

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 14, 2022
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OPEN PUBLIC HEARING # 1...Consideration of a special use application, environmental impact assessment and site plan for an expansion of an existing automobile dealership to expand a parking/vehicle storage lot located at 7100 Grand River Avenue, southeast corner of Grand River Avenue and Hubert Drive. The request is petitioned by Joshua Tauriainen.

- A. Recommendation of a Special Use Application
- B. Recommendation of an Environmental Impact Assessment (1-18-22)
- C. Recommendation of a Site Plan (1-3-22)

OPEN PUBLIC HEARING #2... Request to postpone to March 14, 2022 consideration of a special use application, environmental impact assessment and site plan for a proposed 3,750 sq. ft. office building with outdoor storage located at 1247 Fendt Drive, north of Grand Oaks Drive. The request is petitioned by Al Halliday, A & J Cartage.

OPEN PUBLIC HEARING #3...Consideration of a sketch plan application and sketch plan for a proposed 10,920 sq. ft. storage building at Wonderland Marine West located at 5796 E. Grand River Avenue, south side of E. Grand River, west of Dorr Road. The request is petitioned by Wonderland Marine West, Inc.

- A. Disposition of Sketch Plan (12-28-21)

OPEN PUBLIC HEARING #4...Consideration of a request for an extension to a previously approved Impact Assessment and Site Plan for Misty Meadows Drive private road located on the west side of S. Latson Road, south of Crooked Lake Road. The request is petitioned by GFG Investments Properties.

- A. Disposition of Site Plan Extension.

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Annual Report*
- *Approval of January 10, 2022 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: JOSHUA TAURIAINEN 25678 ISLAND LAKE DR NOVI, 48374
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: JOSHUA TAURIAINEN 25678 ISLAND LAKE DR. NOVI, MI 48374

SITE ADDRESS: 7100 GRAND RIVER, BRIGHTON 48114 PARCEL #(s): _____

APPLICANT PHONE: (248) 245-3656 OWNER PHONE: (248) 245-3656

OWNER EMAIL: JOSHUAT@505@GMAIL.COM

LOCATION AND BRIEF DESCRIPTION OF SITE: 7100 GRAND RIVER, ADJACENT TO EXISTING BUSINESS, CURRENTLY RAW LAND.

BRIEF STATEMENT OF PROPOSED USE: IMPROVEMENT WILL BE TO PARKING LOT FOR EMPLOYEE PARKING AND THE STORAGE OF INVENTORY

THE FOLLOWING BUILDINGS ARE PROPOSED: NO BUILDINGS TO BE CONSTRUCTED - JUST PARKING LOT. REQUESTING AN ALLOWANCE TO PARK ON THE LAND PRIOR TO FINAL INSTALL OF ASPHALT; FINAL ASPHALT WILL BE COMPLETED AFTER FROST LAWS LIFT.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____

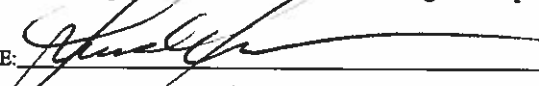
ADDRESS: 25678 ISLAND LAKE RD. NOVI, MI 48374

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) MARK SHAMOUN of SZ CONSTRUCTION MANAGEMENT at MSHAMOUN@YAHOO.COM
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 11/8/2021
PRINT NAME: JOSHUA TAURIAINEN PHONE: (248) 245-3656
ADDRESS: 25678 ISLANDLAKE DR, NOVI, MI 48374



GENOA CHARTER TOWNSHIP

Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Mark Shamoun 4505 Forest Edge West Bloombief Mi 48323
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248)225-3939 EMAIL: mshamoun@yahoo.com

OWNER NAME & ADDRESS: Ray Shamoun 8065 Locklin Commerce Mi

SITE ADDRESS: 7100 Grand River Brighton Mi PARCEL #(s): ID#4711-13-100-039

OWNER PHONE: 248)231-2147 EMAIL: rayshamoun@hotmail.com

Location and brief description of site and surroundings:

Located at 7100 grand river behind the Brighton Motors car dealership. Undeveloped land approximatley 2 acres

Proposed Use:

The applicant is in need of additional parking for the dealership.

The parcels can be combined or kept seperated upon recomendation of the township.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

This parcel is currently zoned commercial. Additional parking would be little to no impact on the surronding areas

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

A paved parking lot with storm management and landscaping will have similar characteristics as surronding business.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

There will be little to no additional public services needed.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

There will not be any impacts.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

unknown

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Mark Shamoun STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Mark Shamoun

ADDRESS: 4505 Forest Edge West Bloomfield Mi 48323

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Mark Shamoun of S2 Construction Management at mshamoun@yahoo.com
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 1-27-2021

PRINT NAME: Mark Shamoun PHONE: 248-225-3939



February 8, 2022

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Brighton Motors – Special Land Use and Site Plan Review #2
Location:	7100 Grand River Avenue – southeast corner of Grand River and Hubert Drive
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Brighton Motors for an expansion of their operation onto the adjacent property south of the existing development (plans dated 1/12/22).

A. Summary

1. The special land use standards of Section 19.03 are generally met, though the applicant must address any comments raised by the Township Engineer and/or the Brighton Area Fire Authority. Additionally, given the request for a major amendment to an existing special land use and the history of Ordinance violations at this site, we suggest the applicant familiarize themselves with past special land use and site plan approvals, and provide the Township with an assurance that they will maintain their expanded operation in accordance with past approvals (as well as any conditions applied to the current request, if approved).
2. Most of the use conditions of Section 7.02.02(c) are met; however, the applicant must combine the two parcels, and required buffer zones must be provided (or an alternative buffer authorized by the Planning Commission).
3. Section 14.06.07 requires looped striping for parking spaces.
4. Planning Commission may approve a 4-foot landscaped berm in lieu of a full Buffer Zone A along the southerly lot line.
5. The landscape plan is deficient in terms of shrub plantings around the detention pond, though excess trees are provided.
6. Any existing landscaping in poor condition should be replaced as part of this project.

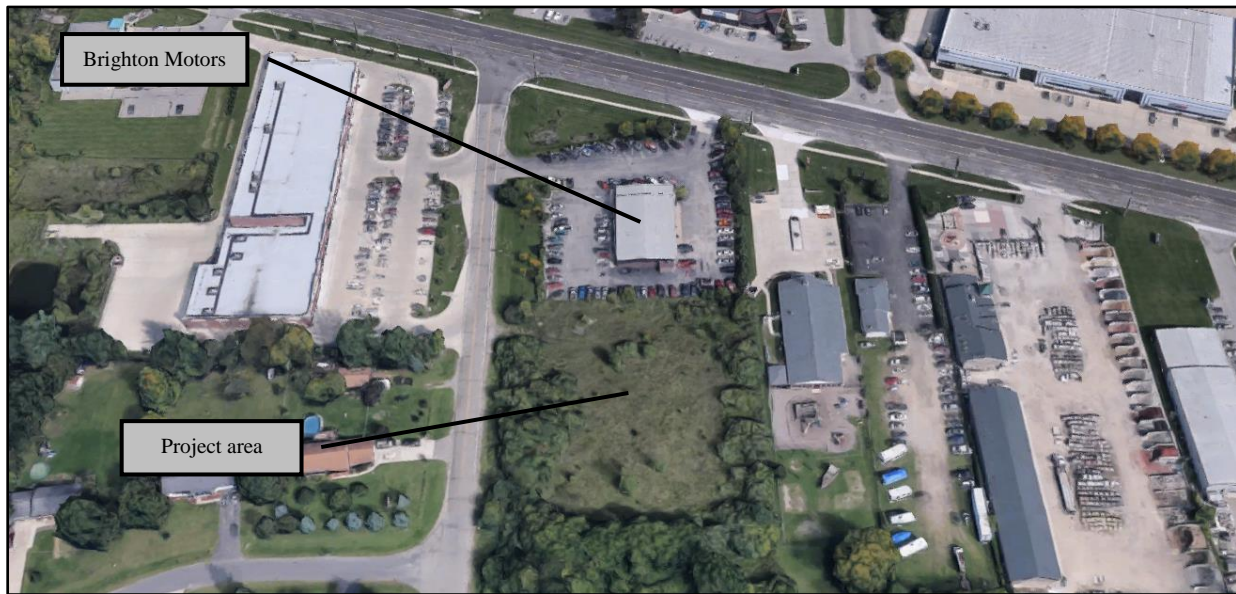
B. Proposal/Process

The applicant proposes an expansion of the existing automobile dealership, which requires special land use approval in accordance with Sections 7.02 and 19.06 of the Township Zoning Ordinance. The use conditions of Section 7.02.02(c) also apply to the request.

The proposal entails an expanded parking/vehicle storage lot, as well as associated site improvements (stormwater, landscaping, lighting, etc.).

The application forms note that the development area is a separate parcel under common ownership with the existing dealership property. If the project is approved, the parcels must be combined.

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth a recommendation on each to the Township Board following a public hearing.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Township Master Plan identifies the subject site as General Commercial, which is intended for businesses that “serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue.” This land use category also references outdoor storage.

The nature and location of the existing business and the proposed expansion, generally reflect the planned character of this area/land use category.

2. **Compatibility.** Properties fronting Grand River include a variety of commercial, office, and service uses, while the area to the south contains single-family residences.

The primary concern under this criterion is related to the potential impacts upon the residential uses south of the site.

In this instance, traffic concerns should be mitigated since there is no new vehicular access to/from Hubert Drive, and the development will retain use of the existing driveways.

Section 7.02.02(c) includes buffer zone requirements to help protect these residences from adverse impact. Provided these conditions are met, the proposal is generally expected to be compatible with the surrounding area.

3. **Public Facilities and Services.** Given that the site fronts Grand River and is developed, we anticipate that necessary public facilities and services are already in place.

However, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

4. **Impacts.** The use conditions of Section 7.02.02(c) are intended to limit impacts of the proposal upon the site and surrounding properties.

Similar to comments above, provided these conditions are met, surrounding properties are not expected to be adversely impacted by the proposal.

- 5. Mitigation.** If further concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

As an additional piece of information for the Commission's consideration, the existing development has a history of zoning violations, which are not limited to the current owner/applicant. The current request has been submitted in an effort to mitigate many of these past issues.

Given the request for a major amendment to an existing special land use, we suggest the applicant familiarize themselves with past special land use and site plan approvals, and provide the Township with an assurance that they will maintain their expanded operation in accordance with past approvals (as well as any conditions applied to the current request, if approved).

D. Use Conditions

Automobile dealerships are subject to the use conditions of Section 7.02.02(c), as follows:

- 1. Sale space for used mobile homes, recreational vehicles and boats may only be carried on in conjunction with a regularly authorized new mobile home, recreational vehicle or boat sales dealership on the same parcel of land.**

The development site is adjacent to the existing business. As previously noted, the two parcels under common ownership must be combined as part of this project.

- 2. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

The development area, which is for parking/vehicle storage, will be paved as part of this project.

- 3. No storage or display of vehicles shall be permitted in any landscape greenbelt area, provided the Township may permit a display pod for an automobile within the greenbelt area where it is integrated into the landscape design.**

The site plan does not depict any vehicle storage within these areas.

- 4. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

The notes on Sheet SP-2 indicate that the existing building contains 6,000 square feet of floor area.

- 5. All loading and truck maneuvering shall be accommodated on-site.**

The development area includes a vehicular connection to the existing developed site, and does not provide direct access to/from Hubert Drive.

- 6. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

A Buffer Zone A is required along the southerly lot line, while a Buffer Zone B is required along the easterly lot line.

The revised site plan provides sufficient width for a Buffer Zone B along the east side; however, it remains deficient along the southerly lot line (20' provided; 50' required).

The cover letter included with the revised submittal states that "a variance will be requested for the residential neighboring property." However, this is not a variance situation.

The Planning Commission has authority over landscaping/screening. In lieu of a full Buffer Zone A, the applicant may request Commission approval of a 6-foot screen wall/fence, or 4-foot landscaped berm as an alternative. (A 4-foot berm is proposed, as noted in our review of the landscape plan below.)

E. Site Plan Review

- 1. Dimensional Requirements.** Given the nature of the proposal, the only GCD dimensional requirements that apply are parking lot setbacks and impervious surface lot coverage.

Front, side and rear parking setbacks are met, while the northerly setback will not apply upon completion of the parcel combination.

The revised submittal notes an impervious surface lot coverage ratio of 52%, though based on the calculations provided, it appears to be 68%. Regardless, the proposal is within the 75% limitation allowed in the GCD.

- 2. Pedestrian Circulation.** There is an existing public sidewalk along Grand River.

Per Section 12.05 and the Township's Pathway Plan, neither a walk nor path is required along Hubert Drive.

- 3. Vehicular Circulation.** The development area will be accessed by a driveway connection through the existing operation. As previously noted, new access to/from Hubert Drive is not proposed.

The proposed layout is suitable for two-way travel throughout.

The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 4. Parking.** The submittal notes that the primary purpose for the proposal is to store vehicles in the applicant's inventory, though some of the spaces are intended for employee parking.

As such, we do not believe the maximum parking standard of Section 14.02.06 applies. However, the layout and design are subject to the remaining standards of Article 14.

The lot itself provides the dimensions, paving, and curbing required by Article 14; however, Section 14.06.07 requires looped striping.

5. Landscaping. The revised landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Front yard greenbelt (project area only)	20' width 8 canopy trees	20' width 9 canopy trees 30 shrubs	In compliance
Buffer Zone "A" (south)	50' width 14 canopy trees 28 evergreen trees 56 shrubs 6' wall OR 4' berm	20' width 12 canopy trees 12 evergreen trees 58 shrubs 4' berm	PC may allow 4' landscaped berm in lieu of full Buffer Zone A
Buffer Zone "B" (east)	20' width 11 canopy trees 11 evergreen trees 43 shrubs 6' wall OR 3' berm	20' width 11 canopy trees 11 evergreen trees 57 shrubs 4' berm	In compliance
Detention Pond	7 trees 72 shrubs	10 evergreen trees 6 deciduous trees 57 shrubs	Deficient by: - 15 shrubs

The following discrepancies between the landscape plan and plant materials table need to be corrected for consistency: Little Leaf Linden (8 noted; 10 depicted), Medora Juniper (82 noted; 101 depicted), and Anthony Waterer Spirea (92 noted; 92 depicted).

Lastly, any existing landscaping in poor condition should be replaced as part of this project.

6. Exterior Lighting. The revised submittal includes a full lighting plan.

The plan depicts 7 new light poles (2 of which have double fixtures) with a fixture mounting height of 20 feet.

Fixture details note the use of downward directed, shielded LED fixtures.

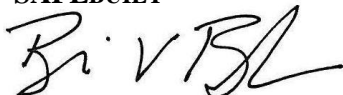
The photometric plan identifies a maximum on-site intensity of 6.7 footcandles, with limited spillover (0.1 to the east and 0.2 to the south).

The pole height, fixture type, and lighting intensities all comply with the standards of Section 12.03.

7. Impact Assessment. In summary, the Assessment notes that the proposed project is not expected to have an adverse impact upon natural features or public services/utilities.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
 Michigan Planning Manager

February 9, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Brighton Motors Parking Lot
Site Plan Review No. 2**

Dear Ms. Van Marter:

Tetra Tech conducted a second review of the proposed Brighton Motors Parking Lot Addition site plan last dated January 03, 2022. The plans were completed by AiD Engineering Services and Futuristic Design Consultant on behalf of MLC Motor Cars. The site is on a vacant 2-acre parcel located on the east side of Hubert Road, just west of Harte Drive. The Petitioner is proposing a parking lot that will connect to the existing parking lot on the parcel to the north.

GENERAL

1. Sheet C-1 includes a cross section for a concrete driveway, yet no concrete drive is shown on the plans. The site plan should show where this cross section applies.
2. A detail needs to be provided for the proposed concrete curb. Genoa Township requires parking lots to have concrete curb and gutter, and any proposed curb and gutter should match Genoa Township's Engineering Standards.
3. The existing 4-inch sanitary force main that runs along the east side of Hubert Road is shown on sheet SP-1, but not on any other sheets. The existing force main should be shown on the proposed site plan and on the site engineering plan. The force main plans are attached for reference.

DRAINAGE AND GRADING

1. The Petitioner has provided storm sewer calculations, but not all required information is provided. The proposed storm sewer calculations do not include the hydraulic grade line of the proposed system. The proposed pipe slopes do not match the provided invert elevations. With the provided pipe invert elevations, the pipes are below the required minimum slope of 0.32%. The provided calculations should be reviewed to ensure they match the requirements of the Township and Drain Commissioner. The Livingston County Drain Commissioner is in the process of updating their design standards, and the proposed storm improvements should meet those standards. The draft standards are provided separately for reference.
2. The Livingston County Drain Commissioner's updated design standards include changes to the required detention basin volume. The proposed detention basin should be designed to meet their new standard which is provided separately for reference.
3. Detention basins require a sediment forebay.
4. The outlet structure design calculations should be provided.

Ms. Kelly Van Marter
Re: Brighton Motors Parking Lot
Site Plan Review No. 2
February 9, 2022
Page 2

5. Detail should be provided on proposed catch basin design. Proposed catch basins should match Genoa Township's Engineering Standards.

We suggest the Petitioner revise the site plan to address the above comments prior to approval. Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President

Attachment

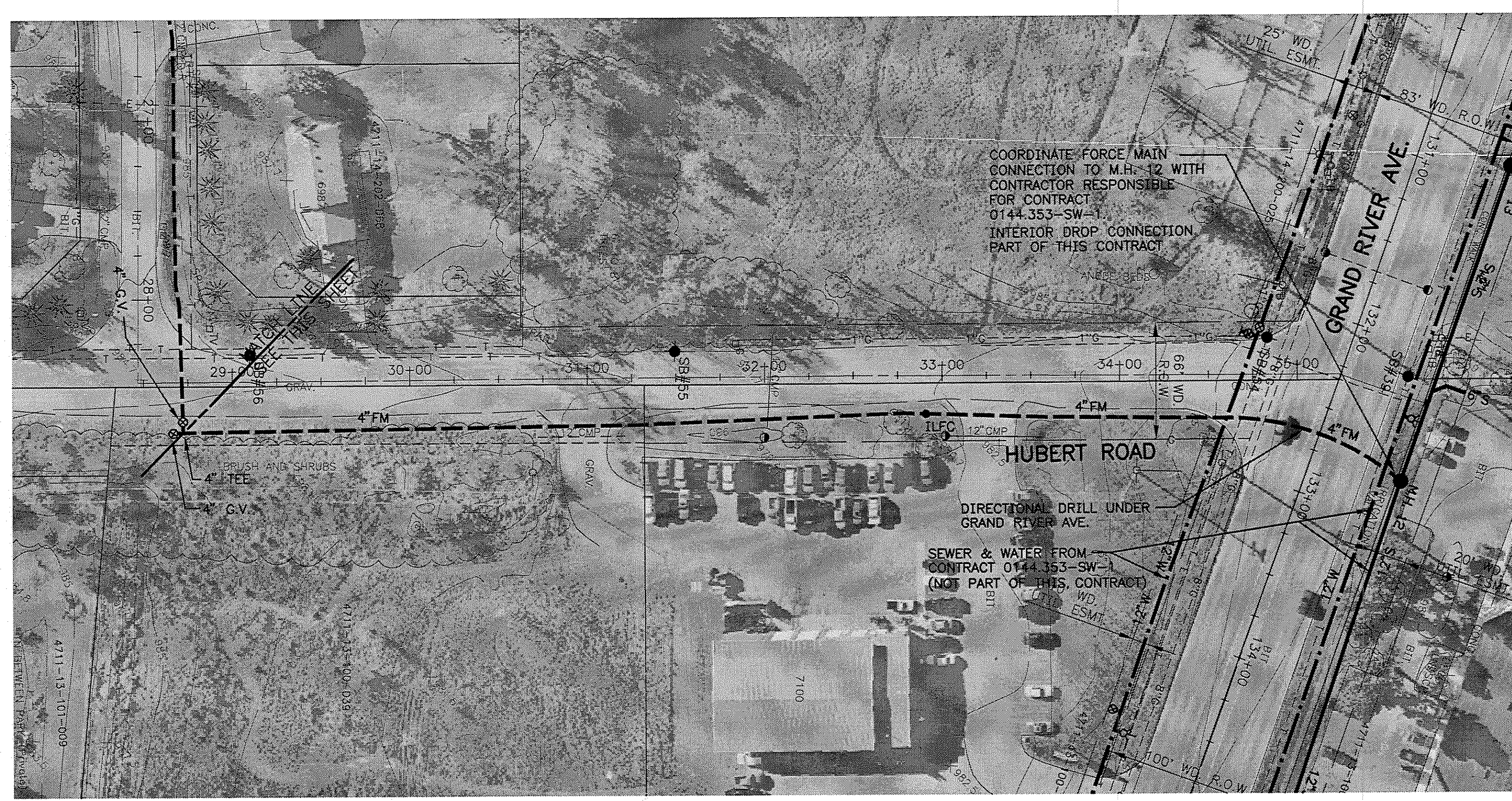


Shelby Byrne
Project Engineer

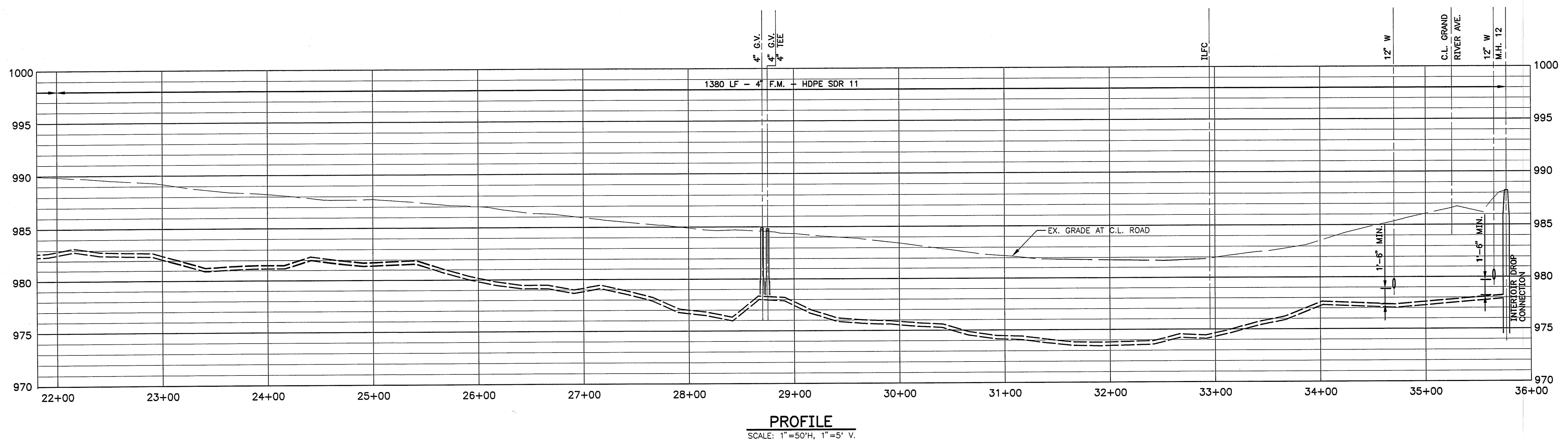
REV	DESCRIPTION	BY	DATE	CHK'D
△	ISSUED FOR BIDS		02/2000	
△	CONFORMING TO CONSTRUCTION RECORDS	JBD	12/2001	DCM
△				
△				



PLAN
SCALE: 1"=50'



PLAN
SCALE: 1"=50'



PROFILE
SCALE: 1"=50'H, 1"=5' V.

- NOTES:**
1. ALL FORCE MAIN & SERVICE LATERALS TO BE DIRECTIONAL DRILLED A MINIMUM OF 5.5' DEEP TO TOP OF PIPE FROM EXISTING GRADE OR CENTER LINE OF ROAD, WHICHEVER IS DEEPER.
 2. ALL LOTS MARKED WITH A ▲ HAVE RECEIVED A GRINDER PUMP AND A 1 1/2 INCH DIA. SERVICE LATERAL.
 3. RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED AND MULCH.

Ann Arbor, Michigan Brighton, Michigan Detroit, Michigan Escandoo, Michigan Grand Rapids, Michigan Lansing, Michigan		 McNAMEE FIRST-CHOICE FIRM SINCE 1914
McNAMEE, PORTER & SEELEY, INC.		
DESIGNED K. FERN	CHECKED J. MARKSTROM	
SCALE AS NOTED	CADD DATE 11-27-01 SHG 11	
PART /MPS/0144/35331/B/SITE-PM3.DWG		
GENOA TOWNSHIP, MICHIGAN LIVINGSTON COUNTY DEPT. OF PUBLIC WORKS LAKE EDGEWOOD WEST SANITARY SEWER IMPROVEMENTS		
RINK DRIVE & HUBERT RD. PLAN & PROFILE STA. 22+00 TO 36+00		
DIVISION	CONTRACT	SHEET
	0144.353-S-2	4 of 8



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 4, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Brighton Motors Parking Lot
7100 Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on January 21, 2022 and the drawings are dated October 15, 2021 with latest revisions dated January 3, 2022. The project is based on the proposed redevelopment of an existing vacant parcel into additional vehicle parking for an existing automobile dealership. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition. **Previous comments that have been revised, have been removed from this letter.**

1. Two-way emergency vehicle access roads shall be a minimum of 26-feet wide. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(The entrance to the new lot has been widened to 26-feet as required, however, the main drive widths have not been revised to accommodate the minimum width requirement. This includes the center drive, the southern drive, and the easternmost drive. The easternmost drive shall be signed as a fire lane every 50-feet along the curb line.)**

IFC D 102.1
IFC D 103.6

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org



**NOTICE OF PUBLIC HEARING – FEBRUARY 14, 2022
(SPECIAL USE)**

January 28, 2022

To Whom It May Concern:

Please be advised that the Planning Commission of Genoa Charter Township will conduct a public hearing on **Monday, February 14, 2022 commencing at 6:30 p.m.** As required by state law, you are receiving this notice because you have been identified as an owner or occupant of real property within 300 feet of the subject parcels.

The property in question is located at 7100 Grand River Avenue, on the southeast corner of Grand River Avenue and Hubert Drive. **The applicant is requesting a special land use permit to expand a parking/vehicle storage lot for an existing automobile dealership. The request is petitioned by Joshua Tauriainen.**

You are invited to attend this hearing. Members of the public will be able to speak during the public hearing portions of the meeting. If, prior to the meeting, members of the public have certain questions or wish to provide input on any business that will be addressed at the meeting then such persons may contact the Planning Commissioners through Kelly VanMarter, Township Community Development Director by email to Kelly@genoa.org, or by mail at 2911 Dorr Road, Brighton, Michigan 48116.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Kelly VanMarter,
Assistant Township Manager / Community Development Director

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

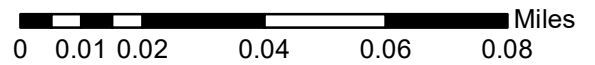
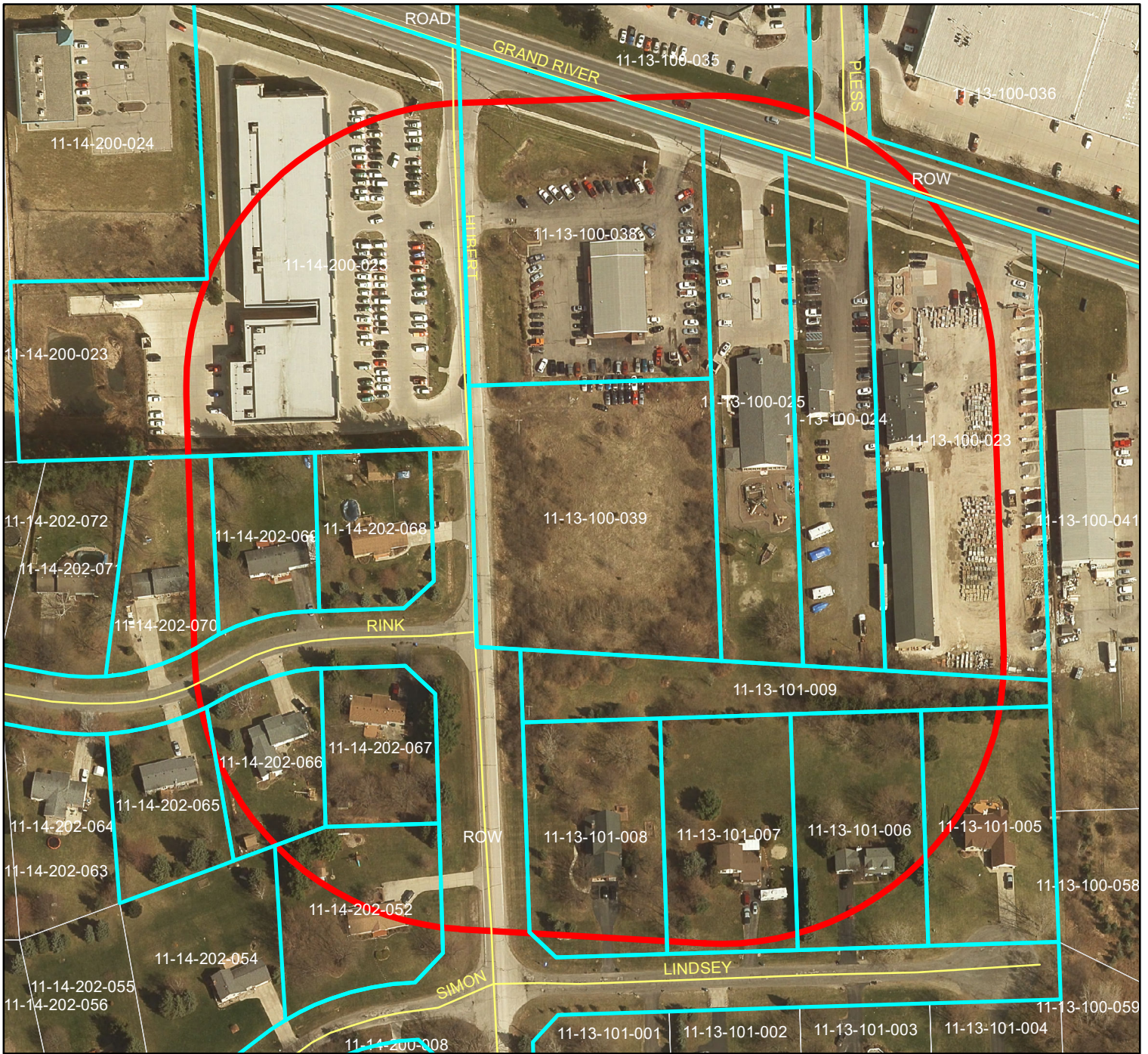
Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

300 Foot Buffer for Noticing



Special Use Application: Brighton Motors Parking

Address: 7100 Grand River

Parcel: 4711-13-100-039

Meeting Date: February 14, 2022



Environmental Assessment

For

***Brighton Motors
7100 Grand River
Brighton, MI 48114***

Proposed raw land improvement project

***Josh Tauriainen – Owner
(248) 245-3656***

***Mark Shamoun – Project Lead
(248) 225-3939***

Table of Contents

- I. Project Description Purpose and Need
- II. Primary Beneficiaries and Related Activities
- III. Description of the Project Area
- IV. Environmental Impacts Resource Criteria
 1. Surface Water, Water Supply Quality, Groundwater, and Storm Water
 2. General Land Use
 3. Energy

I. PROPOSED PROJECT DESCRIPTION PURPOSE AND NEED

- *This project would propose the improvement of the current raw land located at 7100 Grand River to a fully buffered and engineered parking lot for the use of storing additional inventory and provide employee parking.*
- *The need for this project is paramount for the success of the current business operating at 7100 Grand River to address the current lack of parking for customers, employees and inventory. This improvement would allow the business to continue operating and maintain a sound business model.*

II. PRIMARY BENEFICIARIES AND RELATED ACTIVITIES:

- a. *The existing business located at 7100 Grand River will be the primary beneficiary of this proposed improvement project as it allows for the continued expansion to maintain viability. The lot use would allow for current employees to maintain employment, current and future customers to have compliant areas to park and allow the business to maintain adequate on-site inventory levels to be profitable.*

III. DESCRIPTION OF THE PROPOSED PROJECT AREA:

- a. *The present use of the area is raw land with no discernable use currently. The area is adjacent to the existing business located at 7100 Grand River. The property is near some residential structures that also back up to existing parking areas for other adjoining businesses in the immediate area. The portions of the raw land that would be improved will contain several buffers and landscaping to both maintain an improved area that is visually presentable and to allow for its incorporation into the surrounding areas with the most beneficial aesthetics.*

IV. ENVIRONMENTAL IMPACTS RESOURCE CRITERIA

1. SURFACE WATER, WATER SUPPLY QUALITY, AND GROUNDWATER:

Assessment Questions:

1. Are there visual or other indications of water quality problems on or near the site? No
2. Will the proposal involve discharge of sewage effluent into surface water bodies? No
3. Will the proposal involve a substantial increase in impervious surface areas? Yes If so, have runoff control measures been included in the design to insure protection of surface water? Yes

2. GENERAL LAND USE

Assessment Questions:

1. Is the proposal consistent with local, regional or state comprehensive plans, policies, ordinances, and goals? Yes
2. Does the proposal comply with existing zoning regulations? Yes

3. ENERGY

Assessment Questions:

1. Will the proposal require an increase in use of the area's energy resources (electricity, natural gas, coal, or fuel)? Yes Will there be a need for increased capacity of any energy resources supply due to the proposal? No
2. Discuss any steps taken by the proposal to conserve energy: LED Lighting efficiency.



PROPOSED PARKING LOT

PARCEL ID # 11-13-100-039

PART OF THE NW 1/4 OF SECTION 13, T2N, R5E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

OWNERS/DEVELOPERS:

MLC MOTOR CARS
7100 GRAND RIVER AVE
BRIGHTON, MI 48114

CIVIL ENGINEERING

AiD ENGINEERING SERVICES
520 W. 12 MILE ROAD
MADISON HEIGHTS, MI 48071
Tel.: (248) 376-1786
Fax: (248) 398-3822
E-mail: AiDengineering@yahoo.com

ARCHITECTS/ ENGINEERS:

FUTURISTIC DESIGN CONSULTANT
520 W. 12 MILE ROAD
MADISON HEIGHTS, MI 48071
Tel.: (586) 707-0080
Fax: (248) 398-3822
E-mail: imadhermiz@gmail.com

Drawing Index

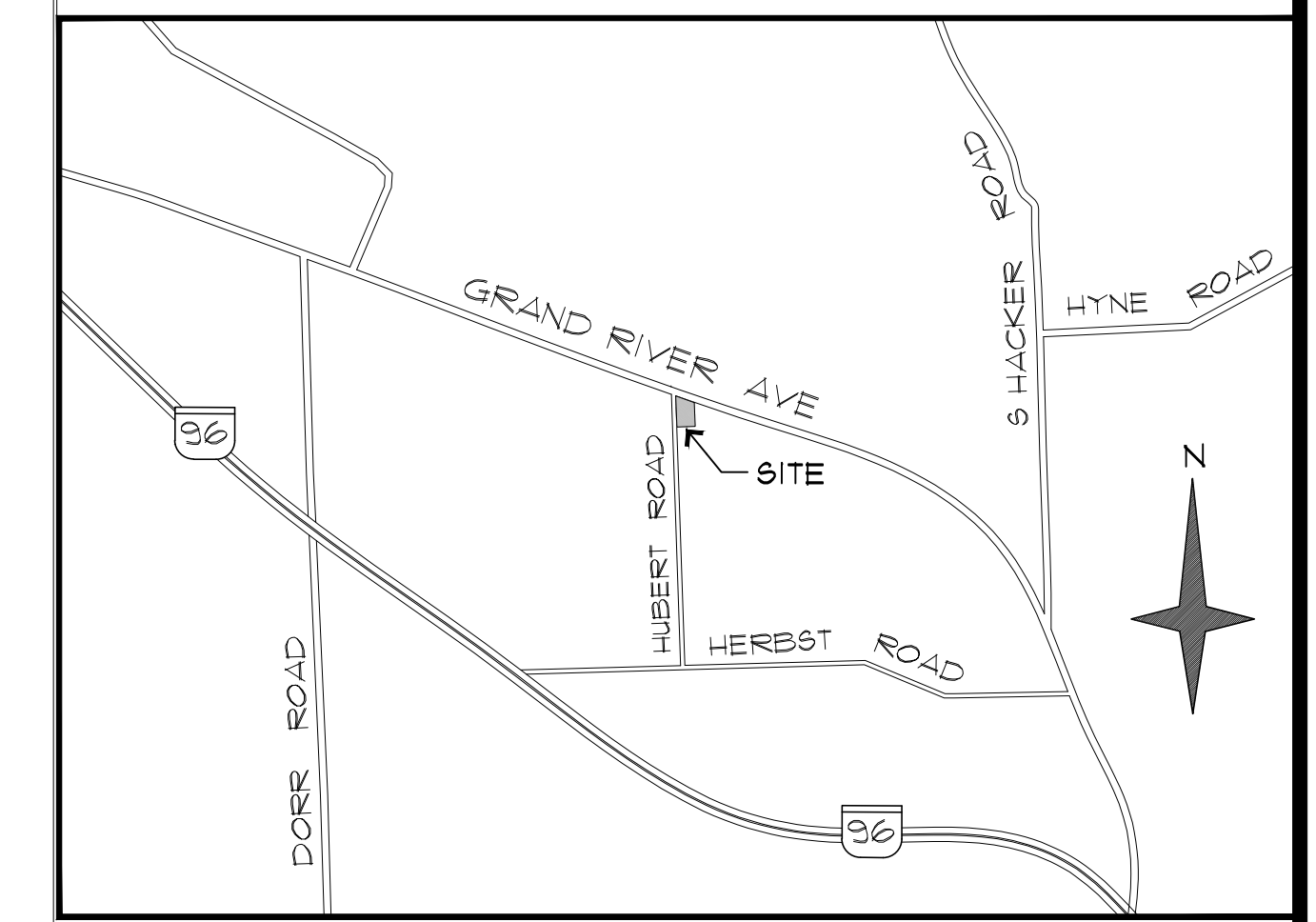
LEGEND ISSUED
 REFERENCE ONLY

DWG. NO.	DRAWING TITLE	SITE PLAN 10/15/2021 REVISION 1 01/09/2022	ISSUED FOR:															
GENERAL INFORMATION			A00 COVER SHEET / DRAWING INDEX															
ENGINEERING																		
T-1	TOPOGRAPHY SURVEY PARCEL 2		<input checked="" type="checkbox"/>															
SP-1	TOPOGRAPHY SURVEY PARCEL 1		<input checked="" type="checkbox"/>															
SP-2	PROPOSED PARKING LOT SITE PLAN		<input checked="" type="checkbox"/>															
SP-3	OVERALL SITE PLAN		<input checked="" type="checkbox"/>															
LP-1	LANDSCAPE PLAN		<input checked="" type="checkbox"/>															
ES-1	SITE LIGHTING PLAN		<input checked="" type="checkbox"/>															
ES-2	LIGHTING CUT SHEET		<input checked="" type="checkbox"/>															
C-1	SITE ENGINEERING PLAN		<input checked="" type="checkbox"/>															

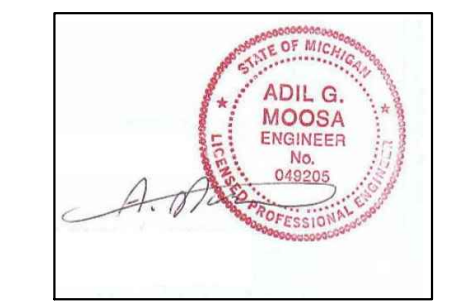
PROPOSED PARKING LOT
SCOPE OF WORK: SITE PLAN AND SITE ENGINEERING
FOR THE VACANT PARCEL FOR PROPOSED PARKING
LOT USED FOR THE CARS DISPLAY AND INVENTORY

BUILDING CODE INFORMATION
GOVERNING CODE: (SECTION 105.1)
GENOA TOWNSHIP ZONING ORDINANCE
LIVINGSTON COUNTY CODES AND REGULATIONS
2015 Michigan Building Code, MBC 2015
BUILDING USE 4 OCCUPANCY CLASSIFICATION (PER CH. 03.)
EXISTING BUILDING USE: AUTO CAR SALES 'B', BUSINESS
PROPOSED USE: SAME WITH ADDITION OF PARKING LOT FOR THE DISPLAY OF CARS
AND INVENTORY.

Location Map NO SCALE



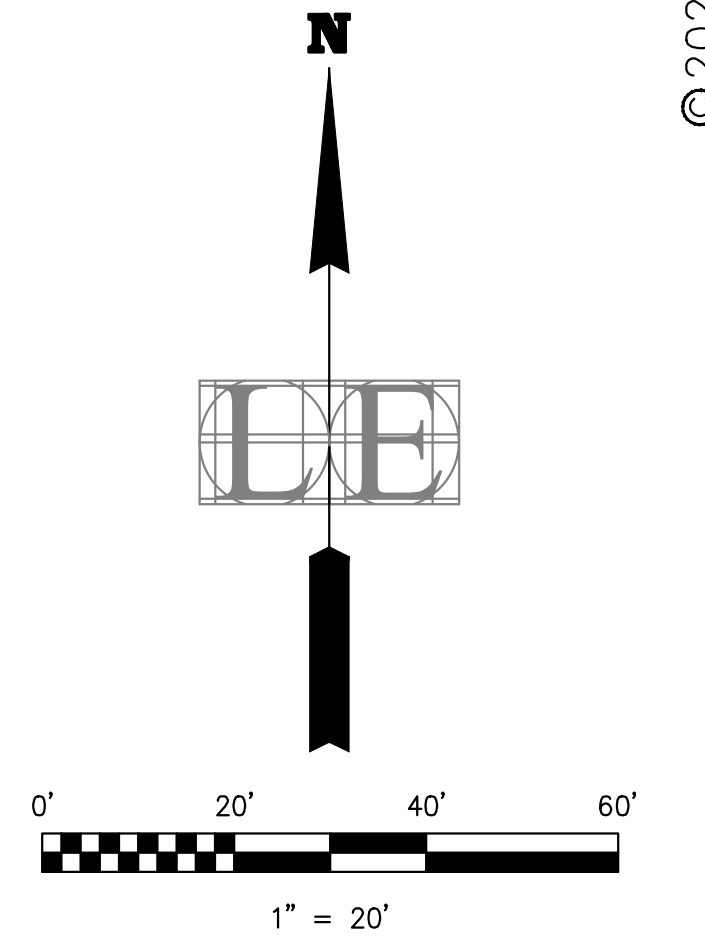
Professional Seals



Issued For:
PERMIT
October 15, 2021

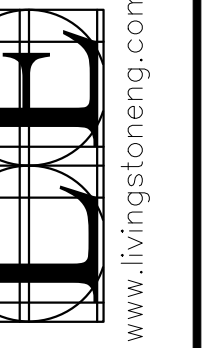
Project No. 021-05-Brighton Set No.
A00

TOPOGRAPHIC SURVEY OF PARCEL 11-13-100-039



© 2021

LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING PLANNING
3300 S. OLD U.S. 23, BRIGHTON, MI 48114
PHONE: (810) 225-7100 FAX: (810) 225-7699

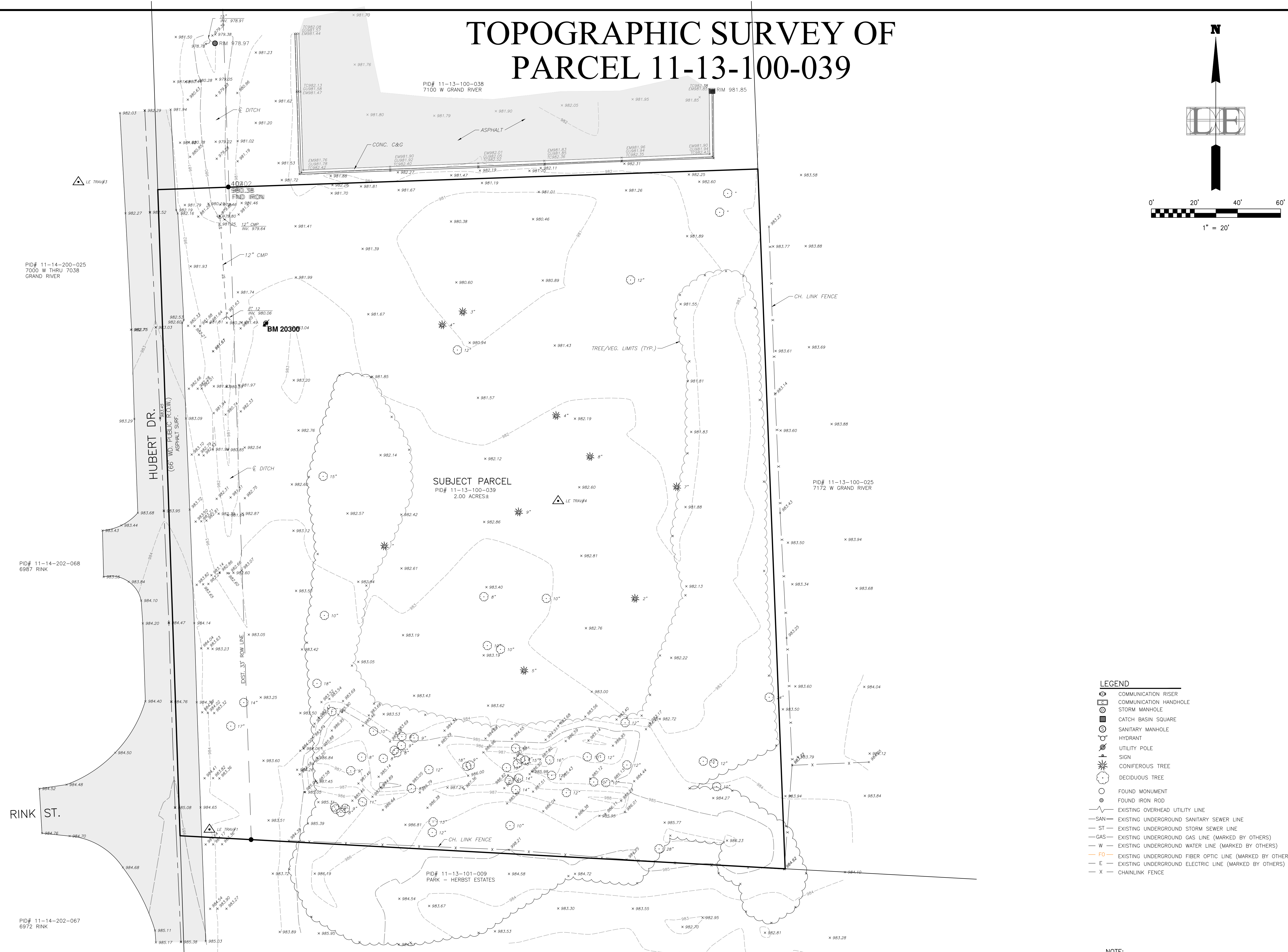


Client: SZ CONSTRUCTION
12596 10 Mile Rd
South Lyon, MI 48178
ATTN: MARK SHAMOUN

TOPOGRAPHIC SURVEY
PARCEL ID#: 11-13-100-039
PART OF THE NW 1/4 OF SECTION 13, T2N, R2E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

DATE	REVISIONS

1



- LEGEND**
- COMMUNICATION RISER
 - COMMUNICATION HANDHOLE
 - STORM MANHOLE
 - CATCH BASIN SQUARE
 - SANITARY MANHOLE
 - HYDRANT
 - UTILITY POLE
 - SIGN
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - FOUND MONUMENT
 - FOUND IRON ROD
 - EXISTING OVERHEAD UTILITY LINE
 - SAN— EXISTING UNDERGROUND SANITARY SEWER LINE
 - ST— EXISTING UNDERGROUND STORM SEWER LINE
 - GAS— EXISTING UNDERGROUND GAS LINE (MARKED BY OTHERS)
 - W— EXISTING UNDERGROUND WATER LINE (MARKED BY OTHERS)
 - FO— EXISTING UNDERGROUND FIBER OPTIC LINE (MARKED BY OTHERS)
 - E— EXISTING UNDERGROUND ELECTRIC LINE (MARKED BY OTHERS)
 - CHAINLINK FENCE

NOTE:
TOPOGRAPHIC SURVEY DONE BY LIVINGSTON ENGINEERING
ON 3/31/2021.

DESCRIPTION:
 PARCEL NO 1
 PARCEL# 11-13-100-038

LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
 PART OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 13; THENCE ALONG THE WEST LINE OF SECTION 13 AND THE CENTERLINE OF HUBERT ROAD, SAID LINE ALSO BEING THE WEST LINE OF HERBST ESTATES. A SUBDIVISION AS DULY SAID OUT, PLATTED AND RECORDED IN LIBER 21 OF PLATS, PAGES 5,6 AND 7 OF LIVINGSTON COUNTY RECORDS, NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST (PLATTED AS NORTH 02 DEGREES 24 MINUTES 32 SECONDS EAST), 647.77 FEET TO THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE CONTINUING ALONG SAID WEST SECTION LINE AND CENTERLINE, NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST 300 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE CONTINUING ALONG SAID SECTION LINE AND CENTERLINE NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST 388.90 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE SOUTH 71 DEGREES 08 MINUTES 30 SECONDS EAST 294.34 FEET; THENCE SOUTH 01 DEGREES 01 MINUTES 10 SECONDS EAST 290.09 FEET; THENCE SOUTH 89 DEGREES 14 MINUTES 40 SECONDS WEST 278.61 FEET TO THE POINT OF BEGINNING.

