

**GENOA CHARTER TOWNSHIP BOARD**  
**Regular Meeting and Public Hearing**  
**March 21, 2022**  
**6:30 p.m.**

**AGENDA**

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person) \*:

**Consent Agenda:**

1. Payment of Bills: March 21, 2022
2. Request to approve Minutes: March 7, 2022
3. Request for approval of a high-speed voting tabulator in the amount of \$92,695, service and maintenance agreement for five years beginning in year 2027-2032 at \$40,550.00 and a high-speed automatic envelope opener at \$2,920.00 with FORMAX using federal and state grant funding under ARPA at the recommendation of County Clerk Elizabeth Hundley and Township Clerk Polly Skolarus.
4. Request from Paulette Skolarus at the suggestion of the Livingston County Clerk's Office to change Precinct 13 to Precinct 12. In 2019, Precinct 12 was combined with Precinct 7 thus leaving Precinct Numbers not consecutive. Only Precinct numbers will change, not polling locations.

**Regular Agenda:**

5. Public Hearing for the Homestead Drive Road Improvement Special Assessment Project (Summer 2022).
  - A. Call to the Property Owners
  - B. Call to the Public
6. Request for approval of Resolution #3 [approving the project cost estimates, special assessment district and causing the special assessment roll to be prepared] for the Homestead Drive Road Improvement Special Assessment Project. (Summer 2022). Roll Call
7. Request for approval of Resolution #4 [acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices for the Homestead Drive Road Improvement Special Assessment Project (Summer 2022). Roll Call
8. Consideration of a recommendation for approval of a special use application, environmental impact assessment and site plan for a proposed climate-controlled indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road. The request is petitioned by Schafer Construction, Inc.
  - A. Disposition of Special Use Application
  - B. Disposition of Environmental Impact Assessment (2-24-22)
  - C. Disposition of Site Plan (2-24-22)

9. Request for approval of a general appropriations act for funds 101, 202, 208, 212, 249, 401, 464, 532, and 860 for FY 2022-2023 starting April 1, 2022 and ending March 31, 2023. (Roll Call)

10. Request for approval of a contract with the Livingston County Road Commission for limestone resurfacing on King Road from the end of the pavement to Richardson Road at a cost of \$140,000.

11. Request to approve the proposal from Omni Tech Spaces for the purchase of a new Board Room visual display system for \$62, 283.00.

Correspondence  
Member Discussion  
Adjournment

\*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.



CHECK REGISTERS FOR TOWNSHIP BOARD MEETING
--

MEETING DATE: March 21, 2022

All information below through March 16, 2022

TOWNSHIP GENERAL EXPENSES	\$ 1,045,489.61
March 18, 2022 Bi Weekly Payroll	\$ 95,384.84
OPERATING EXPENSES DPW	\$ 206,546.94
OPERATING EXPENSES Oak Pointe	\$ 64,471.08
OPERATING EXPENSES Lake Edgewood	\$ 30,492.08
TOTAL	<u>\$ 1,442,384.55</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
03/03/2022	37309	AMERICAN AQUA	25.00
03/03/2022	37310	CAPITAL ONE	310.46
03/03/2022	37311	DTE ENERGY	27.19
03/03/2022	37312	NETWORK SERVICES GROUP, L.L.C.	50.00
03/03/2022	37313	PERFECT MAINTENANCE CLEANING	565.00
03/03/2022	37314	SMART BUSINESS SOURCE	528.95
03/07/2022	37315	LIVINGSTON COUNTY TREASURER	14,422.69
03/07/2022	37316	CONTINENTAL LINEN SERVICE	127.29
03/07/2022	37317	COOPER'S TURF MANAGEMENT LLC	9,033.00
03/07/2022	37318	DTE ENERGY	1,152.69
03/07/2022	37319	DTE ENERGY	215.87
03/07/2022	37320	OFFICE EXPRESS INC.	154.19
03/07/2022	37321	SMART BUSINESS SOURCE	16.20
03/09/2022	37322	DTE ENERGY	59.12
03/09/2022	37323	GENOA TWP BUILDING & GROUND FND 271	50,000.00
03/09/2022	37324	GENOA TOWNSHIP PARKS & RECREATION	750,000.00
03/09/2022	37325	GIFFELS WEBSTER	6,880.00
03/09/2022	37326	GORDON FOOD SERVICE	478.18
03/09/2022	37327	PACKERLAND RECORDS MANAGEMENT	30.00
03/09/2022	37328	S.E.C.M.A.A.	60.00
03/14/2022	37329	BLUE CROSS & BLUE SHIELD OF MI	46,652.59
03/14/2022	37330	COMCAST	1,343.52
03/14/2022	37331	EHIM, INC	4,756.19
03/14/2022	37332	FEDERAL EXPRESS CORP	56.26
03/14/2022	37333	G/O SWATH	1,250.00
03/14/2022	37334	LAURA GAMBINO	113.63
03/14/2022	37335	LAKESIDE SERVICE COMPANY, INC.	1,107.00
03/14/2022	37336	OAK POINT OPERATING	189.75
03/14/2022	37337	PINE CREEK OPERATING	116.10
03/14/2022	37338	PRINTING SYSTEMS	64.92
03/14/2022	37339	SMART BUSINESS SOURCE	178.00
03/14/2022	37340	TETRA TECH INC	6,425.00
03/14/2022	37341	US BANK EQUIPMENT FINANCE	2,037.41
03/14/2022	37342	VERIZON WIRELESS	432.69
03/14/2022	37343	WASTE MANAGEMENT CORP, SERVICES	114,441.02
03/14/2022	37344	WASTE MANAGEMENT CORP, SERVICES	70.07
03/16/2022	37345	AMERICAN AQUA	25.00
03/16/2022	37346	CONSUMERS ENERGY	632.06
03/16/2022	37347	ETNA SUPPLY COMPANY	11,755.00
03/16/2022	37348	MHOG WATER AUTHORITY	19,600.00
03/16/2022	37349	DEBRA ROJEWSKI	107.57

FNBCK TOTALS:

Total of 41 Checks:	1,045,489.61
Less 0 Void Checks:	0.00
Total of 41 Disbursements:	1,045,489.61

PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP

Payroll ID: 205

Pay Period End Date: 03/11/2022 Check Post Date: 03/18/2022 Bank ID: FNBCK

\* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks

Gross Pay This Period	Deduction Refund	Ded. This Period	Net Pay This Period	Gross Pay YTD	Dir. Dep.
94,845.96	0.00	27,882.60	66,963.36	588,391.11	66,963.36

Check Register Report For Genoa Charter Township  
For Check Dates 03/18/2022 to 03/18/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
03/18/2022	FNBCK	EFT657	FLEX SPENDING (TASC)	807.30	807.30	0.00	Open
03/18/2022	FNBCK	EFT658	INTERNAL REVENUE SERVICE	22,503.59	22,503.59	0.00	Open
03/18/2022	FNBCK	EFT659	PRINCIPAL FINANCIAL	3,526.00	3,526.00	0.00	Open
03/18/2022	FNBCK	EFT660	PRINCIPAL FINANCIAL	1,584.59	1,584.59	0.00	Open

<b>Totals:</b>			Number of Checks: 004	28,421.48	28,421.48	0.00	
Total Physical Checks:							
Total Check Stubs:			4				

NET PAY THIS PERIOD       \$66,963.36  
 PHYSICAL CHECK AMOUNT   \$28,421.48  
 TOTAL                       \$95,384.84

Check Date	Check	Vendor Name	Amount
<b>Bank 503FN DPW-UTILITIES #233</b>			
03/02/2022	5474	MWEA	750.00
03/03/2022	5475	MI. DEPT OF EGLE	80.00
03/03/2022	5476	STATE OF MICHIGAN	52.00
03/04/2022	5477	UNITED STATES POSTAL SERVICE	125.63
03/10/2022	5478	PORT CITY COMMUNICATIONS, INC.	194.36
03/10/2022	5479	TRACTOR SUPPLY CO.	403.85
03/14/2022	5480	CHASE CARD SERVICES	3,738.11
03/14/2022	5481	DPW RESERVE FUND #504	40,000.00
03/14/2022	5482	DPW RESERVE FUND #504	1,000.00
03/14/2022	5483	G/O NEW USER FUND	90,962.00
03/14/2022	5484	GENOA TOWNSHIP	25,670.00
03/14/2022	5485	GENOA TOWNSHIP	32,525.00
03/14/2022	5486	WINDSTREAM	46.28
03/15/2022	5487	ABE'S AUTO GLASS, INC.	45.00
03/15/2022	5488	ADVANCE AUTO PARTS	142.63
03/15/2022	5489	AUTO-LAB OF LIVINGSTON	64.27
03/15/2022	5490	CORRIGAN OIL COMPANY	1,587.13
03/15/2022	5491	MICHIGAN OFFICE SOLUTIONS	89.87 V
Void Reason: PAID ALREADY WITH GENOA TWP			
03/15/2022	5492	RED WING BUSINESS ADVANTAGE ACCOUNT	225.00
03/15/2022	5493	TETRA TECH INC	3,847.50
03/15/2022	5494	UNITED STATES POSTAL SERVICE	74.04
03/15/2022	5495	USA BLUEBOOK	226.02
03/15/2022	5496	VERIZON WIRELESS	702.53
03/15/2022	5497	VICTORY LANE QUICK OIL CHANGE	49.23
03/15/2022	5498	WEX BANK	4,036.36
<b>503FN TOTALS:</b>			
Total of 25 Checks:			206,636.81
Less 1 Void Checks:			89.87
Total of 24 Disbursements:			206,546.94

Check Date	Check	Vendor Name	Amount
<b>Bank 592FN OAK POINTE OPERATING FUND #592</b>			
03/07/2022	5484	DTE ENERGY	2,544.31
03/08/2022	5485	DTE ENERGY	312.93
03/08/2022	5486	DTE ENERGY	3,244.20
03/14/2022	5487	AT&T LONG DISTANCE	56.51
03/14/2022	5488	BRIGHTON ANALYTICAL LLC	220.00
03/14/2022	5489	OAK POINTE NEW USER FUND	864.73
03/15/2022	5490	AMERICAN AQUA	999.00
03/15/2022	5491	AT&T	144.56
03/15/2022	5492	DETROIT PUMP & MFG. CO.	7,311.94
03/15/2022	5493	GENOA TOWNSHIP D.P.W. FUND	23,409.94
03/15/2022	5494	GENOA TOWNSHIP DPW FUND	19,850.01
03/15/2022	5495	HAVILAND PRODUCTS COMPANY	1,350.00
03/15/2022	5496	HYDROCORP	226.87
03/15/2022	5497	KENNEDY INDUSTRIES	577.00
03/15/2022	5498	NORTHERN PUMP & WELL	750.00
03/15/2022	5499	PRECISION CLIMATE SERVICES INC.	609.53
03/15/2022	5500	USA BLUEBOOK	1,999.55
<b>592FN TOTALS:</b>			
Total of 17 Checks:			64,471.08
Less 0 Void Checks:			0.00
Total of 17 Disbursements:			64,471.08

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
03/08/2022	4100	BRIGHTON ANALYTICAL LLC	67.00
03/08/2022	4101	DTE ENERGY	4,082.68
03/14/2022	4102	BRIGHTON ANALYTICAL LLC	67.00
03/14/2022	4103	CONSUMERS ENERGY	587.28
03/14/2022	4104	LAKE EDGEWOOD RESERVE	10,000.00
03/15/2022	4105	BRIGHTON ANALYTICAL LLC	67.00
03/15/2022	4106	GENOA TOWNSHIP D.P.W. FUND	12,144.33
03/15/2022	4107	HARTLAND SEPTIC SERVICE, INC.	2,400.00
03/15/2022	4108	MICHIGAN CAT	623.79
03/15/2022	4109	UIS SCADA	453.00

593FN TOTALS:

Total of 10 Checks:	30,492.08
Less 0 Void Checks:	0.00
Total of 10 Disbursements:	<u>30,492.08</u>

503FN	\$206,546.94
592FN	\$ 64,471.08
593FN	<u>\$ 30,492.08</u>
<b>TOTAL</b>	<b>\$301,510.10</b>



April 2022						
S	M	T	W	T	F	S
27	28	29	30	31	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
1	2	3	4	5	6	7

New Balance  
**\$3,738.11**  
 Minimum Payment Due  
**\$40.00**  
 Payment Due Date  
**04/01/22**

### INK CASH(SM) POINT SUMMARY

Previous points balance	19,744
+ 1 Point per \$1 earned on all purchases	3,739
+ 2Pts/\$1 gas stns, rstrnts, ofc sply, hm impr	151
<b>Total points available for redemption</b>	<b>23,634</b>

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to [www.chase.com](http://www.chase.com)

### ACCOUNT SUMMARY

Account Number	[REDACTED]
Previous Balance	\$1,830.18
Payment, Credits	-\$1,830.18
Purchases	+\$3,738.11
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
<b>New Balance</b>	<b>\$3,738.11</b>
Opening/Closing Date	02/08/22 - 03/07/22
Credit Limit	\$36,500
Available Credit	\$32,761
Cash Access Line	\$1,825
Available for Cash	\$1,825
<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>

ENTERED MAR 14 2022

ALL SYS- 233-000-084-990  
 UTILITY DEPT.

MAR 11 2022

RECEIVED

*[Handwritten signature]*  
 3/11/22





# ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
02/24	HARBOR FREIGHT TOOLS 630 HOWELL MI <i>DPW tools</i>	75.21 ✓
03/02	EGLE DW TRAIN AND CERT 517-7533850 MI <i>DPW prof dev.</i> DAVE ESTRADA TRANSACTIONS THIS CYCLE (CARD 4124) \$145.21	70.00 ✓
02/17	GEORGE INSTRUMENT 248-280-1111 MI <i>MHO G</i>	1,813.50 ✓
02/18	GEORGE INSTRUMENT 248-280-1111 MI <i>MHO G</i>	36.40 ✓
02/22	NORTHSTOCK, INC. 877-301-4660 MA <i>MHO G</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$2271.76	421.86 ✓
02/11	AUTOMATIONDIRECT.COM 770-889-7588 GA <i>LO</i>	52.74 ✓
02/18	RAM METER 248-648-3592 MI <i>LO</i>	286.03 ✓
03/02	FACTORY SUPPLY OUTLET 310-892-7347 CA <i>to OPS</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$990.65	651.88 ✓
02/18	Payment ThankYou Image Check	-1,830.18
02/10	AMZN Mktg US*YS4OK2Zl3 Amzn.com/bill WA <i>DPW - supplies</i>	9.99 ✓
02/10	Amazon.com*C88QB7EN3 Amzn.com/bill WA <i>DPW - supplies</i>	6.97 ✓
02/10	LOGMEIN*GoToConnect logmein.com MA <i>MHO G</i>	248.18 ✓
03/04	RINGCENTRAL INC. 888-898-4591 CA <i>DPW phone</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$1499.69- INCLUDING PAYMENTS RECEIVED	65.35 -

2022 Totals Year-to-Date	
Total fees charged in 2022	\$0.00
Total interest charged in 2022	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

# INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
<b>PURCHASES</b>			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
<b>CASH ADVANCES</b>			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
<b>BALANCE TRANSFERS</b>			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

28 Days in Billing Period

(v) = Variable Rate  
 (d) = Daily Balance Method (including new transactions)  
 (a) = Average Daily Balance Method (including new transactions)  
 Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

draft

**GENOA CHARTER TOWNSHIP BOARD  
Regular Meeting and Public Hearing  
March 7, 2022**

**MINUTES**

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and five persons in the audience.

A Call to the Public was made with the following response: John Palmer – I live on Black Oak Trail. Four times in the past year we have not had our refuse picked up and recycling is missed regularly. John Scharf – I live in Webster Township and am considering running for 48<sup>th</sup> district State Rep and I wanted to introduce myself to the Township Board.

**Consent Agenda:**

Moved by Ledford and supported by Lowe to approve the payment of bills and move the Minutes to the Regular Agenda for further discussion. The motion carried unanimously.

1. Payment of Bills: March 7, 2022

**Regular Agenda:**

Moved by Mortensen and supported by Lowe to approve for action all items listed under the Regular Agenda in addition to the Minutes of February 21, 2022. The motion carried unanimously.

2. Request to approve Minutes: February 21, 2022

Moved by Ledford and supported by Hunt to approve the minutes of the Feb. 21, 2022 meeting with the following changes: Under member discussion changing the word “embarrassed” to “uncomfortable”; under Hunt changing “if” to “is”. The corrected minutes were voted and carried unanimously.

**3. Request for approval of Resolution #1 (to proceed with the project and direct preparation of the plans and cost estimates) for the Homestead Drive Road Improvement Project.**

Moved by Hunt and supported by Croft to approve Resolution #1 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.



**4. Request for approval of Resolution #2 (to approve the project, schedule the first hearing, and direct issuance of statutory notices) for the Homestead Drive Road Improvement Project, correcting the project cost to \$146,132.**

Moved by Lowe and supported by Mortensen to approve Resolution #2, as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

**5. Request for approval of budget amendments for FY 2021/2022.**

Moved by Hunt and supported by Croft to approve budget amendments for the General Fund #101 for the fiscal year ending March 31, 2022 as requested, correcting Rogers compensation to read \$60,455.00. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

Moved by Hunt and supported by Lowe to approve budget amendments for 2022/2023 the following funds: (264)-202 – SAD’s Roads/Lakes, (270)-208 – Parks and Recreation, 212 Liquor Law, (271)-249 Buildings and Grounds, (261)-401 Capital Projects. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

**6. Public hearing and review of budgets for funds 101, 202, 208, 212, 249, 401, 464, 532, and 860.**

**A. A Call to the Public** was made with the following response: Greg Wicklund - Waste Management has major issues. For six weeks there was no pickup. Low hanging wires was their excuse. Polly Skolarus – I too have been having trouble with Waste Management. I have called them eight times during the past couple months because they do not pick up either the recycling or refuse. A few months ago, there was a toilet, a mattress and one of my neighbors paid \$40.00 for a special pickup.

**B. Board Discussion:** The board acknowledged their concern. The matter can be reviewed when the contract expires.

**C. Disposition of salaries for elected officials.**

**1. Supervisor, Clerk and Treasurer**

Moved by Mortensen and supported by Skolarus to approve a 5% salary increase for the Supervisor and Treasurer, and per diems for the Planning Commission, Zoning Board of Appeals and Board of Review. The motion carried unanimously.

**2. Per Diems for Planning Commission, Township Board, Zoning Board of Appeals, and Board of Review.**

Action taken under Item 1.

**D. Disposition of \$3.00 increase in refuse collection and disposal to be levied on the December 2022 tax bill.**

Moved by Skolarus and supported by Lowe to approve a \$3.00 increase in refuse collection to be included on the winter 2022 tax. The motion carried unanimously.

**E. Disposition of the FY 2022-2027 Capital Improvement Program.**

Archinal – I have a couple changes: 1. The Senior Survivor Park contribution for site work has changed \$110,000 to \$139,300. 2. This contribution will leverage a total improvement value of \$776,600. Changes have been made to the CIP. With regard to roads we have contracts with Crooked Lake pave and re-pave, Hacker, and King.

Moved by Hunt and supported by Skolarus to approve the CIP with changes as discussed. The motion carried unanimously.

**7. Request for approval of a high-speed voting tabulator in the amount of \$92,695, service and maintenance agreement for five years beginning in year 2027-2032 at \$40,550.00 and a high-speed automatic envelope opener at \$2,920.00 with FORMAX using federal and state grant funding under ARPA (464) at the recommendation of County Clerk Elizabeth Hundley and Township Clerk Polly Skolarus.**

Moved by Skolarus and supported by Lowe to postpone discussion until the next regular meeting of the board until a determination can be made with regard to the six to ten-year maintenance program. The motion carried unanimously.

**8. Request by Skolarus to appoint Terry Croft to the Election Commission with a term ending November 2023.**

Ledford – Could I ask why? Skolarus – In reference to your comment a year ago “I do not want to be involved in this type of scandal. There was no scandal, and there has been no court decision and it won’t be decided until April 22, 2022. I am recommending Terry Croft and Diana Lowe. Ledford – I don’t remember resigning. I am on the Election Commission but not until such time as the court case is resolved. Rogers – I have not seen a formal resignation letter. If this was to go forward and you are not allowed to do anything with regard to elections, why is this request coming from you? I would say that is illegal. Second, wouldn’t we have to remove someone first in a vote? Hunt- I do not believe that you can make this request at this time. Seward – I do not have the letter from the State at this time and that you should stay away from this. I will wait until after the trial on April 22. The Deputy Clerk will chair that meeting. Rogers - A resignation or a vote must be made to remove someone from the committee.

Moved by Skolarus and supported by Lowe to remove item 8 from the agenda. The motion carried unanimously.

**9. Request for approval of reconstruction and paving of approximately 2.05 miles of Crooked Lake Road from Latson Road to Dorr Road at a total cost of \$3,424,336.00 with the Township paying a cost not to exceed \$1,712,168.00 and the Livingston County Road Commission paying the balance.**

Moved by Mortensen and supported by Croft to approve the construction cost not to exceed \$1,712,168.00 for construction of Crooked Lake Road as requested. The motion carried unanimously.

**10. Request for approval of milling and repaving approximately 1.95 miles of Hacker Road from Clark Lake Road to Golf Club Road at a cost of \$820,000.00 with the Township paying a cost not to exceed \$365,000 and the Livingston County Road Commission and Brighton Township paying the balance.**

Moved by Lowe and supported by Mortensen to approve the contract with the Livingston County Road Commission for construction of Hacker Road not to exceed \$365,000.00 as requested. The motion carried unanimously.

Correspondence:

- Letters from Charter Communications with regard to changes in the lineup and reductions in cost for unreturned equipment.
- A request for a class C and 8SDM license for Tap-Ins to be located at 4444 E. Grand River, Howell.
- A letter from the Livingston County Drain Office scheduling a meeting March 15, 2022.
- SEMCOG release of a community profile for Genoa Charter Township.

Moved by Hunt and supported by Mortensen to adjourn the regular and public hearing of the board at 7:40 p.m. The motion carried unanimously.

Paulette Skolarus, Clerk  
Genoa Charter Township

Bill Rogers, Supervisor  
Genoa Charter Township

**Resolution No. 3–Homestead Drive Road Improvement Project  
Special Assessment Project (Summer 2022)**

**Genoa Charter Township**

At a regular meeting of the Township Board of Genoa Charter Township, Livingston County, Michigan, (the "Township") held at the Township Hall on March 21, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by        and seconded by        :

**Resolution Approving Project, Cost Estimates, Special Assessment District and Causing the  
Special Assessment Roll to be Prepared**

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township;

WHEREAS, the Township Board has tentatively determined to proceed with the Project as described in Exhibit A and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, The Board of Trustees of the Township has declared its intention to make the improvement and tentatively designated the special assessment district against which the cost of the improvement Homestead Drive Road Improvement Project 2022 is to be assessed as described in Exhibit B.

WHEREAS, on March 21, 2022 a public hearing was held to hear any objections to the Homestead Drive Road Improvement Project (Summer 2022) and to the special assessment district and notice of the hearing was provided pursuant to the requirements of Act No 188, Michigan Public Acts of 1954, as amended;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board approves the completion of the Project and approves the plans and cost estimates for the Project, which are on file with the Township Manager and which are identified as "Plans and Cost Estimates for the Homestead Drive Road Improvement Special Assessment Project (Summer 2022)."

2. The Township Board approves the sufficiency of the Petition for the improvement.

3. The Township Board determines that the Special Assessment District for the Project shall consist of the parcels identified in Exhibit B. The term of the Special Assessment District shall be for ten-years.

4. The Township Board has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

5. The Township Supervisor is directed to prepare the Special Assessment Roll for the Special Assessment District identified in Exhibit B. The Special Assessment Roll shall describe all the parcels of land to be assessed with the names of the respective record owners of each parcel, if known, and the total amount to be assessed against each parcel of land. When the Township Supervisor completes the Special Assessment Roll, he shall affix his certificate to the roll stating that the roll was made pursuant to a resolution of the Township Board adopted on a specified date, and that in making the assessment roll the supervisor, according to his or her best judgment, has conformed in all respects to the directions contained in the resolution and the statutes of the State of Michigan.

6. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

#### CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the March 21, 2022 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

---

Paulette A. Skolarus, Genoa Charter Township Clerk

**EXHIBIT A**

**HOMESTEAD DRIVE ROAD IMPROVEMENT PROJECT (SUMMER 2022)  
DESCRIPTION OF PROJECT  
A TEN-YEAR SPECIAL ASSESSMENT DISTRICT  
WITH PROJECTED COSTS AS FOLLOWS:**

- Total cost of the project: \$149,673
- Total parcels: 61
- Homeowners representing over 50% of property have signed petitions
- Total amount per parcel: \$2,453.66

HOMESTEAD ROAD 2022	
PROJECT COST*	\$86,673
ADMIN.	\$2,000
TWP. CONTRIB.	\$0
MAINTENANCE**	\$61,000
TOTAL	\$149,673
INTEREST %	2
PROPERTIES	61

\*Per D & H Asphalt Estimate dated 8/6/21

\*\* \$100 per parcel per year

	YEAR	PAYMENT	TO INTEREST	TO PRINCIPAL	OUTSTANDING
1	2022	\$294.44	\$49.07	\$245.37	\$2,208.29
2	2023	\$289.53	\$44.17	\$245.37	\$1,962.92
3	2024	\$284.62	\$39.26	\$245.37	\$1,717.56
4	2025	\$279.72	\$34.35	\$245.37	\$1,472.19
5	2026	\$274.81	\$29.44	\$245.37	\$1,226.83
6	2027	\$269.90	\$24.54	\$245.37	\$981.46
7	2028	\$264.99	\$19.63	\$245.37	\$736.10
8	2029	\$260.09	\$14.72	\$245.37	\$490.73
9	2030	\$255.18	\$9.81	\$245.37	\$245.37
10	2031	\$250.27	\$4.91	\$245.37	\$0.00
		\$2,723.56	\$269.90	\$2,453.66	

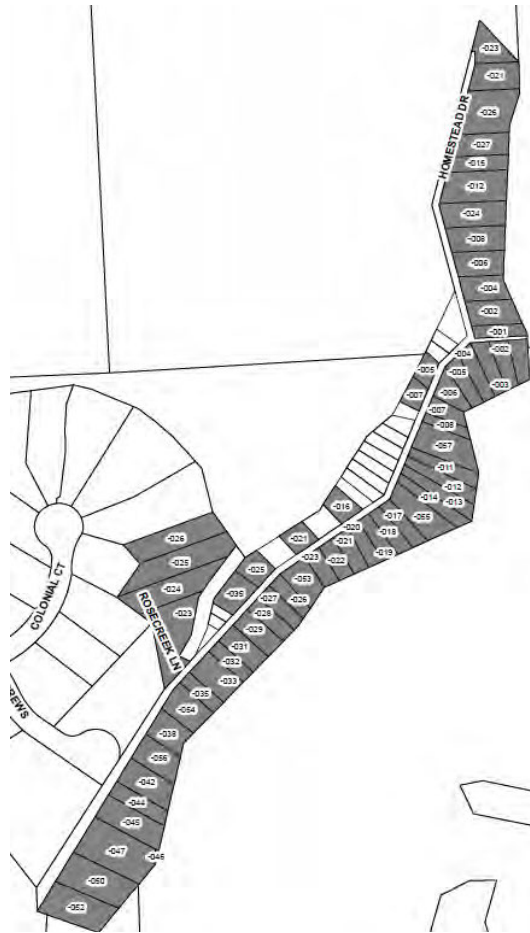
The project (the “Project”) will consist of:

- Pulverize existing asphalt and haul away
- Enhance existing aggregate base with pulverized material as needed to maintain proper grade
- Fine grade and compact
- Pave with 2-inches compacted bituminous 13A asphalt
- Pave with 2-inches compacted bituminous 36A asphalt
- Stripe Road
- Road Maintenance including but limited to crack sealing and snow removal

## EXHIBIT B

The Project (Homestead Drive Road Improvement Summer 2022) is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included) and includes the specific properties that are identified by the following permanent parcel numbers:

11-21-401-001	11-21-401-002	11-21-401-004	11-21-401-006
11-21-401-008	11-21-401-012	11-21-401-015	11-21-401-021
11-21-401-023	11-21-401-024	11-21-401-026	11-21-401-027
11-28-100-023	11-28-100-024	11-28-100-025	11-28-100-026
11-28-200-002	11-28-201-001	11-28-201-002	11-28-201-003
11-28-201-004	11-28-201-005	11-28-201-006	11-28-201-011
11-28-201-012	11-28-201-013	11-28-201-014	11-28-201-017
11-28-201-018	11-28-201-019	11-28-201-020	11-28-201-021
11-28-201-022	11-28-201-023	11-28-201-026	11-28-201-027
11-28-201-028	11-28-201-029	11-28-201-031	11-28-201-032
11-28-201-033	11-28-201-035	11-28-201-038	11-28-201-042
11-28-201-044	11-28-201-045	11-28-201-047	11-28-201-050
11-28-201-052	11-28-201-053	11-28-201-054	11-28-201-055
11-28-201-056	11-28-201-057	11-28-201-058	11-28-202-005
11-28-202-007	11-28-202-016	11-28-202-021	11-28-202-025
11-28-202-035			



**Resolution No. 4 – Homestead Drive Road Improvement Project (Summer 2022)**

**Genoa Charter Township**

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the “Township”) held at the Township Hall on March 21, 2022, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by      and supported by

**Resolution Acknowledging the Filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of Statutory Notices**

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Homestead Drive Road Improvement Project (2022) within the Township as described in Exhibit A (the “Project”); in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled “Special Assessment Roll for the Homestead Drive Road Improvement Project (Summer 2022)” (Exhibit B) and has filed the Proposed Roll with the Township Manager and Township Clerk;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board acknowledges that the Township Supervisor has filed the Proposed Roll with the Township Manager and Township Clerk.
2. The Township Board acknowledges that the Township Supervisor has certified that (a) the Proposed Roll was prepared in accordance with the direction of the Township Board and (b) the Proposed Roll was prepared in accordance with the laws of the State of Michigan. (Exhibit C)
3. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing to review and hear objections on the Proposed Roll.
4. The second public hearing will be held on April 4, 2022 at 6:30 p.m. at the offices of Genoa Charter Township, Livingston County, Michigan.
5. The Township Manager is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the last Township tax assessment records. The last Township tax assessment records means the last assessment roll for ad valorem tax purposes which has been reviewed by the Township Board of Review, as supplemented by any subsequent changes in the names or addresses of such owners or



parties listed thereon. The notice to be mailed by the Township Manager shall be similar to the notice attached as Exhibit D and shall be mailed by first class mail on or before March 22, 2022. Following the mailing of the notices, the Township Manager shall complete the affidavit of mailing similar to the affidavit set forth in Exhibit E.

6. The Township Manager is directed to publish a notice of the public hearing in the Livingston County Daily Press & Argus, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before March 25, 2022 and April 1, 2022. The notice shall be in a form substantially similar to the notice attached as Exhibit D.

7. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the March 21, 2022 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

---

Paulette A. Skolarus, Clerk  
Genoa Charter Township

**EXHIBIT A**

**HOMESTEAD DRIVE ROAD IMPROVEMENT PROJECT (SUMMER 2022)  
DESCRIPTION OF PROJECT  
A TEN-YEAR SPECIAL ASSESSMENT DISTRICT  
WITH PROJECTED COSTS AS FOLLOWS:**

- Total cost of the project: \$149,673
- Total parcels: 61
- Homeowners representing over 50% of property have signed petitions
- Total amount per parcel: \$2,453.66

HOMESTEAD ROAD 2022	
PROJECT COST*	\$86,673
ADMIN.	\$2,000
TWP. CONTRIB.	\$0
MAINTENANCE**	\$61,000
TOTAL	\$149,673
INTEREST %	2
PROPERTIES	61

\*Per D & H Asphalt Estimate dated 8/6/21

\*\* \$100 per parcel per year

	YEAR	PAYMENT	TO INTEREST	TO PRINCIPAL	OUTSTANDING
1	2022	\$294.44	\$49.07	\$245.37	\$2,208.29
2	2023	\$289.53	\$44.17	\$245.37	\$1,962.92
3	2024	\$284.62	\$39.26	\$245.37	\$1,717.56
4	2025	\$279.72	\$34.35	\$245.37	\$1,472.19
5	2026	\$274.81	\$29.44	\$245.37	\$1,226.83
6	2027	\$269.90	\$24.54	\$245.37	\$981.46
7	2028	\$264.99	\$19.63	\$245.37	\$736.10
8	2029	\$260.09	\$14.72	\$245.37	\$490.73
9	2030	\$255.18	\$9.81	\$245.37	\$245.37
10	2031	\$250.27	\$4.91	\$245.37	\$0.00
		\$2,723.56	\$269.90	\$2,453.66	

The project (the “Project”) will consist of:

- Pulverize existing asphalt and haul away
- Enhance existing aggregate base with pulverized material as needed to maintain proper grade
- Fine grade and compact
- Pave with 2-inches compacted bituminous 13A asphalt
- Pave with 2-inches compacted bituminous 36A asphalt
- Stripe Road
- Road Maintenance including but limited to crack sealing and snow removal

**EXHIBIT B SPECIAL ASSESSMENT ROLL**

03/16/2022  
02:52 PM

Tentative Special Assessment Listing for GENOA TOWNSHIP

Page: 1/3

Population: Special Assessment District (X030722)

DB: Genoa

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-21-401-001	X030722, Homestead Dr	2,453.66	LEEK, J. BRIAN & DEBORAH K. 3997 HOMESTEAD DR
4711-21-401-002	X030722, Homestead Dr	2,453.66	PERRI ROSEMARY 3985 HOMESTEAD DR
4711-21-401-004	X030722, Homestead Dr	2,453.66	GADBAW SHANE & KINI 3961 HOMESTEAD DR
4711-21-401-006	X030722, Homestead Dr	2,453.66	GADBAW, SHANE P. & KINI J. 3961 HOMESTEAD DR
4711-21-401-008	X030722, Homestead Dr	2,453.66	ANDREWS LAND TITLE STANDARD 9.3 3949 HOMESTEAD DR
4711-21-401-012	X030722, Homestead Dr	2,453.66	BRICHTA JOSEPH & ROSEMARIE LTS 9.3 3925 HOMESTEAD DR
4711-21-401-015	X030722, Homestead Dr	2,453.66	MCLEAN BRIAN & GAIL 3919 HOMESTEAD DR
4711-21-401-021	X030722, Homestead Dr	2,453.66	LAMARRA MICHAEL & NANCY 3871 HOMESTEAD DR
4711-21-401-023	X030722, Homestead Dr	2,453.66	PEREIRA DENNIS S & PATRICIA C 11411 KATHERINE ST
4711-21-401-024	X030722, Homestead Dr	2,453.66	REIMONDO KAREN REV TRUST 3943 HOMESTEAD DR
4711-21-401-026	X030722, Homestead Dr	2,453.66	PEAL, MICHAEL & MARY ANN TRUST 3883 HOMESTEAD DR
4711-21-401-027	X030722, Homestead Dr	2,453.66	DAVIS DONALD & JULIA RLT 3907 HOMESTEAD DR
4711-28-100-023	X030722, Homestead Dr	2,453.66	LIBLER JEFFREY & MARY S 4151 ROSE CREEK LN
4711-28-100-024	X030722, Homestead Dr	2,453.66	STONE II THOMAS 610 MAPLE ST
4711-28-100-025	X030722, Homestead Dr	2,453.66	HOLMES BRADLEY 820 OCEOLA ST
4711-28-100-026	X030722, Homestead Dr	2,453.66	BROOKS MICHAEL & BERNA STREET- 4067 ROSE CREEK LN
4711-28-200-002	X030722, Homestead Dr	2,453.66	SEVERN DANIEL & LEWIS LORI 4257 HOMESTEAD DR
4711-28-201-001	X030722, Homestead Dr	2,453.66	BROWN, ANGELA & CURT 4001 HOMESTEAD DR
4711-28-201-002	X030722, Homestead Dr	2,453.66	OSWALT, GEOFFREY 10137 QUAIL COVEY RD
4711-28-201-003	X030722, Homestead Dr	2,453.66	MCMAHON RYAN & KELLY 46327 BRIARGATE DR
4711-28-201-004	X030722, Homestead Dr	2,453.66	HARTLEY JEFFREY & REBA 3901 HONORS TRCE
4711-28-201-005	X030722, Homestead Dr	2,453.66	RACINE JAMES REVOCABLE LIVING TRUST 4015 HOMESTEAD DR
4711-28-201-006	X030722, Homestead Dr	2,453.66	WOOD PETER & DENISE 4021 HOMESTEAD DR
4711-28-201-011	X030722, Homestead Dr	2,453.66	TUCZAK FAMILY TRUST 4163 SAINT ANDREWS ST
4711-28-201-012	X030722, Homestead Dr	2,453.66	FLEMING THOMAS & DIANA 4049 HOMESTEAD DR
4711-28-201-013	X030722, Homestead Dr	2,453.66	DYKEMA NANCY 4053 HOMESTEAD DR
4711-28-201-017	X030722, Homestead Dr	2,453.66	ST GERMAIN RESORT LLC 26111 W 14 MILE RD STE 201-D

Population: Special Assessment District (X030722)

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-201-018	X030722, Homestead Dr	2,453.66	JELNICKI REVOCABLE TRUST 3664 OLD CREEK RD
4711-28-201-019	X030722, Homestead Dr	2,453.66	ELLERHOLZ PATRICK & AMY LTS 9.3 4083 HOMESTEAD DR
4711-28-201-020	X030722, Homestead Dr	2,453.66	SECHRIST THOMAS & ROSEMARY LTS 9.3 4089 HOMESTEAD DR
4711-28-201-021	X030722, Homestead Dr	2,453.66	BRUDER PETER H TRUST 4093 HOMESTEAD DR
4711-28-201-022	X030722, Homestead Dr	2,453.66	GRACE DANIEL & LORRAINE 22670 AUTUMN PARK BLVD
4711-28-201-023	X030722, Homestead Dr	2,453.66	HERRON DOUGLAS & POH KIM 4105 HOMESTEAD DR
4711-28-201-026	X030722, Homestead Dr	2,453.66	CASOLI DANIEL J & CHRISTINE K 4121 HOMESTEAD DR
4711-28-201-027	X030722, Homestead Dr	2,453.66	SCHROCK, EDWARD & JUSTINA 328 INVERNESS ST
4711-28-201-028	X030722, Homestead Dr	2,453.66	KORENCHUK, DENNIS - TRUST 4141 HOMESTEAD DR
4711-28-201-029	X030722, Homestead Dr	2,453.66	ROJOWSKI STANLEY & ANITA 4151 HOMESTEAD DR
4711-28-201-031	X030722, Homestead Dr	2,453.66	SAVEDES MARIE 4159 HOMESTEAD DR
4711-28-201-032	X030722, Homestead Dr	2,453.66	HEIDER THOMAS L 4165 HOMESTEAD DR
4711-28-201-033	X030722, Homestead Dr	2,453.66	ZAMMIT, VICTOR & PATRICIA 4177 HOMESTEAD DR
4711-28-201-035	X030722, Homestead Dr	2,453.66	WLODARCZAK JON & DANIELLE 4183 HOMESTEAD DR
4711-28-201-038	X030722, Homestead Dr	2,453.66	WACLAWEK MCGRATH MURIEL RLT 4203 HOMESTEAD DR
4711-28-201-042	X030722, Homestead Dr	2,453.66	O'BRIAN MARC & MELINDA 4225 HOMESTEAD DR
4711-28-201-044	X030722, Homestead Dr	2,453.66	WILSON GREGORY 4237 HOMESTEAD DR
4711-28-201-045	X030722, Homestead Dr	2,453.66	ELGUREN STEPHEN & CHELSEA 4243 HOMESTEAD DR
4711-28-201-047	X030722, Homestead Dr	2,453.66	MC DONALD, KURT & NANCY 4261 HOMESTEAD DR
4711-28-201-050	X030722, Homestead Dr	2,453.66	SOLITUDE MEADOWS LLC 280 N FIRST STREET
4711-28-201-052	X030722, Homestead Dr	2,453.66	CLEMENTS, SCOTT & CYNTHIA 4291 HOMESTEAD DR
4711-28-201-053	X030722, Homestead Dr	2,453.66	CLARK, PAYTON III & KIM 4111 HOMESTEAD DR
4711-28-201-054	X030722, Homestead Dr	2,453.66	TANIS JEFFREY & WANDA 3817 HIGHCREST DR
4711-28-201-055	X030722, Homestead Dr	2,453.66	MCCORD MATTHEW & KIMBERLY LTS 4065 HOMESTEAD DR
4711-28-201-056	X030722, Homestead Dr	2,453.66	WILLIAMS JACKIE & LYNDA LIFE EST 4219 HOMESTEAD DR
4711-28-201-057	X030722, Homestead Dr	2,453.66	CARPENTER CARTER & LISA 4138 ST ANDREWS
4711-28-201-058	X030722, Homestead Dr	2,453.66	MEKJIAN JOHN & RUPP MARY 4027 HOMESTEAD DR

Population: Special Assessment District (X030722)

PARCEL	ASSESSMENT NAME	ASSESSMENT	OWNER ADDRESS
4711-28-202-005	X030722, Homestead Dr	2,453.66	GOODLING RONALD 26431 LA MUERA ST
4711-28-202-007	X030722, Homestead Dr	2,453.66	KIRCHOFF, ALAN 4026 HOMESTEAD DR
4711-28-202-016	X030722, Homestead Dr	2,453.66	HARMAN THORIN B 4084 HOMESTEAD DR
4711-28-202-021	X030722, Homestead Dr	2,453.66	MCGRATH JULIE ANN 4104 HOMESTEAD DR
4711-28-202-025	X030722, Homestead Dr	2,453.66	DUNN JOHN & KAREN 4120 HOMESTEAD DR
4711-28-202-035	X030722, Homestead Dr	2,453.66	PALLASKA GRAMOS & FREY PAIGE 4140 HOMESTEAD DR
4711-28-201-014	X030722, Homestead Dr	2,453.66	MANCINI KAREN & LEO LTS 9.3 4057 HOMESTEAD DR
# OF PARCELS: 61	TOTALS:	149,673.26	

## **EXHIBIT C**

### **Certificate**

---

I, the undersigned, Supervisor of Genoa Charter Township, Livingston County, Michigan (the “Township”), acting pursuant to a resolution duly adopted by the Township Board of the Township on March 21, 2022 (the “Resolution”) certify that (1) the attached special assessment roll for the Homestead Drive Road Improvement Project (2022), to which this Certificate is affixed, was made pursuant to the Resolution and (2) in making such a roll, I have, according to my best judgment, conformed in all respects to the directions contained in the Resolution and the statutes of the State of Michigan, including Act No. 188, Public Acts of Michigan, 1954, as amended.

Dated: March 21, 2022

---

Bill Rogers  
Genoa Charter Township Supervisor

**EXHIBIT D**

**GENOA CHARTER TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN  
NOTICE OF PUBLIC HEARING  
UPON A PROPOSED HOMESTEAD DRIVE ROAD IMPROVEMENT PROJECT  
AND SPECIAL ASSESSMENT DISTRICT (Summer 2022)**

NOTICE IS HEREBY GIVEN:

- (1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on April 4, 2022 at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review the following proposed special assessment district and to hear any objections thereto and to the proposed project.

**GENOA CHARTER TOWNSHIP – HOMESTEAD DRIVE ROAD IMPROVEMENT PROJECT  
AND SPECIAL ASSESSMENT DISTRICT (Summer 2022)**

(A ten-year program with costs as follows)

- Total cost of the project - \$149,673
- Total parcels – 61
- Homeowners representing over 50% of parcels have signed petitions
- Total amount per parcel: \$2,453.66

HOMESTEAD ROAD 2022	
PROJECT COST*	\$86,673
ADMIN.	\$2,000
TWP. CONTRIB.	\$0
MAINTENANCE**	\$61,000
TOTAL	\$149,673
INTEREST %	2
PROPERTIES	61

\*Per D & H Asphalt Estimate dated 8/6/2021

\*\* \$100 per parcel per year

	YEAR	PAYMENT	TO INTEREST	TO PRINCIPAL	OUTSTANDING
1	2022	\$294.44	\$49.07	\$245.37	\$2,208.29
2	2023	\$289.53	\$44.17	\$245.37	\$1,962.92
3	2024	\$284.62	\$39.26	\$245.37	\$1,717.56
4	2025	\$279.72	\$34.35	\$245.37	\$1,472.19
5	2026	\$274.81	\$29.44	\$245.37	\$1,226.83
6	2027	\$269.90	\$24.54	\$245.37	\$981.46
7	2028	\$264.99	\$19.63	\$245.37	\$736.10
8	2029	\$260.09	\$14.72	\$245.37	\$490.73
9	2030	\$255.18	\$9.81	\$245.37	\$245.37
10	2031	\$250.27	\$4.91	\$245.37	\$0.00
		\$2,723.56	\$269.90	\$2,453.66	

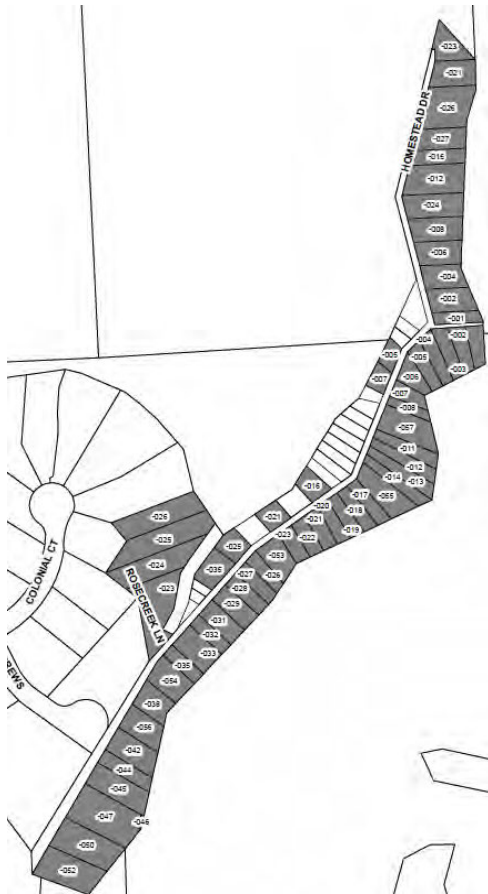
The project (the “Project”) will consist of:

- Pulverize existing asphalt and haul away
- Enhance existing aggregate base with pulverized material as needed to maintain proper grade
- Fine grade and compact

- Pave with 2-inches compacted bituminous 13A asphalt
- Pave with 2-inches compacted bituminous 36A asphalt
- Stripe Road
- Road Maintenance including but limited to crack sealing and snow removal

(2) The Project is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map and includes the specific properties that are identified by the following parcel numbers:

11-21-401-001	11-21-401-002	11-21-401-004	11-21-401-006
11-21-401-008	11-21-401-012	11-21-401-015	11-21-401-021
11-21-401-023	11-21-401-024	11-21-401-026	11-21-401-027
11-28-100-023	11-28-100-024	11-28-100-025	11-28-100-026
11-28-200-002	11-28-201-001	11-28-201-002	11-28-201-003
11-28-201-004	11-28-201-005	11-28-201-006	11-28-201-011
11-28-201-012	11-28-201-013	11-28-201-014	11-28-201-017
11-28-201-018	11-28-201-019	11-28-201-020	11-28-201-021
11-28-201-022	11-28-201-023	11-28-201-026	11-28-201-027
11-28-201-028	11-28-201-029	11-28-201-031	11-28-201-032
11-28-201-033	11-28-201-035	11-28-201-038	11-28-201-042
11-28-201-044	11-28-201-045	11-28-201-047	11-28-201-050
11-28-201-052	11-28-201-053	11-28-201-054	11-28-201-055
11-28-201-056	11-28-201-057	11-28-201-058	11-28-202-005
11-28-202-007	11-28-202-016	11-28-202-021	11-28-202-025
11-28-202-035			





- (3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.
- (4) The preliminary plans and cost estimates for the proposed project and the boundaries of the Special Assessment District are now on file in the office of the Township Manager and Township Clerk for public inspection. The Township Board has received petitions signed by more than 50 percent of property owners within the proposed district. Pursuant to the provisions of Public Act 188 of 1954, record owners of land have the right to file written objections to the Project with the Township Board. Any person objecting to the proposed Project or the proposed Special Assessment District shall file an objection in writing with the Township Manager before the close of the April 4, 2022 hearing or within such further times as the Township Board may grant.

This notice is given by order of the Genoa Charter Township Board.

Dated: March 22, 2022

Michael C. Archinal  
Genoa Charter Township Manager

(Press/Argus 3/25/22-4/1/22)

**EXHIBIT E**

**AFFIDAVIT OF MAILING**

STATE OF MICHIGAN

COUNTY OF LIVINGSTON

MICHAEL C. ARCHINAL, being first duly sworn, deposes and says that he personally prepared for mailing, and did on March 22, 2021, send by first-class mail, the notice of public hearing, a true copy of which is attached hereto, to each record owner of or party in interest in all property to be assessed for the improvement described therein, as shown on the last local tax assessment records of Genoa Charter Township; that he personally compared the address on each envelope against the list of property owners as shown on the current tax assessment rolls of the Township; that each envelope contained therein such notice and was securely sealed with postage fully prepaid for first-class mail delivery and plainly addressed; and that he personally placed all of such envelopes in a United States Post Office receptacle on the above date.

---

Michael C. Archinal  
Genoa Charter Township Manager  
March 22, 2022



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Honorable Board of Trustees

**FROM:** Kelly VanMarter, Assistant Township Manager/Community Development Director

**DATE:** March 17, 2022

**RE:** **Grand River Indoor Self-Storage** – 2630 Grand River Avenue, Howell  
Special Land Use, Environmental Impact Assessment & Site Plan

**MANAGER'S REVIEW:** 

Attached please find the project case file for the Grand River Climate Controlled Self-Storage project located at 2630 Grand River in Howell. The building has been vacant for a number of years and was formerly occupied by the Great Escape Family Fun Center. The property is within the General Commercial District (GCD) and the request is petitioned by Schafer Construction.

Site Image:



The applicant requests approval to convert the 43,550 square foot building into a climate-controlled storage facility including proposed improvements to the building façade, parking lot, and landscaping. Procedurally, the indoor climate-controlled storage use is allowed with special land use, impact assessment and site plan approval by the Township Board following a recommendation by the Planning Commission.

This project was recommended for conditional approval by the Township Planning Commission on March 14, 2022 and based on that recommendation I offer the following for your consideration:

### SUPERVISOR

Bill Rogers

### CLERK

Paulette A. Skolarus

### TREASURER

Robin L. Hunt

### TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

### MANAGER

Michael C. Archinal

**SPECIAL LAND USE**

Moved by \_\_\_\_\_, Supported by \_\_\_\_\_ to APPROVE the Special Land Use permit because it has been found that the requested use meets the requirements of Sections 19.03 and 7.02.02(z) of the Township Ordinance.

**IMPACT ASSESSMENT**

Moved by \_\_\_\_\_, Supported by \_\_\_\_\_ to APPROVE the Environmental Impact Assessment dated February 24, 2022 as submitted.

**SITE PLAN**

Moved by \_\_\_\_\_, Supported by \_\_\_\_\_, to APPROVE the sketch plan dated February 5, 2020 with the following conditions:

- All requirements of the Fire Marshall's letter dated March 9, 2022 including the need for a hydrant, shall be met.
- All requirements in the Township Engineer's letter dated March 7, 2022 shall be met.
- In lieu of installing the required sidewalk, a performance guarantee in compliance with Section 21.03 shall be provided and a sidewalk easement shall be granted to the Township if necessary for Township installation of a sidewalk.
- As indicated by the applicant at the Planning Commission meeting, the parking lot will be pulverized/repaved with replacement of the parking lot island landscaping and additional potted landscaping will be added near the entrance area. A revised landscape plan shall be provided for Township staff approval prior to issuance of a land use permit.
- The site lighting standards shall be met, which includes reducing the height of the poles to 20 feet or less in the east lot and 30 feet or less in the north lot.
- The existing outside well will be abandoned per Livingston County Health Department standards.
- Copies of the cross-access agreements with the adjacent properties shall be provided to Township Staff and any change to the cross-access agreement with the adjacent properties must be reviewed and approved by the Township.
- The site shall be signed to advise that no overnight parking is permitted.
- A hard copy of the rendering and the proposed paint colors shall be provided to Township Staff prior to issuance of the land use permit.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter

Assistant Township Manager/Community Development Director



**GENOA CHARTER TOWNSHIP  
Special Land Use Application**

**RECEIVED**  
By Kelly VanMarter at 11:37 am, Jan 25, 2022

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Matt Vetter, Schafer Construction, Inc. 150 N First St, Ste 100, Brighton, MI 48116  
*Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.*

APPLICANT PHONE: ( 248 ) 767-0512 EMAIL: mvetter@schaferconstruction.net

OWNER NAME & ADDRESS: Overtime Enterprises, LLC: 2424 E Coon Lake Trail, Howell, MI 48843

SITE ADDRESS: 2630 E Grand River Ave, Howell, MI 48843 PARCEL #(s): 4711-06-200-061

OWNER PHONE: ( 517 ) 540-0400 EMAIL: blythepatterson@asichuck.com

**Location and brief description of site and surroundings:**

Existing site and building - formerly "Great Escape" facility. South of Grand River and partially behind "Classic Carpet"; East of Bob Maxey Ford; West of "Auto Zone" and "Newtowne Center".

**Proposed Use:**

Indoor climate controlled storage along with accessory buildings for indoor non-climate controlled indoor storage of vehicles.

**Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):**

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Proposed use will breathe life into a currently dilapidated and run-down eyesore in the community. The indoor storage concept is compatible with almost all surrounding uses due to its very low impact and low nuisance level.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

Existing building shall be cleaned up and beautified. Exterior shall be entirely re-painted. Front entrance glazing system shall be replaced with new. New business and grounds shall be maintained in accordance with standard building maintenance norms and regulations. Operations will be quiet and self-contained and will be very compatible with general vicinity.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

All essential public utilities are existing and shall be reused. Refuse disposal shall be contracted by Owner through a local carrier. Police and Fire Protection are existing - no encumbrances shall be introduced that would alter or limit their ability to keep the area safe and protected.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

None. Other than standard traffic circulation, all operations are self-contained inside the building/s. Building/s shall be utilized for storage of common household and/or business/commercial goods; hazardous materials shall not be allowed. Existing residential units to the South are screened by a large existing buffer of trees and natural vegetation.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

Property is currently zoned GCD; per 7.02.02 Climate-controlled indoor commercial storage is granted as a special land use.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Matt Vetter, as Acting Agent STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: \_\_\_\_\_

ADDRESS: 150 N First Street, Ste 100, Brighton, MI 48116

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Matt Vetter of Schafer Construction, Inc. at mvetter@schaferconstruction.net  
Name Business Affiliation Email

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: \_\_\_\_\_ DATE: 1/17/22

PRINT NAME: Matt Vetter PHONE: 248-767-0512





**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

Matt Vetter, Schafer Construction, Inc.

APPLICANT NAME & ADDRESS: 150 N First St, Ste 100, Brighton, MI 48116

*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: \_\_\_\_\_

SITE ADDRESS: 2630 E Grand River Ave, Howell, MI 48843 PARCEL #(s): \_\_\_\_\_

APPLICANT PHONE: ( 248 ) 767-0512 OWNER PHONE: ( 517 ) 540-0400

OWNER EMAIL: blythepatterson@asichuck.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Existing, vacant building/site - formerly "Great Escape" facility.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_


BRIEF STATEMENT OF PROPOSED USE: Indoor climate controlled storage along with accessory buildings for indoor non-climate controlled storage of vehicles.

\_\_\_\_\_  
\_\_\_\_\_

THE FOLLOWING BUILDINGS ARE PROPOSED: Existing building to be renovated (minor) to fit new use.

Accessory buildings are proposed to be located in the secluded area behind "Classic Carpet", flanked on the West by the subject building and on the East by the natural tree/vegetation buffer between Bob Maxey and on the South by the natural tree/vegetation buffer between the Chilson Road residential units.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: Matt Vetter, Vice President, Schafer Construction, Inc. 


ADDRESS: 150 N First Street, Ste 100, Brighton, MI 48116

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) Matt Vetter \_\_\_\_\_ of Schafer Construction, Inc. \_\_\_\_\_ at mvetter@schaferconstruction.net  
Name Business Affiliation E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  \_\_\_\_\_ DATE: 1/17/2022  
PRINT NAME: Matt Vetter \_\_\_\_\_ PHONE: 248-767-0512  
ADDRESS: 150 N First St, Ste 100, Brighton, MI 48116 \_\_\_\_\_



office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive, based on the following conditions:

- No berm is necessary along the south property boundary because the existing berm and vegetation is satisfactory.
- The building materials are satisfactory.
- Greenbelt plantings shall be extended to the south due to the elimination of the curb cut.
- Gravel is an allowable surface for the truck storage area and the storage area shall not exceed past the front building line
- The applicant shall comply with the conditions of the Township Engineer's letter dated March 8, 2022.
- The applicant shall comply with the conditions of the Brighton Fire Authority Fire Marshal's letter dated March 9, 2022.

**The motion carried unanimously.**

**OPEN PUBLIC HEARING #3...** Consideration of a special use application, environmental impact assessment and site plan for a proposed climate controlled indoor commercial storage business located at 2630 E. Grand River Avenue south side of Grand River east of Chilson Road. The request is petitioned by Schafer Construction, Inc.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2/22)
- C. Recommendation of Site Plan (4-22)

Mr. Dan LeClair of Greentech Engineering and Mr. Matthew Schafer of Schafer Construction were present. Mr. LeClair did a review of the project. They are proposing 325 self-storage units. They had originally propose outdoor storage on the eastern side of the building; however, that plan has been removed. One of the landscape plans in the packet incorrectly shows that plan so he asked the Commissioners to disregard it.

In response to comments in the planner's letter, they are proposing to refinish the existing building facade. They would like to keep the materials, but change the colors of the block and wood and replace the glass. It is currently 76 percent block, 6 percent glass, and 17 percent wood with some vertical siding. Mr. Vetter showed proposed colored renderings.

Chairman Grajek questioned the facade could be changed to appear to be more of different storefronts similar to the other portion of this property.

They are proposing some site improvements; specifically, fencing in the parking lot that is to the east side of the building, replacing the parking lot light fixtures with LED lights, and building a fence around the parking lot to the rear. They are seeking a waiver for the installation of the eight-foot wide sidewalk. They would like to provide a performance guarantee to install the sidewalk so that it can be installed when sidewalks are installed on either side of them. They would also like to maintain the existing parking lot and not remove any parking spaces. They are not proposing to provide any additional plantings to the rear of the site due to the area being

already heavily wooded. They are also asking for a reduction of the side yard and building setback requirements on the west property line.

They will comply with all requirements of the Township Engineer and the Brighton Area Fire Authority fire marshal's requirements.

Mr. Borden reviewed his letter dated March 8, 2022:

1. Section 19.03 General Special Land Use Standards:
  - a. In order to make favorable findings related to compatibility impacts, the use conditions of Section 7.02.02(z) need to be met to the Commission's satisfaction.
  - b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Section 7.02.02(z) Use Conditions:
  - a. The existing building does not meet the material requirement of Section 12.01.04; however, Planning Commission may modify these requirements in accordance with Section 12.01.04.
  - b. The applicant should be prepared to present material and color samples and/or a color rendering to the Commission as part of their review.
3. Site Plan Review:
  - a. An 8-foot wide bike path is required along Grandover. The applicant requests to provide a performance guarantee in lieu of pathway construction at this time. This is allowed per the zoning ordinance. Commissioner Mortenson would like the sidewalks to be installed at this time. Chairman Grajek agrees. Commissioner Rauch would like the sidewalks to be installed at the same time as the adjacent property owners, so the money should be held until the adjacent properties are redeveloped.
  - b. Given the amount of parking provided versus that proposed, Planning Commission approval is necessary, per Section 14.01.06. This use only requires approximately 30 parking spaces and there are most 300 on this site. He agrees to have the Planning Commission allow for excess parking instead of having the applicant remove the parking.
  - c. Maximum pole height is 40 feet, while the plan notes 40 feet. Mr. Vetter agrees to change the pole heights to meet the ordinance.
  - d. The landscaping is deficient in greenbelt and buffer zone plantings; however, existing conditions restrict opportunities for full compliance, and the rear of the site contains an existing wooded area, which is noted by the applicant. The Planning Commission has the authority to modify landscaping requirements.
  - f. The landscape plan depicting mini-storage buildings must be removed from the submittal. The applicant referred to this in their presentation. Commissioner McCreary asked where the carts that customers will use will be stored. Mr. Vetter stated they will be stored in the covered area outside of the building. She asked if the Planning Commission has a concern with long-term parking of moving vehicles, such as U-Hauls, etc. There was a discussion regarding allowing overnight only parking in the proposed gated area to the east of the building. Ms. VanMarter noted that any vehicle parking

after 72 hours would be considered outdoor storage, so a time limit would need to be put in place with either signage or in the rental contract.

Ms. Byrne reviewed her letter dated March 7, 2022:

1. Approval should be obtained by the Brighton Area Fire Authority prior to site plan approval. As indicated in their review letter dated February 16, 2022, the existing building may not have adequate hydrant coverage. Drawings that show the existing water main layout are attached for reference. The closest hydrant is in front of 2650 East Grand River Avenue. If an additional fire hydrant is required by the Fire Marshal, water main construction plans will need to be submitted to her office and MHOG Sewer and Water Authority for review and permitting after site plan approval has been obtained from the Township.
2. The proposed access to the existing southeast parking lot is over a cross access easement on the adjacent property. This area is proposed to be fenced, thereby eliminating the cross access to the adjacent parcel. A new easement must be obtained consistent with the elimination of the cross access and for the construction of the driveway, fencing, and curbing on the adjacent parcel.
3. The Livingston County Health Department has indicated that the existing well on site should be properly abandoned by a registered water well driller. The well location should be shown on the site plan.
4. Details for the proposed curb and gutter and the proposed asphalt location should be shown on the site plan and should match the details provided in the Genoa Township Engineering Standards.

The Brighton Area Fire Authority Fire Marshal's letter dated March 9, 2022 stated the following:

1. Two-way emergency vehicle access roads shall be a minimum of 26-feet wide. With a width of 26-feet. The perimeter drive around the outside self-storage units shall be a minimum of 26-feet wide. The drive width from the front parking to the side storage lot is indicated at 26-feet as required. Fire lane signage shall be provided along the building front. Provide a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. (The 26-foot width is the minimum required for two-way access. The access drive width to the storage yard can be accommodated by modification to the existing canopy on the Northeast corner of the building.)
2. Access around the building and storage unit yard shall provide emergency vehicles with a turning radius of 50-feet outside and 30-feet inside. Vehicle circulation shall account for non-emergency traffic and maintain the vehicle within the boundary of lanes of travel. (Provide an emergency vehicle turning template for the storage yard and the front entry parking lot and drives utilizing the apparatus and details at the end of this letter. Entrance drive to the storage area does not meet width and radius requirements.)
3. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated

with the fire authority. The gate to the rear storage yard shall be provided with a Knox Key Switch for control and bypass of the access control of the gate. (The Knox box is reflected on the main building above the FDC, however no detail or acknowledgement is provided for the storage yard access gate as required).

4. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building.
5. Provide names, addresses, phone numbers, email of owner or owner's agent, contractor, architect, on-site project supervisor.

Board Member McCreary asked if there will be a sign installed. Member stated that he is installing a sign and will receive the appropriate approvals.

The Planning Commission discussed the proposed signage and color. Commissioner Rauch believes this is a substantial improvement to what was done previously, noting that this building has been vacant for approximately seven years.

The call to the public was made at 8:10 a.m. with no response.

Commissioner McBain asked what they are doing with the parking lot and if some additional potted landscaping should be added to the entrance area since the asphalt abuts the cement near the door. Vetter agreed to add some landscaping near the doorway. They will also be removing and replacing the existing landscape plantings and pulverizing/re-paving the parking lot.

**Moved** by Commissioner Rauch, seconded by Commissioner Mortensen, to recommend to the Township Board approval of the Special Use Application for indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road being that the Planning Commission finds the conditions set forth in Section 19.03 are generally met and favorable findings of Section 7.02.02(z) of the Zoning Ordinance. **The motion carried unanimously.**

**Moved** by Commissioner Rauch, seconded by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment dated February 24, 2022 for indoor commercial storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road. **The motion carried unanimously.**

**Moved** by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Site Plan dated February 24, 2022 for indoor commercial

storage business located at 2630 E. Grand River Avenue, south side of Grand River, east of Chilson Road, with the following conditions:

- All requirements of the Fire Marshal's letter dated March 9, including the need for a hydrant, shall be met.
- All requirements in the Township Engineer's letter dated March 7, 2022 shall be met.
- While not compliant with Section 12.01 of the Zoning Ordinance, the Planning Commission finds the architectural renderings provided this evening to be an acceptable upgrade to what is currently there
- A performance guarantee in an amount to be determined by staff shall be provided prior to land use permit issuance. If the Township is required to install the sidewalk, the applicant shall provide the Township with an easement for its installation.
- The excess parking is found acceptable and the applicant acknowledges it will be repaved.
- The site lighting standards shall be met, which include limiting the height poles to 20 feet or less.
- The existing outside well will be abandoned per Livingston County Health Department standards.
- The front and side yard buffers are acceptable as is
- Any change to the cross-access agreement with the adjacent properties must be reviewed and approved by Township staff
- The site shall be signed to advise that no overnight parking is permitted to exceed the township standards of 72 hours
- A copy of the rendering presented this evening and proposed paint colors shall be provided to staff.

**The motion carried unanimously.**

**OPEN PUBLIC HEARING # 5...** Consideration of request for approval of the 2022-2027 Capital Improvement Program as submitted by the Township Manager.

Ms. VanMart presented the Planning Commission is required to approve the Capital Improvement Program. She reviewed the specific projects, which include road, parks and recreation, pedestrian movement and facilities and grounds improvements.

Commissioner McBain suggested that improvements be made at the intersection of Latson and Golf Club. Commissioner Rauch would like the Bauer and Challis Road intersection to be a priority. He also suggested improvements to the Bauer and Brighton Road intersection.

The Planning Commission suggested that the Park and Recreation portion include the addition of an ice or roller hockey rink. Commissioner McBain suggested shading the pickle ball courts.

The call to the public was made at 8:50 pm with no response.



March 8, 2022

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
<b>Subject:</b>	Grand River Self Storage – Special Land Use and Site Plan Review #2
<b>Location:</b>	2630 East Grand River Avenue – south side of Grand River, east of Chilson Road
<b>Zoning:</b>	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised request for special land use and site plan review of a climate-controlled indoor commercial storage business at 2630 East Grand River Avenue (site plan dated 2/24/22).

**A. Summary**

1. Section 19.03 General Special Land Use Standards:
  - a. In order to make favorable findings related to compatibility and impacts, the use conditions of Section 7.02.02(z) need to be met to the Commission’s satisfaction.
  - b. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
2. Section 7.02.02(z) Use Conditions:
  - a. The existing building does not meet the material requirements of Section 12.01; however, Planning Commission may modify these requirements in accordance with Section 12.01.04.
  - b. The applicant should be prepared to present material and color samples and/or a color rendering to the Commission as part of their review.
3. Site Plan Review:
  - a. An 8-foot wide bike path is required along Grand River. The applicant requests to provide a performance guarantee in lieu of pathway construction at this time.
  - b. Given the amount of parking provided versus that proposed, Planning Commission approval is necessary, per Section 14.02.06.
  - c. Maximum light pole height is 20 feet, while the plan notes 40 feet.
  - d. The landscape plan is deficient in greenbelt and buffer zone plantings; however, existing conditions restrict opportunities for full compliance, and the rear of the site contains an existing wooded area.
  - e. Planning Commission has the authority to modify landscaping requirements.
  - f. The landscape plan depicting mini-storage buildings must be removed from the submittal.

**B. Proposal/Process**

The applicant proposes conversion of an existing 43,555 square foot building into a climate-controlled indoor commercial storage business with 325 storage units of varying sizes (from 25 SF to 221 SF).

Table 7.02 lists climate-controlled indoor commercial storage as a special land use within the GCD. Such uses are also subject to the use conditions of Section 7.02.02(z).

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth a recommendation on each to the Township Board following a public hearing.





*Aerial view of site and surroundings (looking south)*

### C. Special Land Use Review

Section 19.03 identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Township Master Plan identifies the subject site as General Commercial, which is described as follows:

*Businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue are designated by this category. The large size and variety of permitted commercial uses generate significant volumes of vehicular and pedestrian traffic. There may be some outdoor sales or display areas.*

The proposal for climate-controlled indoor commercial storage generally aligns with this category.

2. **Compatibility.** Grand River is the main arterial through the Township, and includes a variety of commercial and service uses. The proposed use is generally compatible with the character of Grand River.

The primary concern under this criterion is related to the presence of residential adjacent to the south, though the use conditions of Section 7.02.02(z) and buffer zone requirements of Section 12.02 are intended to help ensure compatibility.

Provided these conditions are met to the Commission's satisfaction, the proposal is generally expected to be compatible with the surrounding area.

3. **Public Facilities and Services.** Given that the site is already developed and has frontage along Grand River, we anticipate that necessary public facilities and services are in place.

However, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

4. **Impacts.** Similar to the comment above, the use conditions of Section 7.02.02(z) are intended to limit impacts of the proposal upon the site and surrounding properties.

Provided these conditions are met, surrounding properties are not expected to be adversely impacted by the proposal.

5. **Mitigation.** If further concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

#### **D. Use Conditions**

Climate-controlled indoor commercial storage facilities are subject to the use conditions of Section 7.02.02(z), as follows:

1. **All buildings shall conform to the design and material standards of Section 12.01 and shall include a minimum of 25% window space (including spandrel or tinted glass) on all building elevations visible from a public or private road and the parking lot. The Planning Commission may modify this requirement in accordance with Section 12.01.04.**

The existing building appears to be comprised entirely of CMU, which exceeds the material allowance of Section 12.01.03; however, this is an existing condition that is not being altered as part of the proposal.

Improvements to the existing building include removal of truck docks, overhead doors, and one set of entrance doors, and replacement with a matching CMU product and painting of the existing CMU.

The Commission may allow modifications to this criterion and Section 12.01 based on existing conditions (Section 12.01.04).

The applicant should be prepared to present material and color samples and/or a color rendering to the Commission as part of their review.

2. **Any internal overhead doors visible through the windows shall be a natural earth tone color that is harmonious with the interior wall color and design of the building, unless otherwise approved by the Planning Commission.**

The building elevation drawings do not identify any visible internal overhead doors.

3. **Exterior overhead doors for vehicular access shall not face any public roadway except as approved by the Planning Commission under the following circumstances:**
  - a. **For through garages where doors are provided on the front and rear of the building;**
  - b. **Garages located on corner or through lots;**
  - c. **Where the Planning Commission determines that a rear garage would have a negative impact on an abutting residential district; and,**
  - d. **Under these circumstances the Planning Commission may require additional landscape screening above and beyond what is required for street frontage landscaping.**

Three existing exterior overhead doors will be removed as part of the proposal. The resulting building elevations do not include any exterior overhead doors.



**E. Site Plan Review**

- 1. Dimensional Requirements.** The existing site conditions are outlined in comparison to the dimensional requirements of the GCD, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height (feet)
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
<b>GCD</b>	1	150	70	10	40	20 front 10 side/rear	35% building 75% impervious	35
<b>Proposed</b>	4.2	215	254	1.5 (W) 176 (E)	67	14 front 0 side (W) 5 side (E)	23.7% building 74.2% impervious	26.5

The side building and side parking lot setbacks are existing conditions that are not being impacted.

Additionally, the side parking setbacks can be reduced or modified by the Planning Commission given the presence of connected parking lots (Section 14.06.11).

- 2. Pedestrian Circulation.** Per Section 12.05 and the Township’s Pathway Plan, an 8-foot wide bike path is required along Grand River.

Neither the subject site nor the adjacent properties along Grand River currently have a public pathway, and the site plan does not include one as part of the project.

The Township may require installation of the required bike path, or collect a performance guarantee for its construction at a later date. (The applicant has requested the latter.)

- 3. Vehicular Circulation.** The developed site has an existing full turning movement driveway to/from Grand River Avenue, and no changes are proposed. The site also has connected parking with the properties to the east and west.

The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 4. Parking.** The site plan depicts 101 parking spaces in the front parking lot. There are an additional 6 spaces noted on the east side of the building. The remainder of the spaces in the large parking lot on the east side of the site are not depicted.

Section 14.04 does not provide a parking requirement for climate-controlled indoor commercial storage. As such, the Township must determine a similar use for the purpose of establishing a parking requirement. For a previous similar project, the warehousing requirement was used. In this instance, the warehousing standard results in the need for 30 parking spaces.

Given the amount of parking provided versus that proposed, the applicant requests Planning Commission approval of excess parking/to retain the existing parking lot, per Section 14.02.06.

The applicant has noted that pavement and striping improvements are proposed as part of the proposal.

- 5. Exterior Lighting.** The revised lighting plan identifies 4 light poles (2 of which have double fixtures) and 3 wall mounted fixtures.

Details include the use of downward directed LED fixtures, and lighting intensities (on-site and along property lines) meet the standards of Section 12.03.

Our only concern is that the notes appear to indicate that the pole fixtures are mounted at a height of 40 feet. The maximum mounting height allowed for this site is 20 feet since it is adjacent to a residential district.

6. **Landscaping.** The revised landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

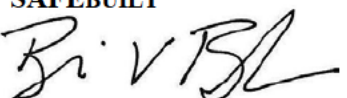
Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 6 canopy trees	14' width 2 canopy trees	Width is an existing condition. Sanitary sewer runs through the majority of the greenbelt, which restricts planting. PC may modify requirements based on existing conditions.
Parking lot	9 canopy trees 840 SF landscaped area	8 existing trees 2 proposed trees Approx. 1,800 SF	Requirements met
Buffer Zone "B" (south)	20' width 14 canopy trees 14 evergreen trees 56 shrubs 6' wall OR 3' berm	50' width Existing wooded area	PC may allow existing wooded area in lieu of new plantings and wall/berm requirement.
Buffer Zone "C" (east)	10' width 40 canopy trees OR 40 evergreen trees OR 160 shrubs	0' to 10' width 8 existing shrubs	Width and plantings are restricted by existing conditions. PC may modify requirements based on existing conditions.
Buffer Zone "C" (west)	10' width 30 canopy trees OR 30 evergreen trees OR 117 shrubs	0' to 1' width Existing vegetation south of the building	Width and plantings are restricted by existing conditions. PC may modify requirements based on existing conditions.

The revised submittal includes two nearly identical versions of the landscape plan. The plan depicting mini-storage buildings in the easterly parking lot must be removed from the submittal.

7. **Waste Receptacle/Enclosure.** The site plan identifies a new waste receptacle and enclosure in the rear yard on the east side of the building. Details include the required concrete base pad and masonry enclosure.
8. **Impact Assessment.** The revised Impact Assessment (dated February 24, 2022) notes that the proposed project is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
 SAFE BUILT



Brian V. Borden, AICP  
 Michigan Planning Manager

March 7, 2022

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Grand River Self Storage  
Site Plan Review No. 2**

Dear Ms. Van Marter:

Tetra Tech conducted a second review of the proposed Grand River Self Storage site plan last dated February 24, 2022. The plans were prepared by Greentech Engineering, Inc. on behalf of Schafer Construction. The site is located on the south side of Grand River Avenue, east of Chilson Road. The Petitioner is proposing to improve an existing building (formerly “Great Escape”) to be used as indoor storage. The proposed improvements include updates to the existing building and minimal improvement to the existing parking lot. We offer the following comments:

#### **GENERAL**

1. Approval should be obtained by the Brighton Area Fire Authority prior to site plan approval. As indicated in their review letter dated February 16, 2022, the existing building may not have adequate hydrant coverage. Drawings that show the existing water main layout are attached for reference. The closest hydrant is in front of 2650 East Grand River Avenue. If an additional fire hydrant is required, water main construction plans will need to be submitted to MHOG Sewer and Water Authority for review and permitting after site plan approval has been obtained from the Township.
2. The proposed access to the existing southeast parking area is over a cross access easement on the adjacent property. This area is proposed to be fenced, thereby eliminating the cross access to the adjacent parcel. A new easement must be obtained consenting to the elimination of the cross access and for the construction of the drive, fencing, and curbing on the adjacent parcel.
3. The Livingston County Health Department has indicated that the existing well on site should be properly abandoned by a registered water well driller. This should be shown on the site plan.
4. Details for the proposed curb and gutter and the proposed asphalt section should be shown on the site plan and should match the details provided in the Genoa Township Engineering Standards.

Ms. Kelly Van Marter  
Re: Grand River Self Storage  
Site Plan Review No. 2  
March 7, 2022  
Page 2

## DRAINAGE AND GRADING

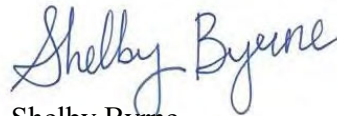
1. The proposed improvements slightly decrease the impervious surface of the site, and no additional detention should need to be provided as part of the improvements.

We recommend the petitioner address the above comments prior to approval.

Sincerely,



Gary J. Markstrom, P.E.  
Vice President

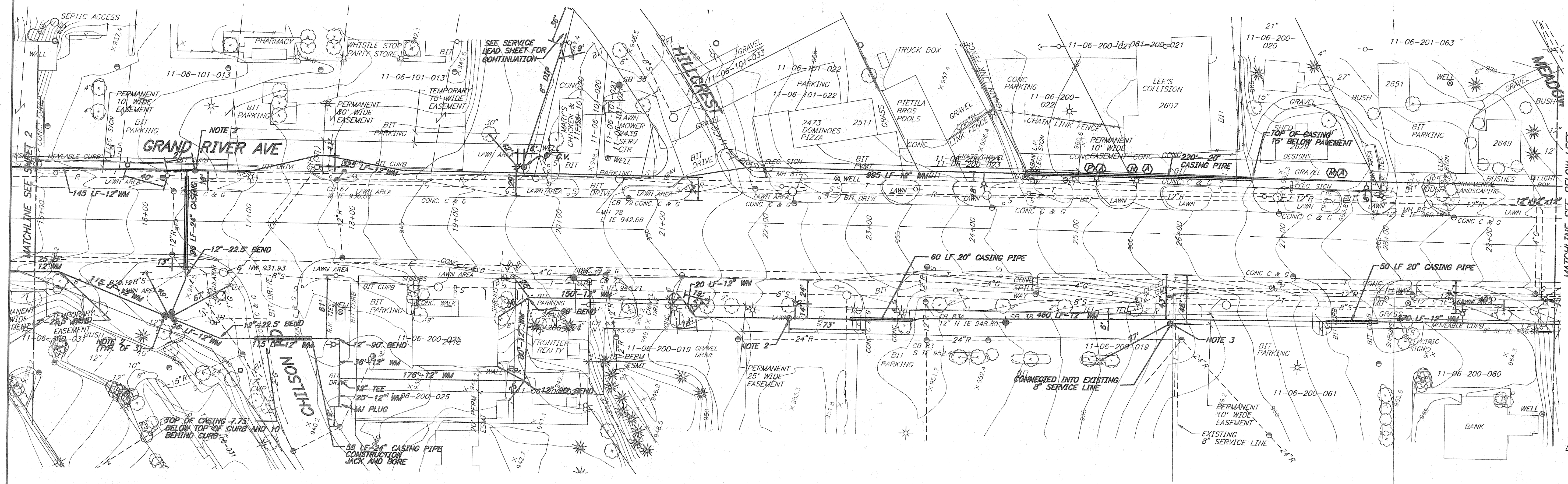
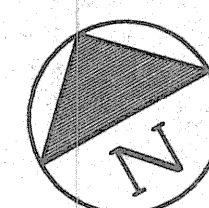


Shelby Byrne  
Project Engineer

Attachment



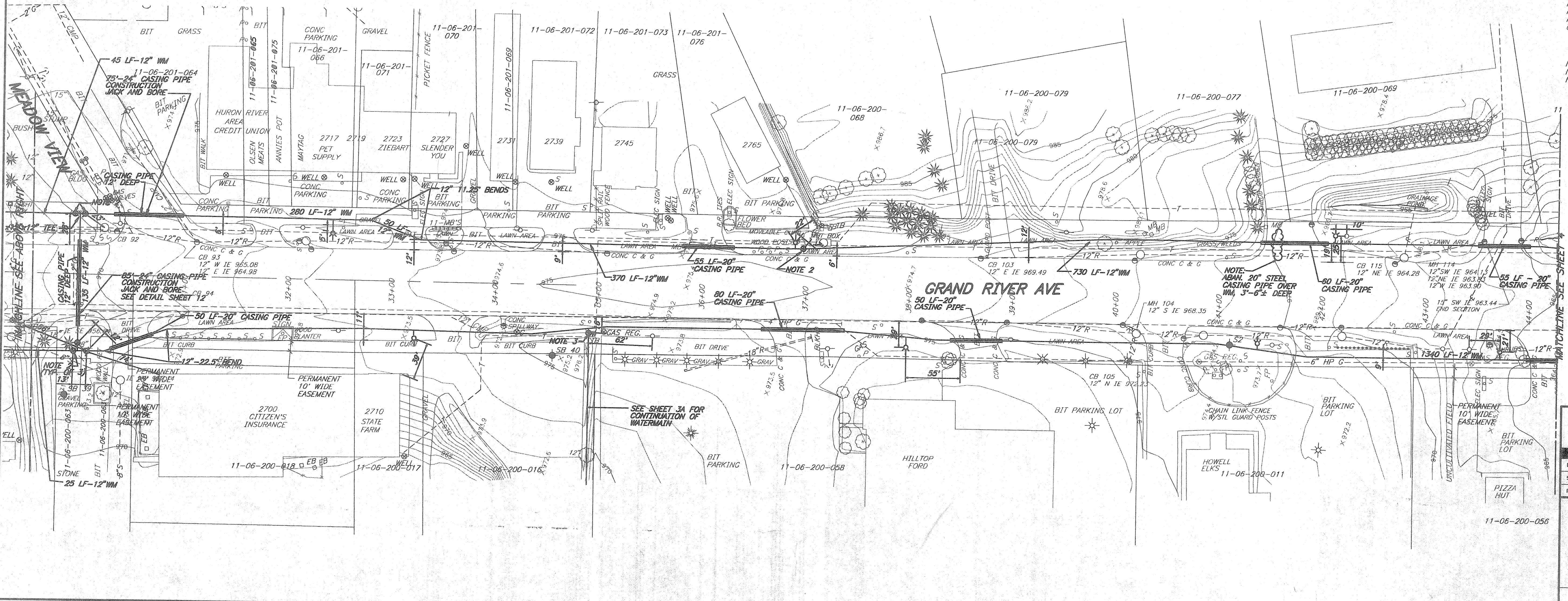
REV	DESCRIPTION	BY	DATE	CHKD
1	ISSUED FOR BIDS		02/94	
2	CHANGE ORDER NO.1	JBM	04-94	JJM
3	CONFORMING TO CONSTRUCTION RECORDS	JJB	11/94	



GM 168 R.R. SPIKE IN POWER POLE AT N.W. CORNER OF GRAND RIVER & MEADOWVIEW ELEV. 972.11

- RESTORATION NOTES (X)
- A GRANULAR BACKFILL
  - E GRAVEL ROAD REPLACEMENT
  - H GRAVEL SHOULDER REPLACEMENT
  - L CONCRETE CURB & GUTTER REPLACEMENT
  - M GRAVEL DRIVEWAY REPLACEMENT
  - N BITUMINOUS DRIVEWAY REPLACEMENT
  - P CONCRETE DRIVEWAY REPLACEMENT
  - Q CONCRETE SIDEWALK REPLACEMENT
- UNIT  
 LF LF  
 SYD SYD  
 TONS TONS  
 SF SF

- STANDARD NOTES
- NOTE 1 16" GATE VALVE WITH BOX
  - NOTE 2 12" GATE VALVE WITH BOX
  - NOTE 3 8" GATE VALVE WITH BOX



3131 South State Street  
Ann Arbor MI 48108

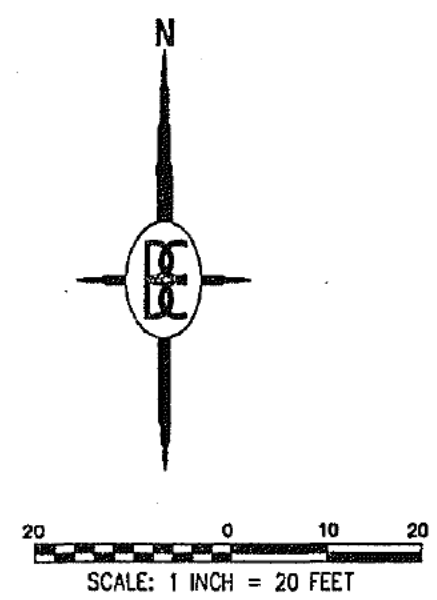
DESIGNED A. KOBERSTEIN CHECKED B. LYONS  
 SCALE 1"=50' CHD DATE 02-22-93 MSF 13  
 PART 1/19/01/4/06330/8/SITE-B1 AC  
 GEMMA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN  
 WEST GRAND RIVER WATER IMPROVEMENTS

**GRAND RIVER AVENUE  
STATION 15+00 - 44+00**

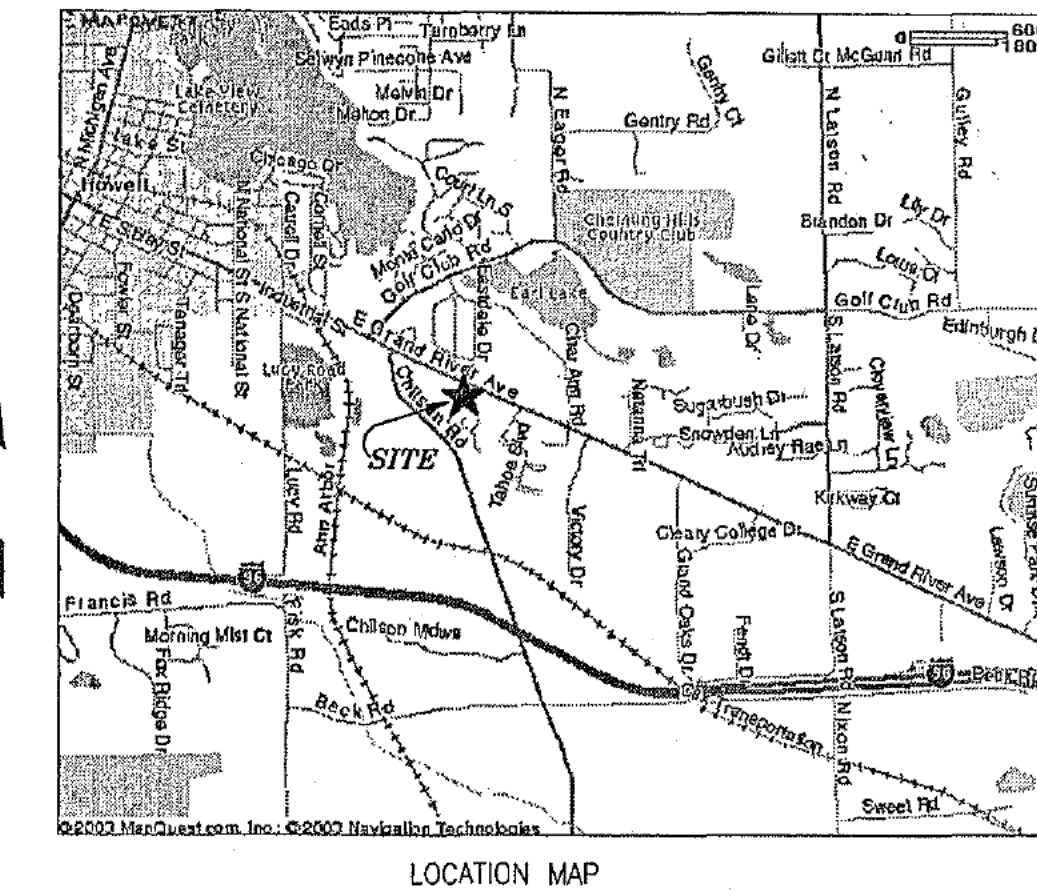
DIVISION A	CONTRACT 144.63-W-1	SHEET J OF 29
---------------	------------------------	---------------------



# ALTA/ACSM LAND TITLE SURVEY



CURVE	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH	BEARING DIRECTION
C1	86013.70	0°07'00"	175.00	175.00	S60°10'24"E
C2	86028.70	0°07'00"	175.00	175.00	S60°10'24"E
C3	86038.70	0°07'00"	175.00	175.00	S60°10'24"E
C4	85993.70	0°07'00"	3.60	3.60	S60°06'50"E



LEGAL DESCRIPTION  
METROPOLITAN TITLE COMPANY  
COMMITMENT #CM-463969  
EFFECTIVE DATE: JANUARY 23, 2003 AT 8:00 A.M.

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

Part of the Northeast fractional 1/4 of Section 6, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the East 1/4 corner of said Section 6; thence North 02 degrees 17 minutes 07 seconds East along the East line of said Section, 594.63 feet to the centerline of Grand River Avenue; thence North 60 degrees 39 minutes 00 seconds West, along said centerline 2391.57 feet to the P.I. of said centerline; thence continuing along said centerline North 60 degrees 06 minutes 45 seconds West 224.71 feet; thence South 29 degrees 41 minutes 36 seconds West 49.82 feet to the Southerly right of way line of said Grand River and the point of beginning of the parcel to be described; thence South 29 degrees 41 minutes 36 seconds West 250.00 feet; thence North 60 degrees 10 minutes 24 seconds West 175.00 feet; thence North 29 degrees 41 minutes 36 seconds East 250.00 feet to the Southerly right of way line of Grand River Avenue; thence Southeasterly along said line on an arc left, having a length of 175.00 feet, a radius of 85993.7 feet, a central angle of 00 degrees 06 minutes 59 seconds, and a chord which bears South 60 degrees 10 minutes 24 seconds East 175.00 feet to the point of beginning, EXCEPTING therefrom the Northerly 20 feet (measured at right angles) and parallel to Grand River Avenue (I-96BL) as set forth in Warranty Deed to Michigan Department of Transportation recorded in Liber 1147, page 939.

Tax Item No.: 11-06-200-060-201-47070

SCHEDULE "B" ITEMS  
METROPOLITAN TITLE COMPANY  
COMMITMENT #CM-463969  
EFFECTIVE DATE: JANUARY 23, 2003 AT 8:00 A.M.

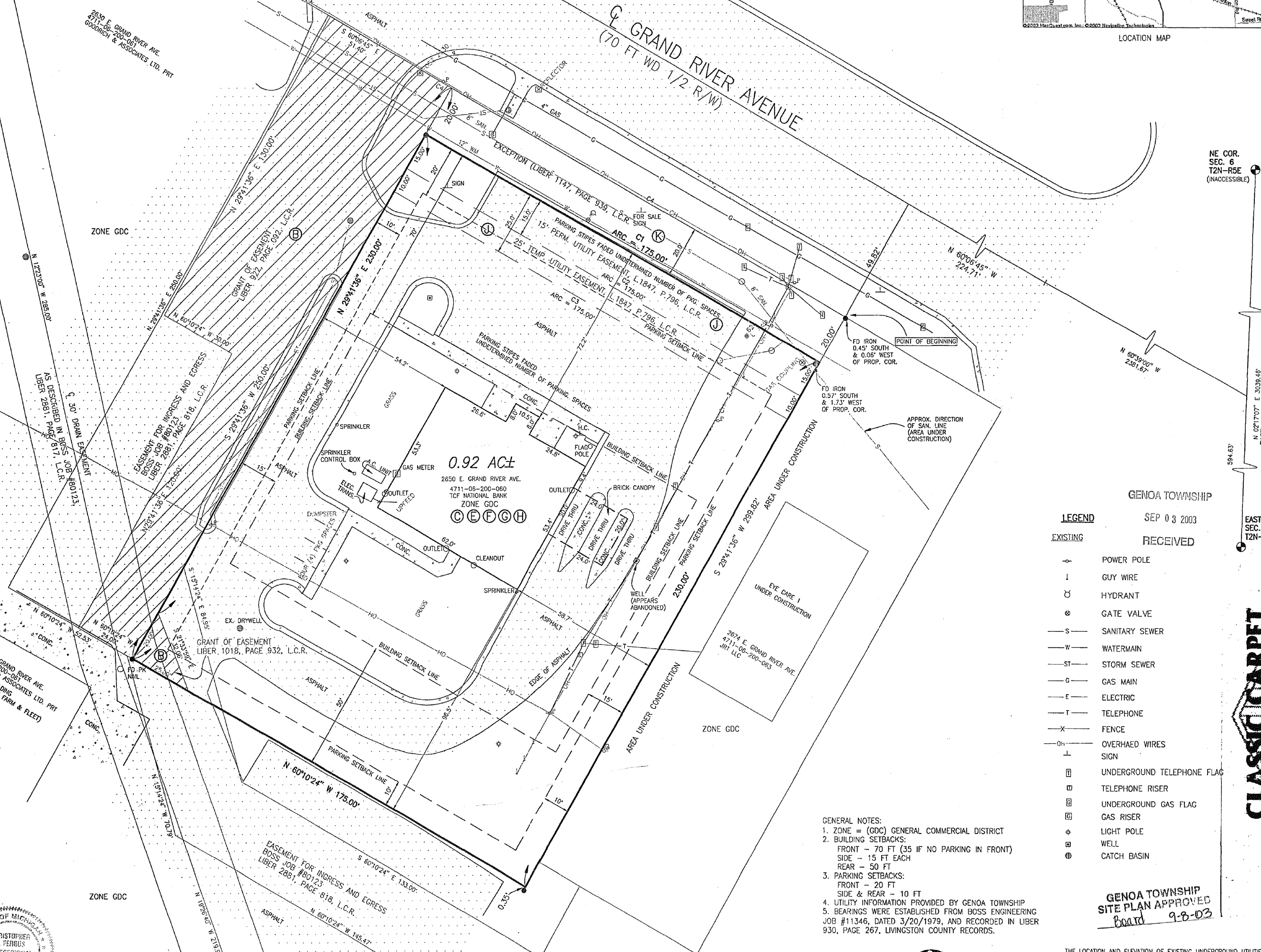
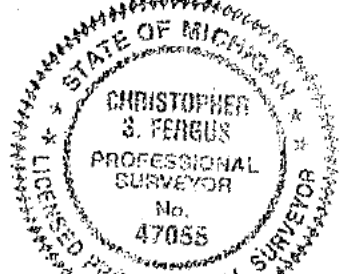
- 1. Terms and Conditions contained in Grant of Easement, as disclosed by instrument recorded in Liber 922, page 692 and Liber 1018, page 932. AS SHOWN
- 2. Terms and Conditions of Gas Storage Agreement and Oil and Gas Lease in favor of Panhandle Eastern Pipeline Company as disclosed by instrument recorded in Liber 338, page 440. Affidavit of Notice of Intention to Retain Mineral Rights, as recorded in Liber 778, page 188. EFFECTS ENTIRE PROPERTY
- 3. Terms and Conditions of Gas Storage Agreement and Oil and Gas Lease in favor of Panhandle Eastern Pipeline Company as disclosed by instrument recorded in Liber 338, page 434. Affidavit of Notice of Intention to Retain Mineral Rights, as recorded in Liber 778, page 228. DOES NOT EFFECT SUBJECT PROPERTY
- 4. Natural Gas Conveyance to Panhandle Eastern Pipeline Company, as disclosed by instrument recorded in Liber 341, page 18 and Liber 341, page 22. Affidavit of Notice to Retain Mineral Rights recorded in Liber 778, page 188. EFFECTS ENTIRE PROPERTY
- 5. Terms and Conditions contained in Notice of Option to Purchase Natural Gas in Place and to Acquire Storage Rights to Panhandle Eastern Pipeline Company, as disclosed by instrument recorded in Liber 334, page 346. EFFECTS ENTIRE PROPERTY
- 6. Right of Panhandle Eastern Pipeline Company, as set forth in Community Gas Agreement, as disclosed by instrument recorded in Liber 243, page 450. EFFECTS ENTIRE PROPERTY
- 7. Affidavit of Pipeline Location recorded in Liber 594, page 537 and Liber 1598, page 437. EFFECTS ENTIRE PROPERTY
- 8. Right of Way in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument(s) recorded in Liber 960, page 257. DOES NOT EFFECT SUBJECT PROPERTY
- 9. Easement in favor of Township of Genoa and the Covenants, Conditions and Restrictions contained in instrument(s) recorded in Liber 1847, page 796. AS SHOWN
- 10. Any rights, title interest or claim thereof to that portion of the land taken, used or granted for Grand River. AS SHOWN

Note: Survey recorded in Liber 930, page 267.

TO:  
HENRY T. KUDERKO AND KATHERINE L. KUDERKO, HUSBAND AND WIFE  
FIRST NATIONAL BANK OF HOWELL  
METROPOLITAN TITLE COMPANY  
TICOR TITLE INSURANCE COMPANY

This is to certify that this map or plot and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 1999 and does not include any items of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys"

Date: May 23, 2003  
  
CHRISTOPHER S. FERGUS  
PROFESSIONAL SURVEYOR LICENSE #47055



GENOA TOWNSHIP  
SEP 03 2003  
RECEIVED

- LEGEND
- EXISTING
  - POWER POLE
  - GUY WIRE
  - HYDRANT
  - GATE VALVE
  - SANITARY SEWER
  - WATERMAIN
  - STORM SEWER
  - GAS MAIN
  - ELECTRIC
  - TELEPHONE
  - FENCE
  - OVERHAED WIRES
  - SIGN
  - UNDERGROUND TELEPHONE FLAG
  - TELEPHONE RISER
  - UNDERGROUND GAS FLAG
  - GAS RISER
  - LIGHT POLE
  - WELL
  - CATCH BASIN

- GENERAL NOTES:
- ZONE = (GDC) GENERAL COMMERCIAL DISTRICT
  - BUILDING SETBACKS:  
FRONT - 70 FT (35 IF NO PARKING IN FRONT)  
SIDE - 15 FT EACH  
REAR - 50 FT
  - PARKING SETBACKS:  
FRONT - 20 FT  
SIDE & REAR - 10 FT
  - UTILITY INFORMATION PROVIDED BY GENOA TOWNSHIP
  - BEARINGS WERE ESTABLISHED FROM BOSS ENGINEERING JOB #11346, DATED 3/20/1979, AND RECORDED IN LIBER 930, PAGE 267, LIVINGSTON COUNTY RECORDS.

GENOA TOWNSHIP  
SITE PLAN APPROVED  
Board 9-8-03

## COVER SHEET & EXISTING CONDITIONS



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONDITIONS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

**BOSS ENGINEERING**  
ENGINEERS • SURVEYORS • PLANNERS  
LANDSCAPE ARCHITECTS  
LIVINGSTON COUNTY: 3127 E. GRAND RIVER AVE. SUITE 108  
MACOMB COUNTY: 124 W. CALES SUITE 40  
E-MAIL: [info@bosseng.com](mailto:info@bosseng.com)  
LIVINGSTON COUNTY: (800) 376-5181; FAX (517) 546-1670  
MACOMB COUNTY: (800) 753-3300; FAX (517) 652-6480

CLIENT	TCF BANK
PROJECT	Part of the Northeast fractional 1/4 of Section 6, T2N-R5E, Genoa Township, Livingston County, Michigan.
TITLE	ALTA/ACSM LAND TITLE SURVEY

REV.	DESCRIPTION	DATE
1	REV. PRESIDENT BRK PLAN CORRECTION	7/25/03
2	REV. PRESIDENT BRK THESE DATA	4/29/03

ST-11

DESIGNED BY:  
DRAWN BY: WP  
CHECKED BY: CSF  
SCALE 1" = 20'  
JOB NO. 03189  
DATE 05-22-2003





# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

March 9, 2022

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Grand River Self Storage  
2630 E. Grand River  
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on March 2, 2022 and the drawings are dated February 24, 2022. The project is based on redevelopment of an existing construction Type IIB, 43,555 square foot Assembly building that will be renovated to a S-1 Indoor storage facility. The side yard parking lot will be converted to self-storage units. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. Two-way emergency vehicle access roads shall be a minimum of 26-feet wide. With a width of 26-feet. The perimeter drive around the outside self-storage units shall be a minimum of 26-feet wide. The drive width from the front parking to the side storage lot is not indicated at 26-feet as required. Fire lane signage shall be provided along the building front. Provide a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(The 26-foot width is the minimum required for two-way access. The access drive width to the storage yard can be accommodated by modification to the existing canopy on the Northeast corner of the building.)**

IFC D 103.6  
IFC D 103.1  
IFC D 102.1  
IFC D 103.3

2. Access around the building and storage unit yard shall provide emergency vehicles with a turning radius of 50-feet outside and 30-feet inside. Vehicle circulation shall account for non-emergency traffic and maintain the vehicle within the boundary of lanes of travel. **(Provide an emergency vehicle turning template for the storage yard and the front entry parking lot and drives utilizing the apparatus and details at the end of this letter. Entrance drive to the storage area does not meet width and radius requirements.)**

IFC 503.2.4

3. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority. The gate to the rear storage yard shall be provided with a Knox Key Switch for control and bypass of the access control of the gate. **(The knox box is**



March 9, 2022

Page 2

Grand River Self Storage

2630 E. Grand River

Site Plan Review

**reflected on the main building above the FDC, however no detail or acknowledgement is provided for the storage yard access gate as required)**

**IFC 506.1**

4. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building.

**IFC 510**

5. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

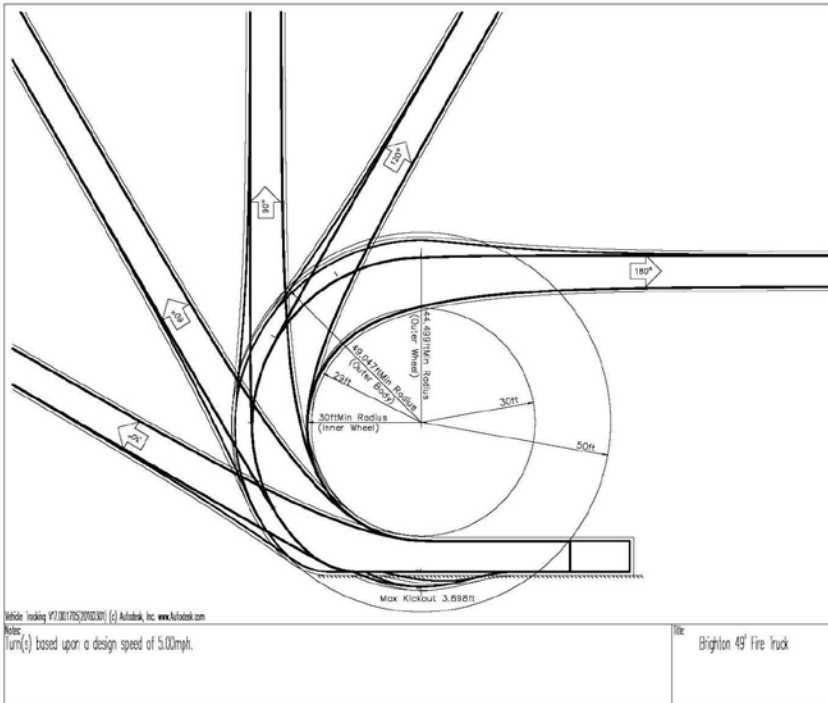
Rick Boisvert, CFPS  
Fire Marshal

cc:Amy Ruthig [amy@genoa.org](mailto:amy@genoa.org)



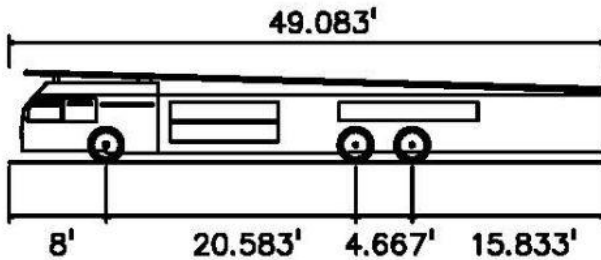


March 9, 2022  
Page 3  
Grand River Self Storage  
2630 E. Grand River  
Site Plan Review



**FIRE TRUCK TURNING RADII**

1"=30'



<b>Brighton 49' Fire Truck</b>	
Overall Length	<b>49.083ft</b>
Overall Width	<b>8.167ft</b>
Overall Body Height	<b>7.500ft</b>
Min Body Ground Clearance	<b>0.750ft</b>
Track Width	<b>8.167ft</b>
Lock-to-lock time	<b>5.00s</b>
Max Steering Angle (Virtual)	<b>45.00°</b>

**FIRE TRUCK DETAIL**  
NOT TO SCALE

**From:** [Mati Bolang](#)  
**To:** [Amy Ruthig](#)  
**Cc:** [Aaron Aumock](#)  
**Subject:** RE: Grand River Self Storage (Old Great Escape Building)  
**Date:** Monday, February 7, 2022 3:43:53 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[image009.png](#)  
[image001.png](#)

---

Hi Amy,

There is still an old well at this property. We would require that the existing well be properly plugged by a registered water well driller. One of my staff took the photos below. The well is located on the east side of the building. Prior to a demo waiver being issued by our department, this well needs to be plugged. Ideally, it would be great if the township would require prior to land use being issued so there is not an oversight.









**Matt Bolang, MSA, REHS**  
**Deputy Health Officer**  
**Director of Environmental Health**  
Livingston County Health Department  
2300 East Grand River  
Howell, MI 48843

517-552-6870 | [www.lchd.org](http://www.lchd.org)

# Impact Assessment for

**Grand River Self Storage**

**2650 Grand River**

**Howell, MI 48843**

**Prepared by:**



**Date:**

**January 21, 2022**

**Revised February 24, 2022**

## **Grand River Self Storage**

### **Impact Assessment Statement**

#### **Preparer (18.07.01)**

This Impact Assessment was prepared under the direction of Daniel LeClair, PE. PS and GreenTech Engineering, Inc. 51147 W Pontiac Trail, Wixom, MI 48393. Mr. LeClair is a licensed Civil Engineer and Land Surveyor and is a professional engineering consultant offering services throughout all of Michigan and the Midwest since 1993. GreenTech Engineering offers consulting services to private land development clients including residential, commercial and industrial projects.

#### **Location (18.07.02)**

The site is located at 2630 Grand River Avenue which is located along the south side of Grand River Avenue east of Chilson Road. The site includes a vacant 43,555 square foot building that was formerly used as a retail store and an indoor recreation facility. The parcel identification number for this site is 4711-06-200-061. See exhibit 'A' attached for a location map. The site is adjoining a shopping center on the west, a retail store and car dealership to the east, and single family residential to the south.

#### **Impact on natural features (18.07.03)**

The subject site has been previously developed including the existing 43,555 square foot building along with parking lots located along the northerly and easterly portion of the site. The proposed re-use of the property is contemplating very limited re-configuration of the existing site as part of the re-use of the site. There is an existing wooded natural area along the southerly portion of the site that will remain unchanged as part of this development.

**Soils:** The native soils on the subject property consist of loamy sands as indicated on the USDA soils map attached as Exhibit 'B'. The rear (southerly) portion of the site appears to remain in its native state, however the surface soils have been altered as part of the previous development of the property.

**Topography:** The existing site topography consists of two separate drainage areas. The area north (front) of the existing building surface slopes downward in a northwesterly direction, while the area east of the building slopes downward in a southerly direction. The area immediately south of the building slopes downward toward a drop off in the rear yard near the southerly property line. The proposed development plan includes only a small amount of grading immediately northeast of the building to create adequate traffic configuration for a gated entrance and a vehicle turn around area. The remainder of the site remains unchanged as part of this development proposal.

**Vegetation:** The development plan includes a new landscape plan that illustrates new plantings along the Grand River frontage and the parking lot islands as the existing vegetation in these areas remains overgrown and unmaintained. The existed wooded area along the southerly portion of the site will remain unchanged as part of this development plan. There are several trees 8" diameter and larger in the southerly portion of the property, however since there is no plan to remove these trees as part of the development, these trees were not tied in and made part of this plan.

A wetland study was not performed as part of this application as there are no changes to the site other than minor modification to the existing paved areas.

#### **Impact on stormwater management (18.07.04)**

The existing site drainage patterns consists of two separate drainage areas. The area north (front) of the existing building surface slopes downward in a northwesterly direction, while the area east of the building slopes downward in a southerly direction. The area immediately south of the building slopes downward toward a drop off in the rear yard near the southerly property line.

The proposed development plan includes a reduction of pavement area of approximately 633 square feet via an increased greenbelt area near the northeast corner of the building as a result of the construction of the fence/gate and turn around area as shown on the site plan. The remainder of the site remains unchanged as part of this development proposal.

With a net reduction in the impervious area, we anticipate no negative impact to the existing stormwater management system from the proposed development.

Prior to the limited proposed construction, the detailed construction plans will include the installation of silt fence around any proposed disturbance areas and inlet filters on all on-site catch basins. In addition, all disturbed areas will be vegetated utilizing seed and mulch.

#### **Impact on surrounding land uses (18.07.05)**

*Description of Proposed Uses:* The proposed re-utilization of the existing building includes the interior buildout as in-door climate controlled storage. The existing parking lot along the easterly side of the building will be fenced in. No permanent foundation, grade changes and/or repaving of the existing easterly parking area will be required.

*Hours of Operation:* The hours of operation will include will include office hours from 8 am until 8 pm Monday through Friday and 8 am until 5 pm on Saturday and Sundays. Access to the interior and exterior storage units will be 24 hours to customers with valid access codes.

The typical customer will rent a unit either on-line or in person at the office during scheduled office hours. Customers will access their units through one of the easterly entrance areas. Carts will be provided to customers to carry larger items from the building entrance to their respective units. Access to all units will be via access code only.

*Phasing:* The proposed improvements will be constructed in one phase.

*Light, Noise & Air Pollution:* The proposed development plan includes a use that generates significantly less noise and air pollution than the previous uses within the building due to the number of anticipated trips to the site based on the proposed use. The proposed development plan utilizes the existing parking light and building mounted lights, however all lighting fixtures will be updated to modern LED light fixtures.

In summary, the subject site has been vacant for several years. With the lack of use, came the introduction of graffiti to the buildings exterior and break in attempts. See Exhibit 'C' for photos. The re-development of this site will include an on-site office attendant who will also act as an on-site caretaker in addition to the new fencing around the easterly parking lot. It is anticipated that the new use alone will discourage the unsightly activities that are currently taking place on the site.



**Impact on public facilities and services (18.07.06)**

The proposed re-development of the subject site is anticipated to reduce the impact to the public facilities and services. We anticipate one to two full time employees during the business day along with random customer visits to the site. The traffic impact to the adjoining streets and neighborhood is anticipated to be significantly less than the previous use as an indoor amusement park.

The proposed use is also expected to be of less impact to municipal services such as police and fire departments.

**Impact on public utilities (18.07.07)**

The building is currently serviced by public sanitary sewer and public domestic water. With only one or two employees, the burden to public utilities is anticipated to be significantly reduced from the previous indoor amusement park use due to the reduced number of visitors.

**Storage and handling of hazardous materials (18.07.08)**

Per the terms of the rental contracts, no hazardous materials will be allowed to be stored or handled on site. There are no known underground tanks on the subject property.

**Traffic Impact Study (18.07.09)**

Based on review of the institute of Transportation Engineers Trip Generation Manual and related studies and reports, a detailed traffic impact study is not warranted. Typical days, as noted above, will generate fewer than 30 visitors throughout the course of the day, falling far below the 100 directional trips during the peak hour of traffic.

**Historic and Cultural Resources (18.07.10)**

The existing building does not have any historic or cultural significance, and is less than 50 years old.

**Special Provision (18.07.11)**

There are no deed restrictions, protective covenants, master deed or association bylaws encumbering the subject property.

**List of Sources (18.07.12)**

The sources utilized in preparing report include personal knowledge of the subject property by the applicant/owner, aerial photography and partial topographic survey as prepared by GreenTech Engineering, and the Genoa Township ordinance.

# EXHIBIT 'A'



LOCATION MAP



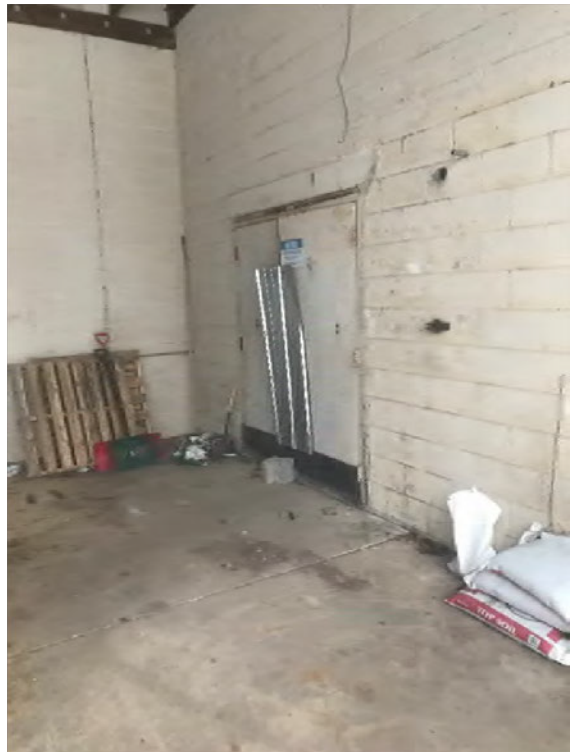
# EXHIBIT 'B'

Livingston County, Michigan (MI093)			
Livingston County, Michigan (MI093)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FrB	Fox-Boyer complex, 2 to 6 percent slopes	0.5	11.9%
MoB	Wawasee loam, 2 to 6 percent slopes	4.0	88.1%
<b>Totals for Area of Interest</b>		<b>4.5</b>	<b>100.0%</b>



SOILS MAP

# EXHIBIT 'C'







**BENCHMARKS:**

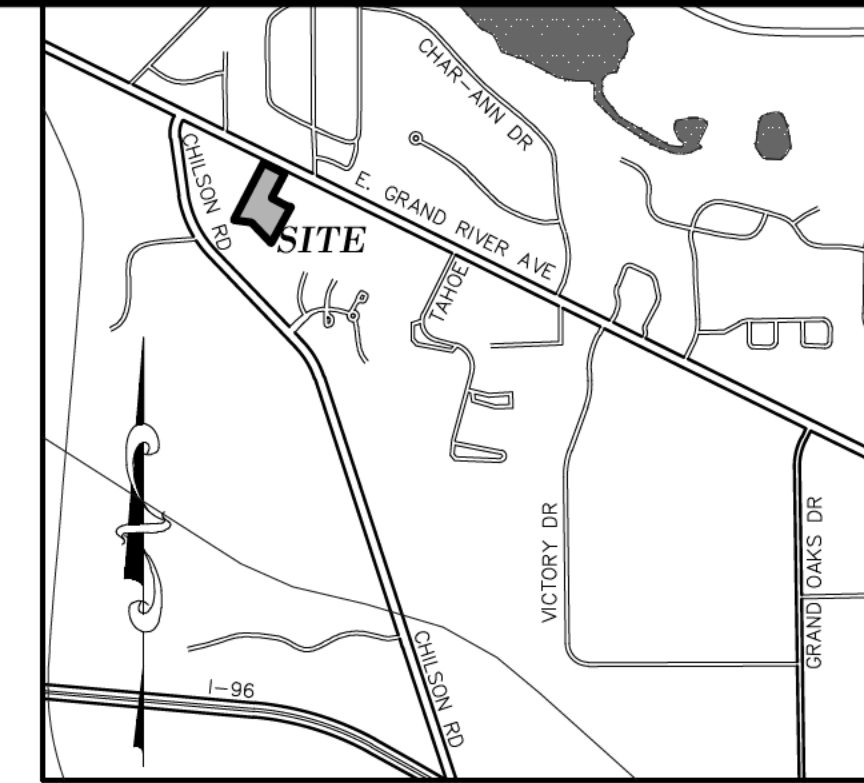
**SITE BM #1**  
RAILROAD SPIKE, SOUTH FACE OF UTILITY POLE ALONG THE EAST PROPERTY LINE OF #2630 E. GRAND RIVER AVENUE, 192± SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 963.72 N.A.V.D.88

# SITE PLAN

for

## GRAND RIVER SELF STORAGE

### 2630 GRAND RIVER AVENUE GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

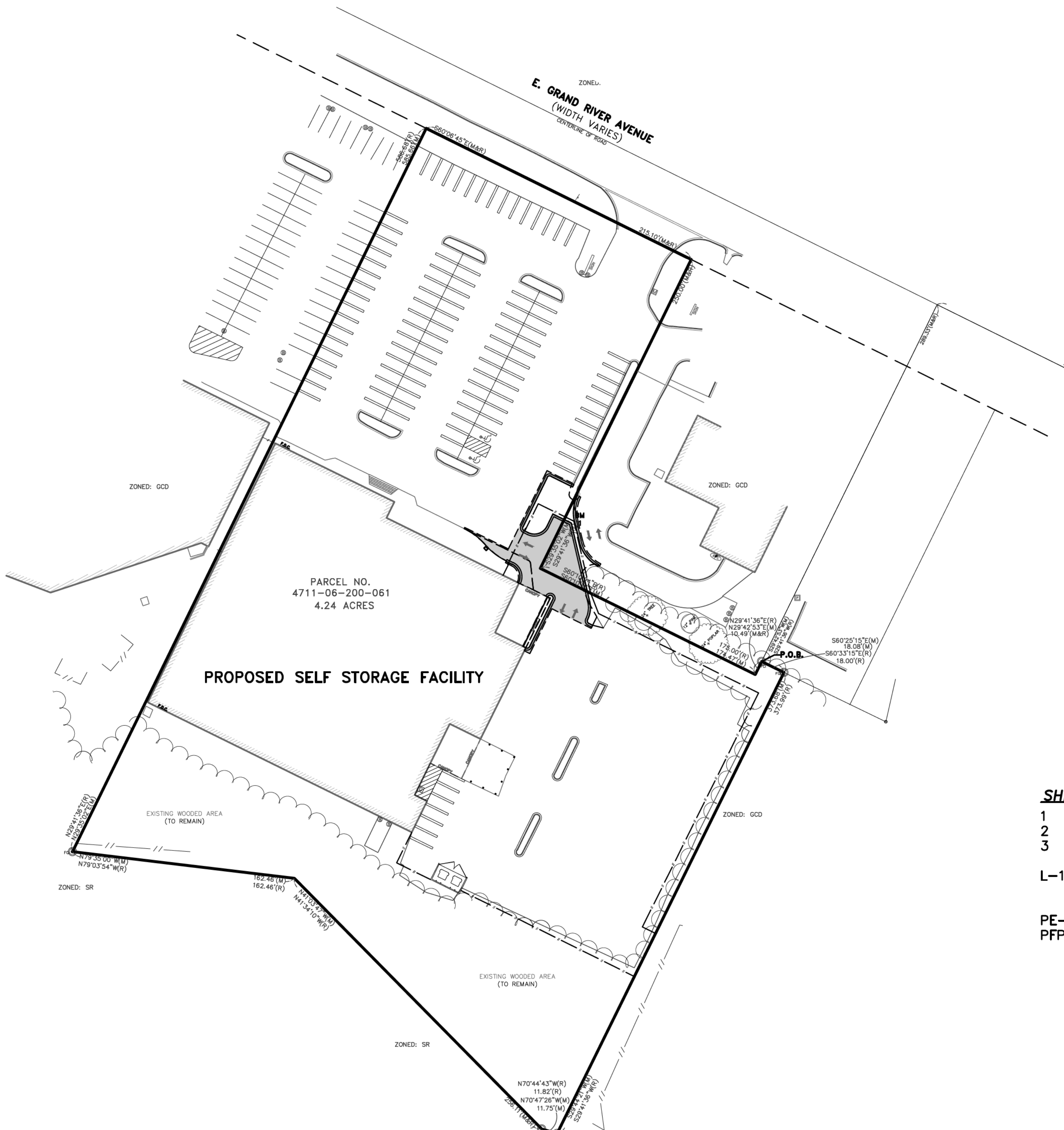


RESIDENTIAL  
Site Condominium  
Railroad  
Fict. Plans  
COMMERCIAL  
Site Planning  
Site Preparation  
Industrial & Multi-Unit  
Land Surveying  
SURVEYING  
Boundary Surveys  
Topographic Surveys  
Precast Concrete  
Construction Staking

## GREENTECH

### ENGINEERING, INC.

CIVIL ENGINEERS & LAND SURVEYORS  
51147 Pontiac Trail, Wixom, MI 48393  
Phone: (248) 668-0700 Fax: (248) 668-0701



**GENERAL NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF GENOA TOWNSHIP.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
3. EXISTING EASEMENTS WILL BE SHOWN PER TITLE WORK, ONCE RECEIVED.
4. CONTRACTOR TO OBTAIN ALL REQUIRED APPROVALS AND PERMITS PRIOR TO THE START OF CONSTRUCTION.

**DESCRIPTION: PARCEL #4711-06-200-061 (BY OTHERS)**

PART OF THE NORTHEAST 1/4 OF SECTION 6, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE N02°17'07"E 594.63 FEET TO THE CENTERLINE OF GRAND RIVER AVENUE THENCE N60°39'00"W ALONG SAID CENTERLINE 2381.67 FEET; THENCE CONTINUING ALONG SAID CENTERLINE N60°06'45"W 224.71 FEET; THENCE S29°41'36"W 289.33 FEET TO THE POINT OF BEGINNING; THENCE S60°33'15"E 18.00 FEET; THENCE S29°41'36"W 373.99 FEET; THENCE N70°44'43"W 11.82 FEET; THENCE N41°34'10"W 258.11 FEET; THENCE N79°03'54"W 162.46 FEET; THENCE N29°41'36"E 586.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF GRAND RIVER AVENUE; THENCE ALONG SAID RIGHT-OF-WAY S60°06'45"E 211.40 FEET; THENCE CONTINUING ALONG RIGHT-OF-WAY ALONG THE ARC OF A CURVE LEFT CHORD BEARING S60°06'50"E 3.60 FEET; THENCE S29°41'36"W 250.00 FEET; THENCE S60°10'24"E 175.00 FEET; THENCE N29°41'36"E 10.49 FEET TO THE POINT OF BEGINNING, CONTAINING 4.24 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD. SPLIT FROM 019 EXCEPTING THE NORTHEASTERLY 20 FEET AND PARALLEL TO GRAND RIVER, AS DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CORR 3/2014.

**NOTE:**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**NOTICE:**

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**SHEET INDEX:**

- 1 COVER SHEET
- 2 DIMENSION & PAVING PLAN
- 3 EXISTING CONDITIONS & DEMOLITION PLAN
- L-1 LANDSCAPE PLAN
- PHOTOMETRIC PLAN
- PE-2 EXTERIOR ELEVATIONS
- PFP-3 FLOOR PLAN

**OWNER:**

**APPLICANT:**  
SCHAFER CONSTRUCTION  
150 N. FIRST STREET, SUITE 100  
BRIGHTON, MI 48393  
CONTACT: MATT VETTER  
PHONE: (810) 220-0296

**ENGINEER/SURVEYOR:**  
GREENTECH ENGINEERING, INC.  
51147 PONTIAC TRAIL  
WIXOM, MI 48393  
CONTACT: DAN LECLAIR, P.E.  
(248) 668-0700



SCHAFER CONSTRUCTION

## COVER SHEET

**2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061**  
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E  
CHARTER TOWNSHIP OF GENOA  
LIVINGSTON COUNTY  
MICHIGAN

REVISED

DATE: 2-24-2022  
DRAWN BY: RMS  
CHECKED BY: DJL

0 25 50

FBK: ---  
CHF: MM  
SCALE: HOR 1"=50 FT.  
VER 1"=5 FT.

**1**

21-315



**BENCHMARKS:**

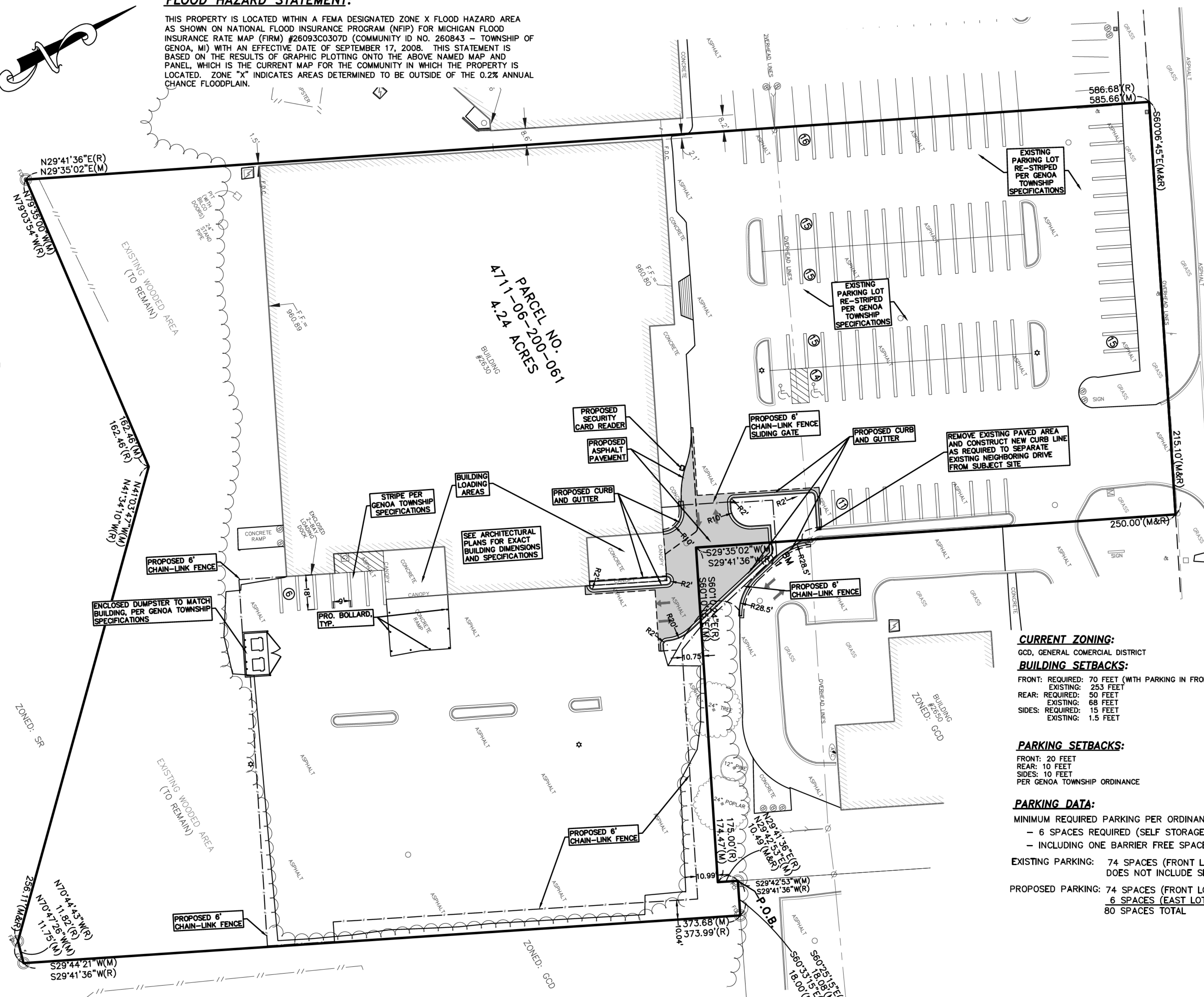
**SITE BM #1**  
RAILROAD SPIKE, SOUTH FACE OF UTILITY POLE ALONG THE EAST PROPERTY LINE OF #2630 E. GRAND RIVER AVENUE, 192± SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 963.72 N.A.V.D.88

**FLOOD HAZARD STATEMENT:**

THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE X FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26093C0307D (COMMUNITY ID NO. 260843 - TOWNSHIP OF GENOA, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. THIS STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. "ZONE X" INDICATES AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**GENERAL NOTES:**

- 1) ALL CONSTRUCTION SHALL BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY GENOA TOWNSHIP AND LIVINGSTON COUNTY.
- 2) ALL SIDEWALK, RAMPS, LANDINGS, AND RAILINGS MUST MEET THE AMERICAN WITH DISABILITIES ACT (ADA) REQUIREMENTS.
- 3) DISPOSE OF ALL TREES TO BE REMOVED, BRUSH AND MISCELLANEOUS DEBRIS LEGALLY OFF SITE.
- 4) THE CONTRACTOR SHALL PAY FOR, OBTAIN AND COMPLY WITH ALL PERMITS NECESSARY FROM PUBLIC AGENCIES INCLUDING BUT NOT LIMITED TO GENOA TOWNSHIP, LIVINGSTON COUNTY, AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY.
- 5) ALL PAVEMENT, DRIVEWAYS, SHOULDERS, LANDSCAPING, DRAINAGE PIPES, MAILBOXES, SIGNS, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO EQUAL OR BETTER CONDITION.
- 6) EXISTING MONUMENTS AND PROPERTY CORNERS SHALL BE PRESERVED AND PROTECTED, AND RESTORED IF DISTURBED, AT CONTRACTOR'S EXPENSE.
- 7) DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WATCHMAN AND FLAGMEN AS MAY BE REQUIRED FOR THE SAFETY AND CONVENIENCE OF THE PUBLIC. THEY SHALL FURNISH ALL BARRICADES, SIGNS AND LIGHTS NECESSARY TO PROTECT THE PUBLIC. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY GENOA TOWNSHIP, OR LIVINGSTON COUNTY. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC DEVICES, LATEST EDITION, BY THE MICHIGAN DEPARTMENT OF STATE HIGHWAYS.
- 8) THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN, PRIOR TO CONSTRUCTION.
- 9) IN THE EVENT OF ANY DISCREPANCY OR DUAL STANDARD SET FORTH IN THE SPECIFICATIONS CONTAINED IN THESE PLANS, THE STRICTER SHALL APPLY.
- 10) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- 11) ALL GROUND, BUILDING, AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN A MANNER PRACTICAL OF THE SITE.
- 12) "NO SIGNAGE WILL BE APPROVED AS PART OF THIS SITE PLAN APPROVAL, AND PRIOR TO ERECTING A SIGN AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT." ALL SIGNS SHALL CONFORM TO THE TOWNSHIP'S SIGN ORDINANCE.
- 13) STATE REQUIREMENTS FOR BARRIER FREE PARKING SPACES SUPERSEDE ANY TOWNSHIP REQUIREMENTS.
- 14) ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 15) ALL WORK SHALL BE COMPLETED IN ONE PHASE.
- 16) THE ADDRESS OF THE BUILDING WILL BE DISPLAYED ON THE BUILDING AND A MINIMUM OF 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- 17) A KNOW BOX SHALL BE INSTALLED AT THE MAIN GATE AND KNOX PADLOCKS AT OTHER ENTRY POINTS SHALL BE INSTALLED PER BRIGHTON AREA FIRE AUTHORITY.
- 18) THE MONUMENT SIGN WILL MEET ALL APPLICABLE SETBACKS AND SHALL BE APPLIED FOR UNDER A SEPARATE PERMIT.
- 19) ALL LOADING AND UNLOADING SHALL TAKE PLACE DURING TYPICAL BUSINESS HOURS. NO LOADING OR UNLOADING SHALL TAKE PLACE OUTSIDE OF THE GATED AREAS.
- 20) NO LOOSE STORAGE OUTSIDE OF BUILDING.
- 21) NO STORAGE ABOVE FENCE.



**HATCH LEGEND**

- ASPHALT
- CONCRETE
- PROPOSED BUILDING
- EXISTING BUILDING

**UTILITY NOTE**  
NO CHANGES TO THE EXISTING SANITARY SEWER, STORM SEWER OR WATER MAIN INFRASTRUCTURE ARE ANTICIPATED AS PART OF THE PROPOSED DEVELOPMENT.

**SIGNAGE NOTE**  
MONUMENT SIGN AND BUILDING SIGNAGE WILL BE REQUESTED VIA A SEPARATE SIGNAGE APPLICATION AND PER THE GENOA TOWNSHIP SIGN ORDINANCE.

**CURRENT ZONING:**  
GCD, GENERAL COMERCIAL DISTRICT

**BUILDING SETBACKS:**  
FRONT: REQUIRED: 70 FEET (WITH PARKING IN FRONT)  
EXISTING: 253 FEET  
REAR: REQUIRED: 50 FEET  
EXISTING: 68 FEET  
SIDES: REQUIRED: 15 FEET  
EXISTING: 1.5 FEET

**PARKING SETBACKS:**  
FRONT: 20 FEET  
REAR: 10 FEET  
SIDES: 10 FEET  
PER GENOA TOWNSHIP ORDINANCE

**PARKING DATA:**  
MINIMUM REQUIRED PARKING PER ORDINANCE:  
- 6 SPACES REQUIRED (SELF STORAGE)  
- INCLUDING ONE BARRIER FREE SPACE

EXISTING PARKING: 74 SPACES (FRONT LOT ONLY)  
DOES NOT INCLUDE SIDE LOT

PROPOSED PARKING: 74 SPACES (FRONT LOT)  
6 SPACES (EAST LOT)  
80 SPACES TOTAL

**LOT COVERAGE CALCULATION**

EXISTING BUILDING AREA: 43,555 SF  
TOTAL BUILDING AREA: 43,555 SF  
TOTAL SITE AREA: 183,844 SF  
EXISTING LOT COVERAGE AREA: 43,555 / 183,844 = 23.7 %  
MAXIMUM LOT COVERAGE AREA ALLOWED: 35%

**IMPERVIOUS CALCULATION**

EXISTING BUILDING AREA: 43,555 SF  
SIDEWALK & PARKING AREA: 93,181 SF  
TOTAL EXISTING IMPERVIOUS AREA: 136,736 SF  
TOTAL SITE AREA: 183,844 SF  
EXISTING IMPERVIOUS AREA: 136,736 / 183,844 = 74.5 %  
MAXIMUM IMPERVIOUS AREA ALLOWED: 75%

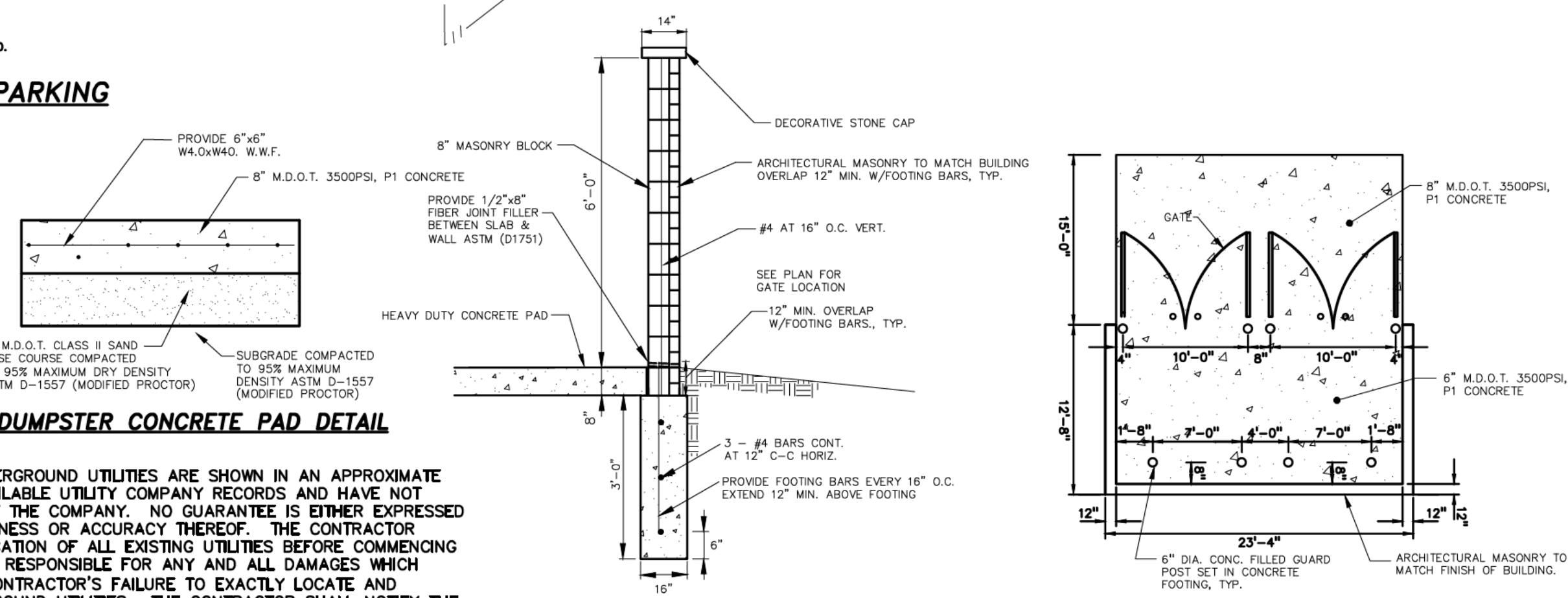
PROPOSED BUILDING AREA: 43,555 SF  
SIDEWALK & PARKING AREA: 92,833 SF  
TOTAL EXISTING IMPERVIOUS AREA: 136,388 SF  
TOTAL SITE AREA: 183,844 SF  
EXISTING IMPERVIOUS AREA: 136,388 / 183,844 = 74.2 %



**NO PARKING SIGN DETAIL**  
NOT TO SCALE



**BARRIER FREE PARKING SIGN DETAIL**  
NOT TO SCALE



**NOTE:**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**GREENTECH ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
51147 Portage Trail, Wixom, MI 48393  
Phone: (248) 668-0700 Fax: (248) 668-0701

**811**  
Know what's below  
Call before you dig.

**SCHAFFER CONSTRUCTION**

**DIMENSION & PAVING PLAN**

CLIENT: 2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061  
SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E  
CHARTER TOWNSHIP OF GENOA LIVINGSTON COUNTY MICHIGAN

REVISED

DATE: 2-24-2022  
DRAWN BY: RMS  
CHECKED BY: DJL

SCALE: HOR 1"=30 FT. VER 1"= 10 FT.

21-315



**BENCHMARKS:**

**SITE BM #1**  
RAILROAD SPIKE, SOUTH FACE OF UTILITY POLE ALONG THE EAST PROPERTY LINE OF #2630 E. GRAND RIVER AVENUE, 192± SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 963.72 N.A.V.D.88

**SURVEY LEGEND**

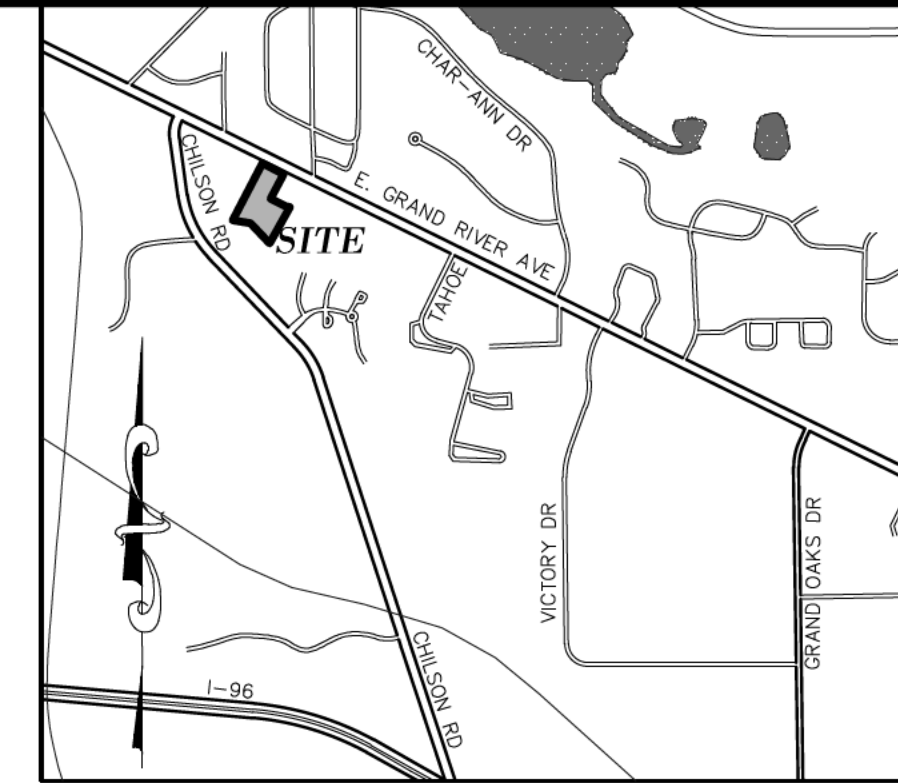
- EX. SECTION CORNER
- FIB/FG/FIP/MON
- EX. MAILBOX
- EX. SOIL BORE
- EX. SIGN
- EX. FIBER MARKER
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. HYDRANT
- EX. GATE VALVE & WELL
- EX. WATER SHUT-OFF
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. PEDISTAL
- EX. HAND HOLE
- EX. UTILITY FLAG
- EX. COMMUNICATIONS
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. WATER MAIN
- EX. OVERHEAD UTILITIES
- EX. FENCE
- EX. SWALE
- WETLAND BOUNDARY
- 590- CONTOUR MAJOR
- 591- CONTOUR MINOR
- EX. ZONING
- EX. TREELINE
- EX. CONIFEROUS
- EX. DECIDUOUS

**FLOOD HAZARD STATEMENT:**

THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE X FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26093C0307D (COMMUNITY ID NO. 260843 - TOWNSHIP OF GENOA, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. THIS STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. ZONE "X" INDICATES AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**DEMOLITION LEGEND:**

- CURB REMOVAL
- ASPHALT REMOVAL
- CONCRETE PAVEMENT AND SIDEWALK/BRICK REMOVAL

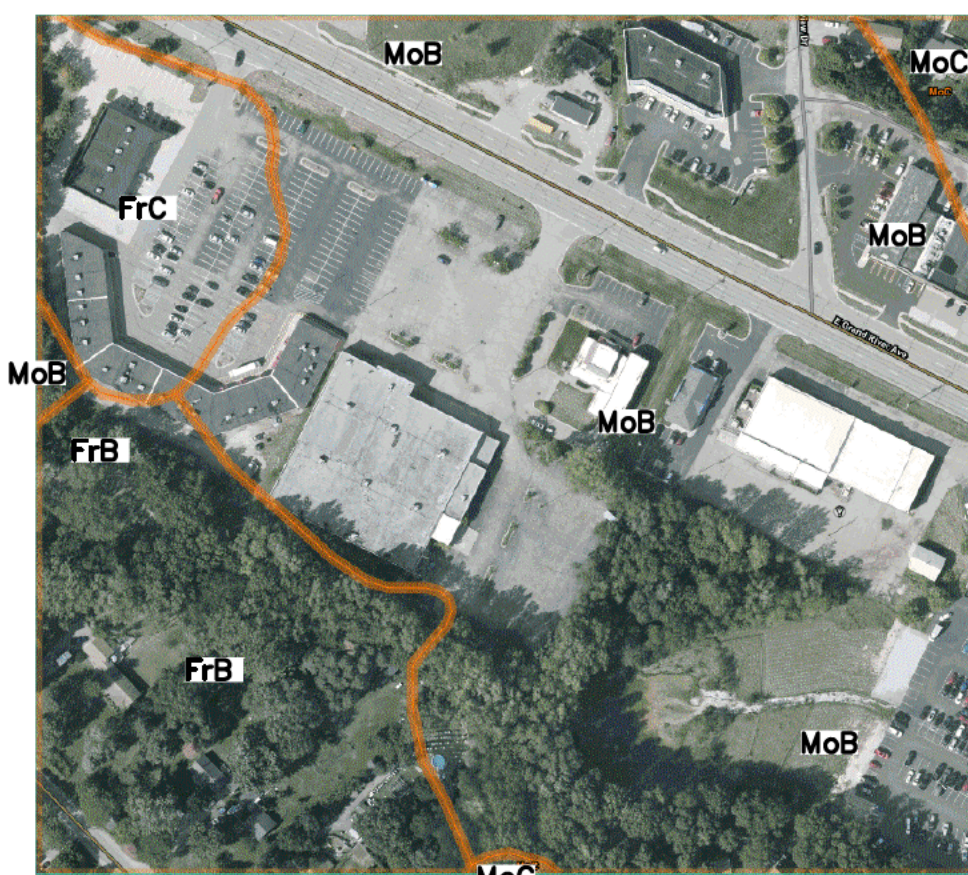


**E. GRAND RIVER AVENUE**  
(WIDTH VARIES)  
CENTERLINE OF ROAD

**DESCRIPTION: PARCEL #4711-06-200-061 (BY OTHERS)**

PART OF THE NORTHEAST 1/4 OF SECTION 6, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE N02°17'07"E 594.63 FEET TO THE CENTERLINE OF GRAND RIVER AVENUE THENCE N60°39'00"W ALONG SAID CENTERLINE 2381.67 FEET; THENCE CONTINUING ALONG SAID CENTERLINE N60°06'45"W 224.71 FEET; THENCE S29°41'36"W 289.33 FEET TO THE POINT OF BEGINNING; THENCE S60°33'15"E 18.00 FEET; THENCE S29°41'36"W 373.99 FEET; THENCE N70°44'43"W 11.82 FEET; THENCE N41°34'10"W 256.11 FEET; THENCE N79°03'54"W 162.46 FEET; THENCE N29°41'36"E 586.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF GRAND RIVER AVENUE; THENCE ALONG SAID RIGHT-OF-WAY S60°08'45"E 211.40 FEET; THENCE CONTINUING ALONG RIGHT-OF-WAY ALONG THE ARC OF A CURVE LEFT CHORD BEARING S60°06'50"E 3.60 FEET; THENCE S29°41'36"W 250.00 FEET; THENCE S60°10'24"E 175.00 FEET; THENCE N29°41'36"E 10.49 FEET TO THE POINT OF BEGINNING, CONTAINING 4.24 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD. SPLIT FROM 019 EXCEPTING THE NORTHEASTERLY 20 FEET AND PARALLEL TO GRAND RIVER, AS DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CORR 3/2014.

**NOTE:**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



Livingston County, Michigan (MI093)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FrB	Fox-Boyer complex, 2 to 6 percent slopes	5.7	19.4%
FrC	Fox-Boyer complex, 6 to 12 percent slopes	2.6	8.9%
MoB	Wawasee loam, 2 to 6 percent slopes	20.6	70.0%
MoC	Wawasee loam, 6 to 12 percent slopes	0.5	1.8%
<b>Totals for Area of Interest</b>		<b>29.5</b>	<b>100.0%</b>

**CURRENT ZONING:**  
GCD, GENERAL COMMERCIAL DISTRICT

**BUILDING SETBACKS:**  
FRONT: REQUIRED: 70 FEET (WITH PARKING IN FRONT)  
EXISTING: 253 FEET  
REAR: REQUIRED: 50 FEET  
EXISTING: 68 FEET  
SIDES: REQUIRED: 15 FEET  
EXISTING: 1.5 FEET

**PARKING SETBACKS:**  
FRONT: 20 FEET  
REAR: 10 FEET  
SIDES: 10 FEET  
PER GENOA TOWNSHIP ORDINANCE

**PARKING DATA:**  
MINIMUM REQUIRED PARKING PER ORDINANCE:  
- 6 SPACES REQUIRED (SELF STORAGE)  
- INCLUDING ONE BARRIER FREE SPACE

EXISTING PARKING: 74 SPACES (FRONT LOT ONLY)  
DOES NOT INCLUDE SIDE LOT

PROPOSED PARKING: 74 SPACES (FRONT LOT)  
6 SPACES (EAST LOT)  
80 SPACES TOTAL

**GREENTECH**  
ENGINEERING, INC.

CIVIL ENGINEERS & LAND SURVEYORS

51147 Perlicec Trail, Warsaw, MI 48383  
Phone: (248) 668-0700 Fax: (248) 668-0701

Know what's below  
Call before you dig.

CLIENT: SCHAFFER CONSTRUCTION

**EXISTING CONDITIONS & DEMOLITION PLAN**

2630 GRAND RIVER AVE - PARCEL NO 4711-06-200-061

SECTION: 6 TOWNSHIP: 2 N RANGE: 5 E

CHARTER TOWNSHIP OF GENOA  
LIVINGSTON COUNTY  
MICHIGAN

REVISED

DATE: 2-24-2022

DRAWN BY: RMS

CHECKED BY: DJL

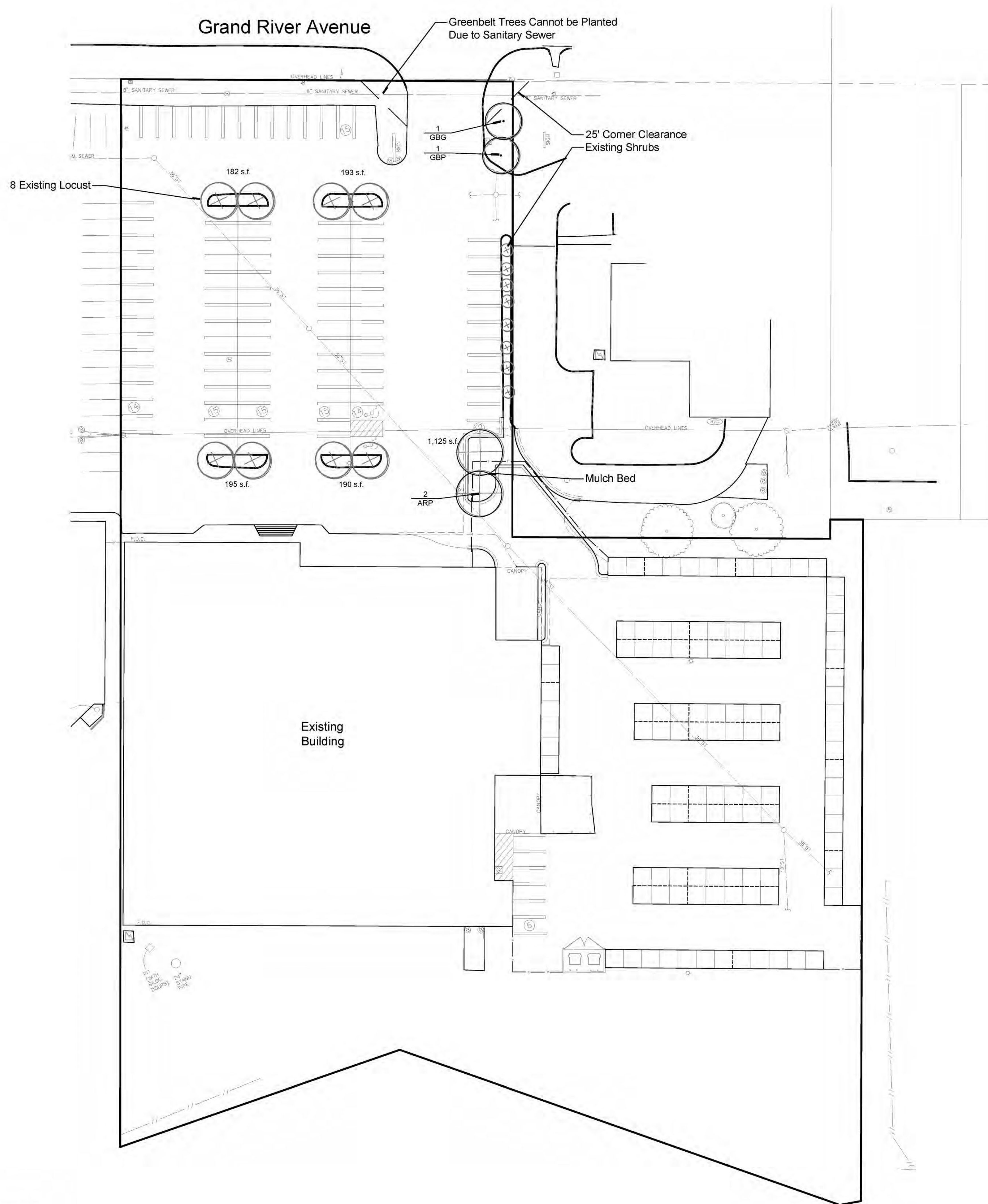
FBK: ---

SCALE: HOR 1"=30 FT.  
VER 1"= 1 FT.

21-315

3





**Landscape Summary**

<b>Greenbelt</b>	
Greenbelt Length	215'
Trees Required	5.3 Trees (215' / 40')
Trees Provided	1 Tree
<b>Parking Lot Landscaping</b>	
Total Proposed Spaces	106 Spaces
Landscape Area Required	1,060 s.f. (106 / 10) x 100
Landscape Area Proposed	1,885 s.f.
Trees Required	10.6 Trees (106 / 10)
Trees Provided	11 Trees (8 Existing)

**Plant List**

sym.	qty.	botanical name	common name	caliper	spacing	root
<b>Greenbelt Trees</b>						
GBG	1	Ginkgo biloba 'Fastigiata'	Upright Ginkgo			
<b>Parking Lot Trees</b>						
ARP	2	Acer x freemanii 'Armstrong'	Armstrong Maple	2.5"	as shown	B&B
GBP	1	Ginkgo biloba 'Fastigiata'	Upright Ginkgo			

Note:  
 All Landscaped Areas Shall be Provided with an Automatic Underground Irrigation System

NOTE:  
 GUY DECIDUOUS TREES ABOVE 3" CAL. STAKE DECIDUOUS TREES BELOW 3" CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

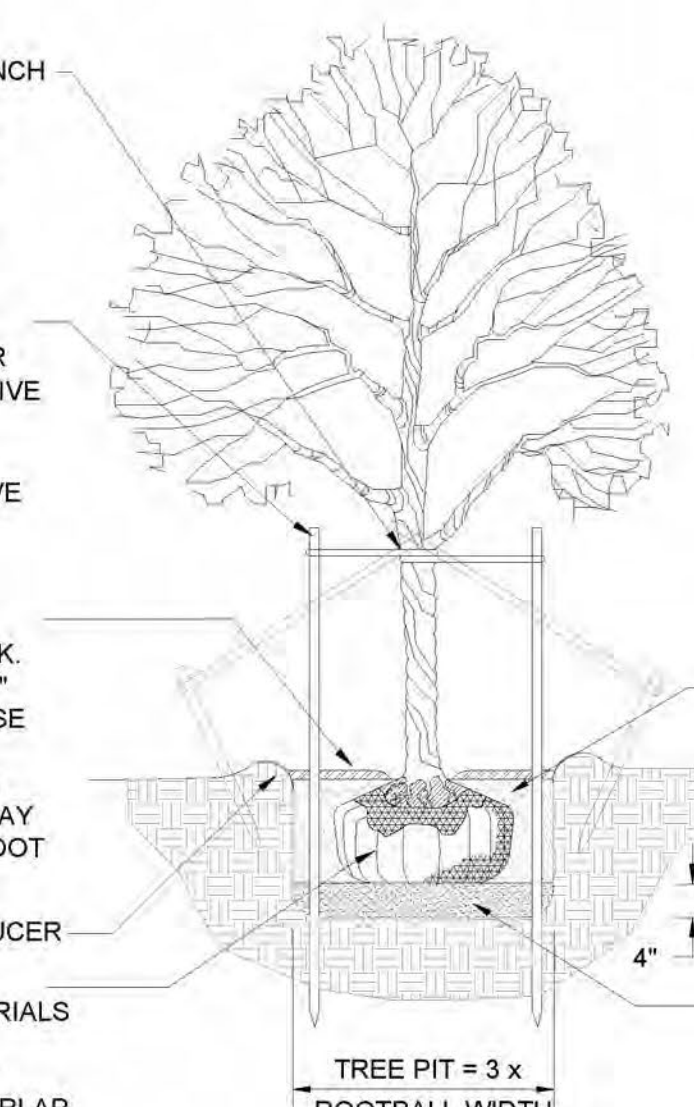
2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. PULL ANY ROOT BALL DIRT EXTENDING ABOVE THE ROOT FLARE AWAY FROM THE TRUNK SO THE ROOT FLARE IS EXPOSED TO AIR.

MOUND EARTH TO FORM SAUCER REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.

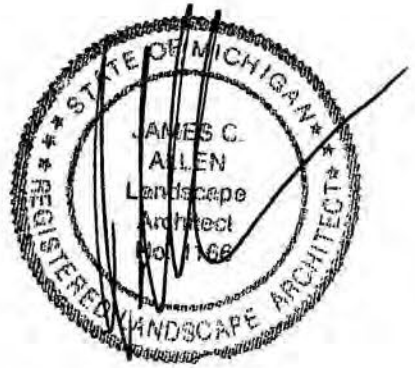
NOTE:  
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.  
 REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.



**DECIDUOUS TREE PLANTING DETAIL**

Seal:



Title:

**Landscape Plan**

Project:

**Grand River Storage  
 Genoa Township, Michigan**

Prepared for:

Greentech Engineering  
 51147 Pontiac Trail  
 Wixom, Michigan 48393  
 248.668.0700

Revision:

Issued:

Submission

January 25, 2022

Job Number:

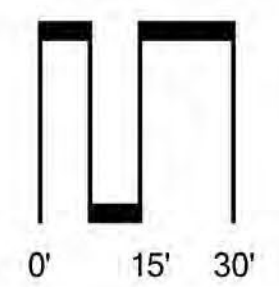
22-008

Drawn By:

jca

Checked By:

jca

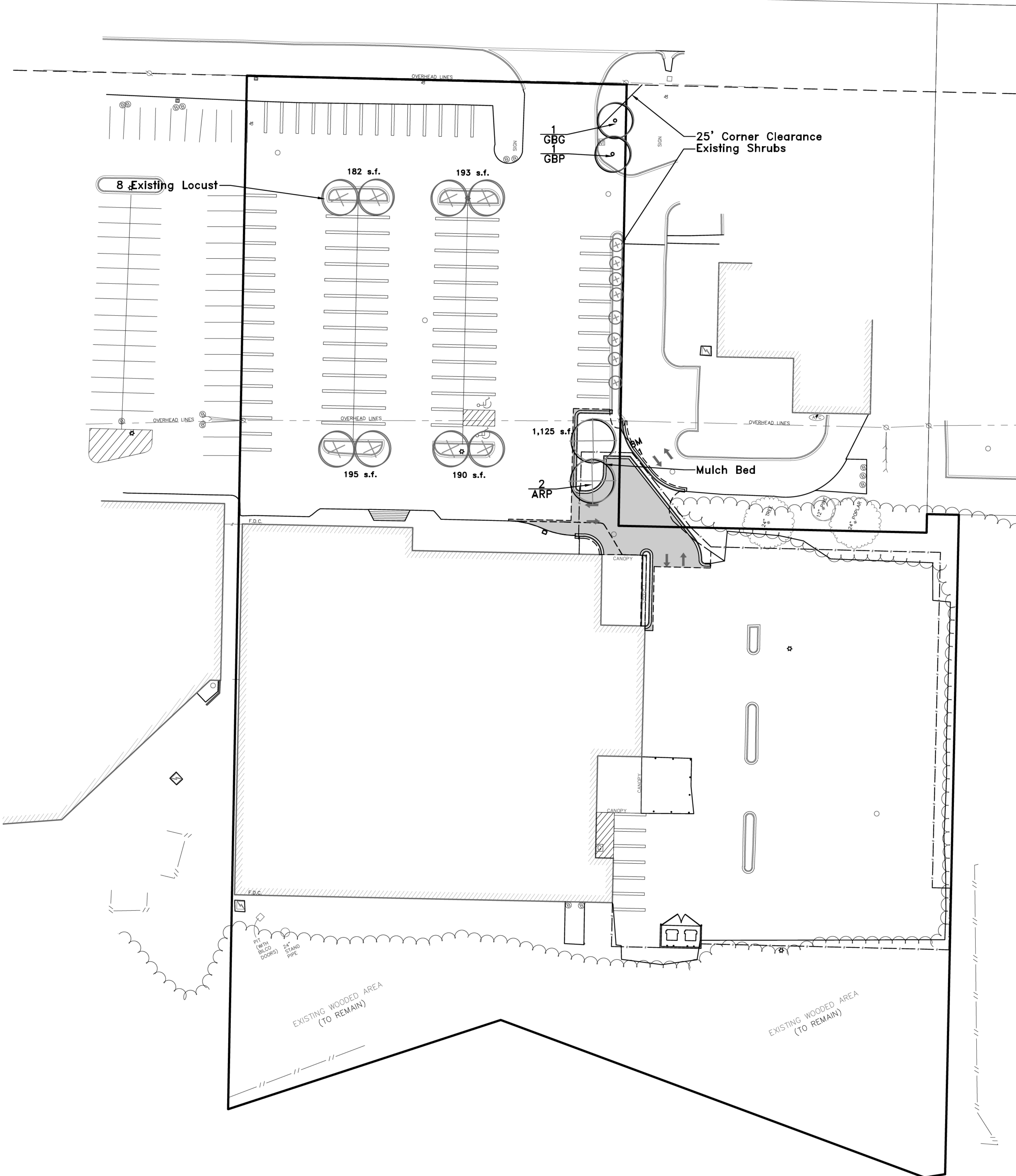


Sheet No.

**L-1**







### Landscape Summary

<b>Greenbelt</b>	
Greenbelt Length	215'
Trees Required	5.3 Trees (215' / 40')
Trees Provided	1 Tree
<b>Parking Lot Landscaping</b>	
Total Proposed Spaces	106 Spaces
Landscape Area Required	1,060 s.f. (106 / 10) x 100
Landscape Area Proposed	1,885 s.f.
Trees Required	10.6 Trees (106 / 10)
Trees Provided	11 Trees (8 Existing)

### Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root
<b>Greenbelt Trees</b>						
GBG	1	Ginkgo biloba 'Fastigiata'	Upright Ginkgo			
<b>Parking Lot Trees</b>						
ARP	2	Acer x freemanii 'Armstrong'	Armstrong Maple	2.5"	as shown	B&B
GBP	1	Ginkgo biloba 'Fastigiata'	Upright Ginkgo			

**Note:**  
All Landscaped Areas Shall be Provided with an Automatic Underground Irrigation System

**NOTE:**  
GUY DECIDUOUS TREES ABOVE 3" CAL. STAKE DECIDUOUS TREES BELOW 3" CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. PULL ANY ROOT BALL DIRT EXTENDING ABOVE THE ROOT FLARE AWAY FROM THE TRUNK SO THE ROOT FLARE IS EXPOSED TO AIR.

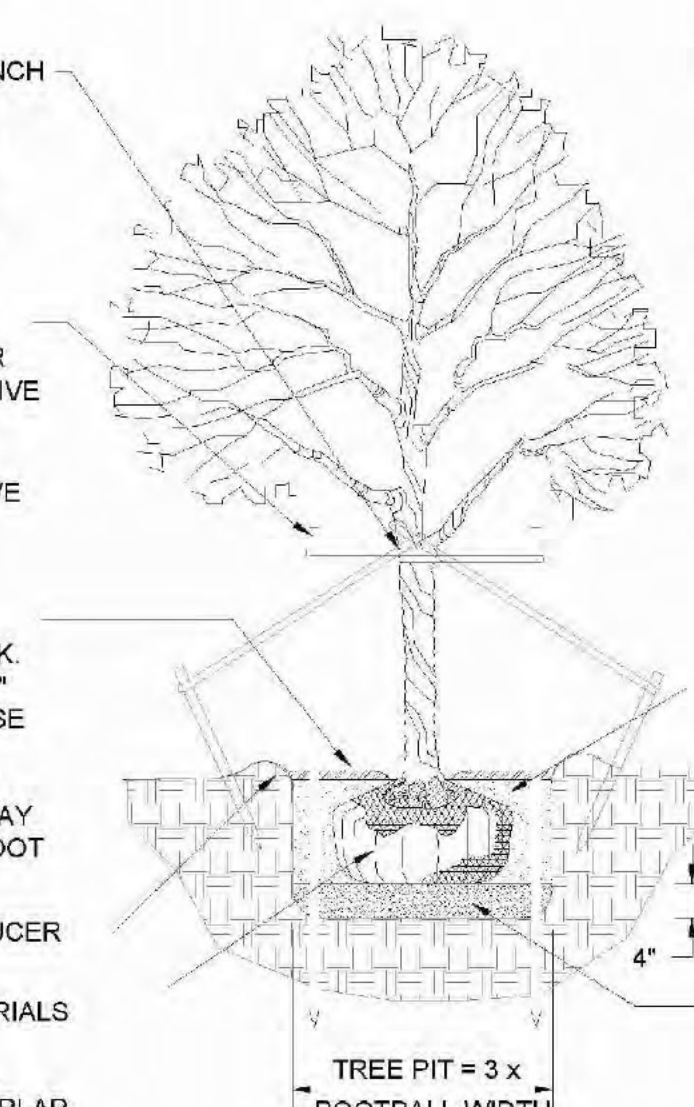
MOUND EARTH TO FORM SAUCER REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.

**NOTE:**  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 8" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

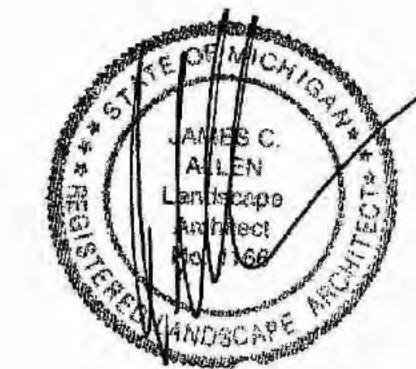
REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.



### DECIDUOUS TREE PLANTING DETAIL

Seal:



Title:

Landscape Plan

Project:

Grand River Storage  
Genoa Township, Michigan

Prepared for:

Greentech Engineering  
51147 Pontiac Trail  
Wixom, Michigan 48393  
248.668.0700

Revision:

Submission

Issued:

January 25, 2022

Job Number:

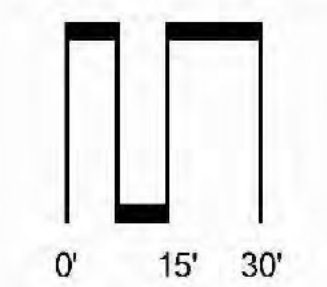
22-008

Drawn By:

jca

Checked By:

jca



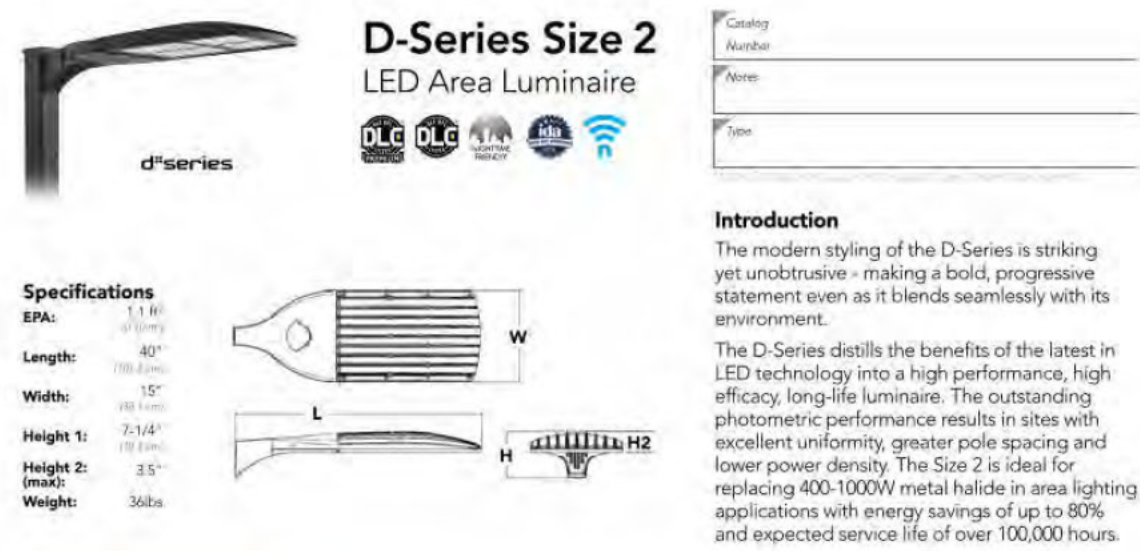
Sheet No.



L-1



**D-Series Size 2**  
LED Area Luminaire



**Specifications**

Length: 80"

Width: 18"

Height 1: 11.5"

Height 2: 11.5"

Weight: 36 lbs

**Introduction**

The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

**Ordering Information** EXAMPLE: DSX2 LED P7 40K 3TM MVOLT SPA NLTAR2 PIRHN DBDXD

Series	Options	LED Luminaire	Mounting	Finish	Accessories
DSX2	P7	40K	3TM	MVOLT	SPA NLTAR2 PIRHN DBDXD

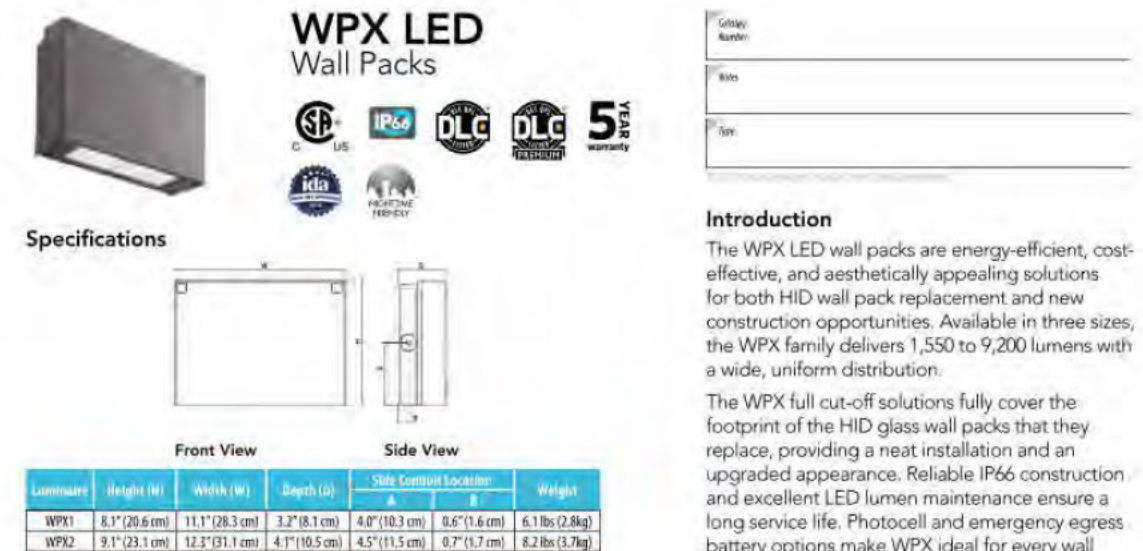
**General Notes**

1. See drawing for luminaire mounting height.

2. Calculations are shown in footcandles at 0' - 0'.

3. Lighting alternates require new photometric calculation and resubmission to city for approval.

**WPX LED**  
Wall Packs



**Specifications**

Length: 12"

Width: 4"

Height: 4"

Weight: 1.5 lbs

**Introduction**

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HD wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,500 to 3,000 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HD glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

**Ordering Information** EXAMPLE: WPX2 LED 40K MVOLT DBDXD

Series	Options	LED Luminaire	Mounting	Finish	Accessories
WPX2	LED	40K	MVOLT	DBDXD	

**General Notes**

1. See drawing for luminaire mounting height.

2. Calculations are shown in footcandles at 0' - 0'.

3. Lighting alternates require new photometric calculation and resubmission to city for approval.

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade @ 0'	+	0.5 fc	6.2 fc	0.0 fc	N/A	N/A	0.1:1
Parking	X	1.6 fc	4.2 fc	0.2 fc	21.0:1	8.0:1	0.4:1
Property Line	+	0.3 fc	1.0 fc	0.0 fc	N/A	N/A	0.3:1
EAST PARKING LOT	X	0.9 fc	3.9 fc	0.3 fc	13.0:1	3.0:1	0.2:1

**Schedule**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Light Loss Factor
P1	P1	2	Lithonia Lighting	[...]	[...]	0.9
P2	P2	1	Lithonia Lighting	DSX2 LED 40K MVOLT	LED	0.9
P3	P3	1	Lithonia Lighting	DSX2 LED 40K MVOLT	LED	0.9
W2	W2	3	Lithonia Lighting	WPX2 LED 40K Mvolt	LED	0.9

- General Note**
- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 0' - 0'
  - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

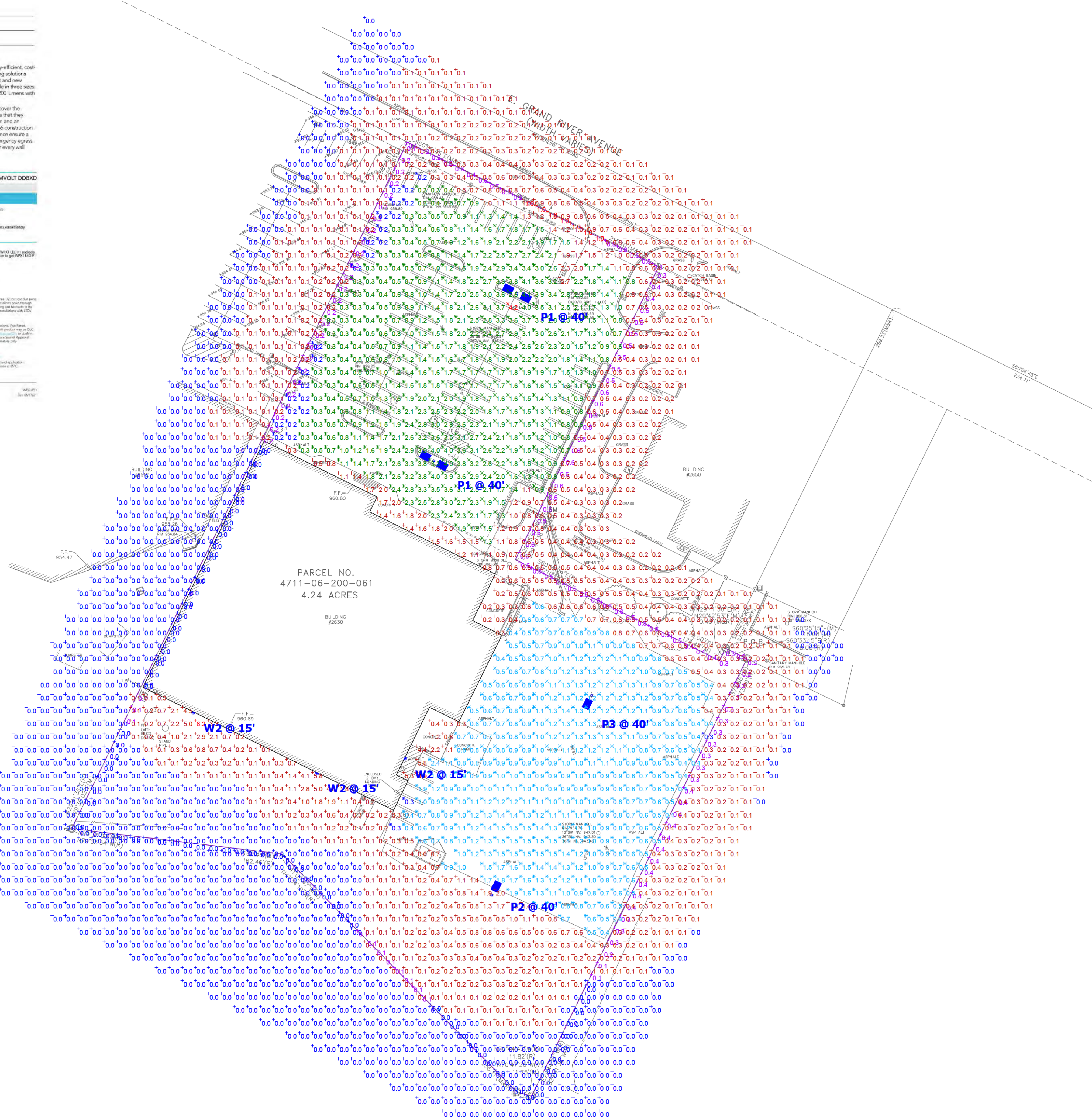
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



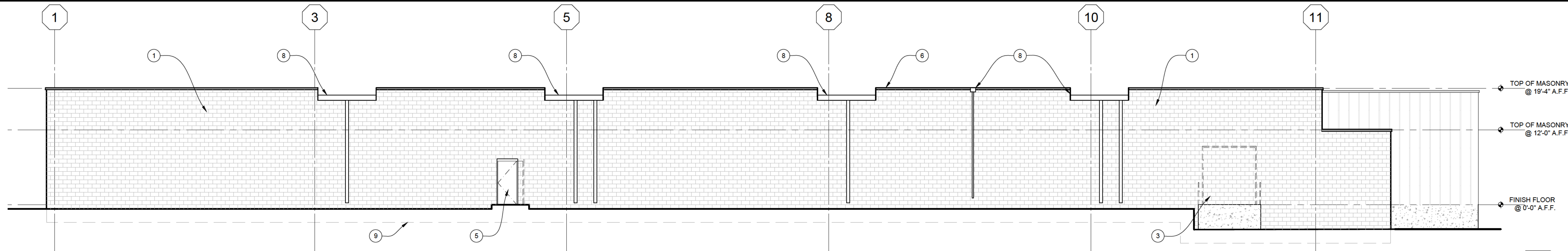
**Plan View**  
Scale - 1" = 40ft

**GBA**

2630 GRAND RIVER AVE  
PHOTOMETRIC PLAN  
PREPARED FOR: GREENTECH  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

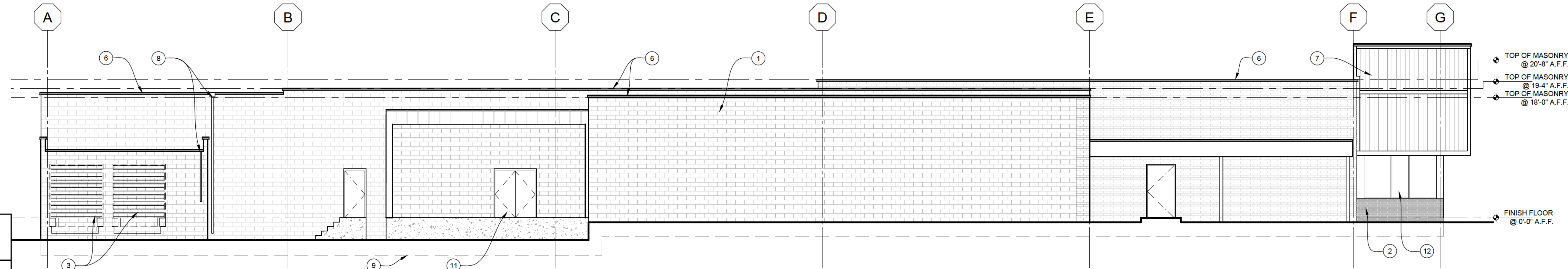
Designer  
TV/DS/KB  
Date  
01/27/2022  
Rev. 2/24/2022  
Not to Scale  
Drawing No.  
#22-71398 V2





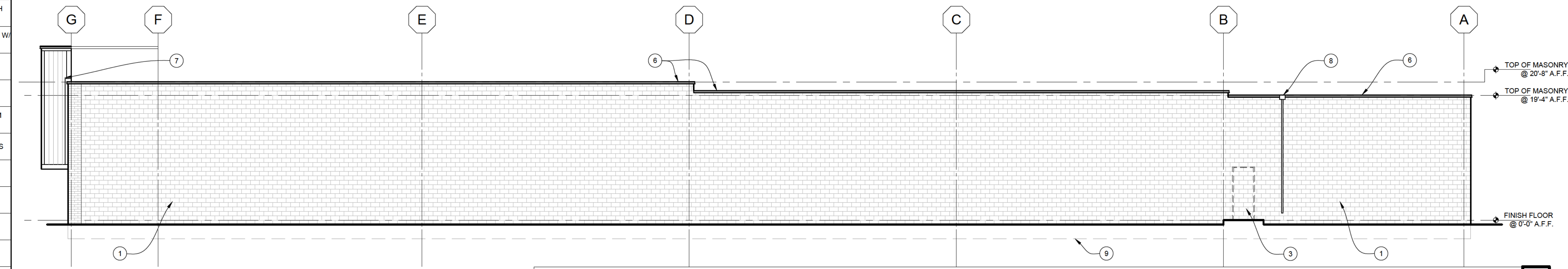
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

4



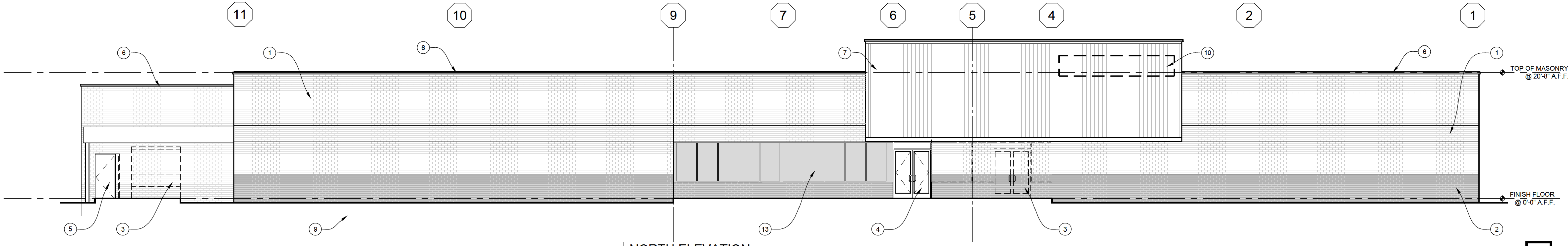
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

3



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

2



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

1

EXTERIOR MATERIAL SCHEDULE	
1	PAINTED EXISTING CMU BLOCK
2	PAINTED ACCENT BAND
3	INFILL EXISTING OPENING W/ CMU BLOCK TO MATCH EXISTING.
4	NEW 6'X8' ANOD. ALUM. STOREFRONT ENTRY DOOR W/ TINTED TEMPERED GLASS.
5	NEW 3'X7' H.M. DOOR & FRAME
6	NEW PRE-FINISHED METAL COPING
7	PATCH & REPAIR EXIST. WOOD SIDING & PAINT TRIM AS REQUIRED
8	NEW PRE-FINISHED METAL GUTTER & DOWNSPOUTS
9	DASHED LINE DENOTES EXISTING CONC. TRENCH FOOTING BELOW.
10	BUILDING SIGNAGE BY OWNER
11	NEW 6'X7' H.M. DOOR & FRAME
12	1\"/>
13	1\"/>

DATE	ISSUED FOR:
DRAWING DATE:	01-17-22
PROJECT NUMBER:	21093
SHEET NUMBER:	PE-2

**FLOOR PLAN KEYED NOTES**

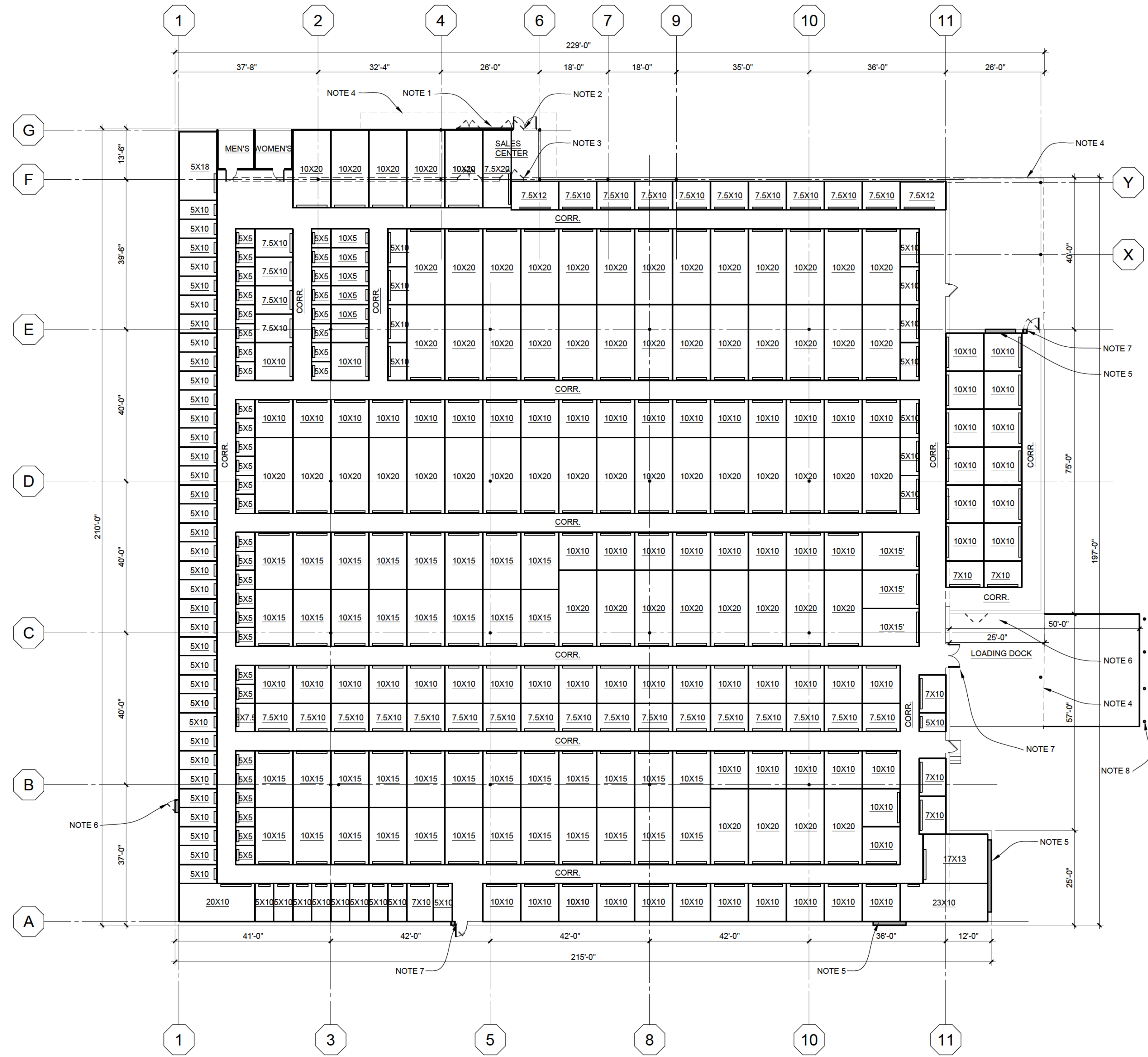
1. REMOVE EXISTING STOREFRONT SYSTEM. INFILL WITH CMU BLOCK TO MATCH EXISTING.
2. NEW ANOD. ALUM. ENTRY DOOR.
3. EXISTING INTERIOR WALLS TO BE REMOVED.
4. DASHED LINE DENOTES OUTLINE OF CANOPY/ OVERHANG ABOVE.
5. REMOVE EXISTING O.H. DOOR & INFILL WITH CMU BLOCK TO MATCH EXISTING.
6. REMOVE EXISTING H.M. DOOR & FRAME AND INFILL W/ CMU BLOCK TO MATCH EXISTING.
7. NEW H.M. DOOR & FRAME.
8. CONC. FILLED STEEL PIPE BOLLARD

**UNIT SCHEDULES**

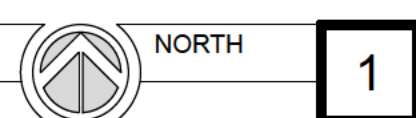
Unit Mix		Total	
Quantity	Name	Unit SF	Location
37	5X5	25	7
1	5X7.5	38	38
63	5X10	50	3150
6	7X10	70	420
30	7.5X10	75	2250
2	7.5X12	90	180
1	7.5X20	150	150
78	10X10	100	7900
43	10X15	150	6450
1	10X18	180	180
61	10X20	200	12200
1	10X23	230	230
1	13X17	221	221
325			34194

Door Count		Total Doors		
Roll	Swing	Adapt'l	Location	
3'	5'	10'	12'	
RH	LH	Door		
-	X	-	-	7
-	X	-	-	223
X	-	-	-	325
				94
				325
				324



**PRELIMINARY FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



DATE	ISSUED FOR
DRAWING DATE:	01-17-22
PROJECT NUMBER:	21093
SHEET NUMBER:	PPF-3





Proposed Exterior





Proposed Exterior



# GENOA CHARTER TOWNSHIP

## RESOLUTION #220321

At a regular meeting of the Township Board of Genoa Charter Township, Livingston County, Michigan (“Township”), held at 2911 Dorr Road, Brighton, Michigan 48116, on the 21<sup>st</sup> da of March, 2022, at 6:30 PM.

PRESENT:

ABSENT:

The following resolution was offered by , and supported by :

WHEREAS, the Charter Township Act, MCL42.1 et seq, as amended, requires the Township to prepare a detailed budget for the upcoming fiscal year; and

WHEREAS, the Uniform Budgeting and Accounting Act, MCL 141.421 et seq, as amended, which is applicable to the Township, requires that the Township pass a general appropriations act setting forth certain information for the upcoming fiscal year;

WHEREAS, The Township Board of Genoa Charter Township (“the Board”) seeks to adopt a resolution, which shall be known as the “2022-2023 General Appropriations Act,” which authorizes the Township to levy and collect taxes and authorize the spending of the money collected in the manner set forth below and in the approved budget document.

THEREFORE BE IT RESOLVED by the Township Board of Genoa Charter Township, Livingston County, Michigan, as follows:

1. This resolution shall be known as the “Genoa Charter Township 2022-2023 General Appropriations Act.”
2. Pursuant to the Uniform Budgeting and Accounting Act, MCL 141.412 & 413, notice of a public hearing on Truth in Taxation and proposed budget was published in a newspaper of general circulation on 2/27/2022.
3. The Board shall cause to be levied and collected the general property tax on all real and personal property within the Township upon the current tax roll at an allocated millage of .7855.
4. The Board adopts the 2022-2023 fiscal year budget for the various funds by Department. The Township officials responsible for the expenditures authorized in the budget may expend township funds up to, but not to exceed, the total appropriation authorized for each Department.



5. Pursuant to MCL 41.75, as amended, all claims (bills) against the Township shall be approved by the Board prior to being paid. Certain bills may be paid prior to approval by the Township Board to avoid late penalties, service charge and interest, and payroll in accordance with the approved salaries and wages adopted in this appropriations act. The Board shall receive a list of claims (bills) paid prior to approval so that they may be approved at the next Board meeting.
6. The fiscal year 2022-2023 General Bund budget of Genoa Charter Township is hereby adopted to include estimated total revenues and expenditures for the various funds, wages and/or salaries as presented in Exhibit A.
7. Whenever it appears to the Township Supervisor or the Board that the actual and probable revenues in any fund will be less than the estimated revenues upon which appropriations for such fund were based, and when it appears that expenditures will exceed an appropriation, the Township Supervisor shall present to the Board recommendations to prevent expenditures from exceeding available revenues or appropriations for the fiscal year. Such recommendations shall include proposals for reducing appropriations, increasing revenues, or both.

Yeas:

Nays:

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN

COUNTY OF LIVINGSTON

I, the undersigned, the duly qualified and acting Clerk for Genoa Charter Township, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board at a regular meeting held on the 21<sup>st</sup> day of March, 2022, and further certify that the above Resolution was adopted at said meeting.

---

Paulette A. Skolarus, Township Clerk

Exhibit A BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUND 2022-23

GL NUMBER	DESCRIPTION	AMENDED BUDGET
<b>ESTIMATED REVENUES</b>		
101-000-402-001	CURRENT REAL PROP TAX/INTEREST	1,085,000
101-000-411-001	DELINQ TAX - PERSONAL & REAL	1,000
101-000-434-002	TRAILER FEES	4,000
101-000-445-000	PENALTIES & INTEREST ON TAXES	-
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	370,000
101-000-448-002	COLLECTION FEE - SCHOOLS	25,000
101-000-448-003	SET FEES COLLECTED	-
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	59,359
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS	-
101-000-476-002	LICENSE & PERMIT FEES	20,000
101-000-476-003	CABLE FRANCHISE FEES	430,000
101-000-567-001	CEMETERY REVENUES	1,600
101-000-572-001	METRO ACT REVENUE	15,000
101-000-573-001	LCSA-PPT REIMBURSEMENT	15,000
101-000-574-002	STATE SHARED REVENUE	1,906,283
101-000-579-000	OTHER STATE REVENUES	300,000
101-000-608-000	APPLICATION FEES	60,000
101-000-609-000	CHARGES FOR SERVICES-PRINTING/FOIA	500
101-000-626-032	ADM FEE LIQUOR LAW	3,500
101-000-631-000	REFUSE COLLECTION	1,250,000
101-000-657-001	ORDINANCE FINES	3,000
101-000-665-001	INTEREST	4,850
101-000-671-000	OTHER REVENUE	1,000
101-000-672-000	TAXES ON LAND TRANSFER	145,000
101-000-673-001	GAIN/LOSS ON DISPOSAL OF ASSET	-
101-000-682-000	ELECTION REIMBURSEMENTS	-
101-000-682-001	GRANT FOR ELECTIONS	-
101-000-699-249	MMRMA REIMBURSEMENT	20,000
<b>Totals for dept 000</b>		<b>5,720,092</b>
<b>TOTAL ESTIMATED REVENUES</b>		<b>5,720,092</b>
<b>Dept 101 - TOWNSHIP TRUSTEES</b>		
101-101-702-014	SALARIES/TRUSTEES	31,500
101-101-861-000	MILEAGE & TRAVEL	3,800
101-101-910-000	PROF DEV/CONFERENCE/DUES	1,500
101-101-955-000	MISCELLANEOUS	100
<b>Totals for dept 101 - TOWNSHIP TRUSTEES</b>		<b>36,900</b>
<b>Dept 171 - TOWNSHIP SUPERVISOR</b>		
101-171-702-014	SALARIES/TWP SUPERVISOR	63,478
101-171-861-000	MILEAGE & TRAVEL	1,500
101-171-910-000	PROF DEV/CONFERENCE/DUES	2,000
101-171-955-000	MISCELLANEOUS	1,000
<b>Totals for dept 171 - TOWNSHIP SUPERVISOR</b>		<b>67,978</b>

Exhibit A BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUND

2022-23

GL NUMBER	DESCRIPTION	AMENDED BUDGET
<b>Dept 172 - TOWNSHIP MANAGER</b>		
101-172-702-014	SALARY/TWP MANAGER	139,513
101-172-703-000	WAGES & SALARIES	41,140
101-172-861-000	MILEAGE & TRAVEL	1,500
101-172-910-000	PROF DEV/CONFERENCE/DUES	3,000
101-172-955-000	MISCELLANEOUS	2,000
<b>Totals for dept 172 - TOWNSHIP MANAGER</b>		<b>187,153</b>
<b>Dept 191 - ACCOUNTING &amp; FINANCE</b>		
101-191-703-000	WAGES & SALARIES	80,245
101-191-801-000	ACCOUNTING CONSULTANT (PHP)	25,000
101-191-861-000	MILEAGE & TRAVEL	100
101-191-910-000	PROF DEV/CONFERENCE/DUES	500
101-191-955-000	MISCELLANEOUS	1,000
<b>Totals for dept 191 - ACCOUNTING &amp; FINANCE</b>		<b>106,845</b>
<b>Dept 215 - TOWNSHIP CLERK</b>		
101-215-702-014	SALARIES/TWP CLERK	58,755
101-215-703-000	WAGES & SALARIES DEPUTY CLERK	37,555
101-215-861-000	MILEAGE & TRAVEL	200
101-215-910-000	PROF DEV/CONFERENCE/DUES	100
101-215-955-000	MISCELLANEOUS	1,000
<b>Totals for dept 215 - TOWNSHIP CLERK</b>		<b>97,610</b>
<b>Dept 228 - INFORMATION TECHNOLOGY</b>		
101-228-703-000	WAGES & SALARIES	65,975
101-228-861-000	MILEAGE & TRAVEL	500
101-228-910-000	PROF DEV/CONFERENCE/DUES	200
101-228-955-000	MISCELLANEOUS	1,000
<b>Totals for dept 228 - INFORMATION TECHNOLOGY</b>		<b>67,675</b>
<b>Dept 247 - BOARD OF REVIEW</b>		
101-247-703-000	WAGES & SALARIES	4,200
101-247-861-000	MILEAGE & TRAVEL	100
101-247-910-000	PROF DEV/CONFERENCE/DUES	540
101-247-955-000	MISCELLANEOUS	500
101-247-915-000	PUBLICATIONS	500
101-247-964-000	REFUNDS & CHARGEBACKS	2,000
<b>Totals for dept 247 - BOARD OF REVIEW</b>		<b>7,840</b>
<b>Dept 253 - TOWNSHIP TREASURER</b>		
101-253-702-014	SALARIES/TWP TREASURER	62,838
101-253-703-000	WAGES & SALARIES	92,805
101-253-861-000	MILEAGE & TRAVEL	1,500
101-253-910-000	PROF DEV/CONFERENCE/DUES	500



Exhibit A BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUND		2022-23
GL NUMBER	DESCRIPTION	AMENDED BUDGET
101-253-955-000	MISCELLANEOUS	1,000
Totals for dept 253 - TOWNSHIP TREASURER		158,643
Dept 257 - ASSESSING DEPARTMENT		
101-257-703-000	WAGES & SALARIES	229,437
101-257-703-001	WAGES & SALARIES - INTERN	10,000
101-257-861-000	MILEAGE & TRAVEL	500
101-257-910-000	PROF DEV/CONFERENCE/DUES	10,000
101-257-955-000	MISCELLANEOUS	1,000
101-257-803-000	ASSESSING LEGAL	15,000
Totals for dept 257 - ASSESSING DEPARTMENT		265,937
Dept 261 - UNALLOCATED		
101-261-703-000	WAGES & SALARIES	5,000
101-261-709-000	EMPLOYER'S SHARE SOCIAL SEC & MEDICARE	81,675
101-261-709-001	CELLPHONE REIMBURSE	3,100
101-261-709-002	WORKERS COMP	9,000
101-261-718-001	RETIREMENT	121,000
101-261-718-002	HEALTH INSURANCE	327,500
101-261-718-003	WELLNESS	8,000
101-261-750-000	SUPPLIES	40,000
101-261-751-000	EQUIPMENT/SOFTWARE	140,000
101-261-791-000	SUBSCRIPTIONS & PUBLICATIONS	4,000
101-261-801-000	AUDIT SERVICES	29,900
101-261-802-000	CONTRACTUAL SERVICES/CONSULTING	1,000
101-261-861-000	MILEAGE & TRAVEL	100
101-261-941-000	CONTINGENCY	50,000
101-261-955-000	MISCELLANEOUS	1,000
Totals for dept 261 - UNALLOCATED		821,275
Dept 262 - ELECTIONS		
101-262-703-001	WAGES - PART TIME OFFICE WORKERS	25,000
101-262-703-002	WAGES - CHAIR PERSON	16,800
101-262-703-003	WAGES - POLL WORKERS	25,000
101-262-703-004	TRAINING PER DIEM	3,000
101-262-703-005	WAGES - RECEIVING BOARD	1,200
101-262-751-001	ELECTION OFFICE SUPPLIES	7,500
101-262-802-001	ELECTION MEETING FEES	1,200
101-262-802-002	BALLOT TESTING	12,000
101-262-802-003	LIVINGSTON COUNTY CLERK	9,600
101-262-802-004	CHURCH / SCHOOL CLEANUP	4,200
101-262-802-005	ELECTION BREAKFAST / DINNER	1,700
101-262-802-006	ELECTION PUBLICATIONS	1,000
101-262-861-001	ELECTION MILEAGE	400
101-262-901-001	POSTAGE FOR APPLICATIONS	4,850
101-262-901-002	POSTAGE FOR MAILING BALLOTS	9,300

Exhibit A BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUND		2022-23
GL NUMBER	DESCRIPTION	AMENDED BUDGET
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	9,500
101-262-955-000	ELECTION MISCELLANEOUS	1,000
Totals for dept 262 - ELECTIONS		133,250
Dept 265 - BUILDING & GROUNDS		
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	20,000
101-265-934-060	REPAIRS & MAINTENANCE	150,000
101-265-802-000	CONTRACTUAL SERVICES	1,000
101-265-840-000	INSURANCE - PROP LIAB/VEHICLE	50,700
101-265-850-000	TELEPHONE	29,000
101-265-955-000	MISCELLANEOUS	20,000
Totals for dept 265 - BUILDING & GROUNDS		270,700
Dept 266 - LEGAL SERVICES		
101-266-803-000	GENERAL TOWNSHIP LEGAL FEES	25,000
101-266-804-000	LITIGATION LEGAL FEES	100,000
Totals for dept 266 - LEGAL SERVICES		125,000
Dept 270 - HUMAN RESOURCES		
101-270-703-000	WAGES & SALARIES	17,500
101-270-802-000	CONTRACTUAL SERVICES	2,500
101-270-861-000	MILEAGE & TRAVEL	100
101-270-910-000	PROF DEV/CONFERENCE/DUES	500
101-270-955-000	MISCELLANEOUS	1,000
Total for dept 270 - HUMAN RESOURCES		21,600
Dept 445 - DRAINS AT LARGE		
101-445-802-000	CONTRACTUAL SERVICES - LIV COUNTY	50,000
Totals for dept 445 - DRAINS AT LARGE		50,000
Dept 521 - REFUSE COLLECTION		
101-521-802-000	CONTRACTUAL SERVICES	1,422,000
Totals for dept 521 - REFUSE COLLECTION		1,422,000
Dept 567 - CEMETERY		
101-567-703-001	CEMETERY PURCHASE	-
101-567-703-002	CEMETERY MAINTENANCE	6,000
Totals for dept 567 - CEMETERY		6,000
Dept 701 - PLANNING & ZONING		
101-701-702-014	WAGES - PLANNING COMMISSION	25,000
101-701-702-015	WAGES - ZONING BOARD	15,000
101-701-703-000	WAGES & SALARIES STAFF	218,760
101-701-802-000	CONTRACTUAL SERVICES	75,000
101-701-861-000	MILEAGE & TRAVEL	1,000
101-701-910-000	PROF DEV/CONFERENCE/DUES	8,000



Exhibit A BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUND		2022-23
GL NUMBER	DESCRIPTION	AMENDED BUDGET
101-701-915-000	PUBLICATIONS/POSTAGE	5,000
101-701-946-001	REVIEW SERVICES - PLANNING	30,000
101-701-946-002	REVIEW SERVICES - ENGINEERING	20,000
101-701-946-003	REVIEW SERVICES - PUBLICATIONS/POSTAGE	5,000
101-701-946-004	REVIEW SERVICES - ROUTING	2,000
101-701-946-005	REVIEW SERVICES - LEGAL	15,000
101-701-955-000	MISCELLANEOUS	2,000
Totals for dept 701 - PLANNING & ZONING		421,760
Dept 728 - ECONOMIC DEVELOPMENT		
101-728-880-000	COMMUNITY PROMOTION - CONTRIBUTION	27,000
Totals for dept 728 - ECONOMIC DEVELOPMENT		27,000
Dept 900 - CAPITAL OUTLAY		
101-900-970-000	CAPITAL OUTLAY > \$5,000	110,000
101-900-975-000	CAPITAL OUTLAY < \$5,000	7,000
Totals for dept 900 - CAPITAL OUTLAY		117,000
Dept 905 - DEBT SERVICE		
101-905-991-000	DEBT SERVICE - PRINCIPLE	-
101-905-992-000	DEBT SERVICE - INTEREST	-
101-905-993-000	DEBT SERVICE - AGENT FEES	-
Totals for dept 905 - DEBT SERVICE		-
Dept 930 - TRANSFERS IN & OTHER FINANCING SOURCES		
101-930-696-000	BOND PROCEEDS	-
101-930-697-000	LOAN PROCEEDS	-
101-930-699-XXX	TRANSFERS IN FROM FUND# XXX	-
Totals for dept 930 - TRANSFERS IN & OTHER FINANCING SOURCES		-
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES		
101-965-995-202	TRANSFERS OUT - FUND #202 - REIMB PROJECTS	-
101-965-995-208	TRANSFERS OUT - FUND #208 - PARKS & REC	850,000
101-965-995-249	TRANSFERS OUT - FUND #249 - BLDG RESERVE	150,000
101-965-995-401	TRANSFERS OUT - FUND #401 - ROAD IMPROVEMENT	1,000,000
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		2,000,000
TOTAL APPROPRIATIONS		6,412,166
TOTAL REVENUES		5,720,092
NET OF REVENUES/APPROPRIATIONS - FUND 101		(692,074)
BEGINNING FUND BALANCE		3,077,201
FUND BALANCE ADJUSTMENTS		
ENDING FUND BALANCE		2,385,127

Exhibit A

Fund 401 - CAPITAL PROJEC		2022-23
GL NUMBER	DESCRIPTION	RECOMMENDED BUDGET
<b>ESTIMATED REVENUES</b>		
Dept 000 - DUE FROM DPW #503		
401-000-665-001	INTEREST	1,300
401-000-699-000	OPERATING TRANSFER IN	1,000,000
Totals for dept 000 - DUE FROM DPW #503		<u>1,001,300</u>
<b>TOTAL ESTIMATED REVENUES</b>		<b><u>1,001,300</u></b>
<b>APPROPRIATIONS</b>		
Dept 441 - PUBLIC WORKS		
401-441-804-000	DUST CONTROL	75,000
401-441-968-000	I96/LATSON INTERCHANGE	
Totals for dept 441 - PUBLIC WORKS		<u>75,000</u>
Dept 477 - EDINBURGH ROAD		
401-477-812-000	HACKER REPAVE CLARK LK TO GC	410,000
401-477-814-000	KING LIMESTONE SCHAFER TO BRIGHTON	140,000
401-477-826-000	CROOKED LAKE ROAD PAVING	1,500,000
401-477-832-000	CROOKED LAKE	250,000
Totals for dept 477 - EDINBURGH ROAD		<u>2,300,000</u>
Dept 906		
401-906-955-000	SAD MATCHES	100,000
401-906-956-000	MISC EXPENSE/AUDIT	20,000
Totals for dept 906 -		<u>120,000</u>
<b>TOTAL APPROPRIATIONS</b>		<b><u>2,495,000</u></b>
NET OF REVENUES/APPROPRIATIONS - FUND 401		<u>(1,493,700)</u>
BEGINNING FUND BALANCE		1,775,535
ENDING FUND BALANCE		<u>281,835</u>



Exhibit A

Fund 249 - BUILDING AND GROUNDS FUI

2022-23

RECOMMENDED

GL NUMBER	DESCRIPTION	BUDGET
<b>ESTIMATED REVENUES</b>		
Dept 000 - DUE FROM DPW #503		
249-000-665-001	INTEREST	300
249-000-699-000	OPERATING TRANSFER IN #101	150,000
Totals for dept 000 - DUE FROM DPW #503		150,300
<b>TOTAL ESTIMATED REVENUES</b>		<b>150,300</b>
<b>APPROPRIATIONS</b>		
Dept 906		
249-906-956-000	MISC EXPENSE	
249-265-981-001	TWP HALL CONCRETE REPLACEMENT	45,487
249-265-981-002	TWP HALL DRIVE/PARKING LIGHT REPLACEMENT	55,000
249-265-981-003	DORR ROAD LED SIGN	27,000
Totals for dept 906 -		127,487
<b>TOTAL APPROPRIATIONS</b>		<b>127,487</b>
<b>NET OF REVENUES/APPROPRIATIONS - FUND 249</b>		<b>22,813</b>
BEGINNING FUND BALANCE		200,682
ENDING FUND BALANCE		223,495

Exhibit A

Fund 212 - LIQUOR LAW ENFORCEMENT

2022-23

RECOMMENDED

GL NUMBER	DESCRIPTION	BUDGET
<b>ESTIMATED REVENUES</b>		
Dept 000 - DUE FROM DPW #503		
212-000-574-001	STATE SHARED REV LIQUOR LAW	16,500
Totals for dept 000 - DUE FROM DPW #503		16,500
<b>TOTAL ESTIMATED REVENUES</b>		<b>16,500</b>
<b>APPROPRIATIONS</b>		
Dept 000 - DUE FROM DPW #503		
212-000-956-000	MISC EXPENSE	0
Totals for dept 000 - DUE FROM DPW #503		0
Dept 330		
212-330-702-013	LIQUOR LAW ENF WAGES	9,336
212-330-709-009	EMPLOYER'S SHARE FICA	724
212-330-715-002	RETIREMENT	933
212-330-801-070	AUDITING EXPENSE	206
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	3,605
212-330-860-070	VEHICLE EXPENSE	1,545
Totals for dept 330 -		16,349
<b>TOTAL APPROPRIATIONS</b>		<b>16,349</b>
<b>NET OF REVENUES/APPROPRIATIONS - FUND 212</b>		<b>151</b>
BEGINNING FUND BALANCE		3,464
ENDING FUND BALANCE		3,615

Exhibit A

Fund 208 - PARK/RECRE		2022-23
		RECOMMENDED
GL NUMBER	DESCRIPTION	BUDGET
<b>ESTIMATED REVENUES</b>		
Dept 000 - DUE FROM DPW #503		
208-000-665-001	INTEREST	600
208-000-675-001	INCOME-OTHER	
208-000-699-101	OPERATING TRANSFER IN #101	850,000
208-000-699-249	DNR ACQUISITION /MATCH	300,000
Totals for dept 000 - DUE FROM DPW #503		1,150,600
<b>TOTAL ESTIMATED REVENUES</b>		<b>1,150,600</b>
<b>APPROPRIATIONS</b>		
Dept 536		
208-536-972-100	LAND FOR RECREATION	600,000
Totals for dept 536 -		600,000
Dept 223 - Audit		
208-233-801-000	AUDIT	500
Totals for Dept 223 - Audit		500
Dept 751 - PARKS AND RECREATION DEPARTMENT		
208-751-934-001	SENIOR SURVIVOR PARK PROJECT	139,300
208-751-934-002	BAUER ROAD BOARDWALK REPLACEMENT	101,170
208-751-934-003	PEDESTRIAN XING GR @ SPEEDWAY	55,000
208-751-934-004	PEDESTRIAN XING GR@ GOLF CLUB	55,000
208-751-934-005	B-BALL BENCHES PICNIC TABLE CHARGERS	17,000
208-751-934-060	PATH / PARK MAINTENANCE	100,000
208-751-934-006	PARK MASTER PLAN	10,000
208-751-934-007	HAPRA	107,500
Totals for Dept 751 - PARKS AND RECREATION DEPT		584,970
<b>TOTAL APPROPRIATIONS</b>		<b>1,185,470</b>
<b>NET OF REVENUES/APPROPRIATIONS - FUND 208</b>		<b>(34,870)</b>
BEGINNING FUND BALANCE		933,250
ENDING FUND BALANCE		<b>898,380</b>

Exhibit A

Fund 202 - SAD ROADS A

2022-23

RECOMMENDED

GL NUMBER	DESCRIPTION	BUDGET
<b>ESTIMATED REVENUES</b>		
Dept 000 - DUE FROM DPW #503		
202-000-452-001	INTEREST/SAD	1,500
202-000-699-000	TRANSFER IN - FUND # 101	850,000
202-000-699-261	TRANSFER IN- FUND 261	100,000
Totals for dept 000 - DUE FROM DPW #503		951,500
Dept 448 - WHITE PINES STREETLIGHT		
202-448-628-005	SAD PRINCIPAL - WHITE PINES LIGHTS	800
Totals for dept 448 - WHITE PINES STREETLIGHT		800
Dept 470 - FENDT DRIVE		
202-470-628-005	SAD PRINCIPAL - FENDT DRIVE W-22	87,485
Totals for dept 470 - FENDT DRIVE		87,485
Dept 472 - GOLF CLUB (SHOULD READ RED OAKS)		
202-472-628-005	SAD PRINCIPAL - RED OAKS-W-22	52,900
Totals for dept 472 - GOLF CLUB		52,900
Dept 476 - TIMBERVIEW/PINE HILL DR		
202-476-628-005	SAD PRINCIPAL - TIMBERVIEW-W-22	32,535
202-476-699-261	TRANSFER IN # 261 - TIMBERVIEW	
Totals for dept 476 - TIMBERVIEW/PINE HILL DR		32,535
Dept 477 - EDINBURGH ROAD (SHOULD READ SUNDANCE)		
202-477-628-005	SAD PRINCIPAL - SUNDANCE TR-W-21	0
Totals for dept 477 - EDINBURGH ROAD		0
Dept 479 - E COON LAKE		
202-479-628-005	SAD PRINCIPAL- E COON LAKE RD-S-21	0
Totals for dept 479 - E COON LAKE		0
Dept 484 - EARL LAKE		
202-484-628-005	EARL LAKE SAD PRIN W25	19,160
202-484-699-261	EARL LAKE TRANS IN FROM 261	
Totals for dept 484 - EARL LAKE		19,160
Dept 485 - NOVEL ESTATES		
202-485-628-005	NOVEL ESTATES SAD PRIN W25	11,275
202-485-699-261	NOVEL ESTATES TRANS IN FROM 261	
Totals for dept 485 - NOVEL ESTATES		11,275
Dept 487 - EDWIN DR		

Exhibit A

Fund 202 - SAD ROADS A

2022-23

RECOMMENDED

GL NUMBER	DESCRIPTION	BUDGET
202-487-628-005	SAD PRINCIPAL-EDWIN DR	3,550
202-487-699-000	TRANSFER IN-FUND101 EDWIN DR	
202-487-699-261	TRANSFERIN-FUND 264 EDWIN DR	
Totals for dept 487 - EDWIN DR		3,550
Dept 489 - BLACK OAK TRAIL		
202-489-628-005	BLACK OAKS SAD PRINCIPLE	1,950
202-489-665-001	BLACK OAKS INTEREST	
Totals for dept 489 - BLACK OAK TRAIL		1,950
Dept 490 - DARLENE DRIVE		
202-490-628-005	DARLENE DRIVE SAD PRINCIPLE	3,385
202-490-665-001	DARLENE DR INTEREST	
Totals for dept 490 - DARLENE DRIVE		3,385
Dept 491 - ELMHURST		
202-491-628-005	SAD PRINCIPAL- ELMHURST	8,375
202-491-665-001	INTEREST - ELMHURST	
202-491-699-000	OPERATING TRANSFER IN-ELMHURST	
202-491-699-261	TRANS IN -ELMHURST	
Totals for dept 491 - ELMHURST		8,375
Dept 570 - LAKE CHEMUNG WEEDS		
202-570-628-005	SAD PRINCIPAL - LAKE CHEMUNG-W21	0
Totals for dept 570 - LAKE CHEMUNG WEEDS		0
Dept 571 - PARDEE LAKE WEEDS		
202-571-628-005	SAD PRINCIPAL - PARDEE LAKE-W-20	22,400
Totals for dept 571 - PARDEE LAKE WEEDS		22,400
Dept 572 - GRAND BEACH		
202-572-628-005	SAD PRINCIPAL - GRAND BEACH WEEDS W2016	14,125
Totals for dept 572 - GRAND BEACH		14,125
Dept 573 - E/W CROOKED LAKE S2022		
202-573-628-005	SAD PRINCIPAL- E/W CROOKED LK S2022	18,820
Totals for dept 573 - E/W CROOKED LAKE S2022		18,820
TOTAL ESTIMATED REVENUES		1,228,260
APPROPRIATIONS		
Dept 448 - WHITE PINES STREETLIGHT		
202-448-801-075	PROJECT COSTS - WHITE PINES LIGHTS	800
Totals for dept 448 - WHITE PINES STREETLIGHT		800

Exhibit A

Fund 202 - SAD ROADS A

2022-23

RECOMMENDED

GL NUMBER	DESCRIPTION	BUDGET
Dept 487 - EDWIN DR		
202-487-801-075	PROJECT COSTS - EDWIN DR	2,700
Totals for dept 487 - EDWIN DR		2,700
Dept 570 - LAKE CHEMUNG WEEDS		
202-570-801-075	PROJECT COSTS - LAKE CHEMUNG	78,000
Totals for dept 570 - LAKE CHEMUNG WEEDS		78,000
Dept 571 - PARDEE LAKE WEEDS		
202-571-801-075	PROJECT COSTS - PARDEE LAKE	32,000
Totals for dept 571 - PARDEE LAKE WEEDS		32,000
Dept 572 - GRAND BEACH		
202-572-801-075	PROJECT COSTS - GRAND BEACH WEEDS	10,000
Totals for dept 572 - GRAND BEACH		10,000
Dept 573 - E/W CROOKED LAKE S2022		
202-573-801-075	PROJ COSTS - E/W CROOKED LK WEEDS S2022	13,000
Totals for dept 573 - E/W CROOKED LAKE S2022		13,000
Dept 852 - TRANSFER TO OTHER FUNDS		
202-852-999-261	TRANS OUT TO FUND #261	0
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0
Dept 906		
202-906-956-000	MISC EXPENSE	0
Totals for dept 906 -		0
TOTAL APPROPRIATIONS		136,500
NET OF REVENUES/APPROPRIATIONS - FUND 202		1,091,760
BEGINNING FUND BALANCE		2,900,184
FUND BALANCE ADJUSTMENTS		0
ENDING FUND BALANCE		3,991,944



03/08/2022

## CHART OF ACCOUNTS FOR GENOA TOWNSHIP

## FUND 464-ARPA CORONAVIRUS

GL Number	Description	Type	2022-2023 BUDGET
464-000-001-001	CHECKING ACCOUNT / MONEY MARKET	Cash	
464-000-082-005	ACCOUNTS RECEIVABLE	Accounts Receivable	
464-000-202-001	ACCOUNTS PAYABLE-OTHER	Accounts Payable	
464-000-390-000	FUND BALANCE	Unassigned	
464-000-501-000	FEDERAL GRANT INCOME	Revenue	
464-000-501-001	MI DEPT OF TREASURY	Revenue	\$ 1,082,796.00
464-000-665-001	INTEREST	Revenue	\$ 700.00
464-000-699-000	OPERATING TRANSFER IN	Transfers-In	
			\$ 1,083,496.00
464-900-977-001	BROADBAND	Expenditure	\$ 225,000.00
464-521-802-000	ADDITIONAL RECYCLING EXPENSES	Expenditure	\$ 220,000.00
464-261-802-001	ZOOM MEETING EXPENSES- AMERICAN VIDEO ZOOM	Expenditure	\$ -
464-261-803-002	COVID SUPPLIES	Expenditure	\$ 1,000.00
464-262-803-000	ELECTION MACHINE	Expenditure	\$ 115,000.00
464-906-956-000	MISC EXPENSE	Expenditure	\$ 1,000.00
			\$ 562,000.00
	TOTAL REVENUE MINUS EXPENDITURES		\$ 521,496.00
	BEGINNING FUND BALANCE		\$ 353,340.00
	ENDING FUND BALANCE		\$ 874,836.00

ARPA CORONAVIRUS LOCAL FISCAL RECOVERY FUND #464

DESCRIPTION	YTD ACTUAL 3/1/2022	PROPOSED BUDGET FISCAL YEAR END 3/31/2023
BEGINNING FUND BALANCE	\$0.00	\$353,340.00
REVENUES		
MI DEPT OF TREASURY	\$1,082,796.00	\$1,082,796.00
INTEREST	\$276.00	\$700.00
TOTAL REVENUE	\$1,083,072.00	\$1,083,496.00
EXPENSES		
BROADBAND INFRASTRUCTURE	\$525,000.00	\$225,000.00
ADDITIONAL RECYCLING EXPENSES	\$198,398.00	\$220,000.00
ZOOM MEETING EXPENSES - AMERICAN VIDEO, ZOOM	\$5,526.00	\$0.00
COVID SUPPLIES	\$798.00	\$1,000.00
ELECTION MACHINE	\$0.00	\$115,000.00
AUDIT/MISC.	\$10.00	\$1,000.00
TOTAL EXPENSES	\$729,732.00	\$562,000.00
ENDING FUND BALANCE	\$353,340.00	\$874,836.00

**OAK POINTE SEWER BOND PAYMENT FUND #532**

DESCRIPTION	APPROVED BUDGET FISCAL YEAR END 3/31/2022	YTD ACTUAL 3/1/2022	PROPOSED BUDGET FISCAL YEAR END 3/31/2023
BEGINNING FUND BALANCE	\$550,436.00	\$556,067.00	\$553,683.00
<b>REVENUES</b>			
Quarterly Utility Billing from O.P. Operating	\$361,000.00	\$370,177.00	\$356,000.00
INCOME - OTHER - BOND REFUNDING	\$0.00	\$24,655.00	\$0.00
INTEREST INCOME	\$1,000.00	\$548.00	\$600.00
<b>TOTAL REVENUE</b>	<b>\$362,000.00</b>	<b>\$395,380.00</b>	<b>\$356,600.00</b>
<b>EXPENSES</b>			
BOND PAYMENTS	\$146,914.00	\$146,914.00	\$145,688.00
ADDITIONAL BOND PYMT - REFUNDING		\$249,300.00	\$0.00
AUDITING/MISC.	\$1,100.00	\$1,550.00	\$1,100.00
<b>TOTAL EXPENSES</b>	<b>\$148,014.00</b>	<b>\$397,764.00</b>	<b>\$146,788.00</b>
ENDING FUND BALANCE	\$769,058.00	\$553,683.00	\$763,495.00

**DORR RD SEWER & WATER #860**

DESCRIPTION	APPROVED BUDGET FISCAL YEAR END 3/31/2022	YTD ACTUAL 3/1/2022	PROPOSED BUDGET FISCAL YEAR END 3/31/2023
BEGINNING FUND BALANCE	\$46,185.00	\$46,187.00	\$313.00
<b>REVENUES</b>			
ASSESSMENTS/TAX LEVY	\$0.00	\$0.00	\$0.00
TAX LEVY - DELINQUENT FR COUNTY	\$0.00	\$0.00	\$0.00
ASSESSMENTS/PAYOFFS	\$0.00	\$0.00	\$0.00
INCOME - CONNECTION FEES FR CAP IMP	\$0.00	\$1,000.00	\$0.00
INTEREST INCOME	\$0.00	\$1.00	\$0.00
<b>TOTAL REVENUE</b>	<b>\$0.00</b>	<b>\$1,001.00</b>	<b>\$0.00</b>
<b>EXPENSES</b>			
BOND PAYMENTS	\$46,125.00	\$46,125.00	\$0.00
AUDITING/MISC.	\$0.00	\$750.00	\$0.00
TRANSFER OUT TO CLOSE ACCOUNT			\$313.00
<b>TOTAL EXPENSES</b>	<b>\$46,125.00</b>	<b>\$46,875.00</b>	<b>\$313.00</b>
ENDING FUND BALANCE	\$60.00	\$313.00	\$0.00

03/02/2022

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Fund 264-202 - SAD ROADS AND LAKES								
ESTIMATED REVENUES								
Dept 000								
202-000-452-001	INTEREST/SAD	1,826	3,906	12,820	2,437	1,500	2,037	2,050
202-000-699-000	TRANSFER IN - FUND # 101	150,000	150,000	150,000				0
Totals for dept 000 -		151,826	153,906	162,820	2,437	1,500	2,037	2,050
Dept 448 - WHITE PINES STREETLIGHT								
202-448-628-005	SAD PRINCIPAL - WHITE PINES LIGHTS	767	800	636	790	800	657	800
Totals for dept 448 - WHITE PINES STREETLIGHT		767	800	636	790	800	657	800
Dept 470 - FENDT DRIVE								
202-470-628-005	SAD PRINCIPAL - FENDT DRIVE W-22		81,389	87,486	87,486	87,500	79,413	79,413
Totals for dept 470 - FENDT DRIVE		0	81,389	87,486	87,486	87,500	79,413	79,413
Dept 471 - GRAND OAKS								
202-471-628-005	SAD PRINCIPAL - GRAND OAKS-W-20	142,649	76,820	79,661	73,978			0
202-471-699-001	OTHER INCOME-GRAND OAKS- LCRC	157,793						0
Totals for dept 471 - GRAND OAKS		300,442	76,820	79,661	73,978	0	0	0
Dept 472 - RED OAKS								
202-472-628-005	SAD PRINCIPAL - RED OAKS-W-22	59,811	62,775	58,330	55,860	53,638	53,884	53,884
Totals for dept 472 - RED OAKS		59,811	62,775	58,330	55,860	53,638	53,884	53,884
Dept 474 - SUNRISE PARK								
202-474-628-005	SAD PRINCIPAL - SUNRISE PARK-S-20	130,693	97,892	91,616	84,714		1,255	1,255
Totals for dept 474 - SUNRISE PARK		130,693	97,892	91,616	84,714	0	1,255	1,255
Dept 476 - TIMBERVIEW/PINE HILL DR								
202-476-628-005	SAD PRINCIPAL - TIMBERVIEW-W-22	46,469	33,183	36,071	33,242	33,242	34,657	34,657
202-476-699-261	TRANSFER IN # 261 - TIMBERVIEW	49,000						
Totals for dept 476 - TIMBERVIEW/PINE HILL DR		95,469	33,183	36,071	33,242	33,242	34,657	34,657

3/16/2022 1:46 PM



## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Dept 477 - SUNDANCE								
202-477-628-005	SAD PRINCIPAL - SUNDANCE TR-W-21	27,323	23,305	23,305	24,109	23,305	23,305	23,305
Totals for dept 477 - SUNDANCE		27,323	23,305	23,305	24,109	23,305	23,305	23,305
Dept 478 - HOMESTEAD								
202-478-628-005	SAD PRINCIPAL- HOMESTEAD TR-W-20	37,171	34,848	34,848	34,848			0
Totals for dept 478 - HOMESTEAD		37,171	34,848	34,848	34,848	0	0	0
Dept 479 - E COON LAKE								
202-479-628-005	SAD PRINCIPAL- E COON LAKE RD-S-21	19,608	19,608	22,059	18,382	18,382	18,382	18,382
Totals for dept 479 - E COON LAKE		19,608	19,608	22,059	18,382	18,382	18,382	18,382
Dept 480 - OAK POINT HONORS								
202-480-699-261	TRANSFER IN # 261 - OAK POINTE HONORS	44,000						0
Totals for dept 480 - OAK POINT HONORS		44,000	0	0	0	0	0	0
Dept 482 - HILLENDALE								
202-482-628-005	SAD PRINCIPAL - HILLENDALE-S-20		8,328	7,535	6,742		397	397
Totals for dept 482 - HILLENDALE		0	8,328	7,535	6,742	0	397	397
Dept 484 - EARL LAKE								
202-484-628-005	EARL LAKE SAD PRIN W25		31,328	21,810	19,513	19,513	21,642	21,642
202-484-699-261	EARL LAKE TRANS IN FROM 261		58,000					
Totals for dept 484 - EARL LAKE		0	89,328	21,810	19,513	19,513	21,642	21,642
Dept 485 - NOVEL ESTATES								
202-485-628-005	NOVEL ESTATES SAD PRIN W25		15,037	16,290	13,470	11,590	12,530	12,530
202-485-699-261	NOVEL ESTATES TRANS IN FROM 261		34,250					
Totals for dept 485 - NOVEL ESTATES		0	49,287	16,290	13,470	11,590	12,530	12,530
Dept 487 - EDWIN DR								
202-487-628-005	SAD PRINCIPAL-EDWIN DR			3,798	3,798	3,797	4,304	4,304

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Totals for dept 487 - EDWIN DR		0	0	3,798	3,798	3,797	4,304	4,304
Dept 489 - BLACK OAK TRAIL								
202-489-628-005	BLACK OAKS SAD PRINCIPLE						7,077	7,077
Totals for dept 489 - BLACK OAK TRAIL		0	0	0	0	0	7,077	7,077
Dept 490 - DARLENE DRIVE								
202-490-628-005	DARLENE DRIVE SAD PRINCIPLE						27,667	27,667
Totals for dept 490 - DARLENE DRIVE		0	0	0	0	0	27,667	27,667
Dept 491 - ELMHURST								
202-491-628-005	SAD PRINCIPAL- ELMHURST				14,274		8,526	8,526
Totals for dept 491 - ELMHURST		0	0	0	14,274	0	8,526	8,526
Dept 570 - LAKE CHEMUNG WEEDS								
202-570-628-005	SAD PRINCIPAL - LAKE CHEMUNG-W21	118,033	73,029	68,706	67,053	63,621	63,240	63,240
Totals for dept 570 - LAKE CHEMUNG WEEDS		118,033	73,029	68,706	67,053	63,621	63,240	63,240
Dept 571 - PARDEE LAKE WEEDS								
202-571-628-005	SAD PRINCIPAL - PARDEE LAKE-W-20	26,000	27,209	25,396	25,395		22,732	22,732
Totals for dept 571 - PARDEE LAKE WEEDS		26,000	27,209	25,396	25,395	0	22,732	22,732
Dept 572 - GRAND BEACH								
202-572-628-005	SAD PRINCIPAL - GRAND BEACH WEEDS W2C	9,336	9,603	9,470	8,936		14,125	14,125
Totals for dept 572 - GRAND BEACH		9,336	9,603	9,470	8,936	0	14,125	14,125
Dept 573 - E/W CROOKED LAKE S2022								
202-573-628-005	SAD PRINCIPAL- E/W CROOKED LK S2022	19,161	20,293	20,650	20,025	19,356	19,873	19,873
Totals for dept 573 - E/W CROOKED LAKE S2022		19,161	20,293	20,650	20,025	19,356	19,873	19,873
TOTAL ESTIMATED REVENUES		1,039,640	861,603	770,487	595,052	336,244	415,703	415,859

03/02/2022

## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>APPROPRIATIONS</b>								
<b>Dept 000</b>								
202-000-762-003	OTHER				(12)			0
Totals for dept 000 -		0	0	0	(12)	0	0	0
<b>Dept 448 - WHITE PINES STREETLIGHT</b>								
202-448-801-075	PROJECT COSTS - WHITE PINES LIGHTS	767	707	731	725	800	671	800
Totals for dept 448 - WHITE PINES STREETLIGHT		767	707	731	725	800	671	800
<b>Dept 470 - FENDT DRIVE</b>								
202-470-801-075	PROJECT COSTS - FENDT DRIVE W-22		426,321	5,000				0
Totals for dept 470 - FENDT DRIVE		0	426,321	5,000	0	0	0	0
<b>Dept 472 - RED OAKS</b>								
202-472-801-075	PROJECT COSTS - RED OAKS	7,110						0
Totals for dept 472 - RED OAKS		7,110	0	0	0	0	0	0
<b>Dept 476 - TIMBERVIEW/PINE HILL DR</b>								
202-476-801-075	PROJECT COSTS - TIMBERVIEW	265,698						0
Totals for dept 476 - TIMBERVIEW/PINE HILL DR		265,698	0	0	0	0	0	0
<b>Dept 480 - OAK POINT HONORS</b>								
202-480-801-075	PROJECT COSTS - OAK POINTE HONORS	217,645						0
Totals for dept 480 - OAK POINT HONORS		217,645	0	0	0	0	0	0
<b>Dept 482 - HILLENDALE</b>								
202-482-801-075	PROJECT COSTS - HILLENDALE	1,519	20,605					0
Totals for dept 482 - HILLENDALE		1,519	20,605	0	0	0	0	0
<b>Dept 484 - EARL LAKE</b>								
202-484-801-075	EARL LAKE PROJECT COSTS W-2018		1,260	225,386				0
Totals for dept 484 - EARL LAKE		0	1,260	225,386	0	0	0	0

3/16/2022 1:46 PM



Fund 264-202 - SAD ROAC		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Dept 485 - NOVEL ESTATES								
202-485-801-075	NOVEL ESTATES PROJECT COST W 2018		133,320					0
Totals for dept 485 - NOVEL ESTATES		0	133,320	0	0	0	0	0
Dept 486 - DILLION/STATE RD/MISC								
202-486-801-075	DILLON/STATE/MISC-PROJECT COST					69,000		0
Totals for dept 486 - DILLION/STATE RD/MISC		0	0	0	0	69,000	0	0
Dept 487 - EDWIN DR								
202-487-801-075	PROJECT COSTS -EDWIN DR			5,196	1,630		1,825	1,825
Totals for dept 487 - EDWIN DR		0	0	5,196	1,630	0	1,825	1,825
Dept 488 - EDINBURGH								
202-488-801-075	PROJECT COSTS-EDINBURG/ S2020			2,000				0
Totals for dept 488 - EDINBURGH		0	0	2,000	0	0	0	0
Dept 489 - BLACK OAK TRAIL								
202-489-801-075	BLACK OAKS PROJECT COST						20,000	20,000
Totals for dept 489 - BLACK OAK TRAIL		0	0	0	0	0	20,000	20,000
Dept 490 - DARLENE DRIVE								
202-490-801-075	DARLENE DRIVE PROJECT COST EXPENSE						50,220	50,220
Totals for dept 490 - DARLENE DRIVE		0	0	0	0	0	50,220	50,220
Dept 491 - ELMHURST								
202-491-801-075	PROJECT COSTS-ELMHURST				59,950			0
Totals for dept 491 - ELMHURST		0	0	0	59,950	0	0	0
Dept 570 - LAKE CHEMUNG WEEDS								
202-570-801-075	PROJECT COSTS - LAKE CHEMUNG	29,582	47,517	56,263	62,554		77,875	77,875
Totals for dept 570 - LAKE CHEMUNG WEEDS		29,582	47,517	56,263	62,554	0	77,875	77,875



## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Fund 264-202 - SAD ROAC								
Dept 571 - PARDEE LAKE WEEDS								
202-571-801-075	PROJECT COSTS - PARDEE LAKE	21,952	26,750	24,096	25,926	28,000	31,862	31,862
Totals for dept 571 - PARDEE LAKE WEEDS		21,952	26,750	24,096	25,926	28,000	31,862	31,862
Dept 572 - GRAND BEACH								
202-572-801-075	PROJECT COSTS - GRAND BEACH WEEDS	9,230	7,479	9,237	8,463	10,000	6,004	6,420
Totals for dept 572 - GRAND BEACH		9,230	7,479	9,237	8,463	10,000	6,004	6,420
Dept 573 - E/W CROOKED LAKE S2022								
202-573-801-075	PROJ COSTS - E/W CROOKED LK WEEDS S202	23,866	46,629	11,948	11,050	12,000	12,031	12,031
Totals for dept 573 - E/W CROOKED LAKE S2022		23,866	46,629	11,948	11,050	12,000	12,031	12,031
Dept 574 - ROUND LAKE								
202-574-801-075	PROJECT COSTS - ROUND LAKE	1,619						0
Totals for dept 574 - ROUND LAKE		1,619	0	0	0	0	0	0
Dept 852 - TRANSFER TO OTHER FUNDS								
202-852-999-261	TRANS OUT TO FUND #261			1,512				0
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0	0	1,512	0	0	0	0
Dept 906								
202-906-956-000	MISC EXPENSE	9,310	4,550	4,550	4,200		3,050	3,050
Totals for dept 906 -		9,310	4,550	4,550	4,200	0	3,050	3,050
TOTAL APPROPRIATIONS		588,298	715,138	345,919	174,486	119,800	203,538	204,083
NET OF REVENUES/APPROPRIATIONS - FUND 202		451,342	146,465	424,568	420,566	216,444	212,165	211,776
BEGINNING FUND BALANCE		1,142,661	1,594,005	1,740,466	2,165,033	2,585,599	2,585,599	2,585,599
FUND BALANCE ADJUSTMENTS						292	292	292
ENDING FUND BALANCE		1,594,003	1,740,470	2,165,034	2,585,599	2,802,335	2,798,056	2,797,667

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>ESTIMATED REVENUES</b>								
Dept 000								
401-000-665-001	INTEREST	1,537	6,081	10,340	1,778	1,500	1,217	1,500
401-000-699-000	OPERATING TRANSFER IN	500,000	500,000	500,000	900,000	900,000	900,000	900,000
401-000-699-264	TRANS IN FROM 264			1,512				
Totals for dept 000 -		501,537	506,081	510,340	901,778	901,500	901,217	901,500
<b>TOTAL ESTIMATED REVENUES</b>		501,537	506,081	510,340	901,778	901,500	901,217	901,500
<b>APPROPRIATIONS</b>								
Dept 330								
401-330-801-070	MISC ROADS/AUDIT		20,000	400		20,000		20,000
Totals for dept 330 -		0	20,000	400	0	20,000	0	20,000
Dept 441 - PUBLIC WORKS								
401-441-804-000	DUST CONTROL	70,484	67,247	68,447	66,542	75,000	62,471	63,000
Totals for dept 441 - PUBLIC WORKS		70,484	67,247	68,447	66,542	75,000	62,471	63,000
Dept 472 - RED OAKS								
401-472-804-000	GOLF CLUB			75,000				0
Totals for dept 472 - RED OAKS		0	0	75,000	0	0	0	0
Dept 477 - SUNDANCE								
401-477-811-000	HUGHES ROAD		193,730					0
401-477-817-000	LATSON ROAD SIGNAL		143,927					0
401-477-818-000	HACKER AND LAWSON	120,372						0
401-477-819-000	TIMBERVIEW	49,000						0
401-477-820-000	OAK POINTE HONORS	44,000						0
401-477-823-000	DORR ROAD			175,000				0
401-477-824-000	GRAND RIVER WIDENING			30,000				0
401-477-825-000	EDINBURGH DRIVE			5,000				0
401-477-826-000	CROOKED LAKE ROAD PAVING						68,380	70,000

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Fund 261-401 CAPITAL PR								
401-477-827-000	DILLION DRAINAGE/ROAD				56,879			0
401-477-828-000	DORR ROAD				122,500			0
401-477-829-000	HERBST ROAD-CRUSHED LIMESTONE			17,000	133,000			0
401-477-830-000	CHILSON RD (BRIGHTON-LATSON)				132,342			0
401-477-831-000	BEATTIE/PARDEE/WESTPHAL				64,199			0
401-477-833-000	CHALLIS ROAD REPAVE					210,000	93,770	94,000
401-477-834-000	BAUER CRUSHED LIME STONE					95,000	88,660	89,000
401-477-835-000	BAUER REPAVE					200,000	200,000	200,000
401-477-836-000	HUBERT SIMON TO G R					55,000	29,860	30,000
401-477-837-000	KELLOGG GRAND RIVER TO CORTLAND					85,000	106,141	110,000
401-477-838-000	DECEL LANE TWP, PARK ENTRANCE					65,000	50,919	51,000
401-477-995-870	TRANS OUT GR. RIVER DS#870				43,675			
Totals for dept 477 - SUNDANCE		213,372	337,657	227,000	552,595	710,000	637,730	644,000
Dept 852 - TRANSFER TO OTHER FUNDS								
401-852-995-264	TRANS OUT TO 264		92,250					0
Totals for dept 852 - TRANSFER TO OTHER FUNDS		0	92,250	0	0	0	0	0
Dept 906								
401-906-955-000	SAD MATCHES					100,000	11,000	11,000
401-906-956-000	MISC EXPENSE/AUDIT	580	882	7,712	1,245	20,000	950	1,000
Totals for dept 906 -		580	882	7,712	1,245	120,000	11,950	12,000
TOTAL APPROPRIATIONS		284,436	518,036	378,559	620,382	925,000	712,151	739,000
NET OF REVENUES/APPROPRIATIONS - FUND 401		217,101	(11,955)	131,781	281,396	(23,500)	189,066	162,500
BEGINNING FUND BALANCE		1,155,703	1,372,803	1,360,847	1,494,140	1,775,536	1,775,536	1,775,536
ENDING FUND BALANCE		1,372,804	1,360,848	1,492,628	1,775,536	1,752,036	1,964,602	1,938,036



## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 270-208 - PARK/REC		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>ESTIMATED REVENUES</b>								
Dept 000								
208-000-665-001	INTEREST	1,519	3,178	7,183	726	500	557	500
208-000-675-001	INCOME-OTHER	1,000		322				
208-000-699-000	TRANSFER IN-GENERAL FUND		500,000					
208-000-699-101	TRANSFER IN FROM GF #101 OPERATING	500,000		500,000	550,000	750,000	750,000	750,000
208-000-699-249	DNR ACQUISITION /MATCH					300,000		0
208-000-931-019	RENTAL INCOME	12,000	8,000					
Totals for dept 000 -		514,519	511,178	507,505	550,726	1,050,500	750,557	750,500
<b>TOTAL ESTIMATED REVENUES</b>		<b>514,519</b>	<b>511,178</b>	<b>507,505</b>	<b>550,726</b>	<b>1,050,500</b>	<b>750,557</b>	<b>750,500</b>
<b>APPROPRIATIONS</b>								
Dept 265 - TOWNSHIP HALL								
208-265-920-001	UTILITIES							
208-265-934-060	MAINTENANCE	100,461	76,767	78,652	82,797	100,000	101,715	105,000
Totals for dept 265 - TOWNSHIP HALL		100,461	76,767	78,652	82,797	100,000	101,715	105,000
Dept 268 - CONSULTING SERVICES								
208-268-801-075	ATTORNEY/ENGINEERING	240						
Totals for dept 268 - CONSULTING SERVICES		240	0	0	0	0	0	0
Dept 330								
208-330-762-002	RENTAL HOUSE EXPENSE							
208-330-762-005	TOOLS & SUPPLIES- ALL SYSTEMS	529	285	250	350	500	750	750
208-330-762-007	GENOA TWP ATHLETIC FIELD				88,308	190,000	241,632	242,000
208-330-762-008	RECREATION BIKE PATH	2,415	186,597	264,342	335,428		83,474	84,000
208-330-762-010	FILMORE PARK		12,354					
208-330-906-001	HOWELL PARKS AND REC	103,806	100,806	103,669	106,611	107,500	143,499	144,000
208-330-934-061	SENIOR SURVIVOR PARK PROJECT					110,000		0
Totals for dept 330 -		106,750	300,042	368,261	530,697	408,000	469,355	470,750

## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 270-208 - PARK/REC		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Dept 536								
208-536-972-100	LAND FOR RECREATION				4,800	600,000	1,313	1,500
Totals for dept 536 -		0	0	0	4,800	600,000	1,313	1,500
TOTAL APPROPRIATIONS		207,451	376,809	446,913	618,294	1,108,000	572,383	577,250
NET OF REVENUES/APPROPRIATIONS - FUND 208		307,068	134,369	60,592	(67,568)	(57,500)	178,174	173,250
BEGINNING FUND BALANCE		498,789	805,857	940,225	1,000,818	933,250	933,250	933,250
ENDING FUND BALANCE		805,857	940,226	1,000,817	933,250	875,750	1,111,424	1,106,500

BUDGET REPORT FOR GENOA TOWNSHIP

Fund 101 - GENERAL FUN		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
GL NUMBER	DESCRIPTION	ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL BUDGET	THRU 03/31/22	AMENDED BUDGET
<b>ESTIMATED REVENUES</b>								
Dept 000								
101-000-402-001	CURRENT REAL PROP TAX/INTEREST	884,853	918,863	960,519	995,848	925,000	834,888	925,000
101-000-411-001	DELINQ TAX - PERSONAL & REAL	2,030	904	524				
101-000-434-002	TRAILER FEES	3,577	2,734	3,049	4,271	3,700	3,392	3,700
101-000-445-000	PENALTIES & INTEREST ON TAXES			10				
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	331,536	343,808	343,644	355,860	350,000	343,775	350,000
101-000-448-002	COLLECTION FEE - SCHOOLS	24,945	25,167	24,900	24,561	25,000	24,834	25,000
101-000-448-003	SET FEES COLLECTED	163		165	255			
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	55,185	56,587	57,720	58,195	58,800	43,647	58,800
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS							
101-000-476-002	LICENSE/PERMIT/CABLE FRANCHISE	409,282	404,317	400,326	395,738	425,000	405,227	425,000
101-000-572-001	METRO ACT REVENUE		13,459	13,918	15,166	16,000	14,787	14,787
101-000-573-001	LCSA-PPT REIMBURSEMENT	18,565	7,067	14,622	15,928	8,000	11,297	11,296
101-000-574-002	STATE SHARED REVENUE	1,687,235	1,764,024	1,836,843	1,855,458	1,875,000	1,747,343	2,100,000
101-000-579-000	OTHER STATE REVENUES				18,158			
101-000-608-000	CHARGES FOR SERV-APPL FEES	42,564	69,184	97,578	29,996	90,000	57,839	60,000
101-000-626-032	ADM FEE LIQUOR LAW	3,500	3,500	3,500	3,500	3,500	3,500	3,500
101-000-657-001	ORDINANCE FINES						50	50
101-000-665-001	INTEREST	8,253	5,326	11,507	25,046	6,000	4,232	4,900
101-000-673-001	GAIN/LOSS ON DISPOSAL OF ASSET			8,250				
101-000-682-001	GRANT FOR ELECTIONS				6,276		6,759	6,759
101-000-699-249	MMRMA REIMBURSEMENT	17,305	14,770	26,695	30,819	32,000	18,851	18,851
101-000-762-003	OTHER/CEMETERY			474			1,892	1,400
101-000-762-011	MISC/SCHOOL/ELECTION	15,784	7,657	64,568	54,558	25,000	1,239	1,239
101-000-806-001	ZBA						1,340	1,340
101-000-934-003	TAXES ON LAND TRANSFER	119,945	128,538	139,362	149,569	150,000	149,103	150,000
101-000-943-001	REFUSE COLLECTION FEES	827,146	929,975	937,699	1,006,185	1,050,000	741,614	1,250,000
Totals for dept 000 -		4,451,868	4,695,880	4,945,873	5,045,387	5,043,000	4,415,609	5,411,622
<b>TOTAL ESTIMATED REVENUES</b>		<b>4,451,868</b>	<b>4,695,880</b>	<b>4,945,873</b>	<b>5,045,387</b>	<b>5,043,000</b>	<b>4,415,609</b>	<b>5,411,622</b>



BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 101 - GENERAL FUN		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>APPROPRIATIONS</b>								
<b>Dept 101 - TOWNSHIP TRUSTEES</b>								
101-101-702-014	SALARIES/TRUSTEES	29,180	31,187	31,122	26,671	35,000	27,074	35,000
Totals for dept 101 - TOWNSHIP TRUSTEES		29,180	31,187	31,122	26,671	35,000	27,074	35,000
<b>Dept 171 - TOWNSHIP SUPERVISOR</b>								
101-171-702-014	SALARIES/TWP SUPERVISOR	54,400	55,760	56,875	58,568	59,752	57,396	60,455
Totals for dept 171 - TOWNSHIP SUPERVISOR		54,400	55,760	56,875	58,568	59,752	57,396	60,455
<b>Dept 215 - TOWNSHIP CLERK</b>								
101-215-702-014	SALARIES/TWP CLERK	53,400	54,735	55,830	57,492	58,655	55,293	57,505
101-215-981-080	ELECTION EXP REIMBURSE BY GRANT				6,275			
Totals for dept 215 - TOWNSHIP CLERK		53,400	54,735	55,830	63,767	58,655	55,293	57,505
<b>Dept 247 - BOARD OF REVIEW</b>								
101-247-702-014	BD OF REVIEW SALARIES	1,975	2,375	2,725	2,639	3,000	468	1,000
101-247-964-000	REFUNDS & CHARGEBACKS	697	716	1,766		5,000	1,610	2,000
Totals for dept 247 - BOARD OF REVIEW		2,672	3,091	4,491	2,639	8,000	2,078	3,000
<b>Dept 253 - TOWNSHIP TREASURER</b>								
101-253-702-014	SALARIES/TWP TREASURER	53,400	54,735	55,830	57,492	58,655	56,342	58,655
Totals for dept 253 - TOWNSHIP TREASURER		53,400	54,735	55,830	57,492	58,655	56,342	58,655
<b>Dept 257 - ASSESSING DEPARTMENT</b>								
101-257-702-014	CONTRACTUAL SALARIES	357,451	368,738	370,817	383,353	416,160	374,381	395,000
Totals for dept 257 - ASSESSING DEPARTMENT		357,451	368,738	370,817	383,353	416,160	374,381	395,000
<b>Dept 260 - TOWNSHIP GENERAL EXPENSES</b>								
101-260-702-014	SALARIES	288,783	358,155	346,741	387,184	390,000	327,836	390,000
101-260-709-009	EMPLOYER'S SHARE FICA	72,775	71,519	72,076	77,555	85,000	73,329	85,000
101-260-715-002	RETIREMENT	99,933	116,563	112,314	112,368	120,000	89,822	120,000
101-260-850-000	TELEPHONE	24,246	29,007	30,446	26,618	32,000	25,596	27,900
101-260-861-000	MILEAGE & TRAVEL EXPENSE	10,902	10,392	10,884	6,235	15,000	6,164	6,500

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 101 - GENERAL FUN		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
101-260-891-001	ECONOMIC DEVELOPMENT	22,000	23,305	22,918	23,632	25,000	22,939	25,000
101-260-900-070	PRINTG, POSTAGE, OFC SUPPLIES	61,893	94,953	53,943	81,434	95,000	42,487	50,000
101-260-927-001	UNEMPLOYMENT TAXES	300			6,092	20,000		0
101-260-957-000	DUES	16,495	23,733	17,696	28,035	30,000	18,246	22,500
101-260-958-000	MEETING FEES & MISC. EXPENSES	13,016	30,106	32,385	12,856	30,000	7,046	8,000
101-260-958-001	PUBLICATIONS	(565)					1,895	1,895
101-260-959-000	APPL FEES EXPENSES	45,521	41,759	61,990	31,837	70,000	11,923	14,000
101-260-959-001	PLANNING /ZBA SALARIES	26,387	29,282	27,877	24,358	32,000	30,114	32,000
101-260-959-003	PUBLICATIONS						360	400
101-260-959-004	ENGINEER REVIEW						4,745	12,000
101-260-959-005	PLANNER REVIEW						13,921	20,000
101-260-959-006	ATTORNEY REVIEW						665	3,500
101-260-959-007	MAILING FEES						263	350
101-260-963-001	SAD EXPENSES- PUBLICATIONS						8,460	9,460
Totals for dept 260 - TOWNSHIP GENERAL EXPENSES		681,686	828,774	789,270	818,204	944,000	685,811	828,505
Dept 262 - ELECTIONS								
101-262-702-014	SALARIES/ELECTION	500	57,076	58,490	54,534	25,000	148	148
101-262-751-001	ELECTION OFFICE SUPPLIES						3,492	3,500
Totals for dept 262 - ELECTIONS		500	57,076	58,490	54,534	25,000	3,640	3,648
Dept 265 - TOWNSHIP HALL								
101-265-840-064	INSURANCE BC/BS & MCM	298,212	301,950	342,192	354,542	425,000	368,784	400,000
101-265-840-065	WELLNESS IQ REIMBURSE	5,254	5,250	5,087	4,225	5,000	2,864	2,864
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	21,773	15,352	19,230	17,215	22,000	16,141	18,700
101-265-934-060	REPAIRS & MAINTENANCE	147,150	151,803	154,003	161,804	160,000	129,276	142,000
Totals for dept 265 - TOWNSHIP HALL		472,389	474,355	520,512	537,786	612,000	517,065	563,564
Dept 266 - LEGAL SERVICES								
101-266-801-075	PROF.CONTR./LEGAL	59,007	99,099	127,592	100,401	135,000	93,441	100,000
Totals for dept 266 - LEGAL SERVICES		59,007	99,099	127,592	100,401	135,000	93,441	100,000
Dept 267 - AUDITING SERVICES								

## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
Fund 101 - GENERAL FUN								
101-267-801-075	PROF. CONTR. AUDITOR	22,985	20,100	18,925	18,950	25,000	22,605	22,605
Totals for dept 267 - AUDITING SERVICES		22,985	20,100	18,925	18,950	25,000	22,605	22,605
Dept 268 - CONSULTING SERVICES								
101-268-801-075	PROF. CONSULTING/ENG/PLANNING	17,971	14,914	13,203	67,668	90,000	10,601	15,000
Totals for dept 268 - CONSULTING SERVICES		17,971	14,914	13,203	67,668	90,000	10,601	15,000
Dept 301 - ORDINANCE ENFORCEMENT								
101-301-702-014	SALARY/ORDINANCE/ ZONING ADMIN	75,576	81,112	81,998	84,820	94,500	82,945	87,000
Totals for dept 301 - ORDINANCE ENFORCEMENT		75,576	81,112	81,998	84,820	94,500	82,945	87,000
Dept 441 - PUBLIC WORKS								
101-441-803-000	REFUSE MAINTENANCE	964,542	1,081,606	1,065,892	1,104,550	1,319,811	1,103,925	1,319,811
Totals for dept 441 - PUBLIC WORKS		964,542	1,081,606	1,065,892	1,104,550	1,319,811	1,103,925	1,319,811
Dept 442 - ROAD PROJ.								
101-442-962-000	DRAIN AT LARGE	32,459	27,584	29,868	33,432	50,000		15,000
Totals for dept 442 - ROAD PROJ.		32,459	27,584	29,868	33,432	50,000	0	15,000
Dept 852 - TRANSFER TO OTHER FUNDS								
101-852-995-261	TRANS OUT FUTURE RD IMPR #261	500,000	500,000	500,000	900,000	900,000	900,000	900,000
101-852-995-264	ADV FOR ROAD PROJECTS #264	150,000	150,000	150,000				
101-852-995-270	FUT DEV PARKS & REC.#270	500,000	500,000	500,000	550,000	750,000	750,000	750,000
101-852-995-271	TRANS TO RESERVE BLDG/GRD #271	50,000	50,000	50,000		50,000	50,000	50,000
101-852-999-998	CONTINGENCIES					50,000		0
Totals for dept 852 - TRANSFER TO OTHER FUNDS		1,200,000	1,200,000	1,200,000	1,450,000	1,750,000	1,700,000	1,700,000
Dept 853 - CAPITAL OUTLAY								
101-853-981-001	CAPITAL OUTLAY	117,632	70,134	42,631	27,696	100,000	112,281	115,000
Totals for dept 853 - CAPITAL OUTLAY		117,632	70,134	42,631	27,696	100,000	112,281	115,000
TOTAL APPROPRIATIONS		4,195,250	3,387,646	3,283,665	3,650,223	4,466,533	3,209,726	4,553,483



BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 101 - GENERAL FUN		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
NET OF REVENUES/APPROPRIATIONS - FUND 101		256,618	1,308,234	1,662,208	1,395,164	576,467	1,205,883	858,139
BEGINNING FUND BALANCE		2,138,369	2,394,985	2,567,865	2,922,347	3,077,202	3,077,202	3,077,202
FUND BALANCE ADJUSTMENTS				(68,047)				
ENDING FUND BALANCE		2,394,987	3,703,219	4,162,026	4,317,511	3,653,669	4,283,085	3,935,341

BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>ESTIMATED REVENUES</b>								
Dept 000								
249-000-665-001	INTEREST	308	505	558	208	500	83	500
249-000-699-000	OPERATING TRANSFER IN #101	50,000	50,000	50,000		50,000	50,000	50,000
249-000-762-003	CEMETERY SALES		3,000		1,200			
Totals for dept 000 -		50,308	53,505	50,558	1,408	50,500	50,083	50,500
<b>TOTAL ESTIMATED REVENUES</b>		<b>50,308</b>	<b>53,505</b>	<b>50,558</b>	<b>1,408</b>	<b>50,500</b>	<b>50,083</b>	<b>50,500</b>
<b>APPROPRIATIONS</b>								
Dept 853 - CAPITAL OUTLAY								
249-853-981-001	CAPITAL OUTLAY/PAVEMENT/PARKIN			56,205				
Totals for dept 853 - CAPITAL OUTLAY		0	0	56,205	0	0	0	0
Dept 906								
249-906-956-000	MISC EXPENSE			1,700		2,125		2,125
249-906-957-000	CEMETERY PURCHASE							
249-906-958-000	CEMETERY MAINTENANCE	5,500	750	4,295	1,050	6,000	1,560	1,600
249-906-959-000	CHILSON- DORR FIRE STATION		37,360					
249-906-960-000	TOWNSHIP HALL HVAC REPLACE					35,000		0
249-906-961-000	TOWNSHIP HALL WINDOW REPLACEMENT					50,000	3,195	3,200
Totals for dept 906 -		5,500	38,110	5,995	1,050	93,125	4,755	6,925
<b>TOTAL APPROPRIATIONS</b>		<b>5,500</b>	<b>38,110</b>	<b>62,200</b>	<b>1,050</b>	<b>93,125</b>	<b>4,755</b>	<b>6,925</b>
<b>NET OF REVENUES/APPROPRIATIONS - FUND 249</b>		<b>44,808</b>	<b>15,395</b>	<b>(11,642)</b>	<b>358</b>	<b>(42,625)</b>	<b>45,328</b>	<b>43,575</b>
BEGINNING FUND BALANCE		151,763	196,571	211,966	200,324	200,682	200,682	200,682
ENDING FUND BALANCE		196,571	211,966	200,324	200,682	158,057	246,010	244,257

## BUDGET REPORT FOR GENOA TOWNSHIP

		2017-18	2018-19	2019-20	2020-21	2021-22	2021-22	2021-22
Fund 212 - LIQUOR LAW E		ACTIVITY	ACTIVITY	ACTIVITY	ACTIVITY	ORIGINAL	ACTIVITY	AMENDED
GL NUMBER	DESCRIPTION					BUDGET	THRU 03/31/22	BUDGET
<b>ESTIMATED REVENUES</b>								
Dept 000								
212-000-574-001	STATE SHARED REV LIQUOR LAW	14,942	14,034	16,220	15,523	16,500	16,288	16,500
Totals for dept 000 -		14,942	14,034	16,220	15,523	16,500	16,288	16,500
<b>TOTAL ESTIMATED REVENUES</b>		14,942	14,034	16,220	15,523	16,500	16,288	16,500
<b>APPROPRIATIONS</b>								
Dept 330								
212-330-702-013	LIQUOR LAW ENF WAGES	8,240	8,240	9,064	9,064	9,064	9,064	9,064
212-330-709-009	EMPLOYER'S SHARE FICA	640	640	703	703	703	703	703
212-330-715-002	RETIREMENT	824	824	906	906	906	906	906
212-330-801-070	AUDITING EXPENSE		200	200	200	200	200	200
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	3,500	3,500	3,500	3,500	3,500	3,500	3,500
212-330-860-070	VEHICLE EXPENSE			1,500	1,500	1,500	1,500	1,500
Totals for dept 330 -		13,204	13,404	15,873	15,873	15,873	15,873	15,873
<b>TOTAL APPROPRIATIONS</b>		13,204	13,404	15,873	15,873	15,873	15,873	15,873
<b>NET OF REVENUES/APPROPRIATIONS - FUND 212</b>		1,738	630	347	(350)	627	415	627
BEGINNING FUND BALANCE		1,100	2,837	3,468	3,814	3,465	3,465	3,465
ENDING FUND BALANCE		2,838	3,467	3,815	3,464	4,092	3,880	4,092



## Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575  
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628  
Internet Address: [www.livingstonroads.org](http://www.livingstonroads.org)

March 10, 2022

**MEMORANDUM TO:** Genoa Township Board of Trustees  
**FROM:** Steve Wasylk, Managing Director  
**SUBJECT:** Project Agreement (s), King Rd

The enclosed project agreement has been prepared for your review and approval. Once approved, please have all copies signed by the Supervisor and Clerk and returned to our office marked for the attention of Cathy Jones. **PLEASE DO NOT DATE THE DOCUMENT(S).**

After submittal to the Board of County Road Commissioners for their approval, a dated fully executed copy will be returned to you for your files.

SW/cj

enc: 2 copies of 1 agreement

cc: Jodie Tedesco, County Highway Engineer

# PROJECT AGREEMENT

JOB NUMBER: \_\_\_\_\_

This Agreement made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2022 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

## WITNESSETH

The Township has selected the following road to be improved as described below:

**KING ROAD  
(FROM END OF PAVEMENT TO RICHARDSON ROAD)  
APPROXIMATELY 8,283 FEET  
LIMESTONE RESURFACING  
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$140,000.
  - A. The balance shall be paid promptly as invoiced.
  - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
  - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The Road Commission shall hold the Township harmless from any liability arising from the work performed pursuant to this contract.
4. The work will be completed within the current contract year, unless the parties otherwise so agree.
5. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

**IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.**

**TOWNSHIP OF GENOA**

**BY: \_\_\_\_\_  
MICHAEL ARCHINAL, SUPERVISOR**

**\_\_\_\_\_  
PAULETTE SKOLARUS, CLERK**

**BOARD OF COUNTY ROAD COMMISSIONERS  
OF THE COUNTY OF LIVINGSTON**

**BY: \_\_\_\_\_  
STEVEN J. WASYLK, MANAGING DIRECTOR**

**\_\_\_\_\_  
TERRY E. PALMER, DIRECTOR OF FINANCE**



# PROJECT AGREEMENT

JOB NUMBER: \_\_\_\_\_

This Agreement made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2022 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

## WITNESSETH

The Township has selected the following road to be improved as described below:

**KING ROAD  
(FROM END OF PAVEMENT TO RICHARDSON ROAD)  
APPROXIMATELY 8,283 FEET  
LIMESTONE RESURFACING  
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows:  
\$140,000.
  - A. The balance shall be paid promptly as invoiced.
  - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
  - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The Road Commission shall hold the Township harmless from any liability arising from the work performed pursuant to this contract.
4. The work will be completed within the current contract year, unless the parties otherwise so agree.
5. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

**IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.**

**TOWNSHIP OF GENOA**

**BY: \_\_\_\_\_  
MICHAEL ARCHINAL, SUPERVISOR**

**\_\_\_\_\_  
PAULETTE SKOLARUS, CLERK**

**BOARD OF COUNTY ROAD COMMISSIONERS  
OF THE COUNTY OF LIVINGSTON**

**BY: \_\_\_\_\_  
STEVEN J. WASYLK, MANAGING DIRECTOR**

**\_\_\_\_\_  
TERRY E. PALMER, DIRECTOR OF FINANCE**



2911 Dorr Road  
 Brighton, MI 48116  
 810.227.5225  
 810.227.3420 fax  
 genoa.org

## MEMORANDUM

**TO:** Honorable Board of Trustees

**FROM:** Adam VanTassell

**DATE:** March 21, 2022

**RE:** Proposed Township Hall Board Room Audio/Visual System Update

Manager's Review: \_\_\_\_\_



The Township Board room has been utilizing the current audio/visual system for a number of years now, including some parts that came over from the original Township Hall in 1998. The projector system was last updated in 2016 from the original installation with the projector being replaced at that time. Since then, the audio/visual system has fallen further behind current technology and has become more difficult to repair and maintain.

Staff is recommending that the audio/visual system be upgraded to more fit in with the current needs for the Board as well as for various groups who use the Board Room for scheduled functions. The recommended quote is to remove the current projector and replace it with two video walls, with one large video wall over the Board table where the giant logo sits (and would be removed) and a larger video wall at the opposite end of the Board Room where the old aerial map current sits (and would be removed). This allows vision for both members in the audience as well Board members. It would also allow a more "movie theater" style presentation alignment for meetings that don't require the Board Room dais as audience chairs could be turned to face the rear video wall for presentations. In addition, this system would be equipped with a dongle/puck that can be plugged into laptops for others to present information on the video walls.

### Recommended Motion

**Moved by \_\_\_\_\_, Supported by \_\_\_\_\_ to approve the proposal from Omni Tech Spaces for the purchase of a new Board Room visual display system for \$62, 283.00.**

#### SUPERVISOR

Bill Rogers

#### CLERK

Paulette A. Skolarus

#### TREASURER

Robin L. Hunt

#### TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

#### MANAGER

Michael C. Archinal





**Advanced Lighting & Sound**

Phone: 248-817-2092  
 Fax: 248-817-2093  
 1026 Maplelawn Drive  
 Troy, MI 48084

**Quote**

No.: **16847**  
 Date: **1/17/2022**

Prepared for:  
 Adam Vantassell  
 Genoa Township  
 2911 Dorr Road  
 Brighton, MI 48116 USA

Prepared by: Shawn Watts  
 Account No.: 8480  
 Phone: (810) 227-5225

Qty	Manuf	Item ID	Description	Sell	Total
1	DA-LI	70222L	COSMO 137D 72.5X116NPA MW	\$1,349.00	\$1,349.00
1	Panas	PT-VMZ50U7	5000 Lumen WUXGA Laser Projector with Lens, White	\$2,405.00	\$2,405.00
1	CHIEF	RSA345	RSA345 INCL SSB345 BLK	\$182.00	\$182.00
1	Barco	CX-30	Seamless wireless conferencing. Includes 2 dongles	\$2,368.00	\$2,368.00
1	Ace D	ALS HDMI TO AUDIO	HDMI Audio Extractor PL-HA-TosRCA	\$46.00	\$46.00
1	ALS	ALS HDMI 3'	3' HDMI Cable	\$9.00	\$9.00
1	ALS	Install	Install Materials	\$75.00	\$75.00
1	ALS	Labor	Installation Labor - Mount screen, replace projector, integrate ClickShare	\$1,400.00	\$1,400.00
1	ALS	Shipping	Shipping Charge	\$265.00	\$265.00

**Your Price:**                       
**\$8,099.00**

**Total:**                       
**\$8,099.00**

Prices are firm until 2/16/2022                      Terms: COD

**Prepared by:** Shawn Watts, shawnw@go-als.com

**Date:** 1/17/2022

**Accepted by:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Disclaimer**

All prices quoted are valid for 30 business days. Please fax signed quote to 248-817-2093 or email to sales@go-als.com so that your order can be placed. Thank you for your business.

# Genoa Township Hall

## Video Walls

1/24/2022

**Mike Caputo**

(248) 533-0805

mtc@omnicabling.com

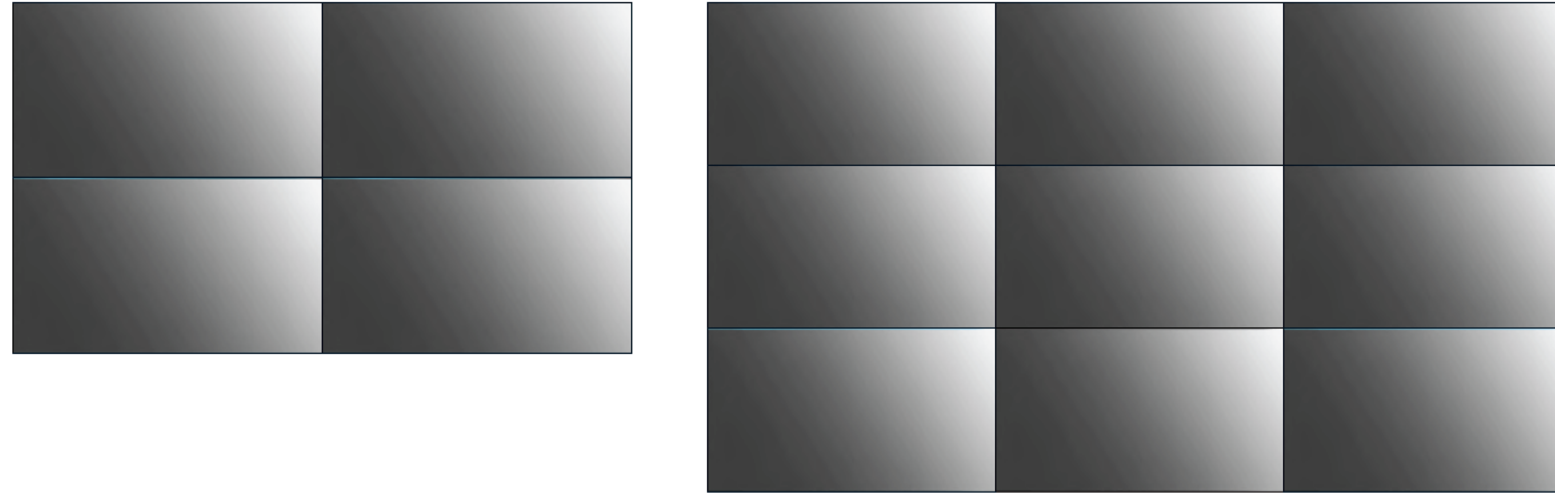


[www.omnicabling.com](http://www.omnicabling.com) | [www.omnitechspaces.com](http://www.omnitechspaces.com)

### Video Distribution



### Video Walls



### Wireless Presentation System



### Monitor

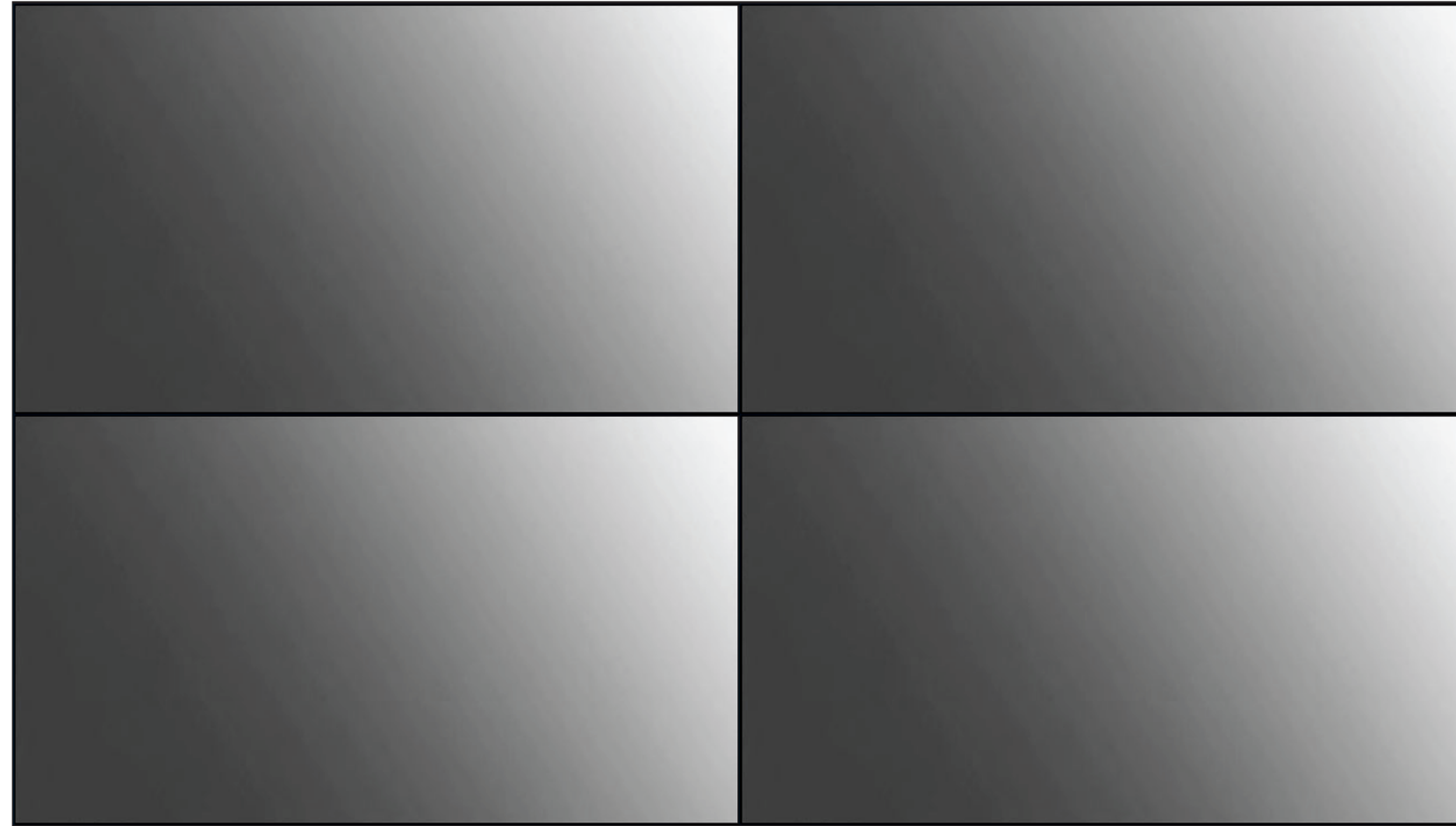


### Control System

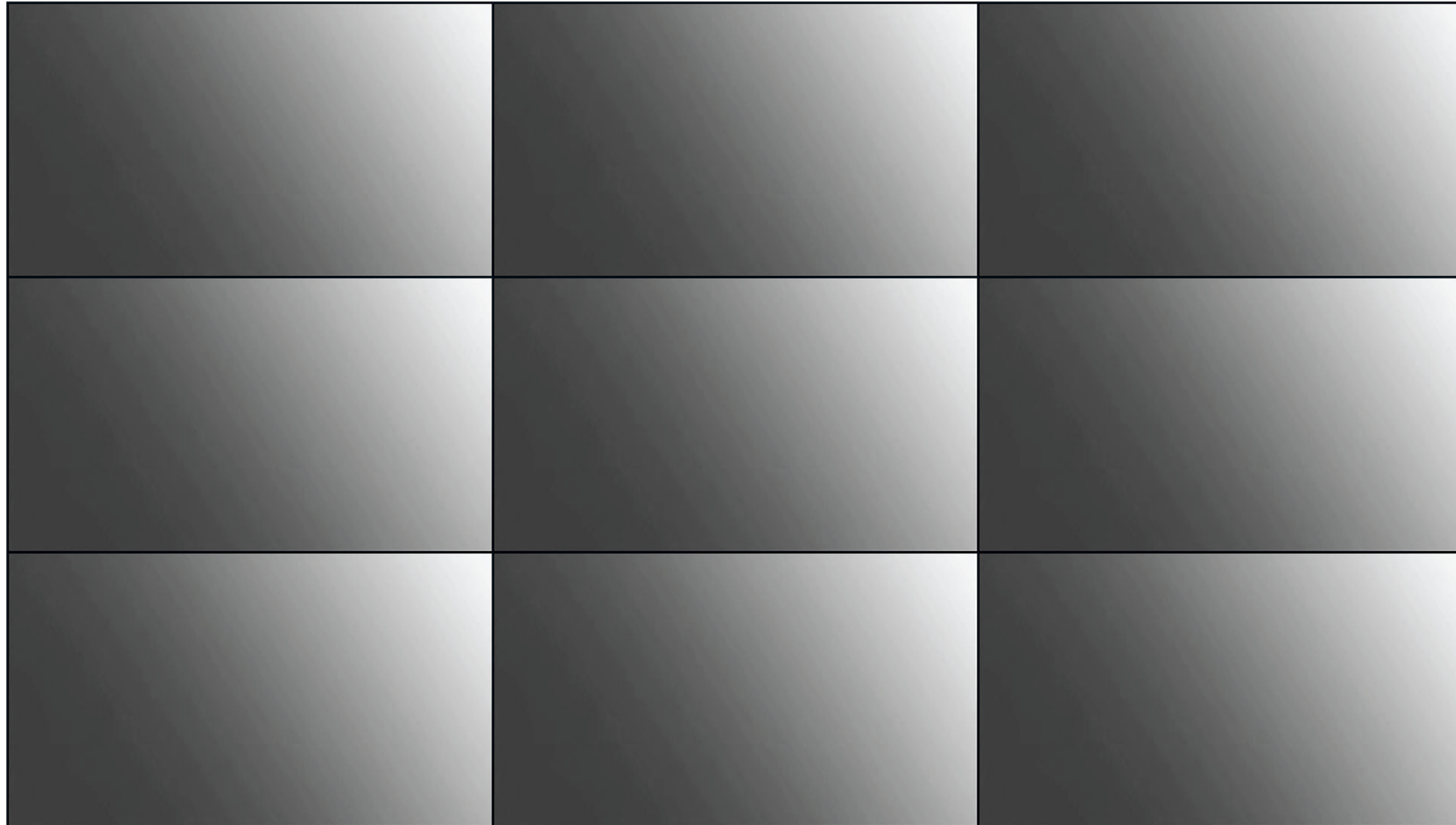




# 2x2 110in. Video Wall (4 55in. Displays)



# 3x3 147in. Video Wall (9 49in. Displays)



QUOTE



Date: Jan 24, 2022  
 Quote #: QU-17-03-2342  
 Expiration Date: Feb 17, 2022  
 Reference:

Omni Tech Spaces  
**PLEASE NOTE NEW ADDRESS:**  
 28243 Beck Rd Ste B13  
 WIXOM MI 48393  
 (248) 533-0805  
 info@omnitechspaces.com

To: Genoa Township Hall  
 Attention: Adam Vantassell  
 2911 Dorr Rd  
 BRIGHTON MI 48116  
 USA

LINE	DESCRIPTION	QTY	UNIT PRICE	LINE TOTAL
1	3x3 147in. Video Wall  Includes Wall Mounting Hardware (Brand: Peerless)  Video Wall will have nine 49in. displays to create one large approximately 147in. display measured diagonally.  Brightness(Typ.) : 500 cd/m <sup>2</sup> Bezel : Approximately 2.25 mm Combined Bezel Width Depth : 89.7 mm  Brand: LG  CE-49VL5GMW9	1.00	\$25,175.00	\$25,175.00
2	Installation of 3x3 147in. Video Wall	1.00	\$3,485.00	\$3,485.00
3	2x2 110in. Video Wall  Includes Wall Mounting Hardware (Brand: Peerless)  Video Wall will have four 55in. displays to create one large approximately 110in. display measured diagonally.  Bezel: Approximately 0.88mm Combined Bezel Width  Brand: LG  CE-55VSM5JW4	1.00	\$21,158.00	\$21,158.00
4	Installation of 2x2 110in. Video Wall	1.00	\$1,975.00	\$1,975.00
5	HDMI Matrix Switch	1.00	\$1,583.00	\$1,583.00



	4 HDMI Inputs 4 HDMI Outputs  Atlona® 4K HDR HDMI to HDMI Matrix Switcher  AT-HDR-H2H-44MA			
6	HDMI over Ethernet HDBaseT Transmitter/Receiver  Atlona® 4K HDR HDMI over HDBaseT TX/RX with Control and PoE  AT-HDR-EX-70C-KIT	2.00	\$485.00	\$970.00
7	HDMI Cable	10.00	\$12.00	\$120.00
8	Barco ClickShare C-10  Wireless Presentation System  R9861511US	1.00	\$1,450.00	\$1,450.00
9	<b>Control System</b>			
10	8in. Touch Screen Control Panel  Color: Black  RTI KA8-BLACK	1.00	\$985.00	\$985.00
11	Table Top Stand for Touch Screen Control Panel  RTI KA8-STAND	1.00	\$45.00	\$45.00
12	Power Supply for Touch Screen Control Panel  RTI KA8/KA11-POWER-SUPPLY	1.00	\$42.00	\$42.00
13	Control System Processor  RTI XP-6S	1.00	\$745.00	\$745.00
14	28in. 4K UHD Computer Monitor	1.00	\$365.00	\$365.00
15	CAT6 Plenum (CMP) UTP Cable	1.00	\$245.00	\$245.00
16	Cable Management Materials	1.00	\$85.00	\$85.00
17	Lift Rental	1.00	\$1,785.00	\$1,785.00
18	Installation of CAT6 Ethernet Cable for Video Distribution and Control of Video Walls.  Installation and Configuration/Programming of Control System and HDMI Switch	1.00	\$1,885.00	\$1,885.00
19	Remove Existing Ceiling Projector/Mount.	1.00	\$185.00	\$185.00

	Customer responsible for drywall repair/paint. Projector screen will not be removed.			
20	<b>No electrical work is included in this quote. Outlets for Video Walls must be in place before work begins.</b>  <b>Quote assumes data port is available for Barco ClickShare at computer location.</b>  <b>Customer to provide computer.</b>			

Subtotal:	\$62,283.00
MI 6% Sales Tax:	\$0.00
<b>Total:</b>	<b>\$62,283.00</b>

## TERMS & CONDITIONS

100% down payment of equipment/materials is due prior to commencement of work. Installation will be invoiced after completion of work.

Products subject to unforeseen shipping delays due to supply chain disruptions.

1. **ACCEPTANCE:** These terms and conditions constitute an offer by Omni Cabling, LLC. and may only be accepted on the exact terms set forth and no other terms and conditions shall be controlling. These terms and conditions supersede the terms and conditions of any proposal, bid, or acknowledgement form, if any. Either shipment of goods, commencement of work or written acknowledgment hereof shall constitute an acceptance by THE CUSTOMER of the terms and conditions of this order.

2. **HOURS OF WORK:** This proposal assumes access to the work site(s) at any time of day to perform our work. Restrictions to access to be discussed prior to commencement of work.

3. **CHANGES IN THE WORK:** Omni Cabling, LLC. may be ordered in writing by THE CUSTOMER, without invalidating this contract, to make changes in the work within the general scope of the contract consisting of additions or other revisions, the contract sum and the contract time being adjusted accordingly. Omni Cabling, LLC., prior to the commencement of such change or revised work, shall submit promptly to THE CUSTOMER written copies of any claim for adjustment to the contract sum and contact time for such revised work, as THE CUSTOMER may require.

4. **WARRANTIES:** Omni Cabling, LLC. warrants that the materials, goods, and products to be supplied and the work to be performed under this contract are fit and sufficient for the purpose intended; that the goods and workmanship are of good quality and free from defects, whether patent or latent, in material or workmanship; that the products and materials furnished hereunder and work performed shall be in strict accordance with the contract documents and that Omni Cabling, LLC. will bear all costs of rework and replacing any items or articles which are found to be defective, non-conforming, or of poor workmanship. This warranty shall exist for a period of one (1) year.

5. **LAWS, PERMITS, FEES, AND NOTICES:** THE CUSTOMER shall give all notices and comply with all federal, state and local laws, ordinances, rules, regulations, and orders of any public authority bearing on the performance of the work under this contract and shall secure and pay for all permits and governmental fee's licenses, inspections and all required safety programs necessary for the proper execution and completion of the work.

6. **CLAIMS OR CONTROVERSIES BETWEEN THE CUSTOMER AND OMNI CABLING, LLC.:** Any controversy or claim arising out of or relating to this agreement, or the breach thereof, shall be settled either by arbitration and regardless of the amount of the controversy or claim, the controversy or claim shall be submitted to a single arbitrator of a court in the state of Michigan. In the event of court action, the parties agree that any such claims or disputes shall be within the exclusive jurisdiction of the Michigan Courts.

7. **PAYMENT:** Final payment of invoice balance is due within 15 days of final invoice receipt. In the event of a failure of a customer to make timely payment, Omni Cabling, LLC. is entitled to recover any collection cost, including 18% annual interest and attorney fees.

THE CUSTOMER:

I, \_\_\_\_\_, agree to the terms and conditions of this quote and authorize Omni Cabling LLC to commence the work outlined in the quote.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_





13000 inkster road - redford, mi 48239  
 P 313.255.4100 - f 313.255.4103

# ESTIMATE

DATE	ESTIMATE #
3/16/2022	2525

NAME / ADDRESS
Genoa Township 2911 Dorr Road Brighton, MI 48116 Mr. Adam VanTassell 810-227-5225

Ship To
Genoa Township 2911 Dorr Road Brighton, MI 48116

TERMS	EXP DATE	REP	PROJECT #
Net 30	4/15/2022	JRW	

DESCRIPTION	QTY	Each	TOTAL
Estimate to install new displays in the township hall main board room			
LG UN9070; 75" Smart Display	2	1,087.49	2,174.98T
Chief LSA1U Fusion Mount	2	146.25	292.50T
Kramer VS-411UHD HDMI Switcher; 4-HDMI inputs with audio and a single HDMI with audio output. This unit allows for the clerk to maintain control between her computer, an outside presider or any other input into the video system.	1	630.21	630.21T
Kramer RC-IR3; IR Remote Control. This will assist the clerk so that they will not have to bend down in order to select what they would like the video switcher to do.	1	110.76	110.76T
Barco Clickshare C-10 this will be handed out to a anyone who wishes to address the board with a presentation. This prevents wire's on the floor between the Dias and the presentation tables.	1	1,562.50	1,562.50T
Kramer VM-2Hxl - 1:2 HDMI Distribution Amplifier	1	330.00	330.00T
Kramer PT-571 - HDMI over Twisted Pair Transmitter	2	202.425	404.85T
Kramer PT-572+ - HDMI over Twisted Pair Receiver	2	202.425	404.85T
Middle Atlantic RK8 Black Laminate Equipment Rack	1	131.81	131.81T
Juice Goose JG 9; 9 outlet rack mounted conditioner	1	66.25	66.25T
Tripp Lite SMART1500LCD; 1500VA 900w UPS System	1	356.25	356.25T
Middle Atlantic U2 2 Space Shelf	1	54.63	54.63T
Four Star F20688S; Cat6 Shielded PVC	1	297.00	297.00T

Thank you. Please call with any questions that you might have.	<b>Subtotal</b>
	<b>Sales Tax (0.00)</b>
	<b>Total</b>

**Sign and Date to Proceed**

Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4851

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

			Project
Description	Qty	Rate	Total
Board Room Technology Upgrades Upgrade Existing Components - Option 1			
Sony VPL-PHZ60 Commercial Projector The Sony VPL-PHZ60/50 laser projector combines outstanding picture performance with impressive 6,000 lumen* image brightness and dependable reliability. With discreet blend-in styling, minimal maintenance needs and flexible installation options, it's the natural partner for today's integrated AV environments.	1	4,999.95	4,999.95
Projector Mount - Use Existing Mount/Drop Down Pole	1	0.00	0.00
Projector Screen - Use Existing Mount/Drop Down Screen	1	0.00	0.00
Audio Amplifier - Use Existing Amplifier	1	0.00	0.00
Desktop Computer/Wireless Keyboard/Wireless Mouse Intel i5 processor @ 4.1Ghz, 16GB DDR4 RAM, 2X HDMI Video Card, 500GB M.2 Solid State Drive, Optical CD/DVD ROM, 400W Power Supply	1	1,390.00	1,390.00
Panamax MR4000 8 Outlet Surge Protector	1	199.95	199.95
Atlona AVA-EX70_KIT 4K/UHD HDMI Transmitter and Receiver Signal From Projector To Matrix Switch (1)	1	599.90	599.90
Atlona HDR-H2H-4X4 Matrix Switcher With HDMI Outputs Presentation Content To Projector (1)	1	1,995.95	1,995.95
Atlona AT-Wave-101 Wireless Presentation Platform Laptop/3rd Party Wireless Content To Projector (1)	1	899.95	899.95
Proflex Cat-6 Ethernet Cable Audio/Video Control From Projector To Balun (1)	1	150.00	150.00
		<b>Total</b>	

Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4851

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

			Project
Description	Qty	Rate	Total
Procontrol 6' In-Wall Rated HDMI Cords Atлона Balun To Projector (1), Projector To HDMI Balun (1), Matrix Switch To PC/Atлона Wave (2)	4	19.95	79.80
Labor Rate - Two Technicians Remove Existing A/V Equipment, Install Material Listed Above, Setup, Program, Train	14	185.00	2,590.00
<b>OPTIONS</b>			
Sony VPL-FHZ85/FHZ80 Commercial Projector (Brighter Than VPL-PHZ60 Listed Above) The Sony VPL-PHZ60/50 laser projector combines outstanding picture performance with impressive 8,000 lumen* image brightness and dependable reliability. With discreet blend-in styling, minimal maintenance needs and flexible installation options, it's the natural partner for today's integrated AV environments. TOTAL UPGRADE COST \$1,185.00			
Atлона Velocity Single Room A/V Control Systems - These Systems Integrate All A/V Components, Control System Through A Touch Panel or Mobile Devices. Designed For Small, Medium Sized Conference Rooms, Add Microphones, Cameras, Audio System, Etc. TOTAL UPGRADE COSTS - Budget \$2k/20k			
Includes all labor, wire, hardware and electronics required to make system operational as described above. System guaranteed by SAFE & SOUND for 2 years from date of completion.			
<b>Total</b>			\$12,905.50



Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4852

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

			Project
Description	Qty	Rate	Total
Board Room Technology Upgrades Remove Existing Projector/Screen Install New 85" Display - Option 2			
Sony FW-85BZ40H 85" Bravia Professional LCD 4K/UHD Display/Television Display To Be Centered On South Wall (1)	1	4,699.95	4,699.95
Strong X-Large Flat/Tilt Low Profile Television Bracket Fits Televisions/Displays Up To 100"	1	209.95	209.95
Projector Mount - Remove		0.00	0.00
Projector Screen - Remove	1	0.00	0.00
Audio Amplifier - Use Existing Amplifier	1	0.00	0.00
Desktop Computer/Wireless Keyboard/Wireless Mouse Intel i5 processor @ 4.1Ghz, 16GB DDR4 RAM, 2X HDMI Video Card, 500GB M.2 Solid State Drive, Optical CD/DVD ROM, 400W Power Supply	1	1,390.00	1,390.00
Panamax MR4000 8 Outlet Surge Protector	1	199.95	199.95
Atlona AVA-EX70_KIT 4K/UHD HDMI Transmitter and Receiver Signal From Display To Matrix Switch (1)	1	599.90	599.90
Atlona HDR-H2H-4X4 Matrix Switcher With HDMI Outputs Presentation Content To Projector (1)	1	1,995.95	1,995.95
Atlona AT-Wave-101 Wireless Presentation Platform Laptop/3rd Party Wireless Content To Display (1)	1	899.95	899.95
Proflex Cat-6 Ethernet Cable Audio/Video Control From Projector To Balun (1)	1	150.00	150.00
		<b>Total</b>	

Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4852

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Project

Description	Qty	Rate	Total
Procontrol 6' In-Wall Rated HDMI Cords HDMI Balun To Display (1), Display To HDMI Balun (1), Matrix Switch To PC/Atlona Wave (2)	4	19.95	79.80
Labor Rate - Two Technicians Remove Existing A/V Equipment, Install Material Listed Above, Setup, Program, Train	16	185.00	2,960.00
<p>OPTIONS</p> <p>Atlona Velocity Single Room A/V Control Systems - These Systems Integrate All A/V Componets, Control System Through A Touch Panel or Mobile Devices. Designed For Small, Medium Sized Confrence Rooms, Add Microphones, Cameras, Audio System, Etc.            TOTAL UPGRADE COSTS - Budget \$2k/20k</p> <p>Includes all labor, wire, hardware and electronics required to make system operational as described above. System guaranteed by SAFE &amp; SOUND for 2 years from date of completion.</p> <p>Please Note - If Display is Purchased, Electrical Plug is Needed Behind For Power</p>			
		<b>Total</b>	\$13,185.45

Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4853

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

			Project
Description	Qty	Rate	Total
Board Room Technology Upgrades Upgrade Existing Projector/Components And Install New 85" Display - Option 3			
Sony VPL-PHZ60 Commercial Projector The Sony VPL-PHZ60/50 laser projector combines outstanding picture performance with impressive 6,000 lumen* image brightness and dependable reliability. With discreet blend-in styling, minimal maintenance needs and flexible installation options, it's the natural partner for today's integrated AV environments.	1	4,999.95	4,999.95
Sony FW-85BZ40H 85" Bravia Professional LCD 4K/UHD Display/Television Display To Be Centered On South Wall (1)	1	4,699.95	4,699.95
Strong X-Large Flat/Tilt Low Profile Television Bracket Fits Televisions/Displays Up To 100"	1	209.95	209.95
Projector Mount - Use Existing Mount/Drop Down Pole	1	0.00	0.00
Projector Screen - Use Existing Mount/Drop Down Screen	1	0.00	0.00
Audio Amplifier - Use Existing Amplifier	1	0.00	0.00
Desktop Computer/Wireless Keyboard/Wireless Mouse Intel i5 processor @ 4.1Ghz, 16GB DDR4 RAM, 2X HDMI Video Card, 500GB M.2 Solid State Drive, Optical CD/DVD ROM, 400W Power Supply	1	1,390.00	1,390.00
Panamax MR4000 8 Outlet Surge Protector	1	199.95	199.95
Atlona AVA-EX70_KIT 4K/UHD HDMI Transmitter and Receiver Signal From Projector To Matrix Switch (1), Signal From 85" Display To Matrix Switch (1)	2	599.90	1,199.80
		<b>Total</b>	



Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4853

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

			Project
Description	Qty	Rate	Total
Atlona HDR-H2H-4X4 Matrix Switcher With HDMI Outputs Presentation Content To Projector (1)	1	1,995.95	1,995.95
Atlona AT-Wave-101 Wireless Presentation Platform Laptop/3rd Party Wireless Content To Projector (1)	1	899.95	899.95
Proflex Cat-6 Ethernet Cable Audio/Video Control From Projector To Balun (1), Audio/Video Control From Display To Balun (1),	2	150.00	300.00
Procontrol 6' In-Wall Rated HDMI Cords HDMI Balun To Projector (1), Projector To HDMI Balun (1), HDMI Balun To Display (1), Display To HDMI Balun (1), Matrix Switch To PC/Atlona Wave (2)	6	19.95	119.70
Labor Rate - Two Technicians Remove Existing A/V Equipment, Install Material Listed Above, Setup, Program, Train	24	185.00	4,440.00
OPTIONS			
Sony VPL-FHZ85/FHZ80 Commercial Projector (Brighter Than VPL-PHZ60 Listed Above) The Sony VPL-PHZ60/50 laser projector combines outstanding picture performance with impressive 8,000 lumen* image brightness and dependable reliability. With discreet blend-in styling, minimal maintenance needs and flexible installation options, it's the natural partner for today's integrated AV environments. TOTAL UPGRADE COST \$1,185.00			
<b>Total</b>			

Safe & Sound I, Inc.  
 10503 Citation Drive  
 Brighton, Michigan 48116  
 Suite 700

# Estimate

Date	Estimate #
2/28/2022	4853

Name / Address
Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Project

Description	Qty	Rate	Total
<p>Atlona Velocity Single Room A/V Control Systems -            These Systems Integrate All A/V Components, Control System            Through A Touch Panel or Mobile Devices. Designed For Small,            Medium Sized Conference Rooms, Add Microphones, Cameras,            Audio System, Etc.            TOTAL UPGRADE COSTS - Budget \$2k/20k</p> <p>Includes all labor, wire, hardware and electronics required to make            system operational as described above. System guaranteed by SAFE            &amp; SOUND for 2 years from date of completion.</p> <p>Please Note - If Display is Purchased, Electrical Plug is Needed            Behind For Power</p>			
		<b>Total</b>	\$20,455.20



# ESTIMATE

13000 inkster road - redford, mi 48239  
 P 313.255.4100 - f 313.255.4103

DATE	ESTIMATE #
3/16/2022	2525

NAME / ADDRESS
Genoa Township 2911 Dorr Road Brighton, MI 48116 Mr. Adam VanTassell 810-227-5225

Ship To
Genoa Township 2911 Dorr Road Brighton, MI 48116

TERMS	EXP DATE	REP	PROJECT #
Net 30	4/15/2022	JRW	

DESCRIPTION	QTY	Each	TOTAL
Consumables: Zip ties, splice caps, fasteners, installation hardware and consumable supplies.	1	312.50	312.50T
Labor for Installation of above materials as well as removal of the existing projector and projector mount. Interfacing video playback system with existing audio system. Painting and drywall repair is not included. All attempts will be made to install the new wiring behind the existing drywall, however, if this does not work, then Wiremold will be installed in the corner.	1	2,688.00	2,688.00
Engineering and labor to commission, tune, and train systems	1	768.00	768.00
Shipping / Freight	1	204.96	204.96

Thank you. Please call with any questions that you might have.	<b>Subtotal</b>	\$10,790.05
	<b>Sales Tax (0.00)</b>	\$0.00
	<b>Total</b>	<b>\$10,790.05</b>

Sign and Date to Proceed \_\_\_\_\_



# **Board Correspondence**



LIVINGSTON COUNTY DRAIN COMMISSIONER

MARION NO. 3 DRAIN

NOTIFICATION OF NECESSITY

TO: Marion Township Supervisor – Robert Hanvey  
Marion Township Clerk – Tammy Beal  
Genoa Township Supervisor – Bill Rogers  
Genoa Township Clerk – Paulette Skolarus

This is to notify you that on February 28, 2022 a Board of Determination ordered and determined that the maintenance and improvement of the **Marion No. 3 Drain** is necessary and conducive to the public health, convenience or welfare. You are further notified that on March 11, 2022, the Drain Commissioner determined the maintenance and improvement will benefit public health in the following municipalities:

Marion Township  
Genoa Township

A copy of the Order of Necessity and the Order of Public Health Determination are attached for your review. Marion Township and Genoa Township will be liable to pay a portion of the cost of this project by reason of benefits at large for public health.

A handwritten signature in cursive script that reads "Brian Jonckheere".

Dated: March 11, 2022

\_\_\_\_\_  
Brian Jonckheere  
Livingston County Drain Commissioner

Certified Mailing Number(s): \_\_\_\_\_



**LIVINGSTON COUNTY DRAIN COMMISSIONER**

**MARION NO. 3 DRAIN**

**ORDER OF NECESSITY**

**WHEREAS**, a meeting was held by the Board of Determination on February 28, 2022, at 7:00 p.m. at the Marion Township Hall, 2877 W. Coon Lake Road, Howell MI; and

**WHEREAS**, said Board of Determination received evidence and heard testimony regarding the petition dated October 7, 2021 for maintenance and improvement of the drain and, after receiving evidence and hearing testimony, made its determination of whether the proposed drain project is necessary and conducive to public health, convenience, or welfare pursuant to Chapter 8 of Public Act 40 of 1956, as amended.

**NOW, THEREFORE, IT IS HEREBY ORDERED AND DETERMINED** that the proposed drain project as set forth in the petition is necessary and conducive to public health, convenience, or welfare.

**DATED: February 28, 2022**

Athena Bacalis

Dan Delmerico

John Mills

Nancy VanGilder (Alt)

**BOARD OF DETERMINATION**

*Athena Bacalis*  
\_\_\_\_\_  
*D. Delmerico*  
\_\_\_\_\_  
*John Mills*  
\_\_\_\_\_  
\_\_\_\_\_

**8ORD-NES**





**LIVINGSTON COUNTY DRAIN COMMISSIONER**

**MARION NO. 3 DRAIN**

**ORDER OF PUBLIC HEALTH DETERMINATION**

**WHEREAS**, a petition, dated October 7, 2021, has been made and filed with the Livingston County Drain Commissioner for the maintenance and improvement of the **Marion No. 3 Drain** pursuant to Chapter 8 of Public Act 40 of 1956, as amended; and

**WHEREAS**, the petition was signed by a sufficient number of freeholders with lands liable for assessment in the **Marion No. 3 Drain** Drainage District; and

**WHEREAS**, the Board of Determination, at a meeting held on February 28, 2022, by a majority vote of the Board, determined that the proposed maintenance and improvement is necessary and conducive to the public health, convenience, or welfare; and

**NOW, THEREFORE**, the maintenance and improvement having been determined to be necessary and conducive to the public health, convenience, or welfare, I do hereby determine that the maintenance and improvement to the **Marion No. 3 Drain** shall benefit public health in the following cities, townships and villages that shall be liable for an at-large assessment:

Marion Township  
Genoa Township

Dated: March 11, 2022

  
\_\_\_\_\_  
Brian Jonckheere  
Livingston County Drain Commissioner

**8PHORD-PO**

**HILLTOP DRAIN**

**NOTICE DAY OF REVIEW OF DRAINAGE DISTRICT BOUNDARIES  
AND DAY OF REVIEW OF APPORTIONMENTS**

DATE: Adjourned to Tuesday, March 22, 2022  
**\*\*\*The Date and Time for the Day of Review of Drainage District Boundaries and Day of Review of Apportionments is being Adjourned from the original date of Tuesday March, 15, 2022\*\*\***  
TIME: 9:00 a.m. - 5:00 p.m.  
LOCATION: Livingston County Drain Commissioner’s office  
2300 E. Grand River Ave., Suite #105  
Howell, MI 48843  
QUESTIONS: (517) 546-0040

The Livingston County Drain Commissioner will hold a Day of Review of Drainage District Boundaries and a Day of Review of Apportionments on the above date, time and location. At the Day of Review, the Drain Commissioner shall consider proofs and allegations and shall (1) carefully reconsider and review the description of land comprised within the drainage district (2) carefully reconsider and review the apportionment of benefits; and (3) define and equalize the apportionment as is just and equitable. The computation of costs will also be available at the Day of Review. Drain assessments are collected in the same manner as property taxes and will appear on your winter tax bill.

A general description of the lands by section number proposed to be added or deleted from the Drainage District is as follows:

<b>Drain Name</b>	<b>Municipality</b>	<b>Portions of Sections Added</b>	<b>Portions of Sections Removed</b>
Hilltop Drain	Genoa Township (Town 2 North, Range 5 East)	NE ¼ of Sec. 6	NE ¼ of Sec. 6

Comments on the apportionment of benefits may be submitted to the Drain Commissioner in writing before the Day of Review at the Office of the Livingston County Drain Commissioner, 2300 E. Grand River Ave., Suite #105, Howell, Michigan 48843 or by emailing [drain@livgov.com](mailto:drain@livgov.com), or comments may be received in writing or verbally at the Day of Review. Comments submitted in advance must be received by the Drain Commissioner prior to the Day of Review to ensure consideration. Livingston County, Genoa Township and the Michigan Department of Transportation (MDOT) are to be assessed at large.

Additional information, including a map of the Drainage District Boundary and the Notice of Letting (containing the number and length of sections, the average width of each section, and if the drain will be closed, the amount and specifications of all tile or pipe required; the location, number, type, and size of culverts or bridges to be installed, if any; and conditions upon which the contract will be awarded) can be found at:

**<http://www.livgov.com/drain>**

Persons with disabilities needing accommodations for effective participation in the Day of Review should contact the Drain Commissioner’s Office at the number noted above (voice) or through the Michigan Relay Center at 7-1-1 (TDD) at least 24 hours in advance of the Day of Review to request mobility, visual, hearing or other assistance. You may appeal the Drain Commissioner’s decision to revise the district boundary to the Livingston County Circuit Court within ten (10) days, and you may also appeal the determination of apportionments to the Livingston County Probate Court within ten (10) days.

Dated: March 8, 2022

Brian Jonckheere  
Livingston County Drain Commissioner