY
CrushSho = CRUSH AND SHAPE	PARK = PARKING LANE
EM = EARLY MERGE	PCMS = PORTABLE CHANGEABLE MESSAGE SIGN
ENR = ENTRANCE RAMP	(R) = RIGHT
EXR = EXIT RAMP	ROLL = ROLLING ROADBLOCK
FW = FREEWAY	RUM = RUMBLE STRIP
GEN = GENERAL INFORMATION	SD = SHORT DURATION
GORE = FREEWAY GORE AREA	SHL = SHOULDER CLOSURE
IN = INSIDE	SIGN = SIGN
INT = INTERSECTION	SPEED = SPEED
L = LANE	STA = STOPPED TRAFFIC ADVISORY
(L) = LEFT	TR = TRAFFIC REGULATOR
LC = LANE CLOSURE	TS = TEMPORARY SIGNAL
LD = LONG DURATION	ZIP = ZIPPER MERGE

EXAMPLE TYPICAL

CODE: 152-CTL(7)-3(1R)+2(L)C-2(L)SHIFT

152 - TYPICAL NUMBER
 CTL(7) = CENTER LEFT TURN LANE, 7 LANES TOTAL
 3(1R)+2(L)C = 3 LANES CLOSED, 1 RIGHT LANE AND 2 LEFT LANES,
 2(L)SHIFT = 2 LANES SHIFTED TO THE LEFT.

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 100-GEN-KEY	TYPICAL NUMBERING KEY	SHEET: 1 OF 1	

FILE: 100-GEN-KEY.dgn

THE FOLLOWING NOTES APPLY IF CALLED FOR ON THE TRAFFIC TYPICAL

GENERAL NOTES

G1: SEE GEN-SPACING-CHARTS FOR COMMON VALUES INCLUDING: DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
 L = MINIMUM LENGTH OF LANE
 L = LENGTH OF LONGITUDINAL BUFFER ROLL AHEAD DISTANCE

G2: DISTANCE BETWEEN SIGNS: "D" VALUES FOR WHICH ARE SHOWN IN TYPICAL CHARTS ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.

G3: ALL TEMPORARY SIGNS, TYPE III BARRICADES, THEIR SUPPORT SYSTEMS AND LIGHTING MUST MEET NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM REPORT 350 (NCHRP 350) TEST LEVEL 3, OR MANUAL FOR ASSESSING SAFETY AND PERFORMANCE OF TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY DESIGNS AND MATERIALS APPROVED BY MUTCD WILL BE ALLOWED.

G4: DO NOT STORE EQUIPMENT, MATERIALS OR PERFORM WORK IN ESTABLISHED BUFFER AREAS.

G5: ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH EITHER PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERN. EXCEPTION WILL BE MADE FOR TRAFFIC PATTERNS FOR WORK LESS THAN THREE DAYS THAT ARE ADEQUATELY DELINEATED BY OTHER TRAFFIC CONTROL DEVICES.

SIGN NOTES

S1: ALL NON-APPLICABLE SIGNING WITHIN THE CIA MUST BE MODIFIED TO FIT CONDITIONS, COVERED, OR REMOVED. FOR GUIDANCE SEE THE WORK ZONE SAFETY AND MOBILITY MANUAL, SECTIONS 6.01.09 AND 6.01.10.

S2: R5-10 SIGNS ARE ONLY REQUIRED ON FREEWAY PROJECTS WITH A DURATION OF 15 DAYS OR LONGER OR NON-FREEWAY PROJECTS WITH A DURATION OF 30 DAYS OR LONGER. TO APPLY THIS TYPICAL WITHOUT R5-10 SIGNS, REMOVE THE SIGNS AND CONSOLIDATE THE MESSAGE AS APPROPRIATE.

S3: R5-10 IS ONLY REQUIRED IN THE INITIAL SIGNING SEQUENCE IN THE WORK ZONE. OMIT THIS SIGN IN SUBSEQUENT SEQUENCES IN THE SAME WORK ZONE.

S4: ADDITIONAL SIGNING AND/OR ELONGATED SIGNING SEQUENCES SHOULD BE USED WHEN TRAFFIC VOLUMES ARE SIGNIFICANT ENOUGH TO CREATE BACKUPS BEHIND THE W0-S SIGNS.

S5: PLACE ADDITIONAL SPEED LIMIT SIGNS REFLECTING THE WORK ZONE SPEED AFTER EACH MAJOR CROSSROAD THAT INTERSECTS THE WORK ZONE, OR AFTER EACH ENTRANCE RAMP THAT COMES ON TO THE FREEWAY WHERE THE REDUCED SPEED IS IN EFFECT. PLACE ADDITIONAL SPEED LIMIT SIGNS AT INTERVALS ALONG THE ROADWAY SUCH THAT NO SPEED LIMIT SIGNS ARE MORE THAN 2 MILES APART. WHEN REDUCED SPEED LIMIT SIGNS ARE UTILIZED IN THE WORK AREA, PLACE ADDITIONAL SPEED LIMIT SIGNS RETURNING TRAFFIC TO ITS NORMAL SPEED BEYOND THE LIMITS OF THE WORK AREA AS INDICATED. IF PERMANENT SIGNS DISPLAYING THE CORRECT SPEED LIMIT ARE POSTED, OMIT ALL W0-50 AND R2-1 SIGNS AND REDUCE SPACING ACCORDINGLY.

S6: FABRICATE SPECIAL SIGNS IN ACCORDANCE WITH CURRENT SIGNING DESIGN STANDARDS.

S7: PLACE ADDITIONAL R8-3 SIGNS AT A MAXIMUM 500' SPACING THROUGHOUT THE WORK ZONE.

S8: WHEN SPEED LIMIT SIGNS CANNOT BE PLACED SIDE BY SIDE AS SHOWN, PLACE THEM "D" DISTANCE APART.

S9: STOP SIGNS NOT REQUIRED IF SIGNALS ARE ON 4-WAY FLASHING RED. STOP AHEAD SIGNS ARE NOT REQUIRED IF THERE IS ADEQUATE VISIBILITY OF THE STOP SIGN OR IF SIGNALS ARE BEING USED TO CONTROL TRAFFIC.

S10: PLACE REDUCED SPEED ZONE AHEAD SIGN (W3-50) HERE WHEN USING A SPEED REDUCTION IN THIS DIRECTION.

S11: THE NUMBER OF W1-4 SHIFT SIGNS TO PLACE FOR A SHIFT IS AS FOLLOWS: SHIFTS UP OR LEFT, PLACE ONE (W1-60R/L) SHIFTS MORE THAN LEFT, PLACE THREE OR MORE (W1-60R/L) SHIFTS DEPENDING UPON LENGTH OF SHIFT AND AS PER THE ENGINEER.

S12: PLACE R2-1 SIGNS AS DETAILED IN NOTE S5 WHEN THERE IS A SPEED REDUCTION IN THIS DIRECTION.

TRAFFIC REGULATOR NOTES

TR1: TRAFFIC REGULATORS MUST FOLLOW ALL THE REQUIREMENTS IN THE STANDARD SPECIFICATIONS, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS IS DETERMINED BY THE ROADWAY AGENCY, GROWTH TECH, AND AS DIRECTED BY THE ENGINEER.

TR2: PROVIDE APPROPRIATE BALLOON LIGHTING TO SUFFICIENTLY ILLUMINATE TRAFFIC REGULATORS STATIONS WHEN TRAFFIC REGULATING IS ALLOWED DURING THE HOURS OF DARKNESS.

TEMPORARY TRAFFIC CONTROL DEVICE NOTES

TC01: THE MAXIMUM DISTANCE IN FEET BETWEEN CHANNELIZING DEVICES IN A TAPER SHOULD NOT EXCEED 1.0 TIMES THE WORK ZONE SPEED LIMIT IN MPH FOR ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT LESS THAN 45 MPH AND SHOULD NOT EXCEED 50 FEET ON ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT OF 45 MPH OR GREATER. THE SPACING FOR 42 INCH CHANNELIZING DEVICE TAPERS ARE NOT TO EXCEED 25 FEET AT NIGHT.

TC02: THE MAXIMUM DISTANCE IN FEET BETWEEN CHANNELIZING DEVICES IN A TANGENT SHOULD NOT EXCEED TWICE THE WORK ZONE SPEED LIMIT IN MPH FOR ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT LESS THAN 45 MPH AND SHOULD NOT EXCEED 100 FEET ON ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT OF 45 MPH OR GREATER. THE SPACING FOR 42 INCH CHANNELIZING DEVICE TANGENTS ARE NOT TO EXCEED 50 FEET AT NIGHT.

TC03: TYPE III BARRICADES MUST BE LIGHTED FOR OVERNIGHT CLOSURES.

TC04: WHEN THE HAUL ROAD IS NOT IN USE, PLACE LIGHTED TYPE III BARRICADES WITH "ROAD CLOSED" EXTENDING COMPLETELY ACROSS THE HAUL ROAD.

TC05: USE VERTICAL PANELS IN LIEU OF THE TYPE B HIGH INTENSITY LIGHT SHOWN IN THE STANDARD PLAN FOR TEMPORARY CONCRETE BARRIER (R-3), AND (R-2) WHEN USED WITH A TEMPORARY SIGNAL SYSTEM.

TC06: PLACE LIGHTED ARROW PANELS AS CLOSE TO THE BEGINNING OF TAPERS AS PRACTICAL, BUT NOT IN A MANNER THAT WILL OBSCURE OR CONFUSE APPROACHING MOTORISTS WHEN PHYSICAL LIMITATIONS RESTRICT PLACEMENT. IN CURVED SECTIONS, IF ARROW BOARD CANNOT BE PLACED BEHIND CURB, PLACE ARROW BOARD IN THE CLOSED LANE AS CLOSE TO THE BEGINNING OF TAPER AS POSSIBLE.

TC07: ADDITIONAL TYPE III BARRICADES MAY BE REQUIRED TO COMPLETELY CLOSE OFF ROAD FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT.

TC08: WHERE THE SHIFTED SECTION IS SHORTER THAN 600 FEET, A DOUBLE REVERSE CURVE SIGN (W4-1) CAN BE USED INSTEAD OF THE FIRST REVERSE CURVE SIGN, AND THE SECOND REVERSE CURVE SIGN CAN BE OMITTED.

TC09: RUMBLE STRIPS ARE TO BE PLACED AS SPECIFIED IN THE CONTRACT. IF NOT SPECIFIED IN THE CONTRACT, PLACE RUMBLE STRIPS AS SHOWN IN ACCORDANCE WITH THE RUMBLE STRIP MANUFACTURER'S RECOMMENDATIONS. AN ARRAY OF RUMBLE STRIPS CONTAINS THREE RUMBLE STRIPS. PLACE THE RUMBLE STRIPS IN THE ARRAY AT A CONSISTENT DISTANCE, BETWEEN 10 AND 20' APART.

TC10: SEE THE WORK ZONE SAFETY AND MOBILITY MANUAL, PORTABLE CHANGEABLE MESSAGE SIGN GUIDELINES FOR RECOMMENDED AND CORRECT PGM MESSAGING. STAGGER PGMs THAT ARE ON OPPOSING SIDES OF THE ROAD SHOULD BE PLACED AS PER THE ENGINEER.

RAMP NOTES

RMP1: WHEN CONDITIONS ALLOW, R5-1 SIGNS MUST BE REMOVED OR COVERED AND CHANNELIZING DEVICES MUST BE REPOSITIONED TO ENABLE RAMP TRAFFIC TO DIVERGE IN A FREE MANNER.

RMP2: STOP AND YIELD CONDITIONS SHOULD BE AVOIDED WHENEVER PRACTICAL. WHEN CONDITIONS WARRANT, R5-1 SIGNS MAY BE USED IN PLACE OF R5-2 SIGNS. WHEN R5-1 SIGNS ARE USED, R5-1 SIGNS MUST BE USED IN PLACE OF R5-2 SIGNS. CONSTRUCTION SHOULD BE OPEN TO CLOSING THE RAMP TO COMPLETE WORK TO ALLOW AN ADEQUATE MERGE DISTANCE. WORK SHOULD BE EXPEDITED TO AVOID THE STOP AND/OR YIELD CONDITIONS.

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 102-GEN-NOTES	TRAFFIC TYPICALS NOTE SHEET	SHEET: 1 OF 2	

FILE: 102-GEN-NOTES.dgn

THE FOLLOWING NOTES APPLY IF CALLED FOR ON THE TRAFFIC TYPICAL

SIGNAL NOTES

SIG1: EXISTING SIGNAL MUST BE EITHER 4-WAY FLASHING RED, BAGGED, OR TURNED OFF.

SIG2: SIGNAL IS IN OPERATION.

SIG3: DELINEATE THE WORK ZONE AREA WITH 36 INCH CONES FOR DAYTIME WORK, OR 42 INCH CHANNELIZING DEVICES FOR NIGHTTIME WORK.

SIG4: THE CONTRACTOR MUST HAVE A DESIGNATED SPOTTER IF THE AERIAL BUCKET TRUCK IS LOCATED OVER ACTIVE TRAVEL LANES.

SIG5: THE LOWEST POINT OF THE BUCKET MAY NOT TRAVEL BELOW 14 FOOT VERTICAL CLEARANCE. THE CONTRACTOR MUST UTILIZE AN ALTERNATE SET UP OR PLACE THE INTERSECTION IN A 4-WAY STOP IF THE 14 FOOT VERTICAL CLEARANCE IS COMPROMISED. USE TRAFFIC REGULATORS TO CONTROL TRAFFIC THROUGH THE INTERSECTION WHEN TRAFFIC IS PLACED IN A 4-WAY STOP.

SIG6: DELINEATE THE TRUCK WITH CHANNELIZING DEVICES. THE POSITION OF THE TRUCK MAY BE ADJUSTED TO FACILITATE WORK.

MAINTENANCE AND SURVEYING NOTES

MS1: WHENEVER STOPPING SIGHT DISTANCE EXISTS TO THE REAR, THE SHADOW VEHICLES SHOULD MAINTAIN THE RECOMMENDED DISTANCE FROM THE WORK AREA AND PROCEED AT THE SAME SPEED. THE SHADOW VEHICLE SHOULD SLOW DOWN AND TRAVEL AT A FARTHER DISTANCE TO PROVIDE ADEQUATE SIGHT DISTANCE IN ADVANCE OF VERTICAL OR HORIZONTAL CURVES.

MS2: WORKERS OUTSIDE OF VEHICLES SHOULD WORK WITHIN 150' OF WORK VEHICLES WITH AN ACTIVATED BEACON, BETWEEN THE "BEGIN WORK CONVOY" SIGN AND THE "END WORK CONVOY" SIGN, OR BETWEEN THE "WORK ZONE BEGINS" AND "END ROAD WORK" SIGN.

MS3: WORK ON SHADOW VEHICLES WITH OR WITHOUT A YAO MAY BE USED TO SEPARATE THE WORK SPACE FROM TRAFFIC. IF USED, THE VEHICLES SHOULD BE PARKED ACCORDING TO THE ROLL AHEAD DISTANCE TABLES.

MS4: WORK AND SHADOW VEHICLES SHALL BE APPROPRIATELY EQUIPPED WITH AN ACTIVATED AMBER BEACON.

MS5: WHEN WORKERS ARE OUTSIDE THEIR VEHICLES IN AN EXISTING LANE WHILE A MOBILE OPERATION IS OCCURRING DURING THE NIGHTTIME HOURS, CHANNELIZING DEVICES TO DELINEATE OPEN OR CLOSED LANES AT 50 FT SPACING MUST BE USED. AN EXAMPLE OF AN OPERATION (BUT NOT LIMITED TO) IS THE LAYOUT OF CONCRETE PATCHES.

MS6: W3-6 AND W0-1 SIGNS MAY BE SUBSTITUTED AS DETERMINED BY THE TYPE OF WORK TAKING PLACE AS PER THE ENGINEER.

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 102-GEN-NOTES	TRAFFIC TYPICALS NOTE SHEET	SHEET: 2 OF 2	

FILE: 102-GEN-NOTES.dgn

DISTANCE BETWEEN TRAFFIC SIGNS, "D"

"D" DISTANCES	25	30	35	40	45	50	55	60	65	70	75
D (FEET)	250	300	350	400	450	500	550	600	650	700	750

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE, "B"

"B" LENGTHS	SPEED, MPH (PRIOR TO WORK AREA)											
B (FEET)	20	25	30	35	40	45	50	55	60	65	70	75
	33	50	83	132	181	230	279	329	411	476	542	625

* POSTED SPEED, OFF-PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED.

MINIMUM MERGING TAPER LENGTH, "L" (FEET)

OFFSET (FEET)	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)											
	25	30	35	40	45	50	55	60	65	70	75	
1	11	15	21	27	45	50	55	60	65	70	75	
2	21	30	41	54	90	100	110	120	130	140	150	
3	32	45	62	80	135	150	165	180	195	210	225	
4	42	60	82	107	180	200	220	240	260	280	300	
5	53	75	103	134	225	250	275	300	325	350	375	
6	63	90	123	160	270	300	330	360	390	420	450	
7	73	105	143	187	315	350	385	420	455	490	525	
8	84	120	164	214	360	400	440	480	520	560	600	
9	94	135	184	240	405	450	495	540	585	630	675	
10	105	150	205	267	450	500	550	600	650	700	750	
11	115	165	225	294	495	550	605	660	715	770	825	
12	125	180	245	320	540	600	660	720	780	840	900	
13	136	195	266	347	585	650	715	780	845	910	975	
14	146	210	286	374	630	700	770	840	910	980	1050	
15	157	225	307	400	675	750	825	900	975	1050	1125	

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 101-GEN-SPACING-CHARTS	"B", "D" AND "L" TABLES CHANNELIZING DEVICE SPACING, SIGN BORDER KEY, AND ROLL-AHEAD SPACING	SHEET: 1 OF 3	

FILE: 101-GEN-SPACING-CHARTS.dgn

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

$L = \frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

$L = \frac{W \times S}{S}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

L = MINIMUM LENGTH OF MERGING TAPER
 S = POSTED SPEED LIMIT IN MPH PRIOR TO WORK AREA
 W = WIDTH OF OFFSET

MAXIMUM SPACING FOR CHANNELIZING DEVICES

WORK ZONE (SPEED LIMIT)	DRUM AND 42" DEVICE SPACING (FT)	NIGHTTIME 42" DEVICE SPACING (FT)
< 45 MPH	1 x SPEED LIMIT	2 x SPEED LIMIT
> 45 MPH	50 FEET	100 FEET

SIGN OUTLINE KEY

DASHED OUTLINES INDICATE A SIGN THAT EXISTS ON SITE, AND NEEDS TO BE COVERED.

SOLID OUTLINES INDICATE A SIGN THAT IS TO BE PLACED ON THE PROJECT.

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 101-GEN-SPACING-CHARTS	"B", "D" AND "L" TABLES CHANNELIZING DEVICE SPACING, SIGN BORDER KEY AND ROLL-AHEAD SPACING	SHEET: 2 OF 3	

FILE: 101-GEN-SPACING-CHARTS.dgn

GUIDELINES FOR ROLL-AHEAD DISTANCES FOR TMA VEHICLES - TEST LEVEL 2

WEIGHT OF TMA (VEHICLE)	PREVAILING SPEED (POSTED SPEED PRIOR TO WORK ZONE)	ROLL-AHEAD DISTANCE* (DISTANCE FROM FRONT OF TMA VEHICLE TO WORK AREA)
5.5 TONS (STATIONARY)	40 MPH OR LESS	25 FT

* ROLL-AHEAD DISTANCES ARE CALCULATED USING A 4,410 POUND IMPACT VEHICLE WEIGHT.

GUIDELINES FOR ROLL-AHEAD DISTANCES FOR TMA VEHICLES - TEST LEVEL 3

WEIGHT OF TMA (VEHICLE)	PREVAILING SPEED (POSTED SPEED PRIOR TO WORK ZONE)	ROLL-AHEAD DISTANCE* (DISTANCE FROM FRONT OF TMA VEHICLE TO WORK AREA)
5 TONS (MOBILE)	45 MPH	100 FT
	50-55 MPH	150 FT
	60-75 MPH	175 FT
12 TONS (STATIONARY)	45 MPH	25 FT
	50-55 MPH	25 FT
	60-75 MPH	50 FT

* ROLL-AHEAD DISTANCES ARE CALCULATED USING A 10,000 POUND IMPACT VEHICLE WEIGHT.

