

NOTICE RELATIVE TO THE FEBRUARY 7, 2022 BOARD PACKET

PLEASE BE ADVISED THAT THE ATTACHED PACKET REPLACES THE INFORMATION PREVIOUSLY POSTED.

BECAUSE OF THE LARGE AMOUNT OF INFORMATION ASSOCIATED WITH AGENDA ITEM #5, THE PACKET INCLUDES TWO LINKS TO PUBLIC COMMENT FILES:

1. PUBLIC COMMENTS RECEIVED BY STAFF - Link is located on packet page 41.
2. PUBLIC COMMENTS RECEIVED BY STAFF NOT INCLUDED IN THE ORIGINAL PACKET AND ADDITIONAL INFORMATION RECEIVED FROM THE APPLICANT 2/2/2022 – Link is located on packet page 42.

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
February 7, 2022
6:30 p.m.
Community Bible Church
7372 Grand River

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Consent Agenda:

1. Payment of Bills: December 6, 2021, January 3, 2022 and February 7, 2022
2. Request to approve Minutes: November 15, 2021 and January 3, 2022
3. Request to approved the attached schedule of meetings and holidays for 2022.
4. Request approval to enter into agreements to collect 2022 summer property taxes for the Brighton Area Schools, Hartland Consolidated Schools, Howell Public Schools, and the Livingston Educational Service Agency as submitted by the Township Treasurer.

Regular Agenda:

5. Consideration of a recommendation for approval of a rezoning (adoption of Ordinance Z-22-01) from Industrial (IND) to Planned Industrial District (PID), Planned Unit Development Agreement, Environmental Impact Assessment and Conceptual Planned Unit Development site plan for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection. The rezoning includes the following parcels: 4711-08-100-009 and 4711-05-303-015. The request is petitioned by Net Least Associates North and South, LLC.
 - A. Request for approval and adoption of Ordinance Z-22-01 to rezone parcels 4711-08-100- 009 and 4711-05-303-015 from IND to IND/PID (requires roll call vote)
 - B. Disposition of Planned Unit Development Agreement dated December 1, 2021
 - C. Disposition of Environmental Impact Assessment dated November 24, 2021
 - D. Disposition of Conceptual Planned Unit Development Site Plan revised on September 21-2021
6. Consideration of a recommendation for approval of an environmental impact assessment (11/22/21) for a proposed 73-space parking lot on the west side of the site located at 7372 Grand River, Brighton for Community Bible Church. The request is petitioned by Community Bible Church.
7. Request for approval of Resolution 5A (amending the Special Assessment Roll) for the Darlene Drive Road Improvement Project Amendment for a project cost reduction of \$30,558.49. Roll call vote.

8. Request for approval of an intergovernmental agreement for cooperative paid assessment intern, mentoring and training. Roll call vote.

9. Request by the Township Assessor to approve Resolution 220207 establishing guidelines for granting Poverty Exemptions from property taxes pursuant to MCL.211.7U and establishing beginning date for the Board of Review. Roll call vote.

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: December 6, 2021

TOWNSHIP GENERAL EXPENSES: Wednesday December 1, 2021	\$206,184.07
November 23, 2021 Longivity Annual Payroll	\$35,907.79
November 26, 2021 Bi Weekly Payroll	\$95,789.40
OPERATING EXPENSES: Through December 1, 2021	\$476,645.50
TOTAL:	<u>\$814,526.76</u>

Check Date	Check	Vendor Name	Amount
Bank FNBACK CHECKING ACCOUNT			
11/12/2021	37123	AMERICAN AQUA	1,099.00
11/12/2021	37124	BUSINESS IMAGING GROUP	829.52
11/12/2021	37125	COMCAST	710.68
11/12/2021	37126	LINDHOUT ASSOCIATES ARCHITECTS INC	129.00
11/12/2021	37127	SAFEBUILT STUDIO	1,968.32
11/16/2021	37128	BLUE CROSS & BLUE SHIELD OF MI	46,618.45
11/16/2021	37129	CONSUMERS ENERGY	253.23
11/16/2021	37130	ETNA SUPPLY COMPANY	14,910.00
11/16/2021	37131	GENOA TWP DPW FUND	120.32
11/16/2021	37132	LIVINGSTON COUNTY TREASURER ASSOC	75.00
11/16/2021	37133	MASTER MEDIA SUPPLY	633.86
11/16/2021	37134	MICHIGAN OFFICE SOLUTIONS	749.99
11/16/2021	37135	TETRA TECH INC	735.00
11/16/2021	37136	US BANK EQUIPMENT FINANCE	2,037.41
11/16/2021	37137	VERIZON WIRELESS	433.25
11/23/2021	37138	COMCAST	267.63
11/23/2021	37139	DELTA DENTAL	3,611.92
11/23/2021	37140	FEDERAL EXPRESS CORP	44.92
11/23/2021	37141	LIVINGSTON PRESS & ARGUS	1,635.00
11/23/2021	37142	MICHIGAN OFFICE SOLUTIONS	179.74
11/23/2021	37143	MUTUAL OF OMAHA	2,101.25
11/23/2021	37144	PRINTING SYSTEMS	220.59
11/23/2021	37145	ROCKET ENTERPRISE INC	140.00
11/23/2021	37146	TERRY CROFT	54.88
11/23/2021	37147	WASTE MANAGEMENT CORP SERVICES, INC	114,283.56
12/01/2021	37148	CAPITAL ONE	116.40 V
		Void Reason: PRINTING PROBLEMS	
12/01/2021	37149	CHASE CARD SERVICES	2,901.15 V
		Void Reason: PRINTING PROBLEMS	
12/01/2021	37150	DTE ENERGY	27.00 V
		Void Reason: PRINTING PROBLEMS	
12/01/2021	37151	MHOG WATER AUTHORITY	392.00
12/01/2021	37152	NETWORK SERVICES GROUP, L.L.C.	50.00
12/01/2021	37153	PFEFFER, HANNIFORD, PALKA	8,855.00
12/01/2021	37155	CAPITAL ONE	116.40
12/01/2021	37156	CHASE CARD SERVICES	2,901.15
12/01/2021	37157	DTE ENERGY	27.00
FNBACK TOTALS:			
Total of 34 Checks:			209,228.62
Less 3 Void Checks:			3,044.55
Total of 31 Disbursements:			206,184.07

Check Register Report For Genoa Charter Township
For Check Dates 11/23/2021 to 11/23/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/23/2021	FNBCK	13489	ARCHINAL, MICHAEL C	1,000.00	860.48	0.00	Open
11/23/2021	FNBCK	13490	AULETTE, JAMES B	500.00	437.42	0.00	Open
11/23/2021	FNBCK	13491	BUNKOSKE, CRAIG A	500.00	456.52	0.00	Open
11/23/2021	FNBCK	13492	CHIMPOURAS, ALEX A	500.00	440.50	0.00	Open
11/23/2021	FNBCK	13493	ESTRADA, DAVID	750.00	624.48	0.00	Open
11/23/2021	FNBCK	13494	GAMBINO, LAURA L	750.00	632.67	0.00	Open
11/23/2021	FNBCK	13495	HANUS, CAROL A	1,000.00	827.92	0.00	Open
11/23/2021	FNBCK	13496	HUNT, MATTHEW T	500.00	430.24	0.00	Open
11/23/2021	FNBCK	13497	HUNT, ROBIN L	1,250.00	852.12	0.00	Open
11/23/2021	FNBCK	13498	KERN, JENIFER A	500.00	437.42	0.00	Open
11/23/2021	FNBCK	13499	KORPELA, AARON E	500.00	430.24	0.00	Open
11/23/2021	FNBCK	13500	LINDBERG, TAMMY J	1,000.00	782.92	0.00	Open
11/23/2021	FNBCK	13501	LOWE, SCOTT E	500.00	456.52	0.00	Open
11/23/2021	FNBCK	13502	MEYERS, JEFFREY W	500.00	422.23	0.00	Open
11/23/2021	FNBCK	13503	ROJEWSKI, DEBRA L	1,250.00	977.13	0.00	Open
11/23/2021	FNBCK	13504	RUTHIG, AMY D	1,250.00	1,022.87	0.00	Open
11/23/2021	FNBCK	13505	SAPIENZA, KRISTEN R	500.00	437.42	0.00	Open
11/23/2021	FNBCK	13506	SCHLACK, DANIEL R	500.00	456.52	0.00	Open
11/23/2021	FNBCK	13507	SKOLARUS, PAULETTE A	1,250.00	985.14	0.00	Open
11/23/2021	FNBCK	13508	TATARA, GREGORY	750.00	673.23	0.00	Open
11/23/2021	FNBCK	13509	VAN TASSELL, ADAM J	1,000.00	806.73	0.00	Open
11/23/2021	FNBCK	13510	VANMARTER, KELLY K	1,000.00	844.46	0.00	Open
11/23/2021	FNBCK	EFT624	INTERNAL REVENUE SERVICE	3,661.43	3,661.43	0.00	Open
11/23/2021	FNBCK	EFT625	PRINCIPAL FINANCIAL	3,656.00	3,656.00	0.00	Open

Totals: Number of Checks: 024 24,567.43 21,612.61 0.00

Total Physical Checks: 22
Total Check Stubs: 2

21,612.61+
14,295.18+
35,907.79**

Check Register Report For Genoa Charter Township
 For Check Dates 11/26/2021 to 11/26/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/26/2021	FNCK	13488	CHOUINARD, TIMOTHY V	184.53	162.57	0.00	Open
11/26/2021	FNCK	EFT621	FLEX SPENDING (TASC)	856.53	856.53	0.00	Open
11/26/2021	FNCK	EFT622	INTERNAL REVENUE SERVICE	23,482.06	23,482.06	0.00	Open
11/26/2021	FNCK	EFT623	PRINCIPAL FINANCIAL	2,227.26	2,227.26	0.00	Open

Totals: Number of Checks: 004 26,750.38 26,728.42 0.00

Total Physical Checks: 1
 Total Check Stubs: 3

26,728.42+
69,060.98+
 95,789.40+

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
11/15/2021	5405	ADVANCE AUTO PARTS Void Reason: REFUND IN DIFFERENT VENDOR, DID NOT SHOW ON THIS CHECK	433.97 V
11/15/2021	5406	AUTO-LAB OF LIVINGSTON	492.39
11/15/2021	5407	BOB'S TIRE & AUTO SERVICE, INC	130.00
11/15/2021	5408	CORRIGAN TOWING	98.25
11/15/2021	5409	GIFFELS WEBSTER	1,110.00
11/15/2021	5410	HUTSON, INC	28.65
11/15/2021	5411	TETRA TECH INC	2,470.00
11/15/2021	5412	ULINE	124.65
11/15/2021	5413	USA BLUEBOOK	693.19
11/15/2021	5414	UNITED STATES POSTAL SERVICE	317.25
11/15/2021	5415	ADVANCE AUTO PARTS	403.97
11/15/2021	5416	CHASE CARD SERVICES	1,554.46
11/22/2021	5417	GENOA TOWNSHIP	300,000.00
11/22/2021	5418	HOME DEPOT CREDIT SERVICES	1,790.79
11/22/2021	5419	VERIZON WIRELESS	702.67
11/30/2021	5420	SPIRIT OF LIVINGSTON	1,069.08
503FN TOTALS:			
Total of 16 Checks:			311,419.32
Less 1 Void Checks:			433.97
Total of 15 Disbursements:			310,985.35

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
11/12/2021	5389	AT&T LONG DISTANCE	56.51
11/17/2021	5390	AMERICAN AQUA	2,132.09
11/17/2021	5391	AT&T	145.84
11/17/2021	5392	COMPLETE BATTERY SOURCE	360.41
11/17/2021	5393	CONSUMERS ENERGY	320.29
11/17/2021	5394	COOPER'S TURF MANAGEMENT LLC	1,295.00
11/17/2021	5395	CORRIGAN OIL COMPANY	1,189.97
11/17/2021	5396	DUBOIS-COOPER	546.00
11/17/2021	5397	ETNA SUPPLY COMPANY	1,333.40
11/17/2021	5398	FERGUSON WATERWORKS #3386	480.60
11/17/2021	5399	GENOA TOWNSHIP D.P.W. FUND	1,042.61
11/17/2021	5400	GENOA TWP DPW FUND	20,175.32
11/17/2021	5401	GENOA TWP DPW FUND	23,409.94
11/17/2021	5402	GRAINGER	343.20
11/17/2021	5403	HACH COMPANY	495.46
11/17/2021	5404	HAVILAND PRODUCTS COMPANY	2,900.00
11/17/2021	5405	HYDROCOP	226.87
11/17/2021	5406	LOREA TOPSOIL & AGGREGATE	105.00
11/17/2021	5407	STATE OF MICHIGAN	1,340.28
11/17/2021	5408	TLS CONSTRUCTION	2,636.00
11/17/2021	5409	UIS SCADA	679.50
11/23/2021	5410	AT&T LONG DISTANCE	64.04
11/24/2021	5411	GENOA TWP OAK POINTE SEWER BOND	88,936.50
12/01/2021	5412	BRIGHTON ANALYTICAL LLC	200.00
592FN TOTALS:			
Total of 24 Checks:			150,414.83
Less 0 Void Checks:			0.00
Total of 24 Disbursements:			150,414.83

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
11/15/2021	4044	BRIGHTON ANALYTICAL LLC	536.00
11/15/2021	4045	COMPLETE BATTERY SOURCE	169.60
11/15/2021	4046	CONSUMERS ENERGY	203.44
11/15/2021	4047	COOPER'S TURF MANAGEMENT LLC	963.00
11/15/2021	4048	CSM MECHANICAL, LLC	725.00
11/15/2021	4049	DTE ENERGY	148.79
11/15/2021	4050	GENOA TWP DPW FUND	12,432.49
11/30/2021	4051	BRIGHTON ANALYTICAL LLC	67.00
593FN TOTALS:			
Total of 8 Checks:			15,245.32
Less 0 Void Checks:			0.00
Total of 8 Disbursements:			15,245.32

310,985.35+
150,414.83+
15,245.32+
476,645.50+

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

MEETING DATE: January 3, 2022

All information below through December 28, 2021

TOWNSHIP GENERAL EXPENSES	\$ 227,534.78
December 10, 2021 Bi Weekly Payroll	\$ 99,104.32
December 24, 2021 Bi Weekly Payroll	\$ 98,940.60
OPERATING EXPENSES DPW	\$ 28,691.52
OPERATING EXPENSES Oak Pointe	\$ 87,282.09
OPERATING EXPENSES Lake Edgewood	\$ 43,987.77
TOTAL	\$ 585,541.08

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
12/02/2021	37158	AMERICAN MAILBOX SERVICES INC	1,931.00
12/02/2021	37159	PERFECT MAINTENANCE CLEANING	565.00
12/02/2021	37160	ROCKET ENTERPRISE INC	108.50
12/02/2021	37161	SEWARD HENDERSON PLLC	2,261.00
12/02/2021	37162	LIVINGSTON COUNTY CLERKS ASSOC	20.00
12/08/2021	37163	APEX SOFTWARE	930.00
12/08/2021	37164	CONTINENTAL LINEN SERVICE	86.45
12/08/2021	37165	DTE ENERGY	1,014.05
12/08/2021	37166	DTE ENERGY	233.92
12/08/2021	37167	MASTER MEDIA SUPPLY	267.38
12/13/2021	37168	AMERICAN AQUA	75.00
12/13/2021	37169	MICHAEL ARCHINAL	52.64
12/13/2021	37170	COOPER'S TURF MANAGEMENT LLC	3,746.00
12/13/2021	37171	EHIM, INC	6,111.89
12/13/2021	37172	ETNA SUPPLY COMPANY	4,700.00
12/13/2021	37173	MARY KRENCICKI	23.52
12/13/2021	37174	LIVINGSTON COUNTY CLERKS ASSOC	20.00
12/13/2021	37175	MEI TOTAL ELEVATOR SOLUTIONS	286.00
12/13/2021	37176	CINDY OVERBY	60.99
12/13/2021	37177	DEBRA ROJEWSKI	89.20
12/16/2021	37178	BLUE CROSS & BLUE SHIELD OF MI	46,018.05
12/16/2021	37179	BRAY ELECTRIC	627.60
12/16/2021	37180	COMCAST	710.68
12/16/2021	37181	COMCAST	637.20
12/16/2021	37182	CONSUMERS ENERGY	532.67
12/16/2021	37183	DYKEMA GOSSETT, PLLC	117.00
12/16/2021	37184	FEDERAL EXPRESS CORP	39.11
12/16/2021	37185	GIFFELS WEBSTER	6,880.00
12/16/2021	37186	MMRMA	12,277.91
12/16/2021	37187	SAFEBUILT STUDIO	2,640.16
12/16/2021	37188	SEWARD HENDERSON PLLC	5,172.00
12/16/2021	37189	TETRA TECH INC	855.00
12/16/2021	37190	VERIZON WIRELESS	432.93
12/16/2021	37191	WASTE MANAGEMENT CORP SERVICES, INC	114,266.47
12/27/2021	37192	AMERICAN AQUA	112.00
12/27/2021	37193	CHASE CARD SERVICES	1,985.80
12/27/2021	37194	COMCAST	267.63
12/27/2021	37195	DELTA DENTAL	3,611.92
12/27/2021	37196	LAURA GAMBINO	35.75
12/27/2021	37197	LIVINGSTON PRESS & ARGUS	300.00
12/27/2021	37198	MASTER MEDIA SUPPLY	326.83
12/27/2021	37199	MICHIGAN OFFICE SOLUTIONS	186.45
12/27/2021	37200	MUTUAL OF OMAHA	2,429.03
12/27/2021	37201	PLUGS TO PANELS ELECRICAL LLC	380.00
12/27/2021	37202	WILLIAM ROGERS	52.64
12/27/2021	37203	TOTAL ADMINISTRATIVE SERVICES	2,020.00
12/27/2021	37204	US BANK EQUIPMENT FINANCE	2,037.41

FNBCK TOTALS:

Total of 47 Checks:	227,534.78
Less 0 Void Checks:	0.00
Total of 47 Disbursements:	<u>227,534.78</u>

Check Register Report For Genoa Charter Township
 For Check Dates 12/10/2021 to 12/10/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
12/10/2021	FNBCK	13512	GAMBINO, LAURA L	406.07	375.00	0.00	Open
12/10/2021	FNBCK	13513	OVERBY, CYNTHIA R	354.64	327.51	0.00	Open
12/10/2021	FNBCK	EFT626	FLEX SPENDING (TASC)	856.53	856.53	0.00	Open
12/10/2021	FNBCK	EFT627	INTERNAL REVENUE SERVICE	23,441.14	23,441.14	0.00	Open
12/10/2021	FNBCK	EFT628	PRINCIPAL FINANCIAL	3,656.00	3,656.00	0.00	Open
12/10/2021	FNBCK	EFT629	PRINCIPAL FINANCIAL	2,227.26	2,227.26	0.00	Open
Totals:		Number of Checks: 006		30,941.64	30,883.44	0.00	
Total Physical Checks:				2			
Total Check Stubs:				4			

.....+P
 30,883.44+
68,220.88+
 99,104.32**

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #233			
12/07/2021	5421	MWEA	77.00
12/07/2021	5422	PORT CITY COMMUNICATIONS, INC.	594.25
12/07/2021	5423	TRACTOR SUPPLY CO.	364.87
12/07/2021	5424	US POSTAL SERVICE	50.00
12/10/2021	5425	ABE'S AUTO GLASS, INC.	270.00
12/10/2021	5426	ADVANCE AUTO PARTS	69.94
12/10/2021	5427	AUTO-LAB OF LIVINGSTON	2,378.44
12/10/2021	5428	BYRUM ACE HARDWARE	1,129.99
12/10/2021	5429	GIFFELS WEBSTER	840.00
12/10/2021	5430	MARSH POWER TOOLS, INC	34.97
12/10/2021	5431	RANDY'S SERVICE STATION	816.00
12/10/2021	5432	VICTORY LANE QUICK OIL CHANGE	60.23
12/14/2021	5433	CHASE CARD SERVICES	723.91
12/14/2021	5434	MMRMA	10,139.84
12/14/2021	5435	TETRA TECH INC	3,467.50
12/14/2021	5436	US POSTAL SERVICE	75.04
12/14/2021	5437	WEX BANK	4,911.27
12/14/2021	5438	WINDSTREAM	51.22
12/27/2021	5439	HOME DEPOT CREDIT SERVICES	1,934.41
12/27/2021	5440	VERIZON WIRELESS	702.64
503FN TOTALS:			
Total of 20 Checks:			28,691.52
Less 0 Void Checks:			0.00
Total of 20 Disbursements:			28,691.52

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
12/01/2021	5412	BRIGHTON ANALYTICAL LLC	200.00
12/07/2021	5413	AT&T LONG DISTANCE	56.51
12/07/2021	5414	BRIGHTON ANALYTICAL LLC	200.00
12/07/2021	5415	DTE ENERGY	2,663.20
12/07/2021	5416	DTE ENERGY	2,625.45
12/13/2021	5417	BRIGHTON ANALYTICAL LLC	400.00
12/13/2021	5418	DUBOIS-COOPER	4,345.00
12/13/2021	5419	FERGUSON WATERWORKS #3386	136.04
12/13/2021	5420	GENOA OCEOLA SEWER AUTHORITY	70.43
12/13/2021	5421	GENOA OCEOLA SWR & WTR AUTHORI	205.90
12/13/2021	5422	GENOA TWP DPW FUND	43,259.95
12/13/2021	5423	HYDROCORP	226.87
12/13/2021	5424	K & J ELECTRIC, INC.	5,097.00
12/13/2021	5425	KENNEDY INDUSTRIES	577.00
12/13/2021	5426	MISS DIG 811	1,029.18
12/13/2021	5427	NORTHWEST PIPE & SUPPLY CO.	1,001.06
12/13/2021	5428	STANDARD ELECTRIC COMPANY	17.38
12/13/2021	5429	TETRA TECH, INC.	10,724.68
12/13/2021	5430	UIS SCADA	5,738.00
12/14/2021	5431	AT&T	145.84
12/14/2021	5432	MMRMA	2,361.89
12/27/2021	5433	BRIGHTON ANALYTICAL LLC	200.00
12/27/2021	5434	CONSUMERS ENERGY	575.71
12/27/2021	5435	PIPELINE MANAGEMENT CO. LLC	5,425.00
592FN TOTALS:			
Total of 24 Checks:			87,282.09
Less 0 Void Checks:			0.00
Total of 24 Disbursements:			87,282.09

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
11/30/2021	4051	BRIGHTON ANALYTICAL LLC	67.00
12/08/2021	4052	BRIGHTON ANALYTICAL LLC	134.00
12/08/2021	4053	DTE ENERGY	3,885.29
12/10/2021	4054	AQUA- AEROBICS SYSTEMS, INC.	4,995.65
12/10/2021	4055	GENOA OCEOLA SEWER AUTHORITY	2,901.73
12/10/2021	4056	GENOA TWP DPW FUND	12,144.33
12/10/2021	4057	HARTLAND SEPTIC SERVICE, INC.	6,000.00
12/10/2021	4058	MISS DIG 811	506.90
12/10/2021	4059	PVS NOLWOOD CHEMICALS, INC	1,715.00
12/10/2021	4060	USA BLUEBOOK	5,934.00
12/14/2021	4061	BRIGHTON ANALYTICAL LLC	67.00
12/14/2021	4062	CONSUMERS ENERGY	323.56
12/14/2021	4063	MMRMA	722.86
12/27/2021	4064	BRIGHTON ANALYTICAL LLC	254.50
12/27/2021	4065	CONSUMERS ENERGY	15.00
12/27/2021	4066	CSM MECHANICAL, LLC	3,298.00
12/27/2021	4067	GENOA TOWNSHIP D.P.W. FUND	1,022.95
593FN TOTALS:			
Total of 17 Checks:			43,987.77
Less 0 Void Checks:			0.00
Total of 17 Disbursements:			43,987.77



December 2021						
S	M	T	W	T	F	S
28	29	30	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	1
2	3	4	5	6	7	8


New Balance
\$2,901.15
 Minimum Payment Due
\$580.00
 Payment Due Date
12/10/21

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number:	[REDACTED]
Previous Balance	\$194.13
Payment, Credits	-\$194.13
Purchases	+\$2,901.15
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$2,901.15
Opening/Closing Date	10/17/21 - 11/16/21
Credit Limit	\$20,000
Available Credit	\$17,098
Cash Access Line	\$1,000
Available for Cash	\$1,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

QX.

 11/23/2021



ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
10/29	Payment ThankYou Image Check	-194.13
10/21	Amazon.com*2Y6Y44JX2 Amzn.com/bill WA	25.20 <i>KAM</i>
10/25	EIG*CONSTANTCONTACT.COM 855-2295506 MA	168.00 <i>KAM</i>
10/27	AMZN Mktp US*2Y74U37D2 Amzn.com/bill WA	423.00 <i>KAM</i>
10/28	MACEO 586-5744610 MI	25.00 <i>KAM</i>
11/01	STATE TAX COMMISSION 517-3353429 MI	175.00 <i>DJC</i>
11/01	STATE TAX COMMISSION 517-3353429 MI	175.00 <i>DJC</i>
11/01	STATE TAX COMMISSION 517-3353429 MI	175.00 <i>DJC</i>
11/05	REALTOR ASSOCIATION/MLS 312-329-8245 IL	563.00 <i>DOCS</i>
11/11	LANDS END BUS OUTFITTERS 800-332-4700 WI MICHAEL C ARCHINAL TRANSACTIONS THIS CYCLE (CARD 3223) \$2707.02 INCLUDING PAYMENTS RECEIVED	1,171.95 <i>CS</i>

2021 Totals Year-to-Date	
Total fees charged in 2021	\$39.00
Total interest charged in 2021	\$22.87

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

MEETING DATE: February 7, 2022

All information below through February 1, 2022

TOWNSHIP GENERAL EXPENSES	\$	97,859.85
January 6, 2022 Personal Time Unused Hours Payout	\$	8,658.18
January 7, 2022 Bi Weekly Payroll	\$	105,381.15
January 8, 2022 Vacation Pay-Part Time Employees	\$	8,979.02
January 21, 2022 Bi Weekly Payroll	\$	99,085.40
OPERATING EXPENSES DPW	\$	19,435.97
OPERATING EXPENSES Oak Pointe	\$	142,370.19
OPERATING EXPENSES Lake Edgewood	\$	66,181.72
TOTAL	\$	<u>547,951.48</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
01/05/2022	37205	ALLSTAR ALARM LLC	345.00
01/05/2022	37206	CAPITAL ONE	267.55
01/05/2022	37207	DTE ENERGY	27.00
01/05/2022	37208	MEI TOTAL ELEVATOR SOLUTIONS	133.23
01/05/2022	37209	NETWORK SERVICES GROUP, L.L.C.	50.00
01/05/2022	37210	PERFECT MAINTENANCE CLEANING	565.00
01/05/2022	37211	QUADIENT FINANCE USA, INC	5,010.00
01/05/2022	37212	TRI COUNTY SUPPLY, INC.	217.71
01/11/2022	37213	AMERICAN GENERAL LIFE INSURANC	290.00
01/11/2022	37214	COMCAST	637.20
01/11/2022	37215	CONTINENTAL LINEN SERVICE	86.45
01/11/2022	37216	COOPER'S TURF MANAGEMENT LLC	5,688.00
01/11/2022	37217	DTE ENERGY	56.38
01/11/2022	37218	DTE ENERGY	237.50
01/11/2022	37219	GORDON FOOD SERVICE	94.42
01/11/2022	37220	OK FIRE EQUIPMENT CO	197.00
01/11/2022	37221	PFEFFER, HANNIFORD, PALKA	2,850.00
01/20/2022	37222	ACCIDENT FUND COMPANY	2,595.00
01/20/2022	37223	AMERICAN PLANNING ASSOCIATION	609.00
01/20/2022	37224	BRIGHTON AREA CHAMBER OF COMM	200.00
01/20/2022	37225	COMCAST	706.32
01/20/2022	37226	CONSUMERS ENERGY	617.35
01/20/2022	37227	DELTA DENTAL	3,843.52
01/20/2022	37228	DTE ENERGY	840.18
01/20/2022	37229	EHIM, INC	4,662.57
01/20/2022	37230	HOWELL AREA CHAMBER OF COMMERCE	495.00
01/20/2022	37231	MASTER MEDIA SUPPLY	976.01
01/20/2022	37232	MUTUAL OF OMAHA	2,293.55
01/20/2022	37233	NETWORK SERVICES GROUP, L.L.C.	924.80
01/20/2022	37234	PRINTING SYSTEMS	3,200.51
01/20/2022	37235	DEBRA ROJEWSKI	567.38
01/20/2022	37236	TETRA TECH INC	770.00
01/20/2022	37237	TRI COUNTY SUPPLY, INC.	148.64
01/20/2022	37238	US BANK EQUIPMENT FINANCE	2,154.01
01/20/2022	37239	VERIZON WIRELESS	432.69
01/20/2022	37240	W4 SIGNS INC	136.88
01/21/2022	37241	LAURA GAMBINO	270.00
01/21/2022	37242	MICHIGAN MUNICIPAL TREAS. ASSN	75.00
01/21/2022	37243	TERRY CROFT	51.48
01/24/2022	37244	BLUE CROSS & BLUE SHIELD OF MI	47,321.27
01/24/2022	37245	TAMMY LINDBERG	295.12
01/26/2022	37246	CAPITAL ONE	125.26
01/26/2022	37247	CHASE CARD SERVICES	3,124.28
01/26/2022	37248	COMCAST	270.34
01/26/2022	37249	MASTER MEDIA SUPPLY	290.37
01/26/2022	37250	DBA INTEGRITY ONE TECHNOLOGIES	179.74
01/26/2022	37251	QUADIENT INC.	1,005.78
02/01/2022	37252	AMERICAN AQUA	75.00
02/01/2022	37253	DTE ENERGY	1,097.57
02/01/2022	37254	LIVINGSTON COUNTY TREASURER	507.79
02/01/2022	37255	SHINE THROUGH WINDOW CLEANING	245.00

FNBCK TOTALS:

Total of 51 Checks:	97,859.85
Less 0 Void Checks:	0.00
Total of 51 Disbursements:	97,859.85

Check Register Report For Genoa Charter Township
 For Check Dates 01/07/2022 to 01/07/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
01/07/2022	FNBCK	13517	STATE OF MICHIGAN	7,258.91	7,258.91	0.00	Open
01/07/2022	FNBCK	EFT634	FLEX SPENDING (TASC)	807.30	807.30	0.00	Open
01/07/2022	FNBCK	EFT635	INTERNAL REVENUE SERVICE	23,846.04	23,846.04	0.00	Open
01/07/2022	FNBCK	EFT636	PRINCIPAL FINANCIAL	3,526.00	3,526.00	0.00	Open
01/07/2022	FNBCK	EFT637	PRINCIPAL FINANCIAL	2,227.04	2,227.04	0.00	Open
Totals:				Number of Checks: 005	37,665.29	37,665.29*	0.00
Total Physical Checks:				1			
Total Check Stubs:				4			

37,665.29+
67,715.86+
 105,381.15**+

Check Register Report For Genoa Charter Township
 For Check Dates 01/08/2022 to 01/08/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
01/08/2022	FNBCK	13518	KRENCICKI, MARY E	1,005.92	793.48	0.00	Open
01/08/2022	FNBCK	13519	LANE, KIMBERLY	2,777.03	2,446.57	0.00	Open
01/08/2022	FNBCK	13520	SCHNIERS, DENISE	999.20	794.22	0.00	Open
01/08/2022	FNBCK	EFT639	INTERNAL REVENUE SERVICE	910.48	910.48	0.00	Open
Totals:							
			Number of Checks: 004	5,692.63	4,944.75 ✖	0.00	
			Total Physical Checks:	3			
			Total Check Stubs:	1			

4,944.75+
 4,034.27+
8,979.02*+

Check Register Report For Genoa Charter Township
 For Check Dates 01/21/2022 to 01/21/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
01/21/2022	FNBCK	EFT640	FLEX SPENDING (TASC)	807.30	807.30	0.00	Open
01/21/2022	FNBCK	EFT641	INTERNAL REVENUE SERVICE	23,092.97	23,092.97	0.00	Open
01/21/2022	FNBCK	EFT642	PRINCIPAL FINANCIAL	3,526.00	3,526.00	0.00	Open
01/21/2022	FNBCK	EFT643	PRINCIPAL FINANCIAL	2,227.04	2,227.04	0.00	Open
Totals:							
			Number of Checks: 004	29,653.31	29,653.31	0.00	

Total Physical Checks:

Total Check Stubs:

4

69,432.09+
29,653.31+
 99,085.40+

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #233			
01/05/2022	5441	TRACTOR SUPPLY CO.	111.47
01/11/2022	5442	PORT CITY COMMUNICATIONS, INC.	209.67
01/13/2022	5443	CHASE CARD SERVICES	5,109.26
01/13/2022	5444	US POSTAL SERVICE	1,610.01
01/18/2022	5445	ADVANCE AUTO PARTS	320.32
01/18/2022	5446	ADVANTAGE MARKETING	616.62
01/18/2022	5447	AUTO-LAB OF LIVINGSTON	66.31
01/18/2022	5448	AUTO ZONE	25.72
01/18/2022	5449	CORRIGAN OIL COMPANY	1,196.66
01/18/2022	5450	GIFFELS WEBSTER	480.00
01/18/2022	5451	PFEFFER, HANNIFORD, PALKA	1,250.00
01/18/2022	5452	TETRA TECH INC	1,615.00
01/18/2022	5453	VERIZON WIRELESS	702.53
01/18/2022	5454	VICTORY LANE QUICK OIL CHANGE	88.23
01/21/2022	5455	WEX BANK	4,519.33
01/21/2022	5456	WINDSTREAM	48.38
01/24/2022	5457	MOME DEPOT CREDIT SERVICES	1,306.46
01/24/2022	5458	MWEA	160.00

503FN TOTALS:

Total of 18 Checks:	19,435.97
Less 0 Void Checks:	0.00
Total of 18 Disbursements:	19,435.97

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
01/05/2022	5436	AT&T LONG DISTANCE	61.65
01/05/2022	5437	BRIGHTON ANALYTICAL LLC	200.00
01/11/2022	5438	AT&T LONG DISTANCE	56.51
01/11/2022	5439	DTE ENERGY	2,472.90
01/11/2022	5440	DTE ENERGY	2,516.55
01/11/2022	5441	TROY CLOGG LANDSCAPE ASSOC, LLC	850.00
01/19/2022	5442	AT&T	144.69
01/19/2022	5443	BRIGHTON ANALYTICAL LLC	220.00
01/19/2022	5444	CONSUMERS ENERGY	763.96
01/19/2022	5445	CORRPRO COMPANIES INC.	1,325.00
01/19/2022	5446	DUBOIS-COOPER	22,260.00
01/19/2022	5447	EJ USA, INC.	502.69
01/19/2022	5448	FERGUSON WATERWORKS #3386	453.51
01/19/2022	5449	GENOA TWP DPW FUND	19,850.01
01/19/2022	5450	GENOA TWP DPW FUND	23,409.94
01/19/2022	5451	GENOA/OCEOLA SEWER AUTHORITY	323.74
01/19/2022	5452	GENOA TOWNSHIP G/O NEW USER FUND	15,900.00
01/19/2022	5453	HACH COMPANY	300.30
01/19/2022	5454	HARTLAND SEPTIC SERVICE, INC.	5,940.00
01/19/2022	5455	HYDROCORP	226.87
01/19/2022	5456	KERR PUMP AND SUPPLY	27,014.00
01/19/2022	5457	KISM, LLC	5,040.00
01/19/2022	5458	PFEFFER, HANNIFORD, PALKA	3,400.00
01/19/2022	5459	TETRA TECH, INC.	1,375.00
01/19/2022	5460	TETRA TECH INC	2,272.50
01/19/2022	5461	UIS SCADA	3,408.73
01/19/2022	5462	WATER SOLUTIONS UNLIMITED, INC	1,790.00
01/31/2022	5463	AT&T LONG DISTANCE	71.64
01/31/2022	5464	BRIGHTON ANALYTICAL LLC	220.00

592FN TOTALS:

Total of 29 Checks:	142,370.19
Less 0 Void Checks:	0.00
Total of 29 Disbursements:	142,370.19

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590			
01/05/2022	4068	BRIGHTON ANALYTICAL LLC	134.00
01/11/2022	4069	BRIGHTON ANALYTICAL LLC	67.00
01/11/2022	4070	CHARTER TOWNSHIP OF BRIGHTON	953.74
01/11/2022	4071	CITY OF BRIGHTON	36,233.12
01/11/2022	4072	DTE ENERGY	738.62
01/18/2022	4073	BRIGHTON ANALYTICAL LLC	67.00
01/18/2022	4074	BYRUM ACE HARDWARE	8.98 V
		Void Reason: PAID BY ROBIN AND CINDY	
01/18/2022	4075	CONSUMERS ENERGY	360.21
01/18/2022	4076	DTE ENERGY	2,479.04
01/18/2022	4077	GENOA TWP DPW FUND	12,144.33
01/18/2022	4078	KISM, LLC	3,087.00
01/18/2022	4079	MICHIGAN CAT	827.38
01/18/2022	4080	OAK POINTE OPERATING S/W	2,923.28
01/18/2022	4081	PFEFFER, HANNIFORD, PALKA	2,450.00
01/24/2022	4082	BRIGHTON ANALYTICAL LLC	67.00
01/24/2022	4083	STATE OF MICHIGAN	3,650.00

593FN TOTALS:

Total of 16 Checks:	66,190.70
Less 1 Void Checks:	8.98
Total of 15 Disbursements:	<u>66,181.72</u>



96 5

February 2022						
S	M	T	W	T	F	S
30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	1	2	3	4	5
6	7	8	9	10	11	12

New Balance
\$3,124.28
 Minimum Payment Due
\$624.00
 Payment Due Date
02/10/22

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

MAILED
 1-27-22

ACCOUNT SUMMARY

Account Number: 4246 3152 4060 3223

Previous Balance	\$2,205.30
Payment, Credits	-\$2,279.30
Purchases	+\$3,198.28
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$3,124.28

Opening/Closing Date	12/17/21 - 01/16/22
Credit Limit	\$20,000
Available Credit	\$16,875
Cash Access Line	\$1,000
Available for Cash	\$1,000

Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

ENTERED JAN 26 2022

YOUR ACCOUNT MESSAGES

'ALERT': The US Postal Service announced that mail may take up to 2 additional days to arrive starting October 1, 2021. This may impact delivery of mailed statements to you and mailed payments to us. Consider enrolling in paperless statements, online payments, and payment alerts to avoid any impacts. To enroll visit chase.com/paperless.



96

5

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
12/30	LANDS END BUS OUTFITTERS DODGEVILLE WI	-74.00 <i>OS</i>
12/30	Payment ThankYou Image Check	-219.50
12/30	Payment ThankYou Image Check	-1,985.80
01/04	Amazon.com*AD67O2TY3 Amzn.com/bill WA	27.72 <i>RAM</i>
01/04	AMZN Mktp US*O12DE9QC3 Amzn.com/bill WA	99.98 <i>RAM</i>
01/04	MICHIGAN TOWNSHIPS ASS LANSING MI	1,940.00 <i>Cont</i>
01/06	GDP*MEDIDENT SUPPLIES 480-4638389 AZ	797.97 <i>OS</i>
01/12	LANDS END BUS OUTFITTERS 800-332-4700 WI	131.77 <i>OS</i>
01/12	AMZN Mktp US*DQ5HQ12S3 Amzn.com/bill WA	59.99 <i>RAM</i>
01/12	LANDS END BUS OUTFITTERS 800-332-4700 WI	86.85 <i>OS</i>
01/14	MICHIGAN ASSESSORS ASSOCI 888-8916064 MI	27.00 <i>School cont</i>
01/14	MICHIGAN ASSESSORS ASSOCI 888-8916064 MI	27.00 <i>School cont</i>
	MICHAEL C ARCHINAL	
	TRANSACTIONS THIS CYCLE (CARD 3223) \$918.98	
	INCLUDING PAYMENTS RECEIVED	

2022 Totals Year-to-Date	
Total fees charged in 2022	\$0.00
Total interest charged in 2022	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

OK -
[Signature]
1/24/2022

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
Purchases	13.24%(v)(d)	- 0 -	- 0 -
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate
 (d) = Daily Balance Method (including new transactions)
 (a) = Average Daily Balance Method (including new transactions)
 Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

REPAIR & MAINT 101-265-934-060 \$ 187.69
OFFICE SUPPLIES 101-260-900-070 \$ 942.59
Conference / meeting Fees 101-260-958-000 \$ 1994.00

February 2022

S	M	T	W	T	F	S
30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	1	2	3	4	5
6	7	8	9	10	11	12

New Balance
\$5,109.26
 Minimum Payment Due
\$51.00
 Payment Due Date
02/01/22

153 5

INK CASH(SM) POINT SUMMARY

Previous points balance	11,620
+ 1 Point per \$1 earned on all purchases	5,110
+ 2Pts/\$1 gas stns, rstnts, ofc sply, hm Impr	870
Total points available for redemption	17,600

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

MAILED
1-14-22

ACCOUNT SUMMARY

Account Number: 4798 6091 0244 9747

Previous Balance	\$723.91
Payment, Credits	-\$723.91
Purchases	+\$5,109.26
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$5,109.26

Opening/Closing Date	12/08/21 - 01/07/22
Credit Limit	\$36,500
Available Credit	\$31,390
Cash Access Line	\$1,825
Available for Cash	\$1,825

Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

ALL SYS - 233-000-004-996
 UTILITY DEPT.

JAN 13 2022

RECEIVED

[Signature]
01/13/22

YOUR ACCOUNT MESSAGES

'ALERT': The US Postal Service announced that mail may take up to 2 additional days to arrive starting October 1, 2021. This may impact delivery of mailed statements to you and mailed payments to us. Consider enrolling in paperless statements, online payments, and payment alerts to avoid any impacts. To enroll visit chase.com/paperless.

draft

GENOA CHARTER TOWNSHIP BOARD

**Regular Meeting
November 15, 2021**

MINUTES

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Terry Croft, Jim Mortensen and Diana Lowe. In addition there were Assistant Manager Kelly VanMarter and two persons in the audience.

A Call to the Public was made with the following response: Melanie Johnson – Consider moving future meetings to U-Tube meetings after tonight.

Consent Agenda:

Moved by Lowe and supported by Hunt to approve items 1 and 2 and moving the Minutes to the Regular Agenda for discussion. The motion carried unanimously.

1. Payment of Bills: November 15, 2021

3. Request Board approval to adjust the 2021 Winter tax roll as well as the Refuse Special Assessment Roll, X0012, to reflect eight additional homes at \$157.00/per home as submitted by the Township Treasurer.

Regular Agenda:

Moved by Lowe and supported by Croft to approve for action all items under the Regular Agenda with the addition of the Minutes. The motion carried unanimously.

2. Request to Approve Minutes: November 1, 2021

Moved by Lowe and supported by Mortensen to approve the Minutes with changes regarding comments from board members replacing Croft's name with Lowe's and other minor corrections. The motion carried unanimously.

4. Request to introduce proposed rezoning ordinance number Z-21-02 and to set the meeting date for the purpose of considering the proposed ordinance for adoption before the Township Board on Monday, December 6th, 2021. The properties proposed for rezoning are located on the east side of Victory Drive, north and south of Toddiem Drive involving parcels 4711-08-100-009 and 4711-05-303-015. The request is petitioned by Net Lease Associates to be rezoned from Industrial (IND) to Planned Industrial Development (PID).

Moved by Hunt and supported by Croft to introduce proposed rezoning ordinance number Z-21-02 and to set the meeting date for the purpose of considering the proposed ordinance for adoption before the Township Board on Monday December 6th, 2021. The motion carried unanimously.

Correspondence:

- A letter from Rogers and Archinal to the City Manager and Mayor of the City of Howell concerning Padnos Shredding Operation with regard to the 425-land transfer agreement and the City's failure to provide quality economic development.
- An e-mail from Rob McColl thanking the board for the internet buildout.
- A letter from Comcast ceasing operations of the NBC sport network.
- A memo from MiSignal outlining phases of their construction plan. Hunt – MiSignal will post a map at the end of the week outlining phases of the development.

Member Discussion:

- Skolarus – The Big Red Barrel collection generated 30 # of pills and 35# of sharps on the 23rd. This past Saturday we collected 19# of pills and 21 # of sharps/needles. We handed out brochures to residents dropping leaves and many people returned to the office with the drugs and needles.
- Skolarus – We were concerned Saturday with the noxious odor in the Township foyer and perhaps a fire hazard. It was thought to be related to double pronged 9-volt batteries. Hunt – Batteries were thrown around the parking lot.
- Mortensen provided corrections to the comment cards that will be used for large groups in attendance at the meetings.
- VanMarter – Through the Township website, the Planning Commission seeks residents' input regarding community attributes, focusing on, "What defines Genoa Township?"

Moved by Mortensen and supported by Hunt to adjourn the regular meeting of the board at 7:00 p.m. The motion carried unanimously.



Paulette A. Skolarus, Clerk
Genoa Charter Township

Bill Rogers, Supervisor
Genoa Charter Township

draft

**GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
December 6, 2021**

MINUTES

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:24 p.m. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were: Township Attorney Joe Seward; Township Assistant Manager Kelly VanMarter; Zoning Administrator Amy Ruthig; and approximately 140 persons in the audience.

Supervisor Rogers addressed the audience. Rogers – I realize that this is a few minutes early to open the meeting, but because of the crowd I will call to order the township board meeting of Dec. 6, 2021 and with that we have been taking counts and unfortunately, we are at excess capacity and are in violation of the fire code and I would respectfully request that we have a motion for adjournment. *Crowd booing.* Moved by Mortensen and supported by Hunt to adjourn the meeting at 6:32 p.m. The motion carried unanimously.

Rogers - We have a motion. We need a larger facility to hold this public hearing. We have tried to work with other facilities and will try to obtain a venue. We will look for a larger facility or go to zoom. Many of you may be aware that schools have closed due to Covid. *Obscene language from crowd.* "We do not want a zoom meeting." Rogers - This meeting is adjourned. *Crowd continues to object and voice their opinion and frustration for an additional five minutes.*

No further action is taken by the board.



Paulette Skolarus, Clerk
Genoa Charter Township

Bill Rogers, Supervisor
Genoa Charter Township

December 6, 2021

Genoa Charter Township Board:

Please approve the attached schedule of meetings and holidays for the Calendar year 2022.

These dates were reviewed and approved by all Boards and Commissions.

Signed: Bill Rogers, Polly Skolarus and Robin Hunt

**GENOA TOWNSHIP
SCHEDULE OF MEETINGS
January 1, 2022 thru December 31, 2022**

Meetings will be held at the Genoa Township Hall located at 2911 Dorr Road. The Township Board meets at 6:30 p.m., the Zoning Board of Appeals meet at 6:30 p.m. The Planning Commission meets at 6:30 p.m.

Regular meetings of the Township Board are generally scheduled for the first and third Monday of every month. The Planning Commission generally meets the second and if necessary, the fourth Monday; and the Zoning Board of Appeals usually meets the third Tuesday of each month. Holidays will occasionally disrupt the meeting schedules.

TOWNSHIP BOARD SCHEDULE

January 3, 2022	July 18, 2022
February 7 & 21, 2022	August 1 & 15, 2022
March 7 & 21, 2022	September 19, 2022
April 4 & 18, 2022	October 3 & 17, 2022
May 2 & 16, 2022	November 7 & 21, 2022
June 6 & 20, 2022	December 5, 2022

PLANNING COMMISSION SCHEDULE

January 10, 2022	July 11, 2022
February 14, 2022	August 8, 2022
March 14, 2022	September 12, 2022
April 11, 2022	October 11, 2022(Tuesday)
May 9, 2022	November 14, 2022
June 13, 2022	December 12, 2022

ZONING BOARD OF APPEALS SCHEDULE

January 18, 2022	July 19, 2022
February 15, 2022	August 16, 2022
March 22, 2022	September 20, 2022
April 19, 2022	October 18, 2022
May 17, 2022	November 15, 2022
June 21, 2022	December 13, 2022

BOARD OF REVIEW

March 8, 2022	July 19, 2022
March 14 & 15, 2022	Dec. 13, 2022

Signed: Paulette A. Skolarus
Genoa Township Clerk

Notice Posted on Front Display
Dec. 6, 2021 thru Dec. 31, 2022

(Policy/schedule of meetings 2022)

Date: Dec. 6, 2021

To: Genoa Township Staff

From: Polly Skolarus, Robin Hunt, and Bill Rogers

For your records the following holidays are scheduled for 2022:

Floating Holiday	Anytime
Martin Luther King Day	January 17, 2022
Good Friday	April 15, 2022
Memorial Day	May 30, 2022
Independence Day	July 4, 2022
Labor Day	September 5, 2022
Columbus Day	October 10, 2022
Veteran's Day	November 11, 2022
Thanksgiving Day	November 24, 2022
Friday following Thanksgiving	November 25, 2022
Christmas Eve	December 23, 2022 (falls on Saturday)
Christmas Day	December 26, 2022 (falls on Sunday)
New Years Eve	December 30, 2022 (falls on Saturday)

Policy/holidays 2022

Memo

To: Genoa Township Board

From: Robin Hunt, Treasurer

Date: 2/2/2022

I have placed on the Consent Agenda the following item for your consideration:

- Request for approval to enter into agreements to collect 2022 Summer property taxes for the Brighton Area Schools, Hartland Consolidated Schools, Howell Public Schools, and the Livingston Educational Service Agency as submitted by the Township Treasurer.

As in the past several years, the agreement with the Hartland and Brighton School Districts will be to collect the Operating (Non-Homestead) Levy of their School Tax on the Summer Tax Bill. The agreement with Howell Schools is to collect the Operating (Non-Homestead) Levy as well as half of their Debt Levy to all parcels on the Summer roll. Pinckney Schools does not levy any school tax on the Summer tax roll. Livingston Educational Services Agency (LESA) will collect their full levy for Brighton, Hartland & Howell on the Summer bill and their full levy on the Winter bill for Pinckney Schools.

The agreements, as in the past, will be at a fee of \$3.00 per parcel for this collection.

Please let me know if you have any questions. Thank you!





2911 Dorr Road
 Brighton, MI 48116
 810.227.5225
 810.227.3420 fax
 genoa.org

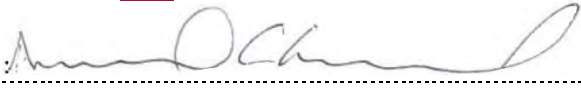
MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director

DATE: December 1, 2021 updated February 2, 2022

RE: **Capital Asphalt – Victory/Toddiem Drive PID Rezoning and Conceptual PUD Ordinance No. Z-22-011-02**

MANAGERS REVIEW: 

In consideration of the approval recommendations by the Township Planning Commission on October 11, 2021 and the Livingston County Planning Commission on November 17, 2021 please find the attached proposed rezoning ordinance and conceptual planned industrial development agreement, plan and impact assessment for your consideration. The proposed rezoning involves two properties located on the east side of the southern end of Victory Drive both north and south of Toddiem Drive. The larger 11-acre parcel (4711-08-100-009) is located south of Toddiem Drive at 3080 Toddiem Drive and is currently occupied by a scrap metal business. The smaller 5.2-acre parcel (4711-05-303-015) is vacant and located east of Victory Drive and north of Toddiem Drive.

The rezoning requested is from Industrial District (IND) to a Planned Industrial Development (PID) overlay district. The proposal is for a new asphalt production plant, including multiple buildings and structures, as well as outdoor storage of materials. The existing scrap metal business would be discontinued and the existing building would be repurposed for the new use.

The conceptual Planned Industrial Development agreement maintains the permitted and special land uses of both the industrial and office zoning districts and the proposed use is planned to remain as a special land use. The primary components of the planned development agreement include the following:

- Applicant commitment to construct and pave Toddiem Drive to county standards, which will provide a roadway connection between Victory Drive and Grand Oaks Drive. This will provide access to the Latson interchange without adding truck traffic on Grand River. The applicant seeks a deviation through the PUD to allow the asphalt use to exist in this location despite not being located on a county primary or a roadway with 86' feet of right of way.
- Applicant commitment to extend municipal water with fire hydrants along Toddiem Drive from Grand Oaks Drive to Victory Drive.
- Clean up of the site to removal the outdoor scrap metal and trailer storage.

SUPERVISOR
 Bill Rogers

CLERK
 Paulette A. Skolarus

TREASURER
 Robin L. Hunt

TRUSTEES
 Jean W. Ledford
 H. James Mortensen
 Terry Croft
 Diana Lowe

MANAGER
 Michael C. Archinal

- Applicant seeks relief on buffer zone requirements due to preservation of existing woodlands and topography.
- Applicant seeks relief on building height to allow 86 feet instead of the required 30 feet and to allow building materials to exceed the 25% maximum allowance for metal exterior finish.
- While maintaining the requirement for a special land use authorization, the development agreement seeks to increase the storage capacity amounts for above ground storage tanks.

Procedurally, the applicant is at the last step of the rezoning and conceptual PUD approval phase. If granted conceptual approval, the applicant may then proceed to the required final PUD phase which shall include special land use review for the asphalt plant and the storage of fuel/hazardous materials.

My review of the revised submittal was focused on compliance with the conditions of the Planning Commission recommendation and form the basis for the motions presented below for your consideration. Please note that I have added an optional condition under the impact assessment to help ensure that the environmental and health concerns recently raised by the community are appropriately addressed at the final stage.

REZONING – REQUIRES ROLL CALL VOTE

Moved by _____, Supported by _____ to **APPROVE AND ADOPT** Ordinance No. **Z-22-021-02**. This approval is made because the proposed amendment to the Zoning Map and reclassification as a Planned Industrial District (PID) with the related development agreement, impact assessment and conceptual plan has been found to comply with the qualifying conditions and the criteria stated in Sections 10.07.01 and 22.04 of the Township Zoning Ordinance.

PUD AGREEMENT

Moved by _____, Supported by _____ to **APPROVE** the PUD Agreement revised on December 1, 2021.

IMPACT ASSESSMENT

Moved by _____, Supported by _____, to **APPROVE** the environmental impact assessment dated November 24, 2021 as submitted.

Optional condition - In addition to the required Pollution Incident Prevention Plan (PIPP), the final PUD/ special land use impact assessment shall provide an analysis by an air quality expert to address any potential pollution impacts including airborne emissions and odors. This analysis shall also detail and recommend mitigation and control measures.

CONCEPTUAL PUD PLAN

Moved by _____, Supported by _____, to APPROVE the Conceptual PUD Plan dated 9/21/21 with the following conditions:

1. The final site plan shall include a lighting plan and all other items as required by Section 10.06 as required by ordinance.
2. The landscape plan shall include tree protection fencing around the dripline of areas to be protected during construction.
3. The proposed use will require special land use and final PUD site plan review and unless otherwise indicated in the development agreement, the special land use standards of Section 19.03, and the use requirements of Section 8.02.02(a) and Section 13.07 will be applied.
4. All conditions of the Township Engineer, the Brighton Area Fire Authority, the Livingston County Road Commission, the Livingston County Drain Commission, the Livingston County Health Department, and both the MHOG water and GO sewer authorities shall be addressed.
5. As provided by Section 10.04.02 approval of the conceptual PUD site plan confers upon the owner the right to proceed through the subsequent planning phase for a period not to exceed 2 years from the date of approval unless an extension request is approved by the Board prior to the expiration date.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter

Assistant Township Manager/Community Development Director

ORDINANCE NO. Z-22-01

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY REZONING PARCEL 4711-08-100-009 (11 ACRES) AND 4711-05-303-015 (5.2 ACRES) FROM INDUSTRIAL (IND) TO A PLANNED INDUSTRIAL OVERLAY DISTRICT (PID).

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map, as incorporated by reference in the Charter Township of Genoa's Zoning Ordinance, is hereby amended as follows:

Real property containing approximately 11 acres with parcel ID number 4711-08-100-009 located at 3080 Toddiem Drive on the south side of Toddiem Drive, east of Victory Drive and real property containing approximately 5.2 vacant acres with parcel ID number 4711-05-303-015 located on the east side of Victory Drive north of Toddiem Drive both of which are more particularly described as follows:

Parcel 4711-08-100-009 (3080 Toddiem Drive, Howell, MI 48843)

A part of the Northwest 1/4 of Section 8, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North 1/4 corner of said Section 8; thence South 87°12'58" West along the North line of said Section, 1817.08 feet to the point of beginning of the parcel to be described; thence South 02°06'23" East 720.64 feet; thence South 88°02'55" West 384.26 feet to the Northeasterly right-of-way line of the C & O Railroad; thence North 49°45'12" West along said right-of-way line 506.19 feet to the West line of said Section (as monumented); thence North 02°15'06" West along and West line 369.60 feet to the Northwest corner of said Section; thence North 87°12'58" East along the North line of said Section, 759.32 feet to the point of beginning.

Subject to and including the use of a 66 foot wide private road easement for ingress and egress, the North line of which is described as: Part of the Northwest 1/4 of Section 8, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North 1/4 corner of said Section 8; thence South 87°12'58" West along the North line of said Section 496.99 feet to the Westerly right-of-way line of Grand Oak Drive and the point of beginning of said easement; thence South 87°12'58" West 2079.41 feet to the point of ending of said easement.

Parcel 4711-05-303-015 (vacant land, Victory Drive, Howell, MI 48843)

Lot 15, Grand Oaks West Industrial Park, according to the plat thereof, as recorded in Liber 30 of Plats, Pages 1, 2, 3, 4, and 5, Livingston County Records.

shall be rezoned from the Industrial (IND) district to a Planned Industrial Development District Overlay (PID) zoning classification. The Township Planning Commission and Township Board, in strict compliance with the Township Zoning Ordinance and with Act 184 of the Public Acts of 1943, as amended, reclassified the Property as Planned Industrial District (PID) finding that such classification properly achieved the purposes of Section 22.04 of the Township's Zoning Ordinance (as amended).

Severability If any provision of this Ordinance is found to be invalid, then the remaining portions of this Ordinance shall remain enforceable.

Effective Date This Ordinance shall be effective upon publication in a newspaper of general circulation as required by law.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas:

Nays:

Absent: None

I hereby approve the adoption of the foregoing Ordinance this ____ day of _____, 2022.

Paulette A. Skolarus
Township Clerk

Bill Rogers
Township Supervisor

Township Board First Reading: November 15, 2021
Date of Publication of Proposed Ordinance: November 28, 2021 and January 23, 2022
Township Board Second Reading and Adoption:
Date of Publication of Ordinance Adoption:
Effective Date:



PUBLIC COMMENT RECORD

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Due to the large amount of public comment for this project, staff has compiled emails and letters received by Township staff after the Planning Commission meeting in a separate record of public comment available at the following link:

[CAPITAL ASPHALT - PUBLIC COMMENT](#)

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe

MANAGER

Michael C. Archinal

Please note that comments received after the meeting packet was finalized on Feb. 2, 2022 at 12pm are not included in this record but will be added to the project case file.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPPLEMENT TO PUBLIC COMMENT RECORD

Please see link below for a packet of emails inadvertently left out of the original public comment file plus additional information submitted by the applicant.

[CAPITAL ASPHALT - PUBLIC COMMENT](#)
[SUPPLEMENT](#)

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

Commission meeting to allow the applicant to address the comments made by the Planning Commission this evening. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2... A request of a rezoning from Industrial (IND) to Planned Industrial District (PID), Planned Industrial Development Agreement, Environmental Impact Assessment and Conceptual PID site plan for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection. The rezoning includes the following parcels: 4711-08-100-009 and 4711- 05-303-015. The request is petitioned by Net Least Associates South, LLC.

- A. Recommendation of Rezoning and PUD Application
- B. Recommendation of PID Agreement
- C. Recommendation of Impact Assessment (9-1-2021)
- D. Recommendation of Conceptual PUD Plan (9-21-2021)

Ms. Abby Cooper, the attorney for the applicant, Mr. Wayne Perry, the engineer, Mr. Daren Zimmerman and Mr. Chris Smith, representing the applicant, Ms. Kathleen Gunkle, an environmental engineer, and the sellers of the abutting properties were present.

Ms. Cooper stated they are proposing to develop a state-of-the art asphalt plant on this site. The applicant runs an asphalt plant in Lansing and would like to operate one here in Livingston County. She noted that the use and the project are compatible with the surrounding neighborhood. The applicant will be bringing Toddiem Drive up to Livingston County Road Commission standards. Municipal water and a new stormwater management system will be installed and the existing outdoor storage of metal scrap will be removed as part of this project.

Mr. Perry reviewed the site plan, detailing the paving plan, building locations, site access, and the process and operations of the asphalt plant. He explained where the material is brought in and through the site to the stockpile locations. They are requesting that the Buffer Zones B requirement be waived for three sides of the property. They will meet the requirements along Toddiem Drive. Due to the existing topography, existing foliage and surrounding uses, additional plantings would be unnecessary. They are also requesting approval to store liquids on the site.

Commissioner McCreary asked if there will be a maintenance agreement for Toddiem Drive after it is paved. Mr. Perry stated it is a private drive so a maintenance agreement would need to be made between all four of the adjacent property owners.

Mr. Zimmerman showed a photograph of his existing plant. They pave the site so that they can use dust control measures. It is also swept multiple times per day. He explained the environmental requirements they must follow with the State of Michigan.

Commissioner Rauch stated that this site is the best one in the Township for this type of use. While the residential areas are not in the near vicinity to this site, he asked what the impact is on

them. Mr. Zimmerman said that they very rarely work at night or on weekends. Ms. Gunkle stated that air quality permits are required and for that permit, they need to assess the emissions from the site. If the odor does become a problem, a remedy could be put in place. She noted that due to the location of the residential neighborhoods and the prevailing winds, they would not be impacted by the odor or the dust. Commissioner Rauch requested to have the Impact Assessment contain language stating that if odor does become an issue for the residents, a remedy would be put in place. Mr. Smith stated they will include that.

Commissioner McBain is concerned with the impact on the adjacent public roads. Mr. Archinal stated that having Toddiem Drive paved will allow for other businesses off of Victory Drive to use it to access I-96 and this will ease the traffic and impact on Grand River. Mr. Borden noted that the Livingston County Road Commission has to provide their approval at the time of final approval.

Mr. Zimmerman stated that this plant will employ 30 plus people.

Mr. Borden reviewed his letter dated October 5, 2021

- The proposal generally meets the Planned Unit Development (PUD) qualifying conditions, provided the following are addressed:
 - The Township authorizes a reduction in the conventional lot area requirement;
 - The applicant extends public water to serve the site; and
 - The applicant addresses any concerns raised by the Township Engineer, Utilities Director or Fire Authority.
- Rezoning to the PID overlay is consistent with the Master Plan and Future Land Use Map, and generally meets the rezoning criteria for a PUD.
- The applicant seeks deviations via the PUD for building/structure height and materials, as well as from use requirements related to roadway access for an asphalt plant, and size of storage tanks for fuel.
- If approval is granted, the applicant will need to apply for review and approval of special land uses and a final PID site plan. A PIP Plan will also be required.
- The parking calculations note that 23 spaces are provided; however, the plan depicts only 19.
- The final site plan submittal must include a full lighting plan.
- There are discrepancies between the landscape plan and planting table with respect to quantities.
- We suggest the Township require tree protection fencing around the dripline of areas to be protected during construction activities.
- The applicant requests deviations from Buffer Zone “B” requirements in multiple locations due to existing site conditions (existing wooded areas, adjacency to a railroad, and significant topographic changes).
- The applicant must address any concerns raised by the Township Engineer, Utilities Director or Brighton Area Fire Department.

Commissioner McCreary questioned the deviations that are being requested. She asked if the Township should revise the height requirements in this zoning district Mr. Borden stated the PID allows for the Township to approve the deviations and this is a good tool for this type of project in this zoning.

Mr. Markstrom reviewed his letter dated October 6, 2021.

- The final site plan submittal should include more detail such as dimensioning of drives and parking, detention basin details, and curb and gutter. Additional detail will also need to be provided for the improvements to Toddiem Drive.
- The proposed improvements will need to be approved by the Brighton Area Fire Authority. This approval should be obtained and provided to the Township prior to site plan approval.
- A soil erosion and sedimentation control plan should be submitted as required by Genoa Township Engineering Design Standards for sites with more than one acre of disturbance.
- A traffic plan should be submitted with the final site plan as required by Genoa Township Zoning Ordinance. The traffic plan will need to show access to the site and detail the projected amount of truck traffic.
- The Livingston County Drain Commissioner will need to review and approve the proposed storm plan, as the proposed detention basin will outlet to their system. This approval should be provided to the Township prior to site plan approval.
- The petitioner is proposing to connect to the existing water main on Grand Oaks Drive. We suggest the water main be looped to the main north of the site in Victory Drive. The size of the pipe to Grand Oaks as well as to Victory Drive should be discussed with MHOG to confirm it matches the Authority's Master Plan for utilities in this area. The petitioner should provide information on their expected water uses to better understand the water improvements needed for the site.
- After site plan approval, water main and sanitary sewer construction plans must be submitted to MHOG for their review and approval, along with permitting through EGLE. The construction plans will need to include more detail on the proposed connections and include plan and profile.
- It is possible that the petitioner will be required to pay connection fees to connect to municipal water and sanitary sewer prior to obtaining a land use permit. This fee would be determined using Genoa Township's REU Table.

Chairman Grajek noted that BAFA

The call to the public was made at 8:50 pm with no response.

Commissioner Dhaenens asked if different materials could be used for the building as it does not meet the ordinance. Mr. LeClair said they were not planning on changing any of the materials of the existing buildings.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Rezoning and PUD Application for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection for Net Least Associates South, LLC because the Planning Commission finds that the PUD proposal generally meets the PUD qualifying conditions. This recommendation is conditioned upon the following:

- The reduction of lot size requirements is acceptable as the application will extend the water main to their site
- The applicant shall address concerns from the Township Engineer, Brighton Area Fire Authority
- The Planning Commission acknowledges that the applicant seeks the following deviations as noted in the Site Plan and PUD Application
 - Building/structure height and materials
 - Use requirements related to roadway access for an asphalt plant
 - Size of storage tanks for fuel.
- The petition will take into account the opportunity to make improvements to the existing building.

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment September 1, 2021 for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection for Net Least Associates South, LLC with the future inclusion of text stating that if odor is an issue in the future for adjacent residential properties remedies as mentioned this evening will be added to the facility operations. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Conceptual PUD Plan dated September 21, 2021 for a proposed asphalt plant at 3080 Toddiem Drive, located at Victory Drive and Toddiem Drive intersection for Net Least Associates South, LLC, based on the following conditions:

- The parking calculation discrepancy will be updated
- The final site plan will include a lighting plan, a landscape plan with tree protection measures outlined
- The applicant's request for deviations from Buffer Zone #B are acceptable due to the existing site conditions, such as existing wooded areas, adjacency to a railroad, and significant topographic changes.
- The applicant shall address concerns from the Township Engineer, Brighton Area Fire Authority, and MHOG

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Mr. Archinal had nothing to report this evening.

Approval of the September 13, 2021 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the September 13, 2021 Planning Commission Meeting with the corrections noted. **The motion carried unanimously.**

Member Discussion

Commissioner Dhaenens may not be in attendance at November's meeting.

Mr. Archinal stated they have a potential replacement for Commissioner Rickard.

Adjournment

Moved by Commissioner Mortensen, seconded by Commissioner McCreary, to adjourn the meeting at 9:08 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary



Livingston County Department of Planning

November 19, 2021

Genoa Charter Township Board of Trustees
c/o Polly Skolarus, Township Clerk
Genoa Charter Township Hall
2911 Dorr Road
Brighton, MI 48116

Kathleen J. Kline-Hudson
AICP, PEM
Director

Robert A. Stanford
AICP, PEM
Principal Planner

Scott Barb
AICP, PEM
Principal Planner

**Re: Planning Commission Review of Zoning Amendment Z-37-21, IND
Industrial to PID Planning Industrial District in Sections 5 and 8**

Dear Board Members:

The Livingston County Planning Commission met on Wednesday, November 17, 2021 and reviewed the zoning amendment referenced above. The Livingston County Planning Commissioners made the following recommendation:

Z-37-21 Approval. The proposed rezoning from Industrial to Planned Industrial Development (PID) overlay is compatible with surrounding planning, zoning and current land uses. The proposed asphalt plant is a specially permitted use in PID and property improvements associated with this development will benefit Genoa Township and the industries of the Victory Lane/ Grand Oaks Boulevard industrial area.

Copies of the staff review and draft Livingston County Planning Commission meeting minutes are enclosed. Do not hesitate to contact our office should you have any questions regarding this county action.

Sincerely,

Kathleen J. Kline-Hudson

Kathleen J. Kline-Hudson
Director

Enclosures

c: Chris Grajek, Chair Genoa Charter Township Planning Commission
Kelly VanMarter, Assistant Township Manager/Community Development
Director, Genoa Charter Township

Meeting minutes and agendas are available at:
<https://www.livgov.com/plan/Pages/meetings.aspx>

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

(517) 546-7555
Fax (517) 552-2347

Web Site
co.livingston.mi.us



**LIVINGSTON COUNTY PLANNING DEPARTMENT
REZONING REQUEST - | -
STAFF REPORT**

**CASE NUMBER:
Z-37-21**

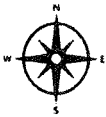
COUNTY CASE NUMBER:	Z-37-21	TOWNSHIP:	Genoa
REPORT DATE:	November 1, 2021	SECTION NUMBER:	5 and 8
STAFF ANALYSIS BY:	Kathleen Kline-Hudson	TOTAL ACREAGE:	16.2

APPLICANT / OWNER:	Net Lease Associates/ 10-20 Investments & Leasing
LOCATION:	Intersection of Victory Drive and Toddiem Drive
LAND USE:	Metal Scrap Yard

CURRENT ZONING:	REQUESTED ZONING:
IND Industrial District	PID Planned Industrial District
PERMITTED/SPECIAL USES (Not all inclusive):	PERMITTED/SPECIAL USES (Not all inclusive):
<u>Permitted:</u> (not all inclusive) Manufacturing; bakeries; contractor's offices and buildings with only indoor storage of equipment and machinery; electronic equipment manufacturing; furniture and fixtures manufacturing; print shops and book publishing; and warehousing establishments.	<u>Permitted:</u> (not all inclusive) Uses permitted in the Industrial and Office-Service Districts.
<u>Special:</u> (not all inclusive) Automotive assembly or manufacturing; bottling and packaging; breweries, distilleries and wineries; Cement, concrete, gypsum, plaster and nonmetallic mineral products manufacturing; chemicals and allied products manufacturing; and contractors yards.	<u>Special:</u> (not all inclusive) Special land uses of the Industrial and Office-Service Districts.
<u>Minimum Lot Area:</u> 1 Acre	<u>Minimum Lot Area:</u> Minimum lot area shall be two (2) acres except up to twenty five percent (25%) of the total number of lots may be between one and one-half (1-1/2) and two (2) acres in area.

TOWNSHIP PLANNING COMMISSION RECOMMENDATION AND PUBLIC COMMENTS:	ESSENTIAL FACILITIES AND ACCESS:
Approval; there were no public comments at the October 12 public hearing.	Water: Private well Sewer: Public sewer Access: Access to the property is via Victory Lane.

EXISTING LAND USE, ZONING AND MASTER PLAN DESIGNATION:

	Land Use:	Zoning:	Master Plan:	
Subject Site:	Metal Scrap Yard (southern parcel) and mostly vacant (northern parcel)	IND Industrial District	Industrial	
	To the North:	Commercial	IND Industrial District	
	To the East:	Industrial and Vacant	IND Industrial District	
	To the South:	Railroad and Vacant	IND Industrial District and PID Planned Industrial District	Industrial and Regional Commercial
	To the West:	Industrial and Vacant	IND Industrial District and High Density Residential	Industrial, Research and Development, Public/ Institutional/ Utilities
			Industrial, Research and Development	
			Industrial, High Density Residential	

ENVIRONMENTAL CONDITIONS:

Soils / Topography:	Primarily well-drained Miami Loam soils are present on nearly level to gently rolling topography. An area of Tawas Muck soils are present near the northern boundary of the northern parcel. This soil type presents some limitations for nonfarm development.
Wetlands:	The National Wetland Inventory notes one small marshy, emergent wetland at the northern boundary of the northern parcel where Tawas Muck soil is present.
Vegetation:	Woods, and shrub/scrub brush.
County Priority Natural Areas:	According to the map "Livingston County's High Quality Natural Areas", there are no Priority 1,2,or 3 Natural Areas on-site.

TOWNSHIP MASTER PLAN DESIGNATION:

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates the site as Industrial. The intent of this designation is to develop industrial uses such as research, wholesale and warehouse activities and light industrial operations which manufacture, compound, process, package, assemble and/or treat finished or semi-finished products from previously prepared material. The processing of raw material for shipment in bulk form, to be used in an industrial operation at another location is found only in very defined and limited portions of this area.

The site is also in a designated Primary Growth Area of Genoa Township, along Grand River Avenue/ I-96 corridor between Brighton and Howell. Primary growth areas are currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks and mixed-use centers.

CASE NUMBER: Z-37-21	DATE: November 1, 2021	ANALYSIS BY: Kline-Hudson	PAGE: 2
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COUNTY COMPREHENSIVE PLAN:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

COUNTY PLANNING STAFF COMMENTS:

The petitioner is requesting a rezoning from Industrial (IND) to Planned Industrial District (PID); an overlay district of the Industrial District that allows flexible land use design. The site consists of two parcels that total 16.2 acres in size, and PID sites must have a minimum acreage of 20 acres of contiguous land. The Genoa Township Zoning Ordinance allows for a 5 acre reduction in the minimum lot size of a PID from 20 acres to 15 acres for sites served by public sewer and water; this site has access to these public utilities. The petitioner is proposing to develop an asphalt plant on the site, similar to the one that he operates in Lansing; this will entail multiple buildings and structures as well as outdoor storage of materials. There is one existing building on the southern site that will remain (15,040 sq. ft.). As part of the PID application, the petitioner proposes the following property improvements:

1. Construction and paving of Toddiem Drive per LCRC standards resulting in an improved road and linkage between Victory Drive and Grand Oaks Drive for public use and emergency vehicles.
2. Construction of a storm water management system per LCDC standards (the site has none).
3. Extension of municipal water to the site (currently private well).
4. Elimination of outdoor storage of scrap metal (current use of south parcel).
5. Elimination of onsite trailer storage (current use of north parcel).

The permitted and specially permitted uses of the PID are the same as the Industrial District. The specially permitted uses of "cement, concrete, gypsum, plaster and nonmetallic mineral products manufacturing" apply to the proposed asphalt plant use. If PID zoning is granted, the applicant must apply for review and approval of a special land use and final PID site plan.

The proposed rezoning to PID is consistent with the Genoa Township Master Plan designation of Primary Growth Area, and Future Land Use map designation of Industrial. The proposed use of an asphalt plant is compatible with the surrounding industrial uses on Victory Lane and Grand Oaks Boulevard, as well as the railway and highway use to the south.

COUNTY PLANNING STAFF RECOMMENDATION:

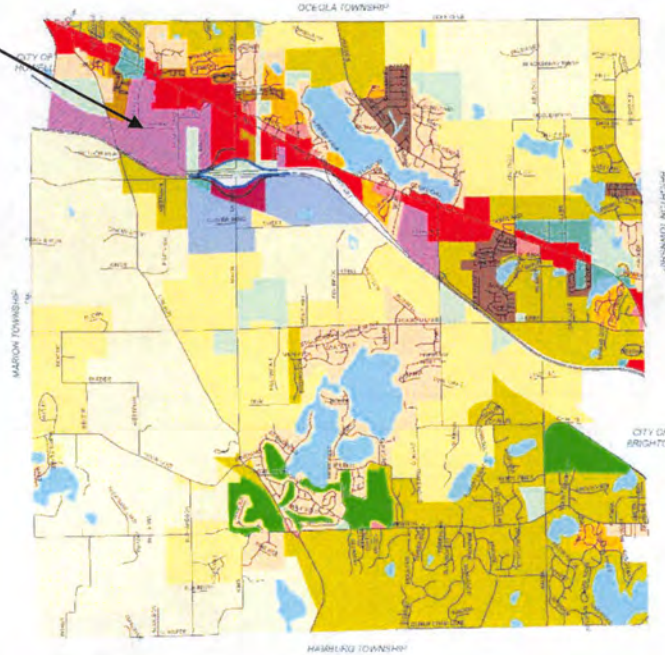
APPROVAL; The proposed rezoning from Industrial to Planned Industrial Development (PID) overlay is compatible with surrounding planning, zoning and current land uses. The proposed asphalt plant is a specially permitted use in PID and the property improvements associated with this development will benefit Genoa Township and the industries of the Victory Lane/ Grand Oaks Boulevard industrial area.

EXISTING LAND USE MAP:



FUTURE LAND USE MAP:

SITE



MAP 7
Future Land Use
Master Plan Update
Genoa Township
Livingston County, MI

- AGRICULTURE/COUNTRY ESTATE - 3 acres per unit
- LARGE LOT RURAL RESIDENTIAL - 2 acres per unit
- LOW DENSITY RESIDENTIAL - 1 acre per unit
- SMALL LOT SINGLE FAMILY RESIDENTIAL - 2 to 3 units per acre
- MEDIUM DENSITY RESIDENTIAL - 5 units per acre
- HIGH DENSITY RESIDENTIAL - 8 units per acre
- MANUFACTURED HOUSING
- NEIGHBORHOOD COMMERCIAL
- GENERAL COMMERCIAL
- REGIONAL COMMERCIAL
- MIXED USE TOWN CENTER
- CHURCH
- INDUSTRIAL
- RECREATION AND DEVELOPMENT
- PUBLIC/UNIVERSITY/INSTITUTIONAL
- PRIVATE RECREATION
- INTERCHANGE CAMPUS
- INTERCHANGE COMMERCIAL

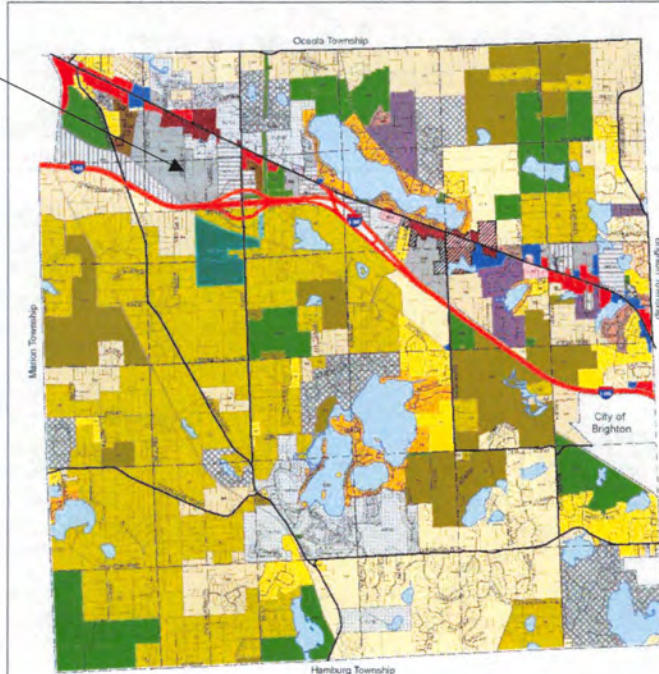
December 2018

Scale: 0 300 600 900 Feet
Genoa, MI 48131 Livingston County, Genoa, MI

L.S.I. Planning
Livingston County, Michigan

TOWNSHIP ZONING MAP:

SITE

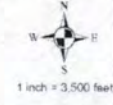


Zoning Map
Genoa Charter Township
Livingston County, Michigan

Legend

- | | |
|------|-------------|
| AG | GC |
| CE | NS |
| RR | OS |
| LDR | NRPUD |
| SR | IND |
| LRR | PID |
| UR | PRF |
| MDR | MUPUD |
| HDR | RDPUD |
| RPUD | Town Center |
| MHP | CAPUD |
| RC | ICPUD |

Genoa Charter Township, Michigan
Zoning Ordinance, 2018
Map No. Z-37-21
Livingston County, Michigan
November 1, 2021



Official Zoning Map
Adopted May 13, 2018, Revised June 4, 2020
Created by L.S.I. Planning
Revised by L.S.I. Planning
Livingston County, Michigan

SITE PHOTOS:



Subject Site



Subject Site



View Looking West from Site



West - Lakeshore Village Apartments



View Looking North from Site



East - ISO on Grand Oaks

MEDIUM DENSITY RESIDENTIAL: This designation primarily refers to moderate-density single-family uses, including single-family homes on existing small lots and some two-family attached condominiums. Areas designated as Medium Density Residential were selected where historic patterns of development near commercial nodes and around many of the lakes in the southern and western portions of the Township have resulted in medium density areas. Other areas of existing moderate density development were also categorized as Medium Density, as well as areas where a transition is needed between lower density areas and multiple-family or neighborhood commercial areas. These areas are expected to be developed at densities of two to three dwelling units per acre, and are generally located within close proximity to major thoroughfares and commercial areas, and where the existence of larger parcels of land that can accommodate this type of development. The majority of the Medium Density Residential areas are found within areas that are served, or may be served by public water and sewer.

County Comprehensive Plan:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

Township Planning Commission Recommendation: Approval. The Brighton Charter Township Planning Commission recommended Approval of this Rezoning at its October 11, 2021 Public Hearing.

Staff Recommendation: Approval. The proposed rezoning is fairly consistent with the Master Plan for the subject parcel and would generally be compatible with the retail/office/service nature of the surrounding area. County Planning concurs with the Township in that the proposed mixed-use PUD offers a benefit to the Township in terms of open space. The PUD also allows for the necessary flexibility needed to efficiently and effectively site the proposed plan within a small, unique parcel.

Commission Discussion: Commissioner Anderson asked if there were lake privileges and the applicant stated there are not. Commissioner Funk asked if the owners are individuals or entities. The applicant stated there are no restrictions to prevent common occupancy of the units. Commissioner Ikle inquired about the limited parking, access, and open space.

Public Comment: Patrick Cleary from Boss Engineering clarified the project for the Commissioners.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER BOWDOIN TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER ANDERSON.

Motion passed: 6-0

**Yea: Prokuda [X] Ikle [X] Anderson [X] Bowdoin [X] Funk [X] Call [X]
Nay: None.**

E. Z-37-21: GENOA CHARTER TOWNSHIP – REZONING

Current Zoning: IND-Industrial

**Proposed Zoning: PID Planned Industrial Development
Sections 5 & 8**

Township Master Plan:

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates the site as Industrial. The intent of this designation is to develop industrial uses such as research, wholesale and warehouse activities and light industrial operations which manufacture, compound, process, package, assemble and/or treat

finished or semi-finished products from previously prepared material. The processing of raw material for shipment in bulk form, to be used in an industrial operation at another location is found only in very defined and limited portions of this area. The site is also in a designated Primary Growth Area of Genoa Township, along Grand River Avenue/ I-96 corridor between Brighton and Howell. Primary growth areas are currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks and mixed-use centers.

County Comprehensive Plan:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

Township Planning Commission Recommendation: Approval. The Genoa Charter Township Planning Commission recommended Approval of this Rezoning at its October 12, 2021 Public Hearing.

Staff Recommendation: Approval. The proposed rezoning from Industrial to Planned Industrial Development (PID) overlay is compatible with surrounding planning, zoning and current land uses. The proposed asphalt plant is a specially permitted use in PID and the property improvements associated with this development will benefit Genoa Township and the industries of the Victory Lane/ Grand Oaks Boulevard industrial area.

Commission Discussion: Commissioner Prokuda inquired about the extra truck traffic.

Public Comment: Wayne Perry of Desine, Inc. responded that paving Toddiem Drive provides access to Grand Oaks Blvd. and the Latson Road interchange of I-96.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER ANDERSON TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER CALL.

Motion passed: 6-0

Yea: Prokuda [X] Ikle [X] Anderson [X] Bowdoin [X] Funk [X] Call [X]

8. OLD BUSINESS:

- A. Visits to local Planning Commission meetings:** Township PC visits were discussed for Oceola and Green Oak Townships.
- B. Planning Commission Vacancies:** Interviews went well and resulted in 2 names being forwarded to the Board of Commissioners for consideration – John Belcher and Jason Schrock.

9. NEW BUSINESS

- A. Airport Zoning Board of Appeals – Ikle and Call:** Ikle and Call are both still interested in being on the Airport Zoning Board of Appeals.



**GENOA CHARTER TOWNSHIP APPLICATION
Planned Unit Development (PUD)**

APPLICANT NAME: Net Lease Associates South, LLC and Net Lease Associates North, LLC

APPLICANT EMAIL: jonsawyer@icloud.com

APPLICANT ADDRESS & PHONE: P.O. Box 5467, Saginaw, MI 48605 . (989) 245-6973

OWNER'S NAME: See attached authorization

OWNER ADDRESS & PHONE: See attached . ()

TAX CODE(S): 4711-08-100-009 and 4711-05-303-015

QUALIFYING CONDITIONS (To be filled out by applicant)

1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:
 - Residential Planned Unit Development (RPUD)
 - X Planned Industrial District (PID)
 - Mixed Use Planned Unit Development (MUPUD)
 - Redevelopment Planned Unit Development (RDPUD)
 - Non-residential Planned Unit Development (NRPUD)
 - Town Center Planned Unit Development (TCPUD)
3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN The applicants identified above are affiliated entities with the same member owning 100% membership in each company.

4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:
 - A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.
 - B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established. The Township Board shall only permit the PUD on the smaller site where it finds that the flexibility in dimensional standards is necessary to allow for innovative design in redeveloping the site and an existing blighted situation will be eliminated. A parallel plan shall be provided showing how the site could be redeveloped without the use of the PUD to allow the Planning Commission to evaluate whether the modifications to dimensional standards are the

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

- C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:
 - preservation of significant natural or historic features
 - a complementary mixture of uses or a variety of housing types
 - common open space for passive or active recreational use
 - mitigation to offset impacts
 - redevelopment of a nonconforming site where creative design can address unique site constraints.

- D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is Approximately 16.2 acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

See Attachment.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

- 1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

See Attachment for 1-4.

- 2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

See Attachment for 1-4.

- 3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the “health, safety and welfare” of the Township;

See Attachment for 1-4.

4. The apparent demand for the types of uses permitted in the PUD;

See Attachment for 1-4.

AFFIDAVIT

The undersigned says that they are the Applicant/Purchaser (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: 

ADDRESS: P.O. Box 5467, Saginaw, MI 48605

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Abby H. Cooper of Attorney for Applicant at abby@crlaw.biz
Name Business Affiliation E-mail

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Toddiem/Victory Drive PID

PROJECT LOCATON & DESCRIPTION: Asphalt Manufacturing Plant and Storage on approx. 16.2 acres
located on the NE & SE corner of Toddiem Dr & Victory Dr currently operating as Advance Metal Alloys.

SIGNATURE: 

DATE: August 31, 2021

PRINT NAME: Don Sawyer

PHONE: 989-245-6973

COMPANY NAME & ADDRESS: Net Lease Associates South, LLC & Net Lease Associates North, LLC



GENOA CHARTER TOWNSHIP
Application for Re-Zoning

Net Lease Associates North, LLC, AND

APPLICANT NAME: Net Lease Associates South, LLC ADDRESS: P.O. Box 5467 Saginaw, 48603

OWNER NAME: See attached authorization ADDRESS: See attached

PARCEL #(s): 4711-08-100-009 and 4711-05-303-015 PRIMARY PHONE: 989-245-6973

EMAIL 1: jonsawyer@icloud.com EMAIL 2: _____

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:

Industrial to Planned Unit Development (PID)

4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites. and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

See Attachment for 1-8.

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

See Attachment for 1-8.

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

See Attachment for 1-8.

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

See Attachment for 1-8.

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

See Attachment for 1-8.

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

See Attachment for 1-8.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

See Attachment for 1-8.

8. Describe any deed restrictions which could potentially affect the use of the property.

See Attachment for 1-8.

C. AFFIDAVIT

The undersigned says that they are the Applicant/Purchaser (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Net Lease Associates South, LLC & Net Lease Associates North, LLC

ADDRESS: P.O. Box 5467, Saginaw, MI 48603

SIGNATURE: 

The following contact should also receive review letters and correspondence:

Name: Abby H. Cooper Email: abby@crlaw.biz

Business Affiliation: Attorney for Applicant

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Toddiem/Victory Drive PID

PROJECT LOCATON & DESCRIPTION: Asphalt Manufacturing Plant and Storage on approx. 16.2 acres located on the NE & SE corner of Toddiem Dr & Victory Dr currently operating as Advance Metal Alloys.

SIGNATURE: 

DATE: August 31, 2021

PRINT NAME: Jon Sawyer

PHONE: 989-245-6973

COMPANY NAME & ADDRESS: Net Lease Associates South, LLC & Net Lease Associates North, LLC

ATTACHMENT TO RE-ZONING APPLICATION, AUGUST 31, 2021

TODDIEM/VICTORY DRIVE PID

4711-08-100-009 & 4711-05-303-015

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

The rezoning request to PID is entirely consistent with the Master Plan. The subject property is currently zoned Industrial and the applicant is seeking a rezoning to PUD for a Planned Industrial Park (PID), which is an overlay district of the Industrial District and includes supplementary standards which apply simultaneously, or replace, standards of the underlying district. Section 10.01.02 explains the purpose of the PID overlay is to provide a “design option to permit flexibility in the regulation of land development;...promote efficient provision of public services and utilities; minimize traffic impacts; and to encourage the use and improvement of existing sites.”

The Future Land Use Map is consistent with the current zoning and likewise identifies the subject property as intended for an “Industrial” use. When a rezoning request is made the Township is directed to reference the “growth boundary” articulated in the Master Plan. Master Plan Executive Summary, p. 2. A “primary growth area” is identified as the area within the Grand River/I-96 corridor and “industrial parks” that are served or available to be served by public sewer and water with adequate buffers from other land uses. Master Plan Executive Summary, pp. 2-3. See also Master Plan, p 5-10.

The subject property is located squarely in the middle of the largest industrial area identified on the Future Land Use Map, surrounding Victory Drive and Grand Oaks Drive, north of the railroad tracks and I-96. The Master Plan indicates this area comprises 200 acres of the 351 acres of developed industrial land in the Township. Master Plan, p. 4-3. No residential uses or planned uses are anywhere nearby on the existing or future land use map.

The Master Plan outlines the importance of infrastructure and public water to service industrial land uses. Master Plan, p. 5-1. The PUD/PID proposal would not only add these improvements for the subject property, but also for industrial owners in this corridor. See outline of benefits in answer to #5, below.

2. Are the site’s physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

Yes, the site is suitable with the added public infrastructure and site improvements proposed by the applicant. See answer to #5, below.

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

The proposed rezoning to PID is an overlay to the current Industrial Zoning. The overlay includes supplementary standards which apply simultaneously, or replace, standards of the underlying district. The overlay is intended to give both the developer and the Township flexibility of design subject to plan approval of the Planning Commission and Township Board. Zoning Ordinance, sect. 10.01.03.

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

The site and all surrounding property is zoned Industrial, with any current uses being industrial and industrial use identified for the entire area on the Future Land Use Map. The PUD/PID is an overlay district to the Industrial District allowing the same uses. With the approval of the Rezoning and PUD plan, the subject property will be greatly improved as far as access to public water, drainage, and traffic. No adverse noise or air quality impacts will be experienced by neighbors. The applicant shall be utilizing a state of the art new facility with an advanced air filtration system which meets and exceeds applicable air quality and safety standards. Moreover, this type of use is highly regulated by EGLE including frequent oversight and reporting.

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

Approval of the applicant's requests for Rezoning, PUD/PID, and Site Plan, will significantly improve the infrastructure and services utilized by the site and the surrounding industrial neighbors. Currently, the subject property is serviced by a sanitary sewer and a private well. Toddiem Drive is essentially a two-track, unimproved road. The south parcel is currently used as a scrap metal yard, with no storm water management system, and the north parcel is used for outside trailer storage.

As part of its PUD/PID proposal, the applicant is planning to add the following improvements to the subject property and the surrounding industrial area:

- a. Construction and paving of Toddiem Drive per LCRC standards resulting in an improved road between Victory Drive and Grand Oaks Drive for public use and emergency vehicles (currently no link exists between these roads).**

- b. Construction of a storm water management system per LCDC standards (the south site currently does not have any storm water management).**
- c. Extension of municipal water system to the site (existing site is on a private well as well as many other surrounding industrial properties).**
- d. Elimination of outdoor storage of scrap metal (current use of the south parcel).**
- e. Elimination of onsite trailer storage (current use of the north parcel).**

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

The subject property is planned for this exact use both under the current Zoning Ordinance and in the Master Plan. See answers to #1, #7. There is demand for an asphalt plant in Livingston County, specifically, because the area continues to grow rapidly. MDOT, county road commissions, other governmental agencies, industrial owners, commercial owners, and residential owners all need asphalt. Trucking asphalt in from other counties adds unnecessary cost and delay. It is expensive to move from far away locations and it takes time. Livingston County Road Commission in particular could benefit from the availability and cost savings of having high quality, ready to use asphalt in its own back yard. There is one known asphalt plant in the area on the eastern border of Livingston County off of Kensington Road. Competition can likewise drive down prices.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

As an overlay to the Industrial zoning classification, the PID permits uses that are also permitted in the Industrial District. Zoning Ordinance, sect. 10.03. The current proposed use is allowed in the Industrial District. Table 8.02 provides the following is a permitted use with special approval: *“Cement and concrete product or ready-mix operations requiring elevator storage tanks, conveyors and batching equipment and asphalt batch plant, asphalt mixing, batching or paving plants.”*

8. Describe any deed restrictions which could potentially affect the use of the property.

The applicant is currently in the process of obtaining and reviewing title commitments for the subject property.



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Net Lease Associates South, LLC & Net Lease Associates North, LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: See attached authorization

SITE ADDRESS: 3080 Toddiem Dr. and VL Victory Drive PARCEL #(s) 4711-08-100-009 and 4711-05-303-015

APPLICANT PHONE: (989) 245-6973 OWNER PHONE: (See attached)

OWNER EMAIL: advancemetal@earthlink.net

LOCATION AND BRIEF DESCRIPTION OF SITE: Approximately 16.2 acres located on the NE & SE corner of Toddiem Drive and Victory Drive currently operating as Advance Metal Alloys (metal scrap yard).

BRIEF STATEMENT OF PROPOSED USE: Asphalt manufacturing plant and storage for governmental, commercial, and residential end users.

THE FOLLOWING BUILDINGS ARE PROPOSED: Continued use of existing building, plus additional plant improvements as noted on the conceptual site plan, attached (i.e. storage tanks, scale house, bag house, material feed hopper, and drum mixer).

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: 

ADDRESS: P.O. Box 5467 Saginaw, MI 48603

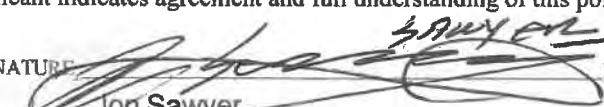
Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1. Abby H. Cooper of Attorney for Applicant at abby@crlaw.biz
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE



DATE: August 31, 2021

PRINT NAME:

Jon Sawyer

PHONE:

989-245-6973

ADDRESS

P.O. Box 5467 Saginaw, MI 48603

General Factors Supporting the Capital Asphalt Plant – Genoa Township

- General
- Conformance to Comprehensive Plan
- Impact on Neighboring Area and alternatives
- Setbacks
- Market Necessity

General

- There seems to be every reason to approve the application to allow the Capital Asphalt plant on the subject property
- Conditions required by all controlling authorities are met in the application
- That the asphalt industry is heavily environmentally regulated is a positive for the surrounding area. See comments regarding potential site uses for comparison
- Capital Asphalt is a "good neighbor" and has taken every precaution to insure that they pose no threat to the surrounding area in environment or operating conditions
- The Capital plant expands the competition for asphalt supply in the area resulting in an improved competitive environment

Conformity and Impact

- The acceptance of the Capital asphalt plant offers a highly regulated usage positively insuring no environmental threat to the surrounding area
- Other potential alternative uses of the site allow a higher potential for both air quality impacts and for traffic impacts than the proposed plant
- The following slides identify Industrial District allowable uses with the potential for greater, and less regulated, environmental and traffic impacts
- Clearly the asphalt batch plant is less intrusive than many of the allowable Industrial District uses, many of which would not require a public hearing

Discussion of Alternative Uses

- It is not unusual to get public reaction to an asphalt plant being considered in an area – and often this reaction is without consideration of the alternatives to the plant. Objections often include emissions, noise and traffic.
- Asphalt production is heavily regulated by all levels of government. This alone insures a clean and safe environment. Few industries are so heavily regulated. Environmental regulations exist at the local, the state (many agencies) and the federal level all of which require compliance to the highest environmental standards before, during and after operation. Long gone are the days of process or fugitive emissions. And gone are the days of noise impacts to the surrounding area.
- But – if a plant were to not be accepted, what could be put on an industrial site as an alternative? This must be a consideration for objections to an asphalt plant. And what is found is that the alternatives to an asphalt plant allow far more negative impacts than an asphalt plant in either emissions or traffic impacts.

Other potential site uses having potential negative environmental impacts:

Source Genoa Township Zoning Ordinance Table 8.02

- Miscellaneous manufacturing (P)
- Cement, gypsum and nonmetallic minerals manufacturing
- Chemical and allied products manufacturing
- Ready mix concrete operations
- Chemical and paint manufacturing
- Lumber mill
- Metal Work including grinding and cutting
- Wood product manufacturing (P)
- Composting Center

(P) Denotes a use not requiring any special conditions

Potential site uses having high traffic impacts include:
Source Genoa Township Zoning Ordinance Table 8.02

- Bakeries
- Bottling and Packaging
- Food processing
- Print shops
- Truck terminals
- Warehousing establishments
- Vehicle leasing and renting

Setbacks – A practical note

- The application provides for all setbacks as required by existing ordinances. These prescribed setbacks, however, do not fully describe the minimal impact that the plant will have on surrounding area. The actual distances to the existing neighbors' facilities reinforces that there is minimal impact of the proposed plant.
- Distance from Asphalt Plant to:
 - Altec Service Center 970'+
 - Ovidon Manufacturing 940'+
 - Precision Stamping 900'+
 - Michigan Rod Products 750'+

Additionally the distance from the plant site to the closest "sensitive receptor" is over 2000'

Market Area

- Capital Asphalt, as noted, wants to be a good neighbor and to provide its products to the Genoa Area: The site being proposed not only fits proscribed intent of the industrial site, but fits the asphalt supply needs of the area.
- The headquarters and the main asphalt plant of Capital Asphalt is at Lansing. The economic, and in the case of hot mix asphalt also the maximum, distance is approximately 40 miles. The direct distance between the proposed Genoa plant and the Lansing Plant is 40 miles, making the site not only appropriate but also economically excellent.
- The map on the following page shows how the plant can provide proximity service to the areas to the west of Genoa, particularly between Highways 23 and 127 to the north and south
- The Genoa location clearly satisfies a market need.

Conclusion:

- The Capital Asphalt Genoa Plant will meet and exceed all requirements of Genoa Township, other local applicable directives, all state and federal regulations in the application for and construction and operations of the plant.
- Capital Asphalt asserts that the use of the site for an asphalt plant is in keeping with the intent of the Industrial zoning of the site and the PID overlay and that the plant poses no threat to any existing business in the locale of the plant site. Further, the plant is a more environmentally sensitive and responsive use of the site than would be other uses allowed by the Genoa Township Zoning Ordinance.
- Capital Asphalt asserts that the proposed asphalt plant is responsive to market needs and provides a benefit to the area, a real benefit that certainly mitigates and counters any perceived negative externalities of the plant and its operations, of which there appear to be none given the state of restrictive regulation of the industry.
- Capital Asphalt is proud to apply for approval of the PID and the approval of the asphalt plant in Genoa as a benefit to the township and to the community which has no downside but rather provides tangible benefits to the area.



Lakeshore Village
Apartments
Residential

Clearview
University

Proposed Plant Site

Genoa Plant and surroundings showing distances to closest
business, closest residences and Sensite Receptors

© 2021 Google

1900'

800'

2180'

1020'

960'

920'

3700'

Isco Ind.
After Service
Center

Consumers Energy

Ovidon Eng.

Precision
Stamping

Michigan Rod
Products

Walmart Supercenter

Grider Woods Early
Childhood Preschool

Chilson Rd

Victory Dr

E Grand River Ave

Clearview Dr

Fendit Dr

Latson Rd

S Latson Rd

Chilson Meadows

Chilson Rd

Grand Oaks Dr

Beck Rd

96

96



Sound Data Comparison

Distance	Starjet	Megastar
0 Feet	106-112	94-96
10 Feet	100-106	88-90
20 Feet	94-100	82-85
50 Feet	86-92	74-76
100 Feet	80-86	68-70

Decibel Level Comparison Chart

Environmental Noise	<i>dBA</i>
Jet engine at 100'	140
Pain Begins	<i>125</i>
Pneumatic chipper at ear	120
Chain saw at 3'	110
Power mower	107
Subway train at 200'	95
Walkman on 5/10	94
<i>Level at which sustained exposure may result in hearing loss</i>	<i>80-90</i>
City Traffic	85
Telephone dial tone	80
Chamber music, in a small auditorium	75-85
Vacuum cleaner	75
Normal conversation	60-70
Business Office	60-65
Household refrigerator	55
Suburban area at night	40
Whisper	25
Quiet natural area with no wind	20
Threshold of hearing	0

Note: dBA = Decibels, A weighted

Current Lansing Operation Compared to Our New Facility

	Current	New
0 ft	107	95
10 ft	96	89
20 ft	88	83
50 ft	84	75
100 ft	80	69
Road Side	60	



Fabric Data Sheet

Item: F5070-SLC
 Description: Affinity mARAMID 13.5oz 460gsm self supp SLC (5402)
 Finish: Singed Light 1 Side, Calendared

Properties	Imperial		UNITS	SI		UNITS	TEST METHOD	
	Min	Max		Min	Max			
Fabric Basis Weight:	13	14.1	oz/yd ²	441	478	g/m ²	ASTM D3776	
Thickness	0.070	0.090	in	1.8	2.3	mm	ASTM D1777	
Permeability	25	35	cfm	76	106	L/dm ² /min	ASTM D737	
Mullen Burst	450	*	psi	3103	*	kPa	ASTM D3786	
Tensile Strength	LW:	176	*	lbf	785	*	N	ASTM D5035
	XW:	176	*	lbf	785	*	N	ASTM D5035
Thermal Shrinkage	LW:	Max 1.5				%	15mins @ 204°C / 400°F	
	XW:	Max 1.5				%	15mins @ 204°C / 400°F	

Notes:
 Blank Field | Stars means no value applied.
 N/A means not applicable to the product.



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Albarrie Canada Limited 85 Morrow Road, Barrie, Ontario, Canada L4N 3V7	www.albarrie.com Toll Free: 1-866-269-8275 Tel: 705-737-0551 Fax: 705-737-4044	Print. Date: 2021-09-10 Rev. Date: 2020-08-28
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Test protocol

Filter test

customer:	test laboratory:
project:	tester: Hongli Cao
order number:	date of test: 11/15/2010

Filter parameter

test dust: A2	tank pressure: 0.5 MPa
raw gas concentration: 5 g/m ³	valve opening time: 100 ms
air-to-cloth ratio: 180 m ³ /(m ² /h)	temperature: 20 °C
relative air humidity: 50 %	atmospheric pressure: 1013 hPa

Filter medium

manufacturer: ALBARRIE	surface treatment: SL1
model: 5402	batch number:
type of filter:	condition: new
type of fiber: ARAMID	permeability to air at 200 Pa: 2500 m/h
weight of the medium: 496.5 g/m ²	thickness: 2 mm

Test result

test segment	Begin of test	Phase 2	Phase 3	Phase 4
number of cycles	60	-	-	-
cycle duration during aging in s	-	-	-	-
press. drop prior to pulse-jet clean. in Pa	1200	-	-	-
initial pressure drop in Pa	44	-	-	-
residual press. drop of the last cycle in Pa	239.2	-	-	-
test duration in hh:mm	04:46	-	-	-
residual dust in g/m ²	149.72	-	-	-
dust penetration in mg	13.1	-	-	-
clean gas concentration in mg/m ³	1.072	-	-	-

Notes

33.2 cfm @ 125 Pa
 Standard 5402
 Sample from Chris



CAPACITIES

MEGASTAR™ BURNER NATURAL GAS & LIGHT OIL MS-50 – MS-150

MEGASTAR		BURNER MODEL				
GAS SPECIFICATIONS		50	75	100	125	150
Capacity	(MMBTU/hr)	54	89	108	146	166
	(MW)	14.7	24.2	29.3	39.6	45.2
Main Air Flow	(scfh)	636,600	1,050,000	1,270,000	1,720,000	1,960,000
	(nm ³ /hr)	17,100	28,100	34,000	46,100	52,500
Main Air Pressure	(in.w.c.)	14.3	12.6	15.3	13.8	14.5
	(mbar)	35.6	31.3	38.1	34.3	36.1
Gas Flow Rate	(scfh)	52,300	86,200	104,300	141,300	161,000
	(nm ³ /hr)	1,400	2,300	2,800	3,800	4,300
Capacity with Flue Gas Recirc	(MMBTU/hr)	40.5	62	82	103	124
	(MW)	11.0	16.8	22.2	27.9	33.6
Flame Length @ 30° Spin	(ft)	12	14	9	11	15
	(m)	3.7	4.1	2.7	3.4	4.6
Flame Diameter @ 30° Spin	(ft)	4	7	5	8	7
	(m)	1.2	2.0	1.5	2.4	2.1

MEGASTAR		BURNER MODEL				
LIGHT OIL SPECIFICATIONS		50	75	100	125	150
Capacity	(MMBTU/hr)	53	82	100	135	153
	(MW)	14.3	22.3	27.2	36.5	41.5
Main Air Flow	(scfh)	643,300	1,030,000	1,270,000	1,720,000	1,960,000
	(nm ³ /hr)	17,200	27,600	34,000	46,100	52,500
Main Air Pressure	(in.w.c.)	14.3	12.0	16.2	13.7	144.0
	(mbar)	35.6	29.9	40.3	34.1	358.3
Primary Air Flow	(scfh)	46,500	46,500	46,500	46,500	46,500
	(nm ³ /hr)	1,200	1,200	1,200	1,200	1,200
Primary Air Pressure	(in.w.c.)	62	62	62	62	62
	(mbar)	154	154	154	154	154
Oil Flow Rate	(gal)	370	580	710	950	1,080
	(lph)	1,400	2,200	2,690	3,600	4,090
Flame Length @ 30° Spin	(ft)	10	12	12	10	12
	(m)	3.1	3.7	3.7	3.1	3.7
Flame Diameter @ 30° Spin	(ft)	4	5	5	4	5
	(m)	1.2	1.5	1.5	1.2	1.5

(Application Notes on Reverse Side)

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Asphalt Application Notes:

1. Burner capacity is based on 60Hz power and scfh (nm^3/hr) 60°F (0°C) air at sea level. Correction factors must be applied for variations in altitude, temperature, or frequency; consult Hauck. An altitude correction table is available in Hauck Application Sheet GJ75.
2. Natural gas capacities based on higher heating value of 1,034 Btu per cubic foot (lower heating value of 36.74 MJ/ nm^3), 2-4 psig (138 – 276 mbar) manifold pressure, 25% excess air, and stoichiometric ratio of 9.74:1.
3. No. 2 fuel oil capacities based on higher heating value of 141,146 Btu per gallon (lower heating value of 36.99 MJ/liter), 35% excess air, and stoichiometric ratio of 1371.1 cubic feet air/gallon of No. 2 oil (9.7 nm^3 air/liter).
4. Liquid propane capacities based on higher heating value of 90,912 Btu per gallon (lower heating value of 23.83 MJ/liter), 35% excess air, and stoichiometric ratio of 864 cubic feet air/gallon of liquid propane (6.1 nm^3 air/liter).
5. The exhaust fan must be able to provide a slight negative pressure, suction in the range of 0.25 to 1" wc (.6 to 2.5 mbar), at the burner breech plate to exhaust the products of combustion.
6. MegaStar™ Burner airflow can be accurately monitored using the body pressure tap on either side of the burner air plenum. An accurate device capable of reading up to 15" wc (75 mbar) will be required for this measurement.
7. All burner fuel manifolds are supplied with fuel flow measuring devices. Liquid fuel manifolds are equipped with an inline flow meter. Gaseous fuel manifolds are equipped with a gas orifice meter that can be accurately checked for gas flow by measuring the differential pressure across the orifice meter with a U-tube device (manometer) capable of reading in the range of 0 to 20"wc (0 to 50 mbar).
8. Low pressure atomizing air, used for firing low pressure fuel oil or LP, is provided by a 36 osi (155 mbar) Hauck high efficiency Turbo Blower. The low pressure air is used to not only atomize liquid fuels, but also improve mixing speed in the combustion zone.
9. High pressure compressed air, used for firing heavy oils or any fuel oil at high elevations, must be supplied by the customer at a nominal 60 psig (4140 mbar) to the burner nozzle for optimum fuel oil atomization.



CAPACITIES

MEGASTAR™ BURNER LIQUID PROPANE & COMPRESSED AIR MS-50 – MS-150

MEGASTAR		BURNER MODEL				
LIQUID PROPANE SPECIFICATIONS		50	75	100	125	150
Capacity	(MMBTU/hr)	P e n d i n g	80	97	128	145
	(MW)		21.7	26.4	34.6	39.3
Main Air Flow	(scfh)		980,000	1,200,000	1,590,000	1,810,000
	(nm ³ /hr)		26,300	32,100	42,600	48,500
Main Air Pressure	(in.w.c.)		12.8	18.5	15.0	18.3
	(mbar)		31.8	46.0	37.3	45.5
Primary Air Flow	(scfh)		46,500	46,500	46,500	46,500
	(nm ³ /hr)		1,200	1,200	1,200	1,200
Primary Air Pressure	(in.w.c.)		62	62	62	62
	(mbar)		154	154	154	154
Propane Flow Rate	(gal)	880	1,070	1,400	1,590	
	(lph)	3,330	4,050	5,300	6,020	
Flame Length @ 30° Spin	(ft)	14	15	13	15	
	(m)	4.3	4.6	4.0	4.6	
Flame Diameter @ 30° Spin	(ft)	5	5	6	6	
	(m)	1.5	1.5	1.8	1.8	

MEGASTAR		BURNER MODEL				
COMPRESSED AIR SPECIFICATIONS		50	75	100	125	150
Capacity	(MMBTU/hr)	N o t A v a i l a b l e	79	100	130	150
	(MW)		21.4	27.2	35.3	40.7
Main Air Flow	(scfh)		1,030,000	1,310,000	1,700,000	1,960,000
	(nm ³ /hr)		27,600	35,100	45,500	52,500
Main Air Pressure	(in.w.c.)		12.0	16.2	13.2	14.4
	(mbar)		29.9	40.3	32.8	35.8
Compressed Air Flow	(scfh)		3,600	3,600	5,400	5,400
	(nm ³ /hr)		100	100	100	100
Compressed Air Pressure	(psig)		60	60	60	60
	(bar)		4	4	4	4
Oil Flow Rate	(gal)	560	710	920	1,060	
	(lph)	2,120	2,690	3,480	4,010	
Flame Length @ 30° Spin	(ft)	9	9	10	10	
	(m)	2.7	2.7	3.1	3.1	
Flame Diameter @ 30° Spin	(ft)	5	5	5	5	
	(m)	1.5	1.5	1.5	1.5	

(Application Notes on Reverse Side)

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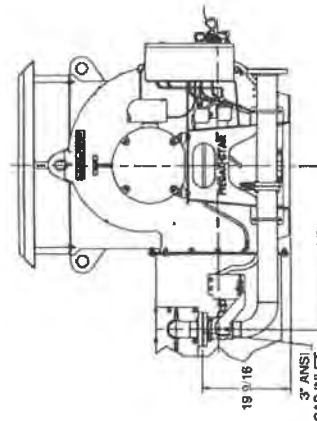
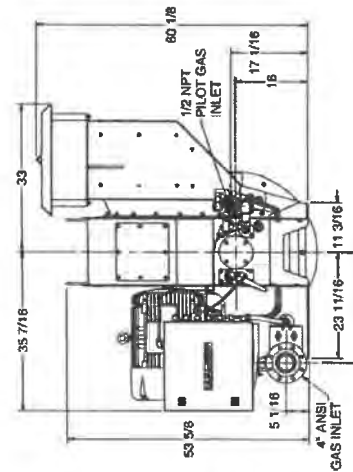
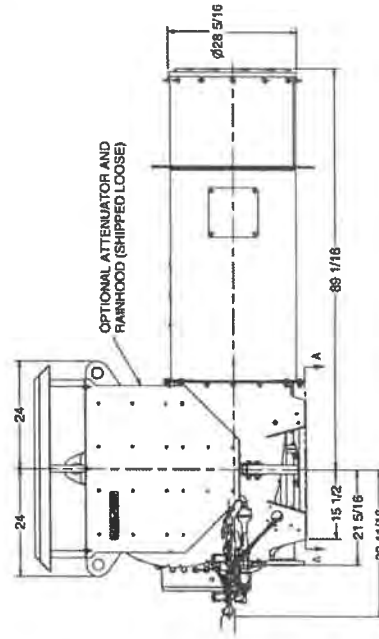
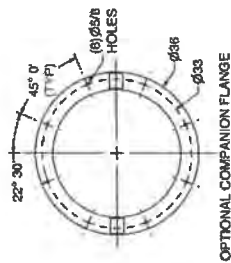
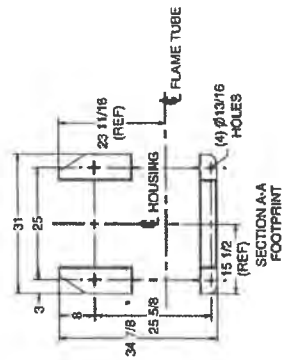
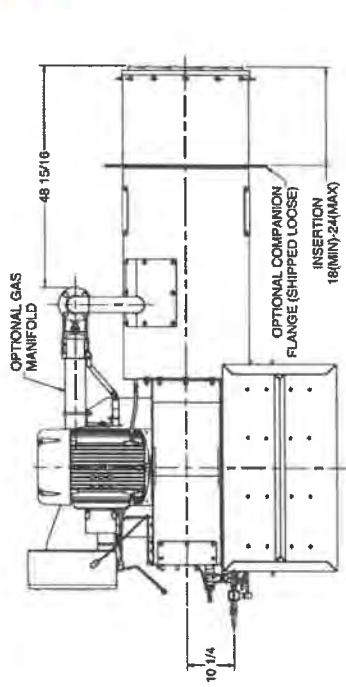
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DIMENSIONS

MEGASTAR™ / GAS MANIFOLD MS-50



Y8947 Sht. 1
(NOT TO SCALE)

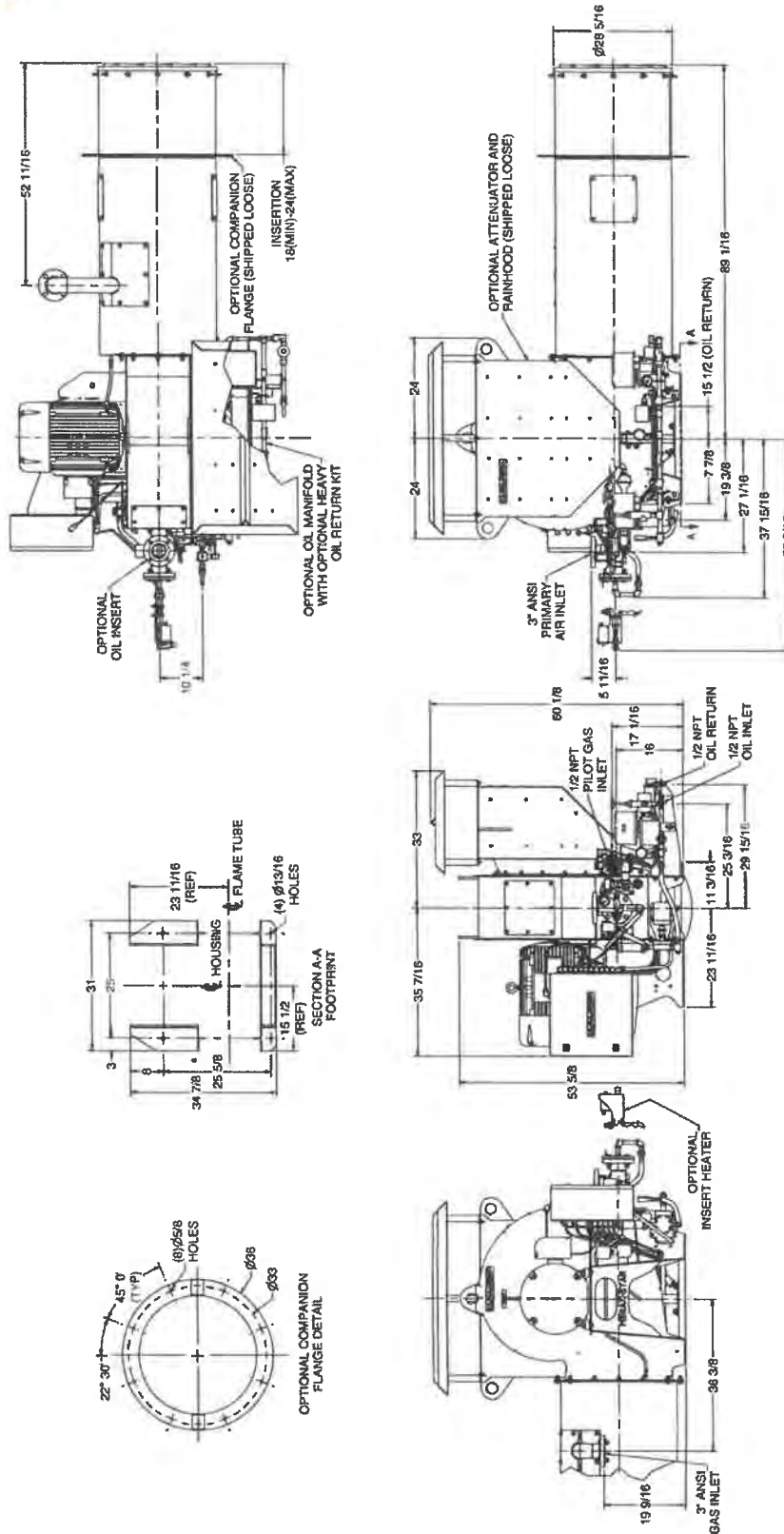
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DIMENSIONS

MEGASTAR™ / OIL MANIFOLD MS-50



Y8947 Sht. 2
(NOT TO SCALE)

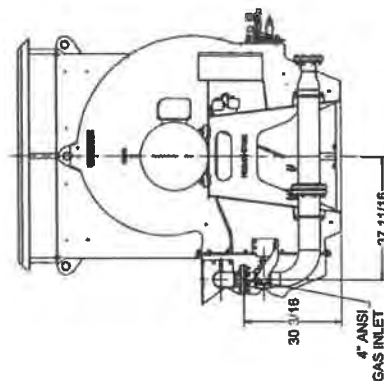
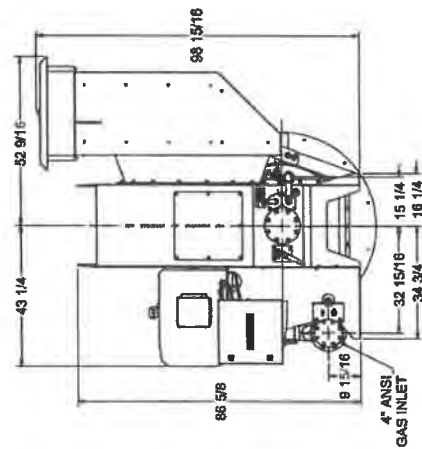
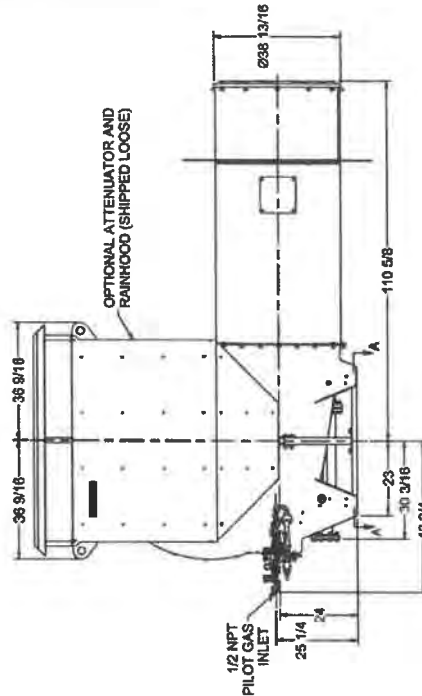
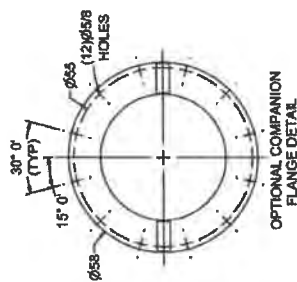
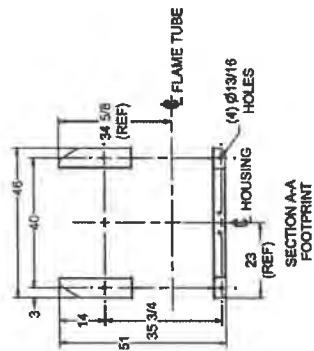
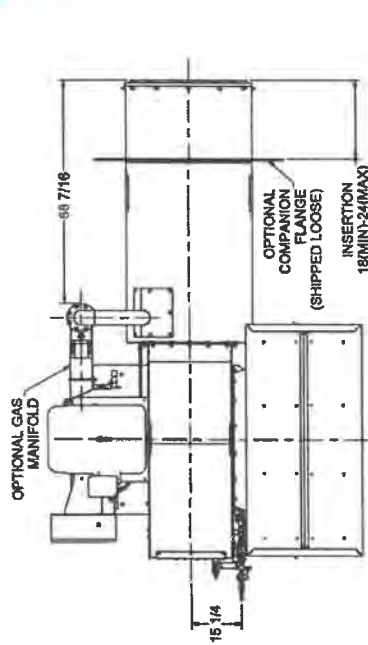
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DIMENSIONS

MEGASTAR™ / GAS MANIFOLD MS-75



Y8998 Sht. 1
(NOT TO SCALE)

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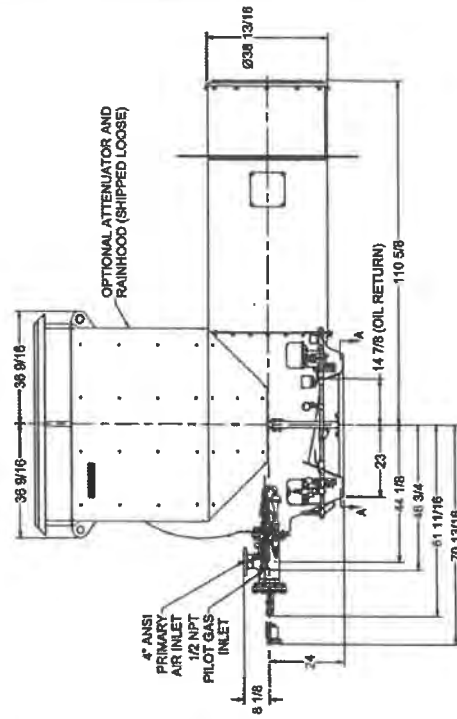
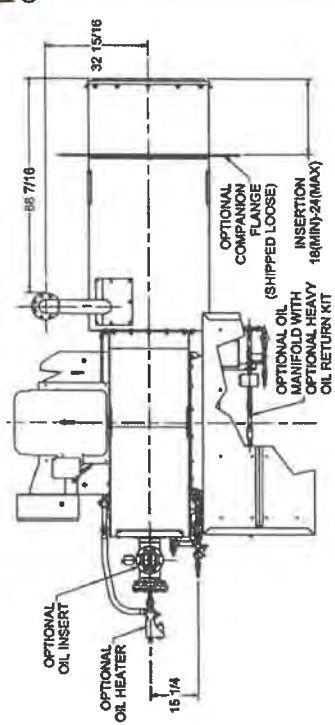
88 MS-3.2

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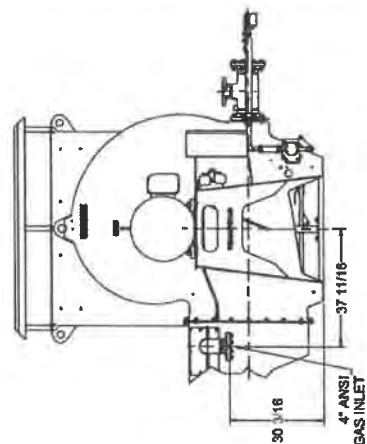
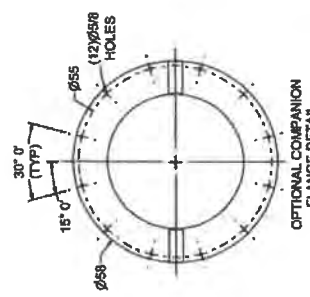
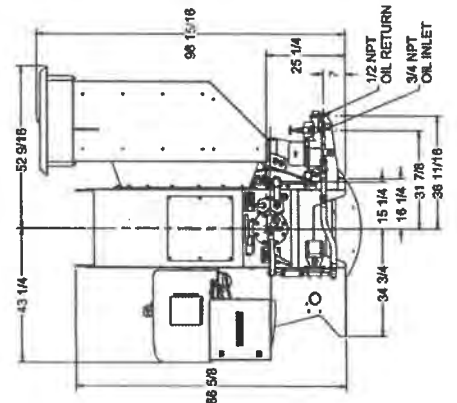
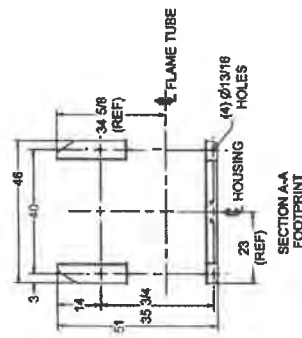


DIMENSIONS

MEGASTAR™ / OIL MANIFOLD MS-75



Y8998 Sht. 2
(NOT TO SCALE)



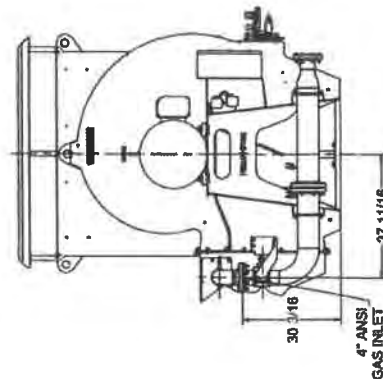
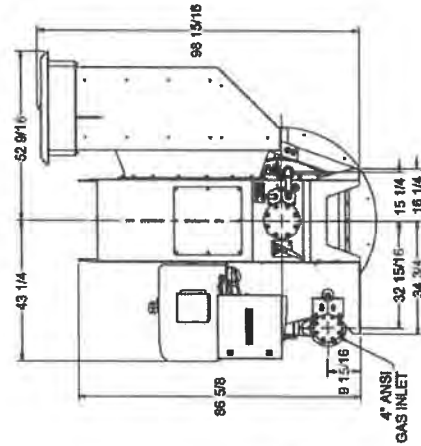
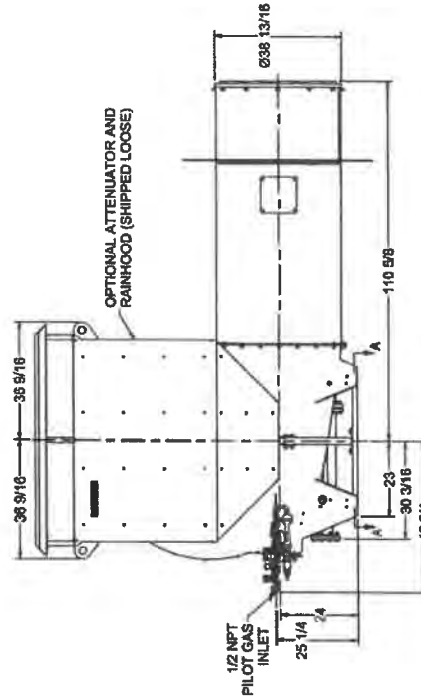
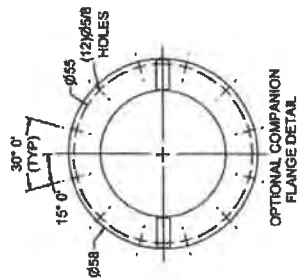
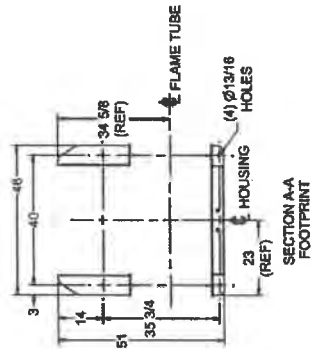
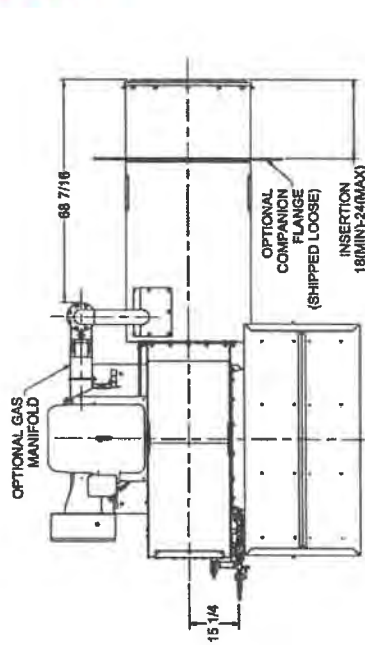
In accordance with Hauck's commitment to Total Quality Improvement, Hauck reserves the right to change the specifications of products without prior notice.

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DIMENSIONS

MEGASTAR™ / GAS MANIFOLD MS-100



Y8998 Sht. 1
(NOT TO SCALE)

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9/14

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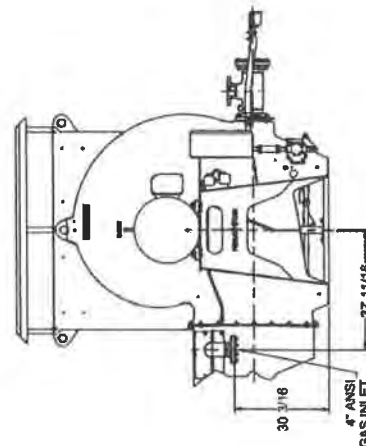
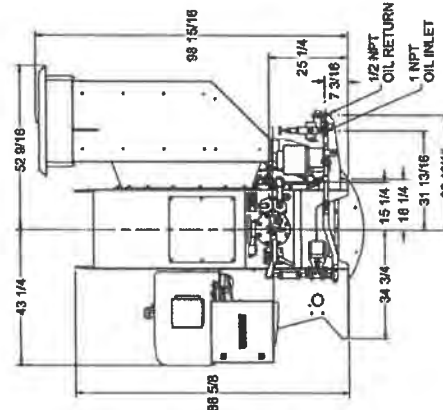
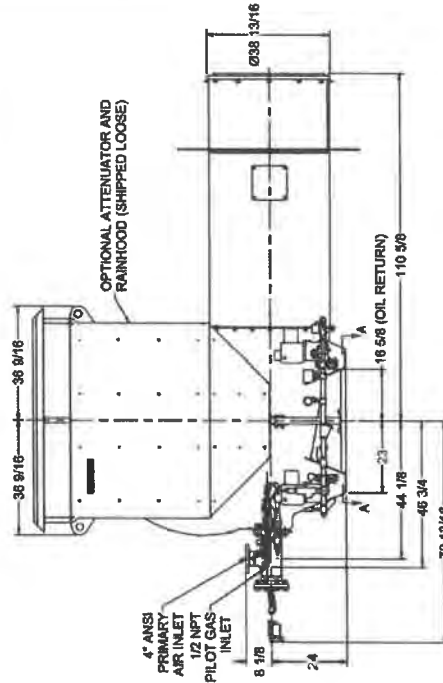
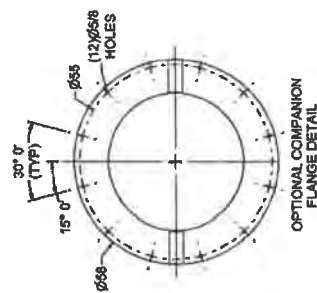
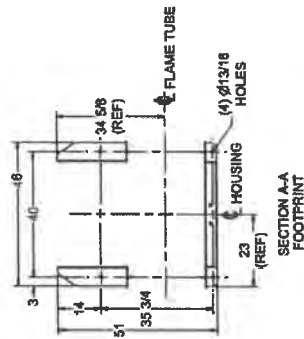
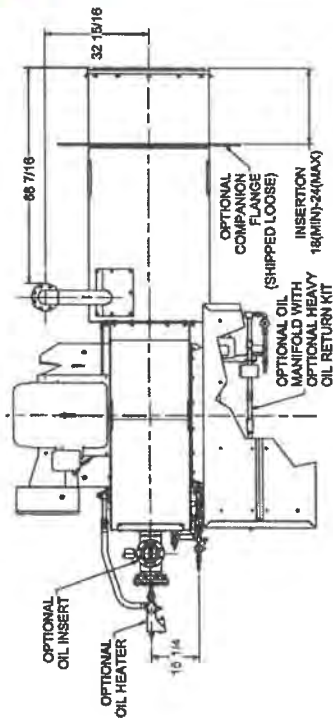
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DIMENSIONS

MEGASTAR™ / OIL MANIFOLD MS-100



Y8998 Sht. 3
(NOT TO SCALE)

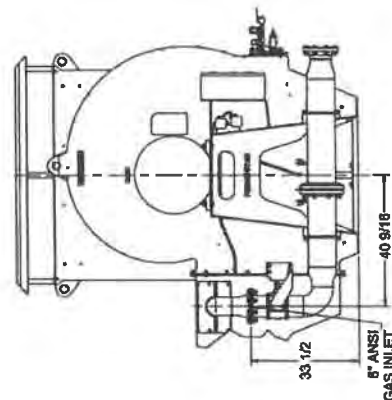
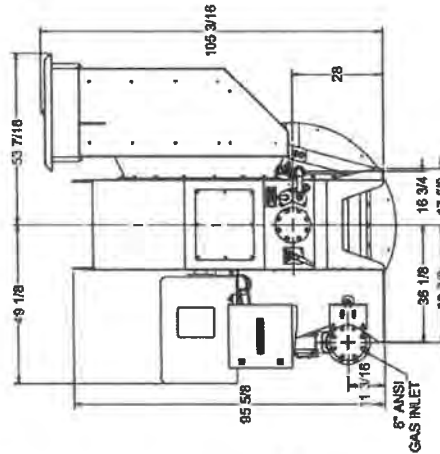
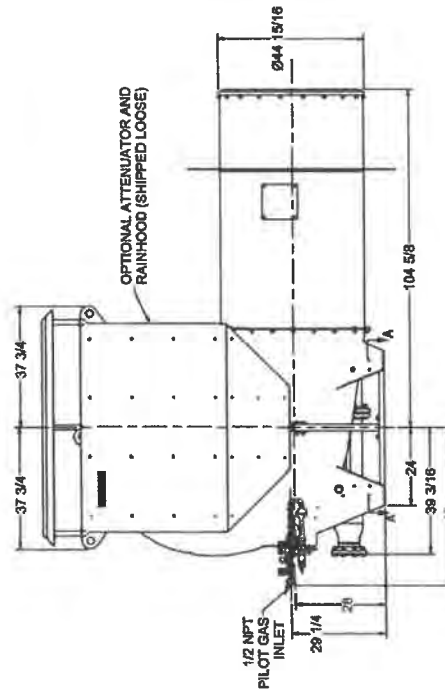
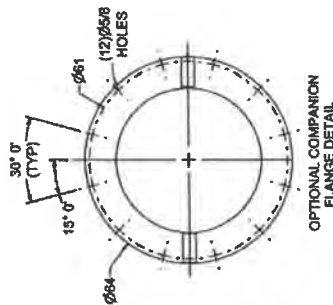
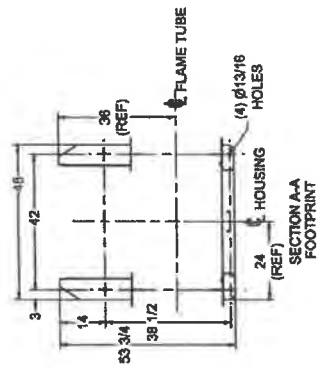
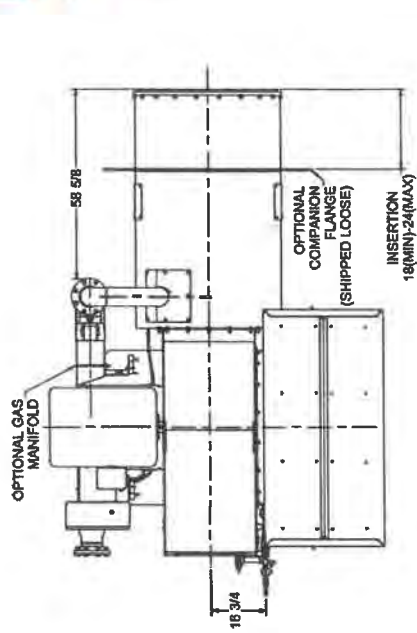
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DIMENSIONS

MEGASTAR™ / GAS MANIFOLD MS-125 & 150



Y9004 Sht. 1
(NOT TO SCALE)

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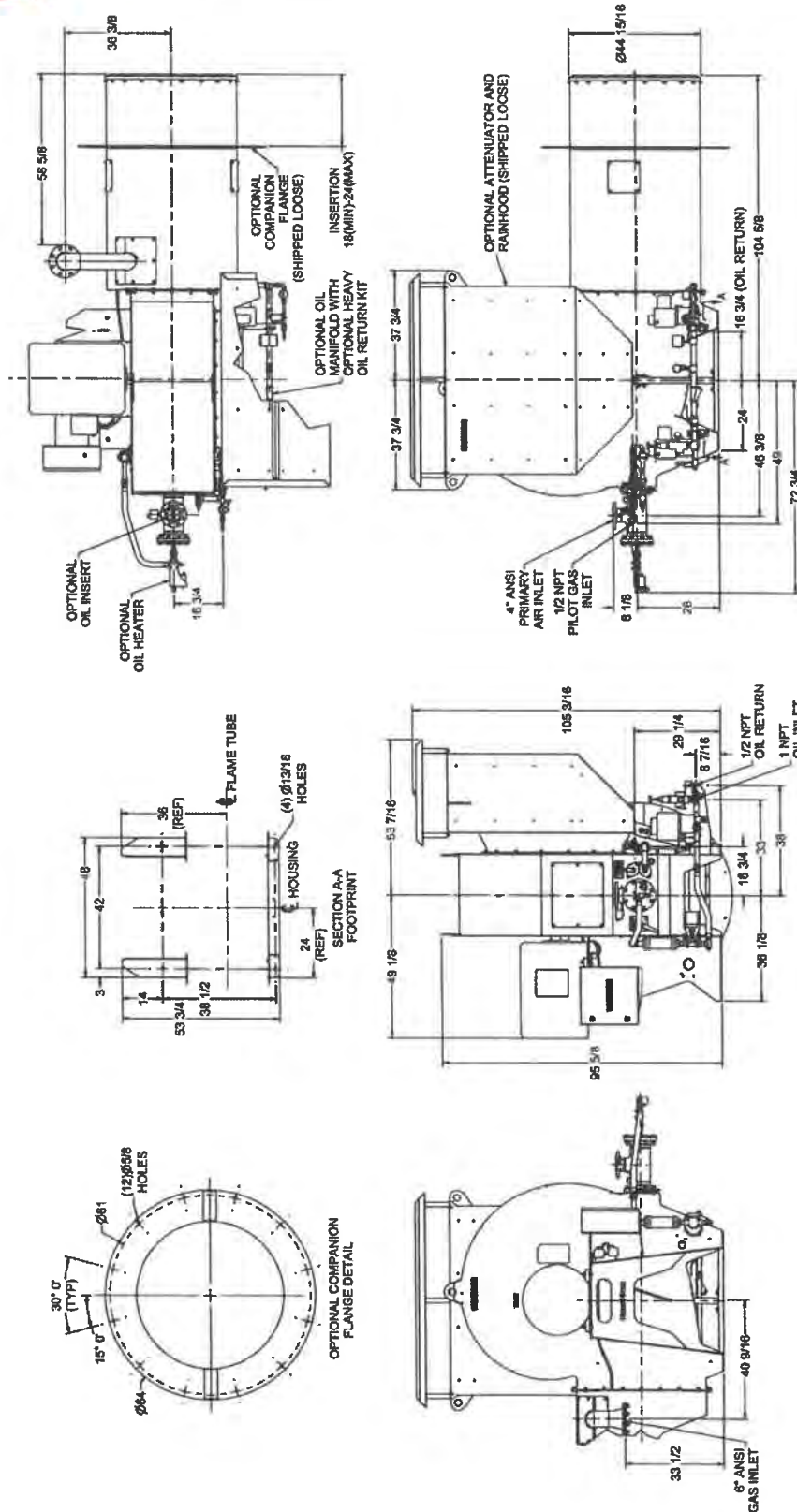
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16



DIMENSIONS

MEGASTAR™ / OIL MANIFOLD MS-125 & MS-150



Y9004 Sht. 2
(NOT TO SCALE)

In accordance with Hauck's commitment to Total Quality Improvement, Hauck reserves the right to change the specifications of products without prior notice.

HAUCK MANUFACTURING CO., 100 North Harris Street Cleona, PA 17042 717-272-3051



SUPPLEMENTAL DATA

**MEGASTAR™ BURNER
ORDERING INFORMATION**

	<u>MS</u>	<u>50-</u>	<u>O-</u>	<u>H-</u>	<u>C-</u>	<u>LO-</u>	<u>R-</u>	<u>H</u>
Burner Type MegaStar								
Size 50 75 100 125 150								
Fan O – ODP T – TEFC								
VFD H – Hauck Supplied X – Not Supplied								
Fuel Manifold G – Gas C – Combination O – Oil/LP Only								
Combination Fuel LO – Low Pressure Oil CA – Compressed Air/Oil LP – Liquid Propane XX – Gas Manifold								
Oil Return Kit R – Oil Return Kit X – Not Supplied								
Insert Heater H – Heater X – Not Supplied								

18

Test protocol

Filter test according to VDI 3926 Part 1

customer:	test laboratory:
project:	tester: Hongli Cao
order number:	date of test: 11/15/2010

Filter parameter

test dust: A2	cycle duration during aging: 5 s
raw gas concentration: 5 g/m ³	tank pressure: 0.5 MPa
face velocity: 180 m/h	valve opening time: 100 ms
press. drop prior to pulse-jet cleaning: 1200 Pa	temperature: 20 °C
relative air humidity: 50 %	atmospheric pressure: 1013 hPa
test procedure in cycles: 60 (aging)	

Filter medium

manufacturer: ALBARRIE	surface treatment: SL1
model: 5402	batch number:
type of filter:	condition: new
type of fiber: ARAMID	permeability to air at 200 Pa: 2500 m/h
weight of the medium: 496.5 g/m ²	thickness: 2 mm

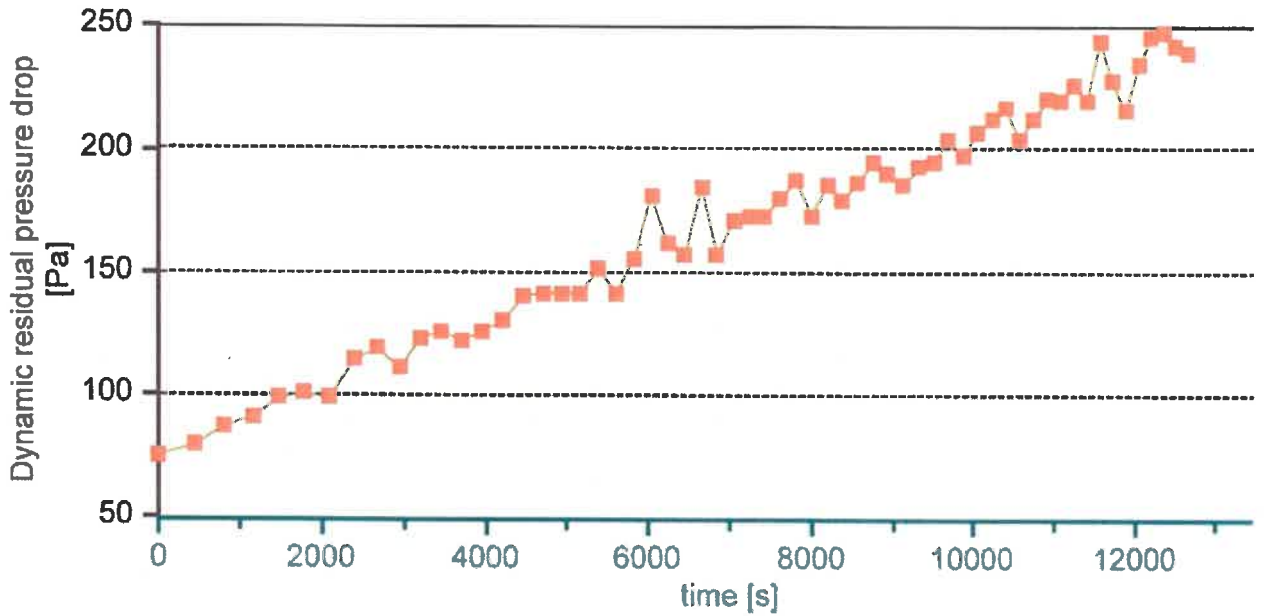
Test result

experimental stage/cycle	0	60	Aging: 0 pulses cleaning	0	-
residual pressure drop in Pa	44	239.2		-	-
residual dust in g/m ²	0	149.72		-	-
cycle duration in s	-	162		-	-
test segment	first 60 Zyklen			-	
dust penetration in mg	13.1			-	
test duration in hh:mm	04:47			-	
clean gas concentration in mg/m ³	1.072			-	

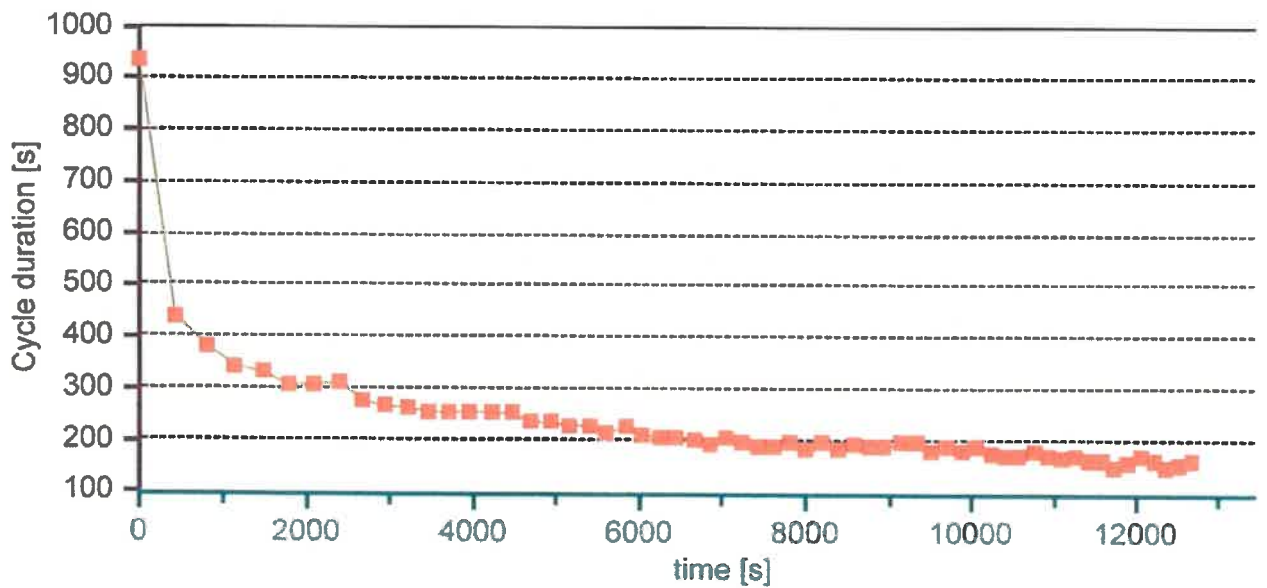
Notes
 33.2 cfm @ 125 Pa
 Standard 5402
 Sample from Chris

Graphical representation of the test results, Medium: 5402

Course of dynamic residual pressure drop

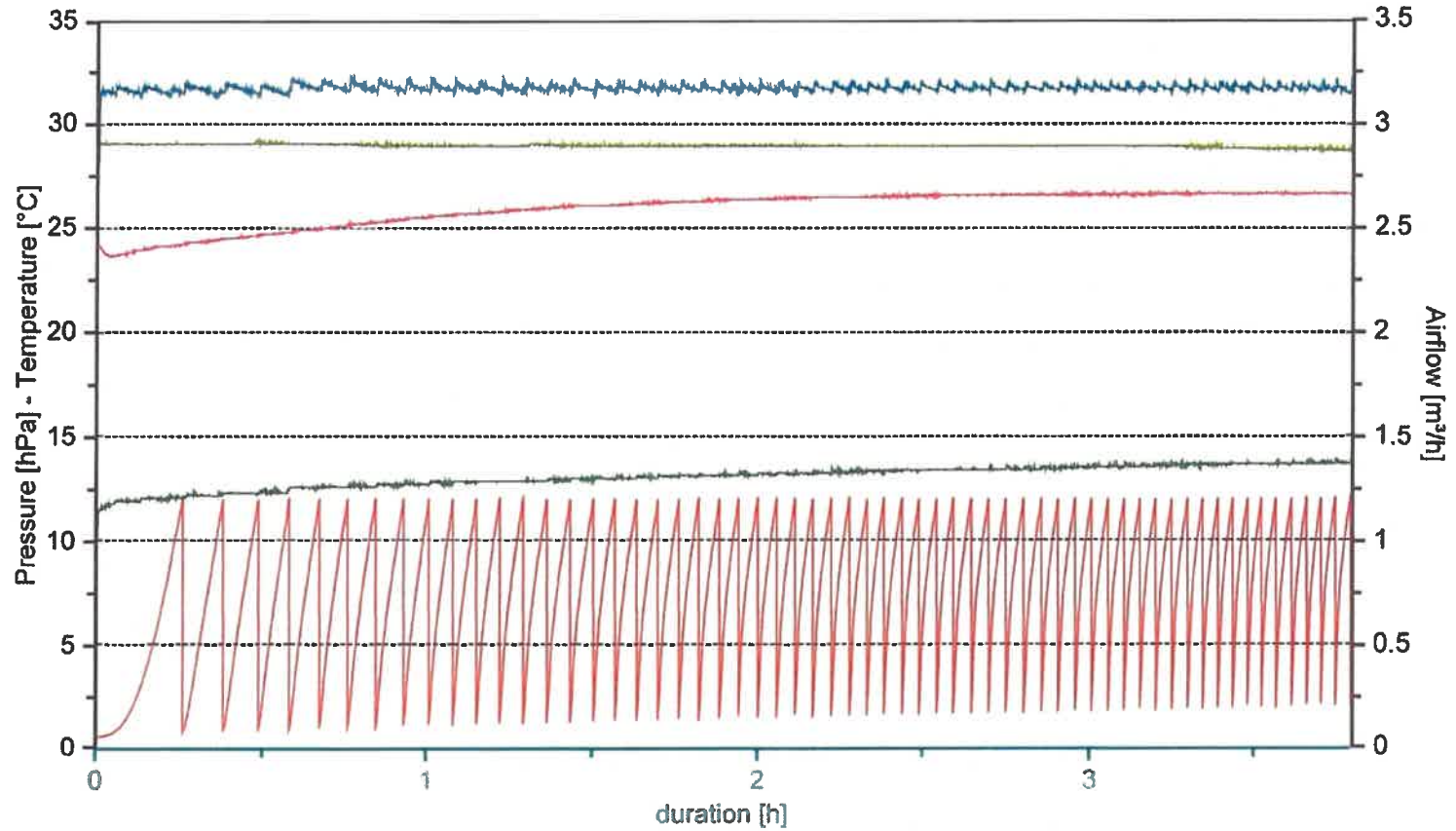


Cycle duration



■ Begin of test: 60 cycles
— duration of test 04:46 h

Data Filtertest

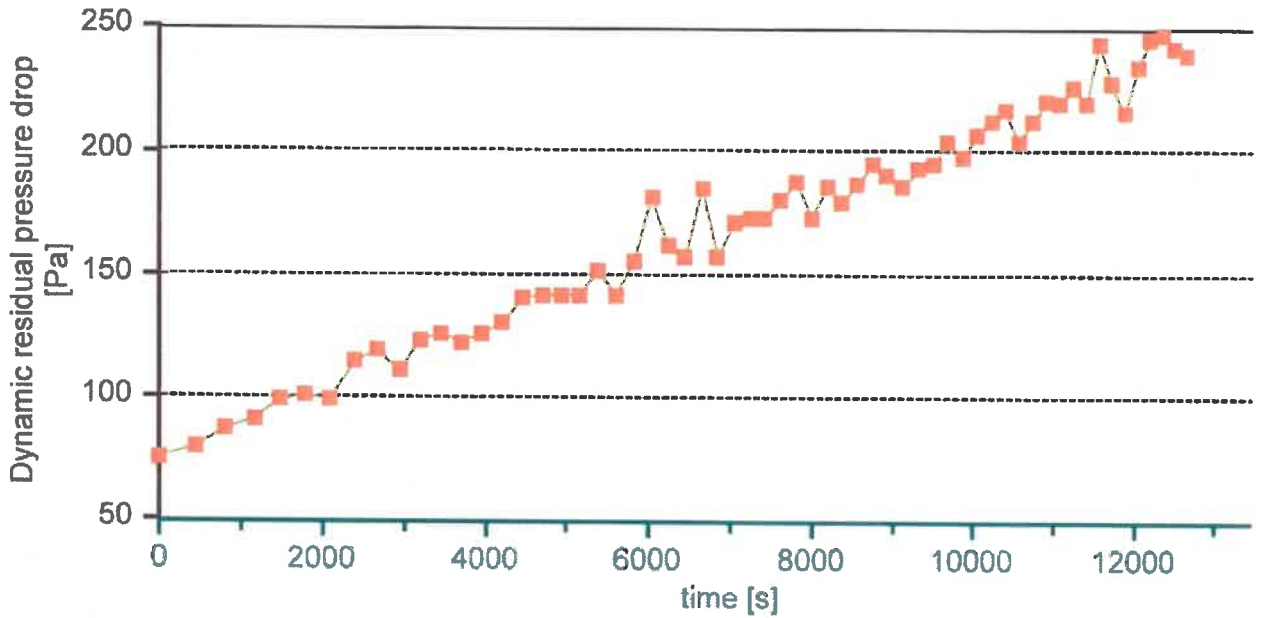


— P-Test filter — P-Total filter — Temperature — Q-Outlet air — Q-Supply air

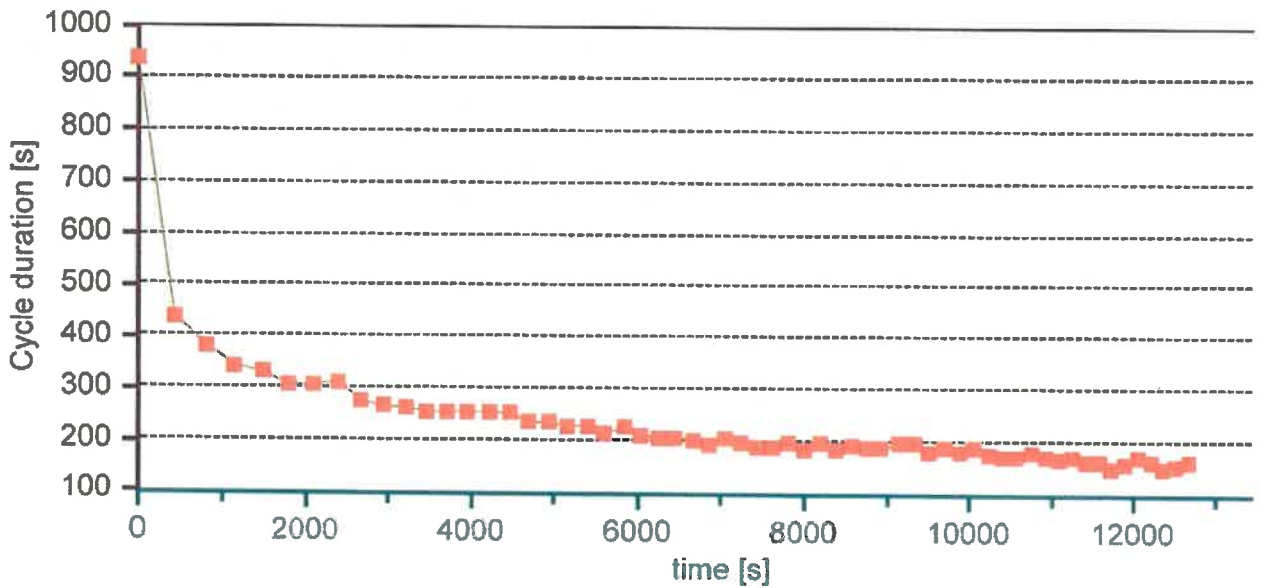
21

Graphical representation of the test results

Course of dynamic residual pressure drop



Cycle duration





AERIAL CAPITAL LANSING

S Canal Rd

S Canal Rd

Capital Asphalt LLC Capital Asphalt



MISC ASPHALT USE PHOTOS























October 5, 2021

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Toddiem-Victory Drive PID – PID Review #2
Location:	Southerly terminus of Victory Drive, at the intersection with Toddiem Drive
Zoning:	IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the proposed rezoning, conceptual site plan (most recently dated 9/21/21), draft PUD Agreement and associated Impact Assessment (dated September 1, 2021).

The 16.2-acre site is comprised of 2 parcels separated by Toddiem Drive, and currently contains a 15,040 square foot industrial building (that is to remain). The site and surrounding properties are zoned IND.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

A. Summary

1. The proposal generally meets the Planned Unit Development (PUD) qualifying conditions, provided the following are addressed:
 - a. the Township authorizes a reduction in the conventional lot area requirement;
 - b. the applicant extends public water to serve the site; and
 - c. the applicant addresses any concerns raised by the Township Engineer, Utilities Director or Fire Authority.
2. Rezoning to the PID overlay is consistent with the Master Plan and Future Land Use Map, and generally meets the rezoning criteria for a PUD.
3. The applicant seeks deviations via the PUD for building/structure height and materials, as well as from use requirements related to roadway access for an asphalt plant, and size of storage tanks for fuel.
4. If approval is granted, the applicant will need to apply for review and approval of special land uses and a final PID site plan. A PIP Plan will also be required.
5. The parking calculations note that 23 spaces are provided, though the plan depicts only 19.
6. The final site plan submittal must include a full lighting plan.
7. There are discrepancies between the landscape plan and planting table with respect to quantities.
8. We suggest the Township require tree protection fencing around the dripline of areas to be protected during construction activities.
9. The applicant requests deviations from Buffer Zone “B” requirements in multiple locations due to existing site conditions (existing wooded areas, adjacency to a railroad, and significant topographic changes).
10. The applicant must address any concerns raised by the Township Engineer, Utilities Director or Brighton Area Fire Department.



Aerial view of site and surroundings (looking north)

B. Proposal

The applicant requests establishment of a Planned Industrial Development (PID) for the subject site. The proposal is for a new asphalt production plant, including multiple buildings and structures, as well as outdoor storage of materials. As previously noted, the existing 15,040 square foot building on the south side of Toddiem Drive will remain.

C. Process

The review and approval process is outlined below. The applicant is at Step 1 in the process.

1. The Township Planning Commission makes a recommendation to the Township Board on the rezoning (PID overlay), conceptual PUD plan, draft PUD Agreement and Environmental Impact Assessment following a public hearing.
2. The County Planning Commission reviews the rezoning and provides comments for consideration by the Township Board.
3. The Township Board acts on the rezoning, conceptual PUD plan, PUD Agreement and Impact Assessment.

D. PUD Qualifying Conditions

Section 10.02 identifies the following qualification requirements for all planned unit developments, including the PID overlay:

1. **Single Ownership.** The material submitted states that the site will be owned by affiliated entities under the same ownership – Net Lease Associates South, LLC and Net Lease Associates North, LLC.
2. **Initiated by Petition.** The request has been properly initiated by the submittal of applications for rezoning, PUD qualification, and Site Plan Review.
3. **Minimum Site Area.** The minimum lot area to qualify for a PUD is 20 acres; however, the Township Board may reduce this standard for sites served by both public water and sanitary sewer.

The 16.2-acre subject site is served by public sanitary sewer, and the project includes an extension of public water. As such, the Township may allow establishment of a PUD on this site.

4. **Benefits.** The PUD site plan shall provide one or more of the following benefits not possible under the standards of conventional zoning, as determined by the Planning Commission:

- preservation of significant natural or historic features;
- a complementary mixture of uses or a variety of housing types;
- common open space for passive or active recreational use;
- mitigation to offset impacts; or,
- redevelopment of a nonconforming site where creative design can address unique site constraints.

As outlined in the application materials, as part of this project the applicant will:

- construct and pave Toddiem Drive to County standards, which will provide an actual roadway connection between Victory Drive and Grand Oaks Drive;
- construct necessary stormwater improvements, per County standards;
- extend municipal water to the subject site; and
- clean the site of outdoor scrap metal and trailer storage.

5. **Sewer and Water.** As noted above, the project includes extension of public water to the subject site.

It is our understanding the site already has access to public sanitary sewer; however, we defer to the Township Engineer for any technical comments under this criterion.

6. **Rezoning Standards.**

a. **How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted.**

The Master Plan identifies the site and surrounding area as Industrial. The subject site is also within a Primary Growth Area of the Township's Growth Boundary given its access to infrastructure.

The PID overlay allows the same uses as the IND and OSD, and use of the PID allows the Township and applicant to negotiate a PUD Agreement with specific uses included (or excluded), as well as design considerations (on and off site) to help mitigate any potential impacts.

Furthermore, the infrastructure improvements proposed as part of this PID (roadway construction/connection, and water extension) are consistent with the growth boundary and development goals.

b. **The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of uses, traffic impacts, aesthetics, infrastructure, and potential influence on property values.**

The subject site and surrounding properties are currently zoned IND. Use of the PID overlay keeps these uses in place (and also allows OSD uses) for the subject site. As such, the current host of allowable uses versus those allowed upon PID rezoning (if granted) are essentially the same; thus, we find them compatible.

The specific proposal is for an asphalt plant, which is allowed as a special land use in the IND.

If PID rezoning is granted, and the concept plan is approved, the applicant may apply for special land use and final site plan review of the project.

At that time, the special land use standards of Section 19.03, and the use requirements of Section 8.02.02(a) (asphalt plant) and 13.07 (storage of fuel/hazardous substances) will be applied to ensure compatibility of the use.

Based on a cursory review of these requirements, Section 8.02.02(a) requires that outdoor storage meet setback requirements, a Buffer Zone “B” be provided along all lot lines (including the road frontages), and all means of access be from a County Primary roadway with at least 86 feet of right-of-way. The roadway standard is not met, though the applicant requests to deviate from this requirement via the PUD.

Additionally, Section 13.07 provides size limits on fuel/hazardous materials storage, requires a Pollution Incident Prevention (PIP) plan, and requires permits from all applicable outside agencies.

The submittal notes that a PIP plan will be provided with final site plan submittal, while the revised submittal requests to deviate from the allowable size for above ground storage tanks.

c. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the “health, safety, and welfare” of the Township.

As previously noted, the site has access to public sanitary sewer, while an extension is proposed to bring public water to the site.

The project also includes improvement to Toddiem Drive, such that a roadway up to County standards will now connect Victory Drive and Grand Oaks Drive, which are two of the primary roadways in the area designated for industrial uses.

Any concerns noted by the Township Engineer, Utilities Director or the Brighton Area Fire Authority under this criterion must be addressed.

d. The apparent demand for the types of uses permitted in the PUD.

The submittal materials identify a need for this use within the County due to continued growth, and the need for infrastructure improvements. The materials note only one known existing asphalt plant elsewhere in the County.

Furthermore, the materials describe the increased costs and time associated with trucking asphalt in from outside of the area.

E. Conceptual PUD Site Plan Review

1. PID Standards:

a. Dimensional standards. Use of the PID overlay requires compliance with the minimum dimensional standards of the IND.

The site data table on the conceptual PUD plan demonstrates compliance with these standards, including setbacks and lot coverage (both by buildings and impervious surfaces).

The only item in need of consideration for a dimensional deviation via this PID is the maximum building height. The IND allows buildings and structures up to 30 feet in height; however, the draft PUD Agreement seeks to allow buildings and structures up to a height of 86 feet.

b. Lot areas. The PID overlay requires lots of not less than 2 acres in area for future development. The two parcels that comprise the subject site both exceed this standard.

While not anticipated at this time, the applicant should be aware that any future division of land shall result in lots of not less than 2 acres in area.

c. Design standards. The conceptual PUD plan includes a landscape plan depicting new trees along Toddiem Drive, and within the property itself.

By Ordinance, buildings are to be comprised primarily of masonry materials with a 25% limitation on metal paneling and plain CMU.

The draft PUD Agreement requests deviations from the building material standards for the existing building and proposed asphalt plant buildings and structures.

- 2. Vehicular Circulation.** Existing vehicular access is provided via Victory Drive and unimproved Toddiem Drive. As previously noted, the project includes improving this roadway to County standards.

The conceptual site plan depicts two access points to the north and south sides via improved Toddiem Drive.

The main driveways and internal drive aisles meet or exceed dimensional standards (24' wide minimum).

The applicant must address any concerns/comments raised by the Township Engineer or Brighton Area Fire Authority.

- 3. Parking.** The conceptual site plan includes 19 parking spaces, though the parking calculations provided note the need for 23.

The parking spaces are double striped, and drive aisles and parking spaces will all be paved, per Ordinance requirements; however, we are unable to locate the 4 additional spaces noted.

- 4. Lighting.** The submittal does not include any details regarding exterior site lighting.

If approval is granted, the applicant must provide a detailed lighting plan, including all of the information required by Section 12.03, as part of the final site plan submittal.

- 5. Landscaping.** The submittal includes a landscape plan (Sheet LA). The plan includes street trees along Toddiem Drive, buffer zone plantings, and detention pond landscaping.

Aside from the evergreen trees, the plan and planting table do not match in terms of quantities. The applicant must correct these discrepancies.

Additionally, there are a number of mature trees and wooded areas that will be protected and preserved as part of the project. We suggest the Township require tree protection fencing around the dripline of areas to be protected during construction activities. (The applicant has indicated they will depict tree protection fencing on the construction drawings.)

Lastly, the use requirements for asphalt plants require a Buffer Zone "B" along all property lines, including road frontages.

The landscape plan provides for a Buffer Zone "B" along the road frontages and the east side of the northerly parcel.

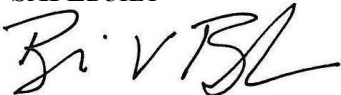
The applicant requests deviations in the following locations:

- The north side of the northerly parcel due to the presence of an existing wooded wetland;
 - The west side of the southerly parcel due to an existing wooded area adjacent to a stormwater easement;
 - The south side of the southerly parcel due to its location along a railroad with significant topographic changes; and
 - The east side of the southerly parcel due to an existing wooded area with significant topographic changes.
6. **Signage.** Any future signage will be subject to review and approval in accordance with the current provisions of Article 16 of the Township Zoning Ordinance.
7. **Impact Assessment.** The submittal includes an Impact Assessment (dated September 2, 2021).

In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses, or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
Michigan Planning Manager

October 6, 2021

Mrs. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Capital Asphalt PID Rezoning
Conceptual Site Plan Review No. 2**

Dear Mrs. Van Marter:

Tetra Tech conducted a second review of the proposed Capital Asphalt PID Rezoning site plan last dated September 21, 2021. The plans were completed by Desine Inc. on behalf of Net Lease Associates North, LLC and Net Lease Associates South, LLC. The existing site is on the end of Victory Drive and includes an existing 15,040 square foot building and is used as a metal scrap yard. The Petitioner is proposing to rezone the two parcels on the south and east side of the Victory Drive cul-de-sac from industrial to Planned Industrial District (PID). The Petitioner is proposing to improve the southernmost parcel as an asphalt manufacturing plant. The proposed improvements will include the construction and paving of Toddiem Drive, extension of municipal water and sanitary sewer to the site, onsite storm sewer and detention, and parking improvements.

After reviewing the site and impact assessment we offer the following:

GENERAL

1. The final site plan submittal should include more detail such as dimensioning of drives and parking, detention basin details, and curb and gutter. Additional detail will also need to be provided for the improvements to Toddiem Drive.
2. The proposed improvements will need to be approved by the Brighton Area Fire Authority. This approval should be obtained and provided to the Township prior to site plan approval.
3. A soil erosion and sedimentation control plan should be submitted as required by Genoa Township Engineering Design Standards for sites with more than one acre of disturbance.
4. A traffic plan should be submitted with the final site plan as required by Genoa Township Zoning Ordinance. The traffic plan will need to show access to the site and detail the projected amount of truck traffic.

DRAINAGE AND GRADING

1. The Livingston County Drain Commissioner will need to review and approve the proposed storm plan, as the proposed detention basin will outlet to their system. This approval should be provided to the Township prior to site plan approval.

UTILITIES

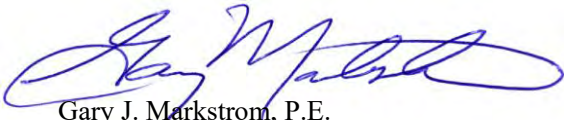
1. The Petitioner is proposing to connect to the existing water main on Grand Oaks Drive. We suggest the water main be looped to the main north of the site in Victory Drive. The size of the pipe to Grand Oaks as well as to Victory Drive should be discussed with MHOG to confirm it matches the Authority's Master Plan for utilities

in this area. The Petitioner should provide information on their expected water uses to better understand the water improvements needed for the site.


2. After site plan approval, water main and sanitary sewer construction plans must be submitted to MHOG for their review and approval, along with permitting through EGLE. The construction plans will need to include more detail on the proposed connections and include plan and profile.
3. It is possible that the Petitioner will be required to pay connection fees to connect to municipal water and sanitary sewer prior to obtaining a land use permit. This fee would be determined using Genoa Township's REU Table.

We recommend the petitioner revise the site plan to address the above comments prior to approval. Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Byrne
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

October 5, 2021

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Capital Asphalt PID Rezoning - Conceptual
Toddiem-Victory Drive PID
3080 Toddiem Dr.
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on September 23, 2021 and the drawings are dated September 21, 2021 with latest revisions dated September 21, 2021. The project is based on a proposed PID to redevelop an existing parcel from a metal recycling facility as well as an adjacent vacant parcel to a new asphalt plant and materials yard. The site consists of an existing 15,040 square foot building that will be repurposed for the new operation. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previously stated requirements or concerns have been addressed by the applicant. Based on the recently submitted drawings, the Fire Authority has no additional comments related to the proposed project.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

**TODDIEM-VICTORY DRIVE PID
Genoa Township, Michigan
PID Plan Application**

IMPACT ASSESSMENT

Owner:

Net Lease Associates North, LLC
and Net Lease Associates South, LLC
3888 South Canal Road
Lansing, Michigan

Prepared by:

DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed industrial development on the surrounding community and the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The development property is comprised of two parcels, containing a total of 16.20 acres. The Southerly parcel, containing 11.0 acres of land, is bordered on the North by Toddiem Drive, the railroad along the Southwest, and vacant industrial property to the East and West. The Northerly parcel, containing 5.20 acres, described as Lot 15 of the Grand Oaks West Industrial Park, is bordered on the West by Victory Drive and on the South by Toddiem Drive, as shown on Figure 1. All adjacent property surrounding the two parcels is zoned Industrial.

The Southerly parcel currently contains an existing building and related site improvements. The Existing Conditions Plan provides a detailed overview of the existing site features.

The Toddiem-Victory Drive PID development plan depicts proposed site improvements to be constructed on the site. Proposed improvements consist of a hot mix asphalt production plant, material loading bins, conveyor systems, a drum type mixer, a dust control and collection system, liquid asphalt binder storage tanks, product storage silos and truck loading and weight measuring systems.

Material stockpiles will be maintained on the property containing various aggregate, recycled asphalt and sand materials meeting the specifications required to produce hot mix bituminous products.

Additionally, the plan includes parking areas, access drives, a storm water management system, lighting, landscaping and related site improvements.

Access to the property, currently from Victory Drive, will be improved as a part of the development plan for the property. Toddiem Drive, between Victory Drive and Grand Oaks Drive, will be improved as a paved road, open ditch cross-section, connecting Victory Drive to Grand Oaks Drive. Truck access to the site will be from Latson Road, West on Grand Oaks Drive, to Toddiem Drive. A Transportation access plan has been prepared to identify the truck access route for the property.

A plan depicting the proposed site improvements is provided in Figure 2.

C. **IMPACT ON NATURAL FEATURES**

Natural features on the development property consist of re-established woods and shrub/scrub brush. Existing topography of the site is generally sloping, the South parcel slopes from East to West, and the North parcel slopes from South to North. Elevation of the property varies from an elevation of 970 at the Easterly property line, to approximately 948 along the West and North parcel limits. Surface water drainage on the property generally flows to the West and North.

Existing soils on the property are primarily Miami loam, with small areas of Conover Loam and Fox-Boyer Complex near the boundaries. An area of Tawas Muck is present in the North half of the Norther parcel. The loam soils are generally moderately drained and moderately permeable. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and "Soil Survey of Livingston County". The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed construction and improvements will require earthwork including excavation and grading on the Southerly parcel, and filling on the North parcel. Grading for this project will maintain the general character of the existing site. Development of this project will require earthwork to construct the proposed detention basin and modify site grades with useable materials from the site, and is not anticipated to require the import or export of soil. The proposed elevations and grading of the site mesh with the existing grades at the property lines.

Surface drainage characteristics on the property will be affected by the construction of the proposed improvements and paved surfaces. Construction of the improvements will reduce the permeable area of the property resulting in an increase in the surface water runoff generated. A storm water management system has been designed to collect and control the surface water runoff, reducing the discharge rate from the developed portion of the property to the agronomic rate and allowing for the infiltration of surface water runoff generated.

The proposed changes and modifications to the surface drainage conditions will not significantly impact local aquifer characteristics or groundwater recharge capacity. All surface water runoff from the site will be directed into the proposed detention basin. Reduction in the surface permeability will affect onsite infiltration, surface water flow path and duration. Surface water runoff from the development will be controlled and no significant impact to adjacent properties are anticipated from the proposed re-development.

Upland wildlife habitats on the property are minimal and consist of primarily of the re-established wooded and shrub/scrub brush areas. Wildlife supported in these areas are generally smaller field animals and birds. Existing industrial use of the property, adjacent existing industrial uses limits the existing upland habitat.

The project site does not currently support any significant wildlife habitat and the proposed construction will not have a significant impact on overall habitat quality. No significant adverse impact to natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

Excavation and grading proposed on the property to construct the proposed stormwater detention basin. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed sedimentation basin and detention basin. Site grading will mesh with existing grades on adjoining properties. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be installed around a majority of the site during construction. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

Surrounding land uses consist of industrial uses and vacant property. The Genoa Township Future Land Use Plan designates this property as Industrial. The proposed use depicted on the development plan is consistent with existing development in the area and is consistent with the long-term planning within the Township.

Existing ambient noise levels on and around the property are largely generated by vehicle traffic on adjacent roads and activities associated with the existing use of the site as a scrap metal recycling facility.

Noise from the proposed hot mix asphalt plant will be generated from a number of sources including burner and blower systems, exhaust fans, drum mixer drive systems, cold feed bin vibrators as well as truck and loader operations. All new production plants are equipped with internal blowers and sound dampening systems to minimize the noise produced by the facility. The proposed plant and operations will conform to the requirements of Section 13.05.06 of the Genoa Township Zoning Ordinance.

All site lighting shall meet the requirements of the Zoning Ordinance. Proposed building mounted fixtures and pole mounted site lighting will be shielded and down directed on the site. General site lighting, excluding safety and emergency lighting, shall normally be energized between the times from dusk to 10:00 p.m. and from 5:00 a.m. to dawn.

The hot mix asphalt production process requires drying of the aggregate materials resulting in the exhausting of water vapor and typical combustion byproducts from the natural gas burners during the drying process. The proposed use of the property does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. Should significant, repeated odors from the hot mix asphalt production process

impact adjacent properties, the owner shall install a system to remedy the problem.

Truck access routes and materials stockpile areas on the property will be paved to control dust created during normal operations. The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department, as a part of an existing governmental agreement, will provide fire protection service. Two fire hydrants will be constructed on the property with additional hydrants constructed within the Toddiem Drive Right-of-way to provide adequate fire protection capabilities. A Knox box and required address labeling meeting the Fire Departments requirements will be installed. No significant increase in fire protection services are anticipated as a result of the proposed use.

The property is accessed from Grand Oaks Drive and Victory Drive, providing adequate access for emergency vehicles.

The proposed uses will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is not presently within municipal water and/or sewer districts. Existing building is serviced by an onsite well and septic tank / disposal field.

Water service to the site is proposed to be provided from a new water main extension from Grand Oaks Drive to the property, and through the property to provide service to hydrants. A water service lead will be constructed. An easement for repair, maintenance and access are provided for this connecting water main. Capacity is available within the existing water system to provide adequate service to this site.

The site is currently serviced by electric, gas, phone and cable systems located Grand Oaks Drive and Victory Drive.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. A dumpster enclosure will be located on the West side of the existing building.

Large vehicles accessing the site will be capable of maneuvering on the proposed access drives around the building and for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

The proposed use of the site will require storage of liquid asphalt binder, liquid asphalt emulsion products and diesel fuel. All liquid asphalt materials used in the production of plant mix bituminous products will be stored within a secondary containment enclosure.

A Pollution Incident Prevention plan (PIPP) for the proposed use is being prepared and will be provided with the final PID plan for review and approval.

I. TRAFFIC IMPACT STUDY

The proposed re-development of the property is not anticipated to meet the conditions requiring a Traffic Impact Study, generating less than 50 directional trips during peak hours and less than 750 trips in an average day. A traffic impact study for the development has not been prepared.

No significant adverse impact on traffic in the area is anticipated as a result of developing the proposed project.

J. HISTORIC AND CULTURAL RESOURCES

The existing building on the property does not have any major historic significance on a local, regional or state level.

K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

FIGURE 2

PHOTO DEPICTING SITE IMPROVEMENTS
NOT TO SCALE



FIGURE 3
SOILS MAP
(NOT TO SCALE)



Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshtemo loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshtemo loamy sands, 18 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water

PLANNED UNIT DEVELOPMENT AGREEMENT
TODDIEM/VICTORY DRIVE PID

This Agreement for the Toddiem/Victory Planned Unit Development (“Agreement”) is by and between 10-20 Investments & Leasing, Inc. (“10-20 Investments”), a Michigan corporation as authorized by its shareholder, Net Lease Associates South, LLC (“Net Lease South”), Net Lease Associates North, LLC (“Net Lease North,” and collectively with 10-20 Investments, “Developer”), a Michigan limited liability companies whose address is P.O. Box 5467, Saginaw, MI 48605, E & B Property Holdings, LLC (“E & B Holdings”), a Michigan limited liability company whose address is 3056 E. Coon Lake Road and Genoa Charter Township (“Township”), a Michigan municipal corporation, whose address is 2911 Dorr Road, Brighton, MI 48116.

RECITALS

WHEREAS, 10-20 Investments owns real property located in the Charter Township of Genoa, County of Livingston, State of Michigan, more particularly described on Exhibit A attached hereto as “Toddiem,” and, by virtue of closing on a shareholder purchase agreement with its prior shareholder Bruce Hundley, at the time of this Agreement now has as its only shareholder Net Lease South. Net Lease North holds a vendee’s land contract interest and E & B Holdings holds a vendor’s land contract interest in real property located in the Charter Township of Genoa, County of Livingston, State of Michigan, and more particularly described on Exhibit A attached hereto as “Victory.” Toddiem and Victory shall herein be referred to as the “Property.”

WHEREAS Toddiem is an 11 acre parcel that is currently the site of a scrap metal yard and Victory is an 5.2 acre parcel that is currently vacant. Developer intends to develop the Property as a Planned Unit Development in accordance with Article 10 of the Township Zoning Ordinance for use as an asphalt plant and storage of materials.

WHEREAS, Developer has submitted to the Township a request for rezoning of the Property to Planned Industrial District (“PID”), an application for PUD, and an application for Site Plan, including all conceptual submittal items set forth in Section 10.05 of the Township Zoning Ordinance, including, but not limited to, proof of ownership of the Property and owner authorization; completed applications and application fee; an impact assessment meeting the requirements of Article 18 of the Township Zoning Ordinance, a copy of which is attached hereto as Exhibit B (“Impact Assessment”); this Agreement; drawings of at least 24" x 36", containing a Cover Sheet, Existing Conditions and Demolition Plan, Site Plan, Grading and Paving Plan, Utility Plan, Watershed Plan & Storm Water Management System Calculations, Landscape Plan, Site Development Notes and Details, Transportation Plan, Stationary Plant 500 TPH Layout, Floor Plan, and Exterior Elevations, a copy of which drawings are attached to this Agreement as Exhibit C (“PID Plan”).

WHEREAS, the Charter Township of Genoa Planning Commission ("GPC") has reviewed the request for rezoning and the PID Plan, conducted a public hearing on _____, and recommended approval of the Conceptual PID Site Plan to the Charter Township of Genoa Board of Trustees ("Township Board") and Livingston County Planning Commission ("LCPC") on _____.

WHEREAS, on _____, the LCPC conducted a public hearing on the requested Conceptual PUD Site Plan, and recommended approval to the Township Board on _____.

WHEREAS, Developer made revisions to _____, and submitted revised copies of _____ to the Township.

WHEREAS, the Township Board conducted a public hearing on the PUD rezoning, PUD Plan and PUD Agreement on _____, and provided conceptual approval of these documents pursuant to Section 10.04.01 of the Township Zoning Ordinance on _____.

WHEREAS, Developer has submitted to the Township all Final PUD Site Plan submittal items set forth in Section 10.06 of the Township Zoning Ordinance, including, but not limited to, the PUD Plan containing all materials required by Article 18 of the Township Zoning Ordinance; an Impact Statement; _____, a final copy of this Agreement (collectively the "Final Plan"), and all required fees.

WHEREAS, the GPC and Township Board actions set forth above have been taken in compliance with the Township Zoning Ordinance and with the Michigan Zoning Enabling Act, 110 PA of 2006, and have rezoned the Property to PUD/PID, finding that such classification properly achieved the purposes of Article 10 of the Township's Zoning Ordinance, including the encouragement of innovation in land use, compatibility with adjacent uses, the promotion of efficient provision of public services and utilities, the reduction of adverse traffic impacts, and the provision of adequate employment. Further, the GPC and Township Board find the PID, the PID Plan, and this Agreement are consistent with the adopted Master Plan.

WHEREAS, the Township Board has found and concluded that the uses and future development plans and conditions shown on the approved PID Plan and as set forth herein are reasonable and promote the public health, safety and welfare of the Township, and that they are consistent with the plans and objectives of the Township and consistent with surrounding uses of land for reasons including, but not limited to, the following:

- a. The proposed use set forth in the PID Plan is permitted as a special land use within the underlying zoning Industrial Zoning District;
- b. The Township has determined that flexibility in dimensional standards is necessary to allow for innovative design in redeveloping a site and where a clear public benefit is being derived in the form of extension of public water to the Toddiem/Victory Drive areas and west of Grand Oaks Drive and the creation of a connection from Grand Oaks Drive to Victory Drive by way of Toddiem Drive that is improved to Livingston County Road Commission ("LCRC") standards, among other benefits as set forth below;
- c. To encourage flexibility and creativity consistent with the intent of the PUD, the Township is permitting specific departures from the requirements of the Township Zoning Ordinance as a part of the approval process;

- d. For all deviations, the Township has found that the deviation shall result in a higher quality of development than would be possible using conventional zoning standards;
- e. The permitted deviations are consistent with the intent of the Township's PUD ordinance.

NOW, THEREFORE, the parties identified above, in consideration of the mutual promises contained in the Agreement, HEREBY AGREE AS FOLLOWS:

SECTION 1.
GENERAL TERMS OF AGREEMENT

- A. The parties acknowledge and represent that the recitations set forth above are true, accurate and binding on the respective parties.
- B. The Township acknowledges and represents that the zoning of the Property as PUD/PID, regulated by the PID Plan and this Agreement may be relied upon for future land use and development of the Property by Owner, its successors, assigns and transferees. This Agreement is for the benefit of the Property, and shall run with the Property, and shall bind and inure to the benefit of the successors, assigns and transferees of the parties to this Agreement.
- C. The PID Plan, attached as Exhibit C, has been approved by the Township in accordance with its authority granted by the Genoa Charter Township Zoning Ordinance, and The Michigan Zoning Enabling Act, subject to the terms of this Agreement.
- D. Deviations from the Township Zoning Ordinance shall be permitted as set forth in this Agreement or the PUD Plan, or as otherwise be agreed upon by the Township and Developer. Changes to the PID Plan and/or PUD Agreement shall be processed as set forth in the Zoning Ordinance and this Agreement.
- E. All improvements constructed in accordance with this Agreement and the PID Plan shall be deemed to be conforming under the Township Zoning Ordinance and in compliance with all other ordinances of the Township.
- F. The approval of the PID Plan shall be subject to the conditions set forth herein, inclusive of Exhibits.
- G. All site features, such as walkways, signs, lighting and landscaping, will be maintained by Developer.
- H. The construction, improvement and maintenance of all streets and necessary utilities (including public water, wastewater collection and treatment) to mitigate the impacts of the PID project through construction shall be performed by Developer.

SECTION 2.
LAND USE AUTHORIZATION

- A. In addition to the uses set forth in the PID Plan, uses listed in the Industrial zoning classification of the Township Zoning Ordinance shall be allowed subject to the applicable permitted or special land use regulations.
- B. The PID Plan identifies the location and configuration of the currently-proposed structures that may be developed on the Property.
- C. Developer shall determine the timing of development in compliance with the Charter Township of Genoa Code of Ordinances.

SECTION 3.
TRANSPORATION IMPROVEMENTS AND UTILITIES

- A. Construction and paving of Toddiem Drive per LCRC standards resulting in an improved road between with open ditch cross-section connecting Victory Drive to Grand Oaks Drive for public use and emergency vehicles.

- B. One of the means of access to the Property (Toddiem Drive) shall be permitted to be from a road having a right-of-way of 66 feet.
- C. The internal system of private roads or drives shall be as identified on the PUD Plan. Interior drives shall provide circulation around the building. Stacking or queuing depth at site access points shall be sufficient to accommodate expected peak hour volumes to minimize conflict with inbound or internal circulation.
- D. Developer will extend public water to the Property and connect the Development to the public water system from Grand Oaks Drive as set forth on the PID Plans. The Township represents the public water system is able to be extended to the Property as proposed by Developer and there is sufficient capacity in the water system to service the Development.
- E. Three fire hydrants will be constructed on the Property and a Knox box provided.

SECTION 4.
DRAINAGE

- A. The Development shall install a storm water management system per Livingston County Drainage Commission standards as set forth in the PID Plan.

SECTION 5.
SITE IMPROVEMENTS

- A. Owner shall cease the outdoor storage of scrap metal currently occurring on the Property.
- B. There shall be a coordination of site improvements within the overall Property, with the objective of creating site improvements that are integrated and mutually supportive among the respective components of the Development, including the utilities, landscaping and lighting, as more specifically set forth in the PID Plan.
- C. Buffer Zone B shall be provided along the road frontage of the Toddiem parcel, the road frontage of the Victory parcel, and the east side of the Victory parcel. Waivers from this requirement have been approved on the remaining sides of the two parcels as follows:
 1. North side of the Victory parcel due to existing wooded wetland along this side of the parcel.
 2. West side of the Toddiem parcel due to an existing wooded buffer adjacent to the public storm water easement in Grand Oaks West Industrial Park.
 3. South side of the Toddiem parcel which is adjacent to the railroad and the is grade approximately 15 feet higher than the site.
 4. East side of the Toddiem parcel which is wooded and the grade is approximately 6 feet higher than the site.
- D. Township shall grant to Developer and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PID Plan, provided the Developer has complied with any and all legally-applicable requirements for such permits and authorizations, including paying any required fees and granting any necessary easements. Any applications for permits or authorizations from the Township shall be processed by the Township in the customary manner.
- E. All trees and woodlands will be preserved as shown on the PID Plan, or replaced on a caliper-for-caliper basis, as more fully set forth in the PID Plan.

SECTION 6.

DIMENSIONAL AND DESIGN STANDARDS

- A. All buildings, structures, accessory structures, and parking meet the minimum set back standards of the Industrial District as shown in the PID Plan.
- B. The maximum building height shall be permitted to be 86 feet instead of a maximum height of 30 feet or two stories otherwise required by the Township Zoning Ordinance.
- C. Design standards requiring high quality architecture including a maximum of 25% metal panel shall be reduced to permit the existing building & proposed asphalt plant components and structures as set forth on the PID Plan. Otherwise, the architecture, building materials, colors and shapes of all buildings shall be consistent the Township Zoning Ordinance.
- D. Above ground storage tanks may include the following capacities:
 - 1. Fuel storage tank: 1,000 gallons.
 - 2. Tack storage tank: 2,000 gallons.
 - 3. Liquid asphalt tanks (2): 1,504,000 gallons.
- E. All signs shall be permitted as authorized in the Zoning Ordinance. Any permitted sign shall have a base constructed of materials that coordinate with and are consistent with the architecture of the building, unless mounted directly on the building.

SECTION 7. **MISCELLANEOUS PROVISIONS**

- A. This Agreement may not be modified, replaced, amended or terminated without the prior written consent of the parties to this Agreement. Amendments and deviations, whether minor or major, shall be made in compliance with the procedures set forth in the Charter Township of Genoa Code of Ordinances at the time the amendment or deviation is sought. Nothing whatsoever provided in this Agreement shall be construed so as to prevent Developer or Owner from seeking major and/or minor changes to the PUD Plan in accordance with the applicable provisions of the Zoning Ordinance.
- B. Reference in this Agreement to Owner or Developer in relation to development is intended to include Developer or Owner's successors, transferees, and assigns unless specified to the contrary.
- C. In the event of any direct conflict between the specific terms and provisions of this Agreement (including the attached PID Plan) and the provisions of the Township Zoning Ordinance, or other Township ordinances, rules or regulations, the provisions of this Agreement shall control. To the extent that this Agreement is silent as to an issue, that issue shall be governed by the provisions of the Township Zoning Ordinance.
- D. Any violation of the terms of this Agreement shall be a violation of the Township Zoning Ordinance. The remedies of the Township for a violation shall be such remedies as are provided by equity and law. Nothing contained herein shall diminish any rights Owner may have at law or in equity with respect to a breach of this Agreement by Township.
- E. In the event a portion of the Property is submitted for site plan approval, and such approval is denied, the party submitting such site plan shall be entitled to appeal such decision to the Zoning Board of Appeals as provided by law.
- F. The undersigned parties acknowledge that the conditions imposed upon the development of the Property are reasonable conditions necessary to ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to protect the natural environment and conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of

land in a socially and economically desirable manner. Further, it is acknowledged that the conditions meet all of the requirements of MCL 125.3503.

G. This Agreement shall be effective as of _____.

THE PARTIES have executed this Agreement on the dates set below and agree to be bound.

[SIGNATURES CONTAINED ON THE FOLLOWING PAGES]

DRAFT

10-20 Investments & Leasing, Inc.

By Net Lease Associates South, LLC

/s/ _____
By: Jon Sawyer
Its: Member

Net Lease Associates North, LLC

/s/ _____
By: Jon Sawyer
Its: Member

STATE OF MICHIGAN)
COUNTY OF LIVINGSTON) ss.

The foregoing instrument was acknowledged before me this ___ day of _____, 2021, by Jon Sawyer, Member of Net Lease Associates South, LLC and Net Lease Associates North, LLC, Michigan limited liability companies.

Notary Public

County, Michigan

My commission expires: _____
Acting in the County of _____

E & B Property Holdings, LLC

/s/ _____
By: Elizabeth A. Hundley
Its: Member

STATE OF MICHIGAN)
COUNTY OF LIVINGSTON) ss.

The foregoing instrument was acknowledged before me this ___ day of _____, 2021, by Elizabeth A Hundley, Member of E & B Property Holdings, LLC, Michigan limited liability companies.

Notary Public

County, Michigan

My commission expires: _____
Acting in the County of _____

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

Land situated in the Township of Genoa, County of Livingston, State of Michigan, and more particularly described as follows:

TODDIEM

Parcel 3:

A part of the Northwest 1/4 of Section 8, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North 1/4 corner of said Section 8; thence South 87°12'58" West along the North line of said Section, 1817.08 feet to the point of beginning of the parcel to be described; thence South 02°06'23" East 720.64 feet; thence South 88°02'55" West 384.26 feet to the Northeasterly right-of-way line of the C & O Railroad; thence North 49°45'12" West along said right-of-way line 506.19 feet to the West line of said Section (as monumented); thence North 02°15'06" West along and West line 369.60 feet to the Northwest corner of said Section; thence North 87°12'58" East along the North line of said Section, 759.32 feet to the point of beginning.

Subject to and including the use of a 66 foot wide private road easement for ingress and egress, the North line of which is described as: Part of the Northwest 1/4 of Section 8, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North 1/4 corner of said Section 8; thence South 87°12'58" West along the North line of said Section 496.99 feet to the Westerly right-of-way line of Grand Oak Drive and the point of beginning of said easement; thence South 87°12'58" West 2079.41 feet to the point of ending of said easement.

Commonly known as: 3080 Toddiem Drive, Howell, MI 48844

Parcel Identification #4711-08-100-009

VICTORY

Lot 15, Grand Oaks West Industrial Park, according to the plat thereof, as recorded in Liber 30 of Plats, Pages 1, 2, 3, 4, and 5, Livingston County Records.

Commonly known as: Vacant Land, Victory Drive, Howell, MI 48843

Parcel Identification #4711-05-303-015

EXHIBIT B
IMPACT ASSESSMENT

DRAFT

EXHIBIT C

PID PLAN

DRAFT

PRELIMINARY SITE PLAN FOR TODDIEM - VICTORY DRIVE PID 13080 TODDIEM DRIVE

**LOT 15 OF GRAND OAKS WEST INDUSTRIAL PARK
AND PART OF NW 1/4 OF SECTION 8, T.2N.-R.5E.
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN**

LEGAL DESCRIPTION

PARCEL No. 4711-05-303-015
LOT 15 OF "GRAND OAKS WEST INDUSTRIAL PARK," AN INDUSTRIAL SUBDIVISION OF PART OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 5, SOUTHWEST 1/4 OF SECTION 5, SOUTHEAST 1/4 OF SECTION 6 AND THE NORTHEAST 1/4 OF SECTION 7, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGES 1 THROUGH 5 INCLUSIVE, LIVINGSTON COUNTY RECORDS.
ALSO KNOWN AS: VACANT, VICTORY DRIVE, BRIGHTON, MICHIGAN

PARCEL No. 4711-08-100-009
REFERENCE: CERTIFIED LAND SURVEY No. 2446 AS RECORDED IN LIBER 920, PAGE 459, LIVINGSTON COUNTY RECORDS
PARCEL "3":

A PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 8; THENCE S87°12'58"W ALONG THE NORTH LINE OF SAID SECTION, 1817.08 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE S02°06'23"E 720.64 FEET; THENCE S88°02'55"W 384.26 FEET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF THE C.&O. RAILROAD; THENCE N49°45'12"W ALONG SAID RIGHT-OF-WAY LINE 506.19 FEET TO THE WEST LINE OF SAID SECTION (AS MONUMENTED); THENCE N02°15'06"W ALONG SAID WEST LINE 369.60 FEET TO THE NORTHWEST CORNER OF SAID SECTION; THENCE N87°12'58"E ALONG THE NORTH LINE OF SAID SECTION 759.32 FEET TO THE POINT OF BEGINNING. SUBJECT TO AND INCLUDING THE USE OF A 66 FOOT WIDE PRIVATE ROAD EASEMENT FOR INGRESS AND EGRESS AS DESCRIBED BELOW.

66 FOOT WIDE PRIVATE ROAD EASEMENT FOR INGRESS AND EGRESS, THE NORTH LINE OF WHICH IS DESCRIBED AS BEING A PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE S87°12'58"W ALONG THE NORTH LINE OF SAID SECTION 496.99 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF GRAND OAK DRIVE AND THE POINT OF BEGINNING OF SAID EASEMENT; THENCE S87°12'58"W 2079.41 FEET TO THE POINT OF ENDING OF SAID EASEMENT
ALSO KNOWN AS: 3080 TODDIEM DRIVE, BRIGHTON, MICHIGAN

BENCHMARK

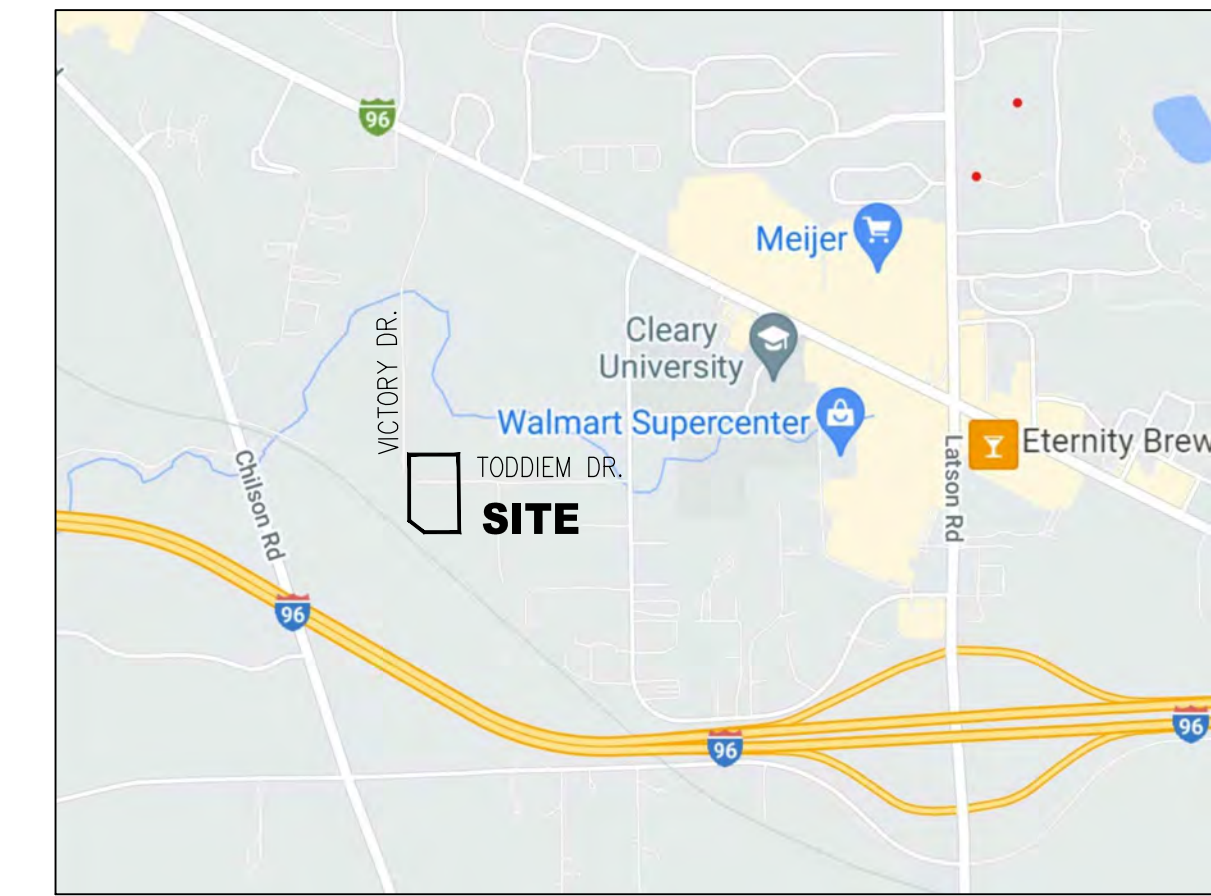
DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
CHISELED "M" IN THE TOP OF A CONCRETE CULVERT, LOCATED NEAR THE NW SIDE OF CUL-DE-SAC OF VICTORY DRIVE.
ELEVATION = 949.53 (NAVD 88)

BENCHMARK #202
RR SPIKE IN THE NORTHERLY SIDE OF A 12" TWIN ASH TREE, LOCATED NEAR THE EAST SIDE OF GRAVEL ENTRANCE OF #3080 TODDIEM.
ELEVATION = 959.175 (NAVD 88)

BENCHMARK #203
FINISH FLOOR ELEVATION IN OFFICE ENTRANCE, LOCATED NEAR THE NORTHWEST CORNER OF #3080 TODDIEM.
ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
ARROW ON HYDRANT, LOCATED NEAR THE NWLY QUAD OF THE INTERSECTION OF GRAND OAK RD AND TODDIEM DR.
ELEVATION = 975.77 (NAVD 88)



LOCATION MAP

NOT TO SCALE

SHEET INDEX

EX	EXISTING CONDITIONS AND DEMOLITION PLAN
SP	SITE PLAN
GR	GRADING & PAVING PLAN
UT	UTILITY PLAN
RD1	TODDIEM DRIVE EXTENSION PLAN
WS	WATERSHED PLAN & STORM WATER MANAGEMENT SYTEM CALCULATIONS
LA	LANDSCAPE PLAN
DT1	SITE DEVELOPMENT NOTES & DETAILS
T	TRANSPORTATION PLAN
1	STATIONARY PLANT 500 TPH LAYOUT
3	FLOOR PLAN - 1988
4	EXTERIOR ELEVATIONS - 1988



DEVELOPER
NET LEASE ASSOCIATES NORTH, LLC
NET LEASE ASSOCIATES SOUTH, LLC
3988 S. CANAL ROAD
LANSING, MI.
(517) 322-0800

CIVIL ENGINEER/LAND SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MI. 48114
(810) 227-9533

DESINE INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

REVISED	SCALE: N/A
09-21-21	PROJECT No.: 9214101
	DWG NAME: 4101-COV
	PRINT: SEPT. 21, 2021



BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM

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CHISELED "X" IN THE TOP OF A CONCRETE CULVERT, LOCATED NEAR THE NW SIDE OF CUL-DE-SAC OF VICTORY DRIVE. ELEVATION = 949.53 (NAVD 88)

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LEGEND

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- = OVERHEAD TRAFFIC SIGNAL
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- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = SPOT ELEVATION
- = 1' CONTOUR
- = 5' CONTOUR
- = EXISTING LIGHT POLE

DEMOLITION NOTES:

1. The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
2. Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
3. Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
4. Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
5. Contractor shall recycle and/or dispose of all demolition material and debris in accordance with the appropriate Local, County, State and Federal regulations.
6. All bituminous and concrete pavement to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
7. All existing irrigation lines to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
8. All existing water main and sanitary sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
9. All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
10. All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
11. All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
12. All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDOT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, Modified Proctor).

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DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

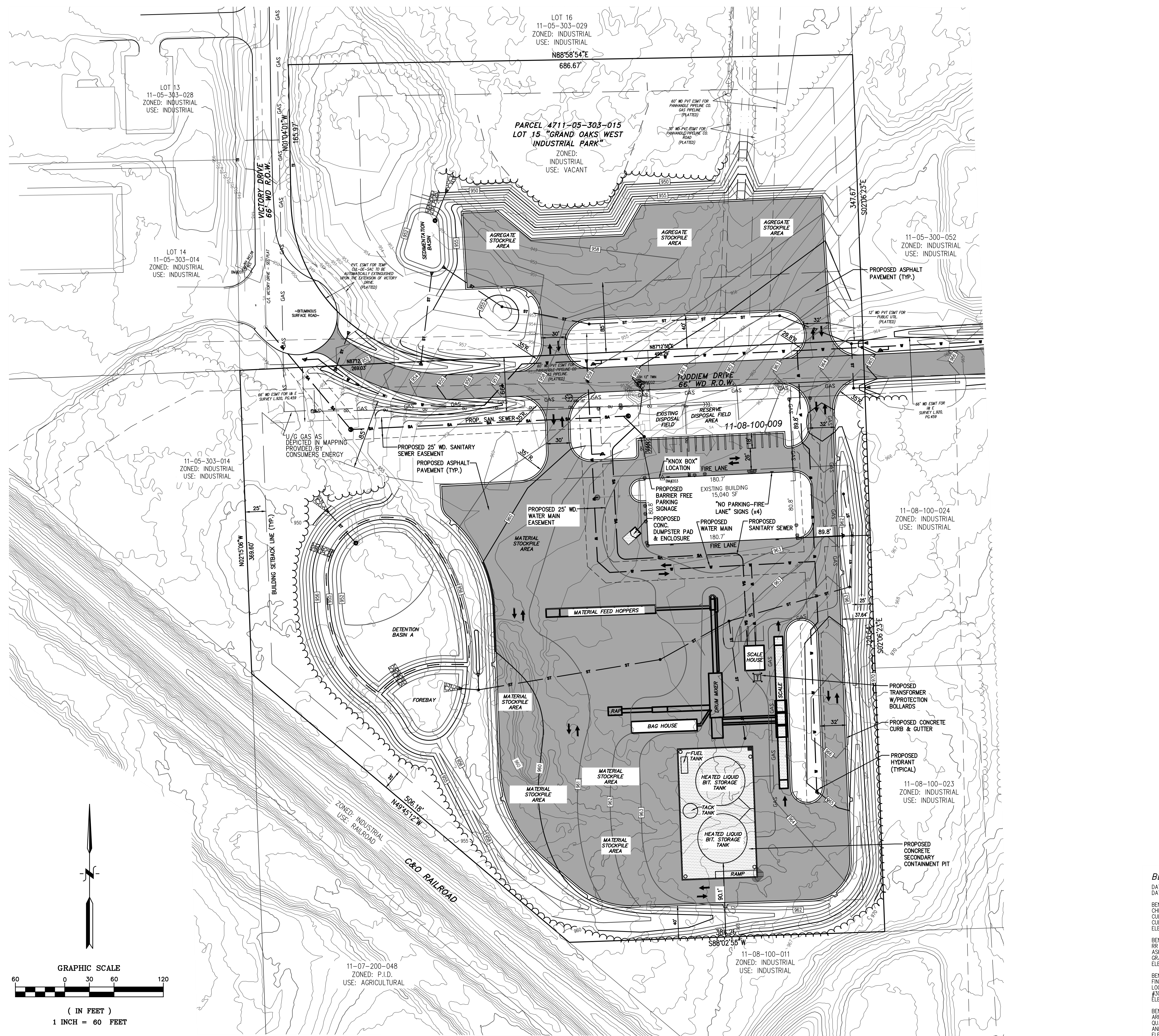
TODDIEM-VICTORY DRIVE PID

EXISTING CONDITIONS DEMOLITION PLAN

CLIENT:
Net Lease Associates North, LLC
Net Lease Associates South, LLC
3888 S. CANAL ROAD
LANSING, MICHIGAN
517-322-0800

SCALE: 1"=60'
PROJECT No.: 9214101
DWG NAME: 4101-EX
ISSUED: SEPT. 21, 2021

EX



LEGEND

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- = PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- = PROPOSED HEAVY DUTY CONCRETE PAVEMENT

SITE DATA:

PROJECT AREA: 11-05-303-015 5.20 AC.
 11-08-100-009 11.00 AC.

CURRENT ZONING: INDUSTRIAL
 PROPOSED USE: ASPHALT PLANT

	PERMITTED	PROPOSED
SITE AREA:	5 AC. (MIN.)	16.20 AC.
WIDTH:	150 FEET	30 FEET
BUILDING HEIGHT:	30 FEET	1 STORY / 22 FEET
STORAGE SILO HEIGHT:		86 FEET
LOT COVERAGE (BLDG):	40%	3.0%
IMPERVIOUS COVERAGE:	85%	42.9%
SETBACKS: FRONT	85 FT.	89.8'
SIDE	25 FT.	89.8'
REAR	40 FT.	90.1'
PARKING: FRONT	20 FT.	40.0'
SIDE & REAR	10 FT.	37.64'
EXISTING BUILDING AREA:	15,040 sq.ft.	
TANK VOLUMES:	FUEL	1,000 GALLONS
	TACK	2,000 GALLONS
	LIQUID ASPHALT	1,504,000 GALLONS EACH

PARKING REQUIREMENTS:
 INDUSTRIAL:
 1.5 SPACES PER 1,000 SQ. FT.
 15,040 SQ. FT. / 1,000 (1.5) = 23 SPACES
 PROVIDED PARKING: = 23 SPACES
 EMPLOYEES = 10 (ESTIMATED)

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
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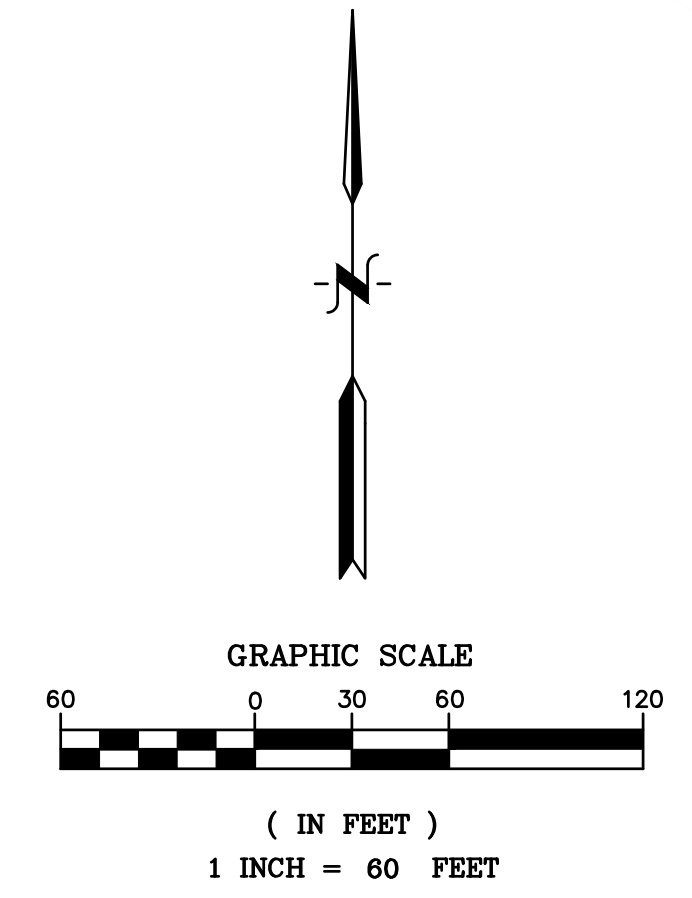
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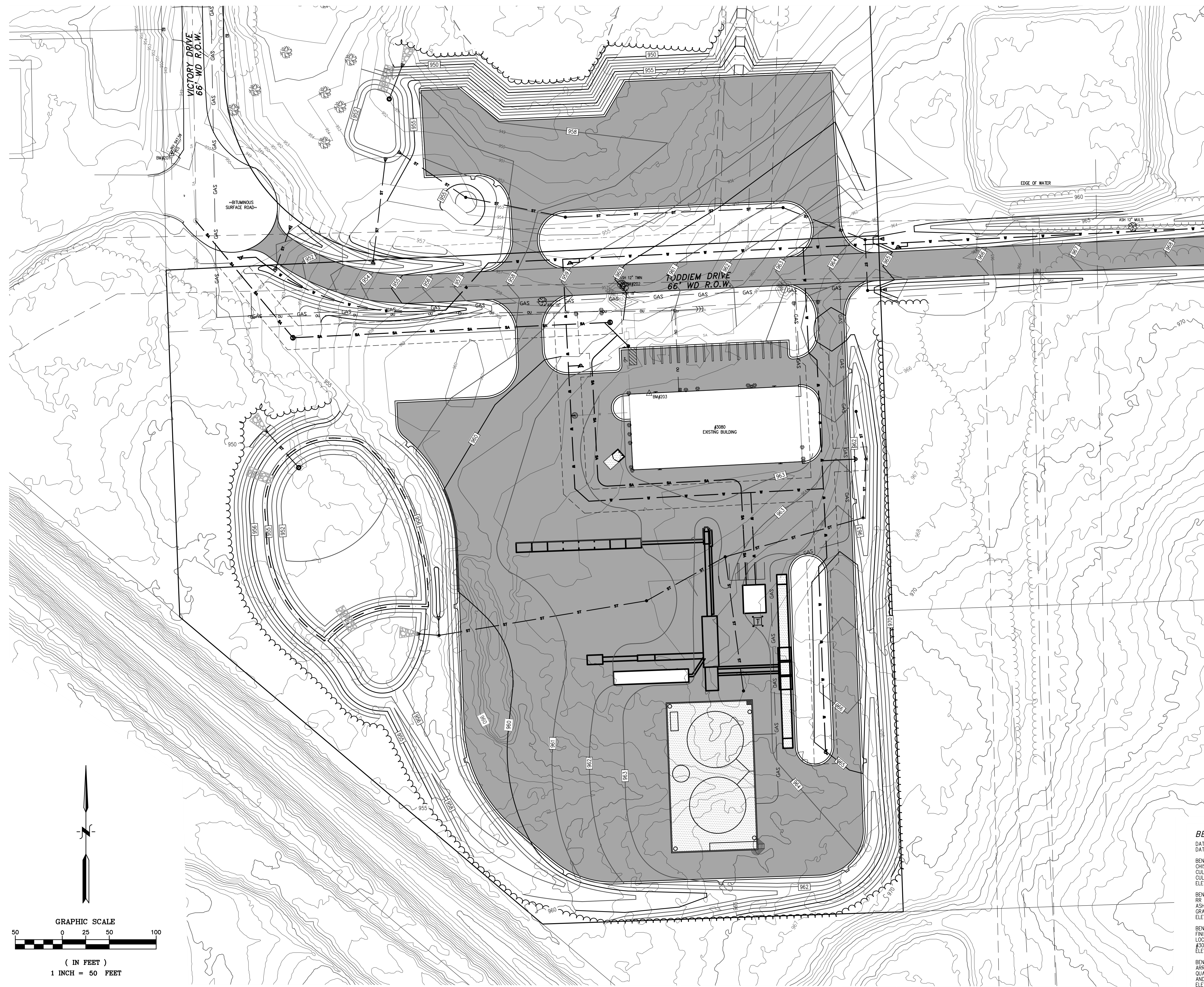
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DRAFT: L.F.	1	09-21-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

TODDIEM-VICTORY DRIVE PID

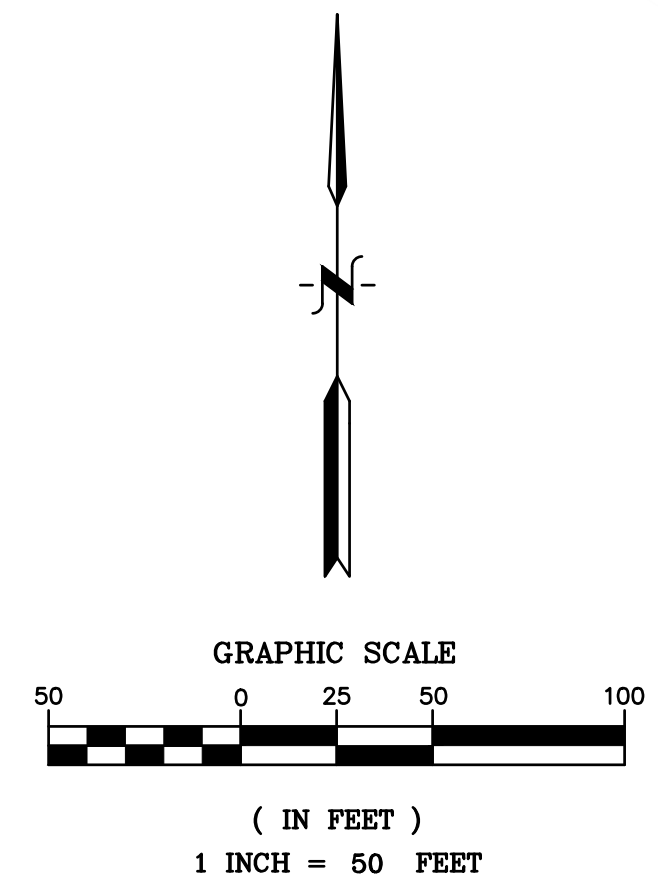
SITE PLAN

CLIENT: Net Lease Associates North, LLC Net Lease Associates South, LLC 3888 S. CANAL ROAD LANSING, MICHIGAN 517-322-0800	SCALE: 1"=60' PROJECT No.: 9214101 DWG NAME:4101-SP ISSUED: SEPT. 21, 2021
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SP



- ### LEGEND
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BENCHMARK
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CHECK: WMP						

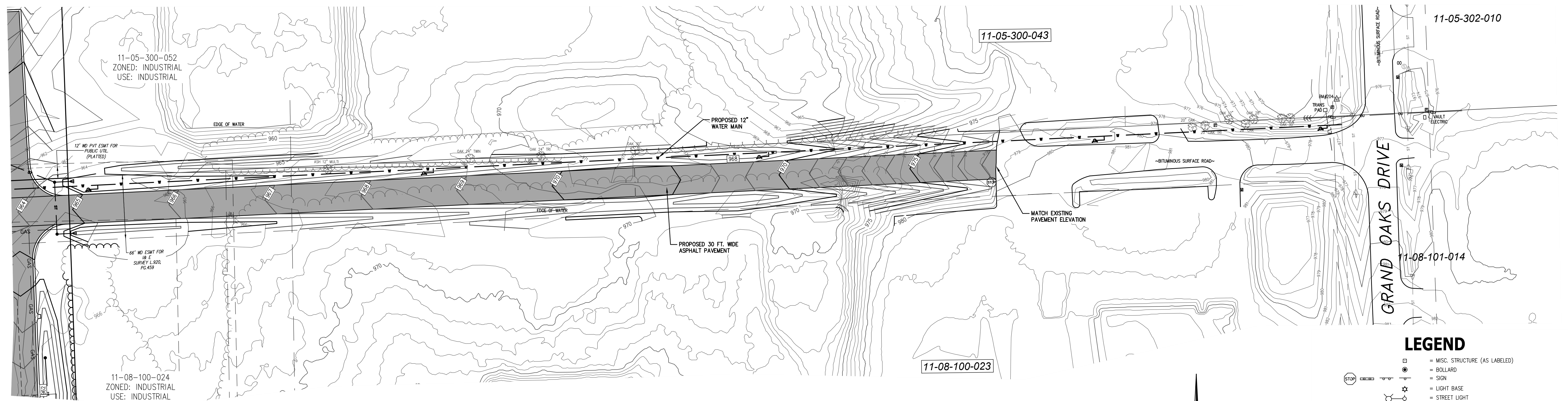
TODDIEM-VICTORY DRIVE PID

GRADING & PAVING PLAN

CLIENT:
Net Lease Associates North, LLC
Net Lease Associates South, LLC
3888 S. CANAL ROAD
LANSING, MICHIGAN
517-322-0800

SCALE: 1"=50'
PROJECT No.: 9214101
DWG NAME: 4101-GR
ISSUED: SEPT. 21, 2021





11-05-302-010

11-05-300-043

11-05-300-052
ZONED: INDUSTRIAL
USE: INDUSTRIAL

12" NO. 12 PVT. ESMIT FOR PUBLIC UTIL. (PLATED)

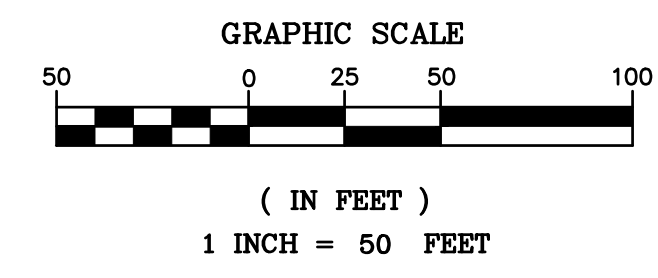
66" NO. 12 PVT. ESMIT FOR SURVEY L.S. 200 PG. 459

11-08-100-024
ZONED: INDUSTRIAL
USE: INDUSTRIAL

11-08-100-023

LEGEND

- = MISC. STRUCTURE (AS LABELED)
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BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

**TODDIEM-VICTORY
DRIVE PID**

**TODDIEM DRIVE
EXTENSION PLAN**

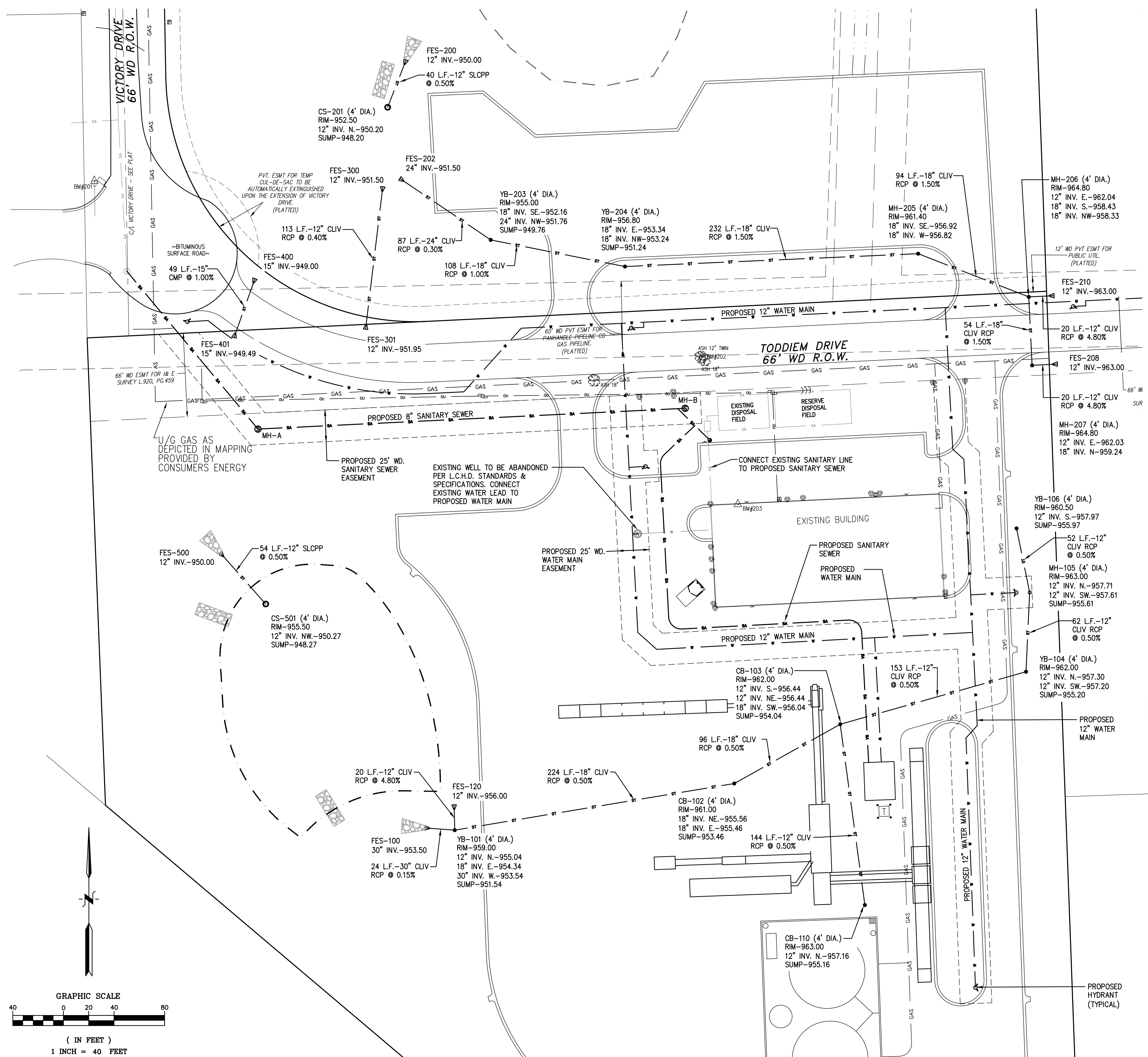
CLIENT:
Net Lease Associates North, LLC
Net Lease Associates South, LLC
3888 S. CANAL ROAD
LANSING, MICHIGAN
517-322-0800

SCALE: 1"=50'
PROJECT No.: 9214101
DWG NAME: 4101-RD1
ISSUED: **SEPT. 21, 2021**

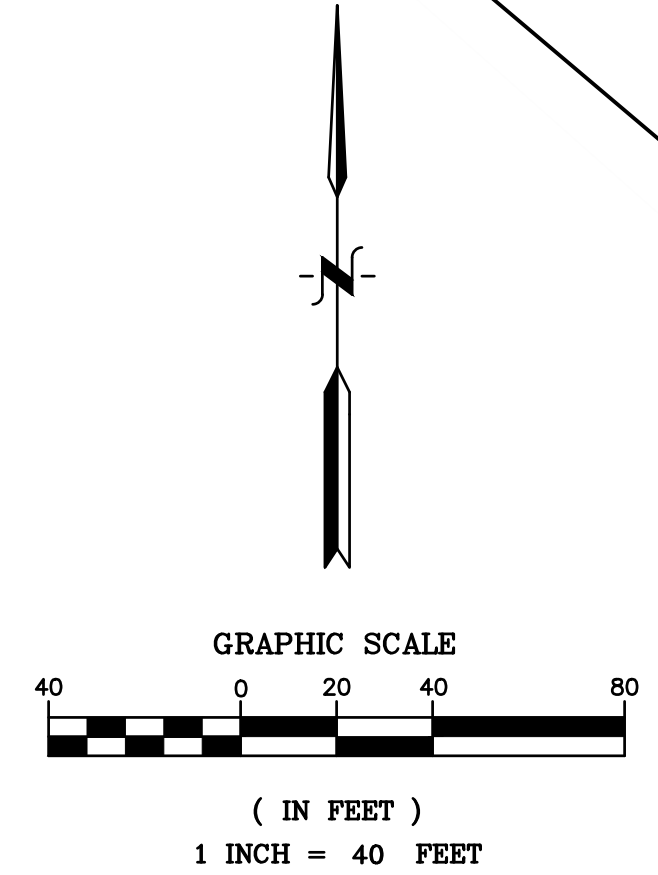
RD1

LEGEND

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- = GAS SHUT OFF
- = U/G GAS
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES



TODDIEM DRIVE	
Water Main Basis of Design	August 16, 2021
TSV TO HYD	
Design Factors:	
Equivalent length of pipe	L = 2075 feet
Hazen-Williams roughness constant	C = 110
Design flow volume	Q = 3000 gpm
Pipe diameter	Dia = 12.0 inches
Calculated Pressure Loss	
friction head loss (feet per 100 feet)	f = 2.70 ft / 100 ft
friction head loss (psi per 100 feet)	f = 1.16 psi / 100 ft
Calculated Flow Velocity	
Flow velocity	V = 8.51 ft/s
Resultant Pressures	
Pressure at WTR Main*	P1 = 70.0 psi
Calculated pressure at HYD "N"	P2 = 45.9 psi



BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
 CHISELED "X" IN THE TOP OF A CONCRETE CULVERT, LOCATED NEAR THE NW SIDE OF CUL-DE-SAC OF VICTORY DRIVE.
 ELEVATION = 949.53 (NAVD 88)

BENCHMARK #202
 RR SPIKE IN THE NORTHERLY SIDE OF A 10" TWIN ASH TREE, LOCATED NEAR THE EAST SIDE OF GRAVEL ENTRANCE OF #3080 TODDIEM.
 ELEVATION = 958.175 (NAVD 88)

BENCHMARK #203
 FINISH FLOOR ELEVATION IN OFFICE ENTRANCE, LOCATED NEAR THE NORTHWEST CORNER OF #3080 TODDIEM.
 ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
 ARROW ON HYDRANT, LOCATED NEAR THE NWLY QUAD OF THE INTERSECTION OF GRAND OAK RD AND TODDIEM DR.
 ELEVATION = 975.77 (NAVD 88)

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 OR VISIT CALL811.COM

(810) 227-9533
CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.	1	09-21-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

TODDIEM-VICTORY DRIVE PID

UTILITY PLAN

CLIENT:
 Net Lease Associates North, LLC
 Net Lease Associates South, LLC
 3888 S. CANAL ROAD
 LANSING, MICHIGAN
 517-322-0800

SCALE: 1"=40'
 PROJECT No.: 9214101
 DWG NAME: 4101-UT
 ISSUED: **SEPT. 21, 2021**

UT

LEGEND

- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = 1' CONTOUR
- = 5' CONTOUR
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES
- = PROPOSED 1' CONTOUR
- = PROPOSED 5' CONTOUR
- = DRAINAGE TRIBUTARY BOUNDARY

Design Criteria: 10 year event (I = 175t + 25) RCP n= 0.013 HDPE n= 0.013

From MH# CB# FES#	To MH# CB# FES#	Inc. Acres	Eqv. Area 100% CA	Total Area 100% CA	T Time Min.	I Inch Per Hour	Q (CIA) c.f.s.	Dia. of pipe inch	Slope pipe %	Slope H.G. %	Length of line ft.	Vel. Flow full ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. Elev. upper end	Ground Elev.		Invert Elev.	
																Upper end	Lower end	Upper end	Lower end
301	300	0.18	0.55	0.10	15.0	4.38	0.43	12	0.40	0.01	113	2.87	0.7	2.25	952.52	951.95	951.50	951.95	951.50
210	206	0.58	0.55	0.32	15.0	4.38	1.40	12	4.80	0.15	20	9.94	0.0	7.81	963.07	963.00	964.80	963.00	962.04
208	207	4.96	0.24	1.20	15.0	4.38	5.23	12	4.80	2.15	20	9.94	0.0	7.81	963.47	963.00	964.80	963.00	962.04
207	206	0.00	0.00	0.00	15.0	4.37	5.22	18	1.50	0.25	54	7.28	0.1	12.86	960.06	964.80	964.80	959.24	958.43
206	205	0.00	0.00	0.00	15.1	4.36	6.60	18	1.50	0.39	94	7.28	0.2	12.86	958.79	964.80	961.40	956.33	956.92
205	204	0.00	0.00	0.00	15.1	4.33	6.56	18	1.50	0.39	232	7.28	0.5	12.86	956.82	961.40	956.80	956.82	953.34
204	203	0.45	0.37	0.17	16.8	4.28	7.19	18	1.00	0.47	108	5.94	0.3	10.50	954.24	956.80	955.00	953.24	952.16
203	202	1.33	0.83	1.11	2.79	4.25	11.84	24	0.30	0.27	87	3.94	0.4	12.39	953.74	955.00	951.50	951.76	951.50
																951.73 Downstream HWL			

SEDIMENTATION BASIN VOLUME CALCULATIONS

BASIN B				
POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTTOM	951.00	2,317	0	0
1.0	952.00	3,327	2,807	2,807
2.0	953.00	3,776	3,549	6,356
		4494		
LOWER	ELEV 952.00	VOLUME 2,807	VOLUME REQ. 1,856	ELEVATION 951.73
HIGHER	ELEV 953.00	VOLUME 6,356		

PROPOSED DRAINAGE AREAS - NORTH

"Area"	Run-off Coefficient				(ACRES)	"C" Factor
	Pavement	Building	Lawn	Water		
FES-301	0.09	0.00	0.09	0.00	0.18	0.55
FES-210	0.29	0.00	0.29	0.00	0.58	0.55
FES-208	0.29	0.00	4.67	0.00	4.96	0.24
YB-204	0.11	0.00	0.34	0.00	0.45	0.37
YB-203	1.20	0.00	0.13	0.00	1.33	0.83
Sedimentation Area	0.10	0.00	0.65	0.05	0.80	0.34
TOTAL AREA =					8.30	ACRES
RUN-OFF COEFFICIENT =					0.38	

CONTROL STRUCTURE (CS-201) CALCULATIONS

Tributary Area: A = 8.30 Acres
 Compound Runoff Coefficient: C = 0.38
 Orifice Flow Coefficient: c = 0.60
 Allowable Outflow Rate: Qa = 0.83 CFS
 First Flush Volume: Vff = 1,856 CF
 Low Water Level: LWL = 951.00
 First Flush Elevation: Xff = 951.73

FIRST FLUSH:
 Qff = Vff * (1 / 24 hrs) * (1 / 3600 sec) = 0.021 CFS
 Hff = (2 / 3) * (Xff - LWL) = 0.49 FT
 Aff = Qff / (c * SQRT(2 * 32.2 * Hff)) = 0.0064 SF
 Nff = Aff / 0.0055 = 1.2 1.0" Holes

Use Nff = 1 1.0" Holes at Elevation = 951.00

PROPOSED DRAINAGE AREAS - SOUTH

"Area"	Run-off Coefficient				(ACRES)	"C" Factor
	Pavement	Building	Lawn	Water		
FES-120	1.09	0.17	0.41	0.00	1.67	0.73
YB-110	0.24	0.00	0.08	0.00	0.32	0.73
YB-106	0.08	0.00	0.12	0.00	0.20	0.48
YB-104	0.06	0.00	0.12	0.00	0.18	0.43
CB-103	0.57	0.11	0.10	0.00	0.78	0.81
CB-102	0.55	0.07	0.00	0.00	0.62	0.90
YB-101	0.56	0.00	0.04	0.00	0.60	0.85
Containment	0.30	0.00	0.00	0.00	0.30	0.90
South Ditch Area	1.28	0.00	5.18	0.00	6.46	0.34
Detention Area	0.00	0.00	0.79	0.22	1.01	0.37
TOTAL AREA =					12.14	ACRES
RUN-OFF COEFFICIENT =					0.51	

100 YEAR STORM DETENTION - BASIN A

1	2	3	4	5	6	7
Duration (Minutes)	Duration (Seconds)	Intensity (100-yr Storm) (in / hr)	Col. 2 * Col. 3 (Inches)	Inflow Volume = Col. 4 * K1 (Cubic Feet)	Outflow Volume = Col. 2 * Qo (Cubic Feet)	Storage Volume = Col. 5 - Col. 6 (Cubic Feet)
5	300	9.17	2750	16940	364	16576
10	600	7.86	4714	29040	728	28312
15	900	6.88	6188	38115	1093	37022
20	1200	6.11	7333	45173	1457	43717
30	1800	5.00	9000	55440	2185	53255
60	3600	3.24	11647	71746	4370	67376
90	5400	2.39	12913	79544	6556	72989
120	7200	1.90	13655	84116	8741	75375
180	10800	1.34	14488	89245	13111	76134
240	14400	1.04	14943	92051	17482	74570

Note: Figures in Columns (3) and (4) are computed by the formula $I = 275 / (t + 25)$ (i.e. 100-yr Curve);
 * Allowable outflow rate Qo is computed by one of the following cases:
 Case 1: Qo = capacity of existing discharge conduit or channel.
 Case 2: Qo = q * A where q = Permissible discharge rate per acre of tributary area = 0.10 cfs / Acre

Bankfull Volume: (8160)(A)(C) = 50266 cf
First Flush Volume: (1815)(A)(C) = 11180 cf
Forebay Volume (5% of 100 year Volume): = 3769 cf

DETENTION BASIN VOLUME CALCULATIONS

BASIN A				
POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTTOM	951.00	0	0	0
1.0	952.00	9,600	3,200	3,200
2.0	953.00	20,050	14,512	17,712
3.0	954.00	22,730	21,381	39,093
4.0	955.00	25,576	24,139	63,233
5.0	956.00	36,116	30,695	93,927

Detention Storage Elevation Calculation:

	ELEV.	VOLUME	VOLUME REQ.	ELEVATION
LOWER	955.00	63,233	76,134	955.42
HIGHER	956.00	93,927		

Bankfull Storage Elevation Calculation:

	ELEV.	VOLUME	VOLUME REQ.	ELEVATION
LOWER	953.00	17,712	50,266	954.52
HIGHER	954.00	39,093		

First Flush Storage Elevation Calculation:

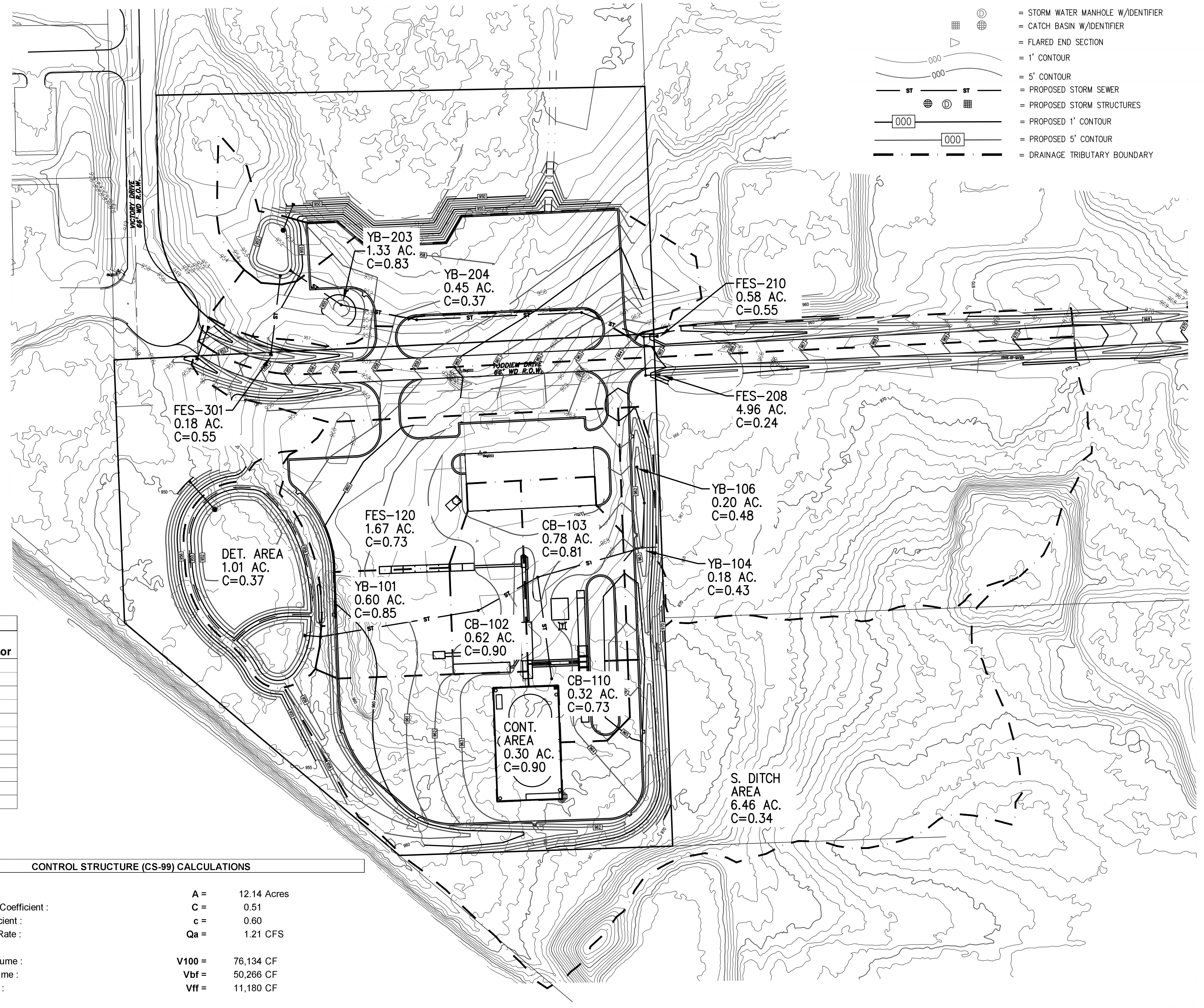
	ELEV.	VOLUME	VOLUME REQ.	ELEVATION
LOWER	953.00	17,712	11,180	952.69
HIGHER	954.00	39,093		

Forebay Storage Calculation:

POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTTOM	953.00	3,774	0	0
1.0	954.00	5,060	4,401	4,401
2.0	955.00	6,410	5,722	10,123

Design Criteria: 10 year event (I = 175t + 25) RCP n= 0.013 HDPE n= 0.013

From MH# CB# FES#	To MH# CB# FES#	Inc. Acres	Eqv. Area 100% CA	Total Area 100% CA	T Time Min.	I Inch Per Hour	Q (CIA) c.f.s.	Dia. of pipe inch	Slope pipe %	Slope H.G. %	Length of line ft.	Vel. Flow full ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. Elev. upper end	Ground Elev.		Invert Elev.	
																Upper end	Lower end	Upper end	Lower end
106	105	0.20	0.48	0.10	15.0	4.38	0.42	12	0.50	0.01	52	3.21	0.3	2.52	958.72	960.50	963.00	957.97	957.71
105	104	0.00	0.00	0.10	15.3	4.35	0.42	12	0.50	0.01	62	3.21	0.3	2.52	958.31	963.00	962.00	957.61	957.30
104	103	0.18	0.43	0.08	15.6	4.31	0.75	12	0.50	0.04	153	3.21	0.8	2.52	957.50	962.00	962.00	957.20	956.44
110	103	0.32	0.73	0.23	15.0	4.38	1.02	12	0.50	0.08	144	3.21	0.7	2.52	957.55	963.00	962.00	957.16	956.44
103	102	0.78	0.81	0.63	15.4	4.23	4.39	18	0.50	0.17	96	4.20	0.4	7.43	957.22	962.00	961.00	956.04	955.56
102	101	0.62	0.90	0.56	16.8	4.19	6.69	18	0.50	0.41	224	4.20	0.9	7.43	956.93	961.00	959.00	955.46	954.34
120	101	1.67	0.73	1.22	15.0	4.38	5.32	12	4.80	2.23	20	9.94	0.0	7.81	956.48	956.00	959.00	956.00	955.04
101	100	0.60	0.85	0.51	3.32	4.10	13.64	30	0.15	0.11	24	3.24	0.1	15.89	956.03	959.00	953.50	953.54	953.50
																955.42 Downstream HWL			



CONTROL STRUCTURE (CS-99) CALCULATIONS

Tributary Area: A = 12.14 Acres
 Compound Runoff Coefficient: C = 0.51
 Orifice Flow Coefficient: c = 0.60
 Allowable Outflow Rate: Qa = 1.21 CFS
 100 Year Flood Volume: V100 = 76,134 CF
 Bankfull Flood Volume: Vbf = 50,266 CF
 First Flush Volume: Vff = 11,180 CF
 Low Water Level: LWL = 951.00
 First Flush Elevation: Xff = 952.69
 Bankfull Flood Elevation: Xbf = 954.52
 100 Year Flood Elevation: X100 = 955.42
 (Use available high water elevation for X100)

FIRST FLUSH:
 Qff = Vff * (1 / 24 hrs) * (1 / 3600 sec) = 0.129 CFS
 Hff = (2 / 3) * (Xff - LWL) = 1.13 FT
 Aff = Qff / (c * SQRT(2 * 32.2 * Hff)) = 0.0253 SF
 Nff = Aff / 0.01227 = 2.1 1.5" Holes

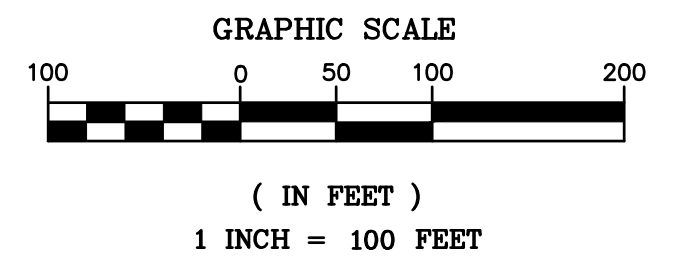
Use Nff = 2 1.5" Holes at Elevation = 951.00

BANKFULL FLOOD:
 H = (2 / 3) * (Xbf - LWL) = 2.348 FT
 Qbw = c * Nff * 0.01227 * SQRT(2 * 32.2 * H) = 0.1811 CFS
 Vprovided = Qbw * 24 hrs * (3600 sec / 1 hr) = 15,645 CF
 Vneeded = Vbf - Vprovided = 34,621 CF
 Qbf = Vneeded * (1 / 16 hrs) * (1 / 3600 sec) = 0.6011 CFS
 Hbf = (2 / 3) * (Xbf - Xff) = 1.22 FT
 Abf = Qbf / (c * SQRT(2 * 32.2 * Hbf)) = 0.1131 SF
 Nbf = Abf / 0.02182 = 5.2 2.0" Holes

Use Nbf = 5 2.0" Holes at Elevation = 952.69

100 YEAR FLOOD:
 Qff + Qbf = [c * Nff * 0.01227 * SQRT(2 * 32.2 * (X100 - LWL))] + [c * Nbf * 0.02182 * SQRT(2 * 32.2 * (X100 - Xff))] = 1.116 CFS
 Qa - (Qff + Qbf) = 0.0983 CFS
 H100 = HWL - Xbf = 0.90 FT
 A100 = Q100 / (c * SQRT(2 * 32.2 * H100)) = 0.0215 SF
 N100 = A100 / 0.0218 = 1.0 2.0" Holes

Use N100 = 1 2.0" Holes at Elevation = 954.61



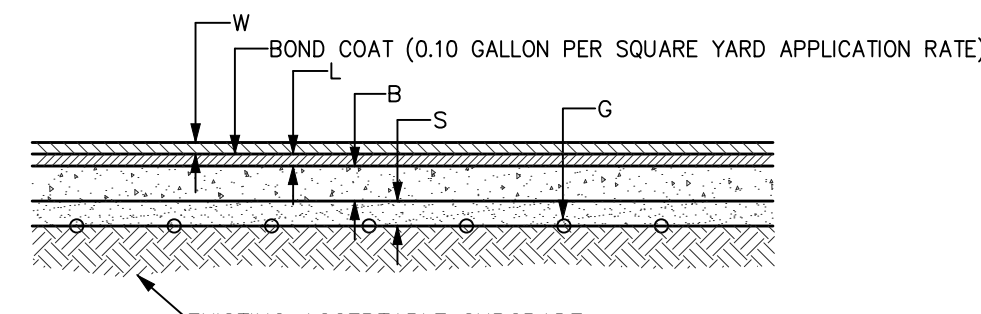
BENCHMARK
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DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.	1	09-21-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

TODDIEM-VICTORY DRIVE PID



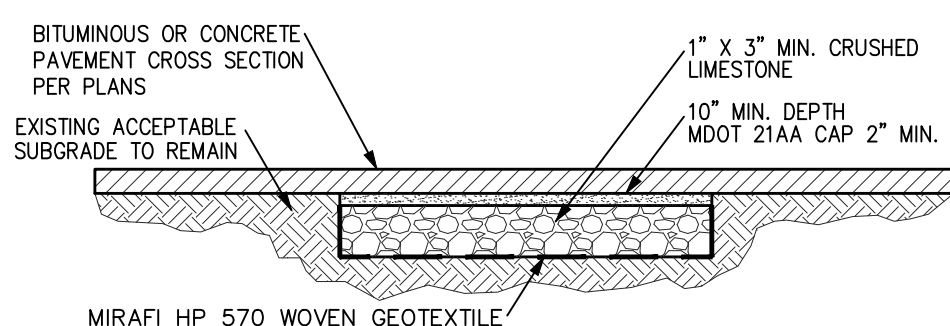
HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION

NOT TO SCALE

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	4"
B	AGGREGATE BASE	MDOT 22A	8"
S	GRANULAR SUBBASE	MDOT CLASS II	6"
G	GEORID	N/A	N/A

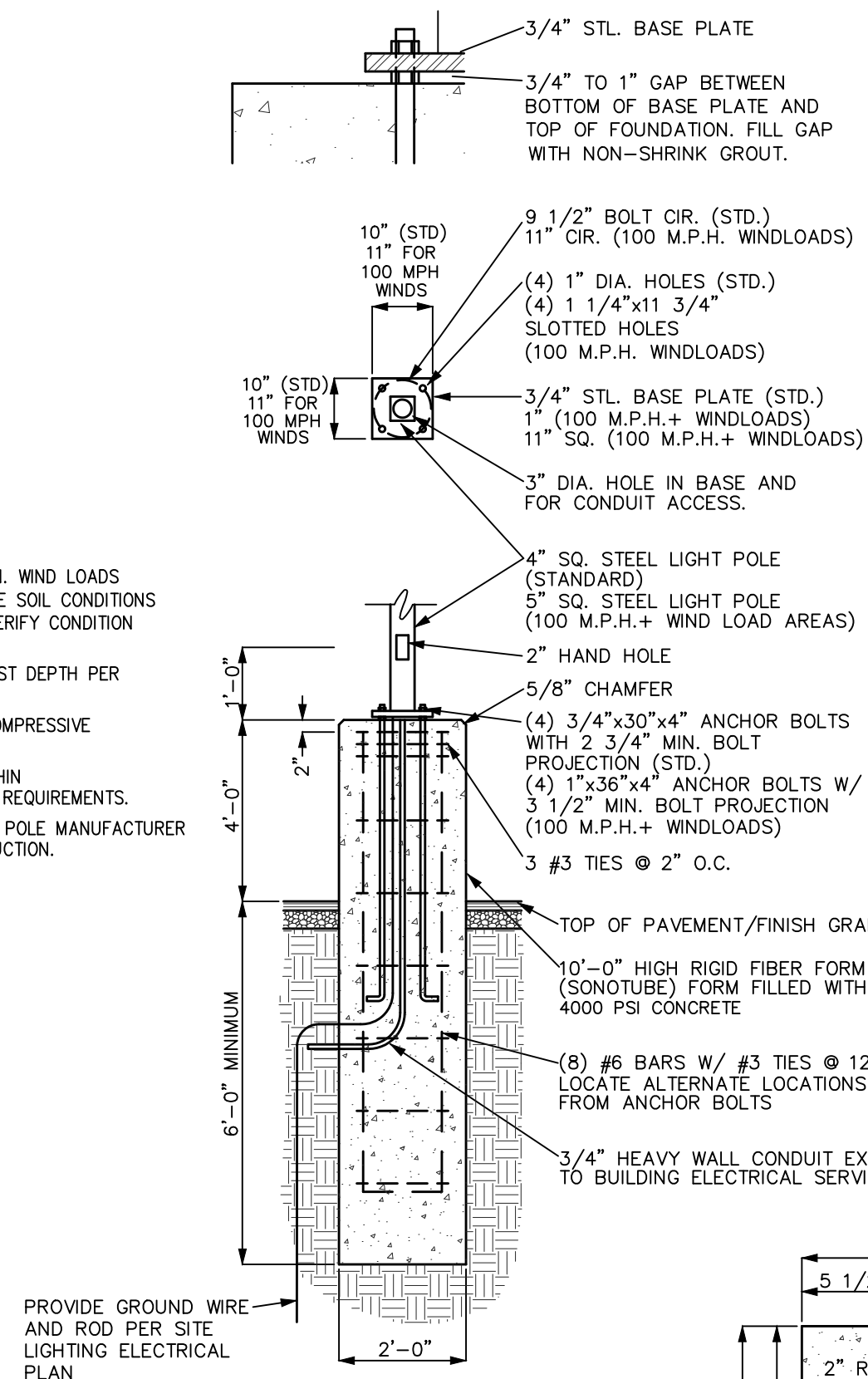
BITUMINOUS PAVEMENT CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Bituminous Pavement Cross Section Details on the Project Plans for additional requirements. Construction of the bituminous pavement cross section is subject to inspection by the ALDI Representative and/or Project Engineer. The Contractor shall be responsible for contacting the ALDI Representative at each stage of construction of the bituminous pavement cross section to schedule the necessary inspections.
- The Geotechnical Evaluation Report for the project site is a part of this work. The General Contractor, Earthwork Subcontractor, and Bituminous Pavement Subcontractor shall obtain, review, and become familiar with the Geotechnical Evaluation Report.
- The bituminous pavement cross section specifications are based on typical weather conditions during the June through September Construction Season. If the bituminous parking area and/or bituminous driveways are to be constructed during any other time of the year and/or if weather conditions are unseasonably wet, then modifications to the bituminous pavement cross section specifications may be necessary. If either of these conditions exists, then contact the Material Testing Engineer and/or the Project Engineer for additional requirements.
- The existing subgrade soils shall be prepared in accordance with the Geotechnical Evaluation Report. Unsuitable soils found within the 1 on 1 influence zone of the proposed pavement areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans and the Geotechnical Evaluation Report.
- The bituminous pavement subgrade shall be prepared and proof rolled in accordance with the Geotechnical Evaluation Report. The Material Testing Engineer and/or the Project Engineer shall observe the subgrade proof roll. Areas of subgrade that do not pass a proof roll inspection shall be undercut in accordance with the Subgrade Undercut Notes and Details on the Project Plans. Alternative means of subgrade stabilization may be considered when recommended by the Material Testing Engineer. Alternative methods shall not be performed without receipt of the Owner's Authorization.
- The bituminous pavement granular subbase material shall be MDOT Class II sand. No granular subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The granular subbase shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement aggregate base material shall be MDOT 21AA crushed angular limestone or crushed angular natural stone aggregate material. Crushed concrete shall NOT be utilized for the standard or heavy duty bituminous pavement aggregate base. No aggregate base material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The aggregate base shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement leveling course material shall be MDOT 13A bituminous material placed in 1 lift. The bituminous pavement wearing course material shall be MDOT 4E3 bituminous material placed in 1 lift. The bituminous pavement leveling and wearing courses shall NOT be combined into a single course. No bituminous material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. Compaction of the leveling course shall be achieved prior to placement of the wearing course. Any sediment, soil, debris and other foreign materials that accumulate on the leveling course shall be removed prior to placement of the wearing course. The bond coat shall be sprayed on the leveling course within 24 hours of placement of the wearing course. The bituminous pavement material shall be compacted to a minimum of 95% of the 50-blow Marshall Density.
- Placement of the bituminous pavement leveling course and bituminous pavement wearing course shall be performed in two separate mobilizations. Placement of the bituminous pavement wearing course shall be postponed as directed by the General Contractor and/or the Owner until the majority of the construction activities are complete. Repair of the bituminous leveling course may be necessary due to construction traffic and/or any delay in placement of the bituminous wearing course. The bituminous leveling course shall be repaired as directed by Material Testing Engineer and/or Owner prior to placement of the bituminous wearing course.
- Bituminous mix designs shall be developed in accordance with the MDOT HMA Production Manual. The Contractor shall submit the bituminous pavement mix designs to the Material Testing Engineer for review and approval a minimum of 3 business days prior to use. Bituminous pavement work shall not commence without receipt of the Material Testing Engineer's approval of the bituminous mix designs. The bituminous pavement mix design shall be a virgin mix. RAP mixtures shall not be utilized without prior written approval of the Material Testing Engineer and receipt of the Owner's authorization. RAP mixtures, if authorized, shall be designed and produced in accordance with MDOT Tier I or Tier II RAP Mixture Specifications. In no instance shall MDOT Tier III or non-MDOT RAP mixtures be permitted or utilized.



SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION

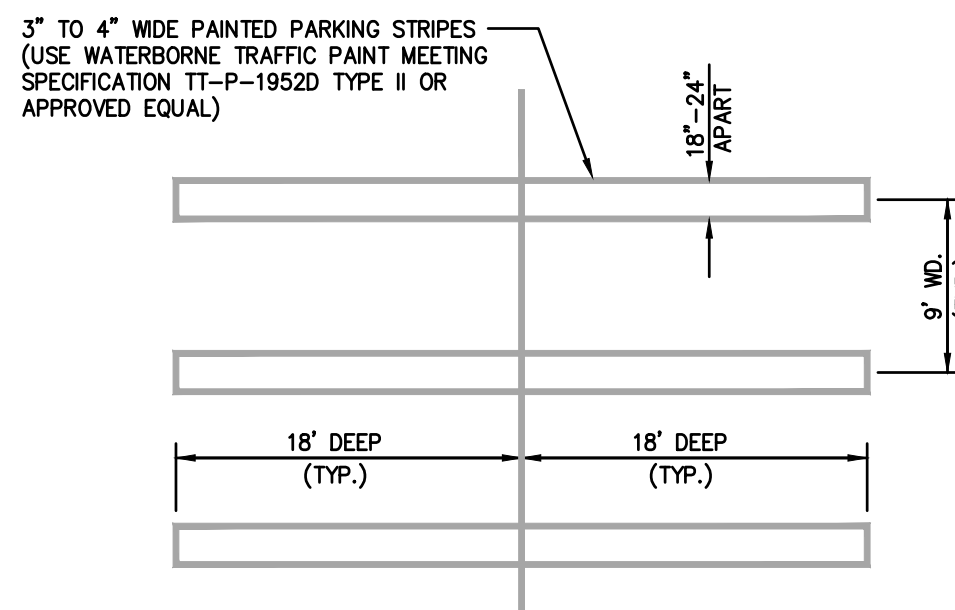
NOT TO SCALE



LIGHT POLE BASE STANDARD DETAIL

NOT TO SCALE

- NOTES:
- SEE SHEET C2.0 FOR BARRIER FREE PARKING SPACE DIMENSIONS.
 - STANDARD SPACES SHALL USE WHITE PAINT, BARRIER FREE SPACES SHALL USE BLUE PAINT.

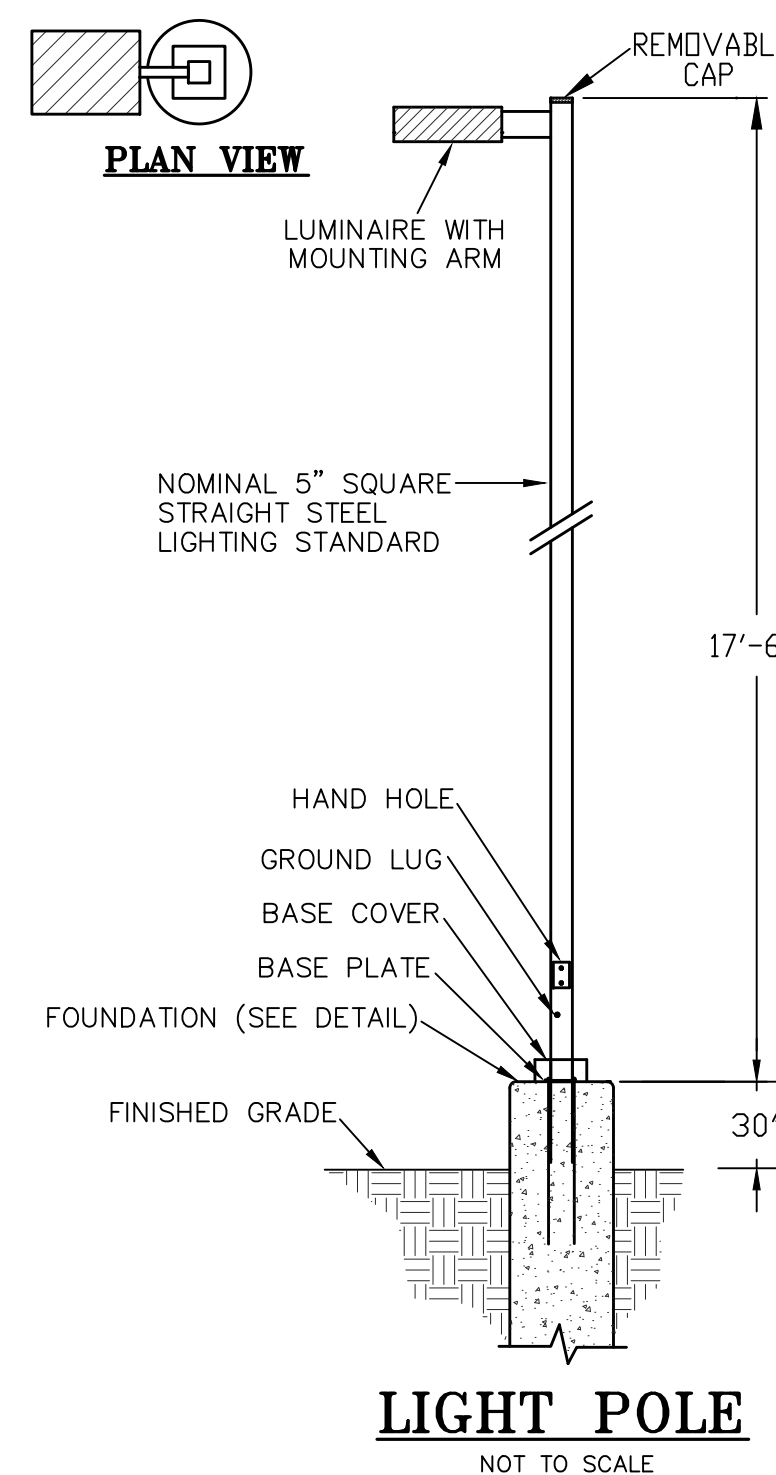


PARKING SPACE STRIPING DETAIL

NOT TO SCALE

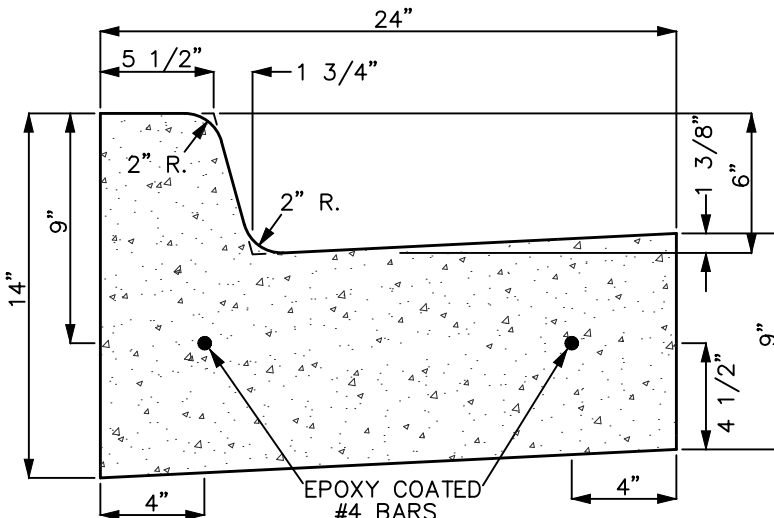
PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer. Copies of the field notes depicting the field measurements of the undercut areas shall be provided to the General Contractor and/or Earthwork Subcontractor and ALDI Inc.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 3" minimum size crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALDI Ine with unit pricing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and offsite disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



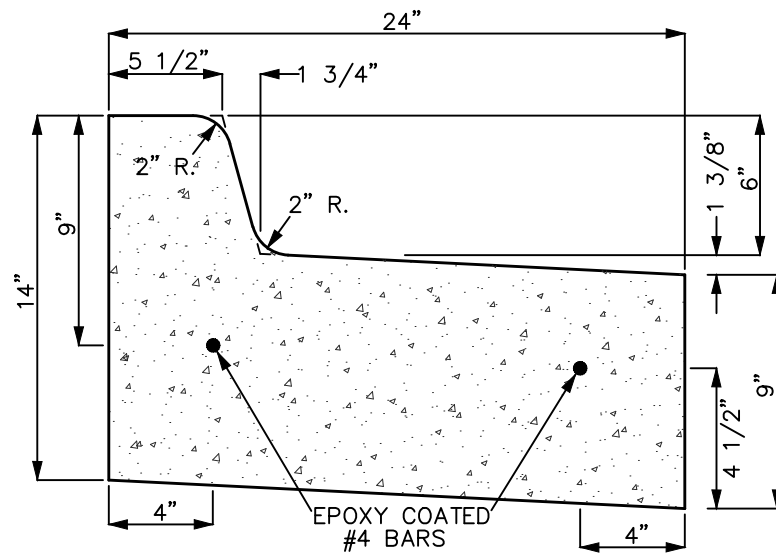
LIGHT POLE

NOT TO SCALE



MDOT TYPE F4 CURB

NOT TO SCALE

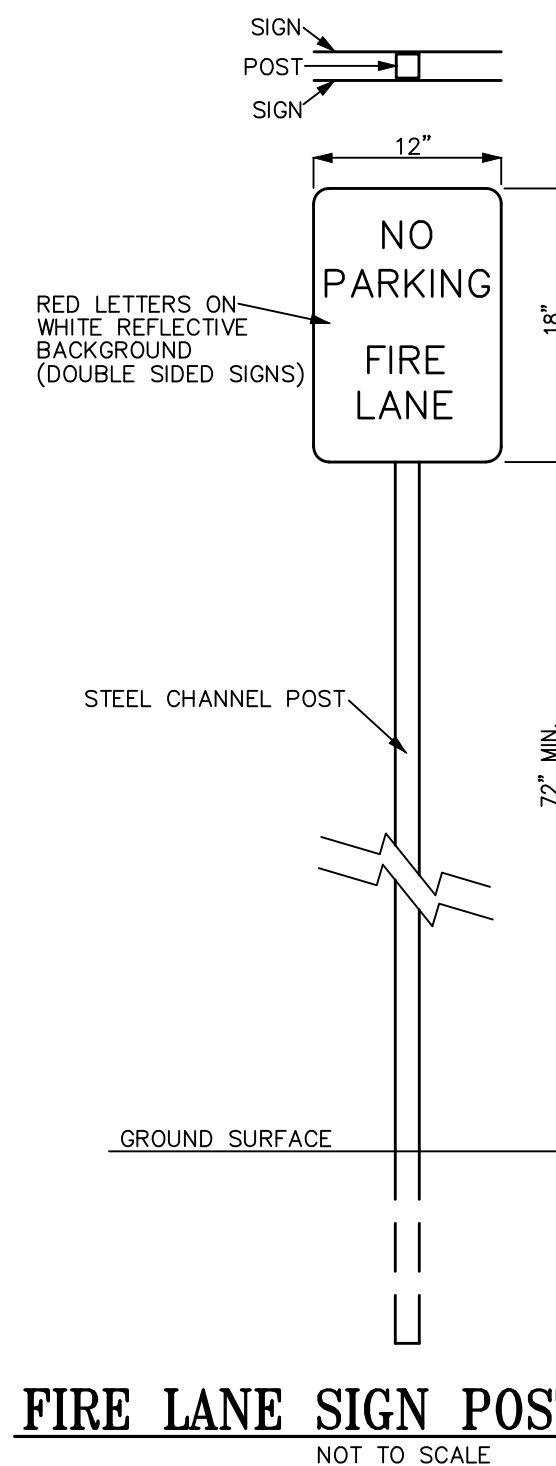


MDOT TYPE F4 CURB REVERSE PITCH

NOT TO SCALE

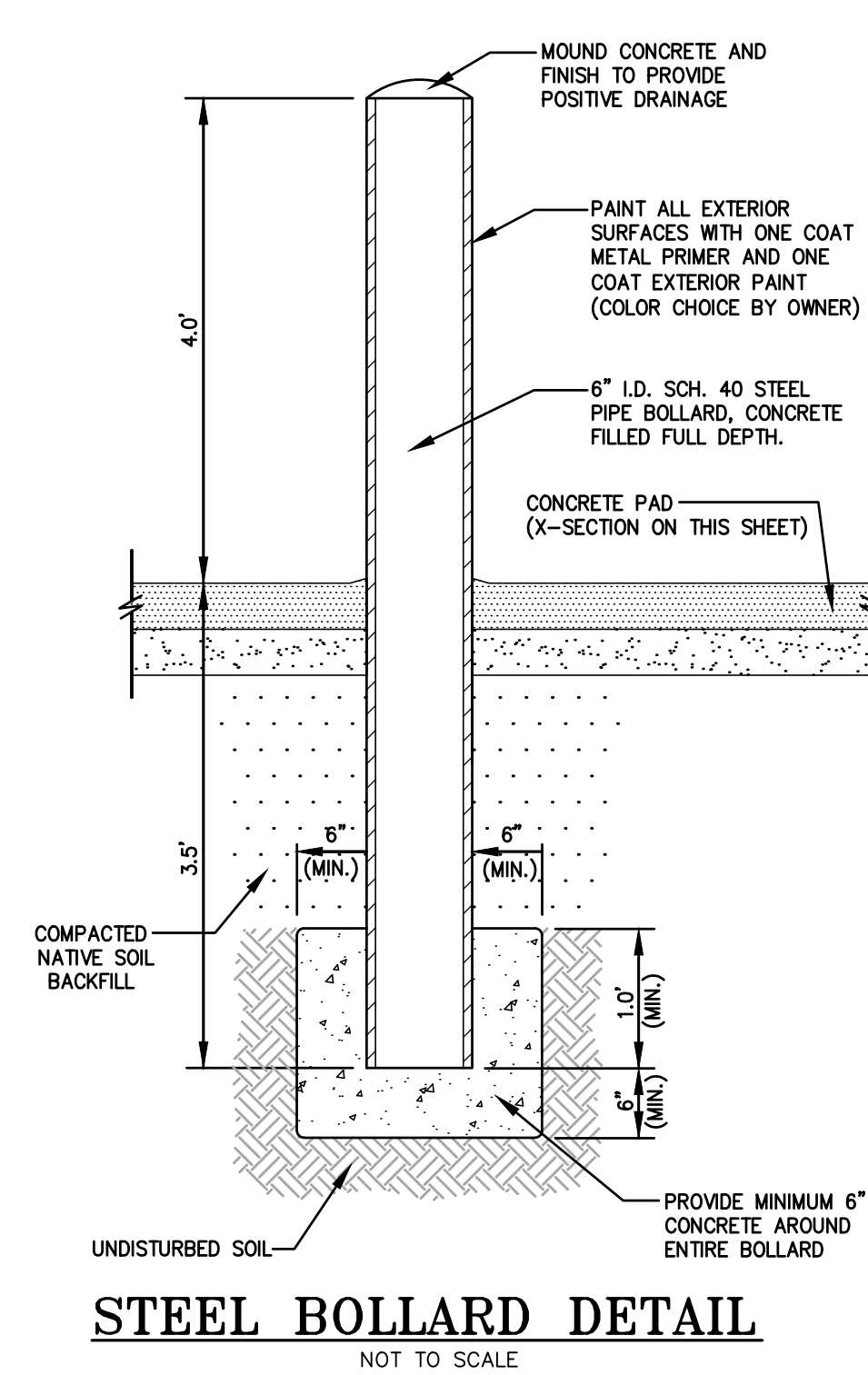
CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in concrete curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 1" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.



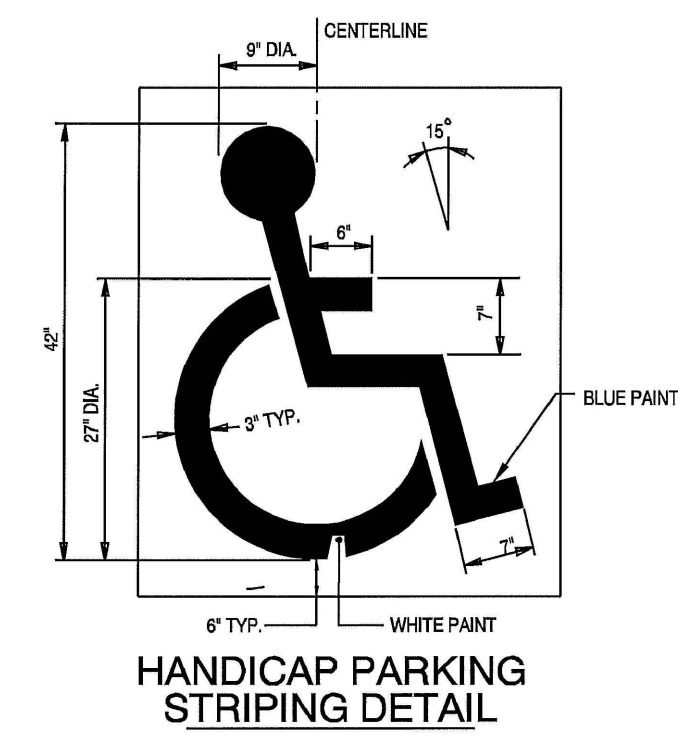
FIRE LANE SIGN POST DETAIL

NOT TO SCALE

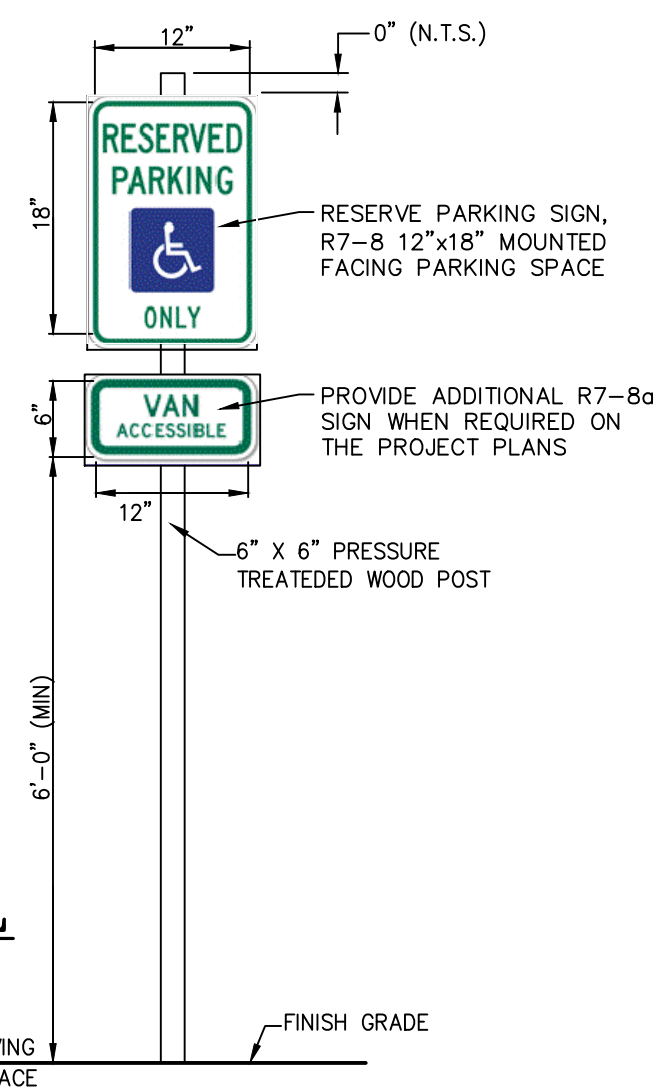


STEEL BOLLARD DETAIL

NOT TO SCALE



HANDICAP PARKING STRIPING DETAIL

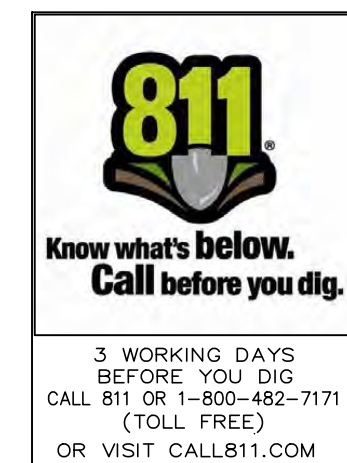


BARRIER FREE PARKING SIGN DETAIL

NOT TO SCALE

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.	1	09-21-21	REVISED PER REVIEW COMMENTS
CHECK: WMP			

REVISION #	DATE	REVISION-DESCRIPTION

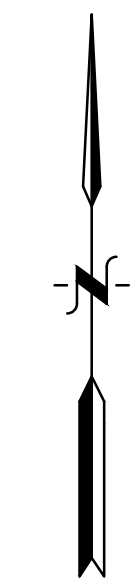
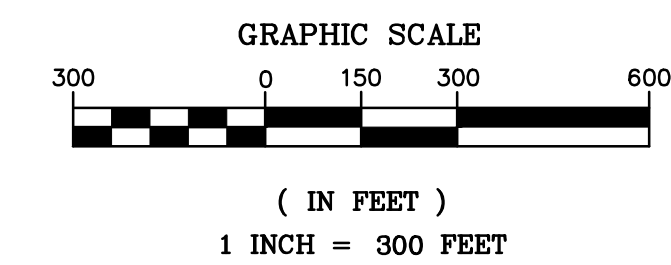
TODDIEM-VICTORY DRIVE PID

SITE IMPROVEMENT NOTES & DETAILS

CLIENT:
Net Lease Associates North, LLC
Net Lease Associates South, LLC
3888 S. CANAL ROAD
LANSING, MICHIGAN
(517) 322-0800

SCALE: N/A
PROJECT No.: 9214101
DWG NAME: 4101-DT
ISSUED: SEPT. 21, 2021

DT1



LEGEND:
 PRIMARY TRUCK ACCESS ROUTE
 SECONDARY TRUCK ACCESS ROUTE
 (FOR LOCAL AREA TRAFFIC ONLY)

DESIGN INC
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

**TODDIEM-VICTORY
 DRIVE PID**

TRANSPORTATION PLAN

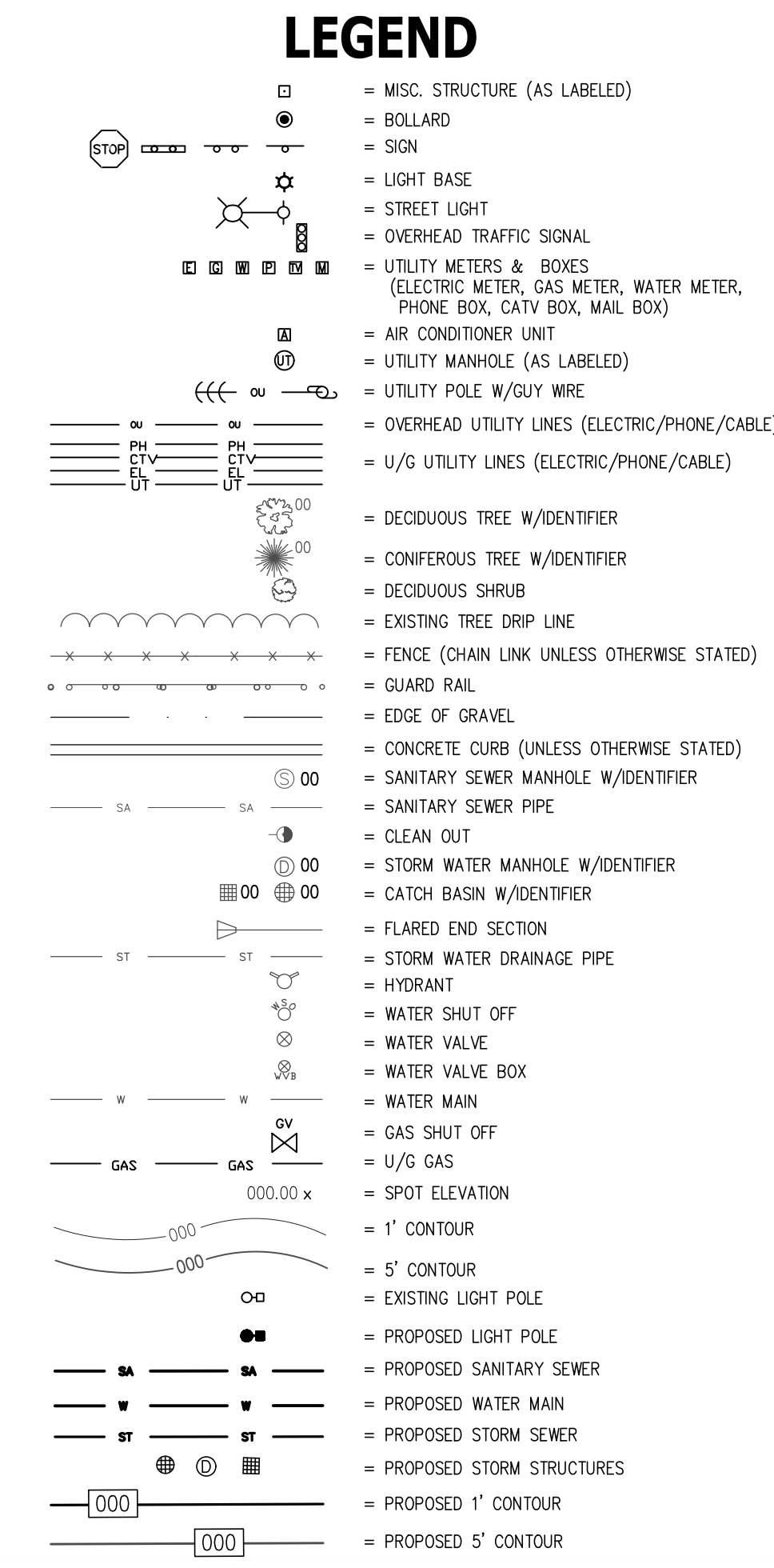
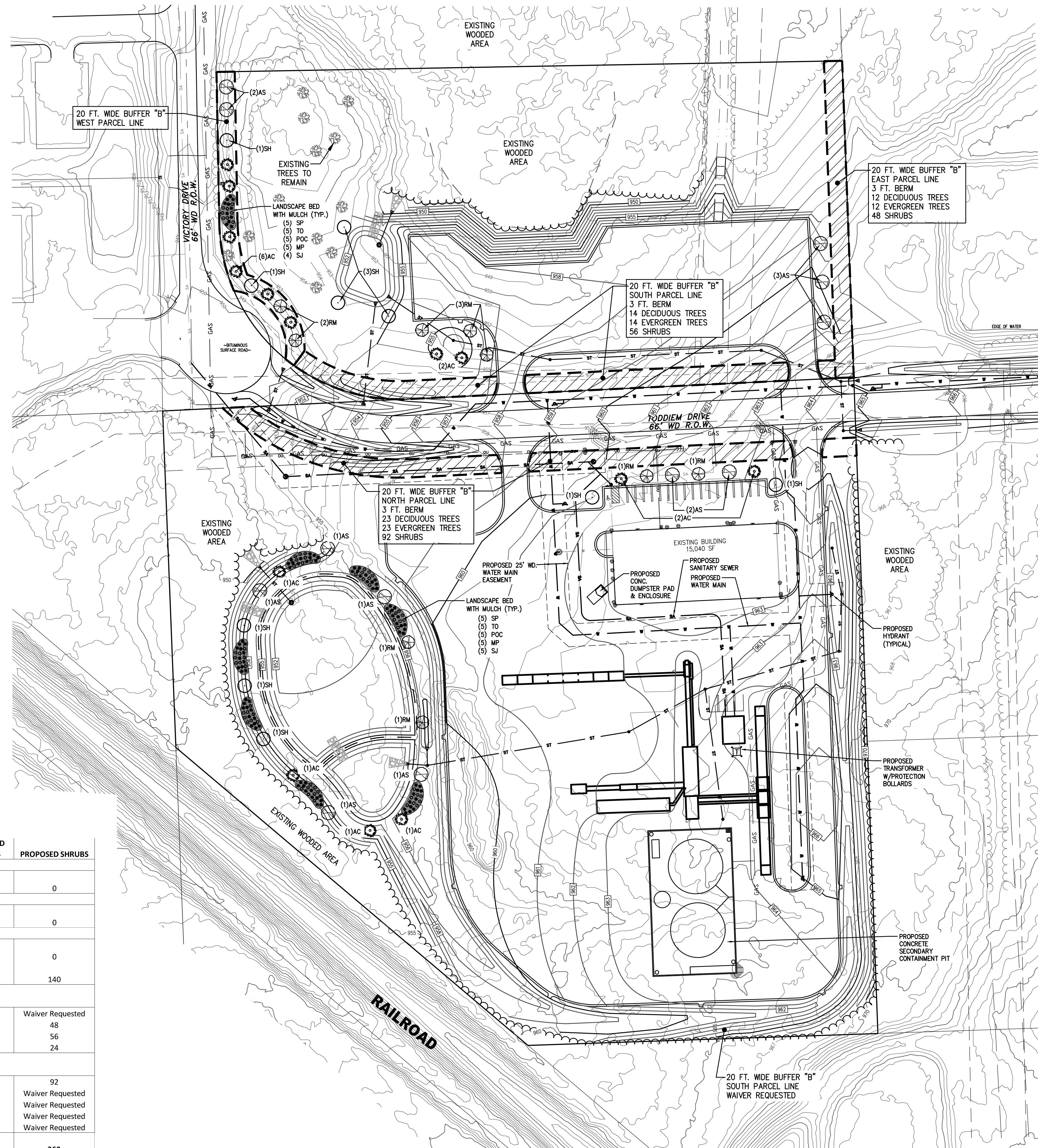
CLIENT:
 Net Lease Associates North, LLC
 & Net Lease Associates South, LLC
 3888 S. CANAL ROAD
 LANSING, MICHIGAN
 517-322-0800

SCALE: 1"=300'
 PROJECT No.: 9214101
 DWG NAME: 4101-T
 ISSUED: **SEPT. 21, 2021**

T

LANDSCAPING NOTES:

- All minimum planting sizes specified on the Project Plans shall be at the time of planting.
- All landscape materials shall be as specified on the Project Plans or approved equal. Substitutions shall not be made without prior written approval from the Project Engineer and receipt of the Owner's Authorization.
- All plant material shall be free of disease and insects and shall conform to the American Standard of Nursery Stock of the American Association of Nurserymen.
- All landscape plantings shall be planted and maintained in a healthy condition and shall be guaranteed by the Landscape Contractor and/or Supplier for a minimum period of 1 year from the time of planting. Any plantings that die or become diseased during the guarantee period shall be removed and replaced by the Landscape Contractor and/or Supplier at no cost to the Owner.
- Excavations for container or balled plantings shall be no deeper than the root ball or container and shall be at least twice the diameter of the root ball or container.
- Excavations for bare root plantings shall be no deeper than the longest roots and shall be at least twice the diameter of the root spread.
- The sides of planting excavations in heavy and/or wet soils shall be scarified with a fork, pick or shovel to eliminate glazing.
- Landscape planting backfill shall consist of a prepared mixture of peat moss, composted manure and topsoil or suitable excavated native soil material mixed with the appropriate soil conditioners that are compatible with the native soil and plant species. The type and mixture ratio of soil conditioners shall be in accordance with the Landscape Supplier's recommendations.
- The Landscape Contractor shall stake and reinforce all trees to prevent wind damage. The Landscape Contractor shall remove all tree reinforcement and stakes upon expiration of the guarantee period.

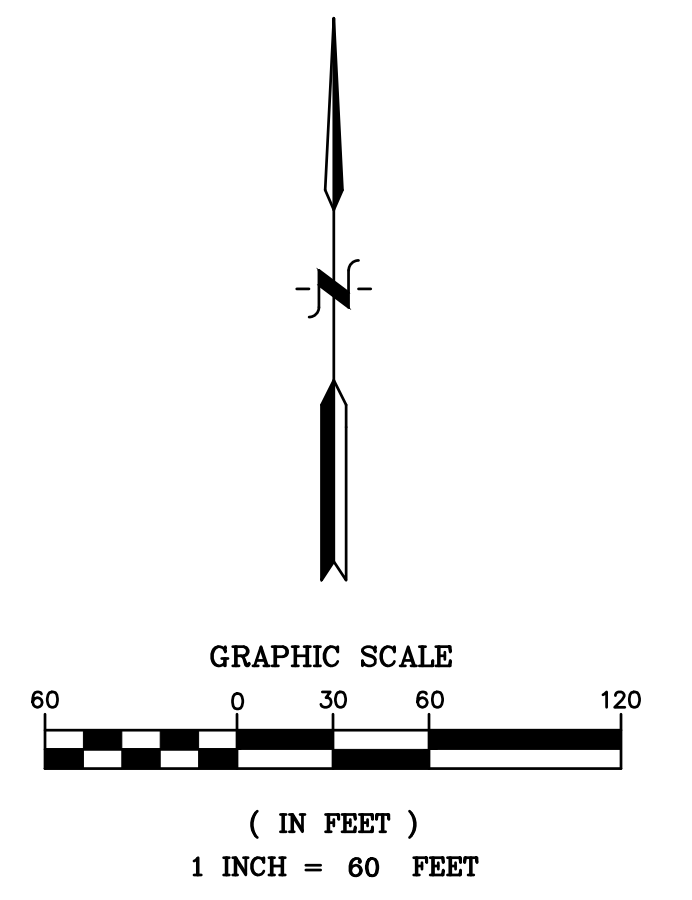


PROPOSED LANDSCAPE PLANTING LEGEND

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	ROOT
DECIDUOUS TREES					
RM	25	<i>Acer rubrum</i>	Red maple	2.5" Caliper	B & B
AS	29	<i>Acer s. 'Green Mountain'</i>	Green Mountain Sugar Maple	2.5" Caliper	B & B
SH	26	<i>Gleditsia 'Triacanthos 'Sunburst'</i>	Sunburst Honey Locust	2.5" Caliper	B & B
EVERGREEN TREES					
AC	63	<i>Abies Concolor</i>	Concolor Fir	4' Height	B & B
DECIDUOUS SHRUBS					
SP	72	<i>Syringa p. 'Miss Kim'</i>	Miss Kim Dwarf Korean Lilac	24" Height	Container
TO	72	<i>Thuja occidentalis 'Nigra'</i>	Dark Green Arborvitae	24" Height	Container
POC	72	<i>Physocarpus o. 'Coppertina'</i>	Coppertina Ninebark	24" Height	Container
MP	72	<i>Myrica pennsylvanica</i>	Northern Bayberry	24" Height	Container
SJ	72	<i>Spirea japonica 'Neon Flash'</i>	Neon Flash Spirea	24" Height	Container

TODDIEM-VICTORY DRIVE PID LANDSCAPE CALCULATIONS

CATEGORY / CALCULATION	REQUIRED TREES	EXISTING TREES	PROPOSED TREES	REQUIRED SHRUBS	PROPOSED SHRUBS
PARKING AREA (SOUTH OF TODDIEM DRIVE)					
1 TREE per 2,000 sq. ft. PAVED PARKING					
15,665 sq.ft. / 2,000 =	8	0	8	0	0
PARKING AREA (NORTH OF TODDIEM DRIVE)					
1 TREE per 2,000 sq. ft. PAVED PARKING					
21,040 sq.ft. / 2,000 =	11	0	11	0	0
DETENTION BASIN "A"					
1 TREE PER 50 LF OF BASIN PERIMETER					
696.4 lf / 50 =	14	0	14	0	0
10 SHRUBS PER 50 LF OF BASIN PERIMETER					
696.4 lf (10 / 50) =	0	0	0	140	140
NORTH PARCEL - BOUNDARY BUFFER ZONE B					
1 canopy tree, 1 evergreen & 4 shrubs per 30 LF.					
North parcel line (686.67 / 30 = 23)	46	0	Waiver Requested	92	Waiver Requested
East parcel line (347.67 / 30 = 12)	24	0	24	48	48
South parcel line (490.29 - 70 / 30 = 14)	28	0	28	56	56
West parcel line (165.97 / 30 = 6)	12	0	12	24	24
SOUTH PARCEL - BOUNDARY BUFFER ZONE B					
1 canopy tree, 1 evergreen & 4 shrubs per 30 LF.					
North parcel line (759.32 - 70 / 30 = 23)	46	0	46	92	92
East parcel line (720.64 / 30 = 24)	48	0	Waiver Requested	96	Waiver Requested
South parcel line (384.26 / 30 = 13)	26	0	Waiver Requested	52	Waiver Requested
West parcel line (369.60 / 30 = 13)	26	0	Waiver Requested	52	Waiver Requested
Southwest parcel line (506.18 / 30 = 17)	34	0	Waiver Requested	68	Waiver Requested
TOTALS =	323	0	143	720	360



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DESIGN INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.	1	09-21-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

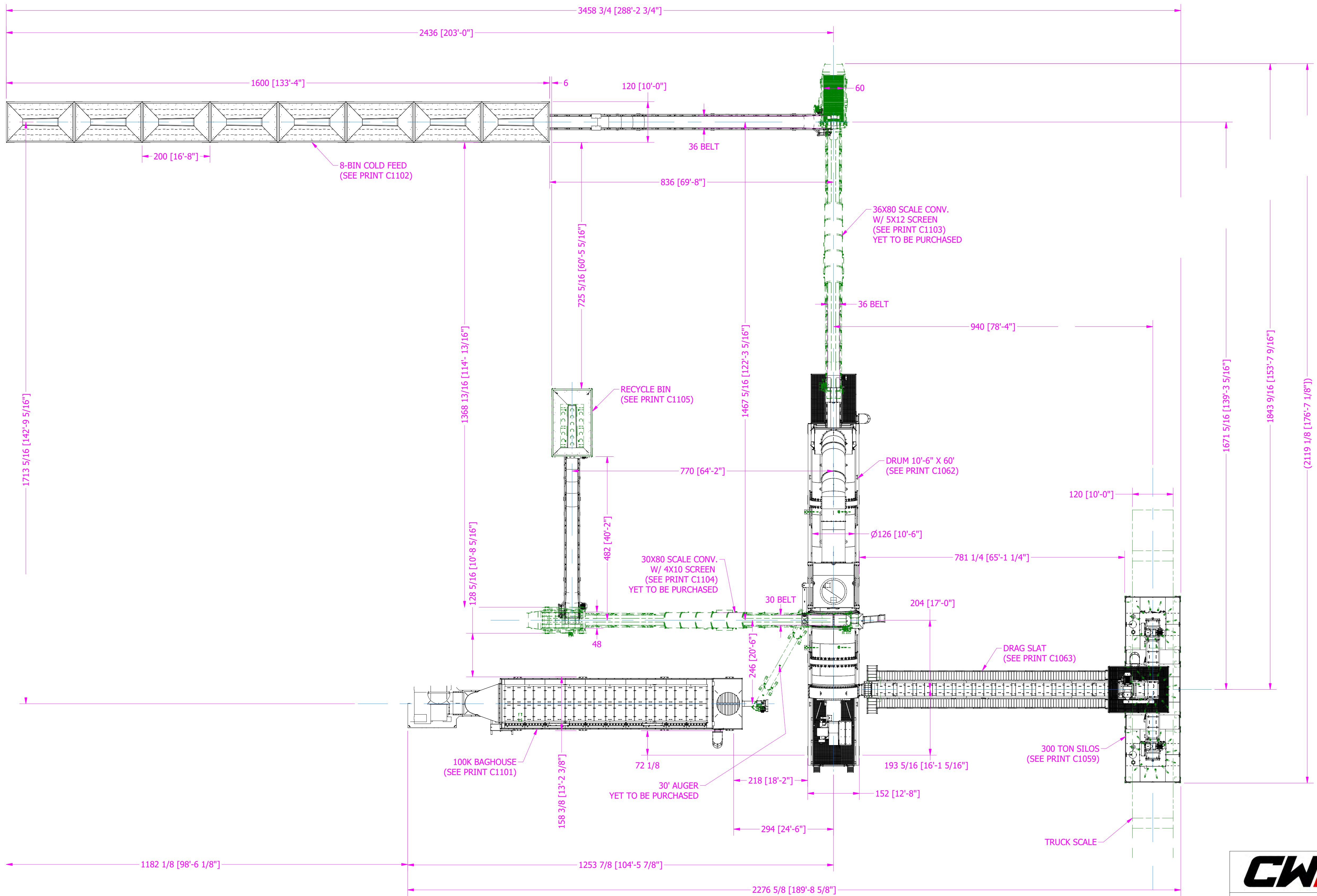
TODDIEM-VICTORY DRIVE PID

LANDSCAPE PLAN

CLIENT:
Net Lease Associates North, LLC
Net Lease Associates South, LLC
3888 S. CANAL ROAD
LANSING, MICHIGAN
517-322-0800

SCALE: 1"=60'
PROJECT No.: 9214101
DWG NAME: 4101-LA
ISSUED: SEPT. 21, 2021





		CWMF CORPORATION 701 JULEP ROAD WAITE PARK, MN 56387-1863 PHONE (320) 251-1306	
		DESCRIPTION STATIONARY PLANT 500 TPH LAYOUT CAPITAL ASPHALT	
TOLERANCES UNLESS OTHERWISE SPECIFIED FABRICATING: ± 1/16" MACHINING: ± 0.015" FRACTION: ± 1/16" ANGLE: ± 1/2° DO NOT SCALE DRAWING	DRAWN RJJ DATE 2/15/2021 MASS 802889.4 lbmass	SIZE D	DWG NO C1040
NOTICE THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO CWMF CORP. AND SHALL NOT BE REPRODUCED OR DISCLOSED IN WHOLE OR IN PART, NOR USED FOR ANY DESIGN OR MANUFACTURING PURPOSE UNLESS AUTHORIZED IN WRITING BY CWMF CORP.		REV	



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Township Manager
DATE: December 28, 2021
RE: **Community Bible Church Parking Expansion – 7372 Grand River, Brighton**

MANAGER’S REVIEW: 

This project involves construction of a 73-space parking lot expansion. The impact assessment was recommended for approval and the site plan was approved by the Planning Commission on December 13, 2021. Based on the conditions established by the Planning Commission, I offer the following motion for your consideration:

Moved by _____, support by _____ to approve the environmental impact assessment dated November 22, 2021 with the condition that all requirements of the Planning Commission motion be satisfied.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter
Assistant Township Manager/Community Development Director

SUPERVISOR
Bill Rogers
CLERK
Paulette A. Skolarus
TREASURER
Robin L. Hunt
TRUSTEES
Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe
MANAGER
Michael C. Archinal

NEW BUSINESS:

OPEN PUBLIC HEARING # 2... Review of an environmental impact assessment and site plan for a proposed 73-space parking lot on the west side of the site located at 7372 Grand River, Brighton for Community Bible Church. The request is petitioned by Community Bible Church.

- A. Recommendation of Environmental Impact Assessment (11-22-21)
- B. Disposition of Site Plan (11-22-21)

Mr. Scott Tousignant of Boss Engineering and Pastor Chip from Community Bible Church were present. Mr. Tousignant reviewed the proposed project. The additional parking is needed to accommodate the increase in petitioners as well as additional volunteers for the accessory programs at the church. He noted that this future parking expansion was proposed when the previous church expansion was done.

Mr. Borden reviewed his letter dated December 8, 2021.

- The excess parking proposed requires Planning Commission approval in accordance with Section 14.02.06.
- The applicant must provide evidence supporting the need for excess parking, which Mr. Tousignant detailed this evening.
- If any existing plantings are in poor condition, they should be removed and replaced as part of this project. The applicant is agreeable to this condition.
- The applicant must address any comments provided by the Township's engineering consultant and/or the Brighton Area Fire Authority.

Ms. Byrne stated she has no concerns with the proposal.

The Fire Marshal's letter dated November 30, 2021 states:

- Existing access roads to the site shall be maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds.

The call to the public was made at 8:44 pm with no response.

Commissioner Rauch stated that for this use, this request is very reasonable. It is a common need for churches.

Moved by Commissioner Rauch, seconded by Commissioner Mortensen, to recommend to the Township Board approval of the Environmental Impact Assessment dated November 22, 2021 for a proposed 73-space parking lot on the west side of the site located at 7372 Grand River for Brighton for Community Bible Church. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner McCreary, to approve the Site Plan dated November 22, 2021 for a proposed 73-space parking lot on the west side of the site located at 7372 Grand River, Brighton for Community Bible Church, conditioned upon the following:

- Landscaping from both this and the previously approved site plan must meet the Township requirements.

The motion carried unanimously.

OPEN PUBLIC HEARING # 3...Review of a special use application, environmental impact assessment and site plan for a proposed Place of Worship (Prayer Campus) with outdoor uses including Stations of the Cross, a mural wall with altar, prayer trails, religious landscape/garden statues, a 352 sq. ft. utility building and related driveways and parking. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (11-22-21)
- C. Recommendation of Site Plan (11-22-21)

Mr. Scott Tousignant from Boss Engineering, Mr. Jere Palazzolo, the applicant, and Mr. Robert Muise from American Freedom Law Center were present.

Mr. Tousignant provided a review of the property and the revised project. The primary difference is the removal of the chapel. They are proposing a commercial driveway leading to a 39 parking space parking lot, and a shed. The property will be used for patrons to utilize the trails through the woods on the site. There will be minimal impacts to the site. They will be removing some shrubs and three trees. They will not be impacting the wetlands. The proposed parking lot and maintenance shed will be set back from Chilson Road.

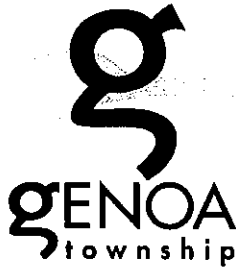
This project does not include the chapel so there will be no restroom facilities. Port-a-johns will be utilized and maintained. They will be abandoning the well for drinking water; however, it will be adapted for use for irrigation on the site.

While they will not be having the chapel, they would like to install the parking spaces. Without the chapel, they based the traffic generation on a park and they believe that the 39 spaces would be appropriate.

Mr. Borden stated that in accordance with Section 19.07 of the Zoning Ordinance, the Township may view the removal of a chapel building as a change in conditions. However, the current request indicates that use of the property will be quite similar to the project previously denied. Applications that have been denied wholly or in part shall not be resubmitted for a period of one (1) year from the date of denial, except on the grounds of new evidence or proof of changed conditions relating to all of the reasons noted for the denial found to be valid by the Township Board.

Ms. VanMarter stated that when she reviewed the initial proposal, she viewed it as less intense and more of a park; however, in looking at additional information submitted with the revised proposal, they are now proposing to have ordinary outdoor services not more than weekly, in addition to the large special events which will now be outdoors.

Mr. Muise stated there is another component to this being requested again. In a current lawsuit between the Township and Catholic Healthcare International they are not able to use this



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Community Bible Church, 7372 Grand River Ave, Brighton, MI 48114
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Community Bible Church, 7372 Grand River Ave, Brighton, MI 48114

SITE ADDRESS: 7372 Grand River Ave, Brighton, MI 48114 PARCEL #(s): 4711-13-300-055

APPLICANT PHONE: (810) 227-2255 OWNER PHONE: (810) 227-2255

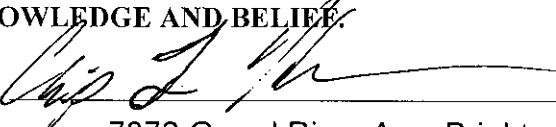
OWNER EMAIL: chip@communitybible.net

LOCATION AND BRIEF DESCRIPTION OF SITE: This is the site of Community Bible Church which
is on the south side of Grand River Avenue between Euler Rd and Genoa Business Park.

BRIEF STATEMENT OF PROPOSED USE: Site will continue to function as Community Bible
Church. Project proposes a parking lot expansion to accommodate church growth.

THE FOLLOWING BUILDINGS ARE PROPOSED: No buildings are proposed as part of this project.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: 

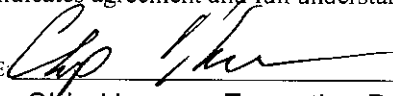
ADDRESS: 7372 Grand River Ave, Brighton, MI 48114

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott Tousignant, P.E. of Boss Engineering at scottt@bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE  DATE: 11/17/21
PRINT NAME: Chip Herrera, Executive Pastor PHONE: 810-227-2255
ADDRESS: 7372 Grand River Ave, Brighton, MI 48114

December 8, 2021

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Community Bible Church – Site Plan Review #1
Location:	7372 Grand River Avenue – southwest corner of Grand River and Harte Drive
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from Community Bible Church requesting site plan review/approval for a parking lot expansion (plans dated 11/22/21).

A. Summary

1. The excess parking proposed requires Planning Commission approval in accordance with Section 14.02.06.
2. The applicant must provide evidence supporting the need for excess parking.
3. If any existing plantings are in poor condition, they should be removed and replaced as part of this project.
4. The applicant must address any comments provided by the Township’s engineering consultant and/or the Brighton Area Fire Authority.

B. Proposal/Process

The applicant proposes construction of a new 73-space parking lot on the west side of the site.

The proposed parking lot expansion is identified on the site plan as “Lot D” and includes vehicular connection to the existing parking lot and main drive aisles, as well as new lighting and landscaping.

Per Section 18.02, parking lot expansions of more than 5 new spaces requires site plan review by the Planning Commission.

As such, the Planning Commission has approval authority over the site plan, while a recommendation to the Township Board is needed for the Environmental Impact Assessment.



Aerial view of site and surroundings (looking north; prior to recent remodel/expansion)

C. Site Plan Review

- 1. Dimensional Requirements.** Given the nature of the proposal, the only GCD dimensional requirements that apply are parking lot setbacks and impervious surface lot coverage.

Required setbacks are met, including the 25-foot natural features setback from the nearby wetland.

Sheet C3 includes calculations noting compliant impervious surface lot coverage.

- 2. Vehicular Circulation.** The new parking lot includes compliant drive aisle widths.

The applicant must address any comments provided by the Township’s engineering consultant or the Brighton Area Fire Authority with respect to vehicular circulation.

- 3. Parking.** The parking lot has been reviewed for compliance with the standards of Article 14, as follows:

	Required	Proposed	Comments
Parking Spaces Churches and similar places of worship (1 space for each 3 seats in the main unit of worship)	203	212 existing 73 proposed 285 total	14.02.06 requires PC approval for parking above 120% of the minimum requirement. Proposal entails 140%. Applicant must submit evidence demonstrating the need for excess parking.
Barrier Free Spaces	8	8 existing	In compliance
Dimensions Spaces (75 to 90-degree) Drive aisle width (two-way)	9’ x 18’ 24’	9’ x 18’ 24’ (minimum)	In compliance In compliance
Construction	Looped striping Curbing on all sides	Looped striping Curbing around proposed lot	In compliance In compliance

4. **Exterior Lighting.** There are 3 light poles in the proposed parking lot.

Details note the use of shielded, downward directed LED fixtures mounted at a height of 20'. The photometric plan notes compliant intensities both on-site, and along property lines.

5. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Parking lot (development area only)	5 canopy trees 490 SF landscaped area	5 canopy trees 500+ SF landscaped area	In compliance

The plan also provides 14 new shrubs along the front of the building near Harte Drive.


Lastly, if any existing plantings are in poor condition, they should be removed and replaced as part of this project (if approved).

6. **Impact Assessment.** The submittal includes an Environmental Impact Assessment dated November 22, 2021.

In summary, the Assessment states that the proposed parking lot expansion is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT


Brian V. Borden, AICP
Michigan Planning Manager

December 8, 2021

Mrs. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Community Bible Parking Lot Addition
Site Plan Review No. 1**

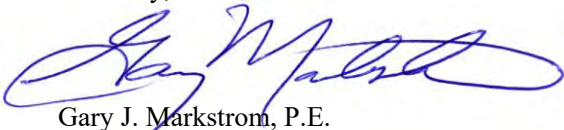
Dear Mrs. Van Marter:

Tetra Tech conducted a review of the proposed Community Bible Parking Lot Addition site plan last dated November 22, 2021. The plans and impact assessment were submitted by Boss Engineering on behalf of Community Bible Church. The site is on a 9.24-acre parcel located on the south side of Grand River Avenue, just west of Harte Drive. The site includes an existing church and the Petitioner is proposing a parking addition to their existing parking lot.

The proposed parking lot meets Township standards and the existing detention basin and storm sewer on site were designed for the full build out of the site, including future building additions and parking. Therefore, we have no engineering related concern to the proposed parking expansion.

Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Byrne
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

November 30, 2021

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Community Bible Church - Parking Lot Addition
7372 Grand River Road
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on November 24, 2021 and the drawings are dated November 22, 2021. The project is based on the site lateration to accommodate additional parking. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. Existing access roads to the site shall be maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds.

IFC D 102.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

**IMPACT ASSESSMENT
FOR
SITE PLAN PETITION
"COMMUNITY BIBLE CHURCH – PARKING LOT EXPANSION"
GENOA TOWNSHIP, LIVINGSTON COUNTY
MICHIGAN**

Prepared for:

**COMMUNITY BIBLE CHURCH
7372 GRAND RIVER
BRIGHTON, MICHIGAN 48114
(810) 227-2255**

Prepared by:

**BOSS ENGINEERING COMPANY
3121 E. GRAND RIVER
HOWELL, MI 48843
(517) 546-4836**

November 22, 2021

14-047-7 EIA

INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

DISCUSSION ITEMS

A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.

Prepared By :
Scott Tousignant, P.E.
BOSS ENGINEERING COMPANY
Civil Engineers, Land Surveyors, Landscape Architects and Planners
3121 E. Grand River
Howell, MI 48843
(517) 546-4836

Prepared For :
Community Bible Church
7372 Grand River
Brighton, MI 48114
(810) 227-2255

B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

The 9.24 acre site is located on the south side of Grand River immediately west of Harte Dr and across from Euler Rd. The subject property is currently the Community Bible Church Facility. There is the existing Church building, paved parking lots, and detention basin. The south end of the property contains a natural area with shrub/scrub vegetation and a wetland. There is an established tree row along Harte Dr just off of the east side of the subject property.

C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Resources utilized to study the natural features of the site included an on-site visit, aerial photos from Google Earth, a web soil survey prepared by the USDA, Wetlands Inventory Maps prepared by the MDEQ as well as resources prepared by the Huron River Watershed Council and other Livingston County Natural resources agencies.

The entire northern portion of the property is the newly constructed church facility with all associated parking, sidewalks, and utility infrastructure. The developed site slopes north to south and is served by a stormwater sewer system and detention basin that was constructed as part of the church expansion in 2020.

The soils on site consist of loam, loamy sand and muck. The soils shown on the USDA map are consistent with the field assessment of the upland and low land areas found on site. The land cover identified in the field is also consistent with the soils which consist of impervious surface, compacted lawn area, wetland and wooded shrub scrub areas. Given that the site has already been developed to accommodate the future parking that is now proposed, there will not be any tree removal nor any natural features disturbance. Stormwater for all future impervious surfaces had been accounted for in the design and construction of the storm water management system.

D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.

Topography on the site ranges from a low of 961.81 at the wetland edge to a high of 992.54 at the north central portion of the property near Grand River Avenue. The property is undulating, but largely drains from the north to the south toward a wetland system that extends off the property.

The land cover found in the field consisted of three different types; impervious surface (parking lot, building), wetland, wooded/lawn area including shrub scrub.

The existing storm system has been designed to accommodate the church facility that was constructed in 2020 as well all future parking lot and building expansions that were anticipated. The proposed parking lot was one of the indicated future impervious surfaces and thus has been accommodated in the stormwater calculations.

Soil erosion measures will be utilized throughout the construction process to reduce the risk of erosion and sedimentation. This will be accomplished through the use of silt sacks placed in catch basins, and silt fence installed along the perimeter of the disturbed area.

E. Impact on surrounding land use: Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

As previously stated the site is the current home of Community Bible Church. The use of the site conforms with development patterns of the surrounding area and will feature an expansion of the existing parking lot.

In general, the site will see an increase in use due to the expansion of the parking. The new parking lot will be illuminated but will have no adverse impacts on adjacent properties as the lighting will be provided to meet Township Ordinance.

F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The new parking lot is proposed to accommodate the growth the Church has seen since the expansion of its facility in 2020. Additional parking spaces will alleviate some pressure on the parking lot particularly between the two Sunday services as people come and go. The new parking lot does not impact local school districts, or other public services.

G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post development flows shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The existing Church is currently served by M.H.O.G public water and Genoa Township public sanitary sewer. Given the use of the building and peak usage times being Sunday mornings the impact on sanitary and water is anticipated to be minimal. The sites drainage is controlled via a storm sewer system and detention basin that was installed as part of the church expansion project in 2020.

H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There will be no hazardous materials used or disposed of on this site.

I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets

The site area is under 10 acres and thus a traffic study is not required.

The site is serviced by a 5-lane road which includes a left turn lane. There are two points of ingress/egress for the site; one direct on Grand River and the other to Harte Drive (which connects to Grand River).

J. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.

None.

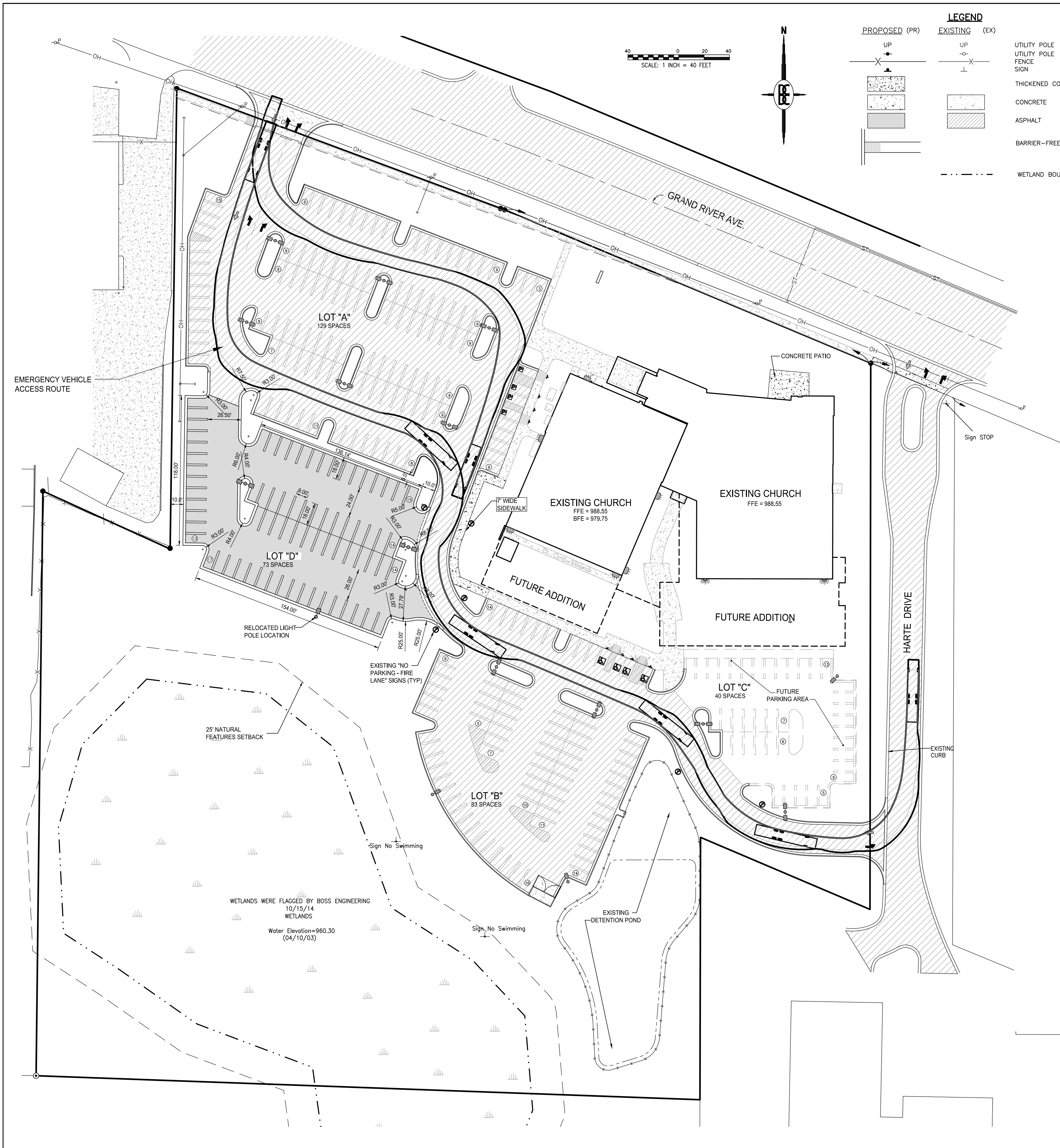
K. A list of all sources shall be provided.

Genoa Township's *Submittal Requirements For Impact Assessment*

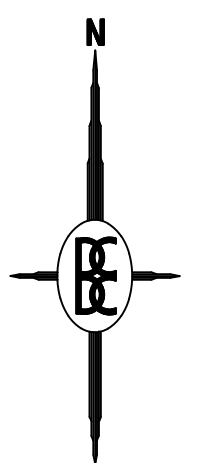
Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

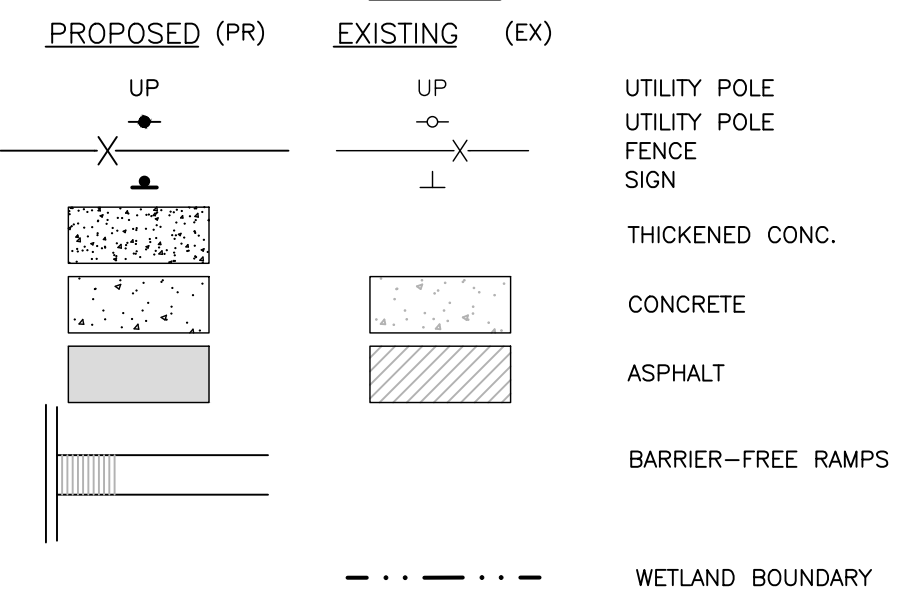
National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service



SCALE: 1 INCH = 40 FEET



LEGEND



SITE/BUILDING DATA

PARCEL SIZE:	9.24 AC.
EXISTING ZONING:	GENERAL COMMERCIAL DISTRICT
PROPOSED USE:	CHURCH
REQUIRED FRONT SETBACK:	70 FT. (35 FT IF NO PARKING IN FRONT YARD)
PROPOSED FRONT SETBACK:	EXISTING - 35.06 FT.
REQUIRED SIDE SETBACK:	15 FT.
PROPOSED SIDE SETBACK:	EXISTING - 28.80 FT.
REQUIRED REAR SETBACK:	50 FT.
PROPOSED REAR SETBACK:	EXISTING - 203.84 FT.
PARKING LOT SETBACK:	20.00 FT., 10.00 FT.(SIDE/REAR)
PROPOSED PARKING SETBACK:	10.00 FT. (SIDE)
MAX. LOT COVERAGE:	35% BUILDING 75% IMPERVIOUS
BUILDING FOOTPRINT:	
EXISTING CHURCH:	31,212 S.F.(7.75%)
IMPERVIOUS COVERAGE:	
CHURCH BUILDING:	31,212 S.F.
EXISTING PAVING:	96,800 S.F.
PROPOSED PAVING:	23,101 S.F.
TOTAL:	151,113 S.F. (37.54%)
TOTAL (W/ FUTURE PAVING):	178,759 S.F. (44.41%) (TOTAL SITE BUILD-OUT)

PARKING DATA

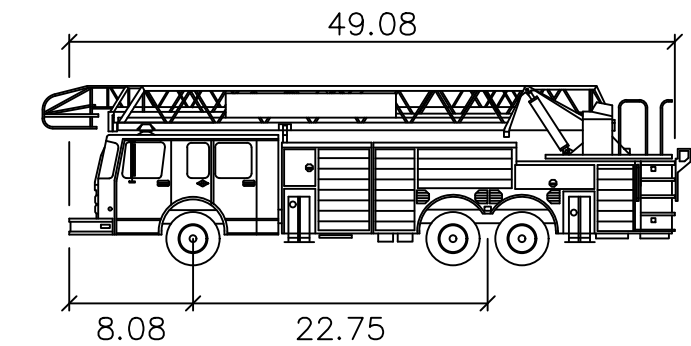
PARKING REQUIRED:	1 SPACE FOR EACH 3 SEATS IN MAIN WORSHIP AREA 601 SEATS / 3 SEATS PER SPACE = 201 SPACES 201-300 SPACES REQUIRES 7 BARRIER-FREE SPACES 301-400 SPACES REQUIRES 8 BARRIER-FREE SPACES
EXISTING PARKING:	217 SPACES (INCLUDING 8 BARRIER-FREE SPACES)
PROPOSED PARKING:	68 SPACES
FUTURE PARKING:	40 SPACES

GENERAL NOTES

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL MEET LOCAL MUNICIPALITY ORDINANCE REQUIREMENTS.
- ACCESS ROADS TO SITE SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION. ACCESS ROADS SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS OF 75,000 POUNDS.
- DELIVERIES SHALL NOT OCCUR ON SUNDAYS DURING SERVICE TIMES TO AVOID TRAFFIC CONFLICTS.

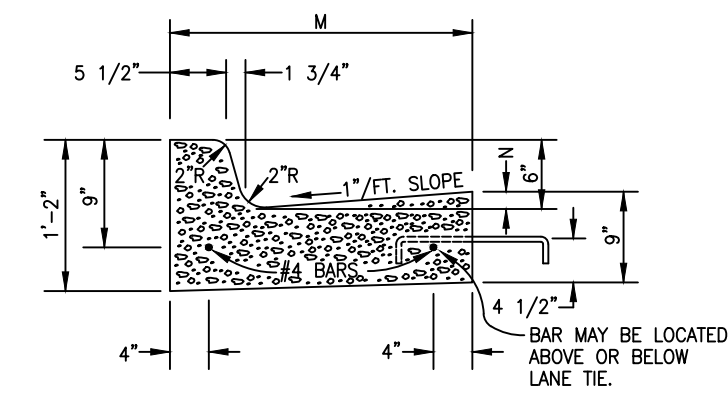
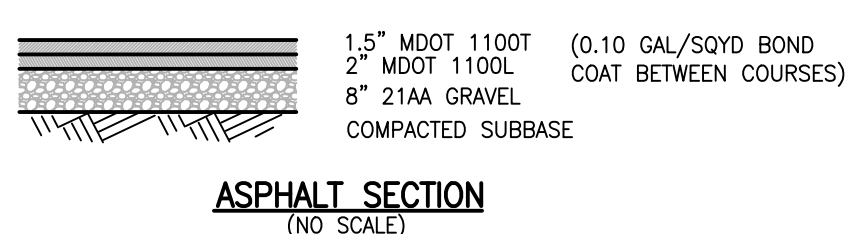
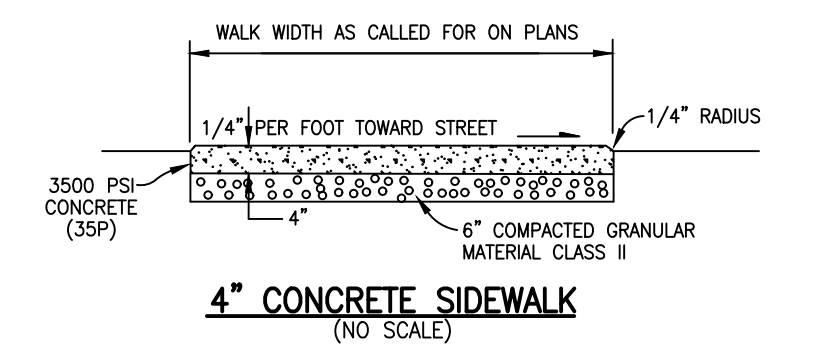
BEFORE YOU DIG
CALL MISS DIG
1-800-4-A-DIG
A MESSAGE FROM
THE MICHIGAN DEPARTMENT OF TRANSPORTATION
SHOWING THE LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ANY UTILITIES APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH THE PLAN.

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670



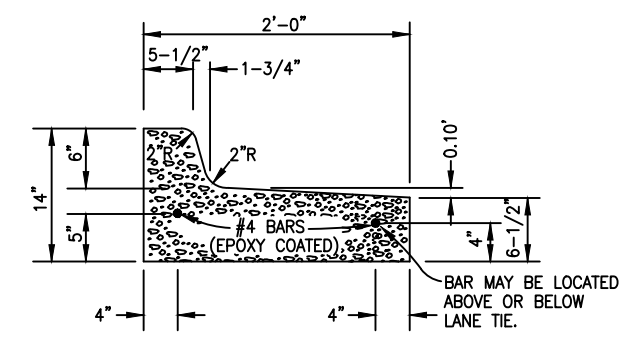
Genoa Fire Truck feet

Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.00
Steering Angle	: 32.00

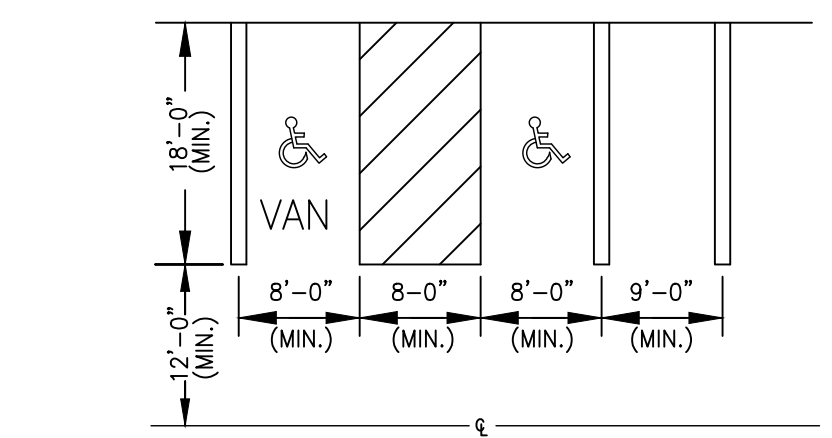


DETAIL	DIMENSIONS	LANE TIES	CONCRETE CURED/LIN.F.T.
F1	1'-8"	2/8" AS SHOWN	0.0484
F2	1'-8"	2/8" OMITTED	0.0484
F3	1'-8"	1/2" AS SHOWN	0.0610
F4	2'-0"	1 3/8" OMITTED	0.0610
F5	2'-8"	2/8" AS SHOWN	0.0117
F6	3'-8"	1 3/8" OMITTED	0.0259

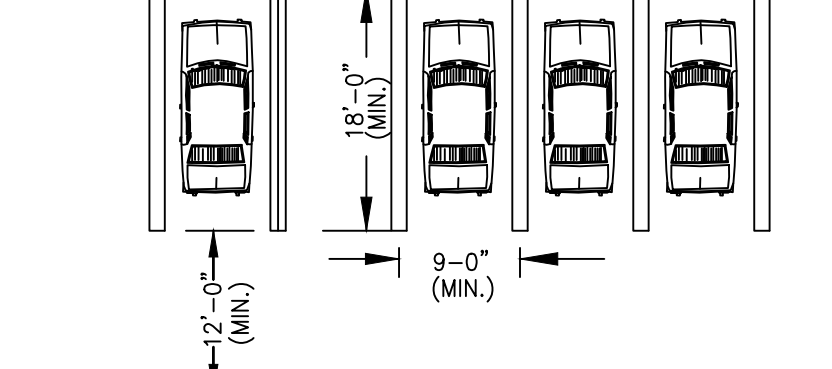
CONCRETE CURB & GUTTER TYPE F
(NO SCALE)



MODIFIED BARRIER (M.D.O.T. TYPE F4)
(NO SCALE)



TYPICAL BARRIER FREE PARKING SPACE
(NO SCALE)



TYPICAL PARKING SPACE
(NO SCALE)

PROJECT: COMMUNITY BIBLE CHURCH PARKING LOT

COMMUNITY BIBLE CHURCH
7372 GRAND RIVER AVENUE
BRIGHTON, MI. 48114
810-227-2255

SITE PLAN

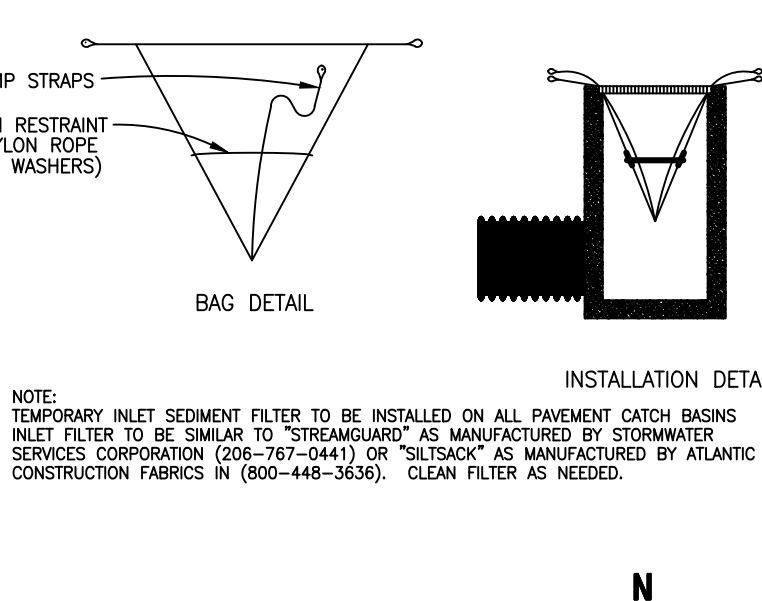
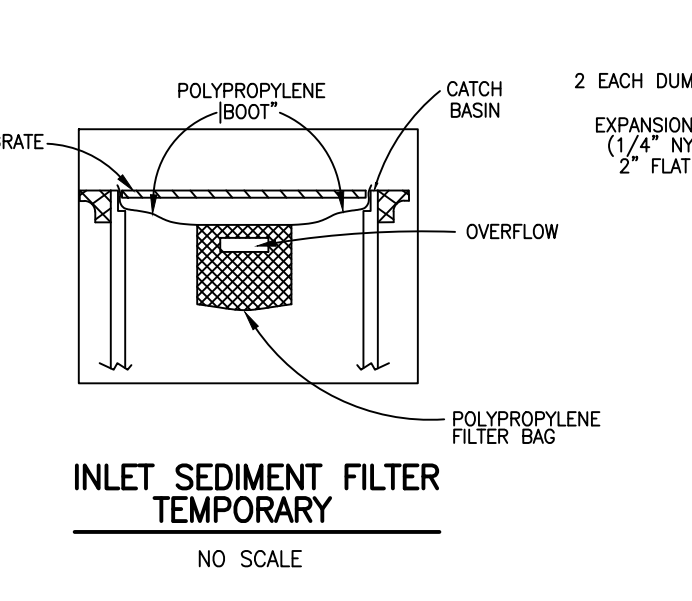
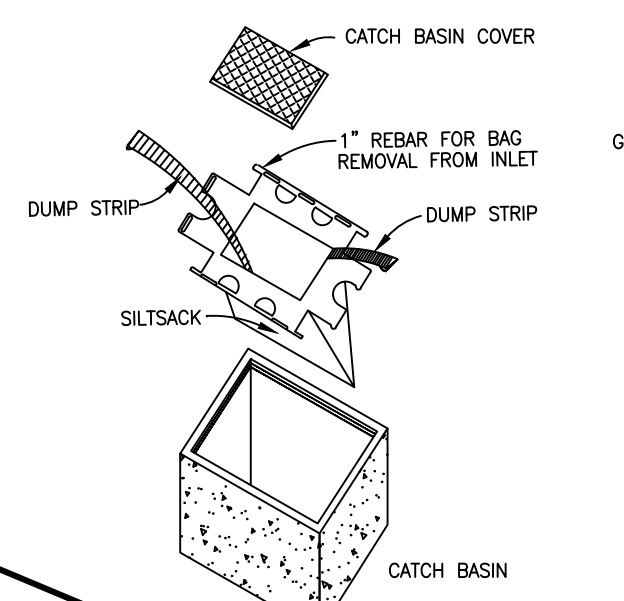
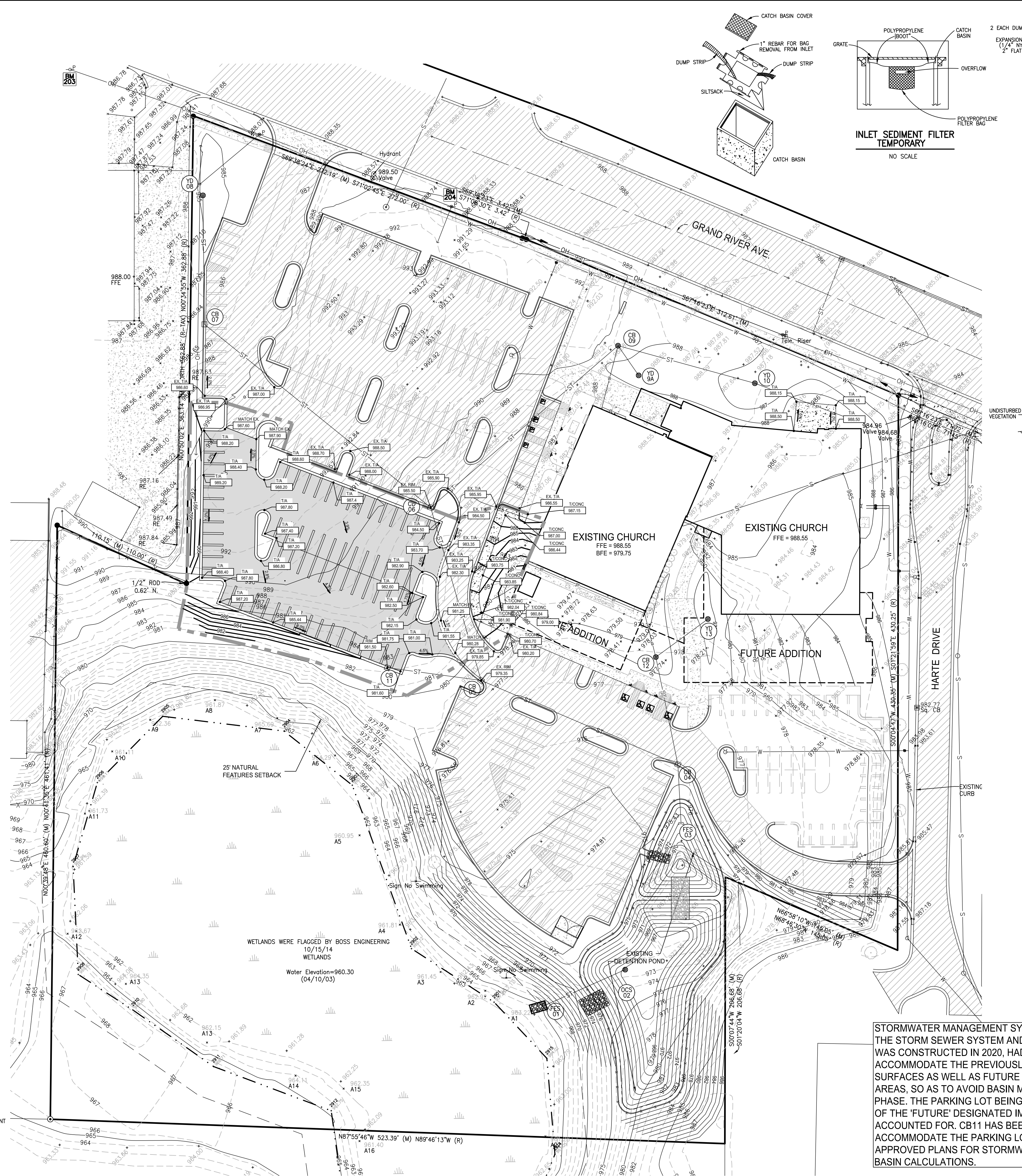
NO.	BY	REVISION	PER	DATE

DESIGNED BY: ST
DRAWN BY: ST
CHECKED BY:
SCALE: 1" = 40'
JOB NO. 14-047-7
DATE: 11/22/21
SHEET NO. C3



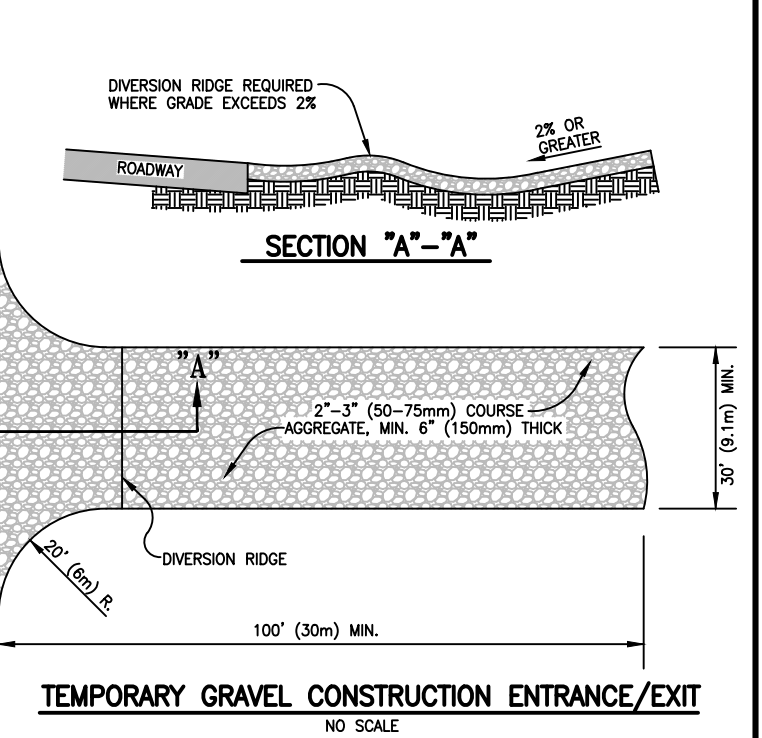
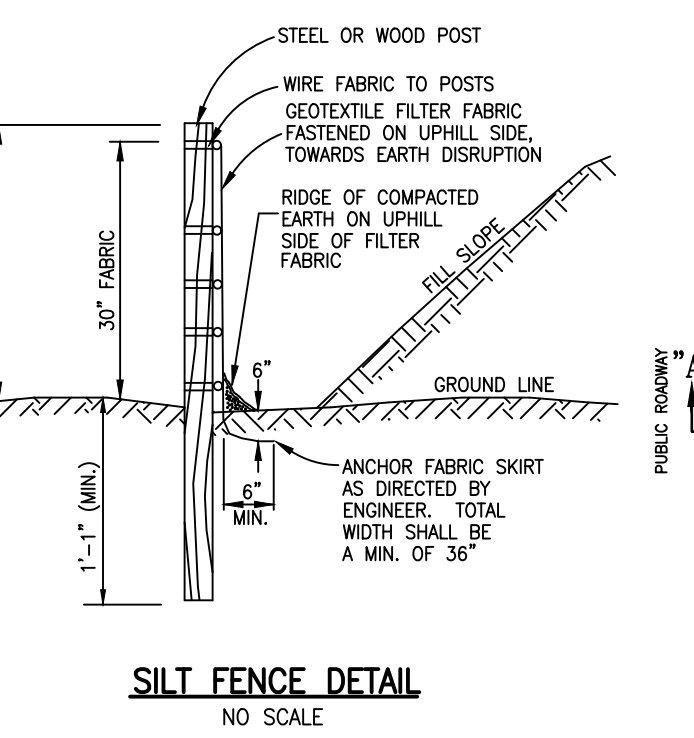
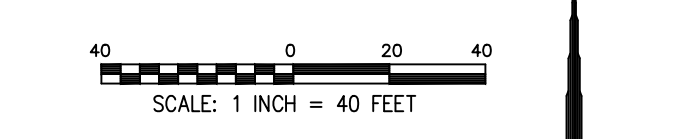
**LIVINGSTON COUNTY SOIL EROSION PERMIT TEMPLATE
TEMPORARY CONTROLS AND SEQUENCE**

- NOTIFY LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO START OF GRADE WORK.
- IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974 THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE START OF ANY WORK.
- PERMITTING STANDARDS**
 - (IMPORTANT NOTICE) RETENTION/DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUST HAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
 - 36" M.D.0.1 SPECIFICATION TYPE SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED AND MAINTAINED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITE.
- ALL TEMPORARY EROSION CONTROL DEVICES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISTRIBUTION.
- PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 100' LINEAL FEET.
- RETENTION PONDS**
 - RETENTION/DETENTION/SEDIMENTATION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 - DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD. AN EMERGENCY SPILLWAY SHALL BE CONSTRUCTED WITHIN THE FREEBOARD LEVEL.
 - THE EMERGENCY SPILLWAY FROM THE DETENTION POND SHALL BE SODDED AND PEGGED, OR RIP RAPPED, 15 FEET PAST THE TOE OF THE SLOPE OF THE BERM.
 - DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER.
 - RETENTION/DETENTION PONDS SHALL BE FENCED WITH A 4" CHAIN LINK FENCE, INCLUDING A 12' ACCESS GATE FOR MAINTENANCE UNLESS MINIMUM 5 FT. HORIZONTAL TO 1 FT. VERTICAL SIDE SLOPES ARE PROVIDED. THE FENCE SHALL BE INSTALLED AT THE OUTER PORTION OF THE BERM, TO ALLOW FOR MAINTENANCE WORK TO BE DONE INSIDE THE FENCE.
 - ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE DURING THE EXCAVATING STAGE. TOPSOIL PILES SHALL BE SEEDED AND MULCHED, OR MATTED WITH STRAW IN THE NON-GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.
 - SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.
- SLOPES AND DITCHES**
 - ON SITE DITCHES SHALL BE OF THE FLAT BOTTOM TYPE MINIMUM WIDTH OF 2' WITH A MINIMUM OF 3 HORIZONTAL TO 1 VERTICAL SIDE SLOPES, 3:1.
 - DITCHES WITH STEEP SLOPES WILL NEED FLOW CHECKS TO PREVENT SCOURING OF THE DITCH BOTTOM. THESE SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR INSPECTOR.
 - SLOPES IN EXCESS OF 3 HORIZONTAL TO 1 VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETURNING WALL, TERRACING, OR OTHER RIP RAPPED DEVICE.
- STORM DRAINS**
 - ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BLOCK, SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE.
 - STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BALE BARRIER AND STONE FILTER INSTALLED AROUND THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BALE BARRIER, A BURRAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURRAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. IN DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURRAP FILTER THE MINIMUM OF 1 FT. OF STONE IS VERY IMPORTANT. THE CONTROL SHALL BE INSPECTED AS SOON AS THE STRUCTURE IS BUILT AND INSPECTED DAILY.
 - BURRAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL.
 - COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12" CAN BE BARTLED TO THE CORRECT SIZE. ALL PIPE SHALL MEET THE 12" DIAMETER CODE SIZE.
 - ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.
 - ALL STORM DRAINAGE PIPE 30" IN DIAMETER OR LARGER SHALL BE POINTED, AT THE JOINTS ON THE INSIDE WITH MORTAR, AFTER BACKFILLING.
 - ALL STORM DRAIN OUTLETS THAT DO NOT EMPTY INTO THE RETENTION/DETENTION POND SHALL HAVE A TEMPORARY 5'X10'X3" SUMP INSTALLED AT THE TERMINATION OF THE STORM DRAIN. UPON COMPLETION OF THE STABILIZATION WORK THE SUMP AREA SHALL BE FILLED AND RIP RAPPED WITH COBBLE STONE. SILT TRAPS SHALL BE INSPECTED AFTER EACH STORM.
 - STORM WATER OUTLETS DO DENOTE RIP RAP. ALL OUTLETS SHALL BE RIP RAPPED OVER KEVED FILTER FABRIC WITH A MINIMUM OF 15 SQ. YARDS OF 6" OR LARGER COBBLE STONE.
 - RIP RAP AS NOTED ON THE PLAN SHALL BE OF A FUNNEL SHAPE CONSTRUCTION, WIDTH SHALL INCREASE AS DISTANCE FROM THE OUTLET POINT INCREASES AT A 3:1 RATIO.
 - RIP RAP SHALL BE OF COBBLE STONE, 6" IN DIAMETER OR LARGER. GROUTING MAY BE NECESSARY, AND SHALL BE A MINIMUM OF 6" IN DEPTH WITH THE COBBLE SET IN THE CEMENT SLURRY.
 - STORM WATER OUTLET IS IN NEED OF A SPLASH BLOCK WHICH IS NOT NOTED ON THE PLAN. INSTALL SPLASH BLOCK IF SLOPE OF THE PIPE IS 4% OR GREATER.
 - IT WILL BE NECESSARY FOR THE DEVELOPER TO HAVE THE STORM DRAINAGE LINES CLEANED PRIOR TO FINAL INSPECTION BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE. IF REQUIRED, THIS WORK SHALL BE DONE BY A PROFESSIONAL SEWER CLEANING FIRM AND CERTIFIED IN WRITING BY THE PROJECT ENGINEER. ALL SUMPS AND TEMPORARY SILT TRAPS SHALL ALSO BE CLEANED AT THIS TIME.
- STABILIZATION**
 - ALL UNIMPROVED DISTURBED AREAS SHALL BE RE-TOP SOILED, WITH A MINIMUM OF 1" OF MATERIAL, SEEDED, MULCHED AND TACKED WITHIN 15 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION. IN THE NON-GROWING SEASON STRAW MATTING WILL SUFFICE. HYDROSEEDING WILL BE AN ACCEPTABLE ALTERNATE FOR MULCHING. EXTREME CARE SHOULD BE EXERCISED IN SPRING AND FALL PERIODS AS A FROST WILL BREAK THE BIND OF THE HYDROSEEDING, WHICH WILL AFFECT THE EFFECTIVENESS OF THIS PROCEDURE.
 - IN THE NON-GROWING SEASON, TEMPORARY STABILIZATION OF MASSIVELY EXPOSED AREAS FOR WINTER STABILIZATION SHALL BE DONE WITH STRAW MATTING.
 - PERIODIC INSPECTIONS WILL BE MADE THROUGHOUT THE COURSE OF THE PROJECT. IT WILL BE THE RESPONSIBILITY OF THE MANAGERS OF THE PROJECT TO CONTACT THIS OFFICE FOR THE FINAL INSPECTION AT THE END OF THE PROJECT.
 - THIS COMMERCIAL PERMIT IS VALID FOR THE MASS EARTH MOVEMENT, THE INSTALLATION OF ROADS, DRAINS, AND UTILITIES AND IS NOT FOR ANY SINGLE FAMILY RESIDENCE. ALL RESIDENTIAL BUILDERS WILL NEED TO SECURE WAIVERS AND OR PERMITS AS NECESSARY FOR EACH LOT IN THIS DEVELOPMENT AT THE TIME APPLICATION FOR SINGLE FAMILY RESIDENCE IS MADE.
 - THE ISSUING BUILDING DEPARTMENT SHALL NOT ISSUE THE CERTIFICATE OF OCCUPANCY UNTIL THE FINAL INSPECTION LETTER FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE HAS BEEN OBTAINED.
 - PER THE LIVINGSTON COUNTY DRAIN COMMISSIONER THE SEEDING, FERTILIZER AND MULCH MINIMUM QUANTITIES SHALL BE AS FOLLOWS:
TOP SOIL
GRASS SEED 218 LBS. PER ACRE
FERTILIZER 150 LBS. PER ACRE
STRAW MULCH 3" IN DEPTH 1.5 TO 2 TONS PER ACRE (ALL MULCHING MUST HAVE A TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.)
 - HYDRO-SEEDING HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%, IN SUCH CASES STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.
- MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROLS**
 - SILT FENCE SHALL BE INSPECTED WEEKLY AND AFTER EACH MAJOR STORM EVENT. MAINTENANCE SHALL INCLUDE REMOVAL OF ACCUMULATED SILT AND REPLACEMENT OF TORN SECTIONS. SILT FENCE SHALL BE REMOVED WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED.
 - TRACKING PAD SHALL BE INSPECTED MONTHLY FOR ACCUMULATED DIRT. TRACKING PAD SHALL BE REPLACED WHEN THE STONES ARE CHOKED WITH DIRT. TRACKING PAD SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FIRST COURSE OF ASPHALT BEING LAID.
 - DETENTION/RETENTION POND SHALL BE INSPECTED QUARTERLY ON A PERMANENT BASIS. MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL, EMBANKMENT STABILIZATION AND MAINTAINING THE OUTLET STRUCTURE IN GOOD CONDITION. NO TREES SHALL BE ALLOWED TO GROW ON THE EMBANKMENT.
 - CATCH BASINS SHALL BE INSPECTED ANNUALLY FOR ACCUMULATION OF SEDIMENT. ALL SEDIMENT MUST BE REMOVED AND DISPOSED OF PROPERLY WHEN THE SUMP IS FULL.
 - COMMON AREAS SHALL BE STABILIZED NO LATER THAN 15 DAYS AFTER GRADE WORK, PURSUANT TO RULE 1709 (G).



LEGEND

PROPOSED (PR)	EXISTING (EX)	CONTOUR
1/2" XXXXX	+922.08	CONTOUR
FF	FF	STORM DRAINAGE FLOW
FG	FG	SPOT ELEVATION
T/A	T/A	FINISHED FLOOR ELEVATION
T/C	T/C	TOP OF ASPHALT
T/W	T/W	TOP OF CURB - CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LNE
B/P	B/P	TOP OF PIPE
RM	RM	BOTTOM OF PIPE
HW	HW	RM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHMENT STRUCTURE
ES	ES	REARWARD STRUCTURE
GV	GV	END-SECTION
HY	HY	GATEVALE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
ST	ST	SANITARY SEWER
WU	WU	SANITARY LEAD
ST	ST	STORM SEWER
WU	WU	WATER MAIN
OH	OH	WATER LEAD
OH	OH	OVERHEAD WIRE
OH	OH	MANHOLE
OH	OH	INLET / CATCHBASIN
OH	OH	FLARED END-SECTION
OH	OH	HYDRANT UTILITY POLE
OH	OH	FENC SIGN
OH	OH	STORM SEWER LABEL
OH	OH	LIMITS OF GRADING/CLAIRING
OH	OH	WETLAND BOUNDARY



CONSTRUCTION SEQUENCE

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1 DAYS	1. INSTALL SILT FENCE/SILT SACKS AS SHOWN ON PLANS.
14 DAYS	2. SITE DEMO AND ROUGH GRADING.
30 DAYS	3. INSTALL PAVEMENT, CURBS, SIDEWALKS.
10 DAYS	5. FINE GRADE BUILDING, TOPSOIL, SEED/SOD AS APPLICABLE.
1 DAY	6. REMOVE ALL EROSION CONTROL STRUCTURES.
1 DAY	7. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

PROPOSED CONST. SCHEDULE FOR THE YEAR 2022

ACTIVITY	APRIL	MAY	JUNE
MASS GRADING	█		
PAVING		█	
FINAL GRADING			█
SEED & MULCH			█

CONTROLS & MEASURES NARRATIVE

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED.

CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE

ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X		X
SWEEP PARKING LOT		X	X

SOIL EROSION CONTROL MEASURES

1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS AN EMERSON STOCKPILE SHOULD BE TEMPORARILY SEEDED
6	SEEDING WITH MULCH AND/OR MATING	REQUIRES ESTABLISHMENT OF VEGETATION COVER EFFECTIVE FOR BRANCHMENTS WITH LOW VELOCITY SOILY PLACED IN SMALL QUANTITIES BY HYDROSEEDING PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, TRAP MINORING PRODSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT SOIL CONSTRUCTION OF PAVED AREAS
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VELOCITY PRODUCE SURFACE WILL KEEP SLOW VELOCITY
16	CURBS & GUTTERS	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINWAY
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
40	INLET SEDIMENT FILTER	EASY TO SHAKE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POST OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

STORMWATER MANAGEMENT SYSTEM NOTE:
THE STORM SEWER SYSTEM AND DETENTION BASIN THAT WAS CONSTRUCTED IN 2020, HAD BEEN DESIGNED TO ACCOMMODATE THE PREVIOUSLY PROPOSED IMPERVIOUS SURFACES AS WELL AS FUTURE PARKING AND BUILDING AREAS, SO AS TO AVOID BASIN MODIFICATIONS FOR EACH PHASE. THE PARKING LOT BEING CONSTRUCTED WAS ONE OF THE 'FUTURE' DESIGNATED IMPERVIOUS SURFACE AREAS ACCOUNTED FOR. CB11 HAS BEEN DESIGNED TO ACCOMMODATE THE PARKING LOT. REFER TO PREVIOUSLY APPROVED PLANS FOR STORMWATER CALCULATIONS AND BASIN CALCULATIONS.

P=PERMANENT T=TEMPORARY
TOTAL DISTURBED AREA = 0.87 AC (38,030 SFT)
NOTE: LCDC SESC PERMIT REQUIRED PRIOR TO CONSTRUCTION

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4636 FAX 517.548.1670

PROJECT: COMMUNITY BIBLE CHURCH PARKING LOT
PREPARED FOR: COMMUNITY BIBLE CHURCH
17372 GRAND RIVER AVENUE
BRIGHTON, MI 48114
810-227-2255

TITLE: GRADING & SESC PLAN

NO.	BY	DATE	REVISION	FEET

DESIGNED BY: ST
DRAWN BY: ST
CHECKED BY:
SCALE: 1" = 40'
JOB NO. 14-047-7
DATE: 11/22/21
SHEET NO. C4

BEBOSS Engineering

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY AND SHALL BE NURSERY GROWN. ALL SIZES AND MEASUREMENTS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLAN BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEIOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF 12 INCHES AND BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL FROM ON SITE, 1 PART PEAT, AND 5 POUNDS OF SUPERPHOSPHATE PER CUBIC YARD OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED TO A UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A 4 INCH LAYER OF SHREDDED BARK MULCH.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
- EDGING, WHERE NOTED ON THE PLANS, SHALL BE BLACK ALUMINUM EDGING, 3/16 INCHES BY 4 INCHES. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUEGRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4 INCH, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10 INCHES BY 18 INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36 HOURS AFTER CUTTING.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVE, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.

SEED MIXTURE SHALL BE AS FOLLOWS:

KENTUCKY BLUEGRASS	30%
(CHOOSE 3 VARIETIES: ADELPHI, RUGBY, GLADE OR PARADE)	30%
RUBY RED OR DAWSON RED FINE FESCUE	20%
ATLANTA RED FESCUE	20%
PENNFINE PERENNIAL RYE	20%

THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 POUNDS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL LAYER SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-20-10 ANALYSIS:

10% NITROGEN: A MINIMUM OF 25% FROM A UREA-FORMALDEHYDE SOURCE
20% PHOSPHATE
10% POTASH: SOURCE TO BE POTASSIUM SULFATE OR POTASSIUM NITRATE.

THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 POUNDS OF BULK FERTILIZER PER 1000 SQUARE FEET.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDED AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDING AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

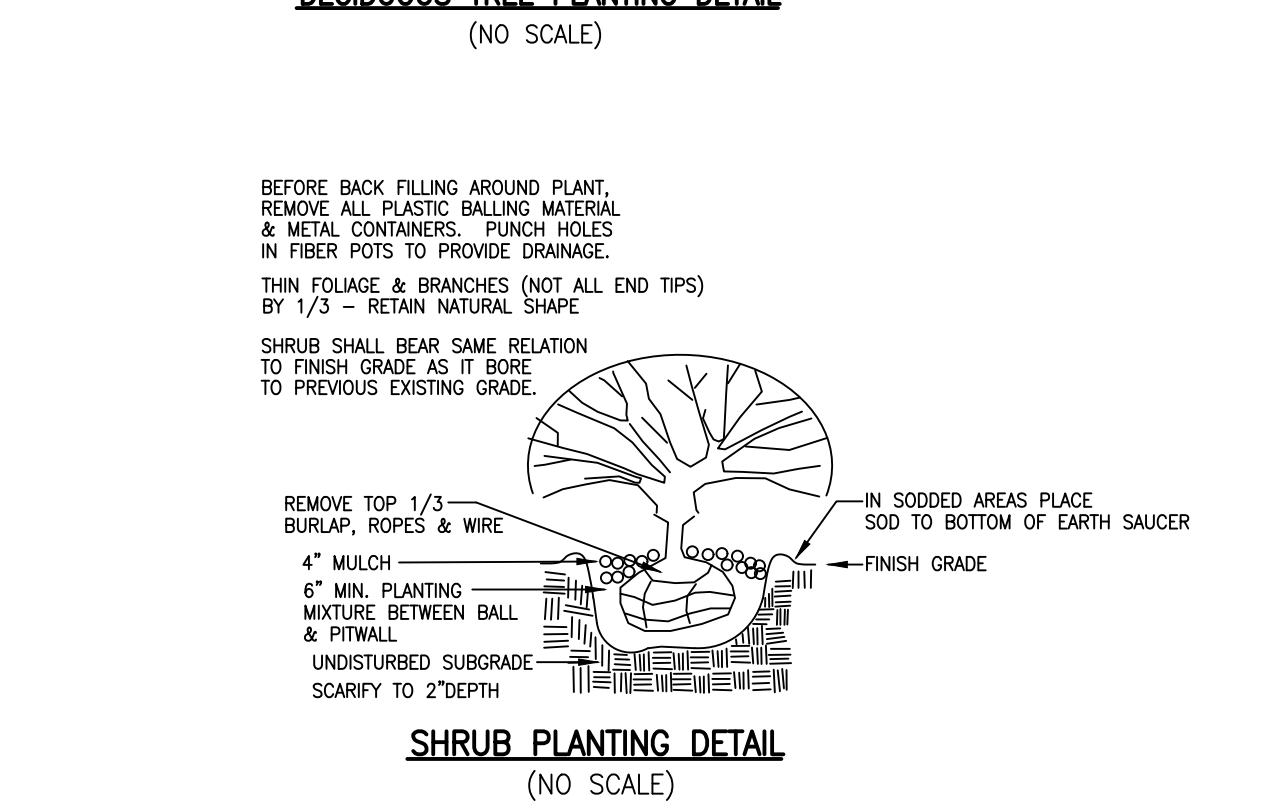
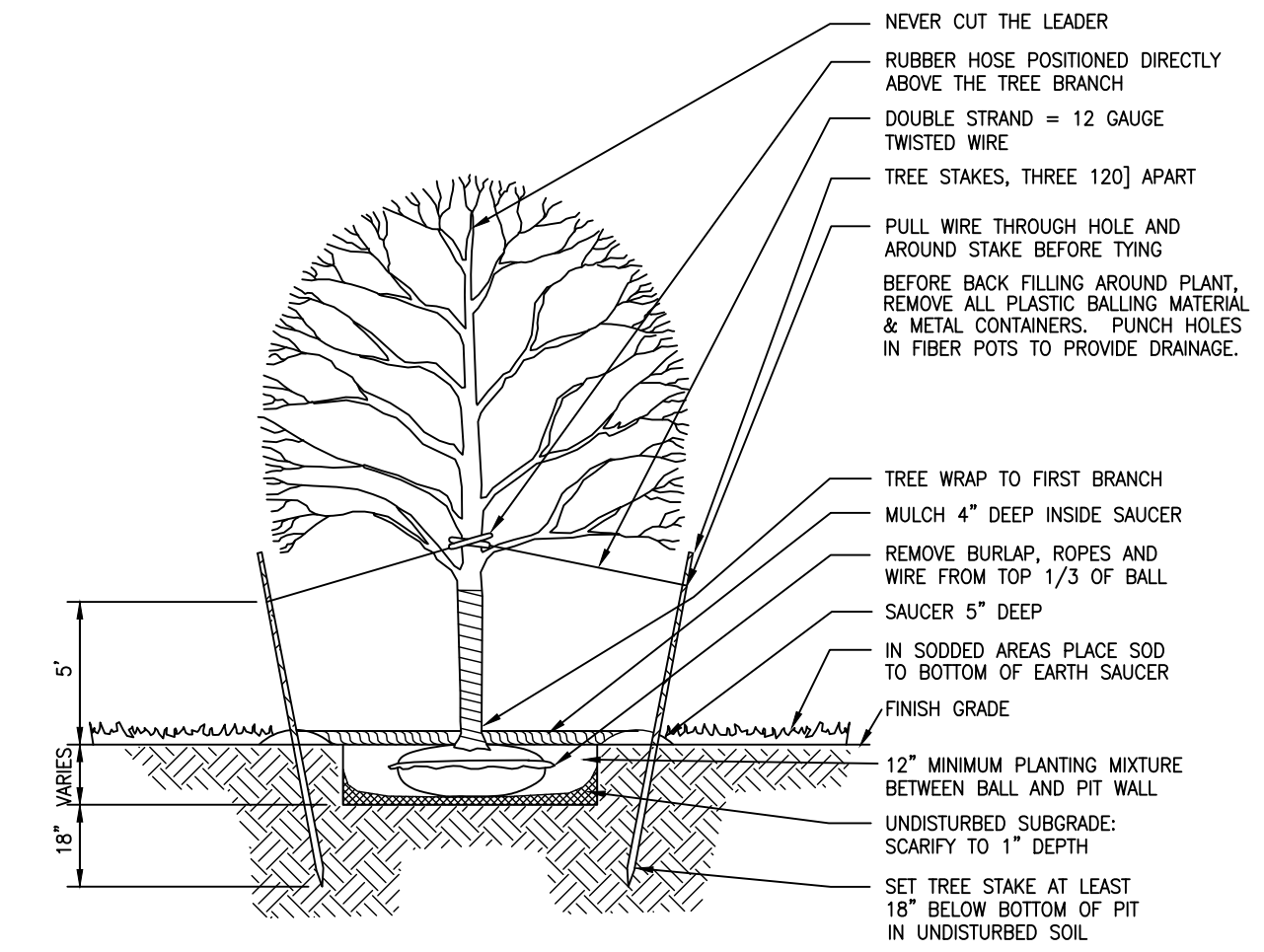
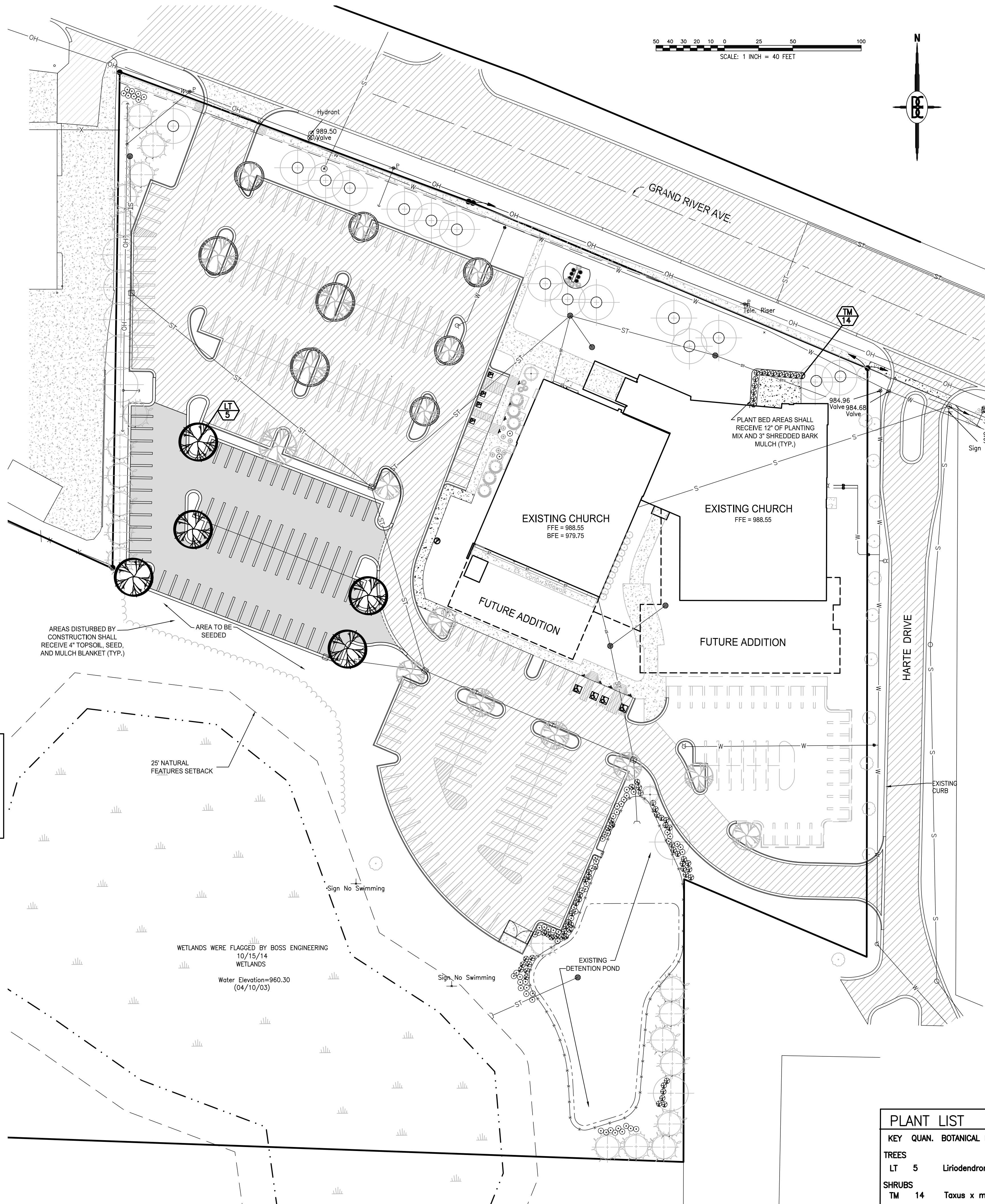
- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 4 INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THIS SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.
- ALL PLANT MATERIALS SHALL BE FREE OF WEEDS, INSECTS AND DISEASE.
- FRONT YARD AREA TO BE IRRIGATED BY UNDERGROUND IRRIGATION SYSTEM.
- UPRIGHT ARNOLD TULIPTREE SPECIFIED ALONG FIRE APPARATUS ACCESS ROAD. THESE TREES ARE TYPICALLY 8-10 FEET WIDE. ALL TREES WITHIN PARKING LOTS TO BE MAINTAINED AT PROPER HEIGHT TO NOT IMPEDE VIEWS OR ACCESS.

LANDSCAPE REQUIREMENTS

PARKING LOT

REQUIRED:
1 CANOPY TREE AND 100 SF LANDSCAPE AREA PER 15 PARKING SPACES
68 SPACES PROPOSED/15 = 4.5 TREES REQUIRED

PROVIDED:
5 TREES



PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
LT	5	Liriodendron tulipifera 'Aureomarginatum'	Majestic Beauty Tulip Tree	2 1/2" Cal	B&B
SHRUBS					
TM	14	Taxus x media 'Densiformis'	Dense Spreading Yew	24" HL.	B&B

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: COMMUNITY BIBLE CHURCH PARKING LOT
PREPARED FOR: COMMUNITY BIBLE CHURCH
7372 GRAND RIVER AVENUE
BRIGHTON, MI. 48114
810-227-2255

TITLE: LANDSCAPE PLAN

NO.	BY	REVISION	PER	DATE

DESIGNED BY: JA
DRAWN BY: JA
CHECKED BY: JA
SCALE: 1" = 40'
JOB NO. 14-047-7
DATE: 11/22/21
SHEET NO. C5

BEBOSS Engineering



D-Series Size 0 LED Area Luminaire



Specifications

EPA:	0.95 ft ² (0.09m ²)
Length:	26" (660mm)
Width:	13" (330mm)
Height:	3" (76mm)
Height:	7" (178mm)
Weight (max):	16 lbs (7.3kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

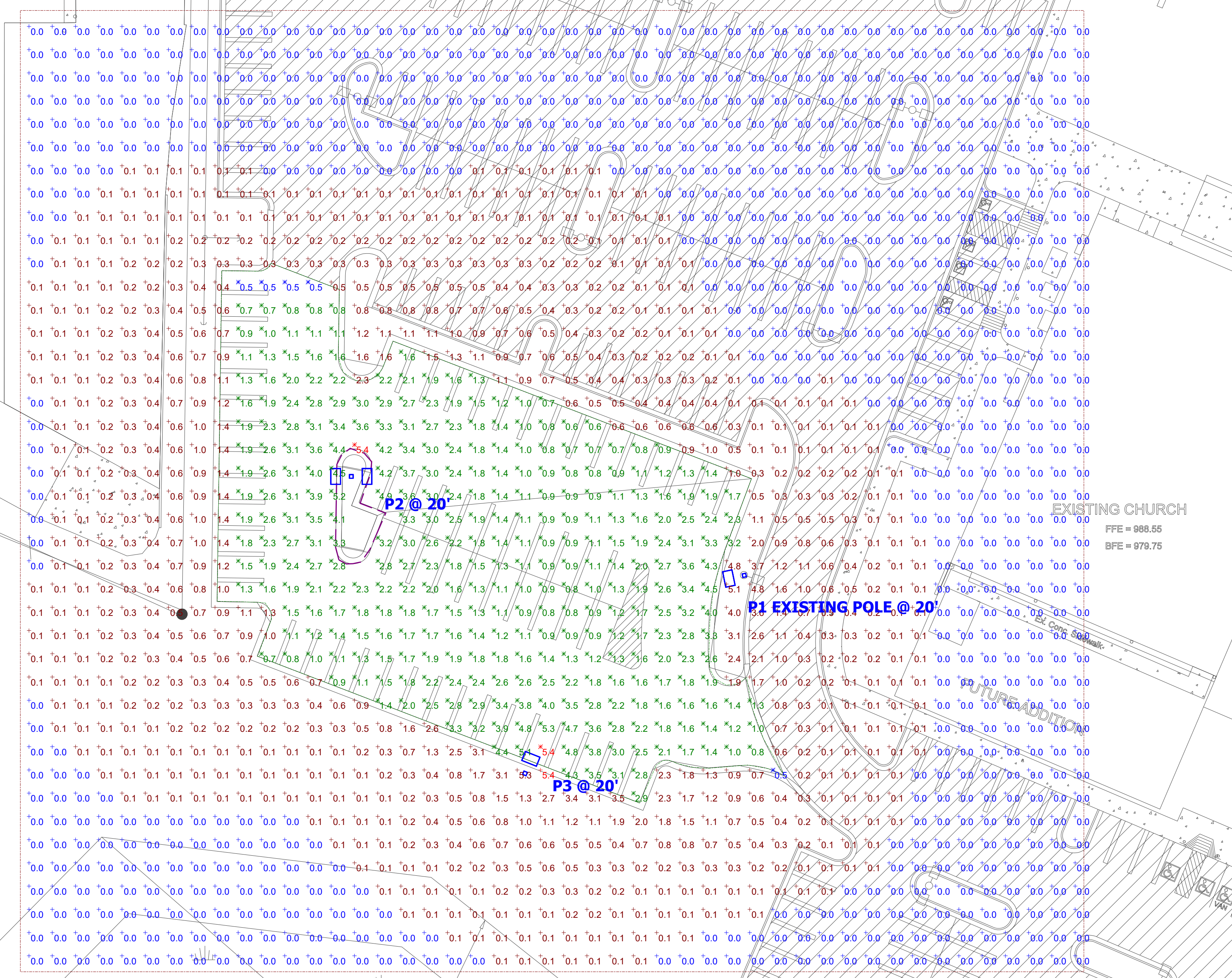
Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Photometric	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 P12 P11 P13	30K 3000K 40K 4000K 50K 5000K	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium T5M Type V short	T3S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner control RCCO Right corner control	MVOLT (100V-277V) KVOLT (277V-480V)

Control options	Photometric	Shipped installed	Finish
Shipped installed NLTAIR2 slight ARI generation 2 enabled PIRHN Hivesec, high/low motion/ambient sensor PER MEAA lock receptacle only (control ordered separate) PER5 Five-pin receptacle only (control ordered separate) PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) DMG 0-10V dimming extend out back of housing for external control (control ordered separate)	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 56" PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 56" PIRHCV High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" PIRHFCV High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" FAO Field adjustable output	HS Impact-safe shield SF Single face (120, 277, 347V) DF Double face (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics DOL Diffused drop lens HA 50°C ambient operation BAA Buy America/On Act Compliant Shipped separately BS Best prices EGS External glare shield	DDRD Dark bronze DBLD Black DNAD Natural aluminum DWRD White DORTD Textured dark bronze DBLKD Textured black DNATD Textured natural aluminum DWHKD Textured white

Plan View
Scale - 1" = 25ft



Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Grade @ 0'	+	0.5 fc	5.4 fc	0.0 fc	N/A	N/A
New Parking Lot	X	2.0 fc	5.4 fc	0.5 fc	4.0:1	10.8:1

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GASSER BUSH AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
□	P1 EXISTING POLE	1	Lithonia Lighting	DSX0 LED P7 40K T4M MVOLT	DSX0 LED P7 40K T4M MVOLT	LED	17969	0.9	166
□	P2	1	Lithonia Lighting	DSX0 LED P7 40K T5W MVOLT	DSX0 LED P7 40K T5W MVOLT	LED	18933	0.9	332
□	P3	1	Lithonia Lighting	DSX0 LED P7 40K T2M MVOLT	DSX0 LED P7 40K T2M MVOLT	LED	18318	0.9	166

**Resolution No. 5A – Darlene Drive Road Improvement
Project (Winter 2021)**

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at the Township Hall on December 6, 2021, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and seconded by :

Resolution Confirming Special Assessment Roll

WHEREAS, the Board of Trustees of the Township approved a special assessment roll for the Darlene Drive Road Improvement Project (Winter 2021) within the Township on July 19, 2021 in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Special Assessment Roll for Darlene Drive Road Improvement Project was assessed on the Winter 2021 Tax Roll;

WHEREAS, the Township Board has now determined that the final cost of the project was \$30,558.00 less than estimated;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Amended Roll Confirmed. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Amended Special Assessment Roll for the Darlene Drive Road Improvement Project (Winter 2021) (Exhibit A).
2. The Completed Road Improvement Project - Will now be amended with revised total assessments per parcel as shown in Exhibit B.
3. Future Installments - Interest. All unpaid installments shall bear 2% interest.
4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit C to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this resolution, the Clerk’s warrant and the statutes of the State of Michigan.

5. Refund. The Township Treasurer is directed to issue refunds to the current property owner of record for any parcels paid in full prior to this date in the amount of \$2,778.00.

5. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are repealed to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the December 6, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk
Date: December 6, 2021

EXHIBIT A SPECIAL ASSESSMENT ROLL

Parcel Balances for GENOA TOWNSHIP

Population: Special Assessment District (X3184)
Spec. Population: Both Active and Inactive Parcels
All Payments Included
Current Installment Year: 2021

Parcel No. Owner	Assessment Code/Name	Assessment Amount	Assessment Cur Install	Tot Prin Pd Cur Prin Pd	Tot Intrst Pd Cur Intrst Pd	Tot Adm Pd Cur Adm Pd	Tot Pen Pd Cur Pen Pd	Tot Addtl Penlty Pd Cur Addtl Penlty Pd	Tot Cert Pd Cur Cert Pd	Tot Balance Cur Balance
4711-12-200-019 WILLIAMS SHANNON	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-004 SMITH SHAYNE & MIRANDA	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-005 PURDY MARC & DARLENE	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-006 RICHARDSON JEFFREY & EMIDARLENE	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-007 HOSS DONNA M	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-008 LENFESTEY LINDA	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-009 EVELY THOMAS R & JUDITH	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-010 OKAMOTO WILLIAM & JUDY LDARLENE	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-011 ALLOR KELLY	X3184 Darlene Road Improvem	3,494.72	0.00	6,272.72 0.00	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00
4711-12-201-012 LOMREE INC	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
4711-12-201-013 SAYAGE, SUHAIL	X3184 Darlene Road Improvem	3,494.72	752.72	627.27 627.27	125.45 125.45	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	2,867.45 0.00
Totals For X3184 Darlene Road Improvement Unit 4711	Parcels: 11	38,441.92	7,527.20	12,545.42 6,272.70	1,254.50 1,254.50	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	28,674.50 0.00
Gr. Totals....	11	38,441.92	7,527.20	12,545.42 6,272.70	1,254.50 1,254.50	0.00 0.00	0.00 0.00	0.00 0.00	0.00 0.00	28,674.50 0.00

EXHIBIT B

DARLENE DRIVE ROAD IMPROVEMENT PROJECT (WINTER 2021)

**DESCRIPTION OF PROJECT
A TEN-YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:**

- Total cost of the project: \$47,442.00
- Total parcels: 11
- Homeowners representing over 50% of property have signed petitions
- Total amount per parcel:

DARLENE ROAD 2021	
PROJECT COST	\$47,442
ADMIN.	\$2,000
TWP. CONTRIB.	(\$11,000)
TOTAL	\$38,442
INTEREST %	2
PROPERTIES	11

	YEAR	PAYMENT	TO INTEREST	TO PRINCIPAL	OUTSTANDING
1	2021	\$697.16	\$69.89	\$627.27	\$2,867.46
2	2022	\$375.96	\$57.35	\$318.61	\$2,548.85
3	2023	\$369.58	\$50.98	\$318.61	\$2,230.24
4	2024	\$363.21	\$44.60	\$318.61	\$1,911.64
5	2025	\$356.84	\$38.23	\$318.61	\$1,593.03
6	2026	\$350.47	\$31.86	\$318.61	\$1,274.43
7	2027	\$344.09	\$25.49	\$318.61	\$955.82
8	2028	\$337.72	\$19.12	\$318.61	\$637.21
9	2029	\$331.35	\$12.74	\$318.61	\$318.61
10	2030	\$324.98	\$6.37	\$318.61	\$0.00
		\$3,851.37	\$356.64	\$3,494.73	

The project (the “Project”) will consist of:

- Crush, shape and repave existing .135 mile roadway with 3.5 inches of 13A hot mix asphalt.
- Remove and replace driveway approaches to match new roadway elevation.
- Topsoil and seed along edge of existing roadway to blend into existing lawns.

Exhibit C

Warrant

WARRANT

TO: Treasurer
Genoa Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the special assessment roll for the Genoa Township Darlene Drive Road Improvement Project (Winter 2021) (the "Roll") confirmed by the Township Board on December 6, 2021 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such Roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Paulette A. Skolarus
Genoa Charter Township Clerk

December 7, 2021

DRAFT

Darlene Drive Property Owner

RE: Darlene Drive Special Assessment District

Dear Sir or Madam,

I am pleased to inform you that the construction costs for your recently completed road improvement came in significantly lower than originally estimated. At a Regular Meeting of the Genoa Charter Township Board held on December 6, 2021, the Board approved a reduction to the Darlene Drive Road Improvement Special Assessment roll. The Engineer who provided the estimate assumed that extensive undercutting and base improvements would be necessary. They found that the base was in decent shape and that the road failure was primarily due to poor drainage. The original estimate was \$78,000. Construction was completed for a total of \$47,442.

The first payment for the assessment has already been levied on your December 2021 tax bill. This first levy was based on the estimate provided to you when petitions were signed and resolutions were passed by the Township Board. With the new construction total, payments for the remaining nine years will be reduced per the attached amortization schedule. For example, in 2022 the assessment payment will be reduced from \$740.18 to \$375.96.

If you have any questions please feel free to contact either myself or the Township Treasurer's office at 810.227.5225.

Best regards,

Michael Archinal, Township Manager

December 7, 2021

Darlene Drive Property Owner

RE: Darlene Drive Special Assessment District

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I am pleased to inform you that the construction costs for your recently completed road improvement came in significantly lower than originally estimated. At a Regular Meeting of the Genoa Charter Township Board held on December 6, 2021, the Board approved a reduction to the Darlene Drive Road Improvement Special Assessment roll. The Engineer who provided the estimate assumed that extensive undercutting and base improvements would be necessary. They found that the base was in decent shape and that the road failure was primarily due to poor drainage. The original estimate was \$78,000. Construction was completed for a total of \$47,442.

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If you have any questions please feel free to contact either myself or the Township Treasurer's office at 810.227.5225.

Best regards,

Michael Archinal, Township Manager

Memo

To: MIKE ARCHINAL
From: DUFFY ROJEWSKI
Date: 11/24/2021
Re: INTERGOVERNMENTAL AGREEMENT FOR COOPERATIVE PAID ASSESSMENT
INTERN, MENTORING & TRAINING

LIVINGSTON COUNTY ASSESSORS ASSOCIATION HAS BEEN WORKING ON THE ABOVE-MENTIONED PROGRAM WITH COUNTY EQUALIZATION TO MENTOR/TRAIN MCAT ASSESSORS AS INTERNS.

THE AGREEMENT CONSISTS OF HAVING AN INTERN FOR A 2 MONTH PERIOD, FOR 2 ½ DAYS PER WEEK AT \$15.00 AN HOUR.

THESE INTERNS WILL BE IN A PROGRAM WHERE THEY WILL BE WORKING FOR COUNTY EQ FOR 2 MONTHS A CITY FOR 2 MONTHS AND A TOWNSHIP FOR 2 MONTHS FOR A TOTAL OF A 6 MONTH TRAINING PROGRAM.

THE PLAN IS TO HOPEFULLY TRAIN 2 INTERNS PER YEAR TO HELP BUILD UP THE TALENT FOR FUTURE EMPLOYMENT FOR THE ASSESSING FIELD.

I HAVE ATTACHED THE AGREEMENT AND IF YOU HAVE ANY FURTHER QUESTIONS OR COMMENTS, PLEASE FEEL FREE TO CONTACT LAURA OR I FOR MORE INFORMATION.

THANK YOU!

**INTERGOVERNMENTAL AGREEMENT FOR COOPERATIVE
PAID ASSESSMENT INTERN, MENTORING AND TRAINING PROGRAM**

THIS INTERGOVERNMENTAL AGREEMENT FOR COOPERATIVE PAID ASSESSMENT INTERN, MENTORING AND TRAINING PROGRAM (hereinafter referred to as the “Agreement”) made and entered into on this ____ day of _____ 2021, by and between the **COUNTY OF LIVINGSTON**, a municipal corporation and political subdivision of the State of Michigan, (hereinafter referred to as the “County”), the **TOWNSHIPS OF _____** which are municipal corporations and political subdivisions of the State of Michigan, (hereinafter collectively referred to as the “Townships”) **AND** the **CITIES OF _____** which are municipal corporations and political subdivisions of the State of Michigan, (hereinafter collectively referred to as the “Cities”). The municipal corporations which are signatories to this Agreement are collectively referred to as the “Parties”.

WITNESSETH:

WHEREAS, the County, Townships and Cities desire to coordinate and implement a cooperative paid internship, mentoring and training program for qualified and newly certified Michigan Certified Assessing Technicians (“MCAT”) to train, mentor and otherwise assist in developing on the job working and professional development experiences for individuals seeking future permanent employment in the assessment administration field (the “Program”);

WHEREAS, the Parties desire to enter in to this Agreement to memorialize the Parties’ agreement in the selection of interns and other matters regarding administering the Program; the cooperative efforts by the Parties to work together meet the goals and objectives of the Program; and define the respective financial and contractual obligations with regards to the payment to the interns and allocation of liabilities.

NOW, THEREFORE, for and in consideration of the mutual covenants hereinafter contained, **IT IS HEREBY AGREED** as follows:

1. Agreement Term. This Agreement shall go into effect, and performance thereon shall commence, on the ____ day of _____ 2022 and shall continue for the terms of __ years or until terminated by a party – with our without cause -- upon 30 calendar days prior written notice before the expiration of the term.

2. Responsibilities of the Parties. The current intent is that the _____ Assessor’s Association will semiannually interview and select a candidate to participate in the Program. The Parties will schedule the Intern to intern with each Party on an at-will basis for not more than a six month cumulative duration, for not greater than 2.5 days per week equivalent, and subject to any reasonable requirements of the County, Townships, or Cities including, but not limited to execution by the participant in an Internship Agreement (the “Intern”).

During this six (6) month Program mentoring term, the County, Cities and Townships will provide the job working and professional development experiences to the Intern for the term approximates **two month** mentoring assignment at the location of the assigned mentoring Party.

The schedule for the Intern mentoring assignment shall be planned jointly by the Parties. Any changes in the schedule must be approved by all Parties to this Agreement prior to implementation of a new schedule.

During each two month term mentoring assignment, the assigned mentoring Party shall be solely responsible for payment to the intern in the gross sum of \$15.00 per hour (current), as well as any taxes or other deductions required by law.

The assigned mentoring Party shall both designate an individual who shall be available to the Intern to be a primary mentor and who is available answer all questions and assist in the implementation of the purposes of this Program. The Intern shall not displace regular employees of the assigned mentoring Party, but when assigned to the Party, work under the assigned mentoring Party's close observation. The assigned individual at the Party shall acquaint the Interns with the Party's rules, regulations, policies and expectations.

The assigned mentor Party, during the term of Intern's two month term mentoring assignment, shall maintain any and all liability or compensation insurance regarding the assignment of the Intern, shall maintain attendance records for the Intern; shall assure the safety of the Intern while under their supervision; and will provide the Intern with its rules, regulations, and policies that directly affect the interns placed at the Parties site. Each assigned mentoring Party here certifies that it will, as a term of this Agreement, contact the Michigan Municipal Risk Management Authority or the Party's individual insurer and confirm to its satisfaction that there is existing insurance coverages (including, but not limited to general liability and workers compensation) necessary to employ the paid Intern. The Comprehensive General Liability Insurance or its equivalent, shall provide coverage limits of at least \$1,000,000 per incident, \$3,000,000 aggregate, that covers its employees whenever the liability may exist. The other Parties to this Agreement may require proof of insurance be provided.

The County will be responsible for providing the administrative and coordination support for the operational elements of the Program. Each Party shall cooperate with the other Parties to plan, coordinate and implement the elements and expectations of the Program so as to maximize the job working and professional development experiences of the Intern.

3. **Early Termination of the Intern Mentoring Assignment or Termination From the Program.** During the term of Intern's two month term mentoring assignment, the assigned and scheduled mentoring Party shall retain the absolute authority, in its sole discretion, to terminate the Intern's placement or assignment with that Party, with or without cause but with notice to both the Intern and other Parties to this Agreement.

If an assigned and scheduled mentoring Party is considering terminating the Intern's placement or assignment is encouraged to inform the other Parties immediately if an issue develops that potentially affects the Intern's continued placement. The other Party's may elect to, but are not required to, place the Intern with another Party for the remaining duration of the mentoring Party's scheduled term; or the Parties may elect, in their sole discretion, to terminate the Intern from the remainder of the Program term.

4. **Liability.** All liability, loss, or damage as a result of claims, demands, costs, or judgements arising out of activities of the County will be the sole responsibility of the County and not the responsibility of the Townships or Cities. All liability, loss, or damage as a result of claims, demands, costs, or judgements arising out of activities of the Cities will be the sole responsibility of the Cities and not the responsibility of the County or Townships. All liability, loss, or damage as a result of claims, demands, costs, or judgements arising out of activities of the Townships will be the sole responsibility of the Townships and not the responsibility of the County or Cities. Nothing herein will be construed as a waiver of any governmental immunity, as provided by statute or modified by court decisions, by the County, Cities or Townships, or each Party's respective agencies, elected or appointed officers, and employees.

5. **Nondiscrimination.** The Parties hereto, as required by law, shall not discriminate against a person to be served or an employee or applicant for employment or for participation in the Program because of race, color, religion, national origin, age, sex, disability that is unrelated to the individual's ability to perform the duties of a particular job or position, height, weight, marital status, political affiliation or beliefs, or any other classification protected by law. Breach of this covenant shall be regarded as a material breach of this Agreement.

6. **Compliance with the Law.** The parties hereto mutually agree to comply with all applicable Federal, State and local laws, ordinances, rules and regulations in performing their obligations pursuant to the Agreement.

7. **No Third Party Beneficiary.** This Agreement is intended solely for the mutual benefit of the Parties hereto, and there is no intention, express or otherwise, to create any rights or interests for any party or person other than the County, Cities and Townships who are parties to the Agreement. Without limiting the generality of the foregoing, no rights are intended to be created for any Intern or prospective Intern, parent or guardian of any Intern or prospective Intern, employer or prospective employer of any Intern.

8. **Sole Conduct.** In the performance of their respective duties and obligations under this Agreement, the County and each Township and City are independent contractors, and neither is the agent, employee or servant of the other, and each is responsible for only its sole conduct.

9. **Venue.** This Agreement is governed by Michigan Law. Any and all suits for any breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the State of Michigan pursuant to applicable statutes and court rules.

10. **Waivers.** No failure or delay on the part of any of the parties to this Agreement in exercising any right, power or privilege hereinunder shall operate as a waiver thereof, nor shall a single or partial exercise of any right, power or privilege.

11. **Modification of Agreement.** Modifications, amendments, or waivers of any provision of this Agreement may be made only by the written mutual consent of the parties hereto.

12. **Assignment or Subcontracting.** The Parties to the Agreement may not assign, subcontractor or otherwise transfer their duties and/or obligations under this Agreement.

13. **Disregarding Titles.** The titles of the sections set for this Agreement are inserted for the convenience of reference only and shall not be disregarded when construing or interpreting any of the provisions of this Agreement.

14. **Completeness of this Agreement.** This Agreement contains all the terms and conditions agreed upon by the parties hereto, and no other agreements, oral or otherwise, regarding the subject matter of this Agreement or any part thereof, shall have any validity or binding any of the parties hereto.

15. **Invalid Provisions.** If any provision of this Agreement is held to be invalid, it shall be considered to be deleted and the remainder of this Agreement shall not be affected thereby. Where the deletion of the invalid provision would result in the illegality and/or unenforceability of the Agreement, this Agreement shall be considered to have terminated as of the date on which the provision was declared invalid.

16. **Certification of Authority to Sign Agreement.** The person signing on behalf of the parties hereto certifies by their signatures that they are duly authorized to sign this Agreement on behalf of said parties and that said parties have authorized this Agreement.

[Signature page to follow]

IN WITNESS THEREOF, the authorized representatives of the parties hereto have fully signed this Agreement on the day and year first above written.

**COUNTY OF LIVINGSTON
BOARD OF COMMISSIONERS**

, Chairperson

Date

TOWNSHIP

Date

, Department

**RESOLUTION #220207
GENOA CHARTER TOWNSHIP
COUNTY OF LIVINGSTON, MICHIGAN**

**ESTABLISHING GUIDELINES FOR GRANTING OF POVERTY EXEMPTIONS FROM
PROPERTY TAXES PURSUANT TO MCL 211.7U AND ESTABLISHING BEGINNING DATE FOR
THE BOARD OF REVIEW**

POVERTY EXEMPTION, as defined by the Michigan Compiled Laws, is as follows:

Section 211.7u: (1) The homestead of persons who, in the judgment of the board of review, by reason of poverty, are unable to contribute toward the public charge is eligible for exemption in whole or in part from taxation under this act. This section does not apply to the property of a corporation.

Please be aware that as an applicant for Poverty Exemption you must also comply with the following section of the Michigan Compiled Laws:

Section 211.118: Perjury: Any person, who, under any of the proceedings required or permitted by this act shall willfully swear falsely, will be found guilty of perjury and subject to its penalties.

Section 211.119: Willful Neglect: Penalty-...a person who willfully neglects or refuses to perform a duty imposed upon that person by this act, when no other provision is made in this act, is guilty of a misdemeanor, punishable by imprisonment for not more than 6 months, or a fine of not more than \$300 dollars, and is liable to a person injured to the full extent of the injury sustained.

The members of the Board of Review analyze all properly submitted applications for Hardship/Poverty Exemptions, according to amended P.A. 390 of 1994, section 211.7u of the Michigan Compiled Laws (MCL). Each taxpayer will be treated the same, and the items to be considered and the manner in which they will be analyzed are listed under the following guidelines.

STATE LAW GUIDELINES:

- 1.) The application for the exemption, in whole or in part, must be completed in its entirety on an annual basis.
- 2.) The property **must** be owned and occupied by the applicant. A principal residence exemption must be on file confirming the property is their principal residence.
- 3.) Per MCL 211.7u(2b) provide current Income Tax Returns, both Federal and State, including Homestead Property Tax Credit claims (MI-1040CR 1, 2, 3, or 4) for ALL PERSONS residing in the homestead. Documentation for all income sources including but not limited to credits, claims, Social Security income, child support, alimony income, bridge cards, and all other income sources must be provided at time of application. If applicant(s) is not required to file a Federal or State Income Tax return, they must complete and file an Income Tax Exemption Affidavit (PA 135 of 2012).
- 4.) Applicant must provide a copy of their driver's license or state issued I.D
- 5.) The applicant must meet federal poverty standards or the alternative guidelines as established by Genoa Charter Township Board of Review.
- 6.) Meet asset level test as set by Genoa Charter Township Board of Review Asset Guidelines.
- 7.) The Board of Review shall follow the guidelines.

GENOA CHARTER TOWNSHIP 2022 GUIDELINES:

Picture ID (Driver's License; State ID) for all applicants must be submitted.

1.) Under no circumstances will any poverty exemption be continued to the following year without a complete application submitted for that year.

2.) All owners and occupants, 18 years of age and older, of the subject property shall complete, and supply to the Assessing Department, the poverty application form accompanied by the required copies of current Income Tax Returns both Federal and State including attachments and the MI 1040 CR showing the Homestead Property Tax Credit. Tax Returns must be signed and dated to be eligible (for calendar year 2022-submit 2021 tax returns). Proof of gross annual income from **all sources** must be provided. Provide a copy of current pay stubs for all persons residing in the home.

According to the U.S. Census Bureau, "income" includes:

- Money, wages, and salaries before any deductions.
 - Net receipts from non-farm self-employment. (These are receipts from a person's own business, professional enterprise, or partnership, after deductions for business expenses.)
 - Regular payments from social security, railroad retirement, unemployment, and worker's compensation, veteran's payments and public assistance.
 - Alimony, child support, and military family allotments.
 - Private pensions, governmental pensions, and regular insurance or annuity payments.
 - College or university scholarships, grants, fellowships, and assistantships.
 - Dividends, interest, net rental income, net royalties, periodic receipts from estates or trusts, and net gambling or lottery winnings.
- Additional income sources:
- Gifts, loans, lump-sum inheritances, one-time insurance payments, and State and/or Federal non-cash benefit programs such as Medicare, Medicaid, food stamps, school lunches, and/or bridge card.

Asset Guidelines Used in the Determination of Hardship/Poverty Exemptions for 2022

Applicants must, in accordance with PA 390 of 1994, meet the "Asset Guidelines" as adopted by the Genoa Charter Township Board. An asset test means the amount of cash, fixed assets or other property that could be used, or converted to cash for use in the payment of property taxes.

All asset information, as requested in the Application for the Hardship/Poverty Exemption, must be provided in its entirety. The Board of Review may request additional information and verification of assets if they determine it to be necessary and may reject any application if the assets are not completely or properly identified.

Liquid assets may include, but are not limited to:

Bank accounts, stocks and bonds, IRA's, Roth's, other investment accounts, pensions, money received from the sale of property such as stocks, bonds, a house or car, or gifts and borrowed money, inheritance, etc. Savings and other liquid assets not listed above are limited to \$1,000.

Additional total assets may include, but are not limited to any of these either owned or leased:

A second home, vacant or excess land, rental property, extraordinary automobiles, recreational vehicles,

including snowmobiles, boats, campers, travel trailers, motor homes, jet ski, motorcycles, off road vehicles, additional buildings other than residence, equipment, jewelry, antiques, artwork, other personal property of value, and any food or housing received in lieu of wages. Total household non-liquid assets other than the principal residence cannot exceed a cash value of \$25,000.

- 1.) All applications need to be received at the Assessing Department five (5) full business days prior to the Board of Review. All applications will be processed by the Assessing staff to determine the percentage of household income consumed by property taxes. You may be contacted by a staff member to verify information or to do an interior and exterior field inspection of your property.
- 2.) It is the applicant's responsibility to complete all items on the application and give thorough explanations of information that are not self-explanatory. If the applicant's circumstances do not meet the guidelines, an explanation of the reasons must be submitted in writing or the application will be denied. Any additional information to be presented to the Board must be in writing and attached to the application.
- 3.) If your expenses (excluding property taxes) exceed your income, a written explanation will be required.
- 4.) A written affidavit is required for all household members over the age of 18 who are not cited as contributing to the household income. Attendance in college or any other schooling above high school is not considered a compelling reason for not contributing to necessary household expenses.
- 5.) Primary applicant may not own any other real estate. The Board can deny an application if they determine that monies spent in the past two years for unnecessary purchases and/or unnecessary property upgrades could have been used for property taxes.
- 6.) Copies of the last three (3) months of all bank statements and credit card statements for all persons residing in household must be included with application. Poverty exemptions are limited by \$1,000 in savings and other liquid assets and real estate holdings of the homestead (Principle Residence) only.
- 7.) If you have a mortgage and/or home equity loan on your property you must provide a copy of your most recent statement(s). If you are more than ninety (90) days in arrears on your payments you may not qualify for a poverty exemption. You will be contacted just prior to the Board of Review for a more recent copy of your statement(s).
- 8.) If the principal residence has been purchased within three (3) years of application, attach documents used to qualify for the mortgage, or if no mortgage, explain why funds were not set aside for taxes.
- 9.) As approved by the Township Board of Trustee's, Resolution #220207, to be eligible for the exemption, persons must meet the above asset guidelines, whereas total household non-liquid assets other than the principal residence cannot exceed a cash value of \$25,000, savings and other liquid assets not listed above are limited to \$1,000.

INCOME GUIDELINES

Local governing bodies are required to adopt guidelines that set income levels for their poverty exemption guidelines and those income levels shall not be set lower than the annual federal poverty guidelines. The Genoa Charter Township Board established the following income guidelines in accordance with MCL 211.7u and shall be adhered to unless accompanied by extenuating circumstances. In general, these guidelines shall assist the Board of Review in their decision making.

FEDERAL POVERTY STANDARDS

<u>FAMILY UNIT</u>	<u>HOUSEHOLD INCOME</u>
Family of 1:	\$12,880
Family of 2:	\$17,420
Family of 3:	\$21,960
Family of 4:	\$26,500
Family of 5:	\$31,040
Family of 6:	\$35,580
Family of 7:	\$40,120
Family of 8:	\$44,660
Additional Persons:	\$4,540

Annual applications and guidelines are available after the first meeting of the Township Board each year and shall be filed with the Genoa Charter Township Board of Review five (5) days prior to the last day of the March, July or December Board of Review to the address listed below. It is recommended to file applications sooner if possible to avoid incomplete applications being submitted to the Board.

Board of Review
c/o Genoa Charter Township Assessing Office
2911 Dorr Rd
Brighton MI 48116
Phone: 810.227.5225
Fax: 810.227.3420
E-mail: duffy@genoa.org, laura@genoa.org or Jessica@genoa.org

Decisions of the March Board of Review may be appealed in writing to the Michigan Tax Tribunal by July 31 of the current year. July or December Board of Review denials may be appealed to Michigan Tax Tribunal within 35 days of the denial. A copy of the Board of Review decision must be included with the filing.

Michigan Tax Tribunal
PO Box 30232
Lansing MI 48909
Phone: 517.373.4400
Fax: 517.373.4493
E-mail: taxtrib@michigan.gov

GENOA CHARTER TOWNSHIP
APPLICATION AND INSTRUCTIONS FOR 2022
HARDSHIP/POVERTY REDUCTION

The 2022 Application for One Year Poverty Reduction has been modified to be consistent with the requirements of the State of Michigan regarding poverty exemptions. To be considered for a poverty reduction, the following information MUST be provided:

1. **COMPLETE ALL SECTIONS OF THIS APPLICATION IN FULL; DO NOT LEAVE ANY BLANK LINES/AREAS. WRITE IN N/A IF THE AREA DOES NOT APPLY TO YOU.** Applications may be considered ineligible if they are not completed in full.
2. Submit completed and signed COPIES of the following (If applicable):

2021 Michigan Homestead Property Tax Credit Claim (MI1040CR)

2021 Federal Income Tax Return (1040), if you are required to file federal income tax. If you were not required to file federal or state income tax in the current or previous year, please include a completed Department of Treasury Form 4988 -Poverty Exemption Affidavit. (PA 135 of 2012)

2021 Federal Income Tax Return (1040) for ALL members residing within the household.

ALL INCOME TAX RETURNS MUST BE SIGNED. Applications will be returned if signatures are missing.
3. If someone is residing in your home and is not employed but has income from another source, you **MUST** include their total income in "Part 5: Income Sources" section. Additional household members' income detail must also be provided Part 9: Household Occupants.
4. If you completed the section of the application indicating you have severe and unavoidable expenses, you must provide copies of documents verifying these expenses. This does not include everyday living expenses.
5. The application must be legible. If you need or want to provide additional information, please attach separate sheet(s), do not write in the margins of the application.
6. Do not submit originals of supporting documentation. We are required to keep all documentation for our records in the event of audit by the Michigan Department of Treasury.
7. If the application is (1) incomplete, (2) you do not include copies of the required financial documents, or (3) income tax returns are not signed the application may be considered ineligible for a hardship/poverty reduction.

GENOA CHARTER TOWNSHIP AUTHORIZATION TO VERIFY POVERTY
APPLICATION DATA AND TO INSPECT PROPERTY
(2022 Application)

PLEASE READ CAREFULLY:

Parcel Number: _____

Property Address: _____

I/We, _____, am unable to pay the full property taxes on my/our property and hereby make application for property tax relief in accordance with Section 211.7(u)MCL. I/We have read this application and the Poverty Exemption Guidelines and I/We fully understand the contents thereof. I/We declare that the statements made herein are complete, true, and correct to the best of my/our knowledge. I/We further understand that if any information contained herein is found to be false or incomplete, or if the property is sold within the year, any and all relief granted by this application will be forfeited and placed back on the assessment roll with penalties and interest occurring on the additional tax liability.

All information accompanying and contained in this application shall be considered public record. By submitting this application and all supporting documentation you hereby waive all rights and expectations of confidentiality. All Board of Review proceedings and documentation are subject to the provisions of the Michigan Open Meetings Act.

I/We also authorize a representative of the Genoa Charter Township Assessing Staff to physically inspect my/our property at some point during the course of this year to ensure accuracy of the property appraisal record card.

APPLICANT SIGNATURE _____ DATE _____

SPOUSE SIGNATURE _____ DATE _____

OTHER OCCUPANT SIGNATURE _____ DATE _____

OTHER OCCUPANT SIGNATURE _____ DATE _____

OTHER OCCUPANT SIGNATURE _____ DATE _____

OTHER OCCUPANT SIGNATURE _____ DATE _____

OTHER OCCUPANT SIGNATURE _____ DATE _____

**GENOA CHARTER TOWNSHIP
WAIVER OF CONFIDENTIALITY
(2022 application)**

Parcel Number: _____

Property Address: _____

I/we, _____, hereby consent to the examination of copies of my tax returns and related financial documents, including but not limited to those listed below, by the Genoa Charter Township Assessor and/or her designated agent and by the members of the Genoa Charter Township:

- Federal Income Tax Returns
- Michigan Income Tax Returns
- Senior Citizens Homestead Property Tax Form
- General Homestead Property Tax Claim Form
- Statements from Social Security Administration

Furthermore, I consent to the discussion of the information contained in my tax returns and related financial documents at a duly convened public meeting of the Genoa Charter Township Board of Review. By signing this Waiver of Confidentiality, I understand and acknowledge that I am forever giving up any and all possible claims I may have relative to the disclosure of information contained in said tax returns and related financial documents, which claims may arise pursuant to Internal Revenue Code Section 6103, and/or any other Federal, State or local statute or regulation.

All information accompanying and contained in this application shall be considered public record. By submitting this application and all supporting documentation you hereby waive all rights and expectations of confidentiality. All Board of Review proceedings and documentation are subject to the provisions of the Michigan Open Meetings Act.

I have read this document in its entirety and sign this document of my own free will.

APPLICANT SIGNATURE _____ DATE _____



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

The following enclosure states the guidelines and instructions for Poverty Exemptions as set forth by Genoa Charter Township. An application for "One Year Poverty Exemption" for your completion and execution is provided.

PLEASE READ ALL INSTRUCTIONS CAREFULLY

Even if you were granted an exemption for poverty in previous years you are still required to **answer all questions in their entirety and submit copies of all requested documentation along with your application.** You may use additional sheets for explanation when it is necessary. A submission that is incomplete or does not meet the standards required by Genoa Charter Township's Assessor may affect the determination by the Board of Review.

Please return your application and the required documentation to the Assessor's Office by the specified date. A personal appearance before the Board is **NOT** necessary to have you application considered. However, on short notice the Board of Review may request an applicant to appear.

Any resident needing assistance in preparing and filling out the Poverty application or has questions on the required documentation please contact the Assessor's Office.

Sincerely,
Genoa Charter Township Assessor

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

INSTRUCTIONS FOR POVERTY EXEMPTION

The application for One Year Poverty Exemption is in keeping with the requirements of the State Law. Please read these instructions carefully. To be considered for a Poverty Exemption, please include the following information:

1. Complete all sections of the application and sign the application
2. Submit completed and signed copy of the following for **each owner**:
 - a. Current or prior year Michigan Homestead Property Tax Credit Claim (MI 1040 CR)
 - b. Current or prior year Federal Income Tax Return (1040), if you are required to file federal income tax, include all schedules and attachments.
 - c. Current or prior year Federal Income Tax Return (1040) for all other occupants residing in your home.
3. If applicant or any other person residing in the residence was not required to file a federal or state income tax return for the current or preceding tax year, a Michigan Department of Treasury Poverty Exemption Affidavit must accompany the Application for Poverty Exemption for all persons residing in the residence. Copies of the Poverty Affidavit are available on the Michigan Department of Treasury website.
4. If a family member or other persons live in your home, regardless of their employment status, has income from another source you must show the income as "Household Income of Dependent's and All Other Persons Living in the Residence". It must also be included in the Total Household Income for the Prior Year.
5. The application must be legible. Please do not write in the margins of the page if you need additional space, attach a separate sheet.
6. If the application is incomplete or you do not include copies of the required financial documents, the lack of information may affect the determination of your claim for a poverty exemption by the Board of Review.

RETURN THE ORIGINAL APPLICATION AND THE REQUIRED DOCUMENTATION AFTER JANUARY 1ST OF EACH YEAR AND NO LATER THEN ONE DAY PRECEEDING THE CONVENING OF THE BOARD OF REVIEW.

Poverty Exemption 2022 Checklist

Below is a checklist of items needed for the local Board of Review to make an accurate decision about your

Application for Poverty Exemption.

Note: Provide proofs for yourself, spouse, and all OTHERS that are living in the home.

- Completed application for Poverty Exemption.
- Completed Income for each owner/occupant in the home 18 years or older. This shall include any income generated by the owner or any household members who are operating a business from the home or the property of which an application is being submitted.
- Current 2021 State & Federal Income Tax Returns for each owner/occupant in the home 18 years or older, or Poverty Exemption affidavit, Form 4988.
- Most recent three (3) months of all bank statements and credit card statements for each owner/occupant in the home.
- Documentation for all income sources including, but not limited to credits, claims, Social Security Income, child support, alimony income, bridge cards, student loans, scholarships, grants, pension- I099 statements, regular or periodic gifts, rental income and all other income sources.
- Copy of Driver's License or State issued I.D card (front & back) for all household members
- If applicable, a written explanation of why any person(s) in the home 18 or over are not contributing to the income and expenses of the property.
- If applicable, a written explanation of why ones expenses exceed their income, *excluding* property taxes.
- If applicable, most recent home mortgage, second mortgage, equity loan statements.

Application for MCL 211.7u Poverty Exemption

This form is issued under the authority of the General Property Tax Act, Public Act 206 of 1893, MCL 211.7u.

MCL 211.7u of the General Property Tax Act, Public Act 206 of 1893, provides a property tax exemption for the principal residence of persons who, by reason of poverty, are unable to contribute toward the public charges. This application is to be used to apply for the exemption and must be filed with the Board of Review where the property is located. This application may be submitted to the city or township the property is located in each year on or after January 1.

To be considered complete, this application must: 1) be completed in its entirety, 2) include information regarding all members residing within the household, and 3) include all required documentation as listed within the application. Please write legibly and attach additional pages as necessary.

PART 1: PERSONAL INFORMATION — Petitioner must list all required personal information.				
Petitioner's Name			Daytime Phone Number	
Age of Petitioner	Marital Status	Age of Spouse	Number of Legal Dependents	
Property Address of Principal Residence		City	State	ZIP Code
<input type="checkbox"/> Check if applied for Homestead Property Tax Credit		Amount of Homestead Property Tax Credit		
PART 2: REAL ESTATE INFORMATION				
List the real estate information related to your principal residence. Be prepared to provide a deed, land contract or other evidence of ownership of the property at the Board of Review meeting.				
Property Parcel Code Number		Name of Mortgage Company		
Unpaid Balance Owed on Principal Residence	Monthly Payment	Length of Time at this Residence		
Property Description				
PART 3: ADDITIONAL PROPERTY INFORMATION				
List information related to any other property owned by you or any member residing in the household.				
<input type="checkbox"/> Check if you own, or are buying, other property. If checked, complete the information below.			Amount of Income Earned from other Property	
1	Property Address	City	State	ZIP Code
	Name of Owner(s)	Assessed Value	Date of Last Taxes Paid	Amount of Taxes Paid
2	Property Address	City	State	ZIP Code
	Name of Owner(s)	Assessed Value	Date of Last Taxes Paid	Amount of Taxes Paid

Continue on Page 2

PART 4: EMPLOYMENT INFORMATION — List your current employment information.

Name of Employer			
Address of Employer	City	State	ZIP Code
Contact Person	Employer Telephone Number		

PART 5: INCOME SOURCES

List all income sources, including but not limited to: salaries, Social Security, rents, pensions, IRAs (individual retirement accounts), unemployment compensation, disability, government pensions, worker's compensation, dividends, claims and judgments from lawsuits, alimony, child support, friend or family contribution, reverse mortgage, or any other source of income, for all persons residing at the property.

Source of Income	Monthly or Annual Income (indicate which)

PART 6: CHECKING, SAVINGS AND INVESTMENT INFORMATION

List any and all savings owned by all household members, including but not limited to: checking accounts, savings accounts, postal savings, credit union shares, certificates of deposit, cash, stocks, bonds, or similar investments, for all persons residing at the property.

Name of Financial Institution or Investments	Amount on Deposit	Current Interest Rate	Name on Account	Value of Investment

PART 7: LIFE INSURANCE — List all policies held by all household members.

Name of Insured	Amount of Policy	Monthly Payments	Policy Paid in Full	Name of Beneficiary	Relationship to Insured

PART 8: MOTOR VEHICLE INFORMATION

All motor vehicles (including motorcycles, motor homes, camper trailers, etc.) held or owned by any person residing within the household must be listed.

Make	Year	Monthly Payment	Balance Owed

PART 9: HOUSEHOLD OCCUPANTS — List all persons living in the household.				
First and Last Name	Age	Relationship to Applicant	Place of Employment	\$ Contribution to Family Income

PART 10: PERSONAL DEBT — List all personal debt for all household members.					
Creditor	Purpose of Debt	Date of Debt	Original Balance	Monthly Payment	Balance Owed

PART 11: MONTHLY EXPENSE INFORMATION			
The amount of monthly expenses related to the principal residence for each category must be listed. Indicate N/A as necessary.			
Heating	Electric	Water	Phone
Cable	Food	Clothing	Health Insurance
Garbage	Daycare	Car Expense (gas, repair, etc.)	
Other (type and amount)	Other (type and amount)	Other (type and amount)	
Other (type and amount)	Other (type and amount)	Other (type and amount)	

Continue and sign on Page 4

NOTICE: Per MCL 211.7u(2)(b), federal and state income tax returns for all persons residing in the principal residence, including any property tax credit returns, filed in the immediately preceding year or in the current year must be submitted with this application. Federal and state income tax returns are not required for a person residing in the principal residence if that person was not required to file a federal or state income tax return in the tax year in which the exemption under this section is claimed or in the immediately preceding tax year.

PART 11: POLICY AND GUIDELINES ACKNOWLEDGMENT

The governing body of the local assessing unit shall determine and make available to the public the policy and guidelines used for the granting of exemptions under MCL 211.7u. In order to be eligible for the exemption, the applicant must meet the federal poverty guidelines published in the prior calendar year in the Federal Register by the United States Department of Health and Human Services under its authority to revise the poverty line under 42 USC 9902, or alternative guidelines adopted by the governing body of the local assessing unit so long as the alternative guidelines do not provide income eligibility requirements less than the federal guidelines. The policy and guidelines must include, but are not limited to, the specific income and asset levels of the claimant and total household income and assets. The combined assets of all persons must not exceed the limits set forth in the guidelines adopted by the local assessing unit.

The applicant has reviewed the applicable policy and guidelines adopted by the city or township, including the specific income and asset levels of the claimant and total household income and assets.

PART 12: CERTIFICATION

I hereby certify to the best of my knowledge that the information provided in this form is complete, accurate and I am eligible for the exemption from property taxes pursuant to Michigan Compiled Law, Section 211.7u.

Printed Name	Signature	Date
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This application shall be filed after January 1, but before the day prior to the last day of the local unit's December Board of Review.

Decision of the March Board of Review may be appealed by petition to the Michigan Tax Tribunal by July 31 of the current year. A July or December Board of Review decision may be appealed to the Michigan Tax Tribunal by petition within 35 days of decision. A copy of the Board of Review decision must be included with the petition.

Michigan Tax Tribunal
 PO Box 30232
 Lansing MI 48909

Phone: 517-335-9760
 E-mail: taxtrib@michigan.gov

Poverty Exemption Affidavit

This form is issued under authority of Public Act 206 of 1893; MCL 211.7u.

INSTRUCTIONS: When completed, this document must accompany a taxpayer's Application for Poverty Exemption filed with the supervisor or the board of review of the local unit where the property is located. MCL 211.7u provides for a whole or partial property tax exemption on the principal residence of an owner of the property by reason of poverty and the inability to contribute toward the public charges. MCL 211.7u(2)(b) requires proof of eligibility for the exemption be provided to the board of review by supplying copies of federal and state income tax returns for all persons residing in the principal residence, including property tax credit returns, or by filing an affidavit for all persons residing in the residence who were not required to file federal or state income tax returns for the current or preceding tax year.

I, _____, swear and affirm by my signature below that I reside in the principal residence that is the subject of this Application for Poverty Exemption and that for the current tax year and the preceding tax year, I was not required to file a federal or state income tax return.

Address of Principal Residence: _____

Signature of Person Making Affidavit

Date

Affirmation of Ownership and Occupancy to Remain Exempt by Reason of Poverty

This form is issued under the authority of Public Act 253 of 2020.

This form is to be used to affirm ownership, occupancy, and income status. MCL 211.7u(2) provides that, to be eligible for exemption under this section, a person shall, subject to subsection (6) and (8), annually affirm that the applicant owns and occupies, as a principal residence, the property for which an exemption is requested.

PART 1: OWNER INFORMATION — Enter information for the person owning and occupying the residence.			
Owner Name		Owner Telephone Number	
Mailing Address	City	State	ZIP Code
PART 2: LEGAL DESIGNEE INFORMATION (Complete if applicable.)			
Legal Designee Name		Daytime Telephone Number	
Mailing Address	City	State	ZIP Code
PART 3: HOMESTEAD PROPERTY INFORMATION — Enter information for property in which the exemption is being claimed.			
City or Township (check the appropriate box and enter name) <input type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village		County	
Name of Local School District			
Parcel Identification Number		Year(s) Exemption Previously Granted by Board of Review	
Homestead Property Address	City	State	ZIP Code
PART 4: AFFIRMATION OF OWNERSHIP, OCCUPANCY, AND INCOME STATUS (Check all boxes that apply.)			
<input type="checkbox"/> I own the property in which the exemption is being claimed. <input type="checkbox"/> The property in which the exemption is being claimed is used as my homestead. Homestead is generally defined as any dwelling with its land and buildings where a family makes its home. <input type="checkbox"/> After establishing initial eligibility for the exemption, my income and asset status has remained unchanged and/or I receive a fixed income solely from public assistance that is not subject to significant annual increases beyond the rate of inflation, such as federal Supplemental Security Income or Social Security disability or retirement benefits.			
PART 5: CERTIFICATION			
I hereby certify to the best of my knowledge that the information provided on this form is true and I am eligible to receive an exemption from property taxes by reason of poverty pursuant to Michigan Compiled Law, Section 211.7u.			
Owner or Legal Designee Name (print)		Signature of Owner or Legal Designee	Date
Designee must attach a letter of authority.			
LOCAL GOVERNMENT USE ONLY (DO NOT WRITE BELOW THIS LINE)			
<input type="checkbox"/> Approved <input type="checkbox"/> Denied (Attach appeal instructions and provide to owner.)		Tax Year(s) exemption will be posted to tax roll	
CERTIFICATION — I certify that, to the best of my knowledge, the information contained in this form is complete and accurate.			
Assessor Signature		Date Certified by Assessor	

Genoa Charter Township Application for MCL 211.7u Poverty Exemption: Additional Information

Part 1: Personal Information	
Petitioner's E-mail Address: _____	
Are you currently incarcerated? Yes ____ No ____	If yes, what is your anticipated release date? _____
Have you requested (or are currently) receiving other government assistance	Yes _____ No _____
If yes, please detail the monetary assistance received.	Amount _____ Type _____
If you have college aged children, are you contributing to their college costs?	Amount _____ Frequency (Monthly, Yearly ETC) _____
Are you or members of your household recently unemployed?	Yes ____ No _____
If yes, please indicate when first placed on unemployment	Month _____ Day _____ Year _____
How long is the unemployment assistance expected to last?	Weeks _____

Part 2: Real Estate Information	
Is any part of the property being leased or used for business purposes? Yes ____ No ____	
Purchase Date: _____	Purchase Price: _____
Was property purchased within the last 3 years? Yes ____ No ____	
If yes, attach documents used to qualify mortgage, or if no mortgage, explain why was money not set aside for taxes? _____	
Do you own the property free and clear? Yes ____ No ____	
Are property taxes included in monthly mortgage payment? Yes _____ No _____	
Are property taxes current? Yes _____ No _____	
If no, amount that is past due \$ _____	
Tax Year(s) Past Due: _____	
Season: Winter _____ Summer _____ Both _____	
Have any improvements, changes, or additions been made to the property in the last two (2) years? Yes _____ No _____	
Improvement(s) made: _____	
Cost: _____	

Part 3: Additional Property Information

List information related to any other property owned by you or any member residing in the household

1.)

Complete Property Address:

Name of Owner(s):

Assessed Value:

Date of Last Taxes Paid:

Amount of Last Taxes Paid:

2.)

Complete Property Address:

Name of Owner(s):

Assessed Value:

Date of Last Taxes Paid:

Amount of Last Taxes Paid:

Part 4: Additional Employment Information

Name of Employer:

Complete Address:

Contact Person:

Employer Phone Number:

Part 5 Income Sources

Source of Income	Amount of Income	Monthly or Annual (indicate which)
1.)		
2.)		
3.)		
4.)		

Part 6: Checking, Savings and Investment Information

Name of Financial Institution	Amount on Deposit	Current Interest Rate	Name(s) on Account	Value of Investment
1.)				
2.)				
3.)				

Part 8: Motor Vehicle Information				
Make	Model	Year	Monthly Payment	Balanced Owed
1.)				
2.)				
3.)				
4.)				

Part 10: Personal Debt					
Creditor	Purpose of Debt	Date of Debt	Original Balance	Monthly Payment	Balanced Owed
1.)					
2.)					
3.)					
4.)					
5.)					

Part 11: Monthly Expense Information		
Other	Type	Amount
1.)		
2.)		

Board Correspondence

To Board 12/06/21



November 29, 2021

T2 P1 224*****AUTO**MIXED AADC 480

Genoa Township
2911 Dorr Road
Brighton, MI 48116-9436



Re: Charter Communications - Upcoming Changes

Dear Franchise Official:

Spectrum Mid-America, LLC ("Spectrum"), locally known as Spectrum, has been informed of the following changes to the Livingston, MI channel lineup serving your community effective on or around December 31, 2021:

- DIY Network on Spectrum Basic will rebrand from **DIY Network** to the **Magnolia Channel**.
- Bulldog Shopping Network on Spectrum Basic will rebrand from **Bulldog Shopping Network** to **Victory Channel**.
- **NBC Sports Network** on Spectrum Basic will cease operation.

To view a current Spectrum channel lineup visit www.spectrum.com/channels.

If you should have any questions about this change, please feel free to contact me at (810) 652-1422.

Sincerely,

Karen Coronado

Karen Coronado
Manager, State Government Affairs, Michigan
Charter Communications



To Board 12/66/21

November 11, 2021

Ms. Polly Skolarus, Clerk
Township of Genoa
2911 Dorr Rd.
Brighton, MI 48116

RE: Important Information—Price Changes

Dear Ms. Skolarus,

At Comcast, we are always committed to delivering the entertainment and services that matter most to our customers in Genoa, as well as exciting experiences they won't find anywhere else. We are also focused on making our network stronger in order to meet our customers' current needs and future demands. As we continue to invest in our network, products, and services, the cost of doing business rises. Rising programming costs, most notably for broadcast TV and sports, continue to be the biggest factors driving price increases. While we absorb some of these costs, these fee increases affect service pricing. As a result, starting January 1, 2022, prices for certain services and fees will be increasing, including the Broadcast TV Fee and the Regional Sports Network Fee. Please see the enclosed Customer Notice for more information.

We know you may have questions about these changes. Please feel free to contact me at 734-359-2308 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Kyle V. Mazurek".

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170

Enclosure

Important information regarding your Xfinity services and pricing

Effective January 1, 2022

Xfinity TV	Current	New
Digital Starter	\$62.45	\$65.45
Entertainment	\$15.00	\$17.00
Choice TV Select	\$30.00	\$32.50
Choice TV Select - - with TV Box (Flex upgrade)	\$37.50	\$41.00
Broadcast TV Fee	\$14.85	\$14.80
Regional Sports Fee	\$9.10	\$9.50
Service to Additional TV	\$7.50	\$8.50

Xfinity Internet	Current	New
Connect	\$56.00	\$59.00
Connect More	\$76.00	\$79.00
Fast	\$86.00	\$89.00
Superfast	\$96.00	\$99.00
Ultrafast	\$106.00	\$109.00
Gigabit Extra	\$116.00	\$119.00

Xfinity Equipment	Current	New
TV Box	\$7.50	\$8.50

10 Board 12/04/2021



Livingston County Department of Planning

2022 MEETING SCHEDULE LIVINGSTON COUNTY PLANNING COMMISSION

Livingston County Planning Commission meetings are held at 6:30 p.m. on the third Wednesday of every month. The meeting location is:

Kathleen J. Kline-Hudson
AICP, PEM
Director

Livingston County Administration Building
304 E. Grand River Avenue, Howell, Michigan
Board of Commissioner's Chambers (Upper Floor)

Robert A. Stanford
AICP, PEM
Principal Planner

Please note that County Planning Commissioners and County Planning staff currently meet in-person in the County Board meeting chambers noted above. Audience participants are welcome to attend in-person or via Zoom (the Zoom link is included on all meeting agendas).

Scott Barb
AICP, PEM
Principal Planner

Livingston County will provide necessary and reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting, to individuals with disabilities at the meeting/hearing upon a ten day notice to the Department of Planning. Any questions or concerns should be directed to the County Planning Department office: Telephone (517) 546-7555.

Meeting Date	Deadline Date for Receipt of Amendments (2 weeks prior to meeting date)
January 19, 2022	January 5, 2022
February 16, 2022	February 2, 2022
March 16, 2022	March 2, 2022
April 20, 2022	April 6, 2022
May 18, 2022	May 4, 2022
June 15, 2022	June 1, 2022
July 20, 2022	July 6, 2022
August 17, 2022	August 3, 2022
September 21, 2022	September 7, 2022
October 19, 2022	October 5, 2022
November 16, 2022	November 2, 2022
December 21, 2022	December 7, 2022

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

•
(517) 546-7555
Fax (517) 552-2347

•
Web Site
livgov.com

Michigan Department of Treasury
4886 (Rev. 09-21)


City, Village, and Township Revenue Sharing and County Incentive Program Certification

Issued under authority of 2021 Public Act 87. Filing is mandatory to qualify for payments.

Each city/village/township/county applying for City, Village, and Township Revenue Sharing or County Incentive Program payments must:

1. Certify to the Michigan Department of Treasury (Treasury) that the local unit listed below has produced and made available to the public a Citizen's Guide, a Performance Dashboard, a Debt Service Report, and a Projected Budget Report as required by 2021 Public Act 87. The local unit must include in any mailing of general information to its citizens, the Internet website address or the physical location where all the documents are available for public viewing in the clerk's office.
2. Submit to Treasury a Citizen's Guide, a Performance Dashboard, a Debt Service Report, and a Projected Budget Report.

This certification, along with a Citizen's Guide, a Performance Dashboard, a Debt Service Report, and a Projected Budget Report, **must be received by December 1, 2021**, (or the first day of a payment month) in order to qualify for that month's payment. Postmark dates will not be considered. For questions, call 517-335-7484.

PART 1: LOCAL UNIT INFORMATION			
Local Unit Name THE CHARTER TOWNSHIP OF GENOA		Local Unit County Name LIVINGSTON	
Local Unit Code 47-1050		Contact E-Mail Address info@genoa.org	
Contact Name ROBIN HUNT	Contact Title TREASURER	Contact Telephone Number (810) 227-5225	Extension
Website Address, if reports are available online https://www.genoa.org		Current Fiscal Year End Date 3/31/2022	
PART 2: CITIZEN'S GUIDE			
Check any of the following that apply:			
<input type="checkbox"/> The local unit has elected to use Treasury's online Citizen's Guide to comply with the legislative requirements. Therefore, a copy of the Citizen's Guide will not be submitted to Treasury.			
<input type="checkbox"/> The local unit does not have any unfunded liabilities (pensions or other postemployment benefits (OPEB)).			
PART 3: CERTIFICATION			
<i>In accordance with 2021 Public Act 87, the undersigned hereby certifies to Treasury that the above mentioned local unit 1) has produced a Citizen's Guide, a Performance Dashboard, a Debt Service Report, and a Projected Budget Report and 2) will include in any mailing of general information to our citizens, the Internet website address or the physical location where all the documents are available for public viewing in the clerk's office. The Citizen's Guide, Performance Dashboard, Debt Service Report, and Projected Budget Report are attached to this signed certification, unless otherwise noted in Part 2.</i>			
Chief Administrative Officer Signature (as defined in MCL 141.422b) 		Printed Name of Chief Administrative Officer (as defined in MCL 141.422b) MICHAEL ARCHINAL	
Title TOWNSHIP MANAGER		Date 11/04/2021	

Completed and signed form (including required attachments) should be e-mailed to: **TreasRevenueSharing@michigan.gov**. If you are unable to submit via e-mail, fax to 517-335-3298 or mail the completed form and required attachments to:

Michigan Department of Treasury
Revenue Sharing and Grants Division
PO Box 30722
Lansing MI 48909

TREASURY USE ONLY		
CVTRS/CIP Eligible Y N	Certification Received	Citizen's Guide Received
Performance Dashboard Received	Debt Service Report Received	Projected Budget Report Received
Final Certification	CVTRS/CIP Notes	

Performance Dashboard

Local Unit Name: The Charter Township of Genoa	
Local Unit Code: 47-1050	

	2020	2021	Trend	Performance
Fiscal Stability				
Annual Governmental Funds' expenditures per capita	\$409	\$397	→ -2.9%	Neutral
Fund Balance as % of annual Governmental Funds' expenditures	122.8%	132.5%	↑ 8.0%	Positive
Net pension liability, as a % of annual Government Funds' revenue	0.976%	0.951%	→ -2.5%	Neutral
Debt burden per capita	\$281	\$248	↓ -11.8%	Positive
Number of services delivered via cooperative venture	9	9	→ 0.0%	Neutral
Economic Strength				
% of community with access to high speed broadband	100%	100%	→ 0.0%	Neutral
% of community age 25+ with Bachelor's degree or higher	40%	41%	→ 3.5%	Neutral
Average age of critical infrastructure (years)	12.4	13.0	→ 4.9%	Neutral
Public Safety				
Violent crimes against people per thousand	4.7	4.9	→ 3.7%	Neutral
Property crimes per thousand	15.0	15.8	↑ 5.0%	Negative
Traffic injuries or fatalities	90.0	50.0	↓ -44.4%	Positive
Quality of Life				
Miles of sidewalks and non-motorized paths/trails as a factor of total miles of local/major roads & streets	13.00%	14.50% 13.00%	→ 0.0%	Neutral
Ratio of Parks and Recreation Expenditures to Governmental Funds' Revenue	5.16%	7.20%	↑ 39.5%	Positive
Percent of community being provided with curbside recycling	100%	100%	→ 0.0%	Neutral

Projected Budget Report

Local Unit Name: Local Unit Code: Current Fiscal Year End Date: Fund Name:	Charter Township of Genoa - Livingston County, MI 47-1050 3/31/2022 General
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	Fiscal Year 3/31/2022 Budget	Percentage Change	Projected Fiscal Year 3/31/2023 Budget	Assumptions
REVENUES	\$ 4,758,000	2.00 %	\$ 4,853,160	Estimated increases in taxable value and population and miscellaneous known facts about individual accounts are used to project the fiscal year 2023 budget.
EXPENDITURES	\$ 3,796,533	2.00 %	\$ 3,872,464	
Excess of revenues over (under) expenditures	\$ 961,467		\$ 980,696	
Other Financing Sources (Uses)				
Transfers in	\$ -	- %	\$ -	
Transfers (out)	\$ (1,700,000)	2.00 %	\$ (1,734,000)	
Net change in fund balance	\$ (738,533)		\$ (753,304)	
Fund balance at beginning of year	\$ 3,277,884		\$ 2,539,351	
Fund balance at end of year	\$ 2,539,351		\$ 1,786,047	

Commentary:

Debt Service Report

Local Unit Name: Charter Township of Genoa - Livingston County, MI
Local Unit Code: 47-1050
Current Fiscal Year End Date: 3/31/2022

Debt Name: Bond Premium on Oak Pointe Sewer System project, Series 2014
Issuance Date: 8/7/2014
Issuance Amount: \$91,360
Debt Instrument (or Type): Bond
Repayment Source(s): Special assessments

Years Ending	Premium Amortization	Bond Premium Balance
3/31/2022	\$ 4,153	\$ 59,521
3/31/2023	\$ 4,153	\$ 55,368
3/31/2024	\$ 4,153	\$ 51,215
3/31/2025	\$ 4,153	\$ 47,062
3/31/2026	\$ 4,153	\$ 42,909
3/31/2027	\$ 4,153	\$ 38,756
3/31/2028	\$ 4,153	\$ 34,603
3/31/2029	\$ 4,153	\$ 30,450
3/31/2030	\$ 4,153	\$ 26,297
3/31/2031	\$ 4,153	\$ 22,144
3/31/2032	\$ 4,153	\$ 17,991
3/31/2033	\$ 4,153	\$ 13,838
3/31/2034	\$ 4,153	\$ 9,685
3/31/2035	\$ 4,153	\$ 5,532
3/31/2036	\$ 4,153	\$ 1,379
3/31/2037	\$ 1,379	\$ -
Totals	\$ 63,674	

Commentary:
 Original bond premium of \$91,360 is being amortized over 22 years.

Debt Service Report

Local Unit Name: Charter Township of Genoa - Livingston County, MI
Local Unit Code: 47-1050
Current Fiscal Year End Date: 3/31/2022

Debt Name: 2001 Dorr Road Water and Sewer Improvement Project
Issuance Date: 10/1/2001
Issuance Amount: \$770,000
Debt Instrument (or Type): Bond
Repayment Source(s): Special assessments

<u>Years Ending</u>	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
3/31/2022	\$ 45,000	\$ 1,125	\$ 46,125
Totals	\$ 45,000	\$ 1,125	\$ 46,125

Commentary:
 Interest rate: 4% - 5%

Debt Service Report

Local Unit Name: Charter Township of Genoa - Livingston County, MI
Local Unit Code: 47-1050
Current Fiscal Year End Date: 3/31/2022

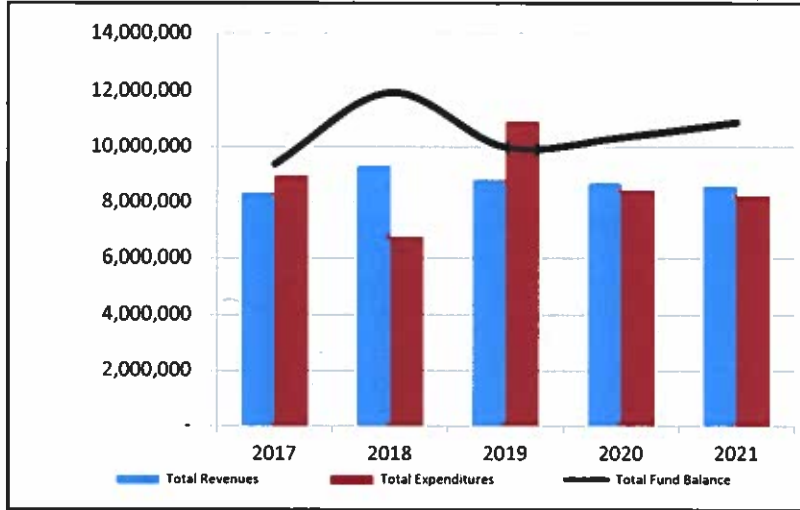
Debt Name: Oak Pointe Sewer System project, Series 2014
Issuance Date: 8/7/2014
Issuance Amount: \$6,000,000
Debt Instrument (or Type): Bond
Repayment Source(s): Special assessments

Years Ending	Principal	Interest	Total
3/31/2022	\$ 230,000	\$ 169,025	\$ 399,025
3/31/2023	\$ 240,000	\$ 164,425	\$ 404,425
3/31/2024	\$ 250,000	\$ 157,225	\$ 407,225
3/31/2025	\$ 260,000	\$ 149,725	\$ 409,725
3/31/2026	\$ 270,000	\$ 141,925	\$ 411,925
3/31/2027	\$ 280,000	\$ 133,925	\$ 413,925
3/31/2028	\$ 290,000	\$ 125,425	\$ 415,425
3/31/2029	\$ 300,000	\$ 116,725	\$ 416,725
3/31/2030	\$ 315,000	\$ 107,725	\$ 422,725
3/31/2031	\$ 325,000	\$ 97,488	\$ 422,488
3/31/2032	\$ 335,000	\$ 86,925	\$ 421,925
3/31/2033	\$ 350,000	\$ 75,200	\$ 425,200
3/31/2034	\$ 365,000	\$ 61,200	\$ 426,200
3/31/2035	\$ 375,000	\$ 46,600	\$ 421,600
3/31/2036	\$ 390,000	\$ 31,600	\$ 421,600
3/31/2037	\$ 400,000	\$ 16,000	\$ 416,000
Totals	\$ 4,975,000	\$ 1,681,138	\$ 6,656,138

Commentary:
 Interest rate: 2% - 4%

CITIZENS' GUIDE TO LOCAL UNIT FINANCES - Genoa Township - Livingston

1. How have we managed our governmental fund resources (fund balance)

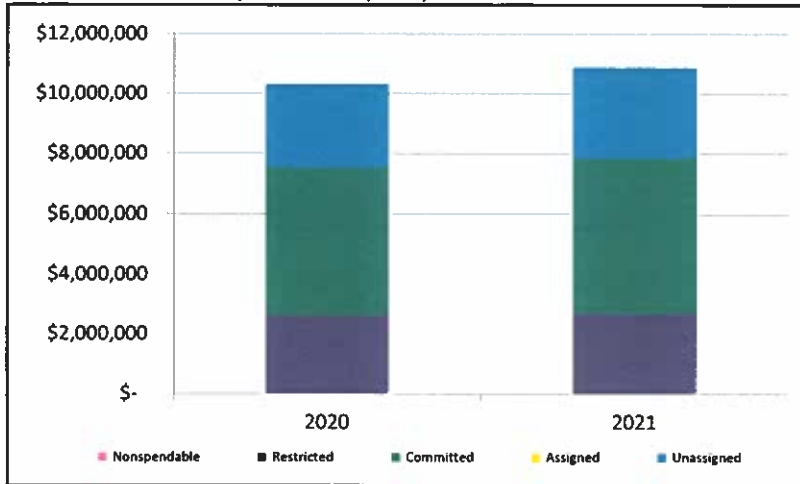


2. Compared to the prior year

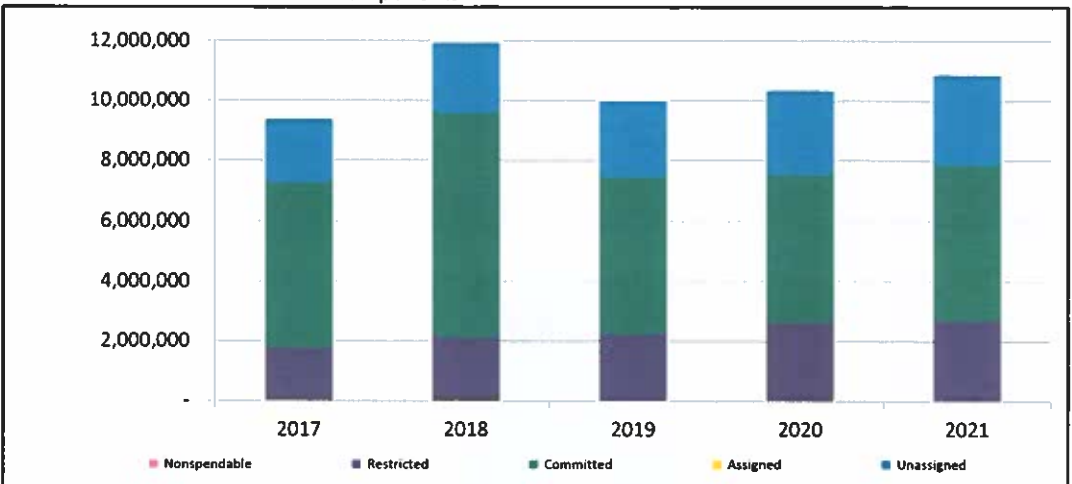
	2020	2021	Change
Revenues	\$ 8,691,208	\$ 8,591,935	-1.14%
Expenditures	\$ 8,424,683	\$ 8,211,514	-2.53%
Surplus (Shortfall)	\$ 266,525	\$ 380,421	42.73%

Fund balance, by component:	2020	2021	Change
Nonspendable	\$ 81,564	\$ 56,057	-31.27%
Restricted	\$ 2,542,396	\$ 2,631,787	3.52%
Committed	\$ 4,897,504	\$ 5,146,524	5.08%
Assigned	\$ -	\$ -	N/A
Unassigned	\$ 2,820,275	\$ 3,047,354	8.05%
Total Fund Balance	\$ 10,341,739	\$ 10,881,722	5.22%

3. Fund balance - compared to the prior year



4. Historical trends of individual components

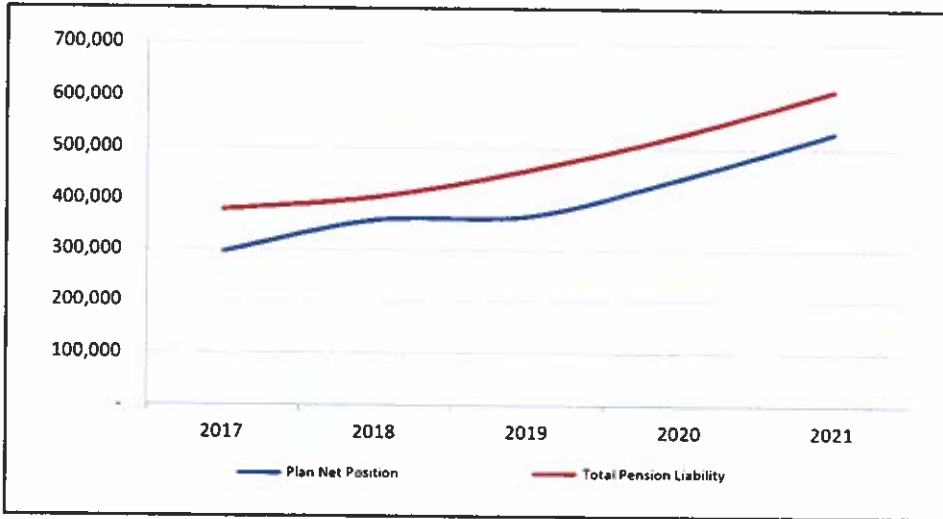


Commentary:

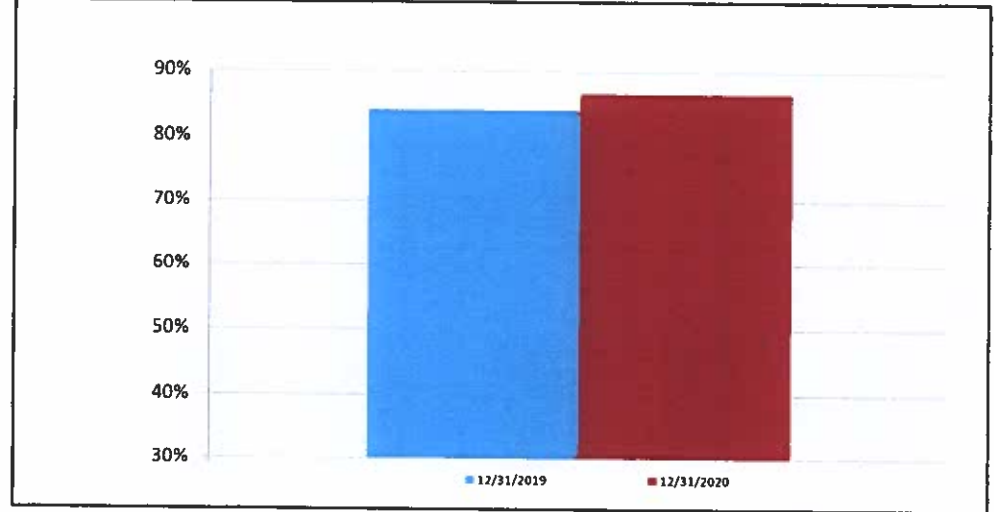
For more information on our unit's finances, contact Robin Hunt at 810-227-5225.

CITIZENS' GUIDE TO LOCAL UNIT FINANCES - Genoa Township - Livingston

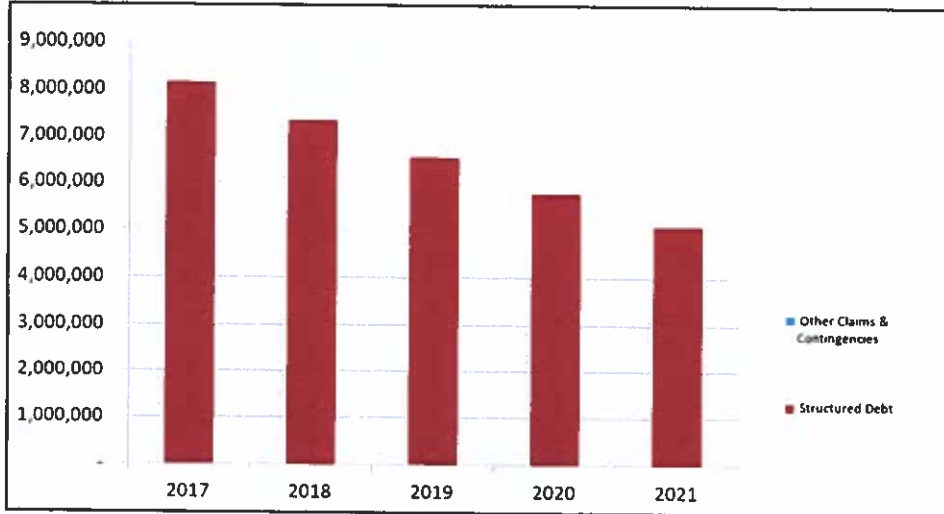
1. Pension status



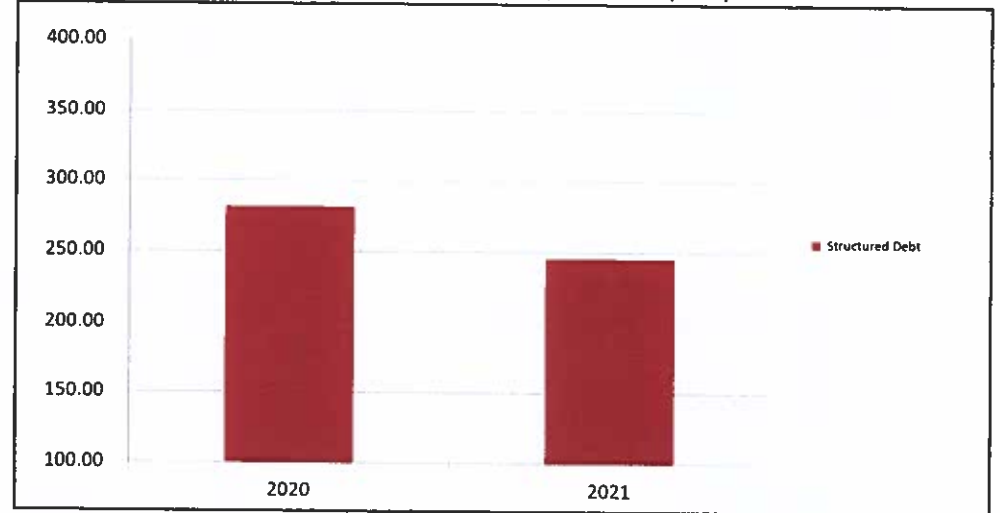
2. Plan net position as a %age of the total pension liability



3. Long Term Debt obligations:



4. Debt & other long term obligations per capita - compared to the prior year



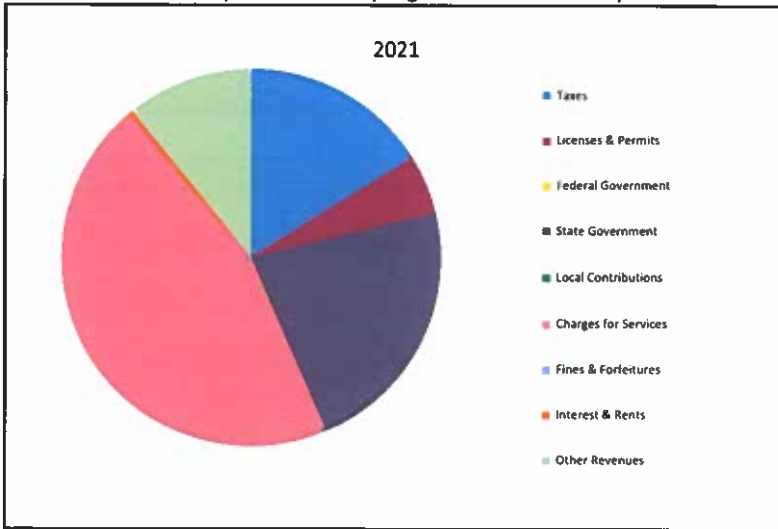
Commentary:

The Township has no Other Post-Employment Benefits (OPEB).

For more information on our unit's finances, contact Robin Hunt at 810-227-5225.

CITIZENS' GUIDE TO LOCAL UNIT FINANCES - Genoa Township - Livingston

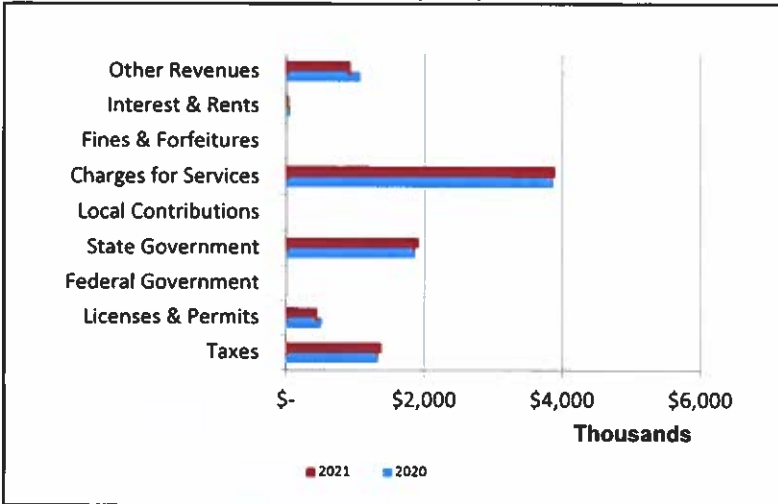
1. Where our money comes from (all governmental funds)



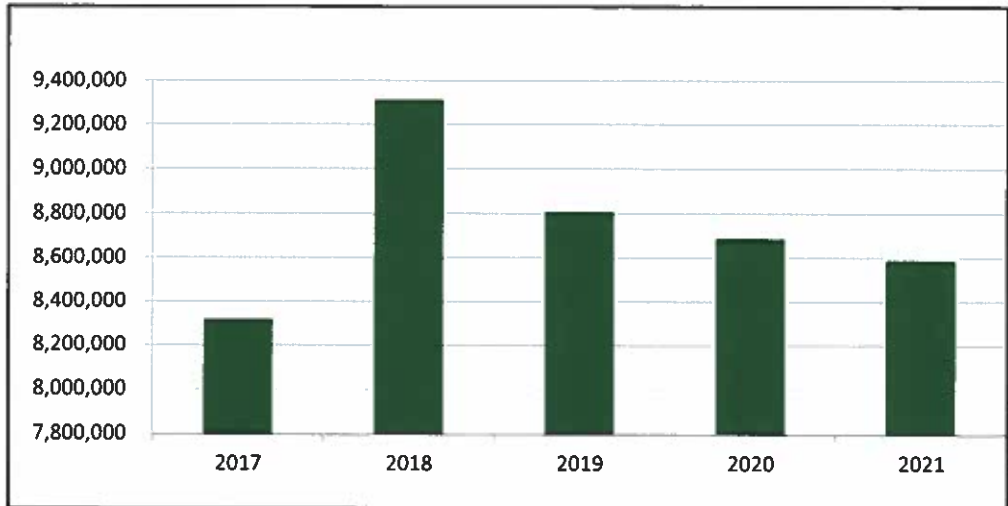
2. Compared to the prior year

	2020	2021	Change
Taxes	\$ 1,332,347	\$ 1,380,794	3.64%
Licenses & Permits	\$ 514,123	\$ 441,257	-14.17%
Federal Government	\$ -	\$ -	N/A
State Government	\$ 1,865,846	\$ 1,910,986	2.42%
Local Contributions	\$ -	\$ -	N/A
Charges for Services	\$ 3,857,026	\$ 3,892,495	0.92%
Fines & Forfeitures	\$ -	\$ -	N/A
Interest & Rents	\$ 58,949	\$ 33,747	-42.75%
Other Revenues	\$ 1,062,917	\$ 932,656	-12.26%
Total Revenues	\$ 8,691,208	\$ 8,591,935	-1.14%

3. Revenue sources - compared to the prior year



4. Historical trends of total revenues



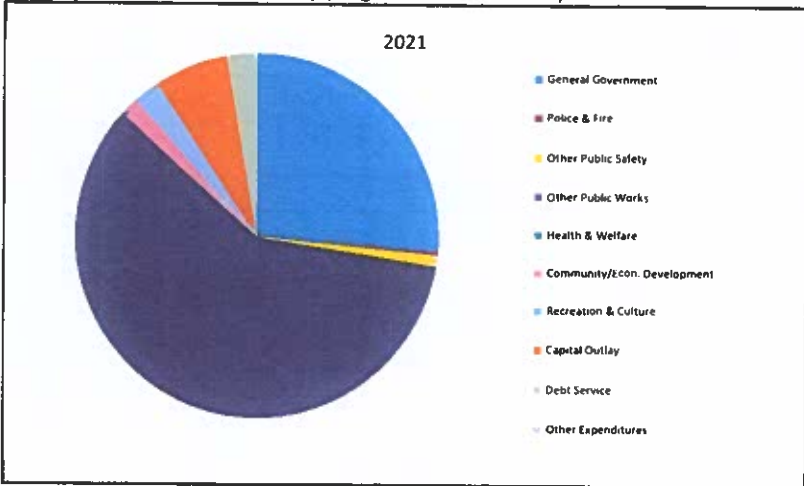
Commentary:

Revenues are shown net of interfund transfers.

For more information on our unit's finances, contact Robin Hunt at 810-227-5225.

CITIZENS' GUIDE TO LOCAL UNIT FINANCES - Genoa Township - Livingston

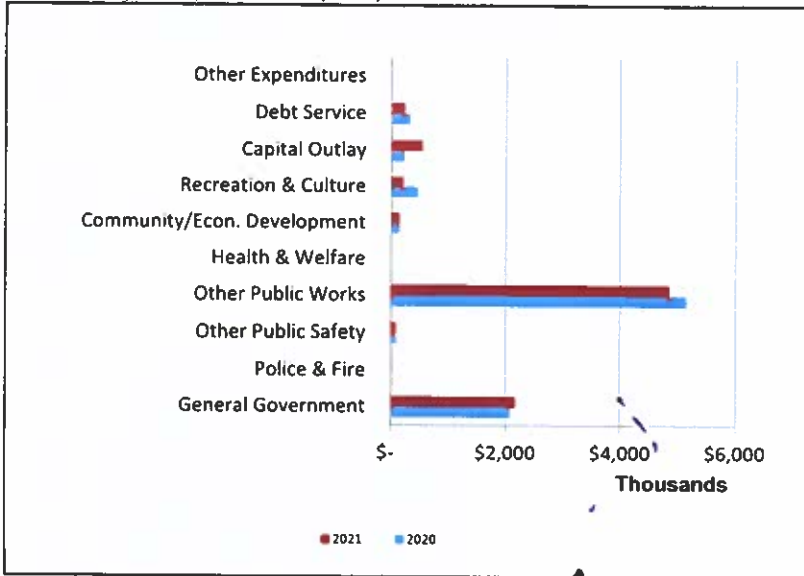
1. Where we spend our money (all governmental funds)



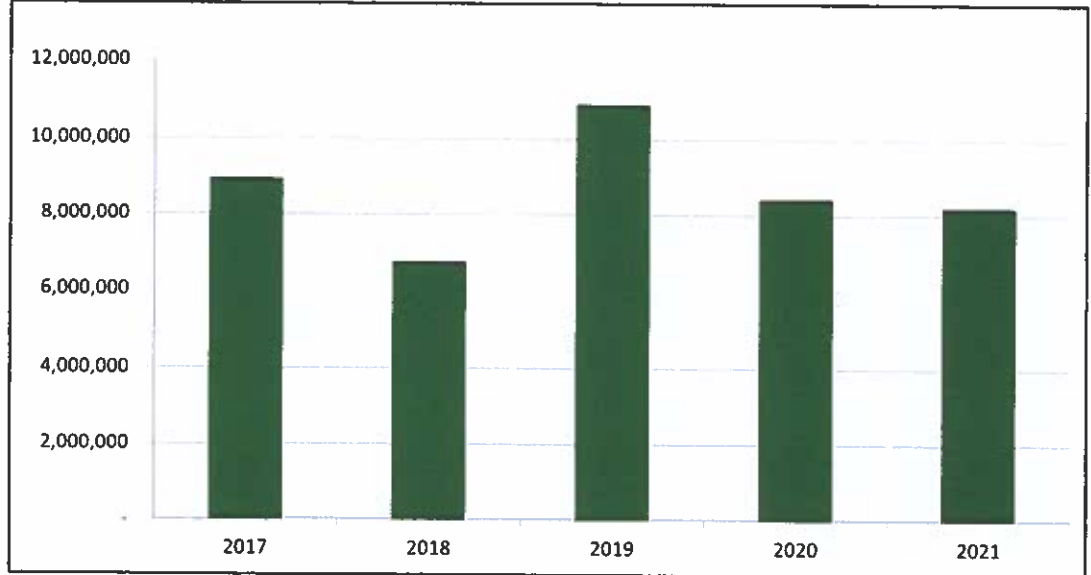
2. Compared to the prior year

	2020	2021	Change
General Government	\$ 2,075,478	\$ 2,165,919	4.36%
Police & Fire	\$ 15,873	\$ 15,873	0.00%
Other Public Safety	\$ 81,998	\$ 84,820	3.44%
Other Public Works	\$ 5,147,115	\$ 4,851,978	-5.73%
Health & Welfare	\$ -	\$ -	N/A
Community/Econ. Development	\$ 137,141	\$ 136,042	-0.80%
Recreation & Culture	\$ 446,913	\$ 194,558	-56.47%
Capital Outlay	\$ 211,892	\$ 538,396	154.09%
Debt Service	\$ 308,273	\$ 223,928	-27.36%
Other Expenditures	\$ -	\$ -	N/A
Total Expenditures	\$ 8,424,683	\$ 8,211,514	-2.53%

3. Spending - compared to the prior year



4. Historical trends of total expenditures



Commentary:

Expenditures are shown net of interfund transfers.

For more information on our unit's finances, contact Robin Hunt at 810-227-5225.