

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
SEPTEMBER 19, 2023  
6:30 P.M.  
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

1. 23-20...A request by Dave McManus, 4143 Highcrest Drive, for front, side, building lot coverage, impervious surface lot coverage and waterfront setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct a new home.
2. 23-21...A request by Tiffany and Chris Trotter, 2621 Spring Grove Drive, for side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to be allowed to move an already-constructed pole barn to the lot line.

NEW BUSINESS:

3. 23-26...A request by Treasure Rousselo, 3520 Pineridge Lane, a waterfront yard setback variance, size variance and any other variance deemed necessary by the Zoning Board of Appeals to allow for a non-conforming deck to remain.
4. 23-27...A request by Tim Chouinard, 924 Sunrise Park, for a side and rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a detached accessory structure.
5. 23-28...A request by Andrew Perri, 5311 Brighton Road, for setback variances and any other variance deemed necessary by the Zoning Board of Appeals to allow for outdoor commercial recreation at an existing commercial building.
6. 23-29...A request by Matt DeLapp/Faulkwood Shores Singh LLC, 300 S. Hughes, for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct the new Faulkwood Shores Golf Course Clubhouse.
7. 23-30...A request by Ben Cross and Chris Bonk, 5680 Glen Echo Drive, for a height and setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct new retaining walls and a fence.

Administrative Business:

1. Approval of minutes for the August 15, 2023 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-20 Meeting Date: \_\_\_\_\_  
*resubmittal 8-22-23*

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: DAVID McMANUS Email: DAVEMCMANUS66@GMAIL.COM

Property Address: 4143 HIGHCREST DR. Phone: 734-347-9521

Present Zoning: LAKE SHORE RESORT RESIDENT Tax Code: 4711-22-302-139

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: SEE ATTACHED
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- 
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Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

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Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

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Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

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Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

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**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 8/20/23 Signature: 

## **Genoa Charter Township Variance Application (2)**

Applicant/Owner: David McManus

Email: davemcmanus66@gmail.com

Property Address: 4143 Highcrest Dr.

Phone: 734-347-9521

Present Zoning: Lakeshore Resort Resident

Tax Code: 4711-22-302-139

- 1.) Variance requested/intended property modifications - This 2<sup>nd</sup> application is for front & rear setbacks and building lot coverage variances for the desired home build and assumes no other property modifications. Front request is for 7'0" vs. 35'0" (same exact as adjacent neighbor to the south). Rear setback request is for 42' vs. 47'.

In addition to the above setback variances, this application requests a total building lot coverage variance of 38% vs. 35%.

- 2.) Practical Difficulty/Substantial Justice –

- a.) Livingston County Parcel Viewer lot size calculation (157' x 48' = 7,536 ft<sup>2</sup>) vs. Survey lot size calculation (140' x 48.8' = 6,830 ft<sup>2</sup>). Approx. 10% smaller or 17' less in depth. If the lot size would have been the same as originally perceived by Livingston County and had the extra 17' depth, we would not require a rear setback variance or a building lot coverage variance, thus only requiring 1 front setback variance.
- b.) Due to the distance of our southern neighbor's detached garage only being 15.5' from the street curb, it requires our garage to be of similar setback distance in order to not have an obstructed view pulling out of our garage.
- c.) The southern neighbor's garage is 4'-2 ½" from our side yard property line. This creates difficulty with the required 10' setback requirement between structures and penalizes us 9 1/2" in building width.
- d.) Due to the unusually narrow lot size and trapezium shape, it presents unreasonable challenges to construct an even modest size home with an attached garage within the setback ordinance. Also, due to the nearly 20' elevation drop from roadside to shoreline, it creates the opportunity for a walk-out basement, but in turn lessens the desire (at our age) to add a 3rd story to build up requiring 2 flights of stairs. This then requires a larger footprint to build a standard 3 bedroom, 2-1/2 bath home. Furthermore, the proposed building structure was designed with the least amount of irregular shapes and protrusions in order to fit within the lot lines. These practical difficulties were not self-created.



- 3.) Extraordinary Circumstances – Due to the lot size and common-cause variation in waterfront erosion of over 7 feet compared to both of our adjacent neighbors, the proposed building footprint will not comply with all of the setback ordinances. However, by allowing the requested variances, it would be very consistent with several other properties on Highcrest Drive. For example:

From twenty (20) homes/structures measured on Highcrest Drive, the average distance from the closest corner to the street curb measured 16.3 feet. Of those 20 structures, two (2) were as close as 3.5 feet to the street curb. Our request is for 15.5’.

From twelve (12) homes measured on Clifford Lake along Highcrest Dr., the average distance from the shoreline to the rear structure measured 33.1 feet. Of those, two (2) were as close as 10.6’ and 14.9’ from the shoreline. Our request is for 43’.

- 4.) Public Safety and Welfare – There is no perceived public safety and welfare conditions within the request. There is ample distance on both sides of the house for any emergency services. The proposed variances do not affect air or light quality to either adjacent neighbor.
- 5.) Impact on Surrounding Neighborhood - By granting the requested variances, it would accomplish two (2) favorable conditions. One, it would create an aesthetically pleasing residence to the area and help increase surrounding property values. Two, it would allow for ample guest parking on the property driveway and prevent street parking. Of which, several of our proposed neighbors asked if we could provide due to the street congestion already.

Furthermore, six (6) of the neighboring residents that were home when we visited the area on Saturday May 6<sup>th</sup> have reviewed our site plan and building elevations and signed the attached statement indicating they had no issues or objections with our requested setback and lot coverage variances.

#### **Revisions and Concessions from Original Variance Application**

- 1.) Eliminated retaining wall along north side walkway leading up to the front porch.
- 2.) Eliminated poured concrete walkway leading up to the front porch.
- 3.) Reduced the width of the house from 34’ to 31.6’.
- 4.) Reduced the square footage footprint from 1,962 ft<sup>2</sup> to 1,842 ft<sup>2</sup>.
- 5.) Reduced the building lot coverage from 41.7% to 37.9%.
- 6.) Reduced the Impervious surface coverage from 55.2% to 49%.
- 7.) Eliminated south side yard setback and impervious surfaces lot coverage variances.

8/20/23

(Date)



(Signature)



LIVINGSTON COUNTY PARCEL VIEWER



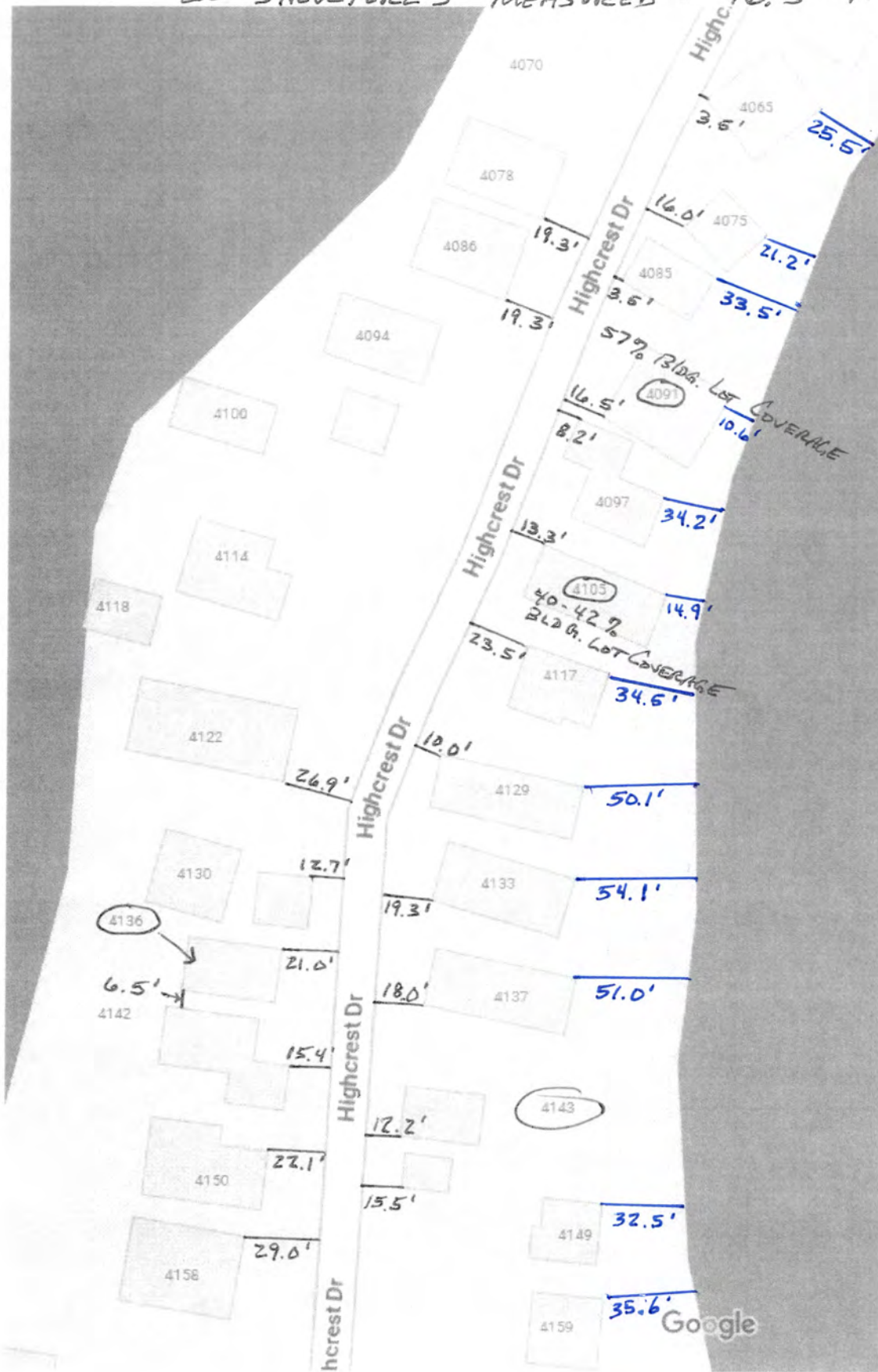
← 155.04  
← 158.95

GENOA TWP - PROPERTY/TAX  
 .162 ACRES = 7,057 FT<sup>2</sup>  
 36.7% BLDG Cov. / 47.4% IMPER.

LOT SIZE CALC. 157' x 48' = 7,536 FT<sup>2</sup>  
 PROPOSED HOUSE = 2,590 FT<sup>2</sup>  
 34.4%



STRUCTURE TO STREET CURB DISTANCE  
 20 STRUCTURES MEASURED = 16.3' AVG.



.017" = 1 FOOT

# 4143 Highcrest Dr. – Brighton, MI

I, the undersigned, have discussed and reviewed the proposed home construction and site plan at 4143 Highcrest Dr. with Mr. & Mrs. David McManus. Based on the Genoa Township ordinances, I realize they are needing the required setback and lot coverage variances requested and have no objection or concerns to their requests.

Allen Szydlowski

(Name/Resident - Print)

4150 HIGHCREST DR

(Street Address)

ROBERT & NANCY SCHMITT

(Name/Resident - Print)

4142 HIGHCREST

(Street Address)

Cody GORHAM

(Name/Resident - Print)

4129 HIGHCREST

(Street Address)

STEVEN STONE

(Name/Resident - Print)

Margaret Anderson

(Street Address)

4117 Highcrest

(Name/Resident - Print)

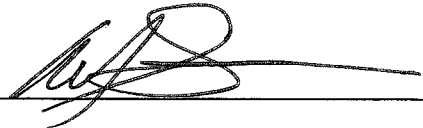
THOMAS O'KELLEY

(Street Address)

4237 HIGHCREST DR

(Name/Resident - Print)

(Street Address)



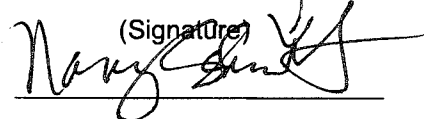
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5/6/23

(Date)

5/6/23

(Signature)



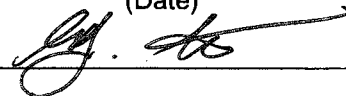
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5/6/23

(Date)



(Signature)

5.6.23

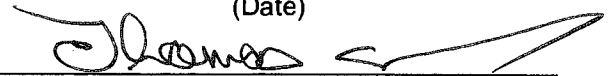
(Date)



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5/6/23

(Date)



(Signature)

(Date)





September 14, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	4143 Highcrest Drive – Dimensional Variance Review (2 <sup>nd</sup> Review)
<b>Location:</b>	4143 Highcrest Drive – waterfront lot on the east side of Highcrest Drive
<b>Zoning:</b>	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the revised submittal seeking dimensional variances for construction of a new residence at 4143 Highcrest Drive.

The subject property is nonconforming due to deficient lot area and width. The site previously contained a nonconforming residence that was demolished to accommodate the proposal.

At the applicant’s request, the original variance application was tabled at the June 20, 2023 ZBA meeting. In the time since tabling, the project has been modified to reduce the number of variances sought (from 4 to 3), as well as a decrease in the extent of the building coverage variance requested (by 3.8%) and the south side setback variance requested (by 1.45’).

The proposed residence is a ranch with a walkout to the waterfront yard. In total (residence, screened-in porch and garage), the ground floor area is 2,590 square feet (reduced from 2,851 square feet).

Per LRR requirements (Section 3.04.01), the applicant seeks 4 variances as underlined in the table below:

	Lot Area	Lot Width	Front setback	Waterfront setback	Side setbacks	Lot Coverage
<b>LRR</b>	12,800 SF	80’	35’	47’	10’ (N) 10’ (S)	35% building 50% impervious
<b>Proposal</b>	6,830 SF	52’	<u>7’</u>	<u>43’</u>	10’ (N) <u>3.77’</u> (S)	<u>37.9% building</u> 49% impervious

### SUMMARY

1. *Practical Difficulty:* Strict compliance restricts the building envelope to an area smaller than most of the surrounding residences. As such, the Board may find strict compliance to be unnecessarily burdensome to the applicant.
2. *Substantial Justice:* The test for substantial justice includes the least amount of variance necessary for relief. The applicant has eliminated the need for 1 variance (impervious surface ratio and reduced the extent of 2 others (building coverage and south side setback). The applicant should convert the 2 cantilevered elements on the south side to traditional bay windows to eliminate the need for this variance.
3. *Extraordinary Circumstance:* The property is a nonconforming LRR lot with deficient lot area and width that combine to create a relatively small building envelope.
4. *Public Safety and Welfare:* The reduced street front setback matches the garage on the adjacent property and appears to provide for better visibility than would an increased setback. The spacing between the proposed residence and detached garage on the property to the south is now at 10’ (as is generally required).
5. *Impact on Surrounding Neighborhood:* There appear to be several existing residences that encroach into required setbacks, including the adjacent property to the south.



*Aerial view of site and surroundings (looking east)*

## VARIANCE REVIEW

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variances are not necessary to use the property for a permitted purpose (presumably as a single-family residence). However, strict compliance with Ordinance requirements greatly restricts the potential building envelope.

Based on our calculations, strict compliance results in a 1,431 square foot building envelope, which is relatively small in comparison to other residences (plus garages) in this neighborhood.

As such, the Board may find strict compliance to be unnecessarily burdensome to the owner.

As suggested in our initial review letter and discussed at the June ZBA meeting, the applicant modified the proposal such that 4 variances are needed (as opposed to 5). Additionally, the extent of the building coverage and south side setback variances have been reduced (by 3.8% and 1.45', respectively).

The substantial justice test is intended to restrict the number and extent of variances sought to only the minimum necessary to grant relief.

If the 2 cantilevered elements on the south side are converted to traditional bay windows, then the 1.33' projection would be allowed by Section 11.01.04.

With the revised proposal and the slight modification noted above, we feel the applicant can meet this test.

- 2. Extraordinary Circumstances.** As previously noted, the property is a nonconforming LRR lot with deficient lot area and width that combine to create a relatively small building envelope.

These factors greatly impact the owners' ability to construct a fully compliant residence.

- 3. Public Safety and Welfare.** As noted in our initial review letter, we were concerned with the potential traffic impacts of the reduced street front yard setback.

With the revised plans, it is now clear that there is approximately 15.5' from the garage to the actual roadway (which equates to 7' from the actual property line). This setback/spacing is consistent with the neighboring residence.

While the proposal will not allow for a vehicle to be parked in the driveway, it will allow better visibility for access to/from the garage.

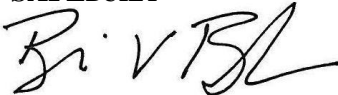
The spacing between the proposed residence and the detached garage on the adjacent property to the south is now at 10', which is generally the minimum requirement (the initial plan provided less than 10').

- 4. Impact on Surrounding Neighborhood.** Review of aerial photos identifies several residences that appear to encroach into required setback areas.

As noted above, the proposal matches the garage setback of the adjacent property.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFE BUILT**



Brian V. Borden, AICP  
Michigan Planning Manager

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
June 20, 2023 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairman Rassel called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Greg Rassel, Michelle Kreutzberg, Marianne McCreary, Jean Ledford, Bill Rockwell, and Amy Ruthig, Planning Director.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

**Moved** by Board Member Ledford, seconded by Board Member McCreary, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was opened at 6:31 pm with no response.

1. 23-20...A request by Dave McManus, 4143 Highcrest Drive, for front, side, building lot coverage, impervious surface lot coverage and waterfront setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct a new home.

Mr. McManus stated the lot is very narrow and there is a large area of shoreline erosion that causes his property to be even smaller. This is part of the practical difficulty. He found a 10 percent difference in the square footage of the lot from what is shown on the Livingston County parcel viewer and what was found after he purchased the home and did the survey. He is wishing to build a one-story home with a walkout that is under 2,000 square feet. He noted that the home that was there previously was closer to one of the side lot lines than what he is proposing, and the other side yard setback is seven feet, which is the same as the neighbor's garage on that side. He noted that the two-foot side yard variance request is due o the cantilever, but it is very simple for someone to walk under to access the backyard.

He provided examples of other properties in his neighborhood who requested and received similar variances to what he is requesting. He also provided a document where six of his neighbors signed saying they do not have any objections to his variance requests.

The call to the public was opened at 6:48 pm with no response.

Board Member Rockwell questioned if the applicant researched putting in a second story with an elevator. Mr. McManus stated he does not want more stairs and did not research the cost of installing an elevator.



Genoa Township Zoning Board of Appeals Meeting

June 20, 2023

Approved Minutes

Board Member McCreary asked Mr. McManus what the hardship is. Five variances is excessive. Having the homes so close together makes it difficult to have maintenance done on equipment that can only be accessed from the rear of the property, such as grinder pumps. Mr. McManus stated the grinder pump will need to be relocated because it is very close to the proposed foundation. He does not feel it will be difficult to move it and meet the requirements of the township.

Board Member Kreutzberg noted that one of the reasons for approving a variance is that it is the least amount necessary. She can appreciate wanting a ranch-style home, but building a second story would eliminate the need for many of these variances.

Mr. McManus reiterated that there are other homes in his neighborhood that are closer to the road and the water than what he is requesting and have received variances.

The applicant was advised that if his requests are denied, then he cannot return to the ZBA for a year; however, he can have it tabled and return with a different plan that is more compliant with the ordinance.

Mr. McManus requested to have his item tabled until the September ZBA meeting.

**Moved** by Board Member Rockwell, seconded by Board Member McCreary, to table Case #23-20 until the September 19, 2023 Zoning Board of Appeals meeting, at the applicant's request. **The motion carried unanimously.**

2. 23-21...A request by Tiffany and Chris Trotter, 2621 Spring Grove Drive, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to be allowed to move an already-constructed pole barn to the lot line.

Ms. Tiffany Trotter stated the property is surrounded by drop offs that restrict the location of the pole barn. Where the shed and pole barn are located is the only flat area on their property where they can be placed. They would like a variance for a zero setback to move the pole barn over 2.8 feet. It was placed in the wrong location due to the fault of the builder.

Board Member Kreutzberg agrees that the original variance of 10- feet was granted in error because the applicant and the township did not have the correct information and now part of the barn is on the neighbor's property. She noted that when the original variance was requested in 2021, there was a requirement to remove the small shed, and it still remains.

Board Member McCreary would like to see a survey showing the locations of all the buildings on the property.

The call to the public was opened at 7:23 pm.

Mr. Thomas Dougan of 2601 Spring Grove Drive stated he moved into his home in 2021. The Trotters have multiple buildings on their property. He provided photographs showing a shed, pole barn, swing set and fence that are located on his property. He is not against the applicant having buildings on their property, but he would like them to be moved off his and within the required setbacks.





Sat Jun 17 2023

Imagery © 2023 Nearmap, HERE

20 ft

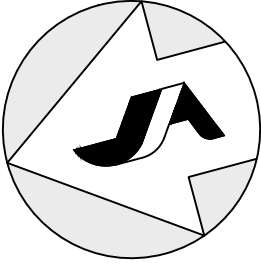
nearmap



**LEGAL DESCRIPTION**

LOT 127 OF "CROOKED LAKE HIGHLANDS SUBDIVISION", PART OF SECTIONS 21, 22, 27, AND 28, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, AS RECORDED IN LIBER 178 OF PLATS ON PAGE 585, LIVINGSTON COUNTY RECORDS. LOT CONTAINS 6,704 SQUARE FEET. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**RECEIVED 8-23-23**

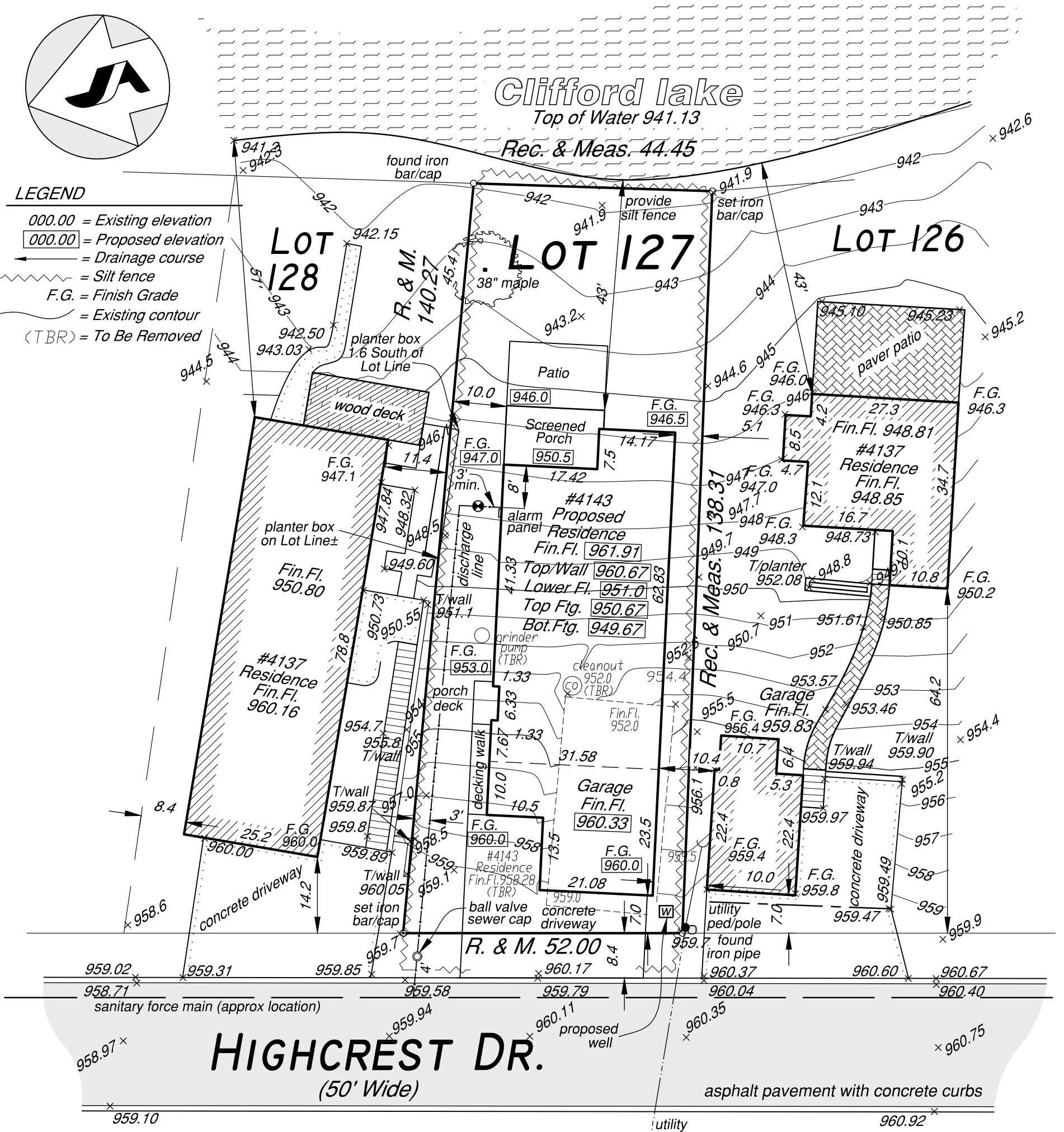


Clifford lake  
Top of Water 941.13

Rec. & Meas. 44.45

**LEGEND**

- 000.00 = Existing elevation
- 000.00 = Proposed elevation
- = Drainage course
- ~ = Silt fence
- F.G. = Finish Grade
- = Existing contour
- (TBR) = To Be Removed



**HIGHCREST DR.**  
(50' Wide)

Note: The setbacks require a variance confirm minimum setbacks with municipality

**Lot Coverage**  
Proposed House - 2641 Sq. Ft.  
Lot Area - 6,830 Sq. Ft.  
Lot Coverage - 38.6%

**Lot Coverage**  
Impervious Surface - 3,318 Sq. Ft.  
Lot Area - 6,830 Sq. Ft.  
Lot Coverage - 48.6%

NAVD88 Benchmark  
"MAG" nail in North face of utility pole  
Elevation = 860.65

**Zoning:**  
LRR - Lakeshore Resort Residential

**Setbacks:**  
Front - 35'  
Side - 5'  
Side total - 15'  
Rear - 40'

\*Check title policy for subdivision deed restrictions that may affect setback requirements.\*



**PLOT PLAN**

Prepared For: Dave McManus  
22297 Hazelton Ct.  
Novi, MI 48374  
(734) 347-9521

**Jekabson & Associates, P.C.**  
Professional Land Surveyors  
1320 Goldsmith, Plymouth, MI 48170  
(734) 414-7200 (734) 414-7272 fax

by: *[Signature]*



Date  
22 Aug 2023  
Job No.  
21-08-007  
Scale  
1" = 20'  
Drawn  
AAH  
Checked  
JGE  
Sheet  
1 OF 1

**LEGAL DESCRIPTION**

LOT 127 OF "CROOKED LAKE HIGHLANDS SUBDIVISION", PART OF SECTIONS 21, 22, 27, AND 28, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, AS RECORDED IN LIBER 178 OF PLATS ON PAGE 585, LIVINGSTON COUNTY RECORDS. LOT CONTAINS 6,704 SQUARE FEET. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

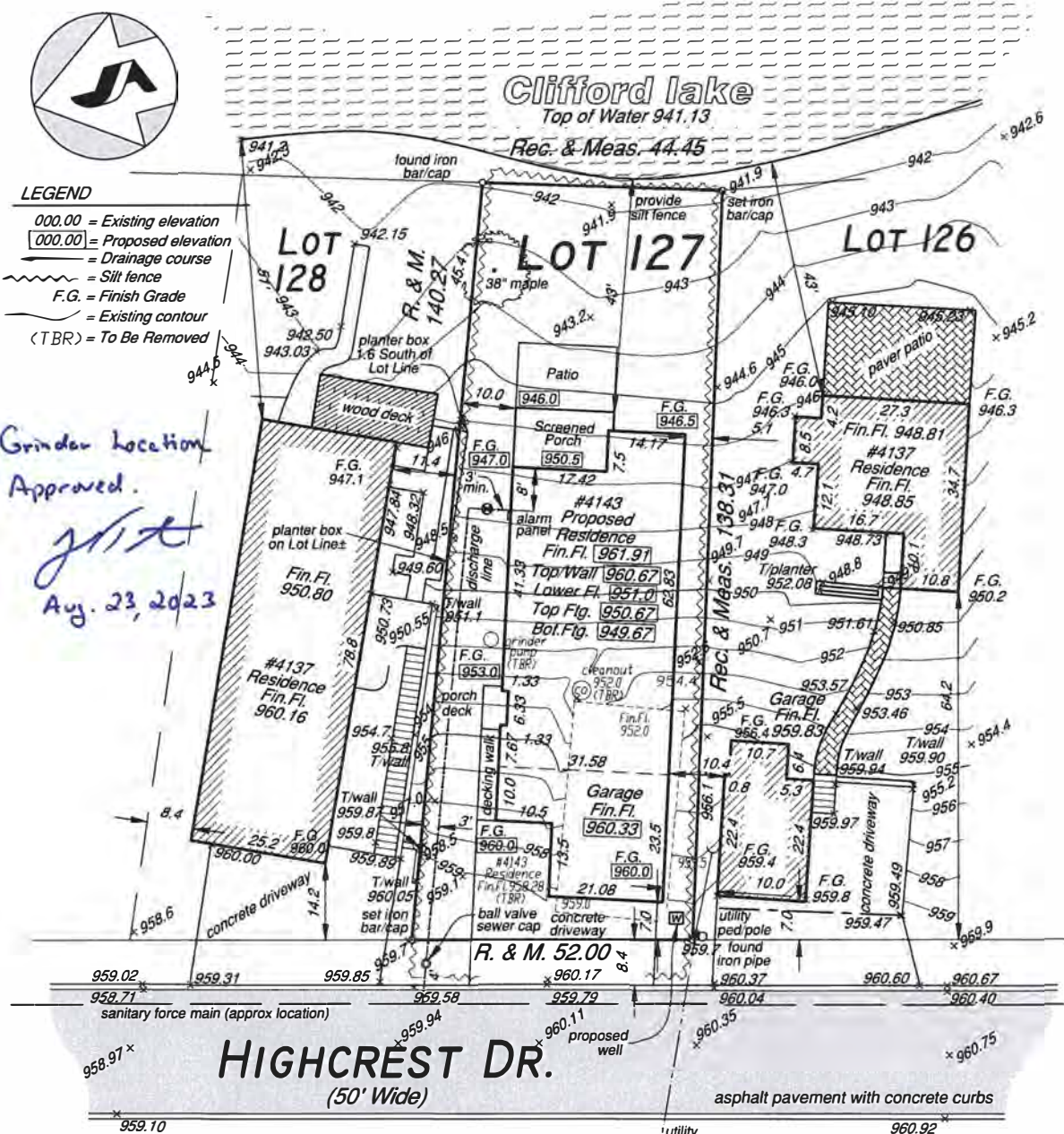
**RECEIVED 8-23-23**



**LEGEND**

- 000.00 = Existing elevation
- 000.00 = Proposed elevation
- = Drainage course
- = Silt fence
- F.G. = Finish Grade
- = Existing contour
- (TBR) = To Be Removed

Grinder Location Approved.  
*[Signature]*  
 Aug. 23, 2023



Note: The setbacks require a variance confirm minimum setbacks with municipality

**Lot Coverage**  
 Proposed House - 2641 Sq. Ft.  
 Lot Area - 6,830 Sq. Ft.  
 Lot Coverage - 38.6%

**Lot Coverage**  
 Impervious Surface - 3,318 Sq. Ft.  
 Lot Area - 6,830 Sq. Ft.  
 Lot Coverage - 48.6%

NAVD88 Benchmark  
 "MAG" nail in North face of utility pole  
 Elevation = 860.65

**Zoning:**  
 LRR - Lakeshore Resort Residential

**Setbacks:**  
 Front - 35'  
 Side - 5'  
 Side total - 15'  
 Rear - 40'

\*Check title policy for subdivision deed restrictions that may affect setback requirements.\*



**PLOT PLAN**

Prepared For: Dave McManus  
 22297 Hazelton Ct.  
 Novi, MI 48374  
 (734) 347-9521

Jekabson & Associates, P.C.  
 Professional Land Surveyors  
 1320 Goldsmith, Plymouth, MI 48170  
 (734) 414-7200 (734) 414-7272 fax

by: *[Signature]*

Date  
 22 Aug 2023

Job No.  
 21-08-007

Scale  
 1" = 20'

Drawn  
 AAH

Checked  
 JGE

Sheet  
 1 OF 1







# GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL FIELD VERIFY ALL ASPECTS OF THE DOCUMENTS DURING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND USE FIGURED DIMENSIONS ONLY - DO NOT SCALE DRAWINGS FOR CONSTRUCTION. ANY CONFLICTS OR QUESTIONS THAT ARISE DUE TO THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL. NOMINAL DIMENSIONS ARE USED FOR MASONRY.
- SMOKE DETECTORS SHALL BE INSTALLED AS FOLLOWS:
  - IN ALL BEDROOMS AND VICINITIES OF BEDROOMS.
  - AT EACH STORY, INCLUDING BASEMENTS.
  - ALL SMOKE DETECTORS SHALL BE INTERCONNECTED, WITH BATTERY BACK-UP.
- ALL HAND RAILS SHALL HAVE MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38" RESPECTIVELY, AS MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HAND RAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OR THREE (3) OR MORE RISERS AS PER SECTION R315.1
- PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. ALL GUARDS SHALL BE IN STRICT ACCORDANCE WITH SECTIONS R316.1
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- ALL EMERGENCY EGRESS BEDROOM WINDOWS SHALL HAVE A MINIMUM CLEAR SPAN OPENING OF 5.7 SF AND SHALL HAVE A MINIMUM SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL BE 20" MINIMUM, AND HEIGHT NOT TO BE LESS THAN 24".
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- ALL SHOWER AND BATH GYPSUM BOARD SHALL BE WATER RESISTANT TYPE, AND SHALL CONFORM TO A.S.T.M. C360.
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- WINDOW DESIGNATIONS INDICATED ON DRAWINGS ARE AS FOLLOWS:
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- WOOD ROOF TRUSS DESIGN PER MANUFACTURER. ALL HEEL HEIGHTS, TRUSS LENGTHS, BEARING CONDITIONS AND MINIMUM DESIGN LOADS TO BE VERIFIED BY TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL SUPPLY ALL NECESSARY HANGERS, FASTENERS & HARDWARE, AND PROVIDE BRACING REQUIREMENTS.
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- PROVIDE SCREENED ROOF VENTILATION AT 1/300 OF THE TOTAL ENCLOSED ROOF AREA WITH 50% OF THE REQUIRED AREA IN THE UPPER 1/2 OF ROOF AND 50% AT THE EAVE/CORNICE SECTION OF THE ROOF.
- PROVIDE A 22"x30" MINIMUM ACCESS OPENING TO ALL AREAS HAVING A CLEAR HEIGHT OVER 30".
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# FIREBLOCKING & DRAFTSTOPPING

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  - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

R302.12 DRAFTSTOPPING, IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 M<sup>2</sup>). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

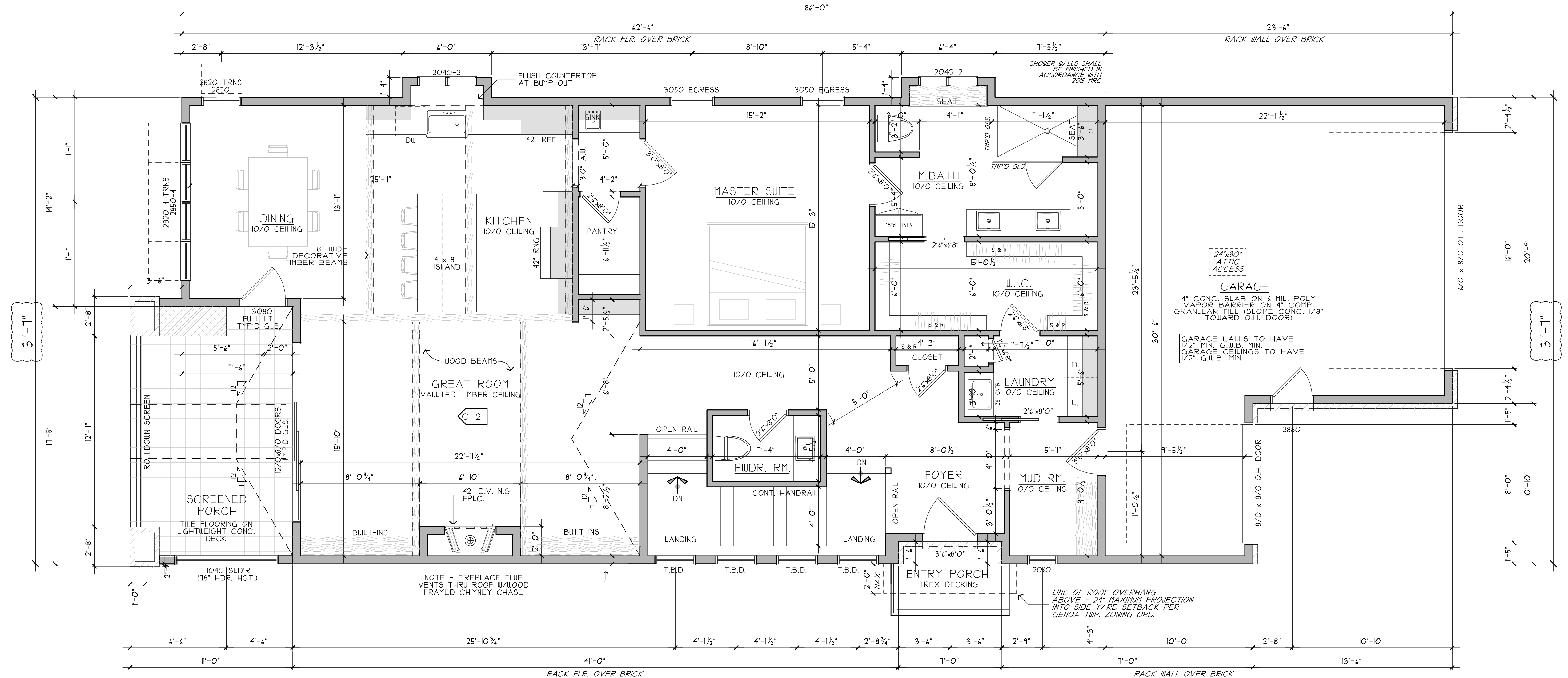
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# SQUARE FOOTAGE CALCULATIONS

**First floor = 1842 sq ft**  
**Screened Porch = 194 sq ft**  
**Lower Level Finished = 1334 sq ft**  
**Lower Level Unfinished = 238 sq ft**

# CODES TO FOLLOW:

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 MECHANICAL: MICHIGAN RESIDENTIAL CODE 2015  
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# FIRST FLOOR PLAN

NOTE - ALL CEILINGS 10'H. UNO SC: 1/4" = 1'-0"

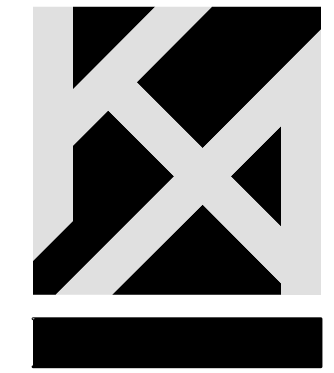
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VISTAL HOMES  
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DRAWING:  
FIRST FLOOR PLAN

REVISIONS:

DATE:  
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ISSUED FOR:  
FINAL REVIEW

SHEET:

2 OF 5

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C:\Users\John\OneDrive\2021 drawings\McManus\8-15-23\317

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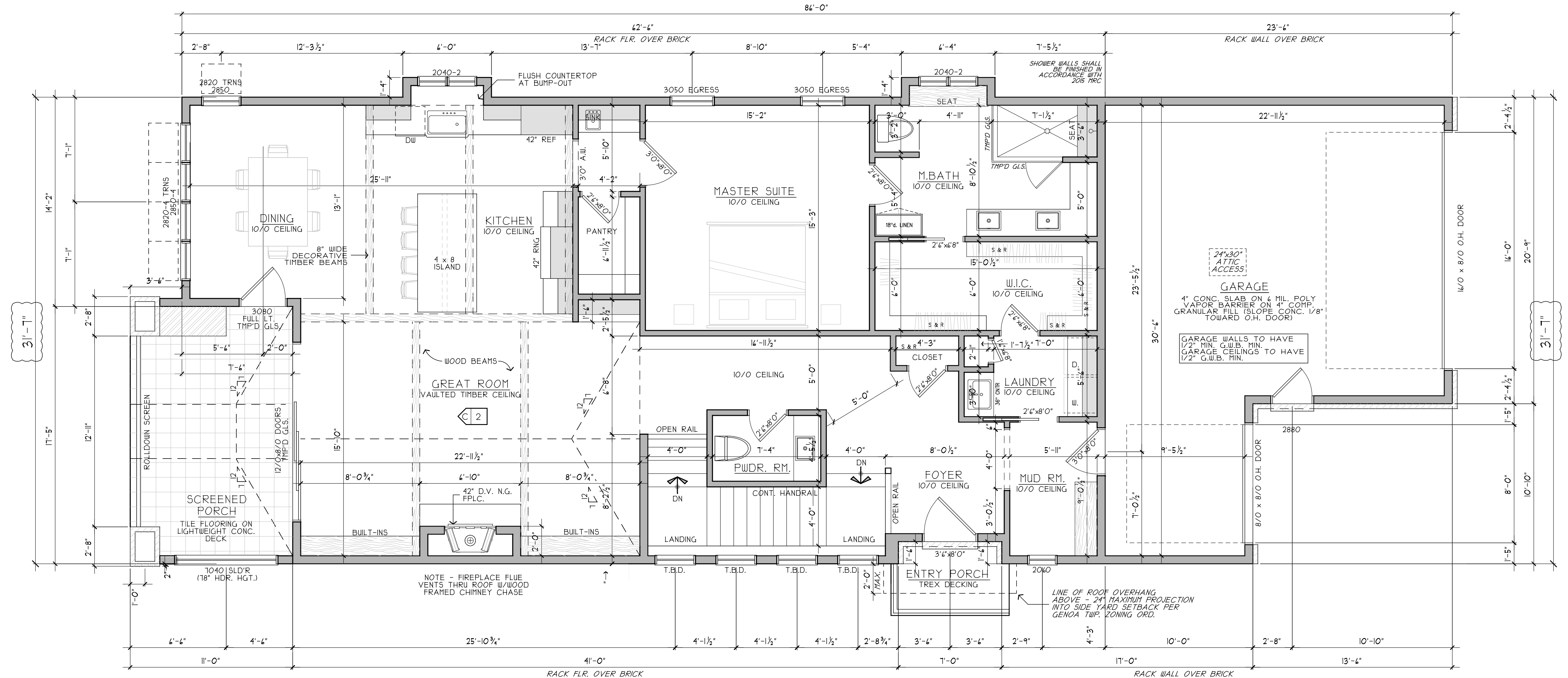
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 ENERGY: MICHIGAN ENERGY CODE



# FIRST FLOOR PLAN

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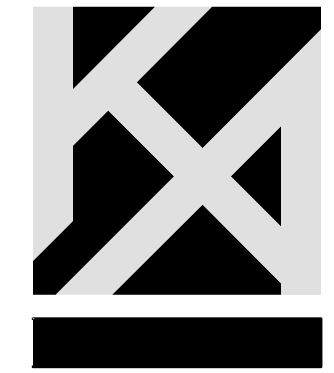
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PROJECT:  
McManus Residence

ADDRESS:  
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Brighton, MI

**KNAUSS ASSOCIATES, LLC**  
RESIDENTIAL DESIGN

HOWELL, MI  
810-844-1851



BUILDER:  
VISTAL HOMES  
46870 Seven Mile Rd  
Northville, MI  
48176

DRAWING:  
FIRST FLOOR PLAN

REVISIONS:

DATE:  
8/15/2023

ISSUED FOR:  
FINAL REVIEW

SHEET:

2 OF 5

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**PROPOSED VENT AREA:**

VENT AREA RATIO 1:150  
 ATTIC AREA = 4227 SQ.FT. (1/150)  
 VENT AREA = 28 SQ.FT. x 144 = 4032 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 2016 SQ.IN. EACH

**VENT AREA PROVIDED @ RIDGE**

CONTINUOUS RIDGE TYPE = 18 SQ.IN. PER FT. = 112 LIN. FT.  
 LOUVER @ RIDGE TYPE = SQ.IN. EA. = UNITS  
 GABLE END TYPE (TOTAL) SQ.IN.  
 HOODED ROOF SURFACE VENTS = 144 SQ.IN. PER UNIT = X UNITS  
 TOTAL VENTING AT RIDGE = 2016 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**

CONTINUOUS SOFFIT TYPE = 9 SQ.IN. PER FT. = 224 LIN. FT.  
 LOUVER TYPE = SQ.IN. EA. = UNITS  
 TOTAL VENTING AT SOFFIT = 2016 SQ.IN.

ALL 2 AND 3 PLY CRIDER TRUSSES MUST BE NAILED TOGETHER ACCORDING TO TRUSS SPECIFICATIONS.

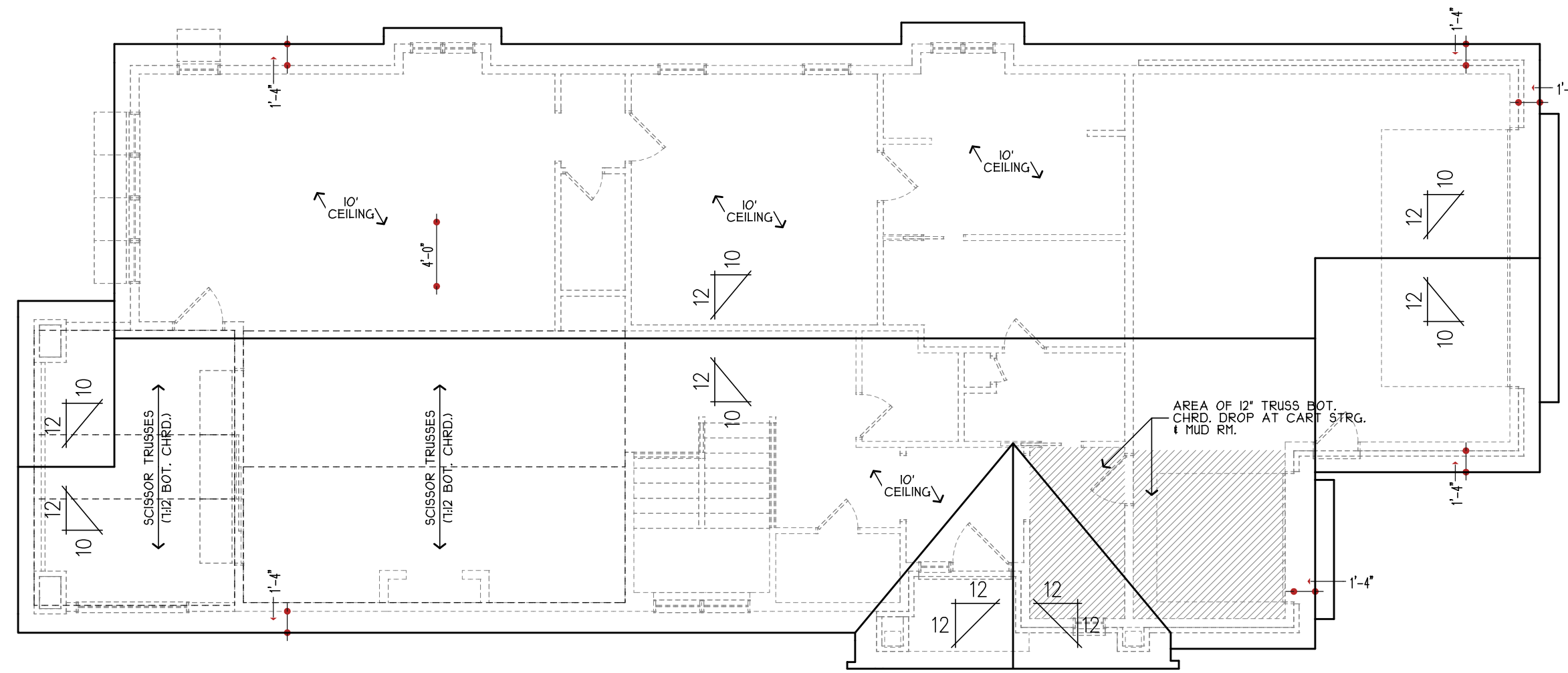
WEATHER-RESISTIVE SHEATHING PAPER, A MINIMUM OF ONE LAYER OF NO. 15 ASPHALT FELT COMPLYING WITH ASTM D 226, AS LISTED IN CHAPTER 43, FOR TYPE 1 FELT OR OTHER APPROVED WEATHER RESISTIVE MATERIAL SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS.

TRUSS TO WALL CONNECTION, TRUSSES SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.  
 ROOF COVERINGS

ICE PROTECTION REQUIRED 24" PAST INSIDE THE EXTERIOR WALL LINE OF BUILDING. 1 LAYER OF SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET OR 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER.