NOT TO SCALE

MDOT Michigan Department of Transportation	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	DATE: MAY 2021
NO: 101-GEN-SPACING-CHARTS	"B", "D" AND "L" TABLES CHANNELIZING DEVICE SPACING, SIGN BORDER KEY AND ROLL-AHEAD SPACING	SHEET: 3 OF 3	

FILE: 101-GEN-SPACING-CHARTS.dgn

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THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE INDIVIDUALLY RESPONSIBLE FOR DETERMINING THE EXACT UTILITIES, LOCATIONS AND ELEVATIONS PRIOR TO THE START OF ANY WORK.

CLIENT :

CHESTNUT DEVELOPMENT
 6253 GRAND RIVER AVE.
 BRIGHTON, MI 48114
 POC: STEVE GRONOW
 517-552-2489

DETAILS

PARCEL 4711-06-200-101
 PART OF NE 1/4, SEC. 6, T2N-R5E,
 GENOA CHARTER TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
REVISED GRADING PLAN	02/21/2023
REVISED TREE REMOVAL CALC	02/22/2023
SITE PLAN SUBMITTAL	03/01/2023
FINAL PLAN REVIEW COMMENTS	04/24/2023
REVISED MOOT SUBMITTAL	06/30/2023
REVISED MOOT SUBMITTAL	07/07/2023
REVISED SITE PLAN SUBMITTAL	09/01/2023
REVISED SITE PLAN SUBMITTAL	10/17/2023

CURRENT ISSUE DATE:
4/24/2023

PROJECT NO: 22-168

SCALE: N/A

FIELD:
 DRAWN BY: RZ
 DESIGN BY: MV/MN
 BS
 CHECK BY: MA/AP

C-11.0

NOT FOR CONSTRUCTION

Local Agency Programs
Hot Mix Asphalt (HMA) Selection Guidelines
Revised: 11/01/2017
FHWA Approved: 12/26/2017

The following guidelines have been developed at the request of Local Agency Engineers for use on Local Agency projects. These guidelines have been reviewed and approved by the County Road Association of Michigan Engineering Committee. Previous experience and performance shall permit variations from these guidelines as per Sect D: Alternative Mixes.

A. HMA Mixture Type and Binder Selection

Selection is based on present day two-way commercial ADT. The commercial ADT ranges for each of the mixture types have taken into account an assumed future traffic growth rate.

Table with columns: Com. ADT, Com. ADT 0-300, Com. ADT 301-700, Com. ADT 701-1000, Com. ADT 1001-3400, Com. ADT 3401-9999. Rows include Mixture Type (Top, Leveling, Base) and Binder Grades by Region (Superior, Metro, All Other).

Note 1: If the designer wishes to reduce the target air voids on projects to 3.5%, a note needs to be added to the plans on the HMA Application Table stating that the air voids have been changed to 3.5% for that particular project for top and leveling courses.

Note 2: The mixture type in each traffic category listed in the above table is specifically designed to perform under their respective Commercial ADT. Selecting a mixture type that is specifically designed for a higher Comm. ADT than the project being designed may adversely affect performance.

Note 3: One course overlays on composite pavements where the prevention of cold temperature related thermal cracking is not as much of a concern, the cold temperature number of the PG binder may be decreased by one grade to help reduce costs.

Example: For a one course overlay in the Superior Region on a composite project, the recommended PG binder would be a PG58-28 instead of a PG58-34.

Note 4: To address traffic areas that are more susceptible to rutting early in pavements life such as signalized intersections and other areas of stop/start traffic use the pay item entitled High Stress Hot Mix Asphalt Mixture. The difference between the High Stress HMA Mixture and the typical HMA pay item is the Performance Graded binder. For High Stress Mixtures, increase the high temperature binder by one grade and add the polymer. The increase in the high temperature number results in an asphalt binder with improved high temperature stiffness or rutting resistance for both the leveling and top course.

Example: For a high stress application for a mixture type 5E3 placed in an intersection the recommended binder grade would be a PG70-28P instead of a PG64-28. Following are the recommend guides for the proper application of the Special Provision for High Stress Hot Mix Asphalt Mixture:

- a. Use this pay item 1000 feet on either side of the center of the signalized intersections and other areas where stop/start traffic occurs on the mainline (for quantity calculations use 1100 feet).
b. There are cases where the signalized intersections are spaced 1 mile or less over the entire length of the project. When this occurs, specify the High Stress HMA Mixture pay item for the entire length.
c. All HMA approaches that are adjacent to the High Stress HMA Mixture areas should be specified using this pay item.
d. Use of the Pay Item High Stress HMA (mix), should not be used unless it is to be distinguished from the same mix with a different PG grade.

B. Application Rates

HMA application rates shown in the table below are the required minimum and maximum rates for each of the specific mixtures. Pavement designs requiring a HMA greater than the recommended maximum will require multiple lifts of the leveling and/or base mixes.

Table with columns: Mixture Type, Marshall Mixture (36A, 13A, 2C, 3C, 4C), Superpave Mixture (LVSP, 3E, 4E1, 4E3+, 5E). Rows include Min. #/syd and Max. #/syd.

Note 1: Application rate of 110 #/syd. per 1-inch thickness.

Note 2: When shoulders of 8 ft. or greater are being paved as a separate operation on a project, the following note should be added to the plans near the HMA Application Table; "For shoulders only, the mix design and/or JMF target value for Air Voids are to be adjusted to 2.5 percent." If it is not known whether the shoulders will be placed as a separate paving operation, the note should be added.

C. Aggregate Wear Index (All Projects)

Aggregate Wear Index (AWI) is required for all aggregates used in HMA top course mixtures. The following table identifies the required minimum AWI, based on the present average daily traffic (vehicular and commercial) per lane (ADT/Lane):

Table with columns: ADT/Lane, Minimum AWI. Rows: <100, 100 - 2000, >2000.

D. Alternative Mixes

These guidelines provide for the selection of Hot Mixed Asphalt (HMA) and application rates utilizing the Superpave mix design system along with the Marshall Mix design system. The substitution of another HMA mixture type other than the recommended mixture is acceptable if it has demonstrated to perform under similar traffic conditions. If a local agency desires to use an HMA mixture or grade of binder other than what is contained within this guide, they must submit the change in writing. The letter or email must include the alternate mix design, the justification/reason for the change, and a statement that they accept responsibility for the outcome of the performance of the mix design that is used in lieu of the recommended mixture.

E. Non-Motorized Path Mixes

When designing a Non-Motorized Path, recommended HMA Mixes that have historically worked well include:

Superpave mixes:

HMA, LVSP

HMA, 5E_

Shared Use Path, HMA Snowmobile Wearing Cse - Special (See: 12DS806(F355))

Marshall mixes:

HMA, 13A

HMA, 36A

No AWI is required on the top course, however, if the designer wishes, he or she can use the Aggregate Wear Index (AWI) of 220 minimum.

Use PG 58-28 for all mixes, except for HMA, 5E_, which should be PG 64/28.

Application rates should match the chart on the previous page (page 3 of 4).

F. Non-Motorized Path Alternative Mixes

If a local agency desires to use an HMA mixture or grade of binder other than what is contained within this guide, or if they propose another pavement treatment or type, they must submit the change request to the LAP Staff Engineer in writing. The letter or email must include the alternate mix design, or pavement treatment, the justification and/or reason for the change, and a statement that they accept responsibility for the outcome of the performance of the mix design that is used in lieu of the recommended mixture.

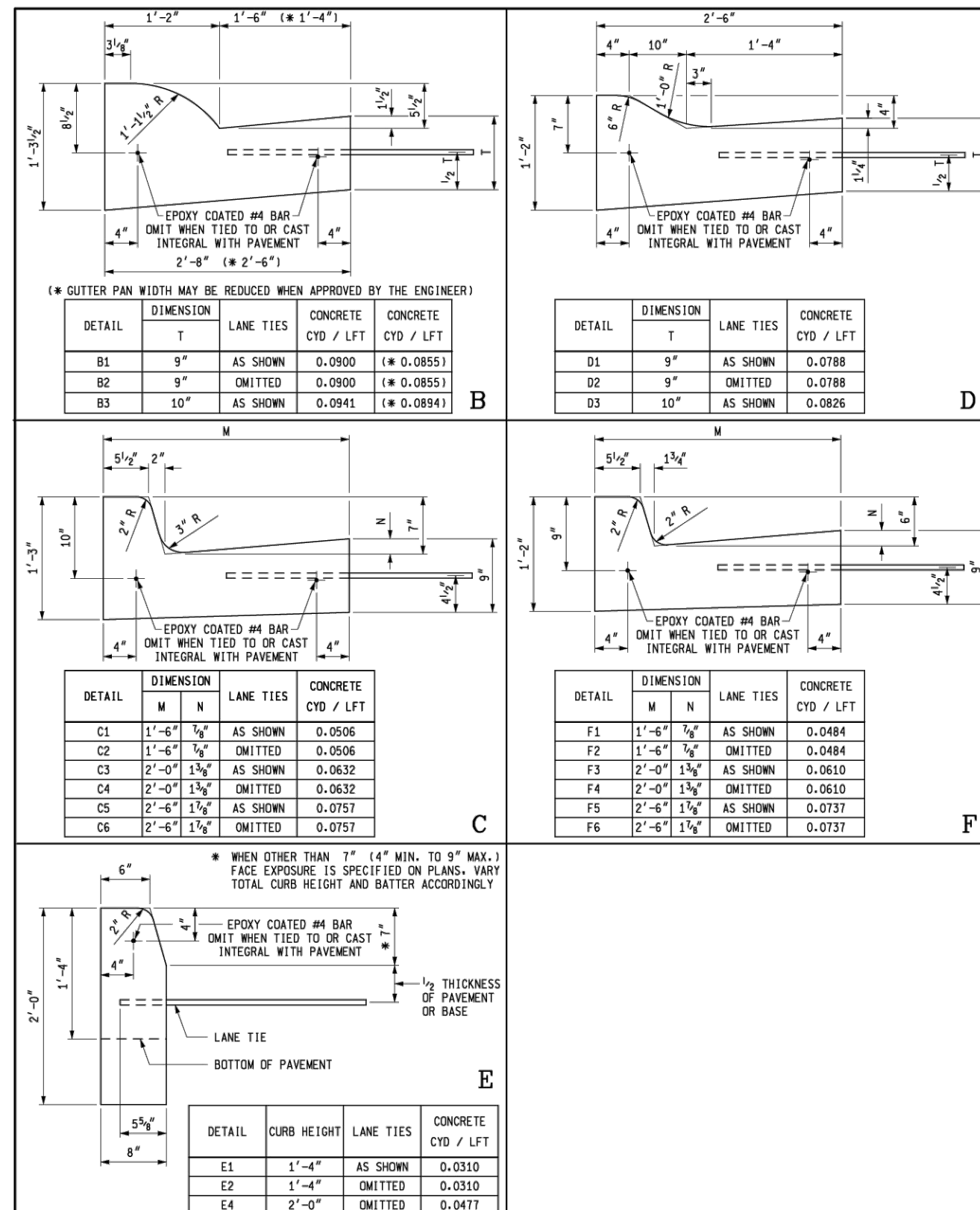


Table with columns: DETAIL, DIMENSION, LANE TIES, CONCRETE CID / LFT. Rows include details B1-B3, C1-C6, D1-D3, E1-E4, F1-F6.

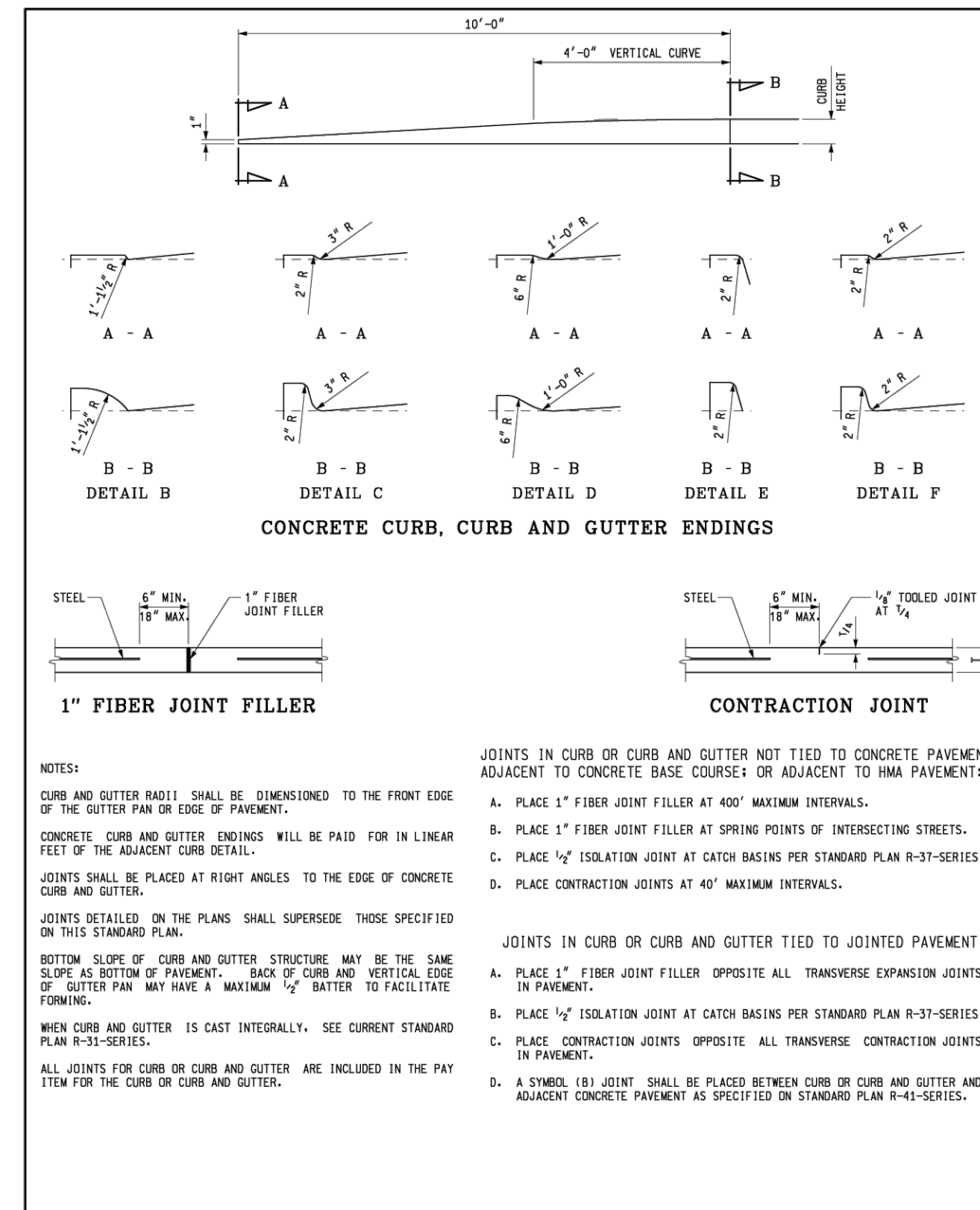
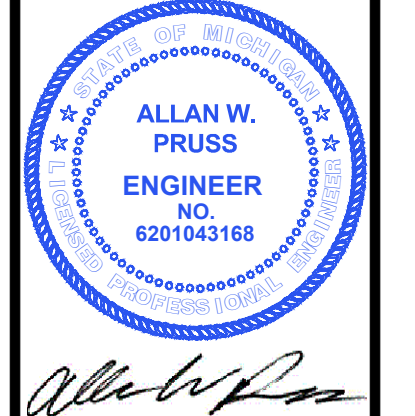


Table with columns: DETAIL, DIMENSION, LANE TIES, CONCRETE CID / LFT. Rows include details A-A, B-B, C, D, E, F.



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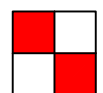
DETAILS: PARCEL 4711-06-200-101, PART OF NE 1/4, SEC. 6, T2N-R5E, GENOA CHARTER TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

Table with columns: DATE, PLAN SUBMITTALS/REVISIONS. Rows include Revised Grading Plan, Revised Tree Removal, etc.

CURRENT ISSUE DATE: 4/24/2023. PROJECT NO: 22-168. SCALE: N/A. FIELD: RZ. DRAWN BY: M/MN. DESIGN BY: BS. CHECK BY: MAJAP.

C-11.1

NOT FOR CONSTRUCTION



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, THE LOCAL WATER AND/OR SEWER AUTHORITY, THE COUNTY DRAIN, THE COUNTY DRAIN COMMISSIONER, MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY, THE STATE OF MICHIGAN, AND THE COUNTY ROAD COMMISSION WHERE APPLICABLE.
- RULES, REGULATIONS OR LAWS OF ANY CONTROLLING GOVERNMENTAL AGENCY SHALL GOVERN, WHEN THEY ARE MORE STRINGENT THAN THE REQUIREMENTS OF THESE SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, CONTRACTOR SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE THE TYPE OF WORK WHICH IS BID, IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, DETAILS AND TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- ANY WORK WITHIN STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL PERMITS HAVE BEEN ISSUED BY THESE GOVERNING AUTHORITIES.
- ALL NECESSARY PERMITS, BONDS, INSURANCES, ETC., SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL ELEVATIONS SHOWN ARE BASED ON BENCHMARKS PROVIDED BY THE LOCAL MUNICIPALITY UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL ITEMS OF WORK NOT SPECIFICALLY INDICATED AS PAY ITEMS ON THE DRAWINGS OR IN THE BID PACKAGE SHALL BE CONSIDERED INCIDENTAL ITEMS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG ((1-800-482-7171)) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
- MANHOLE, CATCH BASIN, GATE WELL RIMS AND HYDRANT FINISH GRADE ELEVATIONS MUST BE AS-BUILT AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE. AGENCY REQUIREMENTS FOR RECORD DRAWINGS ALSO APPLY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS, AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. THE BURNING OR BURYING OF TRASH, STUMPS OR OTHER DEBRIS WILL NOT BE ALLOWED.
- ALL REFERENCES TO M.D.O.T. SPECIFICATIONS REFER TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL CONTRACTORS BIDDING THIS PROJECT SHALL HAVE VISITED THE SITE TO BECOME THOROUGHLY FAMILIAR WITH THE SITE AND THE CONDITIONS IN WHICH THEY WILL BE CONDUCTING THEIR OPERATIONS. ANY VARIANCE FOUND BETWEEN THE PLANS AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UNDERGROUND FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION PROVIDED BY THE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN.
- THE OWNER MAY EMPLOY AND PAY FOR THE SERVICES OF AN ENGINEER TO PROVIDE ON-SITE INSPECTION AND VERIFY IN THE FIELD THAT ALL BACKFILL, PAVEMENTS AND CONCRETE CURB AND GUTTER HAVE BEEN PLACED AND COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. IF, IN THE OPINION OF THE ENGINEER, THE WORK DOES NOT MEET THE TECHNICAL OR DESIGN REQUIREMENTS STIPULATED FOR THE WORK, THE CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT SPECIFIC WRITTEN APPROVAL OF THE OWNER.
- ALL EXCAVATED MATERIAL REMOVED FROM THE SANITARY SEWER, STORM SEWER AND WATER MAIN TRENCHES UNDER, THROUGH AND WITHIN 3 FEET OF THE 45° ZONE OF INFLUENCE LINE, OR EXISTING OR PROPOSED PAVING, SIDEWALK AREAS AND PER PLANS, NOT SUITABLE FOR BACKFILL, SHALL BE REMOVED FROM THESE AREAS AND DISPOSED OF.
- THE CONTRACTOR SHALL RESTORE TO THEIR PRESENT CONDITIONS ANY PAVEMENT OR PUBLIC RIGHTS-OF-WAY THAT IS DISTURBED BY THE OPERATIONS OF THE CONTRACTOR. ALL RESTORATION WORK IN PUBLIC RIGHTS-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE GOVERNMENT AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE AND LIGHTS TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC, IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- O.S.H.A. SAFETY REQUIREMENTS - ALL WORK, WORK PRACTICE, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY, OCCUPATIONAL, HEALTH AND ENVIRONMENTAL REGULATIONS AND ALSO NFPA AND ANSI CODES AS APPLICABLE. ALL WORK INSIDE A CONFINED SPACE SUCH AS MANHOLES OR UNDERGROUND STRUCTURES SHALL BE COORDINATED WITH UTILITY OWNER AND ALL WORKER SAFETY REQUIREMENTS STRICTLY ENFORCED. LAND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
- CONTRACTOR SHALL PROVIDE FOR THE CONTINUOUS OPERATION OF EXISTING FACILITIES WITHOUT INTERRUPTION DURING CONSTRUCTION UNLESS SPECIFICALLY AUTHORIZED OTHERWISE BY THE RESPECTIVE AUTHORITY.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES IN THE PROJECT PLANS. TRENCH BACKFILL FOR EXISTING UTILITIES SHALL BE EXAMINED CRITICALLY. ANY TRENCH WHICH, IN THE OPINION OF THE SOILS ENGINEER ARE FOUND TO BE SOFT, UNSTABLE OR UNSUITABLE MATERIAL SHALL BE COMPLETED EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL. SAND BACKFILL SHALL BE USED UNDER PAVEMENT OR WITHIN 3 FEET OF THE 45° INFLUENCE LINE OF PAVEMENT OR STRUCTURES.

EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT 451 OF 1994, AS AMENDED.
- UNDER "MICHIGAN'S PERMIT-BY-RULE FOR CONSTRUCTION ACTIVITIES", PROMULGATED UNDER ACT 245, PUBLIC ACTS OF 1929 AS AMENDED, AN NPDES STORM WATER DISCHARGE COVERAGE PERMIT IS REQUIRED FOR ANY CONSTRUCTION ACTIVITY THAT DISTURBS 1 ACRE OR MORE OF LAND. A CERTIFIED STORM WATER OPERATOR IS REQUIRED FOR THE SUPERVISION AND INSPECTION OF THE SOIL EROSION CONTROL MEASURES AT THE CONSTRUCTION SITE IN ACCORDANCE WITH THE PROVISIONS OF THESE RULES.
- DAILY INSPECTIONS SHALL BE MADE BY CONTRACTOR WHILE WORKING TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY. ALL SOIL EROSION CONTROL PROVISIONS SHALL BE PROPERLY MAINTAINED DURING CONSTRUCTION.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGE AREAS HAVE BEEN COMPLETED.

EROSION CONTROL STANDARDS CONTINUED

- STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- DUST SHALL BE CONTROLLED BY WATERING OR BY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS.
- ALL WATER FROM DEWATERING OR SURFACE DRAINAGE FROM THE CONSTRUCTION SITE SHALL BE CONTROLLED TO ELIMINATE SEDIMENT CONTAMINATION OFF-SITE WATERWAYS OR STORM SEWERS. SUCH MEASURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY DEWATERING OR LAND DISTURBANCE.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 5 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

GRADING AND EARTHWORK SPECIFICATIONS

- ALTHOUGH A SUB-SURFACE INVESTIGATION MAY HAVE BEEN MADE BY THE OWNER, THE BIDDER AND ANY SUB-CONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF SITE AND EXISTING SURFACE AND SUB-SURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUB-SURFACE SOIL CONDITIONS AND GROUND WATER CONDITIONS TO HIS OWN SATISFACTION PRIOR TO BIDDING. NO MODIFICATIONS TO THE UNIT PRICES BID FOR ANY ITEM WILL BE MADE DUE TO VARIABLE SUB-SURFACE CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, BY WELL POINTING OR DEEP WELLS WILL BE INCIDENTAL TO THE INSTALLATION COST OF THE ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING DETERMINED TO HIS SATISFACTION PRIOR TO SUBMISSION OF HIS BID THE CONTINuity OF THE GROUND, THE CHARACTER AND QUALITY OF THE SUBSTRATA, THE TYPES AND QUANTITIES OF MATERIALS TO BE ENCOUNTERED, THE NATURE OF THE GROUNDWATER CONDITIONS, THE PROSECUTION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING RECENT CLIMATIC CHANGES, THE TIME OF YEAR IN WHICH CONSTRUCTION WILL TAKE PLACE AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT.
- PRIOR TO COMMENCING THE EXCAVATION THE CONTRACTOR SHALL SUBMIT A PLAN OF HIS PROPOSED OPERATION AND TIME SCHEDULE TO THE OWNER & OWNERS REPRESENTATIVE FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL CONSIDER, AND HIS PLAN FOR EXCAVATION SHALL REFLECT, THE EQUIPMENT AND METHODS TO BE EMPLOYED IN THE EXCAVATION AND WHAT METHODS WILL BE USED WHEN WET CONDITIONS ARE ENCOUNTERED REQUIRING GROUNDWATER CONTROL OR OTHER MOISTURE CONDITIONING. THE CONTRACTOR SHALL SUBMIT AN OUTLINE OF HIS EARTHWORK METHODS WHICH SHALL TAKE INTO ACCOUNT THE OVERALL CONSTRUCTION SCHEDULE. THE PRICES ESTABLISHED IN THE PROPOSAL FOR THE WORK TO BE DONE SHALL REFLECT ALL COSTS PERTAINING TO THE WORK. NO CLAIMS FOR EXTRAS BASED ON SUBSTRATA OR GROUNDWATER TABLE CONDITIONS OR MOISTURE CONDITIONING WILL BE ALLOWED.
- THE CONTRACTOR SHALL KEEP INFORMED AND THE OWNER'S REPRESENTATIVE INFORMED AT ALL TIMES AS TO A "FILL SURPLUS OR SHORTAGE" SITUATION. SHORTAGE OR SURPLUS OF SUITABLE MATERIAL AT THE CONCLUSION OF THE GRADING AND EARTHWORK OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HE WILL BE REQUIRED TO SUPPLY THE DEFICIENCY OR DISPOSE OF THE SURPLUS WITHOUT ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND OTHER DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO CUT OR FILL OPERATIONS. SUCH MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN A LEGAL MANNER OFF SITE.
- MATERIALS FOR FILL OR BACKFILL REQUIRED TO GRADE THE SITE AND ACHIEVE DESIGN ELEVATIONS SHALL BE EITHER ON OR OFF-SITE SOILS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. NO TOPSOIL SHALL BE USED AS ENGINEERED FILL.
- NO FILL MAY BE PLACED UNTIL THE EXPOSED SURFACES HAVE BEEN APPROVED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIALS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED AT THE OPTIMUM MOISTURE CONTENT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- NO FROZEN MATERIAL SHALL BE USED AS FILL NOR WILL ANY FILL BE PLACED ON A FROZEN BASE.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 6" DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE GEOTECHNICAL ENGINEER IN ADVANCE AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- COMPACT FILL MATERIAL TO AT LEAST THE FOLLOWING PERCENTAGE OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR). NO DEVIATION FROM THESE COMPACTION DENSITIES WILL BE ALLOWED UNLESS SPECIFICALLY RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.

FILL AREAS	% OF MAXIMUM DRY DENSITY
FILL UNDER BUILDING (EXTENDING 5' BEYOND FOOTINGS AT A SLOPE OF 1 ON 1)	98%
FILL UNDER PAVEMENT OR SIDEWALKS	95%
FILL PLACED UNDER OR BEHIND RETAINING WALLS	95%
ALL OTHER FILL	90%

- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS, THAT WILL NOT EXCEED THE DEPTH IN WHICH THE COMPACTION EQUIPMENT CAN ACHIEVE THE MAXIMUM DENSITY REQUIRED FOR THE ENTIRE DEPTH OF THE MATERIAL PLACED IN THE LIFT.
- ALL AREAS WHERE FILL HAS BEEN PLACED OR THE EXISTING SOILS HAVE BEEN DISTURBED SHALL BE SUBJECT TO COMPACTION TESTING BY THE GEOTECHNICAL ENGINEER AND SHALL BE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER, OWNER AND OWNER'S REPRESENTATIVE.
- FILL MATERIAL UNDER PAVEMENTS OR STRUCTURES SHALL BE FREE OF ORGANIC OR DELETERIOUS MATERIALS. IT SHALL BE SUITABLE FOR SUPPORTING PAVEMENTS AND STRUCTURES WITHOUT ADVERSE SHRINKING OR SWELLING.
- FILL MATERIAL IN BERMS AND LANDSCAPE AREAS SHALL BE SUITABLE TO SUPPORT GROWTH OF THE LANDSCAPING MATERIALS (TYPICAL FOR THE LOCAL CLIMATE) AND AS PROPOSED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF, IN A LEGAL MANNER, ANY TREES, BRUSH OR DEBRIS THAT ARE WITHIN THE DESIGNATED CUTTING AND FILLING AREAS TO BRING THE SITE TO PROPOSED GRADES.
- THE CONTRACTOR SHALL STOCKPILE EXCAVATED MATERIAL ONLY IN DESIGNATED AREAS AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- DURING THE PERFORMANCE OF SITE GRADING OPERATIONS, THE SUBGRADE SHALL BE EXAMINED CRITICALLY, AND ANY AREAS DISCOVERED WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER, ARE SOFT AND UNSTABLE, SHALL BE EXCAVATED TO SUCH DEPTHS AS MAY BE NECESSARY TO INSURE SATISFACTORY SUPPORTING PROPERTIES AS DETERMINED BY THE GEOTECHNICAL ENGINEER. THESE AREAS OF EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AND SHALL BE BROUGHT BACK TO THE ELEVATION OF THE SURROUNDING AREAS WITH APPROVED FILL MATERIAL AND IN ACCORDANCE WITH THE EARTH FILL CONSTRUCTION PROCEDURE.

GRADING AND EARTHWORK SPECIFICATIONS CONTINUED

- NEWLY GRADED AREAS SHALL BE PROTECTED FROM THE ACTION OF THE ELEMENTS. ANY SETTLEMENT, DISPLACEMENT, PONDING OR WASHING OUT THAT MAY OCCUR PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION SHALL BE REPAIRED, AND GRADES REESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES.
- THE FINISHED SUBGRADE SURFACE SHALL BE SHAPED TO INDICATED PROFILES AND SHALL BE REASONABLY SMOOTH AND FREE FROM IRREGULAR SURFACE CHANGES AND SHALL BE NO MORE THAN 1 INCH ABOVE OR BELOW THE INDICATED SUBGRADE ELEVATIONS.
- THE GRADING CONTRACTOR SHALL BACKFILL ALL PARKING LOT PLANTERS AND LAWN AREAS TO WITHIN 2 INCHES OF THE TOP ADJACENT CURB GRADES. THE TOP 4 INCHES MINIMUM SHALL BE TOPSOIL, FREE FROM DEBRIS AND STONES LARGER THAN 1 INCH IN DIAMETER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PUMPS, DITCHING, WELL POINT SYSTEMS AND OTHER MEANS FOR REMOVING WATER FROM EXCAVATIONS, TRENCHES, SUBGRADES AND OTHER PARTS OF THE WORK. THE CONTRACTOR SHALL CONTINUE DE-WATERING OPERATIONS UNTIL THE WATER HAS BEEN REMOVED ENTIRELY, UPON COMPLETION OF WATER REMOVAL THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO DRY THE SOILS, REGRADE TO PROPOSED ELEVATIONS AND COMPACT SOILS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL DISPOSE OF WATER IN A SAFE AND SANITARY WAY TO PREVENT FLOODING OR INJURY TO PUBLIC OR PRIVATE PROPERTY AND SHALL OBTAIN APPROVAL OF THE LOCAL GOVERNING AUTHORITY BEFORE DISCHARGING RUN-OFF WATER TO THEIR SYSTEM. SEE EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND NEW GRADES.

TRAFFIC LANE AND PARKING LOT MARKING

- PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL TRAFFIC LANE AND PARKING LOT MARKINGS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- WORK INCLUDES, BUT NOT LIMITED TO PAINTING OF LETTERS, MARKINGS, STRIPES AND ISLANDS ON THE PAVEMENT SURFACE APPLIED IN ACCORDANCE WITH THIS SPECIFICATION AND AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- TRAFFIC MARKING PAINT SHALL MEET THE REQUIREMENTS OF FEDERAL SPECIFICATION TT-P-1952F, WITH OR WITHOUT REFLECTORIZED BEADS AS REQUIRED BY THE PLANS, OR SHALL BE A PRODUCT FROM THE CURRENT MDOT QUALIFIED PRODUCTS LIST.
- COLOR SHALL BE AS SPECIFIED ON THE PLANS OR AS FOLLOWS:
 - TRAFFIC LANE STRIPING SHALL BE WHITE OR YELLOW REFLECTORIZED, AS SPECIFIED ON THE PLANS.
 - TRAFFIC MARKING AND CURB FACES SHALL BE WHITE UNLESS NOTED OTHERWISE.
 - PARKING LOT STRIPING SHALL BE WHITE, UNLESS NOTED OTHERWISE.
 - HANDICAP STALL STRIPING MEETING CURRENT ADA REQUIREMENTS SHALL BE BLUE UNLESS NOTED OTHERWISE.
- THE PAINTING SHALL BE PERFORMED ONLY WHEN THE EXISTING SURFACE IS DRY AND CLEAN, WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 40-DEGREES F. AND WHEN THE WEATHER IS NOT EXCESSIVELY WINDY, DUSTY OR FOGGY AND WHEN RAIN IS NOT FORECASTED FOR AT LEAST 2 HOURS AFTER PAINT IS APPLIED.
- ALL EQUIPMENT FOR THE WORK SHALL BE APPROVED BY THE CONTRACTOR AND SHALL INCLUDE THE APPARATUS NECESSARY TO PROPERLY CLEAN THE EXISTING SURFACE, A MECHANICAL MARKING MACHINE, AND SUCH AUXILIARY HAND EQUIPMENT AS MAY BE NECESSARY TO SATISFACTORILY COMPLETE THE JOB.

- THE MECHANICAL MARKER SHALL BE AN APPROVED ATOMIZING SPRAY-TYPE MARKING MACHINE SUITABLE FOR APPLICATION OF TRAFFIC PAINT. IT SHALL PRODUCE AN EVEN AND UNIFORM FILM THICKNESS AT THE REQUIRED COVERAGE AND SHALL BE DESIGNED SO AS TO APPLY MARKINGS OF UNIFORM CROSS-SECTIONS AND CLEAR-CUT EDGES WITHOUT RUNNING OR SPATTERING AND WITHIN THE L LIMITS FOR STRAIGHTNESS SET FORTH HEREIN. WHEN NEEDED, A DISPENSER SHALL BE FURNISHED, WHICH IS PROPERLY DESIGNED FOR ATTACHMENT TO THE MECHANICAL MARKER AND SUITABLE FOR DISPENSING THE REQUIRED QUANTITY OF REFLECTIVE BEADS.
- SUITABLE ADJUSTMENTS SHALL BE PROVIDED ON THE SPRAYER/SPRAYERS OF A MACHINE FOR PAINTING THE WIDTH REQUIRED. MULTIPLE PARALLEL PASSES TO PAINT THE REQUIRED WIDTH WILL NOT BE ALLOWED.
- IMMEDIATELY BEFORE APPLICATION OF THE PAINT, THE EXISTING SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL, ACIDS, DEBRIS, OR OTHER FOREIGN MATTER WHICH WOULD REDUCE THE BOND BETWEEN THE COAT OF PAINT AND THE PAVEMENT. THE SURFACE SHALL BE THOROUGHLY CLEANED BY SWEEPING AND BLOWING AS REQUIRED TO REMOVE ALL DIRT, DEBRIS AND LOOSE MATERIALS. AREAS WHICH CANNOT BE SATISFACTORILY CLEANED BY BROOMING AND BLOWING SHALL BE SCRUBBED AS DIRECTED WITH A WATER SOLUTION OF TRI-SODIUM PHOSPHATE (10% BY WEIGHT) OR AN APPROVED ALKALI SOLUTION. AFTER SCRUBBING, THE SOLUTION SHALL BE RINSED OFF AND THE SURFACE DRIED PRIOR TO PAINTING.

- EXISTING MARKINGS OR STRIPES WHICH ARE TO BE ABANDONED OR REMOVED SHALL BE OBLITERATED OR OBTURED BY THE BEST METHODS SUITED FOR THE PURPOSE AND TO THE SATISFACTION OF THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR LAYING OUT A SAMPLE SECTION OF STRIPING WHICH IS TO BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE AS TO QUALITY BEFORE THE CONTRACTOR MAY PROCEED WITH THE STRIPING. THE CONTRACTOR IS TO INSURE THAT ALL SUBSEQUENT STRIPING MEETS THE QUALITY OF THE APPROVED SAMPLE APPLICATION.
- ON THOSE SECTIONS OF PAVEMENTS WHERE NO PREVIOUSLY APPLIED FIGURES, MARKINGS, OR STRIPES ARE AVAILABLE TO SERVE AS A GUIDE, SUITABLE LAYERS AND STRIPES AS TO QUALITY BEFORE THE CONTRACTOR MAY PROCEED WITH THE PAINT APPLICATION. CONTROL POINTS SHALL BE SPACED AT SUCH INTERVALS AS WILL ENSURE ACCURATE LOCATION OF ALL MARKINGS.
- THE CONTRACTOR SHALL PROVIDE AN EXPERIENCED TECHNICIAN TO SUPERVISE THE LOCATION ALIGNMENT, LAYOUT, DIMENSIONS AND APPLICATION OF THE PAINT.
- MARKINGS SHALL BE APPLIED AT THE LOCATIONS AND TO THE DIMENSIONS AND SPACING INDICATED ON THE PLANS OR AS SPECIFIED. PAINT SHALL NOT BE APPLIED UNTIL THE INDICATED ALIGNMENT IS LAID OUT AND THE CONDITIONS OF THE EXISTING SURFACE HAVE BEEN APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE PAINT SHALL BE MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION. THE PAINT SHALL BE THOROUGHLY MIXED AND APPLIED TO THE SURFACE OF THE PAVEMENT WITH THE MARKING MACHINE AT ITS ORIGINAL SPEED WITH THE ADDITION OF THINNER. IF THE PAINT IS APPLIED BY BRUSH, THE SURFACE SHALL RECEIVE TWO (2) COATS; THE FIRST COAT SHALL BE THOROUGHLY DRY BEFORE THE SECOND COAT IS APPLIED.
- A MINIMUM OF ONE (1) WEEK SHALL ELAPSE BETWEEN APPLICATION OF THE BITUMINOUS SEAL COAT, SLURRY SEAL OR THE PLACEMENT OF THE BITUMINOUS SURFACE COURSE AND THE MARKING OF THE PAVEMENT. THE PAINT SHALL NOT BLEED EXCESSIVELY, CURL, OR DISCOLOR WHEN APPLIED TO BITUMINOUS OR CONCRETE SURFACES. CURING COMPOUND MUST BE REMOVED FOR THE ENTIRE WIDTH OF THE PAINTED STRIPE OR SYMBOL PRIOR TO PAINTING NEW CONCRETE.
- IN THE APPLICATION OF STRAIGHT STRIPES, ANY DEVIATION IN THE EDGES EXCEEDING 1/2-INCH IN 50-FEET SHALL BE OBLITERATED AND THE MARKING CORRECTED. THE WIDTH OF THE MARKINGS SHALL BE AS DESIGNATED WITHIN A TOLERANCE OF 5 PERCENT (5%). ALL PAINTING SHALL BE PERFORMED TO THE SATISFACTION OF THE OWNER OR OWNER'S REPRESENTATIVE BY COMPETENT AND EXPERIENCED EQUIPMENT OPERATORS, LABORERS, AND ARTISANS IN A NEAT AND WORKMANLIKE MANNER.
- PAINT SHALL BE APPLIED UNIFORMLY BY SUITABLE EQUIPMENT AT A RATE OF 0.0024 GAL./SQ. FT. FOR STENCILS AND 0.00313 GAL./SQ. FT. FOR STRIPING. PAINT APPLICATION SHALL PRODUCE AN AVERAGE WET FILM THICKNESS OF 0.015-INCHES.
- AFTER APPLICATIONS OF THE PAINT, ALL MARKINGS SHALL BE PROTECTED WHILE THE PAINT IS DRYING. THE FRESH PAINT SHALL BE PROTECTED FROM INJURY OR DAMAGE OF ANY KIND. THE CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE AND SHALL ERECT PROTECTIVE PLACARDS, WARNING SIGNS, FLARES, OR BARRICADES. PROTECTIVE SCREENS OR COVERINGS AS REQUIRED. ALL SURFACES SHALL BE PROTECTED FROM DISFOURISHMENT BY SPATTER, SPLASHES, SPILLAGE, DRIPPINGS OF PAINT OR OTHER MATERIAL.

