

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
March 6, 2023
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person) *:

Approval of Consent Agenda:

1. Payment of Bills: March 6, 2023
2. Request to approve February 20, 2023 regular meeting minutes

Approval of Regular Agenda:

3. Livingston County Sheriff's Department update presented by Sheriff Mike Murphy.
4. Public Hearing on the proposed Special Assessment Roll for the Baetcke Lake Aquatic Weed Control Project (Summer 2023).
 - A. Call to the Property Owners
 - B. Call to the Public
5. Request for approval of **Resolution #5** Confirming the Special Assessment Roll for the Baetcke Lake Aquatic Weed Control Project and Special Assessment District (Summer 2023). (Roll Call)
6. Public Hearing on the proposed East and West Crooked Lakes Aquatic Weed Control Special Assessment District (Summer 2023).
 - A. Call to the Property Owners
 - B. Call to the Public
7. Request for approval of **Resolution #3** Approving the Project Cost Estimates, Special Assessment District and causing the Special Assessment Roll to be prepared for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023). (Roll Call)

8. Request for approval of **Resolution #4** Acknowledging the filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of Statutory Notices for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023). (Roll Call)
9. Consideration of a recommendation for approval of a special land use application, environmental impact assessment and site plan for the construction of an 11,990 sq. ft. boat showroom and sales office building replacing the existing building for Wonderland Marine West located at 5796 Grand River Avenue. The request is petitioned by Mitts, LLC.
 - A. Disposition of Special Use Application.
 - B. Disposition of Environmental Impact Assessment (dated 11-1-22)
 - C. Disposition of Site Plan (dated 2-9-23)
10. Review and approval of general appropriation of funds for the fiscal year beginning April 1, 2023 and ending March 31, 2024 for budget fund numbers: 101, 202, 208, 212, 249, 401, 464 and 532.
 - A. Disposition of **Resolution 230306A** - Salaries for Elected Officials (Roll Call)
 - B. Disposition of **Resolution 230306B** - Wages and Salaries for Appointed Officials (Roll Call)
 - C. Disposition of the 2023 Compensation Strategy for employees as recommended by the Human Resources Manager.
 - D. Deposition of a \$3.00 increase in refuse collection and disposal to be levied on the December 2023 tax bill.
 - E. Disposition of **Resolution 230306C** - 2023-2024 General Appropriations Act Budget for the Fiscal Year beginning April 1, 2023 and ending March 31, 2024 (Roll Call)

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

BOARD PACKET

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING
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MEETING DATE: March 6, 2023

All information below through March 1, 2023

TOWNSHIP GENERAL EXPENSES	\$	537,223.31
March 3, 2023 Bi Weekly Payroll	\$	110,360.07
OPERATING EXPENSES DPW	\$	13,872.89
OPERATING EXPENSES Oak Pointe	\$	1,472.52
OPERATING EXPENSES Lake Edgewood	\$	16.00
TOTAL	\$	<u>662,944.79</u>

FNBCK Check Register

03/01/2023 09:23 AM
 User: denise
 DB: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP
 CHECK NUMBERS 38039 - 40000

Page: 1/1

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
02/20/2023	38039	AMERICAN AQUA	60.00
02/20/2023	38040	CONSUMERS ENERGY	858.50
02/20/2023	38041	GENOA TWP CURRENT TAX FUND	11,072.20
02/20/2023	38042	HILLS CONTRACTION LLC	450.00 V
		Void Reason: VENDOR NAME SPELLED WRONG	
02/20/2023	38043	MICHIGAN OFFICE SOLUTIONS INC.	100.40
02/20/2023	38044	QUADIENT FINANCE USA, INC	2,500.00
02/20/2023	38045	SMART BUSINESS SOURCE	89.30
02/20/2023	38046	TERRY CROFT	62.88
02/20/2023	38047	HILLS CONTRACTING LLC	450.00
02/20/2023	38048	SMART BUSINESS SOURCE	25.46
02/21/2023	38049	DELTA DENTAL	4,001.64
02/21/2023	38050	MUTUAL OF OMAHA	2,299.10
02/21/2023	38051	SMART BUSINESS SOURCE	72.31
02/21/2023	38052	GENOA TWP FUTURE ROADS #261	500,000.00
02/27/2023	38053	UNITED STATES POSTAL SERVICE	156.92
02/27/2023	38054	AMERICAN AQUA	42.00
02/27/2023	38055	COMCAST	243.00
02/27/2023	38056	GIFFELS WEBSTER	1,250.00
02/27/2023	38057	LIVINGSTON COUNTY SHERIFF	12,500.00
02/27/2023	38058	PERFECT MAINTENANCE CLEANING	565.00
02/27/2023	38059	SECURITY LOCK SERVICE, INC	295.50
02/28/2023	38060	CAPITAL ONE	377.00 V
		Void Reason: DIDN'T APPLY CREDIT	
02/28/2023	38061	MATT KEIL	215.00
02/28/2023	38062	CAPITAL ONE	364.10
FNBCK TOTALS:			
Total of 24 Checks:			538,050.31
Less 2 Void Checks:			827.00
Total of 22 Disbursements:			537,223.31

02/28/2023 11:55 AM		PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP				Page 36 of 36
		Payroll ID: 239				
		Pay Period End Date: 02/24/2023		Check Post Date: 03/03/2023		Bank ID: FNBCK
* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks						
VACATION NONTAX	0.00	0.00	0.00	0.00	0.00	
VACATION PAY	229.50	0.00	7,089.66	32,046.84		
VACATION PTIME	0.00	0.00	0.00	2,701.81		
WELL IQ	0.00	0.00	0.00	4,581.78		
ZBA CHAIR	1.00	0.00	205.30	410.60		
ZBA MINUTES	1.00	0.00	173.00	346.00		
ZBA MINUTES OT	0.00	0.00	0.00	0.00		
ZBA PER DIEM	5.00	0.00	968.80	1,937.60		
Gross Pay This Period	108,652.46	Deduction Refund	0.00	Ded. This Period	32,854.86	Net Pay This Period
						75,797.60
					Gross Pay YTD	553,412.52
					Dir. Dep.	75,691.88

03/01/2023 12:26 PM		PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP				Page 3 of 3
		Payroll ID: 240				
		Pay Period End Date: 03/03/2023		Check Post Date: 03/03/2023		Bank ID: FNBCK
* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks						
Grand Totals for Payroll:						
Pay Code Id	Hours	OT Hours	Cur. Amnt.	YTD Amnt.*	Ded/Exp Id	Cur. Amnt. YTD Amnt.*
BONUS	0.00	0.00	0.00	250.00	MEDICARE_EE	6.22 562.72
CELL PHONE REIM	0.00	0.00	0.00	588.45	SITW	18.21 1,624.05
DPW MED REIM	4.00	0.00	428.25	1,525.00	SOCSEC EE	26.55 2,406.11
FLOATER HOLIDAY	0.00	0.00	0.00	0.00		
G1	0.00	0.00	0.00	13,982.00		
G2	0.00	0.00	0.00	1,030.88		
HOLIDAY PAY	0.00	0.00	0.00	3,256.54		
LONGEVITY	0.00	0.00	0.00	0.00		
ON CALL	0.00	0.00	0.00	829.50		
PERSONAL PAYOUT	0.00	0.00	0.00	2,011.85		
PERSONAL TIME	0.00	0.00	0.00	238.00		
SALARY	0.00	0.00	0.00	13,831.46		
UNIFORM ALLOW	0.00	0.00	0.00	0.00		
VACATION PAY	0.00	0.00	0.00	1,257.40		
WELL IQ	0.00	0.00	0.00	595.55		
Gross Pay This Period	428.25	Deduction Refund	0.00	Ded. This Period	50.98	Net Pay This Period
						377.27
					Gross Pay YTD	39,396.63
					Dir. Dep.	0.00

03/01/2023 12:27 PM		Check Register Report For Genoa Charter Township				Page 1 of 1
		For Check Dates 03/03/2023 to 03/03/2023				
Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit Status
03/03/2023	FNBCK	13834	SEBASTIAN, PAUL J	120.00	105.72	0.00 Open
03/03/2023	FNBCK	13835	AULETTE, JAMES B	164.62	145.02	0.00 Open
03/03/2023	FNBCK	13836	BRIGHAM JR, DONALD W	99.23	87.42	0.00 Open
03/03/2023	FNBCK	13837	DANIEL, WYATT	164.40	144.83	0.00 Open
03/03/2023	FNBCK	EFT778	FLEX SPENDING (TASC)	840.38	840.38	0.00 Open
03/03/2023	FNBCK	EFT779	INTERNAL REVENUE SERVICE	25,770.26	25,770.26	0.00 Open
03/03/2023	FNBCK	EFT780	PRINCIPAL FINANCIAL	4,426.00	4,426.00	0.00 Open
03/03/2023	FNBCK	EFT781	PRINCIPAL FINANCIAL	2,600.03	2,600.03	0.00 Open
03/03/2023	FNBCK	EFT782	INTERNAL REVENUE SERVICE	65.54	65.54	0.00 Open
Totals:			Number of Checks: 009	34,250.46	34,185.20	0.00
	Total Physical Checks:		4			
	Total Check Stubs:		5			

Net Pay This Period \$75,797.60
 Net Pay This Period \$377.27
 Physical Check Amount \$34,185.20
TOTAL \$110,360.07

503FN Check Register

Check Date	Check	Vendor Name	Amount
03/01/2023 09:24 AM			
User: denise		CHECK REGISTER FOR GENOA TOWNSHIP	Page: 1/1
DB: Genoa Township		CHECK NUMBERS 5748 - 6000	
Bank 503FN DPW-UTILITIES #233			
02/16/2023	5748	CHASE CARD SERVICES	12,532.92
02/22/2023	5749	HOME DEPOT CREDIT SERVICES	1,244.97
02/22/2023	5750	MWEA	95.00
503FN TOTALS:			
Total of 3 Checks:			13,872.89
Less 0 Void Checks:			0.00
Total of 3 Disbursements:			13,872.89

592FN Check Register

Check Date	Check	Vendor Name	Amount
03/01/2023 09:46 AM			
User: denise		CHECK REGISTER FOR GENOA TOWNSHIP	Page: 1/1
DB: Genoa Township		CHECK NUMBERS 5760 - 6000	
Bank 592FN OAK POINTE OPERATING FUND #592			
02/17/2023	5760	AT&T	290.31
02/17/2023	5761	CONSUMERS ENERGY	485.72
02/17/2023	5762	CONSUMERS ENERGY	634.84
02/27/2023	5763	AT&T LONG DISTANCE	61.65
592FN TOTALS:			
Total of 4 Checks:			1,472.52
Less 0 Void Checks:			0.00
Total of 4 Disbursements:			1,472.52

593FN Check Register

Check Date	Check	Vendor Name	Amount
03/01/2023 09:51 AM			
User: denise		CHECK REGISTER FOR GENOA TOWNSHIP	Page: 1/1
DB: Genoa Township		CHECK NUMBERS 4250 - 5000	
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
02/17/2023	4250	CONSUMERS ENERGY	16.00
593FN TOTALS:			
Total of 1 Checks:			16.00
Less 0 Void Checks:			0.00
Total of 1 Disbursements:			16.00



Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

March 2023						
S	M	T	W	T	F	S
26	27	28	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	1
2	3	4	5	6	7	8

New Balance
\$12,532.92
 Minimum Payment Due
\$125.00
 Payment Due Date
03/01/23

INK CASH(SM) POINT SUMMARY

Previous points balance	18,004
+ 1 Point per \$1 earned on all purchases	12,533
+ 2 Pts/\$1 gas stns, rstnts, otc sply, hm impr	885
Total points available for redemption	31,422

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number:	
Previous Balance	\$1,555.50
Payment, Credits	-\$2,981.09
Purchases	+\$13,958.51
Cash Advances	\$0.00
Balance Transfers	\$0.00
FeeS Charged	\$0.00
Interest Charged	\$0.00
Ne Balance	\$12,532.92
Opening/Closing Date 01/08/23 - 02/07/23	
Credit Limit	\$36,500
Available Credit	\$23,967
Cash Access Line	\$1,825
Available for Cash	\$1,825
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

233-000-084-990
 ALL Sys - 503-000-084-00
UTILITY DEPT.

FEB 13 2023

RECEIVED

Jot
 2-17-23

0000001 FIS33339 C 1 0309

N Z 07 23/02/07

Page 1 of 3

05888 MA DA 28337

03610000010482833701



P.O. BOX 15123
 WILMINGTON, DE 19850-5123
 For Undeliverable Mail Only

Make your payment at
chase.com/paycard

Payment Due Date: 03/01/23
New Balance: \$12,532.92
Minimum Payment Due: \$125.00
 Account number:

\$ _____ Amount Enclosed
 Make/Mail to Chase Card Services at the address below:



CARDMEMBER SERVICE
 PO BOX 6294
 CAROL STREAM IL 60197-6294

26537 BEX Z 03823 C
 GREG TATARA
 MIHO G SEWER & WATER AUTH
 2911 DORR RD
 BRIGHTON MI 48116-9436



⑆5000 160 28⑆9869 10 24 49 74 78⑆



ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
01/11	BRIGHTON AUTOMOTIVE, INC BRIGHTON MI <i>DPW truck #10</i>	50.83 ✓
02/02	LITTLE CAESARS 184 Q67 HOWELL MI <i>LD ps #48</i>	35.12 ✓
	JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$85.95	
01/15	Payment ThankYou Image Check	-1,555.50
01/05	BAV INN LODGE-HOTEL FRANKENMUTH MI <i>DPW prof der./conf</i>	90.95 ✓
01/06	STE ALMONT MI <i>DPW boom truck parts</i>	413.75 ✓
01/10	GoToCom*GoToConnect goto.com MA <i>mhog</i>	249.14 ✓
01/11	AMZN Mktp US*PW4KZ7UG3 Amzn.com/bill WA <i>DPW office supplies</i>	67.95 ✓
01/11	BAV INN LODGE-HOTEL FRANKENMUTH MI <i>DPW-prof der.</i>	90.95 ✓
01/17	AMZN Mktp US*1347X0DK3 Amzn.com/bill WA <i>Go D tablet</i>	197.99 ✓
01/22	MEIJER # 172 877-363-4537 MI <i>DPW training</i>	128.56 ✓
01/23	MEIJER # 172 877-363-4537 MI <i>DPW training</i>	21.99 ✓
02/02	AMZN Mktp US*BG52W3U13 Amzn.com/bill WA <i>DPW office supplies</i>	113.25 ✓
02/04	RINGCENTRAL INC. 888-898-4591 CA <i>DPW office</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$116.95- INCLUDING PAYMENTS RECEIVED	66.02 -
01/06	MILAN SUPPLY COMPANY LLC 517-7030400 MI <i>mhog</i>	2,468.00 ✓
01/19	STAPLES 00107730 BRIGHTON MI <i>mhog</i>	242.99 ✓
01/23	MI SECTION AWWA 517-2922912 MI <i>DPW-prof der.</i>	145.00 ✓
01/26	FAMILY FARM & HOME #62 HOWELL MI <i>DPW safety</i>	164.27 ✓
02/01	SP DECKED STORAGE HTTPSPDECKEDTE DE <i>DPW truck #9</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 3767) \$4631.45	1,611.19 ✓
02/02	AMZN Mktp US Amzn.com/bill WA <i>101-900-975-000</i>	-1,425.59 ✗
01/12	AMZN Digital*EG19P7HZ3 888-802-3080 WA <i>101-261-751-000</i>	538.79 ✗
01/12	Amazon.com*O40W51P93 Amzn.com/bill WA <i>101-900-975-000</i>	1,069.99 ✗
01/12	AMZN Mktp US*L42WR4GB3 Amzn.com/bill WA <i>101-900-975-000</i>	1,425.59 ✗
01/13	MICHIGAN TOWNSHIPS ASS LANSING MI <i>101-247-910-000</i>	101.00 ✗
01/12	MICHIGAN TOWNSHIPS ASS LANSING MI <i>101-101-910-000 (both low)</i>	780.00 ✗
01/14	MACEO Austin TX <i>101-701-910-000</i>	60.00 ✗
01/12	MICHIGAN ASSOCIATION OF P 734-9132000 MI <i>101-701-910-000</i>	75.00 ✗
01/15	QUADIENT INC ORACLE 800-636-7678 CT <i>101-261-751-000</i>	309.70 ✗
01/20	Amazon.com*OK10L2R03 Amzn.com/bill WA <i>101-900-975-000</i>	2,139.98 ✗
01/19	AMZN Mktp US*Q119L35U3 Amzn.com/bill WA <i>101-900-975-000</i>	1,137.51 ✗
01/23	MICHIGAN TOWNSHIPS ASS LANSING MI <i>101-171-910-000</i>	55.00 ✗
01/23	MICHIGAN TOWNSHIPS ASS LANSING MI <i>Kelly 101-172-910-000</i> KELLY VANMARTER <i>Diana 101-101-910-000</i> TRANSACTIONS THIS CYCLE (CARD 4456) \$6376.97	110.00 ✗ <i>55.00</i>

2023 Totals Year-to-Date	
Total fees charged in 2023	\$0.00
Total interest charged in 2023	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	17.74%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	29.49%(v)(d)	- 0 -	- 0 -

INTEREST CHARGES (CONTINUED)

Your **Annual Percentage Rate (APR)** is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
BALANCE TRANSFERS			
Balance Transfer	17.74%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.



038100403804106754000200000000



	A	B	C	D	E
1		FUNDS TO REIMBURSE			
2		GENERAL FUNDS- DPW			
3		FISCAL YEAR 2022-2023			
4					
5		CHASE CARD 1/8/23 TO 2/7/23			
6					
7	ACCOUNT #	ACCOUNT NAME			AMOUNT
8					
9	101-900-975-000	CAPITAL OUTLAY			\$ 4,347.48
10	101-261-751-000	EQUIP/SOFTWARE/SOFTWARE MAINT			\$ 848.49
11	101-247-910-000	BOR-DEV/CONF/DUES			\$ 101.00
12	101-101-910-000	TRUSTEE-DEV/CONF/DUES			\$ 890.00
13	101-701-910-000	PLANNING ZONING- DEV/CONF/DUES			\$ 135.00
14	101-172-910-000	MANAGER-DEV/CONF/DUES			\$ 55.00
15					
16					
17					
18				TOTAL	\$ 6,376.97

**GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
February 20, 2023**

MINUTES

Supervisor Rogers called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Jean Ledford, Terry Croft, Diana Lowe, Robin Hunt, Paulette Skolarus, and Jim Mortensen. Also present were Planning Director Amy Ruthig, Township Attorney Joe Seward and 21 persons in the audience.

The Pledge of Allegiance was recited.

The call to the public was opened at 6:31 pm.

Ms. Katy Michalski of 7827 Spring Trace Road introduced herself as the new field representative for US Representative Elisa Slotkin. She has taken the place of Mona Shand and is available to help all constituents of the district.

The call to the public was closed at 6:33 pm.

Approval of Consent Agenda:

Moved by Ledford, supported by Lowe, to approve the Consent Agenda as presented. **The motion carried unanimously.**

1. Payment of Bills: February 20, 2023
2. Request to approve February 6, 2023 regular meeting minutes
3. Request Board approval to adjust the Refuse Special Assessment Roll, #X0012, and to adjust the 2022 Winter tax roll accordingly to remove parcel number 4711-03-402-131.
4. Request to approve a project agreement (job number 459.0060AW) with the Livingston County Road Commission to mill and repave approximately 1.01 miles of Chilson Road from the Township line to Brighton Road. The total project cost is \$640,000 with the Township's cost not to exceed \$320,000 and the Livingston County Road Commission paying the balance. The project is included in the proposed FY 23/24 Budget line item 401-446-812-001.

Regular Agenda

Moved by Lowe, supported by Hunt, to approve the Regular Agenda as presented. **The motion carried unanimously.**

5. Brighton Area Fire Authority update presented by Fire Chief, Mike O'Brien.

Fire Chief Mike O'Brien provided the Board with their 2022 Annual Report. He reviewed the statistics, which includes the number of calls, types of calls, response time, etc. He noted that BAFA's response for medical assistance has increased this year. They are continually training their staff. Additionally, they are part of the Mutual Aid Box Alarm System-Michigan, which is when fire departments assist others with fires and emergencies. They have opened their newest fire station on Weber Street in Brighton.

Chief O'Brien presented Board Member Jim Mortensen with a plaque recognizing his 23 years of service on the Brighton Area Fire Authority Board.

6. Sanitary Sewer and Water Utilities updated presented by Utility Director, Greg Tatara.

Dr. Greg Tatara presented the 2023 Department Update. They provide services to Genoa, Marion, Howell and Oceola Townships. He provided the history of the department; their organization chart; vehicles, equipment, and the infrastructure of the water and wastewater systems; budgets; projects that have been completed; proposed future projects and upgrades; new regulatory challenges, and awards received by the department as well as individual employees.

Supervisor Rogers stated ARPA funds will be used by this department to make necessary improvements and upgrades.

7. Public Hearing on the proposed Special Assessment Roll for the McNamara Subdivision Road Improvement Special Assessment Project (Summer 2023).
 - a. Call to the Property Owners
 - b. Call to the Public

The call to the property owners was made at 7:15 pm with no response.

The call to the public was made at 7:15 with no response.

8. Request for approval of Resolution #5 Confirming the Special Assessment Roll for the McNamara Subdivision Road Improvement Special Assessment Project (Summer 2023). (Roll Call)

Board Member Hunt stated this special assessment will begin on the July 1, 2023 summer tax bill. There will be two percent interest; however, it can be paid off early at any time. If a resident wants to avoid paying any interest, the payment is due June 1, 2023. Additionally, this special assessment is often required by lenders to be paid before a home is sold. It typically cannot transfer to a new mortgage.

Moved by Hunt, supported by Skolarus, to approve Resolution #5 Confirming the Special Assessment Roll for the McNamara Subdivision Road Improvement Special Assessment Project (Summer 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

9. Public Hearing on the proposed Baetcke Lake Aquatic Weed Control Project and Special Assessment District (Summer 2023).
 - a. Call to the Property Owners
 - b. Call to the Public

The call to the property owners was made at 7:18 pm.

Ms. Fran Rocheleau, the president of the Baetcke Lake Association, provided information as to why this weed control program is being done.

The call to the property owners was closed at 7:19 pm.

The call to the public was made at 7:19 pm with no response.

10. Request for approval of Resolution #3 Approving the Project Cost Estimates, Special Assessment District and causing the Special Assessment Roll to be prepared for the Baetcke Lake Aquatic Weed Control Special Assessment Project (Summer 2023). (Roll Call)

Moved by Mortensen, supported by Ledford, to approve Resolution #3 Approving the Project Cost Estimates, Special Assessment District and causing the Special Assessment Roll to be prepared for the Baetcke Lake Aquatic Weed Control Special Assessment Project (Summer 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

11. Request for approval of Resolution #4 Acknowledging the filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of Statutory Notices for the Baetcke Lake Aquatic Weed Control Special Assessment Project (Summer 2023). (Roll Call)

Moved by Lowe, supported by Croft, to approve Resolution #4 acknowledging the filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of

Statutory Notices for the Baetcke Lake Aquatic Weed Control Special Assessment Project (Summer 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

12. Public hearing and review of Fiscal Year 2023/2024 Budgets for funds 101, 202, 208, 212, 249, 401, and 464.
 - a. Call to the Public
 - b. Board Discussion

The call to the public was made at 7:22 pm with no response.

Ms. Hunt stated that Ms. VanMarter put a lot of effort into the budget; however, she was unable to attend tonight's meeting.

Mr. Mortensen stated the assumptions in the beginning were very helpful. He questioned the salaries of the Supervisor and the Treasurer. Also, the Township Manager is being shown as a salary of \$150,000 and that is more than the agreed salary. Ms. Hunt stated those are estimates and will be discussed further by the Board.

Supervisor Rogers advised the budget will be discussed further by the Board before it is adopted. He thanked Ms. Ruthig for attending tonight's meeting in Ms. VanMarter's absence.

13. Consideration of DPW Department request for approval of the Fiscal Year 2024 System Labor and Equipment Percentage Allocation, the Amended Utility Department Budget for Fiscal Year ending March 31, 2023, and the proposed Utility Department Budget for the Fiscal Year Ending March 31, 2024

Mr. Tatara provided a summary of the FY 2024 allocation, the amended FY 2023 budget and the proposed FY 2024 budget.

Moved by Hunt, supported by Skolarus, to approve the Fiscal Year 2024 System Labor and Equipment Percentage Allocation. **The motion carried unanimously.**

Moved by Hunt, supported by Skolarus, to approve the Amended Utility Department Budget for the Fiscal Year ending March 31, 2023. **The motion carried unanimously.**

Moved by Lowe, supported by Skolarus, to approve the proposed Utility Department Budget for the Fiscal Year Ending March 31, 2024. **The motion carried unanimously.**

14. Consider approval to amend the Fiscal Year 2023 and approve the Fiscal Year 2024 Operating Budgets for the Lake Edgewood Sewer System, the Oak Pointe Sewer System and the Oak Pointe Water System.

Dr. Tatara provided summaries of the FY 2023 and FY 2024 operating budgets for the three systems, including the reasons for the rate increases.

Moved by Ledford, supported by Croft, to amend the FY 2023 and approve the FY 2024 Operating Budgets for the Lake Edgewood Sewer System, the Oak Pointe Sewer System, and the Oak Pointe Water System. **The motion carried unanimously.**

- A. Consider approval of an increase to the Lake Edgewood Sewer metered charges from \$7.30 / 1,000 gallons to \$7.45 / 1,000 gallons and the flat rate sewer charge from \$142.80 / quarter to \$145.66 / quarter with all other rates and charges remaining the same.

Moved by Mortensen, supported by Lowe, to increase the Lake Edgewood Sewer metered charges from \$7.30 / 1,000 gallons to \$7.45 / 1,000 gallons and the flat rate sewer charge from \$142.80 / quarter to \$145.66 / quarter, with all other rates and charges remaining the same.

The motion carried unanimously.

- B. Consider approval of an increase to the Oak Pointe metered water charges from \$4.07 / 1,000 gallons to \$4.19 / 1,000 gallons with all other rates and charges remaining the same.

Moved by Mortensen, supported by Croft, to increase the Oak Pointe metered water charges from \$4.07 / 1,000 gallons to \$4.19 / 1,000 gallons, with all other rates and charges remaining the same. **The motion carried unanimously.**

- C. Consider approval to increase the Oak Pointe Sewer metered charges from \$6.75 / 1,000 gallons to \$6.89 / 1,000 gallons and the flat rate sewer charge from \$105.00 / quarter to \$107.00 / quarter, with all other rates and charges remaining the same.

Moved by Ledford, supported by Mortensen, to increase the Oak Pointe Sewer metered charges from \$6.75/1,000 gallons to \$6.89 / 1,000 gallons and the flat rate sewer charge from \$105.00 / quarter to \$107.00 / quarter, with all other rates and charges remaining the same. **The motion carried unanimously.**

- 15. Request for approval of Resolution #1 to Proceed with the Project and Direct Preparation of the Plans and Cost Estimates for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023). (Roll Call)

Moved by Ledford, supported by Lowe, to approve Resolution #1 to Proceed with the Project and Direct Preparation of the Plans and Cost Estimates for the East and West Crooked Lakes

Aquatic Weed Control Special Assessment Project (Summer 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

16. Request for approval of Resolution #2 to Approve the Project, Schedule the First Hearing, and Direct Issuance of Statutory Notices for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023) (Roll Call)

Moved by Ledford, supported by Skolarus, to approve Resolution #2 to Approve the Project, Schedule the First Hearing, and Direct Issuance of Statutory Notices for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023). **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

17. Consideration of a recommendation for approval and adoption of rezoning Ordinance No. Z-23-01, rezoning application and environmental impact assessment to rezone property at 7777 Bendix Road (parcel 11-13-200-012) from Office Service District (OSD) to Medium Density Residential (MDR). The property consists of approx. one acre of land and is located on the northwest corner of Bendix and Grand River Avenue. The request is petitioned by Justin Tobey.

- A. Disposition of Rezoning Ordinance Z-23-01 (Roll Call)
- B. Disposition of Environmental Impact Assessment. (11-21-22)

Ms. Jennifer Austin of Boss Engineering and Mr. Justin Tobey, the owner of the property, were present. Ms. Austin stated Mr. Tobey would like to build a five-unit apartment building. The property was previously zoned Medium Density Residential and the adjacent properties are consistent with this zoning district.

Ms. Hunt noted that Ms. Ruthig's review letter states that this zoning is compatible with the surrounding area.

Moved by Mortensen, supported by Lowe, to approve and adopt Ordinance No. Z-23-01. The proposed amendment to the zoning map is consistent with Section 22.04 of the Township Zoning Ordinance and the request is anticipated to be compatible with the existing and planned uses in the surrounding area. **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes).**

Moved by Hunt, supported by Croft, to approve the Environmental Impact Assessment dated November 21, 2022 for 7777 Bendix Road (Parcel 4711-13-200-012) as submitted. **The motion carried unanimously**

18. Consideration of a recommendation for approval and adoption of rezoning ordinance number Z-23-02, rezoning application and impact assessment to remove the Town Center Overlay District from the following 42 parcels:

11-10-400-003	11-10-400-02	11-10-400-034	11-10-401-046
11-11-300-008	11-11-300-019	11-11-305-015	11-14-100-004
11-10-400-004	11-10-400-025	11-10-401-013	11-10-401-047
11-11-300-009	11-11-300-020	11-11-305-017	11-14-100-007
11-10-400-007	11-10-400-028	11-10-401-043	11-11-300-002
11-11-300-011	11-11-304-012	11-11-305-020	11-14-100-008
11-10-400-018	11-10-400-030	11-10-401-044	11-11-300-003
11-11-300-012	11-11-304-013	11-11-305-023	11-14-100-011
11-10-400-019	11-10-400-033	11-10-401-045	11-11-300-004
11-11-300-013	11-11-305-010	11-14-100-001	11-14-100-012
11-15-200-005	11-15-200-018		

The request encompasses approximately 101.61 acres surrounding the intersection of Grand River Avenue and Dorr Road. The request is petitioned by Genoa Charter Township.

- A. Disposition of Rezoning Ordinance Z-23-02 (Roll Call)
- B. Disposition of Environmental Impact Assessment. (1-5-23)

Ms. Ruthig advised that her review memo stated the Livingston County Planning Commission had recommended approval of this; however, they tabled the item as they were requesting more information. Mr. Rogers has spoken to the Chairperson and provided the information.

Ms. Ledford would like to table the item this evening until the County has approved it.

Moved by Croft, supported by Skolarus, to approve and adopt Ordinance No. Z-23- 02 for the removal of the Town Center Overlay District from 42 parcels as listed in the Ordinance. **The motion carried with a roll call vote (Ledford - no, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - no, and Rogers - yes)**

Moved by Hunt, supported by Lowe, to approve the Environmental Impact Assessment dated January 5, 2023 for the removal of the Town Center Overlay District from 42 parcels. **The motion carried unanimously.**

19. Request for approval of Resolution #1 to Proceed with the Project and Direct Preparation of the Plans and Cost Estimates for the Lake Chemung Aquatic Weed Control Special Assessment Project. (Roll Call)

Supervisor Rogers made a call to the public at 7:58 pm.

Ms. Ginny Himich of 1125 Sunrise Park Drive Howell, stated she is in support of the renewal of the SAD because the lake needs treatment; however, she is concerned with the contractor that

was selected by the association. She knows that it is the purview of the association of which contractor is used and not the Township; however, she would like the Township to request that the association hire an independent contractor to ensure that the treatment is working properly and the overall health of the waterway is improving. She is concerned because PLM handles both the lake management and lake treatment and they have never been to the lake.

Supervisor Rogers advised Ms. Himich that the Township is only paying the contractor at the request of the association and cannot require an independent contractor. The Township is familiar with PLM as they have treated other lakes in the Township.

Mr. Ty Cole of 1115 Norfolk Drive, the president of the lake association, stated they interviewed various contractors. The weeds were getting worse over the years. They believe PLM is a reputable company.

The call to the public was closed at 8:08 pm.

Moved by Hunt, supported by Skolarus, to approve Resolution #1 to Proceed with the Project and Direct Preparation of the Plans and Cost Estimates for the Lake Chemung Aquatic Weed Control Special Assessment Project. **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

20. Request for approval of Resolution #2 to Approve the Project, Schedule the First Hearing, and Direct Issuance of Statutory Notices for the Lake Chemung Aquatic Weed Control Special Assessment Project. (Roll Call)

Ms. Hunt stated this assessment will be on the Winter 2024 tax roll.

Moved by Lowe, supported by Mortensen, to approve Resolution #2 to Approve the Project, Schedule the First Hearing, and Direct Issuance of Statutory Notices for the Lake Chemung Aquatic Weed Control Special Assessment Project. **The motion carried unanimously with a roll call vote (Ledford - yes, Croft - yes, Hunt - yes, Lowe - yes, Mortensen - yes, Skolarus - yes, and Rogers - yes)**

Member Discussion

Supervisor Rogers noted that the ARPA funds will be used for broadband as well as improvements and upgrades to the utilities.

Ms. Skolarus would like the Board to pay for a new device to help her hear better during the meetings. Supervisor Rogers advised her to work with IT to purchase a new one.

Genoa Charter Township Board Meeting
February 20, 2023
Unapproved Minutes

Supervisor Rogers provided the Board with a list of the Brighton Area Chamber of Commerce's events this year, most of which will be moved to the Mt. Brighton property because of the construction occurring on Main Street this summer.

Adjournment

Moved by Lowe, supported by Ledford, to adjourn the meeting at 8:17 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved:

Paulette Skolarus, Clerk
Genoa Charter Township

Bill Rogers, Supervisor
Genoa Charter Township

**Resolution No. 5 – Baetcke Lake Aquatic Weed Control
Special Assessment Project (Summer 2023)**

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at the Township Hall on March 6, 2023, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

Resolution Confirming Special Assessment Roll

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Baetcke Lake Aquatic Weed Control Improvement Project within the Township as described in Exhibit A (the “Project”) and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled Special Assessment Roll for Baetcke Lake Aquatic Weed Control Improvement Project (Summer 2023) (the “Proposed Roll”) and has filed the Proposed Roll with the Township Manager and Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the Proposed Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the Proposed Roll on March 6, 2023.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Roll Confirmed. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Baetcke Lake Aquatic Weed Control Improvement Project (Summer 2023) (the “Roll”) (Exhibit B).

2. Future Installments - Principal. The Township Board determines that each special assessment may be paid in five installments. The first installment shall be due July 1, 2023.

3. Future Installments - Interest. All unpaid installments shall not bear interest.

4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit C to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this resolution, the Clerk's warrant and the statutes of the State of Michigan.

5. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are repealed to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the March 6, 2023 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A – THE PROJECT

**BAETCKE LAKE AQUATIC WEED CONTROL PROJECT (SUMMER 2023)
DESCRIPTION OF PROJECT
A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS
FOLLOWS:**

- A special assessment district for the purpose of aquatic weed control including a 5-year treatment for targeted plants using systemic herbicides such as 2, 4-D and/or Triclopyr or contact herbicides, treatment of pondweeds and algae using contact herbicides and algaecides, treatment for lilies and other emergent plants as permit, 40' X 40' near docks and beaches plus boat paths using systemic herbicides, glyphosate and/or flumiozazin for the riparian property owners of Baetcke Lake.
- 5-year project with the following per year allocation:
Year 1 - \$7,000, Year 2 - \$7,000, Year 3 - \$7,250, Year 4 - \$7,250, Year 5 - \$7,500
- Total number of parcels: 31
- Homeowners representing over 50% of property have signed petitions.
- The assessment is being considered for the Summer 2023 tax roll.
- Total Project Cost:

BAETCKE LAKE AQUATIC WEED CONTROL PROJECT (SUMMER 2023)	
PROJECT COST	\$36,000
ADMINISTRATION FEES	\$2,000
TOTAL PROJECT COST:	\$38,000

- Total Cost Per Parcel:

YEAR	PAYMENT TO PRINCIPAL	OUTSTANDING BALANCE
2023	\$ 245.16	\$ 980.65
2024	\$ 245.16	\$ 735.49
2025	\$ 245.16	\$ 490.33
2026	\$ 245.16	\$ 245.17
2027	\$ 245.17	\$ -
	\$ 1,225.81	

EXHIBIT B - SPECIAL ASSESSMENT ROLL FOR THE BAETCKE LAKE AQUATIC WEED CONTROL PROJECT

02/10/2023

Tentative Special Assessment Listing for GENOA TOWNSHIP

Page: 1/2

04:06 PM

Population: BLOCK: X20623 - X20623

INDEX: SP ASSESSMENT CODE

DB: Genoa

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-26-301-047	X20623, Baetcke Lake	1,225.81	COUSINO, LAWRENCE & ALONDA 6465 FOREST BEACH DR
4711-26-301-042	X20623, Baetcke Lake	1,225.81	BRANDT RICHARD & LOUISE LIFE ESTATE 6425 FOREST BEACH DR
4711-26-301-027	X20623, Baetcke Lake	1,225.81	MATT JASON 6578 FOREST BEACH DR
4711-26-301-026	X20623, Baetcke Lake	1,225.81	DENKHAUS DAVID & DIANE REV TRUST 7879 BRIGHTON RD
4711-26-100-004	X20623, Baetcke Lake	1,225.81	ROCHELEAU FAMILY TRUST 6565 FOREST BEACH DR
4711-26-100-011	X20623, Baetcke Lake	1,225.81	HARRIS MITCH & MELINDA LIFE ESTATE 211 N 1ST ST
4711-26-100-030	X20623, Baetcke Lake	1,225.81	LISIECKI, PETER & JACQUELINE 4453 SUMMER HL
4711-26-300-005	X20623, Baetcke Lake	1,225.81	IZANT CHARLES L & LISA RLT 6275 BRIGHTON RD
4711-26-300-017	X20623, Baetcke Lake	1,225.81	DARNELL, RICHARD & MARILYN 6265 BRIGHTON RD
4711-26-300-018	X20623, Baetcke Lake	1,225.81	IZANT CHARLES & LISA RLT 6275 BRIGHTON RD
4711-26-301-050	X20623, Baetcke Lake	1,225.81	THEISEN THOMAS & MARTHA FAM TRUST 6723 SUNSET DR
4711-26-300-024	X20623, Baetcke Lake	1,225.81	GRASSIE CHARLES TRUST 4797 BRIGHTON OAKS TRL
4711-26-300-034	X20623, Baetcke Lake	1,225.81	PRATT, KEITH & TERRY 4719 SUMMER HL
4711-26-300-037	X20623, Baetcke Lake	1,225.81	CROSKEY, FRANK J. & JANICE G 5850 HARTFORD WAY
4711-26-300-039	X20623, Baetcke Lake	1,225.81	MEISLING TRUST 4627 SUMMER HL
4711-26-300-040	X20623, Baetcke Lake	1,225.81	MULDER SCOTT & SARAH 4535 SUMMER HL
4711-26-301-001	X20623, Baetcke Lake	1,225.81	LUZOD ANDREW & MARLENE 4798 NARROW TRL
4711-26-301-002	X20623, Baetcke Lake	1,225.81	STANAWAY, RONALD 4790 NARROW TRL
4711-26-301-003	X20623, Baetcke Lake	1,225.81	WILK ROBERT & JANETTE 4770 NARROW TRL
4711-26-301-004	X20623, Baetcke Lake	1,225.81	BRANDT MICHAEL 6405 FOREST BEACH DR
4711-26-301-013	X20623, Baetcke Lake	1,225.81	THOMAS KATHRYN & FABIAN DAVID 6471 FOREST BEACH DR
4711-26-301-015	X20623, Baetcke Lake	1,225.81	MORGAN MICHAEL G JR 6483 FOREST BEACH DR
4711-26-301-016	X20623, Baetcke Lake	1,225.81	BOTICA JOHN & EMILY 6489 FOREST BEACH DR
4711-26-301-017	X20623, Baetcke Lake	1,225.81	WAGGONER TRUST 6495 FOREST BEACH DR
4711-26-301-018	X20623, Baetcke Lake	1,225.81	DENKHAUS DAVID & DIANE REV TRUST 7879 BRIGHTON RD
4711-26-301-019	X20623, Baetcke Lake	1,225.81	MYERS JOHN & WENDY LTS 9.3 6505 FOREST BEACH DR
4711-26-301-020	X20623, Baetcke Lake	1,225.81	OBERLIESEN ARLEEN & ERIC 6511 FOREST BEACH DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-26-301-021	X20623, Baetcke Lake	1,225.81	MICHAEL, PATRICK & JENNIFER 6517 FOREST BEACH DR
4711-26-301-022	X20623, Baetcke Lake	1,225.81	FOX ADAM 6525 FOREST BEACH DR
4711-26-301-023	X20623, Baetcke Lake	1,225.81	NELSON BRICE & CARRIE REV TRUST 6535 FOREST BEACH DR
4711-26-301-024	X20623, Baetcke Lake	1,225.81	NELSON BRICE & CARRIE REV LIV TRUST 6535 FOREST BEACH DR
# OF PARCELS: 31	TOTALS:	38,000.11	

EXHIBIT C – WARRANT

**Baetcke Lake Aquatic Weed Control
Special Assessment Project (Summer 2023)**

WARRANT

TO: Esteemed Treasurer
Genoa Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the special assessment roll for the Genoa Township Baetcke Lake Aquatic Weed Control Road Improvement Project (Summer 2023) (the "Roll") confirmed by the Township Board on March 6, 2023 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such Roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Paulette A. Skolarus,

Genoa Charter Township Clerk

**Resolution No. 3 – East and West Crooked Lakes Aquatic Weed Control
Special Assessment Project (Summer 2023)**

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the “Township”) held at the Township Hall on March 6, 2023, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____:

**Resolution Approving Project, Cost Estimates, Special Assessment
District and Causing the Special Assessment Roll to be Prepared**

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township;

WHEREAS, the Township Board has tentatively determined to proceed with the Project as described in Exhibit A and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, The Board of Trustees of the Township has declared its intention to make the improvement and tentatively designated the special assessment district against which the cost of the improvement is to be assessed is described in Exhibit B.

WHEREAS, on March 6, 2023 a public hearing was held to hear any objections to the petition, to the improvement and to the special assessment district and notice of the hearing was provided pursuant to the requirements of Act No 188, Michigan Public Acts of 1954, as amended;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board approves the completion of the Project and approves the plans and cost estimates for the Project, which are on file with the Township Manager and which are identified as “Plans and Cost Estimates for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023).”
2. The Township Board approves the sufficiency of the Petition for the improvement.
3. The Township Board determines that the Special Assessment District for the Project shall consist of the parcels identified in Exhibit B. The term of the Special Assessment District shall be for five-years.
4. The Township Board has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;
5. The Township Supervisor is directed to prepare the Special Assessment Roll for the Special Assessment District identified in Exhibit B. The Special Assessment Roll shall describe all the parcels of land to be assessed with the names of the respective record owners of each parcel, if known, and the total amount to be assessed against each parcel of land. When the Township Supervisor completes the Special Assessment Roll, he shall affix his certificate to the roll stating that the roll was made pursuant to a resolution of the

Township Board adopted on a specified date, and that in making the assessment roll the supervisor, according to his or her best judgment, has conformed in all respects to the directions contained in the resolution and the statutes of the State of Michigan.

5. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the March 6, 2023 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Township Clerk

EXHIBIT A

EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL PROJECT

DESCRIPTION OF PROJECT A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the “Project”) will consist of:

- Aquatic Management Program proposed by PLM Lake and Land Management Corp.
- Annual permits with State of Michigan Department of Environment, Great Lakes and Energy (EGLE).
- Technical Services of Aquatic Vegetation Assessment Surveying and Water Quality Monitoring in both spring and fall.
- Township Administrative Costs.
- Focused management for the control of exotic species (Eurasian watermilfoil, Curlyleaf pondweed & Starry stonewort), with limited control of nuisance native plants, such as native pondweeds and algae.
- Products to be applied: Restrictive products such as Diquat, Aquathol K, Hydrothol 191, Sculpin & Renovate as well as nonrestrictive products such as copper sulfate & chelated copper product.
- Methods of Control: Sculpin (2,4-D) and Renovate OTF are granular systemic herbicides that are taken up in the root system of the plant to provide for longer-term control of Eurasian watermilfoil (EWM). Renovate 3 is a liquid systemic herbicide. Systemic herbicides, although cost more on a per acre basis, can provide for extended control of EWM. Aggressive management using Renovate OTF and/or Navigate can reduce overall coverage of EWM and return the ecosystem to a more stable environment. Contact herbicides (Diquat, Aquathol K, Hydrothol 191) provide faster results however results tend to be shorter term. These products are also used in the control of Curlyleaf pondweed. Wild celery is best controlled with Nautique at high rates from mid-July to late August. Starry stonewort control is best achieved using directed copper sulfate, chelated copper or flumioxazin applications as soon as the starry stonewort is visible and through repeated treatments.
- Methods of Application: Products are applied out of Airboats or flat-bottom Carolina Skiffs that are designed for surface and subsurface aqueous applications. The boats are also equipped with mounted spreaders for granular applications
- Projects costs breakdown as follows:

EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL 2023-2027 (Summer tax)	
5 YEAR PROJECT COSTS*	\$ 77,745.00
5 YEAR PERMIT COSTS **	\$ 8,500.00
TOWNSHIP ADMINISTRATION COSTS	\$ 4,000.00
TOTAL 5 YEAR SAD COST	\$ 90,245.00
TOTAL ANNUAL SAD COST	\$ 18,049.00
TOTAL 5 YEAR COST PER PARCEL (446 PARCELS)	\$ 202.34
ANNUAL COST PER PARCEL	\$ 40.47

* Project cost is for 5 year project with the following per year allocation: Year 1 - \$15,000, Year 2 - \$15,000, Year 3 - \$15,450, Year 4 - \$15,910, Year 5 - \$16,385

** Permit costs estimated at \$850.00 per lake per year. (((\$850 x 2 lakes = \$1700 x 5 years = \$8500)

EXHIBIT B – THE DISTRICT

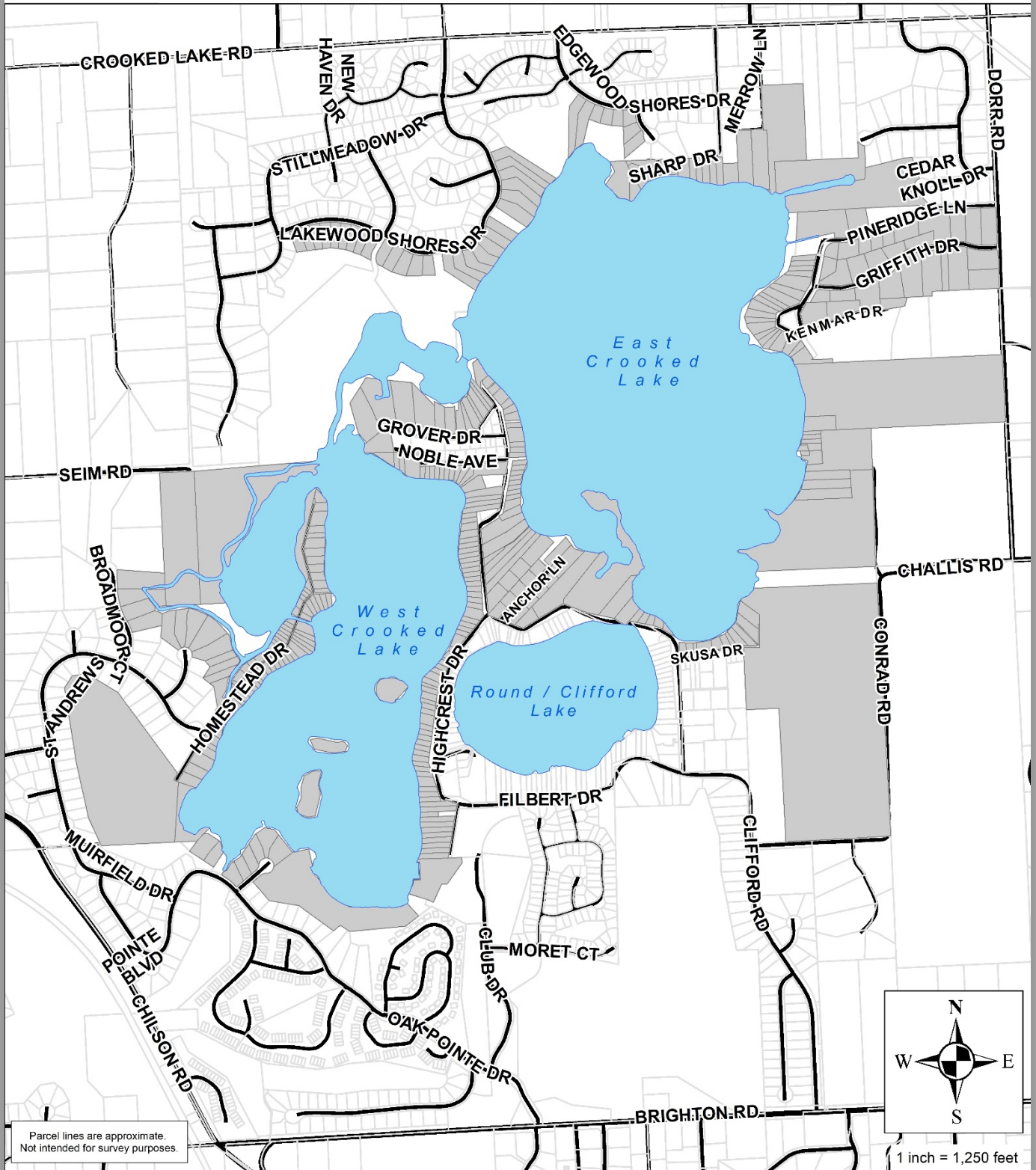
The Project (**EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL PROJECT (SUMMER 2023)**) is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included below) and includes the specific properties that are identified by the following permanent parcel numbers:

11-21-201-007	11-22-200-037	11-22-302-017	11-22-302-194	11-28-100-014	11-28-202-033	11-28-406-052
11-21-201-008	11-22-201-001	11-22-302-018	11-22-302-195	11-28-100-015	11-28-202-034	11-28-406-053
11-21-201-009	11-22-201-002	11-22-302-036	11-22-302-196	11-28-100-023	11-28-202-035	11-28-406-054
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11-21-201-062	11-22-201-027	11-22-302-052	11-22-303-011	11-28-200-001	11-28-404-014	11-28-202-013
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11-21-201-065	11-22-201-033	11-22-302-056	11-22-400-002	11-28-201-001	11-28-406-003	11-28-202-016
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11-21-401-002	11-22-202-018	11-22-302-156	11-27-100-014	11-28-201-038	11-28-406-029	11-22-302-190
11-21-401-004	11-22-202-020	11-22-302-157	11-27-100-016	11-28-201-042	11-28-406-030	11-22-302-191
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11-22-100-021	11-22-301-010	11-22-302-175	11-27-101-028	11-28-202-004	11-28-406-046	11-22-102-137
11-22-100-022	11-22-301-015	11-22-302-176	11-27-101-029	11-28-202-005	11-28-406-047	11-22-102-138
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11-22-102-134	11-22-302-002	11-22-200-017	11-22-200-026	11-22-200-029		

(See next page for district map)

East / West Crooked Lakes Aquatic Weed Control Special Assessment District Renewal



**Resolution No. 4 – East and West Crooked Lakes Aquatic Weed Control
Special Assessment Project (Summer 2023)**

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at the Township Hall on March 6, 2023, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and supported by _____:

**Resolution Acknowledging the Filing of the Special
Assessment Roll, Scheduling the Second Hearing,
and Directing the Issuance of Statutory Notices**

WHEREAS, the Board of Trustees of the Township has determined to proceed with the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023) within the Township as described in Exhibit A (the “Project”) and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled “Special Assessment Roll for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023) (Exhibit B) and has filed the Proposed Roll with the Township Manager and Township Clerk;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board acknowledges that the Township Supervisor has filed the Proposed Roll with the Township Manager and Township Clerk.
2. The Township Board acknowledges that the Township Supervisor has certified that (a) the Proposed Roll was prepared in accordance with the direction of the Township Board and (b) the Proposed Roll was prepared in accordance with the laws of the State of Michigan. (Exhibit C)
3. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing to review and hear objections on the Proposed Roll.
4. The second public hearing will be held on Monday, March 20, 2023 at 6:30 p.m. at the offices of Genoa Charter Township, Livingston County, Michigan.
5. The Township Manager is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the

last Township tax assessment records. The last Township tax assessment records means the last assessment roll for ad valorem tax purposes which has been reviewed by the Township Board of Review, as supplemented by any subsequent changes in the names or addresses of such owners or parties listed thereon. The notice to be mailed by the Township Manager shall be similar to the notice attached as Exhibit D and shall be mailed by first class mail on or before March 9, 2023. Following the mailing of the notices, the Township Manager shall complete an affidavit of mailing similar to the affidavit set forth in Exhibit E.

6. The Township Manager is directed to publish a notice of the public hearing in the Livingston County Daily Press & Argus, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before March 10, 2023 and March 17, 2023. The notice shall be in a form substantially similar to the notice attached as Exhibit D.

7. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the March 6, 2023 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A

EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL PROJECT

**DESCRIPTION OF PROJECT
A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:**

The project (the “Project”) will consist of:

- Aquatic Management Program proposed by PLM Lake and Land Management Corp.
- Annual permits with State of Michigan Department of Environment, Great Lakes and Energy (EGLE).
- Technical Services of Aquatic Vegetation Assessment Surveying and Water Quality Monitoring in both spring and fall.
- Township Administrative Costs.
- Focused management for the control of exotic species (Eurasian watermilfoil, Curlyleaf pondweed & Starry stonewort), with limited control of nuisance native plants, such as native pondweeds and algae.
- Products to be applied: Restrictive products such as Diquat, Aquathol K, Hydrothol 191, Sculpin & Renovate as well as nonrestrictive products such as copper sulfate & chelated copper product.
- Methods of Control: Sculpin (2,4-D) and Renovate OTF are granular systemic herbicides that are taken up in the root system of the plant to provide for longer-term control of Eurasian watermilfoil (EWM). Renovate 3 is a liquid systemic herbicide. Systemic herbicides, although cost more on a per acre basis, can provide for extended control of EWM. Aggressive management using Renovate OTF and/or Navigate can reduce overall coverage of EWM and return the ecosystem to a more stable environment. Contact herbicides (Diquat, Aquathol K, Hydrothol 191) provide faster results however results tend to be shorter term. These products are also used in the control of Curlyleaf pondweed. Wild celery is best controlled with Nautique at high rates from mid-July to late August. Starry stonewort control is best achieved using directed copper sulfate, chelated copper or flumioxazin applications as soon as the starry stonewort is visible and through repeated treatments.
- Methods of Application: Products are applied out of Airboats or flat-bottom Carolina Skiffs that are designed for surface and subsurface aqueous applications. The boats are also equipped with mounted spreaders for granular applications
- Projects costs breakdown as follows:

EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL 2023-2027 (Summer tax)	
5 YEAR PROJECT COSTS*	\$ 77,745.00
5 YEAR PERMIT COSTS **	\$ 8,500.00
TOWNSHIP ADMINISTRATION COSTS	\$ 4,000.00
TOTAL 5 YEAR SAD COST	\$ 90,245.00
TOTAL ANNUAL SAD COST	\$ 18,049.00
TOTAL 5 YEAR COST PER PARCEL (446 PARCELS)	\$ 202.34
ANNUAL COST PER PARCEL	\$ 40.47

* Project cost is for 5 year project with the following per year allocation: Year 1 - \$15,000, Year 2 - \$15,000, Year 3 - \$15,450, Year 4 - \$15,910, Year 5 - \$16,385

** Permit costs estimated at \$850.00 per lake per year. (((\$850 x 2 lakes = \$1700 x 5 years = \$8500)

EXHIBIT B - ASSESSMENT ROLL FOR EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL PROJECT (SUMMER 2023)

02/21/2023
02:46 PM

Tentative Special Assessment Listing for GENOA TOWNSHIP
Population: Special Assessment District (X022023)

Page: 1/17
DB: Genoa

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-21-207-007	X022023, E/W Crooked	202.35	
4711-21-201-008	X022023, E/W Crooked	202.35	DAHM, WINFRIED & SUZANNE 3255 LAKEWOOD SHORES DR
4711-21-201-009	X022023, E/W Crooked	202.35	MYKOLS, DAVID T. & JENNIFER 3267 LAKEWOOD SHORES DR
4711-21-201-010	X022023, E/W Crooked	202.35	BOWMAN BARRIE TRUST 3279 LAKEWOOD SHORES DR
4711-21-201-011	X022023, E/W Crooked	202.35	BARKMEIER JOSEPH & TICE ANNE LTS 660 DURION CT
4711-21-201-055	X022023, E/W Crooked	202.35	MAYDAY BRIAN & RENEE 3309 LAKEWOOD SHORES DR
4711-21-201-056	X022023, E/W Crooked	202.35	OWENS JOHN & ASKARI EMILIA 3345 LAKEWOOD SHORES DR
4711-21-201-057	X022023, E/W Crooked	202.35	DUFF, GREGORY & LORI 3363 LAKEWOOD SHORES DR
4711-21-201-058	X022023, E/W Crooked	202.35	JEWETT CHRISTINE & JOSHUA 3381 LAKEWOOD SHORES DR
4711-21-201-059	X022023, E/W Crooked	202.35	VARGOVICK DANIEL & MAUREEN 3399 LAKEWOOD SHORES DR
4711-21-201-060	X022023, E/W Crooked	202.35	SUKOSKY DAVID & JANE 3417 LAKEWOOD SHORES DR
4711-21-201-061	X022023, E/W Crooked	202.35	ACEVEDO DULCE 3435 LAKEWOOD SHORES DR
4711-21-201-062	X022023, E/W Crooked	202.35	WARNER, ANDREW & MARY 3453 LAKEWOOD SHORES DR
4711-21-201-063	X022023, E/W Crooked	202.35	HAPPENHOFER WERNER & WU XINYU 3489 LAKEWOOD SHORES DR
4711-21-201-064	X022023, E/W Crooked	202.35	RUSSELL JEFFREY F TRUST 3507 LAKEWOOD SHORES DR
4711-21-201-065	X022023, E/W Crooked	202.35	RICHARDSON, WM. & DAWN 3525 LAKEWOOD SHORES DR
4711-21-201-066	X022023, E/W Crooked	202.35	BESKOW NATHAN & ANGELA 3553 LAKEWOOD SHORES DR
4711-21-201-067	X022023, E/W Crooked	202.35	LAUTZENHEISER JULEE & DRENTH JASEN 3561 LAKEWOOD SHORES DR
4711-21-201-068	X022023, E/W Crooked	202.35	MULLIGAN SEAN & LAURA 3579 LAKEWOOD SHORES DR
4711-21-201-069	X022023, E/W Crooked	202.35	SAWAYA SCOTT & KARA 3597 LAKEWOOD SHORES DR
4711-21-201-070	X022023, E/W Crooked	202.35	MEDAWAR CATHERINE 3615 LAKEWOOD SHORES DR
4711-21-201-071	X022023, E/W Crooked	202.35	FINK MATTHEW & CARA 3633 LAKEWOOD SHORES DR
4711-21-201-072	X022023, E/W Crooked	202.35	LINDNER CRAIG & CHERYL LTS 9.3 3651 LAKEWOOD SHORES DR
4711-21-201-073	X022023, E/W Crooked	202.35	LITERSKI, EDWIN & CATHY 3669 LAKEWOOD SHORES DR
4711-21-201-074	X022023, E/W Crooked	202.35	SUFFREDINI ROLANDO & VIOLET LTS 9.3 3687 LAKEWOOD SHORES DR
4711-21-201-075	X022023, E/W Crooked	202.35	CLISE TIMOTHY B & WENDY E 3705 LAKEWOOD SHORES DR
4711-21-201-076	X022023, E/W Crooked	202.35	SCHULTE CHARLES 3723 LAKEWOOD SHORES DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-21-300-014	X022023, E/W Crooked	202.35	PETERSON COREY & TAYLOR 4460 SEIM RD
4711-21-301-001	X022023, E/W Crooked	202.35	LEONARD CHRISTOPHER W & JEANNE M 4029 BROADMOOR CT
4711-21-301-009	X022023, E/W Crooked	202.35	MCCREARY WILLIAM & MARIANNE LTS 9.3 3979 BROADMOOR CT
4711-21-301-010	X022023, E/W Crooked	202.35	SPENSLEY CHRISTOPHER & LEAH RLT 4015 BROADMOOR CT
4711-21-400-005	X022023, E/W Crooked	202.35	POWROZEK BRYAN & REBECCA 5001 GROVER DR
4711-21-400-006	X022023, E/W Crooked	202.35	GRAHAM, KEITH/KAREN 4965 GROVER DR
4711-21-400-011	X022023, E/W Crooked	202.35	WATTS NICHOLAS 4800 GROVER DR
4711-21-400-012	X022023, E/W Crooked	202.35	WHITE FAMILY TRUST 4489 OAK POINTE DR
4711-21-400-013	X022023, E/W Crooked	202.35	WHITE FAMILY TRUST 4489 OAK POINTE DR
4711-21-400-014	X022023, E/W Crooked	202.35	GILLIGAN JR JAMES 4801 GROVER DR
4711-21-400-020	X022023, E/W Crooked	202.35	EATON ADAM & KATIE 4828 GROVER DR
4711-21-400-021	X022023, E/W Crooked	202.35	KERR, DONALD D. & CAROLYN J. 4540 SEIM RD
4711-22-200-037	X022023, E/W Crooked	202.35	ADAMCZYK THOMAS & LAUREN 3311 MERROW LANE
4711-22-201-001	X022023, E/W Crooked	202.35	SCHMIDA LAWRENCE F LIVING TRUST 3385 PINERIDGE LN
4711-22-201-002	X022023, E/W Crooked	202.35	ANTON BRIAN & SHERRY JRLT 5630 GRIFFITH DR
4711-22-201-003	X022023, E/W Crooked	202.35	LESLEY REVOCABLE JOINT TRUST 5680 GRIFFITH DR
4711-22-201-004	X022023, E/W Crooked	202.35	JACKSON, DENNIS & CHERYL 5730 GRIFFITH DR
4711-22-201-011	X022023, E/W Crooked	202.35	MCRORIE MICHAEL 3430 DORR RD
4711-22-201-012	X022023, E/W Crooked	202.35	KERESZTES-FISCHER, FRANK 5859 GRIFFITH DR
4711-22-201-019	X022023, E/W Crooked	202.35	REDMOND TRUST 5755 GRIFFITH DR
4711-22-201-020	X022023, E/W Crooked	202.35	WALTER, MATTHEW D. & EMILY A. 5735 GRIFFITH DR
4711-22-201-022	X022023, E/W Crooked	202.35	WARREN SEAN & MONIQUE 5655 GRIFFITH DR
4711-22-201-025	X022023, E/W Crooked	202.35	BLONDY ELIZABETH 5625 GRIFFITH DR
4711-22-201-026	X022023, E/W Crooked	202.35	SUREL MARK & JENNIFER 3333 PINERIDGE LN
4711-22-201-027	X022023, E/W Crooked	202.35	DUBY MICHAEL 5600 PINERIDGE LN
4711-22-201-031	X022023, E/W Crooked	202.35	ANDRUS MARK S & LISA E 5920 PINERIDGE LN
4711-22-201-032	X022023, E/W Crooked	202.35	WORKMAN REVOCABLE LIVING TRUST 5730 PINERIDGE LN

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-201-033	X022023, E/W Crooked	202.35	PRIEST DONALD 5601 PINERIDGE LN
4711-22-201-034	X022023, E/W Crooked	202.35	RASOR, JOHN & MICHELLE 5655 PINERIDGE LN
4711-22-201-036	X022023, E/W Crooked	202.35	HICKS GEORGE & PAMELA 5944 GRIFFITH DR
4711-22-201-038	X022023, E/W Crooked	202.35	WESTRAN BRENNEN 5801 GRIFFITH DR
4711-22-201-039	X022023, E/W Crooked	202.35	HARMAN, MICHAEL & DARCEE 5656 PINERIDGE LN
4711-22-201-041	X022023, E/W Crooked	202.35	MCBRIDE MARK & JULIA 5786 GRIFFITH DR
4711-22-201-042	X022023, E/W Crooked	202.35	MC GILL, ANTHONY D. & TRACY L. 5830 GRIFFITH DR
4711-22-201-045	X022023, E/W Crooked	202.35	BISKUP MARY SUSAN TRUST 3466 DORR RD
4711-22-201-046	X022023, E/W Crooked	202.35	RASOR, JOHN & MICHELE 5655 PINERIDGE LN
4711-22-201-048	X022023, E/W Crooked	202.35	MC GILL, ANTHONY D. & TRACY L. 5830 GRIFFITH DR
4711-22-201-049	X022023, E/W Crooked	202.35	DECOE WILLIAM & FRANCOISE 5844 GRIFFITH DR
4711-22-201-052	X022023, E/W Crooked	202.35	HATT RALPH & DEBORAH 5704 PINERIDGE LN
4711-22-201-055	X022023, E/W Crooked	202.35	HEUVELMAN JACK & JUDITH TRUST 5778 PINERIDGE LN
4711-22-201-056	X022023, E/W Crooked	202.35	HARRIS JON & SHANNON 5835 GRIFFITH DR
4711-22-202-003	X022023, E/W Crooked	202.35	NATIONS LYNDA 3580 PINERIDGE LN
4711-22-202-004	X022023, E/W Crooked	202.35	MARTZ, KENNETH & CAROLE 3566 PINERIDGE LN
4711-22-202-006	X022023, E/W Crooked	202.35	PETTENGILL, PRISCILLA A-TRUSTE 608 W MAIN ST
4711-22-202-008	X022023, E/W Crooked	202.35	BAKUN, RONALD A. 3530 PINERIDGE LN
4711-22-202-009	X022023, E/W Crooked	202.35	ROUSSELO TREASURE 3520 PINERIDGE LN
4711-22-202-010	X022023, E/W Crooked	202.35	MUSCH, ROBERT & DIANE 3500 PINERIDGE LN
4711-22-202-011	X022023, E/W Crooked	202.35	MUSCH ROBERT & DIANE 3500 PINERIDGE LN
4711-22-202-013	X022023, E/W Crooked	202.35	SIVAK THOMAS TRUSTEE 3480 PINERIDGE LN
4711-22-202-014	X022023, E/W Crooked	202.35	SLIDER RALPH & MARY 9903 DORNOCH TRL
4711-22-202-016	X022023, E/W Crooked	202.35	BALAGNA, MICHAEL & YVONNE 3450 PINERIDGE LN
4711-22-302-017	X022023, E/W Crooked	202.35	BEDERKA SCOTT 3783 HIGHCREST DR
4711-22-302-018	X022023, E/W Crooked	202.35	PAGE MICHAEL & PEGGY 3793 HIGHCREST DR
4711-22-302-036	X022023, E/W Crooked	202.35	WILK COTTAGE LLC 4770 NARROW TRL

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-302-037	X022023, E/W Crooked	202.35	MC DIARMID, DONALD & MARY 3738 NOBLE
4711-22-302-038	X022023, E/W Crooked	202.35	PFEIFER, HENRY 3742 NOBLE
4711-22-302-039	X022023, E/W Crooked	202.35	WERNETTE, WILLIAM P. 3746 NOBLE
4711-22-302-040	X022023, E/W Crooked	202.35	CLARK JR PEYTON & MARY 3750 NOBLE
4711-22-302-041	X022023, E/W Crooked	202.35	KIRKWOOD PATRICK & SARAH LTS 9.3 13109 BORGMAN AVE
4711-22-302-042	X022023, E/W Crooked	202.35	AMINE SAM 3758 NOBLE
4711-22-302-043	X022023, E/W Crooked	202.35	GOEGLEIN CHRIS L & DEBRA J 3762 NOBLE
4711-22-302-044	X022023, E/W Crooked	202.35	KELLER DAVE REVOCABLE TRUST 3766 NOBLE
4711-22-302-045	X022023, E/W Crooked	202.35	KELLER, DAVID & CHRISTINE 3766 NOBLE
4711-22-302-052	X022023, E/W Crooked	202.35	PATON DANIEL 3888 HIGHCREST DR
4711-22-302-053	X022023, E/W Crooked	202.35	GREEN RODNEY P & GAIL J 3894 HIGHCREST DR
4711-22-302-054	X022023, E/W Crooked	202.35	DRAGUN STELLA LTS 9.3 3900 HIGHCREST DR
4711-22-302-056	X022023, E/W Crooked	202.35	SLOCUM SHERRY 3910 HIGHCREST DR
4711-22-302-057	X022023, E/W Crooked	202.35	PATTERSON DAVID & REBECCA TRUST 3914 HIGHCREST DR
4711-22-302-058	X022023, E/W Crooked	202.35	LINDSEY LEIGH 3920 HIGHCREST DR
4711-22-302-059	X022023, E/W Crooked	202.35	COOK, ERIC & JODI 3924 HIGHCREST DR
4711-22-302-060	X022023, E/W Crooked	202.35	COOK, GEORGE & BARBARA 3930 HIGHCREST DR
4711-22-302-061	X022023, E/W Crooked	202.35	BLAIR JACQUELINE 3934 HIGHCREST DR
4711-22-302-062	X022023, E/W Crooked	202.35	QUICK JAMES & ANGELA LTS 9.3 3940 HIGHCREST DR
4711-22-302-063	X022023, E/W Crooked	202.35	PERKOWSKI, ADAM J. II 3944 HIGHCREST DR
4711-22-302-064	X022023, E/W Crooked	202.35	SOCIA RONALD & BETTY LTS 9.3 3950 HIGHCREST DR
4711-22-302-065	X022023, E/W Crooked	202.35	CROWLEY FLOYD REVOCABLE TRUST 3956 HIGHCREST DR
4711-22-302-066	X022023, E/W Crooked	202.35	HANDELSMAN TEDD 3962 HIGHCREST DR
4711-22-302-067	X022023, E/W Crooked	202.35	KERR, DONALD D. & CAROLYN J. 4540 SEIM RD
4711-22-302-068	X022023, E/W Crooked	202.35	KRUSE WILLIAM 3710 NOBLE
4711-22-302-069	X022023, E/W Crooked	202.35	MOCKUS BETH & BREAZEALE SCOTT & 16015 WESTMORE ST
4711-22-302-073	X022023, E/W Crooked	202.35	BARTOLOMUCCI NICOLE 3968 HIGHCREST DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-302-074	X022023, E/W Crooked	202.35	PETERS STEFANIE 3974 HIGHCREST DR
4711-22-302-075	X022023, E/W Crooked	202.35	BAKER WILLIAM & DAVIES JENNIFER RT 3980 HIGHCREST DR
4711-22-302-076	X022023, E/W Crooked	202.35	BOLAND MICHAEL A TRUST 3986 HIGHCREST DR
4711-22-302-077	X022023, E/W Crooked	202.35	BARTOLOMUCCI JOANN 3994 HIGHCREST DR
4711-22-302-079	X022023, E/W Crooked	202.35	STOSIK WILLIAM 4010 HIGHCREST DR
4711-22-302-080	X022023, E/W Crooked	202.35	MAGNUS ROBERT & NANCY LTS 9.3 4435 OAK POINTE DR
4711-22-302-081	X022023, E/W Crooked	202.35	MACKAY ROBB & KATHERINE 4030 HIGHCREST DR
4711-22-302-082	X022023, E/W Crooked	202.35	MACKAY ROBB & KATHERINE 4030 HIGHCREST DR
4711-22-302-083	X022023, E/W Crooked	202.35	RACINE JAMES T & DAWN L 4050 HIGHCREST DR
4711-22-302-194	X022023, E/W Crooked	202.35	MATTHEW JAMES & KELLI LTS 9.3 4336 HIGHCREST DR
4711-22-302-195	X022023, E/W Crooked	202.35	AMMON RACHEL 4342 HIGHCREST DR
4711-22-302-196	X022023, E/W Crooked	202.35	SAMPSON JEFFREY & JENNIFER 4348 HIGHCREST DR
4711-22-302-197	X022023, E/W Crooked	202.35	GANGNIER JEFFREY & GINA LIV TRUST 4354 HIGHCREST DR
4711-22-302-202	X022023, E/W Crooked	202.35	BOZYK JAMES D & KIMBERLY L 3850 HIGHCREST DR
4711-22-302-204	X022023, E/W Crooked	202.35	CORNELIUSSEN PAUL A & JOY V 3880 HIGHCREST DR
4711-22-302-206	X022023, E/W Crooked	202.35	BROCKWAY PATRICIA TRUST 175 SOLANO PRADO
4711-22-302-209	X022023, E/W Crooked	202.35	BOWMAN BLAIR M REV LIVING TRUST 4252 HIGHCREST DR
4711-22-303-001	X022023, E/W Crooked	202.35	GALLEGOS AMY & KRAUS JENS 3701 CRESTHILL DR
4711-22-303-002	X022023, E/W Crooked	202.35	HEATHCOTE, DAVID & SUZETTE 49744 PARKSIDE DR
4711-22-303-003	X022023, E/W Crooked	202.35	BERRY RICHARD & LOGAN LIZBETH 3677 CRESTHILL DR
4711-22-303-005	X022023, E/W Crooked	202.35	SIUPIK, PAUL & KATHLEEN 3671 CRESTHILL DR
4711-22-303-011	X022023, E/W Crooked	202.35	BOZYK JOSEPH & PATRICIA LTS 9.3 3665 CRESTHILL DR
4711-22-303-012	X022023, E/W Crooked	202.35	SIDDALL STEPHEN & STACIA LTS 9.3 5011 GROVER DR
4711-22-303-013	X022023, E/W Crooked	202.35	SASTRY A & LASTOSKIE C 202 ORCHARD HILLS DR
4711-22-400-002	X022023, E/W Crooked	202.35	SROCK GARY K 3335 DIANNE DR
4711-22-400-003	X022023, E/W Crooked	202.35	BOURDAS, H. & INGRAM, L. 44313 FAIR OAKS DR
4711-22-400-004	X022023, E/W Crooked	202.35	CAMERON GREGREY D & MICHELE L 3651 CONRAD RD

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-400-005	X022023, E/W Crooked	202.35	CAMERON GREGORY & MICHELE 3657 CONRAD RD
4711-22-400-007	X022023, E/W Crooked	202.35	CAMERON, JEFFREY & SARAH 2432 FREEMAN DR
4711-22-400-008	X022023, E/W Crooked	202.35	ALLEN RHONDA & TODD 3672 CONRAD RD
4711-22-400-009	X022023, E/W Crooked	202.35	BECKNER ALLEN & ALICE LTS 9.3 3679 CONRAD RD
4711-22-400-010	X022023, E/W Crooked	202.35	STONE JODIE & JEFFREY 3830 CONRAD RD
4711-22-400-016	X022023, E/W Crooked	202.35	BURNHAM JESSE & HEIDI 5639 KENMAR DR
4711-22-400-017	X022023, E/W Crooked	202.35	SOSNOWSKI MATTHEW & SHERI 3485 PINERIDGE LN
4711-22-400-018	X022023, E/W Crooked	202.35	ROUTT, MICHAEL & ROBERTA 5750 KENMAR DR
4711-22-400-026	X022023, E/W Crooked	202.35	PENNER, MICHAEL & ANDREA 3747 CONRAD RD
4711-22-400-027	X022023, E/W Crooked	202.35	SELMI DONALD LIFE ESTATE 3718 CONRAD RD
4711-22-400-028	X022023, E/W Crooked	202.35	SELMI DONALD LIFE ESTATE 3718 CONRAD RD
4711-22-400-029	X022023, E/W Crooked	202.35	PENNER, KEITH & BARBARA 3732 CONRAD RD
4711-22-400-030	X022023, E/W Crooked	202.35	PITZER JAN & ANNE LTS 9.3 3680 DORR RD
4711-22-400-031	X022023, E/W Crooked	202.35	DINGMAN DEAN 8130 SOUTHSHORE DR
4711-27-100-001	X022023, E/W Crooked	202.35	BAKER EVAN 3937 HIGHCREST DR
4711-27-100-002	X022023, E/W Crooked	202.35	HIGHCREST PROPERTIES LLC 3953 HIGHCREST DR
4711-27-100-003	X022023, E/W Crooked	202.35	PAQUETTE JAMES & KATHERINE 3953 HIGHCREST DR
4711-27-100-004	X022023, E/W Crooked	202.35	STANEK, JOHN 3975 HIGHCREST DR
4711-27-100-009	X022023, E/W Crooked	202.35	BIERMANN CAREN 4263 CLIFFORD RD
4711-27-100-011	X022023, E/W Crooked	202.35	BRADLEY DEBRA LTS 9.3 4271 CLIFFORD RD
4711-27-100-012	X022023, E/W Crooked	202.35	CRANE PATRICIA TRUST 4283 CLIFFORD RD
4711-28-100-014	X022023, E/W Crooked	202.35	WHITE FAMILY TRUST 4489 OAK POINTE DR
4711-28-100-015	X022023, E/W Crooked	202.35	SPIRIT REALTY LP 3030 LBJ FREEWAY STE 600
4711-28-100-023	X022023, E/W Crooked	202.35	LIBLER JEFFREY & MARY S 4151 ROSE CREEK LN
4711-28-100-024	X022023, E/W Crooked	202.35	STONE II THOMAS 610 MAPLE ST
4711-28-100-025	X022023, E/W Crooked	202.35	HOLMES BRADLEY & AMY 820 OCEOLA ST
4711-28-100-026	X022023, E/W Crooked	202.35	BROOKS MICHAEL & BERNA STREET- 4067 ROSE CREEK LN

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-101-047	X022023, E/W Crooked	202.35	RUHMAN JOHN 4047 BROADMOOR CT
4711-28-101-070	X022023, E/W Crooked	202.35	PIPESH JOSEPH & NICOLE 4211 COLONIAL CT
4711-28-101-071	X022023, E/W Crooked	202.35	SWAIN RANDY TRUST 4203 COLONIAL CT
4711-28-101-072	X022023, E/W Crooked	202.35	LAW FRANK F. IV & KAREN 4195 COLONIAL CT
4711-28-101-073	X022023, E/W Crooked	202.35	SIEGEL ERIC & JENNIFER 4200 COLONIAL CT
4711-28-101-074	X022023, E/W Crooked	202.35	DENNIS, WILLIAM & HENDRICKS PAULA 4208 COLONIAL CT
4711-28-200-001	X022023, E/W Crooked	202.35	GOBLE HOLDINGS LLC 8501 WINANS LAKE RD
4711-28-200-002	X022023, E/W Crooked	202.35	SEVERN DANIEL & LEWIS LORI 4257 HOMESTEAD DR
4711-28-200-003	X022023, E/W Crooked	202.35	WILSON RONALD & LINDA 4465 FILBERT DR
4711-28-201-001	X022023, E/W Crooked	202.35	BROWN, ANGELA & CURT 4001 HOMESTEAD DR
4711-28-201-002	X022023, E/W Crooked	202.35	OSWALT, GEOFFREY 10137 QUAIL COVEY RD
4711-28-201-003	X022023, E/W Crooked	202.35	MCPAHON RYAN & KELLY 46327 BRIARGATE DR
4711-28-201-004	X022023, E/W Crooked	202.35	HARTLEY JEFFREY & REBA 3901 HONORS TRCE
4711-28-201-005	X022023, E/W Crooked	202.35	RACINE JAMES REVOCABLE LIVING TRUST 4015 HOMESTEAD DR
4711-28-201-006	X022023, E/W Crooked	202.35	WOOD PETER & DENISE 220 N 5TH ST
4711-28-201-011	X022023, E/W Crooked	202.35	TUCZAK FAMILY TRUST 4163 SAINT ANDREWS ST
4711-28-201-012	X022023, E/W Crooked	202.35	FLEMING THOMAS & DIANA 4049 HOMESTEAD DR
4711-28-201-013	X022023, E/W Crooked	202.35	DYKEMA NANCY 4053 HOMESTEAD DR
4711-28-201-014	X022023, E/W Crooked	202.35	MANCINI KAREN & LEO LTS 9.3 4057 HOMESTEAD DR
4711-28-201-017	X022023, E/W Crooked	202.35	ST GERMAIN RESORT LLC 4071 HOMESTEAD DR
4711-28-201-018	X022023, E/W Crooked	202.35	JELNICKI REVOCABLE TRUST 3664 OLD CREEK RD
4711-28-201-019	X022023, E/W Crooked	202.35	ELLERHOLZ PATRICK & AMY LTS 9.3 4083 HOMESTEAD DR
4711-28-201-020	X022023, E/W Crooked	202.35	SECHRIST THOMAS & ROSEMARY LTS 9.3 4089 HOMESTEAD DR
4711-28-201-021	X022023, E/W Crooked	202.35	BRUDER PETER H TRUST 4093 HOMESTEAD DR
4711-28-201-022	X022023, E/W Crooked	202.35	ZAMMIT JACOB & TABLOT ADAM 1620 DUCK DRIVE
4711-28-201-023	X022023, E/W Crooked	202.35	HERRON DOUGLAS & POH KIM 4105 HOMESTEAD DR
4711-28-201-026	X022023, E/W Crooked	202.35	CASOLI DANIEL J & CHRISTINE K 4121 HOMESTEAD DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-201-027	X022023, E/W Crooked	202.35	SCHROCK EDWARD & JUSTINA LTS 9.3 328 INVERNESS ST
4711-28-201-028	X022023, E/W Crooked	202.35	KORENCHUK, DENNIS - TRUST 4141 HOMESTEAD DR
4711-28-201-029	X022023, E/W Crooked	202.35	ROJOWSKI STANLEY & ANITA 4151 HOMESTEAD DR
4711-28-201-031	X022023, E/W Crooked	202.35	SAVEDES MARIE 4159 HOMESTEAD DR
4711-28-201-032	X022023, E/W Crooked	202.35	HEIDER THOMAS L 4165 HOMESTEAD DR
4711-28-201-033	X022023, E/W Crooked	202.35	GRACE DANIEL & LORRAINE 4177 HOMESTEAD DR
4711-28-202-033	X022023, E/W Crooked	202.35	BITMAS RONALD 4120 HOMESTEAD DR
4711-28-202-034	X022023, E/W Crooked	202.35	ZAMMIT JACOB & TALBOT ADAM 1620 DUCK DRIVE
4711-28-202-035	X022023, E/W Crooked	202.35	PALLASKA GRAMOS & FREY PAIGE 4140 HOMESTEAD DR
4711-28-400-002	X022023, E/W Crooked	202.35	WHITE FAMILY TRUST 4489 OAK POINTE DR
4711-28-400-003	X022023, E/W Crooked	202.35	FORCIER FAMILY REVOCABLE TRUST 4495 OAK POINTE DR
4711-28-400-013	X022023, E/W Crooked	202.35	SPIRIT REALTY LP 3030 LBJ FREEWAY STE 600
4711-28-400-017	X022023, E/W Crooked	202.35	OAK POINTE COMMUNITY ASSOC 1607 E BIG BEAVER RD STE 105
4711-28-404-009	X022023, E/W Crooked	202.35	AHMEDANI BRIAN & DANA LIVING TRUST 4526 LAKESHORE CT
4711-28-404-010	X022023, E/W Crooked	202.35	RACHNER, RICHARD J. & KAREN 4514 LAKESHORE CT
4711-28-404-011	X022023, E/W Crooked	202.35	HENDERSON PAUL TRUST 4502 LAKESHORE CT
4711-28-404-012	X022023, E/W Crooked	202.35	DAUBENMIER, MICHAEL & JUDITH 4490 LAKESHORE CT
4711-28-404-013	X022023, E/W Crooked	202.35	AKHAVAN-TAFTI HASHEM REVOCABLE TRUS PO BOX 3910
4711-28-404-014	X022023, E/W Crooked	202.35	GRIFFIN CURTIS D FAMILY TRUST 4466 LAKESHORE CT
4711-28-406-001	X022023, E/W Crooked	202.35	TANKO TIMOTHY & SUE 4896 OAK TREE CT
4711-28-406-002	X022023, E/W Crooked	202.35	KRAMER ERIK & HEATHER 4099 SAINT ANDREWS ST
4711-28-406-003	X022023, E/W Crooked	202.35	BECKER II JOHN & EILEEN 4618 MANTLE LN
4711-28-406-004	X022023, E/W Crooked	202.35	PATE WILLIAM D 4549 GOLF VIEW DR
4711-28-406-005	X022023, E/W Crooked	202.35	GOMEZ ANGEL & TRACY 3811 HONORS WAY
4711-28-406-006	X022023, E/W Crooked	202.35	LINARD, HOMER & LAURIE 823 E LINCOLN ST
4711-28-406-007	X022023, E/W Crooked	202.35	TERRY CHRISTOHPER & BOBBIE 3759 HONORS WAY
4711-28-406-008	X022023, E/W Crooked	202.35	SCOTT JUDSON J & AMY L 4324 OAK POINTE DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-406-009	X022023, E/W Crooked	202.35	TARNACKI GERALD & KATHY RLT 4418 MUIRFIELD DR
4711-28-406-010	X022023, E/W Crooked	202.35	AWDISH SAMMY & KRISTEN JRT 4340 SAINT ANDREWS ST
4711-28-406-011	X022023, E/W Crooked	202.35	SULLIVAN KEVIN 3690 HONORS WAY
4711-28-406-012	X022023, E/W Crooked	202.35	ZERVOS STEPHEN M 5219 MORET CT
4711-28-406-013	X022023, E/W Crooked	202.35	JOHNSON CHRISTOPHER & JENNIFER 4668 CLIFFORD RD
4711-28-406-014	X022023, E/W Crooked	202.35	TERRY CHRISTOPHER & BOBBIE 3759 HONORS WAY
4711-28-406-015	X022023, E/W Crooked	202.35	FOWLER, BETSY A. 4464 OAK POINTE DR
4711-28-406-016	X022023, E/W Crooked	202.35	MCDONALD KEITH & TARA 4241 AUGUSTA CT
4711-28-406-017	X022023, E/W Crooked	202.35	CARPENTER CARTER & LISA TRUST 4138 SAINT ANDREWS ST
4711-28-406-018	X022023, E/W Crooked	202.35	FOWLER JAMESB & BETSY A 4464 OAK POINTE DR
4711-28-406-020	X022023, E/W Crooked	202.35	DALLAFIOR KENNETH R & KAREN 4529 OAK POINTE DR
4711-28-406-021	X022023, E/W Crooked	202.35	DESAI, BIPIN & PAMELA PO BOX 518
4711-28-406-022	X022023, E/W Crooked	202.35	EISCHER MICHAEL & LISA 4636 CLIFFORD RD
4711-28-406-023	X022023, E/W Crooked	202.35	VILLAS OF OAK POINTE ASSOC. 1607 E BIG BEAVER RD STE 105
4711-28-406-024	X022023, E/W Crooked	202.35	VILLAS OF OAK POINTE ASSOC. 1607 E BIG BEAVER RD STE 105
4711-28-406-025	X022023, E/W Crooked	202.35	VILLAS OF OAK POINTE ASSOC. 6190 TAYLOR
4711-28-406-026	X022023, E/W Crooked	202.35	VILLAS OF OAK POINTE ASSOC. 1607 E BIG BEAVER RD STE 105
4711-28-406-027	X022023, E/W Crooked	202.35	DIXON FAMILY AGREEMENT OF TRUST 4085 SAINT ANDREWS ST
4711-28-406-052	X022023, E/W Crooked	202.35	EDWARDS, J.A. JR. & CORINNE 4545 OAK POINTE DR
4711-28-406-053	X022023, E/W Crooked	202.35	JOSEPH, JERROLD & JANET 4000 BROADMOOR CT
4711-28-406-054	X022023, E/W Crooked	202.35	JOSEPH JERROLD & JANET 4000 BROADMOOR CT
4711-28-406-055	X022023, E/W Crooked	202.35	GUMINIK RONALD & ANNE 4725 HUNTINGTON DR
4711-28-406-056	X022023, E/W Crooked	202.35	MILLER JEANETTE 4355 OAK POINTE DR
4711-28-406-057	X022023, E/W Crooked	202.35	BIGELMAN JEFFREY 4605 OAK POINTE DR
4711-28-406-058	X022023, E/W Crooked	202.35	SEMENOK KYLE W & WAYNE A 4774 PINE EAGLES DR
4711-28-406-059	X022023, E/W Crooked	202.35	MUHN CRAIG & TERI LTS 9.3 4388 BRAEBURN CT
4711-28-406-060	X022023, E/W Crooked	202.35	CESTA DANIEL 4591 OAK POINTE DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-406-061	X022023, E/W Crooked	202.35	HILL THOMAS & PATRICIA 4736 HUNTINGTON DR
4711-28-406-062	X022023, E/W Crooked	202.35	MASON DARRELL W & DANA D 4073 BROADMOOR CT
4711-28-202-012	X022023, E/W Crooked	202.35	FLEMING THOMAS J 4049 HOMESTEAD DR
4711-28-202-013	X022023, E/W Crooked	202.35	MCCORD MATTHEW & KIMBERLY LTS 9.3 4065 HOMESTEAD DR
4711-28-202-014	X022023, E/W Crooked	202.35	MCCORD MATTHEW & KIMBERLY LTS 9.3 4065 HOMESTEAD DR
4711-28-202-015	X022023, E/W Crooked	202.35	ST GERMAIN RESORT LLC 4071 HOMESTEAD
4711-28-202-016	X022023, E/W Crooked	202.35	HARMAN THORIN B 4084 HOMESTEAD DR
4711-28-202-017	X022023, E/W Crooked	202.35	ELLERHOLZ PATRICK & AMY LTS 9.3 4083 HOMESTEAD DR
4711-28-202-021	X022023, E/W Crooked	202.35	MCGRATH JULIE ANN 4104 HOMESTEAD DR
4711-28-202-023	X022023, E/W Crooked	202.35	DUNN JOHN & KAREN LTS 9.3 4120 HOMESTEAD DR
4711-28-202-025	X022023, E/W Crooked	202.35	DUNN JOHN & KAREN LTS 9.3 4120 HOMESTEAD DR
4711-28-202-031	X022023, E/W Crooked	202.35	SCHROCK EDWARD & JUSTINA LTS 9.3 328 INVERNESS ST
4711-28-202-032	X022023, E/W Crooked	202.35	SAVEDES MARIE 4159 HOMESTEAD DR
4711-27-103-005	X022023, E/W Crooked	202.35	BAKER, SUSAN L. 4382 SKUSA DR
4711-27-103-006	X022023, E/W Crooked	202.35	WIESZCZYK FAMILY TRUST 4374 SKUSA DR
4711-27-103-015	X022023, E/W Crooked	202.35	BRADSTREET, BRUCE & BARBARA 4340 SKUSA DR
4711-27-103-020	X022023, E/W Crooked	202.35	ISMET, GARY W. & JOY 4314 SKUSA DR
4711-27-103-048	X022023, E/W Crooked	202.35	BREIL GEORGE REVOCABLE TRUST PO BOX 2061
4711-27-103-055	X022023, E/W Crooked	202.35	THUIS THEODORE & JACKIE RESERVED LE 9367 TRIESTE DR
4711-27-103-060	X022023, E/W Crooked	202.35	MCMAHON DARRYL & SARAH 4326 SKUSA DR
4711-27-103-063	X022023, E/W Crooked	202.35	SPENSLEY, ROBERT L. & MARY 4390 SKUSA DR
4711-27-103-064	X022023, E/W Crooked	202.35	LYDERS-PETERSEN GAIL L TRUST 4300 SKUSA DR
4711-27-103-065	X022023, E/W Crooked	202.35	COOK LORI REVOCABLE TRUST 4357 SKUSA DR
4711-27-200-005	X022023, E/W Crooked	202.35	CODDINGTON, JOHN E. & CHRISTINE C. 5981 CHALLIS RD
4711-22-302-181	X022023, E/W Crooked	202.35	RAFFERTY THOMAS 4244 HIGHCREST DR
4711-22-302-184	X022023, E/W Crooked	202.35	BOOKER JOHN & CONNIE LIVING TRUST 4268 HIGHCREST DR
4711-22-302-185	X022023, E/W Crooked	202.35	EVANS JANET E. 4276 HIGHCREST DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-302-186	X022023, E/W Crooked	202.35	PARLOVE VINCENT & AMY TRUST 4284 HIGHCREST DR
4711-22-302-187	X022023, E/W Crooked	202.35	BERGIN PEPPER REVOCABLE LIV. TRUST 4292 HIGHCREST DR
4711-22-302-188	X022023, E/W Crooked	202.35	OLLEARIS LAWRENCE & WENDY 4300 HIGHCREST DR
4711-21-401-001	X022023, E/W Crooked	202.35	LEEK, J. BRIAN & DEBORAH K. 3997 HOMESTEAD DR
4711-21-401-002	X022023, E/W Crooked	202.35	PERRI ROSEMARY 3985 HOMESTEAD DR
4711-21-401-004	X022023, E/W Crooked	202.35	GADBAW SHANE & KINI 3961 HOMESTEAD DR
4711-21-401-006	X022023, E/W Crooked	202.35	GADBAW, SHANE P. & KINI J. 3961 HOMESTEAD DR
4711-21-401-008	X022023, E/W Crooked	202.35	ANDREWS LAND TITLE STANDARD 9.3 3949 HOMESTEAD DR
4711-21-401-012	X022023, E/W Crooked	202.35	BRICHTA JOSEPH & ROSEMARIE LTS 9.3 3925 HOMESTEAD DR
4711-21-401-015	X022023, E/W Crooked	202.35	MCLEAN BRIAN & GAIL 3919 HOMESTEAD DR
4711-21-401-021	X022023, E/W Crooked	202.35	LAMARRA MICHAEL & NANCY 3871 HOMESTEAD DR
4711-21-401-023	X022023, E/W Crooked	202.35	PEREIRA DENNIS S & PATRICIA C 11411 KATHERINE ST
4711-21-401-024	X022023, E/W Crooked	202.35	REIMONDO KAREN REV TRUST 3943 HOMESTEAD DR
4711-21-401-026	X022023, E/W Crooked	202.35	PEAL, MICHAEL & MARY ANN TRUST 3883 HOMESTEAD DR
4711-21-401-027	X022023, E/W Crooked	202.35	DAVIS DONALD & JULIA RLT 3907 HOMESTEAD DR
4711-22-100-010	X022023, E/W Crooked	202.35	TERNS DONALD & JUDITH LTS 9.3 5440 SHARP DR
4711-22-100-012	X022023, E/W Crooked	202.35	HAGEN MICHAEL S 5450 SHARP DR
4711-22-100-013	X022023, E/W Crooked	202.35	HATCHER, ORA & CAROL PO BOX 2364
4711-22-100-014	X022023, E/W Crooked	202.35	MAGGIO JAMES & ELAINE LTS 9.3 5470 SHARP DR
4711-22-100-017	X022023, E/W Crooked	202.35	DAVIS TRUST 5290 SHARP DR
4711-22-100-018	X022023, E/W Crooked	202.35	HOWELL STEVEN 5350 SHARP DR
4711-22-100-021	X022023, E/W Crooked	202.35	SIWIK MICHAEL & PATRICIA FAM TRUST 5300 SHARP DR
4711-22-100-022	X022023, E/W Crooked	202.35	SHAFFER KRISTI & WILLIAM JR 5294 SHARP DR
4711-22-100-023	X022023, E/W Crooked	202.35	KOZA KENNETH M 7915 LOCHLIN DR
4711-22-100-024	X022023, E/W Crooked	202.35	KOZA KENNETH M 7915 LOCHLIN DR
4711-22-100-025	X022023, E/W Crooked	202.35	BOZYK ALAN TRUST 5480 SHARP DR
4711-22-102-133	X022023, E/W Crooked	202.35	HAZEN RALPH & SHARON 5260 EDGEWOOD SHORES DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-102-134	X022023, E/W Crooked	202.35	JOHNS DAVID & STACY 5268 EDGEWOOD SHORES DR
4711-22-202-017	X022023, E/W Crooked	202.35	BETTES BEASELY DONNIE RLT 3430 PINERIDGE LN
4711-22-202-018	X022023, E/W Crooked	202.35	BROWN DOUGLAS C TRUST 3420 PINERIDGE LN
4711-22-202-020	X022023, E/W Crooked	202.35	JOHNSON JOEL & JANET 3406 PINERIDGE LN
4711-22-202-021	X022023, E/W Crooked	202.35	REINER MATTHEW & MALIN PARIS 3015 PEMBROKE RD
4711-22-202-023	X022023, E/W Crooked	202.35	BENDER LIVING TRUST 3370 PINERIDGE LN
4711-22-202-025	X022023, E/W Crooked	202.35	HAYES JAMES & JOAN TRUST 3350 PINERIDGE LN
4711-22-202-026	X022023, E/W Crooked	202.35	NEMETH, MARY T. 3340 PINERIDGE LN
4711-22-202-030	X022023, E/W Crooked	202.35	KILLEWALD DAVID 3320 PINERIDGE LN
4711-22-202-031	X022023, E/W Crooked	202.35	SCHELM STEVEN & MISUMI-SCHELM REIKO 40446 COVE CT
4711-22-202-032	X022023, E/W Crooked	202.35	WILSON BRADLEY 5640 KENMAR DR
4711-22-300-004	X022023, E/W Crooked	202.35	GOBLE ROGER W 3859 HIGHCREST DR
4711-22-300-005	X022023, E/W Crooked	202.35	MACKOOL DAVID & MARILYN 3911 HIGHCREST DR
4711-22-300-006	X022023, E/W Crooked	202.35	MICHALIK TIMOTHY & JILL 3915 HIGHCREST DR
4711-22-301-001	X022023, E/W Crooked	202.35	DONNELLY STEVEN & CHARITY 3773 HIGHCREST DR
4711-22-301-002	X022023, E/W Crooked	202.35	FISCHER, RICHARD JR. 3751 HIGHCREST DR
4711-22-301-004	X022023, E/W Crooked	202.35	SCHWANITZ-SMITH FAMILY TRUST 1990 WILDING LN
4711-22-301-007	X022023, E/W Crooked	202.35	BOZYK GARY REVOCABLE TRUST 3719 HIGHCREST DR
4711-22-301-009	X022023, E/W Crooked	202.35	CRANE HAROLD & SHARON REV. LIV. TR. 716 SPENCER RD
4711-22-301-010	X022023, E/W Crooked	202.35	KIEFER MAUREEN M TRUST 3695 HIGHCREST DR
4711-22-301-015	X022023, E/W Crooked	202.35	KAROWSKI BRIAN 3673 HIGHCREST DR
4711-22-301-017	X022023, E/W Crooked	202.35	SHARP ALBERT W & MARIA ELIZABETH PO BOX 797
4711-22-301-043	X022023, E/W Crooked	202.35	LONG RONALD LEE & OLGE 3723 HIGHCREST DR
4711-22-301-046	X022023, E/W Crooked	202.35	EDWARDS LIVING TRUST 296 LAWTHORN ST
4711-22-302-001	X022023, E/W Crooked	202.35	KELLER CHRISTINE LIVING TRUST 3766 NOBLE
4711-22-302-002	X022023, E/W Crooked	202.35	MAIN JORDAN 3830 HIGHCREST DR
4711-22-302-086	X022023, E/W Crooked	202.35	RACINE JAMES & DAWN 4050 HIGHCREST DR