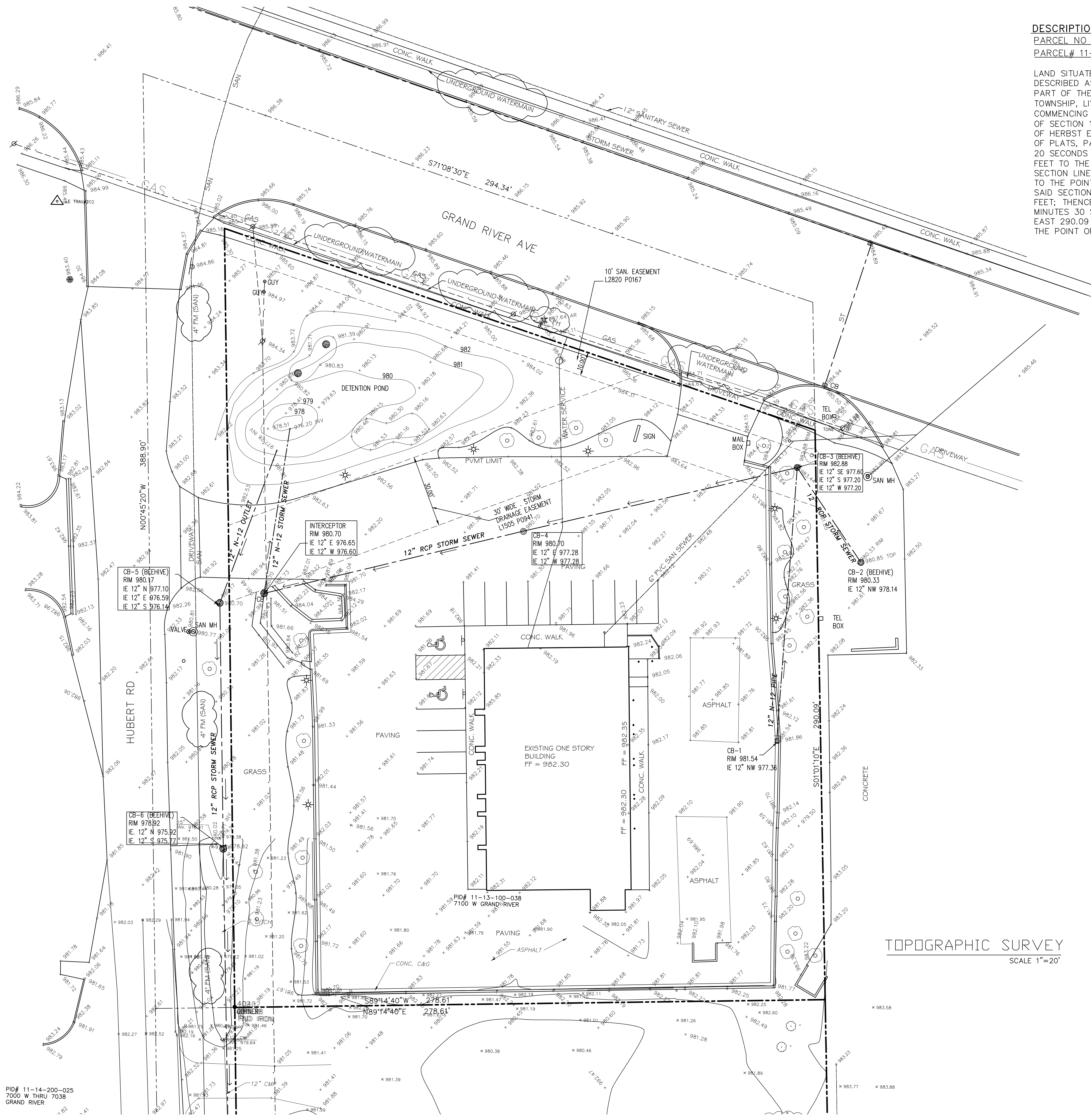
NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND TOWNSHIP RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

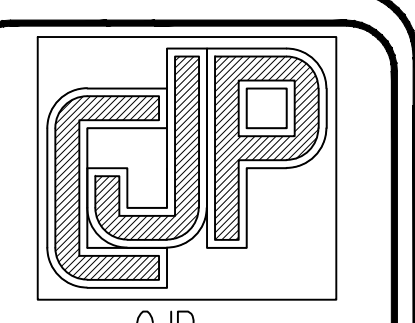
LEGEND:

	PROPERTY LINE
	EX. SAN. LINE
	EX. WATERMAIN
	EX. STORM SEWER
	ELECTRIC OVERHEAD
	LIGHT
	UTILITY POLE
	SIGN
	EX. CATCH BASIN
	SEWER MH
	FIRE HYDRANT
	EX. TREE

TOPOGRAPHIC SURVEY
 SCALE 1"=20'



PID# 11-14-200-025
 7000 W THRU 7038
 GRAND RIVER



CJP
 ENGINEERING & DESIGN, LLC
 28763 NORTHWESTERN HWY
 SUITE 225
 SOUTHFIELD, MI 48034
 Office (248)747-4562
 Fax (248)297-6121
 Cell (248)376-5006
 horishakim@yahoo.com

PROJECT:
 USED CARS DEALER

LOCATION:
 7100 GRAND RIVER ROAD
 BRIGHTON, MI 48114

OWNER:

SUBMITAL:

DATE
 08/04/2021

REVISIONS:
 01/12/2022

DESIGNED BY:

DRAWN BY:

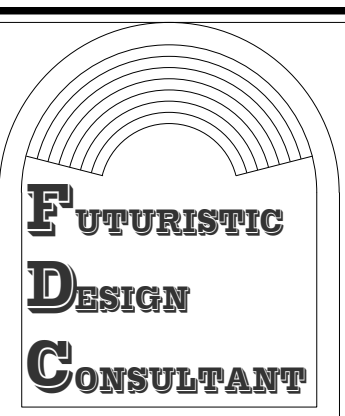
APPROVED BY:
 HARIS HAKIM, P.E.

SEAL

SHEET TITLE
 TOPOGRAPHIC SURVEY

SCALE
 NOTED

SHEET #
 SP-1



920 E. 12 MILE ROAD, SUITE A
 MADISON HEIGHTS, MI 48071
 PH: (866) 707-0980
 FAX: (248) 398-3822
 E-mail: mad@potresbyonoo.com

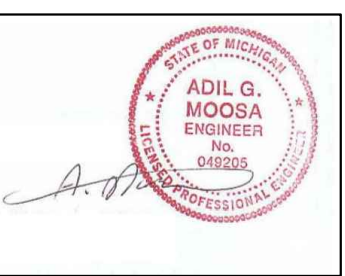
DESIGNED BY:
 Imad Potres

REVISIONS:

1-	SITE PLAN	10/15/21
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED PARKING LOT
 PARCEL ID # 11-13-100-039
 PART OF THE NW 1/4 OF SECTION 13, T2N, R5E
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

SEAL / SIGNATURE



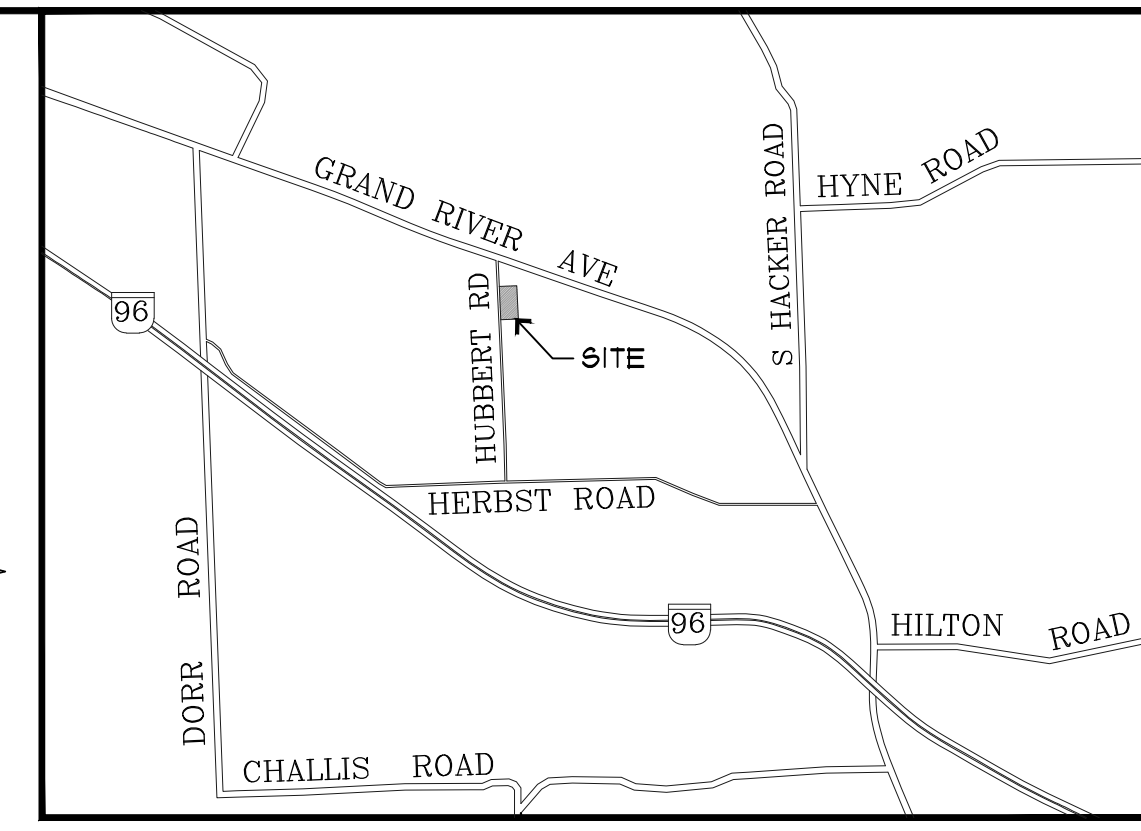
DATE

DRAWING TITLE:
PROPOSED PARKING SITE PLAN
 FILE NAME: BRIGHTON
 PROJECT NO.: 021-06

DRAWN BY: IMAD
 CHECKED BY: IMAD
 DATE: 06/23/2021

SHEET NO:

SP-2



LOCATION MAP
 SCALE: NONE

PROPOSED PARKING LOT FOR CAR DISPLAY & INVENTORY

BUILDING CODE INFORMATION

GOVERNING CODE: (SECTION 105.1)
 MICHIGAN BUILDING CODE 2015 4 GENOA TOWNSHIP ZONING ORDINANCE
 MICHIGAN BARRIER FREE - ICC/ANSI A117.1-2007

BUILDING USE 4 OCCUPANCY CLASSIFICATION (PER CHAPT. 03):
 EXISTING USE: VACANT PROPERTY
 PROPOSED USE: PROPOSED PARKING LOT (LOT TO BE USED FOR SHOW DISPLAY AREA AND VEHICLES INVENTORY ONLY)

EXISTING ZONING: GCD (GENERAL COMMERCIAL DISTRICT)

NORTH PARCEL SITE AREA: 94,315 SF. = 2.16 ACRES
 SOUTH PARCEL SITE AREA: 87,289 SF. = 2 ACRES
 TOTAL SITE AREA (COMBINED): 181,600 SF. = 4.16 ACRES
 PROPOSED PARKING SPACES: 114

EXISTING BUILDING AREA: 6,000 SF.
 LANDSCAPE AREA (NORTH PARCEL): 26,860 SF.
 LANDSCAPE AREA (SOUTH PARCEL): 29,450 SF.
 TOTAL LANDSCAPE AREA FOR THE ENTIRE SITE = 56,310 SF.

PAVEMENT AREA (NORTH PARCEL): 37,410 SF.
 PAVEMENT AREA (SOUTH PARCEL): 50,272 SF.
 TOTAL PAVEMENT AREA = 87,682 SF.

LOT COVERAGE: 95,682 / 181,600 = 52%

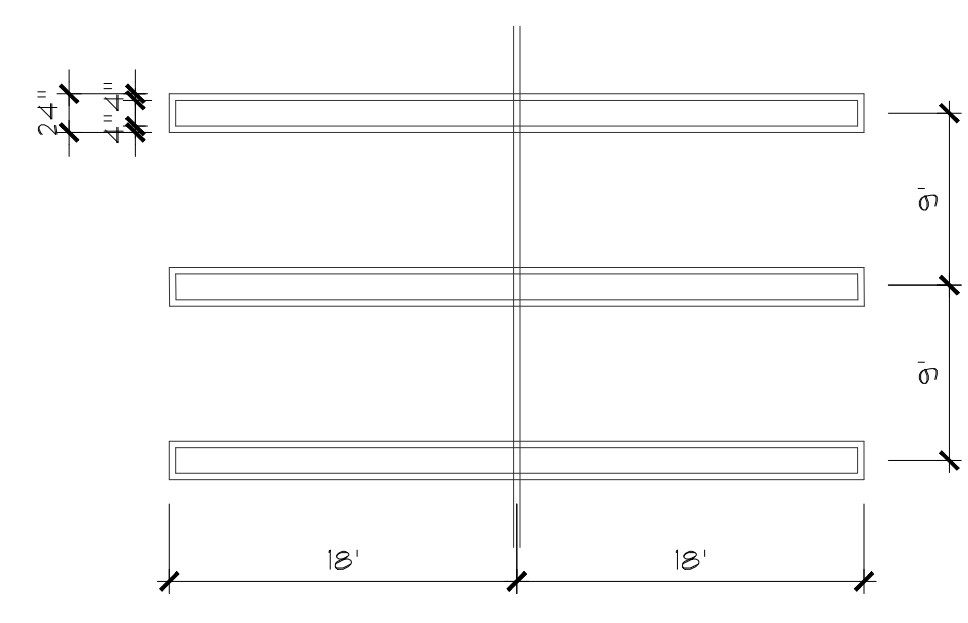
BUILDING HEIGHT & SETBACKS:

	REQUIRED	PROVIDED
FRONT SETBACK:	10'	
REAR SETBACK:	10'	20'
SIDE YARD SETBACK (EACH):	10'	22'

PARKING REQUIREMENTS:
 ONE (1) PARKING SPACE FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA
 ADDITIONAL PARKING SPACES PROVIDED: 114

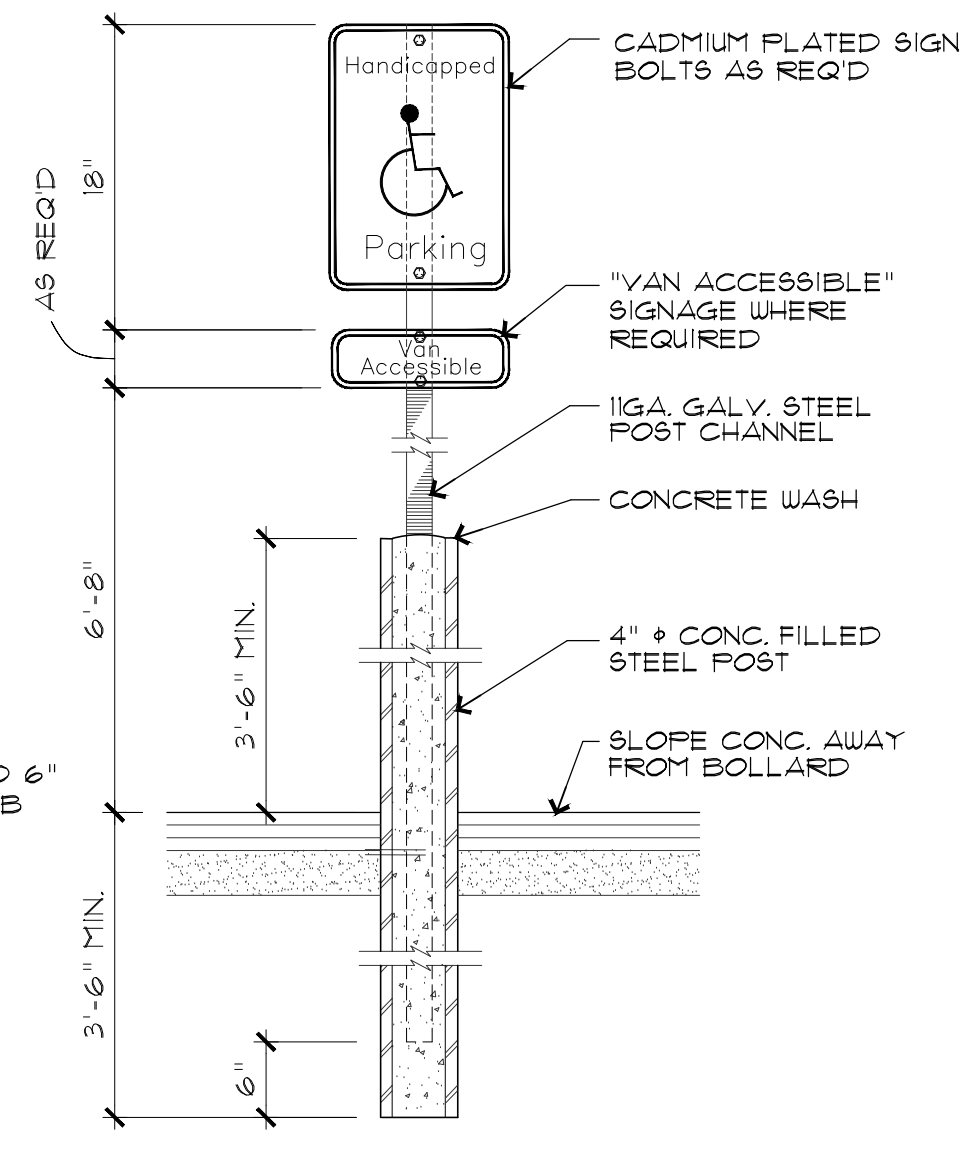
SITE PLAN GENERAL NOTES

1. MAIN APPROACH ON GRAND RIVER AVENUE EXISTS AND TO REMAIN. NO WORK IS PROPOSED ON THE RIGHT-OF-WAY.
2. PROPOSED SITE IMPROVEMENT IS INDICATED ON PROPOSED SITE PLAN. SCOPE OF WORK IS LIMITED TO PROPOSED AUTO SALES PARKING LOT.
3. ALL EXISTING AND PROPOSED LANDSCAPE MATERIALS & TO BE MAINTAINED BY OWNER OF PROPERTY. ANY EXISTING LANDSCAPING IN POOR CONDITION SHALL BE REPLACES WITH NEW LANDSCAPING.
4. ALL EXISTING EXTERIOR BUILDING LIGHTING SHALL NOT SHINE ON THE RIGHT OF WAY. EXTERIOR BUILDING LIGHTING WILL SHINE DOWNWARDS.
5. REFER TO SITE LIGHTING PLAN FOR PROPOSED LIGHTING AND PHOTOMETRIC STUDY.
6. FOR STORM SEWER & DRAIN SYSTEM, REFER TO ENGINEERING SITE PLAN, SHEET C-1.
7. EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY.
8. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.
9. No storage or display of vehicles shall be permitted in any landscape greenbelt area, provided the Township may permit a display pod for an automobile within the greenbelt area where it is integrated into the landscape design.



LOOP PARKING
 SCALE 1" = 10'

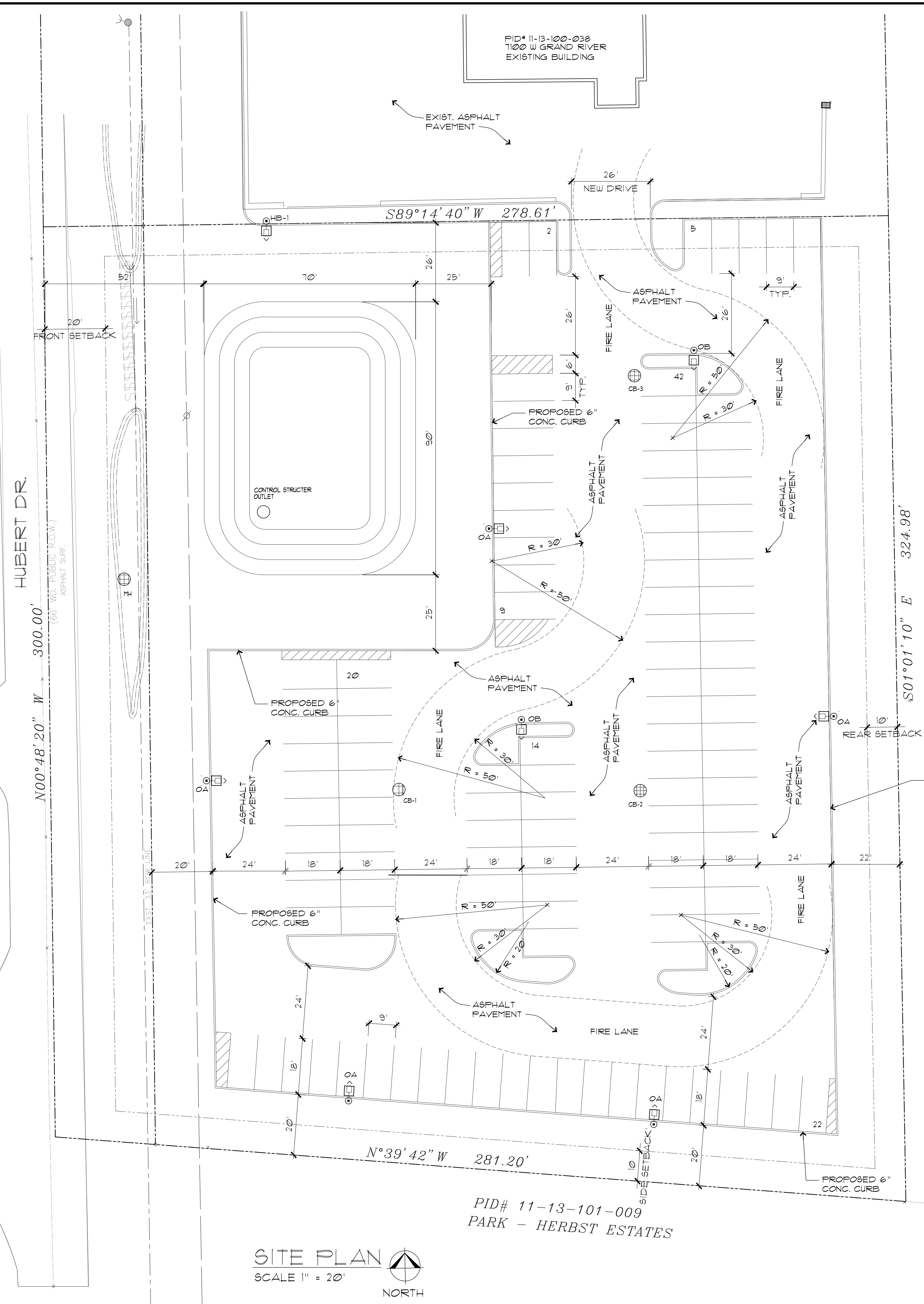
Parking Space Striping: All parking spaces shall be marked with double (or loop) stripes at three (3) to four (4) inches wide and spaced 18 to 24 inches apart.



BARRIER FREE PARKING SIGN
 SCALE: NONE

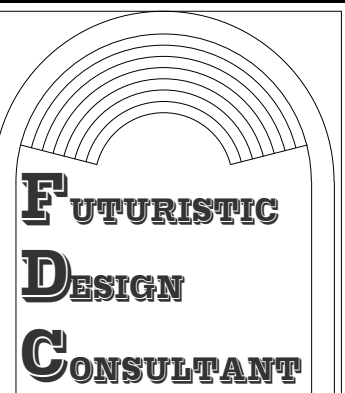


FIRE LANE SIGN
 SCALE: NONE



SITE PLAN
 SCALE 1" = 20'

PID# 11-13-101-009
 PARK - HERBST ESTATES



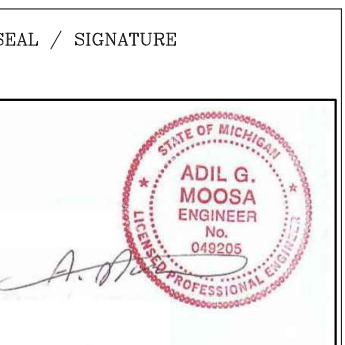
320 E. 12 MILE ROAD, SUITE A
MADISON HEIGHTS, MI 48071
PH: (586) 707-6588
FAX: (248) 398-3822
E-mail: imad-potres@yahoo.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	10/15/21
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED PARKING LOT
PARCEL ID # 11-13-100-039
PART OF THE NW 1/4 OF SECTION 13, T2N, R5E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI



DATE:

DRAWING TITLE:
OVERALL SITE PLAN

FILE NAME: BRIGHTON

PROJECT NO.: 021-06

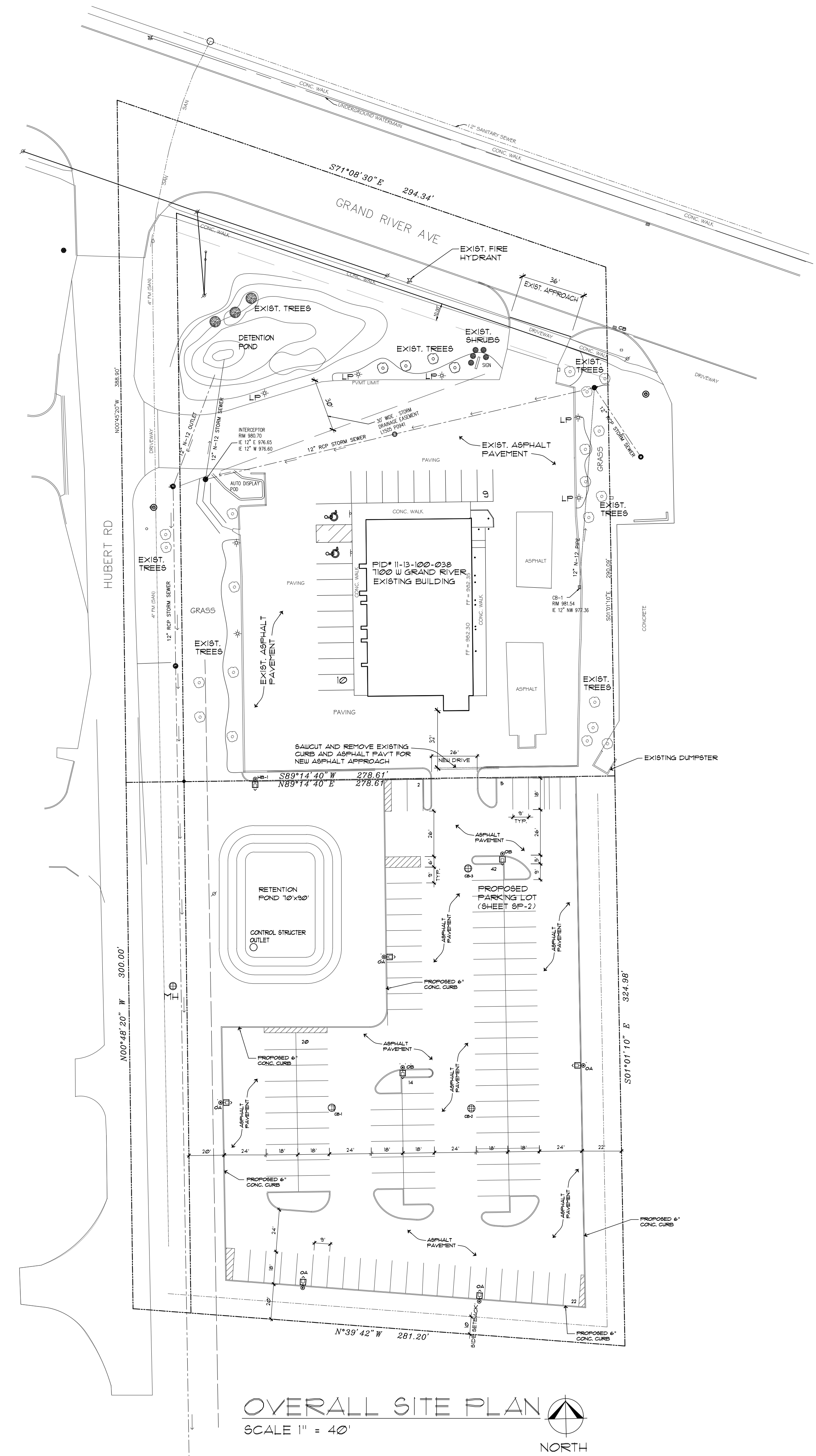
DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 06/23/2021

SHEET NO:
SP-3

DESCRIPTION:
PARCEL NO 1
PARCEL # 11-13-100-039

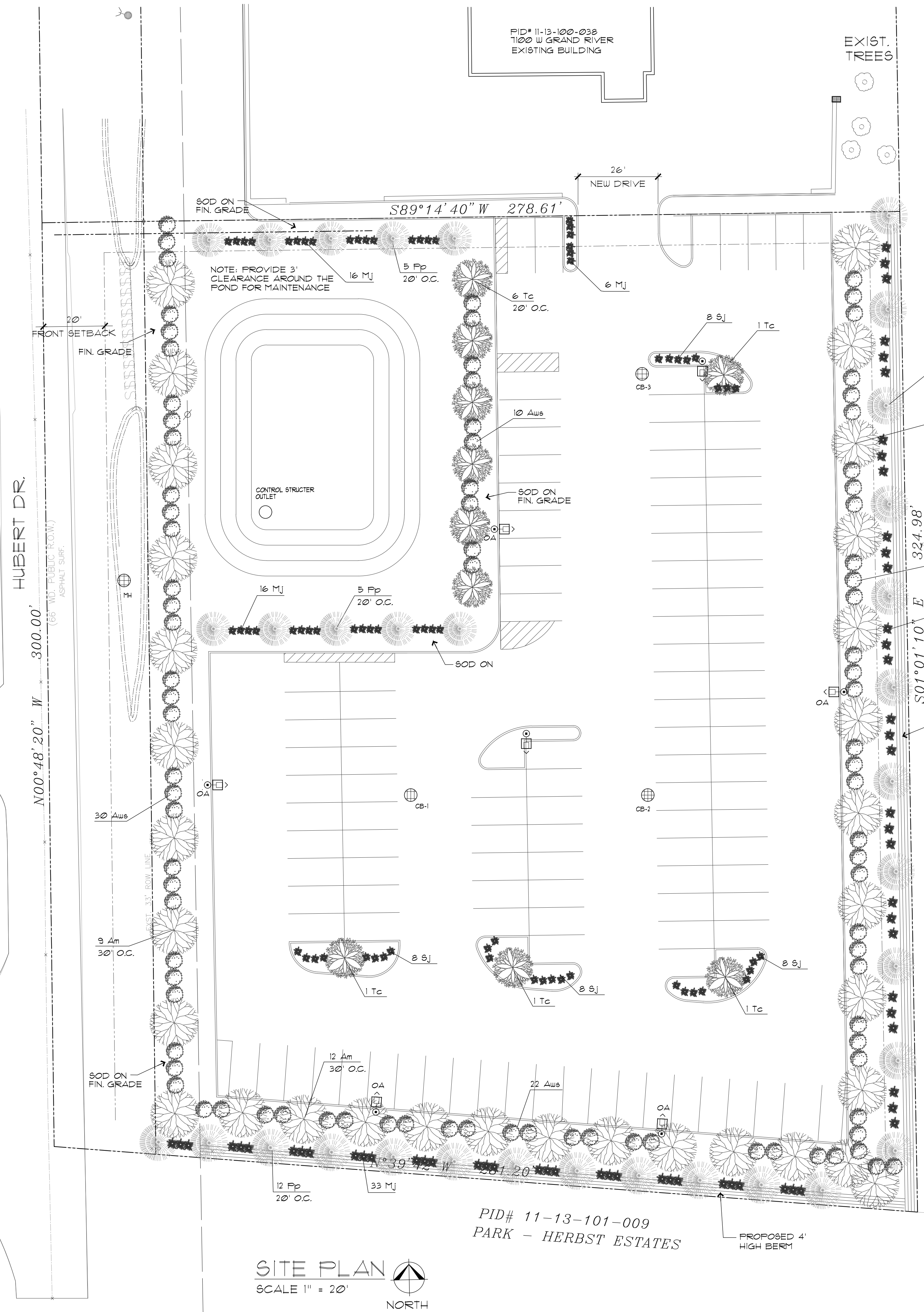
LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
PART OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 13; THENCE ALONG THE WEST LINE OF SECTION 13 AND THE CENTERLINE OF HUBERT ROAD, SAID LINE ALSO BEING THE WEST LINE OF HERBST ESTATES, A SUBDIVISION AS DULY SAID OUT, PLATTED AND RECORDED IN LIBER 21 OF PLATS, PAGES 5, 6 AND 7 OF LIVINGSTON COUNTY RECORDS, NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST (PLATTED AS NORTH 02 DEGREES 24 MINUTES 32 SECONDS EAST), 647.11 FEET TO THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE CONTINUING ALONG SAID WEST SECTION LINE AND CENTERLINE NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST 300 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE CONTINUING ALONG SAID SECTION LINE AND CENTERLINE NORTH 00 DEGREES 45 MINUTES 20 SECONDS WEST 388.90 FEET; THENCE ALONG THE CENTERLINE OF GRAND RIVER AVENUE SOUTH 71 DEGREES 08 MINUTES 30 SECONDS EAST 294.34 FEET; THENCE SOUTH 01 DEGREES 01 MINUTES 10 SECONDS EAST 290.03 FEET; THENCE SOUTH 89 DEGREES 14 MINUTES 40 SECONDS WEST 218.61 FEET TO THE POINT OF BEGINNING.

NOTE:
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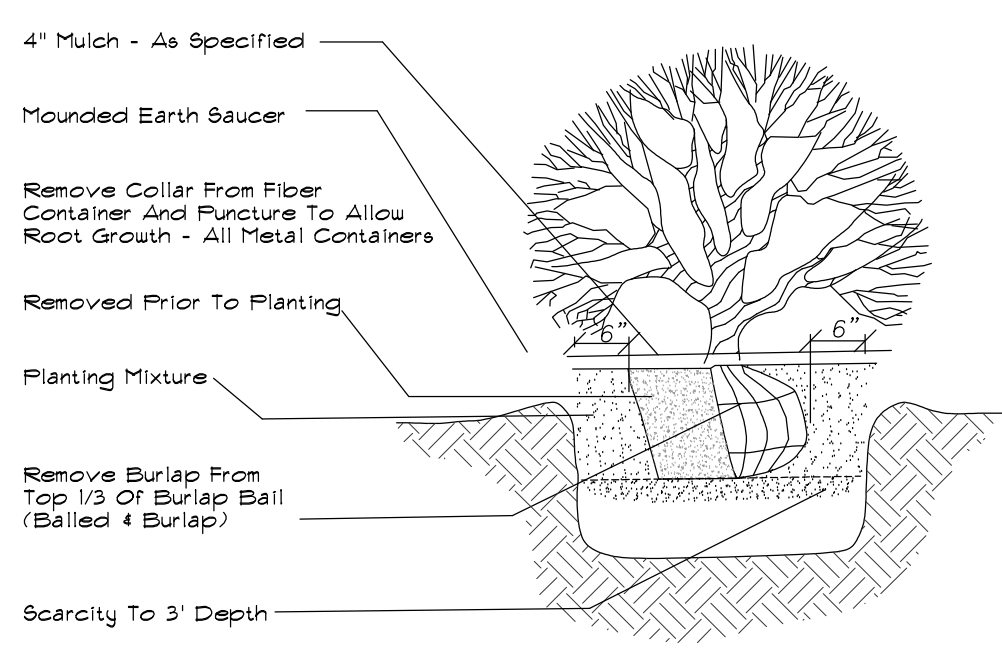


OVERALL SITE PLAN
SCALE 1" = 40'
NORTH

NO.	DESCRIPTION	DATE
1-	SITE PLAN	10/15/21
2-		
3-		
4-		
5-		
6-		
7-		



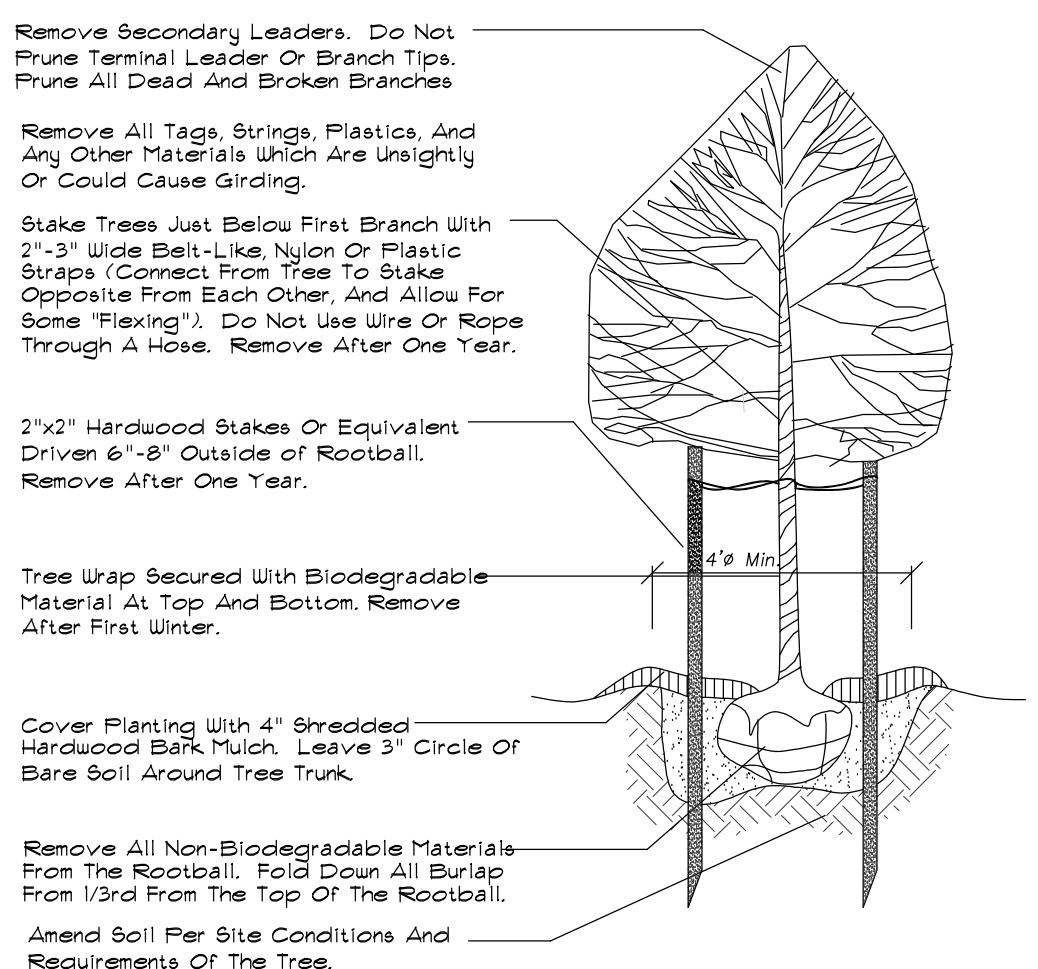
Note:
Shrub shall Bear Same Relation To Finish Grade As It did To Previously Existing Grade



Shrub Planting Detail
SCALE: NONE

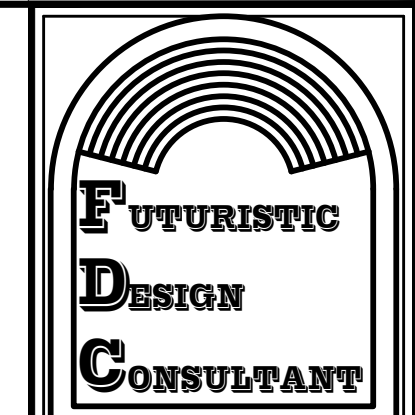
PLANT MATERIALS	Min Size	Spec.	Unit Cost	Total Cost
EVERGREEN TREES				
33 Fp COLORADO SPRUCE <i>Picea pungens</i>	3" Cal.	B4B	\$240	\$7,920
LARGE DECIDUOUS TREES				
32 Am AMUR MAPLE <i>Quercus rubra</i>	3" Cal.	B4B	\$220	\$7,040
SMALL DECIDUOUS TREES				
8 Tc LITTLE LEAF LINDEN <i>Tilia cordata 'Greenspire'</i>	2 1/2" CAL.	B4B	\$240	\$1,920
NARROW EVERGREEN SHRUBS				
18 Mj MEDORA JUNIFER <i>Juniperus scopulorum 'Medora'</i>	3' Ht.	B4B	\$32	\$2,496
MEDIUM SHRUBS				
82 Aus ANTHONY WATERER SPIREA <i>Spiraea x bumalda 'Auss'</i>	24" Ht. 5 Gal.	CG	\$20	\$1,640
32 Sj SHIROBANA SPIRAEA <i>Spiraea J. 'Shirobana'</i>	24" Ht.	CG	\$20	\$640
GROUND COVER				
-- Hr THORNDALE BALTIC IVY <i>Hedera helix 'Thordale Baltic'</i>				
30 cy Mulch				
-- Sj Seeding				
250 sj Sod				
TOTAL INCLUDING 15,000 FOR SOD AND MULCH				\$26,656

B4B = Balled 4 Burlapped
CG = Container Grown



Evergreen Tree Planting Detail
SCALE: NONE

- NOTES AND REQUIREMENTS:**
Refer to Genoa Township Zoning Ordinance:
- All materials, scheduling, planting times, maintenance procedures, workmanship including permits and inspections are to meet the requirements and ordinances.
 - All plantings are to be planted as to be in a healthy growing condition at commencement of the establishment period. During the establishment period, the contractor shall be responsible for maintaining plants in a healthy growing condition, which shall include watering, cultivation, weed control, fertilization, pruning, pesticides and fungicides.
 - A minimum of one cultivation for each plant for weed control per month will be required in June, July and August of the establishment period including all required maintenance throughout the establishment period.
 - Trees including replacement trees are to be planted in accordance with City of St. Clair Shores tree planting detail(s) and as approved by the Township.
 - For replacement trees: stake, water, 4 mulch in accordance with the requirements Chapter 37, "Woodlands Protection", Genoa Township Ordinance as well as the above section. Remove tree
 - All plants including replacement trees are to be guaranteed to be in a vigorous growing condition for a period of two years (replacement period) from written approval at the end of the planting period.
 - To water all lawn areas, flower beds, ground cover, shrubs, an automatic irrigation system is to be installed at the time of landscape installation by an approved irrigation contractor.
 - Excavate all planting lawn and bed areas between the curb line and building 18" deep and install approved planting soil and/or sandy loam topsoil. For trees and beds install 4" diameter drain tile with filter sock in pea pebble at 25'-30' deep and attach to storm sewer system.
 - In all lawn areas, remove debris, disc and till sub grade to 6" deep and install 4" deep of approved topsoil. Do not install sod or seed until grade is approved.
 - The prevention of damage to any utilities or the interruption of utility services, and the prevention of damage or littering onto adjacent property or public streets, sidewalks or other public thoroughfares with dirt, sediment, water, plant material or other miscellaneous debris which constitutes a public nuisance or hazard. All such debris shall be promptly removed.
 - The planting of all trees, shrubs and hedges in a manner which will not interfere with proper maintenance or cause damage to underground and overhead utility lines, public roadways or other public works. Evergreen and canopy trees shall not be planted closer than fifteen (15) feet from underground or overhead utilities.
 - All plant materials installed will be certified by the State of Michigan Department of Agriculture to be disease-free and pest-free and not of a species known to carry or be host to destructive pathogens or pests.
 - Mulch all shrub beds with 4" deep of processed shredded bark and perennial/flower beds with 2" deep of sphagnum peat and work 2" into soil.
 - Crown landscape parking peninsula evenly 6" high above curb.
 - Install steel bed edging 3 1/2" x 5" as indicated per manufacturer recommendations
 - STATEMENT OF INTENT- As part of the submittal, the owner assures that the landscape plantings, materials etc. will be installed and maintained in accordance with the plan
 - REPLACEMENT PERIOD- Make tree and shrub replacements during the normal growing season and/or as notified by the City of Sterling Heights. Immediately remove dying or dead plants from the site and replace as early as possible.
 - All plant materials shall be northern nursery grown, No.1 grade, and installed according to accepted planting procedures. All plant materials shall meet current American Association of Nurserymen Standards. They shall be planted according to Genoa Township.
 - Plant materials, except creeping vine type plantings, shall not be located within four (4) feet of the property line.
 - All trees shall have a central leader and a radial branching structure, park grade trees are not acceptable, all shall be balled and burlapped (B4B).