GRADING AND EARTHWORK SPECIFICATIONS

- ALTHOUGH A SUB-SURFACE INVESTIGATION MAY HAVE BEEN MADE BY THE OWNER, THE BIDDER AND ANY SUB-CONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF SITE AND EXISTING SURFACE AND SUB-SURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUB-SURFACE SOIL CONDITIONS AND GROUND WATER CONDITIONS TO HIS OWN SATISFACTION PRIOR TO BIDDING. NO MODIFICATIONS TO THE UNIT PRICES BID FOR ANY ITEM WILL BE MADE DUE TO VARIABLE SUB-SURFACE CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, BY WELL POINTING OR DEEP WELLS WILL BE INCIDENTAL TO THE INSTALLATION COST OF THE ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING DETERMINED TO HIS SATISFACTION PRIOR TO THE SUBMISSION OF HIS BID THE CONTINuity OF THE GROUND, THE CHARACTER AND QUALITY OF THE SUBSTRATA, THE TYPES AND QUANTITIES OF MATERIALS TO BE ENCOUNTERED, THE NATURE OF THE GROUNDWATER CONDITIONS, THE PROSECUTION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING RECENT CLIMATIC CHANGES, THE TIME OF YEAR IN WHICH CONSTRUCTION WILL TAKE PLACE AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT.
- PRIOR TO COMMENCING THE EXCAVATION THE CONTRACTOR SHALL SUBMIT A PLAN OF HIS PROPOSED OPERATIONS AND TIME SCHEDULE TO THE OWNER & OWNERS REPRESENTATIVE FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL CONSIDER, AND HIS PLAN FOR EXCAVATION SHALL REFLECT, THE EQUIPMENT AND METHODS TO BE EMPLOYED IN THE EXCAVATION AND WHAT METHODS WILL BE USED WHEN WET CONDITIONS ARE ENCOUNTERED REQUIRING GROUNDWATER CONTROL OR OTHER MOISTURE CONDITIONING. THE CONTRACTOR SHALL SUBMIT AN OUTLINE OF HIS EARTHWORK METHODS WHICH SHALL TAKE INTO ACCOUNT THE OVERALL CONSTRUCTION SCHEDULE. THE PRICES ESTABLISHED IN THE PROPOSAL FOR THE WORK TO BE DONE SHALL REFLECT ALL COSTS PERTAINING TO THE WORK. NO CLAIMS FOR EXTRAS BASED ON SUBSTRATA OR GROUNDWATER TABLE CONDITIONS OR MOISTURE CONDITIONING WILL BE ALLOWED.
- THE CONTRACTOR SHALL KEEP INFORMED AND THE OWNER'S REPRESENTATIVE INFORMED AT ALL TIMES AS TO A "FILL SURPLUS OR SHORTAGE" SITUATION. SHORTAGE OR SURPLUS OF SUITABLE MATERIAL AT THE CONCLUSION OF THE GRADING AND EARTHWORK OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HE WILL BE REQUIRED TO SUPPLY THE DEFICIENCY OR DISPOSE OF THE SURPLUS WITHOUT ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND OTHER DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO CUT OR FILL OPERATIONS. SUCH MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN A LEGAL MANNER OFF SITE.
- MATERIALS FOR FILL OR BACKFILL REQUIRED TO GRADE THE SITE AND ACHIEVE DESIGN ELEVATIONS SHALL BE EITHER ON OR OFF-SITE SOILS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. NO TOPSOIL SHALL BE USED AS ENGINEERED FILL.
- NO FILL MAY BE PLACED UNTIL THE EXPOSED SURFACES HAVE BEEN APPROVED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIALS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED AT THE OPTIMUM MOISTURE CONTENT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- NO FROZEN MATERIAL SHALL BE USED AS FILL NOR WILL ANY FILL BE PLACED ON A FROZEN BASE.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 6" DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE GEOTECHNICAL ENGINEER IN ADVANCE AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- COMPACT FILL MATERIAL TO AT LEAST THE FOLLOWING PERCENTAGE OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR). NO DEVIATION FROM THESE COMPACTION DENSITIES WILL BE ALLOWED UNLESS SPECIFICALLY RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.

FILL AREAS	% OF MAXIMUM DRY DENSITY
FILL UNDER BUILDING (EXTENDING 5' BEYOND FOOTINGS AT A SLOPE OF 1 ON 1)	98%
FILL UNDER PAVEMENT OR SIDEWALKS	95%
FILL PLACED UNDER OR BEHIND RETAINING WALLS	95%
ALL OTHER FILL	90%

- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS, THAT WILL NOT EXCEED THE DEPTH IN WHICH THE COMPACTION EQUIPMENT CAN ACHIEVE THE MAXIMUM DENSITY REQUIRED FOR THE ENTIRE DEPTH OF THE MATERIAL PLACED IN THE LIFT.
- ALL AREAS WHERE FILL HAS BEEN PLACED OR THE EXISTING SOILS HAVE BEEN DISTURBED SHALL BE SUBJECT TO COMPACTION TESTING BY THE GEOTECHNICAL ENGINEER AND SHALL BE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER, OWNER AND OWNER'S REPRESENTATIVE.
- FILL MATERIAL UNDER PAVEMENTS OR STRUCTURES SHALL BE FREE OF ORGANIC OR DELETERIOUS MATERIALS. IT SHALL BE SUITABLE FOR SUPPORTING PAVEMENTS AND STRUCTURES WITHOUT ADVERSE SHRINKING OR SWELLING.
- FILL MATERIAL IN BERMS AND LANDSCAPE AREAS SHALL BE SUITABLE TO SUPPORT GROWTH OF THE LANDSCAPING MATERIALS (TYPICAL FOR THE LOCAL CLIMATE) AND AS PROPOSED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF, IN A LEGAL MANNER, ANY TREES, BRUSH OR DEBRIS THAT ARE WITHIN THE DESIGNATED CUTTING AND FILLING AREAS TO BRING THE SITE TO PROPOSED GRADES.
- THE CONTRACTOR SHALL STOCKPILE EXCAVATED MATERIAL ONLY IN DESIGNATED AREAS AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- DURING THE PERFORMANCE OF SITE GRADING OPERATIONS, THE SUBGRADE SHALL BE EXAMINED CRITICALLY, AND ANY AREAS DISCOVERED WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER, ARE SOFT AND UNSTABLE, SHALL BE EXCAVATED TO SUCH DEPTHS AS MAY BE NECESSARY TO INSURE SATISFACTORY SUPPORTING PROPERTIES AS DETERMINED BY THE GEOTECHNICAL ENGINEER. THESE AREAS OF EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AND SHALL BE BROUGHT BACK TO THE ELEVATION OF THE SURROUNDING AREAS WITH APPROVED FILL MATERIAL AND IN ACCORDANCE WITH THE EARTH FILL CONSTRUCTION PROCEDURE.
- NEWLY GRADED AREAS SHALL BE PROTECTED FROM THE ACTION OF THE ELEMENTS. ANY SETTLEMENT, DISPLACEMENT, PONDING OR WASHING OUT THAT MAY OCCUR PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION SHALL BE REPAIRED, AND GRADES REESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES.
- THE FINISHED SUBGRADE SURFACE SHALL BE SHAPED TO INDICATED PROFILES AND SHALL BE REASONABLY SMOOTH AND FREE FROM IRREGULAR SURFACE CHANGES AND SHALL BE NO MORE THAN 1 INCH ABOVE OR BELOW THE INDICATED SUBGRADE ELEVATIONS.
- THE GRADING CONTRACTOR SHALL BACKFILL ALL PARKING LOT PLANTERS AND LAWN AREAS TO WITHIN 2 INCHES OF THE TOP ADJACENT CURB GRADES. THE TOP 4 INCHES MINIMUM SHALL BE TOPSOIL, FREE FROM DEBRIS AND STONES LARGER THAN 1 INCH IN DIAMETER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PUMPS, DITCHING, WELL POINT SYSTEMS AND OTHER MEANS FOR REMOVING WATER FROM EXCAVATIONS, TRENCHES, SUBGRADES AND OTHER PARTS OF THE WORK. THE CONTRACTOR SHALL CONTINUE DE-WATERING OPERATIONS UNTIL THE WATER HAS BEEN REMOVED ENTIRELY, UPON COMPLETION OF WATER REMOVAL THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO DRY THE SOILS, REGRADE TO PROPOSED ELEVATIONS AND COMPACT SOILS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL DISPOSE OF WATER IN A SAFE AND SANITARY WAY TO PREVENT FLOODING OR INJURY TO PUBLIC OR PRIVATE PROPERTY AND SHALL OBTAIN APPROVAL OF THE LOCAL GOVERNING AUTHORITY BEFORE DISCHARGING RUN-OFF WATER TO THEIR SYSTEM. SEE EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND NEW GRADES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)

Call MISS DIG
3 full working days before you dig.

Utility Notification Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE INDIVIDUALLY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATIONS PRIOR TO THE START OF ANY WORK.

CLIENT :

CHESTNUT DEVELOPMENT

6253 GRAND RIVER AVE.
SUITE 750
BRIGHTON, MI 48114
POC: STEVE GRONOW
517-552-2489

SPECIFICATIONS

PARCEL 4711-06-200-101
PART OF NE 1/4, SEC. 6, T2N-R5E,
GENOA CHARTER TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
02/21/2023	PLAN SUBMITTALS/REVISIONS
02/22/2023	REVISED GRADING PLAN
03/01/2023	REVISED TREE REMOVAL CALC
04/24/2023	SITE PLAN SUBMITTAL
06/30/2023	REVISED MOOT SUBMITTAL
07/07/2023	REVISED MOOT SUBMITTAL
09/01/2023	REVISED SITE PLAN SUBMITTAL
10/17/2023	REVISED SITE PLAN SUBMITTAL

CURRENT ISSUE DATE: 4/24/2023

PROJECT NO: 22-168

SCALE: N/A

FIELD: RZ
DRAWN BY: MV/MN
DESIGN BY: BS
CHECK BY: M/APP

C-12.0

NOT FOR CONSTRUCTION



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Nancy Merlo- Brighton Equestrian Club, 7318 Herbst Rd.
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Nancy Merlo, 7318 Herbst Rd. Brighton, MI 48116

SITE ADDRESS: 7318 Herbst Rd. Brighton, MI 48116 PARCEL #(s): 4711-24-100-014

APPLICANT PHONE: (248) 866-1142 OWNER PHONE: (248) 866-1142

OWNER EMAIL: nancy@clubBEC.com

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

Brighton Equestrian Club is located on 97 acres of the former Herbst farm. Surrounding area includes
mobile home development, single family rural residential and other agricultural uses.

BRIEF STATEMENT OF PROPOSED USE: Brighton Equestrian Club ("BEC") is currently authorized by
the Right to Farm Act. BEC's use includes use as a commercial stable for academies, rearing and housing of horses
and related uses as described in section 3. 302(h). Such use may include other horse related member events in
the clubhouse.

THE FOLLOWING BUILDINGS ARE PROPOSED: BEC will use the current buildings on the premises,
including stable and barn.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: Nancy Merlo

ADDRESS: 7318 Herbst Road, Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Nancy Merlo of Brighton Equestrian Club at nancy@clubBEC.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Nancy Merlo DATE: 10-26-23
PRINT NAME: Nancy Merlo PHONE: 248-866-1142
ADDRESS: 7318 Herbst Rd. Brighton, MI 48116



GENOA CHARTER TOWNSHIP

Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Nancy Merlo - Brighton Equestrian Club, 7318 Herbst Rd

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: 248) 866-1142 EMAIL: nancy@clubBEC.com

OWNER NAME & ADDRESS: Nancy Merlo, 7318 Herbst Rd

SITE ADDRESS: 7318 Herbst Rd PARCEL #(s): 4711-24-100-014

OWNER PHONE: 248) 866-1142 EMAIL: nancy@clubBEC.com

Location and brief description of site and surroundings:

Brighton Equestrian Club is located on 97 acres of the former Herbst farm. Surrounding area includes mobile home development, single family rural residential and other agricultural uses.

Proposed Use:

Brighton Equestrian Club ("BEC") is currently authorized by the Right to Farm Act. BEC's use includes use as a commercial stable for academies, rearing and housing of horses and related uses as described in section 3.03.02(h). Such use may also include horse shows, and other horse related member and guest events in the clubhouse.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

BEC's use promotes the AG statement of purpose by maintaining the irreplaceable agricultural soils and farmland from turning into yet another residential subdivision. The facility is well served by public facilities and will not over tax the roads and infrastructure. Further, all uses are in strict compliance with the right to farm act to minimize any potential nuisance to neighbors.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

BEC contains stables, clubhouse and pastures. The pastures front all roads and neighboring properties. The stables and clubhouse were designed with an appealing facade in keeping with agricultural buildings of a similar nature.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

The property is currently served by Herbst road which offers more than adequate access for all purposes. Drainage, water and sewer has not been altered from the original Herbst farm so does not put any additional tax on that system.

- d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

All farming uses are in strict compliance with the Right to Farm Act which pays close attention to proper noise and odor management through proper planning and maintenance. Guests, members, riders and employees at BEC will not cause a noticeable impact on traffic as it will be spread out throughout the day.

- e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02(h) permits Commercial Stables as a special land use. All criteria contained in that ordinance section are being complied with including numbers of animals, distance from dwellings, fencing and nuisance management.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Nancy Merlo STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Nancy Merlo

ADDRESS: 7318 Herbst Road, Genoa Township

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Nancy Merlo of Brighton Equestrian Club at nancy@clubBEC.com
 Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Nancy Merlo DATE: 10/27/23

PRINT NAME: Nancy Merlo PHONE: 248-866-1142



**NOTICE OF PUBLIC HEARING – DECEMBER 11, 2023
(SPECIAL USE)**

November 22, 2023

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

To Whom It May Concern:

Please be advised that the Planning Commission of Genoa Charter Township will conduct a public hearing on **Monday, December 11, 2023 commencing at 6:30 p.m.** As required by state law, you are receiving this notice because you have been identified as an owner or occupant of real property within 300 feet of the subject parcels.

The property in question is located at 7318 Herbst Road on the south side of Herbst Road, east of Hubert Road on parcel #4711-24-100-014. **The applicant is requesting a special land use permit to allow a commercial stable at the Brighton Equestrian Club. The request is petitioned by Nancy Merlo, Brighton Equestrian Club.**

You are invited to attend this hearing. Members of the public will be able to speak during the public hearing portions of the meeting. If, prior to the meeting, members of the public have certain questions or wish to provide input on any business that will be addressed at the meeting then such persons may contact the Planning Commissioners through Amy Ruthig, Planning Director by email to amy@genoa.org, or by mail at 2911 Dorr Road, Brighton, Michigan 48116.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Amy Ruthig
Planning Director

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

“Least” to Net “Lease”; Pg. 3, para. The last comment by Lowe should read “Nov. 15 2021 Board Meeting” and not “October 2021 Planning Commission”. She cannot support “this” project. The motion carried unanimously

3. Consideration of a recommendation for approval of a Special Land Use application, environmental impact assessment and site plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road. The request is petitioned by the Nancy Merlo, Brighton Equestrian Club.

A. Disposition of Special Use Application

Moved by Moved by Ledford and supported by Croft to approve with conditions the Special Land Use permit because it has been found that the requested use meets the requirements of Sections 19.03 and 3.02.02(h) of the Township Ordinance with the following conditions:

1. Staff edits on the marked-up version of the Environmental Impact Assessment dated January 21, 2022 and included in the Board packet shall be made and the final document provided to the Township prior to issuance of the Special Land use permit.
2. The Affidavit of Nancy Merlo dated December 13, 2021 shall be made part of the official record.
3. Any site plan fee exceedances associated with the additional meetings and consultant reviews as indicated on the site plan and special land use applications shall be paid prior to issuance of the special land use permit.
4. The GAAMP certification from the Michigan Department of Rural Development and Agriculture shall be provided prior to issuance of the special land use permit.
5. A revised site plan showing the location of manure management (spread) areas shall be provided prior to issuance of the special land use permit.
6. All conditions of approval related to the impact assessment and site plan shall be complied with prior to issuance of the Special Use Permit.
7. Only vehicles and equipment associated with the Equestrian Center use shall be allowed. The property shall not be used to store, stage or park unrelated vehicles or equipment.

The motion carried unanimously.

B. Disposition of Environmental Impact Assessment (1-21-22)

Moved by Hunt and supported by Lowe to approve the Environmental Impact Assessment dated January 21, 2022 with a condition that staff edits on the marked-up version included in the packet be made and the final document shall be provided to the Township prior to issuance of the Special Land Use permit, conditioned on staff editing of the marked-up version. The motion carried unanimously.

C. Disposition of Site Plan (11-5-21)

Moved by Skolarus and supported Hunt to approve the site plan dated November 5, 2021 with the following conditions:

1. Revised plans be submitted to Township staff prior to issuance of the special use permit showing the location of manure management (spread) areas.
2. Written approval from the Fire Authority and Building Department shall be provided in compliance with the Tetra Tech engineering review letter dated December 8, 2021.
3. Written approval from the Fire Authority shall be provided indicating compliance with their review letter dated November 30, 2021.

The motion carried unanimously.

4. Consideration of a request for approval of the audit services proposal from Maner Costerisan on November 12, 2021 for Fiscal Years ending March 31, 2022 through 2026.

Moved by Lowe and supported by Hunt to approve the request at a cost of \$29,900.00 for the first year with a maximum increase of \$1,000.00 for each year until the end of the contract March 31, 2026. The motion carried unanimously.

5. Consideration of Human Resources request for approval of new salary ranges and compensation strategy for Fiscal Year 2022/2023 as presented by the Human Resources manager.

Human Resource Manager Kim Lane asked for a market adjustment with a proposed 10% salary budget increase to spread among employees to get everyone to at least

Mr. Robert Beigas of 1950 Genoa Circle questioned the special zoning for the industrial area if it is an industrial property with an industrial use. Mr. Borden stated that this type of use is a special use in the industrial zoning, not a permitted use. The PID allows for flexibility of aspects of the project for both the Township and the developer.

Mr. Danve Dixon of 836 Pathway Drive asked if there is a representative of the asphalt company in attendance this evening.

Ms. Lexi Jones of 3553 Westphal Road asked to have a vote on hybrid meetings due to COVID added to the agenda.

Ms. Stacia Kroeir of 4688 Brighton Road stated she did not know what was going on next to her property when it was clear cut for the gravel pit. This is the same situation with the asphalt plant. The Township needs to make people aware of these types of projects. Chairman Grajek stated the entire meeting packets are placed on the website. Ms. VanMarter stated there is a way for residents to sign up for monthly emails.

The call to the public was closed at 7:07 pm.

OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road. The request is petitioned by the Nancy Merlo, Brighton Equestrian Club.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (11-5-21)
- C. Recommendation of Site Plan (11-5-21)

Mr. Dan LeClair of Green Tech Engineering, and Mr. and Mrs. Merlo were present.

Mr. LeClair reviewed the changes that they have made to the plans, and they believe they have met the prior concerns of the Planning Commission.

Mr. Borden reviewed his letter of December 8, 2021.

- The special land use standards of Section 19.03 of the Zoning Ordinance are generally met, although the current zoning (AG) and future land use (LDR) do not align. Furthermore, he is requesting the applicant confirm that any events conducted will be related to the commercial stable operation. The Impact Assessment states, "The types of events held in the clubhouse include but are not limited to the following". He is concerned with "but are not limited to".
- Any comments provided by the Township Engineer and/or Brighton Area Fire Authority must be addressed as part of the special land use and site plan review.
- The revised submittal demonstrates compliance with the use conditions of Section 3.03.02(h).
- The existing parking spaces, drive aisles, and driveway are surfaced with gravel; however, hard surfacing is required by Ordinance. If gravel is allowed to remain in place, the applicant must apply dust control measures, which they have noted they will do in their revised submittal.

