

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
November 21, 2022
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person) *:

Approval of Consent Agenda:

1. Payment of Bills: November 21, 2022
2. Request to approve November 7, 2022 regular meeting minutes
3. Request Board approval to adjust the Refuse Special Assessment Roll, #X0012, and to adjust the 2022 Winter tax roll accordingly for parcel numbers 4711-09-201-243, 4711-19-300-008, 4711-26-300-044, 4711-33-401-016, 4711-34-403-006, and 4711-34-403-007.

Approval of Regular Agenda:

4. Consideration of a recommendation for approval and adoption of rezoning ordinance number Z-22-03 and associated Planned Unit Development (PUD) agreement, impact assessment and conceptual PUD site plan. The request is to rezone approximately 52 acres from the Neighborhood Service District, Medium Density Residential district and the Town Center Overlay district to a Residential Planned Unit Development overlay of the High Density Residential District (HDR) to allow for 204 apartments units with a net density of 6.23 units per acre. The property consists of two vacant parcels with parcel ID numbers 4711-11-300-014 and 4711-14-100-002 located at the southeast corner of Grand River and Dorr Road. The request is petitioned by Grand River Dorr, LLC.
 - a. Disposition of Rezoning Ordinance Z-22-03 (requires roll call vote)
 - b. Disposition of PUD Agreement
 - c. Disposition of Impact Assessment
 - d. Disposition of Conceptual PUD Site Plan
5. Request to approve the proposal from Douglas Electric dated November 4, 2022 for the Township Hall parking lot and driveway lighting improvements excluding and deducting both alternates for a total construction project cost not to exceed \$145,325.50 (\$126,370 + 15% contingency).

6. Consideration of Resolution 221121 for Censure and Reprimand of the Township Clerk, Paulette Skolarus. (requires roll call vote)
 - a. If necessary, consider motion to enter into closed session under the Open Meetings Act, MCL 15.268(h) to consider material exempt from discussion or disclosure by state or federal statute (attorney-client communications). (requires roll call vote and 2/3 majority)
 - b. Consider motion to adjourn the closed session and reconvene in open session. (roll call)

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

BOARD PACKET

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

MEETING DATE: November 21, 2022

All information below through November 16, 2022

TOWNSHIP GENERAL EXPENSES	\$	18,321.23
November 11, 2022 Bi Weekly Payroll	\$	114,173.22
November 8, 2022 Election Payroll	\$	44,731.80
OPERATING EXPENSES DPW	\$	19,327.35
OPERATING EXPENSES Oak Pointe	\$	116,272.09
OPERATING EXPENSES Lake Edgewood	\$	21,988.13
TOTAL	\$	<u>334,813.82</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
11/03/2022	37831	BUSINESS IMAGING GROUP	129.15
11/03/2022	37832	COOPER'S TURF MANAGEMENT LLC	1,562.24
11/03/2022	37833	DTE ENERGY	699.04
11/03/2022	37834	FEDERAL EXPRESS CORP	51.55
11/03/2022	37835	LAURA GAMBINO	525.00
11/03/2022	37836	GORDON FOOD SERVICE	56.95
11/03/2022	37837	LIVINGSTON COUNTY TREASURER ASSOC	81.00
11/03/2022	37838	DIANA LOWE	65.00
11/03/2022	37839	NETWORK SERVICES GROUP, L.L.C.	275.00
11/03/2022	37840	PERFECT MAINTENANCE CLEANING	565.00
11/03/2022	37841	PRINTING SYSTEMS	301.17
11/03/2022	37842	SAFEBUILT STUDIO	914.31
11/03/2022	37843	SMART BUSINESS SOURCE	163.79
11/03/2022	37844	KELLY VANMARTER	16.91
11/10/2022	37845	CONTINENTAL LINEN SERVICE	132.33
11/10/2022	37846	DTE ENERGY	416.80 V
		Void Reason: VENDOR WRONG	
11/10/2022	37847	EHIM, INC	8,237.96
11/10/2022	37848	FEDERAL EXPRESS CORP	59.45
11/10/2022	37849	MARK GNASTER	6.59
11/10/2022	37850	LIVINGSTON CO. ASSOC. OF REALTORS	573.00
11/10/2022	37851	DENISE SCHNIERS	30.25
11/10/2022	37852	PAULETTE SKOLARUS	252.26
11/10/2022	37853	SMART BUSINESS SOURCE	2,714.38
11/10/2022	37854	ANGELA WILLIAMS	492.10
11/14/2022	37855	DTE ENERGY	196.70
11/14/2022	37856	DTE ENERGY	220.10
FNBCK TOTALS:			
Total of 26 Checks:			18,738.03
Less 1 Void Checks:			416.80
Total of 25 Disbursements:			18,321.23

11/14/2022 03:20 PM		PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP				Page 35 of 35
		Payroll ID: 227				
		Pay Period End Date: 11/04/2022				
		Check Post Date: 11/11/2022				
		Bank ID: FNCK				
* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks						
WELL IQ	0.00	0.00	135.35	3,548.89		
ZBA MINUTES	0.00	0.00	0.00	0.00		
ZBA PER DIEM	0.00	0.00	0.00	2,780.14		
Gross Pay This Period		Deduction Refund	Ded. This Period	Net Pay This Period	Gross Pay YTD	Dir. Dep.
112,891.75		0.00	34,384.14	78,507.61	2,439,816.30	78,239.52

11/14/2022 03:21 PM		Check Register Report For Genoa Charter Township				Page 1 of 1
		For Check Dates 11/11/2022 to 11/11/2022				
Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit Status
11/11/2022	FNCK	13705	CHAVANNES, DEBORAH L	45.00	45.00	0.00 Open
11/11/2022	FNCK	13706	ELLIS, JANET L	45.00	45.00	0.00 Open
11/11/2022	FNCK	13707	GARLICK, RICHARD M	45.00	43.09	0.00 Open
11/11/2022	FNCK	13708	MITCHELL, MELISSA A	45.00	45.00	0.00 Open
11/11/2022	FNCK	13709	REIBER IV, CLARENCE W	45.00	45.00	0.00 Open
11/11/2022	FNCK	13710	ROSSI, CAROL A	45.00	45.00	0.00 Open
11/11/2022	FNCK	EFT738	FLEX SPENDING (TASC)	807.30	807.30	0.00 Open
11/11/2022	FNCK	EFT739	INTERNAL REVENUE SERVICE	27,758.58	27,758.58	0.00 Open
11/11/2022	FNCK	EFT740	PRINCIPAL FINANCIAL	4,476.00	4,476.00	0.00 Open
11/11/2022	FNCK	EFT741	PRINCIPAL FINANCIAL	2,355.64	2,355.64	0.00 Open
Totals:		Number of Checks: 010		35,667.52	35,665.61	0.00
Total Physical Checks:		6				
Total Check Stubs:		4				

Payroll ID: 228

Pay Period End Date: 11/08/2022 Check Post Date: 11/08/2022 Bank ID: FNBCK

* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks

Grand Totals for Payroll:

Pay Code Id	Hours	OT Hours	Cur. Amnt.	YTD Amnt.*	Ded/Exp Id	Cur. Amnt.	YTD Amnt.*
BONUS	0.00	0.00	0.00	0.00	FITW	342.40	9,586.43
CELL PHONE REIM	0.00	0.00	0.00	863.06	MEDICARE_EE	38.42	3,358.92
COVID-19	0.00	0.00	0.00	0.00	SITW	732.90	11,351.14
EL_TAXED	10.00	0.00	2,920.00	5,773.13	SOCSEC_EE	164.30	14,362.32
ELEC RECV BOARD	0.00	0.00	0.00	400.00			
ELEC TAX OT	0.00	0.00	0.00	88.43			
ELECT SET-CLEAN	0.00	0.00	0.00	575.00			
ELECTION COMMIS	0.00	0.00	0.00	450.00			
ELECTION MEETIN	0.00	0.00	0.00	2,476.26			
ELECTION NO TAX	71.00	0.00	20,350.00	34,906.59			
FLOATER 2-2018	0.00	0.00	0.00	0.00			
FLOATER HOLIDAY	0.00	0.00	0.00	466.72			
FUNERAL LEAVE	0.00	0.00	0.00	1,462.00			
G1	0.00	0.00	0.00	34,044.50			
HOLIDAY PAY	0.00	0.00	0.00	9,884.80			
LONGEVITY	0.00	0.00	0.00	0.00			
OVERTIME	0.00	0.00	0.00	1,065.72			
PERSONAL PAYOUT	0.00	0.00	0.00	302.50			
PERSONAL TIME	0.00	0.00	0.00	13,689.18			
PP PER DIEM	0.00	0.00	0.00	775.04			
REGULAR PAY	0.00	0.00	0.00	152,799.94			
TRAIN- PER DIEM	0.00	0.00	0.00	1,147.50			
TRUSTEE - DIEM	0.00	0.00	0.00	10,588.96			
VACATION MONTAX	0.00	0.00	0.00	0.00			
VACATION PAY	0.00	0.00	0.00	13,305.16			
WELL IQ	0.00	0.00	0.00	1,811.26			
ZBA MINUTES	0.00	0.00	0.00	0.00			
ZBA PER DIEM	0.00	0.00	0.00	1,522.39			
Gross Pay This Period					Gross Pay YTD		
23,270.00					288,398.14		
Deduction Refund					Dir. Dep.		
0.00					0.00		
		Ded. This Period		Net Pay This Period			
		1,278.02		21,991.98			

Check Register Report For Genoa Charter Township
For Check Dates 11/08/2022 to 11/08/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/08/2022	FNBCK	13771	SAPIENZA, KRISTEN R	320.00	281.92	0.00	Open
11/08/2022	FNBCK	13772	SCHNIERS, FAITH E	350.00	325.02	0.00	Open
11/08/2022	FNBCK	13773	SCHRAM, KATHLEEN S	270.00	262.61	0.00	Open
11/08/2022	FNBCK	13774	SCHRAM, ROBERT G	270.00	262.61	0.00	Open
11/08/2022	FNBCK	13775	SEBASTIAN, PAUL J	270.00	237.87	0.00	Open
11/08/2022	FNBCK	13776	SEONER, JESSICA	320.00	306.40	0.00	Open
11/08/2022	FNBCK	13777	SMYTH, MARILYNN M	320.00	320.00	0.00	Open
11/08/2022	FNBCK	13778	SROKOWSKI, EDITH A	270.00	266.70	0.00	Open
11/08/2022	FNBCK	13779	STANCOMBE, KAREN L	270.00	258.52	0.00	Open
11/08/2022	FNBCK	13780	STRZALKOWSKI, VICTORIA R	270.00	270.00	0.00	Open
11/08/2022	FNBCK	13781	STUBER, ROBERT G	270.00	258.52	0.00	Open
11/08/2022	FNBCK	13782	THARP, DAVID D	320.00	320.00	0.00	Open
11/08/2022	FNBCK	13783	THORNTON, DENISE D	270.00	262.61	0.00	Open
11/08/2022	FNBCK	13784	VANDERHOVEL, COLLEEN K	270.00	270.00	0.00	Open
11/08/2022	FNBCK	13785	VETTRAINO, JOHN T	320.00	320.00	0.00	Open
11/08/2022	FNBCK	13786	WALLBANK, JOHN W	320.00	295.12	0.00	Open
11/08/2022	FNBCK	13787	WATSON, VICTOR L	270.00	270.00	0.00	Open
11/08/2022	FNBCK	13788	WITHORN, MARGARET M	270.00	270.00	0.00	Open
11/08/2022	FNBCK	13789	WRIGHT, KAREN K	270.00	258.52	0.00	Open
11/08/2022	FNBCK	13790	WYLIE, ANGELA	320.00	306.40	0.00	Open
11/08/2022	FNBCK	13791	ZACHMANN, SARAH	320.00	299.40	0.00	Open
11/08/2022	FNBCK	EFT742	INTERNAL REVENUE SERVICE	747.84	747.84	0.00	Open

Totals:		Number of Checks:	082	24,017.84	22,739.82	0.00	
	Total Physical Checks:		81				
	Total Check Stubs:		1				

11/16/2022 11:57 AM
User: denise
DB: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP
CHECK NUMBERS 5673 - 6500

Page: 1/1

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #233			
11/09/2022	5673	WEX BANK	6,827.04
11/09/2022	5674	TRACTOR SUPPLY CO.	59.99
11/14/2022	5675	ADVANCE AUTO PARTS	36.99
11/14/2022	5676	AUTO-LAB OF LIVINGSTON	5,067.36
11/14/2022	5677	GIFFELS WEBSTER	1,440.00
11/14/2022	5678	PORT CITY COMMUNICATIONS, INC.	208.60
11/14/2022	5679	RANDY'S SERVICE STATION	1,199.28
11/14/2022	5680	RED WING BUSINESS ADVANTAGE ACCOUNT	203.99
11/14/2022	5681	TETRA TECH INC	2,150.00
11/14/2022	5682	ULINE	768.89
11/14/2022	5683	WINDSTREAM	47.46
11/14/2022	5684	UNITED STATES POSTAL SERVICE	275.00
11/14/2022	5685	UNITED STATES POSTAL SERVICE	340.38
11/16/2022	5686	VERIZON WIRELESS	702.37

503FN TOTALS:

Total of 14 Checks:	19,327.35
Less 0 Void Checks:	0.00
Total of 14 Disbursements:	19,327.35

11/16/2022 11:58 AM
User: denise
DB: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP
CHECK NUMBERS 5666 - 6500

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Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
11/10/2022	5666	AT&T LONG DISTANCE	66.79
11/10/2022	5667	DTE ENERGY	1,165.48
11/10/2022	5668	DTE ENERGY	2,183.36
11/10/2022	5669	MHOG UTILITIES	43,026.72
11/14/2022	5670	AMERICAN AQUA	1,150.72
11/14/2022	5671	BRIGHTON ANALYTICAL LLC	935.00
11/14/2022	5672	COMPLETE BATTERY SOURCE	377.92
11/14/2022	5673	COOPER'S TURF MANAGEMENT LLC	1,267.00
11/14/2022	5674	DEBOTTIS DEVELOP&ASPHALT SEAL COATI	575.00
11/14/2022	5675	DUBOIS-COOPER	8,909.00
11/14/2022	5676	FERGUSON WATERWORKS #3386	955.64
11/14/2022	5677	GENOA TOWNSHIP D.P.W. FUND	379.06
11/14/2022	5678	GENOA TOWNSHIP DPW FUND	21,107.83
11/14/2022	5679	GENOA TOWNSHIP DPW FUND	24,772.12
11/14/2022	5680	GENOA TOWNSHIP DPW FUND	157.77
11/14/2022	5681	HACH COMPANY	374.04
11/14/2022	5682	HAVILAND PRODUCTS COMPANY	3,740.00
11/14/2022	5683	HYDROCORP	226.87
11/14/2022	5684	PARAGON LABORATORIES	655.00
11/14/2022	5685	STATE OF MICHIGAN	1,521.96
11/14/2022	5686	THE UPS STORE # 3239	293.25
11/14/2022	5687	WATER SOLUTIONS UNLIMITED, INC	2,259.85
11/16/2022	5688	AT&T	171.71

592FN TOTALS:

Total of 23 Checks:	116,272.09
Less 0 Void Checks:	0.00
Total of 23 Disbursements:	116,272.09

11/16/2022 12:00 PM
User: denise
DB: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP
CHECK NUMBERS 4204 - 5000

Page: 1/1

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
11/09/2022	4204	CONSUMERS ENERGY	629.35
11/09/2022	4205	DTE ENERGY	3,700.05
11/09/2022	4206	MBOG UTILITIES	24.75
11/14/2022	4207	BRIGHTON ANALYTICAL LLC	335.00
11/14/2022	4208	COMPLETE BATTERY SOURCE	108.21
11/14/2022	4209	COOPER'S TURF MANAGEMENT LLC	711.72
11/14/2022	4210	GENOA TOWNSHIP D.P.W. FUND	12,861.55
11/14/2022	4211	GENOA OCEOLA SWR & WTR AUTHORI	1,954.28
11/14/2022	4212	GENOA TOWNSHIP DPW FUND	52.71
11/14/2022	4213	GENOA TOWNSHIP DPW FUND	276.25
11/14/2022	4214	MICHIGAN CAT	1,334.26

593FN TOTALS:

Total of 11 Checks:	21,988.13
Less 0 Void Checks:	0.00
Total of 11 Disbursements:	<u>21,988.13</u>

503FN \$19,327.35
592FN \$116,272.09
593FN \$21,988.13
TOTAL \$157,587.57

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting & Public Hearing
November 7, 2022

MINUTES

Supervisor Rogers called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Jean Ledford, Terry Croft, Jim Mortensen, Diana Lowe and Robin Hunt. Also present were Township Manager Kelly VanMarter, Township Attorney Joe Seward, Human Resources Director Kim Lane and William Tucker of Maner Costerisan and five persons in the audience.

The Pledge of Allegiance was recited.

The call to the public was opened at 6:31 pm

Ms. Eda Biegas of 1950 Genoa Circle questioned the traffic study that was submitted for the apartments on the corner of Dorr and Grand River only included the traffic from the new hospital or included the summer lake traffic also. If not, she would like it to include it. Ms. VanMarter advised she can review the study and provide that information to Ms. Biegas.

Ms. Biegas wants to ensure that the setbacks are far enough that if Grand River needs to be expanded, it won't be the homes on the other side of the road that will be affected. She feels the proposal is too dense.

Mr. Wayne Brewer who lives in Sunrise Park has concerns about the Dorr Road development. He is against it. It is not needed. There is already a lot of congestion in that area. The farmland should remain farmland.

Mr. Andy Beaudry of 3631 Woodridge is opposed to the rezoning for the apartments. It is not a good fit for the Township, it will increase traffic, and the property is very close to one of the largest egret populations in the County.

The call to the public was closed at 6:37 pm.

Consent Agenda

Moved by Ledford, supported by Mortensen, to approve the Consent Agenda as presented.
The motion carried unanimously.

1. Payment of Bills: November 7, 2022
2. Request to approve October 17, 2022 regular meeting and October 26, 2022 special meeting minutes

3. Request to amend the Board of Review, Refunds and Chargebacks Budget (101-247-964-000) from \$2000.00 to \$5000.00.

Regular Agenda

Moved by Mortensen, supported by Lowe, to approve the Regular Agenda as presented. **The motion carried unanimously.**

4. Request for approval of the proposed 2023 employee benefits as presented by Human Resources Manager, Kim Lane.

Ms. Lane provided a review of the 2023 benefit plan. The increase is 10.9 percent, due to Blue Cross doing an actuary study Statewide, instead of just Livingston County. The dental coverage increased by 1.5 percent. She is recommending lowering the EHIM budget. The net increase is approximately 5 percent.

Mr. Mortensen noted that the employee contribution will increase approximately six percent.

Ms. Skolarus requested reviewing the employee contribution amount, and possibly increasing it to 12 percent. Supervisor Rogers stated this can be reviewed during the next budget discussion.

Moved by Hunt, seconded by Ledford, to approve the 2023 employee benefits. **The motion carried unanimously.**

5. Presentation and request to receive the Fiscal Year 2021-2022 Township Audit as presented by Maner Costerisan.

Mr. William Tucker of Maner Costerisan reviewed the Township's Fiscal Year 2021-2022 Audit. He provided details of the financial statements contained in the report. He noted some items; specifically, the Pension Fund is funded at 88 percent, the General Fund Fund Balance is approximately 68 percent of the Township's annual operating expenses, State Revenue Sharing has increased due to census adjustments, and annual expenditures increased approximately 3 percent. He then reviewed his suggestions for improvements.

Ms. Hunt stated Staff reviewed the suggestions and have begun to implement changes to address them.

Moved by Mortensen, seconded by Lowe, to receive and place on file the Fiscal Year 2021-2022 Township Audit. **The motion carried unanimously.**

6. Request for approval of the proposed 2023 Howell Area Parks and Recreation Authority budget presented by Tim Church, HAPRA Director.

Mr. Church thanked the Township for always supporting recreational growth. He noted that they are required to increase their budget based on the Consumer Price Index, which would be an 8.2 percent increase. They understand this would be a large increase over one year, so they are requesting a 5.8 percent increase, which is an additional \$6,500 per year. They will be increasing their participation fees and membership rates.

Moved by Mortensen, seconded by Croft, to approve the proposed 2023 Howell Area Parks and Recreation Authority budget, including a \$120,000 contribution by Genoa Charter Township effective January 1, 2023. **The motion carried unanimously.**

Ms. Skolarus noted this will require an amendment to the Township's budget.

7. Consideration of a recommendation for approval of a special use application, environmental impact assessment and site plan for a proposed 3,750 sq. ft. office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive. The request is petitioned by Al Halliday, A & J Cartage.

Ms. VanMarter provided a review of the proposed project.

Mr. Croft stated the report says 4 to 6 trailers. He went by there yesterday and there were 11 trailers. He asked if this can be limited. Ms. VanMarter stated if this is approved, the applicant would have to comply with the number that is stated in their Environmental Impact Assessment and if they have more, then they will be in violation.

Ms. Skolarus asked to have this tabled until the next meeting since the petitioner is not present.

Ms. VanMarter stated she notifies the petitioners that they are expected to attend the Board Meetings to answer any questions that may be asked. Mr. Mortensen suggested that it be added to the application that if the petitioner is not present at the Board meeting, their item will be tabled. Ms. VanMarter will make that addition.

Moved by Lowe, supported by Hunt, to approve the Special Land Use permit for a proposed 3,750 sq. ft. office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive. The use is found to convey a high-quality image and is compatible with the Research and Development category of the Master Plan and is also found to comply with Section 19.03 of the Zoning Ordinance. **The motion carried unanimously.**

Moved by Hunt, supported by Skolarus, to approve the Environmental Impact Assessment dated February 23, 2022 as submitted. **The motion carried unanimously.**

Moved by Hunt, supported by Ledford, to approve the site plan dated October 12, 2022 with the following conditions:

- The applicant shall comply with the conditions of the Planning Commission.
- The applicant shall comply with the conditions of the Township Engineer's letter dated March 8, 2022 prior to land use permit issuance. The stormwater comments can be addressed by the Livingston County Drain Commissioner's Office as part of the SESC review and permit process.
- The applicant shall comply with the conditions of the Brighton Area Fire Authority Fire Marshal's letter dated March 9, 2022 prior to land use permit issuance.
- Future parking lot lighting shall comply with the Township Exterior Lighting Standards (Section 12.03).
- In order to connect to the public utilities, all REU fees must be paid at land use permit issuance.
- There shall be a limit of four to six trailers on the property.

The motion carried unanimously.

8. Request for introduction of the proposed rezoning ordinance number Z-22-03 and to set the meeting date for the purpose of considering the proposed ordinance for adoption before the Township Board on Monday, November 21, 2022. The request is to rezone approximately 52 acres from the Neighborhood Service District, Medium Density Residential District and the Town Center Overlay District to Residential Planned Unit Development. The property consists of two vacant parcels with a combined total of approximately 52 acres with parcel ID numbers 4711-11-300-014 and 4711-14-100-002 located at the southeast corner of Grand River and Dorr Road.

Moved by Hunt, supported by Ledford, to introduce proposed rezoning ordinance number Z-22-03 and to set the meeting date to consider adoption before the Township Board on Monday, November 21, 2022 for the purpose of considering the proposed zoning map Amendment. **The motion carried unanimously.**

9. Request for approval to appoint Kelly VanMarter as the FOIA Coordinator for the remainder of the current term, to re-appoint Diana Lowe to the Planning Commission with a term ending 11/20/23, to re-appoint Jean Ledford to the Zoning Board of Appeals with a term ending 11/20/23 and to re-appoint Chris Grajek, Ron Matkin, Marianne McCreary, and Lindsay MacFarlane (alternate) to the Board of Review with terms ending 12/31/24 as recommended by the Township Supervisor.

Moved by Lowe, supported by Mortensen, to appoint Kelly VanMarter as the FOIA Coordinator for the remainder of the current term, to re-appoint Diana Lowe to the Planning Commission with a term ending 11/20/23, to re-appoint Jean Ledford to the Zoning Board of Appeals with a term ending 11/20/23 and to re-appoint Chris Grajek, Ron Matkin, Marianne McCreary, and Lindsay MacFarlane (alternate) to the Board of Review with terms ending 12/31/24. **The motion carried unanimously.**

10. Request for discussion regarding re-negotiating the Settlement Agreement associated with a Consent Order for Case No. II-26089-CE, Genoa Charter Township vs Paul Lalewicz.

Supervisor Rogers stated this case involves Mr. Lalewicz who owns property in the Township that is unbuildable. His neighbor sued him because he was living in his RV on the property; however, that neighbor has moved. Mr. Lalewicz would like to be allowed to leave his motor home on the property long term. Supervisor Rogers suggested that Mr. Lalewicz be allowed to leave it there in the summer months, but if he sells the property, it would not be allowed by the new owner.

Ms. Hunt stated the Township would be approving something that is against the ordinance.

Mr. Seward stated the court order can be made with certain stipulations negotiated between the Township and Mr. Lalewicz. The judge could either approve or deny it.

Ms. Ledford stated this could set a precedent for other properties on lakes in the Township.

Mr. Mortensen stated that if this is approved, he would like to have other stipulations placed on it, such as it shall remain on tires, it shall not become a permanent building, it only applies to Mr. Lalewicz, etc. It can be defended against other property owners making the same request because there is a court order to allow it.

Ms. Skolarus does not have an objection to allowing Mr. Lalewicz to stay in his RV overnight.

The Board agreed to bring this item back for further discussion and request for approval with specific restrictions. Ms. VanMarter suggested that Mr. Lalewicz and his attorney draft the agreement and present it to the Township. Mr. Seward suggested some other restrictions could be the size of the RV, if the RV is sold and not replaced within a certain period of time, then the agreement would not be valid, etc.

11. Request for discussion regarding Township contributions to the Senior Survivor playground project.

Ms. VanMarter stated that the overall project costs for the full Senior Survivor Park have been received, leaving a shortfall of \$212,613. She presented two options to the Board; one is to increase the Township's contribution to \$351,931 to meet the shortfall and build all aspects of the proposed park or to remove the picnic plaza area and increase the Township's contribution by \$119,731 for a \$259,031 total contribution.

Mr. Seward stated that the total project cost in the agreement is \$750,000. Ms. VanMarter provided the minutes from the meeting where Mr. Archinal stated that if the costs come in higher, then changes would be made to the project.

Ms. Lowe stated this is a lot of money, although it will be a great benefit to the community. Ms. Hunt stated there is \$1 million in the fund that would be used to pay for the park.

Ms. VanMarter noted that there maybe a need to increase parking when this park is installed.

Mr. Mortensen is in favor of moving forward with the additional funding; however, he would like to know the final total costs. Ms. Lowe and Ms. Hunt agree. Supervisor Rogers stated he and Staff will provide additional information to the Board at a future meeting.

12. Request for approval of the closed session minutes from October 26, 2022.

Ms. VanMarter distributed a sealed copy of the minutes to each Board Member for review. After the members reviewed the minutes, typographical errors were noted.

Moved by Lowe, seconded by Ledford, to approve the closed session minutes from the October 26, 2022 Board Meeting as amended. **The motion carried unanimously.**

Ms. Skolarus requested to go into closed session to discuss aspects of the investigative report that she read. Mr. Seward stated the only item that can be discussed in tonight's closed session are the minutes. Discussing the report would need to be placed on a future meeting agenda. Ms. Skolarus asked to have this placed on a meeting agenda. Supervisor Rogers requested that she send the request to him with the language as required before the next meeting.

Correspondence

Ms. VanMarter provided letters that have been sent to residents of two subdivisions regarding Special Assessment Districts for road improvements.

Ms. Skolarus provided a letter from the State of Michigan Department of Licensing And Regulatory affairs asking for participation in a survey regarding video service competition in Michigan,

Member Discussion

Ms. Skolarus stated they have received approximately 6,000 AV ballots for tomorrow's election.

Ms. VanMarter is working on the possibility of closing the Township Hall on the day of large elections. There is a large amount of activity in the building on election day and it may be best to dedicate the building to the Election on those days.

Supervisor Rogers stated that per the meeting on October 26, he has not received the resignation from the Township Clerk, so he is requesting the Township Attorney and Staff put together a censure for the next Board meeting.

Adjournment

Moved by Ledford, supported by Hunt, to adjourn the meeting at 9:15 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved:

Paulette Skolarus, Clerk
Genoa Charter Township

Bill Rogers, Supervisor
Genoa Charter Township

Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116
810-227-5225

Memo

To: Genoa Township Board
From: Robin L. Hunt, Township Treasurer
Date: 11/14/2022
Re: Additions to Special Assessment Roll X0012 & 2022 Winter Tax Roll

Please consider Board Approval to make corrections to special assessment roll #X0012 to be levied on the 2022 winter tax bill to reflect new residential homes that have received Certificate of Occupancy after the 9/30/22 deadline to submit Special Assessment totals to Livingston County for the 2022 Winter tax roll.

- **Parcel #4711-09-201-243** – Add Special Assessment #X0012 - \$160.00
- **Parcel #4711-19-300-008** – Add Special Assessment #X0012 - \$160.00
- **Parcel #4711-26-300-044** – Add Special Assessment #X0012 - \$160.00
- **Parcel #4711-33-401-016** – Add Special Assessment #X0012 - \$160.00
- **Parcel #4711-34-403-006** – Add Special Assessment #X0012 - \$160.00
- **Parcel #4711-34-403-007** – Add Special Assessment #X0012 - \$160.00

Total adjustment to roll + \$960.00 = Revised levy of \$1,150,720.00 for special assessment roll #X0012

Please let me know if you have any questions.



MEMORANDUM

TO: Honorable Board of Trustees
FROM: Amy Ruthig, Planning Director
DATE: November 16, 2022
RE: Legacy Apartments - Dorr/Grand River Ave. RPUD Rezoning and Conceptual PUD Ordinance No. Z-22-03

In consideration of the approval recommendations by the Township Planning Commission on September 12, 2022 and the Livingston County Planning Commission on October 19, 2022, please find the attached proposed rezoning ordinance and conceptual residential planned unit development agreement, plan and impact assessment for your consideration. The proposed rezoning involves two properties located on the southeast corner of Grand River Avenue and Dorr Road. The 37-acre parcel is 4711-14-100-002 and the smaller 14.6-acre parcel is 4711-11-300-014. Both are being utilized as farm land.

The rezoning requested is from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The proposal is for construct 204-apartment units within 18 buildings, and an accessory clubhouse and pool.

The primary deviations of the planned development agreement include the following (please note that the specific deviations will still need to be provided in the revised PUD as previously requested):

- Modification of the horizontal minimum curve radius from 150' to 100' and curb radii from road to garage and parking driveways less than 30' radius.
- A reduction in the required open space along the exterior public roads from 100' to 60'.
- Request for reduction in the percentage of brick required on building walls exposed to public and an increase in percentage of vinyl siding on the areas over the garages.
- Request for grading (no structures) up to 10' from regulated wetland.
- Request to exceed parking space requirement more than 20%.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter



Procedurally, this is the last step of the rezoning and conceptual PUD approval phase. If granted conceptual approval, the applicant may then proceed to the required final PUD phase to obtain final site plan approval.

Following concerns related to boat traffic raised by a resident at the last meeting, Township staff has asked the applicant's engineer to look into the issue. In addition, the Township Manager discussed the concern with Ron Wilson of Wilson Marine who originally raised the concern at the July 11, 2022 Planning Commission meeting. Subsequent to the meeting, Mr. Wilson relocated his truck and boat traffic to a new entrance on Sterling Drive and has indicated that he is no longer concerned about the issue.

REZONING – REQUIRED ROLL CALL VOTE

Moved by _____, Supported by _____ to APPROVE AND ADOPT Ordinance Z-22-03. This approval is made because the proposed amendment to the Zoning Map and reclassification as a Residential Planned Unit District (RPUD) /High Density Residential (HDR) with the related development agreement, impact assessment and conceptual plan has been found to comply with the qualifying conditions and the criteria stated in 10.03.01, 10.07.01 and 22.04 of the Township Zoning Ordinance.

PUD AGREEMENT

Moved by _____, Supported by _____ to APPROVE the PUD Agreement revised on November 1, 2021 with the following conditions:

1. The revised PUD agreement submitted, made revisions to an outdated earlier version of the agreement. Applicant must work staff and the Township attorney to blend the agreements and revisions must be made to the satisfaction of Township staff.
2. All deviations requested must be specifically detailed including setbacks requested outlined in the PUD Agreement.
3. The applicant must address any comments provided by the Township Planner and Engineer, Utilities Director and/or Brighton Area Fire Authority.

ENVIRONMENTAL IMPACT ASSESSMENT

Moved by _____, Supported by _____ to APPROVE the Environmental Impact Assessment dated May 25, 2022 as submitted.

SITE PLAN

Moved by _____, Supported by _____ to APPROVE the Conceptual PUD Plan dated November 4, 2022 with the following conditions:

1. The final site plan shall include all items as required by Section 10.06 as required by ordinance.
2. The deviations along Grand River for building and parking setbacks shall be reviewed to determine if they can be moved further south to decrease the 25-foot deviation.

If you should have any questions, please feel free to contact me.

Best Regards,

A handwritten signature in blue ink that reads "Amy Ruthig". The signature is written in a cursive style and is placed on a light blue rectangular background.

Amy Ruthig

ORDINANCE NO. Z-22-03

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY REZONING PARCELS 4711-11-300-014 AND 4711-14-100-002 FROM NEIGHBORHOOD SERVICE DISTRICT (NSD) AND MEDIUM DENSITY RESIDENTIAL (MDR) WITH TOWN CENTER OVERLAY (TC) TO RESIDENTIAL PLANNED UNIT DEVELOPMENT (RPUD) OVERLAY OF THE HIGH DENSITY RESIDENTIAL (HDR) DISTRICT

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map, as incorporated by reference in the Charter Township of Genoa’s Zoning Ordinance, is hereby amended as follows:

Real property consisting of two vacant parcels with a combined total of approximately 52 acres with parcel ID numbers 4711-11-300-014 and 4711-14-100-002 located at the southeast corner of Grand River and Dorr Road more particularly described as follows:

PROPERTY DESCRIPTION:

BEING A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, AND A PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 14, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY), SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 56 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 SAME BEING THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11; THENCE ALONG A LINE BEING 375.00 WEST AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,262,563 +- SQUARE FEET OR 51.941 +- ACRES OF LAND.

shall be rezoned from the Neighborhood Service District (NSD), Medium Density Residential district (MDR) and the Town Center Overlay district (TC) to Residential Planned Unit Development (RPUD) overlay of the High Density Residential District (HDR) to allow for 204 apartments units with a net density of 6.23 units per acre. The Township Planning Commission and Township Board, in strict compliance with the Township Zoning Ordinance and with Act 110 of the Public Acts of 2006, as amended, reclassified the Property as Residential Planned Unit Development (RPUD) upon finding that such classification properly achieved the purposes of Section 10.03.01 and 22.04 of the Township’s Zoning Ordinance (as amended).

Repealor: All ordinances or parts of Ordinances in conflict herewith are repealed.

Severability Should any section, subsection, paragraph, sentence, clause, or word of this Ordinance be held invalid for any reason, such decisions shall not affect the validity of the remaining portions of the Ordinance.

Savings: This amendatory ordinance shall not affect violations of the Zoning Ordinance or any other ordinance existing prior to the effective date of this Ordinance and such violation shall be governed and shall continue to be separate punishable to the full extent of the law under the provisions of such ordinance at the time the violation was committed.

Effective Date: This map amendment was adopted by the Genoa Charter Township Board of Trustees at the regular meeting held _____ and ordered to be given publication in the manner required by law. This ordinance shall be effective seven days after publication.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas:

Nays:

Absent:

I hereby approve the adoption of the foregoing Ordinance this _____ day of _____, 2022.

Paulette A. Skolarus
Township Clerk

Bill Rogers
Township Supervisor

Township Board First Reading:	November 7, 2022
Date of Publication of Proposed Ordinance:	November 13, 2022
Township Board Second Reading and Adoption:	November 21, 2022 (proposed)
Date of Publication of Ordinance Adoption:	November 27, 2022 (proposed)
Effective Date:	December 4, 2022 (proposed)



GENOA CHARTER TOWNSHIP APPLICATION
Planned Unit Development (PUD)

APPLICANT NAME: GRAND RIVER DORR, LLC (Mark Kassab)
APPLICANT EMAIL: MKASSAB@MSHAPIROREALESTATE.COM
APPLICANT ADDRESS & PHONE: 31550 Northwestern Hwy, Suite 200 Farmington Hill, MI 48334 (248) 865-0066
OWNER'S NAME: Grand River Dorr, LLC
OWNER ADDRESS & PHONE: same as above
TAX CODE(S): 47-11-11-200-014, 47-11-14-100-002

QUALIFYING CONDITIONS (To be filled out by applicant)

- 1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:
[X] Residential Planned Unit Development (RPUD)
[] Planned Industrial District (PID)
[] Mixed Use Planned Unit Development (MUPUD)
[] Redevelopment Planned Unit Development (RDPUD)
[] Non-residential Planned Unit Development (NRPUD)
[] Town Center Planned Unit Development (TCPUD)
3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN The development will be developed, owned and operated by a single ownership entity

- 4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:
A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.
B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established.

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

- C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:
- preservation of significant natural or historic features
 - a complementary mixture of uses or a variety of housing types
 - common open space for passive or active recreational use
 - mitigation to offset impacts
 - redevelopment of a nonconforming site where creative design can address unique site constraints.
- D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is 51.9+/- acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

The proposed development is over 51 acres. The development will preserve natural features and provided common open space opportunities for the residents, including walking trails, a community building and swimming pool. The site is constrained by regulated wetlands and create design is required to address the constraints. The site has access to public water supply and sanitary sewer.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

The future land use map for Genoa Township identifies mixed use town center. However, a change in need for retail services has been observed in the market. There is a lack of ability to attract new retail to compete with the existing retail services already located in the area. The proposed use is consistent with the high intensity use along the Grand River Corridor. This is consistent with surrounding land use and provides a transition to the residential areas to the south.

2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

The RPUD with an HDR underlying zoning is a transitional residential zoning that is typically found adjacent to high and medium intensity uses. This is consistent with this property and its surrounding uses. In this situation the property is surrounded by industrial, general business and office. There is residential to the north (higher density) and the south (lower density). The RPUD allows for additional open space, protection of natural features, and is supported by the existing infrastructure.

3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township;

The proposed development will be compatible with past planning efforts and therefore the infrastructure is present to support it. The township services planned for this area will not be overtaxed by the development.

4. The apparent demand for the types of uses permitted in the PUD; Successful development area reaching various age demographics that seek amenities, less maintenance nature preservation and convenience to restaurants and shopping. This location is well located between Brighton and Howell where downtown shopping and restaurants are available as well as the Genoa retail and restaurant area at Latson and Grand River.

AFFIDAVIT

The undersigned says that they are the Owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.
BY: Mark Kassab, Grand River Dorr, LLC
ADDRESS: 315550 Northwestern Hwy, ste 200 Farmington Hills 48334

Contact Information - Review Letters and Correspondence shall be forwarded to the following:
Jonathan Curry of PEA Group at jcurry@peagroup.com
Name Business Affiliation E-mail

FEE EXCEEDANCE AGREEMENT
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.
PROJECT NAME: Grand River Dorr
PROJECT LOCATON & DESCRIPTION: 6080 W Grand River (Grand River/Dorr)
SIGNATURE: [Signature] DATE: 6/2/22
PRINT NAME: MARK KASSAB PHONE: 248-865-0066
COMPANY NAME & ADDRESS: 315550 Northwestern Hwy, ste 200 Farmington Hills 48334



GENOA CHARTER TOWNSHIP
Application for Re-Zoning

APPLICANT NAME: Grand River Dorr, LLC ADDRESS: 315550 Northwestern Highway, ste 200 Farmington Hills, 48334
OWNER NAME: same as above ADDRESS: _____
PARCEL #(s): 47-11-11-200-014, 47-11-14-100-002 PRIMARY PHONE: (248) 865-0066
EMAIL 1: Mkassab@mshapirorealestate.com EMAIL 2: _____

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:
NSD/ MDR /TOWN CENTER to HDR/PUD
4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites, and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

SEE ATTACHED

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

SEE ATTACHED

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

SEE ATTACHED

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

SEE ATTACHED

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

SEE ATTACHED

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

SEE ATTACHED

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

SEE ATTACHED

8. Describe any deed restrictions which could potentially affect the use of the property.

C. AFFIDAVIT

The undersigned says that they are the owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Mark Kassab, Grand River Dorr, LLC

ADDRESS: 31550 Northwestern Highway, ste 200 Farmington Hills, MI 48334

SIGNATURE

The following contact should also receive review letters and correspondence:

Name: Jonathan Curry, P.E.

Email: jcurry@peagroup.com

Business Affiliation: PEA Group

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Grand River Dorr

PROJECT LOCATON & DESCRIPTION: 6080 W. Grand River Road

SIGNATURE:

DATE:

6/2/22

PRINT NAME: Mark Kassab

PHONE: 248-865-0066

COMPANY NAME & ADDRESS: 31550 Northwestern Hwy, Farmington Hills, MI 48334

B. 1.

Development conditions have changed since the approval of the Master Plan. Retail has seen a steep decline throughout the state. The ability of individuals to order online and have delivered to their home is one of the main reasons for this. It was further exasperated during covid pandemic and lock downs. Residents became used to online ordering.

High density residential is an acceptable use in the Town Center Overlay, however, this zoning is tied to being placed above retail. The existing zoning would allow for 28 units per acre when tied to retail. The proposed rezoning to HDR /RPUD reduces the density by allowing for 8 units per acre. This will reduce the burden on the township service and infrastructure.

2.

The southern side of the site consists of a regulated EGLE wetland and wooded areas. These natural features are desirable to protect. The proposed rezoning to HDR/RPUD allows for limiting disturbance to the natural features, while obtaining a financially viable project that provides the end user with desired environmental features.

3.

The evidence that a reasonable return on investment cannot be received by developing the property with one of the permitted uses under current zoning is evidenced by the lack of interest in the property. The property is in a desirable area; however, this area is located between developed areas that meet the residential services needs and retail for the area. Obtaining retail or residential service providers for this area is difficult because of the existing competition.

4.

As stated above, the proposed zoning was considered compatible with the master plan. However, it is desired to remove the retail component and town center overlay. The surrounding land uses along the Grand River corridor are higher intensity uses. The proposed use will be compatible with the existing users and could be considered a transitional zoning against the higher intensity industrial use to the west and the residential to the south.

5.

Infrastructure is available to service this site with the proposed rezoning. This area was master planned to provide the services necessary to develop this property successfully. The property is located adjacent to Grand River and Dorr Road. Sanitary sewer and public water main are available adjacent to the property as well.

6.

There is a demonstrated demand for the proposed uses allowed under HDR/RPUD. Genoa is in need of additional HDR/RPUD locations to assist residents wishing to downsize or even for younger residents to

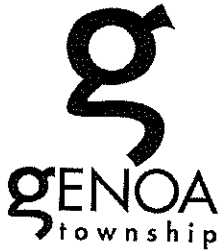
enter into the area. The desire for younger and older residents is less maintenance with amenities. This site provides a club house with a pool, as well as the beauty of its existing nature areas left preserved.

7.

Currently, the town center does not appear to be desirable to developers. This is a prime location that should have developed. A rezoning at this time would provide additional developers options for this property should this development not continue for any reason.

8.

Currently there are no deed restrictions that would affect the property. However, if rezoned a deed restriction will be in place to protect the natural features and EGLE regulated wetland.



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Grand River Dorr, LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Grand River Dorr, LLC

SITE ADDRESS: 6080 W Grand River PARCEL #(s): 47-11-11-200-014,

APPLICANT PHONE: (248) 865-0066 OWNER PHONE: () 47-11-14-100-002

OWNER EMAIL: mkassab@mshapriorealestate.com

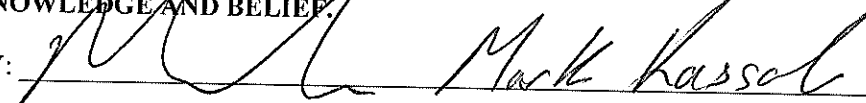
LOCATION AND BRIEF DESCRIPTION OF SITE: 51.9 acres +/- at the South East Corner of
Grand River and Dorr Road

BRIEF STATEMENT OF PROPOSED USE: _____

The proposed use will be a RPUD - multifamily development consisting of 204 apartment homes in 18 buildings, with a community clubhouse and pool.

THE FOLLOWING BUILDINGS ARE PROPOSED: _____
18 buildings in 12-plex or 6-plex configuration, and a community clubhouse.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:  Mark Kassal

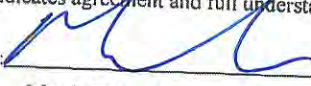
ADDRESS: 315550 Northwestern Hwy., Farmington Hills, MI 48334

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Mark Kassab of Grand River Dorr, LLC at mkassab@mshapirorealestate.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 6/2/22
PRINT NAME: Mark Kassab PHONE: 248-865-0066
ADDRESS: 315550 Northwestern Highway, ste 200 Farmington Hills 48334

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting & Public Hearing
November 7, 2022

MINUTES

Supervisor Rogers called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Jean Ledford, Terry Croft, Jim Mortensen, Diana Lowe and Robin Hunt. Also present were Township Manager Kelly VanMarter, Township Attorney Joe Seward, Human Resources Director Kim Lane and William Tucker of Maner Costerisan and five persons in the audience.

The Pledge of Allegiance was recited.

The call to the public was opened at 6:31 pm

Ms. Eda Biegas of 1950 Genoa Circle questioned the traffic study that was submitted for the apartments on the corner of Dorr and Grand River only included the traffic from the new hospital or included the summer lake traffic also. If not, she would like it to include it. Ms. VanMarter advised she can review the study and provide that information to Ms. Biegas.

Ms. Biegas wants to ensure that the setbacks are far enough that if Grand River needs to be expanded, it won't be the homes on the other side of the road that will be affected. She feels the proposal is too dense.

Mr. Wayne Brewer who lives in Sunrise Park has concerns about the Dorr Road development. He is against it. It is not needed. There is already a lot of congestion in that area. The farmland should remain farmland.

Mr. Andy Beaudry of 3631 Woodridge is opposed to the rezoning for the apartments. It is not a good fit for the Township, it will increase traffic, and the property is very close to one of the largest egret populations in the County.

The call to the public was closed at 6:37 pm.

Consent Agenda

Moved by Ledford, supported by Mortensen, to approve the Consent Agenda as presented.
The motion carried unanimously.

1. Payment of Bills: November 7, 2022
2. Request to approve October 17, 2022 regular meeting and October 26, 2022 special meeting minutes

- The applicant shall comply with the conditions of the Planning Commission.
- The applicant shall comply with the conditions of the Township Engineer's letter dated March 8, 2022 prior to land use permit issuance. The stormwater comments can be addressed by the Livingston County Drain Commissioner's Office as part of the SESC review and permit process.
- The applicant shall comply with the conditions of the Brighton Area Fire Authority Fire Marshal's letter dated March 9, 2022 prior to land use permit issuance.
- Future parking lot lighting shall comply with the Township Exterior Lighting Standards (Section 12.03).
- In order to connect to the public utilities, all REU fees must be paid at land use permit issuance.
- There shall be a limit of four to six trailers on the property.

The motion carried unanimously.

8. Request for introduction of the proposed rezoning ordinance number Z-22-03 and to set the meeting date for the purpose of considering the proposed ordinance for adoption before the Township Board on Monday, November 21, 2022. The request is to rezone approximately 52 acres from the Neighborhood Service District, Medium Density Residential District and the Town Center Overlay District to Residential Planned Unit Development. The property consists of two vacant parcels with a combined total of approximately 52 acres with parcel ID numbers 4711-11-300-014 and 4711-14-100-002 located at the southeast corner of Grand River and Dorr Road.

Moved by Hunt, supported by Ledford, to introduce proposed rezoning ordinance number Z-22-03 and to set the meeting date to consider adoption before the Township Board on Monday, November 21, 2022 for the purpose of considering the proposed zoning map Amendment. **The motion carried unanimously.**

9. Request for approval to appoint Kelly VanMarter as the FOIA Coordinator for the remainder of the current term, to re-appoint Diana Lowe to the Planning Commission with a term ending 11/20/23, to re-appoint Jean Ledford to the Zoning Board of Appeals with a term ending 11/20/23 and to re-appoint Chris Grajek, Ron Matkin, Marianne McCreary, and Lindsay MacFarlane (alternate) to the Board of Review with terms ending 12/31/24 as recommended by the Township Supervisor.

Moved by Lowe, supported by Mortensen, to appoint Kelly VanMarter as the FOIA Coordinator for the remainder of the current term, to re-appoint Diana Lowe to the Planning Commission with a term ending 11/20/23, to re-appoint Jean Ledford to the Zoning Board of Appeals with a term ending 11/20/23 and to re-appoint Chris Grajek, Ron Matkin, Marianne McCreary, and Lindsay MacFarlane (alternate) to the Board of Review with terms ending 12/31/24. **The motion carried unanimously.**

Commissioner Dhaenens asked Ms. Kline-Hudson how Genoa Township as well as other communities can meet to open the dialogue to discuss traffic issues in the county. She stated she can definitely facilitate a discussion between the appropriate municipalities.

OLD BUSINESS:

OPEN PUBLIC HEARING #1...Consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-14-100-002 located on the southeast corner of Grand River Avenue and Dorr Road. The request is petitioned by Grand River Dorr, LLC.

- A. Recommendation of Rezoning to HDR/RPUD
- B. Recommendation of PUD Agreement (dated 6-22-22)
- C. Recommendation of Environmental Impact Assessment (file dated 5-25-22)
- D. Recommendation of Conceptual PUD Plan (dated 8-22-22)

Mr. Mark Kassab and Mr. James Galbraith of Grand River Dorr, LLC, Mr. Jonathan Curry, the architect, and Ms. Jill Bauer, the traffic engineer, were present.

Mr. Kassab reviewed the requests that were made at the previous Planning Commission meeting. They have increased the setbacks on Grand River from 50 feet to 75 feet and on Dorr Road from 46 feet to 77 feet.

They have done a lot of research and called MISS Dig and there is no fiber optic line through the property.

Ms. Bauer stated she has received a copy of the traffic study that was done for the hospital and that proposed expansion did not negatively affect the traffic for this project. The study included the intersections at Dorr and Grand River & Hughes and Grand River. Most of the trips for the hospital are from and toward the east so they do not affect their project.

Mr. Borden reviewed his letter dated August 31, 2022

1. PUD Qualifying Conditions

- Based upon his review, the qualifying conditions of Section 10.02 are satisfied. The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.

2. Rezoning Criteria

- As a PUD project, the request may be viewed as consistent with the intent and goals/objectives of the Master Plan.
- HDR rezoning may be viewed as appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
- His belief is that the RPUD is reasonable provided the provisions of Section 10.03.01 are met to the Township's satisfaction.

3. Conceptual PUD Plan

- Deviations are sought for side and rear parking setbacks, excess parking spaces, grading (but not structures) within the natural feature setback, and from the requirement for a 100-foot open space depth along exterior public roadways. He noted they improved this to 75 feet; however, it still requires a deviation.
- Revisions to the plan have improved upon the parking setback and open space depth deviations previously discussed.
- Per the previous meeting, the applicant is working on building material calculations to determine whether deviations are necessary or not. This would need to be determined at the time final site plan approval is requested.

4. Draft PUD Agreement

- The Agreement must identify the deviations sought as part of the PUD.
- He suggests additional language be provided with respect to the preservation and maintenance of open space/conservation areas.
- If a phased project is proposed, each phase must be described and outlined.
- The applicant must address any comments provided by staff and/or the Township Attorney.

Ms. Byrne reviewed her letter dated September 7, 2022. Two significant items are:

1. The Livingston County Road Commission will need to approve both access drives to the site, and this approval should be provided to Genoa Township prior to final approval.
2. The response letter provided by Grand River Dorr, LLC., dated August 22, 2022, provided modified setbacks on Grand River Avenue and Dorr Road, and referenced communication with the Livingston County Road Commission. Communication with the Road Commission regarding the suitability of the proposed setbacks for future ROW needs should be provided to the Township for their records.

The remaining items in her letter were for informational purposes or will be addressed at final site plan approval.

The letter from the Brighton Area Fire Authority Fire Marshal, Rick Boisvert, dated August 25, 2022 states the following:

- A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere, lighting, and large canopy trees. A number of trees must be relocated, the species modified, or the

road width increased to not overhang the roadways. **(A note was provided to address plantings at final site and construction review on the previous submittal, however the artist rendering indicates over 400 large canopy trees lining the roadways throughout the development. As they grow and reach full growth, nearly all species will either partially or completely encroach the roadway. Additional consideration shall be made to placement and species, and will require the ownership to include the overhead clearance requirement in the facility maintenance plan.)**

Mr. Kassab provided the type of trees that will be planted and how they grow, noting that they will not encroach into the roadway.

The call to the public was opened at 7:04 pm.

Ms. Janine Deaton of 699 Sunrise Park stated the corner at Grand River and Dorr Road is a blind spot. She asked how this traffic is going to affect the traffic on Grand River to Bendix, to Hacker, and further. She is also concerned about the power grid. She recently had a five-day power outage.

Ms. Serena Anzalone of 5964 Glen Echo stated the traffic light at Dorr Road does not function properly.

Mr. Ed Loft of 6055 East Grand River stated there will be over 300 cars entering and exiting this complex each day. He asked about the detention pond and how it will drain. Mr. Curry explained that the Road Commission has restricted how much they can send out of this pond and into the lake. Mr. Loft asked if there will be a light installed on Dorr Road at the entrance.

Ms. Irene Loft stated that her view is beautiful now and if this is developed, it will then be of all of these buildings and garage doors.

Ms. Susan Nichols of 4935 Fairways Drive is concerned about immigrants coming into our community. She saw a group of approximately 25 immigrant men at Marshalls. She is not sure how they are getting here. They are a danger. A woman was cornered at Target by two Mexican men recently. She wants to ensure these are high-end apartments and they will not be subsidized.

The call to the public was closed at 7:15 pm.

Mr. Kassab stated this is not a subsidized complex. With their targeted rent, the household income of the residents would need to be approximately \$150,000 per year. He understands the traffic concerns; however, as the planner stated, this property is currently zoned to allow for 28

units per acre and they are proposing 6 units per acre. This PUD would benefit the Township and the developer. This is proper and sustainable development.

Commissioner Rauch thanked the public for their comments and understands their concerns. The applicant has provided all of their information from their professionals and it has been reviewed by the Township's professionals. He questioned if there was anything that the applicant can do to improve the outlet of their stormwater into the lake. Ms. Kassab stated that when they develop the property and install the retention ponds, it will improve the quality of the water that is coming off of their property.

There was a discussion regarding the current ROW and any possible increases to the ROW at this intersection and how that would affect the setbacks proposed for this development. Commissioner Rauch noted that while the setbacks have been increased with the new plan, they still do not meet the requirements. He would like to see the two buildings on Grand River meet the 100 foot setback requirements.

Commission Dhaenens would like to see the 100 foot setback met on Grand River and Dorr Road. Mr. Kassab stated they cannot increase the setback and decrease the size of the units. To accommodate the smaller setback, they have increased the landscaping and buffer along both roadways. Commissioner Dhaenens agrees with that for Dorr Road; however, he agrees with Commissioner Rauch. He would like the setback to be 100 feet on Grand River. Mr. Kassab provided his reasoning for requesting the deviation, which included the integrity of the product he is developing, the preservation of the wetlands on the property, as well as the financial feasibility of the project.

Chairman Grajeck asked for the setback requirements as it is zoned now. Mr. Boarden stated they are allowed a zero lot line setback. Commissioner Rauch stated this would be if this were a commercial development, and this is residential. Ms. VanMarter stated she has met with the Road Commission about traffic calming in this area and they were not in favor of that. She questioned the applicant if they have met with the Road Commission to determine if they have plans to increase the ROW. Mr. Kassab is not aware of any plans that the Road Commission has with increasing the road width. He noted that there is very little market for commercial development.

Commissioner Chouinard would like to see the 100 foot setback on Grand River, but noted that this project will develop this site and it is difficult to develop it as it is currently zoned commercial. If it was developed as commercial, the setback could be zero. The applicant's product is "top-notch".

Ms. VanMarter stated the standard setback along Grand River is 35 feet and if there is parking in the front, then the setback would be 70 feet. The Grand River setback for the condos off of Cortland Avenue is 35 feet.

Mr. Kassab showed and reviewed the Google Maps view of their development in Novi, which is on Grand River also, and is very similar to what they are proposing in Genoa Township. Ms. VanMarter advised the public that she will contact the Road Commission tomorrow to alert them of the signal trouble at Glen Echo as noted in the call to the public.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the rezoning from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay for Parcels 4711-11-300-014 and 4711-14-100-002 located on the southeast corner of Grand River Avenue and Dorr Road, per the following

- The Planning Commission finds this request is consistent with the intent and goals/objectives of the Master Plan.
- HDR rezoning is appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
- The provisions of Section 10.03.01 of the Zoning Ordinance are met to the Planning Commission's satisfaction.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to recommend to the Township Board approval of the PUD Agreement dated June 22, 2022 for a proposed development of 204 apartment units for Grand River Dorr, LLC. per the following:

- The qualifying conditions of Section 10.02 of the Zoning Ordinance are satisfied.
- The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated May 25, 2022 for a proposed development of 204 apartment units for Grand River Dorr, LLC. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to recommend to the Township Board approval of the Conceptual PUD Plan dated August 22, 2022 for a proposed development of 204 apartment units for Grand River Dorr, LLC. per the following:

- The deviations for building and parking setbacks along Dorr road are appropriate.
- The deviations along Grand River for building and parking setbacks shall be reviewed to determine if they can be moved further south to decrease the 25-foot deviation.
- As a concept plan the Planning Commission finds this appropriate.

The motion carried unanimously.

1. The response letter from the Petitioner, dated June 22, 2022, notes that the proposed additional flow to the existing detention basin was designed in accordance with conversations with the Livingston County Drain Commissioner (LCDC). The provided plans do not include information on any infiltration testing or calculations as required by the updated LCDC standards and an approval letter should be provided from the LCDC to ensure this requirement is being waived prior to approval.

2. The detention basin outlet detail shows the 100-year detention and channel protection orifice at 958.75 and 958.5 respectively, but the design storm elevation calculations show the 100-year elevation at 960.70 and the channel protection elevation at 960.43. The outlet detail should be revised to show the correct orifice elevations.

The Brighton Area Fire Authority letter dated July 5, 2022 states that all of the previous concerns have been addressed.

A call to the public was made at 8:41 p.m. with no response.

Commissioner McCreary asked if this a medical use or general office. Mr. Crane stated that there will be a small lab with medical staff and they would have nurses on staff, may also include physical therapy.

Commissioner Rauch stated that there is residential backing up the parking lot. He asked if the petitioner would be agreeable to add more of a screen for the houses. Mr. Crane stated that they will add more landscaping to fill in the gaps of the existing screen.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens to recommend to the Township Board approval of the Environmental Impact Assessment dated June 1, 2022 for the expansion of a parking lot for an existing office/medical building located at 3399 E. Grand River Avenue on the north side of Grand River Avenue, west of Grand Oaks Drive. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to approve the site plan dated June 21, 2022 for the expansion of a parking lot for an existing office/medical building located at 3399 E. Grand River Avenue on the north side of Grand River Avenue, west of Grand Oaks Drive with the following conditions:

- The Planning Commission finds the 121% parking is sufficient.
- Replacement of the 4 evergreen trees with 4 canopy trees.
- Lighting fixtures and details will comply with the Township Zoning Ordinance and must receive staff approval.
- Petitioner will incorporate additional plantings along the north property line to fill in the gaps in the landscaping.
- Landscaping plan discrepancies will be corrected.
- The applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority.

The motion carried unanimously.

OPEN PUBLIC HEARING #4...Consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-

14-100-002 located on the Southwest corner of Grand River Avenue and Dorr Road. The request is petitioned by Grand River Dorr, LLC.

- A. Recommendation of Rezoning to HDR and PUD application for RPUD
- B. Recommendation of PUD Agreement (dated 6-22-22)
- C. Recommendation of Environmental Impact Assessment (file dated 5-25-22)
- D. Recommendation of Conceptual PUD Plan (dated 6-23-22)

Mark Kassab and Jim Galbraith, with Grand River Dorr LLC., Jon Curry with PEA Group, and Jill Bauer, with Fishbeck, Thompson were present for the petitioner.

Mr. Kassab gave a presentation on the company and the project. The project is proposed to consist of 204 high-end apartment units with two car attached garages, direct access to the units, 2-3 bedrooms, 1480-1630 sq. ft. units. The rent would range from \$2400-\$2800 per unit. The market studies that they have conducted support this type of project. The current property is zoned NSD and MDR with a TC overlay. The Township no longer is interested in pursuing the Town Center overlay. The current zoning is 14 units per acre based on the current zoning and with the TC overlay it would be 28 units per acre by special use. They are proposing 6.2 units per acre. He stated that they do not believe that this is a strong site for retail use. Some of the amenities will include EV stations, pet wash, pet park, resort style park, pool and amazon station and walking paths. They are not proposing any impact to the wetlands and the natural features setback buffer.

Mr. Borden reviewed his letter dated July 7, 2022:

1. PUD Qualifying Conditions: based upon our review, the qualifying conditions of Section 10.02 are satisfied. The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.
2. Rezoning Criteria:
 - a. As a PUD project, the request may be viewed as consistent with the intent and goals/objectives of the Master Plan.
 - b. HDR rezoning may be viewed as appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
 - c. We believe the RPUD is reasonable provided the provisions of Section 10.03.01 are met to the Township's satisfaction.
3. Conceptual PUD Plan:
 - a. Deviations are sought for side and rear parking setbacks, excess parking spaces, grading (but not structures) within the natural feature setback, and from the requirement for a 100-foot open space depth along exterior public roadways.
 - b. At the time of this review letter, the applicant is working on building material calculations to determine whether deviations are necessary (or not).
4. Draft PUD Agreement:
 - a. The Agreement must identify the deviations sought as part of the PUD.
 - b. If the Township is amenable to reducing the 100-foot open space along both exterior roadways, we suggest the applicant be required to provide enhanced landscaping and screening along both frontages. This should include appropriate screening for vehicle parking and/or garage doors.
 - c. We suggest additional language be provided with respect to the preservation and maintenance of open space/conservation areas.
 - d. If a phased project is proposed, each phase must be described and outlined.
 - e. The applicant must address any comments provided by staff and/or the Township Attorney.

Ms. Byrne reviewed her letter dated July 6, 2022:

1. The Livingston County Road Commission will need to approve both access drives to the site, and this approval should be provided to Genoa Township prior to final approval.
2. A Traffic Impact Study was completed for the proposed development and was included in the impact assessment. The study concludes that left turn passing lanes will be needed at both site drives, and this is included on the site plans. The development will increase traffic in the localized area however the improvements presented in the traffic study should mitigate the impacts.
3. The detention calculations shown on sheet C3.1 should be updated to the new Livingston County Drain Commissioner standards as part of the final site plan submittal.
4. The petitioner is proposing multiple connections to the existing storm sewer on Grand River Avenue. The Livingston County Road Commission will need to approve all proposed connections to their storm sewer system and said approval should be provided to Genoa Township prior to final site plan approval.
5. The Petitioner is proposing grading within the 25-foot wetland setback. This will require a special land use permit or should be addressed in the PUD Agreement.
6. A utility impact study should be completed by MHOG for the proposed development, as it will account for more than 100 new residential units. The downstream sanitary sewer pump stations have known capacity concerns, and improvements will need to be considered as part of this development.
7. The final site plan should include MHOG standard details.
8. After final site plan approval, the Petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.

The biggest issue of concern is the connection of the storm system to the public road system. The applicant should ensure that the Road Commission will agree to this proposed design.

Chairman Grajek asked if the petitioner has reviewed the Brighton Area Fire Authority letter dated July 5, 2022. Mr. Kassab stated that they have and will comply with the letter.

For the benefit of the residents in attendance, Chairman Grajek asked Mr. Borden to go over the steps in the process. Mr. Borden stated that this is here for rezoning and conceptual review. The project will need to go to the Board for conceptual approval and then the final approval process would be back before the Planning Commission before going to the Board again for the final approval.

Commissioner Dhaenens asked about parking and that he has an issue with not requiring the 100-foot open space setback from the roads. Mr. Kassab stated that there are two spots in the garage and two spots outside of the garage for parking. They have designed the units to have two front elevations with substantial landscaping to where you will not see the buildings.

Mr. Borden stated that the current zoning allows for zero lot line setbacks.

Commissioner Rauch asked why the applicant is asking for the PUD. Mr. Borden responded that it is because they are not proposing a mixed-use component. Mr. Kassab stated that they looked at a project with commercial along Grand River with 400 units behind but they felt that commercial wouldn't work in this location and they felt like this was a better project.

Chairman Grajek asked for a review of the traffic. Ms. Bauer gave a review of the traffic impact study stating that it was determined that there would be no impact. Chairman Grajek asked how it was possible that this would have no impact. Ms. Bauer stated that the signalized intersections

are operating at acceptable levels and the added units would not reduce the level of service at all three major intersections. There will be more traffic, but not so much that it would cause a significant reduction in the current level of service.

Chairman Grajek asked if the proposed hospital project would impact their traffic counts. Ms. Bauer stated that they would update their traffic study to include the hospital project.

Commissioner Chouinard asked the applicant have they are going to handle the fiber line that runs through the property. Mr. Gilbraith stated that they would move it.

Commissioner McCreary stated that she is concerned with the boat traffic on Dorr Road since there are three boat businesses located in the immediate area.

Commissioner McBain stated that she struggles with this conversation on traffic since it is less than what is allowed on the site. Why are they concerned with traffic when they have not been concerned about it elsewhere?

Commissioner Rauch stated that he is struggling with the reduction of the RPUD 100-foot open space buffer requirement from the roads.

A call to the public was made at 9:44 p.m. with the following responses:

Robert Biegas, 1950 Genoa Circle, stated he has concerns with the 100-foot buffer reduction and the impact on Grand River Avenue. There would be no room for a right turn lane.

Joe Mahalak, 5259 Pentwater Drive, has concerns with the south bound traffic on Dorr Road turning left.

Robert Kuikhi, 6035 E. Grand River Avenue, stated that he has lost a loved one to a car accident. He has concerns with the traffic and the people pulling boats. He would like to see something to accommodate the Grand River residents in the Hughes and Dorr Road area.

Judy Moses, 5251 Pentwater Drive, stated that she has concerns about the electricity in the area. They have weekly outages all the time. Does DTE work the Township when a development is proposed.

Laura Wildman, 658 Pathway, she does not know how Wilson Marine gets out of their business due to the traffic. She has concerns about the runoff going into Lake Chemung. She asked how the project would benefit the Township.

Bruce Kimball, 1189 Catherine's Way, stated south bound Hughes Road traffic is bad. There is an incline in the grade at the light on Hughes and only 2 cars can make it through the light in the winter to turn left. Traffic is the main issue.

Ron Wilson, 6095 Grand River Avenue, he is the owner of Wilson Marine, in the summer months there are 65-70 boats on trailer coming and going and semi-trucks delivering. Dorr Road is a raceway. He is concerned with safety and sight lines along Dorr Road. His business produces a lot of light and noise and work from 7 a.m. to 9 p.m. so they might consider more screening for the buildings across Grand River.

Frank Keresztes-Fischer, 5859 Griffith, stated that he is concerned about food security. Millions of acres of farm land are being lost to developments. The productive farm land needs to be protected.

Edward Luff, 6055 E. Grand River Avenue, is concerned about a loss of visibility for drivers on Dorr Road. It is all open now and you can see 1/8 mile towards Hughes Road. Once they build the loss of visibility will be more dangerous. He is concerned about the detention pond at the corner of Dorr Road and Grand River Avenue. Where does it drain to? Does it drain into Lake Chemung?

David Cary, 1813 S. Hughes Road, The Shaved Ice business has had to replace two tables located outside due to cars hitting them. Everybody tries to use the right turn lane that does not exist to turn on to Grand River Avenue. There needs to be a right turn lane on Hughes Road northbound at Grand River. The Township owns the property on Hughes Road with a 10-foot drain easement. The agreement states that the Township can increase the easement to 20-foot wide if needed. What is planned for that easement? The drainage into the lake is a huge issue.

Serena Anzalone, 5964 Glen Echo Drive, stated that Glen Echo gets 6 to 8-inch divots in their road due to the drainage from Grand River Avenue. The rainwater brings dirt and debris. She is also concerned about the noise and traffic.

Eda Biegas, 1950 Genoa Circle, stated that there is overall traffic congestion without lights. They chose Genoa Township because it is less congested. There is no room for the roads to be widened if the 100-foot setback is not required. Maybe construct single story homes with less units to make the traffic more manageable.

The call to the public closed at 10:06 p.m.

Mr. Curry stated that the majority of the drainage goes to the back of the parcel into the wetlands. The front drainage goes into Grand River Avenue which is under the Livingston County Road Commission control.

Commissioner Rauch stated that he has trouble visualizing the 100-foot open space reduction along Grand River Avenue. This section of the road right of way is a variable mix in width. Typically for a 5-lane road, the right of way would be 125 feet wide not 90 feet wide. It would make it difficult to expand the road. Commissioner Dhaenens agreed that he has issues with the 100-foot open space buffer reduction, traffic and the location of the fiber lines.

Mr. Kassab stated that they understand the concerns with the traffic and would like to be postponed to make adjustments and see if they can locate the buildings further back from Grand River and Dorr Roads.

Moved by Commission Dhaenens, seconded by Commissioner Lowe to postpone public hearing #4, consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-14-100-002 located on the Southwest corner of Grand River Avenue and Dorr Road to the applicant the ability to address the setbacks from Grand River and Dorr Roads, location of fiber lines and to update the traffic study with the proposed hospital addition. **The motion carried unanimously.**

Kelly VanMarter

From: Mark Surel <mark@newvintageusa.com>
Sent: Tuesday, July 5, 2022 5:10 PM
To: Kelly VanMarter
Subject: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11

Hi Kelly

Thank you for taking moment to review and distribute my letter to the planning commission. The meetings I have been at have been enlightening with the level of detail the commission has been working on the Master Plan. Its a great plan to use as a roadmap for the future of the township; I do realize that things may need to change as times change.

My reason for reaching out is I wanted to let the commission know my opinion on the zoning change request for the acreage at Grand River/Dorr Rd to change from MDR to HDR. I do see why it would be prime real estate in that location , HDR will increase the profitability of the developer with advantages that I cannot see for the *current* residents of Genoa Township.

I oppose the change for several reasons:

1. The high density apartments do not seem to fit in the overall countryside/rural vision/appeal of the area
2. Traffic at that intersection is already getting bad, adding 204 apartments will only worsen the growing issue
3. We as residents should never "trade down". Going from houses to apartments seems to me a trade-down, we should always be trading up.
4. The planning commission has done a great job and worked really hard setting up zones for each type of use and we should try our best to stay with the plan, especially in a high visibility area as that location.

Thank You

Mark Surel
3333 Pineridge Ln

Mark Surel
President
NVU INC
ph 248.850.5482
fx. 248.565.8291
www.newvintageusa.com



THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

From: [Judith Workman](#)
To: [Kelly VanMarter](#)
Subject: Proposed zoning change
Date: Tuesday, July 5, 2022 8:25:51 PM

Hello,

Unfortunately, I will be out of town on 7/11 for the meeting where this proposed change is to be considered. Please share with all board members that I am vehemently opposed to this change as it, again, goes against the master plan. The proposed area is currently zoned for medium density. I have no idea why a high density change would even be considered except for financial gain, which is absolutely the wrong reason!

Our township is beautiful! Adding in high density areas will not continue the current attractiveness that all enjoy.

I find it disturbing that the board continues to look at zoning changes that are not in accordance with the master plan. Hopefully they will realize that the majority of residents live here BECAUSE the area is not high density.

Sincerely,
Judith Workman
5730 Pineridge Lane
Brighton, MI 48116

Sent from my iPad

Kelly VanMarter

From: Mark Surel <mark@newvintageusa.com>
Sent: Wednesday, July 6, 2022 2:11 PM
To: Kelly VanMarter
Subject: Re: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11
Attachments: 06 Master Plan-Future Land Use - Map.pdf; Zoning Map Sept 2020.pdf

Hi Kelley

Just a quick follow-up. I personally am opposed to apartments over traditional homes and commercial in the current and future plans for a few reasons:

1. The current housing market has driven rental unit prices to extremely high levels pricing many out.
2. I would consider an apartment a "temporary" housing where ownership of the dwelling is not cared for in the same way as a traditional home.
3. What I have witnessed living in other areas that have built apartments, over time apartments rarely hold their value in rent, appearance or quality of tenants.
4. Commercial stores/businesses are a more long-term solution with pride in ownership.

Thanks for your time!

I would oppose this move to HDR in the future at this location as laid out in the draft master plan. I know they have to go somewhere, how about down Herbst?

Mark Surel
3333 Pineridge Ln

Mark Surel
President
NVU INC
ph 248.850.5482
fx. 248.565.8291
www.newvintageusa.com



THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

On Wednesday, July 6, 2022 at 11:15:24 AM EDT, Kelly VanMarter <kelly@genoa.org> wrote:

Mark,

Thank you for your comments and your involvement in the Master Plan process. I will share your email with the Planning Commission.

Just to clarify a few things for you, although the current underlying zoning of the property is neighborhood commercial and medium density residential, the Town Center Overlay zoning would control if there was any new development proposed (see Section 9.02.03). The existing master plan designation for the property is for Town Center District. The Town Center district allows up to 14 units per acre by right or 28 units per acre with special land use. It also would allow commercial uses. The proposed project is for 6.23 units per acre which is significantly less dense than the current overlay zone and master plan. I know the overlay is confusing so I just wanted to share this with you.

Lastly, in the current draft plan of the Master Plan, the property is designated as high density residential and mixed use which would allow for multi-family dwellings.

Please let me know if you have any questions.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: Mark Surel <mark@newvintageusa.com>
Sent: Tuesday, July 5, 2022 5:10 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11

Hi Kelly

Thank you for taking moment to review and distribute my letter to the planning commission. The meetings I have been at have been enlightening with the level of detail the commission has been working on the Master Plan. Its a great plan to use as a roadmap for the future of the township; I do realize that things may need to change as times change.

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Thank You

Mark Surel

3333 Pineridge Ln

Mark Surel
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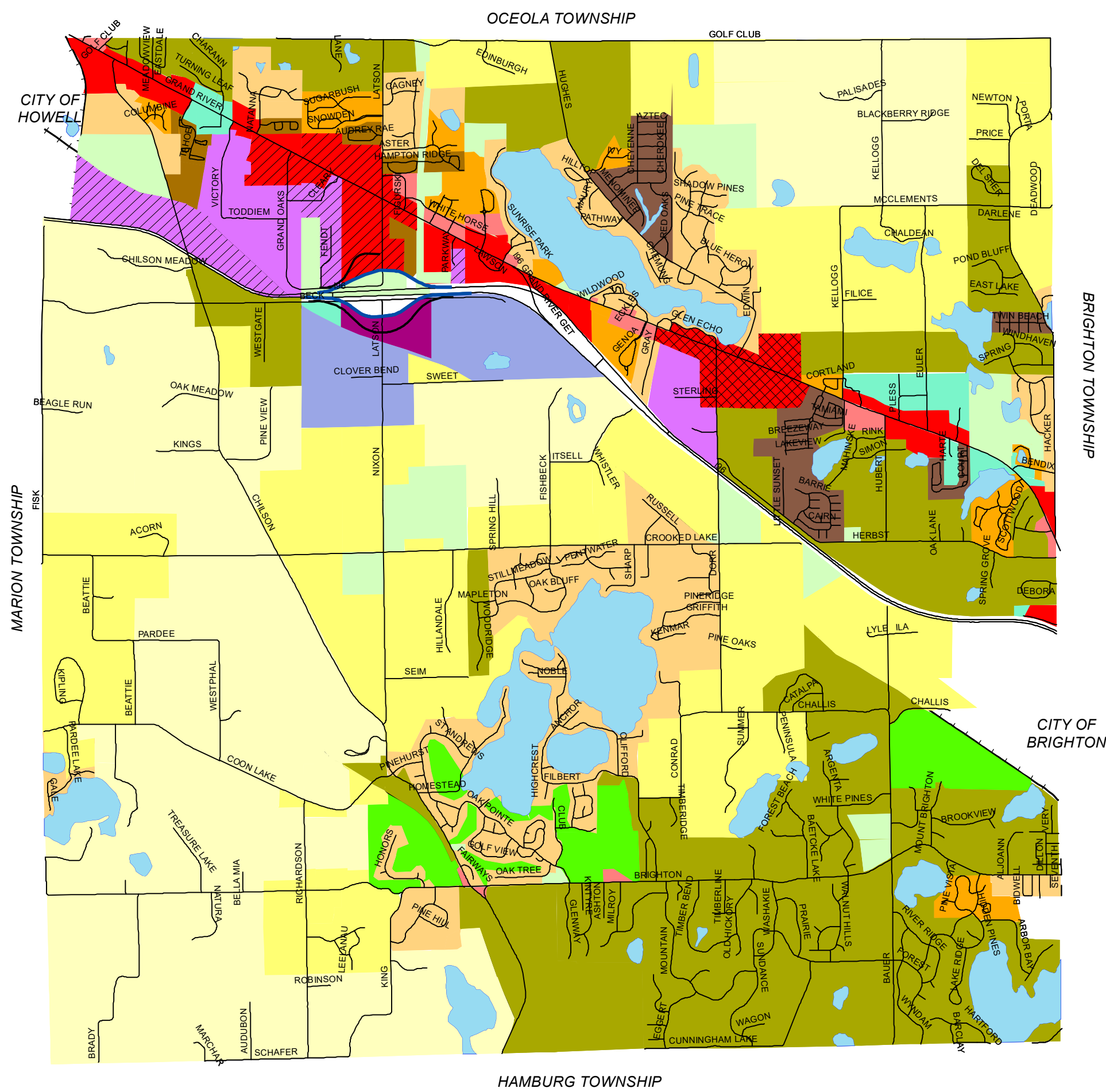


THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

MAP 7

Future Land Use

Master Plan Update
Genoa Township
Livingston County, MI



- AGRICULTURE/COUNTRY ESTATE - 5 acres per unit
- LARGE LOT RURAL RESIDENTIAL - 2 acres per unit
- LOW DENSITY RESIDENTIAL - 1 acre per unit
- SMALL LOT SINGLE FAMILY RESIDENTIAL - 2 to 3 units per acre
- MEDIUM DENSITY RESIDENTIAL - 5 units per acre
- HIGH DENSITY RESIDENTIAL - 8 units per acre
- MANUFACTURED HOUSING
- NEIGHBORHOOD COMMERCIAL
- GENERAL COMMERCIAL
- REGIONAL COMMERCIAL
- MIXED-USE TOWN CENTER
- OFFICE
- INDUSTRIAL
- RESEARCH AND DEVELOPMENT
- PUBLIC/INSTITUTIONAL/UTILITIES
- PRIVATE RECREATION
- INTERCHANGE CAMPUS
- INTERCHANGE COMMERCIAL

December 2015



Sources: MCGI, Livingston County, Genoa Twp



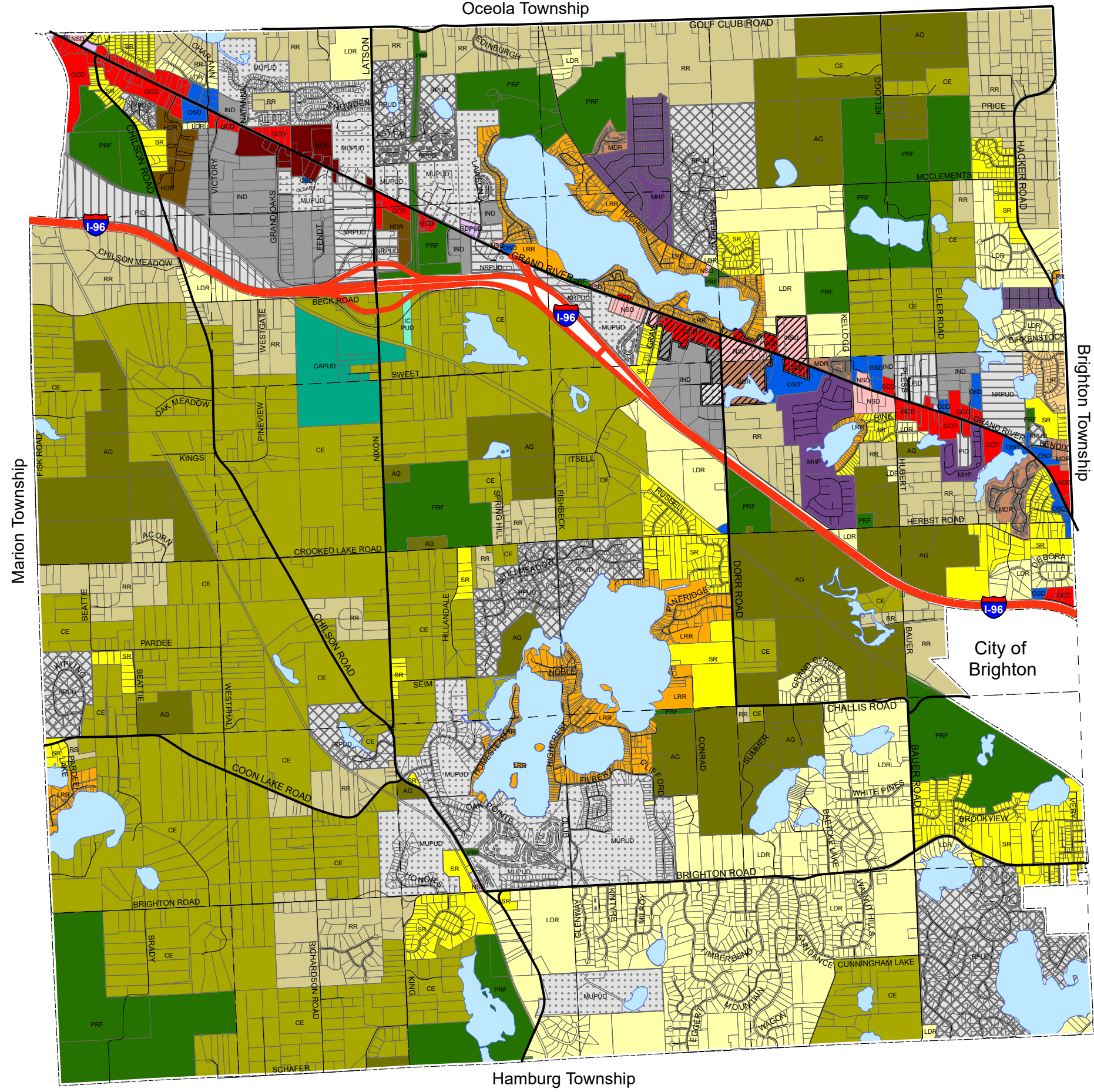
Zoning Map

Genoa Charter Township

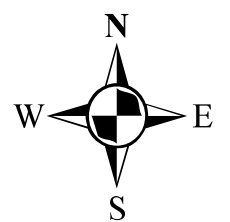
Livingston County, Michigan

Legend

	AG		GC
	CE		NS
	RR		OS
	LDR		NRPUD
	SR		IND
	LRR		PID
	UR		PRF
	MDR		MUPUD
	HDR		RDPUD
	RPUD		Town Center
	MHP		CAPUD
	RC		ICPUD



- Updates:
- 04/11/08 - Multiple Revisions (42 parcels)
 - 09/12/08 - 4489 & 4495 Oak Pointe Drive (LRR)
 - 02/25/11 - United Way Conditional Rezoning (OSD)
 - 08/06/12 - 7777 Bendix Rezoning (OSD)
 - 10/2/12 - Corrected Map re. court stipulation for Pet Ritz from 05/18/2006 (AG)
 - 11/29/12 - Corrected Map re. Zeeb property approved 3/15/04 (MUPUD)
 - 01/07/13 - Dakota (14-100-014) Conditional Rezoning (OSD)
 - 10/10/13 - Corrected Map re. (29-200-036) - was rezoned 8/18/03 (RPUD)
 - 11/13/14 - Removed Lucy Rd 425 Area, Rezone Latson Elementary (09-100-036;RR-NRPUD), Correct Brighton Lake Rd. Error (RPUD-LDR)
 - 05/04/15 - Red Olive (05-400-025) to NRPUD
 - 06/10/15 - Chestnut Landing Rezoning (GCD/TC to GCD)
 - 9/12/15 - Cleary University Rezone to MUPUD
 - 03/27/16 - Lakeshore Village (06-400-015) from MDR to HDR
 - 09/18/16 - Oliveto Rezone (12-100-007,008,010-013) RR & PRF to CE
 - 06/17/18 - Filmore Park Rezoning (PRF)
 - 08/31/18 - Chestnut Springs Rezoning (LDR)
 - 05/12/19 - Birkenstock Self Storage Rezoning (PID)
 - 07/19/20 - Premier PUD Rezoning (RDPUD)
 - 08/02/20 - Blble Baptist Rezoning (LDR)
 - 08/16/20 - Versa S. Latson Rezoning (CAPUD & ICPUD)



1 inch = 3,500 feet

Official Zoning Map
 Adopted May 2, 2005, Revised Sept. 4, 2020
 Created by: Kelly VanMarter
 Basemap layers provided by:
 Livingston County GIS

From: [Brittney Kirby](#)
To: [Kelly VanMarter](#)
Subject: Genoa Re-Zoning
Date: Thursday, July 7, 2022 8:45:36 PM

Hi Kelly,

I saw that there is a public hearing on Monday to discuss rezoning a section of Genoa Township on Dorr Rd and Grand River to allow for 204 apartments to be built. I think it's wonderful that we are looking to build affordable housing options in our township where currently there are few to none. People of every income level should have the right and ability to enjoy everything our beautiful township has to offer. There are a few neighbors who are worried about traffic but as long as that's taken into consideration, I think the benefits far outweigh any concerns.

Thanks again!
Brittney Kirby
Genoa Resident

Sent from my iPhone

From: [Mike Kupfer](#)
To: [Kelly VanMarter](#)
Subject: Dorr Rd Grand River Apartment Proposal .
Date: Thursday, July 7, 2022 9:08:35 PM

Hi Kelly , I am writing to voice my concern and strong opposition to the proposed zoning change allowing a 204 apartment complex at Dorr Rd and Grand River . Adding this complex will further tax the already crowded roads in the area. Please do not make the same mistakes Novi and Wixom did by over developing this beautiful township. I trust the zoning commission will do the responsible thing and deny any zoning changes for the 50 acre parcel. Thank you and as always I am attaching a picture of lake Chemung I took tonight from my deck . This is about 1/8 of a mile from the proposed apartment complex .



From: [Eda Biegas](#)
To: [Kelly VanMarter](#)
Subject: Proposed rezoning of parcels 4711-11-300-014 and 4711-14-100-002
Date: Wednesday, July 13, 2022 5:14:15 PM

To the planning committee,

First of all, I want to thank you all for taking into consideration the concerns expressed by the residents of Genoa Township at Monday's meeting.

I understand that eventually the corner of Dorr Road and Grand River will be developed. I am grateful that you are looking at the future traffic issues that are inevitable and the 100 foot setback.

I was hoping that you would also take into consideration the proposed development size. I know that it's financially beneficial for the developer to build as many units as possible on this property but is it too many for the good of the community? Is it really necessary to build two story units? Or to have quite so many units. I ask that you consider a scaling down of the project to help with the traffic not only from this project but for future projects as well.

Thank you for your time,

Eda Biegas

1950 Genoa Cir, Howell, MI 48843

734-751-8154

Kelly VanMarter

From: Kayla Lerma <kaylamarielerma@gmail.com>
Sent: Sunday, November 13, 2022 1:41 PM
To: Kelly VanMarter
Subject: Apartment Complex Dorr/Grand River

Hello Genoa Trustees,

I was unable to attend the meeting in person but I wanted to have the voice of me and my family heard by the board. We are against such a large apartment complex being built on the corner of Dorr and Grand River. Not only would it bring more traffic to the area that is NOT prepared for it, but also it is just too large for the area. We drive Dorr rd daily and my kids always enjoy seeing the flocks of geese and sandhill cranes and even sometimes deer in that field. Also we moved into the community because it was not an urban area but there were cornfields and forests that provided a natural colorful view. The area is being built up so much and so fast that my kids have even mentioned they are sad for the animals because trees are being cut down.

Please don't allow such a large apartment complex be built and please consider not only the "people" who live in genoa township but also the wildlife that enjoy the more rural area we have here being part of Livingston County.

Kayla Lerma and Family
3205 Old Carriage Trail
Brighton, MI 48116

August 31, 2022

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Legacy Apartments – PUD Rezoning and Conceptual Plan Review #3
Location:	Southeast corner of Grand River Avenue and Dorr Road
Zoning:	NSD and MDR with TC Overlay

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Grand River Dorr, LLC requesting establishment of an RPUD for 51.9 acres of land at the southeast corner of Grand River and Dorr.

A. Summary

1. **PUD Qualifying Conditions:** based upon our review, the qualifying conditions of Section 10.02 are satisfied. The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.
2. **Rezoning Criteria:**
 - a. As a PUD project, the request may be viewed as consistent with the intent and goals/objectives of the Master Plan.
 - b. HDR rezoning may be viewed as appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
 - c. We believe the RPUD is reasonable provided the provisions of Section 10.03.01 are met to the Township’s satisfaction.
3. **Conceptual PUD Plan:**
 - a. Deviations are sought for side and rear parking setbacks, excess parking spaces, grading (but not structures) within the natural feature setback, and from the requirement for a 100-foot open space depth along exterior public roadways.
 - b. Revisions to the plan have improved upon the parking setback and open space depth deviations previously discussed.
 - c. Per the previous meeting, the applicant is working on building material calculations to determine whether deviations are necessary (or not).
4. **Draft PUD Agreement:**
 - a. The Agreement must identify the deviations sought as part of the PUD.
 - c. We suggest additional language be provided with respect to the preservation and maintenance of open space/conservation areas.
 - d. If a phased project is proposed, each phase must be described and outlined.
 - e. The applicant must address any comments provided by staff and/or the Township Attorney.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The request is to establish a Residential Planned Unit Development (RPUD) for approximately 51.9 acres of land at the southeast corner of Grand River and Dorr. Because of the split-zoned nature of the subject area (NSD and MDR with TC overlay), and the fact that the RPUD is an overlay district, the overall request includes rezoning of the subject site to HDR.

The RPUD proposes development of 204 apartment units within 18 buildings, and an accessory clubhouse and pool. The wetland areas, which account for approximately 29 acres of the property area, will not be disturbed and will be preserved as open space.

Procedurally, following the required public hearing, the Planning Commission is to put forth recommendations to the Township Board on the NSD/MDR/TC to HDR rezoning, RPUD overlay zoning, Conceptual PUD Plan, Environmental Impact Statement and draft PUD Agreement.

C. Qualifying Conditions

We have reviewed the proposal for compliance with the PUD Qualifying Conditions (Section 10.02), as follows:

- 1. Single Ownership.** The application forms identify Grand River Dorr, LLC as the property owner, and note that the property will be developed, owned and operated by a single ownership entity.
- 2. Initiated by Petition.** The property owner has initiated the request, including applications for rezoning, PUD, and site plan review.
- 3. Minimum Site Area.** The site provides approximately 51.9 acres, which exceeds the 20-acre minimum to qualify for PUD consideration.
- 4. Benefits.** The submittal references preservation of natural features (approximately 29 acres of wetland areas) and common open space for passive and active recreational use (a clubhouse and pool, as well as a walking trail, pocket parks and a dog park).

- 5. Sewer and Water.** The site is currently served by public water and sanitary sewer; however, the Commission should consider any technical comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority under this criterion.

D. Rezoning Criteria

We have reviewed the proposal for compliance with the Criteria for Amendment of the Official Zoning Map (Section 22.04), as follows:

- 1. Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.**

The Township Master Plan and Future Land Use map identify the subject site as Mixed-Use Town Center.

Per Chapter 5 of the Master Plan:

This category includes a mixture of uses integrated into a traditional-style development of high density single family homes, attached and detached, along with various commercial uses including retail and office. The intent is to create a destination in the Township as an alternative to the consistent strip development that currently exists along Grand River Avenue from Howell to Brighton.

On its own, rezoning to HDR without the RPUD would be difficult to justify given the statement above; however, the inclusion of an RPUD provides the Township with certain assurances that will help to uphold the intent of the Master Plan.

The request may also be viewed as compatible with several goals of the Master Plan, including:

- Accommodate a variety of land uses that are located in a logical pattern and complement community goals, the surrounding land uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.
- Provide land owners with reasonable use of their land in a manner that is compatible with adjacent land uses and the overall land use plan for the Township and the capacity of infrastructure.
- Provide a variety of housing styles, types, and densities to support needs of residents.

With respect to the lack of mixed use component (residential only; no office or retail), the applicant has noted a change in development conditions since the Plan's adoption.

Based on the above, we are of the opinion that the overall request (HDR rezoning and inclusion of the RPUD overlay) may be viewed as consistent with the Township Master Plan.

- 2. Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.**

As previously noted, the site contains approximately 29 acres of regulated wetlands. These areas will not be disturbed and will be preserved as part of the project.

- 3. The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.**

In response to this criterion, the applicant cites the lack of interest in the property, despite having been for sale and promoted for conventional TC development for many years.

- 4. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.***

The RPUD is an overlay district, which allows the host of permitted and special land uses of the underlying zoning district.

As proposed, the underlying district would be HDR, which allows for multiple-family apartments with up to 8 units per acre and 24 units per building.

As part of the proposed PUD, the applicant will restrict the project density and number of units per building to less than what conventional HDR zoning would allow.

- 5. The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.***

As noted under our review of the PUD Qualifying Conditions, the site is served by public utilities.

The applicant must address any additional comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority related to this criterion.

This includes any comments by the Township Engineer on the revised traffic study.

- 6. The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.***

Township-wide, there is an overall lack of land planned/zoned for HDR/multiple-family uses. While the TC overlay provides some allowance, it requires a non-residential component, as well.

- 7. Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.***

Similar to previous comments, conventional HDR rezoning on its own may not be fully justifiable; however, the inclusion of the RPUD overlay provides the Township with assurances that the property will be developed in a manner consistent with the Master Plan and site constraints.

In our opinion, use of the RPUD overlay is reasonable provided the provisions of Section 10.03.01 are met to the Township's satisfaction.

- 8. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.***

This request has not been submitted within the past year.

E. Conceptual PUD Plan

We have reviewed the proposal for compliance with the Residential PUD and Conceptual PUD Plan standards (Sections 10.03.01 and 10.07.01, respectively), as follows:

- 1. Density.** The submittal does not include a parallel plan to determine base density. However, based on the definition, which allows inclusion of up to 25% of wetland area, the proposal results in a density of 6.2 units per acre.

The proposed density is less than the 8 units per acre allowed for a conventional HDR development (as well as the 28 units per acre allowed as part of mixed-use project under the current TCOD).

- 2. Dimensional Standards.** The proposed buildings meet or exceed conventional HDR setback requirements.

The original submittal sought deviations to reduce side and rear setbacks for parking lots and drive aisles. However, the revised plan appears to have increased these setbacks to a point where they are compliant.

The proposal exceeds the maximum parking allowance, for which an additional deviation is sought. The minimum parking requirement is 408 spaces. Given the site design, which includes garages and parking spaces contiguous to the garages, as well as guest parking throughout the development, there are 700 parking spaces proposed.

The submittal does not include any structures that encroach into the 25-foot natural feature setback; however, notes indicate that grading is proposed within 10 feet of the wetland in certain areas.

Lastly, the open space requirements for an RPUD (outlined below) require an open space depth of 100 feet along exterior public roads. This standard is not met along either Grand River or Dorr, and a deviation has been requested (though additional setback and potential future right-of-way have been provided in the revised plan).

- 3. Open Space.** The proposed development results in an open space ratio of 55.8%, which exceeds the 25% minimum threshold.

The proposed open space includes protection of the wetland areas, as well as a large courtyard through the middle of the development.

Active and passive recreational opportunities are also provided via a clubhouse, pool, walking trails, sidewalks, dog park, and pocket parks.

- 4. Additional Considerations.**

Landscaping: the submittal includes a detailed landscape plan depicting numerous plantings throughout the site, including 50-foot wide buffers along both external roadways. A detailed review of the landscape plan will be provided as part of the Final PUD Plan review.

Lighting: the Conceptual PUD Plan does not include a lighting plan. A full lighting plan, per Section 12.03, must be provided with the Final PUD Plan submittal.

Refuse/Recycling: the revised plans note that “trash collection will be provided via individual trash carts for each unit with curb side trash collection.”

Pedestrian Circulation: the project includes public sidewalks along both road frontages (Grand River and Dorr), as well as an internal connection of sidewalks and trails.

Site Amenities: in addition to items previously noted, the project includes EV charging stations, a gazebo, bicycle racks, park benches, fountains within ponds, and decorative entrance features (as depicted on Sheets LSC 4 and 5).

Buildings: the elevation drawings note a mix of materials, including brick and multiple types of siding. Unless deviations are sought, the proposed buildings must comply with the standards of

Section 12.01. The revised submittal notes that the applicant is working on material calculations and will provide additional information to determine if standards are met or if deviations are needed.

Mailbox Clusters: the plans provide for a mailbox cluster in the southeasterly portion of the development. In response to our previous comment, the applicant has stated that “the proposed mailbox and package kiosk is sized appropriately to serve all residents of the development.”

F. DRAFT PUD AGREEMENT


The applicant must address any comments provided by staff or the Township Attorney. The current submittal did not include a revised PUD Agreement, so the following comments are carried-over from our previous review letter:

- The revised document references deviations, but does not identify them. Any and all deviations sought must be specifically listed within the Agreement.
- Article VI includes a very general statement regarding maintenance of open space. In our opinion, additional language (such as that noted in Section 10.05.04(b)) should be incorporated into this section.
- Article IV references phasing for the project; however, neither the Conceptual PUD Plan nor the Agreement describe a phased project. If a phased development is proposed, each phase needs to be described in the Agreement and depicted on the Concept Plan.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT



Brian V. Borden, AICP
Michigan Planning Manager

September 7, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Legacy Apartments
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Legacy Apartment Homes conceptual PUD plan and accompanying documents submitted on August 22, 2022. The plans were prepared by PEA Group on behalf of Grand River Dorr, LLC. The site is located on the southeast quadrant of the Grand River Avenue and Dorr Road intersection. The proposed development consists of 204 multi-family units and includes sanitary sewer and water main improvements, on-site storm sewer and detention, and private road improvements. The Petitioner is also proposing to rezone the site from Neighborhood Services District and Medium Density Residential with Town Overlay to High Density Residential and Residential Planned Unit Development. We offer the following comments:

GENERAL

1. The Livingston County Road Commission will need to approve both access drives to the site, and this approval should be provided to Genoa Township prior to final approval.
2. The response letter provided by Grand River Dorr, LLC., dated August 22, 2022, provided modified setbacks on Grand River Avenue and Dorr Road, and referenced communication with the Livingston County Road Commission. Communication with the Road Commission regarding the suitability of the proposed setbacks for future ROW needs should be provided to the Township for their records.
3. The Traffic Impact Study for the proposed development was updated to include the proposed St. Joseph Mercy Hospital expansion, and no additional road improvements were required. The development will increase traffic in the localized area, however, the improvements presented in the traffic study should mitigate the impacts.

DRAINAGE AND GRADING

1. The detention calculations shown on sheet C3.1 should be updated to the new Livingston County Drain Commissioner standards as part of the final site plan submittal. The new standards can be found here: <https://www.livgov.com/drain/Pages/procedures.aspx>.

2. The petitioner is proposing multiple connections to the existing storm sewer on Grand River Avenue. The Livingston County Road Commission will need to approve all proposed connections to their storm sewer system and said approval should be provided to Genoa Township prior to final site plan approval.
3. The Petitioner is proposing grading within the 25-foot wetland setback. This will require a special land use permit or should be addressed in the PUD Agreement.

UTILITIES

1. A utility impact study should be completed by MHOG for the proposed development, as it will account for more than 100 new residential units. The downstream sanitary sewer pump stations have known capacity concerns, and improvements will need to be considered as part of this development.
2. The final site plan should include MHOG standard details, which can be found here: <https://www.mhog.org/newdevelopment/designstandards>.
3. After final site plan approval, the Petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.

Tetra Tech has reviewed the documents and the only issue of concern is the connection of the storm collection system to the public road system. LCRC will need to provide their review and approval for use of their facilities for this added storm drainage. Other than this concern we have no further engineering related issues regarding traffic, water, and sewer utilities that would arise from this change in zoning classification. We recommend the above comments be addressed prior to final site plan approval.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

August 25, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Legacy Apartments PUD
6080 W. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 25, 2022 and the drawings are dated Feb. 22, 2022 with latest revisions dated April 18, 2022. The updated traffic study is dated August 18, 2022, and the revised landscape and setback plans are dated April 18, 2022. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere, lighting, and large canopy trees. A number of trees must be relocated, the species modified, or the road width increased to not overhang the roadways. **(A note was provided to address plantings at final site and construction review on the previous submittal, however the arisit rendering indicates over 400 large canopy trees lining the roadways throughout the development. As they grow and reach full growth, nearly all species will either partially or completely encroach the roadway. Additional consideration shall be made to placement and species, and will require the ownership to include the overhead clearance requirement in the facility maintenance plan.)**

IFC 503.2.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org



Livingston County Department of Planning

October 20, 2022

Genoa Charter Township Board of Trustees
c/o Polly Skolarus, Township Clerk
Genoa Charter Township Hall
2911 Dorr Road
Brighton, MI 48116

Kathleen J. Kline-Hudson
AICP, PEM
Director

Robert A. Stanford
AICP, PEM
Principal Planner

Scott Barb
AICP, PEM
Principal Planner

**Re: Livingston County Planning Commission Review of Rezoning Z-36-22,
NSD/MDR with TC Overlay to HDR/RPUD, in Sections 11 & 14**

Dear Board Members:

The Livingston County Planning Commission met on Wednesday, October 19, 2022 and reviewed the zoning amendment referenced above. The Livingston County Planning Commissioners made the following recommendation:

Z-36-22 Approval.

The proposed rezoning to HDR/RPUD is consistent with the goals and intent of the Genoa Township master plan, it is supported by existing infrastructure, and it will preserve and protect natural features that might not be protected under other forms of development.

Copies of the staff review, and draft Livingston County Planning Commission meeting minutes are enclosed. Do not hesitate to contact our office should you have any questions regarding this county action.

Sincerely,

Kathleen J. Kline-Hudson

Kathleen J. Kline-Hudson
Director

Enclosures

c: Chris Grajek, Chair Genoa Charter Township Planning Commission
Kelly VanMarter, Township Manager, Genoa Charter Township

Meeting minutes and agendas are available at:
<https://www.livgov.com/plan/Pages/meetings.aspx>

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

(517) 546-7555
Fax (517) 552-2347

Web Site
co.livingston.mi.us

6. **CALL TO THE PUBLIC:** Joann Haas, Cohoctah Township resident, spoke to the County Planning Commission with concerns over the potential solar farm developments that are planned for Cohoctah and Conway Townships. She spoke to the amount of valuable prime farmland and environmental areas that could be impacted by potential solar farm land use.

7. **ZONING REVIEWS:**

A. **Z-36-22 GENOA TOWNSHIP, REZONING**
NSD NEIGHBORHOOD SERVICE DISTRICT/MDR MEDIUM DENSITY RESIDENTIAL
WITH A TC TOWN CENTER OVERLAY TO HDR HIGH DENSITY RESIDENTIAL/RPUD
RESIDENTIAL PLANNED UNIT DEVELOPMENT IN SECTIONS 11 AND 14.

Current Zoning: NSD Neighborhood Service District & MDR Medium Density Residential with a TC Town Center Overlay

Proposed Zoning: HDR High Density Residential/RPUD Residential Planned Unit Development Sections 11 and 14

Township Master Plan:

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates the site as Mixed Use and High Density Residential:

The Mixed-Use Town Center category includes a mixture of uses integrated into a traditional-style development of high-density single-family homes, attached and detached, along with various commercial uses including retail and office. The intent is to create a destination in the Township as an alternative to the consistent strip development that currently exists along Grand River Avenue from Howell to Brighton.

The High Density Residential designation refers to higher density condominiums, apartments and other multiple family dwellings and it is found within areas served, or planned to be served, by public water and sanitary sewer. Development should respond to infrastructure and land capabilities and should not exceed 8 units per acre. High density residential developments will be served by public water and sewer.

Additionally, the Future Land Use Chapter of the Genoa Township Master Plan establishes a growth boundary that marks the separation between rural and urban areas and defines land that can efficiently support urban services such as sewer, water, and roads. The subject site is within the Primary Growth area that is currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks, and mixed-use centers.

County Comprehensive Plan:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

Township Planning Commission Recommendation: Approval. There were several public comments at the September 12, 2022, public hearing expressing concern regarding traffic, the traffic light, the power grid, retention pond, drainage in Lake Chemung, the view from neighboring residences, and apartment rentals.

Staff Recommendation: Approval. The proposed rezoning to HDR/RPUD is consistent with the goals and intent of the Genoa Township master plan, it is supported by existing infrastructure, and it will preserve and protect natural features that might not be protected under other forms of development.

Commission Discussion: Commissioner Funk asked if the audience at the Township Planning Commission meeting was well-informed of the project and why there are so many concerns over the site? Director Kline-Hudson and Commissioner Ikle were present at the Genoa Township Planning Commission public hearing, and they explained the site plan concerns that they heard from area residents. Commissioner Ikle explained the history of the site and why a development is now being proposed at this

location many years later. He noted that the Town Center Overlay district that is currently in place, does not have any setback requirements and the proposed RPUD has setbacks, however, the Genoa Township Planning Commissioners are requesting that the setbacks of the PUD be increased. Commissioner Ikle also noted his concerns about the primary entry to the development and that he did not understand why the applicant stated that a boulevard entrance is not permitted by the Livingston County Road Commission.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER SCHROCK TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER BOWDOIN.

Motion passed: 5-0

B. PA-01-22: HOWELL TOWNSHIP PA 116 FARMLAND AGREEMENT: Section 9, 40 ACRES, LUKE AND ANNA BOWMAN.

Commission Discussion: None.

Commission Comment: None.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER BOWDOIN TO RECOMMEND APPROVAL. SECONDED BY COMMISSIONER IKLE.

Motion passed: 5-0

C. PA-02-22: HOWELL TOWNSHIP PA 116 FARMLAND AGREEMENT: Section 9, 40 ACRES, LUKE AND ANNA BOWMAN.

Commission Discussion: None.

Commission Comment: None.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER IKLE TO RECOMMEND APPROVAL. SECONDED BY COMMISSIONER FUNK.

Motion passed: 5-0

8. OLD BUSINESS:

- A. Fall 2022 Citizen Planner Educational Series:** This series begins October 27th, 2022. Planning Commissioners Ikle and Schrock will be attending as well as staff.
- B. 2023-2027 Parks & Open Space Plan:** Public comment period will soon begin for the plan. It is hoped that a public hearing for the plan will be held at the December 21, 2022 County Planning Commission meeting.

9. NEW BUSINESS: None.



**LIVINGSTON COUNTY PLANNING DEPARTMENT
REZONING REQUEST - | -
STAFF REPORT**

**CASE NUMBER:
Z-36-22**


COUNTY CASE NUMBER:	Z-36-22	TOWNSHIP:	Genoa
REPORT DATE:	October 7, 2022	SECTION NUMBER:	11 and 14
STAFF ANALYSIS BY:	Kathleen Kline-Hudson	TOTAL ACREAGE:	51.9 Acres

APPLICANT / OWNER:	Grand River Dorr, LLC
LOCATION:	The southeast corner of the Grand River Avenue and Dorr Road intersection
LAND USE:	Vacant

CURRENT ZONING:	REQUESTED ZONING:
NSD/MDR with TC Overlay	HDR/RPUD
PERMITTED/SPECIAL USES (Not all inclusive):	PERMITTED/SPECIAL USES (Not all inclusive):
<p>Permitted: (not all inclusive) NSD: Retail establishments and shopping centers; business services; child care centers; bed & breakfast inns, hotels and motels; person and business services. MDR: Single-family, two-family, townhouse, and row house residential uses; housing for the elderly; accessory home occupations. Town Center Overlay: Residential Uses such as single-family, two-family and multiple-family uses; Civic Uses such as churches and schools; and Commercial Uses such as retail establishments, banks and offices.</p>	<p>Permitted: (not all inclusive) HDR: Single-family, two-family, townhouse, row house and multi-family residential uses; housing for the elderly; accessory home occupations; keeping of pets; adult foster care, essential public services; publicly owned parks. RPUD: Open space or cluster housing projects with one of more types of residential uses.</p>
<p>Special: (not all inclusive) NSD: Laundromats; drycleaning; restaurants and bars; banks and credit unions. MDR: Adult foster care, child care centers, churches, and schools.</p>	<p>Special: (not all inclusive) HDR: Child care centers; churches; schools; public buildings and uses; golf courses. RPUD: Same as underlying residential zoning district.</p>
<p>Minimum Lot Area: NSD: 1 Acre; MDR: 10,000 sq. ft.</p>	<p>Minimum Lot Area: HDR: up to 8 units per acre; RPUD: The dimensional standards of the underlying zoning district (HDR)</p>

TOWNSHIP PLANNING COMMISSION RECOMMENDATION AND PUBLIC COMMENTS:	ESSENTIAL FACILITIES AND ACCESS:
Approval: there were several public comments at the September 12, 2022, public hearing expressing concern regarding traffic, the traffic light, the power grid, retention pond, drainage in Lake Chemung, the view from neighboring residences, and apartment rentals.	<p>Water: Public water</p> <p>Sewer: Public sewer</p> <p>Access: Access is via Grand River Avenue, a paved primary roadway</p>

EXISTING LAND USE, ZONING AND MASTER PLAN DESIGNATION:

		Land Use:	Zoning:	Master Plan:
Subject Site:		Vacant	Neighborhood Service District/Medium Density Residential with TC Overlay	Mixed Use Town Center and High Density Residential
	To the North:	Lakeside residences, Wilson Marine and various retail	General Commercial with TC Overlay and Lakeshore Resort Residential	Mixed Use Town Center and Small Lot Single Family Residential
	To the East:	Vacant land, and commercial land use such as Media One and Trends in Tile.	Neighborhood Service District, Medium Density Residential and General Commercial with TC Overlay and Office Service	Mixed Use Town Center and High Density Residential
	To the South:	Vacant land and one single-family residence	Rural Residential	Large Lot Rural Residential and High Density Residential
	To the West:	Vacant land uses, boating services, light industry and Wellbridge	Industrial, Industrial and General Commercial with TC Overlay	Mixed Use Town Center and Industrial

ENVIRONMENTAL CONDITIONS:

Soils / Topography:	The northern portion of the site consists of primarily well-drained Miami-Loam soils on nearly level to rolling topography of 0-12%. The wetland area consists of poorly drained Rifle Muck and Washtenaw Silt Loam. An upland area at the southern boundary of the site consists of well-drained Miami-Loam soils on steeper slopes.
Wetlands:	The National Wetland Inventory notes an 80-acre wetland that is present on approximately the southern 1/3 of the site. The wetland is forested and is saturated semi permanently or seasonally. Open water is visible on aerial photography.
Vegetation:	The land area north of the wetlands is devoid of most vegetation. The wetland portion of the site is heavily wooded with some scrub/shrub vegetation.
County Priority Natural Areas:	According to the map "Livingston County's High Quality Natural Areas", the large wetland that projects onto the southern portion of the site is a Priority 3 Natural Area.

TOWNSHIP MASTER PLAN DESIGNATION: LEFT OFF HERE

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates the site as Mixed Use and High Density Residential:

- The Mixed-Use Town Center category includes a mixture of uses integrated into a traditional-style development of high-density single-family homes, attached and detached, along with various commercial uses including retail and office. The intent is to create a destination in the Township as an alternative to the consistent strip development that currently exists along Grand River Avenue from Howell to Brighton.

- The High Density Residential designation refers to higher density condominiums, apartments and other multiple family dwellings and it is found within areas served, or planned to be served, by public water and sanitary sewer. Development should respond to infrastructure and land capabilities and should not exceed 8 units per acre. High density residential developments will be served by public water and sewer.

Additionally, the Future Land Use Chapter of the Genoa Township Master Plan establishes a growth boundary that marks the separation between rural and urban areas and defines land that can efficiently support urban services such as sewer, water, and roads. The subject site is within the Primary Growth area that is currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks, and mixed-use centers.

COUNTY COMPREHENSIVE PLAN:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

COUNTY PLANNING STAFF COMMENTS:

The petitioner is requesting a rezoning of two parcels totaling 51.9 acres at the southeast corner of the Grand River Avenue and Dorr Road intersection for the construction of 204 luxury apartments with a clubhouse and related site improvements. The requested rezoning is from Neighborhood Service District and Medium Density Residential with a Town Center Overlay to High Density Residential with a Residential PUD Overlay.

The Livingston County Planning Commission reviews the rezoning of this site in terms of land use, planning and zoning and does not address site plan review of the proposed development, as this is the responsibility of the Genoa Township Planning Commission and Genoa Township Board of Trustees.

The character of this area of the Township is a mix of lakeside residences surrounding Lake Chemung and strip commercial uses along Grand River Avenue. The dominant presence of boat sales and services is indicative of the lake/recreational character of the area. To the west of the site the land use character is both commercial and industrial along Sterling Drive. To the east of the site there is considerable vacant and/or open land area adjacent to the site until commercial uses resume along Grand River and the Sylvan Glen mobile home park extends from Grand River Ave. to southeast of the site. To the south of the site there is an adjacent single-family residence and considerable vacant and/or open land area and rural residences that extend to the I-96 corridor.

The zoning surrounding the subject site is a mixture of Lakeshore Residential, Medium-Density Residential, Rural Residential, General Commercial, Neighborhood Service Commercial, Office Services and Industrial. The Town Center Overlay District is present to the west, north and east of the site along both Grand River Ave. and Dorr Road.

The master planning surrounding the subject site is Mixed Use Town Center, High-Density Residential, Small Lot Single-Family Residential, Large Lot Rural Residential, and Industrial. The Town Center Master Plan Designation is present to the west, north and east of the site along both Grand River Ave. and Dorr Road.

The history of the subject site is that it has been master planned for a Genoa Town Center for approximately 10 years. The concept of this Town Center Overlay District is described as follows:

“An area has been designated for the Genoa Town Center around the intersections of Grand River Avenue with Dorr and Hughes Roads. This area is planned to become a mixed-use town center with local businesses, neighborhood service establishments and traditional residential neighborhoods. Residential uses will provide a variety of housing types including apartments on upper floors above commercial uses, traditional townhouses and single-family homes on smaller lots. The intent is that this area will be integrated into a pedestrian-friendly, walkable area with sidewalks connecting all uses and community parks and plazas integrated into the fabric of this town center area. The Town Center area has the potential to become an activity center for the Genoa Township community that will provide a defined sense of place for the Township. This area is planned for higher density development and a mixture of uses; however, for this type of development to be successful, it must be properly designed and developed. For that reason, this area is planned to be developed with a Town Center Overlay Zone, with specific design standards for traditional architecture, buildings, neighborhood form and streetscape elements, commonly referred to as traditional neighborhood design.”

The master plan concept of the Genoa Town Center Overlay District was furthered by an entire zoning ordinance chapter with regulations for the intended dense development of permitted residential, civic, and commercial uses. The only areas in the Township that are zoned Town Center Overlay District surround the Grand River Ave./Dorr Road intersection, with the subject site comprising the vast majority of this Overlay District.

The intended Multiple-family/apartment housing of this proposed RPUD is not unlike the townhouse and multiple-family housing that is permitted in the Genoa Town Center Overlay District, with the exception that in the TC Overlay District apartments are to be on upper floors above commercial use and this proposed PUD will not contain mixed use such as retail and housing.

There are many additional similarities between the TC Overlay District and the RPUD overlay. For instance, the 5 Qualifying Conditions of a PUD address many of the desired design elements of the TC Overlay District. The Genoa Township Planning Consultant states that the proposed development meets these qualifying conditions in the following way:

1. Single Ownership. The application forms identify Grand River Dorr, LLC as the property owner, and note that the property will be developed, owned and operated by a single ownership entity.
2. Initiated by Petition. The property owner has initiated the request, including applications for rezoning, PUD, and site plan review.
3. Minimum Site Area. The site provides approximately 51.9 acres, which exceeds the 20-acre minimum to qualify for PUD consideration.
4. Benefits. The submittal references preservation of natural features (approximately 29 acres of wetland areas) and common open space for passive and active recreational use (a clubhouse and pool, as well as a walking trail, pocket parks and a dog park).
5. Sewer and Water. The site is currently served by public water and sanitary sewer.

The preservation of 29 acres of high-quality wetland and woodlands on these two parcels, would not be possible if this land were split into a variety of smaller parcels; therefore, the PUD requirements of a single ownership entity and development as one integral unit, help protect the wetlands and woodlands present on the southern portion of the site. Additionally, the required benefits of a PUD will provide walking trails, and common open space (parks) that will create the pedestrian-friendly, walkable development that was desired in the TC Overlay District.

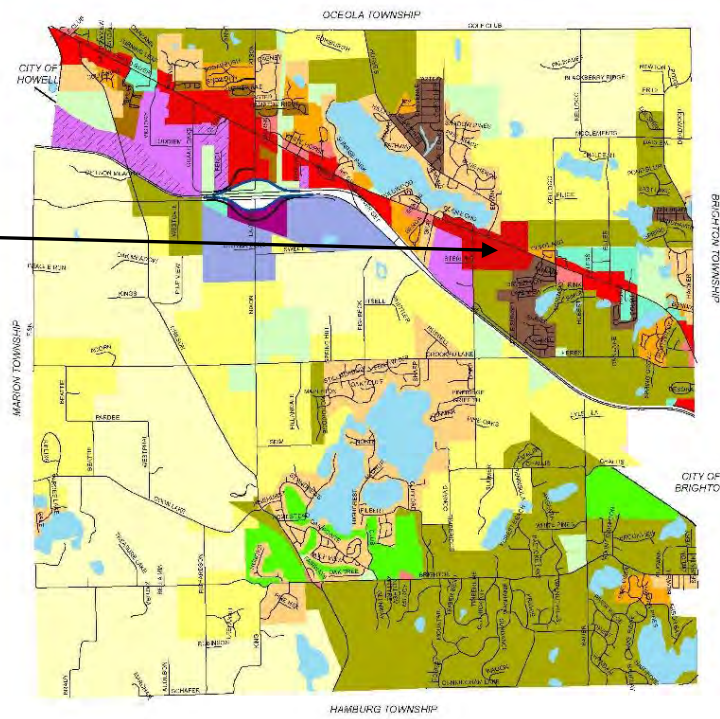
COUNTY PLANNING STAFF RECOMMENDATION:

APPROVAL: The proposed rezoning to HDR/RPUD is consistent with the goals and intent of the Genoa Township master plan, it is supported by existing infrastructure, and it will preserve and protect natural features that might not be protected under other forms of development.

EXISTING LAND USE MAP:



SITE



MAP 7
Future Land Use
 Master Plan Update
 Genoa Township
 Livingston County, MI

- AGRICULTURE/COUNTRY ESTATE - 5 acres per unit
- LARGE LOT RURAL RESIDENTIAL - 2 acres per unit
- LOW DENSITY RESIDENTIAL - 1 acre per unit
- SMALL LOT SINGLE FAMILY RESIDENTIAL - 2 to 3 units per acre
- MEDIUM DENSITY RESIDENTIAL - 5 units per acre
- HIGH DENSITY RESIDENTIAL - 8 units per acre
- MANUFACTURED HOUSING
- NEIGHBORHOOD COMMERCIAL
- GENERAL COMMERCIAL
- REGIONAL COMMERCIAL
- MIXED USE TOWN CENTER
- OFFICE
- INDUSTRIAL
- RESEARCH AND DEVELOPMENT
- PUBLIC/INSTITUTIONAL/UTILITIES
- PRIVATE RECREATION
- INTERCHANGE CAMPUS
- INTERCHANGE COMMERCIAL

December 2015

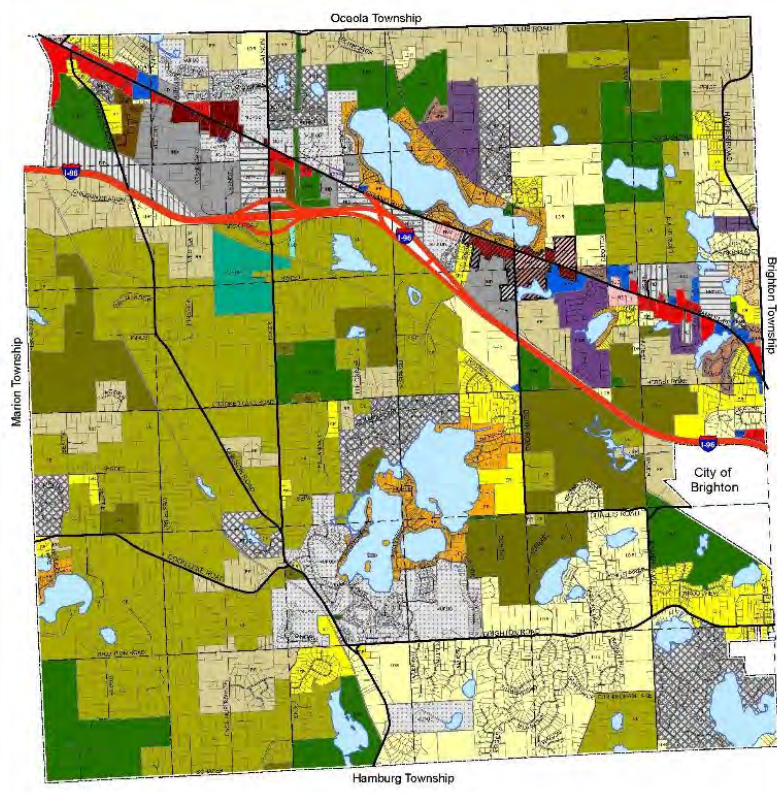
0 0.25 0.5 1 1.5 Miles

Source: MCGI, Livingston County, Genoa, Tec

LSI Planning

Zoning Map
 Genoa Charter Township
 Livingston County, Michigan

Legend



- AG
- CE
- RR
- LDR
- SR
- LRR
- UR
- MDR
- HDR
- RPUD
- MHP
- RC
- GC
- NS
- OS
- NRPUD
- IND
- PID
- PRF
- MUPUD
- RDPUD
- Town Center
- CAPUD
- ICPUD

Map Scale: 1 inch = 3,500 feet

North Arrow

Official Zoning Map
 Adopted May 2, 2005, Revised Sept. 4, 2020
 Created by: Kelly VanMarier
 Base Map Layers provided by:
 Livingston County GIS

SITE PHOTOS:



Subject Site at Dorr and Grand River



Subject Site at Southern Boundary



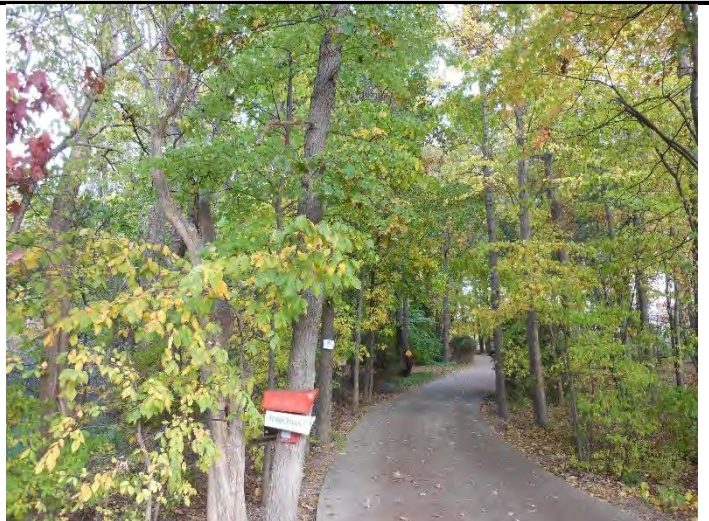
North - Wilson Marine



North - Lake Residences Near Intersection



East - Trends in Tile



South - Single-Family Residence

SITE PHOTOS:



West – Vacant Bank Site



West – Industries on Sterling Drive



Southwest – Wellbridge Rehabilitation

Jonathan E. Curry

From: Kim Hiller <khiller@livingstonroads.org>
Sent: Monday, October 17, 2022 8:33 AM
To: Jonathan E. Curry
Subject: RE: Legacy Apartments - Future Right-of-Way

ATTENTION: This email originated from outside of PEA.

Jonathan,

No, we do not have any plans to widen either of these roads at this time.

Thanks,

Kim Hiller, P.E.

Utilities and Permits Engineer
Livingston County Road Commission
3535 Grand Oaks Drive
Howell, MI 48843
Ph. (517) 546-4250
khiller@livingstonroads.org
Office Hours: M-F 7:00 AM – 3:30 PM

From: Jonathan E. Curry <jcurry@peagroup.com>
Sent: Monday, October 17, 2022 8:31 AM
To: Kim Hiller <khiller@livingstonroads.org>
Subject: RE: Legacy Apartments - Future Right-of-Way

Kim,
Are there any projects proposed by the County for roadway widening of either of these roads?

Thanks,

Jonathan E. Curry, PE

Associate | Senior Project Manager

Cell: 248.217.0422 | **Office:** 517.546.8583 ext. 1232 | **Direct:** 248.509.7227
jcurry@peagroup.com



7927 Nemco Way, Suite 115, Brighton, MI 48116
peagroup.com | [facebook](#) | [linkedin](#) | [2022 Crain's Cool Place to Work](#)

From: Kim Hiller <khiller@livingstonroads.org>
Sent: Monday, October 17, 2022 7:17 AM

To: Jonathan E. Curry <jcurry@peagroup.com>

Subject: Legacy Apartments - Future Right-of-Way

ATTENTION: This email originated from outside of PEA.

Jonathan,

Thank you for inquiring about the future rights-of-way (ROW) on Grand River and Dorr at the location of the proposed Legacy Apartments in Genoa Township. The future ROW for both Grand River and Dorr is 120 feet.

I've attached the Inter-County Highway Plan and Right-of-Way Requirements for Southeastern Michigan showing the future ROW for these roads.

Please let me know if you have any questions or need any other documentation.

Regards,
Kim

Kim Hiller, P.E.

Utilities and Permits Engineer

Livingston County Road Commission

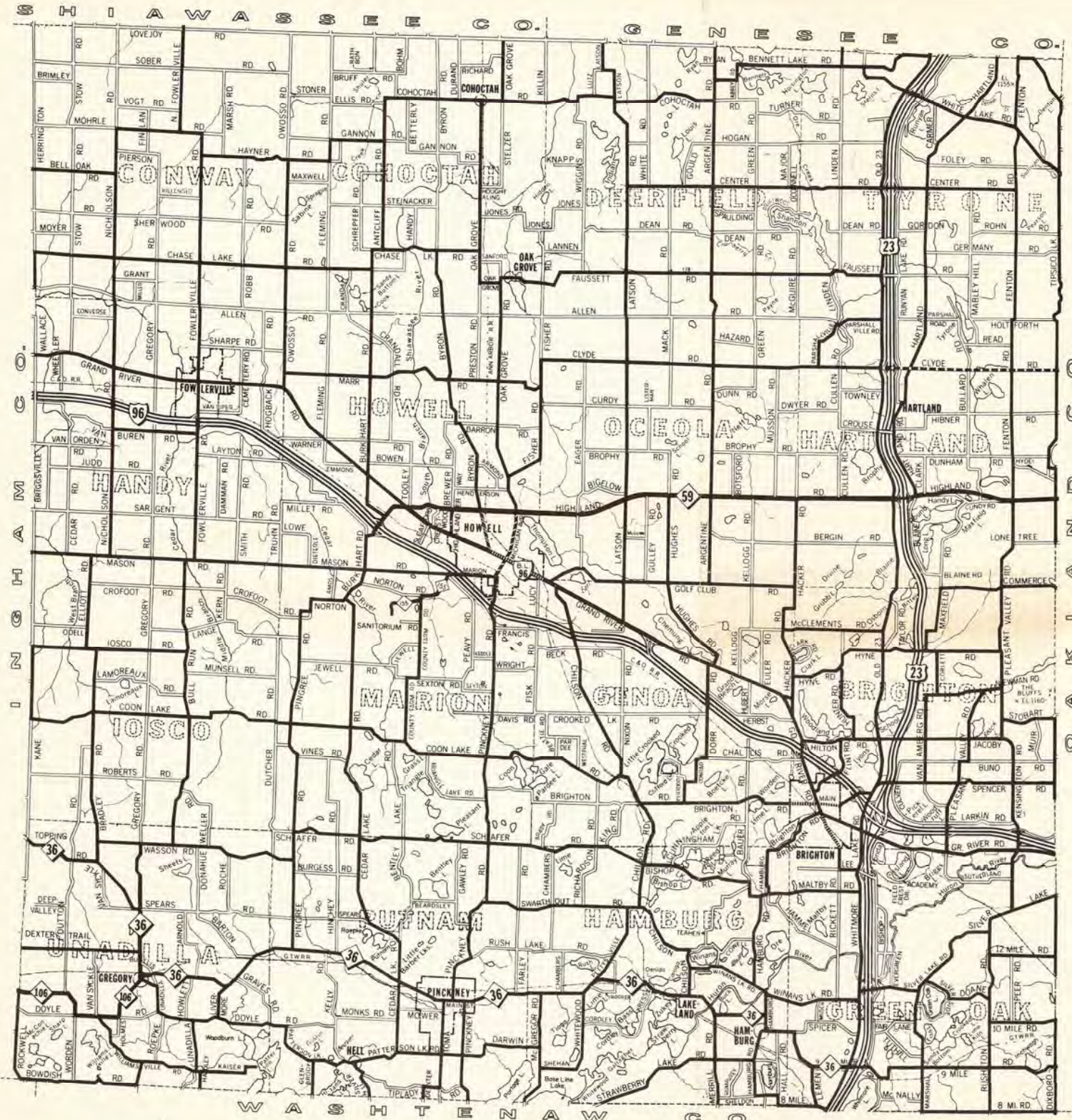
3535 Grand Oaks Drive

Howell, MI 48843

Ph. (517) 546-4250

khiller@livingstonroads.org

Office Hours: M-F 7:00 AM – 3:30 PM



THE INTER-COUNTY HIGHWAY PLAN and RIGHT-OF-WAY REQUIREMENTS FOR SOUTHEASTERN MICHIGAN

LIVINGSTON COUNTY SEGMENT

THE INTER-COUNTY HIGHWAY PLAN AND RIGHT-OF-WAY REQUIREMENTS FOR SOUTHEASTERN MICHIGAN, LIVINGSTON COUNTY SEGMENT, has been prepared in accordance with Act 361 of 1925 as amended by Act 290 of 1955. All right-of-way requirements of the Plan are as specified by the standards of the Inter-County Highway Commission of Southeastern Michigan as adopted June 26, 1967. Those right-of-way standards that have been specifically designated other than the standards are so indicated and have been established through such action of the Inter-County Highway Commission of Southeastern Michigan. The requirements so specified are normally measured from the center line of existing facilities or located center line of proposed facilities.

THIS PLAN HAS BEEN OFFICIALLY ADOPTED BY THE INTER-COUNTY HIGHWAY COMMISSION OF SOUTHEASTERN MICHIGAN ON JANUARY 4, 1967 AND AMENDED ON OCTOBER 16, 1972 IN ACCORDANCE WITH THE PROVISIONS OF ACT 361 OF 1925 AS AMENDED BY ACT 195 OF 1955.

It is not the intent of this Plan to conflict with any local right-of-way requirements that are in excess of the right-of-way requirements for those thoroughfares designated on this Plan.



Legend

Major Thoroughfare	120' Right-of-Way
Major Thoroughfare	100' Right-of-Way
Major Thoroughfare	86' Right-of-Way
Secondary Thoroughfare	120' Right-of-Way
Secondary Thoroughfare	100' Right-of-Way
Secondary Thoroughfare	86' Right-of-Way
Super Highway	204' Right-of-Way
Freeway	350' Right-of-Way

*These widths have been established through special action of the Inter-County Highway Commission of Southeastern Michigan.

Franklin S. Mayers
**inter-county
highway
commission**
of southeastern michigan
207 W. VAN DYKE AVENUE
CANTON, MICHIGAN 48103
(313) 759-2244



CERTIFIED *Franklin S. Mayers* DATE **Oct. 16, 1972**
Franklin S. Mayers, P.E.P., Executive Director

COUNTY OF LIVINGSTON
STATE OF MICHIGAN
MAP AND RESOLUTION RECEIVED FOR RECORDING
ON THE 27th DAY OF APRIL, 1973 A.D.
AT 10:00 A.M. LOCAL AND RECORDED IN LIBER. 450
PAGE 247. LIVINGSTON COUNTY RECORDS
Julia C. Blackburn
Julia C. Blackburn, Register of Deeds

GRAND RIVER DORR LLC

DBA

THE LEGACY APARTMENT HOMES

OWNER:

GRAND RIVER DORR LLC

PREPARED BY: MARK KASSAB

31550 NORTHWESTERN, STE 220

FARMINGTON HILLS, MI 48334

248-865-0066

THE LEGACY APARTMENT HOMES

CONCEPTUAL PUD SITE PLAN

APPLICATION & COMMUNITY IMPACT STATEMENT

COMMUNITY IMPACT STATEMENT

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COMMUNITY IMPACT STATEMENT

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 - 1.3 Surrounding Uses**

- 2.0 Community and Facilities Services**
 - 2.1 Police and Fire Demand**
 - 2.2 Utilities**
 - 2.3 Stormwater Management**

- 3.0 Economics**
 - 3.1 Tax Revenues Analysis**
 - 3.2 Job Analysis**

- 4.0**
 - 4.1 Natural resources Analysis**
 - 4.2 Hazardous Materials**
 - 4.3 Air Quality Impact**
 - 4.4 Groundwater Impact**
 - 4.5 Noise**

- 5.0 Traffic**

- 6.0 Development Statement**

SECTION 1: GENERAL PROJECT INFORMATION

1.1 Project Overview

The Legacy Apartment Homes is a proposed residential community consisting of 204 attached apartments with an associated clubhouse and pool. The project shall include open space and other elements as set forth in this Agreement and the PD plan. The project will include approximately 29 acres of total open space. This site is currently vacant and is zoned Neighborhood Services District (NSD) and Medium Density Residential (MDR) with Town Overlay and currently petitioning to be rezoned to High-Density Residential (HDR), and Residential Planned Unit Development (RPUD).

The proposed land use consists of multi-family apartment homes. The project will have 3.92 units per acre based on 52 +/- gross acreage and 6.23 units per acre based on 32.77 net acreage. The proposed development will be compatible with past planning efforts and therefore the infrastructure is present to support it. The township services planned for this area will not be overtaxed by the development.

Unit counts and densities for the proposed The Legacy Apartment Homes are as follows:

204 Multi-Family Dwelling Units (51 gross Acres/33 Net Acres):

3.92	DU/Gross Acre
6.23	DU/Net Acre

1.2 Master Plan Analysis

- **Value communities and neighborhoods** – The Legacy Apartment Homes will be an exclusive neighborhood community targeting demographics of multiple ages. The development will focus on quality building materials and attention to architecture details. This location is well located between Brighton and Howell where downtown shopping and restaurants are available as well as the Genoa retail and restaurant area at Latson and Grand River.
- **Walkable neighborhoods** – In addition to sidewalk proposed on both sides of the planned internal roadways, the development will also have a system of pathways within the extensive open space areas.

- **Variety of recreational facilities** – The Legacy Apartment Homes proposes a successful development area reaching various age demographics that seek amenities, less maintenance, nature preservation and convenience to restaurants and shopping. sidewalks and interconnectivity within the community, dog park, gazebo, EV Charging Stations throughout, benches, clubhouse, Amazon Hub station, pool and fitness center consisting of a Yoga room, business center, dog wash to accommodate residents of all ages, interests, and physical abilities.

Refer to the Conceptual PUD for additional information of the neighborhood layout and representative architectural details.

1.3 Existing Surrounding Uses

As shown within the attached zoning map, the existing surrounding uses for the subject site are uses of varying densities. These existing uses are as follows:

- **North:** GCD- General Commercial District
- **East:** OSD
- **West:** Industrial
- **South:** Rural Residential

SECTION 2: COMMUNITY AND FACILITY SERVICES

2.1 Police and Fire Demand

The Livingston County Sheriff in addition to the Michigan State Police will be providing Public Safety services required to accommodate the proposed use.

The Brighton Area Fire Department, as part of an existing Governmental agreement will provide fire protection services. There will be numerous fire hydrants located on the subject property. Fire Department Connections (FDC's) will be located on each building in addition to the buildings having an internal fire suppression system. Station 34 on Dorr Road is located approximately ¼ mile away from the subject property.

The property is accessed from Grand River and Dorr Road. Both entrances are designed to accommodate emergency vehicle access.

A fiscal impact statement is prepared and attached to the CIS to determine the annual tax revenue. The additional net annual tax revenue at full buildout will be approximately \$836,662. The additional tax revenues are in addition to the one-time utility connection charges in the amount of \$3,080,400.

2.2 Utilities

Utility services will be provided by existing public water and sewer systems in the area. The development proposes a total of 204 apartment unit connections to the existing public utilities. We estimate an average daily usage of 36,500 gallons per year per person with an annual usage of approximately 19,000,000 gallons per year.

All utility lines, structures, and trenches shall be constructed in accordance with the standards and requirements of Genoa Township, the Livingston County and MDOT. All hydrants will be a minimum of 4.5' from back of curb.

Water main connections to the existing mains will be completed to provide for a looped system in accordance with the Township standards and placed within public easements. The proposed site water mains will be 8" in diameter and placed in public easements, and will connect to the existing 12" main on Dorr Road 16" main on Grand River Rd.

Site Storm sewer will be privately owned and designed to convey runoff to appropriately sized stormwater management facilities.

2.3 Stormwater Management

Stormwater management for quality treatment and flood storage will be provided in proposed detention basin optimally located at the southeast corner of Grand River and Dorr Road. These basin will be designated and approved in accordance with Livingston County Drain Commission standards to accommodate the 100-year frequency storm runoff from the proposed development.

LEGEND

DETENTION BASIN CALCULATIONS POND 1:

(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	13.40	acres	
Parking and Road	=	3.90	acres	C1 = 0.90
Sidewalks Pool and Deck	=	1.18	acres	C2 = 0.90
Buildings	=	2.78	acres	C3 = 0.90
Grass/Landscape Area	=	5.37	acres	C4 = 0.25
Wet Pond Surface	=	0.17	acres	C5 = 1.0
Compound Run-off Coefficient, C	=	0.64		
Design Constant, K = A°C	=	8.58		
Allowable Outflow Rate, Qo	=	0.2 cfs/acre		
	=	2.68	CFS	

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (In/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2.750	23,584	804	22,780
10	600	7.86	4.714	40,430	1,608	38,822
15	900	6.88	6.188	53,084	2,412	50,672
20	1200	6.11	7.533	62,861	3,216	59,645
30	1800	5.00	9.000	77,184	4,824	72,360
60	3600	3.24	11.647	99,885	9,648	90,237
70	4200	2.89	12.158	104,266	11,256	93,010
80	4800	2.62	12.571	107,813	12,864	94,949
90	5400	2.39	12.913	110,742	14,472	96,270
120	7200	1.90	13.655	117,107	19,296	97,811
140	8400	1.67	14.000	120,064	22,512	97,552
145	8700	1.62	14.074	120,695	23,316	97,379

Detention Volume Required for 100-yr Storm Event = 97,811 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 4,891 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
978	30,451		
977	29,594	28,066	116,489
976	26,537	25,041	88,424
975	23,543	22,101	63,363
974	20,696	18,877	41,282
973	17,097	15,477	22,406
972	13,857	6,929	6,929
971			0

Storage Volume Provided = 116,489 CF

Volume Provided in Sediment Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
975			7,877
974	5,006	4,458	
973	3,510	3,419	
972	2,527		

Sedimentation Volume Provided = 7,877 CF

TOTAL VOLUME PROVIDED = 124,366

DETENTION BASIN CALCULATIONS (POND 2):

(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	10.47	acres	
Parking and Road	=	2.85	acres	C1 = 0.90
Sidewalks	=	0.53	acres	C2 = 0.90
Buildings	=	2.20	acres	C3 = 0.90
Grass/Landscape Area	=	4.89	acres	C4 = 0.25
Compound Run-off Coefficient, C	=	0.60		
Design Constant, K = A°C	=	6.24		
Allowable Outflow Rate, Qo	=	0.2 cfs/acre		
	=	2.09	CFS	

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (In/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2.750	17,172	628	16,544
10	600	7.86	4.714	29,438	1,256	28,182
15	900	6.88	6.188	38,638	1,884	36,753
20	1200	6.11	7.533	45,793	2,512	43,280
30	1800	5.00	9.000	56,201	3,768	52,433
60	3600	3.24	11.647	72,730	7,536	65,194
70	4200	2.89	12.158	75,920	8,792	67,128
80	4800	2.62	12.571	78,302	10,048	68,254
90	5400	2.39	12.913	80,636	11,304	69,332
120	7200	1.90	13.655	85,270	15,072	70,198
140	8400	1.67	14.000	87,423	17,500	69,923
145	8700	1.62	14.074	87,882	18,216	69,666

Detention Volume Required for 100-yr Storm Event = 70,193 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 3,510 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
990.5			
979.5	34,968	32,571	80,267
978.5	30,174	27,950	47,666
977.5	25,743	19,737	19,737
976.5	13,731		0

Storage Volume Provided = 80,267 CF

Volume Provided in Sediment Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
979.5	4,641	3,929	6,537
978.5	3,217	2,608	
977.5	1,999	0	

Sedimentation Volume Provided = 6,537 CF

TOTAL POND VOLUME PROVIDED 86,804

SECTION 3: ECONOMICS

3.1 Tax Revenue Analysis

A fiscal impact analysis was prepared to determine the anticipated annual tax revenue to be generated as a result of the development. Based on this analysis, we anticipate Legacy Apartment Homes will have a taxable value of approximately \$22,950,000 and will generate an annual revenue gain of approximately \$911,139. Currently the property is generating \$24,659 in annual taxes.

3.2 Jobs Created

Legacy Apartment Homes will be a residential development. Legacy Apartment Homes will create 100 +/- construction jobs during the installation of the infrastructure and the building of the apartment buildings on the site. In addition,

The Legacy Apartments will employ 5-6 permanent leasing and maintenance staff.

Refer to **Exhibit A** for the Fiscal Impact Analysis Calculations

SECTION 4: ENVIRONMENT

4.1 Natural Resources Analysis

The proposed development is approximately 52 acres. The development will preserve natural features and provided common open space opportunities for the residents, including walking trails, a community building and swimming pool. The site is constrained by regulated wetlands to the South and Southeast portion of the property. The area of proposed development is primarily vacant farmed land with minimal to no tree removal required.

Storm water runoff for the site will be detained and treated in accordance with applicable Township, County and State requirements prior to discharge from the site. No significant impact or pollution to offsite water bodies is anticipated with the development.

The proposed development will seek to preserve existing wooded areas around the perimeter of the development where grading would allow, to serve as a buffer between the development and neighboring properties. New trees will be planted in the proposed development in accordance with an approved Landscaping Plan.

4.2 Hazardous Materials

No hazardous materials are planned to be manufactured, used, or stored on site.

4.3 Air Quality Impact

Legacy Apartment Homes is a residential development that does not plan to have any significant impact to the air quality of the area. No quantifiable type or quantities of pollutants are expected to be released in the air. During construction, special measures will be included within the Soil Erosion and Sedimentation (SESC) Plan to mitigate any potential dust creation during dryer site conditions, including the use of water trucks.

4.4 Groundwater Impact

Legacy Apartment Homes is a residential development that will utilize connections to the existing public utilities in the area. The development fits within

the master planned unit density for the area and does not plan to have any significant impact to the groundwater levels within the area.

4.5 **Noise**

Legacy Apartment Homes is a residential development that does not plan to have any significant impact to the increased noise in the area. During construction, the development intends to minimize noise as reasonable and follow the Township's ordinance regarding hours of allowed construction operation.

SECTION 5: TRAFFIC

Legacy Apartment Homes is a residential project consisting of a multi-family dwelling units that are proposed to have access off Grand River Road in addition to Dorr Road. The main access to the community will be from Grand River Road which is a State Road. There is a secondary access off Door Road.

A Traffic Impact Study (TIS) has been prepared by Rowe Engineering in accordance with the Township Ordinance. The report was completed in accordance with the requirements specified by the Michigan Department of Transportation (MDOT), the Road Commission for Oakland County (RCOC), and Genoa Township.

A copy of the TIS attached as **Exhibit B**.

DEVELOPER'S STATEMENT

After a five decades of residential building in Michigan, MJC Companies® is proud to be one of the state's largest privately-owned and operated builders, as well as one of the top 100 builders in the nation. Since 1972, the company has garnered a reputation of value and innovation with single-family homes and condominiums that offer a carefree lifestyle in desirable neighborhoods.

And that reputation still holds true today. With deep roots in an array of communities in Livingston, Macomb, Oakland and Wayne counties, MJC Companies® is excited to be a part of Michigan's rich history and is confident in the future of the state and dedicated to the families who live here.

Specializing in new construction, MJC Apartment homes and condominiums offer a wide choice of locations, flexible floor plans, and an abundance of the most desired amenities within pleasant communities including some with pools, walking trails and ponds.

MJC Companies® looks forward to enduring its longstanding presence in Southeast Michigan as it continues to develop communities of choice for generations to come.

Charities, Sponsorships & Clubs

- Alzheimer's Association
- Building Industry Association - Charitable and Education Foundation
- Capuchin Soup Kitchen
- Cardinal Mooney Catholic High School
- Children's Charities at Adios
- Club Calabria
- Club Terrasini
- Club Di Santa Fara
- De La Salle Collegiate High School
- Fraternal Order of Police
- Interfaith Volunteer Caregivers
- Italain American Culture Society
- Karmanos Cancer Institute
- Mackinac Island Historical Preservation
- March of Dimes
- Men of the Sacred Heart
- Michigan Historical Society
- Mat Gaberty Heart Fund
- Macomb Foundation
- Mt. Clemens General –Board Member
- Mt. Clemens Regional Oncology
- Multiple Sclerosis Foundation
- MPURE – Department of Urology at William Beaumont Hospital
- Muscular Dystrophy Association
- National Italian American Foundation
- Northville Park & Recreation
- Nothdurft Pediatric Endowment
- Special Olympics
- St. John Health Foundation
- St. John Hospital Guild
- St. Lawrence Athletics
- St. Louis Center– (helping to raise, \$800,000 dollars in the last 10 years)
- Utica Community Schools
- USC Shoah Foundation

EXHIBIT A

FISCAL IMPACT STATEMENT

**The Legacy Apartments Homes - 204-Unit Community
Fiscal Impact**

Property Development

Property Tax Revenue

Housing Type	Market Value Per Unit	State Equalized Value Per Unit	Taxable Value Per unit	Total Units	Estimated Market Value	Estimated Taxable Value
Apartment Homes	\$ 225,000	\$ 225,000	\$ 112,500	204	\$ 45,900,000	\$ 22,950,000
				<u>204</u>		<u>\$ 22,950,000</u>

	Current Millage Rate	Estimated Taxable Value	Tax Generated
SUMMER TAX REVENUE GENERATION			
State Ed Tax	6.0000	\$ 22,950,000	\$ 137,700
County Tax	3.2391	\$ 22,950,000	\$ 74,337
HO School Oper	18.0000	\$ 22,950,000	\$ 413,100
HO School Debt	2.7500	\$ 22,950,000	\$ 63,113
Livingston ISD	3.2315	\$ 22,950,000	\$ 74,163
BR Fire Auth	0.8733	\$ 22,950,000	\$ 20,042
WINTER TAX REVENUE GENERATION			
County Ambulance	0.2863	\$ 22,950,000	\$ 6,571
HCMA-Parks	0.2089	\$ 22,950,000	\$ 4,794
Veterans Relief	0.1127	\$ 22,950,000	\$ 2,586
Genoa Alloc	0.7855	\$ 22,950,000	\$ 18,027
HO School Debt	2.7500	\$ 22,950,000	\$ 63,113
HO Library	1.0382	\$ 22,950,000	\$ 23,827
BR Fire Auth	1.5000	\$ 22,950,000	\$ 34,425
Total Estimated Annual Revenue from Property Taxes			\$ 935,798
			<u>\$ 24,659</u>
Less Current Property Tax Revenue Generation			<u>\$ 911,139</u>
Total Net annual Revenue from Property Taxes			

Estimated Residents

Land Use	Units	Unit Factor Per Us Census	Projected Population
Residential	204	2.55	<u>520</u>

Utility Revenue

Water and Sewer Capital Connection Fee	Water Capital Fee	Sewer Capital Fee	Total Capital Charges	Total Units	Total Estimated Fee
Building Type					
Units	\$ 7,900.00	\$ 7,200.00	\$ 15,100	204	\$ 3,080,400
Total Estimated Connection Fee		(Fees per. DPS)		204	\$ 3,080,400

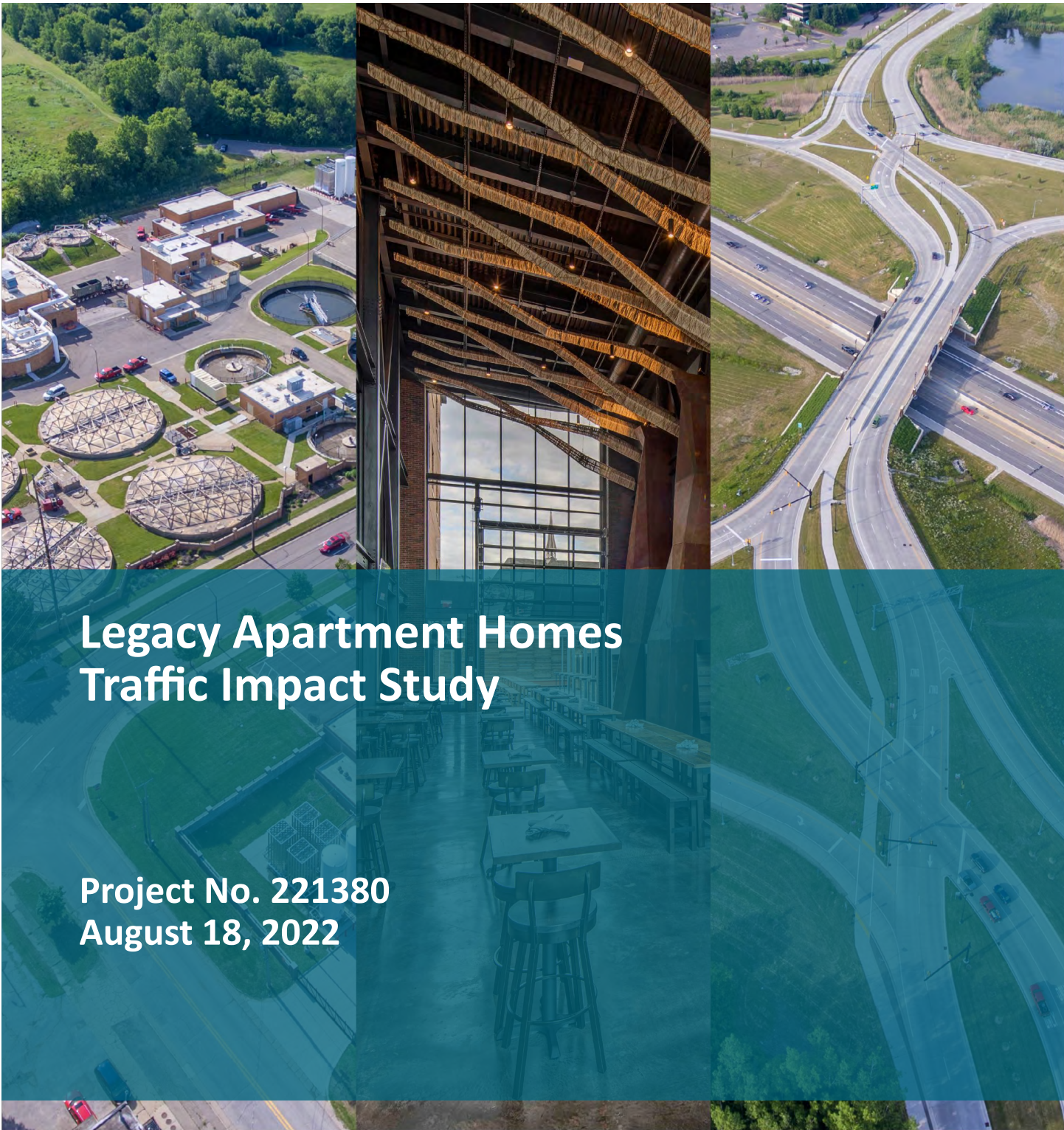
Annual Water/Sewer Usage Fees	Estimated Population	Annual Usage (Gal); Assume 36,500 gal/yr/person	Usage fee/1000 Gal.	Total Estimated Fees
Apartments	520	18,987,300	\$11.28	\$ 214,177
		Annual Water Usage Fees		\$ 214,177
Total Utility-Related Fees				\$ 214,177

Township Expenditures Per Budget

Total Expenditures - 2022 Budget (per Genoa.org)	\$ 6,412,166
Township Population (per 2020 SEMCOG)	20,692
Township Expenditures Per Resident	\$ 309.89

	# Residents	Expenditure per Resident	Total
Total Annual Expenditures for Legacy Apartment	520	\$ 309.89	\$ 161,202.82

The Legacy Apartment - One-Time Utility Connection Revenue	\$ 3,080,400
The Legacy Apartment - Annual Revenue Gain (Loss)	\$ 964,113



Legacy Apartment Homes Traffic Impact Study

Project No. 221380
August 18, 2022

Legacy Apartment Homes Traffic Impact Study

**Prepared For:
Grand River Dorr LLC
Farmington Hills, Michigan**

**August 18, 2022
Project No. 221380**

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- Appendix 6 – Turn Lane Warrants
- Appendix 7 – Future LOS Output Reports

Appendices are excluded to reduce the packet size. Township staff has the full study with all appendices on file which will be provide upon request.
- K. VanMarter

List of Abbreviations/Acronyms

AASHTO	American Association of State Highway and Transportation Officials
HCM	Highway Capacity Manual
ITE	Institute of Transportation Engineers
LOS	Level of Service
LUC	Land Use Code
LCRC	Livingston County Road Commission
NB	Northbound
SB	Southbound
SEMCOG	Southeast Michigan Council of Governments
TDMS	Transportation Data Management System
TIS	Traffic Impact Study
TMC	Turning Movement Count
Township	Genoa Township
TWLTL	Two-Way Left Turn Lane
WB	Westbound

References

The Highway Capacity Manual, 6th Edition. (2016). Washington, DC.
The Highway Capacity Manual: 2000. (2000). Washington, DC.
Trip Generation Handbook, 3rd Edition. (2017). Washington DC.
Trip Generation Manual, 11th Edition. (2021). Washington DC.

Executive Summary

Fishbeck has completed a traffic impact study (TIS) related to the development of Legacy Apartment Homes located in the southeast quadrant of Grand River Avenue and Dorr Road in Genoa Township, Livingston County, Michigan. The vacant lot is proposed to be developed into multifamily residential with 204 dwelling units (DU) proposed. The development will be open and fully operational in 2025.

The proposed site plan includes a driveway on Grand River Avenue that will be the south approach of the signalized intersection of Grand River Avenue and Hughes Road and a driveway on Dorr Road that will be the east approach of the unsignalized intersection of Dorr Road and Sterling Drive.

This study was conducted according to the methodologies and guidance published by Institute of Transportation Engineers (ITE), American Association of State Highway and Transportation Officials (AASHTO), Livingston County Road Commission (LCRC) and Genoa Township (Township).

Vehicular, Turning Movement Counts (TMCs) were collected at the study intersections on December 14, 2021, during the weekday a.m. (7 a.m. to 9 a.m.) and p.m. (4 p.m. to 6 p.m.) time frames of the roadway network. Due to the impact of COVID-19, historical traffic data from the Southeast Michigan Council of Governments (SEMCOG) website was reviewed. Based on this review, an adjustment factor of 1.16 and 1.11 was determined for the a.m. and p.m. peak hours, respectively to adjust the completed TMCs to "Pre-COVID-19 levels".

There is one known project in the site vicinity that could add additional traffic volumes to the study network. The following development was included:

- St. Joseph Mercy Brighton Health Center Expansion.

Site-generated traffic was forecast using the information and methodologies specified in the latest version of Trip Generation, Trip Generation Manual, 11th Edition, 2021. The existing traffic volumes, site layout, and engineering judgement were used to develop a trip distribution model for the a.m. and p.m. peak hours for the new traffic generated by the proposed development. Additionally, directions of origin, surrounding residential densities, and commuting patterns were considered.

Level of Service (LOS) analyses were conducted for existing, background, and total future conditions based on Highway Capacity Manual (HCM) 6th Edition, methodologies using Synchro traffic analysis software. Synchro network models were also simulated using SimTraffic to evaluate network operations including intersection queueing.

Based on findings of the HCM operational analyses and site traffic generation, the proposed development, including trips generated by the expansion of the St. Joseph Mercy Brighton Health Center, will not result in any significant impact to the adjacent road network. No improvements to the roadway network are proposed.

The opinions, findings, and conclusions expressed in this TIS are those of Fishbeck and not necessarily those of the Owner/Applicant, LCRC, or Genoa Township.

Prepared By:



Jill Bauer, PE, PTOE
Project Manager – Fishbeck

1.0 Introduction

1.1 Project Overview

On behalf of Grand River Dorr LLC, Fishbeck has conducted a traffic impact study (TIS) related to the development of Legacy Apartment Homes located in the southeast quadrant of Grand River Avenue and Dorr Road in Genoa Township (Township), Livingston County, Michigan. The vacant lot is proposed to be developed into multifamily residential with 204 DU's proposed. The development will be open and fully operational in 2025.

The proposed site plan includes a driveway on Grand River Avenue that will be the south approach of the signalized intersection of Grand River Avenue and Hughes Road and a driveway on Dorr Road that will be the east approach of the unsignalized intersection of Dorr Road and Sterling Drive.

The project location and study intersections are indicated in Figure 1 – Project Location and Study Network.

Figure 1 – Project Location and Study Network



1.2 Study Methodology

The objectives of this TIS were to determine what impacts, if any, the proposed project will have on adjacent roadway traffic operations, and to develop recommendations for any improvements necessary to mitigate the project impacts on the studied intersections. Study analyses were completed relative to typical weekday a.m. and p.m. peak traffic periods.

This study was conducted according to the methodologies and guidance published by Institute of Transportation Engineers (ITE), American Association of State Highway and Transportation Officials (AASHTO), Livingston County Road Commission (LCRC) and the Township.

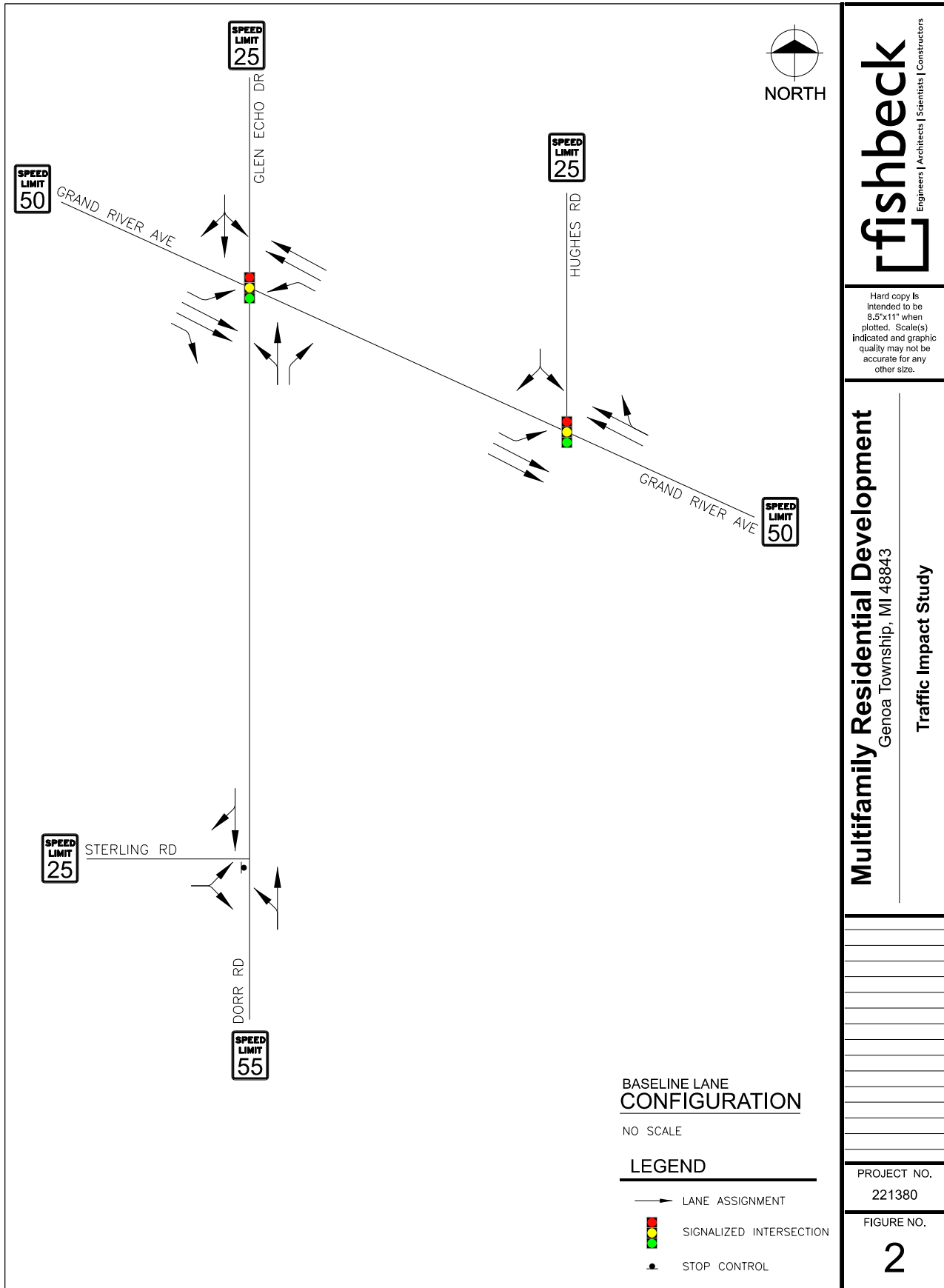
1.3 Intersection Characteristics

Based on the type and size of the proposed development, input from LCRC, and the likely area of influence for the site trips, traffic operations were analyzed for the following intersections:

1. Grand River Avenue and Dorr Road/Glen Echo Drive (signalized).
2. Grand River Avenue and Hughes Road/Driveway 1 (signalized).
3. Dorr Road and Sterling Drive/Driveway 2 (unsignalized).

The existing intersection lane configurations, traffic controls, and posted speed limits are indicated in Figure 2 – Existing Lane Configurations.

Figure 2 – Existing Lane Configurations



fishbeck
Engineers | Architects | Scientists | Constructors

Hard copy is Intended to be 8.5"x11" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

Multifamily Residential Development
Genoa Township, MI 48843
Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
2

PLOT INFO: M:\CUSTOM\AUTODESK PRODUCTS\ACADISYMBOLS\B46X11.DWG LAYOUT: MODEL DATE: TIME: USER: DMEADE

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1.4 Existing Traffic Volumes

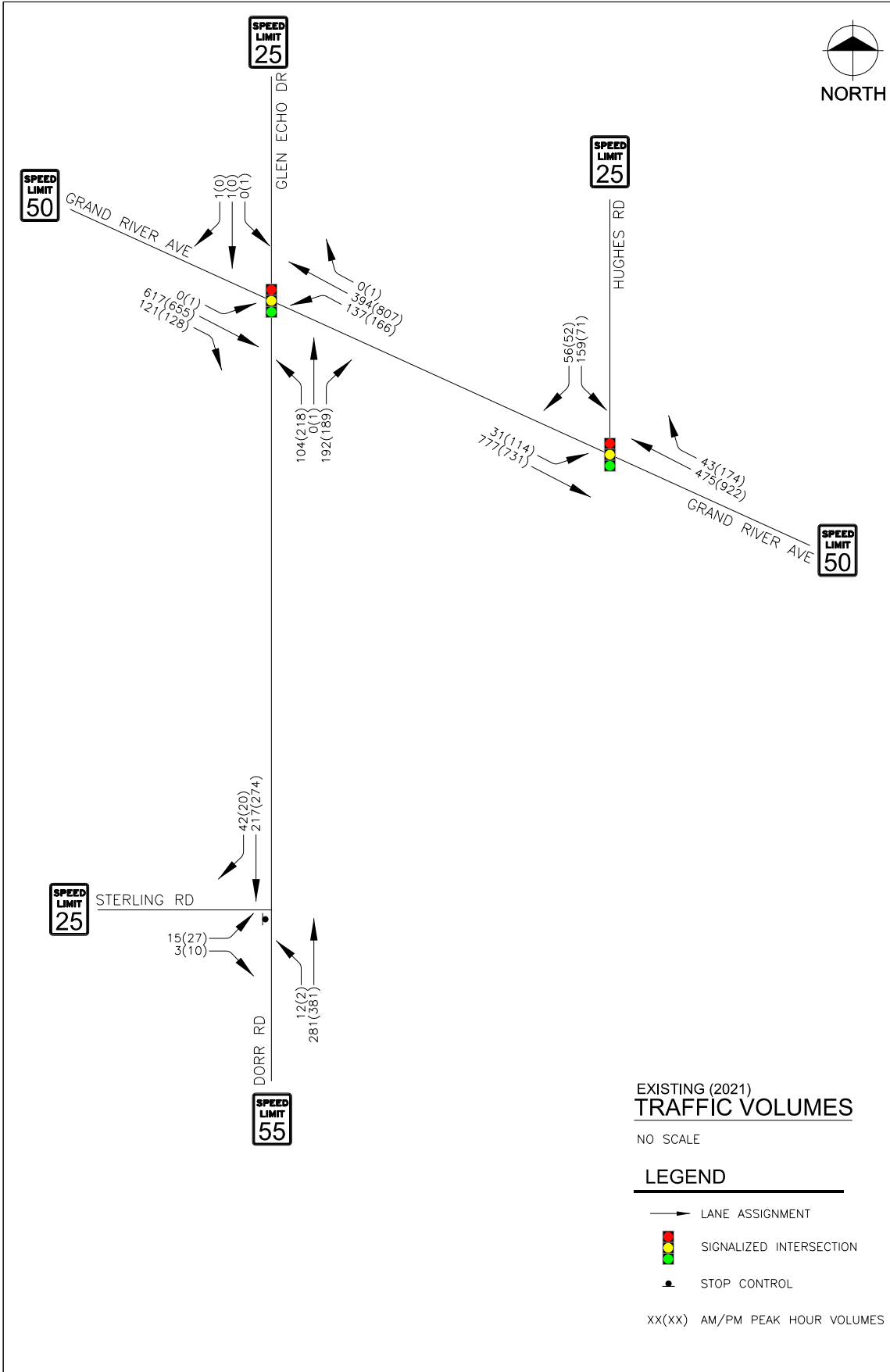
Vehicular Turning Movement Count (TMC)'s were collected on the following study intersections during the weekday a.m. (7 to 9 a.m.) and p.m. (4 to 6 p.m.) peak traffic periods of the road network on December 14, 2021:

- Grand River Avenue and Dorr Road/Glen Echo Drive.
- Grand River Avenue and Hughes Road.
- Dorr Road and Sterling Drive.

Due to the impact of COVID-19, current traffic volume data may not be representative of typical operations. Historical traffic data from the Southeast Michigan Council of Governments (SEMCOG) website was reviewed. Based on this review, an adjustment factor of 1.16 and 1.11 was determined for the a.m. and p.m. peak hours, respectively to adjust the completed TMCs to "Pre-COVID-19 levels".

Traffic volume information can be found in Appendix 1 – Traffic Volume Data, which include heavy vehicle data. The adjusted existing traffic volumes used in this study are indicated in Figure 3– Existing Traffic Volumes.

Figure 3 – Existing Traffic Volumes





Engineers | Architects | Scientists | Constructors

Hard copy is Intended to be 8.5"x11" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

Multifamily Residential Development
Genoa Township, MI 48843

Traffic Impact Study

PROJECT NO.	221380
FIGURE NO.	3

PLOT INFO: M:\CUSTOM\AUTODESK PRODUCTS\ACADSYMBOLS\B-6X11.DWG LAYOUT: MODEL DATE: TIME: USER: DMEADE

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2.0 Existing Conditions Analysis

2.1 Traffic Operations Analysis Methodology

Synchro was used to perform Highway Capacity Manual (HCM) operational analyses during the a.m. and p.m. peak hours for all the intersections within this study. According to the most recent edition of the HCM, Level of Service (LOS) is a qualitative measure describing operational conditions of a traffic stream or intersection. LOS ranges from A to F, with LOS A representing desirable traffic operations characterized by low delay and LOS F representing extremely poor traffic operations characterized by excessive delays and long vehicle queues. LOS D is generally considered acceptable for most areas. Table 1 – LOS Criteria presents the HCM criteria for various LOS for unsignalized and signalized intersections. The color coding in the table is used in the LOS analysis summary tables later in this report.

Table 1– LOS Criteria

LOS	Average Stopped Vehicle Delay (seconds)	
	Unsignalized	Signalized
A	≤ 10	≤ 10
B	> 10 and ≤ 15	> 10 and ≤ 20
C	> 15 and ≤ 25	> 20 and ≤ 35
D	> 25 and ≤ 35	> 35 and ≤ 55
E	> 35 and ≤ 50	> 55 and ≤ 80
F	> 50	> 80

2.2 Existing Conditions Traffic Analysis

Synchro models for the existing network were created based on the existing roadway configurations and traffic controls. Where applicable, data concerning the existing intersection and roadway lane configurations, geometry, and traffic control that were observed in the field were entered in the models. The traffic signal timing permits for the signalized intersections were provided by LCRC for use in the models.

The resulting LOS and delay for the existing conditions are indicated in Table 2 – LOS Analysis for Existing Conditions.

Table 2 – LOS Analysis for Existing Conditions

Approach	LOS/Delay(s)				
		a.m. Peak Hour		p.m. Peak Hour	
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)					
EB Grand River Avenue	B	16.7	B	14.9	
WB Grand River Avenue	A	8.3	C	22.8	
NB Dorr Road	D	41.0	D	48.9	
SB Glen Echo Drive	D	52.3	E	61.4	
Overall	B	19.7	C	25.5	
Grand River Avenue and Hughes Road (Signalized)					
EB Grand River Avenue	A	9.2	A	9.2	
WB Grand River Avenue	A	8.8	B	11.3	
SB Hughes Road	D	46.3	D	43.1	
Overall	B	15.0	B	12.3	
Dorr Road and Sterling Drive (Stop-Controlled)					
EB Sterling Drive	B	14.1	B	14.5	
NB Dorr Road	A	0.3	A	0.0	
SB Dorr Road	A	0.0	A	0.0	
Overall	A	0.7	A	1.1	

Eastbound (EB)
 Northbound (NB)
 Southbound (SB)
 Westbound (WB)

Further analysis of the LOS results for existing conditions revealed that most movements, approaches, and intersections are expected to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

- Grand River Avenue and Dorr Road/Glen Echo Drive
 - The southbound approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For existing conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceeded the provided storage length. See Appendix 2 – Existing LOS Output Reports for the existing conditions LOS reports and queueing analysis reports.

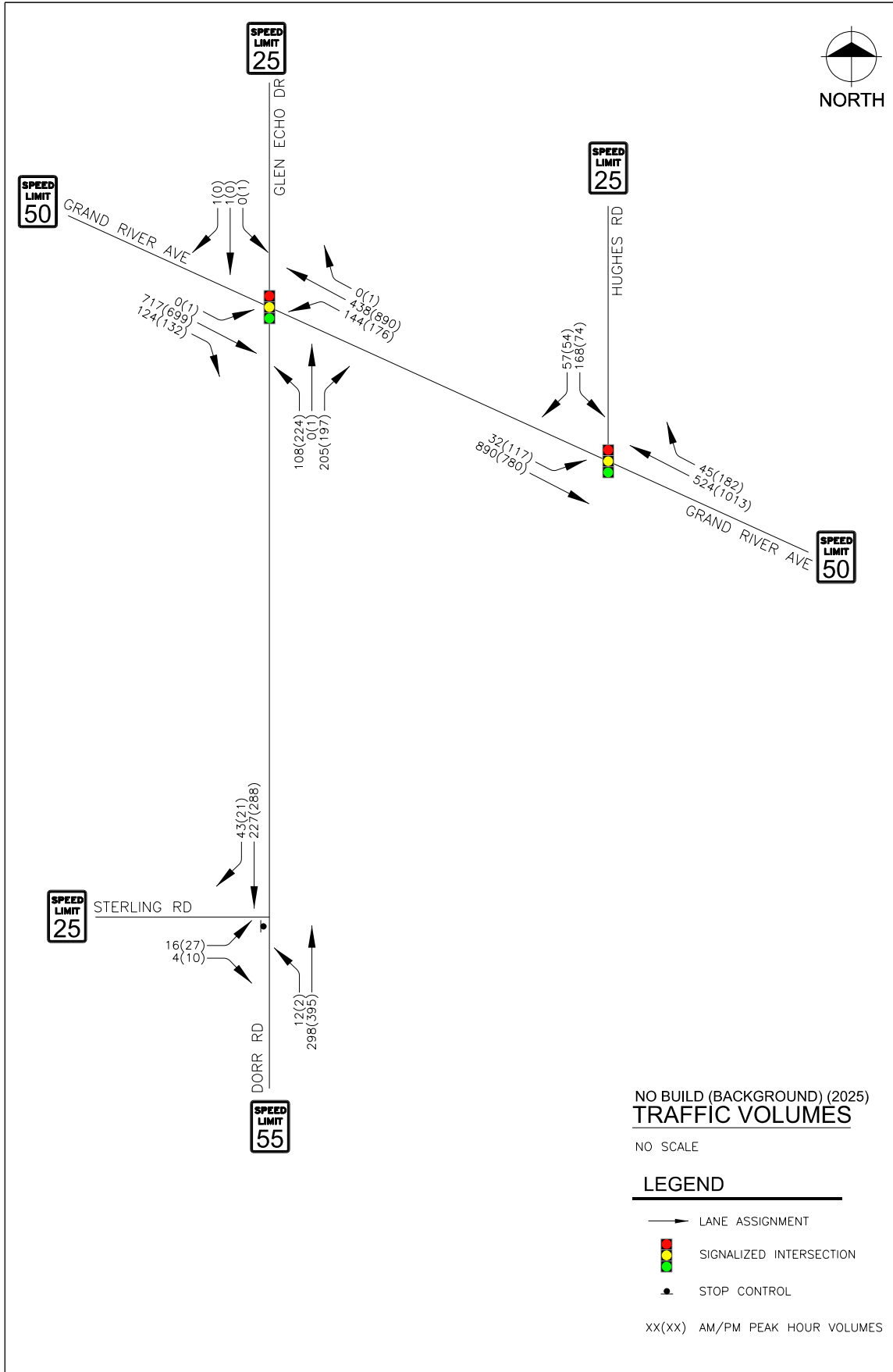
3.0 Background Conditions Analysis

Historical traffic data on the SEMCOG Transportation Data Management System (TDMS) website was referenced to determine the applicable growth rate for the existing traffic volumes to the project build-out year in 2025. Based on this review, a background growth rate of 0.75% was utilized. In addition, one background development was identified and included in the background traffic conditions. Fishbeck was provided the TIS completed for the proposed St. Joseph Mercy Brighton Health Center Expansion, this development has a buildout year of 2024. The intersections of Grand River Avenue/Dorr Road and Grand River Avenue/Hughes Road were included in the prepared TIS.

In 2022, LCRC has a traffic signal modernization planned for the intersection of Grand River Avenue and Dorr Road/Glen Echo Drive. Modernization includes the addition of a left turn phase for the WB Grand River approach and an overlap right turn phase for the NB Dorr Road approach. The new signal timing is reflected in the background conditions analysis.

Refer to Appendix 3 – Background Development Trip Generation for additional details related to the trip generation forecast at these intersections. The total background traffic volumes are indicated in Figure 4 – Background Traffic Volumes.

Figure 4 – Background Traffic Volumes



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Engineers | Architects | Scientists | Constructors

Hard copy is intended to be 8.5"x11" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

Multifamily Residential Development
Genoa Township, MI 48843

Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
4

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3.1 Background Conditions Traffic Analysis

The resulting LOS and delay for the background conditions are refer to Table 3 – LOS Analysis for Background Conditions.

Table 3 – LOS Analysis for Background Conditions

Approach	LOS/Delay (s)			
	a.m. Peak Hour		p.m. Peak Hour	
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)				
EB Grand River Avenue	C	20.6	C	21.0
WB Grand River Avenue	A	3.6	A	3.5
NB Dorr Road	C	28.7	D	38.9
SB Glen Echo Drive	D	52.3	E	61.4
Overall	B	16.9	B	16.2
Grand River Avenue and Hughes Road (Signalized)				
EB Grand River Avenue	B	15.5	A	1.8
WB Grand River Avenue	A	9.1	B	12.4
SB Hughes Road	D	47.3	D	42.8
Overall	B	18.2	B	10.1
Dorr Road and Sterling Drive (Stop-Controlled)				
EB Sterling Drive	B	14.4	C	15.0
NB Dorr Road	A	0.3	A	0.0
SB Dorr Road	A	0.0	A	0.0
Overall	A	0.7	A	1.1

Further analysis of the LOS results for background conditions revealed that most movements, approaches, and intersections are expected to continue to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

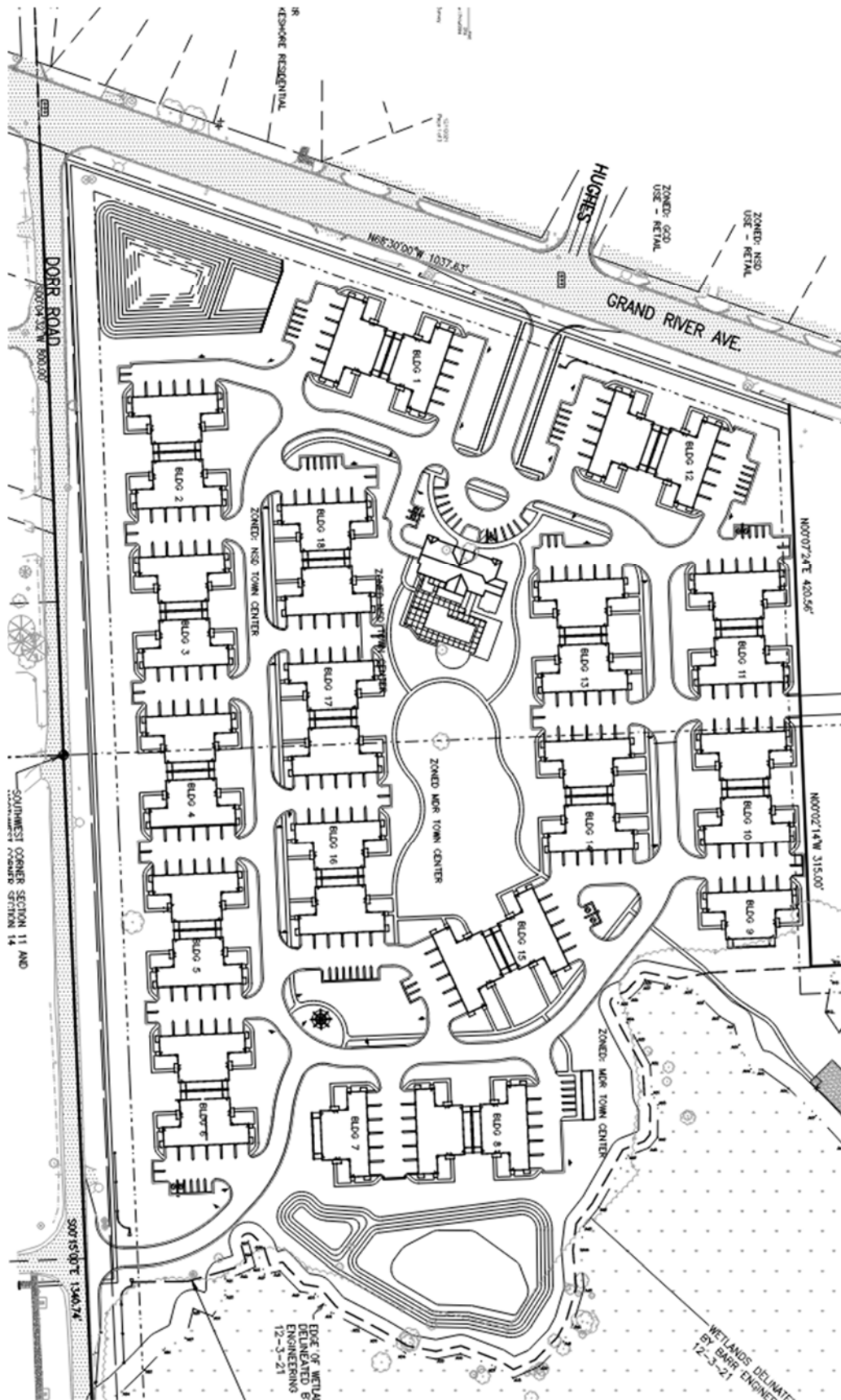
- Grand River Avenue and Dorr Road/Glen Echo Drive:
 - The SB approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For background conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceed the provided storage length, see Appendix 4 – Background LOS Output Reports.

4.0 Site Traffic Characteristics

A representation of the current conceptual site plan is provided in Figure 5 – Conceptual Site Plan below.

Figure 5 – Conceptual Site Plan



4.1 Trip Generation

Using the information and methodologies specified in the latest version of Trip Generation, Fishbeck forecast the weekday a.m. and p.m. peak hour trips associated with the proposed development.

Table 4 – Trip Generation for Proposed Development presents the resulting trip generation for the development. Refer to Appendix 5 – Trip Generation Calculations.

Table 4 – Trip Generation for Proposed Development

ITE LUC	LUC	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
220	Multifamily Housing (Low-Rise)	204 DU	21	65	86	68	40	108	1,383
Total New Trips			21	65	86	68	40	108	1,383

Land Use Code (LUC)

4.2 Trip Distribution

The directions that site traffic will travel to and from were based upon existing traffic patterns during the a.m. and p.m. peak hours. The existing traffic patterns reflect the gravity between origins and destinations in the study area, and therefore an accurate indication of where the proposed trips would be coming from and going to.

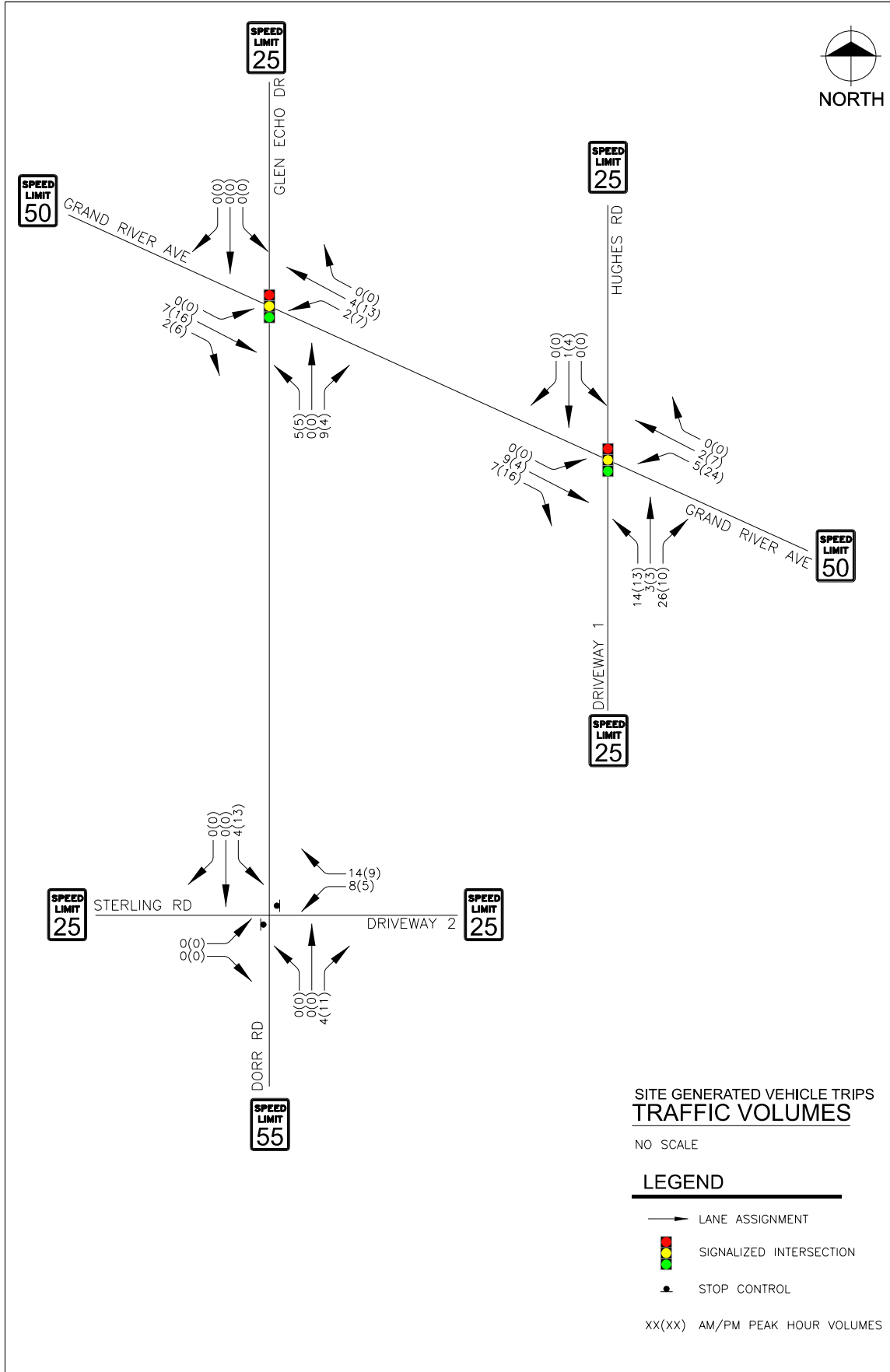
Table 5 – Trip Distribution provides the probable distribution based on the existing traffic patterns.

Table 5 – Trip Distribution

Direction	Via	New Trips			
		a.m. Peak Hour		p.m. Peak Hour	
		To	From	To	From
North	Hughes Road	4%	7%	7%	5%
South	Dorr Road	13%	18%	13%	16%
East	Grand River Avenue	54%	31%	35%	46%
West	Grand River Avenue	29%	44%	45%	33%

The trip distribution for the site is indicated in Figure 6 – Trip Generation Volumes, see below. These trips were added to the background volumes (Figure 4) to result in the future conditions volumes in Figure 7– Future Conditions Volumes.

Figure 6 – Trip Generation Volumes



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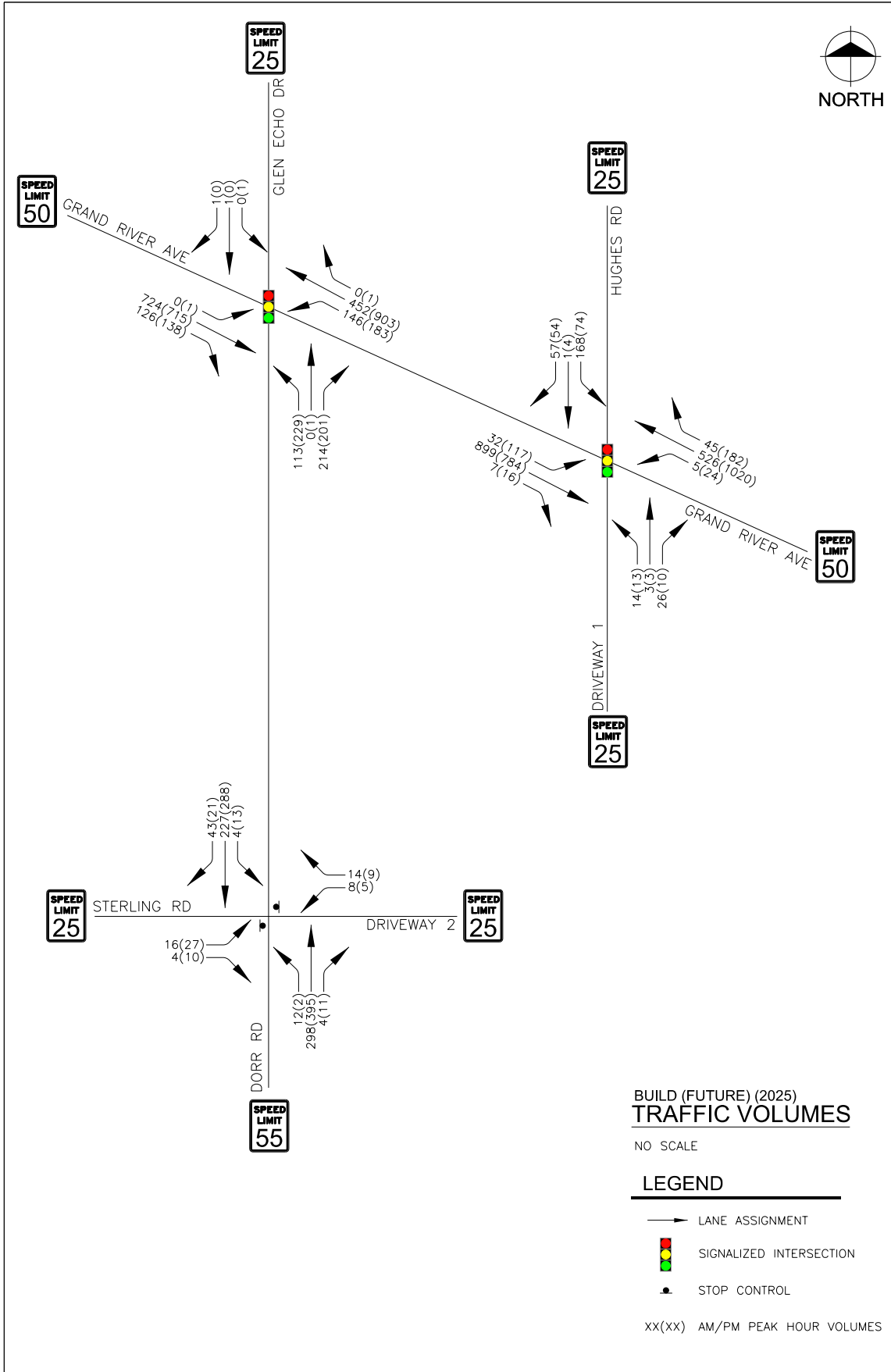
Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
6

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Figure 7 – Future Conditions Volumes



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Multifamily Residential Development
Genoa Township, MI 48843
Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
7

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5.0 Future Conditions Analysis

5.1 Turn Lane Warrants

An evaluation was performed in accordance with LCRC requirements to determine if left turn passing lanes or right turn deceleration lanes are required at the site driveways. The results of the analysis indicated that a left turn passing lane is warranted at Driveway 1. WB Grand River Avenue already has a center left turn lane present. All turn lane warrant charts are in Appendix 6 – Turn Lane Warrants. The results of the analysis are presented in Table 6 – Turn Lane Warrants.

Table 6 – Turn Lane Warrants

Intersection	Movement	Result
Grand River Avenue and Hughes Road/Driveway 1	WB Left Turn	Warranted ¹
	EB Right Turn	Not Warranted
Dorr Road and Sterling Drive/Driveway 2	SB Left Turn	Not Warranted
	NB Right Turn	Not Warranted

¹Two-way left turn lane (TWLTL) exists

5.2 Future Conditions Traffic Analysis

The resulting LOS and delay for the future conditions are indicated in Table 7 – LOS Analysis for Future Conditions.

Table 7 – LOS Analysis for Future Conditions

Approach	LOS/Delay (s)			
	a.m. Peak Hour		p.m. Peak Hour	
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)				
EB Grand River Avenue	C	21.3	C	21.7
WB Grand River Avenue	A	3.6	A	3.7
NB Dorr Road	C	28.6	D	39.2
SB Glen Echo Drive	D	52.3	E	61.4
Overall	B	17.2	B	16.6
Grand River Avenue and Hughes Road/Driveway 1 (Signalized)				
EB Grand River Avenue	B	15.9	A	1.6
WB Grand River Avenue	A	8.5	A	7.1
NB Driveway 1	C	24.2	C	31.6
SB Hughes Road	D	35.9	D	36.2
Overall	B	16.6	A	6.9
Dorr Road and Sterling Drive/Driveway 2 (Stop-Controlled)				
EB Sterling Drive	C	16.4	C	17.8
WB Driveway 2	B	13.3	B	13.8
NB Dorr Road	A	0.3	A	0.0
SB Dorr Road	A	0.1	A	0.3
Overall	A	1.2	A	1.6

Further analysis of the LOS results for future conditions revealed that most movements, approaches, and intersections are expected to continue to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

- Grand River Avenue and Dorr Road/Glen Echo Drive:
 - SB approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For future conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceed the provided storage length. See Appendix 7 – Future LOS Output Reports for the future conditions LOS reports and queueing analysis reports.

6.0 Findings and Recommendations

The analyses conducted for this TIS indicate the proposed development will not result in any significant impact to the adjacent road network. The proposed site access configuration is appropriate and will acceptably facilitate site ingress and egress. These conclusions are supported by the following key findings:

1. Existing storage lengths are adequate for all movements in existing and future conditions.
2. Lane configurations and physical capacity are appropriate within the study area.

This PUD agreement was revised from an earlier outdated version that the Planning Commission did not approve. This agreement must be revised to comply with all comments and concerns of Township staff and the Township Attorney.

PLANNED DEVELOPMENT AGREEMENT

THE LEGACY APARTMENT HOMES

Entered between:

Grand River Dorr, LLC

a Michigan limited liability company

and

Genoa Charter Township, County of Livingston

Dated: November 1, 2022

PLANNED UNIT DEVELOPMENT AGREEMENT

This Planned Unit Development Agreement ("**Agreement**") is entered into as of _____ 2022, by and among Genoa Charter Township, a Michigan liability company, whose address is c/o Mark Kassab 31550 Northwestern Hwy., Ste 220, Farmington Hills, MI 48334 ("**Owner**") and Genoa Charter Township, a Michigan Charter Township, whose address is 2911 Dorr Road, Brighton, Michigan 48116 ("**Township**").

RECITALS

- A. Owners, own certain real property consisting of 52+/- acres located in the Genoa Charter Township, Michigan which is more particularly described on **Exhibit A** attached hereto (the "**Property**"). The Property has been established as two (2) separate tax parcels.
- B. Owner desires to develop the Property as a Planned Development, which will consist of a development of **204** attached apartment units.
- C. At a meeting held by the Township Planning Commission on _____, 2022, the Township Planning Commission recommended approval of Owner's Preliminary Planned Development Site Plan for the Project prepared by PEA Engineering – Job Number **2021-0578**, last revised **5/24/2022** ("**Preliminary Site Plan**"), subject to certain conditions as more fully set forth in Section 2.3 below.
- D. At a meeting held by the Township Board on _____ 2022, the Township Board approved the Preliminary Site Plan, subject to certain conditions as more fully set forth in Section 2.3 below.
- E. At a meeting held by the Township Planning Commission on ____ 2022, the Township Planning Commission approved Owner's Final Plan for the Project subject to certain conditions as more fully set forth in Section 2.3 below. The Final Development Site Plan is attached as **Exhibit xx** as is referred to herein as the "**PD Plan**."
- F. At a meeting held by the Township Board on ____ 2022, the Township Board approved Owner's Planned Development Agreement on the Project, subject to the conditions set forth in this Agreement, including without limitation Section 2.3 below.
- G. The Township determined that the Property qualifies for development as a Planned Development under the Genoa Charter Township's Zoning Ordinance ("**Zoning Ordinance**") because the Project will: (i) provide for the preservation of open space; (ii) provide recreational area for the use and benefit of the residents of the Project; and (iii) will facilitate the construction and maintenance of streets, utilities, and public services in an efficient manner.
- H. By entering in this Agreement, Owner, and the Township desire to set forth the parties' obligations with respect to the Property and the Project and the terms and requirements under which the Property and the Project shall be developed.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in this Agreement, the parties agree as follows:

ARTICLE I

DESCRIPTION OF THE PROJECT; PD AND PD PLANS

- 1.1 Description of Project.** The overall project (“**Project**”) covers an area comprising **52 +/-** acres located along Grand River Road and Dorr in the Township. The project will contain **204** attached apartment units (each, a “**Project**”). The Project generally meets the requirement of the Zoning Ordinance and is consistent with the conditions imposed in the recommendation for approval by the Planning Commission. The Project shall include open space and other elements as set forth in this Agreement and the PD Plan. The Project will also contain approximately **29** acres of total open space.

- 1.2 Final PD Plan Approval; Exhibits.** The PD Plan was approved by the Township Planning Commission on ___ __ 2022. The PD Plan approval grants the Owner the right to improve as set forth in the PD Plan, as the same may be modified and amended in accordance with the Township Zoning Ordinance are incorporated herein and made a part thereof by reference.

- 1.3 Variances and/or Modifications to Standard Zoning Requirements.** Except as otherwise provided in this Agreement and the PD Plan attached hereto, Owner shall generally adhere to all Township Ordinances. Variances from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth on the PD Plan.

- 1.4 Deviations requested are as follows:**

ZONING

- 3.05.02 (e)/ 15.05.03 Modification of the horizontal minimum curve radius from 150’ to 100’ and curb radii from road to garage and parking driveways less than 30’ radius.

- 10.03.01(c) The open space along the exterior public roads shall generally have a depth of at least 100’ either landscaped or preserved in a natural wooded condition.

- 12.01.03 Request for reduction in the percentage of brick required on building walls exposed to public and an increase in percentage of vinyl siding on the areas over the garages.

- 13.02.04(d) Request for grading up to 10’ from regulated wetland.

- 14.02.06 Request to exceed parking space requirement more than 20%.

- 14.06.09 Parking lots and related maneuvering aisles shall meet minimum setbacks from adjacent street R.O.W. as shown in the schedule of regulations and have parking lot landscaping

- 14.06.10 Parking lots shall have minimum rear and side yard setbacks including berming and landscaping.

- 1.5 Minor Modifications.** The Zoning Administrator may approve the proposed revision upon finding the change would not alter the basic design nor any conditions imposed upon the

original plan approval by the Planning Commission. The Zoning Administrator shall inform the Planning Commission of such approval in writing. The Zoning Administrator shall consider the following when determining a change to be a minor.

- a) For residential buildings, the size of structures may be reduced; or increased by five percent (5%) or 10,000 square feet, whichever is smaller.
 - b) Gross floor area of non-residential buildings may be decreased; or increased by up to five percent (5%) or 10,000 square feet, whichever is smaller.
 - c) Floor plans may be changed if consistent with the character of the use.
 - d) Horizontal and/or vertical elevations may be altered by up to five percent (5%).
 - e) Relocation of a building by up to five (5) feet, if consistent with required setbacks and other standards.
 - f) Designated "Areas not to be disturbed" may be increased.
 - g) Plantings approved in the Final PUD Landscape Plan may be replaced by similar types of landscaping on a one-to-one or greater basis. Any trees to be preserved which are lost during construction may be replaced by at least two trees of the same or similar species.
 - h) Improvements or slight relocations of site access or circulation, such as inclusion of deceleration lanes, boulevards, curbing, pedestrian/bicycle paths, etc.
 - i) Changes of building materials to another of higher quality, as determined by the Zoning Administrator.
 - j) Slight modification of sign placement or reduction of size.
 - k) Internal rearrangement of parking lot which does not affect the number of parking spaces or alter access locations or design.
 - l) Changes required or requested by the Township, County, or state for safety reasons.
- 1.6 Owner.** The obligations contained in this Agreement which apply to the Owner shall remain the responsibility of the Owner until such time as the Owner has assigned its obligations under this Agreement to a successor Owner who has assumed Owner's obligations under this Agreement in writing or to an association of owners that assume such obligations. Wherever the term "Owner" is used in this Agreement, it shall be deemed to include (i) the Owner named in this Agreement and the entity identified as the Owner (ii) the Owners of the Property.
- 1.7 Name and Address of Owner.** The Owner of the Property described on Exhibit xx is Grand River Dorr, LLC, whose address is c/o Mark Kassab, 31550 Northwestern Highway, Suite 220, Farmington Hills, MI 48334.
- 1.8 Statement of Planning Objectives to Be Achieved by the Owner.** The primary planning

objectives of this development is to provide Apartments for rent consisting of stacked ranch units.

- 1.9 **Statement of Applicant's Intention Regarding Leasing.** It is the intent of the Owner to develop the Project and to market for leasing of apartment homes.

ARTICLE II

REQUIREMENTS FOR DEVELOPMENTS

- 2.1 **Development Standards.** The Property shall be developed and improved compliance with the following:

- (a) The Charter Township of Genoa Zoning Ordinance, as amended, except were modified by this Agreement and the Exhibits attached hereto;
- (b) This Agreement;
- (c) The PD Plan;
- (d) The conditions set forth in Section 2.3 below; and
- (e) All Applicable federal, state and country laws, rules, and regulations.

- 2.1 **Effect of PD Approval.** To the extent that developing the Property in accordance with this Agreement and the PD Plan will deviate from the Zoning Ordinance or any other Township ordinance or regulation, this Agreement and the PD Plan shall control. To the extent this Agreement and PD Plan attached hereto are silent on development issues, the Project shall comply with the Zoning Ordinance and other Township ordinances and regulations. All improvements constructed in accordance with this Agreement and the PD Plan shall be deemed to be conforming under the Zoning Ordinance and in compliance with all ordinances of the Township. The Project shall not be subject to any additional requirements contained in any amendments or additions to Township Zoning Ordinance adopted subsequent to the date of this Agreement which conflict with the provisions of this Agreement, including the PD Plan and/or any plans which are approved pursuant to this Agreement.

- 2.2 **Conditions to Approval.** Owner shall obtain all state, county, and federal permits for the development of the Project. Owner shall not install any site improvements within the Property, including without limitation, installation of roads and utilities, until the completion of such pre-construction meeting (the "Site Improvement (Pre-Con Meeting)"). Notwithstanding the foregoing, Owner shall be entitled to obtain a grading permit from the Township and thereafter commence grading and clearing activities. The execution of this Agreement by the parties hereto; (ii) Owner obtaining a soil erosion permit from Livingston County the scheduling and completion of a re-grading meeting between Owner and the Township staff and consultants (the "Grading Pre-Con Meeting").

ARTICLE III

USES WITHIN THE PROJECT

- 3.1 **Approved Uses for the Project.** The Project will consist of a residential project containing **204** attached apartment units, with approximately **29 acres** of total open space, per the PD Plan.
- 3.2 **Permitted Density.** The Project will have a density of between **6.23** residential units per acre based on the net acreage of the property.

ARTICLE IV

OWNER'S RIGHTS AND OBLIGATIONS

- 4.1 **Right to Develop; Phasing.** Owner shall develop the Property in accordance with the PD Plan and this Agreement in one phase (the Phase). Improvements within the Phase shall include the infrastructure improvements necessary to serve the entire Property.
- 4.2 **Development Schedule.** Owner shall commence development of the property on or about June 2023.
- 4.3 **Internal Roads in the Project.** The internal roads within the Project will be private and asphalt or concrete. As such, internal circulation drives shall be built in conformance with the applicable requirements and standards of the Township for private roads.
- 4.4 **Landscape Plan.** The Landscape Plan which is part of the PD Plan attached hereto as Exhibit B identifies the landscaping to be installed within the Project. The Owner may transfer the responsibility for street tree plantings to the owner or builder of each unit.
- 4.5 **Utilities.**
- (a) **Sanitary Sewer System.** Sanitary sewers are available to the site and the Owner must connect to the Township's sanitary sewer system. Connection to the sanitary sewer system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the sewer lines and related sanitary sewer easements to be dedicated to the Township.
 - (b) **Water System.** Water service sewers is available to the site and the Owner must connect to the Township's water system. Connection to the water system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the water lines and related water easements to be dedicated to the Township.

- 4.6 **Storm Water Detention.** Storm water shall be conveyed by a storm sewer system to a storm water detention basin located within the Project. All such storm water drainage facilities, including the detention basin and all related improvements shall be designed in accordance with all applicable ordinances and engineering regulations and standards.
- 4.7 **Signs.** The PD Plan attached hereto includes a sign plan, which is approved. Owner shall otherwise comply with all the sign regulations in the Township's sign ordinance, as amended, with respect to changes (if applicable).
- 4.8 **Architectural and Site Design Guidelines.** The Project shall be developed in conformance with the following architectural and site minimum standards:
- (a) **Minimum Setbacks.** Setback's requirements shall be as specified in the PD Plan.
 - (b) **Exterior Materials.** The materials used on the exterior of the attached units shall consist of any of the following materials: brick, vinyl, or similar siding, or stone.
 - (c) **Driveway and Sidewalks.** Curbs, gutters, driveways, and sidewalks shall be constructed of concrete or asphalt.
 - (d) **Garages.** All dwellings including the attached rental units shall have an attached garage.

ARTICLE V

PERFORMANCE GUARANTEE REQUIREMENTS

- 5.1 **Performance Guaranties.** Performance guarantees covering the estimated cost of improvements for the applicable phase being developed shall be provided to the extent required by and in accordance with the Township's Ordinances. The Owner shall place a bond, cash, or other form of financial instrument for any such performance guarantees required by the Township.

ARTICLE VI

MAINTENANCE OF OPEN SPACE AND COMMON AREAS

- 6.1 **Common Elements and Common Facilities.** The Owner shall be responsible for the maintenance and repair of all roads, utilities that are not dedicated to the Township, storm drainage facilities, and open space. The use and access of the wetlands will be established as a conservation easement over the regulated wetlands in a form to be agreed upon with the Township.

ARTICLE VII

TOWNSHIP'S RIGHTS AND OBLIGATIONS

7.1 Permits and Authorizations. The Township shall grant to Owner and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PD Plan, provided the Owner has first made all requisite filings and submissions for permits, complied with the requirements for said permits or authorizations, submissions and paid all required fees in accordance with the Township's Ordinances. Any applications for permits or authorizations from the Township will be processed in the customary manner. The Township shall cooperate with Owner in connection with Owner's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the PD Plan and this Agreement and provided that the Township shall not be required to initiate legal proceedings or assume any financial obligation of Owner, including without limitation the payment of any compensation, cost, or fee. Owner shall be entitled to obtain a grading permit from the Township and thereafter commence grading and clearing activities, subject to the satisfaction of the conditions set forth in Section 2.3.

8.1 Township Action for Failure to Maintain Property. In the event the Owner defaults in its obligation to maintain the Property in a reasonable condition, using reasonable standards, and consistent with and as required under the PD Plan and this Agreement, the Township may serve written notice upon Owner setting forth the manner in which Owner has failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than thirty (30) days, and shall set forth the date, time and place of a hearing before the Township Board for the purpose of allowing Owner to be heard as to why the Township should not proceed to perform the maintenance which has not been undertaken. In that hearing, the time for curing such deficiencies, and the hearing itself, may be extended. If, following the hearing, the Township Board shall determine that the Owner has not cured such deficiency within the time specified at the hearing, then upon five (5) days written notice to Owner, the Township shall thereupon have the power and authority, but not the obligation, to enter upon the Property or cause its agents or contractors to enter upon the Subject Property to cure such deficiency as reasonably found by the Township to be appropriate and/or necessary, in a manner so as to reasonably minimize any interference with the business operations on the Property and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township shall be paid by the Owner. Such amount shall constitute a lien on the Property and the Township may require such costs and expenses to be paid prior to the commencement of work.

If such costs and expenses have not been paid within sixty (60) days of a billing to the Owner, all unpaid amounts may be (a) placed on a delinquent tax roll of the Township as to the Property and shall accrue interest and penalties and shall be collected as and shall be deemed delinquent real property taxes according to the laws made and provided for the collection of delinquent real

property taxes in the discretion of the Township; or be assessed against the Owner and collected as a special assessment on the next annual Township tax roll; (b) collected by use of the applicable provisions of Michigan law providing for foreclosure by advertisement, the Owner having specifically granted the Township the required power of sale to do so; or (c) collected by suit against the Owner. If suit is initiated, the Owner shall pay all the Township's reasonable legal fees and costs. The selection of remedy shall be at the sole option of the Township, and election of one remedy shall not waive the use of any other remedy.

ARTICLE VIII

MISCELLANEOUS PROVISIONS

- 8.1 Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 8.2 Counterparts.** This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.
- 8.3 Successors and Assigns.** The terms, provisions and conditions of this Agreement are and shall be deemed to be of benefit to the Property and shall run with and bind the Property, and shall bind and inure to the benefit of the successors and assigns of the parties to this Agreement.
- 8.4 Amendment.** This Agreement may only be modified by written agreement of the Township and Owner or any successor in title who assumes Owner's rights and obligations hereunder. Notwithstanding, any amendments to this Agreement shall also require the written consent of Owners if Owners continue to hold title to any portion of the Property.
- 8.5 Authority.** This Agreement has been duly authorized by all necessary action of Owner and the Township, through the approval of the Township Board at a meeting in accordance with the laws of the State of Michigan, and the ordinances of the Township. By the execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property in its respective entities to its terms and conditions.
- 8.6 Partial Invalidity.** Invalidation of any of the provisions contained in this Agreement or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions hereof or the application thereof to any other person and the same shall remain in full force and effect.
- 8.7 No Partnership.** None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Owner and the Township.
- 8.8 Incorporation of Documents.** The recitals contained in this Agreement, the introductory paragraph, and all exhibits attached to this Agreement and referred to herein shall for all purposes be deemed to be incorporated in this Agreement by this reference and made apart of this Agreement.

8.9 Integration Clause. This Agreement is intended as the complete integration of all understandings between the parties related to the subject matter herein. No prior contemporaneous addition, deletion or other amendment shall have any force or effect whatsoever, unless referenced in this Agreement.

8.10 Incorporation of Owner's Representations, Warranties, and Information. All representations, warranties and information previously provided by Owner in any submission by the Owner to the Township are hereby incorporated in this Agreement by reference.

8.11 Recording. This Agreement, or a notice of its existence, shall be executed by the Owner and Owners and recorded by the Owner in the office of the Livingston County Register of Deeds, and may be recorded by any of the undersigned parties following the execution of this Agreement. Alternatively, the Township shall be authorized to prepare and record a Notice of Development Agreement.

8.10 Waiver. Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this Agreement shall be effective or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall affect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.

8.11 Violations. Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.

[Signatures and notarization are contained on the following pages]

[Signature page to Planned Development Agreement]

The parties hereto have executed this Agreement as of the year and date set forth above.

"OWNER"

Grand River Dorr, LLC,
A Michigan Limited Liability Company

By: _____

Mark Kassab

Its: Authorized Agent

[Signatures and notarization are continued on the following page)

[Signature page to Planned Development Agreement]

"TOWNSHIP"

Genoa Charter Township, Livingston County
A Michigan Limited Liability Company

By: _____

Its: _____

STATE OF MICHIGAN)
COUNTY OF LIVINGSTON)

The foregoing PUD Agreement was acknowledged before me on this day of _____, 2022, by _____, _____ of Genoa Charter Township, on behalf of the company.

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

PROPERTY DESCRIPTION:

BEING A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, AND A PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 14, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY), SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF S PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 56 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 SAME BEING THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11; THENCE ALONG A LINE BEING 375.00 WEST AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,262,563 +- SQUARE FEET OR 51.941 +- ACRES OF LAND.

This is the version of the PUD Agreement that was approved by the Planning Commission. The comments made by staff and counsel in this version are still valid and must be incorporated into a revised PUD Agreement that complies with Township Staff and Attorney comments.

PLANNED DEVELOPMENT AGREEMENT

The Legacy Apartment Homes

Entered into between:

Grand River Dorr, LLC

a Michigan limited liability company

and

Genoa Charter Township, County of Livingston

Dated: June 22, 2022

PLANNED UNIT DEVELOPMENT AGREEMENT

This Planned Development Agreement ("**Agreement**") is entered into as of _____, 2022, by Grand River Dorr LLC, a Michigan limited liability company, whose address is 31550 Northwestern Hwy., Suite 200, Farmington Hills, MI 48334 ("**Owner**") and **Genoa Charter Township**, a Michigan Charter Township, whose address is 2911 Dorr Road, Brighton, Michigan 48116 ("**Township**").

R E C I T A L S

- A. Owners, own certain real property consisting of **52 +/-** acres located in the Genoa Charter Township, Michigan, which is more particularly described on **Exhibit A** attached hereto (the "**Property**"). The Property has been established as two (2) separate tax parcels consisting of 11-11-300-014 and 11-14-100-002.
- B. Owner desires to develop the Property as a Planned Development, which will consist of a development of **204** apartment units.
- C. At a meeting held by the Township Planning Commission on _____, 2022, the Township Planning Commission recommended approval of Owner's Conceptual PUD Site Plan for the Project prepared by PEA Group – Job Number **2021-0578**, last revised **5/24/2022 ("Preliminary Site Plan")**, subject to certain conditions as more fully set forth in Section 2.3 below.
- D. At a meeting held by the Township Board on _____, 2022, the Township Board approved the Preliminary Site Plan, subject to certain conditions as more fully set forth in Section 2.3 below.
- E. At a meeting held by the Township Planning Commission on _____, 2022, the Township Planning Commission approved Owner's Final Planned Unit Development Plan for the Project subject to certain conditions as more fully set forth in Section 2.3 below. The Final Planned Development Site Plan is attached as **Exhibit B** and is referred to herein as the "**PUD Plan.**"
- F. At a meeting held by the Township Board on _____, 2022, the Township Board approved Owner's Planned Development Agreement for the Project, subject to the conditions set forth in this Agreement, including without limitation Section 2.3 below.
- G. The Township determined that the Property qualifies for development as a Residential Planned Unit Development (RPUD) under the Genoa Charter Township's Zoning Ordinance ("**Zoning Ordinance**") because the Project will: (i) provide for the preservation of open space; (ii) provide recreational area for the use and benefit of the residents of the Project; and (iii) will facilitate the construction and maintenance of streets, utilities and public services in an efficient manner.

- H. By entering into this Agreement, Owner and the Township desire to set forth the parties' obligations with respect to the Property and the Project and the terms and requirements under which the Property and the Project shall be developed.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in this Agreement, the parties agree as follows:

ARTICLE I

DESCRIPTION OF THE PROJECT; PD and PD PLANS

- 1.1 **Description of Project.** The overall project ("**Project**") covers an area comprising approximately **52 +/-** acres located along Grand River Road and Dorr in the Township. The Project will contain **204** attached apartment units (each, a "**Project**"). The Project generally meets the requirements of the Zoning Ordinance and is consistent with the conditions imposed in the recommendation for approval by the Planning Commission. The Project shall include open space and other elements as set forth in this Agreement and the PD Plan. The Project will also contain approximately 29 acres of total open space.
- 1.2 **Final PD Plan Approval; Exhibits.** The PD Plan was approved by the Township Planning Commission on ____, 2022. The PD Plan approval grants the Owner the right to improve as set forth in the PD Plan, as the same may be modified and amended in accordance with the Township Zoning Ordinance from time to time, subject to obtaining permits in the ordinary course. All exhibits attached hereto are incorporated herein and made a part hereof by reference.
- 1.3 **Deviations to Standard Zoning Requirements.** Except as otherwise provided in this Agreement and the PD Plan attached hereto, Owner shall generally adhere to all Township Ordinances. Any deviations from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth within this PUD Agreement and the attached PD Plan.
- 1.4 **Minor Modifications.** The Zoning Administrator may approve the proposed revision upon finding the change would not alter the basic design nor any conditions imposed upon the original plan approval by the Planning Commission as outlined within Sec **18.10** within the Township Zoning ordinance.
- 1.5 **Owner.** The obligations contained in this Agreement which apply to the Owner shall remain the responsibility of the Owner until such time as the Owner has assigned its obligations under this Agreement to a successor Owner who has assumed Owner's obligations under this Agreement in writing or to an association of owners that assume such obligations. Wherever the term "Owner" is used in this Agreement, it shall be deemed to include (i) the Owner named in this Agreement (ii) the entity identified as the Owner the project, as the term "Developer".
- 1.7 **Name and Address of Owner and Owner.** The Owners of the Property described on **Exhibit A** is Grand River Dorr, LLC, c/o Mark Kassab whose address is, 31550

This must be called out specifically

10.11

- 1.8 **Statement of Planning Objectives to Be Achieved by the Owner.** The primary planning objectives of this development is to provide Apartments for rent consisting of stacked ranch units.
- 1.9 **Statement of Applicant's Intention regarding Leasing.** It is the intent of the Owner to develop the Project and to market for the leasing of apartments.

ARTICLE II

REQUIREMENTS FOR DEVELOPMENT

- 2.1 **Development Standards.** The Property shall be developed and improved in compliance with the following:
 - (a) The Charter Township of Genoa Zoning Ordinance, as amended, except were modified by this Agreement and the Exhibits attached hereto;
 - (b) This Agreement;
 - (c) The PD Plan;
 - (d) The conditions set forth in Section 2.3 below; and
 - (e) All applicable federal, state and county laws, rules and regulations.
- 2.2 **Effect of PD Approval.** To the extent that developing the Property in accordance with this Agreement and the PD Plan will deviate from the Zoning Ordinance or any other Township ordinance or regulation, this Agreement and the PD Plan shall control. To the extent this Agreement and PD Plan attached hereto are silent on development issues, the Project shall comply with the Zoning Ordinance and other Township ordinances and regulations. All improvements constructed in accordance with this Agreement and the PD Plan shall be deemed to be conforming under the Zoning Ordinance and in compliance with all ordinances of the Township. The Project shall not be subject to any additional requirements contained in any amendments or additions to Township Zoning Ordinance adopted subsequent to the date of this Agreement which conflict with the provisions of this Agreement, including the PD Plan and/or any plans which are approved pursuant to this Agreement.
- 2.3 **Conditions to Approval.** Owner within the Property, including without limitation, installation of roads and utilities, until the completion of such pre-construction meeting (the "Site Improvement (Pre-Con Meeting)") as required by the Township engineer or Utility System Authorities shall obtain all state, county, and federal permits for the development of the Project. Owner shall not install any site improvements

ARTICLE III

USES WITHIN THE PROJECT

- 3.1 **Approved Uses for the Project.** The Project will consist of an apartment project containing **204** units, with approximately **29** acres of total open space, per the PD Plan.
- 3.2 **Permitted Density.** The Project will have a density of **6.23** residential units per acre based on the net acreage of the property.

ARTICLE IV

OWNER'S RIGHTS AND OBLIGATIONS

Right to Develop; Phasing. Owner shall have the right to develop the Property in accordance with the PD Plan and this Agreement. Owner shall have the right to develop the Property in phases (each, a "**Phase,**" and collectively, the "**Phases**"), each of which shall include the infrastructure improvements necessary to serve such Phase.

- 4.2 **Order of Development.** Owner shall have the right to develop the Phases at such time and in such order as determined by Owner, provided that Owner complies with this Agreement.

- 4.3 **Development Schedule.** Owner shall commence development of Phase 1 on or about April 2023.

- 4.4 **Internal Roads in the Project.** The internal roads within the Project will be private and asphalt or concrete. As such, internal circulation drives shall be built in conformance with the applicable requirements and standards of the Township for private roads.

- 4.5 **Landscape Plan.** The Landscape Plan which is part of the PD Plan attached hereto as Exhibit B identifies the landscaping to be installed within the Project. ~~The Owner may transfer the responsibility for street tree plantings to the owner or builder of each unit of the single-family development.~~

- 4.6 **Utilities.**

(a) **Sanitary Sewer System.** Sanitary sewers are available to the site and the Owner must connect to the Township's sanitary sewer system. Connection to the sanitary sewer system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the sewer lines and related sanitary sewer easements to be dedicated to the Township.

(b) **Water System.** Water service sewers is available to the site and the Owner must connect to the Township's water system. Connection to the water system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the water lines and related water easements to be dedicated to

Phasing must be shown on the plans and further described herein

Delete last sentence

the Township.

4.7 **Storm Water Detention.** Storm water shall be conveyed by a storm sewer system to a storm water detention basin located within the Project. All such storm water drainage facilities, including the detention basin and all related improvements shall be designed in accordance with all applicable ordinances in addition to the Livingston County Drain Commission engineering regulations and standards.

and Entryway Features

4.8 **Signs.** The PD Plan attached hereto includes a wall sign plan. Owner shall otherwise comply with all the sign regulations in the Township's sign ordinance, as amended with respect to changes (if applicable).

4.9 **Architectural and Site Design Guidelines.** The Project shall be developed in conformance with the following architectural and site minimum standards:

- (a) **Minimum Setbacks.** Setback's requirements shall be as specified in the PD Plan.
- (b) **Exterior Materials.** The materials used on the exterior of the attached units shall consist of any of the following materials: brick, vinyl, Hardie Plank® or similar siding, brick or stone.
- (c) **Driveway and Sidewalks.** Curbs, gutters, driveways and sidewalks shall be constructed of concrete or asphalt.
- (d) **Garages.** All dwellings including the attached rental units shall have an attached garage.

an entry wall monument, signage, stone piers and decorative fencing, which is approved.

ARTICLE V

PERFORMANCE GUARANTEE REQUIREMENTS

5.1 **Performance Guaranties.** Performance guarantees covering the estimated cost of improvements for the applicable phase being developed shall be provided to the extent required by and in accordance with the Township's Ordinances. The Owner shall place a bond, cash or other form of financial instrument for any such performance guarantees required by the Township.

Add additional language. See Section 10.05.04 for guidance.

ARTICLE VI

MAINTENANCE OF OPEN SPACE AND COMMON AREAS

Common Elements and Common Facilities. The Owner shall be responsible for the maintenance and repair of all roads, utilities that are not dedicated to the Township, storm drainage facilities, and

ARTICLE VII

TOWNSHIP'S RIGHTS AND OBLIGATIONS

- 7.1 **Permits and Authorizations.** The Township shall within its prevue grant to Owner and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PD Plan, provided the Owner has first made all requisite filings and submissions for permits, complied with the requirements for said permits or authorizations, submissions and paid all required fees in accordance with the Township's Ordinances in addition to the agencies having authority over such. The Owner will be responsible for obtaining all required approvals and necessary permits or authorizations from the appropriate agencies.
- 7.2 **Township Action for Failure to Maintain Property.** In the event the Owner defaults in its obligation to maintain the Property in a reasonable condition, using reasonable standards, and consistent with and as required under the PD Plan and this Agreement, the Township may serve written notice upon Owner setting forth the manner in which Owner has failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than thirty (30) days, and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township shall be paid by the Owner. The Township may seek legal action to compel the owner to maintain the property and all cost associated with the Townships enforcement of such claims will be due by Owner.

ARTICLE VIII

MISCELLANEOUS PROVISIONS

- 8.1 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 8.2 **Counterparts.** This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.
- 8.3 **Successors and Assigns.** The terms, provisions and conditions of this Agreement are and shall be deemed to be of benefit to the Property and shall run with and bind the Property, and shall bind and inure to the benefit of the successors and assigns of the parties to this Agreement.
- 8.4 **Amendment.** This Agreement may only be modified by written agreement of the Township and Owner or any successor in title who assumes Owner's rights and obligations hereunder. Notwithstanding, any amendments to this Agreement shall also require the written consent of Owners if Owners continue to hold title to any

portion of the Property.

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- 8.13 **Violations.** Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.

[Signatures and notarization are contained on the following pages]

[Signature page to Planned Development Agreement]

The parties hereto have executed this Agreement as of the year and date set forth above.

"OWNER"

Grand River Dorr, LLC,
A Michigan Limited Liability Company

By: _____
Mark Kassab

Its: _____
Authorized Agent

STATE OF MICHIGAN)
) ss.
COUNTY OF LIVINGSTON)

The foregoing PUD Agreement was acknowledged before me on this day of _____, 2022, by _____, _____ of Grand River Dorr, LLC, on behalf of the company.

[Signatures and notarization are continued on the following page)

[Signature page to Planned Development Agreement]

"TOWNSHIP"

Genoa Charter Township, Livingston County
A Michigan Limited Liability Company

By:

Its:

STATE OF MICHIGAN)
) ss.
COUNTY OF LIVINGSTON)

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BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY), SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF S PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 56 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 SAME BEING THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11; THENCE ALONG A LINE BEING 375.00 WEST AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,262,563 +- SQUARE FEET OR 51.941 +- ACRES OF LAND.

Exhibit B

Site Plan

EXHIBIT C

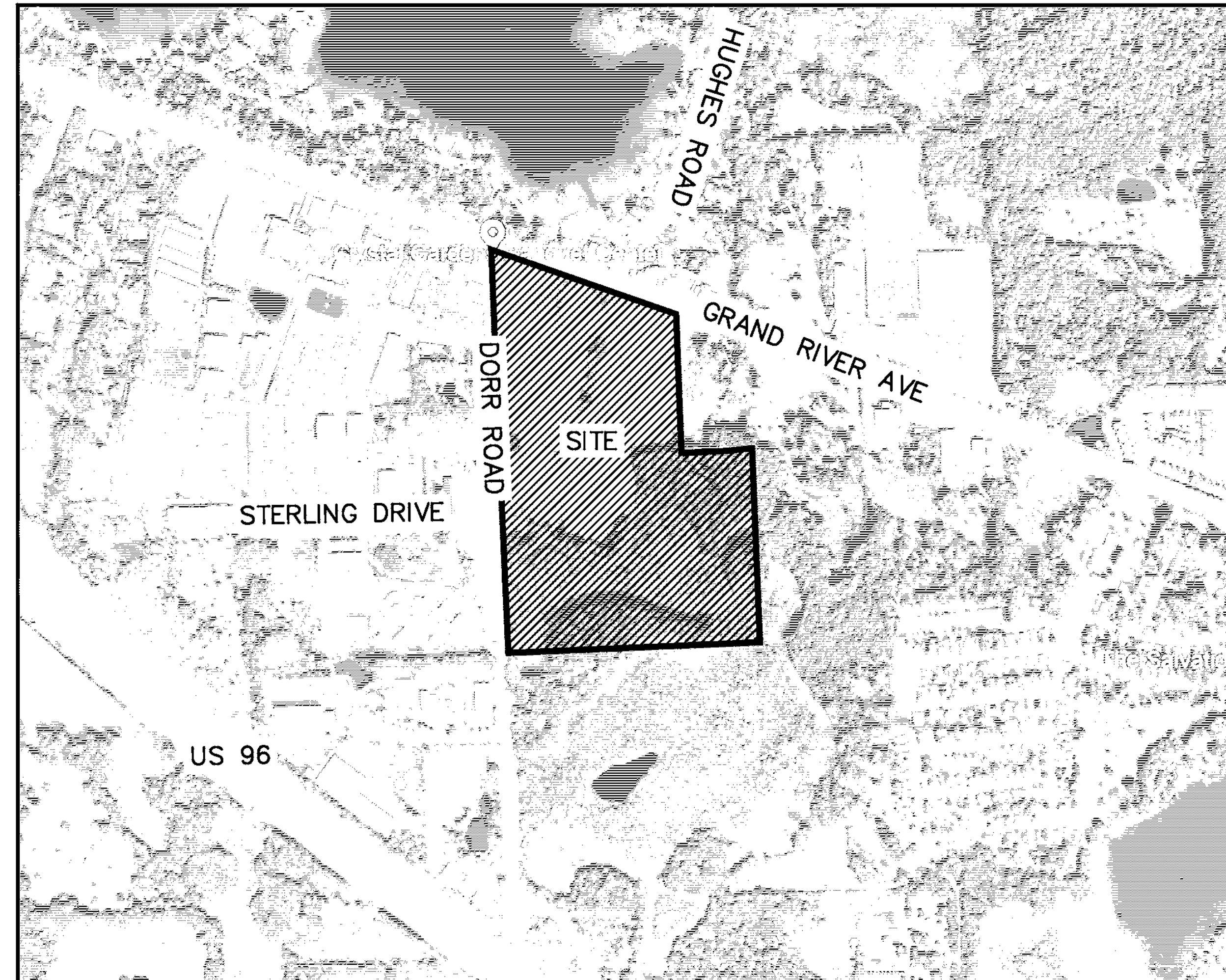
MINUTES OF MEETINGS AND
REVIEW LETTERS

CONCEPTUAL P.U.D. PLANS

THE LEGACY APARTMENT HOMES

6080 W. GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP
1"=500'

INDEX OF DRAWINGS	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.1	TOPOGRAPHICAL SURVEY-OVERALL
C-1.2	TOPOGRAPHICAL SURVEY-NORTH
C-1.3	TOPOGRAPHICAL SURVEY-SOUTH
C-1.4	TREE LIST
C-2.1	OVERALL PUD SITE PLAN
C-2.2	CONCEPTUAL PUD SITE PLAN-NORTH
C-2.3	CONCEPTUAL PUD SITE PLAN-SOUTH
C-3.1	CONCEPTUAL STORM WATER MANAGEMENT PLAN
C-4.1	CONCEPTUAL UTILITY PLAN
C-4.2	CONCEPTUAL UTILITY PLAN
C-5.1	VEHICLE TRACKING
LSC-1.0 - 5.0	CONCEPTUAL LANDSCAPE PLAN
A -1.0 - 6.0	ARCHITECTURAL FLOOR PLANS AND ELEVATIONS

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER
GRAND RIVER DORR, LLC
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILL, MI 48334
CONTACT: MARK KASSAB
PHONE: 248.865.0066
EMAIL: MKASSAB@MSHAPIROREALESTATE.COM

CIVIL ENGINEER
PEA GROUP
7927 NEMCO WAY, STE. 115
BRIGHTON, MI 48116
CONTACT: JONATHAN E. CURRY, PE
PHONE: 844.813.2949
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ARCHITECT
BURMANN ASSOCIATES INC.
119 W. ST. CLAIR
ROMEO, MICHIGAN 58065-4655
PHONE: 586.752.5010, MOBILE: 586.201.1602
EMAIL: GREATARCHITECTS@CHARTER.NET

SURVEYOR

HUBBELL ROTH AND CLARK
555 HULET DRIVE
BLOOMFIELD HILLS, MICHIGAN 48303
CONTACT: MELISSA COATTE, P.E.
PHONE: 248-454-6300
EMAIL: mcoatta@hrcenr.com

LANDSCAPE ARCHITECT/PLANNER

FELINO A. PASCUAL AND ASSOCIATES
24333 ORCHARD LAKE ROAD SUITE G
CONTACT: FELINO A. PASCUAL, RLA, CLARB
PHONE: 248.557.5588



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	5/24/2022
REVISED FOR TOWNSHIP COMMENTS	6/23/2022
REVISED FOR TOWNSHIP COMMENTS	11/4/2022

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY HRC, INC. THE NORTH WETLAND LINE WAS OBTAINED BY PEA GROUP.

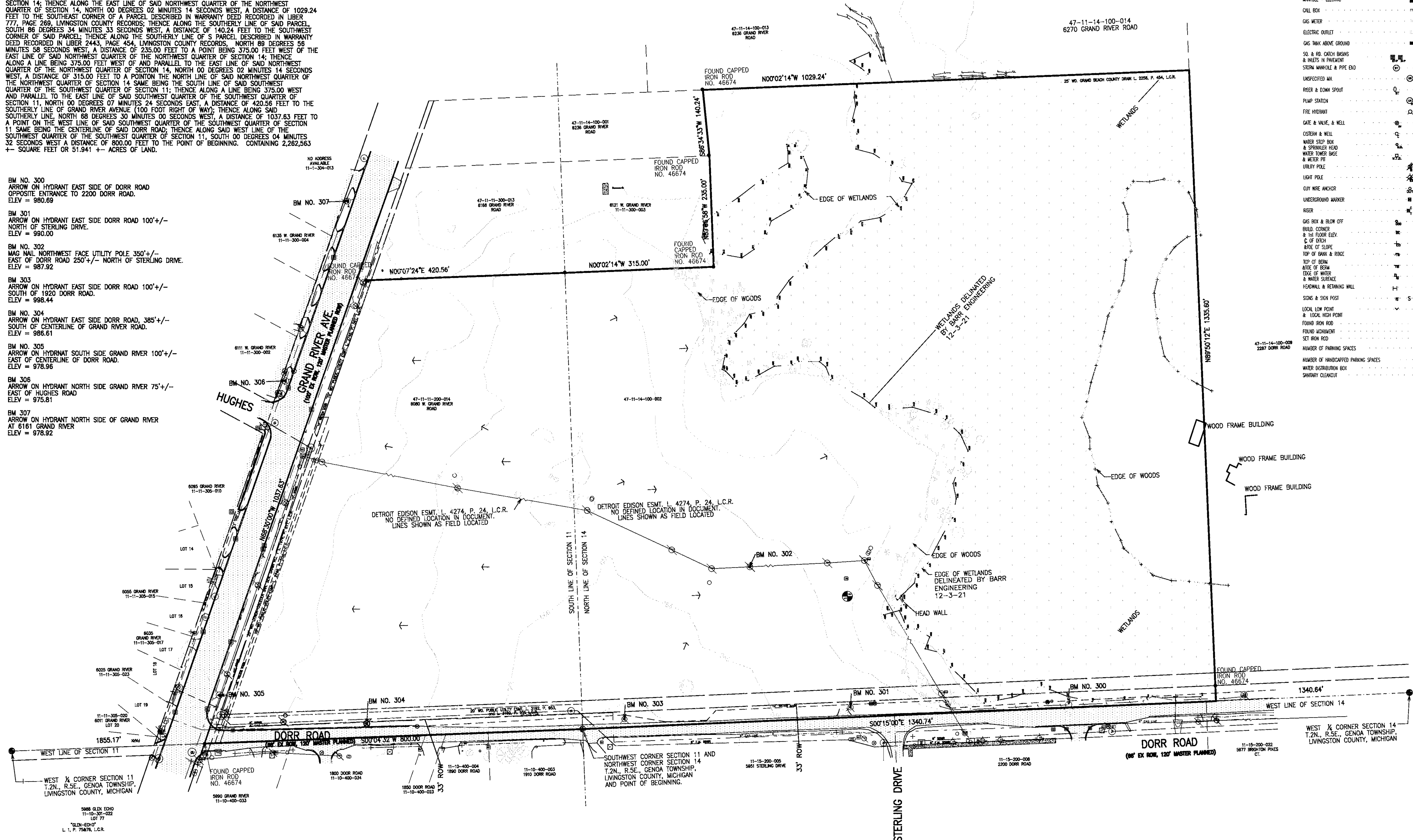
PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

PROPERTY DESCRIPTION:

BEING A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, AND A PART OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 14, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS:

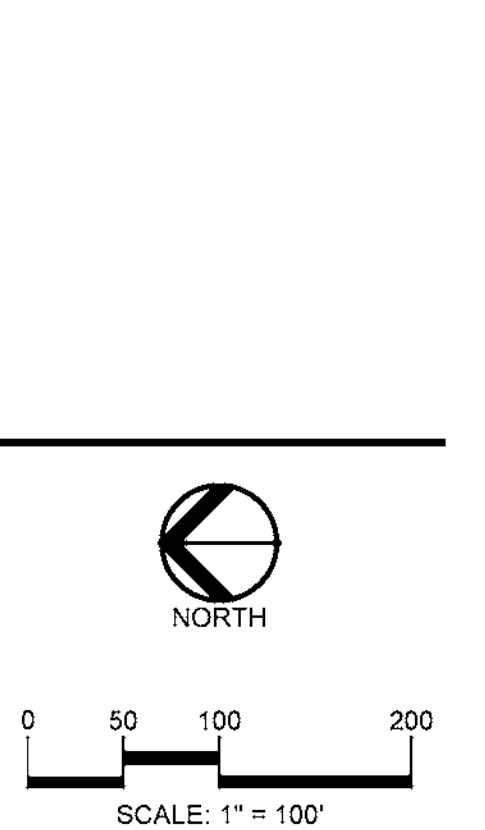
BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY) SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHWEST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 58 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 88 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,282,563 +/- SQUARE FEET OR 51.941 +/- ACRES OF LAND.

- BM NO. 300
ARROW ON HYDRANT EAST SIDE OF DORR ROAD
OPPOSITE ENTRANCE TO 2200 DORR ROAD.
ELEV = 980.69
- BM NO. 301
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
NORTH OF STERLING DRIVE.
ELEV = 990.00
- BM NO. 302
MAG NAIL NORTHWEST FACE UTILITY POLE 350'+/-
EAST OF DORR ROAD 250'+/- NORTH OF STERLING DRIVE.
ELEV = 987.92
- BM NO. 303
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
SOUTH OF 1920 DORR ROAD.
ELEV = 988.44
- BM NO. 304
ARROW ON HYDRANT EAST SIDE DORR ROAD, 385'+/-
SOUTH OF CENTERLINE OF GRAND RIVER ROAD.
ELEV = 986.61
- BM NO. 305
ARROW ON HYDRANT SOUTH SIDE GRAND RIVER 100'+/-
EAST OF CENTERLINE OF DORR ROAD.
ELEV = 978.96
- BM NO. 306
ARROW ON HYDRANT NORTH SIDE GRAND RIVER 75'+/-
EAST OF HUGHES ROAD.
ELEV = 975.81
- BM NO. 307
ARROW ON HYDRANT NORTH SIDE OF GRAND RIVER
AT 6161 GRAND RIVER
ELEV = 978.92

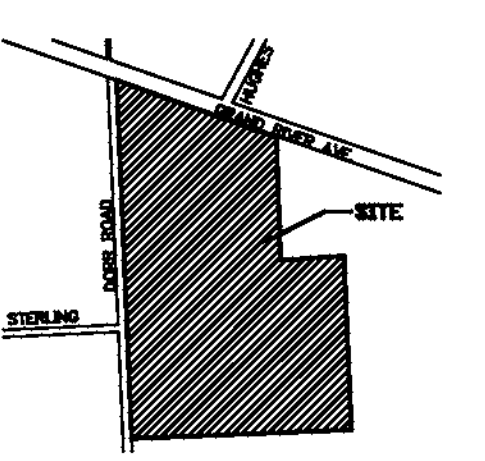


LEGEND

BUILDING	[Symbol]
ASPHALT	[Symbol]
CONCRETE	[Symbol]
GRAVEL	[Symbol]
STORM	[Symbol]
SEWER	[Symbol]
WATERMAIN	[Symbol]
GAS	[Symbol]
LAND TELEPHONE	[Symbol]
LAND ELECTRICAL	[Symbol]
TRAVELER LINE & TRAVELER POINT	[Symbol]
BENCH MARK SYMBOL	[Symbol]
PARKING BOLLARD	[Symbol]
FENCE	[Symbol]
MANHOLE - TELEPHONE	[Symbol]
MANHOLE - ELECTRIC	[Symbol]
CALL BOX	[Symbol]
GAS METER	[Symbol]
ELECTRIC OUTLET	[Symbol]
GAS TANK ABOVE GROUND	[Symbol]
SO & RB DITCH BASINS & INLETS IN PAVEMENT	[Symbol]
STORM MANHOLE & PIPE END	[Symbol]
UNSCOPED HIL	[Symbol]
PIER & DOWN SPURT	[Symbol]
PUMP STATION	[Symbol]
FIRE HYDRANT	[Symbol]
GATE & VALVE, & WELL	[Symbol]
CISTERN & WELL	[Symbol]
WATER STOP BOX & SPRINKLER HEAD	[Symbol]
WATER TOWER BASE & METER PIT	[Symbol]
UTILITY POLE	[Symbol]
LIGHT POLE	[Symbol]
COY WIRE ANCHOR	[Symbol]
UNDERGROUND MARKER	[Symbol]
RISER	[Symbol]
GAS BOX & BLOW OFF	[Symbol]
BUILD CORNER & 1st FLOOR ELEV. & OF DITCH	[Symbol]
AROE OF SLOPE	[Symbol]
TOP OF BANK & RIDGE	[Symbol]
EDGE OF WATER & WATER SURFACE	[Symbol]
HEADWALL & RETAINING WALL	[Symbol]
SIGNS & SIGN POST	[Symbol]
LOCAL LOW POINT & LOCAL HIGH POINT	[Symbol]
FOUND IRON ROD	[Symbol]
FOUND WOODENBENT	[Symbol]
SET IRON ROD	[Symbol]
NUMBER OF PARKING SPACES	[Symbol]
NUMBER OF HANDICAPPED PARKING SPACES	[Symbol]
WATER OBERSEER BOX	[Symbol]
SEWER CLEANOUT	[Symbol]



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS

REVISED PER TWP COMMENTS	6.23.22
REVISED PER TWP COMMENTS	11.4.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

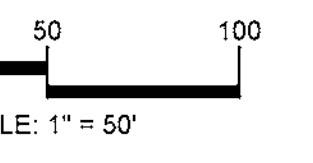
DRAWING TITLE
TOPOGRAPHICAL SURVEY-OVERALL

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	C-1.1

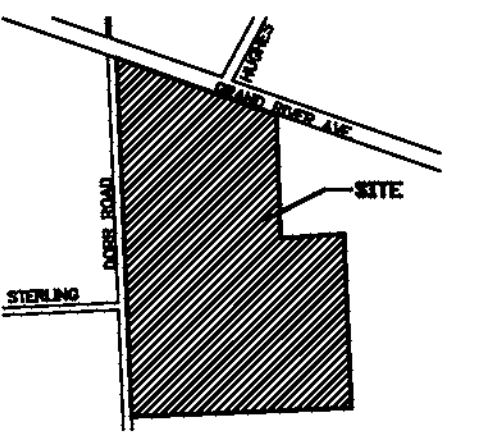
NOT FOR CONSTRUCTION

C-1.1

S:\PROJECTS\2021-0578-0578 LAURIEC GENOA TOWNSHIP\WORK\TOPSURV\C-1.1 CONCEPT TOPO-21-0578.dwg



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CLIENT/USER/OWNER/ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS	
REVISED PER TWP COMMENTS	6.23.22
REVISED PER TWP COMMENTS	11.4.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
TOPOGRAPHICAL SURVEY-NORTH

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	

LEGEND	
BUILDING	[Symbol]
ASPHALT	[Symbol]
CONCRETE	[Symbol]
GRAVEL	[Symbol]
STORM	[Symbol]
SAUNTRY	[Symbol]
WATERMAIN	[Symbol]
GAS	[Symbol]
UND. TELEPHONE	[Symbol]
UND. ELECTRICAL	[Symbol]
TRAVERSE LINE & TURNER POINT	[Symbol]
BENCH MARK SYMBOL	[Symbol]
PARKING BOLLARD	[Symbol]
FENCE	[Symbol]
MANHOLE - TELEPHONE	[Symbol]
MANHOLE - ELECTRIC	[Symbol]
CALL BOX	[Symbol]
GAS METER	[Symbol]
ELECTRIC OUTLET	[Symbol]
GAS TANK ABOVE GROUND	[Symbol]
SO. & RD. CATCH BASINS & INLETS IN PAVEMENT	[Symbol]
STORM MANHOLE & PIPE END	[Symbol]
UNSPECIFIED MH	[Symbol]
RISER & DOWN SPOUT	[Symbol]
PUMP STATION	[Symbol]
FIRE HYDRANT	[Symbol]
GATE & VALVE, & WELL	[Symbol]
CISTERN & WELL	[Symbol]
WATER STOP BOX & SPRINKLER HEAD	[Symbol]
WATER TOWER BASE & METER FIT	[Symbol]
UTILITY POLE	[Symbol]
LOAD POLE	[Symbol]
GYE WIRE ANCHOR	[Symbol]
UNDERGROUND WORKER	[Symbol]
RISER	[Symbol]
GAS BOX & ELBOW OFF	[Symbol]
BUILD. CORNER & 1st FLOOR ELEV.	[Symbol]
C. OF BRICH	[Symbol]
EDGE OF SLOPE	[Symbol]
TOP OF BANK & RIDGE	[Symbol]
TOP OF BANK	[Symbol]
EDGE OF BANK	[Symbol]
EDGE OF WATER & WATER SURFACE	[Symbol]
HEADWALL & RETAINING WALL	[Symbol]
SIGNS & SIGN POST	[Symbol]
LOCAL LOW POINT & LOCAL HIGH POINT	[Symbol]
FOUND IRON ROD	[Symbol]
FOUND MONUMENT	[Symbol]
SET IRON ROD	[Symbol]
NUMBER OF PARKING SPACES	[Symbol]
NUMBER OF HANDICAPPED PARKING SPACES	[Symbol]
WATER DISTRIBUTION BOX	[Symbol]
SAUNTRY CLEANOUT	[Symbol]

BM NO. 300
ARROW ON HYDRANT EAST SIDE OF DORR ROAD
OPPOSITE ENTRANCE TO 2200 DORR ROAD.
ELEV = 980.69

BM NO. 301
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
NORTH OF STERLING DRIVE.
ELEV = 990.00

BM NO. 302
MAG NAIL, NORTHWEST FACE UTILITY POLE 350'+/-
EAST OF DORR ROAD 250'+/- NORTH OF STERLING DRIVE.
ELEV = 987.92

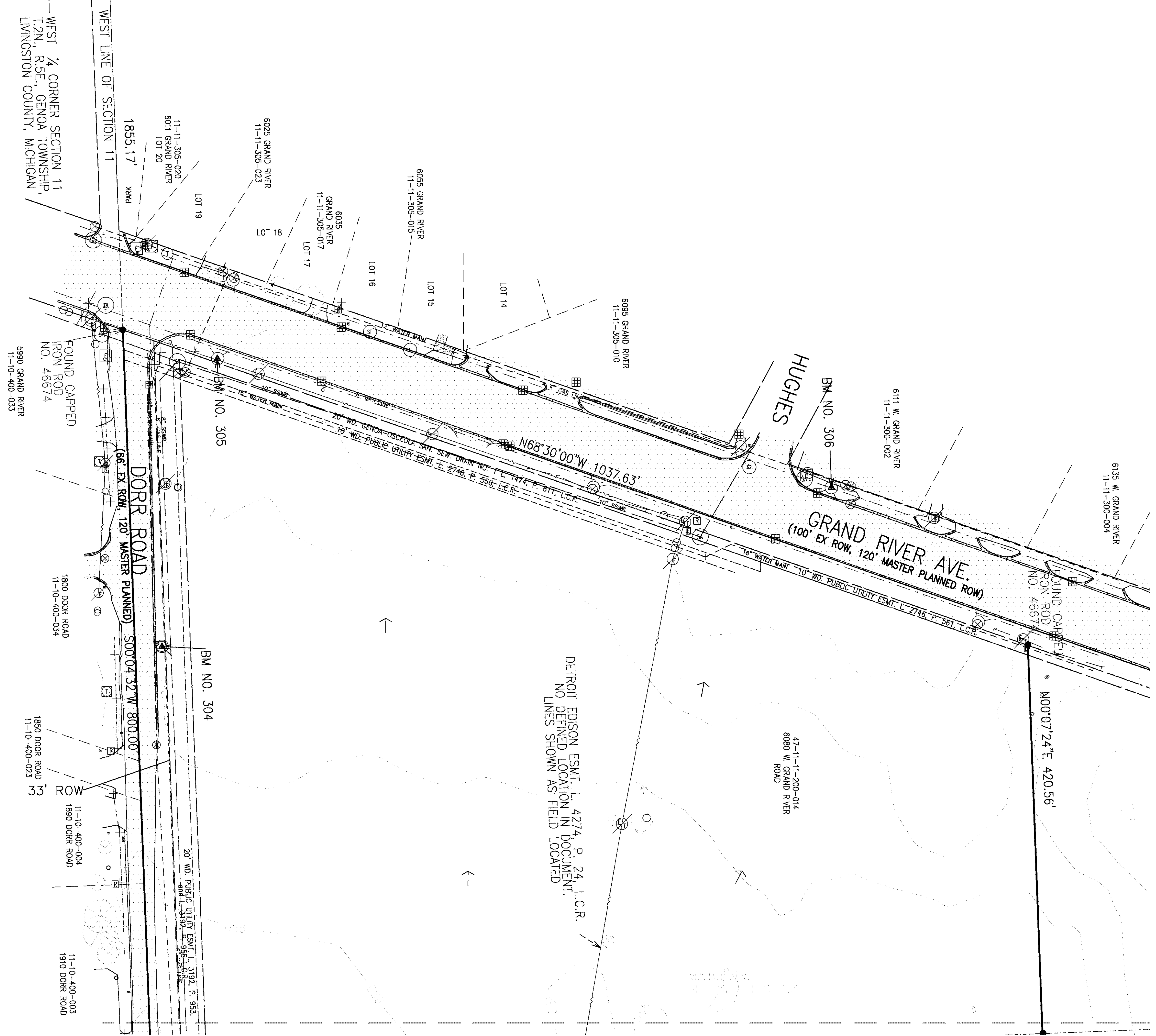
BM NO. 303
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
SOUTH OF 1920 DORR ROAD.
ELEV = 988.44

BM NO. 304
ARROW ON HYDRANT EAST SIDE DORR ROAD, 385'+/-
SOUTH OF CENTERLINE OF GRAND RIVER ROAD.
ELEV = 986.61

BM NO. 305
ARROW ON HYDRANT SOUTH SIDE GRAND RIVER 100'+/-
EAST OF CENTERLINE OF DORR ROAD.
ELEV = 978.96

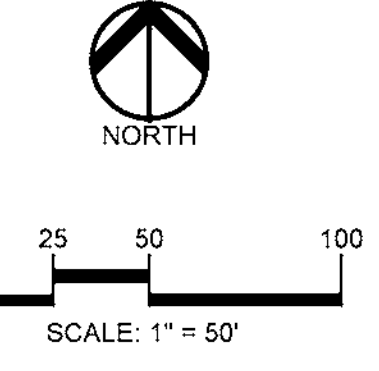
BM NO. 306
ARROW ON HYDRANT NORTH SIDE GRAND RIVER 75'+/-
EAST OF HUGHES ROAD
ELEV = 975.81

BM NO. 307
ARROW ON HYDRANT NORTH SIDE OF GRAND RIVER
AT 6161 GRAND RIVER
ELEV = 978.92

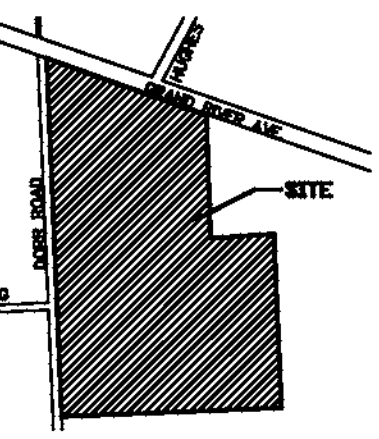


NOT FOR CONSTRUCTION

C-1.2



CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR REPRESENTATION IS APPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GRAND RIVER DORR LLC.
 315550 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
 6080 W GRAND RIVER
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS	
REVISED PER TWP COMMENTS	6.23.22
REVISED PER TWP COMMENTS	11.4.22

ORIGINAL ISSUE DATE:
 MAY 24, 2022

DRAWING TITLE
TOPOGRAPHICAL SURVEY-SOUTH

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	

NOT FOR CONSTRUCTION **C-1.3**



BM NO. 300
 ARROW ON HYDRANT EAST SIDE OF DORR ROAD
 OPPOSITE ENTRANCE TO 2200 DORR ROAD.
 ELEV = 980.69

BM NO. 301
 ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
 NORTH OF STERLING DRIVE.
 ELEV = 990.00

BM NO. 302
 MAG NAIL NORTHWEST FACE UTILITY POLE 350'+/-
 EAST OF DORR ROAD 250'+/- NORTH OF STERLING DRIVE.
 ELEV = 987.92

BM NO. 303
 ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
 SOUTH OF 1920 DORR ROAD.
 ELEV = 998.44

BM NO. 304
 ARROW ON HYDRANT EAST SIDE DORR ROAD, 385'+/-
 SOUTH OF CENTERLINE OF GRAND RIVER ROAD.
 ELEV = 986.61

BM NO. 305
 ARROW ON HYDRANT SOUTH SIDE GRAND RIVER 100'+/-
 EAST OF CENTERLINE OF DORR ROAD.
 ELEV = 978.96

BM NO. 306
 ARROW ON HYDRANT NORTH SIDE GRAND RIVER 75'+/-
 EAST OF HUGHES ROAD
 ELEV = 975.81

BM NO. 307
 ARROW ON HYDRANT NORTH SIDE OF GRAND RIVER
 AT 5151 GRAND RIVER
 ELEV = 978.92

003 ROAD
 SOUTH LINE OF SECTION 11
 NORTH LINE OF SECTION 14
 DETROIT EDISON ESMT. L. 4274, P. 24, I.C.R.
 NO DEFINED LOCATION IN DOCUMENT.
 LINES SHOWN AS FIELD LOCATED

47-11-14-100-001
 6236 GRAND RIVER
 6121 W. GRAND RIVER
 11-11-300-003
 47-11-14-100-002
 11-15-200-005
 5951 STERLING DRIVE
 11-15-200-008
 2200 DORR ROAD

BM NO. 303
 BM NO. 302
 BM NO. 301
 33' ROW
 5" WATER MAIN
 6" GAS LINE
 6" F.M. SEWER

EDGE OF WOODS
 EDGE OF WETLANDS
 HEAD WALL
 WETLANDS DELINEATED BY BARR ENGINEERING 12-3-21

FOUND CAPPED IRON ROD NO. 46674
 FOUND CAPPED IRON ROD NO. 46674
 FOUND CAPPED IRON ROD NO. 46674
 FOUND CAPPED IRON ROD NO. 46674

89°56'58"W 235.00'
 586°34'33"W 140.24'
 100°02'14"W 315.00'
 100°02'14"W 1029.24'

A1-A48
 B1-B21

WETLANDS DELINEATED BY BARR ENGINEERING 12-3-21

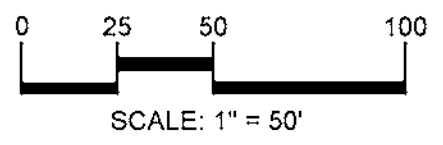
EDGE OF WOODS
 EDGE OF WETLANDS

33' ROW
 DRIVE

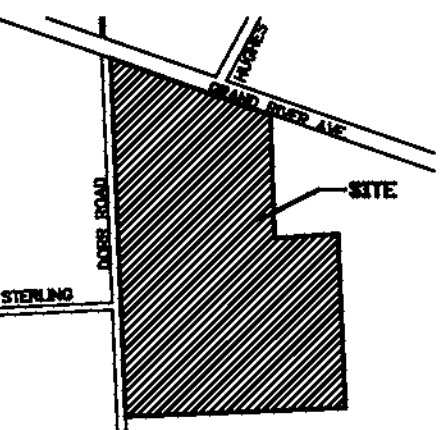
11-15-200-005
 5951 STERLING DRIVE
 11-15-200-008
 2200 DORR ROAD

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS
752	RO	10	Red Oak	Quercus rubra	Good	
753	RO	11	Red Oak	Quercus rubra	Good	
754	PN	18	Pin Cherry	Prunus pennsylvanica	Good	
755	RO	13	Red Oak	Quercus rubra	Good	
756	RO	10	Red Oak	Quercus rubra	Good	
757	RO	10	Red Oak	Quercus rubra	Good	x1
758	RO	9	Red Oak	Quercus rubra	Good	
759	RO	11	Red Oak	Quercus rubra	Good	
760	RO	8	Red Oak	Quercus rubra	Good	x1
761	RO	10	Red Oak	Quercus rubra	Good	
762	BX	21	Box elder	Acer negundo	Fair	x1
763	AP	10	Domestic Apple	Malus sylvestris	Fair	x1
764	BC	10	Wild Black Cherry	Prunus serotina	Poor	
765	BG	10	Bigtooth Aspen	Populus grandidentata	Good	
766	E	10	American Elm	Ulmus americana	Good	
767	AP	9	Domestic Apple	Malus sylvestris	Fair	
768	BC	10	Wild Black Cherry	Prunus serotina	Fair	
769	MW	12	White Mulberry	Morus alba	Fair	
770	BC	13	Wild Black Cherry	Prunus serotina	Fair	
771	BC	13	Wild Black Cherry	Prunus serotina	Fair	
772	BC	9	Wild Black Cherry	Prunus serotina	Fair	
773	BC	15	Wild Black Cherry	Prunus serotina	Fair	
774	AP	12	Domestic Apple	Malus sylvestris	Fair	
775	AP	8	Domestic Apple	Malus sylvestris	Fair	
776	AP	8	Domestic Apple	Malus sylvestris	Fair	x1
777	AP	8	Domestic Apple	Malus sylvestris	Fair	
778	RO	9	Red Oak	Quercus rubra	Good	
779	AP	10	Domestic Apple	Malus sylvestris	Fair	
780	AP	12	Domestic Apple	Malus sylvestris	Fair	
781	RO	12	Red Oak	Quercus rubra	Good	
782	AP	11	Domestic Apple	Malus sylvestris	Fair	
783	AP	10	Domestic Apple	Malus sylvestris	Fair	
784	AP	8	Domestic Apple	Malus sylvestris	Fair	x1
785	BG	8	Bigtooth Aspen	Populus grandidentata	Fair	
786	BG	10	Bigtooth Aspen	Populus grandidentata	Very Poor	
787	BG	9	Bigtooth Aspen	Populus grandidentata	Fair	
788	BG	10	Bigtooth Aspen	Populus grandidentata	Fair	
789	BG	10	Bigtooth Aspen	Populus grandidentata	Very Poor	
790	AP	8	Domestic Apple	Malus sylvestris	Fair	
791	AP	8	Domestic Apple	Malus sylvestris	Fair	x5
792	BG	9	Bigtooth Aspen	Populus grandidentata	Good	
793	RO	12	Red Oak	Quercus rubra	Fair	
794	SWO	14	Swamp White Oak	Quercus bicolor	Fair	
795	SWO	14	Swamp White Oak	Quercus bicolor	Fair	
796	SWO	16	Swamp White Oak	Quercus bicolor	Fair	
797	BX	11	Box elder	Acer negundo	Poor	x1
798	AP	18	Domestic Apple	Malus sylvestris	Fair	x5
799	BG	11	Bigtooth Aspen	Populus grandidentata	Dead	
800	BC	9	Wild Black Cherry	Prunus serotina	Fair	
801	BC	16	Wild Black Cherry	Prunus serotina	Poor	
802	BC	14	Wild Black Cherry	Prunus serotina	Fair	
803	BC	16	Wild Black Cherry	Prunus serotina	Fair	x1
804	GA	8	Green Ash	Fraxinus pennsylvanica	Poor	x1
805	BC	18	Wild Black Cherry	Prunus serotina	Fair	
806	BC	9	Wild Black Cherry	Prunus serotina	Fair	
807	BC	9	Wild Black Cherry	Prunus serotina	Fair	
808	BC	14	Wild Black Cherry	Prunus serotina	Poor	x1

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS
809	BC	13	Wild Black Cherry	Prunus serotina	Fair	
810	BC	11	Wild Black Cherry	Prunus serotina	Poor	
811	BC	12	Wild Black Cherry	Prunus serotina	Fair	
812	BC	16	Wild Black Cherry	Prunus serotina	Fair	x1
813	BC	13	Wild Black Cherry	Prunus serotina	Fair	
814	BC	8	Wild Black Cherry	Prunus serotina	Poor	
815	BC	9	Wild Black Cherry	Prunus serotina	Fair	
816	PN	11	Pin Cherry	Prunus pennsylvanica	Fair	check YB
817	PN	12	Pin Cherry	Prunus pennsylvanica	Fair	
818	BC	9	Wild Black Cherry	Prunus serotina	Fair	
819	BX	12	Box elder	Acer negundo	Fair	
820	BC	13	Wild Black Cherry	Prunus serotina	Fair	
821	BC	11	Wild Black Cherry	Prunus serotina	Fair	
822	PN	14	Pin Cherry	Prunus pennsylvanica	Good	
823	BX	17	Box elder	Acer negundo	Fair	x1
824	BX	8	Box elder	Acer negundo	Fair	
825	BX	10	Box elder	Acer negundo	Fair	
826	BX	8	Box elder	Acer negundo	Fair	
827	SM	21	Silver Maple	Acer saccharinum	Good	x1
828	BC	10	Wild Black Cherry	Prunus serotina	Poor	
829	BC	11	Wild Black Cherry	Prunus serotina	Very Poor	crowns broke off
830	BC	8	Wild Black Cherry	Prunus serotina	Poor	
831	BC	9	Wild Black Cherry	Prunus serotina	Fair	
832	BC	8	Wild Black Cherry	Prunus serotina	Poor	
833	BC	12	Wild Black Cherry	Prunus serotina	Fair	
834	BC	9	Wild Black Cherry	Prunus serotina	Poor	
835	BX	8	Box elder	Acer negundo	Very Poor	x1
836	BX	10	Box elder	Acer negundo	Fair	
837	PN	11	Pin Cherry	Prunus pennsylvanica	Fair	
838	BC	12	Wild Black Cherry	Prunus serotina	Fair	
839	RO	18	Red Oak	Quercus rubra	Fair	
840	YB	13	Yellow Birch	Betula alleghaniensis	Fair	
841	BX	8	Box elder	Acer negundo	Poor	
842	BC	8	Wild Black Cherry	Prunus serotina	Fair	
843	BX	8	Box elder	Acer negundo	Very Poor	
844	BC	16	Wild Black Cherry	Prunus serotina	Fair	
845	BX	8	Box elder	Acer negundo	Poor	
846	BC	27	Wild Black Cherry	Prunus serotina	Fair	x1
847	BC	14	Wild Black Cherry	Prunus serotina	Fair	
848	BX	9	Box elder	Acer negundo	Fair	
849	BX	9	Box elder	Acer negundo	Very Poor	
850	BX	8	Box elder	Acer negundo	Fair	x1
851	BO	16	Black Oak	Quercus velutina	Good	x1
852	BX	9	Box elder	Acer negundo	Poor	x3
853	BX	9	Box elder	Acer negundo	Fair	
854	BC	11	Wild Black Cherry	Prunus serotina	Fair	
855	RO	13	Red Oak	Quercus rubra	Fair	
856	BC	13	Wild Black Cherry	Prunus serotina	Fair	
857	RO	11	Red Oak	Quercus rubra	Fair	
858	BC	8	Wild Black Cherry	Prunus serotina	Fair	x3
859	BC	8	Wild Black Cherry	Prunus serotina	Fair	
860	RO	17	Red Oak	Quercus rubra	Good	x1
861	AP	17	Domestic Apple	Malus sylvestris	Poor	x2
862	AP	25	Domestic Apple	Malus sylvestris	Poor	
863	WO	38	White Oak	Quercus alba	Very Poor	
864	BC	13	Wild Black Cherry	Prunus serotina	Fair	



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CLIENT
GRAND RIVER DORR LLC.
 315530 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
 6080 W GRAND RIVER
 CENICA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS	DATE
REVISED PER TWP COMMENTS	6-23-22
REVISED PER TWP COMMENTS	11-4-22

ORIGINAL ISSUE DATE:
 MAY 24, 2022

DRAWING TITLE
TREE LIST

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	

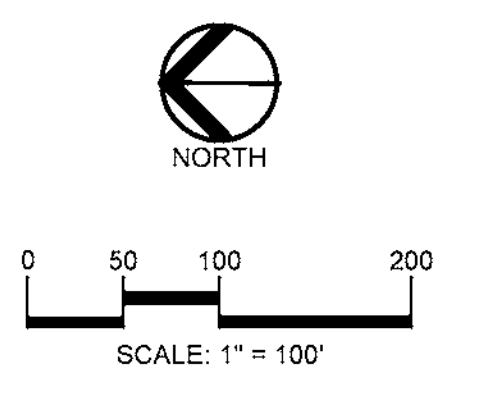
SITE DATA TABLE:		
SITE AREA	ORDINANCE	PROPOSED
20.0 ACRES MIN.	51.84 ACRES GROSS (Wetland 17.29 ac, ROW 1.62 ac)	33.03 ACRES NET
DENSITY	8 UNITS/ACRE	6.18 UNITS/ACRE
ZONING: EXISTING:	NSD AND MDR WITH TOWN CENTER OVERLAY	
PROPOSED:	HDR, RPUD	
USE: EXISTING:	VACANT	
PROPOSED:	204 MULTI-FAMILY DWELLING UNITS, CLUBHOUSE AND POOL	
BUILDING INFORMATION:		
MAXIMUM ALLOWABLE BUILDING HEIGHT = 40 FEET (3 STORIES)		
PROPOSED BUILDING HEIGHT = 27 FEET (2 STORIES)		
BUILDING FOOTPRINT AREA = 5,898 - 11,981 SQ.FT.		
CLUBHOUSE - 6,658 SQ. FT.		
TOTAL BUILDING FOOTPRINT AREA = 203,492 SQ.FT.		
LOT COVERAGE	REQUIRED	PROPOSED (BASED ON NET ACRES)
PERCENT IMPERVIOUS	35% MAX	14.3%
	50% MAX	45.4%
SETBACK REQUIREMENTS:		
FRONT:	REQUIRED	PROPOSED
INTERIOR	20'	20'
EXTERIOR	35'	75.4' MIN (Grand River), 77.9' (Dorr)
SIDE:	15'	30.0' MIN
REAR:	30'	76.9'
DENSITY CALCULATION		
ALLOWED	PROPOSED OVERALL ACREAGE	PROPOSED USEABLE ACREAGE
8 UNITS/AC	3.92 UNITS/AC	6.18 UNITS/AC
PARKING CALCULATIONS:		
TOTAL REQUIRED PARKING REQUIRED 2 SPACES PER 2 BEDROOM OR MORE UNIT = 408 SPACES		
TOTAL PROPOSED PARKING SPACES = 701 SPACES (408 GARAGE + 204 IN DRIVEWAYS + 89 ADDITIONAL SPACES INCLUDING 1 H/C SPACE)		
OPEN SPACE:		
MINIMUM OPEN SPACE REQUIRED = 25%		
PROVIDED OPEN SPACE = 39.86 AC = 45.1% (33.03/Net Ac) - 12.7(Impervious) - 1.98 (ponds) + 4.32 (25% Wetland)/(51.84-1.62)		
SITE SOILS INFORMATION:		
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR LIVINGSTON COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:		
FrB, MoB, MoC, MoD, Rf, W, Wh		

ORDINANCE MODIFICATIONS:	
ZONING	
3.05.02 (e)/ 15.05.03	MODIFICATION OF THE HORIZONTAL MINIMUM CURVE RADIUS FROM 150' TO 100' AND CURB RADI FROM ROAD TO GARAGE AND PARKING DRIVEWAYS LESS THAN 30' RADIUS.
10.03.01 (C)	THE OPEN SPACE ALONG THE EXTERIOR PUBLIC ROADS SHALL GENERALLY HAVE A DEPTH OF AT LEAST ONE HUNDRED (100) FEET EITHER LANDSCAPED OR PRESERVED IN A NATURAL WOODED CONDITION.
12.01.03	REDUCTION IN THE PERCENTAGE OR BRICK REQUIRED ON BUILDING WALLS EXPOSED TO PUBLIC AND AN INCREASE IN PERCENTAGE OF VINYL OR FIBER CEMENT SIDING AND WOOD SIDING.
13.02.04 d.	REQUEST FOR GRADING SPACE 10' FROM REGULATED WETLAND.
14.02.06	REQUEST TO EXCEED PARKING SPACE REQUIREMENT MORE THAN 20%
14.06.09	PARKING LOTS AND RELATED MANEUVERING AISLES SHALL MEET MINIMUM SETBACKS FROM ADJACENT STREET R-O-W AS SHOWN IN THE SCHEDULE OF REGULATIONS AND HAVE PARKING LOT LANDSCAPING
14.06.10	PARKING LOTS SHALL HAVE MINIMUM REAR AND SIDE YARD SETBACKS INCLUDING BERMING AND LANDSCAPING.

NOTE:

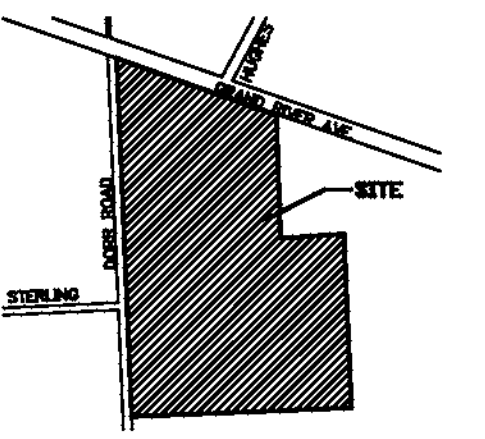
- PROPERTY WILL BE DEVELOPED OWNED AND OPERATED BY A SINGLE OWNERSHIP ENTITY.
- TRASH COLLECTION WILL BE PROVIDED VIA INDIVIDUAL TRASH CARTS FOR EACH UNIT WITH CURB SIDE TRASH COLLECTION.

LEGEND:	
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL



811 Know what's below. Call before you dig.

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31550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

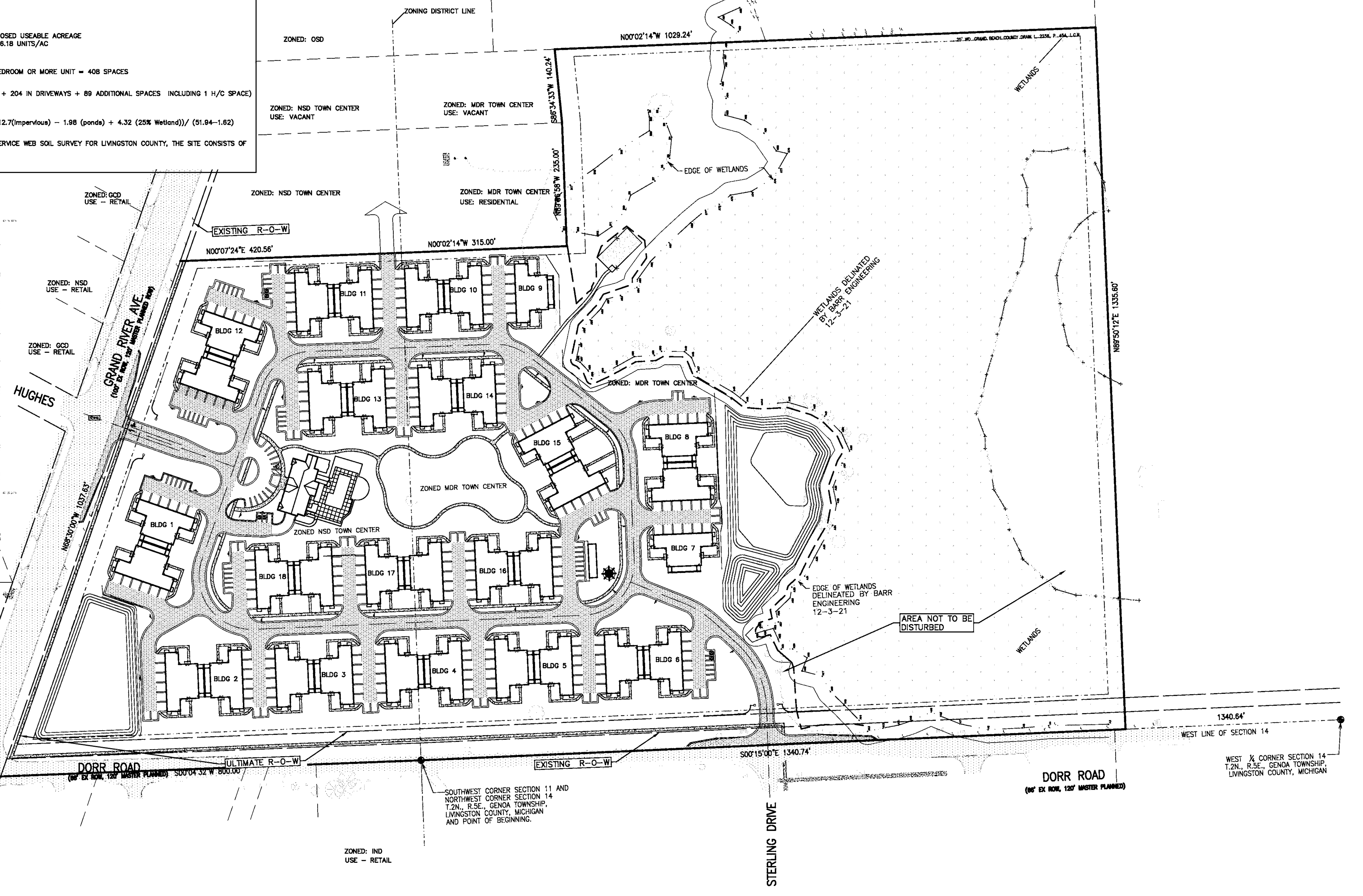
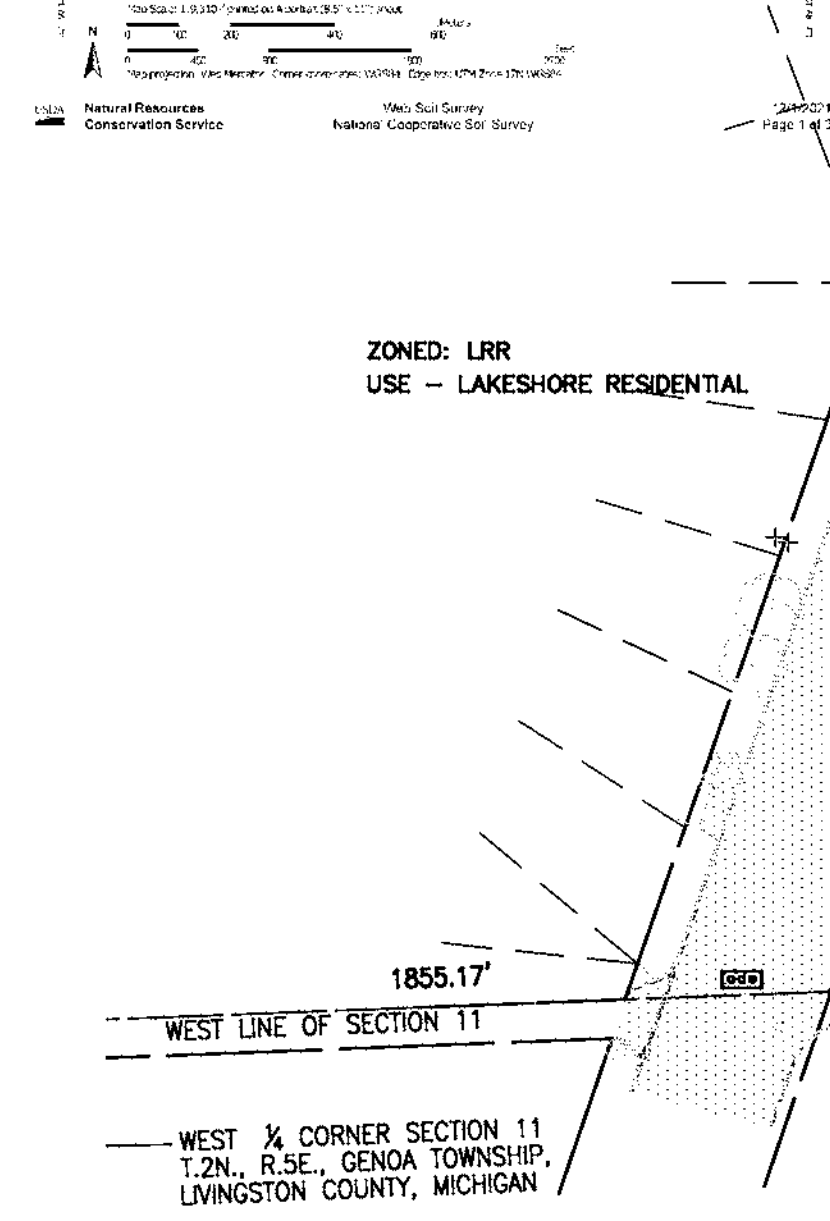
PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS	
REVISED PER TWP COMMENTS	6.23.22
REVISED PER TWP COMMENTS	11-4-22

ORIGINAL ISSUE DATE:
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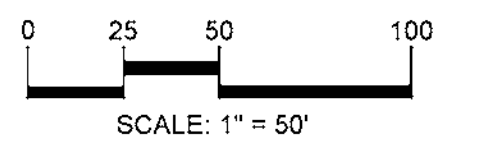
DRAWING TITLE
OVERALL PUD SITE PLAN

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER:	

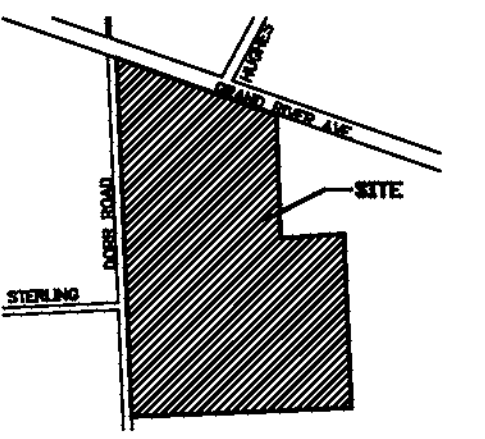


LEGEND:

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	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHT POLE
	FENCE
	GUARD RAIL



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31550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENEA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

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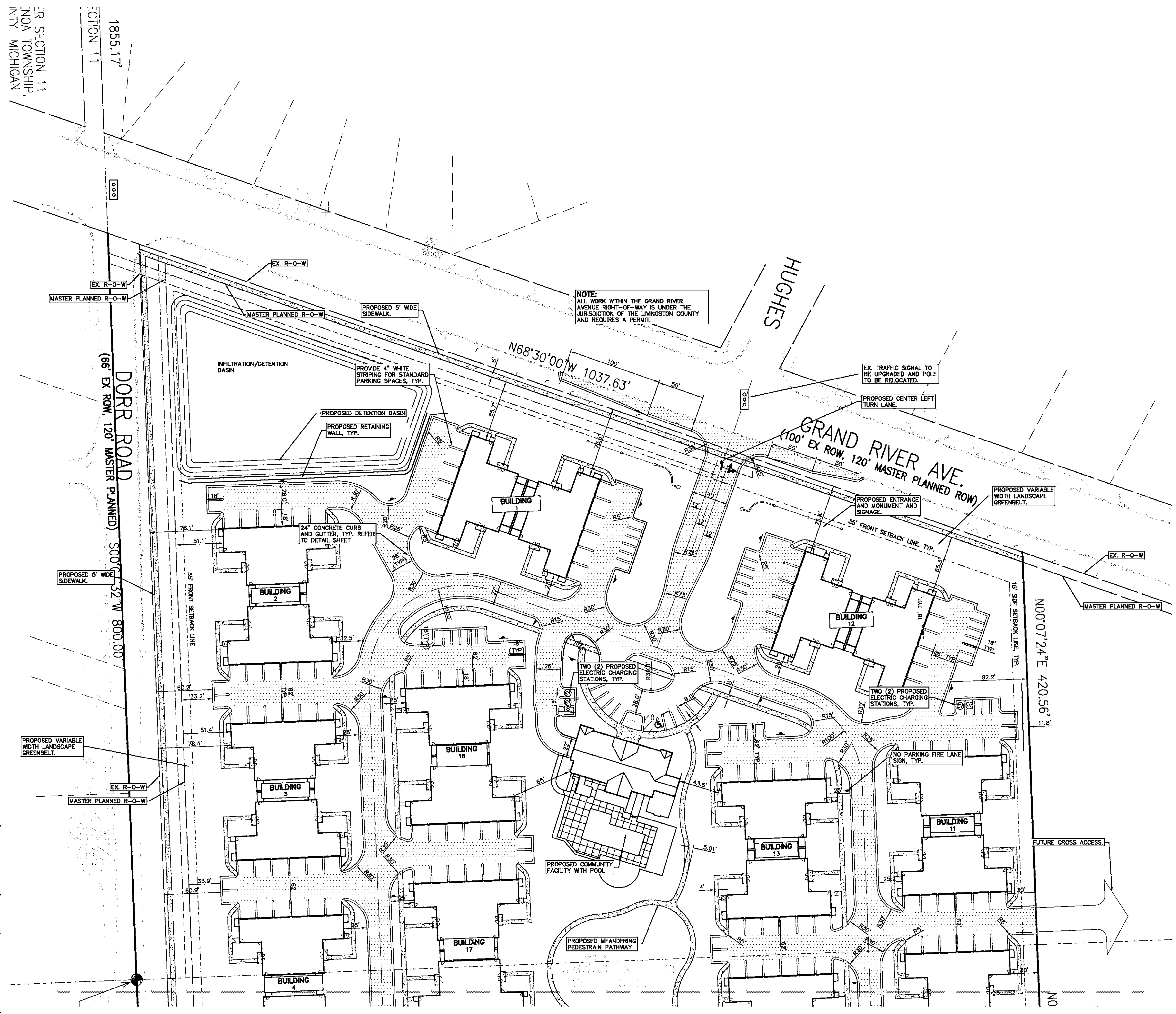
ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
CONCEPTUAL PUD SITE PLAN-NORTH

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	

GENERAL NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

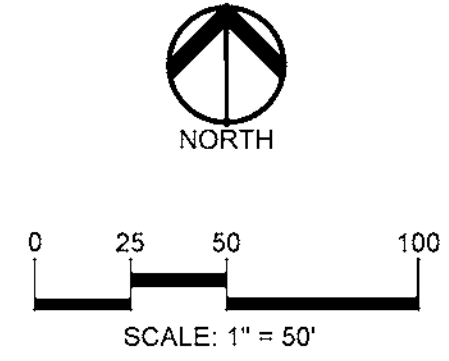
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 50'-100' FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.



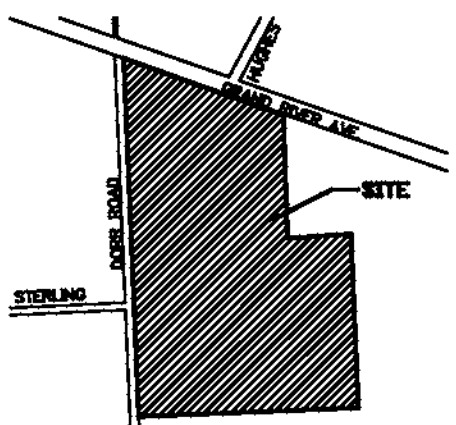
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LEGEND:

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL



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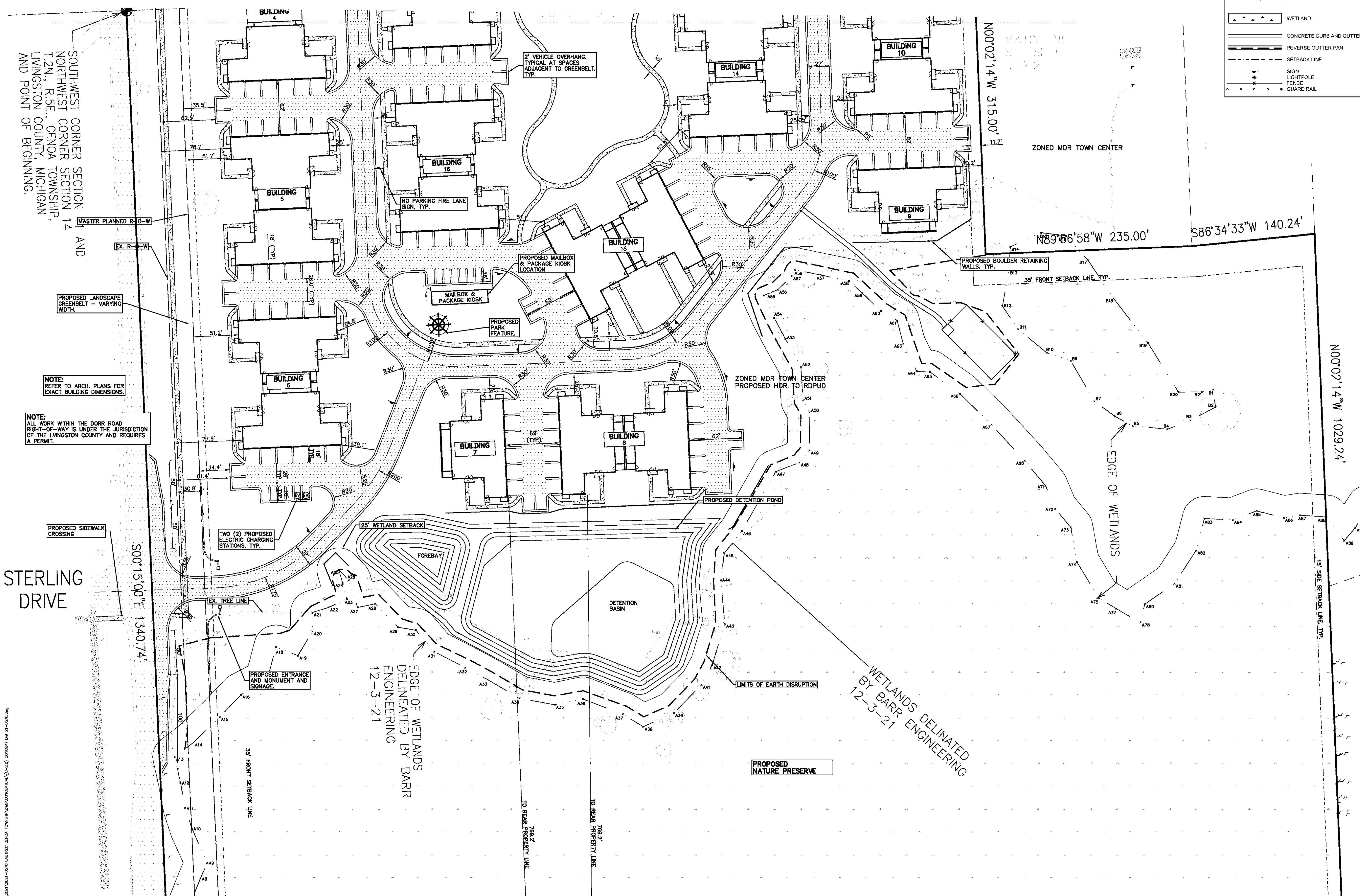
PROJECT TITLE
THE LEGACY APARTMENT HOMES
 6080 W GRAND RIVER
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS

REVISED PER TWP COMMENTS	6.23.22
REVISED PER TWP COMMENTS	11-4-22

ORIGINAL ISSUE DATE:
 MAY 24, 2022
 DRAWING TITLE
CONCEPTUAL PUD SITE PLAN-SOUTH

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	



SOUTHWEST CORNER SECTION 14 AND NORTHWEST CORNER SECTION 14, T.2N., R.5E., GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN AND POINT OF BEGINNING.

NOTE: REFER TO ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
 NOTE: ALL WORK WITHIN THE DORR ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE LIVINGSTON COUNTY AND REQUIRES A PERMIT.

STERLING DRIVE
 500°15'00"E 1340.74'
 35' FRONT SETBACK LINE

15' SIDE SETBACK LINE, TYP.
 100°02'14"W 1029.24'

11.7'
 100°02'14"W 315.00'

ZONED MDR TOWN CENTER

N89°06'58"W 235.00'

S86°34'33"W 140.24'

ZONED MDR TOWN CENTER PROPOSED HDR TO IRDPUD

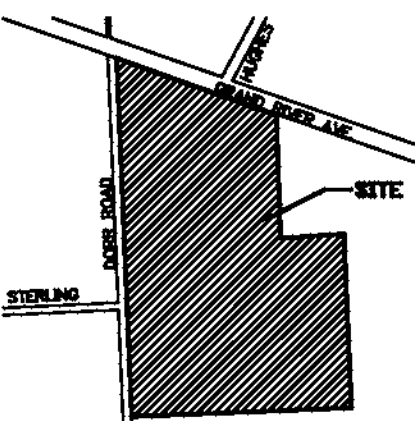
EDGE OF WETLANDS

EDGE OF WETLANDS DELINEATED BY BARR ENGINEERING 12-3-21

WETLANDS DELINEATED BY BARR ENGINEERING 12-3-21

PROPOSED NATURE PRESERVE

S:\PROJECTS\2021\2021-0578\2021-0578-001\DWG\CONCEPT\2021-0578-001-CONCEPT.DWG



CLIENT
GRAND RIVER DORR LLC.
31550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENEA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS

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REVISED PER TWP COMMENTS	11-4-22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
CONCEPTUAL STORM WATER MANAGEMENT PLAN

PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER:	

NORTH POND CALCS

Rainfall Intensity		15.00 min
Time of Concentration (Tc)		
Since Tc <= 15 min, I1 = 2.0 in/hr		
I1 = 30.2 / (T + 9.17)^0.81		2.00 in/hr
I10 = 175 / (T + 25)		4.38 in/hr
I100 = 30.2033 x 100^0.2203 / ((T + 9.1747)^0.8066)		6.37 in/hr
CPVC: Channel Protection Volume Control Volume		
Vcpvc = (4719)CA		21,042 cf
CPCR: Channel Protection Rate Control Volume: Extended Detention		
VED= (6897)CA		30,754 cf
CPCR Allowable Outlet Rate		
Qved = VED / (48*60*60)		0.18 cfs
Water Quality Control		
Forebay Volume = (545)CA		2,430 cf
Forebay Release Rate: QVF = QVED		0.178 cfs
100-Year Allowable Outlet Rate		
Qwr = Qa		
Qvrr =		0.15 cfs/ac
100-Year Peak Allowable Discharge		
Q100p = Qvrr(A)		1.37 cfs
100-Year Runoff Volume		
V100R=18985AXC		84,654 cf
100-Year Peak Inflow		
Q100N = C(I100)A		28.40 cfs
Storage Curve Factor (Vs/Vr)		
R = 0.206-0.15 x ln(Q100P/Q100IN)		0.661
100-Year Storage Volume		
Vs = R(V100R)		55,956 cf
Infiltration will be provided. CPVC can be deducted:		
V100 = Vs-Vcpvc		34,914 ³ cf
V100 must be larger or equal to VED:		
Is V100 >= VED ?	Yes	
V100 =		55,956 cf

SOUTH POND CALCS

Rainfall Intensity		15.00 min
Time of Concentration (Tc)		
Since Tc <= 15 min, I1 = 2.0 in/hr		
I1 = 30.2 / (T + 9.17)^0.81		2.00 in/hr
I10 = 175 / (T + 25)		4.38 in/hr
I100 = 30.2033 x 100^0.2203 / ((T + 9.1747)^0.8066)		6.37 in/hr
CPVC: Channel Protection Volume Control Volume		
Vcpvc = (4719)CA		44,965 cf
CPCR: Channel Protection Rate Control Volume: Extended Detention		
VED= (6897)CA		65,718 cf
CPCR Allowable Outlet Rate		
Qved = VED / (48*60*60)		0.38 cfs
Water Quality Control		
Forebay Volume = (545)CA		5,193 cf
Forebay Release Rate: QVF = QVED		0.380 cfs
100-Year Allowable Outlet Rate		
Qwr = Qa		
Qvrr =		0.06 cfs/ac
100-Year Peak Allowable Discharge		
Q100p = Qvrr(A)		0.97 cfs
100-Year Runoff Volume		
V100R=18985AXC		180,899 cf
100-Year Peak Inflow		
Q100N = C(I100)A		60.70 cfs
Storage Curve Factor (Vs/Vr)		
R = 0.206-0.15 x ln(Q100P/Q100IN)		0.827
100-Year Storage Volume		
Vs = R(V100R)		149,603 cf
No infiltration will be provided, so no CPVC deduction is taken.		
V100 = Vs		149,603 ³ cf
V100 must be larger or equal to VED:		
Is V100 >= VED ?	Yes	
V100 =		149,603 cf

Site Drainage Data			
Select County:	Livingston		
Existing			
Natural Greenspace area:	9.10 acre	C =	0.20
Select NCRS Soil type:	B		
Improved Greenspace area:	1.00 acre	C =	0.20
Select NCRS Soil type:	B		
Wooded Area:	0.00 acre	C =	0.20
Select NCRS Soil type:	B		
Impervious Area:	0.00 acre	C =	0.90
Greenbelt Area:	9.10 acre	C =	0.20
Total Area (A):	9.10 acre		
Weighted Coefficient of Runoff (C):		0.20	
Proposed			
Natural Greenspace area:	0.00 acre	C =	0.20
Select NCRS Soil type:	B		
Improved Greenspace area:	5.30 acre	C =	0.20
Select NCRS Soil type:	B		
Wooded Area:	0.00 acre	C =	0.20
Select NCRS Soil type:	B		
Impervious Area:	3.80 acre	C =	0.90
Greenbelt Area:	5.30 acre	C =	0.20
Total Area (A):	9.10 acre		
Weighted Coefficient of Runoff (C):		0.49	
Rainfall Intensity			
Flood Control Time of Concentration, Tc =	15.00 min		

Storage Volume Provided = 150,414 CFT

Flood Control Time of Concentration, Tc = 15.00 min

NORTH POND VOLUME

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
989.50	0	0	0
970.00	27,498	6,875	6,875
971.00	31,200	29,349	36,224
972.00	35,034	33,117	69,341
973.00			

SOUTH POND VOLUME

Volume Provided in Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
976.50	0	0	0
977.00	3,329	1,665	1,665
978.50	4,486	3,908	5,572
979.50	5,800	5,143	10,715
980.50			

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
975.50	0	0	0
976.00	11,238	5,619	5,619
977.00	30,330	20,784	26,403
978.00	35,985	33,158	59,561
979.00	39,822	37,904	97,464
980.00	52,252	46,037	143,501
981.00			

NORTH POND DESIGN DATA:

LIVINGSTON COUNTY RESTRICTS RATE AND VOLUME. EXISTING DRAINAGE AREA = 13.8 ACRES. PER HYDROGRAPH, EXISTING 100 YR STORM RUNOFF VOLUME IS 23,943 CFT

RESTRICTED DISCHARGE RATE .15 CFS/ACRE

INFILTRATION RATE = 1"/HR (PEA REPORT)

SURFACE STORAGE = 1"/HR X 24 HR = 24" OR 2'

MAXIMUM INFILTRATION DEPTH DURING STORM = 1"/HR X 6 HR = 6" = .5'

POND BOTTOM CONTOUR = 27498 SFT

27498 X (2+.5') = 88745 CFT OF INFILTRATION

VOLUME ALLOWED = 88745 (INFILTRATED)+23943 (EXISTING) = 92,688 CFT

AREA ASSUMING WEIGHTED C VALUE OF .53

V100R = 18985 X C X A

92680 = 18985 X .53 X A

9.21 AC = A

AREA DESIGNED FOR = 9.1 ACRES

AREA TRANSFERRED TO SOUTH DISTRICT = 4.7 ACRES

LEGEND

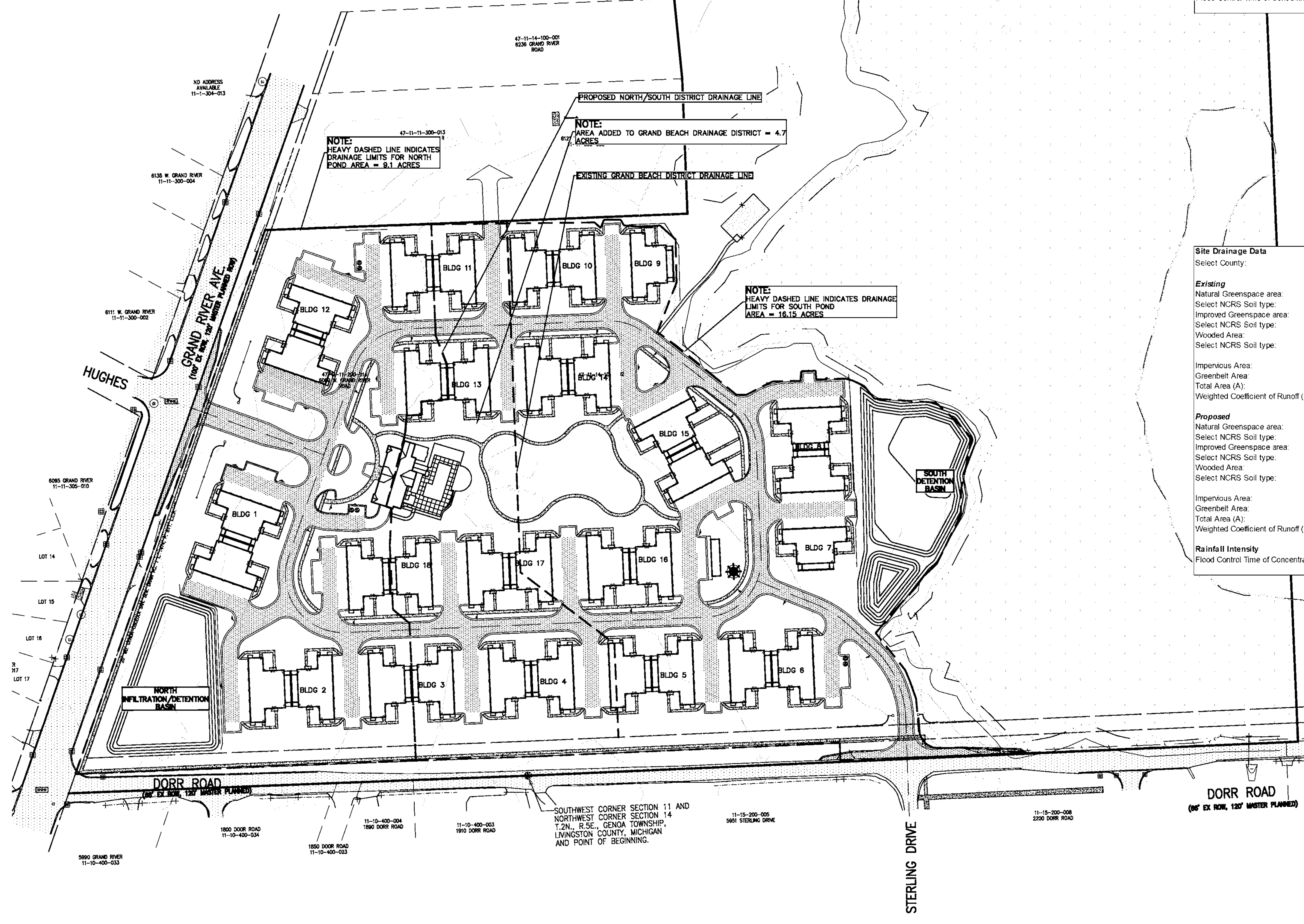
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	IRON SET		MONUMENT FOUND
	NAIL FOUND		MONUMENT SET
	NAIL & CAP SET		

EXISTING

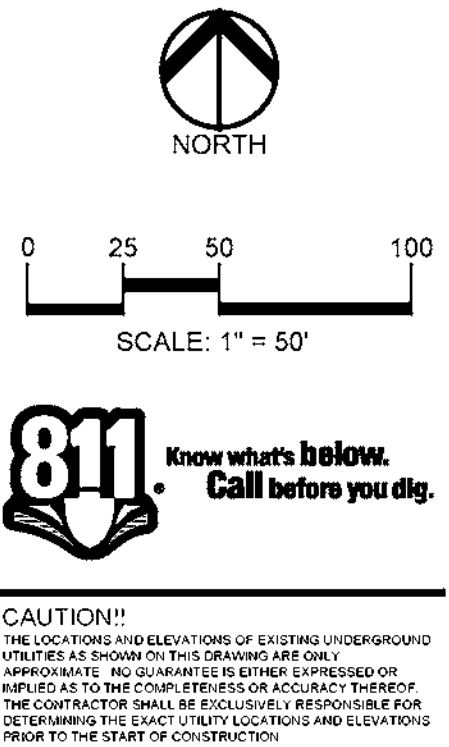
	ELEC. PHONE OR CABLE TV ON LINE POLE & GUY WIRE
	UNDERGROUND CABLE TV GUY PRESETAL
	TELEPHONE U.G. CABLE, FEEDSTAL, MANHOLE
	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
	GAS MAIN, VALVE & GAS LINE MARKER
	WATERMAIN, HYD. GATE VALVE, TAPPING BUSH & VALVE
	SANITARY SEWER, CLEANOUT & MANHOLE
	STORM SEWER, CLEANOUT & MANHOLE
	COMBINED SEWER & MANHOLE
	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
	POST INDICATOR VALVE
	WATER VALVE, BOX/DIAPHRAGM VALVE BOX, SERVICE SHUTOFF
	MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
	UNIDENTIFIED STRUCTURE
	SPOT ELEVATION
	CONTOUR LINE
	FENCE
	GUARD RAIL
	STREET LIGHT
	SIGN
	CONCRETE
	ASPHALT
	GRAVEL SHOULDER
	WETLAND

PROPOSED

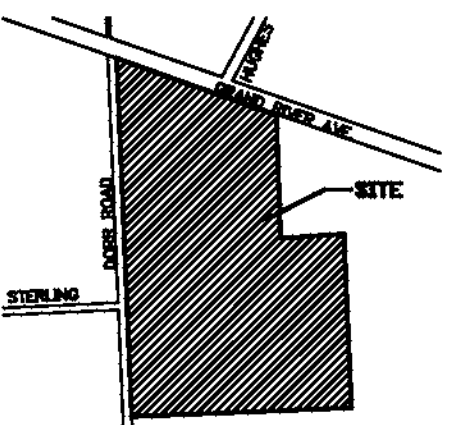
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	STD. HEAVY DEEP DUTY, STRENGTH



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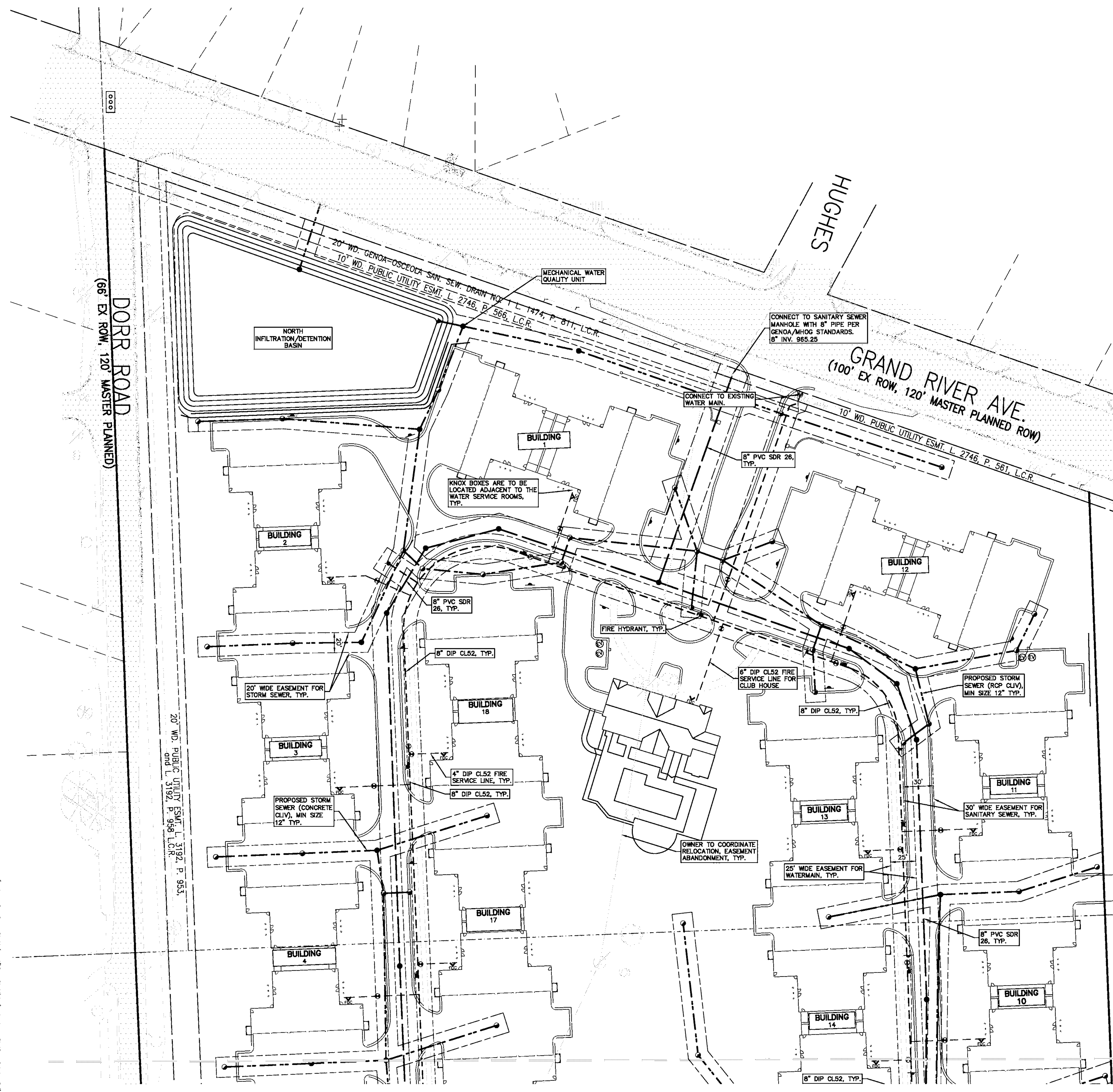
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MAY 24, 2022
DRAWING TITLE
CONCEPTUAL UTILITY PLAN

PEA JOB NO 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER

- GENERAL UTILITY NOTES:**
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF MHOG AND GENOA TOWNSHIP.
 2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH MDOT CLJ SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
 4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
 5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
 6. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.
- STORM SEWER NOTES:**
1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
 2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
 3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE HDPE SCHEDULE 40.
 4. STORM SEWER WILL BE PRIVATE AND PLACED IN A 20' WIDE MINIMUM EASEMENT.
- WATER MAIN NOTES:**
1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
 2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
 3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
 4. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
 5. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE MARION, HOWELL, OCEOLA, GENOA (MHOG) SEWER AND WATER AUTHORITY.
 6. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 52.
 7. WATER MAIN SERVICE LEADS SHALL BE TYPE "K" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
 8. ALL FIRE HYDRANTS SHALL BE E.J.W #88R MODEL #250 PER MHOG STANDARDS.
 9. ALL HYDRANTS TO BE A MINIMUM OF 4.5' FROM BACK OF CURB, TYP.
 10. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE REQUIRED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE MHOG.
 11. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE MHOG/GENOA TOWNSHIP AT 810-227-5225 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
- FIRE DEPARTMENT NOTES:**
1. WATER METER ROOMS/FIRE SPRINKLER ROOMS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDINGS. FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH SIGNAGE IDENTIFYING THE ROOM AND ITS ADDRESS WITH RED LETTERS ON WHITE BACKGROUND.
 2. THE WATER METER/FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH HEAT AND INSULATION TO MAINTAIN THE ROOM TEMPERATURE ABOVE 40 DEGREES FAHRENHEIT.
 3. THE FDC FOR EACH BUILDING MAY BE LOCATED IMMEDIATELY OUTSIDE THE WATER METER/FIRE SPRINKLER RISER ROOM. THE FDC FOR THE CLUBHOUSE SHALL BE LOCATED ON THE FRONT OF THE BUILDING REGARDLESS OF THE LOCATION OF THE RISER ROOM.
 4. ALL FIRE ACCESS DRIVES ARE TO BE PROVIDED WITH VERTICAL CLEARANCE OF 13.5 FEET. THIS INCLUDES BUT IS NOT LIMITED TO PORTE-COCHERE, LIGHTING, AND LARGE CANOPY TREES.
 5. EACH BUILDING SHALL INCLUDE THE BUILDING NUMBERS A MINIMUM OF 6" HIGH LETTERS/NUMBERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. EACH UNIT ADDRESS SHALL BE A MINIMUM OF 4" HIGH. WHIT UNIT ADDRESSES LOCATED ON THE NON-STREET-SIDE OF THE BUILDINGS. ADDITIONAL YARD SIGNS VISIBLE FROM THE PARKING AREAS WILL BE REQUIRED. EACH WATER METER/FIRE SPRINKLER RISER ROOM SHALL BE PROVIDED WITH THEIR OWN ADDRESS. THE LOCATION AND SIZE OF THE ADDRESS LABELING SHALL BE COORDINATED AND APPROVED PRIOR TO INSTALLATION. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE.
- SANITARY SEWER NOTES:**
1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
 2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
 3. ALL SANITARY SEWER 8" OR LARGER SHALL BE PVC SDR 26 TYPE PSM SEWER PIPE WITH BELL AND SPIGOT ENDS FOR GASKETED JOINTS. (FITTINGS ASTM D 3034, PVC BELL ENDS, GASKETS ASTM F 477, ELASTOMERIC SEALS).
 4. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 5. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.I.L.W. #1665 BOX OR EQUAL.

UTILITY LEGEND:

	EX. OH. ELEC. POLE & GUY WIRE
	EX. U.G. CABLE TV & PEDESTAL
	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
	EX. GAS LINE
	EX. GAS VALVE & GAS LINE MARKER
	EX. TRANSFORMER & IRRIGATION VALVE
	EX. WATER MAIN
	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
	EX. WATER VALVE BOX & SHUTOFF
	EX. SANITARY SEWER
	EX. SANITARY CLEANOUT & MANHOLE
	EX. COMBINED SEWER MANHOLE
	EX. STORM SEWER
	EX. CLEANOUT & MANHOLE
	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
	EX. YARD DRAIN & ROOF DRAIN
	EX. UNIDENTIFIED STRUCTURE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT AND GATE VALVE
	PROPOSED TAPPING SLEEVE, VALVE & WELL
	PROPOSED POST INDICATOR VALVE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY CLEANOUT & MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER CLEANOUT & MANHOLE
	PROPOSED CATCH BASIN, INLET & YARD DRAIN



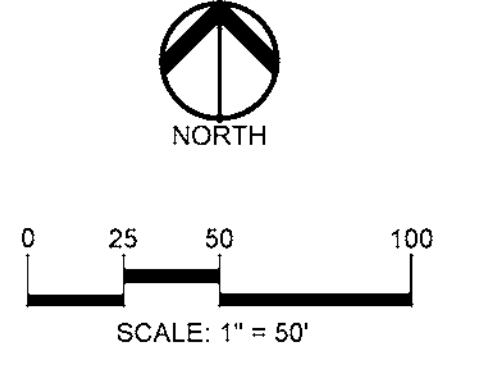
VARIOUS
SCHEDULES

NOT FOR CONSTRUCTION C-4.1

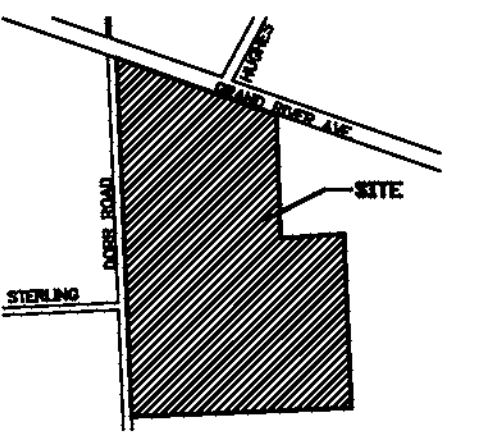
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	PROPOSED SANITARY CLEANOUT & MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER CLEANOUT & MANHOLE
	PROPOSED CATCH BASIN, INLET & YARD DRAIN



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

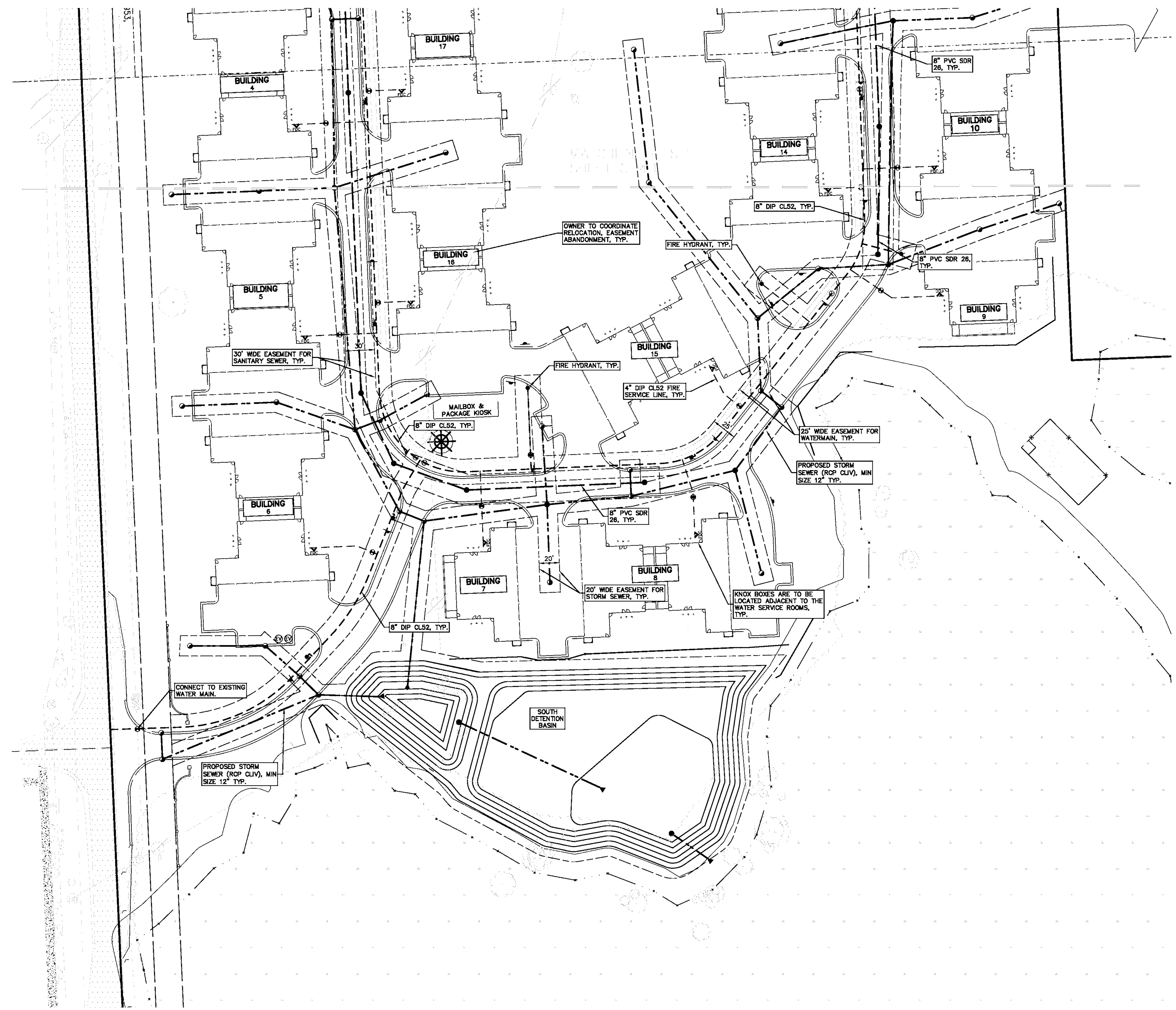
REVISIONS

REVISED PER TWP COMMENTS	6-23-22
REVISED PER TWP COMMENTS	11-4-22

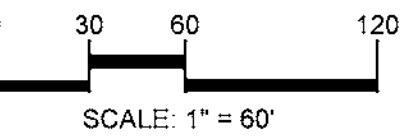
ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
CONCEPTUAL UTILITY PLAN

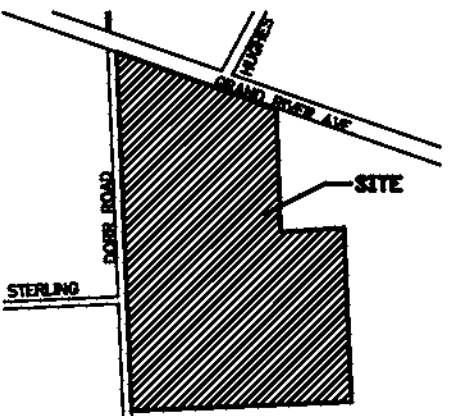
PEA JOB NO	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER	



NOT FOR CONSTRUCTION **C-4.2**



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31550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

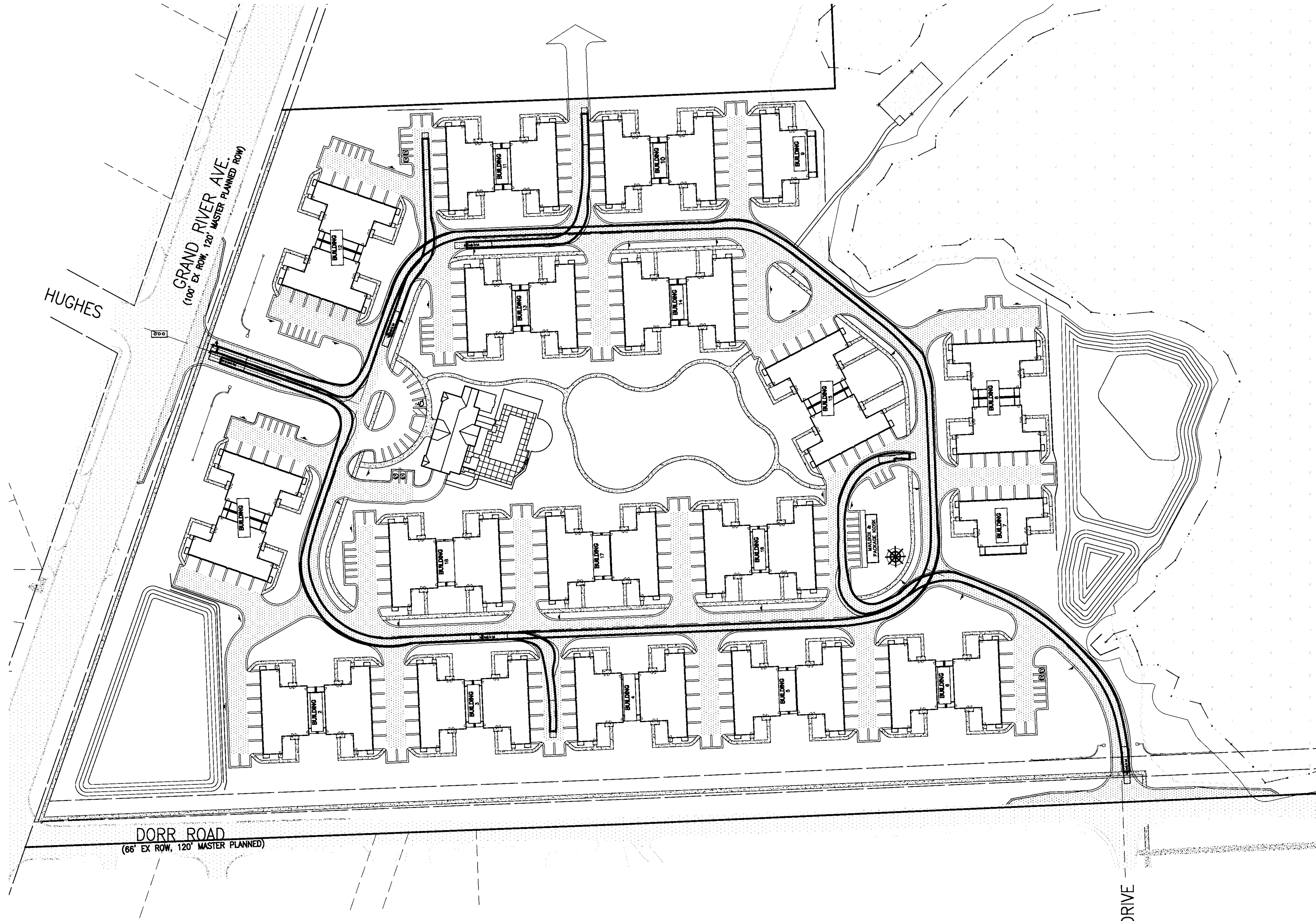
REVISIONS	
REVISED PER TWP COMMENTS	6-23-22
REVISED PER TWP COMMENTS	11-4-22

ORIGINAL ISSUE DATE:
MAY 24, 2022
DRAWING TITLE

VEHICLE TRACKING

PEA JOB NO.	2021-0578
P.M.	JEC
DN	JMR
DES.	JMR
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-5.1**



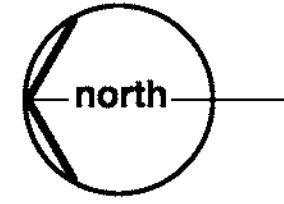
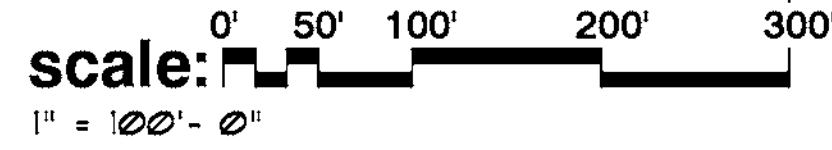
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site plan study for:

The Legacy Apartment Homes

Genoa Township, Michigan

note
 preliminary concept plan for inspection purposes
 only and in no way official or approved for record
 purposes.



landscape requirements:

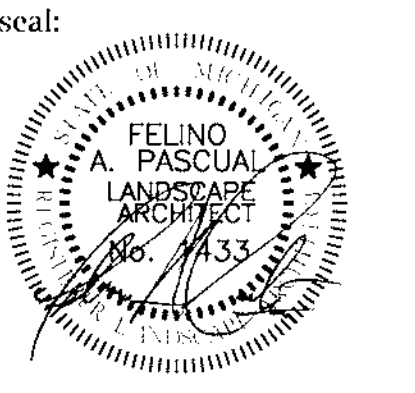
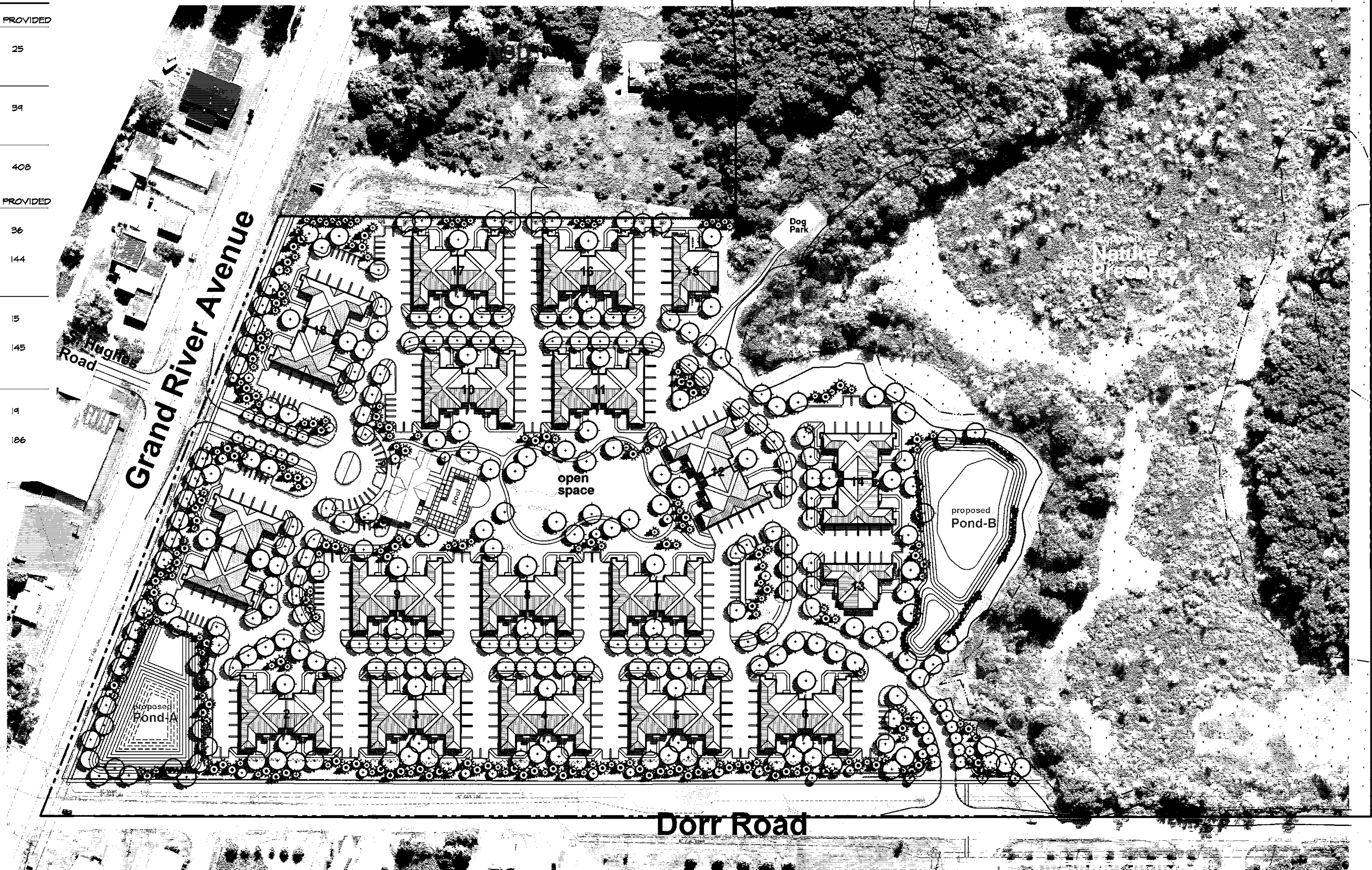
	REQUIRED	PROVIDED
greenbelt (Grand River Avenue)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	945±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (945 LIN.FT. / 40 LIN.FT. = 24.8 TREES)	25	25
greenbelt (Dorr Road)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	1570±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (1570 LIN.FT. / 40 LIN.FT. = 39.25 TREES)	39	39
street trees (interior residential streets)		
TOTAL NO. OF RESIDENTIAL UNITS PROVIDED	204	
TWO (2) 2 1/2" CANOPY TREES PER RESIDENTIAL UNIT (204 UNITS X 2 TREES = 408 TREES)	408	408
landscape screening	REQUIRED	PROVIDED
TOTAL LIN.FT. OF BOUNDARY FRONTAGE	721±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 TREES)	36	36
OR FOUR (4) SHRUBS PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 X 4-SHRUBS=144.2)	144	144
detention pond-A		
TOTAL LIN.FT. OF POND PERIMETER	727±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (727 LIN.FT. / 50 LIN.FT. = 14.5 TREES)	15	15
TEN (10) SHRUBS PER 50 LIN.FT. (727 LIN.FT. / 50 LIN.FT. = 14.5 X 10-SHRUBS=145)	145	145
detention pond-B		
TOTAL LIN.FT. OF POND PERIMETER	932±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (932 LIN.FT. / 50 LIN.FT. = 18.64 TREES)	19	19
TEN (10) SHRUBS PER 50 LIN.FT. (932 LIN.FT. / 50 LIN.FT. = 18.64 X 10-SHRUBS=186.4)	186	186

landscape sheet index

- LSC-1 OVERALL PLAN VIEW
- LSC-2 PLANTING DETAIL PLAN
- LSC-3 PLANTING DETAIL PLAN
- LSC-4 SITE AMENITY PLAN
- LSC-5 ENTRY DETAIL PLAN
- LSC-6 SITE SECTION PLAN

landscape legend

- deciduous trees**
(Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc.)
- ornamental trees**
(Redbud, Crab, Hawthorn, Serviceberry, Dogwood, etc.)
- evergreen trees**
(Pines, Spruces, Fir)
- deciduous shrubs**
(Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc.)
- evergreen shrubs**
(Junipers, Yews, Arborvitae, Boxwood, etc.)
- perennials and/or seasonal flowers**
(Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers, etc.)



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
 CONCEPTUAL
 LANDSCAPE PLAN

job no./issue/revision date:

LS21.096.08 SPA	8-18-2021
LS21.096.10 SPA	10-8-2021
LS21.096.10 SPA	10-24-2021
LS21.096.12 SPA	12-13-2021
LS22.028.02 SPA	2-24-2022
LS22.028.04 SPA	4-18-2022

drawn by:
 JP, HP, DK
 checked by:
 FP
 date:
 2-22-2022

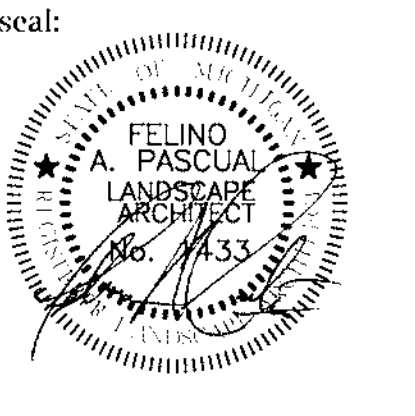
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project no:
 LS22.028.02

sheet no:
LSC-1 of 5



client:
LAUTREC
 31550
 Northwestern
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 Michigan 48334

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sheet title:
**CONCEPTUAL
 LANDSCAPE
 PLANTING PLAN**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
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 LS21.096.10 SPA 10-24-2021
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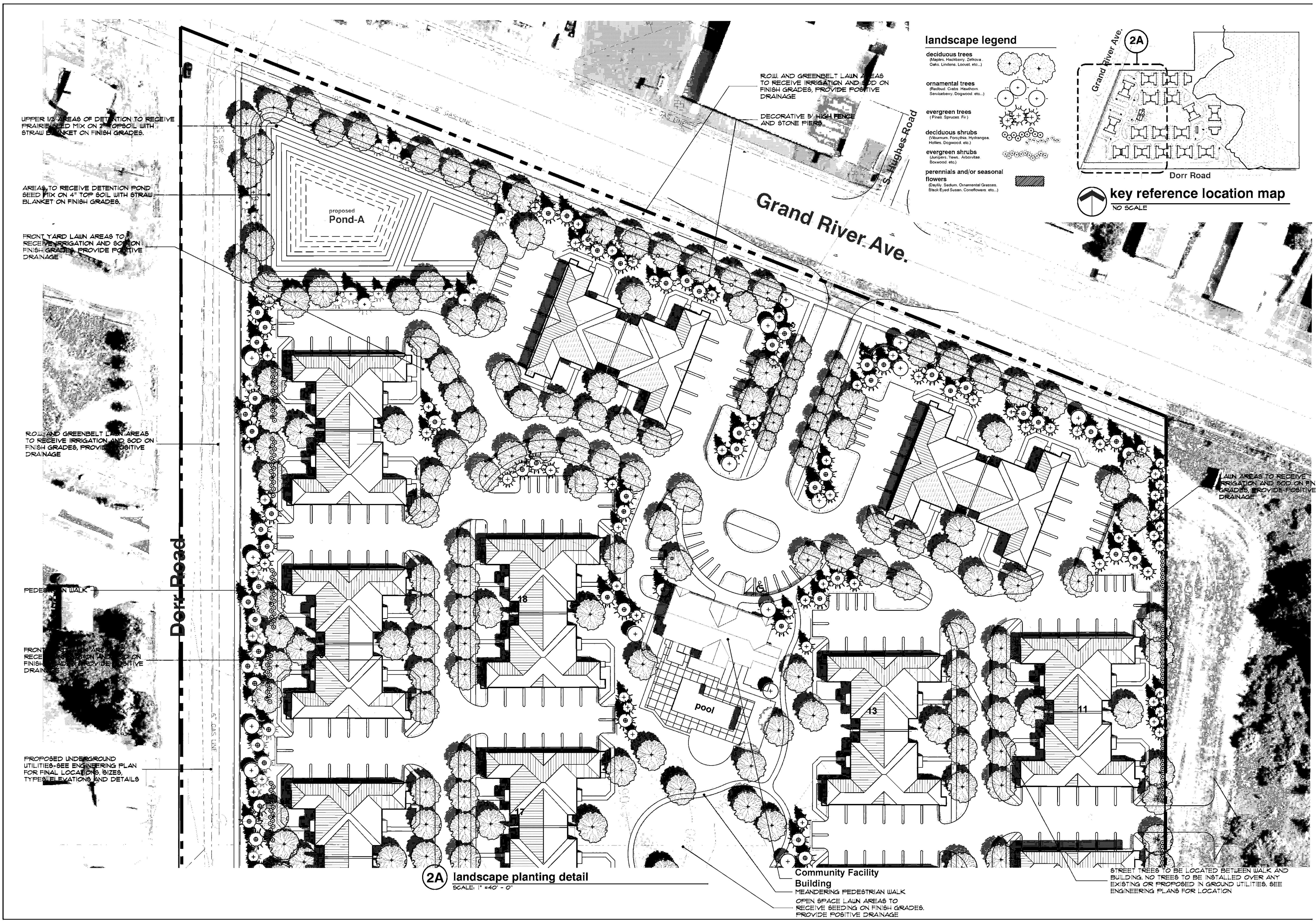
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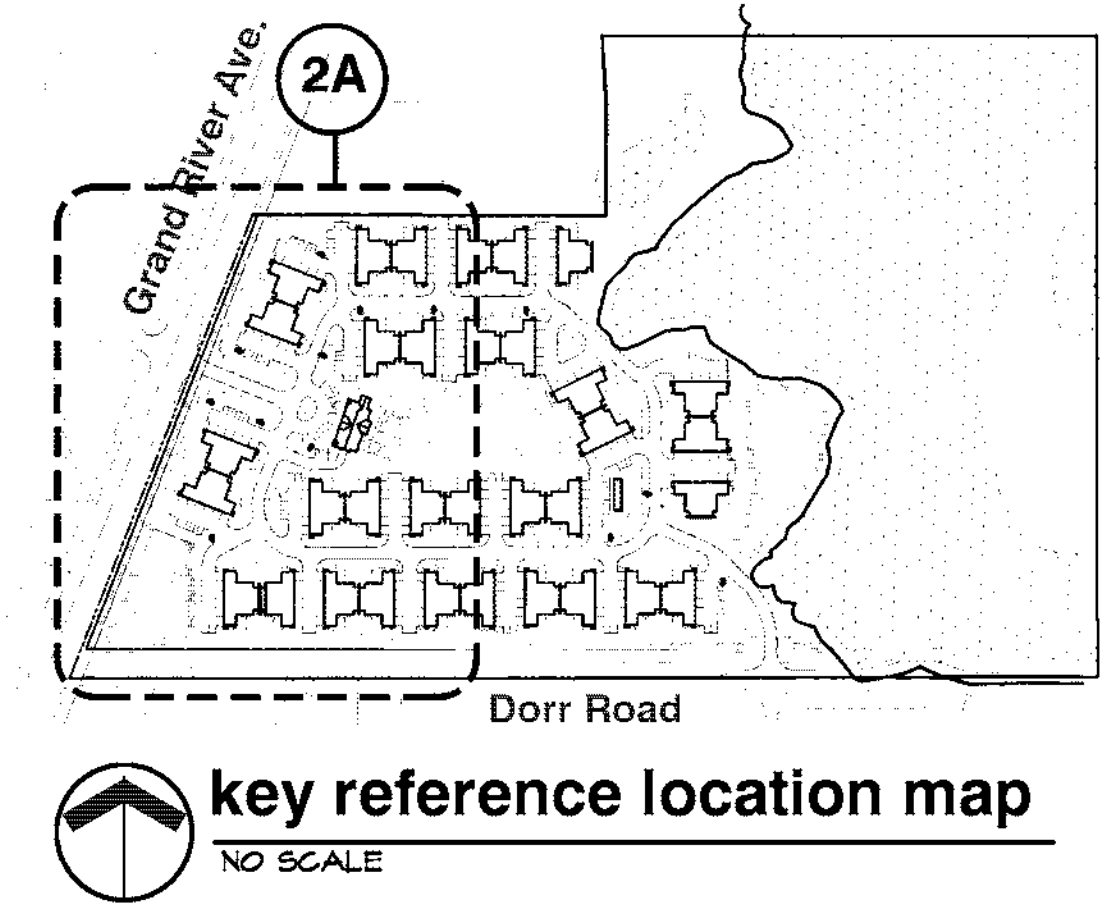
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 LS22.028.02

sheet no:
LSC-2 of 5

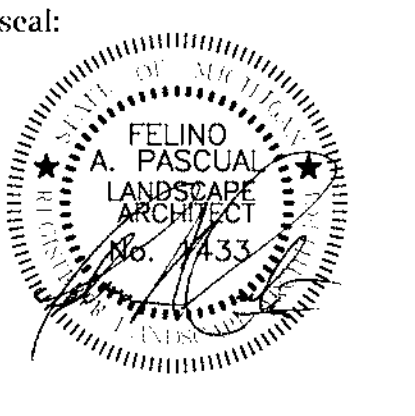


landscape legend

- deciduous trees
 (Maples, Hackberry, Zelkova, Oaks, Lindens, Locust etc.)
- ornamental trees
 (Redbud, Crab, Hawthorn, Seaberry, Dogwood etc.)
- evergreen trees
 (Pines, Spruces, Fir)
- deciduous shrubs
 (Viburnum, Forsythia, Hydrangea, Hollies, Dogwood etc.)
- evergreen shrubs
 (Junipers, Yews, Arborvitae, Boxwood etc.)
- perennials and/or seasonal flowers
 (Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers etc.)



2A landscape planting detail
 SCALE: 1" = 40' - 0"



client:
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 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
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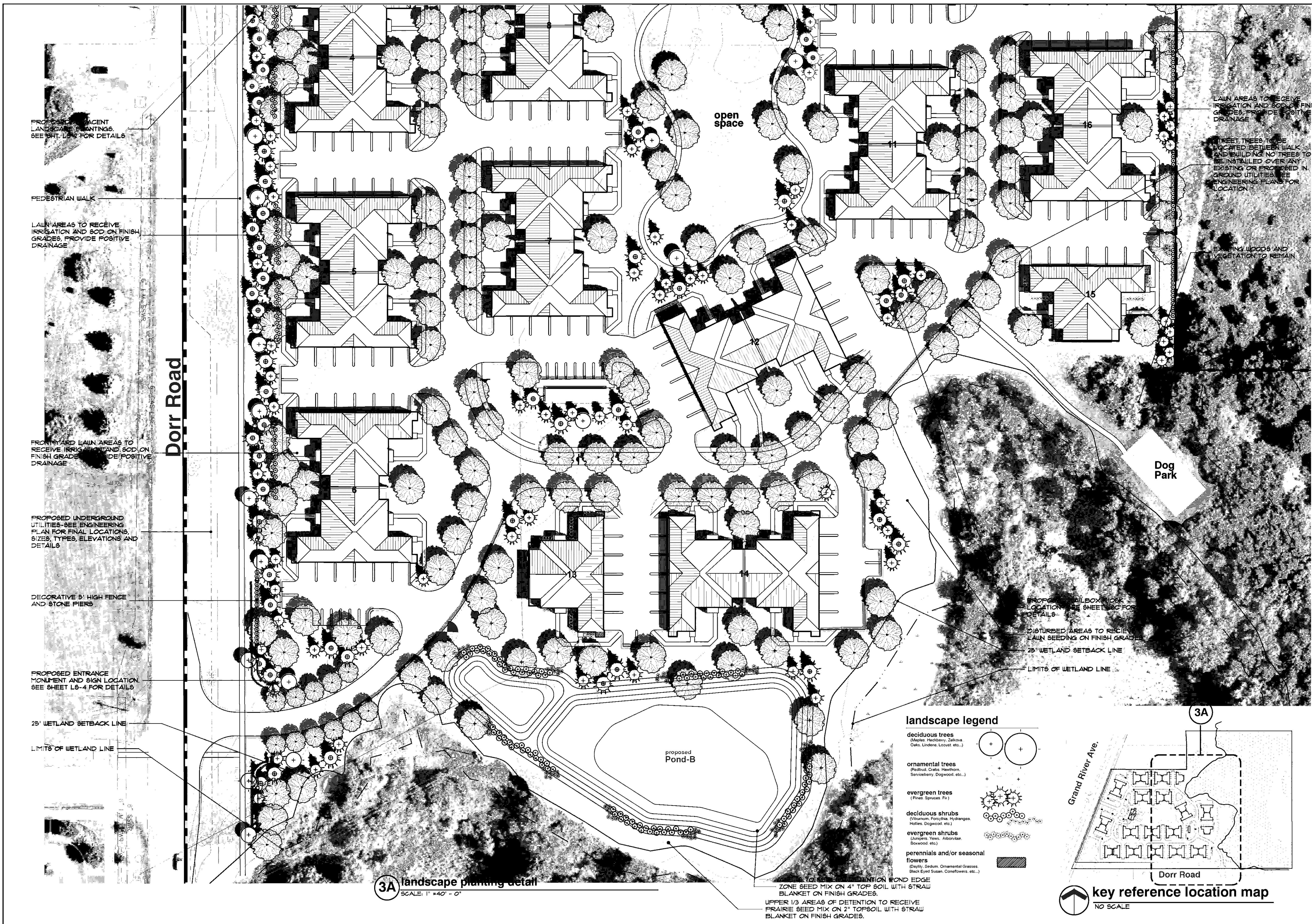
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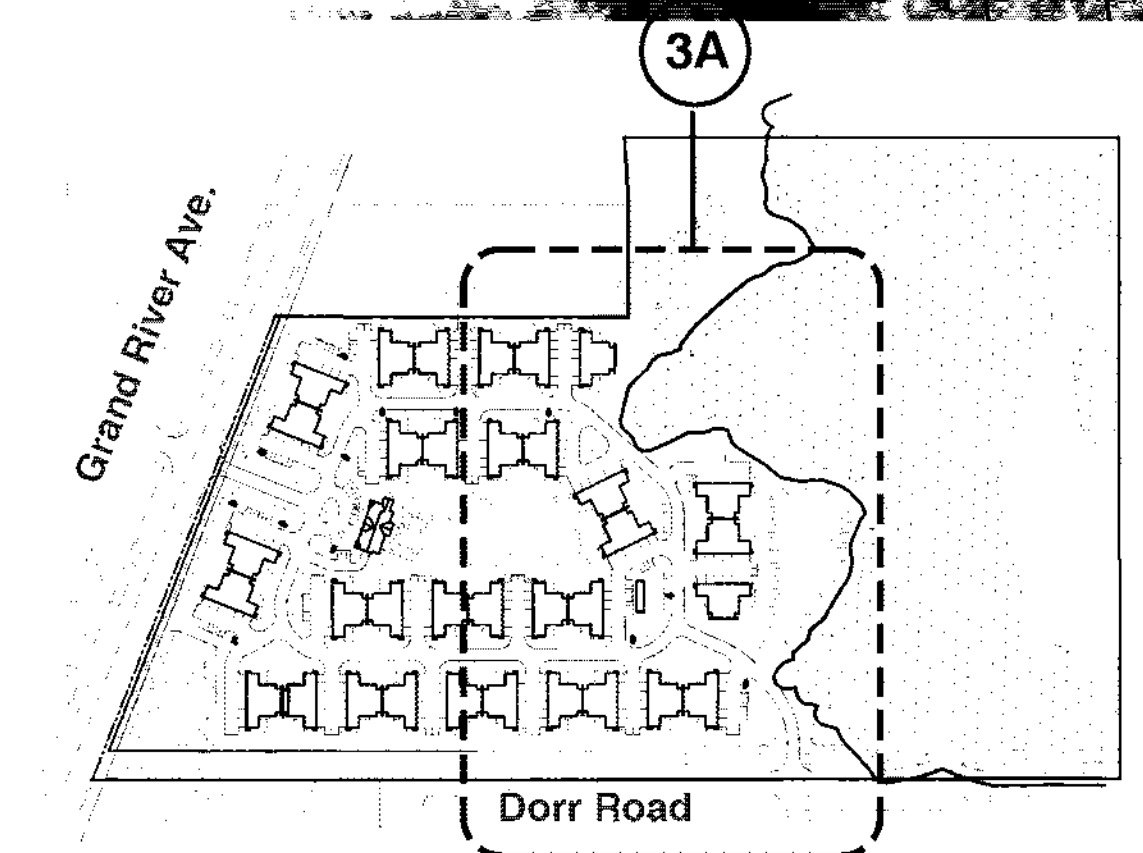
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LS22.028.02

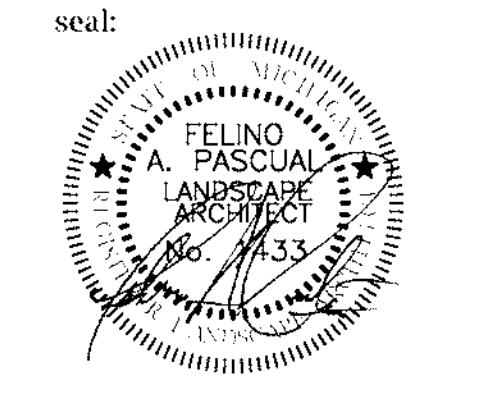
sheet no:
LSC-3 of 5



- landscape legend**
- deciduous trees**
 (Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc.)
 - ornamental trees**
 (Redbud, Crab, Hawthorn, Serviceberry, Dogwood, etc.)
 - evergreen trees**
 (Thuus, Fory, Yax, Hydrangeas, Hollies, Dogwood, etc.)
 - deciduous shrubs**
 (Junipers, Yews, Arborvize, Boxwood, etc.)
 - evergreen shrubs**
 (Junipers, Yews, Arborvize, Boxwood, etc.)
 - perennials and/or seasonal flowers**
 (Shells, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers, etc.)



3A landscape planting detail
 SCALE: 1" = 40' - 0"



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL SITE
 AMENITY PLAN**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
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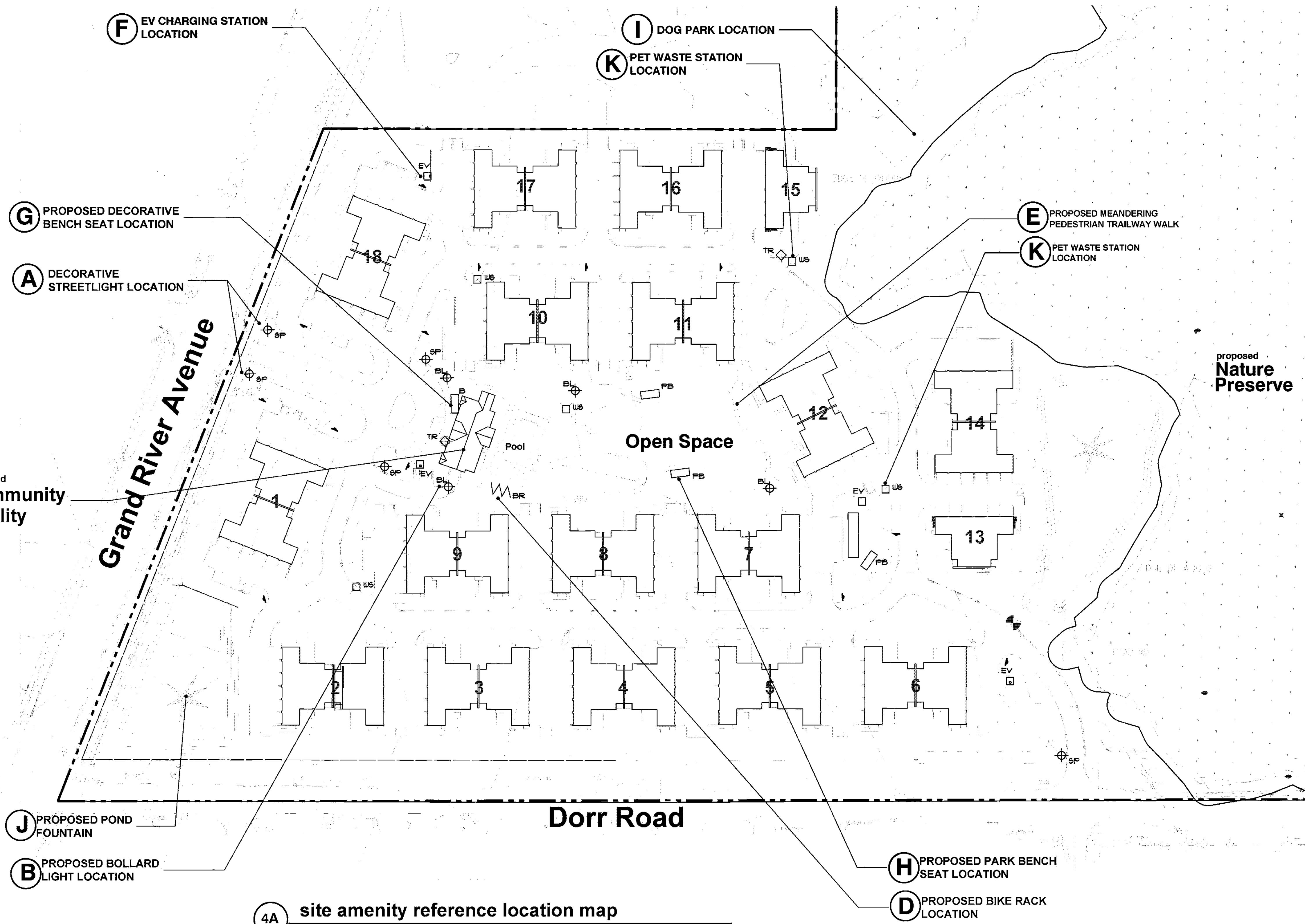
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 is given for their use or implied as to the
 completeness of accuracy; contractor shall
 be exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction.

project no:
 LS22.028.02

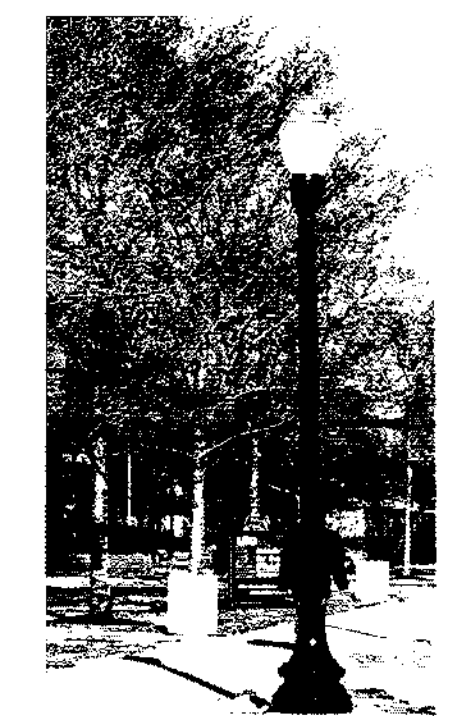
sheet no:



4A site amenity reference location map
 NO SCALE

site amenity key

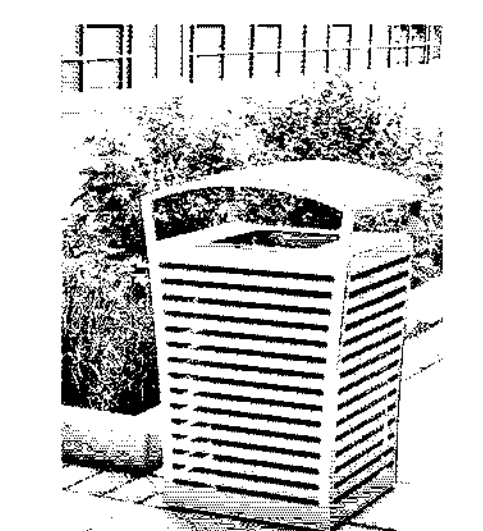
- BIKE RACK
- PARK BENCH SEAT
- BENCH SEAT
- BOLLARD LIGHT
- STREET POLE LIGHT
- GAZEBO or PERGOLA FEATURE
- PET WASTE STATION
- TRASH RECEPTACLE
- EV CHARGING STATION



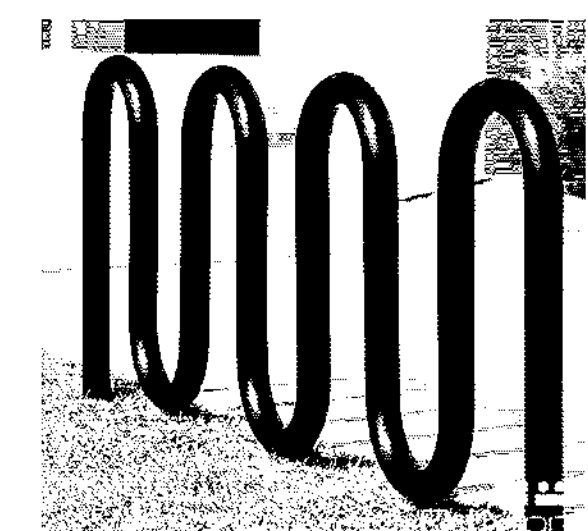
A decorative pole and light
 (5-CONDITION)
 DECORATIVE BLVD. ISLAND
 SITE FIXTURE LIGHTS AND
 ALUMINUM POLE.



B bollard light
 BY LITHONIA LIGHTS OR
 EQUAL MODEL. DSXB LED
 (7-SERIES LED BOLLARD
 8" DIA. X 42" HGT.) OR
 EQUAL. (4-CONDITIONS)



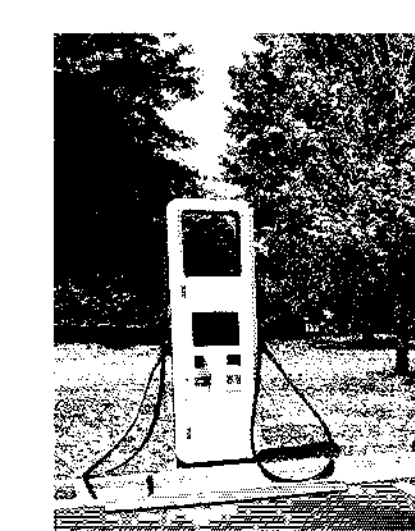
C trash receptacle
 (2-CONDITION)
 MANUFACTURED BY BY
 ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 DESCRIPTION: 32 GAL
 FINISH: TEXTURE PEINTER



D bicycle rack
 (2-CONDITIONS)
 BIKE RACK BY DUMOR, INC.
 MODEL NO. 130-20 (S-2
 SURFACE PLATE MOUNT) 2 3/8"
 O.D. BLACK POWDER-COATED
 LOOP OR EQUAL



**E meandering interior
 pedestrian walk**



F EV charging station
 TOTAL OF 4-CONDITIONS



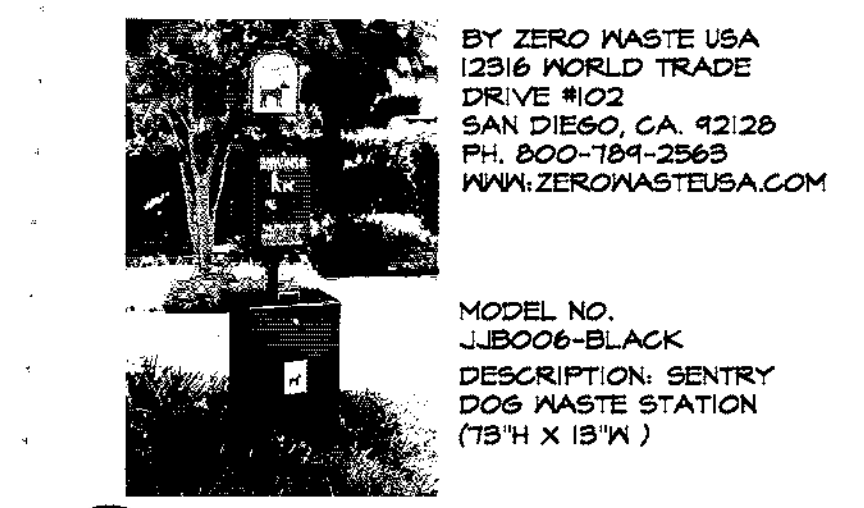
G decorative bench seating
 TOTAL OF 1-CONDITIONS
 MANUFACTURED BY BY ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 MODEL NO. LEXC6
 DESCRIPTION: 6' WIDE CONTOUR BENCH
 FINISH: TEXTURE PEINTER



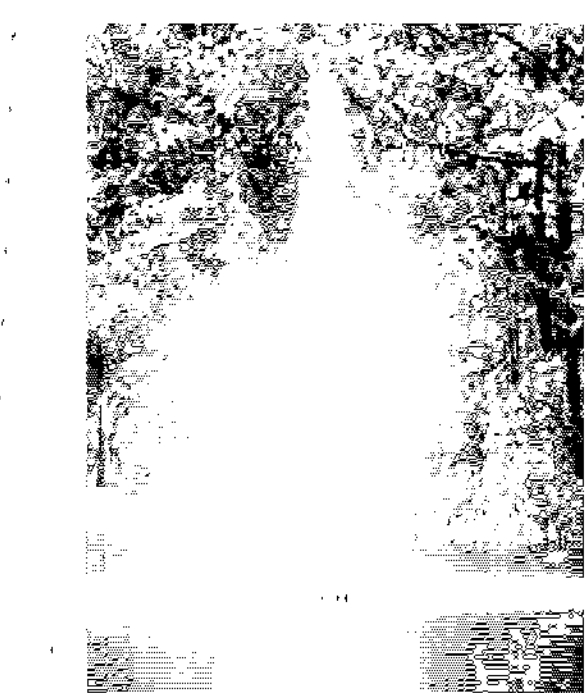
I dog park



H park bench seating
 TOTAL OF 3-CONDITIONS
 6' WIDE PARK BENCH SEAT BY DUMOR, INC.
 MODEL NO. 34-60D (S-1)
 SUPPORT: 5-1 EMBEDMENT
 FINISH: BLACK POWDER-COATED



K pet waste station
 TOTAL OF 5-CONDITIONS



J pond fountain
 TOTAL OF 2-CONDITIONS

BY ZERO WASTE USA
 12516 WORLD TRADE
 DRIVE #102
 SAN DIEGO, CA 92128
 PH. 800-784-2563
 WWW.ZEROWASTEUSA.COM

MODEL NO.
 JLB006-BLACK
 DESCRIPTION: SENTRY
 DOG WASTE STATION
 (13" H X 13" W)

proposed
**Nature
 Preserve**

proposed
**Community
 Facility**

Grand River Avenue

Dorr Road

Open Space

Pool

17

16

15

18

10

11

12

14

13

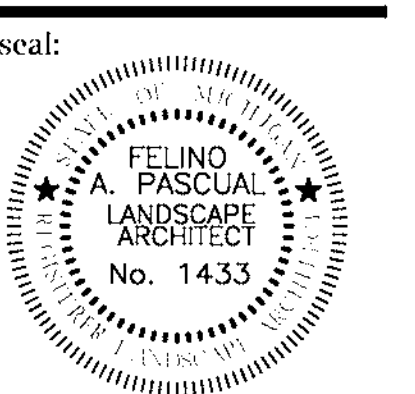
2

3

4

5

6



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
THE LEGACY
APARTMENT HOMES

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
CONCEPTUAL ENTRY SIGN MONUMENT

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
 LS22.028.04 SPA 4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022

notice:
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The location and elevations of existing
 underground utilities as shown on this
 drawing are only approximate. No guarantee
 is either expressed or implied as to the
 completeness of any utility. Contractor shall be
 exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction.

project no:
LS22.028.02
 sheet no:

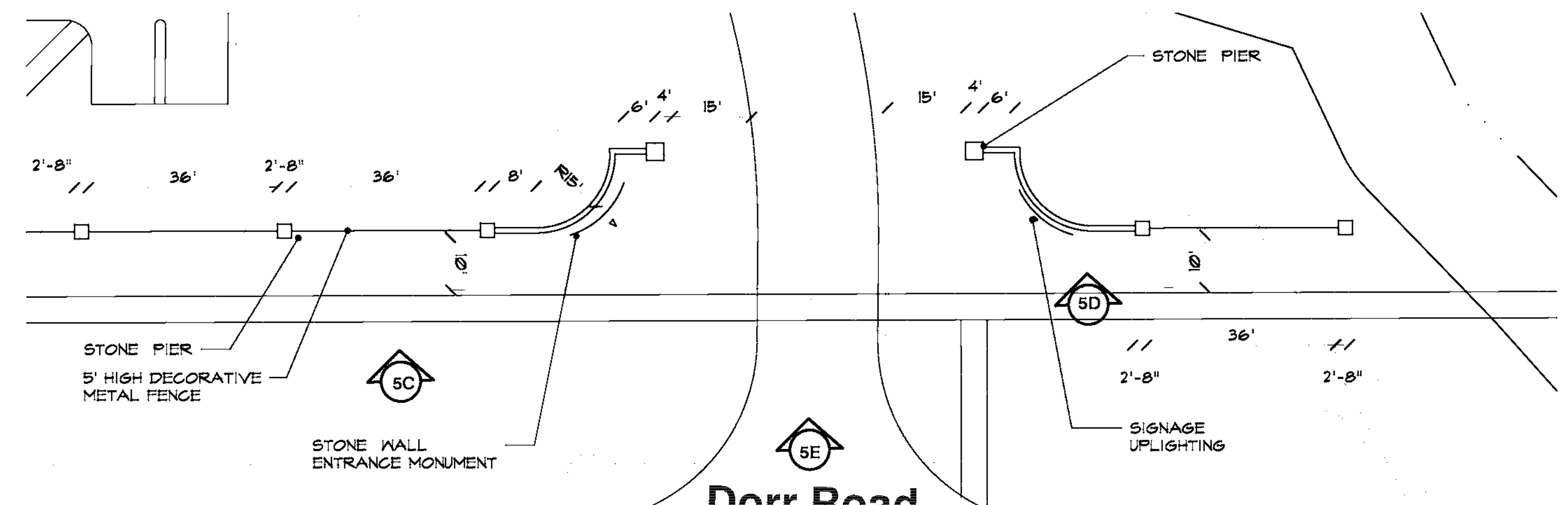
entry wall monument / pier / signage / notes:

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH LANDSCAPE ARCHITECT.
2. ALL ENTRY WALL LIGHTING SHALL BE CONTROLLED WITH A 'PHOTO-EYE' SWITCH. ALL LIGHTING SHALL BE SHIELDED FROM PUBLIC ROW'S AND ADJACENT PROPERTIES.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENT ON SHT. LS-2
4. VERIFY SOIL BEARING CAPACITY PRIOR TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.
5. SIGNAGE TEXT AND LOGO TO BE METAL PRISMATIC DIMENSIONAL LETTERS. PRIOR TO SIGN INSTALLATION, PERMITS TO BE OBTAINED PER GENOA TOURSHIP REQUIREMENTS AND APPROVALS.
6. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.
7. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2000 P.S.I. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
8. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. • 28 DAYS U.O.N. & SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. & EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
9. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF ACI.
10. PROVIDE DOVELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL WALLS, UNLESS OTHERWISE NOTED.
11. PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.

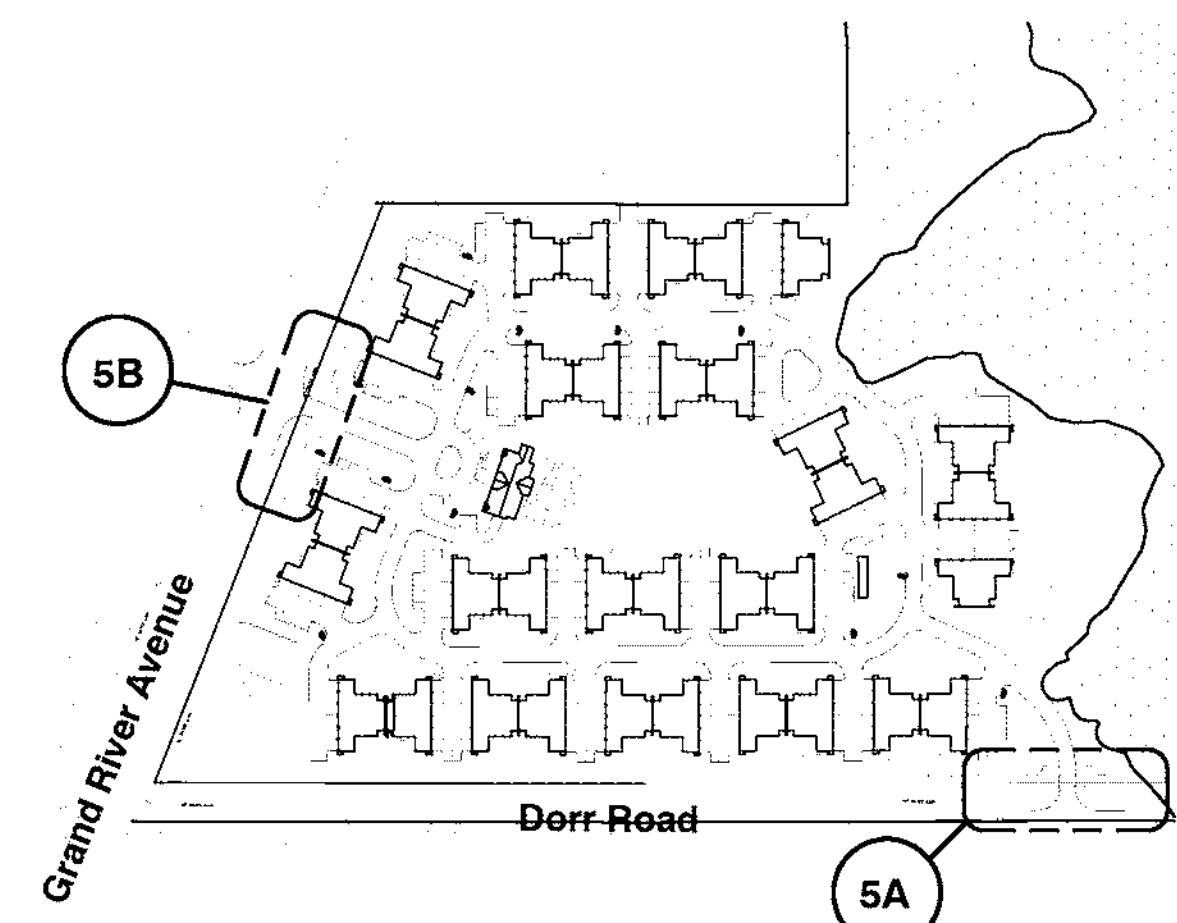


sign panel uplighting
 (4-CONDITIONS)

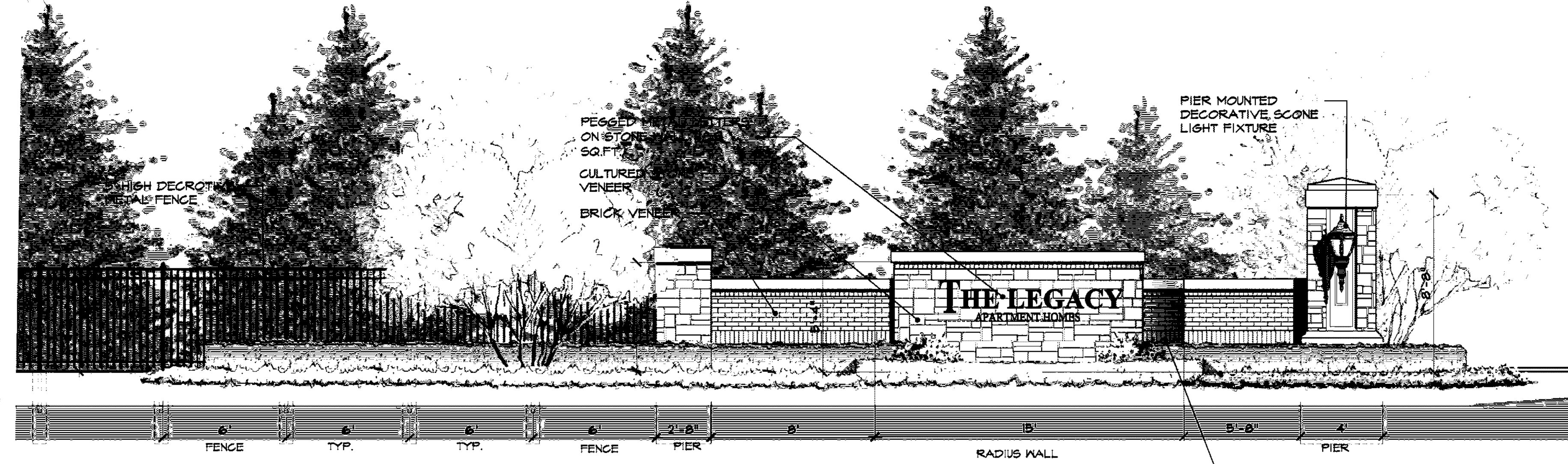
MANUFACTURER:
 ACUITY BRANDS LIGHTING®
 ONE LITHONIA WAY
 CONYERS, GA 30012
 PEACHTREE, GA 30029
 PH. 770-322-9000
 BRAND: HYDREL
 MODEL: 4750SF or EQUAL
 (LED 4000K)
 FINISH: BRONZE



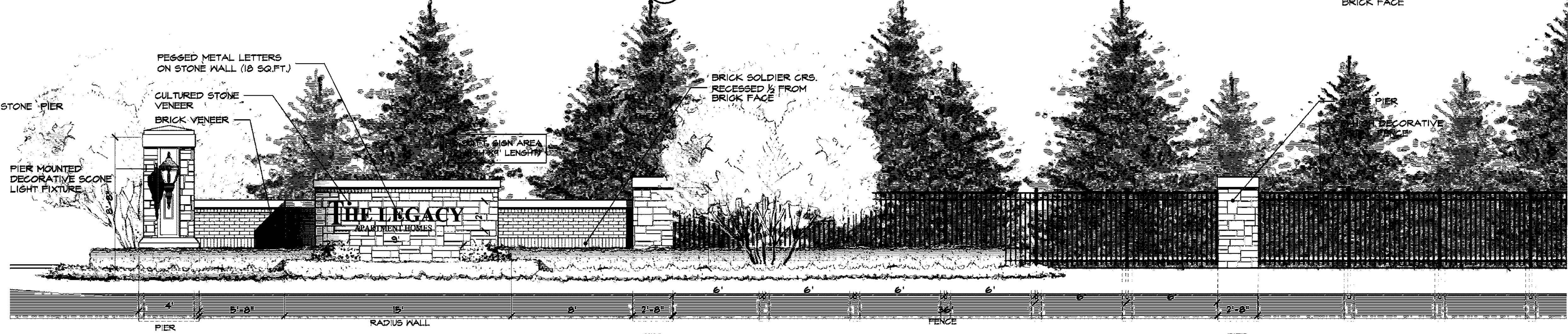
5A entry sign monument site plan
 SCALE: 1" = 20' - 0"



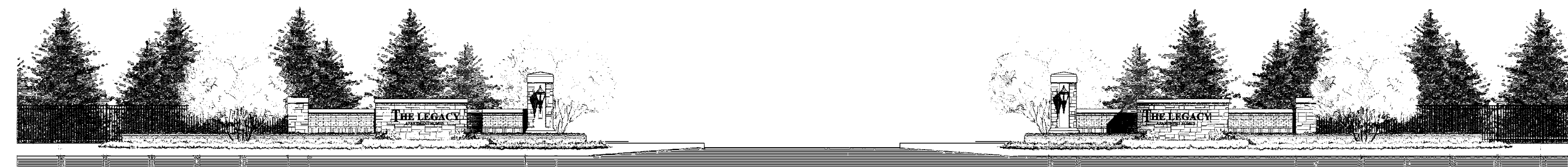
5B key reference location map
 NO SCALE



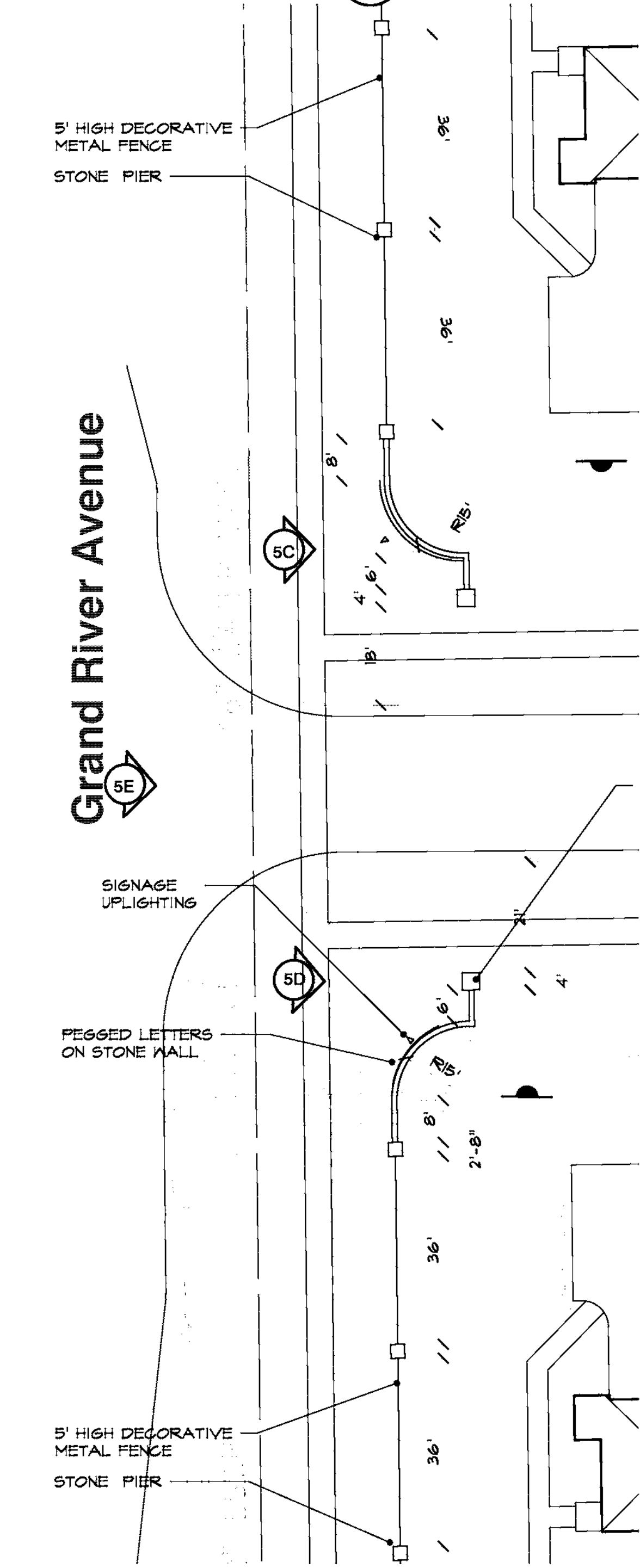
5C entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



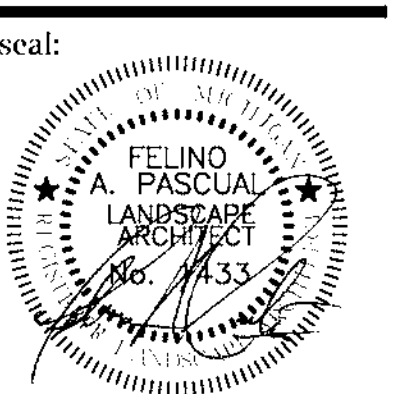
5D entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



5E entry sign monument elevation
 SCALE: 1/8" = 1' - 0"



5B entry sign monument site plan
 SCALE: 1" = 20' - 0"



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL ENTRY
 SIGN MONUMENT**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
 LS22.028.04 SPA 4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022

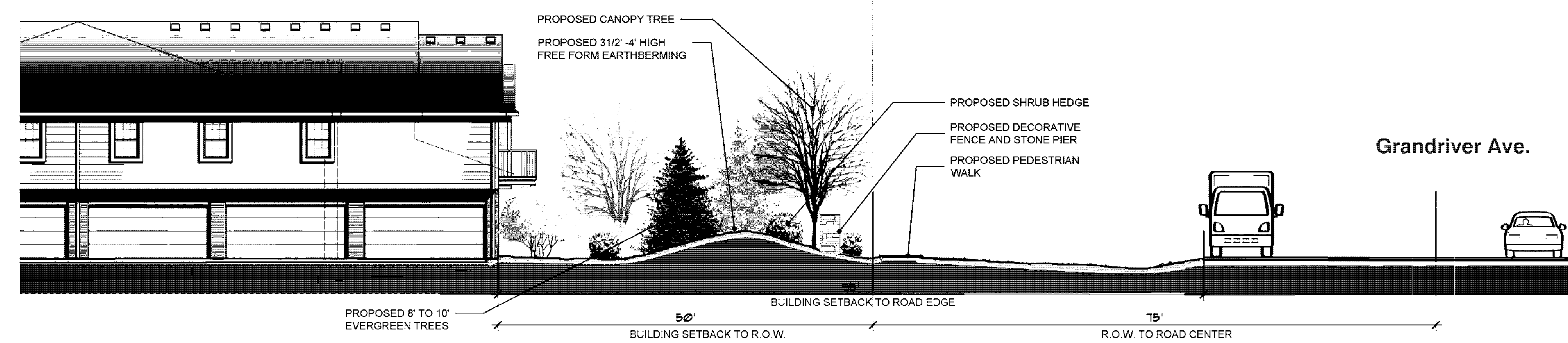
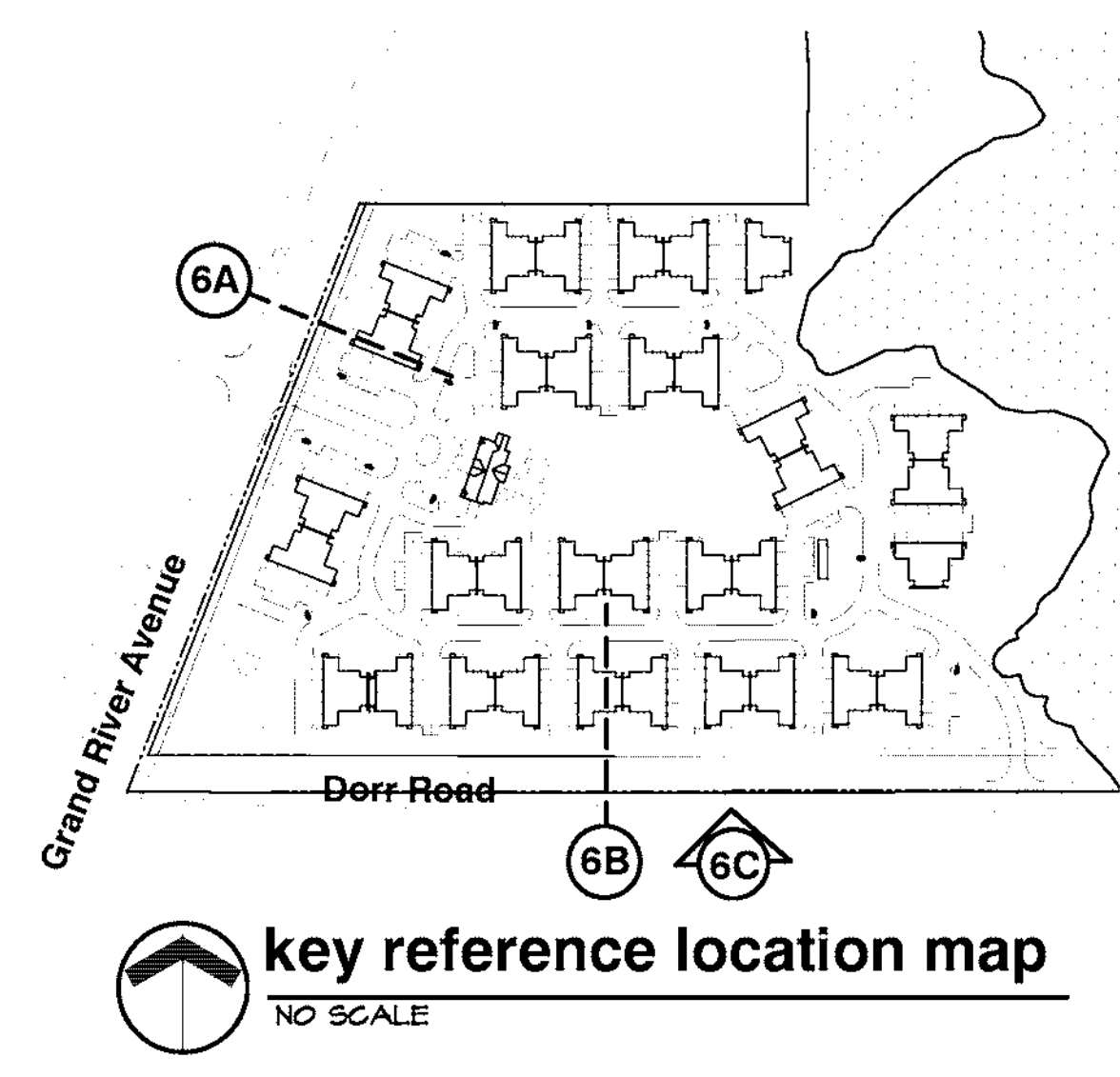
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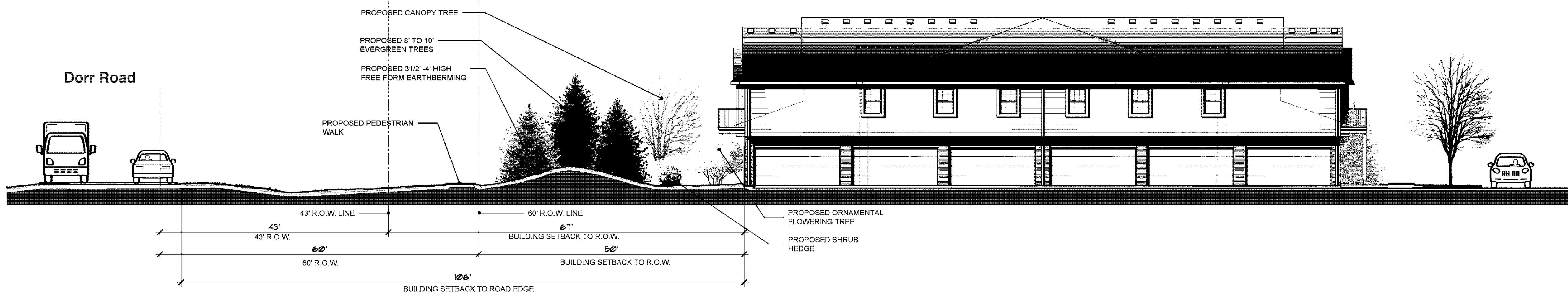


The location and elevations of existing
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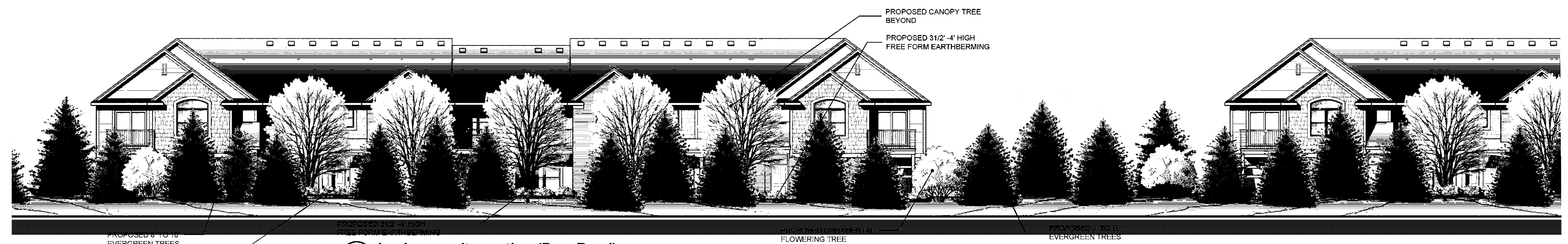
project no:
LS22.028.02



6A landscape site section (Grandriver Ave.)
 SCALE: 1" = 10' - 0"



6A landscape site section (Dorr Road)
 SCALE: 1" = 10' - 0"



6A landscape site section (Dorr Road)
 SCALE: 1" = 10' - 0"

Notes:

Applicable Building Codes:

MICHIGAN BUILDING CODE 2015
STATE OF MICHIGAN ELECTRICAL CODE 2017 w/PART 8 AMENDMENTS
MICHIGAN MECHANICAL CODE 2015
MICHIGAN PLUMBING CODE 2015
ANSI A117.1 - 2009 ACCESSIBILITY CODE
INTERNATIONAL FIRE CODE 2015
MICHIGAN 2015 USE TYPE : R-2 (Apartments) U (Private Garages)
MICHIGAN 2015 CONSTRUCTION TYPE: II-B

Areas:

Table with 4 columns: Unit, R-2, U, Total. Rows include UNIT "A", UNIT "B", UNIT "C", TOTAL PER QUADRANT, and TOTAL FOR HALF BUILDING.

A 2 HOUR FIRE WALL IS REQUIRED BETWEEN THE RIGHT & LEFT HALVES OF THE BUILDING.
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE 2 QUADRANTS.
A 1 HOUR SEPERATION WILL PROVIDED BETWEEN THE FIRST FLOOR AND THE SECOND FLOOR
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE APARTMENTS AND THE PRIVATE GARAGE AREA.
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE SECOND FLOOR AREA AND THE ATTIC

Occupancies:

1 OCCUPANT PER 200 s/f OF AREA PER TABLE 1004.1.2

Table with 2 columns: Unit, Occupancy. Rows include UNIT "A", UNIT "B", UNIT "C", TOTAL PER QUADRANT, and TOTAL PER BUILDING.

Fire Supression:

A NFPA 13-R 2010 AUTOMATIC FIRE SUPPRESSION SYSTEM SHALL BE PROVIDED THROUGHOUT ALL AREAS OF THE BUILDING INCLUDING GARAGES, BALCONIES AND GROUND FLOOR PATIOS AS PER CHAPTER 9 OF THEMBC- 2012.
SMOKE ALARMS TO BE PROVIDED AS PER SECTION 907.2.9.2 & 907.2.11.2 OF THE MBC-2012.
CARBON MONOXIDE ALARMS TO BE PROVIDED AS PER SECTION 908.7 OF THE MBC-2012.

ATTIC DRAFT STOPS:

EACH OF THE ATTICS ABOVE THE SECOND FLOOR UNITS ARE SEPERATED BY THE EXTENSION OF THE FIRE WALLS BELOW SEPERATING EACH UNIT. THESE WALLS EXTEND TO THE UNDERSIDE OF THE ROOF DECK. THE WALL SEPERATING THE RIGHT HALF OF THE BUILDING FROM THE LEFT HALF IS A 2 HOUR FIRE RATED WALL. THE WALL SEPERATING THE FRONT UNITS FROM THE REAR UNITS ARE A 1 HOUR WALL. EACH OF THE ATTIC SPACES IS LESS THAN THE MAXIMUM OF 3,000 s/f.

Seperate Submittals

- 1. SHOP DRAWINGS FOR ENGINEERED FLOOR JOIST SYSTEMS & PRE-ENGINEERED ROOF TRUSSES SYSTEMS. ALL DRAWINGS TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN.
2. FIRE SUPPRESSION SYSTEM DESIGN DRAWINGS. ALL DRAWINGS TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN.
3. ALL INTERIOR FINISHES SHALL MEET A CLASS C FLAME SPREAD INDEX 76-200 AND SMOKE-DEVELOPED INDEX 0-450. PROVIDE PRODUCT CUT SHEETS TO THE BUILDING DEPARTMENT SHOWING COMPLIANCE.

Special Inspections:

ALL SPECIAL INSPECTIONS SHALL BE DONE BY McDOWELL & ASSOCIATES
- GEOTECHNICAL TESTING
- SOIL BEARING CAPACITIES
- CONCRETE TESTING

COPIES OF ALL REPORTS TO BE SUBMITTED TO THE BUILDING DEPARTMENT OF MACOMB TOWNSHIP

Proposed New Apartments for:

M J C Avalon

Attic Areas & Ventilation Requirements

(PER MBC 2015 SEC 1203)

ATTIC AREAS

Above Unit B: 1,611 S.F.
Above Unit C: 1,726 S.F.

VENTILATION AREA REQUIRED: 1/300 ALLOWED (Per 1203.2) IF: MORE THAN 50% AND LESS THAN 80% OF REQUIRED VENTILATION TO BE LOCATED IN THE UPPER PORTION OF THE ATTIC SPACE

Unit B: 1,611 S.F. x 1/300 = 5.37 S.F.
Unit C: 1,726 S.F. x 1/300 = 5.75 S.F.

VENTILATION AREA PROVIDED:

Unit B: 36'-0" L.F. Soffit Vent @ 5 Sq. In./Ft. = 180 Sq. In.
144 Sq. In. per 288 Sq. Ft.
Unit B: (10) Style 600 Roof Vents @ 60 Sq. In. = 600 Sq. In.
144 Sq. In. per 34.5 Sq. Ft.

Unit B: Total Ventilation Area = 5.42 S.F. > 5.37 S.F. Required (77% OF VENTILATION IN UPPER PORTION OF ATTIC)

Unit C: 80'-0" L.F. Soffit Vent @ 5 Sq. In./Ft. = 400 Sq. In.
144 Sq. In. per 288 Sq. Ft.
Unit C: (11) Style 600 Roof Vents @ 60 Sq. In. = 660 Sq. In.
144 Sq. In. per 34.5 Sq. Ft.

Unit C: Total Ventilation Area = 7.36 S.F. > 5.75 S.F. Required (62% OF VENTILATION IN UPPER PORTION OF ATTIC)

- 1. ROOF VENT SPECS. PROVIDED ARE BY "LOMANCO VENTS"
2. PERFORATED SOFFIT/EAVE VENTS ARE JAMES HARDIE
3. ALUM. ROOF VENTS ARE LOMANCO - 600 SERIES

Project Professionals:

Architects:
Burmam Associates Inc.
119 W. St. Clair
Romeo, Michigan 48065
o.586-752-5010 c.586-201-1602
greatarchitects@charter.net
Richard E. Burmann R.A.
Michigan #20749

Structural Engineering:
Simpson Engineering L.L.C.
119 W. St. Clair
Romeo, Michigan 48065
o.586-752-9872 c.810-614-5696
mpsimpson1959@yahoo.com
Mark P. Simpson P.E.
Michigan #33208

Mechanical Engineering:
Beechwood Engineering, P.L.C.
3462 Beechwood
Farmington Hills, Michigan 48335
248-408-8178
krj@bcglobal.net
Kenneth R. Jenkins P.E.
Michigan #20003

Electrical Engineering:
Current Design L.L.C.
1290 Brook Lane
Rochester Hills, Michigan 48306
248-651-3681
currentdm@aol.com
Dominic A. Mocerri

SEPARATE SUBMITTAL:

CIVIL ENGINEERING DESIGN & DRAWINGS ARE DONE BY OTHERS AND ARE NOT PART OF THIS SUBMITTAL

FIRE SUPPRESSION DESIGN & DRAWINGS ARE DONE BY OTHERS AND ARE NOT PART OF THIS SUBMITTAL

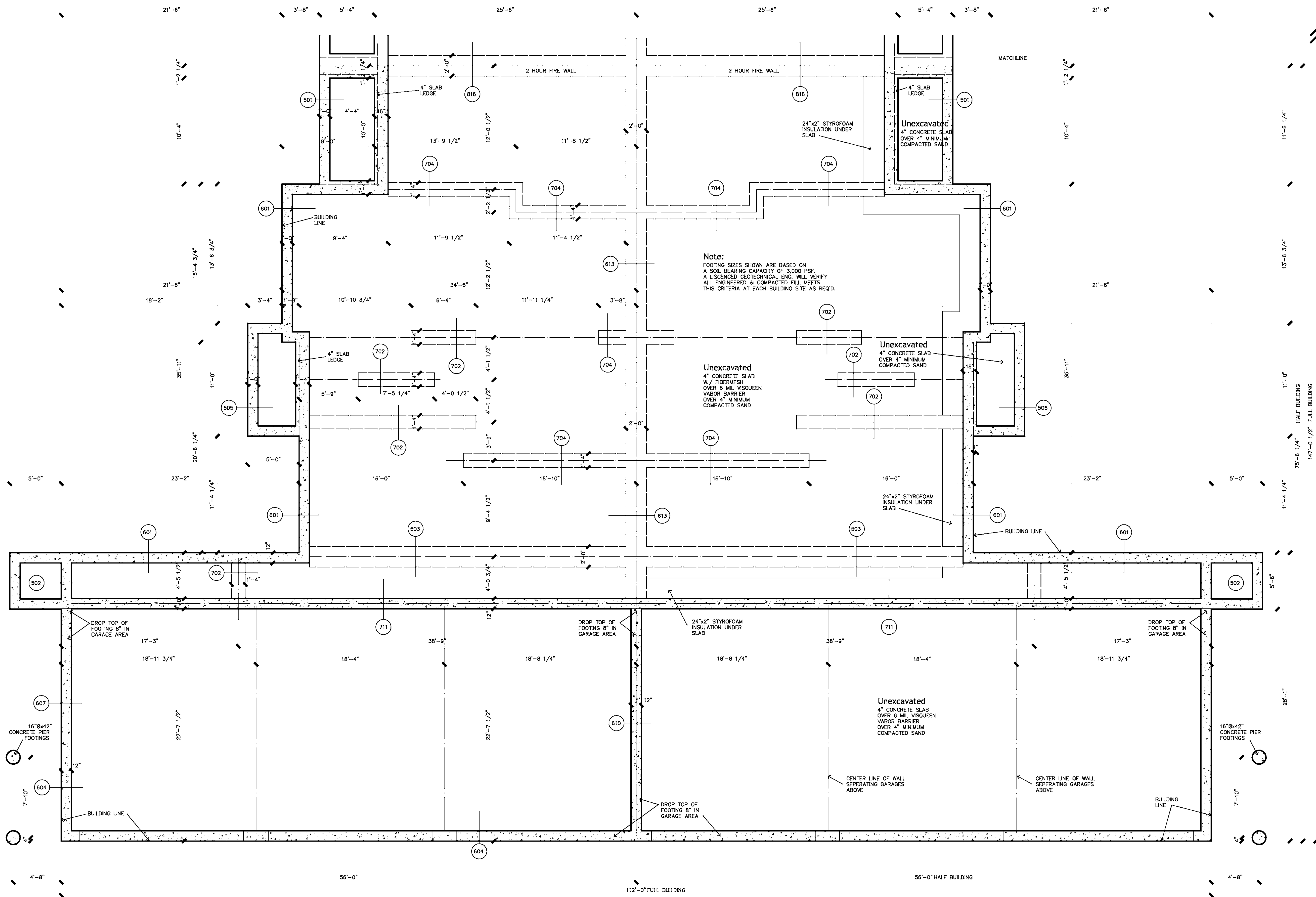
Sheet Index:

Table with 2 columns: Sheet Name, Page Number. Includes Cover Page, Foundation Plan, First Floor Plan, Second Floor Plan, Elevations, Building Sections, Wall Sections, Wall Sections & Details, Specifications, and Door Schedule.

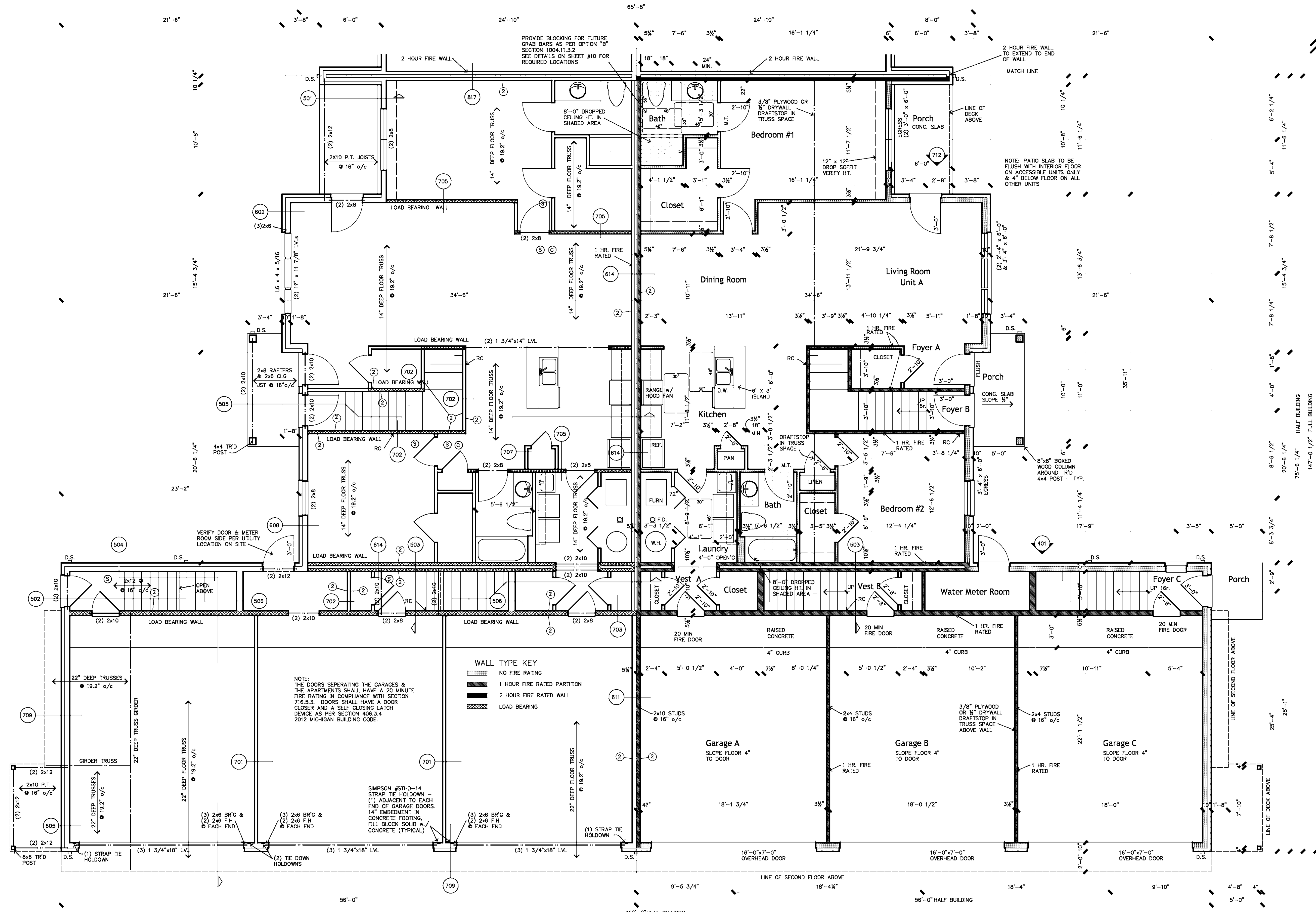
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Foundation Plan
 Scale: 1/4" = 1'-0"



WALL TYPE KEY

[Symbol]	NO FIRE RATING
[Symbol]	1 HOUR FIRE RATED PARTITION
[Symbol]	2 HOUR FIRE RATED WALL
[Symbol]	LOAD BEARING

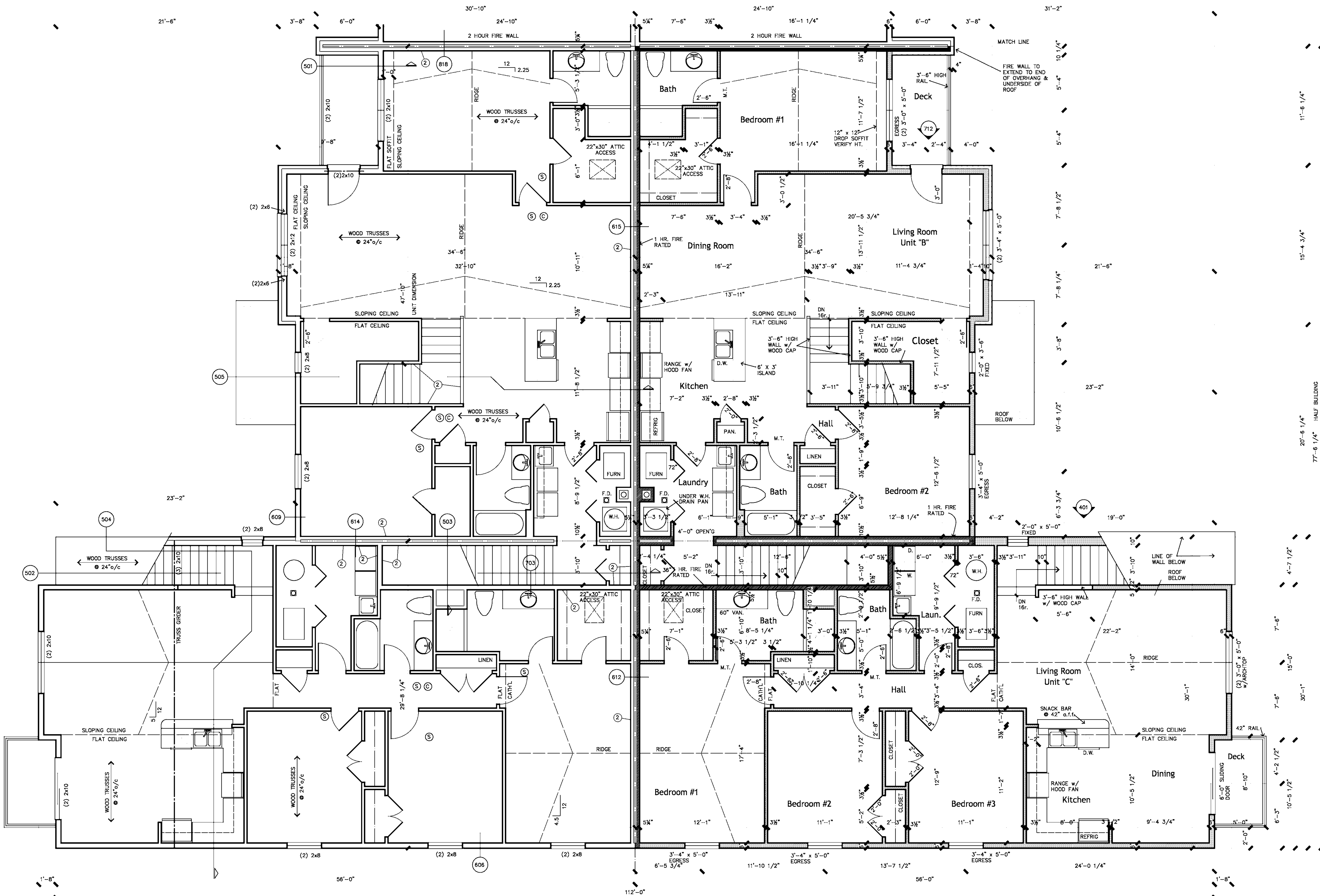
NOTE: THE DOORS SEPARATING THE GARAGES & THE APARTMENTS SHALL HAVE A 20 MINUTE FIRE RATING IN COMPLIANCE WITH SECTION 716.5.3. DOORS SHALL HAVE A DOOR CLOSER AND A SELF-CLOSING LATCH DEVICE AS PER SECTION 406.3.4 2012 MICHIGAN BUILDING CODE.

SIMPSON #5THD-14 STRAP TIE HOLDDOWN (1) ADJACENT TO EACH END OF GARAGE DOORS. 14" EMBEDMENT IN CONCRETE FOOTING, FILL BLOCK SOLID W. CONCRETE (TYPICAL)

First Floor Plan
Scale: 1/4" = 1'-0"

Type "B" Units
ALL UNITS EXCEPT FOR BUILDINGS #3, #4 & #9 - SEE SHEET #10 BUILDING #10 - SEE SHEET #11

REPRODUCTION OF PRINTS IS PROHIBITED.



WALL TYPE KEY

[Symbol: Dotted pattern]	NO FIRE RATING
[Symbol: Horizontal lines]	1 HOUR FIRE RATED PARTITION
[Symbol: Vertical lines]	2 HOUR FIRE RATED WALL
[Symbol: Cross-hatch pattern]	LOAD BEARING

Second Floor Plan
 Scale: 1/4" = 1'-0"

ALL UNITS "B" & "C" ARE NOT ACCESSIBLE UNITS.

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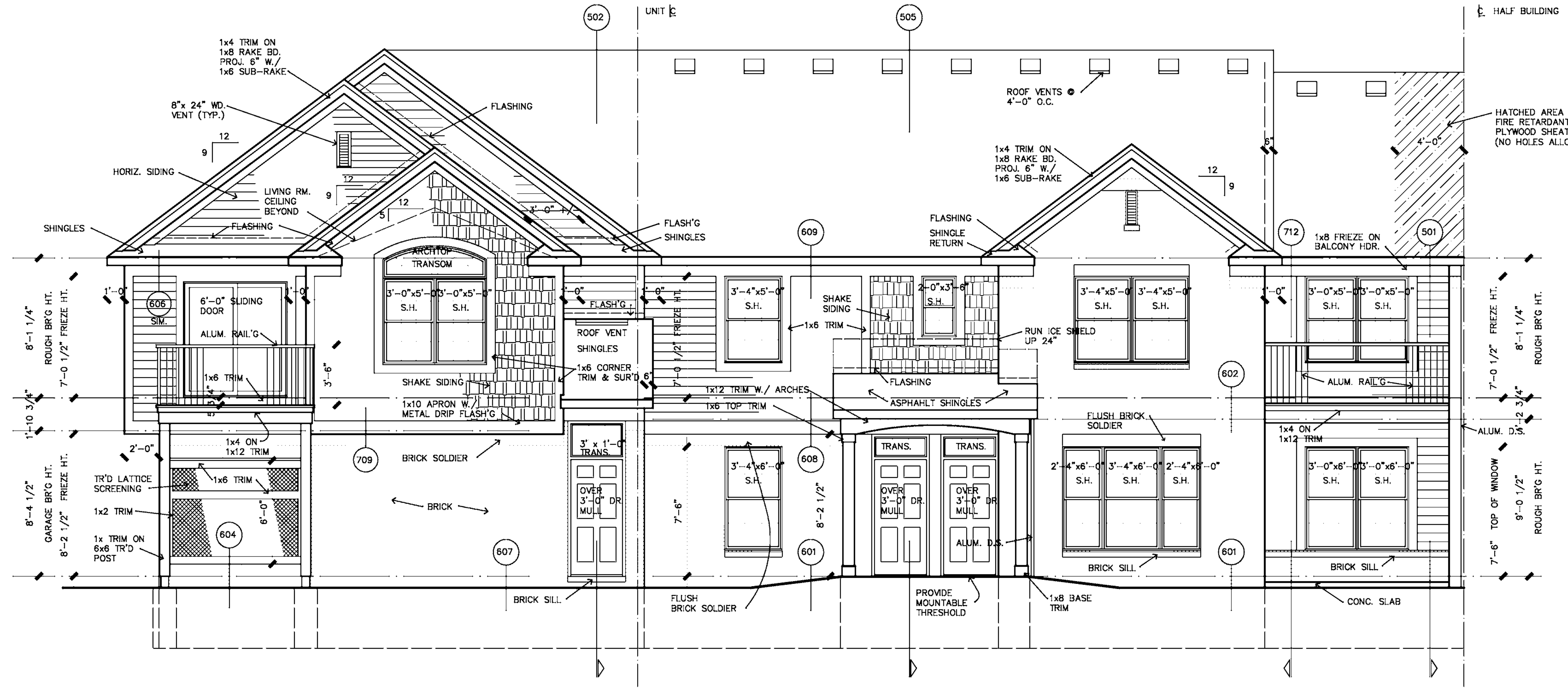
Proposed Condominiums for:
MJC
 12 - Plex Condominiums

Architects • Engineers • Historic Restorations
 119 W. St. Clair • Romeo • Michigan • 48065-4655
 Office 586-752-9100 • 586-201-1600 Cell
 greatarchitects@charter.net

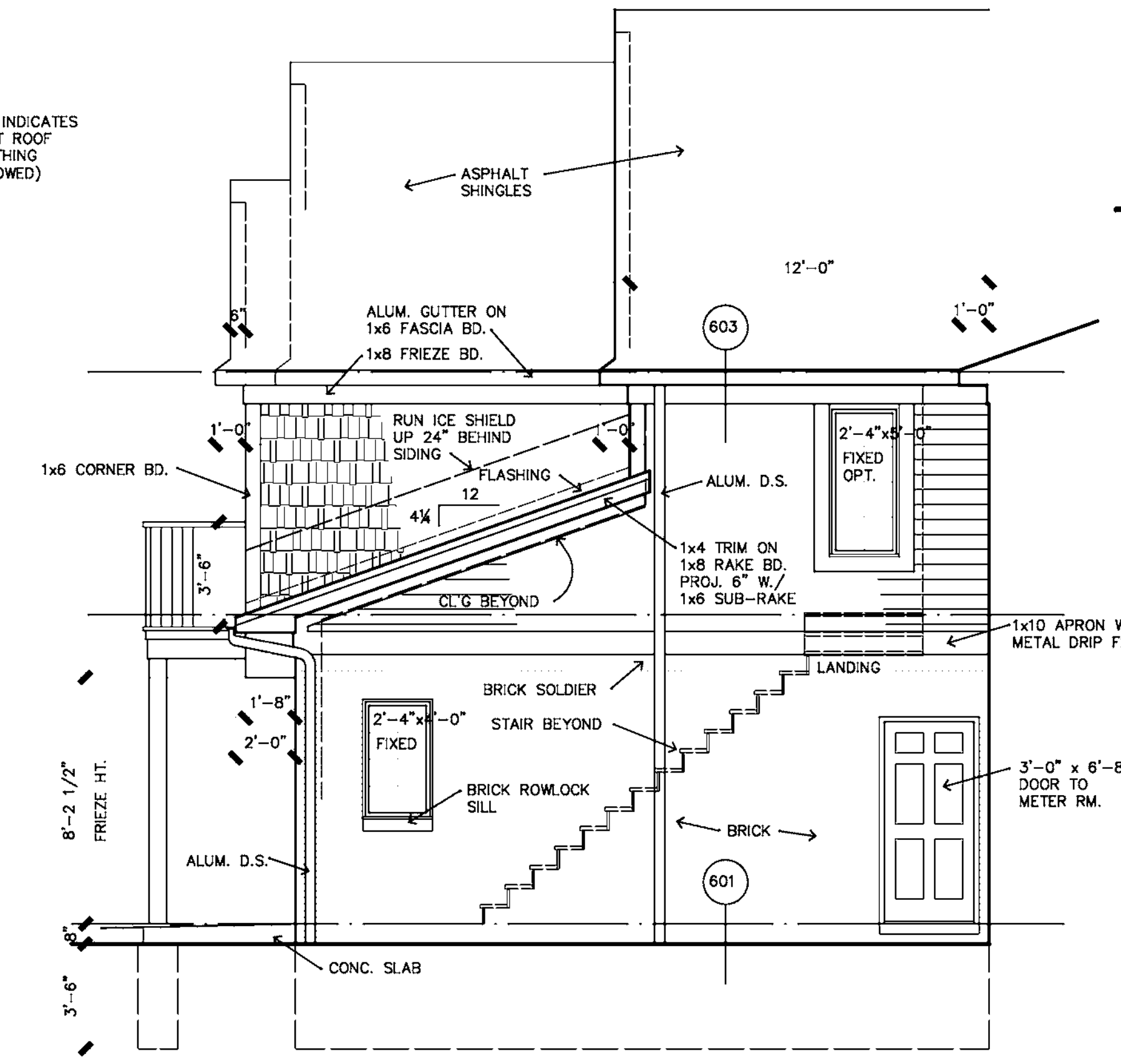
BURMANN
 Burmann Associates, Inc.
 Member of the American Institute of Architects

Sheet Contents:
 Second Floor
 Job: 1873
 Drawn by: REB
 Date: 17JUL18
 Sheet Number:

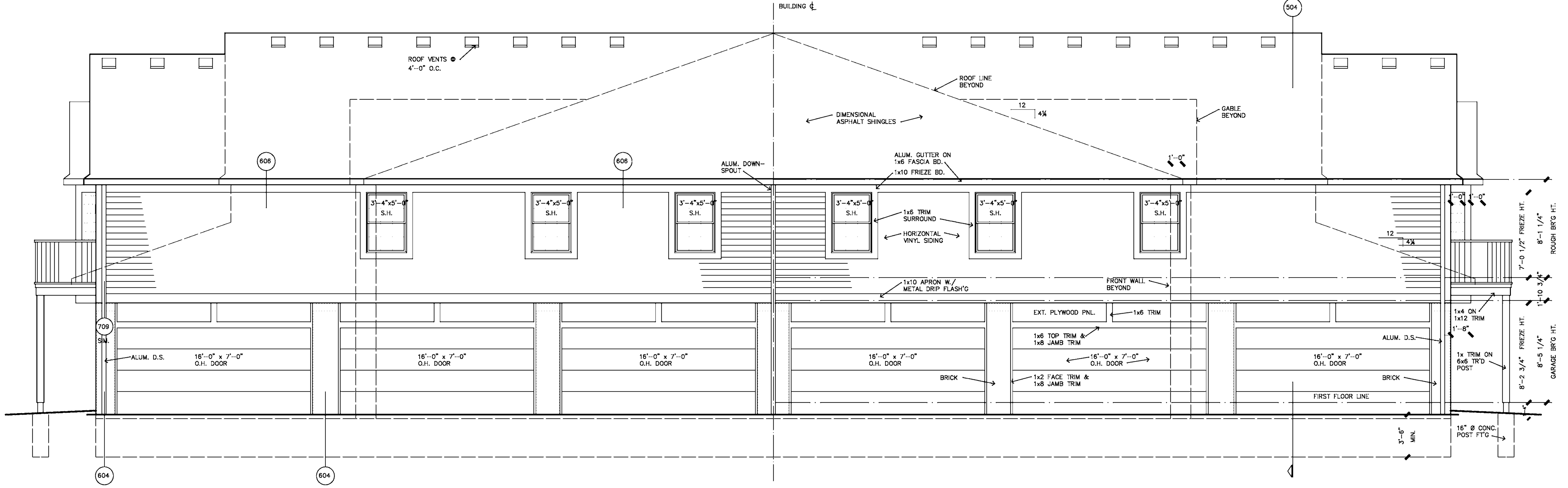
3-A
 Packet Page # 163



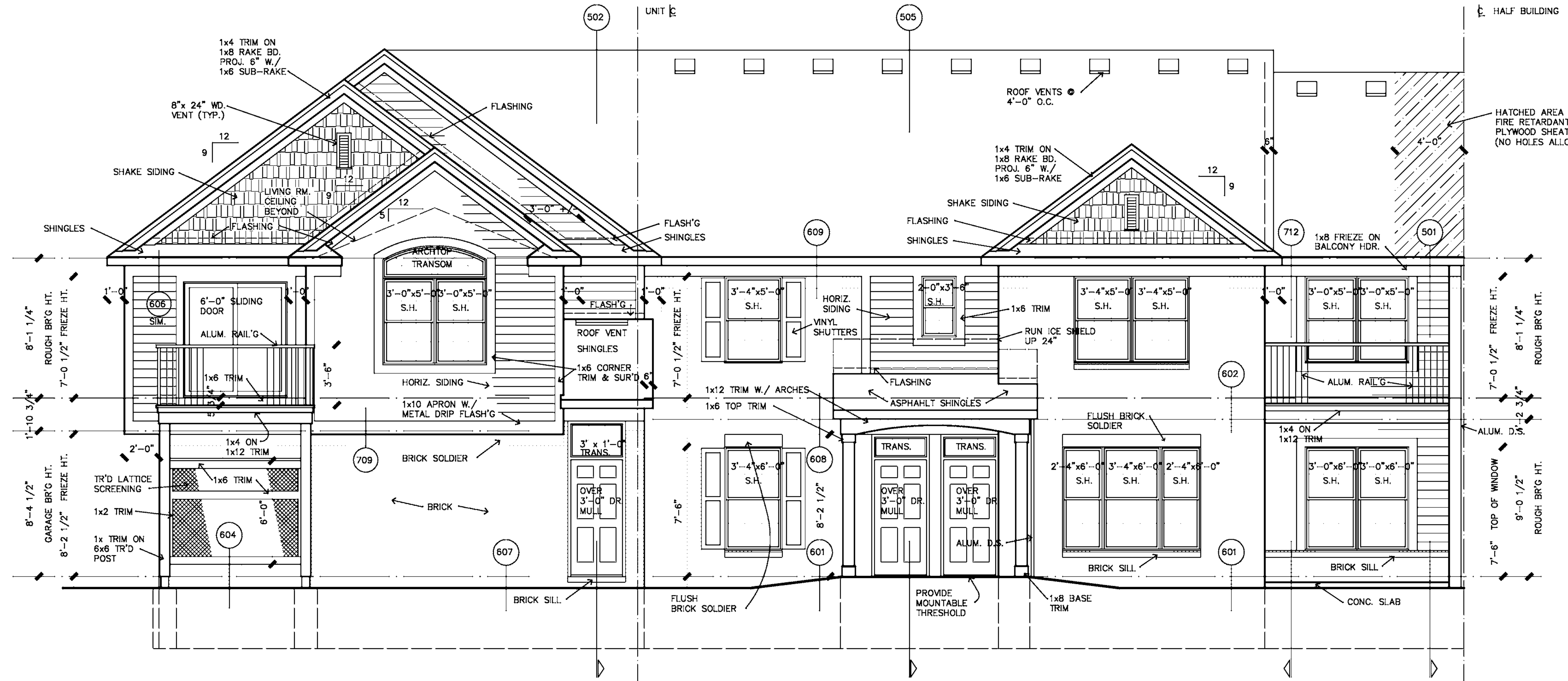
Front/Rear Elevation "A"
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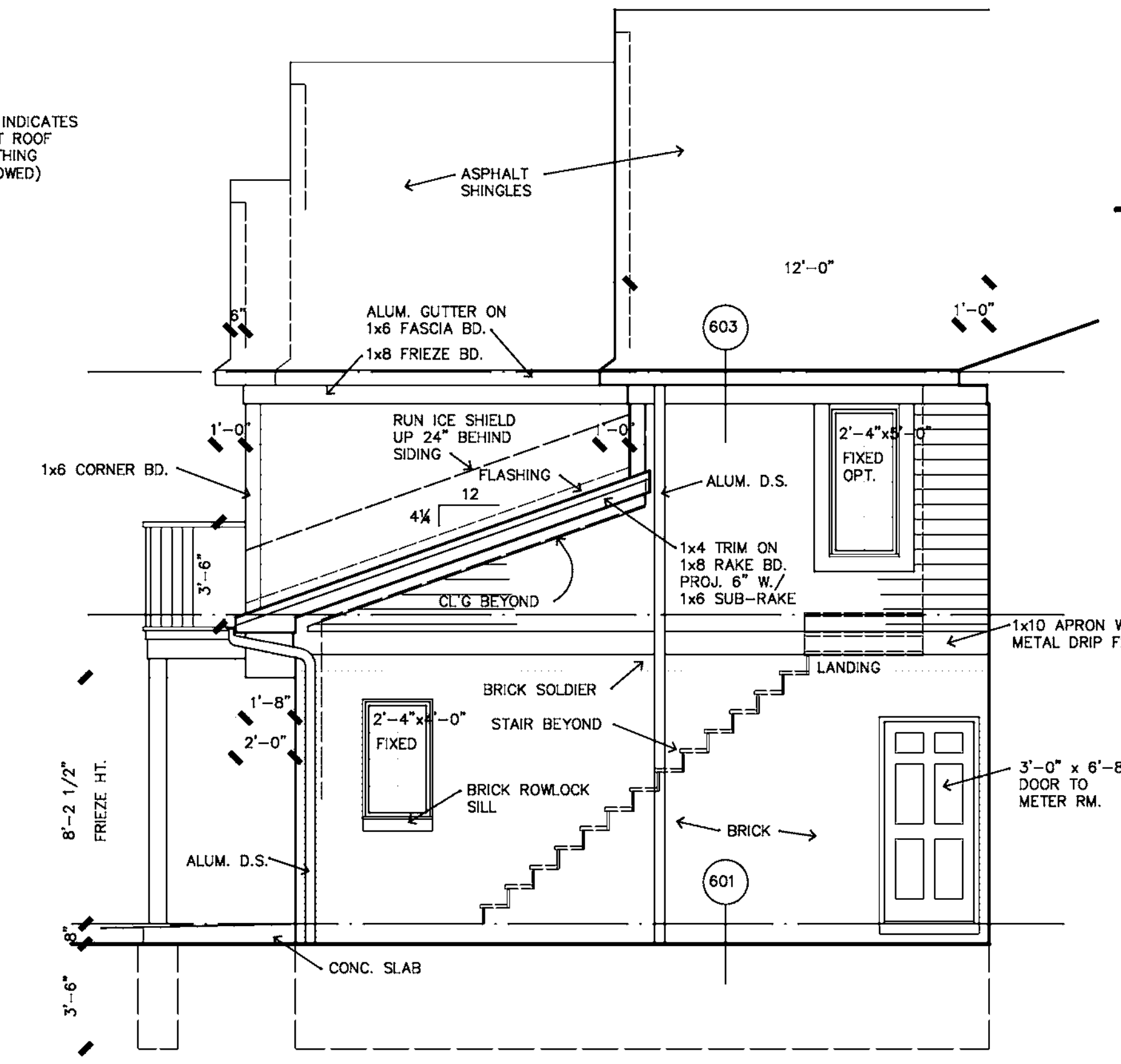
Partial Elevation "A"
 Scale: 1/4" = 1'-0"



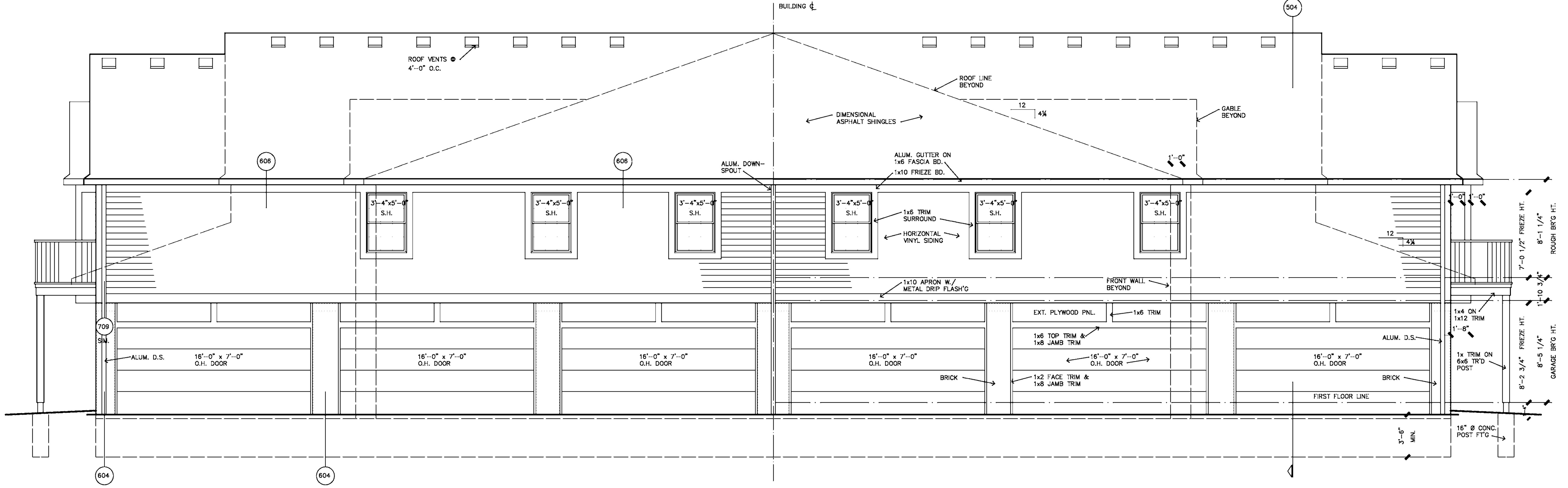
Side Elevation "A"
 Scale: 1/4" = 1'-0"



Front/Rear Elevation "B"
 Scale: 1/4" = 1'-0"



401 Partial Elevation "B"
 Scale: 1/4" = 1'-0"



Side Elevation "B"
 Scale: 1/4" = 1'-0"



2911 Dorr Road
 Brighton, MI 48116
 810.227.5225
 810.227.3420 fax
 genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: November 17, 2022
RE: Township Hall Parking & Driveway Lighting Upgrades

On Tuesday, November 15th, 2022 the Township received two bids for the proposed site lighting upgrades to the main parking lot and driveway area of the Township Hall. As a reminder, the recently approved budget for this project is \$155,000. A copy of the bid tabulation is attached for your review. As provided in the bid package which is also attached, the bids involved the primary project to replace the main parking lot, flag light and driveway lighting with two alternate bids for power to a future new LED sign at Dorr Road and power for additional security cameras near the new basketball courts. Both bid alternates involve a connection to the existing metered utility service pole adjacent to the sled hill and can easily be incorporated into a standalone project.

The low bid for the project was Douglas Electric with a total proposal cost of \$159,000 which includes both alternates. The cost for power to the future LED sign at Dorr Road was \$15,300 and power for security cameras near the basketball courts was \$17,330. There is also a 15% contingency cost that must be factored in to the total project cost.

To stay within budget and because the bid alternate projects are distinct from the primary project, staff is recommending that the alternative projects be removed from the scope and that the Township accept the bid from Douglas Electric for \$126,370 plus 15% contingency for a total of \$145,325.50. A recommended motion for your consideration is provided as follows:

Moved by _____, Supported by _____ to approve the proposal from Douglas Electric dated November 14, 2022 with removal and deductions for alternate proposals 1 and 2 for a project total not to exceed \$145,325.50 (\$126,370 plus 15% contingency).

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter

CONTRACTOR	BASE PROPOSAL	ALTERNATE #01	ALTERNATE #02	FEES OWN	ADDENDA				Bid Bond	BASE BID SUBSTITUTIONS	COMP. DAYS
					01	02					
Douglas Electric	\$159,000.00	-\$15,300.00	-\$17,330.00	15%	X	X			X	None *Based on current lead times & weather permitting	70*
Crampton Electric	No Bid										
O'Donnell Electric	\$180,892.00	-\$21,960.00	-\$15,202.00	15%	X	X			X	None	Spring

Open by and read by: Michael O'Leary

Witnessed: Adam VanTassell

PROPOSAL - ALL TRADES

TO: Charter Township of Genoa
 2911 Dorr Road
 Brighton, MI 48116

PROJECT: Parking Lot Lighting Replacement Project
 2911 Dorr Road
 Brighton, MI 48116

ARCHITECT: Lindhout Associates architects aia pc
 10465 Citation Drive
 Brighton, MI 48116

PROPOSALS

The Undersigned Douglas ELECTRIC CO. proposes to furnish all of the material, labor, necessary tools, expendable equipment and all utility and transportation services necessary to complete in a workmanlike manner the construction contract in accordance with the Contract Documents for:

BASE PROPOSAL Architects Comm. No. 22046 for the sum of:

ONE HUNDRED FIFTY NINE THOUSAND DOLLARS (\$ 159,000)

as BASE PROPOSAL. Applicable Sales and Use Taxes are included.
***Include Owner's contingency as described in Article 21S, Section 01B, Special Conditions**

ALTERNATE PROPOSALS

No. ONE (1) - DEDUCT for the deletion of the 240 volt circuit for the future message board sign
FIFTEEN THOUSAND THREE HUNDRED DOLLARS (\$ 15,300.00)

No. TWO (2) - DEDUCT for the deletion of the 120 volt circuit for the future security cameras
SEVENTEEN THOUSAND THREE HUNDRED THIRTY DOLLARS (\$ 17,330.00)

Applicable Sales and Use Taxes are included.

FEES FOR ADDITIONAL WORK

- For additional work performed by the undersigned own forces, upon instructions of the Owner, the charges will be the actual cost of all labor and materials plus a fee of 15 percent, which fee includes all of the charges for overhead and profit, to which will be added the actual cost of the insurance and applicable taxes.

October 24, 2022

ADDENDA

The undersigned acknowledges the receipt of the following Addenda and has included them in his proposal.

Addendum No.	<u>1</u>	Dated	<u>10/24/22</u>
Addendum No.	<u>2</u>	Dated	<u>11/8/22</u>
Addendum No.	_____	Dated	_____

BASE BID SUBSTITUTIONS

The Undersigned proposes the following list of materials, products or methods as direct substitutions for the Base Bid items. See "Base Bid Specification", Page IB-2 (Contractor may attach additional sheets if necessary). It being understood that items listed herein will not be considered in determining low bidders.

PRODUCT	MANUFACTURER	COST DIFFERENTIAL
<u>N/A</u>		

COMPLETION TIME

The Undersigned agrees to complete the total project in 70 consecutive calendar days maximum.

* WEATHER & MATERIAL PERMITTING

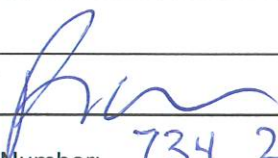
SUBCONTRACTORS

It is agreed by the Undersigned that all other Subcontractors names used in this Proposal, together with a Schedule of Values, will be forwarded to the architect 24 hours upon notice.

ACCEPTANCE

In submitting this proposal, it is understood that the right is reserved by the Owner to reject any and all bids. It is agreed that bid may not be withdrawn for a period of 30 days after opening thereof.

DATE: <u>11/14/22</u>	FIRM NAME: <u>Douglas Electric Co.</u>
BY: <u>PATRICK GIBBONS</u>	TITLE: <u>Project Manager</u>
ADDRESS: <u>759 GROVE ST WYANDOTTE MI 48192</u>	

SIGNATURE: 

Contact Phone Number: 734 281 6994 x118

AIA[®] Document A310[™] – 2010

Bid Bond

CONTRACTOR:

(Name, legal status and address)

Douglas Electric Company

759 Grove St.

Wyandotte, MI 48192

OWNER:

(Name, legal status and address)

Genoa Township Hall

2911 Dorr Rd.

Brighton, MI 48116

BOND AMOUNT: Five Percent (5%) of Amount Bid

SURETY:

(Name, legal status and principal place of business)

Fidelity and Deposit Company of Maryland

1299 Zurich Way, 5th Floor

Schaumburg, IL 60196-1056

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

PROJECT:

(Name, location or address, and Project number, if any)

Genoa Township Hall Lighting Project

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.


If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this **15th** day of **November, 2022**



(Witness)



(Witness)

Douglas Electric Company

(Principal)

(Seal)



(Title)

Fidelity and Deposit Company of Maryland

(Surety)

(Seal)



(Title)

Susan L. Small, Attorney-in-Fact

Init.

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EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, Attorneys-in-Fact. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify or revoke any such appointment or authority at any time."

CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By-Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this 15th day of November 2022.



Brian M. Hodges

By: Brian M. Hodges
Vice President

TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT A COMPLETE DESCRIPTION OF THE CLAIM INCLUDING THE PRINCIPAL ON THE BOND, THE BOND NUMBER, AND YOUR CONTACT INFORMATION TO:

Zurich Surety Claims
1299 Zurich Way
Schaumburg, IL 60196-1056
www.reportsfclaims@zurichna.com
800-626-4577



Authenticity of this bond can be confirmed at bondvalidator.zurichna.com or 410-559-8790

**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Illinois, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Illinois (herein collectively called the "Companies"), by **Robert D. Murray, Vice President**, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint **Jeffrey A. CHANDLER, Reynolds L. MEAGAN, Kathleen M. IRELAN, Ian J. DONALD, Alan P. CHANDLER, Robert TROBEC, Terence J. GRIFFIN, Susan L. SMALL of Troy, Michigan, EACH**, its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.

The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 03rd day of November, A.D. 2021.



ATTEST:
**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**

By: *Robert D. Murray*
Vice President

By: *Dawn E. Brown*
Secretary

**State of Maryland
County of Baltimore**

On this 03rd day of November, A.D. 2021, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **Robert D. Murray, Vice President and Dawn E. Brown, Secretary** of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, deposeth and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.



Constance A. Dunn, Notary Public
My Commission Expires: July 9, 2023

Authenticity of this bond can be confirmed at bondvalidator.zurichna.com or 410-559-8790

ELECTRICAL SYMBOL LIST

POWER SYMBOLS	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE, 120V, 20A. GROUNDING TYPE
	DUPLEX RECEPTACLE, 120V, 20A. GROUNDING TYPE, CEILING MOUNTED RECEPTACLE.
	FLUSH FLOOR MOUNTED 120V, 20A. CONVENIENCE RECEPTACLE, HUBBELL #B2537 WITH #S3082/S3925 COVER ASSY.
	MEDIA RECEPTACLE
	WEATHERPROOF RECEPTACLE
	COMPUTER GRADE RECEPTACLE, 120V, 20A., WITH ISOLATED GROUND
	DUPLEX RECEPTACLE, 120V, 20A., GROUNDING TYPE WITH (2) USB PORTS
	SWITCHED DUPLEX RECEPTACLE, 120V, 20A. GROUNDING TYPE
	DUPLEX RECEPTACLE, GFCI TYPE, 120V, 20A., GROUNDING TYPE
	COMPUTER GRADE RECEPTACLE, 120V, 20A. WITH ISOLATED GROUND
	DOUBLE DUPLEX RECEPTACLE, 120V, 20A. GROUNDING TYPE
	DOUBLE DUPLEX RECEPTACLE 120V, 20A. GROUNDING TYPE
	GFCI FACELESS CIRCUIT PROTECTOR WITH TEST BUTTON, 120V, 20A. MTG HEIGHT TO MATCH ADJACENT OUTLETS
	FLOOR POKE-THROUGH POWER/DATA/TELEPHONE DEVICE
	FLUSH FLOOR MOUNTED TELE/DATA OUTLET, HUBBELL #B2537 WITH #S3082/S2925 COVER ASSY. PROVIDE 3/4"C. TO CEILING SPACE.
	SPECIAL RECEPTACLE, TYPE & MOUNTING HEIGHT AS NOTED
	JUNCTION BOX - CEILING MOUNTED
	JUNCTION BOX - FLOOR MOUNTED
	JUNCTION BOX - WALL MOUNTED, HEIGHT AS NOTED
	KWH METER
	BASE FEED TO SYSTEM FURNITURE WITH POWER, TELEPHONE AND DATA CONNECTIONS TO CEILING SPACE
	FLOOR MOUNTED BASE FEED TO SYSTEM FURNITURE WITH POWER, TELEPHONE AND DATA CONNECTIONS TO CEILING SPACE
	(2) SECTION TELE / POWER POLE TO SYSTEM FURNITURE WITH POWER, TELEPHONE AND DATA CONNECTIONS TO CEILING SPACE
	OVER HEAD BUSWAY
	WALL MOUNTED SURFACE RACE WAY
	FUSIBLE DISCONNECT SWITCH - UPPER NUMERAL DENOTES SWITCH SIZE, LOWER NUMERAL DENOTES FUSE SIZE
	NON-FUSED DISCONNECT SWITCH - NUMERAL DENOTES SWITCH SIZE
	MAGNETIC MOTOR STARTER
	COMBINATION MOTOR STARTER
	MOTOR CONTROL SWITCH WITH PILOT LIGHT
	MANUAL MOTOR STARTER, OR ON MOTORIZED EQUIP.
	MOTOR CONNECTION
	LOAD CENTER
	PANELBOARD
	DISTRIBUTION PANELBOARD
	MAIN SWITCHBOARD
	TRANSFORMER
	CONTROL PANEL
	MANHOLE
	HAND HOLE
	UTILITY POLE

LIGHTING SYMBOLS	
SYMBOL	DESCRIPTION
	S SINGLE POLE TOGGLE SWITCH
	S3 THREE-WAY TOGGLE SWITCH
	S4 FOUR-WAY TOGGLE SWITCH
	SK KEY OPERATED SWITCH
	SD WALL DIMMER, DIMMING TECHNOLOGY AS REQUIRED, WATTAGE REQUIRED EQUAL TO CONNECTED LOAD PLUS 25 PERCENT
	SP SWITCH WITH PILOT LIGHT
	RECESSED TROFFER
	EMERGENCY LIGHT
	SURFACE OR SUSPENDED MOUNTED LIGHT
	RECESSED TROFFER
	EMERGENCY LIGHT
	SURFACE OR SUSPENDED MOUNTED LIGHT
	STRIP LIGHT
	SINGLE FACE EXIT SIGN, CEILING MTD. ARROWS AS INDICATED
	DOUBLE FACE EXIT SIGN, CEILING MTD. ARROWS AS INDICATED
	SINGLE FACE EXIT SIGN, WALL MTD. ARROWS AS INDICATED
	DOUBLE FACE EXIT SIGN, WALL MTD. ARROWS AS INDICATED
	BATTERY OPERATED EMERGENCY LIGHT
	COMBINATION EXIT / EMERGENCY LIGHT
	REMOTE EMERGENCY LIGHT
	TWIN HEAD REMOTE EMERGENCY LIGHT
	SITE LIGHTING BOLLARD
	OUTDOOR LIGHTING POLE & LUMINAIRE

LOW VOLTAGE SYMBOLS	
SYMBOL	DESCRIPTION
	COMMUNICATIONS OUTLET, MTG HEIGHT TO MATCH ADJACENT OUTLETS, OUTLET TO INCLUDE EMPTY 1" TO CEILING SPACE
	FIRE MANS PHONE
	INTERCOM OUTLET WITH 3/4"C. EMPTY CONDUIT (WITH PULLSTRING) TO CEILING SPACE
	MASTER INTERCOM OUTLET WITH 3/4"C. EMPTY CONDUIT (WITH PULLSTRING) TO CEILING SPACE
	TELEVISION OUTLET BOX
	CEILING SPEAKER ASSEMBLY
	CLOCK OUTLET
	MICROPHONE OUTLET
	SECURITY CAMERA
	WALL MOUNTED SECURITY CAMERA
	VOLUME CONTROL
	PROXIMITY READER OUTLET
	SECURITY KEYPAD

ONE-LINE DIAGRAM SYMBOLS	
SYMBOL	DESCRIPTION
	CIRCUIT BREAKER - UPPER NUMERAL DENOTES AMPERAGE FRAME RATING AND LOWER NUMERAL INDICATES TRIP RATING
	FUSIBLE DISCONNECT SWITCH - UPPER NUMERAL DENOTES SWITCH SIZE, LOWER NUMERAL DENOTES FUSE SIZE
	GENERATOR
	GROUND
	KIRK-KEY INTERLOCK
	INDICATES AVAILABLE FAULT CURRENT IN 3-PHASE SYMMETRICAL AMPERES
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH

WIRING & CONDUIT SYMBOLS	
SYMBOL	DESCRIPTION
	CONDUIT RUN IN WALL OR ABOVE CEILING
	CONDUIT RUN BELOW GRADE OR CONCRETE SLAB
	ISOLATED GROUND CONDUCTOR & SAFETY GROUND CONDUCTOR
	BRANCH CIRCUIT HOMERUN
	LOW VOLTAGE WIRING FOR LIGHTING CONTROL
	BRANCH CIRCUIT HOMERUN WITH (3) LINE CONDUCTORS, (1) NEUTRAL CONDUCTOR, (1) SAFETY GROUND CONDUCTOR & (1) ISOLATED GROUND CONDUCTOR
	NOTE: ANY CIRCUIT WITHOUT FURTHER IDENTIFICATION IS 2-WIRE PLUS GROUND WIRE. A GREATER NUMBER OF WIRES IS INDICATED BY HASH MARKS.
	— E — NIGHT LIGHT CIRCUIT ON EMERGENCY ELECTRIC SYSTEM
	— T — TELEPHONE RACEWAY
	— D — DATA SYSTEM RACEWAY
	— P — PRIMARY UNDERGROUND DUCT
	///// EXISTING TO BE REMOVED OR ABANDONED
	- - - - MATCHLINE

PROJECT SPECIFIC NOTES

- APPLICABLE CODES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:
 - 2015 MICHIGAN BUILDING CODE
 - 2017 NEC WITH MICHIGAN PART 8 AMENDMENTS
 - 2017 MICHIGAN ENERGY CODE (IECC 2015 / ASHRAE 90.1 - 2013)
- CONTRACTOR SHALL PROVIDE NAMEPLATES FOR ALL ELECTRICAL EQUIPMENT AND ARC-FLASH LABELS INDICATING REQUIRED PPE PROTECTION.
- ALL WIRING AND BUSSING SHALL BE COPPER, UNLESS OTHERWISE NOTED.
- A SEPARATE EQUIPMENT GROUNDING CONDUCTORS, SIZED PER NEC, SHALL BE INSTALLED WITH ALL CIRCUIT CONDUCTORS.
- PROVIDE A THERMAL-ADHESIVE LABEL ON EACH DEVICE (J-BOX, DISC, SW, ETC.) INDICATING THE SOURCE PANEL AND CIRCUIT NUMBER.

GENERAL NOTES

- THE CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND/OR LOCAL CODES. IF A DISCREPANCY BETWEEN CODES OCCURS, THE MOST STRINGENT SHALL PREVAIL.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. SHOULD DISCREPANCIES BE DISCOVERED, THE CONTRACTOR SHALL VERIFY INTENT WITH THE ENGINEER/OWNER BEFORE PROCEEDING.
- COORDINATE ALL ROUGH-IN REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT WITH THE OWNER PRIOR TO BEGINNING WORK. THESE DRAWINGS ARE BASED ON THE BEST INFORMATION AVAILABLE DURING THE DESIGN PHASE OF THE PROJECT.
- DEVICES NOTED "WP" SHALL BE WEATHERPROOF, "WHILE-IN-USE" TYPE WHERE APPLICABLE.
- MULTI-WIRE BRANCH CIRCUITS SHALL BE PROVIDED WITH THE MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNDERGROUND CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES. REFER TO 2017 NEC 210.4 (B). THIS APPLIES TO ALL MULTI-WIRE BRANCH CIRCUITS SUPPLYING ANY LOAD.
- DEDICATED NEUTRAL CONDUCTORS SHALL BE CONSIDERED CURRENT-CARRYING CONDUCTORS. HOMERUNS CONTAINING MORE THAN THREE CURRENT-CARRYING CONDUCTORS SHALL BE DERATED IN ACCORDANCE WITH THE 2017 NEC.
- BRANCH CIRCUIT HOMERUN CONDUCTORS SHALL BE SIZED IN ACCORDANCE WITH THE 2017 NEC. THE MAXIMUM ALLOWABLE VOLTAGE DROP ON A FEEDER IS 2% AND THE MAXIMUM ALLOWABLE VOLTAGE DROP ON A BRANCH CIRCUIT IS 3%. PROVIDE BRANCH CIRCUIT CONDUCTORS SIZED TO ENSURE THE TOTAL VOLTAGE DROP FROM THE SOURCE TO THE POINT OF UTILIZATION IS LESS THAN OR EQUAL TO 5%.
- CERTAIN AREAS IN THE EXISTING BUILDING AND SITE SHALL BE MODIFIED TO SUIT THE NEW REQUIREMENTS. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE THE SCOPE OF WORK REQUIRED TO COMPLETE A SAFE REMOVAL OF THE ELECTRICAL SYSTEMS AS INDICATED BY THE NOTES ON THIS DRAWING.
- WORK IN THE AREAS SHALL INCLUDE THE DISCONNECTION, REMOVAL, RELOCATION, AND RECONNECTION COMPLETE IN ALL RESPECTS OF ALL ITEMS REQUIRED TO SUIT THE DESIGN INTENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE PROJECT SITE TO CORRECTLY ASCERTAIN THE SCOPE OF SERVICES AND TO INCLUDE ALL PERTINENT COSTS IN HIS BID. NO EXTRAS WILL BE ALLOWED.
- ALL ELECTRICAL WORK INTERFERING WITH AND REQUIRING MODIFICATION FOR THE NEW REQUIREMENTS SHALL BE RELOCATED AS DIRECTED BY BUILDING MANAGEMENT PERSONNEL AND REINSTALLED AND REWIRED AS NECESSARY TO THE SATISFACTION OF THE BUILDING OWNER.
- PROVIDE ALL EQUIPMENT, MATERIALS, LABOR AND SUPERVISION NECESSARY TO PROVIDE A SAFE ELECTRICAL INSTALLATION. ALL ELECTRICAL DEVICES AND SYSTEMS THAT ARE INDICATED AS EXISTING TO REMAIN SHALL BE IN SAFE WORKING ORDER.
- OBTAIN NECESSARY PERMITS FROM THE LOCAL AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH ANY WORK IN THE FIELD.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA AND OTHER ELECTRICAL SAFETY STANDARDS AND GUIDELINES. CONFORM TO ALL STATE AND LOCAL CODES AND STANDARDS.
- ALL EQUIPMENT AND WIRING NOT IN RENOVATION AREAS BUT AFFECTED BY WORK IN RENOVATION AREAS SHALL BE RECONNECTED AS REQUIRED FOR A COMPLETE WORKING SYSTEM.
- ABANDONED AND INACTIVE CONDUITS, WIRE, DEVICES, EQUIPMENT, ETC., SHALL BE REMOVED IN THEIR ENTIRETY. IN ADDITION TO THESE ITEMS, THIS CONTRACTOR SHALL REMOVE ALL ITEMS AS INDICATED ON THE PLANS, OR AS REQUIRED TO CLEAN UP THE ENTIRE AREA OF UNUSED, ABANDONED, OR INACTIVE MATERIALS. CONDUIT AND WIRING FEEDING DEVICES AND EQUIPMENT TO BE REMOVED SHALL ALSO BE REMOVED UP TO THE NEXT ACTIVE PULLBOX, JUNCTION BOX, OR PANELBOARD. HANGERS, MESSENGER CABLE, BRACKETS, ETC. SUPPORTING ITEMS TO BE REMOVED SHALL ALSO BE UNFASTENED AND REMOVED. OPEN HOLES IN DUCTS, BOXES, PANELBOARDS, AND KNOCKOUTS SHALL BE CLOSED WITH SUITABLE SNAP PLUGS OR FILLER PLATES.
- CONTRACTOR SHALL REMOVE AND DELIVER TO A PLACE DESIGNATED BY THE OWNER ALL EXISTING ELECTRICAL EQUIPMENT NO LONGER INTENDED FOR USE. THIS EQUIPMENT REMAINS THE PROPERTY OF THE OWNER.
- ANY EQUIPMENT, DEVICES, MATERIALS, ETC., THE OWNER ELECTS NOT TO RETAIN SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR OFF THE OWNER'S PREMISES.
- AT COMPLETION OF ALL ELECTRICAL WORK, UPDATE CIRCUIT DIRECTORIES IN PANELS AFFECTED BY NEW WORK WITH NEW TYPEWRITTEN CIRCUIT DESCRIPTIONS. CIRCUIT DIRECTORIES SHALL BE MOUNTED ON INSIDE OF FRONT PANEL COVER IN A CLEAR PLASTIC ENCLOSURE.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND IN ACCORDANCE WITH THEIR LISTING OR LABELING REQUIREMENTS. ANY PENETRATIONS THROUGH FIRE RATED ASSEMBLIES THAT ARE CREATED BY THE ELECTRICAL DEMOLITION, SHALL BE SEALED AND RESTORED IN ACCORDANCE WITH THE UL FIRE RESISTANCE DIRECTORY.
- WHERE CONDUIT AND/OR OUTLET BOXES INDICATED FOR DEMOLITION ARE EMBEDDED IN CONCRETE OR BELOW CONCRETE SLAB, ABANDON IN PLACE. CUT BACK AND SEAL EXPOSED CONDUIT. PROVIDE BLANK COVERS FOR ABANDONED BOXES. REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE.

GENERAL NOTES - DEMOLITION

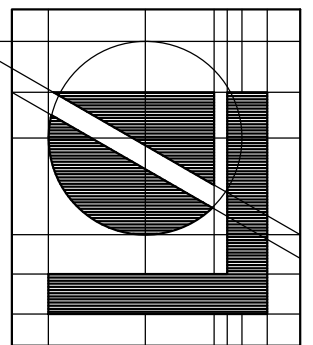
- CERTAIN AREAS IN THE EXISTING BUILDING AND SITE SHALL BE MODIFIED TO SUIT THE NEW REQUIREMENTS. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE THE SCOPE OF WORK REQUIRED TO COMPLETE A SAFE REMOVAL OF THE ELECTRICAL SYSTEMS AS INDICATED BY THE NOTES ON THIS DRAWING.
- WORK IN THE AREAS SHALL INCLUDE THE DISCONNECTION, REMOVAL, RELOCATION, AND RECONNECTION COMPLETE IN ALL RESPECTS OF ALL ITEMS REQUIRED TO SUIT THE DESIGN INTENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE PROJECT SITE TO CORRECTLY ASCERTAIN THE SCOPE OF SERVICES AND TO INCLUDE ALL PERTINENT COSTS IN HIS BID. NO EXTRAS WILL BE ALLOWED.
- ALL ELECTRICAL WORK INTERFERING WITH AND REQUIRING MODIFICATION FOR THE NEW REQUIREMENTS SHALL BE RELOCATED AS DIRECTED BY BUILDING MANAGEMENT PERSONNEL AND REINSTALLED AND REWIRED AS NECESSARY TO THE SATISFACTION OF THE BUILDING OWNER.
- PROVIDE ALL EQUIPMENT, MATERIALS, LABOR AND SUPERVISION NECESSARY TO PROVIDE A SAFE ELECTRICAL INSTALLATION. ALL ELECTRICAL DEVICES AND SYSTEMS THAT ARE INDICATED AS EXISTING TO REMAIN SHALL BE IN SAFE WORKING ORDER.
- OBTAIN NECESSARY PERMITS FROM THE LOCAL AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH ANY WORK IN THE FIELD.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA AND OTHER ELECTRICAL SAFETY STANDARDS AND GUIDELINES. CONFORM TO ALL STATE AND LOCAL CODES AND STANDARDS.
- ALL EQUIPMENT AND WIRING NOT IN RENOVATION AREAS BUT AFFECTED BY WORK IN RENOVATION AREAS SHALL BE RECONNECTED AS REQUIRED FOR A COMPLETE WORKING SYSTEM.
- ABANDONED AND INACTIVE CONDUITS, WIRE, DEVICES, EQUIPMENT, ETC., SHALL BE REMOVED IN THEIR ENTIRETY. IN ADDITION TO THESE ITEMS, THIS CONTRACTOR SHALL REMOVE ALL ITEMS AS INDICATED ON THE PLANS, OR AS REQUIRED TO CLEAN UP THE ENTIRE AREA OF UNUSED, ABANDONED, OR INACTIVE MATERIALS. CONDUIT AND WIRING FEEDING DEVICES AND EQUIPMENT TO BE REMOVED SHALL ALSO BE REMOVED UP TO THE NEXT ACTIVE PULLBOX, JUNCTION BOX, OR PANELBOARD. HANGERS, MESSENGER CABLE, BRACKETS, ETC. SUPPORTING ITEMS TO BE REMOVED SHALL ALSO BE UNFASTENED AND REMOVED. OPEN HOLES IN DUCTS, BOXES, PANELBOARDS, AND KNOCKOUTS SHALL BE CLOSED WITH SUITABLE SNAP PLUGS OR FILLER PLATES.
- CONTRACTOR SHALL REMOVE AND DELIVER TO A PLACE DESIGNATED BY THE OWNER ALL EXISTING ELECTRICAL EQUIPMENT NO LONGER INTENDED FOR USE. THIS EQUIPMENT REMAINS THE PROPERTY OF THE OWNER.
- ANY EQUIPMENT, DEVICES, MATERIALS, ETC., THE OWNER ELECTS NOT TO RETAIN SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR OFF THE OWNER'S PREMISES.
- AT COMPLETION OF ALL ELECTRICAL WORK, UPDATE CIRCUIT DIRECTORIES IN PANELS AFFECTED BY NEW WORK WITH NEW TYPEWRITTEN CIRCUIT DESCRIPTIONS. CIRCUIT DIRECTORIES SHALL BE MOUNTED ON INSIDE OF FRONT PANEL COVER IN A CLEAR PLASTIC ENCLOSURE.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND IN ACCORDANCE WITH THEIR LISTING OR LABELING REQUIREMENTS. ANY PENETRATIONS THROUGH FIRE RATED ASSEMBLIES THAT ARE CREATED BY THE ELECTRICAL DEMOLITION, SHALL BE SEALED AND RESTORED IN ACCORDANCE WITH THE UL FIRE RESISTANCE DIRECTORY.
- WHERE CONDUIT AND/OR OUTLET BOXES INDICATED FOR DEMOLITION ARE EMBEDDED IN CONCRETE OR BELOW CONCRETE SLAB, ABANDON IN PLACE. CUT BACK AND SEAL EXPOSED CONDUIT. PROVIDE BLANK COVERS FOR ABANDONED BOXES. REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE.

ELECTRICAL ABBREVIATIONS

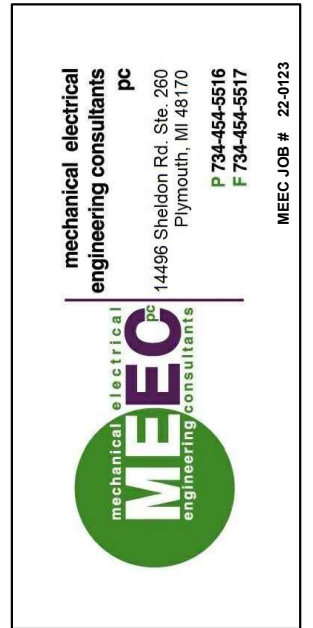
A.C.	ALTERNATING CURRENT
AC	ABOVE COUNTERTOP
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR TO CENTERLINE
AFG	ABOVE FINISHED GRADE TO CENTERLINE
BC	BLANK COVER PLATE
C	CONDUIT
CKT/CIRC	CIRCUIT
CTC	CURRENT TRANSFORMER CABINET
DP	DISTRIBUTION PANEL
(E)	EXISTING
(ER)	EXISTING RELOCATED
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
EWC	ELECTRIC WATER COOLER
FAAP	FIRE ALARM ANUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FURN	FURNACE
G/GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GRD	GROUNDED
IG	ISOLATED GROUND
MDP	MAIN DISTRIBUTION PANEL
NL	NIGHT LIGHT
PP	POWER PANEL
P/P	POWER POLE
RIO	ROUGHED-IN ONLY
RTU	ROOFTOP UNIT
(R)	RELOCATED
S	SURFACE MOUNTED
UC	UNDER COUNTER
UON	UNLESS OTHERWISE NOTED
WH	WATER HEATER
WP	WEATHERPROOF

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
E0.0	SYMBOL LIST AND GENERAL NOTES
E1.0	SITE PLAN - ELECTRICAL
SP-1	SPECIFICATIONS (DIVISION 01)
SP-2	ELECTRICAL SPECIFICATIONS

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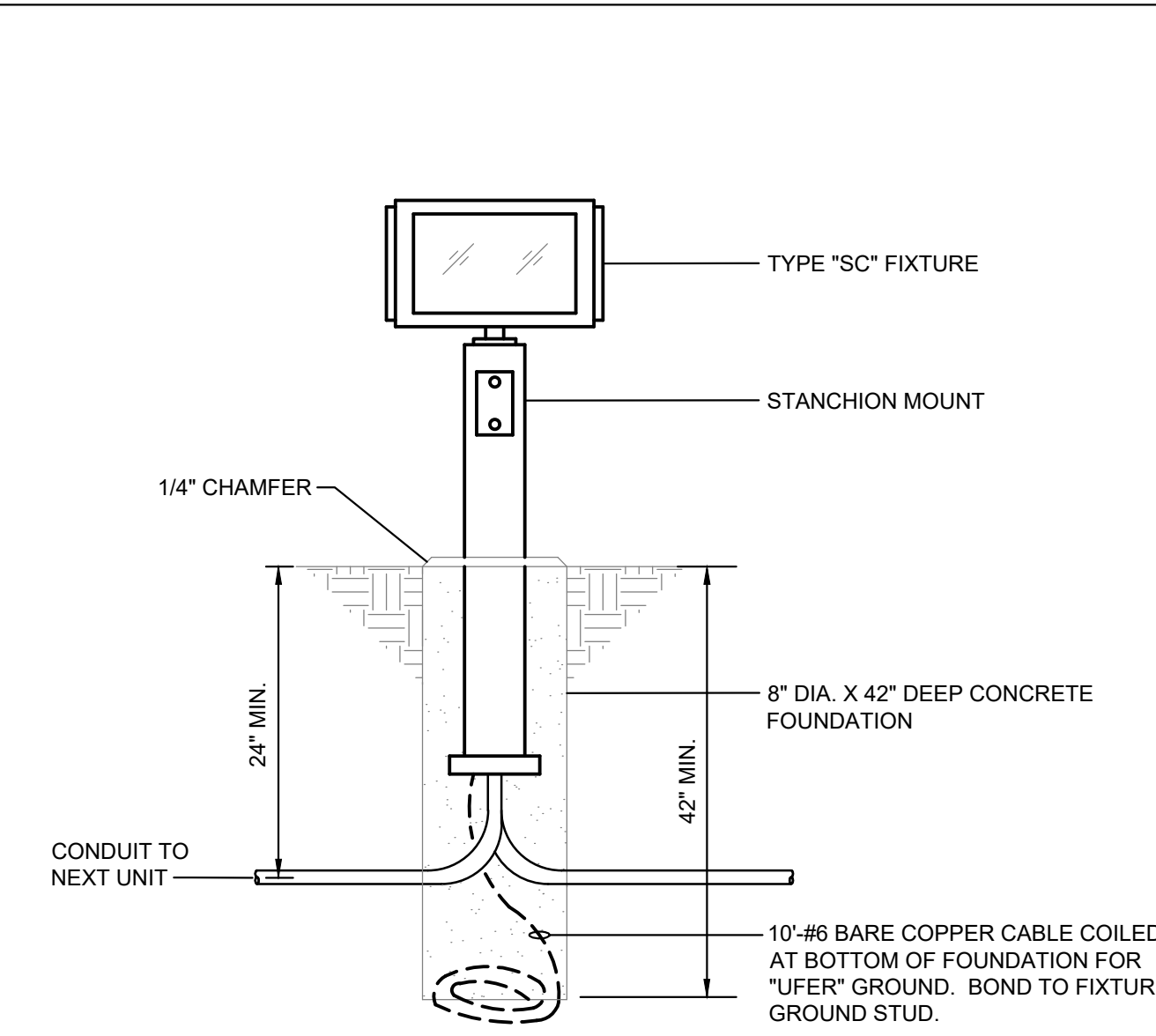
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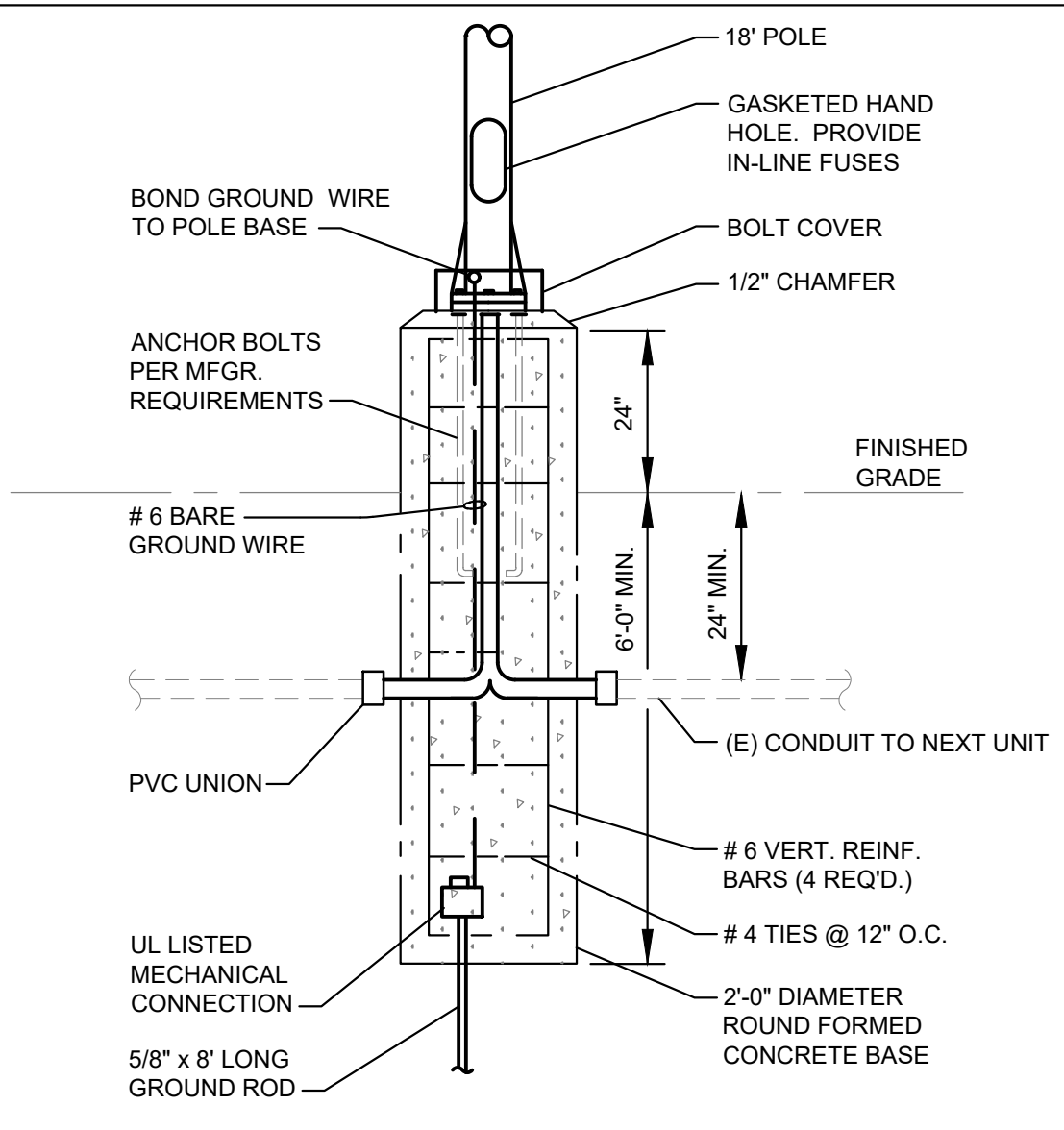
PERMITS & BIDS issued for
date
dr: ck'd: opp'd: 10/17/2022 date

LIGHTING REPLACEMENT for:
GENOA TOWNSHIP
GENOA TOWNSHIP, MICHIGAN
SYMBOL LIST & GENERAL NOTES

E0.0
22046

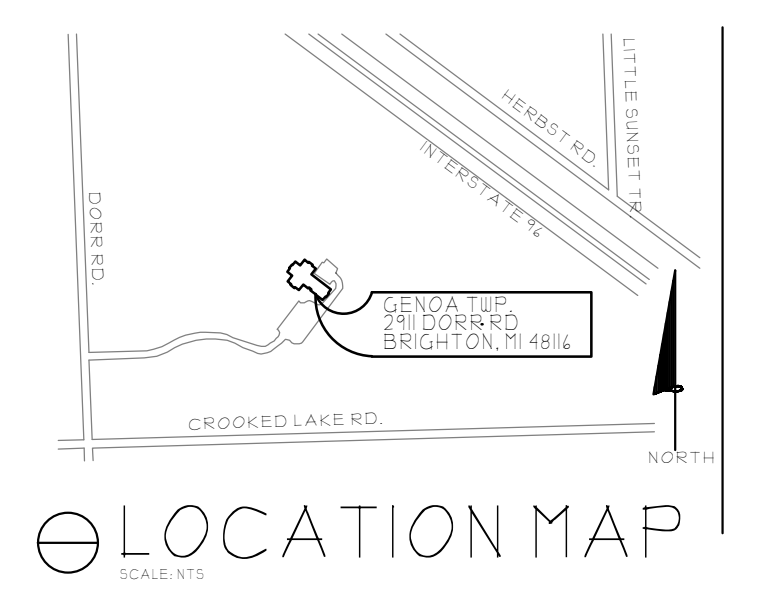


TYPE "SC" BASE MOUNTING DETAIL
N.T.S.



LIGHT POLE CONCRETE BASE DETAIL
N.T.S.

SITE LIGHTING FIXTURE SCHEDULE							
LABEL	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER	WATTAGE	NOTE
SA	4	LITHONIA LIGHTING	RADPT P5 35K ASY 208 PT4 PIRH POLE: RSS 18 4B PT	RADEAN POST-TOP WITH P5 3500K ASYMMETRIC DISTRIBUTION	15,081	123	FIXTURE TO BE MOUNTED AT 20' AFG. FIXTURE TO INCLUDE BI-LEVEL MOTION/AMBIENT SENSOR
SB	7	LITHONIA LIGHTING	RADPT P5 35K SYM 208 PT4 PIRH POLE: RSS 18 4B PT	RADEAN POST-TOP WITH P5 3500K SYMMETRIC DISTRIBUTION	15,971	123	FIXTURE TO BE MOUNTED AT 20' AFG. FIXTURE TO INCLUDE BI-LEVEL MOTION/AMBIENT SENSOR
SC	1	LITHONIA LIGHTING	DSXF3 LED 6 P2 30K 70CRI NSP MVOLT IS PE DB AFSTM	D-SERIES FLOODLIGHT SIZE 3 WITH 6 COBS P2 LUMEN PACKAGE 3000CCT 70CRI TYPE	15,917	169	NARROW SPOT WITH INTEGRAL PHOTOCELL AND STANCHION MOUNT
SD	1	LITHONIA LIGHTING	DSXF3 LED 6 P2 30K 70CRI NSP MVOLT YKC62 DB	D-SERIES FLOODLIGHT SIZE 3 WITH 6 COBS P2 LUMEN PACKAGE 3000CCT 70CRI TYPE	15,917	169	NARROW SPOT WITH YOKE MOUNT.
SE	2	LITHONIA LIGHTING	DSXF1 LED P2 30K HMF MVOLT PE DB YKC62	D-SERIES FLOODLIGHT SIZE 1 P2 LUMEN PACKAGE 3000CCT 70CRI TYPE	4,245	42	HORIZONTAL MEDIUM FLOOD YOKE MOUNT.
SF	5	LITHONIA LIGHTING	RADPT P4 35K ASY 208 PT4 PIRH POLE: RSS 18 4B PT	RADEAN POST-TOP WITH P5 3500K ASYMMETRIC DISTRIBUTION	10,732	86	FIXTURE TO BE MOUNTED AT 20' AFG. FIXTURE TO INCLUDE BI-LEVEL MOTION/AMBIENT SENSOR

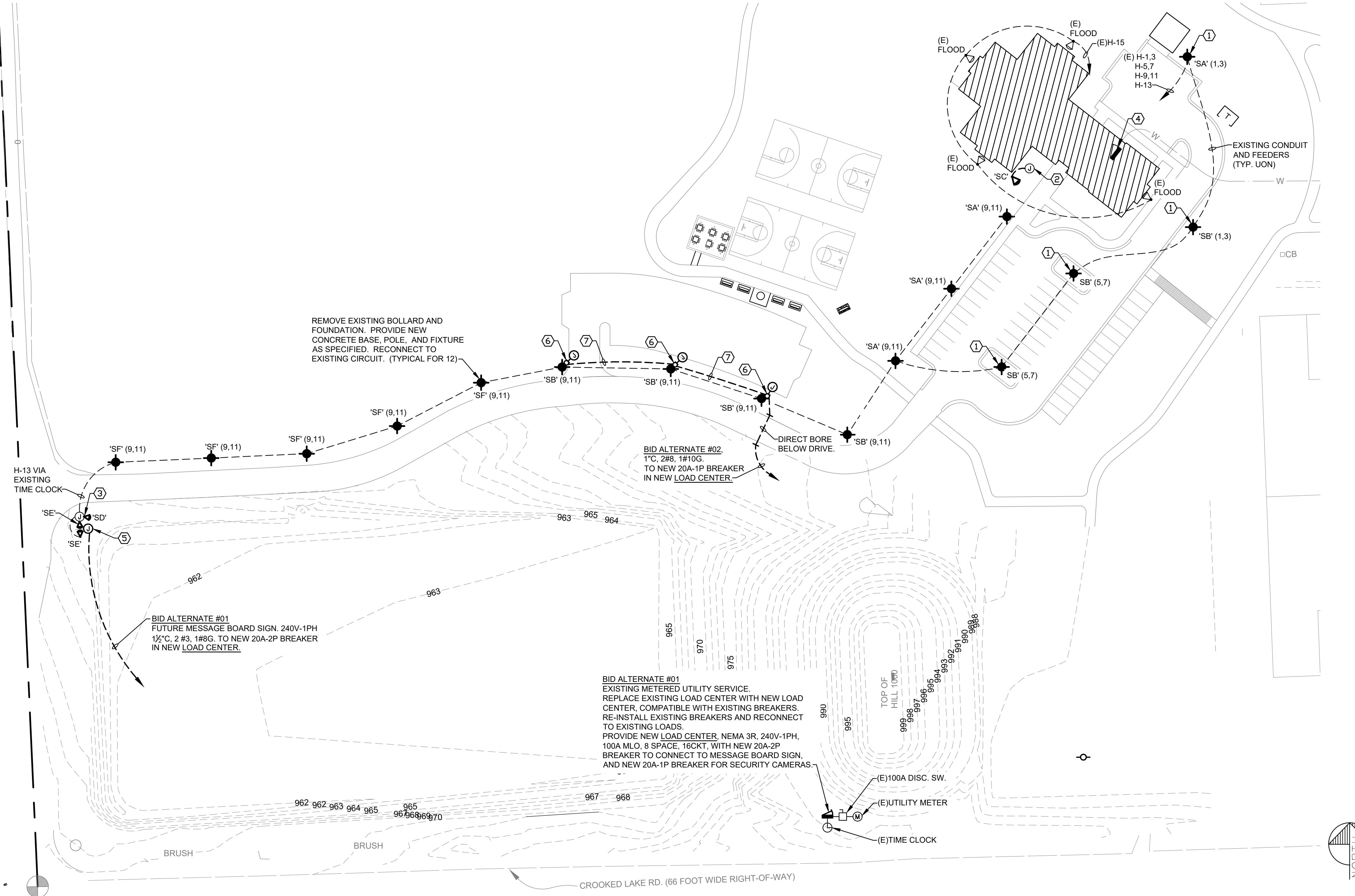


GENERAL NOTES:

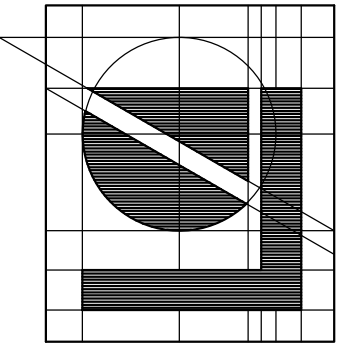
- REMOVE EXISTING SITE LIGHTING POLE CIRCUITS FROM THE TIME SWITCH CONTROLS (H-1.3, H-5.7, AND H-9.11). ALL NEW POLE MOUNTED FIXTURES TO BE CONTROLLED VIA INTEGRAL PHOTOCELL AND OCCUPANCY SENSORS FOR BI-LEVEL DIMMING.
- ALL EXISTING FLOOD LIGHTING, AND NEW FLOOD LIGHTING FIXTURES (TYPES 'SC', 'SD', AND 'SE') ARE TO REMAIN ON EXISTING TIME CLOCK CONTROLS. (H-13 AND H-15).

SHEET KEY NOTES: (H)

- EXISTING CONCRETE BASE TO REMAIN. REPLACE POLE AND FIXTURE AS SPECIFIED. DRILL AND EPOXY NEW ANCHOR BOLTS AS REQUIRED. RECONNECT TO EXISTING CIRCUIT.
- REMOVE EXISTING FLOOD LIGHT, AND EXTEND EXISTING CIRCUIT TO NEW FLOOD LIGHT LOCATION AS INDICATED. PROVIDE AND INSTALL NEW FIXTURE AS SPECIFIED.
- REPLACE EXISTING FLOOD LIGHTS, WITH NEW FIXTURES AS SPECIFIED, AT SAME LOCATION ON EXISTING CONCRETE FOUNDATION. RECONNECT TO EXISTING CIRCUIT.
- APPROXIMATE LOCATION OF EXISTING PANEL "H", LOCATED IN BASEMENT UTILITY ROOM.
- BID ALTERNATE #01, FUTURE MESSAGE BOARD SIGN, NEW WP GROUND MOUNTED J-BOX FOR CONNECTION TO FUTURE INTERNALLY LIT SIGN. COORDINATE EXACT LOCATION WITH SIGN SUPPLIER PRIOR TO INSTALLATION.
- BID ALTERNATE #02, SECURITY CAMERA WAYPOINT, PROVIDED BY OTHERS. ROUTE CONDUIT AND FEEDERS UP POLE TO WP SINGLE-GANG J-BOX, MOUNT AT 18' AFG. COIL WIRE FOR FUTURE CONNECTION, AND PROVIDE WP BLANK FACE PLATE.
- BID ALTERNATE #02, 2 #10, 1#10G.



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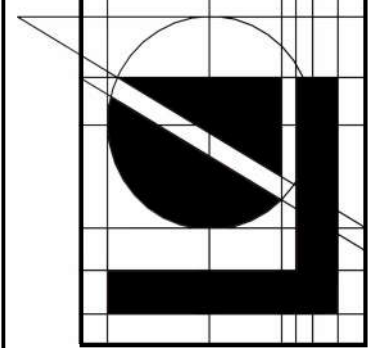
DIVISION IB	INSTRUCTION TO BIDDERS
<p>Proposal, to be entitled to consideration, must be made in accordance with the following instructions:</p> <p>01 Proposals shall be made on the forms with the contractor's letter head; numbers shall be stated both in writing and in figures; the signature shall be in long hand. The information on the proposal shall include, but not limited to the following: name of the project, the owner's name and address, the bid amount & alternate cost, contractor's name, address, telephone number and contact person, percentage fees for additional work, confirmation of addenda (if any) received, completion time and signature.</p> <p>02 Proposals shall not contain any recapitulation of the work to be done. No oral, telegraphic, or telephonic proposals or modifications will be considered.</p> <p>03 Proposals shall be received by the Owner, at Charter Township of Genoa, Manager's office, located at 2911 Dorr Road, Brighton, Michigan. Proposals shall be enclosed in an opaque sealed envelope and filed not later than 2:00 P.M., E.D.T., November 15, 2022.</p> <p>04 Should a bidder find discrepancies in, or omissions from the drawings or documents, or should he be in doubt as to their meaning, he should at once notify the Architect who will send a written instruction to all bidders. Neither the Architect nor the Owner will be responsible for any oral instructions.</p> <p>05 Before submitting a proposal, bidders should carefully examine the drawings and specifications, visit the site of the work, fully inform themselves as to all existing conditions and limitations under which they shall work and shall include in the proposal a sum to cover the cost of all items included in the contract.</p> <p>06 The competency and responsibility of bidders and of their proposed subcontractors will be considered in making the award. The Owner does not obligate himself to the lowest of any other bidder and reserves the right to reject any or all proposals, in whole or in part, and to waive any informalities therein.</p> <p>07 Any addenda issued during the time of bidding are to be covered in the proposal and in closing a contract they will become a part thereof. No addenda will be issued less than three (3) days prior to the due date of proposals.</p> <p>08 Each proposal must list in the allotted space any proposed substitutions for required base proposal material.</p> <p>09 The term General Contractor, Contractor and bidder all refer to the Electrical Contractor who will be bidding as the prime contractor for this project.</p>	
	BID BOND
01	Every person, firm or corporation submitting a proposal shall be required to furnish with such bid, a certified check or bid bond which shall be forfeited to the Charter Township of Genoa in case of failure of the bidder to sign a contract within fifteen days after the award of contract to him. The certified check or bond shall be in the amount of 5% of the bid amount.
	SURETY BONDS
01	Accepted bidders will be required to furnish two surety bonds, each made out in the form consistent with that supplied by the AIA, document A312, as follows: <ul style="list-style-type: none"> a. A payment bond for the full amount of the contract running to the people of the State of Michigan Guaranteeing the payment of all subcontractors and all indebtedness incurred for labor, materials, or any cause whatsoever on account of this contractor in accordance with the laws of the State of Michigan relating to such bonds. b. A material and labor bond for the full amount of the contract running to the Charter Township of Genoa, to guarantee and insure the completion of the work according to the contract.
DIVISION 01A	GENERAL REQUIREMENTS
01	The common practices and industry standards associated with Commercial Construction are to be followed for the work described herein.
02	The specific recommendations of all product manufacturers in regards to material handling, installation, and initial operation are to be included within the performance requirements of this contract by reference. All suppliers and contractors who wish to deviate from the industry and material manufacturers requirements for commercial applications must notify the Owner or Architect prior to bidding the work. If no notice is given, all standards and recommendations must be followed for this project.
03	Where no material specification is given, suppliers and sub-contractors shall assume commercial grade products intended for the application shown.
	ARTICLE 15 DRAWINGS AND SPECIFICATIONS
a.	The drawings and specifications are complementary, and what is called for by one is binding as if called for by the other. Any discrepancy should be noted to the architect immediately. When unable to contact the architect for any reason, the contractor must assume the higher quality, most restrictive of the two.
	ARTICLE 16 INSURANCE
16.1 CONTRACTORS LIABILITY INSURANCE	
16.1.1	The Contractor shall purchase from and maintain in a company or companies lawfully authorized to do business in the jurisdiction in which the Project is located, such insurance as will protect the contractor from claims set forth below which may arise out of or result from the Contractor's operations under the Contract, and for which the Contractor may be legally liable, whether such operations be by the Contractor or by a Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts and of them may be liable: <ol style="list-style-type: none"> 1. claims under workers' or workmen's compensation, disability benefit and other similar employee benefit acts which are applicable to the Work to be performed; 2. claims for damages because of bodily injury, occupational sickness or disease, or death of the Contractor's employees; 3. claims for damages because of bodily injury, sickness or disease, or death of any person other than the Contractor's employees; 4. claims for damages insured by usual personal injury liability coverage which are sustained (1) by a person as a result of an offense directly or indirectly related to employment of such person by the Contractor, or (2) by another person; 5. claims for damages, other than to the Work itself, because of injury to or destruction of tangible property, including loss of use resulting therefrom; 6. claims for damages because of bodily injury, death of a person or property damage arising out of ownership, maintenance or use of any motor vehicle; and 7. claims involving contractual liability insurance applicable to the Contractor's obligations, under Paragraph 3.18.
16.1.2	The insurance required by Subparagraph 16.1.1 shall be written for not less than the limits of liability specified in the Contract Documents, or required by law, whichever coverage is greater. Coverage, whether written on an occurrence or claims-made basis, shall be maintained without interruption from date of commencement of the Work until date of final payment and termination of any coverage required to be maintained after final payment. Notwithstanding the above, the insurance required by paragraph 16.1 shall be on an occurrence basis.
16.1.2.1	Such insurance shall be written to include the following coverage and for not less than the following minimum limits or greater if required by law: <ol style="list-style-type: none"> 1 Worker's Compensation, Occupational Disease and Employer's Liability Insurance: <ul style="list-style-type: none"> A. State of Michigan - Statutory Limits B. Applicable Federal (if any) - Statutory limits. C. Employer's Liability - Bodily injury by Accident - \$1,000,000 each accident

	Bodily Injury by Disease - \$1,000,000 each employee Bodily Injury by Disease - \$1,000,000 each policy limit
2.	Commercial General Liability Insurance including as minimum coverage: <ul style="list-style-type: none"> - Premises - Operations Liability - Independent Contractor's Protective Liability - Broad Form Property Damage Endorsement - Blank Contractual - Personal Injury, with Employment Exclusion deleted
A.	Special Requirements: <ol style="list-style-type: none"> 1. Property Damage Liability Insurance will provide "X, C, and U" (Explosion, collapse and underground hazard) coverage as applicable. 2. Products and Completed Operation to be maintained for 1 year after final payment. 3. The owner, architect, their consultants, agents and employees, shall be named as: additional insured's on the commercial general liability policy of the general contractor and/or subcontractor of any tier.
B.	Limits of Liability: <ul style="list-style-type: none"> \$1,000,000 Each Occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined. \$1,000,000 General Aggregate \$1,000,000 Products/Completed Operations Aggregate \$1,000,000 Personal and Advertising Injury
3.	Automobile Liability Insurance*: <ul style="list-style-type: none"> A. Special Requirements: <ol style="list-style-type: none"> 1. All owned, hired, and non-owned vehicles including the loading or unloading thereof. 2. The owner, architect, their consultants, agents and employees, shall be named as "additional insured's" on the commercial automobile liability policy of the general contractor and/or subcontractor of any tier. B. Limits of Liability <ul style="list-style-type: none"> \$1,000,000 Each occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined.
4.	Owner's and Architect's Protective Liability Insurance: <p>The Contractor will furnish and maintain during the entire period of construction an Owner's Protective Liability Policy written in the name of the owner, architect, and architect's consultants, with the following limits of liability:</p> <ul style="list-style-type: none"> Limits of Liability: <ul style="list-style-type: none"> \$1,000,000 Each occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined. \$1,000,000 General Aggregate
16.1.3	Certificates of Insurance for the above coverage and the Owner's Protective Policy shall be submitted to the Architect for transmittal to the Owner for his approval prior to the start of construction. The Contractor shall certify to the Owner that he has obtained or will obtain similar certificates of insurance from each of his Subcontractors before their work commences. Each Subcontractor must be covered by insurance of the same character and in the same amounts as the Contractor unless the Contractor and the Owner agree that a reduced coverage is adequate. Each Subcontractor's insurance shall cover the Owner, Architect, their agents and employees. The Contractor shall submit a statement with each monthly affidavit stating that he has obtained certificates of insurance, or other satisfactory evidence, that all required insurance is in force for each of the Subcontractors listed on his affidavit. If the "additional insured" have other insurance which is applicable to the loss, it shall be on an excess or contingent basis. The amount of the company's liability under this policy shall not be reduced by the existence of such other insurance Contractor certificates shall be in duplicate on standard AOC forms.
16.1.3.1	Certificate of insurance shall contain a statement therein or a rider attached thereto incorporating the indemnity clause stated in Paragraph 3.18 (Indemnification) and Subparagraphs 3.18.1, 3.18.1.1, 3.18.2 and 3.18.3 of the General Conditions, and including the changes and addition made in those subparagraphs within these Supplemental General Conditions.
16.1.3.2	These Certificates and the insurance policies required by this Paragraph 16.1 shall contain a provision that coverage afforded under the policies will not be canceled or allowed to expire until at least thirty (30) days prior written notice has been given to the Owner and Architect. If any of the foregoing insurance coverage is required to remain in force after final payment and are reasonably available, an additional certificate evidencing continuation of such coverage shall be submitted with the final Application for Payment as required by Subparagraph 9.10.2. Information concerning reduction of coverage shall be furnished by the Contractor with reasonable promptness in accordance with the Contractor's information and belief.
16.1.3.3	The obligations of the Contractor under the provisions of this article shall not extend to the liability of the Architect, his agents or employees arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs, or specifications, or (2) the giving of or the failure to give directions or instructions by the Architect, his agents or employees to the extent that such giving or failure to give is the cause of the injury or damage.
16.2 OWNER'S INSURANCE	
16.2.1	The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance and builders risk coverage.
16.2.2	Unless otherwise provided, the Owner shall purchase property insurance in the amount of the initial Contract Sum. Property insurance provided by Owners shall not cover any construction equipment, which may be on the site and the capital value of which is not included in the Work.
16.4 PERFORMANCE BOND AND PAYMENT BOND	
16.4.1	The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment of obligations arising there under as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.
16.4.2	Upon the request of any person or entity appearing to be a potential beneficiary of bonds, covering payment of obligations arising under the Contract, the Contractor shall promptly furnish a copy of the bonds or shall permit a copy to be made.
16.4.3	When required by the Owner the Contractor, before commencing the Work, shall furnish a Performance Bond and a Labor and Material Payment Bond. The Performance Bond shall be in an amount equal to one hundred percent (100%) of the full amount of the Contract Sum as security for the faithful performance of the obligations of the Contract Documents, and the Labor and Material Payment Bond shall be in an amount to equal to one hundred percent (100%) percent of the full amount of the Contract Sum as Security for the payment of all persons performing labor and furnishing materials in connection with the Contract Documents. Such bond shall be on A.I.A. Document A-312, issued by the American Institute of Architects, shall be issued by a surety satisfactory to the Owner and shall name the Owner as primary co-oblige.

SECTION 01B	SPECIAL CONDITIONS
ARTICLE 1S	TIME OF COMPLETION
01	The contract involves the construction described herein and requires completion in the least time consistent with good construction practices.
ARTICLE 2S	EXAMINATION OF SITE
01	The General Contractor and those sub-contractors specifically involved shall be held to have examined the site and have informed themselves of the conditions under which they must work. They shall make due allowance for the conditions that are reasonably apparent in their proposal.
ARTICLE 3S	LAYING OUT WORK
01	The General Contractor shall inform the Sub-Contractors as to responsibilities for lay out of the work and provide the assistance of a competent surveyor for the work if required by the sub-contractor.
ARTICLE 4S	TEMPORARY UTILITIES
01	The General Contractor shall coordinate and pay for all water and electricity used during construction. If the project is an addition to an existing structure, and the Owner allows, water and electricity shall be available through Owners existing building on site. Owner shall bear cost of metered power and water when accessed through existing building.
ARTICLE 5S	TEMPORARY TOILETS
01	The General Contractor shall provide temporary toilet facilities in an inconspicuous location on the site to satisfy City and County Health Officials, unless Owner allow use of existing toilets where applicable.
ARTICLE 6S	COLD WEATHER PROTECTION
01	All heating required by Contractors during construction prior to temporary operation of the permanent heating system shall be classified as "Cold Weather Protection". Such heat shall be furnished by each contractor requiring same. Heating units must be of approved types, and equipment and surroundings shall be kept in a clean and safe condition. The General Contractor shall provide all heating needed for general building heating after enclosure. All direct fired space heaters shall be vented directly to the outside.
ARTICLE 7S	TEMPORARY HEAT
ARTICLE 8S	SHOP DRAWINGS
01	All shop drawings shall be examined by the General Contractor for coordination with other trades and general conformity to contract documents before submission to the Architect for the Architects review and shall bear the signature of the party so doing. The architect shall retain one copy, all other will be returned.
02	Corrections or comments made on the shop drawings during their review do not relieve the contractor from compliance with requirements of the drawings and specifications. This check is only for review of the general conformance with the design concept of the project and general compliance with the information given in the contract documents. The contractor is responsible for: <ul style="list-style-type: none"> - Confirming and correlating all quantities and dimensions. - Selecting fabrication processes and techniques of construction. - Coordinating his or her work with that of all other trades and performing all work in a safe and satisfactory manner.
03	Architects review of Shop Drawings shall not be construed to relieve supplier of any obligations set forth in the original contract documents. Specific reference shall be made on the Shop Drawings of any contradictions of the original documents and specific acceptance of that contradiction must be made on the drawings by the Architect.
ARTICLE 9S	CLOSE OUT AND GUARANTEES
At the completion of the Contract and prior to final payment: <ol style="list-style-type: none"> a. The General Contractor and sub-contractors shall give to the Owner a written guarantee that they will make good at their own expense any defects in material or workmanship, not due to ordinary wear or improper use, which may develop within one (1) year from the date of acceptance of the work unless otherwise stated in the specifications. b. The Owner shall be furnished with the following as it may apply to the project and as called for in the specifications: <ol style="list-style-type: none"> 1. Owner's manuals for operation and maintenance of equipment furnished under the Architectural trades. 2. Owner's manuals for operation and maintenance for equipment furnished under the Mechanical contract; test reports of system balancing. 3. Owner's manuals for operation and maintenance for equipment furnished under the Electrical contract; a complete brochure of lighting fixtures and lamps furnished; an as-built drawing of the electrical installation as described in the specifications. 4. Any manufacturer certification and warranty for single ply roofing required beyond the normal two-year roofing guarantee. 5. List of sub-contractors employed on the project, including addresses, phone and fax numbers. 6. As built drawing of irrigation system. 7. Final Certificate of Occupancy. 	
ARTICLE 10S	PROGRESS SCHEDULES
01	At the time of signing of the contract, the General Contractor, in co-operation with his sub-contractors, shall furnish a schedule giving the time of starting and finishing of each trade involved.
ARTICLE 11S	TEMPORARY PROTECTION
01	The General Contractor shall assume responsibility for the building, site and immediately adjacent areas, providing protection to meet the governing laws for worker and by-stander safety.
02	He shall provide suitable temporary walks, fences, enclosures, to maintain unobstructed areas for pedestrians, vehicles, fire protection equipment, etc., including temporary exit access and enclosures. All damage to existing walks, drives and landscaped areas traversed by construction vehicles shall be made good by the General Contractor.
ARTICLE 12S	OWNER'S USE OF SITE
01	The Owner will maintain normal operation on any existing building and site during the construction period. The various contractors shall take all possible precautions to minimize interference with the operations.
ARTICLE 13S	OTHER CONTRACTORS
01	The contractor or contractors for this work shall at all times allow the Owner and any other contractors and their employees to be in the building or about the premises undisturbed as may be required in the execution of other portions of the building work, and installation of equipment, etc.
ARTICLE 14S	AWARD OF SUBCONTRACTS
01	The award of subcontracts shall be subject to the right of rejection by the Owner and the Architect of any individual sub-contractor. All contracts made by the General Contractor with sub-contractors shall be covered by the terms and conditions of the prime contract.
ARTICLE 15S	PERMITS
01	The General Contractor shall apply and pay, where necessary, for all required building and land use permits; all required plan review fees; and all inspections; in addition to any other required permits.
02	The mechanical and electrical contractors shall apply and pay for their respective permits, any required plan review fees, and all inspection fees. They shall call for all inspections and comply with all requirements.
03	The General Contractor, sub-contractors and their suppliers shall comply with Michigan Building Code Section 1704 Special Inspections, as it may be applied to the project by the

local Building Authority for inspections and certifications.	
ARTICLE 16S	LOCAL BONDING REQUIREMENTS
01	The General Contractor shall post a cash bond, if required, with the State, City and/or County in the amount determined by the Department of Public Works. Bond shall be against any damage done on streets, curbs, sidewalks, etc., in right-of-way.
ARTICLE 17S	GAS SERVICE
DELETE	
ARTICLE 18S	SOIL EROSION PERMIT
01	General Contractor shall apply and pay for required soil erosion permit as called for by local regulatory agency.
ARTICLE 19S	SAFETY RULES
01	All contractors and their employees shall comply with applicable requirements of "General Safety Rules and Regulations for the Construction Industry", as promulgated by the Construction Safety Commission of the State of Michigan including all amendments. General Contractor and all sub-contractors shall become familiar with and comply with the "Safety and Health Regulation for Construction" as promulgated by the Occupational Safety and Health Administrator of the U.S. Department of Labor.
ARTICLE 20S	CONNECTION CHARGES
DELETE	
ARTICLE 21S	OWNER'S CONTINGENCY FUND
01	The General Contractor shall include in his proposal a sum of Five Thousand Dollars & Zero Cents (\$5,000.00) for an Owner's Contingency Fund.
02	The Contingency Fund shall be charged for unexpected field conditions and items of errors and omissions in the drawings and specifications.
03	The General Contractor shall be responsible for his own contingency allowance for default of, and errors of, sub trades as necessary to complete the intended scope of the work.
04	Overhead and profit on this sum shall be considered included in Base Proposal.
05	Unused portion of the Owner's Contingency Fund will be credited to Owner on Final Payment.
06	Significant changes in the work required by the Owner will be covered by Change Orders.
DIVISION 01C	ALTERNATE
01	In addition to the Base Proposal, each Bidder shall submit Alternate Proposals as follows: <ol style="list-style-type: none"> 1. Alternate No. 1 – DEDUCT for the deletion of new 240 volt circuit for the future message board sign. 2. Alternate No. 2 - DEDUCT for the deletion of the 120 volt circuit for future security cameras.
ALTERNATE NO. 1 DIVISION 1B	
01	The intent of this alternate is to obtain the deductive costs for the deletion of the new circuit and conduit for the future message board sign as shown on drawing Sh. E1.0. See drawing note 05
02	The following considerations shall be made in quoting on the Alternate: <ol style="list-style-type: none"> a. Proposed lighting replacements shall remain in the contract for that area
03	The work under this alternate shall be done in accordance with the base proposal specifications
ALTERNATE NO. 2 DIVISION 1B	
01	The intent of this alternate is to obtain the deductive costs for the deletion of the new circuit, & conduit for future security cameras as shown on drawing Sh. E1.0. See drawing notes #06 & 07.
02	The following considerations shall be made in quoting on the Alternate: <ol style="list-style-type: none"> a. Junction boxes mounted 18'-0" shall remain in the 3 light poles (Note #6).
03	The work under this alternate shall be done in accordance with the base proposal specifications
DIVISION 02	SITework
ORDINANCES, PERMITS, AND INSPECTIONS	
01	The Contractor shall observe all ordinances, rules, and regulations of municipal, county, state and federal departments and agencies. He shall obtain and pay for all permits, bonds, and licenses necessary for the execution of this contract.
02	The Contractor shall make arrangements for such inspection that the Local Authorities or other agencies may require. The cost of such inspection will be borne by the Contractor.
EROSION AND SEDIMENTATION CONTROLS	
01	The Contractor shall comply with the local Drain Commission authority requirements for soil erosion and sedimentation control. The cost of such erosion measures shall be incidental to the cost of construction work and shall be included in the prices bid. Fee shall be paid by the General Contractor.
EXCAVATING AND GRADING	
01	Excavate to levels indicated on the drawings for footings, foundation. The bottom of all excavations shall be reasonably clear of loose or surplus material and must be approved by the Architect prior to pouring of concrete or laying pipe. Provide all necessary shoring, boxes, bracing, sheeting, etc. to protect sides of embankments until backfill has been placed.
FILLING AND BACKFILLING	
01	Exterior: Excavated material will be permitted for Backfilling at exterior of foundation if it is kept free of construction debris, roots, etc. Fill shall be placed in 12 inch lifts and compacted to provide minimum settlement.
02	Seasonal limits: No fill material shall be placed, spread or compacted while it is frozen or thawing or during unfavorable weather conditions. When the work is interrupted by heavy rain, filling operations shall not be resumed until the moisture content and density of the previously placed fill are as specified.
DISPOSAL OF EXCAVATED MATERIALS	
01	The Contractor shall be required to legally dispose of all excess excavated materials, trash, debris and waste materials at his own expense.
02	Excavated clay, rubble, brush, organic matter, etc., shall be removed from site by this contractor at his expense.
FINAL CLEANUP AND ACCEPTANCE OF THE WORK	
01	Following the completion of the work, the Contractor shall clean the entire area of any debris and/or excess or misplaced material due to his operation and obtain Architect's approval of the finished work.
RESTORATION	
01	Any disturbed areas shall be restored to lawn area. Where not specifically shown the area shall be restored in the following manner: <ol style="list-style-type: none"> a. Spread topsoil (4" min.) over properly placed back fill and rake smooth b. Hydroseed disturbed areas.

DIVISION 03	CONCRETE					
GENERAL						
01 All concrete work shall be detailed and constructed in accordance with the latest specifications of the American Concrete Institute and Concrete Reinforcing Steel Institute and all materials shall conform to current standard specifications of the ASTM as may apply to the work and respective materials.						
MATERIALS						
01 <u>Cement</u> : Shall be Portland Cement (ASTM C-150 Type 1) of American Manufacturer.						
02 <u>Aggregate</u> : All aggregate shall conform to ASTM C-33 Specifications for Concrete Aggregate. Maximum aggregate size shall not exceed 3/4 of clear space between reinforcing bars or 1/5 minimum thickness of formed slabs.						
03 <u>Combined Aggregate</u> : Shall be of such composition as to permit between 30% and 50% to pass through a No. 4 sieve.						
04 <u>Water</u> : Shall be suitable for drinking purposes.						
05 <u>Reinforcing Steel</u> : Shall be ASTM A-615 specifications for deformed billet steel for concrete reinforcement (Fy=60,000 PSI).						
06 <u>Reinforcing Mesh</u> : Shall be ASTM A-185 specification for wire mesh having a rigid connection of intersecting wires. Gauge of wires and spacing is shown on drawings.						
07 <u>Concrete</u> : Limits for proportions of concrete made with average materials are indicated in the following table. Trial mixtures shall establish exact proportions for all materials to be used within the limits of the table.						
CLASS OF CONCRETE	MINIMUM 28 DAY STRENGTH (PSI)	MAX. W/ C RATIO LBS. HOHL/ LB. CEMENT	NOM. AGGR. SIZE	MINIMUM CEMENT CONTENT PER CUBIC YARDS* WEIGHT	SLUMP	AIR CONT %
STANDARD EXPOSED CONCRETE	4500	0.49	3/4" 1-1/2"	6-1/2 5-3/4	611 541	3" 4"
STANDARD FLOOR CONCRETE**	4000	0.58	3/4" 1-1/2"	6 5-1/2	564 517	3" 4-1/4
STANDARD FOUNDATION CONCRETE	3500	0.66	3/4" 1-1/2"	5-1/2 5-1/4	517 494	3" 2 1
STANDARD CONCRETE TOPPING	3500	0.66	3/8" pea gravel	6	564	4" 1 2
* Cement content may be reduced by 1/2 bag per cu. yd. for unreinforced mass concrete.						
** Omit air entraining agent in hardened slabs.						
Additional design mixes by the supplier that meet the above performance requirements are permitted pending proper documentation and submission for Architect's approval prior to bid due date.						
08 <u>Admixtures</u> : For air entraining and water-reducing shall be as manufactured by W.R. Grace Co. or Master Builders, and employed in strict accordance with the manufacturers recommendations (ASTM C260 & ASTM C494, Type A). Air content in air entrained concrete delivered shall be +/- 1-1/2 percent. Non-corrosive, non-chloride accelerator shall be "Accelguard" by The Euclid Chemical Co. (ASTM C494, Type C or E). No admixtures containing chloride ions are permitted. No fly ash permitted.						
09 <u>Expansion Joint Material</u> : Carey Elastite or equivalent conforming to ASTM D-1752 for interior work and ASTM D1751 for exterior work.						
10 <u>Curing Compound</u> : ChemRex "Masterkure N-Seal VOC" or Sonneborn "Kure-N-Seal, Euclid Chemical "Diamond Clear VOX" or Dayton Superior "Safe Cure & Seal" (J-18).						
11 <u>Non-Shrink Grout</u> : ChemRex "Masterflow 928" or "SonogROUT" 10K, grout.						
12 <u>Hardner</u> : ChemRex "LapidoIith".						



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CONSULTANT
ISSUED FOR
BIDDING & PERMITS
10-20-22
date

APP'D:
C.E.C.
DR: MOJ

LIGHTING REPLACEMENT FOR:
GENOA TOWNSHIP
GENOA TOWNSHIP, MICHIGAN
PROJECT SPECIFICATIONS
SP1
22046

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DIVISION 16 ELECTRICAL

GENERAL CONDITIONS

Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specifications sections, apply to work of this section. The Electrical Contractor shall assume all obligations contained therein that affect his work. The Electrical Engineer shall be consulted in case of any disputes and his decision shall be final.

The Electrical Contractor shall examine the Architectural, Plumbing and Mechanical Drawings and Specifications and shall familiarize himself with all conditions of work affecting the contract. Size and capacity of all equipment shall be as on plans or as indicated herein.

Furnish labor and materials to provide a complete electrical system as required by the plans and specifications.

Any item appearing on the drawings and not in the specification or vice versa, and any items appearing in neither but necessary to accomplish the intent of these specifications, shall be furnished by the Electrical Contractor.

Where equipment specifications or descriptions include a specific manufacturer and catalog number, any substituted equipment or equipment proposed to be provided by an alternative manufacturer shall functionally meet, or exceed, the requirements of the specified equipment in all respects. Alternate manufacturers shall refer to product literature published by the manufacturer of the equipment specified to determine equivalency of their proposed alternate product to that specified.

WORK INCLUDED

These specifications and accompanying drawings contemplate the provisions by the Electrical Contractor of all labor and materials required to install a complete system of electrical work as indicated on the drawings and/or herein specified. Without restricting the generality of the foregoing, the following shall be included:

Modifications to existing panelboards.

Feeders, breakers, branch circuit wiring, outlets, and connection complete.

Service and connections of equipment as specified.

Lighting fixtures complete with lamps.

ELECTRICAL SUBMITTALS

Refer to the Conditions of the Contract (General and Supplementary) and Division 1 Section: SHOP DRAWINGS, PRODUCT DATA AND SAMPLES for submittal definitions, requirements, and procedures.

Submittal of shop drawings, product data and samples will be accepted only when submitted by The Contractor. Data submitted when subcontractors and material suppliers directly to the Architect/Engineer will not be processed.

When some errors in the shop drawings are detected and others are overlooked, this does not grant the contractor permission to proceed in error. Regardless of any information contained in the shop drawings the requirements for the drawings and specifications must be followed and are not waived or superseded 1 any way by the shop drawing review.

The Electrical Contractor shall be responsible for final coordination of all electrical feeders and over current protection devices (circuit breaker and/or fuses) with the manufacturers written data for each mechanical device prior to submittal of any electrical equipment for review. No additional compensation will be allowed for any changes to electrical feeders or over current protection devices required for any mechanical devices.

SUBSTITUTIONS

Alternate manufacturers electrical equipment shall be similar in performance, physical appearance, and construction to be considered as equal to equipment specified.

Alternate manufacturers electrical equipment proposed to be substituted by bidding contractor must be pre-approved during bidding. Contractor, or equipment representative shall fax all such requests with equipment cuts to Engineer at least one week prior to submitting bids. Engineer will review to proposed alternate equipment and issue a written acceptance or denial by email. VERBAL APPROVAL WILL NOT BE ACCEPTABLE.

All equipment shop drawings, fixture cuts, etc., submitted after award of contract for electrical equipment which was not pre-approved will be rejected.

In the event substitutions are proposed to the Engineer after the contract has been awarded, the Engineer will record all time used by him in evaluation of each proposed substitution.

Whether or not the Engineer approves the proposed substitution, the Contractor agrees to promptly upon receipt of the Engineer's billing, reimburse the Engineer at the rate of two and three-quarter times the direct cost to the Engineer for all time spent by him in the evaluation of the proposed substitution.

REGULATIONS

All work shall be installed in accordance with the local electrical code, the requirements of the local utility companies and the requirements and recommendations of the National Electrical Code.

Where Conflict exists between codes or utility company requirements and contract documents, the more stringent shall apply.

The installation of telephone service entrance conduit systems shall be as shown and shall comply with the requirements of the local telephone company. Contractor shall verify the exact point of service with the telephone company representative before commencing with the installation of the service entrance conduits.

STANDARDS OF MATERIAL AND WORKMANSHIP

All work shall be done at such times and in such a manner as will least interfere with the maintenance and operation of all related or affected systems.

All materials and equipment shall bear the label of approved of the National Board of Fire Underwriter's Laboratories.

The Electrical Contractor shall effectively protect, at his own expense, such of his work, materials or equipment as is liable to injury during the construction period.

All openings into any part of the conduit system as well as associated fixtures, equipment, etc., both before and after being set in place, must be securely covered, or otherwise protected to prevent obstruction of the conduit, r injury due to carelessness or maliciously dropped tools or materials, grit, dirt or any foreign matter. The Electrical Contractor shall be held responsible for all damage so done until his work is fully and finally accepted. Conduit ends shall be covered with capped bushings. All electrical equipment shall be grounded.

It is not intended that the drawings or this specification indicate or specify each piece of conduit, fittings, etc., required for installation. Where items are required for the satisfactory operation of the installation and are not indicated on the drawings, they shall be considered to be both specified and indicated.

General requirements and details of equipment are shown. Dimensions or scales shown are approximate and must be checked at job prior to installation of equipment or any other order given for fabrication.

Electrical Contractor shall have competent foreman on the premises at all times to superintend and check and lay out all work, give information to General Contractor regarding chases and openings, and be responsible for such locations. This Contractor shall cooperate with other contractors where chases, openings, pipes, foundations, etc., are in proximity to the work of other trades and arrange the work to fit. This Contractor shall study where other trades leave connections and outlets to be connected, so that all work and appliances shall be properly arranged for and connected ready for

use.

PARTS RECEIPT

Retain all portable and detachable portions of the installation such as keys, tools, manuals, etc., until the completion of the work and then turn over to the Owner and obtain itemized receipts. These receipts shall be attached to the "Final Application" for payment.

INSPECTION OF SITE

The contractor shall visit the site and verify the conditions under which his work must be conducted before submitting his proposal. The submitting of a proposal implies that the Contractor has visited the site, is conversant with all site conditions, including existing services and equipment, obstructions and all conditions, which will be encountered in the removal and/or relocation of present materials and equipment, installation of new materials and cutting and patching, etc., for a complete installation. If any interferences or violations appear and departure from the design intent of the bid documents is required, the contractor shall notify the Architect prior to entering into contract with the Owner. Failure to provide the Architect with the aforementioned notification will result in the contractor being held responsible to complete all work to meet the design intent of the bid documents with no additional expenses being incurred by the Owner, Architect or Engineer.

INSPECTION, TESTING AND START-UP

Scope:

Intent: The intent of the inspection, testing and check-out work specified herein, or required, is to ensure that all electrical workmanship and equipment, whether Owner furnished or Contractor furnished, is installed and performs in accordance with the design specifications, drawings, manufacturer's instructions and all applicable codes and requirements. Also, it is intended to provide, insure or to determine the following:

If the equipment or installation has been subjected to damage during shipment or installation.

If the equipment is in accordance with the purchase orders and specifications.

Provide initial acceptance tests and recorded data that can be used as a bench mark for future routine maintenance and troubleshooting by Owner's maintenance forces.

Insure a successful start-up with a minimum of last minute interruptions and problems.

Determine the suitability of the equipment and systems for energization and placing into operating service.

Provide assurance that each system component is not only installed satisfactorily but performs, and will continue to perform, its function in the system with reasonable reliability throughout the life of the project.

Contractor Responsibility: The contractor shall provide all necessary labor, materials, tools, test instruments or other equipment or service and expenses required to inspect, test, adjust, set, calibrate, functionally and operationally check all work and components of the various electrical systems circuitry shall include the installation.

CHARACTER OF MATERIALS AND EQUIPMENT

All materials and equipment shall be new and conform to standards, specified herein, defined to include conduits, cable, wiring materials and devices, etc.

All materials and equipment shall be of an approved design. Similar material shall be of one manufacturer wherever possible.

All equipment offered under these specifications shall be limited to products regularly produced and recommended for service ratings in accordance with manufacturer's catalogs, engineering data or other comprehensive literature made available to the public and in effect at the time of opening bids.

Equipment shall be installed in strict accordance with manufacturer's instructions for type, capacity and suitability of each piece of equipment used.

The Electrical Contractor shall obtain the instructions which shall be considered as a part of these specifications.

MANUFACTURER'S DRAWING

The Electrical Contractor shall submit to the Architect manufacturer's drawings of switchboards, lighting fixtures, switches, panelboards, dry-type transformers, emergency generator, fire alarm system equipment, and any special electrical equipment to be installed on this job, for the approval before ordering same for installation.

The Electrical Contractor shall be responsible for final coordination of all electrical feeders and over current protection devices (circuit breakers and/or fuses) with the manufacturers written data for each mechanical device prior to submittal of any electrical equipment for review. No additional compensation will be allowed for any changes to electrical feeders or over current protection devices required for any mechanical devices.

Failure of the subcontractor to submit shop drawings in ample time for checking shall not entitle him to an extension of contract time, and no claim for extension by reason of such default will be allowed.

AS-BUILT DRAWINGS

The construction drawings shall be revised during construction to indicate the "as-built" condition. At the completion of the project, they shall serve as final "as-built" drawings. Submit to the Architect/Engineer the revised "as-built" drawings and one set of blue-line prints.

STRUCTURAL DIFFICULTIES

Should any structural difficulties prevent running conductors, etc., at points shown on plans, the necessary minor deviations therefrom, as determined by the Architect, may be permitted and must be made without additional cost.

CODES, PERMITS AND FEES

Obtain any pay for all permits, licenses, inspections, approvals and fees required and ensure that the entire electrical installation conforms to codes and regulations required by authority or agency having jurisdiction over the entire installation or construction of work included. All fees shall be included in the base proposal.

The Electrical Contractor shall, at his expense, have an inspection made by the local electrical inspection department of te complete electrical installation and shall deliver certificate of approval of the complete work to the Owner before receiving his final payment.

Whenever the requirements of these specifications be required to conform to these codes, ordinances, laws of regulations, notify the Architect-Engineer at time of submitting proposal. After entering into a contract, Contractor shall complete all work necessary to meet code, laws, regulations and ordinance requirements without extra expense to the Owner.

Should any change in the drawings and specifications be required to conform to these codes, ordinances, laws of regulations, notify the Architect-Engineer at time of submitting proposals. After entering into a contract, Contractor shall complete all work necessary to meet code, laws, regulations and ordinance requirements without extra expense to the Owner.

FLASHING

Where the work included under the following sections of the specifications requires conduit to pass through the roof or any other waterproofing, the conduit shall be flashed under the section concerned, and the joint made waterproof in full conformance with waterproofing warranty requirements.

PAINTING AND CLEANING

See "Finishing and Painting" in Architectural Specifications.

Electrical metal conduit installed in earth or below vapor barrier shall be given two coats of black asphaltum. Conduit embedded in concrete need not be painted.

Electrical luminate support systems shall be painted with two coats of paint to match fixture.

Factory finish as damaged shall be retouched or replaced to satisfaction of Architect and Owner.

SLEEVES

Sleeves

Conduits passing through masonry and concrete walls, high stress floor slabs and roof slabs, shall

be provided with segments of steel pipe sleeves. Sleeves shall finish flush with top and bottom of slab.

Conduits passing through regular slab construction shall have sleeves of a minimum #26 gauge galvanized steel. Sleeves shall be flush with finished floor. In exposed areas the sleeve shall be steel pipe extended 1-inch above finished floor.

Sleeves in concrete slab or walls shall be fastened in place on forms before concrete is poured. If omitted prior to pour, cutting shall be done in accordance with "Cutting and Patching" paragraph.

Location of required openings shall be the responsibility of the Contractor installing conduit and appurtenances.

CUTTING AND PATCHING

Cutting and patching of walls, floors, ceiling, roofs, etc., shall be done at the expense of the Contractor installing equipment and appurtenances, subject to the approval of the Engineer and Architect. Contractor shall be careful to prevent injury, discoloration or defacement to finished materials and shall not fit or cut finished materials other than his own without specific instructions. Structural members shall not be cut without obtaining written permission.

Drilling and patching for expansion bolts, shields, hangers and other SUPPORTS shall be subject to approval of the Architect. Labor and materials required to replace or refinish parts cut or injured shall be done at the expense of the Contractor performing the work, subject to the Engineer's and Architect's approval.

Chases and grooves installed in walls and partitions shall be determined in advance of building construction.

Conduits passing through roofs or outside walls exposed to weather shall be carefully flashed and counter flashed.

Conduit in finished areas shall be concealed. Contractor shall notify Architect before installing exposed conduit, piping, etc.

Fire proofing of holes shall be provided and shall be of specified material, and approved by authority having jurisdiction.

CLEAN UP

The Contractor shall keep the premises free of debris and unusable materials resulting from his work and immediately upon completion of this work, he shall remove such debris and materials from the Owner's property and he shall leave all floors broom clean in areas affected by his work.

PENETRATIONS AND FIRE PROOFING

All penetrations of rated fire and smoke walls shall be by conduit.

All penetrations of floors shall be by conduit or metal sleeves.

All penetration sleeves including open ended conduits not terminated in junction boxes shall be filled with Fire Safing Material as manufactured by U. S. GYPSUM CO., or Architect approved equal for 2" in length from conduit end.

CONDUIT

General:

Minimum size conduit shall be 3/4", except switch legs and drops to individual light fixtures may be 1/2" conduit.

Install exposed conduit runs parallel to or at right angles with principal structural members and with adjacent walls.

Install vertical runs perpendicular to finish floors and ceilings.

Concealed runs may take most direct route between outlets.

Use plastic or metal cap closures during construction to prevent lodgment of plaster, dirt, concrete, or trash in conduit, boxes and fittings.

Fasten and support conduit at least every 10 ft. and within 3 ft. of outlet box, junction box, cabinet, or fitting.

Ream cut ends to remove rough edges.

Where conduit is threaded in field, use conduit thread cutting die with taper.

Run of conduit between outlet and outlet, fitting and fitting, or outlet and fitting shall not contain more than equivalent of three quarter bends (270 deg. total), including bends located immediately at outlet or fitting.

Conduit runs, including boxes, fittings, cabinet, and wireways, shall be electrically continuous throughout.

Install conduits entering boxes and cabinet with two locknuts, one inside and one outside, with bushing termination on inside.

Install conduit runs concealed within finished area.

Install conduit expansion fittings in runs which cross building expansion joints.

Fasten and support conduit with malleable iron or galvanized steel conduit straps.

Attach hangers and SUPPORTS to dry wall construction with toggle bolts.

Attach hangers and SUPPORTS to concrete or masonry construction with expansion shields and screws or bolts.

Attach hangers and SUPPORTS to structural steel shapes with beam clamps and bolts.

Fasten and support group runs of raceways with prefabricated, noncorrosive, channel systems supported with threaded hanger rods.

Terminate conduit runs in main service switchboard with grounding type insulated bushings.

Where conduit runs pass through interior fire-rated partitions or above grade concrete floors, provide fireseal fittings.

Where conduit runs pass through interior non-rated partitions or above grade concrete floors, install conduit in galvanized steel conduit sleeves.

Seal void between sleeve and conduit with approved fire proofing compound.

Rigid Steel and Intermediate Metal Conduit:

Install rigid steel or intermediate metal conduit when used as follows:

Conduit runs larger than 4".

Exposed interior runs in mechanical spaces below 8 feet.

Runs installed in and below equipment concrete floor slabs.

Exposed exterior runs.

For runs where installation is subject to physical damage during construction or afterwards.

Where conduit is installed in poured concrete floors with turn out of floor, conceal radius bend completely within floor with only vertical run exposed.

Fitting shall be galvanized threaded type.

Electrical Metallic Tubing (EMT):

Install EMT when used for lighting, receptacle, appliance branch circuit wiring, auxiliary systems wiring, and HVAC control wiring concealed above furred ceilings and in partitions within finished areas.

EMT conduit may also be used for feeders run through the building.

Do not install EMT where during installation or afterwards, it will be subject to physical damage. Do not install EMT in building slabs or encased in concrete.

Fittings shall be steel, compression type.

Rigid Non-Metallic Conduit:

Rigid non-metallic conduit shall be Schedule 40, heavy wall type, polyvinyl chloride.

Fittings shall be polyvinyl chloride for use with heavy wall type Schedule 40 PVC conduit.

Install rigid non-metallic conduit as follows:

For below grade exterior conduit runs.

For runs installed in and below building slabs.

Turn ups including elbows and risers above grade shall be rigid steel or intermediate metal conduit.

Install rigid non-metallic conduit to rigid steel conduit adapters for transitions to rigid steel conduit.

For ducts in concrete encased ductbanks.

Field bends shall be made in accordance with manufacturer's recommendations using equipment specifically intended for use with rigid non-metallic conduit.

Make conduit joints and connections watertight with use of solvent cement as recommended by conduit manufacturer.

Flexible Metal Conduit:

Install 18 inch minimum length as final conduit connection to motors, rotating, and vibrating machinery and equipment, and dry type transformers.

Install separate grounding conductor in each length of flexible conduit and provide bonding at each end.

Fittings shall be squeeze type, malleable iron.

Flexible Metal Tubing:

Flexible metal tubing (FMT) may be used in 6 foot maximum length as final conduit connection to recessed lighting fixtures in plenums and furred spaces which are not subject to physical damage.

Install 4 foot minimum length as final conduit connection to recessed lighting fixtures in plenums and furred spaces which are not subject to physical damage.

Fittings shall be case machined type.

Liquittite Flexible Conduit:

Install in place of flexible metal conduit in wet locations or where subject to oil, gasoline, or other materials having a deteriorating effect on rubber.

Install separate grounding conductor on outside of flexible conduit and fitting to provide bonding as required.

Fittings shall be steel or malleable iron with external grounding lug.

Aluminum Conduit:

The use of aluminum conduit shall not be allowed.

Underground Conduit Runs:

Construct conduit runs on thoroughly compacted earth and compacted backfill.

Slope conduits toward each end.

Space conduit accurately with plastic or precast concrete spacers held firmly in place.

Coat male threads of metal conduit with white lead prior to assembly.

Rod and draw mandrel through conduit; follow by swab to clear obstruction which may cause abrasions.

Conduit Expansion Fittings:

Install as required.

Install copper bonding jumper with each expansion fitting.

SUPPORTING DEVICES

Types of supports, anchors, sleeves and seals specified in this section include the following:

Clevis hangers

C-clamps

Conduit straps

Round steel rods

Lead expansion anchors

Toggle bolts

Wall and floor seals

Power-driven threaded studs

Codes and Standards

Methods of installation shall comply with the provisions of applicable sections of the latest editions of the National Electrical Code, the State of Michigan Building Code, the State of Michigan Electrical Code, the International Building Code, and the ICC Electrical Code, as applicable to construction and installation of electrical supporting devices.

Compliance: Comply with applicable MSS standard requirements, National Electrical Contractors Association's "Standard of Installation", UL, and Federal Specification FF-S-760.

Provide supporting devices which comply with manufacturer's standard materials, design and construction in accordance with published product information, and as required for complete installation.

Supports: Provide supporting devices of types, sizes and materials indicated; and having the following construction features:

Clevis Hangers: For supporting 2" rigid metal conduit; galvanized steel; with 2" dia. hole for round steel rod; approximately 54 pounds per 100 units.

Reducing Couplings: Steel rod reducing coupling, 2" x 5/8"; black steel; approximately 16 pounds per 100 units.

C-Clamps: Black malleable iron; 2" rod size; approximately 70 pounds per 100 units.

One-Hole Conduit Straps: For supporting 3/4" rigid metal conduit; galvanized steel; approximately 7 pounds per 100 units.

Two-Hole Conduit Straps: For supporting 3/4" rigid metal conduit, galvanized steel; 3/4" strap width; and 2-1/8" between center of screw holes.

Hexagon Nuts: For 2" rod size; galvanized steel; approximately 4 pounds per 100 units.

Round Steel Rod: Black steel; 2" dia.; approximately 67 pounds per 100 feet.

Offset Conduit Clamps: For supporting 2" rigid metal conduit; black steel; approximately 200 pounds per 100 units.

Anchors: Provide anchors of types, sizes and materials indicated, with the following construction features:

Lead Expansion Anchors: 2"; approximately 38 pounds per 100 units.

Toggle Bolts: Springhead; 3/16" x 4"; approximately 5 pounds per 100 units.

Power-driven threaded studs: Heat-treated steel, designed specifically for the intended service.

Manufacturers: Subject to compliance with requirements, provide anchors of one of the following:

- Abbeon Cal Inc.
- Ackerman Johnson Fastening Systems Inc.
- Eclen Metal Products Co.
- Hilti Manufacturing
- Ideal Industries, Inc.

Sleeves and Seals: Provide sleeves and seals, of types, sizes and materials indicated, with the following construction features:

Conduit Sealing Bushings: Factory-fabricated watertight conduit sealing bushing assemblies suitable for sealing around conduit, or tubing passing through concrete floors and walls.

Construct seals with steel sleeve, malleable iron body, neoprene sealing grommets or rings, metal pressure rings, pressure clamps, and cap screws.

Cable Supports for Vertical Conduit: Factory-fabricated assembly consisting of threaded body and insulating wedging plug for non-armored electrical cables in riser conduits. Provide plugs with number and size of conductor gripping holes as required to suit individual risers. Construct body of malleable-iron casting with hot-dip galvanized finish.

U-Channel Strut Systems:

Provide U-channel strut system for supporting electrical equipment, 12-gauge hot-dip galvanized steel, of types and sizes indicated; construct with 9/16" dia. holes, 8" o.c. on top surface, with standard green finish, and with the following fittings which mate and match with U-channel:

- Fixture hangers
- Channel hangers
- End caps
- Beam clamps
- Wiring studs
- Thin wall conduit clamps
- Rigid conduit clamps
- Conduit hangers
- U-bolts

Available Manufacturers: Subject to compliance with requirements, manufacturers offering channel systems which may be incorporated in the work include, but are not limited to, the following:

- Allied Tube and Conduit Corp.

B-Line Systems, Inc.

Eclen Metal Products Co.

Greenfield Mfg Co., Inc.

Midland-Ross Corp.

Fabricated Supporting Devices:

Pipe Sleeves: Provide pipe sleeves of one of the following:

Sheet-Metal: Fabricate from galvanized sheet metal; round tube closed with snaplock joint, welded spiral seams, or welded longitudinal joint. Fabricate sleeves from the following gauge metal: 3" and smaller, 20-gauge; 4" to 6", 16-gauge; over 6", 14-gauge.

Steel-Pipe: Fabricate from Schedule 40 galvanized steel pipe; remove burrs.

Iron-Pipe: Fabricate from cast-iron or ductile-iron pipe; remove burrs.

Plastic-Pipe: Fabricate from Schedule 80 PVC plastic pipe; remove burrs.

Sleeve Seals: Provide sleeve seals for piping which penetrates foundation walls below grade, or exterior walls. Calk between sleeve and pipe with non-toxic, UL-classified caulking material to ensure watertight seal.

Installation of Supporting Devices:

Install hangers, anchors, sleeves and seals as indicated, in accordance with manufacturer's written instructions and with recognized industry practices to ensure supporting devices comply with requirements. Comply with requirements of NECA and NEC for installation of supporting devices.

Coordinate with other electrical work, including raceway and wiring work, as necessary to interface installation of supporting devices with other work.

Install hangers, supports, clamps and attachments to support piping properly from building structure. Arrange for grouping of parallel runs of horizontal conduits to be supported together on trapeze type hangers where possible. Install supports with spacings indicated and in compliance with NEC requirements.

Torque sleeve seal nuts, complying with manufacturer's recommended values. Ensure that sealing grommets expand to form watertight seal.

ELECTRICAL IDENTIFICATION

General

Materials and methods of installation shall comply with the provisions of applicable sections of latest editions of the National Electrical Code, the State of Michigan Electrical Code, the International Building Code, and the ICC Electrical Code as applicable to installation of identifying labels and markers for wiring and equipment.

UL Compliance: Comply with applicable requirements of UL Std 969, "Marking and Labeling Systems", pertaining to electrical identification systems.

ANSI Compliance: Comply with applicable requirements of ANSI Std A13.1, "Scheme for the identification of Piping Systems".

NEMA Compliance: Comply with applicable requirements of NEMA Std No's. WC-1 and WC-2 pertaining to identification of power and control conductors.

Lettering and Graphics:

General: Coordinate names, abbreviations and other designations used in electrical identification work, with corresponding designations shown, specified or scheduled. Provide numbers, lettering and wording as indicated or, if not otherwise indicated, as recommended by manufacturer or as required for proper identification and operation/maintenance of electrical systems and equipment. Comply with ANSI A13.1 pertaining to minimum sizes for letters and numbers.

General Installation Requirements:

Install electrical identification products as indicated, in accordance with manufacturer's written instructions, and requirements of NEC.

Coordination: Where identification is to be applied to surfaces which require finish, install identification after completion of painting.

Regulations: Comply with governing regulations and requests of governing authorities for identification after completing of painting.

Conduit Identification:

Underground Conduit and Cable Identification:

General: During back-filling/top-soiling of each exterior underground electrical conduit, and signal or communication cable, install continuous underground-type plastic line marker, located directly over buried lines at 6" to 8" below finish grade. Where multiple lines are buried in a common trench and do not exceed an overall width of 12", install a single line marker.

Install line marker for every buried service, regardless of whether direct-buried or protected in conduit.

Equipment/System Identification:

General: Install engraved plastic-laminate sign on each major unit of electrical equipment in building; including central or master unit of each electrical system including communication/control/signal systems unless unit is specified with its own self-explanatory identification of signal system. Except as otherwise indicated, provide a single line of text, 2" high lettering on 1-1/2" high sign (2" where 2 lines are required), white lettering in black field. Provide texting matching terminology and numbering of the contract documents and shop drawings. Provide signs for each unit of the following categories of electrical work.

Electrical cabinets and enclosures.

Access panel/doors to electrical facilities.

Install signs at locations indicated or, where not otherwise indicated, at location for best convenience of viewing without interference with operating and maintenance of equipment.

Secure to substrate with fasteners, except use adhesive where fasteners should not or cannot penetrate the substrate.

CABLE SUPPORTS AND BOXES

The Electrical Contractor shall install cable supports and boxes for all vertical feeders in accordance with the schedule in the current edition of the National Electrical Code. The cable supports shall be of the split wedge type which clamps each individual conductor firmly and tightens due to weight of cable.

WEATHERPROOF BOXES AND COVERS:

Outlet boxes shall be of the size and type to accommodate:

Structural conditions

Size and number of conductors and conduit entering

Devices or fixtures for which required.

Outlet boxes shall be firmly anchored in place and shall be provided with approved fixture supports.

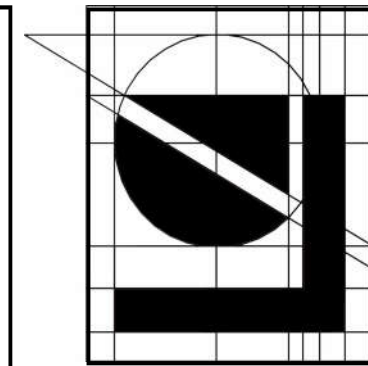
Wiring devices installed at exterior locations shall be weather-resistant and installed in a single gang, deep weatherproof box with blank cover. Boxes and covers shall be dark bronze finish and fully gasketed.

ACCESS PANELS

Contractor shall furnish to the appropriate subcontractor, all access doors required for access to junction boxes, disconnect devices and other equipment. Access panels shall be Milcor Style "DW" or "M" as manufactured by INRYCO of sizes required for adequate access. Minimum size shall be 24"x24" for ceiling or soffits.

GUARANTEE

The Electrical Contractor shall leave the electrical installation in proper working order and shall, without charge, replace any work or materials which develop defects, within one (1) year from date of final inspection and acceptance by the Owner



Lindhout Associates
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481516-9350
Ingham, Michigan
1875217-7668
www.lindhout.com

ISSUED FOR
BIDDING & PERMITS

DATE
10-20-22

CONTRACTOR

DR: MDO
CK: EKE
APP: D

LIGHTING REPLACEMENT FOR:
GENOA TOWNSHIP
GENOA TOWNSHIP, MICHIGAN

PROJECT SPECIFICATIONS

SP2
22046



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: November 17, 2022
RE: Censure Resolution

The Resolution of Censure as requested by the Board on October 26, 2022 will be delivered in hard copy format by the Township Attorney at Monday's meeting.

Sincerely,

Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter

Board Correspondence

Corr.

RE: Recommendation for Genoa Park

Pam McConeghy <pamm@brightoncoc.org>

Tue 11/8/2022 1:42 PM

To: Nathan <natejmiller1106@gmail.com>;

Cc: Bill Rogers <Bill@genoa.org>;

Hi Nathan! I will send this to the Supervisor of Genoa Township, Bill Rogers. He will forward to the correct parties, or will consider this option himself! Thanks!

From: Nathan <natejmiller1106@gmail.com>

Sent: Monday, November 7, 2022 6:20 PM

To: Brighton Area Chamber of Commerce <reception@brightoncoc.org>

Subject: Recommendation for Genoa Park

Hello, i dont know if this is the right email or person to talk to about this, but i would like some sort of lights to be added to the basketball courts at Genoa Township Park in Brighton. Me and my friends play there a lot but we get sad when we cant play when it gets dark.

Thanks, Nathan



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
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810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: November 17, 2022
RE: SEMCOG Grant Opportunities

There was discussion at the last meeting about seeking grant opportunities with SEMCOG to help support the Senior Survivor project. Township staff reached out to Amy O'Leary, Executive Director of SEMCOG on Wednesday, November 9th and shared available dates for a meeting via email on Thursday, November 10th. We are waiting to hear back from Ms. O'Leary to confirm a mutually agreeable meeting time.

Sincerely,



Kelly VanMarter

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
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genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: November 17, 2022
RE: Lalewicz Settlement Agreement Renegotiation

Township staff has been working with the Township attorney to generate a list of possible restrictions associated with re-negotiation of the Settlement Agreement with Mr. Lalewicz as discussed at the last meeting. The following represents the items currently under consideration:

1. The Settlement Agreement shall not run with the land, only to him, and does not pass through to his estate/family or anyone else;
2. The property cannot be transferred or sold unless, prior to sale, the Agreement is extinguished and the non-conforming structures must be removed, the electrical service disconnected, and any outdoor storage or site improvement is eliminated;
3. If he does not use the property in 12 consecutive months, he loses the right to stay overnight; the agreement automatically dissolves and he must remove the non-conforming structures on the property, disconnect electrical service and eliminate any outdoor storage or site improvement;
4. Only he can stay overnight, no renting or allowing others to use RV to stay overnight;
5. The overnight stays by him alone shall only per allowed in June, July and August;
6. Mr. Lalewicz must continue to abide by all other provisions of the order, i.e. maintaining access to another campground to dump waste;
7. The RV must be 40' or less and must be licensed, operable and drivable. The vehicle shall not be a fifth wheel and cannot be set up so it is semi-permanent;
8. Use of the existing fire pit is allowed provided it complies with Township ordinance and is extinguished by 10:00pm.
9. Mr. Lalewicz must agree that this is a non-conforming use which may not be expanded; no additional revisions can be requested and the first violation will result in termination of the order immediately. No exceptions.
10. No construction of any kind unless he obtains a land use permit. No other structures or improvements are allowed. No further clearing of property.
11. Order will be filed with Register of Deeds.
12. Use of the land must comply with the Township noise ordinance and all other ordinances.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Kelly VanMarter

Sincerely,

Kelly VanMarter