520 E. 12 MILE ROAD, SUITE A
MADISON HEIGHTS, MI 48071
TEL: (584) 737-0888
FAX: (248) 398-3822
E-mail: imad-potres@yahoo.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	01/03/22
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED PARKING LOT
PARCEL ID # 11-13-100-039
PART OF THE NW 1/4 OF SECTION 13, T2N, R9E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

SEAL / SIGNATURE

DATE

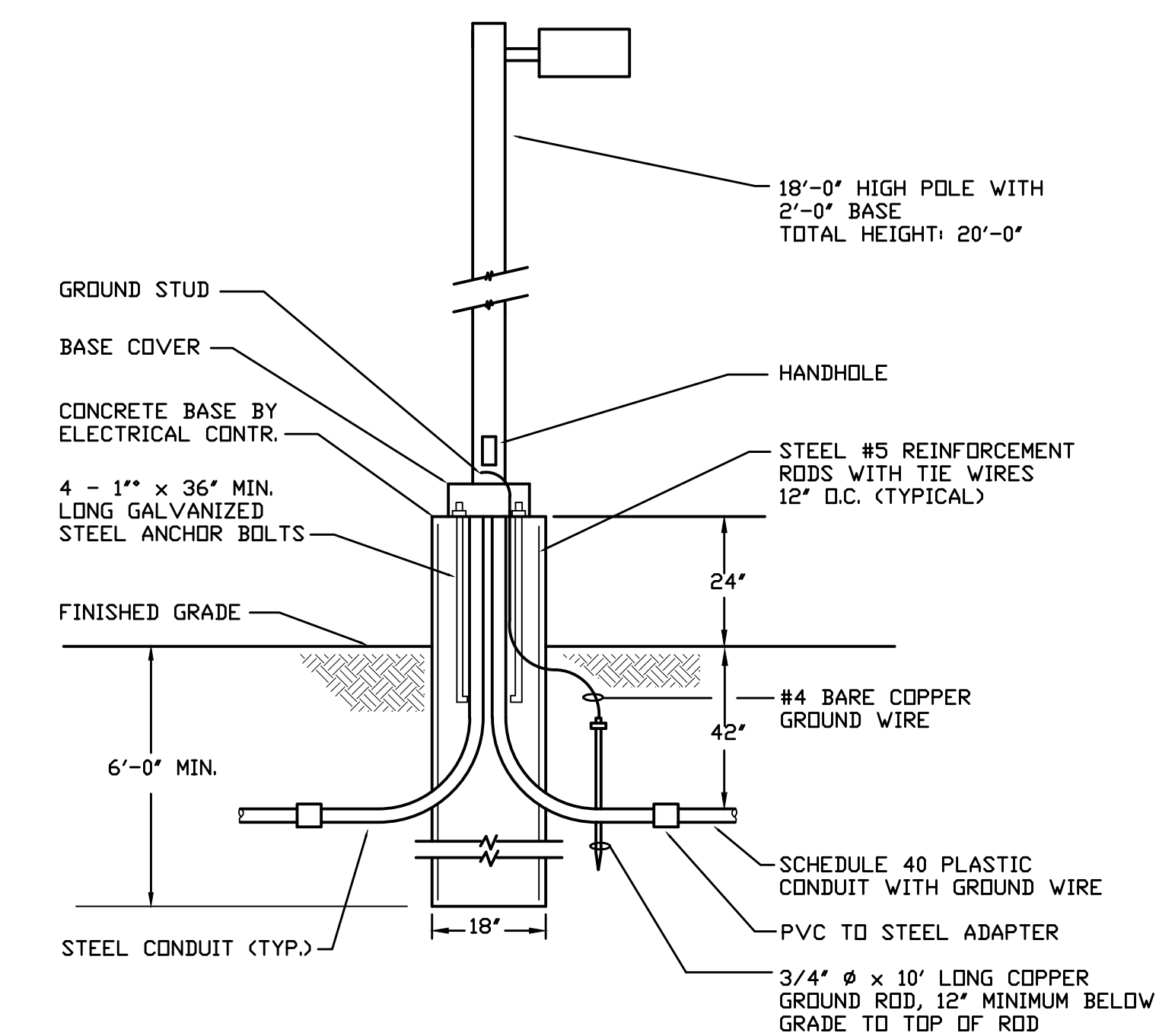
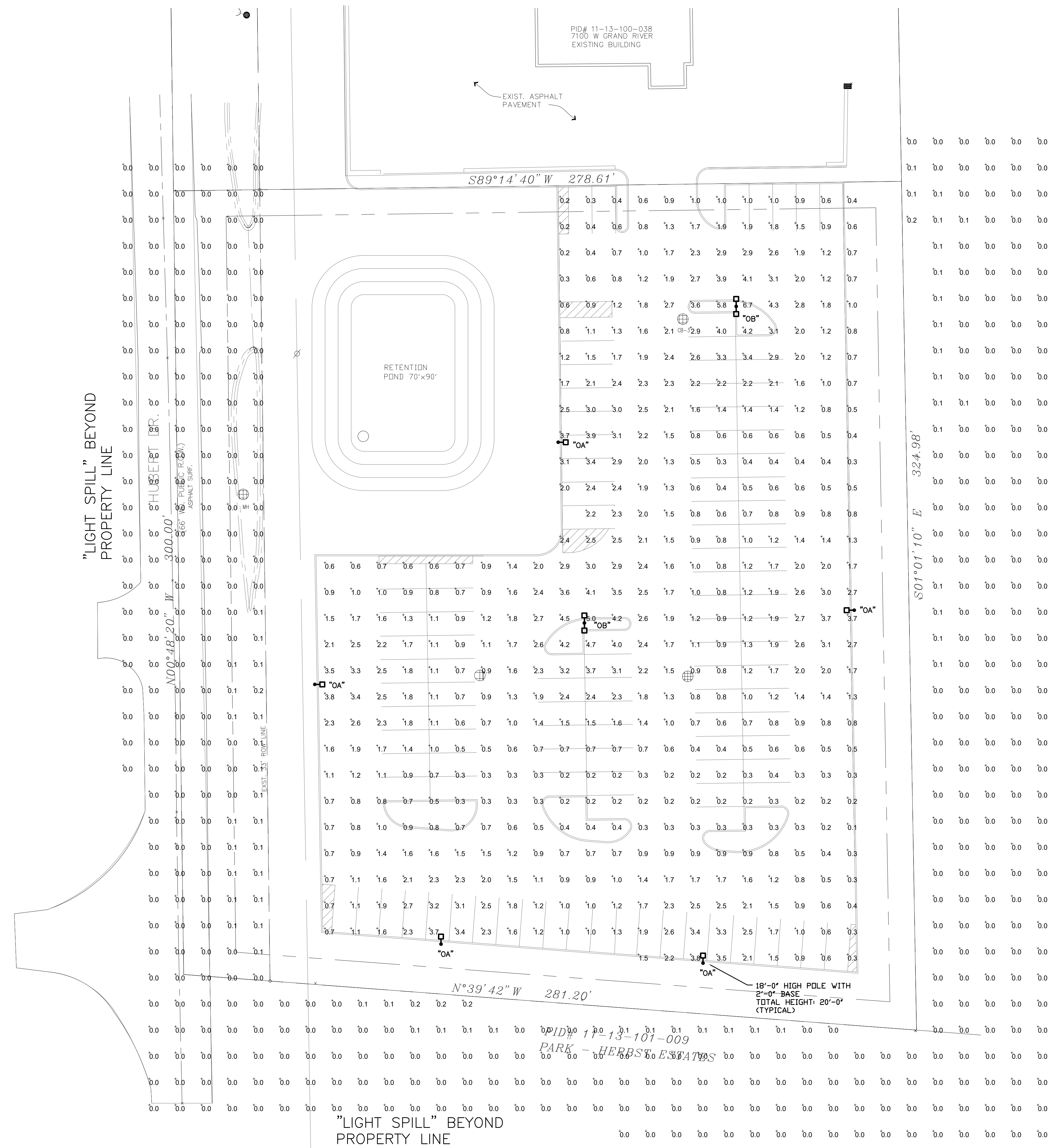
DRAWING TITLE:
SITE PLAN - LIGHTING
PHOTOMETRIC AND DETAIL

FILE NAME: BRIGHTON

PROJECT NO.: 021-06

DRAWN BY: S.D.
CHECKED BY: S.D.
DATE: 01/03/22

SHEET NO:
ES-1



LIGHT POLE DETAIL

"LIGHT SPILL" BEYOND
PROPERTY LINE

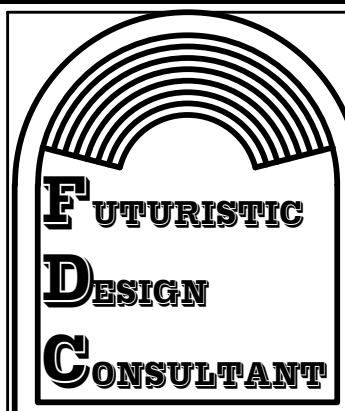


UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
PRIOR TO CONSTRUCTION, ALL LOCATION AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD.
DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.
CALL MISS DIG

SITE PLAN-LIGHTING PHOTOMETRIC

SCALE 1" = 20'

ELECTRICAL SHEET INDEX	
SHEET NUMBER	DESCRIPTION
ES-1	SITE PLAN - LIGHTING PHOTOMETRIC AND DETAIL
ES-2	LIGHTING CUT SHEET AND CALCULATION RESULTS



520 E. 12 MILE ROAD, SUITE A
MADISON HEIGHTS, MI 48071
TEL: (584) 707-0980
FAX: (248) 398-3822
E-mail: imad-potres@yahoo.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	01/03/22
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED PARKING LOT
PARCEL ID # 11-13-100-039
PART OF THE NW 1/4 OF SECTION 13, T2N, R5E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

SEAL / SIGNATURE

DATE

DRAWING TITLE:
LIGHTING CUT SHEET &
CALCULATION RESULTS

DRAWN BY: S.D.
CHECKED BY: S.D.
DATE: 01/03/22

SHEET NO:
ES-2

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
☐→	"OA"	5	Lithonia Lighting	DSX0 LED P5 50K T4M MVOLT HS	DSX0 LED P5 50K T4M MVOLT with houseside shield	LED	1	DSX0_LED_P5_50K_T4M_MV_OLT_HS.ies	8985	0.95	89
☐→☐	"OB"	2	"OB" IS SAME AS "OA", EXCEPT (2) HEADS								

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
LIGHT SPILL, BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.5 fc	6.7 fc	0.1 fc	67.0:1	15.0:1

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft² (0.09 m²)

Length: 26" (66.0 cm)

Width: 13" (33.0 cm)

Height: 7" (17.8 cm)

Weight (max): 16 lbs (7.25 kg)

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL* controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam; Link to DTL DLL

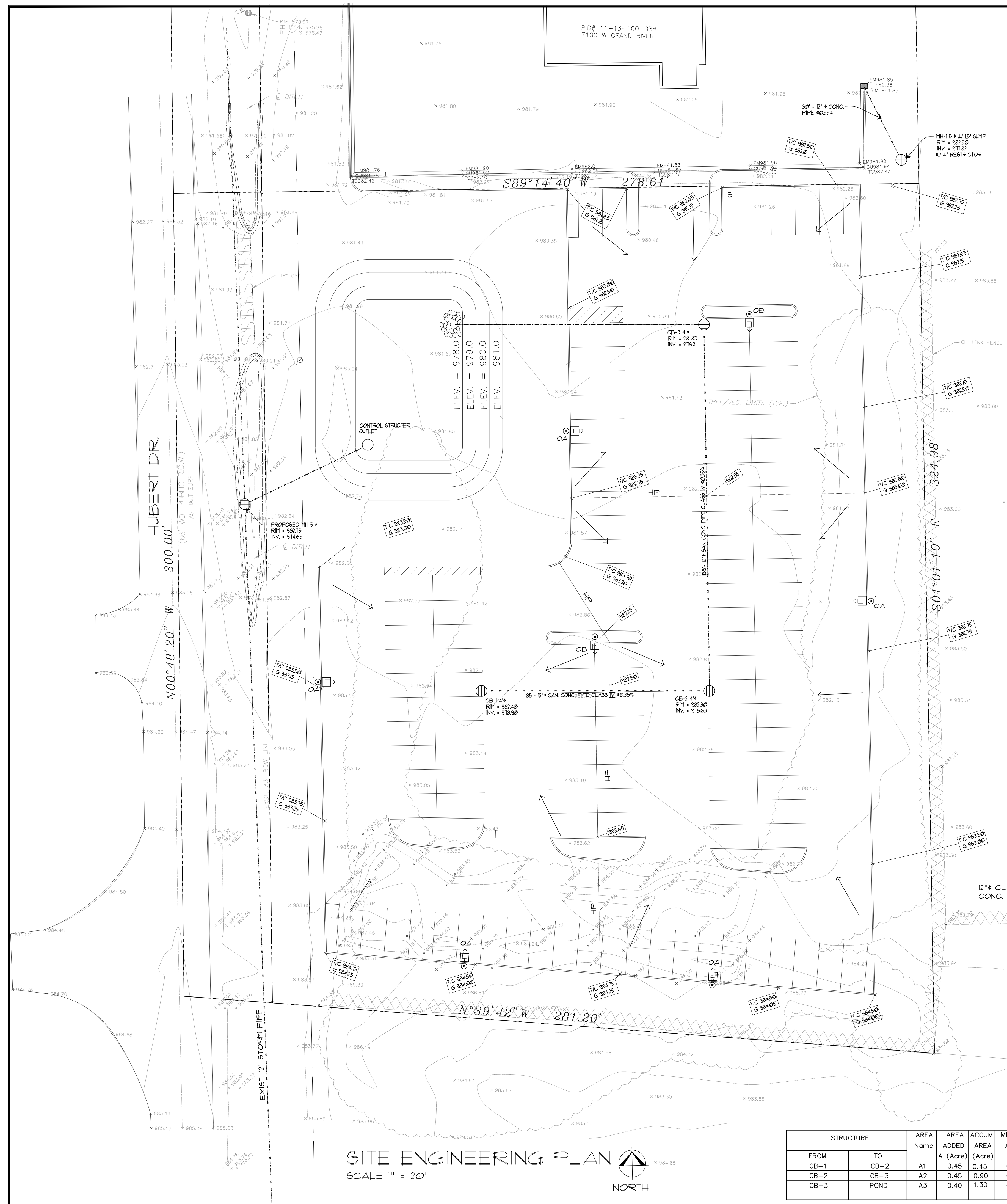
Ordering Information EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	30K 3000K	T5 Type I short	T5S Type V short	MVOLT [®]
	P1 P4 P7	40K 4000K	T2S Type II short	TSM Type V medium	320 [®]
	P2 P5	50K 5000K	T2M Type II medium	TSW Type V wide	208 [®]
	Rotated optics	T3S Type II short	BLC Backlight control [®]	240 [®]	WBA Wall bracket
		T3M Type II medium	LCCO Left corner cut-off [®]	277 [®]	SPWABA Square pole universal mounting adapter [®]
		P10 P12	T4M Type IV medium	RCCO Right corner cut-off [®]	RPWABA Round pole universal mounting adapter [®]
	P11 P13	T7M Forward throw medium	T7M medium	347 [®]	Shipped separately
		TSVS Type V very short		489 [®]	KMA4 DDBXD II Best arm mounting bracket adapter (specify finish) [®]

Control options	Other options	Finish
Shipped installed	Shipped installed	Shipped separately
NIAR2 Light AIR generation 2 enabled [®]	FRHFCV Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 10' 11"	DDBXD Dark bronze
PER NEAR twin-lock receptacle only (control ordered separately) [®]	BL30 Bi-level switched dimming, 30kg 1.5m [®]	DBXD Black
PER NEAR twin-lock receptacle only (control ordered separately) [®]	BL50 Bi-level switched dimming, 50kg 1.5m [®]	DNAXD Natural aluminum
PER 0-10V dimming ended out back of housing for external control (control ordered separately)	FRMTD03 Par night, dim 0/1 down [®]	DW0XD White
DMG 0-10V dimming ended out back of housing for external control (control ordered separately)	FRMTD04 Par night, dim 5 hrs [®]	DBDXD Textured dark bronze
PR Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5' 11"	FRMTD05 Par night, dim 5 hrs [®]	DBDXD Textured black
PRH Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5' 11"	FRMTD06 Par night, dim 5 hrs [®]	DNAXD Textured natural aluminum
PRIN Network, Bi-Level motion/ambient sensor [®]	FRMTD07 Par night, dim 7 hrs [®]	DW0XD Textured white
FRHFCV Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 10' 11"	FAO Field adjustable output [®]	

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30612 • Phone: 800.279.8041 • www.lithonia.com
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LIGHTING FIXTURE TYPE: "OA"
"OB" SAME AS "OA", EXCEPT TWO HEADS



SITE ENGINEERING PLAN
SCALE 1" = 20'

TABLE OF DRAINAGE CALCULATIONS

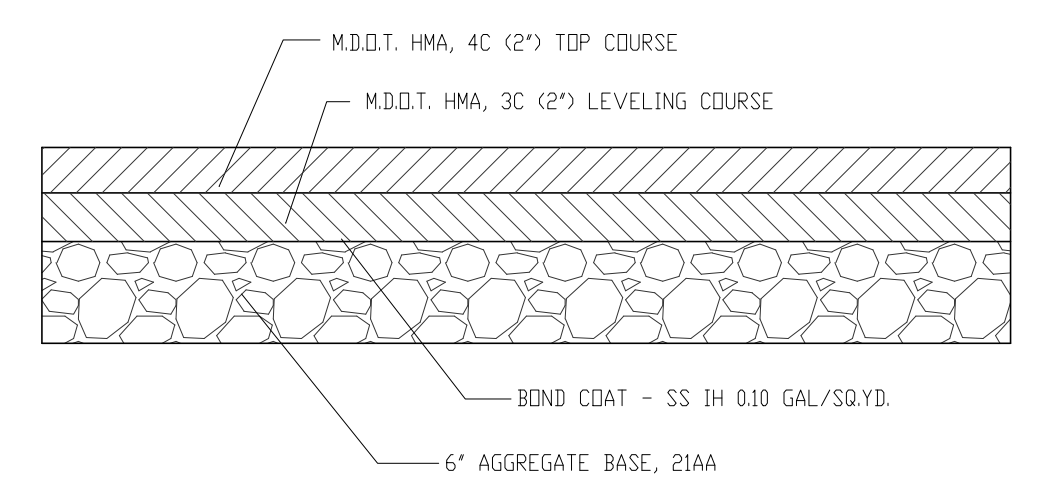
STRUCTURE	AREA Name	AREA ADDED A (Acre)	ACCUM AREA (Acre)	IMPERV. AVG. C	EQUIV. AREA AxC	TIME OF CONCENT. T (MIN)	(¹) INTENS. (in/hr)	(²) Q ₁₀ RUNOFF (Cfs)	PIPE DIAMETER (in)	PIPE SLOPE (%)	Actual HG (%)	V ³ fps VEL. (ft/s)	CAPACITY PROVIDED Cfs	PIPE LENGTH L (ft)	TIME OF FLOW (min)	INVERT AT UPSTREAM	INVERT AT DOWNSTREAM	RIM EL. AT UPSTREAM	DEPTH: RIM TO T/P AT UPSTREAM	DEPTH FROM RIM. TO INV. AT UPSTREAM
FROM CB-1 TO CB-2	A1	0.45	0.45	0.90	0.41	20.00	4.78	1.94	12.00	0.32	0.32	2.55	2.00	85.00	0.56	978.90	978.64	982.40	2.37	3.50
FROM CB-2 TO CB-3	A2	0.45	0.90	0.90	0.41	20.56	4.72	3.85	12.00	0.32	0.32	2.55	2.00	139.00	0.91	978.54	978.21	982.30	2.64	3.76
FROM CB-3 TO POND	A3	0.40	1.30	0.90	0.36	21.47	4.63	5.51	12.00	0.32	0.32	2.55	2.00	95.00	0.62	978.10	978.0	981.85	2.73	3.85

DRAINAGE CALCULATIONS

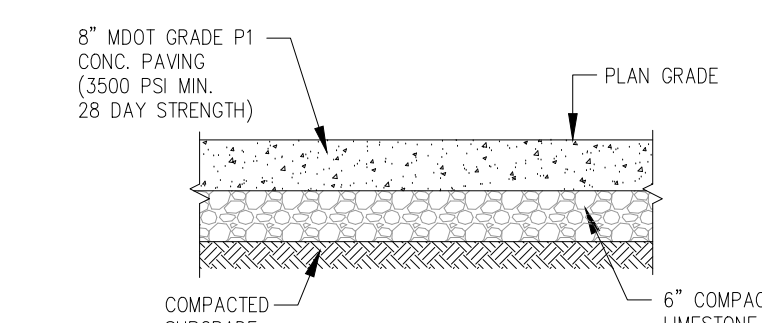
1-FORMULAS AND COEFFICIENTS
LIVINGSTON COUNTY STANDARD REQUIREMENTS, RULES AND DESIGN CRITERIA FOR SUBDIVISION DRAINAGE IN OAKLAND COUNTY WAS USED IN THE DESIGN OF DRAINAGE SYSTEM.
THE FOLLOWING DESIGN PARAMETERS AND EQUATIONS USED IN RUNOFF AND STORM SEWER CALCULATIONS:
-RATIONAL METHOD FOR RUNOFF CALCULATIONS WAS USED Q=CIA.
-THE FOLLOWING COEFFICIENTS OF IMPERVIOUSNESS WAS USED C=0.90 FOR PAVEMENT.
C=0.20 FOR LAWN
-STORM DRAINAGE SYSTEM WAS DESIGNED FOR 100 YEAR STORM.
-THE RAINFALL INTENSITY "I" FORMULA WAS USED IS: I=275/(T+25).
-MANNING FORMULA WAS USED TO SIZE THE PIPES (Q = 1.486 A R^{2/3} S)
MANNING COEFFICIENT n = 0.0013 FOR CONCRETE PIPE
-THE ALLOWABLE OUTFLOW Q_o = 0.20 CFS PER ACRE IMPERVIOUSNESS PER LIVINGSTON COUNTY DRAIN COMMISSION REQUIREMENTS.

METHOD 2 IS USED FOR DESIGN:
Q_o MAX PERMISSIBLE = 0.2 x 2 Acres = 0.4 CFS
TIME OF CONCENTRATION 'T' IS 20 MIN = 1200 SECONDS
I = 275/(20+25) = 6.11 Inch/Hour
K1 DESIGN CONSTANT = AxC = 2 Acres x 0.75 = 1.5
Inflow Volume = 1.5 x 6.11 x 1200 = 10,998 Cu. Ft.
Outflow Volume = Duration x Q_o = 1200 x 0.4 = 480 Cu. Ft.
Required Storage Volume = 10,998 - 480 = 10,512 Cu. Ft.

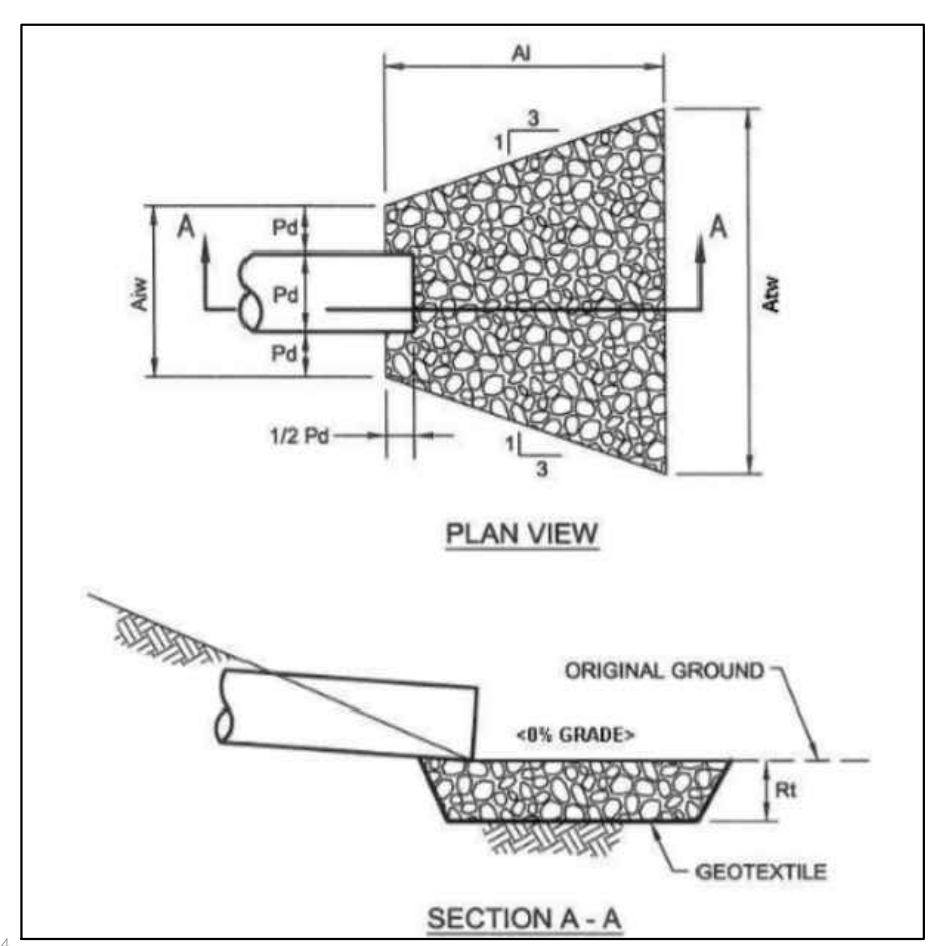
3-STORAGE CALCULATIONS
A₁ = 40 x 60 = 2,400
A₂ = 50 x 70 = 3,500
A₃ = 60 x 80 = 4,800
A₄ = 70 x 90 = 6,300
V₁ = 1/3 (A₁ + A₂ + √A₁A₂)
V₁ = 1/3 (2,400 + 3,500 + √(2,400x3,500)) = 2,933 Cu. Ft.
V₂ = 1/3 (3,500 + 4,800 + √(3,500x4,800)) = 4,133 Cu. Ft.
V₃ = 1/3 (4,800 + 6,300 + √(4,800x6,300)) = 5,533 Cu. Ft.
V_{TOTAL} = 12,599 Cu. Ft. > V_{req} = 10,512 Cu. Ft. OK.
THERE WILL BE EXTRA VOLUME PROVIDED BY BERM



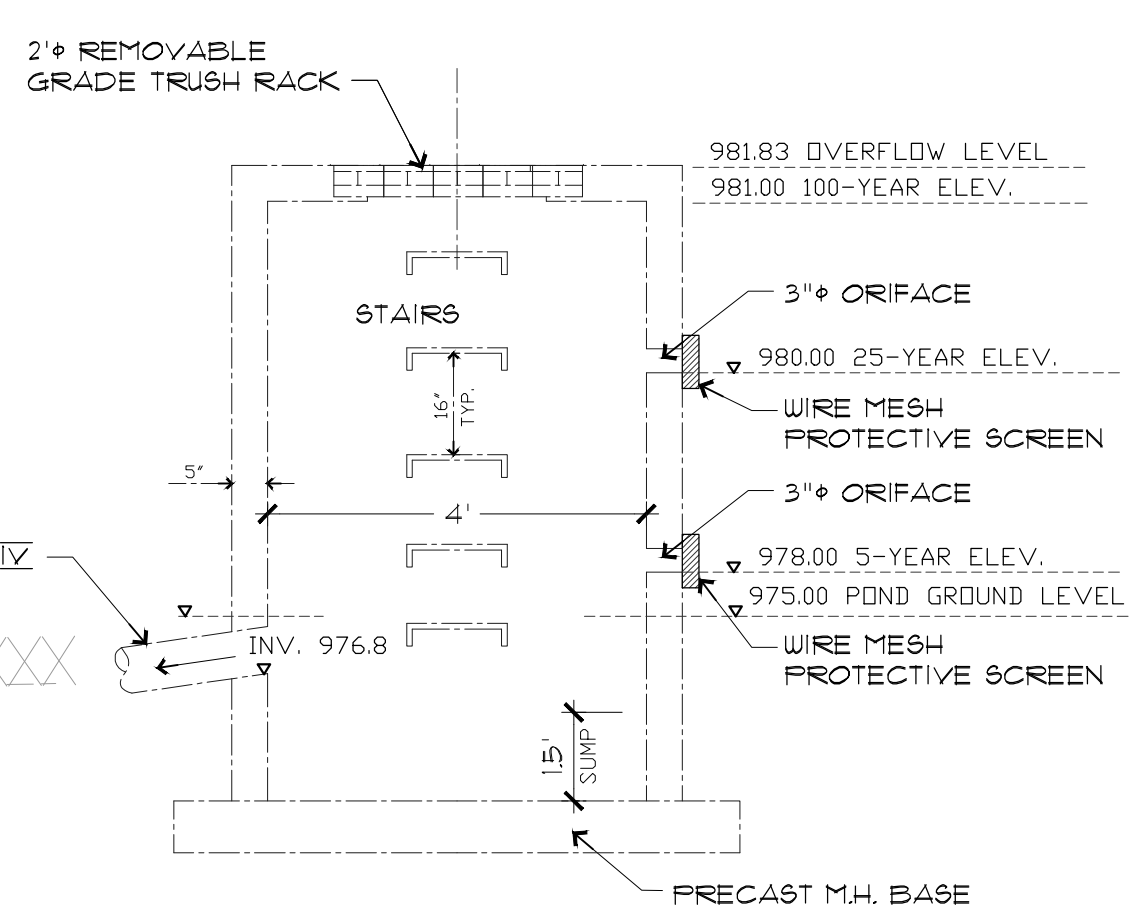
ASPHALT PAVEMENT SECTION
WITHIN PROPERTY LINE



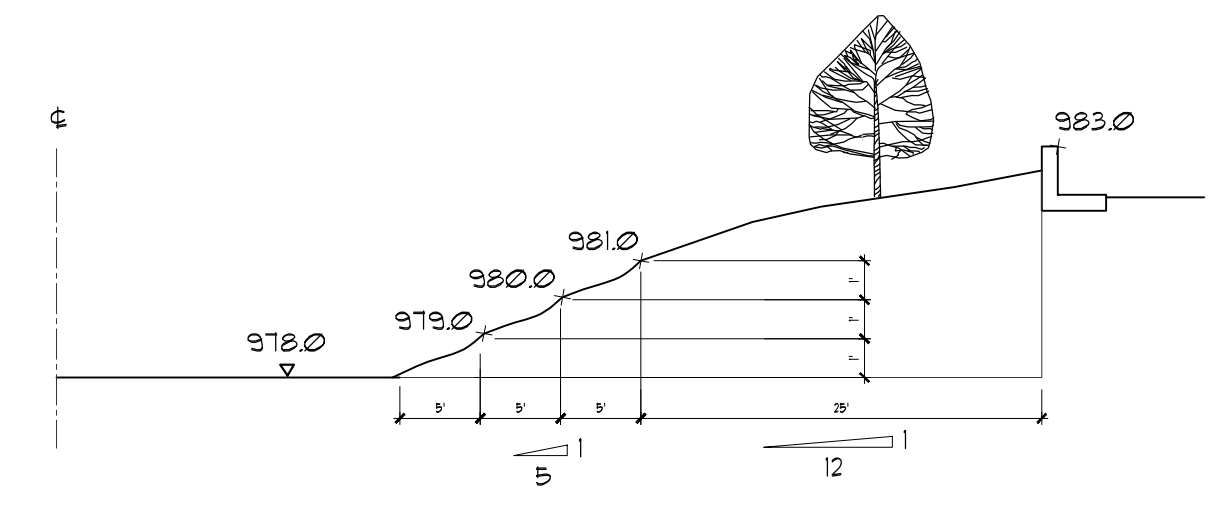
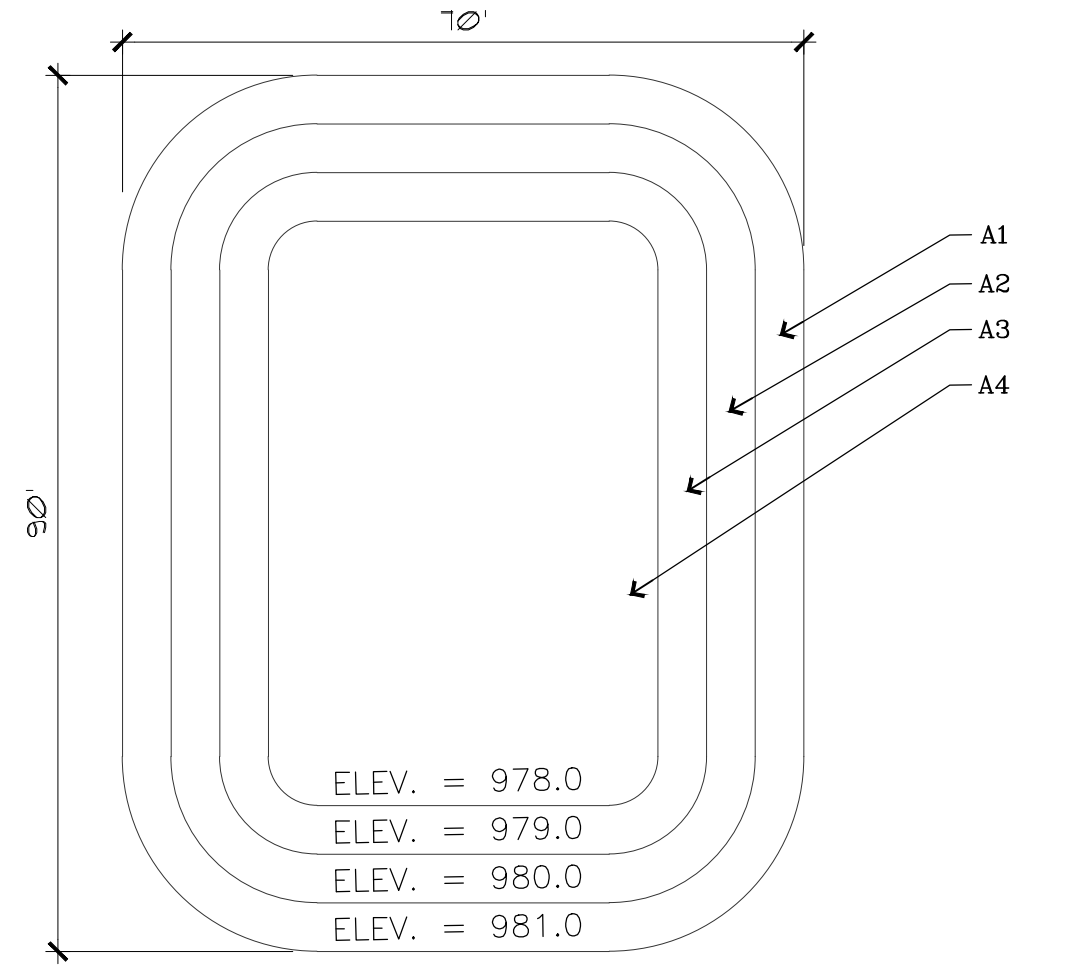
8" CONCRETE DRIVEWAY
NOT TO SCALE



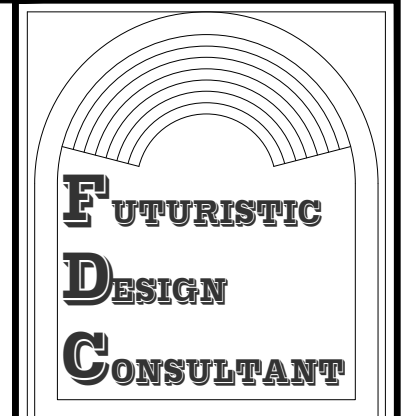
RIPRAP APRON AT PIPE OUTLET
WITHOUT FLARED END WALL DETAIL
SCALE: NONE



OUTLET CONTROL STRUCTURE
SCALE: NONE



PROPOSED RETENTION POND
SCALE: NONE



528 E. 12 MILE ROAD, SUITE A
MADISON HEIGHTS, MI 48071
PH: (986) 707-0080
FAX: (248) 398-3822
E-mail: imad@futuristicdesign.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	10/12/21
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED PARKING LOT
PARCEL ID # 11-13-100-039
PART OF THE NW 1/4 OF SECTION 13, T2N, R5E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

SCALE / SIGNATURE

DATE:

DRAWING TITLE:
SITE ENGINEERING PLAN
PROJECT NO.: 021-06
FILE NAME: BRIGHTON

DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 06/23/2021

SHEET NO.:
C-1

#2) A & J Cartage

The applicant for the A & J Cartage project has requested more time to work on their plans following the first round of review comments. Since publication and notice were mailed this item remained on the agenda for public comment purposes, but we are requesting that it be postponed to the March 14, 2022 meeting agenda.



GENOA CHARTER TOWNSHIP APPLICATION
Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Wonderland Marine West, Inc
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Wonderland Marine West, Inc

SITE ADDRESS: 5796 E. Grand River Ave PARCEL #(s): 4711-15-200-037

APPLICANT PHONE: (517) 548-5122 OWNER PHONE: (810) 923-8334

LOCATION AND BRIEF DESCRIPTION OF SITE: Tax Code 4711-15-200-037

Attached is the Proposed site Plan South Indicating
Where we want to put the Pole-Barn.

BRIEF STATEMENT OF PROPOSED USE:
Boat Storage Building

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: To Build 1 more
Storage Pole Barn on our back acreage. It would be
the exact size of our other Barns 91 x 120

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

BY: [Signature] Vice President

ADDRESS: 8400 Woodland Shore Dr - Brighton, MI 48114

Contact Information - Review Letters and Correspondence shall be forwarded to the following:
1.) Paul Mitter of V.P. PMitter @ Wonderlandmarine west. Com
Name Business Affiliation at Email Address

FEE EXCEEDANCE AGREEMENT
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional
reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional
reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit.
By signing below, applicant indicates agreement and full understanding of this policy.
SIGNATURE: [Signature] DATE: 1-21-2022
PRINT NAME: Gary E. Mitter, SR Paul R Mitter Vice Pres PHONE: 810-923-8334

February 9, 2022

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Wonderland Marine – Sketch Plan Review #1
Location:	5796 E. Grand River Avenue – south side of E. Grand River, west of Dorr Road
Zoning:	GCD General Commercial, TCOC Town Center Overlay, and IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the sketch plan submittal from Wonderland Marine for a new storage building in the southwest corner of the site (plans dated 12/28/21).

A. Summary

1. The applicant needs to clarify the parcel configuration in the southerly portion of the site to ensure strict compliance with setback requirements.
2. The applicant must demonstrate that allowable lot coverage ratios are met (buildings and impervious surfaces).
3. The metal building does not comply with the requirements of Section 12.01. The Commission has discretion over materials and design, per Section 12.01.04.
4. Pending input from the Township Engineer and Brighton Area Fire Authority, the Commission may allow the gravel surfacing to remain as an existing condition.
5. The parking notes on Sheet SP1 need to be revised or clarified with respect to whether parking modifications are proposed (appears to be an existing condition).
6. If new landscaping is proposed, a landscape plan must be provided.
7. A Buffer Zone A is required between IND and SR zoning, though the building placement does not allow for the required width.
8. Any existing landscaping in poor condition should be replaced as part of this project.
9. If new exterior lighting is proposed, a detailed lighting plan must be provided.

B. Proposal/Process

The applicant proposes construction of a new 10,920 square foot (91’ x 120’) storage building for the existing boat storage facility. The project area is in the southwest corner of the property, within IND zoning.

Indoor commercial storage (including boat storage) is permitted by right in the IND (Table 8.02).

Given the nature of the project in relation to the existing development, the proposal is eligible for sketch plan review (as opposed to full site plan review).

Procedurally, the Planning Commission has review and approval authority over the sketch plan. An Environmental Impact Assessment is not required as part of sketch plan review.



Aerial view of site and surroundings (looking north)

C. Sketch Plan Review

1. **Dimensional Requirements.** The plan depicts setbacks of 21.1 feet from the westerly lot line and 30 feet from the southerly lot line.

The actual parcel configuration in this portion of the property is unclear, and we request the applicant provide clarification on a revised plan.

If the line depicted to the west is the parcel boundary, then the 21.1-foot side yard setback is deficient (25 feet is required). Additionally, if this is the case, then the southerly lot line would be considered a rear lot line, and a 40-foot setback would be required.

If, however, the portion of the property fronting Gray Road is part of the same parcel, then the setbacks would be compliant.

Additionally, the applicant must demonstrate that maximum lot coverage ratios are met (40% for buildings and 85% for impervious surfaces).

2. **Building.** The proposal entails a metal building (both siding and roof). The amount of metal proposed (100%) is not within that allowed by Section 12.01 (25% maximum). However, the building appears to be consistent with many of the existing buildings on-site.

Building materials and colors are subject to review and approval by the Planning Commission.

Given the nature of the use, property and consistency with existing buildings, the Commission may allow this deviation in accordance with Section 12.01.04.

3. **Vehicular Circulation.** The existing site provides a paved driveway onto a portion of the development area, while the remainder of the area is surfaced with gravel.

Pending input from the Township Engineer and Brighton Area Fire Authority, the Commission may allow this to remain as an existing condition, although the Ordinance requires hard surfacing.

- 4. Parking.** The notes on Sheet SP1 indicate that 31 parking spaces are provided, per Ordinance requirements.

While the spaces appear to exist, the notes indicate that new parking is proposed. We request the applicant revise the notes to reflect that this is an existing condition, or provide clarification if new parking is actually proposed as part of this project.

- 5. Landscaping.** If new landscaping is proposed as part of this project, the applicant must provide a landscape plan, per Section 12.02.

A Buffer Zone A, which entails a 50-foot width and mix of plantings, is required along the boundary between IND and SR zoning.

While there are existing plantings in this area, it does not appear that full buffer zone requirements are met, and the location of the proposed building is such that the required width cannot be provided.

The Commission has the ability to modify landscaping requirements, though given the nature of the property and the project, a full buffer zone may be warranted at this time.

Lastly, any existing landscaping in poor condition should be replaced as part of this project.

- 6. Exterior Lighting.** If new exterior site lighting is proposed as part of this project, the applicant must provide a full lighting plan in accordance with Section 12.03 of the Township Zoning Ordinance.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT



Brian V. Borden, AICP
Michigan Planning Manager



February 9, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Wonderland Boat Storage Addition
Site Plan Review No. 1**

Dear Ms. Van Marter:

Tetra Tech conducted a review of the Wonderland Boat Storage sketch plan last dated January 28, 2021. The plans were completed by Desine Inc. Engineering on behalf of Wonderland Marine West, Inc. The site is on the south side of Grand River Avenue between Gray and Dorr Roads. The Petitioner is proposing an additional boat storage building in an existing gravel lot on the southwest corner of the parcel.

The proposed building is within the existing gravel lot and does not significantly increase the impervious surface of the site. The proposed building will not impact existing utilities or site access. Therefore, we have no engineering related concern to the proposed storage building. The provided site plan is confusing as it makes previously completed site improvements, such as the pavement around the exiting main building, appear to be proposed. The Township may wish to have this revised prior to approval.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.
Vice President

A handwritten signature in blue ink, appearing to read 'Shelby Byrne'.

Shelby Byrne
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 7, 2022

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Wonderland Marine Storage Building
5796 E. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on January 27, 2022 and the drawings are dated July 20, 1999 with latest revisions dated December 28, 2021. The project is for the construction of a new 10,950 square type-VB pole barn style S-2 buildings, to be utilized as boat storage. The site was last reviewed and approved by Genoa Township in 2016. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. The secondary access drive surface from Gray Rd. must be substantially improved. The drive is not well maintained, is not cleared of foliage and debris (site visit 2/7/2022). The gate is in disarray and is lacking a proper Knox padlock. The surface must be brought to its original approved condition capable of supporting the weight of a 84,000 pound emergency vehicle extending from Gray Rd. and for the entire length of the drive. The width of the drive shall be maintained at 20' wide with a 13½' overhead clearance. A Knox padlock must be purchased and installed on the gate in conjunction with the owners lock for emergency vehicle access.
2. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM,CFPS
Fire Marshal

From: [Matt Bolang](#)
To: [Amy Ruthig](#)
Cc: [Aaron Aumock](#)
Subject: RE: Wonderland Marine Storage Building
Date: Monday, February 7, 2022 3:45:28 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Wonderland - First Submittal Package For Review.pdf](#)

Amy,

Our only concern here is that a minimum of 3 feet from the roof overhang is maintained for the existing well location for maintenance access.

Thanks,
Matt

Matt Bolang, MSA, REHS
Deputy Health Officer
Director of Environmental Health
Livingston County Health Department
2300 East Grand River
Howell, MI 48843

517-552-6870 | www.lchd.org



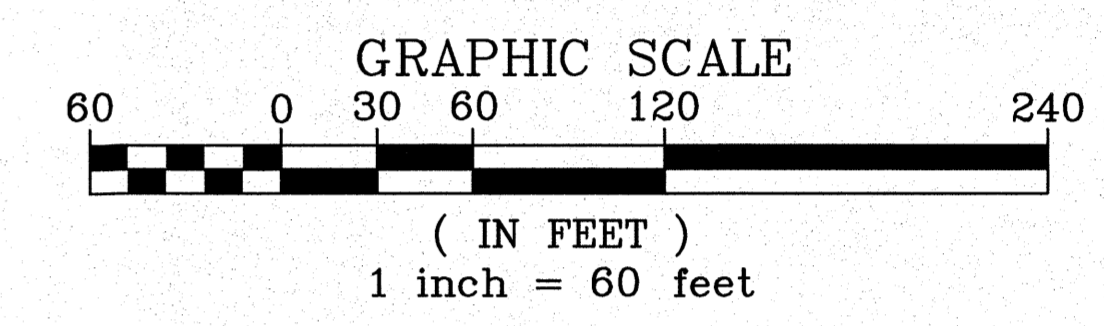
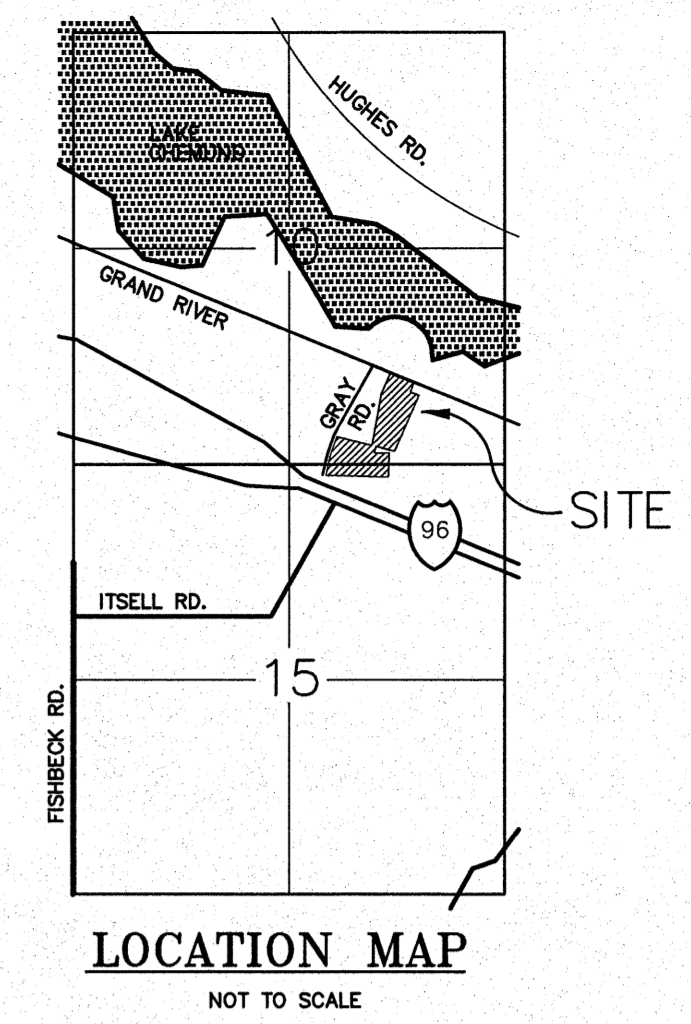
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From: Amy Ruthig <amy@genoa.org>
Sent: Tuesday, February 1, 2022 1:33 PM
To: Matt Bolang <MBolang@livgov.com>
Subject: [EXT] Wonderland Marine Storage Building

"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

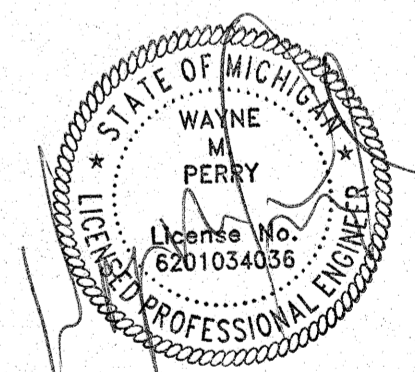
Attached is the Wonderland Marine Storage Building submittal.

This review is due my February 9th.

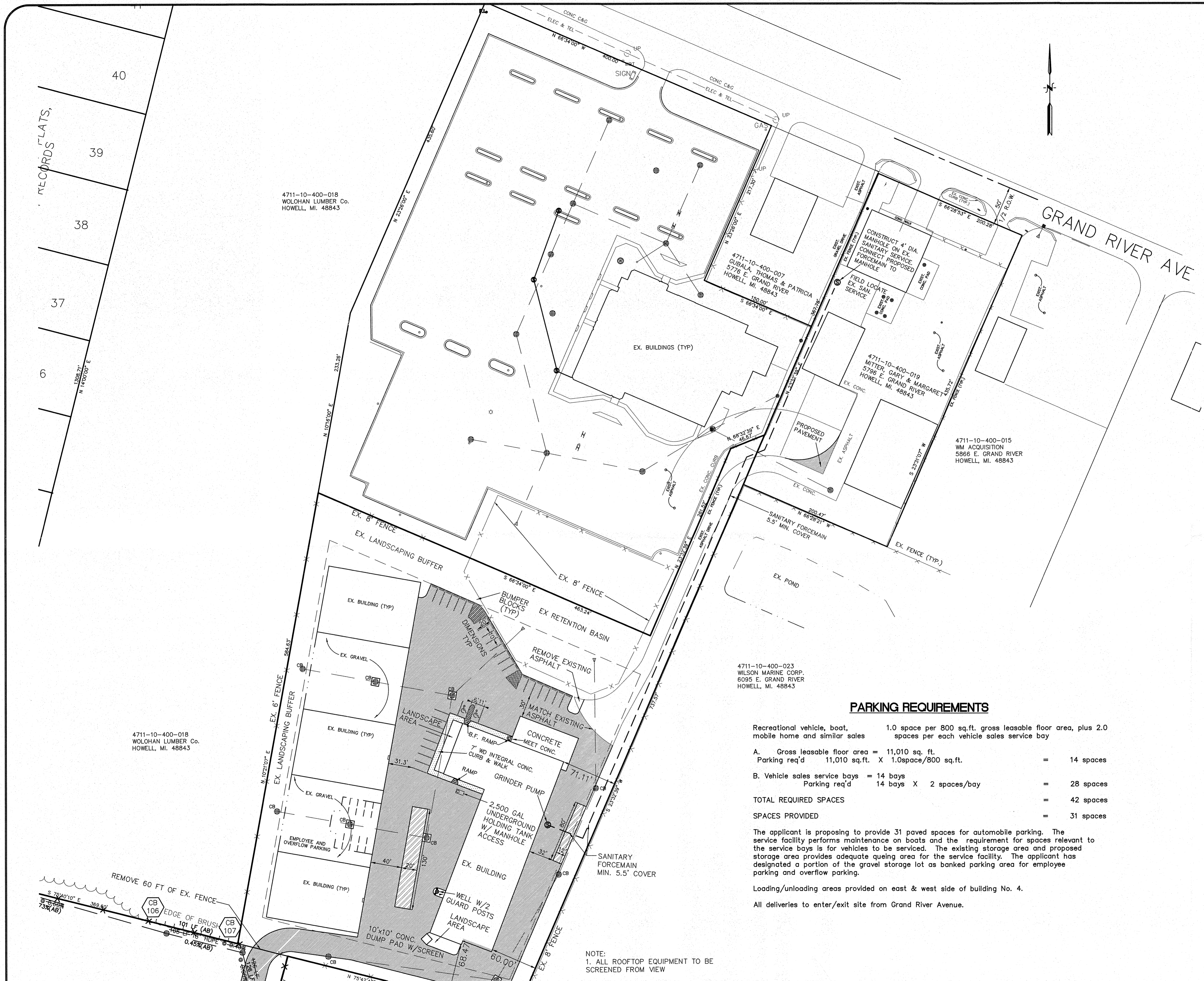


- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - PROPERTY LINE
 - PROPOSED GRAVEL
 - X-X- PROPOSED FENCE
 - X-X- EXISTING FENCE
 - X-X- EXISTING WETLAND
 - - - SETBACK LINE
 - CATCH BASIN
 - ▽ FLARED END
 - PROPOSED BITUMINOUS PAVING
 - ▨ PROPOSED ASPHALT LOADING/UNLOADING AREAS
 - ▩ PROPOSED GRAVEL AREA
 - F.F. FINISH FLOOR ELEVATION

BENCHMARKS:
 #2: SE CONER OF CONCRETE PAD EAST OF BUILDING No. 3
 ELEV = 982.77



NOTE: UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.
 PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.
CALL MISS DIG.



PARKING REQUIREMENTS

Recreational vehicle, boat, mobile home and similar sales 1.0 space per 800 sq.ft. gross leasable floor area, plus 2.0 spaces per each vehicle sales service bay

A. Gross leasable floor area = 11,010 sq. ft.
 Parking req'd 11,010 sq.ft. X 1.0space/800 sq.ft. = 14 spaces

B. Vehicle sales service bays = 14 bays
 Parking req'd 14 bays X 2 spaces/bay = 28 spaces

TOTAL REQUIRED SPACES = 42 spaces

SPACES PROVIDED = 31 spaces

The applicant is proposing to provide 31 paved spaces for automobile parking. The service facility performs maintenance on boats and the requirement for spaces relevant to the service bays is for vehicles to be serviced. The existing storage area and proposed storage area provides adequate queuing area for the service facility. The applicant has designated a portion of the gravel storage lot as banked parking area for employee parking and overflow parking.

Loading/unloading areas provided on east & west side of building No. 4.
 All deliveries to enter/exit site from Grand River Avenue.

NOTE:
 1. ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM VIEW

DESIGN: JMB	DATE	REVISION-DESCRIPTION	DATE	REVISION-DESCRIPTION
DRAFT: TRC/JHG	8/27/99	REVISED PER CONSULTANT COMMENTS	12-28-21	REVISED STORAGE BUILDINGS PER OWNER
CHECK: WMP	9/17/99	REVISED PER CONSULTANT COMMENTS		
	10/18/99	REVISED PER COMMENTS		
	06/02/00	STORM SEWER AS-BUILTS		
	02-24-21	REVISED STORAGE BUILDINGS PER OWNER		

CLIENT:
 GARY MITTER Sr.
 5796 E. GRAND RIVER
 HOWELL, MI 48843
 (517)548-5122

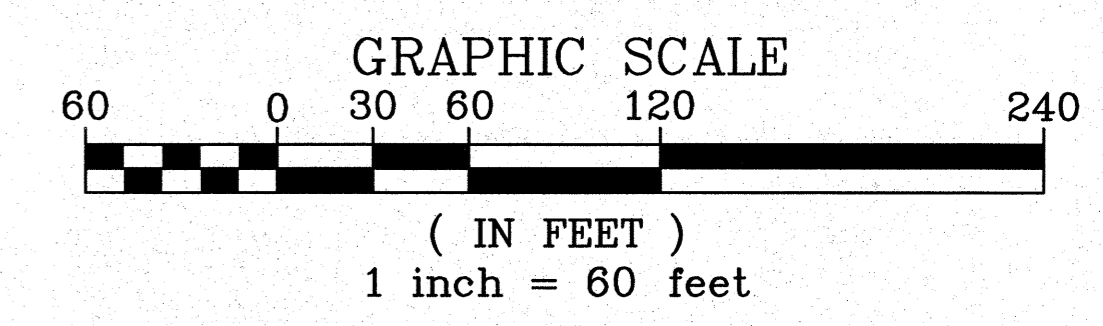
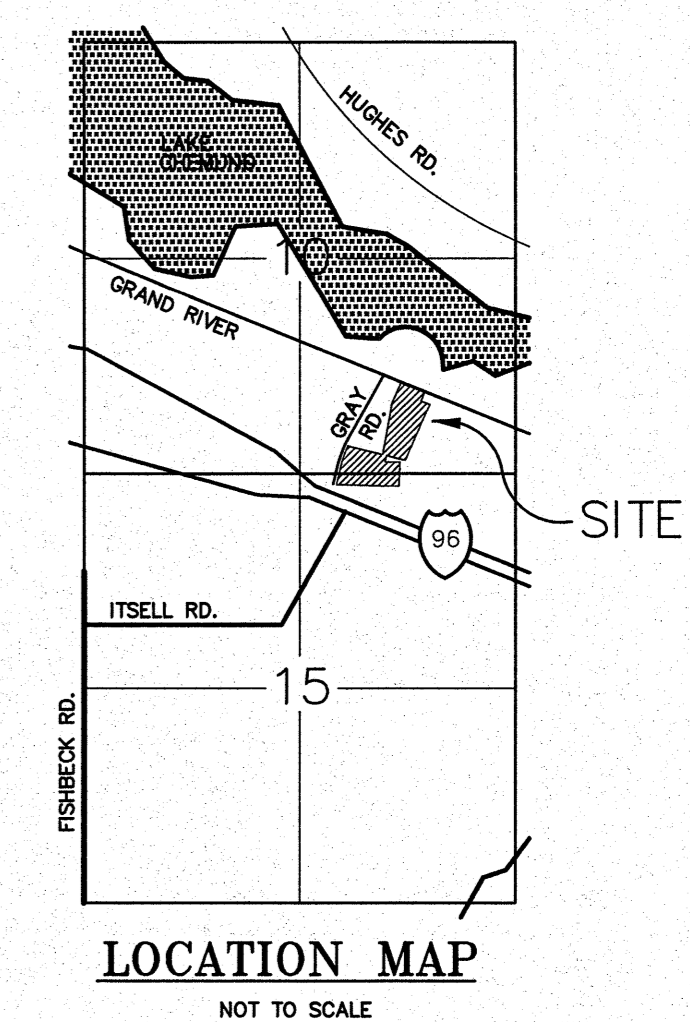
WONDERLAND MARINE WEST

PROPOSED SITE PLAN NORTH



SCALE: 1"=60'
 PROJECT No.: 214052
 DWG NAME: 4052 SP1
 PLOT DATE: 02-24-21



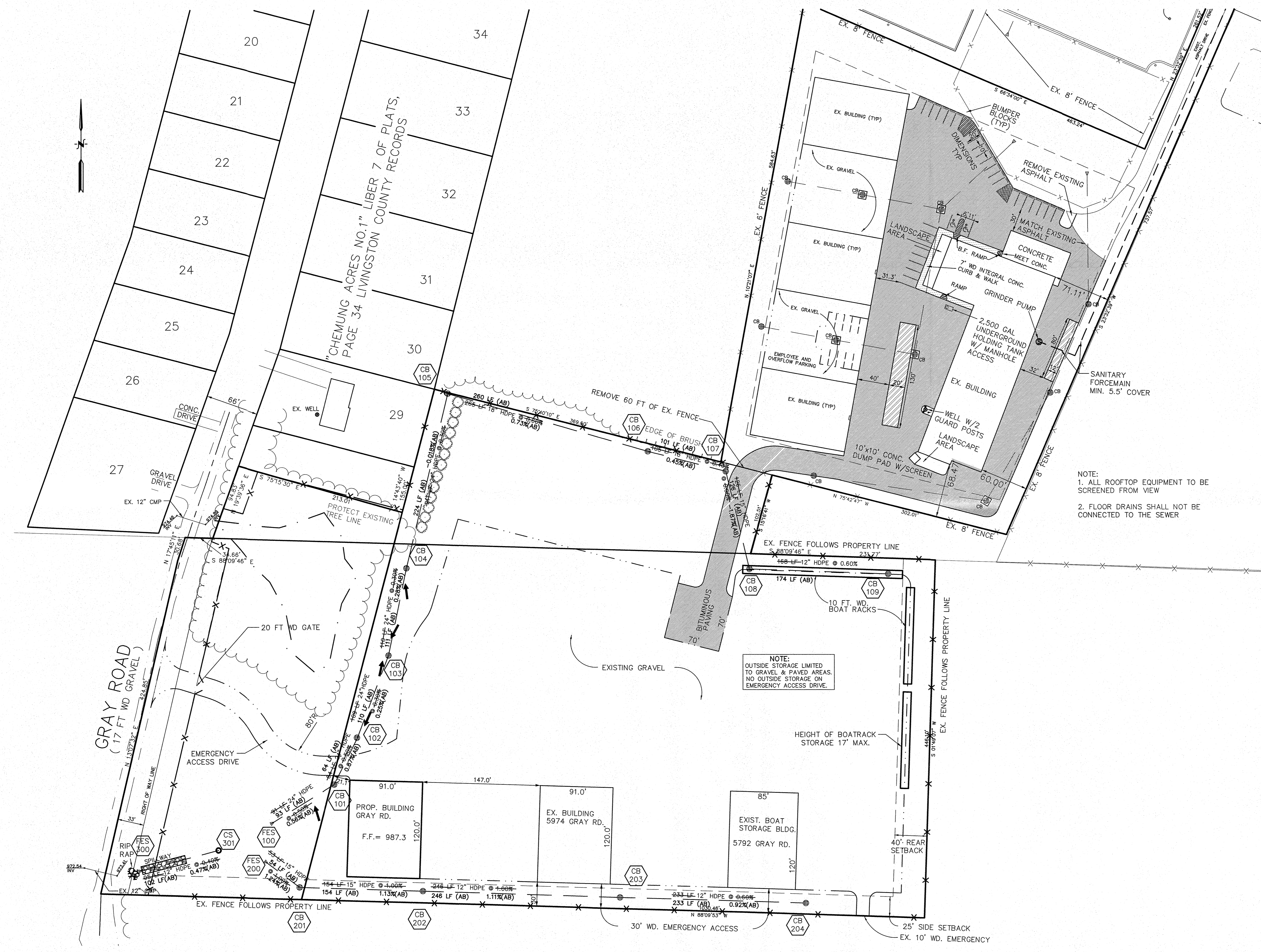


- LEGEND**
- EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - - - PROPOSED STORM SEWER
 - - - EXISTING STORM SEWER
 - PROPERTY LINE
 - - - PROPOSED GRAVEL
 - x - x - PROPOSED FENCE
 - x - x - EXISTING FENCE
 - - - EXISTING WETLAND
 - - - SETBACK LINE
 - ⊕ CATCH BASIN
 - ⊕ FLARED END
 - ▒ PROPOSED BITUMINOUS PAVING
 - ▒ PROPOSED ASPHALT LOADING/UNLOADING AREAS
 - ▒ PROPOSED GRAVEL AREA
 - F.F. FINISH FLOOR ELEVATION

BENCHMARKS:
 #2: SE CORNER OF CONCRETE PAD EAST OF BUILDING No. 3
 ELEV = 982.77



214052 WONDERLAND MARINA WEST



NOTE:
 1. ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM VIEW
 2. FLOOR DRAINS SHALL NOT BE CONNECTED TO THE SEWER

NOTE:
 OUTSIDE STORAGE LIMITED TO GRAVEL & PAVED AREAS. NO OUTSIDE STORAGE ON EMERGENCY ACCESS DRIVE.

DESIGN: JMB	DATE	REVISION-DESCRIPTION	DATE	REVISION-DESCRIPTION
DRAFT: TRC/JHG	8/27/99	REVISED PER CONSULTANT COMMENTS	12/28/21	REVISED STORAGE BUILDINGS PER OWNER
CHECK: WMP	9/17/99	REVISED PER CONSULTANT COMMENTS		
	10/18/99	REVISED PER COMMENTS		
	06/02/00	STORM SEWER AS-BUILTS		
	02/24/21	REVISED STORAGE BUILDINGS PER OWNER		

CLIENT:
 GARY MITTER Sr.
 5796 E. GRAND RIVER
 HOWELL, MI 48843
 (517)548-5122

WONDERLAND MARINA WEST

PROPOSED SITE PLAN SOUTH

DESINE INC. ENGINEERS
 7011 GRAND RIVER AVE.
 BRIGHTON, MICHIGAN 48114
 (810) 227-9533

SCALE: 1"=60'
 PROJECT No.: 214052
 DWG NAME: 4052-SP2
 PLOT DATE: 02-24-21

DEC. 28, 2021
SP2

GENERAL SPECIFICATIONS

SITE WORK

THE SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING. MAINTAIN THE GRADE LEVELS AROUND THE BUILDING FLOOR PLAN.

CONCRETE WORK

THE CONCRETE WORK SHALL CONSIST OF ALL NECESSARY PRECAST OR POUR-IN-PLACE CONCRETE AS PER BUILDING PLANS AND SECTIONS. THE CONCRETE SHALL MEET A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. ALL CONCRETE MIXES SHALL BE IN ACCORDANCE WITH ACI STANDARDS.

PRIMARY FRAMING COMPONENTS

TRUSSES: WOOD TRUSSES ARE SHOP/PLANT FABRICATED WITH CONNECTOR PLATES PER SPECIFICATIONS AND CONFORM WITH DESIGN CRITERIA ESTABLISHED BY THE TRUSS PLATE INSTITUTE (TPI) AND THE AMERICAN FOREST AND PAPER ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD (NDS). DC_ DETAILS.
RAFTERS: RAFTER SIZES AND TYPE ARE SHOWN PER BUILDING DRAWINGS.
COLUMNS: WOOD COLUMNS FOR ROOF, WALL AND FLOOR SUPPORT SHALL BE MULTI-PLY NAIL-LAMINATED. EACH PLY OF UPPER AND LOWER PORTIONS (IF REQUIRED) SHALL BE FACTORY JOINED BY GLUED FINGER JOINTS BEFORE COLUMN PLIES ARE NAILED TOGETHER. IF PLACED IN GROUND, LOWER PORTION OF COLUMN FOR 12 INCHES MINIMUM ABOVE GROUND SHALL BE PRESERVATIVE TREATED TO .6PCF RETENTION OF CHROMATED COPPER ARSENATE (CCA) TYPE C (OXIDE BASIS). SEE FLOOR PLAN AND CROSS SECTIONS FOR CORRECT SIZES.

WOOD STUDS: ALL STUD FRAMING SHALL BE #2 GRADE MINIMUM. PRIMARY FRAMING IS FACTORY CUT TO LENGTHS REQUIRED. STUDS MAY BE A SINGLE PLY/DOUBLE PLY 2X4, 2X6, OR 2X8 MATERIAL. LOCATE STUDS AT 16", 24" OR 48" O.C. AS SHOWN ON BUILDING DRAWINGS.

SECONDARY FRAMING

WOOD FRAMING: ALL WOOD FRAMING SHALL BE #2 GRADE MINIMUM. THE SPECIES WILL VARY PER AVAILABILITY AND PLANT LOCATION. THE SPECIES MAY BE #2 MC-19 DOUG FIR LARCH UNLESS SPECIFICALLY NOTED OTHERWISE ON BUILDING DRAWINGS.
HEADERS: HEADER SIZES AND TYPE ARE SHOWN PER BUILDING DRAWINGS.

OTHER

METAL CONNECTORS: ALL LIGHT GAUGE METAL CONNECTORS ARE GALVANIZED STEEL TO MEET OR EXCEED REQUIRED DESIGN STANDARDS.
WOOD: ALL NON PRESERVATIVE TREATED WOOD SHALL BE PLACED A MINIMUM OF 6 INCHES ABOVE FINISHED GRADE UNLESS SPECIFICALLY SHOWN LOWER ON CROSS SECTION(S).
FASTENERS: ALL FASTENERS SHALL BE PER BUILDING DRAWINGS AND DETAILS.

IMPORTANT DIAPHRAGM INFORMATION

THE BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP THIN BEAM) TO TRANSFER SIDEWALL ENDWALL, AND ROOF LOADS TO THE SHEAR WALLS WHICH THEN CARRY THE LOADS TO THE FOUNDATION. STEEL PANELS ARE AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS OF LESTER STEEL PANELS MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE. BUILDING DESIGN IS BASED ON THE NUMBER, SIZE AND LOCATION OF OPENINGS-ON-THE-DRAWINGS.

LESTERS (LESTER, LESTERS, OR LESTER'S, IS LESTER BUILDING SYSTEMS L.L.C.) ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF THE BUILDING IF ADDITIONAL OPENINGS, NOT SHOWN ON THE DRAWINGS OR CHANGES IN LOCATION OR SIZE OF OPENINGS ARE UNDERTAKEN WITHOUT WRITTEN PERMISSION FROM A LESTER ENGINEERING REPRESENTATIVE.

NOTES

SEE BUILDING DRAWINGS FOR OTHER SPECIFIC MATERIALS REQUIRED FOR SPECIFIC JOB THAT MAY NOT BE INDICATED WITHIN THIS SECTION.

NOTICE TO BUILDERS

MEMBERS WITH IDENTICAL LENGTHS MAY HAVE DIFFERENT END USES AND MAY BE OF DIFFERENT SPECIES.

TO HELP INSURE THE CORRECT LENGTH AND SPECIES OF LUMBER IS USED IN ITS INTENDED APPLICATION, A COLOR CODE SYSTEM HAS BEEN ESTABLISHED.

THIS APPLIES TO FACTORY CUT PURLINS, GIRTS, BOTTOM CHORD BRACES AND EAVE NAILERS ONLY!

RED --- WALL GIRTS WILL HAVE ENDS PAINTED RED

BLACK --- PURLINS WILL HAVE ENDS PAINTED BLACK

PINK --- BOTTOM CHORD BRACES WILL HAVE ENDS PAINTED PINK

BLUE --- EAVE NAILERS WILL HAVE ENDS PAINTED BLUE

ORANGE --- HIGHER GRADE LUMBER IS SUBSTITUTED, ENDS PAINTED ORANGE

REVISIONS

SYM.	PAGE	DATE	DESCRIPTION	BY



Miller Construction & Equipment Inc
West Branch MI 48661
PHONE: 989-345-2499 MOBILE:
E-MAIL: gary.miller@millerconstequip.com

DRAWN BY: Brian Shire EST PHONE: 800-826-4439 EXT 8638

IMPORTANT SAFETY INFORMATION

ACCOMPANYING THIS BUILDING AND THESE ERECTION DRAWINGS IS THE LESTER ERECTION SAFETY INFORMATION PACKET. DIRECTIONS ON THE PACKET ENVELOPE OUTLINE SPECIFIC STEPS THAT MUST BE TAKEN BEFORE BUILDING ERECTION BEGINS.
THE ERECTION SAFETY INSTRUCTIONS (INCLUDED IN THE PACKET) PROVIDE DETAILED INFORMATION AND INSTRUCTIONS TO ASSIST IN SAFE BUILDING ERECTION.
COPIES OF THE FOLLOWING WARNING LABELS ARE ALSO INCLUDED IN THE ERECTION SAFETY INFORMATION PACKET AND ON ROOF PANELS AND WOOD BUNDLES.



Wood Member Warning



Roof Panel Warning

NOTE:

THESE WARNINGS AND SAFETY INSTRUCTIONS ARE NOT INTENDED TO BE COMPLETE AND COMPREHENSIVE SAFETY INSTRUCTIONS AND MAY VARY FROM APPLICABLE LAWS AND REGULATIONS. ALL LOCAL, STATE, AND OSHA SAFETY REGULATIONS MUST BE FOLLOWED AT ALL TIMES. THE ERECTION CONTRACTOR HAS ULTIMATE RESPONSIBILITY FOR WORKER SAFETY AND MUST COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.

COMBINED LUMBER GRADES

LESTER GROUPS NDS LUMBER TYPES WITH SIMILAR DESIGN VALUES INTO COMBINED LUMBER GRADES. BLD DESIGN IS BASED ON THE LOWEST DESIGN VALUE FOR ANY LUMBER IN THE GROUP. THE FOLLOWING CHART SHOWS THE SPECIFIC NDS SIZE/SPECIES/GRADE LUMBER TYPES THAT CAN BE USED FOR EACH COMBINED LUMBER GRADE.

Combo 2x4 #2 Lester	Combo 2x6 #2 Lester	Combo 2x8 #2 Lester
2x4 #2 DFL or SYP 2x4 1250 1.4E MSR DFL or SYP 2x4 M9 & M29 DFL or SYP	2x6 #2 DFL or SYP 2x6 1250 1.4E MSR DFL or SYP 2x6 M9 & M29 DFL or SYP	2x8 #2 DFL or SYP 2x8 975 1.4E MSR DFL or SYP 2x6 M9 & M34 DFL or SYP
Combo 2x4 #1 Lester	Combo 2x6 #1 Lester	Combo 2x8 #1 Lester
2x4 #1 DFL or SYP 2x4 1500 1.6E MSR DFL or SYP 2x4 M14 & M39 DFL or SYP	2x6 #1 DFL or SYP 2x6 1500 1.6E MSR DFL or SYP 2x6 M14 & M39 DFL or SYP	2x8 #1 DFL or SYP 2x8 1200 1.6E MSR DFL or SYP 2x8 M14 & M29 DFL or SYP 2x8 M39 DFL or SYP
Combo 2x4 Premium Lester	Combo 2x6 Premium Lester	Combo 2x8 Premium Lester
2x4 SS DFL or SYP 2x4 1800 1.6E MSR DFL or SYP 2x4 M17 - M20 DFL or SYP 2x4 M40 DFL or SYP	2x6 SS DFL or SYP 2x6 1800 1.6E MSR DFL or SYP 2x6 M17 - M20 DFL or SYP 2x6 M40 DFL or SYP	2x8 SS DFL or SYP 2x8 1200 1.6E MSR DFL or SYP 2x8 M17 - M20 DFL or SYP 2x8 M40 DFL or SYP
Combo 2x4 M23/2400MSR	Combo 2x10 #1 Lester	Combo 2x10 Premium Lester
2x4 DSS SYP 2x4 2400 1.8E MSR DFL or SYP 2x4 M23 DFL or SYP	2x10 #1 DFL or SYP 2x10 1050 1.6E MSR DF or SYP 2x10 M12 & M29 DFL or SYP 2x10 M35 DFL or SYP	2x10 SS DFL or SYP 2x10 1650 1.6E MSR DF or SP 2x10 M17 - M20 DFL or SYP 2x10 M14, M39, M40 DF or SP

DETAIL IDENTIFICATION



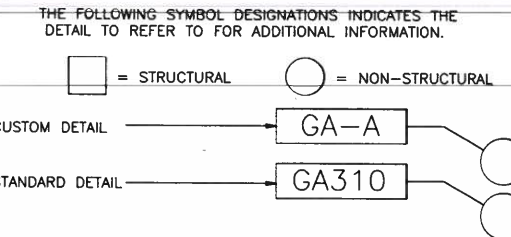
EACH DETAIL HAS A FIVE DIGIT ALPHA-NUMERIC NAME. THERE ARE TWO LETTERS AND A THREE DIGIT NUMBER.
F A 246
GROUP DIVISION DETAIL NUMBER
THE FIRST LETTER DESIGNATES A BROAD SUBJECT GROUP.
THE SECOND LETTER SHOWS A SUBDIVISION WITHIN THE GROUP.
THE THREE DIGIT NUMBER INDICATES A SPECIFIC DETAIL WITHIN THE DIVISION.

GROUP	SUBJECT
A	= ELEVATIONS & FLOOR PLANS
B	= WALL SECTIONS
C	= PANEL LAYOUTS IF REQUIRED
D	= ENGINEERING INFORMATION
E	= FOUNDATIONS
F	= WALL STRUCTURAL FRAMING
G	= STRUCTURAL HEADERS
H	= WALL OPENING FRAMING
I	= TRUSS (ROOF SUPPORT)
J	= BRACING
K	= EAVE TREATMENT (SIDES & ENDS)
L	= ROOF FINISH
M	= WALK DOORS AND WINDOWS
N	= SLIDING AND OVERHEAD DOORS
O	= EXTERIOR WALL FINISH
P	= INTERIOR FINISH
	= ACCESSORIES

ALL DETAILS ARE ARRANGED IN ALPHABETICAL AND NUMERIC ORDER WITHIN THE STRUCTURAL & NON STRUCTURAL DETAIL SETS.

NO PAGE NUMBER IS GIVEN!!!

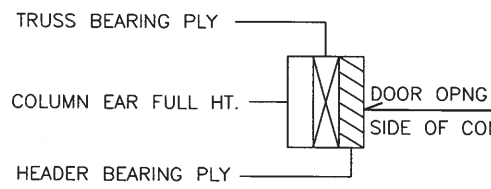
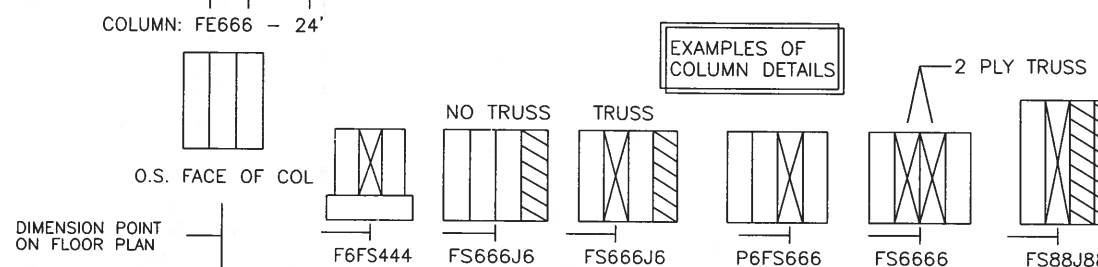
SYMBOL DESIGNATION



COLUMN IDENTIFICATION KEY

FS = FLUSH SIDEWALL F = FACE PLY
FE = FLUSH ENDWALL J = HEADER BEARING PLY
FG = FLUSH GLUED P = PLUS PLY
HI = INTERIOR POCKET

FLUSH ENDWALL SIZE: 2X6, 2X6, 2X6
COLUMN LENGTH
COLUMN: FE666 - 24'



GENERAL

OWNER:	Wonderland Marine West
BLD ADDRESS:	Howell, MI
BUILDING USE:	Storage
CONSTRUCTION:	V-B
AREA:	OCCUPANCY S1
	10,920 SF

DESIGN LOADS

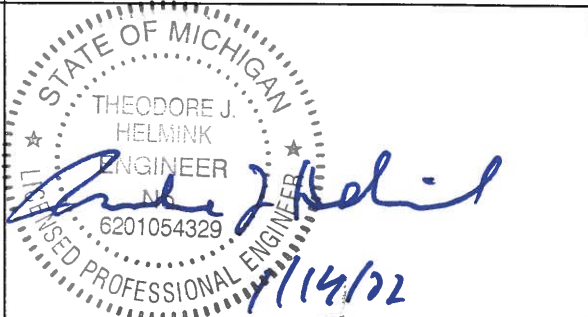
GROUND SNOW LOAD	25	PSF
ROOF SNOW LOAD	21	PSF
ROOF DEAD LOAD	4	PSF
IMP. FACTOR SNOW	1	
CEILING DEAD LOAD	5	PSF
FLOOR LIVE LOAD	N/A	PSF
ALLOWABLE WIND SPEED	90.9	MPH
ULTIMATE WIND SPEED	115; RISK CAT II	MPH
WARRANTY WIND SPEED	90.9	MPH
EXPOSURE	B	
SOIL BEARING	3000	PSF
CODE	IBC-2015	

NOTE:
1. SOIL BEARING TO BE TESTED ON SITE PRYOR TO CONCRETE PLACEMENT
2. NO FIRE SUPPRESSION OR EGRESS LIGHTING REQUIRED

PAGE	INDEX REFERENCE
1	BUILDING SPECIFICATIONS
2	ELEVATIONS
3	COLUMN PLAN
4	FLOOR PLAN
5	SIDEWALL SECTION
6	PARTITION FRAMING SECTION
7	ENDWALL FRAMING SECTION
8	ENDWALL SECTION
9	TRUSS ENGINEERING
10	DETAILS TO END
11	

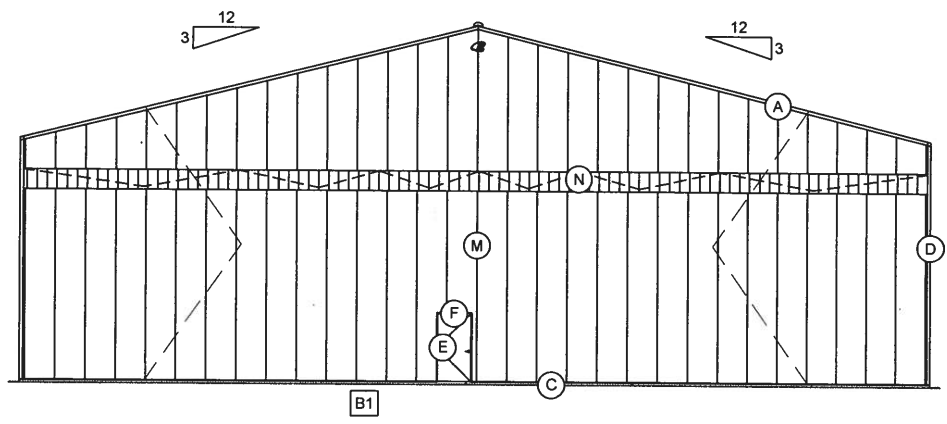
MATERIAL SHORTAGES AND DAMAGE

CONTACT INFORMATION:
DIRECT DIAL: (320) 395-5263
LESTER SWITCHBOARD/RECEPTIONIST: (800) 826-4439 EXT. 5263
EMAIL: orders@lesterbuildings.com

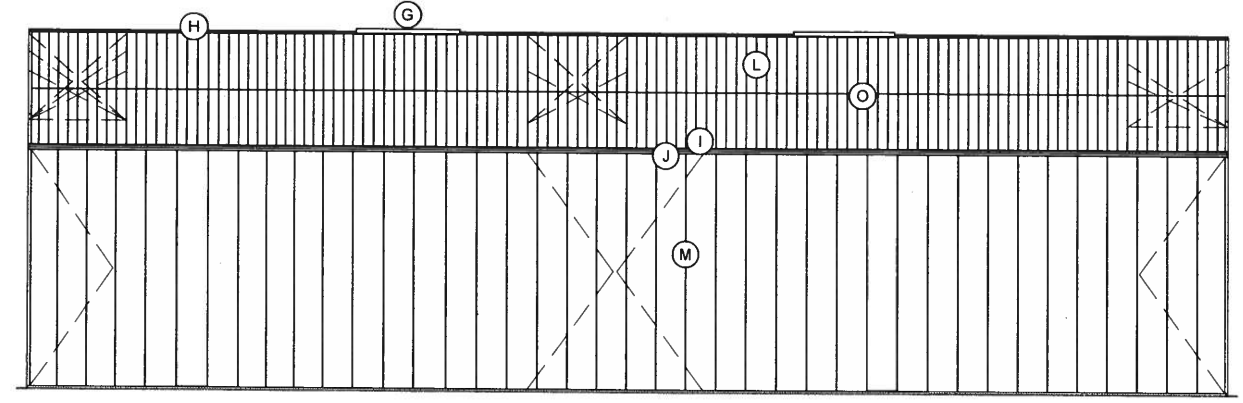


THIS CERTIFICATION IS LIMITED TO THE STRUCTURAL DESIGN OF THE FRAMING AND COVERING PARTS MANUFACTURED BY LESTER BUILDING SYSTEMS. ALL OTHER ITEMS SUCH AS EQUIPMENT, VENTILATION, PLUMBING, ELECTRICAL, ERECTION, DOORS, FIRE RESISTIVE REQUIREMENTS, INSPECTION, CONCRETE FLOORS, ETC. IS THE RESPONSIBILITY OF OTHERS.

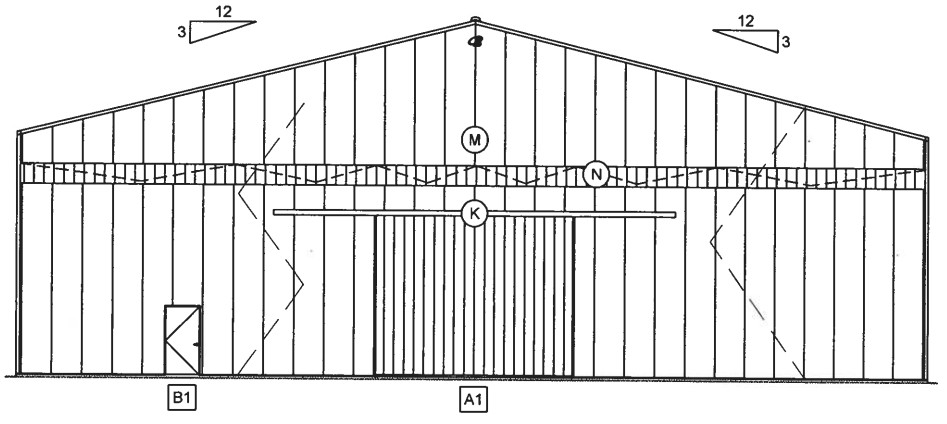
DATE: 1/14/2022 SHEET 01 OF 19
JOB-NUMBER 621754
DRWN BY: Brian Shire
CHKD BY:
REV NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - IQ 36662-02
CUSTOMER: Wonderland Marine West
5796 E Grand River Ave
Howell, MI 48843
DEALER: Miller Construction & Equipment
276 West M-55
West Branch, MI 48661
LESTER BUILDING SYSTEMS, L.L.C. TOLL-FREE: 800-826-4439 See Titleblock DRWN BY for Extension



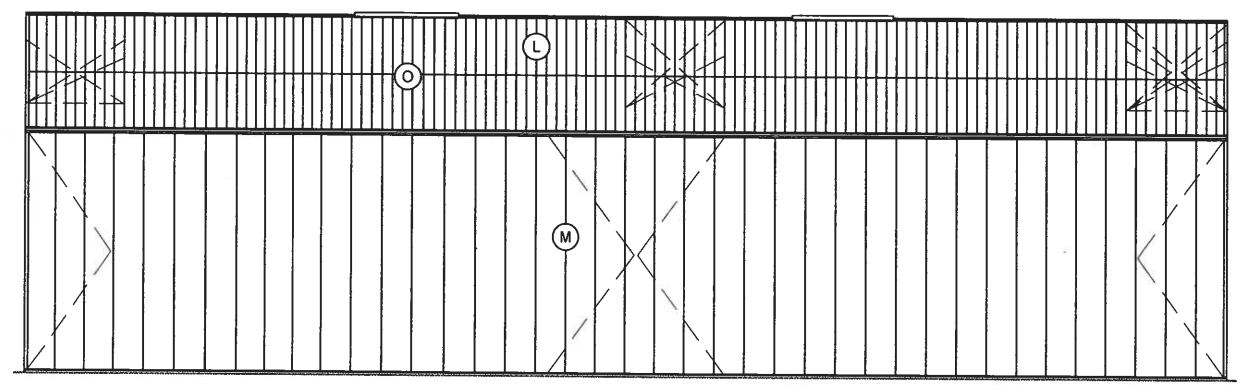
A2 ENDWALL 1 ELEVATION
1" = 20'



B2 SIDEWALL 1 ELEVATION
1" = 20'



C2 ENDWALL 2 ELEVATION
1" = 20'



D2 SIDEWALL 2 ELEVATION
1" = 20'

BUILDING COLORS

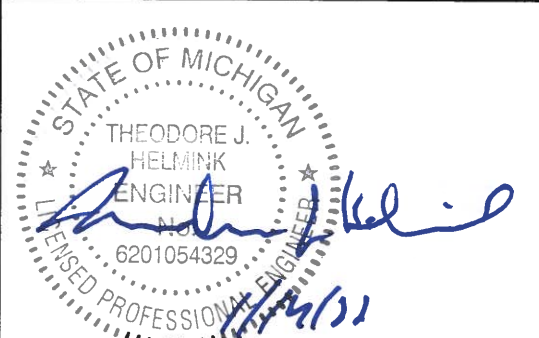
ROOF METAL	BONE WHITE	SLDG DR PANEL	PEWTER GRAY
SIDEWALL	PEWTER GRAY	SLDG DR VERTS	QUAKER GRAY
ENDWALL	PEWTER GRAY	SLDG DR JAMB TR	QUAKER GRAY
GABLES		SLDG DR TRACK	QUAKER GRAY
BASE	QUAKER GRAY	OVHD DR PANEL	
CORNER	QUAKER GRAY	OVHD DR TRIM	
EAVE/FASCIA	QUAKER GRAY	WALK DR	AJ WHITE
GABLE/RAKE	QUAKER GRAY	WALK DR TRIM	QUAKER GRAY
SOFFIT		WINDOW	
WAINSCOT		WINDOW TRIM	
ACCENT PANEL		SHUTTERS	
GABLE LOUVER		SIG DR FIELD	
INSUL WL BATTEN		SIG DR TRIM	
RIDGE CAP	CLEAR	SIG DR JAMB TR	
RIDGE VENT	BONE WHITE	SIG DR WINDOW	
CUPOLA ROOF		SIG DR TRACK	
CUPOLA BODY		LARGE DOOR	
CUPOLA BASE		LARGE DOOR TRIM	
GUTTER		DUTCH DR FRAME	
DOWNSPOUT		DUTCH DR INSERT	
PORCH ROOF	BONE WHITE	SHINGLES	
PORCH COL CVR		MANSARD ROOF	
PORCH CRWN/VBLK		MANSARD EAVE	
PORCH SOFT/CLG		MANSARD SOFFIT	
CLEAR OPNG TR		MODERRA	
CURTAIN OPNG TR		BOX STALL GRILLS	

FINISH SCHEDULE

ID	LOCATION	DESCRIPTION	DETAILS
	FINISH	ELEVATIONS ARE NOT FOR PANEL LAYOUT	
	FINISH	SEE PANELGEN REPORTING FOR ACTUAL LAYOUT	
A	RAKE TRIM	#820 RAKE AND CORNER	JF330
C	BASE TRIM	#190 BOTTOM CLOSURE	MF113
D	CORNER TRIM	#820 RAKE AND CORNER	MF511
E	WALK DR TRIM	#890 SIDE JAMB C TRIM	KC471
F	WALK DR TRIM	#260 J TRIM	KC471
G	RIDGE TRIM	LIGHTED RIDGEVENT	OA016
H	RIDGE TRIM	#152 SOLID RIDGELITE	JF705
I	EAVE TRIM	#170 STANDARD EAVE	MF406
J	EAVE TRIM	#674 FASCIA WDRIP	JF153
K	SLIDING DR TRIM	#216 TRACK COVER	LB112
L	R1, R2	FINISH: UNI-RIB 28GA - AZ50 SMP	JF044
M	E1, E2, S1, S2	FINISH: UNI-RIB 28GA - AZ50 SMP	MF044
N	EAVELIGHT	24" EAVE ACRYLIT- CONTINUOUS BRACING	MF045
O	ROOF SPLICE	1'-0" ROOF SPLICE	JF066

OPENING SCHEDULE

ID	MODEL	NOMINAL
A1	16' HIGH METAL CLAD SPLIT SLIDING DOOR	240x192
B1	WLK DOOR 5100 SOLID	36x80



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DATE: 1/14/2022
JOB-NUMBER: 621754
SHEET: 02 OF 19

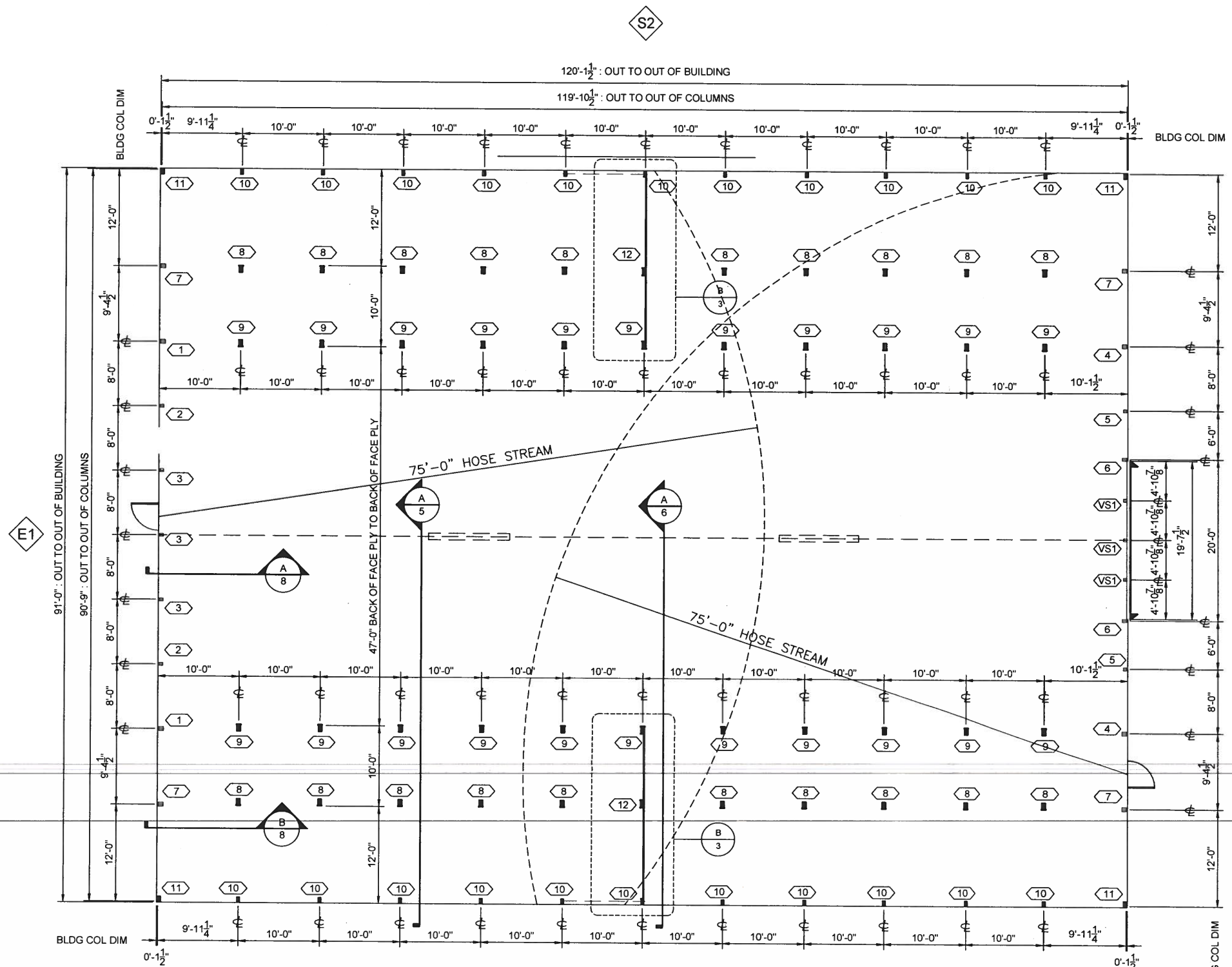
DRWN BY: Brain Shire
CHKD BY:
REV NO: 0

JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02

CUSTOMER: Wonderland Marine West
5796 E Grand River Ave
Howell, MI 48843

DEALER: Miller Construction & Equipment
276 West M-55
West Branch, MI 48661

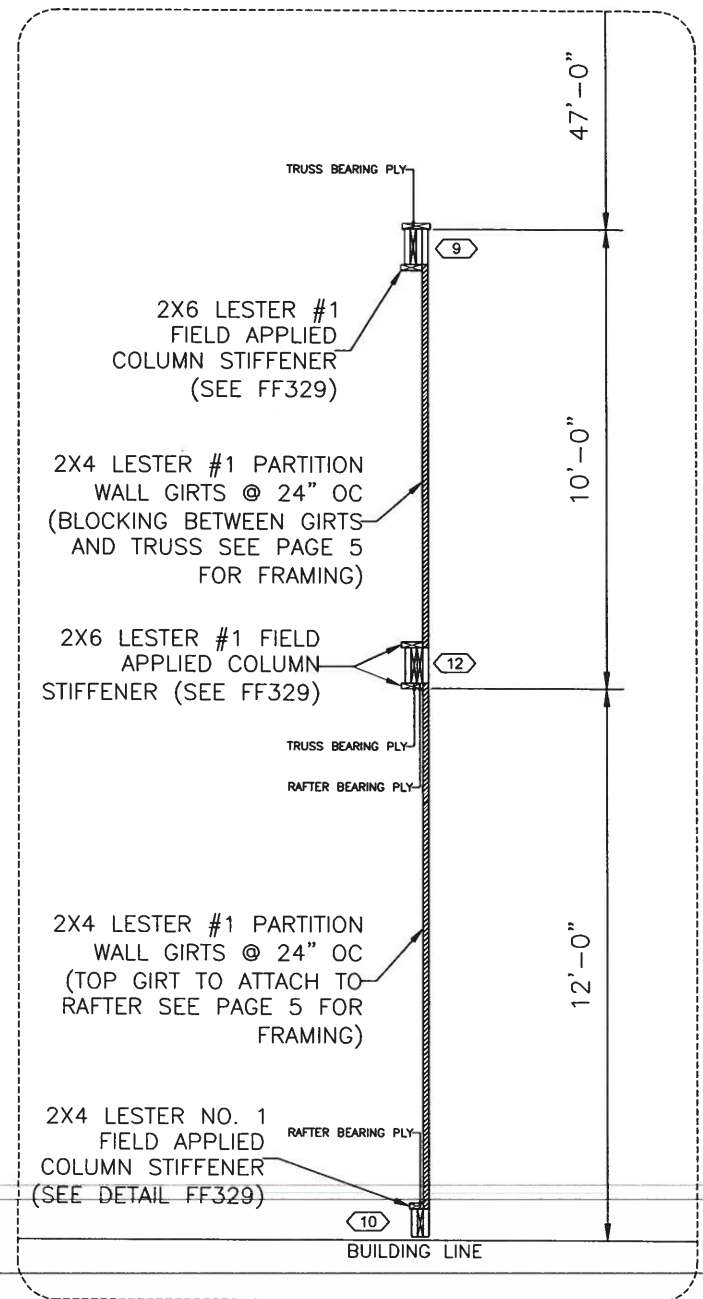
LESTER BUILDING SYSTEMS, LLC.
TOLL-FREE: 800-826-4439
See Titleblock DRWN BY for Extension



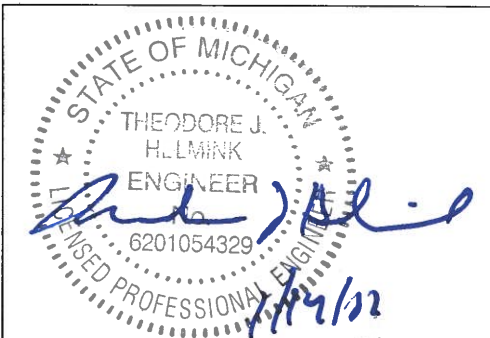
A3 COLUMN PLAN
1/16" = 1'-0"

COLUMN SCHEDULE

COLUMN		FOOTING			ANCHOR						
ID	PART	SHAPE	LENGTH	BASE	SIZE	TYPE	YDS/BGS	DET	TYPE	BRS/BLTS	DET
1	C037	FE8888	38-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
2	C038	FE666	40-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
3	C039	FE666	42-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
4	C040	FE8888	38-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
5	C041	FE666	38-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
6	C042	FE888	40-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
7	C043	FE8888	34-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
8	C044	f8FG0000	36-00-00	-80	10x24	POURED	0.0970	EF203	BLOCK	-	EF211
9	C045	f8FG0000	38-00-00	-80	10x24	POURED	0.0970	EF203	BLOCK	-	EF211
10	C046	FS888	32-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
11	C047	FE888	32-00-00	-76	8x18	POURED	0.044	EF203	BLOCK	-	EF211
12	C048	FG0000	36-00-00	-80	10x24	POURED	0.0970	EF203	BLOCK	-	EF211
VS1	681507	FE666	20-00-00	193.5	-	TRUSS	-	-	-	-	HB660



B3 PARTITION CALLOUT
NO SCALE



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DATE: 1/14/2022
 SHEET: 03 OF 19
 JOB-NUMBER: 621754
 DRWN BY: Brain Shire
 CHKO BY:
 REV NO: 0
 JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02
 CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843
 DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
 LESTER BUILDING SYSTEMS, LLC. TOLL-FREE: 800-826-4439
 See Titleblock DRWN BY for Extension

S2

120'-1 1/2" : OUT TO OUT OF BUILDING

119'-10 1/2" : OUT TO OUT OF COLUMNS

FLOOR PLAN SCHEDULE

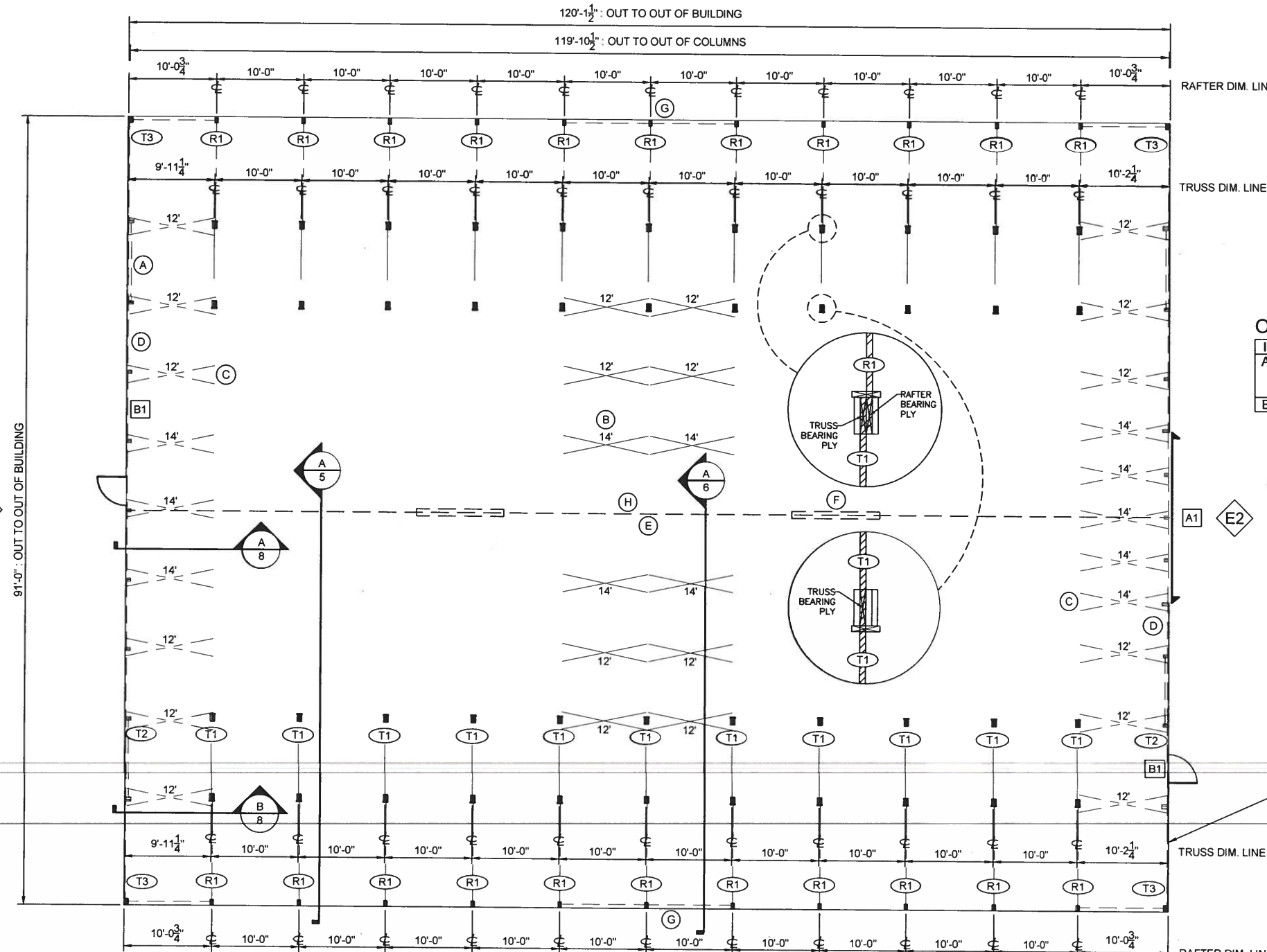
ID	DESCRIPTION	DETAILS
	137'-6 9/16" DIAGONAL OUT-OUT OF FRAMING	
	TRUSS SPACING FROM ENDWALL 1:	
	1@120.75; 10@120; 1@120.75	
A	2x4 WALL DIAG BRACE	HA526
B	2x6 INTERMEDIATE X-BRACE SPACING: 1@231; 2@171; 1@231	HB102
C	2x6 GABLE X-BRACE	HB101
D	2X4 EAVELIGHT SHEAR BRACE	HA550
E	#152 SOLID RIDGECAP	JF705
F	RIDGEVENT	QA016
G	EAVE DIAPHRAGM HARDWARE	IF204
H	RIDGE DIAPHRAGM HARDWARE	GA442

ROOF FRAMING SCHEDULE

ID	PART	DESCRIPTION	DETAILS
T1	C001	1-PLY 67'-0" TRUSS 2x10 TC / 2x10 BC	HD631
T2	C002	1-PLY 67'-0" GABLE TRUSS 2x8 TC / 2x8 BC	FF300
T3	C019	1-PLY 11'-10 1/2" GABLE TRUSS 2x6 TC / 2x6 BC	FF300
R1	C018	2x10 13'-1 15/16" 2400F 1.8E MSR RAFTER	SEE PAGE 5

OPENING SCHEDULE

ID	MODEL	COLOR	NOMINAL	ROUGH	FRAME DET	FINISH DET
A1	16' HIGH METAL CLAD SPLIT SLIDING DOOR	GRY	240x192	235.5x192	LB020_LG213	LB110
	NUMBER OF TROLLEYS PER LEAF: 2				LB050	LB112
	GIRTS (B TO T): 1@16.25; 6@24; 1@33.75				LB195	LB230
B1	WLK DOOR 5100 SOLID	B WHT	36x80	40.3125x81.125	KC432	KC471



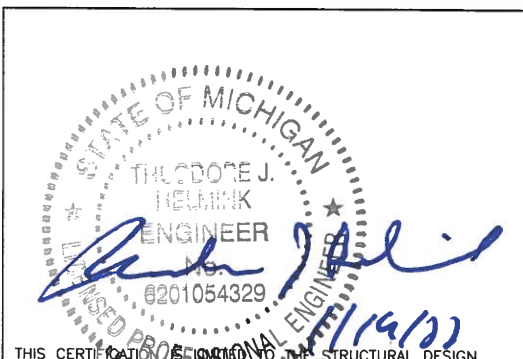
12'-0" BAYS REQUIRE
2X6 LESTER NO. 2
BEHIND STANDARD 2X4
WALL GIRT
(SEE DETAIL FF457)

S1

A4 FLOOR PLAN

1/16" = 1'-0"

DATE: 1/14/2022
JOB-NUMBER: 621754
SHEET: 04 OF 19
DRWN BY: Brain Shire
CHKD BY:
REV NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02
CUSTOMER: Wonderland Marine West
5796 E Grand River Ave
Howell, MI 48843
DEALER: Miller Construction & Equipment
276 West M-55
West Branch, MI 48661
LESTER BUILDING SYSTEMS, LLC.
TOLL-FREE: 800-826-4439
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35'-6 1/4" PEAK

27'-1 3/4" EAVE

26'-4" BRG

26'-4 5/8" : FL TO RAFTER-INTERIOR CLM INTERS.

23'-7 1/8" : FL TO RAFTER GABLE TRUSS BEARING HEIGHT

23'-6 3/8" : FL TO RAFTER BEARING HEIGHT

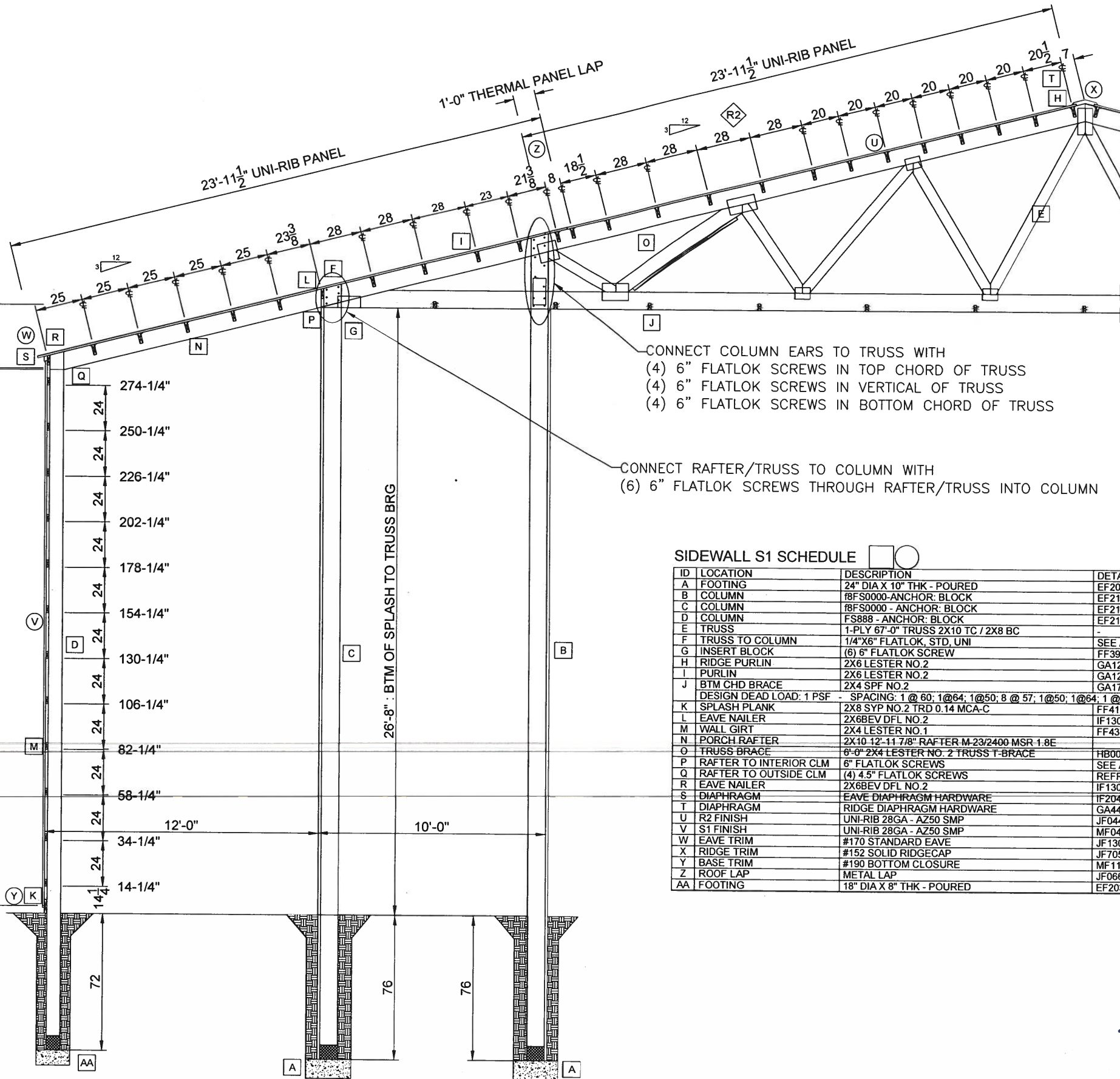
26'-8" : BTM OF SPLASH TO TRUSS BRG

0'-0" ASSUMED FLOOR

-0'-4" GRADE

-7'-4" CLM BRG

-8'-1" CLM HOLE



CONNECT COLUMN EARS TO TRUSS WITH
 (4) 6" FLATLOK SCREWS IN TOP CHORD OF TRUSS
 (4) 6" FLATLOK SCREWS IN VERTICAL OF TRUSS
 (4) 6" FLATLOK SCREWS IN BOTTOM CHORD OF TRUSS

CONNECT RAFTER/TRUSS TO COLUMN WITH
 (6) 6" FLATLOK SCREWS THROUGH RAFTER/TRUSS INTO COLUMN

SIDEWALL S1 SCHEDULE

ID	LOCATION	DESCRIPTION	DETAILS
A	FOOTING	24" DIA X 10" THK - POURED	EF203
B	COLUMN	18FS0000-ANCHOR: BLOCK	EF211
C	COLUMN	18FS0000 - ANCHOR: BLOCK	EF211
D	COLUMN	FS888 - ANCHOR: BLOCK	EF211
E	TRUSS	1-PLY 67'-0" TRUSS 2X10 TC / 2X8 BC	-
F	TRUSS TO COLUMN	1/4"x6" FLATLOK, STD, UNI	SEE ABOVE
G	INSERT BLOCK	(6) 6" FLATLOK SCREW	FF390
H	RIDGE PURLIN	2X6 LESTER NO.2	GA122
I	PURLIN	2X6 LESTER NO.2	GA122
J	BTM CHD BRACE	2X4 SPF NO.2	GA176
K	SPLASH PLANK	2X8 SYP NO.2 TRD 0.14 MCA-C	FF417
L	EAVE NAILER	2X6BEV DFL NO.2	IF130, FK165
M	WALL GIRT	2X4 LESTER NO.1	FF437
N	PORCH RAFTER	2X10 12'-11 7/8" RAFTER M-23/2400 MSR 1.8E	-
O	TRUSS BRACE	6'-0" 2X4 LESTER NO. 2 TRUSS T-BRACE	HB008
P	RAFTER TO INTERIOR CLM	6" FLATLOK SCREWS	SEE ABOVE
Q	RAFTER TO OUTSIDE CLM	(4) 4.5" FLATLOK SCREWS	REFERENCE FK152
R	EAVE NAILER	2X6BEV DFL NO.2	IF130
S	DIAPHRAGM	EAVE DIAPHRAGM HARDWARE	IF204
T	DIAPHRAGM	RIDGE DIAPHRAGM HARDWARE	GA442
U	R2 FINISH	UNI-RIB 28GA - AZ50 SMP	JF044
V	S1 FINISH	UNI-RIB 28GA - AZ50 SMP	MF044
W	EAVE TRIM	#170 STANDARD EAVE	JF130
X	RIDGE TRIM	#152 SOLID RIDGECAP	JF705
Y	BASE TRIM	#190 BOTTOM CLOSURE	MF113
Z	ROOF LAP	METAL LAP	JF066
AA	FOOTING	18" DIA X 8" THK - POURED	EF203

A5 SIDEWALL S1 SECTION
 45'-0" FROM E1 3/16"=1'-0"

Handwritten signature and date: 1/14/22

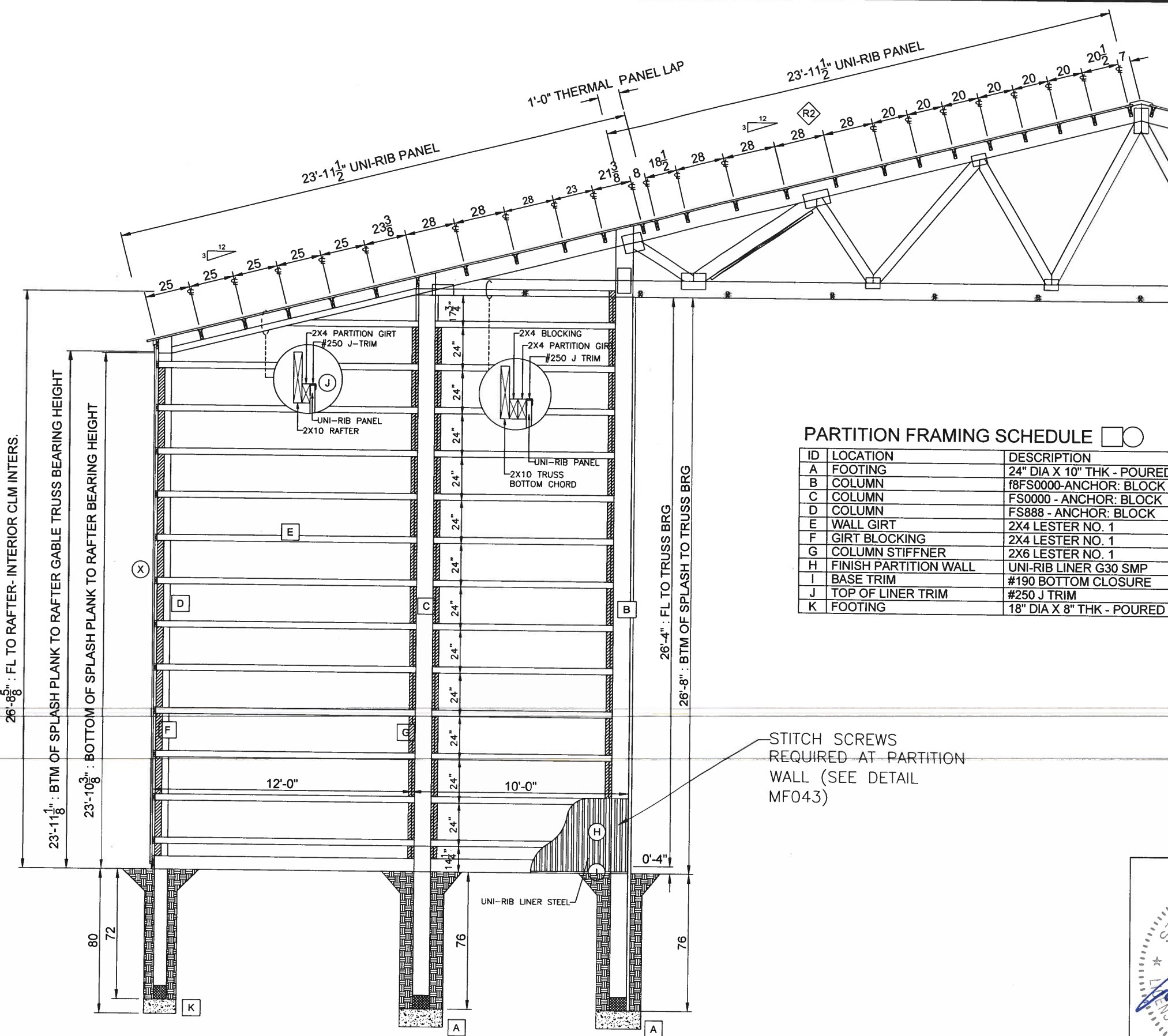
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DATE: 1/14/2022 SHEET 05 OF 19
 JOB-NUMBER 621754
 DRWN BY: Brain Shire
 CHKD BY:
 REV NO: 0
 JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02
 CUSTOMER: nWonderland Marine West 5796 E Grand River Ave Howell, MI 48843
 DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
 LESTER BUILDING SYSTEMS, LLC
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35'-6 1/4" PEAK

27'-1 3/4" EAVE

26'-4" BRG

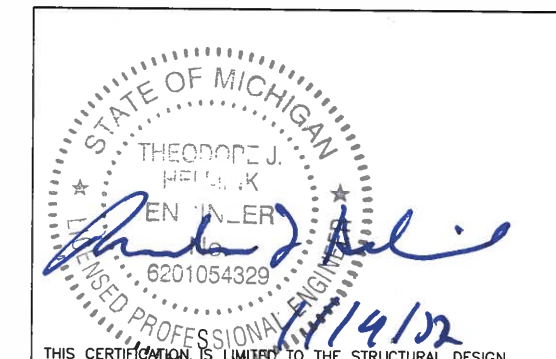


PARTITION FRAMING SCHEDULE

ID	LOCATION	DESCRIPTION	DETAILS
A	FOOTING	24" DIA X 10" THK - POURED	EF203
B	COLUMN	18FS0000-ANCHOR: BLOCK	EF211
C	COLUMN	FS0000 - ANCHOR: BLOCK	EF211
D	COLUMN	FS888 - ANCHOR: BLOCK	EF211
E	WALL GIRT	2X4 LESTER NO. 1	FF437
F	GIRT BLOCKING	2X4 LESTER NO. 1	REF. NB511
G	COLUMN STIFFNER	2X6 LESTER NO. 1	FF329
H	FINISH PARTITION WALL	UNI-RIB LINER G30 SMP	NF003
I	BASE TRIM	#190 BOTTOM CLOSURE	NF030
J	TOP OF LINER TRIM	#250 J TRIM	NF020
K	FOOTING	18" DIA X 8" THK - POURED	EF203

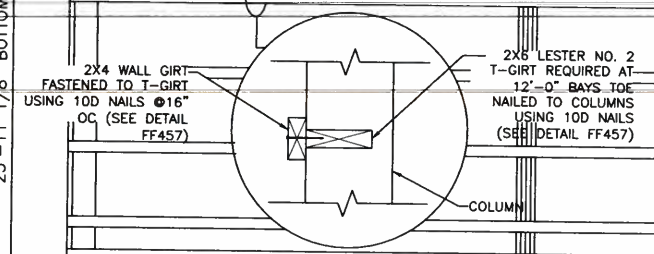
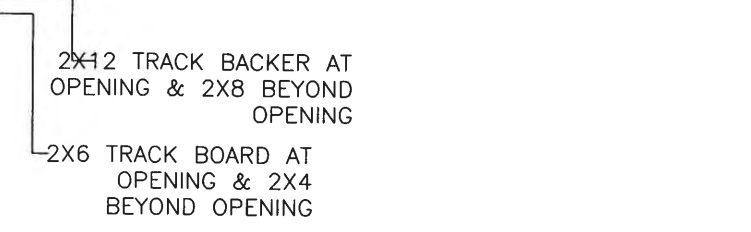
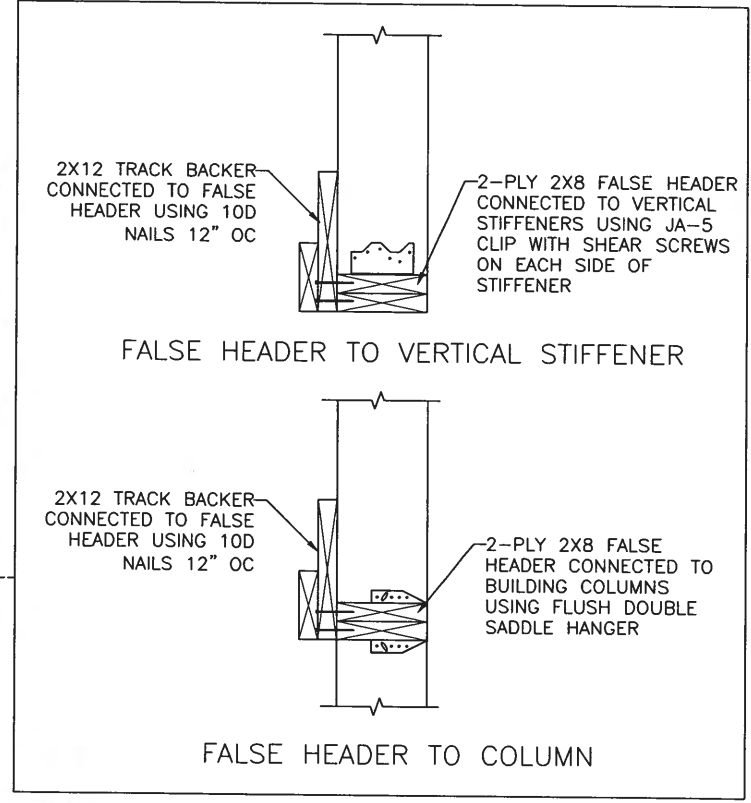
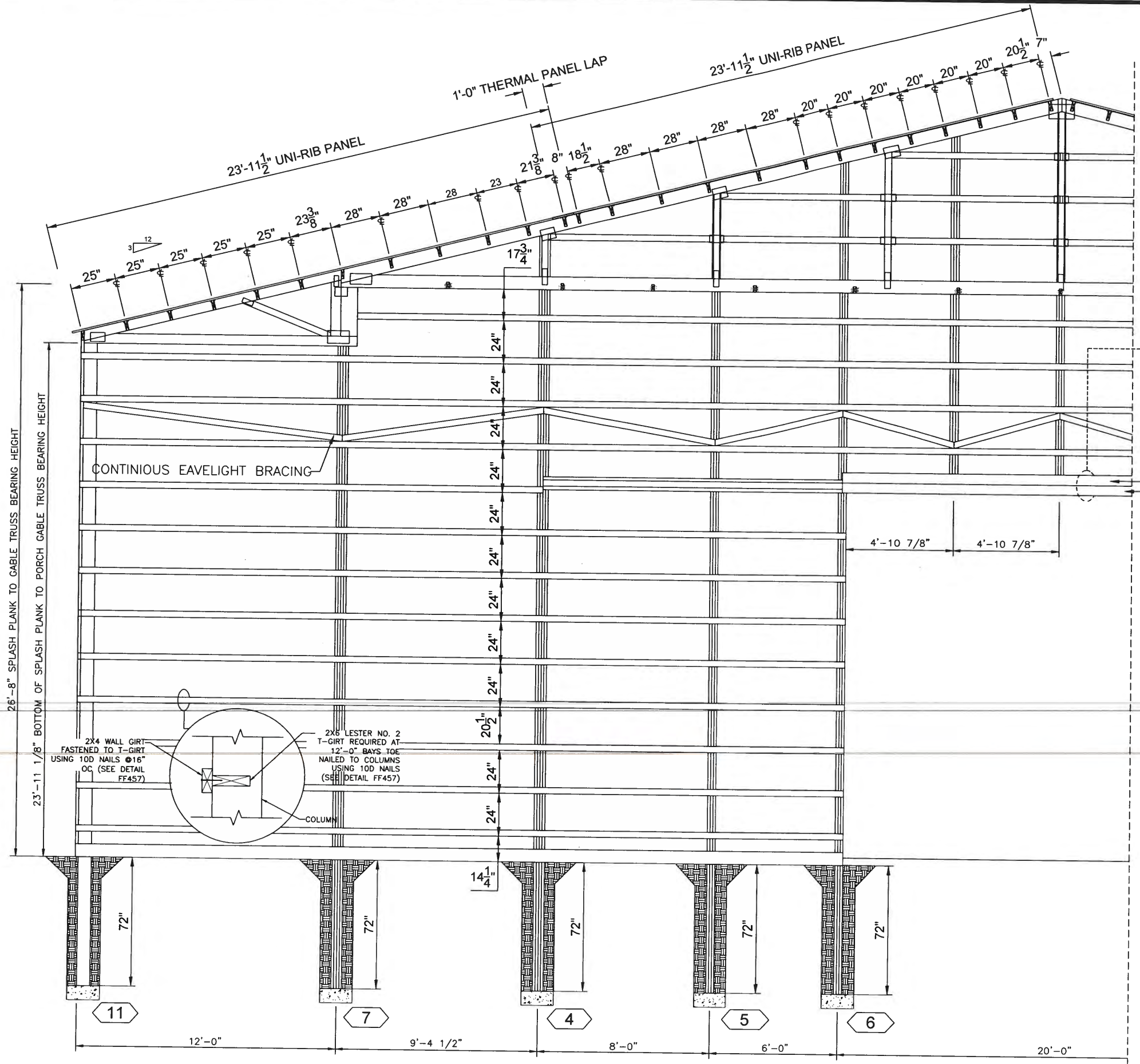
STITCH SCREWS
REQUIRED AT PARTITION
WALL (SEE DETAIL
MF043)

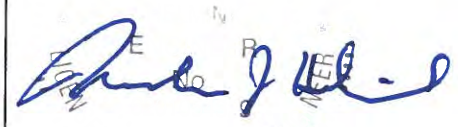
A6 PARTITION FRAMING SECTION
45'-0" FROM E1 3/16"=1'-0"



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DATE: 1/14/2022 SHEET 06 OF 19
 JOB NUMBER 621754
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 DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
 LESTER BUILDING SYSTEMS, LLC. TOLL-FREE: 800-826-4439 See Titleblock DRAWN BY for Extension




 DATE: 1/14/22

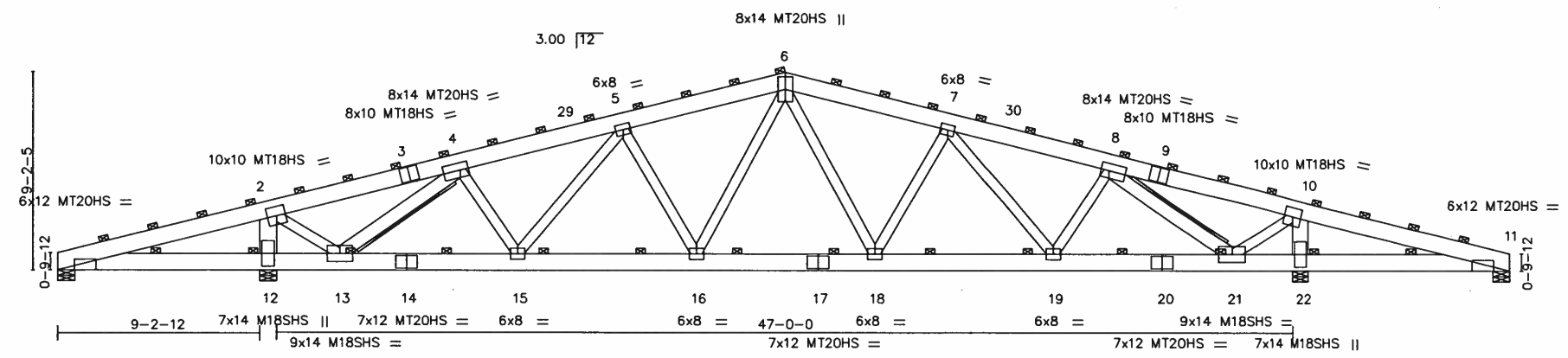
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DATE: 1/14/2022	SHEET 07 OF 19
JOB-NUMBER 621754	REV NO: 0
DRWN BY: Brain Shire	CHKD BY:
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02	
CUSTOMER: nWonderland Marine West 5796 E Grand River Ave Howell, MI 48843	
DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661	

Job 621754	Truss T1-C001	Truss Type TRIPLE FINK	Qty 11	Ply 1	MILLER CONST / WONDERLAND MARINE 0" OVERHANG EACH END Job Reference (optional)
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Lester Building Systems, Lester Prairie, MN 55354, T.J.H. 8.500 s May 17 2021 Mitek Industries, Inc. Fri Jan 14 08:26:16 2022 Page 1
 9-7-6 18-6-0 26-0-0 33-6-0 41-0-0 48-6-0 57-4-10 67-0-0
 9-7-6 8-10-10 7-6-0 7-6-0 7-6-0 7-6-0 8-10-10 9-7-6



NOTE: THE TRUSSES FOR THIS JOB WERE DESIGNED AND MANUFACTURED BY LESTER BUILDING SYSTEMS, LLC WITH THE LOCATION AND ORIENTATION OF THE PURLINS AND BOTTOM CHORD BRACES AS SHOWN ON PAGES 5-7. ANY DEVIATION FROM THIS WILL VOID THE SEALED DRAWING SET

Plate Offsets (X,Y)--	[1:0-9-0,Edge], [4:0-4-8.0-4-0], [8:0-4-8.0-4-0], [11:0-9-0,Edge]
-----------------------	---

LOADING (psf)	SPACING--	CSL	DEFL.	PLATES	GRIP
TCLL 21.0	Plate Grip DOL 1.15	TC 0.58	in (loc) l/defl L/d	MT20	220/190
TCDL 4.0	Lumber DOL 1.15	BC 0.83	Vert(LL) -0.34 16-18 >999 360	MT20HS	165/143
BCLL 0.0	Rep Stress Incr NO	WB 0.97	Vert(CT) -0.50 16-18 >999 180	M18SHS	220/190
BCDL 5.0	Code IBC2015/TPI2014	Matrix-MR	Horz(CT) 0.14 22 n/a n/a	M18SHS	220/190
				Weights 736 lbFT = 220/190	

LUMBER--
 TC 2x10 M23/2400MSR 1.8E DF/SP
 BC 2x10 M23/2400MSR 1.8E DF/SP
 WS: 2x6 M23/2400MSR 1.8E DF/SP, W3,W2: 2x6 M23/2400MSR 1.8E DF/SP, W7: 2x10 #1 Lester
 WB 2x6 #2 Lester *Except* W6: 2x6 #1 Lester
 1 - Ply

BRACING--
 TOP CHORD 2-4-0 oc purlins (3-6-11 max.).
 BOT CHORD 4-9-0 oc bracing.
 WEBS T-Brace: 2x4 #2 Lester - 4-13, 8-21
 Fasten (2X) T and I braces to narrow edge of web with 10d (0.131"x3") nails, 6in o.c., with 3in minimum end distance.
 Brace must cover 90% of web length.

REACTIONS. (lb/size) 1=-183/0-9-4, 11=-183/0-9-4, 12=10233/0-9-4 (req. 0-11-1), 22=10233/0-9-4 (req. 0-11-1)
 Max Horz 1=-327(LC 12)
 Max Uplift 1=-518(LC 16), 11=-518(LC 15), 12=-2268(LC 7), 22=-2230(LC 8)
 Max Grav 1=50(LC 8), 11=97(LC 11), 12=10382(LC 15), 22=10382(LC 16)

FORCES. (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-1071/4991, 2-3=-2577/465, 3-4=-1982/511, 4-29=-9625/2052, 5-29=-9148/2073, 5-6=-9712/2145, 6-7=-9712/2197, 7-30=-9148/2145, 8-30=-9625/2124, 8-9=-1982/572, 9-10=-2377/526, 10-11=-918/4991
 BOT CHORD 1-12=-4539/1012, 12-13=-4539/1012, 13-14=-1618/8229, 14-15=-1618/8229, 15-16=-1774/9971, 16-17=-1339/8443, 17-18=-1339/8443, 18-19=-1571/9971, 19-20=-1438/8229, 20-21=-1438/8229, 21-22=-4539/1013, 11-22=-4539/1013
 WEBS 4-13=-8106/1721, 4-15=-175/1975, 5-15=-1619/298, 5-16=-1995/555, 6-16=-458/2416, 6-18=-475/2416, 7-18=-1995/573, 7-19=-1619/323, 8-19=-196/1975, 8-21=-8106/1680, 2-12=-8990/2045, 2-13=-1489/8037, 10-22=-8990/2007, 10-21=-1444/8037

- NOTES--
- This truss has been checked for uniform roof live load only, except as noted.
 - Wind: ASCE 7-10; Vult=115mph Vasd=91mph; TCCL=2.4psf; BCDL=1.0psf; h=31ft; Cat. II; Exp B; Enclosed; MWFRS (envelope); cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33
 - TCLL: ASCE 7-10; Pr=21.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=25.0 psf (ground snow); Ps=21.0 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially-Exp.; Gt=1.20; Unobstructed-slippery-surface
 - Roof design snow load has been reduced to account for slope.
 - Unbalanced snow loads have been considered for this design.
 - WARNING: This long span truss requires extreme care and experience for proper and safe handling and erection. For general handling and erection guidance, see Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), jointly produced by SBCA and TPI. The building owner or the owner's authorized agent shall contract with a qualified registered design professional for the design and inspection of the temporary installation restraint/bracing and the permanent individual truss member restraint/bracing. Mitek assumes no responsibility for truss manufacture, handling, erection, or bracing.
 - Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
 - All plates are MT20 plates unless otherwise indicated.
 - WARNING: Required bearing size at joint(s) 12, 22 greater than input bearing size.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 518 lb uplift at joint 1, 518 lb uplift at joint 11, 2268 lb uplift at joint 12 and 2230 lb uplift at joint 22.
 - This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
 - Purlins are supported between trusses by means of a ledger strip or purlin hanger.
 - Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

DATE: 1/14/2022
 SHEET 09 OF 19
 JOB NUMBER 621754
 DRWN BY: Brain Shire
 CHKD BY:
 REV NO: 0
 JOB DESCRIPTION: 91 x 120 x 26'10. Embedded LQ 36662-02
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 LESTER BUILDING SYSTEMS, LLC. TOLL-FREE: 800-826-4439 See Titleblock DRWN BY for Extension

STATE OF MICHIGAN
 THEODORE J. HELMINK
 ENGINEER
 No. 6201054329
 LICENSED PROFESSIONAL ENGINEER
 1/14/22

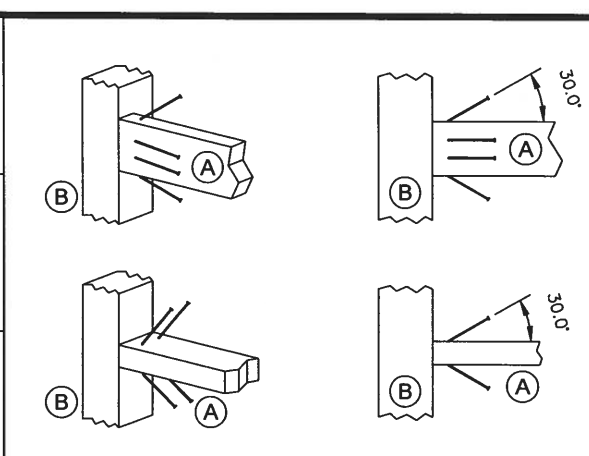
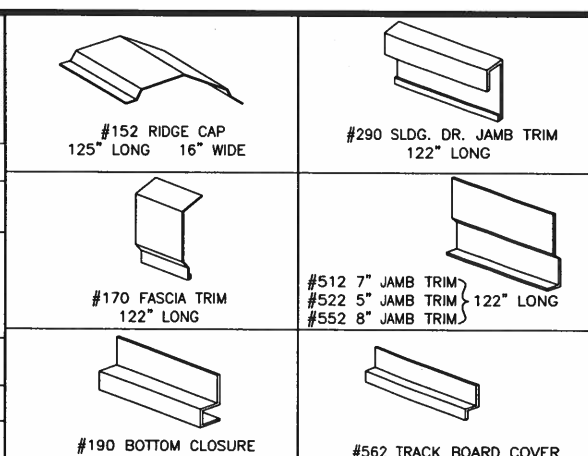
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CONVERSION TO GUN NAIL

GUN NAIL REPLACEMENT FOR COMMON DETAILS
IF GUN NAILING SHOWN ON DETAILS - FOLLOW DETAIL
TLN NAILS REQUIRED FOR TREATED LUMBER

HAND NAIL	GUN NAIL	MULTIPLICATION WOOD-WOOD	HANGER-WOOD	SAMPLE USE
16d COM	0.131"x3.25	1.5	1.7	2X4 PURLIN FLAT HAND NAIL (2) 16d COMMONS OR (3) 0.131 X 3.25 SMOOTH
16d R.S.	0.131"x3.25	1.4	1.4	FLAT GIRTS HAND NAIL (2) 16d RING SHANKS OR (3) 0.131 X 3.25 SMOOTH SPLASHPLANK HAND NAIL (3) 16d RING SHANKS OR (4) 0.131 X 3.25 SMOOTH
10d COM	0.131"x3.25	1	1.2	SHELF GIRTS HAND NAIL (4) 10d BOX TOE NAILS OR (4) 0.131 X 3.25 SMOOTH
10d CC	0.131"x3.25	1	1	
8d COM	0.131"x2.5	1	1	5/8" SHEATHING PER DETAIL JDO24 & MB510

ONLY POWER DRIVEN NAILS LISTED IN "NATIONAL EVALUATION SERVICES REPORT NER-272 (POWER DRIVEN STAPLES AND NAILS FOR USE IN ALL TYPES OF BLDG. CONSTRUCTION) MAY BE USED. FULL HEAD OR CLIPPED HEAD POWER DRIVEN NAILS ONLY. T-HEADED NAILS AND STAPLES "MAY NOT" BE SUBSTITUTED FOR CONNECTIONS INDICATED ON DRAWINGS.

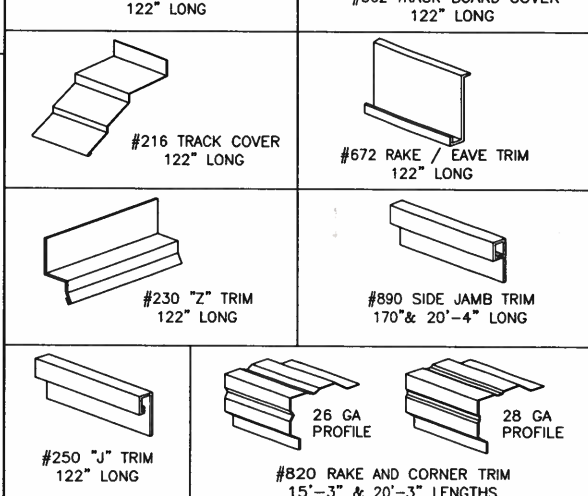
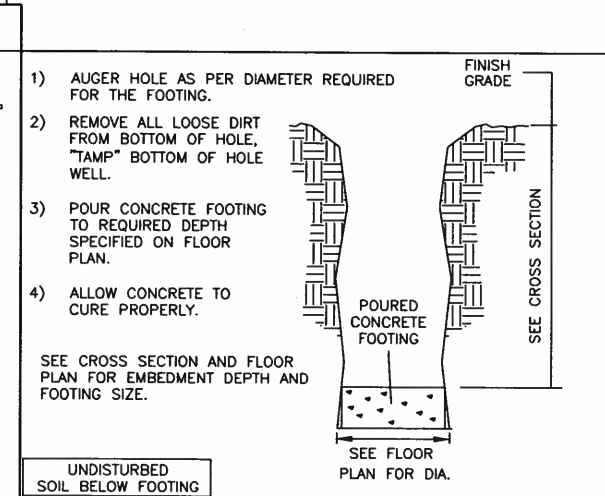


BUTT CONNECTION:
TOE NAIL ANY UN-OBTSTRUCTED FACE OR EDGE OF MEMBER 'A' TO MEMBER 'B' USING 10d GALV. BOX NAILS, QTY FROM TABLE BELOW:

FRAMING MEMBER SIZE (A)	QTY 10d GALV BOX NAILS (P/N: 040076)
2X4	(3)
2X6	(3)
2X8	(4)
2X10	(5)
2X12	(6)

CONVERSION TO GALVANIZED NAIL

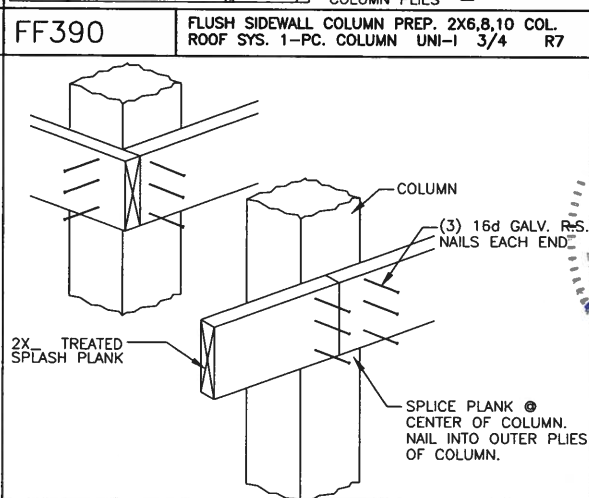
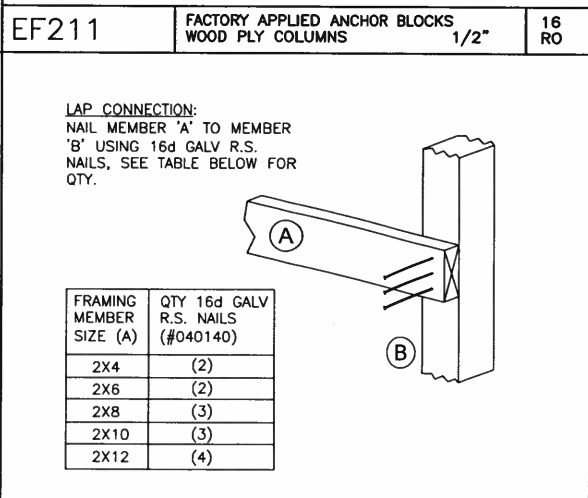
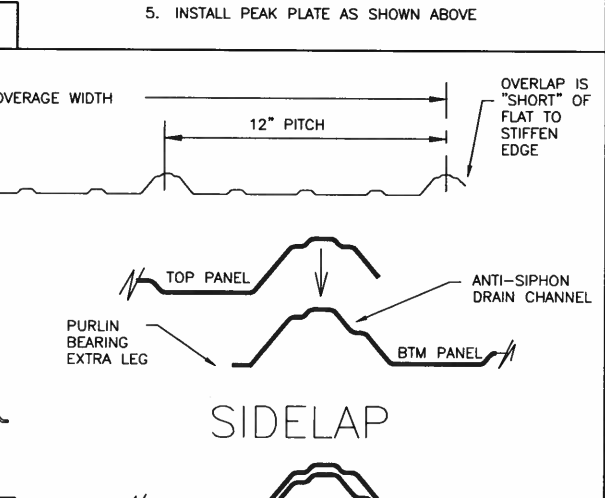
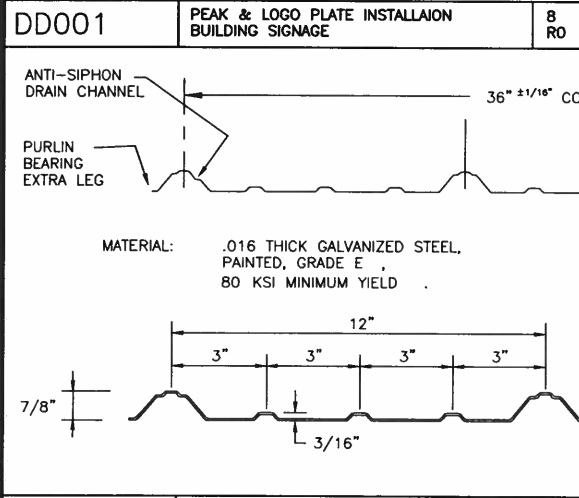
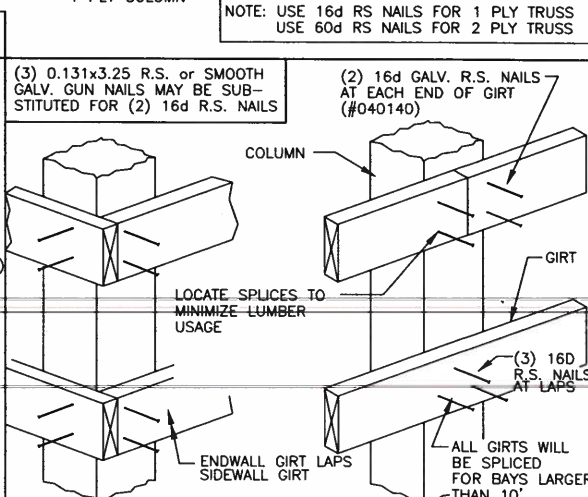
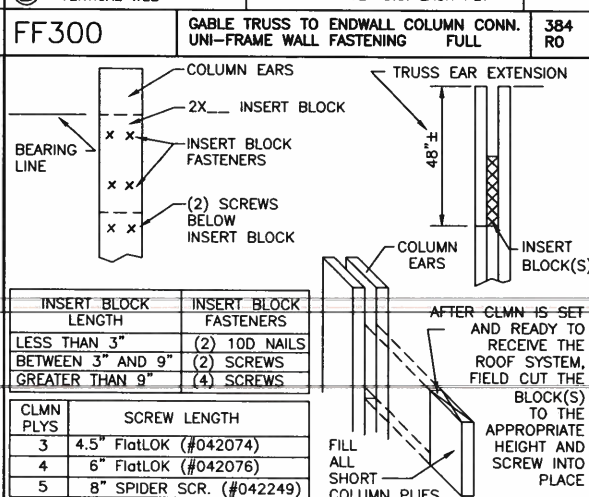
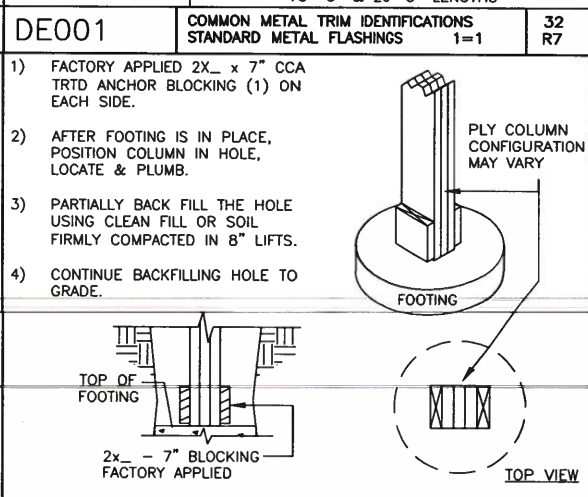
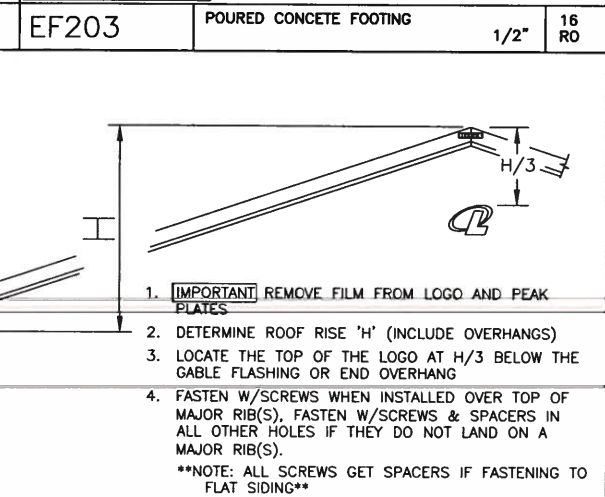
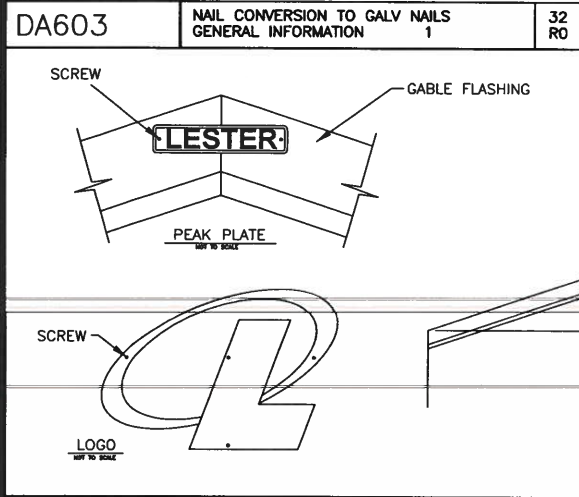
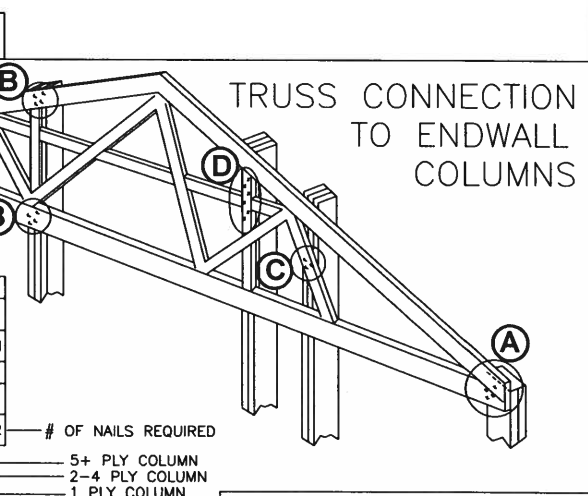
040021	4d COMMON BRIGHT = 040082	4d GALV COMMON
040025	8d COMMON BRIGHT = 040086	8d GALV COMMON
040026	10d COMMON BRIGHT = 040087	10d GALV COMMON
040028	16d COMMON BRIGHT = 040089	16d GALV COMMON
040016	10d CC BOX = 040076	10d GALV BOX



NAIL QUANTITIES @ VARIOUS LOCATIONS

LOCATION	HEEL DEPTH				
	6"	8"	10"	12"	CUSTOM
A HEEL	4	6	8	10	SEE EW FRAMING PLAN
B TOP OR BTM. CHORD	SIZE OF TRUSS MEMBER				
	2X4	2X6	2X8	2X10	2X12
C DIAGONAL & HORIZONTAL WEBS	2/2/3	2/3/4	2/3/4	4/5/6	
D VERTICAL WEB	12" O.C. EACH PLY				

OF NAILS REQUIRED:
5+ PLY COLUMN
2-4 PLY COLUMN
1 PLY COLUMN



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ICHIKAWA
J. K.
ENGINEER
6201054329
11/19/22

DD030 38 1/4" OVERALL WIDTH-36" COVERAGE UNI-RIB PANEL SECTION AND SPECS 1.5" 48 RO

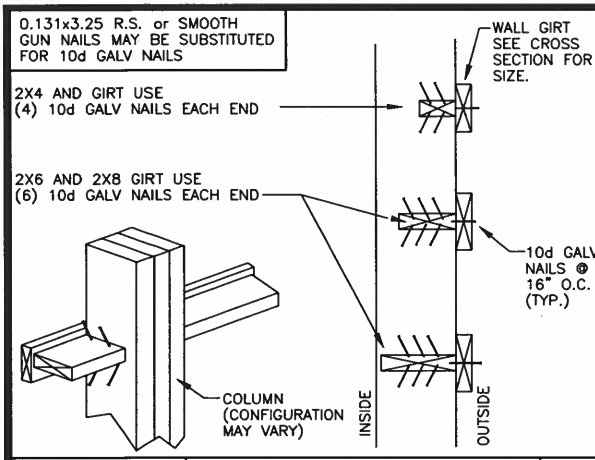
FF001 TYPICAL FACE NAIL LAP CONNECTION 48 RO

FF417 SPLASH PLANK CONNECTION BY-PASS WALL FASTENING 1" 32 RO

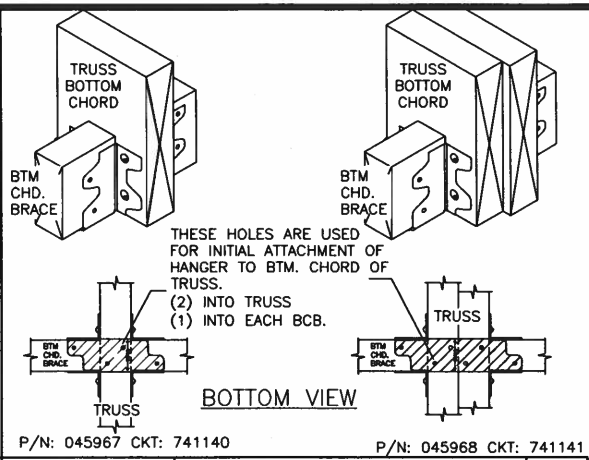
DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1

FF002 TYPICAL TOE-NAILED BUTT CONNECTION 48 RO

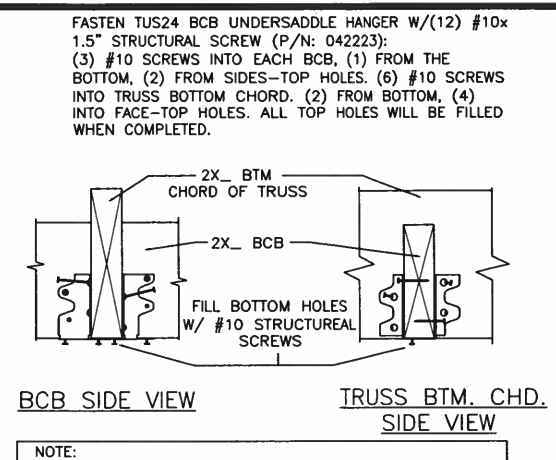
DATE: 1/14/2022
JOB NUMBER: 621754
SHEET: 10 OF 19
DRWN BY: Brain Shire
CHKD BY:
REV. NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10" Embedded - LQ 36662-02
CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843
DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
LESTER BUILDING SYSTEMS, LLC
TOLL-FREE: 800-826-4439
See Titleblock DRWN BY for Extension



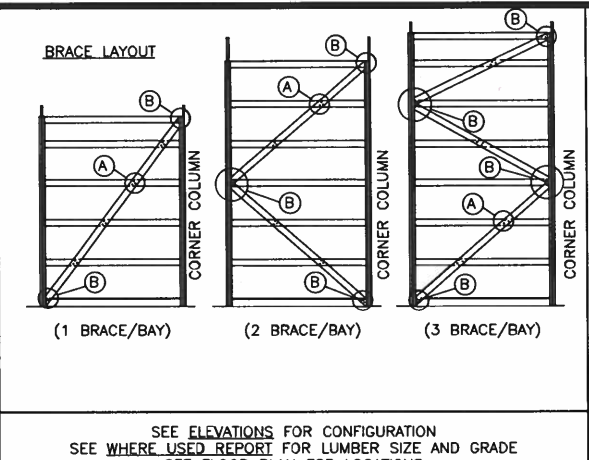
FF457 WALL GIRT W/ HORZ. T¹ GIRT TOE NAILED UNI-FRAME WALL FASTENING 1"=1" 32 R1



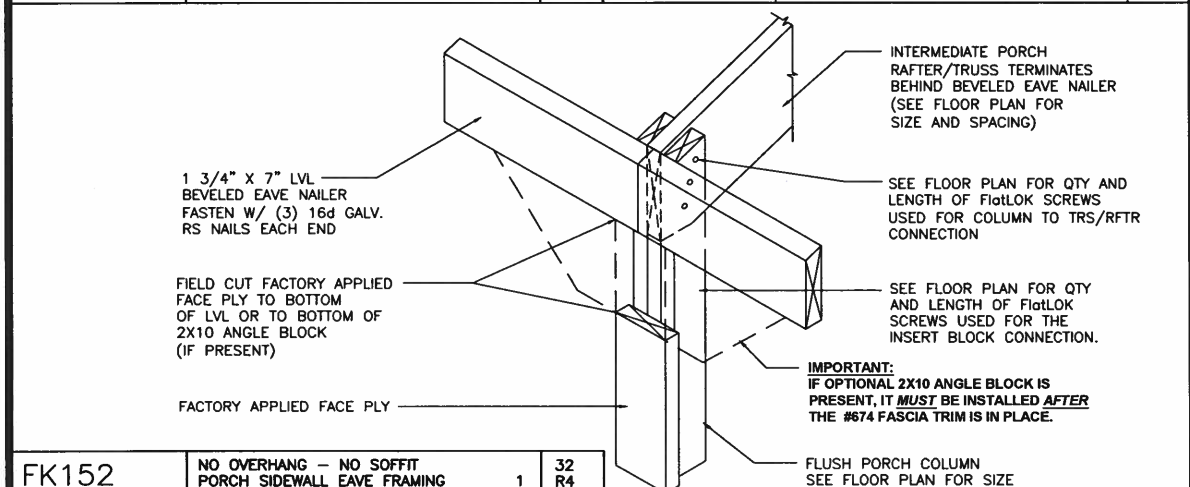
GA176 SGL/DBL UNDERSADDLE BCB HANGER 2X4/2X6 BCB (STANDARD LOAD) 2"=1 64 R1



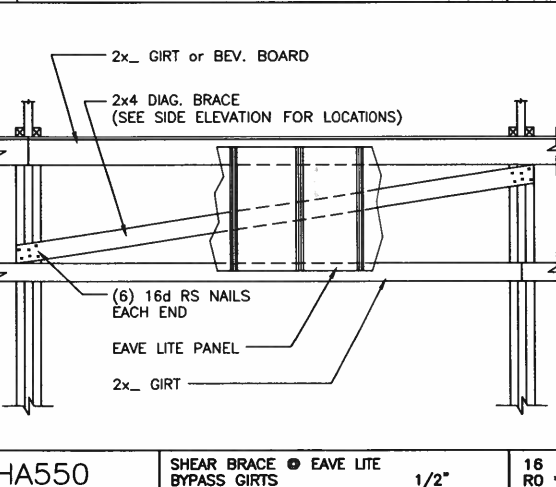
HA550 SHEAR BRACE @ EAVE LITE BYPASS GIRTS 1/2" 16 RD



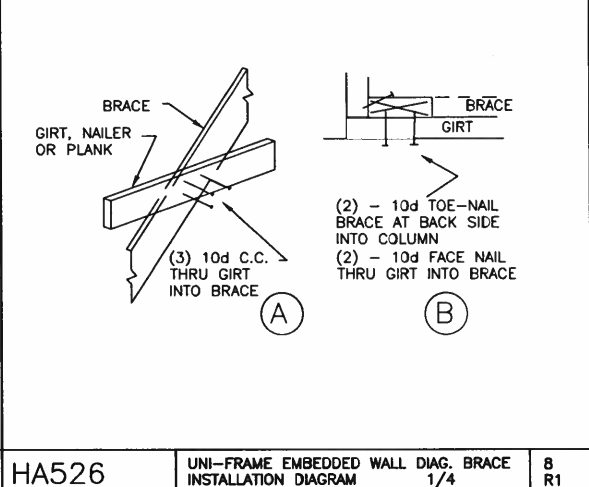
HA526 UNI-FRAME EMBEDDED WALL DIAG. BRACE INSTALLATION DIAGRAM 1/4 8 R1



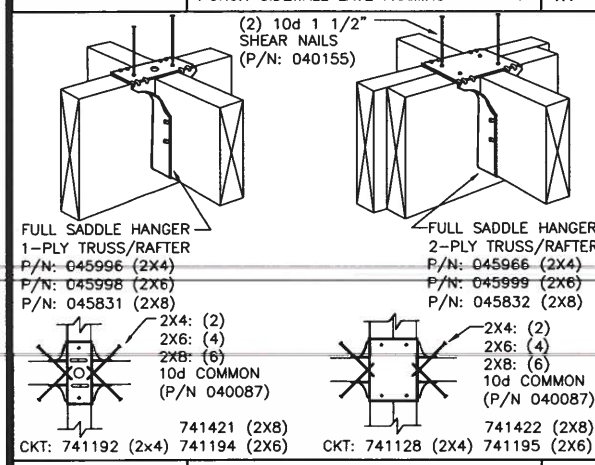
FK152 NO OVERHANG - NO SOFFIT PORCH SIDEWALL EAVE FRAMING 1 32 R4



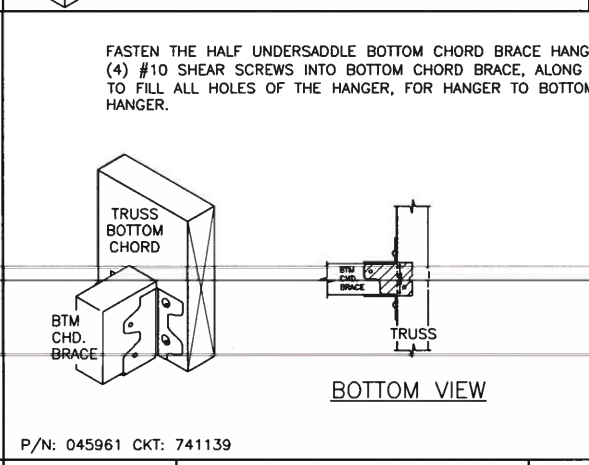
HA550 SHEAR BRACE @ EAVE LITE BYPASS GIRTS 1/2" 16 RD



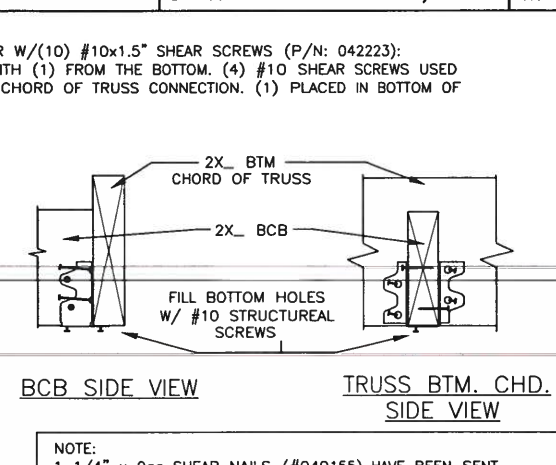
HA526 UNI-FRAME EMBEDDED WALL DIAG. BRACE INSTALLATION DIAGRAM 1/4 8 R1



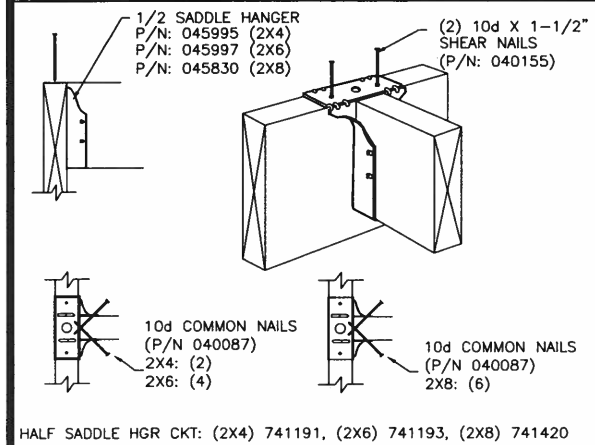
GA122 2X4,6,8 SINGLE/DOUBLE SADDLE HANGER PURLIN TO TRUSS/RAFTER CONN. 1.5" 48 R4



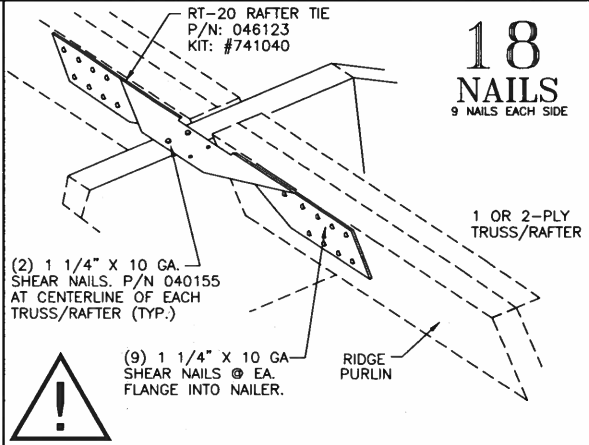
GA178 HALF UNDERSADDLE BCB HANGER 2X4/2X6 BCB (STANDARD LOAD) 2"=1 64 R2



GA178 HALF UNDERSADDLE BCB HANGER 2X4/2X6 BCB (STANDARD LOAD) 2"=1 64 R2



GA142 2X HALF SADDLE HANGER PURLIN TO GABLE TRUSS CONN. 2" 64 R3



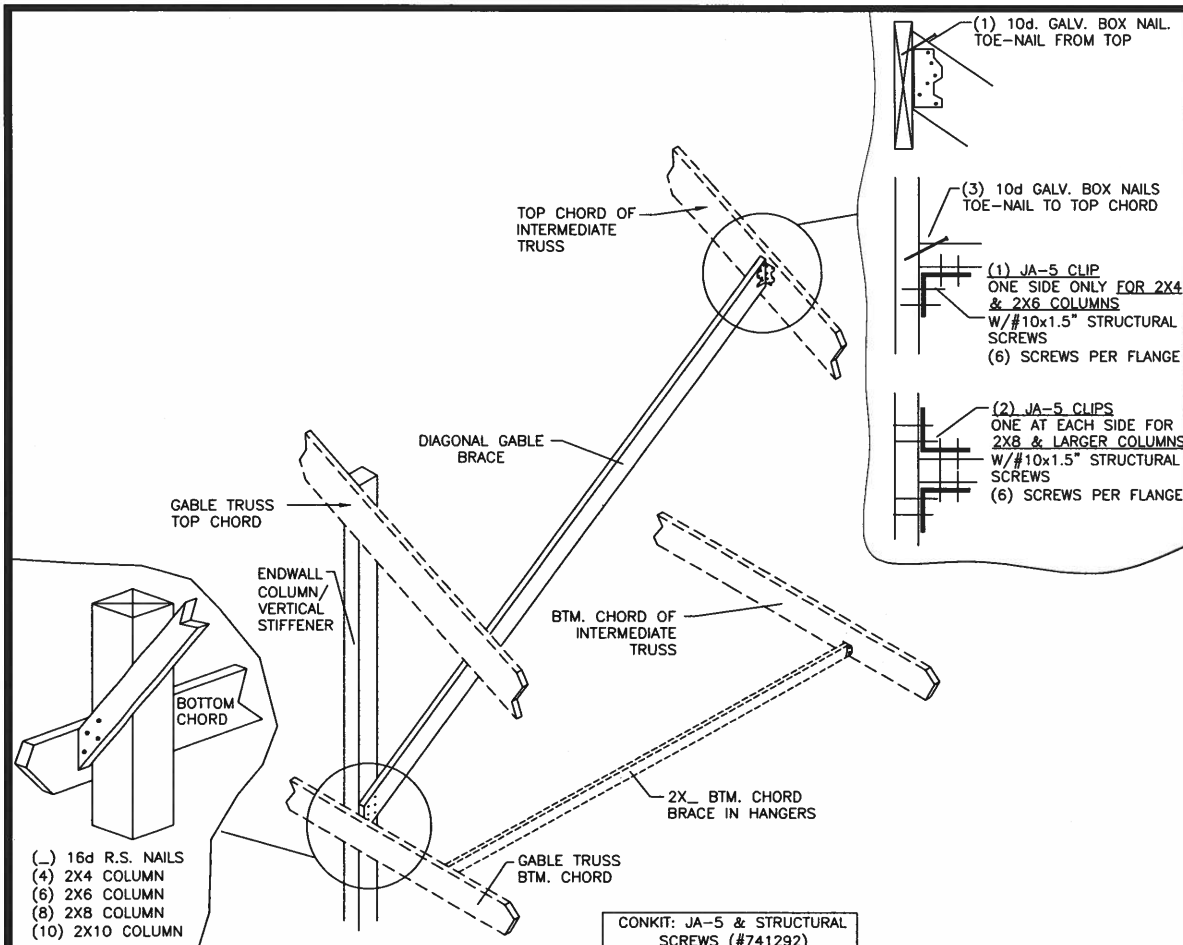
GA442 SGL ROW CHORD HDWE (PEAK) UNI-FRAME ROOF CONNECTION 18NAILS 3/4" 24 R3

STATE OF MICHIGAN
THEODORE J. HELINK
REGISTERED PROFESSIONAL ENGINEER
No. 6201054329
1/14/22

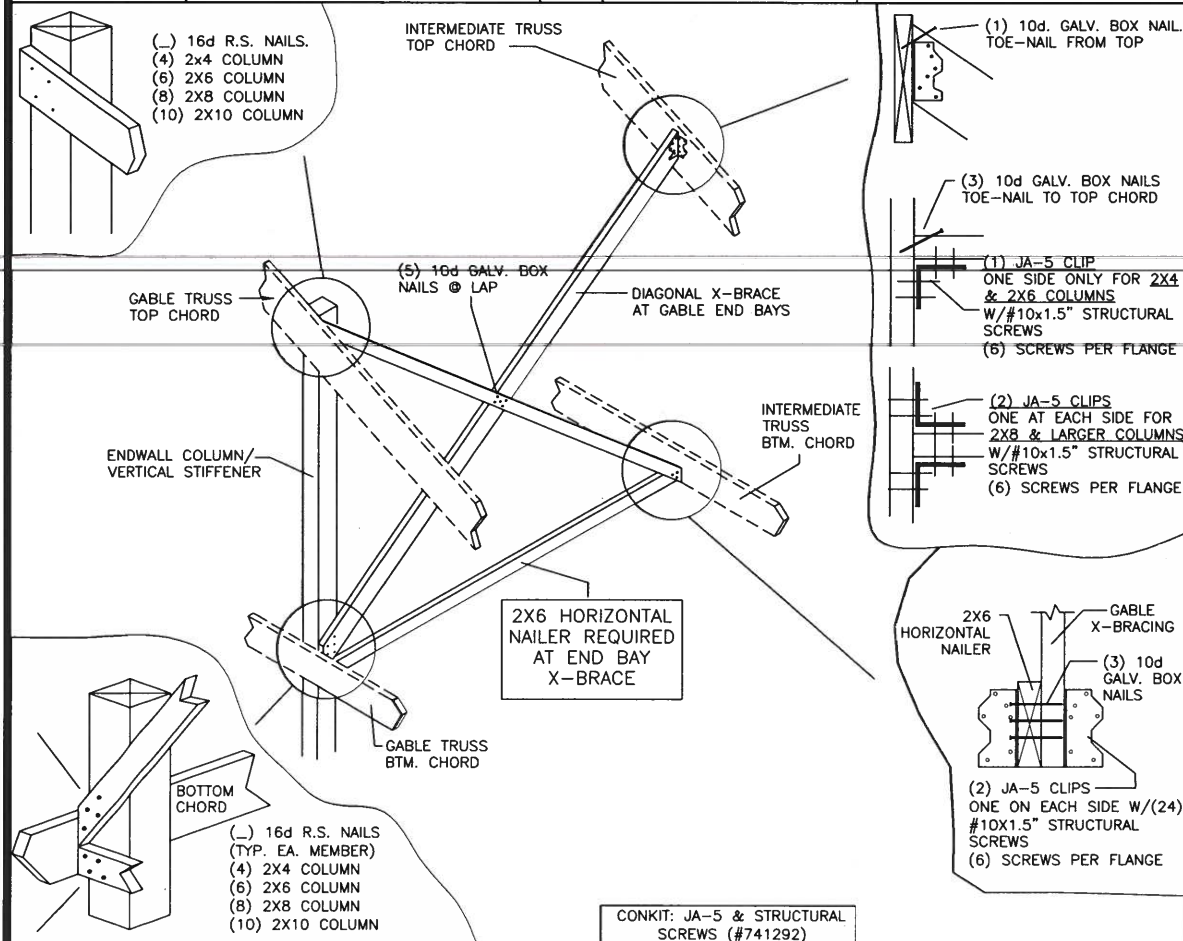
THIS CERTIFICATION IS LIMITED TO THE STRUCTURAL DESIGN OF THE FRAMING AND COVERING PARTS MANUFACTURED BY LESTER BUILDING SYSTEMS, ALL OTHER ITEMS SUCH AS EQUIPMENT, VENTILATION, PLUMBING, ELECTRICAL, ERECTION, DOORS, FIRE RESISTIVE REQUIREMENTS, INSPECTION, CONCRETE FLOORS, ETC. IS THE RESPONSIBILITY OF OTHERS.

DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL 49 R1

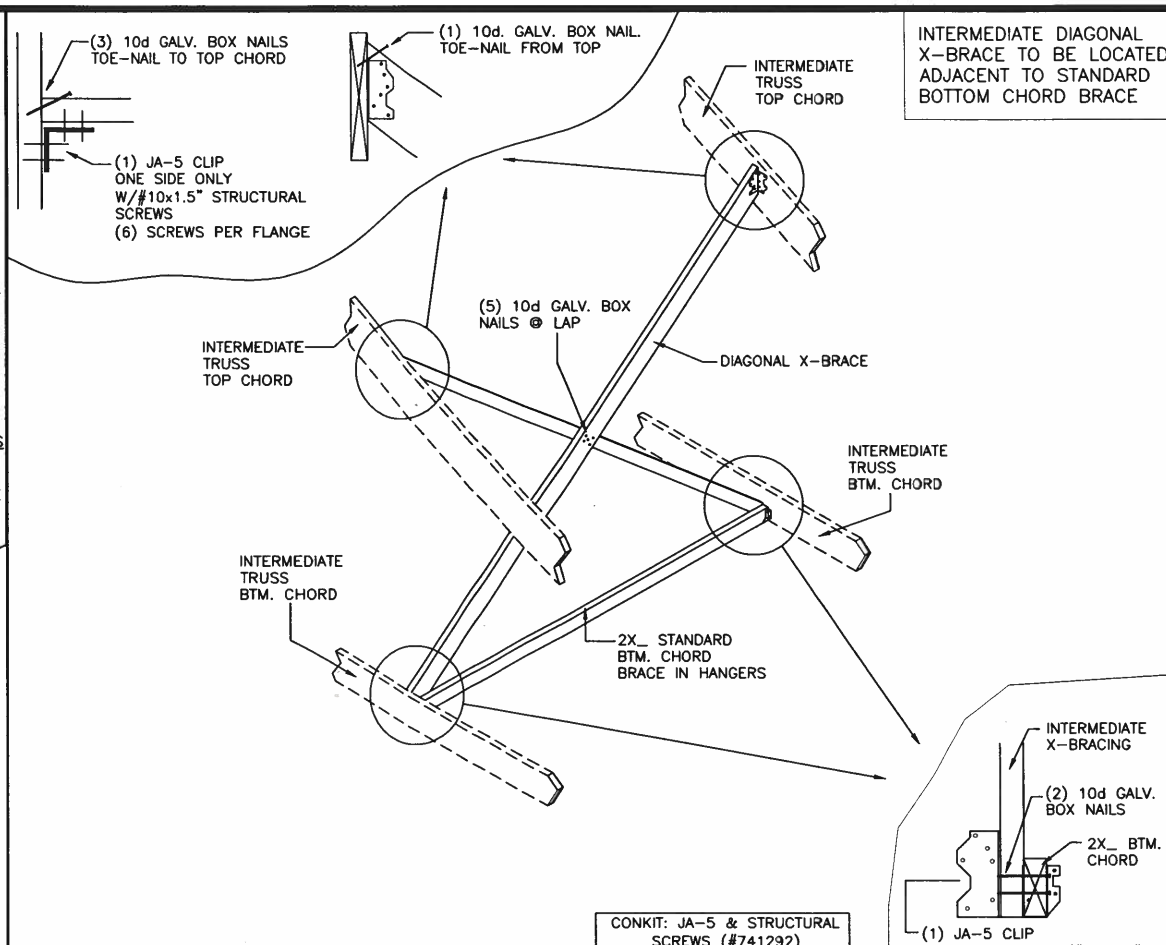
DATE: 1/14/2022 SHEET 11 OF 19
JOB NUMBER 621754
DRWN BY: Brain Shire
CHKD BY:
REV NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02
CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843
DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
LESTER BUILDING SYSTEMS, LLC
TOLL-FREE: 800-826-4439
See Titleblock DRWN BY for Extension



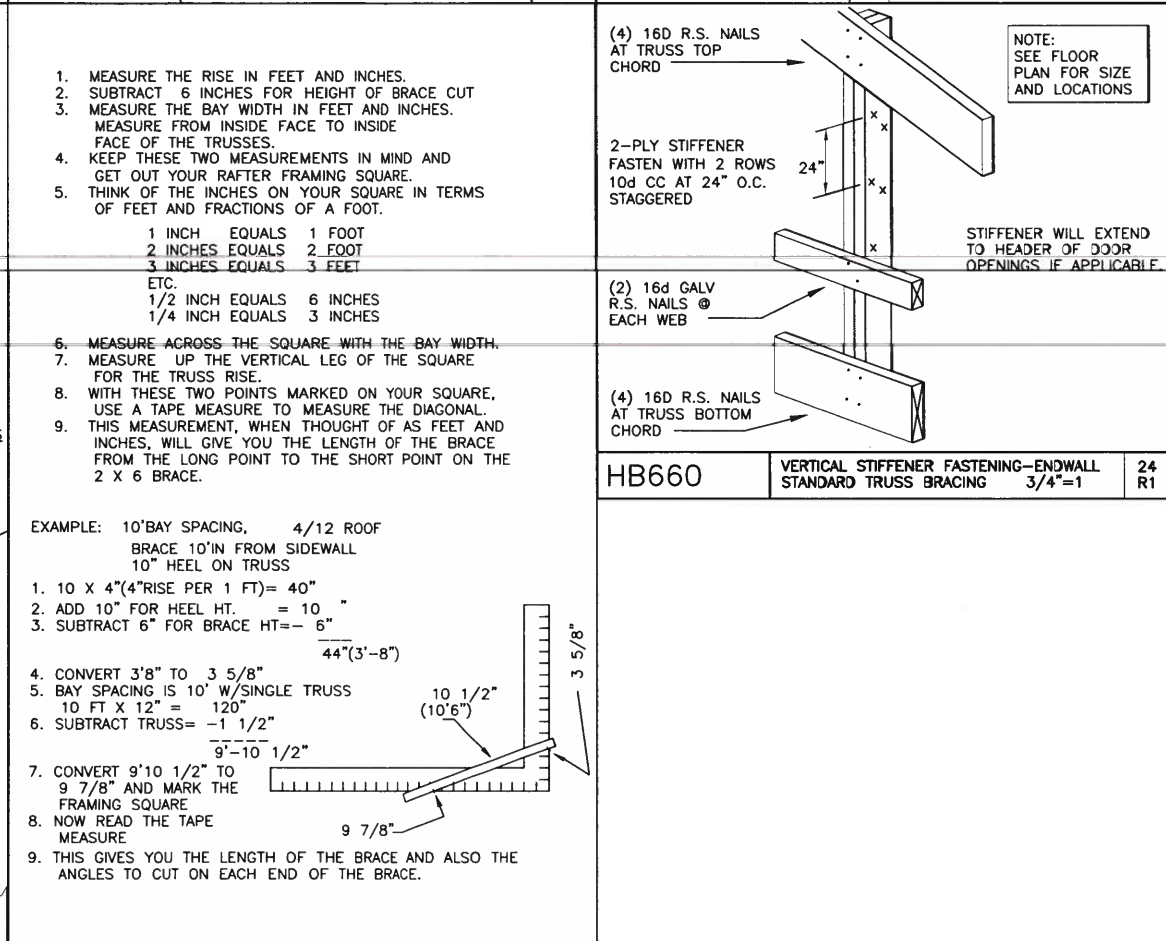
HB100	DIAGONAL GABLE BRACE CONNECTIONS STANDARD TRUSS BRACING V1.50 3/8" R2	CONKIT: JA-5 & STRUCTURAL SCREWS (#741292)	
		JA-5 CLIP (046027)	#10X1.5" SCREW (042223)



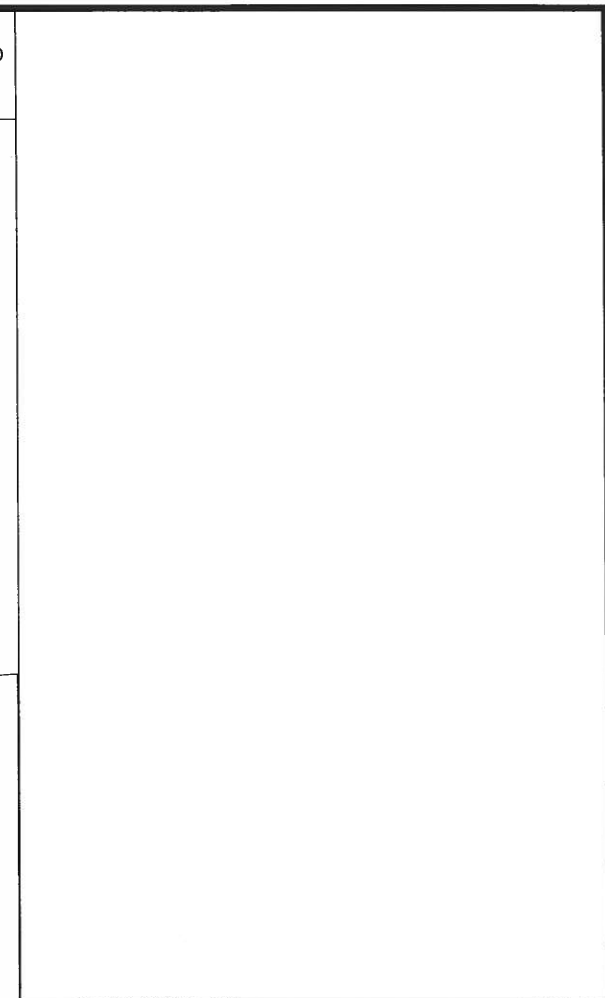
HB101	DIAGONAL GABLE X-BRACING CONNECTIONS STANDARD TRUSS BRACING V1.50 3/8" R2	CONKIT: JA-5 & STRUCTURAL SCREWS (#741292)	
		JA-5 CLIP (046027)	#10X1.5" SCREW (042223)



HB102	DIAGONAL INTERMEDIATE X-BRACE CONN. STANDARD TRUSS BRACING V1.50 3/4" R2	CONKIT: JA-5 & STRUCTURAL SCREWS (#741292)	
		JA-5 CLIP (046027)	#10X1.5" SCREW (042223)



HB160	TRUSS DIAGONAL BRACE STEP BY STEP PROCEDURE	CONKIT: JA-5 & STRUCTURAL SCREWS (#741292)	
		JA-5 CLIP (046027)	#10X1.5" SCREW (042223)



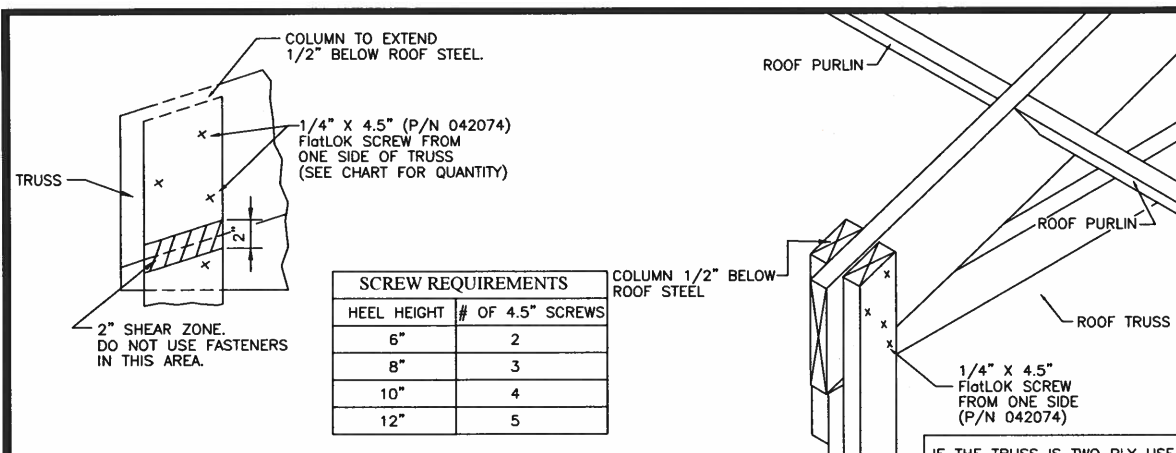
HB660	VERTICAL STIFFENER FASTENING-ENDWALL STANDARD TRUSS BRACING 3/4"-1 R1	CONKIT: JA-5 & STRUCTURAL SCREWS (#741292)	
		JA-5 CLIP (046027)	#10X1.5" SCREW (042223)

THEODORE J. HELM, K
 ENGINEER
 LICENSED PROFESSIONAL ENGINEER
 6201054329
 1/14/02

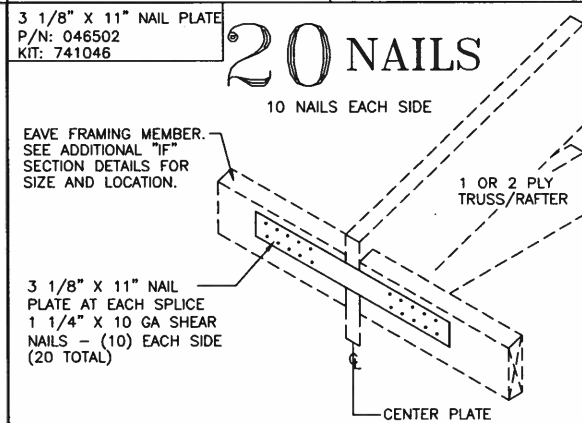
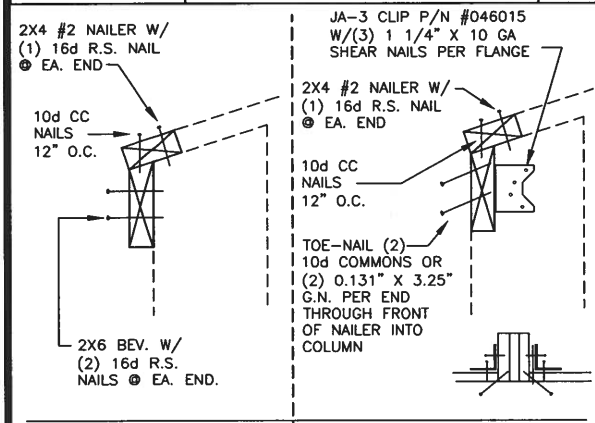
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DA003	STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL	50 R1
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DATE: 1/14/2022	SHEET 12 OF 19
DRWN BY: Brian Shire	JOB-NUMBER 621754
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02	CHKD BY: .
CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843	REV NO: 0
DEALER: Miller Construction & Equipment 276 West M-95 West Branch, MI 48661	
LESTER BUILDING SYSTEMS, LLC TOLL-FREE : 800-826-4439 See Titleblock DRWN BY for Extension	

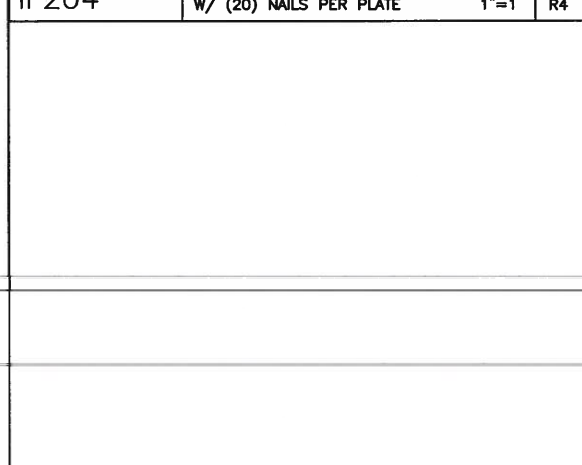
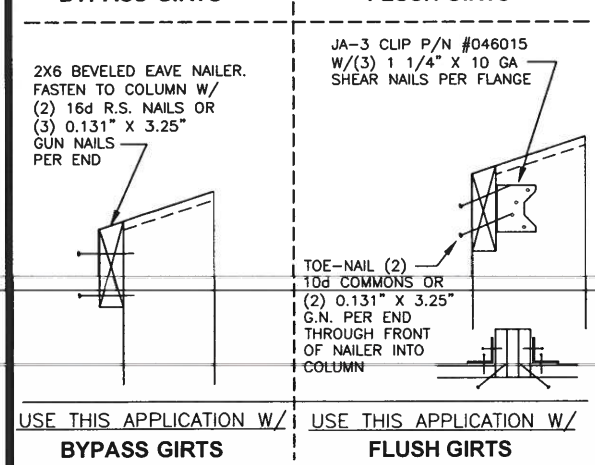


HD631 TRUSS TO COL CONNECTION *STANDARD* FLUSH PURLIN CONNECTION 1.5" 48 R3

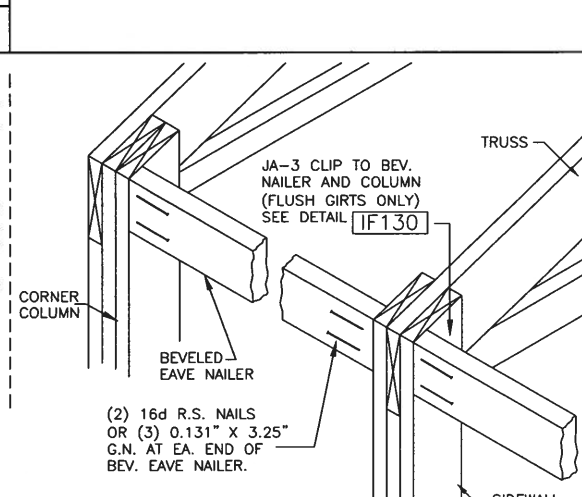
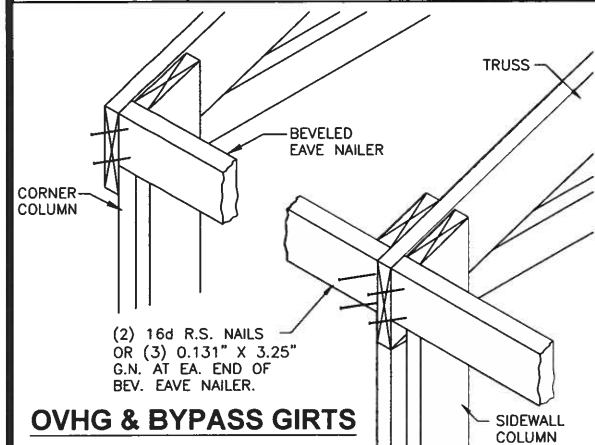


IF204 SINGLE ROW CHORD HDWE AT EAVE W/ (20) NAILS PER PLATE 1"=1 32 R4

IF130 EAVE NAILER FRAMING 2x6/2x4 & 2X6 EAVE NAILERS 1.5" 48 R4

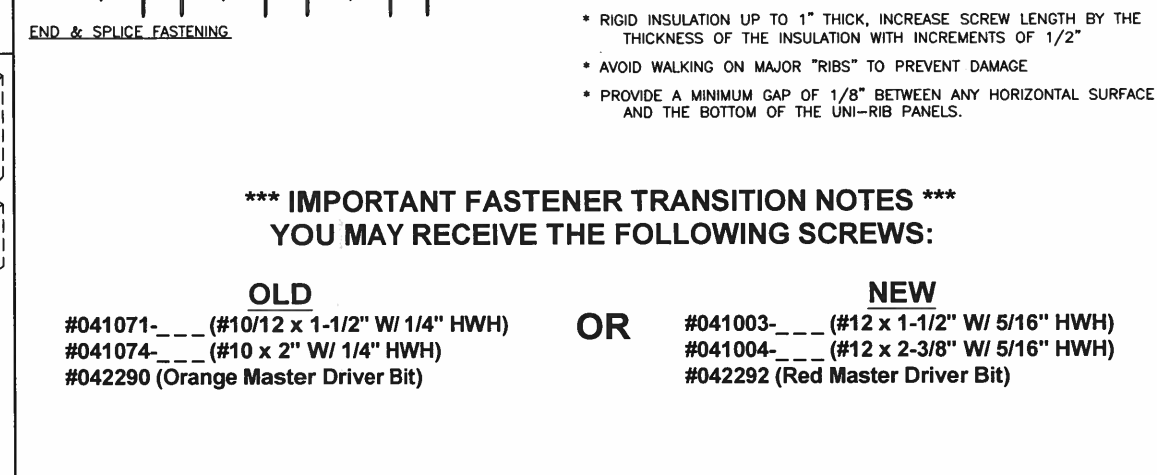
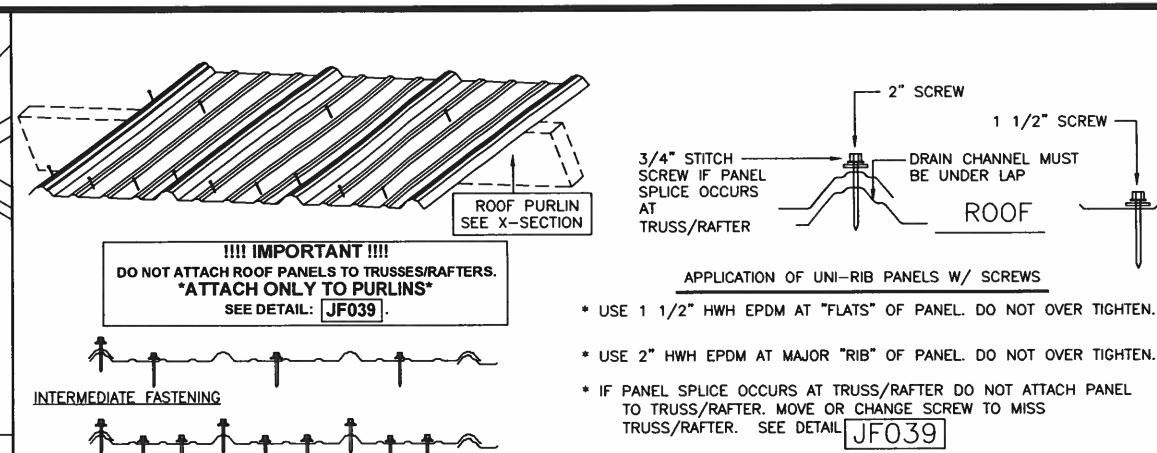


OVHG & BYPASS GIRTS

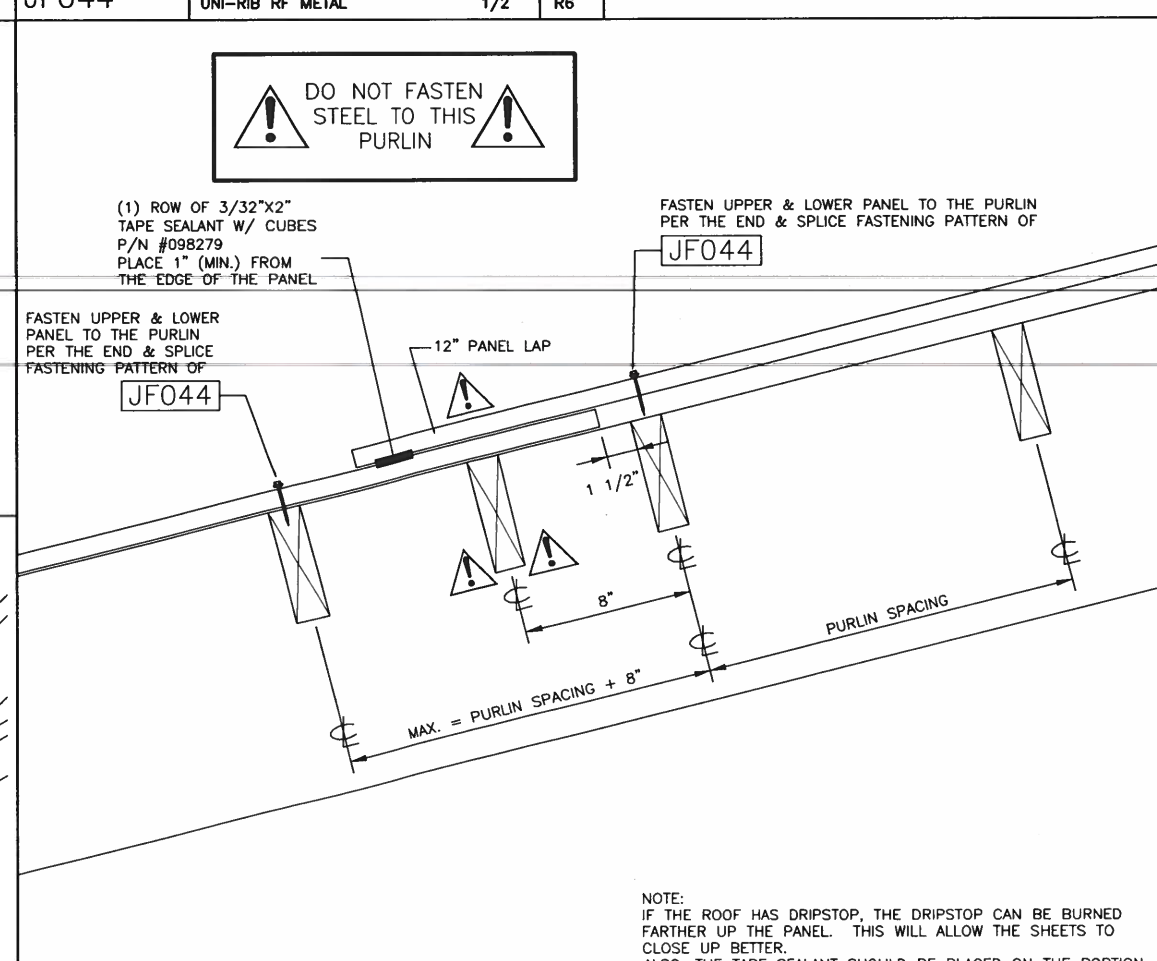


IF132 BEVELED EAVE NAILER TO COLUMN CONN. EAVE FASTENING - FLUSH PURLINS 1" 32 R1

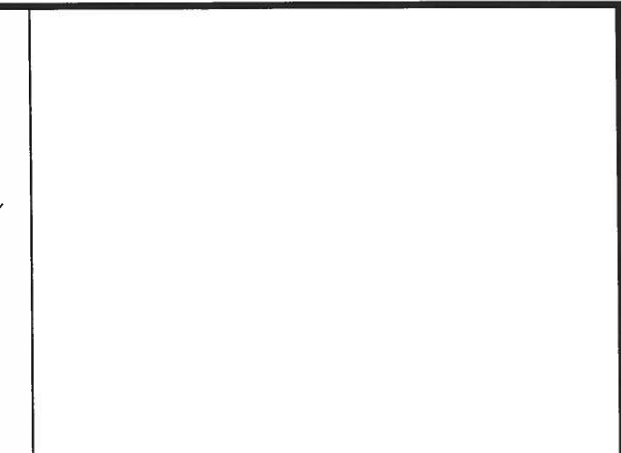
JF066 UNI-RIB THERMAL BREAK SPLICE USE @ => 3/12 ROOF PITCH 64 R1



JF044 SCREW FASTEN PATTERN - ROOF UNI-RIB RF METAL 1/2" 16 R6



JF066 UNI-RIB THERMAL BREAK SPLICE USE @ => 3/12 ROOF PITCH 64 R1



JF044 SCREW FASTEN PATTERN - ROOF UNI-RIB RF METAL 1/2" 16 R6



JF066 UNI-RIB THERMAL BREAK SPLICE USE @ => 3/12 ROOF PITCH 64 R1

DATE: 1/14/2022

SHEET 13 OF 19

JOB-NUMBER 621754

DRWN BY: Brain Shire

CHKD BY:

REV NO: 0

JOB DESCRIPTION: 91 x 120 x 26'10. Embedded LQ 36662-02

CUSTOMER: mWonderland Marine West 5796 E Grand River Ave Howell, MI 48843

DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48861

LESTER BUILDING SYSTEMS, LLC.

TOLL-FREE: 800-926-4439

See Titleblock DRWN BY for Extension

STATE OF MICHIGAN

THEODORE J. HELMINK

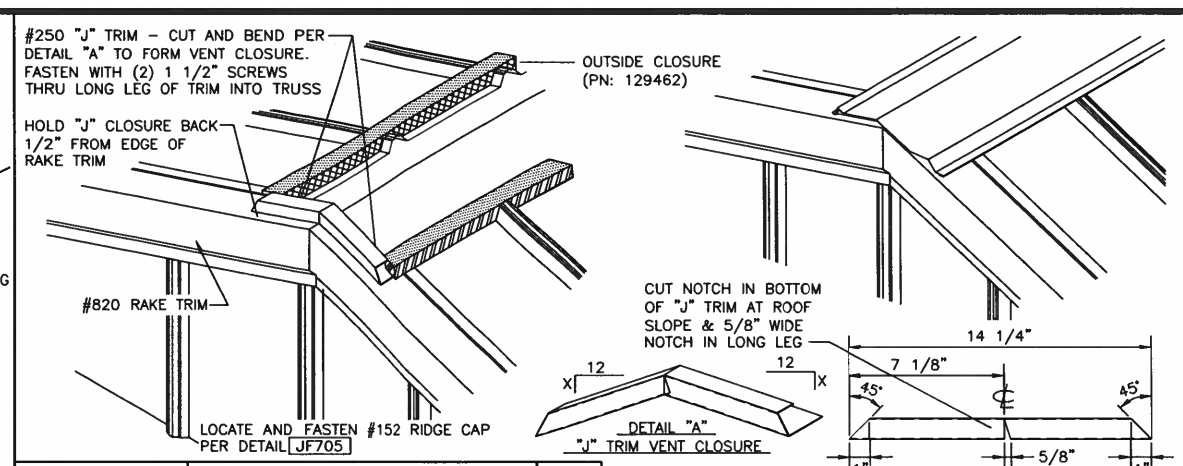
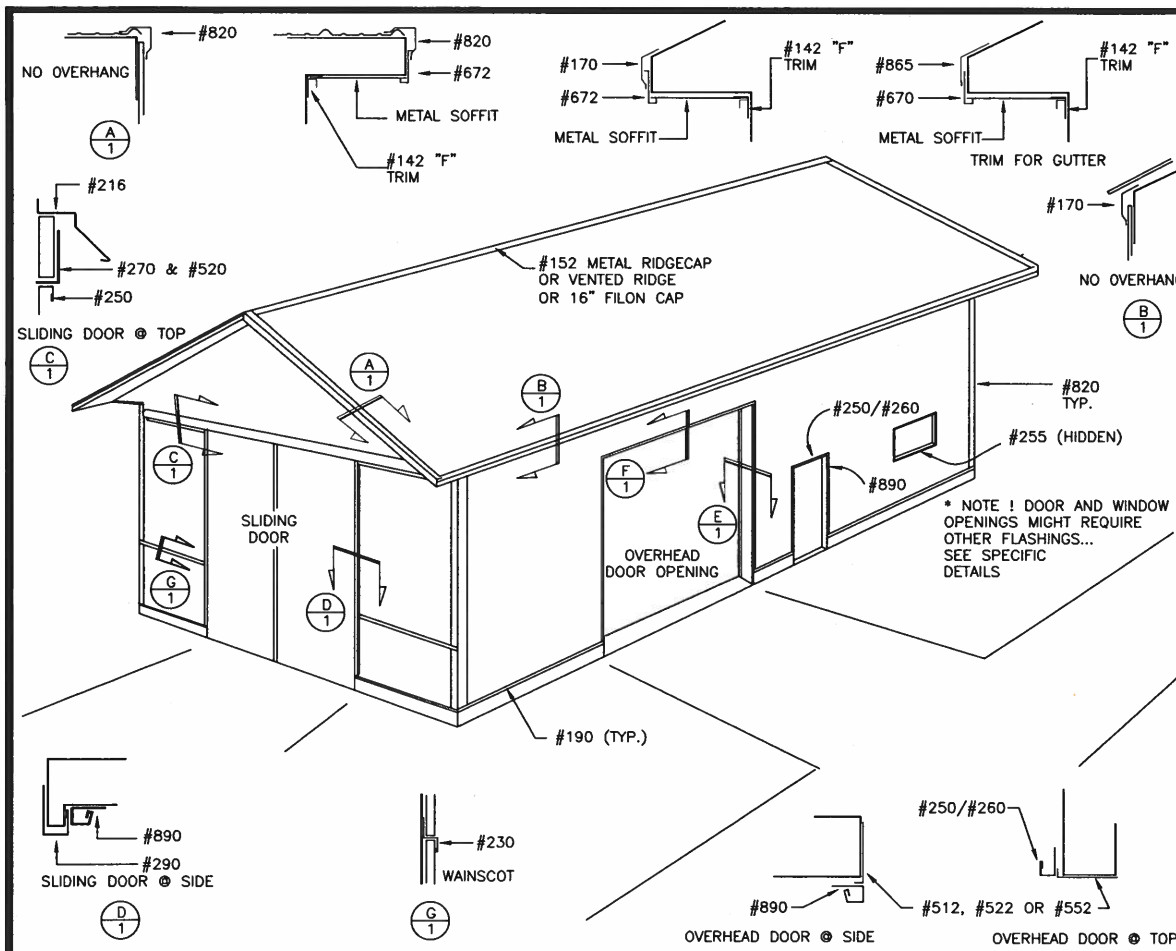
ENGINEER

No. 6201054329

1/14/22

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DA003 STRUCTURAL DESIGN - ONLY FULL ENGINEER STAMP BOX 51 R1



JF707 GABLE END CLOSURE ON GABLE ROOF UNVENTED RIDGE V2009 32 R2

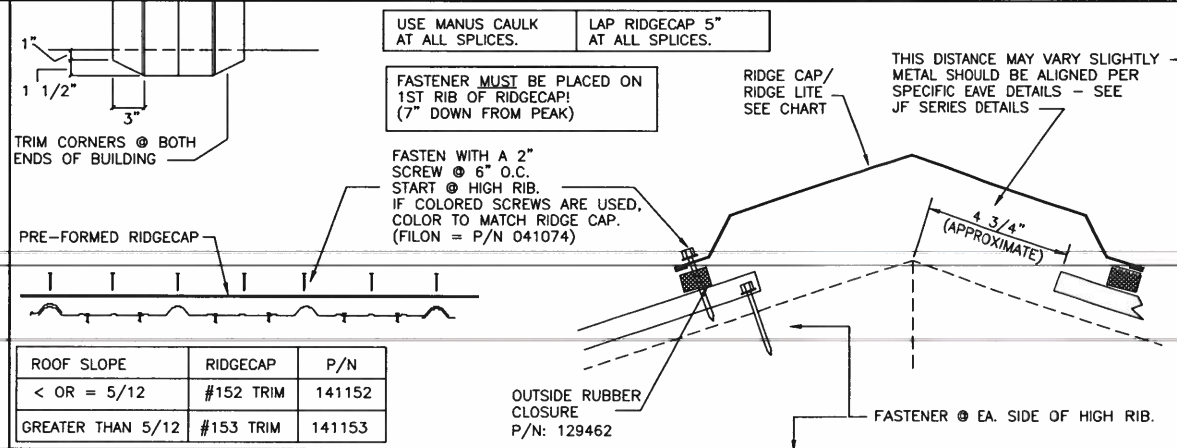
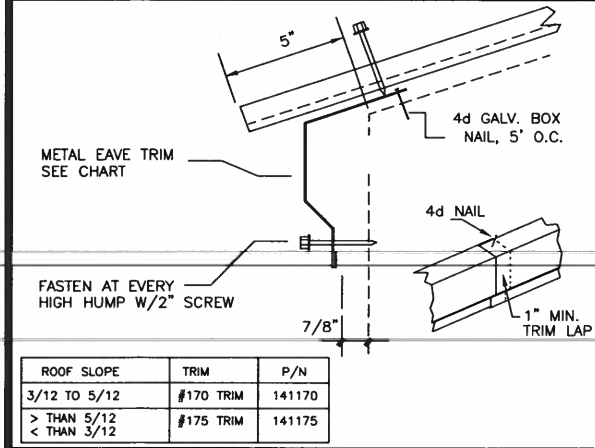
BYPASS GIRT WALL CONFIGURATION. NO INTERIOR LINER

	LUMBER SIZE					
	2X4-8'	2X4-10'	2X4-12'	2X6-8'	2X6-10'	2X4-10' TRTD
EXPI-DOORS		1		5		1**
AJ WALK DRS	5*	1				1**
WINDOW SIZE						
2X3		4			1	
2X4	3	2			1	
3X2	1	3			1	
3X3		4			1	
3X4	3	2			1	
3X5		5			1	
4X2		4			1	
4X3	3	2			1	
4X4	1	4			1	
5X4	1	4			1	
6X4	1	3	2		1	

KC425 BYPASS GIRT - NO INT. LNR WK DOOR/ WDW LUMBER CHART 3" 96 R1

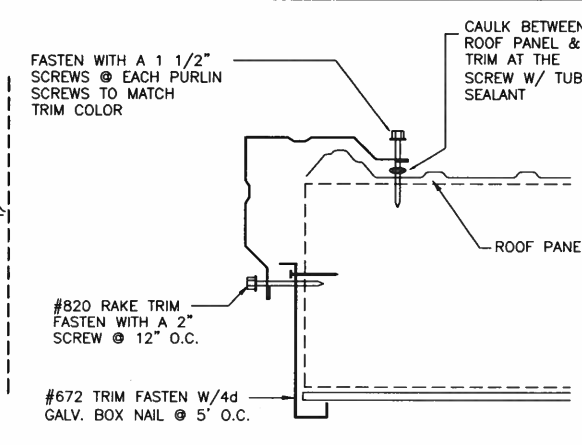
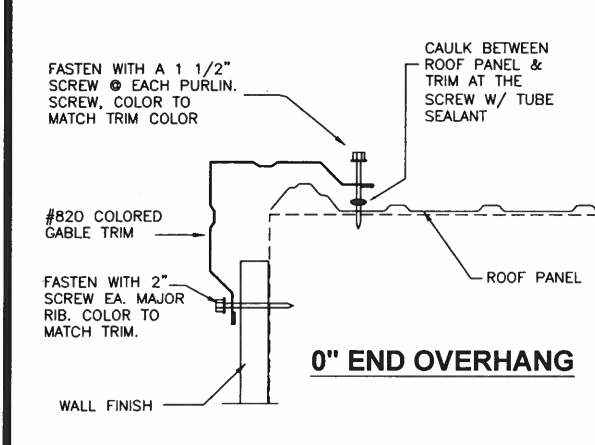
* IF CONC. DROP > 6" THEN (2) 2X4-8' TRTD & (3) 2X4-8' UN-TRTD
** BUILDINGS WITH EMBEDDED COLUMNS ONLY

JF086 STANDARD TRIM LOCATIONS METAL ROOF & WALLS 1/4" B R4



JF130 ZERO INCH EAVE OVERHANG METAL ROOF TO EAVE CONNECTION 3" 96 R5

JF705 RIDGE CAP/LITE TO ROOF FASTENING METAL ROOF FASTENING 3 96 R11



JF330 GABLE TRIM FASTENING ROOF AND TRIM METAL FLASHING 3" 96 R3

ANY END OVERHANG

STATE OF MICHIGAN
THEODORE J. HELMINK
ENGINEER
6201054329
1/14/22

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DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1

DATE: 1/14/2022
JOB-NUMBER: 621754
SHEET: 14 OF 19
DRAWN BY: Brain Shire
CHKD BY:
REV NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 56662-02
CUSTOMER: Howlerland Marine West 5796 E Grand River Ave Howell, MI 48843
DEALER: Miller Construction & Equipment 276 West M-56 West Branch, MI 48661
LESTER BUILDING SYSTEMS, LLC. TOLL-FREE: 800-926-4439 See Titleblock DRAWN BY for Extension

AJ WALK DOOR ROUGH OPENING CHART

NOMINAL DOOR SIZE	ACTUAL DOOR FRAME WIDTH	ACTUAL DOOR FRAME HEIGHT	LESTER RECOMMENDED R.O. WIDTH	LESTER RECOMMENDED R.O. HEIGHT
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R51 WALK DOOR SERIES	2668	32 9/16"	80 15/16"	33 1/16"	81 7/16"
	3068	38 9/16"	80 15/16"	39 1/16"	81 7/16"

3700 WALK DOOR SERIES	2668	31 9/16"	80 3/8"	32 1/16"	80 7/8"
	3068	37 9/16"	80 3/8"	38 1/16"	80 7/8"

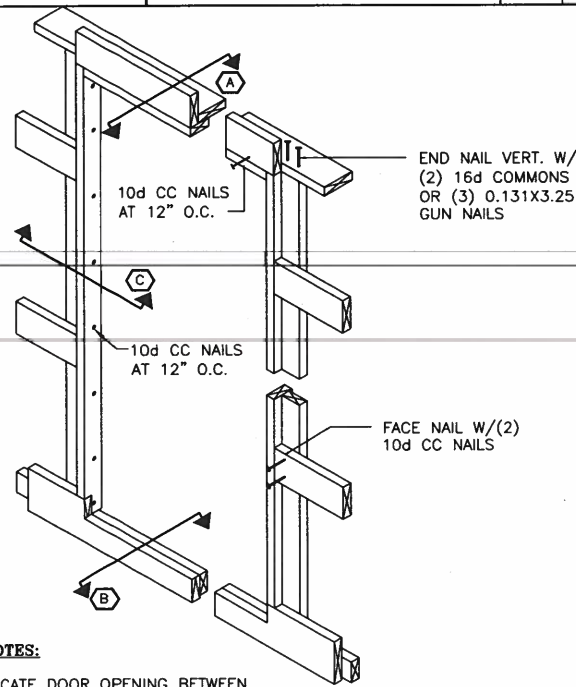
5100 & 7100 WALK DOOR SERIES	2668	33 13/16"	80 5/8"	34 5/16"	81 1/8"
	3068	39 13/16"	80 5/8"	40 5/16"	81 1/8"
	4068	51 1/8"	80 5/8"	51 5/8"	81 1/8"

5100 WALK DOOR SERIES	6068	77 1/8"	80 5/8"	77 5/8"	81 1/8"
	8068	99 11/16"	80 5/8"	100 3/16"	81 1/8"

7100 WALK DOOR SERIES	6068	76 7/16"	80 5/8"	76 15/16"	81 1/8"
	8068	99"	80 5/8"	99 1/2"	81 1/8"

ADD 3" TO THE ROUGH OPENING WIDTH IF THERE IS ANY TYPE OF CONCRETE DROP.

KC430 ROUGH OPENING REFERENCE CHART FULL 384 R4



NOTES:

LOCATE DOOR OPENING BETWEEN MAIN STRUCTURAL WALL COLUMNS.

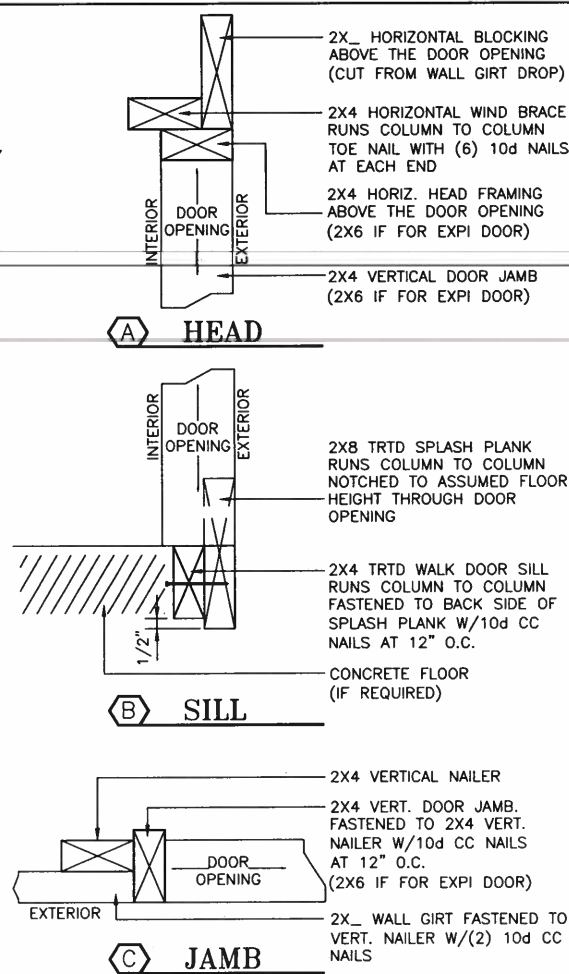
ROUGH OPENING STARTS FROM INSIDE FINISH FLOOR.

SEE DETAIL KC204, KC429 OR KC430 TO REFERENCE ROUGH OPENING.

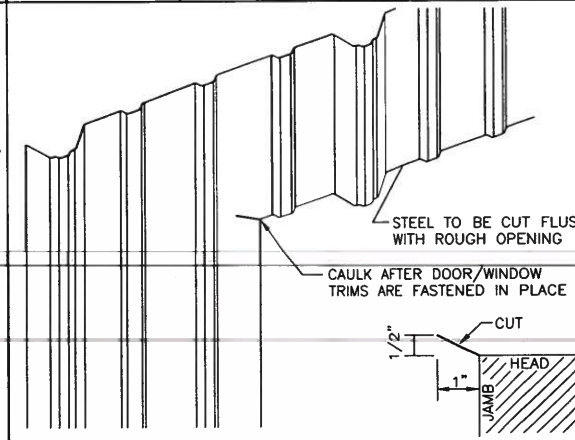
FOR EXTERIOR CORRUGATED METAL, LOCATE THE DOOR OPENING SO THE "FLAT" OF THE METAL FALLS EQUALLY ON EACH SIDE OF THE OPENING.

OPTIONAL GUN NAIL:
REPLACE 10d CC NAILS W/ 0.131 X 3.25" GUN NAILS

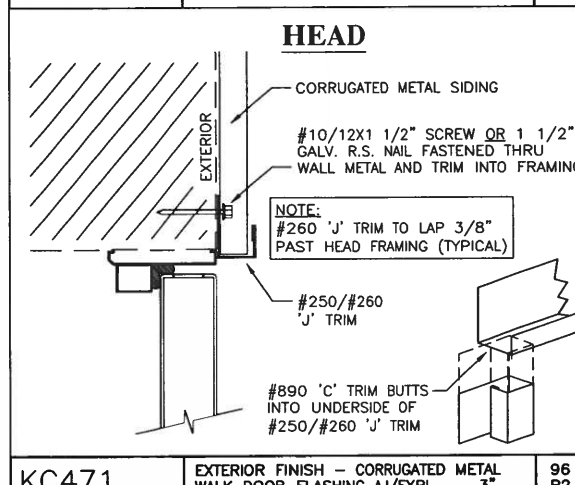
KC432 BYPASS GIRT - NO LINER WALK DOOR WOOD FRAMING WALK DOORS 64 R2



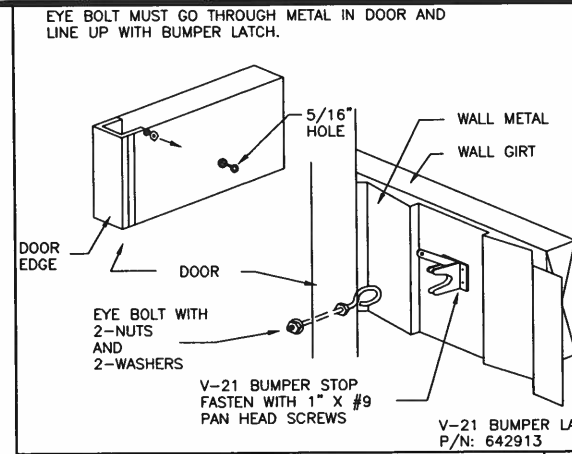
KC460 WALK DOOR INSTALL W/ TEMP BLOCK WALK DOOR WOOD FRAMING WALK DR 3/4" 24 RO



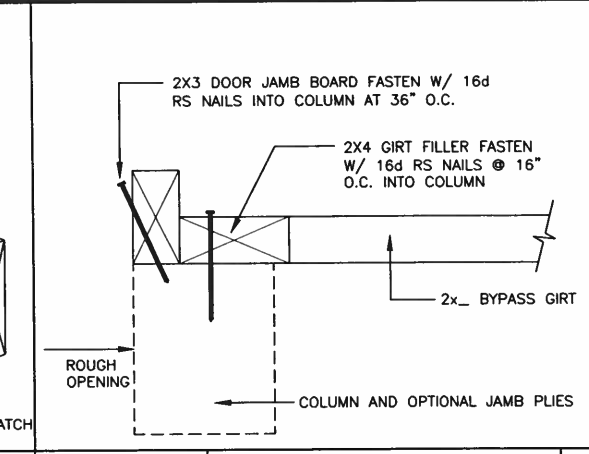
KC470 ANGLE CUT CORNER-CORRUGATED METAL WK DR & WDD FLASHING AJ/EXPI 1/2" 16 RO



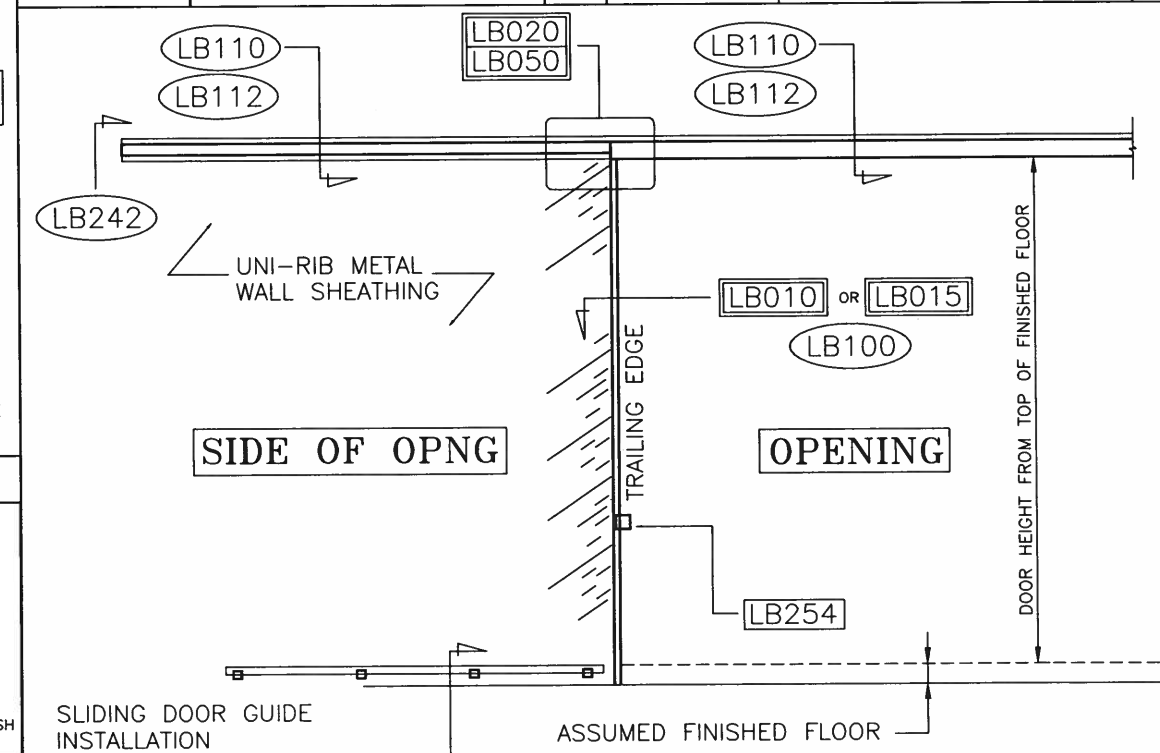
KC471 EXTERIOR FINISH - CORRUGATED METAL WALK DOOR FLASHING AJ/EXPI 3" 96 R2



KC598 V-21 DOOR BUMPER STOP WALK DOOR INSTALLATION 2" 64 ED



LB010 SLDG DR JAMB FRAMING - BYPASS GIRT 3" 96 R1



LB005 SLIDING DOOR OPENING W/ REFERENCES 2017 3.5" WIDE SLDG DR 3/16 6 RO

IF YOU RECEIVE A NATIONAL TRACK YOU WILL USE LB955 TO FASTEN IT TO THE TRACK BOARD.

IF YOU RECEIVE A MWI TRACK YOU WILL USE LB050 TO FASTEN IT TO THE TRACK BOARD.

STATE OF MICHIGAN

THEODORE J. HELMINK

ENGINEER

6201054329

1/14/22

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DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1

DATE: 1/14/2022

SHEET 15 OF 19

JOB-NUMBER 621754

DRWN BY: Brain Shire

CHKD BY:

REV NO: 0

JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02

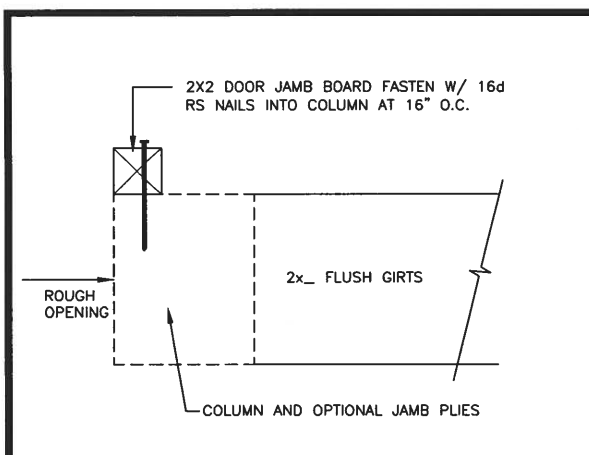
CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843

DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661

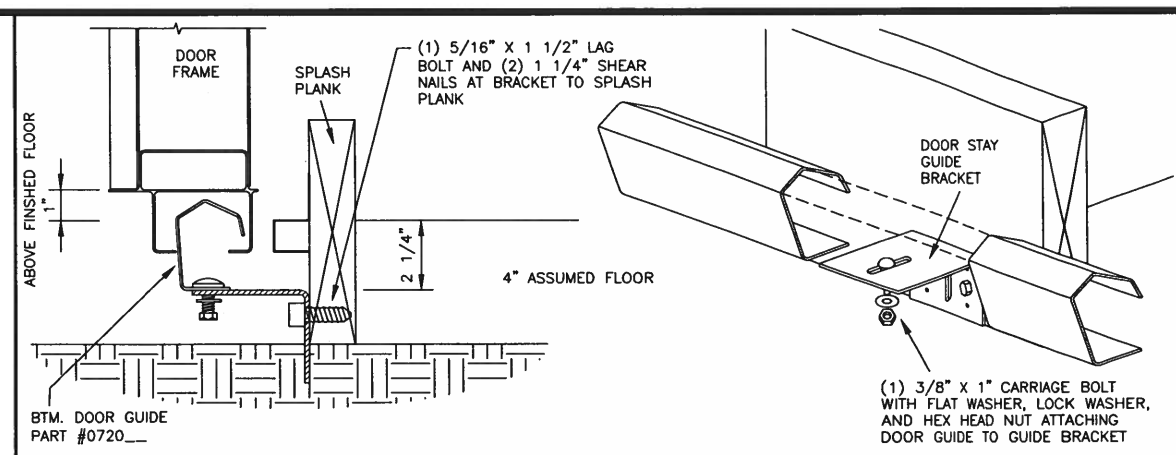
LESTER BUILDING SYSTEMS, LLC

TOLL-FREE: 800-826-4439

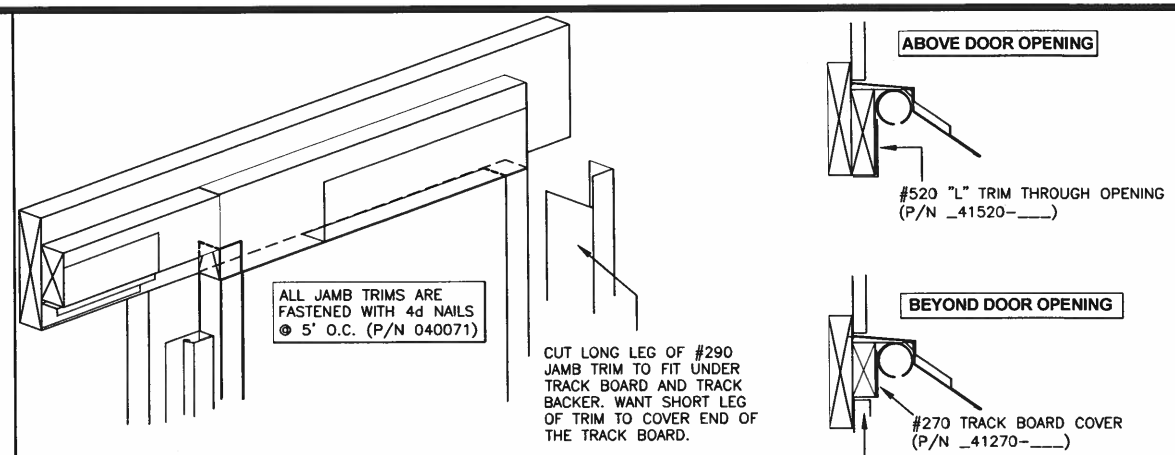
See Titleblock DRWN BY for Extension



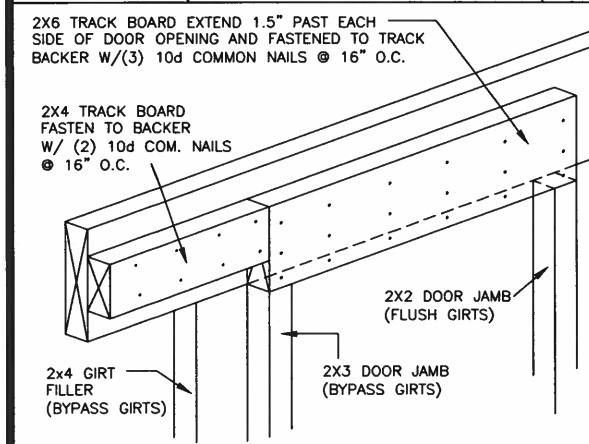
LB015 SLDG DR JAMB FRAMING - FLUSH GIRT 2017 3.5" WIDE SLDG DR 96 RO



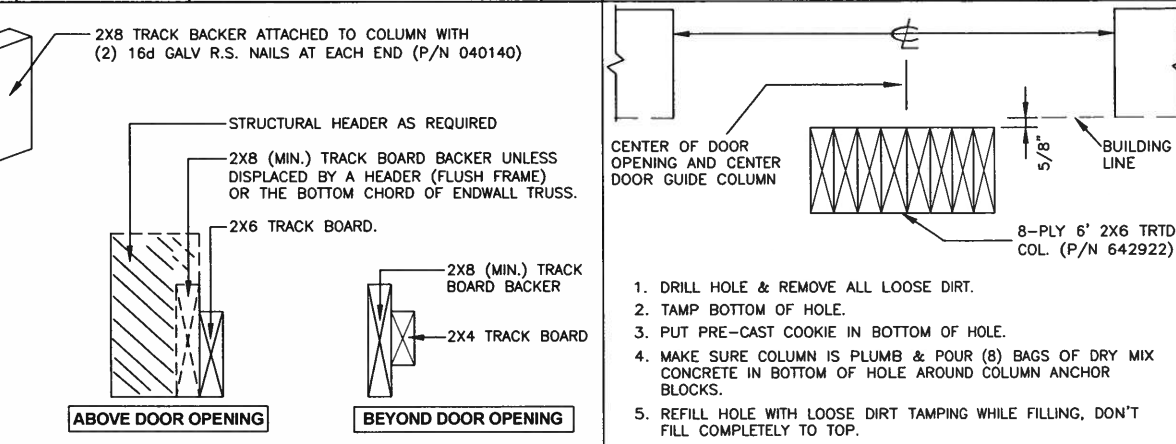
LB060 BOTTOM STAY GUIDE TO SPLASH PLNK 2017 3.5" WIDE SLDG DR 96 RO



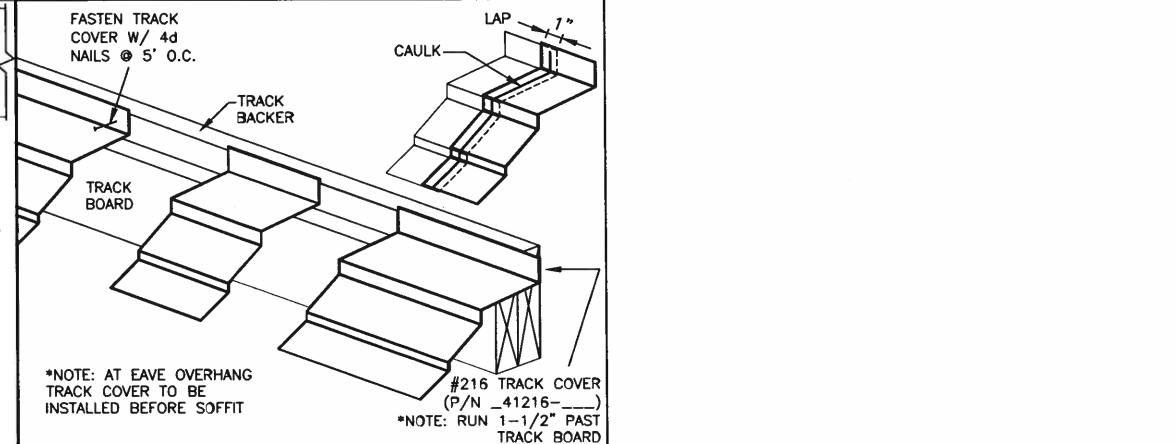
LB110 SLIDING DOOR FLASHING @ OPENING 2017 3.5" WIDE SLDG DR 1.5" 48 RO



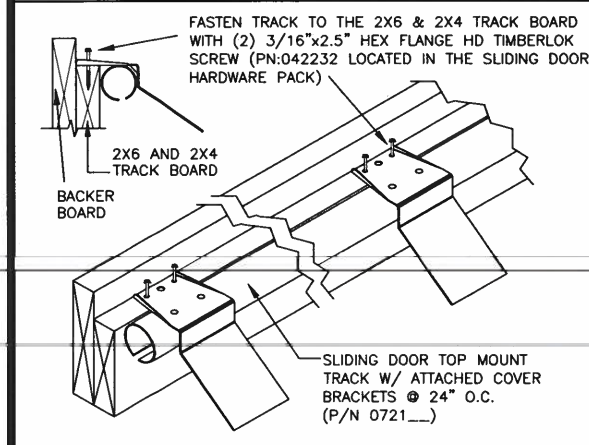
LB020 SLIDING DOOR OPENING FRAMING 2017 3.5" WIDE SLDG DR 1.5 48 RO



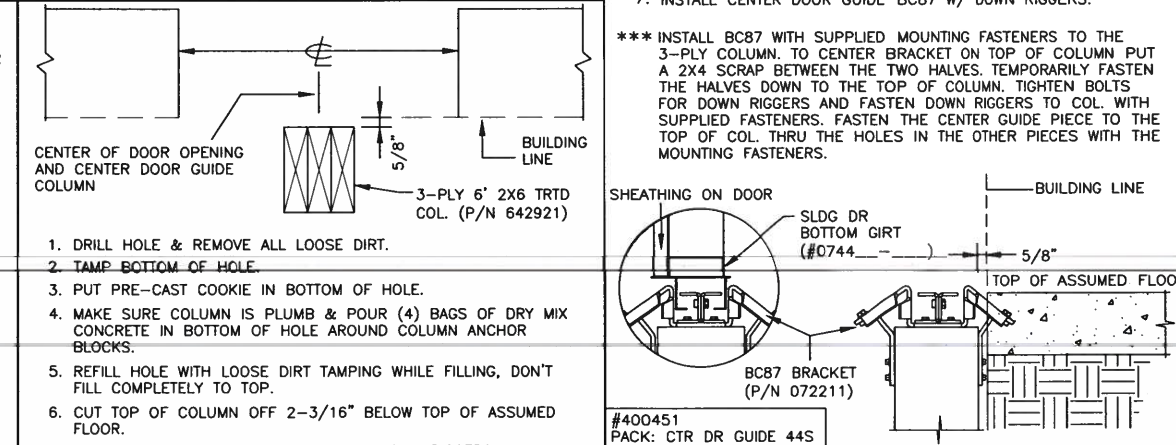
LB060 BOTTOM STAY GUIDE TO SPLASH PLNK 2017 3.5" WIDE SLDG DR 96 RO



LB112 TRACK COVER INSTALLATION 2017 3.5" WIDE SLDG DR 1.5" 48 RO

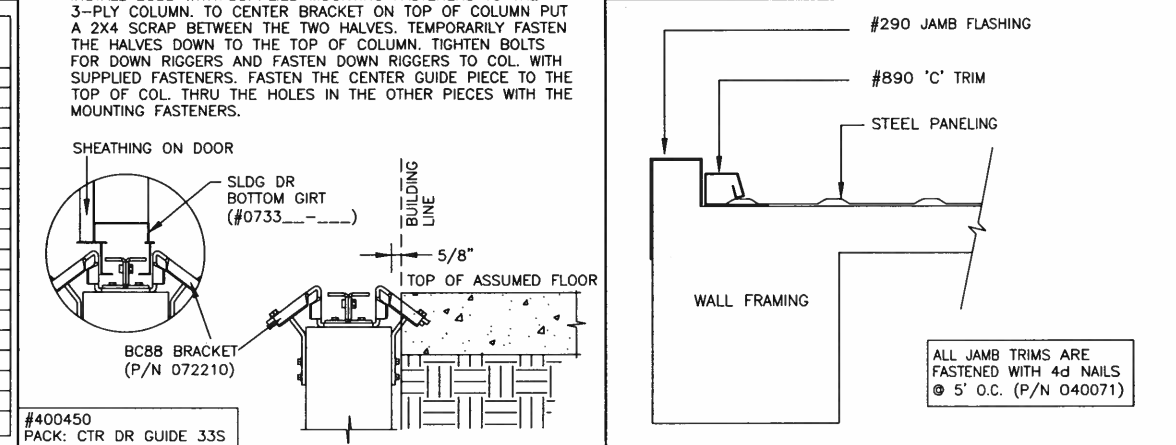


LB050 SLIDING DOOR TRACK INSTALLATION 2017 3.5" WIDE SLIDING DOOR 1.5" 48 RO



LB082 SPLT SLDG DR CENTER DR GUIDE-BC87 2017 3.5" SLDG DR 1.5" 48 RO

LEAF WIDTH	TRACK LENGTHS		STAY GUIDE	# OF BRACKETS
	SINGLE DOOR	SPLIT DOOR		
4'	8'	16'	6'	3
5'	10'	20'	6'	3
6'	12'	12' - 12'	6'	3
7'	14'	14' - 14'	6'	3
7.5'	16'	10' - 20'	6'	3
8'	16'	16' - 16'	6'	3
9'	18'	18' - 18'	6'	3
10'	20'	20' - 20'	8'	3
11'	10' - 12'	12' - 20' - 12'	8'	3
12'	12' - 12'	16' - 16' - 16'	8'	3
12.5'	12' - 14'	20' - 10' - 20'	10'	4
13.5'	14' - 14'	20' - 14' - 20'	10'	4
15'	10' - 20'	20' - 20' - 20'	10'	4
16'	16' - 16'	16' - 16' - 16' - 16'	12'	4
18'	18' - 18'	12' - 20' - 20' - 20'	12'	4
20'	20' - 20'	20' - 20' - 20' - 20'	14'	5
21'	10' - 20' - 12'	12' - 20' - 20' - 20' - 12'	14'	5
24'	16' - 16' - 16'	18' - 20' - 20' - 20' - 18'	16'	5



LB080 SPLT SLDG DR CENTER DR GUIDE-BC88 2017 3.5" SLDG DR 1.5" 48 RO

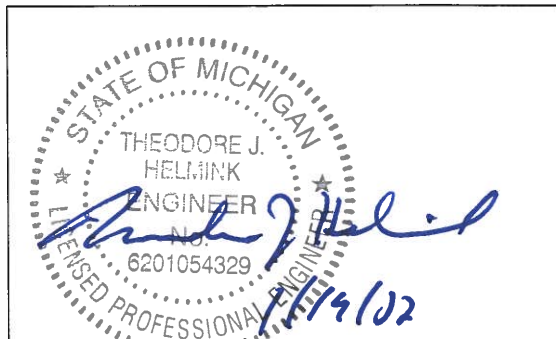


LB082 SPLT SLDG DR CENTER DR GUIDE-BC87 2017 3.5" SLDG DR 1.5" 48 RO

LB052 SLIDING DOOR - TRACK AND DOOR GUIDE 2017 3.5" WIDE SLDG DR 96 RO

LB100 SLIDING DOOR JAMB - FLASHING 2017 3.5" WIDE SLDG DR 3" 96 RO

DATE: 1/14/2022 SHEET 16 OF 19
 JOB-NUMBER 621754
 DRWN BY: Brain Shire
 CHKO BY:
 REV NO: 0
 JOB DESCRIPTION: 91 x 120 x 26'10" Embedded - LQ 36662-02
 CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843
 DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48861
 LESTER BUILDING SYSTEMS, LLC. TOLL-FREE: 800-926-4439 See Titleblock DRWN BY for Extension



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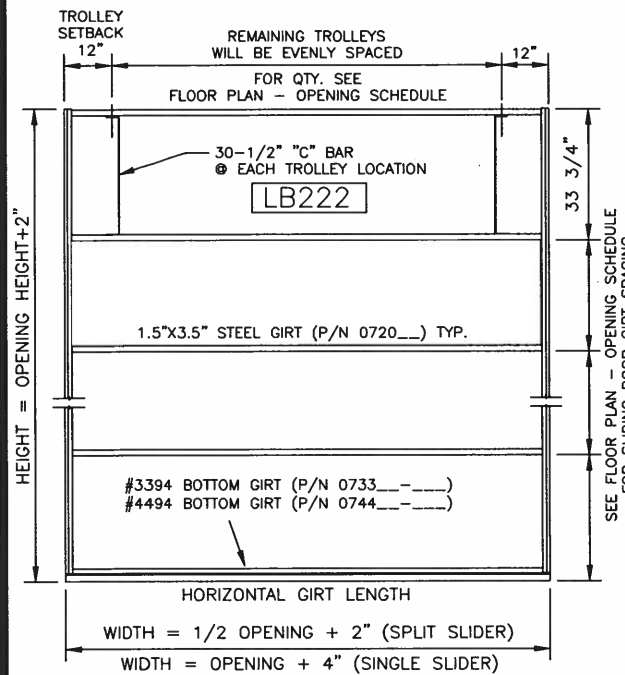
DA003 STRUCTURAL DESIGN - ONLY FULL ENGINEER STAMP BOX 54 R1

REFER TO
LB220
FOR TROLLEY HOLE
AND SQUASH
BLOCK

#10 X 1" SD3 PANCAKE QUAD SELF DRILLING SCREW
USED TO FASTEN ALL 3300 SERIES FRAME PARTS TO
GIRTS. (P/N 072202)
#2 SQUARE OR COMBO DRIVE

1/4-20 X 1 1/4" MD4 PANCAKE T3 SELF DRILLING
SCREW. USED TO FASTEN ALL 4400 SERIES FRAME
PARTS TO GIRTS. (P/N 072207)
USE T3 BIT FOR THIS SCREW

SQUARE DOOR PRIOR TO FASTENING GIRTS



SLIDING DOOR LEAF HARDWARE KITS	QTY. OF TROLLEYS
400430 PACK:SLDG DR LEAF <=500# 33S	2
400431 PACK:SLDG DR LEAF 501#-750# 33S	3
400432 PACK:SLDG DR LEAF 751#-1000# 33S	4
400433 PACK:SLDG DR LEAF 1001#-1250# 33S	5
400440 PACK:SLDG DR LEAF <=500# 44S	2
400441 PACK:SLDG DR LEAF 501#-750# 44S	3
400442 PACK:SLDG DR LEAF 751#-1000# 44S	4
400443 PACK:SLDG DR LEAF 1001#-1250# 44S	5

VERTICAL TO TOP GIRT **LB198**

VERTICAL TO MWI GIRT **LB200** SINGLE DOOR
LB202 SPLIT DOOR

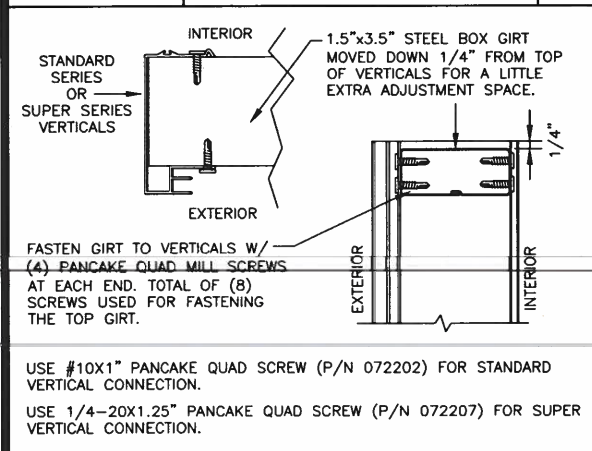
IF C STYLE GIRTS ARE LISTED ON THE PROJECT THEN REFER TO FOR THE EXTRA FASTENER. **LB965

VERTICAL TO BTM. GIRT **LB210**

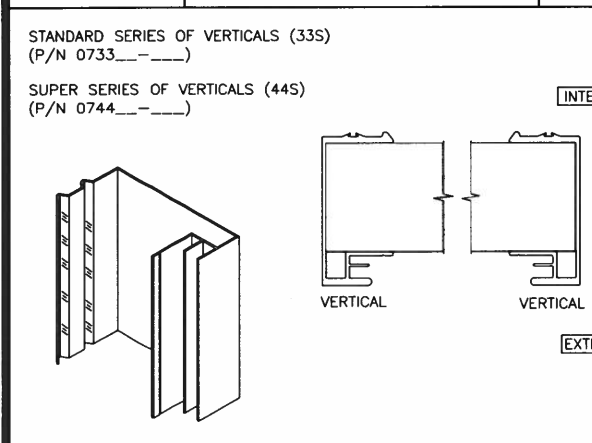
ADDITIONAL GIRT REQUIRED FOR OPTIONAL WAINSCOAT **LB204**

STANDARD VERTICALS ARE LABELED #33
SUPER VERTICALS ARE LABELED #44

LB195 SLIDING DOOR LEAF ASSEMBLY 2017 3.5" WIDE SLDG DR 3/8" 12 RO

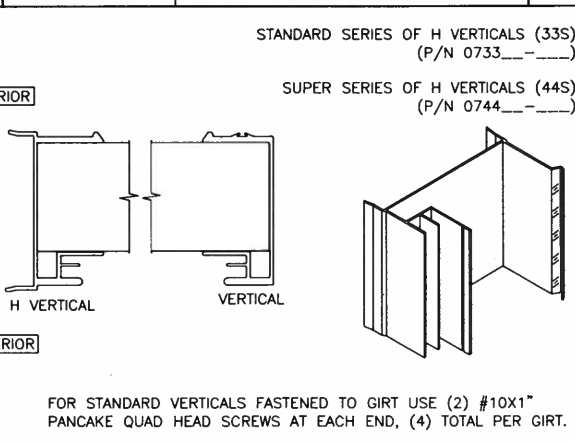


LB198 BOX GIRT TO TOP OF VERTICALS CONFIG. 2017 3.5" WIDE SLD DR 3" 96 RO



LB202 SPLIT SLIDING DOOR CONFIGURATION 2017 3.5" WIDE SLDG DR. 3" 96 RO

LB210 VERTICAL TO BOTTOM GIRT CONFIGURATION 2017 3.5" WIDE SLDG DR 3" 96 RO



LB204 TRACK COVER ENDCAP INSTALLATION 2017 3.5" WIDE SLDG DR 3" 96 RO

LB242 TRACK COVER ENDCAP INSTALLATION 2017 3.5" WIDE SLDG DR 3" 96 RO

MARK LOCATION OF TROLLEYS ON TOP GIRT OF DOOR ASSEMBLY. SEE **LB195** AND FLOOR PLAN - OPENING SCHEDULE FOR QTY OF TROLLEYS.

VERIFY DIRECTION OF GIRT PRIOR TO DRILLING HOLES. THE 1" DISTANCE IS TO BE TOWARDS THE INSIDE OF THE BUILDING.

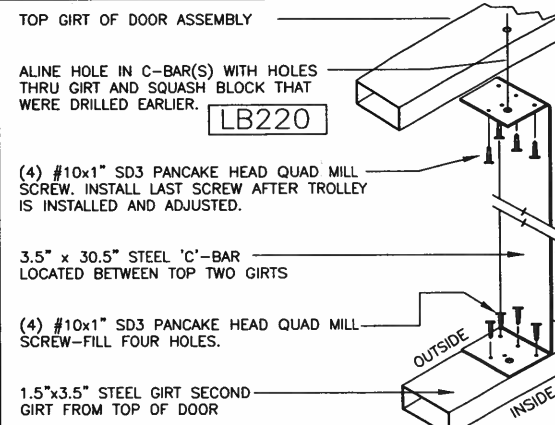
DRILL A 9/16" DIA. HOLE THRU THE GIRT.

INSERT SQUASH BLOCK INTO GIRT. LOCATE BLOCKING TO BE CENTERED AND DRILL THRU SQUASH BLOCK.

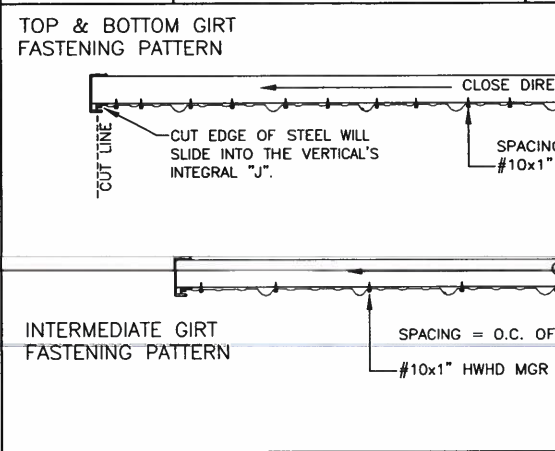
SQUASH BLOCK 1-1/4"x3-3/8"x18" (P/N 500188)

IF SQUASH BLOCK IS MOVING HOLD IN PLACE WITH A 1" SCREW

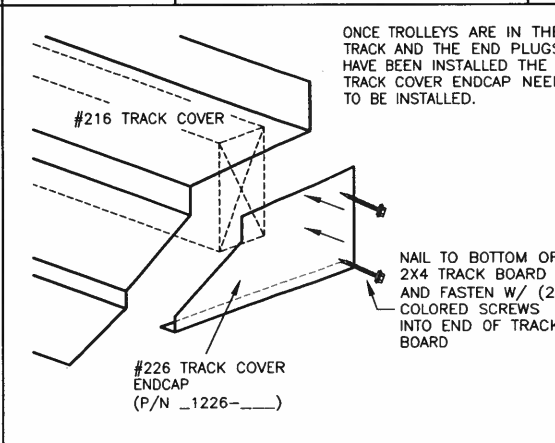
LB220 HOLES FOR TROLLEY IN TOP GIRT 2017 3.5" SLDG DR 3" 96 RO



LB222 C-BAR INSTALLATION & TROLLEY HOLES 2017 3.5" WIDE SLDG DR 1.5" 48 RO

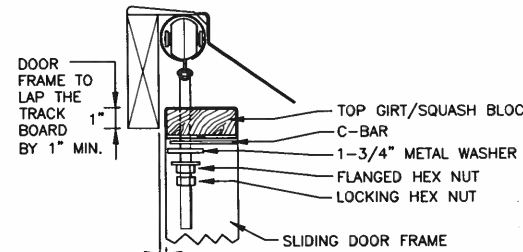


LB230 STEEL PANEL FASTENING TO GIRTS 2017 3.5" WIDE SLDG DR 3/4" 24 RO



LB240 TROLLEY ADJUST W/ BOX GIRT 2017 3.5" WIDE SLDG DR 2" 64 RO

LB242 TRACK COVER ENDCAP INSTALLATION 2017 3.5" WIDE SLDG DR 3" 96 RO

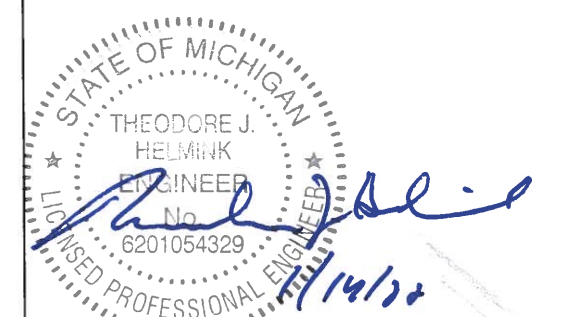


NOTE: MINIMIZE THE GAP BETWEEN THE DOOR AND TRACK BOARD BUT DO NOT ALLOW DOOR TO RUB - DOOR SPECIFIC ADJUSTMENTS ARE REQUIRED.

1. INSERT TROLLEY "DROP BOLT" DOWN THROUGH DRILLED HOLE IN TOP GIRT, SQUASH BLOCK AND "C"-BAR.
2. ASSEMBLE SLOTTED WASHER, FLANGE NUT AND LOCK NUT. TURN THESE ONTO THE DROP BOLT.
3. HANG THE DOOR BY SLIDING THE TROLLEYS INTO THE ONE END OF THE DOOR TRACK. MAKE SOME VERTICAL ADJUSTMENTS BY TURNING THE FLANGE NUT UP OR DOWN THE THREADED DROP BOLT. USE (2) OPEN END WRENCHES TO TIGHTEN THE LOCK NUT AGAINST THE FLANGE NUT.
4. NOW ADJUST THE DOOR FRAME IN CLOSER TO THE WALL OR OUT AWAY FROM THE HEADER. FIT A WRENCH ONTO THE FLAT-SIDED EDGES OF THE DROP BOLT. TURN THE BOLT SO THE OFF-SET IN THE BOLT MOVES THE FRAME IN OR OUT FROM THE OPENING.
5. WITH THE DOOR FRAME ADJUSTED BOTH UP AND DOWN PLUS IN AND OUT, SECURE THE SLOTTED WASHER IN PLACE. DRIVE #10X1" PANCAKE HD SCREW INTO ONE OF THE HOLES IN THE WASHER AND ATTACH TO THE GIRT. KEEPS THE DROP BOLT FROM TURNING.
6. ONCE DOOR IS ADJUSTED YOU WILL NEED TO PUT THE TRACK END PLUGS IN PLACE PRIOR TO PUTTING TRACK COVER END CAPS ON.

LB240 TROLLEY ADJUST W/ BOX GIRT 2017 3.5" WIDE SLDG DR 2" 64 RO

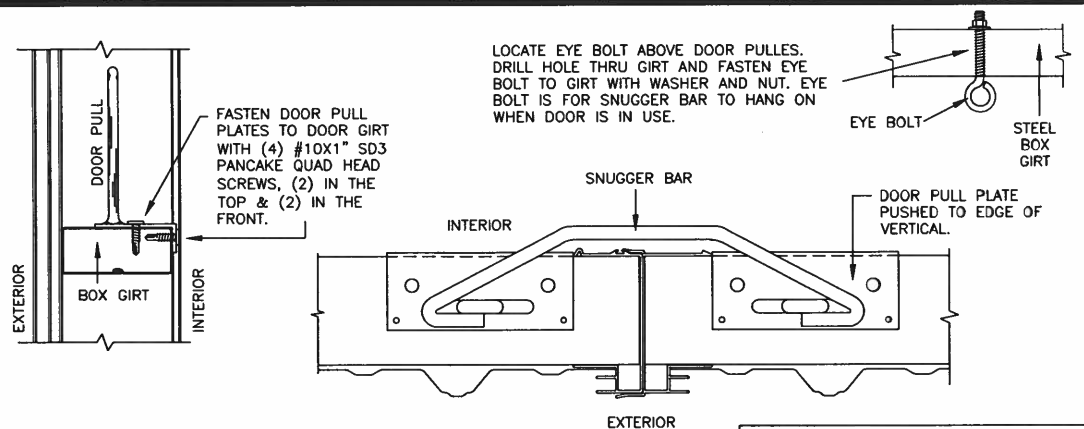
NOTE: TO USE UP INVENTORY OF SELF DRILLING SCREWS YOU WILL RECEIVE 3/4" SELF DRILL SCREWS (P/N 041083) IN PLACE OF THE #10X1" PIERCING SCREWS



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DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1

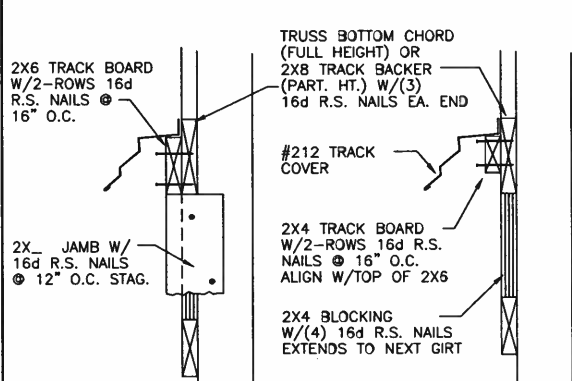
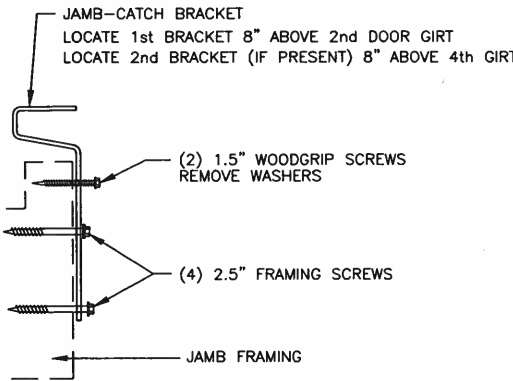
DATE: 1/14/2022
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LESTER BUILDING SYSTEMS, LLC
TOLL-FREE: 800-826-4439
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LOCATE EYE BOLT ABOVE DOOR PULLES. DRILL HOLE THRU GIRT AND FASTEN EYE BOLT TO GIRT WITH WASHER AND NUT. EYE BOLT IS FOR SNUGGER BAR TO HANG ON WHEN DOOR IS IN USE.