Genoa Township Planning Commission

December 13, 2021

Approved Minutes

Ms. Byrne reviewed her letter dated December 8, 2021.

- The proposed use should be reviewed and approved by the Fire Authority to ensure there is adequate fire protection and site access for hosting 150 people in the existing building. Written approval from the Fire Authority should be provided to the Township. Mr. LeClear provided this document this evening.
- The use must be approved by the building department. Written approval from the Livingston County Building Department should be provided to the Township.
- Genoa Township Standards require that parking lots be paved with curb and gutter. Storm drainage facilities will also need to be incorporated into the parking lot improvements. The Petitioner does note proposed curb and gutter behind some of the proposed parking, but it does not appear that paving is proposed. The Planning Commission may choose to consider an aggregate parking lot as a Low Impact Development Alternative to the zoning requirements.
- Increasing the number of guests in the facility will increase the loading on the existing septic system; however, approval by the Livingston County Health Department has been provided to the Township via email.

The Fire Marshal's letter dated November 30, 2021 states all his concerns have been addressed.

The call to the public was made at 7:19 pm.

Mr. Mark Faulkner of 2496 Spring Grove is concerned with the placement of the manure. He has had a conversation with the applicant, and it has been relocated away from his property line and well, but he would like assurance that it will remain in that location as well as away from the lake.

Ms. Deborah Jones of 3553 Westphal questioned if Mr. Faulkner's concerns have been addressed.

The call to the public was closed at 7:21 pm.

Mr. LeClair advised that the Environmental Impact Assessment addresses the handling and placement of the manure. Mr. Merlo stated the manure is now 1,400 feet from Mr. Faulkner's property and it will remain there. He noted that it was never put by the lake. He added that his property is well maintained and there is not a lot of traffic or activity.

Commissioner Mortensen is requesting that the manure pile location be shown on the site plan.

Mr. Cliff Wineman is the farmer on this site. The manure is not a pile. It is spread out and then it is spread onto the cornfields.

Commissioner McCreary questioned if the applicant had a Generally Accepted Agricultural Management Practices (GAAMP) inspection performed. Ms. Merlo stated she had this done. The inspector is happy with how they handle their procedures, and they are waiting for the report and certification.

Commissioner Rauch would like the Impact Assessment to provide more of a robust operations plan for the handling of the manure, such as a specific location and a certain distance from neighboring properties. Mr. LeClear stated that the Merlos have been operating this farm for over five years and have addressed neighbors' concerns without the need for the Township to

tell them to or give citations. He will add that information to the Impact Assessment; however, he would like to be able to have this addition completed before it goes before the Board and not have their item tabled this evening.

Commissioner Rauch referenced the types of events outlined in the Impact Assessment. Based on what is described, he is concerned that this site could become an event venue instead of a commercial riding stable. Mr. LeClair stated he and the Merlos have discussed this issue, which is why they added “but are not limited to...” so they would not be limited in the case they wanted to have their own family reunion or large party, which is done by other property owners. The Impact Assessment and an affidavit signed by Mrs. Merlo states there will not be more than 99 people at an event. Commissioner Rauch asked if the applicant would be willing to limit the number of times of year these types of large events can be held because this is in agricultural zoning. Mr. LeClair would like to limit the number of participants in an event and not the number of events.

Commissioner Rauch would like the Impact Assessment to specifically state that the fundraising event of 80-99 people will be held twice a year and all other events would stay within the 4-20 participants capacity. Mr. Merlo does not want to agree to having only two events with 80-99 people.

Chairman Grajek noted that this request is for a special use in the agricultural zoning for a commercial equestrian center and not an event center. The Township is working with the applicant to allow them to continue to do what they have been doing. Mr. LeClair suggested that the number of events with up to 99 people be limited to 12 events per year. Commissioner Rauch stated that number of events with that many people is too many for this zoning.

Commissioner McBain suggested a capacity number in between the 4-20 and 80-99 for a certain number of events per year.

Mr. LeClair suggested that the clubhouse section have a third bullet number stating, “Up to 6 events annually with a maximum number of 60 guests”. Mrs. Merlo described many of the events that are held are related to the horses. She would agree to have it state that the events are equestrian related.

Commissioner McCreary agrees to allow the gravel because walking on asphalt is not good for the horses. Mrs. Merlo agrees.

Moved by Commissioner Rauch, seconded by Commissioner Mortensen, to recommend approval of the Special Use Application for the Brighton Equestrian club at 7318 Herbst Road, south side of Herbst Road, conditioned upon the following:

- The events mentioned on Page 3 of the Environmental Impact Assessment shall be updated with hours of operation to end at 9 pm.
- The “Types of Events” shall include a “Definition” Section to state, “related specifically to commercial stable use” and the “Types of Events” shall be:
 - BCC club training and meeting events: Typically, 4-20 people, events are typically 2 hours in duration anytime between 9 am and 9 pm.
 - Louie R Merlo Foundation fundraising events: Typically, 80 – 99 people, held no more than twice per year between 5 and 11 PM.
 - No more than six equestrian related events shall be held annually with a maximum of 60 guests ending at 11 pm.

- The petitioner agrees that the operations of the spreading of manure be offset from the boundaries of the property 100 feet to diminish the potential negative impacts on adjacent property owners.
- The GAAMP Certification shall be submitted to the Township.
- The Planning Commission recognizes the affidavit dated 12/13/21 from Nancy Merlo for the limit of 99 participants at an event.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner McCreary, to recommend approval of the Environmental Impact Assessment for the Brighton Equestrian club at 7318 Herbst Road, south side of Herbst Road, conditioned upon the following:

- The events mentioned on Page 3 of the Environmental Impact Assessment shall be updated with hours of operation to end at 9 pm.
- The “Types of Events” shall include a “Definition” Section to state, “related specifically to commercial stable use” and the “Types of Events” shall be:
 - BCC club training and meeting events: Typically, 4-20 people, events are typically 2 hours in duration anytime between 9 am and 9 pm.
 - Louie R Merlo Foundation fundraising events: Typically, 80 – 99 people, held no more than twice per year between 5 and 11 PM.
 - No more than six equestrian related events shall be held annually with a maximum of 60 guests ending at 11 pm.
- The petitioner agrees that the operations of the spreading of manure be offset from the boundaries of the property 100 feet to diminish the potential negative impacts on adjacent property owners.
- The GAAMP Certification shall be submitted to the Township.
- The Planning Commission recognizes the affidavit dated 12/13/21 from Nancy Merlo for the limit of 99 participants at an event.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner McBain, to recommend approval of the Site Plan dated November 5, 2021 for the Brighton Equestrian club at 7318 Herbst Road, south side of Herbst Road, conditioned upon the following:

- The gravel driveway is acceptable to the Planning Commission as it is safer for the horses, zoned for agricultural and because appropriate dust control measures have been included in the impact assessment.
- The petitioner agrees that the operations of the spreading of manure be offset from the boundaries of the property 100 feet to diminish the potential negative impacts on adjacent property owners. The site plan shall be revised to show the 100’ setback for manure management locations.
- Any comments within Tetra Tech letter December 8, 2021 and the Brighton Area Fire Authority’s letter dated November 30, 2021 be addressed

The motion carried unanimously.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
OCTOBER 12, 2021
6:30 P.M.
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Jeff Dhaenens, Jim Mortensen, Marianne McCreary, Eric Rauch and Glynis McBain. Also present were Michael Archinal, Township Manager; Brian Borden of SafeBuilt Studio; and Gary Markstrom of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC: The call to the public was made at 6:31 pm with no response.

PRESENTATION BY LIVINGSTON COUNTY PLANNING COMMISSION

Ms. Kathleen Klein-Hudson, the Director of the Livingston County Planning Department, and Mr. Dennis Bowdoin, who is on the County Planning Commission, were present. Ms. Klein-Hudson provided an update of the Planning Department, including changes to their submission deadlines, specific projects they are working on, and a current Board vacancy. She also stated that the new Filmore park has been very busy throughout the pandemic and they are gathering data on trail usage and vehicle traffic.

OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road. The request is petitioned by the Nancy Merlo, Brighton Equestrian Club.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (5-1-19)
- C. Recommendation of Site Plan (7-16-21)

Ms. Nancy Merlo, Mr. Clay Thomas, and Daniel LeClair of Greentech Engineering were present.

Mr. Thomas stated that their requested use complies with the Township Ordinance and the Right To Farm Act. This is a very beautiful facility and it is a great use of the site, keeping with the agricultural zoning. They have received the review letters. They would like to discuss these this evening. They will be meeting with the Fire Department regarding the comments in their letter. They will meet all of their requirements.

While the ordinance speaks to a hard surface, the ordinance allows for the Planning Commission to waive this requirement. They would like to keep the existing gravel surfaces instead of asphalt. The gravel is more environmentally friendly. There was a comment regarding cleaning up equipment stored on the site. The site is very neat and orderly. The equipment is stored inside or neat and orderly on the site if outside. They are not seeking to expand the site or its use or add additional buildings, etc.

Mr. Borden reviewed his letter dated September 8, 2021.

- The special land use standards of Section 19.03 are generally met, though the current zoning (AG) and future land use (LDR) do not align. Furthermore, we request the applicant provide additional information regarding the frequency of events.
- Any comments provided by the Township Engineer and Brighton Area Fire Authority must be addressed as part of the special land use and site plan review.
- The revised submittal demonstrates compliance with the use conditions of Section 3.03.02(h).
- The existing parking spaces, drive aisles, and driveway are surfaced with gravel, though hard surfacing is required by Ordinance; however, the Planning Commission can allow the gravel to remain as an alternative paving material. If gravel is allowed to remain in place, the applicant must apply dust control measures (as noted in the revised submittal).
- An internal drive aisle does not provide sufficient width for two-way travel. It must either be widened to 24' or signed for one-way travel only.
- The applicant should confirm that the "curb carts" are sufficient to handle the refuse generated by the number of people anticipated (maximum occupancy of 150 noted).
- Township Staff has requested that the applicant be required to clean up equipment stored on the site as part of this project/review process.
- There are new(er) structures visible on aerial photos that are not depicted on the site plan (pasture areas, a barn, and a pavilion).

Mr. Markstrom reviewed his letter dated September 2, 2021

- The proposed use should be approved by the Fire Authority to ensure there is adequate fire protection and site access for hosting 150 people in the existing building. Written approval from the Fire Authority should be provided to the Township.
- The use must be approved by the building department. Written approval from the Livingston County Building Department should be provided to the Township.

- The aerial of the property shows a second building at the back of the site to the east, but this building is not shown on the provided site plan. The site plan should depict the current site accurately.
- The petitioner provided calculations on the size of the existing pond on the site but did not provide any calculations on how the proposed improvements would impact onsite drainage. If additional impervious surface is proposed, onsite detention will be required to handle the additional drainage.
- Genoa Township Standards require that parking lots be paved with curb and gutter. Storm drainage facilities will also need to be incorporated into the parking lot improvements. The Petitioner does not propose curb and gutter behind some of the proposed parking, but it is unclear if paving is proposed. The site plan should clearly show paving limits if any are proposed. The Planning Commission may choose to consider an aggregate parking lot as a Low Impact Development Alternative to the zoning requirements.
- Increasing the number of guests in the facility will increase the loading on the existing septic system. Approval by the Livingston County Health Department has been provided to the Township via email.

Commissioner McCreary asked if this is a members' only club. Ms. Merlo said there is no membership to use her facility. Commissioner McCreary also asked if there are other events that are held there that were not provided in the application. Ms. Merlo stated it is also used as an equine therapy program.

Commissioner McCreary asked where the participants come from. Ms. Merlo stated the riding program is mostly students from Brighton Area Schools. They are local residents. She has 30 students.

Commissioner Rauch stated the Impact Assessment noted there are occasional events of up to 150 people held on this site. He asked how frequent they are held and is there any sound amplification. Mr. Thomas stated they are no more than twice per year and there is no outdoor amplification. They are around the barn and do not use the entire property. Ms. Merlo said she does not have events with alcohol and she does not host weddings. Commissioner Rauch would like the details of these events to be included in the Impact Assessment. He noted that Mr. Borden and Mr. Markstrom's concerns must be met.

Commissioner Rauch asked if there is any production of commercial farm products? Mr. Thomas said they grow corn and hay.

Commissioner Dhaenens noted there is a clubhouse that is rented to outside organizations and the applicant does not monitor what events they have. He has been on Herbst Road when there were cars parked there for an event. He noted that the neighbors are concerned with the pond and how the horse manure would affect that. Mr. Thomas stated the manure is now away from

the neighbors' property lines or the pond so this should no longer be a concern. It was addressed. He agrees with the comment regarding the rentals and there should be clear rules.

Chairman Grajek asked the applicant if they would be able to meet the requirements of the Brighton Area Fire Marshal. Mr. Thomas stated they will meet with the Fire Marshal and work to meet his concerns.

Commissioner Mortensen asked what is being changed for this application. Mr. Thomas stated the use is not changing. They are trying to "clean up this use". It has been used in this way for approximately five years.

The call to the public was made at 7:09 pm.

Mr. Kenneth Stahl of 2846 Spring Grove Drive stated he would like to leave the gravel surface instead of installing a hard surface. There was manure being spread within 50 feet of the pond so he is concerned that it could continue. He is also concerned that if there are a lot of people at a gathering on this site, the lake could be a liability. He is concerned with the label of "Commercial Stable".

Mr. Mark Faulkner of 2496 Spring Grove stated his property is to the east of the barn and for several years, they were spreading manure up to his boundary, approximately 100 feet from their well. He spoke to Nancy and it was relocated and he appreciated that. He would like assurance that it won't be moved back near his property and near the pond.

Ms. Heather McCaig 7617 Herbst stated she lives across from the western edge of the property. All interactions of the owner and the staff here have always been positive. They appear to work with the neighbors to be good neighbors.

Ms. Mary Faulkner of 2496 Spring Grove stated the view from their home looks at where the equipment is stored. She has spoken to Ms. Merlo and asked to have some screening placed around it.

Mr. Robert Johnson 2624 Spring Grove stated this is a kettle pond so there is no entrance or exit but it collects what is put in it.

Mr. Bill Kapelanski of 2636 Spring Grove Drive is concerned with the constant gun fire that occurs on this site.

The call to the public was closed at 7:19 pm.

Mr. Thomas stated the pond is not used. It is in the back of the property. The manure is now being spread approximately 1,000 feet from the pond and there is no intention of moving it from its current location.

Mr. LeClair showed the site plan explaining that there is approximately 600 feet of separation between the barn and the neighboring properties. He noted that this area is master planned for residential one-acre lots.

Commissioner McCreary asked if a GAMP inspection had been done. Ms. Merlo stated it was done in 2017 and they approved their operations. Commissioner McCreary asked if the applicant would be open to having another one done. Ms. Merlo agreed to having another inspection done.

Chairman Grajek noted that a number of residents have submitted correspondence and they were all shared with the Planning Commission.

Commissioner Rauch is not concerned with the daily activities; however, it is the other events that have 150 or more people. Is it a commercial stable or an event rental space? He would like more clarification on these events and would not be comfortable moving this request forward until that information is provided.

Commissioner Dhaenens agrees. He is concerned with the clubhouse rentals and would like to see more detailed information as noted by Commissioner Rauch.

Commissioner McBain agrees with wanting to see more information regarding the rental space and the approvals from the Fire Authority. She would like the neighbors' concerns to be addressed.

Chairman Rauch questioned the construction equipment being stored on the site. Mr. Thomas stated there is no longer any of this equipment being stored on the property.

Commissioner Mortensen stated the Impact Assessment and the site plan do not include all of the existing buildings. The applicant should submit revised documents. He would like to know the detail of where the manure pile be placed as well as where it is being spread.

The Planning Commission and petitioner agreed that this item should be postponed this evening.

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to postpone, per the petitioner's request, the recommendation for the Special Use Application, Environmental Impact Assessment, and the Site Plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road until the November 8, 2021 Planning

Commission meeting to allow the applicant to address the comments made by the Planning Commission this evening. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2... A request of a rezoning from Industrial (IND) to Planned Industrial District (PID), Planned Industrial Development Agreement, Environmental Impact Assessment and Conceptual PID site plan for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection. The rezoning includes the following parcels: 4711-08-100-009 and 4711- 05-303-015. The request is petitioned by Net Least Associates South, LLC.

- A. Recommendation of Rezoning and PUD Application
- B. Recommendation of PID Agreement
- C. Recommendation of Impact Assessment (9-1-2021)
- D. Recommendation of Conceptual PUD Plan (9-21-2021)

Ms. Abby Cooper, the attorney for the applicant, Mr. Wayne Perry, the engineer, Mr. Daren Zimmerman and Mr. Chris Smith, representing the applicant, Ms. Kathleen Gunkle, an environmental engineer, and the sellers of the abutting properties were present.

Ms. Cooper stated they are proposing to develop a state-of-the art asphalt plant on this site. The applicant runs an asphalt plant in Lansing and would like to operate one here in Livingston County. She noted that the use and the project are compatible with the surrounding neighborhood. The applicant will be bringing Toddiem Drive up to Livingston County Road Commission standards. Municipal water and a new stormwater management system will be installed and the existing outdoor storage of metal scrap will be removed as part of this project.

Mr. Perry reviewed the site plan, detailing the paving plan, building locations, site access, and the process and operations of the asphalt plant. He explained where the material is brought in and through the site to the stockpile locations. They are requesting that the Buffer Zones B requirement be waived for three sides of the property. They will meet the requirements along Toddiem Drive. Due to the existing topography, existing foliage and surrounding uses, additional plantings would be unnecessary. They are also requesting approval to store liquids on the site.

Commissioner McCreary asked if there will be a maintenance agreement for Toddiem Drive after it is paved. Mr. Perry stated it is a private drive so a maintenance agreement would need to be made between all four of the adjacent property owners.

Mr. Zimmerman showed a photograph of his existing plant. They pave the site so that they can use dust control measures. It is also swept multiple times per day. He explained the environmental requirements they must follow with the State of Michigan.

Commissioner Rauch stated that this site is the best one in the Township for this type of use. While the residential areas are not in the near vicinity to this site, he asked what the impact is on

OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a commercial stable located at 7318 Herbst Road, south side of Herbst Road, east of Hubert Road. The request is petitioned by the Nancy Merlo, Brighton Equestrian Club.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (5-1-19)
- C. Recommendation of Site Plan (7-16-21)

Chairman Grajek stated the applicant requested to have this item tabled this evening; however, a call to the public will be made.

The call to the public was made at 8:32 pm.

Mr. Bill Kapelanski of 2636 Spring Grove Drive does not understand the commercial aspect of this being requested now because they have been in business for over three years. Ms. VanMarter stated that the applicant was building a private stable for her own horses; however, after the building was completed they started having non-equestrian events at the location, such as parties, baby showers, etc. so this makes it a commercial instead of a private use.

Mr. Kapelanski stated he and his neighbors have always thought it was a commercial use. He is concerned with the horse manure seeping into the community kettle pond that they share, hearing gunshots from the property, and the traffic that is on Herbst Road.

Mr. Hugh Rowe of 2550 Spring Grove Drive stated what was built there is not compatible with the surrounding neighbors in the area. If this will be expanded and used for more events, he will be concerned.

Mr. Mark Faulkner of 2496 Spring Grove Drive has approximately ¼ mile of shared property with the applicant. The applicant is spreading manure 10 feet from their property line and their well is also in that area. He is concerned with the quality of the water in the shared kettle pond, the construction equipment that the applicant stores on her property for their cement business, and the traffic on Herbst Road.

Mr. James Rohrer of 7442 Herbst Road objects to this proposal due to the traffic, the construction equipment traffic and its storage on their property. There has been a police response at one of the weddings, and the use of holding weddings where there will be alcohol is not appropriate for the middle of a subdivision. The applicant has contacted a neighbor to request to purchase her property and expand her business.

Ms. VanMarter stated she has received all of the public letters and has forwarded them to the Commission. She has another one from another neighbor and she will be shared with the Commission in the next meeting packet.

The call to the public was closed at 8:47 pm.

