

**GENOA CHARTER TOWNSHIP BOARD**  
**Regular Meeting/Public Hearing - Virtual**  
**May 3, 2021**  
**6:30 p.m.**

Due to Michigan Department of Health and Human Services requirements and by local declaration of emergency, this meeting will be held virtually. The public may participate in the meeting/public hearing through Zoom access by computer and smart phone. A link will be posted at [genoa.org](http://genoa.org). Please email [info@genoa.org](mailto:info@genoa.org) or call (810) 227-5225 if you have questions.

**AGENDA**

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)\*:

**Consent Agenda:**

1. Payment of Bills: April 5, 2021, April 19, 2021 and May 3, 2021
2. Request to Approve Minutes: March 15, 2021, March 29, 2021, April 5, 2021 and April 19, 2021

**Regular Agenda:**

3. Request from the Township Supervisor for Resolution 210503A declaring a State of Emergency in Genoa Charter Township to allow virtual meetings to comply with the Open Meetings Act. (Roll Call Vote)
4. Request for approval of an Engineering Design Proposal from Tetra Tech for road and storm sewer improvements on Kellogg Road in the amount of \$22,000.
5. Request for approval of an Engineering Design Proposal from Tetra Tech for the installation of a turn lane at the Township Hall in the amount of \$4,000.
6. Request for approval to allow for payment for the criminal defense of the Clerk with regard to Livingston County Board of Canvassers review of Absent Voter Counting Board No. 2 on Nov. 9, 2020.
7. Consideration of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.
  - A. Disposition of Special Use Application
  - B. Disposition of Environmental Impact Assessment (2-16-21)
  - C. Disposition of Site Plan (3-25-21)

8. Consideration of Resolution 210503B supporting and authorizing the 2021 Michigan Natural Resources Trust Fund Acquisition Grant application for the project entitled "Genoa Township Park Expansion" for acquisition of land adjacent to the existing Township Park consisting of approximately 90 acres of property (parcel ID#s 4711-14-300-018, 4711-14-400-006 and 4711-23-100-001) located along the north and south sides of Crooked Lake Road, south/southwest of I-96, east of Dorr Road, and north of Challis Road. (Roll Call Vote)

9. Consideration of Resolution 210503C to endorse the application of Sun Sylvan Glen LLC to continue the operation, maintenance, and administrative responsibilities for the drinking water system at Sylvan Glen Estates. (Roll Call Vote)

10. Request for approval of a preliminary condominium site plan extension for Pine Summit.

11. Request to approve the Assessor's affidavit of the 2021 millage levies for the Township establishing the millage rate at 0.7855. (Roll Call Vote)

12. Discussion regarding Township Board Minutes and online posting procedures as requested by Township Treasurer, Robin Hunt.

Correspondence  
Member Discussion  
Adjournment

\*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: April 5, 2021

TOWNSHIP GENERAL EXPENSES: April 5, 2021	\$1,698,358.33
March 19, 2021 Weekly Payroll	\$102,446.82
April 2, 2021 Bi Weekly Payroll	\$97,978.20
OPERATING EXPENSES: April 2, 2021	\$388,641.27
TOTAL:	<u>\$2,287,424.62</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
03/09/2021	36687	ALLSTAR ALARM LLC	
03/09/2021	36688	COMCAST	91.44
03/09/2021	36689	DTE ENERGY	723.77
03/09/2021	36690	MASTER MEDIA SUPPLY	1,084.04
03/09/2021	36691	NETWORK SERVICES GROUP, L.L.C.	468.85
03/09/2021	36692	OFFICE EXPRESS INC.	15,950.00
03/09/2021	36693	QUADIENT INC.	43.96
03/09/2021	36694	SECURITY LOCK SERVICE,,INC	837.02
03/10/2021	36695	GENOA TOWNSHIP PARKS & RECREATION	68.50
03/15/2021	36696	GENOA TWP FUTURE ROADS #261	550,000.00
03/17/2021	36697	ADVANCED DISPOSAL SERVICES-VR	900,000.00
03/17/2021	36698	BLUE CROSS & BLUE SHIELD OF MI	93,110.33
03/17/2021	36699	COMCAST	44,697.59
03/17/2021	36700	COOPER'S TURF MANAGEMENT LLC	637.20
03/17/2021	36701	DYKEMA GOSSETT, PLLC	8,118.00
03/17/2021	36702	EHIM, INC	4,912.00
03/17/2021	36703	MILFORD SALVAGE IRON & METAL CO. IN	9,516.00
03/17/2021	36704	PFEFFER, HANNIFORD, PALKA	7,000.00
03/17/2021	36705	US BANK EQUIPMENT FINANCE	4,100.00
03/17/2021	36706	VERIZON WIRELESS	1,971.97
03/17/2021	36707	WELLNESS IQ	433.47
03/22/2021	36708	BUSINESS IMAGING GROUP	147.60
03/22/2021	36709	COMCAST	113.89
03/22/2021	36710	CONSUMERS ENERGY	268.95
03/22/2021	36711	LCAA	234.76
03/22/2021	36712	POWER HOME REMODELING GROUP, LLC	100.00
03/22/2021	36713	QUADIENT FINANCE USA, INC	20.00
03/22/2021	36714	WALMART COMMUNITY	5,302.14
03/23/2021	36715	MHOG WATER AUTHORITY	471.00
03/24/2021	36716	CHASE CARD SERVICES	39,250.00
03/24/2021	36717	GENWORTH LIFE	1,829.57
03/24/2021	36718	LIVINGSTON COUNTY REGISTER OF DEEDS	371.17
03/25/2021	36719	LIVINGSTON PRESS & ARGUS	30.00
03/25/2021	36720	DELTA DENTAL	530.00
03/25/2021	36721	MUTUAL OF OMAHA	3,812.39
			<u>2,112.72</u>
FNBCK TOTALS:			
Total of 35 Checks:			1,698,358.33
Less 0 Void Checks:			0.00
Total of 35 Disbursements:			<u>1,698,358.33</u>

Check Register Report For Genoa Charter Township  
 For Check Dates 03/19/2021 to 03/19/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
03/19/2021	FNBCK	13467	LOVELL, WILLIAM T	679.23	587.34	0.00	Open
03/19/2021	FNBCK	13468	MATKIN, RONALD	598.00	552.26	0.00	Open
03/19/2021	FNBCK	13469	MCFARLANE, LINDSAY D	377.00	332.14	0.00	Open
03/19/2021	FNBCK	13470	SCHNIERS, DENISE	1,600.00	1,192.46	0.00	Open
03/19/2021	FNBCK	EFT549	FLEX SPENDING (TASC)	814.86	814.86	0.00	Open
03/19/2021	FNBCK	EFT550	INTERNAL REVENUE SERVICE	23,389.09	23,389.09	0.00	Open
03/19/2021	FNBCK	EFT551	PRINCIPAL FINANCIAL	3,156.00	3,156.00	0.00	Open
03/19/2021	FNBCK	EFT552	PRINCIPAL FINANCIAL	2,342.09	2,342.09	0.00	Open
<b>Totals:</b>							
		Number of Checks:	008	32,956.27	32,366.24	0.00	
	Total Physical Checks:		4				
	Total Check Stubs:		4				
					Dir. Dep.		
					<u>\$70,080.58</u>		

\$102,446.82



Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
03/09/2021	5176	AT&T LONG DISTANCE	77.06
03/09/2021	5177	DTE ENERGY	4,791.86
03/17/2021	5178	AMERICAN AQUA	226.64
03/17/2021	5179	AT&T	210.40
03/17/2021	5180	BRIGHTON ANALYTICAL LLC	600.00
03/17/2021	5181	DUBOIS-COOPER	50.00
03/17/2021	5182	FERGUSON WATERWORKS #3386	454.20
03/17/2021	5183	GENOA TOWNSHIP D.P.W. FUND	43,019.87
03/17/2021	5184	GENOA OCEOLA SEWER AUTHORITY	62.66
03/17/2021	5185	GENOA OCEOLA SEWER AUTHORITY	946.91
03/17/2021	5186	GRAINGER	297.13
03/17/2021	5187	HAVILAND PRODUCTS COMPANY	2,700.00
03/17/2021	5188	HUBBELL, ROTH & CLARK, INC	1,600.11
03/17/2021	5189	HYDROCORP	225.00
03/17/2021	5190	KENNEDY INDUSTRIES	685.00
03/17/2021	5191	M & K JETTING AND TELEVISIONING LLC	4,042.50
03/17/2021	5192	PFEFFER, HANNIFORD, PALKA	4,500.00
03/17/2021	5193	SHERWIN- WILLIAMS	57.69
03/17/2021	5194	TETRA TECH, INC.	5,349.80
03/17/2021	5195	TLS CONSTRUCTION	2,974.00
03/17/2021	5196	UIS SCADA	1,102.50
03/17/2021	5197	WATER SOLUTIONS UNLIMITED, INC	1,985.00
03/17/2021	5198	AMERICAN AQUA	222.64
03/22/2021	5199	AT&T LONG DISTANCE	51.38
03/22/2021	5200	CONSUMERS ENERGY	284.38
03/22/2021	5201	CONSUMERS ENERGY	313.49
592FN TOTALS:			
Total of 26 Checks:			76,830.22
Less 0 Void Checks:			0.00
Total of 26 Disbursements:			76,830.22

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
03/10/2021	5207	PORT CITY COMMUNICATIONS, INC.	
03/10/2021	5208	WEX BANK	171.05
03/10/2021	5209	WINDSTREAM	3,648.05
03/10/2021	5210	GENOA TOWNSHIP	46.24
03/15/2021	5211	ASCENSION MICHIGAN	200,000.00
03/15/2021	5212	UNITED STATES POSTAL SERVICE	260.00
03/16/2021	5213	ADVANCE AUTO PARTS	68.27
03/16/2021	5214	AUTO-LAB OF LIVINGSTON	395.68
03/16/2021	5215	CHASE CARD SERVICES	3,273.19
03/16/2021	5216	CORRIGAN TOWING	5,753.77
03/16/2021	5217	CRUISERS	82.00
03/16/2021	5218	GIFFELS WEBSTER	975.00
03/16/2021	5219	LINE-X OF BRIGHTON	2,640.00
03/16/2021	5220	MWEA	2,623.00
03/16/2021	5221	PFEFFER, HANNIFORD, PALKA	140.00
03/16/2021	5222	RANDY'S SERVICE STATION	2,500.00
03/16/2021	5223	SENSUS USA, INC	884.00
03/16/2021	5224	SIGN WORKS	1,949.94
03/16/2021	5225	TETRA TECH INC	300.00
03/16/2021	5226	VICTORY LANE QUICK OIL CHANGE	4,132.50
03/17/2021	5227	MICHIGAN OFFICE SOLUTIONS	497.33
03/17/2021	5228	STERLING	90.00
03/22/2021	5229	VERIZON WIRELESS	809.00
03/25/2021	5231	ASCENSION MICHIGAN	702.53
03/25/2021	5232	HOME DEPOT CREDIT SERVICES	70.00
03/25/2021	5233	LAFONTAINE CDJR-LANSING	2,109.94
			<u>50,543.00</u>

503FN TOTALS:

Total of 26 Checks: 283,935.49  
 Less 0 Void Checks: 0.00  
 Total of 26 Disbursements: 283,935.49

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
03/09/2021	3921	DTE ENERGY	
03/15/2021	3922	BRIGHTON ANALYTICAL LLC	3,989.56
03/15/2021	3923	CONSUMERS ENERGY	67.00
03/15/2021	3924	GENOA TOWNSHIP D.P.W. FUND	477.69
03/15/2021	3925	GENOA OCEOLA SEWER AUTHORITY	11,937.91
03/15/2021	3926	HARTLAND SEPTIC SERVICE, INC.	151.44
03/15/2021	3927	PFEFFER, HANNIFORD, PALKA	6,600.00
03/15/2021	3928	PFEFFER, HANNIFORD, PALKA	2,250.00
03/17/2021	3929	CONSUMERS ENERGY	1,050.00
03/17/2021	3930	GENOA TWP DPW FUND	12.50
03/26/2021	3931	BRIGHTON ANALYTICAL LLC	1,017.96
			<u>321.50</u>

593FN TOTALS:

Total of 11 Checks: 27,875.56  
 Less 0 Void Checks: 0.00  
 Total of 11 Disbursements: 27,875.56

003

388-641-2738





April 2021						
S	M	T	W	T	F	S
28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

New Balance  
**\$5,753.77**  
 Minimum Payment Due  
**\$57.00**  
 Payment Due Date  
**04/01/21**

INK CASH(SM) POINT SUMMARY	
Previous points balance	15,267
+ 1 Point per \$1 earned on all purchases	5,764
+ 2Pts/\$1 gas stns, retns, ofo sply, hin Impr	1,588
<b>Total points available for redemption</b>	<b>22,609</b>

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.  
**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

**MAILED**  
 3-18-21

**ACCOUNT SUMMARY**

Account Number:	[REDACTED]
Previous Balance	\$6,079.58
Payment, Credits	-\$6,079.58
Purchases	+\$5,753.77
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	<u>\$0.00</u>
<b>New Balance</b>	<b>\$5,753.77</b>
Opening/Closing Date	02/08/21 - 03/07/21
Credit Limit	\$28,000
Available Credit	\$22,246
Cash Access Line	\$1,400
Available for Cash	\$1,400
<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>

**COPY**  
 ENTERED MAR 15 2021

ALL SYS - 503-000-084-000  
 UTILITY DEPT.  
 MAR 15 2021 *[Signature]*  
 RECEIVED

**YOUR ACCOUNT MESSAGES**

Your credit line has been increased. Take advantage of your enhanced spending power to make purchases and transfer balances today.



# ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
02/25	ACI PARTS PLUS 616-588-9055 MI <i>MHOG</i>	107.48 ✓
02/25	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	75.98 ✓
02/26	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	131.96 ✓
02/25	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	399.98 ✓
03/01	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	113.97 ✓
03/04	AMZN Mktg US*4E1982RZ3 Amzn.com/bill WA <i>MHOG</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$878.27	48.90 ✓
02/10	OVERHEAD DOOR OF WHITMORE WHITMORE LAKE MI <i>G.O</i>	35.00 ✓
02/11	AUTOMATIONDIRECT.COM 770-889-7588 GA <i>G.O</i>	962.00 ✓
03/01	STAPLES 00107730 BRIGHTON MI <i>G.O</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$1068.78	71.78 ✓
02/05	HIRE MOJO INC 800-395-2805 CA <i>DPW recruiting</i>	2,408.00 ✓
02/15	FUNERAL FLOWERS/GIFTS WWW.RUNCFS.CO MA <i>DPW</i> KIMBERLY LANE TRANSACTIONS THIS CYCLE (CARD 4797) \$2498.58 <i>never delivered reimbursed by check KL</i>	90.58 ✓
02/25	Payment ThankYou Image Check	-6,079.58
03/04	RINGCENTRAL, INC 650-4724100 CA <i>DPW phone</i>	66.14 -
03/05	TRAFFIC MANAGEMENT DETRO 800-763-3999 MI <i>G.O</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$4771.44- INCLUDING PAYMENTS RECEIVED	1,242.00 ✓

2021 Totals Year-to-Date	
Total fees charged in 2021	\$0.00
Total interest charged in 2021	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

# COPY

## INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
<b>PURCHASES</b>			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
<b>CASH ADVANCES</b>			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
<b>BALANCE TRANSFERS</b>			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

28 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

*ink.*

manage your account online at [www.chase.com/cardhelp](http://www.chase.com/cardhelp)

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

April 2021						
S	M	T	W	T	F	S
28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

New Balance  
**\$1,829.57**  
 Minimum Payment Due  
**\$365.00**  
 Payment Due Date  
**04/10/21**

**MAILED**  
 3-25-21

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to [www.chase.com](http://www.chase.com)

**COPY**

**ACCOUNT SUMMARY**

Account Number: [REDACTED]

Previous Balance	\$1,822.79
Payment, Credits	-\$1,822.79
Purchases	+\$1,824.24
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	+\$5.33
<b>New Balance</b>	<b>\$1,829.57</b>

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Opening/Closing Date	02/17/21 - 03/16/21
Credit Limit	\$20,000
Available Credit	\$18,170
Cash Access Line	\$1,000
Available for Cash	\$1,000

<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>



ENTERED MAR 24 2021

### ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
02/25	Payment ThankYou Image Check	-1,822.79
02/16	AMZN Mktp US*YL1GG83M3 Amzn.com/bill WA	141.02 Rm
03/03	REALCOMP II LTD 248-553-3003 MI	201.00 DUES
03/08	Amazon.com*MB46M1V93 Amzn.com/bill WA	249.98 Rm
03/09	RED OLIVE XIV HOWELL MI	
03/08	STATE SIDE DELI HOWELL MI	92.17 Dinner
03/15	Amazon.com*2A8QR15B1 Amzn.com/bill WA	-101.19 Lunch
03/15	IN *PROPT DISTRIBUTORS I 407-8884627 FL	857.98 Rm
03/16	PURCHASE INTEREST CHARGE	180.90 Rm
	MICHAEL C ARCHINAL	5.33 ME
	TRANSACTIONS THIS CYCLE (CARD 3223) \$6.78	
	INCLUDING PAYMENTS RECEIVED	

*Meeting Fee Misc Expense*

*Dinner / Lunch*

*Bob*

2021 Totals Year-to-Date	
Total fees charged in 2021	\$39.00
Total interest charged in 2021	\$22.87

Year-to-date totals do not reflect any fee or interest refunds you may have received.

*OK*

*[Signature]*

*3/23/2021*

### INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
<b>PURCHASES</b>			
Purchases	13.24%(v)(d)	\$525.26	\$5.33
<b>CASH ADVANCES</b>			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
<b>BALANCE TRANSFERS</b>			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

28 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

\*Includes interest charges on Late or Return Payment fees.

\*\*This My Chase Loan has expired. Interest will continue to accrue on this My Chase Loan balance until it is paid in full.

### IMPORTANT NEWS

### IMPORTANT NEWS

Your account is a business account, to be used only for business transactions. It is not intended for personal, family or household purposes.

# COPY

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: April 19, 2021

TOWNSHIP GENERAL EXPENSES: Thru April 14, 2021	\$169,018.17
April 16, 2021 Bi Weekly Payroll	\$100,807.97
OPERATING EXPENSES: Thru April 14, 2021	\$25,079.81
TOTAL:	<u>\$294,905.95</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
03/29/2021	36722	DTE ENERGY	26.62
03/29/2021	36723	MASTER MEDIA SUPPLY	698.85
03/31/2021	36724	LIVINGSTON CO. REGISTER OF DEEDS	30.00
04/01/2021	36725	MICHAEL ARCHINAL	500.00
04/01/2021	36726	FEDERAL EXPRESS	49.01
04/05/2021	36727	ALLSTAR ALARM LLC	345.00
04/05/2021	36728	INSPEC, INC.	125.00
04/05/2021	36729	LIVINGSTON CO. REGISTER OF DEEDS	12.90
04/05/2021	36730	MEI TOTAL ELEVATOR SOLUTIONS	128.11
04/05/2021	36731	NETWORK SERVICES GROUP, L.L.C.	50.00
04/05/2021	36732	PERFECT MAINTENANCE CLEANING	565.00
04/05/2021	36733	WEST SHORE SERVICES, INC.	2,570.00
04/06/2021	36734	DTE ENERGY	787.10
04/06/2021	36735	DTE ENERGY	213.09
04/06/2021	36736	TETRA TECH INC	195.00
04/07/2021	36737	AMERICAN AQUA	189.92
04/07/2021	36738	BRIGHTON ANALYTICAL LLC	35.00
04/07/2021	36739	CONTINENTAL LINEN SERVICE	79.15
04/07/2021	36740	DTE ENERGY	41.10
04/08/2021	36741	BRIGHTON ANALYTICAL LLC	35.00
04/08/2021	36742	GORDON FOOD SERVICE	248.61
04/12/2021	36743	COOPER'S TURF MANAGEMENT LLC	643.00
04/12/2021	36744	OFFICE EXPRESS INC.	115.08
04/12/2021	36745	DENISE SCHNIERS	90.08
04/12/2021	36746	VICTORY LANE QUICK OIL CHANGE	80.72
04/13/2021	36747	BLUE CROSS & BLUE SHIELD OF MI	42,737.03
04/13/2021	36748	COMCAST	637.20
04/13/2021	36749	COMCAST	726.06
04/13/2021	36750	ECON DEV.COUNCIL OF LIVINGSTON CO	22,939.00
04/13/2021	36751	ICMA	976.00
04/14/2021	36752	ADVANCED DISPOSAL SERVICES-VR	93,149.54

FNBCK TOTALS:

Total of 31 Checks:	169,018.17
Less 0 Void Checks:	0.00
Total of 31 Disbursements:	169,018.17



Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
04/06/2021	5234	PORT CITY COMMUNICATIONS, INC.	185.16
04/06/2021	5235	TRACTOR SUPPLY CO.	57.97
04/13/2021	5236	RED WING BUSINESS ADVANTAGE ACCOUNT	548.22
04/13/2021	5237	VERIZON WIRELESS	1,302.68
04/13/2021	5238	WEX BANK	4,280.64
04/13/2021	5239	WINDSTREAM	48.26
04/14/2021	5240	CHASE CARD SERVICES	5,483.08
04/14/2021	5241	U.S. POSTMASTER	1,432.18
503FN TOTALS:			
Total of 8 Checks:			13,338.19
Less 0 Void Checks:			0.00
Total of 8 Disbursements:			13,338.19

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
03/29/2021	5202	BRIGHTON ANALYTICAL LLC	200.00
04/06/2021	5203	DTE ENERGY	2,008.48
04/07/2021	5204	DTE ENERGY	219.30
04/07/2021	5205	DTE ENERGY	2,394.04
04/12/2021	5206	AT&T LONG DISTANCE	77.06
592FN TOTALS:			
Total of 5 Checks:			4,898.88
Less 0 Void Checks:			0.00
Total of 5 Disbursements:			4,898.88

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
04/06/2021	3932	BRIGHTON ANALYTICAL LLC	67.00
04/06/2021	3933	CHARTER TOWNSHIP OF BRIGHTON	932.50
04/06/2021	3934	GENOA OCEOLA SEWER AUTHORITY	2,141.29
04/07/2021	3935	DTE ENERGY	3,259.84
04/13/2021	3936	BRIGHTON ANALYTICAL LLC	67.00
04/13/2021	3937	CONSUMERS ENERGY	375.11
593FN TOTALS:			
Total of 6 Checks:			6,842.74
Less 0 Void Checks:			0.00
Total of 6 Disbursements:			6,842.74

13,338.19 +  
 4,898.88 +  
 6,842.74 +  
 25,079.81 +

603





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Mobile: Download the Chase Mobile® app today

May 2021						
S	M	T	W	T	F	S
25	26	27	28	29	30	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2	3	4	5

New Balance  
**\$5,483.08**  
 Minimum Payment Due  
**\$54.00**  
 Payment Due Date  
**05/01/21**

**INK CASH(SM) POINT SUMMARY**

Previous points balance	22,609
+ 1 Point per \$1 earned on all purchases	5,484
+2Pts/\$1 gas stns, rsints, ofc sply, hm impr	181
<b>Total points available for redemption</b>	<b>28,274</b>

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to [www.chase.com](http://www.chase.com)

**ACCOUNT SUMMARY**

Account Number: 4798 6091 0244 9747

Previous Balance	\$5,753.77
Payment, Credits	-\$6,358.57
Purchases	+\$6,087.88
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
<b>New Balance</b>	<b>\$5,483.08</b>
Opening/Closing Date	03/08/21 - 04/07/21
Credit Limit	\$28,000
Available Credit	\$22,516
Cash Access Line	\$1,400
Available for Cash	\$1,400
<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>

ALL SYS- 503-000-084-000  
 UTILITY DEPT.

APR 12 2021

RECEIVED

4-13-21

0000001 FIS3339B C 1  
 0308

N Z 07 21.04.07

Page 1 of 2

05686 MA DA 41802

09710000010454180201



P.O. BOX 15123  
 WILMINGTON, DE 19850-5123  
 For Undeliverable Mail Only

Make your payment at  
[chase.com/paycard](http://chase.com/paycard)

Payment Due Date: 05/01/21  
 New Balance: \$5,483.08  
 Minimum Payment: \$54.00

Account number: 4798 6091 0244 9747

\$ \_\_\_\_\_ Amount Enclosed  
 Make/Mail to Chase Card Services at the address below:

41802 BEX Z 09721 C  
 GREG TATARA  
 MHOG SEWER & WATER AUTH  
 2911 DORR RD  
 BRIGHTON MI 48116-9436



CARDMEMBER SERVICE  
 PO BOX 6294  
 CAROL STREAM IL 60197-6294



⑆ 5000 160 28⑆ 9869 10 244 974 78⑈



### ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
04/01	FIRE HOSE DIRECT MOOREVILLE NC <i>MHOG</i>	-396.80
03/16	HARBOR FREIGHT TOOLS 630 HOWELL MI <i>DPW tools</i>	90.09 ✓
03/17	FIRE HOSE DIRECT 888-975-0858 NC <i>MHOG</i>	466.82 ✓
03/23	FIRE HOSE DIRECT 888-975-0858 NC <i>MHOG</i> DAVE ESTRADA TRANSACTIONS THIS CYCLE (CARD 4124) \$581.59	421.48 ✓
03/09	DUNHAMS 051 HOWELL MI <i>DPW - safety</i>	55.11 ✓
03/15	STATE EGLE EVENTS 517-3353153 MI <i>DPW - prof dev.</i>	40.00 ✓
03/30	MI SECTION AWWA 517-2922912 MI <i>DPW - prof dev.</i>	132.00 ✓
03/31	Amazon.com*JV03I1UT3 Amzn.com/bill WA <i>MHOG</i>	89.95 ✓
04/04	AMZN Mktp US*VU59D7VX3 Amzn.com/bill WA <i>MHOG</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$343.05	25.99 ✓
03/10	AMZN Mktp US*679ZZ77Q3 Amzn.com/bill WA <i>G.O</i>	41.18 ✓
03/11	Amazon.com*462W71WQ3 Amzn.com/bill WA <i>G.O</i>	75.44 ✓
03/17	AMZN Mktp US*4145G5PZ3 Amzn.com/bill WA <i>G.O</i>	65.80 ✓
03/23	INDECO-KH 713-9283181 TX <i>G.O</i>	849.02 ✓
03/23	AUTOMATIONDIRECT.COM 770-889-7588 GA <i>G.O</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$1216.44	185.00 ✓
03/16	TRAFFIC MANAGEMENT DETRO SOUTHFIELD MI <i>G.O</i>	-208.00
03/19	Payment ThankYou Image Check	-5,753.77
03/15	AMZN Mktp US*G28PT9233 Amzn.com/bill WA <i>DPW - office</i>	12.34 ✓
03/22	DMI* DELL HLTHCR/REL 800-274-1550 TX <i>DPW office</i>	132.99 ✓
03/22	DMI* DELL HLTHCR/REL 800-274-1550 TX <i>DPW office</i>	815.70 ✓
03/29	LOGMEIN*GoToConnect logmein.com UT <i>MHOG</i>	1,993.00 ✓
03/28	Amazon.com*3U7NG7A33 Amzn.com/bill WA <i>MHOG</i>	529.99 ✓
04/04	RINGCENTRAL, INC 650-4724100 CA <i>DPW phone</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$2411.77- INCLUDING PAYMENTS RECEIVED	65.98 -

2021 Totals Year-to-Date	
Total fees charged in 2021	\$0.00
Total interest charged in 2021	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

### INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
<b>PURCHASES</b>			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
<b>CASH ADVANCES</b>			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
<b>BALANCE TRANSFERS</b>			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

\*Includes interest charges on Late or Return Payment fees.

\*\*This My Chase Loan has expired. Interest will continue to accrue on this My Chase Loan balance until it is paid in full.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: May 3, 2021

TOWNSHIP GENERAL EXPENSES: Through April 27, 2021	\$204,466.05
April 16, 2021 Bi Weekly Payroll	\$100,807.97
April 30, 2021 Bi Weekly Payroll	\$103,164.62
OPERATING EXPENSES: Through April 27, 2021	\$154,467.03
TOTAL:	<u>\$562,905.67</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
03/29/2021	36722	DTE ENERGY	26.62
03/29/2021	36723	MASTER MEDIA SUPPLY	698.85
03/31/2021	36724	LIVINGSTON CO. REGISTER OF DEEDS	30.00
04/01/2021	36725	MICHAEL ARCHINAL	500.00
04/01/2021	36726	FEDERAL EXPRESS	49.01
04/05/2021	36727	ALLSTAR ALARM LLC	345.00
04/05/2021	36728	INSPEC, INC.	125.00
04/05/2021	36729	LIVINGSTON CO. REGISTER OF DEEDS	12.90
04/05/2021	36730	MEI TOTAL ELEVATOR SOLUTIONS	128.11
04/05/2021	36731	NETWORK SERVICES GROUP, L.L.C.	50.00
04/05/2021	36732	PERFECT MAINTENANCE CLEANING	565.00
04/05/2021	36733	WEST SHORE SERVICES, INC.	2,570.00
04/06/2021	36734	DTE ENERGY	787.10
04/06/2021	36735	DTE ENERGY	213.09
04/06/2021	36736	TETRA TECH INC	195.00
04/07/2021	36737	AMERICAN AQUA	189.92
04/07/2021	36738	BRIGHTON ANALYTICAL LLC	35.00
04/07/2021	36739	CONTINENTAL LINEN SERVICE	79.15
04/07/2021	36740	DTE ENERGY	41.10
04/08/2021	36741	BRIGHTON ANALYTICAL LLC	35.00
04/08/2021	36742	GORDON FOOD SERVICE	248.61
04/12/2021	36743	COOPER'S TURF MANAGEMENT LLC	643.00
04/12/2021	36744	OFFICE EXPRESS INC.	115.08
04/12/2021	36745	DENISE SCHNIERS	90.08
04/12/2021	36746	VICTORY LANE QUICK OIL CHANGE	80.72
04/13/2021	36747	BLUE CROSS & BLUE SHIELD OF MI	42,737.03
04/13/2021	36748	COMCAST	637.20
04/13/2021	36749	COMCAST	726.06
04/13/2021	36750	ECON DEV.COUNCIL OF LIVINGSTON CO	22,939.00
04/13/2021	36751	ICMA	976.00
04/14/2021	36752	ADVANCED DISPOSAL SERVICES-VR	93,149.54
04/15/2021	36753	AMERICAN VIDEO TRANSFER INC	4,192.50
04/15/2021	36754	PRINTING SYSTEMS	183.20
04/15/2021	36755	SEMCOG	2,836.00
04/15/2021	36756	US BANK EQUIPMENT FINANCE	1,971.97
04/15/2021	36757	VERIZON WIRELESS	433.53
04/21/2021	36758	COMCAST	269.04
04/21/2021	36759	CONSUMERS ENERGY	308.32
04/21/2021	36760	DELTA DENTAL	3,812.39
04/21/2021	36761	ETNA SUPPLY COMPANY	11,800.00
04/21/2021	36762	LCAA	30.00
04/21/2021	36763	MUTUAL OF OMAHA	2,112.72
04/21/2021	36764	SAFEBUILT STUDIO	1,368.00
04/22/2021	36765	BUSINESS IMAGING GROUP	148.19
04/22/2021	36766	CHASE CARD SERVICES	3,343.72
04/22/2021	36767	WAL-MART COMMUNITY	214.72
04/26/2021	36768	FEDERAL EXPRESS	74.00
04/26/2021	36769	LIVINGSTON PRESS & ARGUS	490.00
04/26/2021	36770	MARY KRENCICKI	14.56
04/26/2021	36771	QUADIENT INC.	837.02
04/26/2021	36772	SAFEBUILT STUDIO	1,008.00

FNBCK TOTALS:

Total of 51 Checks:	204,466.05
Less 0 Void Checks:	0.00
Total of 51 Disbursements:	204,466.05

Check Register Report For Genoa Charter Township  
 For Check Dates 04/16/2021 to 04/16/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
04/16/2021	FNBCK	13473	LOVELL, WILLIAM T	1,544.23	1,166.37	0.00	Cleared
04/16/2021	FNBCK	EFT557	FLEX SPENDING (TASC)	814.86	814.86	0.00	Cleared
04/16/2021	FNBCK	EFT558	INTERNAL REVENUE SERVICE	24,111.37	24,111.37	0.00	Cleared
04/16/2021	FNBCK	EFT559	PRINCIPAL FINANCIAL	3,556.00	3,556.00	0.00	Cleared
04/16/2021	FNBCK	EFT560	PRINCIPAL FINANCIAL	2,342.09	2,342.09	0.00	Cleared
<b>Totals:</b>				Number of Checks: 005	32,368.55	31,990.69	0.00
Total Physical Checks:				1			
Total Check Stubs:				4			

68,817.28  
 # 100,807.97



Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
04/06/2021	5234	PORT CITY COMMUNICATIONS, INC.	185.16
04/06/2021	5235	TRACTOR SUPPLY CO.	57.97
04/13/2021	5236	RED WING BUSINESS ADVANTAGE ACCOUNT	548.22
04/13/2021	5237	VERIZON WIRELESS	1,302.68
04/13/2021	5238	WEX BANK	4,280.64
04/13/2021	5239	WINDSTREAM	48.26
04/14/2021	5240	CHASE CARD SERVICES	5,483.08
04/14/2021	5241	U.S. POSTMASTER	1,432.18
04/20/2021	5242	ADVANCE AUTO PARTS	59.98
04/20/2021	5243	ABE'S AUTO GLASS, INC.	45.00
04/20/2021	5244	AUTO-LAB OF LIVINGSTON	2,512.53
04/20/2021	5245	BLACKBURN MFG. CO	558.90
04/20/2021	5246	BYRUM ACE HARDWARE	35.97
04/20/2021	5247	CORRIGAN OIL COMPANY	134.50
04/20/2021	5248	FASTENAL COMPANY	131.45
04/20/2021	5249	GRAINGER	132.48
04/20/2021	5250	TETRA TECH INC	6,786.00
04/20/2021	5251	USA BLUEBOOK	296.54
04/20/2021	5252	HOME DEPOT CREDIT SERVICES	1,771.71

503FN TOTALS:

Total of 19 Checks:	25,803.25
Less 0 Void Checks:	0.00
Total of 19 Disbursements:	25,803.25

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
03/29/2021	5202	BRIGHTON ANALYTICAL LLC	200.00
04/06/2021	5203	DTE ENERGY	2,008.48
04/07/2021	5204	DTE ENERGY	219.30
04/07/2021	5205	DTE ENERGY	2,394.04
04/12/2021	5206	AT&T LONG DISTANCE	77.06
04/15/2021	5207	AT&T	211.20
04/19/2021	5208	CONSUMERS ENERGY	230.07
04/19/2021	5209	GENOA TOWNSHIP G/O NEW USER FUND	15,900.00
04/20/2021	5210	AT&T LONG DISTANCE	51.38
04/20/2021	5211	BYRUM ACE HARDWARE	67.89
04/20/2021	5212	CONSUMERS ENERGY	268.59
04/20/2021	5213	FERGUSON WATERWORKS #3386	247.66
04/20/2021	5214	LIVINGSTON PRESS & ARGUS	150.00
04/20/2021	5215	GENOA TOWNSHIP	740.00
04/20/2021	5216	GENOA TOWNSHIP DPW FUND	23,409.94
04/20/2021	5217	GENOA TOWNSHIP DPW FUND	19,850.01
04/20/2021	5218	GRAINGER	716.52
04/20/2021	5219	HYDROCORP	225.00
04/20/2021	5220	K & J ELECTRIC, INC.	105.00
04/20/2021	5221	K/E ELECTRIC SUPPLY CORP	31.50
04/20/2021	5222	TLS CONSTRUCTION	3,032.00
04/26/2021	5223	BRIGHTON ANALYTICAL LLC	200.00

592FN TOTALS:

Total of 22 Checks:	70,335.64
Less 0 Void Checks:	0.00
Total of 22 Disbursements:	70,335.64

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
04/06/2021	3932	BRIGHTON ANALYTICAL LLC	67.00
04/06/2021	3933	CHARTER TOWNSHIP OF BRIGHTON	932.50
04/06/2021	3934	GENOA OCEOLA SEWER AUTHORITY	2,141.29
04/07/2021	3935	DTE ENERGY	3,259.84
04/13/2021	3936	BRIGHTON ANALYTICAL LLC	67.00
04/13/2021	3937	CONSUMERS ENERGY	375.11
04/15/2021	3938	CITY OF BRIGHTON	4,516.61
04/15/2021	3939	CITY OF BRIGHTON	27,764.10
04/20/2021	3940	BRIGHTON ANALYTICAL LLC	67.00
04/20/2021	3941	CONSUMERS ENERGY	15.00
04/20/2021	3942	LIVINGSTON PRESS & ARGUS	70.00
04/20/2021	3943	GENOA TOWNSHIP D.P.W. FUND	12,144.33
04/20/2021	3944	GENOA OCEOLA SWR & WTR AUTHORI	5,739.26
04/20/2021	3945	GENOA TOWNSHIP	160.00
04/20/2021	3946	OAK POINTE OPERATING S/W	942.10
04/26/2021	3947	BRIGHTON ANALYTICAL LLC	67.00

593FN TOTALS:

Total of 16 Checks:	58,328.14
Less 0 Void Checks:	0.00
Total of 16 Disbursements:	<u>58,328.14</u>

0\*\*

25,803.25+  
 70,535.64+  
58,328.14+  
 154,467.03\*+





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Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

May 2021						
S	M	T	W	T	F	S
25	26	27	28	29	30	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2	3	4	5

New Balance

**\$3,343.72**

Minimum Payment Due

**\$668.00**

Payment Due Date

**05/10/21**

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.


**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to [www.chase.com](http://www.chase.com)

## ACCOUNT SUMMARY

Account Number: 4246 3152 4060 3223

Previous Balance	\$1,829.57
Payment, Credits	-\$1,829.57
Purchases	+\$3,343.72
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	<u>\$0.00</u>
<b>New Balance</b>	<b>\$3,343.72</b>

Opening/Closing Date	03/17/21 - 04/16/21
Credit Limit	\$20,000
Available Credit	\$16,656
Cash Access Line	\$1,000
Available for Cash	\$1,000
<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>

OK  
  
 4/22/2021



Manage your account online at : [www.chase.com/cardhelp](http://www.chase.com/cardhelp)

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

## ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
03/26	Payment ThankYou Image Check	-1,829.57
03/20	TST* GUS?S CARRYOUT - BRI BRIGHTON MI <i>Angie Retirement</i>	115.48 <i>OS</i>
03/22	DMI* DELL HLTHCR/REL 800-274-1550 TX	875.94 <i>CAD</i>
03/22	DMI* DELL HLTHCR/REL 800-274-1550 TX	1,631.40 <i>CAD</i>
03/22	LANDS END BUS OUTFITTERS 800-332-4700 WI	420.33 <i>OS</i>
03/24	LOWES #00779* HOWELL MI	21.20 <i>RvM</i>
03/28	AMZN Mktp US*TK00805Q3 Amzn.com/bill WA	27.98 <i>RvM</i>
03/30	AMZN Mktp US*UG3B80Z63 Amzn.com/bill WA	41.97 <i>RvM</i>
04/05	LANDS END BUS OUTFITTERS 800-332-4700 WI	66.91 <i>OS</i>
04/07	LANDS END BUS OUTFITTERS 800-332-4700 WI	101.85 <i>OS</i>
04/14	LANDS END BUS OUTFITTERS 800-332-4700 WI	40.66 <i>OS</i>
	MICHAEL C ARCHINAL TRANSACTIONS THIS CYCLE (CARD 3223) \$1514.15 INCLUDING PAYMENTS RECEIVED	

2021 Totals Year-to-Date	
Total fees charged in 2021	\$39.00
Total interest charged in 2021	\$22.87

Year-to-date totals do not reflect any fee or interest refunds you may have received.

## INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
<b>PURCHASES</b>			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
<b>CASH ADVANCES</b>			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
<b>BALANCE TRANSFERS</b>			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

\*Includes interest charges on Late or Return Payment fees.

\*\*This My Chase Loan has expired. Interest will continue to accrue on this My Chase Loan balance until it is paid in full.

LANDS END - Employee Clothing \$ 745.23  
OFFICE SUPPLIES 101-284-727-000

CAPITAL OUTLAY (COMPUTERS) 101-929-977-000 \$ 2507.34

REPAIR & MAINT 101-265-775-000 \$ 91.15

**GENOA CHARTER TOWNSHIP BOARD**  
**Regular Meeting/Public Hearing**  
**March 15, 2021**

Rogers - Due to Michigan Department of Health and Human Services requirements, this meeting will be held virtually. The public may participate in the meeting/public hearing through Zoom access by computer and smart phone. A link will be posted at [genoa.org](http://genoa.org). Please email [info@genoa.org](mailto:info@genoa.org) or call (810) 227-5225 if you have questions.

**MINUTES**

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall with others remotely in the Township. The Pledge of Allegiance was then said. The following members were present for the roll call meeting, either at home or the township office, constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and no persons in the audience.

A Call to the Public was made with no response and will be open for the continuation of the meeting.

**Consent Agenda:**

Moved by Hunt and supported by Lowe to approve all items listed under the Consent Agenda, moving approval of the Feb. 15, 2021 minutes to the regular agenda for further discussion, as requested. The motion carried unanimously.

**1. Payment of Bills.**

**2. Request to Approve Minutes: February 15, 2021 and March 1, 2021**

**3. Request to approve a proposal from Dell for the purchase of four new workstations and one new laptop for \$2,507.34.**

**Regular Agenda:**

Moved by Mortensen and supported by Ledford to approve for action all items listed under the Regular Agenda with the addition of the Minutes from February 15, 2021, as requested. The motion carried unanimously

**Note: The following comments were received from residents opposed to the site plan for Catholic Healthcare International along Chilson Road that was approved by the Planning Commission and recommended to the Board for approval. Calls from the public began to come into the Board as follows:**

- Robert and Debra Jones – 3553 Westphal – We oppose the Padre Pio Chapel that was approved by the Planning Commission. Please listen to your residents.
- Jim McArdle – 2581 Fishbeck – I oppose the project. It is not consistent with surrounding land uses.
- Jacob Bogan - 5790 Pinckney – I oppose the project. School traffic is already an issue. We are a zoned residential community with enough traffic problems. The Church promised a prayer Center, however their website includes three phases. They also began construction prior to receiving approval. They have already violated Township Rules and they have a flyer on site that represents Phase 2.
- Lynn and Robert Lagana – 3710 Westphal – We oppose the project and would like to be present when a meeting can be called in person. The location is inappropriate. Please cancel the zoom meeting that is scheduled.
- Linda Holland – 3023 Pardee – The applicant is providing conflicting information and it is proposed for the wrong location. We are in a rural area and oppose the project.
- Debra Jones – 3553 Westphal – All the neighbors are opposed and zoom is not a good format for public input. Please pause this project.
- Mike Williams – 3654 Westphal – This is a wrong location – an area of private homes and zoom is an ineffective format. I oppose the project.
- Debra Beattie – 3809 Chilson - The project should be tabled until in-person meetings are allowed. There was opposition at the Planning Commission with a 4 to 3 vote.
- Linda Wolney – 3591 Westphal – I oppose the project. We are up in arms. Listen to your constituents. This is only Phase I and the property is zoned Country Estates. They are breaking ground on May 25<sup>th</sup> and they do not have approval as yet.
- Dawn Williams – 3564 Westphal – Do any of the board members live in this area. The next meeting should be in person. We sat through a four-hour meeting with the Planning Commission. We are opposed. Please hold off on the April meeting until we can meet in person.
- Melanie Johnson – 3990 Chilson – Everyone is turning in my driveway. There are 275,000 visitors a year and Indian River Cross in the Woods. Questions at the Planning Commission have not been answered. Jill Rickard asked for a site plan of the entire property.

- Eric Rauch asked about decibel levels especially before 9:00 a.m. and an estimate of the potential number of visitors to the Shrine. This project is not a “nice” tiny chapel. Lives will be disruptive and will not keep this place of prayer and peacefulness that it is today. The hourly bell ringing is a problem. Respect our zoning. I oppose.
- Kim Park – 2935 Westphal – I oppose this project.
- John Walbank - 2899 Pardee – I oppose
- Duane Johnson – Asked that his name be added to those opposed.
- Daena Nicholas – 4569 Oak Pointe – Raised concerns about traffic and the number of children in the area. Please table this meeting until we can meet in person.
- Melanie Johnson – The relics of Padre Pio were on display in Saginaw, MI and more than 5,000 people visited the site.
- Karen McCardle – 3125 Fishbeck – Her family moved here for the country feel and dark skies. The area is not appropriate for a church and this project is intended to grow.
- Jim Brancheau – 3611 Westphal – I am opposed to project and have been circulating petitions and only one person has expressed support for the proposal.
- Michael Archinal – This petition is on the Agenda this evening. It will be discussed sometime in the future. Residents should send correspondence and emails concerning this issue when it is discussed at another board meeting.
- Debra Jones – 3553 Westphal - is opposed to the 2% pay increase.
- Linda Wolney – 3591 Westphal – When we moved here, the sky was dark. Now we can see the night glow from 3 Fires School. This church will light up the sky too. We are against this project. We need to be heard. Listen to your constituents.

## **2. Request to Approve Minutes: February 15, 2021**

Moved by Hunt and supported by Lowe to approve the Minutes of the Feb. 15, 2021 Regular Meeting of the Board adding – “Also, to approve a \$12.00 increase for refuse collection and disposal to the 2021-2022 December Tax Bill to cover a portion of the cost of recycling.” The motion carried unanimously.

## **4. Request for approval of an amendment to Township budgets 101, 212, 261, 264, 270, and 271 for the Fiscal Year ending March 31, 2021.**

Moved by Hunt and supported by Lowe to approve the amended budgets with minor changes as requested by Skolarus. The motion carried unanimously. *Note: Corrected copies will be provided at the next regular meeting of the board.*

Moved by Hunt and supported by Lowe to approve the corrected and amended Township budgets as requested. The motion carried unanimously.

**5. Public hearing related to budgets 101, 212, 261, 264, 270, and 271 for Fiscal Year beginning April 1, 2021 and commencing March 31, 2022 as requested by Skolarus.**

Moved by Hunt and supported by Lowe to correct the Agenda related to Township budgets for fiscal year 2021/2022: Adding Trustees to item C; adding Planning Commission, and Zoning Board of Appeals members to Item D and removing Item E from the . The amended Agenda was voted and carried unanimously.

A. A Call to the Public was made with no response.

B. Board discussion

Minor changes were made to the line items on the budgets. Corrected copies will be provided at the next regular meeting of the board with those changes.

**C. Disposition of salaries for elected officials with 2% increase for the Supervisor, the Treasurer, Clerk and Trustees.**

Moved by Ledford and supported by Hunt to withhold a pay increase for the Clerk Polly Skolarus in the 2021 budget on the grounds of her irresponsible behavior, abuse of her office, malfeasance, and putting the integrity of the township at risk and further, that all pay increases be denied for the remainder of her term or until the date of her resignation, whichever occurs first. The motion carried as follows: Ayes – Ledford, Croft, Hunt, Rogers. Nay – Mortensen and Lowe. Skolarus – Abstain. I would like to make a comment please. I worked hard for this Township for many years. I pride myself on the elections that have been run in my office with honesty and integrity and I am surprised by Jean Ledford's comments and I am saddened by it. Thank you.

**D. Disposition of a 2% salary increase for all staff, Planning Commission Members, and Zoning Board of Appeals.**

Moved by Lowe and supported by Mortensen to approve the pay increase as recommended. The motion carried unanimously.

**E. Deleted - Disposition of a \$12.00 increase in refuse collection and disposal with the cost levied on the December 2021 Winter Tax Bill.**

**F. Disposition of budgets 101, 212, 261, 264, 270, and 271 as requested.**

Moved by Ledford and supported by Mortensen approve budgets 101, 212, 261, 264, 270, 271 as requested. The motion carried unanimously.

**6. Request for approval of the following Debt Service Fund Budgets for the Fiscal Year ending March 31, 2022: Fund 852, 859, 872, and 873 as provided by Treasurer Hunt.**

Moved by Lowe and supported by Ledford to approve the Debt Service Fund Budgets as requested. The motion carried unanimously.

Moved by Hunt and supported by Lowe to adjourn the public hearing and regular meeting of the board at 8:10 p.m.



**Paulette A. Skolarus, Clerk  
Genoa Charter Township**

**Bill Rogers, Supervisor  
Genoa Charter Township**

**GENOA CHARTER TOWNSHIP BOARD**  
**Special Meeting/Public Hearing - Virtual**  
**March 29, 2021**

**MINUTES**

Rogers - Due to Michigan Department of Health and Human Services requirements, this meeting will be held virtually. The public may participate in the meeting/public hearing through Zoom access by computer and smartphone. A link will be posted at genoa.org. Please email info@genoa.org or call (810) 227-5225 if you have questions.

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall with others remotely in the Township. The Pledge of Allegiance was then said. The following members were present for the roll call meeting, either at home or the township office, constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and no persons in the audience.

A Call to the Public was made with no response. The Call to the Public will be open for the continuation of the meeting.

**Regular Agenda:**

Moved by Mortenson and supported by Ledford to approve for action Public Hearing and Resolution 210329 as requested. The motion carried unanimously.

**1. Public hearing and consideration of Resolution 210329 supporting the Michigan Natural Resources Trust Fund (MNRTF) grant application and related financial commitment in an amount not to exceed \$300,000 for acquisition of land adjacent to the existing Township Park consisting of approximately 90 acres of property (parcel ID #s 4711-14-300-018, 4711-14-400-006 and 4711-23-100-001) located along the north and south sides of Crooked Lake Road, south/southwest of I-96, east of Dorr Road, and north of Challis Road.**

**a. Public Hearing on MNRTF Acquisition Grant Application**


A call to the Public was made with no response.



**b. Consideration of Resolution 210329 (Roll Call)**

Moved by Lowe and supported by Mortenson to approve Resolution No. 210329 correcting the parcel number on the resolution to read 4711-14-400-006. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortenson, Skolarus and Rogers. Nay – None. Absent – None.

Moved by Hunt and supported by Lowe to adjourn the Public Hearing at 6:45 p.m.



Paulette A. Skolarus, Clerk  
Genoa Charter Township



Bill Rogers, Supervisor  
Genoa Charter Township

GENOA CHARTER TOWNSHIP BOARD  
Regular Meeting/Public Hearing  
April 5, 2021

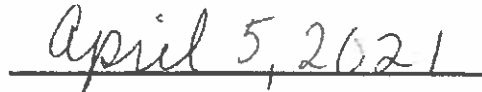
MINUTES

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall. The Pledge of Allegiance was then said. The following members were present for the roll call meeting, at the township office, constituting a quorum for the transaction of business: Bill Rogers, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Attorney Joe Seward, Manager Michael Archinal and 52 persons in the audience. It is the intention of the Board to try to locate larger facilities to accommodate the people in attendance. The facility needs to hold at least 50 plus people. The meeting may take place the 19<sup>th</sup> of April or the 5<sup>th</sup> of May.

Jim Mortensen motioned to adjourn Diana Lowe supported. Adjourned 6:32 pm.



Denise Schniers



Date

GENOA CHARTER TOWNSHIP BOARD  
Regular Meeting & Public Hearing  
April 19, 2021

MINUTES

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall. The Pledge of Allegiance was then said. The following members were present constituting a quorum a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and more than 50 persons in the audience.

Supervisor Rogers thanked the residents for wearing masks. He then advised the audience that the number of person present exceeded State Law and that the meeting would be adjourned. Moved by Mortenson and supported by Hunt to adjourn the Regular Meeting of the board at 6:33 p.m. The motion carried unanimously.



Paulette Skolarus, Clerk  
Genoa Charter Township Board

Bill Rogers, Supervisor  
Genoa Charter Township Board

**RESOLUTION**

**NO: 210503A**

**GENOA CHARTER TOWNSHIP**

**DATE: May 3, 2021**

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**RESOLUTION AUTHORIZING GENOA CHARTER TOWNSHIP TO DECLARE A LOCAL STATE OF EMERGENCY.**

**WHEREAS,** Genoa Charter Township has been impacted by the Novel Coronavirus (COVID-19), a respiratory disease that can result in serious illness or death; and

**WHEREAS,** Genoa Charter Township must be able to continue government and business operations safely, without posing a danger to the public or county officials; and

**WHEREAS,** On October 16, 2020 Senate Bill 1108 extended the ability to hold public meetings electronically/virtually through December 31, 2020 and retroactively from March 18, 2020;

**WHEREAS,** Senate Bill 1108 further states that between January 1, 2021 and December 31, 2021, public meetings may be held electronically/virtually if there is declared a statewide or local state of emergency or state of disaster as described in section 3(2); and,

**WHEREAS,** On December 23, 2020, Michigan Governor Gretchen Whitmer signed into law Senate Bill 1246, extending the authority for public bodies to conduct electronic "virtual" meetings for any reason through March 31, 2021.; and

**WHEREAS,** Senate Bill 1246 has not been amended and expired on March 31, 2021; and

**WHEREAS,** Livingston County, as of April 12, 2021, has experienced 13,916 confirmed cases of COVID 19; 158 confirmed COVID 19 related deaths; and cases are expected to continue through spring of 2021; and

**THEREFORE BE IT RESOLVED** that the Genoa Charter Township Board of Trustees hereby authorizes a Local Declaration of Emergency in order to protect the safety, health, and wellbeing of the public and government officials while conducting business utilizing an electronic / virtual platform to hold public meetings, and meet the requirements of the Michigan Open Meetings Act.

**BE IT FURTHER RESOLVED** the Clerk of the Board of Trustees be authorized to certify this Local Declaration of Emergency Resolution for Genoa Charter Township. The Local Declaration will cover all local jurisdictions within Genoa Charter Township to conduct public meetings utilizing electric / virtual platforms. This Signed Local Declaration Resolution shall be submitted to Michigan State Police Emergency Management Division by the Township Clerk and filed with the Livingston County Clerk's Office.

**BE IT FURTHER RESOLVED** that due to the prolonged nature of this event, this emergency declaration may remain in effect until December 31, 2021 or when the Board acts to terminate or extend the state of emergency.

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# # #

**MOVED:**  
**SECONDED:**  
**CARRIED:**


**CLERK'S CERTIFICATE**

The undersigned, being the duly qualified and Clerk of Genoa Charter Township, Livingston County, Michigan, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a Regular Board meeting held on April 19, 2021 at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267), Public Acts of Michigan, 1976, as amended), and (4) minutes of such meeting were kept and will be or have been made available as required.

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Paulette Skolarus, Clerk  
Genoa Charter Township  
Date: May 3, 2021

# MEMORANDUM

TO: Township Board  
FROM: Michael Archinal   
DATE: 4/15/2021  
RE: Kellogg Road and Storm Sewer Engineering Design Proposal  
Township Hall Turning Lane Engineering Design Proposal

For your consideration this evening are two road related proposals for projects that are included in the FY 2021/2022 Budget. Because these projects are outside the normal scope of the Road Commission's Pavement Improvement Plan and gravel road improvements they have asked that we pursue engineering design to accommodate traffic and drainage considerations. Please consider the following actions:

**Moved by \_\_\_\_\_, supported by \_\_\_\_\_, to approve a proposal from Tetra Tech in the amount of \$22,000 for engineering design services related to Kellogg Road Improvements (2021).**

**Moved by \_\_\_\_\_, supported by \_\_\_\_\_, to approve a proposal from Tetra Tech in the amount of \$4,000 for engineering design services related to Township Hall turning lane installation (2021).**



April 5, 2021

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Kellogg Road and Township Hall Turn Lane; Road and Storm Sewer Improvements  
Design Engineering Proposal**

Dear Mr. Archinal:

Pursuant to our recent discussion, Tetra Tech is pleased to provide this proposal to prepare design and bidding documents for the paving and storm improvements for approximately 800 feet of Kellogg Road from Grand River to the entrance drive to Courtland Condominium development and for the addition of a right turn lane at the entrance to the Township Hall parcel on Dorr Road. In our review of the project area it appears that Kellogg Road may need to be a curbed section in some areas to direct stormwater to the existing private systems on each side of the road. These systems should be designed to accommodate the road runoff and should not require additional improvements. The road improvements would consist of adding aggregate base as required to the existing gravel surface and then installing a hot mix asphalt surface. The road would be constructed to a two-lane cross section with either a 2-foot gravel shoulder or concrete curb and gutter where the extent of the grading needs to be mitigated. Ditch grading would be necessary to direct the stormwater to the existing storm sewer catch basins. The design documents would be submitted to the LCRC for review and approval prior to bidding.

The turn lane at the Township Hall will require filling of the existing ditch and relocating the ditch further east on the Township parcel. Gravel base and a hot mix asphalt section would then be constructed inclusive of a 2-foot gravel shoulder. The turn lane would extend approximately 100 feet south of the existing lane and then taper back to the travel surface. The design documents would be included with the Kellogg Road improvements to attempt to take advantage of the scale of the project to receive acceptable bids.

To assist the Township and the LCRC, we have prepared the following scope of work for the topographic survey, geotechnical investigation, and design services to be ready to solicit bids for the work.

Tetra Tech  
401 South Washington Square, Suite 100, Lansing, MI 48933  
Tel 517.316.3930 Fax 517.484.8140 [www.tetrattech.com](http://www.tetrattech.com)

## SCOPE OF WORK

### *Design & Surveying Phase*

- Prepare base mapping by obtaining topographic survey, right-of-way, and utility information for the project area. The base plans will include approximately 800 feet of Kellogg Road and 300 feet of Dorr Road.
- Perform hydraulic calculations for the design of the storm collection system and determine its impact on the adjacent private stormwater systems.
- The scope of work does not include any modifications to the private storm nor any detention or retention design.
- Engage a geotechnical subconsultant to obtain soil information via hand augers for the storm sewer and road improvements on Kellogg Road. It is anticipated that three hand augers will be obtained and analyzed.
- Prepare plans and review with Township and LCRC staff at 60% and 95% stages of development. The plans will include the proposed road improvements, the routing of the new storm sewer and information obtained from the utility and survey scope of services.
- Prepare a preliminary opinion of probable construction cost at the different design stages.
- Attend up to three meetings to review the project progress and present the project to the Township Board.

### *Bidding and Construction Phases*

- Bidding and Construction phase services will be included in a separate scope of services and proposal.

## SCHEDULE

Presented below is the proposed schedule for the project.

### *Milestones Schedule*

Preliminary Design and Topographic Survey	April 2021
Final Design and Permitting	June 2021
Bidding & Contracting	July 2021
Construction	August – September 2021



Mr. Mike Archinal  
Kellogg Road and Township Hall Turn Lane  
Design Engineering Proposal  
April 5, 2021  
Page 3

**BUDGET**

Compensation for our personnel directly involved in the work of this proposal will be invoiced based on our hourly billable rates plus subcontracted services and outside invoices multiplied by 1.15, plus in-house reimbursable expenses. We proposed the following budgets for each portion of the project:

	<b>Kellogg Road</b>	<b>Twp Hall Turn Lane</b>
Topographic Survey	\$3,000	\$1,600
Geotechnical Investigation	\$4,000	\$0
Design	\$15,000	\$2,400
Total Design Phase	\$22,000	\$4,000

If this proposal is acceptable, please sign below and return a copy to our office for our authorization to proceed. The agreement for this project is comprised of this proposal and the attached Tetra Tech Standard Terms and Conditions.

We appreciate the opportunity to provide continuing service to Genoa Township and the LCRC. If you have any questions regarding this proposal please call.

Sincerely,



Gary J. Markstrom, P.E.  
Vice President

Enclosure

**PROPOSAL ACCEPTED GENOA TOWNSHIP**

**BY:** \_\_\_\_\_

**TITLE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**Tetra Tech of Michigan, PC**  
**Engineering Services Standard Terms & Conditions**



**Services** Consultant will perform services for the Project as set forth in Attachment A and in accordance with these Terms & Conditions. Consultant has developed the Project scope of service, schedule, and compensation based on available information and various assumptions. The Client acknowledges that adjustments to the schedule and compensation may be necessary based on the actual circumstances encountered by Consultant in performing their services. Consultant is authorized to proceed with services upon receipt of an executed Agreement.

**Compensation** In consideration of the services performed by Consultant, the Client shall pay Consultant in the manner set forth above. The parties acknowledge that terms of compensation are based on an orderly and continuous progress of the Project. Compensation shall be equitably adjusted for delays or extensions of time beyond the control of Consultant. Where total project compensation has been separately identified for various tasks, Consultant may adjust the amounts allocated between tasks as the work progresses so long as the total compensation amount for the project is not exceeded.

**Fee Definitions** The following fee types shall apply to methods of payment:

- **Salary Cost** is defined as the individual's base salary plus customary and statutory benefits. Statutory benefits shall be as prescribed by law and customary benefits shall be as established by Consultant employment policy.
- **Cost Plus** is defined as the individual's base salary plus actual overhead plus professional fee. Overhead shall include customary and statutory benefits, administrative expense, and non-project operating costs.
- **Lump Sum** is defined as a fixed price amount for the scope of services described.
- **Standard Rates** is defined as individual time multiplied by standard billing rates for that individual.
- **Subcontracted Services** are defined as Project-related services provided by other parties to Consultant.
- **Reimbursable Expenses** are defined as actual expenses incurred in connection with the Project.

**Payment Terms** Consultant shall submit invoices at least once per month for services performed and Client shall pay the full invoice amount within 30 days of the invoice date. Invoices will be considered correct if not questioned in writing within 10 days of the invoice date. Client payment to Consultant is not contingent on arrangement of project financing or receipt of funds from a third party. In the event the Client disputes the invoice or any portion thereof, the undisputed portion shall be paid to Consultant based on terms of this Agreement. Invoices not in dispute and unpaid after 30 days shall accrue interest at the rate of one and one-half percent per month (or the maximum percentage allowed by law, whichever is the lesser). Invoice payment delayed beyond 60 days shall give Consultant the right to stop work until payments are current. Non-payment beyond 70 days shall be just cause for termination by Consultant.

**Additional Services** The Client and Consultant acknowledge that additional services may be necessary for the Project to address issues that may not be known at Project initiation or that may be required to address circumstances that were not foreseen. In that event, Consultant shall notify the Client of the need for additional services and the Client shall pay for such additional services in an amount and manner as the parties may subsequently agree.

**Site Access** The Client shall obtain all necessary approvals for Consultant to access the Project site(s).

**Underground Facilities** Consultant and/or its authorized subcontractor will conduct research and perform site reconnaissance in an effort to discover the location of existing underground facilities prior to developing boring plans, conducting borings, or undertaking invasive subsurface investigations. Client recognizes that accurate drawings or knowledge of the location of such facilities may not exist, or that research may reveal as-built drawings or other documents that may inaccurately show, or not show, the location of existing underground facilities. In such events, except for the sole negligence, willful misconduct, or practice not conforming to the Standard of Care cited in this Agreement, Client agrees to indemnify and hold Consultant and/or its Subcontractor harmless from any and all property damage, injury, or economic loss arising or allegedly arising from borings or other subsurface penetrations.

**Regulated Wastes** Client is responsible for the disposal of all regulated wastes generated as a result of services provided under this Agreement. Consultant and Client mutually agree that Consultant assumes no responsibility for the waste or disposal thereof.

**Contractor Selection** Consultant may make recommendations concerning award of construction contracts and products. The Client acknowledges that the final selection of construction contractors and products is the Client's sole responsibility.

**Ownership of Documents** Drawings, specifications, reports, programs, manuals, or other documents, including all documents on electronic media, prepared under this Agreement are instruments of service and are, and shall remain, the property of Consultant. Record documents of service shall be based on the printed copy. Consultant will retain all common law, statutory, and other reserved rights, including the copyright thereto. Consultant will furnish documents electronically; however, the Client releases Consultant from any liability that may result from documents used in this form. Consultant shall not be held liable for reuse of documents or modifications thereof by the Client or its representatives for any purpose other than the original intent of this Agreement, without written authorization of and appropriate compensation to Consultant.

**Standard of Care** Services provided by Consultant under this Agreement will be performed in a manner consistent with that degree of care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances. Consultant makes no warranty or guaranty, either express or implied. Consultant will not be liable for the cost of any omission that adds value to the Project.

**Period of Service** This Agreement shall remain in force until completion and acceptance of the services or until terminated by mutual agreement. Consultant shall perform the services for the Project in a timely manner consistent with sound professional practice. Consultant will strive to perform its services according to the Project schedule set forth in the provisions for Scope of Work/Fee/Schedule in Attachment A. The services of each task shall be considered complete when deliverables for the task have been presented to the Client. Consultant shall be entitled to an extension of time and compensation adjustment for any delay beyond Consultant control.

**Insurance and Liability** Consultant shall maintain the following insurance and coverage limits during the period of service. The Client will be named as an additional insured on the Commercial General Liability and Automobile Liability insurance policies.

Worker's Compensation – as required by applicable state statute  
Commercial General Liability - \$1,000,000 per occurrence for bodily injury, including death and property damage, and \$2,000,000 in the aggregate  
Automobile Liability - \$1,000,000 combined single limit for bodily injury and property damage

Professional Liability (E&O) - \$1,000,000 each claim and in the aggregate

The Client shall make arrangements for Builder's Risk, Protective Liability, Pollution Prevention, and other specific insurance coverage warranted for the Project in amounts appropriate to the Project value and risks. Consultant shall be a named insured on those policies where Consultant may be at risk. The Client shall obtain the counsel of others in setting insurance limits for construction contracts.

**Indemnification** Consultant shall indemnify and hold harmless the Client and its employees from any liability, settlements, loss, or costs (including reasonable attorneys' fees and costs of defense) to the extent caused solely by the negligent act, error, or omission of Consultant in the performance of services under this Agreement. If such damage results in part by the negligence of another party, Consultant shall be liable only to the extent of Consultant's proportional negligence.

**Dispute Resolution** The Client and Consultant agree that they shall diligently pursue resolution of all disagreements within 45 days of either party's written notice using a mutually acceptable form of mediated dispute resolution prior to exercising their rights under law. Consultant shall continue to perform services for the Project and the Client shall pay for such services during the dispute resolution process unless the Client issues a written notice to suspend work. Causes of action between the parties to this Agreement shall be deemed to have accrued and the applicable statutes of repose and/or limitation shall commence not later than the date of substantial completion.

**Suspension of Work** The Client may suspend services performed by Consultant with cause upon fourteen (14) days written notice. Consultant shall submit an invoice for services performed up to the effective date of the work suspension and the Client shall pay Consultant all outstanding invoices within fourteen (14) days. If the work suspension exceeds thirty (30) days from the effective work suspension date, Consultant shall be entitled to renegotiate the Project schedule and the compensation terms for the Project.

**Termination** The Client or Consultant may terminate services on the Project upon seven (7) days written notice without cause or in the event of substantial failure by the other party to fulfill its obligations of the terms hereunder. Consultant shall submit an invoice for services performed up to the effective date of termination and the Client shall pay Consultant all outstanding invoices, together with all costs arising out of such termination, within fourteen (14) days. The Client may withhold an amount for services that may be in dispute provided that the Client furnishes a written notice of the basis for their dispute and that the amount withheld represents a reasonable value.

**Authorized Representative** The Project Manager assigned to the Project by Consultant is authorized to make decisions or commitments related to the project on behalf of Consultant. Only authorized representatives of Consultant are authorized to execute contracts and/or work orders on behalf of Consultant. The Client shall designate a representative with similar authority. Email messages between Client and members of the project team shall not be construed as an actual or proposed contractual amendment of the services, compensation or payment terms of the Agreement.

**Project Requirements** The Client shall confirm the objectives, requirements, constraints, and criteria for the Project at its inception. If the Client has established design standards, they shall be furnished to Consultant at Project inception. Consultant will review the Client design standards and may recommend alternate standards considering the standard of care provision.

**Independent Consultant** Consultant is and shall be at all times during the term of this Agreement an independent consultant and not an employee or agent of the Client. Consultant shall retain control over the means and methods used in performing Consultant's services and may retain subconsultants to perform certain services as determined by Consultant.

**Compliance with Laws** Consultant shall perform its services consistent with sound professional practice and endeavor to incorporate laws, regulations, codes, and standards applicable at the time the work is performed. In the event that standards of practice change during the Project, Consultant shall be entitled to additional compensation where additional services are needed to conform to the standard of practice.

**Permits and Approvals** Consultant will assist the Client in preparing applications and supporting documents for the Client to secure permits and approvals from agencies having jurisdiction over the Project. The Client agrees to pay all application and review fees.

**Limitation of Liability** In recognition of the relative risks and benefits of the project to both the Client and Consultant, the risks have been allocated such that the Client agrees, to the fullest extent permitted by law, to limit the liability of Consultant and its subconsultants to the Client and to all construction contractors and subcontractors on the project for any and all claims, losses, costs, damages of any nature whatsoever or claims expenses from any cause or causes, so that the total aggregate liability of Consultant and its subconsultants to all those named shall not exceed \$50,000 or the amount of Consultant's total fee paid by the Client for services under this Agreement, whichever is the greater. Such claims and causes include, but are not limited to negligence, professional errors or omissions, strict liability, breach of contract or warranty.

**Consequential Damages** Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the Client nor Consultant, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the project or to this Agreement. This mutual waiver of consequential damages shall include, but is not limited to, loss of use, loss of profit, loss of business, loss of income, loss of reputation or any other consequential damages that either party may have incurred from any cause including negligence, strict liability, breach of contract and breach of strict or implied warranty. Both the Client and Consultant shall require similar waivers of consequential damages protecting all the entities or persons named herein in all contracts and subcontracts with others involved in this project or with this Agreement.

**Waiver of Subrogation** Consultant shall endeavor to obtain a waiver of subrogation against the Client, if requested in writing by the Client, provided that Consultant will not increase its exposure to risk and Client will pay the cost associated with any premium increase or special fees.

**Environmental Matters** The Client warrants that they have disclosed all potential hazardous materials that may be encountered on the Project. In the event unknown hazardous materials are encountered, Consultant shall be entitled to additional compensation for appropriate actions to protect the health and safety of its personnel, and for additional services required to comply with applicable laws. The Client shall indemnify Consultant from any claim related to hazardous materials encountered on the Project except for those events caused by negligent acts of Consultant.

**Cost Opinions** Consultant shall prepare cost opinions for the Project based on historical information that represents the judgment of a qualified professional. The Client and Consultant acknowledge that actual costs may vary from the cost opinions prepared and that Consultant offers no guarantee related to the Project cost.

**Contingency Fund** The Client acknowledges the potential for changes in the work during construction and the Client agrees to include a contingency fund in the Project budget appropriate to the potential risks and uncertainties associated with the Project. Consultant may offer advice concerning the value of the contingency fund; however, Consultant shall not be liable for additional costs that the Client may incur beyond the contingency fund they select unless such additional cost results from a negligent act, error, or omission related to services performed by Consultant.

**Safety** Consultant shall be responsible solely for the safety precautions or programs of its employees and no other party.

**Information from Other Parties** The Client and Consultant acknowledge that Consultant will rely on information furnished by other parties in performing its services under the Project. Consultant shall not be liable for any damages that may be incurred by the Client in the use of third party information.

**Force Majeure** Consultant shall not be liable for any damages caused by any delay that is beyond Consultant's reasonable control, including but not limited to unavoidable delays that may result from any acts of God, strikes, lockouts, wars, acts of terrorism, riots, acts of governmental authorities, extraordinary weather conditions or other natural catastrophes, or any other cause beyond the reasonable control or contemplation of either party.

**Waiver of Rights** The failure of either party to enforce any provision of these terms and conditions shall not constitute a waiver of such provision nor diminish the right of either party to the remedies of such provision.

**Warranty** Consultant warrants that it will deliver services under the Agreement within the standard of care. No other expressed or implied warranty is provided by Consultant.

**Severability** Any provision of these terms later held to be unenforceable shall be deemed void and all remaining provisions shall continue in full force and effect. In such event, the Client and Consultant will work in good faith to replace an invalid provision with one that is valid with as close to the original meaning as possible.

**Survival** All obligations arising prior to the termination of this Agreement and all provisions of these terms that allocate responsibility or liability between the Client and Consultant shall survive the completion or termination of services for the Project.

**Assignments** Neither party shall assign its rights, interests, or obligations under the Agreement without the express written consent of the other party.

**Governing Law** The terms of Agreement shall be governed by the laws of the state where the services are performed provided that nothing contained herein shall be interpreted in such a manner as to render it unenforceable under the laws of the state in which the Project resides.

**Collection Costs** In the event that legal action is necessary to enforce the payment provisions of this Agreement if Client fails to make payment within sixty (60) days of the invoice date, Consultant shall be entitled to collect from the Client any judgment or settlement sums due, reasonable attorneys' fees, court costs, and expenses incurred by Consultant in connection therewith and, in addition, the reasonable value of Consultant's time and expenses spent in connection with such collection action, computed at Consultant's prevailing fee schedule and expense policies.

**Equal Employment Opportunity** Consultant will comply with federal regulations pertaining to Equal Employment Opportunity. Consultant is in compliance with applicable local, state, and federal regulations concerning minority hiring. It is Consultant's policy to ensure that applicants and employees are treated equally without regard to race, creed, sex, color, religion, veteran status, ancestry, citizenship status, national origin, marital status, sexual orientation, or disability. Consultant expressly assures all employees, applicants for employment, and the community of its continuous commitment to equal opportunity and fair employment practices.

**Attorney Fees** Should there be any suit or action instituted to enforce any right granted in this contract, the substantially prevailing party shall be entitled to recover its costs, disbursements, and reasonable attorney fees from the other party. The party that is awarded a net recovery against the other party shall be deemed the substantially prevailing party unless such other party has previously made a bona fide offer of payment in settlement and the amount of recovery is the same or less than the amount offered in settlement. Reasonable attorney fees may be recovered regardless of the forum in which the dispute is heard, including an appeal.

**Third Party Beneficiaries** Nothing in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party against either the Client or the Consultant. The Consultant's services under this Agreement are being performed solely for the Client's benefit, and no other entity shall have any claim against the Consultant because of this Agreement or the performance or nonperformance of services hereunder. The Client agrees to include a provision in all contracts with contractors and other entities involved in this project to carry out the intent of this paragraph.

**Lien Rights** Consultant may file a lien against the Client's property in the event that the Client does not make payment within the time prescribed in this Agreement. The Client agrees that services by Consultant are considered property improvements and the Client waives the right to any legal defense to the contrary.

**Captions** The captions herein are for convenience only and are not to be construed as part of this Agreement, nor shall the same be construed as defining or limiting in any way the scope or intent of the provisions hereof.

March 30, 2021

To: Genoa Charter Township Board

From: Polly Skolarus, Clerk

Subject: Summons to appear in court regarding Nov. 3, 2020 General Election

- The Livingston County Board of Canvassers called for a review of the Absent Voter Counting Board #2 at the County Courthouse on Nov. 9, 2020
- 1300 ballots were discovered in a canvas bag labeled *Official Ballot Bag*
- The canvas bag was signed and sealed along with the four separate ballot containers with approximately 8,000 ballots
- The canvas bags were usually used to hold the signed ballot envelopes from the election
- The Livingston county Board of Canvassers determined that the ballots from absent voter counting board No. 2 could not be re-tabulated because they were not sealed properly in the County Approved containers
- County Clerk Elizabeth Hundley sent the Minutes of that meeting to Prosecuting Attorney David Reader
- The Prosecuting Attorney then contacted the Michigan State Police who were asked to review the matter by contacting persons who worked the election

Attached are the following documents:

1. Picture of seals on the ballot bag for A.V. Counting Board #2
2. Picture of "Official Ballot Bag"
3. Picture of metal ballot container
4. Picture of seals on the metal ballot container
5. Language from pages 184, 185 and 194 (2001 election law)

When the Clerk's name is on the ballot State Law limits the interaction with me and the absent voter counting board. I did greet my election officials and welcomed them to the office. I did speak with them when they encountered problems. I was not aware that they placed ballots in a canvas bag. The Receiving Board looked at four ballot containers without ever realizing that ballots were also placed in a canvass bag.

In my 36 years as Clerk of Genoa Township, I pride myself on running secure elections and never allowing our residents to wait in long lines to vote. I do not believe any of my election officials were at fault as they have worked for me for decades.

The cost for Criminal Defense is not covered by our insurance carrier MMRMA. The firm of Seward/Henderson does engage in criminal law. Enclosed is memo from Joe Seward advising me that this is a very serious matter and I will need Criminal Defense.

Joe Seward advised me that a Criminal Defense Lawyer will charge between \$5,000.00 and \$10,000.00 to defend me. I am asking for a maximum contribution of \$5,000.00 from Genoa Township for my defense. Robin Hunt did state at the last Administrative Meeting that she will not be in attendance at the April 5, 2021 meeting, but felt it was appropriate. Bill Rogers asked that I contact Joe Seward and provide additional information to the board as to cost.

### Sealing Containers

There are several different styles of ballot containers, but all of them have some common features. They must contain **all voted ballots**, the **Spoiled Ballot Envelope**, and the **Original Ballot envelope** (if any ballots had to be duplicated).

**!** Seal all large envelopes with Red Paper seals, signed by two Election Inspectors of different political parties.

They must then be sealed properly with a **green ballot container certificate** that has been signed by two Election Inspectors of different political parties.

Remove all ballots from the **ballot box**, and put them in the **ballot container**. Place the envelopes containing Spoiled Ballots and Duplicated Ballots in the ballot container alongside the ballots. Seal the ballot container so that no ballots can be placed into the ballot container without breaking or damaging the seal.

Two election inspectors, one Republican and one Democrat, must record the **ballot container seal number** on the **back page** of the poll book.

## BALLOT CONTAINER CERTIFICATE

Date of Election: \_\_\_\_\_

City, Township or Village \_\_\_\_\_

Ward / Precinct # \_\_\_\_\_

### This ballot container contains:

- Voted Ballots
- Spoiled Ballot Envelope
- Unvoted Ballots
- Original Ballot Envelope

We, the undersigned members of the Board of Election Inspectors, certify that the ballot container was properly sealed by affixing seal # \_\_\_\_\_

**X**

Signature of member who sealed/verified the ballot container.

**X**

Signature of member who sealed/verified the ballot container.

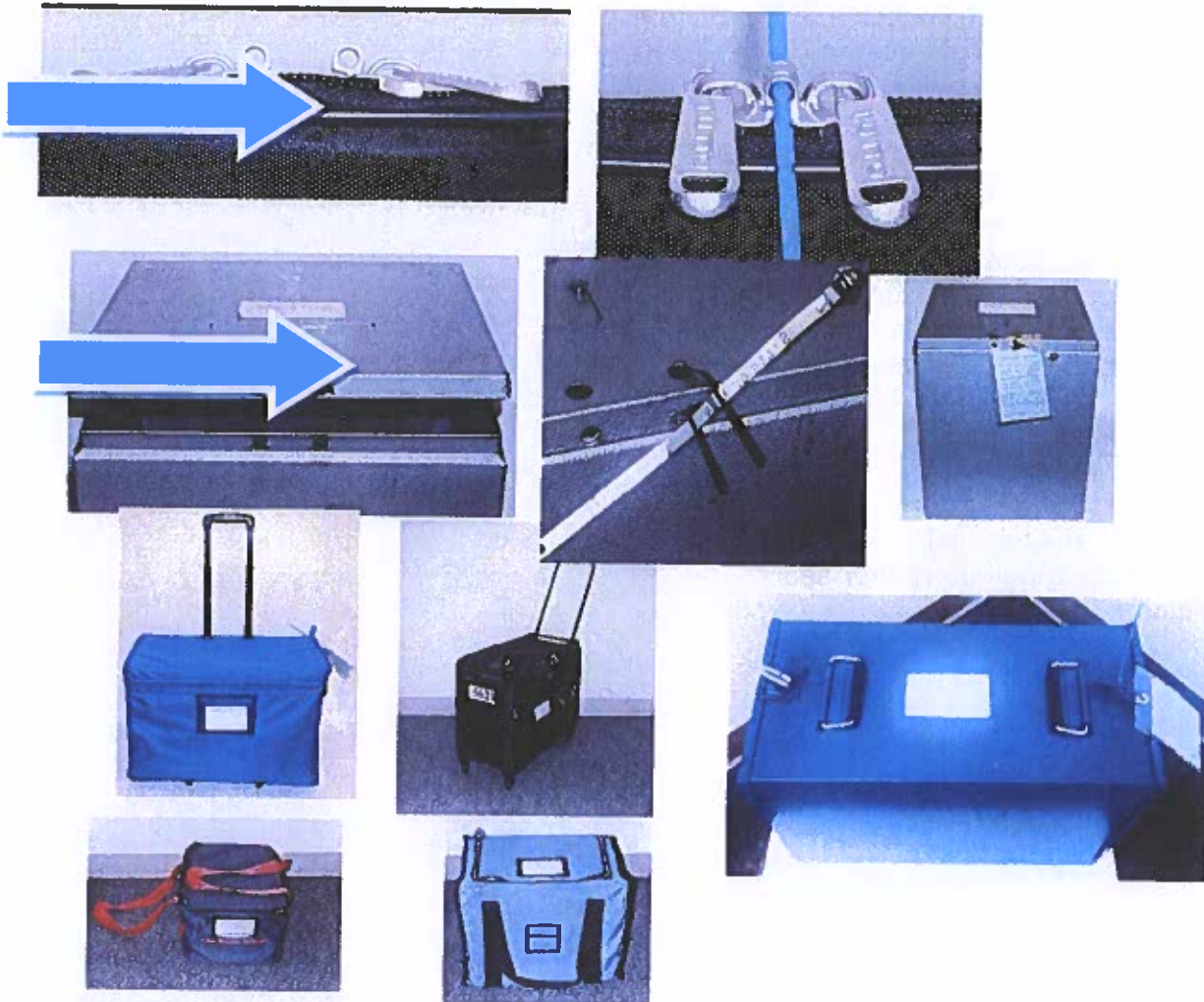
FORM NO. #556 (6/10) PRINTING SYSTEMS, INC. • (800) 86-1234

<input type="checkbox"/> By signing below we, the undersigned members of the Board of Election Inspectors, certify that all ballots delivered to the Board were properly sealed into an approved <b>BALLOT STORAGE CONTAINER</b> by affixing seals.	No
<input type="checkbox"/> We further certify that <b>Big Calculator Program (Memory Card PROM Pack)</b> has been removed from the tabulator if it was properly sealed in an approved <b>TRANSFER CONTAINER</b> bag by affixing seal.	No
<b>X</b> Signature of member who sealed/verified the <b>BALLOT STORAGE CONTAINER</b> and <b>TABULATOR PROGRAM TRANSFER CONTAINER</b> bag.	
<b>X</b> Signature of member who sealed/verified the <b>BALLOT STORAGE CONTAINER</b> and <b>TABULATOR PROGRAM TRANSFER CONTAINER</b> bag.	

Ballot Container

Seal # for vDrive container (blue nylon)

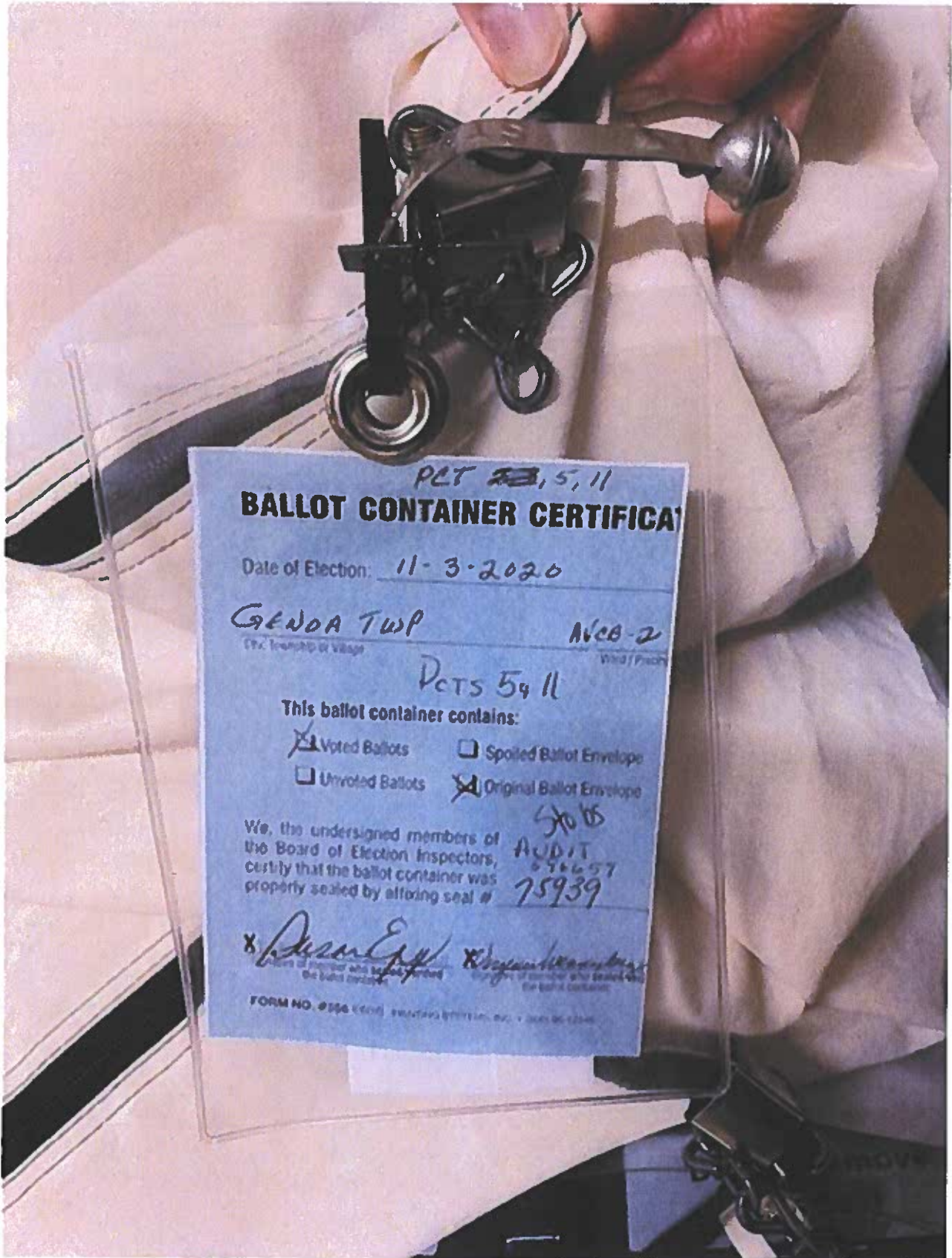
Two common types of ballot containers are either a) blue canvass bag with interlocking zippers, or b) a square metal container. A blue plastic seal can be used for either container. For the canvass bag, this type of seal should go through both eyelets, as seen below. For the metal container, a blue plastic seal can be used to secure the lid, so long as it is synched tightly so that the lid cannot be opened. A flat metal seal should be used, along with a metal horseshoe attachment, as pictured below.



### Signature Requirements

Election Inspectors are required to verify and sign in multiple places in the paper copy of the poll book. Remember to sign all of the following:

- Front cover of the poll book, if **administering the Oath of Office** (Chair)
- Front cover of the poll book, after **taking the Oath of Office**
- The bottom of the **Zero Report Tape**, if present for the opening of the polls
- **All three Totals Report Tapes**, if present at the end of the night
- All **ballot container** certificates (Republican and Democrat)
- **Back cover** of the poll book to verify seal numbers (Republican and Democrat)
- **Back cover** of the poll book, if present at the close of polls



PCT 5, 11  
**BALLOT CONTAINER CERTIFICATE**

Date of Election: 11-3-2020

GRENDA TWP  
Twp. Township or Village

NCO-2  
Ward / Precinct

PCTS 54 11

**This ballot container contains:**

- Voted Ballots
- Spoiled Ballot Envelope
- Unvoted Ballots
- Original Ballot Envelope

We, the undersigned members of the Board of Election Inspectors, certify that the ballot container was properly sealed by affixing seal #

59015  
AUDIT  
59657  
75939

*[Signature]*  
Member of Board of Election Inspectors who sealed the ballot container

*[Signature]*  
Member of Board of Election Inspectors who sealed the ballot container



Mary Krencicki

3

**From:** Polly  
**Sent:** Tuesday, March 23, 2021 2:11 PM  
**To:** Mary Krencicki






2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

**MEMORANDUM**

**TO:** Honorable Board of Trustees  
**FROM:** Kelly VanMarter, Assistant Manager/Community Development Director  
**DATE:** March 29, 2021  
**RE:** **Catholic Healthcare International Special Land Use, Impact Assessment, and Site Plan**

Managers Review: 

Attached please find the project case file for a 6,090 square foot church and outdoor accessory uses and structures including grotto/mural wall, alter, Stations of the Cross, and a statue located at 3280 Chilson Road, Howell. The request is petitioned by Catholic Healthcare International.

Churches, temples and similar places of worship are allowed with special land use approval subject to the requirements of Section 3.03.02(I) in the CE district. Procedurally, the Planning Commission conducts a public hearing, reviews the special land use, site plan and impact assessment and makes a recommendation to the Township Board.

This project was reviewed by the Planning Commission on the February 8, 2021 and March 8, 2021 meeting dates. A public hearing was held at both meetings and extensive public input was received. After being tabled at the February 8, 2021 meeting, the Planning Commission recommended conditional approval of the Special Land Use, Impact Assessment and Site Plan by a narrow margin of one vote (4-3) at the March 8<sup>th</sup>, 2021 meeting.

Given the close vote at the Planning Commission, I have prepared two motions for the Board’s consideration. The first is based on the action of the Planning Commission and provides for Board consideration for approval. The second motion would be appropriate for Board consideration if the desire is for a denial. These motions can be utilized by the Board in whole or in part however you see fit.

**SPECIAL LAND USE – APPROVAL**

**Moved by \_\_\_\_\_, Supported by \_\_\_\_\_ to APPROVE** the Special Land Use permit because it has been found that the requested use meets the requirements of Sections 19.03 and 3.03.02(I) of the Township Ordinance, is compatible with the Master Plan as a special use, will not adversely impact and will preserve the natural and agricultural features in the surrounding area, will not require public utilities from the Township such as sewer, water and school usage and will not be a burden on police and fire services. This approval is subject to the following conditions:

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

**MANAGER**

Michael C. Archinal

- All events and use of the property shall not exceed the amount of improved parking spaces provided on the site.
- No outdoor amplification of sound shall be allowed. The use shall comply with the noise ordinance and the noise permitted shall be no greater than the normal level of traffic noise existing in the area at the time of such emission pursuant to Section 13.05.06.

**SPECIAL LAND USE – DENIAL**

**Moved by \_\_\_\_\_, Supported by \_\_\_\_\_** to deny the Special Land Use request as provided by Section 19.02.04(f)(5) for a 6,090 square foot Catholic Healthcare International Church and related outdoor accessory uses and structures located at 3280 Chilson Road, Howell. This action is based upon the finding that the proposed use is inconsistent with the standards of Section 19.03.01, 19.03.02, 19.03.04, and 19.03.05 of the Township Zoning Ordinance and specifically finds that:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings and outdoor special events with an unknown number of visitors is not consistent with the following goals, objectives and policies of the Master Plan:
  - a. The use does not “Promote harmonious and organized development consistent with adjacent land uses”;
  - b. The proposed use is located within the rural reserve area outside of the growth boundary and is contrary to the purpose of the rural reserve area which is an area that is to be “maintained at a relatively low intensity rural character of development, typically more than 2 acres per dwelling unit, that will not adversely impact natural features and agricultural uses”;
  - c. The proposed use is not consistent with the following description of the Agricultural/Country Estate planned areas: “These areas shall remain in agricultural use, or develop as single family residential on estate lots. Many of the areas are prime farmland or have significant natural limitations such as wetlands or severe soil limitations. As these areas are not planned for sanitary sewer, they can only support low density residential development. This classification is recommended for single family residences on lots no smaller than 5 acres.”
2. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is in direct contrast with all aspects of the statement of purpose for the Country Estate zoning district which states that “The Country Estate (CE) District is established as a district where the principal use is residential, with smaller scale farming and raising of horses and livestock typically an accessory use. The health, safety and welfare contribution of this district is to retain the rural atmosphere and quality of life while accommodating compatible, very low density, residential development”.
3. The amount of traffic, visitors, lighting, noise, and activity associated with the use is not compatible with and will significantly alter the existing and intended character of the general vicinity. Events previously held at the site were described as having heavy traffic with cars parked on the roadway causing hazardous conditions.
4. The impacts of the proposed use and activities will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, lighting or other such nuisance.

**ENVIRONMENTAL IMPACT ASSESSMENT – APPROVAL**

**Moved** by \_\_\_\_\_, **Supported** by \_\_\_\_\_, to approve the Environmental Impact Assessment dated February 16, 2021 subject to the following:

1. The General Operations Plan and the statement from CHI indicating what will not be constructed on this property will become attached to and become part of the Environmental Impact Assessment.

**ENVIRONMENTAL IMPACT ASSESSMENT – DENIAL**

**Moved** by \_\_\_\_\_, **Supported** by \_\_\_\_\_, to deny the Environmental Impact Assessment dated February 16, 2021 due to non-compliance with the standards of Section 18.08 and more specifically sections 18.08.02, 18.08.10, and 18.08.11 as follows:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is not harmonious with, and will be harmful, injurious, or objectionable to, existing and planned future uses in the immediate area. The proposed development is not coordinated with other developments in the vicinity.
2. The traffic impact analysis did not consider the trips associated with the outdoor site features or the planned special events and is therefore lacking information to determine if impacts are properly mitigated and it cannot be determined that safe, convenient, uncongested, and well defined vehicular and pedestrian circulation is provided within and accessing the site.
3. Without knowing the full scope of the traffic impacts, it is unclear if access to the site is designed to minimize conflicts between vehicles and with traffic using adjacent streets and driveways.

**SITE PLAN – APPROVAL**

**Moved** by \_\_\_\_\_, **Supported** by \_\_\_\_\_, to approve the Site Plan dated March 25, 2021 subject to the following:

1. The building materials are acceptable and will become the property of the Township.
2. The requirements of the Township Engineer in his letter of March 3, 2021 shall be met.
3. The requirements of the Brighton Area Fire Marshal’s letter dated February 18, 2021 shall be met.
4. The requirements of the Livingston County Road Commission will be met as spelled out in their letter of January 22, 2021.

**SITE PLAN – DENIAL**

**Moved** by \_\_\_\_\_, **Supported** by \_\_\_\_\_, to deny the Site Plan dated March 25, 2021 due to non-compliance with the standards of Section 18.08 and more specifically sections 18.08.02, 18.08.10, and 18.08.11 as follows:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is not harmonious with, and will be harmful, injurious, or objectionable to, existing and planned future uses in the immediate area. The proposed development is not coordinated with other developments in the vicinity.

March 29, 2021

**Catholic Healthcare International Special Land Use**

Page 4 of 4

2. The traffic impact analysis did not consider the trips associated with the outdoor site features or the planned special events and is therefore lacking information to determine if impacts are properly mitigated and it cannot be determined that safe, convenient, uncongested, and well defined vehicular and pedestrian circulation is provided within and accessing the site.
3. Without knowing the full scope of the traffic impacts, it is unclear if access to the site is designed to minimize conflicts between vehicles and with traffic using adjacent streets and driveways.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter

Assistant Township Manager/Community Development Director



**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

APPLICANT PHONE: ( 636 ) 220-6550 OWNER PHONE: ( 636 ) 220-6550

OWNER EMAIL: C.H.I. Contact: Jere Palazzolo, jpalazzolo@chi-usa.com

LOCATION AND BRIEF DESCRIPTION OF SITE: West of Chilson Rd, approximately 1,800 ft south of Crooked Lake Rd. Site consists of approximately 40 acres of rolling topography.

The western(rear) portion of the site contains small wetlands and is wooded. The southeastern portion of the site is primarily open meadow with stands of trees mixed in.

BRIEF STATEMENT OF PROPOSED USE: Site to include a proposed church and associated drives and parking areas. The layout of the drives and church is such that it works with the existing topography to minimize earth disruption as well as meanders around trees to preserve as many as feasible and maintain the character of the site.

THE FOLLOWING BUILDINGS ARE PROPOSED: A 6,084 sqft church building.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: Jere Palazzolo **JERE PALAZZOLO**

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

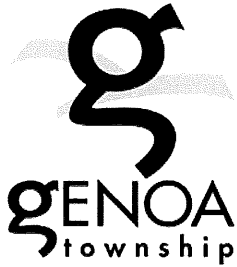
**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott Tousignant of Boss Engineering at bosseng.com  
Name Business Affiliation E-mail Address

### FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Jere Palazzo DATE: 12/9/20  
PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550  
ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDBWOOD, MO 63040



**GENOA CHARTER TOWNSHIP**  
**Special Land Use Application**

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040  
*Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.*

APPLICANT PHONE: (636 ) 220-6550 EMAIL: jpalazzolo@chi-usa.com

OWNER NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

OWNER PHONE: (636 ) 220-6550 EMAIL: jpalazzolo@chi-usa.com

**Location and brief description of site and surroundings:**

Site located west of Chilson Road, approximately 1,800 feet south of Crooked Lake Road. Located on approximately 40 acres, surrounded by CE zoning to the north/south/west with RR zoning to the east across Chilson Road. The site contains rolling topography with wetlands and woodlands on the west side of the site and open area with stands of trees on the southeast side of the site (area of development).

**Proposed Use:**

6,084sqft church building with associated drives and parking. The remainder of the site will be used for outdoor features, like an outdoor Stations of the Cross walkway, natural nature trail, and outdoor grotto sign.

**Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):**

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The purpose of the Country Estate Zoning is to retain the rural atmosphere while accommodating very low density development. The layout of this site is such that it is meant to work with the natural features of this site in order to preserve the atmosphere and surroundings. The proposed use for this site is low density with the largest traffic generating event filling an approximate 80 seat church.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The only building being proposed is being placed setback significantly off of Chilson Road. The site drives are designed to match the existing topography as closely as possible to minimize earth disturbance. The drives meander around trees in order to preserve the sites natural beauty and thus maintain the appearance from Chilson Road.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

Emergency vehicle access is via a paved drive within the site with access off of Chilson Road. This building will be serviced by a well and septic field, as is consistent with adjacent parcels. This site has no impact on schools. The waste generated by this site is minimal and anticipated to be serviced by typical weekly waste streetside pickup. Stormwater management is located on-site.



d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

There will be a minimal increase in traffic for any church services held on site. The site and use highlights the natural beauty of the property so the intent is to have minimal lighting and noise generated by the use. No fumes, odors, smoke, vibration and other such nuisances will be generated by this site.

c. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02: This site meets the minimum lot size req. as it is a 40 acre site. This site layout meets the 50' parking lot setback req.

7.02.02: N/A

8.02.02: N/A

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Jere Palazzo STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: JERE PALAZZOLO

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Scott Tousignant, P.E.	of Boss Engineering	at scottt@bosseng.com
Name	Business Affiliation	Email

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Jere Palazzo DATE: 12/9/20

PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550

showing the views from Grand River and Pless Drive. A second sign would help customers on Pless Drive.

Commissioner McCreary questioned the wording on the sign, which says "Furniture Showroom" and not "State Street Blinds and Design". Ms. Hansen stated this logo is also used in their social media so customers will recognize it.

Commissioner Rauch questioned if Pless Drive is a private road. Ms. VanMarter stated that it is a private road so, per the sign ordinance, this business does not qualify for two wall signs. She thought it better for the Planning Commission to review this request instead of the Zoning Board of Appeals.

Commissioner Rauch stated that both signs together are still under the total allowable square footage and although Pless Drive is a private road, he believes the public thinks it is a public road, so there is good cause to support this second sign. Commissioners Dhaenens and Rickard agree.

The call to the public was made at 6:45 pm with no response.

**Moved** by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the sketch plan for the property at 7041 Grand River Avenue by Kelly Hansen with the understanding that the support is due to the building existing on two roadways, one being a public roadway, Grand River, and the other a private road, Pless Drive, and since it is a corner building, The Planning Commission finds the need for two wall signs is appropriate in this instance. The sign meets all other requirements of the sign ordinance. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2-16-21)
- C. Recommendation of Site Plan (2-16-21)

Mr. Scott Tousignant of Boss Engineering, Mr. Jere Palazzolo, President of Catholic Healthcare International, Father Tim, and Mary Swanson, the project architect, were present.

Mr. Tousignant stated they are seeking site plan approval for a chapel with outdoor amenities and uses.

He noted that there were items discussed at last month's meeting that needed to be addressed.

- They have continued the evergreen tree line on the southern property line with a double row of staggered evergreen trees. They have also placed the same type of screening south of the chapel. There is not enough space along Chilson Road for them to plant additional trees and shrubs to meet the ordinance because there is a lot of vegetation in this area already; however, they have added three trees to this area.

- They were asked to add curb and gutter to control storm water flow around the site. They have adjusted the grading and now have added the curbing. They have added curb drops around the site for better and easier pedestrian movement. The stormwater location has not changed and it is now better directed and will be collected more efficiently. They are still including two bumper blocks on the ADA parking spaces. There is a small row of ADA spaces near the chapel.
- There was concern regarding fire truck movements on the drive off of Chilson Road. They have reviewed it and made changes and it does meet the requirements of the Brighton Area Fire Authority.
- They have provided an Operations Plan that will include additional insight onto the use of the property.
  - They would have liked to have the bell, ring on the hour between 9 am and 9 pm, but have changed it to ring at noon and 6 pm daily, which will be three short rings. It will also be manually rung during special events, and this is outlined in their operations plan.
  - At the beginning, they will be holding one mass per week and once awareness of their site increases, it may increase to three masses per week. The maximum use would be a mass a day. As mass times are increased, the amount of people at each mass will decrease.
  - They have provided a local security or emergency contact, Ann O'Reilly, and her contact information is in the Operations Plan. They are also pursuing placing cameras on the church and lighting will be used as little as possible and only be used at dawn or dusk for movement into and out of the site. If there is ever a full time priest added to the site, he would be the on-site security contact.
  - For events, they are listed in the documentation and they will be controlled by using an event planning platform to assess the number of attendees.
  - If needs increase and there is not enough parking, they will encourage carpooling, institute a shuttle service or stagger the events. This will also be known before the event happens, and would then be moved to a local parish to accommodate the number of attendees. This site is not big enough to host massive 200 car events.

Their use does not warrant a traffic study; however, if the intensity of the use increases, a traffic study could be conducted to determine if improvements to Chilson Road are needed.

They understand how the members of the public would think that a hospital would be placed on this site based on information that is on their website. They have revised their website to clear up any confusion. There are many tangible physical items lacking on and around this site that would prohibit them from building a hospital, medical school, etc. There is a lack of infrastructure, public water and public sewer, there is a zoning issue, the size of the site, etc. There are way too many hurdles, it is not the intent nor is it the desire of Catholic Healthcare International (CHI) to have a medical facility or hospital on this specific site in Genoa Township.

Mr. Palazzolo reiterated that there is no plan to develop a hospital, medical school, research lab, physician practices, etc. on this site, which is being called the Chilson Road Prayer Campus. He read a statement that was published by CHI. This site will be only dedicated to prayer as a peaceful and pastoral site of pilgrimage.

Mr. Tousignant stated they hope that their changes to the plans based on last month's feedback as well as Mr. Palazzolo's statement meet the needs of the Planning Commission.

Commissioner Rickard asked if the bumper blocks could be removed and perhaps the width of the sidewalk could be increased. Mr. Tousignant stated the sidewalk is seven feet wide; however, they would like the bumper blocks to prohibit any vehicles from driving onto the sidewalk.

Commissioner McCreary stated a maintenance plan is not included in the General Operations Plan. Mr. Tousignant stated their operations plan provides information on mass times, bell use, etc. It is more geared toward the use and not so much the maintenance of those items. They would provide all asphalt, sidewalk, turf, tree maintenance, etc. as necessary, which is standard for the maintenance of any other property.

She asked what the refuse pickup would be. Mr. Tousignant stated there is one bathroom and one meeting room. It would be similar to a residential trash service.

She asked where the finances will come from to maintain the integrity of the buildings and the property. Mr. Palazzolo stated the funding will come from donations that they raise through their organization.

Commissioner Rauch thanked the petitioner for the operations plan. It is concise and easy to read. He asked for clarification regarding "Immediate Future". What day do they anticipate and then "Short Term", what days? Mr. Tousignant stated the mass will most likely be on Sunday and the three days would be two weekdays and then a Sunday, always during the non-peak traffic hours. Commissioner Rauch asked if there will be any outdoor amplification at any of the events. Mr. Palazzolo stated there may be a microphone for the person speaking; there will be no loud music. It may be background music for the event.

Commissioner Dhaenens also thanked the petitioner for updating the website. He wants to ensure that they always abide by the Township noise ordinance.

Commissioner McCreary asked if their upcoming events are being advertised or promoted. Mr. Palazzolo stated they have not advertised for them at this time, but they will advertise those events. They will be a small mass, which will require reservations and they will limit the number of people allowed to attend.

Commissioner Rickard is concerned with the rain gardens. They require significant maintenance. She asked if there are plans in place for this. Are they are doing soil borings and providing overflow pipe to release water? Mr. Tousignant stated that the drainage they are using is natural based on the topography of the site and they are only added a small amount of impervious surface in this area, so they feel what they have is appropriate.

Mr. Borden reviewed his letter dated March 3, 2021, noting that many of his issues were discussed by the petitioner and the Commission this evening.

- He recommends the Commission request decibal readings be provided regarding the bell chimes.
- The applicant should provide the Township with building material and color samples for inclusion with the project file.

Genoa Township Planning Commission

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Unapproved Minutes

- The applicant added one space to the parking lot since their last proposal so now they are over the maximum allowed by ordinance by one space. This requires Township approval.
- He suggested the applicant provide an indication of the number of people expected for special events. If deemed necessary, banked parking may be an appropriate option. He wants to ensure that parking does not take place on the turf.
- The Township must approve allowing existing landscaping in lieu of additional plantings for the front yard greenbelt (5 trees) and parking lot (landscaped islands).

Mr. Tousignant stated they can remove the additional space and only allow the parking on the turf during the two large events that they hold each year. Commissioner Rickard stated that "bank parking" is only showing on the site where it would be placed, if needed, and not necessarily developed at this time.

Ms. Swanson stated the building materials were delivered to the Township in February.

Mr. Markstrom stated the applicant has addressed his comments from the last meeting. He noted that they will need to obtain approvals from Livingston County Health Department for the proposed well and septic systems.

Also, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic to and from the site, which will need to be reviewed and approved by the Livingston County Road Commission.

He does not have concerns regarding the two bumper blocks they are proposing.

Fire Marshal Rick Boisvert's letter dated February 18, 2021 states all previous comments have been addressed including rearrangement of the entrance drive for emergency vehicle access.

Ms. VanMarter stated that the meeting packet included all letters received by the Township at the time it was published and sent to the Planning Commission; however, an additional 30 emails were received over the weekend and they were sent to the Commission today. She received two more this afternoon. Reverend Michael Gilbert of New Hope Counseling in Brighton and Maryann Brown St. Agnus Catholic Church in Fowlerville are both encouraging the Commissioners to support the project.

The call to the public was made at 7:40 pm.

Kim stated there is a website stjosephhowell.com where there is a plan for Phase 2 for the residents of the brain injured. The residents near the prayer campus are confused by what was said this evening and what is noted on the website. She asked if CHI or if anyone representing them have approached anyone to purchase additional land on Chilson Road and if yes, will it be named anything other than the Chilson Road Prayer Campus. Will you state in writing that there will be no hospital or medical center built on any land off of Chilson Road owned by CHI or in support of CHI?

Mr. Palazzolo stated that they have written a statement saying they will not be building a home, medical school or medical facility. They have never approached anyone about purchasing additional land. They have no intention to buy more property on Chilson road at this time. He stated that the neighbor asked them if they wanted to purchase their property. He said they have no plans but if the resident ever decides to sell, then you can ask them.

Mr. Grajek stated that what is being requested this evening should be addressed in the call to the public, which is a church, a grotto, and the signs of the cross. Kim asked why does the website state something other than what is being discussed this evening. Mr. Grajek reiterated that the petitioner stated that services are not available for this location, such as water and sewer.

Ms. Debra Oberpeul of 5920 Brighton Road asked what the maximum number of events are planned for each year. Mr. Palazzolo stated they will do reservations only and limit the number of vehicles. If larger events are planned, they will not be on this property. They will be at a different facility. She asked the Township what recourse do the neighbors have if these events are too large. Chairman Grajek stated they will have to comply with all Township ordinances.

Mr. Shawn Nester of 3360 Chilson Road lives directly south of the site. He has spoken to his neighbors and they have put together a petition with over 200 signatures asking the Township to deny the proposal. This is a great project for the Township and they support it, but this area is not zoned for this type of use. He stated that his neighbors have been approached by the petitioner to purchase their property. He did not receive the notice for the last meeting until 15 days after the meeting was held.

Mr. Michael Williams, who lives off of Westphal Road, asked how much of their property will be built. Mr. Tousignant stated they are building on just under five acres. Mr. Williams asked what will be done with the additional 40 acres of the property. He does not believe they will be left over for walking trails and the applicant will be building on this in the future. He does not want to hear bells ringing day and night. There is plenty of land at Latson and I-96. He does not want this in this area.

Mr. John Wallbank of 2899 Pardee Road, which is less than ¼ acres from the proposed site, is an amateur astronomer and likes the dark skies. He does not use chemicals on his property because he enjoys nature. The neighbors want rural and remote character and not large parties with rock bands. His quality of life would be impacted by this project. He is not assured by the developer that nothing is going to change. He does not feel the zoning should be changed. He urges the Planning Commission to deny this request.

Ms. Melanie Johnson of 3990 Chilson Road signed the petition. There is no reason this should be put here. She is opposed to an international pilgrimage site. She noted research she did regarding other pilgrimage sites and the number of visitors that have visited them and they are in the tens of thousands. It does not belong in this area. It is not appropriate.

Mr. Jim McArdle and his wife, Karen, are opposed to this. This is not something that should be put in this location. There will be traffic problems and it will not be good for the community.

Mr. Robert Jones of 3553 Westphal said this would be destroying the quality of life of those who bought a home knowing no one is going to build here, instead there will be a church and a parking lot and shuttle buses. This use is not compatible with the area. He is requesting that the Planning Commission reject the proposal and have them remove the structures already in place.

Mr. Robert Moran agrees with Mr. Jones that this is not a use that is compatible with adjacent properties. Unless there were some guarantees of numbers and clearly enforceable penalties, he cannot fathom how this makes sense for this land. If the Planning Commission makes a recommendation to the Township Board for approval, they would be taking the easy way out.

Ms. Lexi Jones of 3553 Westphal Road stated her property is adjacent to this site. She is opposed to the special use application to allow the church to be built here. If this was approved, it would set a precedent for other non residential or non agricultural development in this area. She read sections of the Master Plan to cite why it is not consistent with the Plan. She questioned why DTE has installed power on this site. Mr. Palazzolo stated there was an existing power pole on their site so there is electricity that runs through their site and any work they would be doing would be on their own.

Mr. Robert Fish of 2303 Chilson Road agrees with the others who object to this proposal. He does not want this to turn into a traffic, light, and noise pollution situation.

Mr. James Reader of 3217 Pine View Trail stated there have been good comments this evening. His main concern is the traffic, particularly the intersection of Latson and Chilson Road. It is currently dangerous. If the chapel were the only item on the site, he would not be opposed to this; however, with buses and 39 parking spaces, it will only make that intersection more dangerous.

Mr. Jacob Vogan of 5790 Pinckney Road opposes this project for the same reasons given by the other callers. He is concerned with the traffic. He believes there are other intentions down the road for the developer, regardless of what they are saying right now.

Ms. Leslie Bohnett of 3367 Chilson Road, which is right across the street, opposes this project and agrees with the other callers' comments. She is concerned that if the water that is directed from the parking lot flows to her property, she will have flooding on her property. The event that they had previously had 60 to 80 cars on the property and then more cars parked on the road.

Mr. Bill Galvin stated what is being proposed is putting a destination location in the middle of a neighborhood. This is not in the Master Plan. His neighbors are not opposed to the project, but in an appropriately zoned location. CHI has a large messaging problem. They say that they are not building the hospital on this site, but they are not saying where it will be built. His church's pastor stated tonight's meeting is for the chapel and a hospital.

Ms. Cynthis Telup lives off of Crooked Lake Road and agrees with what was said this evening. She said that there will be a lot of people who will manually ring the bell, and that one mass per day can bring in a lot of people. There could be 100-200 people. This is the start of a large development. She would like the Planning Commission to deny this request. She agrees with the dangerous intersection comment made by the previous caller.

Ms. Jessica Sproull of 2099 and 2185 Chilson Road stated the traffic is bad in this area. She is terrified of all of the extra traffic. She is not opposed to the church, but feels that there is another place for this in the Township. She is not in favor of the bell ringing all day. She would like the Township to support the residents and their feelings. She thanked the Commission for letting the neighbors speak.

Ms. VanMarter stated that there was a phone caller who was having technical problems; she did not get the caller's name however, they indicated they were the president of the Oak Meadows subdivision and agrees with the other comments made this evening.

Mr. Pat Powers on Kellogg Road stated this project has his full support. The real mission of this church is of heavenly appeal and people are trying to frame it in an earthly term. Traffic will not be a problem. Their goal is to serve souls. It is fundamental to the fabric of being an American. The people who live in this area will be neighbors of people who want to worship and pray. If the neighbors trust in God, they will see good fruit.

Ms. Cady Johnson of 3352 Brighton Road agrees with the previous comments. There is a long term goal other than what is being stated. She requests the Planning Commission deny the request.

Ms. Linda Holland of 3023 Pardee stated her property is adjacent to this parcel. The vision of a parking lot and a building on just the other side of her home does not make sense. There are horses and cornfields. This is a rural area and it needs to be preserved. It will change our area permanently.

Ms. Oberpeul stated that this is not about people lacking religion or spirituality and it is about the character of the area. She noted that a previous speaker researched how many pilgrims could come to this site.

Ms. Dawn Williams of Westphal Road stated this is not right for this location and people in the area do not want it. They can sell the property and build it somewhere else. It is quiet in this area. She believes their long-term goal is to build more.

The call to the public was closed at 8:55 pm.

Commissioner Rauch appreciates the petitioner's and public's respectful comments. He was researching to see what other churches exist in a Country Estates Zoning and there were none; however he knows that a special use does allow for one. His concern is with the character of the area. He is feeling uneasy with this project's compatibility with the surrounding area. This is a church with regular church services, and possibly every day.

Commissioner Dhaenens agrees with Commissioner Rauch. The residents want the peace and tranquility so the trails and the cross would be ok, but the building and the parking lot and the potential for noise is there. He is empathetic. Everyone likes why we live here. He would love to hear from the applicant if they have considered selling the property or using it without the church. He noted that the applicant has met every request they have had.

Commissioner Mortensen noted that the Chaldean Church is in a rural area.



Commissioner Rickard was surprised about the number of people who come to pilgrimage sites. She would like more information from the developer.

Commissioner McCreary stated this area is zoned country estates for a reason. She read the definition of Country Estates zoning. While a special use is allowed, she does not see where it is in harmony of the Master Plan. She does not see this location as suitable for this use.

Commissioner Mortensen stated the property owner has rights; it is irrelevant of how or where he got the property or how long he has owned it. A church is a special use in every zoning district in the Township. It would not cause a drain on public services, such as sewer and water, will have no demand on police and fire, and no effect on schools, so they have the right to use their property as provided in the ordinance. Also, what is before the Planning Commission this evening is what should be voted on.

Commissioner McBain referenced the Master Plan and how and why it was developed. She agrees that the intersections in that area are horrible. The adding of additional vehicles could be a problem for the land owners in the area. While there is one church and a small parking lot, there is a lot of land to be used.

Commissioner Rickard agrees with property rights and knows that what must be voted on this evening is what is being presented.

Commissioner Rauch agrees with Commissioner Mortensen. He noted that the Chaldean property is different because it was a camp and then the church was put in after as an accessory use of the camp. This property is in the middle of the country estates zoning and not adjacent to any more intense zoning districts. That is what is causing him to not be in favor of this proposal. It is a church with weekly functions.

The Planning Commission took a 5 minute recess from 9:20 to 9:25.

Chairman Grajek noted that the petitioner has met all of the requests made by the Planning Commission and noted that as a property owner, they have a right to come and make this request. There were very good points made by the neighbors. He would like CHI to reach out to them to help them understand that there will not be a medical center or hospital on this site.

Mr. Tousignant addressed the concerns from this evening. With regard to the parking on Chilson Road from last year's event, there was no designated parking area so it was a "free for all" so events in the past will not be what they will be in the future. This will generate traffic, but other permitted or special uses allowed on this site will also add traffic. Additionally, the peak traffic hours for their use will not coincide with school drop off or pick up. They want peace and tranquility. The church will be 600 feet off of Chilson Road. Why aren't churches developed in Country Estates zoning? It is because the infrastructure isn't there, such as water and sewer. CHI has a different mission than other churches. They are preserving most of the property to allow for trails on the property and allow people to find peace. They are only building on five acres of the property. They developed in the open area of the site. Not all sites like this bring the tens of thousands of people mentioned by one of the members of the public. They have gone above and beyond and addressed all of the concerns of the Planning Commission and the consultants.

Mr. Palozzolo understands why the residents don't believe that they are only building a small chapel with walking trails. They are not an international pilgrimage site. This will not be advertised to have busloads of pilgrims coming here. They want it for the local parishes and dioceses to come. They do not want it to be a high volume site. They want people to come to a small country church and walk the trails and pray. They want to do something good. They are going to do what they say they are going to do.

Commissioner McCreary asked the petitioner to address the grotto or statue that is built on the property and its current situation. She believes that the Township advised the church as to what has to happen to comply with buildings on the site. Mr. Tousignant stated the mural wall was starting to be constructed and after conversations with the Township, it was decided that no foundation shall be put on it, so it is not permanent yet. Mr. Palozzolo stated the Township advised them they need a permit to put in the footings and have it there permanently. They advised they wanted it in place for an upcoming event and the Township said it could be put up temporarily so it could be taken down if needed.

Chairman Grajek is confused by this. He has read all of the letters between the Township, the church, and the attorneys and the fact that those items are still erected is very irresponsible. There is still a structure that is still there that wasn't inspected, wasn't approved as an accessory item on the site, and should have been dismantled. The petitioner is saying they want to be transparent; however, they did this knowing that it wasn't allowed, so does the Township actually know what is going to happen in the future. It is very disappointing to him to hear the situation described this way after everything that was said this evening.

Mr. Palozzolo stated they built it without the footings so it is only temporary. They were never told to take it down. If they would have been told to take it down, they would have.

Ms. VanMarter stated she has a different recollection of that meeting. The Township was specific and clear to make sure that any type of use for the property would have to go through the approval process. There was a bishop coming to the property for a ribbon cutting so they wanted to have something that was portable and temporary and would be brought in and removed that day. Instead what occurred was the construction of the benches, the stations of the cross, and the mural wall sign, which is against what they were told by the Township. Mr. Palozzolo stated that was not their understanding.

Commissioner McCreary questioned the "model of healthcare delivery vision" in the warranty deed. Mr. Palozzolo stated it was generally written that if the diocese donated this to them, it would be part of that is the prayer foundation and this is what this will be. The bishop is very happy with the plan for this site and overall vision. If it is approved as presented, would that comply with the provision in the warranty deed. It would be the prayer foundation for the overall vision.

**Moved** by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Special Land Use permit for a church and accessory to that church at 3280 Chilson Road subject to the following:

- The general operations schedule which will be attached to the Special Land Use permit will be revised to indicate that in the case mass is held before 9:00 am, the bell "will" not be used rather than "should" not be used.

- The petitioner will adhere to all Township ordinances not accepted with this use.
- This recommendation to the Township Board is made because the Planning Commission finds that it is compatible with the Master Plan as a special use within this zoning ordinance. The PC believes it will not adversely impact the natural features and agricultural features in the surrounding area and will, in fact, preserve them.
- The Planning Commission finds that it will not require public utilities from the Township, such as sewer, wastewater and school usage or will it burden police and fire services.
- Events and use of the property shall not exceed the available provided parking on the site.

**The motion carried with a roll call vote (Mortensen - yes; McBain - no; Rauch - no; Rickard - yes; Dhaenens - yes; McCreary - no; Grajek - yes)**

**Moved** by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated February 16, 2021, subject to the following:

- The operations plan presented this evening by the petitioner will be attached to and become part of the Environmental impact Assessment.
- The documents regarding the future plans presented this evening will become attached to and become part of the Environmental Impact Assessment.

**The motion carried with a roll call vote (Rauch - yes; Rickard - yes; Dhaenens - yes; McCreary - no; Mortensen - yes; McBain - no; Grajek - yes)**

**Moved** by Commissioner Mortensen, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Site Plan dated February 16, 2021 for a church and related amenities at 3280 Chilson Road, subject to the following:

- The building materials reviewed this evening are acceptable and will become the property of the Township.
- The Planning Commission recommends approval of 39 parking spaces and two bumper blocks
- The plantings as displayed on the site plan are accepted as shown, given that existing plants exceed above the ordinance and greenbelts in the parking lot will not be required.
- The requirements of the Township Engineer in his letter of March 3, 2021 shall be met.
- The requirements of the Brighton Area Fire Marshal's letter dated February 18, 2021 shall be met.
- The requirements of the Livingston County Road Commission will be met as spelled out in their letter of January 22, 2021.

**The motion carried with a roll call vote (Rickard - yes; Dhaenens - yes; McCreary - no; Mortensen - yes; McBain - no; Rauch - yes; Grajek - yes).**

Commissioner Rauch clarified that he voted no for the special land use application because he could not personally reconcile Sections 19.03.01 and 19.03.02, but he voted yes for the impact assessment and site plan.

## ADMINISTRATIVE BUSINESS

### **Staff Report**

Ms. Van Marter advised that there will be a meeting in April. It will include a resubmittal and some zoning ordinance amendments.

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
FEBRUARY 8, 2021  
6:30 P.M.  
MINUTES**

**This meeting was conducted via Zoom**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Eric Rauch, Jim Mortensen, Jeff Dhaenens, Glynis McBain, and Jill Rickard. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Joseph Seward, Township Attorney; Gary Markstrom of Tetra Tech; and Brian Borden of Safebuilt Studio.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

INTRODUCTION OF MEMBERS: All members introduced themselves.

ELECTIONS OF OFFICERS:

**Moved** by Commissioner Dhaenens, seconded by Commissioner Mortensen, to elect Chris Grajek as Chairman, Eric Rauch as Vice-Chairman, and Marianne McCreary as Secretary. **The motion carried unanimously with a roll call vote.**

APPROVAL OF AGENDA:

**Moved** by Commissioner Dhaenens, seconded by Commissioner Rickard, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

No Commissioners declared a conflict of interest.

CALL TO THE PUBLIC: The call to the public was made at 6:35 pm with no response.

- A. OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International. A. Recommendation of Special Use Application B. Recommendation of Environmental Impact Assessment (1-20-21) C. Recommendation of Site Plan (1-20-21)

Mr. Scott Tousignant of Boss Engineering, Mr. Jere Palazzolo, Father Tim, and Mary Swanson, the project architect, were present.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

Mr. Tousignant provided a review of the project, including the size of the property and its topography. They are proposing to create a site for pilgrimage to use for quiet prayer. They would like to build a chapel, a grotto, a station of the cross, a driveway with a loop road and two parking lots. They will be working with the existing topography of the site with the least amount of impact on the trees, drainage, the surrounding, neighbors, etc. He showed the site plan and colored photographs of a proposed statue and other complimentary uses.

He noted that the bell will only ding twice each hour from 9 am to 9 pm. Also, the comments from community members that they are planning to build a hospital on this property in the future are not correct. That is not their vision for this site. The site cannot support a facility of that size. They are requesting approval for the chapel and the complimentary uses this evening.

Commissioner Mortensen questioned why the website of the church in Missouri states that the plan is to have a hospital and a medical school on this property. The Planning Commission will vote on what is being presented this evening; however, if approved, it is not a commitment for any plans as stated on the Church's website. That would not be compatible with the area and there is no sewer or water available for that type of development. Mr. Tousignant stated that is the vision for the church somewhere in the community, but not on this particular property.

Commissioner Rickard asked for details on the drainage. There is no curbing proposed for the parking lot areas. She asked what the overall plan was for this site. Mr. Tousignant reiterated that they would like to stay within the topography of the site and use the natural drainage path and cause little impact on the current property. The timeline for all of the additional uses on this site is unknown at this time.

Commissioner McCreary questioned if additional buildings are being planned. Mr. Tousignant stated that they do not have plans or a timeline for the remaining portion of the property. The property could support complimentary uses to what they are proposing this evening; however, when that vision is known, it will be presented to the Township. Mr. Palazzolo stated the primary focus of this campus is for quiet prayer and meditation. At this point, they do not have plans for any further development on this site.

Commissioner McCreary asked for the need for the bell. Mr. Tousignant stated this chapel is to replicate a church in Italy and that church has a bell. It is a key feature. This site will allow people who are devoted to St. Padre Pio to have a pilgrimage and experience the same church without the need for them to go to Italy. She understands the want to replicate it, but she is concerned with it ringing every hour on 9 am to 9 pm in this location.

Commissioner Dhaenens likes the project. He noted that other projects similar to this were approved in the Township and they ran into financial problems so they started renting it for weddings, parties, etc. He wanted the applicant to understand why the Planning Commission was asking these questions this evening.

Commissioner Rauch questioned if there is an operations plan, such as hours of operation as well as the specific plans for this site, as have been explained in this meeting. This would help the Planning Commission understand traffic flow, noise, etc. He would like this to be put in writing. Mr. Palazzolo stated at this time, the chapel would only be used on special occasions. They would never have more than one mass a day. The masses would be during the day and the hours of operation would be from dawn to dusk. People would be able to come at any time to walk on the trails.

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Commissioner Mortensen questioned if any change to the Special Land Use would require the applicant to return to the Township for additional approval. Ms. VanMarter stated that if the threshold limits, such as the occupancy or intensity increases by at least 25 percent, then a new SLU permit would need to be reviewed and approved.

Mr. Borden reviewed his letter dated February 2, 2021:

He responded to Commissioner Mortensen's question regarding SLU amendments. Section 19.6 of the Zoning Ordinance addresses amendments to existing SLU. There are major and minor amendment so even if a change does not necessitate the reconsider a SLU, there could be sketch or site plan review that could be reviewed by staff or brought before the Planning Commission

1. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
2. The Commission may wish to seek input from the Township Engineer as it relates to northbound traffic and compatibility with the surrounding area.
3. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
4. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.
5. Should a private school, child day care center or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.
6. We request the applicant present building material and color samples to the Commission.
7. The parking lot must include curbing on all sides, as opposed to the bumper blocks proposed, unless the Commission determines they are necessary.
8. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt and parking lot. This is at the discretion of the Planning Commission.
9. A sign permit will be required from the Township prior to installation of any signage.
10. The Township may wish to have the applicant correct the existing fence encroachment as part of this project.

Mr. Markstrom reviewed his letter dated February 3, 2021:

The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.

Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

The petitioner is not proposing to put curb in the parking lots. He recommends the applicant include concrete curb and gutter in order to better control storm runoff and direct it to the bioswales as well as prevent parking outside of the parking lot.

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The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements. The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

He would like to see how the cistern tank is going to be maintained. Is there property backflow protection, how will it be kept from freezing, etc.

Mr. Rick Boisvert, Brighton Area Fire Authority Fire Marshal, stated that his previous comments were addressed; however, he did not see the plans that show the meandering entrance drive; it was a straight drive. The turning radius proposed would not work for their apparatus. He would like to work with the applicant to change this to accommodate their apparatuses.

The call to the public was made at 7:38 pm.

Chairman Grajek advised that letters of concern have been received from residents. James Brancheau of 3611 Westphal, Mike Mandik of 3275 Chilson Road, Tim Park of 3529 Westphal, Shawn Nester of 3360 Chilson Road, Billy Martin of 4678 Richardson Road, Linda Holland, and Leslie Bohnett of 3367 Chilson Road all have concerns with the proposal, such as this is a rural location, additional traffic, the bell ringing, etc.

Mr. Bill Galvin of 4037 Chilson Road does not have significant concerns if the project is what is proposed. He is opposed to the bells ringing. He is concerned about the lack of engagement and communication and information sharing done by the applicant and the Township because some people lack technology and are unable to attend this meeting. He would like the Planning Commission to table this request this evening to allow more time for the residents to obtain more information and engage with the applicant and the Township. He is also concerned with the other uses that could be built on this site in the future if the SLU is approved this evening. The applicant could perceive that approval also be approval for future development on this site.

Mr. Bob Moran of 3985 Timber Green Court, which is ½ mile south of this property likes the zoning that was done by the Township at the I-96 and Latson Road interchange. He believes that this proposal belongs in that area. He and his neighbors are opposed to this project in this location. They are concerned with what will be developed in the future. He would like the applicant to provide what their plans are for the rest of this property.

Mr. John Wallbank of 2899 Pardee Road is concerned with what could potentially be built on this site, which could possibly be a medical center. He is concerned about the bell, the security for this property, and the rezoning.

Mr. Shawn Nester of 3360 Chilson Road, which is directly south of the property was not aware of this meeting until this morning when he saw it on social media. He is concerned about the bell and does not see its value. A commercial building in this area is not appropriate. If he knew that this property was going to be developed this way, he would not have purchased his home.

Mr. Pat Powers of 1018 Kellogg Road who lives adjacent to the Chaldean Campus does not believe that the Planning Commission should look at this project the same as that one. He is very excited about this project. People are looking for a place of solitude and worship. It is also a unique opportunity for a healthcare campus. He has met with the applicant and they are sincere.

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Mr. Robert Jones of 3553 Westphal lives 300 feet from this project. He agrees with what was said by his neighbors regarding the bell ringing, traffic issues, and it does not fit the character of the neighborhood. He does not feel that a healthcare facility should be in this location. It will negatively impact the neighbors.

Mr. Duane Johnson of 3990 Chilson Road agrees with the statements made by his neighbors. He agrees with Mr. Moran that there are places in the Township where this can be built.

Ms. Melanie Johnson at 3990 Chilson Road is not in favor of this proposal.

Mr. Derek Sproull of 2099 Chilson Road just learned about this proposal this morning on social media. When he built his house 10 years ago, it was a country area. He is concerned that this area will be built with more commercial uses.

Mr. Ian Campbell of 3912 Chilson Road agrees with the concerns raised by his neighbors, including property values, the rezoning of agricultural land, the expansion of the road, increased traffic, etc. He hopes the Township denies this request.

Ms. Laura McGaffney of 5934 Hartford Way knows the impact that this will have in a positive way. The residents' property values will not go down. It is very impressive to know that top doctors, nurses, and scientists around the world will be in Brighton. She is in favor of this hospital.

Cynthia Telep of 3175 Crooked Lake Road stated that this would negatively impact the neighbors' lives in the area. She agrees with her neighbors. She noted that two members of the public spoke about a medical facility being developed here.

Ms. Lori Petrulis of 2344 Chilson Road has seen the growth in the area. She is concerned with the two members of the public who spoke about a future medical facility and not a chapel. She noted that they do not live in the area. She learned of this development this morning.

Ms. Jessica Sproull of 2185 and 2099 Chilson Road loves her property and loves the country setting. People move here to get away from these types of developments. There are other places they can build this. There has been a lot of activity on that property recently. She learned of this today. She would have liked to have seen a brochure of the project and what was being proposed.

Chairman Grajek stated that property owners within a 300 foot radius of this property would have been notified of the proposal and tonight's meeting.

Ms. Alita Worney's property abuts the railroad tracks. She agrees with what was said by her neighbors who are against this project. There is wildlife in the area. These properties are rural. She also did not receive any notification.

Mr. Chis Petersen of 2960 Beck Road did not receive notification of this proposal. He appreciates church bells and would like to hear them one to two times a day. The building should not be on the property line. If they want quiet, then why are they building a daycare and a hospital? He questioned who is going to pay for the development and what source of funding will they have for maintaining it.

Ms. Kim Miller of 3150 Crooked Lake Road supports her fellow residents who have moved out here for the serenity, land, limited traffic and to have livestock. They will be negatively impacted by this development.



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The call to the public was closed at 8:39 pm.

Ms. VanMarter showed the 300-foot-radius map outlining the properties who qualified for receiving notification of the proposal and tonight's meeting.

Commissioner Rickard agrees with the engineer that curbing is needed; she would like the required landscaping to be planted. She would like the developer with plans of what they anticipate will be built in the future. She would like to see their vision for the complete site in the future. She does not like the bell to ring every hour, and agrees with Commissioner Rauch and his comment regarding the operational and maintenance being put in writing and submitted to the Township.

Commissioner McBain stated that the Master Plan shows this area to maintain five-acre parcels and agricultural uses. She is uncomfortable moving forward without additional information. In looking at this organization, they are dedicated to healthcare.

Commissioner Mortensen stated that what is before the Planning Commission is very specific. The Planning Commission does not have the right to reject a proposal because we think they might do. Bells would have to comply with the zoning ordinance and a study would have to be provided to the Township. He agrees with the operations plan. He would like this item to be tabled this evening.

Commissioner Dhaenens stated this sounds like a wonderful place to be peaceful and tranquil in nature; however, it does not have his support this evening. He would like to see an operations plan, more specifics of what is being proposed, and he would like the applicant to inform the neighbors and engage with them. More trees are going to need to be planted on the south side of the property to help screen this site from the neighbor from the building. He needs more details for him to vote to approve this proposal.

Commissioner McCreary agrees with all of the other Commissioners' concerns. Who will maintain the building and the site, what are the hours of operation? She needs detailed information on what the end result will be.

Mr. Tousignant understands the concerns of the public. He stated they will add trees to the south side of the property. They are putting the chapel in the proposed location because they want to maintain the existing topography of the site. Putting it there would eliminate them needing to cut down trees because it is an open area on the site. This is another reason for not proposing curbing for the roadway and parking lots. It is an outdoor chapel so there would not be people there in rainy weather. He noted the resident's concerns regarding cars being parked on Chilson Road. If there were dedicated parking areas, then visitors would not need to park on the roadway. If road improvements are needed for this development, then the property owner would have to pay for them.

Mr. Palazzolo stated the overall vision is to build a hospital and a medical school to replicate the one in Italy but not on this site. This site will be the foundation of prayer that will be the first step to their hospital and medical school. There will not be healthcare services, a medical school or a rehab center on this site. This is sincerely a place of quiet prayer and meditation. They did engage with the neighbors adjacent to this site and they did not receive any negative responses. They do want to replicate the bell tower and would have liked to have it ring every hour; however, they are willing to have it ring on each hour from 12 pm to 6 pm.

## Genoa Township Planning Commission

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All Commissioners agree that this item should be tabled this evening. Chairman Grajek reviewed the concerns of the Planning Commission, the consultants, and the neighbors and advised what details need to be provided and what issues should be addressed, specifically, trees being planted on the southern property line, curb and gutter for the parking areas, days and hours of operation, number of weekly services, number of events per month, supervision and security plan, on site contact, maintenance plan, driveway configuration per the Brighton Area Fire Authority, and a schedule and decibel levels for the bell ringing.

**Moved** by Commissioner Mortensen, seconded by Commissioner Rickard, to table the Special Land Use Proposal, Environmental Impact Assessment, and Site Plan for the Catholic Healthcare International Church, Chapel and Grotto until the March 8, 2021 Planning Commission meeting to allow the applicant to address the following items:

- The planting of trees on the southern property line
- Curb and gutter for the parking areas
- Days and hours of operation
- Number of weekly services
- Number of events per month
- Supervision and security plan
- On site contact
- Maintenance plan
- Driveway configuration per the Brighton Area Fire Authority
- Schedule and decibel levels for the bell ringing

**The motion carried unanimously.**

### ADMINISTRATIVE BUSINESS

#### **Staff Report**

Ms. VanMarter provided the 2020 Planning Commission Annual Report.

#### **Approval of the November 9, 2020 Planning Commission meeting minutes**

Needed changes were noted.

**Moved** by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the November 9, 2020 Planning Commission Meeting as amended. **The motion carried unanimously.**

#### **Member Discussion**

Commissioner McCreary received an email from the Board of Commissioners from the Home Builders Association regarding the Fire Authority's development requirement of cisterns of 10 homes or more. These are very expensive and the cost filters to the consumer and contributes to the lack of affordable housing in the area. They are not in favor of this requirement. Commissioner Mortensen stated that the Townships and the City of Brighton have adopted the International Fire Code and that is part of that code. Ms. VanMarter stated they are working on updating the fire codes in all of their communities and Genoa agreed that developments with 10 or more homes will require cisterns. She noted that these comments should be directed to the Township Board.

Public Comments Received after the Planning Commission Meeting  
(does not include emails directly shared with the Board by the Manager)

Attached spreadsheet below comparing pilgrimage sites.

“Catholic Healthcare International is to create a site for pilgrimage to use as quiet for quiet prayer so yes there will be a chapel but it's those complimentary uses that that are really gonna draw people to the site we wanted to feature the natural features of the site” Scott, Feb 8<sup>th</sup> 2021 meeting, 9 min

“We're literally trying to replicate it when you see the interior it is absolutely beautiful and it's a replica so that people can experience our patron St. Pio, without having to go over to Italy that's essentially what we're trying to do.” Feb 8<sup>th</sup> 29min

“What we're trying to is almost too good to believe so they don't believe us they just absolutely don't believe that we're just putting a small little country church in a 45-acre property that we want people to come and be able to walk through trails on we talked about even internally in that 200 cars a day that can't happen (YET) we're allowing ourselves to be limited by the scope of the of the parking that's there we don't want that we are not an international pilgrim shrine.” Jere, March 8th meeting.

In the same meeting Scott addressed traffic “An event planning platform was utilized to gauge the interest of the public for the attendees to see what accommodations will be needed the intent would still to use that or a similar platform to continue to gauge interest and in all reality you know we need to cap the amount of cars on site and if interest is such that that it exceeds the site then a couple options could be presented we can facilitate a shuttle service if there's a lot of people coming in their own cars as opposed to carpooling and we can also do a staggered event meaning it will be maybe a two-hour time frame a two-hour block and they'll just repeat that block a few times.” 28min

In the last planning commissions meeting, March 8th, Jere Palazzolo described the project as a “quiet county church”. Four days later, Jere stated in a Youtube interview (Padre Pio #25) “...have a pilgrimage here without going over to Italy that is truly what our purpose is here” and then stating “replicate a pilgrimage experience for people”, that sounds to me like it is still being promoted like a attraction. Interestingly, in that interview, Jere and the host referred to the 45 acre campus not the current 40 acres, is chi acquiring more property?

This site is not a compatible use, or small country church; this is a commercial operation.

In the spreadsheet you can see “pilgrimage sites” contain many elements of attraction. With 30 empty acres, usage will continue to grow... “other compatible”.

A five million dollar replica chapel will have a guaranteed draw!

Traffic, traffic, traffic. In the middle of AG/CE?

A new traffic study needs to be performed, if just 50K visitors that is 136 trips per day.

Melanie Johnson 3990 Chilson at Latson (Above quotes gathered with YouTube Transcript)

What could be built on the remaining property?

	Indoor Seating	Acres	Yearly attendance	Zoning	Grotto's/Rural wall	Stations of the Cross	Relics or Museum/Replicas	Pilgrimage Site/Bus Tour	Arches, Cross or Statues	Spirituality Center	Candle/Garden(s)	Replica of Birthplace	Replica of Pio's Friary	Shrine(s)	Meeting rooms	Cafe/Dining	Weddings/Baptism	Gift Shop	Retreats/Lodging	school	site totals
<b>Padre Pio, Howell MI</b> , overflow parking N. of chapel	95	40		AG/CE	39		?				?	?	?	?	?	?	?	?	?	?	9
National Center for Padre Pio, Barto, PA (Covid #'s 5000 in 70 days)	99			Inst/Rec	300																14
The Sorrowful Mother Shrine, Bellevue, OH (could not confirm 120K)		120		Rural	300																9
Shrine of The Chist's Passion, St. John, IN		30	200,000	R2/C2	80																9
National Shrine of Cross in the Woods, Indain River MI	500	9	300,000	Ind/Rec	80																10
Chapel of the Holy Cross, Sedona AZ (Amazing site)	50	11	1,000,000	CF	47																7
Mother Cabrini Shrine, Golden, CO (their best guess)	60	500	100,000	AG2	100																12
Shrine of our Lady La Leche, Augustine, FL (adjacent zoning)	240	30		HP/CL	80																9
Our Lady of the Sierras, Hereford, AZ	48	8.5		UR4	12																8
Our Lady of the Island, Manorville, NY, bus pkg = 100 cars	100	70		INST/MD	75																7
Our Lady of the Wood Shrine, Mio MI (St Mary Church) No zoning		4.5		C	85																5
Ave Maria Grotto, Cullman, AL (125 reproductions) Downtown		4	1,000,000	R4/AC	50																8
120 parking spaces at Abbey, 100 parking spaces at school		100?																			
Grotto of the Redemption, West Bend, IA (church and other buildings)		8	100,000	AC/AC/R	60																7
National Sanctuary of Our Sorrowful Mother, Portland OR		62	300,000	R7h	200																10
Grasshopper Chapel, Cold Spring, MN (Zone codes adjacent)	0	4	2,000	C3/LI1																	3
The Shrine of The Back Madonna, Pacific, MO, rural	0	120	2,400	3	12																7
The National Shrine of Mary MotC, Gravois Mills, MO		53		R2/C	150																10
Flags, 6000 seat amphitheater, fountains, St Pat, within city																					
National Shrine of our Lady of the Snows, Belleville, IL (Z near site)		200	350,000	RR1/A/SR																	14
Church on campus and large amphitheater																					8.8

National Center for Padre Pio, Barto, PA (Covid #'s, 5000 visitors in 70 days) if Covid restrictions stayed, 26K visitors, 71 daily trips. The population of Barto is 5,230!

If the campus is 5 acres or 100 acres it can have a large impact on our neighborhood.

Consider the fact that CHI had made preliminary efforts to bank land surrounding the prayer campus.

Sites of similar descriptions have not been placed where zoning was in conflict, commercial or higher density residential.

The traffic that this site guarantees, will develop into a usage that does not fit with the character of our neighborhood.

Based on the data, you can see how this international place of pilgrimage will adversely effect the intersection of Chilson and Latson.

Have you heard that, "This is a massive project and will take years to complete".

I made ever effort to provide the most accurate information I could find. I did hand chose these sites as they contained similar elements and descriptions. Melanie Johnson on Chilson.

The above information was gathered using internet articles and by directly phoning sources including townships, GIS, parking was estimated by counting on google earth.

**From:** [Leslie Bohnett](#)  
**To:** [Kelly VanMarter](#); [Mike Archinal](#); [Bill Rogers](#); [Polly](#); [Robin Hunt](#); [Jean Ledford](#); [Terry Croft](#); [Diana Lowe](#)  
**Subject:** A letter from a Genoa township resident who resides on Chilson Road less than 300 feet from the proposed CHI church  
**Date:** Wednesday, March 31, 2021 2:36:58 PM  
**Attachments:** [My letter to the Township Board regarding CHI.docx](#)

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Trustees,

Please read the attached letter regarding how the proposed construction by Catholic Healthcare International will impact the life of our family. My family and I live less than 300 feet from the property located at 3360 Chilson Road and we would appreciate you reviewing our concerns and the documents that have been published by Catholic Healthcare International and their representatives. I implore you not to grant a special land use permit and listen to the residents in Genoa Township.

*Leslie Bohnett*  
*3367 Chilson Road*  
*Howell, MI 48843*  
*Lbohnnett@hotmail.com*  
*landline 517-548-2463*

Mr. Bill Rogers,

My husband and I purchased land in Genoa Township on Chilson Road in the 1990's and built our final home in 1998. We chose this area because we wanted to enjoy our retirement years in the peace and tranquility of a country setting. We spent a great deal of planning, time and money to build our highly energy efficient home. We were the first in the county to use a foam block basement and a geothermal heating system. Now, twenty-five years later, Catholic Healthcare International (CHI) wants to build a church, and possibly in the future a healthcare campus, less than 300 feet from my home. My quiet setting will now have ringing church bells, at least twice, each day and also on special occasions. In addition, I will now have to deal with more traffic on an already busy road.

At the Genoa Township Planning Commission meeting, Mr. Mortensen stated that the property owners of 3280 Chilson Road have the right to build what they want on their own property. Although he is correct, why does this land owner have more rights than I do as a land owner? We built our home in this particular area because it is zoned agricultural/country estate. My disagreement with CHI being granted a special land use permit is ***because this land is zoned agricultural/country estate***. It is inappropriate to build a church on this particular land with this particular zoning. I would welcome a church and even a healthcare facility if they were built in an appropriately zoned area. Although the State of Michigan denied the application for CHI to build a hospital, it does not seem to be stopping CHI from promoting this project. You may say that the special use application is only for the construction a church. However, CHI and the church are promoting more than just a church being built on this property. (See the attached links below)

CHI had an environmental impact assessment prepared to show that there will not be any impact on traffic due to the construction of a church. The evaluation is very inaccurate! On September 23, 2020, CHI held a dedication ceremony on the property, and there was a significant impact on traffic on Chilson Road. The grassy area on this land was full of parked vehicles. Therefore, vehicles parked along Chilson Road to attend the event. The cars parked along Chilson Road were impairing the view for anyone driving on Chilson Road, and also for anyone attempting to exit from the dedication ceremony. I was driving to my home from town, which three children in my car, when a car pulled out in front of me from the event. It required me to slam on my breaks so I would not hit the car. When I arrived to my home, which is less than 300 feet from the CHI property, a vehicle used my circle driveway to turn around and drive back to the event. Although this may not seem problematic to many people, I have children and dogs that play in my front yard on my circle driveway. My family and pets should be safe on my own property! I feel the township should at least delay the vote for the special land use permit and conduct a traffic impact assessment at the next CHI activity on May 25<sup>th</sup>.

Despite what Mr. Jere Palazzo stated to the Genoa Township Board, both he, CHI, and the Catholic Church publications have both promoted and requested donations for the construction of a church, hospital and home for the brain injured on this piece of property. I have attached the articles and videos at the bottom of this email to show this is true. Mr. Palazzo does not appear to be stating the entire plan for this property. Mr. Palazzo, CHI, and the Catholic Church are

handing out brochures, making videos, and sending out press releases which clearly state the property in Genoa Township is scheduled for more than just a church.

Finally, on March 11, 2021, a few days after the Genoa Planning Commission voted 4 to 3 to move on the special land use permit to the Genoa Township Board for final approval. Mr. Palazzo did a Podcast where he again explained the project, stated some of the project was already started on the land. He clearly admitted in his podcast that they were already working on the land. However, CHI has been working on the land without Township approval, building permits, or any inspections from the building department. In fact, at the Planning Commission meeting, Mr. Palazzo stated he didn't think he needed permits and that he thought he had approval. In the Podcast, Mr. Palazzo implied that the residents who live in this area are working with Satan. His statement was. "Satan is working against us." I take severe offense to his comments and reference to Satan. I was raised in the Catholic faith and am quite angry by his implication.

To use Mr. Palazzo's own words and comments to prove my point, please listen to or read the publications from Mr. Palazzo, CHI, and the Catholic Church. I did my research, so I encourage you to do your own research prior to voting on this project.

*Podcast with Mr. Palazzo explaining the project being started and implying Genoa residents are working with Satan.*

<https://www.youtube.com/watch?v=XjoheGP-GmQ>

*A Catholic website that explains the full use of this land:*

<https://catholicreview.org/michigan-project-to-replicate-padre-pios-famed-hospital-in-italy-is-underway/>

*Publication from the Catholic Church:*

<https://detroitcatholic.com/news/gabriella-patti/project-to-replicate-padre-pio-s-home-for-the-relief-of-suffering-in-michigan>

*CHI's website explaining and asking for donations:* <https://www.chi-usa.com/>

Mr. Rogers, your help in protecting this land that is zoned as agricultural/country estates from the plans of CHI will be greatly appreciated. Please ensure the township's master plan is followed to allow the residents of Genoa Township to continue to live in peace in this county rural setting. Please consider all the residents in Genoa Township when you cast your vote!

Please feel free to contact me if you have any questions.

Respectfully,  
Leslie Bohnett  
3367 Chilson Rd  
517-548-2463

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page \_\_\_\_

Printed Name: Saran Campbell  
Address: 230 Brighton Rd  
Signature: Saran Campbell

Printed Name: Amela Brazzale  
Address: 4476 Golf View Dr, Brighton, MI  
Signature: Amela R Brazzale

Printed Name: Emily Kuvach  
Address: 5300 Chilson Rd  
Signature: Emily Kuvach

Printed Name: Candice Hovarter  
Address: 3128 Brighton Road  
Signature: Candice Hovarter

Printed Name: BILL ROCHELEAU  
Address: 6565 FOREST BEACH  
Signature: Bill Rocheleau

Printed Name: John Gorecki  
Address: 5325 Mountain Rd  
Signature: John Gorecki

Printed Name: Shawn Chapman  
Address: 4200 Timberview Dr.  
Signature: Shawn Chapman

Printed Name: Susan Gorecki  
Address: 5325 Mountain Rd  
Signature: Susan Gorecki

Printed Name: LEN HOVARTER  
Address: 3128 BRIGHTON RD.  
Signature: Len Hovarter

Printed Name: Scott Burtin  
Address: 5665 Mystic Lake Dr  
Signature: Scott Burtin

Printed Name: Francis Rocheleau  
Address: 6565 Forest Beach Dr  
Signature: Francis Rocheleau

Printed Name: Amanda Laiting  
Address: 4570 Cultural Rd.  
Signature: Amanda Laiting



Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page \_\_\_\_

Printed Name: Kim Mays  
Address: 2745 Springhill  
Signature: Kim Mays

Printed Name: Kirk Mays  
Address: 2745 Springhill  
Signature: Kirk Mays

Printed Name: Dan Henderlong  
Address: 2700 Spring Hill Drive  
Signature: DH

Printed Name: Linda Griffin  
Address: 2819 Spring Hill Dr. Havel  
Signature: Linda E. Griffin

Printed Name: Karrie Gusman  
Address: 2730 Spring Hill Dr  
Signature: Karrie Gusman

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Steven frame  
Address: 2793 Springhill Dr  
Signature: Steve frame

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Luanne Garrison  
Address: 2760 Spring Hill  
Signature: Luanne Garrison

Printed Name: Jacqueline Garrison  
Address: 2760 Spring Hill  
Signature: Jacqueline Garrison

Printed Name: Donald D Sigg  
Address: 2819 Spring Hill Dr  
Signature: Donald D Sigg

Printed Name: Joe Gusman  
Address: 2730 Spring Hill Dr  
Signature: Joe Gusman

## Kelly VanMarter

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**From:** Pamela King <prking@ameritech.net>  
**Sent:** Wednesday, March 10, 2021 12:49 PM  
**To:** Kelly VanMarter  
**Subject:** Chilson Road Project

I want to note my very strong objection to the project after listening to the people representing CHI. The Chilson campus obviously means only the five acres the church will be on-what about the rest of the acreage? The CHI website very plainly has laid out their plan, yet these people, I felt, were trying to mislead. I have a strong element of distrust after listening to them. Please do not approve!

Pam King  
4758 Treasure Lake Drive

Sent from my iPhone

## Kelly VanMarter

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**From:** Robert Fish <bfish2013@att.net>  
**Sent:** Wednesday, March 10, 2021 2:53 PM  
**To:** Kelly VanMarter  
**Subject:** Extreme disappointment in Planning Commission decision

Kelly VanMarter:

Most citizens who listened in or watched the 3/8/2021 planning commission meeting where there was approval of the CHI request to build a totally inappropriate "country chapel" (that will be promoted as world wide pilgrimage site), were more than a little disappointed that Jeff Dhaenens, Jim Mortensen (especially), Jill Rickard and Chris Grajek voted the way they did. They virtually ignored statements and comments made by those who actually reside in the area and will have to deal with the results of their irresponsible decision, which they will not have to do. On the other hand, the convoluted and superficial responses provided by the Scott Tousignant group were mostly all taken at face value and accepted.

Thank you to Marianne McCreary, Glynis McBain and Eric Rauch, who appear to have reasonable and ethical decision making skills, as opposed to the others.

Feel free to share this email with all of the board.

Robert Fish  
Bonnie Fish  
Many, many neighbors

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Friday, April 2, 2021 10:28 AM  
**To:** Jim Mortensen; Bill Rogers; Robin Hunt; Polly; JeanLedford; Diana Lowe; tcroft  
**Cc:** Kelly VanMarter  
**Subject:** FW: Rezoning issue for CHI

Good Morning,

Please see the attached for Monday's agenda item.

Michael C. Archinal, AICP MPA  
Manager  
Genoa Charter Township  
810.227.5225  
mike@genoa.org

-----Original Message-----

From: Ben Tasich [mailto:oakleaf8@comcast.net]  
Sent: Thursday, April 01, 2021 10:22 AM  
To: Mike Archinal  
Subject: Rezoning issue for CHI

My name is Ben Tasich. 3492 Lakewood Shores Drive. Howell, 48843. Lived at this address since 1999.

I have closely followed the request of CHI to have this property rezoned for religious and medical purposes.

I think that is a wonderful idea but that property isn't really suited for that type of development. I think there are many other wonderful areas along Grandriver where this type of development would be more appropriate and meet the zoning guidelines.

I'm also troubled to learn that there is a structure that had been built on this proposed property and from what I understand they haven't received permission from zoning commission for this project.

I know that anytime I want to build something on my property I must first apply for a permit for my project.

Laws and ordinances should apply to both religious and secular entities.

I'm confident that the zoning commission will do their due diligence and legally and lawfully resolve this matter.

If I can be of any help with please don't hesitate to get in touch with me.

How can I access the meeting on Monday using Zoom? Due to Covid and my old age, I'm hesitant of attending the meeting in person at this time.

Ben Tasich 517-518-2106  
Retired school teacher and administrator.

Sent from my iPhone

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Friday, April 2, 2021 10:48 AM  
**To:** Jim Mortensen; JeanLedford; Diana Lowe; tcroft; Bill Rogers; Robin Hunt; Polly  
**Cc:** Kelly VanMarter  
**Subject:** FW: Padre Pio adoration chapel

FYI

-----Original Message-----

**From:** Kevin Czuprenski [mailto:k3vinczup@gmail.com]  
**Sent:** Wednesday, March 31, 2021 7:30 PM  
**To:** Mike Archinal  
**Subject:** Padre Pio adoration chapel

Hello Mike,

I am emailing today to show support for the Padre Pio Adoration Chapel. I believe it would be a great addition to the community. I've heard that some area residents have begun a protest in hopes of preventing it's construction. I urge you to allow it's construction to continue. I believe these protests are just another example of cancel culture on a local scale and with all the antichristian sentiment in today's society, we need to allow God's light to shine through as often as possible. Please do what you can to not let these protestors prevent the chapel's construction. Sometimes standing up for what is right is the hardest thing to do at the time, but in the end it's the most rewarding.

God bless,  
-Kevin

Sent from my iPhone

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 9:54 AM  
**To:** Jim Mortensen; tcroft; Diana Lowe; JeanLedford; Polly; Robin Hunt; Bill Rogers  
**Cc:** Kelly VanMarter  
**Subject:** FW: Support of the Padre Pio Chapel & Stations of the Cross.

fyi

-----Original Message-----

From: John Spalding [mailto:jcspaldo526@yahoo.com]  
Sent: Saturday, April 03, 2021 4:04 PM  
To: Mike Archinal  
Subject: Support of the Padre Pio Chapel & Stations of the Cross.

Mike,

By this email, I wish to express my support for the special use permit for the Padre Pio Adoration Chapel and Stations of the Cross as proposed by Catholic Healthcare International- CHI.

The scope and magnitude of the project has been grossly exaggerated - leading to extreme angst of neighboring residents.

The 6,090 square foot Chapel and fourteen (14) outdoor Stations of the Cross are not going to overwhelm the 40 acres of land on which they will reside. Nor will 39 parking spaces result in extreme traffic congestion on Chilson Road.

The presence of the Chapel and Stations will add to the serenity and peacefulness of the area.

I supports the remarks of Commissioner Jim Mortenson as reported by WHMI.

I have Chilson Baptist Church in my backyard and look forward to hearing the church bells ring!!

The proposed Padre Pio project will have nothing but a positive impact on the area & will be a blessed jewel.

We have been residents of Genoa Township for 35 years.

We pray that our township officials will rule in favor of the Padre Pio Project.

Best Regards,

John Spalding  
4370 Timberview Drive  
Howell, MI

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 12:52 PM  
**To:** Jim Mortensen; tcroft; JeanLedford; Diana Lowe; Polly; Robin Hunt; Bill Rogers  
**Cc:** Kelly VanMarter  
**Subject:** FW: Padre Pio Chapple.

FYI

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**From:** hastingscarrie [mailto:hastingscarrie@gmail.com]  
**Sent:** Saturday, April 03, 2021 3:48 PM  
**To:** Mike Archinal  
**Subject:** Padre Pio Chapple.

Dear Mike and the zoning board of Genoa Township.

I am writing in support of the Padre Pio Chapel special use permit being requested. This is such a wonderful opportunity for all everyone. Those who want to vist, pray or walk the grounds will experience a beautiful area. Padre Pio is known around the world and for Genoa Township in Livingston County, MI to be selected for such an honor to have a chapel in his name is a blessing.

Thank you for your service to the community and I hope you will pass this special use permit.

Sincerely

Carrie Hastings

Sent from my Galaxy



**From:** [Daena Nicholas](#)  
**To:** [Amy Ruthig](#); [Daena K. Nicholas](#)  
**Subject:** Chi Padre Pio Project  
**Date:** Monday, April 5, 2021 4:50:59 PM

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I am writing in regards to the Padre Pio Project. While it's a wonderful idea on paper this residential location is not. Approving the rezoning of this property will be like opening a can of worms. Once the chapel is approved it will be very difficult to deny them tonbuilding a hospital, school and rehab center. I moved from West Bloomfield area because I was tired of residential areas mixed with heavy corporate structures. ( hospitals etc.....). Brighton is more like being in the country and located close to the freeway for access to different venues. This project just makes this area like all the others in Oakland County. Busy, heavy traffic and high taxes.

The chapel is open to the pubic , with p 6100 sq' building plus other structures, a Massive driveway and near 50 car parking lot. Lights and bells going off every hour on the hour. A major disruption to the neighborhood. The current residents have a right to the peaceful enjoyment of their properties and locating this "business" here would destroy that.. Located just a few miles N there are lots of beautiful wooded acreage for their church and trails that is NOT in the middle of a residential area.

Latson road, Brighton road and Chilson can not handle the amount of expected traffic. This is a non profit organization and we the residence will have to take up the expense of expanding, infra structure.

I have lived here for 31 years and remember when Latson wasn't connected all the way thru to Chilson and the traffic and time it took to get back to our neighborhood. Traffic flow is great right now and this is just going to create additional problems. I have personally visited pilgrimage sites throughout the country. On average most have 500 to 800 people visit a day. Think about how much traffic that will create in the area. Even if only the Chapel is approved the location is wrong and not acceptable in residential.

Lastly, I don't think the majority of the residents in the area are aware of this project and if they were they would be opposed to it. I implore you to reject the special permit. I suggest they sell the property and move to a location closer to the freeway and away from residential.

Respectfully

Daena Nicholas

**From:** [Elaine Samson](#)  
**To:** [Amy Ruthig](#)  
**Subject:** Chilson Rd Variance  
**Date:** Monday, April 5, 2021 5:13:50 PM

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Due to prior commitment I will not be able to attend the Genoa Twp meeting tonight.

I wish to express my view on the change from Residential for property on Chilson/Coon Lake. The Station of the Cross and Shrine would be nice. However, once they have the approval the doors are open to build a Chapel, Hospital and Medical School.

It is the Hospital and Medical School that I object to. Chilson Rd. cannot handle that kind of traffic. The road would have to be widened. Brighton Road now carries a lot of traffic. It is difficult to leave the subdivisions now. The Hospital complex does not belong in a residential area. It would be better suited in a commercial area.

Thank you

Elaine Samson

April 5, 2021

Township Board  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

**Subject: 3280 Chilson Road, Catholic Healthcare International, Special Land Use request.**  
located on the west side of Chilson Road, south of Crooked Lake Road, zoned CE,  
Country Estate District. Application dated 12-09-2020.

**Attention:** Mr. Bill Rogers, Supervisor  
Ms. Kelly VanMarter, AICP Assistant Manager, Community Development Director

Dear members of the Board:

At the request of a number of Genoa Township residents residing in the near vicinity of 3280 Chilson Road, we have completed our review of the above Special Land Use request to construct a 6,090 square foot church (adoration center) with outdoor accessory uses and structures including grotto/mural wall, alter, Stations of the Cross and a statue on a 40 acre parcel, requested by the applicant, Catholic Healthcare International.

You will see from our analysis that we are of the opinion that this proposed development does not align with your standards for Special Land Use approval. This site is proposed to be a shrine to St. Pio, whom is greatly adored in the Catholic Faith and it is our belief that this site will generate far more traffic and have far more visitors that the applicant states. We have seen from previous events at this site that traffic has parked both on site and along Chilson Road, which as a two-lane road could create many traffic conflicts and impacts to the local area.

You will be presented with a multitude of information and we ask that you carefully and thoughtfully consider all of the information from both the applicant and residents of the community. Within this letter we have highlighted key statements from the Master Plan, Zoning Ordinance and the applicant, all of which we believe supports not approving this Special Land Use request.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to Townships plans and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Township Board should consider our comments along with those from other staff and consultants, additional information provided by the applicant, input provided during the public hearing, and your own findings based on ordinance standards as part of your deliberation.

## GENERAL SPECIAL LAND USE STANDARDS

According to *ARTICLE 19.03*, any special land use must adhere to all the following general standards listed in the Zoning Ordinance:

1. *Be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Master Plan and promote the Statement of Purpose of the zoning district in which the use is proposed.*

**Finding – Not in compliance:** The subject site is located in an area designated CE, Country Estates District where the following statement of purpose states that “The two Agricultural Districts are established in recognition of their contribution toward the Township’s quality of life and economic diversity. Carefully managed agricultural uses continue the practice of utilizing the land through soil, water and nutrient conservation.”

The Agricultural Districts are intended to insure protection of some of the irreplaceable prime agricultural soils in the Township, unimpeded by the establishment of incompatible uses which could conflict with farm operations and further discourage agricultural production. The protection offered through this type of zoning is intended to provide a basis for land tax assessments which reflect the existing agricultural nature.

(a) The Agricultural (AG) District is established as a district in which the principal use of land is farming, including dairying and livestock enterprises, and forestry or other bona fide agricultural pursuits. Some areas zoned for agricultural uses are not intended to be preserved perpetually, but to avoid premature loss of prime farmland. The standards of this district provide an economic means of preserving land for future generations to determine ultimate use at an appropriate time. Agricultural uses can also be maintained through establishment of a Residential Planned Unit Development, with residential units clustered on a section of a farm site, while the remaining land is retained in agricultural production.

- (b) The Country Estate (CE) District is established as a district where the principal use is residential, with smaller scale farming and raising of horses and livestock typically an accessory use. The health, safety and welfare contribution of this district is to retain the rural atmosphere and quality of life while accommodating compatible, very low density, residential development.

According to the minutes of the March 8<sup>th</sup> Planning Commission meeting, the applicant indicates that the plan for the site is, “At the beginning, they will be holding one mass per week and once awareness of their site increases, it may increase to three masses per week. The maximum use would be a mass a day”.

This is important because if and when the applicant reaches maximum use, the site would see nearly 80 vehicle trips per day coming and going from the site for the primary use based on the total number of parking spaces on site. This does not account for vehicle trips to the site to utilize the accessory uses at the site, which could take the trip generation from the site to well over 100 vehicles per day.

The applicant also states the following with regard to special events at the site. “If needs increase and there is not enough parking, they will encourage carpooling, *institute a shuttle service* or

stagger the events. This will also be known before the event happens, and would then be moved to a local parish to accommodate the number of attendees. This site is not big enough to host massive 200 car events”.

By the applicants own admission, this site is not appropriate for large events or a large number of vehicles which we agree and for this reason, believe this proposed development is not compatible with this zoning district and does not meet this Special Land Use Standard.

There are two areas specifically in the Genoa Township Master Plan that, based on research, analysis and public input, would determine that this proposed use of the site would not be compatible with the existing character of the area.

1. Future Land Use Plan – The future land use plan is the guiding policy that determines where uses are appropriate and maps those use categories throughout the township based on that appropriateness. The specific site for the proposed use is planned Agriculture/Country Estate. Specifically, the plan states that “These areas shall remain in agricultural use, or develop as single family residential on estate lots. Many of the areas are prime farmland or have significant natural limitations such as wetlands or severe soil limitations. As these areas are not planned for sanitary sewer, they can only support low density residential development. This classification is recommended for single family residences on lots no smaller than 5 acres.” Additionally, this site is located outside of the Growth Management boundary.
2. Growth Management Boundary - The residents of Genoa Township have consistently said that preserving the natural beauty of the Township and controlling urban sprawl are important priorities for planning the community. The Township also desires to be able to provide efficient infrastructure services to support development.

One of the most effective ways to meet both of these goals is with a “growth boundary.” The growth boundary concept in the plan is designed to encourage the following:

- Efficient land use,
- Protection of farmland and natural areas,
- Efficient provision of utilities, services and infrastructure,
- An efficient transportation system,
- Locations for economic growth, and
- Diverse housing options.

The growth boundary marks the separation between rural and urban areas and defines land that can efficiently support urban services such as sewer, water and roads. Secondary growth areas are also provided adjacent to the City of Brighton for low density residential.

Development outside the boundary is not prohibited; however, because public utilities are not available in these areas, development needs to be maintained at a relatively low intensity and the character of development needs to not adversely impact natural features and agricultural uses.

2. *Be designed, constructed, operated and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.*

**Finding – Not in compliance:** Based on our review of the proposed site plan and our understanding of this very rural area, it would be difficult to believe that there is any way in which the proposed development could not significantly alter the existing and intended character of the area. Vehicle trips alone will significantly alter the existing character.

3. *Be served adequately by essential public facilities and services such as: highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools.*

**Finding - In compliance:** The subject site will be adequately served by Chilson road, however we would still request that a full traffic analysis be completed by the Township to verify that the extra vehicle traffic to and from the site will not provide significant impacts since Chilson is a two-lane road.

4. *Not involve uses, activities, processes, or materials detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare or other such nuisance.*

**Finding – Potentially in compliance:** The applicant is proposing to utilize a bell at the primary structure. The Genoa Township Noise Ordinance states that bells under 90 Db are exempt from the ordinance. We ask that the applicant provide a manufactures spec sheet or that a decibel study be prepared to ensure that the proposed bell will not exceed 90 Db's at an time.

5. *Provide mitigation necessary to minimize or prevent negative impacts.*

**Finding – Not in compliance:** Given the fact that the site will have 38 parking spaces, it was asked by the Planner, Brian Borden to look at the option of land banked parking spaces and that parking not be allowed on the turf. At an event at this site in the recent past, vehicles were not only parking on the site, but also along Chilson Road.

It is our opinion that in order for this standard to be met, all parking should be contained on site, on improved surfaces (asphalt or concrete) and that off-site parking and shuttling should not be a viable alternative to meet this standard, as then we would definitely view this as a commercial use.

### **Alternative Development Options**

Given the fact that this site has the likelihood of significantly impacting the existing rural character of the area, we offer the idea that the Township Board deny the Special Land Use and consider planning this site as a Planned Unit Development. Although the applicant has stated that they only intend to build the adoration center and have accessory uses such as trails, outdoor stations of the cross and a prayer alter/grotto and statue, there are a number of materials that discuss future growth at this site, specifically uses that are not currently permitted by right or SLU. Utilization of a PUD may provide greater ability to thoughtfully plan and regulate the site in a way that would have fewer impacts on the existing character of the area.

## RECOMMENDATIONS

Based upon the above analysis, **we recommend denial of the special land use request for 3280 Chilson Road, Catholic Healthcare International for the following reasons,**

1. **That the Special Land Use request is not consistent with the intent of the zoning district which it is located;**
2. **That the Special Land Use request is not consistent with the Future Land Use Plan or the Growth Management Boundaries within the Master Plan;**
3. **That vehicle trips per day will impact the existing character of the area in a negative manner;**
4. **That a decibel study was not conducted to ensure that the proposed bell will not exceed 90 Db's per the Genoa Township Noise Ordinance; and**
5. **That mitigation has not been provided on the site plan for an abundance of overflow parking when the site is at full utilization.**

Additionally, we would ask the Township Board to consider tabling their approval of this Special Land Use until June, as the applicant has a special event planned for May 25<sup>th</sup>. Tabling this decision until that time would give the Township the opportunity to assess traffic and parking at the site during a special event to see firsthand potential traffic impacts to Chilson Road and the existing character of the area immediately surrounding the proposed site.

Lastly, if conditions are to be included as part of the Special Land Use Approval, we would ask that the bell only be permitted conditioned upon completion of a decibel study to ensure compliance with the noise ordinance or alternately approved with no bell at all. Additionally, that any and all parking shall be contained on site, on improved surfaces and that off-site parking and shuttling be strictly prohibited as the use of shuttles and busses would be create a significant impact to the area as well as Chilson Road.

If you have any further questions, please contact us at 810-919-2901.

Sincerely,

### CIB PLANNING



Carmine P. Avantini, AICP  
President



Justin Sprague  
Vice President

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 12:41 PM  
**To:** Jim Mortensen; tcroft; Diana Lowe; JeanLedford; Polly; Robin Hunt; Bill Rogers  
**Cc:** Kelly VanMarter  
**Subject:** FW: comments for township meeting tonight

fyi

**From:** ktm321 [mailto:ktm321@protonmail.com]  
**Sent:** Monday, April 05, 2021 12:33 PM  
**To:** Mike Archinal  
**Subject:** comments for township meeting tonight

Dear Mr. Mike,  
I'm sorry, I failed to get your last name but am told you are the supervisor and can read and forward my comments to the township board members.

I am writing to give my input regarding the proposed project by Catholic Healthcare International. I know there is a planning meeting tonight. My husband, Doug Marshall, may be able to attend. I cannot attend.

We live at 5574 Richardson Rd. I was totally thrilled to hear about this project and many local friends were also thrilled about this idea. We were thrilled even with the hospital idea, but we do realize that the property is not currently zoned for this purpose.

I understand the chapel *could* be a potential as a special land use. I am dismayed by the angry opposition. So, I wanted to include my own voice.

We see this project as being a peaceful and beautiful addition to the area. We note that churches like Holy Spirit in Hamburg and Saint Joe's are in neighborhood areas - Holy Spirit more rural than Saint Joe's. We lived here when Latson replaced the dirt road Nixon to make a thoroughfare to Howell. This significantly changed traffic patterns already at the Latson/Chilson intersection ... but was also an excellent addition for residents in our area. I did feel bad for the residents of Nixon rd. at the time but that connection was really vital, I believe.

I note the gas power station and many parcels for sale in the triangular area of Latson to Chilson to Crooked Lake and back to Latson. It is on this triangle on Chilson that the proposed site for the chapel sits. I wonder about future zoning changes in an area that has already seen change in the last several years. I also think that the chapel won't impact residents as much as they think. It won't be loud, there may be some bells... but I find that a beautiful and peaceful sound. I find that the anticipation is often worse than reality. I once opposed a McDonald's not far from my old neighborhood in Green Oak Township. Once they put it in, I realized it had little to no impact on our neighborhood at all.

I know that CHI proposes a hospital and this has residents extremely concerned. However, I believe that CHI is going to abide by whatever trends are happening and may be happy with the chapel while being open to a potential hospital *IF* zoning trends go that way -- and change *does* happen, as we know. If things do not trend that way, I trust they will find an alternate location for the hospital portion of the project. I understand the thought process of CHI that a rural area is a more pastoral setting for sick and suffering people and we do love the idea of a replica of the House for the Relief of Suffering here in the US. But, in the end, this phase of the



plan would have to abide by the planning commission for the township. The chapel, however, would be a peaceful and edifying presence in our area.

Thank you so much for your time in reading my comments,  
Sincerely,  
Kathie (with Doug) Marshall  
5574 Richardson Rd.  
586-224-0114

Sent with [ProtonMail](#) Secure Email.

**From:** [Mike Archinal](#)  
**To:** [Jim Mortensen](#); [tcroft](#); [Diana Lowe](#); [JeanLedford](#); [Bill Rogers](#); [Robin Hunt](#); [Polly Kelly VanMarter](#)  
**Cc:** [Kelly VanMarter](#)  
**Subject:** FW: Proposed Chapel on Chilson  
**Date:** Monday, April 5, 2021 9:31:02 AM  
**Attachments:** [CHL.docx](#)

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FYI

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**From:** [terkim99@yahoo.com](mailto:terkim99@yahoo.com) [mailto:[terkim99@yahoo.com](mailto:terkim99@yahoo.com)]  
**Sent:** Monday, April 05, 2021 9:19 AM  
**To:** Mike Archinal  
**Subject:** Proposed Chapel on Chilson

Hel l o,

Please read the attached note regarding the proposed chapel on Chilson Rd. Please also feel free to distribute accordingly.

Thank you,

*Kim Lamb*

Friday, April 2, 2021

Kim Lamb

5450 Richardson Rd.

Howell, MI 48843

[terkim99@yahoo.com](mailto:terkim99@yahoo.com)

Dear Board of Trustees,

My name is Kim Lamb. My husband and I have lived in Genoa Township for 19 years. I am writing to you today regarding the proposed chapel, grotto, and trails at 3280 Chilson Rd. My husband and I are long-term parishioners of St. Patrick Parish in Brighton. We are Catholic. When we first learned of the Casa USA campus, we were thrilled thinking that there might be a prayer chapel only 2 miles from our house. Then we learned of the opposition to the project from the comments on the Next Door Forum and we tried to understand the concerns. I do think the forum has raised good concerns but I also think some of their concerns are fabricated out of fear. There is really only one concern that they have that I think is worth discussing. Below, please find a summary of the concerns I believe to be inaccurate or unfair. Please also see below the remaining concern I believe should be worth discussing.

Concern	Argument dismissing the concern
<i>CHI is planning to put a hospital, nursing home, chapel, trails, grotto and parking lot on the property at 3280 Chilson</i>	<ol style="list-style-type: none"><li>1. The special use application is only for a chapel, grotto and trails.</li><li>2. To build a hospital, nursing home and/or medical school would require an application for rezoning (which this is not).</li><li>3. A medical school, hospital and nursing home would not fit on the 40-acre property once the chapel is built.</li></ol>
<i>CHI is planning to purchase adjacent properties and add the medical school, nursing home, and hospital to adjacent properties.</i>	<ol style="list-style-type: none"><li>1. A situation which people "suspect" might happen "down the road" should have no bearing on a current special use application. This is just rumor and hearsay.</li><li>2. A medical school, nursing home and hospital would require a rezoning and would need to first be approved by the township.</li></ol>
<i>CHI is a mega-corporation and has paid-off the Commissioners and the Board to get approval.</i>	This is an unfounded allegation.
<i>CHI claims that the chapel would be open to anyone in the community. However, since CHI is a Catholic organization and the Catholic church hates homosexuals, transgender persons, and people who have had abortions, it would restrict its use to people they look favorably upon.</i>	This an unfounded, unfair, and untrue allegation.
<i>Because the Catholic Church is a large, bigoted, and corrupt organization, it should not be allowed in our community.</i>	The special use permit is available to any petitioner, regardless of their religious affiliation.

The one concern that I think is valid is the concern about traffic and number of visitors. The Next Door forum has had wide speculation about the number of visitors. They compare the proposed chapel to be similar to Cross in the Woods in Indian Springs. I do believe there is valid concern about the traffic, however I do not believe the number of visitors would be similar to Cross in the Woods. Cross in the Woods (CITW) draws about 300,00 visitors per year. CITW is a parish with 500 families. This means that in addition to masses, it hosts weddings, funerals, First Holy Communions, Confirmations as well as other general meetings related to the parish. In addition, CITW is advertised as having the largest cross in the world, which attracts visitors of all denominations. The indoor sanctuary can hold 1000 people and there is also an outdoor sanctuary. CITW holds mass 11 times per week (equivalent to about 20,000 people per week). In addition to the world's largest cross, CITW also has shrines of St. Francis, Our Lady of the Highway, St. Peregrine, St. Kateri Tekakwitha, The Holy Family and a Fr. McGivney Memorial. They also have a gift store and doll museum.

On the contrary, the proposed chapel would not have a congregation because it is not a parish. It would only be chapel without anyone "belonging to it." Therefore, it would not host regular weddings, funerals, or any of the sacraments related to parish life. The chapel would only seat 95 people. If the chapel held mass 7 days a week, the maximum number of participants would be 665 per week (as opposed to 20,000). The chapel does not have any saint relics or miraculous healings associated with it to draw visitors. Truth be told, there is not much to see on the campus except the replica chapel, a life-size statue of St. Padre Pio, the grotto and trails. In my opinion, the chapel would primarily be used by locals, perhaps anyone visiting the nursing home (if it is nearby) and occasionally people who might be travelling up north. Due to the limited number of seats in the chapel, however, it could not house many visitors at one time. During the winter months, I imagine it would hardly be used due to the size of the indoor facility.

Despite my argument, I believe the Board could put into place boundaries that would limit the number of visitors (to address traffic concerns). Fire code laws would naturally limit the number of visitors in the chapel. Limiting patrons to the number of parking spots would also be good. Limiting the noise levels is also great. Perhaps there should be a restriction about a gift shop.

I believe the chapel could work in the proposed spot. I believe if it is used as prayer center and is not advertised as a "tourist attraction" it could be an asset to the community. I believe that if the Board could put stipulations on the use to limit visitors, the chapel could be approved.

I do not envy your decision regarding this endeavor. I know there is a lot of opposition to the proposal, but I also believe CHI should be eligible to their rights regarding the use of their property, like any other property owner.

St. Padre Pio was noted for saying, "Pray, hope and don't worry." That is what I am doing today. If God ordains this chapel to be housed on Chilson Rd. He will make it clear that it is to be so. May God bless you as you serve our community.

Thank you for your time.

Sincerely,

Kim Lamb

**From:** [Kelly VanMarter](#)  
**To:** [Amy Ruthig](#)  
**Subject:** FW: Support for the Padre Pio Adoration Chapel  
**Date:** Tuesday, April 6, 2021 3:08:17 PM

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Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

-----Original Message-----

From: Mike Archinal  
Sent: Monday, April 5, 2021 4:21 PM  
To: Jim Mortensen <[hjm2@sbcglobal.net](mailto:hjm2@sbcglobal.net)>; tcroft <[terrycroft@att.net](mailto:terrycroft@att.net)>; JeanLedford <[jeanledford@att.net](mailto:jeanledford@att.net)>; Diana Lowe <[diana@genoa.org](mailto:diana@genoa.org)>; Polly <[pskolarus@genoa.org](mailto:pskolarus@genoa.org)>; Robin Hunt <[Robin@genoa.org](mailto:Robin@genoa.org)>; Bill Rogers <[Bill@genoa.org](mailto:Bill@genoa.org)>  
Cc: Kelly VanMarter <[Kelly@genoa.org](mailto:Kelly@genoa.org)>  
Subject: FW: Support for the Padre Pio Adoration Chapel

FYI

-----Original Message-----

From: marie gannon [<mailto:gannonmar@hotmail.com>]  
Sent: Monday, April 05, 2021 3:00 PM  
To: Mike Archinal  
Subject: Support for the Padre Pio Adoration Chapel

Good afternoon Township Manager

I fully support the amazing project that is being proposed. This is a true blessing to have this be in our backyard. A peaceful and spiritual place to pray and grow closer to the creator of that property.

This is God's calling .

Respectfully,

Marie Gannon

Sent from my iPhone

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 2:33 PM  
**To:** Jim Mortensen; tcroft; Diana Lowe; JeanLedford; Bill Rogers; Robin Hunt; Polly  
**Cc:** Kelly VanMarter  
**Subject:** FW: St Padre Pio project

FYI

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**From:** Adam VanTassell  
**Sent:** Monday, April 05, 2021 1:56 PM  
**To:** Mike Archinal  
**Subject:** FW: St Padre Pio project

**From:** Matthew Betz [mailto:matthewpbetz@gmail.com]  
**Sent:** Monday, April 05, 2021 1:48 PM  
**To:** Diana Lowe; Jim Mortensen; Adam VanTassell  
**Subject:** St Padre Pio project

First, let me thank you for making your email addresses available. I was a little surprised that not all elected officials do so. I hope you will pass my message to the other members of the Board of Trustees.

I know that tonight's meeting will include discussion regarding the St Padre Pio project, and I'm saddened that I won't be able to attend. I hope my voice can still be heard through this email. I have followed and contributed to several discussion threads on social media regarding the zoning variance requested for this project. I am writing in hopes that you will allow the project to move forward.

There is a small but very vocal and well organized group in opposition to this project. Their concerns are all about them and not about the great good to the overall community that this project can bring. Not only for Catholics in the area, but all persons of faith that would like a tranquil place to reflect and pray. This group has tried to paint a picture of "hundreds of thousands" of religious pilgrims being drawn to Genoa Township to visit this site. I have visited shrines and cathedrals in North America and Europe and have never experienced the types of crowds they fear - even at Notre Dame in Paris or The Dome in Cologne.

When voting on this proposal, I hope you will keep the following in mind:

- The current request is only for a small chapel, statue and grotto. Those would create a serene place of prayer in our area. A thing to be proud of. The Township would be in control if any additional requests are submitted that would expand the project.
- Every project like this draws the opposition of neighbors. Everyone wants it in someone else's backyard. This is a unique opportunity due to the property being gifted.
- In situations like this, the good of the many often supersedes the demands of the few. Denying this variance may cause the project to be moved out of our area completely, depriving us of this opportunity.

Thank you for taking the time to read this. I ask that you pass this message to your peers on The Board prior to the meeting so that they have my input as well.

Kind regards,  
Matthew

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Matthew P Betz  
[matthewpbetz@gmail.com](mailto:matthewpbetz@gmail.com)  
678.579.2262

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 12:53 PM  
**To:** Jim Mortensen; tcroft; Diana Lowe; JeanLedford; Bill Rogers; Robin Hunt; Polly  
**Cc:** Kelly VanMarter  
**Subject:** FW: CHI

FYI

-----Original Message-----

From: Virginia Kroll [mailto:ginnykr@comcast.net]  
Sent: Saturday, April 03, 2021 1:11 PM  
To: Mike Archinal  
Subject: CHI

Dear Genoa Township board:

Our family has been residents in Genoa Township for 27 yrs. and we fully support the CHI in building the St. Padre Pio chapel.

There are many misconceptions about the plans of this organization and its long term plans. I see no worries or concerned about building this chapel. Who can deny that in this country of unrest, and confusion, hatred, and division, people need some kind of retreat to walk and pray in a peaceful, reverent, quiet, holy atmosphere? You need not be of any particular religion to benefit from such a place on these grounds dedicated to St. Padre Pio.

Our family has already visited to this property, and if I may say so, we felt a peace and calm while walking the trails, and sitting under the canopy of trees to rest and reflect. Who can say that this is unacceptable?

Please do not oppose this most welcome place of prayer which, by the way, has the hand of God on it.

Respectfully,  
Mr. and Mrs. Kroll and Family

Sent from my iPad



## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 12:54 PM  
**To:** Jim Mortensen; tcroft; JeanLedford; Diana Lowe; Bill Rogers; Robin Hunt; Polly  
**Cc:** Kelly VanMarter  
**Subject:** FW: April 5 meeting letter to share

FYI

**From:** Nancy Duey [mailto:nancyduey@gmail.com]  
**Sent:** Saturday, April 03, 2021 11:53 AM  
**To:** Mike Archinal  
**Subject:** April 5 meeting letter to share

Hello,

I am a nearby resident of the property on 3280 Chilson Rd and support the building of the small chapel on this sight.

I also work for the Catholic Church and have for many years visited similar chapels of this type in various locations in our country and around the world. I can confirm that a chapel of this style unfortunately has very few visitors at any one time. In general if someone has a devotion to visit this type of chapel it is done as a single person or possibly with one or two others. This style of chapel is for personal prayer not for daily large group participation as some have suggested. On a general day to day basis this chapel will have a small amount of visitors. In locations where there have been miracles or apparition sights, neither which have occurred here, there are more daily visitors and scheduled pilgrimages that may have group attendance. That is not the case with this style of chapel that is being proposed.

In our area there is not a chapel of this type and it is a great privilege to have this available to our community. The world needs more people praying and this small chapel will be appreciated by those who desire a quiet place to pray and reflect in a peaceful manner.

In my personal opinion and experience this chapel will provide a wonderful opportunity for personal prayer. The Stations of the Cross Trail and Grotto also are needed places of personal prayer in our area as we do not have outdoor locations near our area that provides this in our community.

I would ask that you approved the needed permits to allow this chapel to be built.

Thank you,

Nancy Duey

**Nancy Duey**

*"Say the Rosary every day to bring peace to the world and an end to war".*

*Our Lady of Fatima*

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Monday, April 5, 2021 9:32 AM  
**To:** Jim Mortensen; tcroft; JeanLedford; Diana Lowe; Polly; Bill Rogers; Robin Hunt  
**Cc:** Kelly VanMarter  
**Subject:** FW: Support for Padre Pio Prayer Chapel on Chilson Rd.

Fyi

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**From:** Adam VanTassell  
**Sent:** Monday, April 05, 2021 9:15 AM  
**To:** Mike Archinal  
**Subject:** FW: Support for Padre Pio Prayer Chapel on Chilson Rd.

**From:** Tim Burke Jr. [mailto:timburke777@gmail.com]  
**Sent:** Saturday, April 03, 2021 6:48 PM  
**To:** info  
**Subject:** Support for Padre Pio Prayer Chapel on Chilson Rd.

Dear Genoa Township Planning Commission Member,

I'm writing in full support of the Padre Pio Chapel and Prayer Campus.

I have been to the Chilson property for prayer a few times now and have filled with much peace and tranquility. I'm convinced in the power of prayer and having a place like this here in Livingston County will be such a tremendous blessing for our community. With a place like this to pray and experience nature **on these beautiful grounds**, the prayer will flourish and people will be better off.

I also very much love and respect St. Padre Pio and all the good that has come to the world through his life. He experienced much resistance and nay-saying in his day but in the end, the goodness of his works triumphed by his love and perseverance and he is now revered as one of the holiest people of our modern times. I understand the proposed Prayer Chapel will have a special prayer focus aimed at bringing about health and well-being for people. It is hard to imagine any valid reasons why plans to promote prayer would do anything but great good!

I have personally worked with and confidently put my full trust in the integrity of those bringing forth the plans for the Chilson Rd. prayer campus. It is my hope that the Planning Commission will approve the plans for the prayer campus so that the people can benefit from the prayer campus as soon as possible.

Thanks,  
Tim Burke  
(517) 404-5304

## Kelly VanMarter

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**From:** fanny19@sbcglobal.net  
**Sent:** Tuesday, April 6, 2021 6:08 PM  
**To:** Kelly VanMarter  
**Subject:** Proposed Special Use Permit for Catholic Church Planned for Chilson Road

**Importance:** High

Hello Kelly,

I was planning to come to the township meeting in person yesterday at 6:30pm; however, my husband worked late and I had to watch the kids so I was unable to come.

I wanted to email you so you can have it on record that being residents of Genoa Township, my husband and I are not in favor of the development for Chilson Road for the following reasons:

- The surrounding area all along the portion of Chilson Road they are proposing is residential and should stay residential in the foreseeable future to continue the small town and rural feel of Genoa Township. This is what attracted us to this area when we moved here several years ago.
- Putting this church there seems to me more commercial in nature which does not seem to go with what the current zoning around this piece of land is. This development will bring more traffic to the area and Chilson Road is already a busy road.
- We moved here knowing about the train but now they want to put a bell tower in and ring it even if it is only a couple times a day we do not want to hear a bell ringing, the train is enough.
- This will bring more people to this area to come visit this site and looks to be an international site – I like my small town and I feel that if international people come they may potentially introduce different sicknesses/diseases to the area from other countries – we have had enough issues with COVID we are still dealing with a year later – and with different strains being identified in other countries who knows what could come to our area.

For these reasons we want our township to remain rural, small and safe for our family and our kids so we hope the zoning commission does not allow this special use and ensure that the property will remain rural/residential in use. Thank you for considering our opinions on this matter.

Jason and Tiffany Linder  
3746 Westphal Road  
Howell, MI 48843

**From:** [Kelly VanMarter](#)  
**To:** [Amy Ruthig](#)  
**Subject:** FW: regarding township meeting/Pio project  
**Date:** Tuesday, April 6, 2021 3:07:49 PM

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Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

**From:** ktm321 <ktm321@protonmail.com>  
**Sent:** Tuesday, April 6, 2021 9:45 AM  
**To:** Kelly VanMarter <Kelly@genoa.org>; Mike Archinal <Mike@genoa.org>  
**Subject:** regarding township meeting/Pio project

Dear Kelly and Mike,

My friend told me that the meeting was adjourned due to too many people. She also told me that there were 50 in opposition and 6 in favor. I do not know if the vote will take place before another meeting or not?

One question/concern I have is this: when so many people show up, do the board members take the time to ascertain where these people are from? You had said that most important were people in closest proximity, then the larger community and then finally others who have an interest, but maybe not the immediate area.

I had noticed on nextdoor app that the gentleman who seems to be spearheading made a comment to show up at the township meeting and "invite anyone from Livingston County."

So, my question regards whether the board even has the time to discern in the space of a meeting with so many attendees, closeby neighbors versus farther flung folks.

By hearsay, I was told that nearby neighbors were asked and were okay with the project. I would have to verify this but I assume you would be communicated the same information if this happened. You don't have to answer this if you don't want. You could forward this on to the relevant individuals, also.

We will plan to attend the next meeting, if there is one, if possible.

Thank you!

Kathie Marshall  
5574 Richardson Rd.  
Howell, MI 48843  
586-224-0114

Sent with [ProtonMail](#) Secure Email.

April 5, 2021

Genoa Twp. Board of Trustees,

My husband Alfred and I have been residents of Genoa Twp. at 3809 Chilson Rd. for 30 years.

We strongly oppose the CHI project planned for 3280 Chilson Rd.

The CHI pilgrimage site project that includes a large church, massive driveway, large parking lots, walking trails and praying stations will look, sound and function like a business.

Open to the public any days and times the organization desires, increased traffic which could be great as information from other pilgrimage sites suggest, bright outdoor lighting and increased noise. Just like a business.

A business IS NOT an acceptable special use in this specific area of the township because it is surrounded by all residential homes.

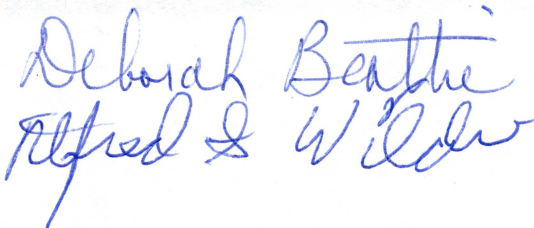
If the CHI project is approved, our peaceful country area will be negatively changed forever and the door will then be open for other special use or rezoning permit requests on Chilson, based on the approval of this project.

The CHI project IS NOT harmonious with the adjacent land uses and does not follow the intent of the Master Plan. A denial for this project in this specific area is in order.

Thank you,

Sincerely,

Deborah Beattie and Alfred Wilder  
3809 Chilson Rd.



## Kelly VanMarter

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**From:** Amy Ruthig  
**Sent:** Monday, April 26, 2021 2:19 PM  
**To:** Kelly VanMarter; Mike Archinal; Bill Rogers  
**Subject:** FW: Zoning of the Padre Pio Chapel

Amy Ruthig  
Zoning Official

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824  
E-mail: amy@genoa.org, Url: www.genoa.org

-----Original Message-----

From: Anna Gebstadt <annagebstadt@gmail.com>  
Sent: Monday, April 26, 2021 2:09 PM  
To: Amy Ruthig <amy@genoa.org>  
Subject: Zoning of the Padre Pio Chapel

Dear Amy:

Please direct the following letter to the appropriate individuals in regards to the zoning of the Padre Pio Chapel. Thank you

Last fall I was a guest to attend the dedication of the Padre Pio Chapel in Genoa Township. I was deeply moved by the altar and site where the chapel will be built. The grounds are perfect for such a project. I'm told that there is objections where this chapel will be built. I'm also told that communications were not clear as to what will be built on this site. Boss Engineering provided the site plan at the last meeting which should answer and eliminate any questions of future growth on the property, besides what is planned. I also would hope the communications by Jere Palazzolo would dispel the rumors in regards to what buildings will be built on this site and will make an impact on the citizens of this township.

I'm of the opinion that during these troubling times, i.e., a place for solitude, meditation and prayer would be a welcoming site for the residents of Genoa Township and its surrounding cities. I have told friends of my experience and they too look forward to visiting the site.

Thank you for your time and I look forward for a vote to in favor for the building of this chapel.

Sincerely,

Anna Gebstadt



## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Tuesday, April 27, 2021 11:10 AM  
**To:** Jim Mortensen; tcroft; JeanLedford; Diana Lowe; Bill Rogers; Robin Hunt; Polly  
**Cc:** Kelly VanMarter  
**Subject:** FW: Chapel on Chilson

fyi

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**From:** Adam VanTassell  
**Sent:** Monday, April 26, 2021 3:41 PM  
**To:** Mike Archinal <Mike@genoa.org>  
**Subject:** FW: Chapel on Chilson

**From:** greg kirchmeier <[gregk2110@yahoo.com](mailto:gregk2110@yahoo.com)>  
**Sent:** Monday, April 26, 2021 3:09 PM  
**To:** info <[info@genoa.org](mailto:info@genoa.org)>  
**Subject:** Chapel on Chilson

I support the Chapel being proposed for Chilson Road. Sincerely, Greg Kirchmeier. Financial Advisor, Edward Jones. 810-632-9533

[Sent from Yahoo Mail on Android](#)

## Kelly VanMarter

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**From:** Mike Archinal  
**Sent:** Tuesday, April 27, 2021 11:15 AM  
**To:** marymeros@aol.com  
**Cc:** Jim Mortensen; tcroft; Diana Lowe; JeanLedford; Bill Rogers; Robin Hunt; Polly; Kelly VanMarter  
**Subject:** RE: Chapel

Thank you for your comments. I will forward your email to the Township Board for their consideration.

Michael Archinal, AICP  
Township Manager  
Genoa Charter Township  
2911 Dorr Road  
Brighton MI, 48116  
mike@genoa.org

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**From:** Adam VanTassell  
**Sent:** Tuesday, April 27, 2021 8:43 AM  
**To:** Mike Archinal <Mike@genoa.org>  
**Subject:** FW: Chapel

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**From:** marymeros < >  
**Sent:** Tuesday, April 27, 2021 7:35 AM  
**To:** info <[info@genoa.org](mailto:info@genoa.org)>  
**Subject:** Chapel

I am writing in support of the chapel to be built on Chilson rd. Please allow it to be built. We all need a place of refuge in these trying times. A beautiful place to think and pray is wanted and needed by local citizens.

Sent from my Verizon, Samsung Galaxy smartphone

## Kelly VanMarter

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**From:** ktm321 <ktm321@protonmail.com>  
**Sent:** Thursday, April 29, 2021 7:03 AM  
**To:** Bill Rogers; Kelly VanMarter  
**Subject:** support for Chilson chapel

To whom it may concern,

We want to voice our support (again) for the chapel proposed on Chilson Rd. between Crooked Lake and Latson. We took time to speak to Ann O'Reilly who clarified many questions for us.

May I ask that this be forwarded to those who will vote on the matter?

thank you!

Doug and Kathie Marshall

5574 Richardson Rd.

Howell, MI 48843

(20 year Genoa resident)

Sent with [ProtonMail](#) Secure Email.

**From:** [Christine Case](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Padre Pio  
**Date:** Monday, April 26, 2021 6:54:15 AM

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To whom it may concern-

I live in Osceola township but I am very hopeful to have the Padre Pio chapel built. I feel it would be an asset to the whole community. Please allow this to be built ..

Sincerely,  
Christine Case  
1-517-295-0779

Have a blessed day

March 3, 2021

Planning Commission  
 Genoa Township  
 2911 Dorr Road  
 Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
<b>Subject:</b>	Catholic Healthcare International Church – Special Land Use and Site Plan Review #3
<b>Location:</b>	3280 Chilson Road – west side of Chilson Road, south of Crooked Lake Road
<b>Zoning:</b>	CE Country Estate District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Catholic Healthcare International requesting special land use and site plan review/approval for a new church (site plan dated 2/16/21).

**A. Summary**

**1. Special Land Use standards of Section 19.03:**

- a. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
- b. We request the applicant provide the Commission with additional detail regarding outdoor mass.
- c. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
- d. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.

**2. Use Requirements of Section 3.03.02(1):**

- a. Should a private school, child day care center, or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

**3. Site Plan Review:**

- a. The applicant should provide the Township with building material and color samples for inclusion with the project file.
- b. Planning Commission approval is required for the amount of parking proposed, as well as the use of bumper blocks for 2 parking spaces.
- c. We request the applicant provide an indication of the number of people expected for special events. If deemed necessary, banked parking may be an appropriate option.
- d. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt (5 trees) and parking lot (landscaped islands).

**B. Proposal/Process**

The proposal entails a 6,090 square foot church building, along with accessory outdoor uses in the form of a mural wall/altar, Grotto, Stations of the Cross, and a statue. As a side note, what was formerly noted as a Grotto, is now described as a mural wall and altar, though the site plan and details remain the same.

Churches, temples, and similar places of worship are allowed with special land use approval in the CE District. Such uses are also subject to the requirements of Section 3.03.02(1).

Procedurally, the Planning Commission is to review the special land use, site plan, and impact assessment, and provide a recommendation on each to the Township Board following a public hearing.



*Aerial view of site and surroundings (looking north)*

### **C. Special Land Use Review**

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Uses, as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site, as well as the adjacent properties on the west side of Chilson Road, as Agriculture/Country Estate.

This category is intended for “agricultural use” or “single family residential on estate lots” (5-acre minimum). The Plan further states that such areas “have significant natural limitations such as wetlands or severe soil limitations” and that “these areas are not planned for sanitary sewer.”

The subject site possesses these characteristics (wetlands, no sanitary sewer), and is located within the Rural Reserve area of the growth management boundary. Such areas are to “be maintained at a relatively low intensity rural character of development that will not adversely impact natural features and agricultural uses.”

Since there is no reference to institutional uses under this category, in order to make a favorable finding under this criterion, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.

- 2. Compatibility.** The subject area includes single-family residences on relatively large lots, as well as active agricultural.

The perimeter of the site is buffered by existing vegetation that will be preserved, which will help to mitigate views from off-site.

Based on previous discussion, concerns under this criterion are generally related to noise generation by the outdoor accessory uses and chapel bell.

The applicant has indicated that the outdoor accessory uses are intended for meditation and quiet reflection, and are not necessarily intended for large outdoor gatherings. However, the revised Impact Assessment notes occasional outdoor mass in the area formerly noted as the Grotto.

We request the applicant provide the Township with additional detail on this aspect of the request.

The revised submittal notes that the chapel bell will ring 3 times at noon and 6PM. The bell will also ring for scheduled mass times and special events; however, the bell will not be used between 9PM and 9AM.

The “General Operations” letter identifies 2 special events – May 25<sup>th</sup> and September 23<sup>rd</sup> from noon to dark.

The revised submittal does not include decibel ratings or a sound study noting the noise that will be generated by the chapel bell. The Commission may wish to request such details, given the rural residential nature of the surrounding area.

- 3. Public Facilities and Services.** The site has vehicular access to/from Chilson Road, which is an arterial roadway. Per the submittal materials, the project will be served by private well and septic systems.

The Commission should consider any technical provided by the Township Engineer and Brighton Area Fire Authority with respect to this criterion.

- 4. Impacts.** Similar to the comments above, the applicant must demonstrate to the Township’s satisfaction that noise generation will not adversely impact surrounding uses.
- 5. Mitigation.** Should additional concerns arise as part of the review process, the Township may require additional efforts/improvements to mitigate potential adverse impacts.

#### **D. Use Requirements**

Churches, temples, and similar places of worship are subject to the use requirements of Section 3.03.02(1), as follows:

- 1. Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.**

The subject site contains 40 acres of lot area, while a seating capacity of 95 persons is noted. This standard is met.

- 2. Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.**

The proposed building (34’-11” to the top of the bell tower) complies with the maximum height allowed for the CE District (35’).

- 3. Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.**

The two parking areas exceed minimum setback requirements, and the applicant proposes to retain existing landscaping and topography in lieu of providing a wall, fence, or berm.

Proposed buffering includes the additional spacing, as well as a combination of existing and proposed trees. The revised submittal includes 31 additional evergreen trees along the south side lot line.

**4. Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.**

The request does not include a private school or child day care center. As such, this standard does not apply to the proposal.

As previously noted and discussed, should these (or other) uses be proposed in the future, the applicant will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

**E. Site Plan Review**

**1. Dimensional Requirements.** The proposal is well within the allowable dimensional standards of the CE District with respect to setbacks, building height, and lot coverage.

**2. Building Materials and Design.** The building elevation drawings identify the use of brick and limestone.

We suggest the applicant provide the Township with material and color samples for inclusion with the project file.

**3. Pedestrian Circulation.** Public sidewalks/pathways are not required along this portion of Chilson Road (Section 12.05).

The project includes internal concrete sidewalks between the parking lots/drop-off lane and building entrances, as well as a limestone pathway for the Stations of the Cross.

**4. Vehicular Circulation.** Vehicular access is proposed via a new driveway to/from Chilson Road, which includes a deceleration/acceleration lane for southbound traffic.

Internally, the site includes both two-way and one-way traffic circulation. Proper drive aisle widths are provided throughout the site, and a fire truck turning movement is depicted (Sheet 4).

The applicant must address any comments provided by the Township Engineer or the Brighton Area Fire Authority with respect to vehicular circulation.

**5. Parking.** Proposed parking has been reviewed for compliance with the standards of Article 14, as follows:

	<b>Required</b>	<b>Proposed</b>	<b>Comments</b>
<b>Parking Spaces</b> Churches, temples, and similar places of worship (1 space for each 3 seats in the main unit of worship)	32	39	Section 14.02.06 requires PC authorization for parking above 120% of the minimum requirement. The proposal entails 122%.
<b>Barrier Free Spaces</b>	2	4	In compliance
<b>Dimensions</b> Spaces (75 to 90-degree)	9' x 18'	9' x 18' & 9' x 21'	In compliance
Drive aisle width (two-way)	24'	26'	In compliance
Drive aisle width (one-way)	15'	21'	In compliance
<b>Construction</b>	Looped striping Curbing on all sides	Looped striping Curbing w/ 2 bumper blocks	Curbing has been added; however, 2 bumper blocks remain. PC authorization is required.



Though the parking requirements are met for the church, we request the applicant provide an indication of the number of people expected for special events to ensure sufficient parking is provided.

If deemed necessary, banked parking in accordance with Section 14.02.05 may be an appropriate option.

- 6. Landscaping.** The revised landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 14 canopy trees	50' width 9 canopy trees Existing trees	Applicant requests that PC allow existing trees to remain in lieu of 5 new plantings. Based on review of aerial photos, there are more than 5 existing trees being preserved.
Parking lot	4 canopy trees 380 SF landscaped area	4 canopy trees 0 SF landscaped area	Applicant requests that PC allow proposed layout w/out landscape islands

The plan also includes 36 evergreen trees, 6 ornamental trees, 107 shrubs, and 15 perennials planted around the building.

- 7. Waste Receptacle.** In lieu of a dedicated waste receptacle/enclosure, the applicant indicates that refuse removal will be done via typical residential curbside pickup.
- 8. Exterior Lighting.** The revised lighting plan identifies 11 driveway/parking lot light poles, 9 decorative/pedestrian bollards, and 9 wall mounted fixtures.

Details note the use of LED fixtures, and a maximum mounting height of 20 feet (both of which comply with current standards).

The photometric readings are well within the intensity allowed on-site and along property lines.

- 9. Signs.** The site plan identifies a new monument sign on the north side of the proposed driveway. The required setback is provided, and a rendering of the sign is included; however, size and material details are not included.

A note has also been added referencing the requirement for a Township sign permit prior to installation.

- 10. Accessory Structures.** The plan also includes several outdoor accessory components – a mural wall/altar (formerly described as a Grotto), Stations of the Cross, and statue.

Details include a masonry mural wall, a 5-foot wide limestone pathway and 14 wood structures with paintings for the Stations of the Cross, and a statue near a large mature tree north in the front yard.

- 11. Impact Assessment.** The submittal includes a revised Impact Assessment dated February 16, 2021.

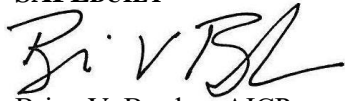
In summary, the Assessment notes that the proposed project is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

The revised submittal also includes a letter outlining “General Operations,” as requested by the Commission at the previous meeting.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is fluid and cursive, with the first letter of each name being capitalized and prominent.

Brian V. Borden, AICP  
Michigan Planning Manager



March 2, 2021

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Catholic Healthcare International  
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Catholic Healthcare International site plan last dated February 16, 2021. The plans and impact assessment were submitted by Boss Engineering on behalf of Catholic Healthcare International. The site is on a 40-acre parcel located on the southwest side of Chilson Road, approximately 1,500 feet south of Crooked Lake Road. The petitioner is proposing a 6,090 square foot church in the southeast corner of the property. The Petitioner is proposing parking lot, access drive, storm drainage, and well and septic improvements.

After reviewing the site and impact assessment we offer the following:

#### **GENERAL NOTES**

1. The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.
2. Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

#### **SITE PLAN**

1. The Petitioner added concrete curb and gutter around the proposed drive and parking area as requested. The additional curb and gutter will help control storm drainage and ensure vehicles park within the parking limits.

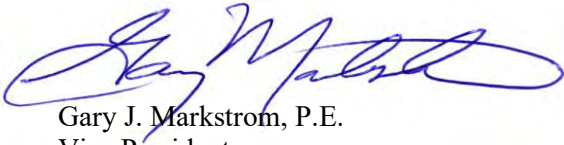
#### **DRAINAGE AND GRADING**

1. The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements. The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

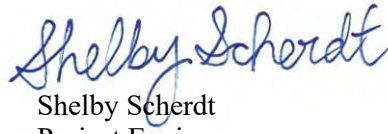
**Ms. Kelly Van Marter**  
**Re: Catholic Healthcare International**  
**Site Plan Review No. 3**  
**March 2, 2021**  
**Page 2**

We recommend the petitioner address the remaining comments above to the satisfaction of the Township. Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.  
Vice President



Shelby Scherdt  
Project Engineer



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

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February 18, 2021

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Catholic Healthcare International Church  
3280 Chilson Rd.  
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on February 17, 2021 and the drawings are dated December 18, 2020 with latest revisions dated February 16, 2021. The project is for a new Catholic Church on Chilson Rd. The building is proposed to be 6,084 square foot assembly occupancy. The building is provided with a single access drive from Chilson Rd. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All previous comments have been addressed including rearrangement of the entrance drive for emergency vehicle access.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS  
Fire Marshal

cc: Amy Ruthig [amy@genoa.org](mailto:amy@genoa.org)

## Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575  
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628  
Internet Address: [www.livingstonroads.org](http://www.livingstonroads.org)

January 22, 2021

Scott Tousignant, P.E.  
Boss Engineering  
3121 E. Grand River Ave  
Howell, MI 48843

Re: Catholic Healthcare International, Genoa Township, Section 20  
LCRC# C-20-11

Dear Mr. Tousignant:

I have completed the review of the plans for a commercial driveway approach off Chilson Road for a church, dated January 20, 2021, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

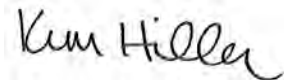
Before a commercial approach permit can be issued, the following items need to be completed.

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability."
2. It will be stated on the permit that any future additions or changes in use of the site may require improvements to the approach and/or Chilson Road to accommodate the increase in traffic.

Commercial approach permits are valid for a six (6) month period. Please contact me when you are ready for the permit to be issued and allow for a minimum of two (2) business days for preparing the permit for signatures.

If you have any questions, please feel free to contact me.

Sincerely,



Kim Hiller, P.E.  
Utilities and Permits Engineer

Cc: File

Amy Ruthig, Genoa Township (via email)  
Ken Recker, Livingston County Drain Commissioner's Office (via email)

**IMPACT ASSESSMENT  
FOR  
SITE PLAN PETITION  
"CATHOLIC HEALTHCARE INTERNATIONAL"  
GENOA TOWNSHIP, LIVINGSTON COUNTY  
MICHIGAN**

Prepared for:

**CATHOLIC HEALTHCARE INTERNATIONAL  
2464 TAYLOR ROAD, SUITE 317  
WILDWOOD, MISSOURI 63040  
(636) 220-6550**

Prepared by:

**BOSS ENGINEERING COMPANY  
3121 E. GRAND RIVER  
HOWELL, MI 48843  
(517) 546-4836**

December 18<sup>th</sup> , 2020  
Revised: January 20<sup>th</sup> , 2021  
Revised: February 16<sup>th</sup> , 2021

**20-477 EIA**

## INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

## DISCUSSION ITEMS

### **A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.**

Prepared By :  
Scott Tousignant, P.E. & Paul Grisdela, EIT  
BOSS ENGINEERING COMPANY  
Civil Engineers, Land Surveyors, Landscape Architects and Planners  
3121 E. Grand River  
Howell, MI 48843  
(517) 546-4836

Prepared For :  
Catholic Healthcare International  
Jere Palazzolo  
2464 Taylor Road, Suite 317  
Wildwood, MO 63040  
(636) 220-6550

### **B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.**

The 40.01-acre site is located on the west side of Chilson Road, just south of Crooked Lake Road. The subject property is currently empty of any buildings or structures. The western and northern portion of the property is wooded with meadow in the southeast & central portion of the site. There are wetlands along the western edge of the property. There are residential properties and farmland bordering the north and south property lines, as well as a railroad just off the western property line. The site is within the Country Estate zoning area.

### **C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.**



Resources utilized to study the natural features of the site included an on-site visit, aerial photos from Google Earth, a web soil survey prepared by the USDA, Wetlands Inventory Maps prepared by the MDEGLE as well as resources prepared by the Huron River Watershed Council and other Livingston County Natural resources agencies.

The eastern half of the site primarily slopes to a low point on the southeastern corner of the property. The western half of the site sheet flows to the wooded areas and wetland areas in the rear of the site. The soils on site consist of loam, loamy sands, sandy loams, and complex soils.

The Livingston County Drain Commissioner's "Procedures and Design Criteria for Stormwater Management Systems and Soil Erosion Sedimentation Control Program" was followed throughout the design process. The reading states preservation of the natural environment and use of vegetated swales as the first and third most preferred best management practices, respectively. Thus, careful consideration was taken to ensure a site with minimal earth disturbance and drainage patterns that followed the pre-developed site. As a result, only three tagged trees will need to be removed on the site. Bioswales will be implemented on site to provide a natural filtration method of any additional runoff. The bioswales are located at a current low spot as well as on the downslope prior to the wetland on site. These locations allow the site to maintain its current drainage pattern.

**D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.**

The site will utilize two bioswales to control stormwater runoff. Curb and gutter is being utilized around the parking lots and drives to direct stormwater to its proper location. Trench drains are being utilized to get the stormwater to the opposite side of the sidewalk behind the curb. The benefit of utilizing the trench drain in this situation is that it maximizes the amount of stormwater contact with the swales and vegetation thereby increasing infiltration and treatment potential prior to entering into the bioswale areas. Additionally, proper sedimentation control devices such as tracking mats, silt fence, and seeding with mulch will be utilized during construction to control erosion and sedimentation. Additional topsoil will be stored next to the proposed chapel. Given the small building footprint and amount of proposed impervious area compared to the overall site area, there will be minimal impact on the storm runoff. In addition to sedimentation control devices being used, there will also be weekly inspections from a certified stormwater operator to ensure it is properly maintained and functioning throughout construction.

**E. Impact on surrounding land use: Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.**

The site will see an increase in use regardless of the facility, due to it being a vacant site. Services at this chapel are expected to occur at a minimum of once a month, but primarily weekly. The Mass frequency will increase based on the demand. The proposed chapel is also set back approximately 620 feet off Chilson Road. There is currently a line of trees along the southern property. This will help to reduce any disturbances to the home adjacent to the southern property

line. In addition to these existing trees, an entire double-staggered row of evergreen trees is being proposed along the south property line near the chapel and near the front parking lot in order to ensure an adequate buffer is obtained along the entire property line. Although the chapel anticipates some services after dusk which will require lighting, the lighting will be off as often as possible to reduce and minimize any light pollution from this site. Refer to the lighting plan in the Site Plan package for proposed photometrics. Additional information on the site uses and times is included in an Operations document separate this Environmental Impact Assessment.

The chapel contains an operational bell tower. The bell is proposed to be automated with the ability for manual ringing. Manual ringing will occur for Mass and other special events. Automated ringing is proposed on the Angelus hours of Noon and 6:00 P.M. Additional information on the Chapel bell use is included in the Operations document.

In addition to the proposed use being a Chapel, there are a few more elements to this site that include: The Mural Wall, Stations of the Cross, and Magnificent Tree of Padre Pio. The Mural Wall includes an Altar in front and is located within the looped drive on site. This will serve as an area for visitors to reflect and meditate and for special functions to be held outside. Occasional outdoor Mass will be held at this Mural Wall and altar. The Magnificent Tree of Padre Pio is a large tree located on the site that will be featured with a Statue of Padre Pio sitting underneath it. Part of Padre Pio's story involves a tree so the purpose is to utilize the site's natural environment and features to show Padre Pio's story. There is also a Stations of the Cross Trail between the two proposed parking lots. The purpose of this is for visitors to park in the first parking lot and walk the Stations of the Cross Trail on the way towards the Chapel. An existing large stand of trees is being used as the setting for the Stations of the Cross trail. Along the trail will be wood posts with housing with pictures depicting the route Jesus took to the Cross. This setting offers a natural environment for meditation and reflection for visitors.

**F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.**

The proposed chapel contains seating for 80 visitors, with an additional 15 seats provided in an adoration Chapel room. Public schools will not be impacted by the chapel. The impact on police protection will be negligible. The Brighton Area Fire Authority's needs are being accommodated in the road layout of the site, allowing for adequate access to the building. It is important to note this facility will have periodic visitors throughout the day with occasional field trips and chapel services periodically.

**G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post-development flows shall be provided in equivalents to a single-family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.**

There will be no public water or sanitary sewer facilities on this site. A Well and septic system will be used for the chapel. There are no public water or sanitary sewer facilities within the area. Using the Livingston County Environmental Health Well & Septic Records, it may be seen that surrounding properties also contain septic systems. Soil characteristics obtained from the USDA Web Soil Survey show promising soil types for installation of a septic tank. Livingston County

Health Department standards were followed in the sizing and isolation distance of the septic tank and well.

**H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.**

There will be no hazardous materials used or disposed of on this site.

**I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.**

The Institute of Transportation Engineers Trip Generation Manual 10<sup>th</sup> Edition Volume 2 Part 2 was used to calculate the number of trips generated by the proposed chapel. The scenario on sheet 187 using gross floor area and the peak hour on a Sunday produced 56 trips. The traffic counts section on Livingston County Road Commission's website was used to analyze Chilson Road annual average daily traffic. The most recent data shows Chilson Road has an AADT of 2,500 between E Coon Lake Road and Beck Road. Chilson Road did experience an annual growth of -26% in 2014 due to the I-96 ramp on Latson Road being constructed. Chilson Road had an AADT of 4,505 prior to the construction of the ramp. The increased traffic caused by the proposed chapel will have little overall impact, and Chilson Road has been shown to handle much larger AADT volumes in the past. It is important to note that the anticipated mass times for this site generally do not line up with peak hour traffic times.

**J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.**

A traffic study is not required for this site.

**K. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.**

N/A

**L. A list of all sources shall be provided.**

Genoa Township's *Submittal Requirements For Impact Assessment*

Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

# Catholic Healthcare International

## General Operations

3280 Chilson Road, Howell, MI 48116

The purpose of this document is to provide guidance as to the operations of the Chapel, site features and miscellaneous Chapel/site components. Given the preliminary nature of this site, it is difficult to determine exact times and person counts for Masses and other events. Site awareness and public interest & use will help determine the extent of Chapel/site use and Mass times.

### Chapel

During typical weekdays and weekends (not during events or scheduled Mass) the Chapel will be unlocked and available from dawn to dusk.

The vision for regularly scheduled Mass times can be broken down into three parts: The immediate future, short term, long term/max use.

**Immediate Future:** Shortly after site construction and through the first year or so, the intent is to hold a Mass 1 day per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M., avoiding peak traffic hours when possible.

**Short Term:** After the site has been open and has gained traction/awareness, the intent is to hold a Mass 3 days per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M.

**Long Term/Maximum Use:** The hope is that the site provides opportunities for enough people that additional Mass times would need to be scheduled. The maximum frequency of scheduled Mass in the long-term is 7 days per week. The Mass is anticipated to be held between the hours of 7:00 A.M. and 6:00 P.M.

It is anticipated that when there is a lower frequency of Mass' being held, attendance would be near or approaching the capacity of the Chapel (50-80 persons). When additional Masses are held, the person count in each Mass is anticipated to lower.

In the Long-Term Vision with additional Masses being held, a full-time Priest/resident will be on the site. A residence would need to be constructed. Appropriate approvals and permits will be sought at that time.

### Chapel Bell

- The Chapel Bell is intended to ring daily following the Angelus hours, 12-noon and 6:00 P.M.
- The Chapel Bell will ring 3 times for each of these hours.
- The Chapel Bell will be operated manually at scheduled Mass times and/or special events on the site. In the event of a morning Mass before 9 am, the Chapel bell will not be used. The bell shall not be used manually between 9:00 P.M. and 9:00 A.M.

## Security

The property will not have a full-time keeper on-site at this time. Security cameras will be located on the exterior of the Chapel and be accessible remotely for Catholic Healthcare International staff to view. An emergency contact name and number is provided below:

Site Contact: \_\_\_\_\_ Ann O'Reilly \_\_\_\_\_ Phone: \_\_\_\_\_ (517) 282-5924 \_\_\_\_\_

- In the event that the Mass frequency increases, a full-time Priest may be designated for this property, thus requiring a residence on the site and a new full-time site contact.
- The Chapel will be open to the public on weekdays and weekends from Dawn to Dusk.
- The outdoor site features (Stations of the Cross, Mural Wall, St. Padre Pio Statue, trails) will be open to the public on weekdays and weekends from dawn to dusk.

## Events

At this time, there are two special events planned for the site and are listed below:

Both of these events will be outdoor Masses and receptions.

- 1) **Event:** St. Padre Pio Birthday Mass & Reception  
**Date:** May 25, 2021 **Time:** Noon until dark
- 2) **Event:** St. Padre Pio Feast Day Mass & Reception  
**Date:** September 23, 2021 **Time:** Noon until dark

The number of anticipated attendees is not known. Approaching each event, interest levels will be gauged. Should excessive interest in an event warrant, staged/multiple receptions may occur to accommodate these additional people. It would be anticipated that on special event days, people will be shuttled into the site as necessary once parking accommodations on-site are full.

Events may be held on weekdays and/or weekends.

## Lighting

On-site lighting is anticipated to be used as minimally as possible. In the event a Mass is held after dusk, site lighting will be utilized for safety. The only site lighting at this time is for the monument sign along Chilson Road, mural wall lighting, parking lot/driveway lighting poles, and building mounted lighting. Site lighting is provided as per Township requirements.

During typical site use (non-Mass/special event hours), lighting will be used 30 minutes before sunrise and 1 hour after dusk.

Unless Mass or special events are being held, lighting is to be off 1- hour after dusk.

Minimal exterior Chapel wall-mounted lighting may be used at additional hours for security purposes. All site lighting levels are to meet Township Ordinance requirements.



Catholic Healthcare International (CHI) is pleased to clearly state the vision of the Chilson Rd. Prayer Campus, how it fits into the overall mission, and to clear up the understandable confusion surrounding the project.

While a hospital, medical school, and clinics are still part of the overall mission of CHI, it is NOT our intention - nor would it be physically possible - to build these facilities on the Chilson Rd. campus. Conscious of - and respectful of - the local residents, the Chilson Rd. campus will be ONLY dedicated to prayer as a peaceful and pastoral site of pilgrimage. The prayers from this Chilson Rd. site will support the mission of CHI as it develops in other areas around the country as a beacon of light in healthcare delivery.

Each phase of the mission will be implemented as partners and collaborators come together.

- The Chilson Road prayer campus property was donated to CHI by the Diocese of Lansing. This land was originally intended to build a parish and school. Now, CHI will preserve the natural beauty of this land to provide a peaceful spiritual center. The prayers of the faithful from this tranquil setting will drive the entire CHI vision.
- The Terri Schiavo Home for the Brain Injured unit will be housed in a world-class hospital, funded by donations, to care for the most vulnerable who are suffering from brain injury. **The Home for the Brain Injured WILL NOT be on the Chilson Rd. Prayer Campus.**
- The Home for the Relief of Suffering Hospital will replicate St. Pio's hospital in Italy, the "Casa Sollievo della Sofferenza." **This hospital WILL NOT be on the Chilson Rd. Prayer Campus.**
- The School for the Relief of Suffering Medical School will be a faithfully Catholic medical school. **The Medical School WILL NOT be located on the Chilson Rd. Prayer Campus.**
- Other medical clinics and a foundation for public policy are both long-term goals. **The clinics and foundation WILL NOT be located on the Chilson Rd. Prayer Campus.**

The mission of CHI is huge, but as the doctor who helped St. Padre Pio open the Italian hospital said, "[it] would make us tremble with awe, if it was not inspired by God who is, above all, love!"

*Jere Palazzolo*

President  
Catholic Healthcare International  
Info@CHI-USA.com

**PROPERTY DESCRIPTION:**

**40 Acres Description:**

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, T2N-R5E, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Center of said Section 20, said Point lying S 00 degrees 04'22" W along the North-South 1/4 line of said Section, 2616.14 feet; thence N 89 degrees 16'18" E, 623.77 feet to the centerline of Chilson Road; thence N 25 degrees 37'28" W along said centerline, 511.68 feet; thence continuing along said centerline, N 25 degrees 35'58" W, 409.12 feet to the Point of Beginning of the Parcel to be described; thence S 64 degrees 49'10" W, 551.00 feet; thence S 52 degrees 45'14" W, 1157.74 feet to the Easterly Line of the Ann Arbor Railroad; thence N 25 degrees 10'14" W along said line, 1566.05 feet; thence N 89 degrees 04'43" E, 1874.35 feet to said centerline; thence S 25 degrees 35'58" E along said centerline, 553.96 feet to the Point of Beginning, containing 40.01 acres more or less and subject to the rights of the Public over existing Chilson Road. Description subject to a stake Survey in the field.

Prepared By: Mathew A. Brady P.S. P.O. Box 400 Brighton, Michigan 48116

# SITE PLAN FOR CATHOLIC HEALTHCARE INTERNATIONAL PART OF NE, NW, & SW 1/4, SECTION 20 GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

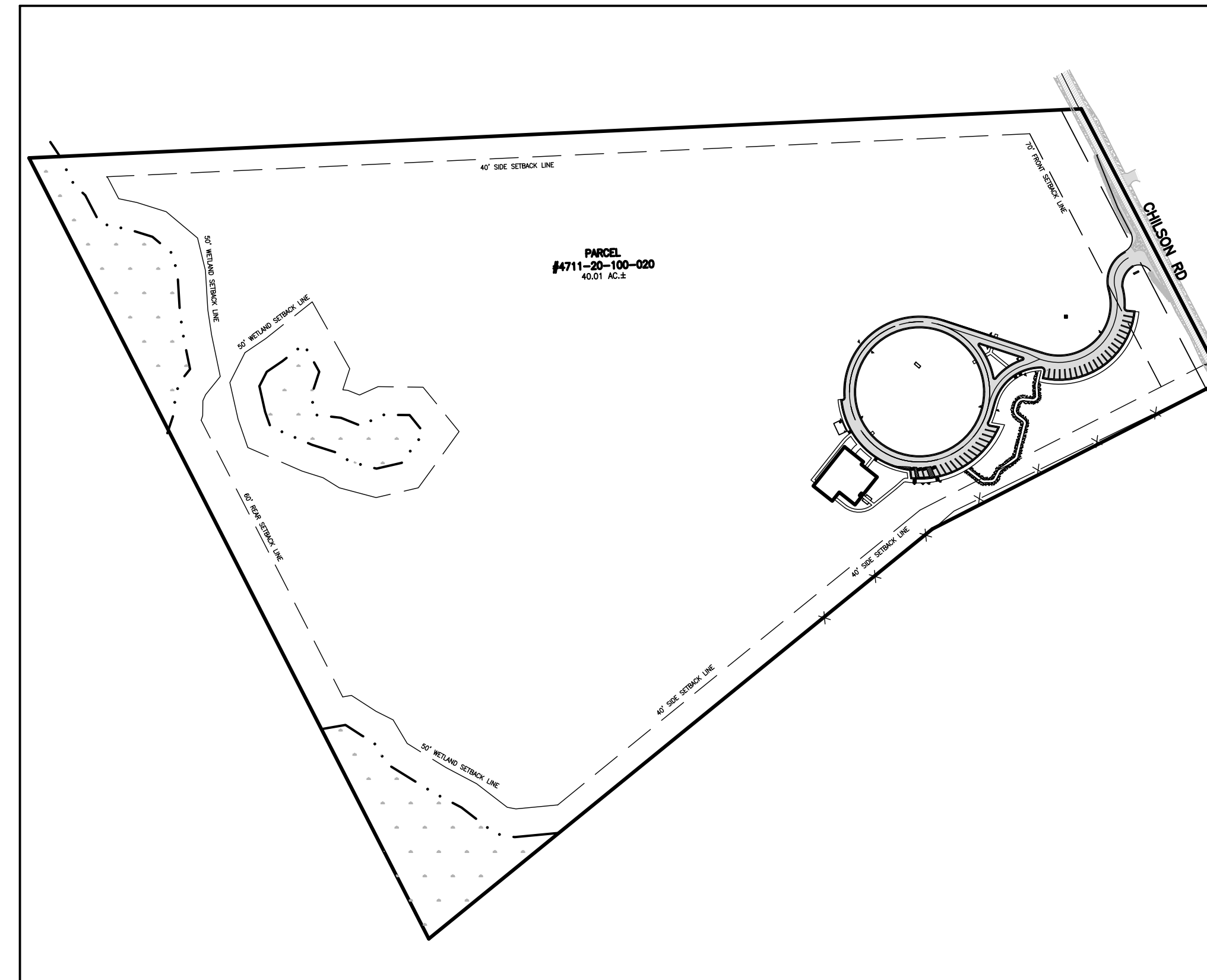


**LOCATION MAP**

NO SCALE

**CONSTRUCTION NOTES**

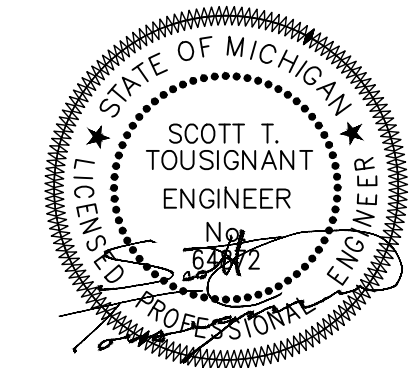
- THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
1. THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
  2. DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  3. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
  4. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
  5. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
  6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
  7. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
  8. ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
  9. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  10. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
  11. THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
  12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
  13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  14. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  15. THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  16. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
  17. ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
  18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
  19. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
  20. DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
  21. IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
  22. NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
  23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
  24. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
  25. ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
  26. TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
  27. ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
  28. AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
  29. ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
  30. NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
  31. ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
  32. SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
  33. ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



**OVERALL SITE MAP**

NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	NATURAL FEATURES PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE PLAN
5	GRADING & SOIL EROSION CONTROL PLAN
6	DRAINAGE PLAN & BIOSWALE CALCULATIONS
7	LANDSCAPE PLAN
8	FIRE CISTERN DETAILS
DRAWINGS BY OTHERS	
1	GASSER BUSH ASSOCIATES – LIGHTING PHOTOMETRIC PLAN
DRAWINGS BY OTHERS	
1	SWANSON DESIGN STUDIOS – ARCHITECTURAL
2	CHAPEL/OFFICE PLAN
3	FRONT EXTERIOR ELEVATIONS
A1	BACK EXTERIOR ELEVATIONS
	MURAL WALL DETAIL PLAN



**INDEMNIFICATION STATEMENT**

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

ARCHITECT	CONTRACTOR	ON-SITE PROJECT SUPERVISOR
SWANSON DESIGN STUDIOS	TO BE DETERMINED	TO BE DETERMINED
329 EAST GRAND RIVER AVE		
LANSING, MI 48906		
CONTACT: MARY SWANSON		
PHONE: 517-482-9039		
EMAIL: MSWANSON@SWANSONDESIGN.COM		

**PREPARED FOR:**

CATHOLIC HEALTHCARE INTERNATIONAL  
2464 TAYLOR ROAD SUITE 317  
WILDWOOD, MO 63040  
CONTACT: JERE PALAZZOLO  
PHONE: 636-220-6550

**PREPARED BY:**

**BEBOSS**  
*Engineering*  
Engineers Surveyors Planners Landscape Architects  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670

FOR SITE PLAN APPROVAL ONLY!  
NOT FOR CONSTRUCTION

3	ST	PER TWP REVIEW	03/25/21	<b>1</b>	
2	ST	PER TWP REVIEW	02/16/21		
1	ST	PER TWP REVIEW	01/20/21		
NO	BY	CK	REVISION	DATE	JOB NO: 20-477

**NATURAL FEATURES NARRATIVE:**

SEVERAL NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON AUGUST 23, 2019 THAT INCLUDE WETLANDS AND A VARIETY OF WOODLAND STANDS. BELOW IS A BRIEF DESCRIPTION OF EACH NATURAL FEATURE, LABELED AS ZONES 'A'-'E'. ALTHOUGH THE TOTAL SITE IS MEASURED AT 46.88 ACRES, THE ZONES DESCRIBED BELOW ARE APPROXIMATELY 41.11 ACRES WHEN ADDED TOGETHER. NOTE THAT EACH ZONE IS MEASURED TO AN APPROXIMATE SIZE AND THAT ZONES ARE SEPARATED BY A PATH THAT IS ROUGHLY 12' WIDE AND IS NOT ACCOUNTED FOR IN THE CALCULATIONS.

**WETLAND "A"**

AN ESTIMATED 1.24 ACRE "FRESHWATER EMERGENT WETLAND" AS DESCRIBED BY THE NATIONAL WETLANDS INVENTORY, CONTIGUES OFF-SITE AND IS PART OF A MUCH LARGER WETLAND WHICH QUALIFIES IT AS A REGULATED WETLAND. THE DOMINANT PLANT SPECIES ARE RED OSIER DOGWOOD, GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS. THIS WETLAND BORDERS THE RAILROAD CORRIDOR AT THE WEST PROPERTY LINE. A DRAINAGE CHANNEL RUNS PARALLEL TO THE RAILROAD TRACKS AND WETLAND 'A' IS A COLLECTOR BASIN OF THE DRAINAGE CHANNEL.

**WETLAND "B"**

AN ESTIMATED 1.05 ACRE "FRESHWATER EMERGENT WETLAND" THAT IS COMPOSED OF COMPOSED OF HYDRIC CARLISLE MUCK SOILS. THIS WETLAND ALSO CONTIGUES OFF SITE TO THE NORTH AND IS A REGULATED WETLAND AS IT HAS A HYDRIC CONNECTION TO WETLAND A VIA DRAINAGE DITCH. THE DOMINANT PLANT SPECIES ARE GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS.

**WETLAND "C"**

AN ESTIMATED 0.99 ACRE "LOWLAND HARDWOOD" WETLAND, ACCORDING TO THE EGLE WETLAND MAP VIEWER. THIS WETLAND IS DOMINATED BY REED CANARY GRASS WITH A FEW BUTTON BUSH SHRUBS SCATTERED THROUGHOUT.

**ZONE "A"**

ZONE "A" IS A STAND OF HEALTHY AND MATURE WHITE PINE TREES THAT AVERAGE APPROXIMATELY 20' AT DIAMETER BREAST HEIGHT IN SIZE. THE TREES ARE PLANTED ON AVERAGE 10-15' APART FROM ONE ANOTHER.

**ZONE "B"**

ZONE "B" IS APPROXIMATELY 8.4 ACRES IN SIZE AND IS MOSTLY OPEN SPACE AND MANAGED LAWN AREAS WITH MINIMAL SLOPES. THE SOILS CONSIST MOSTLY OF BOYER OSHTEMO SANDY LOAMS. THERE ARE FEW TREES IN THIS ZONE, THOUGH A MURAL WALL OF MATURE AND MOSTLY HEALTHY BOX ELDER TREES IS LOCATED IN THE CENTER OF THE SITE THAT WILL BE PROTECTED.

**ZONE "C"**

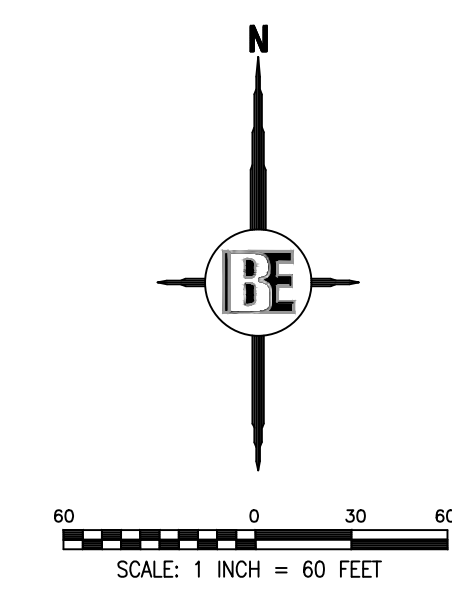
ZONE "C" IS APPROXIMATELY 9.7 ACRES IN SIZE. THE TREES CONSIST OF MATURE RED OAK, BLACK CHERRY, BLACK WALNUT, AND SHAGBARK HICKORY RANGING FROM 10-20' AT DIAMETER BREAST HEIGHT. THE UNDERSTORY IS RELATIVELY OPEN WITH SOME BLACK RASPBERRY BRAMBLES AND MULTIFLORA ROSES OCCUPYING THE OPEN SPACES. THERE ARE HICKORY AND OAK SAPLINGS SPREAD THROUGHOUT INDICATING A HEALTHY FUTURE FOR SUCCESSION. SOILS ARE WASHTENAW SILT LOAMS AND BOYER OSHTEMO SAND LOAMS WITH MINIMAL SLOPES.

**ZONE "D"**

ZONE "D" IS APPROXIMATELY 2.72 ACRES IN SIZE AND IS WHAT APPEARS TO BE MOUNDED EARTH LIKELY FROM MASS GRADING EFFORTS THAT WERE EXECUTED MANY YEARS AGO. THE AREA IS MOSTLY OPEN SPACE WITH 31 SLOPES LEADING TO THE TOP. PLANT SPECIES INCLUDE GOLDEN ROD, VARIOUS ASTERS, AND SEVERAL EASTERN RED CEDAR TREES. THERE ARE SEVERAL CRABAPPLE TREES PLANTED THROUGHOUT.

**ZONE "E"**

ZONE "E" IS APPROXIMATELY 18 ACRES IN SIZE WITH MATURE BLACK CHEERY, RED OAK, SHAGBARK HICKORY RANGING FROM 12-20' AT DIAMETER BREAST HEIGHT. THERE ARE SEVERAL LANDMARK TREES THAT INCLUDE RED OAK AND BLACK CHERRY. THE UNDERSTORY INCLUDES BRAMBLE, POKEWED, HONEYSUCKLE, A FEW HICKORY AND OAK SAPLINGS, AND AN OCCASIONAL CELESTRIS VINE. THERE IS ALSO A STAND OF AMERICAN ELM TREES. THERE IS A GENTLE SLOPE TO THE LAND THAT DRAINS STORMWATER TO THE WEST. IN THE NORTHEAST, THERE APPEARS TO BE REMNANTS OF AN OLD BUILDING FOUNDATION THAT HAS BEEN DEMOLISHED AND SET INTO A PILE OF RUBBLE ATOP A SMALL HILL.

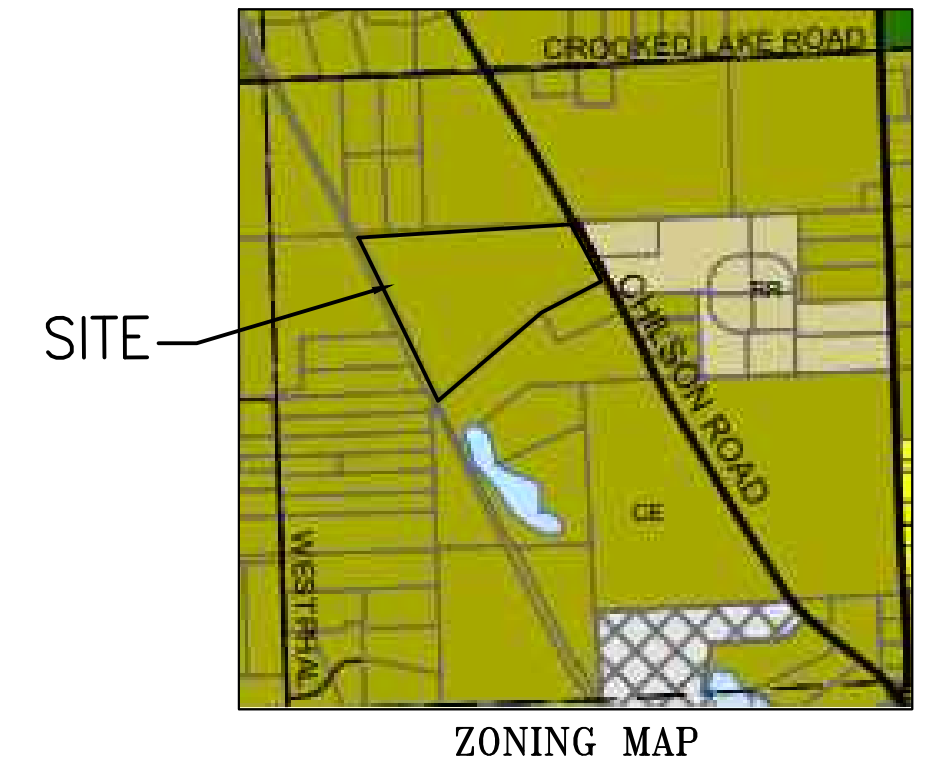


**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
000	+922.08	CONTOUR
T/C		SPOT ELEVATION
FF		FINISHED FLOOR ELEVATION
FG		FINISHED GRADE ELEVATION
T/A		TOP OF ASPHALT
T/C		TOP OF CURB / CONCRETE
T/W		TOP OF WALK
F/L		FLOW LINE
T/P		TOP OF PIPE
B/P		BOTTOM OF PIPE
RM		RM ELEVATION
INV		INVERT ELEVATION
MH		MANHOLE STRUCTURE
IN		INLET STRUCTURE
CB		CATCHBASIN STRUCTURE
RY		REARWARD STRUCTURE
ES		END-SECTION
OV		GATEVALVE STRUCTURE
HY		HYDRANT
UP		UTILITY POLE
SN		SANITARY SEWER
SL		SANITARY LEAD
FM		FORCE MAIN
PS		PRESSURE SEWER
ST		STORM SEWER
WM		WATER MAIN
WL		WATER LEAD
FO		FIBER OPTIC
OH		OVERHEAD WIRE
C		CABLE
E		ELECTRIC
G		GAS
T		TELEPHONE
L		LINE
X		SILT FENCE
W		WETLAND BOUNDARY
G		LIMITS OF GRADING/CLEARING
M		MANHOLE
I		INLET / CATCHBASIN
F		FLARED END-SECTION
G		GATE VALVE
H		HYDRANT
U		UTILITY POLE
S		SIGN
N		NOT FIELD VERIFIED
R		TO BE REMOVED
S		SANITARY SEWER LABEL
SS		STORM SEWER LABEL
W		WATER MAIN LABEL
P		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
C		CONCRETE
A		ASPHALT
M		MODIFIED CURB

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONTACTS WITH THE UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONTACTS WITH THE UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONTACTS WITH THE UTILITIES.

**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670



- GENERAL SURVEY NOTES:**
- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, RECORDED BEARINGS WERE ESTABLISHED FROM LIVINGSTON ENGINEERING SURVEY JOB NO. 19208, AS RECORDED IN 20195-0113, LIVINGSTON COUNTY RECORDS.
  - SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
  - EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
  - ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD88 DATUM)
  - CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
  - THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
  - ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

**SITE BENCHMARKS (NAVD88 DATUM):**  
 -BM #200 = BOSS NAIL/TAG S/S 24" OAK TREE. ELEV.=959.08  
 -BM #201 = BOSS NAIL/TAG S/S P-POLE CENTER OF SITE. ELEV.=958.47

**Map Unit Legend**

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
B4	Boyer-Oshtemo loamy sands, 1 to 2 percent slopes	2.2	8.3%
B8	Boyer-Oshtemo loamy sands, 2 to 8 percent slopes	7.8	24.2%
B9	Boyer-Oshtemo loamy sands, 8 to 12 percent slopes	2.1	5.5%
C1	Carlisle muck, 0 to 2 percent slopes	1.8	3.9%
F1B	Flu-Boyer complex, 2 to 6 percent slopes	3.9	15.9%
F1D	Flu-Boyer complex, 12 to 18 percent slopes	0.9	2.3%
G1	Gilford sandy loam, 0 to 2 percent slopes, gravelly subsoil	2.9	6.2%
M1A	Waubesa loam, 0 to 2 percent slopes	7.0	18.8%
M1B	Waubesa loam, 2 to 6 percent slopes	3.7	9.9%
M1C	Waubesa loam, 6 to 12 percent slopes	0.7	1.8%
W1	Washtenaw silt loam	2.2	6.0%
Totals for Area of Interest		37.3	100.0%

**CATHOLIC HEALTHCARE INTERNATIONAL**  
 PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL  
 2464 TAYLOR ROAD, SUITE 317  
 WILLOWOOD, MO 63090  
 314-922-2136

**NATURAL FEATURES PLAN**

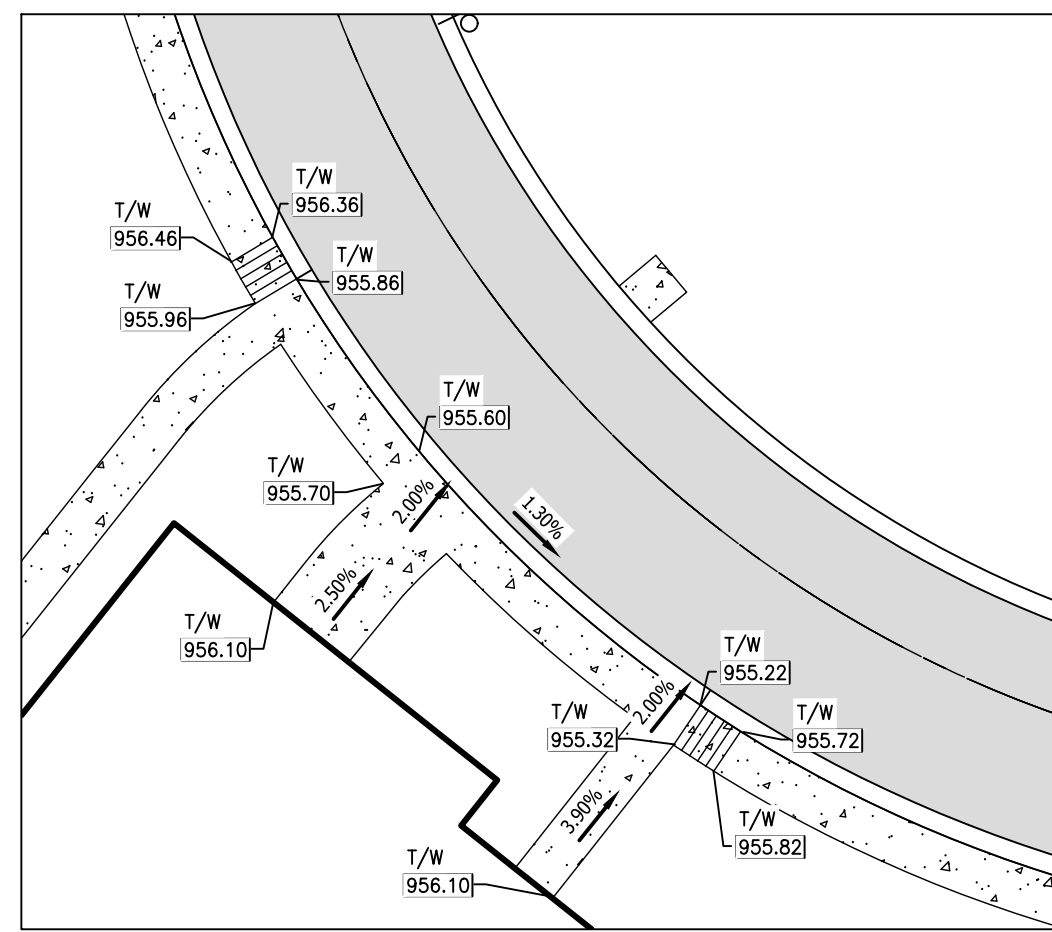
DATE	REVISION	PER	BY
03/25/21		PER TWP REVIEW	JH
02/16/21		PER TWP REVIEW	JH
01/20/21		PER TWP REVIEW	JH
		REVISION PER	NO BY

DESIGNED BY: JH  
 DRAWN BY: JH  
 CHECKED BY:  
 SCALE: 1" = 100'  
 JOB NO: 20-477  
 DATE: 12-18-20  
 SHEET NO. **2**

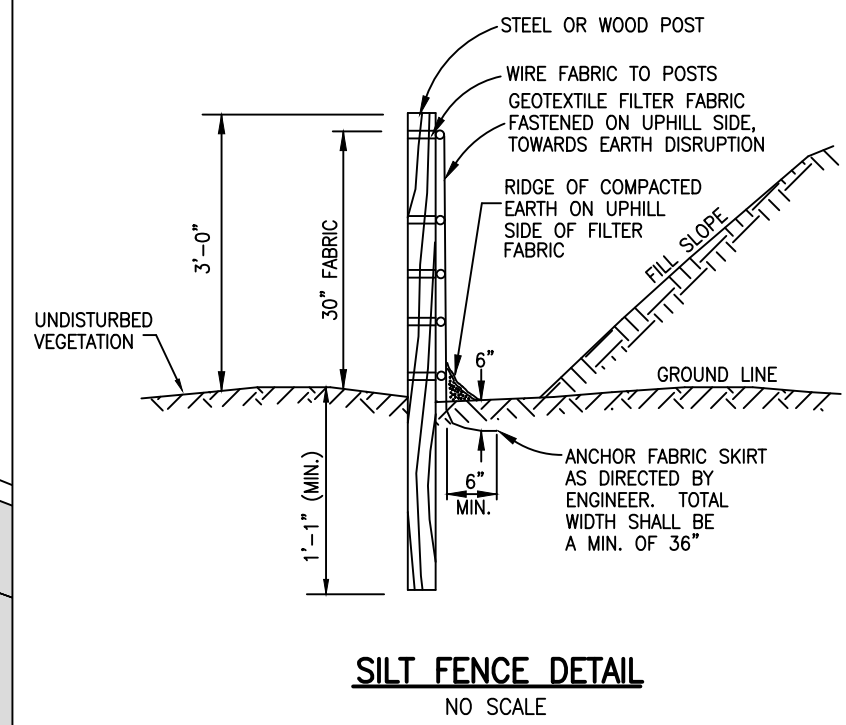




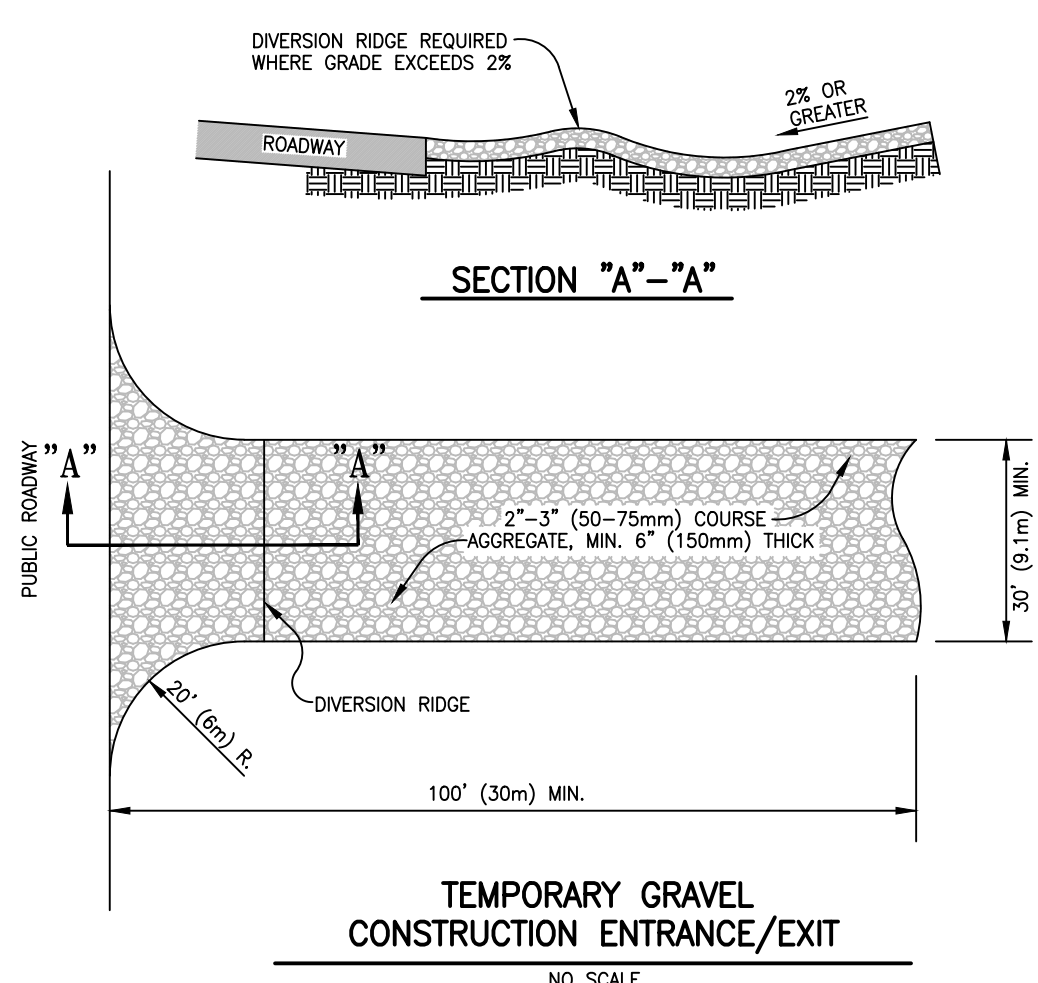




ADA SIDEWALK DETAIL  
1:20 SCALE



SILT FENCE DETAIL  
NO SCALE

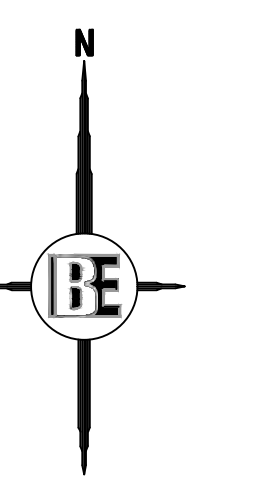


SECTION "A-A"  
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT  
NO SCALE

SOIL EROSION CONTROL MEASURES

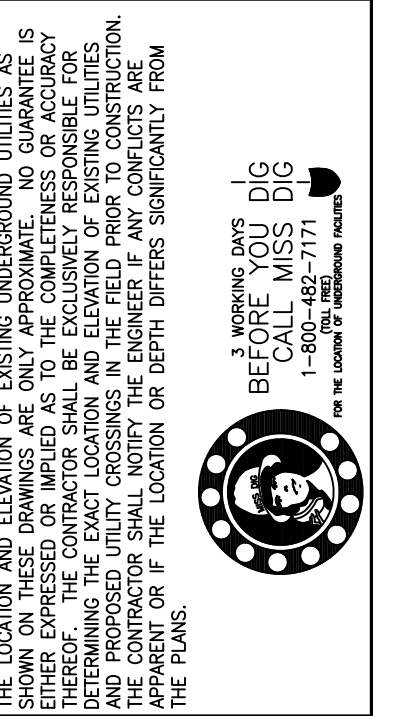
1	STRIPING & STOODLING (PSA)	DISPIL MAY BE STOODLED ABOVE BARRON AREAS TO ACT AS A DIVERSION. STOODLING SHOULD BE TEMPORARY STRIPING.
6	SEEDING WITH MULCH AND/OR MATING	FACILITATES ESTABLISHMENT OF VEGETATION COVER. EFFICIENT FOR BARRONING WITH LOW VELOCITY. EARLY PRACTICE IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL. SHOULD INCLUDE SEEDS, TOPSOIL, ETC.
14	AGGREGATE CURB	STABILIZES SOIL SURFACE, HELPS MINIMIZE EROSION. FORMS CONSTRUCTION TRAFFIC IN HARDER WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
54	ANCHOR FABRIC	USES GEOTEXTILE FABRIC AND POST OR PILES. BEST TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

T= TEMPORARY P= PERMANENT  
TOTAL DISTURBED AREA= 4.26 AC.



LEGEND

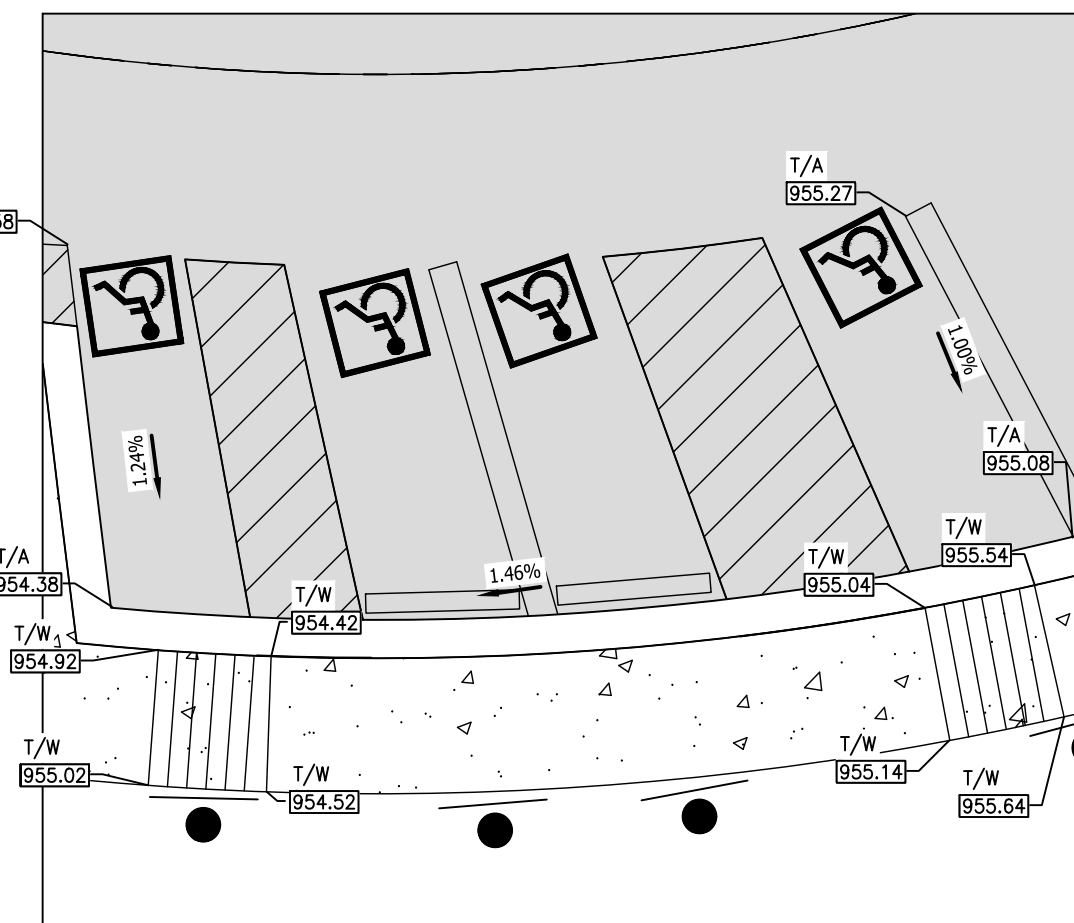
PROPOSED (PR)	EXISTING (EX)	CONTOUR
900	+922.08	CONTOUR
T/C		SPOT ELEVATION
XXXXXX		FINISHED FLOOR ELEVATION
FF		FINISHED GRADE ELEVATION
T/A		TOP OF ASPHALT
T/C		TOP OF CURB / CONCRETE
T/W		TOP OF WALK
F/L		FLOW LINE
T/P		TOP OF PIPE
B/P		BOTTOM OF PIPE
RIM		RIM ELEVATION
INV		INVERT ELEVATION
MH		MANHOLE STRUCTURE
IN		INLET STRUCTURE
CB		CATCHBASIN STRUCTURE
RY		REARYARD STRUCTURE
ES		END-SECTION
OV		GATEVALVE STRUCTURE
HY		HYDRANT
UP		UTILITY POLE
SN		SANITARY SEWER
SL		SANITARY LEAD
FM		FORCE MAIN
PS		PRESSURE SEWER
ST		STORM SEWER
WM		WATER MAIN
WL		WATER LEAD
FO		FIBER OPTIC
OH		OVERHEAD WIRE
C		CABLE
E		ELECTRIC
G		GAS
T		TELEPHONE
F		FENCE
X		SILT FENCE
W		WETLAND BOUNDARY
L		LIMITS OF GRADING/CLEARING
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I		INLET / CATCHBASIN
F		FLARED END-SECTION
G		GATE VALVE
V		HYDRANT
U		UTILITY POLE
N		NOT FIELD VERIFIED
NFV		TO BE REMOVED
S		SANITARY SEWER LABEL
SS		STORM SEWER LABEL
W		WATER MAIN LABEL
SE		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
C		CONCRETE
A		ASPHALT
M		MODIFIED CURB
F		FILL AREA



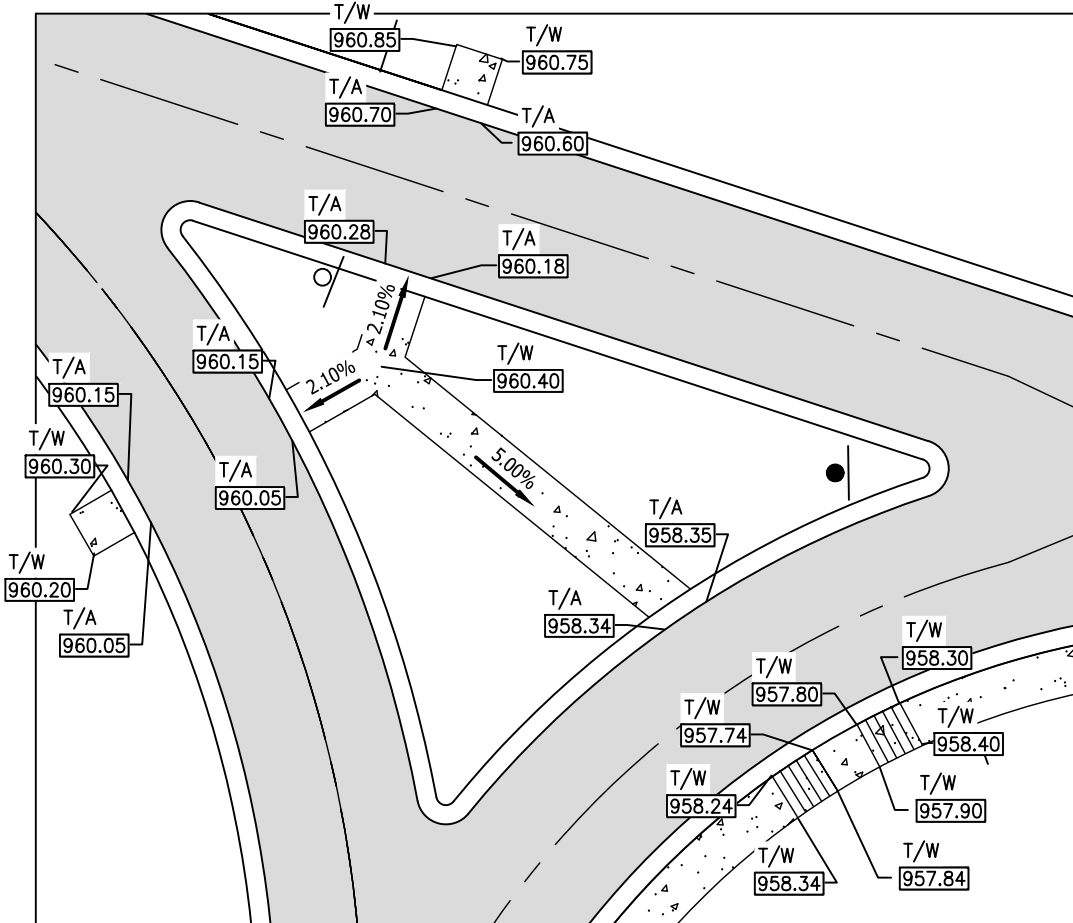
**SURFACE WATER & COUNTY DRAINS**  
**WETLAND** - WETLANDS LOCATED ON SITE AND ON ADJACENT PROPERTIES PER EGLE WETLANDS MAP VIEWER. (APPROX. 825 LF FROM SITE DISTURBANCE)  
**LAKES** - APPROXIMATELY 1.43 MILES SE TO WEST CROOKED LAKE  
**STREAMS** - APPROXIMATELY 900 FT S TO THE STREAM WHICH LEADS TO COUNTY DRAIN NO. 1  
**DRAINS** - APPROXIMATELY 150 FT SW TO LCDC DRAIN NO. 1  
**PONDS** - 350 FT EAST AT 3275 CHILSON RD

**NOTE:**  
SEE SHEET 6 FOR TRENCH DRAIN DETAIL

**SITE BENCHMARKS (NAVD88 DATUM):**  
**-BM #200** = BOSS NAIL/TAG S/S 24" OAK TREE. ELEV.=959.08  
**-BM #201** = BOSS NAIL/TAG S/S P.POLE CENTER OF SITE. ELEV.=958.47



ADA PARKING DETAIL  
1:10 SCALE



ADA SIDEWALK DETAIL  
1:20 SCALE

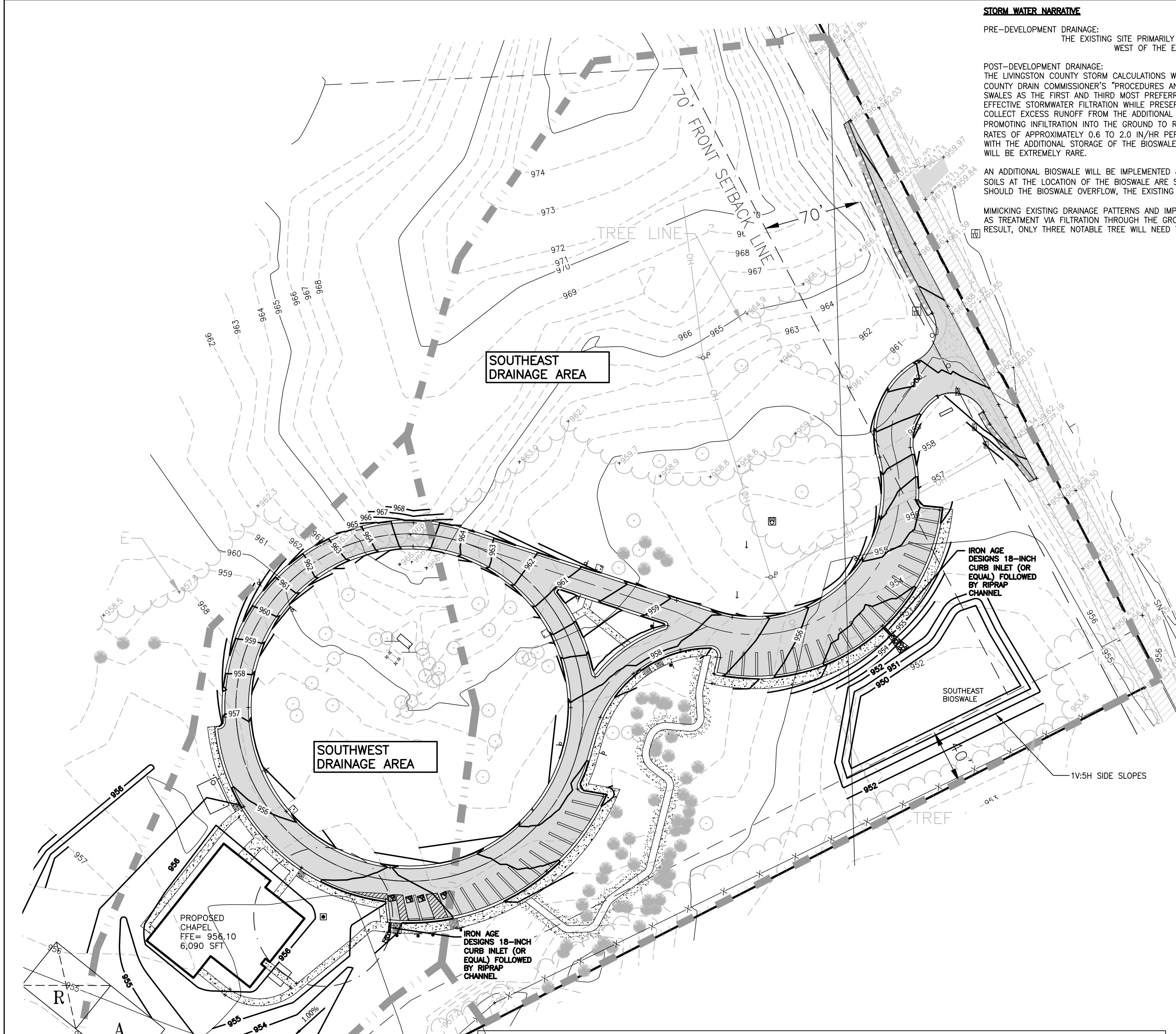
**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

PROJECT: CATHOLIC HEALTHCARE INTERNATIONAL  
 PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL  
 2464 TAYLOR ROAD, SUITE 317  
 WILLOWOOD, MO 63190  
 314-922-2136

TITLE	DATE	REVISION PER
GRADING & SOIL EROSION CONTROL PLAN	01/20/21	NO BY
	02/16/21	2 ST
	03/25/21	3 ST

DESIGNED BY: ST  
 DRAWN BY: PG  
 CHECKED BY:  
 SCALE: 1" = 50'  
 JOB NO: 20-477  
 DATE: 12-18-20  
 SHEET NO. 5





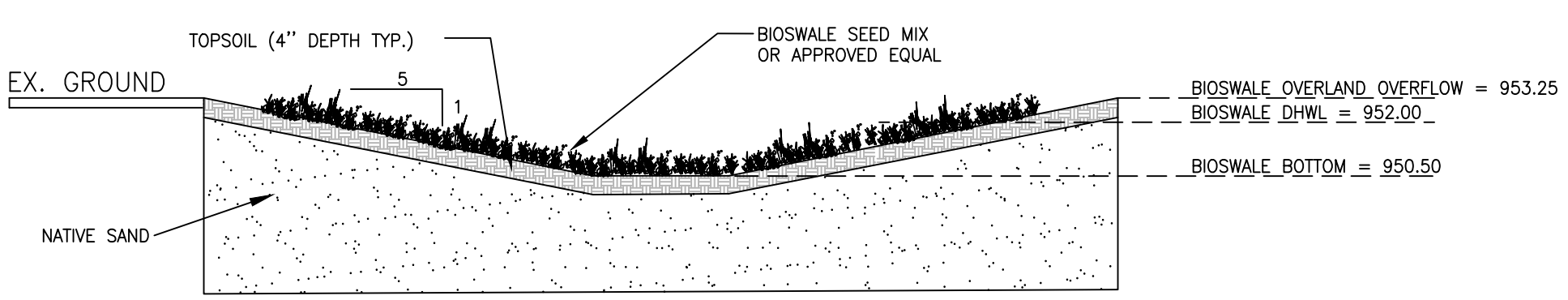
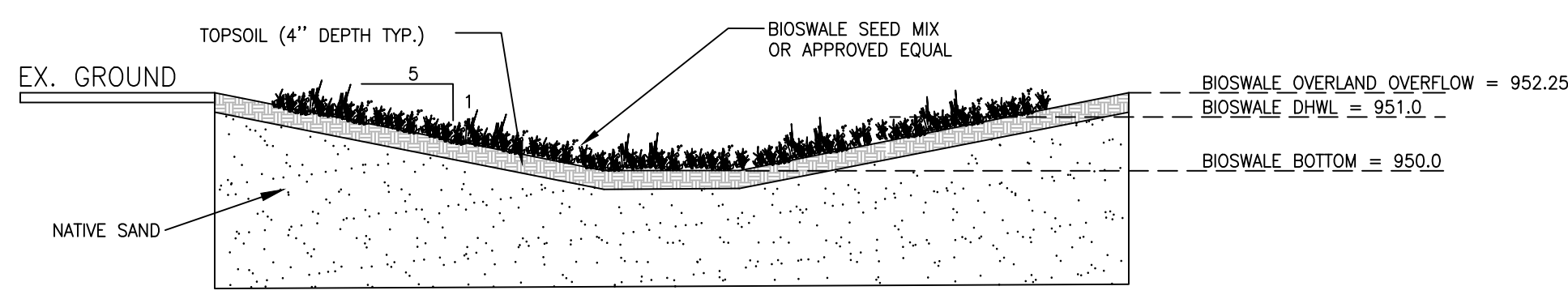
**STORM WATER NARRATIVE**

**PRE-DEVELOPMENT DRAINAGE:**  
THE EXISTING SITE PRIMARILY DRAINS TO A LOW POINT ON THE SOUTHEAST CORNER OF THE SITE ADJACENT TO CHILSON ROAD, APPROXIMATELY 650 FEET WEST OF THE EASTERN PROPERTY LINE THE SITE SHEET FLOWS TOWARDS THE WETLANDS ALONG THE WESTERN PROPERTY LINE.

**POST-DEVELOPMENT DRAINAGE:**  
THE LIVINGSTON COUNTY STORM CALCULATIONS WERE USED TO DETERMINE THE DIFFERENTIAL STORM WATER RUNOFF IN PRE-DEVELOPMENT AND POST-DEVELOPMENT CONDITIONS. LIVINGSTON COUNTY DRAIN COMMISSIONER'S "PROCEDURES AND DESIGN CRITERIA FOR STORMWATER MANAGEMENT SYSTEMS..." STATES PRESERVATION OF THE NATURAL ENVIRONMENT AND USE OF VEGETATED SWALES AS THE FIRST AND THIRD MOST PREFERRED BEST MANAGEMENT PRACTICES, RESPECTIVELY. FOLLOWING THIS IDEOLOGY, TWO BIOSWALES WILL BE UTILIZED ON THE SITE TO PROVIDE EFFECTIVE STORMWATER FILTRATION WHILE PRESERVING THE NATURAL ENVIRONMENT AND DRAINAGE PATTERN. A BIOSWALE WILL BE IMPLEMENTED IN THE EXISTING LOW SPOT ON THE SITE TO COLLECT EXCESS RUNOFF FROM THE ADDITIONAL IMPERVIOUS SURFACE. THE BIOSWALE WILL BE A SHALLOW DEPRESSION IN THE GROUND THAT CAN STORE UP TO 2.0 FEET OF WATER WHILE PROMOTING INFILTRATION INTO THE GROUND TO REDUCE RUNOFF. THE EXISTING SOILS AT THE LOCATION OF THE BIOSWALE ARE SANDY SOILS IN HYDROLOGICAL GROUP 'B' WITH INFILTRATION RATES OF APPROXIMATELY 0.6 TO 2.0 IN/HR PER THE NRCS WEB SOIL SURVEY. IN THE UNLIKELY EVENT THAT THE BIOSWALE OVERFLOWS, EXISTING OVERFLOW PATTERNS WILL BE FOLLOWED. WITH THE ADDITIONAL STORAGE OF THE BIOSWALE SUPPORTING OVER TWO TIMES THE AMOUNT OF INCREASED RUNOFF WHEN INCLUDING FREEBOARD, ANY EVENT RESULTING IN AN OVERFLOW WILL BE EXTREMELY RARE.

AN ADDITIONAL BIOSWALE WILL BE IMPLEMENTED JUST SOUTHWEST OF THE PROPOSED CHAPEL TO CONTAIN THE RUNOFF FROM THE DRIVE, PROPOSED CHAPEL, AND THE SIDEWALK. THE EXISTING SOILS AT THE LOCATION OF THE BIOSWALE ARE SANDY SOILS IN HYDROLOGICAL GROUP 'B' WITH INFILTRATION RATES OF APPROXIMATELY 0.6 TO 2.0 IN/HR PER THE NRCS WEB SOIL SURVEY. SHOULD THE BIOSWALE OVERFLOW, THE EXISTING OVERFLOW ROUTE WILL BE FOLLOWED. CURRENTLY, EXISTING RUNOFF FLOWS WESTERLY TOWARD THE WOODED AREAS.

MIMICKING EXISTING DRAINAGE PATTERNS AND IMPLEMENTING A BIOSWALE ARE BOTH STORM WATER BMP'S. THE BIOSWALE WILL PROVIDE TREATMENT VIA THE VEGETATION ABOVE GROUND AS WELL AS TREATMENT VIA FILTRATION THROUGH THE GROUND. THE SITE WAS DESIGNED TO PRESERVE THE NATURAL ENVIRONMENT AS BEST AS POSSIBLE, WHICH IS THE MOST PREFERRED BMP. AS A RESULT, ONLY THREE NOTABLE TREE WILL NEED TO BE REMOVED.



DRAINAGE AREA	STAGE	AREA (AC)	COMPOUND C
SOUTHEAST	PRE-DEVELOPMENT	5.45	0.22
	POST-DEVELOPMENT	5.45	0.31
SOUTHWEST	PRE-DEVELOPMENT	2.16	0.2
	POST-DEVELOPMENT	2.16	0.34

**LIVINGSTON COUNTY RUNOFF CALCULATIONS FOR THE SOUTHWEST BIOSWALE**

PRE-DEVELOPMENT DRAINAGE AREA		IMPERVIOUS		ACRE	
AREA (ACRES)	FACTOR	IMPERVIOUS	FACTOR	IMPERVIOUS	FACTOR
2.16	0.2	0.43			
0.00	0.7	0.00			
0.00	0.9	0.00			

COMPOUND C: 0.20  
TOTAL DRAINAGE AREA: 2.16 ACRES  
K1 = Ax C (Design Constant) 0.432  
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.216 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (AUG)	OUTFLOW DURATION (Qa)	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	1188	65	1123
10	600	7.86	4714	2637	130	1907
15	900	6.88	6188	2673	194	2479
20	1200	6.11	7333	3168	259	2909
30	1800	5.00	9000	3888	389	3499
60	3600	3.24	11647	5032	778	4254
90	5400	2.39	12913	5578	1166	4412
120	7200	1.90	13655	5899	1555	4344
180	10800	1.34	14488	6259	2333	3926

PRE-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 4412 CF

**POST-DEVELOPMENT DRAINAGE AREA**

PRE-DEVELOPMENT DRAINAGE AREA		IMPERVIOUS		ACRE	
AREA (ACRES)	FACTOR	IMPERVIOUS	FACTOR	IMPERVIOUS	FACTOR
1.74	0.2	0.35			
0.00	0.7	0.00			
0.42	0.9	0.38			

COMPOUND C: 0.34  
TOTAL DRAINAGE AREA: 2.16 ACRES  
K1 = Ax C (Design Constant) 0.7344  
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.216 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (AUG)	OUTFLOW DURATION (Qa)	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	2020	85	1935
10	600	7.86	4714	3462	130	3333
15	900	6.88	6188	4544	194	4350
20	1200	6.11	7333	5386	259	5126
30	1800	5.00	9000	6610	389	6221
60	3600	3.24	11647	8554	778	7776
90	5400	2.39	12913	9483	1166	8317
120	7200	1.90	13655	10028	1555	8473
180	10800	1.34	14488	10640	2333	8307

POST-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 8473 CF

RUNOFF VOLUME INCREASE = 4061 CF

**BIO-SWALE STORAGE PROVIDED**

ELEV.	AREA (FT <sup>2</sup> )	DEPTH (FT)	VOLUME (FT <sup>3</sup> )	TOTAL VOLUME	FREEBOARD ELEVATION
953	7459	1	6,019	10,116	DESIGN HIGHWATER ELEVATION
952	4579	1	3,495	4,097	DESIGN HIGHWATER ELEVATION
951	2410	0.5	603	603	DESIGN HIGHWATER ELEVATION
950.5					

**LIVINGSTON COUNTY RUNOFF CALCULATIONS FOR THE SOUTHEAST BIOSWALE**

PRE-DEVELOPMENT DRAINAGE AREA		IMPERVIOUS		ACRE	
AREA (ACRES)	FACTOR	IMPERVIOUS	FACTOR	IMPERVIOUS	FACTOR
5.32	0.2	0.62			
0.00	0.7	0.00			
0.13	0.9	0.12			

COMPOUND C: 0.22  
TOTAL DRAINAGE AREA: 5.45 ACRES  
K1 = Ax C (Design Constant) 1.199  
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.545 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (AUG)	OUTFLOW DURATION (Qa)	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	3237	164	3174
10	600	7.86	4714	5652	327	5325
15	900	6.88	6188	7419	491	6928
20	1200	6.11	7333	8793	654	8139
30	1800	5.00	9000	10791	981	9810
60	3600	3.24	11647	13665	1962	12003
90	5400	2.39	12913	15483	2943	12540
120	7200	1.90	13655	16373	3924	12449
180	10800	1.34	14488	17371	5886	11485

PRE-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 12540 CF

**POST-DEVELOPMENT DRAINAGE AREA**

PRE-DEVELOPMENT DRAINAGE AREA		IMPERVIOUS		ACRE	
AREA (ACRES)	FACTOR	IMPERVIOUS	FACTOR	IMPERVIOUS	FACTOR
4.80	0.2	0.92			
0.00	0.7	0.00			
0.84	0.9	0.76			

COMPOUND C: 0.31  
TOTAL DRAINAGE AREA: 5.45 ACRES  
K1 = Ax C (Design Constant) 1.6895  
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.545 CFS

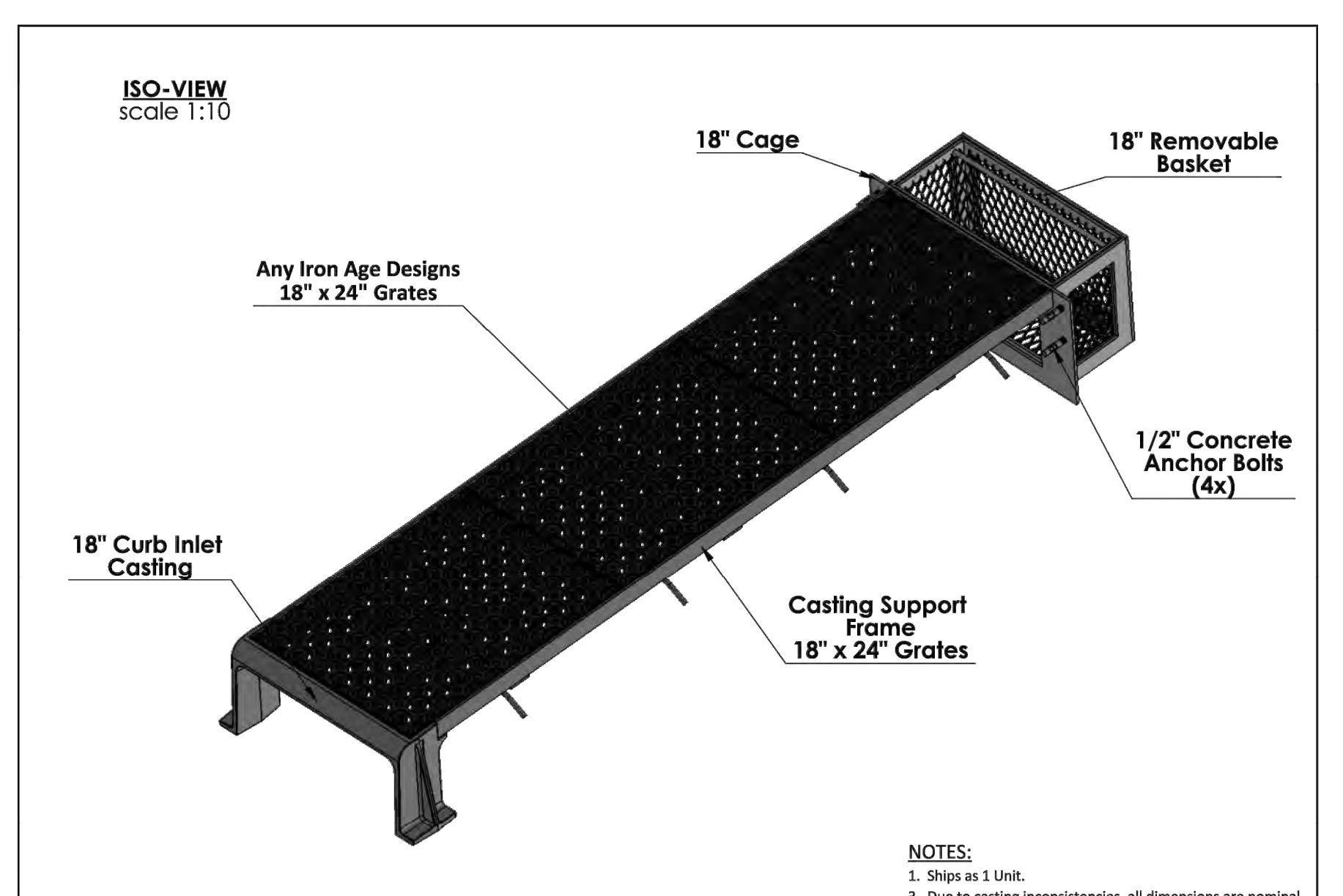
DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (AUG)	OUTFLOW DURATION (Qa)	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	4546	164	4483
10	600	7.86	4714	7965	327	7638
15	900	6.88	6188	10454	491	9963
20	1200	6.11	7333	12390	654	11736
30	1800	5.00	9000	15206	981	14225
60	3600	3.24	11647	19678	1962	17716
90	5400	2.39	12913	21817	2943	18874
120	7200	1.90	13655	23070	3924	19146
180	10800	1.34	14488	24477	5886	18591

POST-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 19146 CF

RUNOFF VOLUME INCREASE = 6607 CF

**BIO-SWALE STORAGE PROVIDED**

ELEV.	AREA (FT <sup>2</sup> )	DEPTH (FT)	VOLUME (FT <sup>3</sup> )	TOTAL VOLUME	FREEBOARD ELEVATION
952	10260	1	9,233	16,464	DESIGN HIGHWATER ELEVATION
951	8185	1	7,231	7,231	DESIGN HIGHWATER ELEVATION
950	6277	0	0	0	



**18" Curb Inlet with Basket Assembly**  
 1. Ships as 1 Unit.  
 3. Due to casting inconsistencies, all dimensions are nominal.  
 © 2019 Iron Age Designs  
**IRON AGE DESIGNS**  
 Material: Cast Ductile Iron Castings/Mild Steel  
 Weight: approx. 300 lbs.  
 Edge Finish: Standard Raw / Powder Coat  
 Thickness: 1.500"  
 Fits: Iron Age Custom Frame  
 Product ID: CURB18-18  
 Drawing Name: 18" Curb Inlet with 3 Castings and Basket  
 Free Area: XX.XX"sq (approx): (XX.XX)"sq  
 Gallon/Mth: sq area x FDA (approx): x1.33x GPM  
 By: MS Date: 10/31/19  
 Job No: XXXXXXXX Scale: NTS  
 © Registration: XX-1-XXX-123  
 Page 2

**LEGEND**

- |               |               |                                                         |
|---------------|---------------|---------------------------------------------------------|
| PROPOSED (PR) | EXISTING (EX) | CONTOUR                                                 |
| FF            | FF            | SPOT ELEVATION                                          |
| FG            | FG            | FINISHED FLOOR ELEVATION                                |
| T/A           | T/A           | TOP OF ASPHALT                                          |
| T/C           | T/C           | TOP OF CURB / CONCRETE                                  |
| T/W           | T/W           | TOP OF WALK                                             |
| F/L           | F/L           | FLOW LINE                                               |
| T/P           | T/P           | TOP OF PIPE                                             |
| B/P           | B/P           | BOTTOM OF PIPE                                          |
| RM            | RM            | RIM ELEVATION                                           |
| INV           | INV           | INVERT ELEVATION                                        |
| MH            | MH            | MANHOLE STRUCTURE                                       |
| IN            | IN            | INLET STRUCTURE                                         |
| CB            | CB            | CATCHBASIN STRUCTURE                                    |
| RY            | RY            | REARWARD STRUCTURE                                      |
| ES            | ES            | END-SECTION                                             |
| OV            | OV            | GATEVALVE STRUCTURE                                     |
| HY            | HY            | HYDRANT                                                 |
| UP            | UP            | UTILITY POLE                                            |
| SN            | SN            | SANITARY SEWER                                          |
| SL            | SL            | SANITARY LEAD                                           |
| FM            | FM            | FORCE MAIN                                              |
| PS            | PS            | PRESSURE SEWER                                          |
| ST            | ST            | STORM SEWER                                             |
| WM            | WM            | WATER MAIN                                              |
| WL            | WL            | WATER LEAD                                              |
| FO            | FO            | FIBER OPTIC                                             |
| OH            | OH            | OVERHEAD WIRE                                           |
| C             | C             | CABLE                                                   |
| E             | E             | ELECTRIC                                                |
| G             | G             | GAS                                                     |
| T             | T             | TELEPHONE                                               |
| L             | L             | FENCE                                                   |
| S             | S             | SILT FENCE                                              |
| W             | W             | WETLAND BOUNDARY                                        |
| U             | U             | LIMITS OF GRADING/CLEARING                              |
| M             | M             | MANHOLE                                                 |
| I             | I             | INLET / CATCHBASIN                                      |
| F             | F             | FLARED END-SECTION                                      |
| H             | H             | HYDRANT                                                 |
| U             | U             | UTILITY POLE                                            |
| N             | N             | NOT FIELD VERIFIED                                      |
| S             | S             | SANITARY SEWER LABEL                                    |
| W             | W             | STORM SEWER LABEL                                       |
| WM            | WM            | WATER MAIN LABEL                                        |
| CE            | CE            | SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY) |
| C             | C             | CONCRETE                                                |
| A             | A             | ASPHALT                                                 |
| M             | M             | MODIFIED CURB                                           |

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 PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL  
 2464 TAYLOR ROAD, SUITE 317 WILLOWOOD, MO 63090 314-922-2136

NO	BY	DATE	REVISION PER
3	ST	03/25/21	PER TWP REVIEW
2	ST	02/16/21	PER TWP REVIEW
1	ST	01/20/21	PER TWP REVIEW
			NO BY

DESIGNED BY: ST  
 DRAWN BY: PG  
 CHECKED BY:  
 SCALE: 1" = 50'  
 JOB NO: 20-477  
 DATE: 12-18-20  
 SHEET NO. 6

**GENERAL LANDSCAPE SPECIFICATIONS:**

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEOUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN. DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 6-FT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
- LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1-1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
- ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
- EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS, ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAD WITHIN 36-HOURS AFTER CUTTING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.

- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.

SEE MIXTURE SHALL BE AS FOLLOWS:  
 KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, GLADE, OR PARADE) 30%  
 RUBY RED OR DAWSON RED FINE FESCUE 30%  
 ATLANTA RED FESCUE 20%  
 PENNINE PERENNIAL RYE 20%

THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:

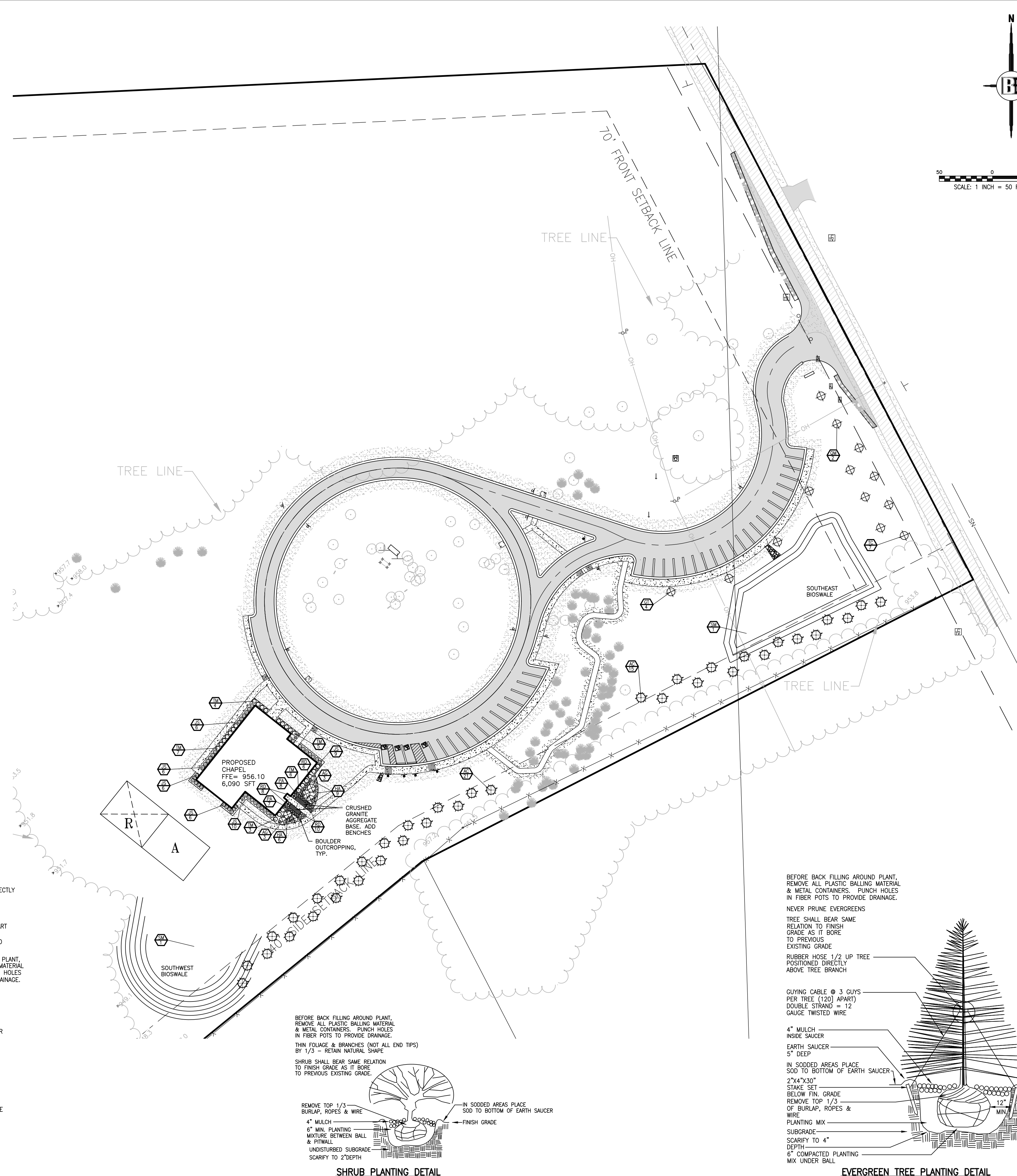
- 10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE
- 0% PHOSPHATE
- 10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE

THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RE-SEEDING AND SUCH RE-SEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRAGILE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.



**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
900 T/C	900.08	CONTOUR
XXXXXX		SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FS	FS	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RM	RM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARYARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
S	S	SIGN
□	□	SILT FENCE
---	---	WETLAND BOUNDARY
○	○	LIMITS OF GRADING/CLEARING
○	○	MANHOLE
○	○	INLET / CATCHBASIN
○	○	FLARED END-SECTION
○	○	GATE VALVE
○	○	HYDRANT
○	○	UTILITY POLE
○	○	NOT FIELD VERIFIED
○	○	SANITARY SEWER LABEL
○	○	STORM SEWER LABEL
○	○	WATER MAIN LABEL
○	○	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
○	○	CONCRETE
○	○	ASPHALT
○	○	MODIFIED CURB

**LANDSCAPE LEGEND**

○	EXISTING DECIDUOUS TREE	○	PROPOSED DECIDUOUS TREE
○	EXISTING EVERGREEN TREE	○	PROPOSED ORNAMENTAL TREE
○	PROPOSED CONIFER TREE	○	PROPOSED DECIDUOUS SHRUB
○	PROPOSED CONIFER SHRUB	○	PROPOSED ORNAMENTAL GRASS
○	PROPOSED PERENNIAL FORB	○	PROPOSED TREE PROTECTION
○	PROPOSED LANDSCAPE BOULDER		

**LANDSCAPE REQUIREMENTS:**

**GREENBELT REQUIREMENTS ALONG CHILSON ROAD:**  
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (14) CANOPY TREES ARE REQUIRED ALONG CHILSON ROAD. THE FRONT YARD GREENBELT, AS THERE IS EXISTING VEGETATION IN THIS LOCATION, GAPS DO EXIST. THIS PLAN PROPOSES THE INSTALLATION OF (9) NEW CANOPY TREES TO FILL THE GAPS WHILE MAINTAINING THE EXISTING TREES FOR SCREENING PURPOSES.

**PARKING LOT SCREENING:**  
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (4) CANOPY TREES AND 380 SF OF LANDSCAPED AREA IS TO BE INTRODUCED FOR THE PARK LOTS. THIS PLAN INCLUDES (4) CANOPY TREES AT THE PERIMETER OF THE EASTERN PARKING LOT, AND (51) SF OF LANDSCAPED AREA AT THE WEST END OF WESTERN PARKING LOT.

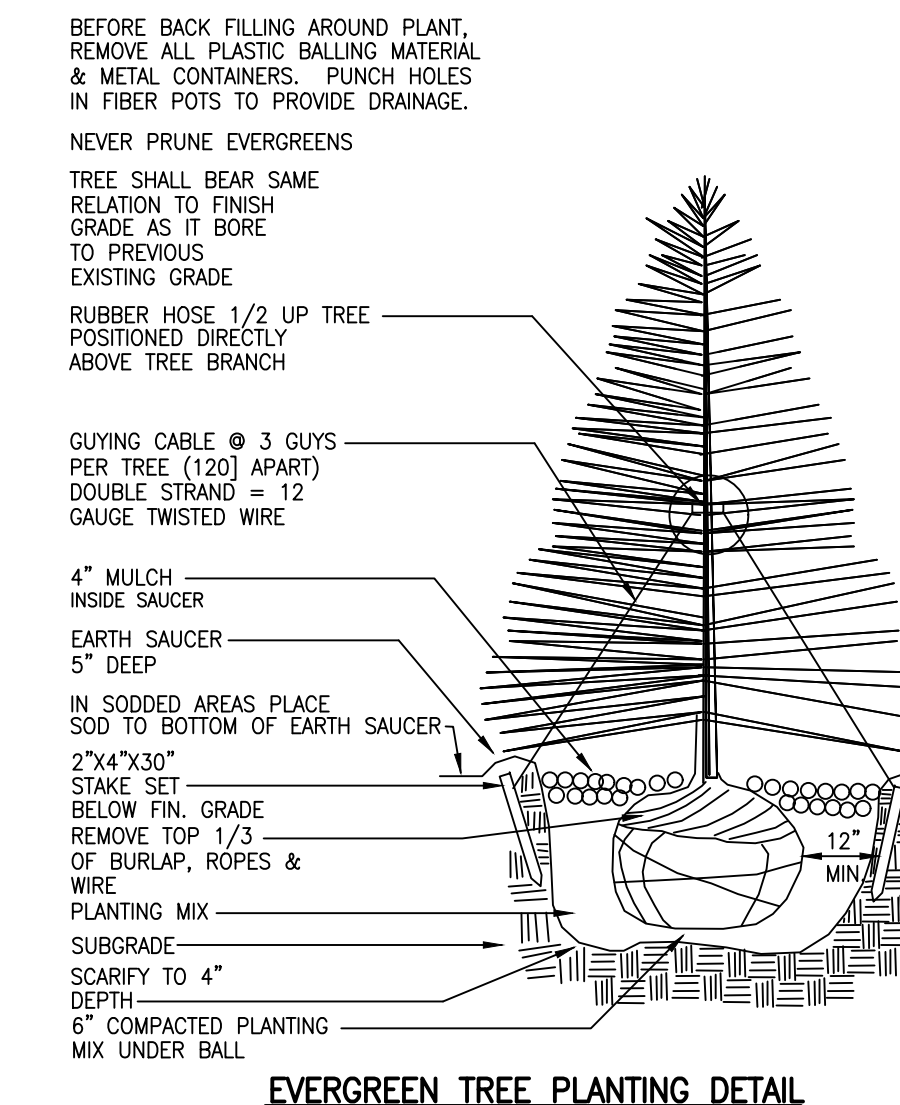
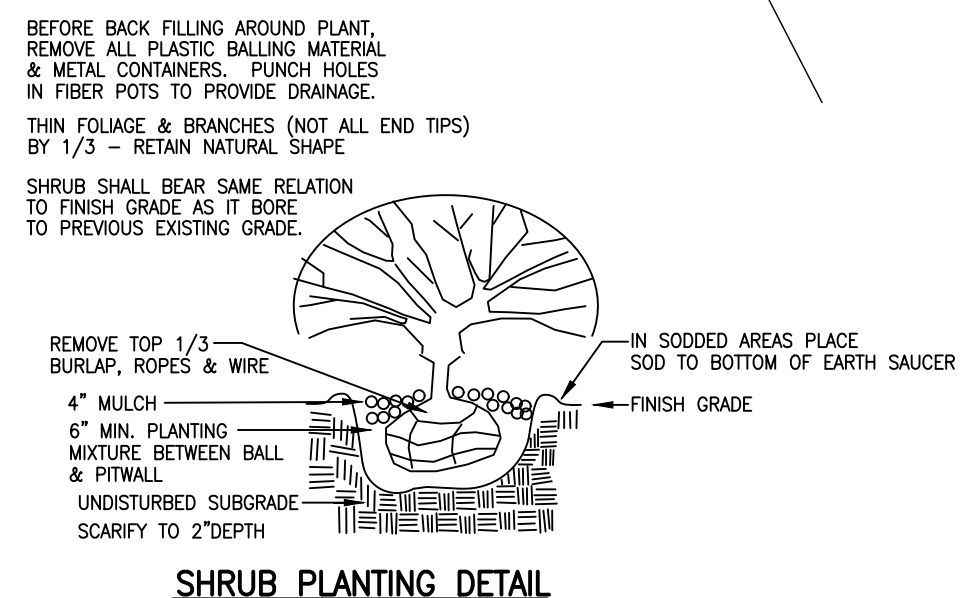
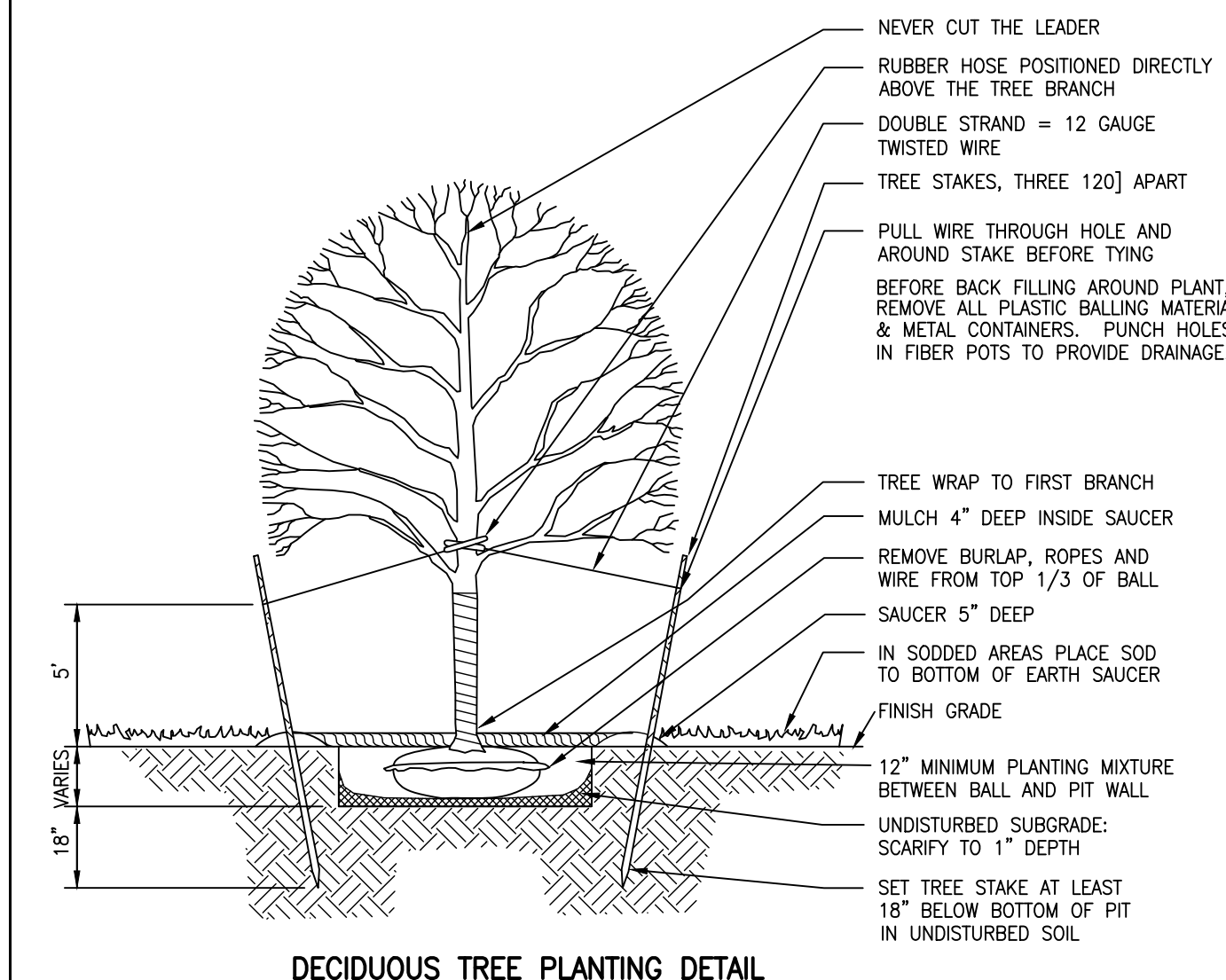
**BIOSWALE PLANTING PLAN**  
 THE BIOSWALE BASIN SHALL BE SEED. CONTRACTOR TO ADHERE TO THE "CARDINO NATIVE PLANT NURSERY INSTALLATION AND MAINTENANCE GUIDELINES" FOR PURPOSES OF INSTALING AND MAINTAINING THE PLANTING AREA.

**RETENTION BASIN SEED MIXES**

KEY	QUAN.	MIX NAME	SIZE
SM	14,000 SF COVERAGE	STORMWATER MIX	SEED

**PLANT LIST**

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
<b>TREES</b>					
AC	36	<i>Abies concolor</i>	White Fir	8' HT	B&B
AG	6	<i>Amanchier x grandiflora</i>	'Autumn Brilliance' Serviceberry 1.5"	col.	B&B, MULTI
GT	4	<i>Gleditsia inaequalis</i>	'Sycamore Honey Locust	2.5"	col. B&B
QM	2	<i>Quercus macrocarpa</i>	Bur Oak	2.5"	col. B&B
TC	7	<i>Tilia cordata</i>	'Glenleven' Littleleaf Linden	2.5"	col. B&B
<b>SHRUBS</b>					
HA	15	<i>Hydrangea arborescens</i>	'Annabelle' Hydrangea	#3 cont.	
JS	43	<i>Juniperus scopulorum</i>	'Strycknet' Juniper	#5 cont.	
RD	24	Rosa 'Double Knockout'	'Double Knockout' Rose	#3 cont.	
TM	25	<i>Taxus x media 'Moon'</i>	'Moon' Upright Yew	16"	B&B
<b>PERENNIALS</b>					
PA	15	<i>Pennisetum alopecuroides</i>	Fountain Grass	#3 cont.	



**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

**CATHOLIC HEALTHCARE INTERNATIONAL**  
 PROJECT  
 PREPARED FOR  
 CATHOLIC HEALTHCARE INTERNATIONAL  
 2464 TAYLOR ROAD, SUITE 317  
 WILLOWOOD, MO 63090  
 314-922-2136

**LANDSCAPE PLAN**  
 TITLE  
 03/25/21  
 02/16/21  
 01/20/21

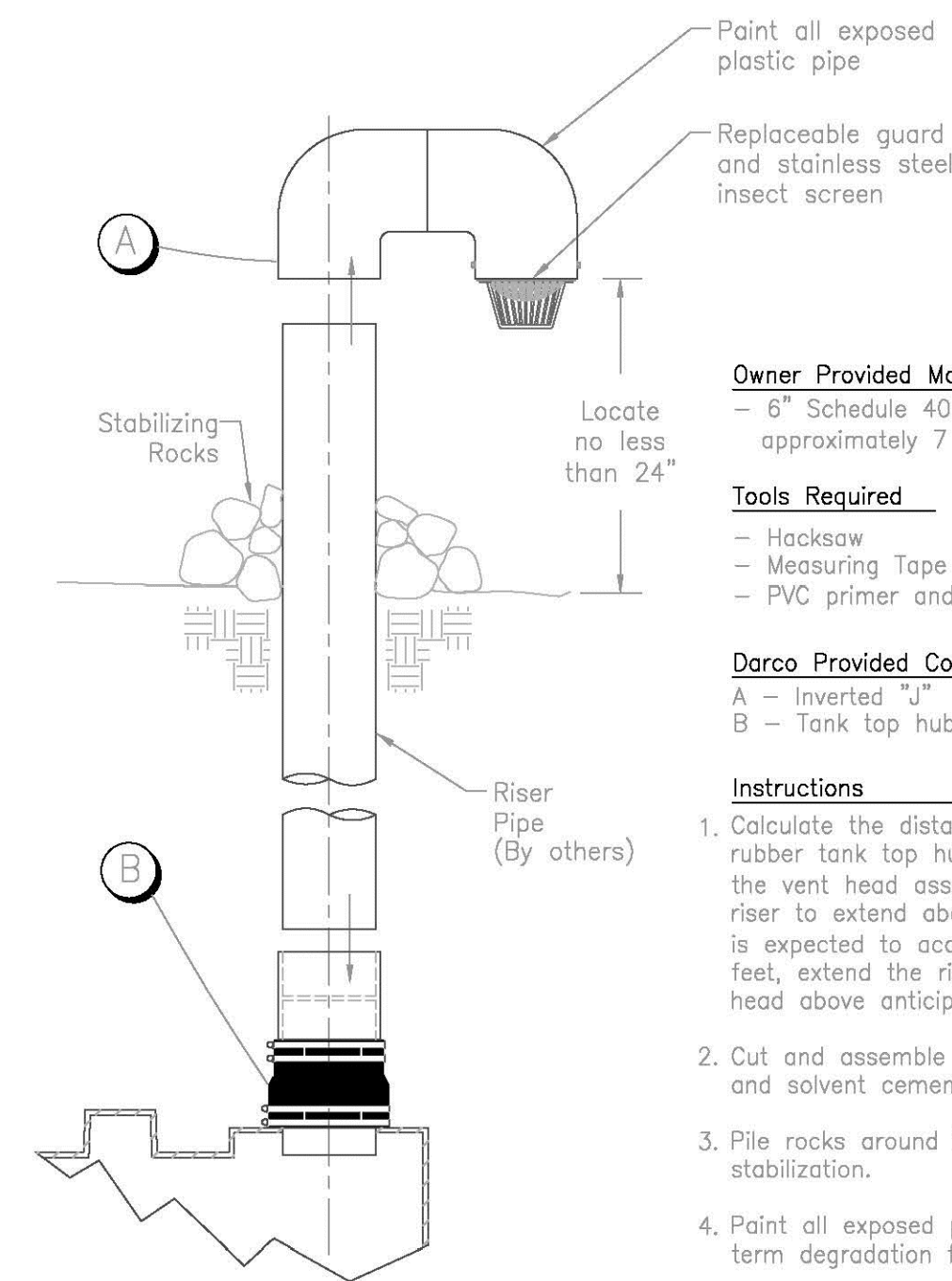
DESIGNED BY: JH  
 DRAWN BY: JH  
 CHECKED BY:  
 SCALE: 1" = 50'  
 JOB NO: 20-477  
 DATE: 12-18-20  
 SHEET NO. 7

**Installation Instructions**

FreeWater Systems, LLC 303-921-1186 Lakewood CO

**Vent Pipe, 6"**

**Polyethylene Tank**



**Owner Provided Materials**

- 6" Schedule 40 PVC pipe approximately 7 feet long

**Tools Required**

- Hacksaw
- Measuring Tape
- PVC primer and cement

**Darco Provided Components**

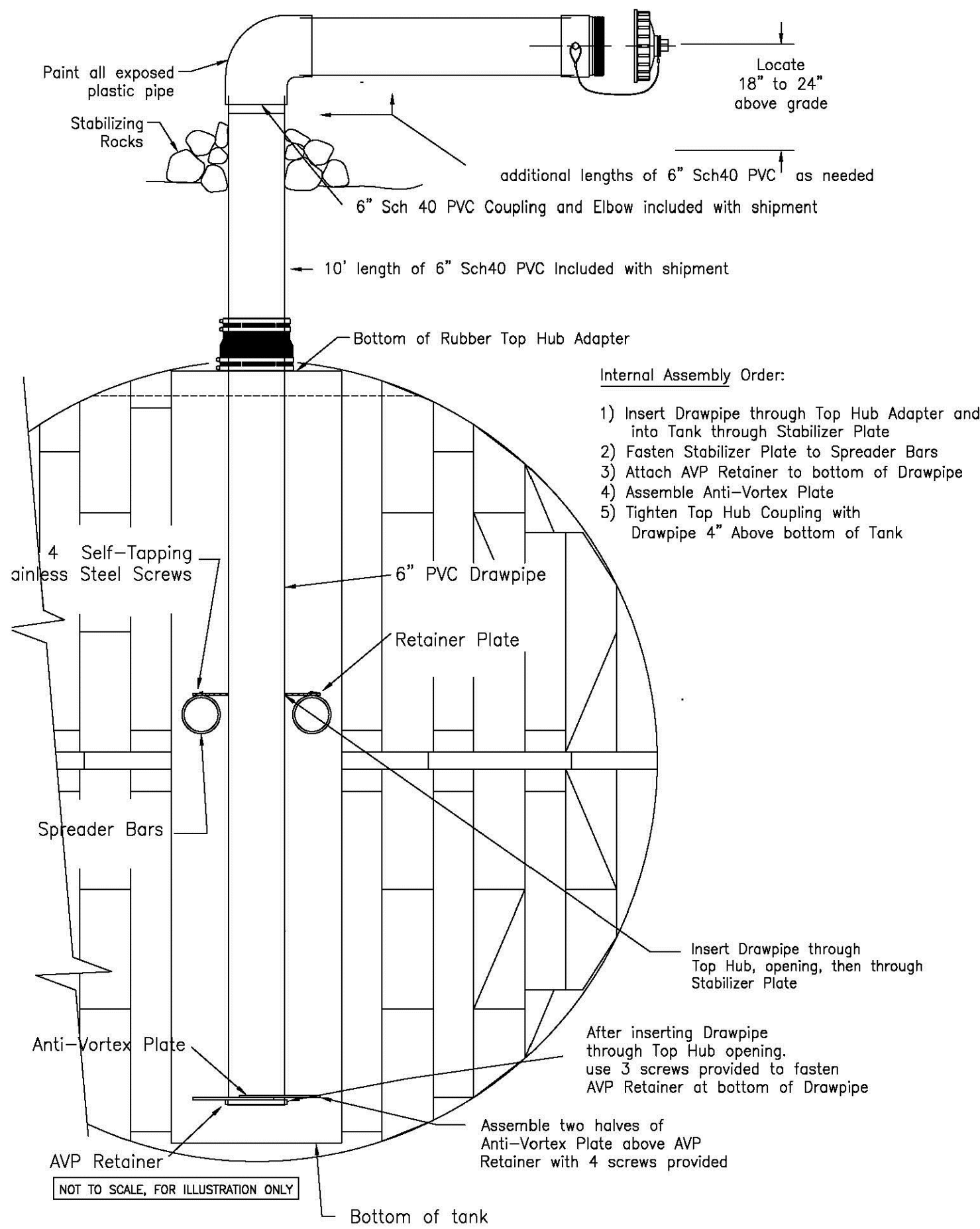
- A - Inverted "J" vent head assembly
- B - Tank top hub adapter

**Instructions**

1. Calculate the distance from the bottom of the rubber tank top hub adapter, to the bottom of the vent head assembly, allowing (2) feet of riser to extend above grade as shown. If snow is expected to accumulate deeper than (2) feet, extend the riser pipe to keep the vent head above anticipated snow levels.
2. Cut and assemble the riser using PVC primer and solvent cement.
3. Pile rocks around the base of the riser for stabilization.
4. Paint all exposed plastic parts to avoid long term degradation from sunlight.

**Installation Instructions**  
**Dry Fire Hydrant Draw Pipe**

FreeWater Systems, LLC 303-921-1186 Lakewood CO

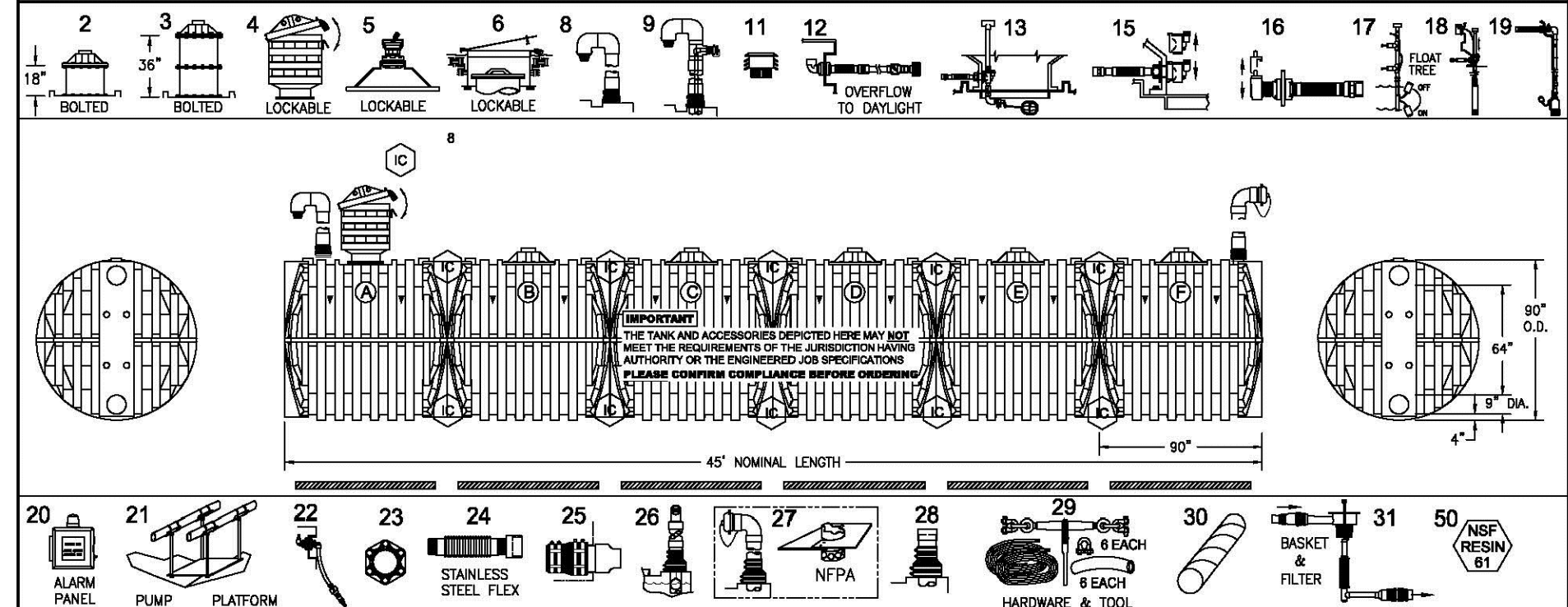


**Internal Assembly Order:**

- 1) Insert Drawpipe through Top Hub Adapter and into Tank through Stabilizer Plate
- 2) Fasten Stabilizer Plate to Spreader Bars
- 3) Attach AVP Retainer to bottom of Drawpipe
- 4) Assemble Anti-Vortex Plate
- 5) Tighten Top Hub Coupling with Drawpipe 4" Above bottom of Tank

- After inserting Drawpipe through Top Hub opening, use 3 screws provided to fasten AVP Retainer at bottom of Drawpipe
- Assemble two halves of Anti-Vortex Plate above AVP Retainer with 4 screws provided

TO Mike O'Leary	FIRM MRM Construction	PROJECT	QUOTE #A0825R	DATE 25 Aug 19
PHONE 910-227-5668	FAX	EMAIL mjo@lindhout.com	SITE LOCATION Brighton MI	COUNTY
MODULES: 6	NOM. CAPACITY 12,000	NOM. WEIGHT 800# ea	POTABLE NON-POTABLE X USE Fire Cistern	
<b>INCLUDED IN THIS POLYETHYLENE UNDERGROUND TANK QUOTATION</b>			<b>PREPAID PRICE</b>	
8 - 6" Sch40 PVC Vent Head - Screened	PT -	PT WiFi-Enabled Water Level Gauge	\$	TAX DEPOSIT
2 - Bolted Cover - for direct burial				FREIGHT DETAILS
10 - 6" Sch40 PVC Interconnect - top and bottom				DELIVERY: WEEKS FROM ORDER ACCEPTANCE
27 - 6" NST-M Dry Hydrant w/cap				<b>EXCLUDED IN THIS PRICE QUOTATION</b>
6" PVC Drawpipe with Anti-Vortex Plate				1. INSPECTION, ACCEPTANCE, AND OFFLOAD
BURY DETAILS: 36" Typical Cover Depth			WATER SOURCE	
ANTI-BUOYANCY TBD			APPROVALS Local Fire Authority	
COMMENTS: Preliminary Design			5. WIRE ROPE, CLAMPS, DEADMAN ANCHOR FORMS	
			6.	



20 ANCHOR PANEL	21 PUMP PLATFORM	22	23 STAINLESS STEEL FLEX	24	25	26	27	28	29 BASKET & FILTER	30	31	50 NSF (NSF 61)
<p><b>NOTES:</b></p> <p>ANCHOR CABLES (IF USED)</p> <p>DEADMAN ANCHORS</p> <p>7</p>												
<p><b>IMPORTANT: REVIEW FWS STRUCTURAL SPECIFICATIONS AND LIMITED WARRANTY BEFORE APPROVAL. GRAVEL BED AND 100% GRAVEL ENCAPSULATION REQUIRED / TYPICAL COVER DEPTH FOR OCTANK VESSELS IS 3 FEET / SEE FWS WEB SITE FOR INSTALLATION DETAILS AND APPROVED MATERIALS / FIRE SERVICE DESIGNS MUST HAVE PRIOR FIRE DEPARTMENT APPROVAL / QUOTES ARE HONORED FOR 30 DAYS ONLY</b></p> <p><b>DESIGN APPROVED - Signature:</b> _____ <b>Date:</b> _____</p>												
<p><b>POLYETHYLENE OCTANK - 12K (12,000 Gal.)</b></p> <p>Rev Date: MRM Construction Rev. No.</p> <p>FreeWater Systems, LLC 303-921-1186 freewatersystems.com 303-921-1186</p>												

**OcTank Installation Brief**

For Questions or technical Assistance call: freewater systems, LLC 303-921-1186 or go to freewatersystems.com

This is basic unloading and installation information to help with the planning of your underground water storage project. A complete installation manual, tailored to your exact project, will accompany your project when it is shipped.

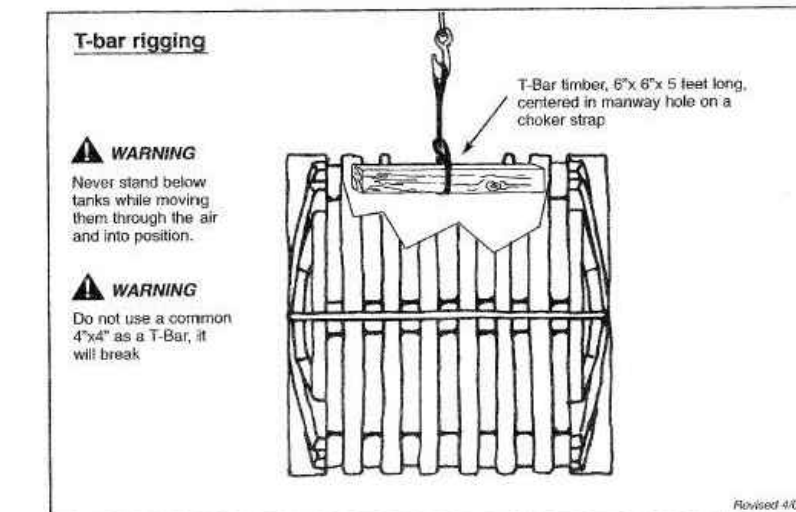
**Delivery:**

Deliveries to remote areas or in areas with little room for trucks to maneuver may be problematic. Check with your salesperson prior to ordering shipment. Responsible party must inspect entire shipment before or during offload.

Modules to be stored for any length of time prior to installation must be blocked to prevent wind from moving them.

Placing OcTank Modules into the excavation:

Rig through manway opening with a 6 X 6 as illustrated below:



**Standard Stable Site Soil Requirements:**

- Soil Bearing capacity must be 2500 pounds/square foot minimum
- Soil cohesion or backslope angle must be adequate to hold sidewall during installation
- Follow OSHA 1926.650/P guidelines for trenching and excavation
- If site is subject to seasonal or unpredictable groundwater, it must be anchored or sub-drained.

**Bedding and backfill material requirements:**

- Backfill medium must totally surround and cover every module completely.
- Use only clean, dry washed and graded material - pea gravel, screened rock chips, coarse washed sand or similar material. Do not use structural fill, road base or crusher fines as backfill material.
- No individual particle may exceed one half inch in size.
- Material must be free of trash, ice, snow and fines.

**Hole Size Recommendation:**

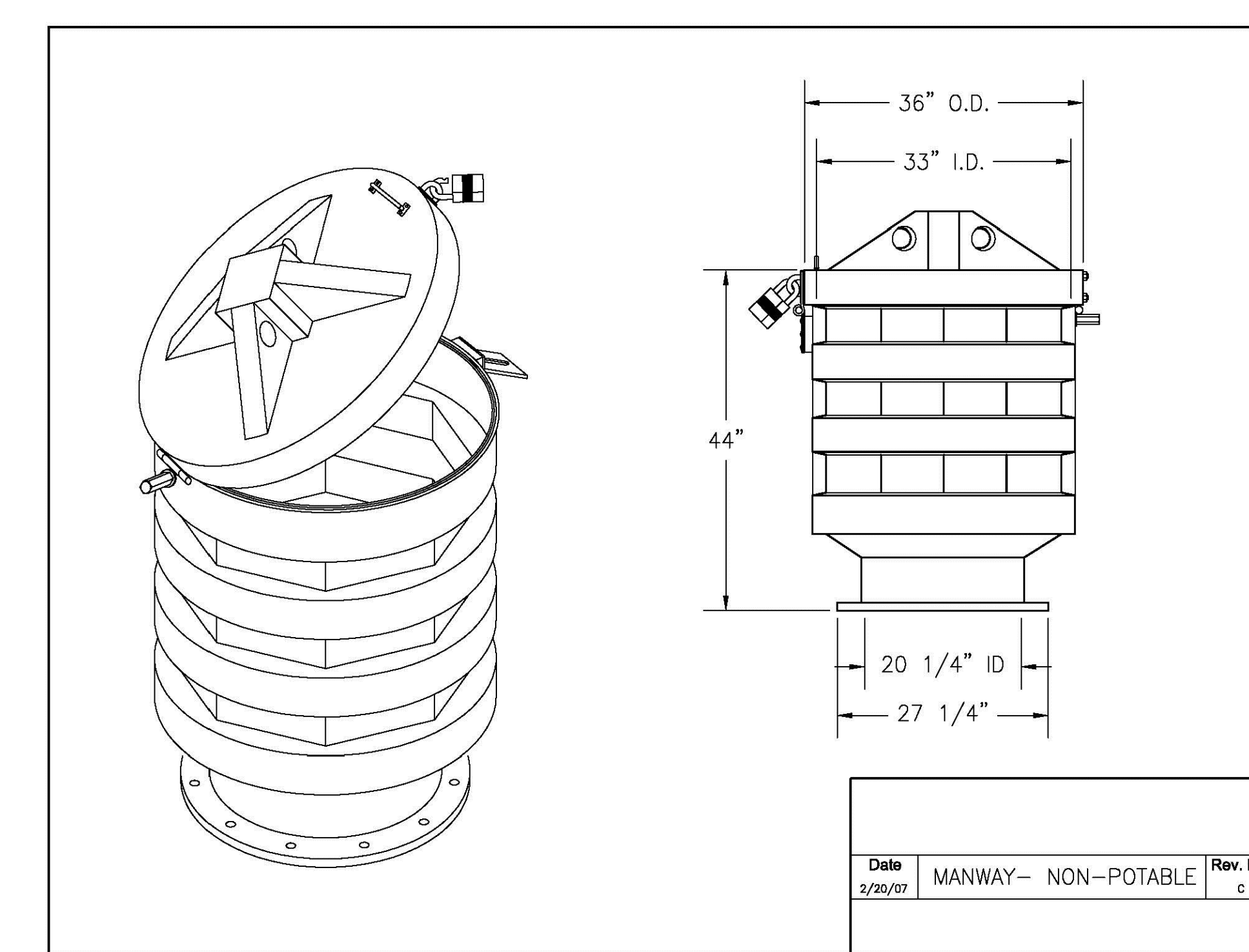
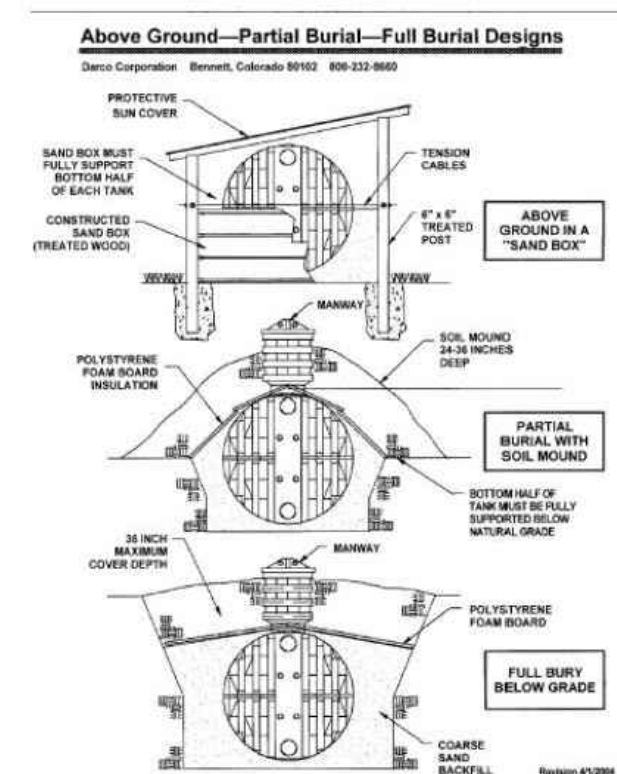
- Allow 18" minimum between rows of modules and between modules and excavation walls.
- Bedding beneath modules must be a minimum of 6" of approved backfill

**Backfill Procedure:**

- After assembly of modules, backfill in 12" lifts and probe between the ribs to eliminate any air spaces. Two lifts of 12" each will bring the backfill up to the 4 o'clock to 8 o'clock level. Subsequent backfill usually does not need to be probed since it will self-compact.
- Water ballast may be used during backfill process, with water level not to exceed 12".
- Use geotextile barrier to separate backfill material from additional soil cover.

**Bury Depth Options:**

- Full Bury with typical cover depth of 36" - may be insulated with foam board to provide additional frost protection.
- Partial bury to springline (mid-point) or deeper for proper support. Mound soil cover to provide frost protection.
- Above-ground installation - in constructed "sandbox" for support



**BEBOSS Engineering**  
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**CATHOLIC HEALTHCARE INTERNATIONAL**  
PREPARED FOR  
CATHOLIC HEALTHCARE INTERNATIONAL  
2464 TAYLOR ROAD, SUITE 317  
WILLOWOOD, MO 63090  
314-922-2136

**FIRE CISTERN DETAILS**

PROJECT	CATHOLIC HEALTHCARE INTERNATIONAL
PREPARED FOR	CATHOLIC HEALTHCARE INTERNATIONAL
DATE	03/25/21
REVISED BY	PER TWP REVIEW
DATE	02/16/21
REVISED BY	PER TWP REVIEW
DATE	01/20/21
REVISED BY	PER TWP REVIEW
DATE	01/20/21
REVISED BY	NO BY

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NO: 20-477  
DATE: 12-18-20  
SHEET NO. 8

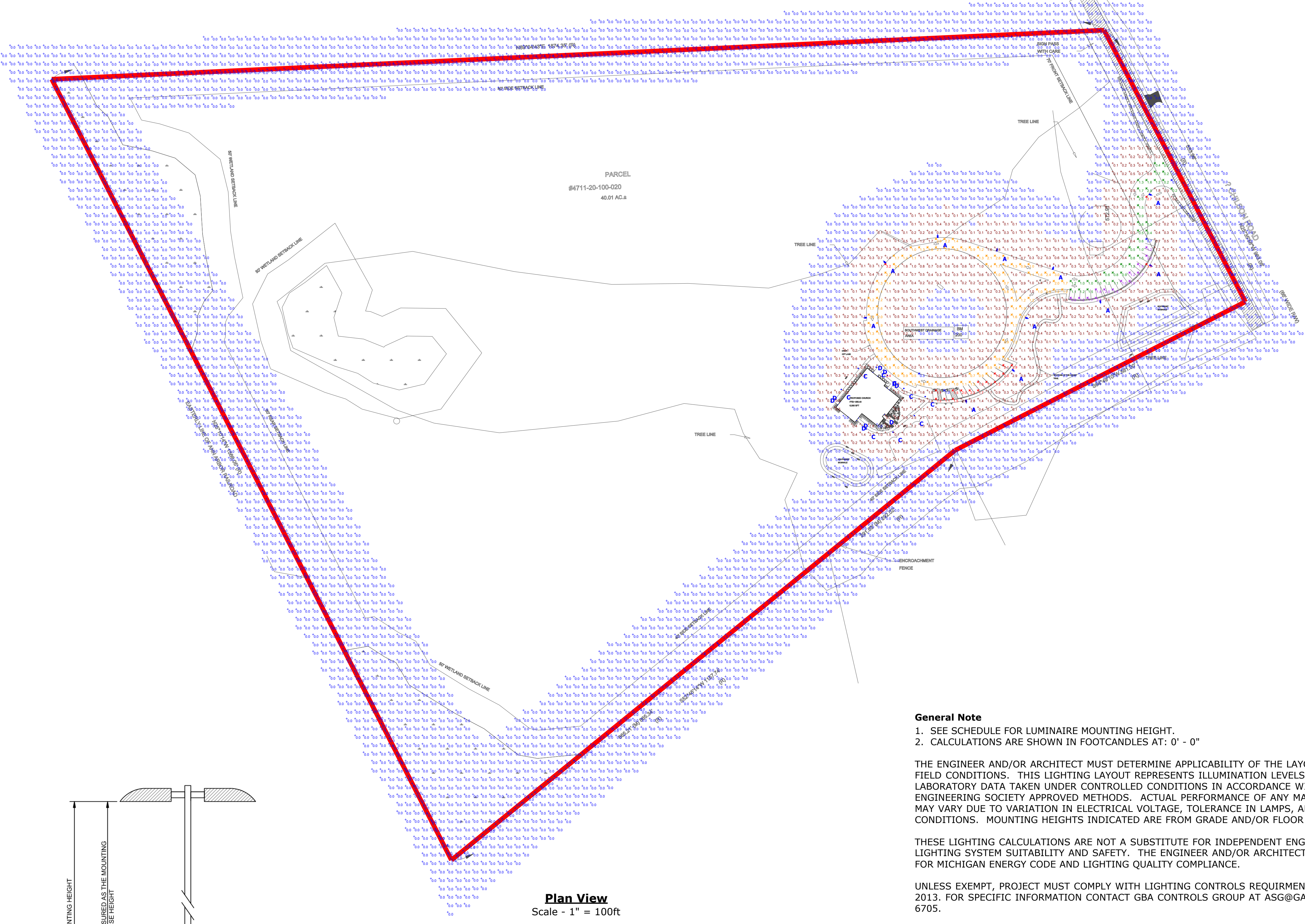


Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	A	11	Lithonia Lighting	DSX0 LED P5 30K T4M MVOLT	DSX0 LED P5 30K T4M MVOLT	LED	1	10613	0.9	89	20'-0"
	B	9	BEGA	77 164 + K3	77 164 + K3	LED	1	3371	0.9	36	12'-0"
	C	9	BEGA	33 505 + K3	33 505 + K3	LED	1	290	0.9	7.8	8'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
ENTRANCE		1.0 fc	2.7 fc	0.1 fc	27.0:1	10.0:1	0.4:1
OVERALL		0.1 fc	3.4 fc	0.0 fc	N/A	N/A	0.0:1
PARKING		1.6 fc	3.0 fc	0.7 fc	4.3:1	2.3:1	0.5:1
PROPERTY LINE		0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
ROUNDBOUT		1.4 fc	3.2 fc	0.3 fc	10.7:1	4.7:1	0.4:1
ROUNDBOUT PARKING		1.6 fc	2.9 fc	1.0 fc	2.9:1	1.6:1	0.6:1

**Ordering Information** EXAMPLE: DSX0 LED P5 40X3M SVOLA SP1AIR2 PIRHN DDBXD

Option	Description	Value	Requirement
Color	Color	White	White
Mounting Height	Mounting Height	20'	20'



- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Mounting Height Note**

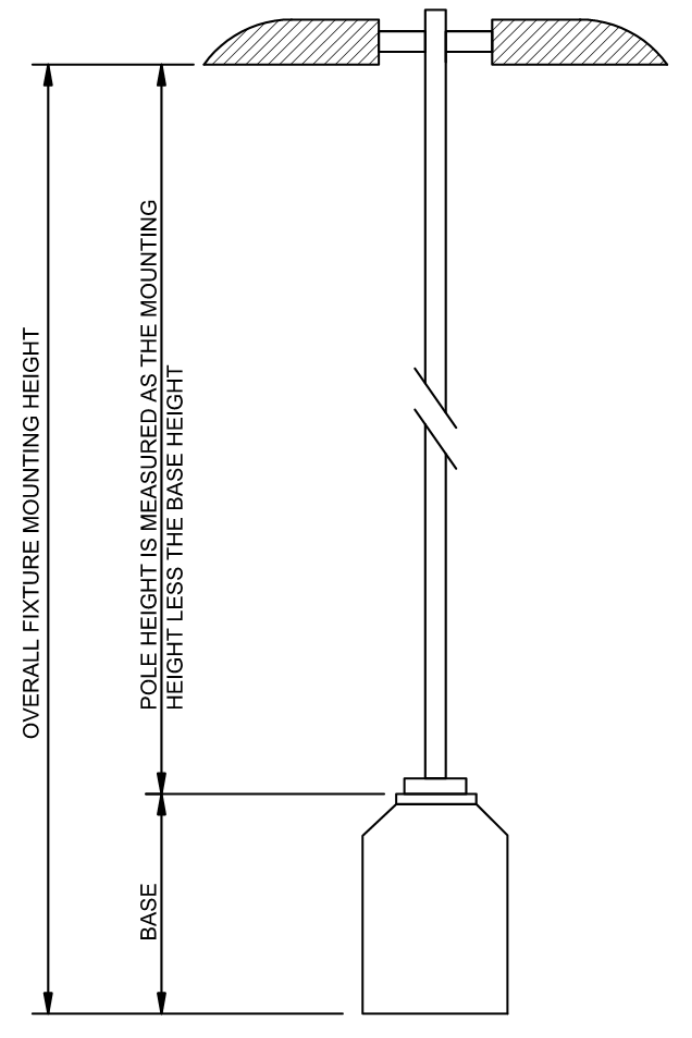
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

**Ordering Note**

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Alternates Note**

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



**LED luminaire - light output on two sides**

**Application:** The LED luminaire is designed for light output on two sides. This allows for a wide distribution of light from the luminaire. The luminaire is designed for use in parking lots, streets, and other areas where a wide distribution of light is required.

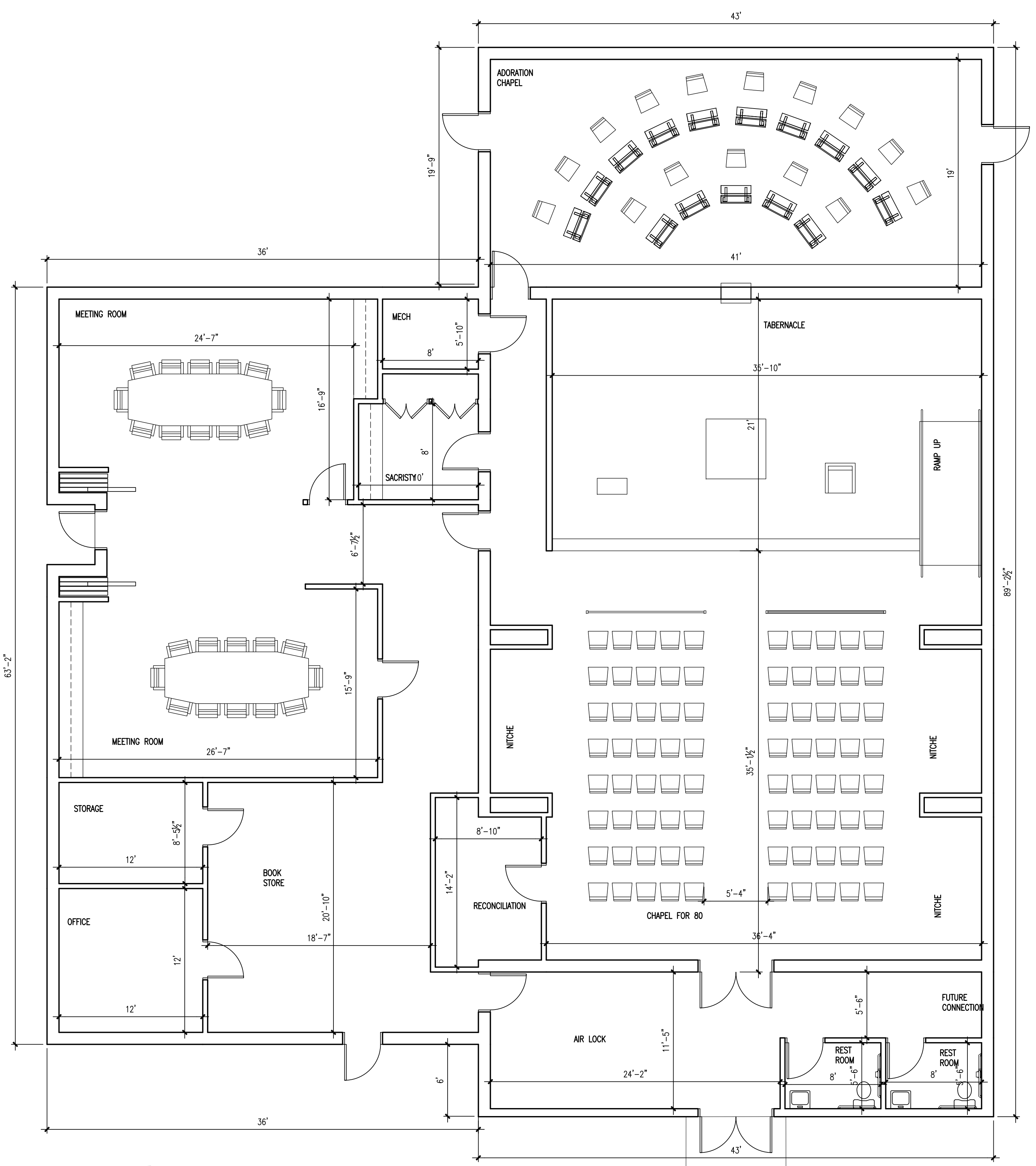
**Mechanical:** Luminaire housing constructed of die-cast aluminum. Powder coated finish. Luminaire housing is designed for use in parking lots, streets, and other areas where a wide distribution of light is required.

**Electrical:** Luminaire is designed for use with 120V AC power. Luminaire is designed for use with 120V AC power.

**LED color temperature:** 4000K

**Finish:** Luminaire is designed for use in parking lots, streets, and other areas where a wide distribution of light is required.

R Q P N M L K J H G F E D C B A



 NORTH  
 FLOOR PLAN  
 3/16"=1'-0"

PAX  
 ET  
 BONUM

REVISIONS	
11	
10	
9	

CHAPEL/ OFFICE PLAN

SWANSON DESIGN STUDIOS

329 E. CESAR E. CHAVEZ AVE.  
 LANSING, MICHIGAN 48906  
 WWW.SWANSONDESIGN.COM  
 PH. (517) 482-9039  
 FAX (517) 482-9290

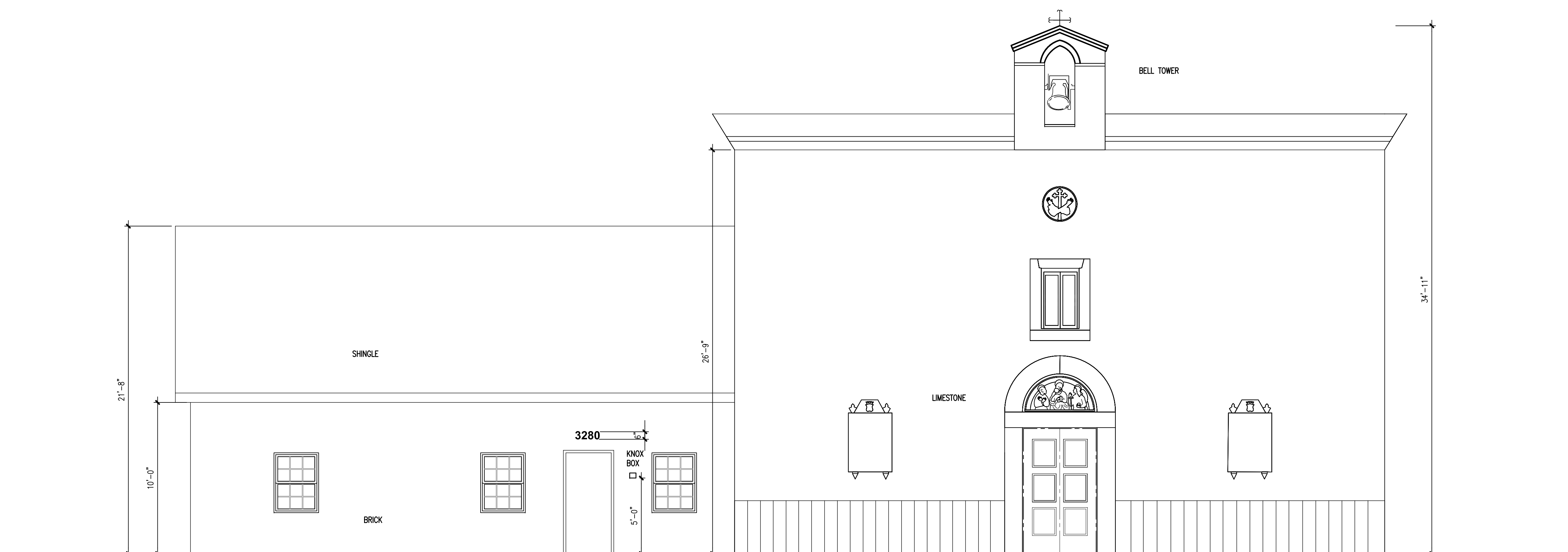
PADRE PIO  
 3280 CHILSON ROAD  
 HOWELL, MICHIGAN

DATE:  
 12/16/2020  
 JOB NUMBER:  
 2020.010  
 SHEET NUMBER:

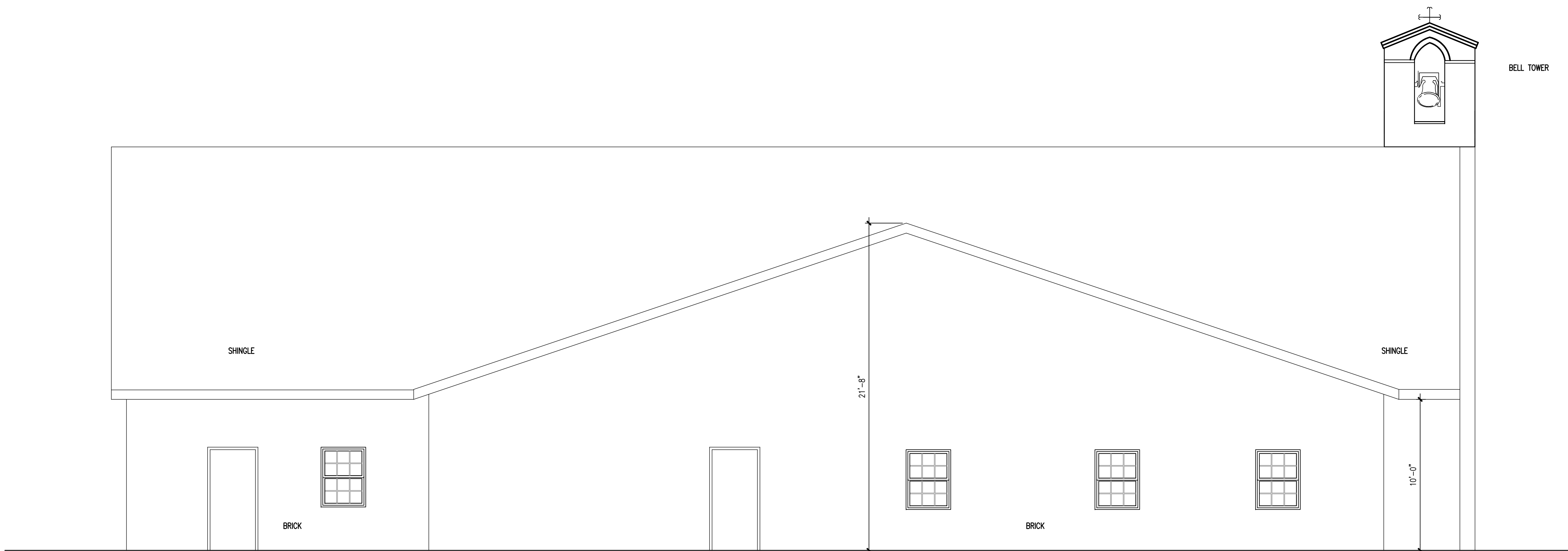
R Q P N M L K J H G F E D C B A



R Q P N M L K J H G F E D C B A



FRONT ELEVATION  
1/4"=1'-0"



SIDE ELEVATION  
1/4"=1'-0"

R Q P N M L K J H G F E D C B A

REVISIONS	
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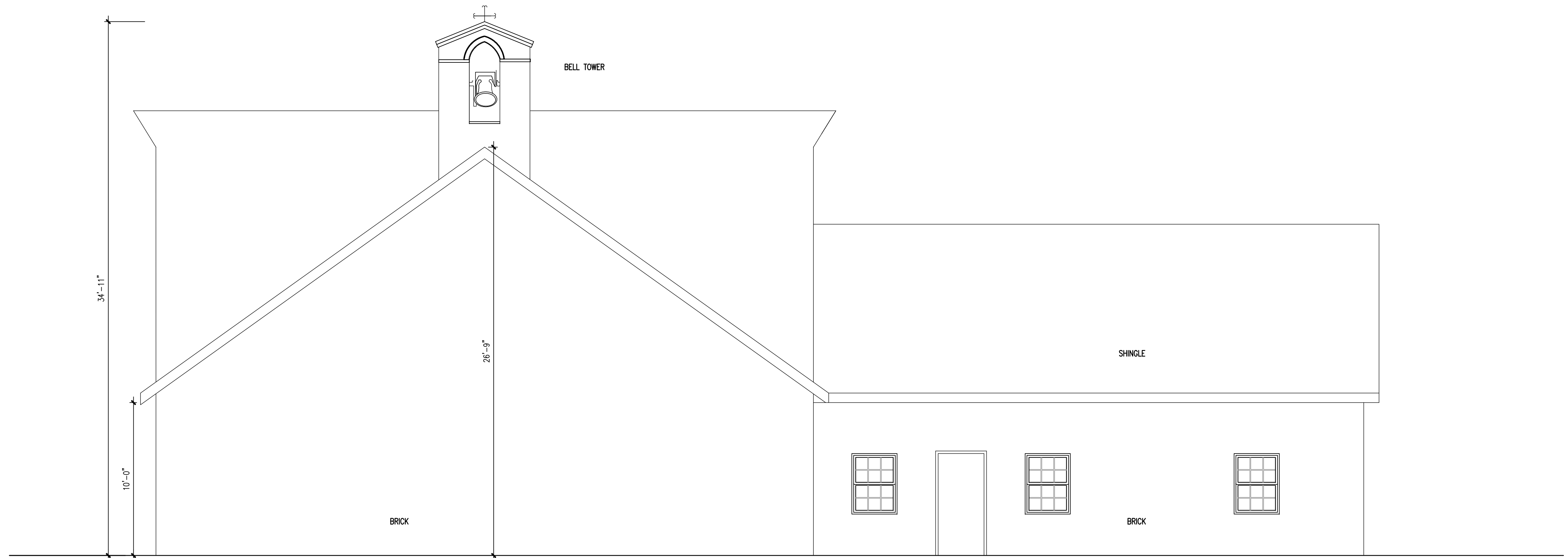
CHAPEL  
EXTERIOR ELEVATIONS

SWANSON DESIGN STUDIOS  
329 E. CESAR E. CHAVEZ AVE.  
LANSING, MICHIGAN 48906  
WWW.SWANSONDESIGN.COM  
PH. (517) 482-9039  
FAX (517) 482-9290

ARCHITECTURE  
DESIGN  
INTERIOR  
ARCHITECTURE

DATE:  
1/18/2021  
JOB NUMBER:  
2020.010  
SHEET NUMBER:

R Q P N M L K J H G F E D C B A



REAR ELEVATION  
1/4"=1'-0"



SIDE ELEVATION  
1/4"=1'-0"

REVISIONS	

CHAPEL  
EXTERIOR ELEVATIONS  
PADRE PIO CHAPEL  
3280 CHILSON ROAD  
HOWELL, MICHIGAN

SWANSON DESIGN STUDIOS  
329 E. CESAR E. CHAVEZ AVE.  
LANSING, MICHIGAN 48906  
WWW.SWANSONDESIGN.COM  
PH. (517) 482-9039 INTERIOR  
FAX (517) 482-9290 ARCHITECTURE

DATE:  
12/16/2020  
JOB NUMBER:  
2020.010  
SHEET NUMBER:  
1

R Q P N M L K J H G F E D C B A

R Q P N M L K J H G F E D C B A

- STRUCTURAL NOTES:  
GENERAL:
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS INDICATED. IN THE EVENT OF A CONFLICT IN DIMENSIONS, NOTIFY ARCHITECT BEFORE PROCEEDING.
  - CROSS CHECK ALL DIMENSIONS AND ELEVATIONS INDICATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS AT EXISTING CONSTRUCTION. REPORT DISCREPANCIES TO ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.
  - CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
  - BUILDING CODE - MICHIGAN BUILDING CODE 2015.
  - DESIGN LIVE LOADS:

SNOW: GROUND SNOW, PG = 30PSF  
IMPORTANCE FACTOR = 1 = 1.0  
THERMAL FACTOR CT = 1.1  
EXPOSURE FACTOR, CE = 1.0  
FLAT ROOF SNOW, PF = 23.1 PSF

WIND-BASIC WIND SPEED, V = 105 MPH  
IMPORTANCE FACTOR, I = 1.0  
EXPOSURE CATEGORY...B  
INTERNAL PRESSURE COEFFICIENT ... +/- 0.18

SEISMIC: SEISMIC IMPORTANCE FACTOR, I = 1.0  
OCCUPANCY CATEGORY ... II  
MAPPED SPECTRAL RESPONSE ACCELERATIONS = S<sub>s</sub> = .102  
S<sub>1</sub> = .043

SITE CLASS...D  
SPECTRAL RESPONSE COEFFICIENTS, SDS = 0.109  
SD1 = 0.068  
SEISMIC DESIGN CATEGORY: A

- DEFERRED SUBMITTALS: PORTIONS OF THE DESIGN HAVE BEEN DEFERRED AND WILL BE DESIGNED BY PRODUCT MANUFACTURERS. DEFERRED SUBMITTALS INCLUDE:

- FOUNDATIONS:
- FOUNDATIONS SHALL BEAR ON SOILS HAVING A MINIMUM ALLOWABLE BEARING PRESSURE OF 1500 PSF FOR SPREAD FOOTINGS AND 1500 PSF FOR WALL FOOTINGS.
  - FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT ELEVATIONS SHOWN ON THE DRAWINGS. IF OVER-EXCAVATION IS REQUIRED, COMPACTED FILL SHALL BE PLACED PER SPECIFICATIONS UP TO BEARING ELEVATION. TESTING OF SOILS SHALL BE ACCORDING TO SPECIFICATIONS PRIOR TO PLACEMENT OF FOOTINGS.
  - COORDINATE ELECTRICAL SERVICE GROUNDING REQUIREMENTS TO FOUNDATION REINFORCING WITH ELECTRICIAN.

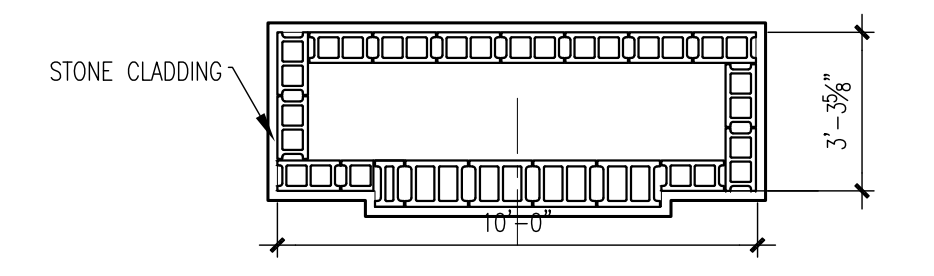
- CONCRETE:
- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) DOCUMENTS REFERENCED IN SPECIFICATIONS.

MATERIAL PROPERTIES:

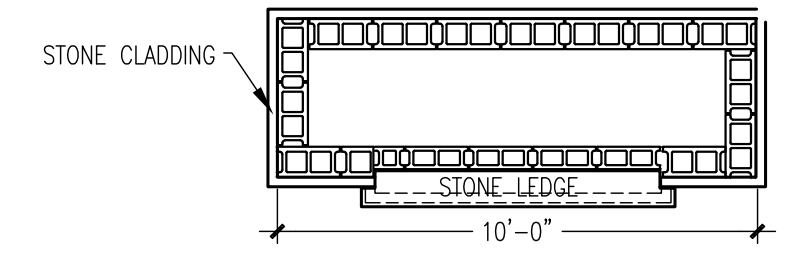
LOCATION	F'C PSI 28_DAYS	AIR CONTENT	MAX. SLUMP
WALL FOOTINGS, GRADE BEAMS	3000	NO TEST	4" MAX.
FOUNDATION WALLS			
RETAINING WALLS	4000	6% + 1%	4" MAX.
SPREAD FOOTINGS	3000	NO TEST	4" MAX.
BASEMENT WALLS	4000	NO TEST	4" MAX.
SIDEWALKS, DRIVES, AND ALL CONCRETE EXPOSED TO WEATHER	4000	6% + 1%	4" MAX.
INTERIOR SLABS-ON-GRADE	3500	NO TEST	4" MAX.
SUPPORTED SLABS	4000	NO TEST	4" MAX.
REINFORCING STEEL	FY, PSI	ASTM	
COLUMN TIES, STIRRUPS	60,000	A-615	
ALL OTHER BARS	60,000	A-615	
WELDED WIRE FABRIC	65,000	A-185	

- ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND.
- ALL CONCRETE SLABS-ON-GRADE SHALL BE REINFORCED WITH 6" X 6" W1.4 X W1.4 WELDED WIRE FABRIC OR CONTRACTOR MAY SUPPLY FIBER REINFORCED CONCRETE IN AREAS SCHEDULED TO RECEIVE FLOOR COVERINGS AT DOSAGE RATES ACCORDING TO SPECIFICATIONS. IF FIBER REINFORCING IS USED, CONTROL JOINT SPACING SHALL NOT EXCEED 12'-0" IN ANY DIRECTION.

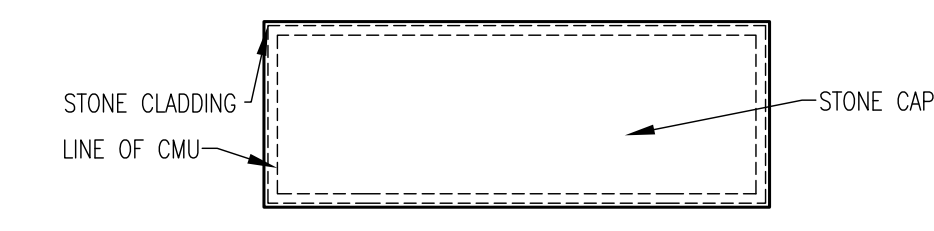
- MASONRY
- MATERIAL PROPERTIES: MASONRY COMPRESSIVE STRENGTH f<sub>m</sub> = 2,000 PSI (PER UNIT STRENGTH METHOD)  
CONCRETE MASONRY UNITS: ASTM C90, 2,000 PSI COMPRESSIVE STRENGTH, NORMAL WEIGHT, TYPE I MOISTURE CONTROLLED UNITS.  
MORTAR: (TYPE S) ASTM C270  
GROUT: 2,000 PSI @ 28 DAYS ASTM C476
  - ALL CONCRETE MASONRY UNIT WALL SHALL BE REINFORCED WITH HORIZONTAL JOINTS REINFORCEMENT EVERY SECOND COURSE FOR RUNNING BOND WALLS AND EVERY COURSE FOR STACK BOND WALLS.
  - PROVIDE THE FOLLOWING TENSION LAP SPLICES FOR ALL BARS UNLESS OTHERWISE NOTED: #3=12", #4=16", #5=24", #6= 42", #7= 60"



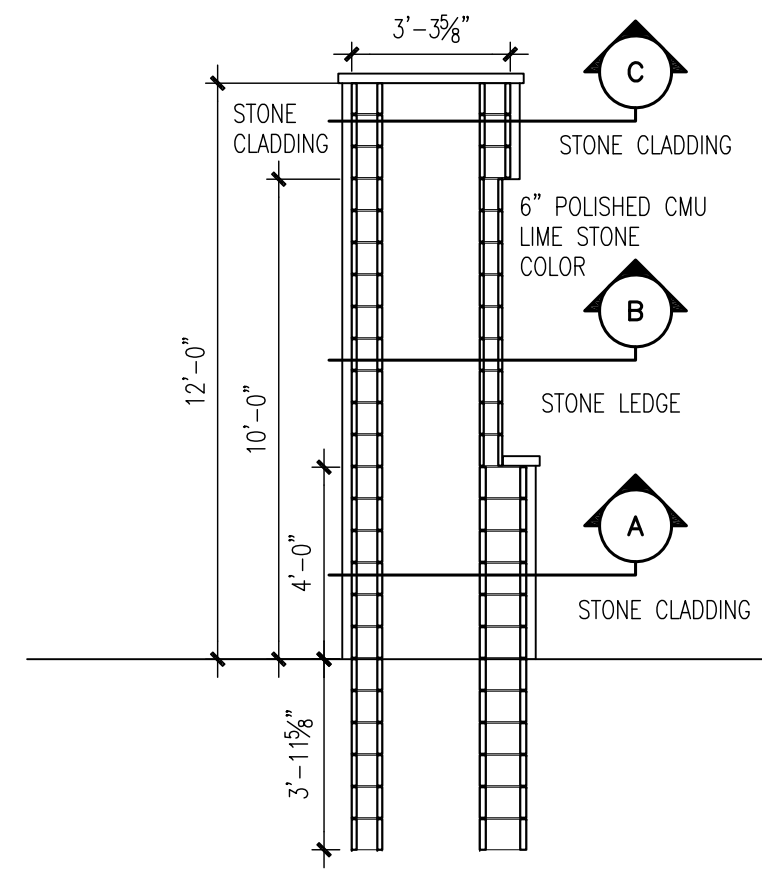
A FLOOR PLAN  
1/4"=1'-0"



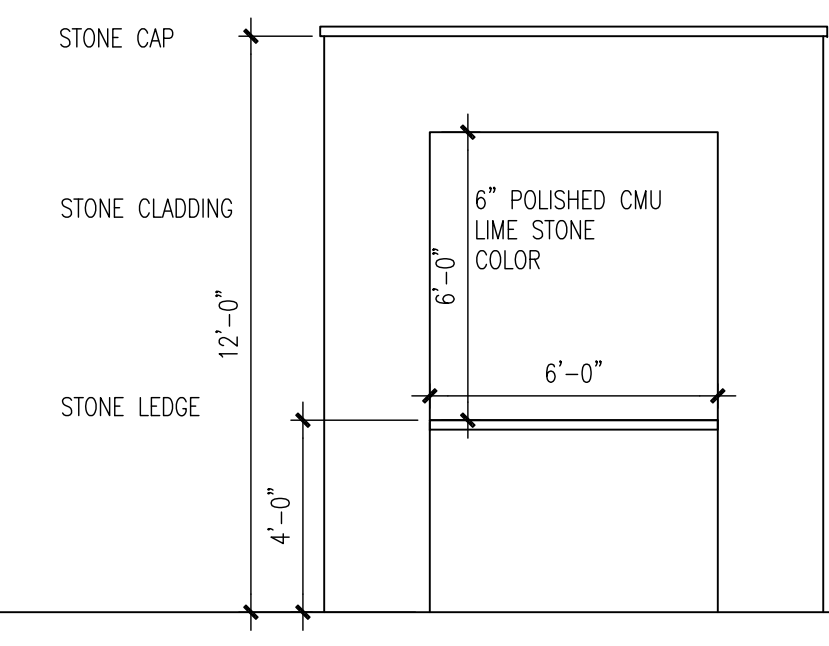
B FLOOR PLAN  
1/4"=1'-0"



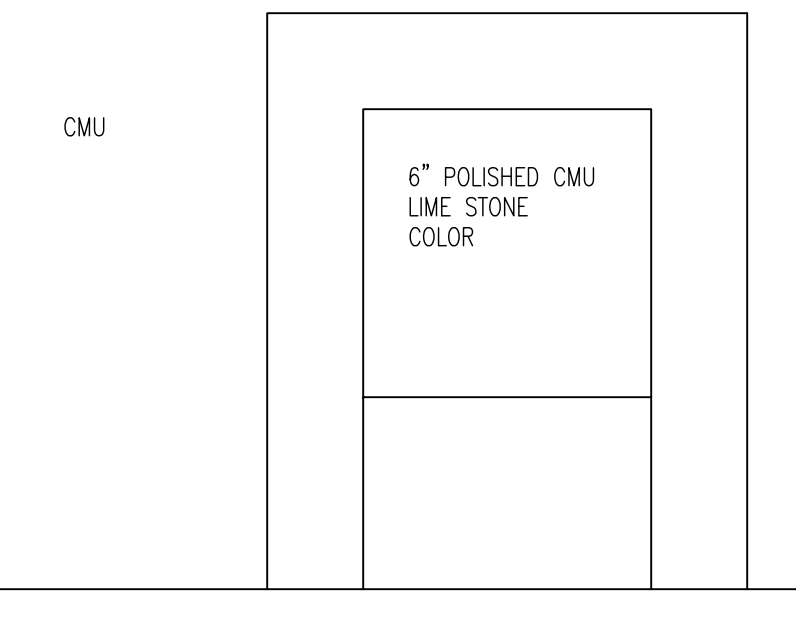
C FLOOR PLAN  
1/4"=1'-0"



H1 SECTION  
1/4"=1'-0"



D1 FRONT ELEVATION  
1/4"=1'-0" WITH STONE



B1 FRONT ELEVATION  
1/4"=1'-0" CMU STRUCTURE

REVISIONS

NO.	DESCRIPTION

PLAN, ELEVATION, DETAILS  
STRUCTURAL NOTES

SWANSON DESIGN STUDIOS  
329 E. CESAR E. CHAVEZ AVE.  
LANSING, MICHIGAN 48906  
WWW.SWANSONDESIGN.COM  
PH: (517) 482-9039  
FAX: (517) 482-9290

PADRE PIO  
3280 CHILSON ROAD  
HOWELL, MICHIGAN

DATE:  
7/28/2020  
JOB NUMBER:  
2020.010  
SHEET NUMBER:  
A1

R Q P N M L K J H G F E D C B A

# **PUBLIC COMMENT CORRESPONDENCE**

The following 108 pages contain public comment correspondence received by the Planning Commission for both the February and March meetings.

## Kelly VanMarter

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**From:** Leslie Bohnett <lbohnnett@hotmail.com>  
**Sent:** Friday, February 5, 2021 4:57 PM  
**To:** Kelly VanMarter  
**Subject:** Proposed development for 3280 Chilson Rd

Dear Planning Commission,

As a home owner at 3367 Chilson Rd, and two homes south of the proposed church on Chilson Road, I have several concerns I want to express regarding rezoning proper and the construction of a church.

- 1) The proposed site for the church is located in a rural and agricultural area. I strongly feel as though this is an incorrect location to build a church.
- 2) I am concerned about the increased traffic for church activities. In September there was an event on this proposed site, the traffic was congested and vehicles were parked on the side of the road. In addition, some people missed the entrance to the event and used my driveway as a turn around (I have a circle driveway).
- 3) I understand the church wants to erect a bell tower and ring the bells every hour on the hour. I definitely do not want to hear a bell every hour every day. It is bad enough to hear the sirens and gas blow off at the gas plant behind me. Even the churches with bell towers in downtown Howell do not ring the bells hourly.
- 4) I also understand there are future plans for this property. The owners of this land want to create a campus with a hospital, rehabilitation center, medical school, and research facility. Again, this is a rural and agricultural area and I strongly feel it is extremely inappropriate to have these facilities located on this 40 acre parcel. We already have several of these types of facilities in Livingston County and do not need more.
- 5) We built our home on Chilson Road in 1996 because this is a quiet, rural, and agricultural area. I do not understand why a church and medical campus would be built in such an isolated area surrounded by homes and farm land.

Please do not rezone this land allowing a church and medical campus to be built.

Sincerely,

Leslie Bohnett  
3367 Chilson Rd  
Howell, MI 48843  
Sent from my Sprint Samsung Galaxy S9+.

March 8, 2021

To: Genoa Township Planning Commission:

Re: Request to Deny Special Land Use Application at 3280 Chilson Road

From: Residents of Genoa Township

Dear Commissioners: Thank you for your community service and representing the interests, laws, codes, and ordinances of the citizens of Genoa Township. We have organized and we are submitting the following facts and citizen positions to request denial of the land use applications by Catholic Healthcare International at 3280 Chilson Road.

**Whereas**, the site commonly known as 3280 Chilson Road and all properties in the vicinity are zoned for agricultural and country estate uses.

**Whereas**, the Genoa Township Master Plan Future Land Use maintains AG and CE zoning.

**Whereas**, the proposed use of a chapel, paved parking lot, and bioswale are substantially different from the existing conditions in the AG and CE zoned areas.

**Whereas**, the proposed use will cause new disruptions such as light pollution, noise pollution, increased traffic, road modifications, after hours use, and similar.

**Whereas**, Genoa Township is a home rule municipality in the State of Michigan, and the planning commission has the right to deny.

**Whereas**, the applicant's proposed development deviates from the township's General Review Zoning Standards and Requirements for special land uses. Article 19 Section 19.03 of the Genoa Township Zoning Ordinance, "The Planning Commission shall require the following general standards shall be satisfied for the use at the proposed location, in addition to specific standards for individual special land uses listed in the districts."

**Whereas**, under Article 19, Section 19.03.01 the applicant's proposed chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes deviates from the township master plan for agricultural and country estate residences for both current and future land use.

**Whereas**, under Article 19, Section 19.03.02 the proposed architectural rendering of the chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes are not compatible with the existing character which is best exemplified by their absence in the vicinity.

**Whereas**, under Article 19, Section 19.03.03 infrastructure is minimal or non-existent in the area and this development will predicate an expansion review of Chilson Road and other utilities.

**Whereas**, under Article 19, Section 19.03.04 the development's impact will create new activities that are detrimental to the surrounding natural environments including the land, water, and livestock by creating excessive production of traffic, noise, glare, storm water run-off or other types of commercial nuisances.

**Whereas**, under Article 19, Section 19.03.05 mitigation is impractical or impossible, including noises from bells, glare from lighting, and increases in traffic in an area underserved by interconnecting roads.

**Whereas**, this petition will document the desire to maintain the agricultural, country estate, rural lifestyle along Chilson Road.

**Whereas**, the applicant has identified this development as a national destination for pilgrimages which will attract an undetermined number of visitors without accommodation.

**Whereas**, this development and its impacts will be permanent.

**Whereas**, we realize economic development is desirable when it is constructed in designated areas zoned to intentionally support it.

**Whereas**, Genoa Township has provided economic development zones of opportunity to support growth while maintaining the traditional rural atmosphere in the region.

**Whereas**, from 2019 to present the applicant has employed a public relations campaign through local Catholic parishes, the media and YouTube promoting plans to construct multiple uses in several phases.

**Whereas**, the property currently identified as 3280 Chilson Road was donated by the Archdiocese of Lansing and is commonly referred to as “The Howell Campus” in the applicant’s messages and materials.

**Whereas**, the applicant’s vision plan for the Howell Campus includes a hospital for this location for which they were denied a Certificate of Need by the State of Michigan in 2019

**Whereas**, the applicant has identified additional multiple uses for the Howell Campus including a rehabilitation facility, a medical school, and a public policy research center.

**Whereas**, the applicant has sought to expand their geographical footprint by contacting neighboring residents to open a dialogue to purchase their property.

**Whereas**, we recognize the applicant’s first amendment rights and hope to blend those with the property rights of all residents within the zoning ordinances of Genoa Township.

**Whereas**, we fully support this multi-phase development and all its various uses within the boundaries of Genoa Township and Livingston County at a different site location where compliant zoning will contribute to economic development in the region.

**Whereas**, the applicant has previously constructed a rustic grotto, altar, trails and undeveloped driveway without obtaining local permits, and recognizing it may be reasonable for the township to bring that into compliance, and recognizing this underdeveloped use may be viewed as somewhat characteristic with the area, we encourage the planning commission to approve the existing structures in “as-is condition” with “shall comply with current zoning language” and prohibit further development and improvements, except those that meet the zoning standards of AG and CE, by means of deed restrictions or similar.

We submit the following sample motions for action in the affirmative:

Motion 1: Move to deny Catholic Healthcare International Special Land Use Applications and Site Plans at 3280 Chilson Road.

Motion 2: Move to request Catholic Healthcare International to submit a Special Land Use Application, renderings, environmental impact study and supporting documents representing the current as-is conditions and request these as-is conditions shall comply with AG or CE zoning and building codes with no further improvements.

Motion 3: Move to authorize administration to seek deed restrictions prohibiting additional improvement or development, except those that comply with AG or CE zoning.

psw

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 1

Printed Name: KEN NETH ZANG  
Address: 1760 CHILSON RD  
Signature: [Signature]

Printed Name: John M. Gregor  
Address: [Redacted]  
Signature: In FL, 3160 Chilson

Printed Name: Alex Clayton  
Address: 1711 Chilson rd  
Signature: [Signature]

Printed Name: RON MUSICO  
Address: 3595 PINEVIEW TR  
Signature: [Signature]

Printed Name: Mary Griffith  
Address: 2650 Chilson Rd  
Signature: [Signature]

Printed Name: KEVIN Mc CONELTY  
Address: 3576 PINEVIEW TR  
Signature: [Signature]

Printed Name: Mik Renae  
Address: 2333 Chilson Rd  
Signature: [Signature]

Printed Name: Machline Johnson  
Address: 3990 Chilson rd  
Signature: [Signature]

Printed Name: ROBERT FISH  
Address: 2303 CHILSON RD.  
Signature: [Signature]

Printed Name: Marilyn Koman  
Address: 3419 Chilson  
Signature: Marilyn Koman

Printed Name: Bonnie Fish  
Address: 2303 Chilson Rd  
Signature: [Signature]

Printed Name: DAVID BONNETT  
Address: 3367 Chilson Rd.  
Signature: [Signature]



Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 2

Printed Name: Jessiah Spraul  
Address: 2099 Chilson rd Howell MI 48845  
Signature: Jessiah Spraul

Printed Name: Zac Kery Barton  
Address: 2601 Oak Meadow Dr.  
Signature: Zac Kery Barton

Printed Name: Derek Spraul  
Address: 2099 Chilson Rd. Howell, MI 48843  
Signature: Derek Spraul

Printed Name: Caitlin Barton  
Address: 2601 Oak Meadow Drive  
Signature: Caitlin Barton

Printed Name: Jonas A Jaskolski  
Address: 2832 Oak Meadow Dr  
Signature: Jonas A Jaskolski

Printed Name: Darrell D Ramos  
Address: 2878 Oak Meadow Dr.  
Signature: Darrell D Ramos

Printed Name: Kathy Jaskolski  
Address: 2832 OAKMEADOW DR  
Signature: Kathy Jaskolski

Printed Name: Trenton Ramos  
Address: 2878 Oak Meadow Dr.  
Signature: Trenton Ramos

Printed Name: Michelle Jaskolski  
Address: 2832 Oak Meadow Dr  
Signature: Michelle Jaskolski

Printed Name: Emily Ramos  
Address: 2878 Oak Meadow Dr.  
Signature: Emily Ramos

Printed Name: Robert N. Adams  
Address: 2785 Oak Meadow  
Signature: Robert N. Adams

Printed Name: Eric Wilkinson  
Address: 3501 Crooked Lake  
Signature: Eric Wilkinson

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 3

Printed Name: Barbara Wikaryasz

Address: 1510 Chilson Rd.

Signature: Barbara Wikaryasz

Printed Name: MARTIN WIKARYASZ

Address: 1510 Chilson Rd

Signature: Martin Wikaryasz

Printed Name: Deb Patmore

Address: 1480 Chilson Rd

Signature: Deb Patmore

Printed Name: Roberta Sallee

Address: 1450 Chilson Rd

Signature: Roberta MSallee

Printed Name: Karen Bailey

Address: 1538 Chilson Rd.

Signature: Karen Bailey

Printed Name: DONNA STUART

Address: 1544 CHILSON Rd

Signature: Donna Stuart

Printed Name: Tecay Lassiter

Address: 1532 CHILSON RD

Signature: Tecay Lassiter

Printed Name: Lorene Lassiter

Address: 1532 Chilson Rd Howell

Signature: Lorene Lassiter

Printed Name: Grace Trudell

Address: 1551 Chilson Rd

Signature: Grace Trudell

Printed Name: Kevin PYBUS

Address: 1555 Chilson Rd.

Signature: Kevin Pybus

Printed Name: RICHARD BARNES

Address: 1677 CHILSON

Signature: Richard Barnes

Printed Name: Cheyl Barnes

Address: 1677 Chilson

Signature: Cheyl Barnes

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 4

Printed Name: Jacqui Flood  
Address: 3912 Chilson Rd  
Signature: Jacqui Flood

Printed Name: Susan Fillion  
Address: 3864 Chilson Rd  
Signature: Susan Fillion

Printed Name: Lucy Petersen  
Address: 2960 Beck  
Signature: Lucy E. Petersen

Printed Name: John Fillion  
Address: 3864 Chilson Rd  
Signature: JF Fillion

Printed Name: Duane Johnson  
Address: 3990 Chilson Rd Howell MI  
Signature: Duane Johnson

Printed Name: Renee Pasko  
Address: 2765 Kings Ct. Howell MI 48843  
Signature: Renee Pasko

Printed Name: ROBERT MORAN  
Address: 3985 Timber Green Ct  
Signature: Robert Moran

Printed Name: Chris Pasko  
Address: 2765 Kings Ct Howell MI  
Signature: CHRIS PASKO

Printed Name: KATHLEE MORAN  
Address: 3985 Timber Green Ct  
Signature: Kathlee Moran

Printed Name: Jon Pasko  
Address: 2765 Kings Ct Howell MI  
Signature: JON PASKO

Printed Name: IAN CAMPBELL  
Address: 3912 CHILSON RD  
Signature: Ian Campbell

Printed Name: JOSEPH SPASKO  
Address: 2265 Kings Ct, Howell MI  
Signature: Joseph Spasko

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 5

Printed Name: DISCHER  
Address: 2358 CHILSON  
Signature: R. Discher

Printed Name: Jessica Baumgardner  
Address: 2828 Chilson Rd. Howell  
Signature: Jessica Baumgardner

Printed Name: Val Cunningham  
Address: 2521 Chilson Rd  
Signature: Howell mich 48843

Printed Name: DONALD RESTADINI JR  
Address: 2768 CHILSON RD 48843  
Signature: Donald Restadini Jr

Printed Name: Lorie Skintley  
Address: 2521 Chilson Rd  
Signature: Howell mich 48843

Printed Name: ALLISON RESTAURI  
Address: 2768 Chilson Rd Howell 48843  
Signature: Allison Restauri

Printed Name: Linda Byer 48843  
Address: 2627 Chilson, Howell  
Signature: Linda Byer

Printed Name: Cris Petersen  
Address: 2960 Beck Rd  
Signature: CR Petersen

Printed Name: NORMAN COLLINS  
Address: 2627 Chilson Rd, Howell  
Signature: Norman Collins

Printed Name: Sarah Petersen  
Address: 2960 Beck Rd.  
Signature: Sarah A. Petersen

Printed Name: Robert Baumgardner  
Address: 2828 Chilson Rd. Howell  
Signature: RB

Printed Name: TOM TAIT  
Address: 1520 Chilson Rd  
Signature: Thomas R. Tait

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the following residents, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 6

Printed Name: KATHRYN WILKINSON  
Address: 3561 CROOKERS LAKE  
Signature: Kathryn Wilkin

Printed Name: Erin Yates  
Address: 2700 OAK MEADOW DR  
Signature: Erin Yates

Printed Name: Jarry Beno  
Address: 2577 OAK MEADOW DR.  
Signature: Jarry Beno

Printed Name: RALPH BERZ  
Address: 3093 PINEVIEW TR.  
Signature: Ralph Berz

Printed Name: Deborah Beattie  
Address: 3109 Pineview Tr  
Signature: Deborah Beattie

Printed Name: Joyce Lehman  
Address: 5269 Pineview Trail  
Signature: Joyce

Printed Name: Lauren Sault  
Address: 3302 PINEVIEW TRAIL  
Signature: Lauren Sault

Printed Name: THOMAS A. JATKOWSKI  
Address: 3414 PINEVIEW TRAIL  
Signature: Thomas A. Jatkowski

Printed Name: Julie Berz  
Address: 3093 Pineview Trail  
Signature: Julie Berz

Printed Name: Jeremy Hamilton  
Address: 1690 Chilson rd.  
Signature: Jeremy Hamilton

Printed Name: Kathy Zane  
Address: 4700 Chilson  
Signature: Kathy Zane

Printed Name: MaryKay Keifer  
Address: 4200 Melburn #  
Signature: MaryKay Keifer

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 7

Printed Name: BRIAN MacARTHUR  
Address: 4075 CHILSON RD  
Signature: [Signature]

Printed Name: RONNIE Monarch  
Address: 4001 S. LATSON  
Signature: (OBTAINED PERMISSION  
By Phone Due to COVID)

Printed Name: VERNEY W. MACARTHUR  
Address: 4075 CHILSON RD  
Signature: [Signature]

Printed Name: Cynthia Monarch  
Address: 4001 S. LATSON  
Signature: (OBTAINED PERMISSION  
By Phone Due to COVID)

Printed Name: Patricia MacArthur  
Address: 4075 Chilson Rd.  
Signature: [Signature]

Printed Name: Sharon L. Galvin  
Address: 4037 Chilson Rd  
Signature: [Signature]

Printed Name: Brian Galvin  
Address: 4037 Chilson Rd.  
Signature: [Signature]

Printed Name: William Galvin  
Address: 4037 Chilson  
Signature: [Signature]

Printed Name: WILLIAM T MONTGOMERY  
Address: 3947 S. LATSON RD  
Signature: [Signature]

Printed Name: Deborah Rattai  
Address: 3901 S. Latson Rd  
Signature: [Signature]

Printed Name: RICHARD RATTAI  
Address: 3901 S. LATSON RD  
Signature: [Signature]

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 8

Printed Name: Leslie Bohnett  
Address: 3367 Chilson Rd  
Signature: Leslie Bohnett

Printed Name: Melissa Dienes  
Address: 2735 E Schlarfer Rd  
Signature: Melissa Dienes

Printed Name: BRAD Humphrey  
Address: 3729 Beattis  
Signature: Brad Humphrey

Printed Name: Jack Kernick  
Address: 4525 GOLF VIEW  
Signature: Jack Kernick

Printed Name: MARK BOSIC  
Address: 2960 FISK  
Signature: Mark Bosic

Printed Name: Sandy Kurz  
Address: 16937 Kestrel Ridge  
Signature: Sandy Kurz

Printed Name: Harry Newton  
Address: 5490 LEZZANAU CT  
Signature: Harry E Newton

Printed Name: Sean McCall  
Address: 5728 Eggert Pl  
Signature: Sean McCall

Printed Name: Clair Sprague  
Address: 5512 Wildwood Dr  
Signature: Clair Sprague

Printed Name: KEVIN RUPP  
Address: 5207 PINE-HILL CIR.  
Signature: Kevin Rupp

Printed Name: Dave Byrum  
Address: 3981 Honors Way  
Signature: Dave Byrum

Printed Name: Julia Zestrew  
Address: 5237 Prairie View  
Signature: Julia Zestrew

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 9

Printed Name: Ralph M Sorley  
Address: 5141 Beck Howell  
Signature: Ralph M Sorley

Printed Name: Chris Fleenor  
Address: 5237 Cherokee  
Signature: Chris Fleenor

Printed Name: Ron King  
Address: 4758 TREASURE LK  
Signature: Ron King

Printed Name: Jinda Mihela  
Address: 12808 Rush Lake  
Signature: Jinda Mihela

Printed Name: Ron King  
Address: 4758 TREASURE LK  
Signature: Ron King

Printed Name: Lynn Jenkins  
Address: 4908 FAIRWAY DR  
Signature: Lynn Jenkins

Printed Name: Peter Vanno  
Address: 6442 Forest Beach  
Signature: Peter Vanno

Printed Name: Fred Vogel  
Address: 6150 Nottingham Pt  
Signature: Fred Vogel

Printed Name: Frieda Young  
Address: 6442 Forest Beach  
Signature: Frieda Young

Printed Name: Lori Johnson  
Address: 4767 Cliffview  
Signature: Lori Johnson


Printed Name: Lisa Rettino  
Address: 2298 East Clear Lake  
Signature: Lisa Rettino


Printed Name: Robert Overmyer  
Address: 4111 Timberview Dr  
Signature: Robert Overmyer




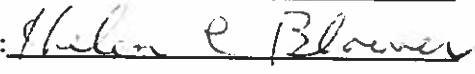
Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).


Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 10

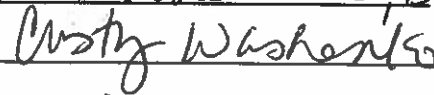
Printed Name: DALE MOORE  
Address: 3720 E. COON LAKE HOWELL 48813  
Signature: 

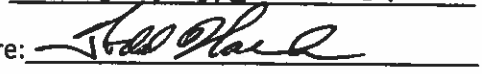
Printed Name: Robert Ry  
Address: 3978 East Coon Lake Rd  
Signature: 

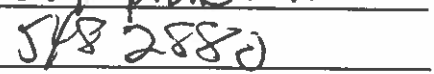
Printed Name: SANDRA L CINGEL-MOORE  
Address: 3720 E. COON LAKE HOWELL 48813  
Signature: 

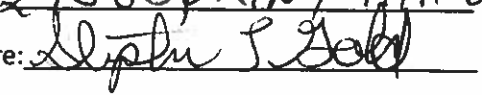
Printed Name: Helen C Blower  
Address: 3809 CHILSON RD  
Signature: 

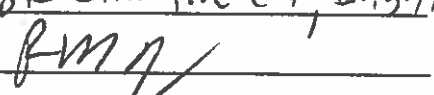
Printed Name: Greg Moore  
Address: 3720 E. COON LAKE RD HOWELL 48813  
Signature: 

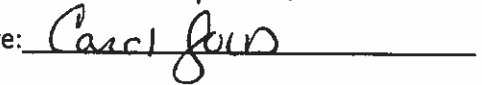
Printed Name: Cristy Washenko  
Address: 5200 WASHAKIE BRIGHTON  
Signature: 


Printed Name: Todd Walker  
Address: 4758 Roundtree Drive 48116  
Signature: 

Printed Name: Tim Olech  
Address: 2339 PRADO VISTA HOWELL  
Signature: 

Printed Name: STEPHEN GOLD  
Address: 2750 SPRING HILL DR  
Signature: 

Printed Name: Robert<sup>14</sup> Ballou  
Address: 4813 OAK TREE CT, BRIGHTON  
Signature: 

Printed Name: Carol Gold  
Address: 2750 Spring Hill Dr  
Signature: 

Printed Name: Harris Johnson  
Address: 5020 Greenbrooke Cir  
Signature: 

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 11

Printed Name: Jeremy Smider  
Address: 3707 Westphal Rd.  
Signature: [Signature]

Printed Name: AL STAWICK  
Address: 3050 CENTENNIAL CT  
Signature: [Signature]

Printed Name: John Heideberg  
Address: 3696 Westphal  
Signature: [Signature]

Printed Name: JASON STAWICK  
Address: 3050 CENTENNIAL CT  
Signature: [Signature]

Printed Name: Robert LAGANA  
Address: 3710 WESTPHAL  
Signature: [Signature]

Printed Name: DANIEL O. KEBERT  
Address: 3154 CENTENNIAL  
Signature: [Signature]

Printed Name: Lynn Lagana  
Address: 3710 Westphal Rd  
Signature: [Signature]

Printed Name: Deborah Kelbert  
Address: 3154 Centennial Ct.  
Signature: [Signature]

Printed Name: SCOTT SHERMAN  
Address: 3743 WESTPHAL  
Signature: [Signature]

Printed Name: PAULETTE SAGER  
Address: 3176 CENTENNIAL CT.  
Signature: [Signature]

Printed Name: Matthew Vitis  
Address: 3823 Westphal Rd  
Signature: [Signature]

Printed Name: RICHARD SAGER  
Address: 3176 CENTENNIAL CT.  
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 12

Printed Name: Jo Hill  
Address: 3131 CENTENNIAL CT  
Signature: [Signature]

Printed Name: MARIA ADAMS  
Address: 4075 SWEET RD.  
Signature: [Signature]

Printed Name: Stephanie Hillebrand  
Address: 3131 Centennial Ct  
Signature: [Signature]

Printed Name: Tony Vitale  
Address: 4100 Seim Rd 48843  
Signature: [Signature]

Printed Name: ALIDA WOLNICY  
Address: 3591 WESTPHAL  
Signature: [Signature]

Printed Name: Kristine Vitale  
Address: 4100 Seim Rd, 48843  
Signature: [Signature]

Printed Name: Karise Clarke  
Address: 3142 Westphal  
Signature: [Signature]

Printed Name: Wendy Castricone  
Address: 4675 Seim Rd  
Signature: [Signature]

Printed Name: Jeremy Clarke  
Address: 3142 Westphal  
Signature: [Signature]

Printed Name: Michael Maloney  
Address: 4075 SEIM RD.  
Signature: [Signature]

Printed Name: James W. Adams  
Address: 4075 SWEET RD.  
Signature: [Signature]

Printed Name: Gene Kihw  
Address: 3649 Nixon Road  
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 13

Printed Name: Edward P. Liddy

Address: 3200 Crooked

Signature: Edward P. Liddy

Printed Name: Brian Schroeder

Address: 4201 Sweet Rd

Signature: [Signature]

Printed Name: Tonya Nester

Address: 3360 Chilson Rd

Signature: [Signature]

Printed Name: Anna Schroeder

Address: 4201 Sweet Rd

Signature: Anna Schroeder

Printed Name: Bill James Jr.

Address: 3534 Crooked Lake

Signature: Bill James Jr.

Printed Name: SiShane Gszko

Address: 4200 Sweet

Signature: [Signature]

Printed Name: Marla James

Address: 3534 Crooked Lk Rd.

Signature: Marla James

Printed Name: Kristina Laszlo

Address: 4200 Sweet Rd.

Signature: [Signature]

Printed Name: MICHAEL BAALAER

Address: 2645 FISK RD

Signature: [Signature]

Printed Name: Todd Hill

Address: 2085 LATSON

Signature: [Signature]

Printed Name: Lucas M Baalaer

Address: 4318 Sweet Rd

Signature: [Signature]

Printed Name: Scott Bozkiwicz

Address: 4010 Swim Rd

Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 14

Printed Name: James Brancheau  
Address: 3611 Westphal Howell 48843  
Signature: [Handwritten Signature]

Printed Name: MICHAEL E. WILLIAMS  
Address: 3654 WESTPHAL, Howell, MI 48843  
Signature: [Handwritten Signature]

Printed Name: DAWN T. WILLIAMS  
Address: 3654 WESTPHAL HOWELL 48843  
Signature: [Handwritten Signature]

Printed Name: KATHLEEN LIDDY  
Address: 3160 Chilson Rd  
Signature: [Handwritten Signature]

Printed Name: Kim Miller  
Address: 3150 Crooked Lake Rd  
Signature: [Handwritten Signature]

Printed Name: PAUL MILLER  
Address: 3150 CROOKED LAKE RD  
Signature: [Handwritten Signature]

Printed Name: DAN ROOSE  
Address: 4350 SWEET RD  
Signature: [Handwritten Signature]

Printed Name: Gail ROOSE  
Address: 4350 Sweet Road  
Signature: [Handwritten Signature]

Printed Name: Tama Rutter  
Address: 4307 Sweet Rd  
Signature: [Handwritten Signature]

Printed Name: TERRY W DOWNIE  
Address: 4307 SWEET R  
Signature: [Handwritten Signature]

Printed Name: Rick MASON  
Address: 4260 SWEET  
Signature: [Handwritten Signature]

Printed Name: Mary Downie  
Address: 4307 Sweet Rd  
Signature: [Handwritten Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 15

Printed Name: Leonard Petty  
Address: 3725 S. Linton Rd  
Signature: Leonard Petty

Printed Name: Melanie Johnson  
Address: 3990 Chilson Howell  
Signature: [Signature]

Printed Name: Stacy Poyser  
Address: 110 S Linton Rd  
Signature: [Signature]

Printed Name: Linda Holland  
Address: 3023 Pardon  
Signature: [Signature]

Printed Name: Forrest Henryson  
Address: 3700 E Coon Lake Rd  
Signature: [Signature]

Printed Name: Robert B Ely  
Address: 3674 Westphal  
Signature: Robert B Ely

Printed Name: Shawn Nestor  
Address: 3360 Chilson Rd  
Signature: [Signature]

Printed Name: MIKE SIAPKOWSKI  
Address: 3535 WESTPHAL RD  
Signature: Mike Siapkowski

Printed Name: Jodie M. Park  
Address: 3529 Westphal Rd  
Signature: Jodie M. Park

Printed Name: Tina Park  
Address: 3529 WESTPHAL RD.  
Signature: [Signature]

Printed Name: GERB BRANCATELLI  
Address: 3611 Westphal Rd  
Signature: [Signature]

Printed Name: Robert B Ely Jr  
Address: 3674 Westphal  
Signature: Robert B Ely Jr

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 16

Printed Name: William Martin  
Address: 4678 Richardson Rd  
Signature: W Martin

Printed Name: Cara Zitterman  
Address: 4701 Richardson Rd  
Signature: Cara Zitterman

Printed Name: Nicole Martin  
Address: 4678 Richardson Rd  
Signature: Nicole Martin

Printed Name: Sarah Frederick  
Address: 4700 Richardson  
Signature: Sarah Frederick

Printed Name: RON STOTLER  
Address: 4337 RICHARDSON  
Signature: Ron Stotler

Printed Name: HOPE J FREDERICK  
Address: 4700 RICHARDSON  
Signature: Hope J Frederick

Printed Name: PHIL ROBERTS  
Address: 3757 BRIGHTON RD  
Signature: Phil Roberts

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: JESSICA BURHRT  
Address: 3757 Brighton Rd  
Signature: Jessica Burhrt

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: MATTHEW ZITTMAN  
Address: 4701 RICHARDSON  
Signature: Matthew Zitterman

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 17

Printed Name: Cynthia Telep  
Address: 3175 Crooked Lake Rd  
Signature: Cynthia Telep

Printed Name: OLAV K. KAUSERID  
Address: 3155 CROOKED LK RD  
Signature: Olav K. Kauserid

Printed Name: STEVE TELEP  
Address: 3175 CROOKED LK. Rd  
Signature: Steve Telep

Printed Name: Lorene Kauserid  
Address: 3155 Crooked LK Rd  
Signature: Lorene Kauserid

Printed Name: SCOTT McLEAY  
Address: 3468 S. LATSON GENOA 48843  
Signature: Scott McLeay

Printed Name: JOHN WIEGAND  
Address: 3293 CROOKED LAKE RD  
Signature: John Wiegand

Printed Name: CHERYL McLEAY  
Address: 3468 S. LATSON GENOA  
Signature: Cheryl McLeay

Printed Name: Susan A. Wiegand  
Address: 3293 Crooked Lake Rd  
Signature: Susan Wiegand

Printed Name: Lincoln Thompson  
Address: 3135 Crooked Lake Rd  
Signature: Lincoln Thompson

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Gayle Merwin  
Address: 3133 Crooked LK Rd.  
Signature: Gayle Merwin

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_



Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 18

Printed Name: Shelley Trapp  
Address: 2925 Kings ct Howell 48843  
Signature: Shelley Trapp

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: William Bradley  
Address: 2930 Kings ct Howell 48843  
Signature: William Bradley

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Judy Bradley 48843  
Address: 2930 Kings ct Howell  
Signature: Judy Bradley

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Lori L. Petralis  
Address: 2344 Chilson Rd  
Signature: Lori L. Petralis

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 19

Printed Name: Matt Markster  
Address: 5321 E Grand Ridge  
Signature: [Handwritten Signature]

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
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Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

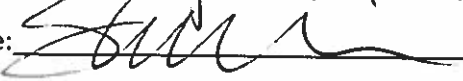
Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 20

Printed Name: Stephanie Proot  
Address: 41400 Brighton Rd  
Signature: 

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
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Printed Name: \_\_\_\_\_  
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Printed Name: \_\_\_\_\_  
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Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
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Signature: \_\_\_\_\_

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Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 21

Printed Name: Cynthia Gruchowski  
Address: 5650 Richardson Rd  
Signature: [Handwritten Signature]

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Bradley Wilson  
Address: 3979 Winterwood Dr  
Signature: [Handwritten Signature]

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: Kar: Jozwick  
Address: 4120 Brighton Rd  
Signature: [Handwritten Signature]

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 22

Printed Name: KEN BERENDT

Address: 4210 CHILSON RD

Signature: 

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: CINDY BERENDT

Address: 4210 Chilson Rd

Signature: 


Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: Jamie Berendt

Address: 4210 Chilson Rd

Signature: 

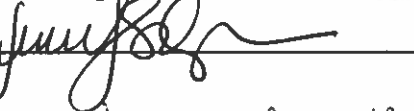
Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: Jennifer Opperman

Address: 493 Cloverview Lane

Signature: 

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: Linda Connolly

Address: 4210 Chilson Rd.

Signature: 

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: Clayton Smith

Address: 3725 East Court Rd

Signature: 

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

**Kelly VanMarter**

---

**From:** St Agnes Church <stagnesfowlerville@sbcglobal.net>  
**Sent:** Monday, March 8, 2021 2:52 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Kelly:

Would you please be so kind as to forward this to the Genoa Planning Commission? It has to do with the Padre Pio Adoration Chapel that is planned for property on Chilson Road. We believe the commission will be entertaining this topic at their meeting this evening at 6:30pm.

Scrolling a bit down on the forwarded message provided by the Catholic Healthcare International, you can see all the buildings enumerated that **will not** be located on the 40 acre Chilson Road parcel.

Hopefully, this information will bring peace and tranquility back to this neighborhood! Peace and God's blessings be with you,

Mariann Brown

Christian Service

St Agnes Catholic Church-Fowlerville

stagnes.christianservice@gmail.com

=====

----- Forwarded Message -----

**From:** Catholic Healthcare International <info@chi-usa.com>  
**To:**  
**Sent:** Thursday, March 4, 2021, 04:56:37 PM EST  
**Subject:**



---

Dear Fr. Nathan,

**We need your help!**

We have our second meeting with the Genoa Township planning commission on Monday, March 8, at 6:30 pm.

A few neighbors are a bit unhappy believing that a large 1,000 bed medical facility and medical school are planned for the 40-acre site. This is not the plan, and in fact, the 40-acre parcel is not large enough nor does not have sewer or water service so that is not a viable option.

The plan is to follow St. Padre Pio's model and follow the call to relieve suffering by relying first on prayer. To do this we began the [Worldwide Perpetual Adoration team](#), connected with and began some Padre Pio prayer groups, and will build a replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell, MI.

We encourage you to share this information. Please copy and paste the image and share it on your social media channels. Let's pray, get the word out, and calm the storms that have been brewing because as St. Pio said, "Pray, hope and don't worry!" and "...agitation never comes from God."

If you live in Livingston County, MI, **please consider sending an email or letter to the planning commission in support of this important project that will bring hope, love, and relief to those suffering.**

- **Email Kelly VanMarter, [kelly@genoa.org](mailto:kelly@genoa.org), or**
- Write to the planning commission: 2911 Dorr Rd, Brighton, 48116, or
- **Virtually attend the [Planning Commission](#) meeting on March 8, 6:30 pm. If you live in the County would be entitled to make a short statement of support, or**
- **Share this email with others in Livingston County - especially those who live near the property and in Genoa Township.**



*To save the image right-click and select 'save as' OR [The image can be shared from our Facebook page](#)*

Please pray the planning commission approves the Adoration Chapel on March 8, and please pray for the neighbors, that they are blessed by this project with prayer, with peace, and with increased property values being within proximity to such a beautiful and serene campus dedicated to Padre Pio's vision.

Thank you for considering being a part of this miraculous initiative. We look forward to sharing more exciting updates in the coming weeks and look forward to working with you to fulfill St. Pio's vision.

May Our Lord heal our world and bless you,

*Jere Palazzolo*



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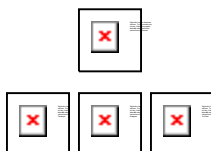
Join the Worldwide Perpetual Adoration team

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PLEASE DONATE

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[www.CHI-USA.com](http://www.CHI-USA.com)



Subscribe to the CHI YouTube Channel

Follow us on Facebook

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[CLICK FOR MORE INFORMATION ABOUT THE YOUNG ST. PIO TOUR](#)

Catholic Healthcare International | 2464 Taylor Road, Suite 317 , Wildwood, MO 63040



[Unsubscribe stagnesfowlerville@sbcglobal.net](mailto:stagnesfowlerville@sbcglobal.net)

[Update Profile](#) | [Customer Contact Data Notice](#)

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## Kelly VanMarter

---

**From:** Michael Gilbert <cmichaelgilbert@gmail.com>  
**Sent:** Monday, March 8, 2021 4:15 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio adoration chapel

Hello Kelly,

I am not able to attend tonight's meetig, but I respectfully request that this email be read during the time of public comment.

I am writing to express my strong support for allowing the Padre Pio adoration chapel to be built on the designated site. It will be a beautiful addition to the life giving culture we have in Livingston County. Thanking you and the planning commission for your consideration and time. Blessings

Rev. Michael Gilbert, LPC  
New Hope Counseling  
Brighton, MI

## Kelly VanMarter

---

**From:** Deb RE <dbre100@yahoo.com>  
**Sent:** Monday, March 8, 2021 1:20 PM  
**To:** Kelly VanMarter  
**Subject:** 3280 Chilson rd property variance

Planning Commission...

My husband and I have owned a home on Chilson for over 30 years, just down the road a piece from the above subject property. We bought the property and continue to own it specifically because of the country atmosphere of the area.

Now a new Chilson rd property owner wants to drastically change the area with a commercial operation.

This commercial operation will be open to the public bringing high volumes of traffic any day at any time of day or night. Noise levels will also increase due to the bell ringing, people attending and increased traffic.

While the above is enough to deny the request for a variance, any type of commercial, public operation does not fit with the rural/country atmosphere that the current residents in the area have come to expect.

We drive Chilson almost daily and have seen new builds and renovations of current properties. We are assuming that those new homeowners, new property owners and those renovating would not have been so quick to buy or renovate had they known the area could instantly contain a commercial operation right in the middle of a non-commercial area.

We also think it is wrong for the new property owners of 3280 to even request a variance here. They have greatly upset the current residents and threatened our peaceful enjoyment of our properties.

We also believe that allowing even one commercial operation will change the Chilson rd area forever setting a precedent for other commercial operations in our rural CE/AG area.

We are strongly against granting a variance.

Thank you for listening.

Deborah Beattie and Alfred Wilder  
3809 Chilson Rd.

## Kelly VanMarter

---

**From:** Kathleen Czuprenski <kaczup@hotmail.com>  
**Sent:** Monday, March 8, 2021 11:13 AM  
**To:** Kelly VanMarter  
**Cc:** Joan Otten  
**Subject:** Adoration Chapel

Dear Kelly VanMarter,

I am sending this to show my support of the Adoration Chapel that is proposed to be built on the 40 acre property on Chilson Rd. This chapel will provide a peaceful place for prayer and meditation for many who are struggling to find peace in this chaotic world. It can only be a positive presence in the community and I hope and pray that it will be approved by the planning commission.

Thank you for your consideration.

Kathleen Czuprenski  
5399 Lynne Dr.  
Howell, Mi. 48843

Sent from my iPhone

## Kelly VanMarter

---

**From:** YAH00 (null) <dnppwhite2@yahoo.com>  
**Sent:** Monday, March 8, 2021 5:11 AM  
**To:** Kelly VanMarter  
**Subject:** Catholic Healthcare International

Dear Ms. VanMarter,

Please consider the plans for the 40 acre site on Chilson Rd. At this time the plan is to build an adoration chapel and have pathways throughout the ground. Which should be a low impact to the area.

Thank you for your time and careful consideration of this site plan.

Sincerely,

Margaret White  
Livingston County Resident  
Sent from my iPhone

## Kelly VanMarter

---

**From:** Shawn Spagnuolo <hsshawnie@gmail.com>  
**Sent:** Sunday, March 7, 2021 10:36 PM  
**To:** Kelly VanMarter  
**Subject:** CHI Project

Dear Ms. Van Marter,

Good evening! I'm writing to ask the planning commission to support the Catholic Healthcare Initiative for a peaceful place of prayer on Chilson Road.

Contrary to what some believe, there is not a plan for a hospital or medical facility to be on that property.

I believe that this project is a wonderful opportunity for the citizens of Livingston County.

Sincerely,

Shawn Spagnuolo

6692 Goldwin Dr.

Brighton, MI 48116

## Kelly VanMarter

---

**From:** Bob Vinton <bandkvinton@att.net>  
**Sent:** Sunday, March 7, 2021 6:54 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio project on Chilson Road

Hello Kelly,

I am writing in support of the Padre Pio project on Chilson Road near Crooked Lake Road. The plan is to build a prayer chapel there with nature trails through the woods, so it will be a nice addition to the township. It will be a quiet facility and most of the nicely wooded property will not be disturbed. Thank you for your assistance!

Also, thank you very much for assisting my son William when he purchased property on Latson Road (near this property). You were very helpful and kind to him.

God bless,

Bob Vinton  
(resident of Brighton Township)

## Kelly VanMarter

---

**From:** Robert Baker <bobcubs52@yahoo.com>  
**Sent:** Sunday, March 7, 2021 6:18 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Chapel

The Plan for this Property is for an Adoration Chapel as I believe first in America. It would be great addition for Genoa Township, making it a very favorable addition to Genoa.  
Thanking for your support.

Robert Baker  
Fairways Dr.  
Genoa 48116



## Kelly VanMarter

---

**From:** Ken Szpond <ken.szpond@gmail.com>  
**Sent:** Saturday, March 6, 2021 5:45 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

Kelly,

Please vote for the chapel. it will be an improvement to the area.

Sincerely,  
Ken Szpond

**Kelly VanMarter**

---

**From:** Rosario Criscuolo <rciscuolo@earthlink.net>  
**Sent:** Saturday, March 6, 2021 11:23 AM  
**To:** Kelly VanMarter

Ms. VanMarter,

My name is ROSARIO CRISCUOLO, I have been a resident of Livingston county since 1985 in Brighton and Genoa Township, I currently live in Pine creek subdivision.

This project should not have any objection to its construction. The mural and the altar will serve as a benefit for all its beauty and private worshiping. As adoration Chapel I feel it will highlight the area that in the past was sparingly used.

Please let the citizens of the area it is a Adoration chapel.

Thank you,

**Rosario Criscuolo**

## Kelly VanMarter

---

**From:** ddelami1 <ddelami1@yahoo.com>  
**Sent:** Saturday, March 6, 2021 9:26 AM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Prayer Chapel

I am asking that the commission let the Padre Pio Prayer Chapel move forward. In this past year of the pandemic, it has shown how vital prayer is needed in all of our lives. Our community, state and country need this blessed grotto to ask for hope in these unsettling times. Please by the powers that be, let them continue to move forward in Padre Pio's name.

God bless all of you.  
Debbie Delamielleure

Sent from my Galaxy

## Kelly VanMarter

---

**From:** Michelle Nist <mnist@comcast.net>  
**Sent:** Friday, March 5, 2021 10:34 PM  
**To:** Kelly VanMarter  
**Subject:** Re: Chilson Road Property

Hello! I am just writing to you in support of the Padre Pio project that is being considered for Chilson Road. I know there was some confusion that there was going to be a hospital actually built in that space, but that is just a future project of the same group and not being considered for that particular property. They are intending for only a small chapel project, walking trails and outdoor grotto for reflection.

I have been to the property and it is already becoming a lovely place to visit and walk. The group intends it to be a simple, peaceful place of prayer and it will undoubtedly increase property values in that area. I have begun volunteering with the group that is working on this property and I feel I can vouch for their good intentions! They will be more than willing to work with the neighbors to make sure any concerns are heard and addressed as they move forward.

You may contact me if you wish! I would be happy to vouch for the good intentions of the group and the people who are making the decisions. They will be excellent neighbors in their endeavors.

Thank you for your time,

Michelle Nist  
Hartland, Michigan  
(810) 210-6303

## Kelly VanMarter

---

**From:** Dudley Miller <dudley.miller2016@gmail.com>  
**Sent:** Friday, March 5, 2021 9:05 PM  
**To:** Kelly VanMarter  
**Subject:** I support the Padre Pio Center

Please don't cancel our hope...

## Kelly VanMarter

---

**From:** Jim Birney <birnejw31@yahoo.com>  
**Sent:** Friday, March 5, 2021 8:42 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

Hello Kelly,

I'm a Brighton Township resident, and am writing to voice my full support for the plans for the Padre Pio Adoration Chapel as presented. At a time when hope and relief of suffering is so desperately needed, this project seems very appropriate and beneficial to our community. I encourage you vote in favor of this initiative.

Kind regards,  
Jim Birney  
11300 Shadywood Dr  
Brighton, MI 48114

Sent from [Mail](#) for Windows 10

## Kelly VanMarter

---

**From:** Mark Santoni <mmsantoni75@yahoo.com>  
**Sent:** Friday, March 5, 2021 6:01 PM  
**To:** Mike Archinal; Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

Greetings Michael and Kelly,

Thank you for allowing me to share my thoughts with you & the Board concerning the potential of the St. Pio Adoration Chapel. As I write, I'm asking for this great Saint to guide & inspire me. I'm not accustomed to voicing my thoughts concerning spiritual matters; and I must admit...it's rather uncomfortable. So, Here it is: You don't need to be Catholic to embrace the "Good News" of the Gospel...all are welcome! We've been asked by this Saint to Pray, Hope & Don't worry. Just imagine friends, family & neighbors in Livingston County, the blessings that are available to us. Our world, our country & our county could use some "Good News" after the pandemic and all the political, social unrest & financial hardships many of us are still facing. This is what I know about the project:

- The Chapel will be beautiful - unobtrusive among the natural setting of lush greenery & protected trees...the kind of breathtaking landscape that drew us all here in the first place.
- It will be a Holy place where quiet, contemplative prayer will define it's very existence.

I'm aware that there were concerns expressed at the Feb. 8th. meeting; as to the South Border tree line, the Bell disruption & the Property Use description: please keep in mind that we're asking solely, for a chapel. I believe these are all details that competent professionals are able to resolve. In closing I'm asking this community to envision this project as an opportunity to promote Faith, Hope & Love!

Thank you for your consideration,

Michelle Santoni  
2418 E. Coon Lake Trail  
Howell, Mi 48843

248-939-1106

## Kelly VanMarter

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**From:** ROBERT LOUIS STORK <treborkrots@sbcglobal.net>  
**Sent:** Friday, March 5, 2021 4:52 PM  
**To:** Kelly VanMarter  
**Subject:** Rezoning Meeting

I have been made aware that there is a lot of objection the Padre Pio project on Chilson.

It seems there is a lot of misinformation regarding the project. I hope the real facts will be made clear at the meeting and rezoning will be approved.

Thank you.  
Lillian Stork



## Kelly VanMarter

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**From:** Supervisor <supervisor@brightontwp.com>  
**Sent:** Friday, March 5, 2021 4:11 PM  
**To:** Kelly VanMarter  
**Cc:** Bill Rogers; annbollin@house.mi.gov  
**Subject:** Padre Pio Adoration Chapel  
**Attachments:** letter.png; plan.jpg

Dear Kelly & Bill,

As a Livingston County resident who cares deeply about our community,  
As a devout Roman Catholic,  
As a Worthy Knight in the Knights of Columbus,  
As a duly elected Township Supervisor in a neighboring municipality,

I encourage the Genoa Township Planning Commission to clear up any misconceptions that the neighbors might have about the planned use of this project.

More importantly, I want to express my enthusiastic support for the Padre Pio Adoration Chapel and encourage you all to vote in favor of this endeavor.

Kind regards,

Patrick Michel  
Supervisor - Charter Township of Brighton  
Chairman, Board of Directors - Southeastern Livingston County Recreation Authority (SELCRA)  
Member, Board of Directors - Brighton Area Fire Authority (BAFA)  
Member, Board of Directors - Livingston Community Water Authority (LCWA)  
[supervisor@brightontwp.com](mailto:supervisor@brightontwp.com)

We need your help!

We have our second meeting with the Genoa Township planning commission on Monday, March 8, at 6:30 pm.

A few neighbors are a bit unhappy believing that a large 1,000 bed medical facility and medical school are planned for the 40-acre site. This is not the plan, and in fact, the 40-acre parcel is not large enough nor does not have sewer or water service so that is not a viable option.

The plan is to follow St. Padre Pio's model and follow the call to relieve suffering by relying first on prayer. To do this we began the Worldwide Perpetual Adoration team, connected with and began some Padre Pio prayer groups, and will build a replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell, MI.

We encourage you to share this information. Please copy and paste the image and share it on your social media channels. Let's pray, get the word out, and calm the storms that have been brewing because as St. Pio said, "Pray, hope and don't worry!" and "...agitation never comes from God."

If you live in Livingston County, MI, please consider sending an email or letter to the planning commission in support of this important project that will bring hope, love, and relief to those suffering.

Email Kelly VanMarter, [kelly@genoa.org](mailto:kelly@genoa.org), or

Write to the planning commission: 2911 Dorr Rd, Brighton, 48116, or

Virtually attend the Planning Commission meeting on March 8, 6:30 pm. If you live in the County would be entitled to make a short statement of support, or

Share this email with others in Livingston County - especially those who live near the property and in Genoa Township.



Catholic Healthcare International (CHI) is pleased to clearly state the vision of the Chilson Rd. Prayer Campus, how it fits into the overall mission, and to clear up the understandable confusion surrounding the project.

While a hospital, medical school, and clinics are still part of the overall mission of CHI, it is NOT our intention - nor would it be physically possible - to build these facilities on the Chilson Rd. campus. Conscious of - and respectful of - the local residents, the Chilson Rd. campus will be ONLY dedicated to prayer as a peaceful and pastoral site of pilgrimage. The prayers from this Chilson Rd. site will support the mission of CHI as it develops in other areas around the country as a beacon of light in healthcare delivery.

Each phase of the mission will be implemented as partners and collaborators come together.

- The Chilson Road prayer campus property was donated to CHI by the Diocese of Lansing. This land was originally intended to build a parish and school. Now, CHI will preserve the natural beauty of this land to provide a peaceful spiritual center. The prayers of the faithful from this tranquil setting will drive the entire CHI vision.
- The Terri Schiavo Home for the Brain Injured unit will be housed in a world-class hospital, funded by donations, to care for the most vulnerable who are suffering from brain injury. **The Home for the Brain Injured WILL NOT be on the Chilson Rd. Prayer Campus.**
- The Home for the Relief of Suffering Hospital will replicate St. Pio's hospital in Italy, the "Casa Sollievo della Sofferenza." **This hospital WILL NOT be on the Chilson Rd. Prayer Campus.**
- The School for the Relief of Suffering Medical School will be a faithfully Catholic medical school. **The Medical School WILL NOT be located on the Chilson Rd. Prayer Campus.**
- Other medical clinics and a foundation for public policy are both long-term goals. **The clinics and foundation WILL NOT be located on the Chilson Rd. Prayer Campus.**

The mission of CHI is huge, but as the doctor who helped St. Padre Pio open the Italian hospital said, "[it] would make us tremble with awe, if it was not inspired by God who is, above all, love!"

*Jere Palazzolo*

President  
Catholic Healthcare International  
Info@CHI-USA.com

Stations of the Cross - painting housing  
Back wall of housing measurements to accommodate size of mounted paintings whether in horizontal or vertical orientation



Horizontal orientation Vertical orientation

STATIONS OF THE CROSS  
(NO SCALE)



STATUE OF PADRE PIO  
(NO SCALE)



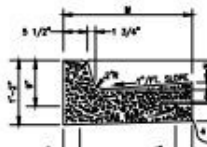
GROTTO SIGN  
(NO SCALE)

NOTE: THE MONUMENT SIGN IS TO GO THROUGH THE DENNA TOWNSHIP SIGN PERMITTING PROCESS PRIOR TO INSTALLATION.



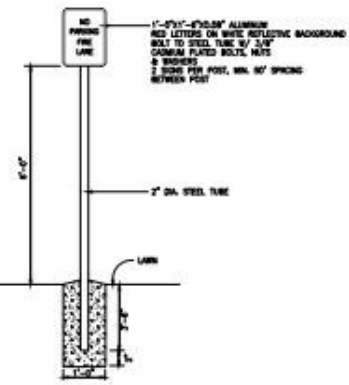
CHILSON ROAD ENTRANCE MONUMENT SIGN  
(NO SCALE)

SCALE: 1" = 50 FEET

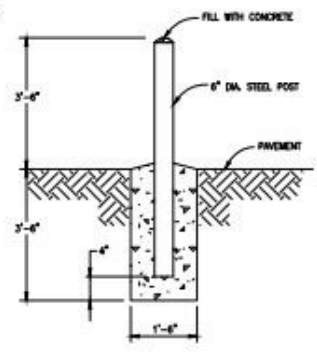


DETAIL	DIMENSIONS	LINE	CONC
1	1" x 1"	1/2" CONC	1/2" CONC
2	1" x 1"	1/2" CONC	1/2" CONC
3	1" x 1"	1/2" CONC	1/2" CONC
4	1" x 1"	1/2" CONC	1/2" CONC
5	1" x 1"	1/2" CONC	1/2" CONC
6	1" x 1"	1/2" CONC	1/2" CONC
7	1" x 1"	1/2" CONC	1/2" CONC
8	1" x 1"	1/2" CONC	1/2" CONC

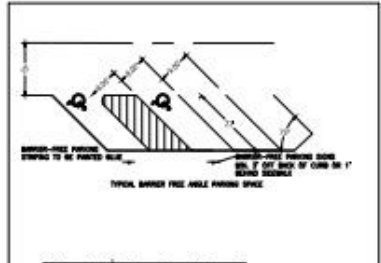
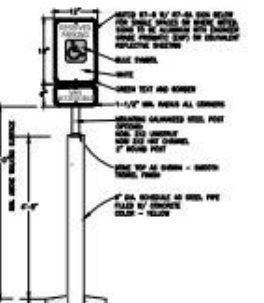
CONCRETE CURB & GUTTER  
TYPE F  
(NO SCALE)



NO PARKING SIGN DETAIL  
(NO SCALE)



ROLLARD DETAIL  
(NO SCALE)



ASPHALT SECTION WITHIN CHILSON ROAD  
(NO SCALE)

1"	MOIST 13A HMA
1"	MOIST 13A HMA
1"	MOIST 214A AGGREGATE
6"	MOIST CL II SAND
1.5"	MOIST 38A
1.5"	MOIST 13A

**Kelly VanMarter**

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**From:** Rosario Criscuolo <rciscuolo@earthlink.net>  
**Sent:** Monday, March 8, 2021 8:29 AM  
**To:** Kelly VanMarter

Ms. VanMarter,

My name is ROSARIO CRISCUOLO, I have been a resident of Livingston county since 1985 in Brighton and Genoa Township, I currently live in Pine creek subdivision.

This project should not have any objection to its construction. The mural and the altar will serve as a benefit for all its beauty and private worshiping. As adoration Chapel I feel it will highlight the area that in the past was sparingly used.

Please let the citizens of the area it is a Adoration chapel.

Thank you,

**Rosario Criscuolo**

## Kelly VanMarter

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**From:** joanne@joanneharper.com  
**Sent:** Friday, March 5, 2021 1:49 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel is Good for Business (March 8, meeting)

Dear Kelly and Genoa Township Members of the Planning Commission,

Thanks for your consideration re: Building the replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell. How fortunate you are to have the land in your township! My family and I have been at the site and think it really has potential to benefit the community, now that the confusion over how the land is to be used is cleared up. This letter is just to express support for the project to be approved.

As a citizen of Livingston County, I submit to you that one good reason to advance the cause of this project is this: The Chapel and prayer trails are good for business! Why? People of faith are taught not to fear! And after traveling to such a place in Genoa, they would "Not be afraid" to visit your wonderful shops and restaurants and spend MORE time and money, because you also offer such wonderful businesses. Many people of faith in our communities think nothing of travelling twenty minutes or an hour or more for a good place to worship around the county. But they do think of quality and convenience! My experience has been that shops and restaurants in Genoa are of such good quality and convenience that travelers drawn to the Adoration Chapel would also find convenience and quality and bring added revenues to Genoa Township.

A second consideration as to why the Chapel and the nature trails is good for business has to do with Real Estate Values, especially those in the neighboring area to the proposed site. It is hoped that the neighbors would be pleased, maybe even relieved, to know the Padre Pio Adoration Chapel and the nature trail would be approved. I must admit, I like the simple plan much better, as well. We've seen a good amount of new construction in Livingston County lately, but we know that such cycles ebb and flow. I'm no economist, but I would hope that the value of the homes in the surrounding area would actually INCREASE in value, simply because of supply and demand—less homes available, therefore when demand is high, values increase. Having a mostly "green space" natural area like this behind a home would certainly seem to be an advantage many of us would seek, love and enjoy. I wonder what would happen to the neighboring families if the Adoration Chapel project did not materialize...What would stop a developer from buying the property in tougher economic times (and some think they may be right around the corner) and developing it to the lowest possible legal zoning requirements at that time? How would that impact the supply/demand and the quality of life in the area in years to come?

In conclusion, I hope (and pray) that you will approve the site as it has been more clearly outlined for us all. Thanks so much for your work to serve the community in these decisions and I hope and pray that the March 8<sup>th</sup> meeting about this topic goes well.

Sincerely,  
Joanne Harper  
(Hartland Township)

## Kelly VanMarter

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**From:** Eric Feiler <efeiler@me.com>  
**Sent:** Friday, March 5, 2021 12:47 PM  
**To:** Kelly VanMarter  
**Subject:** CASA USA Adoration Chapel

Hello Ms. VanMarter,

My name is Eric Feiler and I live close to the site of the proposed CASA USA Adoration Chapel.

The location is ideal for me to spend time in adoration and praying for those who are suffering and I fully support the Chapel project. Apparently there is a misunderstanding that a hospital will be built on the site, which is not the case.

As a neighbor in the area, this ideal site and small chapel will only bring hope, love and relief for those who are suffering.

Please support this project.

Respectfully,

Eric Feiler  
8660 Tamarack Dr,  
Brighton, MI (Hamburg Township)  
48116

## Kelly VanMarter

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**From:** 7435marcus@gmail.com  
**Sent:** Friday, March 5, 2021 12:46 PM  
**To:** Kelly VanMarter  
**Subject:** Adoration chapel

I approve of the Adoration chapel. Please, don't cancel our hope!  
Sent from my iPad



## Kelly VanMarter

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**From:** Gary DeLamielleure <gdel14@comcast.net>  
**Sent:** Friday, March 5, 2021 12:47 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

*With the way our world is changing having a Adoration Chapel in our area would be wonderful. I'm in full support of the Padre Pio Adoration Chapel*

*God, Family, Outdoors*

*Gary S. DeLamielleure  
810.599.4507*

## Kelly VanMarter

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**From:** Ronald Warnat <rwarnat@gmail.com>  
**Sent:** Friday, March 5, 2021 12:25 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

I am in 100% support of this chapel. In this word it is so much more important to take care our spiritual growth.  
This is really Great/

## Kelly VanMarter

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**From:** Ron Garrison <rgarrison@comcast.net>  
**Sent:** Friday, March 5, 2021 10:54 AM  
**To:** Kelly VanMarter  
**Subject:** PADRE PIO CENTER

I support the construction of the Padre Pio Center located in Genoa Township. It is my hope that careful consideration be given to allow the construction of this religious center.

Best Regards,

*Ron Garrison*  
[rgarrison@comcast.net](mailto:rgarrison@comcast.net)  
4779 Island Shore Dr  
Pinckney, MI 48169

March 1, 2021

Genoa Township  
Mr. William Rodgers, Twp. Supervisor  
2911 Dorr Road  
Brighton, MI 48116

Dear Mr. Rodgers and Team,

Our names are Lorraine and Dan Crawford. We moved to Howell in 1998 and we live in Osceola Township off of Gold Club Road.

We are only a mere few miles from the St. Padre Pio Casa Property on Chilson Road. Chilson has always been one of our favorite roads in Livingston County. We are aware of the proposed project of the CHI Team and we support them 100%. We feel very blessed to have such a great location for a tranquil, spiritual escape. The leaders and CHI Team are comprised of members of the utmost integrity. They are being obedient to a God-given calling to see this plan through.

We understand the long-time neighbors near this property have some concerns. Our prayer is they have had a year now to gradually accept there will be some development on a lot that was vacant for years. We also pray they realize the scaled down use of this land as a grotto, walking trails and prayer chapel. Gratefully, there is already a full, mature wall of trees dividing the property line to the side. We're also confident that CHI will listen to any concerns and do their best to address them.

We respect the gravity of all the decisions you have to make for the future of this amazing Township. We encourage you to go forward with the Project and will be praying for your discernment.

Gratefully yours,

*Daniel + Lorraine Crawford*  
2564 Ravine Side South  
Howell, MI 48843

March 8, 2021

To: Genoa Township Planning Commission:

Re: Request to Deny Special Land Use Application at 3280 Chilson Road

From: Residents of Genoa Township

Dear Commissioners: Thank you for your community service and representing the interests, laws, codes, and ordinances of the citizens of Genoa Township. We have organized and we are submitting the following facts and citizen positions to request denial of the land use applications by Catholic Healthcare International at 3280 Chilson Road.

*Whereas*, the site commonly known as 3280 Chilson Road and all properties in the vicinity are zoned for agricultural and country estate uses.

*Whereas*, the Genoa Township Master Plan Future Land Use maintains AG and CE zoning.

*Whereas*, the proposed use of a chapel, paved parking lot, and bioswale are substantially different from the existing conditions in the AG and CE zoned areas.

*Whereas*, the proposed use will cause new disruptions such as light pollution, noise pollution, increased traffic, road modifications, after hours use, and similar.

*Whereas*, Genoa Township is a home rule municipality in the State of Michigan, and the planning commission has the right to deny.

*Whereas*, the applicant's proposed development deviates from the township's General Review Zoning Standards and Requirements for special land uses. Article 19 Section 19.03 of the Genoa Township Zoning Ordinance, "The Planning Commission shall require the following general standards shall be satisfied for the use at the proposed location, in addition to specific standards for individual special land uses listed in the districts."

*Whereas*, under Article 19, Section 19.03.01 the applicant's proposed chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes deviates from the township master plan for agricultural and country estate residences for both current and future land use.

*Whereas*, under Article 19, Section 19.03.02 the proposed architectural rendering of the chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes are not compatible with the existing character which is best exemplified by their absence in the vicinity.

*Whereas*, under Article 19, Section 19.03.03 infrastructure is minimal or non-existent in the area and this development will predicate an expansion review of Chilson Road and other utilities.

*Whereas*, under Article 19, Section 19.03.04 the development's impact will create new activities that are detrimental to the surrounding natural environments including the land, water, and livestock by creating excessive production of traffic, noise, glare, storm water run-off or other types of commercial nuisances.

*Whereas*, under Article 19, Section 19.03.05 mitigation is impractical or impossible, including noises from bells, glare from lighting, and increases in traffic in an area underserved by interconnecting roads.

**Whereas**, this petition will document the desire to maintain the agricultural, country estate, rural lifestyle along Chilson Road.

**Whereas**, the applicant has identified this development as a national destination for pilgrimages which will attract an undetermined number of visitors without accommodation.

**Whereas**, this development and its impacts will be permanent.

**Whereas**, we realize economic development is desirable when it is constructed in designated areas zoned to intentionally support it.

**Whereas**, Genoa Township has provided economic development zones of opportunity to support growth while maintaining the traditional rural atmosphere in the region.

**Whereas**, from 2019 to present the applicant has employed a public relations campaign through local Catholic parishes, the media and YouTube promoting plans to construct multiple uses in several phases.

**Whereas**, the property currently identified as 3280 Chilson Road was donated by the Archdiocese of Lansing and is commonly referred to as "The Howell Campus" in the applicant's messages and materials.

**Whereas**, the applicant's vision plan for the Howell Campus includes a hospital for this location for which they were denied a Certificate of Need by the State of Michigan in 2019

**Whereas**, the applicant has identified additional multiple uses for the Howell Campus including a rehabilitation facility, a medical school, and a public policy research center.

**Whereas**, the applicant has sought to expand their geographical footprint by contacting neighboring residents to open a dialogue to purchase their property.

**Whereas**, we recognize the applicant's first amendment rights and hope to blend those with the property rights of all residents within the zoning ordinances of Genoa Township.

**Whereas**, we fully support this multi-phase development and all its various uses within the boundaries of Genoa Township and Livingston County at a different site location where compliant zoning will contribute to economic development in the region.

**Whereas**, the applicant has previously constructed a rustic grotto, altar, trails and undeveloped driveway without obtaining local permits, and recognizing it may be reasonable for the township to bring that into compliance, and recognizing this underdeveloped use may be viewed as somewhat characteristic with the area, we encourage the planning commission to approve the existing structures in "as-is condition" with "shall comply with current zoning language" and prohibit further development and improvements, except those that meet the zoning standards of AG and CE, by means of deed restrictions or similar.

We submit the following sample motions for action in the affirmative:

**Motion 1:** Move to deny Catholic Healthcare International Special Land Use Applications and Site Plans at 3280 Chilson Road.

**Motion 2:** Move to request Catholic Healthcare International to submit a Special Land Use Application, renderings, environmental impact study and supporting documents representing the current as-is conditions and request these as-is conditions shall comply with AG or CE zoning and building codes with no further improvements.

**Motion 3:** Move to authorize administration to seek deed restrictions prohibiting additional improvement or development, except those that comply with AG or CE zoning.

Respectfully submitted to Genoa Township Planning Commission on this 8<sup>th</sup> day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page \_\_\_\_

Printed Name: GEORGE SLATER

Address: 3846 TIMBER GREEN CT.

Signature: George Slater

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: Deborah Slater

Address: 3846 Timber Green Ct.

Signature: Deborah Slater

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

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Printed Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

## Kelly VanMarter

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**From:** Jerry Tarnacki <gerard.tarnacki@outlook.com>  
**Sent:** Friday, March 5, 2021 9:49 AM  
**To:** Kelly VanMarter  
**Cc:** kathy.tarnacki@gmail.com  
**Subject:** Catholic Healthcare International

Hello Kelly,

We live at 4418 Muirfield Drive at OakPointe and just wanted to share with you that Kathy and I are in favor of this project. We believe it will be a tremendous blessing to our area if the dedicated, faithful, and compassionate people involved are allowed to offer healing and encouragement to those in need.

I'm confident CHI will enhance the already amazing culture we each experience living in Brighton, Howell and Genoa Township. But we shouldn't disregard that there are good people among us that are struggling. Let this be a situation where we consider strongly the benefits of CHI and not the inconvenience of this beautiful mission.

These are challenging times, children and young adults are being improperly influenced by society in ways that I never experienced growing up. It's taking its toll on their health and well-being. What a great opportunity to help them get back on their feet, to live more happily and contribute positively to our society as healed children of God.

At the 1956 inauguration ceremony for the Italian hospital which has influenced CHI, Padre Pio said, "a seed has been sown on the Earth that [God] will warm with the rays of his love... a place of prayer and science." A year later, he noted that at the Casa "patients, doctors, priests shall be reserves of love and when it abounds in one, so it shall be passed to all."

Thank-you for your consideration Kelly and we pray God will guide you plus all those involved in this worthwhile journey.

God Bless,

Gerard Tarnacki  
[jerry@mcrep.com](mailto:jerry@mcrep.com)  
(734) 834-0553





## Kelly VanMarter

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**From:** William Russell <Brussell@selecttitleagency.com>  
**Sent:** Friday, March 5, 2021 9:17 AM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Chapel

Please share with the Board my support for the approval of the Padre Pio Chapel on the Genoa Township property. It will be a quiet place of prayer and adoration that will be a credit to the area. Faithful Catholics of Livingston County are excited and really looking forward to the development of this beautiful area as a place of quiet reflection and prayer.

I hope the Board passes this request.

Thanks,  
(Dcn. Bill OFS)  
William T. Russell  
Attorney at Law  
Select Title Agency  
6870 Grand River  
Brighton, MI 48114  
810-220-1370  
810-220-2094 Fax  
586-942-8722 Cell  
[brussell@Selecttitleagency.com](mailto:brussell@Selecttitleagency.com)

"OREMUS PRO INVICEM"

## Kelly VanMarter

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**From:** gridela.09@comcast.net  
**Sent:** Thursday, March 4, 2021 8:33 PM  
**To:** Kelly VanMarter  
**Subject:** Chilson Road Prayer Campus

Dear Assistant Township Manager,

We have lived in Livingston County most of our lives and have raised our 5 children there. It is a wonderful community and we were excited to hear about the plans for a Chilson Rd. prayer campus.

The idea of a peaceful place to be at rest, pray, and walk with the Lord is simply amazing. We have no doubt that all of Genoa Township would benefit and be blessed by this spiritual center.

We hope and pray the planning commission listens to the facts of the situation and is able to come to a decision to approve the prayer campus. Future generations of Genoa Township residents will reap the benefits for years to come.

Regards,

Paul & Kathy Grisdela  
517-294-1116  
3663 Olde Dominion  
Brighton, MI 48114

## Kelly VanMarter

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**From:** jeanlizak <jeanlizak@comcast.net>  
**Sent:** Thursday, March 4, 2021 7:17 PM  
**To:** Kelly VanMarter  
**Subject:** CHI PADRE PIO PROJECT

I wish to express my support for this wonderful project. Hopefully, the truth about its scope and purpose will calm those who are in a frenzy without cause. I have visited the site and find it to be a place where all are welcome to spend time in a peaceful and beautiful setting.

Please rezone this property so that CHI can continue with it's very meaningful project.  
It will be a positive addition to our community.

Thank you  
Jean Lizak

Sent from my Verizon, Samsung Galaxy smartphone

## Kelly VanMarter

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**From:** Kathy Tarnacki <kathy.tarnacki@gmail.com>  
**Sent:** Thursday, March 4, 2021 6:55 PM  
**To:** Kelly VanMarter  
**Subject:** Health Care International Project

Dear Kelly,

I am writing this email to share my excitement and support for this project! I have seen posts by local residents speaking against it, concerned about things like traffic etc... this would bring to our area and I couldn't disagree more with their objection. Yes, we have medical facilities in our area already, but there is nothing like this available anywhere near us. The uniqueness of this project and the people it would serve would be such a gift to this community, and would become something beautiful that this community supports. I strongly urge all those involved to look beneath the surface of facts and consider the amazing and life changing opportunity this would afford so many. WE are so fortunate we even have the opportunity to have something like this!

Thank you for this opportunity to share my support for this project, Kathy Tarnacki  
4418 Muirfield Dr  
Brighton, MI

## Kelly VanMarter

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**From:** Brenda Ulmer <mag7ulmer@gmail.com>  
**Sent:** Thursday, March 4, 2021 5:08 PM  
**To:** Kelly VanMarter  
**Subject:** St. Padre Pio House on Chilson Rd.

We support this beautiful project and pray that it develops properly into fruition.

Brenda Ulmer and family

**From:** [Duane Johnson](#)  
**To:** [Kelly VanMarter](#)  
**Cc:** [melandduane@yahoo.com](mailto:melandduane@yahoo.com)  
**Subject:** RE: Chilson Chapel zoning change request.  
**Date:** Monday, February 8, 2021 10:02:10 PM  
**Attachments:** [image003.png](#)  
[image004.png](#)

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Kelly,

Please forgive me filling your email. After hearing the applicant's response reacting as though offended and claiming there are no other plans for this site and stating they would like to see the site where the vision includes a hospital and other items, I wanted to supply the link and a pdf of it to you before it got changed.

<https://catholicreview.org/michigan-project-to-replicate-padre-pios-famed-hospital-in-italy-is-underway/>

*"A procession opens a Sept. 23, 2020, Mass during the dedication of 40 acres of land in Howell, Mich., donated for the planned "Casa USA" project. The complex will include a replica of St. Pio of Pietrelcina's famous "Home for the Relief of Suffering" hospital in Italy, an adoration chapel, a medical school and the Terri Schiavo Home for the Brain Injured in the spirit of the Italian saint's devotion to the critically ill and dying. (CNS photo/Richard G. Lim, courtesy Catholic Healthcare International)"*

*The paragraph above is from the site. Set just below a picture.*

*A bit further in the article:*

*"Right now only a small outdoor grotto with a mural dedicated to St. Pio sits on the land, but in the years ahead, there will be a hospital, an adoration chapel, a Catholic medical school and a rehab center named the Terri Schiavo Home for the Brain Injured."*

Kind regards



## Duane Johnson ChFC

### Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : [djohnson@ewmadvisors.com](mailto:djohnson@ewmadvisors.com)

Web : [ewmadvisors.com](http://ewmadvisors.com)

Connect with us :  

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---

**From:** Duane Johnson  
**Sent:** Monday, February 8, 2021 8:34 PM  
**To:** kelly@genoa.org  
**Subject:** Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



**Duane Johnson ChFC**

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**From:** [Kelly VanMarter](#)  
**To:** [Amy Ruthig](#)  
**Subject:** FW: Chilson Chapel zoning change request.  
**Date:** Tuesday, February 9, 2021 10:28:13 AM  
**Attachments:** [image003.png](#)  
[image004.png](#)

---

Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

---

**From:** Duane Johnson [mailto:[djohnson@ewmadvisors.com](mailto:djohnson@ewmadvisors.com)]  
**Sent:** Monday, February 8, 2021 8:34 PM  
**To:** Kelly VanMarter  
**Subject:** Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



### Duane Johnson ChFC

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**From:** [Joseph Pasko](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Comments for the March meeting"s call to the public of Genoa Planning Commission"s proposed religious sanctuary  
**Date:** Tuesday, February 9, 2021 8:23:33 PM

---

We attended the Planning Commission Electronic Meeting on Monday, Feb 8th and after a night of reflection, have a few observations and comments.

The presentations were thoughtful and informative of those seeking to proceed with their project.

When Bishop Earl Boyea graciously donated the parcel, it was, and still is, zoned as agricultural/country estates. When Catholic Healthcare Int accepted the donation, they also accepted this zoning fact. If they had other use plans that do not conform to the zoning conditions, possibly they should have also have equally graciously rejected the donation.

The two individuals who were most in favor of the presented project, spoke of the spectacular quantity and quality of health care that it would bring... I may have missed it but I do not recall hearing an overwhelming desire to use this tranquil parcel for their own quiet prayer and reflection.

The Township's Master Plan of Future Land Use for this parcel as well as those many others nearby, clearly are zoned as Agricultural/Country Estates. What is the purpose of the Master Plan, if projects can be approved that don't seemingly fit this criteria? I've read some of the previous filings regarding the site plan review and although this specific project's impact can technically conform to the zoning requirements I also feel a hint of future use.

The CHI website itself, (<https://www.chi-usa.com/news/latest-news/>) indicates... "Detroit Catholic: Project to replicate Padre Pio's 'Home for the Relief of Suffering' in Michigan" ....

**"HOWELL — On a 40-acre plot of land in Howell**, in the Diocese of Lansing, stands the humble foundation for the establishment of a worldwide network of health care facilities that St. Pio of Pietrelcina set in motion nearly 70 years ago.

In 1956, the saint better known as Padre Pio founded "Casa Sollievo della Sofferenza," or the "Home for the Relief of Suffering," in San Giovanni Rotondo, Italy. The Casa is a world-renowned Catholic international research hospital serving the poor and destitute, and today houses up to 1,000 patients.

Of everything he did on earth, Padre Pio once said, this was the most important. It was his dream the project would one day expand and reach other parts of the world.

**That day has now come.**

Thanks to the vision, faithfulness and tenacity of several Catholic health care organizations, individuals and the patronage of Lansing Bishop Earl Boyea, **the Howell project**, known as "Casa USA," **seeks to duplicate St. Pio's hospital complex** for the first time outside of Italy, including an exact replica of the great Capuchin saint's original friary church.

Though the idea has been in the hearts and minds of many for decades, the physical establishment of the campus began when Bishop Boyea donated **a 40-acre plot of land for the cause.**

**While the land remains empty now with the exception of a small outdoor grotto with a mural**

**dedicated to St. Pio, in the years ahead, it will hold not only a hospital, but an adoration chapel, a Catholic medical school and the "Terri Schiavo Home for the Brain Injured," a rehab center for those with severe brain injuries. .... "** ( emphasis is mine )

I feel that this may be more than just a hint and I cannot wrap my mind around the fact that the actual use of this parcel would be for agricultural/country estate purposes.

The Master Plan's introduction states among, other things, "The implementation of the policies and actions of this plan will help insure that Genoa Township remains a desirable community in which to live, work or visit by allowing residents"....."make investments with a reasonable expectation of what will happen in the future. **It is of extreme importance to emphasize those qualities of the Township identified by residents, businesses and property owners as highly desired."**

I feel bad that CHI is facing a great deal of opposition, but the problem may be of their own making.

We vehemently oppose this project and urge the Board to do so also.

Joseph & Renee Pasko  
2765 Kings Ct  
Howell, MI

**From:** [Mel and Duane](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** 3280 Chilson, chapel  
**Date:** Thursday, February 18, 2021 8:36:40 AM

---

To my planning representatives:

I urge you not to begin this process due to the subversive nature of the presentation by CHI on February 8th

CHI represented 'At this time, there are no "plans"...' You need to understand their vision they intend to pursue. Below I have provided some information to aid in helping you understanding CHI's vision. As a member of this committee you have the sole responsibility to represent the interests of this community, and we say no thank you.

CHI's vision:

1) Published December 4, 2020 appeared on the Detroit Catholic web site:

"The Howell campus is a massive undertaking and it will take years to complete, but Palazzolo and his team have broken it down into phases"

2) "DONATIONS are greatly appreciated and much needed to move forward with the Padre Pio Shrine and Hospital. Please pray about how you can help and click on the link to donate online."

Phase 1: Building the Grotto and Adoration Chapel (with a list of current needs)

Phase 2: The Terri Schiavo Home for the Brain Injured.

<https://stjosephhowell.com/padre-pio-prayer-ministry-and-shrine-info>

3) The chapel will be at the heart of the new hospital complex.

<https://www.dioceseoflansing.org/news/prayers-new-catholic-hospital-michigan>

4) "The initial Casa USA will incorporate all three pillars in a single comprehensive campus." Interestingly a chapel is not one of the three pillars. (See attachment below.) "The first pillar of the Casa USA program is the establishment of a truly faithful Catholic physician practice network. The second pillar of the program is the replication of the Casa Sollievo della Sofferenza hospital in the United States. The third pillar is the development of a truly faithful Catholic medical school to provide formation of physicians and ancillary healthcare professionals to practice as faithful Catholics in this ever more secular country of ours."

This site, by definition cannot suit CHI's needs. <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC5375596/>

5) The 'Campus will include a replica hospital, shrine, medical school and a network of physician practices'

<https://www.youtube.com/watch?v=HTvRw0rRcIE>

6) Jere Palazzolo, President of CHI communicates... (in the following video) 'There will be a replica of that Casa hospital, chapel, medical school for the Relief of Suffering, a shrine for pilgrimage, and a call to help build this chapel to create this foundation of prayer and then move on with the rest of our vision.'

<https://www.youtube.com/watch?v=aF0DV3PyE24>

7)

1) A replica of St. (Padre) Pio's "Home for the Relief of Suffering" hospital in Italy

2) A fully faithful Catholic medical "School for the Relief of Suffering" in the charism of St. Pio

3) A network of faithful Catholic medical clinics and physician practices

4) A "Santa Maria delle Grazie" Pilgrim Shrine, a replica of the Church in San Giovanni Rotondo, Italy where St. Pio celebrated Mass daily for his spiritual children

5) A regional network of formally chartered Padre Pio Prayer Groups providing foundational prayer support for the success of the Casa USA vision

6) A Perpetual Adoration Chapel for pilgrims to pray for this inspired apostolate  
[https://www.youtube.com/watch?v=lwrw\\_UzhKSo](https://www.youtube.com/watch?v=lwrw_UzhKSo) The above list and more information is listed below the video.

8) This YouTube video is very long but very specific in clarifying their mission, which begins at about the 30 minute mark, and is also one of the 1st mentions of a Chapel and not a, hospital. "Quickly" move to Phase 2, build the Terri Schiavo care unit, and then Phase 3 a hospital that can teach Catholic care practices; the Terri Schiavo care unit may then be moved inside of the hospital. This video begins at the property to hold all these facilities, 3280 Chilson. <https://www.youtube.com/watch?v=ob6Wy9VLRO8>

9) CHI is one of the largest health care systems in the country maybe the world with billions of dollars easy to "change" direction of this community.

10) In 2018 CHI applied for a 200 bed hospital, The Home for the Relief of Suffering and was denied by the State.

(I was unable to find my source when putting this information together)

May I also remind you that the only two supporting voices of the February 8th web meeting lived outside of Genoa Township; both of whom referred to this site as a hospital. That clearly demonstrates the message CHI has delivered from the pulpit, is the opposite of what they delivered to us in their presentation (Feb 8, 2021). Discussions on social media have many people talking about this site almost exclusively as a hospital/hospice, we don't need to ask where they got their information. In the closing of that meeting a CHI representative said "you can put it in writing there will be no medical facilities at this site." Does not include there will be no medical school, or rehab per say.

You should not just vote on the proposal in front of you, thereby setting a precedent!  
Keep the zoning that is contained in the Master Plan. No Special Use should be allowed!

Sincerely,  
Melanie Johnson  
3990 Chilson Road



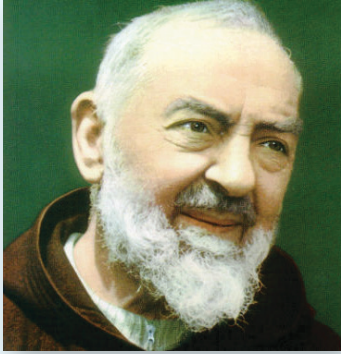
# † CATHOLIC HEALTHCARE INTERNATIONAL

*Uniting Healthcare with Holiness to Relieve Suffering*

WWW.CHI-USA.COM

FALL / WINTER 2020

## Padre Pio's Hospital In The USA...



On October 1st, 2009 this Vatican-owned hospital executed a formal Collaboration Agreement with Catholic Healthcare International (CHI) to replicate Padre Pio's hospital, called the "Home For The Relief Of Suffering", in the United States...as a "Beacon of Light" in a secularized culture which continues to slip further each year from its Christian foundation.

Padre Pio is a very famous contemporary saint, who continues to touch many lives with miracles even today. He was a Capuchin friar who bore the five wounds of Christ, a confessor, a miracle worker, a saint, and the founder of the Casa Sollievo Della Sofferenza (His "Work") in Italy.

Padre Pio's Casa is a world renown international referral hospital, considered one of the best in its class. It is also a model of truly faithful Catholic healthcare delivery in a very secular world.

As Padre Pio said, we will build a "Cathedral of Love", "A Clinic for the Body & the Soul", to serve the "Twice Jesus" in the poor and the sick. The Casa USA will be the fruition of the long awaited vision expressed by the Director originally chosen by Padre Pio to build his hospital in Italy:

*"The Casa Sollievo Della Sofferenza should therefore be the first link in a great chain. It should be the model for many other innumerable Casa's with the same name and above all the same spirit, which must bring love to all of humanity. A program which would make us tremble with awe if it was not inspired by God who is above all Love!"*

-Dr. Guglielmo Sanguinetti 1950



Casa Sollievo Della Sofferenza in San Giovanni Rotondo, Italy

## ...& A Faithful Catholic Medical School Too!

Just as the Casa USA hospital will be a "Beacon of Light" and model of truly faithful Catholic healthcare deliver in our ever-secular society, a similarly faithful medical school is needed to train Catholic physicians to practice faithfully amid the challenges they will face in the world.

We will develop a Catholic medical school that is completely faithful to the Magisterium of the Catholic Church and obedient to the Bishops in all matters of faith and morals.



### CASA USA THREE PILLAR VISION

It will be a haven for Catholic medical professionals seeking to arm themselves with the tools to practice in Truth.

*Join the first ever*

## Worldwide Perpetual Eucharistic Adoration Program

*A truly groundbreaking Church-wide initiative in the charism of St. Padre Pio*



CHI-ADORATION.COM

**Uniting Catholics to spiritually support Padre Pio's Home for the Relief of Suffering... One is coming to the United States!**

Many more people are needed to have 24/7 prayer to support the Casa Hospital in Italy & the proposed Padre Pio Shrine and Casa Hospital in Howell, MI.

Adorers who register will commit to adding Padre Pio's Hospital in Italy & our Casa USA initiatives to their intentions as they pray before the Blessed Sacrament.

*The registration takes only two minutes and people can add times, change times and remove themselves from the schedule easily.*



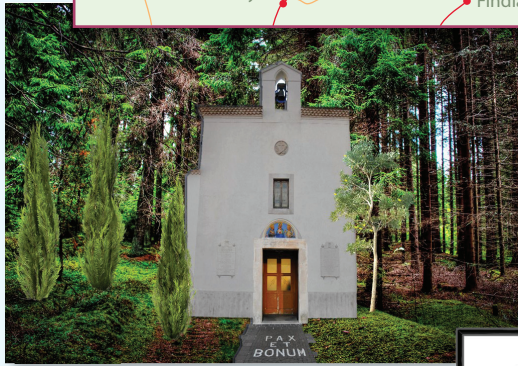
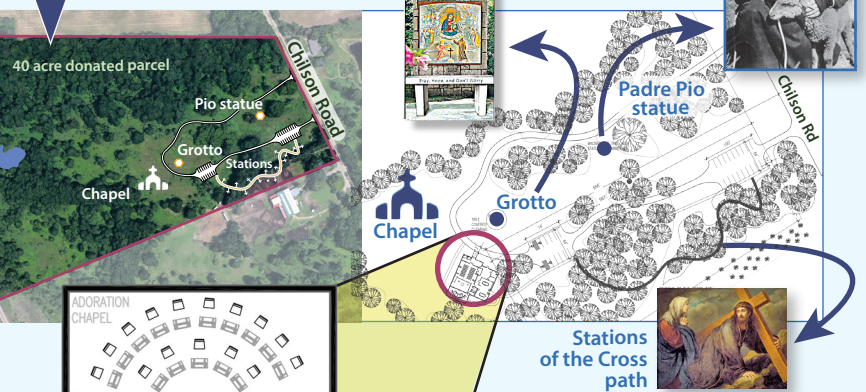
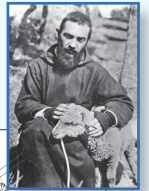
Cardinal Raymond Burke encourages you to join this inspired vision!

# It is Time



The plans are in place...  
The renderings have been drawn...  
We are ready to go with **Phase 1**

## St. Pio Perpetual Adoration Chapel



\$5 Million is needed to build a replica of the original friary Church in Italy as our **St. Pio Perpetual Adoration Chapel** on the land donated by Bishop Boyea in Howell, MI.

Please give a tax deductible donation to complete Phase 1  
**We need your help**  
WWW.CHI-USA.COM



*"That is the goal of the Work:  
To care for the body to arrive at the soul."*  
- Padre Pio

## St. Pio Perpetual Adoration Chapel on Casa USA Campus

A couple of anonymous donors have generously committed to underwrite the construction of an outdoor grotto on the land donated to us by the Diocese of Lansing for our Casa USA campus in Howell, Michigan. The grotto will highlight a shrine to St. Padre Pio, and will also feature originally commissioned Stations of the Cross by American artist Joseph Chovan, which will illustrate Padre Pio accompanying Jesus in His Passion on His journey to Calvary. We are tentatively planning to christen the grotto on September 23rd, 2020 as a part of our celebration of the Feast of St. Pio. Please mark your calendar and plan to join us personally.



### Phase 2

**Terri Schiavo Home for the Brain Injured** is being planned and collaborated with a World-Class Rehab Center that will bring the dream of Bobby Schindler, brother of Terri Schiavo and Founder of the Terri Schiavo Life & Hope Network, to implement a safe-haven center for patients with traumatic brain issues like his sister to a reality. Please pray for the speedy implementation of this greatly needed and integral part of our Casa USA mission.



## Kelly VanMarter

---

**From:** ranger425@aol.com  
**Sent:** Sunday, February 21, 2021 10:18 AM  
**To:** Kelly VanMarter; whatsnext4u@yahoo.com  
**Subject:** Proposed Building project by Catholic Healthcare International on Chilson road, Genoa Twp.

To Whom it May Concern:

I did a little research on the Internet and discovered that the Catholic Healthcare International project is based on a similar large project in Italy. The Italian model, for which the proposed Genoa Twp project will mirror, is a very large operation that includes a medical school conducting Stem Cell research, clinical research for new and experimental drugs and other scientific research. My concern is; this project is totally in the wrong area, rather than serving an area where these services are needed it is located in an area where these concerns are already provided for by universities. The addition of this project in this area represents an "needless over-supplying" with no apparent benefit for the residents of Genoa Twp. Long story short; we have enough hospital beds, we have enough research facilities in the form of 3 world class medical universities within a 50 mile radius, and most importantly the location is AGRICULTURAL/RESIDENTIAL. It is my opinion that the reason for locating this project here in Genoa is the fact that the proposed building site has been DONATED by the Catholic Church. This proposed project represents a shift in the peace and tranquility of the farming and residential area that is neither wanted nor needed by anyone other than Catholic Healthcare International.

Robert Lagana, 3710 Westphal road, Howell, Michigan 48843 517294-1211

## Kelly VanMarter

---

**From:** Nancy Duey <nduey@stpatchurch.org>  
**Sent:** Thursday, February 25, 2021 3:09 PM  
**To:** Kelly VanMarter  
**Subject:** Proposed CASA USA Chapel

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello,

I would like to share my support for the beautiful opportunity for the Padre Pio Adoration Chapel to be built on the current available land located in Howell. I have stopped by there on a few occasions simply to find peace and pray and it is a wonderful location to do just this. I hope that the plans will move forward and that all resistance to this effort be removed.

Thank you,

Nancy Duey  
Howell Resident

--

Nancy Duey  
Director of Evangelization  
St. Patrick Parish  
810-229-9863 ext. 203

*Joy is a net of Love by which you can catch Souls.*

*Saint Teresa of Calcutta*

**From:** [John Coon](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** In Support of the Padre Pio Adoration Chapel  
**Date:** Friday, February 26, 2021 3:10:06 PM

---

Dear Commissioner VanMarter,

I am a long-time resident of Livingston County, with 23 years in Brighton. Our family loves the whole Brighton-Howell area. It is a fantastic place to raise a family and have a good life.

I want to support you by encouraging you to say yes to the proposed Padre Pio Adoration Chapel. This is a fantastic opportunity to bring authentically virtuous culture to our community. Padre Pio is honored by hundreds of thousands in our Western world. He is a man of peace and great charity. Not only our local residents will enjoy such a development, but people who honor this man from far off would be happy to visit our community and see that it is a wonderful place. Please offer your support with confidence, knowing that much good may be accomplished by your doing so. Thank you for your kind consideration.

Feel free to contact me if you would like to discuss further.

Kind regards,  
John Coon,  
248-303-0344

## Kelly VanMarter

---

**From:** terkim99@yahoo.com  
**Sent:** Saturday, February 27, 2021 10:27 AM  
**To:** Kelly VanMarter; aoreilly@CHI-USA.com  
**Subject:** Catholic Healthcare International Prayer Chapel

Dear Genoa Township Board,

Greetings! I am writing to you today regarding the proposed building site at 3280 Chilson Rd. It is my understanding that Catholic Healthcare International (CHI) is requesting permission to build a Eucharistic prayer chapel and prayer-trails on the property. I also understand that neighbors and people in the community have concerns about the proposed building. I would like to give my opinion, as a person who lives in the community (2.8 miles from the site).

I frequently travel right by the building site, on my way to downtown Howell. Since Latson Rd. has opened, I find taking Chilson is less busy and rather peaceful. I enjoy the scenic ride down this particular section of Chilson, with its rolling terrain and farmland. I understand the concern about putting a public facility on the property that is residential and beautifully peaceful, however, I really feel that the chapel and prayer trails would not diminish the ambiance of the area.

As a Catholic, I understand what a Eucharistic chapel is. It is a place where people worship our Lord, in the Eucharist. People come to the chapel to pray. These types of chapels are typically extremely quiet, as people in the chapel are in quiet and contemplative prayer. Basically, the unspoken rule is to not make a peep when you enter the chapel, out of respect for other people praying and for our Lord. There generally is never any chit-chat or conversations in the chapel.

I describe this so that you can understand that the chapel would likely be a very quiet and not-much-inhabited facility. I'm not sure if CHI would ever hold mass in the chapel (I guess it depends on the size of the chapel), but during normal hours, I can assure you that the chapel would likely have few people in it and would definitely be quiet.

The trails would also likely be relatively quiet and not very busy. My husband and I took a drive to the property in the fall and we had a wonderful and peaceful time, enjoying nature and praying as we went. It is already beautiful there.

My husband and I fully support the CHI endeavor proposed for 3280 Chilson Rd. We feel it would be a wonderful benefit to the Catholic community and it would be a wonderful and peaceful addition to the neighborhood. I can assure the neighbors that there would hardly be a disruption to what is already there...nature! I would also urge the neighbors to consider what might end up going on the property, which could be worse.

If the property were to be subdivided and a subdivision were to be put there, the noise, traffic and chaos could potentially be bad. Likewise, if in the future, a different owner were to approach the Board about putting a different commercial facility on the site, the property would be 1000-

times worse regarding traffic and chaos! If you consider Chilson Rd., near Brighton Rd., it is commercial and it has a lot of traffic traveling through the area. Think Vic and Bob's on a Saturday in the peak camping season of the Summer! I'm sure the neighbors would not like that scenario, and would much prefer a quiet little chapel with a handful of beautiful trails.

I urge the Board to please consider this wonderful opportunity to offer a place of worship to the community while also preserving the beautiful nature of Chilson Rd. It really is a win-win situation for the community. I will be praying for the success of the project. If I could be of any further assistance in this matter, I would be happy to help.

God bless you and thank you for serving our community.

Sincerely,

*Kim Lamb*

517 304-1524

5450 Richardson Rd. Howell, MI 48843

## Kelly VanMarter

---

**From:** Janell <rpharbaugh@att.net>  
**Sent:** Monday, March 1, 2021 9:34 AM  
**To:** Kelly VanMarter  
**Subject:** Re: Padre Pio Chapel at 3280 Chilson Road

Thank you.

2685 Ravineside Lane North  
Howell, MI 48843

Janell Harbaugh

> On Mar 1, 2021, at 9:03 AM, Kelly VanMarter <[kelly@genoa.org](mailto:kelly@genoa.org)> wrote:

>

> Received. Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

>

> -----Original Message-----

> From: Janell [mailto:[rpharbaugh@att.net](mailto:rpharbaugh@att.net)]

> Sent: Sunday, February 28, 2021 8:58 AM

> To: Kelly VanMarter

> Subject: Padre Pio Chapel at 3280 Chilson Road

>

> Genoa Township Planning Commission and residents,

>

> Thank you for your consideration in the approval of this serene place of reflection that the proposed chapel and trails would afford in Genoa Township.

>

> I understand that there are no plans for larger construction, as the property is not large enough to accommodate a hospital and/or university.

>

> The property does offer plenty of nature that will be preserved and appreciated for its abundant peace. It will continue to be a benefit to neighbors and the community; indeed more so as a maintained natural space.

>

> Thank you,

> Janell Harbaugh

>

>

**From:** [Mary Anne Bastian](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Proposed Padre Pio Adoration Chapel  
**Date:** Monday, March 1, 2021 3:21:43 PM

---

Hi Kelly,

I am writing to express my support for the proposed construction of the Padre Pio Adoration Chapel in Genoa Township. The proposal is for a beautiful adoration chapel on a 40 acre property, surrounded by groomed walking trails with prayer stations which will be open to the public. The whole concept is for a peaceful, prayerful place for people to go for rest and spiritual rejuvenation.

Unfortunately, there seems to be a misunderstanding about what is planned for the property and how that will impact the neighbors. A proposed hospital and medical school are not planned for this location would not fit on this property . What will be built, if approved, would have minimal impact on the neighbors and I believe those in charge will do everything they can to be good neighbors as shown at the last meeting with their agreement to accept the requests of the neighbors to add trees along the property line, limit the ringing o the bell, add security measures and provide an operation plan.

I would like to request and recommend a positive vote for approval of this project, which will benefit all those in the area.

Sincerely,

Mary Anne Bastian  
Brighton, MI

--

Mary Anne Bastian  
Director of Faith Formation  
Holy Spirit Catholic Church  
9565 Musch Road  
Brighton, MI 48116  
810-231-9199 ext. 209  
FAX 810-231-6129

## Kelly VanMarter

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**From:** Leslie Bohnett <lbohnnett@hotmail.com>  
**Sent:** Tuesday, March 2, 2021 6:11 PM  
**To:** Kelly VanMarter  
**Subject:** FW: Proposed development for 3280 Chilson Rd

Dear Planning Commission,

As a home owner living at 3367 Chilson Rd, and one home south of the proposed chapel on Chilson Road, I have several concerns I want to express regarding rezoning proper and the construction of a church.

- 1) The proposed site for the chapel is located in a rural and agricultural area. I strongly oppose the rezoning of this land. This is an incorrect location to build a chapel and future hospital. This land needs to remain as a designated agricultural area.
- 2) I am concerned about the increased traffic for chapel activities. On September 23, 2020, there was an event on this proposed site, the traffic was congested and vehicles were parked on the side of the road. In addition, some people missed the entrance to the event and used my driveway as a turn around (I have a circle driveway).
- 3) I understand the chapel wants to erect a bell tower and ring the bells every hour on the hour. I definitely DO NOT want to hear a bell chime every hour every day. It is bad enough to hear the sirens and gas blow off at the gas plant behind me. Even the churches with bell towers in downtown Howell do not ring the bells hourly. I feel it is very disruptive to everyone who lives by the chapel to constantly hear the bells chime. I live one house away from this proposed site and it is too much.
- 4) I also read a news article published by the Catholic Healthcare International that a grotto,, chapel and hospital WILL BE BUILT on this property (In<https://www.chi-usa.com/mi-campus/adoration-chapel/>). In fact, this organization is currently accepting donations to help fund these projects. Despite what has been stated at the previous township meeting, the owners of this land clearly plan to create a campus with a hospital, rehabilitation center, medical school, and research facility. It is already being promoted, published though the Catholic Church, and donations are being accepted. Again, this is a rural and agricultural area and I strongly feel it is extremely inappropriate to have these facilities located on this 40 acre parcel. We already have several of these types of facilities in Livingston County and do not need more.
- 5) The grotto has already been built and a ceremony was held on 9/23/20. Were permits approved and granted for the grotto?
- 6) On 2/16/21, DTE installed a power line on the property. Is construction proceeding without approval and permits?
- 7) We built our home on Chilson Road in 1996 because this is a quiet, rural, and agricultural area. I do not want to live across the street from a chapel and medical campus. It is inappropriate for this to be built in such an isolated area surrounded by homes and farm land.

Please DO NOT rezone this land allowing a church and medical campus to be built.

Sincerely,



Leslie Bohnett  
3367 Chilson Rd  
Howell, MI 48843  
Sent from my Sprint Samsung Galaxy S9+.

## Kelly VanMarter

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**From:** April C <abski5@yahoo.com>  
**Sent:** Wednesday, March 3, 2021 2:47 PM  
**To:** Kelly VanMarter  
**Subject:** RE: Proposed facility at Chilson and Crooked Lake Roads

Address is: 3242 Waverly Woods Lane. Howell 48843

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 12:56 PM, Kelly VanMarter  
<[Kelly@genoa.org](mailto:Kelly@genoa.org)> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

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**From:** April C [mailto:[abski5@yahoo.com](mailto:abski5@yahoo.com)]  
**Sent:** Wednesday, March 3, 2021 12:45 PM  
**To:** Kelly VanMarter  
**Subject:** Proposed facility at Chilson and Crooked Lake Roads

Dear Board Members,

We will be unable to attend the March 8th meeting so I wanted to send along our concerns and thoughts on this project. We moved to this area only 3&1/2 years ago. Our biggest reason for moving to the area was because so much of it was zoned agricultural/residential which was very important to us. We moved from a big city which we no longer wanted to be a part of. We feel this area should not be rezoned for the following reasons:

Rezoning and construction of this type of facility would cause increased problems with traffic and then the need for road modifications all which would cause inconveniences to the community. We are concerned that the facility would start out small and grow into something very large taking multiple years possibly to complete leaving our community in a construction zone for possibly years. This is not fair to the current residents to have to live in a construction area.

Reading some information on this, states that possible construction has started without permits. We are wondering how that would be possible? It states a hospital would be involved. We have three hospital, two very large hospitals and one smaller, within a short distance of this area. We have many small medical centers also including ER's, urgent care centers etc. We do not see the need.

It also states there would be a medical school. We have many medical schools in Michigan including the University of Michigan, Michigan State and Wayne State.

I have also read about pilgrims from all over the world coming either permanently or transiently. I do not feel this is what our area signed up for when purchasing a house and land in this area.

We are currently very happy with our community and foresee people of the area becoming very unhappy if this proposed rezoning goes into effect. We feel it is hard to put into words our exact feelings, however, please know that there are multiple reasons we do not want this area rezoned and a large facility such as the one proposed for our area.

Please take our concerns into consideration when making your decision. It is a very important decision for our community.

Bill and April Czerniawski

**From:** [Jacob Vogan](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** RE: Rezoning at Chilson and Crooked Lake  
**Date:** Wednesday, March 3, 2021 1:47:21 PM

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5790 Pinckney Rd  
Howell, MI 48843

Not sure exactly how things work since I'm not right in Genoa, but my kids go to school about a 1/2 mile from where this is trying to happen. I also spend a lot of money and do almost ALL of my shopping inside of Genoa at Grand River and Latson. So I feel my voice should be heard and my opinions considered.

I also talked my Mom and Dad, along with my sister and her husband to move out here. They have purchased two new homes within the last year just north of this possible site. They also moved away from the city to come to this area where it's less populated and congested. I really hope the citizens get what they want. Even if you don't hear from everyone I am very confident the majority of the residents would not want this to go through.

Please include forwarding this email as well.

Jacob

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 1:34 PM, Kelly VanMarter <[Kelly@genoa.org](mailto:Kelly@genoa.org)> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

-----Original Message-----

From: Jacob Vogan [<mailto:jdvogan@yahoo.com>]  
Sent: Wednesday, March 3, 2021 1:22 PM  
To: Kelly VanMarter  
Subject: Rezoning at Chilson and Crooked Lake

Hello Kelly and Board Members,

I wanted to express my deep disapproval of the rezoning that is trying to take place

currently at Crooked Lake and Chilson road. The reason my family and I moved out here from the busy city was because we like areas where things are not so busy, people have acreage, and there is a lot of farm land. As local residents and tax payers we would be extremely upset if this project goes through. There may be a place closer to U.S. 23 where there is a lot more commercial buildings that can make this more appropriate.

We also heard that some construction or land work has already taken place without permits? Is that true? I know I would not be able to get away with that, and I'm a local taxpayer.

Please know that there are many, many more of us that are unhappy about this, you just may not hear from all of them in time.

Jacob and Rebecca Vogan

Sent from my iPad

**From:** [JOAN OTTEN](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** RE: March 8th meeting on Padre Pio Chapel  
**Date:** Wednesday, March 3, 2021 9:31:00 AM

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Sure Kelly, 11929 Hibner Rd. Hartland. I will add, we are looking to move within Livingston Co.

Have a blessed day,  
Joan

On 03/03/2021 9:22 AM Kelly VanMarter <kelly@genoa.org> wrote:

Joan,

Your email was received. Can you please share your address for the record?

[Kelly VanMarter, AICP](#)

[Assistant Township Manager/Community Development Director](#)

[Genoa Charter Township](#)

[2911 Dorr Road, Brighton, Michigan 48116](#)

[Direct: \(810\) 588-6900, Phone: \(810\) 227-5225, Fax: \(810\) 227-3420](#)

[E-mail: kelly@genoa.org, Url: www.genoa.org](#)

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**From:** JOAN OTTEN [mailto:gjo73@comcast.net]  
**Sent:** Tuesday, March 2, 2021 2:52 PM  
**To:** Kelly VanMarter  
**Subject:** March 8th meeting on Padre Pio Chapel

Hello Ms. Van Marter,

My name is Joan Otten. I, along with my husband Gary, have been doing some of the ground work on the property located on Chilson Rd. tentatively known as the "Padre Pio property". We have been blessed with meeting some of the neighbors both directly adjacent to the property and down the road a few miles.

I understand there are some concerns that have come up regarding this project. I would like to say that all but one time when we have been out there working, people have stopped by to see what was going on or just to say a prayer or two. I have answered many questions as to what was going to be built and what was not going to be built on this property. People have been in awe of what they heard was coming i.e. an Adoration Chapel.

The neighbor directly across the street was happy to hear all of the trees were not going to be cut down in this process. I suspect he was glad there would be a tranquil view on the West side of his home opposed to the natural gas line and buildings to the east of him with all the lights on disturbing the night darkness.

I spoke to each visitor telling them there would not be a hospital built on this property. After all, it's only 40 acres and there is a swamp on each corner on the West side. People were happy to hear and looking forward to visiting a tranquil place for prayer and to take a meditative walk on the several walking trails.

Change can be difficult. I understand that. There is a large building being constructed on the south side of this property. This is change. I also understand some of the neighbors have been enjoying this property for years by all of the deer blinds we have seen (last count was 8 of them on this property). This also is change.

Lastly I would just like to say that the amount of people that have visited this property while I was there have had some profound moments. How do you explain what God is doing? I don't know. I have seen people come to tears while praying there. I have seen a few miracles happen to people such as a woman's homeless brother finding a home after living months on the street after we prayed for him by the grotto. Frankly, there is more noise with the target practicing and dogs barking around this

property than what would come out of this sanctuary once the building is completed.

I hope and pray the fears will be subsided and replaced with a proud sense of ownership and recognition of what a blessing Livingston County will have in its mist for all to enjoy.

Respectfully,

Joan Otten

p.s.

Please feel free to share this letter with all at the meeting.



## Kelly VanMarter

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**From:** ktm321 <ktm321@protonmail.com>  
**Sent:** Wednesday, March 3, 2021 7:31 PM  
**To:** Kelly VanMarter  
**Subject:** a 'yes' to the hospital plan

Dear Kelly,

I just grabbed your email off the Nextdoor app. I see some people concerned about the CASA International project (I think I have that name correct) being proposed on Chilson near Latson. They are worried about traffic and so on. I have noticed that Latson nearby was already rezoned (much of it) years ago and the former dirt road south of 96 became rezoned. Many sold homes and you could see chunks of property go up for sale. I live on Richardson Rd. I am many of my friends who live nearby were so thrilled about this gem coming here. I know at least 2 neighbors here on Richardson (likely more) who were thrilled. A friend on King rd., too. We know this will be a beautiful place of care for those with cognitive and brain injuries, where human dignity will be first priority. I envisioned my own son, with a brain illness, could maybe find a permanent place to work in a loving environment where people with cognitive difficulties are truly valued. The chapel is to be a serene place of respite.

I am greatly disheartened by those clamoring about this coming in. I find it odd that one is the owner of Jonna's, a business owner. I wanted to put in my voice that my family and I are SO hoping this gem could come here. it is not far from the expressway.

Please give the plans a chance.

thank you so much!

Kathie Marshall (with Doug and family)

586-224-0114

5574 Richardson Rd., Howell, 48843

Sent with [ProtonMail](#) Secure Email.

## Kelly VanMarter

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**From:** Linda Holland <whatsnext4u@yahoo.com>  
**Sent:** Wednesday, March 3, 2021 8:30 PM  
**To:** Kelly VanMarter  
**Subject:** Catholic Healthcare International - Special Use

Dear Planning Commission, My property - 3023 Pardee Rd. is adjacent to the land for which CHI has submitted a special use application. I vehemently oppose approving this request. From all that I have read, watched (CHI Youtube) and witnessed during the February 8th meeting, this project does not belong in this residential and agricultural area. If you allow the building of this chapel (phase I), you will have opened the door for CHI to add additional buildings on that property (Rehab center?) and buy adjoining properties to further their plans/phases to build the hospital, medical school and more. Your approval of this chapel (for pilgrimage - not just local use) will PERMANENTLY CHANGE this area and with it my home (quality of life) and that of my neighbors and residents up and down Chilson, Crooked Lake and beyond.

While I support and admire CHI's mission and passion to bring Padre Pio's great works to the U.S., there are other areas that are not only properly zoned for a project of this magnitude and have the infrastructure to support the project - they have a need for it as well. We don't need another hospital here in Livingston County, per the County's decision in 2019 - and certainly not one that requires "special use" approval. The old adage will become reality, "if you give an inch" (to build a chapel now), they will take a mile (medical campus later).

Undoubtedly, you have heard objections from my neighbors and the surrounding community as well - at the very least via the petition that started just since the Feb 8 meeting. The land - and surroundings properties are not appropriate for this chapel and subsequent a medical campus. As township residents yourselves, I PRAY that you will be guided to do the right thing for those of us that want to preserve the quality of life we have found here in Genoa township and deny the special use application.

Kind regards, Linda Holland

## Kelly VanMarter

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**From:** Pamela King <prking@ameritech.net>  
**Sent:** Wednesday, March 3, 2021 3:44 PM  
**To:** Kelly VanMarter  
**Subject:** Re: Chilson Road Project

4758 Treasure Lake Drive  
Howell

Sent from my iPhone

> On Mar 3, 2021, at 3:03 PM, Kelly VanMarter <[Kelly@genoa.org](mailto:Kelly@genoa.org)> wrote:

>

> Thank you Pamela.

>

> Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

>

>

> -----Original Message-----

> From: Pamela King [mailto:[prking@ameritech.net](mailto:prking@ameritech.net)]

> Sent: Wednesday, March 3, 2021 2:28 PM

> To: Kelly VanMarter

> Subject: Chilson Road Project

>

> I am a resident of Genoa Township and am strongly opposed to the Chilson/Crooked Lake Road project. Let's protect our disappearing rural areas. We do not want to become another crowded suburb. Many people have moved out here to escape the noise & pollution & crowds. Please keep Livingston County's rural areas.

>

> Pamela King

>

> Sent from my iPhone

## Kelly VanMarter

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**From:** Richard Ziminsky <[richskyz@icloud.com](mailto:richskyz@icloud.com)>  
**Sent:** Wednesday, March 3, 2021 2:44 PM  
**To:** Kelly VanMarter  
**Subject:** The planning commission board

The change of zoning shouldn't take place. The church if approved will open the doors to other developments and ruin the pristine township. I hope you people that live in the area realize what your about to do. Another solid surface (parking lot, etc.) and increased traffic flow will result if this passes. We pray you don't allow this change. Richard Ziminsky [Richskyz@icloud.com](mailto:Richskyz@icloud.com) Sent from my iPhone

[4342 highcrest](#)  
[Brighton mi 48116](#)

## Kelly VanMarter

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**From:** SUSAN BRICKNER <sussb@comcast.net>  
**Sent:** Wednesday, March 3, 2021 12:53 PM  
**To:** Kelly VanMarter  
**Subject:** RE: Padre Pio Adoration Chapel

So sorry, yes it is Susan Brickner at 3461 Dewdrop Howell, 8843 Mi

On 03/03/2021 12:49 PM Kelly VanMarter <[kelly@genoa.org](mailto:kelly@genoa.org)> wrote:

Received....will you please provide your address for the record and I will include it in the packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

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**From:** SUSAN BRICKNER [mailto:[sussb@comcast.net](mailto:sussb@comcast.net)]  
**Sent:** Wednesday, March 3, 2021 12:48 PM  
**To:** Kelly VanMarter  
**Subject:** Padre Pio Adoration Chapel

Dear Kelly Van Marter, I am writing in support of the Padre Pio Adoration Chapel on the property on Chilson Road. I understand that there has been some confusion as to what is planned for that property and I hope that has been cleared by all.

I would like to re affirm that what we are looking for is a 6,000 sq. ft. building with the removal of the 3 tagged trees along with adding trees along the property line. I know the full plan is to have as low an impact as possible, which meets the expectations of the neighborhood and also the serene atmosphere that is desired for Padre Pio.

It is also my understanding that to further reassure the township along with the neighborhood that the committee is supplying an operation plan, adding security measures and limiting the ringing of bells.

I truly hope that this will bring a positive affirmation from the committee and the surrounding neighborhood.

Thank you for your time and consideration;

Susan Brickner a faithful resident of Geona Twp.

## Kelly VanMarter

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**From:** Edward Grima <ergrima56@gmail.com>  
**Sent:** Thursday, March 4, 2021 7:48 AM  
**To:** Kelly VanMarter  
**Subject:** Chapel

Please accept this note in support of the Padre Pio Chapel on Chilson Road.

This will be a park setting and a beautiful peaceful place for residents of the area to go and enjoy.

It will enhance the beauty and desirability of the Township.

Edward Grima  
2943 Rubbins Rd, Howell, MI 48843

## Kelly VanMarter

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**From:** Edward Loniewski <eloniewski@gmail.com>  
**Sent:** Thursday, March 4, 2021 11:56 AM  
**To:** Kelly VanMarter  
**Subject:** Support for the Padre Pio Center

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Kelly :

Good Morning and I hope this email finds you and your family in good health and spirits. I am writing to you in full support for the proposed Padre Pio Center on Challis road. I have been a physician in Livingston County since 1995 and have fully supported projects that improve the overall healthcare of our community, and also at the same time protest projects or elements that may be a detriment to the same goal. The proposed Padre Pio Chapel is NOT a healthcare facility, yet it IS an entity that is vital to the health and hope of our community. There is no plan to add in a hospital or even a health care clinic on the Challis road location. This is solely a place of worship and hope. Worship which is vital to the health of our community. If you are not familiar with Saint Padre Pio, he is an Italian priest with numerous documented miracles of healing attributed to his intercession. All of these have been examined by a panel of medical experts and declared a miracle without medical explanation. Over the past century, thousands of healing miracles have been attributed to Padre Pio and over 7 million people visit the Italian shrine each year searching for this glimmer of hope. There are thousands of people in the midwest who also have a devotion to Padre Pio and find prayer to him to be a vital part of their health. Denying this vital component of community health would be detrimental to our community as well as the thousands of people relying on his intervention. Please respect this simple request to pray in a tranquil and quiet area for the healing of many who may have no other hope. To deny this simple place of prayer is to deny hope which is not something anyone wants to intentionally or unintentionally inflict upon our brothers and sisters in our own community. All humans have hope as a virtue which is innate to the nature of humankind. To deny this center of hope is to deny this basic virtue.

Please do not deny hope in our community and understand the Padre Pio Chapel can not build a healthcare facility at this location. The only purpose is to provide a place of hope for our fellow brothers and sisters with little hope. May God continue to bless you and your family as well as all the important work you do everyday. I look forward to meeting you in person on March 8th.

--

Happy Healing;  
Edward G. Loniewski, DO,FACOS, FAOAO  
Compassionate Use Medical Officer  
AVM Biotechnology  
[eloniewski@avmbiotech.com](mailto:eloniewski@avmbiotech.com)



## Kelly VanMarter

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**From:** Mel and Duane <melandduane@yahoo.com>  
**Sent:** Thursday, March 4, 2021 1:44 PM  
**To:** Kelly VanMarter  
**Subject:** Updated: Questions

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Four Country Estates would yield 20K in tax revenue to the township, this is the best use.

If the panel does approve special use for a chapel can we have it written into the approval and place a restriction on the deed?

Have CHI pay for road improvements, why burden the tax payers?

Could CHI demand city services that we would again, pay for?

If CHI feels like increasing seating to 150 and parking to 75, would again only 5 people be notified?

Is it in the budget to pave Beck and Crooked Lake, in the near future?

Why would you support this development in this location?

This "small" chapel does not match the country setting, it is an international place of pilgrimage with potential to host a 60" tall bell tower, it will change the ambiance. What sounds like a quaint quiet space has the potential to be a hot bed of activity. I can't imagine not holding a catholic wedding in this beautiful \$5 million dollar chapel. That would certainly be more that 40 cars. How many massive events a year will that schedule. It would be better suited in a urban area.

There are numerous other locations they could execute their vision, we do not need to allow this special use permit. It was even acknowledge by Jere D. Palazzol, that this location is not suitable.

There are a lot of planning decisions to be made, the residents would appreciate the least amount of disruption.

Don't let the 2nd largest healthcare network bully our residents and usurp out local regulations!

Sincerely,

Melanie Johnson

**From:** Linda Holland [<mailto:whatsnext4u@yahoo.com>]  
**Sent:** Friday, February 5, 2021 11:58 AM  
**To:** Kelly VanMarter  
**Subject:** Special Use - Catholic Healthcare International meeting

Thank you for the opportunity to share concerns and ask questions in regard to this special use. Here are just a few of my questions, I'll be listening. Thank you.

- I understand that in October 2019, the state challenged the need for another hospital and denied the medical campus. What changed? [State puts snag in Catholic Healthcare International's plan to bring medical campus to Howell](#)
- How will having a hospital adjacent to our property affect our property value, ground water (chemicals/waste) and overall safety of the area? Traffic?
- If the campus is built, what will keep other organizations from turning this rural area into something (congestion/traffic etc) we moved out here to avoid?
- What if after the campus is built and something happens financially and a sale is needed. What's to prevent CHI from selling to an unsavory organization?
- As property owners, many of us hunt/shoot on our property, how will this affect our right to do so?

When researching through Charity Navigator, they had no details as regard to *Finance and Accountability* because...

"This organization cannot be evaluated by our Encompass Rating methodology because it files Form 990-EZ, as allowed by the IRS for charities with less than \$200,000 annual revenue."

- With \$200k annual revenue, how then, can they build/maintain this facility?

Charity Navigator also can't provide any insights as *CHI's Impact and Results* because . . .

"We (CN) have not issued this nonprofit an Impact & Results score. This does not indicate a positive or negative assessment, only that we have not reached a conclusion for one of the following reasons:

- The nonprofit is eligible for a score, but we have not yet gotten to scoring it.
- The nonprofit is eligible for a score, but we have not yet developed the specific algorithms to estimate the impact of the type of service it delivers and so cannot issue a score yet.
- The nonprofit does not primarily deliver services directly to beneficiaries (?) or it is not reasonable to expect the nonprofit to measure impact for its primary activity. The impact analysis framework that we use is not well suited to these nonprofits.
- The nonprofit is not heavily reliant on individual donors because beneficiaries fund a majority of its costs or it does not receive any private charitable contributions."

There is more that Charity Navigator does rate - but no ratings or concrete information is available.

- Why is the state/county allowing this to go through with so little transparency or apparent history?

- They are based in MO - why are they building here and not there?

[Catholic Healthcare International | Charity Navigator Profile](#)



**Catholic Healthcare International | Charity Navigator Profile**

Catholic Healthcare International is a/an Religious Organization headquartered in Wildwood, MO.

**From:** [James Brancheau](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Catholic Healthcare International zoning petition.  
**Date:** Monday, February 8, 2021 5:00:12 PM

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My name is Jim Brancheau. I live at 3611 Westphal Howell Michigan. My family have lived here for 29 years and I have worked here and raised my children here in Howell. We moved here almost 29 years ago to be here in a rural area and bought our home here in a residential / agricultural zoned area. Under no circumstances am I in favor to allow any rezoning here in this area for a many number of reasons. I have heard they are going to have a outside chapel and garden and that they are planing on ringing bells from 9:00 AM to 9:00 PM on the hour every hour. This alone is not acceptable. My property is within 300 ft of theirs and I will hear the noise pollution daily. This organization is actually not the part of the Catholic diocese. The fact that they have International right in there organizations name is quite alarming. If they are allowed to build then what is stopping them from going bankrupt or selling to another organization that are not under the guides that they claim that they are.

Allowing this type of organization / church / school / Hospital will open the floodgates for many other businesses and organizations to want to build and destroy our rural area. We are adamantly opposed of allowing this rezoning. Thank you Jim and Deborah Brancheau. 810-360-8466

[Sent from Yahoo Mail on Android](#)

**From:** [Mike Mandilk](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** 3280 Chilson Road  
**Date:** Monday, February 8, 2021 4:17:44 PM

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Good afternoon. My name is Mike Mandilk and I reside at 3275 Chilson Road. I have met and enjoyed speaking to the concerned party for Catholic Healthcare International. That being said I am not in favor of some of the implied issues of development of the site. Two subjects I have objection to are elevated lighting and a bell ringing every hour from 9-9. I live where I do because of the zoning of rural residential and country estate, which implies a residential area. I am concerned the impact to the value of my investment and the area. In conversation with Jere and others I believe there are great intentions to preserve the properties natural state but I also believe there was interest in developing a school and hospital on the site or in the area. I mean no ill will to anyone but I do have these concerns.

Mike Mandilk

Sent from my iPhone

Genoa Township  
February, 8<sup>th</sup>, 2021

Dear Board Members:

My name is Shawn Nester, My residence is located at 3360 Chilson Rd, adjacent to the proposed Church, Hospital, and School that is being presented in a piece-meal fashion. I intend to watch the video meeting but may be occupied with children and unable to speak.

It was my understanding in 2016 when I purchased my home that the area I was to live in was zoned agricultural. I never would have imagined listening to an hourly bell go off from 9AM to 9PM, or looking at a parking lot out of my North window.. But here we are.

It is my hope that this proposed development does not set a new precedent for this area. We are not in South Lyon. There's a certain beauty and history to this section of Chilson Rd that makes it such a great area. This beauty has been acknowledged by it's zoning and the use of the properties for hundreds of years. It's also why I decided to raise a family here.

If the board grants the Special Use permit and construction begins, I worry about there being no proposed plant buffer between my home and the proposed parking lot. The problem with this approach for me is that more and more White Pine trees between our properties are dying back every year and the remaining trees are so large and sparse that there is no cover. Additional plantings would be required to maintain the privacy of my property and to keep headlights from shining into my home. Otherwise, I will be left with the luxurious country view of cars and asphalt. I also have concerns about my home value decreasing. I am not a realtor, but I know that this potential development makes my property less desirable to me so I assume that is the case for other potential buyers.

The people spearheading this project seem like wonderful folks and have been very kind to me. I just wish I could have seen this coming prior to the purchasing my property as I would have sought a different location.

Thank you for your time.

Shawn Nester

**From:** [Tim Park](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Re: Catholic Healthcare International- 3280 Chilson Rd  
**Date:** Monday, February 8, 2021 5:59:35 PM

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Kelly and The Planning Commission of Genoa Charter Township,  
Please accept and extend my **DISAPPROVAL** for the newly proposed building(s) at 3280 Chilson Rd. Howell, Mi. 48843. We moved out here 26 years ago because we enjoy the peace and quiet of a residential, rural and agricultural community. My wife and I plan on retiring in this very same house in 5 to 10 years from now. I am not interested in any way to have this spoiled by unnecessary commotion and constant noise from having any number of events going on throughout the year. Even though I am a religious person and don't mind hearing the church bells when I go to church, I **DO NOT** want them in my backyard!

Thank you,  
Tim Park  
3529 Westphal Rd.  
Howell, Mi. 48843

**From:** [billy martin](#)  
**To:** [Kelly VanMarter](#)  
**Subject:** Proposed church on child on rd.  
**Date:** Monday, February 8, 2021 4:17:08 PM

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Dear Kelly

My name is William Martin and I live at 4678 richardson rd. I am opposed to issuing a special use permit to build a church on chilson rd. It is zoned agricultural and should be used for that purpose. There is already to much traffic in this area since the Latson rd exit was built. There's already a Catholic Church in Howell, Brighton, and Pinckney. We all want to keep this area as is, farms and homes with property. Nobody wants to hear church bells all day long. I don't live right next to that property and I don't want a church complex there. I can only imagine how outraged the people who live next door and across the road are. Please deny their permit.

Sent from my iPhone





**BACKGROUND INFORMATION**

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

October 9, 2020

Roman Catholic Bishop Carl Mengelin  
Diocese of Lansing  
300 W. Ottawa  
Lansing, MI 48933

RE: 3280 Chilson Road Howell, MI 48843

Dear: Property Owner

It has come to Genoa Township's attention that a Grotto has been built without planning commission or Township approval. Please see attached picture for reference. As you can see by the email correspondence with Jere Palazzolo, President of Catholic Healthcare international, he was informed that nothing could be built on the property until proper approvals were submitted.

We are interested in further discussing these issues with you and working with you to bring the property into compliance with the Zoning Ordinance. With this in mind, please contact the Township by October 19, 2020 to discuss a strategy to bring the property into compliance. Also, please have all structures removed from the property by November 6, 2020.

Please feel free to call or email with any questions or concerns.

Sincerely,  
Sharon Stone  
Zoning Compliance Officer  
Genoa Township

cc- Jere Palazzolo  
cc- Joe Seward

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford  
H. James Mortensen  
Terry Croft  
Diana Lowe

**MANAGER**

Michael C. Archinal



## Kelly VanMarter

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**From:** Kelly VanMarter  
**Sent:** Tuesday, August 18, 2020 3:03 PM  
**To:** 'JPalazzolo@CHI-USA.COM'; Amy Ruthig  
**Cc:** Ann O'Reilly (annoreilly11@yahoo.com)  
**Subject:** RE: Genoa Township  
**Attachments:** CE zoning memo.pdf

Jere,

Please see attached review from our Planning Consultant.

Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

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**From:** JPalazzolo@CHI-USA.COM [mailto:JPalazzolo@CHI-USA.COM]  
**Sent:** Monday, August 10, 2020 7:42 PM  
**To:** Kelly VanMarter; Amy Ruthig  
**Cc:** Ann O'Reilly (annoreilly11@yahoo.com)  
**Subject:** RE: Genoa Township

Thanks Kelly! We would be so very grateful if we could have our small art feature up for our small September 23<sup>rd</sup> Feast Day Mass on the property by Bishop Boyea. I am in town until Thursday morning in case it would be helpful to meet again. Thanks so much for all of your support and efforts on our behalf. God bless! – Jere

Jere Palazzolo  
President  
Catholic Healthcare International  
2464 Taylor Road  
Suite 317  
Wildwood, MO 63040  
Office Phone: (636) 220-6550  
Fax: (636) 333-6215  
E-mail: [jpalazzolo@chi-usa.com](mailto:jpalazzolo@chi-usa.com)

*"Pray, hope & don't worry!"* - St. (Padre) Pio of Pietrelcina



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**From:** Kelly VanMarter [mailto:Kelly@genoa.org]  
**Sent:** Friday, August 7, 2020 2:44 PM  
**To:** JPalazzolo@CHI-USA.COM; Amy Ruthig <amy@genoa.org>  
**Cc:** Ann O'Reilly (annoreilly11@yahoo.com) <annoreilly11@yahoo.com>  
**Subject:** RE: Genoa Township

Jere,

I've sent this on to our planning consultant for a more throughout analysis and response. I will let you know what he says.

Kelly VanMarter, AICP  
Assistant Township Manager/Community Development Director

Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

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**From:** [JPalazzolo@CHI-USA.COM](mailto:JPalazzolo@CHI-USA.COM) [mailto:JPalazzolo@CHI-USA.COM]  
**Sent:** Monday, August 3, 2020 5:57 PM  
**To:** Kelly VanMarter; Amy Ruthig  
**Cc:** Ann O'Reilly ([annoreilly11@yahoo.com](mailto:annoreilly11@yahoo.com))  
**Subject:** FW: Genoa Township

Hi Kelly & Amy,

It was great to meet you on Wednesday, and I appreciate your taking the time to discuss our future plans for the property on 3280 Chilson Road. I have arrived back in St. Louis, and have had the chance to reflect on our conversation and review the additional material you sent via e-mail following our meeting.

As you probably noticed, I was very surprised at the complexity of the application/review/approval process you said we must undertake at this time ...Special Land Use Application, Site Plan Review Application, \$2,875 application fee, Site Plans, Environmental Impact Assessment, etc...given the simplicity of our current plans. This was a huge surprise to us based on the input of everyone with whom we had spoken. Then I read the actual language you reference: *"The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use."* Based on this you concluded that *"The grotto/prayer area would be considered a "similar place of worship" and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance."*

It is very clear that the language regarding "similar places of worship" refers directly back to Churches and temples when it says "...Churches, temples and similar places of worship." Churches, temples and places of worship are obviously buildings. We ultimately will indeed build a small Church with paved parking, roads, entrance, etc., and clearly we expect to have to pursue the entire process required by the ordinance. We will actually commence that process sooner than later because we will be kicking off our campaign to raise the funds for the chapel, and would hope to get started on that as soon as we are able.

However, we are by no means talking about a "place of worship" at this time. We merely want to clear some areas for people to walk in an open field area and meditate on a few pictures, a statue, and a small stone wall with a picture in it. There is no way that can be considered a place of worship. We will make it so that people can pull in and park on the grass and walk around safely, but we will not be doing any paving until the approvals are submitted and received for the whole site plan. The purpose of requesting the meeting with you on Wednesday was to make you aware of our ultimate

plans and to find out what the approval process would be for the actual development of the property so that we can begin to plan for that.

I would like to respectfully request that you reconsider requiring us to go through this extensive, expensive and time consuming process immediately. We will need to hire someone to guide us in doing all of the plans and assessments the Special Land Use application requires...and as I said previously, we will start that process relatively soon. However, please allow us to do the very minor things we are planning now which will not involve development of the property or building or paving.

Thank you in advance for your kind consideration of my request and for your understanding and support, and I look forward to a positive response soon.

Thanks again & God bless!  
Jere

Jere Palazzolo  
President  
Catholic Healthcare International  
2464 Taylor Road  
Suite 317  
Wildwood, MO 63040  
Office Phone: (636) 220-6550  
Fax: (636) 333-6215  
E-mail: [jpalazzolo@chi-usa.com](mailto:jpalazzolo@chi-usa.com)

*"Pray, hope & don't worry!"* - St. (Padre) Pio of Pietrelcina



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**From:** Amy Ruthig [<mailto:amy@genoa.org>]  
**Sent:** Wednesday, July 29, 2020 3:27 PM  
**To:** Jere Palazzolo <[jpalazzolo@MarianMed.com](mailto:jpalazzolo@MarianMed.com)>  
**Subject:** FW: Genoa Township

Good Afternoon,

Per our meeting today, please see the process information below that Kelly had sent to Jacqueline. I also spoke with our assessor, Debra Rojewski, and she stated that the owner would need to apply for an exception on the property in regards to the property taxes. You can contact Debra at [duffy@genoa.org](mailto:duffy@genoa.org) or 810-227-5225 and she can walk you through the process.

I have reached out to our Planning Consultant. Once we receive a response, we will contact you.

Please contact Kelly or myself if you should have any questions.

Thank You,

Amy Ruthig  
Zoning Official



Genoa Charter Township  
2911 Dorr Road, Brighton, Michigan 48116  
**Office: 810-227-5225 Ext. 114 Direct: 810-224-5824**  
E-mail: [amy@genoa.org](mailto:amy@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

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**From:** Kelly VanMarter  
**Sent:** Monday, July 27, 2020 3:16 PM  
**To:** [jacquelineostlund@yahoo.com](mailto:jacquelineostlund@yahoo.com)  
**Cc:** Amy Ruthig  
**Subject:** RE: Genoa Township

Jacqueline,

I have reviewed your request to construct a grotto/prayer area with associated parking and drive access at the currently vacant property located at 3280 Chilson Road (parcel 4711-20-100-020). The subject property is in an Agricultural zoning district called County Estates (CE). The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use. The grotto/prayer area would be considered a “similar place of worship” and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance. Please see link here to [Article 19](#) of the Zoning Ordinance to review information regarding Special Land Uses. I’ve also provided information below on process, fees, timeframes, and necessary applications for your information.

The process for special land use approval is as follows:  
**(Requires Site Plan and E.I.A)**



Please note the following special land use conditions that apply as stated in the Township Zoning Ordinance:

- 3.03.02(1) *Churches, temples and similar places of worship and related facilities shall comply with the following requirements:*
- (1) *Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.*
  - (2) *Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.*

- (3) *Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.*
- (4) *Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.*

**To Request Approval the following would be required:**

- 1.) Completed Special Land Use Application.
- 2.) Completed Site Plan Review Application.
- 3.) \$2,875.00 Special Land Use/Site Application Fee made payable to Genoa Charter Township. This \*must\* be paid at time of submission.
- 4.) Four (4) Sets of Site Plans (folded) that comply with the applicable requirements found in the Site Plan Review Application. The site plan \*must\* be sealed by an architect or engineer registered in the State of Michigan.
- 5.) Four (4) copies of an Environmental Impact Assessment (see site plan application for requirements).
- 6.) Any related details or specifications, if necessary (lighting details, renderings, etc.)
- 7.) Reduced-File-Size collated/combined pdf of all submittal materials (on disk or portable drive).
- 8.) To get the process started, the following table shows the deadlines for the next three Planning Commission meetings along with the likely corresponding Township Board of Trustees meeting dates.

<u>Deadline</u>	<u>Planning Commission Meeting Date</u>	<u>Board Meeting Date</u>
August 5, 2020	September 14, 2020	October 5, 2020
September 2, 2020	October 13, 2020	November 2, 2020
September 30, 2020	November 9, 2020	December 7, 2020

I hope this helps. Please let me know if you have any additional questions.

Kelly VanMarter, AICP  
 Assistant Township Manager/Community Development Director

Genoa Charter Township  
 2911 Dorr Road, Brighton, Michigan 48116  
 Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420  
 E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)

**From:** jacqueline ostlund [<mailto:jacquelineostlund@yahoo.com>]  
**Sent:** Thursday, July 23, 2020 2:53 PM  
**To:** Kelly VanMarter  
**Subject:** Re: Genoa Township

Kelly,

I have attached a picture of the grotto/prayer area for your review! Were you able to find any information regarding putting in the temporary drive/parking lot? We are planning on the event to be on September 23, 2020 and I really do not know what will be entailed to complete this! Please call me with any questions at 970-209-6074!

Blessings,

Jacqueline

On Tue, Jul 21, 2020 at 4:32 PM, Kelly VanMarter  
<[Kelly@genoa.org](mailto:Kelly@genoa.org)> wrote:

I will follow up with more information.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: [kelly@genoa.org](mailto:kelly@genoa.org), Url: [www.genoa.org](http://www.genoa.org)



August 18, 2020

Kelly Van Marter, AICP  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

Kelly:

As requested, I have reviewed the Township Zoning Ordinance as it relates to the proposal for establishment of a “grotto” on an undeveloped property within the CE Country Estates District. I offer the following Ordinance excerpts and opinion(s) for your consideration:

The allowable uses in the CE District (both by right and those allowed with special land use approval) are listed in Section 3.02. This includes churches, temples, and similar places of worship.

Section 25.02 defines a “church or temple” as “any structure wherein persons regularly assemble for religious activity.”

In my experience, grottoes (and stations of the cross for that matter) are structures where people assemble for a religious purpose. Additionally, Section 25.02 defines a “structure” as “anything constructed or erected, the use of which requires location on ground or attachment to something having location on the ground.”

This combination of definitions does not restrict the idea of a church, temple or similar place of worship to a “building.”

Lastly, from my experience, grottoes (and stations of the cross) have typically been viewed as accessory structures. That is not to say that such structures do not/cannot exist in the absence of a church/religious building; however, I have not encountered this situation.

As such, there is the additional concern that a grotto could be viewed as an accessory structure that is incidental to a principal permitted use.

Section 11.04.01 states that “accessory buildings, structures and uses are permitted only in connection with, incidental to and on the same lot with a principal building, that is occupied by a use permitted in the particular zoning district.” In this instance, the case could be made that the owner/applicant is attempting to establish an accessory structure prior to a principal use.

Based on the above, I believe the proper read of the Zoning Ordinance is that the proposed “grotto” is, by definition, a “church, temple, or similar place of worship.” Such uses require special land use and site plan review/approval, and must demonstrate compliance with all applicable Ordinance standards, including (but not limited to) dimensional standards, parking, landscaping, waste receptacles/enclosures, lighting, etc.

Alternatively, the grotto could be viewed as an accessory structure, whereby a principal use/structure must be established first.

My opinions aside, other options include a similar use determination by the Planning Commission (Section 11.02.02) or an interpretation of the Zoning Ordinance text by the ZBA (Section 23.02.03).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT STUDIO**

A handwritten signature in black ink, appearing to read "Bri V Borden". The signature is stylized and fluid, with the first name "Bri" and last name "Borden" clearly visible.

Brian V. Borden, AICP  
Planning Manager

# RE: 3280 Chilson Rd., Howell, Michigan

Will Bloomfield <[wbloomfield@dioceseoflansing.org](mailto:wbloomfield@dioceseoflansing.org)>

Wed 10/21/2020 11:04 AM

To: Sharon Stone-Francis <[Sharon@genoa.org](mailto:Sharon@genoa.org)>;

Cc: Robert Muise - AFLC <[rmuise@americanfreedomlawcenter.org](mailto:rmuise@americanfreedomlawcenter.org)>;

 1 attachment

Warranty.Deed.Chilson.Rd.signed.10.21.20.pdf;

Ms. Stone,

Attached is the executed warranty deed whereby the Diocese of Lansing has transferred the Chilson Road property to Catholic Healthcare International. The Diocese will be recording this transfer shortly. Please direct all future correspondence regarding this property to Catholic Healthcare International and its attorney, Robert Muise (cc'd).

Sincerely,

Will Bloomfield

-----  
**William R. Bloomfield**

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342-2527 Fax

[wbloomfield@dioceseoflansing.org](mailto:wbloomfield@dioceseoflansing.org)

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**From:** Will Bloomfield

**Sent:** Friday, October 16, 2020 1:29 PM

**To:** [sharon@genoa.org](mailto:sharon@genoa.org)

**Cc:** Robert Muise - AFLC

**Subject:** 3280 Chilson Rd., Howell, Michigan

Ms. Stone,

I am in possession of your October 9, 2020 letter addressed to the former Bishop of Lansing, Most Rev. Carl Mengeling, regarding the property at 3280 Chilson Road, Howell, Michigan.

Your letter references a zoning issue as well as past discussions between the Township and Jere Palazzolo, President of Catholic Healthcare International, and requests a response by October 19, 2020. The Diocese of Lansing is finalizing plans to transfer 3280 Chilson Rd. to Catholic Healthcare International. I had hoped

that the transfer would be complete today, but I now expect it will be complete by Tuesday, October 20, as soon as Bishop Earl Boyea returns and can sign the paperwork transferring the property.

As Catholic Healthcare International will soon be the new owner, the Diocese of Lansing is leaving it to them to respond to the substance of your letter. I have cc'd Robert Muise of the American Freedom Law Center, who is representing them in this matter. Mr. Muise has advised that Catholic Healthcare International will respond by the end of next week.

Sincerely,

Will Bloomfield

-----  
**William R. Bloomfield**

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342-2527 Fax

[wbloomfield@dioceseoflansing.org](mailto:wbloomfield@dioceseoflansing.org)

## WARRANTY DEED

The Most Rev. Earl Boyea, Bishop of the Roman Catholic Diocese of Lansing, whose address is 228 North Walnut Street, Lansing, Michigan 48933, as Grantor, conveys and warrants to Catholic Healthcare International, a Catholic, nonprofit corporation incorporated in the state of Missouri, whose address is 2464 Taylor Rd., Suite 317, Wildwood, MO 63040, as Grantee, the following described premises situated in the Genoa Township, County of Livingston, State of Michigan:

See Exhibit A attached hereto.

for one dollar, together with all buildings, improvements and fixtures located thereon, and all rights, privileges, and easements pertaining thereto, subject to building and use restrictions, easements, and encumbrances, if any, of record, and also subject to the following covenants and restrictions, to which Grantee agrees and covenants:

1. Grantee shall develop the land consistent with its Casa USA vision to replicate St. Pio's model of healthcare delivery in the U.S.
2. If Grantee fails to develop the Property as referenced in above (1) within five years of the date of this Deed, then Grantee will, at the Grantor's discretion, either transfer the Property back to Grantor or sell it for fair market value and pay the Grantor the appraised value (\$260,000) at the time of this transfer from the Grantor to Grantee.

This deed and transfer of real property is exempt from real estate transfer tax under MCL 207.505(a) and MCL 207.526(a).

Grantor, as its sole warranty herein, specifically warrants to Grantee, its successors and assigns, that Grantor will forever defend title to the Property (subject to the matters to which this conveyance is hereinabove made subject) against only those claims of persons who shall claim title to or assert claims affecting the title to the Property, or any part thereof, under, by or through Grantor, but not otherwise.

The Grantor grants to the Grantee the right to make all legally feasible division(s) under section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended. This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Subject to zoning, building and use restrictions, easements and right of way of record.

Dated this 20<sup>th</sup> day of <sup>October</sup>~~August~~, 2020.

IN WITNESS WHEREOF, this Warranty Deed has been executed to be effective as of the date first above written.

**GRANTOR:**

Earl Boyea  
 + Most Rev. Earl Boyea, Bishop of  
 the Roman Catholic Diocese of  
 Lansing

STATE OF Michigan  
 ) ss.  
 COUNTY OF Ingham

The foregoing instrument was acknowledged before me in Ingham County, Michigan, on <sup>October 20</sup> ~~August~~ \_\_, 2020, by the Most Rev. Earl Boyea, Bishop of the Roman Catholic Diocese of Lansing.

Julie A. Fect  
 Notary Public, State of Michigan, County of Clinton  
 My Commission Expires: 09-09-2021  
 Acting in the County of Ingham

Drafted by:	When recorded, return to:	Send Subsequent Tax Bills to:
Samuel R. Kilberg, Esq. Dykema 39577 Woodward Ave., Suite 300 Bloomfield Hills, MI 48304	Grantee Catholic Healthcare Int'l 2464 Taylor Rd., Suite 317, Wildwood, MO 63040	Grantee Catholic Healthcare Int'l 2464 Taylor Rd., Suite 317, Wildwood, MO 63040

## EXHIBIT A

### LEGAL DESCRIPTION

Land in Genoa Township, County of Livingston, State of Michigan, described as follows:

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the center of said Section 20, said point lying South 00 degrees 04 minutes 22 seconds West along the North-South 1/4 line of said Section, 2616.14 feet; thence North 89 degrees 16 minutes 18 seconds East, 623.77 feet to the centerline of Chilson Road; thence North 25 degrees 37 minutes 28 seconds West along said centerline 511.68 feet; thence continuing along said centerline, North 25 degrees 35 minutes 58 seconds West, 409.12 feet to the point of beginning of the parcel to be described; thence South 64 degrees 49 minutes 10 seconds West, 581.00 feet; thence South 52 degrees 45 minutes 14 seconds West, 1157.74 feet to the Easterly line of the Ann Arbor Railroad; thence North 25 degrees 10 minutes 14 seconds West along said line, 1566.05 feet; thence North 89 degrees 04 minutes 43 seconds East, 1874.35 feet to said centerline; thence South 25 degrees 35 minutes 58 seconds East along said centerline, 553.96 feet to the point of beginning and subject to the rights of the public over existing Chilson Road.

Commonly known as: 3280 Chilson Road, Howell, MI  
Parcel ID: 4711-20-100-020



Washington, D.C. Offices:

1901 Pennsylvania Avenue NW  
Suite 201  
Washington, D.C. 20006

Michigan Offices:

P.O. Box 131098  
Ann Arbor, Michigan 48113

Arizona Offices:

123 W. Chandler Heights Road  
No. 11277  
Chandler, Arizona 85248-11277

Main Tel: (855) 835-AFLC (2352)

FAX: (801) 760-3901

Email: [rmuise@americanfreedomlawcenter.org](mailto:rmuise@americanfreedomlawcenter.org)

New York Offices:

383 Kingston Avenue  
Suite 103  
Brooklyn, New York 11213-4333

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David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona

Robert J. Muise, Esq.: Licensed in Michigan

October 23, 2020

***VIA Email***

Ms. Sharon Stone  
Zoning Compliance Officer  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116  
[sharon@genoa.org](mailto:sharon@genoa.org)

**Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road***

Dear Ms. Stone:

This law firm represents Catholic Healthcare International (CHI) and its president, Mr. Jere Palazzolo. CHI is the owner of the property located at 3280 Chilson Road. The ownership of this property was recently conveyed to CHI by the Catholic Diocese of Lansing. On this property stands a temporary religious symbol/sign which has inaccurately been described in prior correspondence as a "Grotto." It is our understanding that Genoa Township (Township) has ordered the removal of this temporary religious display by November 6, 2020, unless CHI undertakes an extensive, costly (in excess of \$20,000), and burdensome zoning process. The Township is imposing this exceedingly burdensome process upon CHI because it (the Township) considers this temporary religious symbol/sign the equivalent of a "church or temple" under § 25.02 of the Township Zoning Ordinance, which defines "church or temple" as "any structure wherein persons regularly assemble for religious activity." This determination is factually



inaccurate. There is no “structure” on this property “wherein”<sup>1</sup> regular religious assemblies take place. Similarly, CHI is not attempting “to establish an accessory structure prior to a principal use.” See Township Zoning Ordinance § 11.04.01. The religious symbol/sign is temporary, and it is intended to convey a message that inspires people to pray, to include praying for the success of the future, permanent use of this land—the construction of a chapel.

To be clear, CHI does intend to build a chapel on this property with paved roads, parking, entrance, *etc.*, in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. In fact, CHI expects to begin this process within the coming months. In the meantime, CHI is inviting worshipers to come to the property and pray outdoors because there is no primary structure *in which* to assemble. As far as we know, there is no zoning ordinance that prohibits persons from praying outdoors on their private property. Indeed, such an ordinance would not withstand challenge under the First Amendment.

As a factual matter, what has been described incorrectly as a “Grotto” is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). The image, which is approximately 6’ x 6’ in size, is displayed within a frame that is approximately 8’ high set upon a base that is approximately 10’ wide and less than 4’ high. The top frame housing the image is built on cement board with stone veneer on the front of the frame. The back is exposed. The base is loose, stacked stone. There is no cement, and there are no footings. The entire display can be moved at any time. In short, this is a temporary display of a religious symbol/sign. It is the equivalent of a temporary sign, the content of which is a religious symbol. It is *not* a permanent structure. To treat it as such, as the Township is doing here, is not only factually incorrect, it is unconstitutional.

The First Amendment protects both the freedom of speech and the free exercise of religion. Claims arising under both the Free Speech Clause and the Free Exercise Clause often overlap. *Bible Believers v. Wayne Cty.*, 805 F.3d 228, 256 (6th Cir. 2015) (en banc) (“Free exercise claims are often considered in tandem with free speech claims and may rely entirely on the same set of facts.”).

The Township permits many different types of signage, both temporary and permanent. The Township regulates signage in order:

to protect public safety, health and welfare; minimize abundance and size of signs to reduce motorist distraction and loss of sight distance; promote public convenience; preserve property values; support and complement objectives of the Township Master Plan and this Zoning Ordinance; and enhance the aesthetic appearance within the Township.

Township Zoning Ordinance § 16.01.

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<sup>1</sup> “Wherein” is defined as “in which.” See <https://www.merriam-webster.com/dictionary/wherein> (last visited Oct. 19, 2020). There is no structure on the property “in which” *any* activity takes place.

CHI's temporary display, which is located within a wooded area, does not undermine *any* of the Township's stated objectives for restricting signage.<sup>2</sup> Indeed, the ordinance expressly *exempts* certain *permanent* signs (§ 16.03.11), it *exempts* real estate signs (§ 16.03.15), it *exempts all* flags (§ 16.03.03), and it *exempts all* temporary political signs (§ 16.03.14) "provided such signs are not placed within the public street right-of-way line in a manner that obstructs visibility." CHI's religious "sign" is not placed within the public street right-of-way—it is not even visible from the road—and thus creates no visibility issues whatsoever.

By permitting unlimited, temporary political signs (subject to the "public street right-of-way line" limitation), but prohibiting CHI's temporary religious "sign," the Township is engaging in a form of content-based discrimination, *Reed v. Town of Gilbert*, 576 U.S. 155, 163-64 (2015), which is unlawful, *id.* at 163 ("Content-based laws . . . are presumptively unconstitutional and may be justified only if the government proves that they are narrowly tailored to serve compelling state interests."); *see also Int'l Outdoor, Inc. v. City of Troy*, 974 F.3d 690 (6th Cir. 2020) (requiring strict scrutiny because "the Sign Ordinance imposed a content-based restriction by exempting certain types of messages from the permitting requirements, such as flags and 'temporary signs' that included on- and off-premises real-estate signs, 'garage, estate or yard sale' signs, 'non-commercial signs[,] ' [p]olitical signs[,] 'holiday or other seasonal signs[,] and 'constructions signs . . . .").

Moreover, as a matter of federal statutory law, land use regulations that substantially burden religious freedom are unlawful. *See* 42 U.S.C. § 2000cc(a)(1) ("No government shall impose or implement a land use regulation in a manner that imposes a substantial burden on the religious exercise of a person, including a religious assembly or institution, unless the government demonstrates that imposition of the burden on that person, assembly, or institution— (A) is in furtherance of a compelling governmental interest; and (B) is the least restrictive means of furthering that compelling governmental interest.") (RLUIPA).

Given that CHI's religious display does not violate the plain language of any zoning ordinance and that CHI intends to comply with the zoning regulations for the construction of its permanent chapel, it would seem that the Township would not want to force CHI to seek legal redress in federal court for religious discrimination related to this temporary religious display. Please know that CHI does not desire to take this matter to federal court. However, it will not have its right to religious freedom violated by the Township, and if forced to go to federal court, it will.

In closing, we ask that the Township promptly reconsider its position. As the courts have long held, even the momentary loss of First Amendment freedoms causes irreparable harm sufficient to warrant injunctive relief. *Newsome v. Norris*, 888 F.2d 371, 378 (6th Cir. 1989) ("The Supreme Court has unequivocally admonished that even minimal infringement upon First Amendment values constitutes irreparable injury sufficient to justify injunctive relief.").

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<sup>2</sup> The Township suggested that the display be constructed on a flatbed and driven on and off the property as needed, thus essentially conceding the fact that this display is temporary and the fact that the presence of the display on the property does not conflict with any legitimate Township objective or interest.

We look forward to a prompt and favorable reply.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.  
*Co-Founder & Senior Counsel*

cc: Jere Palazzolo

November 4, 2020

Robert J. Muise, Esq.  
AMERICAN FREEDOM LAW CENTER  
P.O. Box 131098  
Ann Arbor, Michigan 48113

VIA EMAIL

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**Re: Grotto at 3280 Chilson Road**

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Mr. Muise:

In July of this year Jacqueline Ostlund and Jere Palazzolo approached the Township about constructing a grotto at 3280 Chilson Road. Your clients provided a drawing from Swanson Design Studios and made multiple references in email, over the phone and in-person statements clearly designating this structure as a grotto. Quickly the Township informed your clients that to construct the grotto, it had to comply with the Township's special land use and land use permit requirements just as any project or individual would in the Township. Your clients then balked at going through the process to obtain the permits under the guise that it does not want to spend the money on the fees required to obtain the permits. Yet, the underlying reason why it surreptitiously built the grotto without going through the permitting process was because it did not plan ahead. Instead, it wanted the grotto constructed by September 23, 2020, for the planned Feast Day mass with Bishop Boyea on-site. Now that it has been caught violating the Township's ordinances, it takes the incredulous position that the grotto is actually a sign. Then you claim that because it is a religious entity, somehow it is given favored status, it does not need to comply with Township permit requirements.

Neither the First Amendment nor the Religious Land Use and Institutional Persons Act comes into play in justifying the wrongdoings of your client. They have not been denied any permit. Instead, your client has been caught deceiving the Township by constructing this grotto illegally. Furthermore your client illegally erected directional and temporary signs, a bench and some type of PVC structure. All of this activity taken after the exchange of emails, telephone and in-person conversations with the Township on what is needed for it to build these structures and place these signs. Now is the time for your client to do the right thing, and that is apply for the permits that would allow for the construction of this grotto, erection of signs, bench and the PVC structure.

A main feature of complying with the permittal process is to strive for the construction of safe structures. Below is a picture of what your clients built.





This structure, according to you, was built with no foundation, no mortar and no thoughts of the safety of the persons that will make use of this grotto. This structure needs to be made safe immediately.

What is equally disheartening about your client's deception is that now they claim this is a sign. I doubt any reasonable person would agree with this newly found theory given your clients' statement and the materials provided beforehand as well as your client designating this to be a grotto, see the picture below.



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

☎ 248.733.3580 ☎ 248.733.3633 [www.sewardhenderson.com](http://www.sewardhenderson.com)



But even so, your clients building this structure would violate the Township's sign ordinances in a number of ways. §16.02.09 defines a monument sign as a three-dimensional, self-supporting, solid based structure with two or more sides extending up from the base. As such, the height of such a structure is limited to six feet, see Table 16.1. Moreover, this structure must withstand wind pressure of at least 20 pounds per square foot, see 16.06.07, and be consistent with building codes per 16.06.06. What engineer is able to certify this structure meets that safety standard?

The actions of your clients are most unsettling, its attempts to mislead the Township and then build a structure and erect signs illegally should never have happened. I suggest that your clients take the action it needs to immediately bring the structures and signs into compliance with the Township's ordinances, comply with the approval requirements and make the site safe. My clients are willing to work with your clients to get this taken care of, but the threat of litigation will not cause the Township to back away from enforcing its ordinances.



Very truly yours,

**SEWARD HENDERSON PLLC**

T. Joseph Seward

TJS/ads



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

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David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona  
Robert J. Muise, Esq.: Licensed in Michigan

November 5, 2020

***VIA Email***

Mr. T. Joseph Seward  
Seward Henderson PLLC  
210 East 3rd Street, Suite 212  
Royal Oak, Michigan 48067  
[jseward@SewardHenderson.com](mailto:jseward@SewardHenderson.com)

**Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road***

Dear Mr. Seward:

Leaving aside your false and offensive personal attacks and impertinent comments, I write to respond to your letter of today because it raises additional questions and because we believe there is a way to civilly and reasonably resolve our differences.

To begin, as the Township has previously acknowledged (and your letter confirms), this is a temporary religious display.<sup>1</sup> Previously, the Township stated that it would consider this temporary display to be the equivalent of a “church or temple” under § 25.02 of the Township Zoning Ordinance, which, as noted in my prior letter, defines “church or temple” as “any structure wherein persons regularly assemble for religious activity.” Your letter appears to concede that this

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<sup>1</sup> As noted in my prior letter, the Township suggested that Catholic Healthcare International (CHI) put the temporary display on a flatbed truck and drive it on and off the property as necessary.



determination is inaccurate. There is no “structure” on this property “wherein” regular religious assemblies take place.<sup>2</sup> That is, as your pictures further verify, there is no structure on the property “in which” *any* activity takes place.

Furthermore, regardless of your assertions and any prior correspondence or other communications from my clients, the display is not a “Grotto.” A “Grotto” is a “cave” or “an artificial recess or structure made to resemble a natural cave.” <https://www.merriam-webster.com/dictionary/grotto>.<sup>3</sup> The display at issue is neither. As noted, and as your letter confirms, the display is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). It was not constructed to be permanent because it is not permanent. Moreover, despite your unsupported assertion that the display is not safe, it is indeed safe. The support structures appearing in the photographs provided with your letter illustrate this point, as does the fact that neither wind nor rain nor any other factors have caused any safety issues whatsoever since the display was erected months ago. Time itself refutes your claim. Moreover, this display is not erected along any public right of way or thoroughfare. In fact, it cannot be seen from the road. It is located in a wooded, isolated area.

As your letter further confirms, the Township permits many different types of signage, monuments, or displays, both temporary and permanent. If there is a permitting process for such temporary structures—something far short of the extensive, costly (in excess of \$20,000), and burdensome zoning process required for the approval of a “church or temple”—my clients would certainly be willing to work with the Township to accomplish these approvals.

As noted in my prior letter, CHI does intend to build a chapel on this property in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. CHI expects to begin this process expeditiously. In fact, effective today, CHI has formally retained Boss Engineering (Howell, Michigan), and they expect to have the special land use application and associated documents submitted to the Township within 30 days.

Please know that my clients do wish to remain civil throughout this process and to cooperate with the Township. Indeed, they will comply with all reasonable requirements. However, treating this temporary display as a “church or temple” is not reasonable. We doubt “any reasonable person would agree” with the Township on this point.

In closing, please advise as to the permitting process for allowing this temporary religious display on private property. For example, what would be required for this display to be an approved “monument sign”? I would assume that if it could be approved as a “monument sign,” then my clients would be able to make it a more permanent structure by constructing footings and using

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<sup>2</sup> See <https://www.merriam-webster.com/dictionary/wherein> (defining “wherein” as “in which”).

<sup>3</sup> I doubt that if the small, temporary, homemade paper sign with “Grotto” and an arrow depicted in the second photo contained in your letter had instead stated “Temporary Political Sign” that the Township would consider the religious display to in fact be a political sign. At the end of the day, the display is simply not a “Grotto” as a matter of fact regardless of who is using this term.

cement and mortar to complete the display. As noted, my clients are willing to comply with reasonable permitting requirements.

In sum, there appears to be a process that our respective clients could pursue short of the full-blown process of getting approval for a “church or temple” for this simple religious display. We look forward to discussing this matter further with the appropriate Township officials. And I would be happy to discuss the matter with you as well.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.  
*Co-Founder & Senior Counsel*

cc: Jere Palazzolo

**GENOA CHARTER TOWNSHIP  
LIVINGSTON COUNTY, MICHIGAN**

**RESOLUTION 210503B**

**A RESOLUTION OF AUTHORIZATION FOR THE 2021 MICHIGAN NATURAL RESOURCES TRUST FUND ACQUISITION  
GRANT APPLICATION FOR THE PROJECT ENTITLED "GENOA TOWNSHIP PARK EXPANSION".**

**WHEREAS**, the Township Board of Genoa Charter Township supports the submission of an application titled "Genoa Township Park Expansion", to the Michigan Natural Resources Trust Fund grant program for acquisition of land adjacent to the existing Township Park consisting of approximately 90 acres of property (parcel ID #s 4711-14-300-018, 4711-14-400-006 and 4711-23-100-001) located along the north and south sides of Crooked Lake Road, south/southwest of I-96, east of Dorr Road, and north of Challis Road in Genoa Township, Livingston County, Michigan; and,

**WHEREAS**, the Township Board of Genoa Charter Township does hereby authorize the Township Manager's office to sign documents and take the appropriate steps to apply to the Michigan Department of Natural Resources for an acquisition grant through the Michigan Natural Resources Trust Fund; and

**WHEREAS**, an electronic virtual public comment meeting was held via Zoom on March 29th, 2021 to provide an opportunity for citizens to express opinions, ask questions, and discuss all aspects of the Grant Application for the land acquisition; and

**WHEREAS**, the grant is to fund the acquisition of real property, for the purposes of acquiring additional land adjacent to the Township Park to continue providing recreation amenities in a central location for the community and region, as identified and supported by the Township's approved 2021-2025 Genoa Township Recreation Plan; and

**WHEREAS**, the Charter Township of Genoa is hereby making a financial commitment to the project from the Township's general fund in the amount of three hundred thousand dollars (\$300,000) matching funds, in cash; and,

**WHEREAS**, if the grant is awarded the applicant commits its local match and donated amounts from the following sources:

Crooked Water Properties, LLC	\$1,201,000 (donated amount – land value)
-------------------------------	-------------------------------------------

**NOW THEREFORE, BE IT RESOLVED** that Genoa Charter Township hereby authorizes submission of a Michigan Natural Resources Trust Fund Grant Application for \$300,000, and further resolves to make available a local match through financial commitment and donation(s) of \$1,501,000 (83%) of a total \$1,801,00 project cost, during the 2021-2022 fiscal year.

A roll-call vote on the foregoing resolution was taken and was as follows:

Yeas:

Nays:

Absent:

I, Paulette A. Skolarus, Clerk, do hereby certify, that the foregoing is a true and original copy of a resolution duly made and passed by the Genoa Charter Township Board of Trustees, at their regular meeting held on May 3, 2021 at 6:30 p.m. via electronic meeting zoom format with a quorum present.

IN WITNESS WHEREOF I have hereunto affixed my official signature on the 3<sup>rd</sup> day of May, 2021.

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Paulette A. Skolarus, Clerk, Genoa Charter Township

**RESOLUTION 210503C**

WHEREAS, Sun Sylvan Glen LLC owns and operates a drinking water system serving Sylvan Glen Estates, located at 6600 Grand River Ave., Section 14, Town 2N, Range 5E; and,

WHEREAS, Sun Sylvan Glen LLC possesses the ability and willingness to continue effective operation and maintenance of said system; and

WHEREAS, Genoa Township recognizes the need for effective and continued operation and maintenance of said system to protect the public health; and

WHEREAS, Genoa Township deems it impractical for the Township to own, operate, and administer this particular drinking water supply;

NOW, THEREFORE, BE IT RESOLVED that Genoa Township refuses to accept ownership of or operation, maintenance, and administrative responsibilities for said particular drinking water supply. Genoa Township endorses the application of Sun Sylvan Glen LLC to continue these responsibilities under state permit.

\_\_\_\_\_  
Moved by:

\_\_\_\_\_  
Supported by:

**CERTIFICATION**

I hereby certify that this is a true copy of a resolution adopted by the Township Board of \_\_\_\_\_ Township at its meeting held on \_\_\_\_\_.

\_\_\_\_\_  
Township Clerk

\_\_\_\_\_  
Dated



3121 E. Grand River Howell, MI 48843  
517.546.4836 fax 517.548.1670  
www.bosseng.com

April 14, 2021

Ms. Kelly VanMarter, AICP  
Community Development Director  
Genoa Charter Township  
2911 Dorr Road  
Brighton, MI 48116

Re: Pine Summit

Dear Kelly,

Boss Engineering is working on behalf of Bible Baptist Church for this correspondence. The purpose of this correspondence is to formally request an extension on the preliminary condominium site plan approval for Pine Summit, a 10-unit site condominium located at 3850 Golf Club Road. Pine Summit was approved at the July 20<sup>th</sup>, 2020 Genoa Township Board meeting. Per the Genoa Township Ordinance, Sec. 12.07.06(a), the preliminary condominium site plan approval is good for a period of 12 months following Township Board approval. Although we are still a few months away from that 12-month mark, this correspondence is in anticipation of the coming deadline of the preliminary approval period.


The purpose of the extension request is simple. As you are aware, in addition to the Pine Summit project located at 3850 Golf Club Road, the remainder of the property is set aside for the future Bible Baptist Church campus, as was indicated on the Pine Summit plans. The Church is currently in process with an architect for a building design, which will ultimately lead to a site plan submittal for the Bible Baptist Church campus. Submittal of the final condominium site plans for the Pine Summit project has been held in order to ensure the Bible Baptist Church project can be seamlessly integrated with the Pine Summit development, not only from a construction standpoint but also an efficiency in design aspect. The purpose is to take a big picture approach to both adjacent projects.

So as stated previously and for the aforementioned reason, Pine Summit is seeking the Ordinance allowed 6-month extension to the approved stie plan effective from July 20, 2021 (one year from the original approval).

If you need any further information please feel free to contact me. Thank you.

Regards,

BOSS ENGINEERING COMPANY

A handwritten signature in blue ink, appearing to read "Scott Tousignant", written in a cursive style.

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Scott Tousignant, P.E.  
Project Manager

TO: Honorable Board of Trustees

FROM: Debra L. Rojewski, Assessor 

DATE: MAY 3, 2021

RE: 2021 Millage Rate

Manager's Signature:  \_\_\_\_\_

I have enclosed the 2021 Genoa Township Millage Rate that will be used to calculate the amount of taxes to be collected for each parcel in Genoa Township for the Winter Taxes of 2021. There has been a change in the millage from .7939 to .7855

Michigan State Law requires the Township to approve the millage rate for each tax year.

I would recommend the following motion:

Moved by \_\_\_\_\_, supported by  
\_\_\_\_\_

To approve the Assessor's affidavit of the 2021 Millage levies for Genoa Township, establishing the Millage Rate at 0.7855.

**2021 Tax Rate Request (This form must be completed and submitted on or before September 30, 2021)**

**MILLAGE REQUEST REPORT TO COUNTY BOARD OF COMMISSIONERS**

**Carefully read the instructions on page 2.**

This form is issued under authority of MCL Sections 211.24e, 211.34 and 211.34d. Filing is mandatory; Penalty applies.

County(ies) Where the Local Government Unit Levies Taxes <b>LIVINGSTON</b>	2021 Taxable Value of ALL Properties in the Unit as of 5-24-2021 <b>1,300,439,189</b>
Local Government Unit Requesting Millage Levy <b>GENOA CHARTER TOWNSHIP</b>	For LOCAL School Districts: 2021 Taxable Value excluding Principal Residence, Qualified Agricultural, Qualified Forest, Industrial Personal and Commercial Personal Properties.

This form must be completed for each unit of government for which a property tax is levied. Penalty for non-filing is provided under MCL Sec 211.119. The following tax rates have been authorized for levy on the 2021 tax roll.

(1) Source	(2) Purpose of Millage	(3) Date of Election	(4) Original Millage Authorized by Election Charter, etc.	(5) ** 2020 Millage Rate Permanently Reduced by MCL 211.34d "Headlee"	(6) 2021 Current Year "Headlee" Millage Reduction Fraction	(7) 2021 Millage Rate Permanently Reduced by MCL 211.34d "Headlee"	(8) Sec. 211.34 Truth in Assessing or Equalization Millage Rollback Fraction	(9) Maximum Allowable Millage Levy *	(10) Millage Requested to be Levied July 1	(11) Millage Requested to be Levied Dec. 1	(12) Expiration Date of Millage Authorized
ALLOC	OPER	N/A		.7939	.9895	.7855	1.0000	.7855		.7855	N/A

Prepared by <b>Debra L. Rojewski</b>	Telephone Number <b>(810) 227-5225</b>	Title of Preparer <b>Assessor</b>	Date <b>4/29/2021</b>
-----------------------------------------	-------------------------------------------	--------------------------------------	--------------------------

**CERTIFICATION:** As the representatives for the local government unit named above, we certify that these requested tax levy rates have been reduced, if necessary to comply with the state constitution (Article 9, Section 31), and that the requested levy rates have also been reduced, if necessary to comply with MCL Sections 211.24e, 211.34 and, for LOCAL school districts which levy a Supplemental (Hold Harmless) Millage, 380.1211(3). **Local School District Use Only. Complete if requesting millage to be levied. See STC Bulletin 2 of 2021 for instructions on completing this section.**

<input checked="" type="checkbox"/> Clerk	Signature	Print Name	Date
<input type="checkbox"/> Secretary		<b>Paulette Skoularus</b>	
<input checked="" type="checkbox"/> Chairperson	Signature	Print Name	Date
<input type="checkbox"/> President		<b>Bill Rogers</b>	

Total School District Operating Rates to be Levied (HH/Supp and NH Oper ONLY)	Rate
For Principal Residence, Qualified Ag, Qualified Forest and Industrial Personal	
For Commercial Personal	
For all Other	

\* Under Truth in Taxation, MCL Section 211.24e, the governing body may decide to levy a rate which will not exceed the maximum authorized rate allowed in column 9. The requirements of MCL 211.24e must be met prior to levying an operating levy which is larger than the base tax rate but not larger than the rate in column 9.

**\*\* IMPORTANT:** See instructions on page 2 regarding where to find the millage rate used in column (5).



**2021 MILLAGE REDUCTION FRACTION CALCULATIONS WORKSHEET**

L-4034

**INCLUDING MILLAGE REDUCTION FRACTION CALCULATIONS NOT**

**NOT SPECIFICALLY ASSIGNED TO THE COUNTY EQUALIZATION DIRECTOR BY LAW**

County  LIVINGSTON COUNTY	Taxing Jurisdiction  Genoa Twp. (City, Twp., Village, County, Authority, School District)
2020 Total Taxable Value	<u>1,252,865,560</u>
Losses	<u>5,583,402</u>
Addition	<u>22,225,540</u>
2021 Total Taxable Value Based on SEV	<u>1,300,439,189</u>
2021 Total Taxable Value Based on Assessed Value (A.V.)	<u>1,300,439,189</u>
2021 Total Taxable Value Based on CEV	<u>1,300,439,189</u>
2021 Rate of Inflation (C.P.I.)	<u>1.014</u>

Note: The last two items above are only needed when it is necessary to calculate a Truth in Assessing or Truth in County Equalization Rollback Fraction.

1. Section 211.34d, MCL, "Headlee" (for each unit of local government)

(2020 Total Taxable Value-Losses) x Inflation Rate (C.P.I.)

$$\frac{1,252,865,560 \text{ Minus } 5,583,402}{1,300,439,189 \text{ Minus } 22,225,540} \times 1.014 = \underline{\underline{0.9895}}$$

2021 Millage Reduction Fraction (Headlee). Round to 4 decimal places in the conventional manner. If number exceeds 1.0000, line through and enter 1.0000

See State Tax Commission Bulletin No. 3 of 1995 regarding the calculation of losses and additions. See also the Supplements to STC Bulletin No. 3 of 1995 contained in STC Bulletin No. 3 of 1997.

2a. Section 211.34, MCL, "Truth in Assessing" (for cities and townships if S.E.V. exceeds A.V. for 2009 only)

$$\frac{\text{(2021 Total Taxable Value Based on Assessed Value for all Classes)}}{\text{(2021 Total Taxable Value Based on SEV for all Classes)}} = \underline{\underline{1.0000}}$$

2021 Rollback Fraction (Truth in Assessing) Round to 4 decimal places in the conventional manner. (Cannot exceed 1.000)

See State Tax Commission Bulletin No. 7 of 2004 for more information regarding this calculation.

2b. Section 211.34, MCL, "Truth in County Equalization" (for villages, counties and authorities if S.E.V. exceeds C.E.V. for 2009 only)

$$\frac{\text{(2021 Total Taxable Value based on CEV for all Classes)}}{\text{(2021 Total Taxable Value Based on SEV for all Classes)}} = \underline{\underline{1.0000}}$$

2021 Rollback Fraction (Truth in County Equalization) Round to 4 decimal places in the Conventional manner. (Cannot exceed 1.000)

See State Tax Commission Bulletin No. 7 of 2004 for more information regarding this calculation.

3. Section 211.24e, MCL, "Truth in Taxation" (for each taxing jurisdiction that levied more than 1 mill for operating purposes in prior year only).

$$\frac{\text{(2020 Total Taxable Value-Losses)}}{\text{(2021 Total Taxable Value Based on SEV - Additions)}} = \underline{\underline{0.9758}}$$

2021 Base Tax Rate Fraction (Truth in Taxation) Round to 4 decimal places in the conventional manner

Use the same amounts for additions and losses as were used for the 211.34d ("Headlee") rollback.

Note: The truth in taxation BTRF is independent from the cumulative millage reductions provided by sections 211.34d and 211.34. The Base Tax Rate equals the BTRF X 2020 Operating Rate levied.

**To: Genoa Township Board**

**From: Robin L. Hunt, Genoa Township Treasurer**

**Date: April 28, 2021**

**Re: Discussion regarding Township Board Minutes and online posting procedures**

For your information, I have asked that the above item be placed on the May 3, 2021 Township Board Agenda. I am very concerned about the accuracy of the Township Board Minutes that are being posted to the Genoa Township website.

The Township Board minutes for the meeting held 2/15/21 were corrected by this Board twice. On 3/1/21 the Board removed wording that was not said by the Clerk but inserted into the minutes. The Board had to again correct those meeting minutes on 3/15/21 to include the increase to refuse in the motion. As of today, the first correction was made however the second correction has not.

The minutes for the Township Board Special meeting that was held on 3/29/21 have never been posted to the Township Website. Per the Open Meetings Act all proposed minutes are required to be posted within 8 business days and approved minutes are required to be posted within 5 business days.

I would like the Board to consider requiring that all Township Board minutes posted on the Township website must first be signed by both the Township Supervisor and the Township Clerk, as required by law, and that all unapproved minutes be stamped DRAFT until they are approved by this Board.

# **Board Correspondence**

Thanks for your time and consideration during our phone conversation today. Please see the facts below, present situation, and suggested solutions..

We have lived at [REDACTED] Mountain Road in Mystic sub since 1989. For some perspective of change since then, there was a blinker light at Main street and Grand River-and it was perfectly adequate! We live next door to the previous home of Becky Cook and Mark-moved in same time. We actually looked at each other's homes.. (to decide) Brad Zimmerman has moved in to the old Cooks home (with Gwen), and is a great neighbor, and they take care of their property in an exemplary manner-and Own a Corporation which involves coaching CEOs to understand cultures and how to effectively communicate. This seems timely.. I was a Business Consultant and Marketing Expert, with business turnarounds etc.. Retired 2012.

Specific situation:

Mystics roads have a 20 year life as set up, and presently are over 40 years old.. Thus, it's very embarrassing to have company, who always complain. From Sundance corner past our house for several homes, it looks like a nuclear bomb struck it (maybe hyperbole, but not much)-and another area down

Mountain about half way the same . Twisted and broken bones walking, tires that last 15M miles, front end alignments that last 6 months, etc are hidden costs of living here.. Not to mention poor visual optics.. Poor roads lead to poor yards, then roofs, declining values, and inevitably increased crime..

So, years back a concerned group suggested that we correct this.. There was a core of 25-30 then feeling strongly about it.. We found many wanted exotic concrete and curb solutions that would result in a assessment of \$12-14M each.. Upfront or over time-each homes choice.. Many complained about this, and were concerned traffic in building Copperleaf would just mess up again.. Done now. Sundance was damaged just like in front of our home, and were getting much pressure to Genoa to correct from Stonegate folks . Home I remember sub names correctly. A solution was proposed for \$7M prox, and easily was supported and done in 2 weeks. I actually think asphalt looks better with this lovely natural property.. Most say concrete ok, if not upcharges..

So, the 105-110 homes prox in Mystic, reduced to about 80 now.. You would know specifics better than me.. (after Sundance peeled off for paving purposes)..

Last discussion a few years back suggested 11M prox, including engineering known flaws around my home and the area half way back. This is because of less density and larger lots..

Current situation:

Request 1

Please communicate with the county the need to patch carefully around my home and Zimmerman's, and half way down Mt. THE MAJOR PROBLEM AREAS. And as needed elsewhere.

Request 2

I think the real solution is to model Park Townships solution to this same issue in their area.. Essentially the millage was increased by 200-300 a year for the average home.. It must be recognized that the roads must be corrected and this is an efficient way to do it.. Then the Twp works with the county to prioritize

The worst 4-6 subs each year.. Large assessments are avoided , and home owners out of the issue.. I recommend you research the exact system details there and replicate it..How did they position, etc..

My brother in law lives in Bloomfield Hills.. Pays 5-6 times our property tax. Everything passes.. Genoa the opposite.. It needs to be understood that for a very little more, this issue can be resolved.

Request 3

If no approval for 2, we need state and federal support for townships as we come out of Covid, to enable more aggressive cost sharing.. I think we need cost to get to 8-9M.. 7M was magic number on Sundance..

We can begin to network and build support, as we get on same page.. What was Atty Roger \_\_\_\_\_last name in Mystic please.. Forgot to note.. Sounds like a concerned citizen.

Last request

It was be good if the area my home and half way down could be corrected , until major work can be done.. Happy to contribute to this. Looks like its been done in Mystic.

Thanks for listening.. Feel strongly the Park Twp solution is a good one.. But needs to be effectively communicated..

[REDACTED]

[REDACTED] Mountain Road

[REDACTED]

10 Board 3/3/21



GRETCHEN WHITMER  
GOVERNOR

STATE OF MICHIGAN  
DEPARTMENT OF AGRICULTURE  
AND RURAL DEVELOPMENT

GARY MCDOWELL  
DIRECTOR

April 22, 2021

Justin Leitch  
1017 Hacker Road  
Brighton, MI 48114

**RE: GAAMPs Review**

Dear Mr. Leitch:

On April 1, 2021, I met with you to review the Generally Accepted Agricultural and Management Practices (GAAMPs) followed at your poultry facility in Livingston County. This review was conducted by the Michigan Department of Agriculture and Rural Development (MDARD) in response to your proactive request for a GAAMPs review.

Based upon my review of the farm operation located at 1017 Hacker Road, Brighton, I have concluded that:

- Your plans indicate you will have 100 chickens and less than 25 turkeys and peacocks, which is less than 50 Animal Units.
- Your plans indicate that manure will be collected and exported offsite monthly, to be applied to cropland at agronomic rates.
- Finally, you identified a proposed livestock housing area on your property that is over 250' from non-farm residences and has less than 13 non-farm residences within 660' of the area.

MDARD has determined that at this time your farm operation plans conform to all applicable GAAMPs.

As required by the Right to Farm Act a copy of this letter is being sent to the Township and County in which the facility is located.

Thank you again for taking the time to meet with me to review your agricultural management practices, and for your efforts and commitment to maintain the positive image of Michigan agriculture. Please contact me at 517-285-1918, if you have any further questions.

Sincerely,

Jay Korson  
Right to Farm Program

JK:ot

cc: Livingston County Clerk  
Genoa Township Clerk