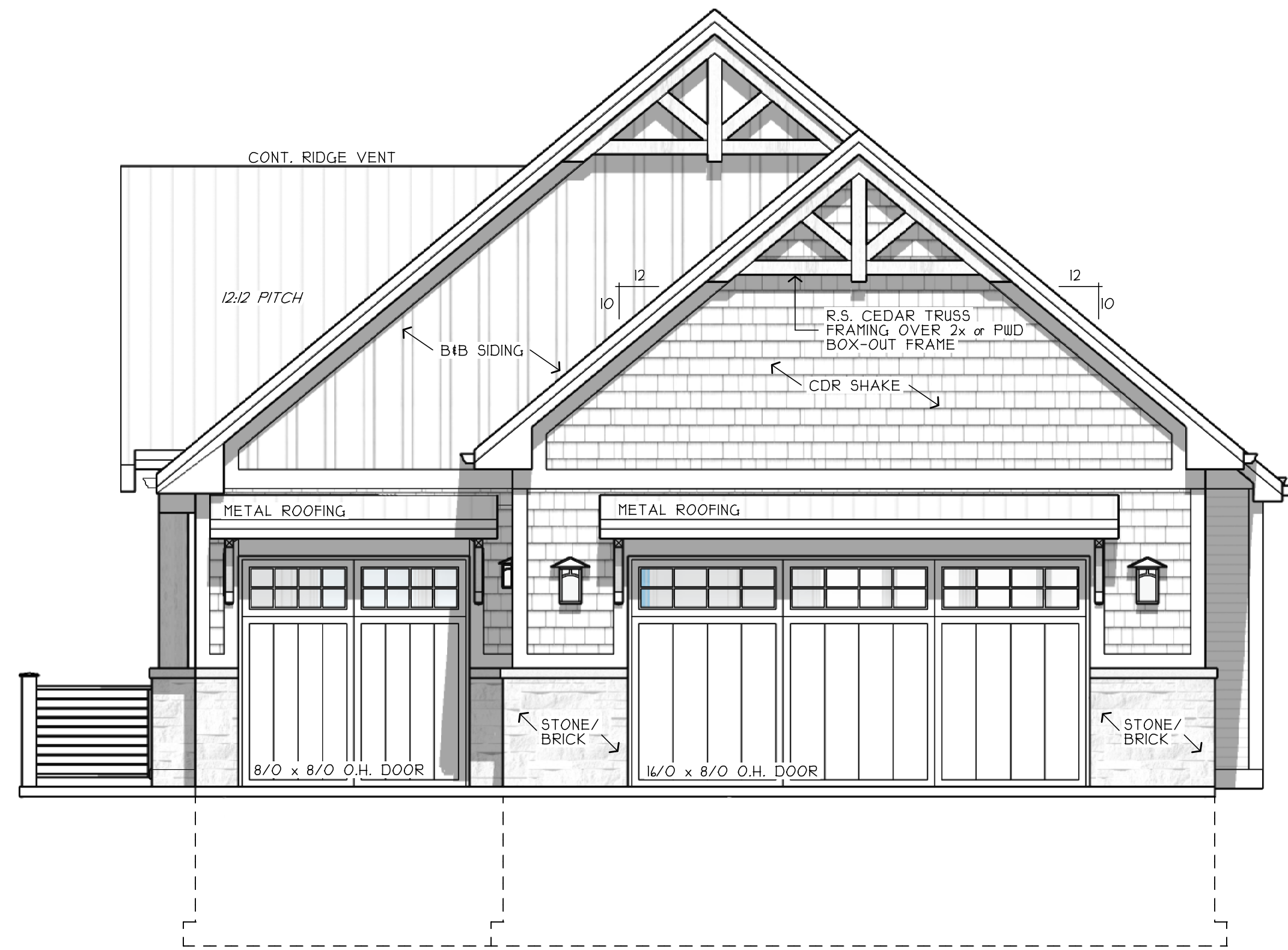
TRUSS & FRAMING SHOWN FOR REFERENCE ONLY

ROOF FRAMING CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ENGINEERING, MANUFACTURING, AND SAFE CONSTRUCTION OF ROOF FRAMING MATERIALS TO ENSURE COMPLIANCE WITH ANY APPLICABLE CODE REQUIREMENTS REGARDING ALLOWABLE SPANS, ACCEPTABLE MATERIALS, AND BUILDING SAFETY.



**ROOF PLAN**

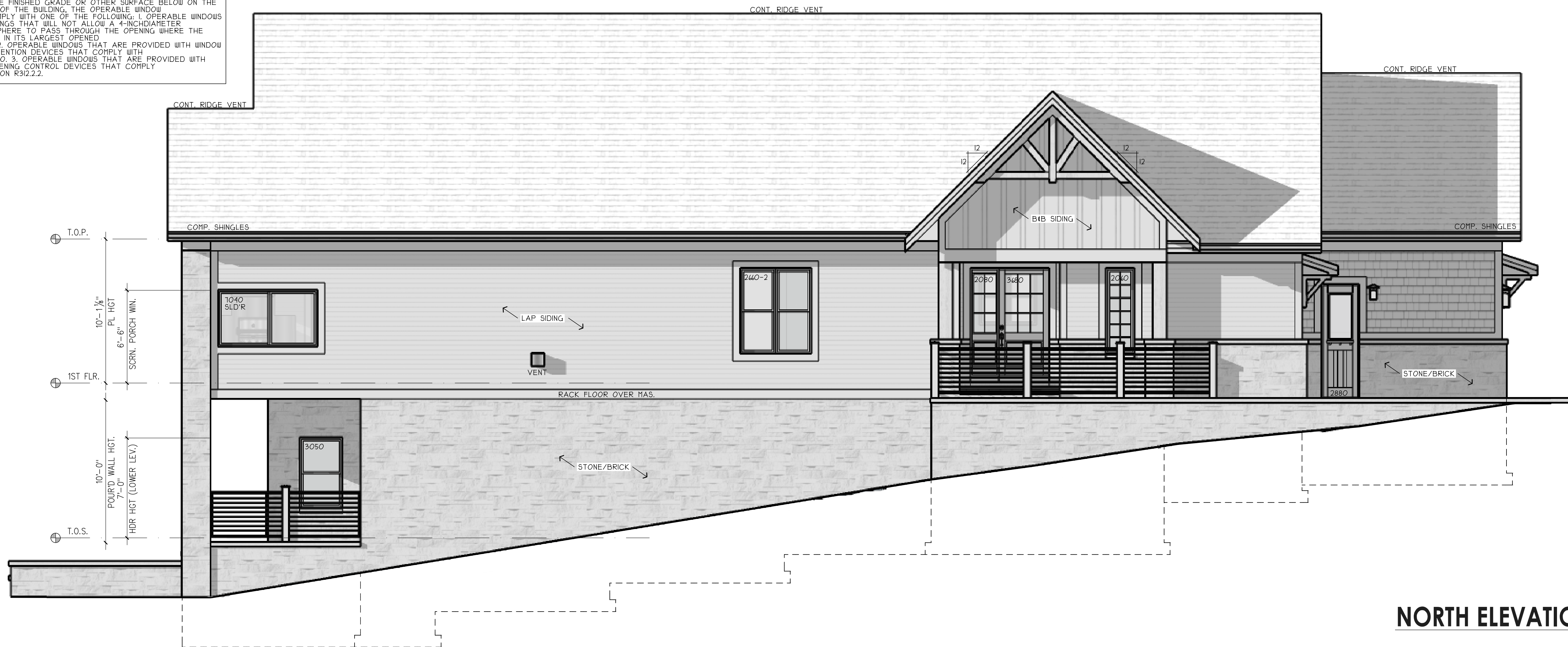
SC: 1/8" = 1'-0"



**WEST ELEVATION**

SC: 1/4" = 1'-0"

R312.2.1 - WINDOW SILLS, IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES (609 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES (305 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090. 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.



**NORTH ELEVATION**

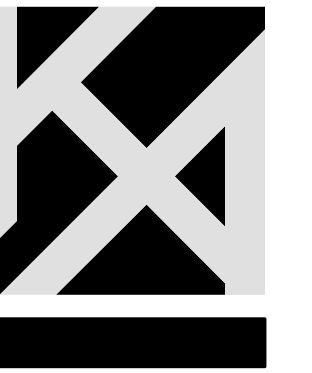
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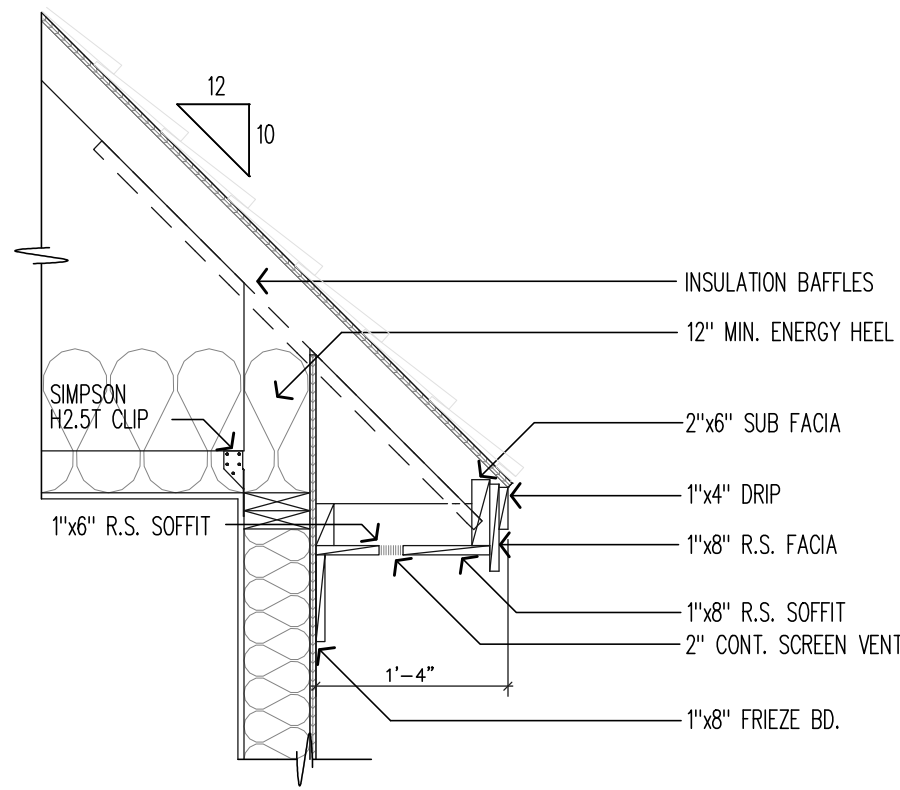
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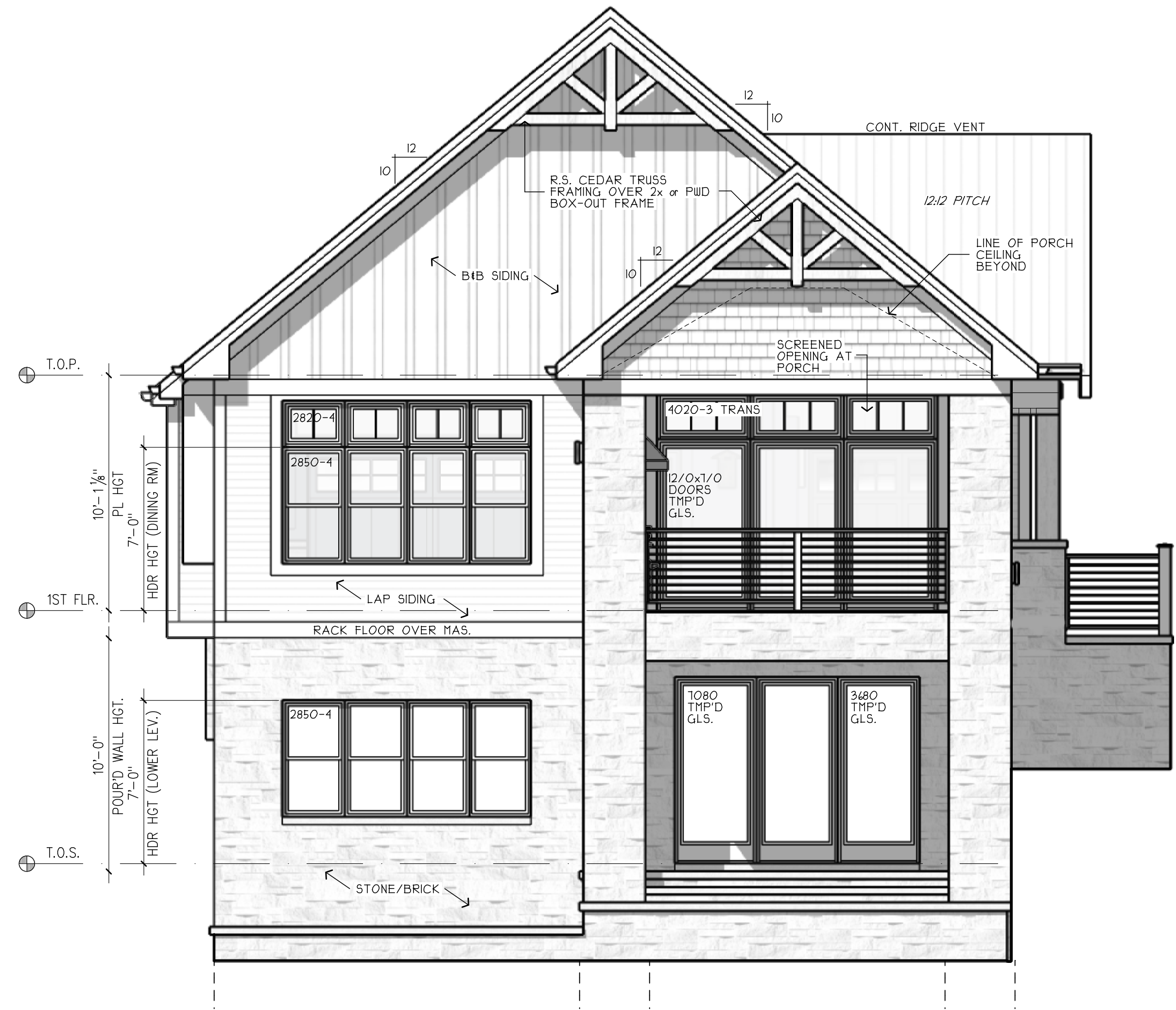
C:\Users\j0011\OneDrive\2021 drawings\McManus\10-11-22



R312.2.1 - WINDOW SILLS, IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES (60 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES (305 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090. 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.



**A** TYPICAL EAVE DETAIL  
SC: 3/4" = 1'-0"



**EAST ELEVATION**

SC: 1/4" = 1'-0"



**SOUTH ELEVATION**

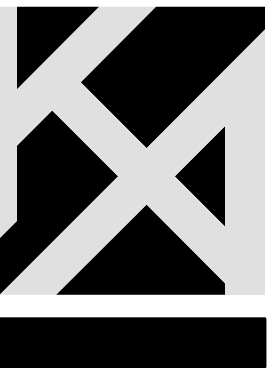
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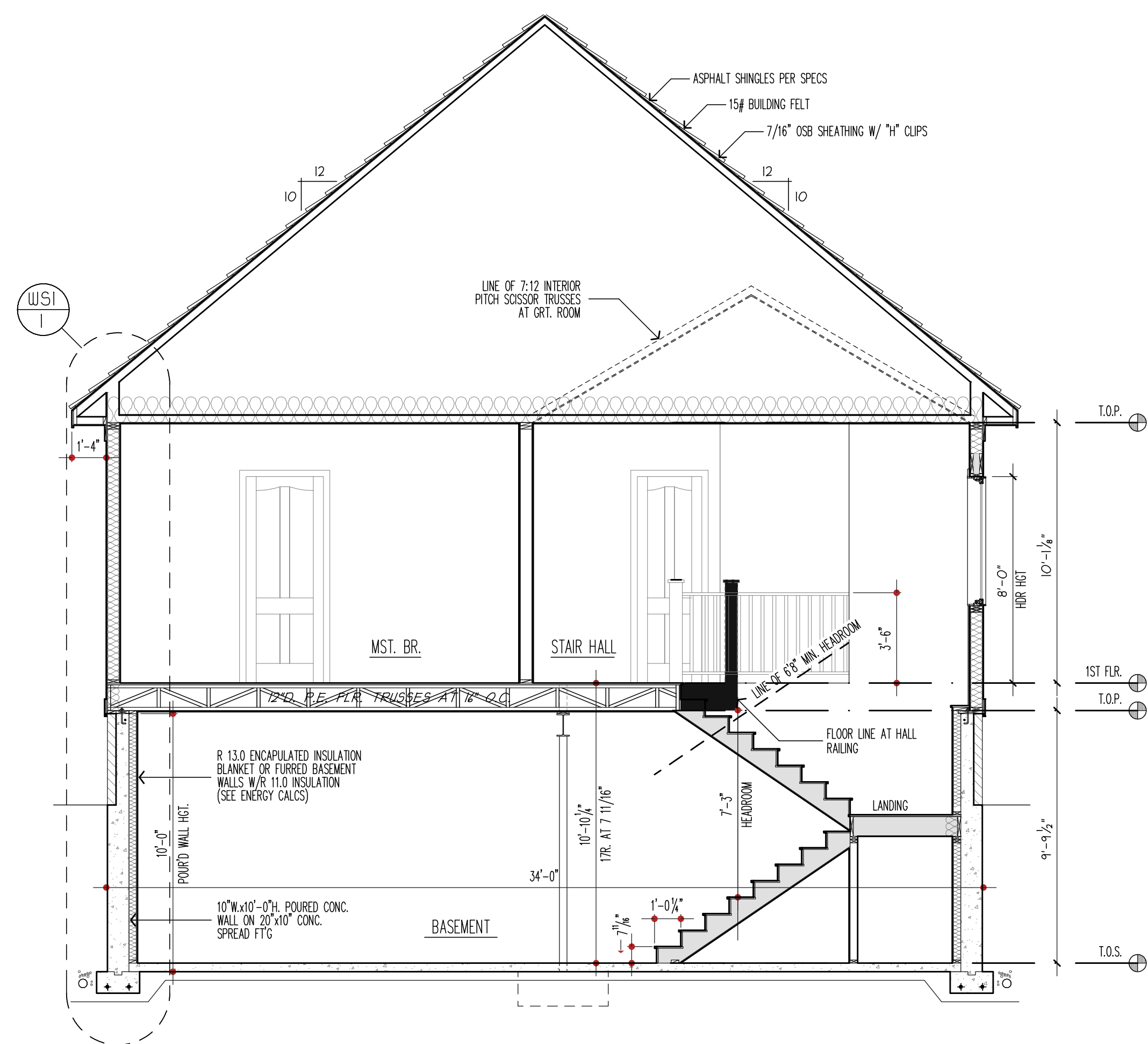
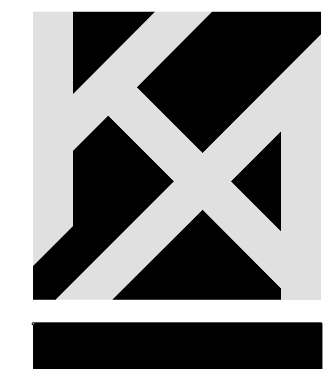
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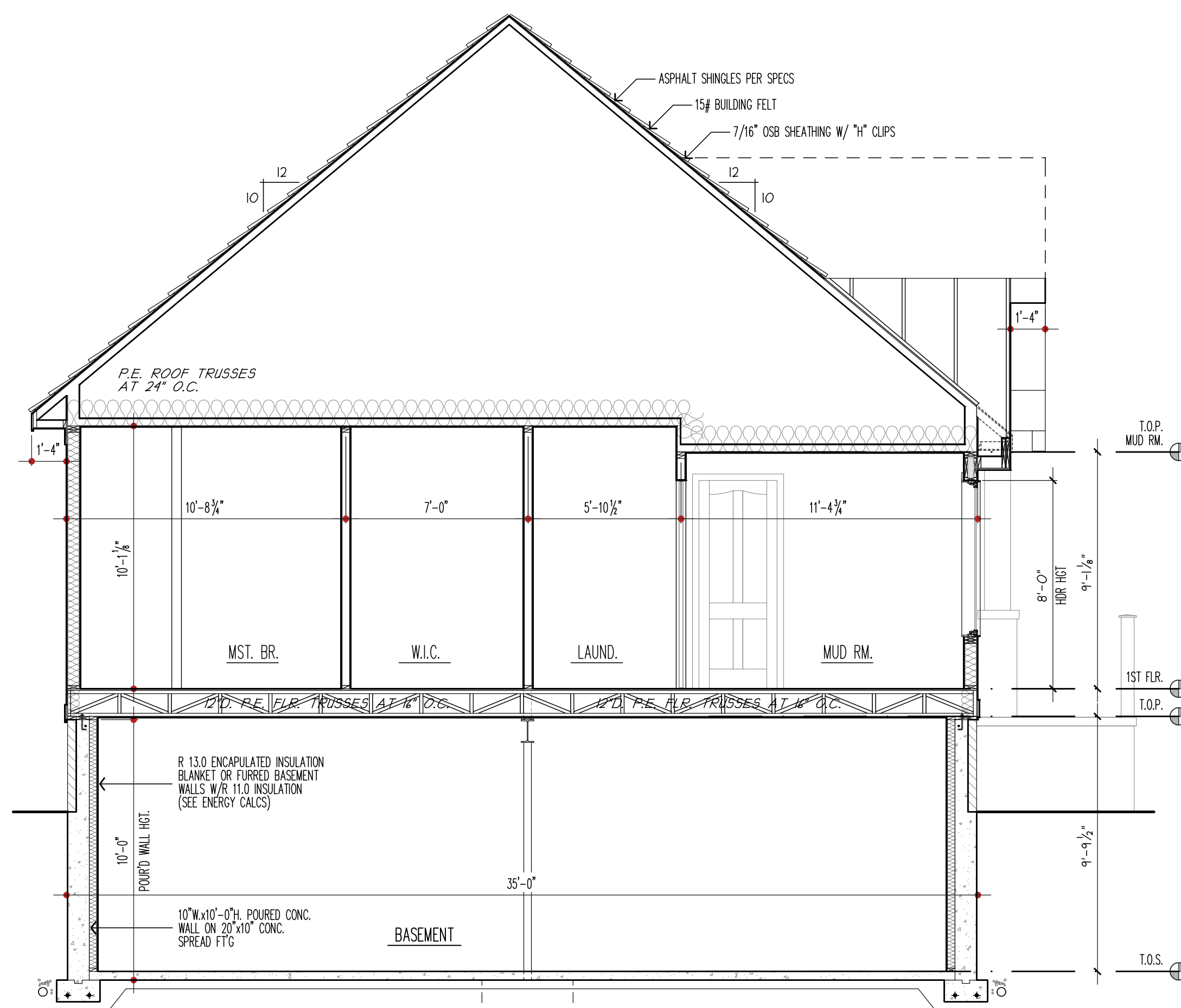
4 OF 5





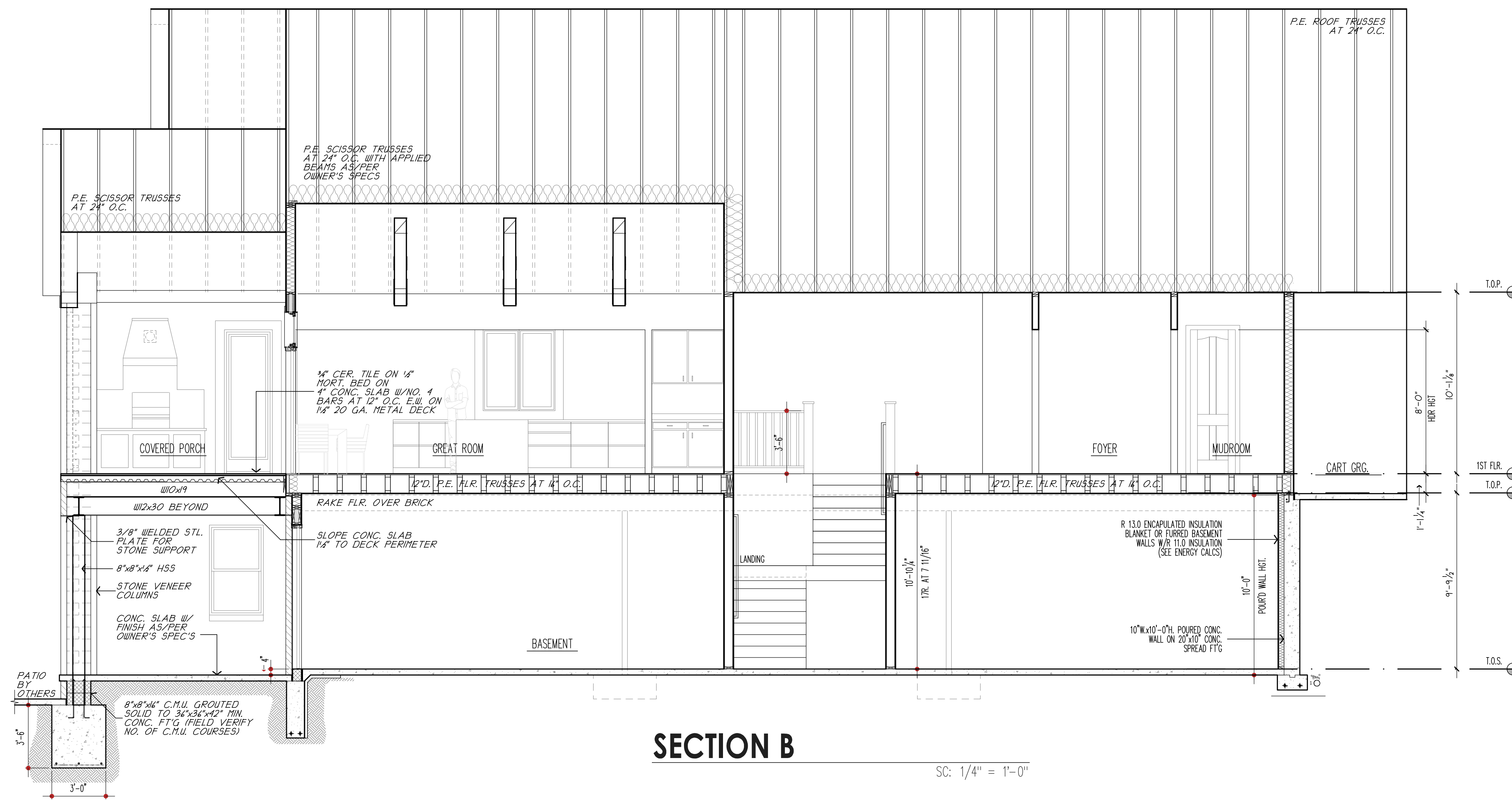
**SECTION A**

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**SECTION D**

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**SECTION B**

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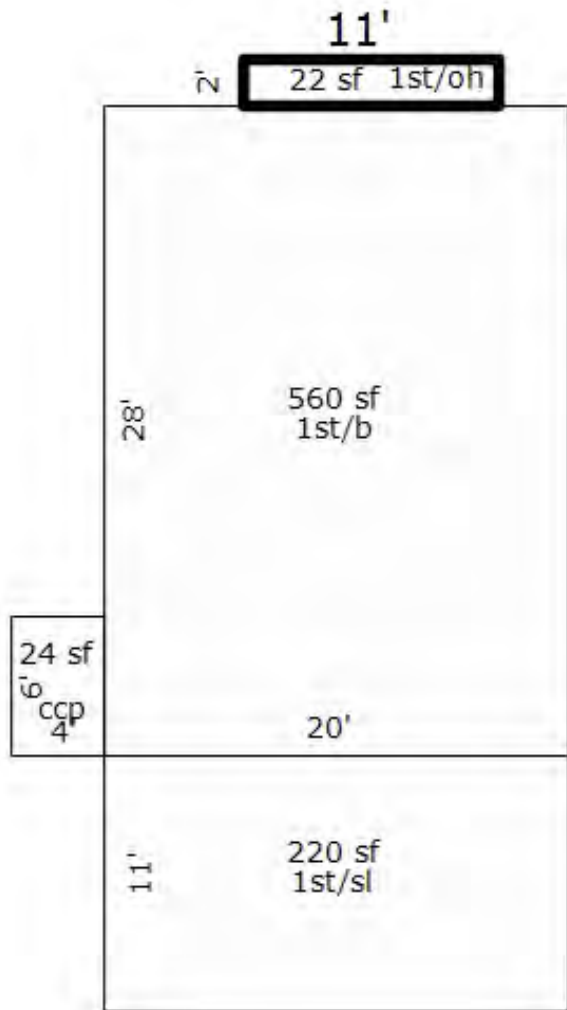
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.															
FURLAGE DOROTHY, BAUMGARTNER	MCMANUS DAVID & SIBREY	177,500	12/04/2020	WD	03-ARM'S LENGTH	2020R-045637	BUYER/SELLER	100.0															
BAUMGARTNER ELINOR LIFE ES	FURLAGE DOROTHY, BAUMGARTNER	0	03/24/2010	OTH	21-NOT USED/OTHER		BUYER/SELLER	100.0															
BAUMGARTNER, ELINOR	BAUMGARTNER ELINOR LIFE ES	0	03/26/2009	QC	21-NOT USED/OTHER	2009R-016025	BUYER/SELLER	0.0															
BAUMGARTNER, DONALD T		0	03/18/1994	OTH	21-NOT USED/OTHER	18210594	BUYER/SELLER	0.0															
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status													
4143 HIGHCREST DR		School: BRIGHTON AREA SCHOOLS		Demolition		05/04/2022		PW22-060															
Owner's Name/Address		P.R.E. 0%		MAP #: V23-20		2024 Est TCV Tentative																	
MCMANUS DAVID & SIBREY 22297 HAZELTON CT NOVI MI 48374-3880		X Improved		Vacant		Land Value Estimates for Land Table 4310. ROUND LAKE																	
Tax Description		Public Improvements		* Factors *																			
SEC. 27 T2N, R5E, CROOKED LAKE HIGHLANDS SUB. LOT 127		X		Dirt Road		Description		Frontage		Depth		Front		Depth		Rate %Adj.		Reason		Value			
Comments/Influences		X		Gravel Road		A ROUND LAKE LF		45.00		157.00		1.0000		1.0000		2700		100		121,500			
		X		Paved Road		45 Actual Front Feet,		0.16 Total Acres		Total Est. Land Value =										121,500			
		X		Storm Sewer																			
		X		Sidewalk																			
		X		Water Sewer																			
		X		Electric																			
		X		Gas																			
		X		Curb																			
		X		Street Lights																			
		X		Standard Utilities																			
		X		Underground Utils.																			
		X		Topography of Site																			
		X		Level																			
		X		Rolling																			
		X		Low																			
		X		High																			
		X		Landscaped																			
		X		Swamp																			
		X		Wooded																			
		X		Pond																			
		X		Waterfront																			
		X		Ravine																			
		X		Wetland																			
		X		Flood Plain																			
		X		REFUSE																			
4711-22-302-139		10/24/2022		Who		When		What		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
The Equalizer. Copyright (c) 1999 - 2009.		JB		10/24/2022		INSPECTED				2023		60,800		47,200		108,000						108,000S	
Licensed To: Township of Genoa, County of Livingston, Michigan		JB		12/08/2020		SALES REVI				2022		60,800		42,400		103,200						103,200S	
		CG		07/28/2016		REVIEWED R				2021		67,500		38,100		105,600						105,600S	



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage																												
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	24	CCP (1 Story)	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:																										
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling																																							
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration																																								
Yr Built 1945	Remodeled 0	Ex	X	Ord		Min	Size of Closets																																					
Condition: Good		Lg	X	Ord		Small																																						
Room List		Doors:		Solid	X	H.C.	Central Air Wood Furnace																																					
	Basement 1st Floor 2nd Floor 2 Bedrooms	(5) Floors		(12) Electric			0 Amps Service																																					
(1) Exterior		Kitchen: Other: Other:		No./Qual. of Fixtures			Ex. X Ord. Min																																					
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings		No. of Elec. Outlets			Many X Ave. Few																																					
(2) Windows		(7) Excavation		(13) Plumbing																																								
X	Many Avg. Few	X	Large Avg. Small	Basement: 560 S.F. Crawl: 0 S.F. Slab: 220 S.F. Height to Joists: 0.0			Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																																					
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor																																								
(3) Roof		(9) Basement Finish		(14) Water/Sewer																																								
X	Gable Hip Flat		Gambrel Mansard Shed	1 Recreation SF 1 Living SF 1 Walkout Doors (B) No Floor SF Walkout Doors (A)			1 Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic																																					
X	Asphalt Shingle	(10) Floor Support		Lump Sum Items:																																								
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:																																										
Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts Ground Area = 780 SF Floor Area = 802 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=64/100/100/100/64 Building Areas <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr> <td>1 Story</td> <td>Siding</td> <td>Slab</td> <td>220</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Basement</td> <td>560</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Overhang</td> <td>22</td> <td></td> <td></td> </tr> <tr> <td colspan="3">Total:</td> <td></td> <td>127,157</td> <td>81,381</td> </tr> </tbody> </table> Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,687 1,720 Water/Sewer Public Sewer 1 1,568 1,004 Water Well, 200 Feet 1 11,276 7,217 Porches CCP (1 Story) 24 1,268 812 Totals: 143,956 92,134 Notes: ECF (4310 ROUND LAKE) 1.100 => TCV: 101,347															Stories	Exterior	Foundation	Size	Cost New	Depr. Cost	1 Story	Siding	Slab	220			1 Story	Siding	Basement	560			1 Story	Siding	Overhang	22			Total:				127,157	81,381
Stories	Exterior	Foundation	Size	Cost New	Depr. Cost																																							
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1 Story	Siding	Overhang	22																																									
Total:				127,157	81,381																																							

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



2 BEDROOMS  
1 FULL BATH  
GRAVEL DW - N/V

New 2023 Tax Roll  
Demo





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-21 Meeting Date: 6-20-23

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Tiffany & Chris Trotter Email: Teamtrotter@yahoo.com

Property Address: 2621 Spring Grove Dr. Phone: 248 755-1564

Present Zoning: \_\_\_\_\_ Tax Code: 4711-24-200-049

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: (please refer to attached letter)

\_\_\_\_\_  
\_\_\_\_\_

The following is per Article 23.05.03:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

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Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

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Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

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Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.


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**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.**

Date: 5-16-2013 Signature: 

To Whom It May Concern:

May 16, 2023

Greetings ZBA members, my name is Tiffany Trotter. I am requesting a zero variance for a construction project that took place at 2621 Spring Grove Drive. Unfortunately, my husband and I had a pandemic builder that took advantage of us during a vulnerable time in our country. He led us to believe he had a good work ethic and integrity. When the pole barn was constructed, we were under the impression that everything was in order. We were unaware he had not filed the proper paperwork. Once built, we were contacted by Genoa Township. They informed us that the appropriate paperwork had not been filed. We spoke with our builder and he provided us with the information to put on the paperwork submitted. We had no idea that he misrepresented the information he gave us. The property line dispute was brought to our attention once our new neighbors made us aware. After this, we contacted our builder and told him about the situation. We questioned how he could have made that mistake since we had Boss Engineering come out and mark the boundary lines. Following that conversation, we have not been able to reach him. Sharon has been helping my husband figure out the next steps. We realize that we hired an unfit person to do the job. We currently hired Harris Brothers Building Company. Sharon has been in communication with Harris Brothers Building Company, and they are dedicated, to helping us resolve this issue. We are requesting a zero variance so that Harris Brothers can modify the pole barn. The topography on the property line is forestry with a drop-off. We are asking for compassion as neighbors within this community. We have never avoided conversations with the township or our surrounding neighbors. Our neighbors know us to be mannerable, respectful, and helpful. The granting of this variance will not infringe on our neighbors. Due to the topography and extraordinary circumstance surrounding this issue, we hope to resolve this.

Sincerely,

The Trotter's



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## REVISED MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Zoning Official  
**DATE:** September 14, 2023

**RE:** ZBA 23-21

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### STAFF REPORT

**File Number:** ZBA# 23-21  
**Site Address:** 2621 Spring Grove, Brighton 48114  
**Parcel Number:** 4711-24-200-049  
**Parcel Size:** 2.410 Acres  
**Applicant:** Trotter, Christopher and Tiffany  
**Property Owner:** Same as Applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a front yard setback variance to allow an existing detached accessory to be moved 10' from the front property line.  
**Zoning and Existing Use:** LDR (Low Density Residential) Single Family Dwelling is located on the property.

#### Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 4<sup>th</sup>, 2023 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

#### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1991.
- In 1996, a land use permit was issued for an addition to the existing home.
- In 2010, a land use waiver was issued for a new roof on the home.
- In 2021, a variance was granted for the detached accessory structure to remain in the front yard 10 feet from the property line. (See attached)
- In 2021, a land use permit was issued for the detached accessory per ZBA approval.
- The parcel is serviced by private water and private sewer
- See Assessing Record Card

#### SUPERVISOR

Bill Rogers

#### CLERK

Paulette A. Skolarus

#### TREASURER

Robin L. Hunt

#### TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

#### MANAGER

Kelly VanMarter



## Summary

In 2021, staff discovered that the existing detached accessory structure was constructed without a land use permit or a building permit. Applicant was granted a variance to allow the structure to remain in the front yard and be located 10 feet from the property line with a condition that the existing shed be removed. Applicant received a land use permit and building permit. To this day, the shed remains.

Applicant was notified in early April of 2022 that the detached accessory structure, fence and shed was on the neighbor's property and not 10 feet from the front property line as the applicant stated when applying for his variance and land use permit. **Applicant is now requesting approval to relocate the detached attached structure 10 feet from the front property line since the approved variance has since expired from 2021.**

Please see attached code enforcement correspondence attached. The property owner appears to be disingenuous with their reasonings for requiring either variance. Please see the attached 2021 variance application and minutes from the October 19, 2021 ZBA meeting.

**At the June 20, 2023 Zoning Board of Appeals meeting, it was decided to postponed the applicant until the September 19<sup>th</sup>, 2023 meeting. The applicant has submitted a survey demonstrating the proposed relocation of the detached accessory structure to 10 feet from the front property line. The variance that was approved in 2021 has since expired. The applicant has not requested that the shed remain, as it does conform and as the previously stated approval, it must be removed.**

Staff is concerned with items not in compliance as required in their 2021 approval. Staff asks the Zoning Board of Appeals to consider if a performance guarantee could be required in accordance with Section 21.03 of the Zoning Ordinance to ensure that the conditions are adhered to, should the variance be approved.

### **Sec. 21.03 PERFORMANCE GUARANTEE**

To ensure compliance with the provisions of this Ordinance and any conditions imposed by the Township Board, Zoning Board of Appeals, Planning Commission or Zoning Administrator, the Township may require that a performance guarantee be deposited with the Township to ensure faithful completion of improvements. The performance guarantee shall meet the following requirements:

**21.03.01 Performance Guarantee:** The performance guarantee may be in the form of a cash deposit, irrevocable letter of credit, certified check, cash escrow, or similar instrument acceptable to the Township. If the applicant posts a letter of credit, the credit shall require only that the Township present the credit with a sight draft and an affidavit signed by the Township Attorney attesting to the Township's right to draw funds under the credit. If the applicant posts a cash escrow, the escrow instructions shall provide that the escrow agent shall have a legal duty to deliver the funds to the Township whenever the Township Attorney presents an affidavit to the agent attesting to the Township's right to receive funds whether or not the applicant protests that right.

**21.03.02 Submittal:** The performance guarantee shall be submitted at the time of issuance of the permit authorizing the activity or project. The performance guarantee shall be in a form found acceptable to the Township.

**21.03.03 Amount:** The amount of the performance guarantee shall be sufficient to cover the estimated cost of the improvements associated with a project for which site plan approval is sought. The applicant shall provide an itemized schedule of estimated costs to complete all such improvements.

**21.03.04 Refund:** The entire performance guarantee, including interest accrued, shall be returned to the applicant upon satisfactory and timely completion of the required improvements. The applicant may request that the performance guarantee be returned as work progresses in reasonable proportion to the ratio of work completed on the required improvements, provided that a minimum of ten percent (10%) shall be held back on each element until satisfactory completion of the entire project.

**21.03.05 Improvements not Completed:** Whenever required improvements are not installed or maintained in accordance with the standards set forth in this Ordinance and an approved site plan, the Township may complete the necessary improvements itself or by contract to an independent developer, and assess all costs of completing said improvements against the performance bond or other surety, including any interest accrued on said bond or surety. Prior to completing said improvements, the Township shall notify the owner, site plan review applicant, and/or other firm or individual responsible for completion of the required improvements.

### **Variance Requests**

The following is the section of the Zoning Ordinance that the Size variance is being requested from:

#### **11.04.02 Accessory Buildings**

(a) Restrictions in Front Yard: Detached accessory buildings shall not be erected in any front yard, except as follows:

(1) Waterfront lots in the Lakeshore Resort Residential District, provided the front setback is not less than ten (10) feet.

(2) Lots of at least five (5) acres in the AG or CE District when the front setback is equal to or greater than the average setback of established buildings on adjoining lots or seventy-five (75) feet, whichever is greater, as determined by the Zoning Administrator. If both of the adjacent lots are undeveloped, then front yard accessory buildings are permitted with a minimum front yard setback of two hundred (200) feet.

#### **Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

**(a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning ordinance would prevent the applicant from keeping the detached accessory structure. since the structure is not located in the previously approved location of 10 feet from the property line. Detached accessory structures are common in this area and the granting the previously approved variance of 10 feet did provide substantial justice and was necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district

**(b) Extraordinary Circumstances** – The extraordinary or exceptional conditions of the property is the location of the existing single-family home, the irregular shape of the lot, location of well and septic field and topography of the lot. **Applicant should verify if this is the least amount necessary.**

**(c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**(d) Impact on Surrounding Neighborhood** – The proposed variance could have a limited impact on the appropriate development, continued use, or value of adjacent properties and the surrounding

neighborhood due to the location of the structure located on the property line in an area of larger lots.

**If recommended for Approval, staff offers the following:**

1. Shed, fence (if fence has not been removed already), and play structure must be removed from the front yard since they do not meet the Zoning Ordinance within 10 days of approval. Any gravel or any other misc. items that are on the neighbor's property must be removed within 10 days of approval. No exceptions due to the property owner has been given ample time to remove the shed or any other items.
2. A land use permit must be applied for within 5 days of variance approval for the relocation or removal of the detached accessory structure and the removal of the shed.
3. A permit from the Livingston County Building Dept. must be applied for within 5 days after receiving approved land use permit.
4. The detached accessory structure must be relocated to the approved setback within 60 days of approval. Once the detached accessory structure is moved, any gravel, concrete and misc. items must be removed from the neighbor's property and the property must be restored. No concrete can be located within 3 feet of the property line and must only be 6 inches in height.
5. If the detached accessory structure is relocated to the approved location, applicant must obtain a sealed as-built by a certified engineer and submit to the Township prior to Certificate of Occupancy.
6. If the following conditions are not adhered to then enforcement will commence with the issuance of civil fines in accordance with section 21.04 of the Zoning Ordinance.
7. No other structures or buildings are allowed in the front yard including but not limited to the playset, fence (unless it meets the Zoning Ordinance), etc.

**If recommended for Denial, staff offers the following:**

1. The detached accessory structure must be removed within 30 days including concrete and gravel and any other items.
2. Shed, fence (if fence has not been removed already), and play structure must be removed from the front yard within 10 days of denial. Any gravel or any other misc. items that are on the neighbor's property must be removed within 10 days of approval. No exceptions due to the property owner has been given ample time to remove the structure.
3. A land use permit must be applied for within 5 days of denial for the relocation or removal of the detached accessory structure and the removal of the shed.
4. A permit from the Livingston County Building Dept. must be applied for within 5 days after receiving approved land use permit.
5. If the following conditions are not adhered to then enforcement will commence with the issuance of civil fines in accordance with section 21.04 of the Zoning Ordinance.





# Genoa Township

2911 Dorr Road, Brighton, Michigan 48116  
 Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

## Planning & Zoning

**P21-216**

Issued: 10/25/2021  
 Expires: 10/25/2022

**Residential Land Use**

**Detached Accessory**

LOCATION	OWNER	APPLICANT
2621 SPRING GROVE DR 4711-24-200-049 Zoning: LDR	TROTTER CHRISTOPHER & TIFFANY 2621 SPRING GROVE DR BRIGHTON MI 48114-9448 Phone: E-mail:	TROTTER CHRISTOPHER & TIFFANY 2621 SPRING GROVE DR BRIGHTON MI 48114-9448 Phone: E-mail:

**Work Description:** Obtain a land use permit for a 960 sq. ft. pole barn that was constructed without permits.  
 ZBA Case #21-21

10/31/22  
 Letters from Trotter and neighbors attorney are attached to this record.  
 Letter of intent from contractor for spring of 2023 is also attached.

**PROJECT INFORMATION:**

Front Setback: 50                      Side Setback: 180                      Water/Wetland:  
 Least Side Setback: 30              Rear Setback: 160                      Distance from Principal Structure:  
 Construction Value: \$12,000.00      Height:                                      Total Square Feet: 01  
 ZBA Approval: 10/19/2021

Comments/ Conditions:	Flood Plain: N/A
Per ZBA approval from the 10-19-21 Meeting:	
1. The structure must be guttered with downspouts.	
2. Section 03.03.02 Home Occupations of the Zoning Ordinance must be followed.	
3. Must obtain a land use permit and a building permit from the Livingston County Building Department within 10 days.	
4. The second detached accessory on the property in the front yard also, must be removed within 30 days.(shed)	
5. The detached accessory structure or roof (lean to) cannot be enlarged.	
6. If any business equipment or personal equipment (trucks, trailers, etc.) are stored on the lot, they must be brought into conformance with the Township ordinance prior to land use permit issuance.	
7. The paved area that is located in the easement shall not contain any vehicles or equipment that would cause the adjacent property owner to not be able to access their property.	

Permit Item	Permit Fee	Fee Basis	Item Total
Accessory Building	Permit Fee	1.00	50.00
		Fee Total:	\$50.00
		Amount Paid:	\$50.00
		<b>Balance Due:</b>	<b>\$0.00</b>

Genoa Township Zoning Board of Appeals Meeting

June 20, 2023

Approved Minutes

Board Member McCreary asked Mr. McManus what the hardship is. Five variances is excessive. Having the homes so close together makes it difficult to have maintenance done on equipment that can only be accessed from the rear of the property, such as grinder pumps. Mr. McManus stated the grinder pump will need to be relocated because it is very close to the proposed foundation. He does not feel it will be difficult to move it and meet the requirements of the township.

Board Member Kreutzberg noted that one of the reasons for approving a variance is that it is the least amount necessary. She can appreciate wanting a ranch-style home, but building a second story would eliminate the need for many of these variances.

Mr. McManus reiterated that there are other homes in his neighborhood that are closer to the road and the water than what he is requesting and have received variances.

The applicant was advised that if his requests are denied, then he cannot return to the ZBA for a year; however, he can have it tabled and return with a different plan that is more compliant with the ordinance.

Mr. McManus requested to have his item tabled until the September ZBA meeting.

**Moved** by Board Member Rockwell, seconded by Board Member McCreary, to table Case #23-20 until the September 19, 2023 Zoning Board of Appeals meeting, at the applicant's request. **The motion carried unanimously.**

2. 23-21...A request by Tiffany and Chris Trotter, 2621 Spring Grove Drive, for front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to be allowed to move an already-constructed pole barn to the lot line.

Ms. Tiffany Trotter stated the property is surrounded by drop offs that restrict the location of the pole barn. Where the shed and pole barn are located is the only flat area on their property where they can be placed. They would like a variance for a zero setback to move the pole barn over 2.8 feet. It was placed in the wrong location due to the fault of the builder.

Board Member Kreutzberg agrees that the original variance of 10- feet was granted in error because the applicant and the township did not have the correct information and now part of the barn is on the neighbor's property. She noted that when the original variance was requested in 2021, there was a requirement to remove the small shed, and it still remains.

Board Member McCreary would like to see a survey showing the locations of all the buildings on the property.

The call to the public was opened at 7:23 pm.

Mr. Thomas Dougan of 2601 Spring Grove Drive stated he moved into his home in 2021. The Trotters have multiple buildings on their property. He provided photographs showing a shed, pole barn, swing set and fence that are located on his property. He is not against the applicant having buildings on their property, but he would like them to be moved off his and within the required setbacks.

Genoa Township Zoning Board of Appeals Meeting

June 20, 2023

Approved Minutes

Mr. Bob Legowsky of 2627 Spring Grove had a very good relationship with the Trotters until they tried to build an illegal garage at the end of their driveway. In 2021, he and Mr. Trotter contracted with Boss Engineering to do surveys of their properties and while they were on site, Mr. Trotter was told that the buildings were on the other neighbor's property.

The call to the public was closed at 7:30 pm.

Ms. Trotter stated that the fence and the shed have been relocated and are on her property.

Mr. Rockwell asked Ms. Trotter's builder how he would relocate the pole barn. He explained how he will remove the posts, relocate that portion of the barn, including the overhang and gutters, onto the applicant's property, and then repour the posts to meet the building code.

Board Member McCreary would like you to have the applicant provide an engineered survey. Board Member Kreutzberg agrees and would also like to see an architectural drawing showing the new location of the pole barn.

Board Member Rockwell is not in favor of approving a zero lot line variance as that is not what was granted when the original variance for the barn was approved.

Ms. Trotter requested to have this item tabled this evening so she could provide the requested information.

**Moved** by Board Member McCreary, seconded by Board Member Ledford, to table Case #23-21 until the September 19, 2023 Zoning Board of Appeals meeting to allow the applicant to provide engineered drawings from a licensed surveyor showing lot lines and any buildings within and outside of the lot lines and what portions will be moved to comply with the 10-foot setback and architectural drawings and renderings and what process will be done. **The motion carried unanimously.**

3. 23-22... A request by the Chaldean Catholic Church of the United States, 7000 McClements Road, for a height variance and any other variance deemed necessary by the Zoning Board of Appeals to allow a ropes course.

Mr. Jim Berigan of Our Lady of the Fields Campground, and Ms. Kimberly Hamman, the attorney for Our Lady of the Fields Campground, were present. Mr. Berigan stated they are requesting a 30 foot height variance for their high ropes course. Due to the nature of the activity, the poles must be at this height.

Board Member Kreutzberg asked if there are any plans to add additional elements to the property. Mr. Berigan said if they wish to add anything, they will come before the township to receive approval.

The call to the public was opened at 7:48 pm.

Mr. Steve Oliveri of 1200 Kellogg Road, which is across the street from the camp, stated the course has been on this site since 2019. He found a Michigan law that states that ziplines and other things that provide amusement to people require a permit and an inspection by the State. He provided an example of the permit. Based on the description, the high ropes course would require a permit.



**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
October 19, 2021 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairman Rassel called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Greg Rassel, Marianne McCreary, Jean Ledford, Bill Rockwell, Michelle Kreutzberg, and Amy Ruthig, Zoning Official. Absent was Craig Fons.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Approval of the Agenda:**

**Moved** by Board Member Ledford, seconded by Board Member Rockwell, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was made at 6:31 pm with no response.

1. 21-21...A request by Christopher Trotter, 2621 Spring Grove, for a variance to allow an existing detached accessory structure in the front yard.

Mr. Trotter stated he is requesting a variance for a pole barn that he has already erected. He was not aware that he needed a permit for the pole barn. It has been up for approximately three months. There is no flat land on his property. He noted that two of his neighbors submitted letters stating they do not have any objection to the pole barn. It is not an eyesore. It is brown so he believes it blends in with the woods. There are only three houses surrounding him.

Board Member McCreary questioned who maintains the roadway for the three homes. He stated he maintains it. There is a maintenance agreement between the homeowners on the road. She asked if the neighbor has experienced any runoff since the barn has been built. Mr. Trotter stated the neighbor has not any issues.

Board Member Kreutzberg asked if any dirt had to be brought in. Mr. Trotter stated they brought in a little bit of dirt.

Genoa Township Zoning Board of Appeals Meeting  
October 19, 2021  
Approved Minutes

Chairman Rassel asked if there have been other variances for front yard structures in this area. Ms. Ruthig stated one of the residents on Spring Grove was granted a variance last year for the same request.

The call to the public was made at 6:42 pm.

Mr. Robert Legowsky of 2627 Spring Grove stated that Mr. Trotter put in an asphalt pad inside the easement and sometimes his vehicles are parked on this pad that blocks his driveway so he cannot get access.