Moved by Commissioner Dhaenens, seconded by Commissioner McCreary, to table the review of a Special Land Use, Environmental Impact Assessment and Site Plan for commercial stable located at 7318 Herbst Road until the Tuesday, October 12, 2021 Planning Commission meeting per the applicant's request. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2...Review of a sketch plan for a proposed trash compactor inside the existing Salvation Army building and removal of the existing dumpster enclosure located at 7000 Grand River, Brighton. The request is petitioned by The Salvation Army Southeast Michigan ARC.

A. Disposition of Sketch Plan

Ms. Courtney Rauch of the Salvation Army stated they would like to install a compactor inside the warehouse portion of the store. This would reduce truck traffic and would remove the existing dumpster enclosure. They would like to keep the parking spaces that are located in front of the proposed door for the compactor because the compactor will be changed prior to business hours. The property owner has advised they will improve the landscape as requested by the Township.

Mr. Borden reviewed his letter dated September 8, 2021.

- The only external modification is the inclusion of a new overhead door on the westerly façade.
- We suggest the space in front of the overhead door be signed/striped as no parking. He is not concerned with the parking space remaining per the reasoning noted by the applicant this evening.
- If any existing site landscaping is in poor condition, such plantings should be replaced as part of this project.

Ms. Byrne stated they have no engineering related concerns with this proposal.

Fire Marshal Rick Boisvert's letter dated September 2, 2021 stated that the fire code permits the installation of the compactor and associated dumpster to be installed within the structure as it is protected throughout with an automatic sprinkler system. The existing fire lane markings shall be maintained and evaluated at time of inspection. The fire lanes shall not be obstructed by construction materials, dumpsters, or vehicles. Signs shall be maintained to be legible and unobstructed by vegetation.

Commissioner McCreary asked what items will be put in the compactor and how it will be used. She is concerned about safety. Ms. Envoy Jaqueline stated it is a 16-yard compactor that will be used for everything that cannot be used or sold, with the exception of cloth goods, as well as

trash that is generated by the business. She advised she can provide the Township with the specifications for the compactor. This will significantly decrease their amount of trash truck traffic.

The call to the public was made at 8:58 pm with no response.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the sketch plan for The Salvation Army located at 7000 Grand River Avenue for the installation of a new trash compactor and removal of the existing waste receptacle enclosure, conditioned upon the following:

- The parking space located at the door will remain available for use
- The overhead door shall remain closed when the compactor is not being serviced.
- The requirements of the Brighton Area Fire Authority's letter dated September 2, 2021 shall be met.

The motion carried unanimously.

OPEN PUBLIC HEARING #3...Review of an amendment to a site plan in regard to landscaping for the previously approved Birkenstock Planned Industrial Development agreement for a climate control self-storage building located at 2600 Harte Drive, Brighton. The request is petitioned by James Harte.

A. Recommendation of Site Plan Amendment.

Mr. James Harte stated that landscaping supplies are difficult to obtain right now because of COVID and he is not going to be able to get those required by the approval. He is requesting that the number and size of the plantings be reduced so that they can be installed this season. He noted that the trees on the adjacent property are overgrown and block their view of his property.

Mr. Borden reviewed his letter dated September 8, 2021.

- The proposed landscape plan reduces the quantity and size of plantings required for the east, west, and south buffer zones, as well as both detention ponds.
- The proposed plan entails an overall reduction of 402 shrubs from the approved plan.
- All of the required canopy/deciduous trees are to be reduced in size from 2.5" (required) to 1.75"-2".
- The Planning Commission has the authority to waive or modify landscaping requirements, per Ordinance Section 12.02.13.

Mr. Borden noted that 290 of the 402 shrubs are around the detention ponds.

Commissioner Mortensen noted that the landscaping around the detention ponds are only able to be seen by people accessing the site and not the abutting neighbors. Commissioner McCreary agrees.



November 13, 2023

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Brighton Equestrian Club – Special Land Use and Site Plan Review #1
Location:	7318 Herbst Road – south side of Herbst, east of Huber Road
Zoning:	AG Agricultural District

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from Brighton Equestrian Club seeking special land and site plan review/approval (site plan dated 4/21/22) for a commercial stable operation.

A. Summary

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. Though the Zoning Map (AG) and Future Land Use Map (Low Density Residential) do not align, the proposal is compatible with the goals of the Master Plan.
- c. In order to make favorable findings related to compatibility and impacts, the use conditions of Section 3.03.02(h) must be met to the Commission’s satisfaction.
- d. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

2. Commercial Stable Use Conditions (Section 3.03.02(h)):

- a. The submittal demonstrates compliance with the applicable use conditions.

3. Site Plan Review:

- a. The Commission may allow gravel surfacing to remain for the drives and parking areas, provided dust control measures are applied (as noted in the submittal).
- b. The Commission may wish to include conditions regarding storage of vehicles and equipment, similar to the 2022 conditional approval.

B. Proposal/Process

The applicant proposes a commercial stable, which requires special land use approval in accordance with Table 3.03 of the Township Zoning Ordinance. The use conditions of Section 3.03.02(h) also apply to the request.

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth a recommendation on each to the Township Board following a public hearing.

The request before the Planning Commission was previously heard (in December of 2021) and ultimately approved by the Township Board on February 21, 2022 (with conditions).

However, the conditions of said approval were not addressed in the timeframe allowed by Ordinance, so the special use permit was not issued and the previous approval is no longer valid.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site as Low Density Residential, which is intended for single-family residential uses on lots with at least 1-acre of area.

In this instance, the current zoning (AG) and Master Plan (LDR) designations do not align. As such, the proposed use would not be deemed compatible with the Future Land Use Map; however, this is due more to an inconsistency between the Zoning Ordinance and Master Plan than the use itself.

Additionally, the Plan includes a goal to “accommodate a variety of land uses that are located in a logical pattern and complement community goals, the surrounding land uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.” The proposal is generally compatible with this goal.

So, while not entirely consistent with the Master Plan, there are elements that can be viewed as compatible.

- 2. Compatibility.** The subject area is sparsely developed with a mix of agricultural and single-family residential uses on relatively large lots.

Given the overall size of the subject site (95 acres) and the fact that the proposed use is generally confined to a central portion of the property with large setbacks, we are generally of the opinion that the proposed use will be compatible with the surrounding area.

As discussed during the previous review, the submittal identifies the following events:

- Club training and meeting events – 4-20 people; 2 hours in duration between 9AM and 9PM; directly related to the commercial stable/equestrian use;
- Louie R Merlo Foundation fundraising events – 80-99 people; no more than twice per year; between 5PM and 11PM; and
- Equestrian related events – no more than 50 guests; up to 6 events per year; ending by 11PM.

The events described above are consistent with the conditional approval granted by the Township Board in February of 2022.

3. **Public Facilities and Services.** The site is served by a private well and septic system, though the Commission should consider any comments provided by the Township engineering consultant and/or Brighton Area Fire Authority.
4. **Impacts.** The use conditions of Section 3.03.02(h) are intended to limit impacts of the proposal upon the site and surrounding properties.

Provided these conditions are met, surrounding properties are not expected to be adversely impacted by the proposal.

5. **Mitigation.** If further concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions

Commercial stables are subject to the use conditions of Section 3.03.02(h), as follows:

1. **The number of permitted animals shall not exceed the limits in (g)(2) above.**

Based on the size of the property (95 acres), the Ordinance limit on the number of horses is 95. The submittal notes that 34 horses are kept on property.

2. **All buildings wherein animals are kept shall not be less than one hundred (100) feet from any occupied dwelling or to any adjacent building used by the public.**

The submittal states that the main building is more than 630 feet from the neighboring residence to the east.

3. **When animals are fed hay and oats or other feed outside of a building, the feeding area shall be located not less than one hundred (100) feet from any occupied dwelling or any adjacent building used by the public. Corrals where animals graze only shall not be considered feeding areas.**

Based on the submittal materials, this standard is met.

4. **Stables shall be enclosed by a suitable fence, and shall be maintained so that odor, dust, noise or water drainage impact to adjoining premises shall be minimized in accordance with accepted agricultural management practices.**

Based on the submittal materials, this standard is met.

E. Site Plan Review

1. **Dimensional Requirements.** The site plan demonstrates compliance with the dimensional standards of the AG District (including setbacks and building heights).
2. **Building Materials and Design.** The project is exempt from the building requirements of Section 12.01.
3. **Parking.** The plan notes a maximum occupancy of 99 people and depicts a total of 51 parking spaces.

The resulting ratio of nearly 1 space per 2 people of maximum occupancy is well within the 1:3 requirement for a place of worship, which is a reasonable comparison since Article 14 does not provide a parking calculation for a commercial stable.

(This is the same conclusion made during the 2022 review.)

The parking spaces, drive aisles, and driveway are surfaced with gravel. Section 14.06.01 requires hard surfacing; however, the applicant requests to retain the existing gravel surfacing.

Gravel was allowed to remain as part of the 2022 approval so long as appropriate dust control measures were in place.

The submittal materials note that dust control measures will be applied twice per year, and more if needed.

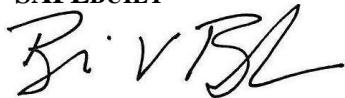
4. **Vehicular Circulation.** The site plan depicts driveway and drive aisle widths sufficient for two-way travel.
5. **Waste Receptacle and Enclosure.** The site plan states that “refuse is hand carted to the street for pickup.”
6. **Landscaping.** The site contains relatively large natural areas with mature trees that will not be altered. No additional landscaping is proposed.
7. **Exterior Lighting.** Site lighting is limited to existing wall mounted fixtures on the building, which are depicted in the photographs on Sheet 3. The plan also states that no new lighting is proposed.
8. **Additional Considerations.** The Township Board approval in 2022 included the following conditions (not already addressed above):
 - Only vehicles and equipment associated with the Equestrian Center use shall be allowed.
 - The property shall not be used to store, stage or park unrelated vehicles or equipment.

The Commission may wish to include these conditions if a favorable recommendation is considered.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT



Brian V. Borden, AICP
Michigan Planning Manager



November 13, 2023

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Brighton Equestrian Club
Special Use Review No. 1**

Dear Ms. Ruthig:

Tetra Tech conducted a review of the Brighton Equestrian Club special use application submitted on November 1, 2023. The plans by Greentech Engineering on behalf Brighton Equestrian Club. The development includes 97 acres at 7318 Herbst Road with an existing 7,040 square foot stable and arena building and an additional smaller building to the east of the larger barn. The petitioner is requesting to use their existing building for horse related member events. The application was previously approved with conditions April 22, 2022, and has been resubmitted to demonstrate compliance with those conditions. We offer the following comments for your consideration:

GENERAL

1. The provided site plan has been updated to include manure spreading locations, which was a condition of the previous approval.

TRAFFIC AND PAVEMENT

1. Genoa Township Standards require that parking lots be paved with curb and gutter. Storm drainage facilities will also need to be incorporated into the parking lot improvements. The Petitioner does note proposed curb and gutter behind some of the proposed parking, but it does not appear that paving is proposed. The Planning Commission may choose to consider an aggregate parking lot as a Low Impact Development Alternative to the zoning requirements.

We recommend the above comments be addressed by the Petitioner to the Township's satisfaction prior to approval. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

November 15, 2023

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Brighton Equestrian Club - Special Use
7318 Herbst Road
Genoa Twp., MI

Dear Amy:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on November 1, 2023, and the drawings are dated November 5, 2021 and revised April 21, 2022. The project is based on an agricultural horse stable that is petitioning for commercial operating approval. At the time of the initial construction, various code related items were loosely addressed under the pretense of an agricultural exemption from fire and building codes. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously cited concerns and code requirements related to the Special Land Use have been addressed by the applicant. The fire authority has no additional concerns related to the proposed Special Land Use as a commercial stable complying with the conditions cited in the Impact Assessment and application documents.

This approval is not encompassing of all code requirements related to the daily building use and maintenance.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

Owner Affidavit: Brighton Equestrian Club - "East Building Only"

Affidavit Attesting that the East Building "Horse Stables and Horseback Riding Arena" on the Qualified Agricultural Property Shall be restricted as follows:

Activities in the east building are restricted to the sheltering of horses and horseback riding, retail trade in any manner is not permitted. Access to the east building will be restricted to Brighton Equestrian Club staff, horse boarders/riders, riding instructors. Access by the general public to the east building is not permitted and signage will be posted at the exterior of the east building and interior of the west building noting such restriction. Potential horse boarders/riders requiring a tour of the east building must be guided by Brighton Equestrian Club staff. Furthermore, the owner acknowledges that events similar to a horse show, horse competition, barn wedding etc. are not permitted in the east agricultural building.

7318 Herbst Rd. Brighton, MI 48116 Livingston County, Genoa Township, Nancy Merlo, Property ID Number 4711-24-100-014, Legal Description (attached)

CERTIFICATION & NOTARIZATION (Notarization necessary for recording with Register of Deeds)
I certify that the information above is true and complete to the best of my knowledge. I further certify that the property noted on this affidavit currently is, and will remain, qualified agricultural property. Must be signed by owner, partner, corporate officer, or a duly authorized agent.

Dated: October 26, 2023 Signed

Nancy A. Merlo

Name Nancy A. Merlo

Title owner

Must be signed by owner, partner, corporate officer, or a duly authorized agent.

STATE OF MICHIGAN COUNTY OF Livingston. On this 26th day of October, 2023, the above-named person, Nancy Merlo, personally appeared before me, acknowledging that the persons' execution of this affidavit was that person's free act and deed and affirmed that the contents of this affidavit are true to the best of that person's information, knowledge and belief.

Mollie Barnard

Mollie Barnard, NOTARY PUBLIC, Oakland County, Michigan
Acting in Livingston County. My commission expires: 11/11/2029
Drafter's Name: Catherine A. Riesterer
Drafter's Address: 7900 Grand River Rd., Brighton, MI 48114



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF AGRICULTURE
AND RURAL DEVELOPMENT

GARY MCDOWELL
DIRECTOR

May 20, 2022

Nancy Merlo
Brighton Equestrian Club
7318 Herbst Road
Brighton, MI 48114

RE: GAAMPs Review

Dear Mrs. Merlo,

On April 22, 2022, I met with you to review the Generally Accepted Agricultural and Management Practices (GAAMPs) followed at your equine facility in Livingston County. This review was conducted by the Michigan Department of Agriculture and Rural Development (MDARD) in response to your proactive request for a GAAMPs review.

Based upon my review of the farm operation located at 7318 Herbst Road, Brighton, MI, I have concluded that.

- Your application indicated that you have 22 horses and 3 chickens, which is less than 50 Animal Units (AU). Also, your livestock facilities are more than 250' from non-farm residences and there are less than 13 non-farm residences within 1/8 Mile. Therefore, this is a category 3 site which is an acceptable location for keeping less than 50 AU of livestock.
- You submitted a manure plan with recent soil samples, manure production estimates and expected crop yields.
- You indicated that pesticides, fertilizers other than manure, and irrigation water are not used or stored at this location.
- Finally, you do not offer farm produced goods for sale at a farm market.

Based on submitted documents, discussion at the time of review and your application, MDARD has determined that at this time your farm operation appears to conform to all applicable GAAMPs.

As required by the Right to Farm Act a copy of this letter is being sent to Genoa Township and Livingston County in which the facility is located.

Thank you again for taking the time to meet with me to review your agricultural management practices, and for your efforts and commitment to maintain the positive image of Michigan agriculture. Please contact me at 517-285-1918 if you have any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jay Korson', written in a cursive style.

Jay Korson
Right to Farm Program

JK:ot

cc: Livingston County
Genoa Township

I do not think that the
BEC should be able to make
her barn into Commercial
because she does not follow
the rules that are in place
now. Nancy has parties at the
BEC but parks cars in field
across the street as well as
there is heavy Merlo Construction
traffic. Nancy is not welcome
in our neighborhood.

- Anonymous
Neighbor

GENOA TOWNSHIP

DEC - 1 2023

RECEIVED

DEC - 1 2023

NW
Dec 29 2023

Genoa Township Board -

RECEIVED

Please make this stop. The barn and its owner Nancy have not been good for our neighborhood. She came in preaching the word of God and personal barn. WHEN she knew all along she wasn't being honest. She said it to all the neighbors so we wouldn't try and stop the build. Merlo trucks everyday hauling equipment that has nothing to do with farming. Thought that wasn't allowed?

Nancy knows she is limited in her parties so being the shiftie person she is. She hides vehicles in a lot across from the little pond on Herbst and uses Mules to haul the guests in. Several of the neighbors called the police. They in turn told us to call the Township and report her.

I wouldn't use the barn for any reason or give her a dime. She has very few neighbors that support her and her barn.

She has ruined our quiet road and on a windy day ruined the area quality for those around her. Please stop the insanity

and put in place very strict rules for the Barn and please do surprise visits

you may final see what the neighbors
have all been complaining about.

Save our road. Save our air and save
our pond. All of which BEC and Lancy
ruined.

Herbst Road (side)
neighbor.

Dec 11 2023

RECEIVED

as a concerned neighbor I do not believe the BEC should be allowed any more changes. all of the neighbors have seen her have parties and park cars across in the field and use the trail road to get them to the barn.

The mvtl traffic on our road is worse than ever we were told the weren't allowed wancy and the BEC had ruined our road

Thank for your
time
Concerned neighbor

Impact Assessment for

BRIGHTON EQUESTRIAN CLUB

7318 Herbst Road

Brighton, MI 48116

Prepared by:



Date:

April 2019

Revised April 22, 2022

Grand River Self Storage
Impact Assessment Statement

Preparer (18.07.01)

This Impact Assessment was prepared by :

Nancy Merlo, Brighton Equestrian Club, 7318 Herbst Road, Genoa Township, with the help of GreenTech Engineering.

Location (18.07.02)

The site is located along the southerly side of Herbst Road between Grand River Avenue and Dorr Road. The parcel identification number is 11-24-100-014. The site is approximately 95 Acres in size. The existing Brighton Equestrian Club is located on the property including the main building that includes a Clubhouse and indoor arena, stalls, along with a second accessory barn and a pavilion with several outdoor corrals. The remaining portion of the property is predominately farm area with a woodlot located near the southeast corner of the property. An aerial drawing is attached on Exhibit A.

Impact on natural features (18.07.03)

Natural features on the site range from a woodlot near the southeasterly corner of the site approximately 13 Acres in size, to rolling terrain throughout the northern and central portion of the site. The southwesterly portion of the site is lower and relatively flat. The wooded area in the southeasterly portion of the site is rather steep falling to the east to the existing lake. There is also a creek that runs through the central portion of the site as indicated on the site plan.

The soils on the site are generally sandy to sandy loams with the exception of the southwesterly portion of the site which is lower and comprised of more seasonably mucky soils. The aerial map of the site indicates darker areas where the more wet soils are located.

The southeasterly portion of the site includes a woodlot of approximately 13 acres of wooded area consisting of predominately, oaks, maple and hickory. There are also a few tree rows throughout the site along the field borders. The remainder of the non-developed site is currently farm fields.

The vast majority of the site is either farm land or wood lot. The existing building along with the associated gravel parking lot and accessory buildings take up approximately 3.5 acres (3.5%) of the 95 Acre site.

Since there are no new improvements proposed with this application, we do not anticipate any changes to the existing site natural features as part of this application.

Impact on stormwater management (18.07.04)

Currently the rainfall runoff that leaves the site does so by flowing toward the existing ditch that traverses the central portion of the site. The southeasterly portion of the subject property drains in an

easterly direction to the existing lake. The area immediately surrounding the existing clubhouse and arena building drain toward the existing pond located adjacent to the existing driveway along the westerly side of the existing building. No new stormwater management facilities are proposed as there are no proposed activities taking place.

The site is currently stabilized, therefore no new erosion control measures are proposed.

Impact on surrounding land uses (18.07.05)

Conformance with the master plan: The surrounding land uses consist of larger acreage farmland and acreage homesites to the west, and Interstate highway I-96 to the south. The townships future land use map designates the subject parcel and all surrounding parcels as minimum one acre lots. The minimum setback requirements for the LDR (1 Acre minimum lot) are 50 feet front yard, 30 feet side yard and 60 feet rear yard. The main building is over 630 feet to the neighboring residence to the east.

Hours of Operation: The horse boarding portion of the site is a continuous operation, but the clubhouse portion of the site generally operates between 8 am and 8 pm with the occasional event ending around 9 pm or as otherwise indicated below in “Type of Events”.