NOTE:
LOCATE DOOR PULL 12" UP FROM SECOND INTERMEDIATE RAIL FROM BOTTOM.

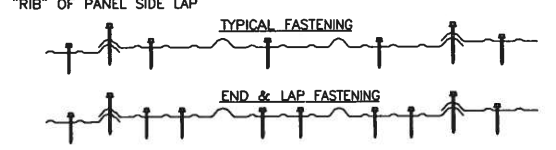
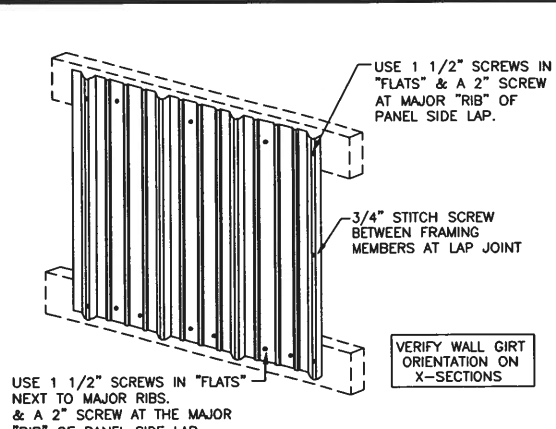
LB252	DOOR PULL HANDLE - SPLIT SLDG DR 2017 3.5" WIDE SLDG DR.	96 RO
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SECTION @ OPNG SECTION PAST OPNG

LB254	JAMB CATCH @ DOOR OPENING 2017 3.5" WIDE SLDG DR.	96 RO
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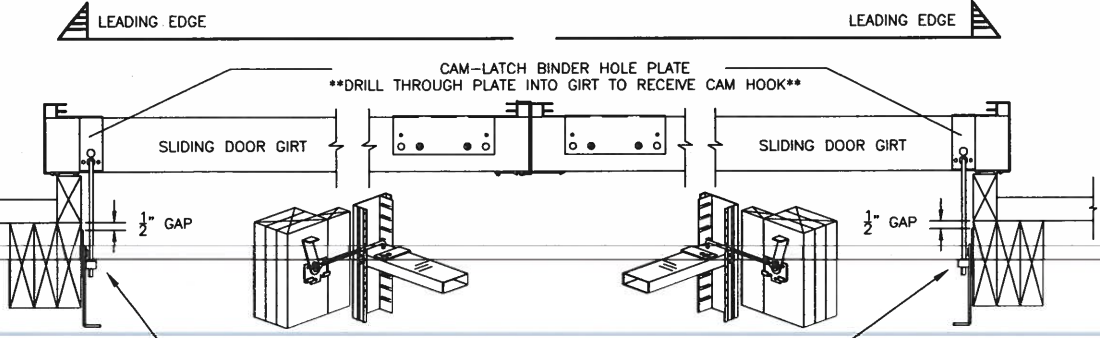
LG250	INSET FLUSH CLM, FULL OR PART. HEIGHT STD. SLIDING DOOR HEAD FRAMING	32 R1
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***** IMPORTANT FASTENER TRANSITION NOTES ***
YOU MAY RECEIVE THE FOLLOWING SCREWS:**

- | | | |
|--|-----------|--------------------------------------|
| OLD | OR | NEW |
| #041071- (#10/12 x 1-1/2" W/ 1/4" HWH) | | #041003- (#12 x 1-1/2" W/ 5/16" HWH) |
| #041074- (#10 x 2" W/ 1/4" HWH) | | #041005- (#12 x 2-3/8" W/ 5/16" HWH) |
| #042290 (Orange Master Driver Bit) | | #042292 (Red Master Driver Bit) |

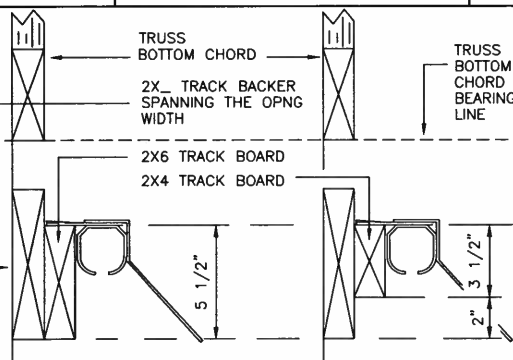
MF043	SCREW FASTENING PATTERN #2- WALLS UNI-RIB PNLS W/#12X3/4 STITCH SCREWS	24 R2
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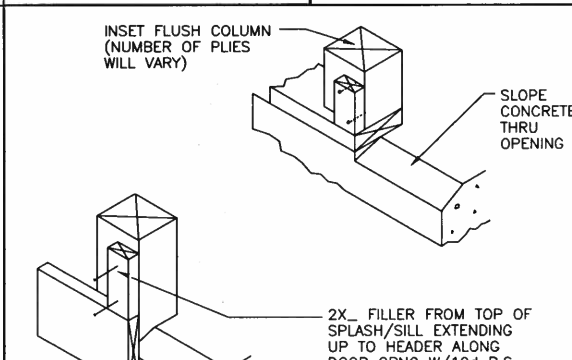
CAM LATCH BINDER SYSTEM (2) PER SPLIT SLIDER. ONE AT EACH LEADING EDGE. FASTEN W/(3) #10x1-1/2" WOOD SCREWS SET BACK 1/2" FROM COLUMN FACE.

LOCATE CAM-LATCH BINDERS BETWEEN THE (2) JAMB CATCH IF PRESENT ON YOUR DOOR.

LB258	CAM LATCH BINDER SYSTEM - SPLIT 2017 3.5" SPLIT SLDG DR.	48 RO
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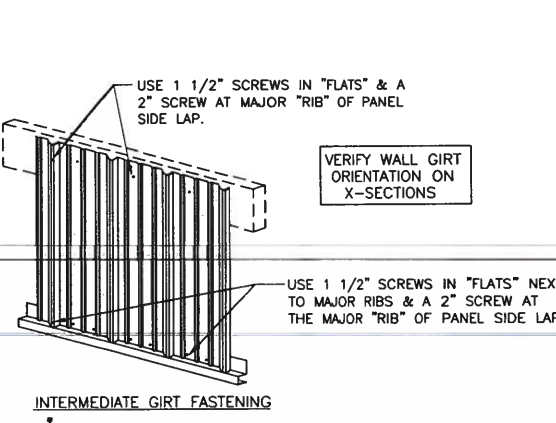


ABOVE DOOR OPENING TO THE SIDE OF OPENING



LG213	TRACK BOARD LOWER THAN GABLE SLD DR	2" 64 R1
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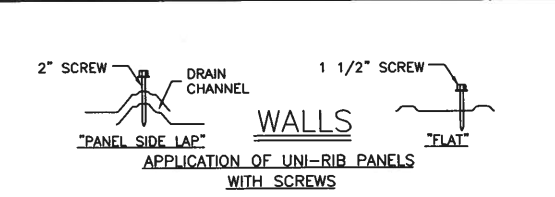
LK205	2X FILLER FOR INSET FLUSH COLUMN OVHD. DOOR JAMB FRAMING	64 R2
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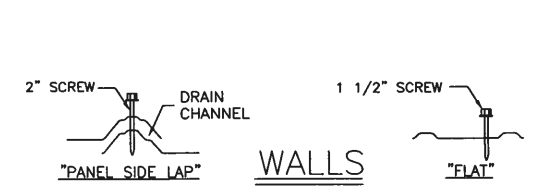
***** IMPORTANT FASTENER TRANSITION NOTES ***
YOU MAY RECEIVE THE FOLLOWING SCREWS:**

- | | | |
|--|-----------|--------------------------------------|
| OLD | OR | NEW |
| #041071- (#10/12 x 1-1/2" W/ 1/4" HWH) | | #041003- (#12 x 1-1/2" W/ 5/16" HWH) |
| #041074- (#10 x 2" W/ 1/4" HWH) | | #041004- (#12 x 2-3/8" W/ 5/16" HWH) |
| #042290 (Orange Master Driver Bit) | | #042292 (Red Master Driver Bit) |

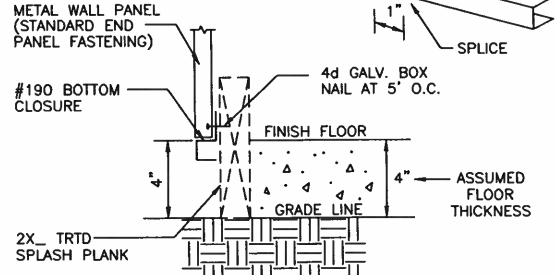
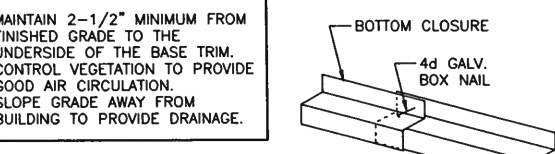
MF044	SCREW FASTENING PATTERN - WALLS UNI-RIB PANELS	24 R4
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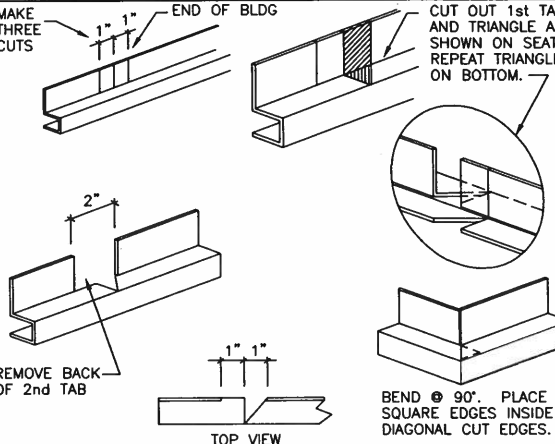
- USE 1 1/2" HWH SCREWS WITH EPDM RUBBER WASHER AT "FLATS" OF PANEL. DO NOT OVER TIGHTEN.
- USE 2" HWH SCREWS WITH EPDM RUBBER WASHER AT MAJOR "RIB" OF PANEL. DO NOT OVER TIGHTEN.
- USE 3/4" HWH STITCH SCREW WITH EPDM RUBBER WASHER BETWEEN FRAMING MEMBERS AT ALL LAP JOINTS.
- PRIOR TO PANEL APPLICATION, AVOID WALKING ON MAJOR "RIBS" IN ORDER TO PREVENT DAMAGE.
- PROVIDE A MINIMUM GAP OF 1/8" BETWEEN ANY HORIZONTAL SURFACE AND THE BOTTOM OF THE UNI-RIB PANELS.



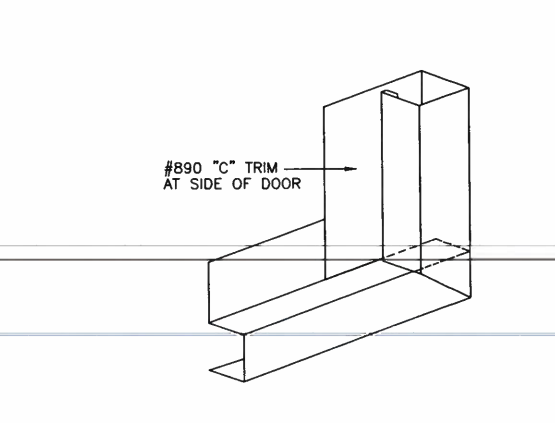
- USE 1 1/2" HWH EPDM AT "FLATS" OF PANEL. DO NOT OVER TIGHTEN.
- USE 2" HWH EPDM AT MAJOR "RIB" OF PANEL. DO NOT OVER TIGHTEN.
- AT INTERMEDIATE GIRTS CONNECTIONS, LOCATE SCREWS INSIDE "FLATS", AND AT THE MAJOR "RIB" OF PANEL SIDE LAP.
- AT PANEL LAP SPLICES AND AT THE ENDS, LOCATE SCREWS IN "FLATS" NEXT TO MAJOR RIBS, AND ON MAJOR "RIB" OF PANEL SIDE LAP.
- PRIOR TO PANEL APPLICATION, AVOID WALKING ON MAJOR "RIBS" IN ORDER TO PREVENT DAMAGE.
- PROVIDE A MINIMUM GAP OF 1/8" BETWEEN ANY HORIZONTAL SURFACE AND THE BOTTOM OF THE UNI-RIB PANELS.



MF113	#190 BOTTOM CLOSURE TO TREATED SPLASH PLANK, 4" ABOVE GRADE, UNI-I	48 R1
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MF142	#190 BOTTOM CLOSURE - PROPOSED CORNER TRIM 1.5"	48 EO
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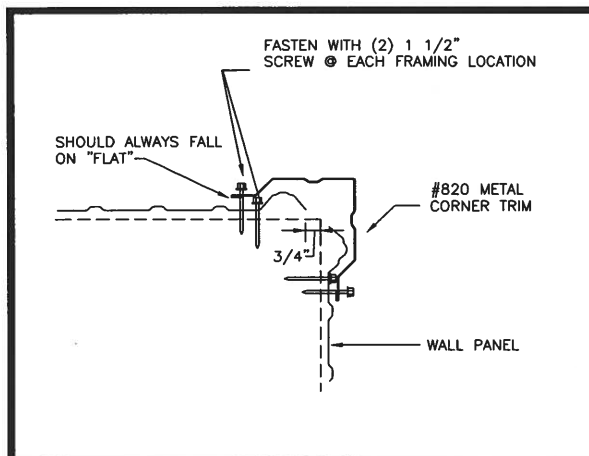
MF143	#890 TRIM - DOORS SIDE JAMB TRIMS 1.5"	48 E1
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STATE OF MICHIGAN
THEODORE J. HELMINK
ENGINEER
LICENSED PROFESSIONAL ENGINEER
6201054329
1/19/22

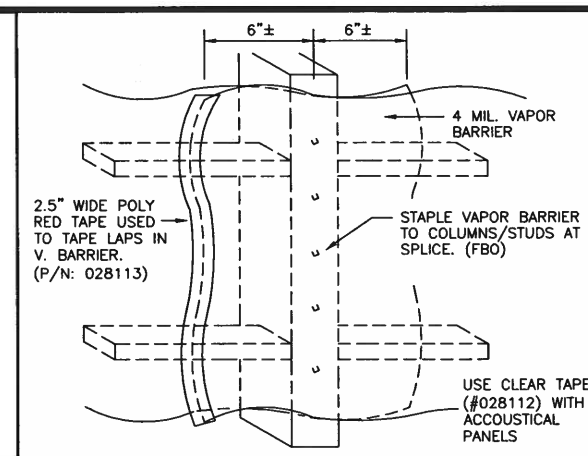
THIS CERTIFICATION IS LIMITED TO THE STRUCTURAL DESIGN OF THE FRAMING AND COVERING PARTS MANUFACTURED BY LESTER BUILDING SYSTEMS, ALL OTHER ITEMS SUCH AS EQUIPMENT, VENTILATION, PLUMBING, ELECTRICAL, ERECTION, DOORS, FIRE RESISTIVE REQUIREMENTS, INSPECTION, CONCRETE FLOORS, ETC. IS THE RESPONSIBILITY OF OTHERS.

DA003	STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL	56 R1
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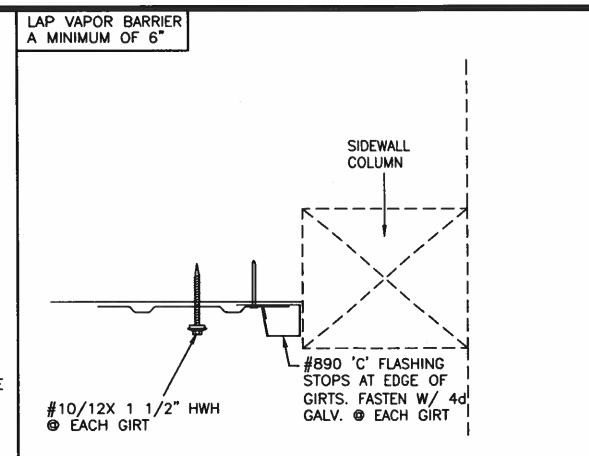
DATE: 1/14/2022 SHEET 18 OF 19
JOB NUMBER 621754
DRWN BY: Brain Shire
CHKD BY:
REV NO: 0
JOB DESCRIPTION: 91 x 120 x 26'10. Embedded - LQ 36662-02
CUSTOMER: Wonderlnd Marine West 5796 E Grand River Ave Howell, MI 48843
DEALER: Miller Construction & Equipment 276 West M-55 West Branch, MI 48661
LESTER BUILDING SYSTEMS, LLC
TOLL-FREE: 800-826-4439
See Titleblock DRWN BY for Extension



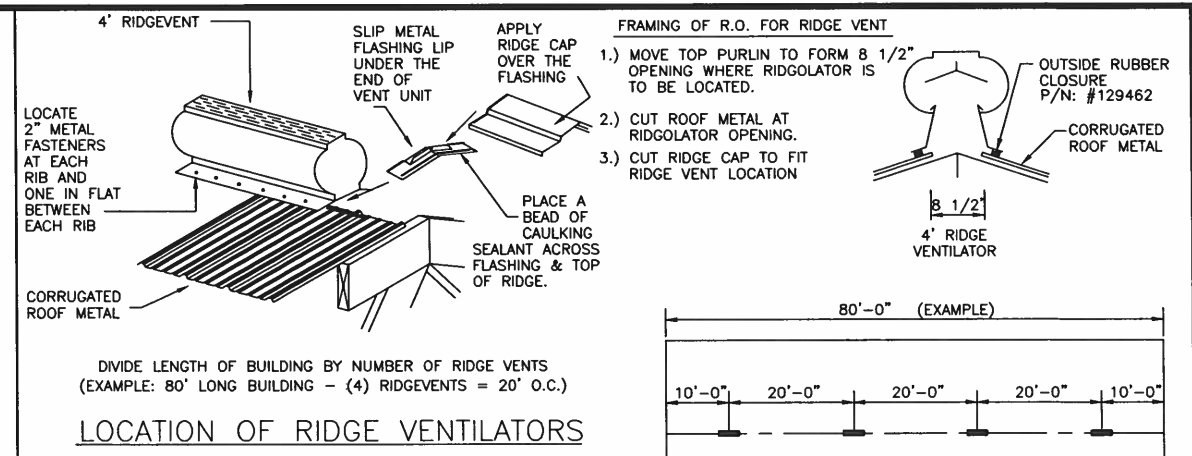
MF511 CORNER TRIM FASTENING SCREW UNI-FRAME AND T&C 2"=1 64 R3



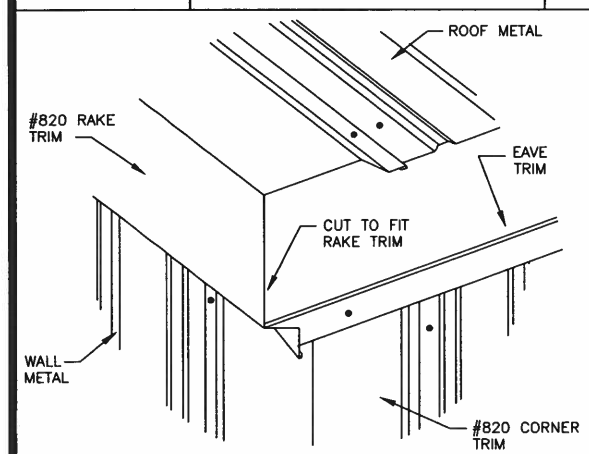
NF001 VAPOR BARRIER FASTENING INTERIOR LINER 32 R1



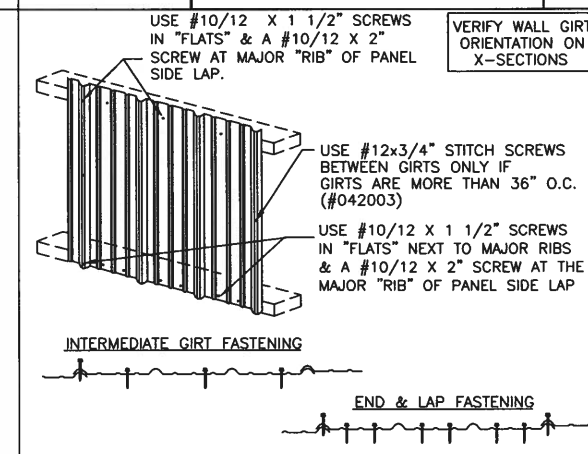
NF026 LINER ONLY ONE SIDE, STOPS AT COL. METAL INTERIOR LINER PANEL 96 R1



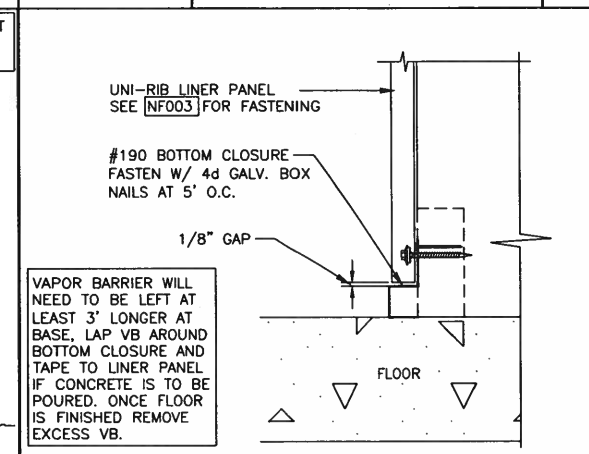
OA016 LOCATION OF 4' OR 10' RIDGE VENTS RIDGE VENTILATION 1/2" 16 R1



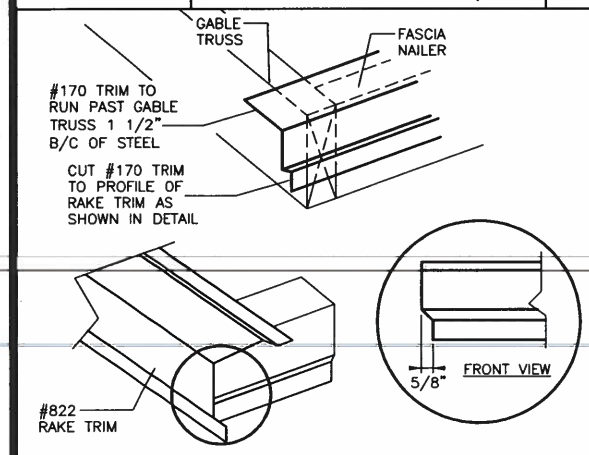
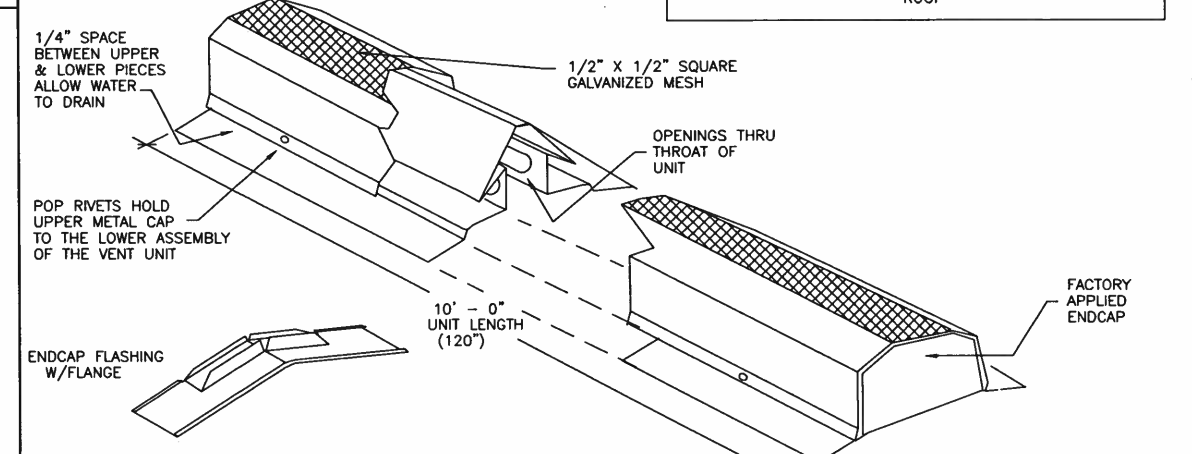
MF530 TRIM CONFIG AT EAVE LINE CORNER WALL METAL & TRIM FASTENING 3/4"=1 24 R3



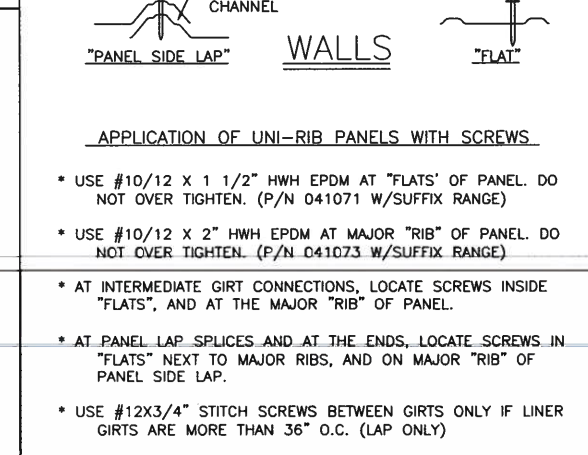
NF030 SCREW PATTERN - LINER WALLS UNI-RIB PANELS 3/4"=1 24 R1



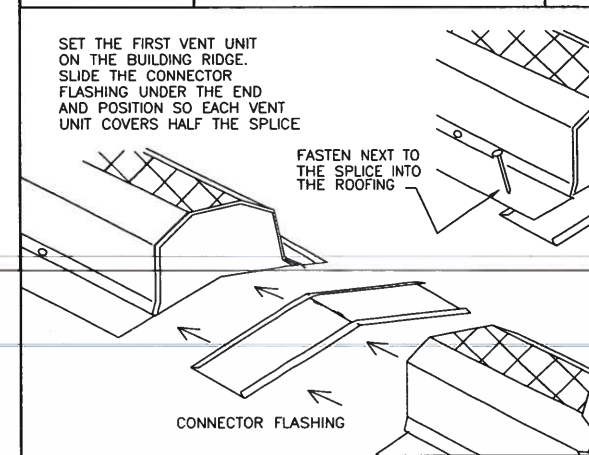
OA025 CONNECTOR FLASH'G AND VENT CONNECT FOR CONTINUOUS RIDGEVENT RO



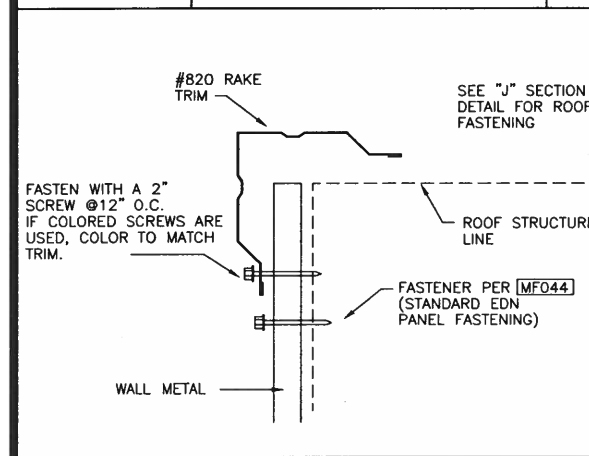
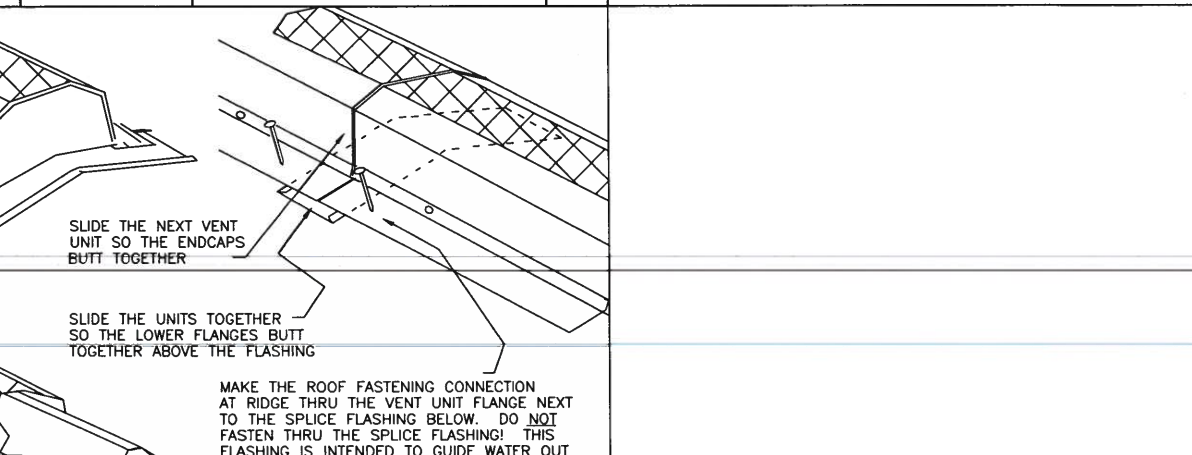
MF552 #170 EAVE TRIM CORNER-NO OVHG METAL FLASHING - FIELD WORK 1.5 48 RO



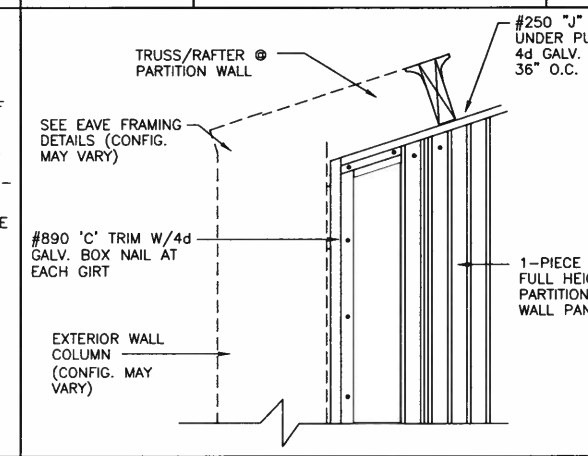
NF020 LINER PANEL TO UNDERSIDE OF PURLINS PARTITION WALL FINISHING 2" 64 R1



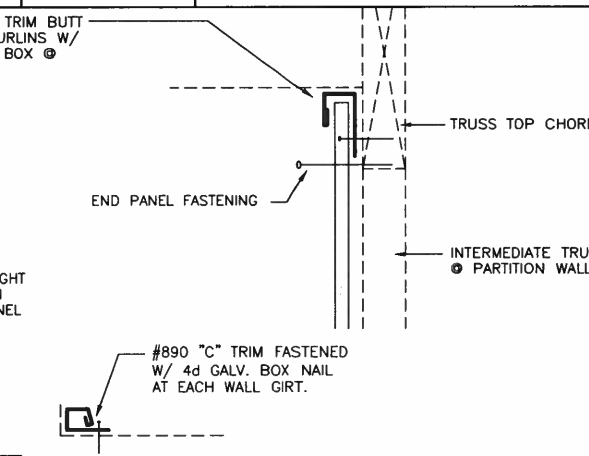
OA026 RIDGE VENT - #152 RIDGE CAP CONN. LOW PROFILE RIDGE VENT 2:1 64 RO



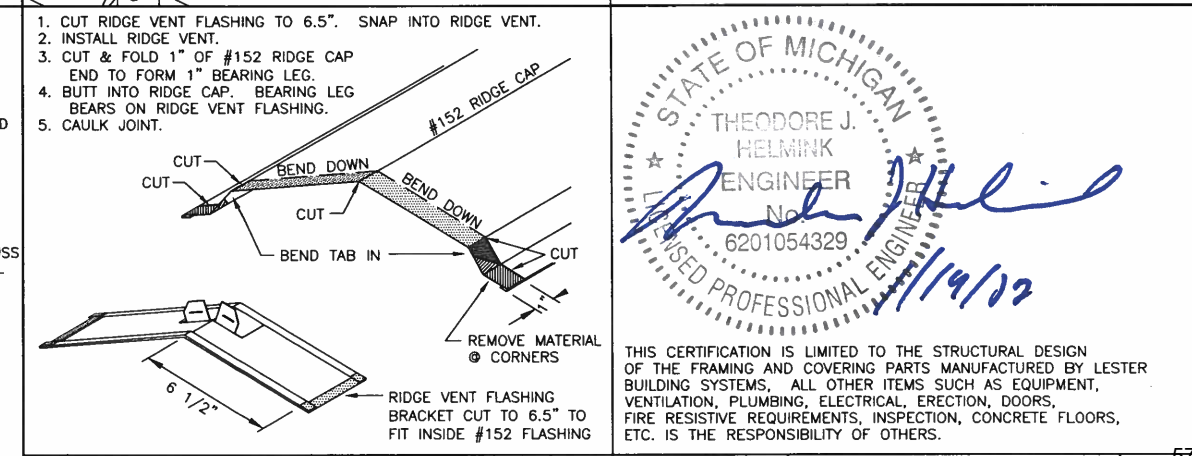
MF738 #820 RAKE TRIM TO WALL METAL WALL METAL & TRIM FASTENING 3" 96 R4



DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1



DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1



DA003 STRUCTURAL DESIGN - ONLY ENGINEER STAMP BOX FULL R1



DATE: 1/14/2022 SHEET 19 OF 19
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 CUSTOMER: Wonderland Marine West 5796 E Grand River Ave Howell, MI 48843
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 LESTER BUILDING SYSTEMS, LLC TOLL-FREE: 800-826-4439
 See Titleblock DRWN BY for Extension

Land Use Waiver – PW19-062

Kelly,

Issued 04/29/2019

The Misty Meadow Project was held up by the Township. I missed the summer work schedule in 2019, until September 2019. Fall Rain hit in October. This Permit Expired 4/28/2020.

Land Use Waiver P20-043

March 23, 2020, Covid 19 Hit and the State was closed down until June 1, 2020. In July my contractor Steve Basic went into the hospital with Stage 4 Kidney Failure. He worked when he could. I worked with Steve's Guys through October 2020. Covid 19 still prevalent.

Lane Use Waiver

Continued on Project beginning in May 2021. In June it rained 6" in 16 days. In August it rained 5.5", August 12, 2021 we had 4.5" in one day. In September it rained 4.9" in 9 days. In October it rained 5.6" in 19 days. From May until December 2021, it rained over 30". We had to stop November 10, as ground was too muddy. It is time for sand. Sub Grade is OK per Andy Heise from Tetra Tech. October 22, 2021, Brent Lavanway from Boss gave me a go ahead for the sand.



Genoa Township

2911 Dorr Road, Brighton, Michigan 48116
 Phone: 810-227-5225 Fax: 810.227.3420 www.genoa.org

Planning & Zoning

P20-043

Issued: 04/16/2020
 Expires: 04/16/2021

Non-Residential Land Use
Site Work

LOCATION	OWNER	APPLICANT
CHILSON RD 4711-20-200-031 Zoning: RR	GFG INVESTMENT PROPERTIES LLC 15264 BAILEY ST TAYLOR MI 48180-5177 Phone: E-Mail	BHI Contracting Inc. 2365 Forest Hills Drive Lake Orion MI 48359 Phone: (248) 249 7935 E-mail:

Work Description: PRIVATE ROAD construction - including grading, site work, storm sewer, landscaping, and private road installation.

PROJECT INFORMATION:

Construction Value: _____ **Total Square Feet:** 01
Planning Commission Approval: 03/11/2019 & 05/09/2016 **ZBA Approval:** _____ **Board Approval:** 06/06/2016

Comments/ Conditions: **FINAL EXTENSION. This project was approved in 2016 and received an amended approval in 2019 for a gravel surface roadway. The project has failed to proceed and is being given this final extension to show progress towards completion. If the project does not proceed meaningfully towards substantial completion by April 18, 2021 additional approvals will be needed by the Township Planning Commission and Township Board.**

All conditions of prior approvals and permits remain. No land use permits for homes will be issued until the road, landscaping, storm sewer, and other related improvements are completed. All requirements of construction and site plan approval shall be complied with. The project may be phased as shown on the approved plans. Staff agrees that although different than shown on the approved plans, Phase 1 can include lots 1-5 and phase 2 can include lots 6-9.

Permit Item	Permit Fee	Fee Basis	Item Total
Commercial/Industrial - Non-Residential	Permit Fee	1.00	150.00

Fee Total: \$150.00
 Amount Paid: \$150.00

Balance Due: \$0.00

Issuance of this permit confirms the applicants certification that all information and data attached to and made part of this permit are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this permit as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This permit authorizes on-site inspections by an official representative of Genoa Charter Township. This permit is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.



Site Plan Approval Extension
GENOA CHARTER TOWNSHIP

2911 Dorr Road, Brighton, Michigan 48116
ph: (810) 227-5225 | fax: (810) 227-3420 | www.genoa.org

PROJECT INFORMATION

Project Name: Misty Meadows Private Rd. Property Address: S. Latson Road Parcel No.: 11-20-200-030 thru 039
Owner Name: GFG Investment Properties Address: 15264 Bailey, Taylor MI 48180 Phone: 734-795-0078
Type of Approval: Site Plan Ext.
Date of PC approval: 05-09-16, amendment 03-11-19 Date of Board Approval: 06-06-16

LEGISLATIVE APPROVAL RECORD

Original Approval: Type: Site Plan Date of PC Approval: 05-09-16 original, 03-11-19 amendment
Date of Board Approval: 06/06/16 Valid Period for Original Approval: 12 Months
Extension Approval: (if applicable)
Date Written Application for a PC Extension is Filed: amendment for gravel 1/23/19
Date PC Authorized Extension: via amendment 3/11/19 Valid Through: 3/11/20
Date Board Authorized Extension: na Have there been prior PC/Board Extensions? [x]no []yes

ADMINISTRATIVE APPROVAL RECORD

#1. Date written application for an extension is filed: March 10, 2020
[X] Approval: there have been no changes to the Zoning Ordinance that would affect the site plan.
This extension is valid through: March 11, 2021 provided actual physical construction of a substantial nature has commenced and proceeded meaningfully toward completion within the 12 month extension.
[] Planning Commission review is required because there have been changes to the zoning ordinance that could affect the site plan therefore the Planning Commission for the site plan, and the Township Board for the impact assessment and special use, if applicable, should determine if an extension should be granted or if an amended site plan must be submitted for approval to comply with the new ordinance amendments.
Signature: [Signature] Date: 04/01/2020
#2. Date written application for an extension is filed:
[] Approval: there have been no changes to the Zoning Ordinance that would affect the site plan.
This extension is valid through:
[] Planning Commission review is required because there have been changes to the zoning ordinance that could affect the site plan therefore the Planning Commission for the site plan, and the Township Board for the impact assessment and special use, if applicable, should determine if an extension should be granted or if an amended site plan must be submitted for approval to comply with the new ordinance amendments.
Signature: Date:

Kelly: On September 4, 2019, Tina sent me a text message saying it was ok to go ahead with the sand and gravel for the road in the Misty Meadow Development. The permit extension was good until April 2020. This gave me 4 months in winter and 1 month to 6 weeks for Frost Laws.

In December 2019, at the Township Hall, you gave me the permit stating such and you also told me that Township attorney told you that the Township had no authority to hold up this development, because a gravel road is suitable and allowed in Livingston County. Phase one of this project would be complete, if this road was not held up by the Township Board in February of 2019.

Due to this process, I incurred an additional \$1,200 in permit fees, \$500.00 in plan change fees and Thousands in additional Taxes.

Because I lost this opportunity in 2019, I would like the Township to extend my permit to the end of 2020. Taxes are paid, Boss Engineering is Paid and BHI Contracting is Paid. Soil Erosion permits are up to date and paid. All other permits are paid and valid. Livingston County Road Commission and Tetra Tech.

I will appreciate any assistance you can offer at this time.

Sincerely,



Guy F Genzel

GFG Investment Properties, LLC

- The table of prohibited uses will be eliminated and replaced with selected and restricted permitted uses from the Office Service and Industrial zoning districts.
- The sign proposed at 8 feet high is allowed due to its consistency with other signs on Grand River Avenue and there are multiple businesses on this site located a considerable distance from Grand River.
- Approval of the deviation of one-acre minimum lot size due to the availability of shared municipal water for all three parcels.

The motion carried unanimously.

Moved by Commissioner Grajek, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Impact Assessment dated January 2019. **The motion carried unanimously.**

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Conceptual Plan dated February 22, 2019 for the Birkenstock property, subject to the following:

- The building materials and the rendering of the existing building are acceptable and the samples will become Township property.
- The petitioner is encouraged to retain and/or relocate to the extent possible any healthy and mature trees.
- The wall requirements for the Buffer Zone “B” plantings as depicted will remain.
- The sign proposed at 8 feet high is allowed due to its consistency with other signs on Grand River Avenue and there are multiple businesses on this site located a considerable distance from Grand River. The existing pole sign shall be removed.
- Details of the electronic messaging will be provided at the final PUD plan
- The requirements of the Township engineer in his letter dated March 1 shall be addressed.

The motion carried unanimously.

OPEN PUBLIC HEARING #3... Review of a site plan amendment for a proposed private road project known as “Misty Meadows” located on a vacant property to a previously approved project known as “Misty Meadows Private Road”.

A. Disposition of Site Plan Amendment (1-25-19)

Mr. Keith Genzel and Mr. Guy Genzel were present.

Mr. Borden stated the Township’s private road standards permit this road to be gravel.

Mr. Markstrom stated the proposal is acceptable and allowed by Township ordinance.

Commissioner Mortensen is concerned that the owners of the two lots that have already been sold were expecting a paved road and now it will be gravel. He would like letters from these two owners stating they are agreeable to the road being gravel. The applicant advised he will provide these letters.

The call to the public was made at 8:59 pm with no response.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to approve the Site Plan Amendment dated January 25, 2019 for Misty Meadows to permit the asphalt private road to be replaced with gravel as shown on the site plan, subject to letters being provided to Township staff from lot owners within the subdivision agreeing to the change from asphalt to gravel. **The motion carried (Dhaenens - yes; Brown - yes; McCreary - yes; Mortensen - yes; Rickard - No; Grajek - yes).**

OPEN PUBLIC HEARING #4... Review of sketch plan application and sketch plan for a proposed 8,142 sq. ft. addition for Michigan Rod Products located at 1326 Grand Oak Drive. The request is petitioned by Asselin, McLane Architectural Group, LLC.

A. Disposition of Sketch Plan (2-20-19)

Mr. John Asselin, the architect, Mr. Tim Brown of Michigan Rod Products, and Mr. Kevin Johnson, the engineer, were present.

Mr. Asselin stated they are requesting a less than five percent addition to an existing building. Mr. Brown stated they have more work because one of their major competitors has gone out of business.

Mr. Borden reviewed his letter dated March 6, 2019. They have met all of his prior requirements; however, he made the following suggestions:

- The applicant should be required to update the parking calculations on Sheet C101 to include the proposed building addition.
- The applicant should inform the Township of the any increase in employees anticipated in conjunction with the proposed building addition. This may (or may not) impact the land-banked parking plan approved in 2016.
- If the landscape plan approved in 2016 was not fully implemented or if landscaping has died since planting, the applicant should be required to make improvements accordingly.
- If new lighting is proposed with the building addition, details must be provided.

Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

6. Consideration of a request to approve the Environmental Impact Assessment (5-19-16) corresponding to a site plan for the proposed Misty Meadows Drive private road located on the west side of S. Latson Road, south of Crooked Lake Road. The private road will serve 9 lots. The request is petitioned by GFG Investments Properties.

Moved by Skolarus and supported by Smith to approve the environmental impact assessment for Misty Meadows Drive private road with the following conditions: The private road maintenance agreement shall be approved by the township attorney; the applicant shall comply with the private road construction process as described in the May 17, 2016 memo from the Township Engineer. The motion carried unanimously.

7. Consider request to approve a Resolution of Intent calling a public hearing regarding the creation of a Local Development Finance Authority in the Latson Interchange area.

Moved by Smith and supported by Ledford to approve the Resolution of Intent setting the public hearing for Monday, July 18, 2016 at 6:30 p.m. at the Genoa Charter Township Hall regarding the creation of a Local Development Finance Authority as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

8. Consider request to approve a SMART Zone application to the Michigan Economic Development Corporation for the Latson Interchange Area.

Moved by Hunt and supported by Skolarus to table until the next regular meeting of the board on June 20, 2016. The motion carried unanimously.

9. Consider going into closed session to discuss pending litigation pursuant to MCL 15.268 § 8 (e).

Moved by Skolarus and supported by Rowell to move to closed session at 7:01 p.m. as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

The closed session was adjourned at the board returned to the open meeting at 7:15.

- Correspondence regarding the 97 acre Herbst Farm was discussed with no action taken by the board.
- St. George Lutheran Church approved the sale of cemetery lots to the township



February 8, 2022

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Misty Meadows Permit Extension
Site Plan Review No. 1**

Dear Ms. Van Marter:

Tetra Tech conducted a review of the proposed land use permit extension for Misty Meadows. The Petitioner is proposing no change to the plans and needs an extension to the original land use permit to finish building the proposed private road. Since there is no change proposed to the site plan, we have no objection to the requested permit extension.

The Petitioner will need to provide a schedule for completing the road construction. Due to delays in the project, Tetra Tech will need additional escrow for the final road inspections.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.
Vice President

A handwritten signature in blue ink, appearing to read 'Shelby Byrne'.

Shelby Byrne
Project Engineer

From: [Rick Boisvert](#)
To: [Kelly VanMarter](#); [Amy Ruthig](#)
Subject: Plan Reviews
Date: Wednesday, February 9, 2022 1:06:15 PM
Attachments: [320 S. Hughes Rd. Lake Chemung Outdoor Resort Pavilion. \(SP\) 02072022.pdf](#)
[5796 E. Grand River - Wonderland Marine Storage Bldg \(SP\) 02072022.docx.pdf](#)

Kelly and Amy,
See attached review letters. I also have no objection to the Misty Meadows extension
Cordially,

Rick Boisvert, FM, CFPS
Fire Marshal
Brighton Area Fire Authority
615 W. Grand River
Brighton, MI 48116
O: (810)229-6640 D: (810)299-0033
F: (810)229-1619 C: (248)762-7929
rboisvert@brightonareafire.com



**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
JANUARY 10, 2022
6:30 P.M.
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Jim Mortensen, Marianne McCreary, Eric Rauch, Glynis McBain, Jeff Dhaenens, and Tim Chouinard. Also present was Kelly VanMarter, Community Development Director/Asst. Township Manager.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

ELECTION OF OFFICERS:

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to nominate Commissioner Grajek for Chairman, Commissioner Rauch for Vice Chairman, and Commissioner McCreary for Secretary. **The motion carried unanimously.**

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC: The call to the public was made at 6:33 pm with no response.

OPEN PUBLIC HEARING # 1...Review of Master Plan public input summary and future land use.

Ms. Sri Komaragiri and Mr. Matt Wojciechowski of Giffels Webster were present.

Ms. Komaragiri provided a summary of the results of the Master Plan Open House as well as public input received online. The sections where input was received were community character, gateways, transportation connectivity, housing, Grand River corridor, future land use map, and goals and objectives. There were 40 participants at the open house. The project was viewed by 285 people on line and 17 responses were received.

Mr. Wojciechowski discussed their proposed changes to the Future Land Use Map, which would mainly include the Grand River Corridor. They are suggesting to divide it into three sections, each with different types of permitted uses. They are Grand River East (Chilson Road to Grand

Oaks Drive), Grand River Center (Grand Oaks Drive to Gray Road), and Grand River West (Gray Road to S. Hacker Road).

The Planning Commission discussed high-density housing and office uses along Grand River Avenue, renaming the “Mixed Use Town Center” zoning to “Mixed Use Commercial” and relocating it to the Grand River Center area, and the areas and use details of the three proposed districts for the Grand River Corridor, including decreasing it to two districts.

The call to the public was made at 7:11 p.m.

Mr. Craig Lesley of 5680 Griffith Drive stated he is the Chairman of his homeowner’s association and is a past Chairman of the Genoa Township Planning Commission. He questioned if the input from the public regarding the Master Plan would have been different if the proposed asphalt plant would have been known at that time. He provided data regarding asphalt plants to the Planning Commission.

Mr. John Palmer of 560 Black Oaks Trail stated the proposed asphalt plant could destroy the Grand River Corridor idea discussed this evening.

Mr. Michael Suciu of 1071 Sunrise Park moved to Livingston County for the rural atmosphere. He does not want to live near an asphalt plant.

Mr. Raghuveer Kodoboyana of 4316 Crooked Lake Road stated that the asphalt plant will smell and that will cause people to not go to any restaurants. The plant would cause pollution and traffic.

Mr. Jeff Brough of 1535 Westwood Drive agrees with what the other residents have said. He questioned the types of high-industrial uses that would be allowed in the current industrial zoning and will any of this change with the new Master Plan. He also asked if the Planning Commission reviewed the rezoning for the asphalt plant as thoroughly as they did the recent applications for the Padre Pio and Equestrian Center sites. He would like meetings to be held virtually for people who cannot attend.

The call to the public was closed at 7:30 pm.

Ms. VanMarter stated that Genoa Township has one industrial zoning district with different uses being permitted and others requiring a Special Land Use. That is a change that can be made by the Planning Commission and Township Board.

Commissioner Rauch suggested decreasing the number of Master Plan districts in the Township, which would allow for them to be less specific. The Commissioners, Ms. Komaragiri, Mr. Wojciechowski and Ms. VanMarter agreed.

Each of the Commissioners participated in a survey regarding details of the Grand River Corridor.

Ms. VanMarter stated that the Livingston County Drain Commissioner recently updated their design standards with regard to soil types so she would like that information included in the Township's updated Master Plan.

She would also like the Master Plan to provide more details regarding special land uses allowed in the agricultural and country estates zoning districts.

Chairman Grajek referred to the changes with office uses since the COVID pandemic began in 2020, noting that many employees will continue to work from home. Ms. Komaragiri and Mr. Wojciechowski stated there are trends starting due to this and agreed they are important to consider when updating the Master Plan.

Ms. Komaragiri advised they will return to the Planning Commission in March with specific recommendations for the Future Lane Use map, land use designations, the Grand River Corridor, and the goals and objectives based on the discussions this evening.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter stated there will be two items on the February 14 meeting agenda.

Annual Report

The Annual Report was included in this evening's packet.

Approval of the December 13, 2021 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Mortensen, to approve the minutes of the December 13, 2021 Planning Commission Meeting as corrected. **The motion carried unanimously.**

Member Discussion

There were no items to discuss this evening.

Adjournment

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to adjourn the meeting at 8:46 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary

DRAFT