The call to the public was closed at 6:44 pm.

Ms. Ruthig advised the applicant that his vehicles cannot be parked on the easement portion of the cul-de-sac. After a brief discussion between the Board, the applicant, and Mr. Legowsky, Mr. Trotter agreed to no longer park his vehicles on the pad. Both the applicant and Mr. Legowsky agreed that the asphalt pad was placed inside the easement.

Chairman Rassel stated that two letters of support were received from the neighbors.

Ms. Ruthig stated there is also a second 8 x 8 accessory structure that is not allowed in the front yard. The variance is not being requested for this item so it must be removed.

**Moved** by Board Member McCreary, seconded by Board Member Kreutzberg, to approve Case #21-21 for the property located at 2621 Spring Grove, Brighton to construct a detached accessory structure in the front yard, based on the following findings of fact:

- Strict application of Ordinance Section 11.04.04(c) would prevent the applicant from erecting an accessory structure in the front yard. The application has constructed the existing pole barn without permits and is requesting a variance that is required procedurally through the ZBA. Granting a variance would provide substantial justice and is necessary for the preservation and enjoyment of substantial rights possessed by other property owners in the same zoning district and location of the subject property. Detached accessories are common in this area.
- The property presents a challenge based on the shape of the lot, the extreme variation of topography, and the location of well and septic. There is no other location for an outbuilding, other than where the structure sits currently. The need for this variance is not self-created in regard to the placement. The request for the variance is not self-created given the limited space available for an outbuilding. Township Staff does not consider the need for the variance to be self-created despite the fact that the structure was built without permits.
- The granting of the variance will not impair an adequate supply of light and air to the adjacent properties or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

- The proposed variance would have limited impact on the appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

This request is conditioned upon the following:

1. The structure must be guttered with downspouts.
2. Section 03.03.02 Home Occupations of the Zoning Ordinance must be followed.
3. Must obtain a land use permit and a building permit from the Livingston County Building Department within 10 days.
4. The second detached accessory on the property in the front yard also, must be removed within 30 days.
5. The detached accessory structure or roof (lean to) cannot be enlarged.
6. If any business equipment or personal equipment (trucks, trailers, etc.) are stored on the lot, they must be brought into conformance with the Township ordinance prior to land use permit issuance.
7. The paved area that is located in the easement shall not contain any vehicles or equipment that would cause the adjacent property owner to not be able to access their property.

**The motion carried unanimously.**

2. 21-22...A request by Gary and Jan Letkemann, 1146 Sunrise Park, for a variance to split property into two non-conforming lots.

Mr. and Mrs. Letkemann were present. Mr. Letkemann stated they have a home at 1185 Sunrise Park. They purchased 1146 Sunrise Park and currently his son and granddaughter live there. They would like to split the property to build a house for their other son and his family to live. They will build this home in compliance with the setbacks and will not be seeking any other variances. He does not believe it would adversely affect the neighbors or the roadway.

Board Member McCreary noted there is a sharp curve to the north of the existing home's driveway. Mr. Letkemann stated the new home's driveway would come off of Boulevard Drive and not Sunrise Park.

The call to the public was made at 7:18 pm with no response.

**Moved** by Board Member Ledford, seconded by Board Member Rockwell, to approve Case #21-22 for 1146 Sunrise Park Drive for petitioners Gary and Jan Letkemann for a variance to split Parcel #4711-09-201-163 into two non-conforming parcels; namely Lot #151 and part of Lot #152 and Lot #153 and Part of Lot #152, being requested from Genoa Township Zoning Ordinance Section 3.04.01, based on the following findings of fact:

- Strict compliance with the ordinance would prevent the applicants from splitting the parcel. The variance requested appears to be the least necessary to provide substantial justice and granting of the variance is necessary for the preservation and enjoyment of the property. There are multiple properties in the immediate vicinity that are non-conforming parcels.



2621 Spring Grove	yes	Chris Trotter	called Chris 8/19 248-755-6390 about not getting shed down per ZBA requirement. He wants to keep it and go back to ZBA said he had till 9/20 to submit or I would start issuing tickets. Have letter from Harris building that shed would be moved in spring 2023. Chris Trotter <cttreeservice01@gmail.com>
2621 Spring Grove	yes	Chris Trotter	wrote letter 8/31 to have ZBA approved shed moved off neighbor's property along with fence and another shed removed. Gave till 9/9 to have timeline. Cannot work out split with neighbor so gave till 9/30 to have timeline in place to get barn moved. Left voicemail 9/10. Mr. Trotter needed more time to get a contractor in place gave till 10/31 to have in place. Received letter from Harris building that they will move shed in early spring 2023. Letter is attached to permit p21-216. Chris Trotter <cttreeservice01@gmail.com>

**From:** [Thomas Dougan](#)  
**To:** [Amy Ruthig](#)  
**Subject:** 2601 spring survey  
**Date:** Monday, August 22, 2022 5:10:40 PM  
**Attachments:** [22065\\_SV1-2022-03-22 \(1\).pdf](#)

---

Hello Amy,

Thank you for the chat now, attached is the survey of my property that shows the shed and the pole barn are over my property line. You have my email and my phone number is 734 718 3451. Please let me know what the township says, but given all the information I have I will be requesting all the stuff the Trotters have over my property line to be removed.

Regards,  
Tom Dougan



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

August 31, 2022

Mr. & Mrs. Trotter  
2621 Spring Grove Dr  
Brighton, MI 48114

Mr. & Mrs. Trotter

It has been brought to Genoa Townships attention by the neighbor's survey that the new accessory structure that was granted a ZBA Variance was not built 30 feet from the property line as indicated in the ZBA approval and is on the neighbor's property.

Also, as you can see by the survey your fence is also on the neighbor's property.

At this time Genoa Township will require you to remove the accessory structure and fence from the neighbor's property and place it according to the ZBA approved distance. Also, the second accessory structure will need to be removed in accordance with the ZBA approval.

Please contact Genoa Township by September 9, 2022 with a timeline to make the following corrections.

Sincerely,  
Sharon Stone  
Code Compliance  
Genoa Township

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

**MANAGER**

Michael C. Archinal

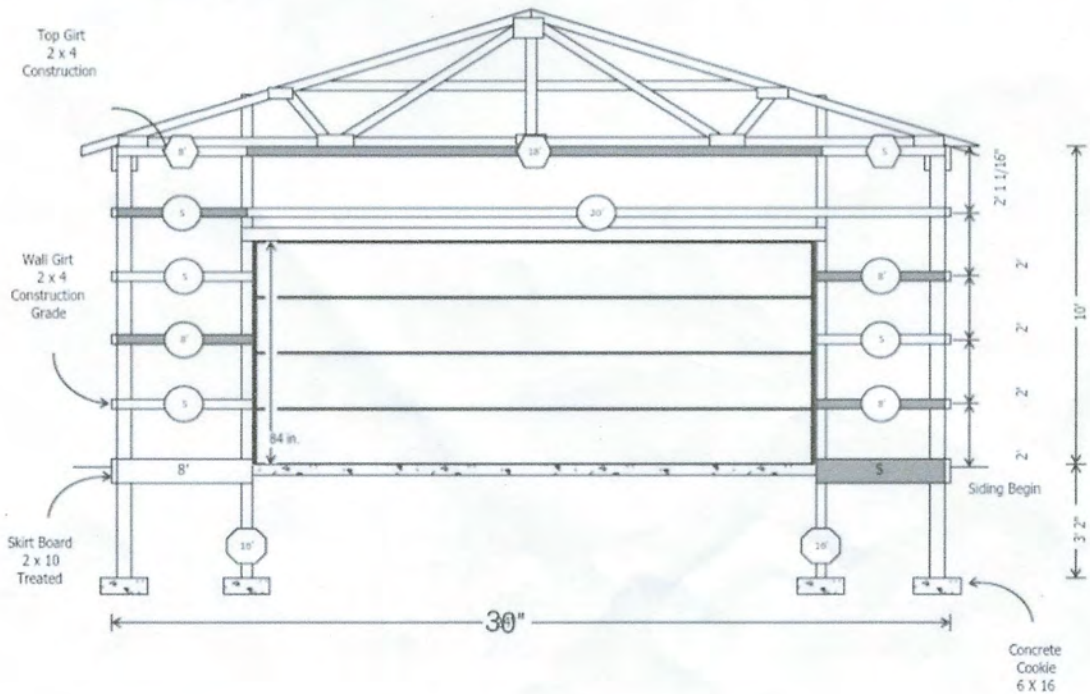
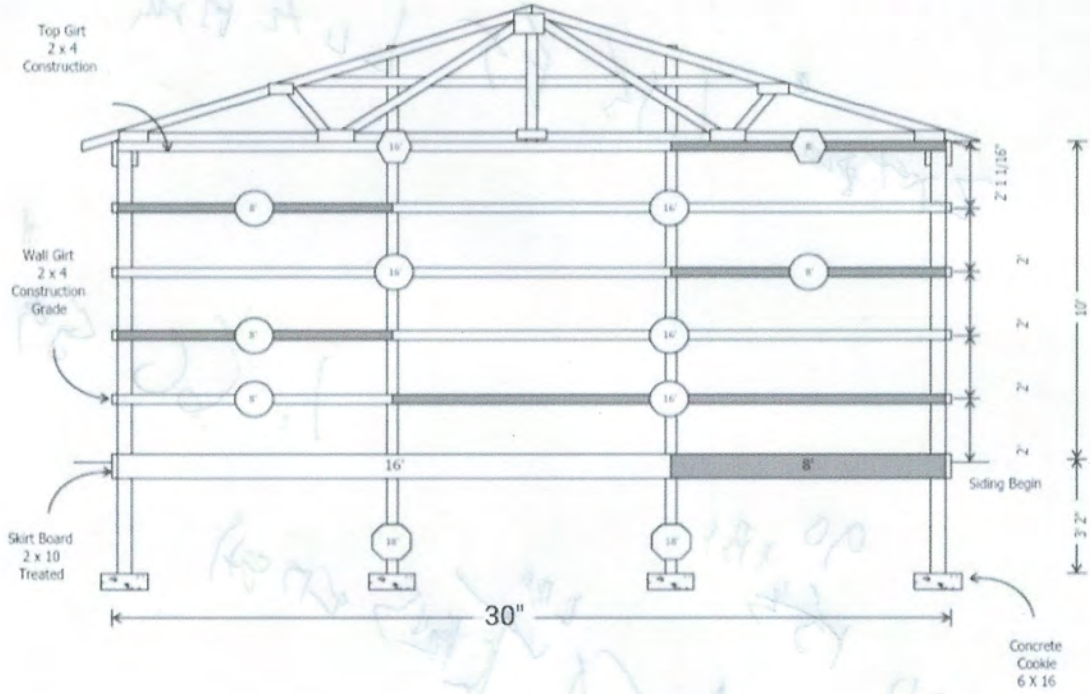






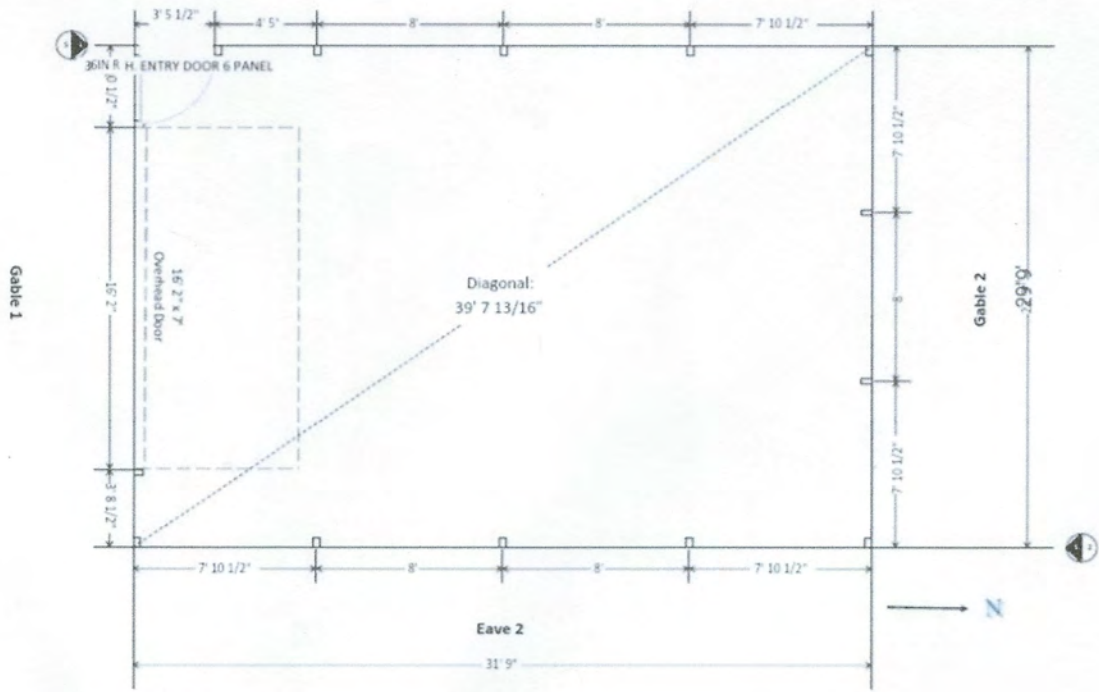






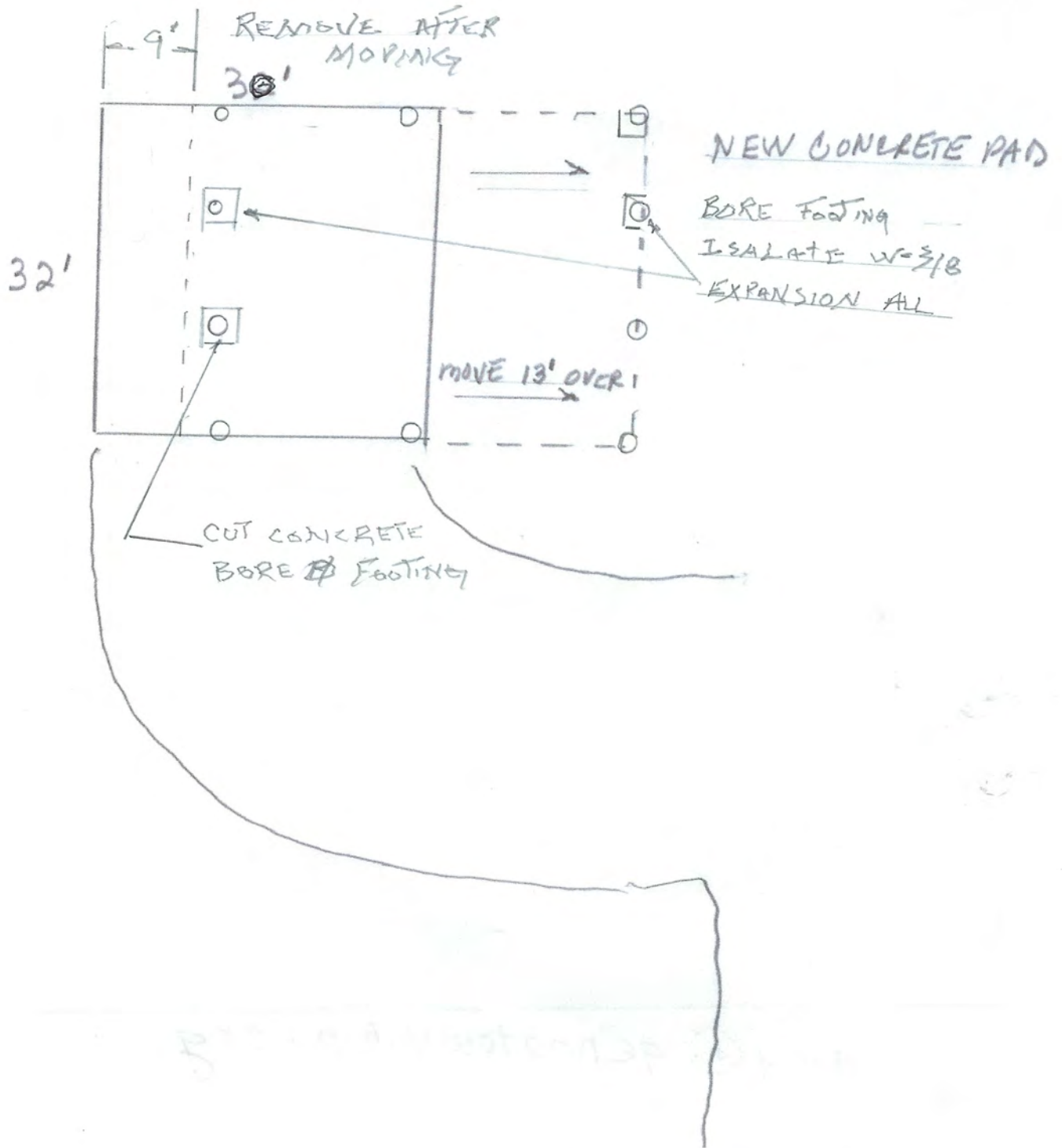


Eave 1



2621 SPRING GROVE DR.

BRIGHTON, MI 48114



# SURVEY



**GENERAL SURVEY NOTI**

1. BEARINGS ARE BASED C  
COORDINATE SYSTEM, SI
2. SUBSURFACE UTILITIES  
MAY EXIST. IT IS THE  
OF THE RESPECTIVE UTI  
SUCH UTILITIES.
3. EASEMENTS OR RESTRIC  
ON THIS DRAWING MAY

WOOD LATH SET  
ON PROPERTY  
LINE (TYPICAL)

CURRENT ZONING: LDR  
MINIMUM SETBACK RI  
FRONT = 50 FEET  
SIDES = 30 FEET  
REAR = 60 FEET  
MINIMUM LOT AREA =  
MINIMUM LOT WIDTH  
MAXIMUM BUILDING F

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITY  
SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUAR  
EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR AI  
THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE  
DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING L  
AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO  
CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF  
CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFER  
SIGNIFICANTLY FROM THE PLANS.



-051  
3" SURVEY  
39  
991)



# CERTIFIED SURVEY

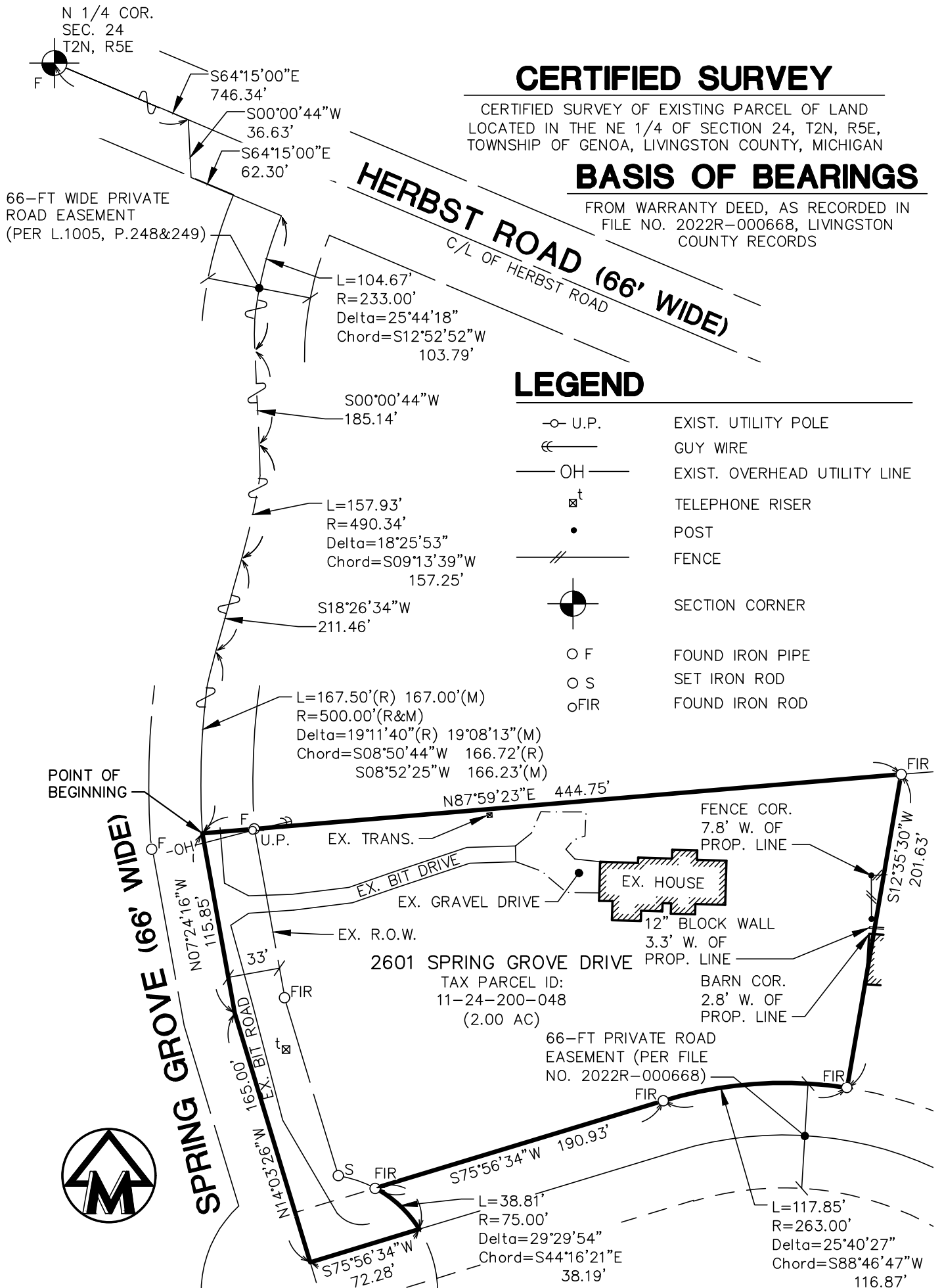
CERTIFIED SURVEY OF EXISTING PARCEL OF LAND  
 LOCATED IN THE NE 1/4 OF SECTION 24, T2N, R5E,  
 TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN

## BASIS OF BEARINGS

FROM WARRANTY DEED, AS RECORDED IN  
 FILE NO. 2022R-000668, LIVINGSTON  
 COUNTY RECORDS

## LEGEND

- U.P. EXIST. UTILITY POLE
- GUY WIRE
- OH EXIST. OVERHEAD UTILITY LINE
- TELEPHONE RISER
- POST
- FENCE
- SECTION CORNER
- F FOUND IRON PIPE
- S SET IRON ROD
- FIR FOUND IRON ROD



I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE ABOVE PARCEL HEREON DESCRIBED ON MARCH 21, 2022 AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING AND THAT ALL REQUIREMENTS OF P.A. 132 1970, AS AMENDED, HAVE BEEN COMPLIED WITH.

CLIENT: DOUGAN	DATE: 03/21/22
JOB NO.: <b>22065</b>	SHEET 1 OF 2
SECTION: 24 TOWN: 2N RANGE: 5E	SCALE: 1in. = 80 ft.
TOWNSHIP OF GENOA	BOOK: 1053
LIVINGSTON COUNTY, MICHIGAN	BY: KJB

*Mark Vander Veen*  
 Mark Vander Veen PS NO. 56788



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# LEGAL DESCRIPTION

(from Warranty Deed, as recorded in File No. 2022R-000668, Livingston County Records)

Part of the West 1/2 of the Northeast 1/4 of Section 24, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, more particularly described as follows: Commencing at the North 1/4 corner of said Section; thence along the centerline of Herbst Road (66 foot wide Right of Way) South 64 degrees 15' 00" East, 746.34 feet; thence South 00 degrees 00' 44" West 36.63 feet; thence along the Southerly line of said Herbst Road South 64 degrees 15' 00" East, 62.30 feet; thence along the centerline of "Spring Grove", a 66 foot wide Private Road Easement as recorded in Liber 1005, pages 248 and 249 of the Livingston County Records, Southwesterly along the arc of a curve to the left, a distance of 104.67 feet, said curve having a radius at 233.00 feet, a central angle of 25 degrees 44' 18", and a long chord bearing South 12 degrees 52' 52" West, 103.79 feet; thence continuing along the centerline of said "Spring Grove", South 00 degrees 00' 44" West, 185.14 feet; thence continuing along the centerline of said "Spring Grove", Southerly along the arc of a curve to the right, a distance of 157.93 feet, said curve having a radius of 490.34 feet, a central angle of 18 degrees 25' 53", and a long chord bearing South 09 degrees 13' 39" West, 157.25 feet; thence continuing along the centerline of said "Spring Grove" South 18 degrees 26' 34" West, 211.46 feet; thence continuing along the center of said "Spring Grove" Southerly along the arc of a curve to the left, a distance of 167.50 feet, a radius of 500.00 feet, a central angle of 19 degrees 11' 40", and a long chord bearing South 08 degrees 50' 44" West, 166.72 feet to the point of beginning of the Parcel to be described; thence North 87 degrees 59' 23" East, 444.75 feet; thence South 12 degrees 35' 30" West, 201.63 feet; thence along a 66 foot wide Private Road Easement Westerly along the arc of a curve to the left, a distance of 117.85 feet, said curve having a radius of 263.00 feet, a central angle of 25 degrees 40' 27", and a long chord that bears South 88 degrees 46' 47" West, 116.87 feet; thence continuing along said Private Road Easement South 75 degrees 56' 34" West, 190.93 feet; thence along the arc of a curve to the right, a distance of 38.81 feet, said curve having a radius of 75.00 feet, a central angle of 29 degrees 29' 54", and a long chord which bears South 44 degrees 16' 21" East, 38.19 feet; thence along the centerline of said Private Road Easement South 75 degrees 56' 34" West, 72.28 feet to said centerline of "Spring Grove"; thence along the centerline of said "Spring Grove" North 14 degrees 03' 26" West, 165.00 feet; thence continuing along the centerline of said "Spring Grove" North 07 degrees 24' 16" West, 115.85 feet to the point of beginning. Subject to and including the use of "Spring Grove", a 66 foot wide Private Road Easement as described in Liber 1005, pages 248 and 249 of the Livingston County Records; also subject to and including the use of a 66 foot wide Private Road Easement for ingress, Egress and Public Utilities as described below.

### 66 FOOT WIDE PRIVATE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES:

Part of the W 1/2 of the Northeast 1/4 of Section 24, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, more particularly described as follows: Commencing at the North 1/4 corner of said Section; thence along the centerline of Herbst Road (66 foot wide right of way) South 64 degrees 15' 00" East, 746.34 feet; thence South 00 degrees 00' 44" West, 36.63 feet; thence along the Southerly line of said Herbst Road South 64 degrees 15' 00" East, 62.30 feet; thence along the centerline of "Spring Grove" a 66 foot wide Private Road Easement as recorded in Liber 1005, pages 248 and 249 of the Livingston County Records, Southwesterly along the arc of a curve to the left, a distance of 104.67 feet; said curve having a radius of 233.00 feet, a central angle of 25 degrees 44' 18", and a long chord bearing South 12 degrees 52' 52" West, 103.79 feet; thence continuing along the centerline of said "Spring Grove" South 00 degrees 00' 44" West, 185.14 feet; thence continuing along the centerline of said "Spring Grove" Southerly along the arc of a curve to the right, a distance of 157.93 feet, said curve having a radius of 490.94 feet, a central angle of 18 degrees 25' 53", and a long chord bearing South 09 degrees 13' 39" West, 157.25 feet; thence continuing along the centerline of said "Spring Grove" South 18 degrees 26' 34" West, 211.46 feet; thence continuing along the centerline of said "Spring Grove" Southerly along the arc of a curve to the left, a distance of 167.50 feet, a radius of 500.00 feet, a central angle of 19 degrees 11' 40", a long chord bearing South 08 degrees 50' 44" West, 166.72 feet; thence continuing along the centerline of said "Spring Grove" South 07 degrees 24' 16" East, 115.85 feet; thence continuing along the centerline of said "Spring Grove" South 14 degrees 03' 26" East, 132.00 feet to the point of beginning of the easement to be described; thence North 75 degrees 56' 34" East 244.00 feet; thence Southeasterly along the arc of a curve to the right, a distance of 238.86 feet, said curve having a radius of 263.00 feet, a central angle of 52 degrees 02' 15", and a long chord that bears South 78 degrees 02' 19" East, 230.74 feet; thence Easterly along the arc of a curve to the left, a distance of 37.93 feet, said curve having a radius of 50.00 feet, a central angle of 43 degrees 27' 42", and a long chord that bears South 73 degrees 45' 02" East, 37.02 feet; thence Southwesterly along the arc of a curve to the right, a distance of 361.40 feet, said curve having a radius of 75.00 feet, a central angle of 276 degrees 05' 13", and a long chord that bears South 42 degrees 33' 43" West, 100.29 feet; thence Northwesterly along the arc of a curve to the left, a distance of 50.47 feet, said curve having a radius of 50.00 feet, a central angle of 57 degrees 50' 11", and a long chord that bears North 28 degrees 18' 46" West, 48.36 feet; thence Northwesterly along the arc of a curve to the left, a distance of 161.00 feet, said curve having a radius of 197.00 feet, a central angle of 46 degrees 49' 34", and a long chord that bears North 80 degrees 38' 39" West, 156.56 feet; thence South 75 degrees 56' 34" West, 236.44 feet; thence North 44 degrees 13' 56" West, 15.04 feet to the center of a 75 foot radius cul-de-sac; thence along the centerline of said "Spring Grove" North 14 degrees 03' 26" West, 53.00 feet to the point of beginning.

## WITNESSES

N 1/4 Cor. Sec. 24, T2N, R5E  
(found Remon Cap)

fd. 10" Cherry, nail W. side	N10°W	9.18'
fd. 36" Oak, nail W. side	S70°W	92.81'
fd. 16" Oak, nail E. side	South	51.56'
fd. 26" Oak, nail S. side	S80°E	98.45'

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE ABOVE PARCEL HEREON DESCRIBED ON MARCH 21, 2022 AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING AND THAT ALL REQUIREMENTS OF P.A. 132 1970, AS AMENDED, HAVE BEEN COMPLIED WITH.

CLIENT: DOUGAN	DATE: 03/21/22
JOB NO.: <b>22065</b>	SHEET 2 OF 2
SECTION: 24 TOWN: 2N RANGE: 5E	SCALE: 1in. = N/A ft.
TOWNSHIP OF GENOA	BOOK: 1053
LIVINGSTON COUNTY, MICHIGAN	BY: KJB

*Mark Vander Veen*

Mark Vander Veen PS NO. 56788





**M I D W E S T E R N**

C O N S U L T I N G

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(734) 995-0200 • www.midwesternconsulting.com

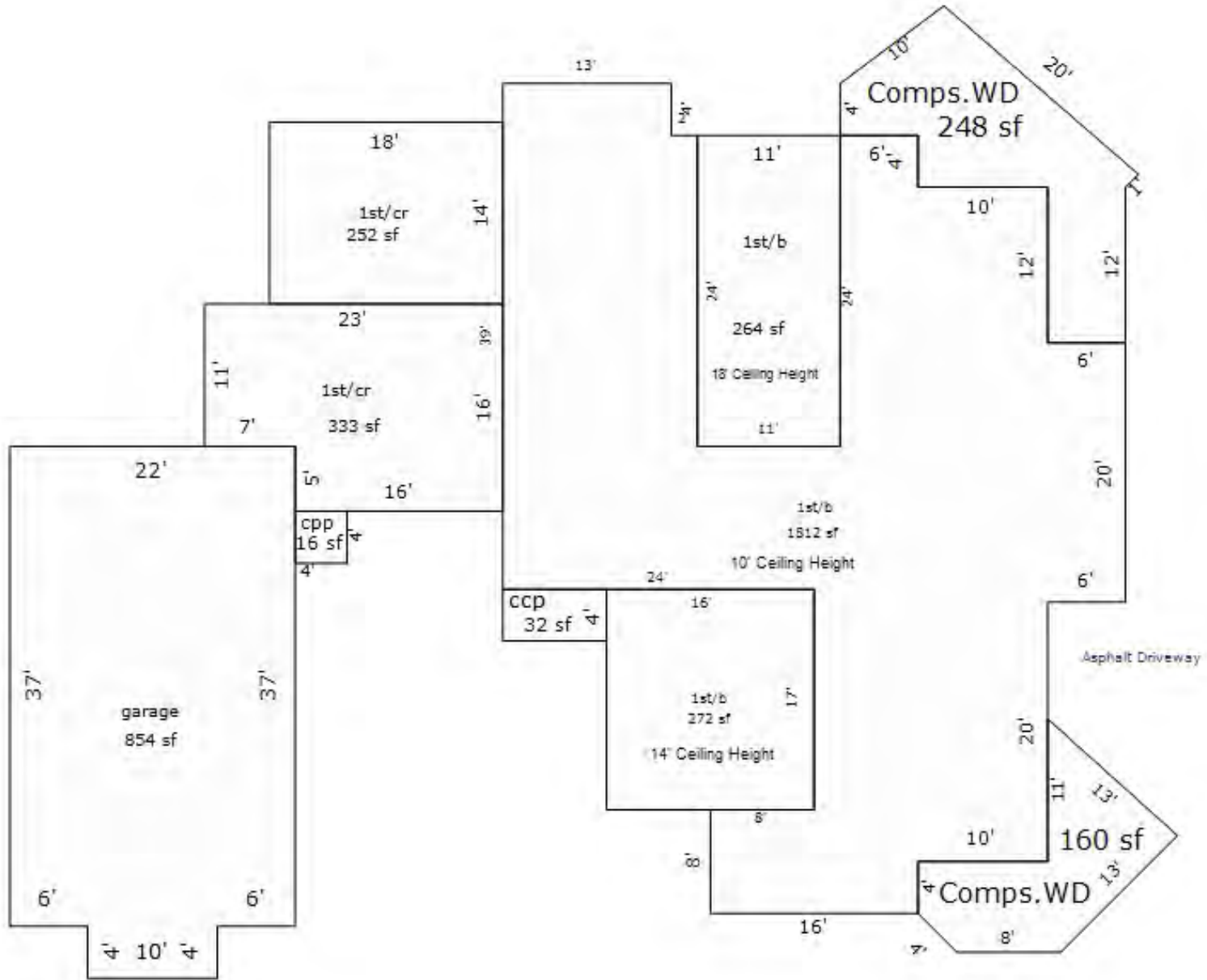
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Wireless Communications • Transportation • Landfill Services

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.											
CAMPBELL, LINN A M.D.	TROTTER CHRISTOPHER & TIFE	470,000	07/18/2016	WD	03-ARM'S LENGTH	2016R-021817	BUYER/SELLER	100.0											
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LDR		Building Permit(s)		Date	Number	Status									
2621 SPRING GROVE DR		School: BRIGHTON AREA SCHOOLS		Detached Accessory		10/25/2021		P21-216	7 FINAL BL										
Owner's Name/Address		P.R.E. 100% 07/18/2016		REROOF		07/26/2010		W10-071	NO START										
TROTTER CHRISTOPHER & TIFFANY 2621 SPRING GROVE DR BRIGHTON MI 48114-9448		MAP #: V23-21		ADDITION		11/12/1996		96-583	NO START										
Tax Description		2024 Est TCX Tentative		Land Value Estimates for Land Table 4501.BRIGHTON M & B															
SEC 24 T2N R5E COMM AT N 1/4 COR TH S64*15'00"E 746.34 FT TH S00*00'44"W 36.63 FT TH S64*15'00"E 62.30 FT TH ALONG ARC OF A CURVE LEFT CHORD BEARING S12*52'52"W 103.79 FT TH S00*00'44"W 185.14 FT TH ALONG ARC OF A CURVE RIGHT CHORD BEARING S09*13'39"W 157.25 FT TH S18*26'34"W 211.46 FT TH ALONG ARC OF A CURVE LEFT CHORD BEARING S08*52'44"W 166.72 FT TH S07*24'16"E 115.85 FT TH S14*03'26"E 165.00 TH N75*56'34"E 72.28 FT TO POB TH ALONG ARC OF A CURVE LEFT CHORD BEARING N44*16'21"W 38.19 FT TH N75*56'34"E 190.93 FT TH ALONG ARC OF A CURVE RIGHT CHORD BEARING N88*46'47"E 116.87 FT TH N12*35'30"E 201.63 FT TH N87*59'23"E 283.42 FT TH S00*29'24"W 336		X Improved		Vacant		* Factors *													
Dirt Road		Public Improvements		Description		Frontage		Depth		Front Depth		Rate %Adj. Reason		Value					
Gravel Road				TABLE A		2.41		Total Acres		32,822		100		79,100					
Paved Road														Total Est. Land Value = 79,100					
Storm Sewer																			
Sidewalk																			
Water																			
Sewer																			
Electric																			
Gas																			
Curb																			
Street Lights																			
Standard Utilities																			
Underground Utils.																			
Topography of Site																			
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Wooded																			
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Waterfront																			
Ravine																			
Wetland																			
Flood Plain																			
X REFUSE																			
Who		When		What		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
JB		12/13/2021		INSPECTED		2024		Tentative		Tentative		Tentative						Tentative	
LLG		05/14/2020		REVIEWED R		2023		32,700		299,200		331,900						292,255C	
JB		09/13/2017		INSPECTED		2022		32,700		250,300		283,000						278,339C	
						2021		32,700		231,500		264,200						262,187C	
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan																			

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage																																																																																																																											
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack 1 Two Sided Exterior 1 Story Exterior 2 Story 3 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 32 16 160 248	Type CCP (1 Story) CPP Composite Composite	Year Built: Car Capacity: Class: BC Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1/2 Wal Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 854 % Good: 0 Storage Area: 0 No Conc. Floor: 0																																																																																																																												
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling																																																																																																																																					
Building Style: BC		Drywall Paneled	Plaster Wood T&G	Trim & Decoration																																																																																																																																						
Yr Built 1991	Remodeled 0	Ex	X Ord	Min	Size of Closets																																																																																																																																					
Condition: Good		Lg	X Ord	Small	Central Air Wood Furnace																																																																																																																																					
Room List		Doors:	Solid X	H.C.	(12) Electric																																																																																																																																					
	Basement 1st Floor 2nd Floor 4 Bedrooms	(5) Floors			0 Amps Service																																																																																																																																					
		Kitchen: Other: Other:			No./Qual. of Fixtures																																																																																																																																					
(1) Exterior		X Ex.	Ord.	Min	No. of Elec. Outlets																																																																																																																																					
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			Many X Ave. Few																																																																																																																																					
		(13) Plumbing			Average Fixture(s)																																																																																																																																					
(2) Windows		(7) Excavation			2 3 Fixture Bath 2 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink 1 Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																																																																																																																																					
X	Many Avg. Few	X	Large Avg. Small		Basement: 2348 S.F. Crawl: 585 S.F. Slab: 0 S.F. Height to Joists: 0.0																																																																																																																																					
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(8) Basement			Conc. Block Poured Conc. Stone Treated Wood Concrete Floor																																																																																																																																					
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X	Asphalt Shingle	(10) Floor Support			Lump Sum Items:																																																																																																																																					
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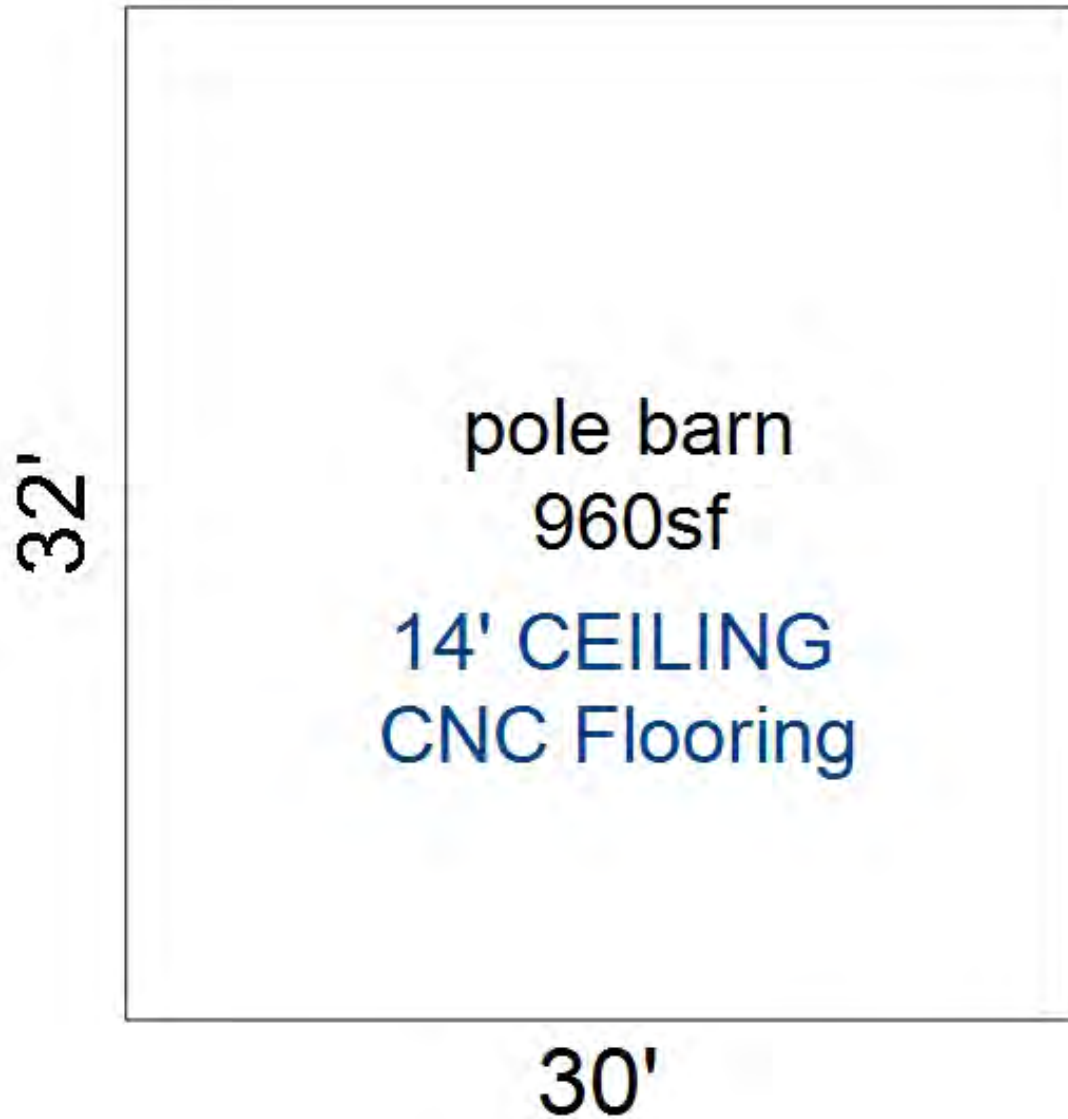
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Building Type	Farm Utility Buildings				
Year Built	2021				
Class/Construction	D,Pole				
Quality/Exterior	Average				
# of Walls, Perimeter	4 Wall, 124				
Height	14				
Heating System	No Heating/Cooling				
Length/Width/Area	32 x 30 = 960				
Cost New	\$ 18,124				
Phy./Func./Econ. %Good	100/100/100 100.0				
Depreciated Cost	\$ 18,124				
+ Unit-In-Place Items	\$ 0				
Description, Size X Rate X %Good = Cost  Itemized ->  Unit-In-Place ->  Items ->					
E.C.F.	X 1.091				
% Good	100				
Est. True Cash Value	\$ 19,773				
Comments:					
Total Estimated True Cash Value of Agricultural Improvements / This Card: 19773 / All Cards: 19773					





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION** 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116 (810) 227-5225 | FAX (810) 227-3420

Case # 23-26 Meeting Date: 9-19-23

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Treasure Rousselo Email: treasurerousselo@gmail.com

Property Address: 3520 Pineridge Ln Phone: 810-923-2363

Present Zoning: LRR Tax Code: 11-22-202-009

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. **Variance requested/intended property modifications:** Request to allow for size and construction of deck to adhere to the minimum shoreline 40ft setback. (And to waive clause of "or average setback of neighboring lots", whichever is greater".)

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**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

**Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The lakefront side of my lot mostly comprises of a significant slope/hill that gradually declines almost right to the shoreline of the property. The deck would allow our family to repurpose and utilize a large portion of our yard and lakefront lot, which is not suitable for use. The deck construction also reinforces stability to the existing deteriorating retaining wall along the top/beginning slope / hill.

Granting use of the deck provides our family of 7 (5-kids under age 13) with much needed extra space to gather for meals, games, etc. Our home is older construction and only 1850 sq feet, and the lot is one of the main reasons I purchased the home.

**Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The deck is compliant with the LRR shoreline setback minimum of 40ft. However, the extraordinary large lot & property size of adjacent neighbor and the distance of their home from shoreline is distorting the average setbacks with the 500ft clause.

The neighbors are long-standing family friends for generations and have already granted their verbal support / approvals.

**Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

TRUE

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**Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

TRUE

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**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**





September 12, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	3520 Pineridge Lane – Dimensional Variance Review
<b>Location:</b>	3520 Pineridge Lane – waterfront lot on the west side of Pineridge Lane
<b>Zoning:</b>	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the submittal seeking dimensional variance for construction of a new detached deck for the residence at 3520 Pineridge Drive.

The subject property is nonconforming due to deficient lot area and width. The submittal does not contain sufficient information to determine whether the residence is also nonconforming.

The proposed 16’ x 24’ deck is situated 18’ from the residence and 40’ from the shoreline, with a 10’ side yard setback.

Per Section 11.04.02, non-abutting decks are subject to the setback requirements for detached accessory buildings. For LRR lots, detached accessory buildings are subject to setbacks required for principal buildings.

Section 3.04.02 requires a shoreline setback of 40’ or the average of adjacent principal buildings. The proposed structure complies with side yard setbacks, spacing from the principal building, and the 25’ Natural Feature Setback; however, it is situated 40’ from the shoreline and does not meet the average setback of adjacent residences.

Based on the setback of the adjacent property, the average shoreline setback is 105’.

As such, the applicant seeks the following variance:

- To permit a non-abutting deck with a shoreline setback of 40’ (which encroaches into the average shoreline setback required by Section 3.04.02).

**SUMMARY**

1. *Practical Difficulty:* Variance is not necessary for continued use of the property as a single-family residence. Furthermore, the residence already contains an attached deck, and strict compliance will not preclude the applicant from continued use of the existing deck.
2. *Substantial Justice:* Most property owners are not entitled to multiple decks. As such, we do not believe a variance is necessary for substantial justice.
3. *Extraordinary Circumstance:* The property is a nonconforming LRR lot with deficient lot area and width.
4. *Public Safety and Welfare:* Given the nature of the project, granting of the variance is not expected to adversely impact public safety and welfare.  
*Impact on Surrounding Neighborhood:* The applicant should provide the ZBA with additional information demonstrating compliance with this standard.



*Aerial view of site and surroundings (looking north)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variances are not necessary to use the property for a permitted purpose (presumably as a single-family residence).

Furthermore, the aerial photo included with the submittal depicts an attached deck.

As such, strict compliance does not preclude continued use of the existing deck.

Most property owners are not entitled to multiple decks. As such, we do not believe a variance is necessary for substantial justice.

- 2. Extraordinary Circumstances.** As previously noted, the property is a nonconforming LRR lot with deficient lot area and width.

These factors are typically viewed as an extraordinary circumstance that support some amount of variance; however, as noted above, the residence appears to already have a deck.

- 3. Public Safety and Welfare.** Given the nature of the project, granting of the variance is not expected to adversely impact public safety and welfare.

- 4. Impact on Surrounding Neighborhood.** The aerial photo included with the submittal identifies only 2 residences, though there are multiple structures in the waterfront yard of these 2 residences.

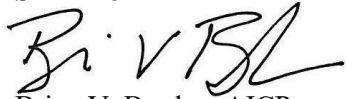
With that being said, it is not readily apparent that detached decks encroaching into the shoreline setback are common in this neighborhood.

The applicant should provide the ZBA with additional information demonstrating compliance with this standard.

Genoa Township ZBA  
**3520 Pineridge Lane**  
Dimensional Variance Review  
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letters of each name being capitalized and prominent.

Brian V. Borden, AICP  
Michigan Planning Manager





Sun Mar 26 2023

Imagery © 2023 Nearmap, HERE

20 ft

nearmap





## Genoa Township

2911 Dorr Road, Brighton, Michigan 48116  
 Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

### Planning & Zoning

**P20-163**

**Residential Land Use**

Issued:  
Expires:

**Deck**

LOCATION	OWNER	APPLICANT
3520 PINERIDGE LN 4711-22-202-009 <b>Zoning: LRR</b>	POYNTER TREASURE 3520 PINERIDGE LN BRIGHTON MI 48116-7406 <b>Phone:</b> <b>E-mail:</b>	POYNTER TREASURE 3520 PINERIDGE LN BRIGHTON MI 48116-7406 <b>Phone:</b> <b>E-mail:</b>

**Work Description:** treated deck

**PROJECT INFORMATION:**

<b>Front Setback:</b> 0	<b>Side Setback:</b> 12	<b>Water/Wetland:</b>
<b>Least Side Setback:</b> 10	<b>Rear Setback:</b> 0	<b>Distance from Principal Structure:</b>
<b>Construction Value:</b> \$3,000.00	<b>Height:</b>	<b>Total Square Feet:</b> 01
<b>ZBA Approval:</b> n/a		

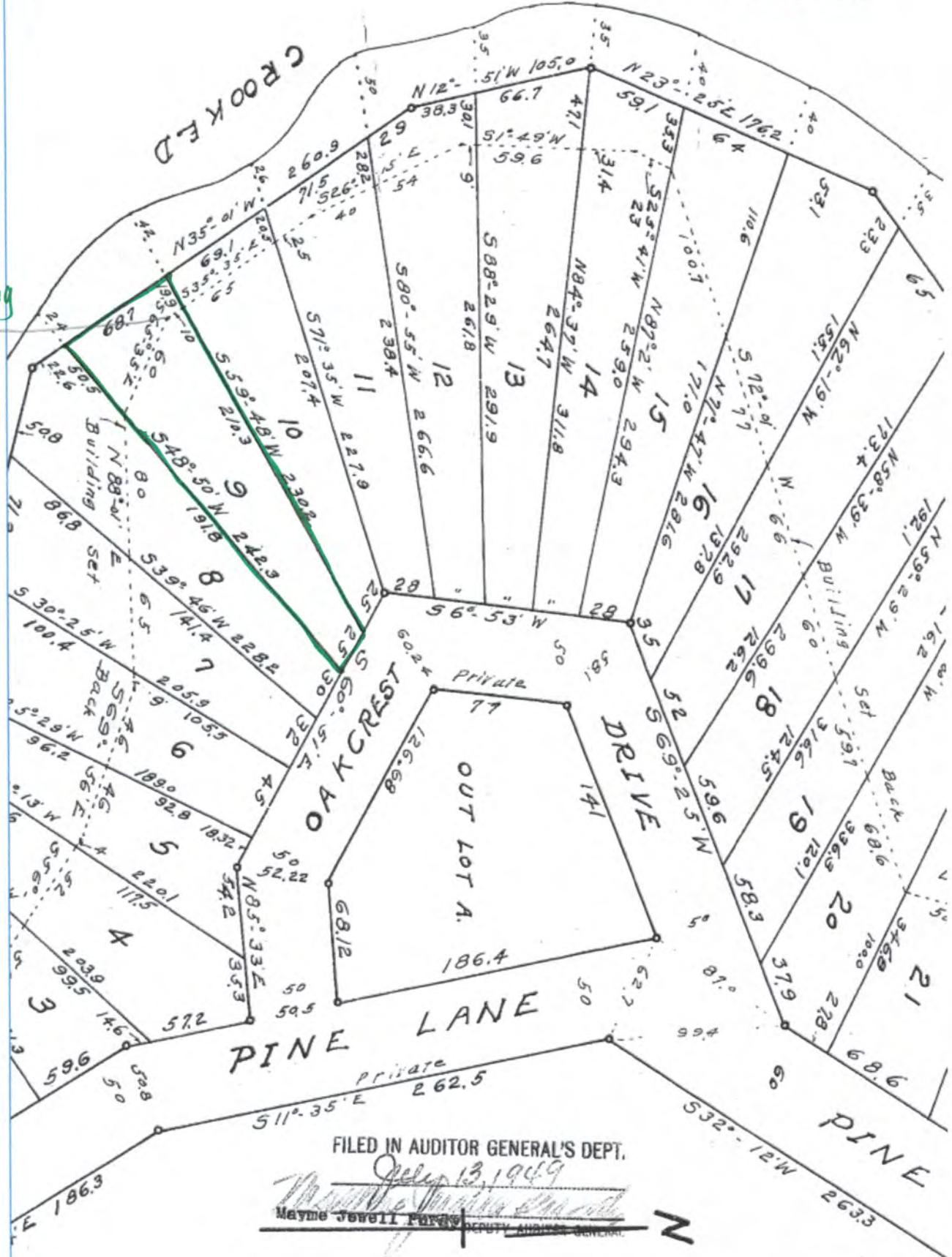
**Comments/ Conditions:** Deck not approved/ rejected due to size. Letter sent to owner explaining that if it was already built it would have to be removed.

Permit Item	Permit Fee	Fee Basis	Item Total
Deck/Fence/Swimming Pool	Permit Fee	1.00	50.00

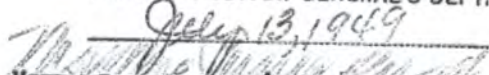
Fee Total: \$50.00  
 Amount Paid: \$50.00  
**Balance Due: \$0.00**

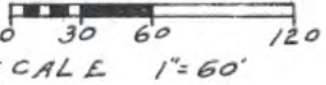
Issuance of this permit confirms the applicants certification that all information and data attached to and made part of this permit are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this permit as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This permit authorizes on-site inspections by an official representative of Genoa Charter Township. This permit is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.

Note building setback 19.9ft



FILED IN AUDITOR GENERAL'S DEPT.

  
 Mayme Jewell Purdy, DEPUTY AUDITOR GENERAL

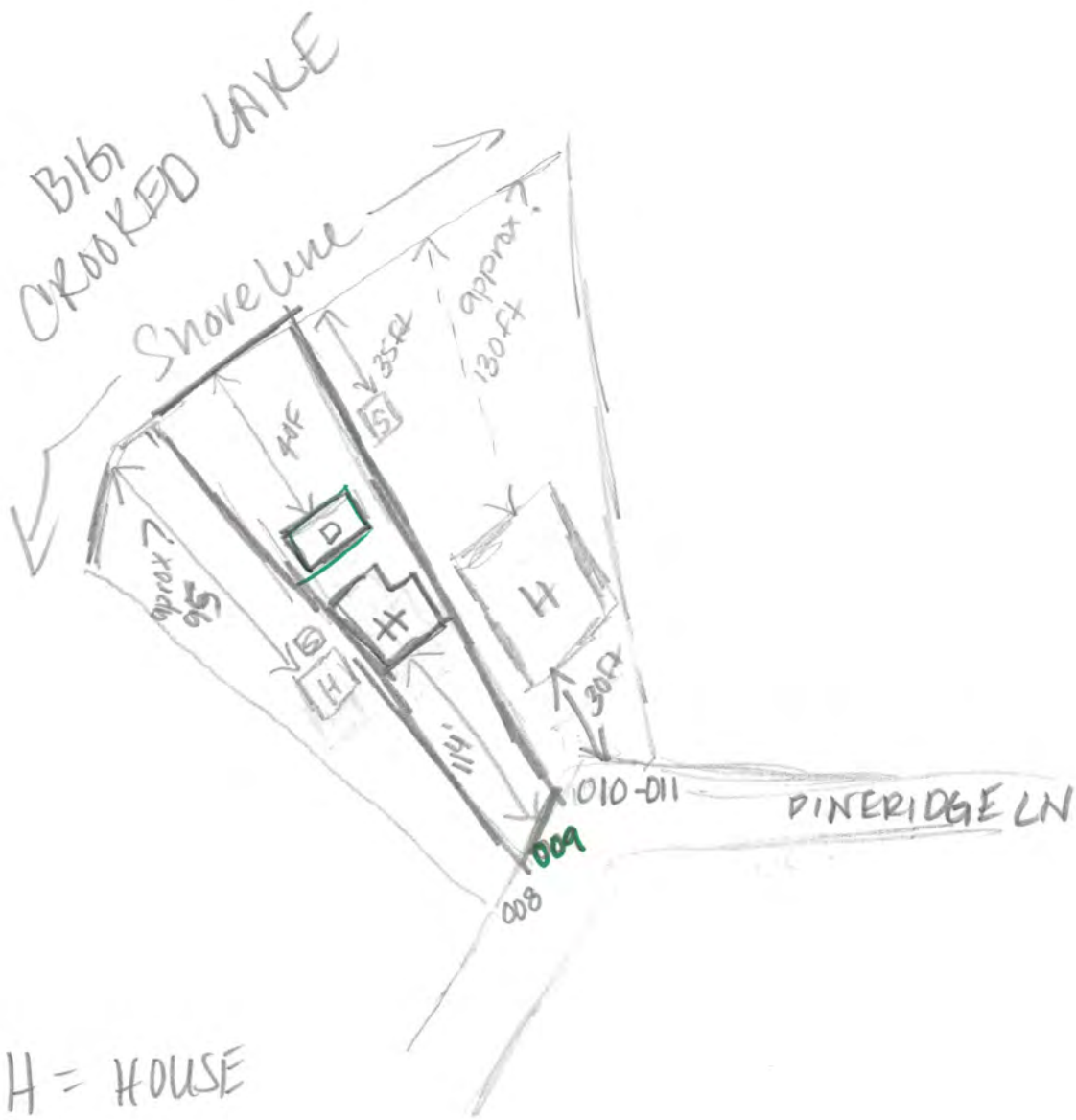


DEDICATION

SENTS, that .....  
 a single man .....  
 land embraced in the annexed plot to be surveyed, laid  
 out and numbered as follows: "CRANDALL'S CROOKED LAKE...

DESCRIPTION OF LAND PLATTED

The land embraced in the annexed plot of "CRANDALL'S CROOKED LAKE  
 HEIGHTS NO 1", a part of SW 1/4, NE 1/4 and part of NW 1/4,  
 SE 1/4 Sec. 22, T2N, R5E, Genoa Township, Livingston Co.  
 Michigan  
 is described as follows:

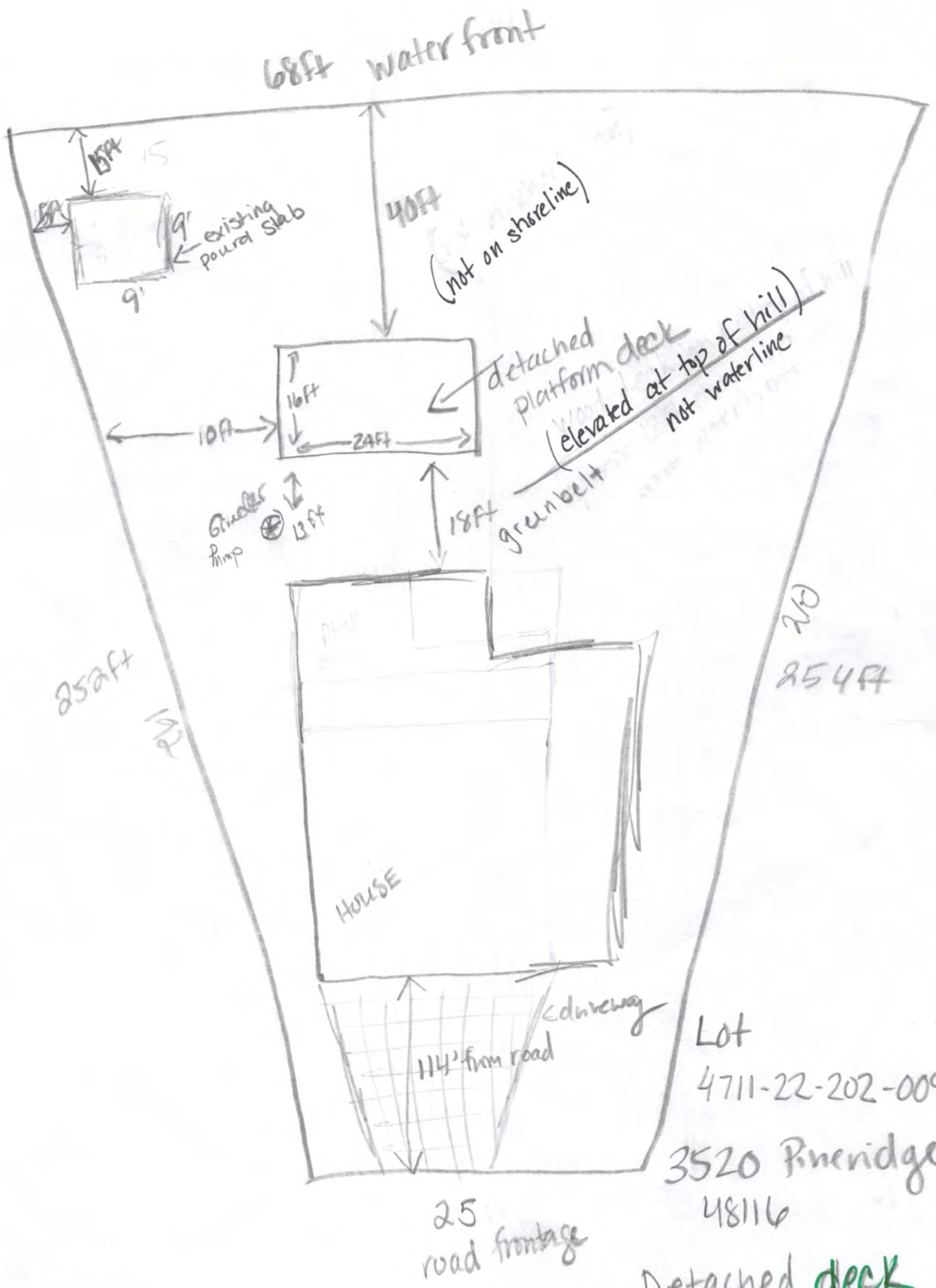


H = HOUSE

S = SHED

E = EXISTING structure/pad

D = DECK For approval



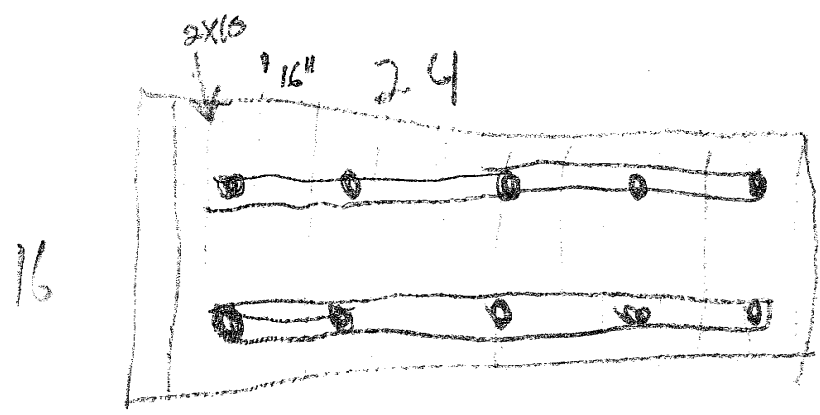
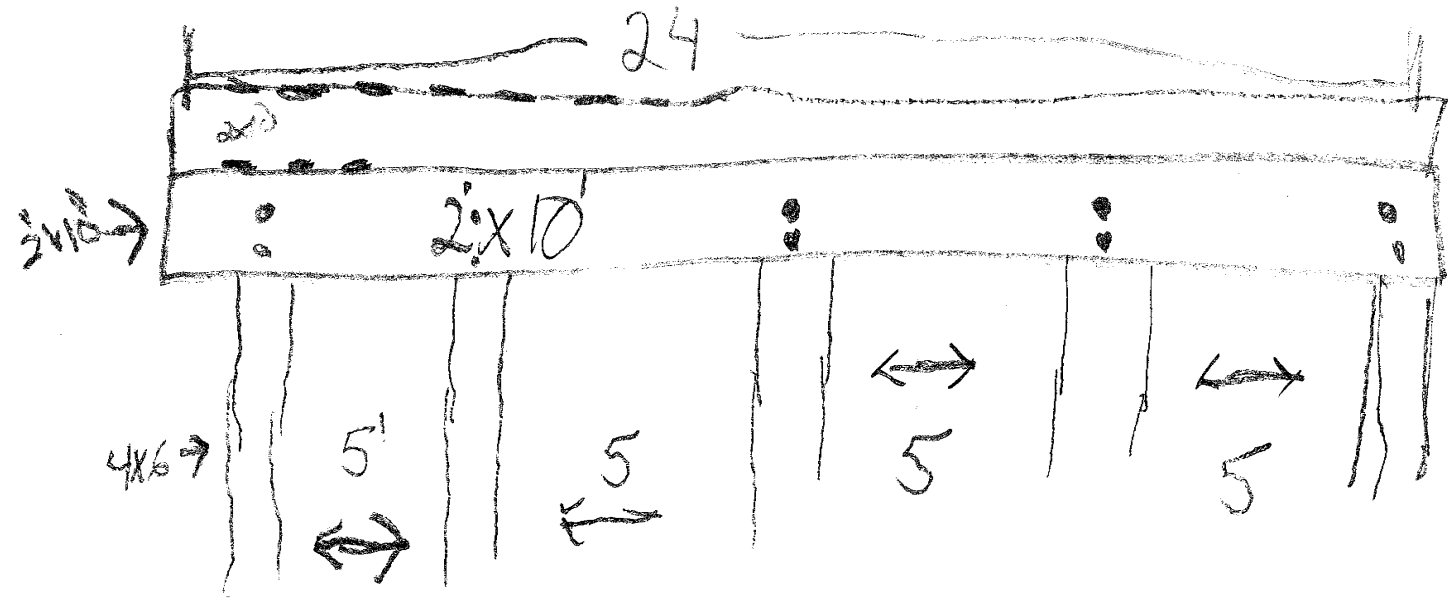
Lot  
 4711-22-202-009  
 3520 Riveridge Ln  
 48116  
 Detached deck  
 platform permit

Treasure Rousselo



3520 Pineridge Ln

**Deck** Russelo



**From:** [Donnie Beasley](#)  
**To:** [Amy Ruthig](#); [bob.musch](#); [DOUGLAS BROWN](#)  
**Subject:** Variance  
**Date:** Thursday, September 7, 2023 10:32:18 AM

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To the Ladies & Gentlemen of Genoa Township Board;

This letter is in reference to the requested variance of Treasure Rousselo at 3520 Pineridge Ln, in Genoa township. She is requesting a set back variance on a deck she has already built on her property, in order to be closer to the shore of East Crooked Lake, which I oppose.

Our subdivision, Crandall Crooked Lake Association, has set back restrictions that help preserve the appearance and value of our neighborhood and lakefront. East Crooked Lake is one of the most attractive and desirable lakes in the area, and we have worked to maintain these set back restrictions, and the Genoa Township Board has had the wisdom and foresight to help enforce these rules. Please continue to help us maintain the value and beauty of our community by refusing this variance.

Sincerely,  
Dr. Donnie Bettes  
3430 Pineridge Ln

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
POYNTER TREASURE	ROUSSELO TREASURE	1	08/20/2021	QC	21-NOT USED/OTHER	2021R-035570	BUYER/SELLER	0.0
KOSLOW NORMA TRUST	POYNTER TREASURE	475,000	09/08/2017	WD	08-ESTATE	2017R-027084	BUYER/SELLER	100.0
KOSLOW, NORMA L	KOSLOW NORMA TRUST	0	05/05/2009	QC	21-NOT USED/OTHER	2009R-013082	BUYER/SELLER	0.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LRR	Building Permit(s)	Date	Number	Status
3520 PINERIDGE LN	School: BRIGHTON AREA SCHOOLS		RES MISCEL	06/07/2018	P18-096	NO START
	P.R.E. 100% 09/12/2017		ADDITION	01/23/1997	97-064	NO START
Owner's Name/Address	MAP #: V20-18					
ROUSSELO TREASURE 3520 PINERIDGE LN BRIGHTON MI 48116-7406	2024 Est TCV Tentative					

Tax Description	Improved	Vacant	Land Value Estimates for Land Table 4306.TRI LAKES LAKE FRONT							
SEC. 22 T2N, R5E CRANDALL'S CROOKED LAKE HEIGHTS NO. 1 LOT 9	X		* Factors *							
Comments/Influences			Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
			A LAKE FRONT	70.00	155.00	1.0000	1.0000	4300	100	301,000
			70 Actual Front Feet, 0.25 Total Acres Total Est. Land Value = 301,000							

Comments/Influences



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Topography of Site	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level	2024	Tentative	Tentative	Tentative			Tentative
Rolling	2023	150,500	138,500	289,000			205,525C
Low	2022	150,500	124,600	275,100			195,739C
High	2021	150,500	117,200	267,700			189,486C
Landscaped							
Swamp							
Wooded							
Pond							
X Waterfront							
Ravine							
Wetland							
Flood Plain							
X REFUSE							
Who When What							
JB 11/08/2018 INSPECTED							
JB 09/27/2017 INSPECTED							
CG 07/18/2016 REVIEWED R							

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

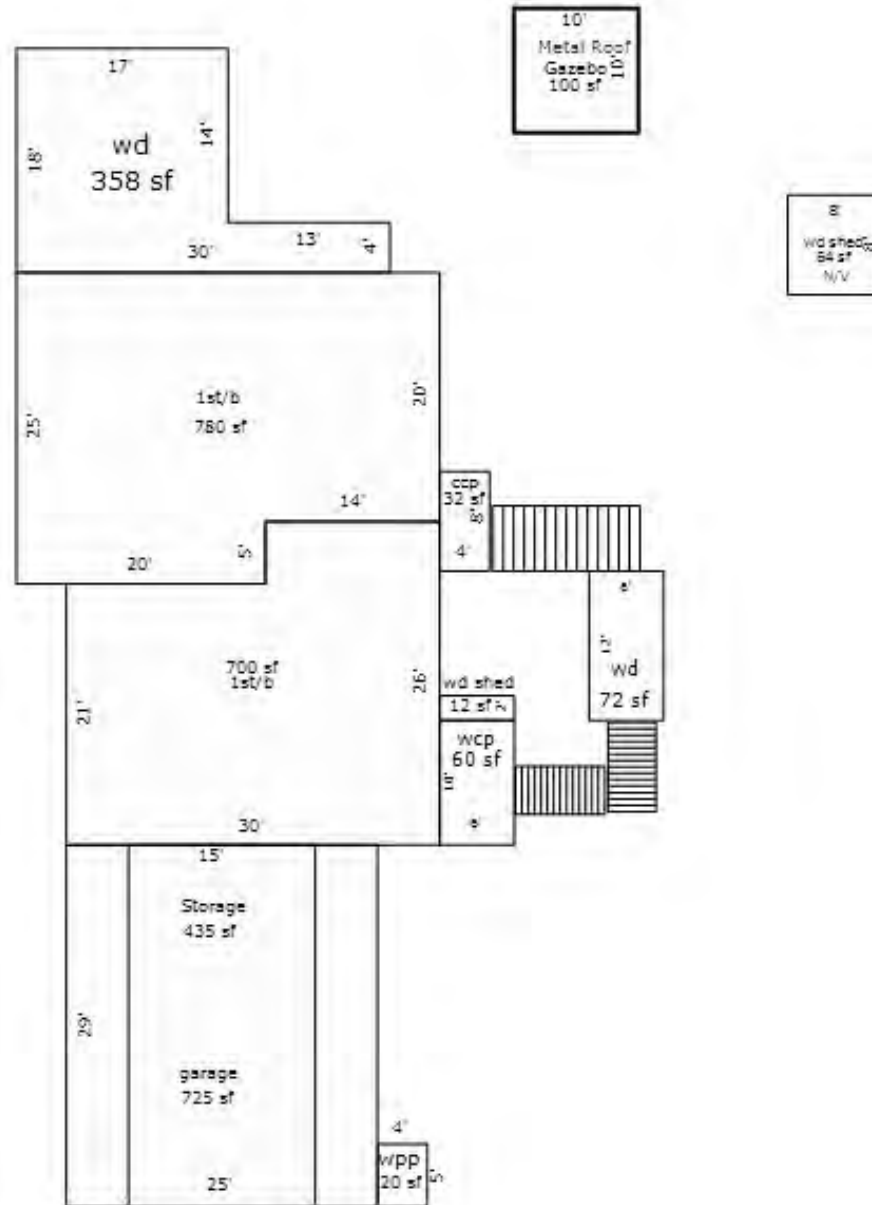


Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage																									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System	1	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 725 % Good: 0 Storage Area: 435 No Conc. Floor: 0																										
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling							20 WPP 60 WCP (1 Story) 32 CCP (1 Story) 358 Treated Wood 72 Treated Wood 100 Roof Cover Onl																												
Building Style: C		Drywall Paneled	Plaster Wood T&G	Central Air Wood Furnace																																				
Yr Built Remodeled 1955 0		Ex	X Ord	Min	X																																			
Condition: Good		Size of Closets		Lg	X Ord	Small	Class: C Effec. Age: 40 Floor Area: 1,480 Total Base New : 325,656 Total Depr Cost: 195,202 Estimated T.C.V: 294,365																																	
Room List		Doors:	Solid	X	H.C.	(12) Electric																																		
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors		Kitchen: Other: Other:			0 Amps Service																																	
(1) Exterior		(6) Ceilings		No./Qual. of Fixtures			Cost Est. for Res. Bldg: 1 Single Family C																																	
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(7) Excavation		Ex.	X Ord.	Min	(11) Heating System: Forced Heat & Cool Ground Area = 1480 SF Floor Area = 1480 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=60/100/100/100/60																																	
(2) Windows		(8) Basement		No. of Elec. Outlets			Building Areas																																	
X	Many Avg. X Avg. Few	Large Avg. X Avg. Small	Basement: 1480 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0	Many X Ave. Few			Stories Exterior Foundation 1 Story Block Basement 1 Story Siding Basement																																	
(3) Roof		(9) Basement Finish		(13) Plumbing			Other Additions/Adjustments																																	
X	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(10) Floor Support		Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Basement Living Area Basement, Outside Entrance, Below Grade Plumbing 3 Fixture Bath 2 Fixture Bath Porches WCP (1 Story) CCP (1 Story) WPP Deck Treated Wood Treated Wood w/Roof (Roof portion) Garages Class: C Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost Storage Over Garage Common Wall: 1 Wall Water/Sewer Public Sewer																																	
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:		(14) Water/Sewer			Lump Sum Items: Public Sewer																																	
<p>Cost Est. for Res. Bldg: 1 Single Family C                  (11) Heating System: Forced Heat &amp; Cool                  Ground Area = 1480 SF Floor Area = 1480 SF.                  Phy/Ab.Phy/Func/Econ/Comb. % Good=60/100/100/100/60                  Building Areas</p> <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr> <td>1 Story</td> <td>Block</td> <td>Basement</td> <td>780</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Basement</td> <td>700</td> <td></td> <td></td> </tr> <tr> <td colspan="3">Total:</td> <td></td> <td>229,816</td> <td>137,890</td> </tr> </tbody> </table> <p>Basement Living Area 450 16,938 10,163                  Basement, Outside Entrance, Below Grade 1 2,659 1,595                  Plumbing 3 Fixture Bath 1 4,802 2,881                  2 Fixture Bath 1 3,213 1,928                  Porches WCP (1 Story) 60 3,638 2,183                  CCP (1 Story) 32 1,083 650                  WPP 20 1,112 667                  Deck Treated Wood 358 6,272 3,763                  Treated Wood 72 2,212 1,327                  w/Roof (Roof portion) 100 1,917 958                  Garages                  Class: C Exterior: Siding Foundation: 42 Inch (Unfinished)                  Base Cost 725 30,146 18,088                  Storage Over Garage 435 6,177 3,706                  Common Wall: 1 Wall 1 -2,776 -1,666                  Water/Sewer                  Public Sewer 1 1,568 941</p>																	Stories	Exterior	Foundation	Size	Cost New	Depr. Cost	1 Story	Block	Basement	780			1 Story	Siding	Basement	700			Total:				229,816	137,890
Stories	Exterior	Foundation	Size	Cost New	Depr. Cost																																			
1 Story	Block	Basement	780																																					
1 Story	Siding	Basement	700																																					
Total:				229,816	137,890																																			

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

3 BEDROOMS  
2 FULL BATH  
1 HALF BATH  
A/C

Asphalt DW





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 23-27

Meeting Date: Sept. 19, 2023  
 @ 6:30 pm

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Tim Chouinard Email: timchouinard@sbcglobal.net  
 Property Address: 924 Sunrise Park St Howell 48843 Phone: 517-404-6527  
 Present Zoning: LRR Tax Code: 4711 -09-201-131

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: I am requesting a variance of to reduce the rear yard setback to 2.1 feet to match the existing garage

The intended modifications are to remove the existing garage and build a new garage that is up to todays standards and codes.

**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The practical difficulty is the size of the lot with the current setback requirements the garage would not be deep enough for a vehicle to be stored in. Granting this request would make it so the garage would be deep enough for my vehicle to be stored.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The extraordinary circumstances are that the existing structure is in extremely poor condition, does not fit a vehicle and is non conforming on the rear as well as the side. Granting the variance will make it so the new structure will meet zoning requirments on the side, will fit a vehicle and will be a safe structure.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Granting this variance will not impair light or air to adjacent properties will not conjest the streets and will greatly decrease the danger of fire increase public safety, comfort, morals and welfare to the inhabitants of Genoa Township.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The variance will not interfere with or discourage the appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans. There is a signed copy on file at the township.**

Date: \_\_\_\_\_ Signature: \_\_\_\_\_



September 11, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	924 Sunrise Park Street – Dimensional Variance Review
<b>Location:</b>	924 Sunrise Park Street – west side of Sunrise Park Street, north of intersection with Cresthaven Drive
<b>Zoning:</b>	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variance for a new detached accessory building (garage) at 924 Sunrise Park Street.

The property is nonconforming due to deficient lot width (approximately 52’) and area (5,566 SF). The existing residence is conforming; however, the existing detached garage is nonconforming due to encroachment into the required side and rear yard setbacks.

The proposal entails demolition of the detached garage and new construction matching the established rear yard setback.

The project complies with the lot coverage limitations for the LRR District and eliminates the nonconforming side yard setback.

As such, the project requires 1 dimensional variance from Section 11.04.02 for the following:

- A rear yard setback of 2’-1” (where a minimum of 10’ is required).

**SUMMARY**

1. *Practical Difficulty/Substantial Justice:* Strict compliance essentially precludes a garage (attached or detached). The Board may view this as unnecessarily burdensome to the owner. A single variance to match a previously established rear yard setback, while eliminating a nonconforming side yard setback, may be viewed as upholding substantial justice.
2. *Extraordinary Circumstances:* The property is narrow and small in comparison to a conventional LRR lot.
3. *Public Safety and Welfare:* Given the nature of the property and project, we do not foresee issues related to upholding public safety and welfare.
4. *Impact on Surrounding Neighborhood:* Given relatively narrow lot widths, there are several properties in the neighborhood with detached garages that do not comply with current setback requirements. The project also eliminates an otherwise nonconforming side yard setback (which may be viewed as an improvement).



*Aerial view of site and surroundings (looking west)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** A variance is not necessary for continued use of the property for a permitted purpose (single-family residence); however, strict compliance essentially precludes a garage (attached or detached).

Likely due to the narrow lot widths, the neighborhood contains several properties with detached garages that encroach into required setbacks.

As such, the Board may view strict compliance as unnecessarily burdensome to the applicant and the variance as fair to the owner.

Lastly, a single variance to match a previously established rear yard setback, while eliminating a nonconforming side yard setback, may be viewed as upholding substantial justice.

- 2. Extraordinary Circumstances.** As previously noted, the property is deficient in both lot width and area.

The combination of a narrow and small lot is generally viewed as an extraordinary circumstance that supports some amount of variance.

- 3. Public Safety and Welfare.** Given the nature of the request, we do not foresee issues related to upholding public safety and welfare.

- 4. Impact on Surrounding Neighborhood.** Based on review of aerial photos and the submittal materials, there are several residences with detached garages that encroach into required setbacks.

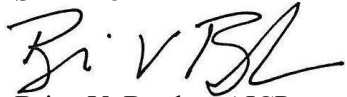
Generally speaking, elimination of the currently nonconforming side yard setback is also an improvement for the neighborhood.



Genoa Township ZBA  
**924 Sunrise Park Street**  
Dimensional Variance Review  
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letter of each name being capitalized and prominent.

Brian V. Borden, AICP  
Michigan Planning Manager





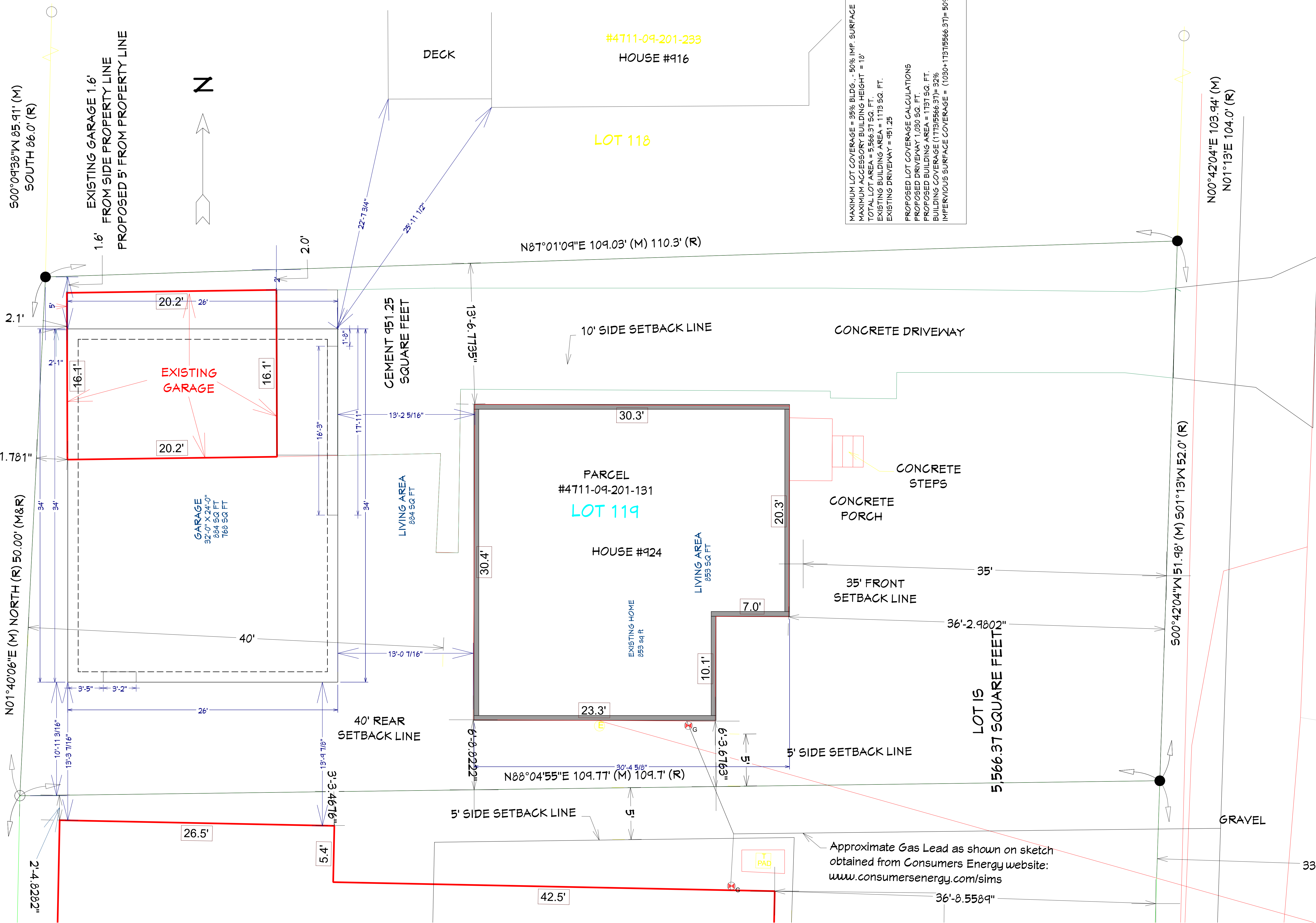
Sun Mar 26 2023

Imagery © 2023 Nearmap, HERE

20 ft

nearmap



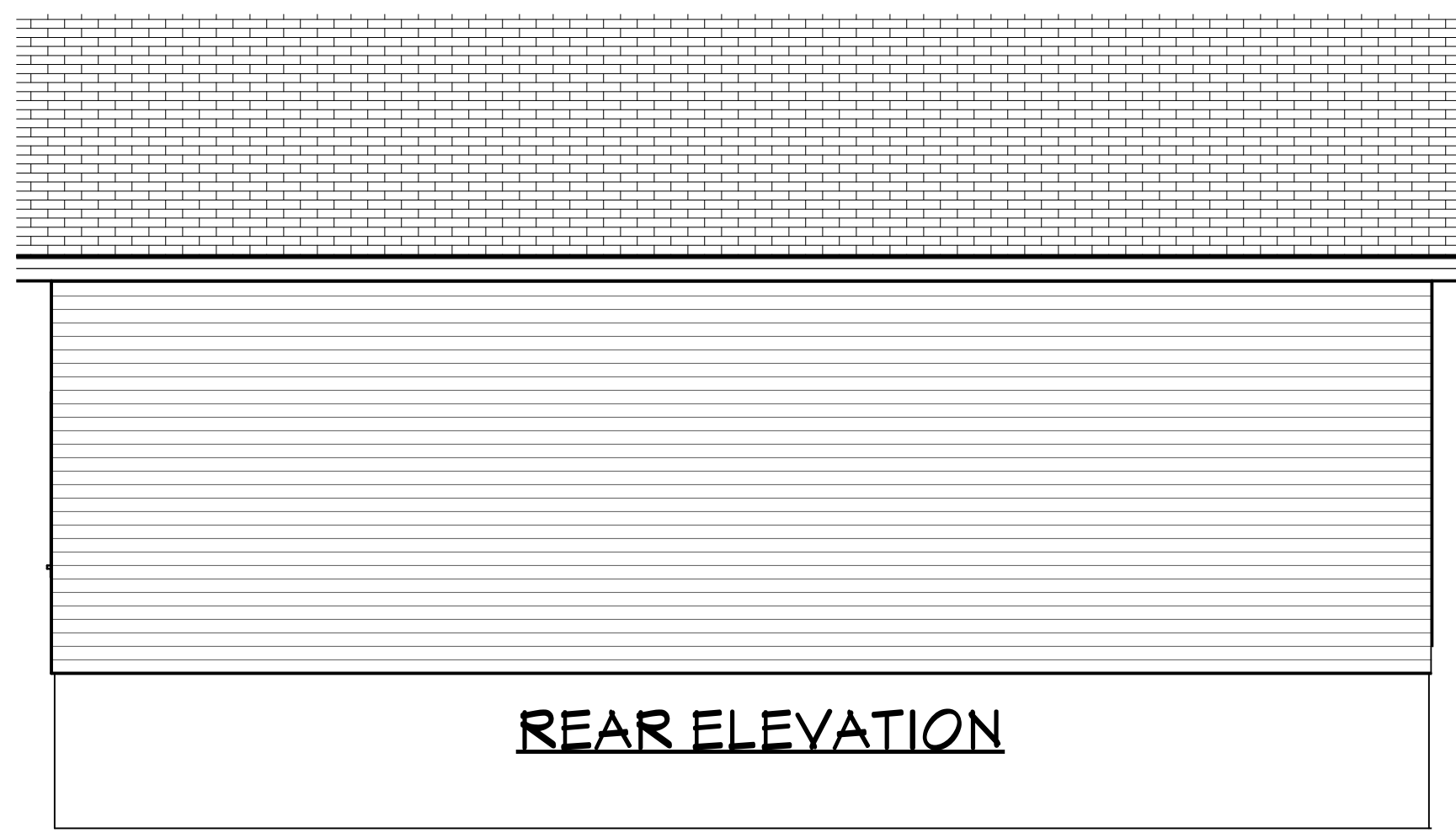
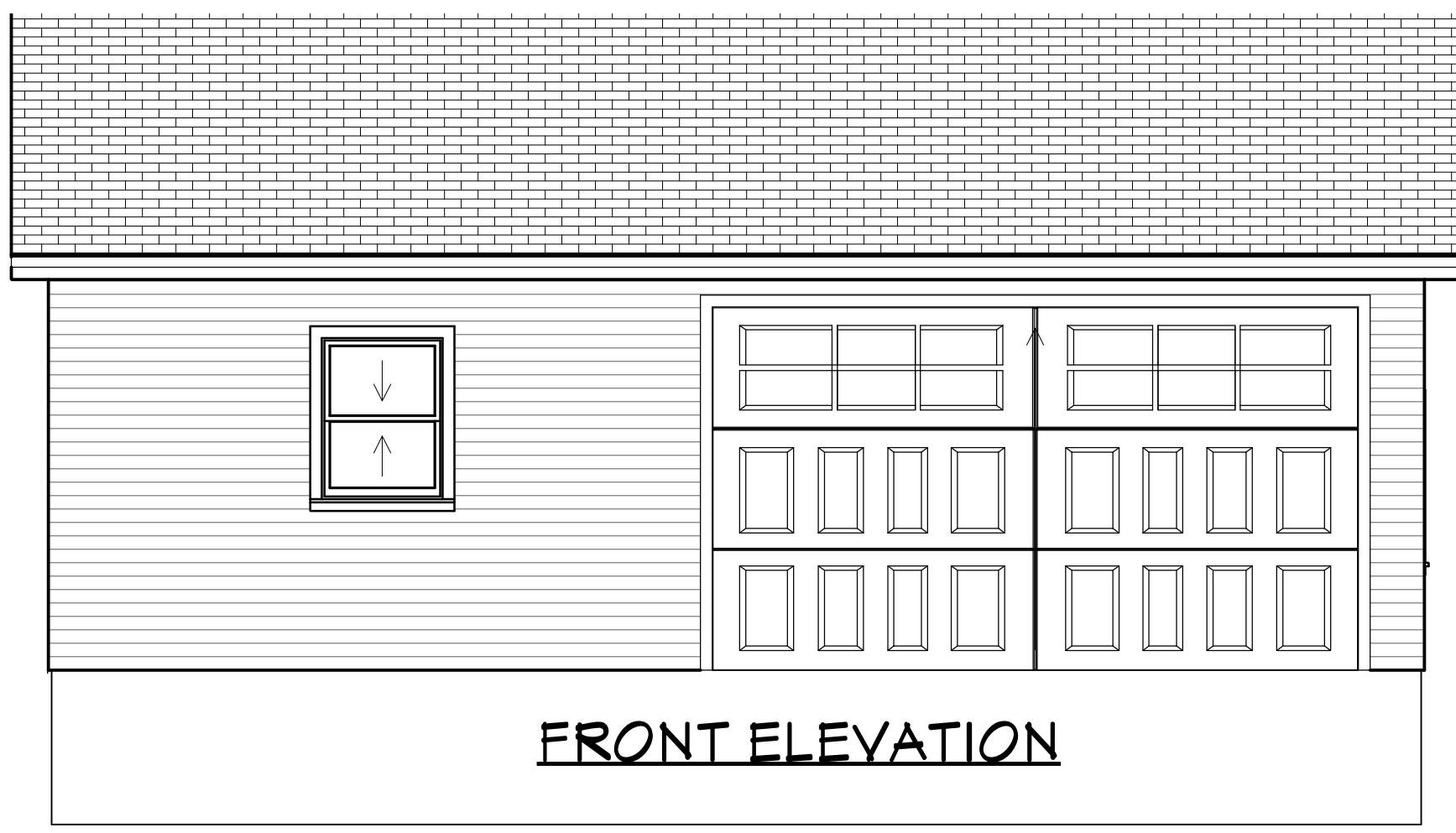


MAXIMUM LOT COVERAGE = 35% BLDG., 50% IMP. SURFACE  
 MAXIMUM ACCESSORY BUILDING HEIGHT = 18'  
 TOTAL LOT AREA = 5566.37 SQ. FT.  
 EXISTING BUILDING AREA = 1113 SQ. FT.  
 EXISTING DRIVEWAY = 951.25  
 PROPOSED LOT COVERAGE CALCULATIONS  
 PROPOSED DRIVEWAY 1030 SQ. FT.  
 PROPOSED BUILDING AREA = 1151 SQ. FT.  
 BUILDING COVERAGE (1113/5566.37)= 32%  
 IMPERVIOUS SURFACE COVERAGE = (1030+1151/5566.37)= 50%

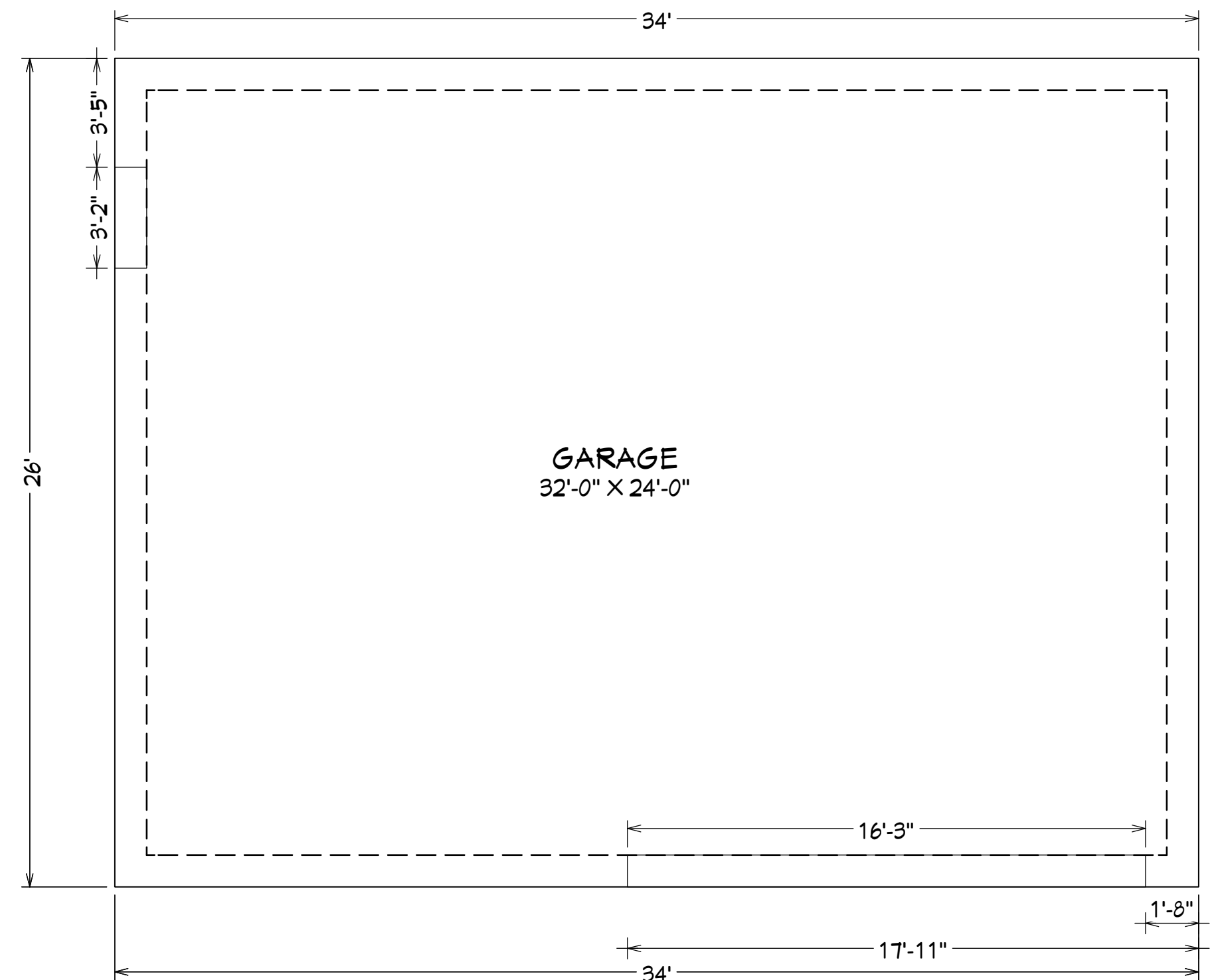
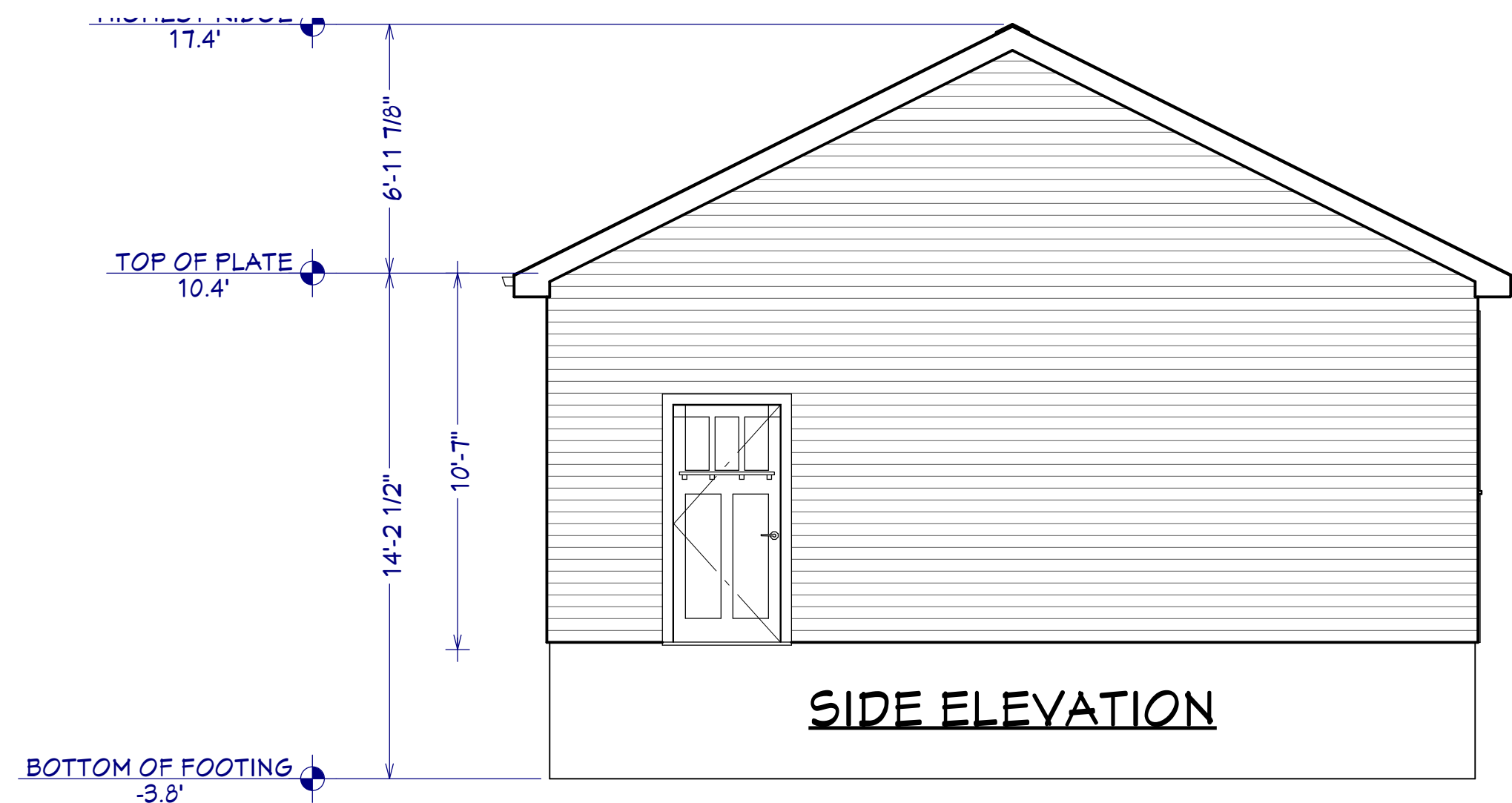
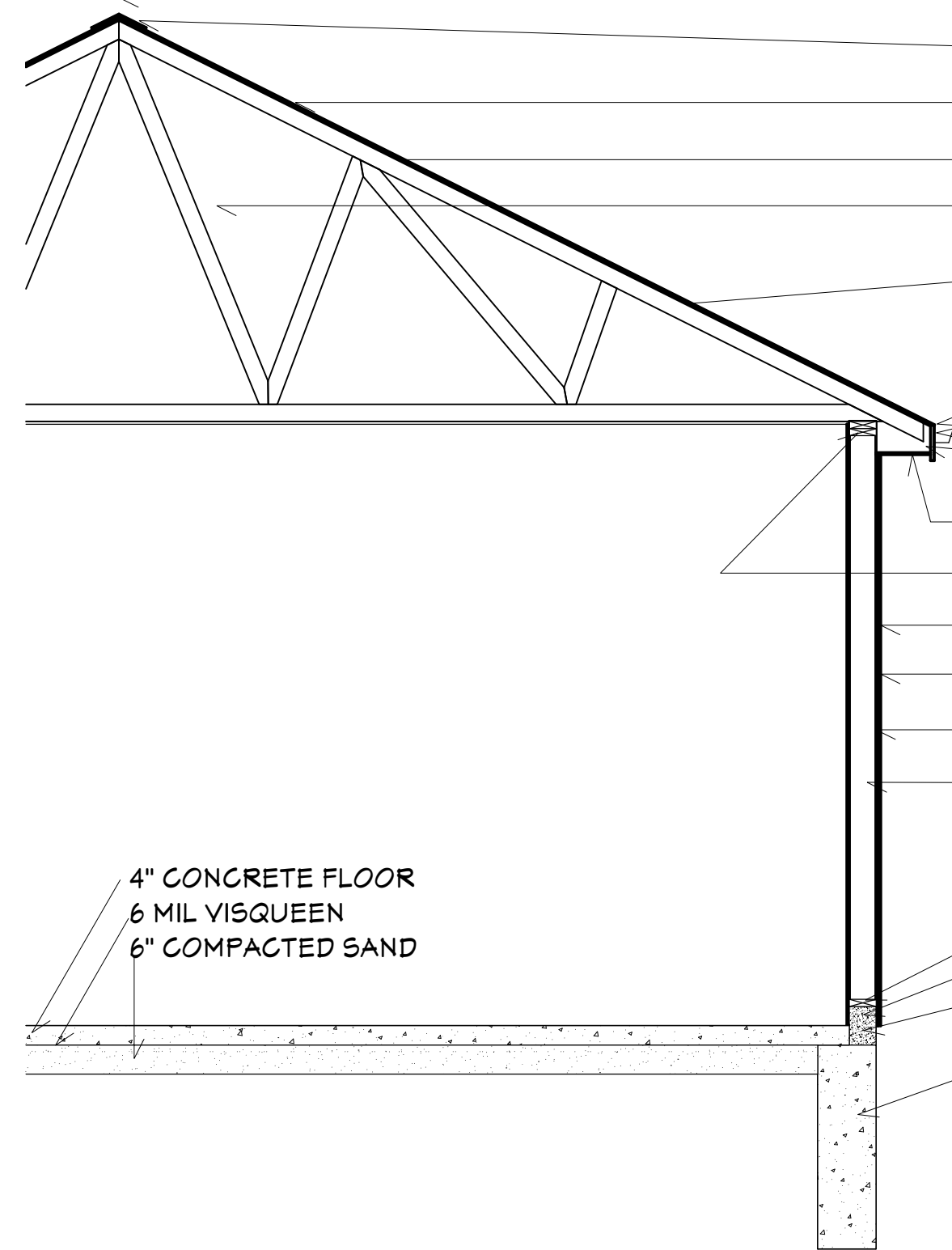
Approximate Gas Lead as shown on sketch  
 obtained from Consumers Energy website:  
[www.consumersenergy.com/sims](http://www.consumersenergy.com/sims)

SITE PLAN
924 SUNRISE PARK ST HOWELL, MI 48843
CHOUINARD CUSTOM HOMES LLC 932 SUNRISE PARK ST HOWELL, MI 48843
DRAWINGS PROVIDED BY:
DATE 8/21/2023
SCALE:
SHEET: <b>A-2</b>

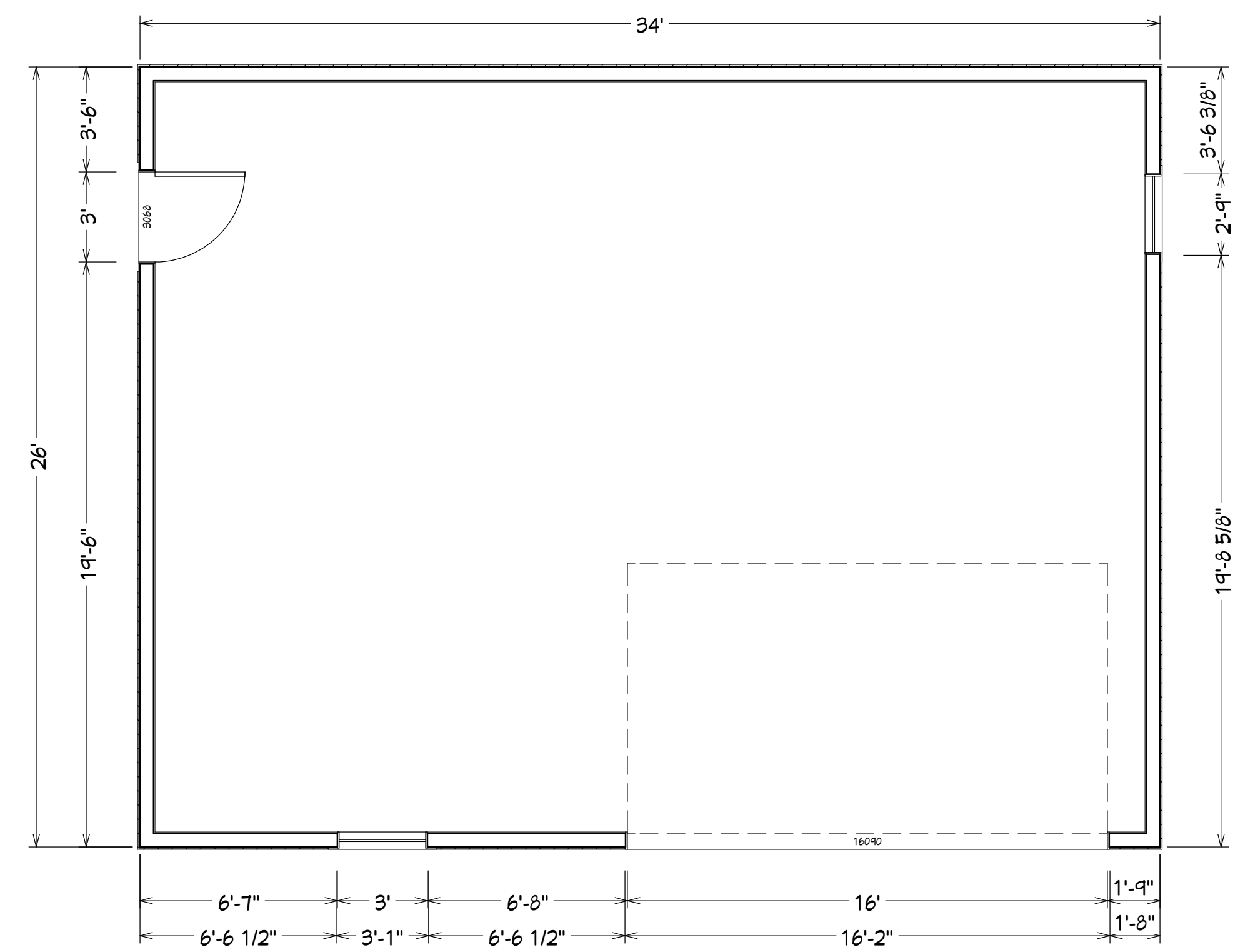




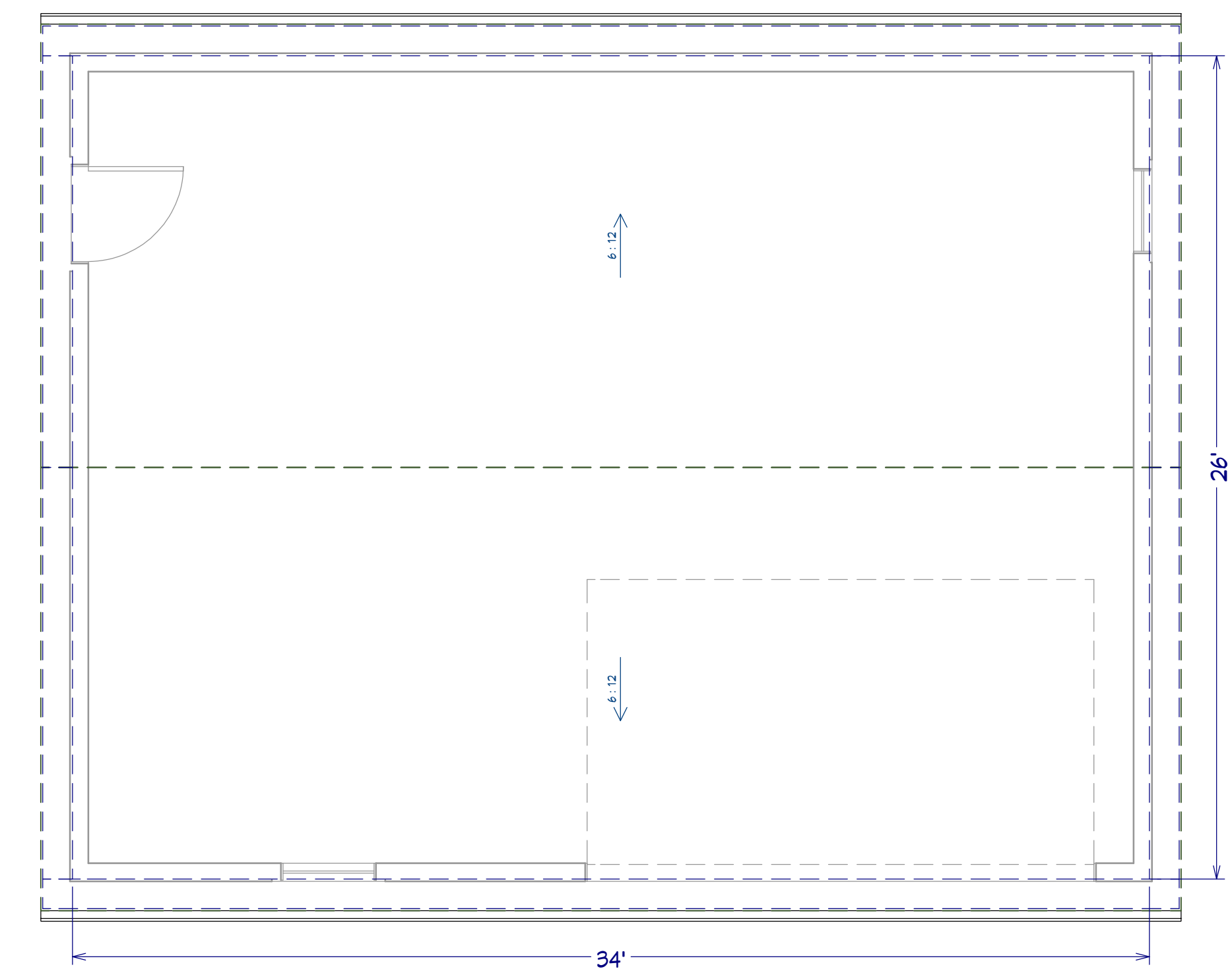
- ASPHALT RIDGE CAP
- RIGID RIDGE VENT
- ASPHALT SHINGLES
- SYNTHETIC UNDERLAYMENT
- ENGINEERED TRUSSES WITH TRUSS SCREWS SDWC15600-KT
- 2 ROWS ICE AND WATER SHIELD
- ALUMINUM DRIP EDGE
- ALUMINUM FASCIA
- ALUMINUM GUTTERS
- 2X6 SUB FASCIA
- VENTED VINYL SOFFIT
- DOUBLE 2X6 TOP PLATE
- VINYL SIDING
- HOUSE WRAP
- 7/16 O.S.B. WALL SHEATHING
- 2X6 STUDS 16" O.C.
- TREATED BOTTOM PLATE
- SIMPSON MAB15Z ANCHOR STRAPS
- 1 COURSE 8X6X16 CONCRETE BLOCK
- 12"X42" DEEP FOOTING



**FOUNDATION VIEW**



**FLOOR VIEW**



**ROOF VIEW**

DETACHED GARAGE

924 SUNRISE PARK ST  
HOWELL, MI 48843

CHOUINARD CUSTOM HOMES LLC  
932 SUNRISE PARK ST  
HOWELL, MI 48843

DRAWINGS PROVIDED BY:

DATE  
8/21/2023  
SCALE:  
1/4" = 1'  
SHEET:

**A-1**

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
924 SUNRISE PARK DRIVE LLC	CHOUINARD TIMOTHY	200,000	06/21/2023	WD	03-ARM'S LENGTH	2023R-011818	BUYER/SELLER	100.0
IKENS TRUST	924 SUNRISE PARK DRIVE LLC	0	09/17/2004	WD	21-NOT USED/OTHER	4586/0564	BUYER/SELLER	0.0
IKENS, GLENN & BETTY	IKENS TRUST	0	06/30/2004	WD	21-NOT USED/OTHER	4516/0897	BUYER/SELLER	0.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LRR	Building Permit(s)	Date	Number	Status
924 SUNRISE PARK	School: HOWELL PUBLIC SCHOOLS					
Owner's Name/Address	P.R.E. 0%					
CHOUINARD TIMOTHY 932 SUNRISE PARK ST HOWELL MI 48843	MAP #: V23-27					
2024 Est TCV Tentative						

Tax Description	X	Improved		Vacant	Land Value Estimates for Land Table 4302.SUNRISE PARK								
		Public	Improvements		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
SEC. 9 T2N, R5E, SUNRISE PARK LOT 119	X		Dirt Road		C NON LF	50.00	130.00	1.0000	1.0000	1000	100		50,000
Comments/Influences			Gravel Road		E SURPLU NON LF	2.00	130.00	1.0000	1.0000	500	100		1,000
			Paved Road		52 Actual Front Feet, 0.16 Total Acres Total Est. Land Value = 51,000								
			Storm Sewer										
			Sidewalk										
			Water										
			Sewer										
			Electric										
			Gas										
			Curb										
			Street Lights										
			Standard Utilities										
			Underground Utils.										

Topography of Site	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level	2024	Tentative	Tentative	Tentative			Tentative
Rolling	2023	24,300	47,800	72,100			52,764C
Low	2022	24,300	39,700	64,000			50,252C
High	2021	24,300	37,100	61,400			48,647C
Landscaped							
Swamp							
Wooded							
Pond							
Waterfront							
Ravine							
Wetland							
Flood Plain							
REFUSE							



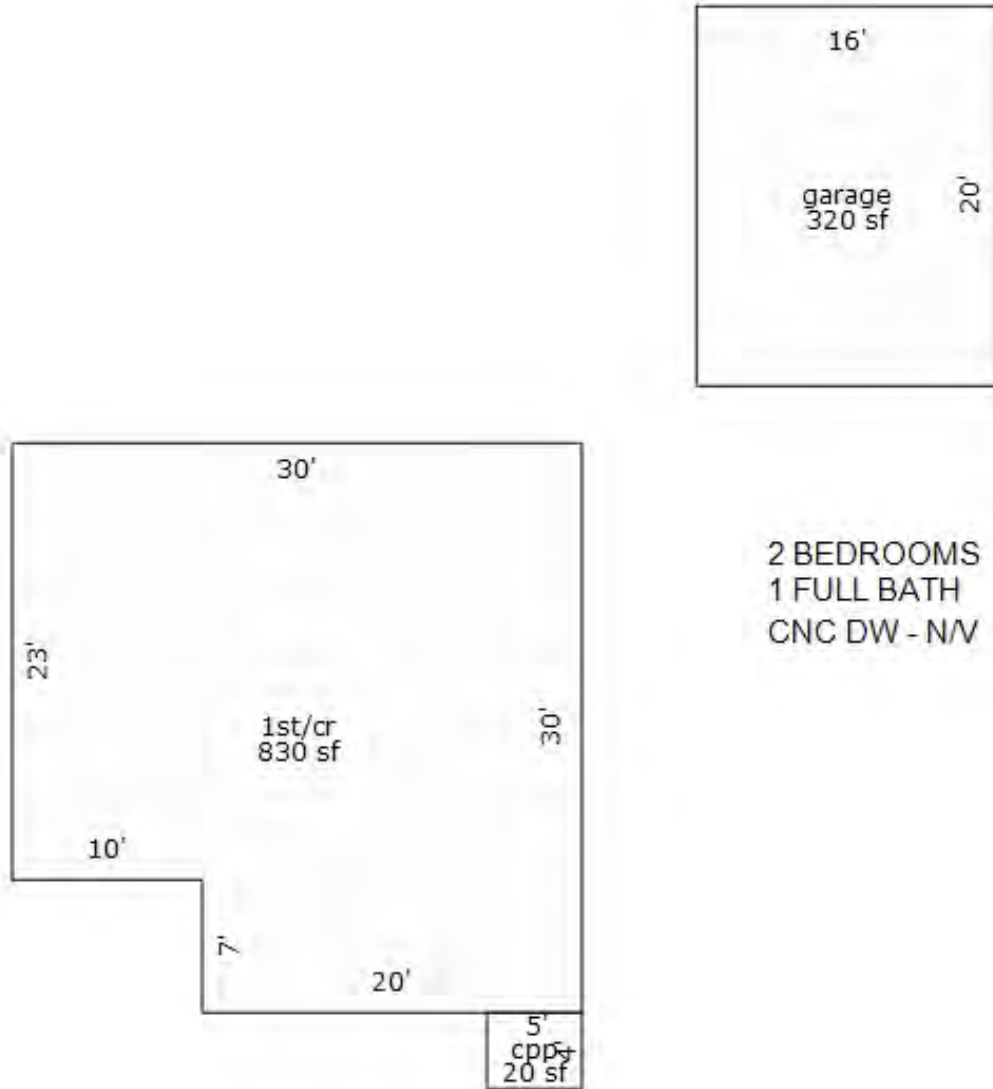
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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage																																									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 20	Type CPP	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 320 % Good: 0 Storage Area: 0 No Conc. Floor: 0																																								
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling																																																			
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration																																																				
Yr Built 1945	Remodeled 0	Ex	X	Ord		Min	Size of Closets																																																	
Condition: Good		Lg	X	Ord		Small																																																		
Room List		Doors:		Solid	X	H.C.	Central Air Wood Furnace																																																	
	Basement 1st Floor 2nd Floor 2 Bedrooms	(5) Floors		(12) Electric																																																				
(1) Exterior		Kitchen: Other: Other:		0 Amps Service																																																				
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings		No./Qual. of Fixtures																																																				
		Ex.	X	Ord.		Min	No. of Elec. Outlets																																																	
				Many	X	Ave.		Few																																																
(2) Windows		(7) Excavation		(13) Plumbing																																																				
X	Many Avg. Few	X	Large Avg. Small	Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																																																				
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		Basement: 0 S.F. Crawl: 830 S.F. Slab: 0 S.F. Height to Joists: 0.0																																																						
(3) Roof		(8) Basement																																																						
X	Gable Hip Flat	Gambrel Mansard Shed	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)																																																					
X	Asphalt Shingle	(9) Basement Finish																																																						
Chimney: Brick		(10) Floor Support																																																						
		Joists: Unsupported Len: Cntr.Sup:																																																						
Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts Ground Area = 830 SF Floor Area = 830 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=65/100/100/100/65 Building Areas <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr> <td>1 Story</td> <td>Siding</td> <td>Crawl Space</td> <td>830</td> <td></td> <td></td> </tr> <tr> <td colspan="3">Total:</td> <td></td> <td>118,567</td> <td>77,069</td> </tr> </tbody> </table> Other Additions/Adjustments Garages Class: C Exterior: Siding Foundation: 42 Inch (Unfinished) <table border="1"> <thead> <tr> <th>Item</th> <th>Quantity</th> <th>Cost</th> </tr> </thead> <tbody> <tr> <td>Base Cost</td> <td>320</td> <td>17,728</td> </tr> <tr> <td>Water/Sewer</td> <td></td> <td></td> </tr> <tr> <td>Public Sewer</td> <td>1</td> <td>1,568</td> </tr> <tr> <td>Water Well, 200 Feet</td> <td>1</td> <td>11,276</td> </tr> <tr> <td>Porches</td> <td></td> <td></td> </tr> <tr> <td>CPP</td> <td>20</td> <td>586</td> </tr> <tr> <td>Totals:</td> <td></td> <td>149,725</td> </tr> </tbody> </table> Notes: ECF (4305 SUNRISE PARK NON LAKEFRONT) 1.300 => TCV: 126,517															Stories	Exterior	Foundation	Size	Cost New	Depr. Cost	1 Story	Siding	Crawl Space	830			Total:				118,567	77,069	Item	Quantity	Cost	Base Cost	320	17,728	Water/Sewer			Public Sewer	1	1,568	Water Well, 200 Feet	1	11,276	Porches			CPP	20	586	Totals:		149,725
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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





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**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-28 Meeting Date: September 19, 2023  
6:30 pm

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Andrew Perri Email: APerri@PinnacleWealthOnline.com

Property Address: 5311 Brighton Rd. Phone: 586-707-0182

Present Zoning: General Commercial District Tax Code: 4711-27-300-013

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

- Variance requested/intended property modifications: Section 7-14(g)4 shall be 100ft from property line.  
Building and seating  
Front yard setback 45 feet - Requires 55 foot variance  
Left yard setback 54 feet - Requires 46 foot variance  
Right yard setback 35 feet - Requires 65 foot variance  
Rear yard setback 83 feet - Requires 17 foot variance

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The property was "Burroughs Roadhouse" restaurant. Oak Point has a similar use on a larger scale. This property is part of the Oak Point P.U.D. with shared parking and the golf course is a buffer between the proposed small scale patio entertainment. This use is seasonal. The previous use had a larger scale patio, restaurant and bar operation.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The building was constructed in early 1900's. Zoning laws have changed since the building was constructed. The property is part of a P.U.D. with Oak Point which has a similar use. The proposed use is downscaled from its previous use patio, restaurant and bar.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The proposed use does not impact light or air to adjacent properties. It will not create unreasonable congestion on public streets. The use does not increase fire and will not endanger public safety, comfort, morals or welfare of the inhabitants of Township of Genoa.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

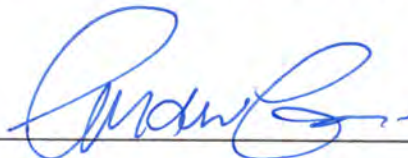
The proposed use will not interfere with or discourage the appropriate development, continued use or value of adjacent properties and surrounding neighborhoods.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: Aug 22, 2023 Signature: \_\_\_\_\_







September 13, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	Pinnacle Wealth – Dimensional Variance Review
<b>Location:</b>	5311 Brighton Road – north side of Brighton Road, between Chilson and Bauer Roads
<b>Zoning:</b>	MUPUD Mixed Use Planned Unit Development

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variances for a new outdoor commercial recreation use as part of the redevelopment of the existing building/site at 5311 Brighton Road.

The existing building and outdoor patio area previously used as a restaurant and an indoor recreation establishment are being remodeled to accommodate office space and a small event facility with outdoor entertainment space (music).

It is worth noting that a variance was granted in 2019 allowing a setback reduction for the indoor recreation establishment.

The building and outdoor patio will remain in their current location; however, given the nature of the change in use proposed, the Township Zoning Ordinance requires 100’ setbacks for all buildings and outdoor seating areas.

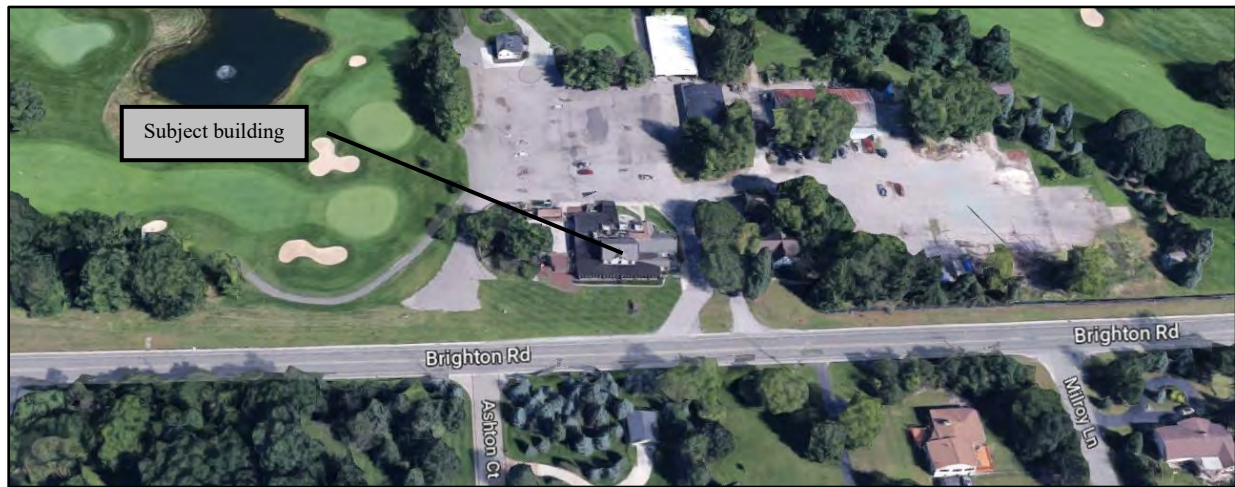
The overall project is currently going through special land use and site plan review; however, the variance request will be heard prior to Planning Commission consideration. As such, we suggest that favorable action by the ZBA be conditioned upon special land use and site plan approval.

In summary, the project requires 4 dimensional variances from Section 7.02.02(q), as follows:

- A front yard setback of 45’ (where a minimum of 100’ is required);
- A side yard setback of 54’ (where a minimum of 100’ is required);
- A side yard setback of 35’ (where a minimum of 100’ is required); and
- A rear yard setback of 83’ (where a minimum of 100’ is required).

**SUMMARY**

1. *Practical Difficulty/Substantial Justice:* Strict compliance would limit outdoor entertainment to a relatively small area in the middle of the property. The Board could view this as unnecessarily burdensome. Since the existing building and patio area are to remain in the same location, the request is the minimum necessary to grant relief for the proposed land use.
2. *Extraordinary Circumstances:* The need for variances is driven by the manner in which the property was developed and the change in use proposed, more than a typical size or shape constraint.
3. *Public Safety and Welfare:* Given the nature of the project and the variances sought, we do not anticipate adverse impacts upon public safety and welfare.
4. *Impact on Surrounding Neighborhood:* we do not necessarily anticipate adverse impacts upon the surrounding neighborhood; however, this aspect will be part of a more detailed special land use and site plan review before Planning Commission, including a detailed lighting plan.
5. *Additional Considerations:* If the Board considers favorable action on the variance request, we suggest it be conditioned upon special land use and site plan approval.



*Aerial view of site and surroundings (looking north)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

1. **Practical Difficulty/Substantial Justice.** A variance is not necessary for continued use of the property for a permitted purpose (several options, including office, restaurant, and other standard GCD uses).

The existing building and patio comply with conventional GCD setback requirements; however, the nature of the use proposed, which includes outdoor entertainment on the existing patio, requires increased setbacks to help mitigate off-site impacts.

Strict compliance would limit outdoor entertainment to a relatively small area in the middle of the property. The Board could view this as unnecessarily burdensome.

Since the location of the existing building and patio are not changing, the 4 variances sought are the minimum necessary to grant relief given the use proposed.

2. **Extraordinary Circumstances.** In this instance, the need for variances is driven by the manner in which the property was developed and the change in use proposed, more than a typical size or shape constraint.

It is worth noting that the application states that the building was constructed in the early 1900s, which is relatively unusual.

3. **Public Safety and Welfare.** Given the nature of the project and the variances sought, we do not anticipate adverse impacts upon public safety and welfare.

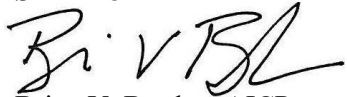
4. **Impact on Surrounding Neighborhood.** The primary concern under this criterion is the potential impact upon residential uses across Brighton Road – specifically, noise generation and lighting, which are noted in our initial Planning Commission review letter.

As it relates to the variance application, we do not necessarily anticipate adverse impacts upon the surrounding neighborhood; however, this aspect will be part of a more detailed special land use and site plan review before Planning Commission, including a detailed lighting plan.

Genoa Township ZBA  
**Pinnacle Wealth**  
Dimensional Variance Review  
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letters of each name being capitalized and prominent.

Brian V. Borden, AICP  
Michigan Planning Manager





Sat Jun 17 2023

Imagery © 2023 Nearmap, HERE

50 ft

nearmap







**GENERAL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
- A GRADING PERMIT FOR SOIL EROSION--SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
- IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
- ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET ADA REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO WORK COMMENCING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
- DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
- IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
- NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
- TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
- ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT ARE INCLUDED IN THE CONTRACT, ANY ITEMS NOT SPECIFICALLY DESIGNATED IN THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF APPROVED CONSTRUCTION PLANS, WITH THE LATEST REVISION DATE, ON SITE PRIOR TO THE START OF CONSTRUCTION, IN THE EVENT OF ANY QUESTIONS PERTAINING TO THE INTENT OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER FOR A FINAL DETERMINATION FROM THE DESIGN ENGINEER.
- THE CONTRACTOR, NOT THE OWNER OR THE ENGINEER, ARE RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR SAFE EXECUTION OF THE PROJECT SCOPE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING CONSTRUCTION STAKING AS NECESSARY. CONTRACTOR TO NOTIFY CONSTRUCTION SURVEYOR OF REPLACEMENT STAKES NEEDED WHICH SHALL BE AT THE CONTRACTORS EXPENSE.
- THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FRANCHISE UTILITY SERVICES (CABLE, ELECTRIC, GAS, ETC.) OWNER AND/OR CONTRACTOR SHALL WORK WITH UTILITY COMPANIES ON FURNISHING SITE UTILITY LAYOUTS AND PROVIDING CONDUIT CROSSINGS AS REQUIRED.
- DAMAGE TO ANY EXISTING UTILITIES OR INFRASTRUCTURE (INCLUDING PAVEMENT, CURB, SIDEWALK, ETC.) SHALL PROMPTLY BE REPLACED IN KIND AND SHALL BE AT THE CONTRACTORS EXPENSE.
- COORDINATION OF TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND PER ALL CITY/TOWNSHIP/COUNTY REQUIREMENTS. COPIES OF ALL TEST REPORTS SHALL BE FURNISHED TO THE DESIGN ENGINEER.
- PRIOR TO THE START OF CONSTRUCTION, PROTECTION FENCING SHALL BE ERECTED AROUND THE TREE DRIPLINE OF ANY TREES INDICATED TO BE SAVED WITHIN THE LIMITS OF DISTURBANCE.
- THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE IMPACTED/DISTURBED DUE TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TEMPORARY DRAINAGE DUESIONS.
- SOIL BORING LOGS ARE REPRESENTATIVE OF SPECIFIC POINTS ON THE PROJECT SITE, AND IF PROVIDED TO THE CONTRACTOR ARE FOR INFORMATIONAL PURPOSES ONLY.
- WHERE CITY/TOWNSHIP STANDARD CONSTRUCTION DETAILS/SPECIFICATIONS ARE PROVIDED AND ARE IN CONFLICT WITH NOTES AND SPECIFICATIONS HEREIN, THE CITY/TOWNSHIP STANDARD SHALL GOVERN.

**INDEMNIFICATION STATEMENT**

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

**GENERAL GRADING & SESC NOTES**

- THE CONTRACTOR SHALL HAVE IN PLACE ALL REQUIRED EROSION CONTROL METHODS AS INDICATED ON THE CONSTRUCTION PLANS AND AS REQUIRED BY GENERAL PRACTICE. SPECIFIC MEANS, METHODS AND SEQUENCES OF CONSTRUCTION MAY DICTATE ADDITIONAL SOIL EROSION CONTROL MEASURES BE NEEDED. THE CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER ON THESE ANTICIPATED METHODS. ADDITIONAL SOIL EROSION CONTROL METHODS SHALL BE INCIDENTAL TO THE SCOPE OF WORK.
- ACTUAL FIELD CONDITIONS MAY DICTATE ADDITIONAL OR ALTERNATE SOIL EROSION CONTROL MEASURES BE UTILIZED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR FIELD CONDITIONS THAT WARRANT ADDITIONAL AND/OR ALTERNATIVE SESC MEASURES BE UTILIZED.
- AT THE CLOSE OF EACH DAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION OPERATIONS, MATERIALS, DEBRIS, ETC ARE CONTAINED ON-SITE.
- AT THE CLOSE OF EACH WORKING DAY, ALL DRAINAGE STRUCTURES SHALL BE FREE OF DIRT AND DEBRIS AT THE FLOW LINE.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE PER MDEGL REGULATIONS AND BEST PRACTICES. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR.
- THE SOIL EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE UNTIL SUCH A TIME THAT THE SITE IS DETERMINED TO BE ESTABLISHED WITH ACCEPTABLE AMOUNT OF VEGETATIVE GROUND COVER.
- ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
- AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
- ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
- ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
- ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).

**GENERAL LANDSCAPE NOTES**

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, & DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEANEOUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN. DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 5-FT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
- LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1-1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
- ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
- EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS, ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36-HOURS AFTER CUTTING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.

- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.

SEED MIXTURE SHALL BE AS FOLLOWS:  
 KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, GLADE, OR PARADE) 30%  
 RUBY RED OR DAWSON RED FINE FESCUE 30%  
 ATLANTA RED FESCUE 20%  
 PENNINE PERENNIAL RYE 20%

THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:

10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE  
 0 % PHOSPHATE  
 10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE

THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RE-SEEDED AND SUCH RE-SEEDED SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.

**GENERAL UTILITY NOTES**

- BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW THE PIPE. UNLESS OTHERWISE NOTED ON THE PLANS, BEDDING SHALL BE OF UNIFORM GRADATION MDOT 6A4 STONE OR MDOT CLASS II GRANULAR MATERIAL FOR SANITARY AND STORM PIPE AND MDOT CLASS II GRANULAR MATERIAL ONLY FOR WATERMAIN.
- WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER.
- BACKFILL SHALL BE OF A SUITABLE MATERIAL AND SHALL BE FREE OF ANY ORGANIC MATERIALS AND ROCKS.
- BACKFILL ABOVE THE PIPE SHALL BE OF GRANULAR MATERIAL MDOT CLASS II TO A POINT 12" ABOVE THE TOP OF THE PIPE. WHERE THE TRENCH IS NOT WITHIN THE INFLUENCE OF THE ROAD, SUITABLE SITE MATERIAL MAY BE COMPACTED AND UTILIZED FROM A POINT 12" ABOVE THE PIPE TO GRADE. WHERE THE TRENCH IS WITHIN A 1:1 INFLUENCE OF THE ROAD, GRANULAR MATERIAL, MDOT CLASS II OR III, IS TO BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 12" IN THICKNESS. COMPACTION SHALL BE 95% AS DETERMINED BY AASHTO T99.
- 18" MINIMUM VERTICAL SEPARATION AND 10" HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATERMAIN AND SANITARY/STORM SEWER TO THE MAXIMUM EXTENT POSSIBLE.

**LINES & HATCHES LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
900	900	CONTOUR
900	+ 922.08	SPOT ELEVATION
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
X	X	FENCE
---	---	SILT FENCE
---	---	WETLAND BOUNDARY
---	---	LIMITS OF GRADING/CLEARING
---	---	LIMITS OF DRAINAGE
---	---	MODIFIED CURB
---	---	CONCRETE
---	---	HIGH STRENGTH CONCRETE
---	---	ASPHALT
---	---	HIGH STRENGTH ASPHALT
---	---	WETLAND
SN	SN	SANITARY SEWER LABEL
ST	ST	STORM SEWER LABEL
WM	WM	WATER MAIN LABEL
---	---	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)

**LIGHTING LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
---	---	DOUBLE FIXTURE LIGHT POLE
---	---	SINGLE FIXTURE LIGHT FIXTURE
---	---	WALL MOUNTED LIGHT FIXTURE
---	---	GROUND LIGHT FIXTURE
---	---	FOOT CANDLES ON SITE
---	---	FOOT CANDLES OFF SITE
---	---	FOOT CANDLES CONTOURS
---	---	CANOPY MOUNTED LIGHT FIXTURE

**LANDSCAPE LEGEND**

EXISTING CONIFER TREE	EXISTING DECIDUOUS TREE
PROPOSED CONIFER TREE	PROPOSED DECIDUOUS TREE
PROPOSED TREE PROTECTION	PROPOSED ORNAMENTAL TREE
PROPOSED SHRUBS	PROPOSED GRASSES & PERENNIALS
SOD	PROPOSED LANDSCAPE BOULDER
SEED	
MULCH	

**SYMBOL LEGEND**

---	STORM DRAINAGE FLOW
---	GUY WIRE
---	POWER POLE
---	TRANSFORMER PAD
---	ELECTRICAL RISER
---	U.G. ELECTRICAL MARKER
---	ELECTRICAL METER
---	AIR CONDITIONING UNIT
---	TELEPHONE RISER
---	U.G. TELEPHONE MARKER
---	GAS RISER
---	U.G. GAS MARKER
---	GAS METER
---	U.G. CABLE TV MARKER
---	CABLE TV RISER
---	MAILBOX
---	WELL
---	WATER MANHOLE
---	GATE VALVE (EXISTING)
---	GATE VALVE (PROPOSED)
---	HYDRANT (EXISTING)
---	HYDRANT (PROPOSED)
---	CATCH BASIN (EXISTING)
---	YARD CATCH BASIN (EXISTING)
---	CATCH BASIN (PROPOSED)
---	STORM MANHOLE (EXISTING)
---	STORM MANHOLE (PROPOSED)
---	END SECTION (EXISTING)
---	END SECTION (PROPOSED)
---	SANITARY MANHOLE (EXISTING)
---	SANITARY MANHOLE (PROPOSED)
---	PUMP CHAMBER
---	INVERT ELEVATION
---	MANHOLE
---	CATCH BASIN
---	REAR YARD
---	YARD DRAIN
---	ROOF DRAIN
---	FLARED END SECTION
---	CORRUGATED METAL PIPE
---	CORRUGATED PLASTIC PIPE
---	REINFORCED CONCRETE PIPE
---	HIGH DENSITY POLYETHYLENE
---	POLYVINYL CHLORIDE
---	DUCTILE IRON PIPE
---	GATE VALVE
---	GATE VALVE IN WELL
---	GATE VALVE IN BOX
---	HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	UTILITY POLE
---	NOT FIELD VERIFIED TO BE REMOVED
---	L. LIBER
---	P. PAGE
---	L.C.R. LIVINGSTON COUNTY RECORDS
---	(M&R) MEASURED AND RECORD
---	L.O.B. POINT OF BEGINNING

**ABBREVIATIONS**

FFE	FINISHED FLOOR ELEVATION
BFE	BASEMENT FLOOR ELEVATION
GFE	GARAGE FLOOR ELEVATION
FG	FINISHED GRADE
T/A	TOP OF ASPHALT
T/C	TOP OF CONCRETE/CURB
T/W	TOP OF WALK
T/P	TOP OF PIPE
B/P	BOTTOM OF PIPE
F/L	FLOW LINE
RIM	RIM ELEVATION (AT FLOW LINE)
INV	INVERT ELEVATION
MH	MANHOLE
CB	CATCH BASIN
RY	REAR YARD
YD	YARD DRAIN
RD	ROOF DRAIN
FES	FLARED END SECTION
CMP	CORRUGATED METAL PIPE
GPP	CORRUGATED PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE
GV	GATE VALVE
QVW	GATE VALVE IN WELL
GVB	GATE VALVE IN BOX
HYD	HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
UP	UTILITY POLE
NFV	NOT FIELD VERIFIED
TR	TO BE REMOVED
L.	LIBER
P.	PAGE
L.C.R.	LIVINGSTON COUNTY RECORDS
(M&R)	MEASURED AND RECORD
L.O.B.	POINT OF BEGINNING

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES CROSSING IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE PLANS.

**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

**5311 BRIGHTON ROAD FACILITY UPDATES**  
 PREPARED FOR: 5311 BRIGHTON ROAD, LLC  
 4684 CLIFFORD ROAD  
 BRIGHTON, MI 48116  
 (981) 707-0182

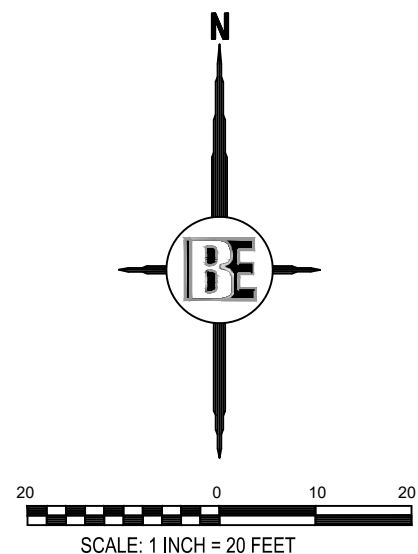
PROJECT	DATE	TITLE	DATE
1	08/22/23	ZONING VARIANCE PER TOWNSHIP	08/22/23
NO BY		REVISION PER	

DESIGNED BY: BL  
 DRAWN BY: JP  
 CHECKED BY:  
 SCALE: NO SCALE  
 JOB NO: 23-201  
 DATE: 07/31/23

SHEET NO. **2**  
**BEBOSS Engineering**



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



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BEFORE YOU DIG, CALL MISS DIG  
1-800-482-7171  
www.missdig.com

**GENERAL SURVEY NOTES:**

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS POST-PROCESSING. (NAVD88 DATUM)
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- THE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH PREVIOUS DRAWINGS PREPARED BY BOSS ENGINEERING.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

**NRCS EXISTING SOILS DATA:**  
FoA FOX SANDY LOAM 0-2% SLOPES  
FID FOX-BOYER COMPLEX 12-18% SLOPES

**PARCEL INFORMATION:**  
PARCEL ID: #4711-27-300-013  
ZONING: MUPUD  
ADDRESS: 5311 BRIGHTON ROAD, BRIGHTON, MI 48116

**PROPERTY DESCRIPTION PER LIVINGSTON COUNTY TAX ROLL:**  
LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:  
SEC 27 T2N R5E COMM S 1/4 COR SEC TH S87°W 935.84 FT TO POB TH S87°W 251.72 FT TH N02°W 243.02 FT TH N86°E 251.73 FT TH S02°E 245.86 FT TO POB CONT 1.41 AC M/L SPLIT 5/92 FR 003

**SITE BENCHMARKS (NAVD88 DATUM):**  
-BM #200 = BM BNT E/SIDE 15" PINE ELEV.=995.54  
-BM #201 = BM BNT W/SIDE ENTRANCE SIGN ELEV.=992.51

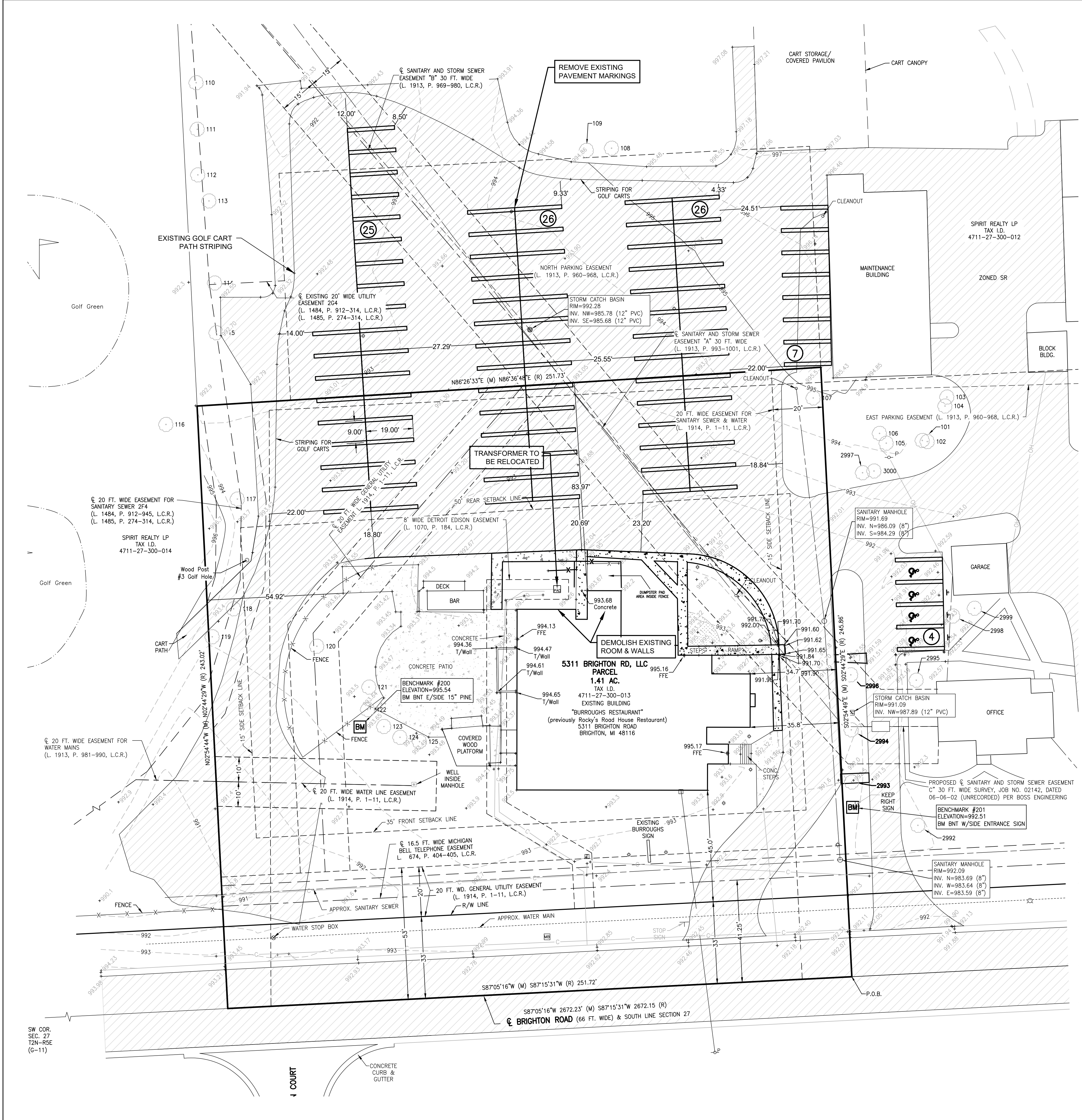
**EXISTING PARKING SPACE INFORMATION:**  
④ STANDARD 9' x 19' SPACES  
④ BARRIER-FREE HANDICAP 9' x 19' SPACES

**Tree Inventory List**

Job Number: 23-201  
Job Location: 5311 Brighton Road Brighton, MI 48116  
Date: Wednesday, June 28, 2023  
Performed by: Jennifer M. Austin, P.L.A.

**Condition Description Notes:**  
"Good" - no observed structural defects\*  
"Fair" - minor structural defects, marginal form, or some insect activity noted\*  
"Poor" - major structural defects, poor form, or insect infested\*  
\*Structural defects may include decayed wood, cracks, root problems, weak branch unions cankers, poor tree architecture, dead/failed branches due to various causes.

Tree #	Botanical Name	Common Name	Dia.	Other Dia.	Condition
2992	Abies Concolor	White Fir	19"		Good
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2998	Thuja occidentalis	Arborvitae	10.5"		Fair
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101	Pinus Strobus	Eastern White Pine	65" Tall		Good
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103	Pinus Strobus	Eastern White Pine	65" Tall		Good
104	Pinus Strobus	Eastern White Pine	65" Tall		Good
105	Pinus Strobus	Eastern White Pine	65" Tall		Good
106	Pinus Strobus	Eastern White Pine	65" Tall		Good
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121	Pinus Strobus	Eastern White Pine	65" Tall		Good
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124	Pinus Strobus	Eastern White Pine	65" Tall		Good
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**BEBOSS**  
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3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670

PROJECT: 5311 BRIGHTON ROAD FACILITY UPDATES  
PREPARED FOR: 5311 BRIGHTON ROAD, LLC  
4684 CLIFFORD ROAD  
BRIGHTON, MI 48116  
(586) 707-0182

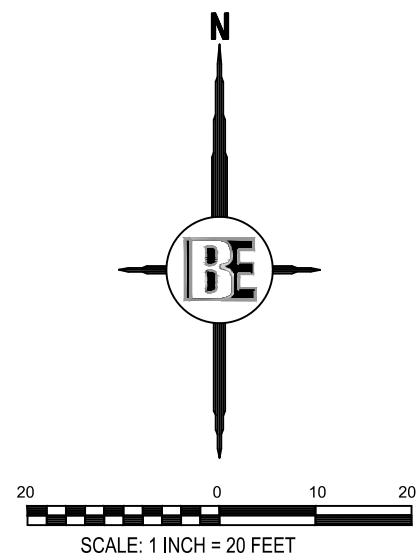
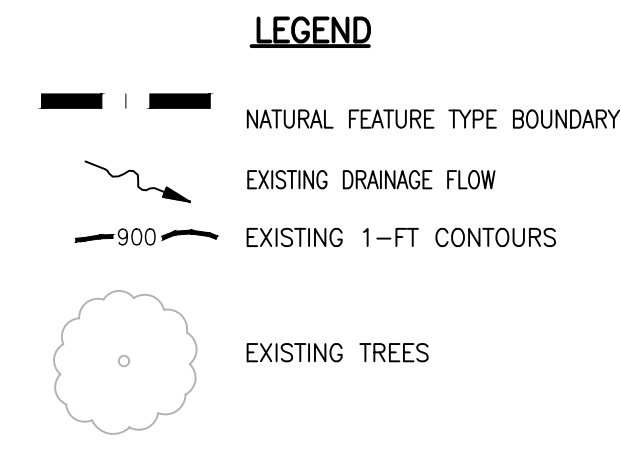
TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

NO.	BY	DATE	REVISION PER	TOWNSHIP	ZONING VARIANCE
1	UP	08/22/23			

DESIGNED BY: BL  
DRAWN BY: JP  
CHECKED BY:  
SCALE: 1" = 20'  
JOB NO: 23-201  
DATE: 07/31/23  
SHEET NO. 3



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



**GENERAL SURVEY NOTES:**

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**SITE BENCHMARKS (NAVD88 DATUM):**

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**NRCS EXISTING SOILS DATA:**  
 FoA FOX SANDY LOAM 0-2% SLOPES  
 FID FOX-BOYER COMPLEX 12-18% SLOPES

**PARCEL INFORMATION:**  
 PARCEL ID: #4711-27-300-013  
 ZONING: MUPUD  
 ADDRESS: 5311 BRIGHTON ROAD, BRIGHTON, MI 48116

**PROPERTY DESCRIPTION PER LIVINGSTON COUNTY TAX ROLL:**

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**NATURAL FEATURES NARRATIVE:**

NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON JUNE 29, 2023. SITE IS DEVELOPED AS A PRIVATE GOLF COURSE RESTAURANT AND MAINTENANCE AREA PARKING LOT. TREES IN THIS AREA ARE PART OF A PLANTED LANDSCAPE. ARE IDENTIFIED IN THE TREE INVENTORY LIST, AND NONE ARE PLANNED TO BE REMOVED.

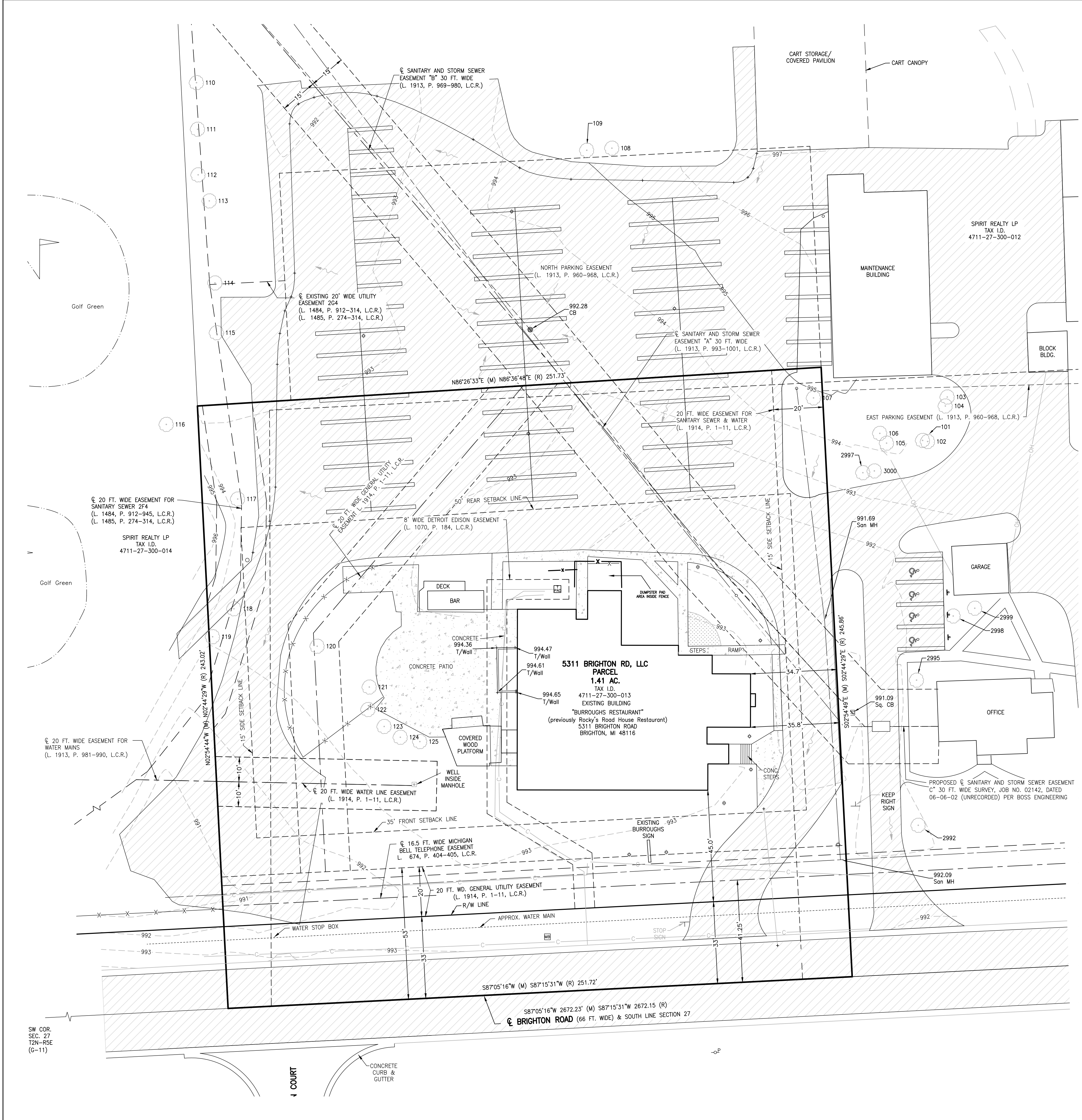
THIS PARCEL IS FLAT WITH SOILS IDENTIFIED BY USDA NRCS AS MAINLY FOX SANDY LOAM AND A SMALL AREA OF FOX-BOYER COMPLEX AT THE WEST PROPERTY LINE.

**Tree Inventory List**

Job Number: 23-201  
 Job Location: 5311 Brighton Road Brighton, MI 48116  
 Date: Wednesday, June 28, 2023  
 Performed By: Jennifer M. Austin, P.L.A.

**Condition Description Notes:**  
 "Good" - no observed structural defects\*  
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**BOSS Engineering**  
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**5311 BRIGHTON ROAD FACILITY UPDATES**

PROJECT: 5311 BRIGHTON ROAD, LLC  
 4684 CLIFFORD ROAD  
 BRIGHTON, MI 48116  
 (981) 707-0182

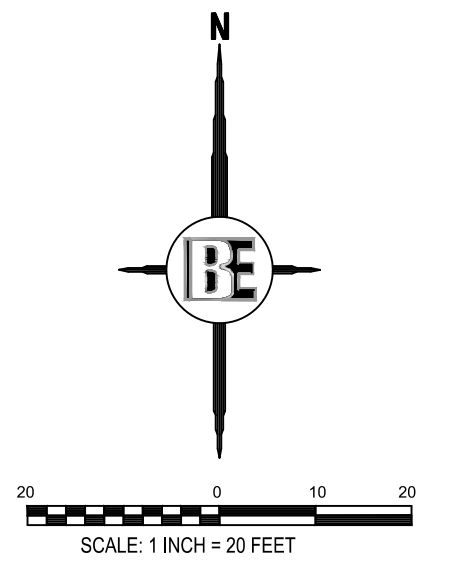
PREPARED FOR: NATURAL FEATURES PLAN

NO	BY	DATE	REVISION PER	ZONING VARIANCE PER
1	JP	08/22/23		

DESIGNED BY: BL  
 DRAWN BY: JP  
 CHECKED BY:  
 SCALE: 1" = 20'  
 JOB NO: 23-201  
 DATE: 07/31/23  
 SHEET NO. 4



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



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HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670

PROJECT: 5311 BRIGHTON ROAD FACILITY UPDATES  
PREPARED FOR: 5311 BRIGHTON ROAD, LLC  
4684 CLIFFORD ROAD  
BRIGHTON, MI 48116  
(981) 707-0182

TITLE: SITE PLAN

NO	BY	DATE	REVISION
1	JP	08/22/23	ZONING VARIANCE PER TOWNSHIP
NO	BY	DATE	REVISION

DESIGNED BY: BL  
DRAWN BY: JP  
CHECKED BY:  
SCALE: 1" = 20'  
JOB NO: 23-201  
DATE: 07/31/23  
SHEET NO. 5

**SITE DATA:**

GENOA TOWNSHIP  
PARCEL # 4711-27-300-013  
5311 BRIGHTON ROAD, BRIGHTON, MI 48116  
1.42 AC ±

ZONING: MIXED USE PLANNED URBAN DEVELOPMENT (MUPUD)  
EXISTING OFFICE BUILDING SF: 5,732 GSF ±  
EXISTING BUILDING USE: RESTAURANT  
PROPOSED OFFICE & BANQUET BUILDING SF: 6,166 GSF ±  
PROPOSED BUILDING USE: OFFICE & BANQUET BUILDING  
LIVE ENTERTAINMENT (BANQUET ROOM & PATIO TITLED, "BURROUGHS SOCIAL")  
BETWEEN MEMORIAL DAY & LABOR DAY. THURSDAY - SATURDAY  
PATIO MUSIC OFF AT 10:45PM  
PATIO LIGHTS OFF AT 11:00PM

MIN. LOT AREA REQUIRED FOR ZONING: 1 ACRES  
EX. LOT AREA: 1.42 AC ± (61,856 SQ FT)  
TOTAL EX. WORKING AREA: 1.91 AC ± (83,069 SQ FT)

MIN. LOT WIDTH: 150 FT TOTAL EXISTING LOT WIDTH: 251.73 FT  
MAX. LOT COVERAGE: 40.0% BLDG, 85.0% IMPERVIOUS  
EXISTING LOT COVERAGE: 6.90% BLDG, 66.6% IMPERVIOUS  
PROPOSED LOT COVERAGE: 7.42% BLDG, 77.7% IMPERVIOUS

IMPERVIOUS AREAS =  
EXISTING ASPHALT PARKING 16,905 SF (0.39 AC)  
PROPOSED ASPHALT PARKING 36,250 SF (0.83 AC)  
EXISTING CONCRETE WALK 3,021 SF (0.07 AC)  
PROPOSED CONCRETE WALK 1,541 SF (0.03 AC)  
PROPOSED BUILDING 6,166 SF (0.14 AC)

PERVIOUS AREAS =  
EXISTING LAWN/VEGETATION 19,186 SF (.44 AC)

MIN. SETBACKS REQUIRED: EXISTING SETBACKS:  
RIGHT-OF-WAY: 33-FT 33-FT  
FRONT: 35-FT 35-FT  
SIDE: 15-FT 15-FT  
REAR: 50-FT 50-FT  
MAX BLDG HGT: 30-FT (IND) 30-FT (2-STORY)

PARKING CALCULATION:  
BANQUET AREA WILL INCLUDE A LIVE ENTERTAINMENT COMPONENT. MAXIMUM OCCUPANCY FOR BANQUET ROOM & PATIO IS 150 PEOPLE. REQUIRED PARKING FOR RESTAURANT USE IS 1 SPACE PER 2 OCCUPANTS = 75 SPACES REQUIRED. (THIS USE WILL OCCUR DURING HOURS THE OFFICE IS NOT OCCUPIED.)

PROFESSIONAL OFFICE = 1 SPACE + BLDG / 300 GSF = 1 + 5,732 / 300 = 20 TOTAL SPACES REQUIRED INCLUDING 1 BARRIER-FREE SPACE

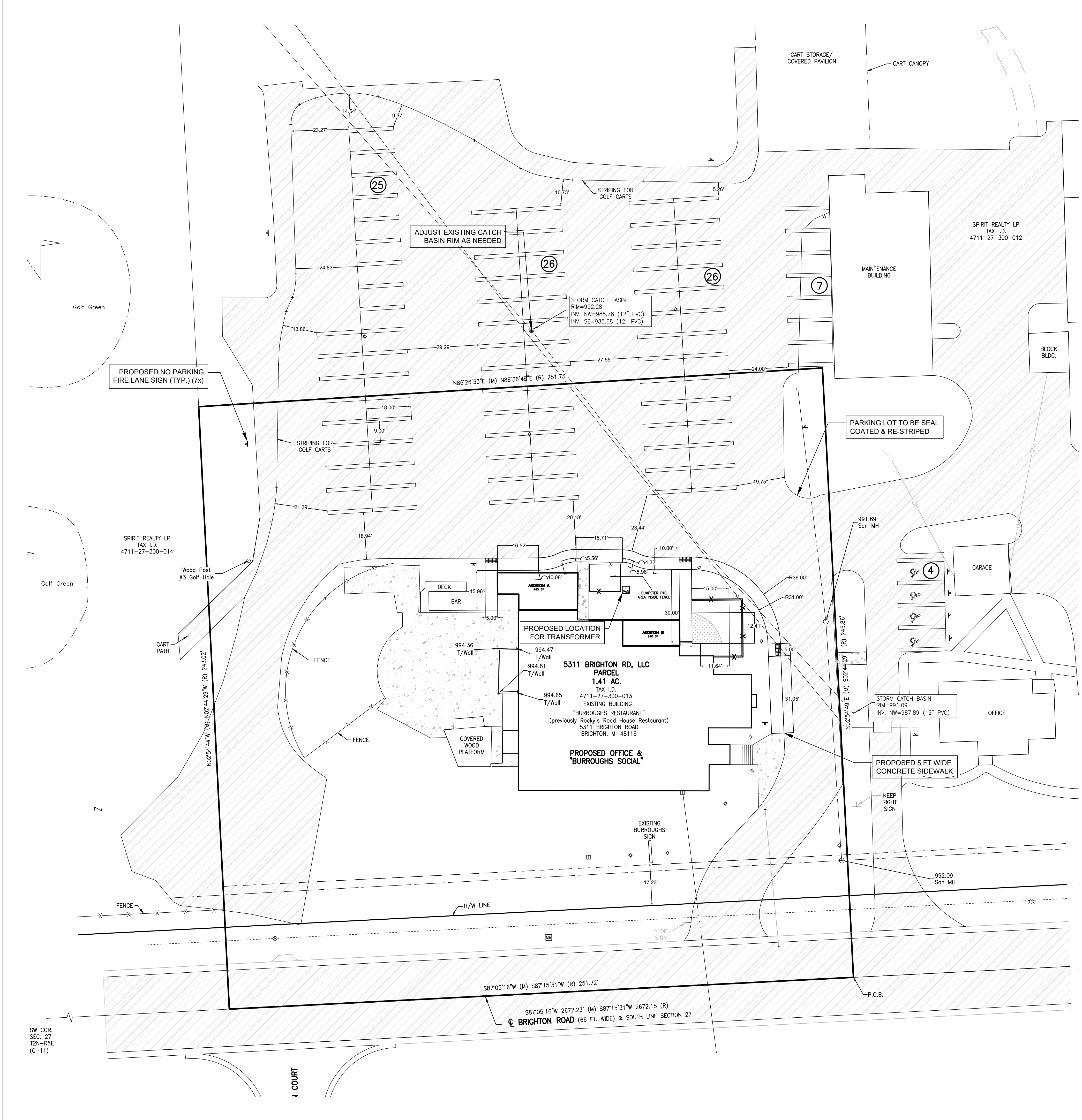
PROVIDED PARKING: 88 SPACES INCLUDING 4 BARRIER-FREE SPACES (PER TOWNSHIP REQUIREMENTS)

**PARKING DEMAND STATEMENT:**

THE REQUIRED PARKING CALCULATIONS ARE EXCLUSIVE TO EACH USE. THE DAILY DEMAND IS THE OFFICE USE WITH 20 SPACES. ONLY DURING THE MEMORIAL DAY TO LABOR DAY SEASON WOULD A MAXIMUM DEMAND OF 75 SPACES EXIST. THE PROVIDED NUMBER OF SPACES IS 88 WITH 84 TYPICAL PARKING SPACES AND 4 ADA ACCESSIBLE SPACES ONSITE.

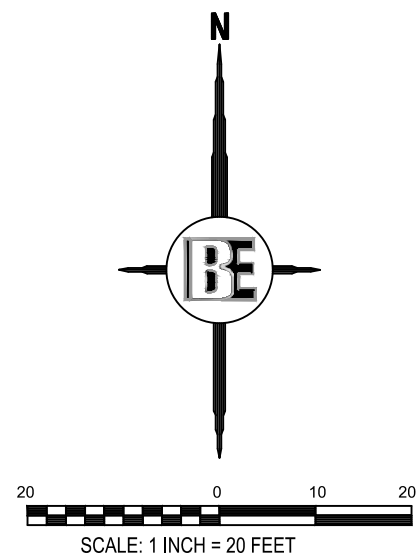
SEE LANDSCAPE PLANS FOR NEW SIGN DETAIL.

FOR SITE PLAN APPROVAL ONLY!  
NOT FOR CONSTRUCTION





SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



**STORMWATER NARRATIVE:**  
 BASED ON THE PROPOSED CHANGES, THERE WILL BE A NEGLIGIBLE INCREASE TO THE IMPERVIOUS SURFACE.

**PROPOSED CONST. SCHEDULE FOR THE YEAR 2023**

ACTIVITY	JULY	AUG	SEPT	OCT	NOV	DEC
DEMO & CLEAR						
PAVING						
FINAL GRADING						
SEED & MULCH						

**CONTROLS & MEASURES NARRATIVE**

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS, DISPOSE IN APPROVED CONTAINER, REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS, DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED.

**CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE**

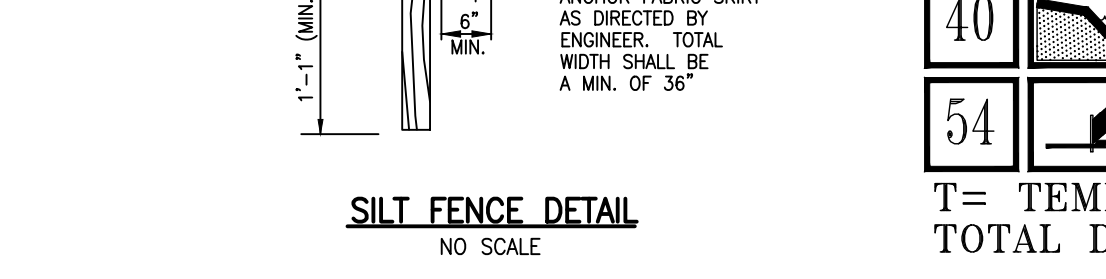
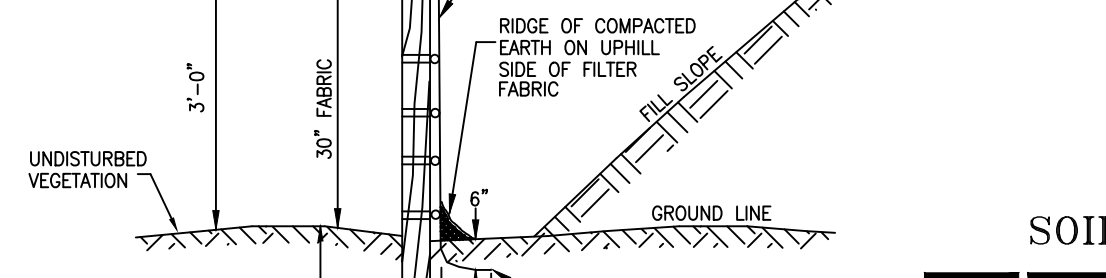
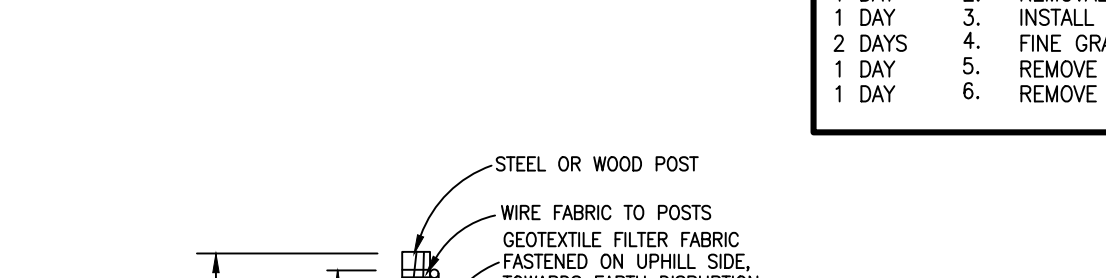
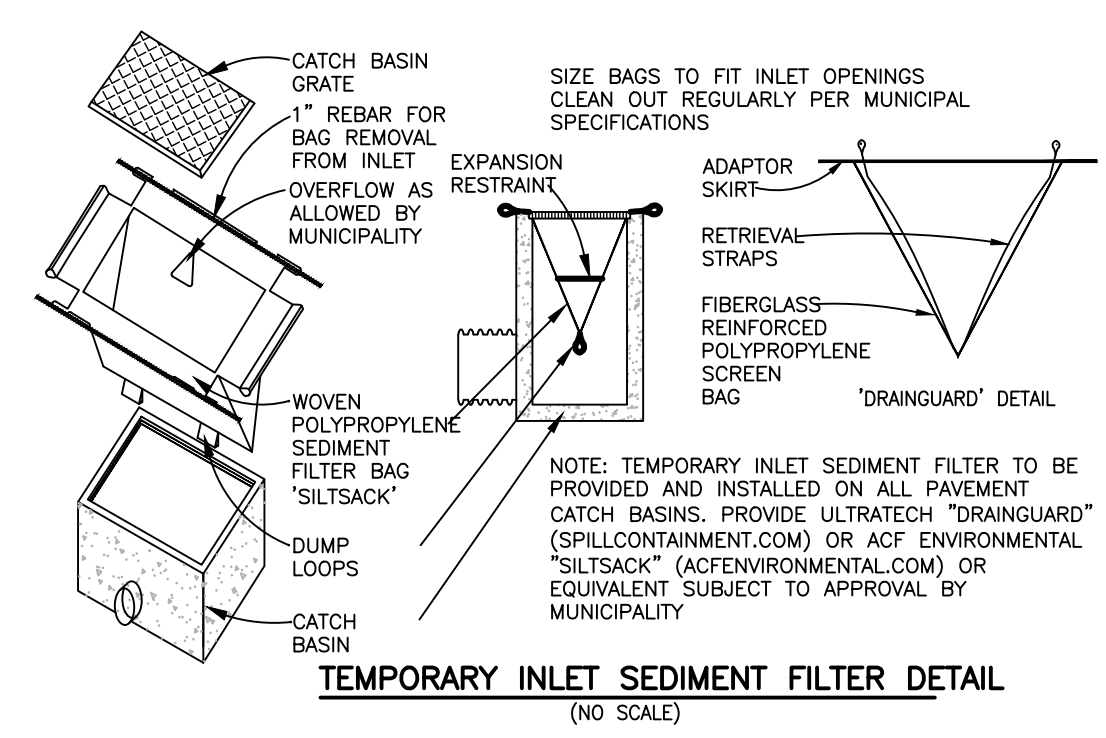
ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X		X
SWEEP PARKING LOT		X	X

**SURFACE WATER & COUNTY DRAINS**  
**WETLAND LAKES** - APPROXIMATELY 2000 FT NORTHEAST TO SCRUB WETLAND  
 - APPROXIMATELY 3000 FT NORTHWEST TO WEST CROOKED LAKE  
**STREAMS** - APPROXIMATELY 1900 FT SOUTHWEST TO MYSTIC LAKE DR  
 - APPROXIMATELY 1300 FT WEST TO 4981 BRIGHTON ROAD  
**BASINS** - APPROXIMATELY 1150 FT EAST TO OAK POINTE HILLS  
**DRAINS** - APPROXIMATELY 170 FT NORTHWEST TO FOUNTAIN  
**PONDS** - APPROXIMATELY 170 FT NORTHWEST TO FOUNTAIN

**CONSTRUCTION SEQUENCE**

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1. INSTALL SILT FENCE AS SHOWN ON PLANS.
2. REMOVAL OF EXISTING PARKING LOT PAVEMENT.
3. INSTALL NEW PARKING LOT ASPHALT.
4. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
5. REMOVE ALL EROSION CONTROL STRUCTURES.
6. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.



**SOIL EROSION CONTROL MEASURES**

40 INLET SEDIMENT FILTER  
 EASY TO SHAKE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED

54 SILT FENCE  
 USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

T = TEMPORARY, P = PERMANENT  
 TOTAL DISTURBED AREA = 0.92 AC.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

**5311 BRIGHTON ROAD FACILITY UPDATES**  
 PREPARED FOR  
 5311 BRIGHTON ROAD, LLC  
 4684 CLIFFORD ROAD  
 BRIGHTON, MI 48116  
 (517) 707-0182

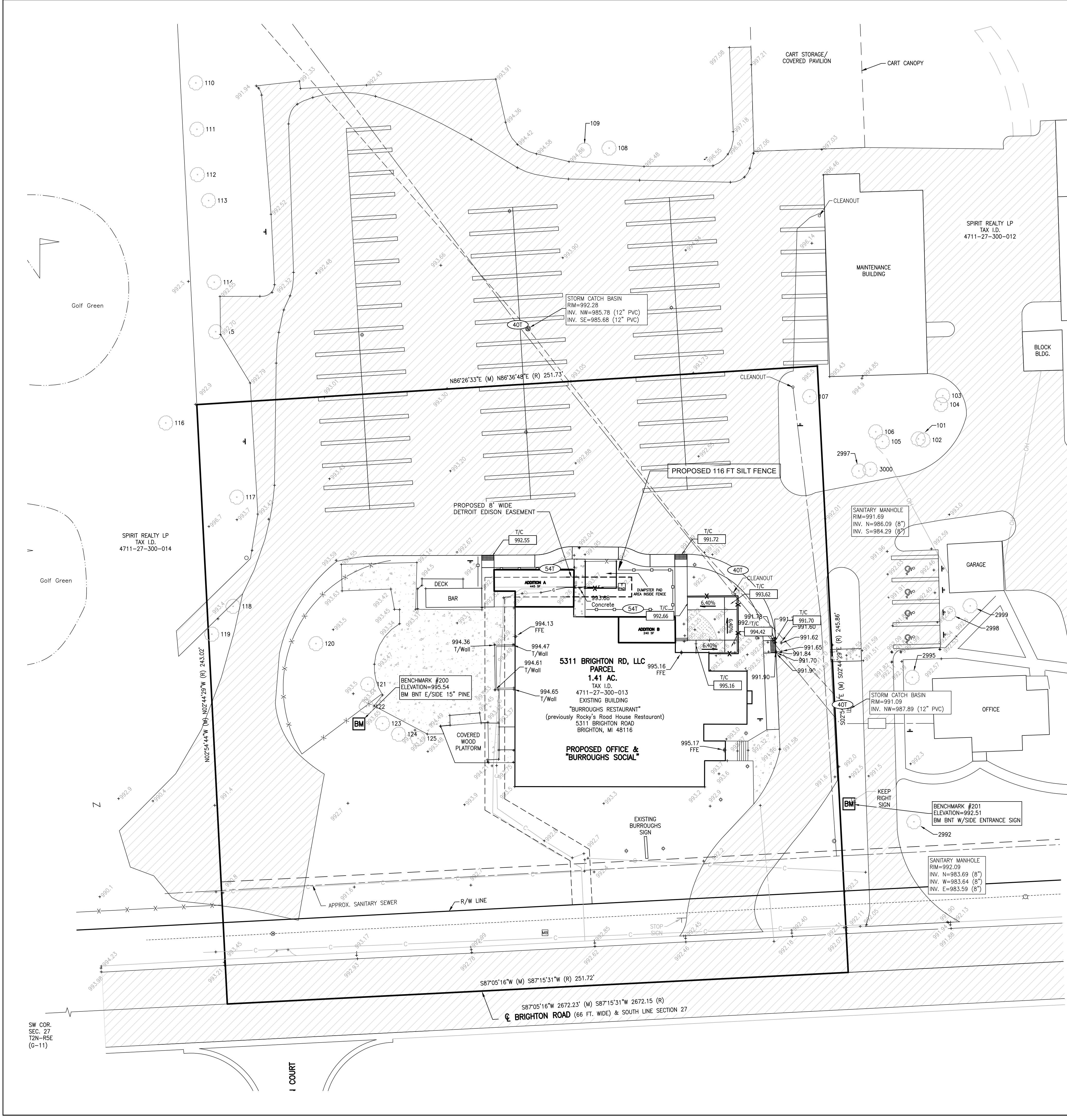
**GRADING, DRAINAGE, & SECC PLAN**

PROJECT	DATE
5311 BRIGHTON ROAD FACILITY UPDATES	08/22/23

TITLE	DATE
GRADING, DRAINAGE, & SECC PLAN	07/31/23

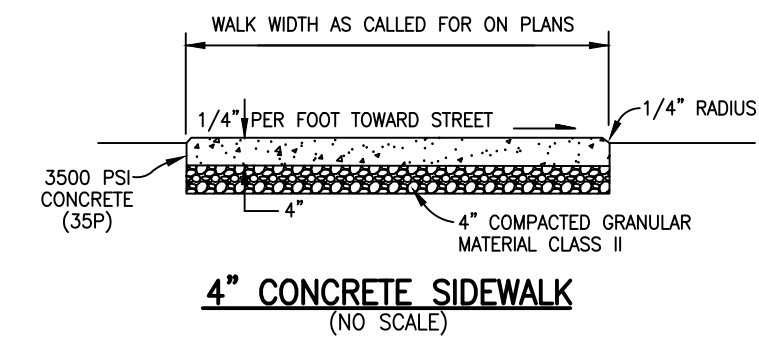
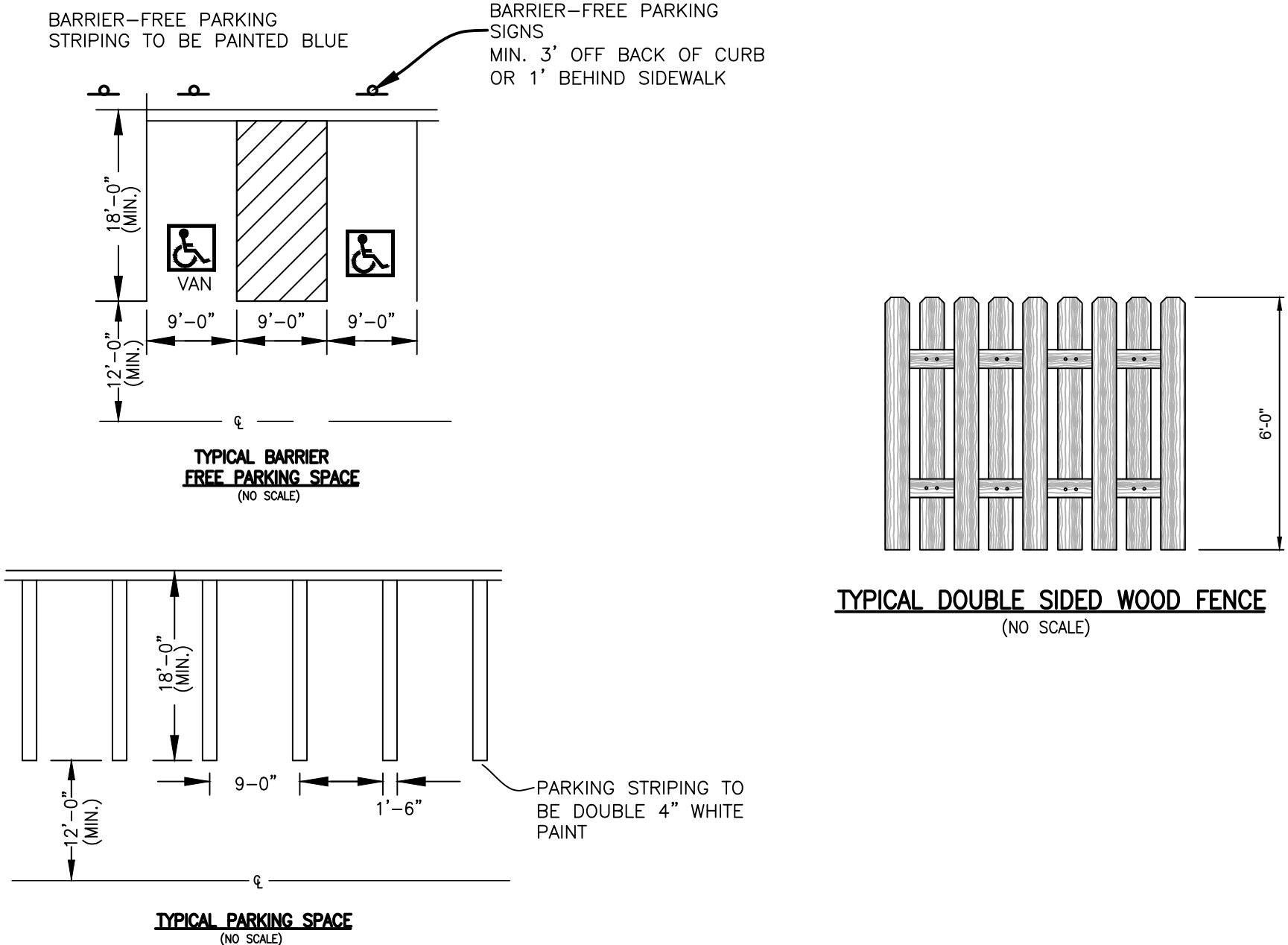
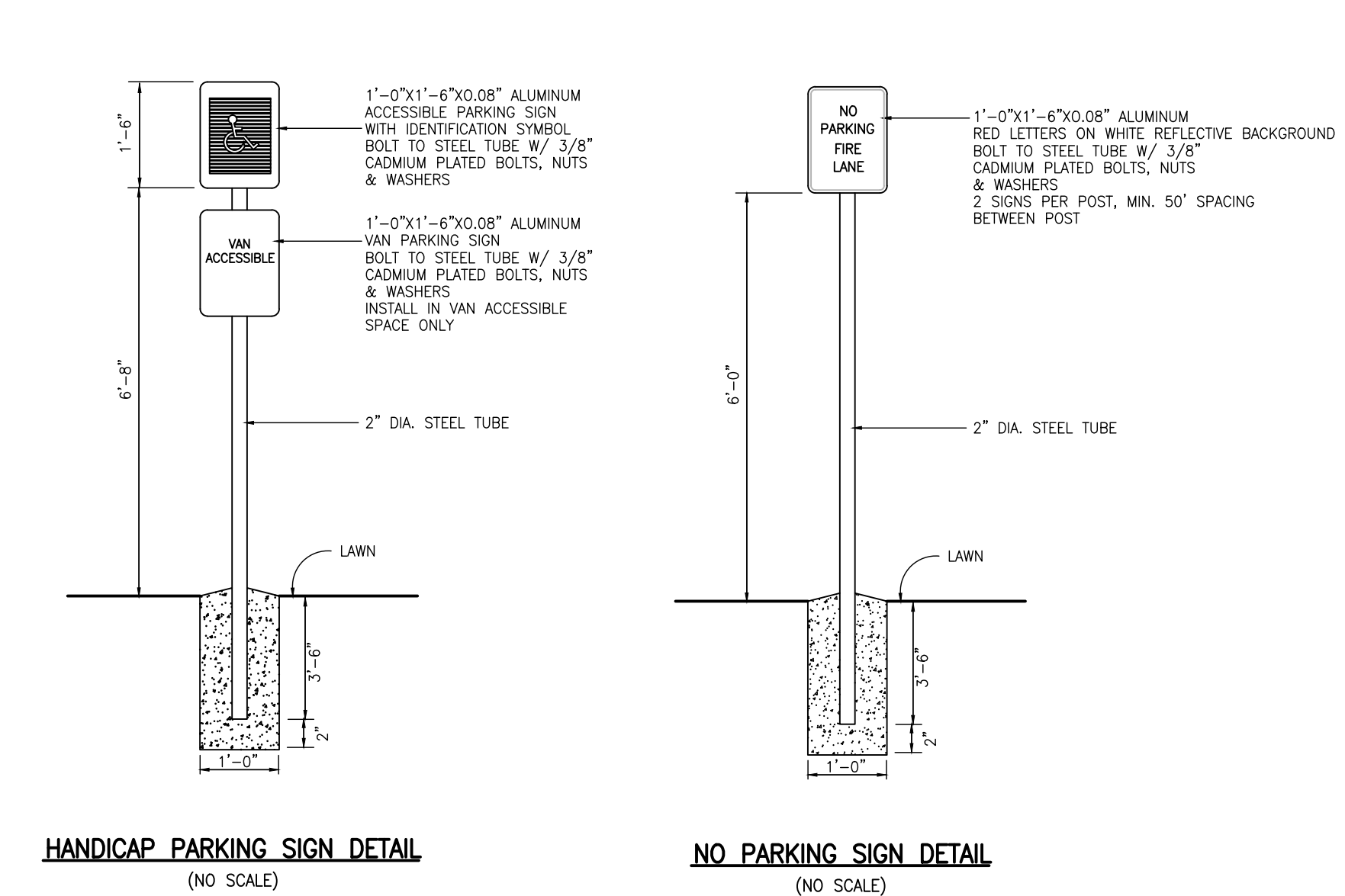
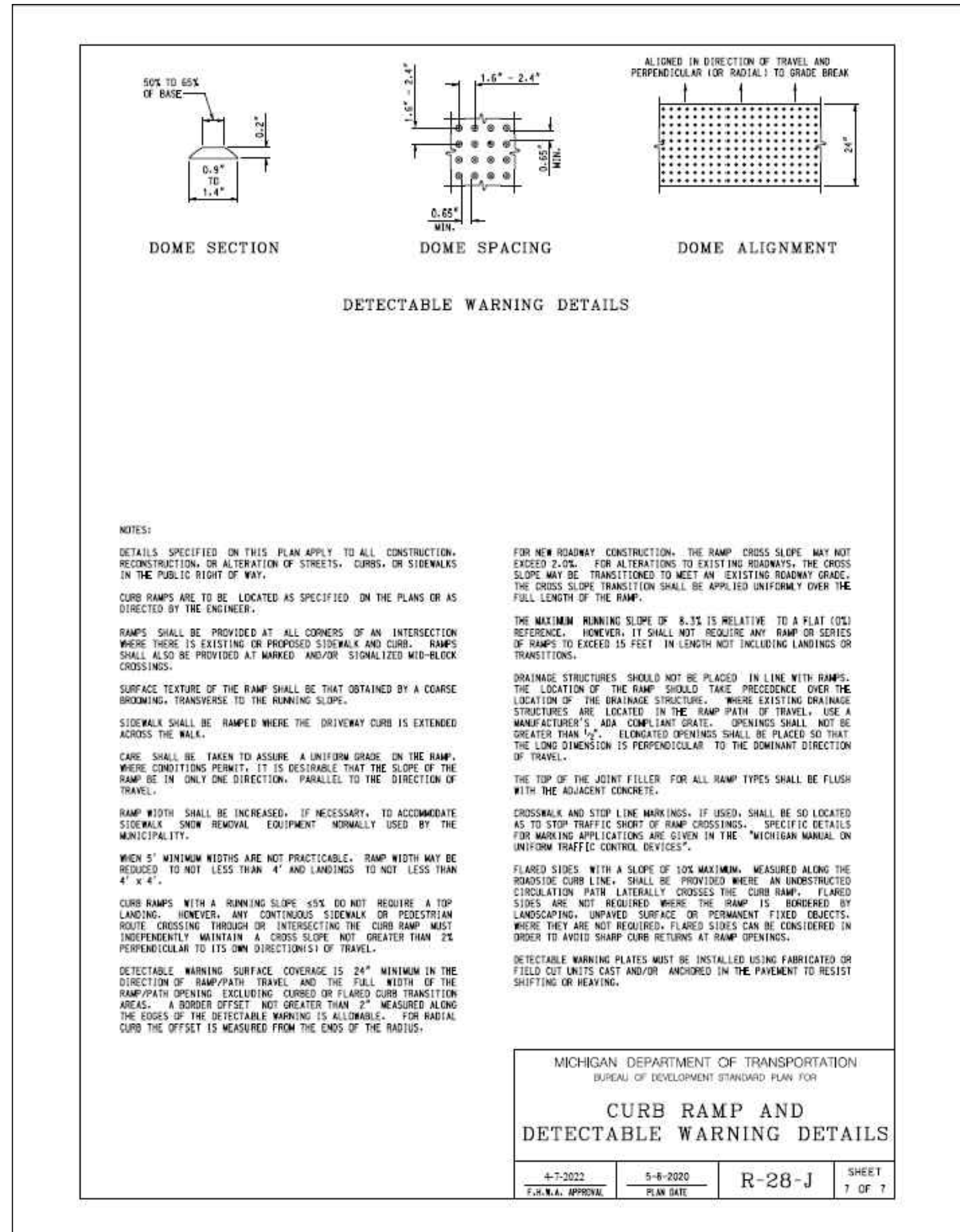
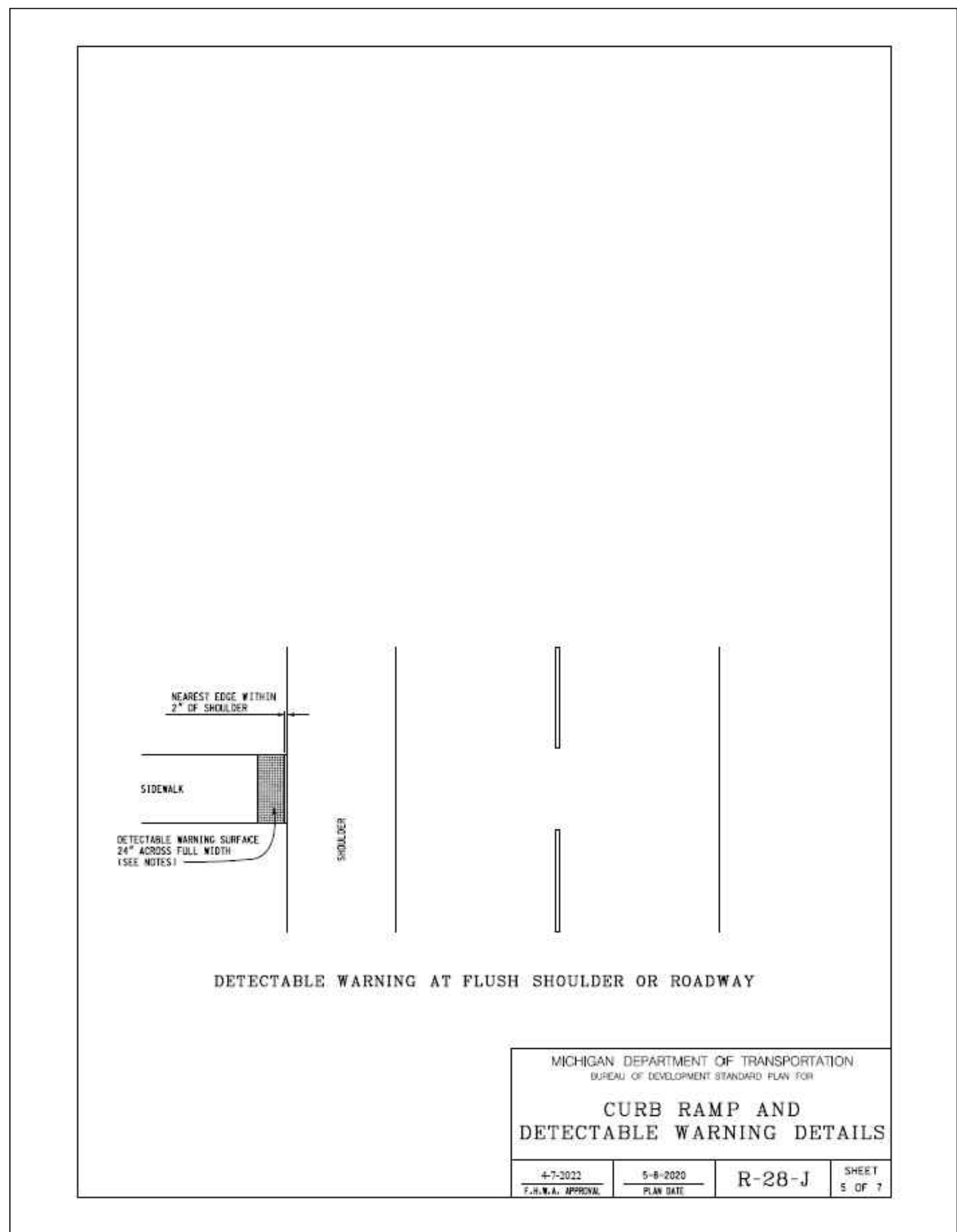
NO	BY	REVISION
1	UP	ZONING VARIANCE PER TOWNSHIP

DESIGNED BY: BL  
 DRAWN BY: JP  
 CHECKED BY:  
 SCALE: 1" = 20'  
 JOB NO: 23-201  
 DATE: 07/31/23  
 SHEET NO. 6





SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION.

BEBOSS ENGINEERING  
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3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843

517.546.4836 FAX 517.548.1670

PROJECT: 5311 BRIGHTON ROAD FACILITY UPDATES  
PREPARED FOR: 5311 BRIGHTON ROAD, LLC  
4684 CLIFFORD ROAD  
BRIGHTON, MI 48116  
(981) 707-0182

TITLE: CONSTRUCTION DETAILS

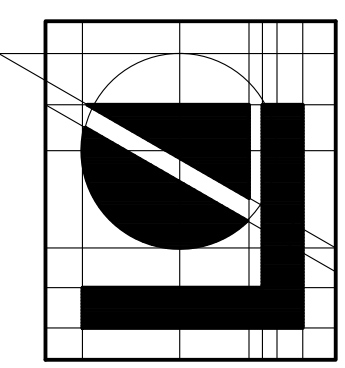
NO.	BY	DATE	REVISION
1	JP	08/22/23	ZONING VARIANCE PER TOWNSHIP
NO	BY		

DESIGNED BY: BL  
DRAWN BY: JP  
CHECKED BY:  
SCALE: NO SCALE  
JOB NO: 23-201  
DATE: 07/31/23  
SHEET NO. 7

**BEBOSS**  
Engineering



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 LINDHOUT ASSOCIATES architects aia pc  
 10465 cinton drive, brighton, michigan, 48116-9510  
 www.lindhout.com fax: (810)227-5855 (810)227-5688



**Lindhout Associates**  
 architects aia pc

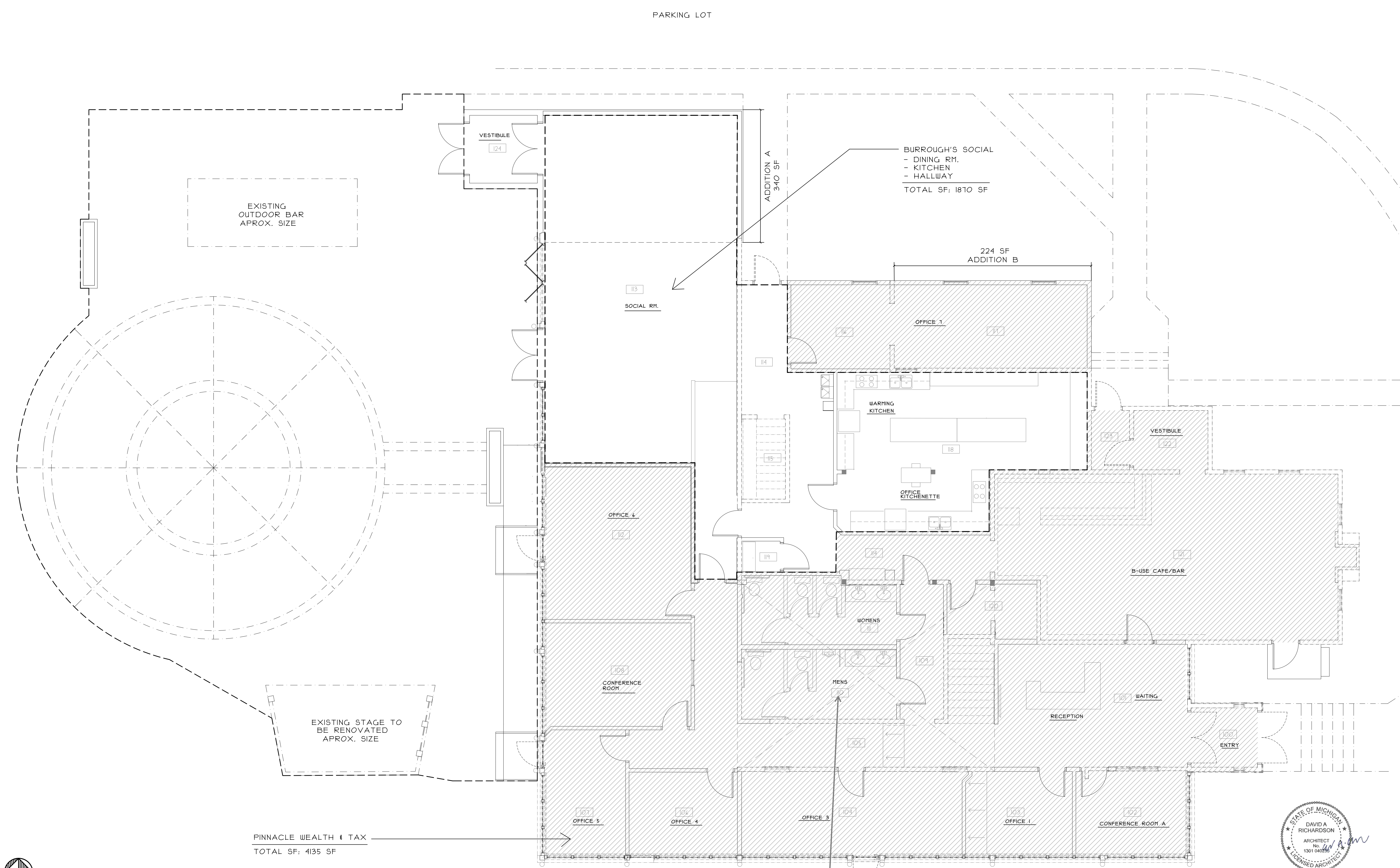
consultant

OWNER'S USE  
 ISSUED FOR

dr: ARP  
 ck d: DAR  
 app d: xxx  
 08-01-23  
 date

NEW OFFICES AND ADDITION FOR:  
**PINNACLE WEALTH MANAGEMENT**  
 BRIGHTON, MICHIGAN  
**FLOOR PLAN**

**A1.1**  
 21114



**LINE LEGEND**

- NEW CONSTRUCTION
- - - EXISTING TO REMAIN
- ..... HIDDEN WORK
- ..... EXISTING TO BE REMOVED



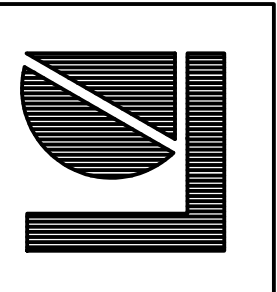
5311 BRIGHTON ROAD

EXISTING AREA	5,440 SF
ADDITION A AREA	340 SF
ADDITION B AREA	225 SF
NEW TOTAL AREA	6,005 SF

SHEET INDEX  
 (CIVIL PACKET BY BOSS ENGINEERING)  
 A1.1 FLOOR PLAN  
 A3.1 FLOOR PLAN  
 A3.1 ELEVATIONS  
 L-1 LANDSCAPE PLAN  
 MOD.3D VIEWS AND NOTES

SCALE: 3/16" = 1'-0"

1 FLOOR PLAN



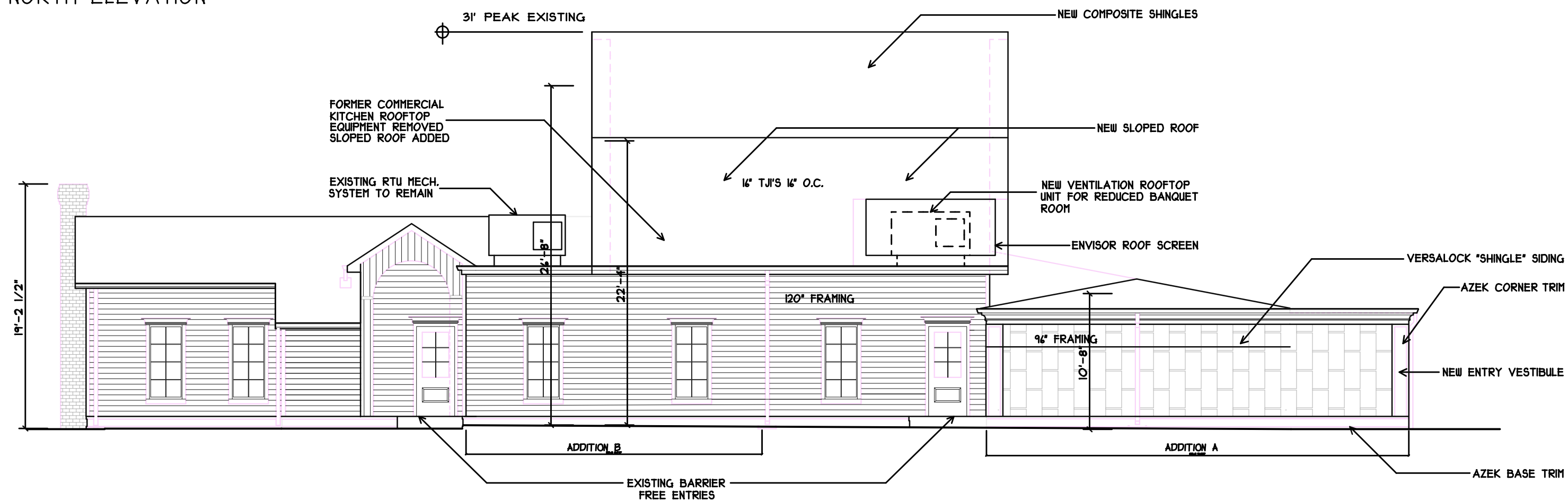
**Lindhout Associates architects aia pc**  
 39201 seven mile road, livonia, michigan 48152-094 (313) 462-0700  
 10315 e. grand river, suite 300, brighton, michigan 48116-9510 (810) 227-5668

NEW OFFICES AND RENOVATION FOR:  
**PINNACLE WEALTH MANAGEMENT**  
 BIRMGTON, MI  
**EXTERIOR ELEVATIONS**

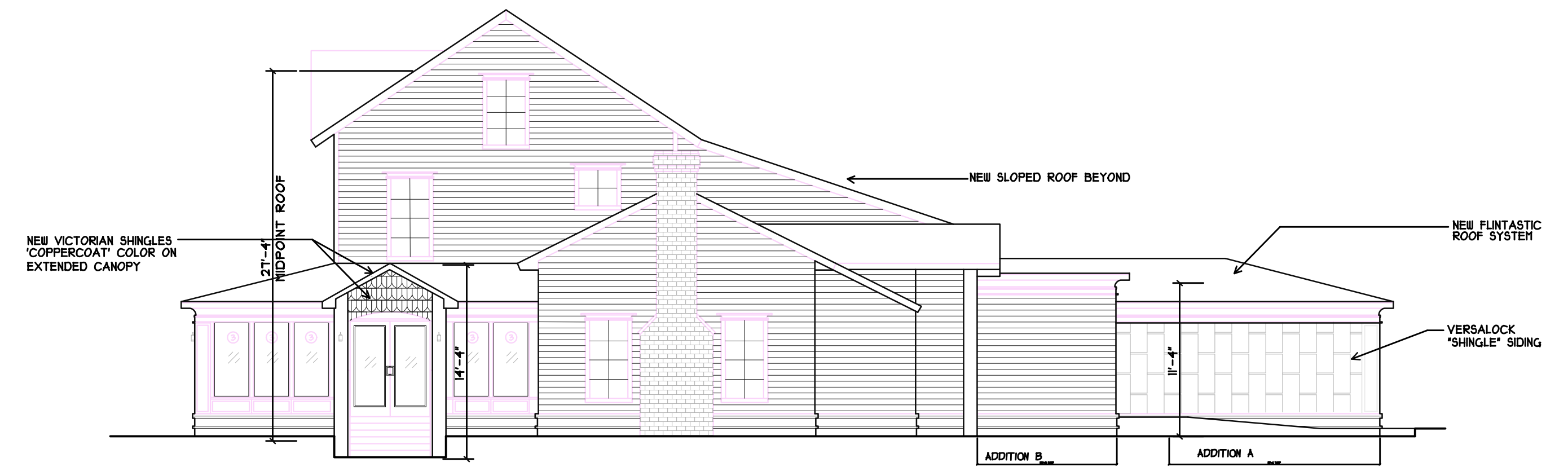
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 ck/ dr DAR  
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 05-14-22  
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 PLOTTING  
 issued for

sheet no.  
**A3.1**  
 21114

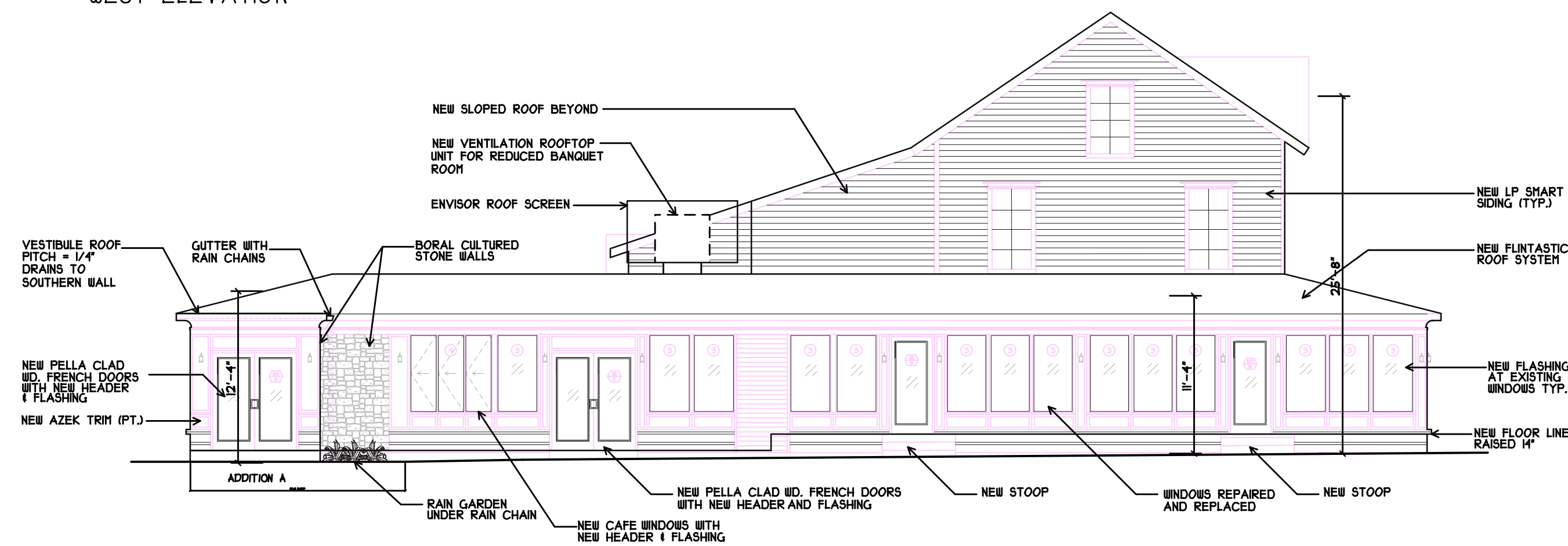
NORTH ELEVATION



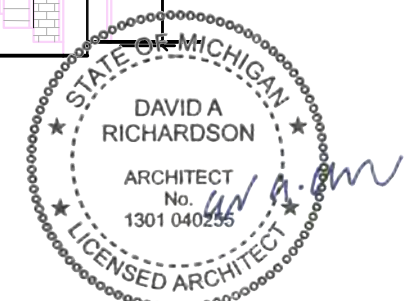
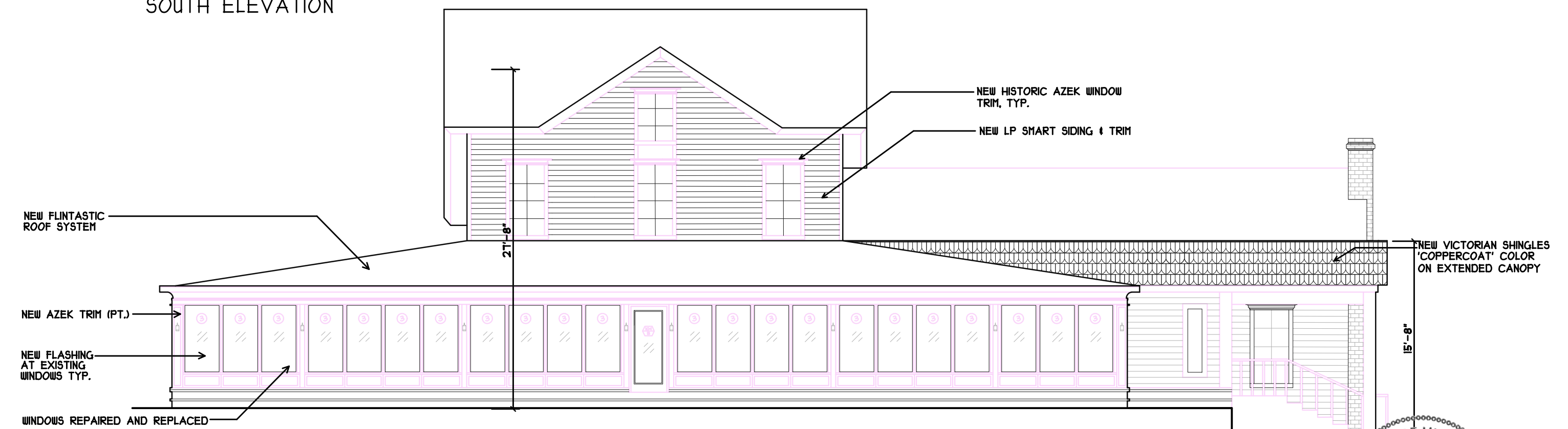
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



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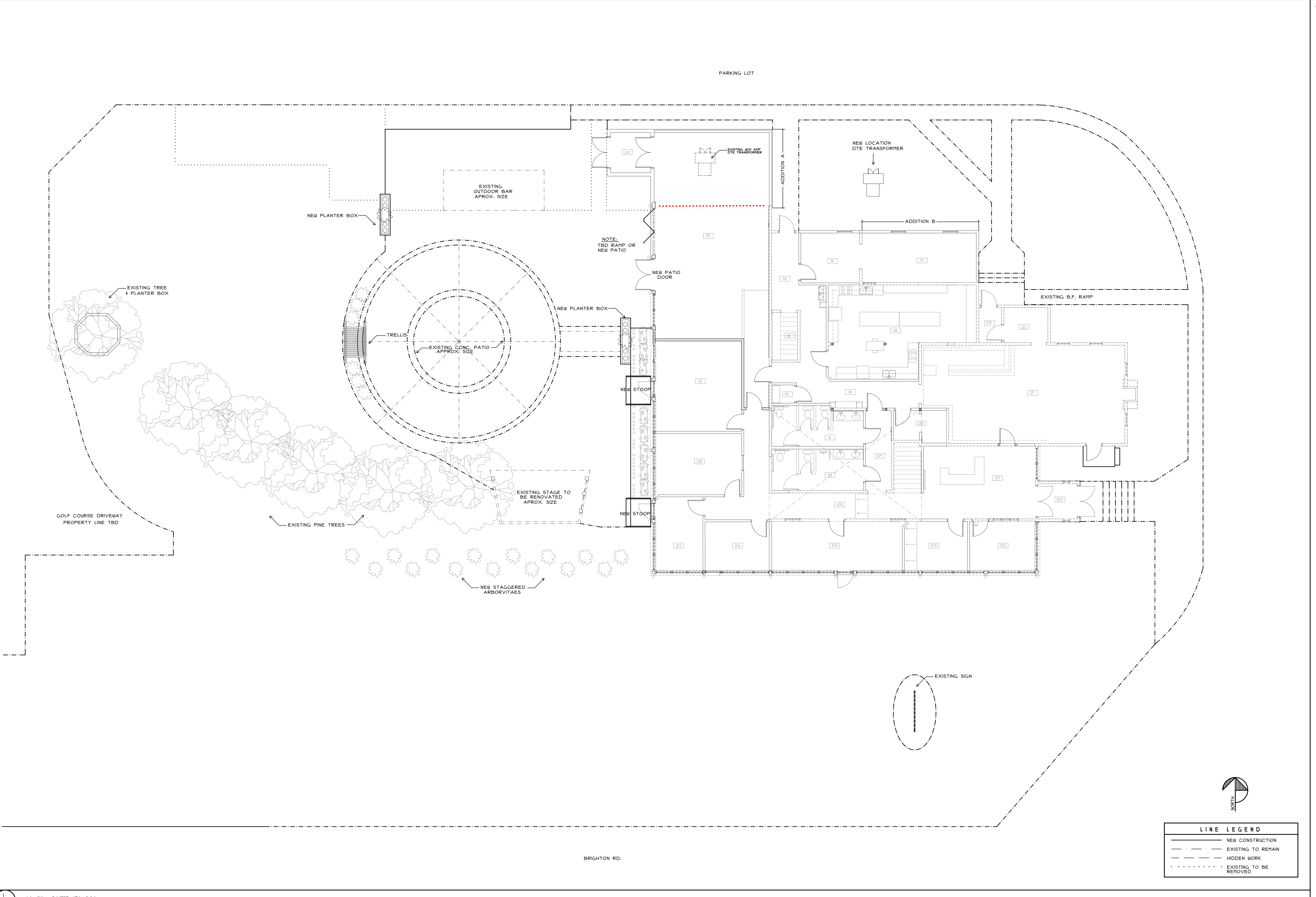
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 A3.1

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

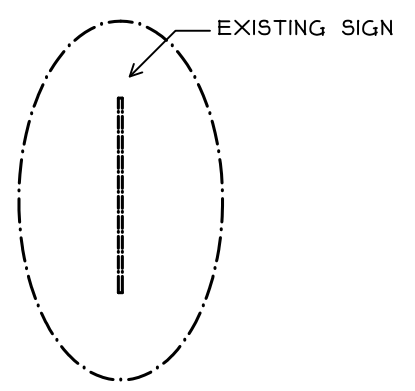
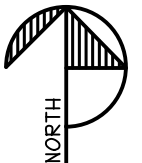


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 DATE PLOTTED: 4/28/2023  
 PLOTTED BY: mtern  
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**LINE LEGEND**

—	NEW CONSTRUCTION
- - -	EXISTING TO REMAIN
---	HIDDEN WORK
.....	EXISTING TO BE REMOVED

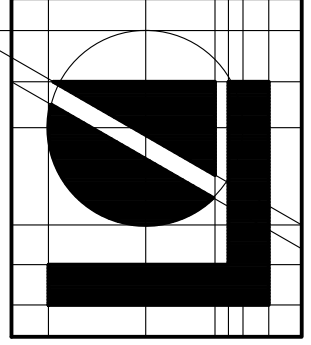


BRIGHTON RD.

PARKING LOT

1  
CX1 CIVIL SITE PLAN

SCALE: 3/16" = 1'-0"



**Lindhout Associates**  
 architects aia pc  
 10465 cation drive brighton, michigan 48116-9510  
 www.lindhout.com fax: (810)227-5855 (810)227-5688

consultant

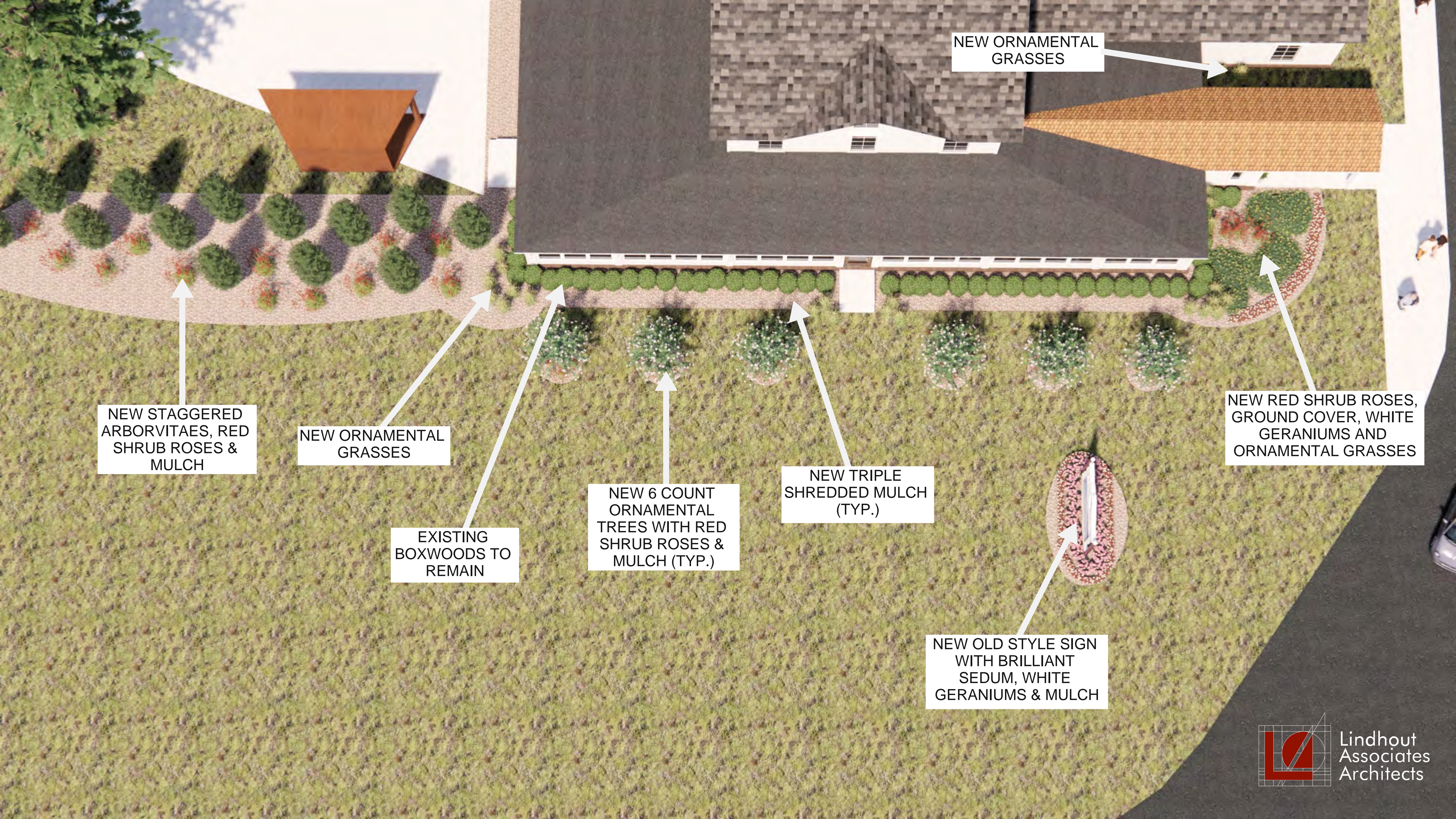
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dr: ARP  
 ck d: DAR  
 app d: xxx  
 4-28-23  
 date

NEW OFFICES AND RENOVATION FOR:  
**PINNACLE WEALTH MANAGEMENT**  
 BRIGHTON, MICHIGAN  
 CIVIL SITE PLAN

CX1  
 21114





NEW ORNAMENTAL GRASSES

NEW STAGGERED ARBORVITAE, RED SHRUB ROSES & MULCH

NEW ORNAMENTAL GRASSES

EXISTING BOXWOODS TO REMAIN

NEW 6 COUNT ORNAMENTAL TREES WITH RED SHRUB ROSES & MULCH (TYP.)

NEW TRIPLE SHREDDED MULCH (TYP.)

NEW RED SHRUB ROSES, GROUND COVER, WHITE GERANIUMS AND ORNAMENTAL GRASSES

NEW OLD STYLE SIGN WITH BRILLIANT SEDUM, WHITE GERANIUMS & MULCH





  
PINNACLE  
FINANCIAL  
BURROUGHS





  
PINNACLE  
FINANCIAL  
BURROUGH'S SOCIAL






**P**  
**PINNACLE**  
**FINANCIAL**  
**BURROUGH'S SOCIAL**





**P**  
PINNACLE  
FINANCIAL  
BURROUGH'S SOCIAL



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
MYERS MICHAEL E	5311 BRIGHTON ROAD LLC	360,000	09/09/2021	LC	29-SELLERS INTEREST IN A	2021R-037643	BUYER/SELLER	100.0			
FIFTH THIRD BANK	MYERS MICHAEL E	170,000	05/29/2013	WD	10-FORECLOSURE	2013R-024051	BUYER/SELLER	100.0			
FRANK SAMPLE REALTY, LLC	FIFTH THIRD BANK	0	12/22/2012	WD	10-FORECLOSURE	2013R-000693	BUYER/SELLER	0.0			
KA-ROCK ASSOC.	FRANK SAMPLE REALTY, LLC	600,000	09/23/2004	WD	03-ARM'S LENGTH	4611/0528	BUYER/SELLER	100.0			
Property Address		Class: COMMERCIAL-IMPROVE		Zoning: MUPUD		Building Permit(s)		Date	Number	Status	
5311 BRIGHTON RD		School: BRIGHTON AREA SCHOOLS		TENT		06/11/2015		W15-100	NO START		
Owner's Name/Address		P.R.E. 0%		TENANT BUILD-OUT		06/04/2015		W15-088	NO START		
5311 BRIGHTON ROAD LLC 4684 CLIFFORD RD BRIGHTON MI 48116		MAP #: V23-28		SIGN		07/30/2013		S13-103	NO START		
		2024 Est TCV Tentative		SIGN		03/02/2010		10-017	NO START		
Tax Description		X Improved		Vacant		Land Value Estimates for Land Table 2004.RURAL ACERAGE					
SEC 27 T2N R5E COMM S 1/4 COR SEC TH S87*W 935.84 FT TO POB TH S87*W 251.72 FT TH N02*W 243.02 FT TH N86*E 251.73 FT TH S02*E 245.86 FT TO POB CONT 1.41 AC M/L SPLIT 5/92 FR 003		Public Improvements		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.		* Factors * Description Frontage Depth Front Depth Rate %Adj. Reason Value RURAL ACERAGE 1.42 Acres 26,713 100 LOCATION 37,932 Total Est. Land Value = 37,932  Land Improvement Cost Estimates Description Rate Size % Good Arch Mult Cash Value Commercial Local Cost Land Improvements PAVING LC 1.50 56000 32 100 26,880 WELL/WATER 4,475.00 1 50 100 2,237 SEPTIC/SEWER 4,400.00 1 50 100 2,200 Total Estimated Land Improvements True Cash Value = 31,317					
Comments/Influences		Topography of Site		Level Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain							
		Year		Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
		Who		When	What	2024	Tentative	Tentative	Tentative		Tentative
						2023	19,000	221,200	240,200		222,915C
						2022	19,000	193,300	212,300		212,300S
						2021	19,000	190,000	209,000		202,090C

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

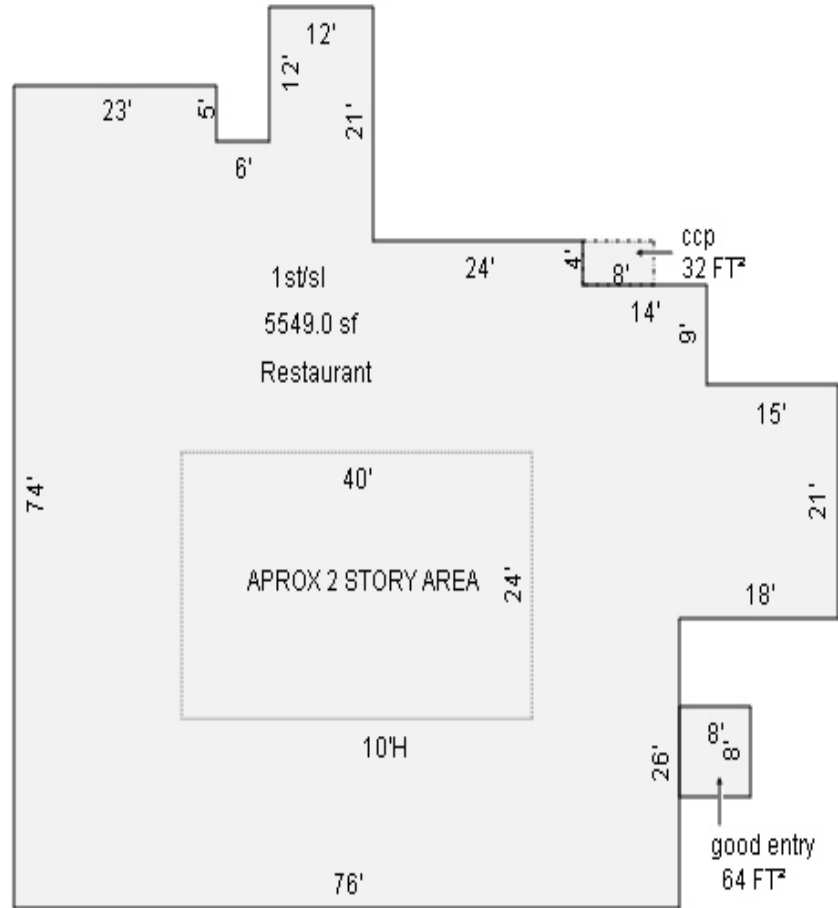
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Licensed To: Township of Genoa, County of Livingston, Michigan



Desc. of Bldg/Section: Calculator Occupancy: Restaurants				<<<<< Calculator Cost Computations >>>>>					
Class: D				Class: D    Quality: Average		Stories: 1    Story Height: 10    Perimeter: 336			
Construction Cost				Base Rate for Upper Floors = 140.52					
Floor Area: 5,549 Gross Bldg Area: 5,549 Stories Above Grd: 1 Average Sty Hght : 10 Bsmnt Wall Hght		High    Above Ave.    Ave.    X    Low		(10) Heating system: Complete H.V.A.C.    Cost/SqFt: 27.35    100% Adjusted Square Foot Cost for Upper Floors = 167.87					
Depr. Table : 1.5% Effective Age : 44 Physical %Good: 51 Func. %Good : 100 Economic %Good: 100				** ** Calculator Cost Data ** ** Quality: Average Heat#1: Complete H.V.A.C.    100% Heat#2: Complete H.V.A.C.    0% Ave. SqFt/Story: 5549 Ave. Perimeter: 336 Has Elevators:		Total Floor Area: 5,549    Base Cost New of Upper Floors = 931,510 Reproduction/Replacement Cost = 931,510 Eff.Age:44    Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 51 /100/100/100/51.0 Total Depreciated Cost = 475,070			
Year Built Remodeled				Area: Perimeter: Type:		Local Cost Items    Rate    Quantity/Area    %Good    Depr.Cost AVE CANOPY    31.50    32    90    907 GOOD CANOPY    50.05    64    90    2,883			
Overall Bldg Height				Heat: Hot Water, Radiant Floor		ECF (2013 RESTAURANTS)    0.900 => TCV of Bldg: 1 = 430,974 Replacement Cost/Floor Area= 168.55    Est. TCV/Floor Area= 77.67			
Comments: THIS BUILDING IS VERY OLD AND IN NEED OF MAJOR REPAIRS.				*** Basement Info *** Area: Type:		* Mezzanine Info * Area #1: Type #1: Area #2: Type #2:			
*** Sprinkler Info * Area: Type: Average									
(1) Excavation/Site Prep:			(7) Interior:			(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:			(8) Plumbing:			Outlets:		Fixtures:	
X Poured Conc.    Brick/Stone    Block			Many Above Ave.    Average Typical    Few None			Few Average Unfinished Typical		Few Average Unfinished Typical	
(3) Frame:			Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets			Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners		Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	
(4) Floor Structure:			(9) Sprinklers:			Incandescent Fluorescent Mercury Sodium Vapor Transformer		(40) Exterior Wall:	
(5) Floor Cover:			(10) Heating and Cooling:			Thickness    Bsmnt Insul.		(13) Roof Structure:    Slope=0	
(6) Ceiling:			Gas Oil    Coal Stoker    Hand Fired Boiler			(14) Roof Cover:			

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





Sketch by Apex Medina™

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-29 Meeting Date: September 19, 2023  
6:30 pm

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Matt DeLapp / Faulkwood Shores Singh LLC Email: Matt.DeLapp@singhmail.com

Property Address: 300 S Hughes Rd Phone: (248) 986-6875

Present Zoning: PRF Tax Code: # 4711-04-200-018

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: See attached letter

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Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

**See attached letter**

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Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

**See attached letter**

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Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**See attached letter**

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Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**See attached letter**

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**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 8/22/2023 Signature: 

## I. Variance requested/intended property modifications

Applicant is requesting a front setback variance for the reconstruction of the Faulkwood Shores Golf Course Clubhouse at 300 S Hughes Rd, Howell, MI 48843.

**Ordinance Reference:** 6.02.02 (d) Golf courses, Par Three Golf Courses

- 1) The principal and accessory buildings, including maintenance sheds, shall be set back at least seventy five (75) feet from all property and street lines.

**Required Front Setback:** 75'

**Proposed Front Setback:** 34.37' (Measured from the ROW to the Porch)

**Variance Request:** 40.63'

The PRF districts establish a minimum front yard setback as outlined in section 6.03.04, which specifies that the minimum front yard setback must match that of the most restrictive adjacent zoning district. Accordingly, the mandated setback in this case would be 50 feet. It's important to note that while the applicant acknowledges that this requirement is overridden by the use condition detailed in section 6.02.02 (d), they wish to mention it for the purpose of the review.

## II. Practical Difficulty/Substantial Justice. *Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.*

The proposed clubhouse cannot be built in strict compliance with the 75' front setback standard without creating unnecessary hardship for the applicant.

The original clubhouse was a nonconforming structure that was severely damaged by a fire in July of 2022. It was originally a farmhouse estimated to have been built in the late 1800s or early 1900s and then converted to a clubhouse in 1969 when the golf course first opened. It is the intention of the applicant to reconstruct a new clubhouse in the same relative location, thereby maintaining the character of the area.

Given that the golf course and its adjacent amenities were constructed in alignment with the original clubhouse, strict compliance with the 75' front setback requirement would create undue challenges that would impact the parking lot, cart paths, and putting green. This hardship can be remedied with a front setback dimensional variance.

Reducing the size of the proposed clubhouse is not an option as it has been designed to meet the minimum size and operational requirements of the golf course and includes essential amenities such as a Kitchen, Bar, Seating Area, Bathrooms, Pro-Shop, and Employee Office.

The proposed clubhouse maintains a comparable square footage and height as the original structure. The main difference is its increased footprint, achieved by adopting a single-story design to ensure ADA compliance. Reconstructing the clubhouse on the previous foundation is not feasible due to the impractical layout of the former farmhouse and its subsequent additions.



Singh Development, LLC  
7125 Orchard Lake Road Suite 200  
West Bloomfield, MI 48325-3005

Telephone: (248) 865-1600  
Fax: (248) 865-1630  
Web: [www.SinghWeb.com](http://www.SinghWeb.com)

- III. **Extraordinary Circumstances.** *There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.*

The need for this variance is not self-created by the applicant as the original clubhouse was unfortunately destroyed in a fire in July of 2022. It is the intention of the applicant to build a new clubhouse in roughly the same location as the original in an effort to maintain the character of the area.

There is an existing nonconforming storage and maintenance building directly to the north of the clubhouse which has a front set back consistent with the original clubhouse, approximately 75' measured from the road. This presents an extraordinary circumstance because strict compliance with the ordinance would juxtapose this building with the new clubhouse resulting in an aesthetically undesirable design.

- IV. **Public Safety and Welfare.** *The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.*

The intention behind seeking this variance is not to introduce extra amenities to the golf course, but rather to reinstate what was present before the fire. Consequently, granting approval will not impede the availability of light and air to adjacent properties, nor will it overly burden street congestion. There will be a reduced fire risk compared to the original structure, and no heightened threat to public safety, comfort, morals, or the overall well-being of Genoa Township's residents.

- V. **Impact on Surrounding Neighborhood.** *The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.*

Granting the front setback variance for the reconstruction of the clubhouse holds several key points that demonstrate how it will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood:

**Restoration of Existing Facility:** The variance aims to rebuild the clubhouse that was previously a part of the community. By restoring this facility, it maintains the intended purpose of the property and contributes positively to the neighborhood's character.

**Historical Setback Precedent:** The original clubhouse was nonconforming to the ordinance, indicating that historical precedent already exists for structures in the vicinity not adhering strictly to the setback rules. Granting the variance would merely continue this historical practice without introducing a new or out-of-place element.

**Similar Setback Patterns:** Aerial photos suggest that neighboring properties also share a comparable distance from the road in terms of setbacks. The variance aligns with this established pattern, thereby ensuring visual consistency and harmony within the neighborhood.

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**Minimal Impact on Neighbors:** Given that neighboring properties exhibit a similar setback distance, the variance will not lead to any undue overshadowing, encroachment, or loss of privacy for nearby properties. This ensures that the quality of life and comfort of neighboring residents will not be negatively impacted.

**Continued Property Functionality:** The reconstructed clubhouse will continue to serve its original purpose as a community gathering space or recreational facility. This not only upholds the intended function of the property but can also contribute positively to property values and the overall neighborhood ambiance.

**Preservation of Property Values:** The variance seeks to rebuild an integral community asset, which in turn can enhance the attractiveness of the neighborhood to potential buyers and residents. This could have a positive impact on property values rather than discouraging appropriate development or use.

**Economic and Social Benefits:** A functional clubhouse can promote social interactions, community events, and recreational activities. These benefits can foster a sense of community and contribute positively to the overall well-being of residents, further underlining the value of the variance.

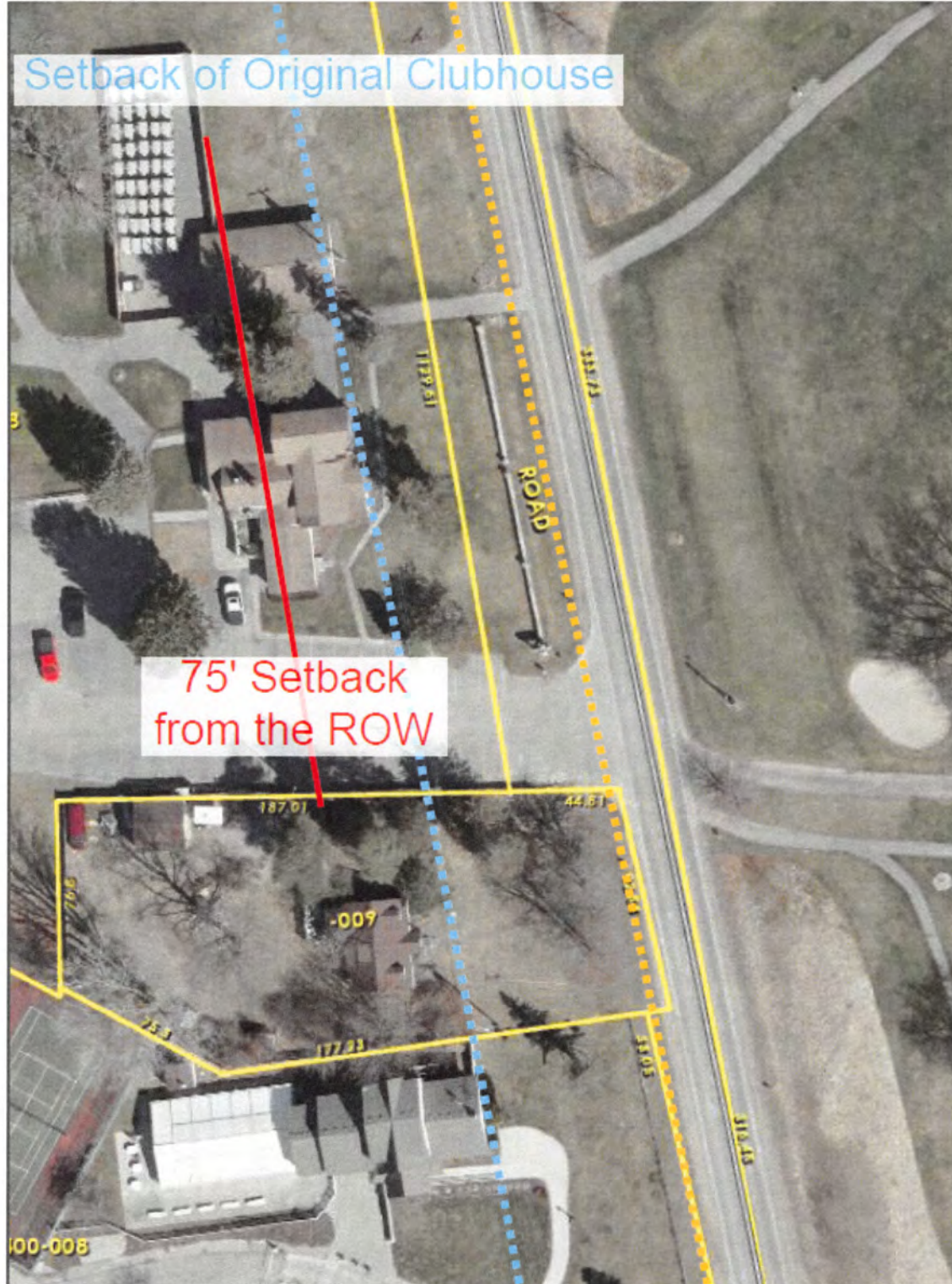
In conclusion, considering the historical context, established setback patterns, minimal disruption to neighbors, and the positive impact on property values and community engagement, granting the front setback variance aligns with the continued development, use, and value of adjacent properties and the surrounding neighborhood without causing interference or discouragement.



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**Figure 1 - Aerial View of the Old Clubhouse and Adjacent Properties with Approximate Setback Locations**

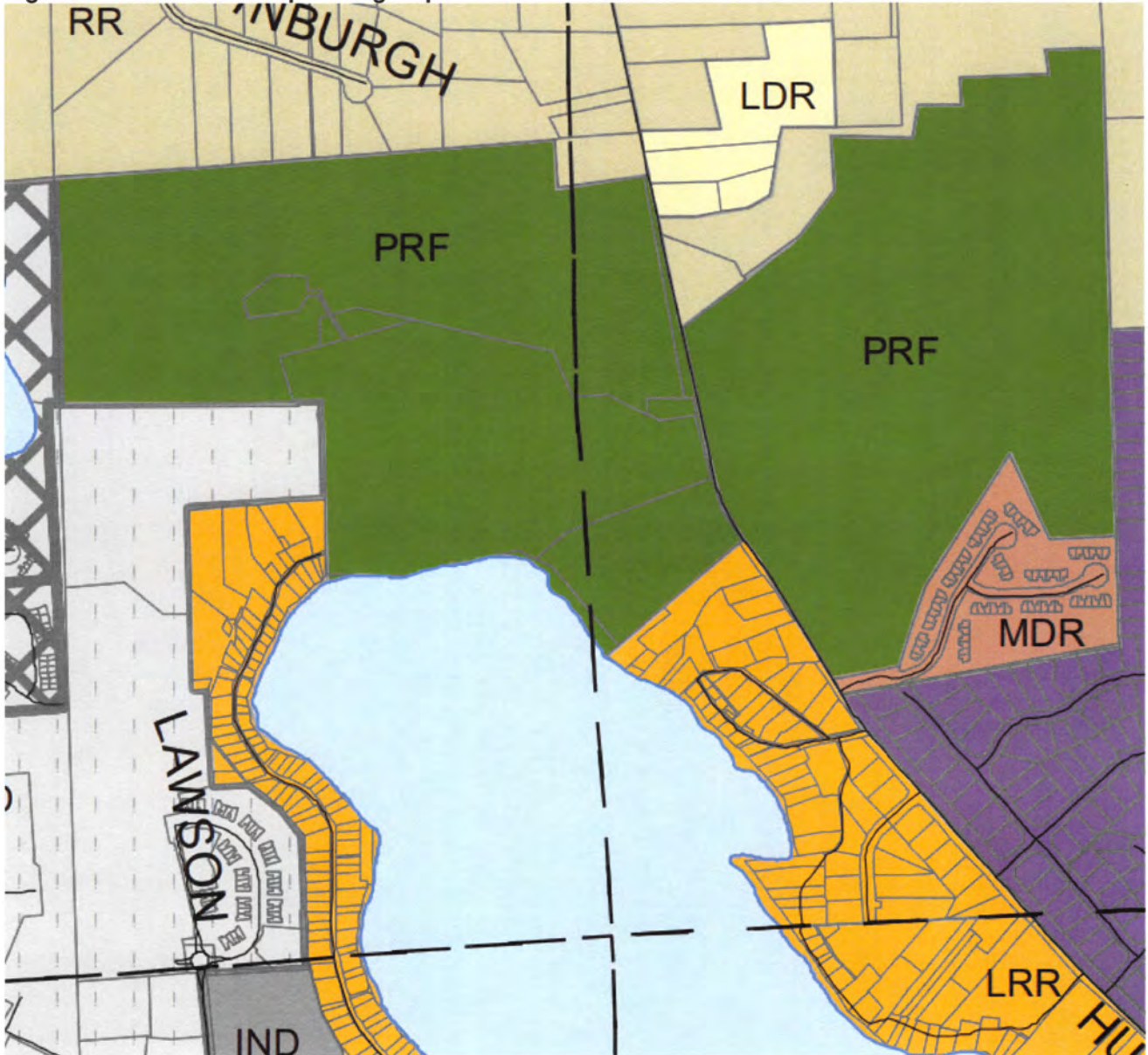




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**Figure 2 - Genoa Township Zoning Map**





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**Figure 3 - Street View of Old Clubhouse and Storage/Maintenance Building, April 2023**





September 13, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	Faulkwood Shore Clubhouse – Dimensional Variance Review
<b>Location:</b>	300 S. Hughes Road – west side of S. Hughes Road, north of Arrow Drive
<b>Zoning:</b>	PRF Public and Recreational Facilities District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variance for construction of a new clubhouse associated with Faulkwood Shores Golf Club (310 S. Hughes Road).

The original clubhouse building, which was well over 100 years old, was nonconforming due to its deficient front yard setback. In 2022, the original clubhouse building was destroyed by a fire.

The project will place the new building in the same location as the original clubhouse building.

The only variance noted on the submittal is for encroachment into the front yard setback; however, it is important to note that a site plan review has not yet been conducted. Though not expected, if the need for additional variances arises as part of the site plan review by Planning Commission, the applicant will need to return to ZBA.

In summary, the project requires 1 dimensional variance from Section 6.02.02(d), as follows:

- A street front yard setback of 34.37’ (where a minimum of 75’ is required).

**SUMMARY**

1. *Practical Difficulty/Substantial Justice:* A new clubhouse building cannot be built without significant alteration to the layout of the remainder of the existing course and buildings without some amount of variance. Given this condition, the placement of other buildings in the immediate area (including on-site), and the fact that the original clubhouse building was in the same location, the Board may view strict compliance as unnecessarily burdensome to the applicant. The single variance sought is the minimum necessary to grant relief, which is consistent with substantial justice.
2. *Extraordinary Circumstances:* The overall property layout creates difficulty for construction of a new clubhouse building without significant alteration to the course or other existing buildings.
3. *Public Safety and Welfare:* Given the nature of the project and the variance sought, we do not anticipate adverse impacts upon public safety and welfare.
4. *Impact on Surrounding Neighborhood:* Given existing and past conditions in this area, we do not anticipate adverse impacts upon the surrounding neighborhood.
5. *Additional Considerations:* If the Board considers favorable action on the variance request, we suggest it be conditioned upon Planning Commission approval of a site plan.





*Aerial view of site and surroundings (looking west)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

1. **Practical Difficulty/Substantial Justice.** Technically speaking, a variance is not necessary for continued use of the property for a permitted purpose (golf course). However, a clubhouse building of some sort is an essential component of a golf course.

In this instance, a new clubhouse building cannot be built without significant alteration to the layout of the remainder of the existing course and buildings without some amount of variance.

Strict compliance would result in a building of approximately half the size proposed.

Given the placement of other buildings in the immediate area (including on-site) and the fact that the original clubhouse building was in the same location, the Board may view strict compliance as unnecessarily burdensome to the applicant.

The single variance sought is the minimum necessary to grant relief. Given this and the conditions noted above, the variance may be viewed as fair to the owner and other owners in the district.

2. **Extraordinary Circumstances.** The overall property layout creates difficulty for construction of a new clubhouse building without significant alteration to the course or other existing buildings.
3. **Public Safety and Welfare.** Given the nature of the project and the variance sought, we do not anticipate adverse impacts upon public safety and welfare.
4. **Impact on Surrounding Neighborhood.** Based on review of aerial photos and the submittal materials, there are other buildings along S. Hughes Road with deficient street front setbacks.

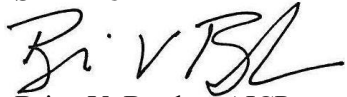
As previously noted, the proposed clubhouse building will be in the same location as the original building (which was more than 100 years old prior to a fire in 2022).

Given existing and past conditions in this area, we do not anticipate adverse impacts upon the surrounding neighborhood.

Genoa Township ZBA  
**Faulkwood Shores Clubhouse**  
Dimensional Variance Review  
Page 3

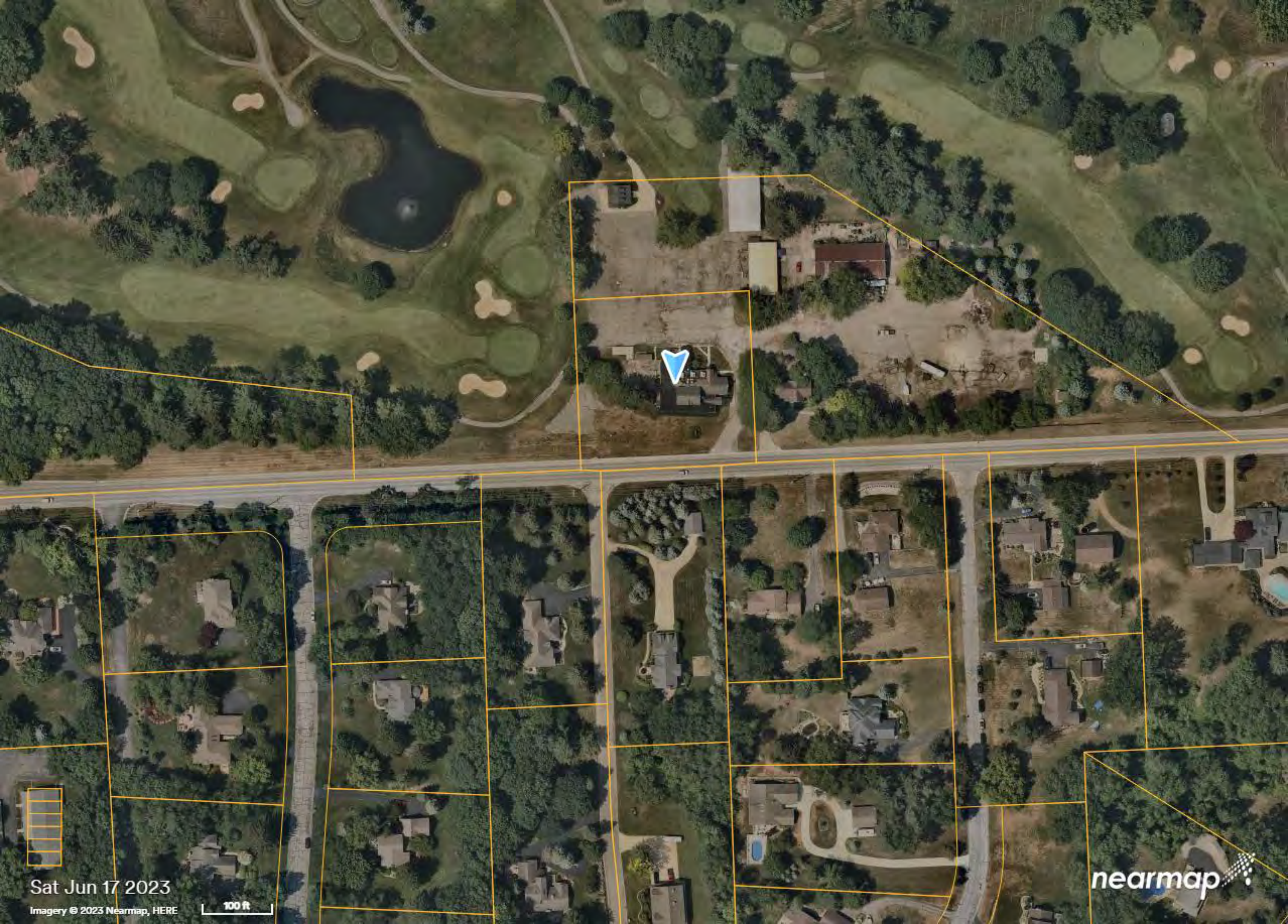
Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letter of each name being capitalized and prominent.

Brian V. Borden, AICP  
Michigan Planning Manager





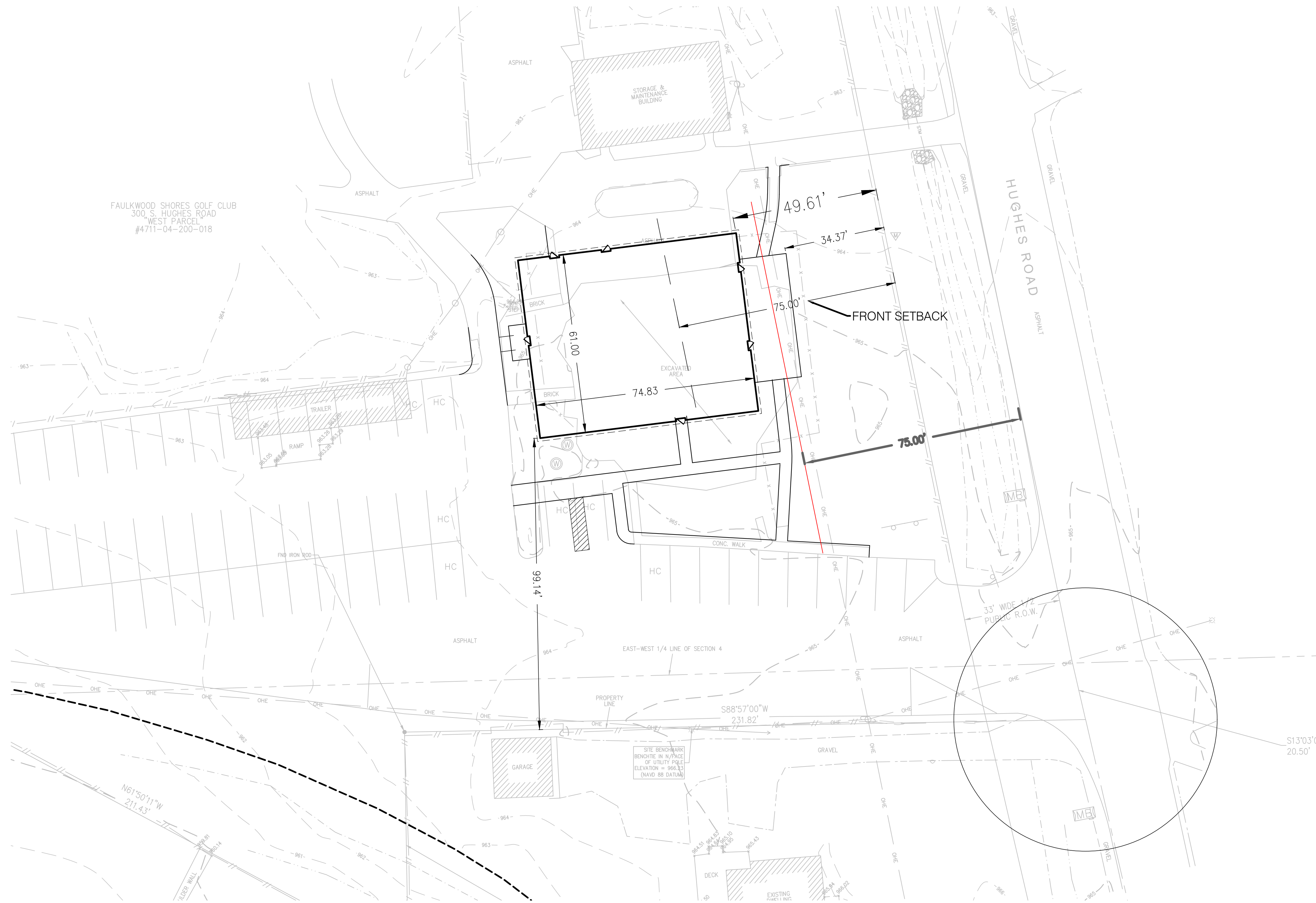
Sat Jun 17 2023

Imagery © 2023 Nearmap, HERE

100 ft

**nearmap**





THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below. Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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The UMLOR Group  
LAND DEVELOPMENT SERVICES

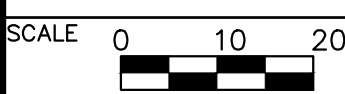
SECTION 3	T. 2 N. R. 5 E.	HOWELL	LIVINGSTON COUNTY, MICHIGAN
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DATE: 8/21/2023

REVISIONS

FAULKWOOD	SINGH	7125 ORCHARD LAKE ROAD, SUITE 200 WEST BLOOMFIELD, MI 48322	FAULKWOOD CLUBHOUSE
-----------	-------	--	---------------------

DR BY: BW  
CK BY: MN



JOB NO. 220915  
SHEET NO.

**DIMENSIONS OF PROPERTY:** CLUBHOUSE IS LOCATED ON PARCEL #4711-04-200--018 APPROX. 74.18 ACRES (REFERENCE ALTA SURVEY PREPARED BY BOSS 12-18-2017)  
**BUILDING ENVELOPE:** SETBACKS TO BUILDING ENVELOPE DEPICTED. ALL OTHER BUILDING ENVELOPE SETBACKS ARE TOO FAR AWAY TO DEPICT  
**ALL ROADS ADJACENT TO PROPERTY:** HUGHES RD. INCLUDED  
**ANY EASEMENTS:** SEE ALTA SURVEY FOR COMPLETE EASEMENT DEPICTION. EASEMENTS ARE SHOWN WITHIN VICINITY OF CLUBHOUSE  
**ANY WETLANDS:** WETLANDS ARE PRESENT ON SITE BUT NONE WITHIN 500' OF THE CLUBHOUSE, THEREFORE, NONE ARE SHOWN  
**SEPTIC TANK / SEWER LINE LOCATION:** FACILITY SERVICED BY ONSITE SEWAGE TREATMENT POND. EXACT LOCATION OF UNDERGROUND SERVICE LINE IS UNDETERMINED  
**WELL / WATER LINE LOCATION:** FACILITY SERVICED BY ONSITE PRIVATE WELL. EXACT LOCATION OF UNDERGROUND SERVICE LINE IS UNDETERMINED  
**DRIVEWAYS, DECKS, PATIOS, ACCESSORY STRUCTURES:** INCLUDED  
**DIMENSIONS FROM BUILDING TO PROPERTY LINES AND ROAD ROW:** INCLUDED  
**DIMENSIONS OF PROPOSED BUILDING:** INCLUDED  
**LOT COVERAGE FOR LAKESHORE RESORT RESIDENTIAL ZONING DISTRICT:** NOT APPLICABLE  
**SETBACKS FOR WATERFRONT PROPERTIES AND ADJACENT HOMES:** NOT APPLICABLE











Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
SINGH PROPERTIES II LLC	FAULKWOOD SHORES SINGH LLC	10	08/03/2018	QC	21-NOT USED/OTHER	2018R-021058	BUYER/SELLER	0.0
BROOKS INC	SINGH PROPERTIES II LLC	900,000	01/11/2018	CD	03-ARM'S LENGTH	2018R-001709	BUYER/SELLER	100.0
FAULKWOOD SHORES GOLF CLUB	BROOKS, INC.	0	02/01/2007	WD	21-NOT USED/OTHER	2007R-016819	BUYER/SELLER	0.0

Property Address	Class: COMMERCIAL-IMPROVE	Zoning: PRF	Building Permit(s)	Date	Number	Status			
300 S HUGHES RD	School: HOWELL PUBLIC SCHOOLS		Demolition	08/19/2022	PW22-109	7 FINAL BL			
	P.R.E. 0%		Other: See Work Descriptio	07/01/2022	PW22-089				
Owner's Name/Address	MAP #: V23-29		Fence	03/10/2022	P22-027				
FAULKWOOD SHORES SINGH LLC 7125 ORCHARD LAKE RD WEST BLOOMFIELD MI 48322-3615	2024 Est TCV Tentative		COMM MISCEL	06/06/2005	P05W-070	NO START			
	X Improved	Vacant	Land Value Estimates for Land Table 2001.GOLF COURSE						
	Public Improvements		* Factors *						
	Dirt Road		Description	Frontage	Depth	Front Depth	Rate %Adj.	Reason	Value
	Gravel Road		GOLF COURSE EXCESS L			74.200 Acres	4,224 100		313,387
	Paved Road					74.20 Total Acres		Total Est. Land Value =	313,387
	Storm Sewer		Land Improvement Cost Estimates						
	Sidewalk		Description	Rate			Size % Good		Cash Value
	Water		Commercial Local Cost Land Improvements						
	Sewer		Description	Rate	Size % Good Arch Mult		Cash Value		
	Electric		PAVING LC	1.50	29160 27 100		11,810		
	Gas		Total Estimated Land Improvements True Cash Value =						
	Curb								
	Street Lights								
	Standard Utilities								
	Underground Utils.								
	Topography of Site		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
	Level		2024	Tentative	Tentative	Tentative			Tentative
	Rolling		2023	156,700	149,900	306,600			293,685C
	Low		2022	156,700	182,600	339,300			339,300S
	High		2021	156,700	172,800	329,500			329,500S
	Landscaped								
	Swamp								
	Wooded								
	Pond								
	Waterfront								
	Ravine								
	Wetland								
	Flood Plain								
	Who	When	What						
	JB	07/20/2023	INSPECTED						

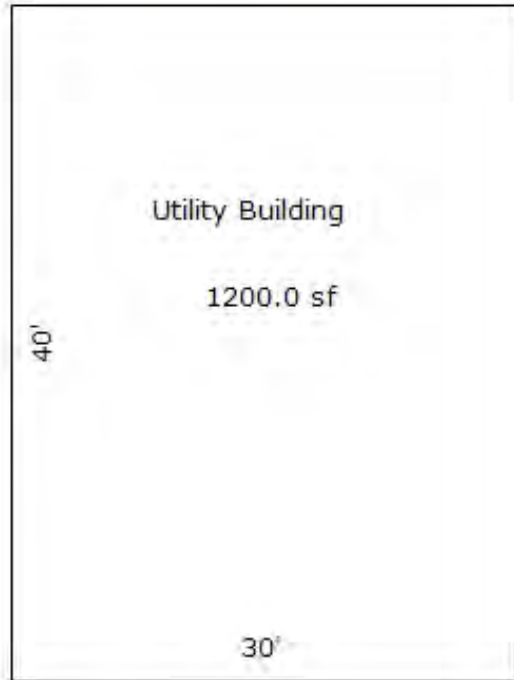
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

Desc. of Bldg/Section: GOLF CART SERVICE & STORAGE Calculator Occupancy: Garages - Storage				<<<<< Calculator Cost Computations >>>>>			
Class: C				Class: C    Quality: Average		Stories: 1    Story Height: 10    Perimeter: 152	
Floor Area: 1,440 Gross Bldg Area: 2,640 Stories Above Grd: 1 Average Sty Hght : 10 Bsmnt Wall Hght		Construction Cost		High    Above Ave.    X Ave.    Low		Base Rate for Upper Floors = 89.25	
Depr. Table : 2.5% Effective Age : 59 Physical %Good: 35 Func. %Good : 100 Economic %Good: 100		** ** Calculator Cost Data ** ** Quality: Average Heat#1: Space Heaters, Gas with Fan 100% Heat#2: Space Heaters, Gas with Fan 0% Ave. SqFt/Story: 1440 Ave. Perimeter: 152 Has Elevators:		(10) Heating system: Space Heaters, Gas with Fan    Cost/SqFt: 5.89    100% Adjusted Square Foot Cost for Upper Floors = 95.14		Total Floor Area: 1,440    Base Cost New of Upper Floors = 137,002 Reproduction/Replacement Cost = 137,002 Eff.Age:59    Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 35 /100/100/100/35.0 Total Depreciated Cost = 47,951	
Year Built Remodeled		Area: Perimeter: Type: Finished Basement Heat: No Heating or Cooling		ECF (2004 GOLF COURSE)    0.700 => TCV of Bldg: 1 = 33,565 Replacement Cost/Floor Area= 95.14    Est. TCV/Floor Area= 23.31			
Overall Bldg Height		* Mezzanine Info *					
Comments:		Area #1: Type #1: Office    (No Rates) Area #2: Type #2: Office    (No Rates)		* Sprinkler Info *			
		Area: Type: Average					
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:		(8) Plumbing:		Outlets:    Fixtures:			
X Poured Conc.    Brick/Stone    Block		Many Above Ave.    Average Typical    Few None		X Few Average Many Unfinished Typical    X Few Average Many Unfinished Typical			
(3) Frame:		Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets		Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners			
(4) Floor Structure:		(9) Sprinklers:		Flex Conduit    Rigid Conduit    Armored Cable    Non-Metalic    Bus Duct    Incandescent    Fluorescent    Mercury    Sodium Vapor    Transformer		(40) Exterior Wall:	
(5) Floor Cover:		(10) Heating and Cooling:		(13) Roof Structure:    Slope=0		Thickness    Bsmnt Insul.	
(6) Ceiling:		X Gas Oil    Coal Stoker    Hand Fired Boiler		(14) Roof Cover:			

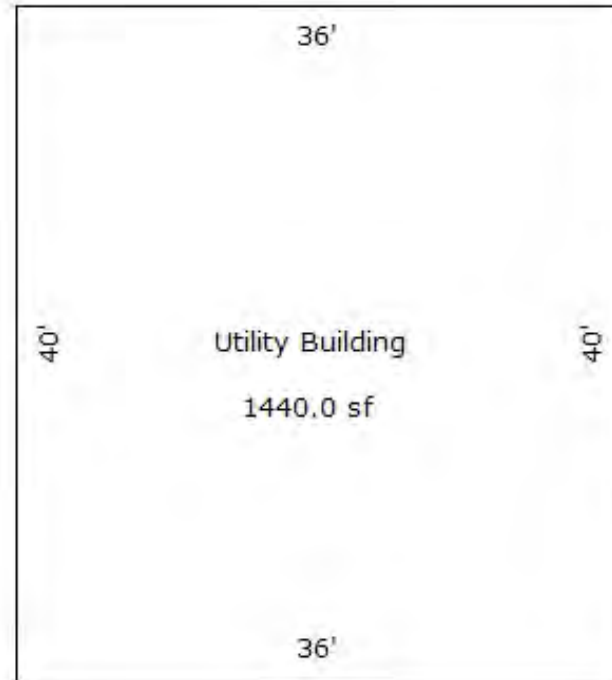
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



STORAGE SERVICE BARN



GOLF CART SERVICE / STORAGE



Desc. of Bldg/Section: STORAGE AND SERVICE BARN Calculator Occupancy: Sheds - Equipment 4 Wall Building				<<<<< Calculator Cost Computations >>>>>			
Class: S Floor Area: 1,200 Gross Bldg Area: 2,640 Stories Above Grd: 1 Average Sty Hght : 10 Bsmnt Wall Hght				Class: S      Quality: Average Stories: 1      Story Height: 10      Perimeter: 140			
Depr. Table : 4% Effective Age : 25 Physical %Good: 36 Func. %Good : 100 Economic %Good: 100				Base Rate for Upper Floors = 33.88  (10) Heating system: No Heating or Cooling      Cost/SqFt: 0.00      100% Adjusted Square Foot Cost for Upper Floors = 33.88			
Year Built Remodeled  Overall Bldg Height				Total Floor Area: 1,200      Base Cost New of Upper Floors = 40,656  Reproduction/Replacement Cost = 40,656 Eff.Age:25      Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 36 /100/100/100/36.0 Total Depreciated Cost = 14,636			
Comments:				ECF (2004 GOLF COURSE)      0.700 => TCV of Bldg: 2 = 10,245 Replacement Cost/Floor Area= 33.88      Est. TCV/Floor Area= 8.54			
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:		(39) Miscellaneous:	
(2) Foundation:		(8) Plumbing:		Outlets:      Fixtures:		(40) Exterior Wall:	
X Poured Conc.      Brick/Stone      Block		Many Above Ave.      Average Typical      Few None		X Few Average Unfinished Typical      X Few Average Unfinished Typical			
(3) Frame:		Total Fixtures 3-Piece Baths      Urinals 2-Piece Baths      Wash Bowls Shower Stalls      Water Heaters Toilets      Wash Fountains Water Softeners		Flex Conduit      Incandescent Rigid Conduit      Fluorescent Armored Cable      Mercury Non-Metalic      Sodium Vapor Bus Duct      Transformer			
(4) Floor Structure:		(9) Sprinklers:		(13) Roof Structure:      Slope=0			
(5) Floor Cover:		(10) Heating and Cooling:		(14) Roof Cover:			
(6) Ceiling:		X Gas Oil      Coal Stoker      Hand Fired Boiler					

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-30 Meeting Date: September 19, 2023

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Chris Bank Ben Cross Email: chrisbank@B5contractor.com  
crossbenjamin7@gmail.com  
Property Address: 5680 Glen Echo Dr Phone: 248 462 0458  
Present Zoning: LRR Tax Code: 11-10-301-126

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: We are requesting a setback variance for retaining wall. We are requesting a variance for 6ft tall fence past front of existing home to replace old 6ft tall fence that was taken down recently. We are requesting a variance for the setback on steps to existing entry door.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Please see attached

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Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Please see attached

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Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Please see attached

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Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Please see attached

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**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 8/22/2023 Signature: Benji C





8/22/2023

Ben Cross  
5680 Glen Echo Dr.  
Howell, MI 48843

Genoa Twp  
Variance Application

Dear Recipient,


**Practical Difficulty/Substantial Justice**

This site has many practical difficulties compared to most other residential properties in our township. To list a few of them, this home is located on a corner lot with basically two front yards (this impacts the setback requirements) as well as having slopes down to the road over 50% that are not maintainable. This property also has a multifamily apartment building with a large parking lot to the rear that has vehicles coming and going all hours of the day and night.

**Extraordinary Circumstances**

This site's topography is extreme to say the least. The front yard grade drops 6-8 ft over 10 linear feet along most of the east facing side and almost a 9ft drop on the west facing side. Retaining walls are a must to keep earth from eroding down the hill, and to protect the foundation of the home and steps to go up to the existing entry of the home. The rear property line had an existing 6ft privacy fence to the corner which was removed to be replaced with a new one. The current resident did not create either of these situations but is only trying to keep his property in good repair. In it's current state, his foundation and sidewalks to his existing entry door are being eroded. Having no fence along the apartment building parking lot is a safety hazard for him and his family including pets. All residents should be able to have access to their home in a safe manor.





### **Public Safety and Welfare**

This site is currently a safety and welfare concern for both the resident and the community as it stands. If the Variance is granted the site will be much safer for all. Currently there are boulder walls right to the road on the east facing side that vehicles can and do hit during winter conditions coming down the hill. With our plan there will be an additional 4 ft from right away creating much safer conditions. The resident will be able to maintain his property and enter his home safely along with protecting the foundation, stairs and walks.

### **Impact on Surrounding Neighborhood**

Granting this variance will have a net positive impact on all the neighbors, by creating a safer and maintainable site for all.

Warm regards,

**Chris Bonk, B5 Contractor Service**  
Residents' representative







September 13, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	5680 Glen Echo Drive – Dimensional Variance Review
<b>Location:</b>	5680 Glen Echo Drive – southwest corner of Glen Echo Drive and Long Pointe Drive
<b>Zoning:</b>	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variances related to accessory structures for the existing residence at 5680 Glen Echo Drive.

The proposal entails a retaining wall along the westerly side lot line, 2 retaining walls and in the front yard, new stairs in the front yard, and 2 fences in the front yard.

The submittal does not provide sufficient details to accurately identify the number and extent of variances and should not be approved at this time. It should be noted that the drawing was not reproduced at the scale noted (so trying to scale items such as setbacks cannot be done accurately).

At least 3 variances are needed for front yard fencing – a height increase from 3’ to 6’, a 100% solid privacy fence, and a 50% solid privacy fence (where the maximum allowed is 49%). However, no details are provided.

Furthermore, there are steps that encroach into the front yard; however, the actual setback proposed is not identified. The Ordinance allows such structures to encroach by up to 10’ into the required setback.

Additionally, there are multiple retaining walls that do not identify height (6’ maximum in the side and rear yard, and 3’ maximum in the front yard), and no details are provided.

Portions of these retaining walls also encroach into the required setbacks (2’ for side and rear yard, and 20’ for the front yard), though the actual setbacks provided are not identified.

In our best estimation, the proposal seeks 12 variances, as follows:

1. 6’ fence in the front yard;
2. 100% solid fence in the front yard;
3. 50% solid fence in the front yard;
4. Stairs that encroach by more than 10’ into the front yard;
5. Retaining wall that encroaches into the 2’ side/rear setback;
6. Retaining wall that encroaches into the 2’ side setback;
7. Retaining wall that encroaches into the 2’ side setback;
8. Retaining wall that encroaches into the 20’ front setback;
9. Retaining wall that encroaches into the 20’ front setback;
10. Retaining wall in the side/rear yard that exceeds 6’ in height;
11. Retaining wall in the front yard that exceeds 3’ in height; and
12. Retaining wall in the front yard that exceeds 3’ in height.

The number of variances is excessive without even knowing the full extent for some of them.

Lastly, no part of the submittal was prepared by a licensed engineer, as is required for retaining walls over 3' in height.

As it relates to a ZBA review, this causes added concern as we have no idea whether the walls proposed, which account for 8 variances, have been designed to require only the minimum amount of variance necessary (substantial justice).

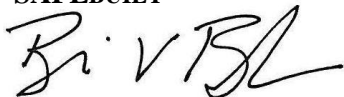
It is likely that there are alternative designs that reduce the number and/or extent of variances sought.

The site does have some extraordinary circumstances that may support some amount of variance; however, it is difficult to believe that 12 variances is the minimum necessary to grant relief.

The applicant should be directed to modify the plan such that all necessary details are provided, and that the number and extent of variances is minimized.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFE BUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP  
Michigan Planning Manager





2911 Dorr Road  
 Brighton, MI 48116  
 810.227.5225  
 810.227.3420 fax  
 genoa.org

# MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Zoning Official  
**DATE:** September 14, 2023  
**RE:** ZBA 23-30

Staff met with the applicant on September 14<sup>th</sup>, 2023 after staff received the planning consultant’s review letter. A revised site plan that indicates the setbacks and height of the walls and fences for the variances that are being requested was submitted.

### Summary

The proposed project is to allow the stairs and walls that have been constructed without a permit to remain and for additional retaining walls and a 6-foot privacy fence.

### Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

**(j) Retaining walls.** Retaining walls may be permitted subject to the following conditions:

1. Front Yard: Retaining walls within the required front yard shall not exceed three (3) feet in height and shall not be located within twenty (20) feet of the front lot line or be less than two (2) feet from the side lot line.
2. Side and Rear Yard: Retaining walls within the required side or rear yard shall not exceed a height of six (6) feet and shall not be located closer than two (2) feet to the side or rear lot line.

#### 11.04.03 (c) Fences and Walls

2. Unless specifically authorized elsewhere in this Ordinance, fences and walls located within the front yard in any residential zoning district shall not exceed three (3) feet in height, or be in excess of forty-nine (49) percent (%) solid or impervious.

11.04.03 (h) Steps, stairways and stoops.

(a) **Steps, stairways and stoops.** Unroofed and unenclosed steps, stairways and stoops may encroach in the required yards as follows:

(1) Encroachments into required yards shall be allowed as indicated in the table below:

Front Yard	Rear Yard	Waterfront Yard <sup>(1)</sup>	Side Yard	
			Side Yard 10’ or less in LRR	Side Yard
10 ft.	15 ft.	15 ft. <sup>(1)</sup>	2 ft.	5 ft.

#### SUPERVISOR

Bill Rogers

#### CLERK

Paulette A. Skolarus

#### TREASURER

Robin L. Hunt

#### TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

#### MANAGER

Kelly VanMarter

Applicant is requesting the following variances:

**Retaining Wall FRONT YARD Height Variance**

**Required Front Yard Wall Height:** 3'  
**Proposed Height:** 7'4" at the tallest point  
**Variance Amount:** 4'4"

**Retaining Wall FRONT YARD Setback Variance**

**Required Front Yard Setback:** 20'  
**Proposed Side Yard Setback:** 4' at the closest point  
**Variance Amount:** 16'

**Retaining Wall SIDE YARD Height Variance**

**Required Side Yard Wall Height:** 6'  
**Proposed Height:** 8'6" at the tallest point  
**Variance Amount:** 2'6"

**Retaining Wall SIDE YARD Setback Variance**

**Required Side Yard Setback:** 2'  
**Proposed Side Yard Setback:** 0'  
**Variance Amount:** 2'

**Fence Height and Impervious Variance**

**Required Front Yard Height:** 3'  
**Proposed Height:** 6'  
**Variance Amount:** 3'

**Required Impervious %:** 49%  
**Proposed Impervious%:** 100%  
**Variance Amount:** 51%

**Steps Projection Variance (Setback from ROW should be 25' with 10' projection)**

**Allowed Front Yard Setback:** 25'  
**Proposed Front Yard Setback:** 9'  
**Variance Amount:** 16'

**Summary of Findings of Fact- After a quick review of the revised site plan, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning requirements would prevent the applicant from completely the retaining wall project that has been started however would not prevent the use of the property. Please see attached pictures of the property prior to the work being started on the lot.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the irregular shape and topography of the lot. Applicant should demonstrate that these walls are the least amount necessary and that there are no other alternatives than what is being proposed. In addition, applicant should demonstrate that the unpermitted work and grading did not alter the



previous grade to require the extensive variance requests. The request for the 6-foot privacy fence is self-created due to the apartment complex being located behind the home prior to the home being built and the previous 6-foot fence was removed after staff told the owner he could not replace the fence after it was removed.

**(c) Public Safety and Welfare** – The granting of the variances will not impair an adequate supply of light and air to adjacent property. Due to the proposed location of the front retaining walls being located 4 feet from the road right of way and the topography from Grand River Avenue could unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**(d) Impact on Surrounding Neighborhood** – The proposed variance would not have an impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Recommended Conditions**

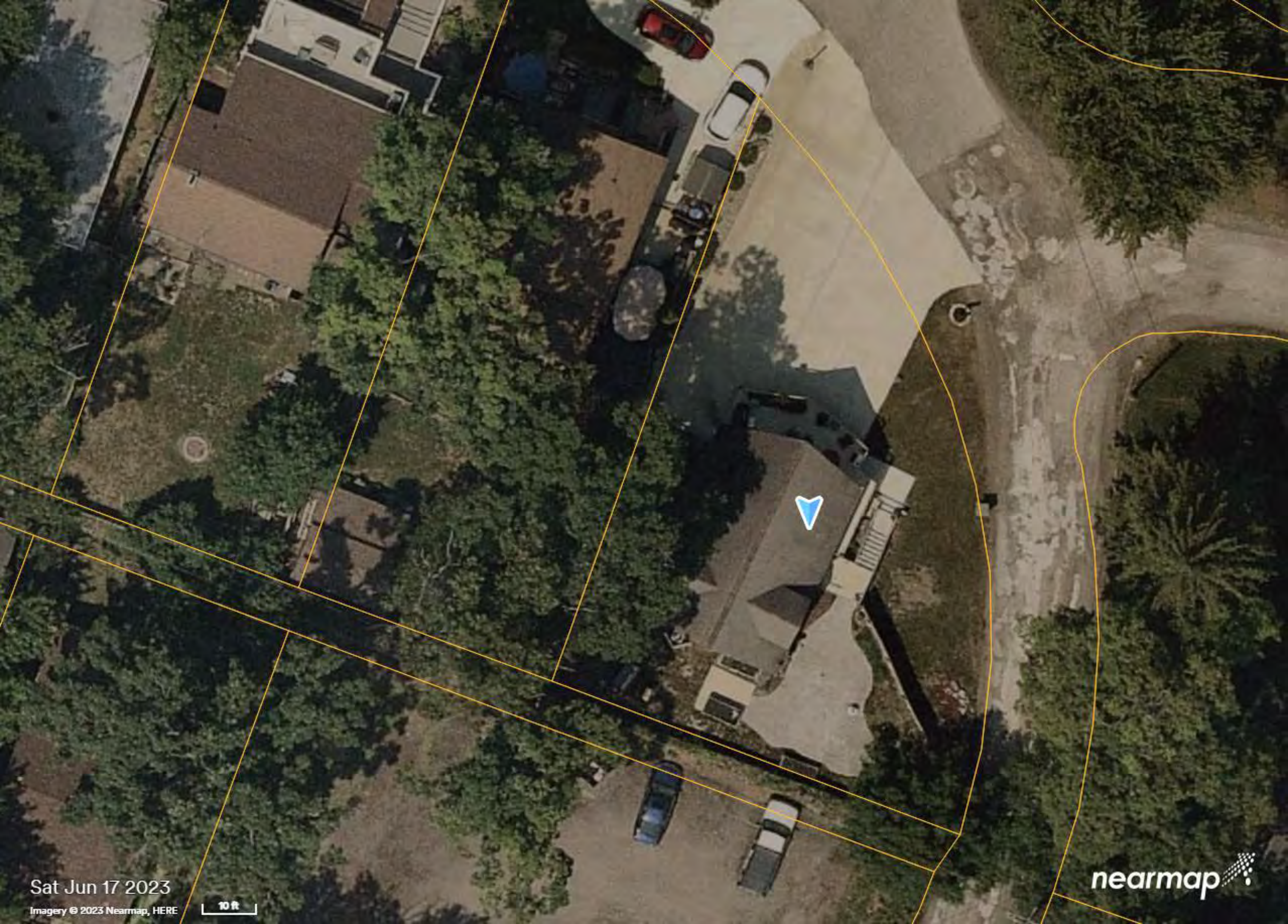
If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Grading and soil erosion plan by civil engineer shall ensure stabilization of slopes and there are no impacts to adjacent parcels.
2. Civil engineer shall
3. The retaining wall construction plans must be certified by a license engineer prior to permit issuance.
4. Must receive a permit from the Livingston County Drain Commissioner.

If the Zoning Board of Appeals denies the variance requests staff recommends the following conditions be placed on the denial:

1. All unpermitted walls and stairs shall be removed within 30 days.
2. The property shall be restored and graded to ensure no impact of neighboring properties or the road.
3. Must receive a permit from the Livingston County Drain Commissioner.





Sat Jun 17 2023

Imagery © 2023 Nearmap, HERE

10 ft

nearmap















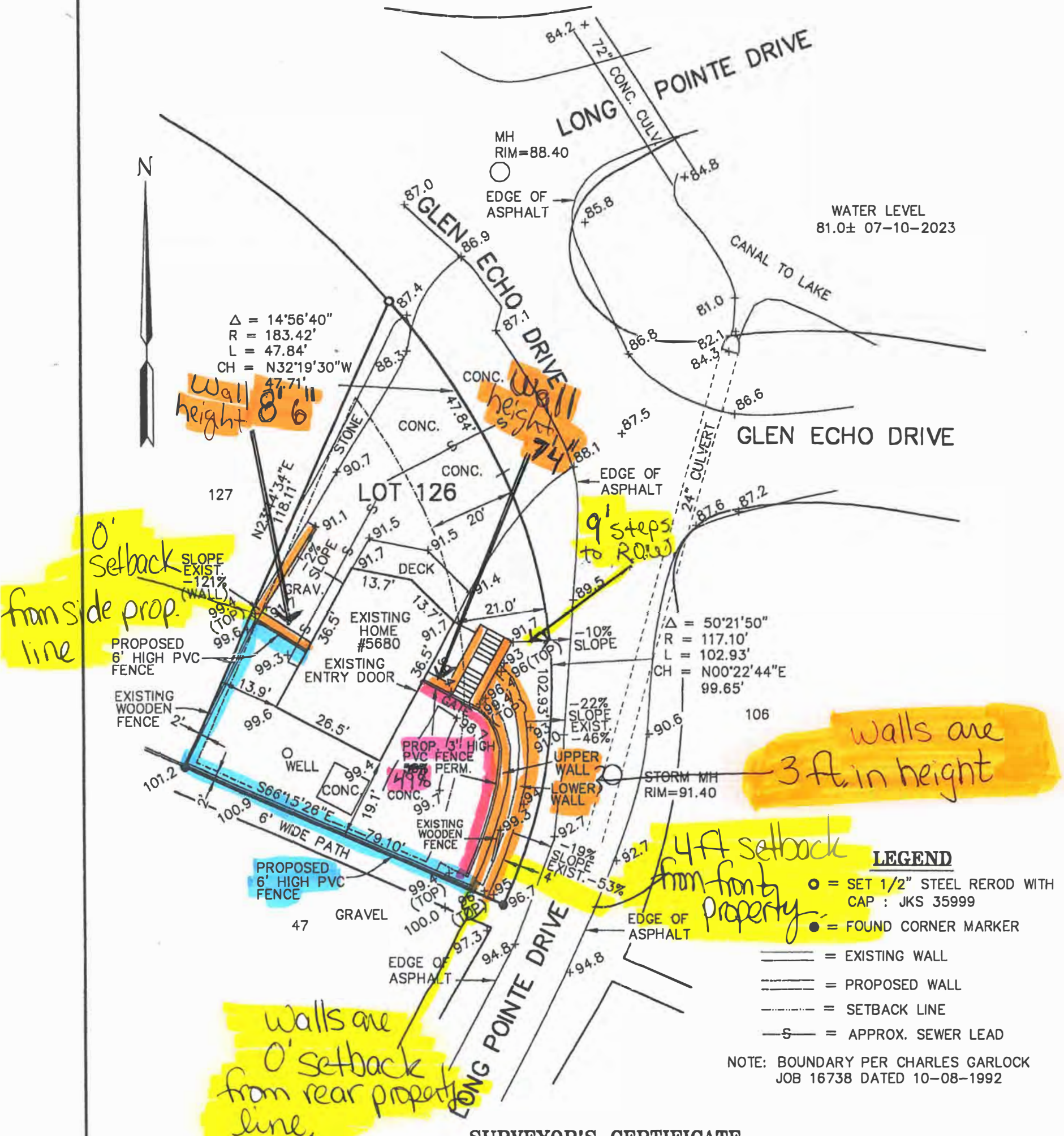
10/18/2024





SKETCH OF EXISTING CONDITIONS

LOT 126 OF "GLEN ECHO" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 1 OF DEEDS ON PAGE 75 IN THE OFFICE OF THE REGISTER OF DEEDS FOR LIVINGSTON COUNTY, MICHIGAN.



$\Delta = 14^{\circ}56'40''$   
 $R = 183.42'$   
 $L = 47.84'$   
 $CH = N32^{\circ}19'30''W$   
 $47.71'$

$\Delta = 50^{\circ}21'50''$   
 $R = 117.10'$   
 $L = 102.93'$   
 $CH = N00^{\circ}22'44''E$   
 $99.65'$


**LEGEND**

- = SET 1/2" STEEL REROD WITH CAP : JKS 35999
- = FOUND CORNER MARKER
- = EXISTING WALL
- - - = PROPOSED WALL
- - - - = SETBACK LINE
- S- = APPROX. SEWER LEAD

NOTE: BOUNDARY PER CHARLES GARLOCK JOB 16738 DATED 10-08-1992

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED ON 07/11/2023, AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN LIMITS ACCEPTED BY THE PRACTICE FOR MICHIGAN PROFESSIONAL SURVEYORS, AND THAT ALL OF THE REQUIREMENTS OF ACT NO. 132, P.A. 1970 (AS AMENDED) HAVE BEEN COMPLIED WITH.  
 NOTE: BEARINGS ARE BASED ON A PREVIOUS SURVEY BY CHARLES GARLOCK

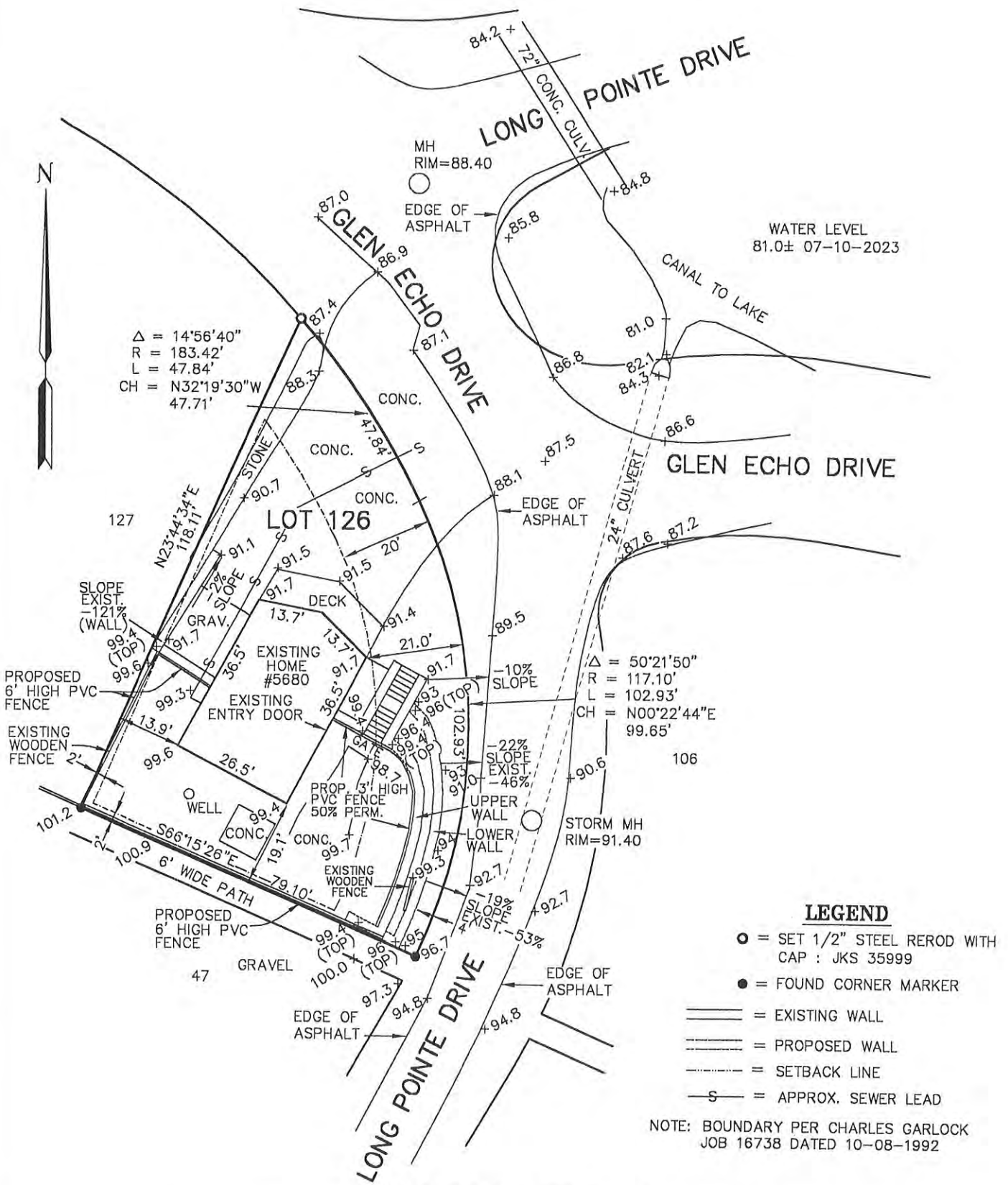
CLIENT: <b>BENJAMIN CROSS</b>		SCALE: 1" = 30'
SECTION: 10 TOWN: 2 NORTH RANGE: 5 EAST		 JACK K. SMITH PROFESSIONAL SURVEYOR No. 35999
GENOA TOWNSHIP LIVINGSTON COUNTY, MICHIGAN		
DATE: 07-13-2023	CREW: JKS/CG	<b>GARLOCK--SMITH</b> <b>PROFESSIONAL SURVEYORS</b> 4655 OAK GROVE ROAD HOWELL, MICHIGAN 48855 (517) 546 - 3340 GARLOCKSMITH@COMCAST.NET
BOOK NO. 220 PG 31	COMP: JKS	
	DRAWN: JKS	
SHEET 1 OF 1	REV: 08-22-2023	





**SKETCH OF EXISTING CONDITIONS**

LOT 126 OF "GLEN ECHO" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 1 OF DEEDS ON PAGE 75 IN THE OFFICE OF THE REGISTER OF DEEDS FOR LIVINGSTON COUNTY, MICHIGAN.



**LEGEND**


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BOOK NO. 220 PG 31	COMP: JKS	
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SHEET 1 OF 1	REV: 08-22-2023	



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
US BANK TRUST	CROSS BENJAMIN	208,900	05/23/2017	WD	03-ARM'S LENGTH	2017R-016271	BUYER/SELLER	100.0
PRAY BEVERLY	US BANK TRUST	216,307	01/03/2017	WD	10-FORECLOSURE	2017R-003324	BUYER/SELLER	0.0
PRAY, RONALD & BEVERLY	PRAY BEVERLY	0	01/12/2005	WD	21-NOT USED/OTHER	4703/0718	BUYER/SELLER	0.0
PRAY, RONALD & BEVERLY		162,000	04/07/1995	WD	03-ARM'S LENGTH	1914-0084	BUYER/SELLER	100.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LRR	Building Permit(s)	Date	Number	Status
5680 GLEN ECHO DR	School: HOWELL PUBLIC SCHOOLS		HOME	10/18/1994	94-345	NO START
Owner's Name/Address	P.R.E. 100% 05/23/2017					
CROSS BENJAMIN	MAP #: V23-30					
5680 GLEN ECHO DR	2024 Est TCV Tentative					
HOWELL MI 48843-9120	Land Value Estimates for Land Table 4301.WEST LAKE CHEMUNG					

Tax Description	X	Improved	Vacant	* Factors *						Value	
				Description	Frontage	Depth	Front	Depth	Rate %Adj.		Reason
SEC. 10 T2N, R5E, GLEN ECHO LOT 126 ALSO EXTENDING THE LOT LINES TO THE WATERS EDGE PER CIRCUIT COURT CASE #18-29855-CZ RECORDED DEED # 2022R-008791 & 2022R-008792, CORRECTED 8/21	X			I CANAL FRONT	50.00	79.00	1.0000	1.0000	2000	100	100,000
	X			F NONLF SURPLUS	34.00	79.00	1.0000	1.0000	600	100	20,400
				84 Actual Front Feet, 0.15 Total Acres						Total Est. Land Value =	120,400

Public Improvements	Topography of Site	Level	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.	Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain REFUSE		2024	Tentative	Tentative	Tentative			Tentative



Who	When	What	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
JB	04/19/2023	REVIEWED R	2023	60,000	133,500	193,500			118,432C
CG	05/26/2016	REVIEWED R	2022	60,000	104,300	164,300			112,793C
			2021	33,600	100,800	134,400			109,190C

The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

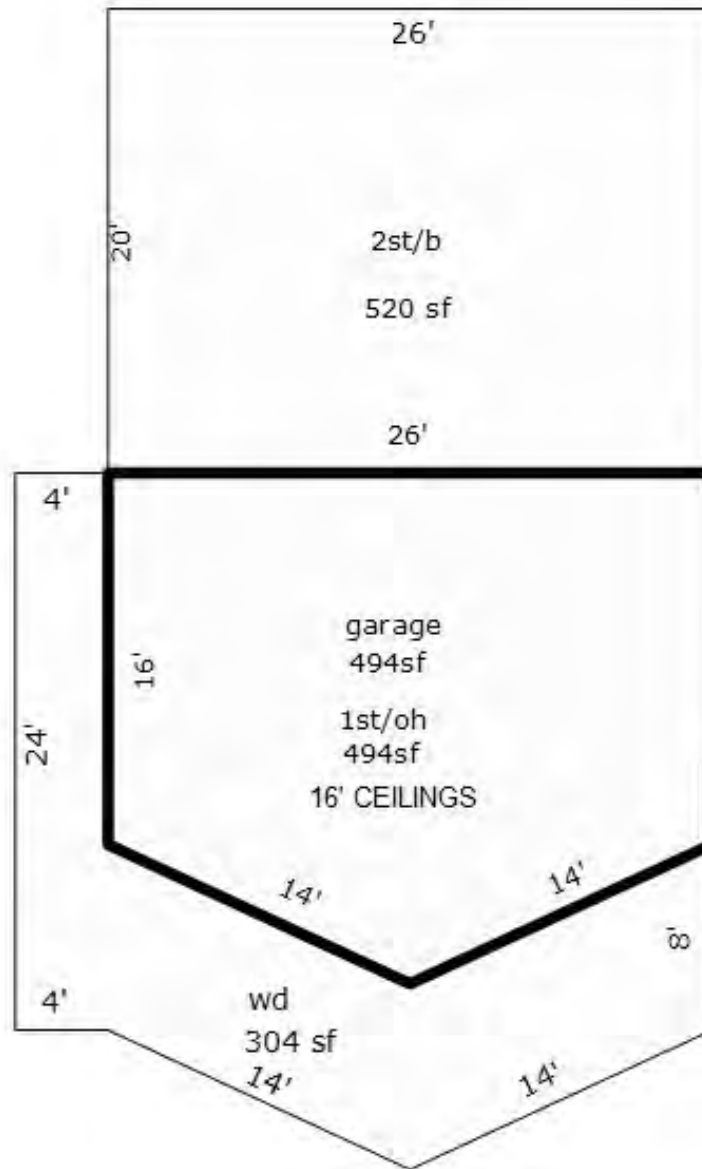
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 304	Type Treated Wood	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 2 Wall Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 494 % Good: 0 Storage Area: 0 No Conc. Floor: 0			
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling												
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration													
Yr Built 1997	Remodeled 0	Ex	X Ord	Min	Size of Closets												
Condition: Good		Lg	X Ord	Small	Central Air Wood Furnace												
Room List		Doors:	Solid X	H.C.	(12) Electric												
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors			0 Amps Service												
		Kitchen: Other: Other:			No./Qual. of Fixtures												
(1) Exterior		X Ex.	Ord.	Min	No. of Elec. Outlets												
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			Many	X Ave.	Few										
		(13) Plumbing			Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan												
(2) Windows		(7) Excavation			(14) Water/Sewer												
X	Many Avg. Few	X	Large Avg. Small	Basement: 520 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0	Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic												
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(8) Basement			Lump Sum Items:												
		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor	(9) Basement Finish			Joists: Unsupported Len: Cntr.Sup:											
(3) Roof		126	Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)	Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic													
X	Gable Hip Flat	Gambrel Mansard Shed	(10) Floor Support			Notes:  ECF (4307 W. LK CHEMUNG LK FRONT) 1.410 => TCV: 289,730											
X	Asphalt Shingle																
Chimney: Brick																	

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

3 BEDROOMS  
2 FULL BATH  
1 PFFP  
A/C  
ASPHALT DW - NW





**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
August 15, 2023 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairman Rassel called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Greg Rassel, Marianne McCreary, Jean Ledford, Bill Rockwell, Craig Fons, and Amy Ruthig, Planning Director. Absent was Michelle Kreutzberg.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

**Moved** by Board Member Ledford, seconded by Board Member Rockwell, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was opened at 6:31 pm with no response.

1. 23-23...A request by Fred and Lauren Bodnar, 4071 Homestead Drive, for front, side, and waterfront yard setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct a new home.

Mr. Dennis Dinser of Arcadian Design, the architect, stated they would like to demolish the home and build a two-story home on the existing footprint of the current home. He added that the slope of the front of the property is very steep and it is a safety issue. Having the attached garage with steps into the home would be much safer. Many other homes on this road have attached garages and their proposal will place their garage further from the road than the neighbors. They are asking for the minimum and not more than they need.

Mr. Fons stated that the grinder pump has not been addressed. He questioned where it will be relocated. Mr. Dinser has not determined the new location at this time. Ms. Ruthig stated the new grinder pump approval requirement was implemented after this application was received.

The call to the public was opened at 6:40 pm with no response.

**Moved** by Board Member McCreary, seconded by Board Member Rockwell, to approve Case #23-23 for Fred and Lauren Bodnar of 4071 Homestead Drive for a street front yard setback variance of 16 feet 2 inches from the required 35 feet for a setback of 18 feet 10 inches, a side yard setback variance of 5 feet 6 inches from the required 10 feet for a setback of 4 feet 4

inches, a side yard setback variance of 3 feet 2 inches from the required 10 feet and for a setback of 6 feet 10 inches to match the existing residence, and a shoreline setback of 8 inches from the required minimum of 56 feet 5 inches for a setback of 59 feet 9 inches to construct a new home, based on the following findings of fact:

- A variance is not necessary for continued use of the property for a permitted purpose, a single-family residence, however, no expansion is allowed without some amount of variance. Three of the four requested variances match the existing home on the property currently. The remaining variance for the street is the only requested variance that differs from how the property currently exists. The front yard variance requested will be in line with the neighboring property to the east and other properties surrounding, thereby granting substantial justice.
- The narrowness of this lot, irregular lot shape, steep slope, and the size of the lot note the extraordinary circumstances that outline the request for variances. Circumstances are not self-created. The applicant identifies three properties in the immediate area that provide less setback than the proposal.
- Given the nature of the project, the ZBA does not foresee issues related to upholding public safety and welfare.
- The project results in a street front setback that is generally consistent with those found elsewhere in the neighborhood.

This approval is conditioned upon the following:

1. The grinder pump local shall receive approval shall be obtained by the township utility department.

**The motion carried unanimously.**

2. 23-24...A request by Larry White, 4489 Oak Pointe Drive, for a waterfront yard setback variance and a variance to allow a detached accessory structure on a parcel without a principal structure and any other variance deemed necessary by the Zoning Board of Appeals to allow an existing illegal nonconforming structure.

Mr. White stated that he requested a variance for a boardwalk in 2014, which he believed was allowed to be installed along the entire length of his property. He then decided to not build it the entire length and installed a 10 x 10 platform without a cover. He then built a cover for the platform, not realizing that it was not allowed by the township. When he was notified, he altered the structure so that it would be temporary; however, part of it is on his next door vacant property. He stated that there are more than fifty structures on properties without permanent structures and close to or in the water on his lake.

Ms. Ruthig stated that the structure needs to be relocated from the property where there is no permanent structure as well as moved 40 feet further from the lake to meet the waterfront setback requirement.

Mr. Rockwell stated he has never reviewed or approved a variance for a structure that is within the water. Other members of the board agreed as they have never approved a variance for a structure in the water.

There was further discussion regarding other aspects of Mr. White's property that do not meet the township ordinance.

The call to the public was opened at 6:31 pm.



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Ms. Judy Daubenmier of 4490 Lakeshore Court lives across the bay from this property and did not receive notice. She sees this structure every day. She is concerned with the structure extending into the water. Mr. White takes care of his property, but what if the property is sold and the new owner does not maintain the structure. She has lived here for over 30 years and many of the existing structures have been there for many years. She wants to make sure that this does not set a precedent for other property owners on the lake.

Ms. Ruthig stated the 300-foot mailing was mailed on July 28, 2023 and Ms. Daubenmier's name was on the list to receive a letter.

It was noted that Mr. Jason Forcier of 4495 Oak Pointe Drive sent an email supporting the applicant's request.

The call to the public was closed at 7:14 pm.

Ms. Ledford stated she will be voting against this request.

**Moved** by Board Member Rockwell, seconded by Board Member Ledford, to deny Case #23-24 for Larry White of 4409 Oak Pointe Drive for a negative waterfront setback and to allow a detached accessory structure on a parcel without a principal structure, based on the following findings of fact:

- Strict compliance with the zoning ordinance would prevent the applicant from keeping the detached accessory structure. Strict compliance is not necessary for continued use of the property, nor does it appear to be unnecessarily burdensome to the applicant. A negative shoreline setback is excessive and is not in keeping with the substantial justice with other owners in the district. Allowance of an accessory structure without a principal building is also not compliant to the rules others must follow. The need for the variance is self-created.
- The submittal does not identify an extraordinary circumstance of the property itself to justify a variance.
- The granting of the variances will not impair an adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare of the inhabitants of the Township of Genoa. Because the nature of its construction, it is unclear with regard to design specification review and approval, the ZBA's preliminary concern under this criterion is whether the structure is adequately constructed to safely cantilever over the shoreline.
- While there may be other structures that encroach into the required waterfront setbacks, these accessory structures are not overhanging the shoreline and impacting the water.

This denial is conditioned upon the applicant removing the structure and the cantilever foundation from the lake within a period of 60 days.

**The motion carried unanimously.**

**Administrative Business:**

1. Approval of minutes for the June 20, 2023 Zoning Board of Appeals meeting.

Needed changes were noted.

Genoa Township Zoning Board of Appeals Meeting  
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**Moved** by Board Member Ledford, seconded by Board Member McCreary, to approve the minutes of the June 20, 2023 Zoning Board of Appeals meeting as corrected. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be four cases on the September meeting agenda.

3. Member Discussion

Chairman Rassel will not be in attendance at September's meeting.

4. Adjournment

**Moved** by Board Member McCreary, seconded by Board Member Rockwell, to adjourn the meeting at 7:22 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary

DRAFT