Population: Special Assessment District (X022023)

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-302-156	X022023, E/W Crooked	202.35	GRUBER DAVID & GRUBER JAKE 10742 S REED RD
4711-22-302-157	X022023, E/W Crooked	202.35	WILSON RONALD & LINDA 4465 FILBERT DR
4711-22-302-158	X022023, E/W Crooked	202.35	STOTLER JOANNA C TRUST 4078 HIGHCREST DR
4711-22-302-159	X022023, E/W Crooked	202.35	ELLIOTT, MICHAEL L. 4086 HIGHCREST DR
4711-22-302-160	X022023, E/W Crooked	202.35	HUPP, WILLARD & LOIS - TRUST 4094 HIGHCREST DR
4711-22-302-161	X022023, E/W Crooked	202.35	OLLEARIS LAWRENCE & WENDY 4300 HIGHCREST DR
4711-22-302-163	X022023, E/W Crooked	202.35	WHITE DAVID & MCCOLLUM SHANNIN 4114 HIGHCREST DR
4711-22-302-164	X022023, E/W Crooked	202.35	LINNE JOHN TRUST 4118 HIGHCREST DR
4711-22-302-165	X022023, E/W Crooked	202.35	MC CUSKER JUDY 4122 HIGHCREST DR
4711-22-302-166	X022023, E/W Crooked	202.35	CHICK BARBARA A LIVING TRUST 4130 HIGHCREST DR
4711-22-302-167	X022023, E/W Crooked	202.35	GRUBER CURTIS 7202 LOBDELL RD
4711-22-302-168	X022023, E/W Crooked	202.35	SCHMITT TRUST 4142 HIGHCREST DR
4711-22-302-169	X022023, E/W Crooked	202.35	SZYDLOWSKI ALLEN & TRACY 4150 HIGHCREST DR
4711-22-302-170	X022023, E/W Crooked	202.35	WYATT JOHNATHAN 4158 HIGHCREST DR
4711-22-302-172	X022023, E/W Crooked	202.35	EVANS ROD & TAMARA LIVING TRUST 4174 HIGHCREST DR
4711-22-302-173	X022023, E/W Crooked	202.35	MESSIER-BOMBERGER SARA 69 PO BOX
4711-22-302-174	X022023, E/W Crooked	202.35	LINARD ANDREW & BRITTANY RLT 4190 HIGHCREST DR
4711-22-302-175	X022023, E/W Crooked	202.35	CLARK, JOHN & ROSEANNA 4200 HIGHCREST DR
4711-22-302-176	X022023, E/W Crooked	202.35	TENGEL LAWRENCE & SYLVIA LTS 9.3 4206 HIGHCREST DR
4711-22-302-177	X022023, E/W Crooked	202.35	ADAMS DAVID 4212 HIGHCREST DR
4711-22-302-178	X022023, E/W Crooked	202.35	UNRUH, JON & BONNIE 4220 HIGHCREST DR
4711-22-302-179	X022023, E/W Crooked	202.35	MILOSTAN LIFE ESTATE 4228 HIGHCREST DR
4711-22-302-180	X022023, E/W Crooked	202.35	PB DEVELOPMENT LLC 46100 GRAND RIVER AVE
4711-22-200-017	X022023, E/W Crooked	202.35	BEAUNE KAREN REVOCABLE LIVING TRUST 5780 OAK CREEK LN
4711-27-100-013	X022023, E/W Crooked	202.35	BASSETT STEPHEN M & KELLY A 4295 CLIFFORD RD
4711-27-100-014	X022023, E/W Crooked	202.35	POSZYWAK KEITH E 4301 CLIFFORD RD
4711-27-100-016	X022023, E/W Crooked	202.35	GALENS DANIEL K & AMY E 4350 CLIFFORD RD

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-27-100-030	X022023, E/W Crooked	202.35	BIERMANN, CAREN M. 4263 CLIFFORD RD
4711-27-100-034	X022023, E/W Crooked	202.35	MERCIER TRUST 5054 WILLOW GROVE LN
4711-27-100-035	X022023, E/W Crooked	202.35	THAGARD WENDY 5082 WILLOW GROVE LN
4711-27-100-036	X022023, E/W Crooked	202.35	PLUMMER LINDSAY 5110 WILLOW GROVE LN
4711-27-100-037	X022023, E/W Crooked	202.35	DAVIS CHARLES & MARY LOU 5140 WILLOW GROVE LN
4711-27-100-044	X022023, E/W Crooked	202.35	HAVILAND CAROL LTS 9.3 6851 STOW RD
4711-27-100-045	X022023, E/W Crooked	202.35	PELCHER JR, ROBERT C & LISA C 4127 CLIFFORD RD
4711-27-100-046	X022023, E/W Crooked	202.35	NORMAND MARCEL & MARY 4137 CLIFFORD RD
4711-27-100-047	X022023, E/W Crooked	202.35	LONIEWSKI EDWARD & WRIGHT KAREN 4150 CLIFFORD RD
4711-27-101-022	X022023, E/W Crooked	202.35	WOODHAMS REV LIVING TRUST 4030 ANCHOR LN
4711-27-101-023	X022023, E/W Crooked	202.35	BODNAR LAUREN & FREDRICK 4074 ANCHOR LN
4711-27-101-024	X022023, E/W Crooked	202.35	VANHEES JARED & KAITLYN 4077 ANCHOR LN
4711-27-101-025	X022023, E/W Crooked	202.35	ZOPPA ROBERT J & STARLENE A 4103 ANCHOR LN
4711-27-101-026	X022023, E/W Crooked	202.35	BROZO ADAM & CYNTHIA 4102 ANCHOR LN
4711-27-101-027	X022023, E/W Crooked	202.35	RATKE RICHARD & MARTHA LTS 9.3 4017 ANCHOR LN
4711-27-101-028	X022023, E/W Crooked	202.35	VASILOFF KEVIN & RACHEL 4041 ANCHOR LN
4711-27-101-029	X022023, E/W Crooked	202.35	GAUCI JONATHON A & MARNI A 4055 ANCHOR LN
4711-27-101-030	X022023, E/W Crooked	202.35	YANOCHKO DAVID & LINDA LIVING TRUST 4054 ANCHOR LN
4711-27-101-031	X022023, E/W Crooked	202.35	JACOBS, WILLIAM & JUDY TRUST 4121 ANCHOR LN
4711-27-101-032	X022023, E/W Crooked	202.35	JACOBS, WILLIAM & JUDY TRUST 4121 ANCHOR LN
4711-27-103-001	X022023, E/W Crooked	202.35	MC CAIG FAMILY TRUST 4394 SKUSA DR
4711-22-200-026	X022023, E/W Crooked	202.35	WILSON RONALD & SAWYER DONNA 3371 MERROW LANE
4711-28-201-035	X022023, E/W Crooked	202.35	WLODARCZAK JON & DANIELLE 4183 HOMESTEAD DR
4711-28-201-038	X022023, E/W Crooked	202.35	WACLAWEK MCGRATH MURIEL RLT 4203 HOMESTEAD DR
4711-28-201-042	X022023, E/W Crooked	202.35	OBRIAN FAMILY TRUST 4225 HOMESTEAD DR
4711-28-201-044	X022023, E/W Crooked	202.35	WILSON GREGORY 4237 HOMESTEAD DR
4711-28-201-045	X022023, E/W Crooked	202.35	ELGUREN STEPHEN & CHELSEA 4243 HOMESTEAD DR

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-201-046	X022023, E/W Crooked	202.35	SEVERN DANIEL & LEWIS LORI 15148 E STAGHORN DR
4711-28-201-047	X022023, E/W Crooked	202.35	MC DONALD, KURT & NANCY 4261 HOMESTEAD DR
4711-28-201-050	X022023, E/W Crooked	202.35	SOLITUDE MEADOWS LLC 280 N FIRST STREET
4711-28-201-052	X022023, E/W Crooked	202.35	CLEMENTS, SCOTT & CYNTHIA 4291 HOMESTEAD DR
4711-28-201-053	X022023, E/W Crooked	202.35	CLARK, PAYTON III & KIM 4111 HOMESTEAD DR
4711-28-201-054	X022023, E/W Crooked	202.35	TANIS JEFFREY & WANDA 4327 DEESIDE DR
4711-28-201-055	X022023, E/W Crooked	202.35	MCCORD MATTHEW & KIMBERLY LTS 4065 HOMESTEAD DR
4711-28-201-056	X022023, E/W Crooked	202.35	OBRIAN MARC & MELINDA 4219 HOMESTEAD DR
4711-28-201-057	X022023, E/W Crooked	202.35	CARPENTER CARTER & LISA 4138 ST ANDREWS
4711-28-201-058	X022023, E/W Crooked	202.35	MEKJIAN & RUPP FAMILY TRUST 4027 HOMESTEAD DR
4711-28-202-001	X022023, E/W Crooked	202.35	BROWN CURT & ANGELA 4001 HOMESTEAD DR
4711-28-202-002	X022023, E/W Crooked	202.35	HARTLEY JEFFREY & REBA 3901 HONORS TRACE
4711-28-202-003	X022023, E/W Crooked	202.35	RACINE JAMES REVOCABLE LIVING TRUST 4015 HOMESTEAD DR
4711-28-202-004	X022023, E/W Crooked	202.35	RACINE JAMES REVOCABLE LIVING TRUST 4015 HOMESTEAD DR
4711-28-202-005	X022023, E/W Crooked	202.35	GOODLING RONALD 26431 LA MUERA ST
4711-28-202-007	X022023, E/W Crooked	202.35	KIRCHOFF, ALAN 4026 HOMESTEAD DR
4711-28-202-009	X022023, E/W Crooked	202.35	CARPENTER CARTER & LISA 4138 ST ANDREWS
4711-28-202-010	X022023, E/W Crooked	202.35	CARPENTER CARTER & LISA 4138 ST ANDREWS
4711-28-202-011	X022023, E/W Crooked	202.35	FLEMING THOMAS J 4049 HOMESTEAD DR
4711-22-200-029	X022023, E/W Crooked	202.35	LANGHORST TRUST 3360 MERROW LANE
4711-28-406-028	X022023, E/W Crooked	202.35	STOIANOWSKI LAURIE LIVING TRUST 4777 ROUNDTREE DR
4711-28-406-029	X022023, E/W Crooked	202.35	NICHOLSON JEFFREY J & KAREN M 3673 HONORS WAY
4711-28-406-030	X022023, E/W Crooked	202.35	BAUER RICHARD 4757 ROUNDTREE DR
4711-28-406-031	X022023, E/W Crooked	202.35	VERESPUT FAMILY TURST 4436 GOLF VIEW DR
4711-28-406-032	X022023, E/W Crooked	202.35	MCCARTHY DENNIS & FEDERICO AMY 4446 GOLF VIEW DR
4711-28-406-033	X022023, E/W Crooked	202.35	CESTA DANIEL 4591 OAK POINTE DR
4711-28-406-034	X022023, E/W Crooked	202.35	KARN SHAUN 3923 HONORS BLF

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-406-035	X022023, E/W Crooked	202.35	FINGERLE MARK M & TRACY LEE 3771 HONORS WAY
4711-28-406-036	X022023, E/W Crooked	202.35	WILKINS TRUST 4404 BRAEBURN CT
4711-28-406-037	X022023, E/W Crooked	202.35	WALKER TODD 4758 ROUNDTREE DR
4711-28-406-038	X022023, E/W Crooked	202.35	THIELS JOEG & MAUD LTS 9.3 4131 SAINT ANDREWS ST
4711-28-406-039	X022023, E/W Crooked	202.35	ANDERSON RONALD G & LISA A TRUST 42352 CRESTVIEW CIR
4711-28-406-040	X022023, E/W Crooked	202.35	MILLER STEPHEN & KAREN 4617 GOLF VIEW DR
4711-28-406-041	X022023, E/W Crooked	202.35	KOWALENKO TERRY & JUDITH 4619 OAK POINTE DR
4711-28-406-042	X022023, E/W Crooked	202.35	RACEY MARILYN TRUST 4628 HUNTINGTON DR
4711-28-406-043	X022023, E/W Crooked	202.35	GILDERSLEEVE CAROLE & FENTON JOY 4508 GOLF VIEW DR
4711-28-406-044	X022023, E/W Crooked	202.35	PECK, DAVID W. 4227 SAINT ANDREWS ST
4711-28-406-045	X022023, E/W Crooked	202.35	MAGNUS ROBERT & NANCY LTS 9.3 4435 OAK POINTE DR
4711-28-406-046	X022023, E/W Crooked	202.35	BAUMKER GREGORY 4195 SAINT ANDREWS ST
4711-28-406-047	X022023, E/W Crooked	202.35	HARMON FAMILY TRUST 4433 GOLF VIEW DR
4711-28-406-048	X022023, E/W Crooked	202.35	MARTIN FAMILY TRUST 4748 PINE EAGLES DR
4711-28-406-049	X022023, E/W Crooked	202.35	FOSSUM MICHAEL & NICOLE 4420 BRAEBURN CT
4711-28-406-050	X022023, E/W Crooked	202.35	GOLDSWORTHY, LINDA D. 4519 GOLF VIEW CT
4711-28-406-051	X022023, E/W Crooked	202.35	GILDERSLEEVE CAROLE J. TRUST 4508 GOLF VIEW DR
4711-22-302-189	X022023, E/W Crooked	202.35	KANGAS RICK J & NOELLE A 4620 HUNTINGTON DR
4711-22-302-190	X022023, E/W Crooked	202.35	VONBUSKIRK DONALD REV TRUST 4312 HIGHCREST DR
4711-22-302-191	X022023, E/W Crooked	202.35	BODNAR FRED & LAUREN 4074 ANCHOR LN
4711-22-302-192	X022023, E/W Crooked	202.35	KANGAS RICKY J & NOELLE A 4620 HUNTINGTON DR
4711-22-302-193	X022023, E/W Crooked	202.35	BURNETT MELISA & ROGER 4330 HIGHCREST DR
4711-22-302-003	X022023, E/W Crooked	202.35	CEDAR, MICHAEL & NINA 3836 HIGHCREST DR
4711-22-302-004	X022023, E/W Crooked	202.35	MILITELLO JOSHUA & LISA 3844 HIGHCREST DR
4711-22-302-008	X022023, E/W Crooked	202.35	PHILLIPS, RICHARD F. & SANDRA A. 3855 HIGHCREST DR
4711-22-302-009	X022023, E/W Crooked	202.35	TALBOT LORNA REV TRUST 11230 NW 5TH ST
4711-22-302-010	X022023, E/W Crooked	202.35	GREEN LISA 3841 HIGHCREST DR

Population: Special Assessment District (X022023)

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-22-302-011	X022023, E/W Crooked	202.35	FUHST MICHAEL & LISA 1084 S HACKER RD
4711-22-302-012	X022023, E/W Crooked	202.35	SHELTERS, BRIAN/LYNN 4467 WILTSHIRE DR
4711-22-302-013	X022023, E/W Crooked	202.35	SWEDER, THOMAS & KATHLEEN 30709 MAYVILLE ST
4711-22-302-014	X022023, E/W Crooked	202.35	ROGAL MATTHEW & AUDREY 3817 HIGHCREST DR
4711-22-302-015	X022023, E/W Crooked	202.35	KEEFER SCOTT & JACQUELYN 3811 HIGHCREST DR
4711-22-302-016	X022023, E/W Crooked	202.35	WILLIAMS PAMELA & MARK 3805 HIGHCREST DR
4711-22-102-135	X022023, E/W Crooked	202.35	POWELL BRYAN & DAWN 5276 EDGEWOOD SHORES DR
4711-22-102-136	X022023, E/W Crooked	202.35	PHILLIPS FAMILY TRUST 5284 EDGEWOOD SHORES DR
4711-22-102-137	X022023, E/W Crooked	202.35	LYNN, BRIAN K. & JENNIFER J. 5292 EDGEWOOD SHORES DR
4711-22-102-138	X022023, E/W Crooked	202.35	PETERSON BRADLEY R & JOYCE D 3150 ASPEN RIDGE CT
4711-22-102-139	X022023, E/W Crooked	202.35	BERTONCIN DAVID & CHERI 3158 ASPEN RIDGE CT
4711-22-102-140	X022023, E/W Crooked	202.35	SMITH GENTRY 3166 ASPEN RIDGE CT
4711-22-200-010	X022023, E/W Crooked	202.35	PETRILLO JULIE REV TRUST 5492 SHARP DR
4711-22-200-012	X022023, E/W Crooked	202.35	LEDFORD TRUST 5733 PINERIDGE LN
# OF PARCELS: 446	TOTALS:	90,248.10	

EXHIBIT C - CERTIFICATION

CERTIFICATE

I, the undersigned, Supervisor of Genoa Charter Township, Livingston County, Michigan (the "Township"), acting pursuant to a resolution duly adopted by the Township Board of the Township on March 6, 2023 (the "Resolution") certify that (1) the attached special assessment roll for the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023), to which this Certificate is affixed, was made pursuant to the Resolution and (2) in making such a roll, I have, according to my best judgment, conformed in all respects to the directions contained in the Resolution and the statutes of the State of Michigan, including Act No. 188, Public Acts of Michigan, 1954, as amended.

Dated: March 6, 2023

Bill Rogers
Genoa Charter Township Supervisor

**EXHIBIT D –
NOTICE OF SECOND PUBLIC HEARING
MARCH 20, 2023 AT 6:30PM**

**NOTICE OF MARCH 20, 2023 PUBLIC HEARING ON THE SPECIAL ASSESSMENT ROLL
FOR THE PROPOSED EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL
SPECIAL ASSESSMENT PROJECT (Summer 2023)
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

PLEASE TAKE NOTICE that the Supervisor has reported to the Township Board and filed in the office of the Manager and Township Clerk for public examination a special assessment roll covering all properties within the East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023). Said assessment roll has been prepared for the purpose of assessing a portion of the costs of the thereto within the aforesaid East and West Crooked Lakes Aquatic Weed Control Special Assessment Project (Summer 2023) assessment district. The costs are more particularly shown in the estimate of costs which is on file and available for public inspection in the office of the Manager and Township Clerk. The roll is the total amount of \$90,248.10 spread over 5 years with a proposed special assessment principal payment of \$202.35 per parcel for 446 parcels. The project costs and yearly cost per parcel are provided in the tables below:

EAST AND WEST CROOKED LAKES AQUATIC WEED CONTROL PROJECT (SUMMER 2023)	
PROJECT COST	\$86,248.10
ADMININISTRATION FEES	\$4,000
TOTAL PROJECT COST:	\$90,248.10

YEAR	PAYMENT TO PRINCIPAL	OUTSTANDING BALANCE
2023	\$ 40.47	\$ 161.87
2024	\$ 40.47	\$ 121.41
2025	\$ 40.47	\$ 80.94
2026	\$ 40.47	\$ 40.47
2027	\$ 40.47	-
	\$ 202.35	

PLEASE TAKE FURTHER NOTICE that the Township Board will hold a Public Hearing on **March 20, 2023 at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116**, to review the special assessment roll, to consider any objections thereto, and

to confirm the roll as submitted or revised or amended. The roll may be examined at the office of the Manager or Township Clerk at the Township hall during regular business hours of regular business days until the time of the hearing and may be examined at the hearing. Appearance and protest at the hearing is required in order to appeal the amount of the special assessment to the State Tax Tribunal.

Any owner or party in interest, or agent, may appear in person at the hearing to protest the special assessment, or may file an appearance or protest by letter at or before the hearing, and in that event personal appearance shall not be required. The owner or any person having an interest in the real property who protests in person or in writing at the hearing may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the special assessment roll is confirmed.

After the public hearing, the Township Board may confirm the roll as submitted or as revised or amended; may provide for payment of special assessments in installments with interest on the unpaid balance; and may provide by resolution for other matters permitted by law with regard to special assessments.

All interested persons are invited to be present at the hearing to submit comments concerning the foregoing. The Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the hearing upon seven (7) days' notice to the Township Manager. Individuals with disabilities requiring such aids or services should contact the Manager at the address or phone number listed below.

This notice is given by order of the Genoa Charter Township Board.

Dated: March 7, 2023

Kelly VanMarter
Genoa Charter Township Manager
2911 Dorr Road, Brighton, MI 48116
Phone: 810-227-5225
Email: kelly@genoa.org

Publication: Press/Argus on 3/10/23 and 3/17/23

EXHIBIT E

AFFIDAVIT OF MAILING

STATE OF MICHIGAN)

COUNTY OF LIVINGSTON)

Kelly VanMarter, being first duly sworn, deposes and says that she personally prepared for mailing, and did on March 9, 2023, send by first-class mail, the notice of hearing, a true copy of which is attached hereto, to each record owner of or party in interest in all property to be assessed for the improvement described therein, as shown on the last local tax assessment records of the Charter Township of Genoa; that she personally compared the address on each envelope against the list of property owners as shown on the current tax assessment rolls of the Township; that each envelope contained therein such notice and was securely sealed with postage fully prepaid for first-class mail delivery and plainly addressed; and that she personally placed all of such envelopes in a United States Post Office receptacle on the above date.

Kelly VanMarter
Genoa Charter Township Manager

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Amy Ruthig, Planning Director
DATE: March 1, 2023
RE: Wonderland Marine West New Showroom
Special Land Use, Site Plan and Impact Assessment

Please find attached the project case file for a special land use and site plan review project for a proposed Wonderland Marine West Showroom located at 5796 Grand River Avenue. The applicant is proposing to replace the existing boat showroom and sales building with a new 11,990 sq. ft. building. Table 7.02 of the Township Zoning Ordinance allows boat and recreational vehicle sales with special land use approval which is subject to the use conditions of Section 7.02.02 (c) The property is zoned General Commercial District.



Procedurally, the Planning Commission is to review the special land use, site plan and environmental impact assessment, and put forth recommendations to the Township Board following a public hearing. The project was heard before the Planning Commission on February 13, 2023 and the Commission recommended approval. Based on that recommendation I offer the following for your consideration:

SPECIAL USE PERMIT

Moved by _____, Supported by _____ to **APPROVE** the Special Land Use permit for Wonderland Marine West located at 5796 Grand River Avenue as the conditions in Section 19.03 are generally met and that there are favorable findings relating to the

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter

compatible impacts of 7.02.02 (c) and 19.07 and it is found to be consistent to waive the buffer zone requirement of that section. This approval is conditioned upon the following:

- One boat display is allowed on the concrete display area only.

ENVIRONMENTAL IMPACT ASSESSMENT

Moved by _____, Supported by _____ to **APPROVE** the Environmental Impact Assessment dated November 1, 2022 for Wonderland Marine located 5796 Grand River Avenue.

SITE PLAN

Moved by _____, Supported by _____ to **APPROVE** the site plan dated February 9, 2023 for Wonderland Marine West located at 5796 Grand River Avenue with the following conditions:

- Petitioner will review with the MDOT the east entry to seek to improve the drive radius.
- Parking lot sign and wall sign must comply with the township sign ordinance.
- The petitioner will seek variance approval for a ground monument sign. The pole sign will only be allowed to remain if a variance is not approved.
- The remaining site shall be in conformance with all previous site plan approvals.
- All landscaping shall comply with Section 12.02.11 of the township zoning ordinance.

If you should have any questions, please feel free to contact me.

Best Regards,



Amy Ruthig



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: MITTS, LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: MITTS, LLC

SITE ADDRESS: 5796 E. Grand River, Howell, MI. PARCEL #(s): 4711-10-400-019

APPLICANT PHONE: (517) 548-5122 OWNER PHONE: (517) 548-5122

OWNER EMAIL: pmitter@WonderlandMarineWest.com

LOCATION AND BRIEF DESCRIPTION OF SITE: South side of Grand River, West of Dorr Road. Existing Wonderland Marine boat sales showroom and offices.

BRIEF STATEMENT OF PROPOSED USE: Boat showroom and sales offices

THE FOLLOWING BUILDINGS ARE PROPOSED: Construct a new showroom and sales offices to replace the existing showroom and sales offices.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Gary Mitter

ADDRESS: 5796 E. Grand River, Howell, MI.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Wayne M. Perry, P.E. of Desine Inc. at Waynep@DesineInc.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: *Gary E. Mitter* DATE: 10-27-22
 PRINT NAME: Gary Mitter PHONE: 517 548-5122
 ADDRESS: 5796 E. Grand River, Howell, MI. 48843



GENOA CHARTER TOWNSHIP Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: MITTS, LLC, 5796 E. Grand River, Howell, MI 48843

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (517) 548-5122 EMAIL: pmitter@WonderlandMarineWest.com

OWNER NAME & ADDRESS: MITTS, LLC, 5796 E. Grand River, Howell, MI 48843

SITE ADDRESS: 5796 E. Grand River, Howell, MI PARCEL #(s): 4711-10-400-019

OWNER PHONE: (517) 548-5122 EMAIL: pmitter@WonderlandMarineWest.com

Location and brief description of site and surroundings:

South side of Grand River, West of Dorr Road. Existing Wonderland Marine boat sales and service

Proposed Use:

New and used boat sales and service showroom and sales offices

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Proposed use of the site for new and used boat sales and service will remain the same as the current use of the site. The use as a retail business serving the requirements of the overall community. Future land use of the property, and the adjacent parcels, is anticipated to be Commercial.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The proposed showroom and sales office building will replace the existing showroom and sales office building. The new building will be relocated to conform to the required front setback, and will be designed to conform to current architectural standards of the Township. The proposed building will provide a significant improvement to the area.

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

The proposed expanded showroom and sales offices will allow for the display and sales of a wider variety of boats, and larger size boats. The existing public facilities and services currently servicing the site are adequate to accommodate the proposed larger showroom and sales office building.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

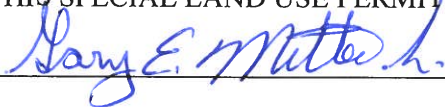
Proposed use as a showroom and sales offices for new and used boats is the same as the existing use. The activities are not detrimental to the environment, public health, safety or welfare.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

7.02.02(c) - Site is the location of the existing showroom and sales offices for new and used boats, outdoor storage areas on the parcel are paved and not within proposed greenbelt areas, proposed building is 11,990 sq.ft. in area, adequate truck maneuvering area is provided, and the parcel does not abut residentially zoned property.

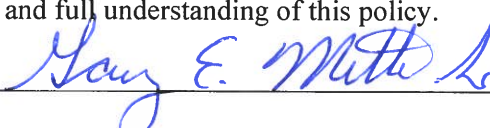
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Gary Mitter, MITTS, LLC STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Gary Mitter 

ADDRESS: 5796 E. Grand River, Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:		
<u>Wayne M. Perry, P.E.</u>	<u>of Desine Inc.</u>	<u>at Wayne@Desineinc.com</u>
Name	Business Affiliation	Email

FEE EXCEEDANCE AGREEMENT	
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: <u></u>	DATE: <u>10-27-22</u>
PRINT NAME: <u>Gary Mitter</u>	PHONE: <u>517-548-5122</u>

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 13, 2023
6:30 P.M.**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Eric Rauch, Tim Chouinard, Diana Lowe, and Marianne McCreary. Absent was: Glynis McBain. Also present was Township Manager Kelly VanMarter, Planning Director Amy Ruthig, Brian Borden of SafeBuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Lowe, seconded by Commissioner McCreary, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC:

The call to the public was opened at 6:31 pm with no response.

OPEN PUBLIC HEARING # 1...Consideration of special land use application, environmental impact assessment and site plan for the construction of an 11,990 sq. ft. boat showroom and sales office building replacing the existing building for Wonderland Marine West located at 5796 Grand River Avenue. The request is petitioned by Mitts, LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (dated 11-1-22)
- C. Recommendation of Site Plan (dated 2-9-23)

Mr. Wayne Perry of Desine, Inc. and Mr. Paul Mitter, the applicant, were present. Mr. Perry provided a review of the request. They would like to remove the existing showroom and, in its place, construct a new showroom and parking lot. The site currently sits forward on Grand River Avenue and the drive aisles are very tight to the road. The proposed plan would relocate the building and parking further back from Grand River Avenue.

Mr. Borden reviewed his letter dated February 8, 2023. He stated the plans that he reviewed are the same plans from the December Planning Commission meeting. The Township is in process of having the Town Center Overlay District removed from the zoning map. The plans were reviewed under the General Commercial District zoning for this meeting.

1. Special Land Use (Section 19.03):
 - a. The standards of Section 19.03 are generally met.

- b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 7.02.02(c) which is the requirements for boat sales need to be met to the Planning Commission's satisfaction.
 - c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Use Conditions (Section 7.02.02 (c)):
- a. The vast majority of the use conditions are met.
 - b. The boat sales with outdoor storage requires a buffer zone B. Those are not fully met for either side or the rear of the site. The Planning Commission does have discretion in regards to landscaping requirements.
3. Site Plan Review:
- a. The front parking lot setback is deficient by 2 feet. The additional 2 feet needed for compliance can be gained by reducing either the drive aisle width (from 26 to 24 feet) or the parking space depth (from 18 to 16 feet).
 - b. Building materials and design are subject to review and approval by the Planning Commission. The front façade presented indicates there are two overhead doors. Overhead doors are typically located on the side or rear. In addition, the west and south elevations are metal sided, if deemed to be visible from the road or parking lot, then the amount of metal siding exceeds Zoning Ordinance requirements in section 12.01.
 - c. We request the applicant evaluate alternatives to the use of parallel parking spaces.
 - d. The site plan is deficient by 1 barrier-free parking space.
 - e. One of the proposed light fixtures will cast light outwards instead of downwards similar to a flood light style.
 - f. The lighting plan did not include photometric readings. There are two types of fixtures shown on the plan including 1 flood light located at the back of the building. Due to the nature of the variance, we would like to see a detailed lighting plan with lighting levels.
 - g. The landscaping plan is deficient in terms of greenbelt and parking lot tree plantings.
 - h. The Planning Commission has the authority to waive or modify landscaping requirements.
 - i. We request the applicant describe the intended method of refuse removal.
 - j. We suggest the applicant remove the nonconforming pole sign as part of this project.

Mr. Perry stated that the applicant could reduce the parking spaces to 16 feet. Commissioner Rauch stated that the vehicles in the boat market are typically larger. He believes that the parking lot should maneuver well and would prefer to have more room in the parking lot since there is vehicles coming off of Grand River Avenue. Commissioner McCreary agreed since she has been to the site. Commissioners agreed the 18-foot greenbelt is sufficient.

After discussion, Commissioners agreed with the location of the overhead doors on the front façade since they are all glass and the use of metal siding on the west and south elevations since the new building is located further back on the property.

Mr. Perry stated that the parallel parking is required to meet the parking standards and also gives the ability to park a vehicle trailering a boat while not obstructing the main driveway. Mr. Perry stated that the applicant will add one more barrier free parking space to meet ordinance.

Commissioner Rauch requested to see a more detailed landscape plan specially in the front of the parking area. It does not have to be high shrubs. Also, on the west side of the parking area could easily be doubled in that area. He would like to see fifty percent more landscaping material. Commissioner McCreary would also like to see additional landscaping due to the building and concrete, it would soften the look. Mr. Perry agreed that the applicant could plant more low-lying shrubs however, they cannot plant trees in the front area due to the utility lines.

Mr. Perry stated that the only location of the flood style light is located at the rear of the building which is used for safety purposes.

In regards to the ability to plant greenbelt trees there are overhead wires and poles in the greenbelt area. Mr. Mitter stated that the overhead lines are low hanging.

Chairman Grajek sees that the only place for landscaping is located in the front yard area. Commissioner Rauch asked about the location of the waste receptacle. Mr. Mitter stated that the waste receptacle was located in the rear of the property in an enclosure.

Commissioner Lowe questioned if they have discussed obtaining a new sign. Mr. Mitter stated that they have not even looked at the pole sign and is not sure what the ordinance requirements are. Commissioner Rauch agrees with Mr. Borden in regards to the removing the pole sign. He stated that he does not want to require a new monument sign and then the applicant can not meet the setback requirements. Mr. Perry stated that they could place a sign closer to the road right of way.

Ms. VanMarter agreed with Mr. Borden on replacing the nonconforming sign and the Commission could ask for the applicant to attempt to obtain a variance due to the setback requirements.

A call to the public was made at 7:10 p.m.: Jordan Mitter is an employee of the company. In asking for more greenery which there are a lot of semi-trucks coming in and out and a consumer with a boat trailer could damage the semi or their product could be damage with the addition of more greenery or shrubs.

The call to the public was closed at 7:11 p.m.

Ms. Byrne stated that all of her items have been addressed per the letter dated December 7, 2022.

The Brighton Area Fire Authority Fire Marshal had no outstanding issues noted in his letter dated December 5, 2022.

Commissioner McCreary asked if the applicant has thought of installing signs to help indicate direction for customers pulling in the parking lot or if they have considered an “exit” and “enter” only driveway. Mr. Perry stated that there are two entrances and the east entrance is both an enter and exit for anyone towing a boat or semi-trucks delivering boats which leads to the south end of the site. The other entrance is plenty wide enough for anyone towing a boat to the maneuver the lot. Commissioner McCreary asked if any signage could be added to show direction for anyone entering the property. She asked if a sign could be located on the fence. Commissioner Rauch would like to see a single sign on the east side would state “Delivery and service” would be helpful.

Commissioner Rauch stated that the turning radius on the east side turning out seems tighter than the west side entry. Mr. Mitter stated that it is currently wide enough right now. Mr. Perry stated that expanding the radius, due to the flare of the radius, could cross over the property line and the Livingston County Road Commission would not approve that. Mr. Perry stated he would approach the Livingston County Road Commission to seek approval.

Ms. VanMarter asked if there is a detail on what the new fence would look like. The Commission would like to see a more decorative fence than the original fence that is located on the property. Mr. Perry stated that they could do an architectural fence across the front. Ms. VanMarter would like to clarify that a single trailer will be on display in the front. Applicant agreed.

Moved by Commissioner Rauch, seconded by Commissioner McCreary, to recommend to the Township Board approval of the Special Use Application for Wonderland Marine West located at 5796 Grand River Avenue as this Commission finds that the conditions in Sections 19.03 are generally met and that there are favorable findings relating to the compatible impacts of 7.02.02 (C) and 19.07 and specially find it consistent to waive the buffer zone requirement of that section.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to recommend to the Township Board approve of the Environmental Impact Assessment dated November 1, 2022, for 5796 Grand River Avenue. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to recommend to the Township Board approval of the Site Plan dated February 9, 2023 for 5796 Grand River Avenue, conditioned upon the following:

- The front greenbelt of 18 feet is satisfactory.
- An additional barrier free space will be added to make a total of 2 on the site.
- All site lighting and building mounting lighting will meet the requirements of the township ordinance and a photometric drawing will be submitted to the Township staff for review.
- Petitioner will review with the LCRC the east entry to seek to improve the drive radius.
- A single sign on the east entry indicating “Deliveries” be added.
- The security fencing will be an architectural fence to be approved by township staff.

- A landscape plan will be improved by adding an additional 50 percent of low-lying plant material.
- The petitioner will seek variance approval for a ground monument sign. The pole sign will only be allowed to remain if a variance is not approved.

The motion carried unanimously

OPEN PUBLIC HEARING # 2... Consideration of a sketch plan application and sketch plan to install an all-abilities playground "Senior Survivor Park" within the existing Genoa Charter Township park property. The park is located at 2911 Dorr Road, on the east side of Dorr Road, just north of Crooked Lake Road. The request is petitioned by Genoa Charter Township.

A. Disposition of Sketch Plan (10-31-22)

Ms. VanMarter stated that the request is to expand the existing park that is located at the Genoa Charter Township Hall property. The Township has partnered with Howell Public Schools for a project to construct an all-abilities playground. Participant seniors at Howell High School has raised funds over the last two years and the Township Board has offered to contribute funds, location and long-term maintenance for the park facility.

Ms. VanMarter stated that there were concerns about parking stated in engineer's letter. She provided a parking analysis that shows that there is suitable parking and as Township Manager she is keeping an eye on the parking and she does think that there could a real possibility that the Township could require additional parking. She has ideas on how and where to add additional parking.

Ms. VanMarter gave an overview on the all abilities components of the park. It is meant to have design features that are usable in some way shape or form by everyone.

Mr. Borden reviewed his letter dated February 9, 2023.

1. The accessory recreational structures are affiliated with a principal use, per Ordinance requirements.
2. The height of all structures proposed are within that allowed for conventional accessory structures.
3. Each structure is located well outside of required setbacks.
4. The Commission should consider any comments provided by the Township's Engineer.

Ms. Bryne reviewed her letter dated February 6, 2023.

1. The petitioner addressed the parking comment.
1. The proposed playground plan shows multiple small boulder retaining walls. Prior to construction the petitioner should provide more detail on the proposed grading and retaining walls around the picnic area for review.

The Brighton Area Fire Authority Fire Marshal requested that if a fence is required by the Livingston County Building Department that it should be installed on the proposed retaining walls.

A call to the public was made at 7:32 p.m. with no response.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
December 12, 2022
6:30 P.M.
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Eric Rauch, Tim Chouinard, Diana Lowe, and Marianne McCreary. Absent were: Jeff Dhaenens and Glynis McBain. Also present was Township Manager Kelly VanMarter, Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC:

The call to the public was opened at 6:31 pm with no response.

OPEN PUBLIC HEARING #1...Consideration of special land use application, environmental Impact assessment and site plan for the construction of an 11,990 sq. ft. boat showroom and sales office building replacing the existing building for Wonderland Marine West located at 5796 East Grand River Avenue. The request is petitioned by Mitts, LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (dated 11-1-22)
- C. Recommendation of Site Plan (dated 11-21-22)

Mr. Wayne Perry of Desine, Inc. and Mr. Gary Mitter, the applicant, were present. Mr. Perry provided a review of the request. They would like to demolish and reconstruct an 11,999 square foot showroom. They will also be removing and reconstructing the parking lot.

Mr. Borden reviewed his letter dated December 6, 2022.

1. Special Land Use:
 - a. The standards of Section 19.03 are generally met.

- b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 7.02.02(c) need to be met to the Planning Commission's satisfaction.
 - c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Use Conditions:
- a. The majority of the use conditions are met; however, the buffer zone requirements are not fully met for either side or the rear of the site. Under the Town Center Overlay District (TCOD) regulations, the Planning Commission may waive the side yard requirements; however, the rear yard buffer zone is required.
3. Site Plan Review:
- a. The proposed parking does not fully comply with the dimensional requirements of Section 9.04.01.
 - b. The proposed building does not fully comply with the architectural requirements of Section 9.05.01. Per Section 9.05.03, the Township may modify these requirements.
 - c. Proposed sidewalks, street trees and lighting do not fully comply with the streetscape requirements of Section 9.06.01.
 - d. The proposed parking does not fully comply with the parking and loading requirements of Section 9.07.
 - e. The site plan does not fully comply with the open space requirements of Section 9.08.

He noted that The Township has not had one project that has been able to comply completely with the Town Center Overlay standards. Any projects within this zoning district have had the TCOD removed. He and Township Staff have discussed this, and it appears that this zoning has not produced projects as was anticipated. Due to this, he would recommend that this site have the TCOD removed and have it returned to its general zoning. Without this, the applicant would need to go to the Zoning Board of Appeals for many variances. Additionally, he and Staff recommend removing this district from the zoning ordinance. The Planning Commission has the ability to do this by a motion. Ms. VanMarter showed the zoning map and what properties would be affected.

Commissioner Rauch agrees with the suggestion; however, he questioned the sidewalk requirements and those projects that have left money in escrow for those improvements. Ms. VanMarter would like to keep the sidewalk requirements for all those properties.

Ms. Byrne reviewed her letter dated December 7, 2022.

1. The sidewalk cross section should be updated to show six inches of MDOT CLII sand subbase.
2. The Livingston County Drain Commissioner (LCDC) requires that the "Land Use Summary Table" found in Appendix J of their updated LCDC Procedures and Design Criteria for Stormwater Management Systems be included on the cover sheet of the construction plans.

3. The existing site plan originally showed standing water around the storm catch basin on the south of the site. More information should be provided as to what is causing the on-site flooding, and the site plan should demonstrate how this issue will be addressed. Aerial imagery shows that the area is frequently flooded throughout the year.

Mr. Perry acknowledged there is standing water in the spring; however, this catch basin flows into the retention basin on the Crystal Gardens property and they do not have the ability to change it. It is a seasonal, temporary problem. It is where the boats are stored so it does not create a problem. Mr. Mitter stated when the water is too high, they pump the water out of this area onto their vacant property. Mr. Perry noted that the LCDC does not allow a connection into the storm sewer on Grand River because it is at capacity.

Commissioner Rauch asked if this project would increase or decrease the impervious service. Mr. Perry stated it is being reduced.

The Brighton Area Fire Marshal's letter dated December 5, 2022 states the Knox box and Knox Padlock are now shown on the revised site plan submittal. All other previous comments will be addressed on the architectural plan review and are subject to inspection by the fire authority.

The call to the public was made at 6:56 pm with no response.

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to table the request for the construction of an 11,990 sq. ft. boat showroom and sales office building replacing the existing building for Wonderland Marine West located at 5796 East Grand River Avenue. **The motion carried unanimously.**

Commissioner Rauch noted that the TCOD zoning has been discussed very often over the last seven years, including during the latest Master Plan Update.

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to direct Township Staff to take the action of removing the Township Center Overlay District (TCOD) from the zoning map. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2...Continuation of public hearing for the proposed Genoa Charter Township Master Plan.

Ms. VanMarter stated a public hearing was held at the previous Planning Commission meeting; however, there are some changes that still need to be made before it can be presented to the Planning Commission.

The call to the public was made at 7:07 pm.



February 8, 2023

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Wonderland Marine – Special Land Use and Site Plan Review #3
Location:	5796 Grand River Avenue – south side of Grand River, west of Dorr Road
Zoning:	GCD General Commercial District and TCOB Town Center Overlay District

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from Wonderland Marine for construction of a new boat showroom and sales office building to replace the existing building (plans dated 11/21/22).

A. Summary

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 7.02.02(c) need to be met to the Commission’s satisfaction.
- c. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.

2. Use Conditions (Section 7.02.02(c)):

- a. The majority of the use conditions are met.
- b. The buffer zone requirements are not fully met for either side or the rear of the site.

3. Site Plan Review:

- a. The front parking setback is deficient by 2 feet.
- b. Building materials and design are subject to review and approval by the Planning Commission.
- c. We request the applicant evaluate alternatives to the use of parallel parking spaces.
- d. The site plan is deficient by 1 barrier-free parking space.
- e. One of the proposed light fixtures will cast light outwards instead of downwards.
- f. The lighting plan does not include photometric readings.
- g. The landscaping plan is deficient in terms of greenbelt and parking lot tree plantings.
- h. The Commission has the authority to waive or modify landscaping requirements.
- i. We request the applicant describe the intended method of refuse removal.
- j. We suggest the applicant remove the nonconforming pole sign as part of this project.

B. Proposal/Process

The applicant proposes to replace the existing boat showroom/office sales building with a new 11,990 square foot building.

As previously discussed, the Township is in the process of amending the Zoning Map to remove the TCOB. As such, we have reviewed the proposal for compliance with the conventional standards of the GCD.

Table 7.02 allows boat and recreational vehicle sales with special land use approval in the GCD. The request is also subject to the use conditions of Section 7.02.02(c).

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth recommendations to the Township Board following a public hearing.



Aerial view of site and surroundings (looking south)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site as Mixed-Use Town Center, which is planned for “a mixture of uses integrated into a traditional-style development of high density single family homes, attached and detached, along with various commercial uses including retail and office” with the intent of creating “a destination in the Township as an alternative to the consistent strip development that currently exists along Grand River Avenue from Howell to Brighton.”

As previously discussed, the Township may view the proposal as an improvement to the site and existing building, while the existing business could be viewed as an attraction to the area.

- 2. Compatibility.** Surrounding properties along Grand River include a variety of commercial, office, and service uses (including boat sales). Use of the property for boat sales will not change; however, the new building results in the need for a new special land use review/approval.

Since the use is not changing, it is expected to remain compatible with surrounding area. The use conditions of Section 7.02.02(c) are also intended to help mitigate potential impacts of such uses.

Provided the use conditions are met to the Commission’s satisfaction, we expect the proposal to be compatible with the surrounding area.

- 3. Public Facilities and Services.** Given that the site fronts Grand River and has already been developed, we anticipate that necessary public facilities and services are in place.

However, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

- 4. Impacts.** Similar to comments above, provided the use conditions are met, surrounding properties are not expected to be adversely impacted by the proposal.
- 5. Mitigation.** If further concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions

Boat sales are subject to the use conditions of Section 7.02.02(c), as follows:

- 1. Sale space for used mobile homes, recreational vehicles and boats may only be carried on in conjunction with a regularly authorized new mobile home, recreational vehicle or boat sales dealership on the same parcel of land.**

The submittal notes that the business includes the sale of new and used boats.

- 2. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

The project area includes new pavement, while the remainder of the site already contains paved surfaces.

- 3. No storage or display of vehicles shall be permitted in any landscape greenbelt area, provided the Township may permit a display pod for an automobile within the greenbelt area where it is integrated into the landscape design.**

The project includes a display area in the front yard towards the easterly side of the site; however, it is not located within the required front yard greenbelt area.

- 4. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

The proposed building provides 11,990 square feet of gross floor area.

- 5. All loading and truck maneuvering shall be accommodated on-site.**

The submittal depicts sufficient maneuvering space is provided on-site.

- 6. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

A buffer zone B is required along both sides and the rear of the site; however, none of these areas are fully compliant.

The west side includes existing fencing ranging in height from 4' to 8' and a bioswale is proposed along the east side. Neither the site plan nor the landscape plan depicts the rear of the property.

The Commission has the authority to waive or modify landscaping requirements, in accordance with Section 12.02.13.

E. Site Plan Review

1. Dimensional Requirements. The proposal has been reviewed for compliance with the dimensional requirements of the GCD, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height (feet)
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
GCD	1	150	70	10	40	20 front 10 side/rear	35% building 75% impervious	35
Proposed	2.01	201	70.8	15 (W) 76.2 (E)	255.8	18 front 11.5 side (W) 10.7 side (E)	29.2% building 75% impervious	27.5

The only dimensional deficiency is the parking front setback. The additional 2 feet needed for compliance can be gained by reducing either the drive aisle width (from 26 to 24 feet) or the parking space depth (from 18 to 16 feet).

2. Building Design and Materials. The primary building materials are brick and metal siding with numerous windows on the north and east elevations.

If the west and south elevations are deemed to be visible from the road or parking lot, then the amount of metal siding exceeds that allowed by Section 12.01.

Additionally, the front elevation includes 2 overhead doors, which are typically only allowed on the side or rear.

We suggest additional discussion with the Commission regarding these items.

3. Pedestrian Circulation. The site plan proposes a 5-foot wide concrete sidewalk along Grand River, as required by Section 12.05.

4. Vehicular Circulation. The developed site has two existing full turning movement driveways to/from Grand River Avenue, and no changes are proposed.

The drive aisles at the front of the site provide sufficient width for two-way travel.

The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. Parking. Based on information contained in the submittal, the project requires 26 parking spaces, which are provided by a mix of perpendicular and parallel parking.

The design and dimensions comply with Ordinance standards, though we generally recommend against the use of parallel spaces for off-street parking. We request the applicant evaluate possible alternatives to accommodate 4 spaces elsewhere.

Given the number of spaces provided (26), the site plan is deficient by 1 barrier-free space.

6. Exterior Lighting. The lighting plan identifies 4 new light poles and 7 new wall mounted fixtures.

Based on the detail sheets, the proposed fixtures are LED; however, one of the fixture types will cast light outward instead of downward, as required.

Pole heights comply with Ordinance standards; however, the lighting plan does not include photometric readings

7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 5 canopy trees 2.5' hedgerow OR 3' masonry wall	18' width Hedgerow	Width should be increased to 20' (as previously noted) Details of the hedgerow are not provided Deficient by 5 canopy trees
Parking lot	3 canopy trees 260 SF landscaped area	596 SF landscaped area	Deficient by 3 canopy trees

As described in Paragraph D Use Conditions, buffer zones are required along the side and rear lot lines, though neither existing conditions nor the proposed site plan provide for fully compliant buffer zones.

However, it is worth noting that the plan includes a rain garden/bioswale along the east side of the property, with plantings conducive to such conditions, and fencing of varied heights along the west side.

The Commission has the authority to waive or modify landscaping requirements, per Section 12.02.13.

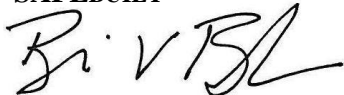
8. **Waste Receptacle/Enclosure.** The site plan does not identify a waste receptacle. As such, we request the applicant describe the intended method of refuse removal.

If a waste receptacle is necessary, one must be added to the site plan in accordance with requirements of Section 12.04.

9. **Additional Considerations.** Given the extent of improvements proposed, we suggest the applicant remove the nonconforming pole sign and replace it with a compliant monument sign.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager



December 7, 2022

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Wonderland Marine Showroom
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the proposed Wonderland Marine West site plan last dated November 21, 2022. The plans were prepared by Desine, Inc. on behalf of MITTS LLC. The development is located on 2 acres on the south side of Grand River Avenue near Dorr Road. The Petitioner is proposing to remove their existing 6,640 square foot showroom building and replace it with a new 11,990 square foot showroom building. The proposed site work includes repaving the existing parking lot with curb and gutter. We offer the following comments:

GENERAL

1. The sidewalk cross section should be updated to show 6 inches of MDOT CLII sand subbase.

DRAINAGE AND GRADING

1. The LCDC requires that the “Land Use Summary Table” found in Appendix J of their updated LCDC Procedures and Design Criteria for Stormwater Management Systems be included on the cover sheet of the construction plans.
2. The existing site plan originally showed standing water around the storm catch basin on the south of the site. More information should be provided as to what is causing the on-site flooding, and the site plan should demonstrate how this issue will be addressed. Aerial imagery shows that the area is frequently flooded throughout the year.

We recommend the petitioner address the above comments prior to approval.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

December 5, 2022

Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Wonderland Marine - Boat Showroom & Sales Office
5796 E. Grand River Avenue
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on November 23, 2022 and the drawings are dated November 1, 2022 with a revision date of November 21, 2022. The project is based on a proposed new Type IIB, 11,990 square foot showroom and sales office to replace the existing building. This plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

The Knox box and Knox Padlock are now shown on the revised site plan submittal. All other previous comments will be addressed on the architectural plan review and are subject to inspection by the fire authority.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

**WONDERLAND MARINE WEST
Genoa Township, Michigan
Site Plan Application**

IMPACT ASSESSMENT

Owner:

MITTS, L.L.C.
5796 East Grand River
Howell, Michigan 48843

Prepared by:

DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION (Sec. 18.07.01)

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed construction of a new showroom and sales office building on the surrounding community and, the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION (Sec. 18.07.02)

The site is an existing parcel containing 2.01 acres of property, bordered on the North by Grand River Avenue, on the East and South by Wilson Marine, with Crystal Gardens banquet center and a multi-tenant commercial building to the West, as shown on Figure 1. Properties North of Grand River Avenue are zoned “Lakeshore Resort Residential” (LRR) district, to the East and West is zoned General Commercial (GCD), and the parcel to the South is zoned Industrial (IND).

The existing site is developed and currently used as a showroom, sales center and for new boat display by Wonderland Marine West. The Wonderland Marine West Site Plan depicts removal and replacement of the existing showroom and sales center, and construction of a new showroom and sales center building. Re-development of the site will required demolition of the existing showroom building and removal of the surrounding pavement and utilities. Proposed improvements to the site will consist of the new 11,990 square foot showroom and sales center, sidewalks, parking, drive aisles, utilities, lighting and landscaping.

C. IMPACT ON NATURAL FEATURES (Sec. 18.07.03)

Existing soils on the property are Wawasee loam. These soils are well drained soils found in till plains and moraines, with slopes of 2%-18%. Surface runoff is medium, permeability is moderately low and the soil erosion hazard is light. The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and “Soil Survey of Livingston County”. On-site soils consist of the following:

WAWASEE LOAM (MoB): WAWASEE LOAMS are typically well drained soils found in till plains and moraines, with slopes of 2%-6%. Surface runoff is medium, permeability is moderately low and the soil erosion hazard is light.

WAWASEE LOAM (MoC): WAWASEE LOAMS are typically well drained soils found in till plains and moraines, with slopes of 6%-12%. Surface runoff is

high, permeability is moderate and the soil erosion hazard is light.

MIAMI LOAM (MoD): MIAMI LOAMS are typically well drained soils found in till plains and moraines, with soil slopes of 12%-18%. Surface runoff is medium, permeability is moderate and the soil erosion hazard is moderate.

The property is currently fully developed and paved. Existing topography of the site is generally flat. Surface water drainage for the portion of the site proposed for re-development is to the Northeast.

The proposed construction and improvements will require filling and grading in the area of the proposed building and new parking area. The proposed elevations and grading of the site mesh with the existing grades at the property lines. The limits of disturbance have been depicted on the grading plan.

Surface drainage characteristics on the property will not be significantly impacted by the proposed construction. Construction of the proposed improvements will increase the permeable area on the property, resulting in a decrease in the surface water runoff generated. The proposed changes and modifications to the surface drainage conditions will not have a negative impact on local aquifer characteristics or groundwater recharge capacity. Surface water runoff from the development will be reduced and no significant impacts to adjacent properties are anticipated from the proposed construction and re-development of the site.

Landscaping is proposed for the re-developed portion of the site to reduce the visual impact of the proposed project. All proposed landscaping areas and plantings have been designed per the requirements of Genoa Township’s current Zoning Ordinance and are intended to improve the aesthetics of the property. Within the developed portion of the site, areas not otherwise covered, shall have lawn or other vegetative surface cover established.

No wildlife habitats currently exist on the property.

D. IMPACT ON STORM WATER MANAGEMENT (Sec. 18.07.04)

The portion of the site proposed for re-development currently discharges surface water runoff to an existing storm sewer system along Grand River Avenue. Site grading will mesh with existing grades on adjoining properties. No adverse impact to adjacent parcels is anticipated due to the construction and grading of the property.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be installed around a majority of the site during construction. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due

to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES (Sec. 18.07.05)

No adverse impact to adjacent properties is anticipated due to the proposed demolition of the existing building, parking and related site utilities, and construction of the new showroom, parking and improvements.

Ambient noise levels on and around the property are largely generated by vehicular traffic on Grand River Avenue. Daily activities within the proposed buildings are not anticipated to create an increase in the sound level in the area.

All site lighting proposed will be pole mounted fixtures, will be shielded and down directed on the site.

The proposed use of the property does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

Soil erosion control measures such as silt fence, geotextile silt sack filters and construction track mats will be used during construction to control siltation and sedimentation from entering the storm water system and have an adverse impact on adjacent properties.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES (Sec. 18.07.06)

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department as a part of an existing governmental agreement will provide fire protection service. Existing fire hydrants are located along Grand River Avenue. The building address will be located at the front of the proposed building. No significant change in fire protection services are anticipated as a result of the proposed re-development of the property.

The proposed plan modifications will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES (Sec 18.07.07)

The property is presently within municipal sewer & water. Water service is available along

Grand River. Capacity is available within the existing water system to provide adequate service to this site.

Capacity is available within the existing sanitary sewer system to provide adequate service for the site.

The site is currently serviced by electric, gas, phone and cable systems located along Grand River Avenue.

Delivery services are generally limited to parcel trucks, such as UPS, and similar single axle vehicles. These delivery service providers use available street parking temporarily while dropping off deliveries.

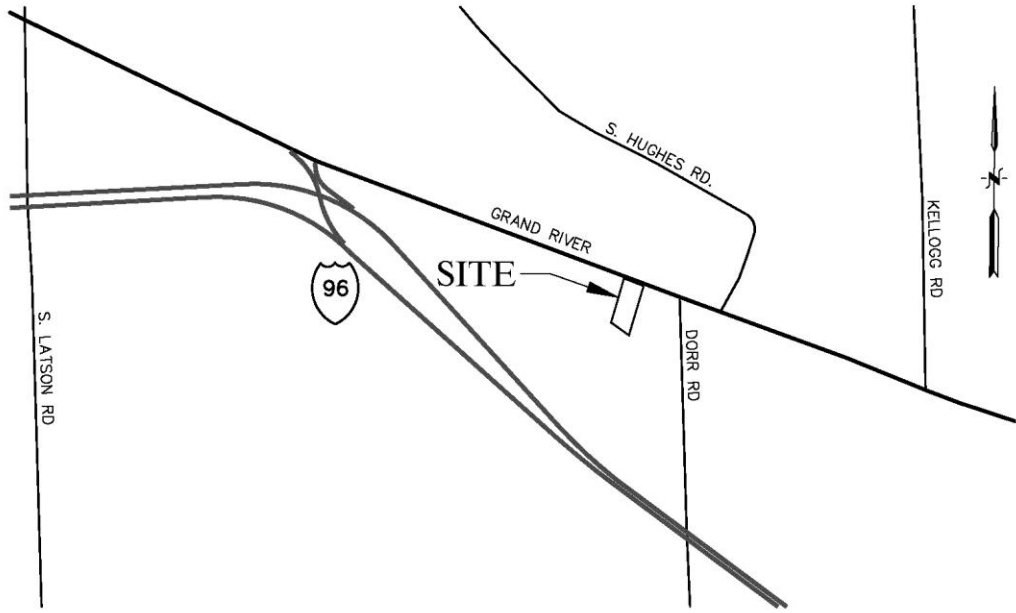
- H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS (Sec. 18.07.08)**
The showroom and sales center use within the proposed building will not use, store, generate and/or discharge potentially polluting materials. Small quantities of material such as cleaning products and chemicals may be stored. No adverse effect is expected due to hazardous materials on-site.

- I. TRAFFIC IMPACT STUDY (Sec. 18.07.09)**
No change in traffic use to the site is anticipated by the removal and replacement of the existing showroom and sales center building. No adverse impact on pedestrian traffic in the area is anticipated as a result of developing the proposed project.

- J. HISTORIC AND CULTURAL RESOURCES (Sec. 18.07.10)**
The existing buildings on the property do not have any major historic significance on a local, regional or state level.

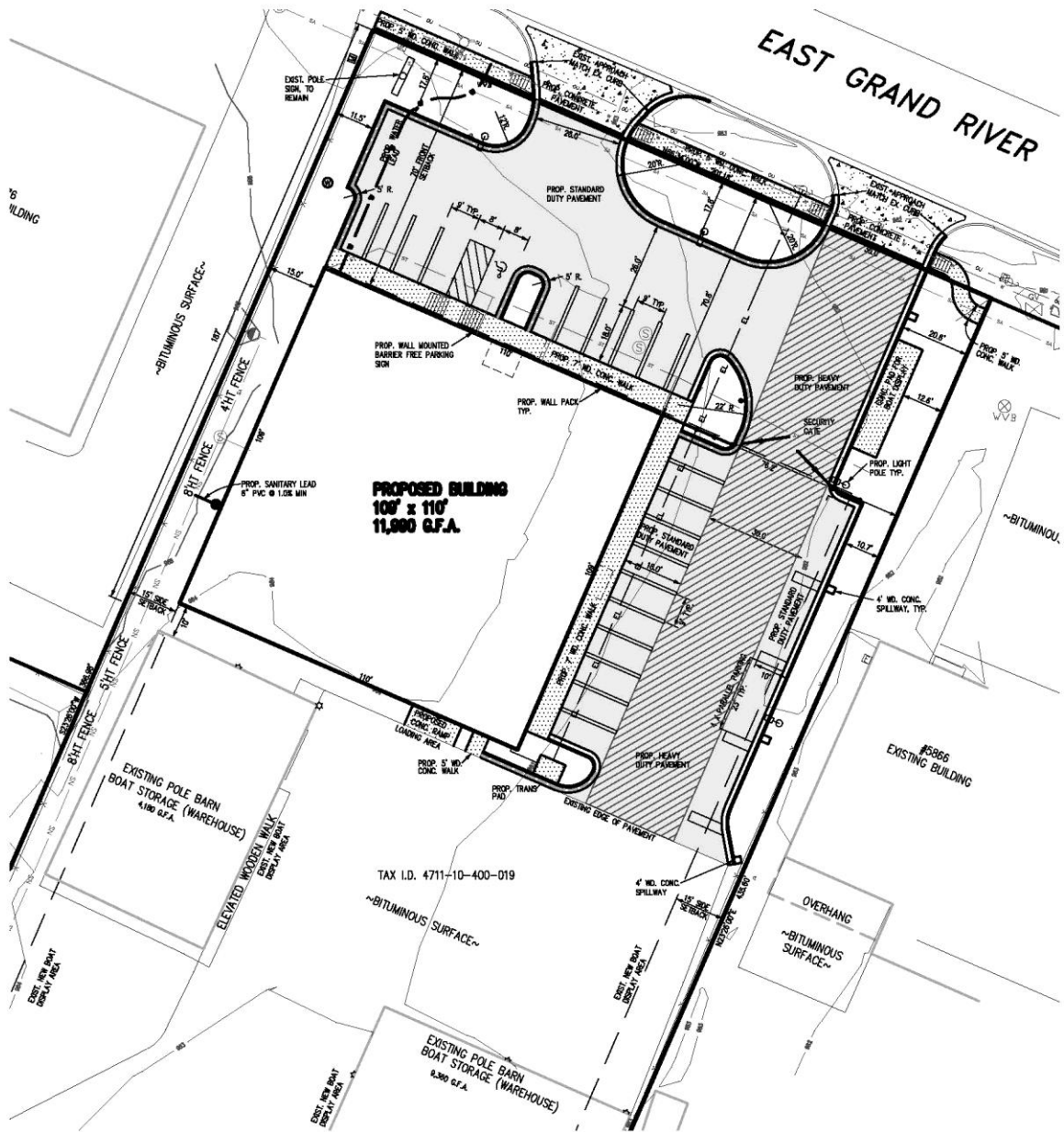
- K. SPECIAL PROVISIONS**
No special provisions or requirements are currently proposed for this facility.

FIGURE 1



LOCATION MAP
SCALE: 1in. = 2000ft.

FIGURE 2



SITE IMPROVEMENTS
NOT TO SCALE

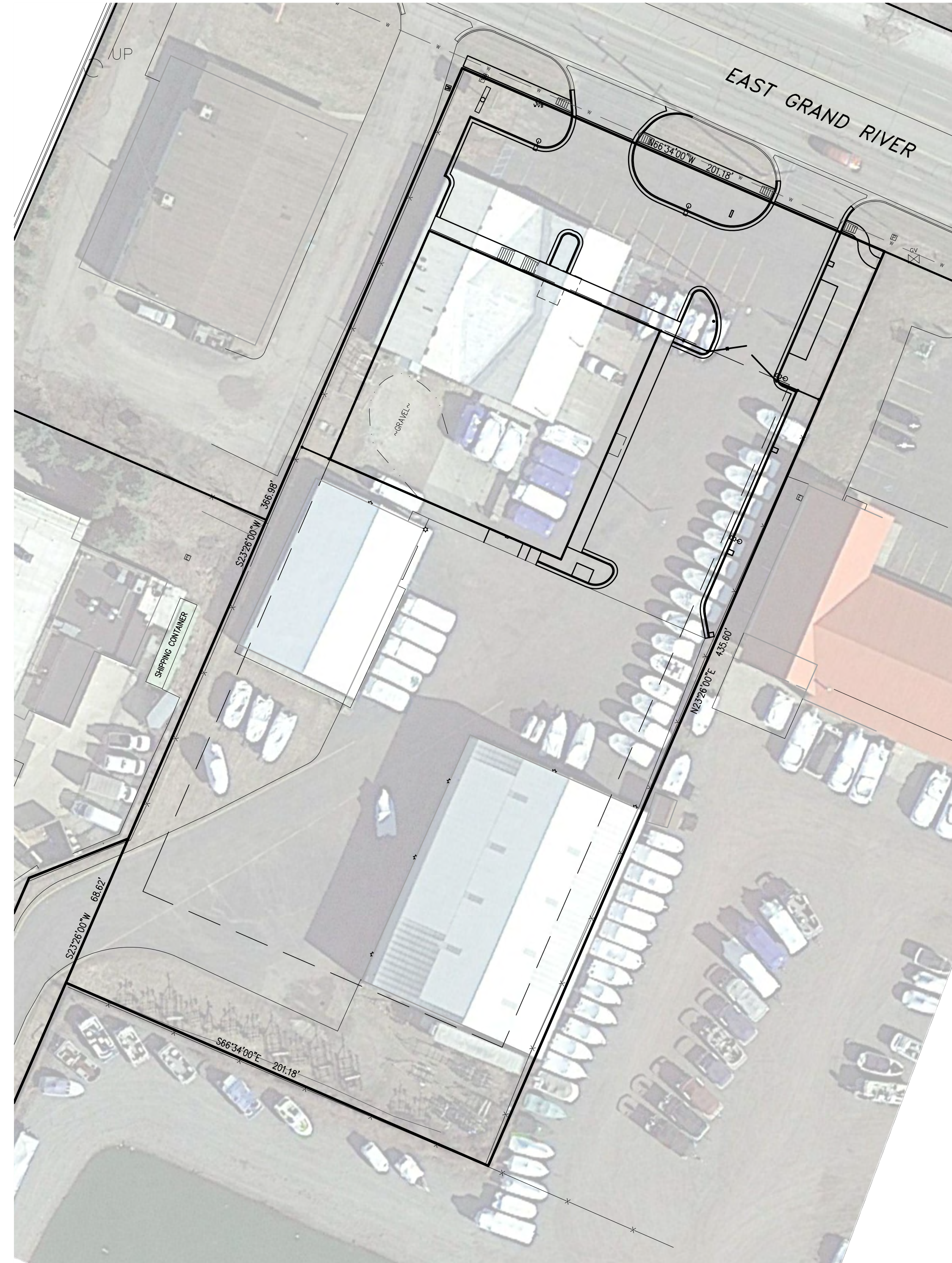
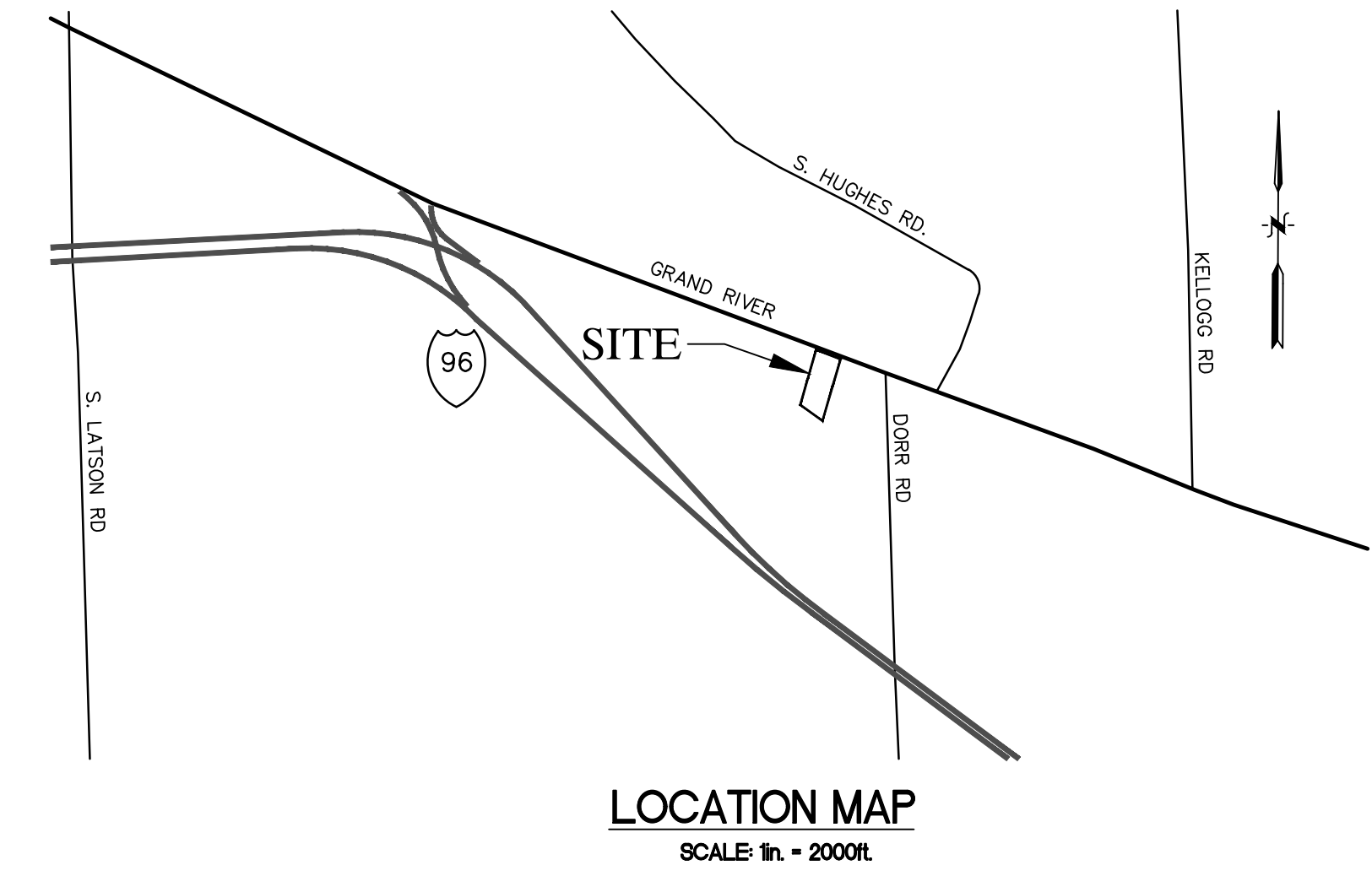
FIGURE 3



SOILS MAP
(NOT TO SCALE)

PROPOSED SITE PLAN FOR WONDERLAND MARINE WEST NEW SHOWROOM AND SALES OFFICE

**A PART OF THE SE 1/4 OF SECTION 10, T 2 N, R 5 E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN**



LEGAL DESCRIPTION

LEGAL DESCRIPTION
Reference: Tax Roll 2022

Part of the Southeast 1/4 of Section 10, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, more particularly described as follows:
Commencing at the Southeast Corner of said Section 10;
thence N02°08'E 800 feet;
thence N66°34'W 679 feet to the PLACE OF BEGINNING;
thence N66°34'W 200 feet;
thence S23°26'W 435.6 feet;
thence S66°34'E 200 feet;
thence N23°26'E 435.6 feet to the Place of Beginning.
Subject to and together with all easements and restrictions affecting title to the above described premises.
Tax ID No.: 4711-10-400-019
Also known as: 5796 E. Grand River, Howell, Michigan 48843

Refer to the current policy for title insurance for proof of ownership and all encumbrances affecting title to the described above parcel.

BENCHMARKS

DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED MARCH 28, 2022 AT 11:26 AM. PREVIOUS DATUM FROM MARCH 1999 HAS A DIFFERENCE OF -0.76'.

BENCHMARK #201
ARROW ON HYDRANT, LOCATED ON THE SOUTHERLY SIDE OF GRAND RIVER, NEAR THE NORTHWESTERLY CORNER OF #5796 PARCEL. ELEVATION = 986.63 (NAVD 88)

BENCHMARK #202
SOUTHEASTERLY CORNER OF CONCRETE PAD, LOCATED ON THE EASTERLY SIDE OF #5796 BUILDING. ELEVATION = 983.53 (NAVD 88)

SHEET INDEX

EX	EXISTING CONDITIONS & DEMOLITION PLAN
SP	SITE PLAN
GR	GRADING PLAN
LA1	LANDSCAPE PLAN, NORTH AREA
LA2	LANDSCAPE NOTES & DETAILS
SE1	SOIL EROSION CONTROL PLAN
SE2	SOIL EROSION CONTROL DETAILS
DT1	GENERAL NOTES & DETAILS
DT2	FENCING NOTES & DETAILS
LT	LIGHTING PLAN
A1	PROPOSED FLOORPLAN
A2	PROPOSED BUILDING ELEVATIONS
A3	PROPOSED BUILDING ELEVATIONS
A4	PROPOSED PERSPECTIVE VIEWS



ARCHITECT
LINDHOUT ASSOCIATES
10465 CITATION DR.
BRIGHTON, MICHIGAN 48116
(810) 227-5668

OWNER/DEVELOPER
MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN 48843
(517) 548-5122

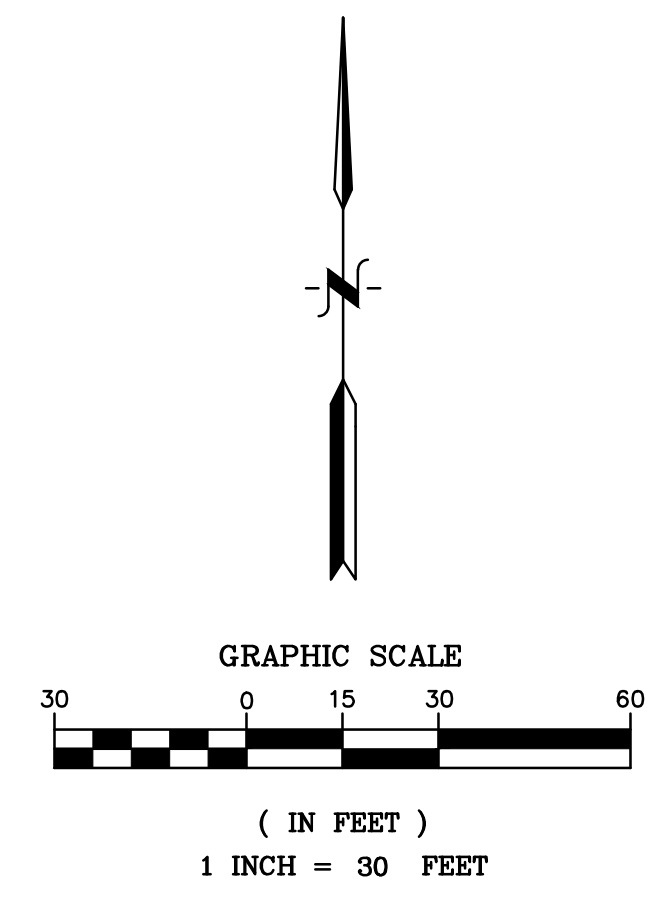
CIVIL ENGINEER/LAND SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MI. 48114
(810) 227-9533

REVISED	SCALE: N/A
NOV. 1, 2022	PROJECT No.: 214052
NOV. 21, 2022	DWG NAME: 4052 COV
FEB. 9, 2022	PRINT: FEB. 17, 2022



DEMOLITION NOTES:

- The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
- Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
- Contractor shall recycle and/or dispose of all demolition material and debris in accordance with the appropriate Local, County, State and Federal regulations.
- All bituminous and concrete pavement that is to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
- All existing irrigation lines that are to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
- All existing water main and sanitary sewer that is to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
- All existing storm sewer that is to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
- All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
- All existing utility meters that are to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
- All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, Modified Proctor).



LEGEND

- = PARCEL BOUNDARY LINE
- - - = SETBACK LINE
- ⊙ = WELL WATER
- ⊙ = BOLLARD
- ⊙ = STOP SIGN / PEDESTRIAN CROSSING SIGN
- ⊙ = SIGN / MONUMENT SIGN
- ⊙ = HANDICAP PARKING DESIGNATION
- ⊙ = EX. WALL PACK / OVERHEAD LIGHT
- ⊙ = LIGHT BASE
- ⊙ = UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
- ⊙ = UTILITY POLE W/ GUY WIRE
- ⊙ = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- ⊙ = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
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- ⊙ = CATCH BASIN W/IDENTIFIER
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- ⊙ = HYDRANT
- ⊙ = WATER SHUT OFF
- ⊙ = WATER VALVE BOX
- ⊙ = WATER MAIN
- ⊙ = GAS SHUT OFF
- ⊙ = U/G GAS
- ⊙ = 1' CONTOUR
- ⊙ = 5' CONTOUR
- ⊙ = EX. DRAINAGE TRIBUTARY LIMITS
- ⊙ = SURFACE RUNOFF FLOW DIRECTION

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED MARCH 28, 2022 AT 11:26 AM. PREVIOUS DATUM FROM MARCH 1999 HAS A DIFFERENCE OF -0.76'.
 BENCHMARK #201
 ARROW ON HYDRANT, LOCATED ON THE SOUTHERLY SIDE OF GRAND RIVER, NEAR THE NORTHEASTERLY CORNER OF #5796 PARCEL. ELEVATION = 986.63 (NAVD 88)
 BENCHMARK #202
 SOUTHEASTERLY CORNER OF CONCRETE PAD, LOCATED ON THE EASTERLY SIDE OF #5796 BUILDING. ELEVATION = 983.53 (NAVD 88)

3 WORKING DAYS BEFORE YOU DIG
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CIVIL ENGINEERS
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 BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	11-21-22	REVISED PER REVIEW COMMENTS
CHECK: WMP	2	02-17-23	REVISED PER PLANNING COMMISSION RECOMMENDATIONS

REVISION #	DATE	REVISION-DESCRIPTION

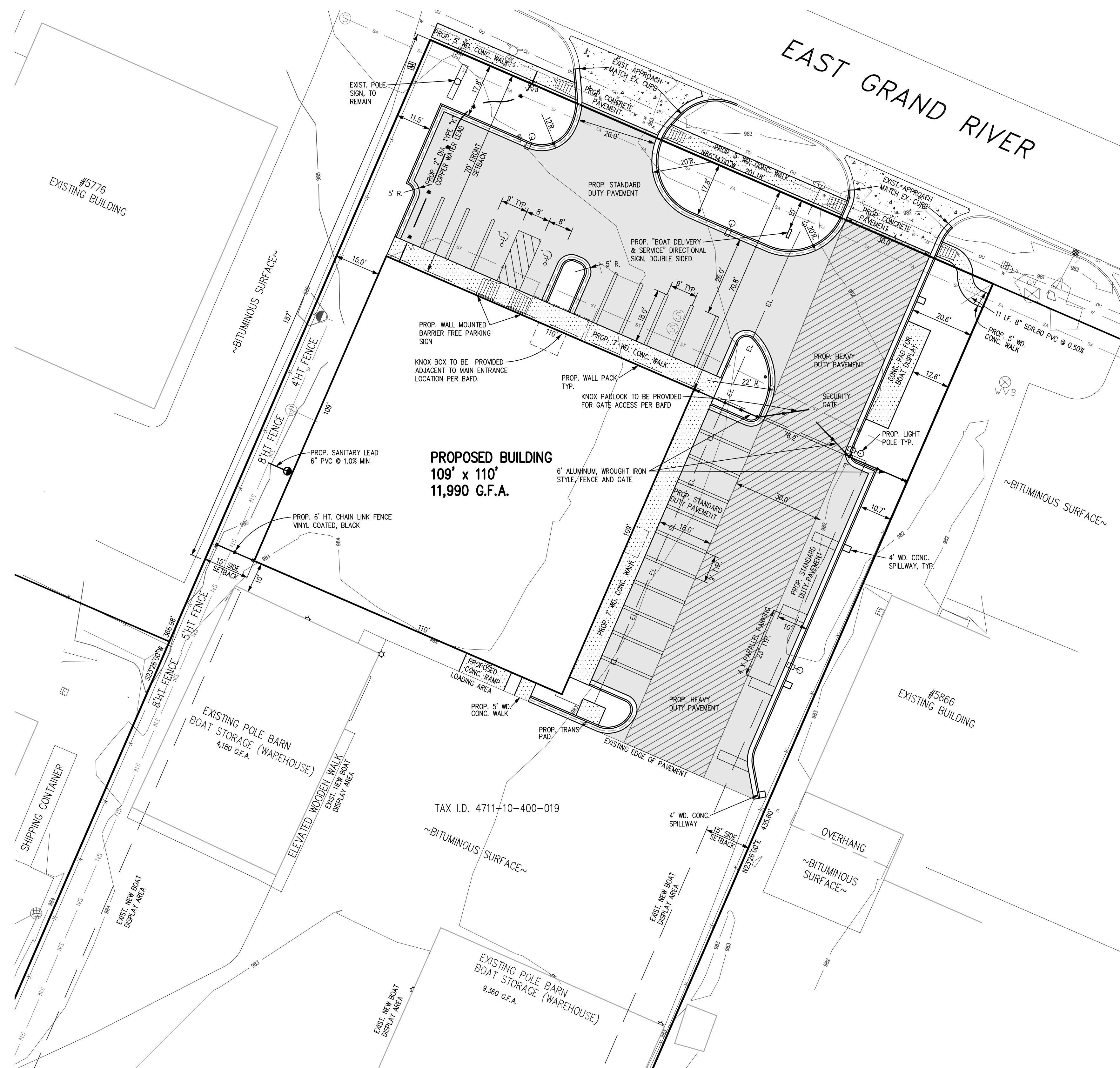
WONDERLAND MARINE WEST

EXISTING CONDITIONS AND DEMOLITION PLAN

CLIENT: MITTS LLC
 5796 E. GRAND RIVER
 HOWELL, MICHIGAN, 48843
 517-548-5122

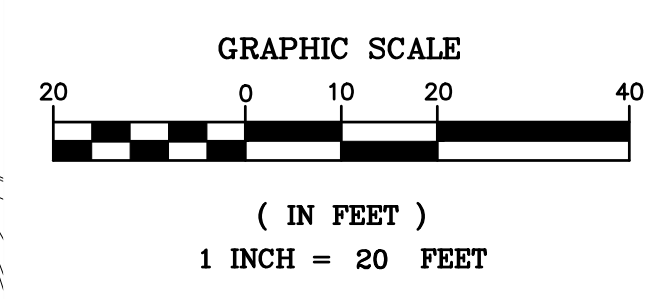
SCALE: 1in. = 30ft.
 PROJECT No.: 214052
 DWG NAME: 4052-DEMO
 ISSUED: FEB. 17, 2023

EX



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- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = 1' CONTOUR
- = 5' CONTOUR
- = HEAVY DUTY PAVEMENT
- = STANDARD DUTY PAVEMENT
- = CONCRETE PAVEMENT
- = CONCRETE SIDEWALK



SITE CHARACTERISTICS

PARCEL ID: 4711-10-400-019
 ZONED: GC - GENERAL COMMERCIAL
 AREA: 1.0 AC. REQUIRED, 2.01 AC. PROVIDED
 WIDTH: 150' REQUIRED, 201' PROVIDED
 SETBACKS: FRONT 70', 70.08'; REAR 15', 255.8'; SIDE 50'
 BUILDING COVERAGE AREA: 35% MAX, 29.2%
 IMPERVIOUS COVERAGE AREA: 75% MAX, 75.0%

PARKING REQUIREMENTS

Recreational vehicle, boat, mobile home and similar sales: 1.0 space per 800 sq.ft. gross leasable floor area, plus 2.0 spaces per each vehicle sales service bay

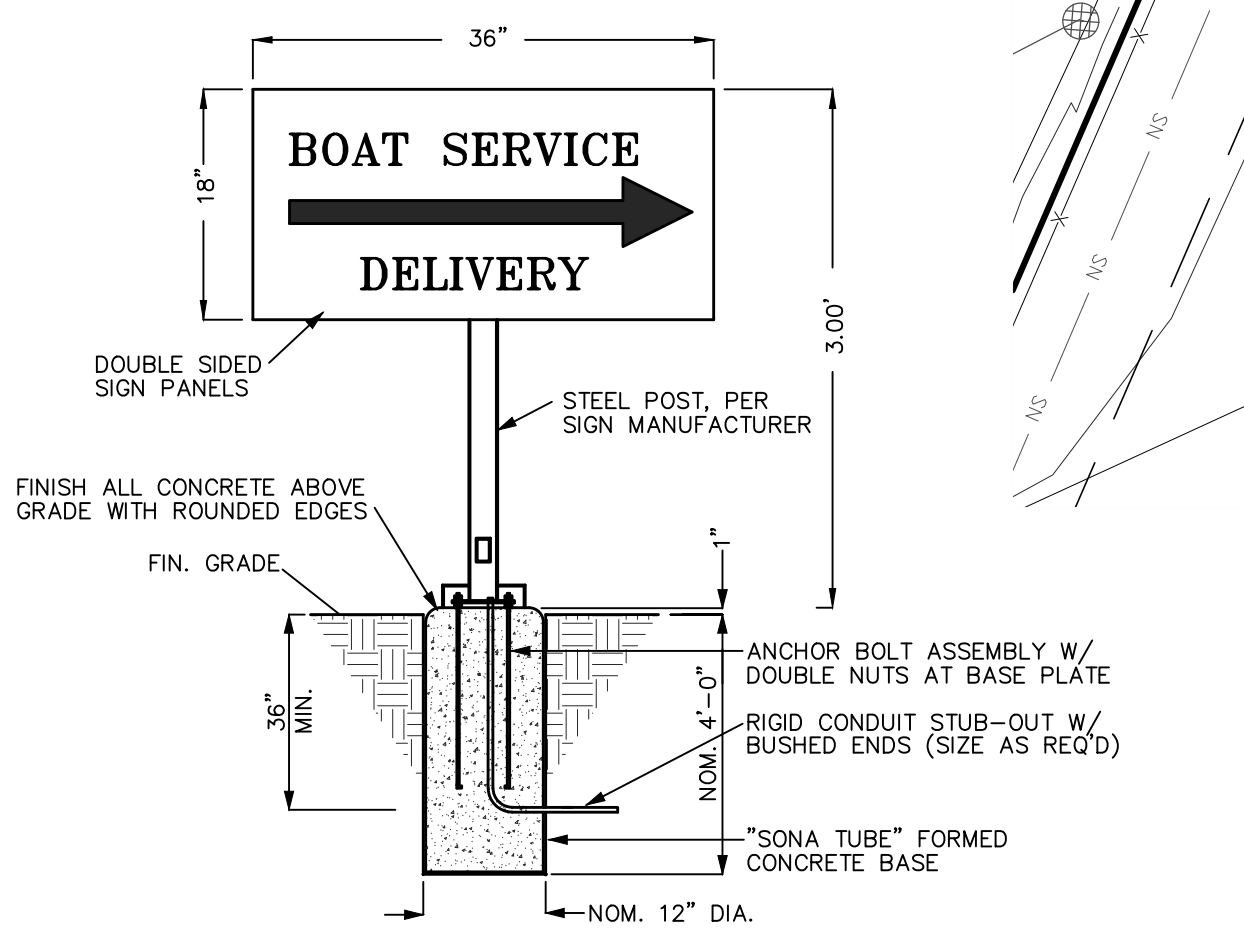
Boat storage (warehouse): 1.0 space per 1,500 sq.ft. gross leasable floor area

A. Gross leasable floor area (sales) = 11,990 sq. ft. Parking req'd = 15 spaces
 B. Gross leasable floor area (warehouse) = 13,493 sq. ft. Parking req'd = 9 spaces
 B. Vehicle sales service bays = 1 bays Parking req'd = 2 spaces
 TOTAL REQUIRED SPACES = 26 spaces
 SPACES PROVIDED = 26 spaces

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COVERAGE CALCULATION

CHANGE IN IMPERVIOUS AREA OF THE NORTHERLY 187' OF PARCEL 4711-10-400-019
 EXISTING IMPERVIOUS AREA: 31,443 SQ.FT.
 PROPOSED IMPERVIOUS AREA: 29,750 SQ.FT.



TRAFFIC DIRECTION SIGN DETAIL
 NOT TO SCALE

DESIGN: JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	11-21-22	REVISED PER REVIEW COMMENTS			
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WONDERLAND MARINE WEST

SITE PLAN

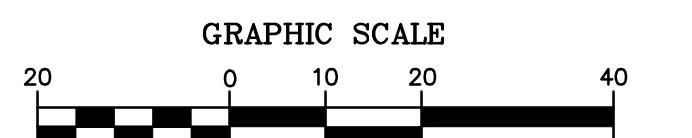
CLIENT: MITTS LLC
 5796 E. GRAND RIVER
 HOWELL, MICHIGAN, 48843
 517-548-5122

SCALE: 1in. = 20ft.
 PROJECT No.: 214052
 DWG NAME: 4052 SP
 ISSUED: FEB. 17, 2023

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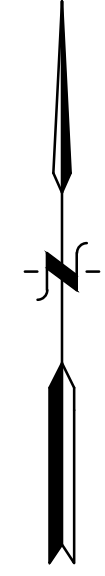
SP



(IN FEET)
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- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = 1' CONTOUR
- = 5' CONTOUR
- = PROP. SPOT ELEVATION
- = EX. SPOT ELEVATION
- = EDGE OF METAL
- = BACK OF CURB
- = TOP OF PAVEMENT
- = TOP OF WALK
- = CENTERLINE OF SPILLWAY



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**WONDERLAND
MARINE WEST**

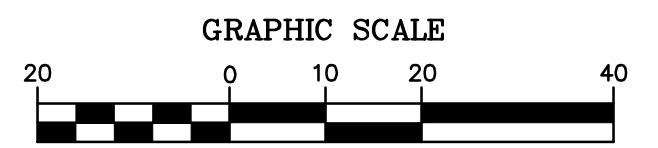
GRADING PLAN

CLIENT:
MITTS LLC

5796 E. GRAND RIVER
HOWELL, MICHIGAN, 48843
517-548-5122

SCALE: 1in. = 20ft.
PROJECT No.: 214052
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ISSUED: FEB. 17, 2023

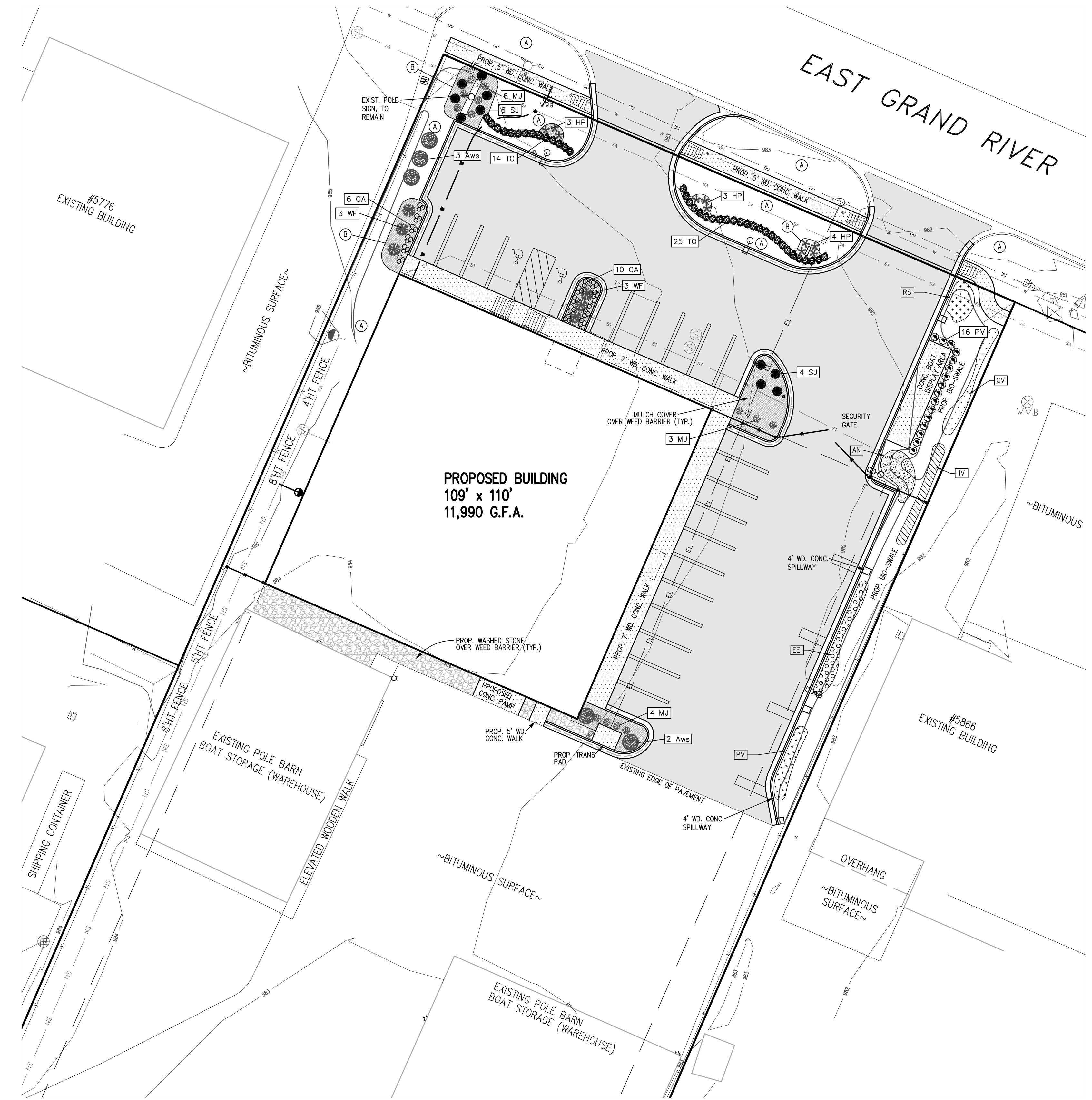
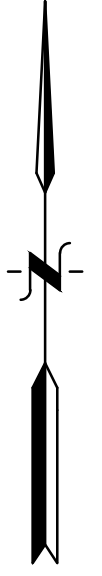
GR



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LANDSCAPE CALCULATION:

STREET FRONTAGE GREENBELT
20' WIDTH
1 CANOPY TREE PER 40 LF.
135 LF./40 = 3.4, 4 TREES REQUIRED, 0 PROVIDED

PARKING AREA LANDSCAPE
1 CANOPY TREE & 100 sq.ft. PER 10 SPACES
26 SPACES/10 = 2.6, 3 TREES REQUIRED, 0 PROVIDED
260 sq.ft. REQUIRED, 596 sq.ft. PROVIDED

PLANTING SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE
11	MJ	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	3' HT.
5	Aws	SPIRAEA BUMALDA 'AWS'	ANTHONY WATERER SPIREA	24" HT.
10	SJ	SPIRAEA J. 'SHIROBANA'	SHIROBANA SPIRAEA	24" HT.
39	TO	THUJA O. WOODWARDI	WOODWARD GLOBE ARBORVITAE	30" HT.
9	WF	WEIGELA F. 'WINE & ROSES'	WINE & ROSES WEIGELA	30" HT.
10	HP	HYDRANGEA P. 'LITTLE QUICK FIRE'	LITTLE QUICK FIRE HYDRANGEA	30" HT.
16	CA	CALAMAGROSTIS A. 'KARL FOSTER'	KARL FOSTER FEATHER REED GRASS	2 GAL.
16	PV	PANICUM V. 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	3 GAL.

NOTE KEY

- A SODDED LAWN OVER MIN. 3" DEPTH TOPSOIL
- B METAL EDGING BETWEEN LAWN AND LANDSCAPE BED

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WONDERLAND
MARINE WEST

LANDSCAPE PLAN

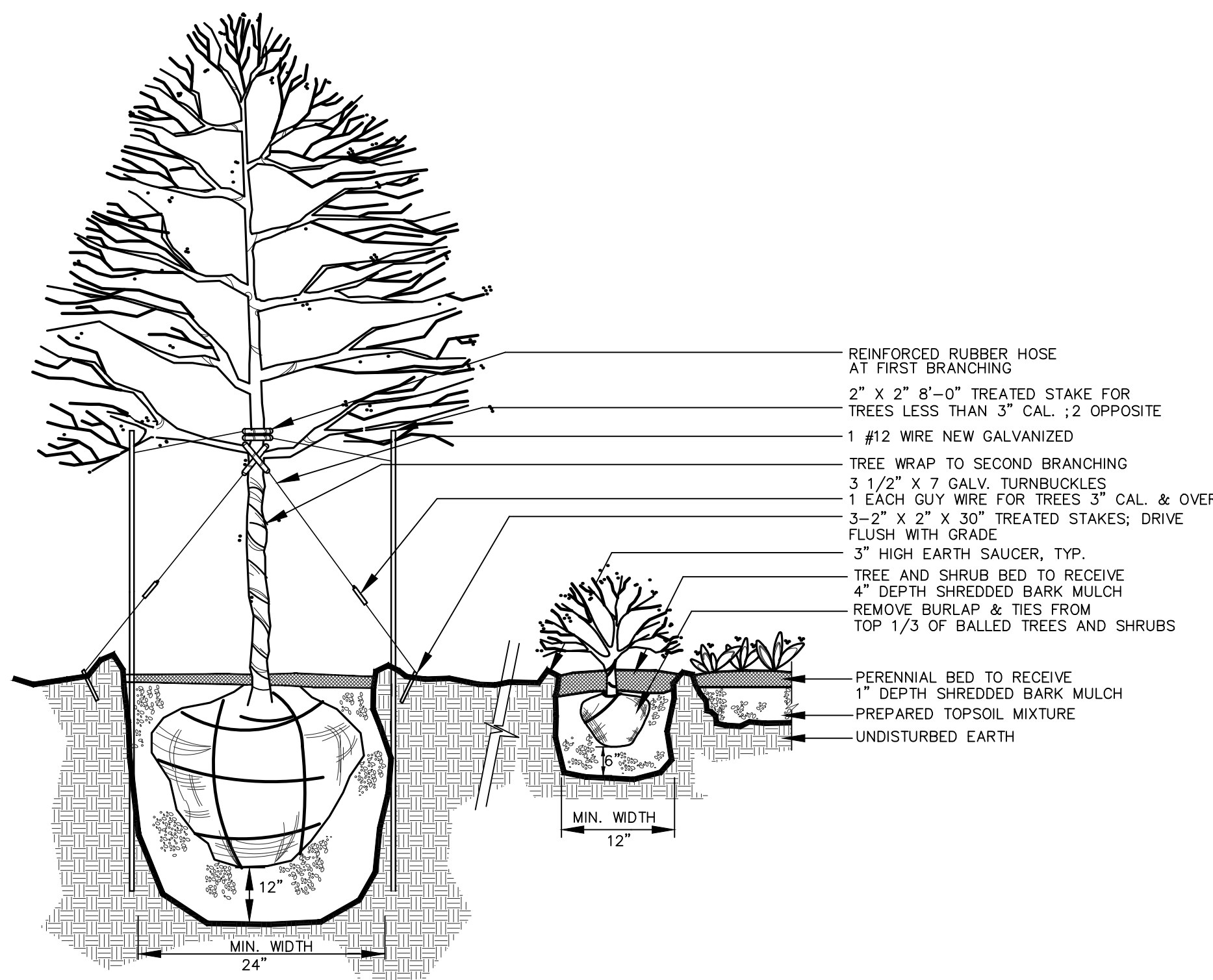
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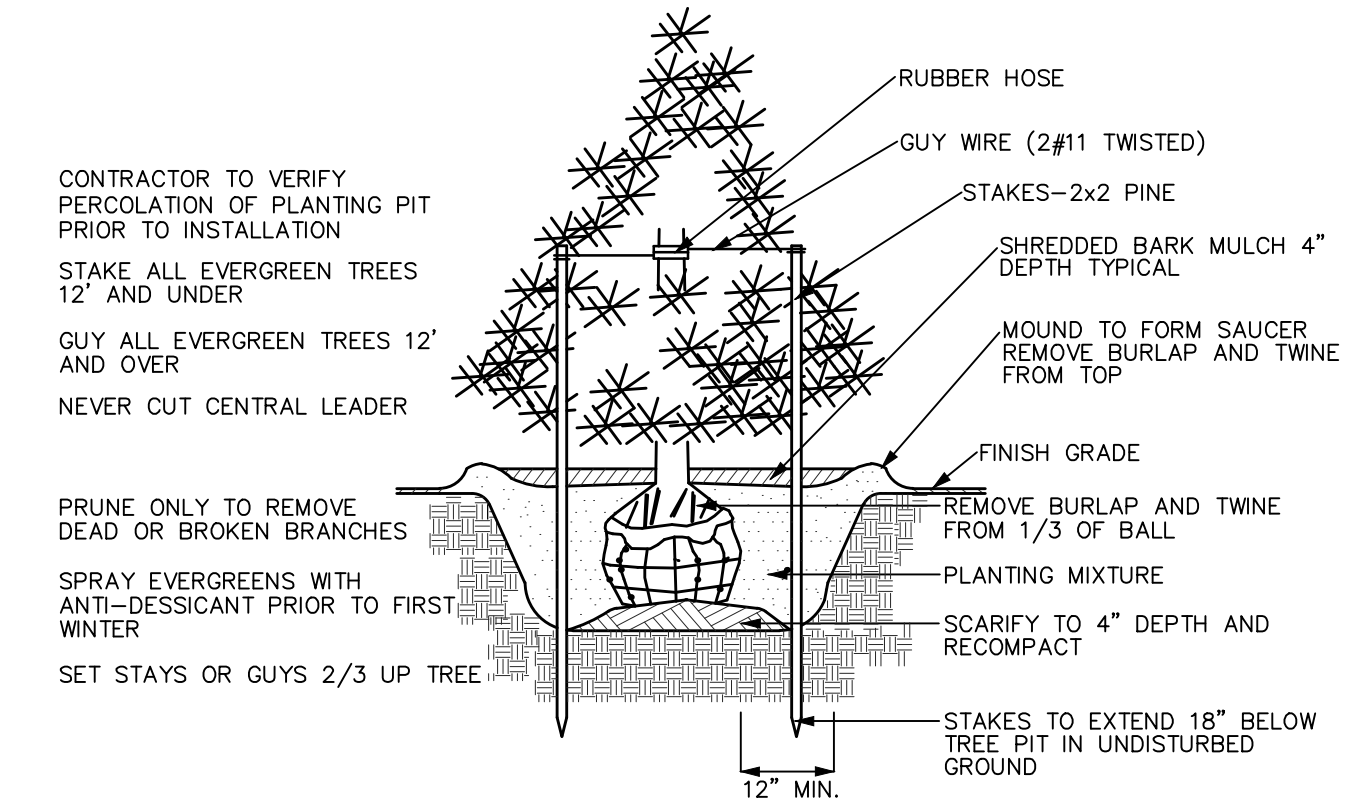
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LANDSCAPING NOTES:

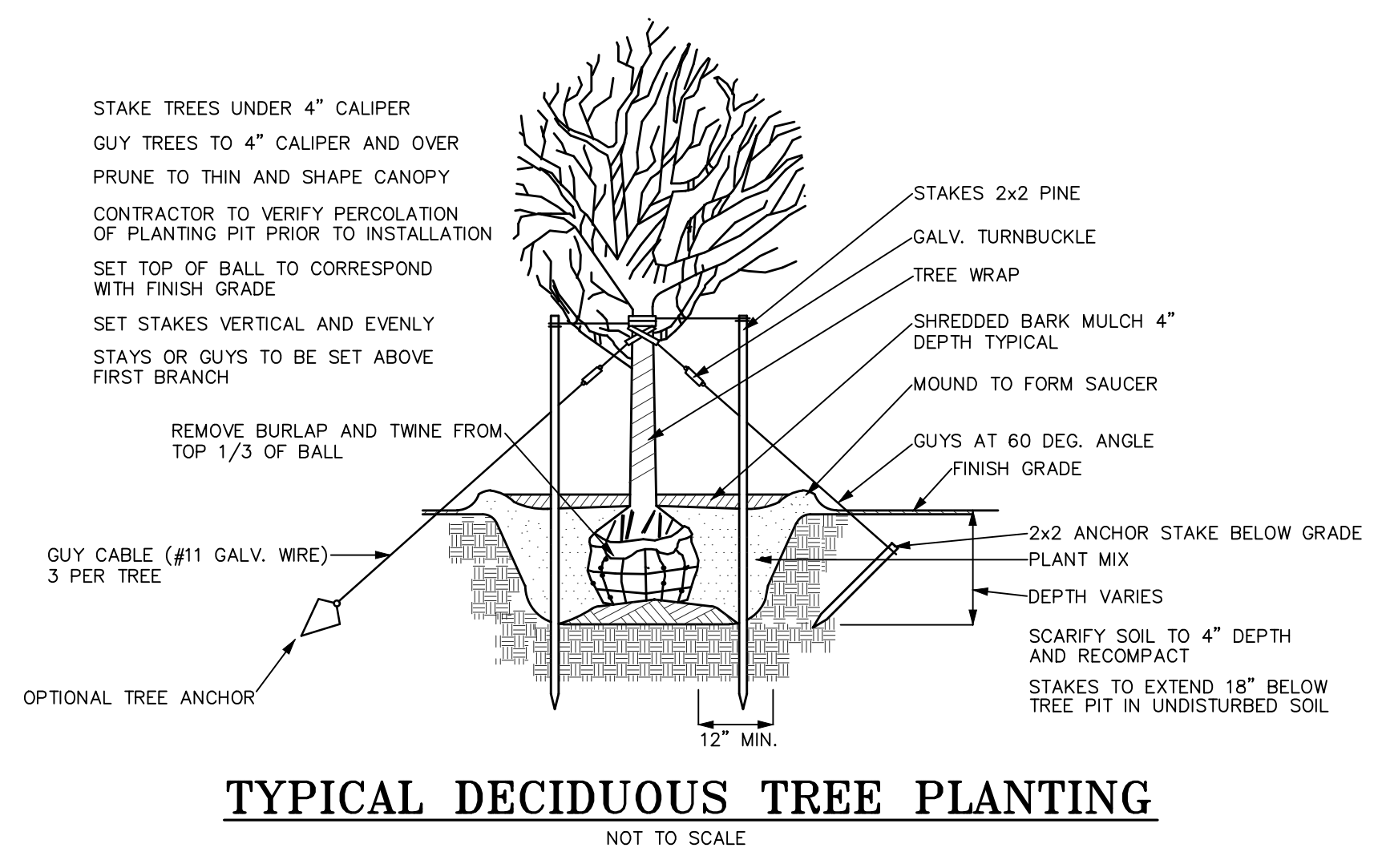
- All minimum planting sizes specified on the Project Plans shall be at the time of planting.
- All landscape materials shall be as specified on the Project Plans or approved equal. Substitutions shall not be made without prior written approval from the Project Engineer and receipt of the Owner's Authorization.
- All plant material shall be free of disease and insects and shall conform to the American Standard of Nursery Stock of the American Association of Nurserymen.
- All landscape plantings shall be planted and maintained in a healthy condition and shall be guaranteed by the Landscape Contractor and/or Supplier for a minimum period of 1 year from the time of planting. Any plantings that die or become diseased during the guarantee period shall be removed and replaced by the Landscape Contractor and/or Supplier at no cost to the Owner.
- Excavations for container or balled plantings shall be no deeper than the root ball or container and shall be at least twice the diameter of the root ball or container.
- Excavations for bare root plantings shall be no deeper than the longest roots and shall be at least twice the diameter of the root spread.
- The sides of planting excavations in heavy and/or wet soils shall be scarified with a fork, pick or shovel to eliminate glazing.
- Landscape planting backfill shall consist of a prepared mixture of peat moss, composted manure and topsoil or suitable excavated native soil material mixed with the appropriate soil conditioners that are compatible with the native soil and plant species. The type and mixture ratio of soil conditioners shall be in accordance with the Landscape Supplier's recommendations.
- The Landscape Contractor shall stake and reinforce all trees to prevent wind damage. The Landscape Contractor shall remove all tree reinforcement and stakes upon expiration of the guarantee period.
- Perennials shall be planted on a 3" minimum bed of prepared peat moss, composted manure and topsoil mixture.
- Ground cover within landscape beds shall be decorative stone. Decorative stone shall be 2" to 4" diameter washed river rock placed 4" deep.
- Ground cover within landscape beds shall be placed over a landscape fabric weed barrier. Landscape fabric shall be non-woven, 4 oz. per sq. yd. minimum weight, with UV protection. Landscape fabric shall be installed in strict accordance with the Manufacturer's specifications and recommendations. Landscape fabric shall not be installed over or within 12 inches of perennial plantings.
- Lawn areas shall be established with 3" minimum depth of prepared topsoil and hydrosced. The Landscape Contractor shall guarantee all lawn areas for a minimum period of 1 year from time of seeding. All lawn areas that do not take root or die during the guarantee period shall be re-hydrated as appropriate by the Landscape Contractor at no cost to the Owner. All lawn areas that become diseased during the guarantee period shall be removed and re-hydrated as appropriate by the Landscape Contractor at no cost to the Owner.
- Topsoil shall be a dark, organic, natural surface soil free of clay lumps, peat, muck, subsoil, noxious weeds and other foreign material such as roots, sticks and rocks over 1/2" diameter. Topsoil shall not be frozen or muddy. All earthen areas to receive topsoil shall be finish graded and properly trimmed. Topsoil shall be spread on the prepared areas to a depth of 3 inches. After spreading, any large clods and lumps of topsoil shall be broken up and pulverized. Stones and rocks over 1/2" in diameter, roots, litter and all foreign matter shall be raked up and disposed of by the Landscape Contractor. Seed and mulch shall be placed within 5 days of topsoil placement.
- Seed mixture for lawn areas shall consist of 10% Kentucky Blue Grass, 20% Perennial Rye Grass, 30% Hard Fescue and 40% Creeping Red Fescue. Hydroseed shall be placed within 5 days of topsoil placement and shall be placed to provide complete and uniform coverage. Fertilizer shall be placed at 80 pounds per acre, hydro mulch at 1,200 pounds per acre and water at 500 gallons per acre unless otherwise specified by the Seed Distributor/Manufacturer. All over spray areas shall be properly cleaned and restored at no expense to the contract.
- Seed and mulch may be substituted for hydroseed when authorized by the Owner. Seed mixtures shall meet the requirements for lawn areas as outlined above. Seed shall be uniformly applied at a rate of 220 lbs per acre unless otherwise recommended by the seed Distributor/Manufacturer. Seed mixture shall be fertilized. Fertilizer shall be uniformly applied at a rate of 240 pounds per acre of chemical fertilizer nutrients in equal portions (10-10-10) of Nitrogen, Phosphoric Acid and Potash.
- All seeded areas with a slope less than 1:4 shall be stabilized with straw mulch placed at 2 tons per acre unless otherwise recommended by the seed Distributor/Manufacturer. Erosion control blankets shall be substituted for straw mulch in roadway greenbelts, lawn areas adjacent to heavy traffic, lawn areas subject to high winds, slopes of 1:4 or greater and within ditches, swales and other areas exposed to concentrated overland storm water flow. Erosion control blankets shall consist of 100% straw fiber matrix with photodegradable polypropylene netting and have a 12-month minimum longevity rating. Erosion control blankets shall be pinned with biodegradable pins and shall be installed in accordance with the Manufacturer's recommendations.
- The Landscape Contractor shall be responsible for watering non-irrigated plantings and stock during dry weather conditions throughout the guarantee period as necessary to promote growth and establishment.



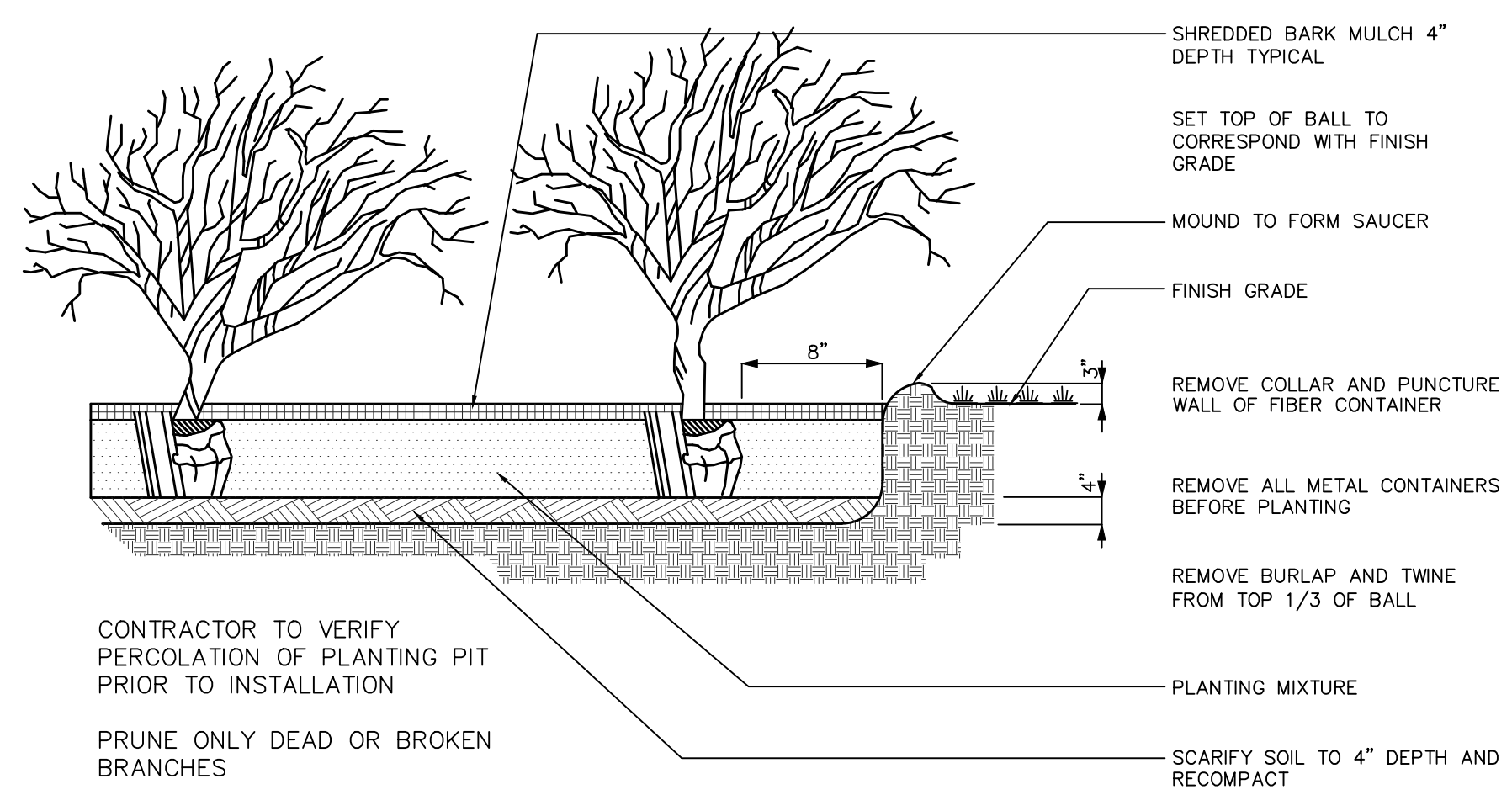
TYPICAL TREE/SHRUB/PERENNIAL PLANTING
NOT TO SCALE



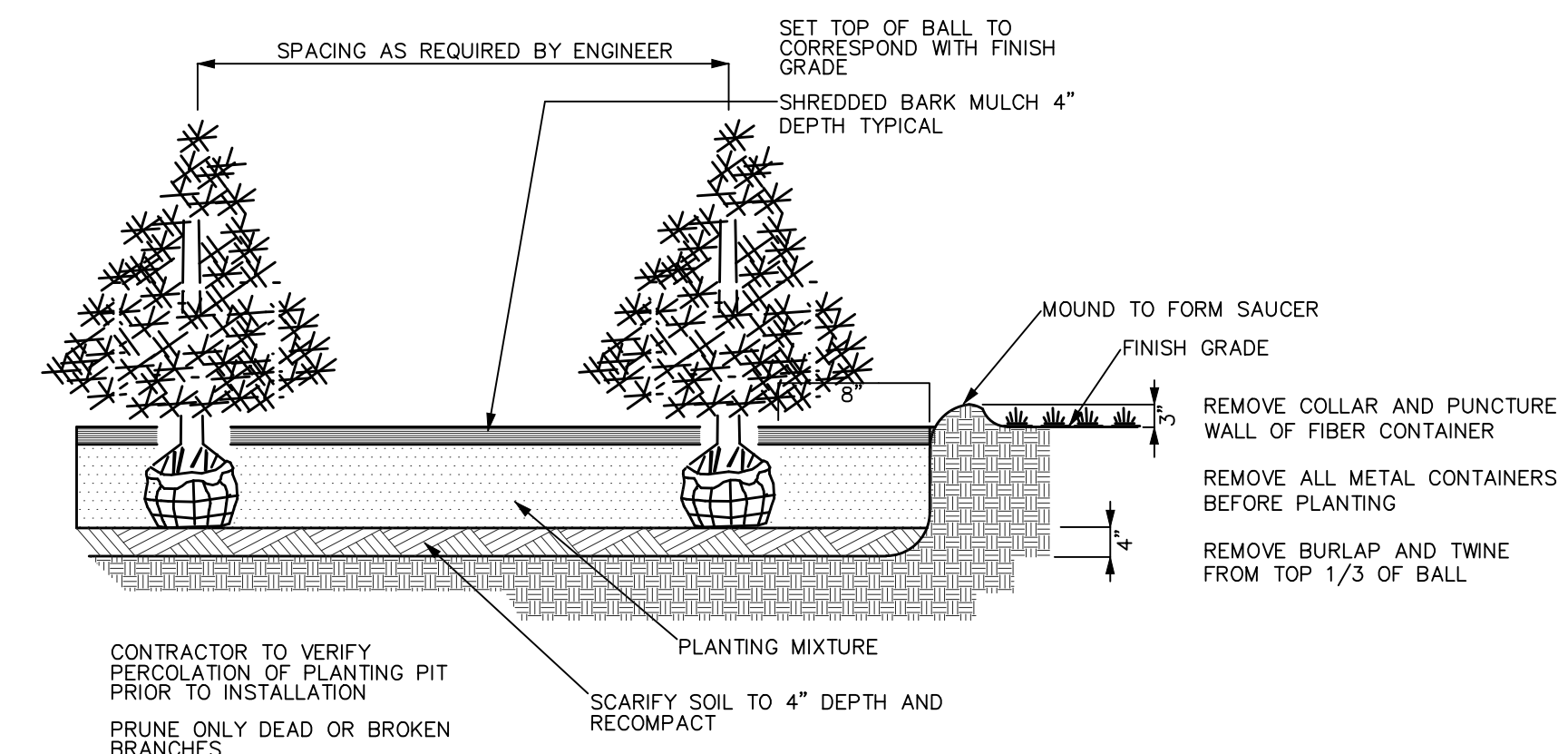
TYPICAL EVERGREEN TREE PLANTING
NOT TO SCALE



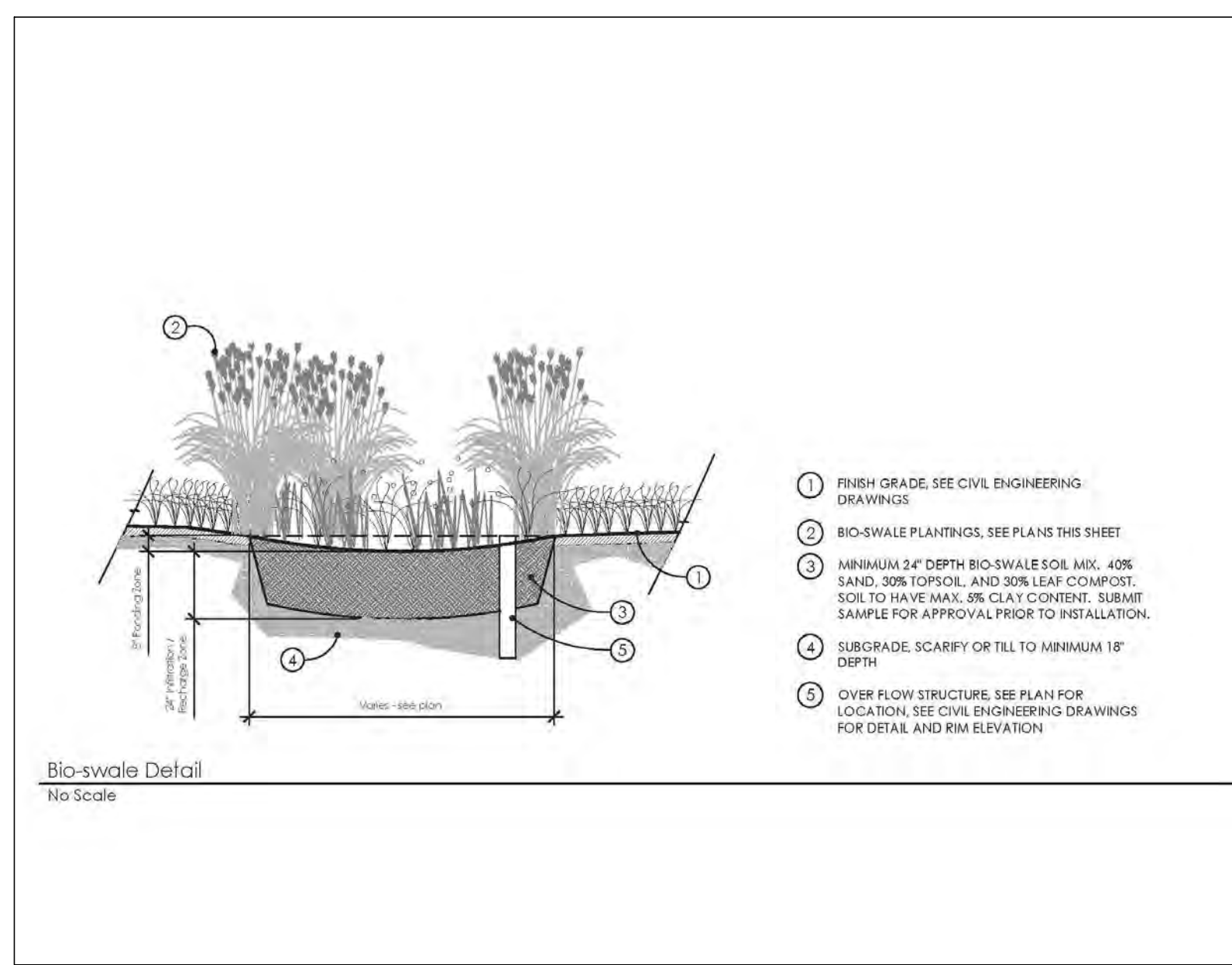
TYPICAL DECIDUOUS TREE PLANTING
NOT TO SCALE



TYPICAL SHRUB PLANTING
NOT TO SCALE



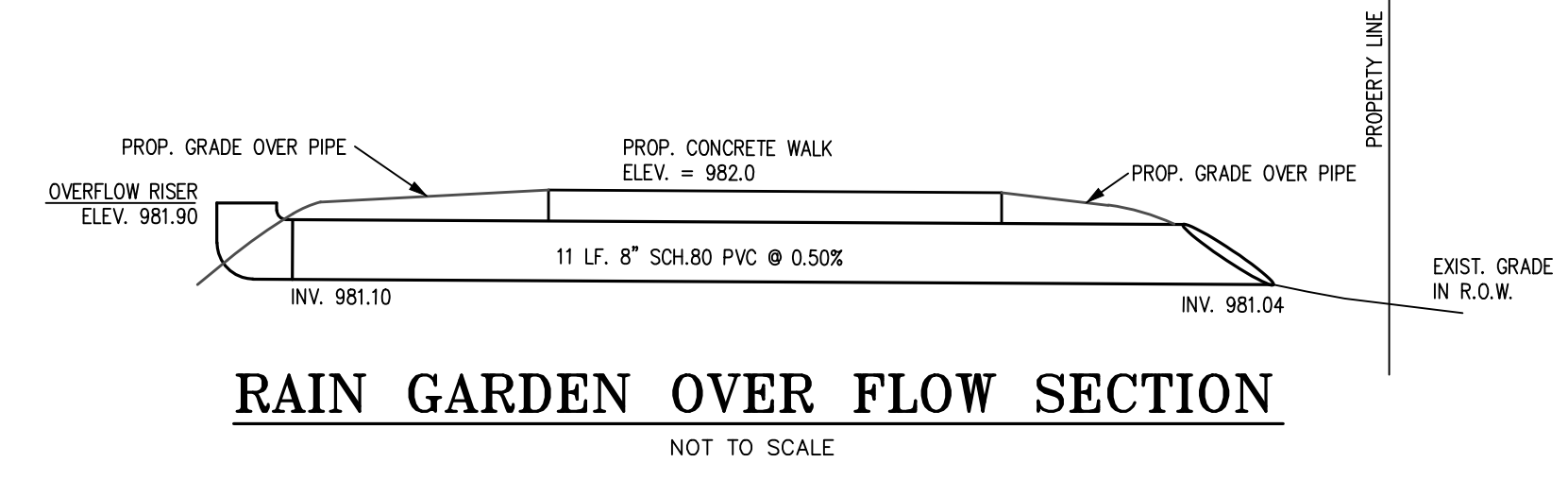
TYPICAL EVERGREEN SHRUB PLANTING
NOT TO SCALE



RAIN GARDEN PLANT LIST					
PERENNIALS AND GROUNDCOVERS					
KEY	QTY	BOTANICAL/COMMON NAME	ROOT	SIZE	COMMENT
AN	12	Aster novae-angliae / New England Aster	Potted	1 Gallon	
CV	15	Carex volpimoldea / Fox Sedge	Potted	1 Gallon	
EE	15	Eupatorium Phatom / Phantom Joe-Pye Weed	Potted	1 Gallon	
IV	10	Iris virginica-shrevei / Wild Blue Flag Iris	Potted	1 Gallon	
PV	10	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	Potted	1 Gallon	
RS	12	Rudbeckia subtomentosa / Sweet Cone Flower	Potted	1 Gallon	

RAIN GARDEN NOTES:

- The planting soil must be a mixture that includes sand (2.0-0.50 mm) (50-60%), topsoil (sandy/clay loam) (20-25%), and leaf compost (20-25%). The maximum clay content of the mixture must be equal to or less than 5%. The planting soil mixture shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches, excluding mulch. The soil must have an infiltration rate of at least 0.5" per hour and a pH between 5.5 and 6.5. In addition, the planting soil should have a maximum 500 ppm concentration of soluble salts. The planting soil mixture will be installed in 6" horizontal lifts, compacted at each lift by evenly saturating the entire surface area of the lift until water flows from the underdrain system. Final grading of the planting soil will be performed after a 24 hour setting period.
- Compost shall be mature, stable, weed free and produce by aerobic decomposition of organic matter with a pH between 5.5 and 7.5, submit sample for approval.
- Underdrain gravel blanket should be double washed, 1.5" in size, MDOT CL1 porous material.
- A uniform depth of 3" shredded hardwood bark mulch (natural color) will cover the entire rain garden area.
- The planting soil mixture shall be placed and graded using low ground-contract pressure equipment or by excavators and/or backhoes operating on the ground adjacent to the rain garden area.
- No heavy equipment shall be used within the perimeter of the rain garden area before, during or after the placement of the planting soil mixture.
- Geotextile fabric should maintain a flow rate of 125 GPM per square foot, per MDOT specifications for non-woven geotextile separator.



RAIN GARDEN OVER FLOW SECTION
NOT TO SCALE

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	11-21-22	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

WONDERLAND
MARINE WEST

LANDSCAPE
NOTES & DETAILS

CLIENT:
MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN 48843
517-548-5122

SCALE:
PROJECT No.: 214052
DWG NAME: 4052 LA
ISSUED: FEB. 17, 2023

LA2

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SOILS MAP
NOT TO SCALE

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Frb	Fox-Boyer complex, 2 to 6 percent slopes	0.9	0.6%
HgtaA	Houghton musk, 0 to 1 percent slopes	1.3	0.9%
HmC	Hillsdale Miami loams, 6 to 12 percent slopes	1.5	1.1%
MoB	Wawasee loam, 2 to 6 percent slopes	85.9	62.4%
MoC	Wawasee loam, 6 to 12 percent slopes	7.5	5.4%
MoD	Miami loam, 12 to 18 percent slopes	12.7	9.2%
MoE	Miami loam, 18 to 25 percent slopes	0.7	0.5%
W	Water	24.6	17.9%
Wh	Wheatonaw silt loam	2.6	1.9%
Totals for Area of Interest		137.6	100.0%

MAINTENANCE NOTES FOR SOIL EROSION CONTROL MEASURES:

The Construction Site and all Soil Erosion Control Measures shall be inspected periodically in accordance with the appropriate local municipality/authority and the Michigan EGLE NPDES rules and regulations. At a MINIMUM, inspections shall be performed once a week and within 24 hours following a storm event resulting in 1" of rainfall or greater. Inspections shall be performed throughout the duration of the construction process and until the site is completely stabilized. Following construction, the owner (or its assignee) shall periodically inspect all permanent soil erosion control measures to ensure proper operation.

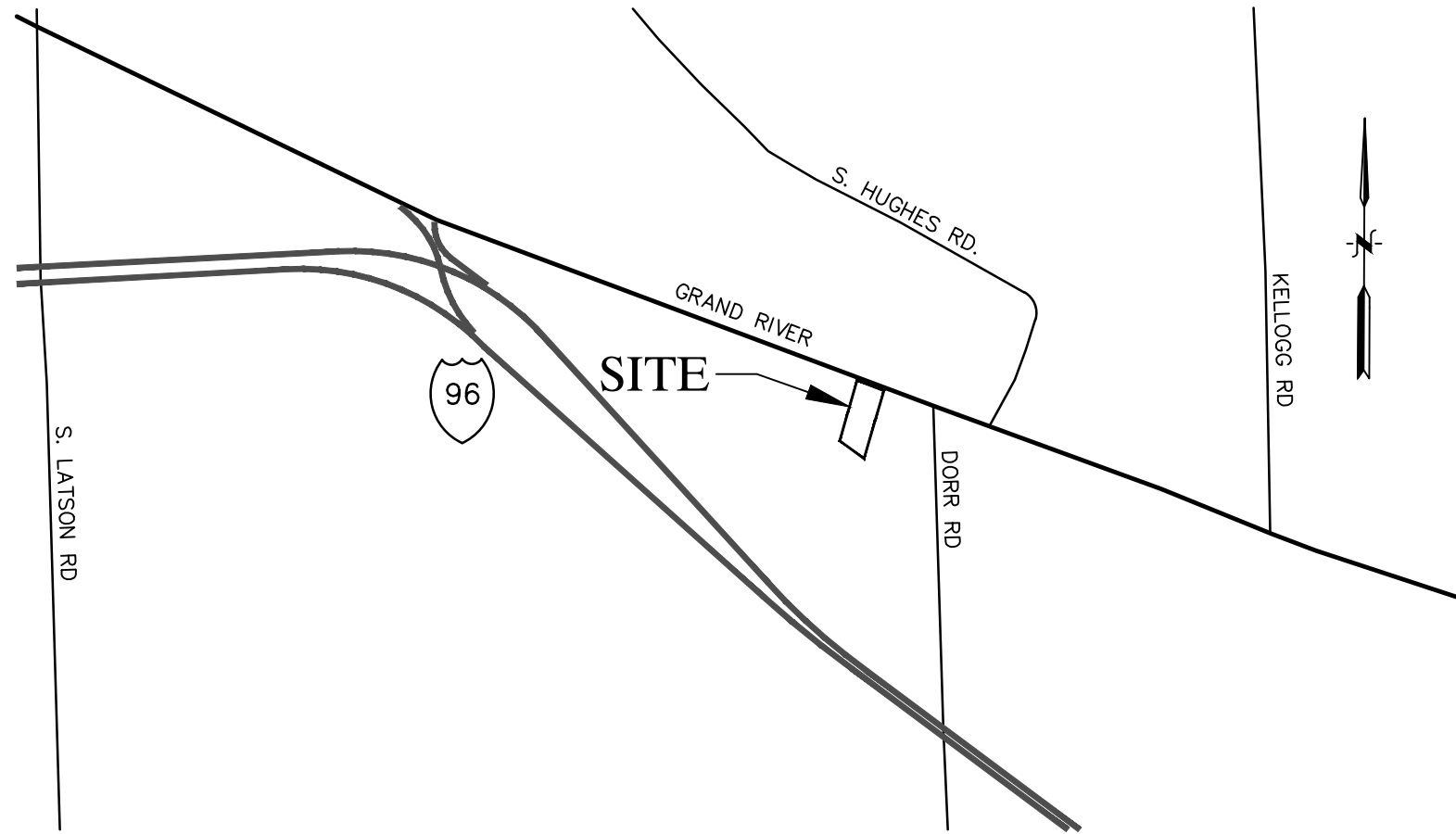
MUD TRACKING CONTROL DEVICE / CONSTRUCTION ACCESS: Mud tracking control devices shall be inspected for significant mud accumulation and to ensure the access is not eroding into public rights of way or drainage features. Add additional layers of stone or remove and replace stone each time the stone becomes covered with mud. All sediment dropped or eroded onto public rights of way shall be removed immediately. Sweeping of the public rights of way and/or paved access route shall be performed as necessary to maintain the access route free of sediment and debris.

SEEDING: Newly seeded areas shall be inspected until substantial vegetative growth is obtained. Seeded areas shall be inspected to ensure erosion is not occurring in the seeded area and vegetative growth is promoted. Eroded areas shall be finish graded as necessary to remove erosion channels or gulleys and new seed placed as soon as weather permits.

SILT FENCE: Silt fencing shall be inspected for soil accumulation/clogging, undercutting, overtopping and sagging. Soil accumulation shall be removed from the face of the silt fence each time it reaches half the height of the fence. Removed sediment shall be disposed of in a stable upland site or added to a spoils stockpile. When undercutting occurs, grade out areas of concentrated flow upstream of the silt fence to remove channels and/or gulleys and repair or replace silt fence ensuring proper trenching techniques are utilized. Silt fencing, which sags, falls over or is not staked in shall be repaired or replaced immediately. Silt fencing fabric, which decomposes or becomes ineffective, shall be removed and replaced with new fabric immediately. Silt fencing shall be removed once vegetation is well established and the up-slope area is fully stabilized.

STOCKPILES: Temporary and permanent topsoil and spoils stockpiles shall be seeded to promote vegetative growth. Stockpiles shall be inspected to ensure excessive erosion has not occurred. When runoff or wind erosion is evident, reduce the side slopes of the stockpile or stabilize the stockpile with pieces of staked soil laid perpendicular to the slope. When filter fencing is used around a stockpile, the fencing shall be inspected to ensure piping has not occurred under the fencing and to ensure the fencing has not collapsed due to soil slippage or access by construction equipment. Repair or replace damaged fencing immediately. Berms at the base of stockpiles, which become damaged, shall be replaced.

STORM STRUCTURE INLET FILTER: Inlet filters shall be inspected for sediment accumulation, clogging and damage. When stone is used in conjunction with inlet filter fabric, replace the stone each time it becomes clogged with sediment. Clean or replace the inlet filter fabric each time it becomes clogged with sediment. Reinstall or replace fallen filter fabrics immediately. Replace damaged filter fabrics immediately.



LOCATION MAP
SCALE: 1in. = 2000ft.

LEGAL DESCRIPTION

Reference: Tax Roll 2022

Part of the Southeast 1/4 of Section 10, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, more particularly described as follows:

Commencing at the Southeast Corner of said Section 10; thence N02°08'E 800 feet; thence N66°34'W 679 feet to the PLACE OF BEGINNING; thence N66°34'W 200 feet; thence S23°26'W 435.6 feet; thence S66°34'E 200 feet; thence N23°26'E 435.6 feet to the Place of Beginning. Subject to and together with all easements and restrictions affecting title to the above described premises. Tax ID No.: 4711-10-400-019 Also known as: 5796 E. Grand River, Howell, Michigan 48843

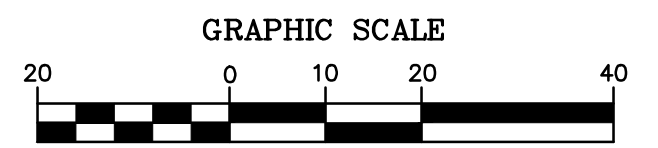
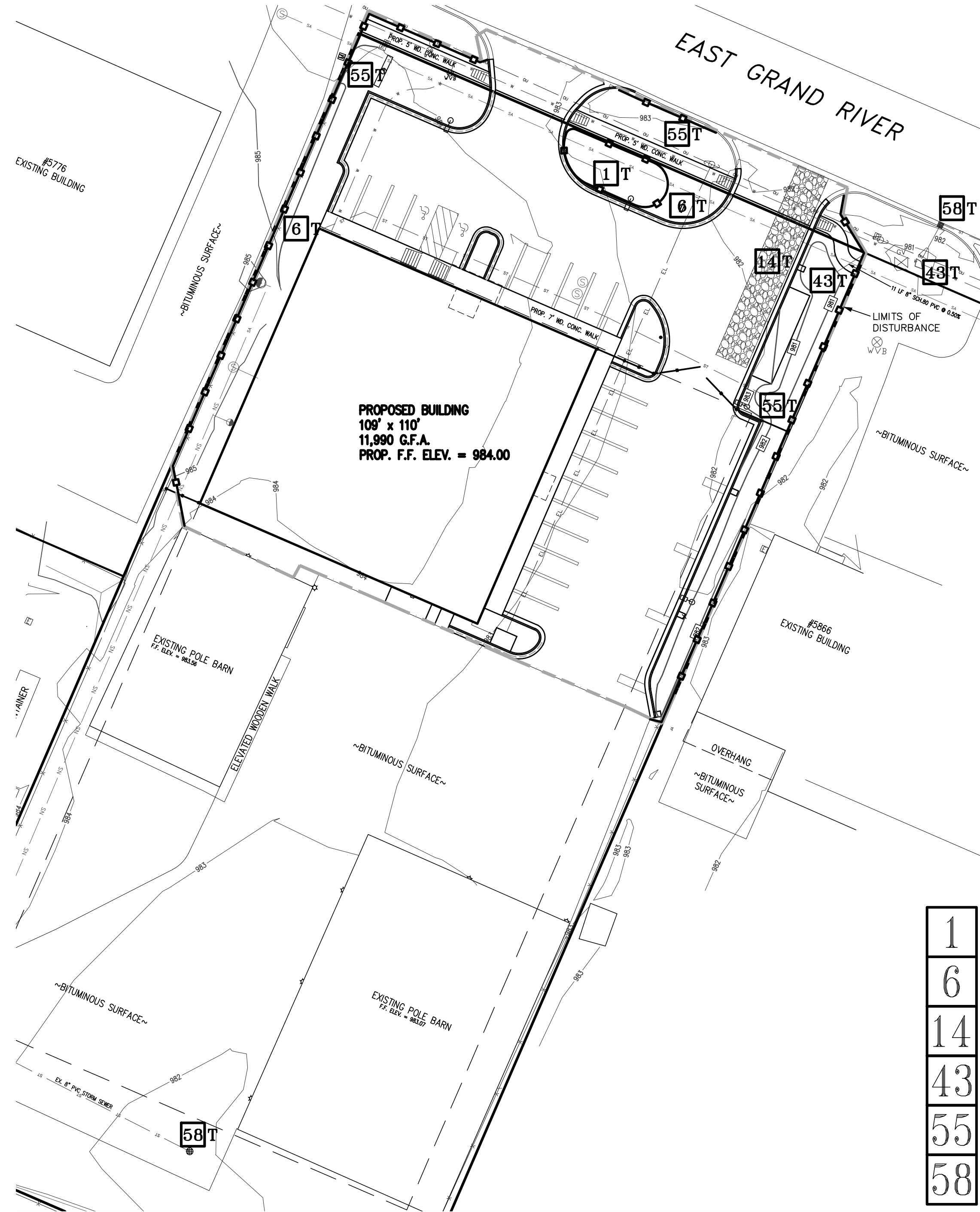
Refer to the current policy for title insurance for proof of ownership and all encumbrances affecting title to the described above parcel.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.
- The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC Permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the State DEQ prior to any earth disruption.
- The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.
- The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.
- The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.
- The Contractor shall strip and stockpile topsoil from all areas of proposed disturbance. Topsoil stockpiles shall be located in accordance with the Project Plans. Topsoil stockpiles shall be stabilized with vegetative growth (or matted with straw during the non-growing season) to prevent wind and water erosion. A temporary diversion berm and/or silt fence shall encompass all earthen material stockpiles, including but not limited to topsoil, sand and gravel.
- The Contractor shall install Soil Erosion Control Measures associated with the proposed storm sewer system during storm sewer construction. Inlet structure filters shall be installed immediately following completion of each storm inlet structure. Riprap shall be installed immediately following the installation of each flared end section with the following exception: Storm drain outlets that do NOT empty into a Retention, Detention or Sedimentation Basin shall have a temporary 5' wide x 10' long x 3' deep sump installed at the termination of the storm sewer. Upon completion of the stabilization work, the sump area shall be filled and riprap shall be installed in accordance with the Project Plans.
- The Contractor shall install filter stone around the storm basin control structure(s) in accordance with the Project Plans immediately following installation of the control structure(s). The filter stone shall be monitored for sediment build up. The filter stone may need to be cleaned and/or replaced as site conditions require and as directed by the Permitting Agency and/or the Engineer.
- All disturbed areas outside of paved areas shall be restored within 15 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched, unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.

Seeding, Fertilizer and Mulch Bare Ground Ratio: This information is provided as minimum guidance for acceptable application rates. Actual amounts depending on soil conditions and site topography shall be detailed on the construction plans.
Top-Soil 3 inches in depth.
Grass Seed 210 lbs. per acre.
Fertilizer 150 lbs. per acre.
Straw Mulch 3" in depth 1.5 to 2 tons per acre
 (All mulch must have a tie down, such as tackifier, net binding, etc.)
Hydro-Seeding: Hydro-seeding is not acceptable for slopes exceeding 1%, in such cases; stabilization shall be done with seed and straw mulch with a tackifier.

10. Following complete site restoration and stabilization; sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the State DEQ.



(IN FEET)
1 INCH = 20 FEET

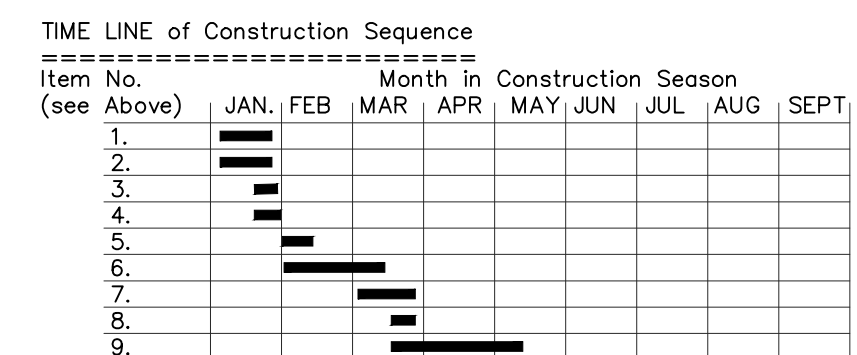
LEGEND

- PARCEL BOUNDARY LINE
- - - SETBACK LINE
- WELL WATER
- BOLLARD
- STOP SIGN / PEDESTRIAN CROSSING SIGN
- SIGN / MONUMENT SIGN
- HANDICAP PARKING DESIGNATION
- EX. WALL PACK / OVERHEAD LIGHT
- LIGHT BASE
- UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
- UTILITY POLE W/GUY WIRE
- OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
- EDGE OF BRUSH LINE
- DECIDUOUS TREE W/IDENTIFIER
- CONIFEROUS TREE W/IDENTIFIER
- BUSH / SHRUB
- BOULDER
- FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- EDGE OF GRAVEL
- EDGE OF WATER
- CONCRETE CURB (UNLESS OTHERWISE STATED)
- SANITARY SEWER MANHOLE W/IDENTIFIER
- SANITARY SEWER PIPE
- CLEAN OUT
- ROOF DRAIN
- STORM WATER MANHOLE W/IDENTIFIER
- CATCH BASIN W/IDENTIFIER
- FLARED END SECTION
- STORM WATER DRAINAGE PIPE
- HYDRANT
- WATER SHUT OFF
- WATER VALVE BOX
- WATER MAIN
- GAS SHUT OFF
- U/G GAS
- 1' CONTOUR
- 5' CONTOUR

SOIL EROSION CONTROL MEASURE LEGEND

1	STRIPPING & STOCKPILES TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION STOCKPILE SHOULD BE TEMPORARILY SEEDED
6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THUS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS
43	CULVERT SEDIMENT TRAP	EASY TO INSTALL AT INLET KEEPS CULVERT CLEAN AND FREE FLOWING MAY BE CONSTRUCTED OF LUMBER OR LOGS
55	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR POLES MAY BE CONSTRUCTED OR PREPARED EASY TO CONSTRUCT AND LOCATE AS NECESSARY
58	INLET SEDIMENT FILTER	USES PREPACKAGED GEOTEXTILE SACKS FILTERS SEDIMENT FROM RUNOFF AT CATCH BASIN INLET EASY TO INSTALL AND MAINTAIN

T = TEMPORARY, P = PERMANENT



SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE:

- Obtain all necessary Soil Erosion and Sedimentation Control related permits from the appropriate Local, County and/or State Agencies. Refer to the General Notes on the project plans for additional requirements.
- Prior to commencement of any earth disruption install Silt Fence and Mud Tracking Control Device(s) in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct Retention/Detention and Sedimentation Basins, including associated spillways, in accordance with the project plans. Finish grade and establish vegetative growth in Retention/Detention and Sedimentation Basins prior to massive earth disruption. Install temporary Soil Erosion Control Measures as necessary to stabilize Retention/Detention and Sedimentation Basins.
- Strip and stockpile topsoil. Perform mass grading and land balancing. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Install proposed underground utilities. (i.e.: storm and sanitary sewer, water main, etc.) Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct building(s) if required on the project plans. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct roadways and/or parking areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Finish grade all disturbed areas outside of pavement. Perform final restoration, including placement of topsoil and establishment of vegetative growth outside of pavement.
- Following establishment of sufficient vegetative ground cover and receipt of approval from the Permitting Agency remove all temporary Soil Erosion Control Measures, clean all storm sewer structures and repair all permanent Soil Erosion Control Measures.

BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED MARCH 28, 2022 AT 11:26 AM. PREVIOUS DATUM FROM MARCH 1999 HAS A DIFFERENCE OF -0.76'.

BENCHMARK #201
ARROW ON HYDRANT, LOCATED ON THE SOUTHERLY SIDE OF GRAND RIVER, NEAR THE NORTHWESTERLY CORNER OF #5796 PARCEL. ELEVATION = 986.63 (NAVD 88)

BENCHMARK #202
SOUTHEASTERLY CORNER OF CONCRETE PAD, LOCATED ON THE EASTERLY SIDE OF #5796 BUILDING. ELEVATION = 983.53 (NAVD 88)

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DESIGN/JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

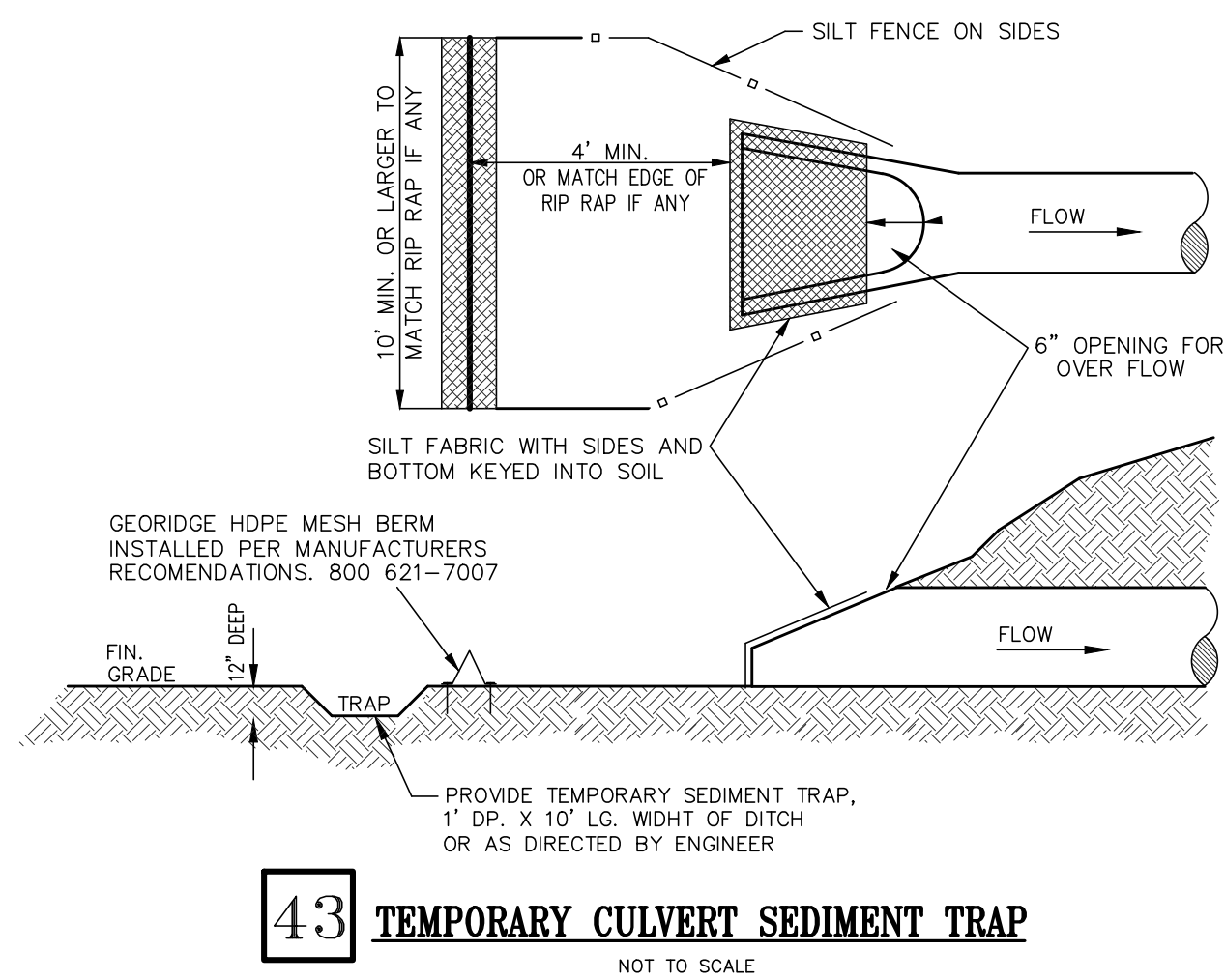
WONDERLAND
MARINE WEST

SOIL EROSION CONTROL PLAN

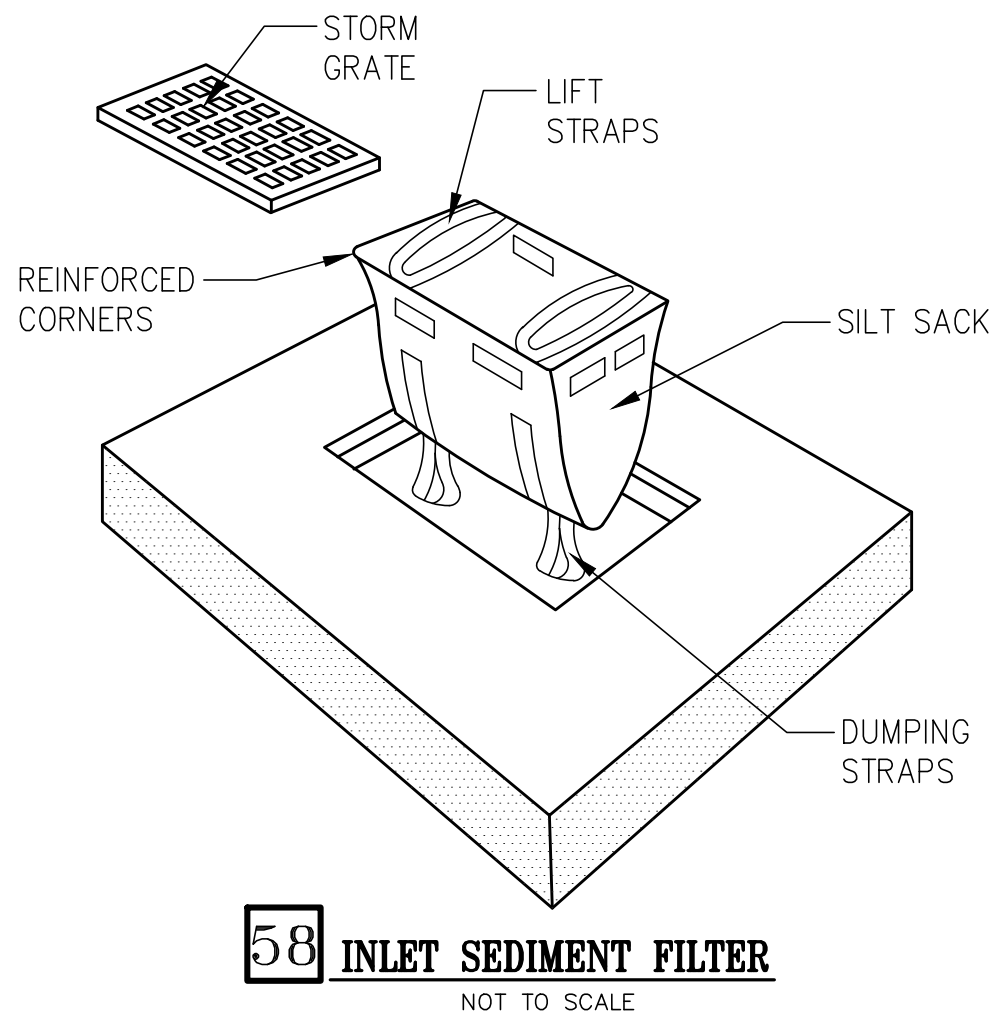
CLIENT:
MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN, 48843
517-548-5122

SCALE: 1in. = 30ft.
PROJECT No.: 214052
DWG NAME: 4052 SE
ISSUED: FEB. 17, 2023

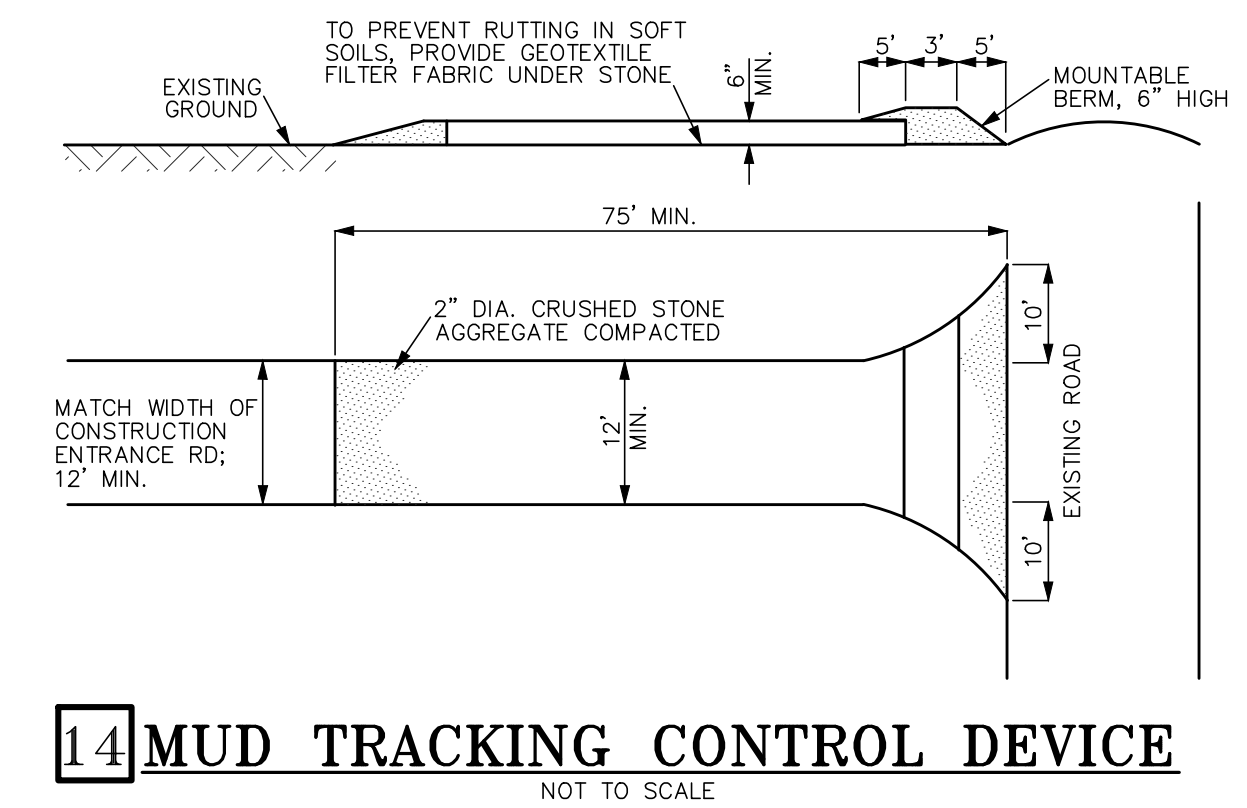
SE1



43 TEMPORARY CULVERT SEDIMENT TRAP
NOT TO SCALE

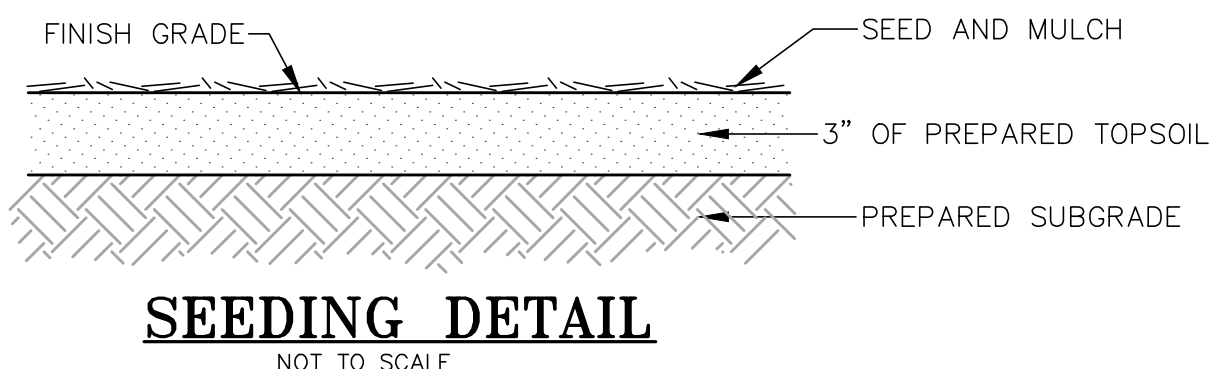


58 INLET SEDIMENT FILTER
NOT TO SCALE



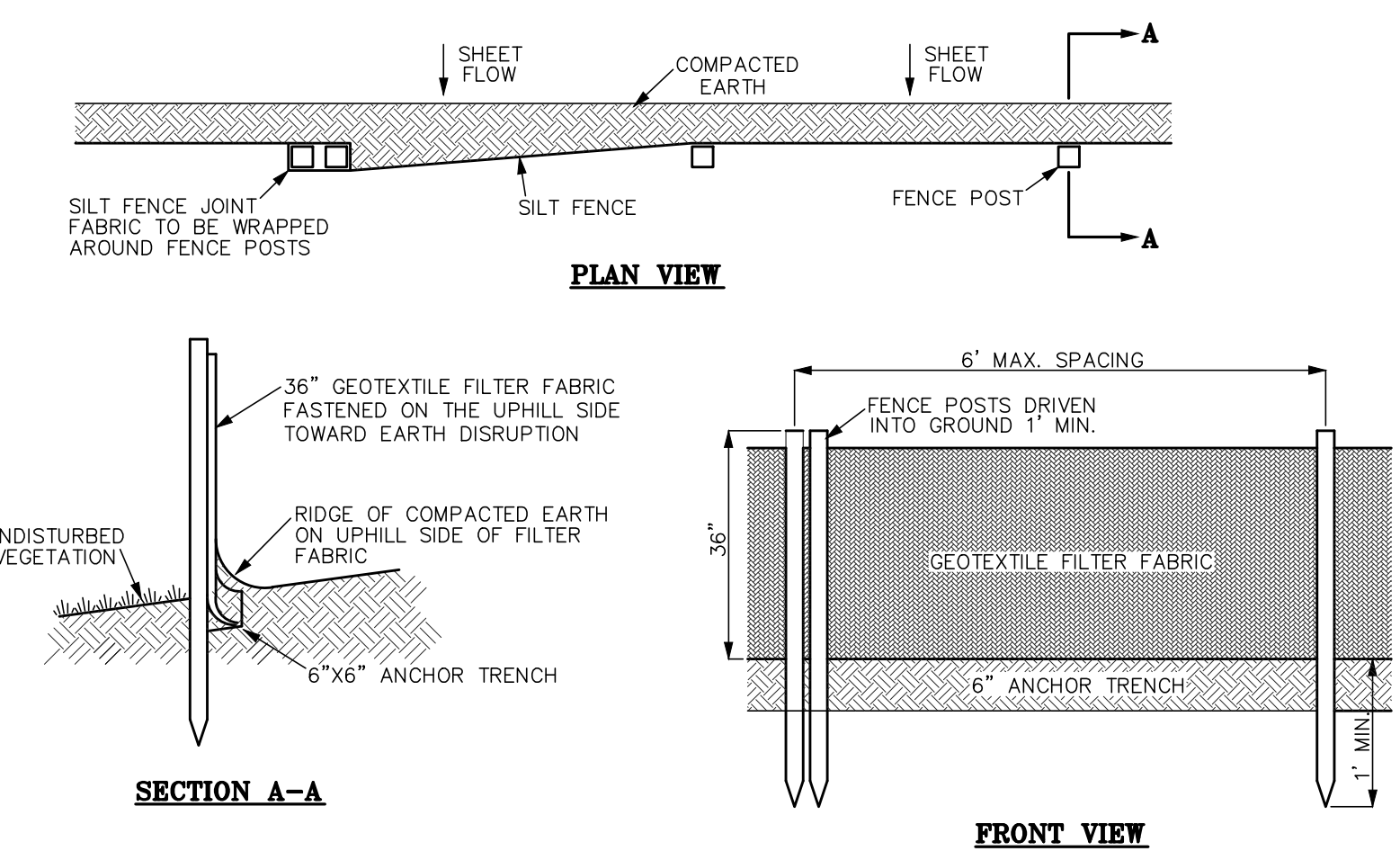
14 MUD TRACKING CONTROL DEVICE
NOT TO SCALE

NOTE:
WHEN ACCEPTABLE TO ENGINEER, CONTRACTOR MAY INSTALL STONE BELOW THE SUBGRADE ELEVATION; THUS STONE MAY BE LEFT IN PLACE BELOW PAVEMENT.



SEEDING DETAIL
NOT TO SCALE

- Seed mixture shall consist of 10% - Kentucky Blue Grass
20% - Perennial Ryegrass
30% - Hard Fescue
40% - Creeping Red Fescue
Seed shall be uniformly applied at a rate of 210 pounds per acre.
- Topsoil shall be a dark, organic, natural surface soil free of clay lumps, peat or muck, subsoil, noxious weeds or other foreign matter such as roots, sticks, rocks over 1/2" in diameter and not frozen or muddy. Material shall meet with approval of the Engineer.
- Straw mulching shall be a minimum depth of 3" applied at a rate of 1.5 to 2 tons per acre. All mulching must have a tie down, such as tackifier, net binding, etc.
- Fertilizer shall be evenly applied at a rate which will provide 150 pounds per acre of chemical fertilizer nutrients, in equal portions, (10-10-10), of Nitrogen, Phosphoric Acid and Potash.
- Hydroseeding is not acceptable for slopes exceeding 1%. In such cases, stabilization shall be done with seed and straw mulch with a tackifier.
- The earthen areas to receive topsoil shall be at the required grade and properly trimmed. Topsoil shall be spread on the prepared areas to a depth of 3 inches. After spreading, any large clods and lumps of topsoil shall be broken up and pulverized. Stones and rocks over 1/2" in diameter, roots, litter, and all foreign matter shall be raked up and disposed of by the contractor. Place topsoil only when it can be followed within a reasonable time by seeding operations.



55 SILT FENCE
NOT TO SCALE

- NOTES:
- REPAIR AND REPLACE SILT FENCE AS NEEDED, INCIDENTAL.
 - FIELD LOCATE SILT FENCE TO FOLLOW CONSTANT CONTOUR ELEVATIONS.
 - OVERLAP FENCES AT JOINTS.
 - INSTALL FILTER BERM AT LOW POINTS WHERE INDICATED ON PLANS.

DESIGN: JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

WONDERLAND
MARINE WEST

SOIL EROSION CONTROL
DETAILS

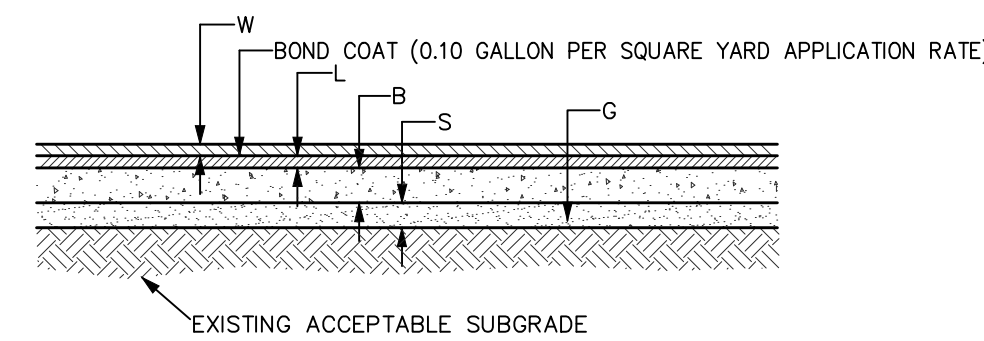
CLIENT:
MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN, 48843
517-548-5122

SCALE: AS NOTE
PROJECT No.: 214052
DWG NAME: 4052 SE
ISSUED: FEB. 17, 2023

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SE2

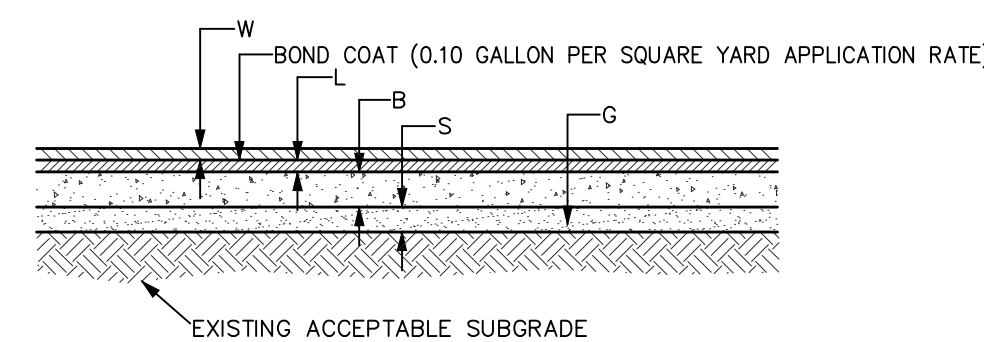


STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION
NOT TO SCALE

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 21AA	8"
S	GRANULAR SUBBASE	MDOT CLASS II	6"
G	GEOGRID	N/A	N/A

BITUMINOUS PAVEMENT NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.

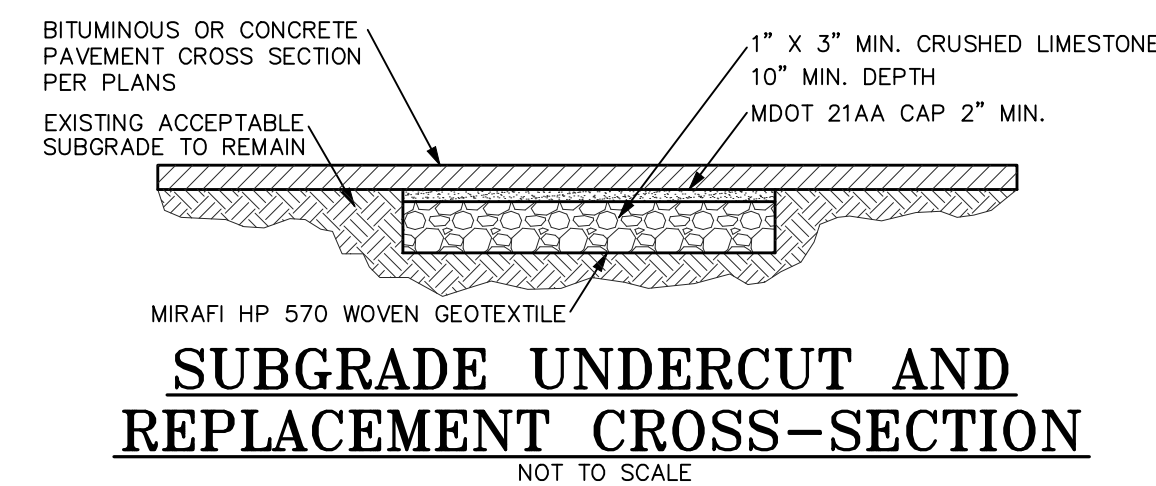


HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION
NOT TO SCALE

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	4"
B	AGGREGATE BASE	MDOT 21AA	8"
S	GRANULAR SUBBASE	MDOT CLASS II	6"
G	GEOGRID	N/A	N/A

SIDEWALK CROSS SECTION
NOT TO SCALE

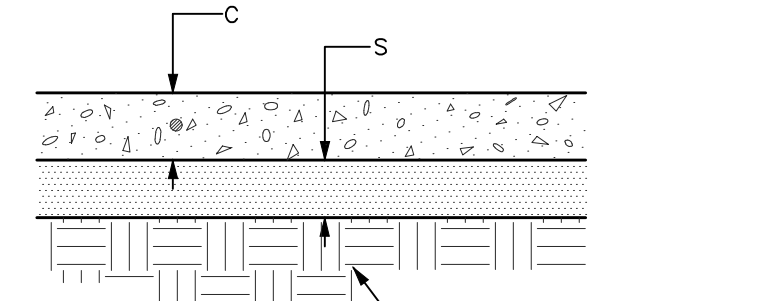
- NOTES:
1. SEE PLAN FOR WIDTH OF SIDEWALK.
2. PROVIDE CONCRETE TYPE PER LOCAL CODE. (3500 PSI AIR ENTRAINED)



SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION
NOT TO SCALE

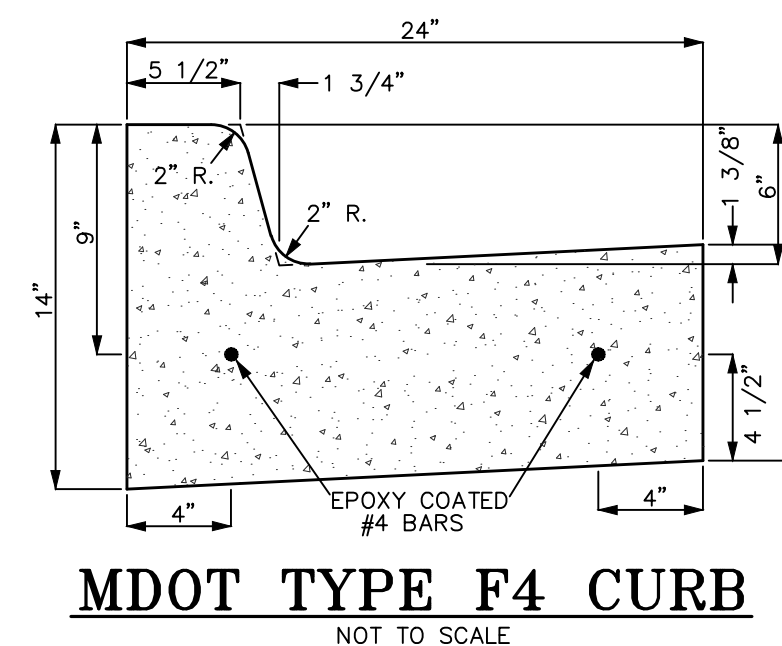
PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer. Copies of the field notes depicting the field measurements of the undercut areas shall be provided to the General Contractor and/or Earthwork Subcontractor and Owner.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 3" minimum size crushed angular limestone and cap with 21AA crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.

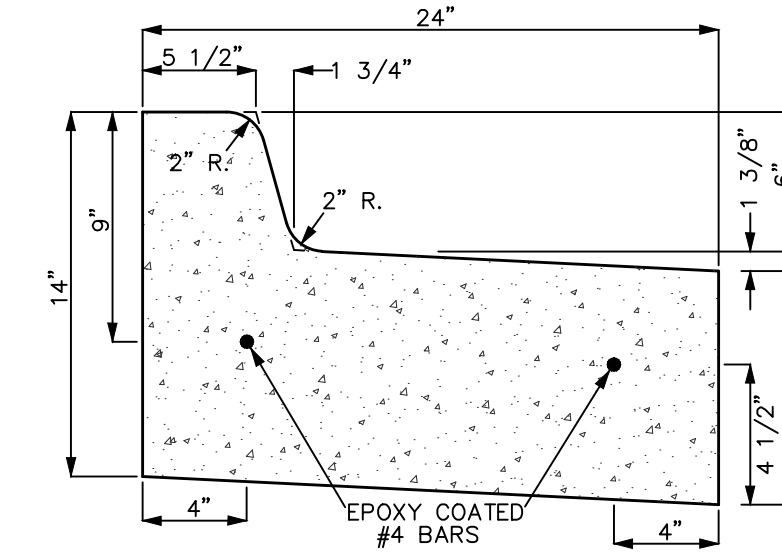


CONCRETE PAVEMENT CROSS-SECTION
NOT TO SCALE

KEY	DESCRIPTION	MATERIAL SPEC.	MIN. THICKNESS
C	CONCRETE	MDOT P1-1A - 6 SACK	6"
S	GRANULAR SUBBASE	MDOT CLASS II	6"



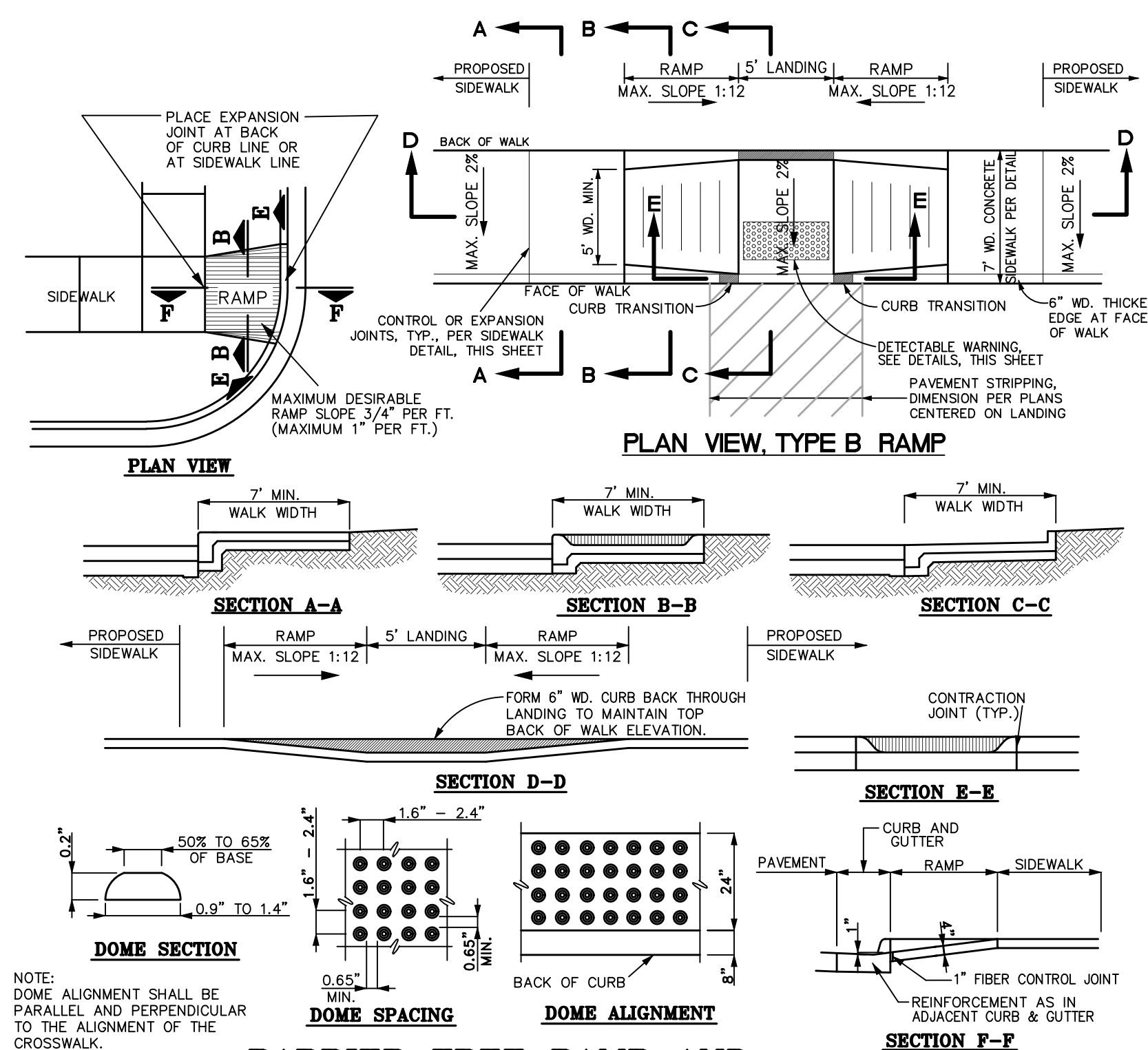
MDOT TYPE F4 CURB
NOT TO SCALE



MDOT TYPE F4 CURB REVERSE PITCH
NOT TO SCALE

CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. If not specified by the Local Municipality, then the concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse contraction control joints in curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 1" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.



BARRIER FREE RAMP AND DETECTABLE WARNING DETAILS
NOT TO SCALE

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	11-21-22	REVISED PER REVIEW COMMENTS			
CHECK: WMP	2	2-9-23	REVISED SIDEWALK CROSS SECTION DETAIL			
	3	2-17-23	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

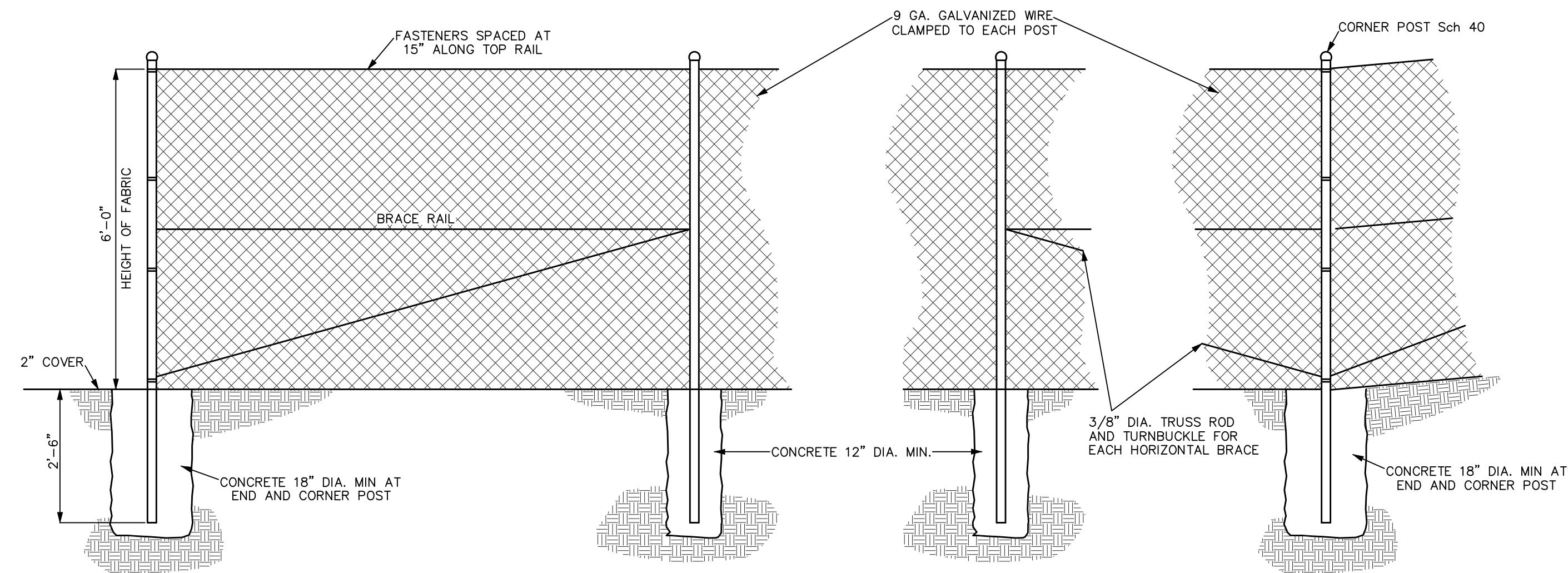
WONDERLAND MARINE WEST

SITE & PAVEMENT NOTES AND DETAILS

CLIENT: MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN 48843
517-548-5122

SCALE: N/A
PROJECT No.: 214052
DWG NAME: 4052 DT
ISSUED: FEB. 17, 2023

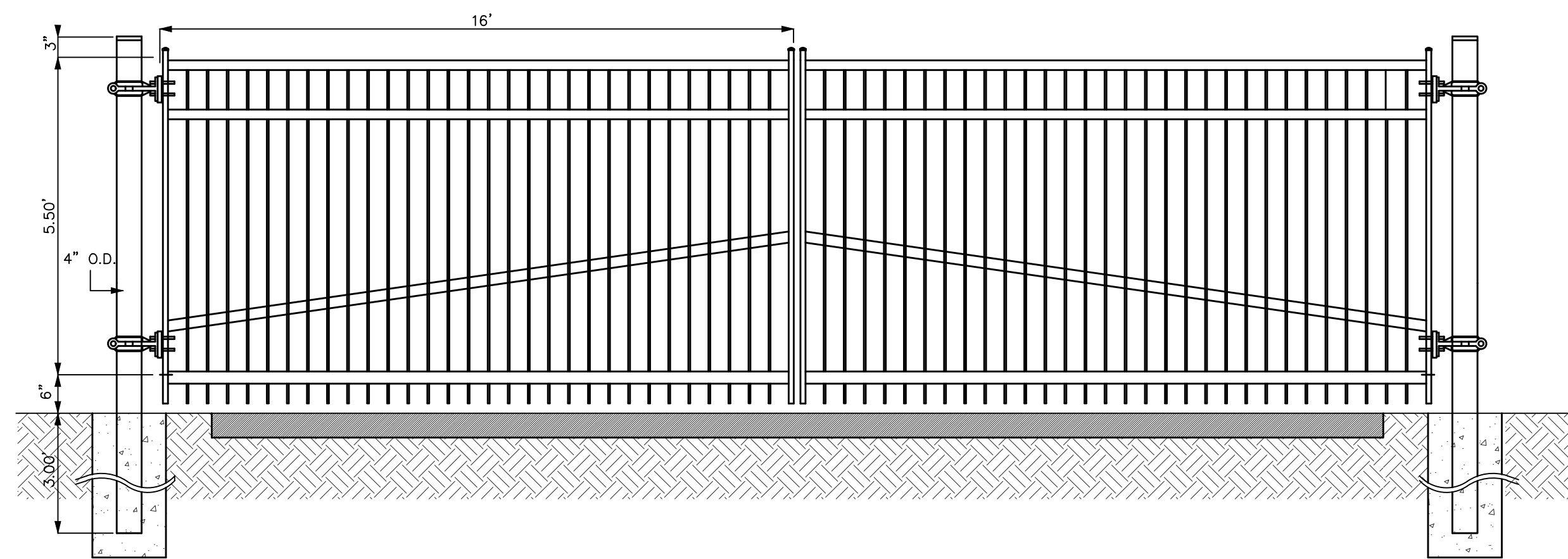
DT1



CHAIN LINK FENCE DETAIL

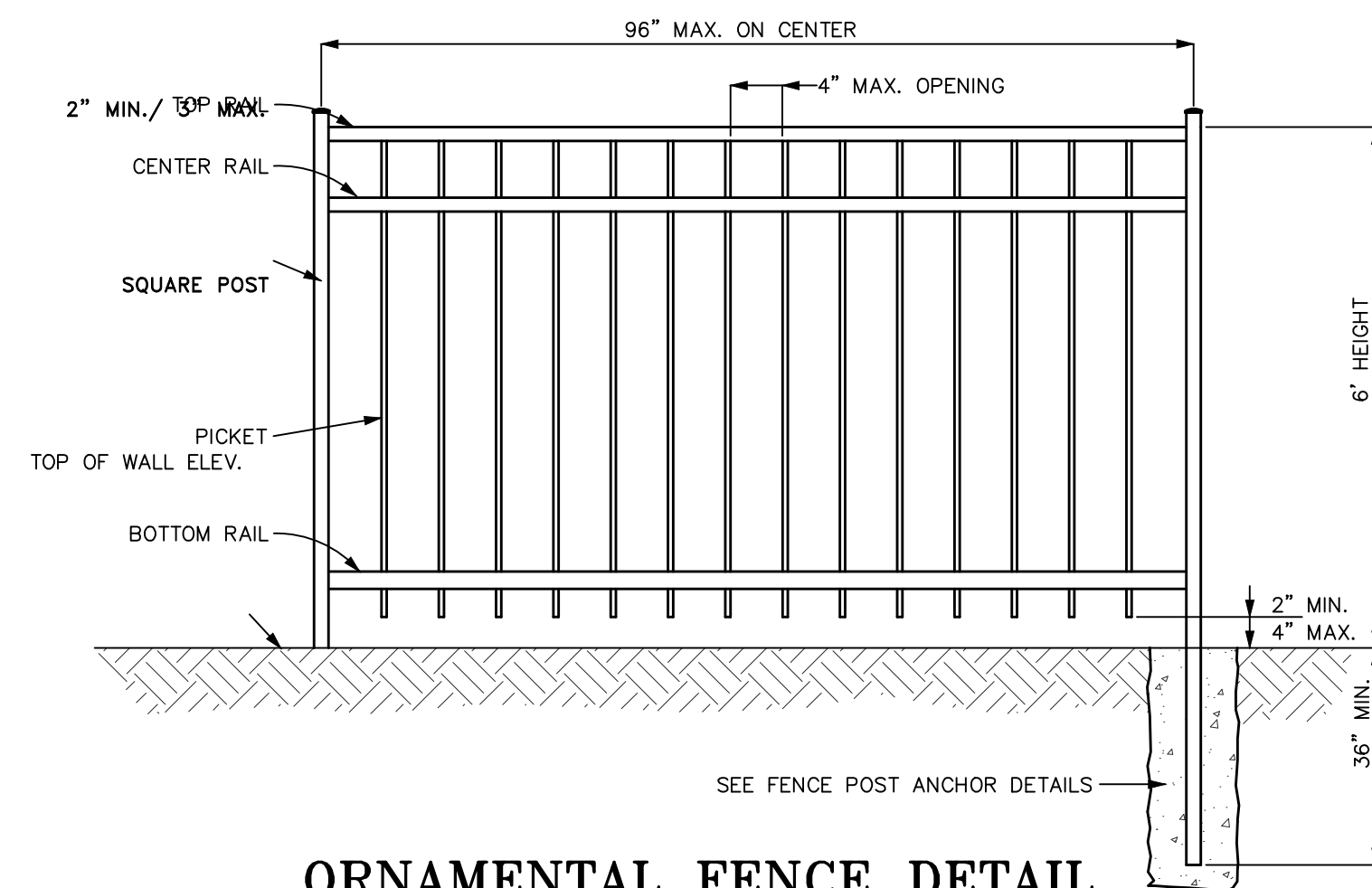
NOT TO SCALE

NOTE:
ALL FENCING AND HARDWARE SHALL BE GALVANIZED STEEL.



GATE DETAIL

NOT TO SCALE



ORNAMENTAL FENCE DETAIL

NOT TO SCALE

FENCE NOTES:

1. The fence shall be a decorative commercial grade 3-rail aluminum fence with square posts, rectangular rails and square pickets.
2. The fence finish shall be black powder coat or E-coat applied by the fence Manufacturer.
3. All hardware shall either stainless steel or hot dipped galvanized with a black finish matching the fence components.
4. The fence shall be maintenance free and shall be provided with a Manufacturer's warranty that covers the structural components and the finish of the fence for a period of not less than 20 years.
5. The fence shall be assembled and installed in accordance with the Manufacturer's Specifications including proper coating and/or refinishing of drilled components.

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CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

**BRIGHTON MOTORS
MARINE WEST**

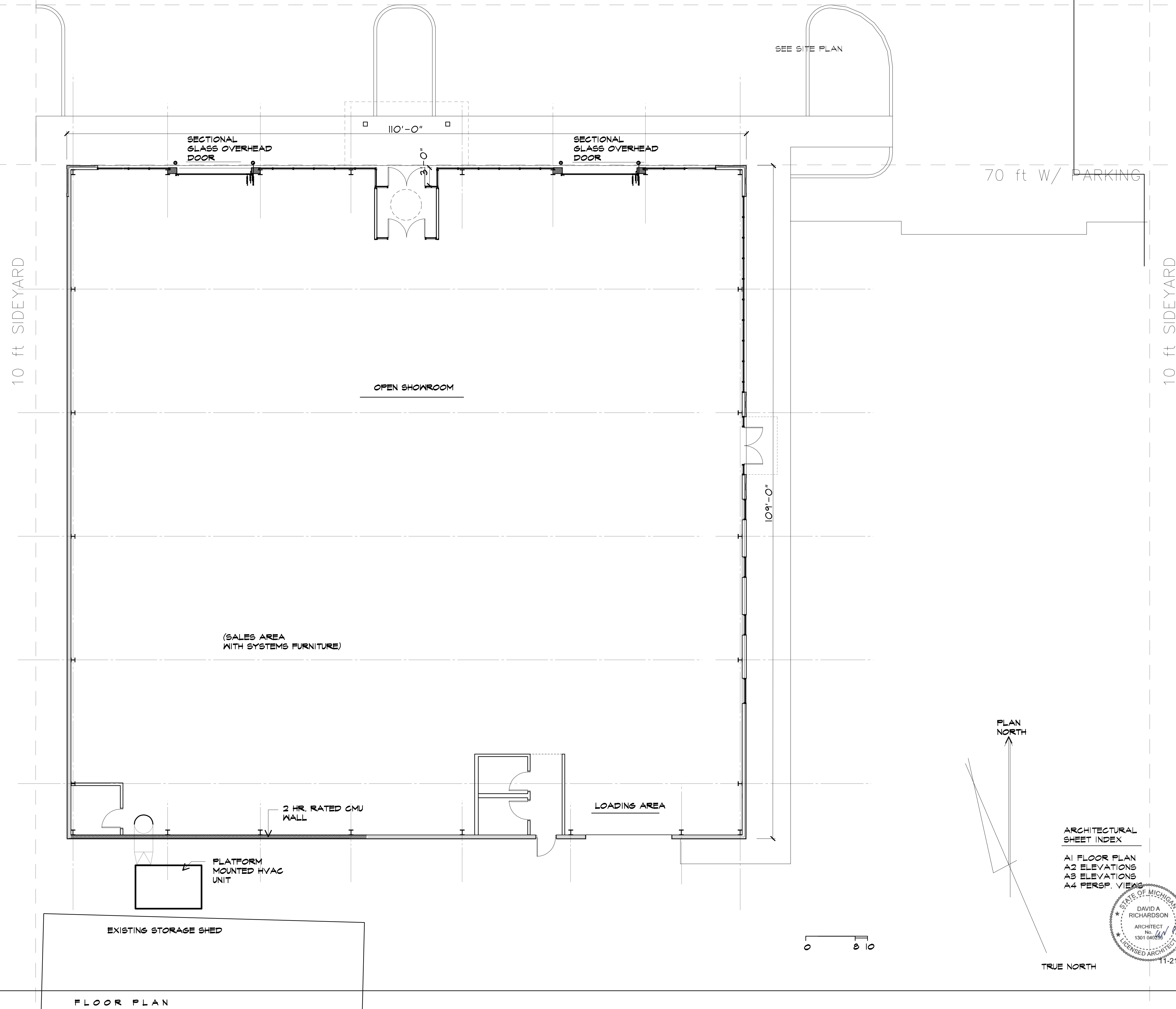
**FENCING
NOTES AND DETAILS**

CLIENT:
MITTS LLC
5796 E. GRAND RIVER
HOWELL, MICHIGAN 48843
517-548-5122

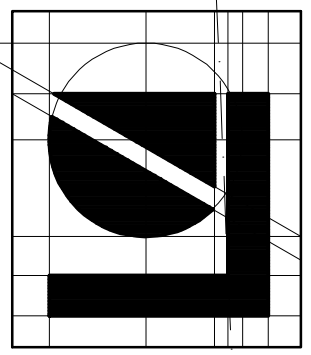
SCALE: N/A
PROJECT No.: 214052
DWG NAME: 4052 DT
ISSUED: FEB. 17, 2023

DT2

DATE PLOTTED: 6-4-2024 THE PLOTTED: 3:8 PM FILE LOCATION: J:\PRED\DEVELOPMENT\L2ARC.DWG COPYRIGHT © 2010 LINDHOUT ASSOCIATES architects and pc THIS DOCUMENT AND THE SUBJECT MATTER CONTAINED THEREIN IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN APPROVAL



FLOOR PLAN



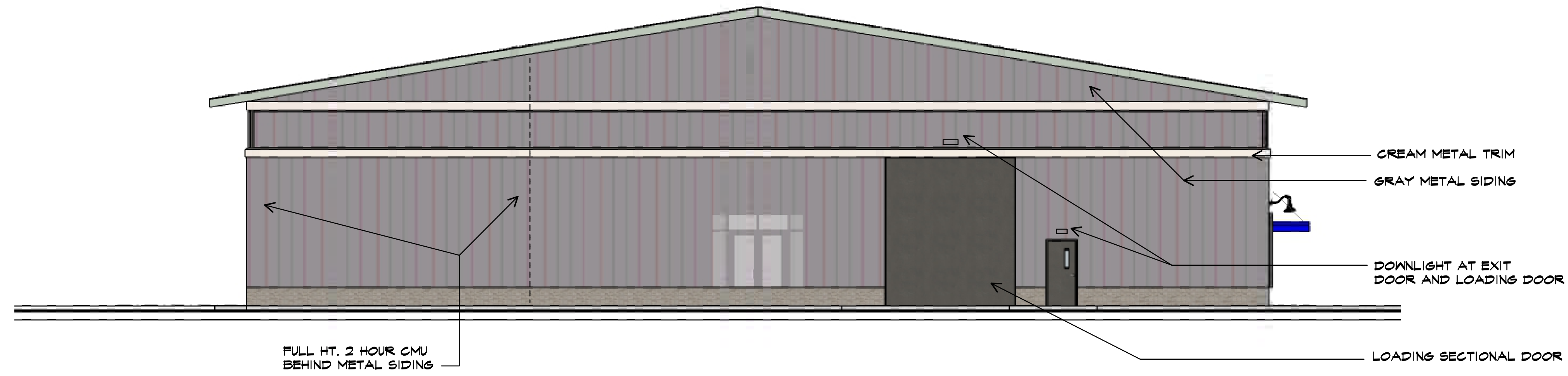
Lindhout Associates
architects aia pc
10465 citation drive, brighton, michigan 48116-9510
www.lindhout.com (610)227-5668 fax: (610)227-5855

consultant

DR:	MRL	DATE	REVIEW
CK'D:	DAR	11-22-2022	SITE PLAN REVIEW
APP'D:		11-21-2022	OWNER REVIEW
		8-05-2022	INITIAL SITE PLAN REVIEW
			ISSUED FOR

NEW HIGH BAY BOAT SHOWROOM for:
WONDERLAND MARINE WEST
GENOA TWP., MI
FLOOR PLAN

A1
22001



SOUTH ELEVATION



NORTH ELEVATION



NORTH ELEVATION MATERIALS

2,925 SQ.FT. TOTAL

CORNER GLASS UNITS
 $2(88+99) = 274$ SQ.FT.

RUNNING GLASS UNITS
 $4(40+115) = 620$ SQ.FT.
 (INCLUDES GLASS SECTIONAL DOORS)

CENTER GLASS UNITS
 $91+242 = 333$ SQ.FT.

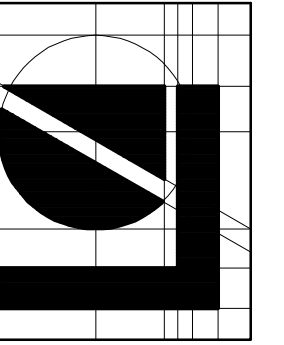
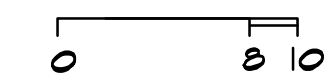
NON GLASS AREA
 $2,925 - 1,227 = 1,698$ SQ.FT.

METAL TRIM AND CORNER IMP SPANDRELS
 261 SQ.FT.

BLUE A.C.P. CANOPY, FAUX WOOD
 60 SQ.FT.

BRICK AREA
 1,357 SQ.FT.

BRICK PERCENTAGE
 $1,357 / 1,698 = 80\% \pm$



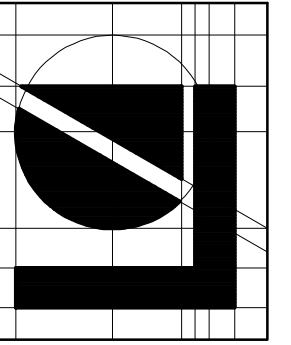
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 architects aia pc
 10465 citation drive
 www.lindhout.com
 brighton, michigan 48116-9510
 (810)227-5668 fax: (810)227-5855

consultant

MRL DAR
 dr: ck'd: opp'd:
 11-21-2022 date
 11-22-2022 date
 SITE PLAN REVIEW
 OWNER REVIEW
 issued for

NEW HIGH BAY BOAT SHOWROOM for:
WONDERLAND MARINE WEST
 GENOA TWP., MI
ELEVATIONS

22001



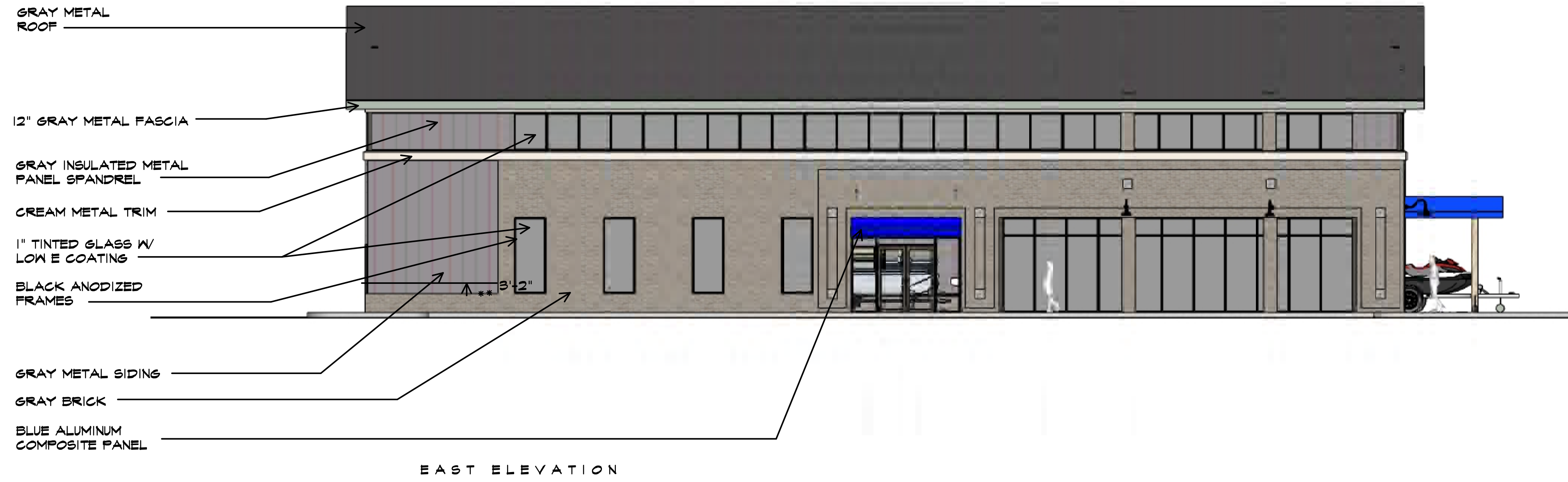
Lindhout Associates
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10465 citation drive, brighton, michigan 48116-9510
www.lindhout.com (810)227-5668 fax:(810)227-5855

consultant

PHL
dr: DAR
ck'd: DAR
app'd:
11-22-2022
11-21-2022
date
SITE PLAN REVIEW
OWNER REVIEW
issued for

NEW HIGH BAY BOAT SHOWROOM For:
WONDERLAND MARINE WEST
GENOA TWP., MI
ELEVATIONS

AS
22001



**
RAISE BRICK BASE
12" THIS AREA TO 3'-2" EL. FOR
75% BRICK PERCENTAGE

EAST ELEVATION MATERIALS

2348 SQ.FT. TOTAL

CORNER GLASS UNITS
(3+3) = 112 SQ.FT.

UPPER GLASS LESS CORNER
49+242= 278 SQ.FT.

PUNCHED WINDOW OPENINGS
4(24)= 96 SQ.FT.

LOWER GLASS LESS CORNER
92+124+131= 347 SQ.FT.

NON GLASS AREA
2348 - 895 = 1,508 SQ.FT.

METAL TRIM AND CORNER IMP SPANDRELS
184 SQ.FT.

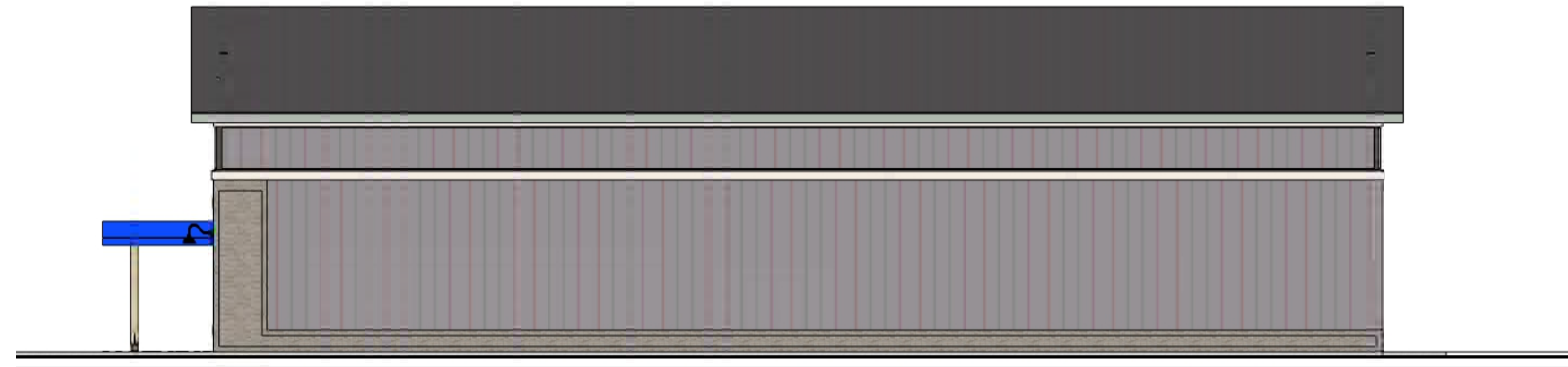
METAL SIDING BELOW TRIM
179 SQ.FT.

BLUE A.C.P. CANOPY
24 SQ.FT.

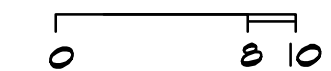
BRICK AREA
1,131 SQ.FT.

BRICK PERCENTAGE
1,131 / 1,508 = 75%

SEE EAST ELEV.
FOR NOTES



WEST ELEVATION





VIEW FROM EAST DRIVE



VIEW FROM N.E. CORNER



NEW HIGH BAY BOAT SHOWROOM for:
WONDERLAND MARINE WEST
GENOA TOWNSHIP, MI
PERSPECTIVE VIEWS

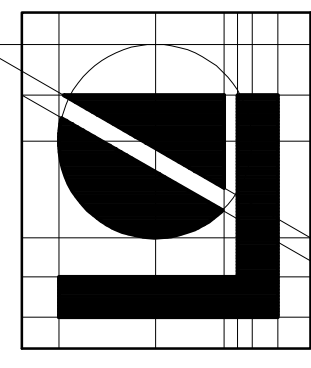
dr: HRL
ck'd: DAR
app'd: [Signature]

11-22-2022
11-21-2022
date

SITE PLAN REVIEW
OWNER REVIEW
issued for

consultant

Lindhout Associates
architects aia pc
10465 citation drive, brighton, michigan 48116-0910
www.lindhout.com (810)227-5668 fax:(810)227-5655



**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 230306A

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the "Township") held at 6:30pm at the Township Hall on Monday, March 6, 2023 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION TO ESTABLISH THE WAGES AND SALARIES FOR ELECTED OFFICIALS

NOW THEREFORE, BE IT RESOLVED that for the fiscal year beginning on April 1, 2023, the base wage salaries* for the elected officials shall be increased by five (5%) percent with the exception of the Clerk which shall remain static as adopted by the Board on March 15, 2021. The hereby established base salaries shall therefore be adopted as follows:

Supervisor	\$ 65,877
Treasurer	\$ 64,667
Clerk	\$ 57,505
Trustees	\$ 237.16 Per-Diem

*(base wage salaries do not include pay for longevity, cell phone reimbursement or medical opt out)

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared _____.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 230306B

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the "Township") held at 6:30pm at the Township Hall on Monday, March 6, 2023 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION TO ESTABLISH THE WAGES AND SALARIES FOR APPOINTED OFFICIALS

NOW THEREFORE, BE IT RESOLVED that for the fiscal year beginning on April 1, 2023, the base wage for the appointed officials on the Planning Commission, Zoning Board of Appeals, and Board of Review shall be increased by five (5%) percent. The hereby established base salaries shall therefore be adopted as follows:

Planning Commission and Zoning Board of Appeals (Per Diem) - \$ 203.45 (Chairperson - \$215.57)

Board of Review (Hourly) - \$28.67 hourly

Recording Secretary (Per Diem) - \$181.65 plus \$25 per ½ hour after 9:30pm

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared _____.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date



MEMO

TO: Members of the Genoa Charter Township Board
FROM: Kim Lane, Human Resources
DATE: March 6, 2023
RE: Approval of Market Adjustment and Compensation Strategy for 2023

Dear Members of the Board:

In February, 2022, we introduced the use of a program called Compease[®] provided by HR Performance Solutions (HRP) to assist us in keeping our wages and salary ranges from getting behind market. Last year we implemented the first Market Adjustment and indicated that a second Market Adjustment would be necessary for 2023.

Through the Compease[®] program, each grade level has an assigned salary range based on benchmarked positions. HRP has access to several salary sources as well as local information and salary surveys we provided. Compease[®] also tracks wage movement year over year and annually updates those ranges.

Last year, we established ranges based on data provided in 2021. As we predicted, for 2022 and 2023 wages have continued to rise and salary ranges have moved an average of 5% since 2021

Employees are our most valuable asset and would be difficult to replace given the continued labor market shortages. We currently enjoy a fully-trained staff, with years of tenure and exceptionally low turn-over.

With this in mind, we respectfully request your approval for a salary budget increase of 8% to address market adjustments and continue the work we started last year to move staff salaries to 95-100% of the mid-point of the new ranges.

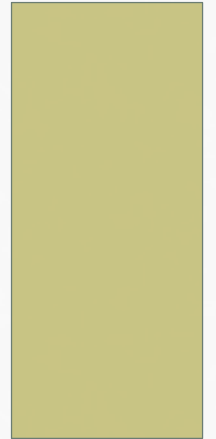
Action: Compensation Strategy for 2023

Approve the request for a budget increase of 8% for employee salaries to spread among employees to bring their compa-ratio to 95-100% of mid-point.

Moved by _____, supported by _____ to approve the 2023 Compensation Strategy as presented by the Human Resources Manager.

2023 COMPENSATION ANALYSIS AND MARKET ADJUSTMENT

REVIEW AND RECOMMENDATIONS



ANALYZING OUR WAGES

- **Wages and Consumer Prices continue to rise**
 - Wages for state and local governments saw a 4.7% increase December 2022 over the same month the previous year (source: U.S. Bureau of of Labor Statistics, January 2023)
 - Consumer Prices rose 6.4% year over year in January 2023. (source: U.S. Bureau of Labor Statistics 2/10/2022)
- **Compease – ranges moved 2.5-4% in 2022 and moved an additional 3% in 2023.**
- **Compa-Ratio Refresher:**
 - Compa-Ratio is the current salary compared to the **mid-point** of market. (Ex: a salary of \$45,000 with a mid-point in their salary range of \$50,000 would be 90%)
 - Compa-Ratios are used to differentiate salaries within a salary range based on experience
 - Compa-ratio between 80-90% is considered entry rates
 - Compa-ratio between 90-103% is appropriate for employees who are trained or fully qualified for the position and who consistently perform at an acceptable level.
 - Compa-ratio above 103% is appropriate for employees who are fully qualified, and over time, consistently perform above acceptable levels.
- **Market Adjustments**
 - 2022 – A 10% budget was approved to move our staff wages to a minimum 90% Compa-Ratio
 - 2023 – We knew last year that the market would continue to move and we'd require a 2nd Market Adjustment for 2023 to move staff wages to a 95-100% Compa-Ratio

RECOMMENDED COMPENSATION STRATEGY FOR 2023 AND BEYOND

- **Market Adjustment for 2023**

- Propose a 8% salary budget increase to spread among employees to move staff wages to 95-100% of midpoint. Employees will once again receive varying percentages that achieve this goal.

- **Compease is updated annually by early March.**

- Salary ranges have been adjusted based on data received March 1, 2023.

- **Compensation Strategy for 2024 and beyond**

- During the next fiscal year, we plan to implement a performance appraisal system. Future salary budgets will be proposed based on market data. Individual increases will continue to vary based on a combination of market and performance.

- **Rationale**

- Employees are our most valuable asset. We have many employees with long tenure who are well-trained and equipped with the skills necessary to do their jobs efficiently.
- A compensation strategy that incorporates both formal appraisals and market data will allow us to retain valuable staff, attract new candidates for open positions, and reward top performers.



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: March 1, 2023
RE: FY 23-24 Final Budget Revisions

Please note that the amendments to the current fiscal year budget which are shown highlighted in either green or yellow shading on the budget will be considered at the next meeting planned for March 20, 2023. A summary of the changes to these items will follow the changes to the FY 23/24 budget detailed below.

For the fiscal year starting April 1, 2023 the following represents a summary of the minor changes to the budget since the public hearing held on February 20, 2023:

GENERAL FUND #101

Revenue:

- Refuse Collection: accuracy improvement decreased estimated revenue by \$75,000.

Appropriations:

- Twp. Manager Salary: increased by \$800 in consideration of unexpected personal time payout associated with accrued unused time.
- IT Dept. Wages: increased by \$4,278 in consideration of pre-existing lump sum afterhours/overtime payment that was inadvertently left out of original estimate.
- Unallocated Supplies: increased by \$7,000 to be commensurate with current year costs and planned projects.
- Unallocated Postage: increased by \$3,000 due to postage rate increases and planned projects.

SAD ROADS AND LAKES #202

Added district years to all categories.

Revenue:

- McNamara Transfer In line item deleted.
- Lake Chemung: increased by \$4,300 to include the commercial parcel assessment amounts

Appropriations:

- Pine Creek: added new line item for administrative fees for \$2,000

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter

PARK/RECREATION FUND #208

Appropriations:

- Grand River Sidewalk Infill – decreased by \$2000 due to invoice paid.

GENOA TOWNSHIP ARPA FUND #494

Appropriations:

- Election Machine – additional costs of \$36,495 added to this year.

The following represents the changes to the proposed amendments to the CURRENT fiscal year budget as compared to the budget presented at the last meeting on February 20, 2023. The final amendments to the current fiscal year budget will be on the agenda for your consideration at the next meeting but I wanted to point out the changes now since you can see them in the proposed FY23/24 budget:

GENERAL FUND #101

Revenue:

- LCSA: PPT Reimbursement: increased revenue by \$8,048
- Interest: increased by \$2,000
- Taxes on Land Transfer is no longer proposed to increase.

Appropriations:

- Twp. Manager Salary: increased by \$6,117. The increase is due to incorrectly calculated pay for the former manager which overlapped with the current manager and for unaccounted longevity pay and unexpected un-used personal time payout.
- IT Dept Wages: increased by \$4,025 due to pre-existing lump sum afterhours/overtime payment that was inadvertently left out of original budget estimate.
- Unallocated Supplies: increased by \$5,000 to reflect increased postage and anticipated spending.
- Unallocated Contingency: reduced by \$25,000 since no spending has occurred.
- Drains at Large Contractual Services – reduced by \$22,144 to reflect actual spending.

SAD ROADS AND LAKES #202

Added district years to all categories.

Appropriations:

- McNamara Project Expense: increased by \$2,000 to cover administrative costs incurred the last few months.
- Pine Creek Administrative Fees: added new line item for administrative fees for \$2,000 for costs incurred this month.
- Lake Chemung Project Expense: decreased by \$27,000 since no spending has occurred but leaving some for administrative fees for renewal.

- East & West Crooked Lake Project Expense: increased by \$4,000 to cover administrative fees of renewal.
- Baetcke Lake project expense: increase this year by \$2,000 to cover administrative fees.

PARK/RECREATION FUND #208

Appropriations:

- Path / Park Maintenance: increased by \$12,000 due to anticipated additional expenses associated with recent winter weather.

BUILDING AND GROUNDS FUND #249

Appropriations:

- Added Miscellaneous Expenses for \$244
- Grand River Sidewalk Infill: decreased by \$2000 due to invoice paid.

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION 230306C

**2023-2024 GENERAL APPROPRIATIONS ACT
BUDGET RESOLUTION
FISCAL YEAR: APRIL 1, 2023 THROUGH MARCH 31, 2024**

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at 6:30pm at the Township Hall on Monday, March 6, 2023 there were:

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

**2023-2024 GENERAL APPROPRIATIONS ACT
BUDGET RESOLUTION
FISCAL YEAR: APRIL 1, 2023 THROUGH MARCH 31, 2024**

WHEREAS, the Charter Township Act, MCL 42.1 et. seq, as amended, requires the Township to prepare a detailed budget for the upcoming fiscal year; and

WHEREAS, the Uniform Budgeting and Accounting Act, MCL 141.421 et seq, as amended, which is applicable to the Township, requires that the Township pass a general appropriation act setting forth certain information for the upcoming fiscal year; and

WHEREAS, the Township Board of Genoa Charter Township (“the Board”) seeks to adopt a resolution, which shall be known as the “2023-2024 General Appropriations Act”, which authorizes the Township to levy and collect taxes and authorize the spending of the money collected in the manner set forth below and in the approved budget document for the Fiscal Year beginning April 1, 2023 and ending March 31, 2024;

NOW THEREFORE BE IT RESOLVED by the Board of Trustees of Genoa Charter Township the following:

Section 1: Title

This resolution shall be known as the 2023-2024 Genoa Charter Township General Appropriations Act.

Section 2: Chief Administrative Officer

The Supervisor, pursuant to state law, shall be the Chief Administrative Officer and shall perform the duties of the Chief Administrative Officer enumerated in this resolution.

Section 3: Public Hearings on the Budget

Pursuant to MCL 42.26, 141.412 and 141.413 notice of a public hearing on the proposed budget was published in the Livingston Daily, a newspaper of general circulation on February 12, 2023, and a public hearing on the proposed budget was held on February 20, 2023.

Section 4: Millage Levy

The Genoa Charter Township Board shall cause to be levied and collected the general property tax on all real and personal property within the township upon the current tax roll an amount equal to 0.7774 mills as authorized under state law.

Section 5: Estimated Revenues and Expenditures

The estimated total revenues and expenditures for the various funds, wages and or salaries is presented in Exhibit A.

Section 6: Adoption of Budget by Reference

The 2023-2024 fiscal year budget for the various funds by Department is hereby adopted by reference, with revenues and activity expenditures as indicated in Section 6 and Exhibit A of this resolution.

Section 7: Appropriation not a Mandate to Spend

Appropriations will be deemed maximum authorizations to incur expenditures. The Township officials responsible for the expenditures authorized in the budget may expend township funds up to, but not exceed, the total appropriation for each Department.

Section 8: Payment of Bills

Pursuant to MCL 41.75, as amended, all claims (bills) against the Township shall be approved by the Board prior to being paid. Certain bills may be paid prior to approval by the Township Board to avoid late penalties, service charges and interest, and payroll in accordance with the approved salaries and wages adopted in this appropriations act. The Board shall receive a list of claims (bills) paid prior to approval so that they may be approved at the next Board Meeting.

Section 9: Budget Monitoring

Whenever it appears to the Chief Administrative Officer or the Township Board that the actual and probable revenues in any fund will be less than the estimated revenues upon which appropriations from such fund were based, and when it appears that expenditures shall exceed an appropriation, the Chief Administrative Officer shall present to the township board recommendations to prevent expenditures from exceeding available revenues or appropriations for the current fiscal year. Such recommendations shall include proposals for reducing appropriations, increasing revenues, or both.

Section 10: Board Adoption

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared _____.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

Date

Exhibit A - Fiscal Year 2023-2024 General Appropriations Act Budget

03/01/2023

BUDGET REPORT FOR GENOA TOWNSHIP

INCREASE

DECREASE

Calculations as of 02/28/2023

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 101 - GENERAL FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
101-000-402-001	CURRENT REAL PROP TAX	816,914	1,085,000	1,085,000	1,200,000
101-000-411-001	DELINQ TAX - PERSONAL & REAL	0	1,000	1,000	1,000
101-000-434-002	TRAILER FEES	3,423	4,000	4,000	4,000
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	351,747	370,000	370,000	400,000
101-000-448-002	COLLECTION FEE - SCHOOLS	24,801	25,000	25,000	25,000
101-000-448-003	SET FEES COLLECTED	949	0	949	
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	44,520	59,359	59,359	59,359
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS	0	0	4,436	7,263
101-000-476-001	CABLE FRANCHISE	385,589	430,000	385,588	410,000
101-000-476-002	LICENSE & PERMITS	19,477	20,000	20,000	20,000
101-000-567-001	CEMETERY REVENUE	0	1,600	1,600	800
101-000-572-001	METRO ACT REVENUE	15,084	15,000	15,084	15,500
101-000-573-001	LCSA-PPT REIMBURSEMENT	23,048	15,000	23,048	25,500
101-000-574-002	STATE SHARED REVENUE	2,037,274	1,906,283	2,429,808	2,210,292
101-000-579-000	OTHER STATE REVENUES	0	300,000	0	
101-000-608-000	CHARGES FOR SERV-APPL FEES	68,725	60,000	72,000	60,000
101-000-609-000	CHARGES FOR SERVICES- FOIA/PRINTING	356	500	500	500
101-000-626-032	ADM FEE LIQUOR LAW	2,705	3,500	3,605	3,500
101-000-631-000	REFUSE COLLECTION FEES	1,020,774	1,250,000	1,150,000	1,175,000
101-000-657-001	ORDINANCE FINES	1,250	3,000	3,000	1,000
101-000-665-001	INTEREST	53,914	4,850	55,000	10,000
101-000-671-000	OTHER REVENUE	4,637	1,000	4,637	1,000
101-000-672-000	TAXES ON LAND TRANSFER	139,240	145,000	145,000	149,000
101-000-698-202	TRANSFER IN - SAD RESIDUAL BALANCE	47,553	0	47,553	
101-000-699-249	MMRMA REIMBURSEMENT	9,445	20,000	10,000	10,000
101-000-699-464	TRANSFER IN FROM ARPA FUND #464	223,436	0	224,000	224,000
Totals for dept 000 - REVENUE		5,294,861	5,720,092	6,140,167	6,012,714
TOTAL ESTIMATED REVENUES		5,294,861	5,720,092	6,140,167	6,012,714
Difference			(420,075)		

03/01/2023

BUDGET REPORT FOR GENOA TOWNSHIP

Calculations as of 02/28/2023

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
APPROPRIATIONS					
Dept 101 - TOWNSHIP BOARD					
101-101-702-014	TRUSTEES/SECRETARY WAGES & SALARIES	32,880	31,500	34,000	37,575
101-101-861-000	TRUSTEES MILEAGE & TRAVEL EXPENSE	1,160	3,800	3,800	3,800
101-101-910-000	TRUSTEES PRO DEV/CONFERENCE/DUES	10,907	11,000	11,000	15,000
101-101-955-000	TRUSTEES MISCELLANEOUS	0	100	100	100
Totals for dept 101 - TOWNSHIP BOARD		44,947	46,400	48,900	56,475
Dept 171 - TOWNSHIP SUPERVISOR					
101-171-702-014	TWP SUPERVISOR SALARY	60,166	62,740	62,740	65,877
101-171-861-000	SUPERVISOR MILEAGE & TRAVEL EXPENSE	68	1,500	1,500	500
101-171-910-000	SUPERVISOR PRO DEV/CONFERENCE/DUES	280	2,000	2,000	1,000
101-171-955-000	SUPERVISOR MISCELLANEOUS	0	1,000	1,000	1,000
Totals for dept 171 - TOWNSHIP SUPERVISOR		60,514	67,240	67,240	68,377
Dept 172 - TOWNSHIP MANAGER					
101-172-702-014	TWP MANAGER SALARY	166,923	166,435	172,552	151,500
101-172-703-000	MANAGER DEPT WAGES & SALARIES	38,997	41,140	41,140	45,460
101-172-861-000	MANAGER DEPT MILEAGE & TRAVEL EXPENS	30	1,500	1,500	1,000
101-172-910-000	MANAGER DEPT PRO DEV/CONFERENCE/DU	1,582	3,000	3,000	4,000
101-172-955-000	MANAGER DEPT MISCELLANEOUS	0	2,000	2,000	1,000
Totals for dept 172 - TOWNSHIP MANAGER		207,532	214,075	220,192	202,960
Dept 191 - ACCOUNTING & FINANCE					
101-191-703-000	ACCT DEPT WAGES & SALARIES	75,391	80,245	80,245	85,458
101-191-801-000	ACCOUNTING CONSULTANT (PHP)	17,950	25,000	25,000	30,000
101-191-801-001	FINANCIAL CONSULTING (PFM)	0	0	0	1,200
101-191-861-000	ACCT DEPT MILEAGE & TRAVEL EXPENSE	48	100	100	100
101-191-910-000	ACCT DEPT PRO DEV/CONFERENCE/DUES	0	500	500	500
101-191-955-000	ACCT DEPT MISCELLANEOUS	1,000	1,000	1,000	1,000
Totals for dept 191 - ACCOUNTING & FINANCE		94,389	106,845	106,845	118,258
Dept 215 - TOWNSHIP CLERK					
101-215-702-014	TWP CLERK SALARY	56,543	58,755	58,755	58,755
101-215-703-000	CLERKS DEPT WAGES & SALARIES	42,067	37,555	44,000	44,000
101-215-861-000	CLERKS DEPT MILEAGE & TRAVEL EXPENSE	107	200	200	200
101-215-910-000	CLERKS DEPT PRO DEV/CONFERENCE/DUES	40	100	100	100
101-215-955-000	CLERKS DEPT MISCELLANEOUS	44	1,000	1,000	100
Totals for dept 215 - TOWNSHIP CLERK		98,801	97,610	104,055	103,155
Dept 223 - AUDIT					
101-223-801-000	AUDIT SERVICES (MANOR COSTERISAN)	25,900	29,900	29,900	30,900
Totals for dept 223 - AUDIT		25,900	29,900	29,900	30,900

03/01/2023

BUDGET REPORT FOR GENOA TOWNSHIP

Calculations as of 02/28/2023

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Dept 228 - INFORMATION TECHNOLOGY					
101-228-703-000	IT DEPT WAGES & SALARIES	67,308	65,975	70,000	77,000
101-228-861-000	IT DEPT MILEAGE & TRAVEL EXPENSE	0	500	500	500
101-228-910-000	IT DEPT PRO DEV/CONFERENCE/DUES	0	200	200	200
101-228-955-000	IT DEPT MISCELLANEOUS	0	1,000	1,000	1,000
Totals for dept 228 - INFORMATION TECHNOLOGY		67,308	67,675	71,700	78,700
Dept 247 - BOARD OF REVIEW					
101-247-702-014	BOARD OF REVIEW SALARIES	2,363	4,200	4,200	4,410
101-247-791-000	BD OF REV PUBLICATIONS	480	750	900	1,000
101-247-861-000	BD OF REV MILEAGE & TRAVEL EXPENSE	0	100	100	100
101-247-910-000	BD OF REV PRO DEV/CONFERENCE/DUES	0	540	540	540
101-247-955-000	BD OF REV MISCELLANEOUS	0	500	500	500
101-247-964-000	REFUNDS & CHARGEBACKS	386	5,000	5,000	5,000
Totals for dept 247 - BOARD OF REVIEW		3,229	11,090	11,240	11,550
Dept 253 - TOWNSHIP TREASURER					
101-253-702-014	TREASURER SALARY	60,311	62,838	62,838	65,918
101-253-703-000	TREASURERS DEPT WAGES & SALARIES	87,901	92,805	92,805	101,004
101-253-861-000	TREASURERS DEPT MILEAGE & TRAVEL EXPEI	490	1,500	1,500	1,000
101-253-910-000	TREASURERS DEPT PRO DEV/CONFERENCE/C	20	500	500	500
101-253-955-000	TREASURERS DEPT MISCELLANEOUS	81	1,000	1,000	1,000
Totals for dept 253 - TOWNSHIP TREASURER		148,803	158,643	158,643	169,422
Dept 257 - ASSESSING DEPARTMENT					
101-257-702-014	ASSESSING SALARIES	221,378	229,437	229,437	253,458
101-257-703-000	ASSESSING WAGES & SALARIES INTERN	2,400	10,000	10,000	10,000
101-257-803-000	ASSESSING LEGAL	5,105	15,000	15,000	15,000
101-257-861-000	ASSESSING MILEAGE & TRAVEL EXPENSE	0	500	500	500
101-257-910-000	ASSESSING PRO DEV/CONFER/DUES/SUB	1,774	10,000	10,000	5,000
101-257-955-000	ASSESSING MISCELLANEOUS	102	1,000	1,000	1,000
Totals for dept 257 - ASSESSING DEPARTMENT		230,759	265,937	265,937	284,958
Dept 261 - UNALLOCATED					
101-261-703-000	UNALLOCATED WAGES & SALARIES	2,768	5,000	5,000	2,000
101-261-709-000	EMPLOYER'S SHARE SS & MEDICARE	85,172	81,675	98,000	110,000
101-261-709-001	CELLPHONE REIMBURSEMENT	2,533	3,100	3,100	4,000
101-261-709-002	WORKERS COMP	(5,373)	9,000	9,000	11,000
101-261-718-001	RETIREMENT	131,909	119,505	155,000	201,456
101-261-718-002	HEALTH INSURANCE	268,385	327,500	327,500	225,000
101-261-718-003	WELLNESS	4,261	8,000	8,000	8,000
101-261-718-004	EHIM RESERVE	0	0	0	50,000
101-261-750-000	SUPPLIES	44,258	40,000	50,000	27,000
101-261-750-001	POSTAGE	0	0	0	33,000
101-261-751-000	EQUIP / SOFTWARE / SOFTWARE MAINTENA	87,635	140,000	100,000	200,000
101-261-791-000	SUBSCRI/PUBLICATIONS/MEMBERS	1,312	4,000	4,000	6,000
101-261-802-000	CONTRACTUAL SERVICES / CONSULTING	25,300	26,000	26,000	35,000
101-261-802-001	TWP VEHICLE EXPENSES	855	0	1,500	2,000
101-261-861-000	UNALLOCATED MILEAGE & TRAVEL EXPENSE	0	100	100	100
101-261-941-000	CONTINGENCY	0	50,000	25,000	50,000
101-261-955-000	UNALLOCATED MISCELLANEOUS	2,690	1,000	2,700	1,000
Totals for dept 261 - UNALLOCATED		651,705	814,880	814,900	965,556

03/01/2023

BUDGET REPORT FOR GENOA TOWNSHIP

Calculations as of 02/28/2023

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Dept 262 - ELECTIONS					
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	24,194	26,000	26,000	50,000
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	44,187	43,000	44,200	45,000
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	4,519	4,000	4,550	5,000
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	1,200	1,200	1,200	800
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	8,118	7,500	7,950	7,950
101-262-791-000	ELECTION PUBLICATIONS	499	1,000	1,000	1,500
101-262-802-001	ELECTION MEETING FEES	1,200	1,500	1,500	1,500
101-262-802-002	BALLOT TESTING	6,712	10,000	10,000	10,000
101-262-802-003	LIVINGSTON COUNTY CLERK	8,539	9,600	9,600	9,000
101-262-802-004	CHURCH / SCHOOL CLEANUP/SETUP/ TAKE D	5,545	5,000	5,425	5,425
101-262-802-005	ELECTION BREAKFAST / DINNER	1,445	1,700	1,700	1,700
101-262-861-001	ELECTION MILEAGE & TRAVEL	552	450	575	575
101-262-901-001	POSTAGE FOR APPLICATIONS	3,190	4,850	4,850	4,650
101-262-901-002	POSTAGE FOR MAILING BALLOTS	1,868	3,000	3,000	4,650
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	4,311	4,500	4,500	200
101-262-955-000	ELECTION MISCELLANEOUS	657	1,000	1,000	1,500
Totals for dept 262 - ELECTIONS		116,736	124,300	127,050	149,450
Dept 265 - BUILDING & GROUNDS					
101-265-740-000	INSURANCE - PROP LIAB/VEHICLE	51,738	50,700	51,800	54,510
101-265-802-000	BUILDING & GROUNDS CONTRACTUAL SERVI	0	1,000	1,000	1,000
101-265-850-000	PHONE/INTERNT/CABLE/ALARM	23,688	29,000	29,000	30,000
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	16,937	20,000	20,000	25,000
101-265-934-060	REPAIRS & MAINTENANCE	41,745	150,000	75,000	150,000
101-265-955-000	BUILDING & GROUNDS MISCELLANEOUS	0	20,000	0	5,000
Totals for dept 265 - BUILDING & GROUNDS		134,108	270,700	176,800	265,510
Dept 266 - LEGAL SERVICES					
101-266-803-000	GENERAL TOWNSHIP LEGAL FEES	74,521	75,000	80,000	75,000
101-266-803-001	LITIGATION LEGAL FEES	24,416	100,000	100,000	100,000
Totals for dept 266 - LEGAL SERVICES		98,937	175,000	180,000	175,000
Dept 270 - HUMAN RESOURCES					
101-270-703-000	HR WAGES & SALARIES	16,989	17,500	17,500	19,286
101-270-802-000	HR CONTRACTUAL SERVICES	0	2,500	2,500	2,500
101-270-861-000	HR MILEAGE & TRAVEL EXPENSE	0	100	100	100
101-270-910-000	HR PRO DEV/CONFERENCE/DUES	0	500	500	500
101-270-955-000	HR MISCELLANEOUS	0	1,000	1,000	1,000
Totals for dept 270 - HUMAN RESOURCES		16,989	21,600	21,600	23,386
Dept 445 - DRAINS AT LARGE					
101-445-802-000	CONTRACTUAL SERVICES - LIVINGSTON COUI	0	50,000	27,856	30,000
Totals for dept 445 - DRAINS AT LARGE		0	50,000	27,856	30,000
Dept 521 - REFUSE COLLECTION					
101-521-802-000	REFUSE CONTRACTUAL SERVICES	1,162,182	1,422,000	1,400,000	1,422,000
Totals for dept 521 - REFUSE COLLECTION		1,162,182	1,422,000	1,400,000	1,422,000

03/01/2023

BUDGET REPORT FOR GENOA TOWNSHIP

Calculations as of 02/28/2023

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Dept 567 - CEMETERY					
101-567-703-001	CEMETERY PURCHASE	200	0	200	
101-567-703-002	CEMETERY MAINTENANCE	6,175	6,000	6,175	10,000
Totals for dept 567 - CEMETERY		6,375	6,000	6,375	10,000
Dept 701 - PLANNING & ZONING					
101-701-702-014	PLANNING COMMISSION SALARIES	21,492	25,000	25,000	26,250
101-701-702-015	ZONING BOARD WAGES	12,805	15,000	15,000	15,750
101-701-703-000	PLANNING & ZONING WAGES & SALARIES	168,586	176,889	176,889	242,000
101-701-791-000	PLANNING & ZONING PUBLICATIONS	555	5,000	5,000	3,000
101-701-802-000	PLANNING & ZONING CONTRACTUAL SERVIC	5,823	75,000	75,000	50,000
101-701-861-000	PLANNING & ZONING MILEAGE & TRAVEL EX	1,110	1,000	1,200	2,500
101-701-910-000	PLANNING & ZONING PRO DEV/CONFERENCI	5,202	8,000	8,000	10,000
101-701-946-001	REVIEW SERVICES - PLANNING	29,385	30,000	30,000	35,000
101-701-946-002	REVIEW SERVICES - ENGINEERING	23,936	28,000	28,000	40,000
101-701-946-003	REVIEW SERVICES - PUBLICATIONS/POSTAGE	2,550	5,000	5,000	3,000
101-701-946-004	REVIEW SERVICES - ROUTING	1,253	2,000	2,000	2,000
101-701-946-005	REVIEW SERVICES - LEGAL/RECORDING FEES	2,521	15,000	15,000	10,000
101-701-955-000	PLANNING & ZONING MISCELLANEOUS		2,000	2,000	1,000
Totals for dept 701 - PLANNING & ZONING		275,218	387,889	388,089	440,500
Dept 728 - ECONOMIC DEVELOPMENT					
101-728-880-000	COMMUNITY PROMOTION - CONTRIBUTION	23,283	27,000	27,000	26,960
Totals for dept 728 - ECONOMIC DEVELOPMENT		23,283	27,000	27,000	26,960
Dept 900 - CAPITAL OUTLAY FUNCTION					
101-900-970-000	CAPITAL OUTLAY > \$5,000	12,114	110,000	50,000	150,000
101-900-975-000	CAPITAL OUTLAY < \$5,000	689	7,000	7,000	15,000
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		12,803	117,000	57,000	165,000
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES					
101-965-995-208	TRANSFER OUT- FUND #208 - PARKS & REC	0	850,000	850,000	850,000
101-965-995-249	TRANSFER OUT- FUND #249 - BLDG RESERVE	150,000	150,000	150,000	300,000
101-965-995-401	TRANSFER OUT- FUND #401 - ROAD IMPROV	1,000,000	1,000,000	1,000,000	640,000
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		1,150,000	2,000,000	2,000,000	1,790,000
TOTAL APPROPRIATIONS		4,630,518	6,481,784	6,311,322	6,588,117
Difference			170,462		
NET OF REVENUES/APPROPRIATIONS - FUND 101		664,343	(761,692)	(171,155)	(575,403)
BEGINNING FUND BALANCE		3,474,244	3,474,244	3,474,244	3,303,089
ENDING FUND BALANCE		4,138,587	2,712,552	3,303,089	2,727,686
Difference			(590,537)		

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		INCREASE		DECREASE	
GL NUMBER	DESCRIPTION	2022-23 ACTIVITY HRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 202 - SAD ROADS AND LAKES					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
202-000-452-001	INTEREST	26,801	1,500	35,280	15,000
202-000-699-401	TRANSFER IN - FUND # 401		100,000	0	
Totals for dept 000 - REVENUE		26,801	101,500	35,280	15,000
Dept 448 - STREETLIGHTS					
202-448-628-005	WHITE PINES LIGHTING -SAD PRINCIPAL	71	800	800	735
Totals for dept 448 - STREETLIGHTS		71	800	800	735
Dept 470					
202-470-628-005	FENDT DR (W18-22) -SAD PRINCIPAL	8,072	87,485	87,485	87,485
Totals for dept 470 -		8,072	87,485	87,485	87,485
Dept 472					
202-472-628-005	RED OAKS (W13-22) -SAD PRINCIPAL	7,902	52,900	52,900	52,155
Totals for dept 472 -		7,902	52,900	52,900	52,155
Dept 476					
202-476-628-005	TIMBERVIEW (W18-22) -SAD PRINCIPAL	0	32,535	32,535	32,534
Totals for dept 476 -		0	32,535	32,535	32,534
Dept 477					
202-477-628-005	SUNDANCE TR (W-21) -SAD PRINCIPAL	804	0	804	0
Totals for dept 477 -		804	0	804	0
Dept 478					
202-478-628-005	HOMESTEAD (S22-31) -SAD PRINCIPAL	8,925	14,968	14,968	14,967
202-478-665-001	HOMESTEAD (S22-31) -INTEREST	0	2,993	2,993	2,993
Totals for dept 478 -		8,925	17,961	17,961	17,960
Dept 479					
202-479-628-005	E COON LAKE RD (S-21) -SAD PRINCIPAL	1,225	0	1,225	0
Totals for dept 479 -		1,225	0	1,225	0
Dept 484					
202-484-628-005	EARL LAKE (W18-25) -SAD PRINCIPAL	2,129	19,160	19,160	18,803
Totals for dept 484 -		2,129	19,160	19,160	18,803
Dept 485					
202-485-628-005	NOVEL ESTATES (W18-25) -SAD PRINCIPAL	1,880	11,275	11,275	10,964
Totals for dept 485 -		1,880	11,275	11,275	10,964
Dept 487					
202-487-628-005	EDWIN DR (S19-23) -SAD PRINCIPAL	253	3,550	3,550	3,554
Totals for dept 487 -		253	3,550	3,550	3,554

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INCREASE DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY HRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Dept 489					
202-489-628-005	BLACK OAKS (W21-30) -SAD PRINCIPAL	7,040	1,950	7,040	916
202-489-665-001	BLACK OAKS (W21-30) -INTEREST	66	0	66	165
Totals for dept 489 -		7,106	1,950	7,106	1,081
Dept 490					
202-490-628-005	DARLENE DR (W21-30) -SAD PRINCIPAL	0	3,385	3,385	2,867
202-490-665-001	DARLENE DR (W21-30) -INTEREST	0	0	0	516
Totals for dept 490 -		0	3,385	3,385	3,383
Dept 491					
202-491-628-005	ELMHURST (S20-26) -SAD PRINCIPAL	0	8,375	8,375	7,612
202-491-665-001	ELMHURST (S20-26) -INTEREST	0	0	0	761
Totals for dept 491 -		0	8,375	8,375	8,373
Dept 492					
202-492-628-005	MCNAMARA (S23-32) -SAD PRINCIPAL	0	0	0	14,139
202-492-665-001	MCNAMARA (S23-32) -INTEREST	0	0	0	2,828
Totals for dept 492 -		0	0	0	16,967
Dept 570 - LAKE IMPROVEMENTS					
202-570-628-005	LK CHEMUNG (W23-27) -SAD PRINCIPAL	3,178	0	3,178	46,300
Totals for dept 570 - LAKE IMPROVEMENTS		3,178	0	3,178	46,300
Dept 571					
202-571-628-005	PARDEE LK (W21-25) -SAD PRINCIPAL	2,083	22,400	22,400	22,396
Totals for dept 571 -		2,083	22,400	22,400	22,396
Dept 572					
202-572-628-005	GRAND BEACH (W21-25) -SAD PRINCIPAL	0	14,125	14,125	14,125
Totals for dept 572 -		0	14,125	14,125	14,125
Dept 573					
202-573-628-005	E/W CROOKED LK (S23-27) -SAD PRINCIPAL	446	18,820	18,820	18,050
Totals for dept 573 -		446	18,820	18,820	18,050
Dept 575					
202-575-628-005	BAETCKE LK (S23-27) -SAD PRINCIPAL	0	0	0	7,600
Totals for dept 575 -		0	0	0	7,600
TOTAL ESTIMATED REVENUES		70,875	396,221	340,364	377,465
		Difference	55,857		

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INCREASE DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY HRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
APPROPRIATIONS					
Dept 223 - AUDIT					
202-223-801-000	AUDIT	0	0	0	5,000
Totals for dept 223 - AUDIT		0	0	0	5,000
Dept 448 - STREETLIGHTS					
202-448-801-075	WHITE PINES LIGHTING -PROJECT EXPENSE	691	800	800	800
Totals for dept 448 - STREETLIGHTS		691	800	800	800
Dept 476					
202-476-801-075	TIMBERVIEW (W18-22) -PROJECT EXP	37,955	40,000	40,000	0
Totals for dept 476 -		37,955	40,000	40,000	0
Dept 478					
202-478-801-075	HOMESTEAD (S22-31) -PROJECT EXPENSE	88,593	90,000	90,000	0
202-478-802-000	HOMESTEAD (S22-31) -ANNUAL MAINT. EXP	5,400	6,100	6,100	6,100
Totals for dept 478 -		93,993	96,100	96,100	6,100
Dept 487					
202-487-801-075	EDWIN DR (S19-23) -PROJECT EXPENSE	1,551	2,700	2,700	1,500
Totals for dept 487 -		1,551	2,700	2,700	1,500
Dept 492					
202-492-801-075	MCNAMARA (S23-32) -PROJECT EXPENSE	0	0	2,000	185,850
Totals for dept 492 -		0	0	2,000	185,850
Dept 493					
202-493-801-075	PINE CREEK -ADMINISTRATIVE FEES	0	0	2,000	2,000
Totals for dept 493 -		0	0	2,000	2,000
Dept 570 - LAKE IMPROVEMENTS					
202-570-801-075	LK CHEMUNG (W23-27) -PROJECT EXPENSE	46,030	78,000	51,000	55,000
Totals for dept 570 - LAKE IMPROVEMENTS		46,030	78,000	51,000	55,000
Dept 571					
202-571-801-075	PARDEE LK (W21-25) -PROJECT EXPENSE	30,459	32,000	32,000	30,000
Totals for dept 571 -		30,459	32,000	32,000	30,000
Dept 572					
202-572-801-075	GRAND BEACH (W21-25) -PROJECT EXPENSE	11,418	10,000	11,418	11,000
Totals for dept 572 -		11,418	10,000	11,418	11,000
Dept 573					
202-573-801-075	E/W CROOKED LK (S23-27) -PROJECT EXPENSE	13,236	13,000	17,236	15,000
Totals for dept 573 -		13,236	13,000	17,236	15,000

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INCREASE DECREASE

GL NUMBER	DESCRIPTION	2022-23	2022-23	2022-23	2023-24
		ACTIVITY HRU 02/28/23	AMENDED BUDGET	PROPOSED AMENDMENTS	RECOMMENDED BUDGET
Dept 575					
202-575-801-075	BAETCKE LK (S23-27) -PROJECT EXPENSE	0	0	2,000	7,000
Totals for dept 575 -		0	0	2,000	7,000
Dept 852 - TRANSFER TO OTHER FUNDS					
202-852-995-101	SAD INTEREST TRANSFER OUT TO 101	0	0	4,436	7,263
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0	0	4,436	7,263
Dept 853 - CAPITAL OUTLAY					
202-853-995-101	SAD RESIDUAL BALANCE TRANS OUT TO 101	47,553	0	47,553	0
Totals for dept 853 - CAPITAL OUTLAY		47,553	0	47,553	0
Dept 906					
202-906-956-000	MISC EXPENSE	6,000	0	8,100	600
Totals for dept 906 -		6,000	0	8,100	600
TOTAL APPROPRIATIONS		288,886	272,600	317,343	327,113
		Difference	(44,743)		
NET OF REVENUES/APPROPRIATIONS - FUND 202		(218,011)	123,621	23,021	50,352
BEGINNING FUND BALANCE		2,750,198	2,750,198	2,750,198	2,773,219
ENDING FUND BALANCE		2,532,187	2,873,819	2,773,219	2,823,571
		Difference	100,600		

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BUDGET REPORT FOR GENOA TOWNSHIP

INCREASE

DECREASE

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GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 208 - PARK/RECREATION FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
208-000-665-001	INTEREST	15,208	600	18,000	6,000
208-000-668-001	SENIOR SURVIVOR PARK	462,920	462,920	462,920	-
208-000-699-101	TRANSFER IN FROM GF #101 OPERATING	-	850,000	850,000	850,000
208-000-699-249	DNR ACQUISITION /MATCH	-	300,000	-	300,000
Totals for dept 000 - REVENUE		478,128	1,613,520	1,330,920	1,156,000
TOTAL ESTIMATED REVENUES		478,128	1,613,520	1,330,920	1,156,000
		Difference	282,600		
APPROPRIATIONS					
Dept 223 - AUDIT					
208-223-801-000	AUDIT	500	500	500	500
Totals for dept 223 - AUDIT		500	500	500	500
Dept 536					
208-536-972-100	LAND FOR RECREATION	-	600,000	-	600,000
Totals for dept 536 -		-	600,000	-	600,000
Dept 751 - PARKS & RECREATION					
208-751-934-001	SENIOR SURVIVOR PARK PROJECT	-	601,369	-	814,000
208-751-934-006	PARK MASTER PLAN	7,865	20,850	10,000	30,000
208-751-934-007	HAPRA	115,125	120,000	120,000	120,000
208-751-934-010	B-BALL BENCHES PICNIC TABLE CHARGERS	24,963	44,200	25,000	19,200
208-751-934-011	BOARDWALK IMPROVEMENTS	116,148	101,170	116,148	15,000
208-751-934-012	GRAND RIVER SIDEWALK INFILL	23,654	55,000	22,000	31,000
208-751-934-013	SECURITY UPGRADES	-	-	-	50,000
208-751-934-015	REPAIR/REPLACE RUBBER- POUR IN PLACE	-	-	-	100,000
208-751-934-060	PATH / PARK MAINTENANCE	115,200	100,000	130,000	130,000
Totals for dept 751 - PARKS & RECREATION		402,955	1,042,589	423,148	1,309,200
Dept 906					
208-906-956-000	MISC EXPENSE	879	-	1,000	600
Totals for dept 906 -		879	-	1,000	600
TOTAL APPROPRIATIONS		404,334	1,643,089	424,648	1,910,300
		Difference	1,218,441		
NET OF REVENUES/APPROPRIATIONS - FUND 208		73,794	(29,569)	906,272	(754,300)
BEGINNING FUND BALANCE		1,153,329	1,153,329	1,153,329	2,059,601
ENDING FUND BALANCE		1,227,123	1,123,760	2,059,601	1,305,301
		Difference	(935,841)		

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INCREASE **DECREASE**

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GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 212 - LIQUOR LAW ENFORCEMENT					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
212-000-574-001	STATE SHARED REV LIQUOR LAW	16,688	16,500	16,500	16,700
212-000-665-001	INTEREST	18	0	25	10
Totals for dept 000 - REVENUE		16,706	16,500	16,525	16,710
TOTAL ESTIMATED REVENUES		16,706	16,500	16,525	16,710
		Difference	(25)		
APPROPRIATIONS					
Dept 330 - LIQUOR LAW ENFORCEMENT					
212-330-702-013	LIQUOR LAW ENF WAGES	7,002	9,336	9,336	9,336
212-330-709-009	EMPLOYER'S SHARE FICA	541	724	724	724
212-330-715-002	RETIREMENT	701	933	933	933
212-330-801-070	AUDITING EXPENSE	500	206	206	500
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	2,705	3,605	3,605	3,605
212-330-860-070	VEHICLE EXPENSE	1,160	1,545	1,545	1,545
Totals for dept 330 - LIQUOR LAW ENFORCEMENT		12,609	16,349	16,349	16,643
TOTAL APPROPRIATIONS		12,609	16,349	16,349	16,643
		Difference	0		
NET OF REVENUES/APPROPRIATIONS - FUND 212					
BEGINNING FUND BALANCE		4,097	151	176	67
ENDING FUND BALANCE		3,894	3,894	3,894	4,070
		7,991	4,045	4,070	4,137
		Difference	(25)		

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INCREASE DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 249 - BUILDING AND GROUNDS FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
249-000-665-001	INTEREST	80	300	300	90
249-000-699-000	OPERATING TRANSFER IN #101	150,000	150,000	150,000	300,000
Totals for dept 000 - REVENUE		150,080	150,300	150,300	300,090
TOTAL ESTIMATED REVENUES		150,080	150,300	150,300	300,090
		Difference	0		
APPROPRIATIONS					
Dept 265 - BUILDING & GROUNDS					
249-265-801-000	AUDIT	0	0	0	250
249-265-955-000	MISCELLANEOUS EXP	244	0	244	0
249-265-981-001	TWP HALL CONCRETE REPLACEMENT	45,986	45,487	45,487	
249-265-981-002	TWP HALL DR/PARKING LIGHT REPLACEMENT	62,916	155,000	145,000	10,000
249-265-981-003	DORR ROAD LED SIGN	2,695	0	2,695	0
249-265-981-006	TOWNSHIP INTERIOR LIGHTING	14,671	14,588	14,671	
249-265-981-007	ASPHALT REPLACE, REPAIRS & RESEALING	21,290	21,290	21,290	10,000
249-265-981-008	SECURITY UPGRADES	0	0	0	100,000
249-265-981-009	MISTER REPLACEMENT	0	0	0	15,000
Totals for dept 265 - BUILDING & GROUNDS		147,802	236,365	229,387	135,250
TOTAL APPROPRIATIONS		147,802	236,365	229,387	135,250
		Difference	6,978		
NET OF REVENUES/APPROPRIATIONS - FUND 249					
		2,278	(86,065)	(79,087)	164,840
BEGINNING FUND BALANCE		246,027	246,027	246,027	166,940
ENDING FUND BALANCE		248,305	159,962	166,940	331,780
		Difference	(6,978)		

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INCREASE

DECREASE

SAME AS PRIOR

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 401 - ROAD IMPROVEMENT FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
401-000-665-001	INTEREST	6,965	1,300	7,840	6,000
401-000-699-000	OPERATING TRANSFER IN	1,000,000	1,000,000	1,000,000	640,000
Totals for dept 000 - REVENUE		1,006,965	1,001,300	1,007,840	646,000
TOTAL ESTIMATED REVENUES		1,006,965	1,001,300	1,007,840	646,000
		Difference	(6,540)		
APPROPRIATIONS					
Dept 223 - AUDIT					
401-223-801-000	AUDIT	0	0	0	500
Totals for dept 223 - AUDIT		0	0	0	500
Dept 446 - ROAD PROJECTS					
401-446-804-000	DUST CONTROL/CHLORIDE	83,803	75,000	83,803	90,000
401-446-812-000	HACKER REPACE CLARK LK TO GC	309,085	410,000	309,085	
401-446-812-001	CHILSON RD - HAMBURG TO BRIGHTON	0	0	0	320,000
401-446-812-002	KELLOGG - LIMESTONE G.C. TO MCCLEMENS	0	0	0	125,000
401-446-812-003	KELLOGG - GRAVEL G.R. TO MCCLEMENS	0	0	0	105,000
401-446-812-004	EULER GRAVEL	0	0	0	90,000
401-446-812-005	MCCLEMENS GRAVEL	0	0	0	127,000
401-446-814-000	KING LIMESTONE SCHAFFER TO BRIGHTON	140,000	140,000	140,000	0
401-446-826-000	CROOKED LAKE ROAD PAVING	1,500,000	1,500,000	1,500,000	0
401-446-832-000	CROOKED LAKE	218,273	250,000	218,273	0
Totals for dept 446 - ROAD PROJECTS		2,251,161	2,375,000	2,251,161	857,000
Dept 906					
401-906-956-000	MISC EXPENSE	1,000	0	1,300	600
Totals for dept 906 -		1,000	0	1,300	600
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES					
401-965-995-202	SAD MATCHES	0	100,000	-	0
401-965-995-870	TRANS OUT GR RIVER DS#870	0	20,000	20,000	0
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		0	120,000	20,000	0
TOTAL APPROPRIATIONS		2,252,161	2,495,000	2,272,461	858,100
		Difference	222,539		
NET OF REVENUES/APPROPRIATIONS - FUND 401		(1,245,196)	(1,493,700)	(1,264,621)	(212,100)
BEGINNING FUND BALANCE		1,964,760	1,964,760	1,964,760	700,139
ENDING FUND BALANCE		719,564	471,060	700,139	488,039
		Difference	(229,079)		

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INCREASE DECREASE

GL NUMBER	DESCRIPTION	2022-23 ACTIVITY THRU 02/28/23	2022-23 AMENDED BUDGET	2022-23 PROPOSED AMENDMENTS	2023-24 RECOMMENDED BUDGET
Fund 464 - GENOA TOWNSHIP ARPA					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
464-000-501-001	MI DEPT OF TREASURY	1,087,130	1,082,796	1,087,130	0
464-000-665-001	INTEREST	13,354	700	18,200	8,250
Totals for dept 000 - REVENUE		1,100,484	1,083,496	1,105,330	8,250
TOTAL ESTIMATED REVENUES		1,100,484	1,083,496	1,105,330	8,250
		Difference	(21,834)		
APPROPRIATIONS					
Dept 261 - UNALLOCATED					
464-261-803-002	COVID SUPPLIES	0	1,000	1,000	0
Totals for dept 261 - UNALLOCATED		0	1,000	1,000	0
Dept 262 - ELECTIONS					
464-262-803-000	ELECTION MACHINE	97,020	163,000	97,020	36,495
Totals for dept 262 - ELECTIONS		97,020	163,000	97,020	36,495
Dept 521 - REFUSE COLLECTION					
464-521-802-000	ADDITIONAL RECYCLING EXPENSES	223,436	220,000	223,436	224,000
Totals for dept 521 - REFUSE COLLECTION		223,436	220,000	223,436	224,000
Dept 900 - CAPITAL OUTLAY FUNCTION					
464-900-977-001	BROADBAND	112,500	225,000	112,500	112,500
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		112,500	225,000	112,500	112,500
Dept 906					
464-906-956-000	MISC EXPENSE	387	1,000	1,000	300
Totals for dept 906 -		387	1,000	1,000	300
TOTAL APPROPRIATIONS		433,343	610,000	434,956	373,295
		Difference	175,044		
NET OF REVENUES/APPROPRIATIONS - FUND 464					
		667,141	473,496	670,374	(365,045)
BEGINNING FUND BALANCE		247	247	247	670,621
ENDING FUND BALANCE		667,388	473,743	670,621	305,576
		Difference	(196,878)		

Oak Pointe Sewer Bond Payment Fund #532

DESCRIPTION	APPROVED BUDGET FISCAL YEAR END 3/31/2023	YTD ACTUAL 3/2/2023	PROPOSED BUDGET FISCAL YEAR END 3/31/2024
BEGINNING FUND BALANCE	\$ 553,683	\$ 553,646	\$ 517,309
REVENUES			
Quarterly Utility Billing from O.P. Operating	\$ 356,000	\$ 358,352	\$ 358,000
INCOME - OTHER	\$ -	\$ -	\$ -
INTEREST INCOME	\$ 600	\$ 6,700	\$ 6,000
TOTAL REVENUE	\$ 356,600	\$ 365,052	\$ 364,000
EXPENSES			
BOND PAYMENTS	\$ 145,688	\$ 145,688	\$ 149,388
ADDITIONAL BOND PYMT - REFUNDING	\$ -	\$ 254,700	\$ 257,500
AUDITING/MISC.	\$ 1,100	\$ 1,001	\$ 1,000
TOTAL EXPENSES	\$ 146,788	\$ 401,389	\$ 407,888
ENDING FUND BALANCE	\$ 763,495	\$ 517,309	\$ 473,421

Board Correspondence



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: March 1, 2023
RE: Liquor License – Ownership Transfer

The attached document references an ownership transfer of an existing liquor license for Middletown Market in the Township. The license is not moving, only the owner of the license is changing. Staff has no concerns with the ownership transfer and are providing this for your information only.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter



STATE OF MICHIGAN
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
LANSING

GRETCHEN WHITMER
GOVERNOR

ORLENE HAWKS
DIRECTOR

Wednesday, February 22, 2023

Scott Yono, attorney
c/o MKJ Food Mart, LLC
syono@k2lawyers.com

RID # RQ-2301-00594 **Reference/Transaction:** Conditional License; Transfer Ownership 2022 SDD & SDM License With Sunday Sales Permit (AM), Sunday Sales Permit (PM) For SDD License - Spirits, Sunday Sales Permit (PM) For SDM License - Mixed Spirit Drink, Direct Connections (4) And Permission For Off-Premises Storage From Checker Management, Inc. Located At 5580-5582 E Grand River Ave, Howell, MI 48843.

Please let this letter serve as notice the Michigan Liquor Control Commission has referred your application to our Enforcement Division for investigation of your request.

Applicant/Licensee: MKJ food Mart, LLC

Business address and phone number: 5580-5582 E Grand River Ave, Howell, MI 48843

Home address and phone number of partner(s)/subordinates:

Majid Koza; 6250 Walnut Lake Rd., West Bloomfield, MI 48323
Karam Bahnam; 6280 Rue Du Lac, West Bloomfield, MI 48323; B: 248-773-7992, C: 248-767-5337
Jeffrey Kassab; 616 Manchester St., Madison Heights, MI 48071; C: 248-217-1511

As part of the licensing process, an investigation is required by the Michigan Liquor Control Commission Enforcement Division. The Enforcement investigation will be conducted from the following designated District Office:

Southfield District Office (313) 456-1170

You may contact your designated District Office regarding any appointments or questions on documentation requested by the Investigator. **Failure to provide requested information or to keep scheduled appointments will cause the application to be returned to the Lansing office for cancellation.**

A copy of this notice is also being provided to **Local Governmental Unit** should they wish to submit an opinion on the application or advise of any local non-compliance issues.

Under administrative rule R 436.1105, the Commission shall consider the opinions of the local residents, local legislative body, or local law enforcement agency with regard to the proposed business when determining whether an applicant may be issued a license or permit.

Under administrative rule R 436.1003, the licensee shall comply with all state and local building, plumbing, zoning, sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcements officials who have jurisdiction over the licensee. The licensee must obtain all other required state and local licenses, permits, and approvals before using this license for the sale of alcoholic liquor. Approval of this license by the Michigan Liquor Control Commission does not waive any of these requirements.

MICHIGAN LIQUOR CONTROL COMMISSION
Retail Licensing Division
(866) 813-0011

ZS

cc: MKJ Food Mart, LLC – kbahnam@usa2goquickstore.com
Checker Management, Inc. - amirkhemmero@aol.com
Genoa Twp. - mary@genoa.org

MICHIGAN LIQUOR CONTROL COMMISSION
PAT GAGLIARDI, CHAIR
525 W. Allegan St. • P.O. BOX 30005 • LANSING, MICHIGAN 48909
www.michigan.gov/lcc • 866-813-0011