Phasing: There are no proposed changes to the site as it currently exists, therefore there no phasing is anticipated.

Types of Events: The types of events held in the clubhouse currently include the following:

- BCC club training and meeting events: Typically, 4-20 people, events are typically 2 hours in duration anytime between 9 am and 9 pm and are directly related to the commercial stable/equestrian use.
- Louie R Merlo Foundation fundraising events: Typically, 80 – 99 people, held no more than twice per year between 5 and 11 PM.
- No more than six equestrian related events shall be held annually with a maximum of 50 guests ending at 11 PM.

It should be noted that the above described use and event list has been taking place for the last couple years.

Light & Noise Pollution: The subject is currently lit with building mounted lights that are down lit. With the main building being over 630 feet away, none of the ambient light from the existing building reaches the neighboring residences. The operations of the subject property include the use of mowers, tractors, equipment and vehicles as part of the normal operations for a horse farm operation. Any activities associated with the clubhouse portion of the building are held indoors, therefore there is very little ambient noise at the neighboring properties as a result of the current use.

Air Pollution: Manure from the horse barn is loaded onto a trailer inside the barn and spread evenly across certain portions of the property as explained below. The manure is then tilled into the ground regularly in areas where there is no crop growth, and spread and tilled during times of no crop growth (fall – spring). Manure is not stored in piles on the property. Upon the initial opening of the BCC, the applicant did receive requests from one neighbor to maintain a little

more distance from the neighboring properties to the manure spreading areas. Since that time, the farm spreads the manure in the area immediately northwest of the barn area (approximately 450 feet from the nearest easterly residential neighbors) and in the open field area in the western portion of the property which is approximately 700 feet from the easterly residential neighbors. No manure shall be spread any closer than 100 feet from any neighboring property line.

Dust: The applicant currently applies dust control to the driveway areas twice per year. The applicant is also willing to apply additional dust control on an as needed basis in the event of higher dust levels from extended dry periods.

In summary, the clubhouse and horse boarding/arena operations have been in operation for several years as described herein, and with no proposed change in use and/or activities, it is not anticipated that the impact on the surrounding uses will be noticed going forward.

Impact on public facilities and services (18.07.06)

This facility and its use, is not expected to have any impact on schools, police or fire. We expect on average 5-10 employees and 10-20 guests per day. We will occasionally have larger events where up to 90 guests can be expected. Parking for such events will be entirely contained on site. Furthermore, coming and going of guests will be spread out throughout the day causing unnoticeable impact on the surrounding roads.

Impact on public utilities (18.07.07)

Since the building is currently serviced by a private well and septic system, there is no impact to the townships water and/or waste water systems. The current site has received well and septic permits from the Livingston County Health Department and a Certificate of Occupancy from the Livingston County

There is currently a pond on the subject property that handles the storm runoff from the existing building and parking area. The pond was part of the original site plan approval for the project.

Storage and handling of hazardous materials (18.07.08)

No hazardous materials will be stored or handled. There are no known underground tanks on the subject property.

Traffic Impact Study (18.07.09)

Based on review of the institute of Transportation Engineers Trip Generation Manual and related studies and reports, a detailed traffic impact study is not warranted. Typical days, as noted above, will generate fewer than 30 visitors throughout the course of the day, falling far below the 100 directional trips during

the peak hour of traffic. Furthermore, on days where events of up to 150 guests are held, the peak hour of traffic would be fewer than 50 vehicle trips, as the events will be spread out throughout the day.

Historic and Cultural Resources (18.07.10)

This proposal does not involve the alteration or demolition of any structures that are 50 years old, or older.

Special Provision (18.07.11)

There are no deed restrictions, protective covenants, master deed or association bylaws encumbering the subject property.

List of Sources (18.07.12)

The sources utilized in preparing report include personal knowledge of the subject property by the applicant/owner, aerial photography and partial topographic survey as prepared by GreenTech Engineering, and the Genoa Township ordinance.

CONSTRUCTION PLANS

for

BRIGHTON EQUESTRIAN CLUB

7318 HERBST ROAD

GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SPECIAL LAND USE NARRATIVE:

THIS IS A REQUEST FOR SPECIAL LAND USE OF THE BRIGHTON EQUESTRIAN CLUB WITH CURRENT AG ZONING. THE APPLICANT SEEKS APPROVAL FOR FUTURE LAND USE ZONED AS LDR IN ORDER TO HOST EVENTS THAT CATER TO LARGE AUDIENCES. THE DESIGN OF THE SEPTIC TANK AND DRAIN FIELD CAN ACCOMMODATE A MAXIMUM OCCUPANCY OF 150 PEOPLE. THERE IS ADEQUATE PARKING ON SITE FOR EVENTS AT MAXIMUM CAPACITY.

THE HORSES ON SITE ARE KEPT IN A SEPARATE ADJOINING BUILDING IN FULLY ENCLOSED STABLES WITH 12 FOOT HIGH WALLS AND A CENTRAL SPRAY SYSTEM FOR FLY CONTROL AND ODOR CONTROL MEASURES ELIMINATING ODOR, DUST, NOISE, AND WATER DRAINAGE IMPACTS TO THE ADJACENT BUILDING. THERE ARE NO OCCUPIED DWELLINGS WITHIN 100 FEET OF THE STABLES OR OUTDOOR CORRALS.

THE PRIMARY USE OF THIS SITE REMAINS AS A FACILITY FOR BOARDING AND RIDING HORSES. TYPICAL DAILY OPERATIONS INVOLVE RIDING HORSES THROUGHOUT THE FACILITY, INCLUDING THE ACCESS DRIVE AND PARKING LOT. THE APPLICANT IS REQUESTING A WAIVER FROM ZONING ORDINANCE 14.06.01 REQUIRING PARKING LOTS AND DRIVEWAYS TO BE PAVED ALLOWING THE EXISTING GRAVEL TO REMAIN FOR THE SAFETY OF THE ANIMALS THAT WILL BE WALKING ON IT. A CHLORIDE SPRAY IS APPLIED TWICE A YEAR TO THE GRAVEL DRIVE AS A DUST CONTROL MEASURE TO PREVENT OFFSITE IMPACTS OF DUST DUE TO INCREASED TRAFFIC FROM LARGE EVENTS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 SITE PLAN

ZONING DATA:

CURRENT ZONING: AG--AGRICULTURAL
 FUTURE LAND USE: LOW DENSITY RESIDENTIAL

RESIDENTIAL: Subdivisions, Multi-Family, Commercial, Site Planning, Surveying, Boundary Surveys, Topographic Surveys, Construction Staking

GREENTECH

ENGINEERING, INC.

CIVIL ENGINEERS & LAND SURVEYORS
 51147 Pontiac Trail, Wixom, MI 48393
 Phone: (248) 668-0700 Fax: (248) 668-0701

BRIGHTON EQUESTRIAN CLUB

COVER SHEET

7318 HERBST ROAD
 GENOA TOWNSHIP
 LIVINGSTON COUNTY
 MICHIGAN

SECTION: 24
 RANGE: 5 E.

REVISED
2021-11-5 PER REVIEW
2022-4-21 UPDATE PLAN PER TWP

SEAL

STATE OF MICHIGAN

DANIEL J. LECLAIR
 ENGINEER

DATE: 7-16-2021
 DRAWN BY: RMS
 CHECKED BY: DJL

FBK: --
 CHF: MM
 SCALE: HOR 1"=80 FT.
 VER 1"= -- FT.



GENOA CHARTER TOWNSHIP APPLICATION
Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Todd Wyett 326 E. 4th Street, Royal Oak, MI 48067
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Todd Wyett 326 E. 4th Street, Royal Oak, MI 48067

SITE ADDRESS: _____ PARCEL #(s): 11-09-300-043

APPLICANT PHONE: (248) 770-8484 OWNER PHONE: (248) 770-8484

LOCATION AND BRIEF DESCRIPTION OF SITE: The site is located east of Latson Rd, north of Beck Rd and south of the I-96 eastbound on-ramp. The subject parcel is part of the previously approved Innovation Interchange PUD.

BRIEF STATEMENT OF PROPOSED USE: Within the PUD, the area west of Latson Road is planned for CAPUD use and the area east of Latson Rd is planned for ICPUD use.

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: The only change being proposed to the previously approved PUD is a modification to the highway sign. Proposed new sign detail is enclosed.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Todd Wyett

ADDRESS: 326 E. 4th Street, Royal Oak, MI 48067

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Todd Wyett of Versa Real Estate at todd@versacos.com
Name Business Affiliation Email Address

ERIC LORD ATWELL GROUP ELORD@ATWELL-GROUP.COM
BRAD STRADER CINCAR CONSULTING GROUP BRAD.STRADER@ITSC2G.COM

FEE EXCEEDANCE AGREEMENT

All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: _____ DATE: 11/3/23

PRINT NAME: Todd Wyett PHONE: (248) 770-8484

CALL TO THE PUBLIC: The call to the public was made at 6:40 pm.

Mr. Steve Morgan of 4432 Glen Eagles Court stated that Ordinance Section 12.01 gives the Planning Commission the ability to waive requirements for wetlands. This plan was reviewed 18 months ago by the Planning Commission. The other items for Item #4 could have been heard that did not affect the wetland issue.

The call to the public was closed at 6:42 pm.

OPEN PUBLIC HEARING #1... Consideration of a sketch plan for a proposed project gateway sign as part of the Versa Development (Latson Road) PUD. The proposed sign is located on vacant land (4711-09-300-040) on the south side of 1-96 at mile marker 140.2. The request is petitioned by Covenant of Faith, LLC.

A. Disposition of Sketch Plan (1-27-22)

Mr. Todd Wyett was present. He stated that the proposed sign has already been approved in the PUD Agreement.

Mr. Borden stated that the PUD Agreement states that a sign may be installed and the Planning Commission has the authority to approve it. The size and style match what was depicted in the original PUD Agreement. A site location map was not submitted with this application so he suggests asking the applicant to provide that document for the file, which would include the landscape details.

Commissioner Mortensen is concerned about deviating from Genoa Township's standard colors for the logo by approving the recommended colors as noted on Page 11 of the site plan. Also, he knows that the Planning Commission has the authority to approve this sign; however, due to its location and size, he would recommend that the Township Board review and approve it.

Ms. VanMarter stated that she, the Township Supervisor and the Township Manager all worked with the applicant to develop the design of this sign, and the Board, by approval of the PUD Agreement, authorized the Planning Commission to approve this.

Commissioner Rauch suggested that the approval of the colors on the sign be approved by Township Staff if the design is approved by the Planning Commission. There would not be a need to have the Township Board review and approve it.

The call to the public was made at 6:56 pm with no response.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to approve the sketch plan dated January 27, 2022 for a proposed project gateway sign as part of the Versa Development (Latson Road) PUD on vacant land tax ID #4711-09-300-040, with the following conditions:

- Details on landscape plantings will be provided and approved by Township Staff.
- A site location plan will be provided.
- Township Staff will approve if the Township's standard colors or the recommended ones are used for the sign.

The motion carried unanimously.

OPEN PUBLIC HEARING #2... Consideration of a special use application, environmental impact assessment and site plan for a proposed 3,750 sq. ft. office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive. The request is petitioned by Al Halliday, A & J Cartage.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2-23-22)
- C. Recommendation of Site Plan (2-23-22)

Mr. Scott Tousignant from Boss Engineering, Mr. Al Halliday of A&J Cartage, and Karl Vollmar of Vollmar and Pucci Architects were present.

Mr. Tousignant provided a summary of the topography and current use of the property and what is being proposed. It will be used primarily for truck storage and a small office building. With regard to the engineer and planner's review letters, he does not believe the existing detention basin will need to be revised to meet Livingston County Drain Commissioner's updated standards. They would like to waive the planting and berm requirements. They are not needed because of the industrial use that is adjacent to their property. They also do not feel they need to extend the greenbelt to the south.

Mr. Borden reviewed his letter dated March 8, 2022. He complimented the applicant on the improvements they made from the first submittal to the second.

1. Section 19.03 General Special Land Use Standards:
 - a. If the Commission feels the project conveys "a high-quality image," then it may be viewed as compatible with the Research and Development category of the Master Plan.
 - b. In order to make favorable findings related to compatibility and impacts, the use conditions of Section 8.02.02(b) need to be met to the Commission's satisfaction.
 - c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Section 8.02.02(b) Use Conditions:
 - a. The Commission may allow gravel surfacing of the outdoor storage yard, pending a recommendation from the Township Engineer.
 - b. It is not clear that the height of materials stored outdoors (13.5') will be fully screened along the southerly side lot line.
3. Site Plan Review:
 - a. Building materials and colors are subject to Planning Commission review, and the applicant is to present samples for the Commission's consideration.



December 7, 2023

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Innovation Interchange PUD – Project Gateway Sign
Location:	Vacant parcel – north side of Beck Road, south of I-96
Zoning:	ICPUD Interchange Commercial Planned Unit Development

Dear Commissioners:

At the Township’s request, we have reviewed the proposal to construct the project gateway sign for the Innovation Interchange PUD.

Background/Process

Per Paragraph 7 of the PUD Agreement, a project gateway sign is allowed north of Beck Road in the North Area of the development.

The Agreement further states that “the final Project gateway sign shall be subject to Planning Commission review and shall be approved if it contains the same quality and nature of materials and contains the Genoa Township gateway messaging in the same general character and design shown in Exhibit 7.”

Accordingly, Exhibit 7 of the Agreement includes a graphic depiction of the intended sign design and materials.

At their March 14, 2022 meeting, the Planning Commission granted conditional approval of the project gateway sign; however, the approved sign was never constructed and that approval has lapsed.

Review Comments

The current submittal does not include an exact location for the proposed sign, though it is generally situated in the northerly portion of the Beck Road property, near I-96.

One of the conditions of the previous approval was for the applicant to provide a site location map. The applicant should either provide this information, or the Commission may wish to include it as a condition.

There are also slight differences between the proposal and Exhibit 7 – most notably, the proposed sign is taller and contains less stone (along the side of the sign).

We suggest additional discussion regarding the proposed change in materials, though the height is generally consistent with the previously approved sign (30’-7.25” current; 30’-5” previous).

With respect to the materials discussion, the applicant should provide the rationale behind this change for the Commission’s consideration.

The submittal also depicts a landscaped berm, though no details are provided.

This was also a condition of the previous approval. Similar to comments above, the applicant should either provide this information, or the Commission may wish to include it as a condition.



Aerial view of site and surroundings (looking north)

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

Brian V. Borden, AICP
Michigan Planning Manager

New Custom Highway Sign



2240 Lansing Ave, Jackson, MI 49202
 1800 S. Cedar St., Lansing, MI 48910
 663 S. Mansfield, Ypsilanti, MI 48198
 517 784 3720 | www.johnsonsign.com



SUMMER VIEW - CURRENT CONDITION



SUMMER VIEW - PROPOSED IMPROVEMENTS WITH LANDSCAPED BERM (BY OTHERS)



INTERNATIONAL SIGN ASSOCIATION



UL
 THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).
 -SUITABLE FOR WET LOCATIONS-
 IN ACCORDANCE WITH NEC 600

JOHNSON SIGN CO DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

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# OF SETS	1	RETURN DEPTH	32"	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	DARK BRONZE	TYPE OF INSTALL	GROUND MONUMENT	TRANSFORMER	N.A.	DATE	01/27/22
RETURN COLOR	TO MATCH	TYPE OF FACE	ALUMINUM	BALLAST	N.A.	JOB NO.	
RETAINER COLOR	N.A. (BLIND)	RACEWAY D. H.	L. N.A.	COMMENTS:		JOB NAME	
LED COLOR	WHITE	HOUSINGS	N.A.	SALESPERSON:	JIM JOHNSON	ADDRESS:	I-96 & LATSON GENOA TWP., MI

APPROVED BY: _____
 DATE: _____

New Custom Highway Sign



OPTION 1 CARVED & COATED HIGH DENSITY URETHANE FAUX STONE BASE
 FABRICATED DIMENSIONAL DIVIDERS **SCALE 1/4" = 1'**



2240 Lansing Ave, Jackson, MI 49202
 1800 S. Cedar St., Lansing, MI 48910
 663 S. Mansfield, Ypsilanti, MI 48198
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# OF SETS	1	RETURN DEPTH	32"	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	DARK BRONZE	TYPE OF INSTALL	GROUND MONUMENT	TRANSFORMER	N.A.	DATE	03/03/23
RETURN COLOR	TO MATCH	TYPE OF FACE	ALUMINUM	BALLAST	N.A.	JOB NO.	220027
RETAINER COLOR	N.A. (BLIND)	RACEWAY D. H.	L. N.A.	COMMENTS:		JOB NAME	220027-03
LED COLOR	WHITE	HOUSINGS	N.A.	SALESPERSON:	JIM JOHNSON	ADDRESS:	I-96 & LATSON GENOA TWP., MI

APPROVED BY:

DATE: _____

New Custom Highway Sign

PREVIOUSLY APPROVED SIGN



AS SEEN FROM EASTBOUND ENTRANCE RAMP



EASTBOUND VIEW



WESTBOUND VIEW



2240 Lansing Ave, Jackson, MI 49202
1800 S. Cedar St., Lansing, MI 48910
663 S. Mansfield, Ypsilanti, MI 48198
517 784 3720 | www.johnsonsign.com



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HIGHWAY SIGN

SCALE 1/4" = 1'

*SHOWN WITH GENOA COLOR STANDARDS - SEE DAY / NIGHT VIEW FOR RECOMMENDED COLORS

PREVIOUSLY APPROVED SIGN

Click Here!



www.johnsonsign.com

# OF SETS	1	RETURN DEPTH	32"	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	DARK BRONZE	TYPE OF INSTALL	GROUND MONUMENT	TRANSFORMER	N.A.	DATE	01/27/22
RETURN COLOR	TO MATCH	TYPE OF FACE	ALUMINUM	BALLAST	N.A.	JOB NO.	
RETAINER COLOR	N.A. (BLIND)	RACEWAY D. H.	L. N.A.	COMMENTS:		JOB NAME	GENO-INOV-012722-5
LED COLOR	WHITE	HOUSINGS	N.A.	SALESPERSON:	JIM JOHNSON	ADDRESS:	I-96 & LATSON GENOA TWP., MI

APPROVED BY:

DATE: _____

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
November 13, 2023**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Diana Lowe, Eric Rauch, Tim Chouinard, Glynis McBain, Marianne McCreary, and Greg Rassel. Also present were Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Rauch, seconded by Commissioner Rassel, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

CALL TO THE PUBLIC:

The call to the public was made at 6:31 pm with no response.

OPEN PUBLIC HEARING #1... Consideration of a special land use application, environmental impact assessment and site plan to allow for a proposed automatic car wash located on vacant parcel #4711-04-300-017 Latson Road, east side of Latson Road, south side of Grand River Avenue. The request is petitioned by CWP West, LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (10-26-23)
- C. Recommendation of Site Plan (10-25-23)

Mr. Brent LaVanway from Boss Engineering, Ms. Nicole Kastern of Mister Car Wash, and Mr. Frank Jarbou of CWP West, LLC were present.

Mr. LaVanway provided a review of the proposed project, noting this request is one part of a larger parcel and the second item on tonight's agenda will be for the other part. Ms. Kastern showed colored elevations and sample building materials.

Commissioner Rauch noted that the sign ordinance does not allow the number of signs shown. The proposed materials and colors meet the ordinance; however, while this item and Agenda

Item #2 are separate items, he suggested the two buildings use the same colors. The color tones proposed for Item #2 are lighter and more earth toned. They are more consistent with the surrounding buildings. The blue color proposed will need to be made darker, which is what was recently requested of a previous applicant.

Ms. Kastern stated they are two different brands and use different colors. She agreed that they do meet the ordinance.

Mr. Borden reviewed his letter dated November 8, 2023.

1. Special Land Uses (Section 19.03):
 - a. The special land use standards of Section 19.03 are generally met.
 - b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 7.02.02(l) need to be met to the Commission's satisfaction.
 - c. We suggest the applicant restrict the hours of operation to ensure compliance with the Township's Noise Ordinance. The hours of operation are 7 am to 10 pm. Ms. Kastern stated they are open from 7 am to 8 pm. Mr. Borden would like this added to the Impact Assessment.
2. Use Conditions (Section 7.02.02(l)):
 - a. Landscaping is proposed in lieu of the required 6 foot solid fence or wall adjacent to the residential district. The Commission may allow this substitution, although a berm is not included.
3. Site Plan Review:
 - a. The revised building elevations are generally compliant with the standards of Section 12.01; however, the west elevation is slightly deficient in the amount of brick or stone. It is required to be 70 percent.
 - b. Building materials, design and color scheme are subject to review and approval by the Planning Commission.
 - c. The proposed sidewalk easement is subject to review and approval by the Township Engineer.
 - d. Consideration of the vacuum spaces as parking spaces results in excess of the 120 percent of parking allowed, which requires Planning Commission approval. He noted that if those spaces are not considered as parking, then they meet the ordinance.
 - e. The landscape plan is deficient in width for the Latson Road greenbelt due to the shape of the property. As noted above, the wall or berm requirement for the easterly buffer zone is not proposed.
 - f. The waste receptacle details must denote the required concrete base pad.

Additionally, the applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

Mr. LaVanway stated there is currently a berm with plantings on the east side of the site and they added additional evergreens. Their property is three feet lower than the adjacent residential

property and this causes a drainage issue so he is not sure adding a wall is the best solution. Commissioner Rauch is considering the residents to the east of the site.

Ms. Byrne reviewed her letter dated November 8, 2023.

1. The petitioner should obtain approval from the Livingston County Road Commission (LCRC) for the proposed site driveway prior to final site plan approval.
2. The impact assessment provides a predicted water and sewer usage based on the Township's REU table, which provides 25.2 REUs per car wash with recycle. Historic water usage was also provided from other Mister Car Wash facilities with an average usage of 21,277 gallons per day. This average water usage from similar facilities should be considered when calculating the REU amount for the proposed development.
3. The petitioner is proposing a closed pipe type underground detention basin comprised of four 48-inch diameter pipes to provide 12,489 cubic feet of storage. The current car wash, site drive, and parking improvements do not allow enough space for any at-grade stormwater detention or retention.
4. The proposed underground detention basin will tie into the existing storm sewer on Latson Road. The petitioner will need to obtain approval from the LCRC to connect to their storm sewer and said approval should be provided to the Township prior to final site plan approval. In the past, the LCRC has not allowed any increase in storm volume into their storm sewer. The underground detention design has been revised since the last submittal to allow for additional infiltration to limit the storm volume that would outlet into the LCRC sewer.
5. The petitioner has provided a traffic impact study for the proposed development. The study included expected traffic volumes from other proposed developments in the area in the no-build condition and recommended signal timing and length be modified at the Grand River Avenue and Latson Road for both the no-build and build condition. The Livingston County Road Commission will review the traffic impact study as part of their approval for the proposed site driveways and they will need to review the recommendation of optimized signal timings at the Grand River Avenue and Latson Road intersection.

Mr. LaVanway stated they have worked with the LCRC regarding the entrances and exits for both parcels.

Mr. LaVanway stated he has seen the review letter from the Brighton Area Fire Authority Fire Marshal dated November 3 and they will comply with all of their requests.

Per Chairman Grajek's request, Mr. LaVanway provided a review of the traffic impact study, which was done for both parcels being developed. There is a rating of "F" for both the morning and afternoon peak times in the current conditions. With this development, it shows these same ratings of "F" during peak times as well as during other times. All of the others were within the acceptable level. The primary suggestion from the traffic engineer is to change the signal timing at Latson and Grand River. This would need to be coordinated between the LCRC and MDOT.

Commissioner McBain questioned the site signage directing vehicles to the wash area or the vacuums. Ms. Kastern stated this signage would be part of the site plan. Commissioner McBain is concerned with the traffic flow inside the site.

Commissioner Rauch asked for details of the vacuums, the monument signs, and the landscaping on the Latson Road side for both locations.

The call to the public was made at 7:32 pm.

Ms. Denise Pollicella of 4200 Sweet Road stated she is the co-founder and Executive Director of the Coalition to Stop the Latson PUD. She is speaking on behalf of over 600 members regarding the car wash and multi-tenant commercial projects proposed this evening. Her group has been publicly maligned as anti-development. That is not their purpose. They are in favor of measured, thoughtful and responsible development in areas where it is appropriate. Neither of these proposals require a rezoning or intrusion into the residential area and they are in the right location. They do not agree that the township should be approving additional new commercial or industrial development when there are so many vacancies on the Latson Grand River corridor. Many areas on Grand River are blight and the township is not doing enough to encourage redevelopment. They do not have any objections to these proposed developments and they should be granted special land use permits.

Ms. Deborah McCormick of 2650 Springhill Drive is concerned about the traffic on Latson Road due to the car wash. This is a dangerous area. There is a car wash one mile down the road. She appreciates the time that is being taken by the Planning Commission reviewing this development.

Mr. Saman Abro with the car wash on Grand River stated that there are already eight car washes in Howell. Car washes can have up to 300 cars per hour and that will generate a lot of traffic. Antonio stated Mister Car Wash does not want to service the community. There are social media pages with complaints against them.

The call to the public was closed at 7:39 pm.

Commissioner Rauch suggested having this item tabled to allow the applicant to address the outstanding issues discussed this evening, specifically:

- Updating the renderings to show materials and colors more consistent with the proposed project to the south, adding additional glass along the west elevation, removing the blue material, and updating the number of signs to meet the ordinance.
- He is recommending a screen wall along the east side of the site be installed to limit the adverse impacts on the adjacent residential property.
- The hours of operations should be added to the Environmental Impact Assessment.
- Provide photographs of the vacuums in a subdued color.
- Creative landscaping along Latson Road.
- Details of the proposed ground sign.
- Updated traffic study to include the current residential development on Latson Road in Oceola Township. Commissioner McCreary agrees with Ms. McCormick regarding the traffic in that area.

- The LCRC's requirements for the stormwater and their response to the traffic impact study and what improvements they agree to make.

Commissioner McBain suggested reducing the number of vacuum bays, she reiterated her concerns regarding the traffic flow on the site and agrees with additional landscaping being needed on Latson Road.

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to table Open Public Hearing Item #1 petitioned by CWP West, LLC. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2... Consideration of a special land use application, environmental impact assessment and site plan to allow for a proposed multi-tenant commercial center including a drive through coffee shop and outdoor seating restaurant located on vacant parcels#:4711-04-300-017 and 4711-09-100-017 Latson Road, east side of Latson Road, south side of Grand River Avenue. The request is petitioned by Kevin Bahnam, 1015 Latson Road LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (10-26-23)
- C. Recommendation of Site Plan (10-25-23)

Mr. Brent LaVanway of Boss Engineering, Mr. Jeff Klatt, the architect, and Mr. Frank Jarbou of CWP West, LLC were present.

Mr. LaVanway provided a review of the project. This is a multi-use tenant building on the site adjacent to the previous agenda item and one of the tenants will include a drive thru. There is a partial existing wall on the east side and they are again proposing to add additional evergreens where there is no wall. They will be requesting two variances from the ZBA, one is for the location of the parking and the proximity of a drive thru to an existing drive thru.

Mr. Klatt showed colored building renderings and material samples. The building is modern with clear lines and the colors are consistent with other buildings in the area.

Mr. Borden reviewed his letter dated November 8, 2023.

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. In order to make favorable findings related to compatibility and impacts, the conditions of Sections 7.02.02(i) and (j) and the buffer zone requirements of Section 12.02.03 must be met to the Commission's satisfaction.
- c. If a favorable recommendation is made, the Commission may wish to include a condition that a sound study be provided for the drive-through speaker system when the tenant is known.

2. Drive-Through Use Conditions (Section 7.02.02(j)):

- a. The 500-foot spacing between drive-throughs is not met. The applicant states that they will seek a variance from ZBA.

3. Site Plan Review:

- a. The applicant will seek a variance from ZBA for the deficient front yard parking setback.
- b. He suggested the applicant add some vertical elements to help break up the overall building length of the rear façade.
- c. Building materials and color scheme are subject to review and approval by the Planning Commission.
- d. The proposed driveway does not meet the spacing requirements of Section 15.06.02 of the township ordinance.
- e. The lighting plan must be revised to match the currently proposed site plan. It was not updated when the outdoor seating was removed.
- f. The landscape plan is deficient in width for the Latson Road greenbelt and width and screen wall for the easterly buffer zone.
- g. There are minor discrepancies between the landscape plan and table that need to be corrected.

Additionally, the applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

Ms. Byrne reviewed her letter dated November 8, 2023, noting they are the same as the previous site and that LCRC approval will be needed for the drive and the stormwater.

1. The petitioner should obtain approval from the Livingston County Road Commission (LCRC) for the proposed site driveway prior to final site plan approval.
2. The Petitioner is proposing a closed pipe type underground detention basin comprised of five 42-inch diameter pipes to provide 16,890 cubic feet of storage. The proposed building, site drive, and parking improvements do not allow enough space for any at-grade storm water detention or retention.
3. Soil borings and infiltration testing should be provided within the proposed detention basin footprint and should show the documented high ground water elevation. Soil borings shall be provided to a depth of at least 20 feet. The Petitioner has noted that no geotechnical work has been completed for the site yet, but the geotechnical from the northern parcel was used for the current design. The infiltration rate and soil borings being used for the current design should be confirmed prior to construction of the storm system.
4. The proposed underground detention basin will tie into the existing storm sewer on Latson Road. The Petitioner will need to obtain approval from the LCRC to connect to their storm sewer and said approval should be provided to the Township prior to final site plan approval. In the past the LCRC has not allowed any increase in storm volume into their storm sewer. The underground detention design has been revised since the last submittal to allow for additional infiltration to limit the storm volume that would outlet into the LCRC sewer.

5. The Petitioner has provided a traffic impact study for the proposed development. The study included expected traffic volumes from other proposed developments in the area in the no-build condition and recommended signal timing and length be modified at the Grand River Avenue and Latson Road for both the no-build and build condition. The Livingston County Road Commission will review the traffic impact study as part of their approval for the proposed site driveways and they will need to review the recommendation of optimized signal timings at the Grand River Avenue and Latson Road intersection.

Mr. LaVanway stated they have addressed all of the concerns of the Brighton Area Fire Authority Fire Marshal's letter dated November 3, 2023.

The call to the public was made at 8:08 pm with no response.

Commissioner Rauch complimented the architect on the building design, materials, and colors. He stated that the petitioner is proposing a building that is too large for this site. The size is what necessitates the need for the 10 parking spaces in the front of the site and the need for two variances.

Mr. Jarbou stated they are proposing to develop a great project with a great design and materials, but there is a financial aspect. The property is very narrow and they have met most of the requirements. Commissioner McCreary noted that a financial hardship is not a reason to be granted a variance.

Commissioner Rauch noted that this site is proposing asphalt and Mister Car Wash is proposing concrete. He would like them to be the same. He is also concerned with the location of the driveways, and suggested the applicant complete the sidewalk to meet the one in front of the apartment complex.

Mr. Borden noted that the large number of parking spaces is due to the proposed uses of two restaurants. If this is changed, then the parking would be reduced and there would not be a need to have it in the front.

Mr. Lavanway stated he would like to redesign this project so that the curb cuts and traffic flows of the two sites work together.

The suggested changes to be made were noted as:

- Meeting the requirements for no parking in the front by reducing the size of the building or changing the uses.
- Changing the driveway accesses.
- Connecting the sidewalk to meet the existing sidewalk in front of the apartment complex.
- Update the rear building elevations as suggested by Mr. Borden.
- Provide details regarding site signage, the monument sign, and landscaping along Latson Road.

Moved by Commissioner Rauch, supported by Commissioner Lowe, to table Open Public Hearing Item #2 petitioned Kevin Bahnam of 1015 Latson Road, LLC. **The motion carried unanimously.**

The Planning Commission took a five minute break at 8:25 pm.

OPEN PUBLIC HEARING #3... Consideration of a sketch plan application, environmental impact assessment and sketch plan for proposed bike trails located at the Fillmore Park. The park is located at 7075 McClements, northwest corner of McClements and Kellogg Roads. The request is petitioned by the Livingston County Planning Department.

- A. Recommendation of Environmental Impact Assessment (10-25-23)
- B. Disposition of Site Plan. (10-25-23)

Ms. Martha Haglund, Principal Planner with the Livingston County Planning Department, stated they would like to use the western portion of the site to install mountain bike trails. They will be crossing Kellogg Road and have received approval from the Livingston County Road Commission for crossing signage. The work is being done by volunteers so she anticipates it taking 3-4 years to complete.

She has responded to Mr. Borden and Ms. Byrne's review letters.

Mr. Borden reviewed his letter dated November 8, 2023.

1. The submittal does not identify the proposed setbacks; however, the front yard setback requirement is not met at the trail crossing across Kellogg Road. He noted that since this is a trail, it could be considered similar to a sidewalk. Commissioner Rauch agrees; however, having it 50 feet off the road would allow it to be safer.
2. If granted, sketch plan approval is valid for only one year, though the project timeline extends out to 2026. The applicant will need to apply for and obtain extensions to cover the full project, which will be evaluated based on Ordinance standards and may or may not be granted.
4. Ms. Haglund did respond to his comment regarding the internal signs setbacks. They will be less than two square feet so they are exempt from sign regulations.

Additionally, the applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

Ms. Byrne reviewed her letter dated November 8, 2023.

1. The petitioner has already obtained a permit from the Livingston County Road Commission regarding the signage required for the proposed trail crossing and this has been provided to the Township.
2. The petitioner has noted that an EGLE wetland permit will be required for some portions of the proposed trail improvements. This permit should be provided to the Township for their records once it is obtained.

3. The petitioner is proposing to use the existing park parking lot to serve the proposed mountain bike trail. Traffic counts were provided for a weekend of use at the park and the petitioner has stated in their impact assessment that there is adequate existing parking for the additional use.
4. The existing parking lot and site drive is aggregate surface with concrete paved ADA parking spaces. Zoning Ordinance requires the parking lots and drives be hard surface with concrete curbing; however, the aggregate drive and parking lot was previously approved as a Low Impact Development alternative due to the low amount of traffic and intent to not clear snow in the winter. The petitioner should provide more information regarding the proposed additional use of the parking lot and whether it will necessitate snow clearing in the winter. If not, the existing aggregate surface would be acceptable.
5. The proposed mountain bike trail will not include any grading or tree clearing. It appears that the trail will not require any surface modification other than clearing small vegetation, logs, and mowing the path limits.

Ms. Haglund has seen the Brighton Area Fire Authority Fire Marshal's letter and they will be clearing 20 feet at the trailhead and will install a "No Motorized Vehicles Allowed" sign.

Commissioner McCreary would like to see the ongoing records and reports from EGLE during the project. Ms. Haglund agreed to provide them. Mr. Borden noted that trails are exempt from the natural features setback; however, the proposed bridge structures are not exempt and must meet the requirements.

The call to the public was made at 8:51 pm with no response.

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend to the Township Board approval of the Environmental Impact Assessment dated October 25, 2023 for the mountain bike trails at Fillmore Park. **The motion carried unanimously.**

Moved by Commissioner Rauch, supported by Commissioner Rassel, to approve the Site Plan dated October 25, 2023 for the mount bike trails at Fillmore Park, with the following conditions:

- The crossing signs as shown on the plans for Kellogg Road shall be installed as part of Phase 1 trial construction.
- The perpendicular access to the public road is allowed.
- Records from EGLE throughout the construction of the trails shall be submitted to the township.
- Throughout the construction, the trail must be installed within all of the setbacks.

The motion carried unanimously.

OPEN PUBLIC HEARING #4... Consideration of a site plan application, environmental impact assessment and site plan for additional parking at the Woodland Village senior living facility

located at 7533 Grand River Avenue, Brighton located on the north side of Grand River, west of Bendix.

- A. Recommendation of Environmental Impact Assessment (10-16-23)
- B. Disposition of Site Plan (10-23-23)

Mr. Luke Smith, Manager of Environmental Services for Woodland Village, provided a review of the proposal, which would add parking at the south of their site. The parking will increase from 68 to 95 spaces. He addressed the concerns in Mr. Borden's review letter. The parking lot was recently resurfaced and the spaces are now double spaced and the new ones will be also. They are not going to be adding any lighting. They will be complying with the landscaping requirements noted in the letter.

Mr. Borden reviewed his letter dated November 8, 2023, noting that Mr. Smith has addressed his concerns.

1. The applicant must identify the total amount of parking provided, as well as the number of barrier-free spaces to ensure compliance with current standards.
2. The proposed spaces are not double striped, as required by Ordinance; however, the existing spaces are single striped.
3. If new parking lot lighting is proposed, the applicant must provide a detailed lighting plan, per Section 12.03.
4. The 50 new parking spaces require 5 canopy trees and 500 square feet of internal landscape area. Because there will be only 27 new parking spaces, and not 50, the existing landscaping is sufficient to meet the ordinance.
5. If existing conditions preclude or exceed the required plantings, the Commission may waive or modify this requirement, per Section 12.02.13.

He would like documentation submitted that the increase in spaces is 27 spaces and not 50.

Ms. Byrne stated she has no engineering concerns; however, she would like to see evidence that the detention pond will accommodate the additional parking as stated by the applicant.

The call to the public was made at 9:03 pm with no response.

Moved by Commissioner Rauch, supported by Commissioner Lowe, to recommend to the Township Board approval of the Environmental Impact Assessment dated October 16, 2023 for additional parking at the Woodland Village senior living facility. **The motion carried unanimously.**

Moved by Commissioner Rauch, supported by Commissioner Rassel, to approve the Site Plan dated October 23, 2023 for additional parking at the Woodland Village senior living facility, with the following conditions:

- This approval is for the 27 spaces identified on the exterior of the drive aisle.

- Documentation supporting that the existing detention pond supports this additional impervious area shall be submitted to the township engineer for review and approval.
- All stormwater management changes must be approved by the Township Engineer.

The motion carried unanimously.

OPEN PUBLIC HEARING #5... Consideration of a site plan amendment to a previously approved site plan to allow for LED strip lighting around the existing Panda Restaurant located at 4015 Latson Road, northwest corner of Latson Road and Grand Oaks Drive. The request is petitioned by Panda Restaurant Group.

A. Disposition of Site Plan Amendment for Elevations (7-21-22)

Ms. Jillian Benaglio, the engineer, and Mr. Alex Froehlich, the architect, were present. Ms. Benaglio stated this is an ornamental architectural accent. They have submitted a photometric plan and updated renderings. This does not affect the footcandles around the building or at the edge of the site.

Mr. Froehlich stated that Panda Express is celebrating 50 years of service and the building in Genoa Township is a new design that expresses their culture and brand. The accent light is not functional and highlights Asian American heritage and red is the color of celebration in the Chinese culture.

Mr. Borden reviewed his letter dated November 9, 2023.

1. The Planning Commission may allow ornamental lighting that is part of an overall architectural theme.
2. LED strip lighting is debatable as “ornamental” in his opinion, although the Commission can consider it to be part of an architectural theme.
3. In his opinion, the request does not comply with Section 12.03.05, which requires building illumination to be placed and shielded so as not to interfere with the vision of motorists and should be removed from the building.

The concern from the commissioners is that if this is allowed, it could set a precedent for other buildings.

Commissioner Rauch noted that the white up lighting on the building could be considered the same as the red and therefore, also does not meet the ordinance. Commissioner Rassel considers the white lights to be ornamental. Commissioners Lowe and McCreary agree. Commissioner McBain would like the white lights to be dimmed but is not in favor of allowing the red lights.

The call to the public was made at 9:19 pm with no response.

Moved by Commissioner Rauch, supported by Commissioner Lowe, to approve the Site Plan Amendment for Elevations dated July 21, 2023 to allow for LED strip lighting around the existing Panda Restaurant, as this commission finds that the white only uplighting is considered ornamental; however, it must be dimmed, and the red LED strip lighting along the roof must be permanently turned off or removed. **The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there will be five cases on the December meeting agenda.

Approval of the October 19, 2023 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Lowe, to approve the minutes of the October 19, 2023 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

There was a discussion regarding adding second meetings per month if the number of cases continues to remain this high.

Adjournment

Moved by Commissioner Lowe, seconded by Commissioner Rauch, to adjourn the meeting at 9:36 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary