

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
SEPTEMBER 12, 2022
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

LIVINGSTON COUNTY PLANNING DEPARTMENT ANNUAL UPDATE: Presentation by Kathleen Kline Hudson

OLD BUSINESS:

OPEN PUBLIC HEARING #1...Consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-14-100-002 located on the southeast corner of Grand River Avenue and Dorr Road. The request is petitioned by Grand River Dorr, LLC.

- A. Recommendation of Rezoning to HDR/RPUD
- B. Recommendation of PUD Agreement (dated 6-22-22)
- C. Recommendation of Environmental Impact Assessment (file dated 5-25-22)
- D. Recommendation of Conceptual PUD Plan (dated 8-22-22)

NEW BUSINESS:

OPEN PUBLIC HEARING #2...Consideration of a sketch plan for a proposed pavilion located on the north side of Lake Chemung in the Lake Chemung Outdoor Resort campground located at 320 Hughes Road. The requested is petitioned by Joseph Maezes, Lake Chemung Outdoor Resorts, Inc.

- A. Disposition of Sketch Plan (7-13-22)

OPEN PUBLIC HEARING #3...Consideration of a sketch plan for a proposed outdoor commercial smoker for use as part of the Log Cabin Restaurant located at 5393 Grand River Avenue, north side of Grand River, Between Eckles Drive and Westwood Drive. The request is petitioned by Chris Stone.

- A. Disposition of Sketch Plan (file date 8-22-22)

OPEN PUBLIC HEARING #4...Consideration of an amendment to a previously approved site plan for a climate-controlled indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road. The request is petitioned by Schafer Construction, Inc.

- A. Recommendation of Site Plan Amendment (8-22-22)

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Approval of August 8, 2022 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



GENOA CHARTER TOWNSHIP APPLICATION
Planned Unit Development (PUD)

APPLICANT NAME: GRAND RIVER DORR, LLC (Mark Kassab)
APPLICANT EMAIL: MKASSAB@MSHAPIROREALESTATE.COM
APPLICANT ADDRESS & PHONE: 31550 Northwestern Hwy, Suite 200 Farmington Hill, MI 48334 (248) 865-0066
OWNER'S NAME: Grand River Dorr, LLC
OWNER ADDRESS & PHONE: same as above
TAX CODE(S): 47-11-11-200-014, 47-11-14-100-002

QUALIFYING CONDITIONS (To be filled out by applicant)

- 1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:
[X] Residential Planned Unit Development (RPUD)
[] Planned Industrial District (PID)
[] Mixed Use Planned Unit Development (MUPUD)
[] Redevelopment Planned Unit Development (RDPUD)
[] Non-residential Planned Unit Development (NRPUD)
[] Town Center Planned Unit Development (TCPUD)
3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN The development will be developed, owned and operated by a single ownership entity

- 4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:
A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.
B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established.

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

- C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:
- preservation of significant natural or historic features
 - a complementary mixture of uses or a variety of housing types
 - common open space for passive or active recreational use
 - mitigation to offset impacts
 - redevelopment of a nonconforming site where creative design can address unique site constraints.
- D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is 51.9+/- acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

The proposed development is over 51 acres. The development will preserve natural features and provided common open space opportunities for the residents, including walking trails, a community building and swimming pool. The site is constrained by regulated wetlands and create design is required to address the constraints. The site has access to public water supply and sanitary sewer.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

The future land use map for Genoa Township identifies mixed use town center. However, a change in need for retail services has been observed in the market. There is a lack of ability to attract new retail to compete with the existing retail services already located in the area. The proposed use is consistent with the high intensity use along the Grand River Corridor. This is consistent with surrounding land use and provides a transition to the residential areas to the south.

2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

The RPUD with an HDR underlying zoning is a transitional residential zoning that is typically found adjacent to high and medium intensity uses. This is consistent with this property and its surrounding uses. In this situation the property is surrounded by industrial, general business and office. There is residential to the north (higher density) and the south (lower density). The RPUD allows for additional open space, protection of natural features, and is supported by the existing infrastructure.

3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township;

The proposed development will be compatible with past planning efforts and therefore the infrastructure is present to support it. The township services planned for this area will not be overtaxed by the development.

4. The apparent demand for the types of uses permitted in the PUD; Successful development area reaching various age demographics that seek amenities, less maintenance nature preservation and convenience to restaurants and shopping. This location is well located between Brighton and Howell where downtown shopping and restaurants are available as well as the Genoa retail and restaurant area at Latson and Grand River.

AFFIDAVIT

The undersigned says that they are the Owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Mark Kassab, Grand River Dorr, LLC

ADDRESS: 315550 Northwestern Hwy, ste 200 Farmington Hills 48334

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Jonathan Curry of PEA Group at jcurry@peagroup.com
Name Business Affiliation E-mail

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Grand River Dorr

PROJECT LOCATON & DESCRIPTION: 6080 W Grand River (Grand River/Dorr)

SIGNATURE: [Signature] DATE: 6/2/22

PRINT NAME: MARK KASSAB PHONE: 248-865-0066

COMPANY NAME & ADDRESS: 315550 Northwestern Hwy, ste 200 Farmington Hills 48334



GENOA CHARTER TOWNSHIP
Application for Re-Zoning

APPLICANT NAME: Grand River Dorr, LLC ADDRESS: 315550 Northwestern Highway, ste 200 Farmington Hills, 48334
OWNER NAME: same as above ADDRESS: _____
PARCEL #(s): 47-11-11-200-014, 47-11-14-100-002 PRIMARY PHONE: (248) 865-0066
EMAIL 1: Mkassab@mshapirorealestate.com EMAIL 2: _____

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:
NSD/ MDR /TOWN CENTER to HDR/PUD
4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites, and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

SEE ATTACHED

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

SEE ATTACHED

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

SEE ATTACHED

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

SEE ATTACHED

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

SEE ATTACHED

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

SEE ATTACHED

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

SEE ATTACHED

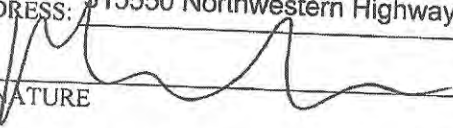
8. Describe any deed restrictions which could potentially affect the use of the property.

C. AFFIDAVIT

The undersigned says that they are the owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Mark Kassab, Grand River Dorr, LLC

ADDRESS: 31550 Northwestern Highway, ste 200 Farmington Hills, MI 48334

SIGNATURE: 

The following contact should also receive review letters and correspondence:

Name: Jonathan Curry, P.E. Email: jcurry@peagroup.com

Business Affiliation: PEA Group

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Grand River Dorr

PROJECT LOCATON & DESCRIPTION: 6080 W. Grand River Road

SIGNATURE: 

DATE: 6/2/22

PRINT NAME: Mark Kassab

PHONE: 248-865-0066

COMPANY NAME & ADDRESS: 31550 Northwestern Hwy, Farmington Hills, MI 48334

B. 1.

Development conditions have changed since the approval of the Master Plan. Retail has seen a steep decline throughout the state. The ability of individuals to order online and have delivered to their home is one of the main reasons for this. It was further exasperated during covid pandemic and lock downs. Residents became used to online ordering.

High density residential is an acceptable use in the Town Center Overlay, however, this zoning is tied to being placed above retail. The existing zoning would allow for 28 units per acre when tied to retail. The proposed rezoning to HDR /RPUD reduces the density by allowing for 8 units per acre. This will reduce the burden on the township service and infrastructure.

2.

The southern side of the site consists of a regulated EGLE wetland and wooded areas. These natural features are desirable to protect. The proposed rezoning to HDR/RPUD allows for limiting disturbance to the natural features, while obtaining a financially viable project that provides the end user with desired environmental features.

3.

The evidence that a reasonable return on investment cannot be received by developing the property with one of the permitted uses under current zoning is evidenced by the lack of interest in the property. The property is in a desirable area; however, this area is located between developed areas that meet the residential services needs and retail for the area. Obtaining retail or residential service providers for this area is difficult because of the existing competition.

4.

As stated above, the proposed zoning was considered compatible with the master plan. However, it is desired to remove the retail component and town center overlay. The surrounding land uses along the Grand River corridor are higher intensity uses. The proposed use will be compatible with the existing users and could be considered a transitional zoning against the higher intensity industrial use to the west and the residential to the south.

5.

Infrastructure is available to service this site with the proposed rezoning. This area was master planned to provide the services necessary to develop this property successfully. The property is located adjacent to Grand River and Dorr Road. Sanitary sewer and public water main are available adjacent to the property as well.

6.

There is a demonstrated demand for the proposed uses allowed under HDR/RPUD. Genoa is in need of additional HDR/RPUD locations to assist residents wishing to downsize or even for younger residents to

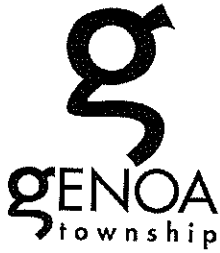
enter into the area. The desire for younger and older residents is less maintenance with amenities. This site provides a club house with a pool, as well as the beauty of its existing nature areas left preserved.

7.

Currently, the town center does not appear to be desirable to developers. This is a prime location that should have developed. A rezoning at this time would provide additional developers options for this property should this development not continue for any reason.

8.

Currently there are no deed restrictions that would affect the property. However, if rezoned a deed restriction will be in place to protect the natural features and EGLE regulated wetland.



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Grand River Dorr, LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Grand River Dorr, LLC

SITE ADDRESS: 6080 W Grand River PARCEL #(s): 47-11-11-200-014,

APPLICANT PHONE: (248) 865-0066 OWNER PHONE: () 47-11-14-100-002

OWNER EMAIL: mkassab@mshapriorealestate.com

LOCATION AND BRIEF DESCRIPTION OF SITE: 51.9 acres +/- at the South East Corner of
Grand River and Dorr Road

BRIEF STATEMENT OF PROPOSED USE: _____

The proposed use will be a RPUD - multifamily development consisting of 204 apartment homes in 18 buildings, with a community clubhouse and pool.

THE FOLLOWING BUILDINGS ARE PROPOSED: _____
18 buildings in 12-plex or 6-plex configuration, and a community clubhouse.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:  Mark Kassal

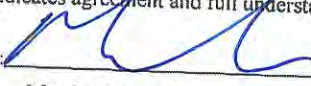
ADDRESS: 315550 Northwestern Hwy., Farmington Hills, MI 48334

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

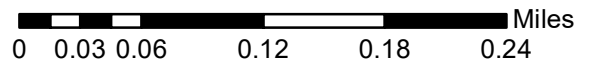
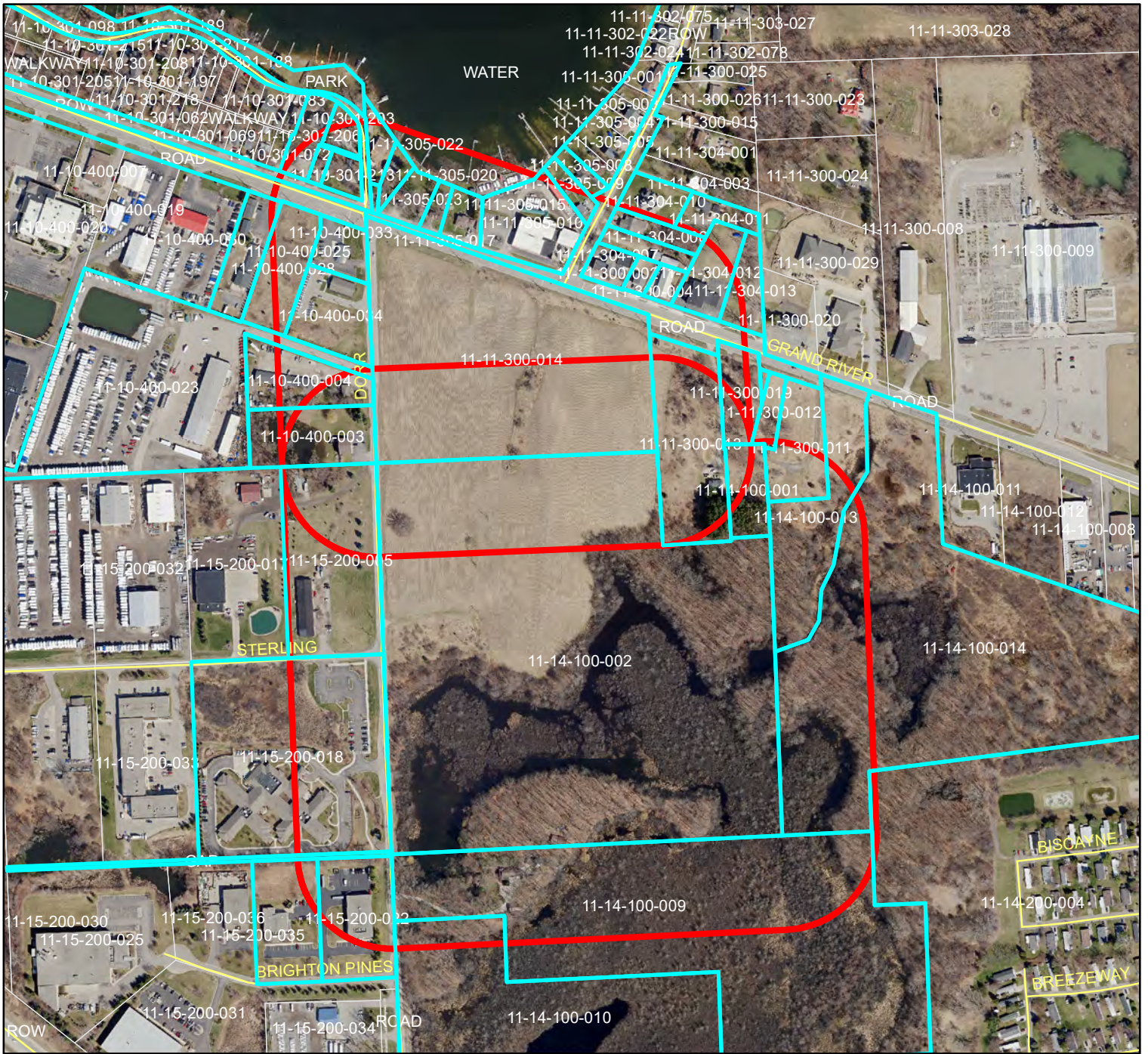
1.) Mark Kassab of Grand River Dorr, LLC at mkassab@mshapirorealestate.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 6/2/22
PRINT NAME: Mark Kassab PHONE: 248-865-0066
ADDRESS: 315550 Northwestern Highway, ste 200 Farmington Hills 48334

300 Foot Buffer for Noticing



Re-Zoning: Legacy Apartments

Address: Grand River/Dorr

Parcel: 4711-11-300-014, 11-14-100-002

Meeting Date: July 11, 2022





NOTICE OF PUBLIC HEARING – SEPTEMBER 12, 2022 (REZONING)

August 25, 2022

To Whom It May Concern:

Please be advised that the Planning Commission of Genoa Charter Township will conduct a public hearing on **Monday, September 12, 2022 commencing at 6:30 p.m.** As required by state law, you are receiving this notice because you have been identified as an owner or occupant of real property within 300 feet of the subject parcel.

The property in question is located on the southeast corner of Grand River Avenue and Dorr Road consisting of parcels: 4711-300-014 and 4711-14-100-002. **The applicant is requesting to rezone 51.9 acres from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay to allow for 204 apartment units. The request is petitioned by Grand River Dorr, LLC.**

You are invited to attend this hearing. Members of the public will be able to speak during the public hearing portions of the meeting. If, prior to the meeting, members of the public have certain questions or wish to provide input on any business that will be addressed at the meeting then such persons may contact the Planning Commissioners through Kelly VanMarter, Township Community Development Director by email to Kelly@genoa.org, or by mail at 2911 Dorr Road, Brighton, Michigan 48116.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Kelly VanMarter,
Assistant Township Manager / Community Development Director

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

1. The response letter from the Petitioner, dated June 22, 2022, notes that the proposed additional flow to the existing detention basin was designed in accordance with conversations with the Livingston County Drain Commissioner (LCDC). The provided plans do not include information on any infiltration testing or calculations as required by the updated LCDC standards and an approval letter should be provided from the LCDC to ensure this requirement is being waived prior to approval.
2. The detention basin outlet detail shows the 100-year detention and channel protection orifice at 958.75 and 958.5 respectively, but the design storm elevation calculations show the 100-year elevation at 960.70 and the channel protection elevation at 960.43. The outlet detail should be revised to show the correct orifice elevations.

The Brighton Area Fire Authority letter dated July 5, 2022 states that all of the previous concerns have been addressed.

A call to the public was made at 8:41 p.m. with no response.

Commissioner McCreary asked if this a medical use or general office. Mr. Crane stated that there will be a small lab with medical staff and they would have nurses on staff, may also include physical therapy.

Commissioner Rauch stated that there is residential backing up the parking lot. He asked if the petitioner would be agreeable to add more of a screen for the houses. Mr. Crane stated that they will add more landscaping to fill in the gaps of the existing screen.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens to recommend to the Township Board approval of the Environmental Impact Assessment dated June 1, 2022 for the expansion of a parking lot for an existing office/medical building located at 3399 E. Grand River Avenue on the north side of Grand River Avenue, west of Grand Oaks Drive. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Lowe, to approve the site plan dated June 21, 2022 for the expansion of a parking lot for an existing office/medical building located at 3399 E. Grand River Avenue on the north side of Grand River Avenue, west of Grand Oaks Drive with the following conditions:

- The Planning Commission finds the 121% parking is sufficient.
- Replacement of the 4 evergreen trees with 4 canopy trees.
- Lighting fixtures and details will comply with the Township Zoning Ordinance and must receive staff approval.
- Petitioner will incorporate additional plantings along the north property line to fill in the gaps in the landscaping.
- Landscaping plan discrepancies will be corrected.
- The applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority.

The motion carried unanimously.

OPEN PUBLIC HEARING #4...Consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-

14-100-002 located on the Southwest corner of Grand River Avenue and Dorr Road. The request is petitioned by Grand River Dorr, LLC.

- A. Recommendation of Rezoning to HDR and PUD application for RPUD
- B. Recommendation of PUD Agreement (dated 6-22-22)
- C. Recommendation of Environmental Impact Assessment (file dated 5-25-22)
- D. Recommendation of Conceptual PUD Plan (dated 6-23-22)

Mark Kassab and Jim Galbraith, with Grand River Dorr LLC., Jon Curry with PEA Group, and Jill Bauer, with Fishbeck, Thompson were present for the petitioner.

Mr. Kassab gave a presentation on the company and the project. The project is proposed to consist of 204 high-end apartment units with two car attached garages, direct access to the units, 2-3 bedrooms, 1480-1630 sq. ft. units. The rent would range from \$2400-\$2800 per unit. The market studies that they have conducted support this type of project. The current property is zoned NSD and MDR with a TC overlay. The Township no longer is interested in pursuing the Town Center overlay. The current zoning is 14 units per acre based on the current zoning and with the TC overlay it would be 28 units per acre by special use. They are proposing 6.2 units per acre. He stated that they do not believe that this is a strong site for retail use. Some of the amenities will include EV stations, pet wash, pet park, resort style park, pool and amazon station and walking paths. They are not proposing any impact to the wetlands and the natural features setback buffer.

Mr. Borden reviewed his letter dated July 7, 2022:

1. PUD Qualifying Conditions: based upon our review, the qualifying conditions of Section 10.02 are satisfied. The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.
2. Rezoning Criteria:
 - a. As a PUD project, the request may be viewed as consistent with the intent and goals/objectives of the Master Plan.
 - b. HDR rezoning may be viewed as appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
 - c. We believe the RPUD is reasonable provided the provisions of Section 10.03.01 are met to the Township's satisfaction.
3. Conceptual PUD Plan:
 - a. Deviations are sought for side and rear parking setbacks, excess parking spaces, grading (but not structures) within the natural feature setback, and from the requirement for a 100-foot open space depth along exterior public roadways.
 - b. At the time of this review letter, the applicant is working on building material calculations to determine whether deviations are necessary (or not).
4. Draft PUD Agreement:
 - a. The Agreement must identify the deviations sought as part of the PUD.
 - b. If the Township is amenable to reducing the 100-foot open space along both exterior roadways, we suggest the applicant be required to provide enhanced landscaping and screening along both frontages. This should include appropriate screening for vehicle parking and/or garage doors.
 - c. We suggest additional language be provided with respect to the preservation and maintenance of open space/conservation areas.
 - d. If a phased project is proposed, each phase must be described and outlined.
 - e. The applicant must address any comments provided by staff and/or the Township Attorney.

Ms. Byrne reviewed her letter dated July 6, 2022:

1. The Livingston County Road Commission will need to approve both access drives to the site, and this approval should be provided to Genoa Township prior to final approval.
2. A Traffic Impact Study was completed for the proposed development and was included in the impact assessment. The study concludes that left turn passing lanes will be needed at both site drives, and this is included on the site plans. The development will increase traffic in the localized area however the improvements presented in the traffic study should mitigate the impacts.
3. The detention calculations shown on sheet C3.1 should be updated to the new Livingston County Drain Commissioner standards as part of the final site plan submittal.
4. The petitioner is proposing multiple connections to the existing storm sewer on Grand River Avenue. The Livingston County Road Commission will need to approve all proposed connections to their storm sewer system and said approval should be provided to Genoa Township prior to final site plan approval.
5. The Petitioner is proposing grading within the 25-foot wetland setback. This will require a special land use permit or should be addressed in the PUD Agreement.
6. A utility impact study should be completed by MHOG for the proposed development, as it will account for more than 100 new residential units. The downstream sanitary sewer pump stations have known capacity concerns, and improvements will need to be considered as part of this development.
7. The final site plan should include MHOG standard details.
8. After final site plan approval, the Petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.

The biggest issue of concern is the connection of the storm system to the public road system. The applicant should ensure that the Road Commission will agree to this proposed design.

Chairman Grajek asked if the petitioner has reviewed the Brighton Area Fire Authority letter dated July 5, 2022. Mr. Kassab stated that they have and will comply with the letter.

For the benefit of the residents in attendance, Chairman Grajek asked Mr. Borden to go over the steps in the process. Mr. Borden stated that this is here for rezoning and conceptual review. The project will need to go to the Board for conceptual approval and then the final approval process would be back before the Planning Commission before going to the Board again for the final approval.

Commissioner Dhaenens asked about parking and that he has an issue with not requiring the 100-foot open space setback from the roads. Mr. Kassab stated that there are two spots in the garage and two spots outside of the garage for parking. They have designed the units to have two front elevations with substantial landscaping to where you will not see the buildings.

Mr. Borden stated that the current zoning allows for zero lot line setbacks.

Commissioner Rauch asked why the applicant is asking for the PUD. Mr. Borden responded that it is because they are not proposing a mixed-use component. Mr. Kassab stated that they looked at a project with commercial along Grand River with 400 units behind but they felt that commercial wouldn't work in this location and they felt like this was a better project.

Chairman Grajek asked for a review of the traffic. Ms. Bauer gave a review of the traffic impact study stating that it was determined that there would be no impact. Chairman Grajek asked how it was possible that this would have no impact. Ms. Bauer stated that the signalized intersections

are operating at acceptable levels and the added units would not reduce the level of service at all three major intersections. There will be more traffic, but not so much that it would cause a significant reduction in the current level of service.

Chairman Grajek asked if the proposed hospital project would impact their traffic counts. Ms. Bauer stated that they would update their traffic study to include the hospital project.

Commissioner Chouinard asked the applicant have they are going to handle the fiber line that runs through the property. Mr. Gilbraith stated that they would move it.

Commissioner McCreary stated that she is concerned with the boat traffic on Dorr Road since there are three boat businesses located in the immediate area.

Commissioner McBain stated that she struggles with this conversation on traffic since it is less than what is allowed on the site. Why are they concerned with traffic when they have not been concerned about it elsewhere?

Commissioner Rauch stated that he is struggling with the reduction of the RPUD 100-foot open space buffer requirement from the roads.

A call to the public was made at 9:44 p.m. with the following responses:

Robert Biegas, 1950 Genoa Circle, stated he has concerns with the 100-foot buffer reduction and the impact on Grand River Avenue. There would be no room for a right turn lane.

Joe Mahalak, 5259 Pentwater Drive, has concerns with the south bound traffic on Dorr Road turning left.

Robert Kuikhi, 6035 E. Grand River Avenue, stated that he has lost a loved one to a car accident. He has concerns with the traffic and the people pulling boats. He would like to see something to accommodate the Grand River residents in the Hughes and Dorr Road area.

Judy Moses, 5251 Pentwater Drive, stated that she has concerns about the electricity in the area. They have weekly outages all the time. Does DTE work the Township when a development is proposed.

Laura Wildman, 658 Pathway, she does not know how Wilson Marine gets out of their business due to the traffic. She has concerns about the runoff going into Lake Chemung. She asked how the project would benefit the Township.

Bruce Kimball, 1189 Catherine's Way, stated south bound Hughes Road traffic is bad. There is an incline in the grade at the light on Hughes and only 2 cars can make it through the light in the winter to turn left. Traffic is the main issue.

Ron Wilson, 6095 Grand River Avenue, he is the owner of Wilson Marine, in the summer months there are 65-70 boats on trailer coming and going and semi-trucks delivering. Dorr Road is a raceway. He is concerned with safety and sight lines along Dorr Road. His business produces a lot of light and noise and work from 7 a.m. to 9 p.m. so they might consider more screening for the buildings across Grand River.

Frank Keresztes-Fischer, 5859 Griffith, stated that he is concerned about food security. Millions of acres of farm land are being lost to developments. The productive farm land needs to be protected.

Edward Luff, 6055 E. Grand River Avenue, is concerned about a loss of visibility for drivers on Dorr Road. It is all open now and you can see 1/8 mile towards Hughes Road. Once they build the loss of visibility will be more dangerous. He is concerned about the detention pond at the corner of Dorr Road and Grand River Avenue. Where does it drain to? Does it drain into Lake Chemung?

David Cary, 1813 S. Hughes Road, The Shaved Ice business has had to replace two tables located outside due to cars hitting them. Everybody tries to use the right turn lane that does not exist to turn on to Grand River Avenue. There needs to be a right turn lane on Hughes Road northbound at Grand River. The Township owns the property on Hughes Road with a 10-foot drain easement. The agreement states that the Township can increase the easement to 20-foot wide if needed. What is planned for that easement? The drainage into the lake is a huge issue.

Serena Anzalone, 5964 Glen Echo Drive, stated that Glen Echo gets 6 to 8-inch divots in their road due to the drainage from Grand River Avenue. The rainwater brings dirt and debris. She is also concerned about the noise and traffic.

Eda Biegas, 1950 Genoa Circle, stated that there is overall traffic congestion without lights. They chose Genoa Township because it is less congested. There is no room for the roads to be widened if the 100-foot setback is not required. Maybe construct single story homes with less units to make the traffic more manageable.

The call to the public closed at 10:06 p.m.

Mr. Curry stated that the majority of the drainage goes to the back of the parcel into the wetlands. The front drainage goes into Grand River Avenue which is under the Livingston County Road Commission control.

Commissioner Rauch stated that he has trouble visualizing the 100-foot open space reduction along Grand River Avenue. This section of the road right of way is a variable mix in width. Typically for a 5-lane road, the right of way would be 125 feet wide not 90 feet wide. It would make it difficult to expand the road. Commissioner Dhaenens agreed that he has issues with the 100-foot open space buffer reduction, traffic and the location of the fiber lines.

Mr. Kassab stated that they understand the concerns with the traffic and would like to be postponed to make adjustments and see if they can locate the buildings further back from Grand River and Dorr Roads.

Moved by Commission Dhaenens, seconded by Commissioner Lowe to postpone public hearing #4, consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan for a proposed rezoning and conceptual plan approval for a proposed development of 204 apartment units. The proposed rezoning is to go from Neighborhood Service District (NSD)/Medium Density Residential (MDR) with Town Center Overlay (TC) to High Density Residential (HDR) with a Residential Planned Unit Development (RPUD) overlay. The request involves parcels 4711-11-300-014 and 4711-14-100-002 located on the Southwest corner of Grand River Avenue and Dorr Road to the applicant the ability to address the setbacks from Grand River and Dorr Roads, location of fiber lines and to update the traffic study with the proposed hospital addition. **The motion carried unanimously.**

GRAND RIVER DORR LLC
31550 Northwestern Highway, Ste 220
Farmington Hills, MI 48334
248-865-0066

August 22, 2022

Project No: 2022-0578

Amy Ruthig
Zoning Official
Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116

**RE: The Legacy Apartment Homes
6080 West Grand River Ave.
Genoa Township, Livingston County, Michigan**

Dear Ms. Ruthig:

We are writing in response to the Planning Commission's comments and discussions during their Planning Commission meeting on July 11, 2022. As summarized within the minutes of the meeting, we requested to table this matter to address the following:

1. Setbacks from Grand River and Dorr Road
2. Location of the fiber optic lines that possibly bisect the property
3. Update the traffic study to include the proposed St. Joseph Mercy Hospital expansion

Address the setbacks from Grand River and Dorr Road

As suggested by the Planning Commission, we had further communication with the Livingston County Road Commission pertaining to Grand River and Dorr Road ROW. We further modified the plan to increase both setbacks as follows:

	Original Plan ROW Setback	Revised Plan ROW Setback
Grand River	50'	75'
Dorr Road	46'	77'

Location of the fiber optic lines that bisect the property

We have confirmed through an onsite inspection by Miss Dig in addition to the Title documents that fiber lines are not bisecting the property.

Update the traffic study to include the proposed hospital expansion

We have updated the traffic impact study (TIS) to include the proposed St. Joseph Mercy Hospital expansion. The revised TIS does not recommend or require any additional road improvements.

The submittal is intended to address the comments of the Planning Commission meeting of July 11, 2022. We intend to update the full set of plans that will be reviewed by the Townships consultants prior to the Township Board consideration.

If you should have any further questions or require any additional information, please feel free to contact me directly.

Sincerely

Mark Kassab
Grand River Dorr LLC

Attachments

cc: Kelly VanMarter



August 31, 2022

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Legacy Apartments – PUD Rezoning and Conceptual Plan Review #3
Location:	Southeast corner of Grand River Avenue and Dorr Road
Zoning:	NSD and MDR with TC Overlay

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Grand River Dorr, LLC requesting establishment of an RPUD for 51.9 acres of land at the southeast corner of Grand River and Dorr.

A. Summary

1. **PUD Qualifying Conditions:** based upon our review, the qualifying conditions of Section 10.02 are satisfied. The applicant must address any comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority.
2. **Rezoning Criteria:**
 - a. As a PUD project, the request may be viewed as consistent with the intent and goals/objectives of the Master Plan.
 - b. HDR rezoning may be viewed as appropriate given the inclusion of the RPUD and the site amenities provided by the proposal.
 - c. We believe the RPUD is reasonable provided the provisions of Section 10.03.01 are met to the Township’s satisfaction.
3. **Conceptual PUD Plan:**
 - a. Deviations are sought for side and rear parking setbacks, excess parking spaces, grading (but not structures) within the natural feature setback, and from the requirement for a 100-foot open space depth along exterior public roadways.
 - b. Revisions to the plan have improved upon the parking setback and open space depth deviations previously discussed.
 - c. Per the previous meeting, the applicant is working on building material calculations to determine whether deviations are necessary (or not).
4. **Draft PUD Agreement:**
 - a. The Agreement must identify the deviations sought as part of the PUD.
 - c. We suggest additional language be provided with respect to the preservation and maintenance of open space/conservation areas.
 - d. If a phased project is proposed, each phase must be described and outlined.
 - e. The applicant must address any comments provided by staff and/or the Township Attorney.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The request is to establish a Residential Planned Unit Development (RPUD) for approximately 51.9 acres of land at the southeast corner of Grand River and Dorr. Because of the split-zoned nature of the subject area (NSD and MDR with TC overlay), and the fact that the RPUD is an overlay district, the overall request includes rezoning of the subject site to HDR.

The RPUD proposes development of 204 apartment units within 18 buildings, and an accessory clubhouse and pool. The wetland areas, which account for approximately 29 acres of the property area, will not be disturbed and will be preserved as open space.

Procedurally, following the required public hearing, the Planning Commission is to put forth recommendations to the Township Board on the NSD/MDR/TC to HDR rezoning, RPUD overlay zoning, Conceptual PUD Plan, Environmental Impact Statement and draft PUD Agreement.

C. Qualifying Conditions

We have reviewed the proposal for compliance with the PUD Qualifying Conditions (Section 10.02), as follows:

- 1. Single Ownership.** The application forms identify Grand River Dorr, LLC as the property owner, and note that the property will be developed, owned and operated by a single ownership entity.
- 2. Initiated by Petition.** The property owner has initiated the request, including applications for rezoning, PUD, and site plan review.
- 3. Minimum Site Area.** The site provides approximately 51.9 acres, which exceeds the 20-acre minimum to qualify for PUD consideration.
- 4. Benefits.** The submittal references preservation of natural features (approximately 29 acres of wetland areas) and common open space for passive and active recreational use (a clubhouse and pool, as well as a walking trail, pocket parks and a dog park).

- 5. Sewer and Water.** The site is currently served by public water and sanitary sewer; however, the Commission should consider any technical comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority under this criterion.

D. Rezoning Criteria

We have reviewed the proposal for compliance with the Criteria for Amendment of the Official Zoning Map (Section 22.04), as follows:

- 1. Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.**

The Township Master Plan and Future Land Use map identify the subject site as Mixed-Use Town Center.

Per Chapter 5 of the Master Plan:

This category includes a mixture of uses integrated into a traditional-style development of high density single family homes, attached and detached, along with various commercial uses including retail and office. The intent is to create a destination in the Township as an alternative to the consistent strip development that currently exists along Grand River Avenue from Howell to Brighton.

On its own, rezoning to HDR without the RPUD would be difficult to justify given the statement above; however, the inclusion of an RPUD provides the Township with certain assurances that will help to uphold the intent of the Master Plan.

The request may also be viewed as compatible with several goals of the Master Plan, including:

- Accommodate a variety of land uses that are located in a logical pattern and complement community goals, the surrounding land uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.
- Provide land owners with reasonable use of their land in a manner that is compatible with adjacent land uses and the overall land use plan for the Township and the capacity of infrastructure.
- Provide a variety of housing styles, types, and densities to support needs of residents.

With respect to the lack of mixed use component (residential only; no office or retail), the applicant has noted a change in development conditions since the Plan's adoption.

Based on the above, we are of the opinion that the overall request (HDR rezoning and inclusion of the RPUD overlay) may be viewed as consistent with the Township Master Plan.

- 2. Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.**

As previously noted, the site contains approximately 29 acres of regulated wetlands. These areas will not be disturbed and will be preserved as part of the project.

- 3. The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.**

In response to this criterion, the applicant cites the lack of interest in the property, despite having been for sale and promoted for conventional TC development for many years.

- 4. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.***

The RPUD is an overlay district, which allows the host of permitted and special land uses of the underlying zoning district.

As proposed, the underlying district would be HDR, which allows for multiple-family apartments with up to 8 units per acre and 24 units per building.

As part of the proposed PUD, the applicant will restrict the project density and number of units per building to less than what conventional HDR zoning would allow.

- 5. The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.***

As noted under our review of the PUD Qualifying Conditions, the site is served by public utilities.

The applicant must address any additional comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority related to this criterion.

This includes any comments by the Township Engineer on the revised traffic study.

- 6. The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.***

Township-wide, there is an overall lack of land planned/zoned for HDR/multiple-family uses. While the TC overlay provides some allowance, it requires a non-residential component, as well.

- 7. Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.***

Similar to previous comments, conventional HDR rezoning on its own may not be fully justifiable; however, the inclusion of the RPUD overlay provides the Township with assurances that the property will be developed in a manner consistent with the Master Plan and site constraints.

In our opinion, use of the RPUD overlay is reasonable provided the provisions of Section 10.03.01 are met to the Township's satisfaction.

- 8. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.***

This request has not been submitted within the past year.

E. Conceptual PUD Plan

We have reviewed the proposal for compliance with the Residential PUD and Conceptual PUD Plan standards (Sections 10.03.01 and 10.07.01, respectively), as follows:

- 1. Density.** The submittal does not include a parallel plan to determine base density. However, based on the definition, which allows inclusion of up to 25% of wetland area, the proposal results in a density of 6.2 units per acre.

The proposed density is less than the 8 units per acre allowed for a conventional HDR development (as well as the 28 units per acre allowed as part of mixed-use project under the current TCOD).

- 2. Dimensional Standards.** The proposed buildings meet or exceed conventional HDR setback requirements.

The original submittal sought deviations to reduce side and rear setbacks for parking lots and drive aisles. However, the revised plan appears to have increased these setbacks to a point where they are compliant.

The proposal exceeds the maximum parking allowance, for which an additional deviation is sought. The minimum parking requirement is 408 spaces. Given the site design, which includes garages and parking spaces contiguous to the garages, as well as guest parking throughout the development, there are 700 parking spaces proposed.

The submittal does not include any structures that encroach into the 25-foot natural feature setback; however, notes indicate that grading is proposed within 10 feet of the wetland in certain areas.

Lastly, the open space requirements for an RPUD (outlined below) require an open space depth of 100 feet along exterior public roads. This standard is not met along either Grand River or Dorr, and a deviation has been requested (though additional setback and potential future right-of-way have been provided in the revised plan).

- 3. Open Space.** The proposed development results in an open space ratio of 55.8%, which exceeds the 25% minimum threshold.

The proposed open space includes protection of the wetland areas, as well as a large courtyard through the middle of the development.

Active and passive recreational opportunities are also provided via a clubhouse, pool, walking trails, sidewalks, dog park, and pocket parks.

- 4. Additional Considerations.**

Landscaping: the submittal includes a detailed landscape plan depicting numerous plantings throughout the site, including 50-foot wide buffers along both external roadways. A detailed review of the landscape plan will be provided as part of the Final PUD Plan review.

Lighting: the Conceptual PUD Plan does not include a lighting plan. A full lighting plan, per Section 12.03, must be provided with the Final PUD Plan submittal.

Refuse/Recycling: the revised plans note that “trash collection will be provided via individual trash carts for each unit with curb side trash collection.”

Pedestrian Circulation: the project includes public sidewalks along both road frontages (Grand River and Dorr), as well as an internal connection of sidewalks and trails.

Site Amenities: in addition to items previously noted, the project includes EV charging stations, a gazebo, bicycle racks, park benches, fountains within ponds, and decorative entrance features (as depicted on Sheets LSC 4 and 5).

Buildings: the elevation drawings note a mix of materials, including brick and multiple types of siding. Unless deviations are sought, the proposed buildings must comply with the standards of

Section 12.01. The revised submittal notes that the applicant is working on material calculations and will provide additional information to determine if standards are met or if deviations are needed.

Mailbox Clusters: the plans provide for a mailbox cluster in the southeasterly portion of the development. In response to our previous comment, the applicant has stated that “the proposed mailbox and package kiosk is sized appropriately to serve all residents of the development.”


F. DRAFT PUD AGREEMENT

The applicant must address any comments provided by staff or the Township Attorney. The current submittal did not include a revised PUD Agreement, so the following comments are carried-over from our previous review letter:

- The revised document references deviations, but does not identify them. Any and all deviations sought must be specifically listed within the Agreement.
- Article VI includes a very general statement regarding maintenance of open space. In our opinion, additional language (such as that noted in Section 10.05.04(b)) should be incorporated into this section.
- Article IV references phasing for the project; however, neither the Conceptual PUD Plan nor the Agreement describe a phased project. If a phased development is proposed, each phase needs to be described in the Agreement and depicted on the Concept Plan.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT


Brian V. Borden, AICP
Michigan Planning Manager



September 7, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Legacy Apartments
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Legacy Apartment Homes conceptual PUD plan and accompanying documents submitted on August 22, 2022. The plans were prepared by PEA Group on behalf of Grand River Dorr, LLC. The site is located on the southeast quadrant of the Grand River Avenue and Dorr Road intersection. The proposed development consists of 204 multi-family units and includes sanitary sewer and water main improvements, on-site storm sewer and detention, and private road improvements. The Petitioner is also proposing to rezone the site from Neighborhood Services District and Medium Density Residential with Town Overlay to High Density Residential and Residential Planned Unit Development. We offer the following comments:

GENERAL

1. The Livingston County Road Commission will need to approve both access drives to the site, and this approval should be provided to Genoa Township prior to final approval.
2. The response letter provided by Grand River Dorr, LLC., dated August 22, 2022, provided modified setbacks on Grand River Avenue and Dorr Road, and referenced communication with the Livingston County Road Commission. Communication with the Road Commission regarding the suitability of the proposed setbacks for future ROW needs should be provided to the Township for their records.
3. The Traffic Impact Study for the proposed development was updated to include the proposed St. Joseph Mercy Hospital expansion, and no additional road improvements were required. The development will increase traffic in the localized area, however, the improvements presented in the traffic study should mitigate the impacts.

DRAINAGE AND GRADING

1. The detention calculations shown on sheet C3.1 should be updated to the new Livingston County Drain Commissioner standards as part of the final site plan submittal. The new standards can be found here: <https://www.livgov.com/drain/Pages/procedures.aspx>.

Ms. Kelly Van Marter
Re: Legacy Apartments
Site Plan Review No. 3
September 7, 2022
Page 2

2. The petitioner is proposing multiple connections to the existing storm sewer on Grand River Avenue. The Livingston County Road Commission will need to approve all proposed connections to their storm sewer system and said approval should be provided to Genoa Township prior to final site plan approval.
3. The Petitioner is proposing grading within the 25-foot wetland setback. This will require a special land use permit or should be addressed in the PUD Agreement.

UTILITIES

1. A utility impact study should be completed by MHOG for the proposed development, as it will account for more than 100 new residential units. The downstream sanitary sewer pump stations have known capacity concerns, and improvements will need to be considered as part of this development.
2. The final site plan should include MHOG standard details, which can be found here: <https://www.mhog.org/newdevelopment/designstandards>.
3. After final site plan approval, the Petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.

Tetra Tech has reviewed the documents and the only issue of concern is the connection of the storm collection system to the public road system. LCRC will need to provide their review and approval for use of their facilities for this added storm drainage. Other than this concern we have no further engineering related issues regarding traffic, water, and sewer utilities that would arise from this change in zoning classification. We recommend the above comments be addressed prior to final site plan approval.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

August 25, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Legacy Apartments PUD
6080 W. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 25, 2022 and the drawings are dated Feb. 22, 2022 with latest revisions dated April 18, 2022. The updated traffic study is dated August 18, 2022, and the revised landscape and setback plans are dated April 18, 2022. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere, lighting, and large canopy trees. A number of trees must be relocated, the species modified, or the road width increased to not overhang the roadways. **(A note was provided to address plantings at final site and construction review on the previous submittal, however the arisit rendering indicates over 400 large canopy trees lining the roadways throughout the development. As they grow and reach full growth, nearly all species will either partially or completely encroach the roadway. Additional consideration shall be made to placement and species, and will require the ownership to include the overhead clearance requirement in the facility maintenance plan.)**

IFC 503.2.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

From: [Eda Biegas](#)
To: [Kelly VanMarter](#)
Subject: Proposed rezoning of parcels 4711-11-300-014 and 4711-14-100-002
Date: Wednesday, July 13, 2022 5:14:15 PM

To the planning committee,

First of all, I want to thank you all for taking into consideration the concerns expressed by the residents of Genoa Township at Monday's meeting.

I understand that eventually the corner of Dorr Road and Grand River will be developed. I am grateful that you are looking at the future traffic issues that are inevitable and the 100 foot setback.

I was hoping that you would also take into consideration the proposed development size. I know that it's financially beneficial for the developer to build as many units as possible on this property but is it too many for the good of the community? Is it really necessary to build two story units? Or to have quite so many units. I ask that you consider a scaling down of the project to help with the traffic not only from this project but for future projects as well.

Thank you for your time,

Eda Biegas

1950 Genoa Cir, Howell, MI 48843

734-751-8154

From: [Brittney Kirby](#)
To: [Kelly VanMarter](#)
Subject: Genoa Re-Zoning
Date: Thursday, July 7, 2022 8:45:36 PM

Hi Kelly,

I saw that there is a public hearing on Monday to discuss rezoning a section of Genoa Township on Dorr Rd and Grand River to allow for 204 apartments to be built. I think it's wonderful that we are looking to build affordable housing options in our township where currently there are few to none. People of every income level should have the right and ability to enjoy everything our beautiful township has to offer. There are a few neighbors who are worried about traffic but as long as that's taken into consideration, I think the benefits far outweigh any concerns.

Thanks again!
Brittney Kirby
Genoa Resident

Sent from my iPhone

From: [Mike Kupfer](#)
To: [Kelly VanMarter](#)
Subject: Dorr Rd Grand River Apartment Proposal .
Date: Thursday, July 7, 2022 9:08:35 PM

Hi Kelly , I am writing to voice my concern and strong opposition to the proposed zoning change allowing a 204 apartment complex at Dorr Rd and Grand River . Adding this complex will further tax the already crowded roads in the area. Please do not make the same mistakes Novi and Wixom did by over developing this beautiful township. I trust the zoning commission will do the responsible thing and deny any zoning changes for the 50 acre parcel. Thank you and as always I am attaching a picture of lake Chemung I took tonight from my deck . This is about 1/8 of a mile from the proposed apartment complex .



Kelly VanMarter

From: Mark Surel <mark@newvintageusa.com>
Sent: Wednesday, July 6, 2022 2:11 PM
To: Kelly VanMarter
Subject: Re: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11
Attachments: 06 Master Plan-Future Land Use - Map.pdf; Zoning Map Sept 2020.pdf

Hi Kelley

Just a quick follow-up. I personally am opposed to apartments over traditional homes and commercial in the current and future plans for a few reasons:

1. The current housing market has driven rental unit prices to extremely high levels pricing many out.
2. I would consider an apartment a "temporary" housing where ownership of the dwelling is not cared for in the same way as a traditional home.
3. What I have witnessed living in other areas that have built apartments, over time apartments rarely hold their value in rent, appearance or quality of tenants.
4. Commercial stores/businesses are a more long-term solution with pride in ownership.

Thanks for your time!

I would oppose this move to HDR in the future at this location as laid out in the draft master plan. I know they have to go somewhere, how about down Herbst?

Mark Surel
3333 Pineridge Ln

Mark Surel
President
NVU INC
ph 248.850.5482
fx. 248.565.8291
www.newvintageusa.com



THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

On Wednesday, July 6, 2022 at 11:15:24 AM EDT, Kelly VanMarter <kelly@genoa.org> wrote:

Mark,

Thank you for your comments and your involvement in the Master Plan process. I will share your email with the Planning Commission.

Just to clarify a few things for you, although the current underlying zoning of the property is neighborhood commercial and medium density residential, the Town Center Overlay zoning would control if there was any new development proposed (see Section 9.02.03). The existing master plan designation for the property is for Town Center District. The Town Center district allows up to 14 units per acre by right or 28 units per acre with special land use. It also would allow commercial uses. The proposed project is for 6.23 units per acre which is significantly less dense than the current overlay zone and master plan. I know the overlay is confusing so I just wanted to share this with you.

Lastly, in the current draft plan of the Master Plan, the property is designated as high density residential and mixed use which would allow for multi-family dwellings.

Please let me know if you have any questions.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: Mark Surel <mark@newvintageusa.com>
Sent: Tuesday, July 5, 2022 5:10 PM
To: Kelly VanMarter <Kelly@genoa.org>
Subject: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11

Hi Kelly

Thank you for taking moment to review and distribute my letter to the planning commission. The meetings I have been at have been enlightening with the level of detail the commission has been working on the Master Plan. Its a great plan to use as a roadmap for the future of the township; I do realize that things may need to change as times change.

My reason for reaching out is I wanted to let the commission know my opinion on the zoning change request for the acreage at Grand River/Dorr Rd to change from MDR to HDR. I do see why it would be prime real estate in that location, HDR will increase the profitability of the developer with advantages that I cannot see for the *current* residents of Genoa Township.

I oppose the change for several reasons:

1. The high density apartments do not seem to fit in the overall countryside/rural vision/appeal of the area
2. Traffic at that intersection is already getting bad, adding 204 apartments will only worsen the growing issue
3. We as residents should never "trade down". Going from houses to apartments seems to me a trade-down, we should always be trading up.
4. The planning commission has done a great job and worked really hard setting up zones for each type of use and we should try our best to stay with the plan, especially in a high visibility area as that location.

Thank You

Mark Surel

3333 Pineridge Ln

Mark Surel
President
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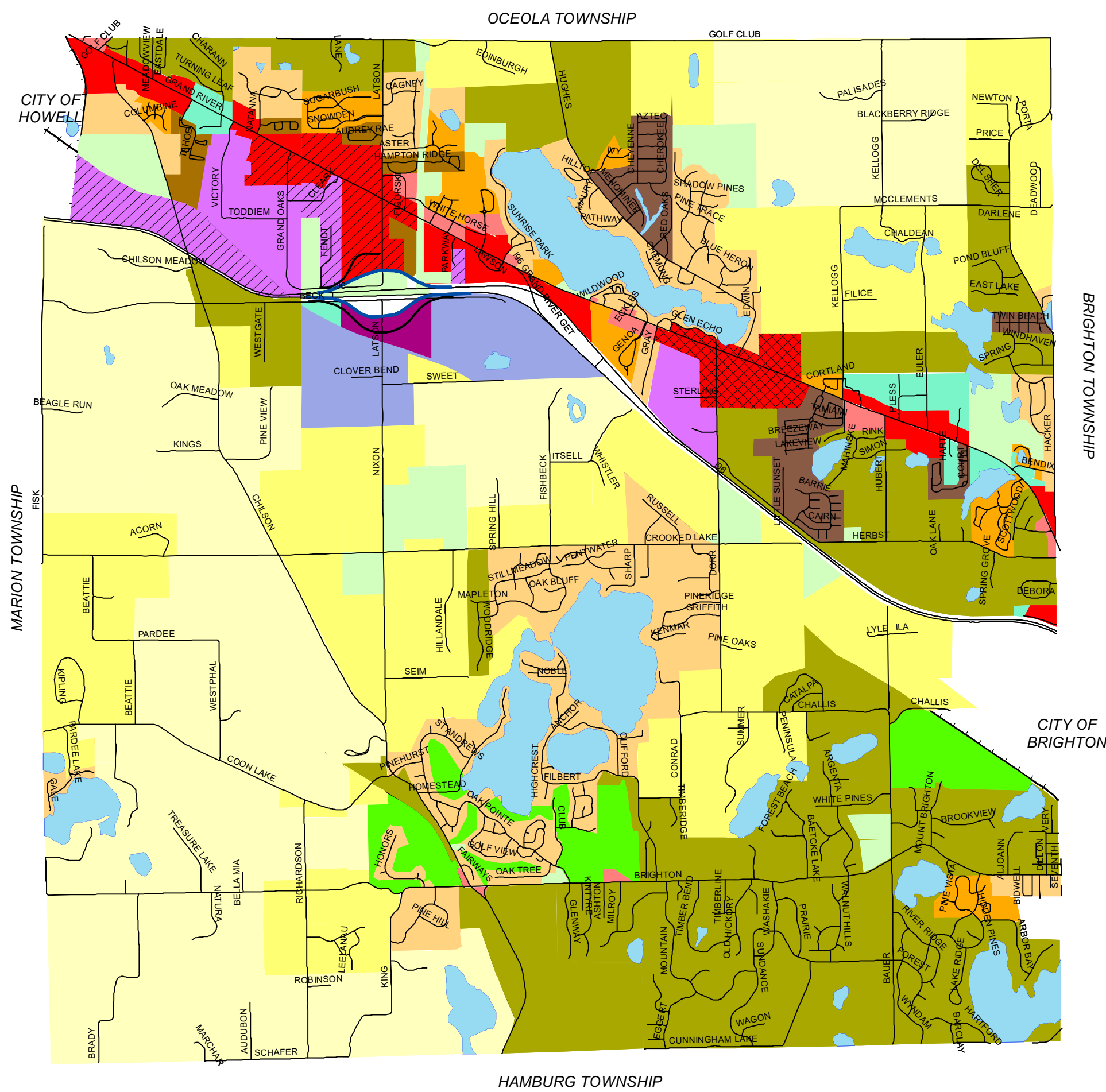


THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

MAP 7

Future Land Use

Master Plan Update
Genoa Township
Livingston County, MI



- AGRICULTURE/COUNTRY ESTATE - 5 acres per unit
- LARGE LOT RURAL RESIDENTIAL - 2 acres per unit
- LOW DENSITY RESIDENTIAL - 1 acre per unit
- SMALL LOT SINGLE FAMILY RESIDENTIAL - 2 to 3 units per acre
- MEDIUM DENSITY RESIDENTIAL - 5 units per acre
- HIGH DENSITY RESIDENTIAL - 8 units per acre
- MANUFACTURED HOUSING
- NEIGHBORHOOD COMMERCIAL
- GENERAL COMMERCIAL
- REGIONAL COMMERCIAL
- MIXED-USE TOWN CENTER
- OFFICE
- INDUSTRIAL
- RESEARCH AND DEVELOPMENT
- PUBLIC/INSTITUTIONAL/UTILITIES
- PRIVATE RECREATION
- INTERCHANGE CAMPUS
- INTERCHANGE COMMERCIAL

December 2015



Sources: MCGI, Livingston County, Genoa Twp



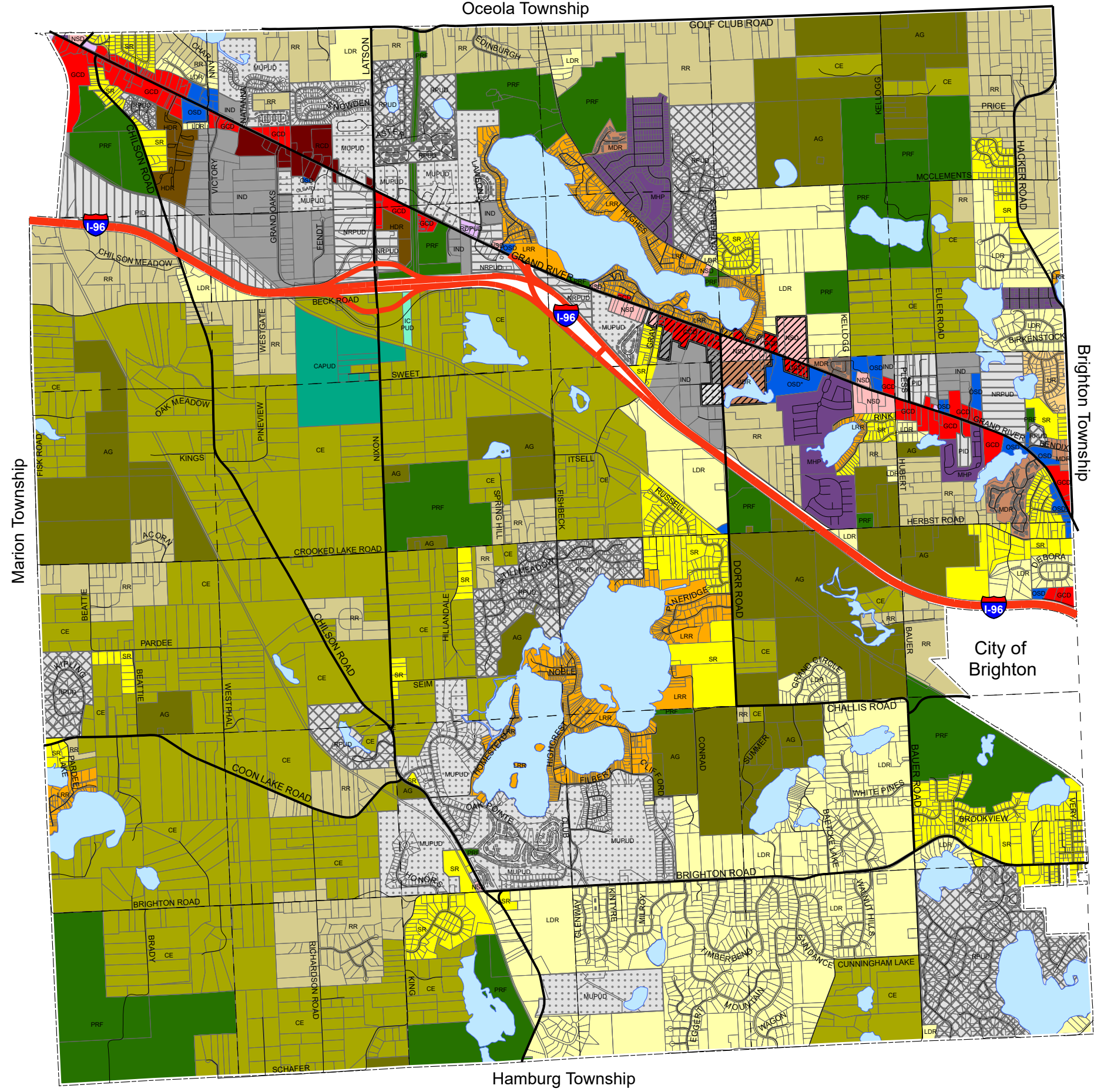
Zoning Map

Genoa Charter Township

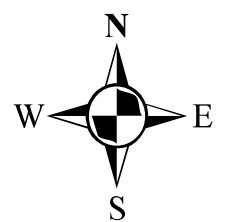
Livingston County, Michigan

Legend

	AG		GC
	CE		NS
	RR		OS
	LDR		NRPUD
	SR		IND
	LRR		PID
	UR		PRF
	MDR		MUPUD
	HDR		RDPUD
	RPUD		Town Center
	MHP		CAPUD
	RC		ICPUD



- Updates:
- 04/11/08 - Multiple Revisions (42 parcels)
 - 09/12/08 - 4489 & 4495 Oak Pointe Drive (LRR)
 - 02/25/11 - United Way Conditional Rezoning (OSD)
 - 08/06/12 - 7777 Bendix Rezoning (OSD)
 - 10/2/12 - Corrected Map re. court stipulation for Pet Ritz from 05/18/2006 (AG)
 - 11/29/12 - Corrected Map re. Zeeb property approved 3/15/04 (MUPUD)
 - 01/07/13 - Dakota (14-100-014) Conditional Rezoning (OSD)
 - 10/10/13 - Corrected Map re. (29-200-036) - was rezoned 8/18/03 (RPUD)
 - 11/13/14 - Removed Lucy Rd 425 Area, Rezone Latson Elementary (09-100-036;RR-NRPUD), Correct Brighton Lake Rd. Error (RPUD-LDR)
 - 05/04/15 - Red Olive (05-400-025) to NRPUD
 - 06/10/15 - Chestnut Landing Rezoning (GCD/TC to GCD)
 - 9/12/15 - Cleary University Rezone to MUPUD
 - 03/27/16 - Lakeshore Village (06-400-015) from MDR to HDR
 - 09/18/16 - Oliveto Rezone (12-100-007,008,010-013) RR & PRF to CE
 - 06/17/18 - Filmore Park Rezoning (PRF)
 - 08/31/18 - Chestnut Springs Rezoning (LDR)
 - 05/12/19 - Birkenstock Self Storage Rezoning (PID)
 - 07/19/20 - Premier PUD Rezoning (RDPUD)
 - 08/02/20 - Blble Baptist Rezoning (LDR)
 - 08/16/20 - Versa S. Latson Rezoning (CAPUD & ICPUD)



1 inch = 3,500 feet

Kelly VanMarter

From: Mark Surel <mark@newvintageusa.com>
Sent: Tuesday, July 5, 2022 5:10 PM
To: Kelly VanMarter
Subject: GRAND RIVER/DORR RD ZONING CHANGE REQUEST MEETING 7/11

Hi Kelly

Thank you for taking moment to review and distribute my letter to the planning commission. The meetings I have been at have been enlightening with the level of detail the commission has been working on the Master Plan. Its a great plan to use as a roadmap for the future of the township; I do realize that things may need to change as times change.

My reason for reaching out is I wanted to let the commission know my opinion on the zoning change request for the acreage at Grand River/Dorr Rd to change from MDR to HDR. I do see why it would be prime real estate in that location , HDR will increase the profitability of the developer with advantages that I cannot see for the *current* residents of Genoa Township.

I oppose the change for several reasons:

1. The high density apartments do not seem to fit in the overall countryside/rural vision/appeal of the area
2. Traffic at that intersection is already getting bad, adding 204 apartments will only worsen the growing issue
3. We as residents should never "trade down". Going from houses to apartments seems to me a trade-down, we should always be trading up.
4. The planning commission has done a great job and worked really hard setting up zones for each type of use and we should try our best to stay with the plan, especially in a high visibility area as that location.

Thank You

Mark Surel
3333 Pineridge Ln

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President
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fx. 248.565.8291
www.newvintageusa.com



THE ORIGINAL PERIOD STYLED AND THEMED INSTRUMENTS MADE IN DETROIT

From: [Judith Workman](#)
To: [Kelly VanMarter](#)
Subject: Proposed zoning change
Date: Tuesday, July 5, 2022 8:25:51 PM

Hello,

Unfortunately, I will be out of town on 7/11 for the meeting where this proposed change is to be considered. Please share with all board members that I am vehemently opposed to this change as it, again, goes against the master plan. The proposed area is currently zoned for medium density. I have no idea why a high density change would even be considered except for financial gain, which is absolutely the wrong reason!

Our township is beautiful! Adding in high density areas will not continue the current attractiveness that all enjoy.

I find it disturbing that the board continues to look at zoning changes that are not in accordance with the master plan. Hopefully they will realize that the majority of residents live here BECAUSE the area is not high density.

Sincerely,
Judith Workman
5730 Pineridge Lane
Brighton, MI 48116

Sent from my iPad

GRAND RIVER DORR LLC

DBA

THE LEGACY APARTMENT HOMES

OWNER:

GRAND RIVER DORR LLC

PREPARED BY: MARK KASSAB

31550 NORTHWESTERN, STE 220

FARMINGTON HILLS, MI 48334

248-865-0066

THE LEGACY APARTMENT HOMES

CONCEPTUAL PUD SITE PLAN

APPLICATION & COMMUNITY IMPACT STATEMENT

COMMUNITY IMPACT STATEMENT

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COMMUNITY IMPACT STATEMENT

- 1.0 General Project Information**
 - 1.1 Project Overview**
 - 1.2 Master Plan Analysis**
 - 1.3 Surrounding Uses**

- 2.0 Community and Facilities Services**
 - 2.1 Police and Fire Demand**
 - 2.2 Utilities**
 - 2.3 Stormwater Management**

- 3.0 Economics**
 - 3.1 Tax Revenues Analysis**
 - 3.2 Job Analysis**

- 4.0**
 - 4.1 Natural resources Analysis**
 - 4.2 Hazardous Materials**
 - 4.3 Air Quality Impact**
 - 4.4 Groundwater Impact**
 - 4.5 Noise**

- 5.0 Traffic**

- 6.0 Development Statement**

SECTION 1: GENERAL PROJECT INFORMATION

1.1 Project Overview

The Legacy Apartment Homes is a proposed residential community consisting of 204 attached apartments with an associated clubhouse and pool. The project shall include open space and other elements as set forth in this Agreement and the PD plan. The project will include approximately 29 acres of total open space. This site is currently vacant and is zoned Neighborhood Services District (NSD) and Medium Density Residential (MDR) with Town Overlay and currently petitioning to be rezoned to High-Density Residential (HDR), and Residential Planned Unit Development (RPUD).

The proposed land use consists of multi-family apartment homes. The project will have 3.92 units per acre based on 52 +/- gross acreage and 6.23 units per acre based on 32.77 net acreage. The proposed development will be compatible with past planning efforts and therefore the infrastructure is present to support it. The township services planned for this area will not be overtaxed by the development.

Unit counts and densities for the proposed The Legacy Apartment Homes are as follows:

204 Multi-Family Dwelling Units (51 gross Acres/33 Net Acres):

3.92	DU/Gross Acre
6.23	DU/Net Acre

1.2 Master Plan Analysis

- **Value communities and neighborhoods** – The Legacy Apartment Homes will be an exclusive neighborhood community targeting demographics of multiple ages. The development will focus on quality building materials and attention to architecture details. This location is well located between Brighton and Howell where downtown shopping and restaurants are available as well as the Genoa retail and restaurant area at Latson and Grand River.
- **Walkable neighborhoods** – In addition to sidewalk proposed on both sides of the planned internal roadways, the development will also have a system of pathways within the extensive open space areas.

- **Variety of recreational facilities** – The Legacy Apartment Homes proposes a successful development area reaching various age demographics that seek amenities, less maintenance, nature preservation and convenience to restaurants and shopping. sidewalks and interconnectivity within the community, dog park, gazebo, EV Charging Stations throughout, benches, clubhouse, Amazon Hub station, pool and fitness center consisting of a Yoga room, business center, dog wash to accommodate residents of all ages, interests, and physical abilities.

Refer to the Conceptual PUD for additional information of the neighborhood layout and representative architectural details.

1.3 Existing Surrounding Uses

As shown within the attached zoning map, the existing surrounding uses for the subject site are uses of varying densities. These existing uses are as follows:

- **North:** GCD- General Commercial District
- **East:** OSD
- **West:** Industrial
- **South:** Rural Residential

SECTION 2: COMMUNITY AND FACILITY SERVICES

2.1 Police and Fire Demand

The Livingston County Sheriff in addition to the Michigan State Police will be providing Public Safety services required to accommodate the proposed use.

The Brighton Area Fire Department, as part of an existing Governmental agreement will provide fire protection services. There will be numerous fire hydrants located on the subject property. Fire Department Connections (FDC's) will be located on each building in addition to the buildings having an internal fire suppression system. Station 34 on Dorr Road is located approximately ¼ mile away from the subject property.

The property is accessed from Grand River and Dorr Road. Both entrances are designed to accommodate emergency vehicle access.

A fiscal impact statement is prepared and attached to the CIS to determine the annual tax revenue. The additional net annual tax revenue at full buildout will be approximately \$836,662. The additional tax revenues are in addition to the one-time utility connection charges in the amount of \$3,080,400.

2.2 Utilities

Utility services will be provided by existing public water and sewer systems in the area. The development proposes a total of 204 apartment unit connections to the existing public utilities. We estimate an average daily usage of 36,500 gallons per year per person with an annual usage of approximately 19,000,000 gallons per year.

All utility lines, structures, and trenches shall be constructed in accordance with the standards and requirements of Genoa Township, the Livingston County and MDOT. All hydrants will be a minimum of 4.5' from back of curb.

Water main connections to the existing mains will be completed to provide for a looped system in accordance with the Township standards and placed within public easements. The proposed site water mains will be 8" in diameter and placed in public easements, and will connect to the existing 12" main on Dorr Road 16" main on Grand River Rd.

Site Storm sewer will be privately owned and designed to convey runoff to appropriately sized stormwater management facilities.

2.3 Stormwater Management

Stormwater management for quality treatment and flood storage will be provided in proposed detention basin optimally located at the southeast corner of Grand River and Dorr Road. These basin will be designated and approved in accordance with Livingston County Drain Commission standards to accommodate the 100-year frequency storm runoff from the proposed development.

LEGEND

DETENTION BASIN CALCULATIONS POND 1:
(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	13.40	acres		
Parking and Road	=	3.99	acres	C1 = 0.90	
Sidewalks Pool and Deck	=	1.18	acres	C2 = 0.90	
Buildings	=	2.78	acres	C3 = 0.90	
Grass/Landscape Area	=	5.37	acres	C4 = 0.25	
Wet Pond Surface	=	0.17	acres	C5 = 1.0	
Compound Run-off Coefficient, C	=	0.64			
Design Constant, K = A°C	=	8.58			
Allowable Outflow Rate, Qo	=	0.2 cfs/acre			
	=	2.68	CFS		

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (In/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2,750	23,584	804	22,780
10	600	7.86	4,714	40,430	1,608	38,822
15	900	6.88	6,188	53,084	2,412	50,672
20	1200	6.11	7,333	62,861	3,216	59,645
30	1800	5.00	9,000	77,184	4,824	72,360
60	3600	3.24	11,847	99,885	9,648	90,237
70	4200	2.89	12,158	104,266	11,256	93,010
80	4800	2.62	12,571	107,813	12,864	94,949
90	5400	2.39	12,913	110,742	14,472	96,270
120	7200	1.90	13,655	117,107	19,296	97,811
140	8400	1.67	14,000	120,064	22,512	97,552
145	8700	1.62	14,074	120,695	23,316	97,379

Detention Volume Required for 100-yr Storm Event = 97,811 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 4,891 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
978	30,451		
977	29,594	28,066	116,489
976	26,537	25,041	89,424
975	23,543	22,101	63,363
974	20,696	18,877	44,282
973	17,097	15,477	22,406
972	13,857	6,929	6,929
971			0

Storage Volume Provided = 116,489 CF

Volume Provided in Sediment Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
975			7,877
974	5,006	4,458	
973	3,510	3,419	
972	2,527		

Sedimentation Volume Provided = 7,877 CF

TOTAL VOLUME PROVIDED = 124,366

DETENTION BASIN CALCULATIONS (POND 2):
(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	10.47	acres		
Parking and Road	=	2.85	acres	C1 = 0.90	
Sidewalks	=	0.53	acres	C2 = 0.90	
Buildings	=	2.20	acres	C3 = 0.90	
Grass/Landscape Area	=	4.89	acres	C4 = 0.25	
Compound Run-off Coefficient, C	=	0.60			
Design Constant, K = A°C	=	6.24			
Allowable Outflow Rate, Qo	=	0.2 cfs/acre			
	=	2.09	CFS		

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (In/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2,750	17,172	628	16,544
10	600	7.86	4,714	29,438	1,256	28,182
15	900	6.88	6,188	38,638	1,885	36,753
20	1200	6.11	7,333	45,793	2,513	43,280
30	1800	5.00	9,000	56,201	3,769	52,432
60	3600	3.24	11,647	72,730	7,538	65,192
70	4200	2.89	12,158	75,920	8,795	67,125
80	4800	2.62	12,571	78,302	10,051	68,251
90	5400	2.39	12,913	80,636	11,306	69,330
120	7200	1.90	13,655	85,270	15,077	70,193
140	8400	1.67	14,000	87,423	17,500	69,923
145	8700	1.62	14,074	87,882	18,218	69,664

Detention Volume Required for 100-yr Storm Event = 70,193 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 3,510 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
990.5			
979.5	34,968	32,571	80,267
978.5	30,174	27,959	47,666
977.5	25,743	19,737	19,737
976.5	13,731		0

Storage Volume Provided = 80,267 CF

Volume Provided in Sediment Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
979.5	4,641	3,929	6,537
978.5	3,217	2,608	
977.5	1,999	0	

Sedimentation Volume Provided = 6,537 CF

TOTAL POND VOLUME PROVIDED 86,804

SECTION 3: ECONOMICS

3.1 Tax Revenue Analysis

A fiscal impact analysis was prepared to determine the anticipated annual tax revenue to be generated as a result of the development. Based on this analysis, we anticipate Legacy Apartment Homes will have a taxable value of approximately \$22,950,000 and will generate an annual revenue gain of approximately \$911,139. Currently the property is generating \$24,659 in annual taxes.

3.2 Jobs Created

Legacy Apartment Homes will be a residential development. Legacy Apartment Homes will create 100 +/- construction jobs during the installation of the infrastructure and the building of the apartment buildings on the site. In addition,

The Legacy Apartments will employ 5-6 permanent leasing and maintenance staff.

Refer to **Exhibit A** for the Fiscal Impact Analysis Calculations

SECTION 4: ENVIRONMENT

4.1 Natural Resources Analysis

The proposed development is approximately 52 acres. The development will preserve natural features and provided common open space opportunities for the residents, including walking trails, a community building and swimming pool. The site is constrained by regulated wetlands to the South and Southeast portion of the property. The area of proposed development is primarily vacant farmed land with minimal to no tree removal required.

Storm water runoff for the site will be detained and treated in accordance with applicable Township, County and State requirements prior to discharge from the site. No significant impact or pollution to offsite water bodies is anticipated with the development.

The proposed development will seek to preserve existing wooded areas around the perimeter of the development where grading would allow, to serve as a buffer between the development and neighboring properties. New trees will be planted in the proposed development in accordance with an approved Landscaping Plan.

4.2 Hazardous Materials

No hazardous materials are planned to be manufactured, used, or stored on site.

4.3 Air Quality Impact

Legacy Apartment Homes is a residential development that does not plan to have any significant impact to the air quality of the area. No quantifiable type or quantities of pollutants are expected to be released in the air. During construction, special measures will be included within the Soil Erosion and Sedimentation (SESC) Plan to mitigate any potential dust creation during dryer site conditions, including the use of water trucks.

4.4 Groundwater Impact

Legacy Apartment Homes is a residential development that will utilize connections to the existing public utilities in the area. The development fits within

the master planned unit density for the area and does not plan to have any significant impact to the groundwater levels within the area.

4.5 **Noise**

Legacy Apartment Homes is a residential development that does not plan to have any significant impact to the increased noise in the area. During construction, the development intends to minimize noise as reasonable and follow the Township's ordinance regarding hours of allowed construction operation.

SECTION 5: TRAFFIC

Legacy Apartment Homes is a residential project consisting of a multi-family dwelling units that are proposed to have access off Grand River Road in addition to Dorr Road. The main access to the community will be from Grand River Road which is a State Road. There is a secondary access off Door Road.

A Traffic Impact Study (TIS) has been prepared by Rowe Engineering in accordance with the Township Ordinance. The report was completed in accordance with the requirements specified by the Michigan Department of Transportation (MDOT), the Road Commission for Oakland County (RCOC), and Genoa Township.

A copy of the TIS attached as **Exhibit B**.

DEVELOPER'S STATEMENT

After a five decades of residential building in Michigan, MJC Companies® is proud to be one of the state's largest privately-owned and operated builders, as well as one of the top 100 builders in the nation. Since 1972, the company has garnered a reputation of value and innovation with single-family homes and condominiums that offer a carefree lifestyle in desirable neighborhoods.

And that reputation still holds true today. With deep roots in an array of communities in Livingston, Macomb, Oakland and Wayne counties, MJC Companies® is excited to be a part of Michigan's rich history and is confident in the future of the state and dedicated to the families who live here.

Specializing in new construction, MJC Apartment homes and condominiums offer a wide choice of locations, flexible floor plans, and an abundance of the most desired amenities within pleasant communities including some with pools, walking trails and ponds.

MJC Companies® looks forward to enduring its longstanding presence in Southeast Michigan as it continues to develop communities of choice for generations to come.

Charities, Sponsorships & Clubs

- [Alzheimer's Association](#)
- [Building Industry Association - Charitable and Education Foundation](#)
- [Capuchin Soup Kitchen](#)
- [Cardinal Mooney Catholic High School](#)
- [Children's Charities at Adios](#)
- [Club Calabria](#)
- [Club Terrasini](#)
- [Club Di Santa Fara](#)
- [De La Salle Collegiate High School](#)
- [Fraternal Order of Police](#)
- [Interfaith Volunteer Caregivers](#)
- [Italain American Culture Society](#)
- [Karmanos Cancer Institute](#)
- [Mackinac Island Historical Preservation](#)
- [March of Dimes](#)
- [Men of the Sacred Heart](#)
- [Michigan Historical Society](#)
- [Mat Gaberty Heart Fund](#)
- [Macomb Foundation](#)
- [Mt. Clemens General –Board Member](#)
- [Mt. Clemens Regional Oncology](#)
- [Multiple Sclerosis Foundation](#)
- [MPURE – Department of Urology at William Beaumont Hospital](#)
- [Muscular Dystrophy Association](#)
- [National Italian American Foundation](#)
- [Northville Park & Recreation](#)
- [Nothdurft Pediatric Endowment](#)
- [Special Olympics](#)
- [St. John Health Foundation](#)
- [St. John Hospital Guild](#)
- [St. Lawrence Athletics](#)
- [St. Louis Center– \(helping to raise, \\$800,000 dollars in the last 10 years\)](#)
- [Utica Community Schools](#)
- [USC Shoah Foundation](#)

EXHIBIT A

FISCAL IMPACT STATEMENT

**The Legacy Apartments Homes - 204-Unit Community
Fiscal Impact**

Property Development

Property Tax Revenue

Housing Type	Market Value Per Unit	State Equalized Value Per Unit	Taxable Value Per unit	Total Units	Estimated Market Value	Estimated Taxable Value
Apartment Homes	\$ 225,000	\$ 225,000	\$ 112,500	204	\$ 45,900,000	\$ 22,950,000
				<u>204</u>		<u>\$ 22,950,000</u>

	Current Millage Rate	Estimated Taxable Value	Tax Generated
SUMMER TAX REVENUE GENERATION			
State Ed Tax	6.0000	\$ 22,950,000	\$ 137,700
County Tax	3.2391	\$ 22,950,000	\$ 74,337
HO School Oper	18.0000	\$ 22,950,000	\$ 413,100
HO School Debt	2.7500	\$ 22,950,000	\$ 63,113
Livingston ISD	3.2315	\$ 22,950,000	\$ 74,163
BR Fire Auth	0.8733	\$ 22,950,000	\$ 20,042
WINTER TAX REVENUE GENERATION			
County Ambulance	0.2863	\$ 22,950,000	\$ 6,571
HCMCA-Parks	0.2089	\$ 22,950,000	\$ 4,794
Veterans Relief	0.1127	\$ 22,950,000	\$ 2,586
Genoa Alloc	0.7855	\$ 22,950,000	\$ 18,027
HO School Debt	2.7500	\$ 22,950,000	\$ 63,113
HO Library	1.0382	\$ 22,950,000	\$ 23,827
BR Fire Auth	1.5000	\$ 22,950,000	\$ 34,425
Total Estimated Annual Revenue from Property Taxes			\$ 935,798
			<u>\$ 24,659</u>
Less Current Property Tax Revenue Generation			<u>\$ 911,139</u>
Total Net annual Revenue from Property Taxes			

Estimated Residents

Land Use	Units	Unit Factor Per Us Census	Projected Population
Residential	204	2.55	<u>520</u>

Utility Revenue

Water and Sewer Capital Connection Fee	Water Capital Fee	Sewer Capital Fee	Total Capital Charges	Total Units	Total Estimated Fee
Building Type					
Units	\$ 7,900.00	\$ 7,200.00	\$ 15,100	204	\$ 3,080,400
Total Estimated Connection Fee		(Fees per. DPS)		204	\$ 3,080,400

Annual Water/Sewer Usage Fees	Estimated Population	Annual Usage (Gal); Assume 36,500 gal/yr/person	Usage fee/1000 Gal.	Total Estimated Fees
Apartments	520	18,987,300	\$11.28	\$ 214,177
		Annual Water Usage Fees		\$ 214,177
Total Utility-Related Fees				\$ 214,177

Township Expenditures Per Budget

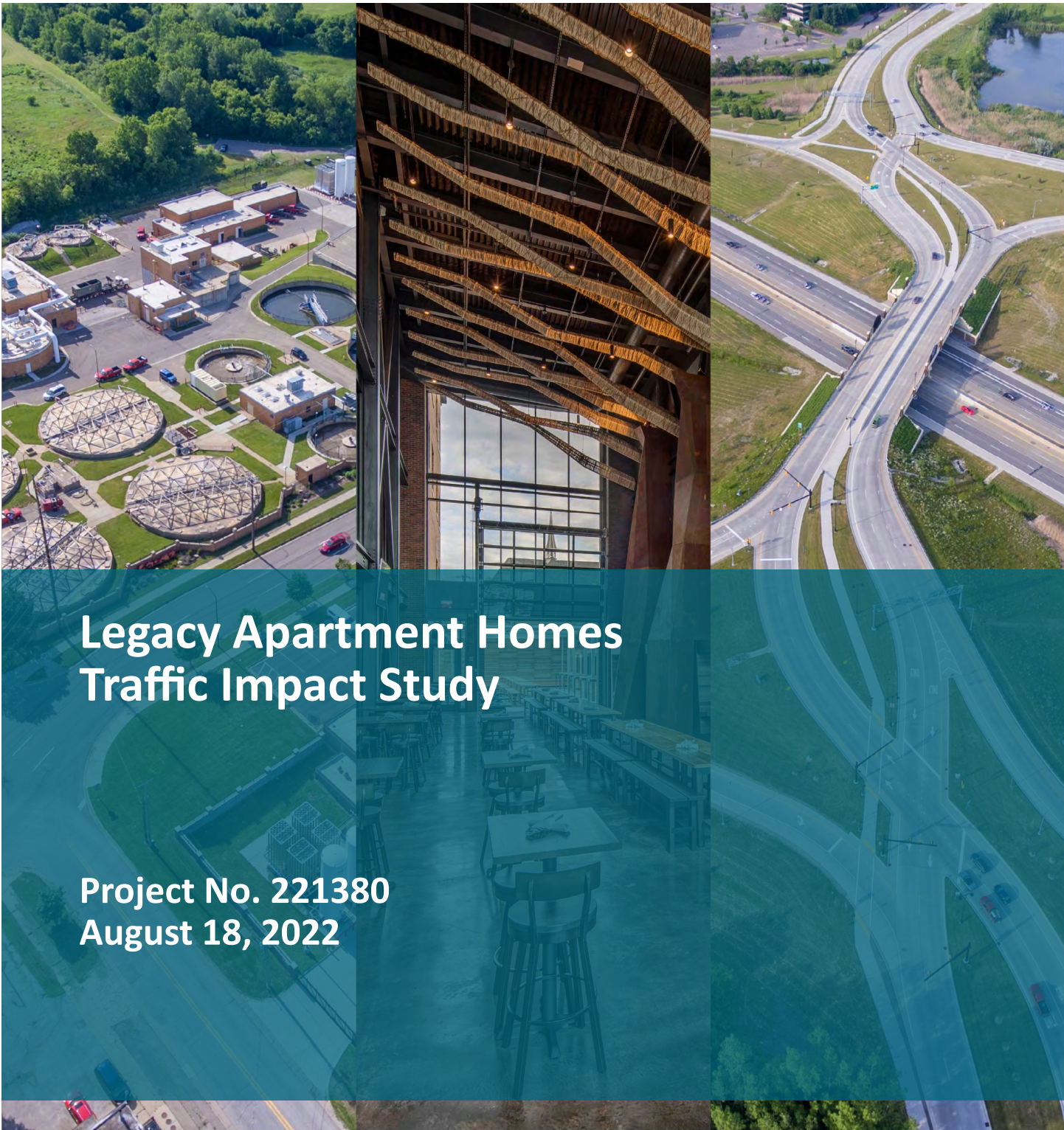
Total Expenditures - 2022 Budget (per Genoa.org)	\$ 6,412,166
Township Population (per 2020 SEMCOG)	<u>20,692</u>
Township Expenditures Per Resident	\$ 309.89

	# Residents	Expenditure per Resident	Total
Total Annual Expenditures for Legacy Apartment	520	\$ 309.89	\$ 161,202.82

The Legacy Apartment - One-Time Utility Connection Revenue	\$ 3,080,400
The Legacy Apartment - Annual Revenue Gain (Loss)	\$ 964,113

EXHIBIT B

TRAFFIC IMPACT STUDY



Legacy Apartment Homes Traffic Impact Study

Project No. 221380
August 18, 2022

Legacy Apartment Homes Traffic Impact Study

**Prepared For:
Grand River Dorr LLC
Farmington Hills, Michigan**

**August 18, 2022
Project No. 221380**

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- Appendix 7 – Future LOS Output Reports

Appendices are excluded to reduce the packet size. Township staff has the full study with all appendices on file which will be provide upon request.
- K. VanMarter

List of Abbreviations/Acronyms

AASHTO	American Association of State Highway and Transportation Officials
HCM	Highway Capacity Manual
ITE	Institute of Transportation Engineers
LOS	Level of Service
LUC	Land Use Code
LCRC	Livingston County Road Commission
NB	Northbound
SB	Southbound
SEMCOG	Southeast Michigan Council of Governments
TDMS	Transportation Data Management System
TIS	Traffic Impact Study
TMC	Turning Movement Count
Township	Genoa Township
TWLTL	Two-Way Left Turn Lane
WB	Westbound

References

The Highway Capacity Manual, 6th Edition. (2016). Washington, DC.
The Highway Capacity Manual: 2000. (2000). Washington, DC.
Trip Generation Handbook, 3rd Edition. (2017). Washington DC.
Trip Generation Manual, 11th Edition. (2021). Washington DC.

Executive Summary

Fishbeck has completed a traffic impact study (TIS) related to the development of Legacy Apartment Homes located in the southeast quadrant of Grand River Avenue and Dorr Road in Genoa Township, Livingston County, Michigan. The vacant lot is proposed to be developed into multifamily residential with 204 dwelling units (DU) proposed. The development will be open and fully operational in 2025.

The proposed site plan includes a driveway on Grand River Avenue that will be the south approach of the signalized intersection of Grand River Avenue and Hughes Road and a driveway on Dorr Road that will be the east approach of the unsignalized intersection of Dorr Road and Sterling Drive.

This study was conducted according to the methodologies and guidance published by Institute of Transportation Engineers (ITE), American Association of State Highway and Transportation Officials (AASHTO), Livingston County Road Commission (LCRC) and Genoa Township (Township).

Vehicular, Turning Movement Counts (TMCs) were collected at the study intersections on December 14, 2021, during the weekday a.m. (7 a.m. to 9 a.m.) and p.m. (4 p.m. to 6 p.m.) time frames of the roadway network. Due to the impact of COVID-19, historical traffic data from the Southeast Michigan Council of Governments (SEMCOG) website was reviewed. Based on this review, an adjustment factor of 1.16 and 1.11 was determined for the a.m. and p.m. peak hours, respectively to adjust the completed TMCs to "Pre-COVID-19 levels".

There is one known project in the site vicinity that could add additional traffic volumes to the study network. The following development was included:

- St. Joseph Mercy Brighton Health Center Expansion.

Site-generated traffic was forecast using the information and methodologies specified in the latest version of Trip Generation, Trip Generation Manual, 11th Edition, 2021. The existing traffic volumes, site layout, and engineering judgement were used to develop a trip distribution model for the a.m. and p.m. peak hours for the new traffic generated by the proposed development. Additionally, directions of origin, surrounding residential densities, and commuting patterns were considered.

Level of Service (LOS) analyses were conducted for existing, background, and total future conditions based on Highway Capacity Manual (HCM) 6th Edition, methodologies using Synchro traffic analysis software. Synchro network models were also simulated using SimTraffic to evaluate network operations including intersection queueing.

Based on findings of the HCM operational analyses and site traffic generation, the proposed development, including trips generated by the expansion of the St. Joseph Mercy Brighton Health Center, will not result in any significant impact to the adjacent road network. No improvements to the roadway network are proposed.

The opinions, findings, and conclusions expressed in this TIS are those of Fishbeck and not necessarily those of the Owner/Applicant, LCRC, or Genoa Township.

Prepared By:



Jill Bauer, PE, PTOE
Project Manager – Fishbeck

1.0 Introduction

1.1 Project Overview

On behalf of Grand River Dorr LLC, Fishbeck has conducted a traffic impact study (TIS) related to the development of Legacy Apartment Homes located in the southeast quadrant of Grand River Avenue and Dorr Road in Genoa Township (Township), Livingston County, Michigan. The vacant lot is proposed to be developed into multifamily residential with 204 DU's proposed. The development will be open and fully operational in 2025.

The proposed site plan includes a driveway on Grand River Avenue that will be the south approach of the signalized intersection of Grand River Avenue and Hughes Road and a driveway on Dorr Road that will be the east approach of the unsignalized intersection of Dorr Road and Sterling Drive.

The project location and study intersections are indicated in Figure 1 – Project Location and Study Network.

Figure 1 – Project Location and Study Network



1.2 Study Methodology

The objectives of this TIS were to determine what impacts, if any, the proposed project will have on adjacent roadway traffic operations, and to develop recommendations for any improvements necessary to mitigate the project impacts on the studied intersections. Study analyses were completed relative to typical weekday a.m. and p.m. peak traffic periods.

This study was conducted according to the methodologies and guidance published by Institute of Transportation Engineers (ITE), American Association of State Highway and Transportation Officials (AASHTO), Livingston County Road Commission (LCRC) and the Township.

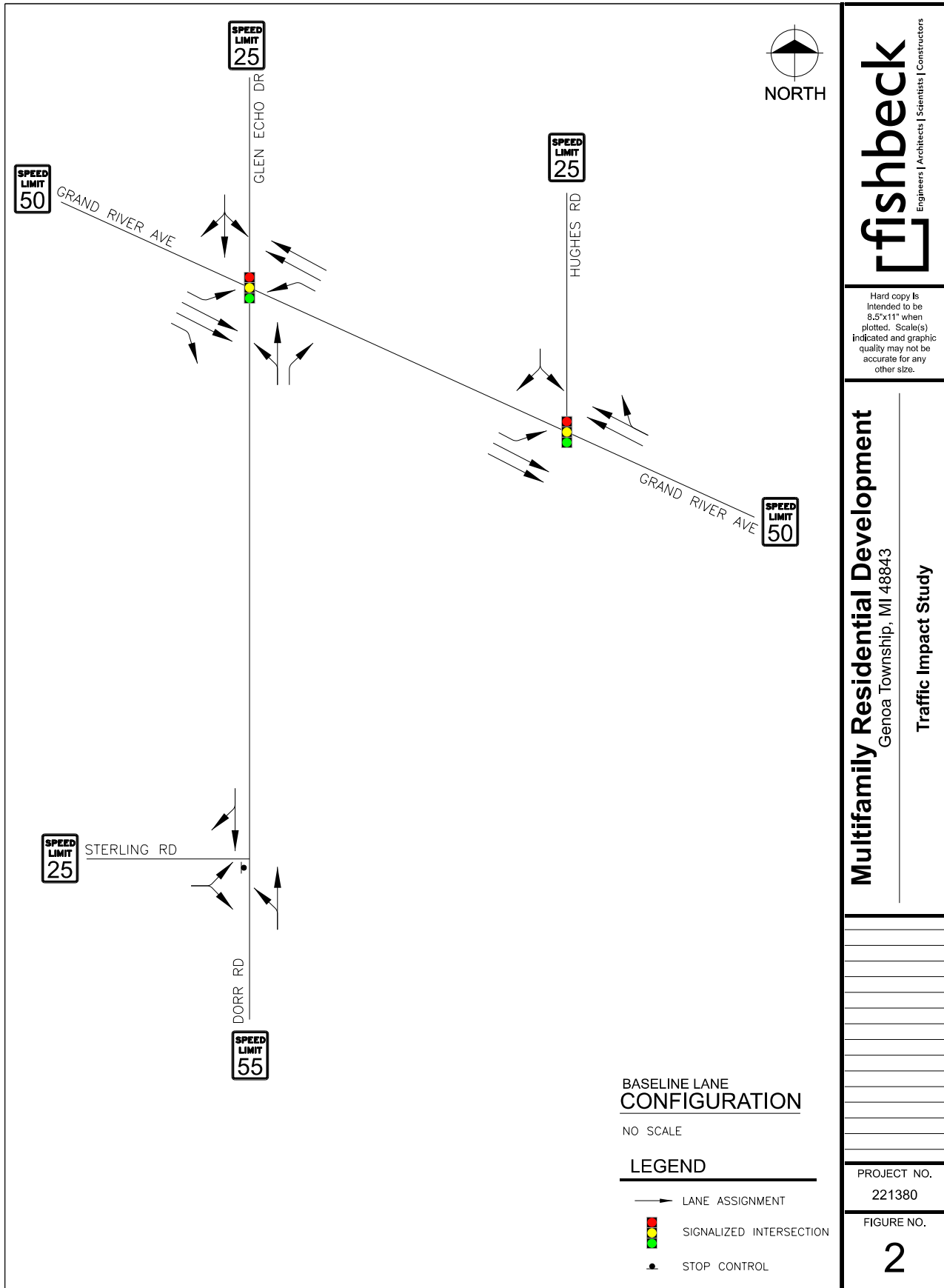
1.3 Intersection Characteristics

Based on the type and size of the proposed development, input from LCRC, and the likely area of influence for the site trips, traffic operations were analyzed for the following intersections:

1. Grand River Avenue and Dorr Road/Glen Echo Drive (signalized).
2. Grand River Avenue and Hughes Road/Driveway 1 (signalized).
3. Dorr Road and Sterling Drive/Driveway 2 (unsignalized).

The existing intersection lane configurations, traffic controls, and posted speed limits are indicated in Figure 2 – Existing Lane Configurations.

Figure 2 – Existing Lane Configurations




 Engineers | Architects | Scientists | Constructors

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Multifamily Residential Development
 Genoa Township, MI 48843
Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
2

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1.4 Existing Traffic Volumes

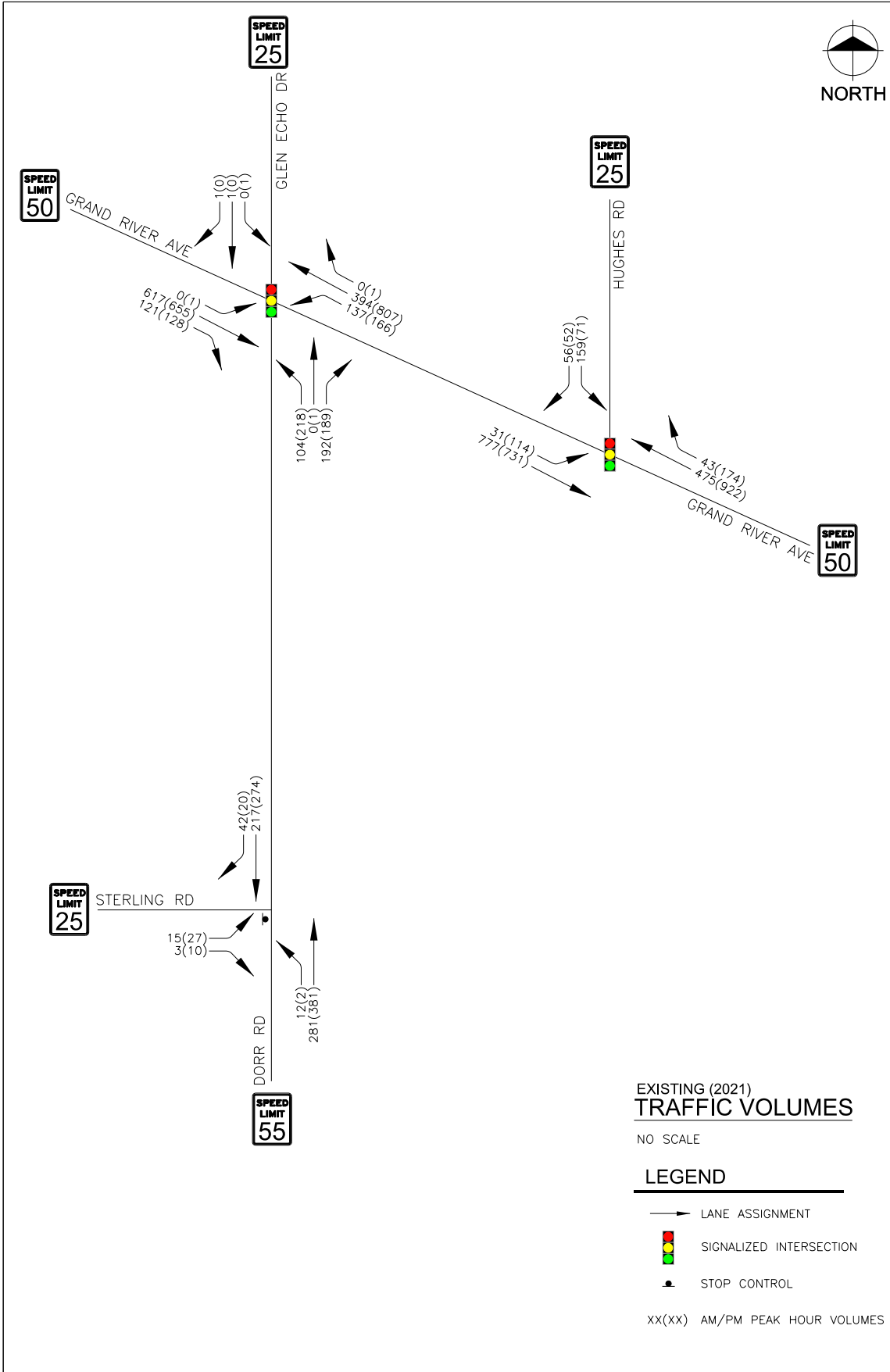
Vehicular Turning Movement Count (TMC)'s were collected on the following study intersections during the weekday a.m. (7 to 9 a.m.) and p.m. (4 to 6 p.m.) peak traffic periods of the road network on December 14, 2021:

- Grand River Avenue and Dorr Road/Glen Echo Drive.
- Grand River Avenue and Hughes Road.
- Dorr Road and Sterling Drive.

Due to the impact of COVID-19, current traffic volume data may not be representative of typical operations. Historical traffic data from the Southeast Michigan Council of Governments (SEMCOG) website was reviewed. Based on this review, an adjustment factor of 1.16 and 1.11 was determined for the a.m. and p.m. peak hours, respectively to adjust the completed TMCs to "Pre-COVID-19 levels".

Traffic volume information can be found in Appendix 1 – Traffic Volume Data, which include heavy vehicle data. The adjusted existing traffic volumes used in this study are indicated in Figure 3– Existing Traffic Volumes.

Figure 3 – Existing Traffic Volumes





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Multifamily Residential Development
Genoa Township, MI 48843

Traffic Impact Study

PROJECT NO.
221380

FIGURE NO.
3

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2.0 Existing Conditions Analysis

2.1 Traffic Operations Analysis Methodology

Synchro was used to perform Highway Capacity Manual (HCM) operational analyses during the a.m. and p.m. peak hours for all the intersections within this study. According to the most recent edition of the HCM, Level of Service (LOS) is a qualitative measure describing operational conditions of a traffic stream or intersection. LOS ranges from A to F, with LOS A representing desirable traffic operations characterized by low delay and LOS F representing extremely poor traffic operations characterized by excessive delays and long vehicle queues. LOS D is generally considered acceptable for most areas. Table 1 – LOS Criteria presents the HCM criteria for various LOS for unsignalized and signalized intersections. The color coding in the table is used in the LOS analysis summary tables later in this report.

Table 1– LOS Criteria

LOS	Average Stopped Vehicle Delay (seconds)	
	Unsignalized	Signalized
A	≤ 10	≤ 10
B	> 10 and ≤ 15	> 10 and ≤ 20
C	> 15 and ≤ 25	> 20 and ≤ 35
D	> 25 and ≤ 35	> 35 and ≤ 55
E	> 35 and ≤ 50	> 55 and ≤ 80
F	> 50	> 80

2.2 Existing Conditions Traffic Analysis

Synchro models for the existing network were created based on the existing roadway configurations and traffic controls. Where applicable, data concerning the existing intersection and roadway lane configurations, geometry, and traffic control that were observed in the field were entered in the models. The traffic signal timing permits for the signalized intersections were provided by LCRC for use in the models.

The resulting LOS and delay for the existing conditions are indicated in Table 2 – LOS Analysis for Existing Conditions.

Table 2 – LOS Analysis for Existing Conditions

Approach	LOS/Delay(s)			
		a.m. Peak Hour		p.m. Peak Hour
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)				
EB Grand River Avenue	B	16.7	B	14.9
WB Grand River Avenue	A	8.3	C	22.8
NB Dorr Road	D	41.0	D	48.9
SB Glen Echo Drive	D	52.3	E	61.4
Overall	B	19.7	C	25.5
Grand River Avenue and Hughes Road (Signalized)				
EB Grand River Avenue	A	9.2	A	9.2
WB Grand River Avenue	A	8.8	B	11.3
SB Hughes Road	D	46.3	D	43.1
Overall	B	15.0	B	12.3
Dorr Road and Sterling Drive (Stop-Controlled)				
EB Sterling Drive	B	14.1	B	14.5
NB Dorr Road	A	0.3	A	0.0
SB Dorr Road	A	0.0	A	0.0
Overall	A	0.7	A	1.1

Eastbound (EB)
 Northbound (NB)
 Southbound (SB)
 Westbound (WB)

Further analysis of the LOS results for existing conditions revealed that most movements, approaches, and intersections are expected to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

- Grand River Avenue and Dorr Road/Glen Echo Drive
 - The southbound approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For existing conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceeded the provided storage length. See Appendix 2 – Existing LOS Output Reports for the existing conditions LOS reports and queueing analysis reports.

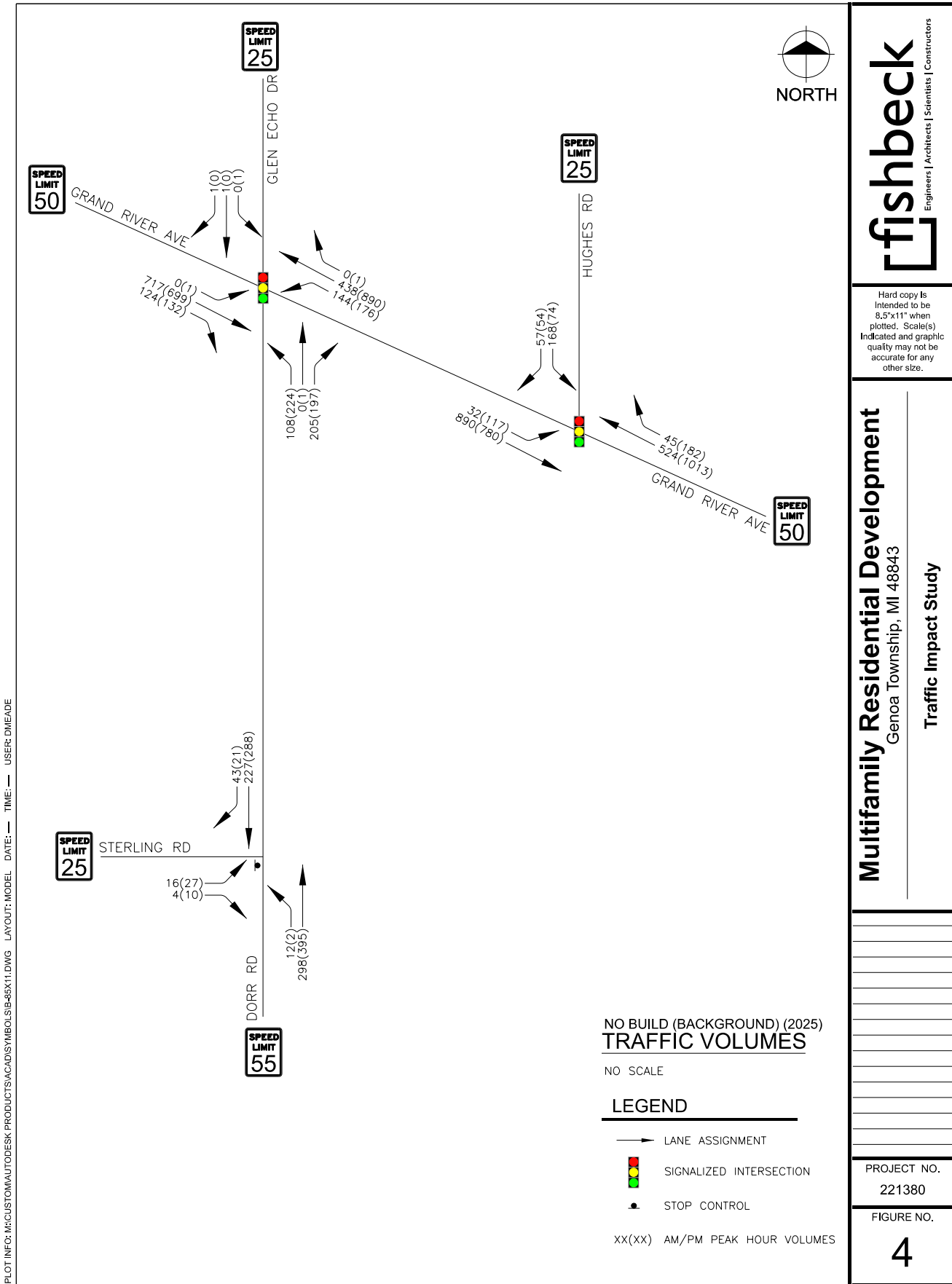
3.0 Background Conditions Analysis

Historical traffic data on the SEMCOG Transportation Data Management System (TDMS) website was referenced to determine the applicable growth rate for the existing traffic volumes to the project build-out year in 2025. Based on this review, a background growth rate of 0.75% was utilized. In addition, one background development was identified and included in the background traffic conditions. Fishbeck was provided the TIS completed for the proposed St. Joseph Mercy Brighton Health Center Expansion, this development has a buildout year of 2024. The intersections of Grand River Avenue/Dorr Road and Grand River Avenue/Hughes Road were included in the prepared TIS.

In 2022, LCRC has a traffic signal modernization planned for the intersection of Grand River Avenue and Dorr Road/Glen Echo Drive. Modernization includes the addition of a left turn phase for the WB Grand River approach and an overlap right turn phase for the NB Dorr Road approach. The new signal timing is reflected in the background conditions analysis.

Refer to Appendix 3 – Background Development Trip Generation for additional details related to the trip generation forecast at these intersections. The total background traffic volumes are indicated in Figure 4 – Background Traffic Volumes.

Figure 4 – Background Traffic Volumes



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FIGURE NO.
4

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3.1 Background Conditions Traffic Analysis

The resulting LOS and delay for the background conditions are refer to Table 3 – LOS Analysis for Background Conditions.

Table 3 – LOS Analysis for Background Conditions

Approach	LOS/Delay (s)			
	a.m. Peak Hour		p.m. Peak Hour	
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)				
EB Grand River Avenue	C	20.6	C	21.0
WB Grand River Avenue	A	3.6	A	3.5
NB Dorr Road	C	28.7	D	38.9
SB Glen Echo Drive	D	52.3	E	61.4
Overall	B	16.9	B	16.2
Grand River Avenue and Hughes Road (Signalized)				
EB Grand River Avenue	B	15.5	A	1.8
WB Grand River Avenue	A	9.1	B	12.4
SB Hughes Road	D	47.3	D	42.8
Overall	B	18.2	B	10.1
Dorr Road and Sterling Drive (Stop-Controlled)				
EB Sterling Drive	B	14.4	C	15.0
NB Dorr Road	A	0.3	A	0.0
SB Dorr Road	A	0.0	A	0.0
Overall	A	0.7	A	1.1

Further analysis of the LOS results for background conditions revealed that most movements, approaches, and intersections are expected to continue to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

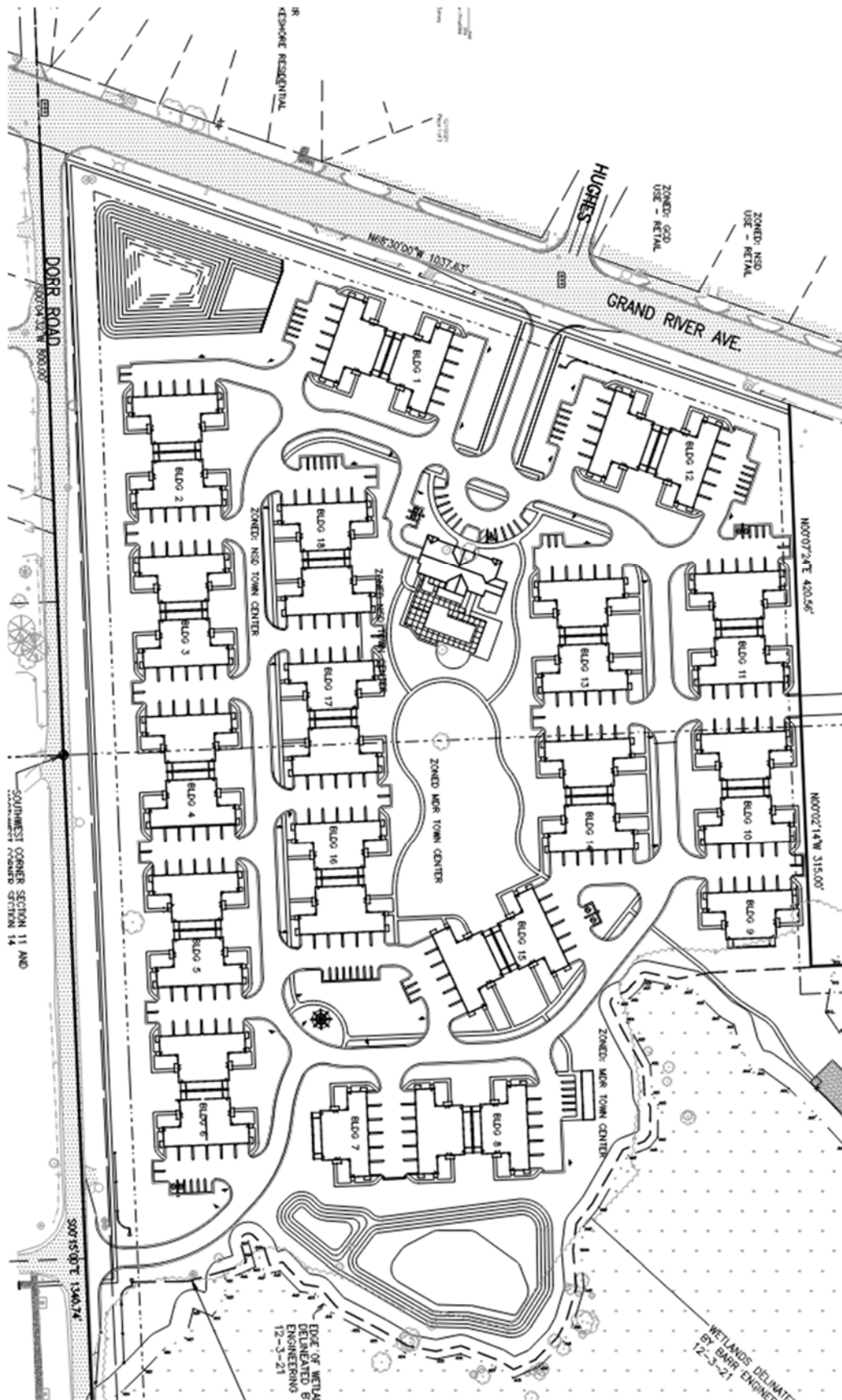
- Grand River Avenue and Dorr Road/Glen Echo Drive:
 - The SB approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For background conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceed the provided storage length, see Appendix 4 – Background LOS Output Reports.

4.0 Site Traffic Characteristics

A representation of the current conceptual site plan is provided in Figure 5 – Conceptual Site Plan below.

Figure 5 – Conceptual Site Plan



4.1 Trip Generation

Using the information and methodologies specified in the latest version of Trip Generation, Fishbeck forecast the weekday a.m. and p.m. peak hour trips associated with the proposed development.

Table 4 – Trip Generation for Proposed Development presents the resulting trip generation for the development. Refer to Appendix 5 – Trip Generation Calculations.

Table 4 – Trip Generation for Proposed Development

ITE LUC	LUC	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
220	Multifamily Housing (Low-Rise)	204 DU	21	65	86	68	40	108	1,383
Total New Trips			21	65	86	68	40	108	1,383

Land Use Code (LUC)

4.2 Trip Distribution

The directions that site traffic will travel to and from were based upon existing traffic patterns during the a.m. and p.m. peak hours. The existing traffic patterns reflect the gravity between origins and destinations in the study area, and therefore an accurate indication of where the proposed trips would be coming from and going to.

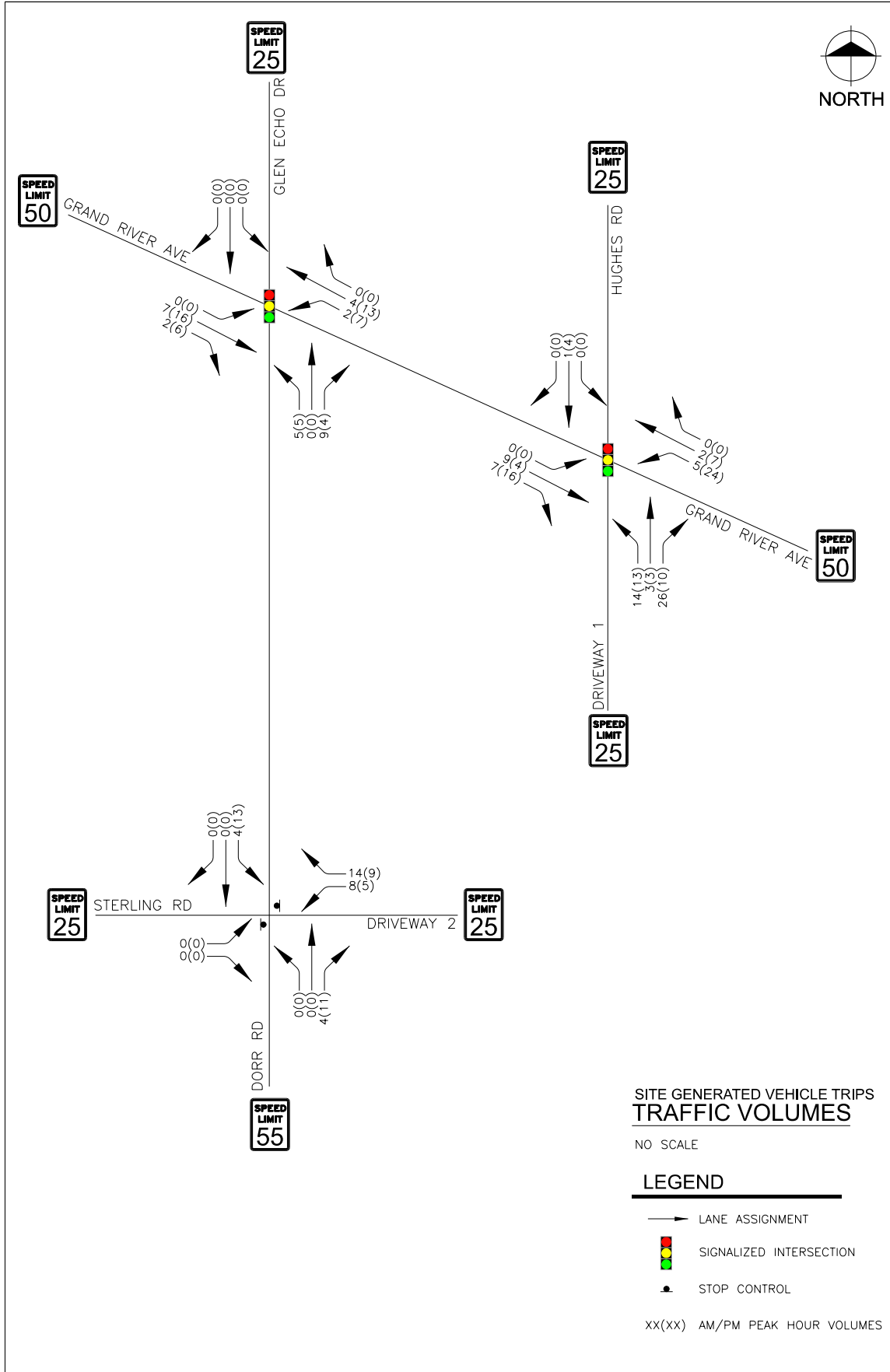
Table 5 – Trip Distribution provides the probable distribution based on the existing traffic patterns.

Table 5 – Trip Distribution

Direction	Via	New Trips			
		a.m. Peak Hour		p.m. Peak Hour	
		To	From	To	From
North	Hughes Road	4%	7%	7%	5%
South	Dorr Road	13%	18%	13%	16%
East	Grand River Avenue	54%	31%	35%	46%
West	Grand River Avenue	29%	44%	45%	33%

The trip distribution for the site is indicated in Figure 6 – Trip Generation Volumes, see below. These trips were added to the background volumes (Figure 4) to result in the future conditions volumes in Figure 7– Future Conditions Volumes.

Figure 6 – Trip Generation Volumes



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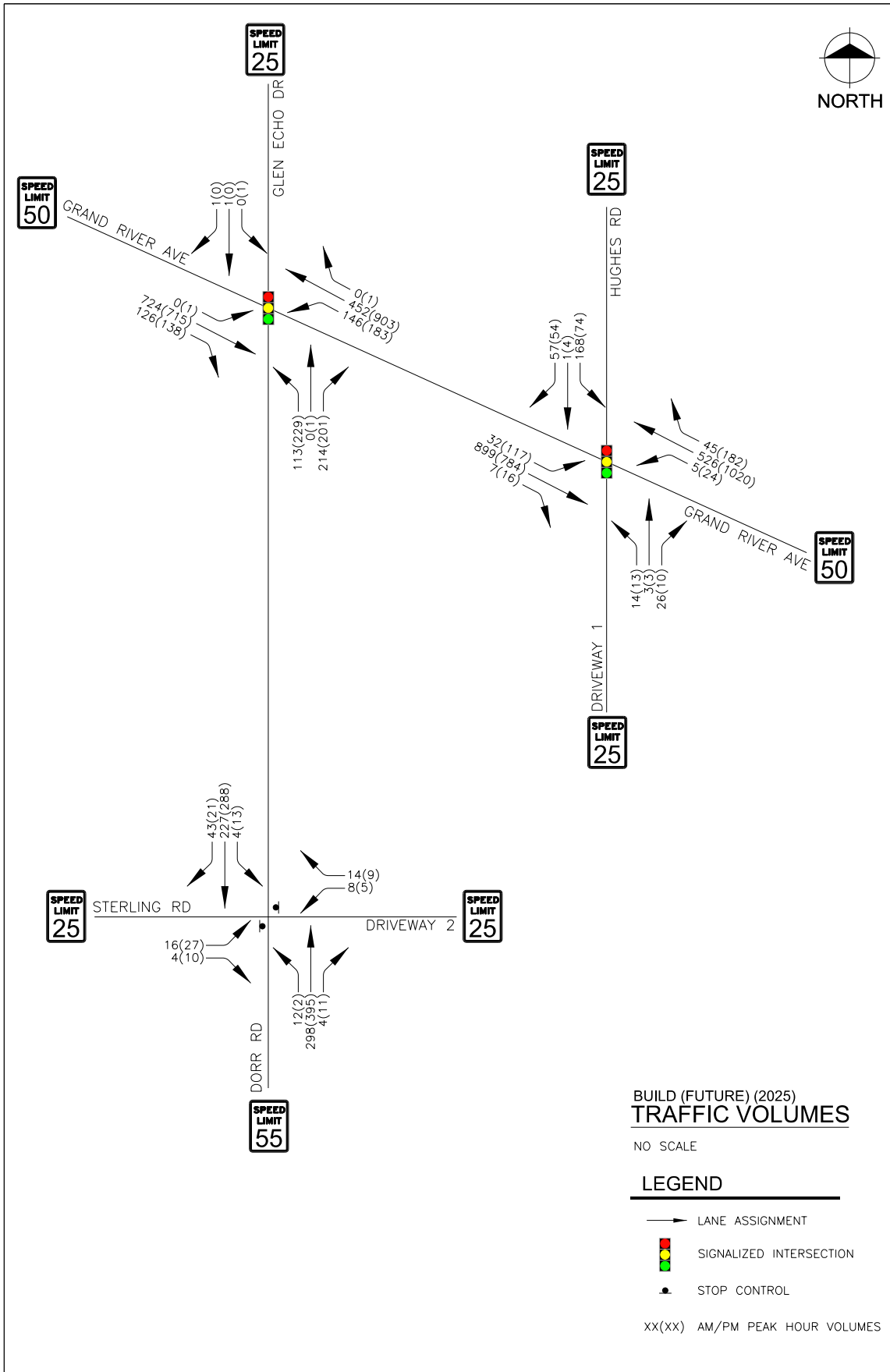
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PROJECT NO.
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FIGURE NO.
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Figure 7 – Future Conditions Volumes



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Traffic Impact Study

PROJECT NO.
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FIGURE NO.
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5.0 Future Conditions Analysis

5.1 Turn Lane Warrants

An evaluation was performed in accordance with LCRC requirements to determine if left turn passing lanes or right turn deceleration lanes are required at the site driveways. The results of the analysis indicated that a left turn passing lane is warranted at Driveway 1. WB Grand River Avenue already has a center left turn lane present. All turn lane warrant charts are in Appendix 6 – Turn Lane Warrants. The results of the analysis are presented in Table 6 – Turn Lane Warrants.

Table 6 – Turn Lane Warrants

Intersection	Movement	Result
Grand River Avenue and Hughes Road/Driveway 1	WB Left Turn	Warranted ¹
	EB Right Turn	Not Warranted
Dorr Road and Sterling Drive/Driveway 2	SB Left Turn	Not Warranted
	NB Right Turn	Not Warranted

¹Two-way left turn lane (TWLTL) exists

5.2 Future Conditions Traffic Analysis

The resulting LOS and delay for the future conditions are indicated in Table 7 – LOS Analysis for Future Conditions.

Table 7 – LOS Analysis for Future Conditions

Approach	LOS/Delay (s)			
	a.m. Peak Hour		p.m. Peak Hour	
Grand River Avenue and Dorr Road/Glen Echo Drive (Signalized)				
EB Grand River Avenue	C	21.3	C	21.7
WB Grand River Avenue	A	3.6	A	3.7
NB Dorr Road	C	28.6	D	39.2
SB Glen Echo Drive	D	52.3	E	61.4
Overall	B	17.2	B	16.6
Grand River Avenue and Hughes Road/Driveway 1 (Signalized)				
EB Grand River Avenue	B	15.9	A	1.6
WB Grand River Avenue	A	8.5	A	7.1
NB Driveway 1	C	24.2	C	31.6
SB Hughes Road	D	35.9	D	36.2
Overall	B	16.6	A	6.9
Dorr Road and Sterling Drive/Driveway 2 (Stop-Controlled)				
EB Sterling Drive	C	16.4	C	17.8
WB Driveway 2	B	13.3	B	13.8
NB Dorr Road	A	0.3	A	0.0
SB Dorr Road	A	0.1	A	0.3
Overall	A	1.2	A	1.6

Further analysis of the LOS results for future conditions revealed that most movements, approaches, and intersections are expected to continue to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

- Grand River Avenue and Dorr Road/Glen Echo Drive:
 - SB approach operates at LOS E in the p.m. peak hour.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For future conditions, study network operations are acceptable, without significant vehicle queues or spill-back from available storage lanes. No 95th percentile queue lengths for the turning movements exceed the provided storage length. See Appendix 7 – Future LOS Output Reports for the future conditions LOS reports and queueing analysis reports.

6.0 Findings and Recommendations

The analyses conducted for this TIS indicate the proposed development will not result in any significant impact to the adjacent road network. The proposed site access configuration is appropriate and will acceptably facilitate site ingress and egress. These conclusions are supported by the following key findings:

1. Existing storage lengths are adequate for all movements in existing and future conditions.
2. Lane configurations and physical capacity are appropriate within the study area.

This document includes mark-up comments
requesting revisions by Township Staff and Counsel.
This has not changed since the July meeting. (KV)

PLANNED DEVELOPMENT AGREEMENT

The Legacy Apartment Homes

Entered into between:

Grand River Dorr, LLC

a Michigan limited liability company

and

Genoa Charter Township, County of Livingston

Dated: June 22, 2022

PLANNED UNIT DEVELOPMENT AGREEMENT

This Planned Development Agreement ("**Agreement**") is entered into as of _____, 2022, by Grand River Dorr LLC, a Michigan limited liability company, whose address is 31550 Northwestern Hwy., Suite 200, Farmington Hills, MI 48334 ("**Owner**") and **Genoa Charter Township**, a Michigan Charter Township, whose address is 2911 Dorr Road, Brighton, Michigan 48116 ("**Township**").

RECITALS

- A. Owners, own certain real property consisting of **52 +/-** acres located in the Genoa Charter Township, Michigan, which is more particularly described on **Exhibit A** attached hereto (the "**Property**"). The Property has been established as two (2) separate tax parcels consisting of 11-11-300-014 and 11-14-100-002.
- B. Owner desires to develop the Property as a Planned Development, which will consist of a development of **204** apartment units.
- C. At a meeting held by the Township Planning Commission on _____, 2022, the Township Planning Commission recommended approval of Owner's Conceptual PUD Site Plan for the Project prepared by PEA Group – Job Number **2021-0578**, last revised **5/24/2022 ("Preliminary Site Plan")**, subject to certain conditions as more fully set forth in Section 2.3 below.
- D. At a meeting held by the Township Board on _____, 2022, the Township Board approved the Preliminary Site Plan, subject to certain conditions as more fully set forth in Section 2.3 below.
- E. At a meeting held by the Township Planning Commission on _____, 2022, the Township Planning Commission approved Owner's Final Planned Unit Development Plan for the Project subject to certain conditions as more fully set forth in Section 2.3 below. The Final Planned Development Site Plan is attached as **Exhibit B** and is referred to herein as the "**PUD Plan.**"
- F. At a meeting held by the Township Board on _____, 2022, the Township Board approved Owner's Planned Development Agreement for the Project, subject to the conditions set forth in this Agreement, including without limitation Section 2.3 below.
- G. The Township determined that the Property qualifies for development as a Residential Planned Unit Development (RPUD) under the Genoa Charter Township's Zoning Ordinance ("**Zoning Ordinance**") because the Project will: (i) provide for the preservation of open space; (ii) provide recreational area for the use and benefit of the residents of the Project; and (iii) will facilitate the construction and maintenance of streets, utilities and public services in an efficient manner.

- H. By entering into this Agreement, Owner and the Township desire to set forth the parties' obligations with respect to the Property and the Project and the terms and requirements under which the Property and the Project shall be developed.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in this Agreement, the parties agree as follows:

ARTICLE I

DESCRIPTION OF THE PROJECT; PD and PD PLANS

- 1.1 **Description of Project.** The overall project ("**Project**") covers an area comprising approximately **52 +/-** acres located along Grand River Road and Dorr in the Township. The Project will contain **204** attached apartment units (each, a "**Project**"). The Project generally meets the requirements of the Zoning Ordinance and is consistent with the conditions imposed in the recommendation for approval by the Planning Commission. The Project shall include open space and other elements as set forth in this Agreement and the PD Plan. The Project will also contain approximately 29 acres of total open space.
- 1.2 **Final PD Plan Approval; Exhibits.** The PD Plan was approved by the Township Planning Commission on ____, 2022. The PD Plan approval grants the Owner the right to improve as set forth in the PD Plan, as the same may be modified and amended in accordance with the Township Zoning Ordinance from time to time, subject to obtaining permits in the ordinary course. All exhibits attached hereto are incorporated herein and made a part hereof by reference.
- 1.3 **Deviations to Standard Zoning Requirements.** Except as otherwise provided in this Agreement and the PD Plan attached hereto, Owner shall generally adhere to all Township Ordinances. Any deviations from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth within this PUD Agreement and the attached PD Plan.
- 1.4 **Minor Modifications.** The Zoning Administrator may approve the proposed revision upon finding the change would not alter the basic design nor any conditions imposed upon the original plan approval by the Planning Commission as outlined within Sec **18.10** within the Township Zoning ordinance.
- 1.5 **Owner.** The obligations contained in this Agreement which apply to the Owner shall remain the responsibility of the Owner until such time as the Owner has assigned its obligations under this Agreement to a successor Owner who has assumed Owner's obligations under this Agreement in writing or to an association of owners that assume such obligations. Wherever the term "Owner" is used in this Agreement, it shall be deemed to include (i) the Owner named in this Agreement (ii) the entity identified as the Owner the project, as the term "Developer".
- 1.7 **Name and Address of Owner and Owner.** The Owners of the Property described on **Exhibit A** is Grand River Dorr, LLC, c/o Mark Kassab whose address is, 31550

This must be called out specifically

10.11

- 1.8 **Statement of Planning Objectives to Be Achieved by the Owner.** The primary planning objectives of this development is to provide Apartments for rent consisting of stacked ranch units.
- 1.9 **Statement of Applicant's Intention regarding Leasing.** It is the intent of the Owner to develop the Project and to market for the leasing of apartments.

ARTICLE II

REQUIREMENTS FOR DEVELOPMENT

- 2.1 **Development Standards.** The Property shall be developed and improved in compliance with the following:
 - (a) The Charter Township of Genoa Zoning Ordinance, as amended, except were modified by this Agreement and the Exhibits attached hereto;
 - (b) This Agreement;
 - (c) The PD Plan;
 - (d) The conditions set forth in Section 2.3 below; and
 - (e) All applicable federal, state and county laws, rules and regulations.
- 2.2 **Effect of PD Approval.** To the extent that developing the Property in accordance with this Agreement and the PD Plan will deviate from the Zoning Ordinance or any other Township ordinance or regulation, this Agreement and the PD Plan shall control. To the extent this Agreement and PD Plan attached hereto are silent on development issues, the Project shall comply with the Zoning Ordinance and other Township ordinances and regulations. All improvements constructed in accordance with this Agreement and the PD Plan shall be deemed to be conforming under the Zoning Ordinance and in compliance with all ordinances of the Township. The Project shall not be subject to any additional requirements contained in any amendments or additions to Township Zoning Ordinance adopted subsequent to the date of this Agreement which conflict with the provisions of this Agreement, including the PD Plan and/or any plans which are approved pursuant to this Agreement.
- 2.3 **Conditions to Approval.** Owner within the Property, including without limitation, installation of roads and utilities, until the completion of such pre-construction meeting (the "Site Improvement (Pre-Con Meeting)") as required by the Township engineer or Utility System Authorities shall obtain all state, county, and federal permits for the development of the Project. Owner shall not install any site improvements

ARTICLE III

USES WITHIN THE PROJECT

- 3.1 **Approved Uses for the Project.** The Project will consist of an apartment project containing **204** units, with approximately **29** acres of total open space, per the PD Plan.
- 3.2 **Permitted Density.** The Project will have a density of **6.23** residential units per acre based on the net acreage of the property.

ARTICLE IV

OWNER'S RIGHTS AND OBLIGATIONS

Right to Develop; Phasing. Owner shall have the right to develop the Property in accordance with the PD Plan and this Agreement. Owner shall have the right to develop the Property in phases (each, a "**Phase,**" and collectively, the "**Phases**"), each of which shall include the infrastructure improvements necessary to serve such Phase.

- 4.2 **Order of Development.** Owner shall have the right to develop the Phases at such time and in such order as determined by Owner, provided that Owner complies with this Agreement.

- 4.3 **Development Schedule.** Owner shall commence development of Phase 1 on or about April 2023.

- 4.4 **Internal Roads in the Project.** The internal roads within the Project will be private and asphalt or concrete. As such, internal circulation drives shall be built in conformance with the applicable requirements and standards of the Township for private roads.

- 4.5 **Landscape Plan.** The Landscape Plan which is part of the PD Plan attached hereto as Exhibit B identifies the landscaping to be installed within the Project. ~~The Owner may transfer the responsibility for street tree plantings to the owner or builder of each unit of the single-family development.~~

- 4.6 **Utilities.**

(a) **Sanitary Sewer System.** Sanitary sewers are available to the site and the Owner must connect to the Township's sanitary sewer system. Connection to the sanitary sewer system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the sewer lines and related sanitary sewer easements to be dedicated to the Township.

(b) **Water System.** Water service sewers is available to the site and the Owner must connect to the Township's water system. Connection to the water system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The PD Plan identifies the water lines and related water easements to be dedicated to

Phasing must be shown on the plans and further described herein



Delete last sentence



the Township.

4.7 **Storm Water Detention.** Storm water shall be conveyed by a storm sewer system to a storm water detention basin located within the Project. All such storm water drainage facilities, including the detention basin and all related improvements shall be designed in accordance with all applicable ordinances in addition to the Livingston County Drain Commission engineering regulations and standards.

and Entryway Features

4.8 **Signs.** The PD Plan attached hereto includes a wall sign plan. Owner shall otherwise comply with all the sign regulations in the Township's sign ordinance, as amended with respect to changes (if applicable).

4.9 **Architectural and Site Design Guidelines.** The Project shall be developed in conformance with the following architectural and site minimum standards:

- (a) **Minimum Setbacks.** Setback's requirements shall be as specified in the PD Plan.
- (b) **Exterior Materials.** The materials used on the exterior of the attached units shall consist of any of the following materials: brick, vinyl, Hardie Plank® or similar siding, brick or stone.
- (c) **Driveway and Sidewalks.** Curbs, gutters, driveways and sidewalks shall be constructed of concrete or asphalt.
- (d) **Garages.** All dwellings including the attached rental units shall have an attached garage.

an entry wall monument, signage, stone piers and decorative fencing, which is approved.

ARTICLE V

PERFORMANCE GUARANTEE REQUIREMENTS

5.1 **Performance Guaranties.** Performance guarantees covering the estimated cost of improvements for the applicable phase being developed shall be provided to the extent required by and in accordance with the Township's Ordinances. The Owner shall place a bond, cash or other form of financial instrument for any such performance guarantees required by the Township.

Add additional language. See Section 10.05.04 for guidance.

ARTICLE VI

MAINTENANCE OF OPEN SPACE AND COMMON AREAS

Common Elements and Common Facilities. The Owner shall be responsible for the maintenance and repair of all roads, utilities that are not dedicated to the Township, storm drainage facilities, and

ARTICLE VII

TOWNSHIP'S RIGHTS AND OBLIGATIONS

- 7.1 **Permits and Authorizations.** The Township shall within its prevue grant to Owner and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PD Plan, provided the Owner has first made all requisite filings and submissions for permits, complied with the requirements for said permits or authorizations, submissions and paid all required fees in accordance with the Township's Ordinances in addition to the agencies having authority over such. The Owner will be responsible for obtaining all required approvals and necessary permits or authorizations from the appropriate agencies.
- 7.2 **Township Action for Failure to Maintain Property.** In the event the Owner defaults in its obligation to maintain the Property in a reasonable condition, using reasonable standards, and consistent with and as required under the PD Plan and this Agreement, the Township may serve written notice upon Owner setting forth the manner in which Owner has failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than thirty (30) days, and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township shall be paid by the Owner. The Township may seek legal action to compel the owner to maintain the property and all cost associated with the Townships enforcement of such claims will be due by Owner.

ARTICLE VIII

MISCELLANEOUS PROVISIONS

- 8.1 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 8.2 **Counterparts.** This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.
- 8.3 **Successors and Assigns.** The terms, provisions and conditions of this Agreement are and shall be deemed to be of benefit to the Property and shall run with and bind the Property, and shall bind and inure to the benefit of the successors and assigns of the parties to this Agreement.
- 8.4 **Amendment.** This Agreement may only be modified by written agreement of the Township and Owner or any successor in title who assumes Owner's rights and obligations hereunder. Notwithstanding, any amendments to this Agreement shall also require the written consent of Owners if Owners continue to hold title to any

portion of the Property.

- 8.5 **Authority.** This Agreement has been duly authorized by all necessary action of Owner and the Township, through the approval of the Township Board at a meeting in accordance with the laws of the State of Michigan, and the ordinances of the Township. By the execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property in its respective entities to its terms and conditions.
- 8.6 **Partial Invalidity.** Invalidation of any of the provisions contained in this Agreement or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions hereof or the application thereof to any other person and the same shall remain in full force and effect.
- 8.7 **No Partnership.** None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Owner and the Township.
- 8.8 **Incorporation of Documents.** The recitals contained in this Agreement, the introductory paragraph, and all exhibits attached to this Agreement and referred to herein shall for all purposes be deemed to be incorporated in this Agreement by this reference and made apart of this Agreement.
- 8.9 **Integration Clause.** This Agreement is intended as the complete integration of all understandings between the parties related to the subject matter herein. No prior contemporaneous addition, deletion or other amendment shall have any force or effect whatsoever, unless referenced in this Agreement.
- 8.10 **Incorporation of Owner's Representations, Warranties and Information.** All representations, warranties and information previously provided by Owner in any submission by the Owner to the Township are hereby incorporated in this Agreement by reference.
- 8.11 **Recording.** This Agreement, or a notice of its existence, shall be executed by the Owner and Owners and recorded by the Owner in the office of the Livingston County Register of Deeds, and may be recorded by any of the undersigned parties following the execution of this Agreement. Alternatively, the Township shall be authorized to prepare and record a Notice of Development Agreement.
- 8.12 **Waiver.** Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this Agreement shall be effective or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall affect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.
- 8.13 **Violations.** Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.

[Signatures and notarization are contained on the following pages]

[Signature page to Planned Development Agreement]

The parties hereto have executed this Agreement as of the year and date set forth above.

"OWNER"

Grand River Dorr, LLC,
A Michigan Limited Liability Company

By: _____
Mark Kassab

Its: _____
Authorized Agent

STATE OF MICHIGAN)
) ss.
COUNTY OF LIVINGSTON)

The foregoing PUD Agreement was acknowledged before me on this day of _____, 2022, by _____, _____ of Grand River Dorr, LLC, on behalf of the company.

[Signatures and notarization are continued on the following page)

[Signature page to Planned Development Agreement]

"TOWNSHIP"

Genoa Charter Township, Livingston County
A Michigan Limited Liability Company

By:

Its:

STATE OF MICHIGAN)
) ss.
COUNTY OF LIVINGSTON)

The foregoing PUD Agreement was acknowledged before me on this day of _____, 2022, by _____, _____ of Genoa Charter Township, on behalf of the company.

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

PROPERTY DESCRIPTION:

BEING A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, AND A PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 14, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY), SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF S PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 56 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 SAME BEING THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11; THENCE ALONG A LINE BEING 375.00 WEST AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,262,563 +- SQUARE FEET OR 51.941 +- ACRES OF LAND.

Exhibit B

Site Plan

EXHIBIT C

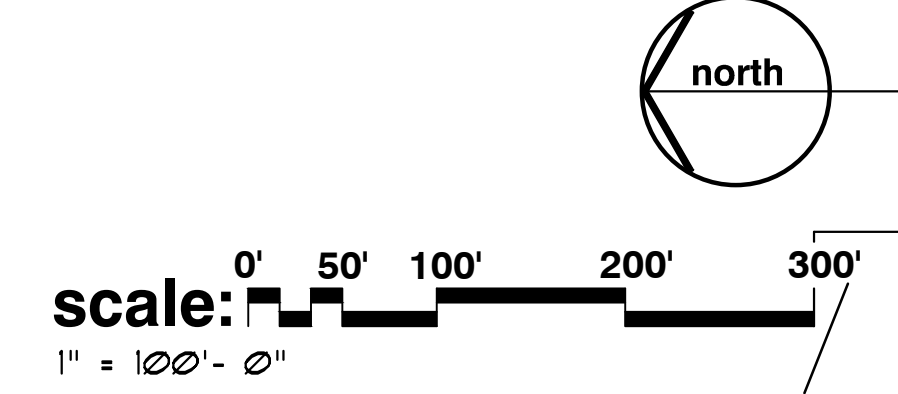
MINUTES OF MEETINGS AND
REVIEW LETTERS

REVISED SITE PLAN AND LANDSCAPE PLAN (The previous plan follows)

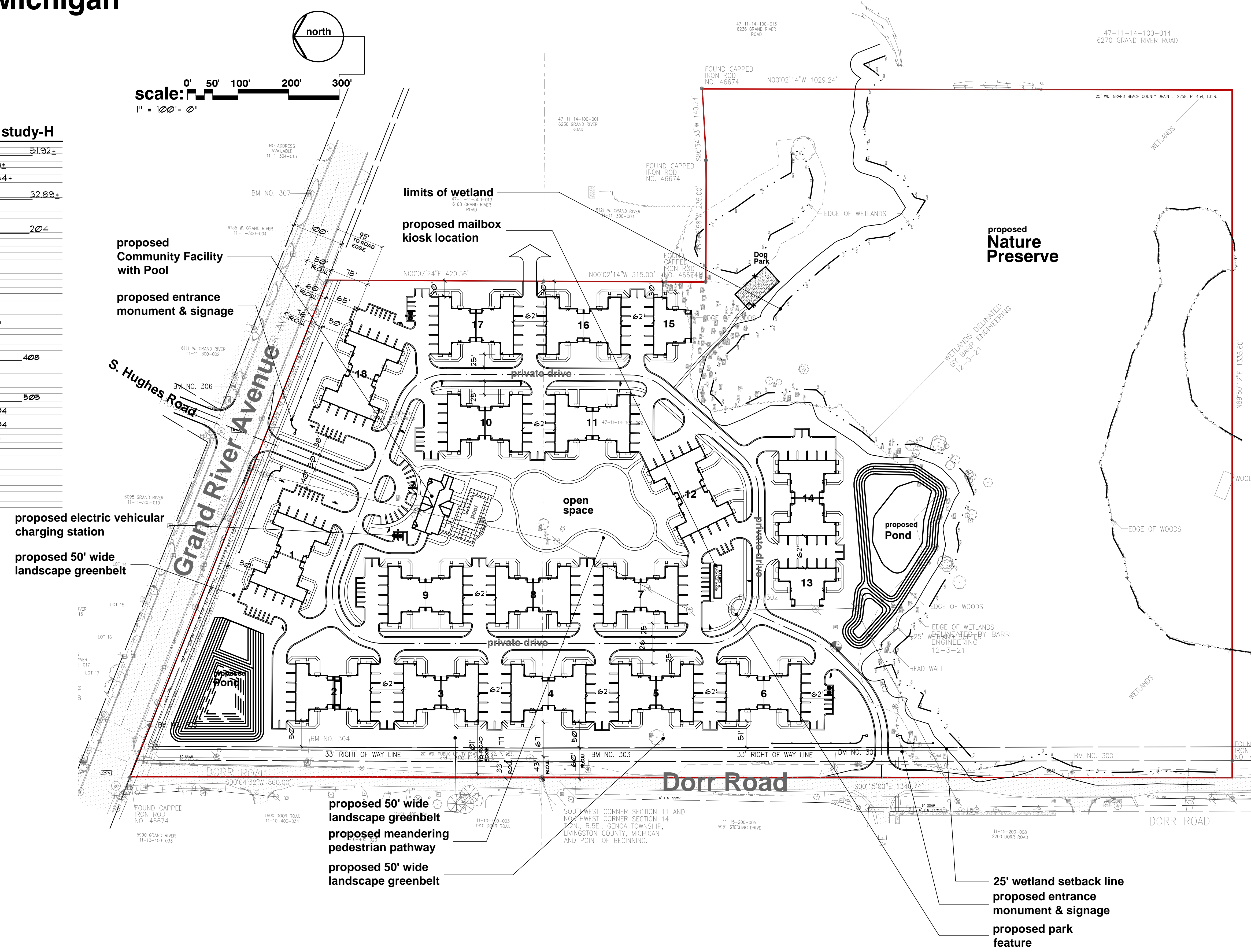
site plan study for: **The Legacy** a planned apartment residential community Genoa Township, Michigan

note
 preliminary concept plan for inspection purposes
 only and in no way official or approved for record
 purposes.

program	study-H
TOTAL ACRES OF SITE GROSS	51.92±
ACRES OF ROW	3.19±
ACRES OF WETLANDS	15.84±
TOTAL ACRES OF SITE NET	32.89±
TOTAL NO. OF ATTACHED RESIDENTIAL UNITS	204
16-12 UNIT BLDG.	192
2-6 UNIT BLDG.	12
BUILDING SETBACKS:	
BLDG. FRONT DRIVE	25'
BLDG. SIDE TO SIDE	62'
BLDG. REAR TO REAR	60'
BLDG. REAR TO PROPERTY LINE	30'
TOTAL NO. OF PARKING REQUIRED	408
204-UNITS x 2-SPACES/UNIT=408	
TOTAL NO. OF PARKING PROVIDED	505
GARAGE PARKING	204
GARAGE APPROACH	204
OPEN PARKING	93
OPEN PARKING (WITH ELECTRIC VEHICULAR CHARGING STATION)	4



location map
 NO SCALE



proposed electric vehicular charging station
 proposed 50' wide landscape greenbelt

proposed 50' wide landscape greenbelt
 proposed meandering pedestrian pathway
 proposed 50' wide landscape greenbelt

25' wetland setback line
 proposed entrance monument & signage
 proposed park feature

client:
LAUTREC
 31550 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**DORR ROAD
 AND GRAND
 RIVER AVE.**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
STUDY-H

job no./issue/revision date:

LS21.096.08 SPA	8-18-2021
LS21.096.10 SPA	10-8-2021
LS21.096.10 SPA	10-24-2021
LS21.096.12 SPA	12-13-2021
LS22.028.02 SPA	2-24-2022
LS22.028.04 SPA	4-18-2022
LS22.028.05 SPA	5-24-2022
LS22.028.08 REVIEW	8-11-2022

drawn by:
JP, KM, PH, HP

checked by:
FP

date:
2-22-2022

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 CALL MISS DIG
 1-800-482-7171
 For free location of public utility lines

The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:
LS22.028.02

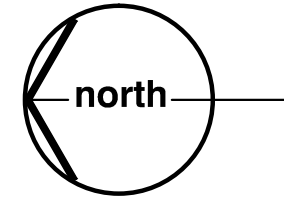
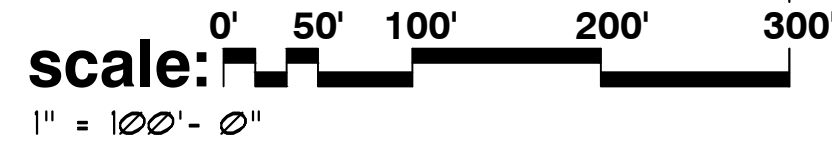
sheet no:
LP-1

site plan study for:

The Legacy Apartment Homes

Genoa Township, Michigan

note
 preliminary concept plan for inspection purposes
 only and in no way official or approved for record
 purposes.



landscape requirements:

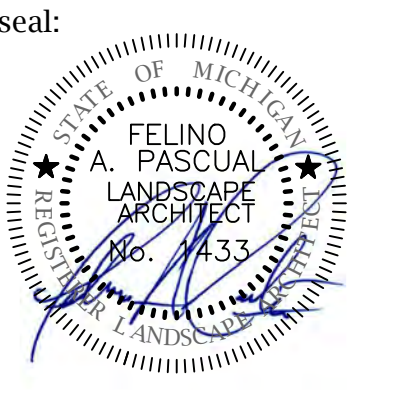
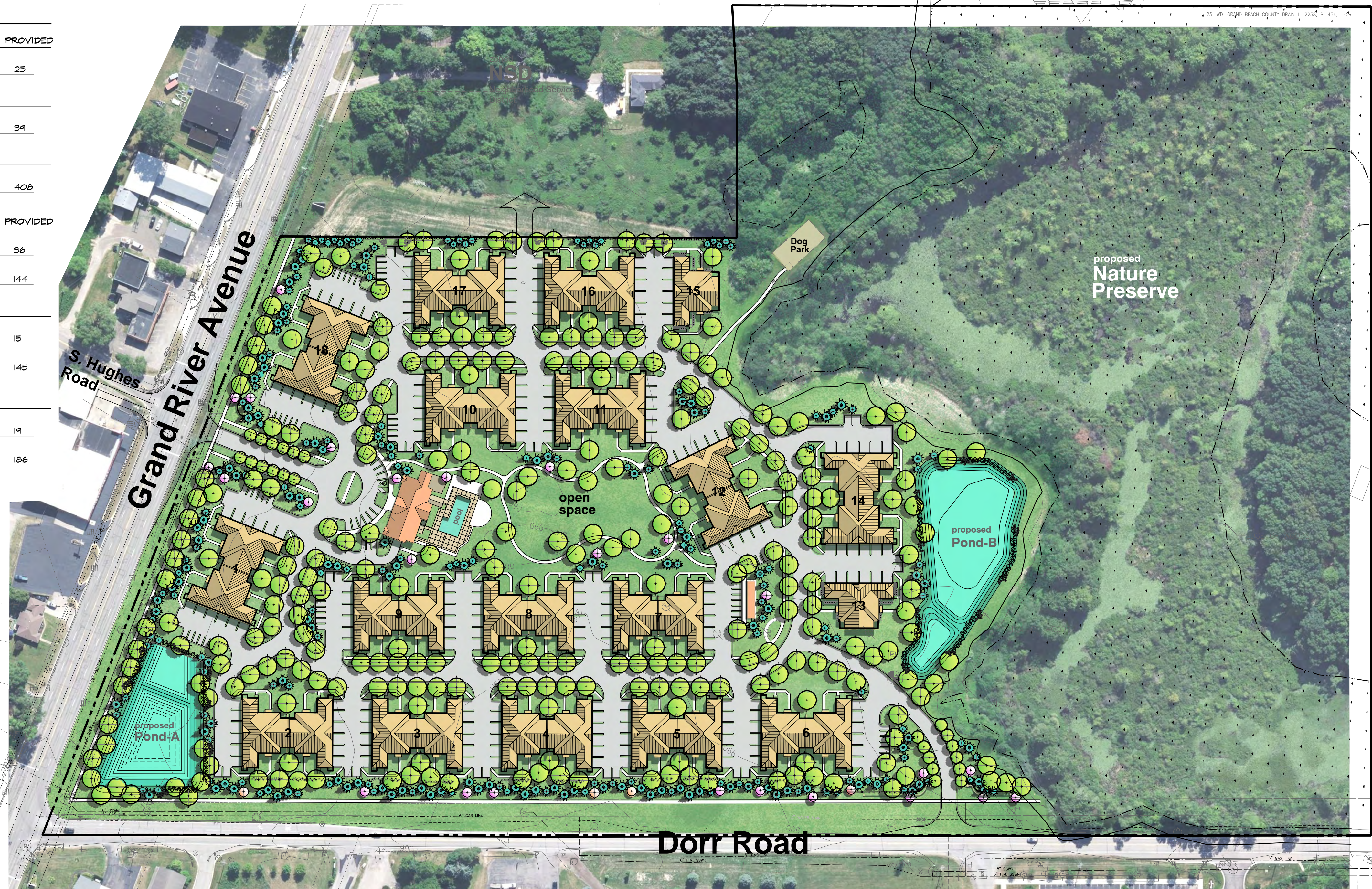
	REQUIRED	PROVIDED
greenbelt (Grand River Avenue)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	945±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (945 LIN.FT. / 40 LIN.FT. = 24.8 TREES)	25	25
greenbelt (Dorr Road)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	1570±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (1570 LIN.FT. / 40 LIN.FT. = 39.25 TREES)	39	39
street trees (interior residential streets)		
TOTAL NO. OF RESIDENTIAL UNITS PROVIDED	204	
TWO (2) 2 1/2" CANOPY TREES PER RESIDENTIAL UNIT (204 UNITS X 2 TREES = 408 TREES)	408	408
landscape screening	REQUIRED	PROVIDED
TOTAL LIN.FT. OF BOUNDARY FRONTAGE	721±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 TREES)	36	36
OR FOUR (4) SHRUBS PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 X 4-SHRUBS=144.2)	144	144
detention pond-A		
TOTAL LIN.FT. OF POND PERIMETER	127±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (127 LIN.FT. / 50 LIN.FT. = 14.5 TREES)	15	15
TEN (10) SHRUBS PER 50 LIN.FT. (127 LIN.FT. / 50 LIN.FT. = 14.5 X 10-SHRUBS=145)	145	145
detention pond-B		
TOTAL LIN.FT. OF POND PERIMETER	432±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (432 LIN.FT. / 50 LIN.FT. = 18.64 TREES)	19	19
TEN (10) SHRUBS PER 50 LIN.FT. (432 LIN.FT. / 50 LIN.FT. = 18.64 X 10-SHRUBS=186.4)	186	186

landscape sheet index

- LSC-1 OVERALL PLAN VIEW
- LSC-2 PLANTING DETAIL PLAN
- LSC-3 PLANTING DETAIL PLAN
- LSC-4 SITE AMENITY PLAN
- LSC-5 ENTRY DETAIL PLAN
- LSC-6 SITE SECTION PLAN

landscape legend

- deciduous trees**
(Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc...)
- ornamental trees**
(Redbud, Crabs, Hawthorn, Serviceberry, Dogwood, etc...)
- evergreen trees**
(Pines, Spruces, Fir)
- deciduous shrubs**
(Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc.)
- evergreen shrubs**
(Junipers, Yews, Arborvitae, Boxwood, etc.)
- perennials and/or seasonal flowers**
(Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers, etc...)



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
 CONCEPTUAL
 LANDSCAPE PLAN

job no./issue/revision date:

LS21.096.08 SPA	8-18-2021
LS21.096.10 SPA	10-8-2021
LS21.096.10 SPA	10-24-2021
LS21.096.12 SPA	12-13-2021
LS22.028.02 SPA	2-24-2022
LS22.028.04 SPA	4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022

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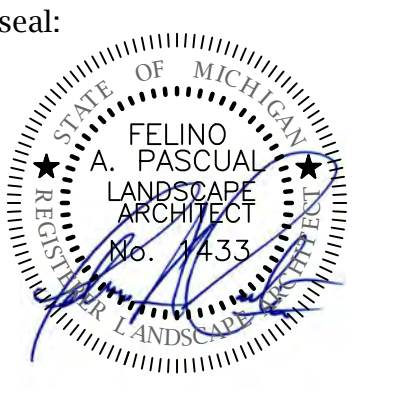
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 underground utilities as shown on this
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 completeness of accuracy; contractor shall be
 exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction

project no:
LS22.028.02

sheet no:
LSC-1 of 5



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
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project location:
 Genoa Township,
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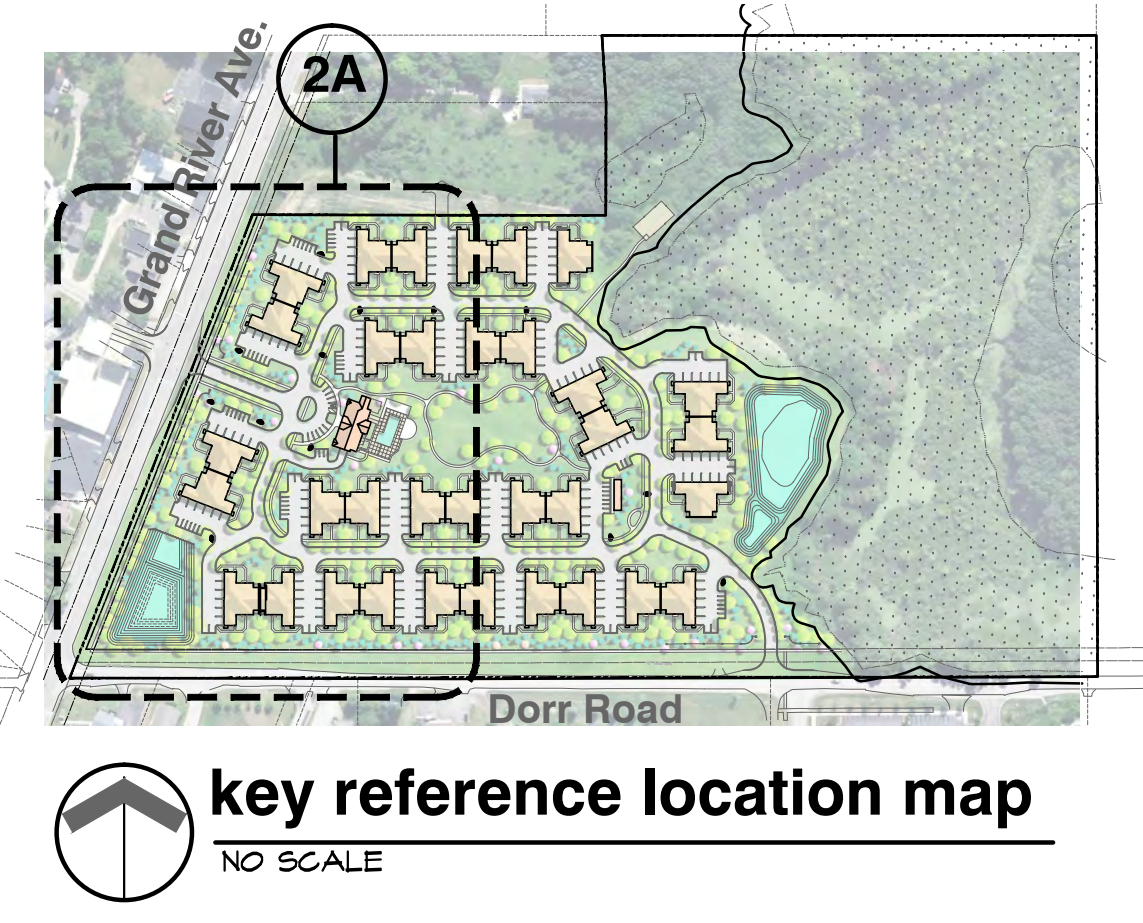
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project no.:
LS22.028.02

sheet no.:
LSC-2 of 5

landscape legend

- deciduous trees**
 (Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc...)
- ornamental trees**
 (Redbud, Crab, Hawthorn, Serviceberry, Dogwood, etc...)
- evergreen trees**
 (Pines, Spruces, Fir)
- deciduous shrubs**
 (Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc...)
- evergreen shrubs**
 (Junipers, Yews, Arborvitae, Boxwood, etc...)
- perennials and/or seasonal flowers**
 (Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers, etc...)



UPPER 1/3 AREAS OF DETENTION TO RECEIVE PRAIRIE SEED MIX ON 2" TOPSOIL WITH STRAW BLANKET ON FINISH GRADES.

AREAS TO RECEIVE DETENTION POND SEED MIX ON 4" TOP SOIL WITH STRAW BLANKET ON FINISH GRADES.

FRONT YARD LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

ROW, AND GREENBELT LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

PEDESTRIAN WALK

FRONT YARD LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

PROPOSED UNDERGROUND UTILITIES-SEE ENGINEERING PLAN FOR FINAL LOCATIONS, SIZES, TYPES, ELEVATIONS AND DETAILS.

ROW, AND GREENBELT LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

DECORATIVE 5' HIGH FENCE AND STONE PIERS

LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

2A landscape planting detail
 SCALE: 1" = 40' - 0"

Community Facility Building
 MEANDERING PEDESTRIAN WALK
 OPEN SPACE LAWN AREAS TO RECEIVE SEEDING ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE

STREET TREES TO BE LOCATED BETWEEN WALK AND BUILDING. NO TREES TO BE INSTALLED OVER ANY EXISTING OR PROPOSED IN GROUND UTILITIES. SEE ENGINEERING PLANS FOR LOCATION



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
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 of construction

project no:
LS22.028.02

sheet no:
LSC-3 of 5



PROPOSED ADJACENT
 LANDSCAPE PLANTINGS.
 SEE SHEET L6-2 FOR DETAILS

PEDESTRIAN WALK

LAWN AREAS TO RECEIVE
 IRRIGATION AND SOD ON FINISH
 GRADES, PROVIDE POSITIVE
 DRAINAGE

FRONT YARD LAWN AREAS TO
 RECEIVE IRRIGATION AND SOD ON
 FINISH GRADES, PROVIDE POSITIVE
 DRAINAGE

PROPOSED UNDERGROUND
 UTILITIES-SEE ENGINEERING
 PLAN FOR FINAL LOCATIONS,
 SIZES, TYPES, ELEVATIONS AND
 DETAILS

DECORATIVE 5' HIGH FENCE
 AND STONE PIERS

PROPOSED ENTRANCE
 MONUMENT AND SIGN LOCATION.
 SEE SHEET L6-4 FOR DETAILS

25' WETLAND SETBACK LINE

LIMITS OF WETLAND LINE

Dorr Road

open space

LAWN AREAS TO RECEIVE
 IRRIGATION AND SOD ON FINISH
 GRADES, PROVIDE POSITIVE
 DRAINAGE

STREET TREES TO BE
 LOCATED BETWEEN WALK
 AND BUILDING. NO TREES TO
 BE INSTALLED OVER ANY
 EXISTING OR PROPOSED IN
 GROUND UTILITIES. SEE
 ENGINEERING PLANS FOR
 LOCATION

EXISTING WOODS AND
 VEGETATION TO REMAIN

PROPOSED MAILBOX KIOSK
 LOCATION- SEE SHEET L6C FOR
 DETAILS

DISTURBED AREAS TO RECEIVE
 LAWN SEEDING ON FINISH GRADES

25' WETLAND SETBACK LINE

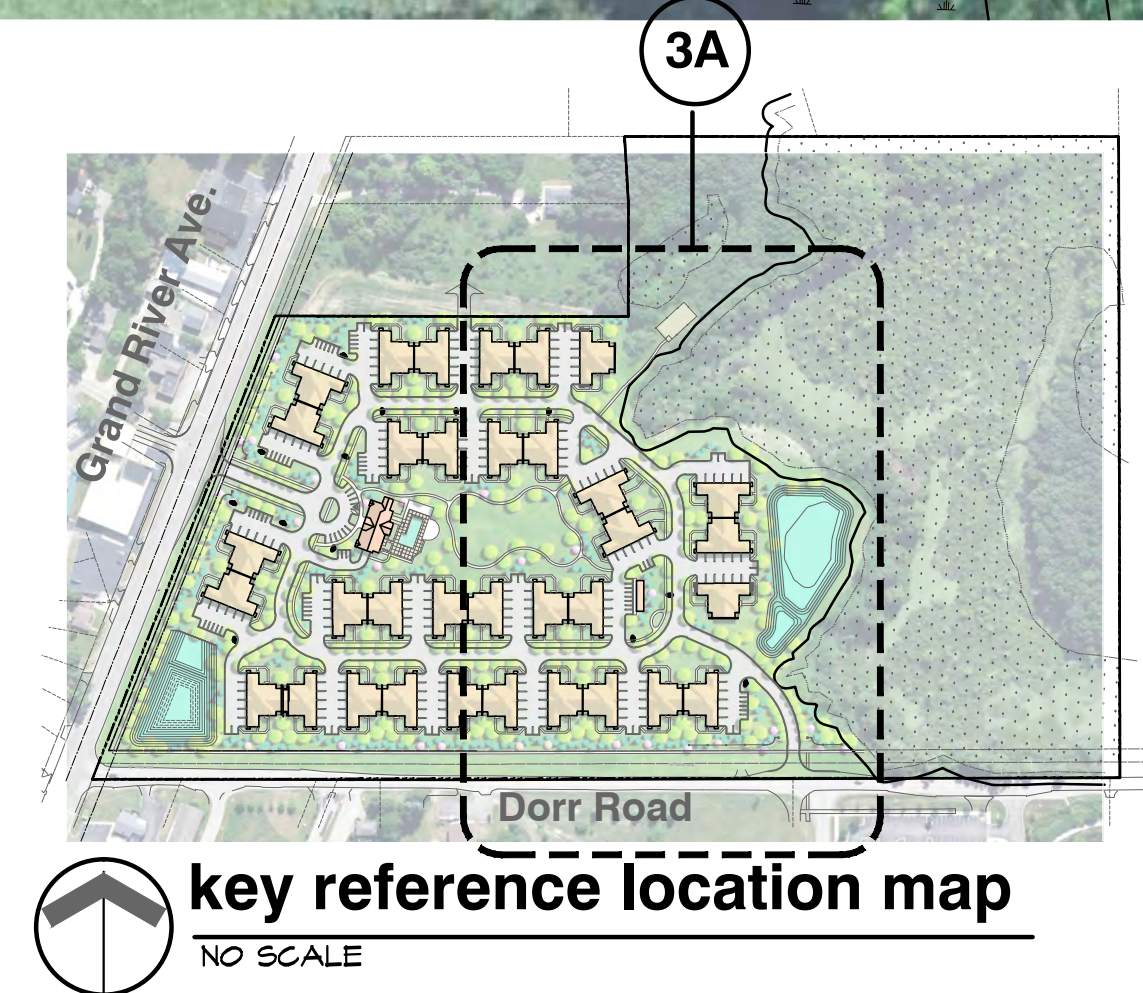
LIMITS OF WETLAND LINE

landscape legend

- deciduous trees**
 (Maples, Hackberry, Zelkova,
 Oaks, Lindens, Locust, etc.)
- ornamental trees**
 (Redbud, Crabapple, Hawthorn,
 Serviceberry, Dogwood, etc.)
- evergreen trees**
 (Pines, Spruces, Fir)
- deciduous shrubs**
 (Viburnum, Forsythia, Hydrangeas,
 Hollies, Dogwood, etc.)
- evergreen shrubs**
 (Junipers, Yews, Arborvitae,
 Boxwood, etc.)
- perennials and/or seasonal
 flowers**
 (Daylily, Sedum, Ornamental Grasses,
 Black Eyed Susan, Coneflowers, etc.)

3A landscape planting detail
 SCALE: 1" = 40' - 0"

AREAS TO RECEIVE DETENTION POND EDGE
 ZONE SEED MIX ON 4" TOP SOIL WITH STRAW
 BLANKET ON FINISH GRADES.
 UPPER 1/3 AREAS OF DETENTION TO RECEIVE
 PRAIRIE SEED MIX ON 2" TOPSOIL WITH STRAW
 BLANKET ON FINISH GRADES.



key reference location map
 NO SCALE



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL SITE
 AMENITY PLAN**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
 LS22.028.04 SPA 4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022
 notice:
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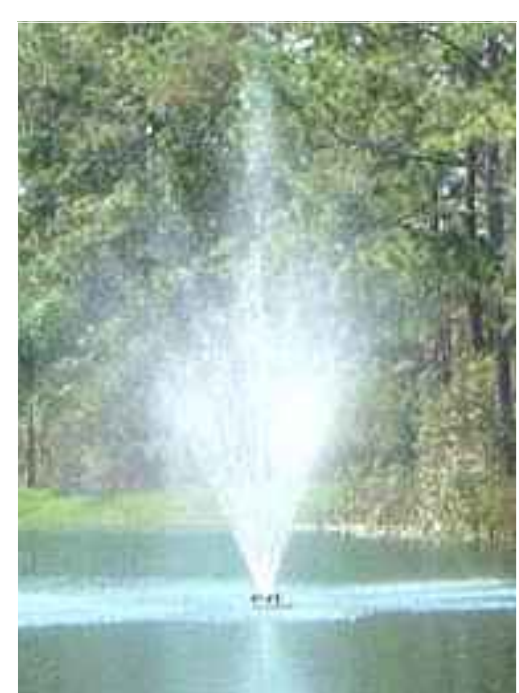
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 Do Not scale drawings. Use figured dimensions only.

project no:
LS22.028.02

sheet no:
LSC-4 of 5



K pet waste station
 TOTAL OF 5-CONDITIONS



J pond fountain
 TOTAL OF 2-CONDITIONS



I dog park



H park bench seating
 TOTAL OF 3-CONDITIONS
 6' WIDE PARK BENCH SEAT BY DUMOR, INC.
 MODEL NO. 34-60D (5-1)
 SUPPORT: 5-1 EMBEDMENT
 FINISH: BLACK POWDER-COATED

4A site amenity reference location map
 NO SCALE

site amenity key

- BIKE RACK
- PARK BENCH SEAT
- BENCH SEAT
- BOLLARD LIGHT
- STREET POLE LIGHT
- GAZEBO or PERGOLA FEATURE
- PET WASTE STATION
- TRASH RECEPTACLE
- EV CHARGING STATION



A decorative pole and light
 (5-CONDITION)
 DECORATIVE BLVD. ISLAND
 SITE FIXTURE LIGHTS AND
 ALUMINUM POLE.



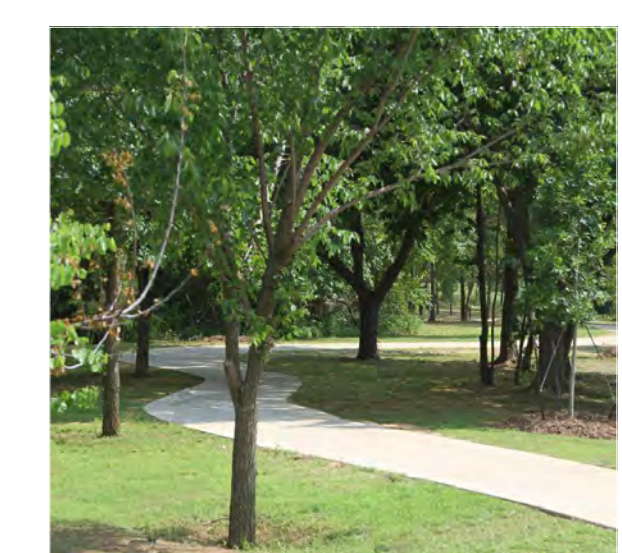
B bollard light
 BY LITHONIA LIGHTS OR
 EQUAL MODEL. DSXB LED
 (D-SERIES LED BOLLARD
 8" DIA. X 42" HGT.) OR
 EQUAL (4-CONDITIONS)



C trash receptacle
 (2-CONDITION)
 MANUFACTURED BY BY
 ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 DESCRIPTION: 32 GAL.
 FINISH: TEXTURE PEINTER



D bicycle rack
 (2-CONDITIONS)
 BIKE RACK BY DUMOR, INC.
 MODEL NO. 130-20 (S-2
 SURFACE PLATE MOUNT) 2 3/8"
 O.D. BLACK POWDER-COATED
 LOOP OR EQUAL



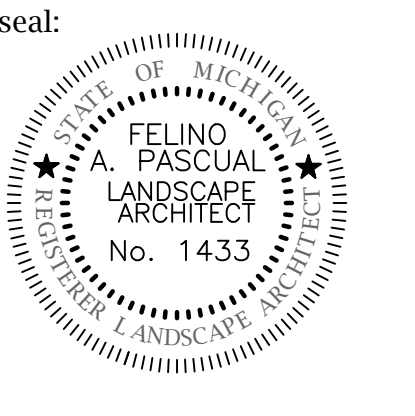
E meandering interior pedestrian walk



F EV charging station
 TOTAL OF 4-CONDITIONS



G decorative bench seating
 TOTAL OF 1-CONDITIONS
 MANUFACTURED BY BY ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 MODEL NO. LEXC6
 DESCRIPTION: 6' WIDE CONTOUR BENCH
 FINISH: TEXTURE PEINTER



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 APARTMENT
 HOMES**

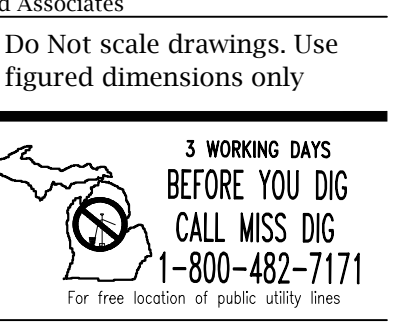
project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL ENTRY
 SIGN MONUMENT**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
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drawn by:
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FP
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 and Associates



The location and elevations of existing
 underground utilities as shown on this
 drawing are only approximate. no guarantee
 is either expressed or implied as to the
 completeness of accuracy. contractor shall be
 exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction

project no.:
LS22.028.02
 sheet no.:

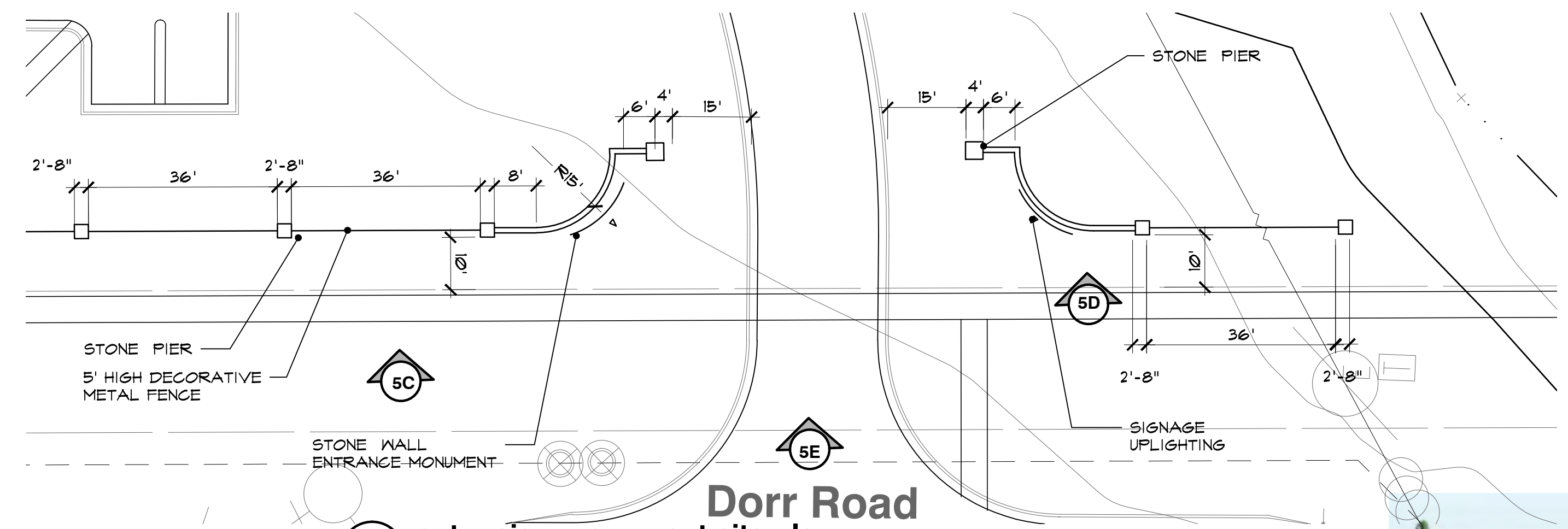
entry wall monument / pier / signage / notes:

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH LANDSCAPE ARCHITECT.
2. ALL ENTRY WALL LIGHTING SHALL BE CONTROLLED WITH A "PHOTO-EYE" SWITCH. ALL LIGHTING SHALL BE SHIELDED FROM PUBLIC ROW'S AND ADJACENT PROPERTIES.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENT ON SHT. L5-2
4. VERIFY SOIL BEARING CAPACITY PRIOR TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.
5. SIGNAGE TEXT AND LOGO TO BE METAL PRISMATIC DIMENSIONAL LETTERS. PRIOR TO SIGN INSTALLATION, PERMITS TO BE OBTAINED PER GENOA TOWNSHIP REQUIREMENTS AND APPROVALS.
6. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.
7. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2000 P.S.I. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
8. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS. U.O.N. SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
9. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
10. PROVIDE DOUELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL WALLS, UNLESS OTHERWISE NOTED.
11. PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.

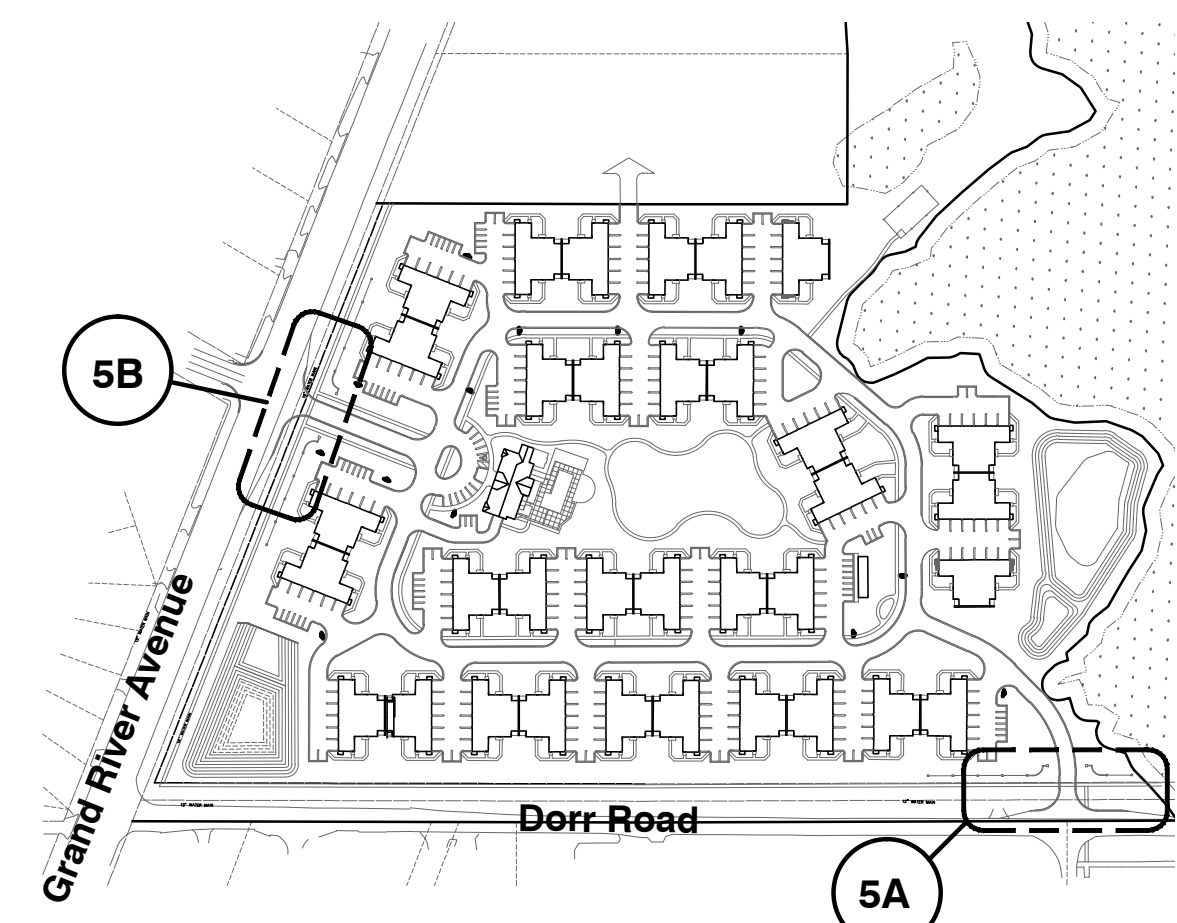


sign panel uplighting
 (4-CONDITIONS)

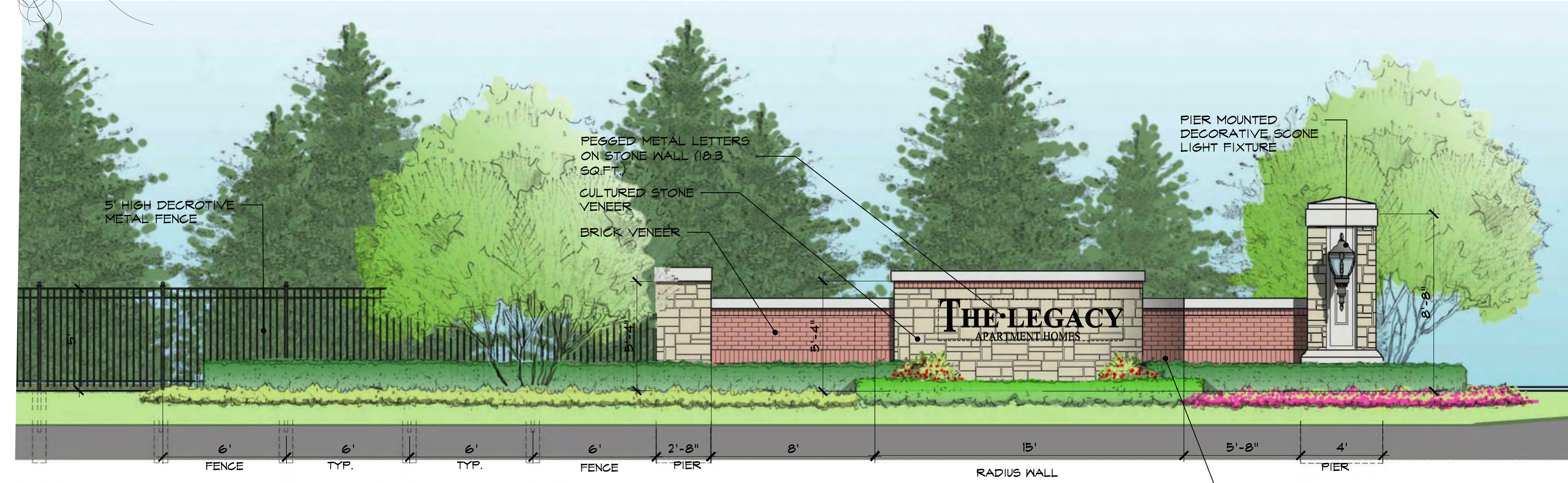
MANUFACTURER:
 ACUITY BRANDS LIGHTING
 ONE LITHONIA WAY
 CONYERS, GA 30012
 PEACHTREE, GA 30029
 PH. 770-322-9000
 BRAND: HYDREL
 MODEL: 4750SF or EQUAL
 (LED 4000K)
 FINISH : BRONZE



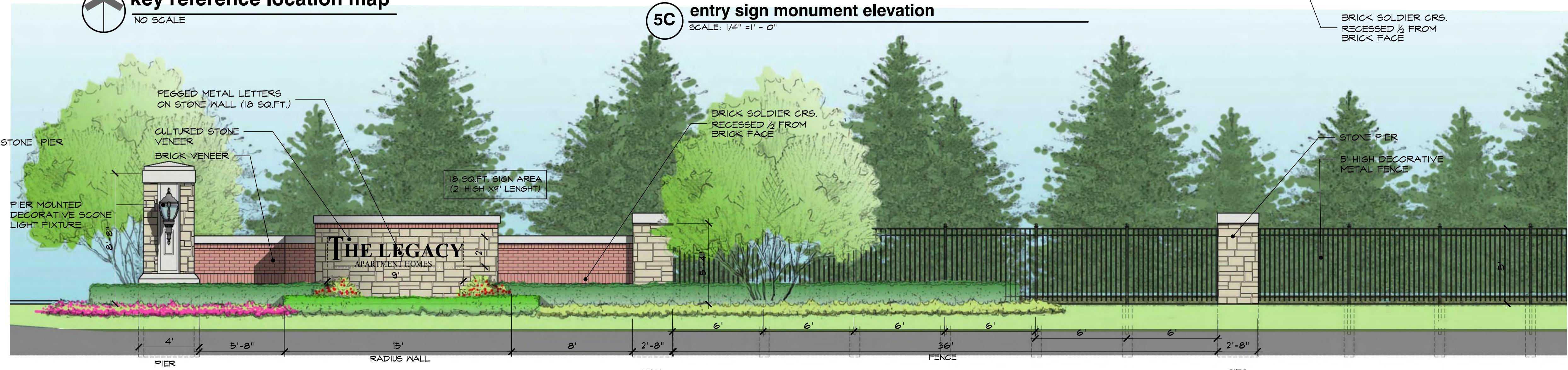
5A entry sign monument site plan
 SCALE: 1" = 20' - 0"



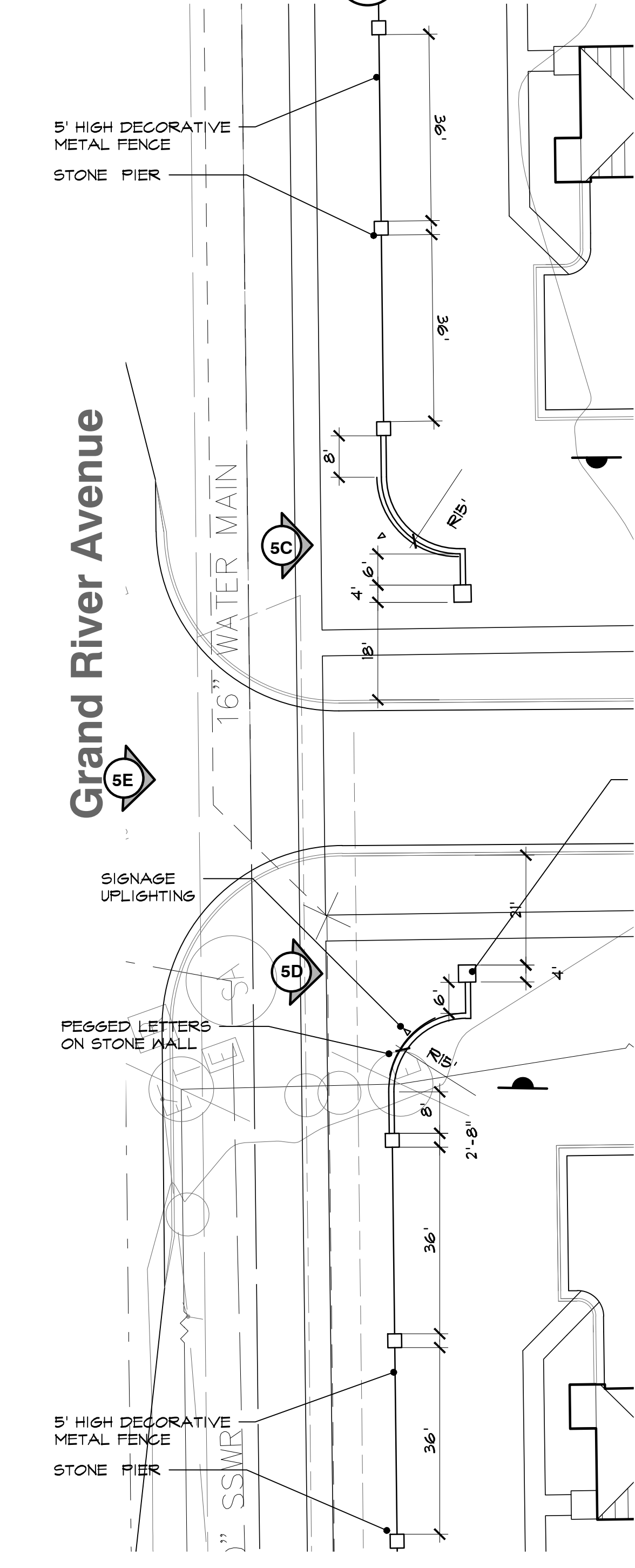
5B key reference location map
 NO SCALE



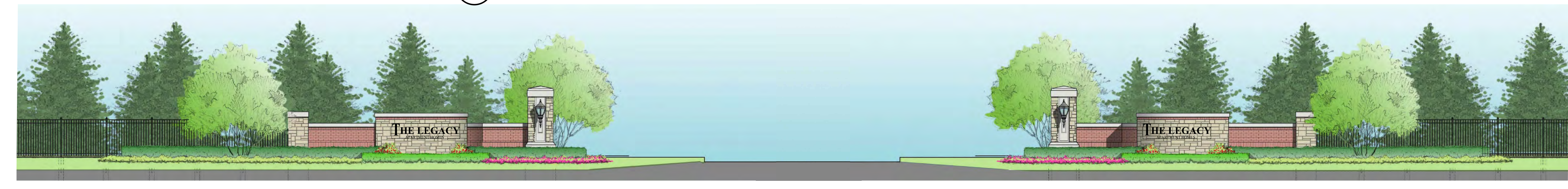
5C entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



5D entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



5B entry sign monument site plan
 SCALE: 1" = 20' - 0"



5E entry sign monument elevation
 SCALE: 1/8" = 1' - 0"



client:
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drawn by:
JP, HP, DK

checked by:
FP

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2-22-2022

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 and Associates

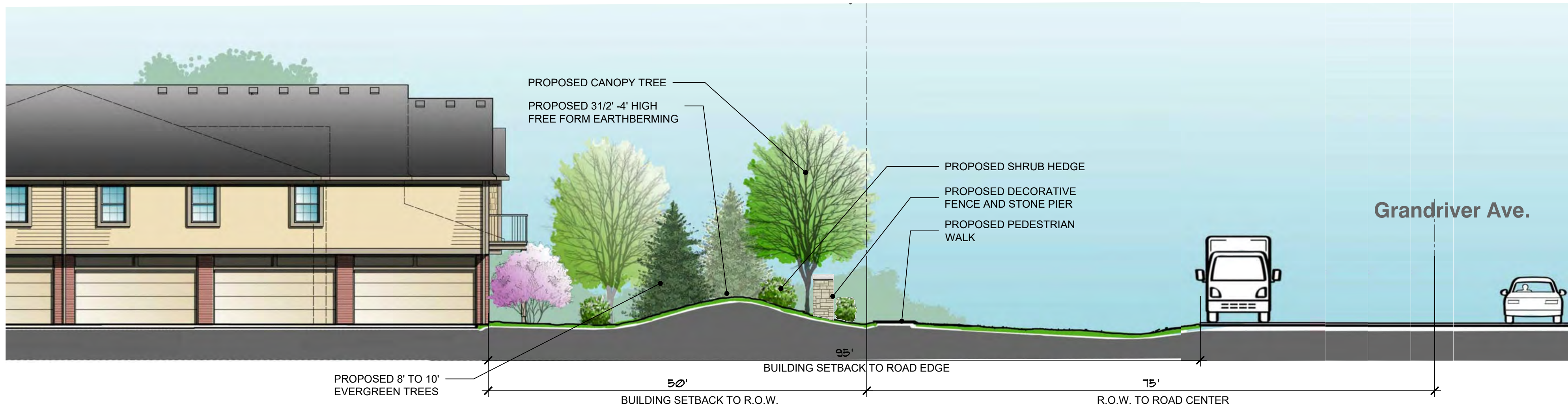
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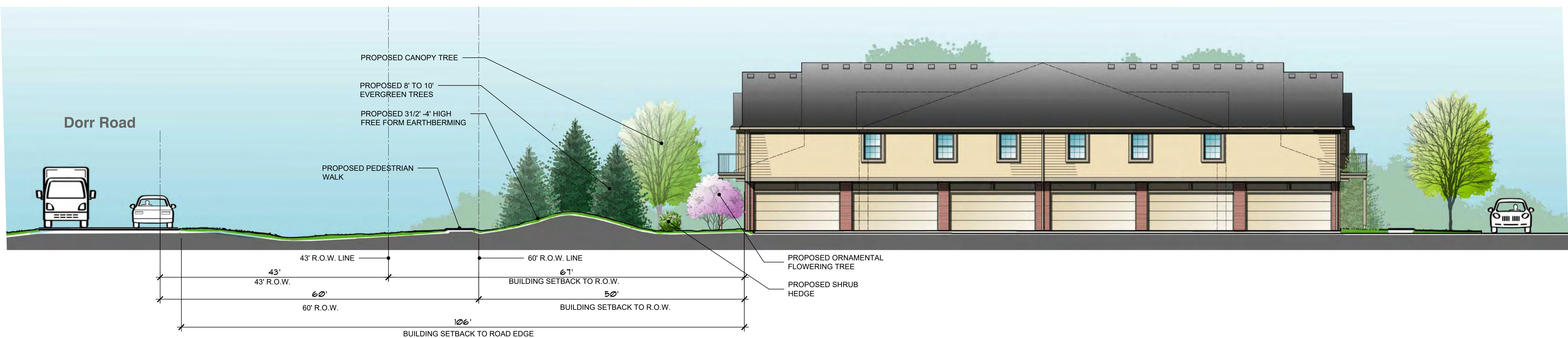
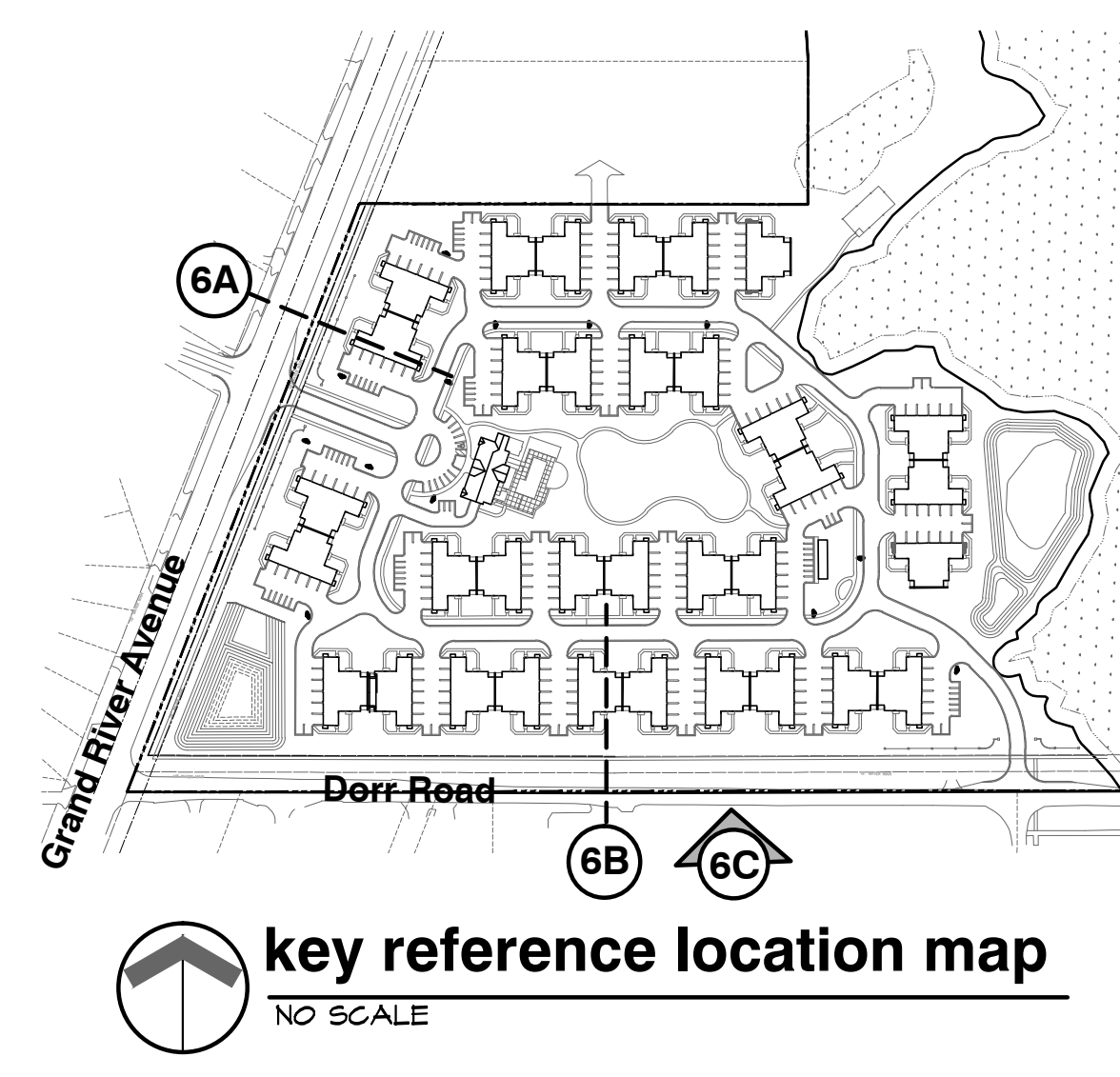
The location and elevations of existing
 underground utilities as shown on this
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 of construction

project no.:
LS22.028.02

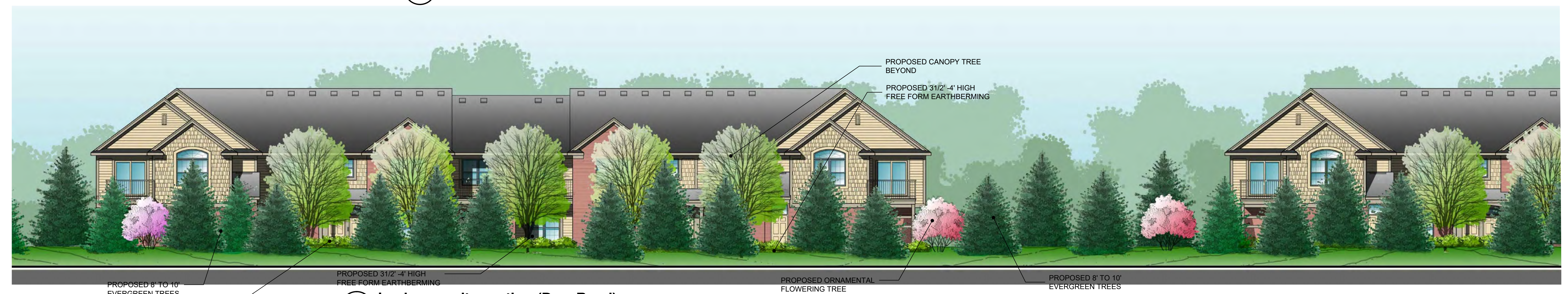
sheet no.:
LSC-6 of 5



6A landscape site section (Grandriver Ave.)
 SCALE: 1" = 10' - 0"



6A landscape site section (Dorr Road)
 SCALE: 1" = 10' - 0"

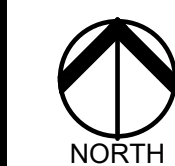


6A landscape site section (Dorr Road)
 SCALE: 1" = 10' - 0"

THE LEGACY APARTMENT HOMES

6080 W. GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP
1"=500'

INDEX OF DRAWINGS	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.1	TOPOGRAPHICAL SURVEY-OVERALL
C-1.2	TOPOGRAPHICAL SURVEY-NORTH
C-1.3	TOPOGRAPHICAL SURVEY-SOUTH
C-1.4	TREE LIST
C-2.1	OVERALL PUD SITE PLAN
C-2.2	CONCEPTUAL PUD SITE PLAN-NORTH
C-2.3	CONCEPTUAL PUD SITE PLAN-SOUTH
C-3.1	CONCEPTUAL STORM WATER MANAGEMENT PLAN
C-4.1	CONCEPTUAL UTILITY PLAN
C-4.2	CONCEPTUAL UTILITY PLAN
C-5.1	VEHICLE TRACKING
L-1.0 - 5.0	CONCEPTUAL LANDSCAPE PLAN
A -1.0 - 6.0	ARCHITECTURAL FLOOR PLANS AND ELEVATIONS

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER
GRAND RIVER DORR, LLC
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILL, MI 48334
CONTACT: MARK KASSAB
PHONE: 248.865.0066
EMAIL: MKASSAB@MSHAPIROREALESTATE.COM

CIVIL ENGINEER
PEA GROUP
7927 NEMCO WAY, STE. 115
BRIGHTON, MI 48116
CONTACT: JONATHAN E. CURRY, PE
PHONE: 844.813.2949
EMAIL: JCURRY@PEAGROUP.COM

ARCHITECT
BURMANN ASSOCIATES INC.
119 W. ST. CLAIR
ROMEO, MICHIGAN 58065-4655
PHONE: 586.752.5010 , MOBILE: 586.201.1602
EMAIL: GREATARCHITECTS@CHARTER.NET

SURVEYOR
HUBBELL ROTH AND CLARK
555 HULET DRIVE
BLOOMFIELD HILLS, MICHIGAN 48303
CONTACT: MELISSA COATTE, P.E.
PHONE: 248-454-6300
EMAIL: mcoatta@hrcengr.com

LANDSCAPE ARCHITECT/PLANNER
FELINO A. PASCUAL AND ASSOCIATES
24333 ORCHARD LAKE ROAD SUITE G
CONTACT: FELINO A. PASCUAL, RLA, CLARB
PHONE: 248.557.5588



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	5/24/2022
REVISED FOR TOWNSHIP COMMENTS	6/23/2022

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY HRC, INC. THE NORTH WETLAND LINE WAS OBTAINED BY PEA GROUP.

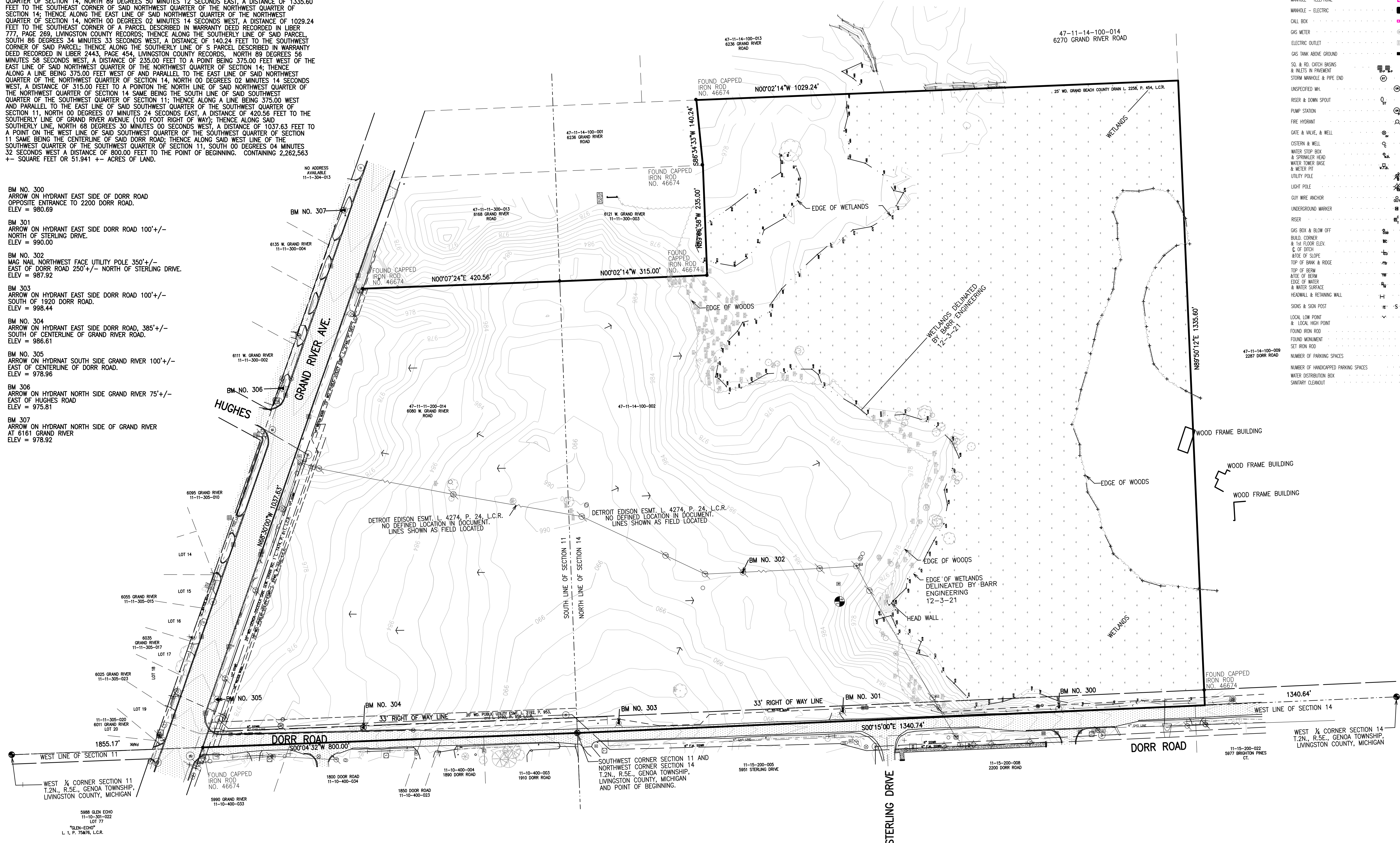
PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

PROPERTY DESCRIPTION:

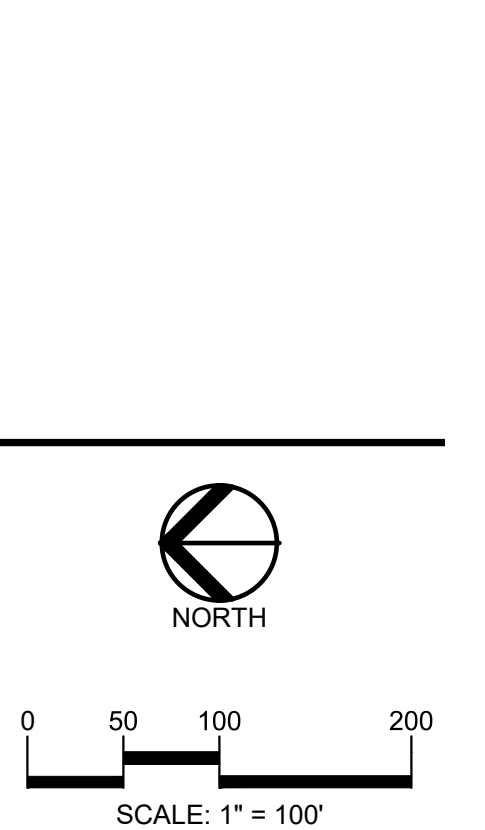
BEING A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, AND A PART OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 14, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11 SAME BEING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 14; THENCE, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, SAME BEING THE CENTERLINE OF DORR ROAD (66 FOOT RIGHT OF WAY), SOUTH 00 DEGREES 15 MINUTES 00 SECONDS EAST, A DISTANCE OF 1340.74 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, A DISTANCE OF 1335.60 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 1029.24 FEET TO THE SOUTHWEST CORNER OF A PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 777, PAGE 269, LIVINGSTON COUNTY RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 86 DEGREES 34 MINUTES 33 SECONDS WEST, A DISTANCE OF 140.24 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL DESCRIBED IN WARRANTY DEED RECORDED IN LIBER 2443, PAGE 454, LIVINGSTON COUNTY RECORDS, NORTH 89 DEGREES 56 MINUTES 58 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A POINT BEING 375.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14; THENCE ALONG A LINE BEING 375.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, NORTH 00 DEGREES 02 MINUTES 14 SECONDS WEST, A DISTANCE OF 315.00 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, NORTH 00 DEGREES 07 MINUTES 24 SECONDS EAST, A DISTANCE OF 420.56 FEET TO THE SOUTHERLY LINE OF GRAND RIVER AVENUE (100 FOOT RIGHT OF WAY); THENCE ALONG SAID SOUTHERLY LINE, NORTH 68 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 1037.63 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11 SAME BEING THE CENTERLINE OF SAID DORR ROAD; THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, SOUTH 00 DEGREES 04 MINUTES 32 SECONDS WEST A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. CONTAINING 2,282,563 +/- SQUARE FEET OR 51.941 +/- ACRES OF LAND.

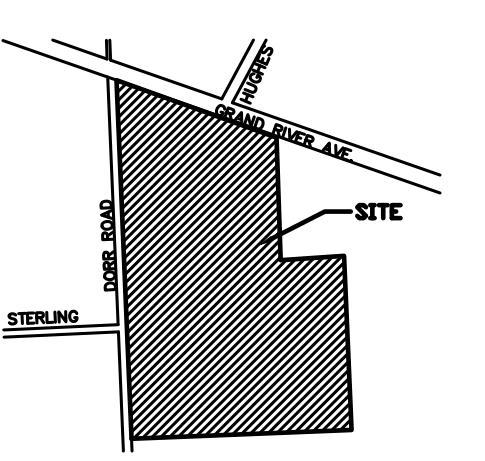
- BM NO. 300
ARROW ON HYDRANT EAST SIDE OF DORR ROAD
OPPOSITE ENTRANCE TO 2200 DORR ROAD.
ELEV = 980.69
- BM NO. 301
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
NORTH OF STERLING DRIVE.
ELEV = 990.00
- BM NO. 302
MAG NAIL NORTHWEST FACE UTILITY POLE 350'+/-
EAST OF DORR ROAD 250'+/- NORTH OF STERLING DRIVE.
ELEV = 987.92
- BM NO. 303
ARROW ON HYDRANT EAST SIDE DORR ROAD 100'+/-
SOUTH OF 1920 DORR ROAD.
ELEV = 998.44
- BM NO. 304
ARROW ON HYDRANT EAST SIDE DORR ROAD, 385'+/-
SOUTH OF CENTERLINE OF GRAND RIVER ROAD.
ELEV = 986.61
- BM NO. 305
ARROW ON HYDRANT SOUTH SIDE GRAND RIVER 100'+/-
EAST OF CENTERLINE OF DORR ROAD.
ELEV = 978.96
- BM NO. 306
ARROW ON HYDRANT NORTH SIDE GRAND RIVER 75'+/-
EAST OF HUGHES ROAD
ELEV = 975.81
- BM NO. 307
ARROW ON HYDRANT NORTH SIDE OF GRAND RIVER
AT 6161 GRAND RIVER
ELEV = 978.92



LEGEND	
BUILDING	[Symbol]
ASPHALT	[Symbol]
CONCRETE	[Symbol]
GRAVEL	[Symbol]
STORM	[Symbol]
SANITARY	[Symbol]
WATERMAIN	[Symbol]
GAS	[Symbol]
LAND TELEPHONE	[Symbol]
LAND ELECTRICAL	[Symbol]
TRVERSE LINE & TRAVERSE POINT	[Symbol]
BENCH MARK SYMBOL	[Symbol]
PARKING BOLLARD	[Symbol]
FENCE	[Symbol]
MANHOLE - TELEPHONE	[Symbol]
MANHOLE - ELECTRIC	[Symbol]
CALL BOX	[Symbol]
GAS METER	[Symbol]
ELECTRIC OUTLET	[Symbol]
GAS TANK ABOVE GROUND	[Symbol]
SO. & RD. CATCH BASINS & INLETS IN PAVEMENT	[Symbol]
STORM MANHOLE & PIPE END	[Symbol]
UNSPECIFIED MFL	[Symbol]
RISER & DOWN SPOUT	[Symbol]
PUMP STATION	[Symbol]
FIRE HYDRANT	[Symbol]
GATE & VALVE, & WELL	[Symbol]
CISTERN & WELL	[Symbol]
WATER STOP BOX & SPRINKLER HEAD	[Symbol]
WATER TOWER BASE & METER PIT	[Symbol]
UTILITY POLE	[Symbol]
LIGHT POLE	[Symbol]
CLAY WIRE ANCHOR	[Symbol]
UNDERGROUND MARKER	[Symbol]
RISER	[Symbol]
GAS BOX & BLOW OFF	[Symbol]
BUILD CORNER & 1st FLOOR ELEV.	[Symbol]
S. OF DITCH	[Symbol]
ATOE OF SLOPE	[Symbol]
TOP OF BANK & RIDGE	[Symbol]
ATOE OF BEAM	[Symbol]
EDGE OF WATER & WATER SURFACE	[Symbol]
HEADWALL & RETAINING WALL	[Symbol]
SIGNS & SIGN POST	[Symbol]
LOCAL LOW POINT & LOCAL HIGH POINT	[Symbol]
FOUND IRON ROD	[Symbol]
FOUND MONUMENT	[Symbol]
SET IRON ROD	[Symbol]
NUMBER OF PARKING SPACES	[Symbol]
NUMBER OF HANDICAPPED PARKING SPACES	[Symbol]
WATER DISTRIBUTION BOX	[Symbol]
SANITARY CLEANOUT	[Symbol]



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY AS APPLIED AS TO THE COMPLETION OF ACCURACY THEREOF. THE DRAWING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS	
REVISED PER TWP COMMENTS	6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
TOPOGRAPHICAL SURVEY-OVERALL

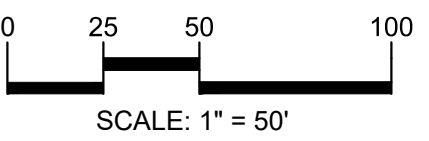
PEA JOB NO.	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER:	

NOT FOR CONSTRUCTION C-1.1

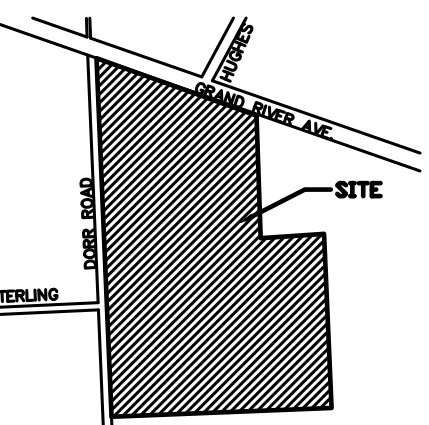
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TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS
752	RO	10	Red Oak	Quercus rubra	Good	
753	RO	11	Red Oak	Quercus rubra	Good	
754	PN	18	Pin Cherry	Prunus pennsylvanica	Good	
755	RO	13	Red Oak	Quercus rubra	Good	
756	RO	10	Red Oak	Quercus rubra	Good	
757	RO	10	Red Oak	Quercus rubra	Good	x1
758	RO	9	Red Oak	Quercus rubra	Good	
759	RO	11	Red Oak	Quercus rubra	Good	
760	RO	8	Red Oak	Quercus rubra	Good	x1
761	RO	10	Red Oak	Quercus rubra	Good	
762	BX	21	Box elder	Acer negundo	Fair	x1
763	AP	10	Domestic Apple	Malus sylvestris	Fair	x1
764	BC	10	Wild Black Cherry	Prunus serotina	Poor	
765	BG	10	Bigtooth Aspen	Populus grandidentata	Good	
766	E	10	American Elm	Ulmus americana	Good	
767	AP	9	Domestic Apple	Malus sylvestris	Fair	
768	BC	10	Wild Black Cherry	Prunus serotina	Fair	
769	MW	12	White Mulberry	Morus alba	Fair	
770	BC	13	Wild Black Cherry	Prunus serotina	Fair	
771	BC	13	Wild Black Cherry	Prunus serotina	Fair	
772	BC	9	Wild Black Cherry	Prunus serotina	Fair	
773	BC	15	Wild Black Cherry	Prunus serotina	Fair	
774	AP	12	Domestic Apple	Malus sylvestris	Fair	
775	AP	8	Domestic Apple	Malus sylvestris	Fair	
776	AP	8	Domestic Apple	Malus sylvestris	Fair	x1
777	AP	8	Domestic Apple	Malus sylvestris	Fair	
778	RO	9	Red Oak	Quercus rubra	Good	
779	AP	10	Domestic Apple	Malus sylvestris	Fair	
780	AP	12	Domestic Apple	Malus sylvestris	Fair	
781	RO	12	Red Oak	Quercus rubra	Good	
782	AP	11	Domestic Apple	Malus sylvestris	Fair	
783	AP	10	Domestic Apple	Malus sylvestris	Fair	
784	AP	8	Domestic Apple	Malus sylvestris	Fair	x1
785	BG	8	Bigtooth Aspen	Populus grandidentata		
786	BG	10	Bigtooth Aspen	Populus grandidentata	Very Poor	
787	BG	9	Bigtooth Aspen	Populus grandidentata	Fair	
788	BG	10	Bigtooth Aspen	Populus grandidentata	Fair	
789	BG	10	Bigtooth Aspen	Populus grandidentata	Very Poor	
790	AP	8	Domestic Apple	Malus sylvestris	Fair	
791	AP	8	Domestic Apple	Malus sylvestris	Fair	x5
792	BG	9	Bigtooth Aspen	Populus grandidentata	Good	
793	RO	12	Red Oak	Quercus rubra	Fair	
794	SWO	14	Swamp White Oak	Quercus bicolor	Fair	
795	SWO	14	Swamp White Oak	Quercus bicolor	Fair	
796	SWO	16	Swamp White Oak	Quercus bicolor	Fair	
797	BX	11	Box elder	Acer negundo	Poor	x1
798	AP	18	Domestic Apple	Malus sylvestris	Fair	x5
799	BG	11	Bigtooth Aspen	Populus grandidentata	Dead	
800	BC	9	Wild Black Cherry	Prunus serotina	Fair	
801	BC	16	Wild Black Cherry	Prunus serotina	Poor	
802	BC	14	Wild Black Cherry	Prunus serotina	Fair	
803	BC	16	Wild Black Cherry	Prunus serotina	Fair	x1
804	GA	8	Green Ash	Fraxinus pennsylvanica	Poor	x1
805	BC	18	Wild Black Cherry	Prunus serotina	Fair	
806	BC	9	Wild Black Cherry	Prunus serotina	Fair	
807	BC	9	Wild Black Cherry	Prunus serotina	Fair	
808	BC	14	Wild Black Cherry	Prunus serotina	Poor	x1

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS
809	BC	13	Wild Black Cherry	Prunus serotina	Fair	
810	BC	11	Wild Black Cherry	Prunus serotina	Poor	
811	BC	12	Wild Black Cherry	Prunus serotina	Fair	
812	BC	16	Wild Black Cherry	Prunus serotina	Fair	x1
813	BC	13	Wild Black Cherry	Prunus serotina	Fair	
814	BC	8	Wild Black Cherry	Prunus serotina	Poor	
815	BC	9	Wild Black Cherry	Prunus serotina	Fair	
816	PN	11	Pin Cherry	Prunus pennsylvanica	Fair	check YB
817	PN	12	Pin Cherry	Prunus pennsylvanica	Fair	
818	BC	9	Wild Black Cherry	Prunus serotina	Fair	
819	BX	12	Box elder	Acer negundo	Fair	
820	BC	13	Wild Black Cherry	Prunus serotina	Fair	
821	BC	11	Wild Black Cherry	Prunus serotina	Fair	
822	PN	14	Pin Cherry	Prunus pennsylvanica	Good	
823	BX	17	Box elder	Acer negundo	Fair	x1
824	BX	8	Box elder	Acer negundo	Fair	
825	BX	10	Box elder	Acer negundo	Fair	
826	BX	8	Box elder	Acer negundo	Fair	
827	SM	21	Silver Maple	Acer saccharinum	Good	x1
828	BC	10	Wild Black Cherry	Prunus serotina	Poor	
829	BC	11	Wild Black Cherry	Prunus serotina	Very Poor	crown broke off
830	BC	8	Wild Black Cherry	Prunus serotina	Poor	
831	BC	9	Wild Black Cherry	Prunus serotina	Fair	
832	BC	8	Wild Black Cherry	Prunus serotina	Poor	
833	BC	12	Wild Black Cherry	Prunus serotina	Fair	
834	BC	9	Wild Black Cherry	Prunus serotina	Poor	
835	BX	8	Box elder	Acer negundo	Very Poor	x1
836	BX	10	Box elder	Acer negundo	Fair	
837	PN	11	Pin Cherry	Prunus pennsylvanica	Fair	
838	BC	12	Wild Black Cherry	Prunus serotina	Fair	
839	RO	18	Red Oak	Quercus rubra	Fair	
840	YB	13	Yellow Birch	Betula alleghaniensis	Fair	
841	BX	8	Box elder	Acer negundo	Poor	
842	BC	8	Wild Black Cherry	Prunus serotina	Fair	
843	BX	8	Box elder	Acer negundo	Very Poor	
844	BC	16	Wild Black Cherry	Prunus serotina	Fair	
845	BX	8	Box elder	Acer negundo	Poor	
846	BC	27	Wild Black Cherry	Prunus serotina	Fair	x1
847	BC	14	Wild Black Cherry	Prunus serotina	Fair	
848	BX	9	Box elder	Acer negundo	Fair	
849	BX	9	Box elder	Acer negundo	Very Poor	
850	BX	8	Box elder	Acer negundo	Fair	x1
851	BO	16	Black Oak	Quercus velutina	Good	x1
852	BX	9	Box elder	Acer negundo	Poor	x3
853	BX	9	Box elder	Acer negundo	Fair	
854	BC	11	Wild Black Cherry	Prunus serotina	Fair	
855	RO	13	Red Oak	Quercus rubra	Fair	
856	BC	13	Wild Black Cherry	Prunus serotina	Fair	
857	RO	11	Red Oak	Quercus rubra	Fair	
858	BC	8	Wild Black Cherry	Prunus serotina	Fair	x3
859	BC	8	Wild Black Cherry	Prunus serotina	Fair	
860	RO	17	Red Oak	Quercus rubra	Good	x1
861	AP	17	Domestic Apple	Malus sylvestris	Poor	x2
862	AP	25	Domestic Apple	Malus sylvestris	Poor	
863	WO	38	White Oak	Quercus alba	Very Poor	
864	BC	13	Wild Black Cherry	Prunus serotina	Fair	



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CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
TREE LIST

PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:

SITE DATA TABLE:

SITE AREA	ORDINANCE	PROPOSED
	20.0 ACRES MIN.	51.94 ACRES GROSS 32.77 ACRES NET
DENSITY	8 UNITS/ACRE	6.23 UNITS/ACRE
ZONING:	EXISTING: NSD AND MDR WITH TOWN CENTER OVERLAY	PROPOSED: HDR, RPUD
	USE:	EXISTING: VACANT
	PROPOSED: 204 MULTI-FAMILY DWELLING UNITS, CLUBHOUSE AND POOL	
BUILDING INFORMATION:		
	MAXIMUM ALLOWABLE BUILDING HEIGHT = 40 FEET (3 STORIES)	
	PROPOSED BUILDING HEIGHT = 27 FEET (2 STORIES)	
	BUILDING FOOTPRINT AREA = 5,898 - 11,981 SQ.FT.	
	CLUBHOUSE = 6,658 SQ. FT.	
	TOTAL BUILDING FOOTPRINT AREA = 203,492 SQ.FT.	
LOT COVERAGE	REQUIRED	PROPOSED (BASED ON NET ACRES)
	35% MAX	14.3%
PERCENT IMPERVIOUS	50% MAX	41.4%
SETBACK REQUIREMENTS:		
FRONT:	REQUIRED	PROPOSED
INTERIOR	20'	32'
EXTERIOR	35'	45.5' MIN
SIDE:	15'	20.2' MIN
REAR:	30'	77'
DENSITY CALCULATION		
ALLOWED	PROPOSED OVERALL ACREAGE	PROPOSED USEABLE ACREAGE
8 UNITS/AC	3.92 UNITS/AC	6.23 UNITS/AC
PARKING CALCULATIONS:		
TOTAL PROPOSED PARKING SPACES = 700 SPACES (408 GARAGE + 204 IN DRIVEWAYS + 88 ADDITIONAL SPACES INCLUDING 1 H/C SPACE)	REQUIRED 2 SPACES PER 2 BEDROOM OR MORE UNIT = 408 SPACES	
OPEN SPACE:		
MINIMUM OPEN SPACE REQUIRED = 25%		
PROVIDED OPEN SPACE = 29.0 AC, = 55.8%		
SITE SOILS INFORMATION:		
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR LIVINGSTON COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:		
C ₆ , C ₇ , C ₈ , FrB, FrC, FrE, Gr, HIB, HIC, Ho, MoB, MoC, MoD, MqE, MoF, Rf, W, Wh		

ORDINANCE MODIFICATIONS:

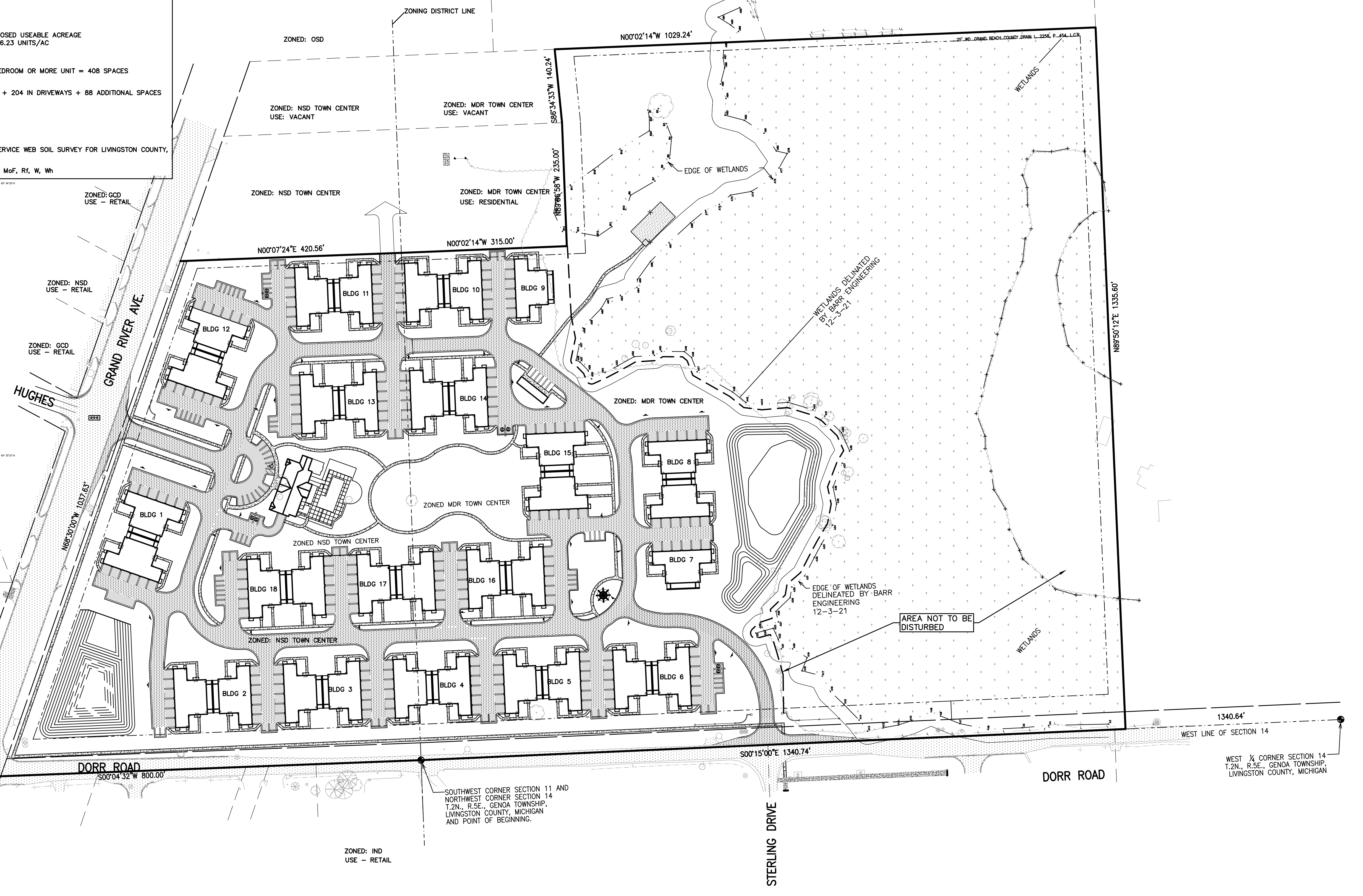
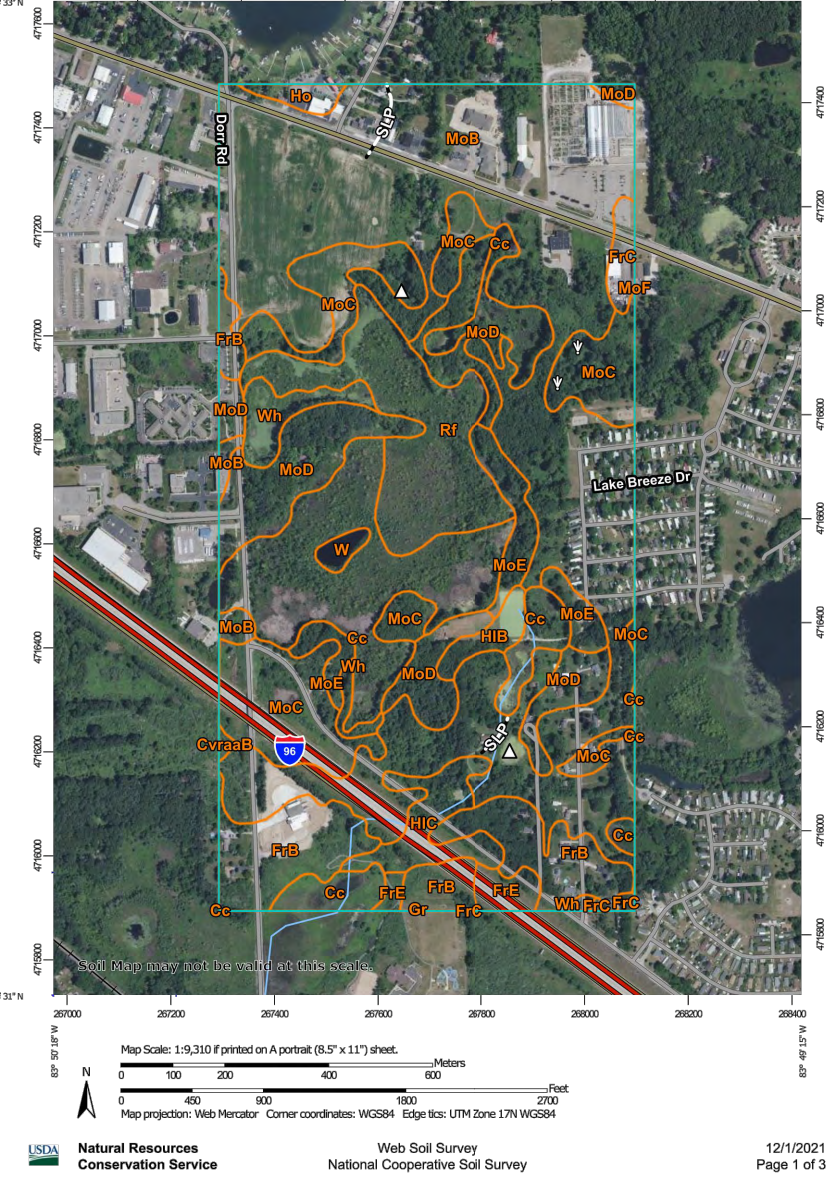
ZONING	10.03.01 (C)	THE OPEN SPACE ALONG THE EXTERIOR PUBLIC ROADS SHALL GENERALLY HAVE A DEPTH OF AT LEAST ONE HUNDRED (100) FEET EITHER LANDSCAPED OR PRESERVED IN A NATURAL WOODED CONDITION.
	13.02.04 d.	REQUEST FOR GRADING UPTO 10' FROM REGULATED WETLAND.
	14.02.06	REQUEST TO EXCEED PARKING SPACE REQUIREMENT MORE THAN 20%
	14.06.09	PARKING LOTS AND RELATED MANEUVERING AISLES SHALL MEET MINIMUM SETBACKS FROM ADJACENT STREET R-O-W AS SHOWN IN THE SCHEDULE OF REGULATIONS AND HAVE PARKING LOT LANDSCAPING
	14.06.10	PARKING LOTS SHALL HAVE MINIMUM REAR AND SIDE YARD SETBACKS INCLUDING BERMING AND LANDSCAPING.

NOTE:

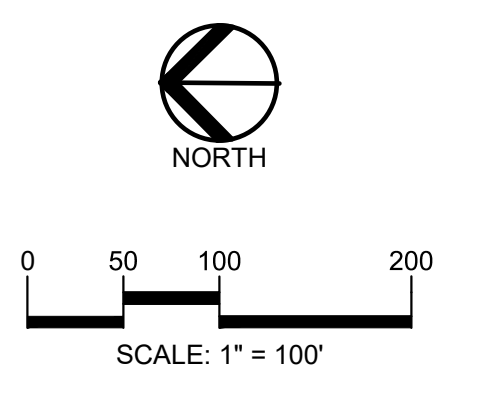
- PROPERTY WILL BE DEVELOPED OWNED AND OPERATED BY A SINGLE OWNERSHIP ENTITY.
- TRASH COLLECTION WILL BE PROVIDED VIA INDIVIDUAL TRASH CARTS FOR EACH UNIT WITH CURB SIDE TRASH COLLECTION.

LEGEND:

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN
	LIGHTPOLE
	FENCE
	GUARD RAIL

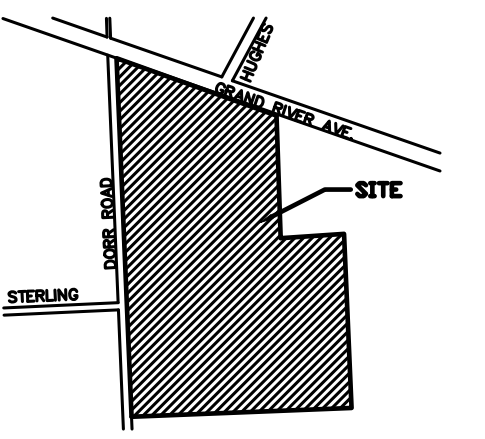


PEA GROUP
t: 844.813.2949
www.peagroup.com



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315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
OVERALL PUD SITE PLAN

PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:

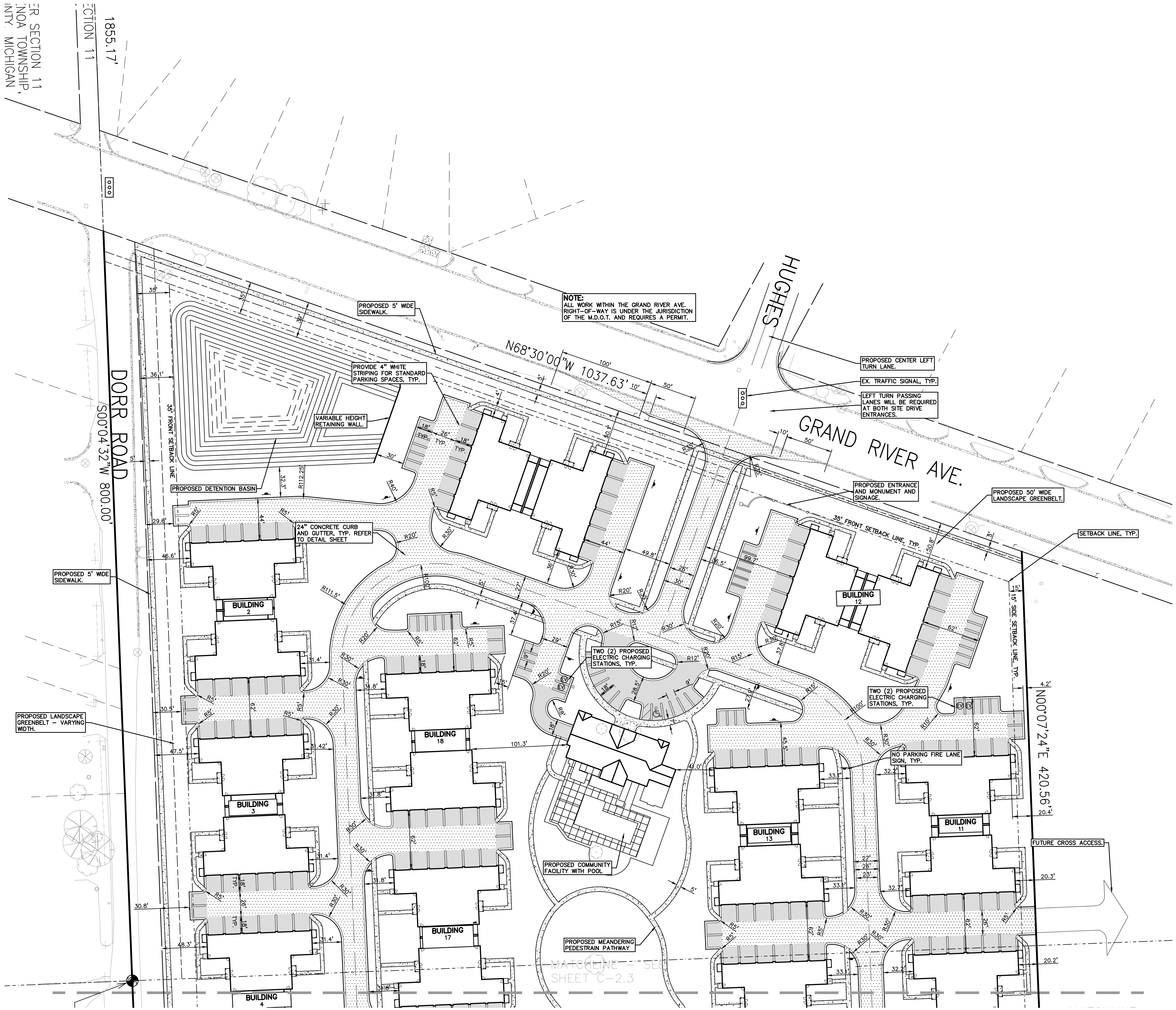
NOT FOR CONSTRUCTION C-2.1

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SECTION 11
NOA TOWNSHIP,
MICHIGAN

1855.17'
SECTION 11

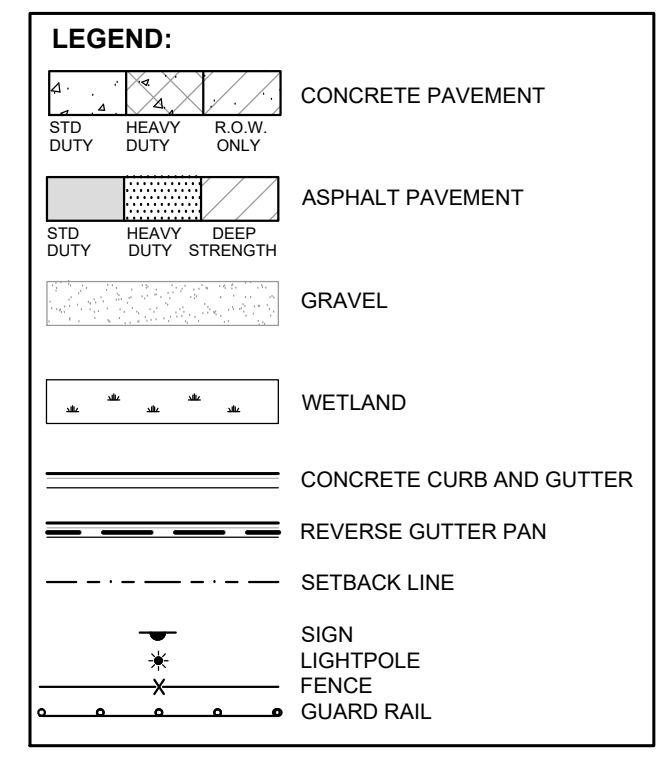
DORR ROAD
S00°04'32"W 800.00'



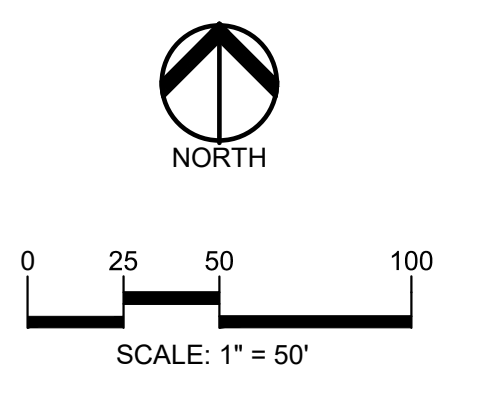
NOTE:
ALL WORK WITHIN THE GRAND RIVER AVE.
RIGHT-OF-WAY IS UNDER THE JURISDICTION
OF THE M.D.O.T. AND REQUIRES A PERMIT.

GENERAL NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 50'-100' FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.

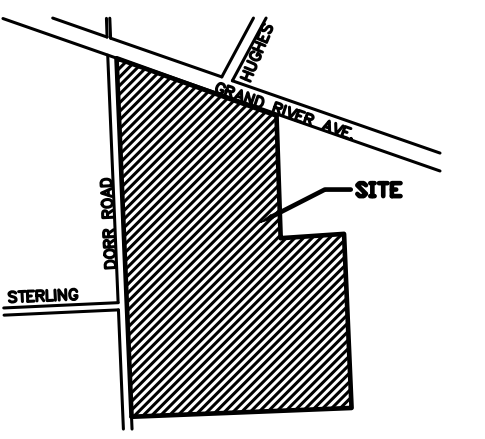


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PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
CONCEPTUAL PUD SITE PLAN-NORTH

PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-2.2

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LEGEND:

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE
- FENCE
- GUARD RAIL

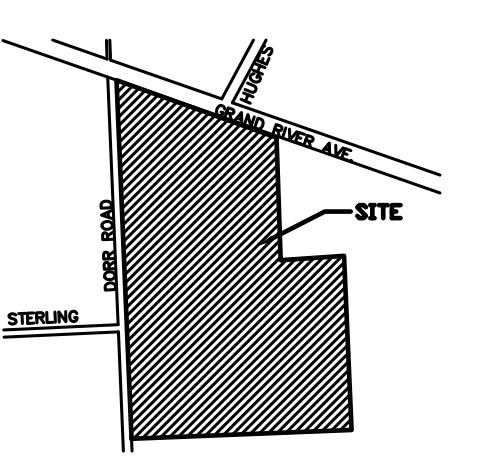
NORTH

0 25 50 100

SCALE: 1" = 50'

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CLIENT
GRAND RIVER DORR LLC.
 31550 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
 6080 W GRAND RIVER
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS

REVISED PER TWP COMMENTS	6.23.22
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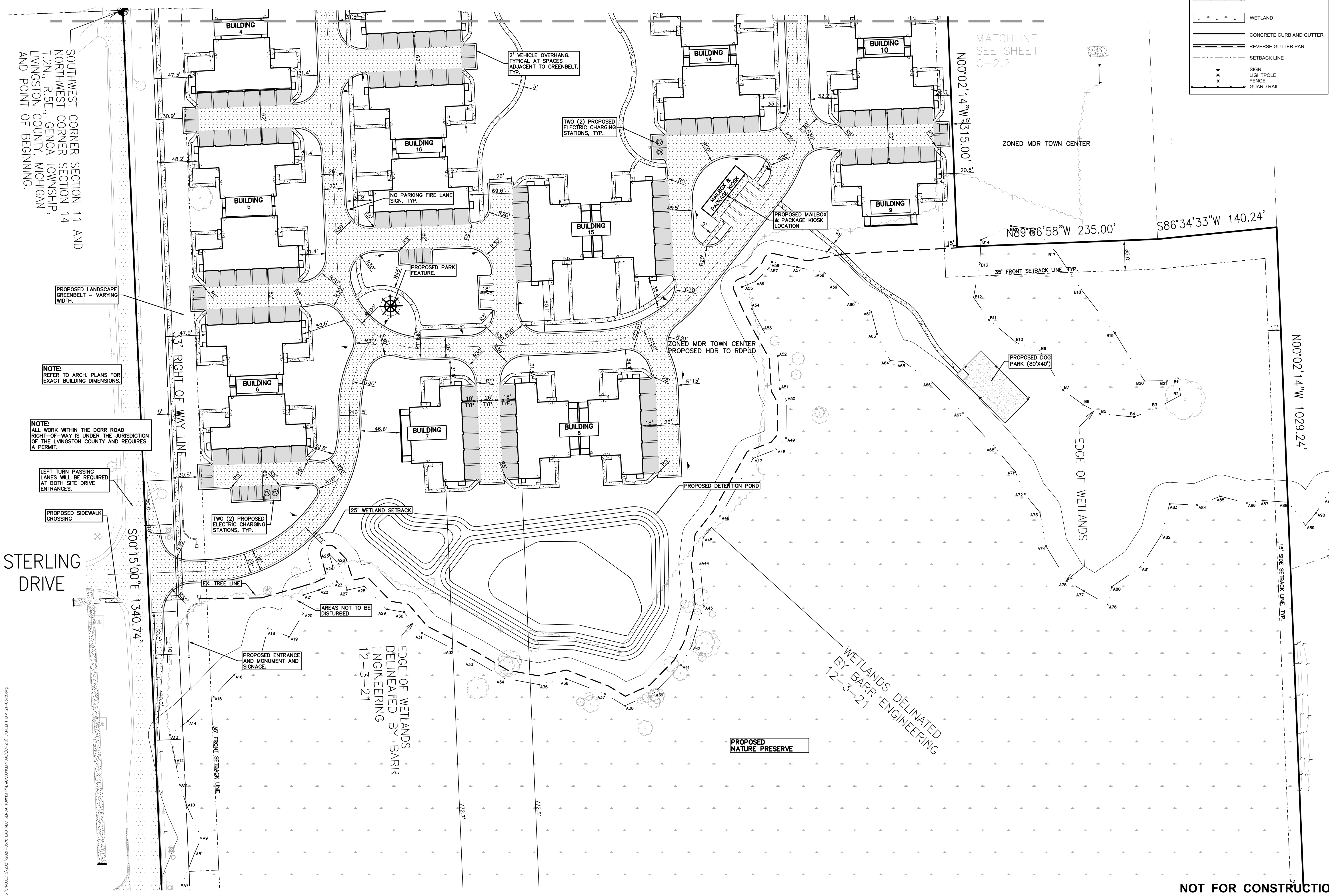
ORIGINAL ISSUE DATE:
 MAY 24, 2022

DRAWING TITLE
CONCEPTUAL PUD SITE PLAN-SOUTH

PEA JOB NO.	2021-0578
P.M.	JEC
DN.	JMR
DES.	JMR
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

C-2.3



SOUTHWEST CORNER SECTION 11 AND NORTHWEST CORNER SECTION 14, T.2N., R.5E., GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN AND POINT OF BEGINNING.

PROPOSED LANDSCAPE GREENBELT - VARYING WIDTH.

NOTE: REFER TO ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.

NOTE: ALL WORK WITHIN THE DORR ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE LIVINGSTON COUNTY AND REQUIRES A PERMIT.

LEFT TURN PASSING LANES WILL BE REQUIRED AT BOTH SITE DRIVE ENTRANCES.

PROPOSED SIDEWALK CROSSING

STERLING DRIVE

S:\PROJECTS\2021\0578-0578-0578-0578-0578\CONCEPT\CONCEPT DWG 21-0578.dwg

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

—OH—ELEC—W—	ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE
—UG—CATV—	UNDERGROUND CABLE TV, CATV, PEDESTAL
⊗ UG—PHONE	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
⊗ UG—ELEC	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
⊗	GAS MAIN, VALVE & GAS LINE MARKER
⊗	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
⊗	SANITARY SEWER, CLEANOUT & MANHOLE
⊗	STORM SEWER, CLEANOUT & MANHOLE
⊗	COMBINED SEWER & MANHOLE
⊗	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
⊗	POST INDICATOR VALVE
⊗	WATER VALVE, BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
⊗	MALIBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
⊗	UNIDENTIFIED STRUCTURE
⊗	SPOT ELEVATION
—	CONTOUR LINE
—	FENCE
—	GUARD RAIL
—	STREET LIGHT
—	SIEN
—	CONC.
—	CONCRETE
—	ASPH.
—	ASPHALT
—	GRAVEL
—	GRAVEL SHOULDER
—	WETLAND

NOTE:
CROSS-HATCHED AREAS REPRESENT AREAS OF THE SITE THAT ARE NOT TRIBUTARY TO THE PROPOSED STORM SEWER. THESE AREAS ARE TRIBUTARY TO EXISTING STORM SYSTEMS WITHIN ADJACENT RIGHT-OF-WAYS AND ADJACENT PARCELS. AREA = 0.55 ACRES.

NOTE:
HEAVY DASHED LINE INDICATES DRAINAGE LIMITS. AREA = ±13.4 ACRES.

NOTE:
HEAVY DASHED LINE INDICATES DRAINAGE LIMITS. AREA = ±10.47 ACRES.



DETENTION BASIN CALCULATIONS POND 1:

(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	13.40	acres	
Parking and Road	=	3.90	acres	C1 = 0.90
Sidewalks Pool and Deck	=	1.18	acres	C2 = 0.90
Buildings	=	2.78	acres	C3 = 0.90
Grass Landscape Area	=	5.37	acres	C4 = 0.25
Wet Pond Surface	=	0.17	acres	C5 = 1.0

Compound Run-off Coefficient, C	=	0.64
Design Constant, K = A°C	=	8.58
Allowable Outflow Rate, Qo	=	0.2 cfs/acre
	=	2.68 CFS

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (in/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2,750	23,584	804	22,780
10	600	7.86	4,714	40,430	1,608	38,822
15	900	6.88	6,188	53,064	2,412	50,652
20	1200	6.11	7,333	62,891	3,216	59,675
30	1800	5.00	9,000	77,184	4,824	72,360
60	3600	3.24	11,647	99,885	9,648	90,237
70	4200	2.89	12,158	104,266	11,256	93,010
80	4800	2.62	12,571	107,813	12,864	94,949
90	5400	2.39	12,913	110,742	14,472	96,270
120	7200	1.90	13,655	117,107	19,296	97,811
140	8400	1.67	14,000	120,064	22,512	97,552
145	8700	1.62	14,074	120,695	23,316	97,379

Detention Volume Required for 100-yr Storm Event = 97,811 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 4,891 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
978	30,451		
977	29,594	28,066	116,489
976	26,537	25,041	88,424
975	23,545	22,101	63,383
974	20,656	18,877	41,282
973	17,097	15,477	22,406
972	13,857	6,929	6,929
971		0	0

Storage Volume Provided = 116,489 CF

Volume Provided in Sediment Forebay

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
975			7,877
974	5,006	4,458	
973	3,910	3,419	
972	2,927		

Sedimentation Volume Provided = 7,877 CF

TOTAL VOLUME PROVIDED = 124,366

DETENTION BASIN CALCULATIONS (POND 2):

(BASED ON THE RULES OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER)

Total Disturbed Area, A	=	10.47	acres	
Parking and Road	=	2.85	acres	C1 = 0.90
Sidewalks	=	0.53	acres	C2 = 0.90
Buildings	=	2.20	acres	C3 = 0.90
Grass/Landscape Area	=	4.89	acres	C4 = 0.25

Compound Run-off Coefficient, C	=	0.60
Design Constant, K = A°C	=	6.24
Allowable Outflow Rate, Qo	=	0.2 cfs/acre
	=	2.09 CFS

1	2	3	4	5	6	7
Duration (min)	Duration (sec)	100-year intensity (in/Hr)	Col#2*Col#3 (inches)	Inflow Volume (CF) = Col#4*K	Allowable Outflow Volume (CF) = Col#2*Qo	Storage Volume (CF) = Col#5-Col#6
5	300	9.17	2,750	17,172	628	16,544
10	600	7.86	4,714	29,438	1,256	28,182
15	900	6.88	6,188	38,638	1,885	36,753
20	1200	6.11	7,333	45,793	2,513	43,280
30	1800	5.00	9,000	56,201	3,769	52,431
60	3600	3.24	11,647	72,730	7,538	65,192
70	4200	2.89	12,158	75,920	8,795	67,125
80	4800	2.62	12,571	78,502	10,051	68,451
90	5400	2.39	12,913	80,636	11,308	69,328
120	7200	1.90	13,655	85,270	15,077	70,193
140	8400	1.67	14,000	87,423	17,590	69,833
145	8700	1.62	14,074	87,882	18,218	69,664

Detention Volume Required for 100-yr Storm Event = 70,193 CF
Sediment Forebay Capacity = 5% of 100-yr volume = 3,510 CF

Volume Provided in Detention Basin

Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
980.5			80,267
979.5	34,968	32,571	
978.5	30,174	27,959	47,696
977.5	25,743	19,737	19,737
976.5	13,731	0	0

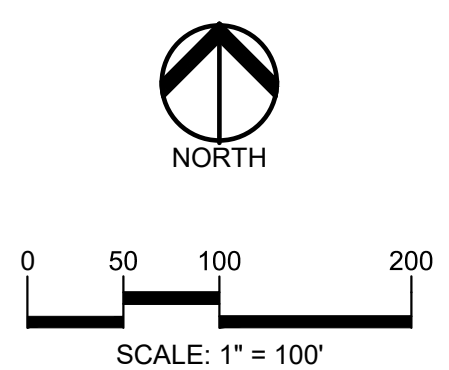
Storage Volume Provided = 80,267 CF

Volume Provided in Sediment Forebay

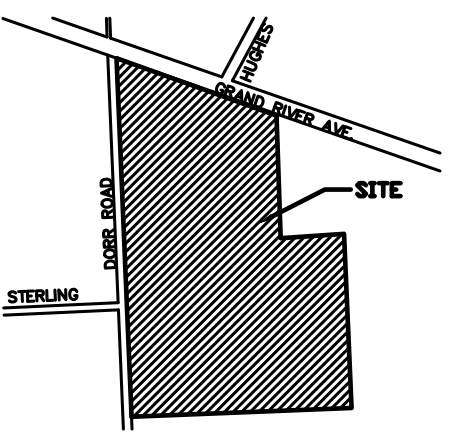
Elevation	Surface Area (SF)	Volume (CF)	Total Volume (CF)
979.5	4,641	3,929	6,537
978.5	3,217	2,608	
977.5	1,999	0	

Sedimentation Volume Provided = 6,537 CF

TOTAL POND VOLUME PROVIDED 86,804



CAUTION!!
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CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
NOV 2021
DRAWING TITLE
CONCEPTUAL STORM WATER MANAGEMENT PLAN

PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-3.1**

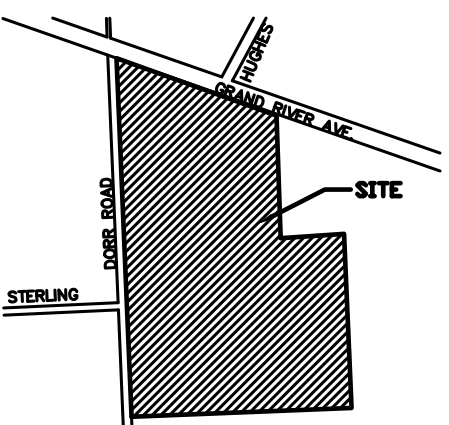
S:\PROJECTS\2021\0578\LAUREN\0578\CONCEPTUAL\C-3.1-CONCEPT STORM WATER MANAGEMENT.dwg



0 25 50 100
SCALE: 1" = 50'



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CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022

DRAWING TITLE
CONCEPTUAL UTILITY PLAN

PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:

C-4.1

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF MHOG AND GENOA TOWNSHIP.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH MDOT CLII SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

STORM SEWER NOTES:

1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE HDPE SCHEDULE 40.
4. STORM SEWER WILL BE PRIVATE AND PLACED IN A 20' WIDE MINIMUM EASEMENT.

WATER MAIN NOTES:

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5°) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
4. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
5. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE MARION, HOWELL, OCEOLA, GENOA (MHOG) SEWER AND WATER AUTHORITY.
6. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 52.
7. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
8. ALL FIRE HYDRANTS SHALL BE E.J.W #58R MODEL #250 PER MHOG STANDARDS.
9. ALL HYDRANTS TO BE A MINIMUM OF 4.5' FROM BACK OF CURB, TYP.
10. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE MHOG.
11. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE MHOG/GENOA TOWNSHIP AT 810-227-5225 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.

FIRE DEPARTMENT NOTES:

1. WATER METER ROOMS/FIRE SPRINKLER ROOMS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDINGS. FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH SIGNAGE IDENTIFYING THE ROOM AND ITS ADDRESS WITH RED LETTERS ON WHITE BACKGROUND.
2. THE WATER METER/FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH HEAT AND INSULATION TO MAINTAIN THE ROOM TEMPERATURE ABOVE 40 DEGREES FAHRENHEIT.
3. THE FDC FOR EACH BUILDING MAY BE LOCATED IMMEDIATELY OUTSIDE THE WATER METER/FIRE SPRINKLER RISER ROOM. THE FDC FOR THE CLUBHOUSE SHALL BE LOCATED ON THE FRONT OF THE BUILDING REGARDLESS OF THE LOCATION OF THE RISER ROOM.
4. ALL FIRE ACCESS DRIVES ARE TO BE PROVIDED WITH VERTICAL CLEARANCE OF 13.5 FEET. THIS INCLUDES BUT IS NOT LIMITED TO PORTE-COCHERE, LIGHTING, AND LARGE CANOPY TREES.
5. EACH BUILDING SHALL INCLUDE THE BUILDING NUMBERS A MINIMUM OF 6" HIGH LETTERS/NUMBERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. EACH UNIT ADDRESS SHALL BE A MINIMUM OF 4" HIGH. WHITE UNIT ADDRESSES LOCATED ON THE NON-STREET-SIDE OF THE BUILDINGS. ADDITIONAL YARD SIGNS VISIBLE FROM THE PARKING AREAS WILL BE REQUIRED. EACH WATER METER/FIRE SPRINKLER RISER ROOM SHALL BE PROVIDED WITH THEIR OWN ADDRESS. THE LOCATION AND SIZE OF THE ADDRESS LABELING SHALL BE COORDINATED AND APPROVED PRIOR TO INSTALLATION. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5' BELOW FINISH GRADE.

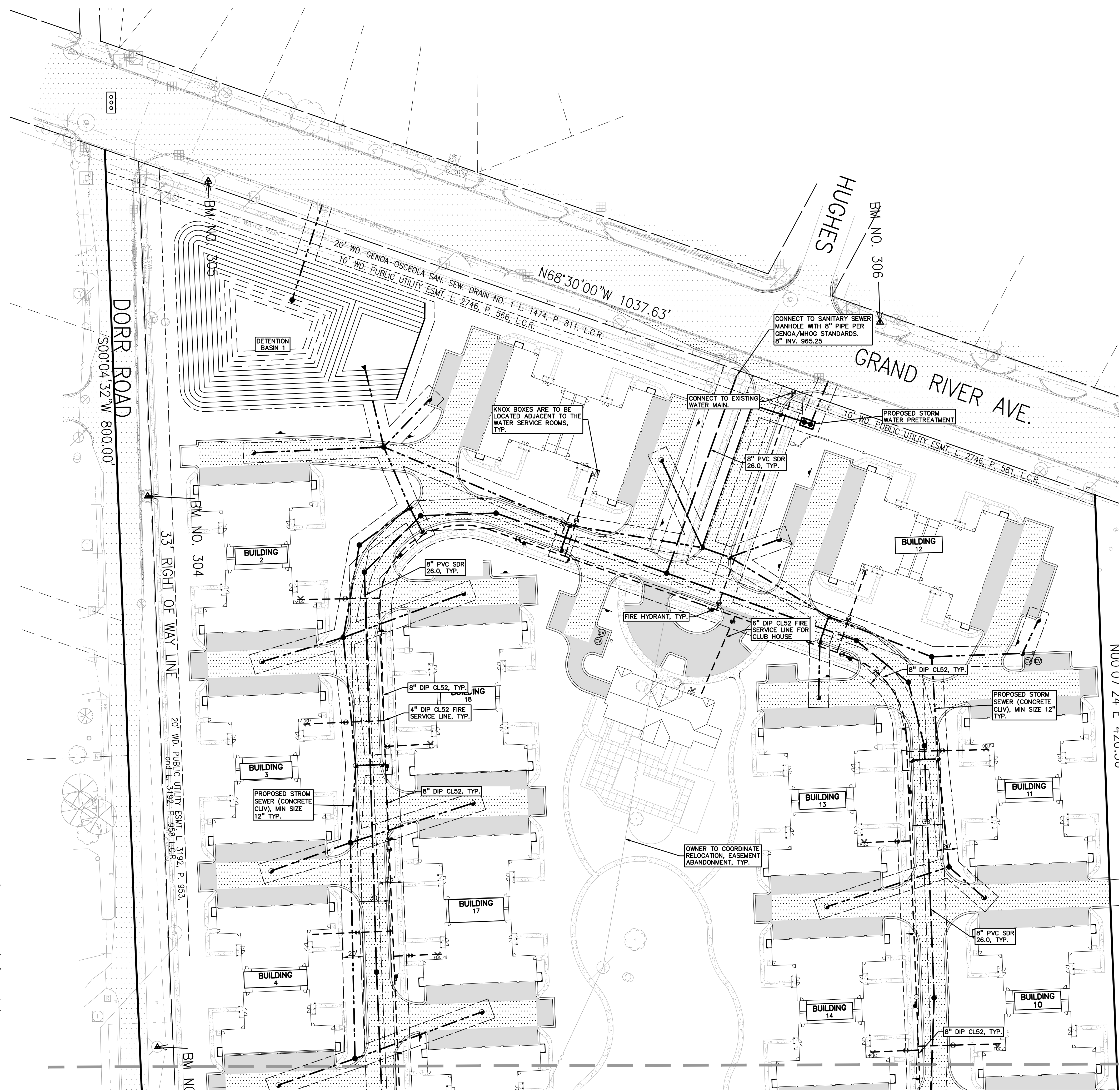
SANITARY SEWER NOTES:

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER 8" OR LARGER SHALL BE PVC SDR 26 TYPE PSM SEWER PIPE WITH BELL AND SPIGOT ENDS FOR GASKETED JOINTS. (FITTINGS ASTM D 3034, PVC BELL ENDS, GASKETS ASTM F 477, ELASTOMERIC SEALS).
4. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
5. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.I.L.W. #1565 BOX OR EQUAL.

UTILITY LEGEND:

-OH-ELEC-W-O-	EX. OH. ELEC. POLE & GUY WIRE
-UG-CATV-	EX. U.G. CABLE TV & PEDESTAL
-UG-COMM-	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
-UG-ELEC-MH-	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
-GAS-	EX. GAS LINE
⊕	EX. GAS VALVE & GAS LINE MARKER
⊞	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊞	EX. WATER VALVE BOX & SHUTOFF
⊕	EX. SANITARY SEWER
⊞	EX. SANITARY CLEANOUT & MANHOLE
⊕	EX. COMBINED SEWER MANHOLE
⊞	EX. STORM SEWER
⊕	EX. CLEANOUT & MANHOLE
⊞	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊕	EX. YARD DRAIN & ROOF DRAIN
⊞	EX. UNIDENTIFIED STRUCTURE
-	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT AND GATE VALVE
⊞	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
-	PROPOSED SANITARY SEWER
⊕	PROPOSED SANITARY CLEANOUT & MANHOLE
⊞	PROPOSED STORM SEWER
⊕	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊞	PROPOSED CATCH BASIN, INLET & YARD DRAIN

MATCHLINE - SEE SHEET C-4.2

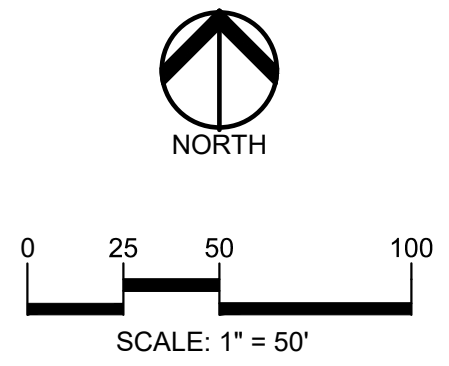


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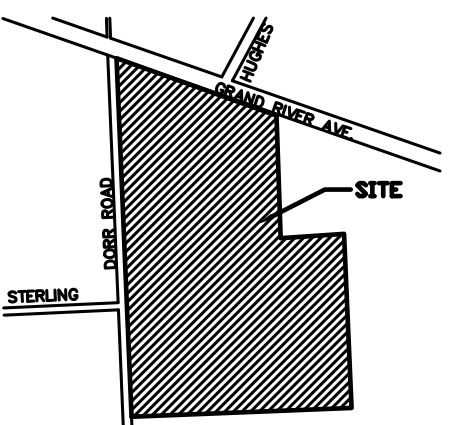
NOT FOR CONSTRUCTION

UTILITY LEGEND:

	EX. OH, ELEC, POLE & GUY WIRE
	EX. U.G. CABLE TV & PEDESTAL
	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
	EX. GAS LINE
	EX. GAS VALVE & GAS LINE MARKER
	EX. TRANSFORMER & IRRIGATION VALVE
	EX. WATER MAIN
	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
	EX. WATER VALVE BOX & SHUTOFF
	EX. SANITARY SEWER
	EX. SANITARY CLEANOUT & MANHOLE
	EX. COMBINED SEWER MANHOLE
	EX. STORM SEWER
	EX. CLEANOUT & MANHOLE
	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
	EX. YARD DRAIN & ROOF DRAIN
	EX. UNIDENTIFIED STRUCTURE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT AND GATE VALVE
	PROPOSED TAPPING SLEEVE, VALVE & WELL
	PROPOSED POST INDICATOR VALVE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY CLEANOUT & MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER CLEANOUT & MANHOLE
	PROPOSED CATCH BASIN, INLET & YARD DRAIN



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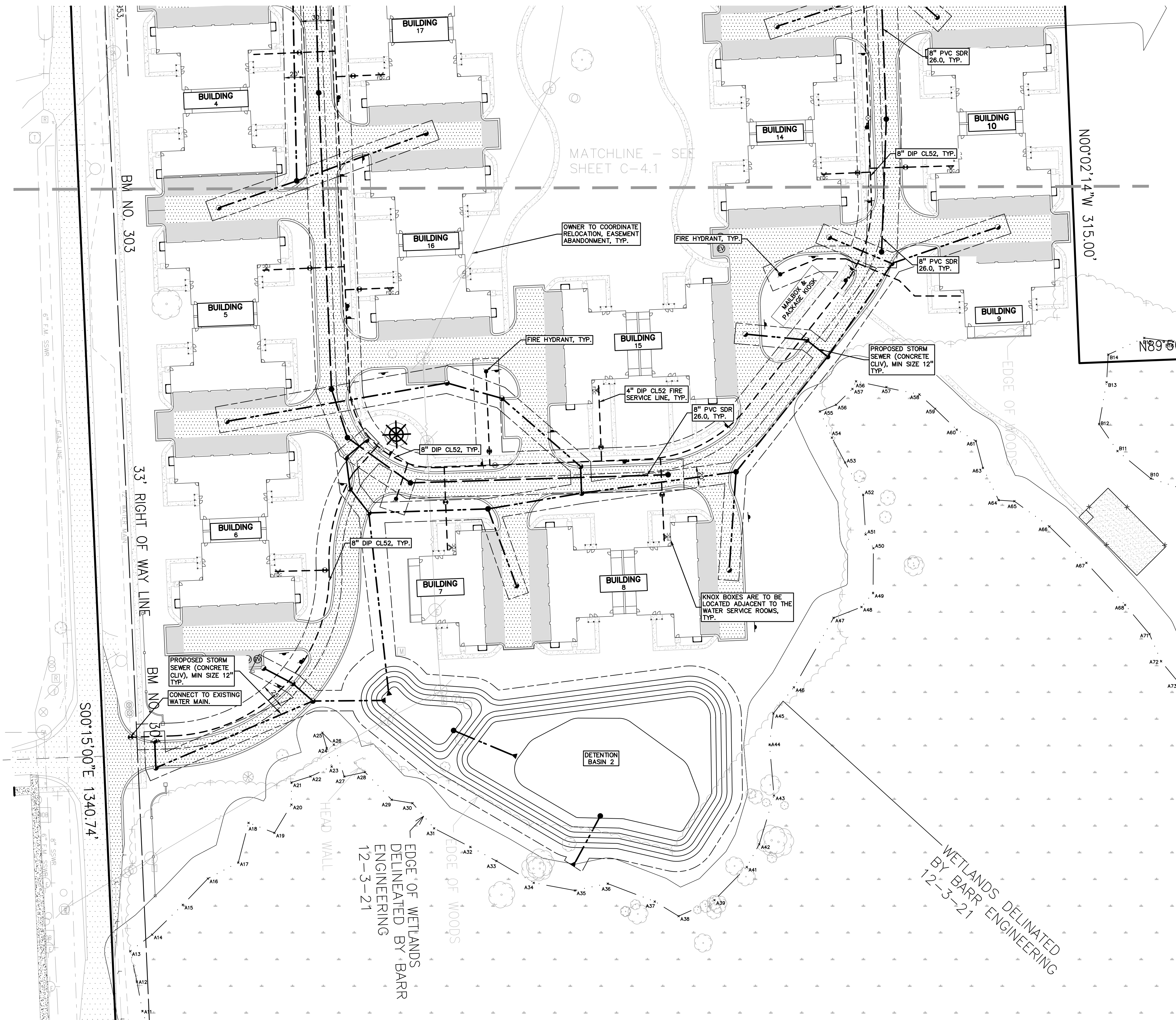
CLIENT
GRAND RIVER DORR LLC.
315550 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
6080 W GRAND RIVER
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
REVISED PER TWP COMMENTS 6.23.22

ORIGINAL ISSUE DATE:
MAY 24, 2022
DRAWING TITLE
CONCEPTUAL UTILITY PLAN

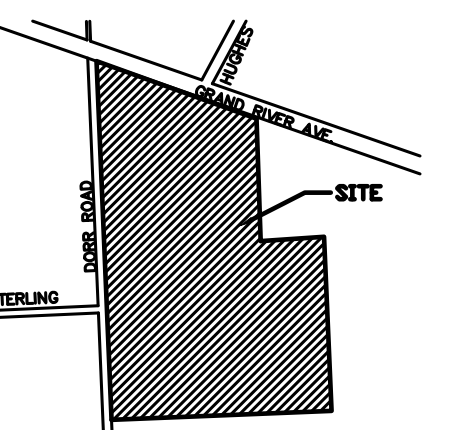
PEA JOB NO. 2021-0578
P.M. JEC
DN. JMR
DES. JMR
DRAWING NUMBER:



NOT FOR CONSTRUCTION **C-4.2**



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CLIENT
GRAND RIVER DORR LLC.
 31555 NORTHWESTERN HIGHWAY
 FARMINGTON HILLS, MI 48334

PROJECT TITLE
THE LEGACY APARTMENT HOMES
 6080 W GRAND RIVER
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS
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ORIGINAL ISSUE DATE:
 MAY 24, 2022

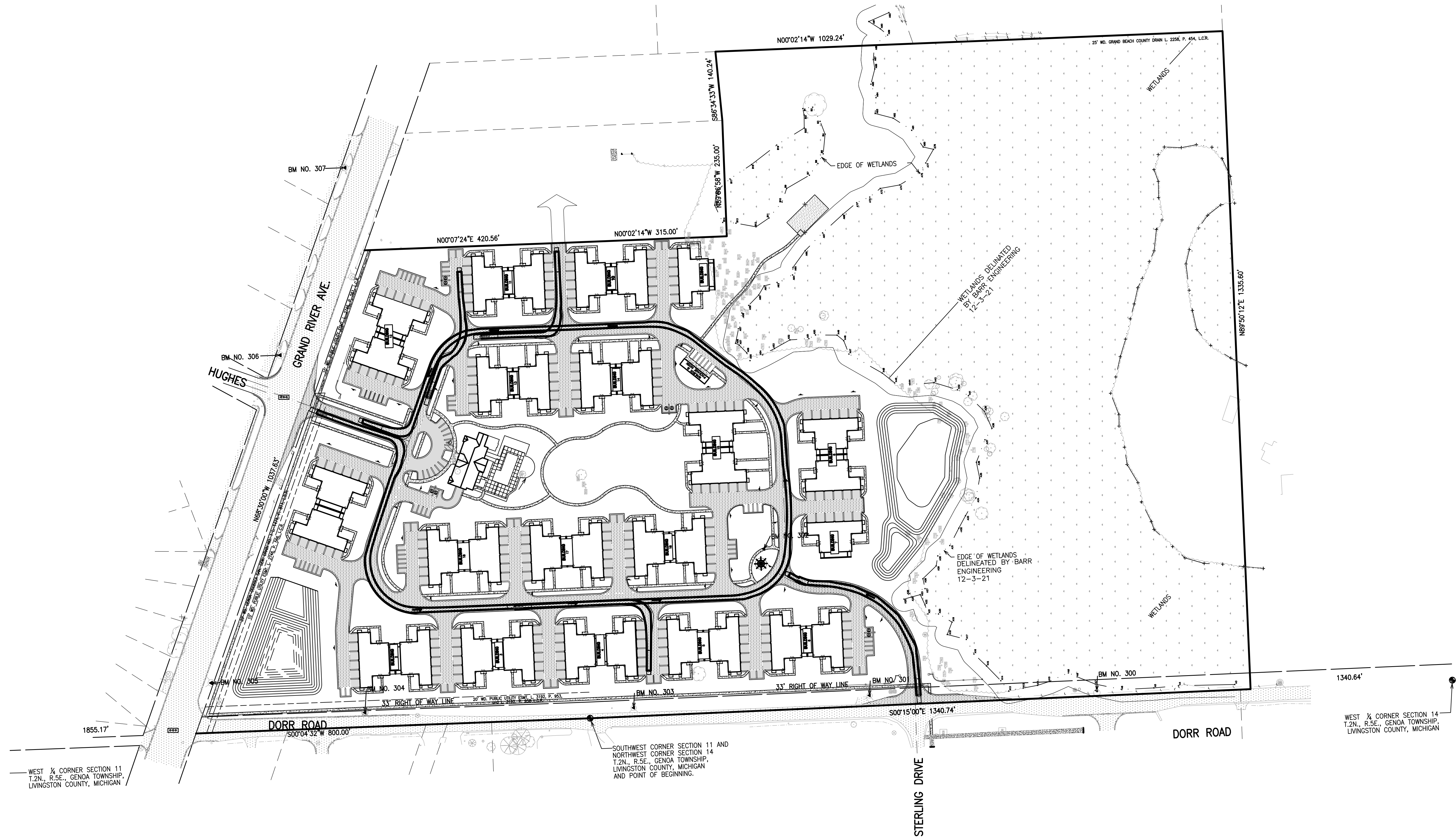
DRAWING TITLE

VEHICLE TRACKING

PEA JOB NO. 2021-0578
 P.M. JEC
 DN. JMR
 DES. JMR
 DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-5.1



S:\PROJECTS\2021\0578 LAUREL GENOA TOWNSHIP\CONCEPTUAL\C-5.01 CONCEPT VEHICLE TRACKING 21-0578.dwg

WEST 1/4 CORNER SECTION 11
 T.2N., R.5E., GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN

SOUTHWEST CORNER SECTION 11 AND
 NORTHWEST CORNER SECTION 14
 T.2N., R.5E., GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN
 AND POINT OF BEGINNING.

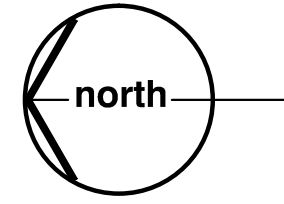
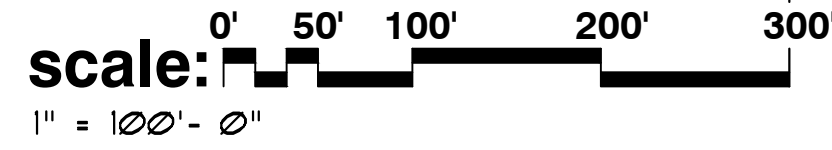
WEST 1/4 CORNER SECTION 14
 T.2N., R.5E., GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN

site plan study for:

A Proposed Multi-Family Residential Community

Genoa Township, Michigan

note
 preliminary concept plan for inspection purposes
 only and in no way official or approved for record
 purposes.



landscape requirements:

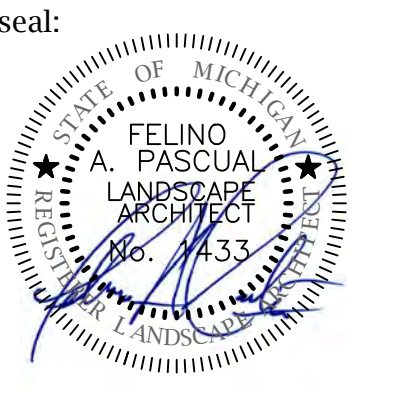
	REQUIRED	PROVIDED
greenbelt (Grand River Avenue)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	945±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (945 LIN.FT. / 40 LIN.FT. = 24.8 TREES)	25	25
greenbelt (Dorr Road)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	1570±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (1570 LIN.FT. / 40 LIN.FT. = 39.25 TREES)	39	39
street trees (interior residential streets)		
TOTAL NO. OF RESIDENTIAL UNITS PROVIDED	204	
TWO (2) 2 1/2" CANOPY TREES PER RESIDENTIAL UNIT (204 UNITS X 2 TREES = 408 TREES)	408	408
landscape screening		
TOTAL LIN.FT. OF BOUNDARY FRONTAGE	721±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 TREES)	36	36
OR FOUR (4) SHRUBS PER 20 LIN.FT. (721 LIN.FT. / 20 LIN.FT. = 36.05 X 4-SHRUBS=144.2)	144	144
detention pond-A		
TOTAL LIN.FT. OF POND PERIMETER	727±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (727 LIN.FT. / 50 LIN.FT. = 14.5 TREES)	15	15
TEN (10) SHRUBS PER 50 LIN.FT. (727 LIN.FT. / 50 LIN.FT. = 14.5 X 10-SHRUBS=145)	145	145
detention pond-B		
TOTAL LIN.FT. OF POND PERIMETER	432±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (432 LIN.FT. / 50 LIN.FT. = 18.64 TREES)	19	19
TEN (10) SHRUBS PER 50 LIN.FT. (432 LIN.FT. / 50 LIN.FT. = 18.64 X 10-SHRUBS=186.4)	186	186

landscape sheet index

- LSC-1 OVERALL PLAN VIEW
- LSC-2 PLANTING DETAIL PLAN
- LSC-3 PLANTING DETAIL PLAN
- LSC-4 SITE AMENITY PLAN
- LSC-5 ENTRY DETAIL PLAN

landscape legend

- deciduous trees**
(Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc...)
- ornamental trees**
(Redbud, Crabs, Hawthorn, Serviceberry, Dogwood, etc...)
- evergreen trees**
(Pines, Spruces, Fir)
- deciduous shrubs**
(Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc...)
- evergreen shrubs**
(Junipers, Yews, Arborvitae, Boxwood, etc...)
- perennials and/or seasonal flowers**
(Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, Coneflowers, etc...)



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334
 project:

**THE LEGACY
 APARTMENT HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
 CONCEPTUAL
 LANDSCAPE PLAN

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
 LS22.028.04 SPA 4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022

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 and Associates

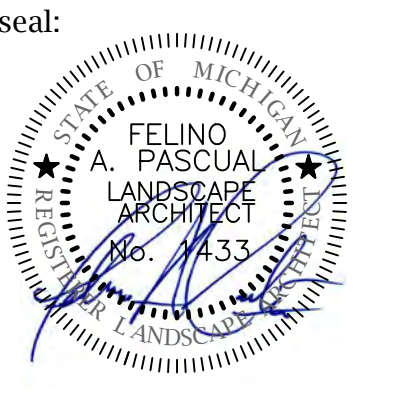
Do Not scale drawings. Use
 figured dimensions only



The location and elevations of existing
 underground utilities as shown on this
 drawing are only approximate; no guarantee
 is either expressed or implied as to the
 completeness of accuracy; contractor shall be
 exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction

project no:
LS22.028.02

sheet no:
LSC-1



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

**THE LEGACY
 APARTMENT HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL
 LANDSCAPE
 PLANTING PLAN**

project no./issue/revision date:

LS21.096.08 SPA	8-18-2021
LS21.096.10 SPA	10-8-2021
LS21.096.10 SPA	10-24-2021
LS21.096.12 SPA	12-13-2021
LS22.028.02 SPA	2-24-2022
LS22.028.04 SPA	4-18-2022

drawn by:
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FP

date:
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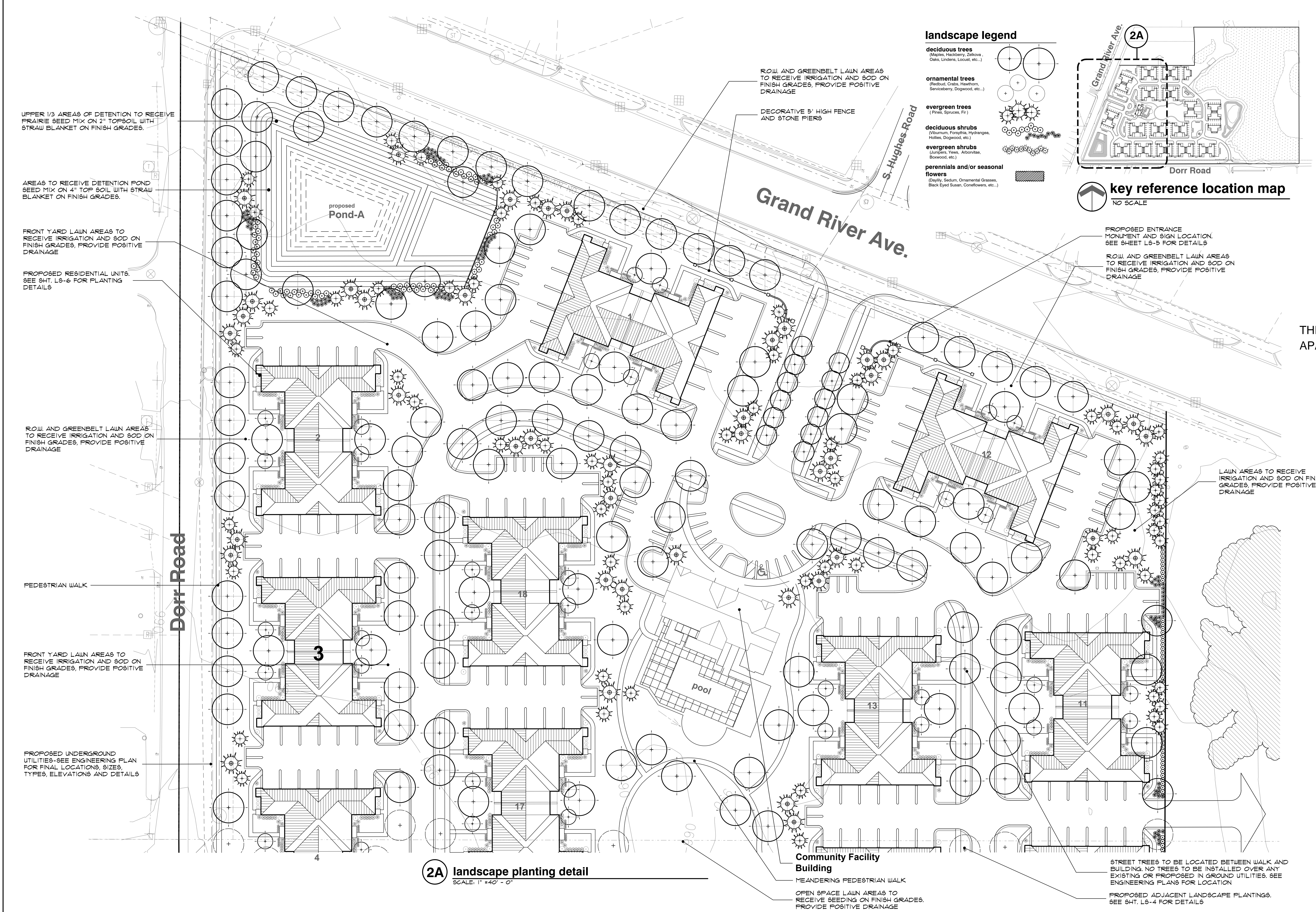
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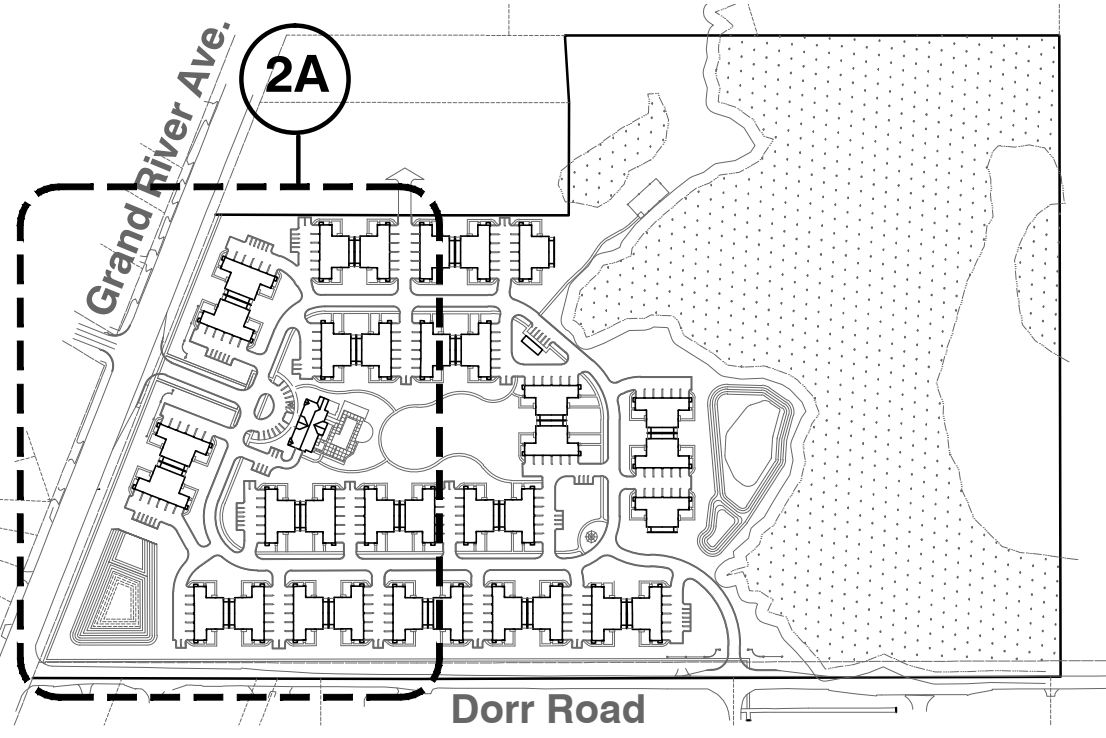
project no:
LS22.028.02

sheet no:
LSC-2



landscape legend

- deciduous trees**
(Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc.)
- ornamental trees**
(Redbud, Crabs, Hawthorn, Serviceberry, Dogwood, etc.)
- evergreen trees**
(Pines, Spruces, Fir)
- deciduous shrubs**
(Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc.)
- evergreen shrubs**
(Junipers, Yews, Arborvitae, Boxwood, etc.)
- perennials and/or seasonal flowers**
(Daylily, Sedum, Ornamental Grasses, Black-Eyed Susan, Coneflowers, etc.)



key reference location map
 NO SCALE

2A landscape planting detail
 SCALE: 1" = 40' - 0"

UPPER 1/3 AREAS OF DETENTION TO RECEIVE PRAIRIE SEED MIX ON 2" TOPSOIL WITH STRAW BLANKET ON FINISH GRADES.

AREAS TO RECEIVE DETENTION POND SEED MIX ON 4" TOP SOIL WITH STRAW BLANKET ON FINISH GRADES.

FRONT YARD LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

PROPOSED RESIDENTIAL UNITS. SEE SHT. LS-6 FOR PLANTING DETAILS

ROW, AND GREENBELT LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

PEDESTRIAN WALK

FRONT YARD LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

PROPOSED UNDERGROUND UTILITIES-SEE ENGINEERING PLAN FOR FINAL LOCATIONS, SIZES, TYPES, ELEVATIONS AND DETAILS.

ROW, AND GREENBELT LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

DECORATIVE 5' HIGH FENCE AND STONE PIERS

PROPOSED ENTRANCE MONUMENT AND SIGN LOCATION. SEE SHEET LS-5 FOR DETAILS

ROW AND GREENBELT LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

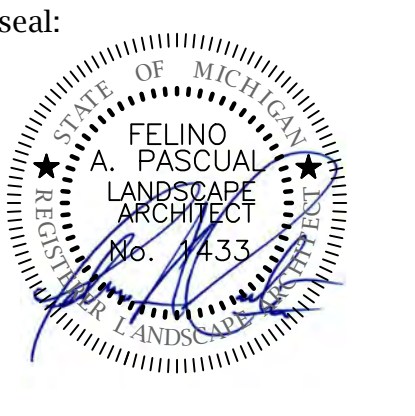
LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES, PROVIDE POSITIVE DRAINAGE

Community Facility Building
 MEANDERING PEDESTRIAN WALK

OPEN SPACE LAWN AREAS TO RECEIVE SEEDING ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE

STREET TREES TO BE LOCATED BETWEEN WALK AND BUILDING. NO TREES TO BE INSTALLED OVER ANY EXISTING OR PROPOSED IN GROUND UTILITIES. SEE ENGINEERING PLANS FOR LOCATION

PROPOSED ADJACENT LANDSCAPE PLANTINGS. SEE SHT. LS-4 FOR DETAILS



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

**THE LEGACY
 APARTMENT HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL
 LANDSCAPE
 PLANTING PLAN**

job no./issue/revision date:

LS21.096.08 SPA	8-18-2021
LS21.096.10 SPA	10-8-2021
LS21.096.10 SPA	10-24-2021
LS21.096.12 SPA	12-13-2021
LS22.028.02 SPA	2-24-2022
LS22.028.04 SPA	4-18-2022

drawn by:
JP, HP, DK
 checked by:
FP
 date:
2-22-2022

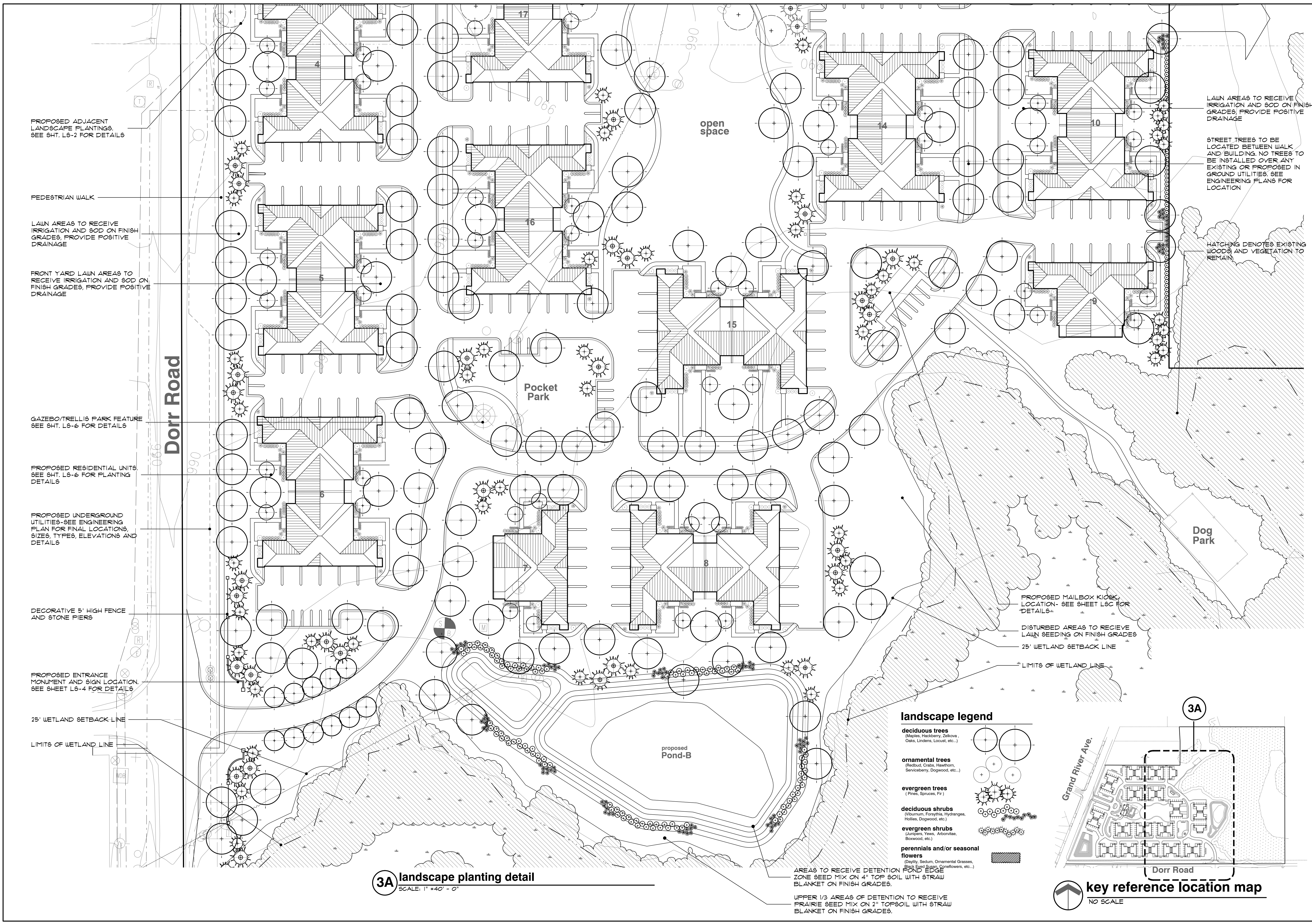
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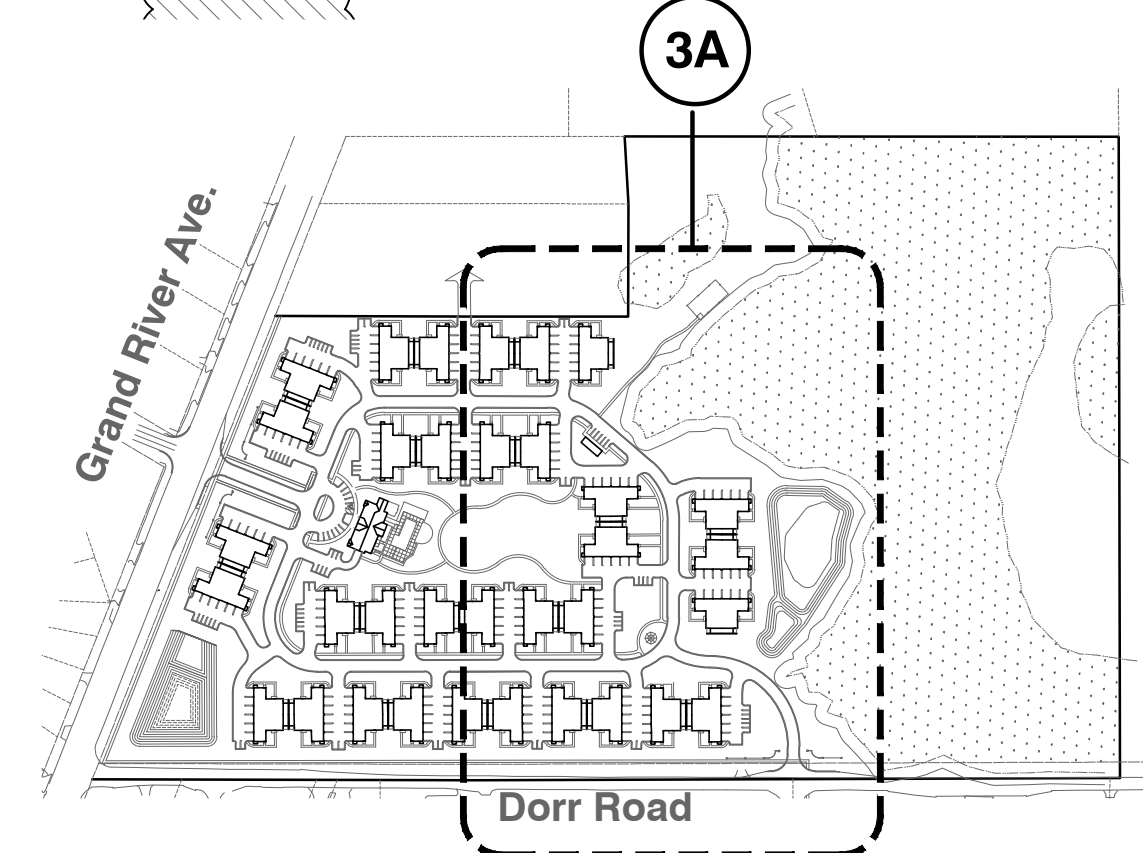
project no:
LS22.028.02

sheet no:
LSC-3



3A landscape planting detail
 SCALE: 1" = 40' - 0"

- landscape legend**
- deciduous trees**
 (Maples, Hackberry, Zelkova, Oaks, Lindens, Locust, etc.)
 - ornamental trees**
 (Redbud, Crab, Hawthorn, Serviceberry, Dogwood, etc.)
 - evergreen trees**
 (Pines, Spruces, Fr.)
 - deciduous shrubs**
 (Viburnum, Forsythia, Hydrangea, Hollies, Dogwood, etc.)
 - evergreen shrubs**
 (Junipers, Yews, Arborvitae, Boxwood, etc.)
 - perennials and/or seasonal flowers**
 (Sedum, Ornamental Grasses, Black-eyed Susan, Coneflowers, etc.)





client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334
 project:

**THE LEGACY
 APARTMENT HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:

**CONCEPTUAL SITE
 AMENITY PLAN**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
 LS22.028.02 SPA 2-24-2022
 LS22.028.04 SPA 4-18-2022

drawn by:
JP, HP, DK

checked by:
FP

date:
2-22-2022

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project no:
LS22.028.02

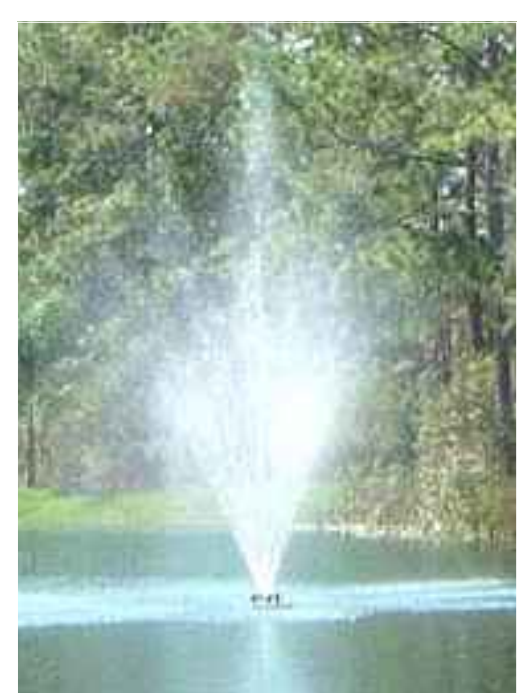
sheet no:



L EV charging station
 TOTAL OF 4-CONDITIONS



K pet waste station
 TOTAL OF 5-CONDITIONS



J pond fountain
 TOTAL OF 2-CONDITIONS



I dog park



H park bench seating
 TOTAL OF 3-CONDITIONS

6' WIDE PARK BENCH SEAT BY DUMOR, INC.
 MODEL NO. 34-60D (5-1)
 SUPPORT: 5-1 EMBEDMENT
 FINISH: BLACK POWDER-COATED



G decorative bench seating
 TOTAL OF 1-CONDITIONS
 MANUFACTURED BY BY ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 MODEL NO. LEXC6
 DESCRIPTION: 6' WIDE CONTOUR BENCH
 FINISH: TEXTURE PEKTER



F gazebo feature
 (1-CONDITIONS)
 STICK BUILT OR KIT FORM.
 TO BE BUILT BY MANUFACTURER
 STANDARDS



**E meandering interior
 pedestrian walk**



D bicycle rack
 (2-CONDITIONS)
 BIKE RACK BY DUMOR, INC.
 MODEL NO. 130-20 (S-2
 SURFACE PLATE MOUNT) 2 3/8"
 O.D. BLACK POWDER-COATED
 LOOP OR EQUAL



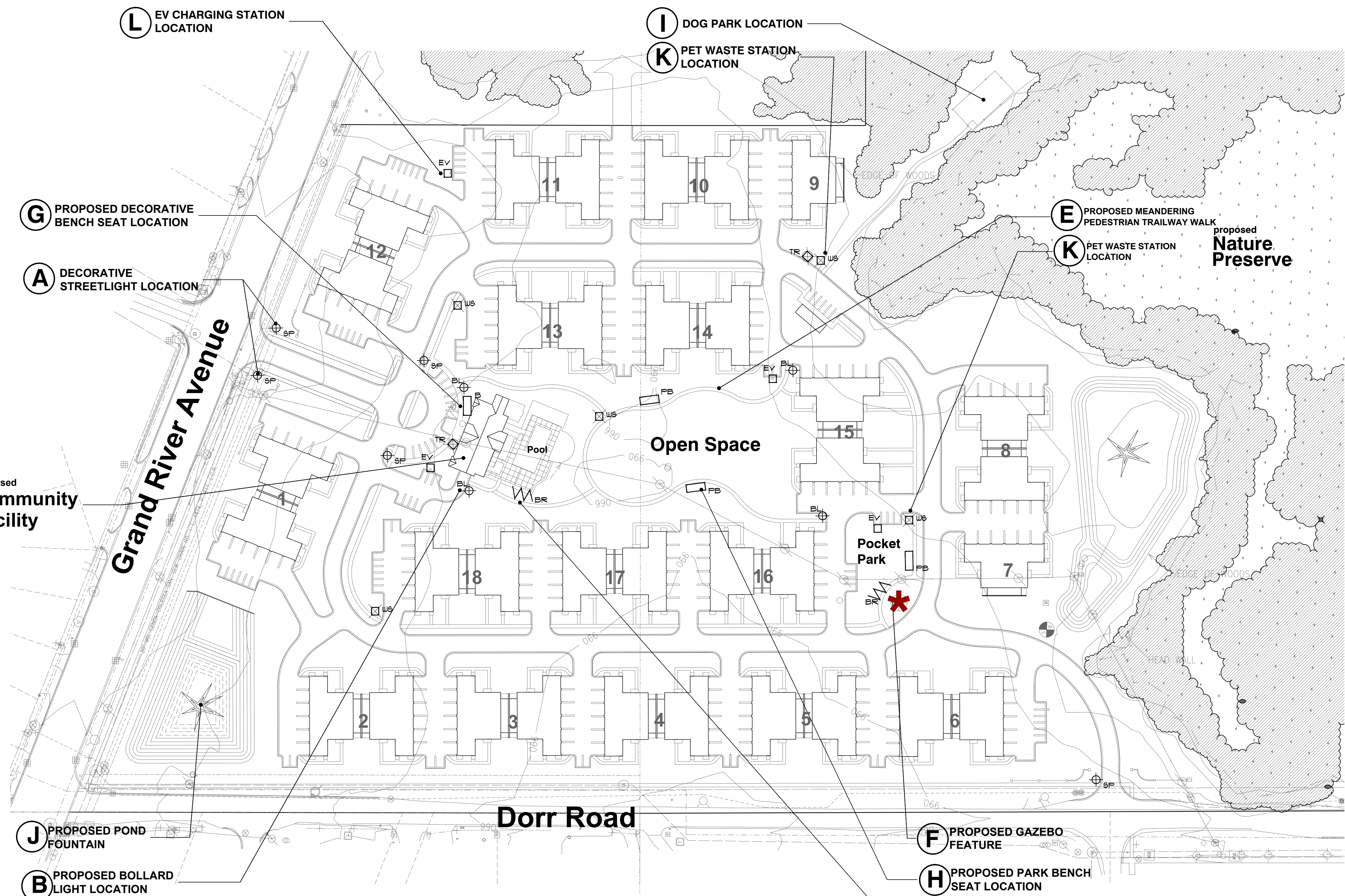
C trash receptacle
 (2-CONDITION)
 MANUFACTURED BY BY
 ANOVA, INC.
 WWW.ANOVAFURNISHINGS.COM
 DESCRIPTION: 32 GAL
 FINISH: TEXTURE PEKTER



B bollard light
 BY LITHONIA LIGHTS OR
 EQUAL MODEL: DSXB LED
 (D-SERIES LED BOLLARD
 8" DIA. X 42" HGT.) OR
 EQUAL (4-CONDITIONS)



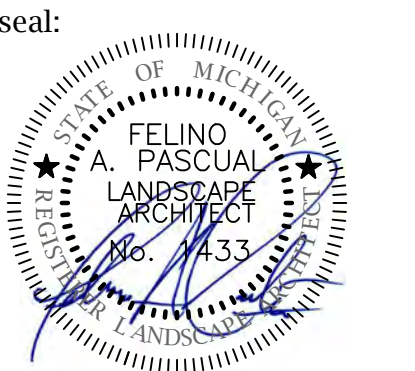
**A decorative pole
 and light**
 (5-CONDITION)
 DECORATIVE BLVD. ISLAND
 SITE FIXTURE LIGHTS AND
 ALUMINUM POLE.



4A site amenity reference location map
 NO SCALE

site amenity key

- BIKE RACK
- PARK BENCH SEAT
- BENCH SEAT
- BOLLARD LIGHT
- STREET POLE LIGHT
- GAZEBO or PERGOLA FEATURE
- PET WASTE STATION
- TRASH RECEPTACLE
- EV CHARGING STATION



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE LEGACY
 APARTMENT HOMES**

project location:
 Genoa Township,
 Michigan
 12 Mile Road

sheet title:
**CONCEPTUAL ENTRY
 SIGN MONUMENT**

job no./issue/revision date:
 LS21.096.08 SPA 8-18-2021
 LS21.096.10 SPA 10-8-2021
 LS21.096.10 SPA 10-24-2021
 LS21.096.12 SPA 12-13-2021
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drawn by:
JP, HP, DK

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FP

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2-22-2022

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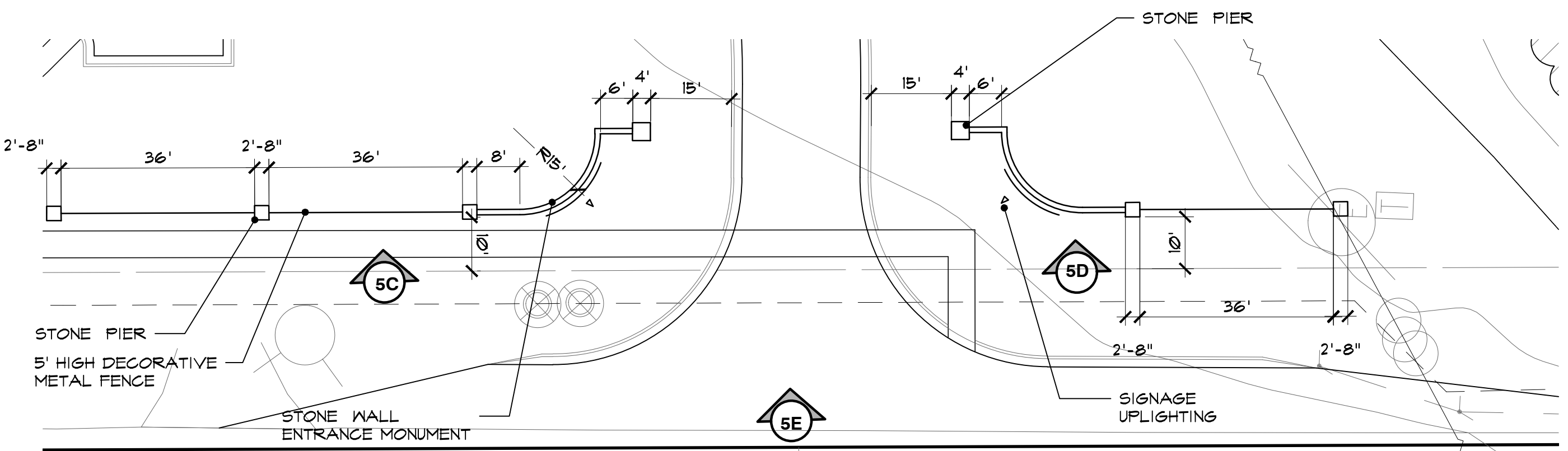
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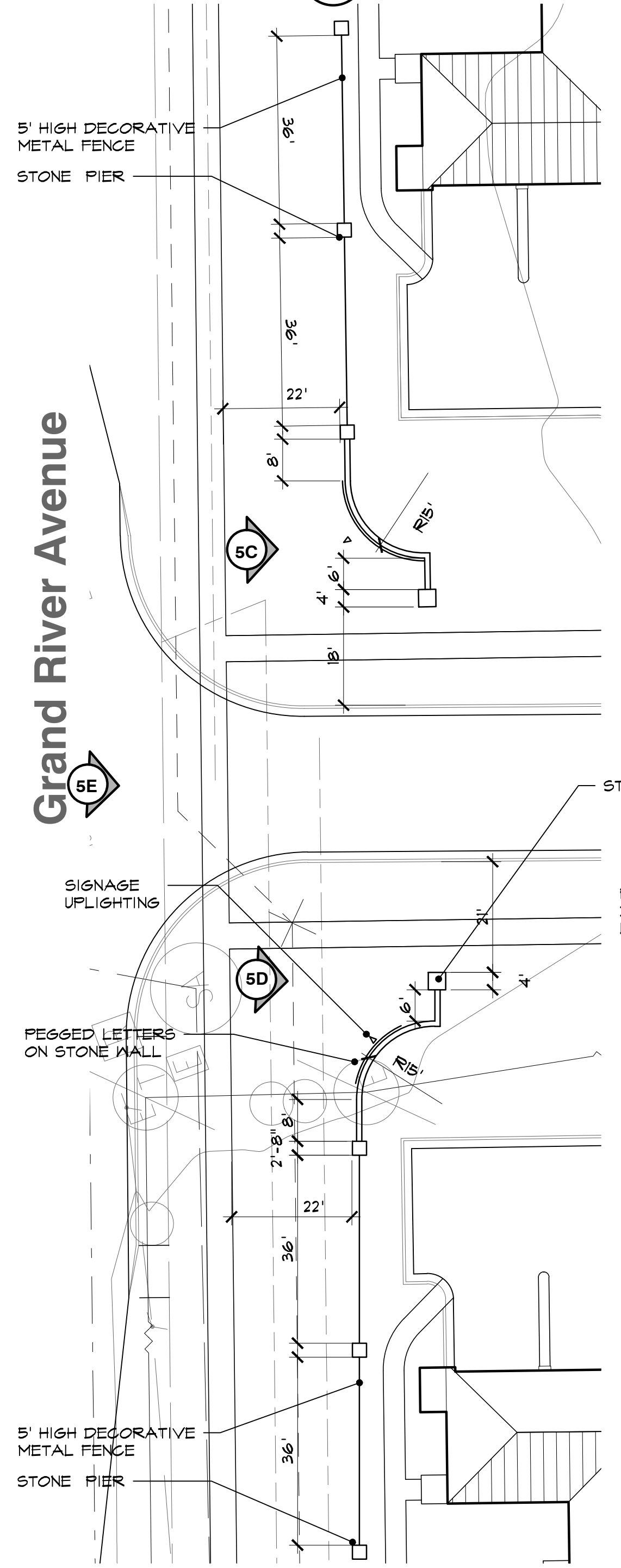
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project no:
LS22.028.02

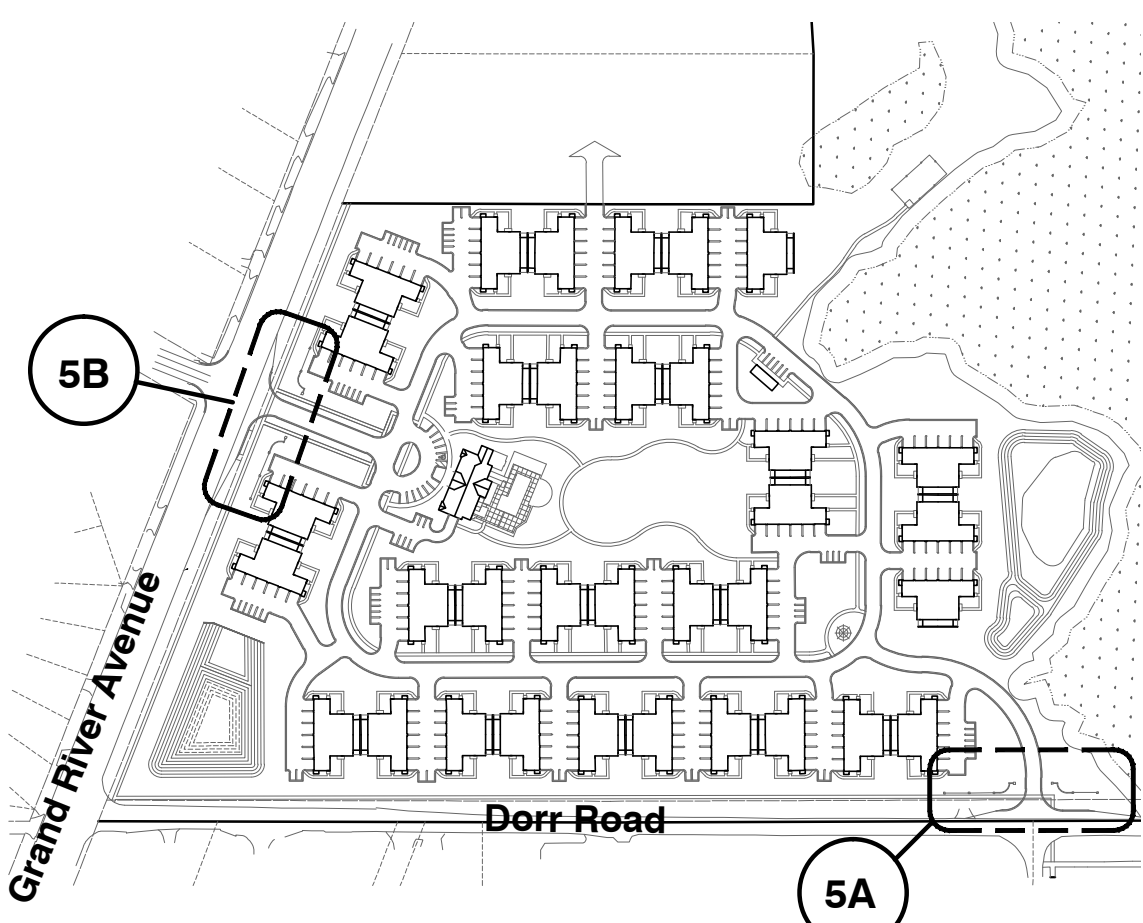
sheet no:
LSC-5 of 5



5A entry sign monument site plan
 SCALE: 1" = 20' - 0"



5B entry sign monument site plan
 SCALE: 1" = 20' - 0"



key reference location map
 NO SCALE

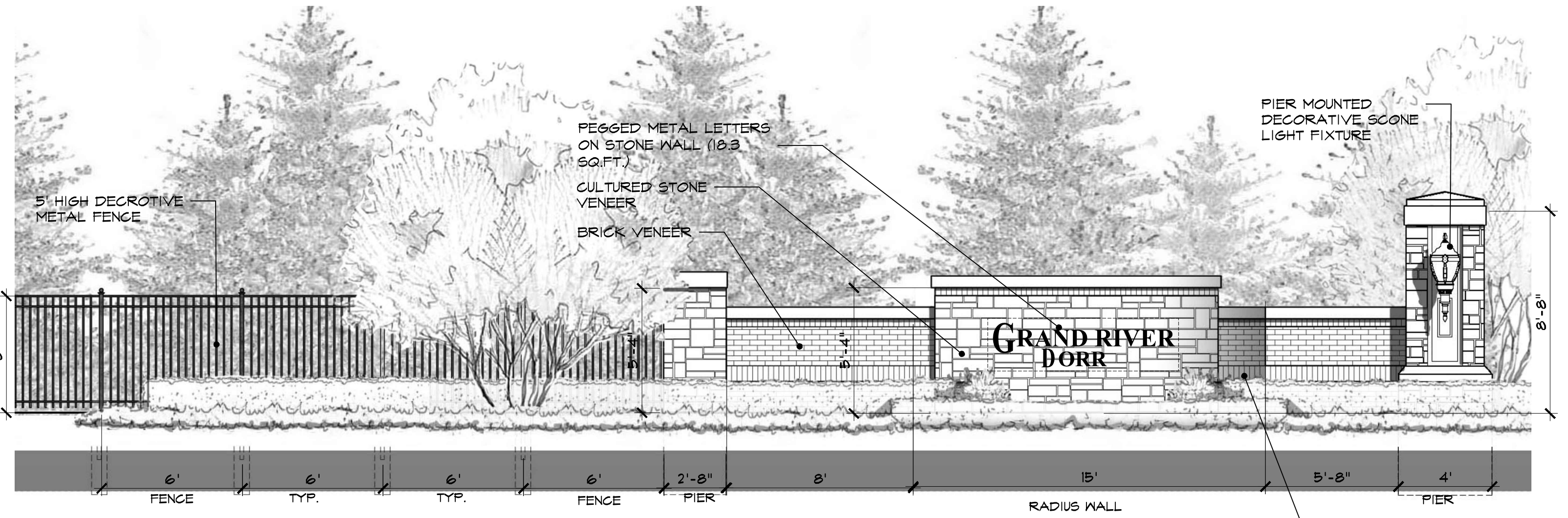
entry wall monument / pier / signage / notes:

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH LANDSCAPE ARCHITECT.
2. ALL ENTRY WALL LIGHTING SHALL BE CONTROLLED WITH A 'PHOTO-EYE' SWITCH. ALL LIGHTING SHALL BE SHIELDED FROM PUBLIC ROW'S AND ADJACENT PROPERTIES.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENT ON SHT. LS-2
4. VERIFY SOIL BEARING CAPACITY PRIOR TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.
5. SIGNAGE TEXT AND LOGO TO BE METAL PRISMATIC DIMENSIONAL LETTERS. PRIOR TO SIGN INSTALLATION, PERMITS TO BE OBTAINED PER GENOA TOWNSHIP REQUIREMENTS AND APPROVALS.
6. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.
7. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2000 P.S.I. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
8. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS, U.O.N.; SLABS SHALL BE 3500 P.S.I. MIN. U.O.N.; EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
9. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF ACI.
10. PROVIDE DOUELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL WALLS, UNLESS OTHERWISE NOTED.
11. PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.

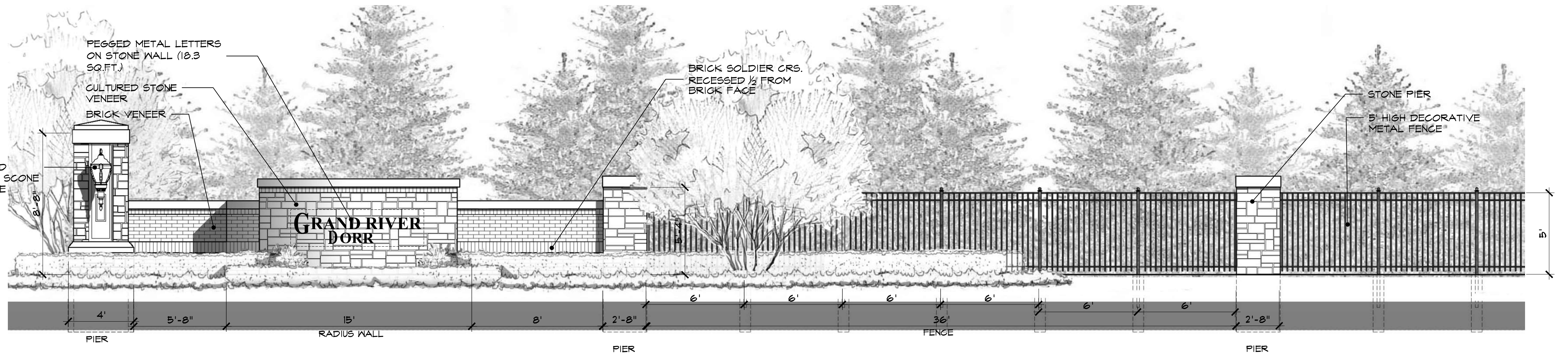


sign panel uplighting
 (4-CONDITIONS)

MANUFACTURER:
 ACUITY BRANDS LIGHTING
 ONE LITHONIA WAY
 CONYERS, GA 30012
 PEACHTREE, GA 30269
 PH. 770-322-9000
 BRAND: HYDREL
 MODEL: 4750SF or EQUAL
 (LED 4000K)
 FINISH : BRONZE



5C entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



5D entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



5E entry sign monument elevation
 SCALE: 1/8" = 1' - 0"

Notes:

Applicable Building Codes:

MICHIGAN BUILDING CODE 2015
STATE OF MICHIGAN ELECTRICAL CODE 2017 w/PART 8 AMENDMENTS
MICHIGAN MECHANICAL CODE 2015
MICHIGAN PLUMBING CODE 2015
ANSI A117.1 - 2009 ACCESSIBILITY CODE
INTERNATIONAL FIRE CODE 2015
MICHIGAN 2015 USE TYPE : R-2 (Apartments) U (Private Garages)
MICHIGAN 2015 CONSTRUCTION TYPE: V-B

Areas:

Table with 4 columns: Unit, R-2, U, Total. Rows include UNIT "A", UNIT "B", UNIT "C", TOTAL PER QUADRANT, and TOTAL FOR HALF BUILDING.

A 2 HOUR FIRE WALL IS REQUIRED BETWEEN THE RIGHT & LEFT HALVES OF THE BUILDING.
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE 2 QUADRANTS.
A 1 HOUR SEPERATION WILL PROVIDED BETWEEN THE FIRST FLOOR AND THE SECOND FLOOR
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE APARTMENTS AND THE PRIVATE GARAGE AREA.
A 1 HOUR SEPERATION WILL BE PROVIDED BETWEEN THE SECOND FLOOR AREA AND THE ATTIC

Occupancies:

1 OCCUPANT PER 200 s/f OF AREA PER TABLE 1004.1.2

Table with 2 columns: Unit, Occupancy. Rows include UNIT "A", UNIT "B", UNIT "C", TOTAL PER QUADRANT, and TOTAL PER BUILDING.

Fire Supression:

A NFPA 13-R 2010 AUTOMATIC FIRE SUPPRESSION SYSTEM SHALL BE PROVIDED THROUGHOUT ALL AREAS OF THE BUILDING INCLUDING GARAGES, BALCONIES AND GROUND FLOOR PATIOS AS PER CHAPTER 9 OF THEMBC- 2012.

SMOKE ALARMS TO BE PROVIDED AS PER SECTION 907.2.9.2 & 907.2.11.2 OF THE MBC-2012.

CARBON MONOXIDE ALARMS TO BE PROVIDED AS PER SECTION 908.7 OF THE MBC-2012.

ATTIC DRAFT STOPS:

EACH OF THE ATTICS ABOVE THE SECOND FLOOR UNITS ARE SEPERATED BY THE EXTENSION OF THE FIRE WALLS BELOW SEPERATING EACH UNIT. THESE WALLS EXTEND TO THE UNDERSIDE OF THE ROOF DECK. THE WALL SEPERATING THE RIGHT HALF OF THE BUILDING FROM THE LEFT HALF IS A 2 HOUR FIRE RATED WALL. THE WALL SEPERATING THE FRONT UNITS FROM THE REAR UNITS ARE A 1 HOUR WALL. EACH OF THE ATTIC SPACES IS LESS THAN THE MAXIMUM OF 3,000 s/f.

Seperate Submittals

- 1. SHOP DRAWINGS FOR ENGINEERED FLOOR JOIST SYSTEMS & PRE-ENGINEERED ROOF TRUSSES SYSTEMS. ALL DRAWINGS TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN.
2. FIRE SUPPRESSION SYSTEM DESIGN DRAWINGS. ALL DRAWINGS TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN.
3. ALL INTERIOR FINISHES SHALL MEET A CLASS C FLAME SPREAD INDEX 76-200 AND SMOKE-DEVELOPED INDEX 0-450. PROVIDE PRODUCT CUT SHEETS TO THE BUILDING DEPARTMENT SHOWING COMPLIANCE.

Special Inspections:

ALL SPECIAL INSPECTIONS SHALL BE DONE BY McDOWELL & ASSOCIATES
- GEOTECHNICAL TESTING
- SOIL BEARING CAPACITIES
- CONCRETE TESTING

COPIES OF ALL REPORTS TO BE SUBMITTED TO THE BUILDING DEPARTMENT OF MACOMB TOWNSHIP

Proposed New Apartments for:

M J C Avalon

Attic Areas & Ventilation Requirements

(PER MBC 2015 SEC 1203)

ATTIC AREAS

Above Unit B: 1,611 S.F.
Above Unit C: 1,726 S.F.

VENTILATION AREA REQUIRED: 1/300 ALLOWED (Per 1203.2) IF: MORE THAN 50% AND LESS THAN 80% OF REQUIRED VENTILATION TO BE LOCATED IN THE UPPER PORTION OF THE ATTIC SPACE

Unit B: 1,611 S.F. x 1/300 = 5.37 S.F.
Unit C: 1,726 S.F. x 1/300 = 5.75 S.F.

VENTILATION AREA PROVIDED:

Unit B: 36'-0" L.F. Soffit Vent @ 5 Sq. In./Ft. = 180 Sq. In.
144 Sq. In. per 36 Sq. Ft.
Unit B: (10) Style 600 Roof Vents @ 60 Sq. In. = 600 Sq. In.
144 Sq. In. per 36 Sq. Ft.

Unit B: Total Ventilation Area = 5.42 S.F. > 5.37 S.F. Required (77% OF VENTILATION IN UPPER PORTION OF ATTIC)

Unit C: 80'-0" L.F. Soffit Vent @ 5 Sq. In./Ft. = 400 Sq. In.
144 Sq. In. per 36 Sq. Ft.
Unit C: (11) Style 600 Roof Vents @ 60 Sq. In. = 660 Sq. In.
144 Sq. In. per 36 Sq. Ft.

Unit C: Total Ventilation Area = 7.36 S.F. > 5.75 S.F. Required (62% OF VENTILATION IN UPPER PORTION OF ATTIC)

- 1. ROOF VENT SPECS. PROVIDED ARE BY "LOMANCO VENTS"
2. PERFORATED SOFFIT/EAVE VENTS ARE JAMES HARDIE
3. ALUM. ROOF VENTS ARE LOMANCO - 600 SERIES

Project Professionals:

Architects:

Burmam Associates Inc.
119 W. St. Clair
Romeo, Michigan 48065
o.586-752-5010 c.586-201-1602
greatarchitects@charter.net
Richard E. Burmann R.A.
Michigan #20749

Structural Engineering:

Simpson Engineering L.L.C.
119 W. St. Clair
Romeo, Michigan 48065
o.586-752-9872 c.810-614-5696
mpsimpson1959@yahoo.com
Mark P. Simpson P.E.
Michigan #33208

Mechanical Engineering:

Beechwood Engineering, P.L.C.
3462 Beechwood
Farmington Hills, Michigan 48335
248-408-8178
krj@sbcbglobal.net
Kenneth R. Jenkins P.E.
Michigan #20003

Electrical Engineering:

Current Design L.L.C.
1290 Brook Lane
Rochester Hills, Michigan 48306
248-651-3681
currentdm@aol.com
Dominic A. Mocerri

SEPARATE SUBMITTAL:

CIVIL ENGINEERING DESIGN & DRAWINGS ARE DONE BY OTHERS AND ARE NOT PART OF THIS SUBMITTAL

FIRE SUPPRESSION DESIGN & DRAWINGS ARE DONE BY OTHERS AND ARE NOT PART OF THIS SUBMITTAL

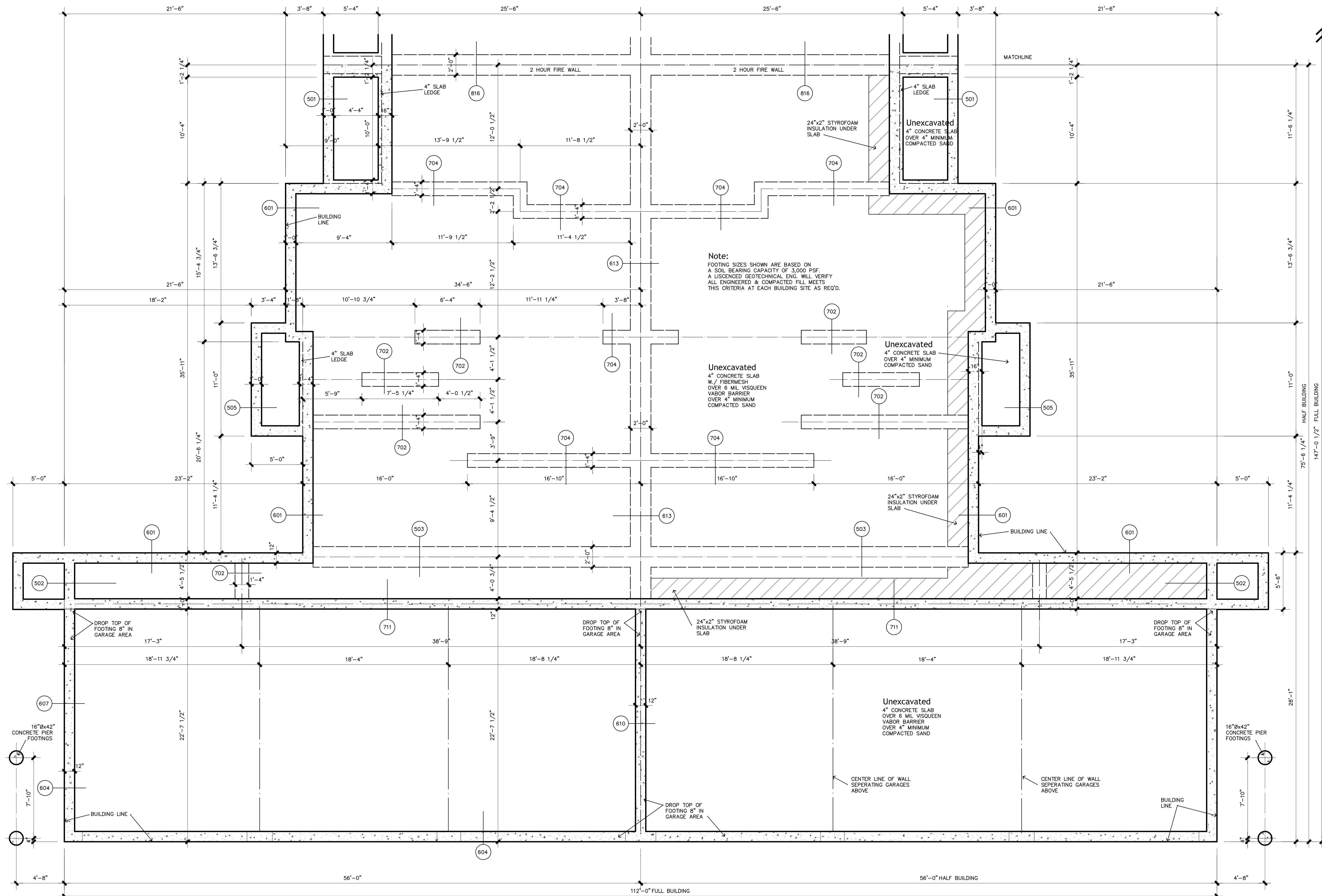
Sheet Index:

Table with 2 columns: Sheet Name, Page Number. Includes Cover Page, Foundation Plan, First Floor Plan, Second Floor Plan, Elevations, Building Sections, Wall Sections, Wall Sections & Details, Specifications, and Door Schedule.

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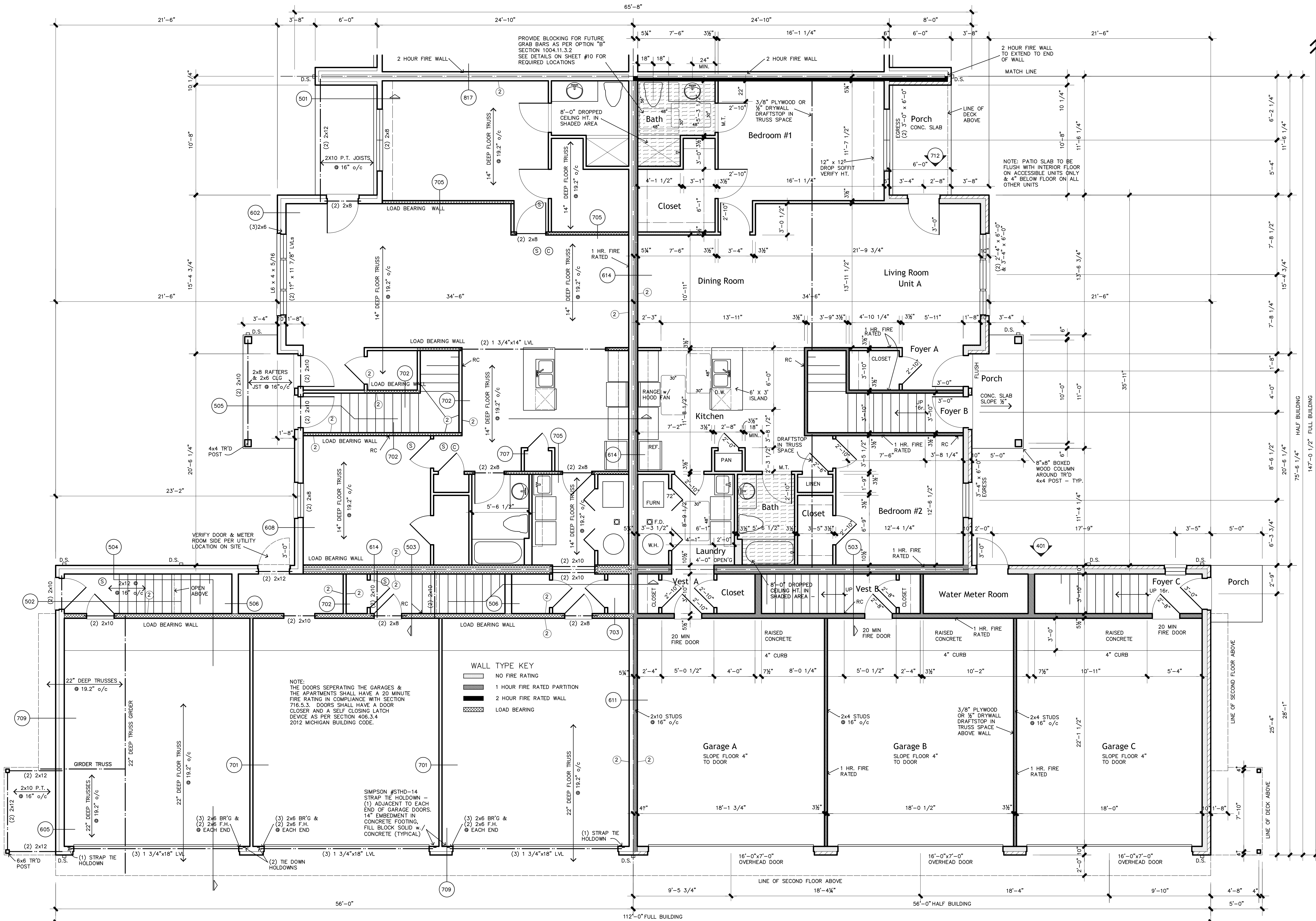
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Note:
 FOOTING SIZES SHOWN ARE BASED ON
 A SOIL BEARING CAPACITY OF 3,000 PSF.
 A LICENSED GEOTECHNICAL ENG. WILL VERIFY
 ALL ENGINEERED & COMPACTED FILL MEETS
 THIS CRITERIA AT EACH BUILDING SITE AS REQ'D.

Foundation Plan
 Scale: 1/4" = 1'-0"



WALL TYPE KEY

(Symbol: Dashed line)	NO FIRE RATING
(Symbol: Solid line)	1 HOUR FIRE RATED PARTITION
(Symbol: Thick solid line)	2 HOUR FIRE RATED WALL
(Symbol: Dotted line)	LOAD BEARING

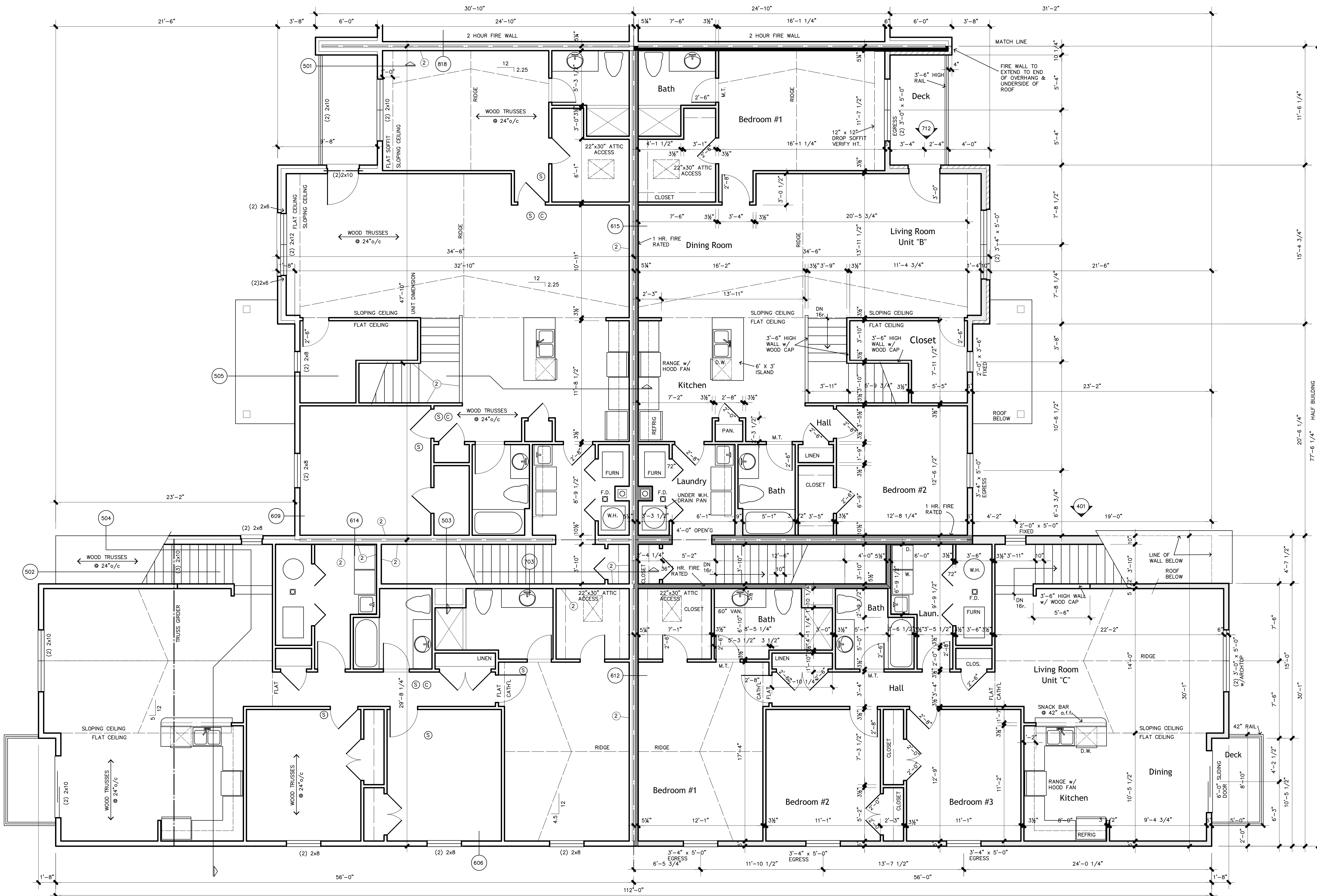
NOTE: THE DOORS SEPARATING THE GARAGES & THE APARTMENTS SHALL HAVE A 20 MINUTE FIRE RATING IN COMPLIANCE WITH SECTION 716.5.3. DOORS SHALL HAVE A DOOR CLOSER AND A SELF-CLOSING LATCH DEVICE AS PER SECTION 406.3.4 2012 MICHIGAN BUILDING CODE.

SIMPSON #5THD-14 STRAP TIE HOLDDOWN - (1) ADJACENT TO EACH END OF GARAGE DOORS. 14" EMBEDMENT IN CONCRETE FOOTING, FILL BLOCK SOLID W/ CONCRETE (TYPICAL)

First Floor Plan
Scale: 1/4" = 1'-0"

Type "B" Units
ALL UNITS EXCEPT FOR: BUILDINGS #3, #4 & #9 - SEE SHEET #10 BUILDING #10 - SEE SHEET #11

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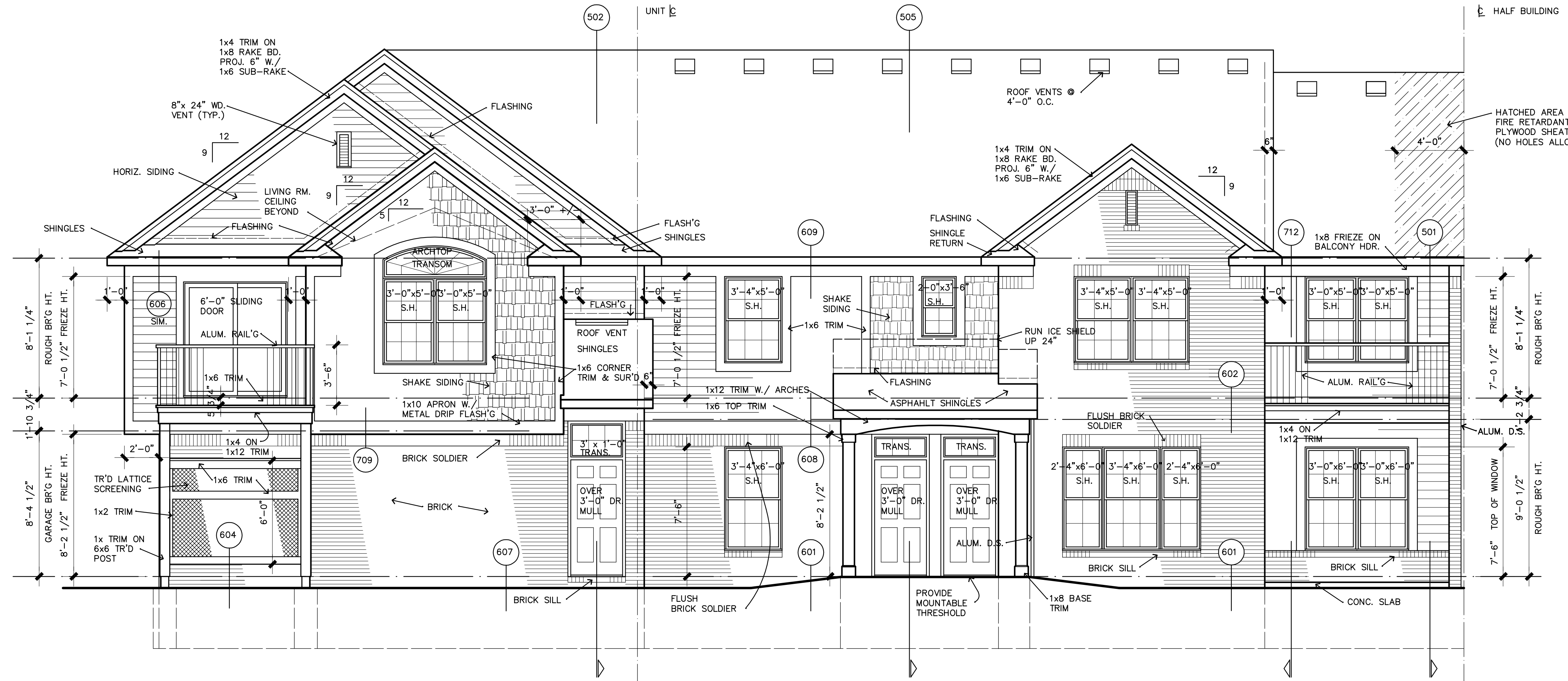


WALL TYPE KEY

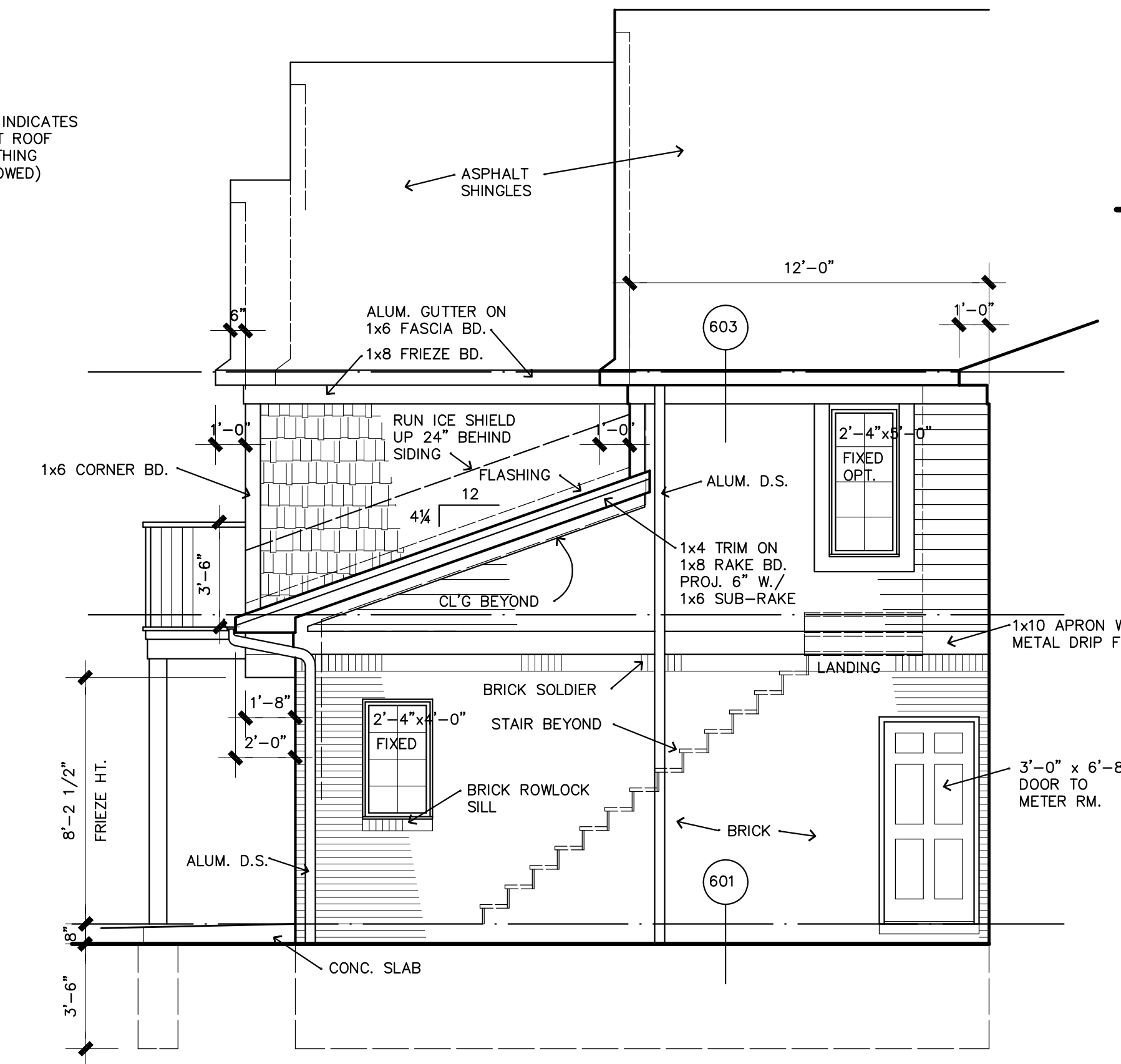
(Thin solid line)	NO FIRE RATING
(Dashed line)	1 HOUR FIRE RATED PARTITION
(Thick solid line)	2 HOUR FIRE RATED WALL
(Cross-hatched)	LOAD BEARING

Second Floor Plan
 Scale: 1/4" = 1'-0"

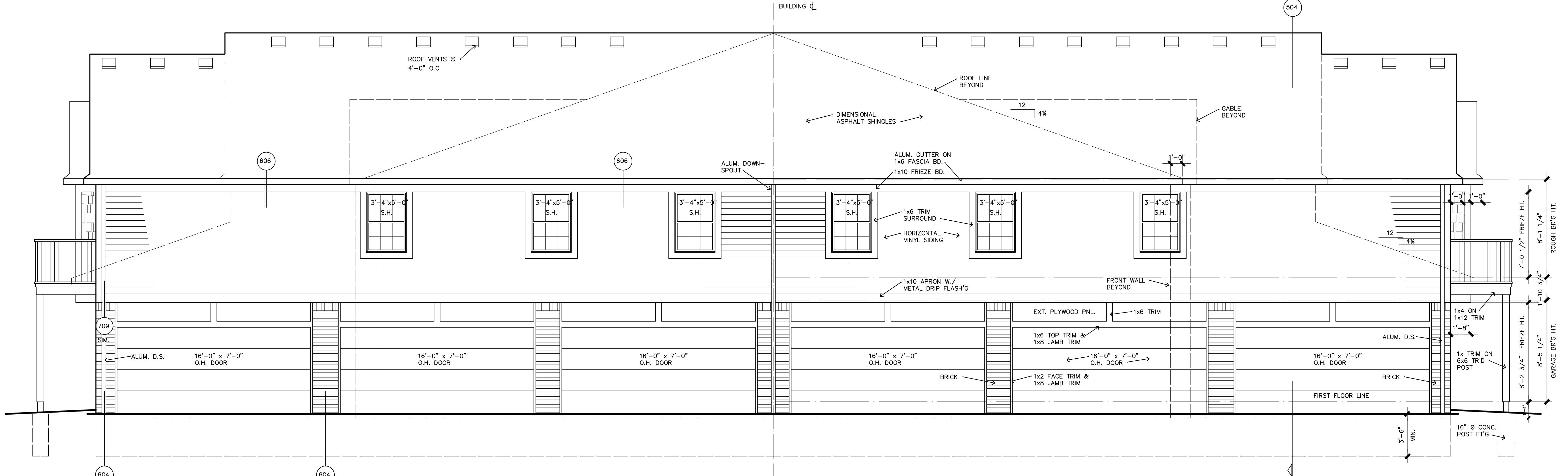
ALL UNITS "B" & "C" ARE NOT ACCESSIBLE UNITS.



Front/Rear Elevation "A"
 Scale: 1/4" = 1'-0"



Partial Elevation "A"
 Scale: 1/4" = 1'-0"

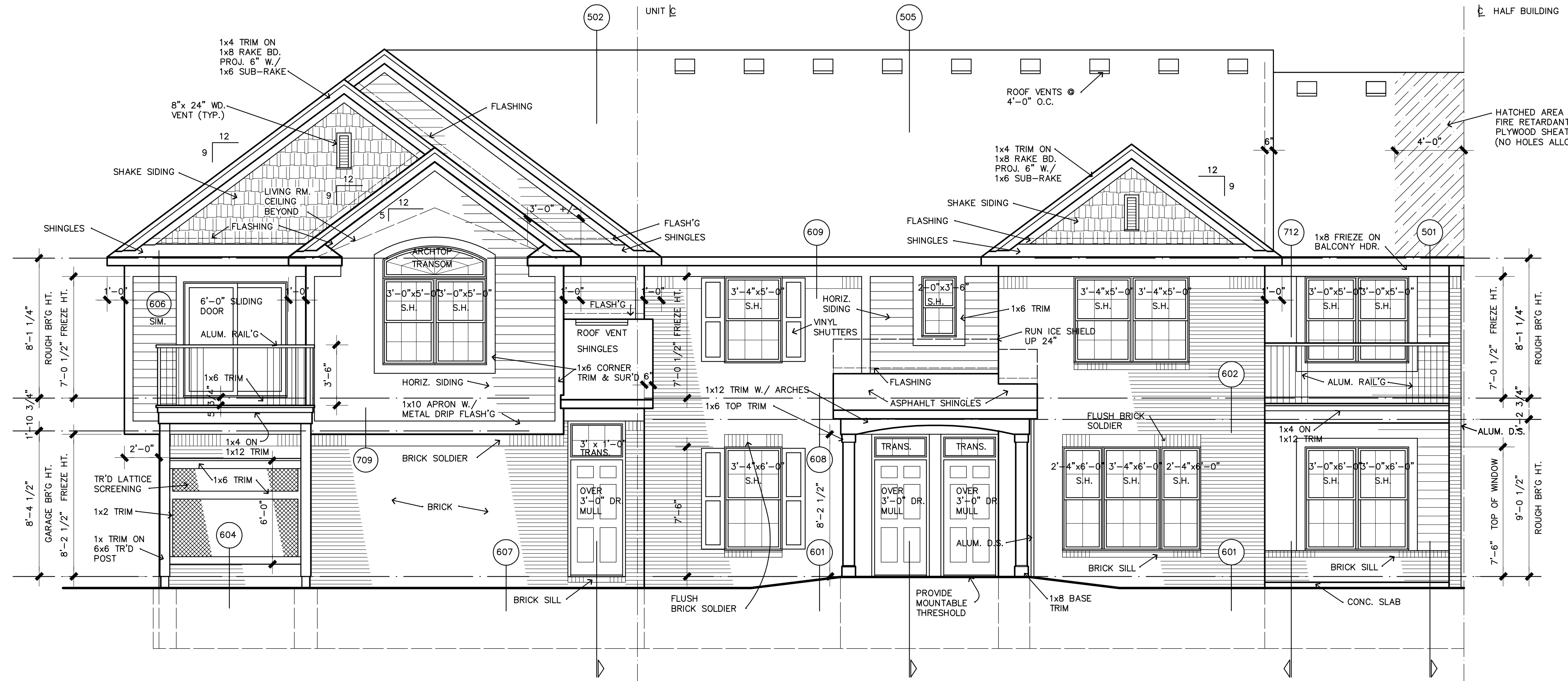


Side Elevation "A"
 Scale: 1/4" = 1'-0"

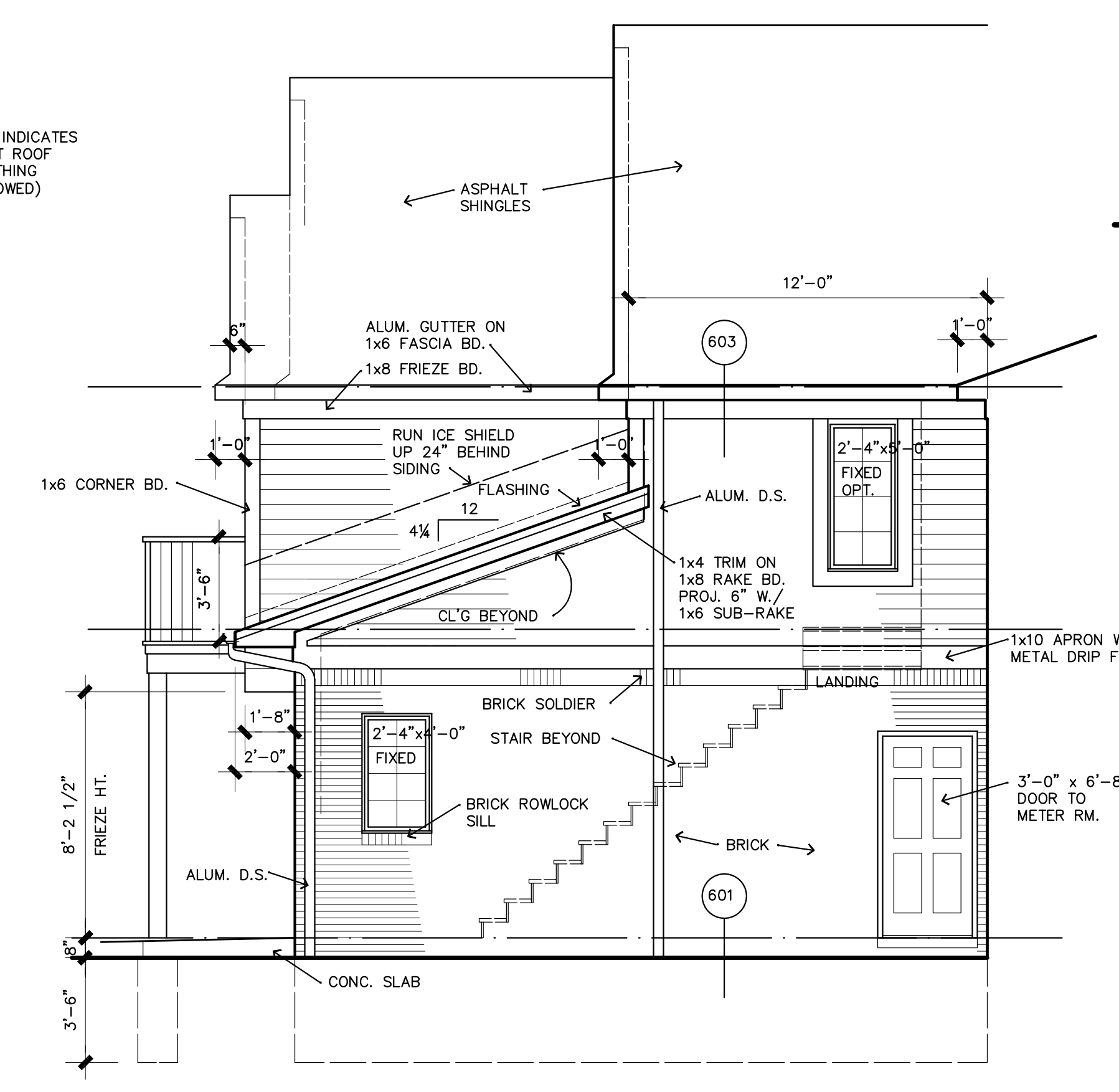
Proposed Condominiums for:
MJC
 12 - Plex Condominiums
 Architects • Engineers • Historic Restorations
 110 W. St. Clair • Romeo • Michigan • 48065-4655
 Office: 586-752-9010 • 586-201-1602 Call
 greatarchitects@charter.net
 A.I.A.
 Member of the American Institute of Architects
 BURMANN ASSOCIATES INC.

Sheet Contents:
 Elevations

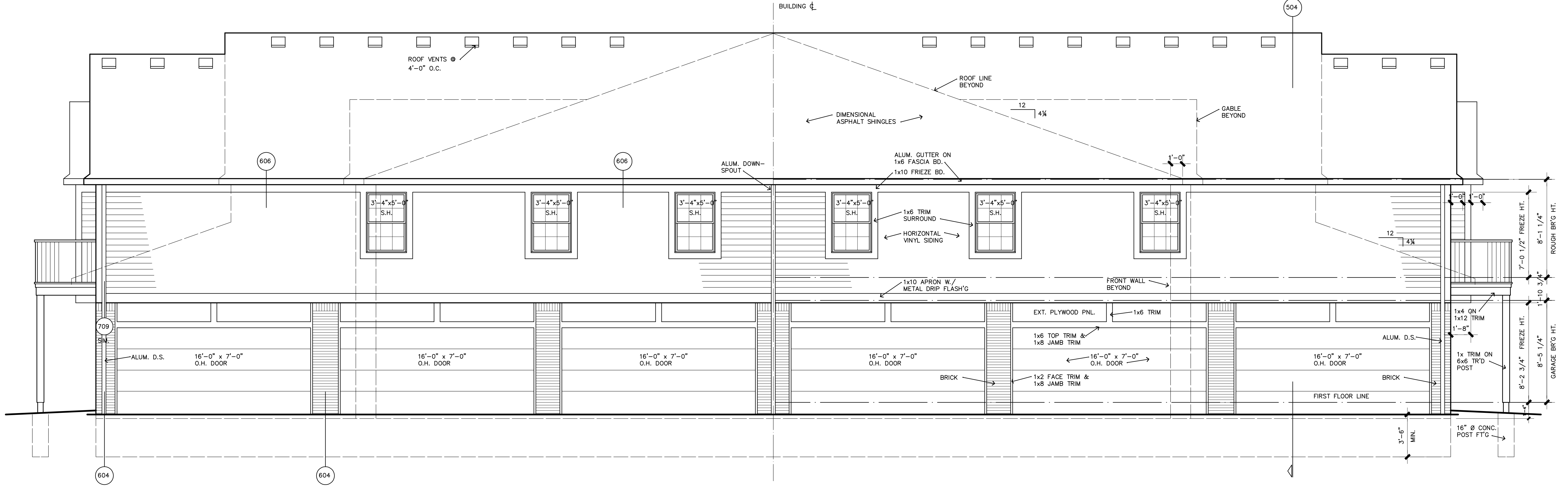
Job: 18173
 Drawn by: MAK
 Date: 17JUL18
 Sheet Number:



Front/Rear Elevation "B"
 Scale: 1/4" = 1'-0"



Partial Elevation "B"
 Scale: 1/4" = 1'-0"



Side Elevation "B"
 Scale: 1/4" = 1'-0"

Proposed Condominiums for:
MJC
 12 - Plex Condominiums

Architects • Engineers • Historic Restorations
 110 W. St. Clair • Romeo • Michigan • 48065-4655
 Office 586-752-9010 • 586-201-1602 Call
 greatarchitects@charter.net
A.I.A.
 Member of the American Institute of Architects

BURMANN
 BURMANN ASSOCIATES INC.

Sheet Contents:
 Elevations
 Job: 18173
 Drawn by: MAK
 Date: 27JUN18
 Sheet Number:

REPRODUCTION OF PRINTS IS PROHIBITED.



GENOA CHARTER TOWNSHIP APPLICATION
Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: JOSEPH MAEZES
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: LAKE CHEMUNGB OUTDOOR RESORT INC

SITE ADDRESS: 320 S. HUGHES HOWELL PARCEL #(s): 4711-04-400-008

APPLICANT PHONE: (517) 546 6361 OWNER PHONE: (517) 672 1431

LOCATION AND BRIEF DESCRIPTION OF SITE: COMMON AREA ADJOINING
BEACH FRONT AT CAMPGROUND ON LAKE CHEMUNGB.

BRIEF STATEMENT OF PROPOSED USE: WE WOULD LIKE A STRUCTURE
FOR PICNIC TABLES TO PROVIDE COVER FOR EVENTS

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: TO ERECT 20x30'
OPEN POST + BEAM STRUCTURE WITH JOIST HP ROOF
MATERIAL LIST + SPECS TO FOLLOW

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: [Signature] J.A. MAEZES

ADDRESS: 320 S. HUGHES LCOR1

Contact Information - Review Letters and Correspondence shall be forwarded to the following:
1. J A MAEZES of DAK MANHOLEX at LCORINIA@GMAIL
Name Business Affiliation Email Address 'COLL'

FEE EXCEEDANCE AGREEMENT
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.
SIGNATURE: [Signature] DATE: 1/26/22
PRINT NAME: J A MAEZES PHONE: 517 672 1431

August 31, 2022

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Lake Chemung Outdoor Resorts – Sketch Plan Review #2
Location:	North side of Lake Chemung
Zoning:	PRF Public and Recreational Facilities District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Lake Chemung Outdoor Resort for a new pavilion (plan dated 7/13/2022).

A. Summary

1. The proposed building does not meet the 125-foot setback required from the shoreline.
2. Additional information is needed with respect to other existing accessory buildings/structures on the property. (No more than 2 are allowed, by Ordinance.)
3. The applicant must abide by the terms and conditions of previous use/zoning approvals.
4. Any existing landscaping in poor condition should be replaced as part of this project.

B. Proposal/Process

The proposal entails a 20’ x 30’ pavilion for use as a shade structure at a beach within a campground. Such buildings are allowed as accessory to the principal use, provided the provisions of Section 11.04 are met.

Procedurally, Section 18.02 requires sketch plan review/approval by the Planning Commission for non-residential accessory buildings and structures.

C. Sketch Plan Review

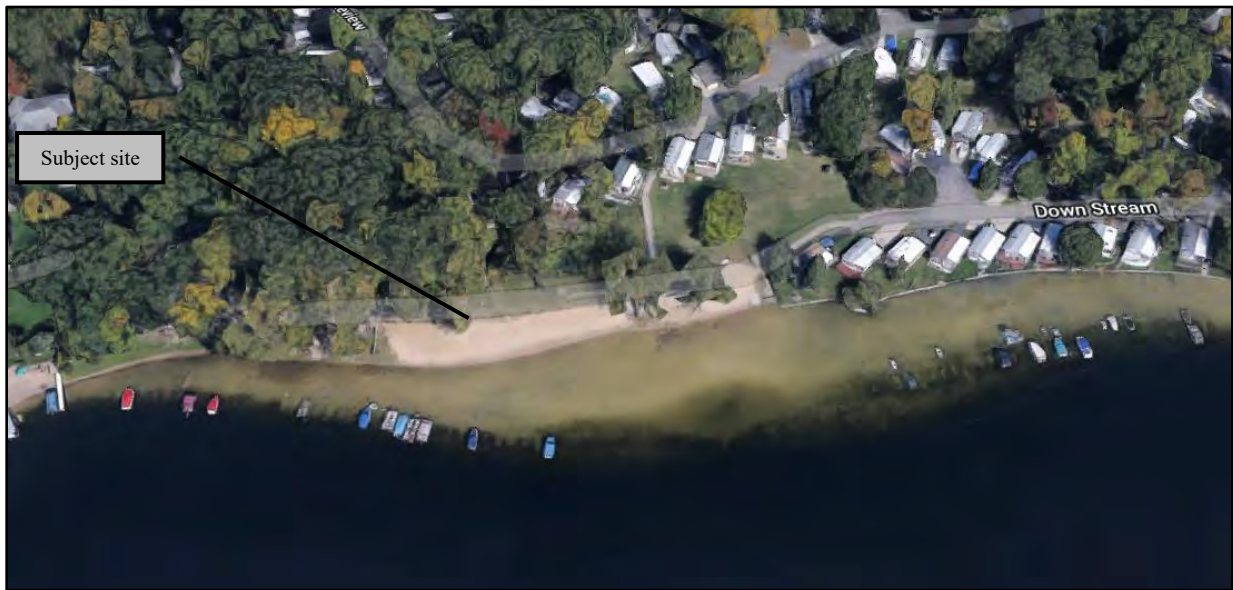
1. **Relationship.** Accessory buildings/structures must be affiliated with a principal use/building on the same property.

The principal use of the property is a campground, which is a special land use in the PRF District. As a side note, the scope of the project does not necessitate re-review of the special land use, per Section 19.06.

2. **Setbacks.** The PRF District requires a 75-foot side yard setback, which is met.

Additionally, Section 6.03.03 requires a 125-foot setback from the shoreline of a lake. This requirement is not met. The applicant must either relocate the proposed building or seek a variance from the ZBA.

3. **Height.** Section 11.04.02 establishes a maximum height of 18 feet. The proposed building has a height of 13’-10” to the peak.



Aerial view of property (looking north)

- 4. Number.** Section 11.04.02 allows no more than 2 detached accessory buildings on a lot. Based on the plans provided, there appear to be numerous other buildings/structures.

The applicant needs to explain what other buildings/structures exist on-site to determine compliance with this requirement.

If the proposal results in more than 2, the applicant must either remove other buildings or seek a variance from ZBA.

- 5. Additional Considerations.** The subject site has a lengthy history of zoning approvals (see staff memo and notes from 2018).

The applicant must abide by the terms and conditions of previous approvals, including a limit on the number of boats that can be moored (our understanding is that this has been an issue).

Lastly, as a previously developed site, the applicant must replace any landscaping that is in poor (dead, diseased, etc.) condition.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

A handwritten signature in black ink that reads "Bri V Borden".

Brian V. Borden, AICP
Michigan Planning Manager



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

May 16, 2018

Linda Gallerani
Lake Chemung Outdoor Resorts Inc.
320 S. Hughes Road
Howell, MI 48842

Sent via e-mail: galleral12@gmail.com

Re: Lake Chemung Outdoor Resorts – Temporary Campground & Dock Clarification

Dear Ms. Gallerani,

It is my understanding that members have recently inquired and asked for clarification on a number of Township regulations in regard to the campground. The purpose of this letter is to address the Township's interpretation of temporary use of campsites as well as the prohibition on docks and boat launching. In regard to the temporary campsite requirements for the Outdoor Resorts Campground I offer the following:

- The use of the property is considered a campground, not a permanent residence, mobile home community or manufactured home community etc. and the property is zoned Public and Recreational Facilities (PRF).
- In the current ordinance, campgrounds require a special land use permit (§6.02) and recreational vehicles and trailers are permitted to be used for temporary residence between May 1st and October 1st each year (§ 11.03.02b).
- The campground is currently operating as a nonconforming use because it does not have special land use approval.
- The ability to occupy the recreational vehicles and trailers in the campground between October 1 and May 1 is also a nonconforming use.
- The definition of a campsite as that which allows occupancy not to exceed a consecutive 6 months with a 30 day vacate period was established in 1988. To my knowledge, the campground has been operating under this provision since that time which vests the use as a nonconforming use and allows campers to stay between October 1 and May 1 although contrary to the ordinance. It is noted that this requirement applies to usage of each campsite irrespective of the occupant of said campsite. Any changes to this standard would require compliance with the ordinance and would eliminate the opportunity for occupancy of recreational vehicles and trailers between October 1 and May 1 or each year.
- As provided in the ordinance, any changes to nonconforming uses of land would require the site to be brought into compliance with the current ordinance requirements.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

May 16, 2018

Lake Chemung Outdoor Resorts – Temporary Campground & Dock Clarification

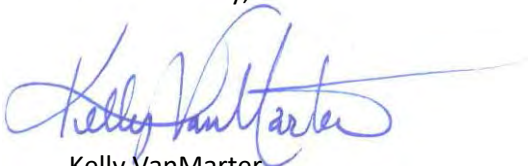
Page 2 of 2

In regard to the request to construct a dock facility I offer the following:

- The campground voluntarily restricted its use of the lake frontage as a condition of termination of the special land use permit in 1991. The campground is prohibited from expanding the mooring of boats, constructing a permanent or temporary dock, and from providing launching facilities. This condition remains in effect and will continue to be enforced by the Township.
- It should be noted that while the MDEQ may issue a permit for the construction of marina, dock or boat launching facility, it does not pre-empt the local prohibition. The installation of any docking or launching apparatus or appurtenances with or without DEQ approval would be deemed in violation of the use provisions of the Ordinance and would be subject to enforcement action of penalties appropriate for the violation.

In preparation of writing this letter, I reviewed extensively the Township records and historical information on the campground. Please find attached a copy of the history report I prepared for our records. It is important that your membership is aware of the history with the Township. As president of the Board, I greatly appreciate your willingness to be the liaison between the board, its' membership and Township staff. I also want to point out that Township jurisdiction over the campground is limited to that which is regulated by Ordinance or through conditions of Township approvals. Any covenants or private restrictions are not enforceable by the Township.

Most sincerely,



Kelly VanMarter

Assistant Township Manager/Community Development Director

Cc: Dean Helsom
Mike Archinal, Township Manager

SPECIAL LAND USE HISTORY

Sept. 9, 1966 – Board approves conditional use permit to operate a Travel Trailer Coach Park and Recreation Area from May 1 to December 1 with the following conditions:

1. No trailer of any description shall be on the premises between Dec. 1 and May 1.
2. Police protection by facility management with support from Livingston County Sheriff
3. Fire protection by Facility management
4. No motor driven craft shall be launched or docked along the lake frontage
5. Underground wiring required and trailer and tent area shall be well lit
6. Rubbish and garbage shall be provided by management and shall keep the premises neat, clean and sanitary
7. No tent of trailer within 300' from the right of way of any public road and lake shoreline.
8. 6' cyclone fence shall delineate property lines
9. Greenbelt required as buffer to adjacent residential
10. No travel trailer over 26 feet long
11. No domestic animals or house pets on the loose or being a nuisance.
12. Max. 250 units.
13. Must provide plot plan with measurements for boundary of camp.
14. No firearms within park boundary during camping season
15. Conditions will be enforced.
16. Permit is not transferrable without Board approval.
17. Permit may be revoked for non-compliance after notice and hearing

August 22, 1967 – Civil Suit Agreement requires:

- No persons using the camping area will be permitted to launch or dock motor driven craft from upon or along any lake Chemung frontage
- Required 6' chain link fence along Sunrise Park.
- 300' buffer strip required which only allowed rental cottages.
- No sales of alcohol

August 26, 1970 – Township Board approves revision to the Special Land Use permit to allow year-round use and adds a condition that no snowmobiles shall be operated in the park.

September 26, 1970 – Special Land Use Permit Amended Item #1 to state: "Trailer Site Occupancy shall be limited to one hundred and fifty (150) sites during the period December 1st to May 1st."

June 1976 – Outdoor Resorts Development, Ltd. Seeks to acquire, improve and deed to membership association the campground. They request 340 campsites and plan construction of swimming pool, tennis courts, recreation lodge, landscaping and paved roads. They make application for Special Land Use Permit.

June 21, 1976 – Township Board approves special land use permit following tabled 6/7/76 Board and 6/2/76 Planning Commission meeting subject to the following conditions:

1. 30 year permit
2. Site plan review required for all improvements
3. No vehicle longer than 35 feet not wider than 8 feet
4. Park shall not exceed 340 units
5. Written notice of ownership changes
6. Written annual notice of officers and directors
7. No motor driven craft shall be launched or docked along the lake frontage
8. No snowmobile, trail bike or off road vehicles to be operated
9. Rubbish and garbage shall be provided by management and shall keep the premises neat, clean and sanitary
10. No firearms within park boundary during camping season
11. Permit not transferable without Township Board approval
12. Permit may be revoked for non-compliance after notice and hearing
13. No campsite to be used or occupied as a permanent residence.
14. Special Use Permit terminates upon determination that sewage treatment facility is municipal.
15. Permit is terminated if a.) Outdoor Resorts Development, Ltd ceases to be operating entity, or b.) If transfer to Outdoor Resorts on Lake Chemung Inc. does not transpire.

September 5, 1978 – Township Board tabled consideration of violations of special land use to October 2, 1978. 10/2/78 agenda includes this item but the minutes have nothing related.

June 18, 1979 – Township Manager Phillip Sitter provided the following points of clarification on the terms of the Special Use Permit:

- Tip-out and 5th wheel units are allowed provided they do not exceed the 35' length or 8' wide requirement when in "road-ready" condition.
- Off-road vehicles are further defined to include units which have their own motive power or are mounted on or drawn by another vehicle which is self-powered including but not limited to snowmobiles, motorcycles, trail bikes, mop-heads, all-terrain vehicles, dune buggies and similar.
- It was the intent that no water craft be launched or docked along or upon the lake frontage. This includes all types of water craft, boats, canoes, pontoons, etc.
- Structures and improvements refers to all buildings and uses for which building and land use permits are required having a permanent/ semi-permanent/seasonal nature and those structures and uses defined by outdoor Resorts in their written presentation of by-laws and regulations acted upon and approved as part of the Special Use Permit package. Such facilities may be erected only with the approval of the Township Board and Planning Commission following a complete site plan review defined by Township zoning Ordinance. This includes but is not limited to buildings, swimming pools, tennis

courts, recreational pavilions, enclosed patios and porches, docks, fences, underground utilities, roads, bridges, dikes, dams and like structures.

July 16, 1979 - Board discussed special use permit at call to public after letter was received in regard to docks for non-motor boats. Consensus was that docks not be constructed along the shoreline.

July 11, 1984 – Planning Commission denied request to amend special land use permit to allow a dock and boat launch.

July 15, 1988 – Township Manager Jim Stornant provides the following definition of temporary campsite: “Two seasons and or six months of consecutive use is considered the maximum time allowed. There must then be a thirty (30) day vacate period”.

July 20th, 1988 – Ronald Rymarz, President of LCORI requested clarification on the following:

- It is agreed that the resort is for camping and is to be used for temporary living. It is also agreed that permanent residency is not allowable. He requests a letter that defines permanent residency and sets a limitation on how long a member may stay without violating the permit.
- He requests approval to allow 12’ wide trailers without amending the special use permit.
- He requests approval for members to install aluminum awnings on their RV.

August 1, 1988 - Township Manager Jim Stornant responds to Mr. Rymarz as follows:

- Temporary camping is not more than three sessions and/or six consecutive months
- Attached non-permanent awnings are allowed.
- An amendment to the conditions of the Special Land Use must go through the Planning Commission and Township Board approval process.

TERMINATION OF SPECIAL LAND USE PERMIT – the property was rezoned to PRF and a determination was made that the use did not require a special land use permit in the new zoning.

July 19, 1989 – Planning Commission Tabled request to terminate Special Land Use asking for submittal of a site plan and impact assessment

January 3, 1990 – Planning Commission discussed with LCOR Attorney Kehoe the dispute over need for the site plan and impact assessment.

February 7, 1990 – Planning Commission removed from agenda request for termination of Special Land Use Permit due to failure to provide the required information.

May 1, 1991 – Planning Commission reviews request for recreational and maintenance building and termination of Special Use Permit

- PC recommends approval of the new recreation and maintenance facilities

- PC tables termination of Special Use Permit

June 5, 1991 – Planning Commission recommends termination of special use permit under the conditions outlined in the May 14, 1991 letter which required:

- The camp will not build a permanent or temporary dock.
- The camp will not expand the mooring of boats and will stay within state laws and maintain boats in an organized and safe manner.
- The camp will not provide launching facilities for motorized boats as long as the public launch is open.
- The camp will maintain present setbacks and greenbelts and will not expand beyond 340 sites without Township approval.

July 17, 1991 – Board affirms the recommendation by the Planning Commission and approves the request to terminate the special land use permit under the terms agreed to by Lake Chemung Outdoor Resorts.

LAKE CHEMUNG USAGE HISTORY

1966-1991 –Township Condition: No motor driven craft shall be launched or docked along the lake frontage. 1979 Clarifications - no water craft be launched or docked along or upon the lake frontage. This includes all types of water craft, boats, canoes, pontoons, etc. No docks shall be constructed along the shoreline.

1984 – Township Denied request to allow dock and Boat Launch

1989 – MDNR approves operating permit to moor a total of 32 Boats

1991 - Termination of Special Land Use on the following conditions:

- The camp will not build a permanent or temporary dock.
- The camp will not expand the mooring of boats and will stay within state laws and maintain boats in an organized and safe manner.
- The camp will not provide launching facilities for motorized boats as long as the public launch is open.

2007-2008 – There are multiple hearings on the status of the marina permit to moor 32 boats. There are complaints that there are over 100 boats moored while the marina permit only allowed 32. The state Attorney General was involved and the determination was made that the campground must obtain a marina permit to moor boats. The last correspondence in our file dated July 15, 2008 was that the DEQ was reviewing a request to operate a marina with 98 moorings.



August 17, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Outdoor Resorts Shade Structure
Site Plan Review No. 2**

Dear Ms. Van Marter:

Tetra Tech conducted a review of the proposed Outdoor Resorts shade structure sketch plan last dated July 13, 2022. The plan was prepared by Boss Engineering on behalf of Lake Chemung Outdoor Resort, Inc. The site is located in Lake Chemung Outdoor Resort on the west side of South Hughes Road. The Petitioner is proposing a 600-square-foot shade structure near the beach on Lake Chemung.

After reviewing the provided sketch plan, we have no engineering related concern to the proposed shade structure.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.
Vice President

A handwritten signature in blue ink, appearing to read 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

August 30, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Lake Chemung Outdoor Resort
320 S. Hughes
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 17, 2022 and the drawings are dated July 13, 2022 and July 29, 2022. The project is based on the proposed construction of a 600 square foot Type V-B Accessory pavilion structure. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

The fire authority has no objection to this project. The site access and water supply are existing non-conforming. The structure is an open air accessory to the existing development.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "D Bunge".

Derrick Bunge
Captain Fire Inspector

cc: Amy Ruthig amy@genoa.org

From: [Matt Bolang](#)
To: [Amy Ruthig](#)
Cc: [Aaron Aumock](#); [Heather Blair](#)
Subject: RE: New Site Plan Submittals
Date: Thursday, February 3, 2022 4:26:30 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Outdoor Resorts - First Submittal to Consultants.pdf](#)

Amy,

We don't have any issues with this proposal for LCORI.

Thanks,
Matt

Matt Bolang, MSA, REHS
Deputy Health Officer
Director of Environmental Health
Livingston County Health Department
2300 East Grand River
Howell, MI 48843

517-552-6870 | www.lchd.org



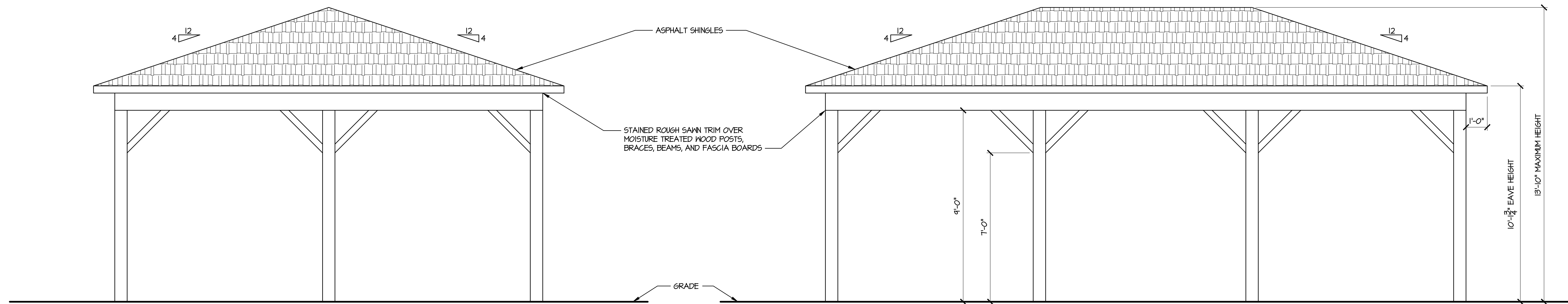
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From: Amy Ruthig <amy@genoa.org>
Sent: Tuesday, February 1, 2022 1:32 PM
To: Matt Bolang <MBolang@livgov.com>
Subject: [EXT] New Site Plan Submittals

"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

Good Afternoon,

I will be sending over some emails in the next few minutes that include new site plan submittals for Genoa Township. I have attached Outdoor Resorts Pavilion to this

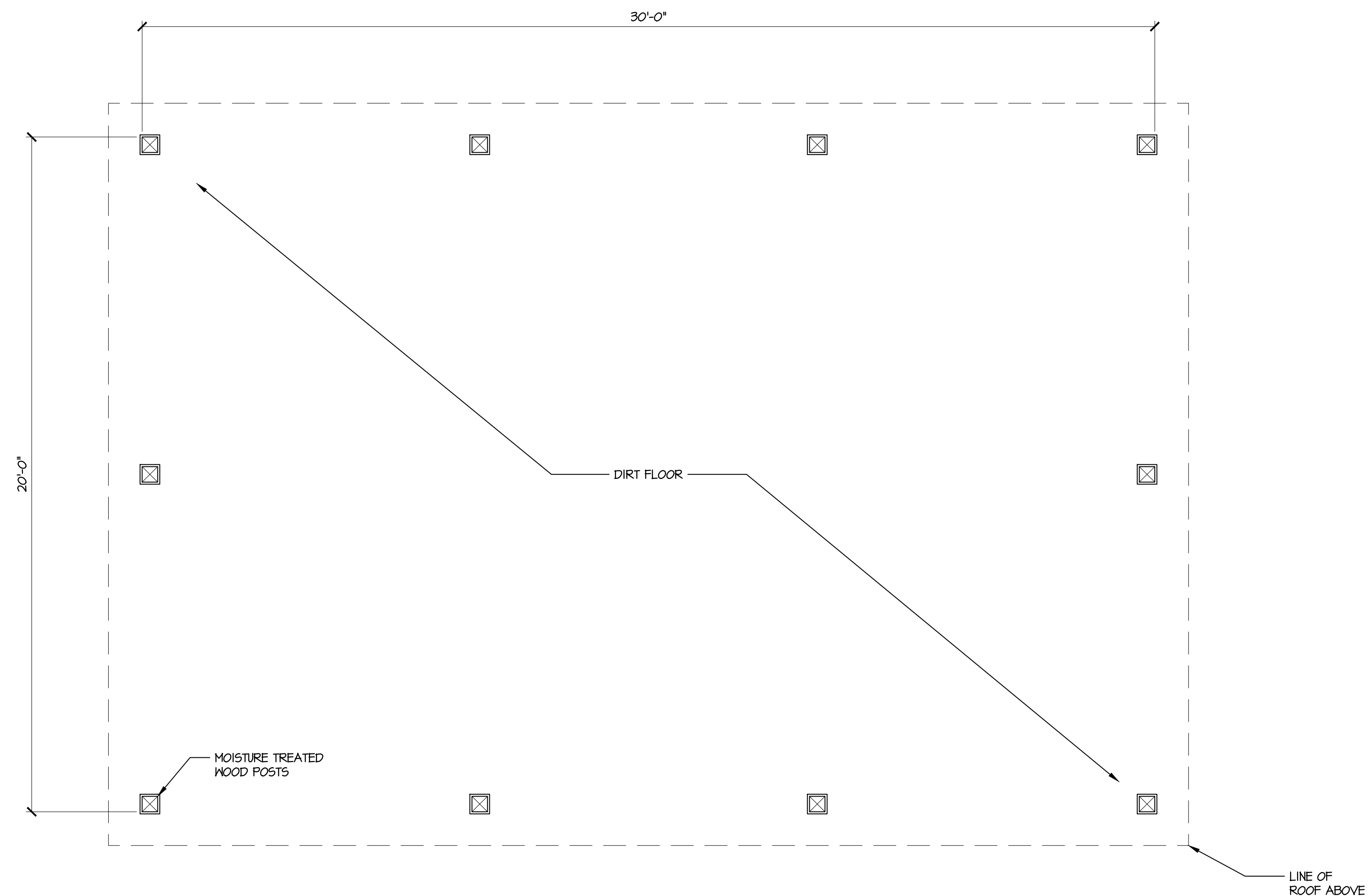


EAST AND WEST ELEVATIONS

SCALE: 3/8" = 1'-0"

NORTH AND SOUTH ELEVATIONS

SCALE: 3/8" = 1'-0"



PAVILION PLAN
SCALE: 3/8" = 1'-0"



PUCCI + VOLLMAR ARCHITECTS, PC
ARCHITECTURE + DESIGN + PLANNING
508 E. GRAND RIVER AVE., SUITE 100B, BRIGHTON, MI 48116-1566
PHONE: (810) 225-2930
www.pv+a-architects.com



PROJECT: LAKE CHEMUNG OUTDOOR RESORTS
SHEET TITLE: PAVILION PLAN AND ELEVATIONS
320 SOUTH HUGHES
GENOA TOWNSHIP, MICHIGAN
DATE: T-24-2022
ISSUED FOR: TOWNSHIP SUBMITTAL

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DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY
DRAWN BY: KY
APPROVED BY: KY

PROJECT: 2210

SHEET: **A1**

\$1200.⁰⁰



GENOA CHARTER TOWNSHIP APPLICATION

Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Chris Stone 933 Hidden Cove White K.
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Winstonford Dahm 9255 LAKEWOOD SHORES

SITE ADDRESS: 5393 Grand River PARCEL #(s): HOWELL, MI 48843

APPLICANT PHONE: (248) 882-4044 OWNER PHONE: (248) 670-1824

LOCATION AND BRIEF DESCRIPTION OF SITE: Log Cabin INN Restaurant
Historical Door Rd. and Latson.

BRIEF STATEMENT OF PROPOSED USE: Position of smoker's use
of on site

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: To locate smoker
behind building at rear entrance door
(SEE PRINT)

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Chris Stone

ADDRESS: 933. Hidden Cove White K. Mich.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:		
1. <u>Chris Stone</u>	of <u>Log Cabin</u>	at <u>CStoney453@gmail.com</u>
Name	Business Affiliation	Email Address

FEE EXCEEDANCE AGREEMENT	
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: <u>Chris Stone</u>	DATE: <u>8-22-2022</u>
PRINT NAME: <u>Chris Stone</u>	PHONE: <u>248-882-4022</u>

August 31, 2022

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Log Cabin Restaurant – Sketch Plan Review #1
Location:	5393 Grand River Avenue – north side of Grand River, between Eckles Drive and Westwood Drive
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from the Log Cabin Restaurant for a new smoker (plan date is illegible).

A. Summary

1. The required rear yard setback is not met (50’ required; 18’ proposed).
2. The maximum number of accessory buildings allowed (2) is exceeded (the proposal will result in at least 3).
3. We suggest additional rear yard screening/buffering be provided.
4. Any existing landscaping in poor condition should be replaced as part of this project.

B. Proposal/Process

The proposal entails installation of a 6’ x 5’ smoker for use as part of the restaurant. By definition, this constitutes an accessory building. Such buildings are allowed as accessory to the principal use, provided the provisions of Article 6 and Section 11.04 are met.

Procedurally, Section 18.02 requires sketch plan review/approval by the Planning Commission for non-residential accessory buildings and structures.

C. Sketch Plan Review

1. **Relationship.** Accessory buildings/structures must be affiliated with a principal use/building on the same property.

The principal use of the property is a restaurant, which is permitted in the GCD.

2. **Setbacks.** The GCD requires a 50-foot rear yard setback. The proposal results in a rear yard setback of 18 feet.

The principal building obtained a variance for its current encroachment into the required rear yard (30-foot setback provided); however, since this is a new building/structure, an alternate location or variance will be necessary. (The applicant currently has an application in for ZBA consideration.)

3. **Height.** Section 11.04.02 establishes a maximum height of 18 feet. The exact height of the proposed smoker is not identified, though it is significantly less than the 18 feet allowed.



Aerial view of site and surroundings (looking north)

- 4. Number.** Section 11.04.02 allows no more than 2 detached accessory buildings on a lot. Based on the plan provided and review of aerial photos, there are at least 2 existing such buildings.

As such, the applicant must either remove one of the existing buildings or seek a variance from ZBA. (As noted above, the applicant currently has an application in for ZBA consideration.)

- 5. Additional Considerations.** Given the site's proximity to single-family residential, we suggest the applicant improve rear yard screening as part of this project to mitigate any potential impacts.

For the applicant's reference, Section 12.02.03 requires a Buffer Zone "B," which entails a 20-foot wide buffer with plantings and a berm or wall. As such, additional landscaping and/or a screen wall/fence should be provided.

Lastly, as a previously developed site, the applicant must replace any landscaping that is in poor (dead, diseased, etc.) condition.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

A handwritten signature in black ink, appearing to read 'Brian V. Borden'.

Brian V. Borden, AICP
Michigan Planning Manager



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Planning Commission

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director

DATE: September 8, 2022

RE: Log Cabin Commercial Smoker

Dear Commissioners,

As indicated in the Planner's review letter, the location of the commercial smoker for the Log Cabin restaurant requires two (2) variances. This memo shall confirm that the applicant has submitted for the required variances and is scheduled to be heard by the Zoning Board of Appeals at their September 20, 2022 meeting.

Please let me know if you have any questions or concerns.

Sincerely,

Kelly VanMarter
Assistant Township Manager/Community Development Director

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

From: [Markstrom, Gary](#)
To: [Amy Ruthig](#); [Kelly VanMarter](#)
Subject: RE: Log Cabin Smoker
Date: Thursday, August 25, 2022 3:41:59 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)


Amy and Kelly, given the limited improvements being proposed with the smoker we have no engineering related comments on this plan.

Do you need a letter or will this email be sufficient.

Gary J. Markstrom, P.E. | Vice President
Direct (517) 316-3932 | Mobile (810) 499-6646 | gary.markstrom@tetrattech.com



Tetra Tech | *Leading with Science®*
3497 Coolidge Road | East Lansing, MI 48823 | tetrattech.com

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 Please consider the environment before printing. [Read more](#)



From: Amy Ruthig <amy@genoa.org>
Sent: Thursday, August 25, 2022 3:37 PM
To: Markstrom, Gary <Gary.Markstrom@tetrattech.com>
Subject: Log Cabin Smoker

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Good Afternoon,

Attached is the second site plan submittal for the Log Cabin Smoker project.

The review is required by September 7th, 2022.

Any questions, please contact Kelly or myself.

Thank You,

Amy Ruthig



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

September 7, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Log Cabin "Smoker"
5393 E. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 29, 2022 and the drawings are dated February 28, 2022. The project is for the proposed installation of an outdoor smoker behind the existing restaurant. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition and the manufacturer's specifications.

1. The smoker shall be installed a minimum of 24" away from the combustible building surface.
2. Firewood shall not be stored against the combustible wood building.
3. The smoker must be installed surround that maintains the proper safety and maintenance clearances in accordance with the manufacturer's specifications. A non-combustible surround and covering is highly recommended.
4. If the exhaust duct penetrates a combustible shelter roof or the backwall of the surround it shall be done so in accordance with the manufacturer's instructions and NFPA 96.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

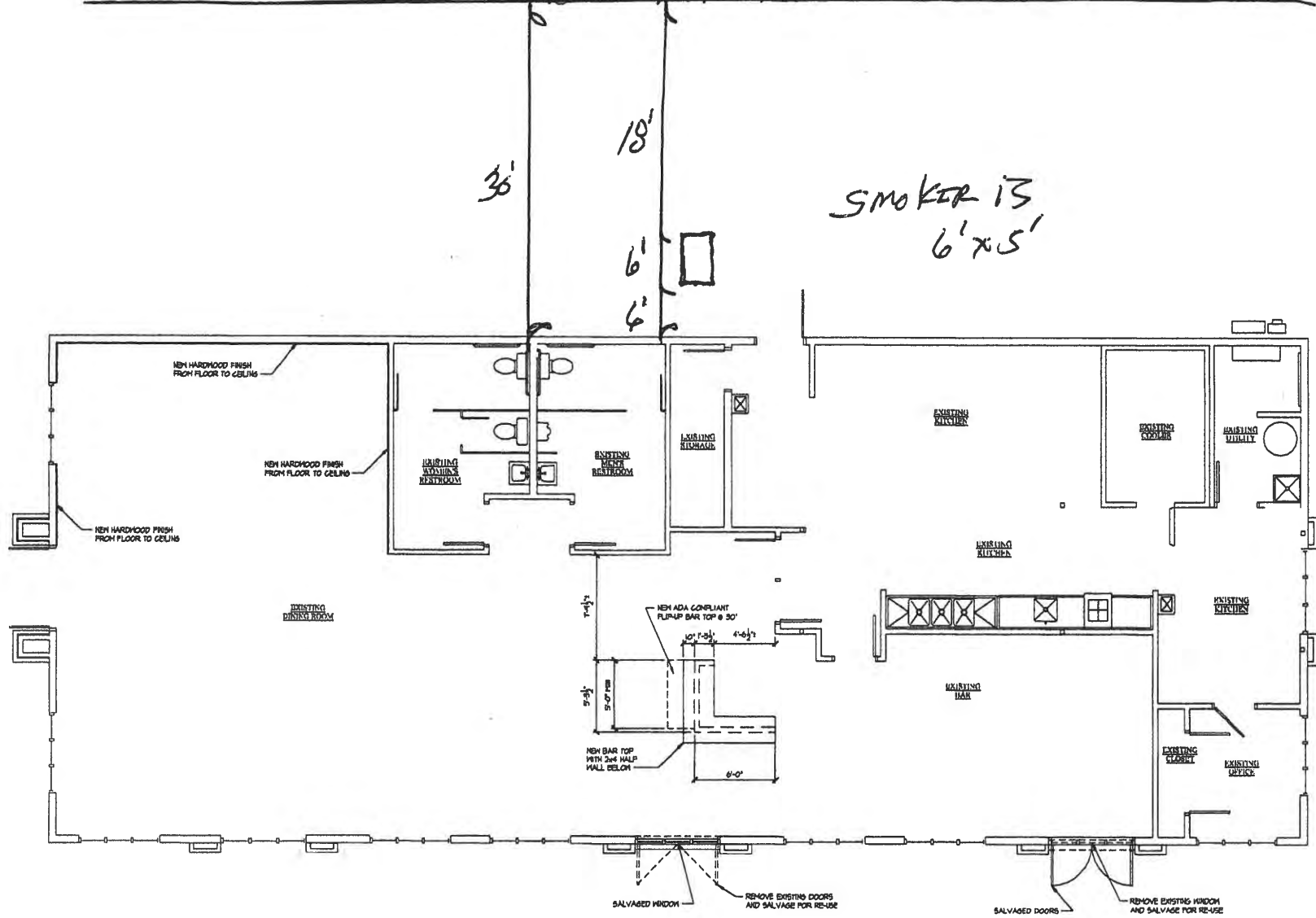
Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

Back wall lower



FLOOR PLAN
SCALE: 1/4" = 1'-0"

6



PUCCI + VOLLMAR ARCHITECTS, PC
ARCHITECTURE + DESIGN + PLANNING
300 E. GRAND RIVER AVENUE, SUITE 1000, TROY, MI 48068
PHONE (313) 224-0000

FOR **FULTON**
ADDRESS: CITY, MI 48
PHONE: 248-302-1151

PRELIMINARY NOT FOR CONSTRUCTION


PROJECT: **LO6 CABIN RESTAURANT REMODEL**
5945 GRAND RIVER AVENUE
GENOA TOWNSHIP, MICHIGAN
SHEET TITLE: **FLOOR PLAN**

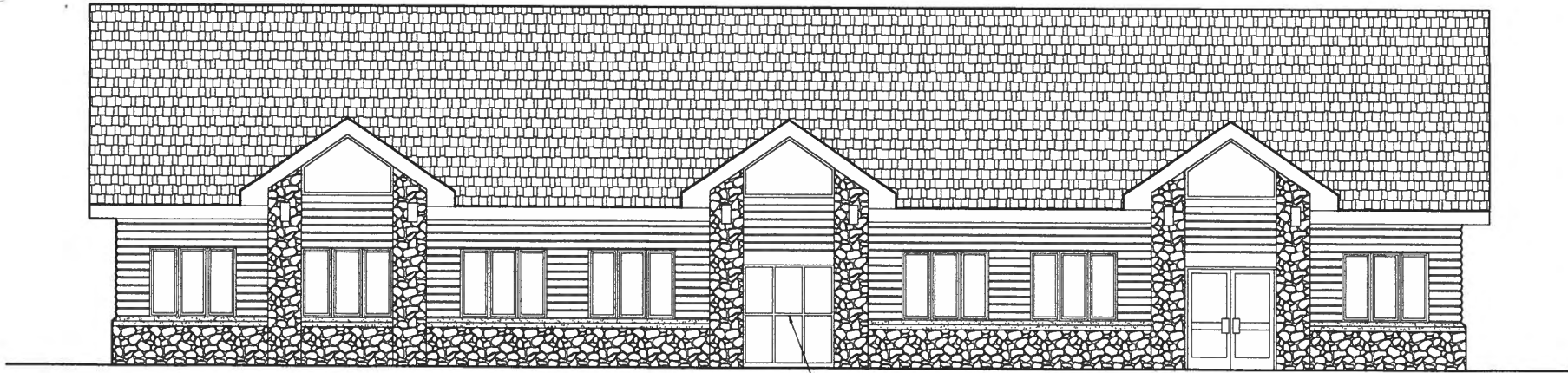
DATE:	3-28-2025
DESIGNED BY:	KV
DRAWN BY:	KV
APPROVED BY:	KV
PROJECT:	2206
SHEET:	A1

DO NOT SCALE THIS PRINT. USE DIMENSIONS SHOWN ONLY.
PROJECT: 2206
SHEET: A1



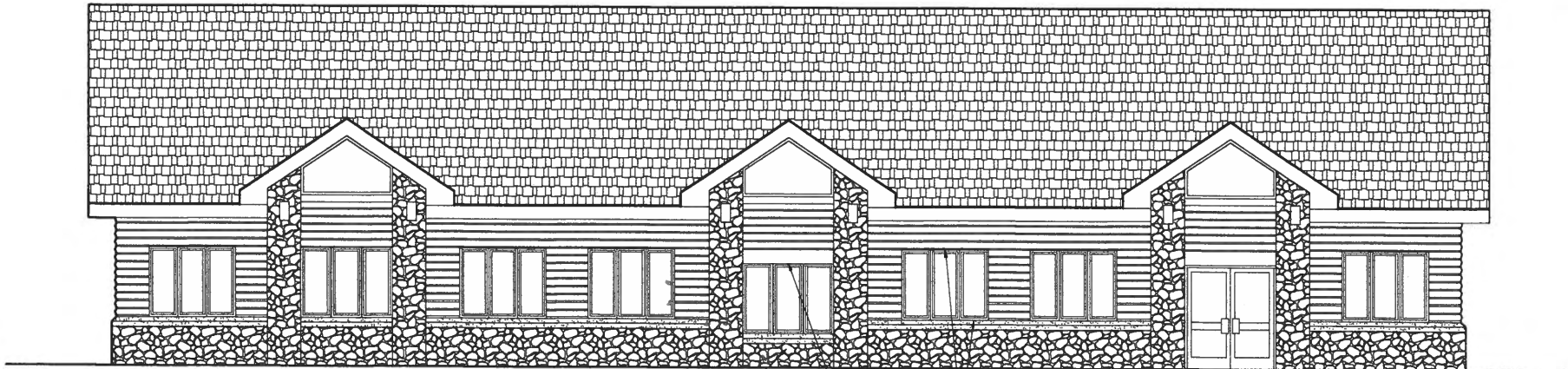
Parcel lines are approximate.
Not intended for survey purposes.

141 W  E
1 inch = 50 feet



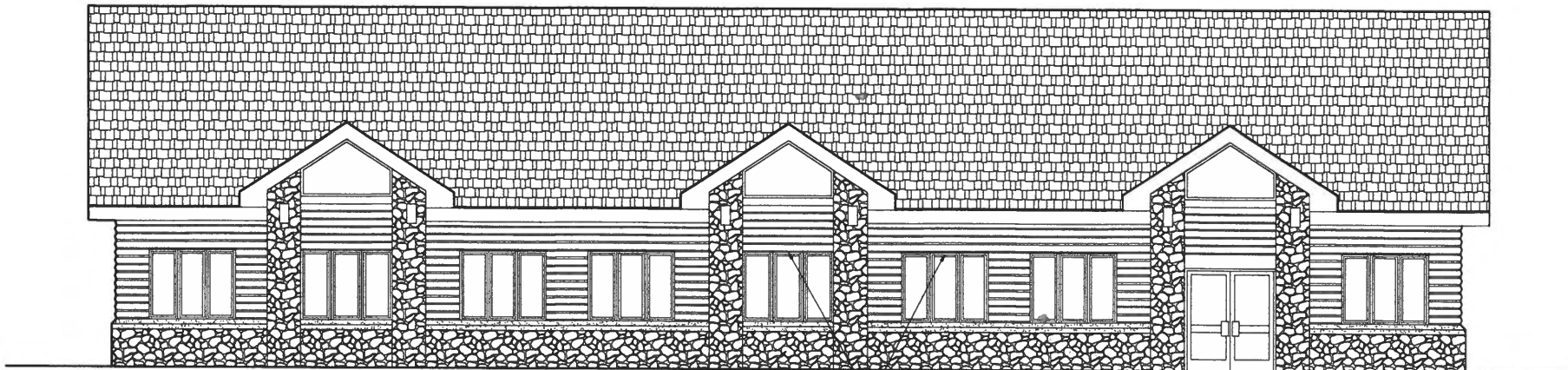
3 FRONT ELEVATION ~ OPTION 3
A2 SCALE: 1/4" = 1'-0"

NEW FULL HEIGHT GLASS WINDOW IN EXISTING DOOR OPENING.
ELIMINATES THE NEED FOR A NEW MALL BELOW THE WINDOW.
NOTE: ON THIS SKETCH THE WINDOW HEADS STILL DO NOT LINE UP.



2 FRONT ELEVATION ~ OPTION 2
A2 SCALE: 1/4" = 1'-0"

NEW MALL BELOW WINDOW
LEAVE EXISTING LOWER DOOR HEADER IN PLACE
NOTE: NEW WINDOW HEAD AND SILL DO NOT LINE UP.



1 FRONT ELEVATION ~ OPTION 1
A2 SCALE: 1/4" = 1'-0"

NEW MALL BELOW WINDOW
ALIGN WINDOW HEADS (AND SILLS)
NOTE: THIS REQUIRES A NEW HEADER AT A HIGHER HEIGHT.



PUCCI + VOLLMAR ARCHITECTS, PC
ARCHITECTURE + DESIGN + PLANNING
508 E. GRAND RIVER AVE., SUITE 0000, BELLVILLE, MI 48116-1566
PHONE (419) 225-2970
www.pvuarchitects.com



PRELIMINARY NOT FOR CONSTRUCTION

FOR: **FULTON CONSULTANTS**
ADDRESS: CITY: MI: 48 PHONE: 248-3025-1151

PROJECT TITLE
LOG CABIN RESTAURANT REMODEL
5943 GRAND RIVER AVENUE
GENOA TOWNSHIP, MICHIGAN

FRONT ELEVATION OPTIONS

PROJECT	SHEET
LOG CABIN RESTAURANT REMODEL	TITLE
5943 GRAND RIVER AVENUE	
GENOA TOWNSHIP, MICHIGAN	
DATE	DATE
2-28-2022	2-28-2022
DRAWN BY: KV	APPROVED BY: KV
PROJECT: 2206	

DO NOT SCALE THIS SHEET. USE DIMENSIONS SHOWN ONLY.

PROJECT: 2206

SHEET: **A2**





GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Stan Schaefer
150 N. First Street, Brighton MI 48116
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: AJCSU, LLC
8011 Manducina Drive Austin TX 78735

SITE ADDRESS: 2630 E Grand River Ave PARCEL #(s): 4711-06-200-061

APPLICANT PHONE: (517) 304-1124 OWNER PHONE: (517) 505-0083

OWNER EMAIL: jonathan.bronoff@gmail.com

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

Existing Vacant building site - formerly "Great Escape"

BRIEF STATEMENT OF PROPOSED USE: _____

Indoor Climate controlled Storage

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

Amend the approved site plan to eliminate
pavterize and replace the front parking lot.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Stan Schaefer

ADDRESS: 150 N. First Street Brighton MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Stan Schefar of Schofer Construction at stonschfer@construction.net
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Stan Schefar DATE: 8/24/2022
PRINT NAME: Stan Schefar PHONE: 517-304-1124
ADDRESS: 150 W. First Street, Brighton MI 48116

2027-2032 at \$40,550.00 and a high-speed automatic envelope opener at \$2,920.00 with FORMAX using federal and state grant funding under ARPA at the recommendation of County Clerk Elizabeth Hundley and Township Clerk Polly Skolarus.

Moved by Lowe and supported by Skolarus to table the request until clarity of the maintenance agreement and the additional cost can be taken into consideration. The motion carried unanimously.

5. Public Hearing for the Homestead Drive Road Improvement Special Assessment Project (Summer 2022).

- A. A Call to the Property Owners was made with no response.
- B. A Call to the Public was made with no response.

6. Request for approval of Resolution #3 [approving the project cost estimates, special assessment district and causing the special assessment roll to be prepared] for the Homestead Drive Road Improvement Special Assessment Project. (Summer 2022).

Skolarus asked to consider the \$2,000.00 fee when the publications and mailing may cost less. Archinal – There is also my staff time to consider.

Moved by Mortensen and supported by Croft to approve Resolution #3 as requested for Homestead Drive road improvement project. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Lowe, Mortensen, Skolarus and Rogers. Nays – None. Absent – Hunt.

7. Request for approval of Resolution #4 [acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices for the Homestead Drive Road Improvement Special Assessment Project (Summer 2022)].

Moved by Skolarus and supported by Lowe to approve Resolution #4 as requested for Homestead Drive road improvement project. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Lowe, Mortensen, Skolarus and Rogers. Nays – None. Absent – Hunt.

8. Consideration of a recommendation for approval of a special use application, environmental impact assessment and site plan for a proposed climate-controlled indoor commercial storage business located at 2630 E.

Grand River Avenue, south side of Grand River, east of Chilson Road. The request is petitioned by Schafer Construction, Inc.

Skolarus – That is a large parking area for your development. Do you own the parking lot in the picture? Matt Veter – Yes. Skolarus – Will you be asking for additional development on this property? Veter – Maybe.

- **Disposition of Special Use Application**

Moved by Lowe and supported by Croft to approve the Special Use Application approve the Special Land Use permit because it has been found that the requested use meets the requirements of Sections 19.03 and 7.02.02(z) of the Township Ordinance. The motion carried unanimously.

- **Disposition of Environmental Impact Assessment (2-24-22)**

Moved by Ledford and supported by Croft to approve the Environmental Impact Assessment dated February 24, 2022 as submitted. The motion carried unanimously.

- **Disposition of Site Plan (2-24-22)**

Moved by Skolarus and supported by Lowe to approve the sketch plan dated February 24, 2022 with the following conditions:

- All requirements of the Fire Marshall’s letter dated March 9, 2022 including the need for a hydrant, shall be met.
- All requirements in the Township Engineer’s letter dated March 7, 2022 shall be met.
- In lieu of installing the required sidewalk, a performance guarantee in compliance with Section 21.03 shall be provided and a sidewalk easement shall be granted to the Township if necessary for Township installation of a sidewalk.
- As indicated by the applicant at the Planning Commission meeting, the parking lot will be pulverized/repaved with replacement of the parking lot island landscaping and additional potted landscaping will be added near the entrance area. A revised landscape plan shall be provided for Township staff approval prior to issuance of a land use permit.
- The site lighting standards shall be met, which includes reducing the height of the poles to 20 feet or less in the east lot and 30 feet or less in the north lot.

- The existing outside well will be abandoned per Livingston County Health Department standards.
- Copies of the cross-access agreements with the adjacent properties shall be provided to Township Staff and any change to the cross-access agreement with the adjacent properties must be reviewed and approved by the Township.
- The site shall be signed to advise that no overnight parking is permitted.
- A hard copy of the rendering and the proposed paint colors shall be provided to Township Staff prior to issuance of the land use permit.

The motion carried unanimously.

9. Request for approval of a general appropriations act for funds 101, 202, 208, 212, 249, 401, 464, 532, and 860 for FY 2022-2023 starting April 1, 2022 and ending March 31, 2023.

A. A call to the public was made with no response.

Moved by Mortensen and supported by Skolarus to approve Resolution No. 220321 with regard to all general appropriations referencing the Clerk's attachment as previously provided relative the election budget and salaries for the next fiscal year. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Lowe, Mortensen, Skolarus and Rogers. Nays – None. Absent - Hunt.

10. Request for approval of a contract with the Livingston County Road Commission for limestone resurfacing on King Road from the end of the pavement to Richardson Road at a cost of \$140,000.00.

Moved by Ledford and supported by Croft to approve the Contract with Livingston County Road Commission for King Road in the amount of \$140,000.00 as requested. The motion carried unanimously.

11. Request to approve the proposal from Omni Tech Spaces for the purchase of a new Board Room visual display system for \$62,283.00.

Moved by Skolarus and supported by Croft to approve the proposal with Omni Tech Spaces as requested. The motion carried unanimously.

Correspondence:

A letter from the Livingston County Drain Commissioner related to the Marion Drain No. 3 was received.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Site Plan dated February 23, 2023 for a proposed 3,750 sq. ft. office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive, based on the following conditions:

- No berm is necessary along the south property boundary because the existing berm and vegetation is satisfactory.
- The building materials are satisfactory.
- The greenbelt berm and plantings shall be extended to the south due to the elimination of the curb cut.
- Gravel is an allowable surface for the truck storage area and the storage area shall not exceed into the front yard past the front building line.
- The applicant shall comply with the conditions of the Township Engineer's letter dated March 8, 2022.
- The applicant shall comply with the conditions of the Brighton Area Fire Authority Fire Marshal's letter dated March 9, 2022.

The motion carried unanimously.

OPEN PUBLIC HEARING #3...Consideration of a special use application, environmental impact assessment and site plan for a proposed climate-controlled indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road. The request is petitioned by Schafer Construction, Inc.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2-24-22)
- C. Recommendation of Site Plan (2-24-22)

Mr. Dan LeClair of Greentech Engineering and Mr. Matt Vetter of Schafer Construction were present. Mr. LeClair provided a review of the project. They are proposing 325 self-storage units. They had originally proposed outdoor storage on the eastern side of the building; however, that plan has been removed. One of the landscape plans in the packet incorrectly shows that plan, so he asked the Commissioners to disregard it.

In response to comments in the planner's letter, they are proposing to refinish the existing building facade. They would like to keep the materials, but change the colors of the block and wood and replace the glass. It is currently 76 percent block, 6 percent glass, and 17 percent wood with some vertical siding. Mr. Vetter showed proposed colored renderings.

Chairman Grajek questioned if the facade could be changed to appear to be more of different storefronts similar to the other portion of this property.

They are proposing some site improvements; specifically, fencing in the parking lot that is to the east side of the building, replacing the parking lot light fixtures with LED lights, and building a fence around the parking lot to the rear. They are seeking a waiver for the installation of the eight-foot wide sidewalk. They would like to provide a performance guarantee to install the

sidewalk so that it can be installed when sidewalks are installed on either side of them. They would also like to maintain the existing parking lot and not remove any parking spaces. They are not proposing to provide any additional plantings to the rear of the site due to the area being already heavily wooded. They are also asking for a reduction of the side yard and building setback requirements on the west property line.

They will comply with all requirements of the Township Engineer and the Brighton Area Fire Authority fire marshal's requirements.

Mr. Borden reviewed his letter dated March 8, 2022:

1. Section 19.03 General Special Land Use Standards:
 - a. In order to make favorable findings related to compatibility and impacts, the use conditions of Section 7.02.02(z) need to be met to the Commission's satisfaction.
 - b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Section 7.02.02(z) Use Conditions:
 - a. The existing building does not meet the material requirements of Section 12.01; however, Planning Commission may modify these requirements in accordance with Section 12.01.04.
 - b. The applicant should be prepared to present material and color samples and/or a color rendering to the Commission as part of their review.
3. Site Plan Review:
 - a. An 8-foot wide bike path is required along Grand River. The applicant requests to provide a performance guarantee in lieu of pathway construction at this time. This is allowed per the zoning ordinance. Commissioner Mortensen would like the sidewalks to be installed at this time. Chairman Grajek agrees. Commissioner Rauch would like the sidewalks to be put in at the same time as the adjacent property owners, so the money should be held until the adjacent properties are redeveloped.
 - b. Given the amount of parking provided versus that proposed, Planning Commission approval is necessary, per Section 14.02.06. This use only requires approximately 30 parking spaces and there are almost 300 on this site. He agrees to have the Planning Commission allow this as excess parking instead of having the applicant remove it.
 - c. Maximum light pole height is 20 feet, while the plan notes 40 feet. Mr. Vetter agrees to change the light poles to meet the ordinance.
 - d. The landscape plan is deficient in greenbelt and buffer zone plantings; however, existing conditions restrict opportunities for full compliance, and the rear of the site contains an existing wooded area, which is noted by the applicant. The Planning Commission has the authority to modify landscaping requirements.
 - f. The landscape plan depicting mini-storage buildings must be removed from the submittal. The applicant referred to this in their presentation. Commissioner McCreary asked where the carts that customers will use will be stored. Mr. Vetter stated they will be stored in the covered area outside of the building. She asked if the Planning

Commission has a concern with long-term parking of moving vehicles, such as U-Hauls, etc. There was a discussion regarding allowing overnight parking in the proposed gated area to the east of the building. Ms. VanMarter noted that any vehicle parking after 72 hours would be considered outdoor storage, so a time limit would need to be put in place with either signage or in the rental contract.

Ms. Byrne reviewed her letter dated March 7, 2022:

1. Approval should be obtained by the Brighton Area Fire Authority prior to site plan approval. As indicated in their review letter dated February 16, 2022, the existing building may not have adequate hydrant coverage. Drawings that show the existing water main layout are attached for reference. The closest hydrant is in front of 2650 East Grand River Avenue. If an additional fire hydrant is required by the Fire Marshal, water main construction plans will need to be submitted to her office and MHOG Sewer and Water Authority for review and permitting after site plan approval has been obtained from the Township.
2. The proposed access to the existing southeast parking area is over a cross access easement on the adjacent property. This area is proposed to be fenced, thereby eliminating the cross access to the adjacent parcel. A new easement must be obtained consenting to the elimination of the cross access and for the construction of the drive, fencing, and curbing on the adjacent parcel.
3. The Livingston County Health Department has indicated that the existing well on site should be properly abandoned by a registered water well driller. This should be shown on the site plan.
4. Details for the proposed curb and gutter and the proposed asphalt section should be shown on the site plan and should match the details provided in the Genoa Township Engineering Standards.

The Brighton Area Fire Authority Fire Marshal's letter dated March 9, 2022 stated the following:

1. Two-way emergency vehicle access roads shall be a minimum of 26-feet wide. With a width of 26-feet. The perimeter drive around the outside self-storage units shall be a minimum of 26-feet wide. The drive width from the front parking to the side storage lot is not indicated at 26-feet as required. Fire lane signage shall be provided along the building front. Provide a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. (The 26-foot width is the minimum required for two-way access. The access drive width to the storage yard can be accommodated by modification to the existing canopy on the Northeast corner of the building.)
2. Access around the building and storage unit yard shall provide emergency vehicles with a turning radius of 50-feet outside and 30-feet inside. Vehicle circulation shall account for non-emergency traffic and maintain the vehicle within the boundary of lanes of travel. (Provide an emergency vehicle turning template for the storage yard and the front entry parking lot and drives utilizing the apparatus and details at the end of this letter. Entrance drive to the storage area does not meet width and radius

- requirements.).
3. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. The gate to the rear storage yard shall be provided with a Knox Key Switch for control and bypass of the access control of the gate. (The Knox box is reflected on the main building above the FDC, however no detail or acknowledgement is provided for the storage yard access gate as required).
 4. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building.
 5. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Board Member McCreary asked if there will be a sign installed. Mr. Vetter stated they will be installing a sign and will receive the appropriate approvals.

The Planning Commission discussed the proposed facade design and colors. Commissioner Rauch believes this is a substantial improvement to what was there previously, noting that this building has been vacant for approximately seven years.

The call to the public was made at 8:10 p.m. with no response.

Commissioner McBain asked what they are doing with the parking lot and if some additional potted landscaping could be added to the entrance area since the asphalt abuts the cement near the door. Mr. Vetter agreed to add some landscaping near the doorway. They will also be removing and replacing the existing landscape island plantings and pulverizing/re-paving the parking lot.

Moved by Commissioner Rauch, seconded by Commissioner Mortensen, to recommend to the Township Board approval of the Special Use Application for indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road being that the Planning Commission finds the conditions set forth in Section 19.03 are generally met and favorable findings of Section 7.02.02(z) of the Zoning Ordinance. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment dated February 24, 2022 for indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Site Plan dated February 24, 2022 for indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road, with the following conditions:

- All requirements of the Fire Marshal's letter dated March 9, including the need for a hydrant, shall be met.
- All requirements in the Township Engineer's letter dated March 7, 2022 shall be met.
- While not compliant with Section 12.01 of the Zoning Ordinance, the Planning Commission finds the architectural renderings provided this evening to be an acceptable upgrade to what is currently there
- A performance guarantee in an amount to be determined by staff shall be provided prior to land use permit issuance. If the Township is required to install the sidewalk, the applicant shall provide the Township with an easement for its installation.
- The excess parking is found acceptable and the application acknowledges it will be repaved.
- The site lighting standards shall be met, which includes reducing the height of the poles to 20 feet or less.
- The existing outside well will be abandoned per Livingston County Health Department standards.
- The front and side yard buffers are acceptable as is.
- Any change to the cross-access agreement with the adjacent properties must be reviewed and approved by Township staff.
- The site shall be signed to advise that no overnight parking is permitted to exceed the township standards of 72 hours.
- A copy of the rendering presented this evening and the proposed paint colors shall be provided to Township Staff.

The motion carried unanimously.

OPEN PUBLIC HEARING # 5...Consideration of a request for approval of the 2022-2027 Capital Improvement Program as submitted by the Township Manager.

Ms. VanMarter stated the Planning Commission is required to approve the Capital Improvement Program. She reviewed the specific projects, which include road, parks and recreation, pedestrian movement, and facilities and grounds improvements.

Commissioner McBain suggested that improvements be made at the intersection of Latson and Golf Club. She suggested that this should be done before paving Golf Club Road because paving Golf Club Road to Hacker Road will just add more congestion to the dangerous intersection. Commissioner Rauch is pleased to see that the Bauer and Challis Road intersection is a priority. He also suggested improvements to the Bauer and Brighton Road intersection that could add more stacking to help with congestion related to the schools.

September 6, 2022

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Grand River Self Storage – Amendment to an Approved Site Plan (Review #1)
Location:	2630 East Grand River Avenue – south side of Grand River, east of Chilson Road
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the request to amend an approved site plan for a climate-controlled indoor commercial storage business at 2630 East Grand River Avenue (site plan dated 8/22/22).

A. Summary

1. The applicant seeks authorization to not improve the front parking lot, which was a condition of site plan approval.
2. In order to remove a condition of approval, the request must follow the same review process – Planning Commission recommendation to the Township Board.
3. The “potential future lot lines” depicted on the plan do not constitute a compliant GCD lot, so the method of creating a future development site is unclear.
4. There is no indication of the anticipated time-line to create/develop the frontage site.
5. If the request is granted, the front parking lot could remain in poor condition until the frontage site is developed.
6. As an alternative to leaving the front parking lot as-is, the applicant should consider having it removed and sodded with grass/landscaping until a future development occurs.

B. Proposal/Process

In March of 2022, the Planning Commission put forth favorable recommendations to the Township Board on a special land use and site plan to convert the existing building into a climate-controlled indoor commercial storage business.

The recommendation on the site plan was conditional, and one of the conditions was that the parking lot was to be pulverized and repaved.

Later that month, the Township Board granted special land use and site plan approval with the conditions set forth by the Commission.

At this time, the applicant seeks to amend the project by not repaving the front parking lot. It is our understanding that the applicant’s rationale is that they are looking to create and develop a future lot along Grand River Avenue.

Since the applicant seeks to remove a condition asserted by the Township Board, the amended site plan must follow the same review process. As such, the Commission is to review the request and put forth a recommendation to the Township Board on the amended site plan review.

The Board has final approval authority.



Aerial view of site and surroundings (looking south)

C. Amended Site Plan Review

As noted above, the applicant seeks to remove the condition that the entire parking lot be pulverized and repaved so they may pursue a future lot/development along the Grand River frontage.

The remainder of the parking lot tied to the climate-controlled indoor storage business is to be pulverized and repaved.

Our concern with the request is twofold: the “potential future lot lines” depicted on the amended site plan do not constitute a compliant GCD lot and there is no indication of the timing to create/develop this site.

The intent behind the original proposal was to clean up a site that had lapsed into relatively poor condition, including the parking lots. Pulverizing and repaving all of the parking areas was needed to improve the overall site conditions.

If the applicant wishes to avoid the added cost of re-doing the front parking lot, they should provide the Commission with a project timeline to develop this portion of the site. Theoretically, the site’s frontage could remain in poor condition unless/until a development is approved.

Additionally, the manner in which the site’s frontage is redeveloped is an important consideration. If the applicant wishes to pursue a land division, then a newly created lot must provide a minimum width of 150 feet with a minimum area of 1 acre. What is depicted is well short of a compliant lot.

As an alternative to leaving the front of the site as-is, we suggest the applicant consider removing the pavement and replacing it with sod/landscaping.

If the Township is amenable to this approach, it would clean the site up while also saving the applicant the cost of repaving/replacing a parking lot that may not be used for a period of time.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT

A handwritten signature in black ink that reads 'B. V. Borden'.

Brian V. Borden, AICP
Michigan Planning Manager



August 30, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Grand River Self Storage
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Grand River Self Storage site plan last dated August 22, 2022. The plans were prepared by Greentech Engineering, Inc. on behalf of Schafer Construction. The site is located on the south side of Grand River Avenue, east of Chilson Road. The Petitioner is proposing to improve an existing building (formerly "Great Escape") to be used as indoor storage. The proposed improvements include updates to the existing building and minimal improvement to the existing parking lot and access drives. We offer the following comments:

GENERAL

1. Approval should be obtained by the Brighton Area Fire Authority prior to site plan approval. The proposed plan shows an additional hydrant being installed on the northwest side of the building. It is our understanding that this will satisfy the fire department for hydrant coverage.
2. The proposed access to the existing southeast parking area has been revised to not infringe on the adjacent parcel. Additional paving and curbing is proposed on the petitioner parcel to create the access drive.
3. The Livingston County Health Department has indicated that the existing well on site should be properly abandoned by a registered water well driller. A note stating the well abandonment has been added to the site plan.

DRAINAGE AND GRADING

1. The proposed improvements slightly decrease the impervious surface of the site, and no additional detention should need to be provided as part of the improvements.

It appears the site plan has been revised to address our comments from our previous letters. Therefore we have no engineering related objections to the plan approval.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary J. Markstrom'.

Gary J. Markstrom, P.E.
Vice President



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

September 7, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Grand River Self Storage
2630 E. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 29, 2022 and the drawings are dated August 22, 2022. The previously approved site plan has been revised to remove the pulverize and pave from the front parking lot. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

The fire authority has no opposition to the proposed elimination of the parking lot surface improvement at the front of the building.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

BENCHMARKS:

SITE BM #1
RAILROAD SPIKE, SOUTH FACE OF UTILITY POLE ALONG THE EAST PROPERTY LINE OF #2630 E. GRAND RIVER AVENUE, 192± SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 963.72 N.A.V.D.88

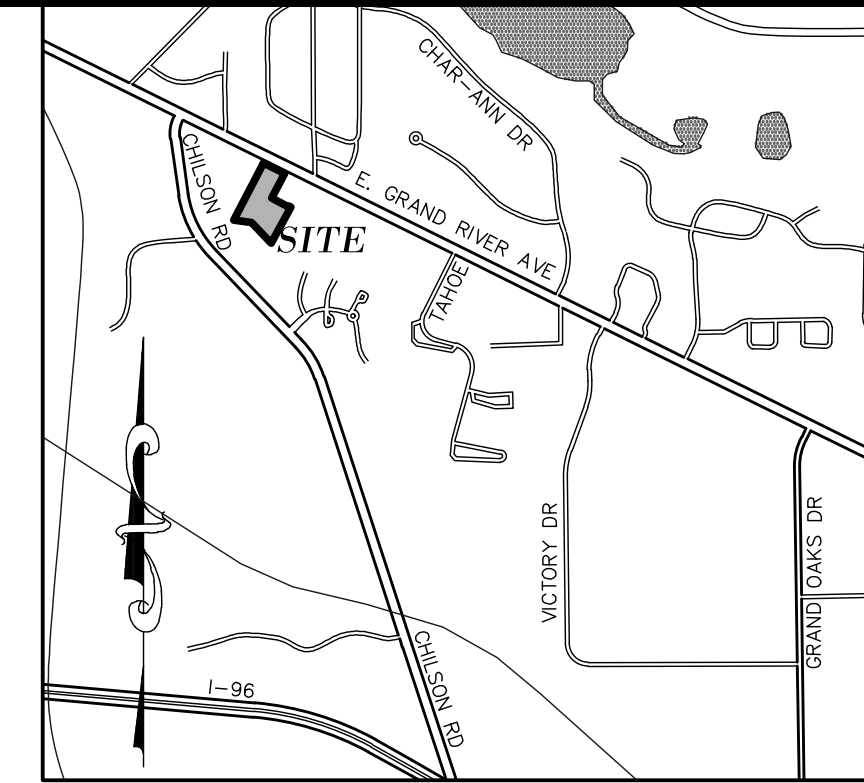
CONSTRUCTION PLANS

for

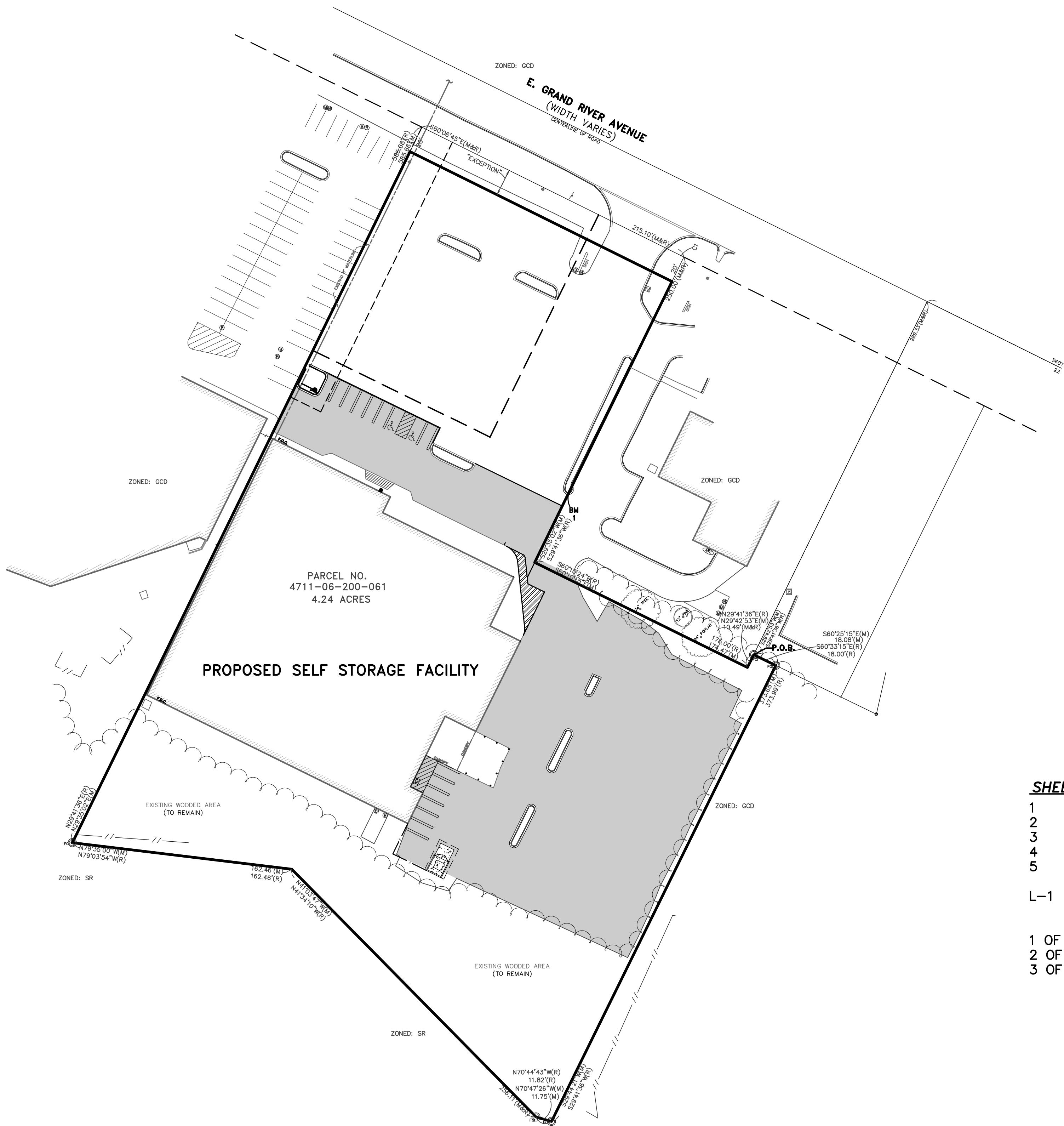
GRAND RIVER SELF STORAGE

2630 GRAND RIVER AVENUE

GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



GREENTECH ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
51147 Pontiac Trail, Wixom, MI 48393
Phone: (248) 668-0700 Fax: (248) 668-0701



GENERAL NOTES:

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF GENOA TOWNSHIP.
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- 3. CONTRACTOR TO OBTAIN ALL REQUIRED APPROVALS AND PERMITS PRIOR TO THE START OF CONSTRUCTION.

DESCRIPTION: PARCEL #4711-06-200-061 (BY OTHERS)

PART OF THE NORTHEAST 1/4 OF SECTION 6, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE N02°17'07"E 594.63 FEET TO THE CENTERLINE OF GRAND RIVER AVENUE THENCE N60°39'00"W ALONG SAID CENTERLINE 2381.67 FEET; THENCE CONTINUING ALONG SAID CENTERLINE N60°06'45"W 224.71 FEET; THENCE S29°41'36"W 289.33 FEET TO THE POINT OF BEGINNING; THENCE S60°33'15"E 18.00 FEET; THENCE S29°41'36"W 373.99 FEET; THENCE N70°44'43"W 11.82 FEET; THENCE N41°34'10"W 256.11 FEET; THENCE N79°03'54"W 162.46 FEET; THENCE N29°41'36"E 586.58 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF GRAND RIVER AVENUE; THENCE ALONG SAID RIGHT-OF-WAY S60°06'45"E 211.40 FEET; THENCE CONTINUING ALONG RIGHT-OF-WAY ALONG THE ARC OF A CURVE LEFT CHORD BEARING S60°06'50"E 3.60 FEET; THENCE S29°41'36"W 250.00 FEET; THENCE S60°10'24"E 175.00 FEET; THENCE N29°41'36"E 10.49 FEET TO THE POINT OF BEGINNING, CONTAINING 4.24 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD, SPLIT FROM 019 EXCEPTING THE NORTHEASTERLY 20 FEET AND PARALLEL TO GRAND RIVER, AS DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CORR 3/2014.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SHEET INDEX:

- 1 COVER SHEET
 - 2 DIMENSION & PAVING PLAN
 - 3 EXISTING CONDITIONS & DEMOLITION PLAN
 - 4 GRADING & SESC PLAN
 - 5 SITE DETAILS
- L-1 LANDSCAPE PLAN
PHOTOMETRIC PLAN
- 1 OF 3 M.H.O.G. SEWER AND WATER AUTHORITY STANDARD DETAILS
 - 2 OF 3 M.H.O.G. SEWER AND WATER AUTHORITY STANDARD DETAILS
 - 3 OF 3 M.H.O.G. SEWER AND WATER AUTHORITY STANDARD DETAILS

OWNER:

AARON AMUCHASTEGUIAJCSV, LLC
8616 MENDOCINO DRIVE
AUSTIN, TX 78735
PHONE: (805)-904-8369

APPLICANT:

SCHAFER CONSTRUCTION
150 N. FIRST STREET, SUITE 100
BRIGHTON, MI 48393
CONTACT: MATT VETTER
PHONE: (810) 220-0296

ENGINEER/SURVEYOR:

GREENTECH ENGINEERING, INC.
51147 PONTIAC TRAIL
WIXOM, MI 48393
CONTACT: DAN LECLAIR, P.E.
(248) 668-0700

CLIENT: SCHAFER CONSTRUCTION
COVER SHEET
2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E
CHARTER TOWNSHIP OF GENOA
LIVINGSTON COUNTY
MICHIGAN

REVISED

SEAL
STATE OF MICHIGAN
DANIEL J. LECLAIR
ENGINEER
No. 10475
Professional Seal

DATE: 8-22-2022
DRAWN BY: RMS
CHECKED BY: DJL

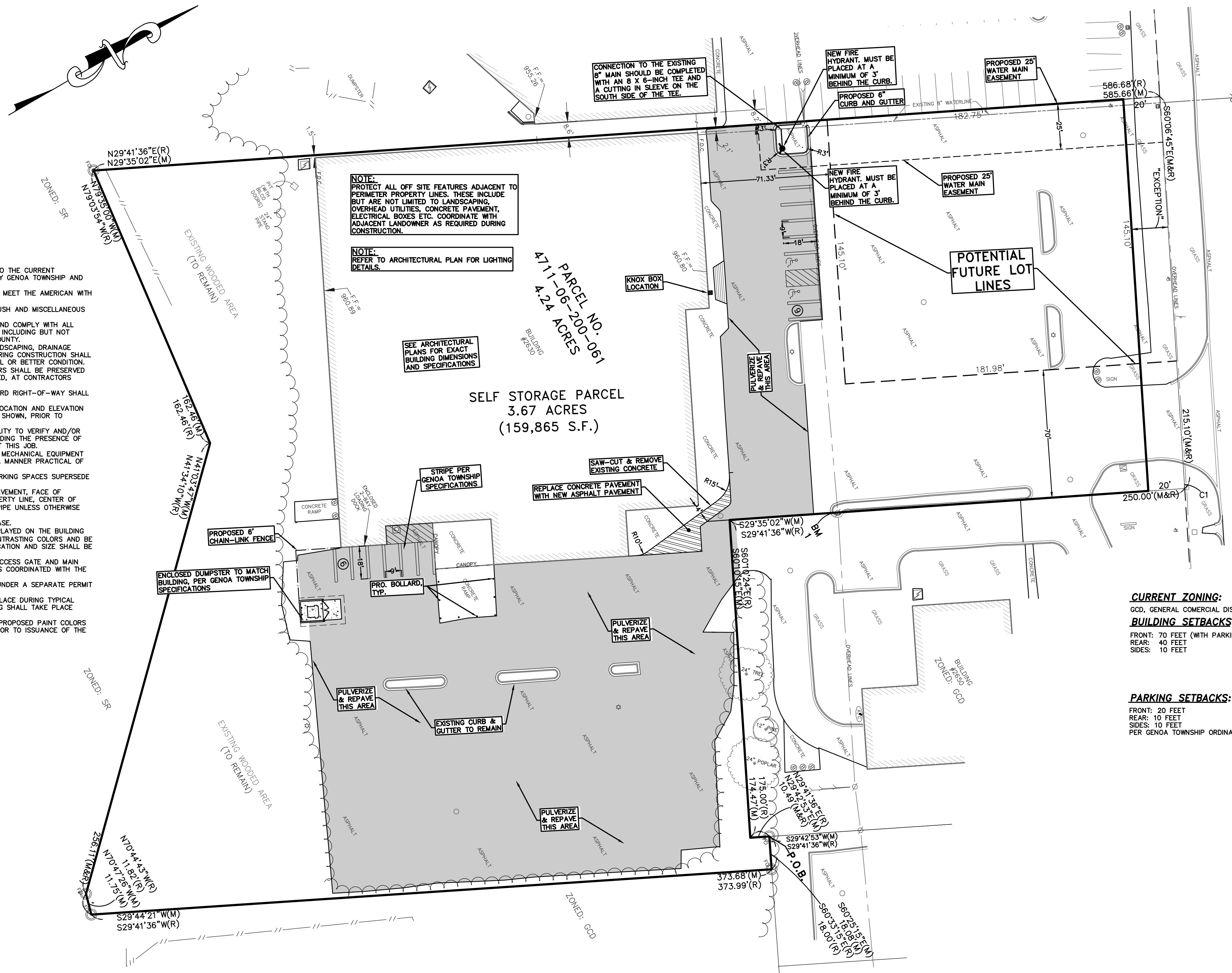
0 25 50

FBK: ---
CHF: MM

SCALE: HOR 1"=50 FT.
VER 1"=-- FT.

1
21-315





GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY GENOA TOWNSHIP AND LIVINGSTON COUNTY.
- ALL SIDEWALK, RAMPS, AND LANDINGS, MUST MEET THE AMERICAN WITH DISABILITIES ACT (ADA) REQUIREMENTS.
- DISPOSE OF ALL TREES TO BE REMOVED, BRUSH AND MISCELLANEOUS DEBRIS LEGALLY OFF SITE.
- THE CONTRACTOR SHALL PAY FOR, OBTAIN AND COMPLY WITH ALL PERMITS NECESSARY FROM PUBLIC AGENCIES INCLUDING BUT NOT LIMITED TO GENOA TOWNSHIP, LIVINGSTON COUNTY.
- ALL PAVEMENT, DRIVEWAYS, SHOULDERS, LANDSCAPING, DRAINAGE PIPES, MAILBOXES, SIGNS, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO EQUAL OR BETTER CONDITION.
- EXISTING MONUMENTS AND PROPERTY CORNERS SHALL BE PRESERVED AND PROTECTED, AND RESTORED IF DISTURBED, AT CONTRACTORS EXPENSE.
- NO WORK WITHIN THE GRAND RIVER BOULEVARD RIGHT-OF-WAY SHALL TAKE PLACE.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN, PRIOR TO CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- ALL GROUND, BUILDING, AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN A MANNER PRACTICAL OF THE SITE.
- STATE REQUIREMENTS FOR BARRIER FREE PARKING SPACES SUPERSEDE ANY TOWNSHIP REQUIREMENTS.
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE COMPLETED IN ONE PHASE.
- THE ADDRESS OF THE BUILDING WILL BE DISPLAYED ON THE BUILDING AND A MINIMUM OF 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- A KNOX BOX SHALL BE INSTALLED AT THE ACCESS GATE AND MAIN ENTRY DOOR OR AT OTHER ENTRY POINTS AS COORDINATED WITH THE BRIGHTON AREA FIRE AUTHORITY.
- THE MONUMENT SIGN MAY BE APPLIED FOR UNDER A SEPARATE PERMIT FROM THIS PLAN SUBMITTAL.
- ALL LOADING AND UNLOADING SHALL TAKE PLACE DURING TYPICAL BUSINESS HOURS. NO LOADING OR UNLOADING SHALL TAKE PLACE OUTSIDE OF THE GATED AREAS.
- A HARD COPY OF THE RENDERING AND THE PROPOSED PAINT COLORS SHALL BE PROVIDED TO TOWNSHIP STAFF PRIOR TO ISSUANCE OF THE LAND USE PERMIT.

NOTE:
PROTECT ALL OFF SITE FEATURES ADJACENT TO PERIMETER PROPERTY LINES. THESE INCLUDE BUT ARE NOT LIMITED TO LANDSCAPING, OVERHEAD UTILITIES, CONCRETE PAVEMENT, ELECTRICAL BOXES ETC. COORDINATE WITH ADJACENT LANDOWNER AS REQUIRED DURING CONSTRUCTION.

NOTE:
REFER TO ARCHITECTURAL PLAN FOR LIGHTING DETAILS.

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND SPECIFICATIONS

FLOOD HAZARD STATEMENT:

THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE X FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26093C0307D (COMMUNITY ID NO. 260843 - TOWNSHIP OF GENOA, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. THIS STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. ZONE "X" INDICATES AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

CURRENT ZONING:

GCD, GENERAL COMMERCIAL DISTRICT

BUILDING SETBACKS:

FRONT: 70 FEET (WITH PARKING IN FRONT)
REAR: 40 FEET
SIDES: 10 FEET

PARKING SETBACKS:

FRONT: 20 FEET
REAR: 10 FEET
SIDES: 10 FEET
PER GENOA TOWNSHIP ORDINANCE

HATCH LEGEND

- ASPHALT
- CONCRETE
- PROPOSED BUILDING
- EXISTING BUILDING

UTILITY NOTE

NO CHANGES TO THE EXISTING SANITARY SEWER, STORM SEWER OR WATER MAIN INFRASTRUCTURE ARE ANTICIPATED AS PART OF THE PROPOSED DEVELOPMENT.

SIGNAGE NOTE

MONUMENT SIGN AND BUILDING SIGNAGE WILL BE REQUESTED VIA A SEPARATE SIGNAGE APPLICATION AND PER THE GENOA TOWNSHIP SIGN ORDINANCE.

WELL NOTE

CONTRACTOR TO COORDINATE, LOCATE & ABANDON THE EXISTING WELL PER THE LIVINGSTON COUNTY HEALTH DEPARTMENT REQUIREMENTS

GRADING LIMITS NOTE

THE LIMITS OF GRADING ARE THE SHADED AREA

KNOX BOX NOTE

KNOX BOX LOCATION TO BE COORDINATED WITH THE BRIGHTON AREA FIRE AUTHORITY. THE KNOX BOX FOR THE REAR ACCESS GATE SHALL INCLUDE A KEY SWITCH FOR CONTROL & BYPASS OF THE ACCESS CONTROL OF THE GATE.

NOTE

THE OWNER ELECTED TO ESCROW MONEY WITH THE TOWNSHIP FOR CONSTRUCTION OF AN 8' WIDE BIKE PATH IN LEIU OF CONSTRUCTION OF THE BIKE PATH ALONG THE GRAND RIVER FRONTAGE.

WATER MAIN NOTES

WATER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT MARION, HOWELL, OCEOLA AND GENOA (MHOOG) DESIGN STANDARDS AND SPECIFICATIONS.

THE EXISTING 8-INCH FIRE SUPPRESSION LINE WILL NEED TO BE PRESSURE TESTED, FLUSHED, AND BAC-T TESTED PRIOR TO THE HYDRANT BEING PLACED IN SERVICE.

LOT COVERAGE CALCULATION

EXISTING
EXISTING BUILDING AREA: 43,555 SF
TOTAL BUILDING AREA: 43,555 SF
TOTAL SITE AREA: 183,844 SF
EXISTING LOT COVERAGE AREA: 43,555 / 183,844 = 23.7 %
MAXIMUM LOT COVERAGE AREA ALLOWED: 35%

IMPERVIOUS CALCULATION

EXISTING
BUILDING AREA: 43,555 SF
SIDEWALK & PARKING AREA: 93,181 SF
TOTAL EXISTING IMPERVIOUS AREA: 136,736 SF
TOTAL SITE AREA: 183,844 SF
EXISTING IMPERVIOUS AREA: 136,736 / 183,844 = 74.5 %
MAXIMUM IMPERVIOUS AREA ALLOWED: 75%

PROPOSED

BUILDING AREA: 43,555 SF
SIDEWALK & PARKING AREA: 91,181 SF
TOTAL EXISTING IMPERVIOUS AREA: 134,736 SF
TOTAL SITE AREA: 183,844 SF
EXISTING IMPERVIOUS AREA: 134,736 / 183,844 = 73.3 %

NOTE

THE POST DEVELOPMENT IMPERVIOUS AREA (73.3%) IS LESS THAN THE PRE-DEVELOPMENT IMPERVIOUS AREA (74.5%) THEREFORE NO NEW IMPROVEMENTS TO THE EXISTING STORMWATER MANAGEMENT SYSTEM ARE PROPOSED

RESIDENTIAL
Site Consultation
Initial Plans
COMMERCIAL
Site Planning
Site Preparation
Industrial & Multi-Unit
Land Surveying
SURVEYING
Boundary Surveys
Topographic Surveys
Parcel Splitways
Construction Staking

GREENTECH
ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
51147 Porticoe Trail, Wixom, MI 48393
Phone: (248) 868-0700 Fax: (248) 868-0701



SCHAFFER CONSTRUCTION
DIMENSION & PAVING PLAN
2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E.
CHARTER TOWNSHIP OF GENOA
LIVINGSTON COUNTY
MICHIGAN

CLIENT:	REVISION:
DATE: 8-22-2022	
DRAWN BY: RMS	
CHECKED BY: DJL	
FBK: ---	
CHP: MM	
SCALE: HOR 1"=30 FT. VER 1"= 10 FT.	21-315

BENCHMARKS:

SITE BM #1
RAILROAD SPIKE, SOUTH FACE OF UTILITY POLE ALONG THE EAST PROPERTY LINE OF #2630 E. GRAND RIVER AVENUE, 192'± SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 963.72 N.A.V.D.88

SURVEY LEGEND

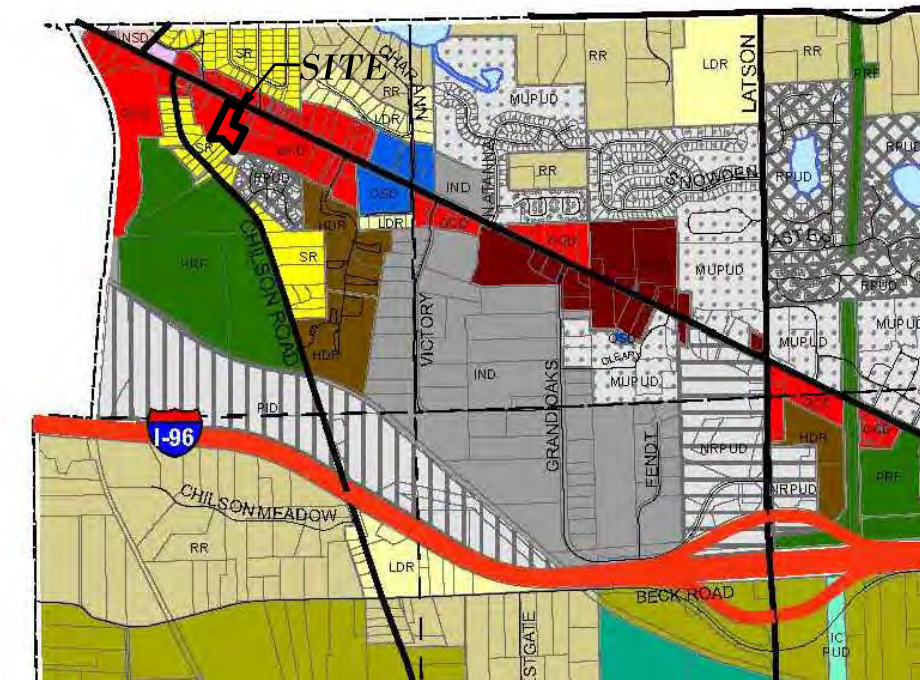
- EX. SECTION CORNER
- FIB/FCI/FIP/MON
- EX. MAILBOX
- EX. SOIL BORE
- EX. SIGN
- EX. FIBER MARKER
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. HYDRANT
- EX. GATE VALVE & WELL
- EX. WATER SHUT-OFF
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. PEDISTAL
- EX. HAND HOLE
- EX. UTILITY FLAG
- EX. COMMUNICATIONS
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. WATER MAIN
- EX. OVERHEAD UTILITIES
- EX. FENCE
- EX. SWALE
- WETLAND BOUNDARY
- 590- CONTOUR MAJOR
- 591- CONTOUR MINOR
- EX. ZONING
- EX. TREELINE
- EX. CONIFEROUS
- EX. DECIDUOUS

FLOOD HAZARD STATEMENT:

THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE X FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26093C0307D (COMMUNITY ID NO. 260843 - TOWNSHIP OF GENOA, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. THIS STATEMENT IS BASED ON THE RESULTS OF AERIAL PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. ZONE "X" INDICATES AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DEMOLITION LEGEND:

- CURB REMOVAL
- ASPHALT REMOVAL
- CONCRETE PAVEMENT AND SIDEWALK/BRICK REMOVAL



Zoning Map
Genoa Charter Township
Livingston County, Michigan

- Legend**
- AG
 - CE
 - RR
 - LDR
 - SR
 - LRR
 - UR
 - MDR
 - HDR
 - RPUD
 - MHP
 - RC
 - GC
 - NS
 - OS
 - NRPUD
 - IND
 - PID
 - PRF
 - MUPUD
 - RDPUD
 - Town Center
 - CAPUD
 - ICPUD

NOTE:

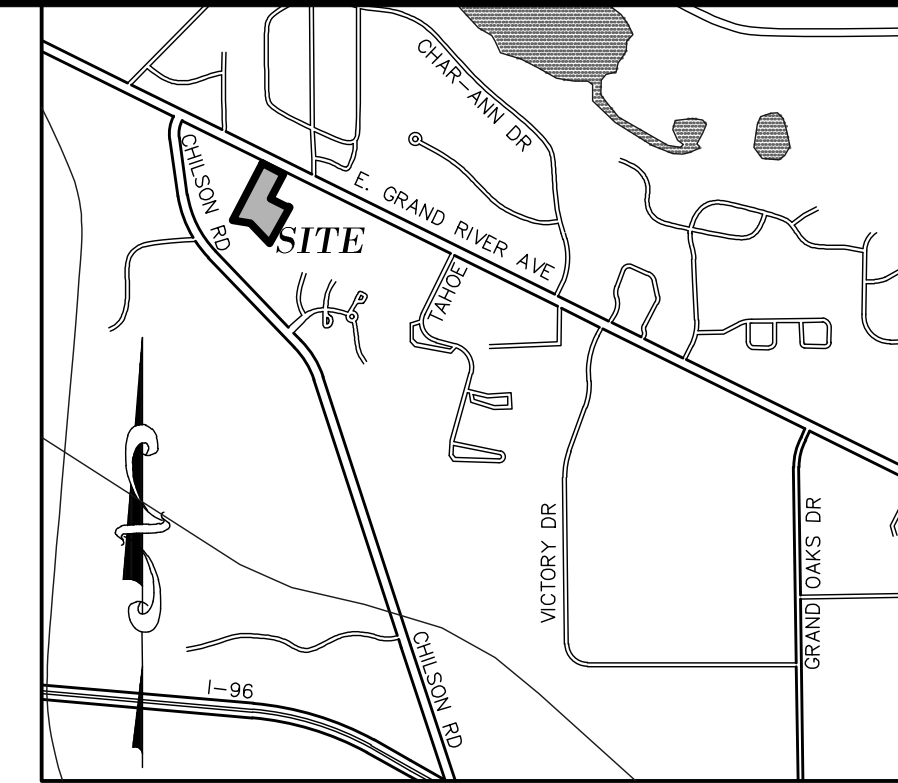
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



NOTE:
PROTECT ALL OFF SITE FEATURES ADJACENT TO PERIMETER PROPERTY LINES. THESE INCLUDE BUT ARE NOT LIMITED TO LANDSCAPING, OVERHEAD UTILITIES, CONCRETE PAVEMENT, ELECTRICAL BOXES ETC. COORDINATE WITH ADJACENT LANDOWNER AS REQUIRED DURING CONSTRUCTION.

CAUTION!!!
UNDERGROUND UTILITIES PRESENT WITHIN INFLUENCE OF WORK AREA. LOCATE AND PROTECT DURING CONSTRUCTION.

PARCEL NO. 061
4.24 ACRES



ZONED: GCD
E. GRAND RIVER AVENUE
(WIDTH VARIES)
CENTRELINE OF ROAD

DEMOLITION NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION, AS APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY MISS DIG, GENOA TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

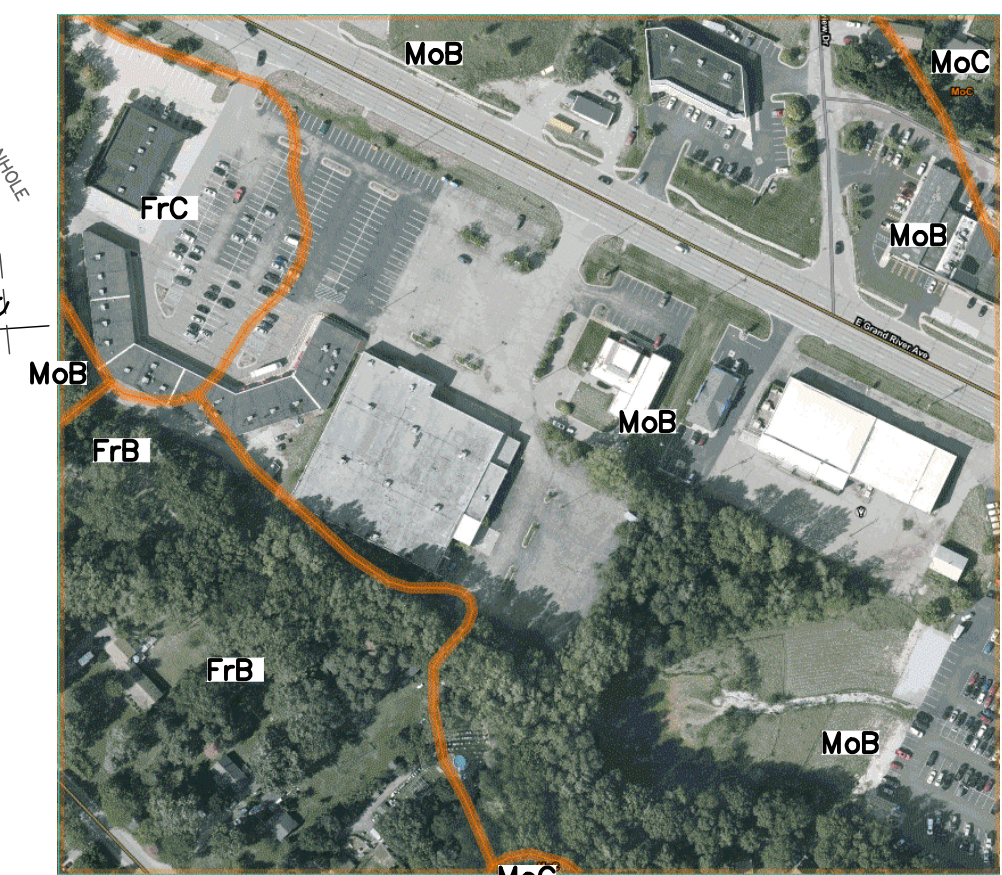


CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	3.60'	85,993.70'	00°00'09"	S60°06'50"E 3.60'

DESCRIPTION: PARCEL #4711-06-200-061 (BY OTHERS)

PART OF THE NORTHEAST 1/4 OF SECTION 6, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE N02°17'07"E 594.63 FEET TO THE CENTERLINE OF GRAND RIVER AVENUE THENCE N60°39'00"W ALONG SAID CENTERLINE 2381.67 FEET; THENCE CONTINUING ALONG SAID CENTERLINE N60°06'45"W 224.71 FEET; THENCE S29°41'36"W 289.33 FEET TO THE POINT OF BEGINNING; THENCE S60°33'15"E 18.00 FEET; THENCE S29°41'36"W 373.99 FEET; THENCE N70°44'43"W 11.82 FEET; THENCE N41°34'10"W 256.11 FEET; THENCE N79°03'54"W 162.46 FEET; THENCE N29°41'36"E 586.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF GRAND RIVER AVENUE; THENCE ALONG SAID RIGHT-OF-WAY S60°06'45"E 211.40 FEET; THENCE CONTINUING ALONG RIGHT-OF-WAY ALONG THE ARC OF A CURVE LEFT CHORD BEARING S60°06'50"E 3.60 FEET; THENCE S29°41'36"W 250.00 FEET; THENCE S60°10'24"E 175.00 FEET; THENCE N29°41'36"E 10.49 FEET TO THE POINT OF BEGINNING, CONTAINING 4.24 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD. SPLIT FROM D19 EXCEPTING THE NORTHEASTERLY 20 FEET AND PARALLEL TO GRAND RIVER, AS DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CORR 3/2014.



Livingston County, Michigan (MI093)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FrB	Fox-Boyer complex, 2 to 6 percent slopes	5.7	19.4%
Frc	Fox-Boyer complex, 6 to 12 percent slopes	2.6	8.9%
MoB	Wawasee loam, 2 to 6 percent slopes	20.6	70.0%
MoC	Wawasee loam, 6 to 12 percent slopes	0.5	1.8%
Totals for Area of Interest		29.5	100.0%

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EXISTING CONDITIONS & DEMOLITION PLAN
2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E
LIVINGSTON COUNTY MICHIGAN

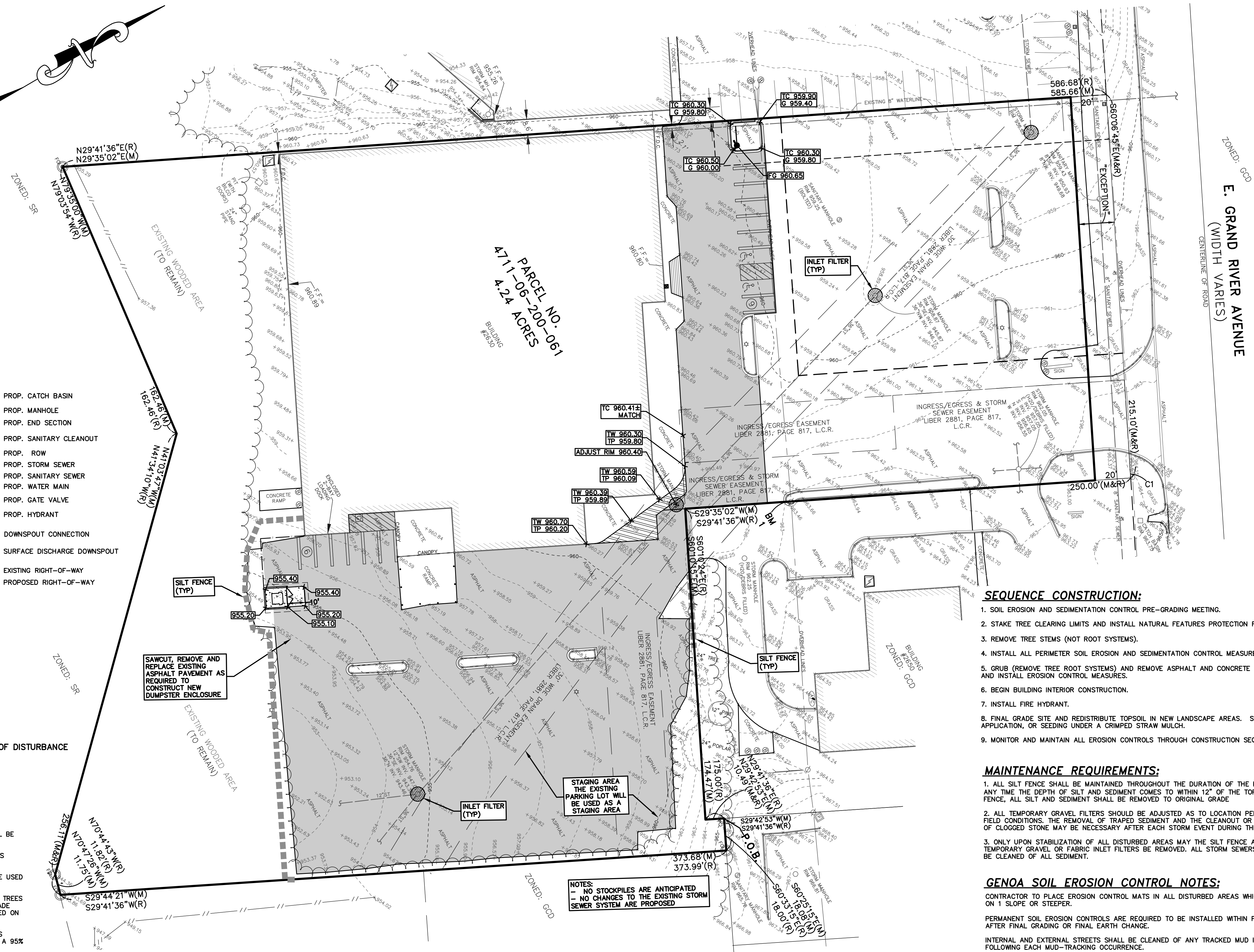
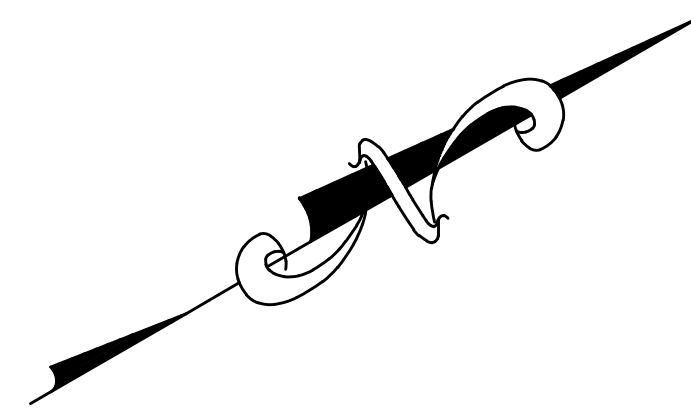
CLIENT: SCHAFER CONSTRUCTION

REVISED

DATE: 8-22-2022
DRAWN BY: RMS
CHECKED BY: DJL

FBK: ---
CHF: MM
SCALE: HOR 1"=30.0 FT.
VER 1"=30.0 FT.

3
21-315



LEGEND

- EXISTING STORM
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING GAS
- FD. IRON PIPE/ROD
- UTILITY POLE
- EX. MANHOLE
- EX. CATCH BASIN
- EX. CLEAN OUT
- EX. HYDRANT
- EX. WATER SHUTOFF
- EX. LIGHT POLE
- EX. END SECTION
- EX. SIGN
- PROP. CATCH BASIN
- PROP. MANHOLE
- ▲ PROP. END SECTION
- PROP. SANITARY CLEANOUT
- PROP. ROW
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- PROP. GATE VALVE
- PROP. HYDRANT
- DOWNSPOUT CONNECTION
- SURFACE DISCHARGE DOWNSPOUT
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY

GRADING AND DRAINAGE LEGEND:

- 725.00 PROPOSED SPOT GRADE ELEVATION
- TP = TOP OF PAVEMENT
- TW = TOP OF WALK
- TC = TOP OF CURB
- G = GUTTER
- FG = FINISH GRADE
- FF = FINISH FLOOR
- OVERLAND FLOW DIRECTION

SOIL EROSION LEGEND

- INLET FILTER
- SILT FENCE/LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE

TOTAL AREA OF DISTURBANCE = 8,000 S.F. (0.18 AC±)

GRADING NOTES

1. SUBGRADE PREPARATION FOR PAVEMENT AND UTILITIES SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER.
2. ACCEPTABLE MATERIAL FROM UNDERCUTTING MAY BE USED AS ENGINEERED FILL AS APPROVED BY SOILS ENGINEER.
3. CONTRACTOR SHALL TEMPORARILY STOCKPILE TOP SOIL TO BE USED FOR FINAL GRADING.
4. REMOVE ANY EXISTING TOPSOIL, ORGANIC SOILS, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREES SHOULD BE COMPLETELY REMOVED, AS INDICATED ON THESE PLANS.
5. THE TOP 12 INCHES OF THE EXPOSED SUBGRADE AS WELL AS INDIVIDUAL FILL LAYERS SHOULD BE COMPACTED TO ACHIEVE A 95% COMPACTION LEVEL. (MODIFIED PROCTOR - ASTM D1557).
6. THE FINAL SUBGRADE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CAN NOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
7. THE AGGREGATE BASE SHOULD BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL. (MODIFIED PROCTOR - ASTM D1557). THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
8. ALL BITUMINOUS MATERIAL SHOULD BE COMPACTED TO A DENSITY OF 97% OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
9. SAWCUT AND REMOVE EXISTING CURBS AND PAVEMENT AS NECESSARY FOR CONSTRUCTION.
10. FIELD VERIFY EXISTING PAVEMENT AND CURB ELEVATIONS WHERE PROPOSED PAVEMENT AND CURB MEETS EXISTING PAVEMENT AND CURB PRIOR TO CONSTRUCTION. PAVING CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE 1% MINIMUM PAVEMENT SLOPE IS ACHIEVED AND SHALL CONTACT DESIGN ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT IS APPARENT.
11. ADJUST ALL MANHOLE COVERS AS REQUIRED TO MATCH FINAL GRADES AND PROVIDE POSITIVE DRAINAGE.
12. NO GRADING TO TAKE PLACE ON ADJACENT PROPERTIES
13. ALL SIDEWALKS TO BE ADA COMPLIANT.
14. ALL SPOT GRADES SHOWN ON THIS PLANS ARE PROPOSED TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

GENERAL UTILITY NOTES

1. ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF GENOA TOWNSHIP.
2. MAINTENANCE OF THE STORMWATER RETENTION FACILITIES WILL BE THE RESPONSIBILITY OF THE OWNER.
3. REVIEWS AND APPROVAL OF THE STORM SEWER SYSTEM BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER AND GENOA TOWNSHIP.
4. NO CHANGES TO THE SANITARY SYSTEM ARE PROPOSED.
5. CALL MISS DIG 72 HOURS PRIOR TO ANY EXCAVATION ON THE SITE.
6. ALL FOOTING LEADS TO BE CONNECTED TO THE ON-SITE STORM SYSTEM.
7. THE PROPOSED BUILDING HAS AN EXISTING FIRE SUPPRESSION SYSTEM INSTALLED.

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTES:
- NO STOCKPILES ARE ANTICIPATED
- NO CHANGES TO THE EXISTING STORM SEWER SYSTEM ARE PROPOSED

SEQUENCE CONSTRUCTION:

1. SOIL EROSION AND SEDIMENTATION CONTROL PRE-GRADING MEETING.
2. STAKE TREE CLEARING LIMITS AND INSTALL NATURAL FEATURES PROTECTION FENCING.
3. REMOVE TREE STEMS (NOT ROOT SYSTEMS).
4. INSTALL ALL PERIMETER SOIL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING MUD TRACKING SURFACES.
5. GRUB (REMOVE TREE ROOT SYSTEMS) AND REMOVE ASPHALT AND CONCRETE PAVEMENT & INSTALL NEW CURB AND PAVEMENT PER PLAN AND INSTALL EROSION CONTROL MEASURES.
6. BEGIN BUILDING INTERIOR CONSTRUCTION.
7. INSTALL FIRE HYDRANT.
8. FINAL GRADE SITE AND REDISTRIBUTE TOPSOIL IN NEW LANDSCAPE AREAS. STABILIZE ALL DISTURBED WITH SOD, HYDROSEED APPLICATION, OR SEEDING UNDER A CRIMPED STRAW MULCH.
9. MONITOR AND MAINTAIN ALL EROSION CONTROLS THROUGH CONSTRUCTION SEQUENCE.

MAINTENANCE REQUIREMENTS:

1. ALL SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 12" OF THE TOP OF ANY SILT FENCE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.
2. ALL TEMPORARY GRAVEL FILTERS SHOULD BE ADJUSTED AS TO LOCATION PER ACTUAL FIELD CONDITIONS. THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STONE MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
3. ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE SILT FENCE AND TEMPORARY GRAVEL OR FABRIC INLET FILTERS BE REMOVED. ALL STORM SEWERS MUST ALSO BE CLEANED OF ALL SEDIMENT.

GENOA SOIL EROSION CONTROL NOTES:

CONTRACTOR TO PLACE EROSION CONTROL MATS IN ALL DISTURBED AREAS WHICH HAVE A 3 ON 1 SLOPE OR STEEPER.

PERMANENT SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED WITHIN FIVE (5) DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGE.

INTERNAL AND EXTERNAL STREETS SHALL BE CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.

PRELIMINARY APPROVAL OF THE THE STORMWATER MANAGEMENT PLANS WILL BE REQUIRED BY GENOA TOWNSHIP.

ALL TOPSOIL OR SOIL STORAGE AREAS ARE REQUIRED TO BE TEMPORARILY STABILIZED AND SHALL BE SEEDED AND MULCHED, OR MATTED WITH STRAW, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.

HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% ON SLOPES OVER 1%. STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER, OR STRAW BLANKETS PEGGED IN PLACE.

STRAW MULCH IS TO BE 3 INCHES IN DEPTH, 1.5 TO 2 TONS PER ACRE. ALL MULCH MUST HAVE A TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.

FERTILIZER IS TO BE SPREAD 150 LBS. PER ACRE.

GRASS SEED IS TO BE SPREAD 210 LBS. PER ACRE.

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CLIENT: SCHAFFER CONSTRUCTION
GRADING & SECC PLAN
 2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061
 SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E.
 CHARTER TOWNSHIP OF GENOA
 LIVINGSTON COUNTY
 MICHIGAN

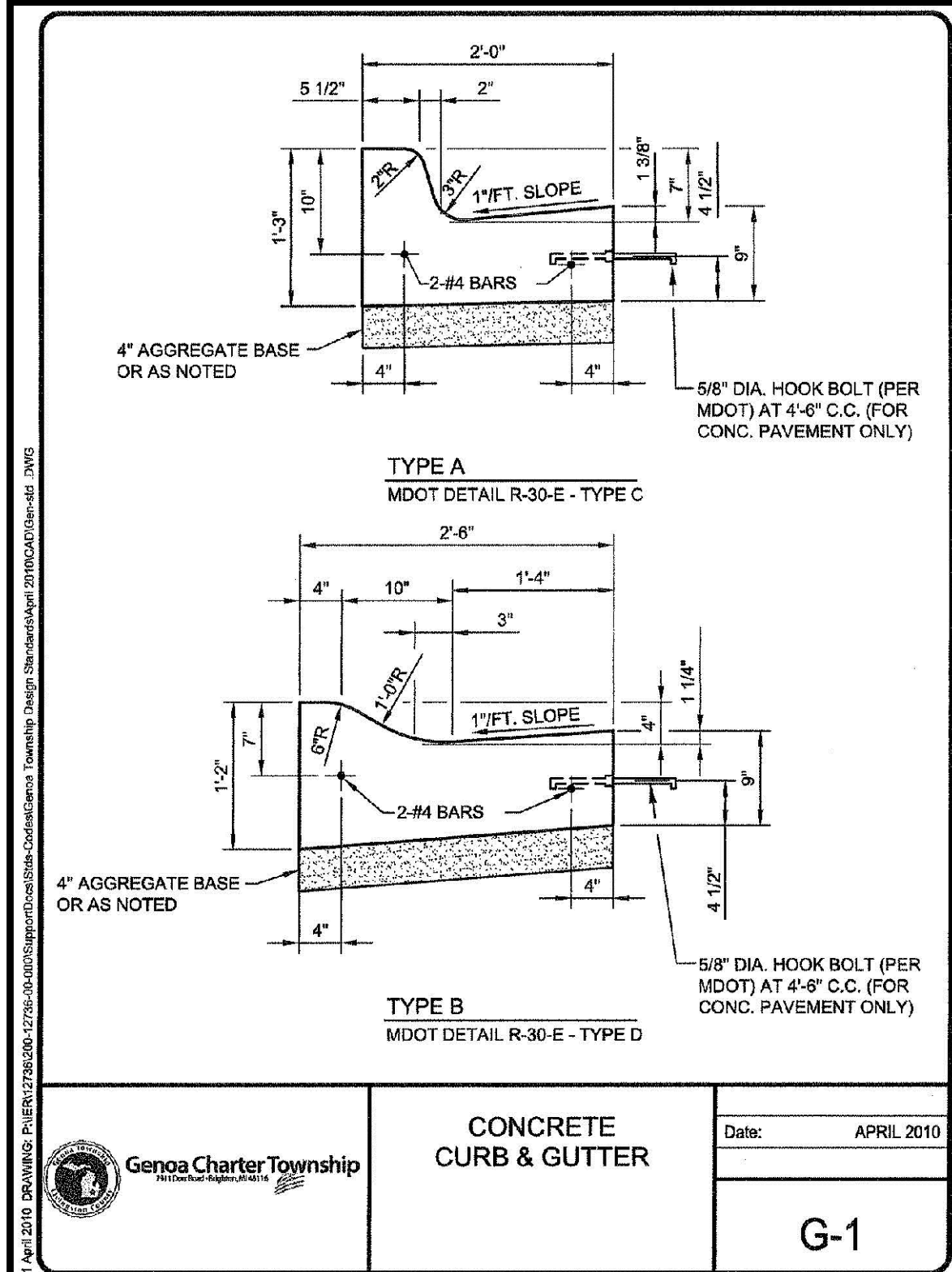
REVISED

DATE: 8-22-2022
 DRAWN BY: RMS
 CHECKED BY: DJL

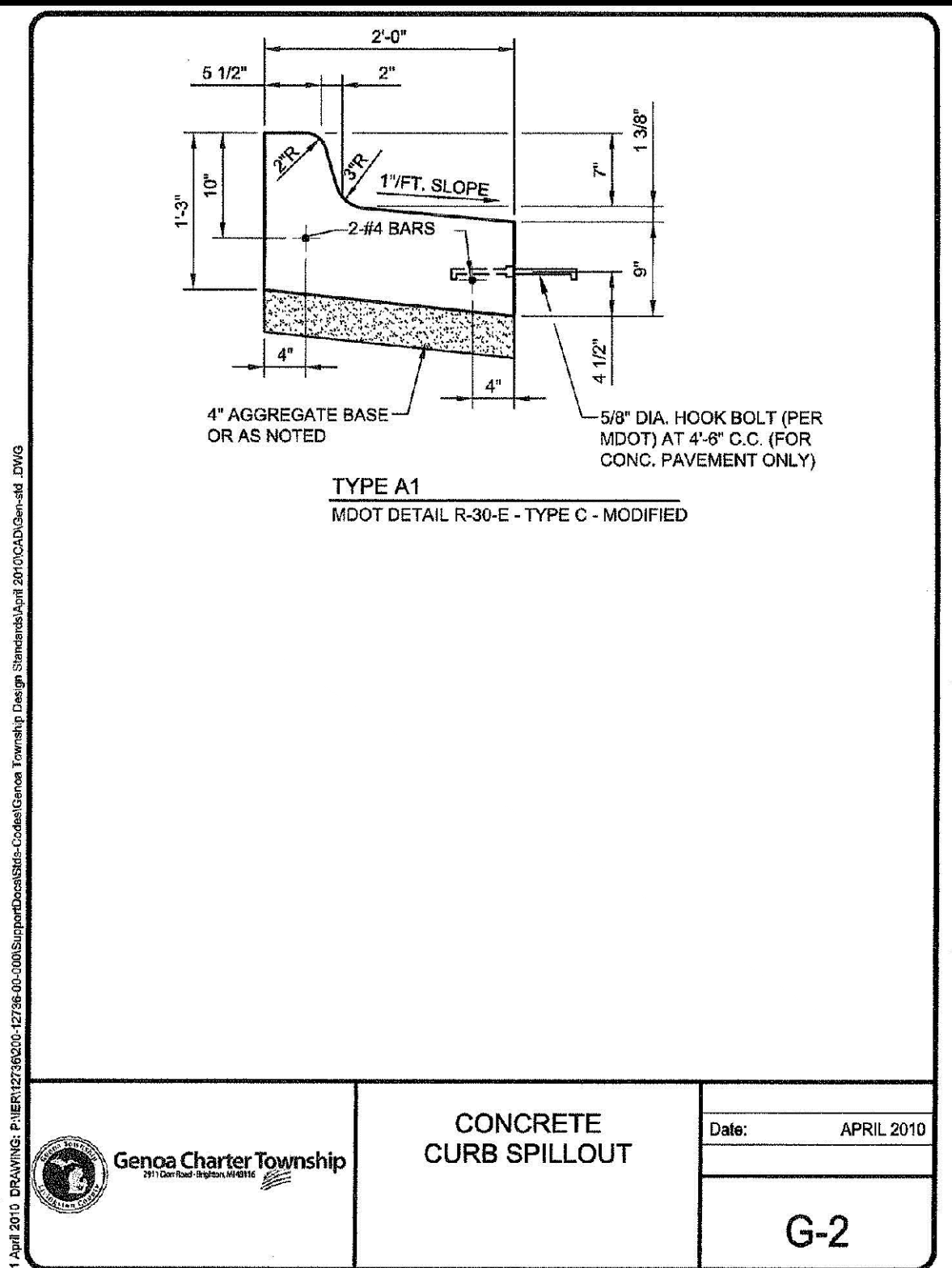
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 SCALE: HOR 1"=30 FT.
 VER 1"= 4 FT.

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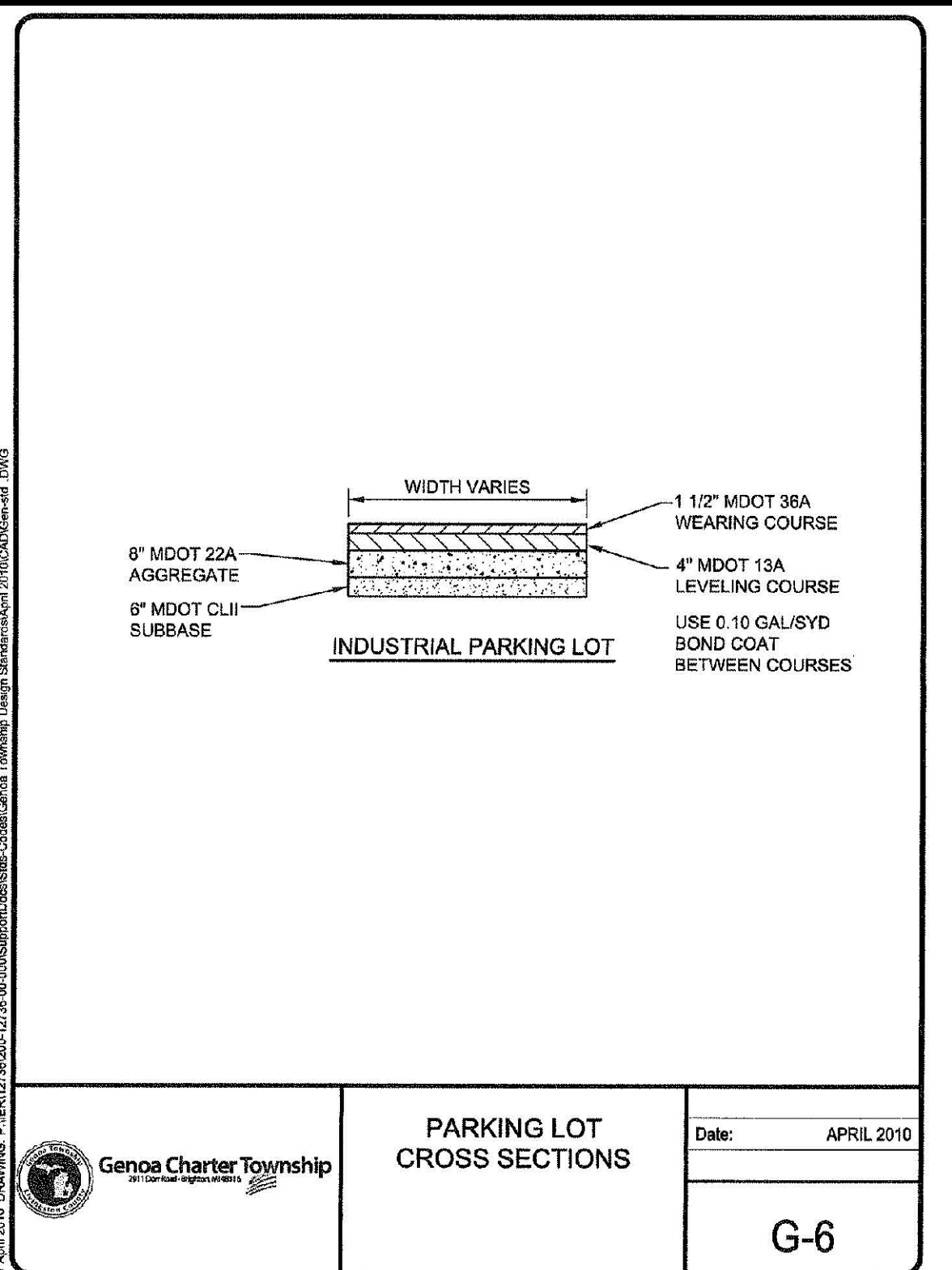
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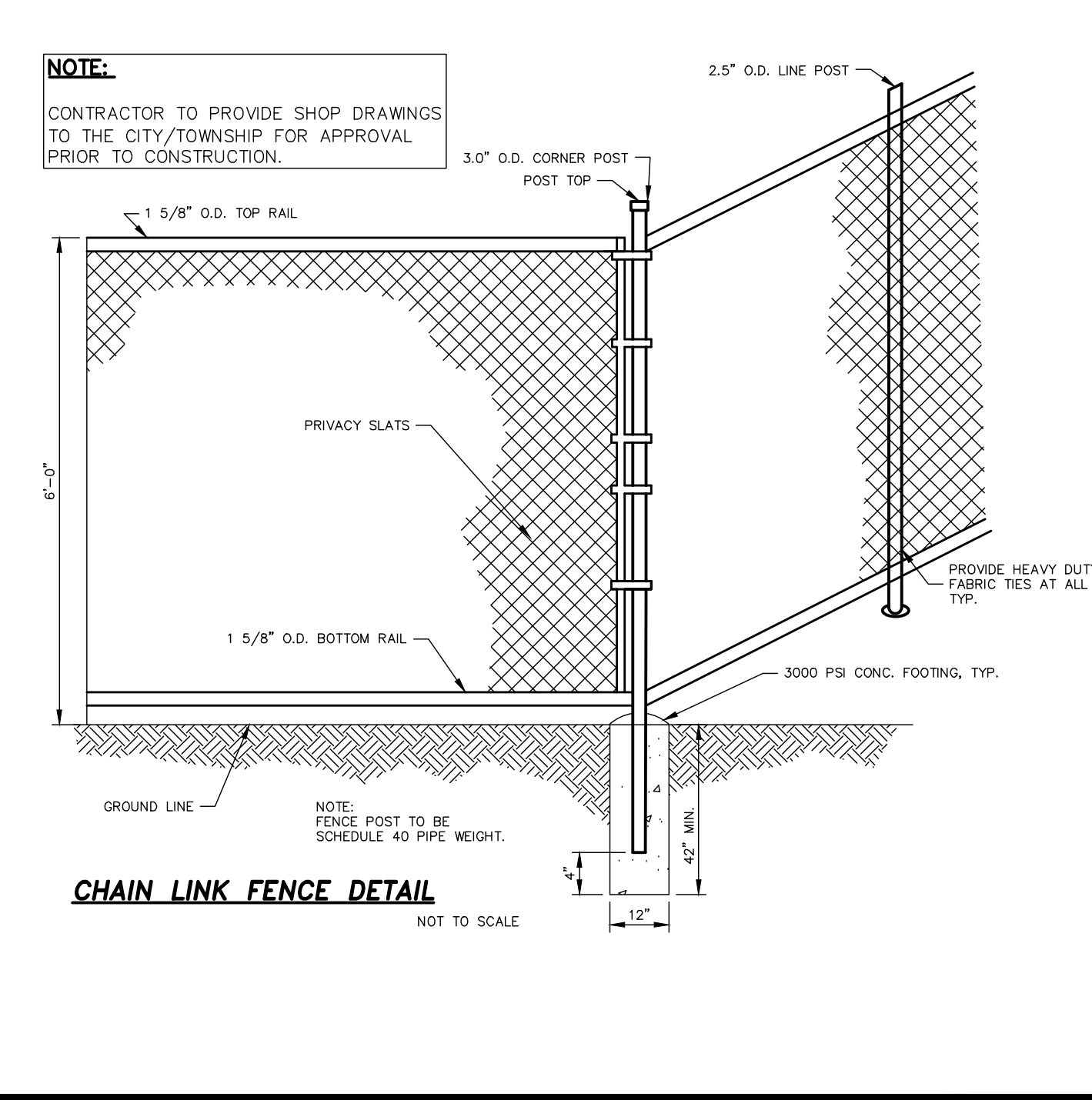
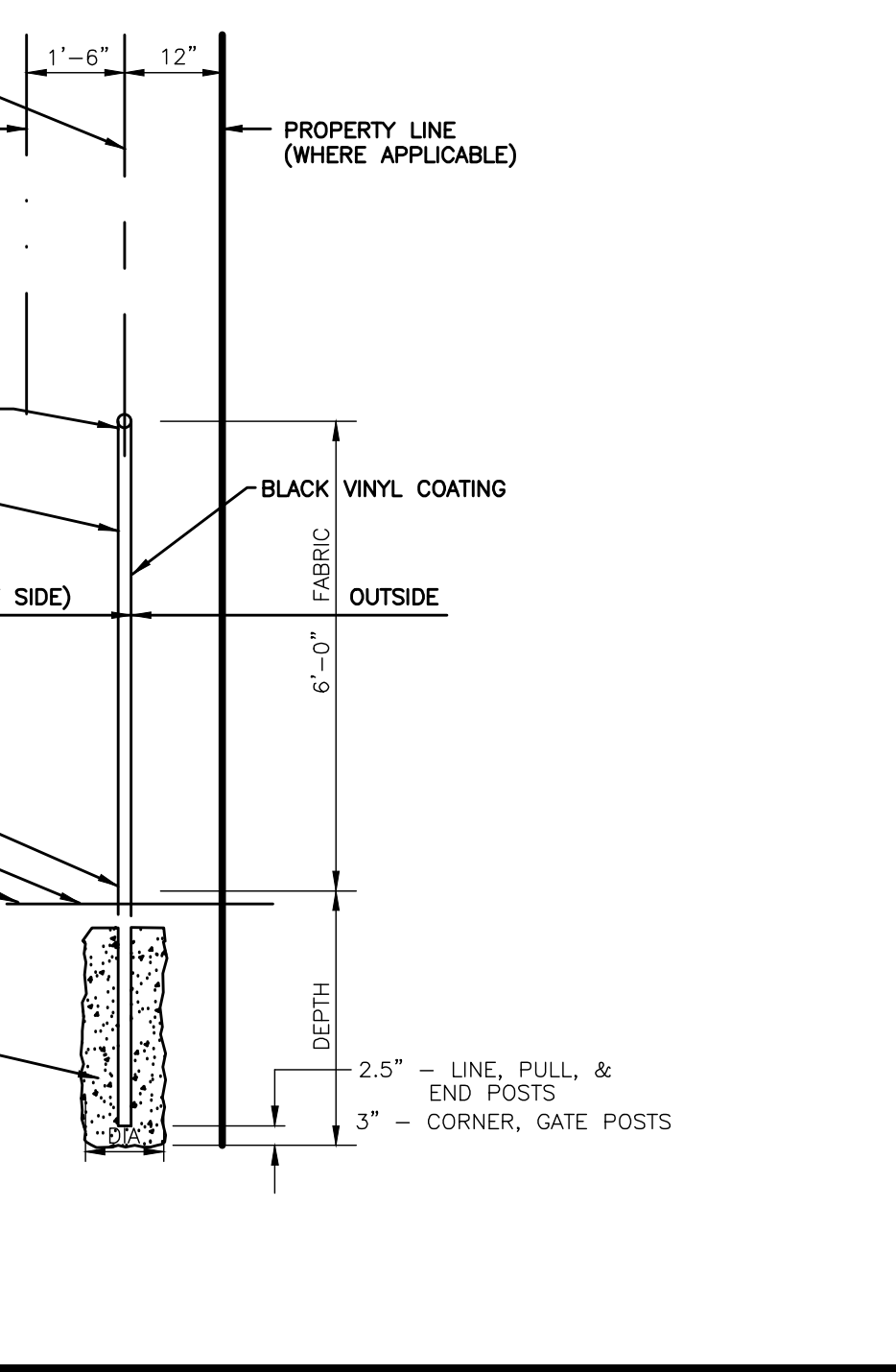
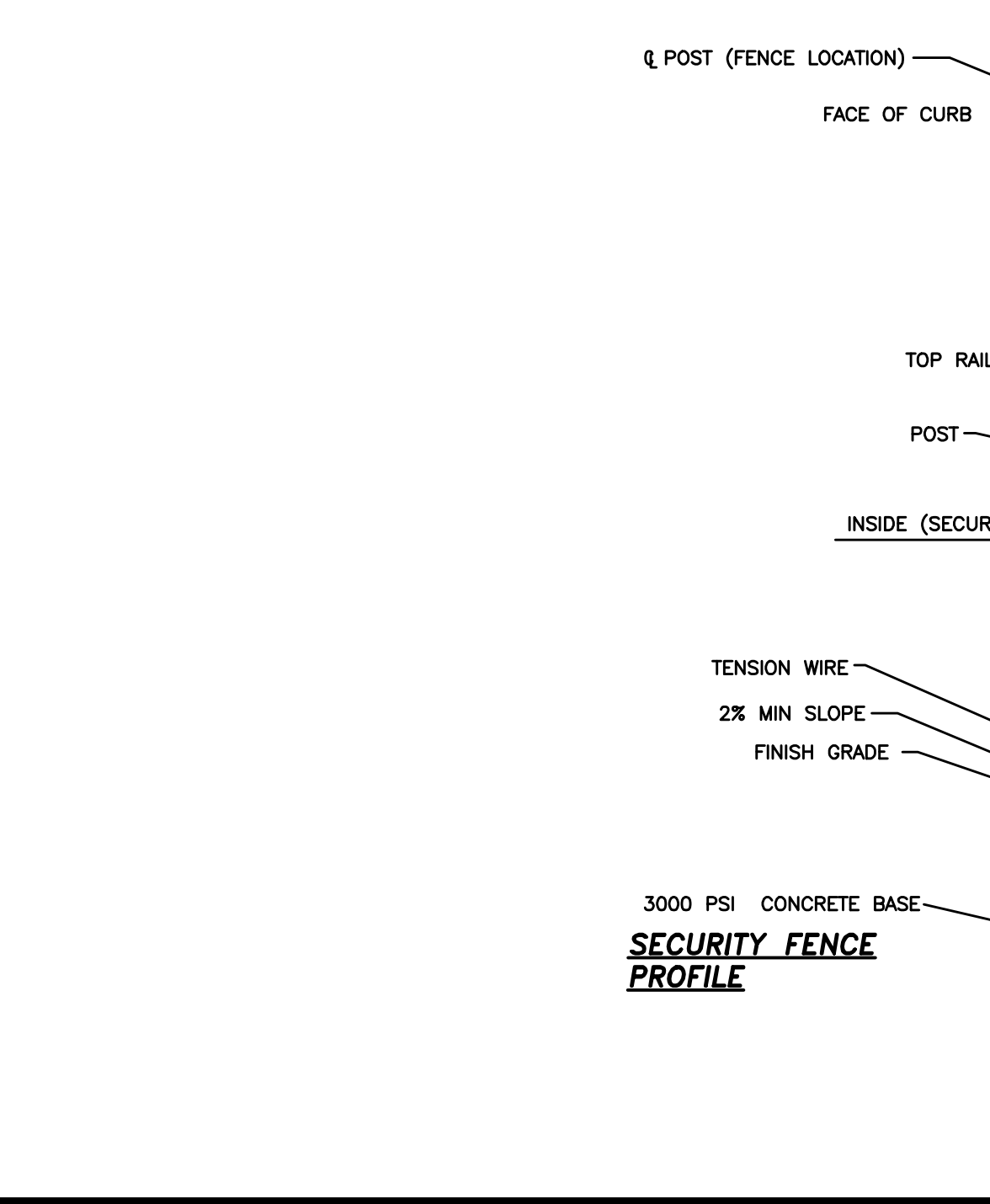
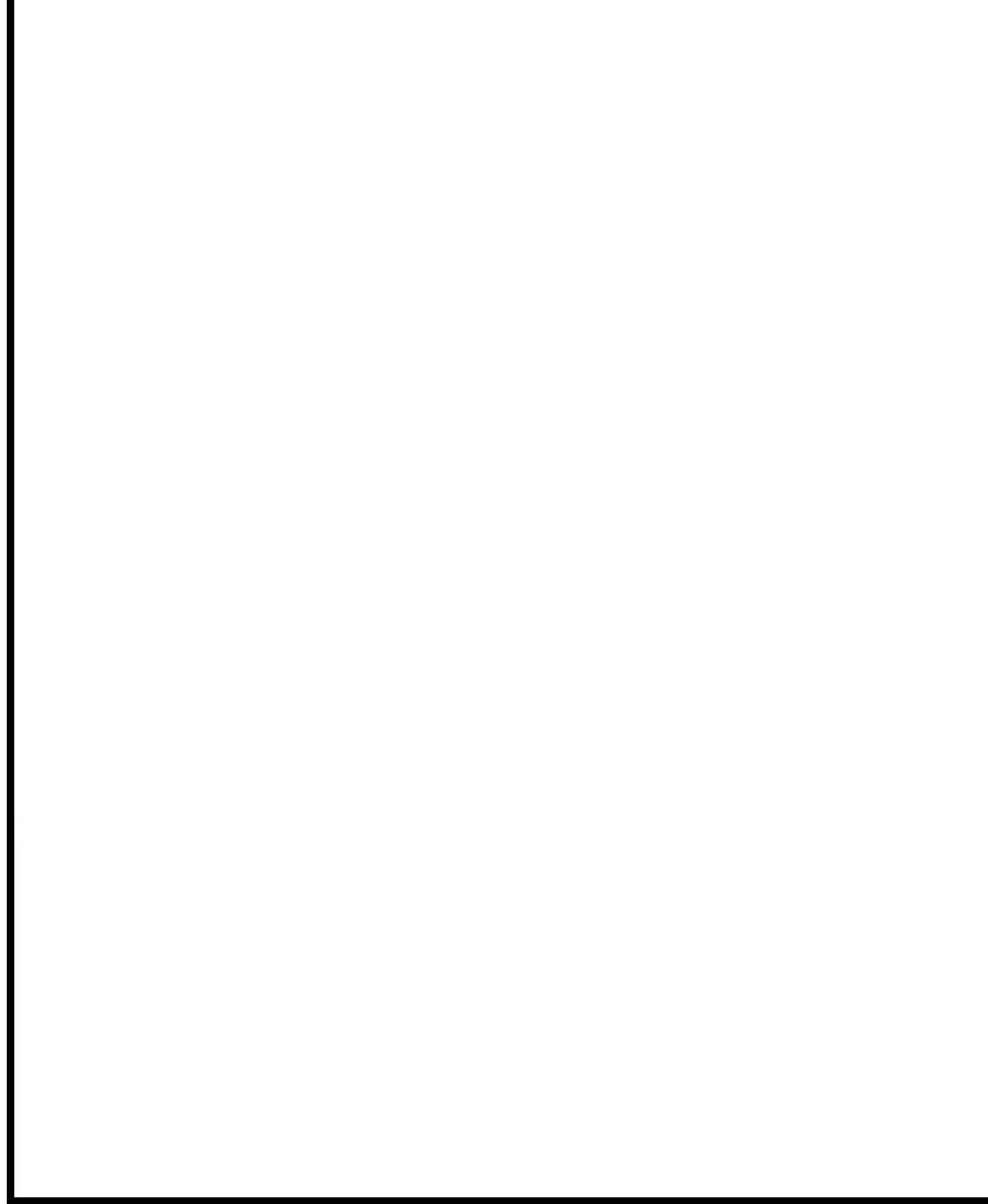
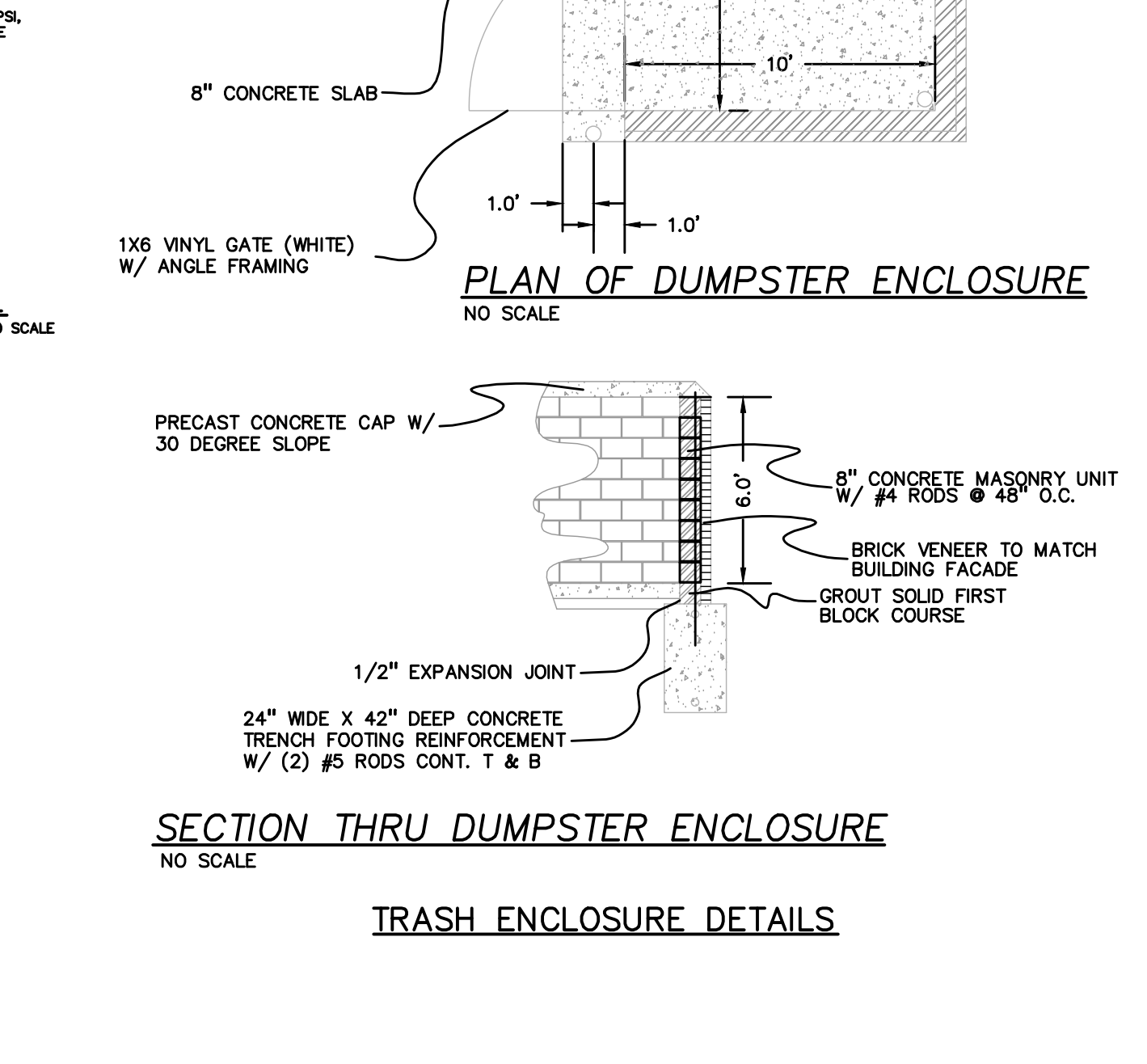
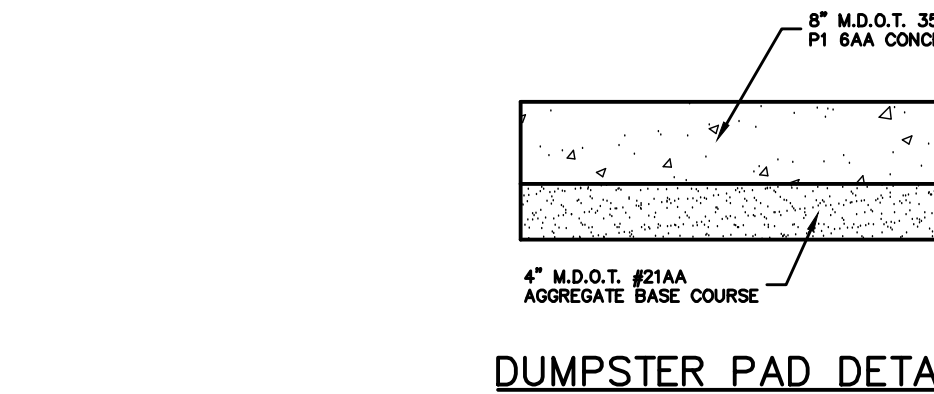
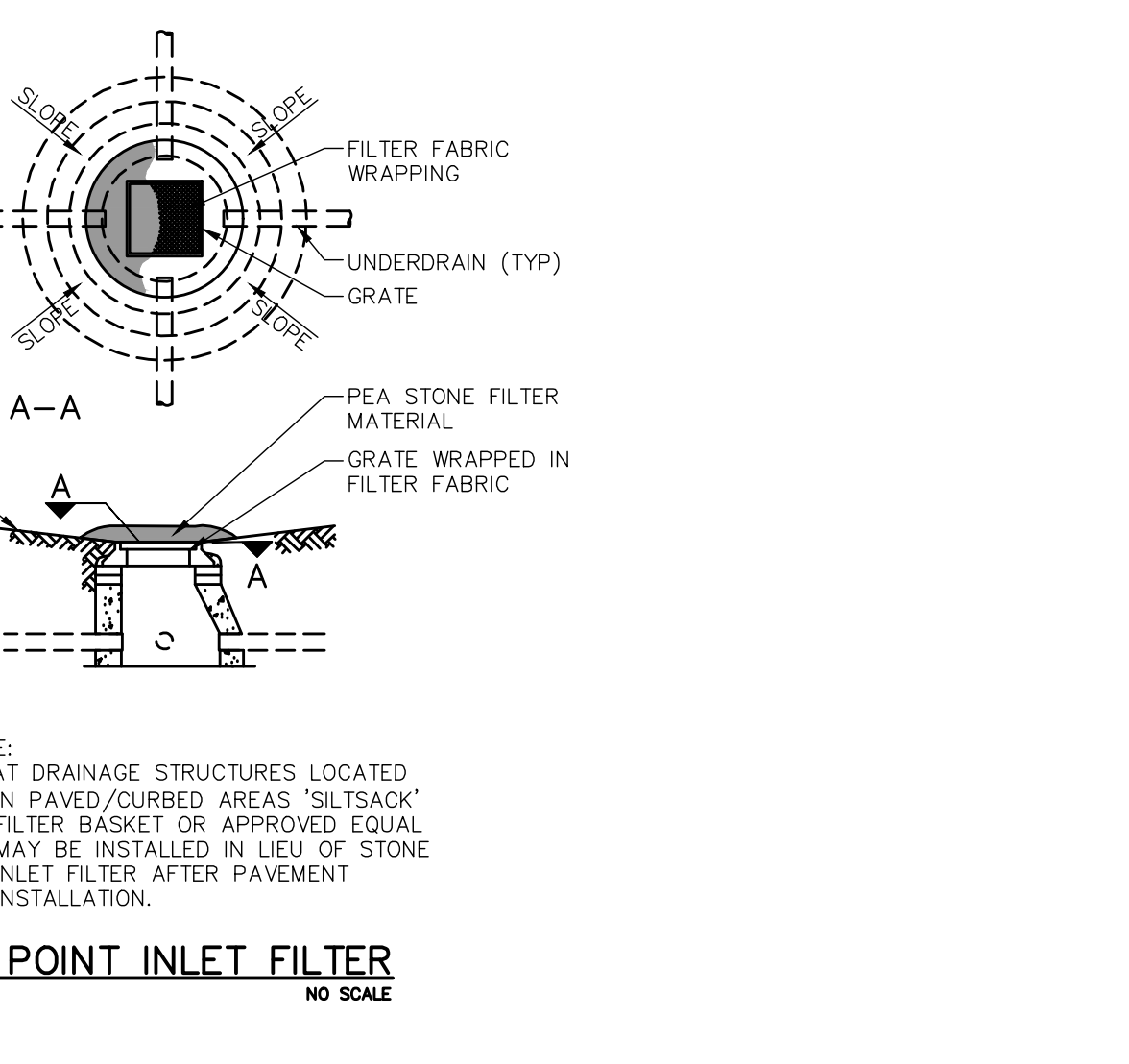
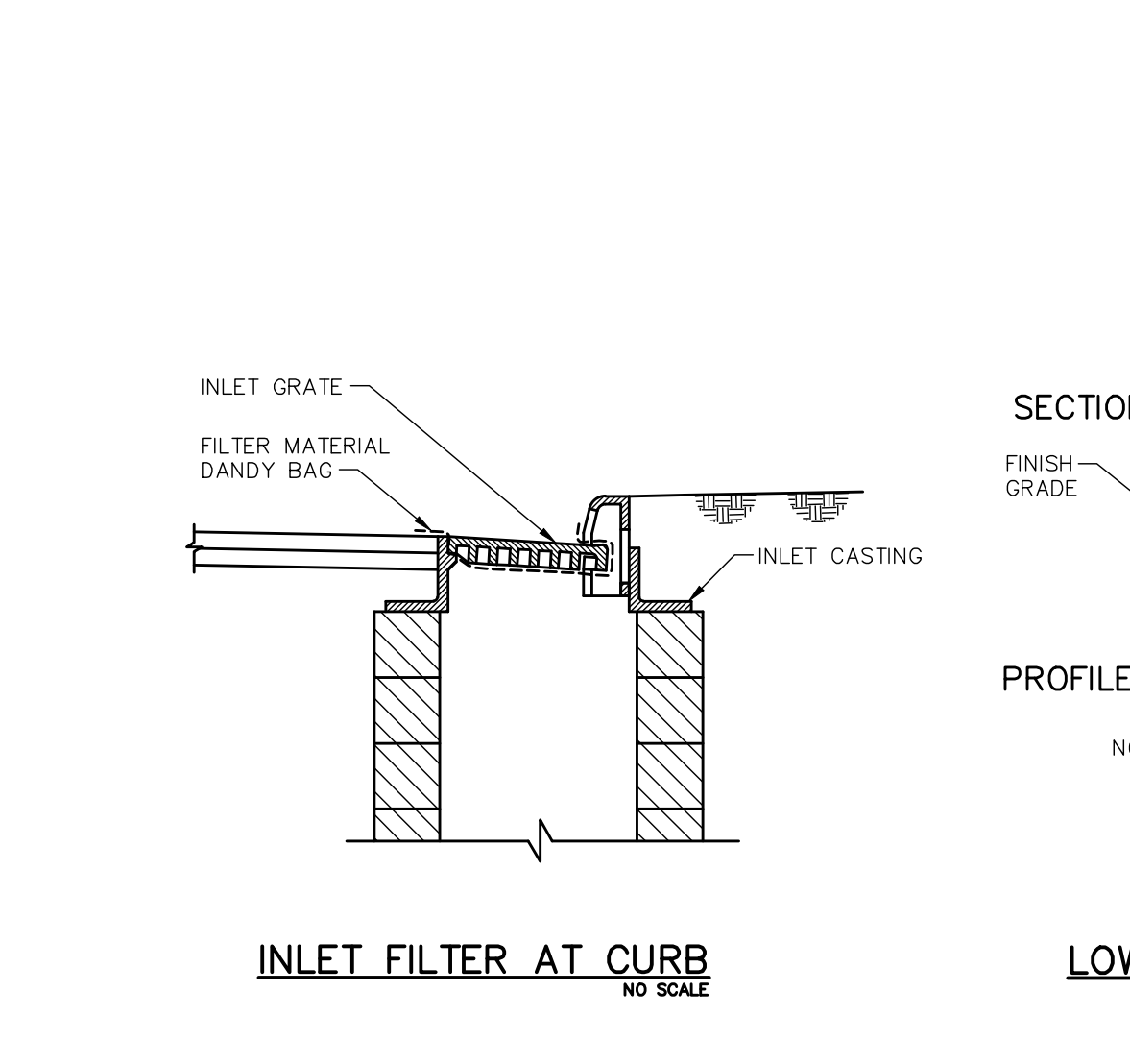
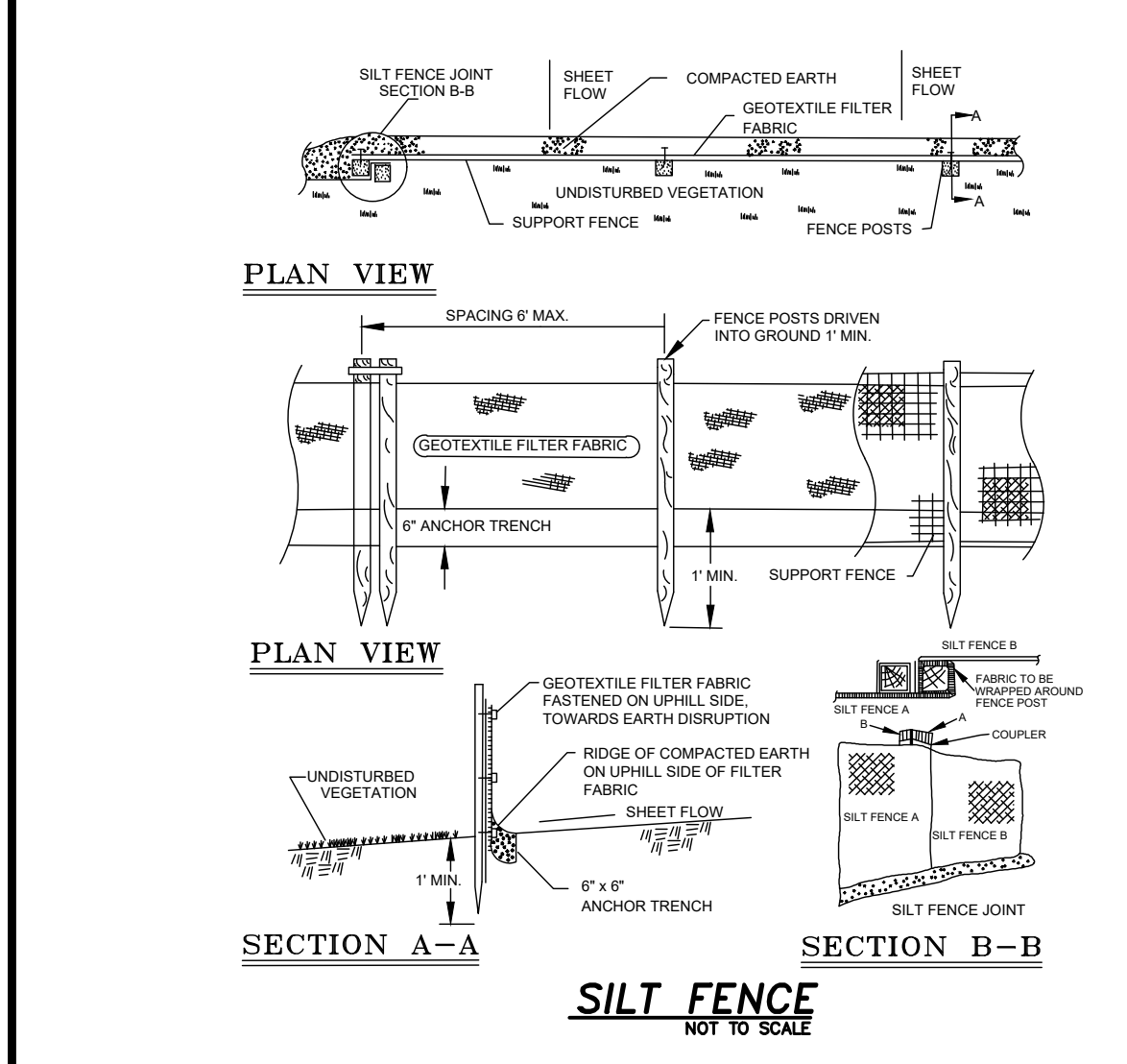
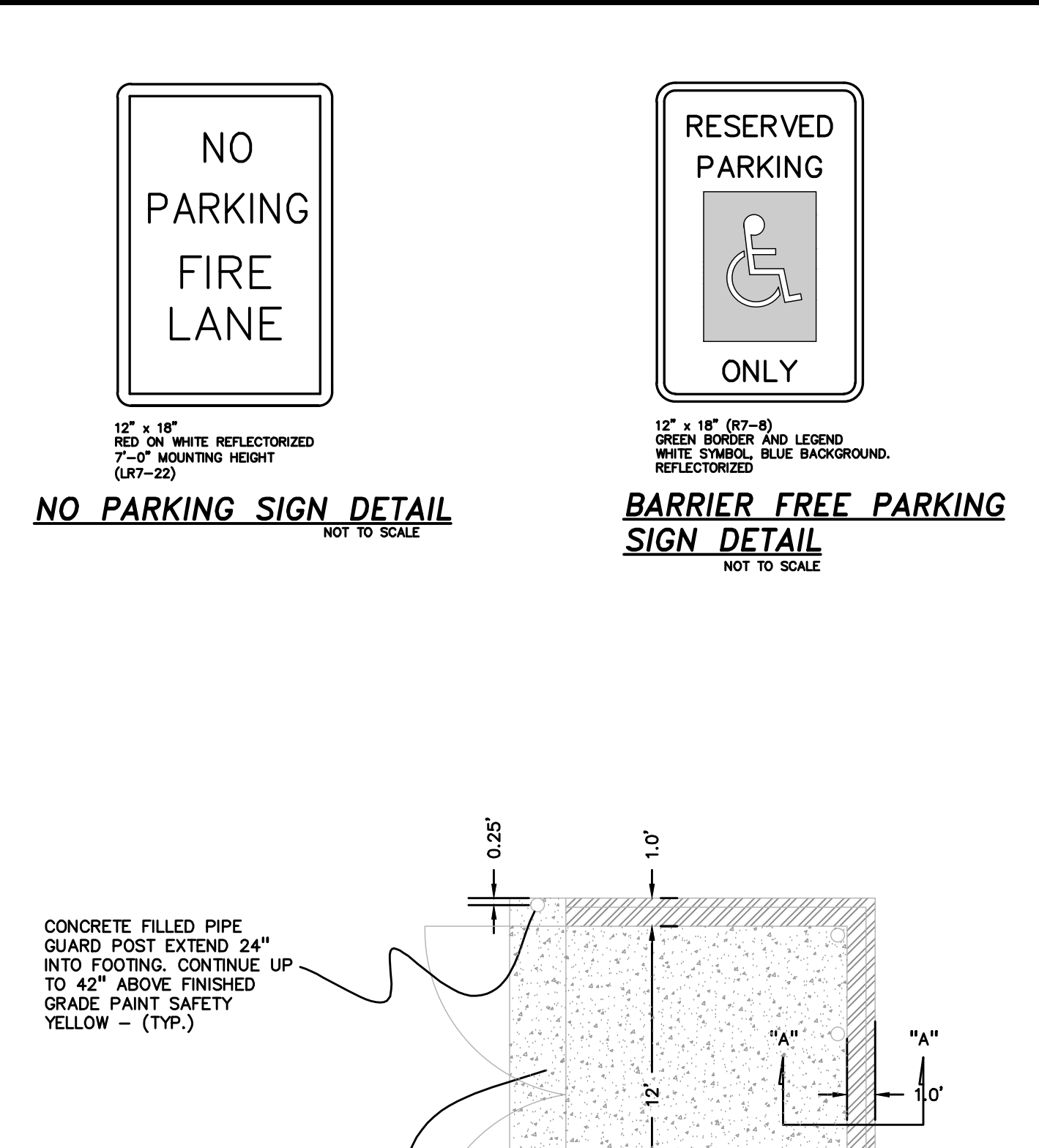
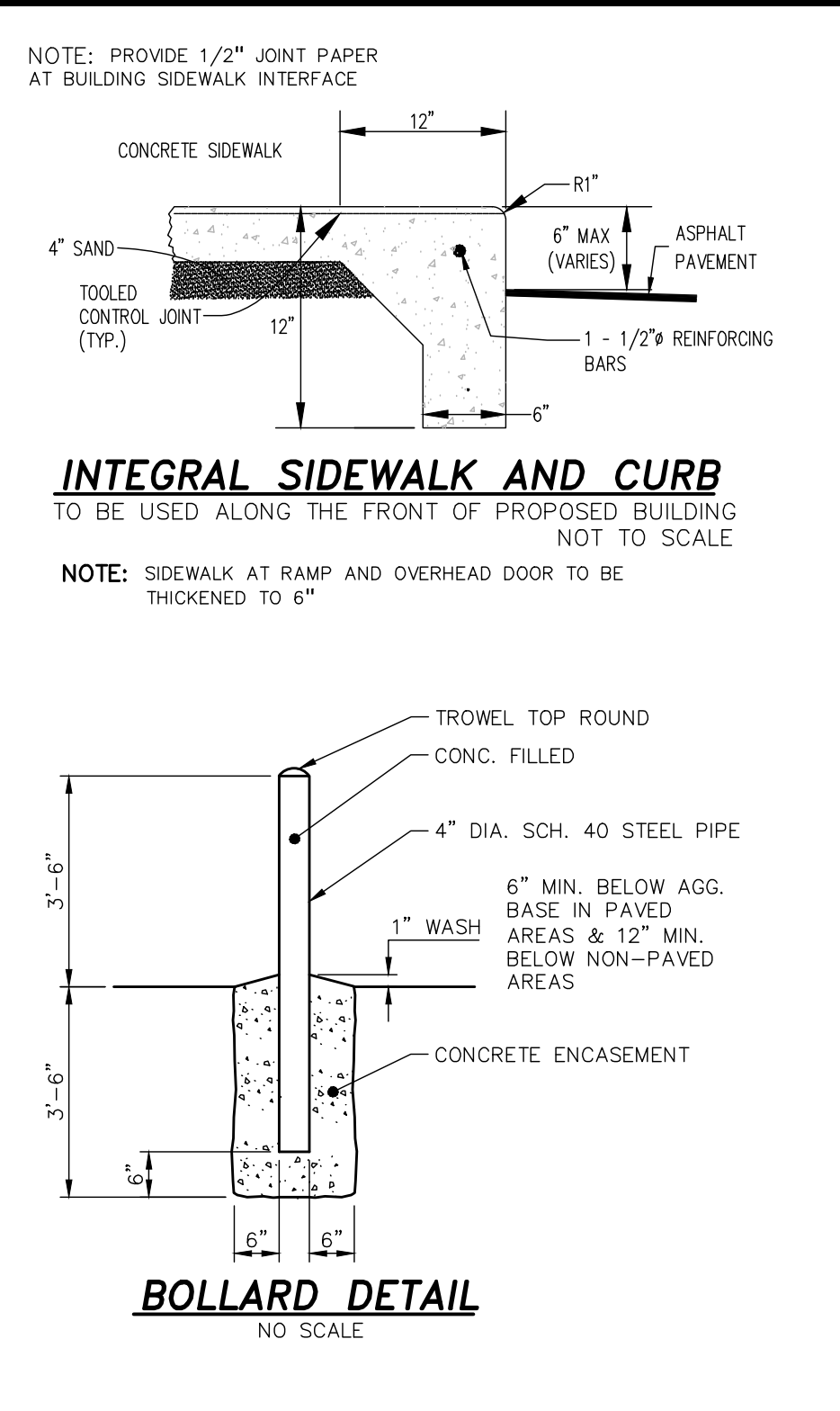
	CONCRETE CURB & GUTTER	Date: APRIL 2010
		G-1



	CONCRETE CURB SPILLOUT	Date: APRIL 2010
		G-2



	PARKING LOT CROSS SECTIONS	Date: APRIL 2010
		G-6



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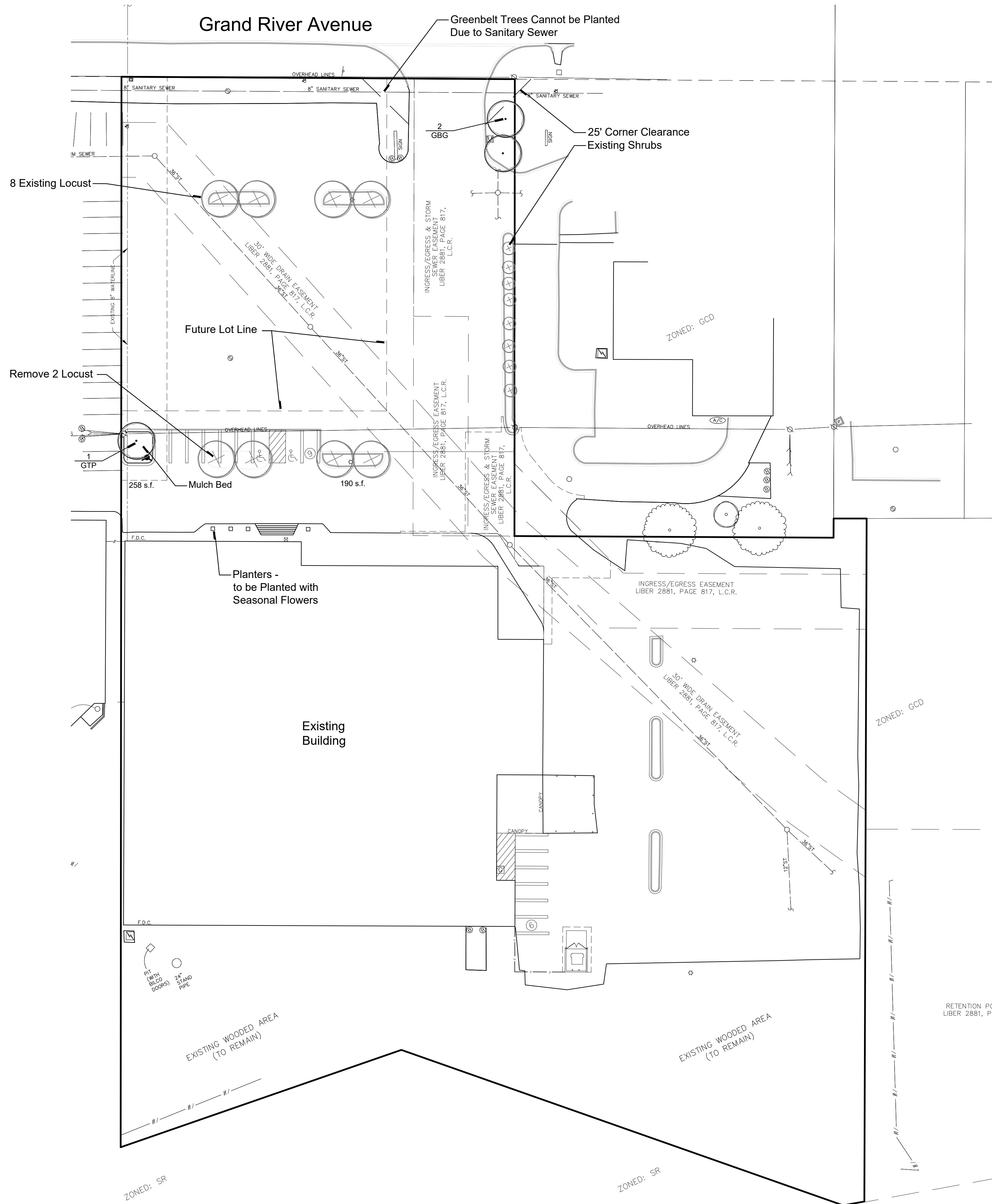
SCHAFER CONSTRUCTION
SITE DETAILS
CLIENT: 2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E.
CHARTER TOWNSHIP OF GENOA LIVINGSTON COUNTY MICHIGAN

REVISED

DATE: 8-22-2022
DRAWN BY: RMS
CHECKED BY: DJL

FBK: ---
CHF: MM
SCALE: HOR 1" = 10 FT.
VER 1" = 1 FT.

5
21-315



Landscape Summary

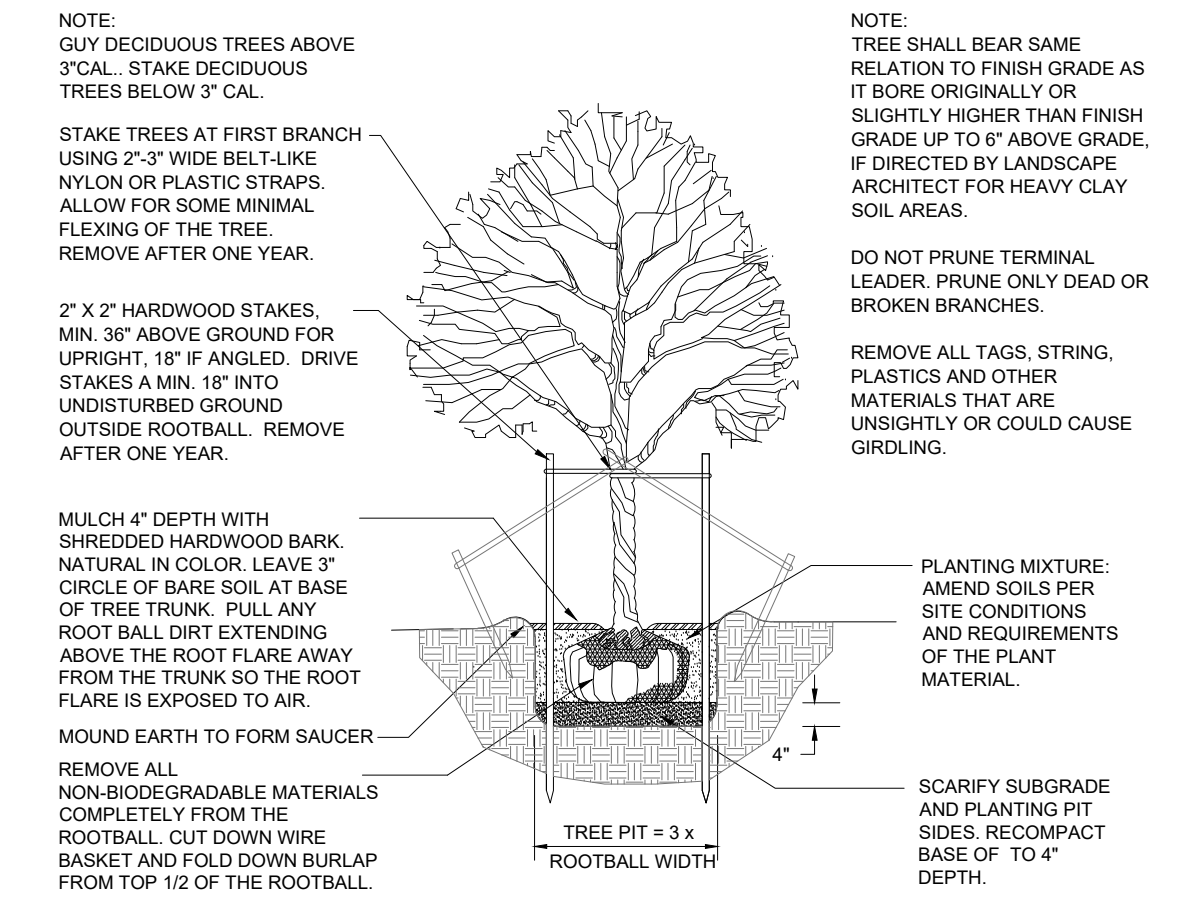
Greenbelt	70'
Greenbelt Length	70'
Trees Required	1.75 Trees (70' / 40')
Trees Provided	2 Trees
Parking Lot Landscaping	
Total Proposed Spaces	15 Spaces
Landscape Area Required	150 s.f. (15 / 10) x 100
Landscape Area Proposed	448 s.f.
Trees Required	1.5 Trees (15 / 10)
Trees Provided	3 Trees (2 Existing)

Plant List

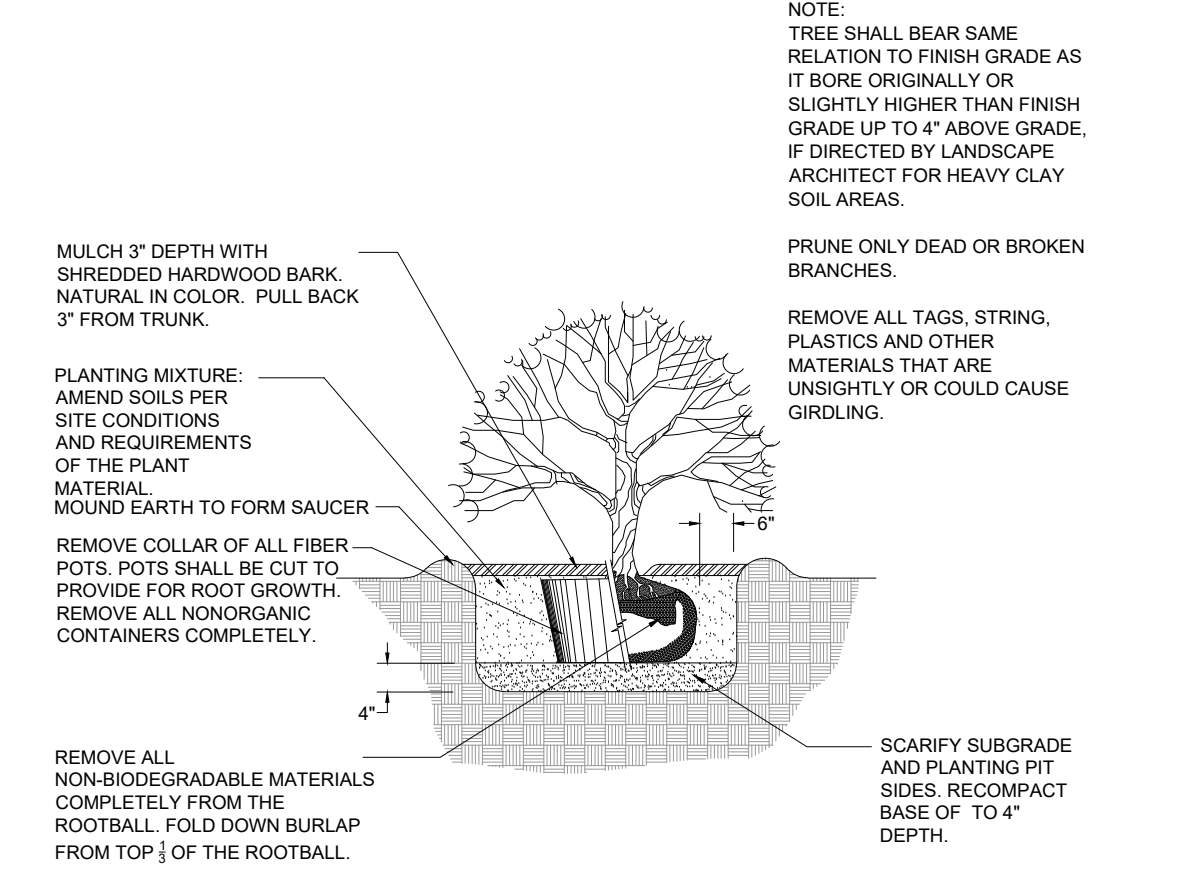
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Greenbelt Trees							
GBG	2	Ginkgo biloba 'Fastigiata'	Upright Ginkgo	2.5"	as shown	B&B	
Parking Lot Trees							
GTP	1	Acer x freemanii 'Armstrong'	Armstrong Maple	2.5"	as shown	B&B	

Note:
 All Landscaped Areas Shall be Provided with an Automatic Underground Irrigation System

Deciduous Tree Planting Detail



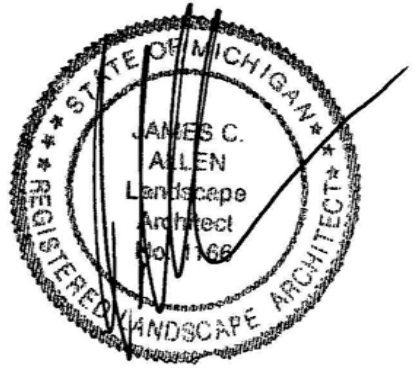
Shrub Planting Detail



Planter



Seal:



Title:

Landscape Plan

Project:

Grand River Storage
 Genoa Township, Michigan

Prepared for:

Greentech Engineering
 51147 Pontiac Trail
 Wixom, Michigan 48393
 248.668.0700

Revision:

Issued:

Submission	January 25, 2022
Revised	April 19, 2022
Revised	May 2, 2022
Revised	June 1, 2022
Revised	August 24, 2022

Job Number:

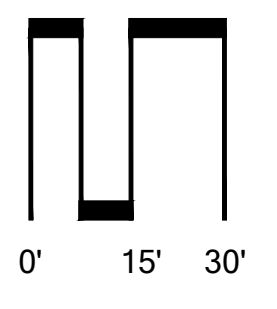
22-008

Drawn By:

jca

Checked By:

jca



Sheet No.

L-1





Specifications

EPA: 100 ft
 Length: 35"
 Width: 13"
 Height H1: 3.12"
 Height H2: 3.12"
 Weight (max): 27 lbs

Introduction

The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 3TM MVOLT SPA NLAIR2 PIRHN DDBX0

Series	Size	Color Temperature	Orientation	Mounting	Options
DSX1 LED	P1	40K	Vertical	DSX1	None
	P2	40K	Horizontal	DSX1	None
	P3	40K	Horizontal	DSX1	None

Features & Specifications

Feature	Description	Feature	Description
DSX1 LED	High performance LED	DSX1 LED	High performance LED
DSX1 LED	High performance LED	DSX1 LED	High performance LED



Specifications

Front View: 4.0" x 4.0" x 1.5"
 Side View: 4.0" x 4.0" x 1.5"

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,000 to 9,000 lumens with a wide, uniform distribution.

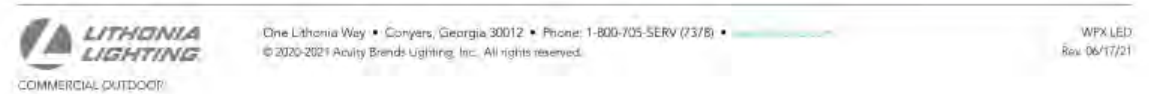
The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information EXAMPLE: WPX2 LED 40K MVOLT DDBX0

Series	Color Temperature	Orientation	Mounting	Options
WPX LED	40K	Vertical	WPX2	None
	40K	Horizontal	WPX2	None
	40K	Horizontal	WPX2	None

Features & Specifications

Feature	Description	Feature	Description
WPX LED	High performance LED	WPX LED	High performance LED
WPX LED	High performance LED	WPX LED	High performance LED



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade @ 0'	+	0.5 fc	6.2 fc	0.0 fc	N/A	N/A	0.1:1
Parking	X	1.6 fc	4.8 fc	0.2 fc	24.0:1	8.0:1	0.3:1
Property Line	+	0.2 fc	0.7 fc	0.0 fc	N/A	N/A	0.3:1
EAST PARKING LOT	X	1.0 fc	4.4 fc	0.1 fc	44.0:1	10.0:1	0.2:1

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Light Loss Factor
P1	P1	5	Lithonia Lighting	DSX1 LED 40K MVOLT	LED	0.9
P2	P2	2	Lithonia Lighting	DSX1 LED 40K MVOLT	LED	0.9
W2	W2	3	Lithonia Lighting	WPX2 LED 40K Mvolt	LED	0.9

General Note

- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0'
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Plan View
 Scale - 1" = 40ft



2630 GRAND RIVER AVE
 PHOTOMETRIC PLAN
 PREPARED FOR: GREENTECH
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

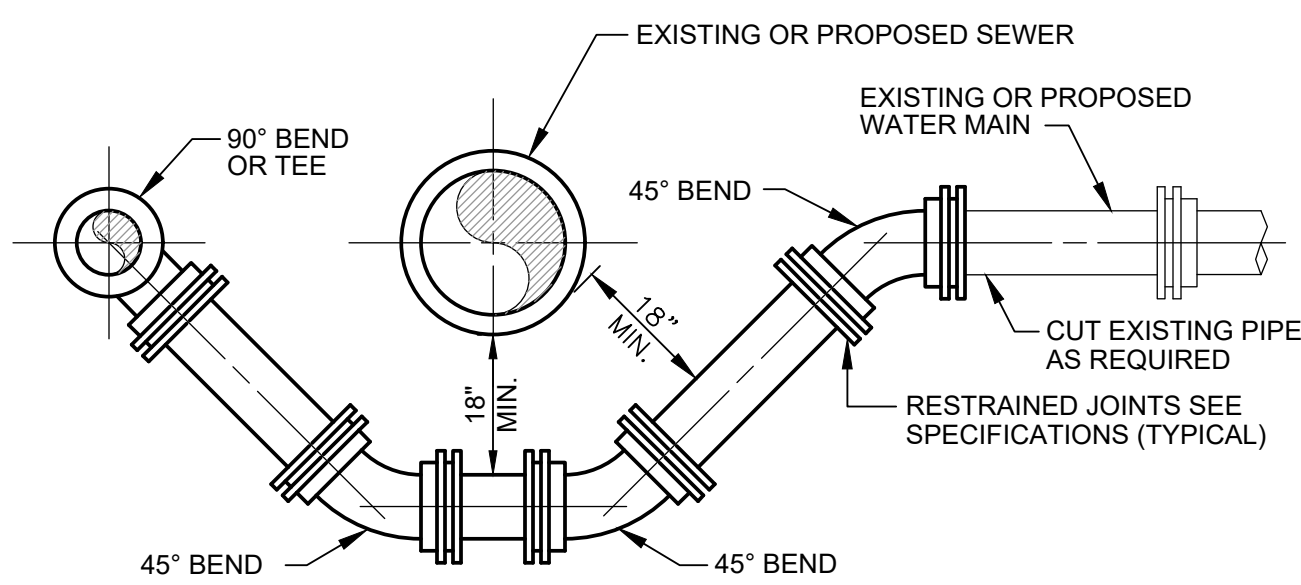
Designer
 TV/DS/KB
Date
 01/27/2022
 rev. 5/24/2022
 rev. 08/24/2022
Scale
 Not to Scale
Drawing No.
 #22-71398-V4

PIPE RESTRAINT SCHEDULE

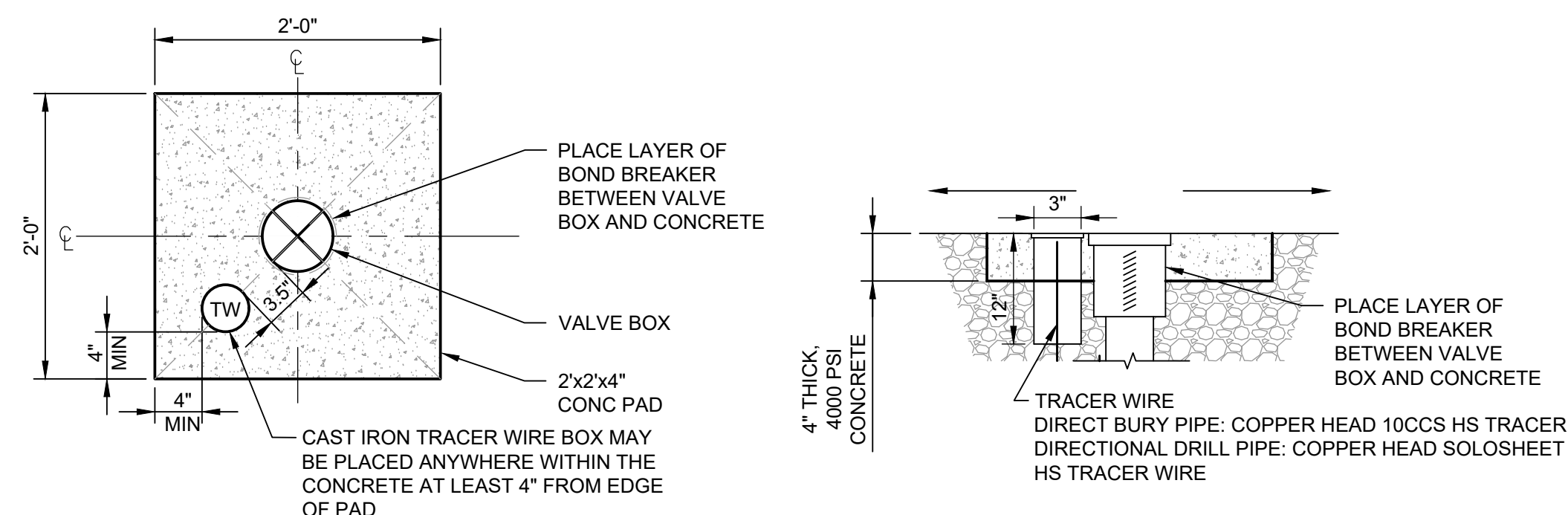
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	--	--
6	19	8	4	2	58	31	--
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	168

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF THE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- * SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON: INTERNAL PRESSURE: 180
PIPE DEPTH: 5
BEDDING CLASS: TYPE 4
SOIL TYPE: GOOD SAND
SAFETY FACTOR: 2

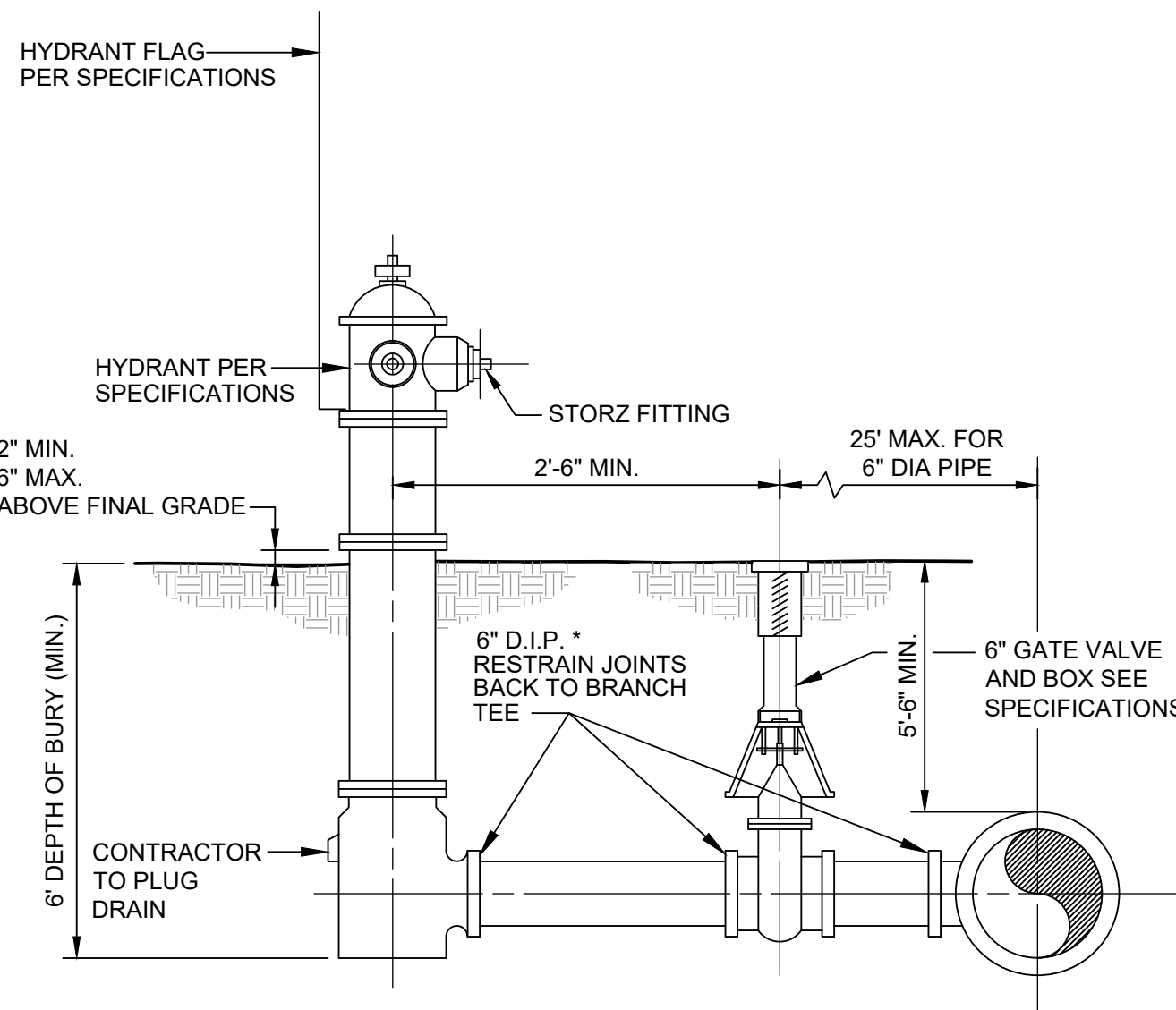


WATER MAIN UTILITY OFFSET



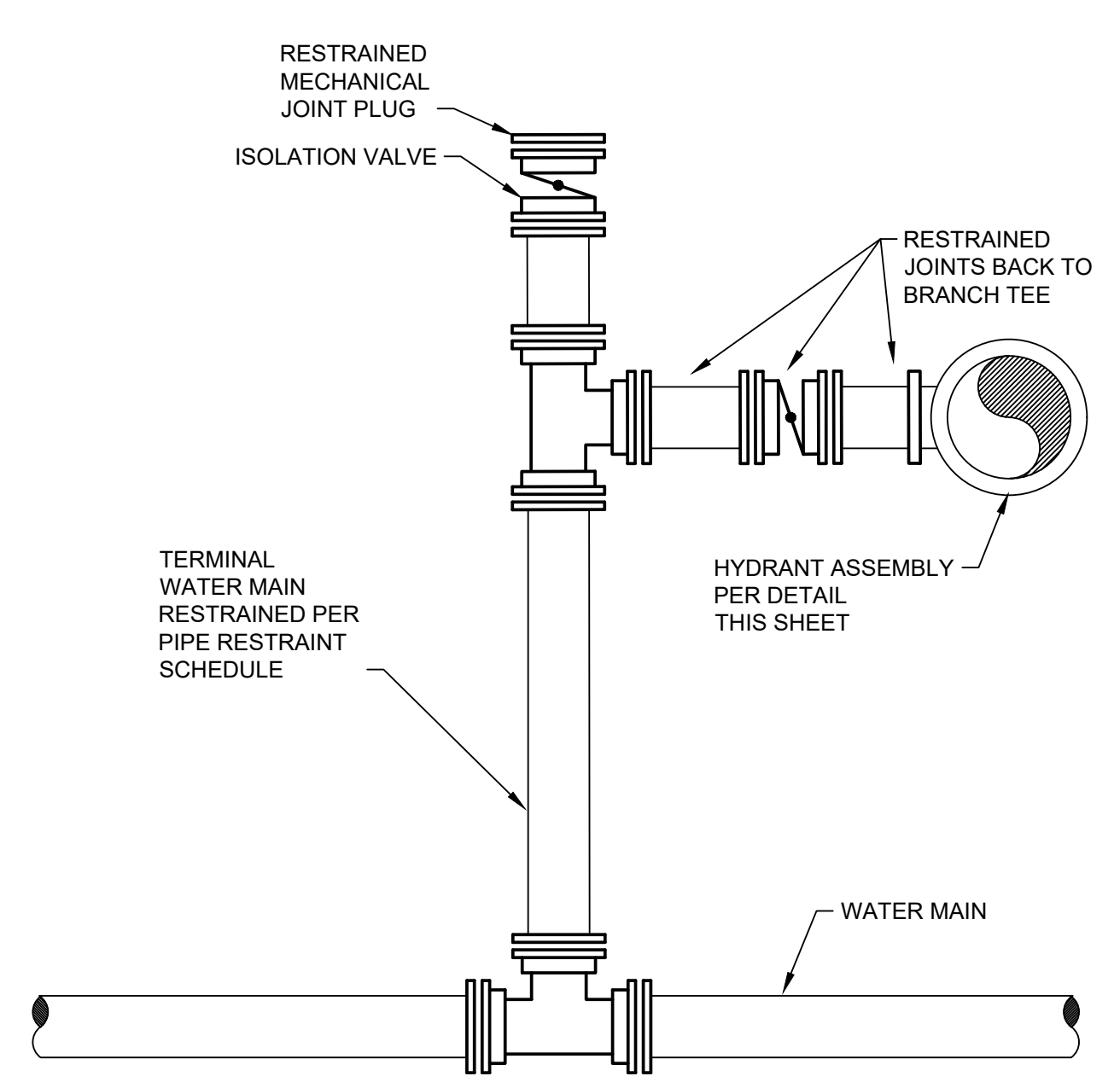
- NOTE: ALL BOXES & ADJOINING TW BOXES SHALL BE ENCASED IN A CONC. PAD UNLESS OTHERWISE DETERMINED BY MHOG.
- NOTE:
- TRACER WIRE BOXES LOCATED WITHOUT A VALVE BOX ONLY REQUIRE AN 18" X 18" CONCRETE PAD.
 - TRACER WIRE BOX SHALL HAVE A LOCKING LID W/STANDARD AWWA PENTAGON KEY.
 - TRACER WIRE BOX SHALL BE COPPERHEAD RB14"TP IN ASPHALT INSTALLATIONS AND CD14"TP FOR ALL OTHER INSTALLATIONS.

PLAN
VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE

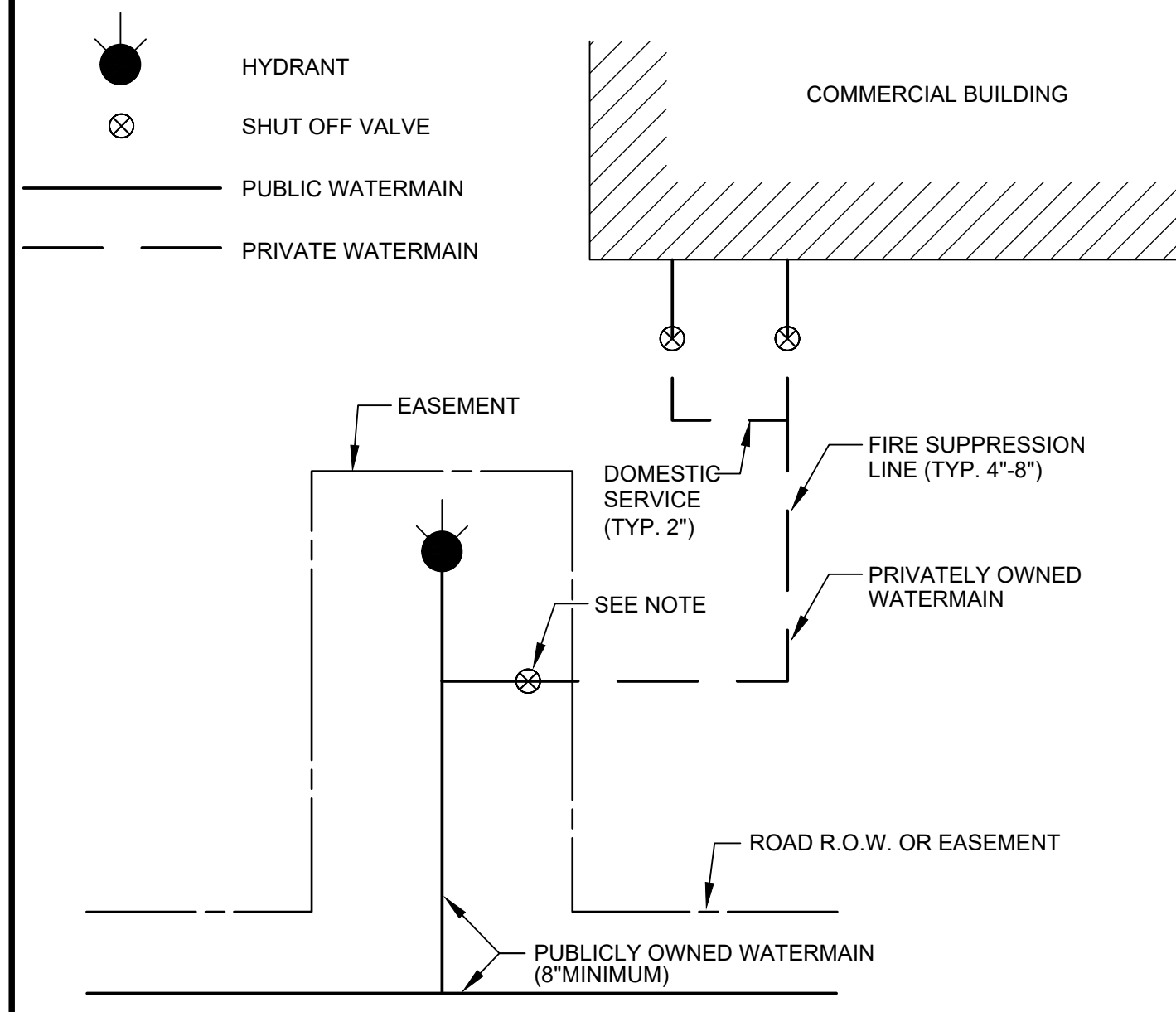


* THE LENGTH OF 6" PIPE FROM THE MAIN TO THE HYDRANT ASSEMBLY CANNOT EXCEED 25'. ANY PIPE OVER 25 FEET SHALL BE 8" DIAMETER MINIMUM AND DESIGNED PER MHOG SPECIFICATIONS.

FIRE HYDRANT ASSEMBLY

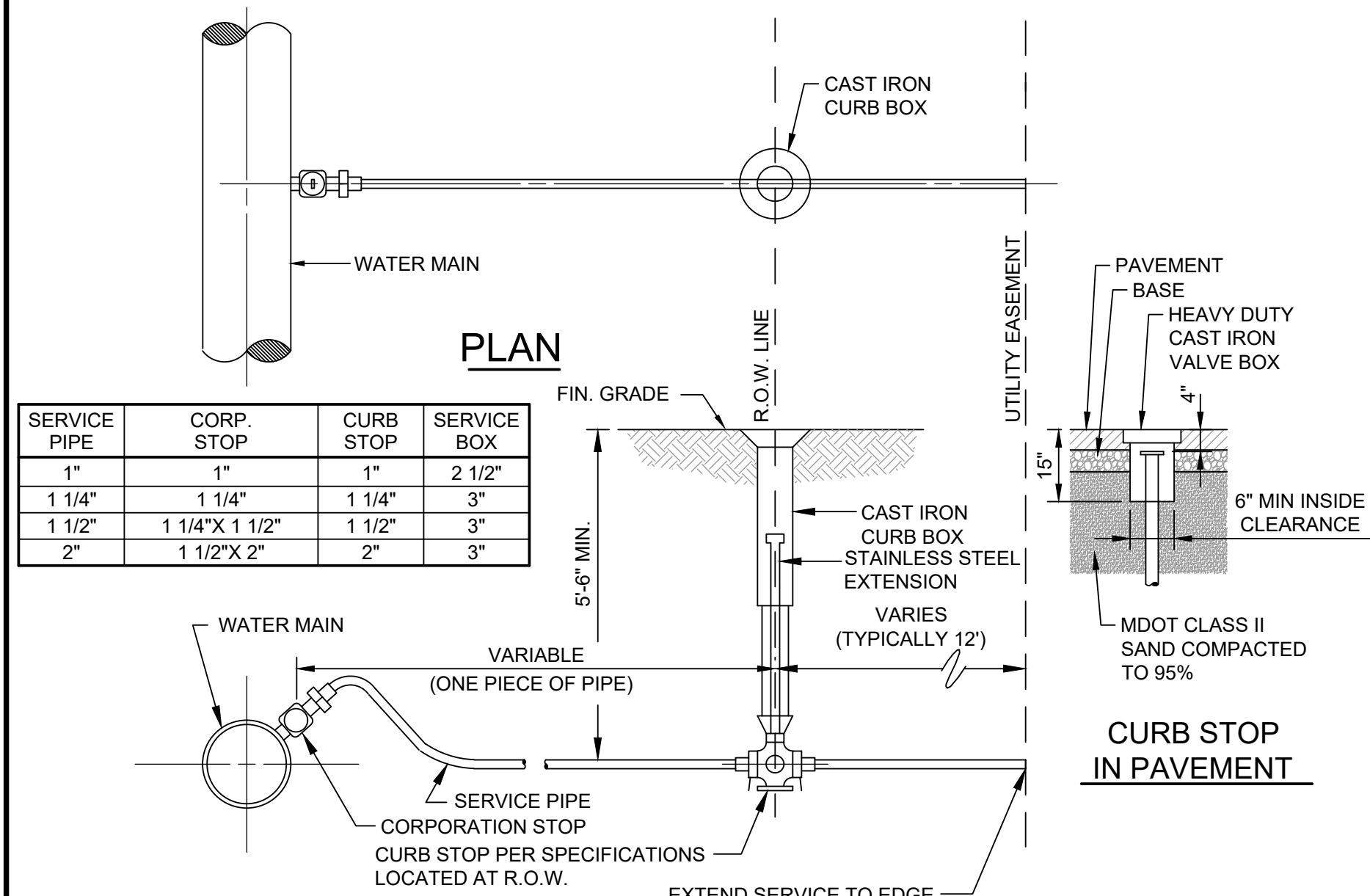


TERMINAL HYDRANT DETAIL

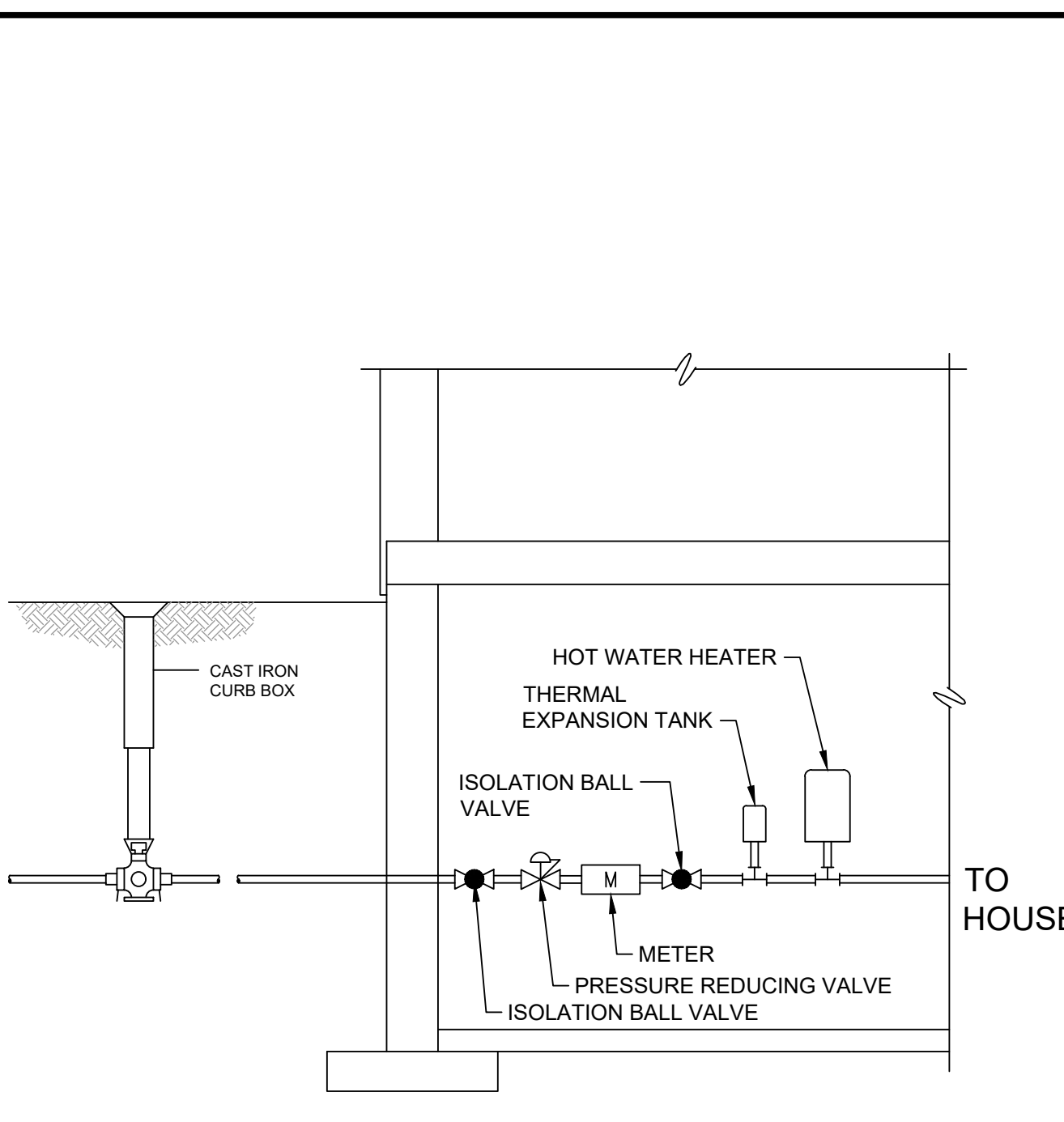


NOTE: PUBLICLY OWNED SHUT OFF VALVE TO BE LOCATED IN EASEMENT.

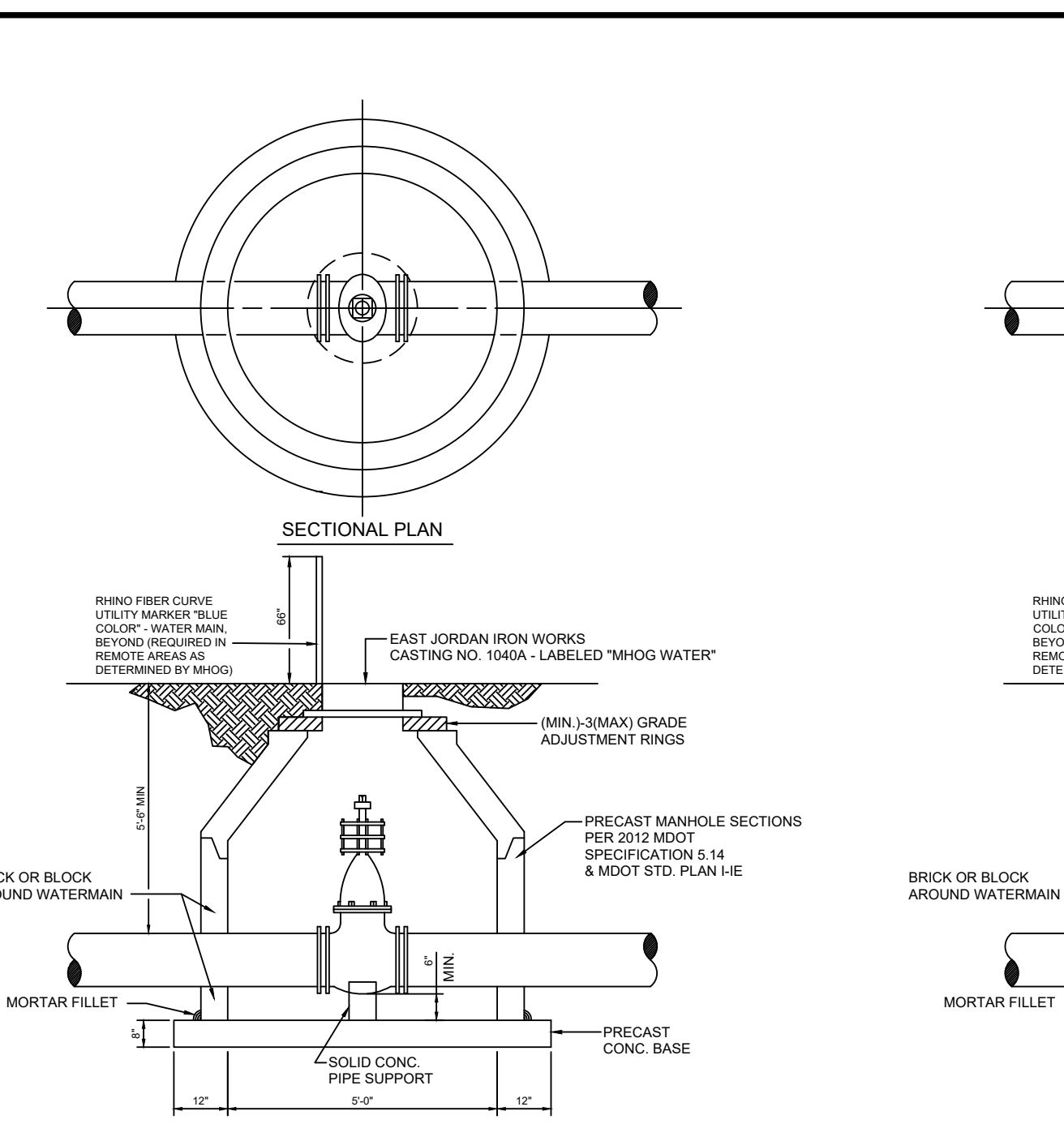
COMMERCIAL BUILDING WATER SERVICE LAYOUT



SECTION
WATER SERVICE LATERAL

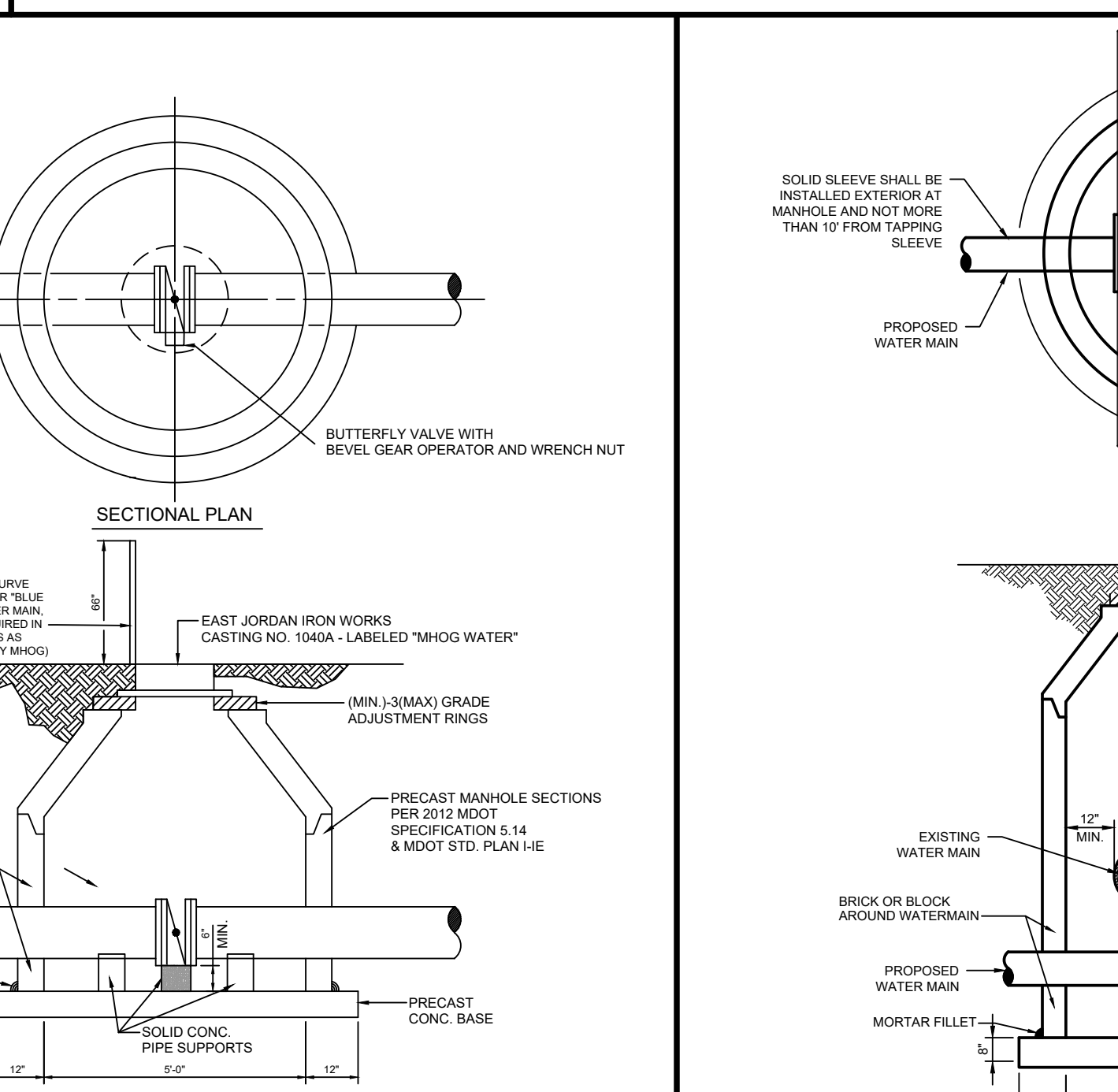


PRIVATE RESIDENCE
PRESSURE REDUCING VALVE (PRV)



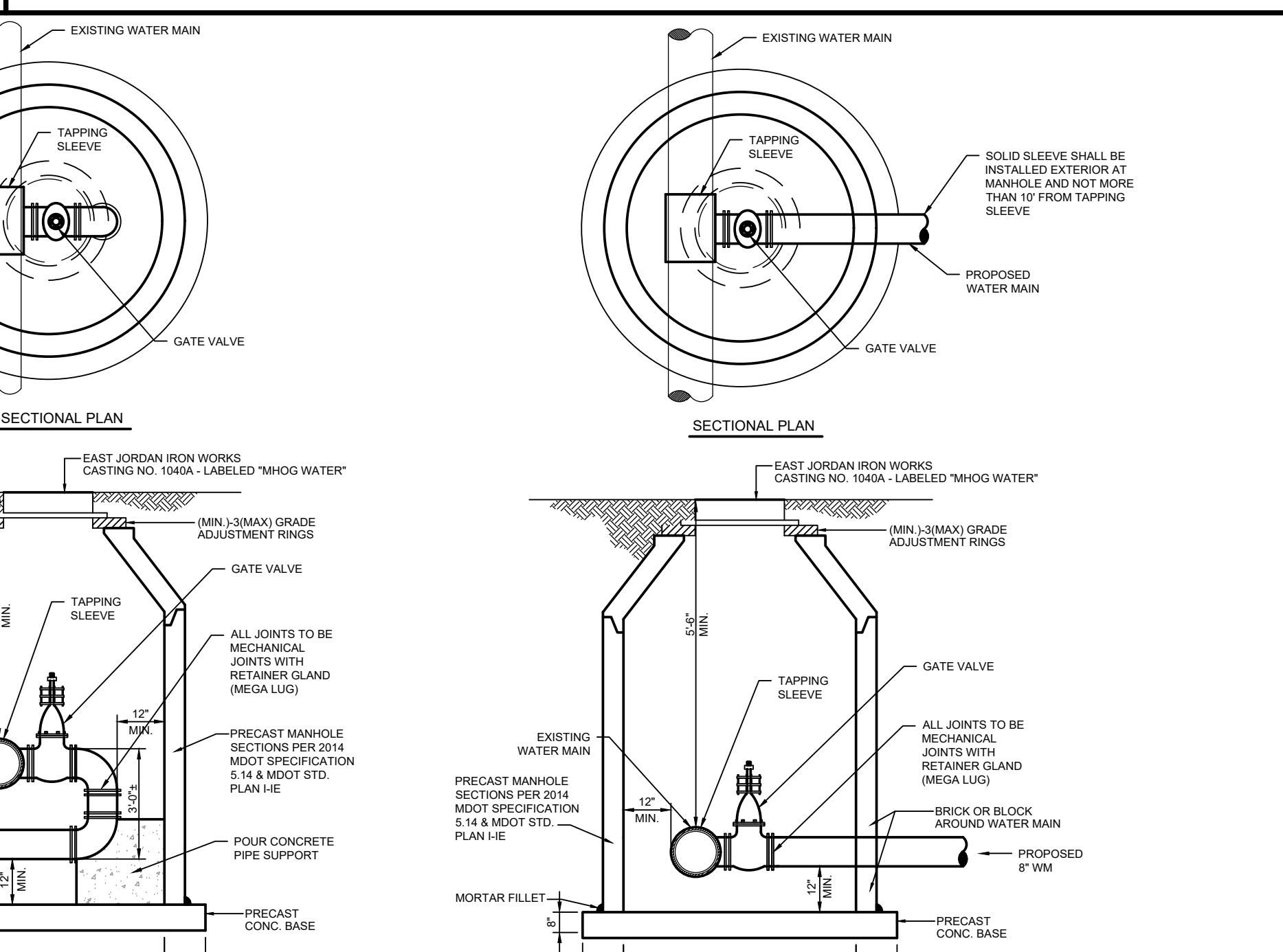
- NOTES:
- ALL LIFT HOLES AND JOINTS SHALL BE MORTARED BOTH INSIDE AND OUTSIDE.
 - BLOCK MANHOLES TO BE USED ONLY WITH ENGINEERS PERMISSION.
 - NO STEPS PERMITTED.

VALVE AND GATE WELL



- NOTES:
- ALL LIFT HOLES AND JOINTS SHALL BE MORTARED BOTH INSIDE AND OUTSIDE.
 - BLOCK MANHOLES TO BE USED ONLY WITH ENGINEERS PERMISSION.
 - NO STEPS PERMITTED.

BUTTERFLY VALVE AND WELL



- NOTES:
- ALL LIFT HOLES AND JOINTS SHALL BE MORTARED BOTH INSIDE AND OUTSIDE.
 - BLOCK MANHOLES TO BE USED ONLY WITH ENGINEERS PERMISSION.
 - NO STEPS PERMITTED.

REVERSE TAP GATE WELL

- NOTES:
- ALL LIFT HOLES AND JOINTS SHALL BE MORTARED BOTH INSIDE AND OUTSIDE.
 - BLOCK MANHOLES TO BE USED ONLY WITH ENGINEERS PERMISSION.
 - NO STEPS PERMITTED.

REGULAR TAP GATE WELL

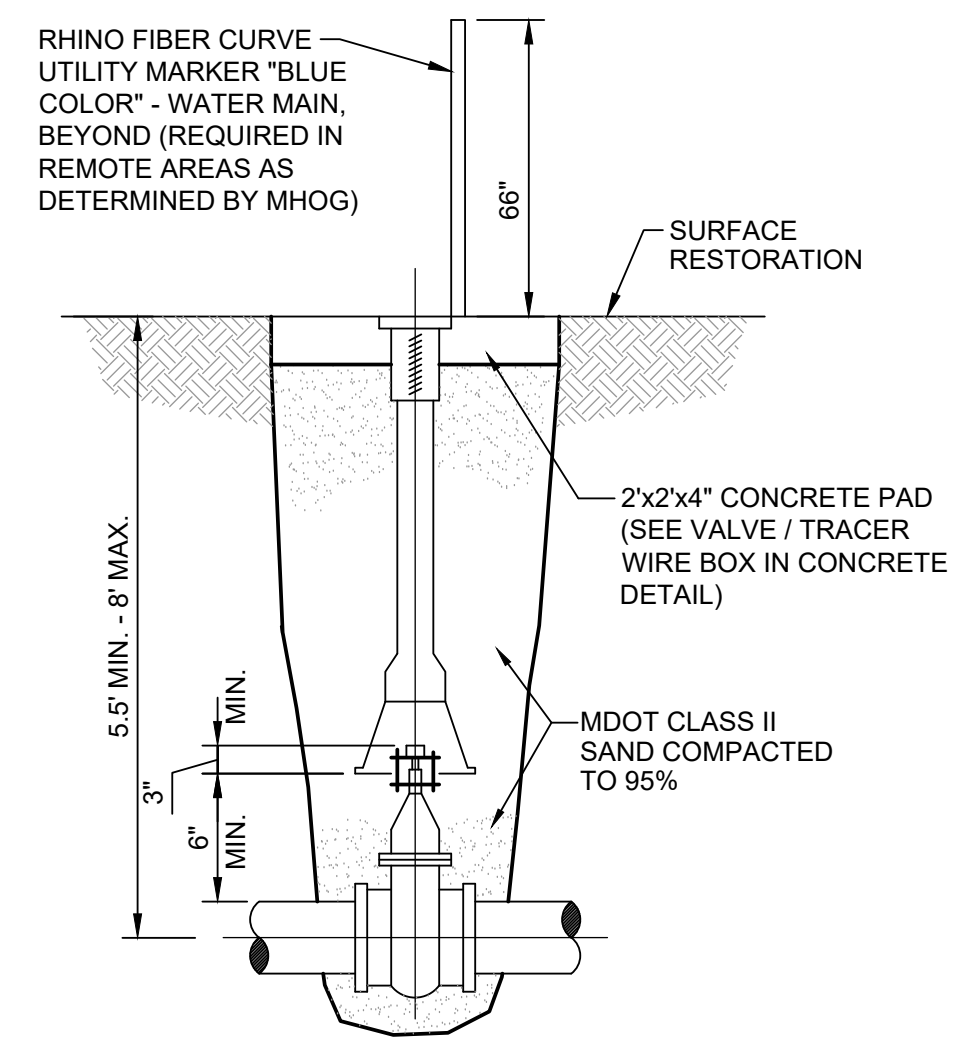


MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

STANDARD DETAILS

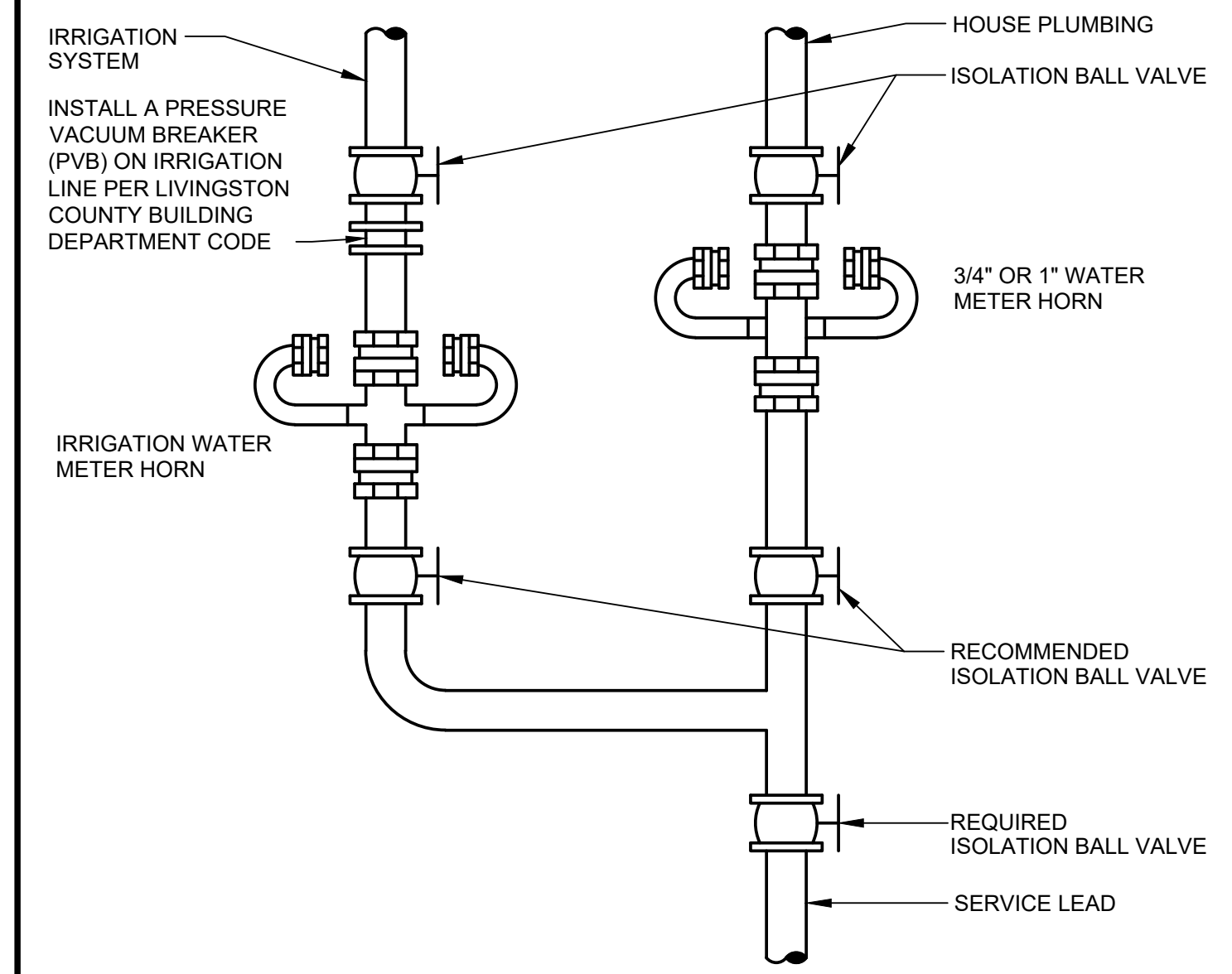
Scale: NONE
Issued Date JANUARY - 2014
UPDATED: MAY 2015
UPDATED: FEBRUARY 2016
UPDATED: APRIL 2016
UPDATED: OCTOBER 2017
UPDATED: FEBRUARY 2019

Friday, February 9, 2019 9:13:59 AM DRAWING: P:\IER\12719\200-12719-00-00\CAD\SheetFiles\Mhog-std.dwg



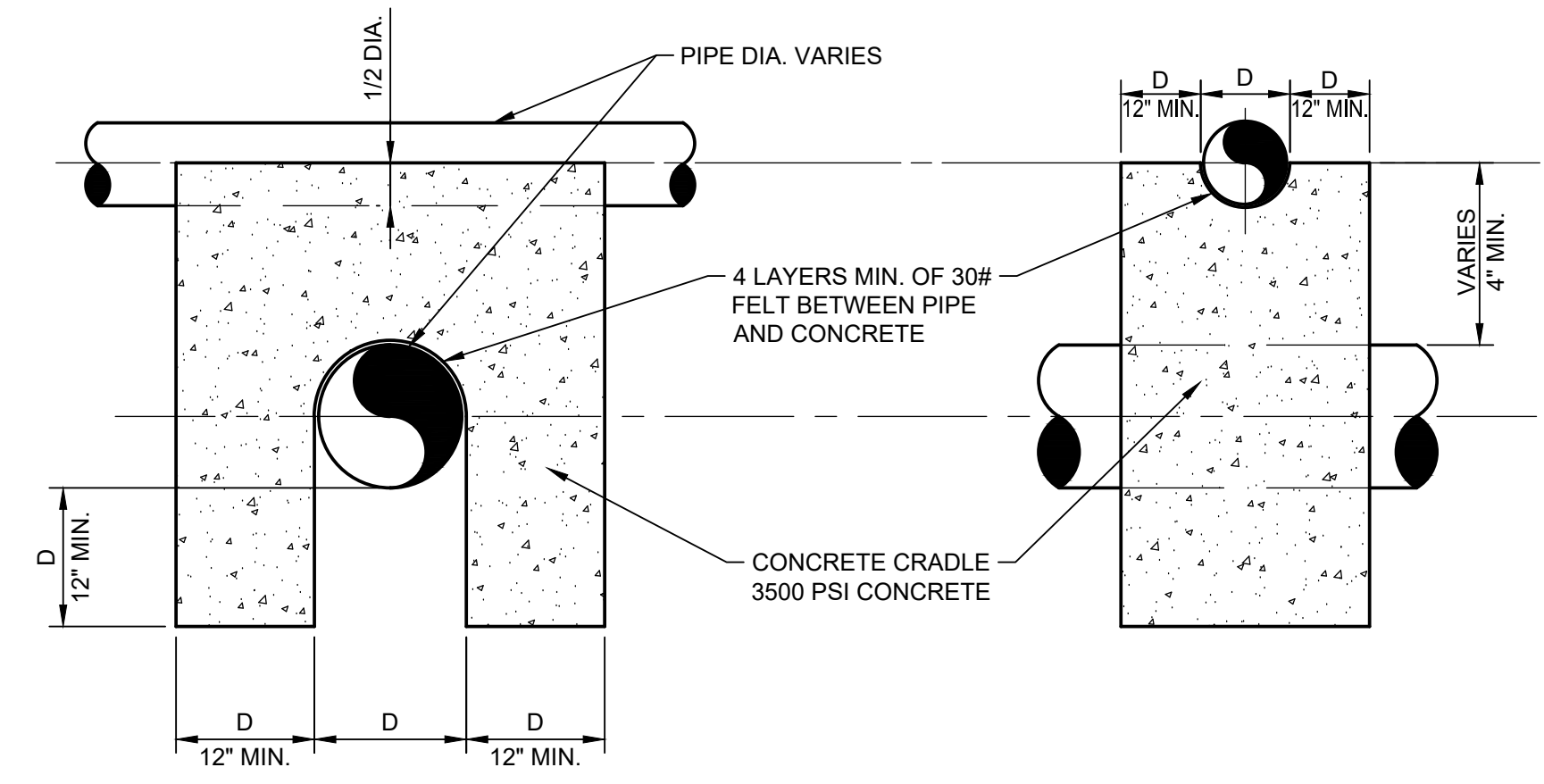
- NOTES:
1. VALVE BOX SHALL NOT REST ON VALVE OR MAIN LINE PIPE.
 2. A VALVE STEM EXTENSION WITH CENTERING RING IS REQUIRED FOR VALVES BURIED DEEPER THAN 6".

GATE VALVE AND BOX



- NOTES:
1. ALL METERS ARE TO BE INSTALLED HORIZONTALLY IN A DRY, CLEAN, SANITARY LOCATION THAT IS READILY ACCESSIBLE. THIS DRAWING IS NOT TO SCALE & IS ONLY A REPRESENTATION OF HOW THE METERS SHOULD BE INSTALLED. THE SECOND METER IS OPTIONAL FOR IRRIGATION USAGE. METERS SHOULD NOT BE INSTALLED IN LINE (ONE RIGHT AFTER THE OTHER).
 2. PROPERTIES DESIGNATED "HIGH HAZARD" PER THE MHOG CROSS CONNECTION RULES MANUAL WILL REQUIRE THE INSTALLATION OF A REDUCED PRESSURE ZONE (RPZ) BACK FLOW PREVENTION DEVICE.

TYPICAL METER HORN INSTALLATION



CONCRETE CRADLE DETAIL
SCALE: NONE



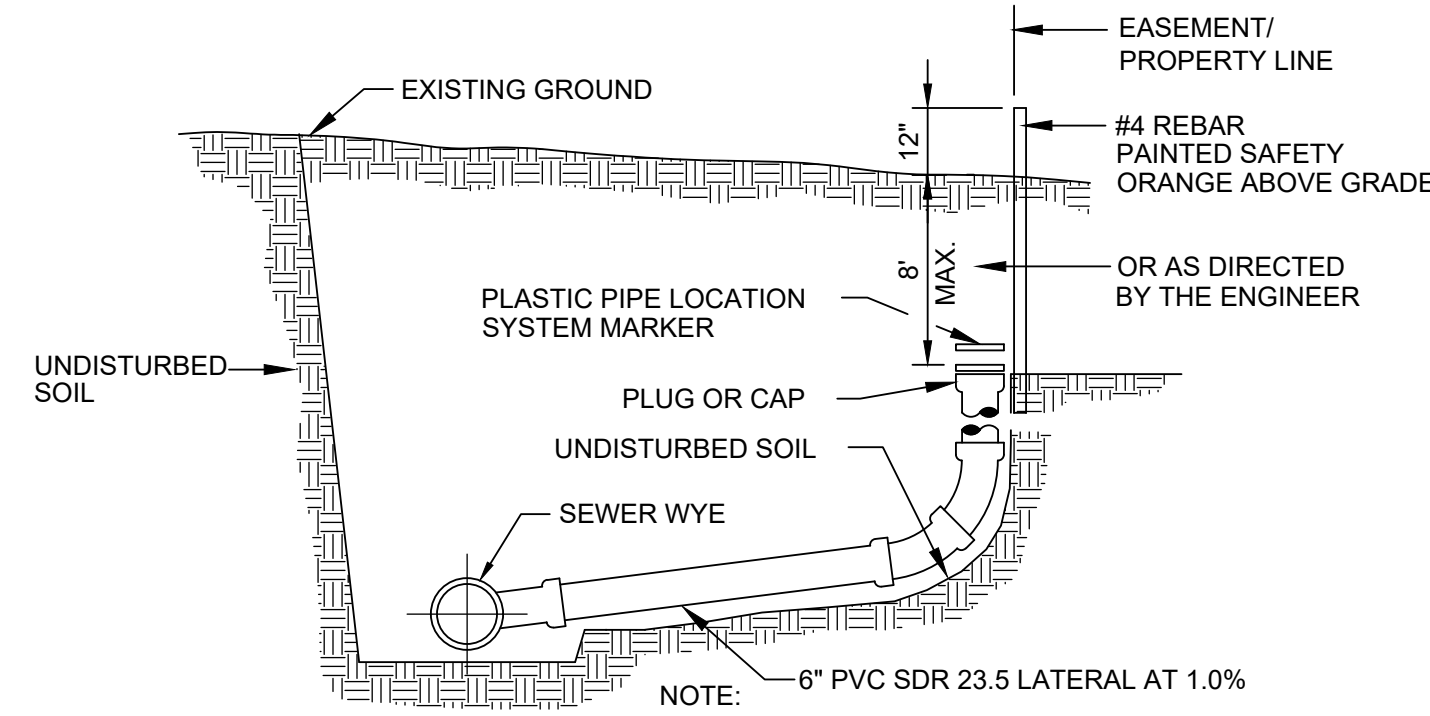
MHOG CASTING DETAIL
NO SCALE



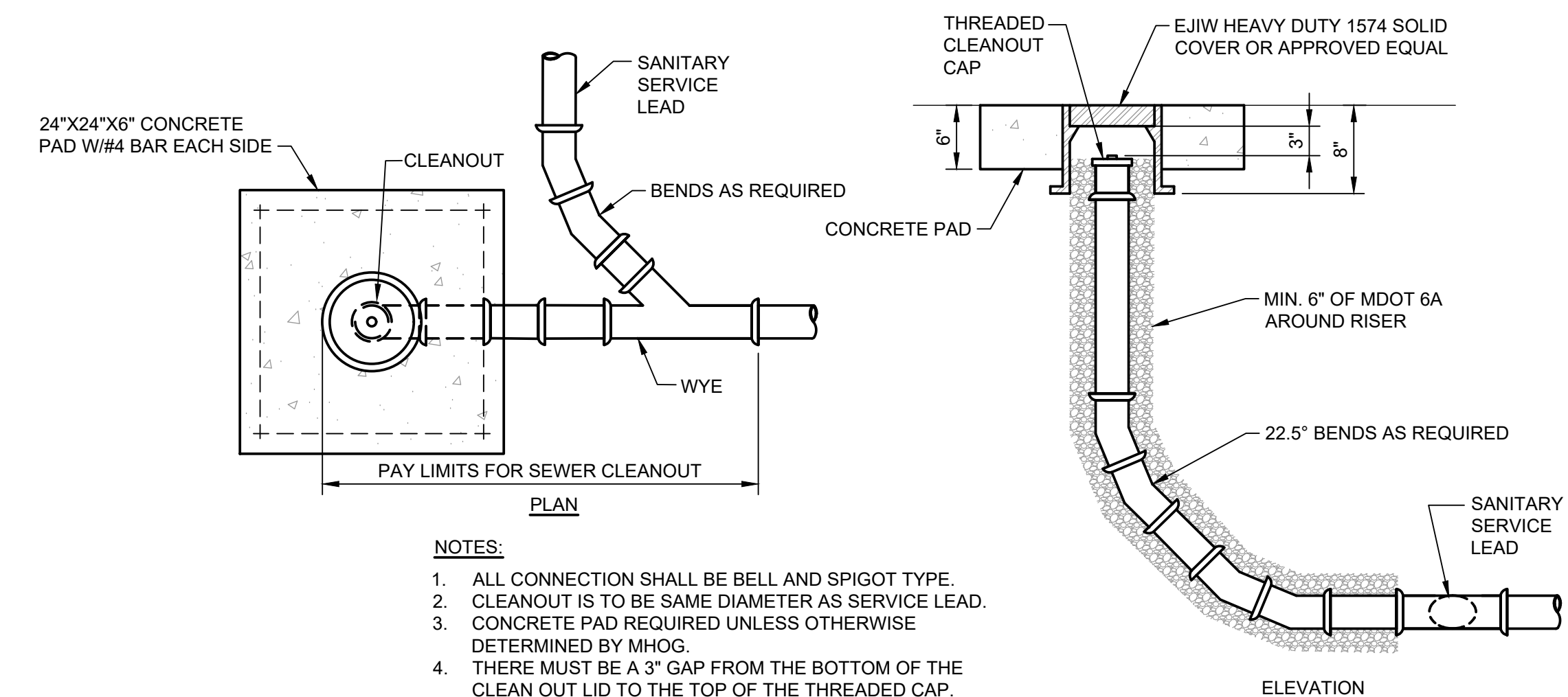
MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

STANDARD DETAILS

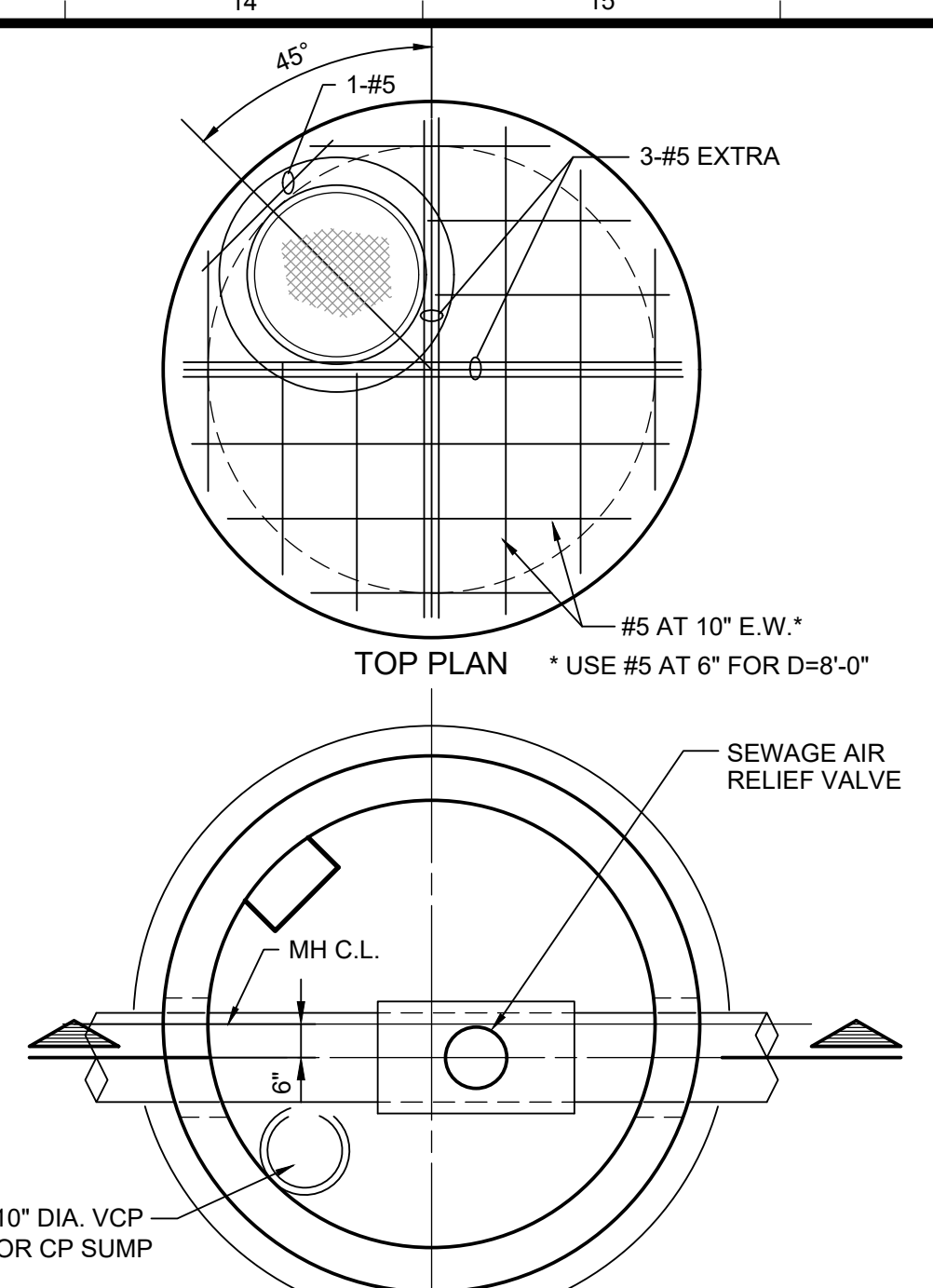
Scale: NONE
 Issued Date: JANUARY - 2014
 UPDATED: MAY 2015
 UPDATED: FEBRUARY 2016
 UPDATED: APRIL 2016
 UPDATED: OCTOBER 2017
 UPDATED: FEBRUARY 2019



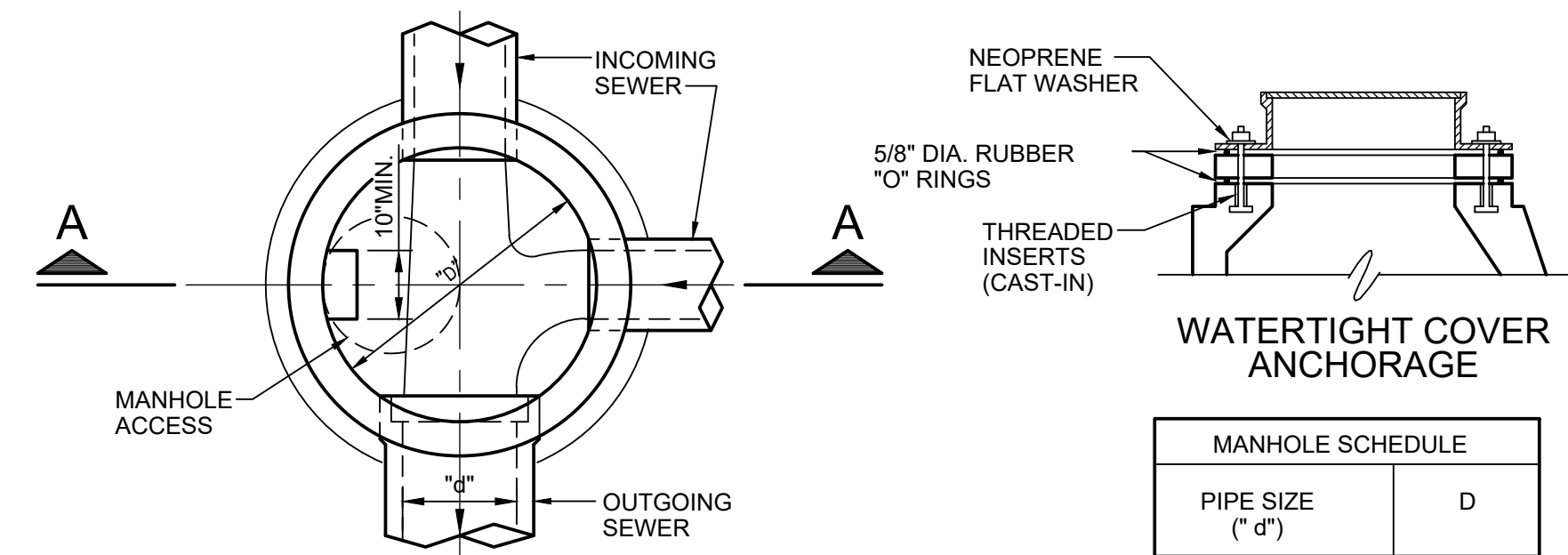
SANITARY SEWER LATERAL



SEWER CLEANOUT DETAIL

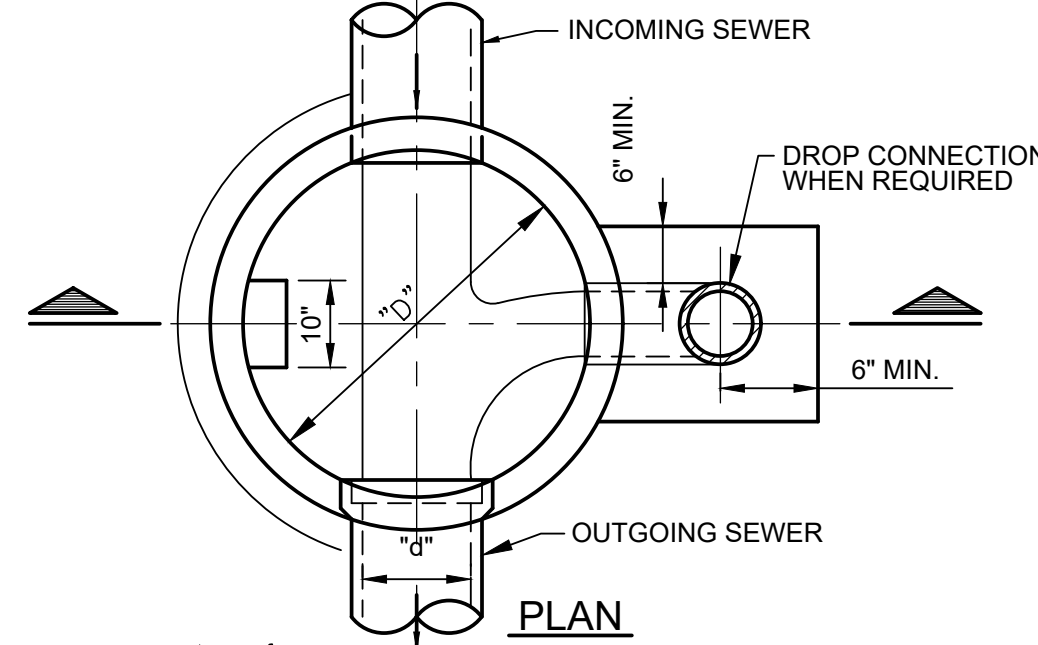


AIR RELIEF STRUCTURE



WATERTIGHT COVER ANCHORAGE

MANHOLE SCHEDULE	
PIPE SIZE ("d")	D
8"-24"	48"
27"-36"	60"
42"-48"	72"
54"	84"



DROP CONNECTION

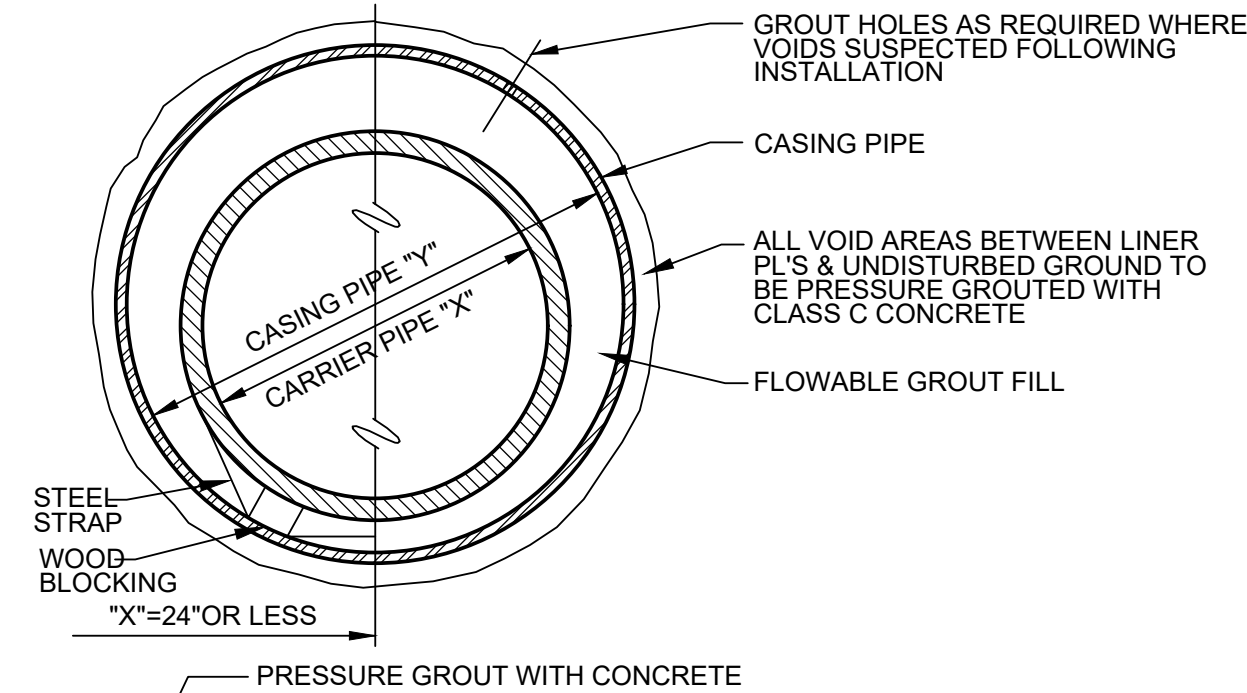
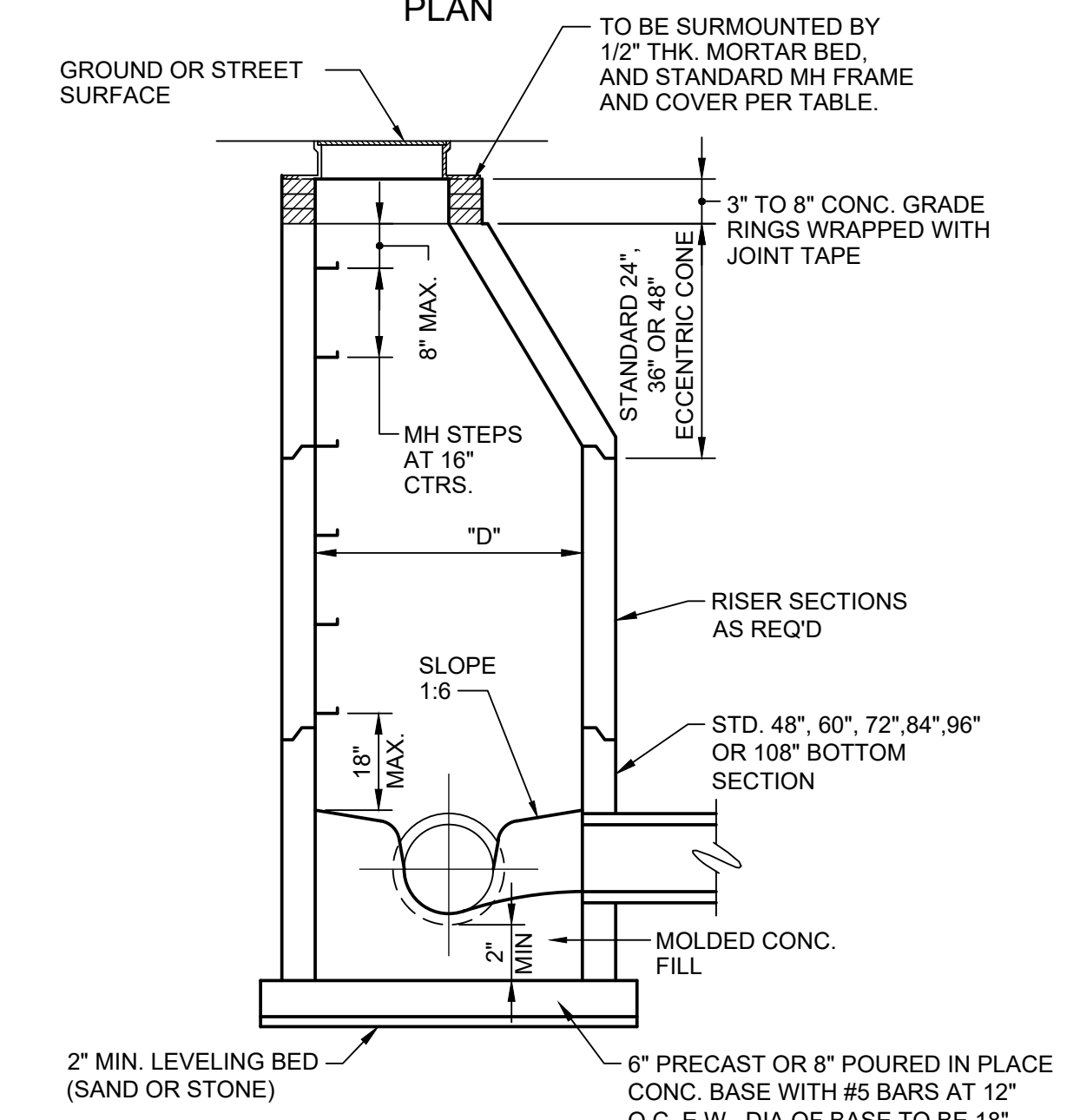


TABLE	
"X"	"Y"(MIN)
6"-8"	20"
10"-12"	24"
14"-15"	30"
18"-21"	36"
24"	42"

CASING PIPE



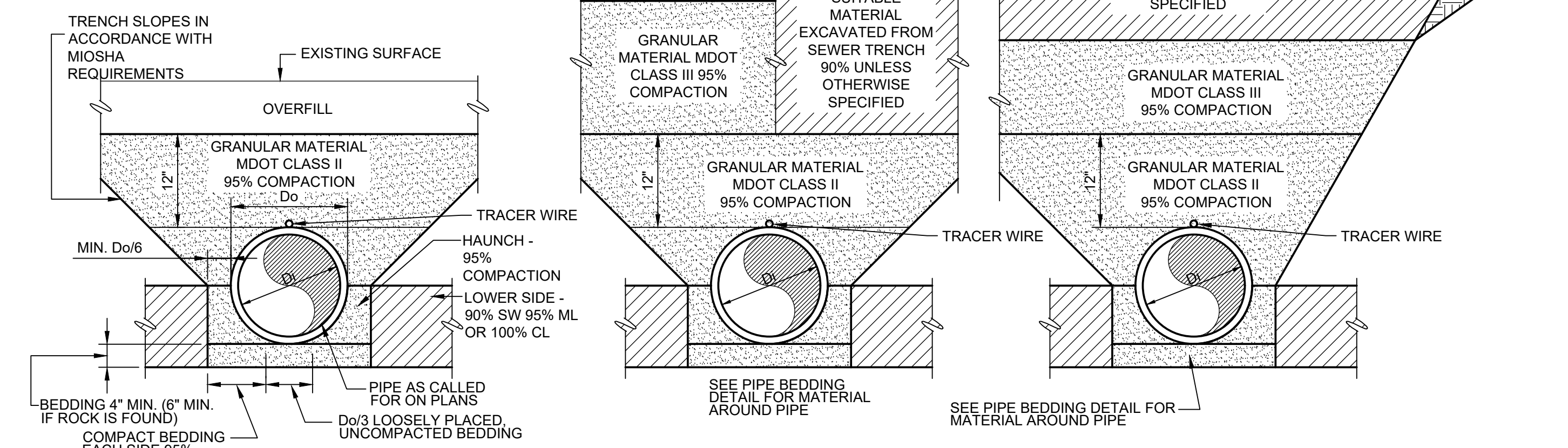
SECTION A-A

- NOTES:
1. ALL SANITARY MANHOLES TO BE PRECAST REINFORCED CONCRETE WITH PREMIUM JOINTS. SEE SPECIFICATIONS FOR BASE SLAB AND PIPE OPENINGS AND CONNECTIONS.
 2. MANHOLE CONES SHALL BE THE ECCENTRIC TYPE.
 3. PROVIDE 6" OF COMPACTED GRANULAR MATERIAL UNDER ALL PRECAST CONCRETE BASE SLVCS.
 4. FORCE MAINS CONNECT DIRECTLY TO A MANHOLE SHALL BE INSTALLED SO THAT THE ELEVATION OF THE PIPE CROWNS MATCH. THE FORCE MAIN SHALL BE DIRECTED DOWNWARD INTO THE FLOW CHANNEL.
 5. FOR SANITARY SEWERS ALL PIPES SHALL ENTER MANHOLE THROUGH RUBBER BOOTED CONNECTION.

FRAME & COVER FOR SANITARY SEWER MANHOLES			
TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL	
		EAST JORDAN	NEENAH
MH	SANITARY - SOLID SELF-SEALING	1040.0000	R-1642
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F
CO	SOLID	1574A	R-1973-A

STANDARD MANHOLE

- NOTES:
1. COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 2. MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE. MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 3. MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
 4. DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 5. UTILITY TRENCHES LOCATED WITHIN A MDOT ROW SHALL CONFORM TO MDOT STANDARD DETAIL R-83.
 6. TRACER WIRE IS REQUIRED ON FORCE MAIN ONLY AND SHALL BE BROUGHT TO GRADE AT A MINIMUM EVERY 1000 FEET IN A APPROVED CAST IRON TRACER WIRE BOX ENCASED IN CONCRETE OR WITH AN APPROVED GREEN MARKER POST.

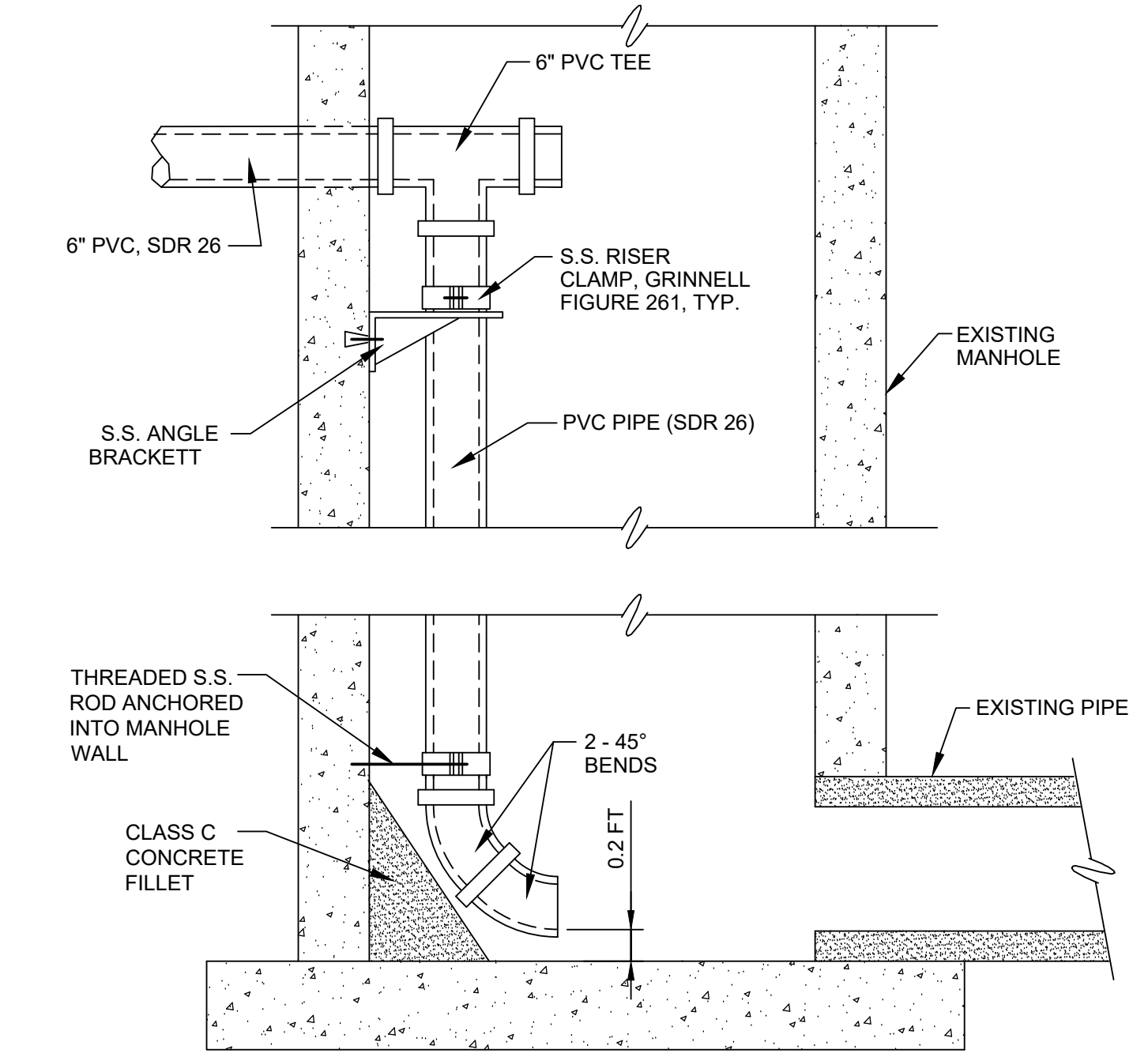


PIPE BEDDING

PIPE UNDER/NOT UNDER DRIVEN SURFACE

PIPE WITHIN INFLUENCE OF DRIVEN SURFACE

TRENCH EXCAVATION & PIPE BEDDING



INTERIOR SEWER LATERAL DROP CONNECTION



MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

STANDARD DETAILS

Scale: NONE
 Issued Date: JANUARY - 2014
 UPDATED: MAY 2015
 UPDATED: FEBRUARY 2016
 UPDATED: APRIL 2016
 UPDATED: OCTOBER 2017
 UPDATED: FEBRUARY 2019

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
August 8, 2022
6:30 P.M.
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Jeff Dhaenens, Marianne McCreary, Glynis McBain, Tim Chouinard and Diana Lowe. Absent was Eric Rauch. Also present was Kelly VanMarter, Community Development Director/Asst. Township Manager, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Lowe, seconded by Commissioner Dhaenens, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC:

The call to the public was made at 6:31 pm with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING # 1.....Consideration of an amendment to the Saint Joseph Mercy Health Planned Unit Development Agreement, final PUD site plan and environmental impact assessment to construct a proposed 186,157 sq. ft. 4-story hospital addition to an existing medical building. The project is located at 7575 Grand River Avenue, north side of Grand River Avenue and west of Bendix Road. The request is petitioned by Trinity Health-Michigan.

- A. Recommendation of Amended and Restated PUD Agreement
- B. Recommendation of Environmental Impact Assessment (dated 3-30-22)
- C. Recommendation of Final PUD site plan (dated 7-20-22)

Ms. Cindy Pozolo, the project manager; Mr. Steven Russo, the transportation engineer; Darin Daguanno, the architect; and Michael Campos, the civil engineer, from The Smith Group, and Mr. Dave Raymond, the Director of Planning for Trinity Health, were present.

Ms. Pozolo stated that the applicant has submitted a revised traffic analysis. Mr. Russo stated this included the proposed multi-unit development near their property, noting that it did not have

a significant impact on traffic. There are no changes that are needed. Secondly, the delays exiting the property on to Grand River between existing and built conditions do increase, but remain within acceptable level of service limits. He noted that the Livingston County Road Commission will be making improvements to Grand River in this area, which will be one cause of the increase in delays.

Ms. Pozolo stated that additional calculations have been submitted regarding the detention basin and storm sewer management plan. She noted that the Livingston County Drain Commissioner has stated the detention pond will not drain into Woodland Lake. They contacted Brighton Township and they advised that they defer all of their reviews to the Livingston County Drain Commissioner. Mr. Campos provided a review of the stormwater management plan. He stated that the LCDC is currently reviewing their submission and they have submitted a permit to EGLE for their wetland permit. No stormwater from their site drains onto any township or county drains. There are also no flood concerns.

Mr. Borden reviewed his letter dated August 2, 2022.

1. The applicant must address the comments put forth by Township staff.
2. The applicant should be prepared to present a building elevation rendering from Grand River, as requested by the Commission. The applicant presented two separate renderings this evening.
3. The findings of the updated traffic impact study are subject to review and comment by the Township Engineer.
4. The applicant must clarify and/or correct the parking calculations on the site plan in relation to those noted in the PUD Agreement.
5. The Commission should consider comments provided by the Township Engineer and Brighton Area Fire Authority.

Ms. Pozolo stated they have submitted revised documents to address these concerns.

Mr. Richard Sundquist, legal counsel for Trinity Health, stated all four of the items raised by the planner this evening have been addressed in the revised PUD Amendment submitted this afternoon. They have indicated the specific building heights, the parking calculations, wetland buffer disturbances and restoration, and the details of the two new monument signs and two building signs.

Ms. Byrne reviewed her letter dated August 3, 2022.

Her items have been addressed. Her letter consisted mostly of information and approvals that are needed.

1. The impact assessment states that the proposed hospital expansion will include 72 beds. This will account for 78.5 residential equivalency units (REU), which comes from the Township's REU table that assigns 1.09 REUs per hospital bed. This number will be used to determine the proposed facility's tap-in fee. The impact assessment also notes

that the hospital will include shell space for an additional 16 beds, which would account for an additional 17.4 REUs.

2. The Petitioner completed a traffic impact study that recommended multiple offsite improvements to keep the existing intersection operating at a similar or better level of service at the current conditions, and recommended the improvements be made regardless of the proposed hospital. Recommended improvements include signal changes at the intersections of Latson Road and eastbound and westbound I- 96 and at the intersection of Latson Road and Grand River Avenue. The study also recommends the widening of the Grand River Avenue and I-96 crossover (near Hilton Road in Brighton) to three lanes. These improvements are something the Township, MDOT, and the City of Brighton should keep in mind
3. At the July 11, 2022, Planning Commission meeting there were concerns about traffic backing up around the on-site 3-way stop intersection, just north of the entrance drive to the site off Grand River Avenue. If outbound site traffic backs up to the intersection it may prohibit inbound traffic from making a left turn, which may cause a backup into Grand River Avenue. The Petitioner should determine if stacking into Grand River Avenue will be an issue, and if so, should come up with a plan to handle this stacking such as signage to prohibit a left turn at said on-site intersection or signage for southbound and eastbound traffic to not block the intersection.
4. A wetland inventory has been completed and added to the plans, and the petitioner is proposing to waive the 25-foot wetland buffer as part of their PUD Agreement. The Petitioner has submitted a Joint Permit Application to EGLE for their proposed wetland impacts and once the EGLE permit has been obtained it should be provided to the township for their records.
5. The Livingston County Drain Commission (LCDC) was asked to review the plans for the proposed hospital. Final Approval from the LCDC should be obtained and provided to the Township prior to final approval. If future reviews from either the LCDC or EGLE cause any major changes to the site plan, the Petitioner may be required to submit for additional review and approval.
6. Detention and storm sewer calculations should be included in the plans rather than being submitted as a separate package.
7. After final site plan approval, the petitioner will need to submit to MHOG Sewer and Water Authority for their approval and permitting of the public water and sanitary sewer improvements.

The Brighton Area Fire Authority's letter dated August 1, 2022 states that all of their previous concerns have been met.

Commissioner McCreary noted the traffic study did not include the potential 240 apartment complex on Latson Road. Mr. Russo stated the revised traffic study includes that proposed complex. Ms. VanMarter stated she has not received the revised traffic study referenced by the petitioner this evening. Mr. Russo reiterated that the apartment complex will not impact the traffic on Grand River. It will slightly increase the delays exiting their property on to Grand River.

Commissioner McBain does not believe it will be this hospital that will cause traffic issues; it will be the recently-approved residential development. Her main concern is how quickly an ambulance can enter the hospital.

Commissioner Dhaenens questioned how many more people will be employed at the new hospital. That will add traffic during shift change. Mr. Raymond stated the hospital is a 24/7 operation and their shifts are staggered so that alleviates issues that occur with a typical shift change.

Commissioner McCreary wants to ensure that there will be no negative impact to the adjacent subdivision with regard to stormwater. Mr. Campos explained what will be done to accommodate the additional impervious surface with the development on the site.

The call to the public was made at 7:30 pm.

Ms. Anita Grapentien of Highway Beach Drive is the president of the Organization of Woodland Lake. The existing lake in Pebble Creek drains into Woodland Lake and she wanted to ensure that no additional runoff will be draining into their lake. Mr. Campos explained the stormwater management plan to Ms. Grapentien.

Mr. Douglas Taylor of 3319 Oak Knoll Drive asked for confirmation that the drainage from this site will enter into the Pebble Creek pond and that there would be no direct drainage into Woodland Lake. Mr. Campos confirmed their development will drain only into the Pebble Creek pond. Mr. Taylor noted that the church across the street uses the hospital parking lot on special occasions and people walk across Grand River. He asked how this will be accommodated during construction. Mr. Raymond stated there is no formal agreement for them to use the parking lot so there will be no accommodations made; however, when they begin construction, the church will be notified. He noted most of the construction will be occurring at the back of the site.

Ms. Mary Durst of 2308 Rolling Rock Road noted that some residents in their subdivision did not receive the notice because they are just outside the 300-foot mailing radius. She asked for clarification on how the applicant will ensure that the additional runoff doesn't end up on their properties. Ms. Campos stated they have submitted their plans to the Livingston County Drain Commission for review and approval. They will be improving the existing stormwater management conditions.

She asked about the additional wastewater that will be generated and if it will increase the odor in their neighborhood. There is a lot of wildlife in that area and this development will push them into their neighborhood. Will there be increased light pollution and will the people in the hospital be able to see into their homes? There will be helicopters coming out of this facility. This will decrease their property values. Her and her neighbors have these concerns.

The call to the public was closed at 7:52 pm.

Commissioner Dhaenens thanked the applicant for revisiting the traffic study and the stormwater management system. He is disappointed that Township staff did not receive the revised information from the applicant.

Moved by Commissioner Dhaenens, seconded by Commissioner Lowe, to recommend to the Township Board approval of the amended and restated PUD Agreement to construct a proposed 186,157 sq. ft. 4-story hospital addition to an existing medical building located at 7575 Grand River Avenue, north side of Grand River Avenue and west of Bendix Road, with the following conditions:

- Building heights shall be provided
- The parking calculations shall be provided
- The wetland buffer information shall be provided
- Stormwater calculations shall be provided
- All signage details shall be provided
- All additional information shall be reviewed and approved by township staff, planner, engineer, and the Brighton Area Fire Authority.

The motion carried unanimously.

Moved by Commissioner Lowe, seconded Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated March 30, 2022 to construct a proposed 186,157 sq. ft. 4-story hospital addition to an existing medical building located at 7575 Grand River Avenue, north side of Grand River Avenue and west of Bendix Road. **The motion carried unanimously.**

Moved by Commissioner Dhaenens, seconded by Commission Chouinard, to recommend to the Township Board approval of the Final PUD site plan dated 7/20/22 to construct a proposed 186,157 sq. ft. 4-story hospital addition to an existing medical building located at 7575 Grand River Avenue, north side of Grand River Avenue and west of Bendix Road, with the following conditions:

- Building heights shall be provided
- The parking calculations shall be provided
- The wetland buffer information shall be provided
- Stormwater calculations shall be provided
- All signage details shall be provided
- All additional information shall be reviewed and approved by township staff, planner, engineer, and the Brighton Area Fire Authority.

The motion carried unanimously.

OPEN PUBLIC HEARING # 2...Discussion and review of a conceptual site plan for 12 attached condominiums and 102 single family homes for the Summerfield Pointe PUD. The property in

question is located on Lawson Drive, north of Grand River Avenue. The request is petitioned by Healy Homes, LLC.

Mr. Jack Healy was present. He reviewed the history of this development. Since he was last before the Planning Commission, he has revised the plans to develop the multi-family homes on the three remaining parcels and then build single-family homes throughout the rest of the development. They will also have separate associations. This addresses the largest concern of the existing residents.

He provided each of the Commissioners with information explaining that it is difficult for people to obtain mortgages for attached condominiums. Fannie Mae will not guarantee the loans on condo projects that are under construction.

Commissioner Dhaenens thanked Mr. Healy for addressing the concerns of the existing residents, and the new proposal is more contiguous with what is currently there.

Chairman Grajek noted that the proposed homes are large on small lots. He asked what demographics are being targeted. Mr. Healy stated they will be building one-story homes for older people and then the two stories that will be for younger people with families. The price point is approximately \$400,000. They will have an association that will maintain the lawn and the landscape beds. He has built developments with these sizes homes and lots and they sell. They are very desirable.

Commissioner McBain stated having a management company responsible for maintaining the grounds will be very difficult for this many properties. She recommended Mr. Healy not do this. Mr. Healy stated that other larger associations have this and the residents like it. She reiterated her concerns regarding the traffic from this development traveling on the roads in the other three attached developments, and those residents will have to pay for the maintenance. She would like to see a shared road maintenance agreement for these different developments. Mr. Healy will do exactly what the Township would like him to do with regard to the connection. Ms. VanMarter stated that connector roads are good planning; however, she understands the concerns raised by Commissioner McBain.

Mr. Borden reviewed his letter dated June 7, 2022. He has not conducted a thorough review of the plans at this time as this is very preliminary.

1. The conceptual plan submitted is intended for discussion at this time. No action is required of the Commission.
2. The approved PUD calls for 140 attached condominium units, beyond what is already constructed.
3. The conceptual plan identifies 12 attached condominium units and 102 detached site condominium units in lieu of the approved PUD.
4. The detached units range in area from 5,934 to 10,717 square feet, with a minimum lot width of 54.5 feet. The smallest lots allowed by conventional zoning are in the MDR

District – 10,000 square feet and 75' lot width. He suggested the applicant prepare a parallel plan based on MDR lot sizes to determine the base density if this was not a PUD.

5. The Commission should consider any comments provided by the Township Engineer and/or Brighton Area Fire Authority.

Ms. Byrne reviewed her letter dated June 8, 2022. She does not have any engineering concerns. Her comments are informational for the applicant.

1. The general road layout for the proposed Summerfield Pointe development is essentially the same as the previously approved version with multi-family units. We have no engineering related concerns with single family units as opposed to multi-family units.
2. After final site plan approval, the petitioner will be required to submit private road construction plans to the Township for review and approval.
3. After final site plan approval, the petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.
4. The petitioner should provide storm sewer and detention calculations for the detention basin on the final site plan for review.

The call to the public was made at 8:29 pm.

Mr. Gary Laundroche of 3649 Summer Ridge is the president of their homeowner's association; however, he is not speaking on behalf of the Board. They had their annual meeting in May, Mr. Healy attended, and the residents spoke with him. Their main concern was having single-family homes in their condominium development. The revised plans were agreed upon by almost all of the residents. He suggests a roundabout be developed and he would like to see the connection road being installed. He would like to see the development completed.

Ms. Jamie Schingeck of 4441 Aster Blvd is concerned with the large trees being removed and how it will remove the sound barrier between their neighborhood and this development.

The call to the public was closed at 8:37 pm.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. VanMarter stated there will be two items on September's meeting agenda.

Approval of the July 11, 2022 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Lowe, to approve the minutes of the July 11, 2022 Planning Commission Meeting as corrected. **The motion carried unanimously.**

Genoa Township Planning Commission
August 8, 2022
Unapproved Minutes

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Commissioner Lowe, seconded by Commissioner Dhaenens, to adjourn the meeting at 8:45 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary