

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting/Public Hearing
April 5, 2021
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: March 15, 2021 and March 29, 2021

Regular Agenda:

3. Consideration of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.

- A. Disposition of Special Use Application
- B. Disposition of Environmental Impact Assessment (2-16-21)
- C. Disposition of Site Plan (3-25-21)

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: April 5, 2021

TOWNSHIP GENERAL EXPENSES: April 5, 2021	\$1,698,358.33
March 19, 2021 Weekly Payroll	\$102,446.82
April 2, 2021 Bi Weekly Payroll	\$97,978.20
OPERATING EXPENSES: April 2, 2021	\$388,641.27
TOTAL:	<u>\$2,287,424.62</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
03/09/2021	36687	ALLSTAR ALARM LLC	91.44
03/09/2021	36688	COMCAST	723.77
03/09/2021	36689	DTE ENERGY	1,084.04
03/09/2021	36690	MASTER MEDIA SUPPLY	468.85
03/09/2021	36691	NETWORK SERVICES GROUP, L.L.C.	15,950.00
03/09/2021	36692	OFFICE EXPRESS INC.	43.96
03/09/2021	36693	QUADIANT INC.	837.02
03/09/2021	36694	SECURITY LOCK SERVICE,, INC	68.50
03/10/2021	36695	GENOA TOWNSHIP PARKS & RECREATION	550,000.00
03/15/2021	36696	GENOA TWP FUTURE ROADS #261	900,000.00
03/17/2021	36697	ADVANCED DISPOSAL SERVICES-VR	93,110.33
03/17/2021	36698	BLUE CROSS & BLUE SHIELD OF MI	44,697.59
03/17/2021	36699	COMCAST	637.20
03/17/2021	36700	COOPER'S TURF MANAGEMENT LLC	8,118.00
03/17/2021	36701	DYKEMA GOSSETT, PLLC	4,912.00
03/17/2021	36702	EHIM, INC	9,516.00
03/17/2021	36703	MILFORD SALVAGE IRON & METAL CO. IN	7,000.00
03/17/2021	36704	PFEFFER, HANNIFORD, PALKA	4,100.00
03/17/2021	36705	US BANK EQUIPMENT FINANCE	1,971.97
03/17/2021	36706	VERIZON WIRELESS	433.47
03/17/2021	36707	WELLNESS IQ	147.60
03/22/2021	36708	BUSINESS IMAGING GROUP	113.89
03/22/2021	36709	COMCAST	268.95
03/22/2021	36710	CONSUMERS ENERGY	234.76
03/22/2021	36711	LCAA	100.00
03/22/2021	36712	POWER HOME REMODELING GROUP, LLC	20.00
03/22/2021	36713	QUADIANT FINANCE USA, INC	5,302.14
03/22/2021	36714	WALMART COMMUNITY	471.00
03/23/2021	36715	MHOG WATER AUTHORITY	39,250.00
03/24/2021	36716	CHASE CARD SERVICES	1,829.57
03/24/2021	36717	GENWORTH LIFE	371.17
03/24/2021	36718	LIVINGSTON COUNTY REGISTER OF DEEDS	30.00
03/25/2021	36719	LIVINGSTON PRESS & ARGUS	530.00
03/25/2021	36720	DELTA DENTAL	3,812.39
03/25/2021	36721	MUTUAL OF OMAHA	2,112.72
FNBCK TOTALS:			
Total of 35 Checks:			1,698,358.33
Less 0 Void Checks:			0.00
Total of 35 Disbursements:			<u>1,698,358.33</u>

Check Register Report For Genoa Charter Township
 For Check Dates 03/19/2021 to 03/19/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
03/19/2021	FNBCK	13467	LOVELL, WILLIAM T	679.23	587.34	0.00	Open
03/19/2021	FNBCK	13468	MATKIN, RONALD	598.00	552.26	0.00	Open
03/19/2021	FNBCK	13469	MCFARLANE, LINDSAY D	377.00	332.14	0.00	Open
03/19/2021	FNBCK	13470	SCHNIERS, DENISE	1,600.00	1,192.46	0.00	Open
03/19/2021	FNBCK	EFT549	FLEX SPENDING (TASC)	814.86	814.86	0.00	Open
03/19/2021	FNBCK	EFT550	INTERNAL REVENUE SERVICE	23,389.09	23,389.09	0.00	Open
03/19/2021	FNBCK	EFT551	PRINCIPAL FINANCIAL	3,156.00	3,156.00	0.00	Open
03/19/2021	FNBCK	EFT552	PRINCIPAL FINANCIAL	2,342.09	2,342.09	0.00	Open

Totals: Number of Checks: 008 32,956.27 32,366.24 0.00

Total Physical Checks: 4
 Total Check Stubs: 4

Dir. Dep.

\$70,080.58

\$102,446.82

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
04/02/2021	FNBCK	13472	LOVELL, WILLIAM T	1,319.23	995.14	0.00	Open
04/02/2021	FNBCK	EFT553	FLEX SPENDING (TASC)	814.86	814.86	0.00	Open
04/02/2021	FNBCK	EFT554	INTERNAL REVENUE SERVICE	22,799.47	22,799.47	0.00	Open
04/02/2021	FNBCK	EFT555	PRINCIPAL FINANCIAL	3,556.00	3,556.00	0.00	Open
04/02/2021	FNBCK	EFT556	PRINCIPAL FINANCIAL	2,342.09	2,342.09	0.00	Open
Totals:		Number of Checks: 005		30,831.65	30,507.56	0.00	
Total Physical Checks:		1				Direct Dep.	
Total Check Stubs:		4				<u>\$67,470.64</u>	
						<u>\$97,978.20</u>	

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
03/09/2021	5176	AT&T LONG DISTANCE	77.06
03/09/2021	5177	DTE ENERGY	4,791.86
03/17/2021	5178	AMERICAN AQUA	226.64
03/17/2021	5179	AT&T	210.40
03/17/2021	5180	BRIGHTON ANALYTICAL LLC	600.00
03/17/2021	5181	DUBOIS-COOPER	50.00
03/17/2021	5182	FERGUSON WATERWORKS #3386	454.20
03/17/2021	5183	GENOA TOWNSHIP D.P.W. FUND	43,019.87
03/17/2021	5184	GENOA OCEOLA SEWER AUTHORITY	62.66
03/17/2021	5185	GENOA OCEOLA SEWER AUTHORITY	946.91
03/17/2021	5186	GRAINGER	297.13
03/17/2021	5187	HAVILAND PRODUCTS COMPANY	2,700.00
03/17/2021	5188	HUBBELL, ROTH & CLARK, INC	1,600.11
03/17/2021	5189	HYDROCORP	225.00
03/17/2021	5190	KENNEDY INDUSTRIES	685.00
03/17/2021	5191	M & K JETTING AND TELEVISIONING LLC	4,042.50
03/17/2021	5192	PFEFFER, HANNIFORD, PALKA	4,500.00
03/17/2021	5193	SHERWIN- WILLIAMS	57.69
03/17/2021	5194	TETRA TECH, INC.	5,349.80
03/17/2021	5195	TLS CONSTRUCTION	2,974.00
03/17/2021	5196	UIS SCADA	1,102.50
03/17/2021	5197	WATER SOLUTIONS UNLIMITED, INC	1,985.00
03/17/2021	5198	AMERICAN AQUA	222.64
03/22/2021	5199	AT&T LONG DISTANCE	51.38
03/22/2021	5200	CONSUMERS ENERGY	284.38
03/22/2021	5201	CONSUMERS ENERGY	313.49
592FN TOTALS:			
Total of 26 Checks:			76,830.22
Less 0 Void Checks:			0.00
Total of 26 Disbursements:			76,830.22

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
03/10/2021	5207	PORT CITY COMMUNICATIONS, INC.	
03/10/2021	5208	WEX BANK	171.05
03/10/2021	5209	WINDSTREAM	3,648.05
03/10/2021	5210	GENOA TOWNSHIP	46.24
03/15/2021	5211	ASCENSION MICHIGAN	200,000.00
03/15/2021	5212	UNITED STATES POSTAL SERVICE	260.00
03/16/2021	5213	ADVANCE AUTO PARTS	68.27
03/16/2021	5214	AUTO-LAB OF LIVINGSTON	395.68
03/16/2021	5215	CHASE CARD SERVICES	3,273.19
03/16/2021	5216	CORRIGAN TOWING	5,753.77
03/16/2021	5217	CRUISERS	82.00
03/16/2021	5218	GIFFELS WEBSTER	975.00
03/16/2021	5219	LINE-X OF BRIGHTON	2,640.00
03/16/2021	5220	MWEA	2,623.00
03/16/2021	5221	PFEFFER, HANNIFORD, PALKA	140.00
03/16/2021	5222	RANDY'S SERVICE STATION	2,500.00
03/16/2021	5223	SENSUS USA, INC	884.00
03/16/2021	5224	SIGN WORKS	1,949.94
03/16/2021	5225	TETRA TECH INC	300.00
03/16/2021	5226	VICTORY LANE QUICK OIL CHANGE	4,132.50
03/17/2021	5227	MICHIGAN OFFICE SOLUTIONS	497.33
03/17/2021	5228	STERLING	90.00
03/22/2021	5229	VERIZON WIRELESS	80.00
03/25/2021	5231	ASCENSION MICHIGAN	702.53
03/25/2021	5232	HOME DEPOT CREDIT SERVICES	70.00
03/25/2021	5233	LAFONTAINE CDJR-LANSING	2,109.94
503FN TOTALS:			<u>50,543.00</u>
Total of 26 Checks:			283,935.49
Less 0 Void Checks:			0.00
Total of 26 Disbursements:			<u>283,935.49</u>

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
03/09/2021	3921	DTE ENERGY	
03/15/2021	3922	BRIGHTON ANALYTICAL LLC	3,989.56
03/15/2021	3923	CONSUMERS ENERGY	67.00
03/15/2021	3924	GENOA TOWNSHIP D.P.W. FUND	477.69
03/15/2021	3925	GENOA OCEOLA SEWER AUTHORITY	11,937.91
03/15/2021	3926	HARTLAND SEPTIC SERVICE, INC.	151.44
03/15/2021	3927	PFEFFER, HANNIFORD, PALKA	6,600.00
03/15/2021	3928	PFEFFER, HANNIFORD, PALKA	2,250.00
03/17/2021	3929	CONSUMERS ENERGY	1,050.00
03/17/2021	3930	GENOA TWP DPW FUND	12.50
03/26/2021	3931	BRIGHTON ANALYTICAL LLC	1,017.96
593FN TOTALS:			<u>321.50</u>
Total of 11 Checks:			283,935.49 + 503
Less 0 Void Checks:			0.00
Total of 11 Disbursements:			<u>27,875.56</u>

003

388,881.2733



April 2021						
S	M	T	W	T	F	S
28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

New Balance
\$5,753.77
 Minimum Payment Due
\$57.00
 Payment Due Date
04/01/21

INK CASH(SM) POINT SUMMARY

Previous points balance	16,267
+ 1 Point per \$1 earned on all purchases	5,764
+ 2Pts/\$1 gas stns, rstnts, ofo sply, hm Impr	1,588

Total points available for redemption 22,609

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number:	[REDACTED]
Previous Balance	\$6,079.58
Payment, Credits	-\$6,079.58
Purchases	+\$5,753.77
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$5,753.77
Opening/Closing Date	02/08/21 - 03/07/21
Credit Limit	\$28,000
Available Credit	\$22,246
Cash Access Line	\$1,400
Available for Cash	\$1,400
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

MAILED

3-18-21

COPY

ENTERED MAR 15 2021

ALL SYS - 503-000-084-000
UTILITY DEPT.

MAR 15 2021

RECEIVED

YOUR ACCOUNT MESSAGES

Your credit line has been increased. Take advantage of your enhanced spending power to make purchases and transfer balances today.



ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
02/25	ACI PARTS PLUS 616-588-9055 MI <i>MHOG</i>	107.48 ✓
02/25	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	75.98 ✓
02/26	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	131.96 ✓
02/25	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	399.98 ✓
03/01	STAPLES 00107730 BRIGHTON MI <i>MHOG</i>	113.97 ✓
03/04	AMZN Mktp US*4E1982RZ3 Amzn.com/bill WA <i>MHOG</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$878.27	48.90 ✓
02/10	OVERHEAD DOOR OF WHITMORE WHITMORE LAKE MI <i>G.O</i>	35.00 ✓
02/11	AUTOMATIONDIRECT.COM 770-889-7588 GA <i>G.O</i>	962.00 ✓
03/01	STAPLES 00107730 BRIGHTON MI <i>G.O</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$1068.78	71.78 ✓
02/05	HIRE MOJO INC 800-395-2805 CA <i>DPW recruiting</i>	2,408.00 ✓
02/15	FUNERAL FLOWERS/GIFTS WWW.RUNCFS.CO MA <i>DPW</i> KIMBERLY LANE TRANSACTIONS THIS CYCLE (CARD 4797) \$2498.58 <i>never delivered reimbursed by check KL</i>	90.58 ✓
02/25	Payment ThankYou Image Check	-6,079.58
03/04	RINGCENTRAL, INC 650-4724100 CA <i>DPW phone</i>	66.14 -
03/05	TRAFFIC MANAGEMENT DETRO 800-763-3999 MI <i>G.O</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$4771.44- INCLUDING PAYMENTS RECEIVED	1,242.00 ✓

2021 Totals Year-to-Date	
Total fees charged in 2021	\$0.00
Total interest charged in 2021	\$0.00

COPY

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

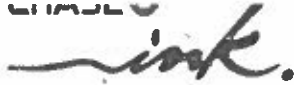
Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

28 Days in Billing Period

(v) = Variable Rate
(d) = Daily Balance Method (including new transactions)
(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.



manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

April 2021						
S	M	T	W	T	F	S
28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

New Balance
\$1,829.57
 Minimum Payment Due
\$365.00
 Payment Due Date
04/10/21

MAILED
 3-25-21

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.
Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

COPY

ACCOUNT SUMMARY

Account Number:	[REDACTED]
Previous Balance	\$1,822.79
Payment, Credits	-\$1,822.79
Purchases	+\$1,824.24
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	+\$5.33
New Balance	\$1,829.57
Opening/Closing Date	02/17/21 - 03/16/21
Credit Limit	\$20,000
Available Credit	\$18,170
Cash Access Line	\$1,000
Available for Cash	\$1,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00



Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ENTERED MAR 24 2021

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
02/25	Payment ThankYou Image Check	-1,822.79
02/16	AMZN Mktg US*YL1GG83M3 Amzn.com/bill WA	141.02 <i>Rtm</i>
03/03	REALCOMP II LTD 248-553-3003 MI	201.00 <i>Docs</i>
03/08	Amazon.com*MB46M1V93 Amzn.com/bill WA	249.98 <i>Rtm</i>
03/09	RED OLIVE XIV HOWELL MI	
03/08	STATE SIDE DELI HOWELL MI	92.17 <i>Dinner</i>
03/15	Amazon.com*2A8QR15B1 Amzn.com/bill WA	-101.19 <i>BoR</i>
03/15	IN *PROPET DISTRIBUTORS I 407-8884627 FL	857.98 <i>Rtm</i>
03/15	IN *PROPET DISTRIBUTORS I 407-8884627 FL	180.90 <i>Rtm</i>
03/16	PURCHASE INTEREST CHARGE MICHAEL C ARCHINAL TRANSACTIONS THIS CYCLE (CARD 3223) \$6.78 INCLUDING PAYMENTS RECEIVED	5.33 <i>ME</i>

Meeting Fee
Misc Expense
Dinner
Lunch

2021 Totals Year-to-Date	
Total fees charged in 2021	\$39.00
Total interest charged in 2021	\$22.87

Year-to-date totals do not reflect any fee or interest refunds you may have received.

OK
[Signature]
3/23/2021

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	\$525.26	\$5.33
CASH ADVANCES			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

28 Days in Billing Period

(v) = Variable Rate

(d) = Daily Balance Method (including new transactions)

(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

*Includes interest charges on Late or Return Payment fees.

**This My Chase Loan has expired. Interest will continue to accrue on this My Chase Loan balance until it is paid in full.

IMPORTANT NEWS

IMPORTANT NEWS

Your account is a business account, to be used only for business transactions. It is not intended for personal, family or household purposes.

COPY

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting/Public Hearing
March 15, 2021

Rogers - Due to Michigan Department of Health and Human Services requirements, this meeting will be held virtually. The public may participate in the meeting/public hearing through Zoom access by computer and smart phone. A link will be posted at genoa.org. Please email info@genoa.org or call (810) 227-5225 if you have questions.

MINUTES

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall with others remotely in the Township. The Pledge of Allegiance was then said. The following members were present for the roll call meeting, either at home or the township office, constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and no persons in the audience.

A Call to the Public was made with no response and will be open for the continuation of the meeting.

Consent Agenda:

Moved by Hunt and supported by Lowe to approve all items listed under the Consent Agenda, moving approval of the Feb. 15, 2021 minutes to the regular agenda for further discussion, as requested. The motion carried unanimously.

1. Payment of Bills.

2. Request to Approve Minutes: February 15, 2021 and March 1, 2021

3. Request to approve a proposal from Dell for the purchase of four new workstations and one new laptop for \$2,507.34.

Regular Agenda:

Moved by Mortensen and supported by Ledford to approve for action all items listed under the Regular Agenda with the addition of the Minutes from February 15, 2021, as requested. The motion carried unanimously

Note: The following comments were received from residents opposed to the site plan for Catholic Healthcare International along Chilson Road that was approved by the Planning Commission and recommended to the Board for approval. Calls from the public began to come into the Board as follows:

- Robert and Debra Jones – 3553 Westphal – We oppose the Padre Pio Chapel that was approved by the Planning Commission. Please listen to your residents.
- Jim McArdle – 2581 Fishbeck – I oppose the project. It is not consistent with surrounding land uses.
- Jacob Bogan - 5790 Pinckney – I oppose the project. School traffic is already an issue. We are a zoned residential community with enough traffic problems. The Church promised a prayer Center, however their website includes three phases. They also began construction prior to receiving approval. They have already violated Township Rules and they have a flyer on site that represents Phase 2.
- Lynn and Robert Lagana – 3710 Westphal – We oppose the project and would like to be present when a meeting can be called in person. The location is inappropriate. Please cancel the zoom meeting that is scheduled.
- Linda Holland – 3023 Pardee – The applicant is providing conflicting information and it is proposed for the wrong location. We are in a rural area and oppose the project.
- Debra Jones – 3553 Westphal – All the neighbors are opposed and zoom is not a good format for public input. Please pause this project.
- Mike Williams – 3654 Westphal – This is a wrong location – an area of private homes and zoom is an ineffective format. I oppose the project.
- Debra Beattie – 3809 Chilson - The project should be tabled until in-person meetings are allowed. There was opposition at the Planning Commission with a 4 to 3 vote.
- Linda Wolney – 3591 Westphal – I oppose the project. We are up in arms. Listen to your constituents. This is only Phase I and the property is zoned Country Estates. They are breaking ground on May 25th and they do not have approval as yet.
- Dawn Williams – 3564 Westphal – Do any of the board members live in this area. The next meeting should be in person. We sat through a four-hour meeting with the Planning Commission. We are opposed. Please hold off on the April meeting until we can meet in person.
- Melanie Johnson – 3990 Chilson – Everyone is turning in my driveway. There are 275,000 visitors a year and Indian River Cross in the Woods. Questions at the Planning Commission have not been answered. Jill Rickard asked for a site plan of the entire property.

- Eric Rauch asked about decibel levels especially before 9:00 a.m. and an estimate of the potential number of visitors to the Shrine. This project is not a “nice” tiny chapel. Lives will be disruptive and will not keep this place of prayer and peacefulness that it is today. The hourly bell ringing is a problem. Respect our zoning. I oppose.
- Kim Park – 2935 Westphal – I oppose this project.
- John Walbank - 2899 Pardee – I oppose
- Duane Johnson – Asked that his name be added to those opposed.
- Daena Nicholas – 4569 Oak Pointe – Raised concerns about traffic and the number of children in the area. Please table this meeting until we can meet in person.
- Melanie Johnson – The relics of Padre Pio were on display in Saginaw, MI and more than 5,000 people visited the site.
- Karen McCardle – 3125 Fishbeck – Her family moved here for the country feel and dark skies. The area is not appropriate for a church and this project is intended to grow.
- Jim Brancheau – 3611 Westphal – I am opposed to project and have been circulating petitions and only one person has expressed support for the proposal.
- Michael Archinal – This petition is on the Agenda this evening. It will be discussed sometime in the future. Residents should send correspondence and emails concerning this issue when it is discussed at another board meeting.
- Debra Jones – 3553 Westphal - is opposed to the 2% pay increase.
- Linda Wolney – 3591 Westphal – When we moved here, the sky was dark. Now we can see the night glow from 3 Fires School. This church will light up the sky too. We are against this project. We need to be heard. Listen to your constituents.

2. Request to Approve Minutes: February 15, 2021

Moved by Hunt and supported by Lowe to approve the Minutes of the Feb. 15, 2021 Regular Meeting of the Board adding – “Also, to approve a \$12.00 increase for refuse collection and disposal to the 2021-2022 December Tax Bill to cover a portion of the cost of recycling.” The motion carried unanimously.

4. Request for approval of an amendment to Township budgets 101, 212, 261, 264, 270, and 271 for the Fiscal Year ending March 31, 2021.

Moved by Hunt and supported by Lowe to approve the amended budgets with minor changes as requested by Skolarus. The motion carried unanimously. *Note: Corrected copies will be provided at the next regular meeting of the board.*

Moved by Hunt and supported by Lowe to approve the corrected and amended Township budgets as requested. The motion carried unanimously.

5. Public hearing related to budgets 101, 212, 261, 264, 270, and 271 for Fiscal Year beginning April 1, 2021 and commencing March 31, 2022 as requested by Skolarus.

Moved by Hunt and supported by Lowe to correct the Agenda related to Township budgets for fiscal year 2021/2022: Adding Trustees to item C; adding Planning Commission, and Zoning Board of Appeals members to Item D and removing Item E from the . The amended Agenda was voted and carried unanimously.

A. A Call to the Public was made with no response.

B. Board discussion

Minor changes were made to the line items on the budgets. Corrected copies will be provided at the next regular meeting of the board with those changes.

C. Disposition of salaries for elected officials with 2% increase for the Supervisor, the Treasurer, Clerk and Trustees.

Moved by Ledford and supported by Hunt to withhold a pay increase for the Clerk Polly Skolarus in the 2021 budget on the grounds of her irresponsible behavior, abuse of her office, malfeasance, and putting the integrity of the township at risk and further, that all pay increases be denied for the remainder of her term or until the date of her resignation, whichever occurs first. The motion carried as follows: Ayes – Ledford, Croft, Hunt, Rogers. Nay – Mortensen and Lowe. Skolarus – Abstain. I would like to make a comment please. I worked hard for this Township for many years. I pride myself on the elections that have been run in my office with honesty and integrity and I am surprised by Jean Ledford's comments and I am saddened by it. Thank you.

D. Disposition of a 2% salary increase for all staff, Planning Commission Members, and Zoning Board of Appeals.

Moved by Lowe and supported by Mortensen to approve the pay increase as recommended. The motion carried unanimously.

E. Deleted - Disposition of a \$12.00 increase in refuse collection and disposal with the cost levied on the December 2021 Winter Tax Bill.

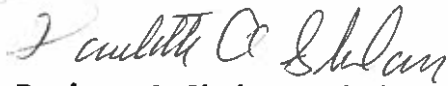
F. Disposition of budgets 101, 212, 261, 264, 270, and 271 as requested.

Moved by Ledford and supported by Mortensen approve budgets 101, 212, 261, 264, 270, 271 as requested. The motion carried unanimously.

6. Request for approval of the following Debt Service Fund Budgets for the Fiscal Year ending March 31, 2022: Fund 852, 859, 872, and 873 as provided by Treasurer Hunt.

Moved by Lowe and supported by Ledford to approve the Debt Service Fund Budgets as requested. The motion carried unanimously.

Moved by Hunt and supported by Lowe to adjourn the public hearing and regular meeting of the board at 8:10 p.m.



**Paulette A. Skolarus, Clerk
Genoa Charter Township**

**Bill Rogers, Supervisor
Genoa Charter Township**

GENOA CHARTER TOWNSHIP BOARD
Special Meeting/Public Hearing - Virtual
March 29, 2021

MINUTES

Rogers - Due to Michigan Department of Health and Human Services requirements, this meeting will be held virtually. The public may participate in the meeting/public hearing through Zoom access by computer and smartphone. A link will be posted at genoa.org. Please email info@genoa.org or call (810) 227-5225 if you have questions.

Supervisor Rogers called the virtual Public Hearing and Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. from the Township Hall with others remotely in the Township. The Pledge of Allegiance was then said. The following members were present for the roll call meeting, either at home or the township office, constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and no persons in the audience.

A Call to the Public was made with no response. The Call to the Public will be open for the continuation of the meeting.

Regular Agenda:

Moved by Mortenson and supported by Ledford to approve for action Public Hearing and Resolution 210329 as requested. The motion carried unanimously.

1. Public hearing and consideration of Resolution 210329 supporting the Michigan Natural Resources Trust Fund (MNRTF) grant application and related financial commitment in an amount not to exceed \$300,000 for acquisition of land adjacent to the existing Township Park consisting of approximately 90 acres of property (parcel ID #s 4711-14-300-018, 4711-14-400-006 and 4711-23-100-001) located along the north and south sides of Crooked Lake Road, south/southwest of I-96, east of Dorr Road, and north of Challis Road.

a. Public Hearing on MNRTF Acquisition Grant Application

A call to the Public was made with no response.

b. Consideration of Resolution 210329 (Roll Call)

Moved by Lowe and supported by Mortenson to approve Resolution No. 210329 correcting the parcel number on the resolution to read 4711-14-400-006. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortenson, Skolarus and Rogers. Nay – None. Absent – None.

Moved by Hunt and supported by Lowe to adjourn the Public Hearing at 6:45 p.m.



Paulette A. Skolarus, Clerk
Genoa Charter Township




Bill Rogers, Supervisor
Genoa Charter Township



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Manager/Community Development Director
DATE: March 29, 2021
RE: **Catholic Healthcare International Special Land Use, Impact Assessment, and Site Plan**

Managers Review: 

Attached please find the project case file for a 6,090 square foot church and outdoor accessory uses and structures including grotto/mural wall, alter, Stations of the Cross, and a statue located at 3280 Chilson Road, Howell. The request is petitioned by Catholic Healthcare International.

Churches, temples and similar places of worship are allowed with special land use approval subject to the requirements of Section 3.03.02(I) in the CE district. Procedurally, the Planning Commission conducts a public hearing, reviews the special land use, site plan and impact assessment and makes a recommendation to the Township Board.

This project was reviewed by the Planning Commission on the February 8, 2021 and March 8, 2021 meeting dates. A public hearing was held at both meetings and extensive public input was received. After being tabled at the February 8, 2021 meeting, the Planning Commission recommended conditional approval of the Special Land Use, Impact Assessment and Site Plan by a narrow margin of one vote (4-3) at the March 8th, 2021 meeting.

Given the close vote at the Planning Commission, I have prepared two motions for the Board’s consideration. The first is based on the action of the Planning Commission and provides for Board consideration for approval. The second motion would be appropriate for Board consideration if the desire is for a denial. These motions can be utilized by the Board in whole or in part however you see fit.

SPECIAL LAND USE – APPROVAL

Moved by _____, **Supported by** _____ **to APPROVE** the Special Land Use permit because it has been found that the requested use meets the requirements of Sections 19.03 and 3.03.02(I) of the Township Ordinance, is compatible with the Master Plan as a special use, will not adversely impact and will preserve the natural and agricultural features in the surrounding area, will not require public utilities from the Township such as sewer, water and school usage and will not be a burden on police and fire services. This approval is subject to the following conditions:

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe

MANAGER

Michael C. Archinal

- All events and use of the property shall not exceed the amount of improved parking spaces provided on the site.
- No outdoor amplification of sound shall be allowed. The use shall comply with the noise ordinance and the noise permitted shall be no greater than the normal level of traffic noise existing in the area at the time of such emission pursuant to Section 13.05.06.

SPECIAL LAND USE – DENIAL

Moved by _____, Supported by _____ to deny the Special Land Use request as provided by Section 19.02.04(f)(5) for a 6,090 square foot Catholic Healthcare International Church and related outdoor accessory uses and structures located at 3280 Chilson Road, Howell. This action is based upon the finding that the proposed use is inconsistent with the standards of Section 19.03.01, 19.03.02, 19.03.04, and 19.03.05 of the Township Zoning Ordinance and specifically finds that:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings and outdoor special events with an unknown number of visitors is not consistent with the following goals, objectives and policies of the Master Plan:
 - a. The use does not “Promote harmonious and organized development consistent with adjacent land uses”;
 - b. The proposed use is located within the rural reserve area outside of the growth boundary and is contrary to the purpose of the rural reserve area which is an area that is to be “maintained at a relatively low intensity rural character of development, typically more than 2 acres per dwelling unit, that will not adversely impact natural features and agricultural uses”;
 - c. The proposed use is not consistent with the following description of the Agricultural/Country Estate planned areas: “These areas shall remain in agricultural use, or develop as single family residential on estate lots. Many of the areas are prime farmland or have significant natural limitations such as wetlands or severe soil limitations. As these areas are not planned for sanitary sewer, they can only support low density residential development. This classification is recommended for single family residences on lots no smaller than 5 acres.”
2. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is in direct contrast with all aspects of the statement of purpose for the Country Estate zoning district which states that “The Country Estate (CE) District is established as a district where the principal use is residential, with smaller scale farming and raising of horses and livestock typically an accessory use. The health, safety and welfare contribution of this district is to retain the rural atmosphere and quality of life while accommodating compatible, very low density, residential development”.
3. The amount of traffic, visitors, lighting, noise, and activity associated with the use is not compatible with and will significantly alter the existing and intended character of the general vicinity. Events previously held at the site were described as having heavy traffic with cars parked on the roadway causing hazardous conditions.
4. The impacts of the proposed use and activities will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, lighting or other such nuisance.

ENVIRONMENTAL IMPACT ASSESSMENT – APPROVAL

Moved by _____, **Supported** by _____, to approve the Environmental Impact Assessment dated February 16, 2021 subject to the following:

1. The General Operations Plan and the statement from CHI indicating what will not be constructed on this property will become attached to and become part of the Environmental Impact Assessment.

ENVIRONMENTAL IMPACT ASSESSMENT – DENIAL

Moved by _____, **Supported** by _____, to deny the Environmental Impact Assessment dated February 16, 2021 due to non-compliance with the standards of Section 18.08 and more specifically sections 18.08.02, 18.08.10, and 18.08.11 as follows:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is not harmonious with, and will be harmful, injurious, or objectionable to, existing and planned future uses in the immediate area. The proposed development is not coordinated with other developments in the vicinity.
2. The traffic impact analysis did not consider the trips associated with the outdoor site features or the planned special events and is therefore lacking information to determine if impacts are properly mitigated and it cannot be determined that safe, convenient, uncongested, and well defined vehicular and pedestrian circulation is provided within and accessing the site.
3. Without knowing the full scope of the traffic impacts, it is unclear if access to the site is designed to minimize conflicts between vehicles and with traffic using adjacent streets and driveways.

SITE PLAN – APPROVAL

Moved by _____, **Supported** by _____, to approve the Site Plan dated March 25, 2021 subject to the following:

1. The building materials are acceptable and will become the property of the Township.
2. The requirements of the Township Engineer in his letter of March 3, 2021 shall be met.
3. The requirements of the Brighton Area Fire Marshal's letter dated February 18, 2021 shall be met.
4. The requirements of the Livingston County Road Commission will be met as spelled out in their letter of January 22, 2021.

SITE PLAN – DENIAL

Moved by _____, **Supported** by _____, to deny the Site Plan dated March 25, 2021 due to non-compliance with the standards of Section 18.08 and more specifically sections 18.08.02, 18.08.10, and 18.08.11 as follows:

1. The proposed use involving a 95 seat, 6,090 square foot church with associated parking lot, site lighting, building lighting, and outdoor accessory structures and uses that is planned for daily gatherings, and outdoor special events with an unknown number of visitors is not harmonious with, and will be harmful, injurious, or objectionable to, existing and planned future uses in the immediate area. The proposed development is not coordinated with other developments in the vicinity.

March 29, 2021

Catholic Healthcare International Special Land Use

Page 4 of 4

2. The traffic impact analysis did not consider the trips associated with the outdoor site features or the planned special events and is therefore lacking information to determine if impacts are properly mitigated and it cannot be determined that safe, convenient, uncongested, and well defined vehicular and pedestrian circulation is provided within and accessing the site.
3. Without knowing the full scope of the traffic impacts, it is unclear if access to the site is designed to minimize conflicts between vehicles and with traffic using adjacent streets and driveways.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter

Assistant Township Manager/Community Development Director



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

APPLICANT PHONE: (636) 220-6550 OWNER PHONE: (636) 220-6550

OWNER EMAIL: C.H.I. Contact: Jere Palazzolo, jpalazzolo@chi-usa.com

LOCATION AND BRIEF DESCRIPTION OF SITE: West of Chilson Rd, approximately 1,800 ft south of Crooked Lake Rd. Site consists of approximately 40 acres of rolling topography.

The western(rear) portion of the site contains small wetlands and is wooded. The southeastern portion of the site is primarily open meadow with stands of trees mixed in.

BRIEF STATEMENT OF PROPOSED USE: Site to include a proposed church and associated drives and parking areas. The layout of the drives and church is such that it works with the existing topography to minimize earth disruption as well as meanders around trees to preserve as many as feasible and maintain the character of the site.

THE FOLLOWING BUILDINGS ARE PROPOSED: A 6,084 sqft church building.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Jere Palazzolo **JERE PALAZZOLO**

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott Tousignant of Boss Engineering at bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Handwritten Signature] DATE: 12/9/20
PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550
ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDBWOOD, MO 63040



GENOA CHARTER TOWNSHIP

Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (636) 220-6550 EMAIL: jpalazzolo@chi-usa.com

OWNER NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

OWNER PHONE: (636) 220-6550 EMAIL: jpalazzolo@chi-usa.com

Location and brief description of site and surroundings:

Site located west of Chilson Road, approximately 1,800 feet south of Crooked Lake Road. Located on approximately 40 acres, surrounded by CE zoning to the north/south/west with RR zoning to the east across Chilson Road. The site contains rolling topography with wetlands and woodlands on the west side of the site and open area with stands of trees on the southeast side of the site (area of development).

Proposed Use:

6,084sft church building with associated drives and parking. The remainder of the site will be used for outdoor features, like an outdoor Stations of the Cross walkway, natural nature trail, and outdoor grotto sign.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The purpose of the Country Estate Zoning is to retain the rural atmosphere while accommodating very low density development. The layout of this site is such that it is meant to work with the natural features of this site in order to preserve the atmosphere and surroundings. The proposed use for this site is low density with the largest traffic generating event filling an approximate 80 seat church.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The only building being proposed is being placed setback significantly off of Chilson Road. The site drives are designed to match the existing topography as closely as possible to minimize earth disturbance. The drives meander around trees in order to preserve the sites natural beauty and thus maintain the appearance from Chilson Road.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

Emergency vehicle access is via a paved drive within the site with access off of Chilson Road. This building will be serviced by a well and septic field, as is consistent with adjacent parcels. This site has no impact on schools. The waste generated by this site is minimal and anticipated to be serviced by typical weekly waste streetside pickup. Stormwater management is located on-site.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

There will be a minimal increase in traffic for any church services held on site. The site and use highlights the natural beauty of the property so the intent is to have minimal lighting and noise generated by the use. No fumes, odors, smoke, vibration and other such nuisances will be generated by this site.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02: This site meets the minimum lot size req. as it is a 40 acre site. This site layout meets the 50' parking lot setback req.

7.02.02: N/A

8.02.02: N/A

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Jere Palazzo STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: JERE PALAZZOLO

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Scott Tousignant, P.E.	of Boss Engineering	at scottt@bosseng.com
Name	Business Affiliation	Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Jere Palazzo DATE: 12/9/20

PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550

showing the views from Grand River and Pless Drive. A second sign would help customers on Pless Drive.

Commissioner McCreary questioned the wording on the sign, which says "Furniture Showroom" and not "State Street Blinds and Design". Ms. Hansen stated this logo is also used in their social media so customers will recognize it.

Commissioner Rauch questioned if Pless Drive is a private road. Ms. VanMarter stated that it is a private road so, per the sign ordinance, this business does not qualify for two wall signs. She thought it better for the Planning Commission to review this request instead of the Zoning Board of Appeals.

Commissioner Rauch stated that both signs together are still under the total allowable square footage and although Pless Drive is a private road, he believes the public thinks it is a public road, so there is good cause to support this second sign. Commissioners Dhonens and Rickard agree.

The call to the public was made at 6:45 pm with no response.

Moved by Commissioner Rauch, seconded by Commissioner Dhonens, to recommend to the Township Board approval of the sketch plan for the property at 7041 Grand River Avenue by Kelly Hansen with the understanding that the support is due to the building existing on two roadways, one being a public roadway, Grand River and the other a private road, Pless Drive, and since it is a corner building, The Planning Commission finds that the need for two wall signs is appropriate in this instance. The sign meets all other requirements of the sign ordinance. **The motion carried unanimously.**

OPEN PUBLIC HEARING # 2...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road off of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2-16-21)
- C. Recommendation of Site Plan (2-16-21)

Mr. Scott Tousignant of Boston Engineering, Mr. Jere Palazzolo, President of Catholic Healthcare International, and other Tim and Mary Swanson, the project architect, were present.

Mr. Tousignant stated they are seeking site plan approval for a chapel with outdoor amenities and uses.

He noted that there were items discussed at last month's meeting that needed to be addressed.

- They have continued the evergreen tree line on the southern property line with a double row of staggered evergreen trees. They have also placed the same type of screening south of the chapel. There is not enough space along Chilson Road for them to plant additional trees and shrubs to meet the ordinance because there is a lot of vegetation in this area already; however, they have added three trees to this area.

- They were asked to add curb and gutter to control storm water flow around the site. They have adjusted the grading and now have added the curbing. They have added curb drops around the site for better and easier pedestrian movement. The stormwater location has not changed and it is now better directed and will be collected more efficiently. They are still including two bumper blocks on the ADA parking spaces. There is a small row of ADA spaces near the chapel.
- There was concern regarding fire truck movements on the drive off of Chilson Road. They have reviewed it and made changes and it does meet the requirements of the Brighton Area Fire Authority.
- They have provided an Operations Plan that will include additional insight onto the use of the property.
 - They would have liked to have the bell ring on the hour between 9 am and 9 pm, but have changed it to ring at noon and 6 pm daily, which will be three short rings. It will also be manually rung during special events, and this is outlined in their operations plan.
 - At the beginning, they will be holding one mass per week and once awareness of their site increases, it may increase to three masses per week. The maximum use would be a mass a day. As mass times are increased, the amount of people at each mass will decrease.
 - They have provided a local security or emergency contact, Ann O'Reilly, and her contact information is in the Operations Plan. They are also pursuing placing cameras on the church and lighting will be used as little as possible and only be used at dawn or dusk for movement into or out of the site. If there is ever a full time priest added to the site, he would be the on-site security contact.
 - For events, they insisted in the documentation and they will be controlled by using an event planning platform to assess the number of attendees.
 - If needs increase and there is not enough parking, they will encourage carpooling, institute a shuttle service, or stagger the events. This will also be known before the event happens and would then be moved to a local parish to accommodate the number of attendees. This site is not big enough to host multiple 200 car events.

Their use does not warrant a traffic study; however, if the intensity of the use increases, a traffic study could be conducted to determine if improvements to Chilson Road are needed.

They understood how the members of the public would think that a hospital would be placed on this site based on information that is on their website. They have revised their website to clear up any confusion. There are many tangible physical items lacking on and around this site that would prohibit them from building a hospital, medical school, etc. There is a lack of infrastructure, public water and public sewer, there is a zoning issue, the size of the site, etc. There are way too many hurdles, it is not the intent nor is it the desire of Catholic Healthcare International (CHI) to have a medical facility or hospital on this specific site in Genoa Township.

Mr. Palazzolo reiterated that there is no plan to develop a hospital, medical school, research lab, physician practices, etc. on this site, which is being called the Chilson Road Prayer Campus. He read a statement that was published by CHI. This site will be only dedicated to prayer as a peaceful and pastoral site of pilgrimage.

Mr. Tousignant stated they hope that their changes to the plans based on last month's feedback as well as Mr. Palazzolo's statement meet the needs of the Planning Commission.

Commissioner Rickard asked if the bumper blocks could be removed and perhaps the width of the sidewalk could be increased. Mr. Tousignant stated the sidewalk is seven feet wide; however, they would like the bumper blocks to prohibit any vehicles from driving onto the sidewalk.

Commissioner McCreary stated a maintenance plan is not included in the General Operations Plan. Mr. Tousignant stated their operations plan provides information on mass times, bell use, etc. It is more geared toward the use and not so much the maintenance of those items. They would provide all asphalt, sidewalk, turf, tree maintenance, etc. as necessary, which is standard for the maintenance of any other property.

She asked what the refuse pickup would be. Mr. Tousignant stated there is one trash room and one meeting room. It would be similar to a residential trash service.

She asked where the finances will come from to maintain the integrity of the buildings and the property. Mr. Palazzolo stated the funding will come from donations that they raise through their organization.

Commissioner Rauch thanked the petitioner for the operations plan. It is concise and easy to read. He asked for clarification regarding "Immediate" and "Short Term", what days? Mr. Tousignant stated the mass will most likely be on Sunday and the three days would be two weekdays and then a Sunday, always during the non-peak traffic hours. Commissioner Rauch asked if there will be any outdoor amplification at any of the events. Mr. Palazzolo stated there may be a microphone for the person speaking; there will be no loud music. It may be background music for the event.

Commissioner Dhaenens also thanked the petitioner for updating the website. He wants to ensure that they always abide by the Township noise ordinance.

Commissioner McCreary asked if their upcoming events are being advertised or promoted. Mr. Palazzolo stated they have not advertised for them at this time, but they will advertise those events. They will be a small mass, which will require reservations and they will limit the number of people allowed to attend.

Commissioner Rickard is concerned with the rain gardens. They require significant maintenance. She asked if there are plans in place for this. Are they doing soil borings and providing overflow pipe to release water? Mr. Tousignant stated that the drainage they are using is natural based on the topography of the site and they are only adding a small amount of impervious surface in this area, so they feel what they have is appropriate.

Mr. Borden reviewed his letter dated March 3, 2021, noting that many of his issues were discussed by the petitioner and the Commission this evening.

- He recommends the Commission request decibal readings be provided regarding the bell chimes.
- The applicant should provide the Township with building material and color samples for inclusion with the project file.

Genoa Township Planning Commission

March 8, 2021

Unapproved Minutes

- The applicant added one space to the parking lot since their last proposal so now they are over the maximum allowed by ordinance by one space. This requires Township approval.
- He suggested the applicant provide an indication of the number of people expected for special events. If deemed necessary, banked parking may be an appropriate option. He wants to ensure that parking does not take place on the turf.
- The Township must approve allowing existing landscaping in lieu of additional plantings for the front yard greenbelt (5 trees) and parking lot (landscaped islands).

Mr. Tousignant stated they can remove the additional space and only show the parking on the turf during the two large events that they hold each year. Commissioner Rickard stated that "bank parking" is only showing on the site where it would be placed, if needed, and not necessarily developed at this time.

Ms. Swanson stated the building materials were delivered to the Township in February.

Mr. Markstrom stated the applicant has addressed his comments from the last meeting. He noted that they will need to obtain approvals from Livingston County Health Department for the proposed well and septic systems.

Also, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach on Chilson Road to accommodate increased traffic to and from the site, which will need to be reviewed and approved by the Livingston County Road Commission.

He does not have concerns regarding the two bumper blocks they are proposing.

Fire Marshal Rick Boisvert's letter dated February 8, 2021 states all previous comments have been addressed including rearranging the entrance drive for emergency vehicle access.

Ms. VanMarter stated that the meeting packet included all letters received by the Township at the time it was published and sent to the Planning Commission; however, an additional 30 emails were received over the weekend and they were sent to the Commission today. She received two more this afternoon. Reverend Michael Gilbert of New Hope Counseling in Brighton and Maryann Brown of St. Agnus Catholic Church in Fowlerville are both encouraging the Commission to support the project.

The call to the public was made at 7:40 pm.

Kim stated there is a website stjosephhowell.com where there is a plan for Phase 2 for the residents of the brain injured. The residents near the prayer campus are confused by what was said this evening and what is noted on the website. She asked if CHI or if anyone representing them have approached anyone to purchase additional land on Chilson Road and if yes, will it be named anything other than the Chilson Road Prayer Campus. Will you state in writing that there will be no hospital or medical center built on any land off of Chilson Road owned by CHI or in support of CHI?

Mr. Palazzolo stated that they have written a statement saying they will not be building a home, medical school or medical facility. They have never approached anyone about purchasing additional land. They have no intention to buy more property on Chilson road at this time. He stated that the neighbor asked them if they wanted to purchase their property. He said they have no plans but if the resident ever decides to sell, then you can ask them.

Mr. Grajek stated that what is being requested this evening should be addressed in the call to the public, which is a church, a grotto, and the signs of the cross. Kim asked why does the website state something other than what is being discussed this evening. Mr. Grajek reiterated that the petitioner stated that services are not available for this location such as water and sewer.

Ms. Debra Oberpeul of 5920 Brighton Road asked what the maximum number of events are planned for each year. Mr. Palazzolo stated they will do reservations only and limit the number of vehicles. If larger events are planned, they will not be at this property. They will be at a different facility. She asked the Township what recourse do the neighbors have if these events are too large. Chairman Grajek stated they will have to comply with all Township ordinances.

Mr. Shawn Nester of 3360 Chilson Road lives directly south of the site. He has spoken to his neighbors and they have put together a petition with over 20 signatures asking the Township to deny the proposal. This is a great project for Township and they support it, but this area is not zoned for this type of use. He stated that his neighbors have been approached by the petitioner to purchase their property. He did not receive notice for the last meeting until 15 days after the meeting was held.

Mr. Michael Williams, who lives off of Westphal road, asked how much of their property will be built. Mr. Tousignant stated they are building on just under five acres. Mr. Williams asked what will be done with the additional 40 acres of the property. He does not believe they will be left over for walking trails and the applicant is building on this in the future. He does not want to hear bells ringing day and night. There is plenty of land at Latson and I-96. He does not want this in this area.

Mr. John Wilbank of 289 Pardee road, which is less than ¼ acres from the proposed site, is an amateur astronomer and loves the dark skies. He does not use chemicals on his property because he enjoys nature. The neighbors want rural and remote character and not large parties with rock bands. His quality of life would be impacted by this project. He is not assured by the developer that anything is going to change. He does not feel the zoning should be changed. He urges the Planning Commission to deny this request.

Ms. Melanie Johnson of 3990 Chilson Road signed the petition. There is no reason this should be put here. She is opposed to an international pilgrimage site. She noted research she did regarding other pilgrimage sites and the number of visitors that have visited them and they are in the tens of thousands. It does not belong in this area. It is not appropriate.

Mr. Jim McArdle and his wife, Karen, are opposed to this. This is not something that should be put in this location. There will be traffic problems and it will not be good for the community.

Mr. Robert Jones of 3553 Westphal said this would be destroying the quality of life of those who bought a home knowing no one is going to build here, instead there will be a church and a parking lot and shuttle buses. This use is not compatible with the area. He is requesting that the Planning Commission reject the proposal and have them remove the structures already in place.

Mr. Robert Moran agrees with Mr. Jones that this is not a use that is compatible with adjacent properties. Unless there were some guarantees of numbers and clearly enforceable penalties, he cannot fathom how this makes sense for this land. If the Planning Commission makes a recommendation to the Township Board for approval, they would be taking the easy way out.

Ms. Lexi Jones of 3553 Westphal Road stated her property is adjacent to this site. She is opposed to the special use application to allow the church to be built here. If this was approved, it would set a precedent for other non residential or non agricultural development in this area. She read sections of the Master Plan to cite why it is not consistent with the Plan. She questioned why DTE has installed power on this site. Mr. Palazzolo stated there was an existing power pole on their site so there is electricity that runs through their site and any work they would be doing would be on their own.

Mr. Robert Fish of 2303 Chilson Road agrees with the other who object to this proposal. He does not want this to turn into a traffic, light and noise pollution situation.

Mr. James Reader of 3217 Pine View Trail stated there have been good comments this evening. His main concern is the traffic, particularly the intersection of Latson and Chilson Road. It is currently dangerous. The chapel was the only item on the site, he would not be opposed to this; however, with buses and 39 parking spaces, it will only make that intersection more dangerous.

Mr. Jacob Vogan of 5790 Pinckney Road opposes this project for the same reasons given by the other callers. He is concerned with the traffic. He believes there are other intentions down the road for the developer, regardless of what they are saying right now.

Ms. Leslie Bohnett of 336 Chilson Road, which is right across the street, opposes this project and agrees with the other callers' comments. She is concerned that if the water that is directed from the parking lot flows to her property, she will have flooding on her property. The event that they had previously had 60 to 80 cars on the property and then more cars parked on the road.

Mr. Bill Galvin stated what is being proposed is putting a destination location in the middle of a neighborhood. This is not in the Master Plan. His neighbors are not opposed to the project, but in an appropriately zoned location. CHI has a large messaging problem. They say that they are not building the hospital on this site, but they are not saying where it will be built. His church's pastor stated tonight's meeting is for the chapel and a hospital.

Ms. Cynthia Telup lives off of Crooked Lake Road and agrees with what was said this evening. She said that there will be a lot of people who will manually ring the bell, and that one mass per day can bring in a lot of people. There could be 100-200 people. This is the start of a large development. She would like the Planning Commission to deny this request. She agrees with the dangerous intersection comment made by the previous caller.

Genoa Township Planning Commission

March 8, 2021

Unapproved Minutes

Ms. Jessica Sproull of 2099 and 2185 Chilson Road stated the traffic is bad in this area. She is terrified of all of the extra traffic. She is not opposed to the church, but feels that there is another place for this in the Township. She is not in favor of the bell ringing all day. She would like the Township to support the residents and their feelings. She thanked the Commission for letting the neighbors speak.

Ms. VanMarter stated that there was a phone caller who was having technical problems; she did not get the caller's name however, they indicated they were the president of the Oak Meadows subdivision and agrees with the other comments made this evening.

Mr. Pat Powers on Kellogg Road stated this project has his full support. The real mission of this church is of heavenly appeal and people are trying to frame it in an earthly form. Traffic will not be a problem. Their goal is to serve souls. It is fundamental to the fabric of being an American. The people who live in this area will be neighbors of people who want to worship and pray. If the neighbors trust in God, they will see good fruit.

Ms. Cady Johnson of 3352 Brighton Road agrees with previous comments. There is a long term goal other than what is being stated. She requests that the Planning Commission deny the request.

Ms. Linda Holland of 3023 Pardee stated her property is adjacent to this parcel. The vision of a parking lot and a building on just the other side of her property does not make sense. There are horses and cornfields. This is a rural area and needs to be preserved. It will change our area permanently.

Ms. Oberpeul stated that this is not about people lacking religion or spirituality and it is about the character of the area. She noted that a previous speaker researched how many pilgrims could come to this site.

Ms. Dawn Williams of Westphal Road stated this is not right for this location and people in the area do not want it. They can sell the property and build it somewhere else. It is quiet in this area. She believes their long-term goal is to build more.

The call to the public was closed at 8:55 pm.

Commissioner Rauch appreciates the petitioner's and public's respectful comments. He was researching to see what other churches exist in a Country Estates Zoning and there were none; however he knows that a special use does allow for one. His concern is with the character of the area. He is feeling uneasy with this project's compatibility with the surrounding area. This is a church with regular church services, and possibly every day.

Commissioner Dhaenens agrees with Commissioner Rauch. The residents want the peace and tranquility so the trails and the cross would be ok, but the building and the parking lot and the potential for noise is there. He is empathetic. Everyone likes why we live here. He would love to hear from the applicant if they have considered selling the property or using it without the church. He noted that the applicant has met every request they have had.

Commissioner Mortensen noted that the Chaldean Church is in a rural area.

Commissioner Rickard was surprised about the number of people who come to pilgrimage sites. She would like more information from the developer.

Commissioner McCreary stated this area is zoned country estates for a reason. She read the definition of Country Estates zoning. While a special use is allowed, she does not see where it is in harmony of the Master Plan. She does not see this location as suitable for this use.

Commissioner Mortensen stated the property owner has rights; it is irrelevant of how or where he got the property or how long he has owned it. A church is a special use in every zoning district in the Township. It would not cause a drain on public services such as sewer and water, will have no demand on police and fire, and no effect on schools so they have the right to use their property as provided in the ordinance. Also, what is before the Planning Commission this evening is what should be voted on.

Commissioner McBain referenced the Master Plan and how and why it was developed. She agrees that the intersections in that area are horrible. Adding additional vehicles could be a problem for the land owners in the area. While there is a church and a small parking lot, there is a lot of land to be used.

Commissioner Rickard agrees with proper reports and knows that what must be voted on this evening is what is being presented.

Commissioner Rauch agrees with Commissioner Mortensen. He noted that the Chaldean property is different because it was a camp and when the church was put in after as an accessory use of the camp. This property is in the middle of the country estates zoning and not adjacent to any more intense zoning districts. That is what is causing him to not be in favor of this proposal. It is a church with weekly functions.

The Planning Commission took a 5 minute recess from 9:20 to 9:25.

Chairman Greek noted that the petitioner has met all of the requests made by the Planning Commission and noted that as a property owner, they have a right to come and make this request. There were very good points made by the neighbors. He would like CHI to reach out to them to help them understand that there will not be a medical center or hospital on this site.

Mr. Tousignant addressed the concerns from this evening. With regard to the parking on Chilson Road from last year's event, there was no designated parking area so it was a "free for all" so events in the past will not be what they will be in the future. This will generate traffic, but other permitted or special uses allowed on this site will also add traffic. Additionally, the peak traffic hours for their use will not coincide with school drop off or pick up. They want peace and tranquility. The church will be 600 feet off of Chilson Road. Why aren't churches developed in Country Estates zoning? It is because the infrastructure isn't there, such as water and sewer. CHI has a different mission than other churches. They are preserving most of the property to allow for trails on the property and allow people to find peace. They are only building on five acres of the property. They developed in the open area of the site. Not all sites like this bring the tens of thousands of people mentioned by one of the members of the public. They have gone above and beyond and addressed all of the concerns of the Planning Commission and the consultants.

Mr. Palozzolo understands why the residents don't believe that they are only building a small chapel with walking trails. They are not an international pilgrimage site. This will not be advertised to have busloads of pilgrims coming here. They want it for the local parishes and dioceses to come. They do not want it to be a high volume site. They want people to come to a small country church and walk the trails and pray. They want to do something good. They are going to do what they say they are going to do.

Commissioner McCreary asked the petitioner to address the grotto or statue that is built on the property and its current situation. She believes that the Township advised the church as to what has to happen to comply with buildings on the site. Mr. Tousignant said the mural wall was starting to be constructed and after conversations with the Township, it was decided that no foundation shall be put on it, so it is not permanent yet. Mr. Palozzolo stated the Township advised them they need a permit to put in the footings and have it there permanently. They advised they wanted it in place for an upcoming event and the Township said it could be put up temporarily so it could be taken down if needed.

Chairman Grajek is confused by this. He has read all of the letters between the Township, the church, and the attorneys and the fact that those items are erected is very irresponsible. There is still a structure that is still there that wasn't inspected wasn't approved as an accessory item on the site, and should have been dismantled. The petitioner is saying they want to be transparent; however, they did this knowing that it isn't allowed. How does the Township actually know what is going to happen in the future. It is disappointing to him to hear the situation described this way after everything that was said this evening.

Mr. Palozzolo stated they built with just the footings so it is only temporary. They were never told to take it down. If they would have been told to take it down, they would have.

Ms. VanMarter stated she was a direct participant of that meeting. The Township was specific and clear to make sure that any type of use for the property would have to go through the approval process. There was a bishop coming to the property for a ribbon cutting so they wanted to have something that was portable and temporary and would be brought in and removed that day. Instead what occurred was the construction of the benches, the stations of the cross and the mural wall sign, which is against what they were told by the Township. Mr. Palozzolo stated that was not their understanding.

Commissioner McCreary questioned the "model of healthcare delivery vision" in the warranty deed. Mr. Palozzolo stated it was generally written that if the diocese donated this to them, it would be part of the prayer foundation and this is what this will be. The bishop is very happy with the plan for this site and overall vision. If it is approved as presented, would that comply with the provision in the warranty deed. It would be the prayer foundation for the overall vision.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Special Land Use permit for a church and accessory to that church at 3280 Chilson Road subject to the following:

- The general operations schedule which will be attached to the Special Land Use permit will be revised to indicate that in the case mass is held before 9:00 am, the bell "will" not be used rather than "should" not be used.

- The petitioner will adhere to all Township ordinances not accepted with this use.
- This recommendation to the Township Board is made because the Planning Commission finds that it is compatible with the Master Plan as a special use within this zoning ordinance. The PC believes it will not adversely impact the natural features and agricultural features in the surrounding area and will, in fact, preserve them.
- The Planning Commission finds that it will not require public utilities from the Township, such as sewer, wastewater and school usage or will it burden police and fire services.
- Events and use of the property shall not exceed the available provided parking on the site.

The motion carried with a roll call vote (Mortensen - yes; McBain - no; Rauch - no; Rickard - yes; Dhaenens - yes; McCreary - no; Grajek - yes)

Moved by Commissioner Mortensen, seconded by Commissioner Dhaene to recommend to the Township Board approval of the Environmental Impact Assessment dated February 16, 2021, subject to the following:

- The operations plan presented this evening by the petitioner will be attached to and become part of the Environmental impact Assessment.
- The documents regarding the future plans presented this evening will become attached to and become part of the Environmental Impact Assessment.

The motion carried with a roll call vote (Rauch - yes; Rickard - yes; Dhaenens - yes; McCreary - no; Mortensen - yes; McBain - no; Grajek - yes)

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Site Plan dated February 16, 2021 for a church and related amenities at 3280 Chilson Road subject to the following:

- The building material review this evening are acceptable and will become the property of the Township.
- The Planning Commission recommends approval of 39 parking spaces and two bumper blocks
- The plantings as displayed on the site plan are accepted as shown, given that existing plants exceed above the ordinance and greenbelts in the parking lot will not be required.
- The requirements of the Township Engineer in his letter of March 3, 2021 shall be met.
- The requirements of the Brighton Area Fire Marshal's letter dated February 18, 2021 all be met.
- The requirements of the Livingston County Road Commission will be met as spelled out in the letter of January 22, 2021.

The motion carried with a roll call vote (Rickard - yes; Dhaenens - yes; McCreary - no; Mortensen - yes; McBain - no; Rauch - yes; Grajek - yes).

Commissioner Rauch clarified that he voted no for the special land use application because he could not personally reconcile Sections 19.03.01 and 19.03.02, but he voted yes for the impact assessment and site plan.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. Van Marter advised that there will be a meeting in April. It will include a resubmittal and some zoning ordinance amendments.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 8, 2021
6:30 P.M.
MINUTES**

This meeting was conducted via Zoom

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Eric Rauch, Jim Mortensen, Jeff Dhaenens, Glynis McBain, and Jill Rickard. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Joseph Seward, Township Attorney; Gary Markstrom of Tetra Tech; and Brian Borden of Safebuilt Studio.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

INTRODUCTION OF MEMBERS: All members introduced themselves.

ELECTIONS OF OFFICERS:

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to elect Chris Grajek as Chairman, Eric Rauch as Vice-Chairman, and Marianne McCreary as Secretary. **The motion carried unanimously with a roll call vote.**

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Rickard, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

No Commissioners declared a conflict of interest.

CALL TO THE PUBLIC: The call to the public was made at 6:35 pm with no response.

- A. OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International. A. Recommendation of Special Use Application B. Recommendation of Environmental Impact Assessment (1-20-21) C. Recommendation of Site Plan (1-20-21)

Mr. Scott Tousignant of Boss Engineering, Mr. Jere Palazzolo, Father Tim, and Mary Swanson, the project architect, were present.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

Mr. Tousignant provided a review of the project, including the size of the property and its topography. They are proposing to create a site for pilgrimage to use for quiet prayer. They would like to build a chapel, a grotto, a station of the cross, a driveway with a loop road and two parking lots. They will be working with the existing topography of the site with the least amount of impact on the trees, drainage, the surrounding, neighbors, etc. He showed the site plan and colored photographs of a proposed statue and other complimentary uses.

He noted that the bell will only ding twice each hour from 9 am to 9 pm. Also, the comments from community members that they are planning to build a hospital on this property in the future are not correct. That is not their vision for this site. The site cannot support a facility of that size. They are requesting approval for the chapel and the complimentary uses this evening.

Commissioner Mortensen questioned why the website of the church in Missouri states that the plan is to have a hospital and a medical school on this property. The Planning Commission will vote on what is being presented this evening; however, if approved, it is not a commitment for any plans as stated on the Church's website. That would not be compatible with the area and there is no sewer or water available for that type of development. Mr. Tousignant stated that is the vision for the church somewhere in the community, but not on this particular property.

Commissioner Rickard asked for details on the drainage. There is no curbing proposed for the parking lot areas. She asked what the overall plan was for this site. Mr. Tousignant reiterated that they would like to stay within the topography of the site and use the natural drainage path and cause little impact on the current property. The timeline for all of the additional uses on this site is unknown at this time.

Commissioner McCreary questioned if additional buildings are being planned. Mr. Tousignant stated that they do not have plans or a timeline for the remaining portion of the property. The property could support complimentary uses to what they are proposing this evening; however, when that vision is known, it will be presented to the Township. Mr. Palazzolo stated the primary focus of this campus is for quiet prayer and meditation. At this point, they do not have plans for any further development on this site.

Commissioner McCreary asked for the need for the bell. Mr. Tousignant stated this chapel is to replicate a church in Italy and that church has a bell. It is a key feature. This site will allow people who are devoted to St. Padre Pio to have a pilgrimage and experience the same church without the need for them to go to Italy. She understands the want to replicate it, but she is concerned with it ringing every hour on 9 am to 9 pm in this location.

Commissioner Dhaenens likes the project. He noted that other projects similar to this were approved in the Township and they ran into financial problems so they started renting it for weddings, parties, etc. He wanted the applicant to understand why the Planning Commission was asking these questions this evening.

Commissioner Rauch questioned if there is an operations plan, such as hours of operation as well as the specific plans for this site, as have been explained in this meeting. This would help the Planning Commission understand traffic flow, noise, etc. He would like this to be put in writing. Mr. Palazzolo stated at this time, the chapel would only be used on special occasions. They would never have more than one mass a day. The masses would be during the day and the hours of operation would be from dawn to dusk. People would be able to come at any time to walk on the trails.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

Commissioner Mortensen questioned if any change to the Special Land Use would require the applicant to return to the Township for additional approval. Ms. VanMarter stated that if the threshold limits, such as the occupancy or intensity increases by at least 25 percent, then a new SLU permit would need to be reviewed and approved.

Mr. Borden reviewed his letter dated February 2, 2021:

He responded to Commissioner Mortensen's question regarding SLU amendments. Section 19.6 of the Zoning Ordinance addresses amendments to existing SLU. There are major and minor amendment so even if a change does not necessitate the reconsider a SLU, there could be sketch or site plan review that could be reviewed by staff or brought before the Planning Commission

1. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
2. The Commission may wish to seek input from the Township Engineer as it relates to northbound traffic and compatibility with the surrounding area.
3. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
4. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.
5. Should a private school, child day care center or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.
6. We request the applicant present building material and color samples to the Commission.
7. The parking lot must include curbing on all sides, as opposed to the bumper blocks proposed, unless the Commission determines they are necessary.
8. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt and parking lot. This is at the discretion of the Planning Commission.
9. A sign permit will be required from the Township prior to installation of any signage.
10. The Township may wish to have the applicant correct the existing fence encroachment as part of this project.

Mr. Markstrom reviewed his letter dated February 3, 2021:

The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.

Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

The petitioner is not proposing to put curb in the parking lots. He recommends the applicant include concrete curb and gutter in order to better control storm runoff and direct it to the bioswales as well as prevent parking outside of the parking lot.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements. The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

He would like to see how the cistern tank is going to be maintained. Is there property backflow protection, how will it be kept from freezing, etc.

Mr. Rick Boisvert, Brighton Area Fire Authority Fire Marshal, stated that his previous comments were addressed; however, he did not see the plans that show the meandering entrance drive; it was a straight drive. The turning radius proposed would not work for their apparatus. He would like to work with the applicant to change this to accommodate their apparatuses.

The call to the public was made at 7:38 pm.

Chairman Grajek advised that letters of concern have been received from residents. James Brancheau of 3611 Westphal, Mike Mandik of 3275 Chilson Road, Tim Park of 3529 Westphal, Shawn Nester of 3360 Chilson Road, Billy Martin of 4678 Richardson Road, Linda Holland, and Leslie Bohnett of 3367 Chilson Road all have concerns with the proposal, such as this is a rural location, additional traffic, the bell ringing, etc.

Mr. Bill Galvin of 4037 Chilson Road does not have significant concerns if the project is what is proposed. He is opposed to the bells ringing. He is concerned about the lack of engagement and communication and information sharing done by the applicant and the Township because some people lack technology and are unable to attend this meeting. He would like the Planning Commission to table this request this evening to allow more time for the residents to obtain more information and engage with the applicant and the Township. He is also concerned with the other uses that could be built on this site in the future if the SLU is approved this evening. The applicant could perceive that approval also be approval for future development on this site.

Mr. Bob Moran of 3985 Timber Green Court, which is ½ mile south of this property likes the zoning that was done by the Township at the I-96 and Latson Road interchange. He believes that this proposal belongs in that area. He and his neighbors are opposed to this project in this location. They are concerned with what will be developed in the future. He would like the applicant to provide what their plans are for the rest of this property.

Mr. John Wallbank of 2899 Pardee Road is concerned with what could potentially be built on this site, which could possibly be a medical center. He is concerned about the bell, the security for this property, and the rezoning.

Mr. Shawn Nester of 3360 Chilson Road, which is directly south of the property was not aware of this meeting until this morning when he saw it on social media. He is concerned about the bell and does not see its value. A commercial building in this area is not appropriate. If he knew that this property was going to be developed this way, he would not have purchased his home.

Mr. Pat Powers of 1018 Kellogg Road who lives adjacent to the Chaldean Campus does not believe that the Planning Commission should look at this project the same as that one. He is very excited about this project. People are looking for a place of solitude and worship. It is also a unique opportunity for a healthcare campus. He has met with the applicant and they are sincere.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

Mr. Robert Jones of 3553 Westphal lives 300 feet from this project. He agrees with what was said by his neighbors regarding the bell ringing, traffic issues, and it does not fit the character of the neighborhood. He does not feel that a healthcare facility should be in this location. It will negatively impact the neighbors.

Mr. Duane Johnson of 3990 Chilson Road agrees with the statements made by his neighbors. He agrees with Mr. Moran that there are places in the Township where this can be built.

Ms. Melanie Johnson at 3990 Chilson Road is not in favor of this proposal.

Mr. Derek Sproull of 2099 Chilson Road just learned about this proposal this morning on social media. When he built his house 10 years ago, it was a country area. He is concerned that this area will be built with more commercial uses.

Mr. Ian Campbell of 3912 Chilson Road agrees with the concerns raised by his neighbors, including property values, the rezoning of agricultural land, the expansion of the road, increased traffic, etc. He hopes the Township denies this request.

Ms. Laura McGaffney of 5934 Hartford Way knows the impact that this will have in a positive way. The residents' property values will not go down. It is very impressive to know that top doctors, nurses, and scientists around the world will be in Brighton. She is in favor of this hospital.

Cynthia Telep of 3175 Crooked Lake Road stated that this would negatively impact the neighbors' lives in the area. She agrees with her neighbors. She noted that two members of the public spoke about a medical facility being developed here.

Ms. Lori Petrulis of 2344 Chilson Road has seen the growth in the area. She is concerned with the two members of the public who spoke about a future medical facility and not a chapel. She noted that they do not live in the area. She learned of this development this morning.

Ms. Jessica Sproull of 2185 and 2099 Chilson Road loves her property and loves the country setting. People move here to get away from these types of developments. There are other places they can build this. There has been a lot of activity on that property recently. She learned of this today. She would have liked to have seen a brochure of the project and what was being proposed.

Chairman Grajek stated that property owners within a 300 foot radius of this property would have been notified of the proposal and tonight's meeting.

Ms. Alita Worney's property abuts the railroad tracks. She agrees with what was said by her neighbors who are against this project. There is wildlife in the area. These properties are rural. She also did not receive any notification.

Mr. Chis Petersen of 2960 Beck Road did not receive notification of this proposal. He appreciates church bells and would like to hear them one to two times a day. The building should not be on the property line. If they want quiet, then why are they building a daycare and a hospital? He questioned who is going to pay for the development and what source of funding will they have for maintaining it.

Ms. Kim Miller of 3150 Crooked Lake Road supports her fellow residents who have moved out here for the serenity, land, limited traffic and to have livestock. They will be negatively impacted by this development.

Genoa Township Planning Commission

February 8, 2021

Approved Minutes

The call to the public was closed at 8:39 pm.

Ms. VanMarter showed the 300-foot-radius map outlining the properties who qualified for receiving notification of the proposal and tonight's meeting.

Commissioner Rickard agrees with the engineer that curbing is needed; she would like the required landscaping to be planted. She would like the developer with plans of what they anticipate will be built in the future. She would like to see their vision for the complete site in the future. She does not like the bell to ring every hour, and agrees with Commissioner Rauch and his comment regarding the operational and maintenance being put in writing and submitted to the Township.

Commissioner McBain stated that the Master Plan shows this area to maintain five-acre parcels and agricultural uses. She is uncomfortable moving forward without additional information. In looking at this organization, they are dedicated to healthcare.

Commissioner Mortensen stated that what is before the Planning Commission is very specific. The Planning Commission does not have the right to reject a proposal because we think they might do. Bells would have to comply with the zoning ordinance and a study would have to be provided to the Township. He agrees with the operations plan. He would like this item to be tabled this evening.

Commissioner Dhaenens stated this sounds like a wonderful place to be peaceful and tranquil in nature; however, it does not have his support this evening. He would like to see an operations plan, more specifics of what is being proposed, and he would like the applicant to inform the neighbors and engage with them. More trees are going to need to be planted on the south side of the property to help screen this site from the neighbor from the building. He needs more details for him to vote to approve this proposal.

Commissioner McCreary agrees with all of the other Commissioners' concerns. Who will maintain the building and the site, what are the hours of operation? She needs detailed information on what the end result will be.

Mr. Tousignant understands the concerns of the public. He stated they will add trees to the south side of the property. They are putting the chapel in the proposed location because they want to maintain the existing topography of the site. Putting it there would eliminate them needing to cut down trees because it is an open area on the site. This is another reason for not proposing curbing for the roadway and parking lots. It is an outdoor chapel so there would not be people there in rainy weather. He noted the resident's concerns regarding cars being parked on Chilson Road. If there were dedicated parking areas, then visitors would not need to park on the roadway. If road improvements are needed for this development, then the property owner would have to pay for them.

Mr. Palazzolo stated the overall vision is to build a hospital and a medical school to replicate the one in Italy but not on this site. This site will be the foundation of prayer that will be the first step to their hospital and medical school. There will not be healthcare services, a medical school or a rehab center on this site. This is sincerely a place of quiet prayer and meditation. They did engage with the neighbors adjacent to this site and they did not receive any negative responses. They do want to replicate the bell tower and would have liked to have it ring every hour; however, they are willing to have it ring on each hour from 12 pm to 6 pm.

All Commissioners agree that this item should be tabled this evening. Chairman Grajek reviewed the concerns of the Planning Commission, the consultants, and the neighbors and advised what details need to be provided and what issues should be addressed, specifically, trees being planted on the southern property line, curb and gutter for the parking areas, days and hours of operation, number of weekly services, number of events per month, supervision and security plan, on site contact, maintenance plan, driveway configuration per the Brighton Area Fire Authority, and a schedule and decibel levels for the bell ringing.

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to table the Special Land Use Proposal, Environmental Impact Assessment, and Site Plan for the Catholic Healthcare International Church, Chapel and Grotto until the March 8, 2021 Planning Commission meeting to allow the applicant to address the following items:

- The planting of trees on the southern property line
- Curb and gutter for the parking areas
- Days and hours of operation
- Number of weekly services
- Number of events per month
- Supervision and security plan
- On site contact
- Maintenance plan
- Driveway configuration per the Brighton Area Fire Authority
- Schedule and decibel levels for the bell ringing

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter provided the 2020 Planning Commission Annual Report.

Approval of the November 9, 2020 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the November 9, 2020 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

Commissioner McCreary received an email from the Board of Commissioners from the Home Builders Association regarding the Fire Authority's development requirement of cisterns of 10 homes or more. These are very expensive and the cost filters to the consumer and contributes to the lack of affordable housing in the area. They are not in favor of this requirement. Commissioner Mortensen stated that the Townships and the City of Brighton have adopted the International Fire Code and that is part of that code. Ms. VanMarter stated they are working on updating the fire codes in all of their communities and Genoa agreed that developments with 10 or more homes will require cisterns. She noted that these comments should be directed to the Township Board.

Attached spreadsheet below comparing pilgrimage sites.

“Catholic Healthcare International is to create a site for pilgrimage to use as quiet for quiet prayer so yes there will be a chapel but it's those complimentary uses that that are really gonna draw people to the site we wanted to feature the natural features of the site” Scott, Feb 8th 2021 meeting, 9 min

“We're literally trying to replicate it when you see the interior it is absolutely beautiful and it's a replica so that people can experience our patron St. Pio, without having to go over to Italy that's essentially what we're trying to do.” Feb 8th 29min

“What we're trying to is almost too good to believe so they don't believe us they just absolutely don't believe that we're just putting a small little country church in a 45-acre property that we want people to come and be able to walk through trails on we talked about even internally in that 200 cars a day that can't happen (YET) we're allowing ourselves to be limited by the scope of the of the parking that's there we don't want that we are not an international pilgrim shrine.” Jere, March 8th meeting.

In the same meeting Scott addressed traffic “An event planning platform was utilized to gauge the interest of the public for the attendees to see what accommodations will be needed the intent would still to use that or a similar platform to continue to gauge interest and in all reality you know we need to cap the amount of cars on site and if interest is such that that it exceeds the site then a couple options could be presented we can facilitate a shuttle service if there's a lot of people coming in their own cars as opposed to carpooling and we can also do a staggered event meaning it will be maybe a two-hour time frame a two-hour block and they'll just repeat that block a few times.” 28min

In the last planning commissions meeting, March 8th, Jere Palazzolo described the project as a “quiet county church”. Four days later, Jere stated in a Youtube interview (Padre Pio #25) “...have a pilgrimage here without going over to Italy that is truly what our purpose is here” and then stating “replicate a pilgrimage experience for people”, that sounds to me like it is still being promoted like a attraction. Interestingly, in that interview, Jere and the host referred to the 45 acre campus not the current 40 acres, is chi acquiring more property?

This site is not a compatible use, or small country church; this is a commercial operation.

In the spreadsheet you can see “pilgrimage sites” contain many elements of attraction. With 30 empty acres, usage will continue to grow... “other compatible”.

A five million dollar replica chapel will have a guaranteed draw!

Traffic, traffic, traffic. In the middle of AG/CE?

A new traffic study needs to be performed, if just 50K visitors that is 136 trips per day.

Melanie Johnson 3990 Chilson at Latson (Above quotes gathered with YouTube Transcript)

What could be built on the remaining property?

	Indoor Seating	Acres	Yearly attendance	Zoning	Grotto's/Rural wall	Stations of the Cross	Relics or Museum/Replicas	Pilgrimage Site/Bus Tour	Arches, Cross or Statues	Spirituality Center	Candle/Garden(s)	Replica of Birthplace cell	Replica of Pio's Friary	Shrine(s)	Meeting rooms	Cafe/Dining	Weddings/Baptism	Gift Shop	Retreats/Lodging	school	site totals
Padre Pio, Howell MI , overflow parking N. of chapel	95	40		AG/CE	39		?				?	?	?	?	?	?	?	?	?	?	9
National Center for Padre Pio, Barto, PA (Covid #'s 5000 in 70 days)		99		Inst/Rec	300																14
The Sorrowful Mother Shrine, Bellevue, OH (could not confirm 120K)		120		Rural	300																9
Shrine of The Chist's Passion, St. John, N		30	200,000	R2/C2	80																9
National Shrine of Cross in the Woods, Indain River MI	500	9	300,000	Ind/Rec	80																10
Chapel of the Holy Cross, Sedona AZ (Amazing site)	50	11	1,000,000	CF	47																7
Mother Cabrini Shrine, Golden, CO (their best guess)	60	500	100,000	AG2	100																12
Shrine of our Lady La Leche, Augustine, FL (adjacent zoning)	240	30		HP/CL	80																9
Our Lady of the Sierras, Hereford, AZ	48	8.5		UR4	12																8
Our Lady of the Island, Manorville, NY, bus pkg = 100 cars	100	70		INST/MD	75																7
Our Lady of the Wood Shrine Mio MI (St Mary Church) No zoning		4.5		C	85																5
Ave Maria Grotto, Cullman, AL (125 reproductions) Downtown		4	1,000,000	R4/AC	50																8
120 parking spaces at Abbey, 100 parking spaces at school		100?																			
Grotto of the Redemption, West Bend, IA (church and other buildings)		8	100,000	AC/AC/R	60																7
National Sanctuary of Our Sorrowful Mother, Portland OR		62	300,000	R7h	200																10
Grasshopper Chapel, Cold Spring, MN (Zone codes adjacent)	0	4	2,000	C3/LI1																	3
The Shrine of The Back Madonna, Pacific, MO, rural	0	120	2,400	3	12																7
The National Shrine of Mary MotC Gravois Mills MO		53		R2/C	150																10
Flags, 6000 seat amphitheater, fountains, St Pat, within city																					
National Shrine of our Lady of the Snows, Belleville, IL (Z near site)		200	350,000	RR1/A/SR																	14
Church on campus and large amphitheater																					8.8

National Center for Padre Pio, Barto, PA (Covid #'s, 5000 visitors in 70 days) if Covid restrictions stayed, 26K visitors, 71 daily trips. The population of Barto is 5,230!

If the campus is 5 acres or 100 acres it can have a large impact on our neighborhood.

Consider the fact that CHI had made preliminary efforts to bank land surrounding the prayer campus.

Sites of similar descriptions have not been placed where zoning was in conflict, commercial or higher density residential.

The traffic that this site guarantees, will develop into a usage that does not fit with the character of our neighborhood.

Based on the data, you can see how this international place of pilgrimage will adversely effect the intersection of Chilson and Latson.

Have you heard that, "This is a massive project and will take years to complete".

I made ever effort to provide the most accurate information I could find. I did hand chose these sites as they contained similar elements and descriptions. Melanie Johnson on Chilson.

The above information was gathered using internet articles and by directly phoning sources including townships, GIS, parking was estimated by counting on google earth.

From: [Leslie Bohnett](#)
To: [Kelly VanMarter](#); [Mike Archinal](#); [Bill Rogers](#); [Polly](#); [Robin Hunt](#); [Jean Ledford](#); [Terry Croft](#); [Diana Lowe](#)
Subject: A letter from a Genoa township resident who resides on Chilson Road less than 300 feet from the proposed CHI church
Date: Wednesday, March 31, 2021 2:36:58 PM
Attachments: [My letter to the Township Board regarding CHI.docx](#)

Trustees,

Please read the attached letter regarding how the proposed construction by Catholic Healthcare International will impact the life of our family. My family and I live less than 300 feet from the property located at 3360 Chilson Road and we would appreciate you reviewing our concerns and the documents that have been published by Catholic Healthcare International and their representatives. I implore you not to grant a special land use permit and listen to the residents in Genoa Township.

Leslie Bohnett
3367 Chilson Road
Howell, MI 48843
Lbohnnett@hotmail.com
landline 517-548-2463

Mr. Bill Rogers,

My husband and I purchased land in Genoa Township on Chilson Road in the 1990's and built our final home in 1998. We chose this area because we wanted to enjoy our retirement years in the peace and tranquility of a country setting. We spent a great deal of planning, time and money to build our highly energy efficient home. We were the first in the county to use a foam block basement and a geothermal heating system. Now, twenty-five years later, Catholic Healthcare International (CHI) wants to build a church, and possibly in the future a healthcare campus, less than 300 feet from my home. My quiet setting will now have ringing church bells, at least twice, each day and also on special occasions. In addition, I will now have to deal with more traffic on an already busy road.

At the Genoa Township Planning Commission meeting, Mr. Mortensen stated that the property owners of 3280 Chilson Road have the right to build what they want on their own property. Although he is correct, why does this land owner have more rights than I do as a land owner? We built our home in this particular area because it is zoned agricultural/country estate. My disagreement with CHI being granted a special land use permit is ***because this land is zoned agricultural/country estate***. It is inappropriate to build a church on this particular land with this particular zoning. I would welcome a church and even a healthcare facility if they were built in an appropriately zoned area. Although the State of Michigan denied the application for CHI to build a hospital, it does not seem to be stopping CHI from promoting this project. You may say that the special use application is only for the construction a church. However, CHI and the church are promoting more than just a church being built on this property. (See the attached links below)

CHI had an environmental impact assessment prepared to show that there will not be any impact on traffic due to the construction of a church. The evaluation is very inaccurate! On September 23, 2020, CHI held a dedication ceremony on the property, and there was a significant impact on traffic on Chilson Road. The grassy area on this land was full of parked vehicles. Therefore, vehicles parked along Chilson Road to attend the event. The cars parked along Chilson Road were impairing the view for anyone driving on Chilson Road, and also for anyone attempting to exit from the dedication ceremony. I was driving to my home from town, which three children in my car, when a car pulled out in front of me from the event. It required me to slam on my breaks so I would not hit the car. When I arrived to my home, which is less than 300 feet from the CHI property, a vehicle used my circle driveway to turn around and drive back to the event. Although this may not seem problematic to many people, I have children and dogs that play in my front yard on my circle driveway. My family and pets should be safe on my own property! I feel the township should at least delay the vote for the special land use permit and conduct a traffic impact assessment at the next CHI activity on May 25th.

Despite what Mr. Jere Palazzo stated to the Genoa Township Board, both he, CHI, and the Catholic Church publications have both promoted and requested donations for the construction of a church, hospital and home for the brain injured on this piece of property. I have attached the articles and videos at the bottom of this email to show this is true. Mr. Palazzo does not appear to be stating the entire plan for this property. Mr. Palazzo, CHI, and the Catholic Church are

handing out brochures, making videos, and sending out press releases which clearly state the property in Genoa Township is scheduled for more than just a church.

Finally, on March 11, 2021, a few days after the Genoa Planning Commission voted 4 to 3 to move on the special land use permit to the Genoa Township Board for final approval. Mr. Palazzo did a Podcast where he again explained the project, stated some of the project was already started on the land. He clearly admitted in his podcast that they were already working on the land. However, CHI has been working on the land without Township approval, building permits, or any inspections from the building department. In fact, at the Planning Commission meeting, Mr. Palazzo stated he didn't think he needed permits and that he thought he had approval. In the Podcast, Mr. Palazzo implied that the residents who live in this area are working with Satan. His statement was. "Satan is working against us." I take severe offense to his comments and reference to Satan. I was raised in the Catholic faith and am quite angry by his implication.

To use Mr. Palazzo's own words and comments to prove my point, please listen to or read the publications from Mr. Palazzo, CHI, and the Catholic Church. I did my research, so I encourage you to do your own research prior to voting on this project.

Podcast with Mr. Palazzo explaining the project being started and implying Genoa residents are working with Satan.

<https://www.youtube.com/watch?v=XjoheGP-GmQ>

A Catholic website that explains the full use of this land:

<https://catholicreview.org/michigan-project-to-replicate-padre-pios-famed-hospital-in-italy-is-underway/>

Publication from the Catholic Church:

<https://detroitcatholic.com/news/gabriella-patti/project-to-replicate-padre-pio-s-home-for-the-relief-of-suffering-in-michigan>

CHI's website explaining and asking for donations: <https://www.chi-usa.com/>

Mr. Rogers, your help in protecting this land that is zoned as agricultural/country estates from the plans of CHI will be greatly appreciated. Please ensure the township's master plan is followed to allow the residents of Genoa Township to continue to live in peace in this county rural setting. Please consider all the residents in Genoa Township when you cast your vote!

Please feel free to contact me if you have any questions.

Respectfully,
Leslie Bohnett
3367 Chilson Rd
517-548-2463

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page ____

Printed Name: Saran Campbell
Address: 230 Brighton Rd
Signature: Saran Campbell

Printed Name: Amela Brazzale
Address: 4476 Golf View Dr, Brighton, MI
Signature: Amela R Brazzale

Printed Name: Emily Kuvach
Address: 5300 Chilson Rd
Signature: Emily Kuvach

Printed Name: Candice Hovarter
Address: 3128 Brighton Road
Signature: Candice Hovarter

Printed Name: BILL ROCHELEAU
Address: 6565 FOREST BEACH
Signature: Bill Rocheleau

Printed Name: John Gorecki
Address: 5325 Mountain Rd
Signature: John Gorecki

Printed Name: Shawn Chapman
Address: 4200 Timberview Dr.
Signature: Shawn Chapman

Printed Name: Susan Gorecki
Address: 5325 Mountain Rd
Signature: Susan Gorecki

Printed Name: LEN HOVARTER
Address: 3128 BRIGHTON RD.
Signature: Len Hovarter

Printed Name: Scott Burtin
Address: 5665 Mystic Lake Dr
Signature: Scott Burtin

Printed Name: Francis Rocheleau
Address: 6565 Forest Beach Dr
Signature: Francis Rocheleau

Printed Name: Amanda Laiting
Address: 4570 Cultural Rd.
Signature: Amanda Laiting

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page ____

Printed Name: Kim Mays
Address: 2745 Springhill
Signature: Kim Mays

Printed Name: Kirk Mays
Address: 2745 Springhill
Signature: Kirk Mays

Printed Name: Dan Henderlong
Address: 2700 Spring Hill Drive
Signature: DH

Printed Name: Linda Griffin
Address: 2819 Spring Hill Dr. Havel
Signature: Linda E. Griffin

Printed Name: Karrie Gusman
Address: 2730 Spring Hill Dr
Signature: Karrie Gusman

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Steven frame
Address: 2793 Springhill Dr
Signature: Steve frame

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Luanne Garrison
Address: 2760 Spring Hill
Signature: Luanne Garrison

Printed Name: Jacqueline Garrison
Address: 2760 Spring Hill
Signature: Jacqueline Garrison

Printed Name: Donald D Sigg
Address: 2819 Spring Hill Dr
Signature: Donald D Sigg

Printed Name: Joe Gusman
Address: 2730 Spring Hill Dr
Signature: Joe Gusman

Kelly VanMarter

From: Pamela King <prking@ameritech.net>
Sent: Wednesday, March 10, 2021 12:49 PM
To: Kelly VanMarter
Subject: Chilson Road Project

I want to note my very strong objection to the project after listening to the people representing CHI. The Chilson campus obviously means only the five acres the church will be on-what about the rest of the acreage? The CHI website very plainly has laid out their plan, yet these people, I felt, were trying to mislead. I have a strong element of distrust after listening to them. Please do not approve!

Pam King
4758 Treasure Lake Drive

Sent from my iPhone

Kelly VanMarter

From: Robert Fish <bfish2013@att.net>
Sent: Wednesday, March 10, 2021 2:53 PM
To: Kelly VanMarter
Subject: Extreme disappointment in Planning Commission decision

Kelly VanMarter:

Most citizens who listened in or watched the 3/8/2021 planning commission meeting where there was approval of the CHI request to build a totally inappropriate "country chapel" (that will be promoted as world wide pilgrimage site), were more than a little disappointed that Jeff Dhaenens, Jim Mortensen (especially), Jill Rickard and Chris Grajek voted the way they did. They virtually ignored statements and comments made by those who actually reside in the area and will have to deal with the results of their irresponsible decision, which they will not have to do. On the other hand, the convoluted and superficial responses provided by the Scott Tousignant group were mostly all taken at face value and accepted.

Thank you to Marianne McCreary, Glynis McBain and Eric Rauch, who appear to have reasonable and ethical decision making skills, as opposed to the others.

Feel free to share this email with all of the board.

Robert Fish
Bonnie Fish
Many, many neighbors



March 3, 2021

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Catholic Healthcare International Church – Special Land Use and Site Plan Review #3
Location:	3280 Chilson Road – west side of Chilson Road, south of Crooked Lake Road
Zoning:	CE Country Estate District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Catholic Healthcare International requesting special land use and site plan review/approval for a new church (site plan dated 2/16/21).

A. Summary

1. Special Land Use standards of Section 19.03:

- a. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
- b. We request the applicant provide the Commission with additional detail regarding outdoor mass.
- c. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
- d. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.

2. Use Requirements of Section 3.03.02(1):

- a. Should a private school, child day care center, or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

3. Site Plan Review:

- a. The applicant should provide the Township with building material and color samples for inclusion with the project file.
- b. Planning Commission approval is required for the amount of parking proposed, as well as the use of bumper blocks for 2 parking spaces.
- c. We request the applicant provide an indication of the number of people expected for special events. If deemed necessary, banked parking may be an appropriate option.
- d. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt (5 trees) and parking lot (landscaped islands).

B. Proposal/Process

The proposal entails a 6,090 square foot church building, along with accessory outdoor uses in the form of a mural wall/altar, Grotto, Stations of the Cross, and a statue. As a side note, what was formerly noted as a Grotto, is now described as a mural wall and altar, though the site plan and details remain the same.

Churches, temples, and similar places of worship are allowed with special land use approval in the CE District. Such uses are also subject to the requirements of Section 3.03.02(1).

Procedurally, the Planning Commission is to review the special land use, site plan, and impact assessment, and provide a recommendation on each to the Township Board following a public hearing.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Uses, as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site, as well as the adjacent properties on the west side of Chilson Road, as Agriculture/Country Estate.

This category is intended for “agricultural use” or “single family residential on estate lots” (5-acre minimum). The Plan further states that such areas “have significant natural limitations such as wetlands or severe soil limitations” and that “these areas are not planned for sanitary sewer.”

The subject site possesses these characteristics (wetlands, no sanitary sewer), and is located within the Rural Reserve area of the growth management boundary. Such areas are to “be maintained at a relatively low intensity rural character of development that will not adversely impact natural features and agricultural uses.”

Since there is no reference to institutional uses under this category, in order to make a favorable finding under this criterion, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.

- 2. Compatibility.** The subject area includes single-family residences on relatively large lots, as well as active agricultural.

The perimeter of the site is buffered by existing vegetation that will be preserved, which will help to mitigate views from off-site.

Based on previous discussion, concerns under this criterion are generally related to noise generation by the outdoor accessory uses and chapel bell.

The applicant has indicated that the outdoor accessory uses are intended for meditation and quiet reflection, and are not necessarily intended for large outdoor gatherings. However, the revised Impact Assessment notes occasional outdoor mass in the area formerly noted as the Grotto.

We request the applicant provide the Township with additional detail on this aspect of the request.

The revised submittal notes that the chapel bell will ring 3 times at noon and 6PM. The bell will also ring for scheduled mass times and special events; however, the bell will not be used between 9PM and 9AM.

The “General Operations” letter identifies 2 special events – May 25th and September 23rd from noon to dark.

The revised submittal does not include decibel ratings or a sound study noting the noise that will be generated by the chapel bell. The Commission may wish to request such details, given the rural residential nature of the surrounding area.

- 3. Public Facilities and Services.** The site has vehicular access to/from Chilson Road, which is an arterial roadway. Per the submittal materials, the project will be served by private well and septic systems.

The Commission should consider any technical provided by the Township Engineer and Brighton Area Fire Authority with respect to this criterion.

- 4. Impacts.** Similar to the comments above, the applicant must demonstrate to the Township’s satisfaction that noise generation will not adversely impact surrounding uses.
- 5. Mitigation.** Should additional concerns arise as part of the review process, the Township may require additional efforts/improvements to mitigate potential adverse impacts.

D. Use Requirements

Churches, temples, and similar places of worship are subject to the use requirements of Section 3.03.02(1), as follows:

- 1. Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.**

The subject site contains 40 acres of lot area, while a seating capacity of 95 persons is noted. This standard is met.

- 2. Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.**

The proposed building (34’-11” to the top of the bell tower) complies with the maximum height allowed for the CE District (35’).

- 3. Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.**

The two parking areas exceed minimum setback requirements, and the applicant proposes to retain existing landscaping and topography in lieu of providing a wall, fence, or berm.

Proposed buffering includes the additional spacing, as well as a combination of existing and proposed trees. The revised submittal includes 31 additional evergreen trees along the south side lot line.

4. Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.

The request does not include a private school or child day care center. As such, this standard does not apply to the proposal.

As previously noted and discussed, should these (or other) uses be proposed in the future, the applicant will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

E. Site Plan Review

1. Dimensional Requirements. The proposal is well within the allowable dimensional standards of the CE District with respect to setbacks, building height, and lot coverage.

2. Building Materials and Design. The building elevation drawings identify the use of brick and limestone.

We suggest the applicant provide the Township with material and color samples for inclusion with the project file.

3. Pedestrian Circulation. Public sidewalks/pathways are not required along this portion of Chilson Road (Section 12.05).

The project includes internal concrete sidewalks between the parking lots/drop-off lane and building entrances, as well as a limestone pathway for the Stations of the Cross.

4. Vehicular Circulation. Vehicular access is proposed via a new driveway to/from Chilson Road, which includes a deceleration/acceleration lane for southbound traffic.

Internally, the site includes both two-way and one-way traffic circulation. Proper drive aisle widths are provided throughout the site, and a fire truck turning movement is depicted (Sheet 4).

The applicant must address any comments provided by the Township Engineer or the Brighton Area Fire Authority with respect to vehicular circulation.

5. Parking. Proposed parking has been reviewed for compliance with the standards of Article 14, as follows:

	Required	Proposed	Comments
Parking Spaces Churches, temples, and similar places of worship (1 space for each 3 seats in the main unit of worship)	32	39	Section 14.02.06 requires PC authorization for parking above 120% of the minimum requirement. The proposal entails 122%.
Barrier Free Spaces	2	4	In compliance
Dimensions Spaces (75 to 90-degree)	9' x 18'	9' x 18' & 9' x 21'	In compliance
Drive aisle width (two-way)	24'	26'	In compliance
Drive aisle width (one-way)	15'	21'	In compliance
Construction	Looped striping Curbing on all sides	Looped striping Curbing w/ 2 bumper blocks	Curbing has been added; however, 2 bumper blocks remain. PC authorization is required.

Though the parking requirements are met for the church, we request the applicant provide an indication of the number of people expected for special events to ensure sufficient parking is provided.

If deemed necessary, banked parking in accordance with Section 14.02.05 may be an appropriate option.

- 6. Landscaping.** The revised landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 14 canopy trees	50' width 9 canopy trees Existing trees	Applicant requests that PC allow existing trees to remain in lieu of 5 new plantings. Based on review of aerial photos, there are more than 5 existing trees being preserved.
Parking lot	4 canopy trees 380 SF landscaped area	4 canopy trees 0 SF landscaped area	Applicant requests that PC allow proposed layout w/out landscape islands

The plan also includes 36 evergreen trees, 6 ornamental trees, 107 shrubs, and 15 perennials planted around the building.

- 7. Waste Receptacle.** In lieu of a dedicated waste receptacle/enclosure, the applicant indicates that refuse removal will be done via typical residential curbside pickup.
- 8. Exterior Lighting.** The revised lighting plan identifies 11 driveway/parking lot light poles, 9 decorative/pedestrian bollards, and 9 wall mounted fixtures.

Details note the use of LED fixtures, and a maximum mounting height of 20 feet (both of which comply with current standards).

The photometric readings are well within the intensity allowed on-site and along property lines.

- 9. Signs.** The site plan identifies a new monument sign on the north side of the proposed driveway. The required setback is provided, and a rendering of the sign is included; however, size and material details are not included.

A note has also been added referencing the requirement for a Township sign permit prior to installation.

- 10. Accessory Structures.** The plan also includes several outdoor accessory components – a mural wall/altar (formerly described as a Grotto), Stations of the Cross, and statue.

Details include a masonry mural wall, a 5-foot wide limestone pathway and 14 wood structures with paintings for the Stations of the Cross, and a statue near a large mature tree north in the front yard.

- 11. Impact Assessment.** The submittal includes a revised Impact Assessment dated February 16, 2021.

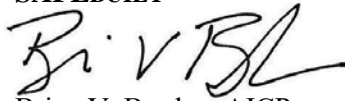
In summary, the Assessment notes that the proposed project is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

The revised submittal also includes a letter outlining “General Operations,” as requested by the Commission at the previous meeting.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFEBUILT

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and fluid.

Brian V. Borden, AICP
Michigan Planning Manager



March 2, 2021

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Catholic Healthcare International
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Catholic Healthcare International site plan last dated February 16, 2021. The plans and impact assessment were submitted by Boss Engineering on behalf of Catholic Healthcare International. The site is on a 40-acre parcel located on the southwest side of Chilson Road, approximately 1,500 feet south of Crooked Lake Road. The petitioner is proposing a 6,090 square foot church in the southeast corner of the property. The Petitioner is proposing parking lot, access drive, storm drainage, and well and septic improvements.

After reviewing the site and impact assessment we offer the following:

GENERAL NOTES

1. The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.
2. Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

SITE PLAN

1. The Petitioner added concrete curb and gutter around the proposed drive and parking area as requested. The additional curb and gutter will help control storm drainage and ensure vehicles park within the parking limits.

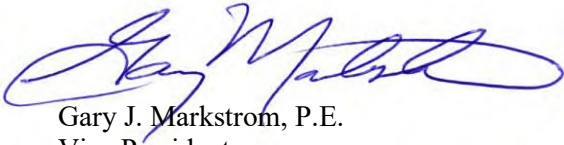
DRAINAGE AND GRADING

1. The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements. The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

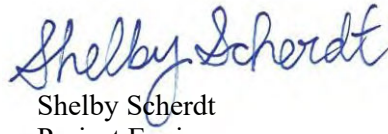
Ms. Kelly Van Marter
Re: Catholic Healthcare International
Site Plan Review No. 3
March 2, 2021
Page 2

We recommend the petitioner address the remaining comments above to the satisfaction of the Township. Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 18, 2021

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Catholic Healthcare International Church
3280 Chilson Rd.
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on February 17, 2021 and the drawings are dated December 18, 2020 with latest revisions dated February 16, 2021. The project is for a new Catholic Church on Chilson Rd. The building is proposed to be 6,084 square foot assembly occupancy. The building is provided with a single access drive from Chilson Rd. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All previous comments have been addressed including rearrangement of the entrance drive for emergency vehicle access.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628
Internet Address: www.livingstonroads.org

January 22, 2021

Scott Tousignant, P.E.
Boss Engineering
3121 E. Grand River Ave
Howell, MI 48843

Re: Catholic Healthcare International, Genoa Township, Section 20
LCRC# C-20-11

Dear Mr. Tousignant:

I have completed the review of the plans for a commercial driveway approach off Chilson Road for a church, dated January 20, 2021, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

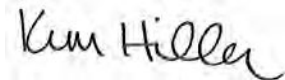
Before a commercial approach permit can be issued, the following items need to be completed.

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability."
2. It will be stated on the permit that any future additions or changes in use of the site may require improvements to the approach and/or Chilson Road to accommodate the increase in traffic.

Commercial approach permits are valid for a six (6) month period. Please contact me when you are ready for the permit to be issued and allow for a minimum of two (2) business days for preparing the permit for signatures.

If you have any questions, please feel free to contact me.

Sincerely,



Kim Hiller, P.E.
Utilities and Permits Engineer

Cc: File

Amy Ruthig, Genoa Township (via email)
Ken Recker, Livingston County Drain Commissioner's Office (via email)

**IMPACT ASSESSMENT
FOR
SITE PLAN PETITION
"CATHOLIC HEALTHCARE INTERNATIONAL"
GENOA TOWNSHIP, LIVINGSTON COUNTY
MICHIGAN**

Prepared for:

**CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILDWOOD, MISSOURI 63040
(636) 220-6550**

Prepared by:

**BOSS ENGINEERING COMPANY
3121 E. GRAND RIVER
HOWELL, MI 48843
(517) 546-4836**

December 18th , 2020
Revised: January 20th , 2021
Revised: February 16th , 2021

20-477 EIA

INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

DISCUSSION ITEMS

A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.

Prepared By :
Scott Tousignant, P.E. & Paul Grisdela, EIT
BOSS ENGINEERING COMPANY
Civil Engineers, Land Surveyors, Landscape Architects and Planners
3121 E. Grand River
Howell, MI 48843
(517) 546-4836

Prepared For :
Catholic Healthcare International
Jere Palazzolo
2464 Taylor Road, Suite 317
Wildwood, MO 63040
(636) 220-6550

B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

The 40.01-acre site is located on the west side of Chilson Road, just south of Crooked Lake Road. The subject property is currently empty of any buildings or structures. The western and northern portion of the property is wooded with meadow in the southeast & central portion of the site. There are wetlands along the western edge of the property. There are residential properties and farmland bordering the north and south property lines, as well as a railroad just off the western property line. The site is within the Country Estate zoning area.

C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Resources utilized to study the natural features of the site included an on-site visit, aerial photos from Google Earth, a web soil survey prepared by the USDA, Wetlands Inventory Maps prepared by the MDEGLE as well as resources prepared by the Huron River Watershed Council and other Livingston County Natural resources agencies.

The eastern half of the site primarily slopes to a low point on the southeastern corner of the property. The western half of the site sheet flows to the wooded areas and wetland areas in the rear of the site. The soils on site consist of loam, loamy sands, sandy loams, and complex soils.

The Livingston County Drain Commissioner's "Procedures and Design Criteria for Stormwater Management Systems and Soil Erosion Sedimentation Control Program" was followed throughout the design process. The reading states preservation of the natural environment and use of vegetated swales as the first and third most preferred best management practices, respectively. Thus, careful consideration was taken to ensure a site with minimal earth disturbance and drainage patterns that followed the pre-developed site. As a result, only three tagged trees will need to be removed on the site. Bioswales will be implemented on site to provide a natural filtration method of any additional runoff. The bioswales are located at a current low spot as well as on the downslope prior to the wetland on site. These locations allow the site to maintain its current drainage pattern.

D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.

The site will utilize two bioswales to control stormwater runoff. Curb and gutter is being utilized around the parking lots and drives to direct stormwater to its proper location. Trench drains are being utilized to get the stormwater to the opposite side of the sidewalk behind the curb. The benefit of utilizing the trench drain in this situation is that it maximizes the amount of stormwater contact with the swales and vegetation thereby increasing infiltration and treatment potential prior to entering into the bioswale areas. Additionally, proper sedimentation control devices such as tracking mats, silt fence, and seeding with mulch will be utilized during construction to control erosion and sedimentation. Additional topsoil will be stored next to the proposed chapel. Given the small building footprint and amount of proposed impervious area compared to the overall site area, there will be minimal impact on the storm runoff. In addition to sedimentation control devices being used, there will also be weekly inspections from a certified stormwater operator to ensure it is properly maintained and functioning throughout construction.

E. Impact on surrounding land use: Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The site will see an increase in use regardless of the facility, due to it being a vacant site. Services at this chapel are expected to occur at a minimum of once a month, but primarily weekly. The Mass frequency will increase based on the demand. The proposed chapel is also set back approximately 620 feet off Chilson Road. There is currently a line of trees along the southern property. This will help to reduce any disturbances to the home adjacent to the southern property

line. In addition to these existing trees, an entire double-staggered row of evergreen trees is being proposed along the south property line near the chapel and near the front parking lot in order to ensure an adequate buffer is obtained along the entire property line. Although the chapel anticipates some services after dusk which will require lighting, the lighting will be off as often as possible to reduce and minimize any light pollution from this site. Refer to the lighting plan in the Site Plan package for proposed photometrics. Additional information on the site uses and times is included in an Operations document separate this Environmental Impact Assessment.

The chapel contains an operational bell tower. The bell is proposed to be automated with the ability for manual ringing. Manual ringing will occur for Mass and other special events. Automated ringing is proposed on the Angelus hours of Noon and 6:00 P.M. Additional information on the Chapel bell use is included in the Operations document.

In addition to the proposed use being a Chapel, there are a few more elements to this site that include: The Mural Wall, Stations of the Cross, and Magnificent Tree of Padre Pio. The Mural Wall includes an Altar in front and is located within the looped drive on site. This will serve as an area for visitors to reflect and meditate and for special functions to be held outside. Occasional outdoor Mass will be held at this Mural Wall and altar. The Magnificent Tree of Padre Pio is a large tree located on the site that will be featured with a Statue of Padre Pio sitting underneath it. Part of Padre Pio's story involves a tree so the purpose is to utilize the site's natural environment and features to show Padre Pio's story. There is also a Stations of the Cross Trail between the two proposed parking lots. The purpose of this is for visitors to park in the first parking lot and walk the Stations of the Cross Trail on the way towards the Chapel. An existing large stand of trees is being used as the setting for the Stations of the Cross trail. Along the trail will be wood posts with housing with pictures depicting the route Jesus took to the Cross. This setting offers a natural environment for meditation and reflection for visitors.

F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The proposed chapel contains seating for 80 visitors, with an additional 15 seats provided in an adoration Chapel room. Public schools will not be impacted by the chapel. The impact on police protection will be negligible. The Brighton Area Fire Authority's needs are being accommodated in the road layout of the site, allowing for adequate access to the building. It is important to note this facility will have periodic visitors throughout the day with occasional field trips and chapel services periodically.

G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post-development flows shall be provided in equivalents to a single-family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

There will be no public water or sanitary sewer facilities on this site. A Well and septic system will be used for the chapel. There are no public water or sanitary sewer facilities within the area. Using the Livingston County Environmental Health Well & Septic Records, it may be seen that surrounding properties also contain septic systems. Soil characteristics obtained from the USDA Web Soil Survey show promising soil types for installation of a septic tank. Livingston County

Health Department standards were followed in the sizing and isolation distance of the septic tank and well.

H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There will be no hazardous materials used or disposed of on this site.

I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

The Institute of Transportation Engineers Trip Generation Manual 10th Edition Volume 2 Part 2 was used to calculate the number of trips generated by the proposed chapel. The scenario on sheet 187 using gross floor area and the peak hour on a Sunday produced 56 trips. The traffic counts section on Livingston County Road Commission's website was used to analyze Chilson Road annual average daily traffic. The most recent data shows Chilson Road has an AADT of 2,500 between E Coon Lake Road and Beck Road. Chilson Road did experience an annual growth of -26% in 2014 due to the I-96 ramp on Latson Road being constructed. Chilson Road had an AADT of 4,505 prior to the construction of the ramp. The increased traffic caused by the proposed chapel will have little overall impact, and Chilson Road has been shown to handle much larger AADT volumes in the past. It is important to note that the anticipated mass times for this site generally do not line up with peak hour traffic times.

J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.

A traffic study is not required for this site.

K. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.

N/A

L. A list of all sources shall be provided.

Genoa Township's *Submittal Requirements For Impact Assessment*

Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

Catholic Healthcare International

General Operations

3280 Chilson Road, Howell, MI 48116

The purpose of this document is to provide guidance as to the operations of the Chapel, site features and miscellaneous Chapel/site components. Given the preliminary nature of this site, it is difficult to determine exact times and person counts for Masses and other events. Site awareness and public interest & use will help determine the extent of Chapel/site use and Mass times.

Chapel

During typical weekdays and weekends (not during events or scheduled Mass) the Chapel will be unlocked and available from dawn to dusk.

The vision for regularly scheduled Mass times can be broken down into three parts: The immediate future, short term, long term/max use.

Immediate Future: Shortly after site construction and through the first year or so, the intent is to hold a Mass 1 day per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M., avoiding peak traffic hours when possible.

Short Term: After the site has been open and has gained traction/awareness, the intent is to hold a Mass 3 days per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M.

Long Term/Maximum Use: The hope is that the site provides opportunities for enough people that additional Mass times would need to be scheduled. The maximum frequency of scheduled Mass in the long-term is 7 days per week. The Mass is anticipated to be held between the hours of 7:00 A.M. and 6:00 P.M.

It is anticipated that when there is a lower frequency of Mass' being held, attendance would be near or approaching the capacity of the Chapel (50-80 persons). When additional Masses are held, the person count in each Mass is anticipated to lower.

In the Long-Term Vision with additional Masses being held, a full-time Priest/resident will be on the site. A residence would need to be constructed. Appropriate approvals and permits will be sought at that time.

Chapel Bell

- The Chapel Bell is intended to ring daily following the Angelus hours, 12-noon and 6:00 P.M.
- The Chapel Bell will ring 3 times for each of these hours.
- The Chapel Bell will be operated manually at scheduled Mass times and/or special events on the site. In the event of a morning Mass before 9 am, the Chapel bell will not be used. The bell shall not be used manually between 9:00 P.M. and 9:00 A.M.

Security

The property will not have a full-time keeper on-site at this time. Security cameras will be located on the exterior of the Chapel and be accessible remotely for Catholic Healthcare International staff to view. An emergency contact name and number is provided below:

Site Contact: _____ Ann O'Reilly _____ Phone: _____ (517) 282-5924 _____

- In the event that the Mass frequency increases, a full-time Priest may be designated for this property, thus requiring a residence on the site and a new full-time site contact.
- The Chapel will be open to the public on weekdays and weekends from Dawn to Dusk.
- The outdoor site features (Stations of the Cross, Mural Wall, St. Padre Pio Statue, trails) will be open to the public on weekdays and weekends from dawn to dusk.

Events

At this time, there are two special events planned for the site and are listed below:

Both of these events will be outdoor Masses and receptions.

- 1) **Event:** St. Padre Pio Birthday Mass & Reception
Date: May 25, 2021 **Time:** Noon until dark
- 2) **Event:** St. Padre Pio Feast Day Mass & Reception
Date: September 23, 2021 **Time:** Noon until dark

The number of anticipated attendees is not known. Approaching each event, interest levels will be gauged. Should excessive interest in an event warrant, staged/multiple receptions may occur to accommodate these additional people. It would be anticipated that on special event days, people will be shuttled into the site as necessary once parking accommodations on-site are full.

Events may be held on weekdays and/or weekends.

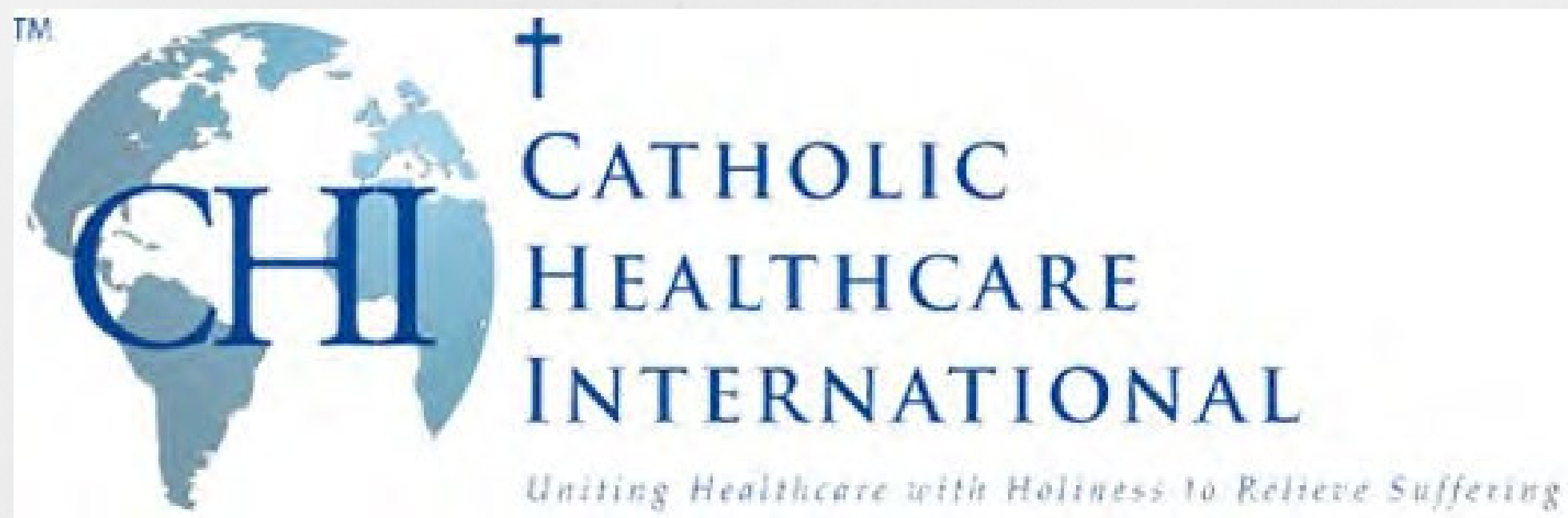
Lighting

On-site lighting is anticipated to be used as minimally as possible. In the event a Mass is held after dusk, site lighting will be utilized for safety. The only site lighting at this time is for the monument sign along Chilson Road, mural wall lighting, parking lot/driveway lighting poles, and building mounted lighting. Site lighting is provided as per Township requirements.

During typical site use (non-Mass/special event hours), lighting will be used 30 minutes before sunrise and 1 hour after dusk.

Unless Mass or special events are being held, lighting is to be off 1- hour after dusk.

Minimal exterior Chapel wall-mounted lighting may be used at additional hours for security purposes. All site lighting levels are to meet Township Ordinance requirements.



Catholic Healthcare International (CHI) is pleased to clearly state the vision of the Chilson Rd. Prayer Campus, how it fits into the overall mission, and to clear up the understandable confusion surrounding the project.

While a hospital, medical school, and clinics are still part of the overall mission of CHI, it is NOT our intention - nor would it be physically possible - to build these facilities on the Chilson Rd. campus. Conscious of - and respectful of - the local residents, the Chilson Rd. campus will be ONLY dedicated to prayer as a peaceful and pastoral site of pilgrimage. The prayers from this Chilson Rd. site will support the mission of CHI as it develops in other areas around the country as a beacon of light in healthcare delivery.

Each phase of the mission will be implemented as partners and collaborators come together.

- The Chilson Road prayer campus property was donated to CHI by the Diocese of Lansing. This land was originally intended to build a parish and school. Now, CHI will preserve the natural beauty of this land to provide a peaceful spiritual center. The prayers of the faithful from this tranquil setting will drive the entire CHI vision.
- The Terri Schiavo Home for the Brain Injured unit will be housed in a world-class hospital, funded by donations, to care for the most vulnerable who are suffering from brain injury. **The Home for the Brain Injured WILL NOT be on the Chilson Rd. Prayer Campus.**
- The Home for the Relief of Suffering Hospital will replicate St. Pio's hospital in Italy, the "Casa Sollievo della Sofferenza." **This hospital WILL NOT be on the Chilson Rd. Prayer Campus.**
- The School for the Relief of Suffering Medical School will be a faithfully Catholic medical school. **The Medical School WILL NOT be located on the Chilson Rd. Prayer Campus.**
- Other medical clinics and a foundation for public policy are both long-term goals. **The clinics and foundation WILL NOT be located on the Chilson Rd. Prayer Campus.**

The mission of CHI is huge, but as the doctor who helped St. Padre Pio open the Italian hospital said, "[it] would make us tremble with awe, if it was not inspired by God who is, above all, love!"

Jere Palazzolo

President
Catholic Healthcare International
Info@CHI-USA.com

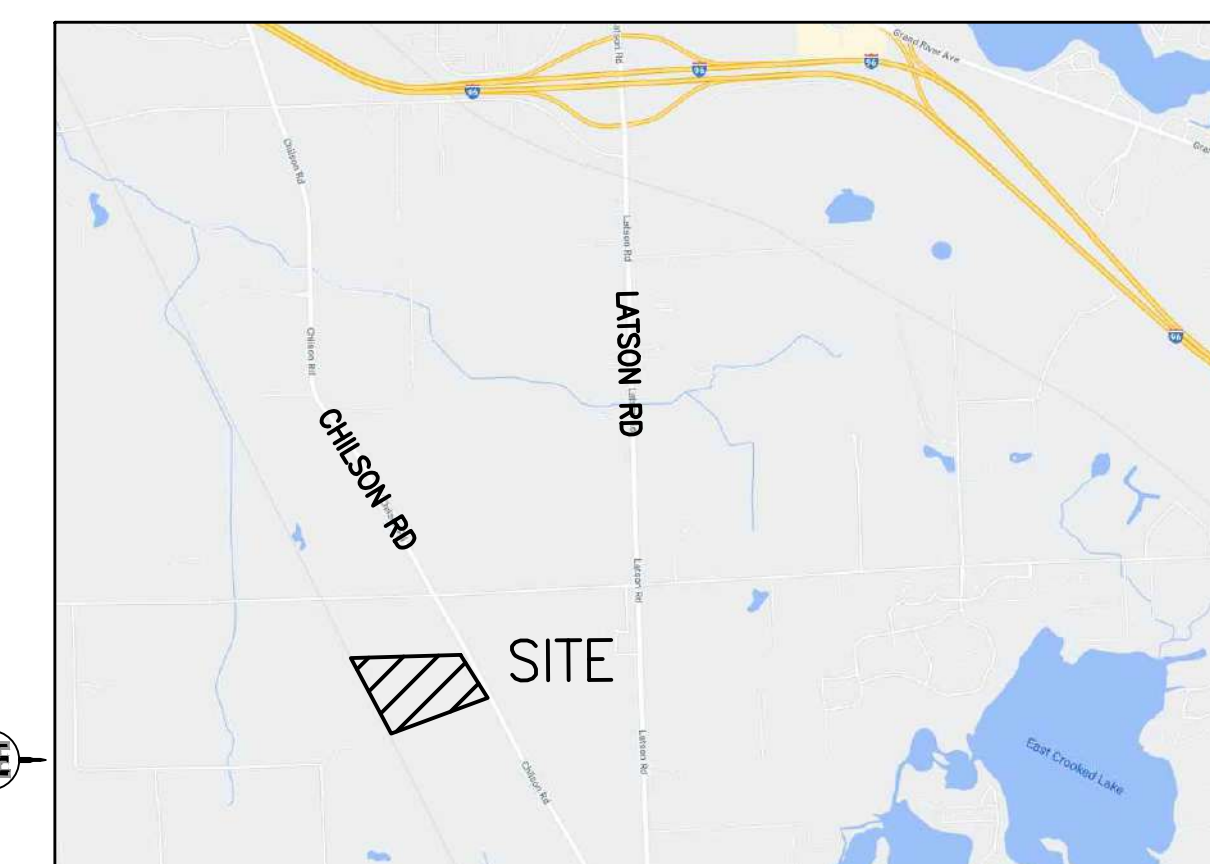
PROPERTY DESCRIPTION:

40 Acres Description:

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, T2N-R5E, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Center of said Section 20, said Point lying S 00 degrees 04'22" W along the North-South 1/4 line of said Section, 2616.14 feet; thence N 89 degrees 16'18" E, 623.77 feet to the centerline of Chilson Road; thence N 25 degrees 37'28" W along said centerline, 511.68 feet; thence continuing along said centerline, N 25 degrees 35'58" W, 409.12 feet to the Point of Beginning of the Parcel to be described; thence S 64 degrees 49'10" W, 551.00 feet; thence S 52 degrees 45'14" W, 1157.74 feet to the Easterly Line of the Ann Arbor Railroad; thence N 25 degrees 10'14" W along said line, 1566.05 feet; thence N 89 degrees 04'43" E, 1874.35 feet to said centerline; thence S 25 degrees 35'58" E along said centerline, 553.96 feet to the Point of Beginning, containing 40.01 acres more or less and subject to the rights of the Public over existing Chilson Road. Description subject to a stake Survey in the field.

Prepared By: Mathew A. Brady P.S. P.O. Box 400 Brighton, Michigan 48116

SITE PLAN FOR CATHOLIC HEALTHCARE INTERNATIONAL PART OF NE,NW, & SW 1/4, SECTION 20 GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

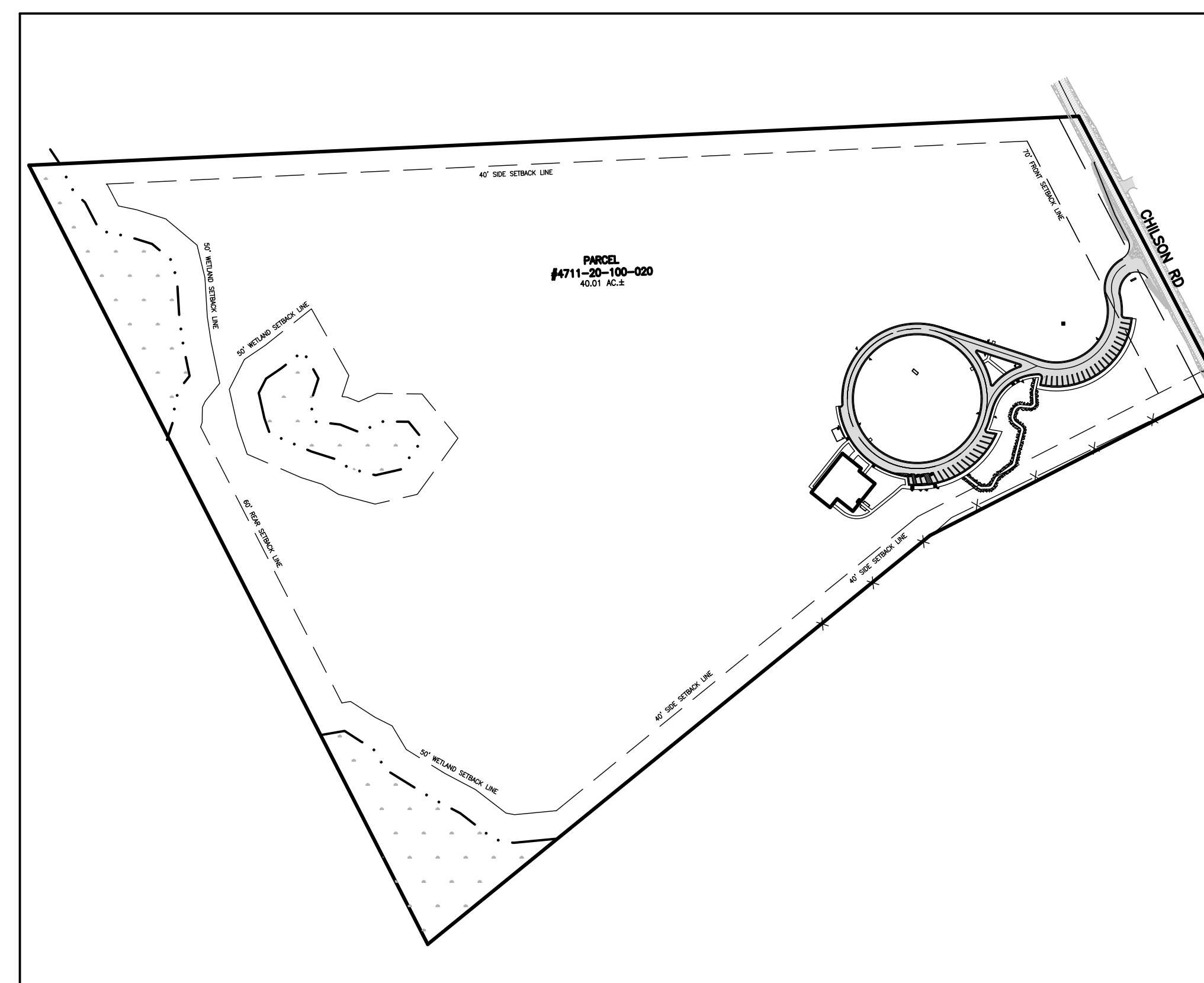


LOCATION MAP

NO SCALE

CONSTRUCTION NOTES

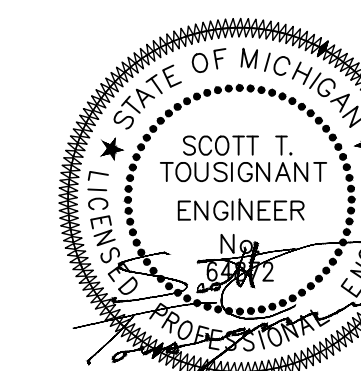
- THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
1. THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
 2. DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 3. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
 4. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
 5. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
 6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
 7. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
 8. ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
 9. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
 10. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
 11. THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
 12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
 13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 14. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
 15. THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 16. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
 17. ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 19. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
 20. DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
 21. IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
 22. NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
 24. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDS AS SPECIFIED OR DIRECTED BY THE ENGINEER.
 25. ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
 26. TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
 27. ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 28. AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
 29. ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
 30. NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
 31. ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
 32. SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
 33. ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



OVERALL SITE MAP

NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	NATURAL FEATURES PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE PLAN
5	GRADING & SOIL EROSION CONTROL PLAN
6	DRAINAGE PLAN & BIOSWALE CALCULATIONS
7	LANDSCAPE PLAN
8	FIRE CISTERN DETAILS
DRAWINGS BY OTHERS	
1	GASSER BUSH ASSOCIATES – LIGHTING PHOTOMETRIC PLAN
DRAWINGS BY OTHERS	
1	SWANSON DESIGN STUDIOS – ARCHITECTURAL
2	CHAPEL/OFFICE PLAN
3	FRONT EXTERIOR ELEVATIONS
A1	BACK EXTERIOR ELEVATIONS
	MURAL WALL DETAIL PLAN



INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

ARCHITECT	CONTRACTOR	ON-SITE PROJECT SUPERVISOR
SWANSON DESIGN STUDIOS	TO BE DETERMINED	TO BE DETERMINED
329 EAST GRAND RIVER AVE		
LANSING, MI 48906		
CONTACT: MARY SWANSON		
PHONE: 517-482-9039		
EMAIL: MSWANSON@SWANSONDESIGN.COM		

PREPARED FOR:

CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD SUITE 317
WILDWOOD, MO 63040
CONTACT: JERE PALAZZOLO
PHONE: 636-220-6550

PREPARED BY:

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

3	ST	PER TWP REVIEW	03/25/21	1	
2	ST	PER TWP REVIEW	02/16/21		
1	ST	PER TWP REVIEW	01/20/21		
NO	BY	CK	REVISION	DATE	JOB NO: 20-477

NATURAL FEATURES NARRATIVE:

SEVERAL NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON AUGUST 23, 2019 THAT INCLUDE WETLANDS AND A VARIETY OF WOODLAND STANDS. BELOW IS A BRIEF DESCRIPTION OF EACH NATURAL FEATURE, LABELED AS ZONES 'A'-'E'. ALTHOUGH THE TOTAL SITE IS MEASURED AT 46.88 ACRES, THE ZONES DESCRIBED BELOW APPROXIMATELY 41.11 ACRES WHEN ADDED TOGETHER. NOTE THAT EACH ZONE IS MEASURED TO AN APPROXIMATE SIZE AND THAT ZONES ARE SEPARATED BY A PATH THAT IS ROUGHLY 12' WIDE AND IS NOT ACCOUNTED FOR IN THE CALCULATIONS.

WETLAND "A"

AN ESTIMATED 1.24 ACRE "FRESHWATER EMERGENT WETLAND" AS DESCRIBED BY THE NATIONAL WETLANDS INVENTORY, CONTAINS OFF-SITE AND IS PART OF A MUCH LARGER WETLAND WHICH QUALIFIES IT AS A REGULATED WETLAND. THE DOMINANT PLANT SPECIES ARE RED OSR DOGWOOD, GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS. THIS WETLAND BORDERS THE RAILROAD CORRIDOR AT THE WEST PROPERTY LINE. A DRAINAGE CHANNEL RUNS PARALLEL TO THE RAILROAD TRACKS AND WETLAND "A" IS A COLLECTOR BASIN OF THE DRAINAGE CHANNEL.

WETLAND "B"

AN ESTIMATED 1.05 ACRE "FRESHWATER EMERGENT WETLAND" THAT IS COMPOSED OF COMPOSED OF HYDRIC CARLISLE MUCK SOILS. THIS WETLAND ALSO CONTAINS OFF-SITE TO THE NORTH AND IS A REGULATED WETLAND AS IT HAS A HYDRIC CONNECTION TO WETLAND A VIA DRAINAGE DITCH. THE DOMINANT PLANT SPECIES ARE GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS.

WETLAND "C"

AN ESTIMATED 0.99 ACRE "LOWLAND HARDWOOD" WETLAND, ACCORDING TO THE EGLE WETLAND MAP VIEWER. THIS WETLAND IS DOMINATED BY REED CANARY GRASS WITH A FEW BUTTON BUSH SHRUBS SCATTERED THROUGHOUT.

ZONE "A"

ZONE "A" IS A STAND OF HEALTHY AND MATURE WHITE PINE TREES THAT AVERAGE APPROXIMATELY 20' AT DIAMETER BREAST HEIGHT. THE TREES ARE PLANTED ON AVERAGE 10-15' APART FROM ONE ANOTHER.

ZONE "B"

ZONE "B" IS APPROXIMATELY 8.4 ACRES IN SIZE AND IS MOSTLY OPEN SPACE AND MANAGED LAWN AREAS WITH MINIMAL SLOPES. THE SOILS CONSIST MOSTLY OF BOYER OSHTEMO SANDY LOAMS. THERE ARE FEW TREES IN THIS ZONE, THOUGH A MURAL WALL OF MATURE AND MOSTLY HEALTHY BOX ELDER TREES IS LOCATED IN THE CENTER OF THE SITE THAT WILL BE PROTECTED.

ZONE "C"

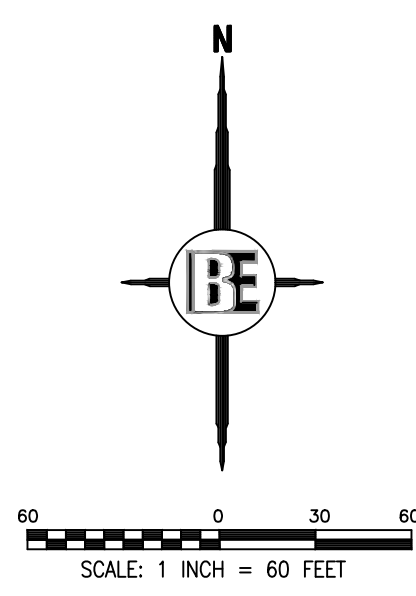
ZONE "C" IS APPROXIMATELY 9.7 ACRES IN SIZE. THE TREES CONSIST OF MATURE RED OAK, BLACK CHERRY, BLACK WALNUT, AND SHAGBARK HICKORY RANGING FROM 10-20' AT DIAMETER BREAST HEIGHT. THE UNDERSTORY IS RELATIVELY OPEN WITH SOME BLACK RASPBERRY BRAMBLES AND MULTIFLORA ROSES OCCUPYING THE OPEN SPACES. THERE ARE HICKORY AND OAK SAPLINGS SPREAD THROUGHOUT INDICATING A HEALTHY FUTURE FOR SUCCESSION. SOILS ARE WASHINGTON SILT LOAMS AND BOYER OSHTEMO SAND LOAMS WITH MINIMAL SLOPES.

ZONE "D"

ZONE "D" IS APPROXIMATELY 2.72 ACRES IN SIZE AND IS WHAT APPEARS TO BE MOUNDED EARTH LIKELY FROM MASS GRADING EFFORTS THAT WERE EXECUTED MANY YEARS AGO. THE AREA IS MOSTLY OPEN SPACE WITH 3:1 SLOPES LEADING TO THE TOP. PLANT SPECIES INCLUDE GOLDEN ROD, VARIOUS ASTERS, AND SEVERAL EASTERN RED CEDAR TREES. THERE ARE SEVERAL CRABAPPLE TREES PLANTED THROUGHOUT.

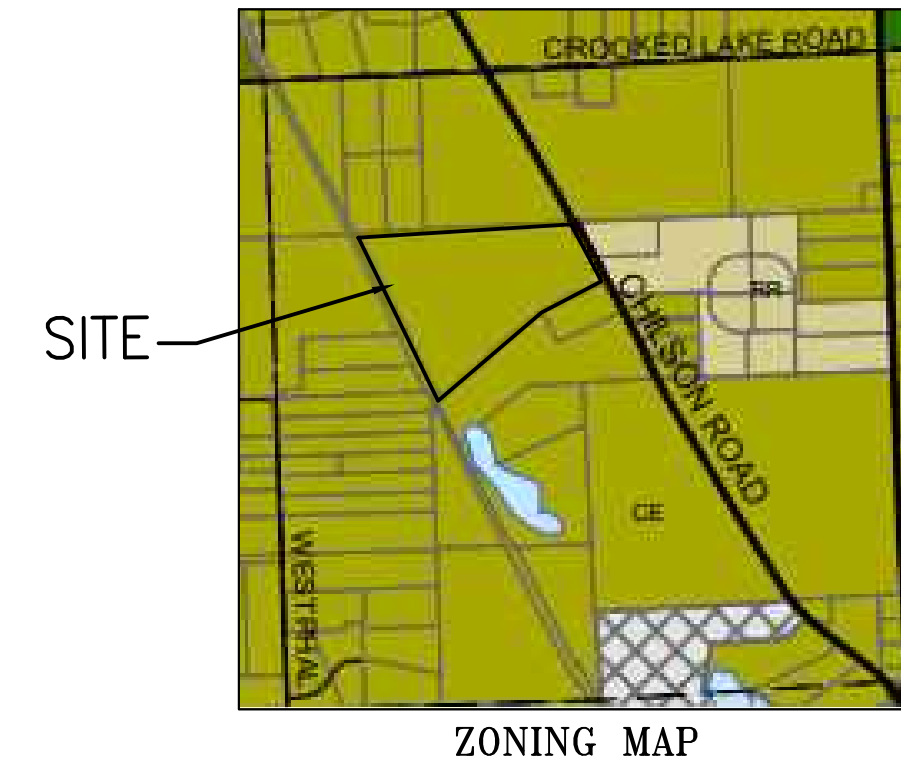
ZONE "E"

ZONE "E" IS APPROXIMATELY 18 ACRES IN SIZE WITH MATURE BLACK CHERRY, RED OAK, SHAGBARK HICKORY RANGING FROM 12-20' AT DIAMETER BREAST HEIGHT. THERE ARE SEVERAL LANDMARK TREES THAT INCLUDE RED OAK AND BLACK CHERRY. THE UNDERSTORY INCLUDES BRAMBLES, POKEWILD, HONEYSUCKLE, A FEW HICKORY AND OAK SAPLINGS, AND AN OCCASIONAL CELESTRIS VINE. THERE IS ALSO A STAND OF AMERICAN ELM TREES. THERE IS A GENTLE SLOPE TO THE LAND THAT DRAINS STORMWATER TO THE WEST. IN THE NORTHEAST, THERE APPEARS TO BE REMNANTS OF AN OLD BUILDING FOUNDATION THAT HAS BEEN DEMOLISHED AND SET INTO A PILE OF RUBBLE ATOP A SMALL HILL.



LEGEND

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
000	+922.08	CONTOUR
T/C		SPOT ELEVATION
FF		FINISHED FLOOR ELEVATION
FG		FINISHED GRADE ELEVATION
T/A		TOP OF ASPHALT
T/C		TOP OF CURB / CONCRETE
T/W		TOP OF WALK
F/L		FLOW LINE
T/P		TOP OF PIPE
B/P		BOTTOM OF PIPE
RM		ROOM ELEVATION
INV		INVERT ELEVATION
MH		MANHOLE STRUCTURE
IN		INLET STRUCTURE
CB		CATCHBASIN STRUCTURE
RY		REARWARD STRUCTURE
ES		END-SECTION
OV		GATEVALVE STRUCTURE
HY		HYDRANT
UP		UTILITY POLE
SN		SANITARY SEWER
SL		SANITARY LEAD
FM		FORCE MAIN
PS		PRESSURE SEWER
ST		STORM SEWER
WM		WATER MAIN
WL		WATER LEAD
FO		FIBER OPTIC
OH		OVERHEAD WIRE
C		CABLE
E		ELECTRIC
G		GAS
T		TELEPHONE
L		LEAD
X		SILT FENCE
W		WETLAND BOUNDARY
G		LIMITS OF GRADING/CLEARING
M		MANHOLE
I		INLET / CATCHBASIN
F		FLARED END-SECTION
G		GATE VALVE
H		HYDRANT
U		UTILITY POLE
S		SIGN
N		NOT FIELD VERIFIED TO BE REMOVED
S		SANITARY SEWER LABEL
SS		STORM SEWER LABEL
WM		WATER MAIN LABEL
SE		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
C		CONCRETE
A		ASPHALT
M		MODIFIED CURB



- GENERAL SURVEY NOTES:**
- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. RECORDED BEARINGS WERE ESTABLISHED FROM LIVINGSTON ENGINEERING SURVEY JOB NO. 19208, AS RECORDED IN 20195-0113, LIVINGSTON COUNTY RECORDS.
 - SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
 - EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
 - ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD88 DATUM)
 - CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
 - THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES.
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 - ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

SITE BENCHMARKS (NAVD88 DATUM):
 -BM #200 = BOSS NAIL/TAG S/S 24" OAK TREE. ELEV.=959.08
 -BM #201 = BOSS NAIL/TAG S/S P-POLE CENTER OF SITE. ELEV.=958.47

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BA	Boyer-Oshtemo loamy sands, 1 to 2 percent slopes	2.2	8.3%
BB	Boyer-Oshtemo loamy sands, 2 to 8 percent slopes	7.8	24.2%
BC	Boyer-Oshtemo loamy sands, 8 to 12 percent slopes	2.1	5.1%
Cc	Carlisle muck, 0 to 2 percent slopes	1.8	3.9%
FB	Flu-Boyer complex, 2 to 6 percent slopes	3.9	15.9%
FD	Flu-Boyer complex, 12 to 18 percent slopes	0.9	2.3%
Gc	Gilford sandy loam, 0 to 2 percent slopes, gravelly subsoil	2.9	6.2%
MsA	Waukesha loam, 0 to 2 percent slopes	7.0	18.8%
MdB	Waukesha loam, 2 to 6 percent slopes	3.7	9.9%
McC	Waukesha loam, 6 to 12 percent slopes	0.7	1.8%
Wh	Washington silt loam	2.2	6.0%
Totals for Area of Interest		37.3	100.0%

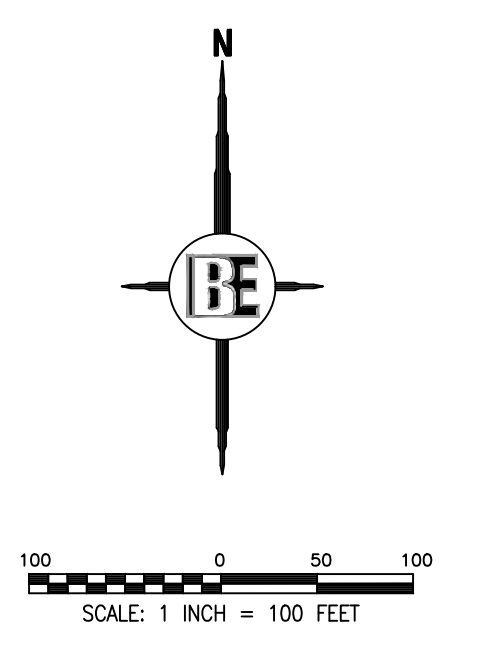
BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

CATHOLIC HEALTHCARE INTERNATIONAL
 2464 TAYLOR ROAD, SUITE 317
 WILLOWOOD, MO 63090
 314-922-2136

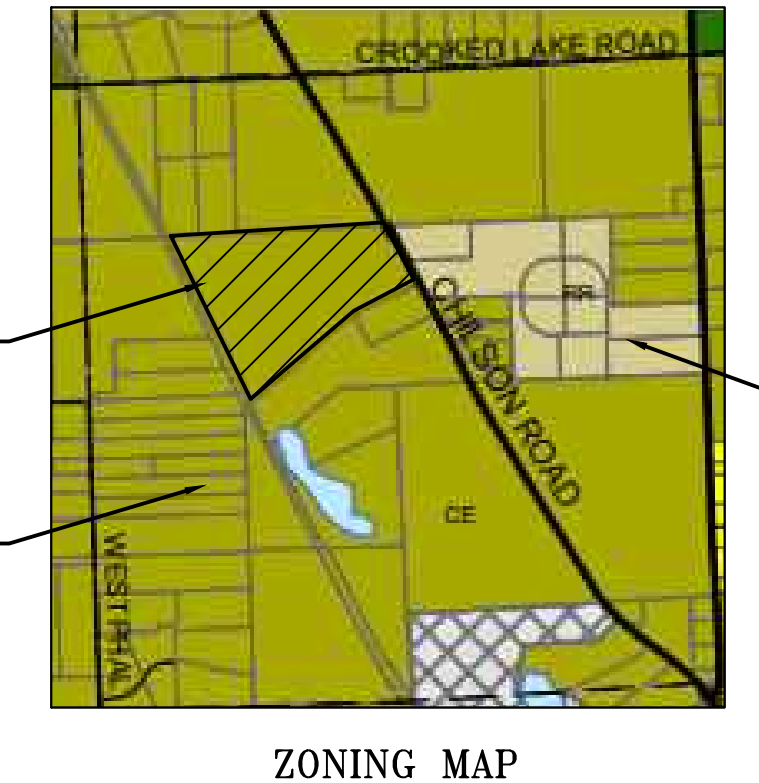
NATURAL FEATURES PLAN

DATE	REVISION	PER	BY
03/25/21		JH	JH
02/16/21		JH	JH
01/20/21		JH	JH

DESIGNED BY: JH
 DRAWN BY: JH
 CHECKED BY:
 SCALE: 1" = 100'
 JOB NO: 20-477
 DATE: 12-18-20
 SHEET NO. 2



LEGEND		
PROPOSED (PR)	EXISTING (EX)	
---	---	CONTOUR
---	---	SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RM	RM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
F	F	FENCE
X	X	SILT FENCE
W	W	WETLAND BOUNDARY
L	L	LIMITS OF GRADING/CLEARING
M	M	MANHOLE
I	I	INLET / CATCHBASIN
FL	FL	FLARED END-SECTION
G	G	GATE VALVE
H	H	HYDRANT
U	U	UTILITY POLE
N	N	NOT FIELD VERIFIED TO BE REMOVED
S	S	SANITARY SEWER LABEL
SS	SS	STORM SEWER LABEL
WM	WM	WATER MAIN LABEL
SE	SE	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
C	C	CONCRETE
A	A	ASPHALT
M	M	MODIFIED CURB
S	S	SOIL BOUNDARY



GENERAL SURVEY NOTES:

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Map Unit Symbol	Map Unit Name	Acres in ACI	Percent of ACI
Bk	Boyer-Ortman loamy sands, 0 to 2 percent slopes	3.2	8.9%
Bb	Boyer-Ortman loamy sands, 2 to 8 percent slopes	7.9	21.2%
Bc	Boyer-Ortman loamy sands, 8 to 12 percent slopes	3.1	8.6%
Cc	Carters mud, 0 to 2 percent slopes	1.8	4.9%
Fb	Fair-Boyer complex, 2 to 6 percent slopes	5.0	13.8%
Fr	Fair-Boyer complex, 12 to 18 percent slopes	0.9	2.3%
Gr	Light sandy loam, 0 to 2 percent slopes, generally subsoil	2.3	6.2%
Mk	Waukesha loam, 0 to 2 percent slopes	7.6	19.9%
Mb	Waukesha loam, 2 to 8 percent slopes	3.7	9.9%
Mc	Waukesha loam, 8 to 12 percent slopes	0.7	1.8%
Wk	Waukesha silt loam	3.2	8.8%
Totals for Area of Interest:		37.3	100.0%

PROJECT: CATHOLIC HEALTHCARE INTERNATIONAL
 PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL
 2464 TAYLOR ROAD, SUITE 317
 WILLOWOOD, MO 63090
 314-932-2136
 TITLE: EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET NO. 3

BOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NO	BY	REVISION PER	DATE
3	ST	PER TWP REVIEW	03/25/21
2	ST	PER TWP REVIEW	02/16/21
1	ST	PER TWP REVIEW	01/20/21
NO	BY		

DESIGNED BY: ST
 DRAWN BY: PG
 CHECKED BY:
 SCALE: 1" = 100'
 JOB NO: 20-477
 DATE: 12-18-20
 SHEET NO. 3

Stations of the Cross-painting housing

Back wall of housing measurements to accommodate size of mounted paintings whether in horizontal or vertical orientation



Horizontal orientation Vertical orientation

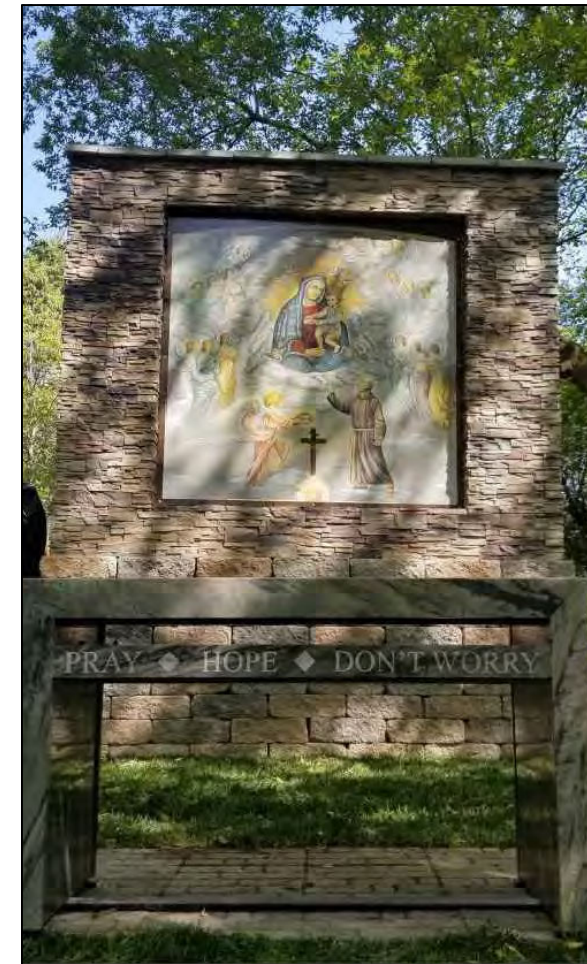
STATIONS OF THE CROSS

(NO SCALE)



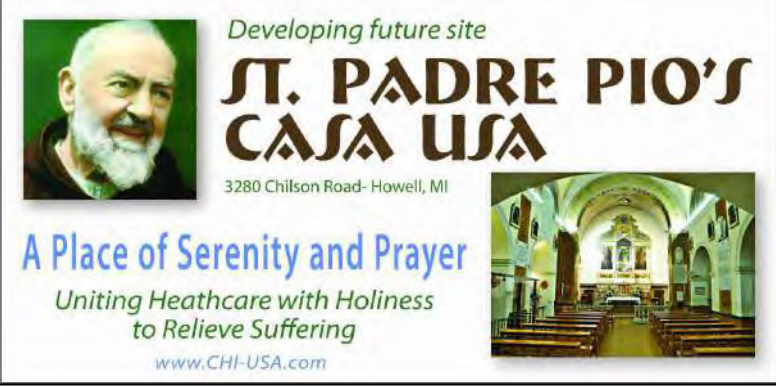
STATUE OF PADRE PIO

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MURAL WALL SIGN

(NO SCALE)



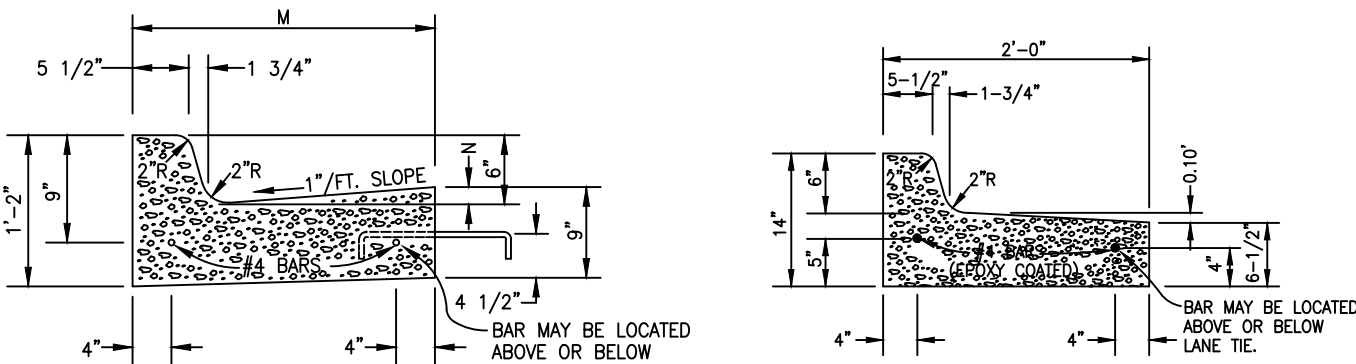
CHILSON ROAD ENTRANCE MONUMENT SIGN

(NO SCALE)

CONCRETE CURB & GUTTER TYPE F

(NO SCALE)

DETAIL	DIMENSIONS	LANE TIES	CONCRETE CUTOFF/LIN.F.T.
F1	1'-8"	7/8" AS SHOWN	0.0484
F2	1'-8"	7/8" OMITTED	0.0484
F3	2'-0"	1 3/8" AS SHOWN	0.0610
F4	2'-0"	1 3/8" OMITTED	0.0610
F5	2'-8"	1 7/8" AS SHOWN	0.0737
F6	2'-8"	1 7/8" OMITTED	0.0737

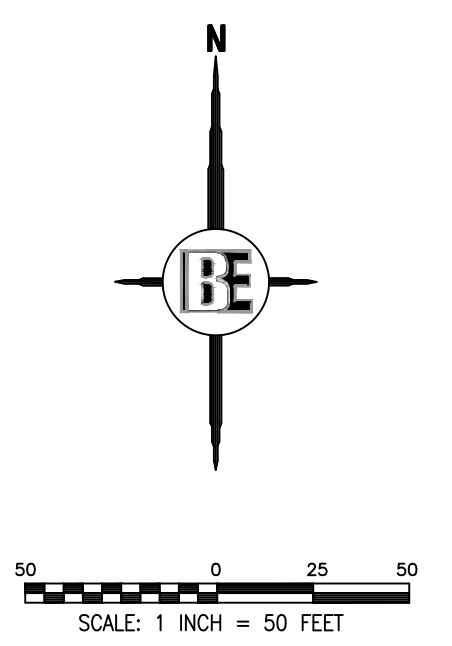


MODIFIED BARRIER (M.D.O.T. TYPE F4) (FOR ISLANDS ONLY)

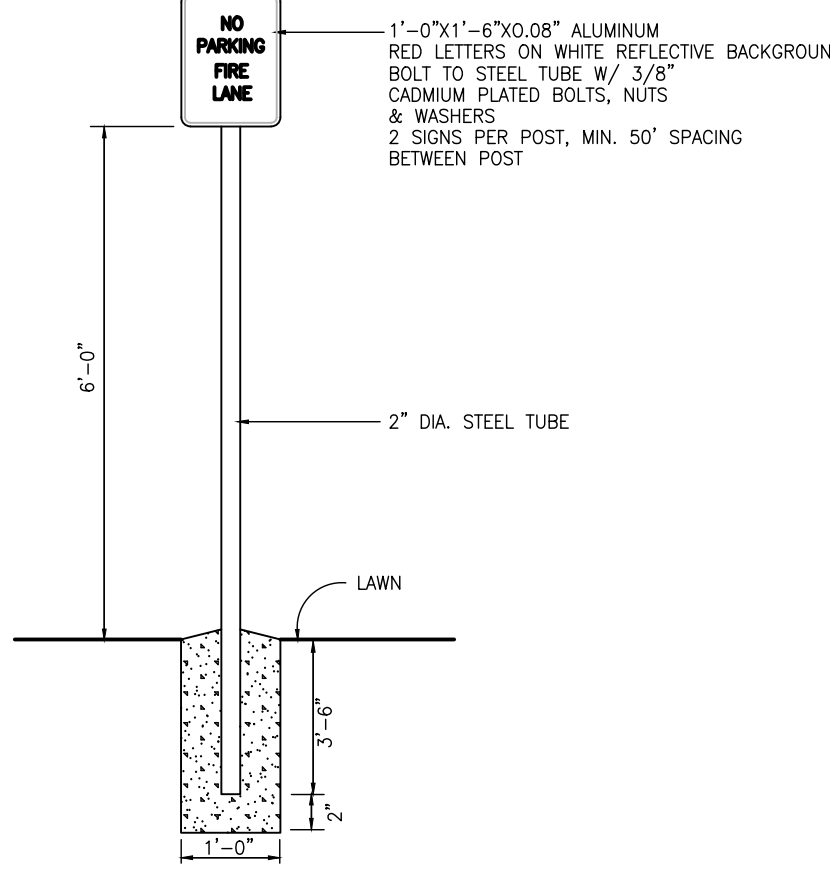
(NO SCALE)

LEGEND

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
---	---	CONTOUR
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RM	RM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OW	OW	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
L	L	LINE
X	X	SILT FENCE
W	W	WETLAND BOUNDARY
...	...	LIMITS OF GRADING/CLEARING
...	...	MANHOLE
...	...	INLET / CATCHBASIN
...	...	FLARED END
...	...	GATE VALVE
...	...	HYDRANT
...	...	UTILITY POLE
...	...	NOT FIELD VERIFIED
...	...	SANITARY SEWER LABEL
...	...	STORM SEWER LABEL
...	...	WATER MAIN LABEL
...	...	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
...	...	CONCRETE
...	...	ASPHALT
...	...	MODIFIED CURB
...	...	WELL ISOLATION

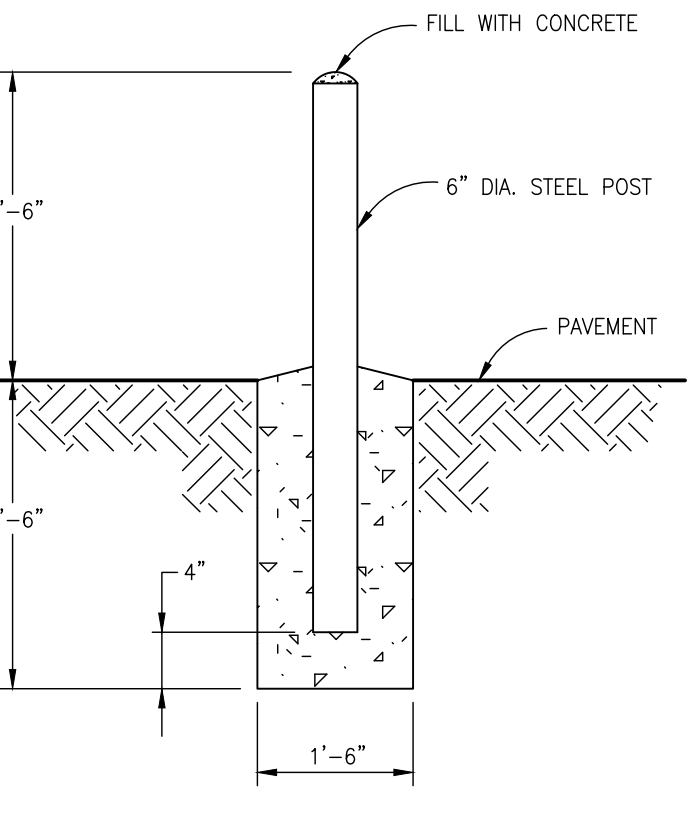


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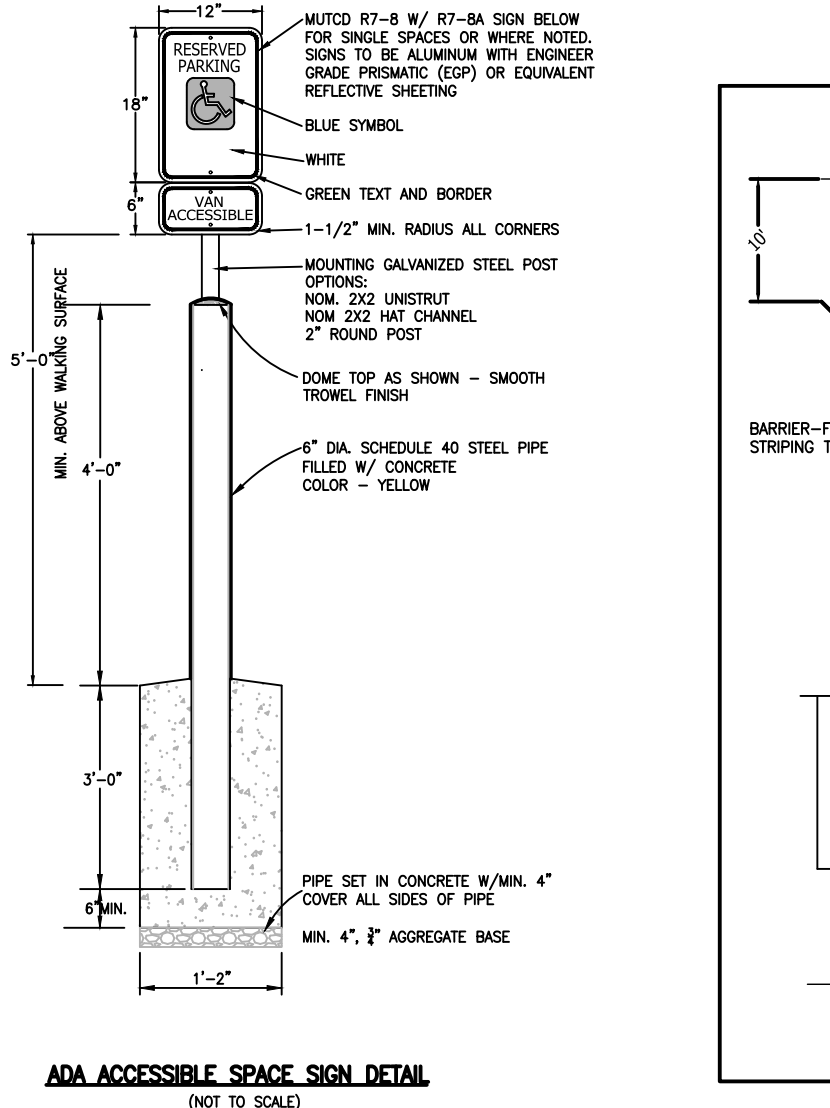
NO PARKING SIGN DETAIL

(NO SCALE)



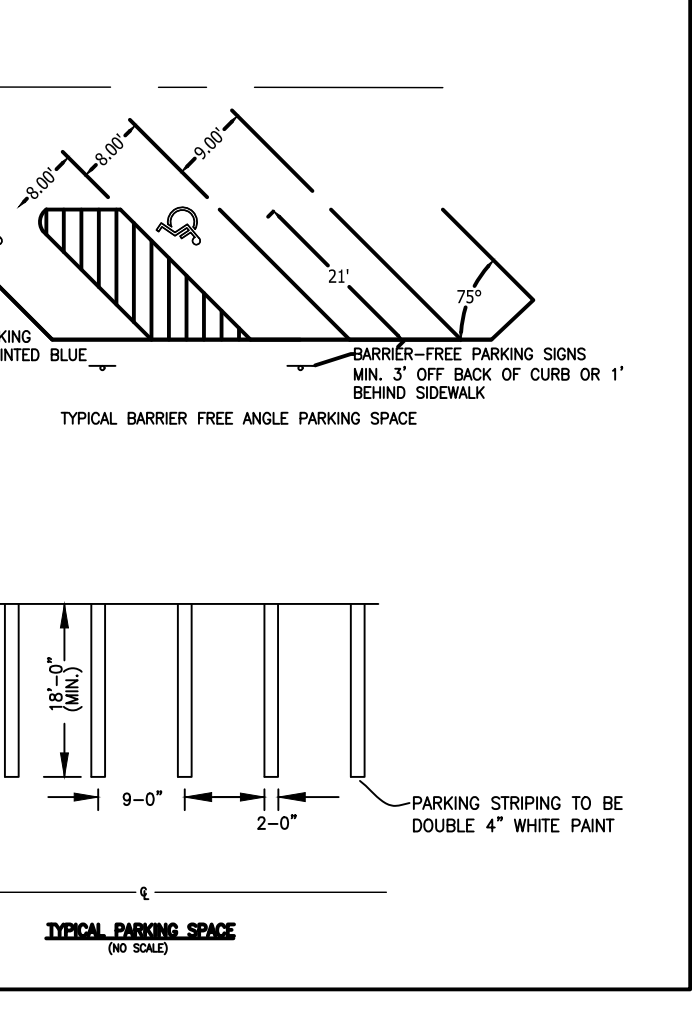
BOLLARD DETAIL

(NO SCALE)



ADA ACCESSIBLE SPACE SIGN DETAIL

(NOT TO SCALE)

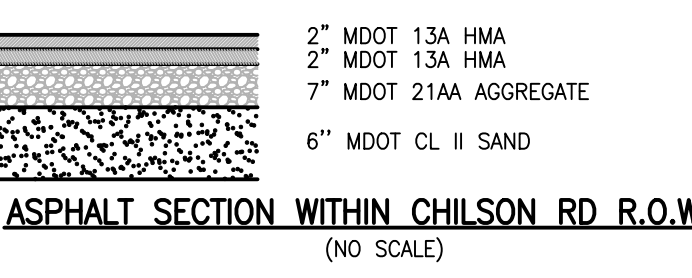


TYPICAL PARKING SPACE

(NO SCALE)

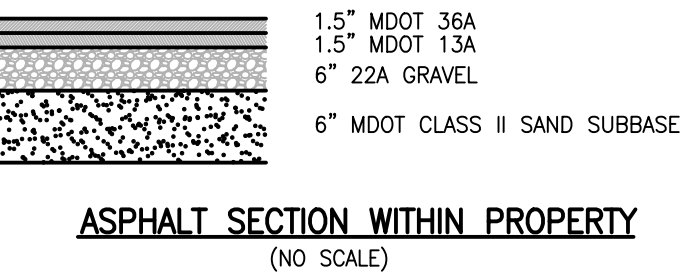


- NOTE:**
- ANY FUTURE ADDITIONS OR CHANGES IN USE OF THE SITE MAY REQUIRE TRAFFIC IMPROVEMENTS TO THE APPROACH AND/OR CHILSON ROAD TO ACCOMMODATE THE INCREASE IN TRAFFIC.
 - THE ASPHALT ACCESS ROADS ARE PER TOWNSHIP STANDARDS AND CAPABLE OF SUPPORTING A FIRE APPARATUS LOAD OF AT LEAST 84,000 POUNDS.
 - WELL AND SEPTIC TO BE APPROVED BY THE LIVINGSTON COUNTY HEALTH DEPARTMENT.
 - THE STATIONS OF THE CROSS TRAIL IS TO MEANDER THROUGH THE TREES. ALONG THE TRAIL WILL BE 14 STATIONS OF THE CROSS SIGNS WHICH CONSIST OF A POST AND HOUSING FOR A PICTURE OF THE STATION OF THE CROSS. A SAMPLE PICTURE OF THIS HOUSING IS INCLUDED IN THESE PLANS.
 - AN ALTERNATE PAVEMENT SURFACE TO THE ASPHALT AT THE DROP OFF LANE AND DRIVE ALONG THE DROP OFF LANE IN FRONT OF THE CHAPEL TO BE A COBBLESTONE PRODUCT OR SIMILAR. SAMPLES ARE UNILOCKS TRIBECCA COBBLE, COURSTONE, OR COPHTHORNE PRODUCTS OR SIMILAR. THE PURPOSE IS TO ACHIEVE A MORE ARCHITECTURAL LOOK CONSISTENT WITH THE CHAPEL ARCHITECTURE. SHOULD THE ALTERNATE DRIVING SURFACE MATERIAL BE SELECTED, THE IMPERVIOUS SURFACE WILL NOT BE INCREASED AND THE SURFACE WILL BE DESIGNED TO SUPPORT THE NECESSARY FIRE TRUCK LOAD.



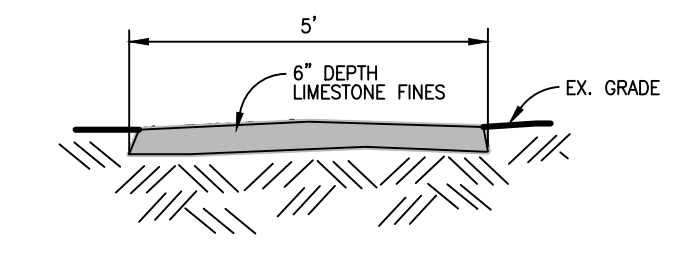
ASPHALT SECTION WITHIN CHILSON RD R.O.W

(NO SCALE)



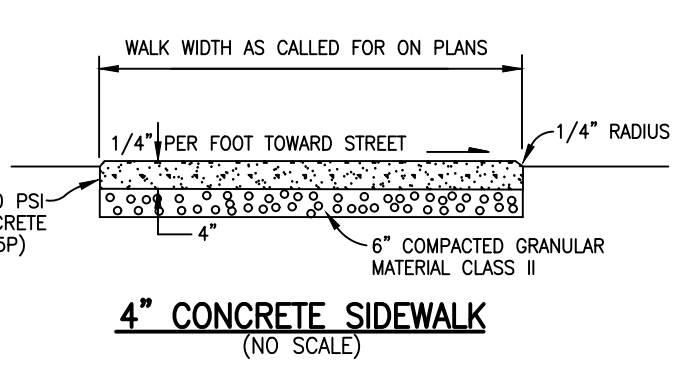
ASPHALT SECTION WITHIN PROPERTY

(NO SCALE)



TYPICAL WALKING TRAIL CROSS-SECTION

(NO SCALE)



4 inch CONCRETE SIDEWALK

(NO SCALE)

Brighton Area Fire Authority

Overall Length	49.083ft
Overall Width	6.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Truck Width	6.167ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	45.00°

PARKING SPACES REQUIRED:
 1 SPACE PER 3 SEATS
 95 SEATS / 3 = 31.6 = 32 SPACES

39 PARKING SPACES PROVIDED

CURRENT ZONING: CE (COUNTRY ESTATE)
MINIMUM SETBACK REQUIREMENTS:
 FRONT = 75 FEET
 SIDES = 40 FEET
 REAR = 60 FEET
 ORDINARY HIGH WATER MARK = 50 FEET
 MINIMUM LOT AREA = 5 AC ±
 MINIMUM LOT WIDTH = 220 FEET
 MAXIMUM LOT COVERAGE = NA
 MAXIMUM BUILDING HT. = 35 FEET OR (2) STORIES

CATHOLIC HEALTHCARE INTERNATIONAL

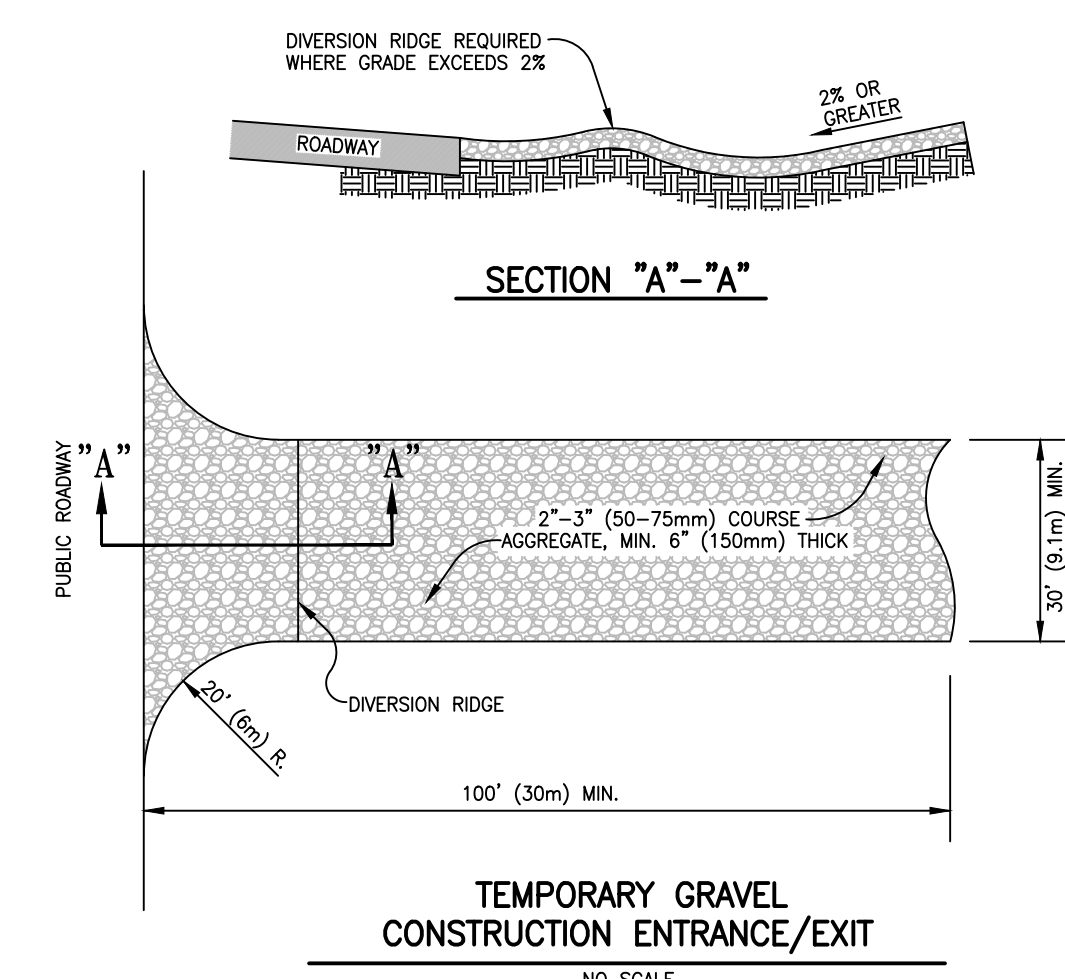
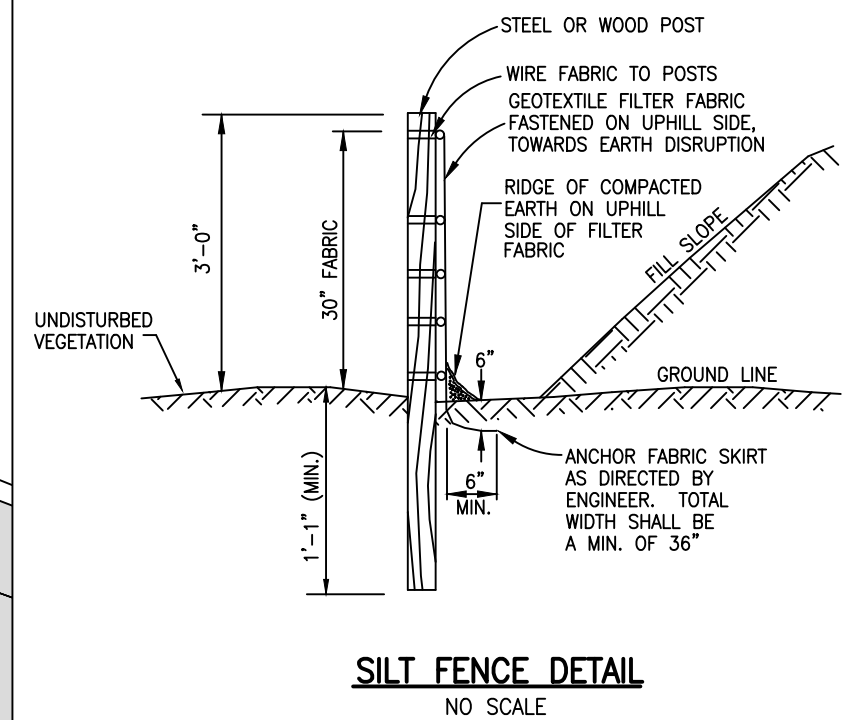
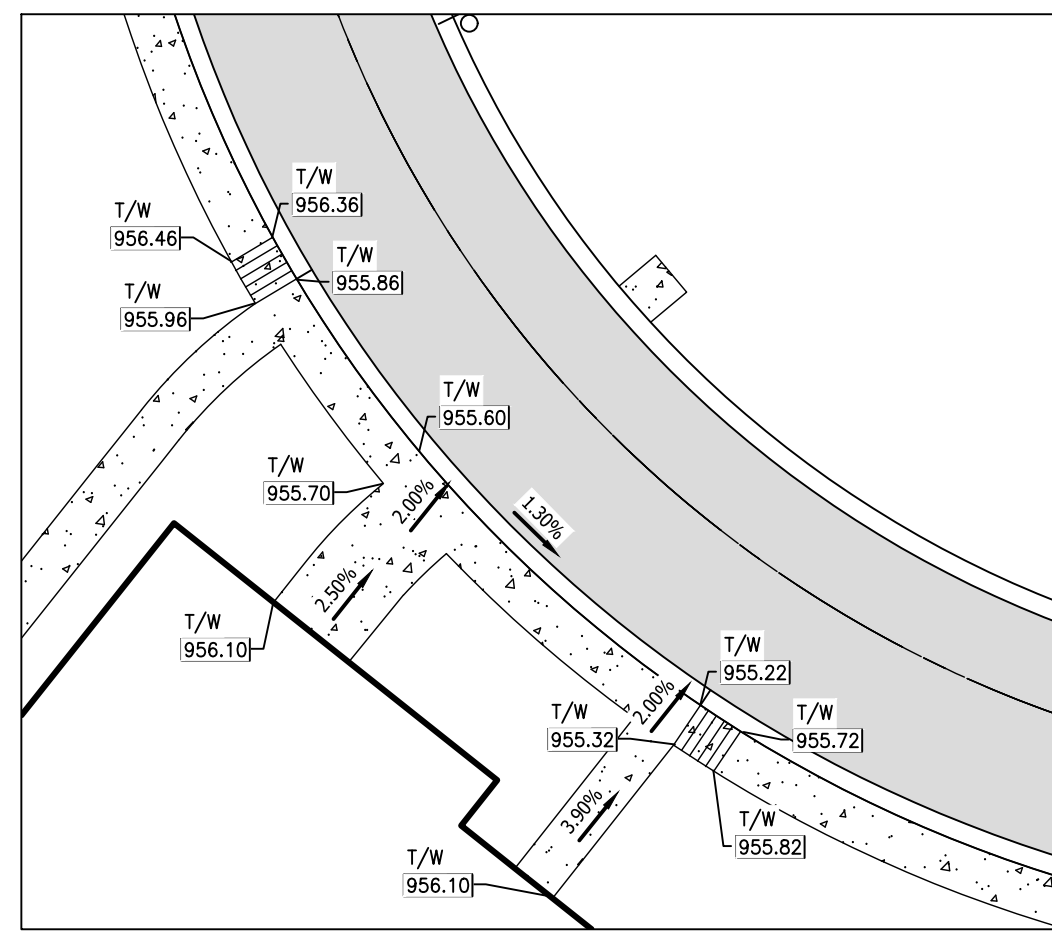
2464 TAYLOR ROAD, SUITE 317
 WILLOWOOD, MO 63090
 314-922-2136

CATHOLIC HEALTHCARE INTERNATIONAL

SITE PLAN

NO.	DATE	REVISION PER	BY
1	03/25/21		ST
2	02/16/21		PG
3	01/20/21		ST
4	01/20/21		ST

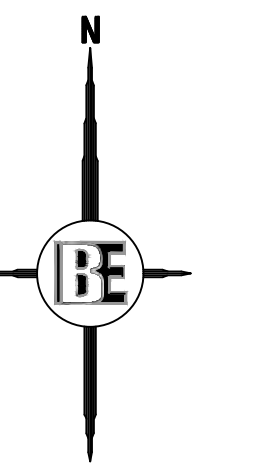
DESIGNED BY: ST
 DRAWN BY: PG
 CHECKED BY:
 SCALE: 1" = 50'
 JOB NO: 20-477
 DATE: 12-18-20
 SHEET NO. **4**



SOIL EROSION CONTROL MEASURES

1	STRIPPIING & STOCKPILING (SPSA)	DISPIL MAY BE STOCKPILED ABOVE BARRON AREAS TO ACT AS A DIVERSION. STOCKPILE SHOULD BE TEMPORARILY SITED.
6	SEEDING WITH MULCH AND/OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EFFICIENT FOR BARRONING AREAS WITH LOW VELOCITY. EARLY PRACTICE IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL. SHOULD INCLUDE OVERSEEDING (200% - 300%).
14	AGGREGATE CURB	STABILIZES SOIL SURFACE, HELPS MINIMIZE EROSION. FORMS CONSTRUCTION TRAFFIC IN BARROSE AREAS. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
54	ANCHOR FABRIC SKIRT	USES GEOTEXTILE FABRIC AND POST OR PILES. BEST TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

T= TEMPORARY P= PERMANENT
TOTAL DISTURBED AREA= 4.26 AC.

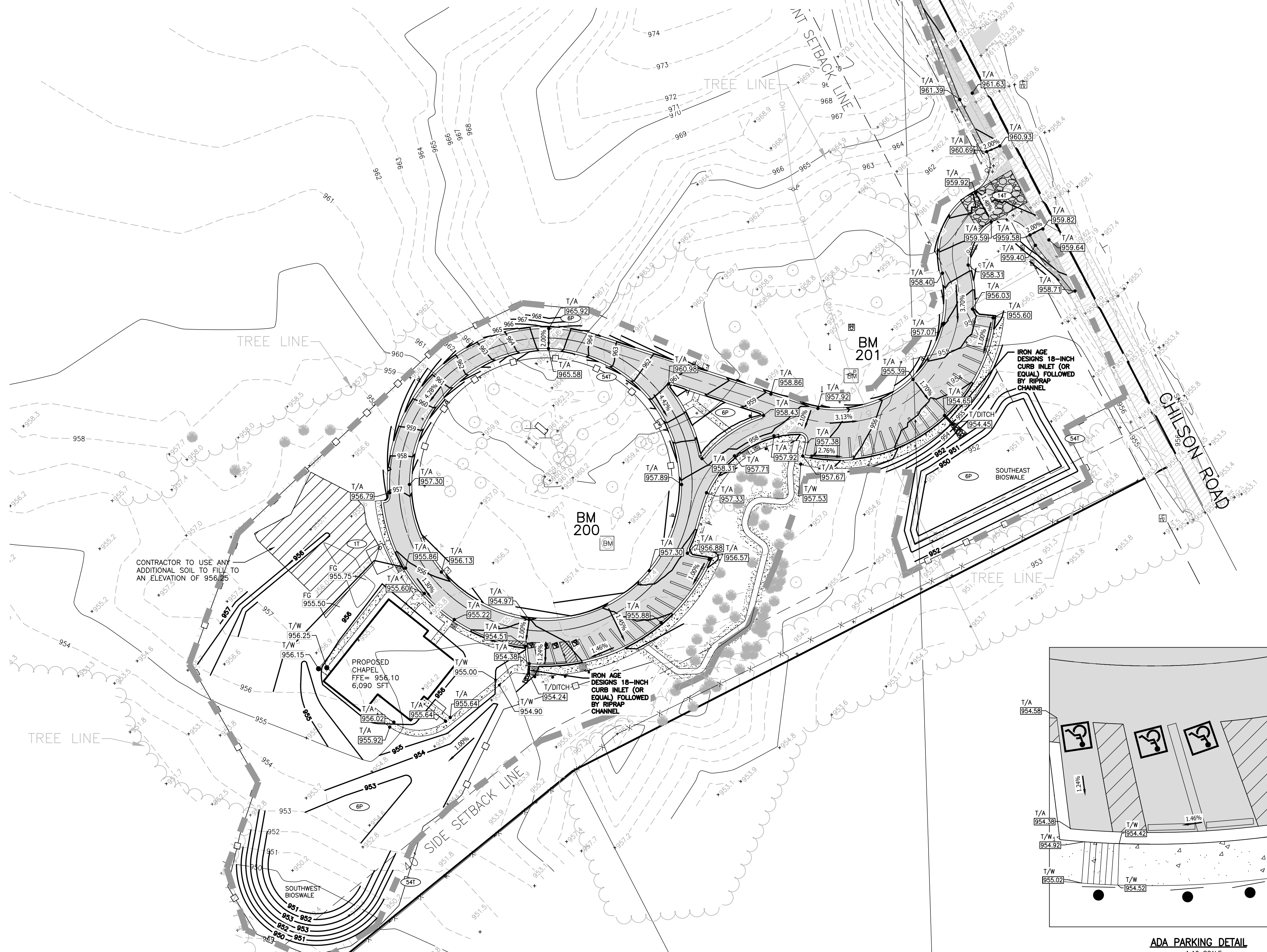


LEGEND

PROPOSED (PR)	EXISTING (EX)	
900	+922.08	CONTOUR
T/C		SPOT ELEVATION
XXXXXX		FINISHED FLOOR ELEVATION
FF		FINISHED GRADE ELEVATION
T/A		TOP OF ASPHALT
T/C		TOP OF CURB / CONCRETE
T/W		TOP OF WALK
F/L		FLOW LINE
T/P		TOP OF PIPE
B/P		BOTTOM OF PIPE
RIM		RIM ELEVATION
INV		INVERT ELEVATION
MH		MANHOLE STRUCTURE
IN		INLET STRUCTURE
CB		CATCHBASIN STRUCTURE
RY		REARYARD STRUCTURE
ES		END-SECTION
OV		GATEVALVE STRUCTURE
HY		HYDRANT
UP		UTILITY POLE
SN		SANITARY SEWER
SL		SANITARY LEAD
FM		FORCE MAIN
PS		PRESSURE SEWER
ST		STORM SEWER
WM		WATER MAIN
WL		WATER LEAD
FO		FIBER OPTIC
OH		OVERHEAD WIRE
C		CABLE
E		ELECTRIC
T		TELEPHONE
F		FENCE
X		NOT FIELD VERIFIED TO BE REMOVED
□		SANITARY SEWER LABEL
○		STORM SEWER LABEL
○		WATER MAIN LABEL
○		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
○		CONCRETE
○		ASPHALT
○		MODIFIED CURB
○		FILL AREA

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONFLICTS BEFORE THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

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PREPARED FOR
CATHOLIC HEALTHCARE INTERNATIONAL
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WILMWOOD, MO 63940
314-922-2136

GRADING & SOIL EROSION CONTROL PLAN

NO	DATE	REVISION	PER	BY
3	03/25/21	PER TWP REVIEW	ST	ST
2	02/16/21	PER TWP REVIEW	PG	PG
1	01/20/21	PER TWP REVIEW	ST	ST
NO	NO	BY		

DESIGNED BY: ST
DRAWN BY: PG
CHECKED BY:
SCALE: 1" = 50'
JOB NO: 20-477
DATE: 12-18-20
SHEET NO. **5**

GENERAL LANDSCAPE SPECIFICATIONS:

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEOUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN. DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 6-FT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
- LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1 1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
- ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
- EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS, ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAD WITHIN 36-HOURS AFTER CUTTING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.

- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.

SEE MIXTURE SHALL BE AS FOLLOWS:
 KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, GLADE, OR PARADE) 30%
 RUBY RED OR DAWSON RED FINE FESCUE 30%
 ATLANTA RED FESCUE 20%
 PENNINE PERENNIAL RYE 20%

THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:

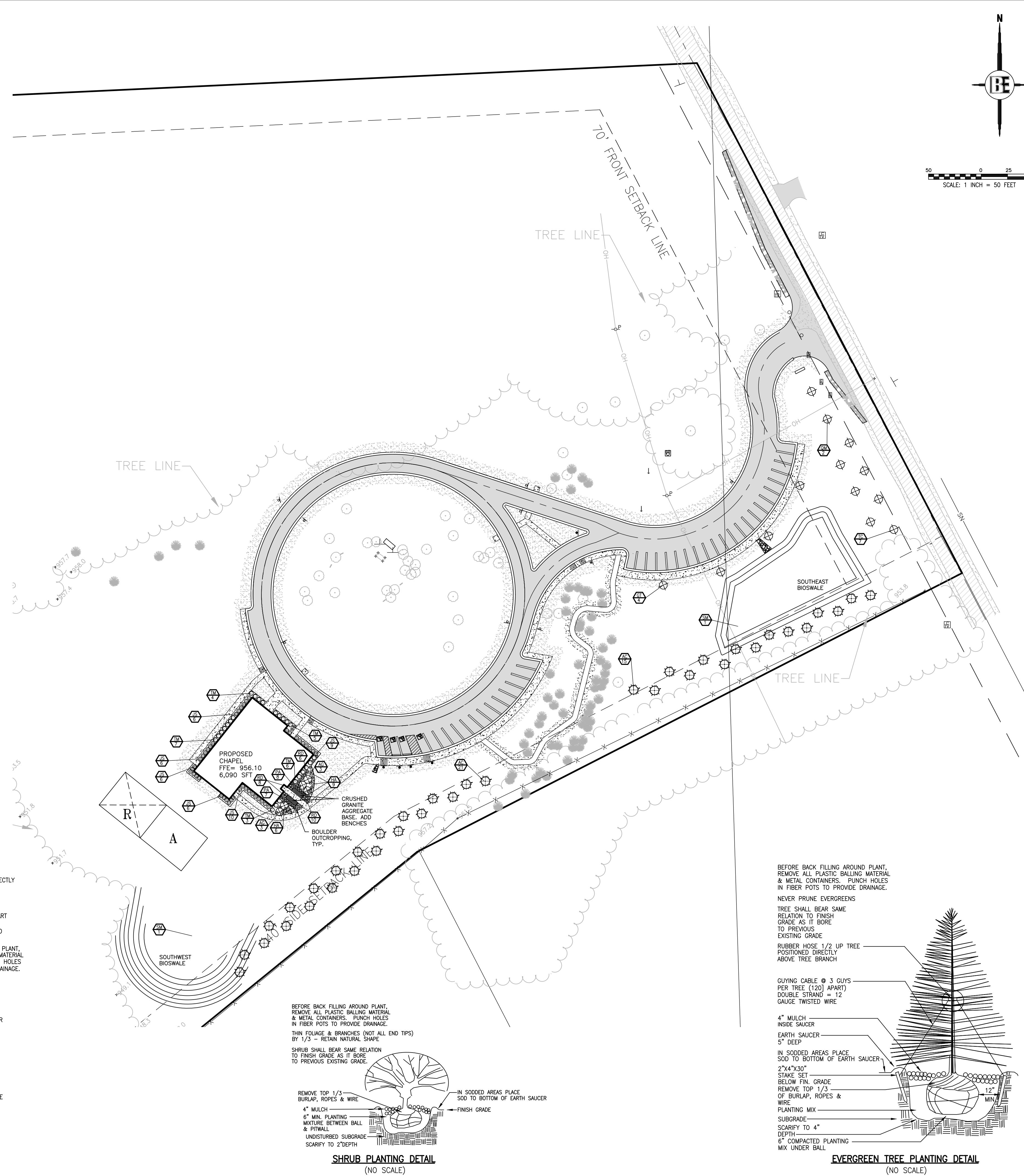
- 10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE
- 0% PHOSPHATE
- 10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE

THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RE-SEEDING AND SUCH RE-SEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRAGILE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.



LEGEND

PROPOSED (PR)	EXISTING (EX)	
900 T/C	900.08	CONTOUR
XXX.XX		SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FS	FS	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/W	T/W	TOP OF CURB / CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
B/P	B/P	TOP OF PIPE
RM	RM	BOTTOM OF PIPE
INV	INV	RIM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHBASIN STRUCTURE
ES	ES	REAR YARD STRUCTURE
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HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SANITARY SEWER
FM	FM	SANITARY LEAD
PS	PS	FORCE MAN
ST	ST	PRESSURE SEWER
WM	WM	STORM SEWER
WL	WL	WATER MAIN
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
T	T	TELEPHONE
X	X	FENCE
S	S	SILT FENCE
W	W	WETLAND BOUNDARY
○	○	LIMITS OF GRADING/CLEARING
○	○	MANHOLE
○	○	INLET / CATCHBASIN
○	○	FLARED END-SECTION
○	○	GATE VALVE
○	○	HYDRANT
○	○	UTILITY POLE
○	○	SN
○	○	NOT FIELD VERIFIED
○	○	TO BE REMOVED
○	○	SANITARY SEWER LABEL
○	○	STORM SEWER LABEL
○	○	WATER MAIN LABEL
○	○	SOIL EROSION CONTROL MEASURE
○	○	(P=PERMANENT, T=TEMPORARY)
○	○	CONCRETE
○	○	ASPHALT
○	○	MODIFIED CURB

LANDSCAPE LEGEND

EXISTING DECIDUOUS TREE	PROPOSED DECIDUOUS TREE
EXISTING EVERGREEN TREE	PROPOSED ORNAMENTAL TREE
PROPOSED CONIFER TREE	PROPOSED DECIDUOUS SHRUB
PROPOSED CONIFER SHRUB	PROPOSED ORNAMENTAL GRASS
PROPOSED PERENNIAL FORB	PROPOSED TREE PROTECTION
PROPOSED LANDSCAPE BOULDER	

LANDSCAPE REQUIREMENTS:

GREENBELT REQUIREMENTS ALONG CHILSON ROAD:
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (14) CANOPY TREES ARE REQUIRED ALONG CHILSON ROAD. THE FRONT YARD GREENBELT, AS THERE IS EXISTING VEGETATION IN THIS LOCATION, GAPS DO EXIST. THIS PLAN PROPOSES THE INSTALLATION OF (9) NEW CANOPY TREES TO FILL THE GAPS WHILE MAINTAINING THE EXISTING TREES FOR SCREENING PURPOSES.

PARKING LOT SCREENING:
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (4) CANOPY TREES AND 380 SF OF LANDSCAPED AREA IS TO BE INTRODUCED FOR THE PARK LOTS. THIS PLAN INCLUDES (4) CANOPY TREES AT THE PERIMETER OF THE EASTERN PARKING LOT, AND (51) SF OF LANDSCAPED AREA AT THE WEST END OF WESTERN PARKING LOT.

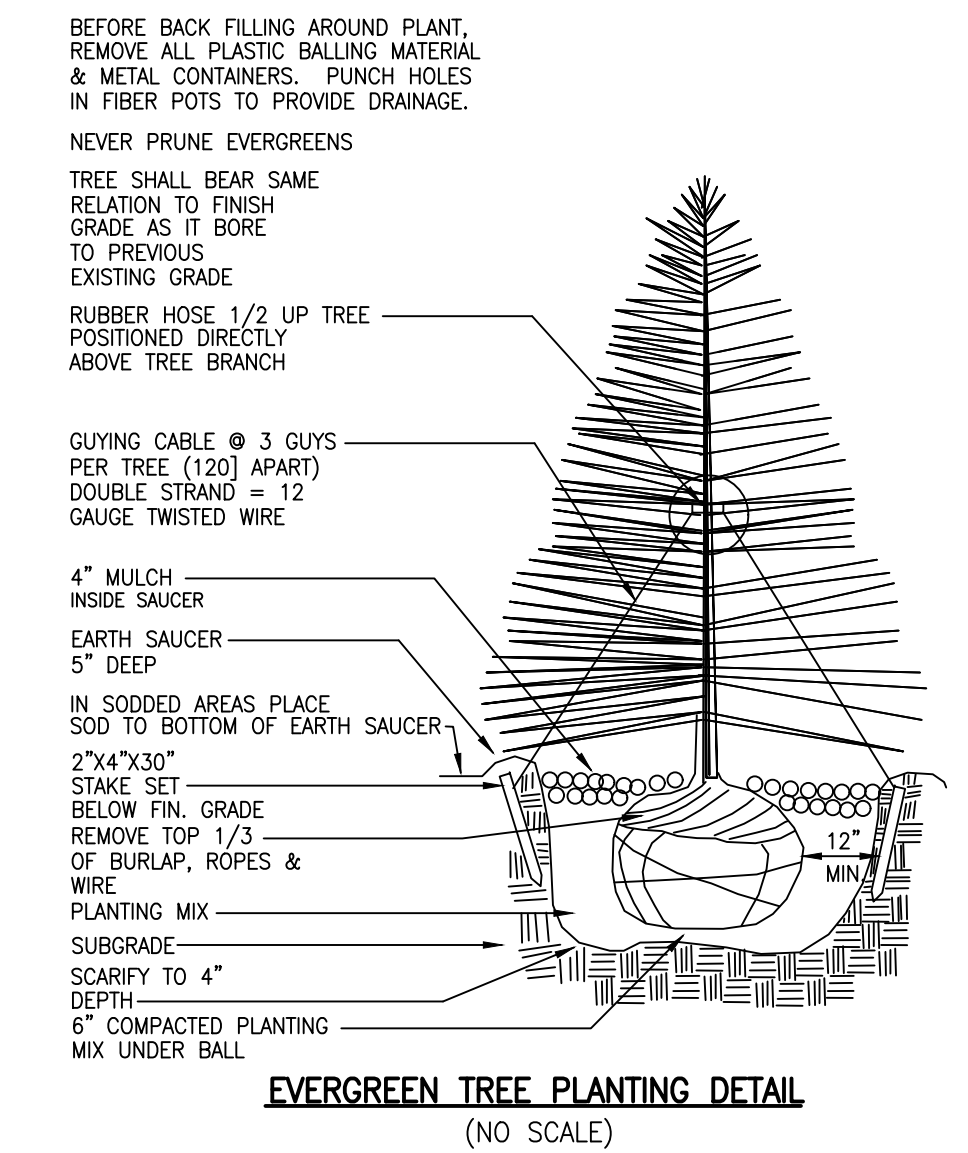
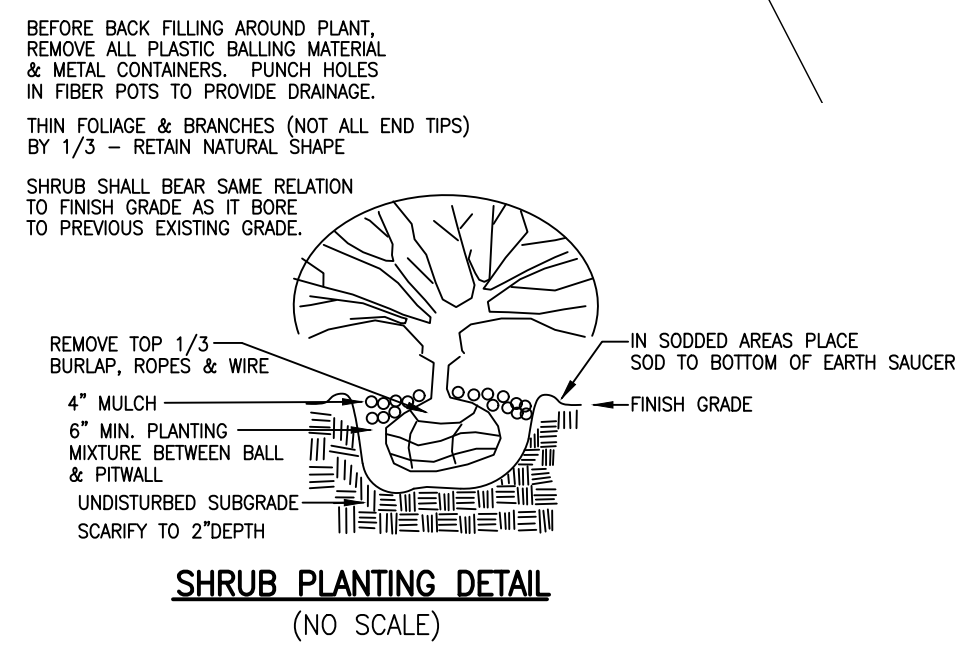
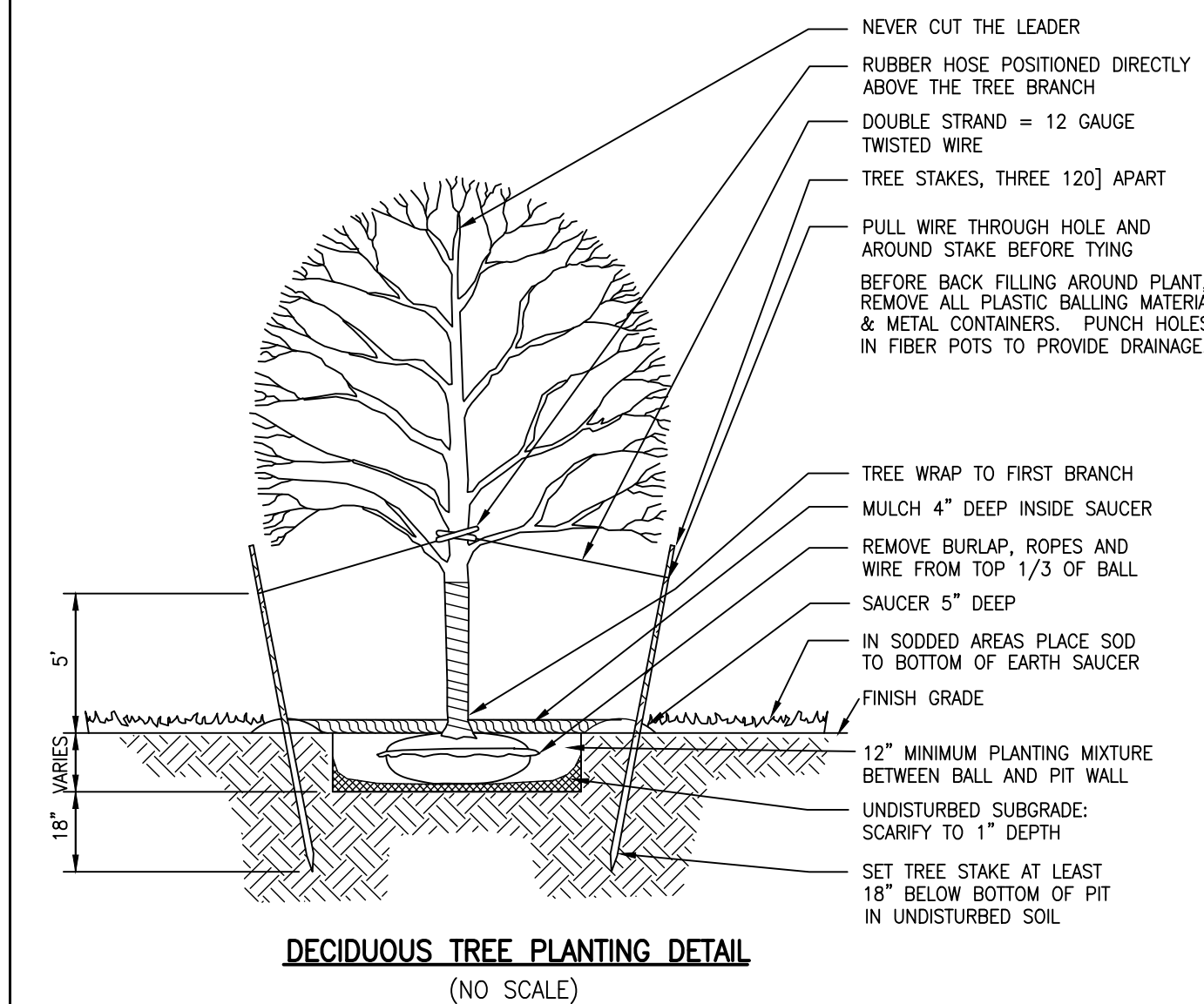
BIOSWALE PLANTING PLAN
 THE BIOSWALE BASIN SHALL BE SEED. CONTRACTOR TO ADHERE TO THE "CARDINO NATIVE PLANT NURSERY INSTALLATION AND MAINTENANCE GUIDELINES" FOR PURPOSES OF INSTALING AND MAINTAINING THE PLANTING AREA.

RETENTION BASIN SEED MIXES

KEY	QUAN.	MIX NAME	SIZE
SM	14,000 SF COVERAGE	STORMWATER MIX	SEED

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
AC	36	<i>Abies concolor</i>	White Fir	8' HT	B&B
AG	6	<i>Amelanchier x grandiflora</i>	'Autumn Brilliance' Serviceberry 1.5"	col.	B&B, MULTI
GT	4	<i>Gleditsia inaequalis</i>	'Spectra' Honey Locust	2.5"	col. B&B
QM	2	<i>Quercus macrocarpa</i>	Bur Oak	2.5"	col. B&B
TC	7	<i>Tilia cordata</i>	'Glenleven' Littleleaf Linden	2.5"	col. B&B
SHRUBS					
HA	15	<i>Hydrangea arborescens</i>	'Annabelle' Hydrangea	#3 cont.	
JS	43	<i>Juniperus scopulorum</i>	'Strycknet' Juniper	#5 cont.	
RD	24	Rosa 'Double Knockout'	'Double Knockout' Rose	#3 cont.	
TM	25	<i>Taxus x media</i>	'Moon' Upright Yew	16"	B&B
PERENNIALS					
PA	15	<i>Pennisetum alopecuroides</i>	Fountain Grass	#3 cont.	



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 PREPARED FOR
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LANDSCAPE PLAN

DATE	REVISION PER
03/25/21	
02/16/21	
01/20/21	

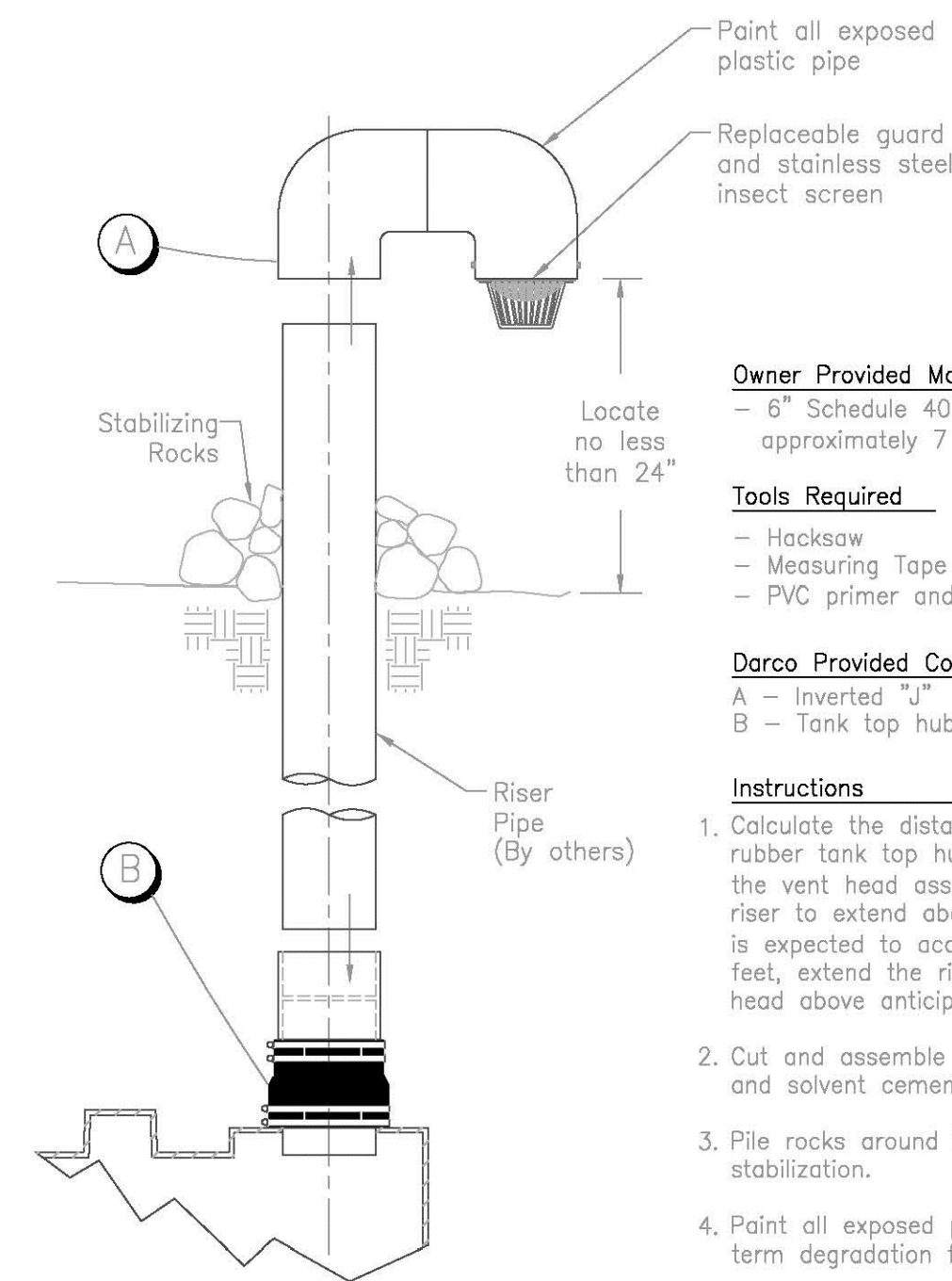
DESIGNED BY: JH
 DRAWN BY: JH
 CHECKED BY:
 SCALE: 1" = 50'
 JOB NO: 20-477
 DATE: 12-18-20
 SHEET NO. 7

Installation Instructions

FreeWater Systems, LLC 303-921-1186 Lakewood CO

Vent Pipe, 6"

Polyethylene Tank



Owner Provided Materials

- 6" Schedule 40 PVC pipe approximately 7 feet long

Tools Required

- Hacksaw
- Measuring Tape
- PVC primer and cement

Darco Provided Components

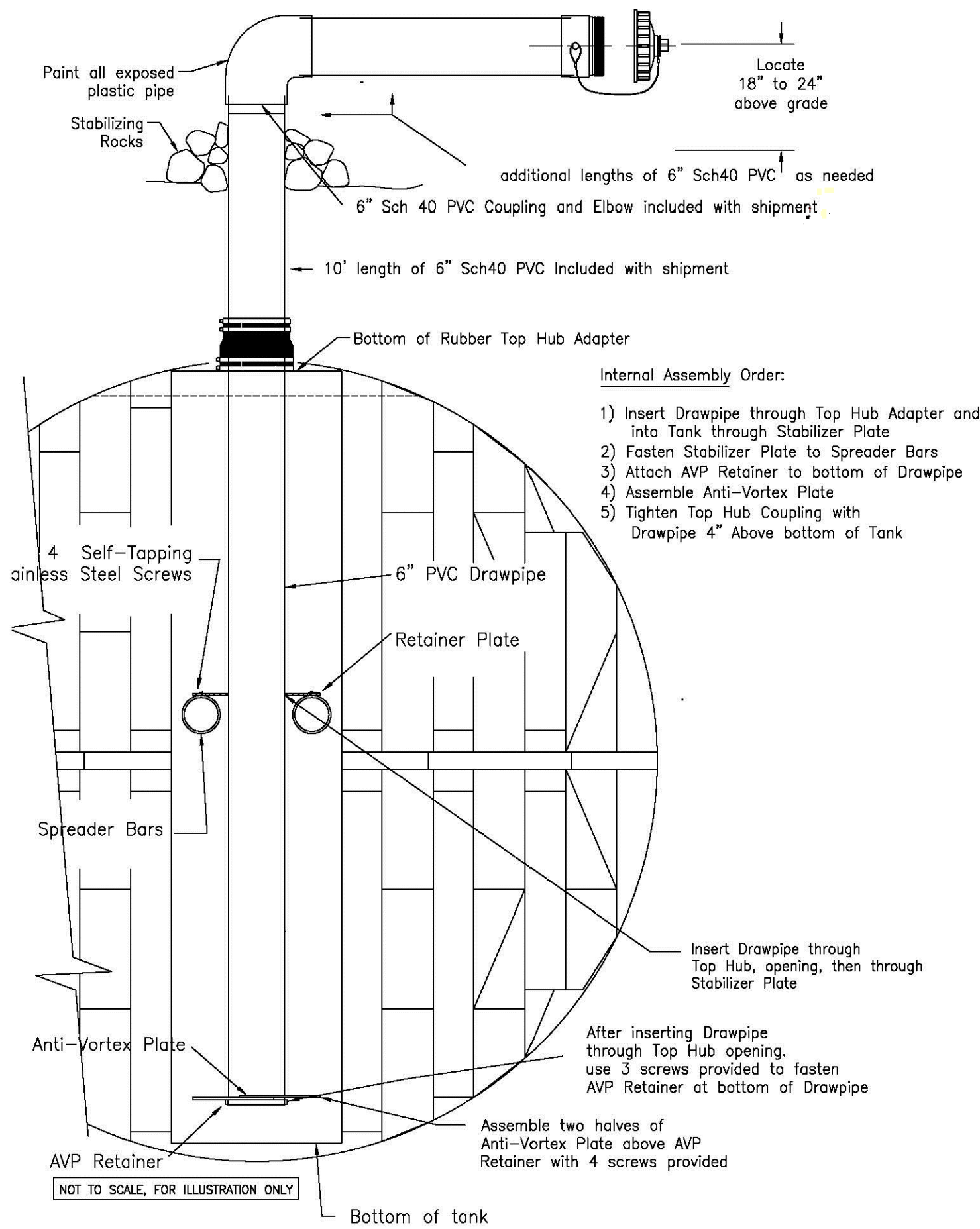
- A - Inverted "J" vent head assembly
- B - Tank top hub adapter

Instructions

1. Calculate the distance from the bottom of the rubber tank top hub adapter, to the bottom of the vent head assembly, allowing (2) feet of riser to extend above grade as shown. If snow is expected to accumulate deeper than (2) feet, extend the riser pipe to keep the vent head above anticipated snow levels.
2. Cut and assemble the riser using PVC primer and solvent cement.
3. Pile rocks around the base of the riser for stabilization.
4. Paint all exposed plastic parts to avoid long term degradation from sunlight.

Installation Instructions
Dry Fire Hydrant Draw Pipe

FreeWater Systems, LLC 303-921-1186 Lakewood CO



Internal Assembly Order:

- 1) Insert Drawpipe through Top Hub Adapter and into Tank through Stabilizer Plate
- 2) Fasten Stabilizer Plate to Spreader Bars
- 3) Attach AVP Retainer to bottom of Drawpipe
- 4) Assemble Anti-Vortex Plate
- 5) Tighten Top Hub Coupling with Drawpipe 4" Above bottom of Tank

- After inserting Drawpipe through Top Hub opening, use 3 screws provided to fasten AVP Retainer at bottom of Drawpipe
- Assemble two halves of Anti-Vortex Plate above AVP Retainer with 4 screws provided

TO Mike O'Leary PHONE 910-227-5668 FAX MODULES: 6 NOM. CAPACITY 12,000 NOM. WEIGHT 800# POTABLE NON-POTABLE X USE Fire Cistern	FIRM MRM Construction PROJECT SITE LOCATION Brighton MI QUOTE #A0825R DATE 25 Aug 19 COUNTY	EMAIL: mjo@indhou.com PT - PT WiFi-Enabled Water Level Gauge PREPAID PRICE TAX DEPOSIT
INCLUDED IN THIS POLYETHYLENE UNDERGROUND TANK QUOTATION 8 - 6" Sch40 PVC Vent Head - Screened 2 - Bolted Cover - for direct burial 10 - 6" Sch40 PVC Interconnect - top and bottom 27 - 6" NST-M Dry Hydrant w/cap 6" PVC Drawpipe with Anti-Vortex Plate		PREPAID PRICE FREIGHT DETAILS DELIVERY: WEEKS FROM ORDER ACCEPTANCE EXCLUDED IN THIS PRICE QUOTATION 1. INSPECTION, ACCEPTANCE, AND OFFLOAD 2. INSTALLATION MATERIALS AND LABOR 3. UNSPECIFIED PIPE, VALVES, AND FITTINGS 4. PUMPS, CONTROLS, AND LEVEL SENSORS 5. WIRE ROPE, CLAMPS, DEADMAN ANCHOR FORMS 6.
BURY DETAILS: 36" Typical Cover Depth WATER SOURCE ANTI BUOYANCY TBD APPROVALS Local Fire Authority COMMENTS: Preliminary Design		
<p>NOTES:</p> <p>ANCHOR CABLES (IF USED)</p> <p>DEADMAN ANCHORS</p> <p>IMPORTANT: REVIEW FWS STRUCTURAL SPECIFICATIONS AND LIMITED WARRANTY BEFORE APPROVAL. GRAVEL BED AND 100% GRAVEL ENCASULATION REQUIRED / TYPICAL COVER DEPTH FOR OCTANK VESSELS IS 3 FEET / SEE FWS WEB SITE FOR INSTALLATION DETAILS AND APPROVED MATERIALS / FIRE SERVICE DESIGNS MUST HAVE PRIOR FIRE DEPARTMENT APPROVAL / QUOTES ARE HONORED FOR 30 DAYS ONLY</p> <p>DESIGN APPROVED - Signature: _____ Date: _____</p>		
POLYETHYLENE OCTANK - 12K (12,000 Gal.) Rev Date: MRM Construction FreeWater Systems, LLC 303-921-1186 freewatersystems.com 303-921-1186		Rev. No. _____ 2464 TAYLOR ROAD, SUITE 317 WILLOWOOD, MO 63090 314-922-2136

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE START OF CONSTRUCTION.

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: CATHOLIC HEALTHCARE INTERNATIONAL
PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILLOWOOD, MO 63090
314-922-2136
TITLE: FIRE CISTERN DETAILS

NO	BY	DATE	REVISION PER
3	ST	03/25/21	PER TWP REVIEW
2	ST	02/16/21	PER TWP REVIEW
1	ST	01/20/21	PER TWP REVIEW
	NO	BY	DATE

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SCALE:
JOB NO: 20-477
DATE: 12-18-20
SHEET NO. 8

OcTank Installation Brief

For Questions or technical Assistance call: FreeWater systems, LLC 303-921-1186
or go to freewatersystems.com

This is basic unloading and installation information to help with the planning of your underground water storage project. A complete installation manual, tailored to your exact project, will accompany your project when it is shipped.

Delivery:

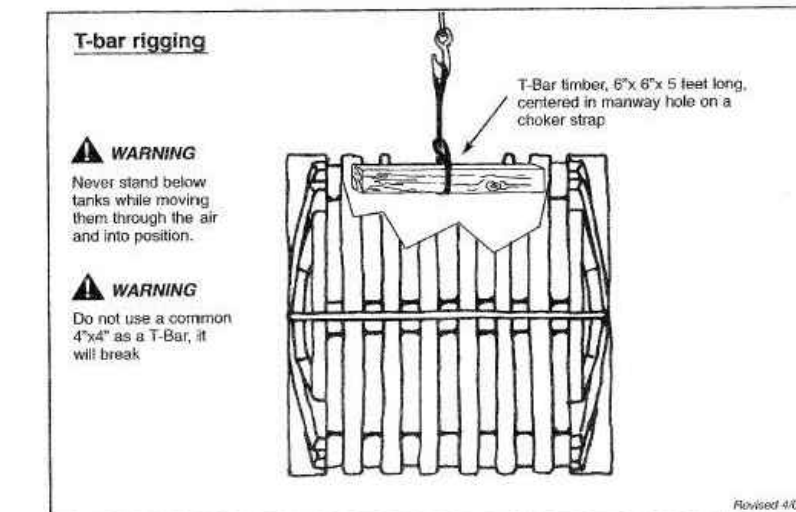
Deliveries to remote areas or in areas with little room for trucks to maneuver may be problematic. Check with your salesperson prior to ordering shipment.

Responsible party must inspect entire shipment before or during offload.

Modules to be stored for any length of time prior to installation must be blocked to prevent wind from moving them.

Placing OcTank Modules into the excavation:

Rig through manway opening with a 6 X 6 as illustrated below:



Standard Stable Site Soil Requirements:

- Soil Bearing capacity must be 2500 pounds/square foot minimum
- Soil cohesion or backslope angle must be adequate to hold sidewall during installation
- Follow OSHA 1926.650/P guidelines for trenching and excavation
- If site is subject to seasonal or unpredictable groundwater, it must be anchored or sub-drained.

Bedding and backfill material requirements:

- Backfill medium must totally surround and cover every module completely.
- Use only clean, dry washed and graded material - pea gravel, screened rock chips, coarse washed sand or similar material. Do not use structural fill, road base or crusher fines as backfill material.
- No individual particle may exceed one half inch in size.
- Material must be free of trash, ice, snow and fines.

Hole Size Recommendation:

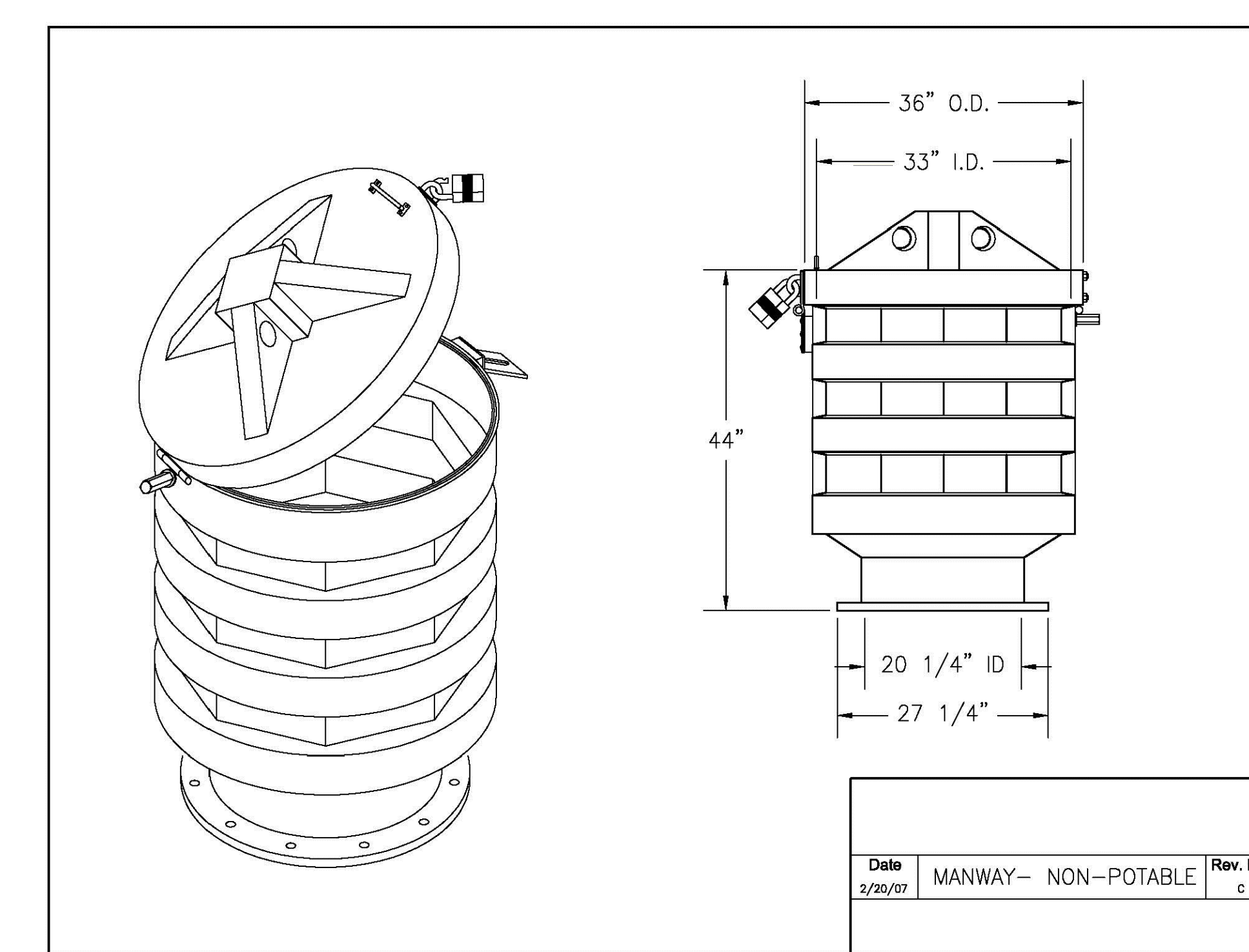
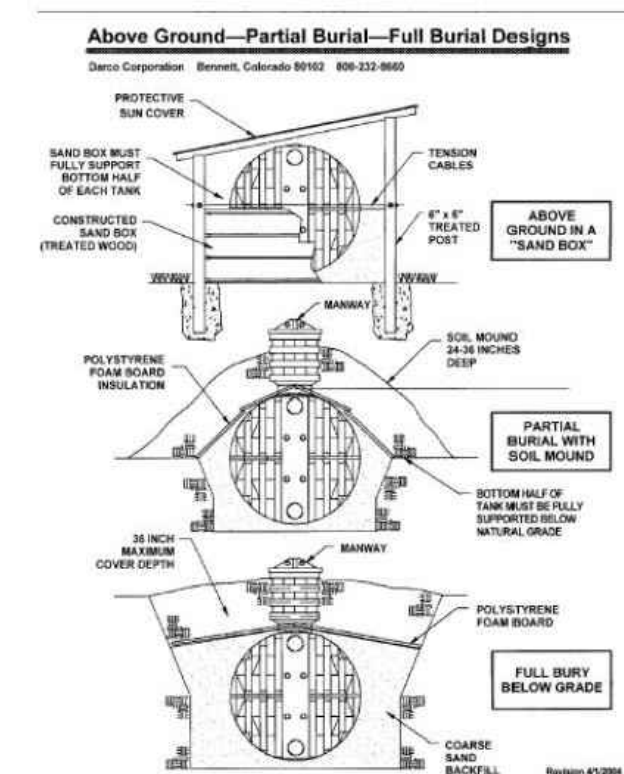
- Allow 18" minimum between rows of modules and between modules and excavation walls.
- Bedding beneath modules must be a minimum of 6" of approved backfill

Backfill Procedure:

- After assembly of modules, backfill in 12" lifts and probe between the ribs to eliminate any air spaces. Two lifts of 12" each will bring the backfill up to the 4 o'clock to 8 o'clock level. Subsequent backfill usually does not need to be probed since it will self-compact.
- Water ballast may be used during backfill process, with water level not to exceed 12".
- Use geotextile barrier to separate backfill material from additional soil cover.

Bury Depth Options:

- Full Bury with typical cover depth of 36" - may be insulated with foam board to provide additional frost protection.
- Partial bury to springline (mid-point) or deeper for proper support. Mound soil cover to provide frost protection.
- Above-ground installation - in constructed "sandbox" for support



D-Series Size 0 LED Area Luminaire

Specifications

EPFL: 0.95 ft²

Length: 26" (660 mm)

Width: 13" (330 mm)

Height: 3" (76 mm)

Height: 7" (178 mm)

Weight: 16 lb (7.3 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high-efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P5 30K T4M MVOLT SVA FLTAIR2 PIRHN DDBX0

Code	Description	Manufacturer	Part Number	Notes
DSX0	DSX0 LED P5 30K T4M MVOLT SVA FLTAIR2 PIRHN DDBX0	BEGA	33 505 + K3	

Pole top luminaires with symmetric light distribution

Typ: BEGA Product
Project: of
Color:
Modify:

Application: The LED luminaire is designed for use on a pole top. This luminaire is designed to provide uniform lighting over a large area. It is ideal for use in parking lots, plazas, and other large open areas.

Material: Luminaire housing constructed of die-cast aluminum, powder coated. Pole top is constructed of 304 stainless steel. Mounting arm is constructed of 6061 aluminum.

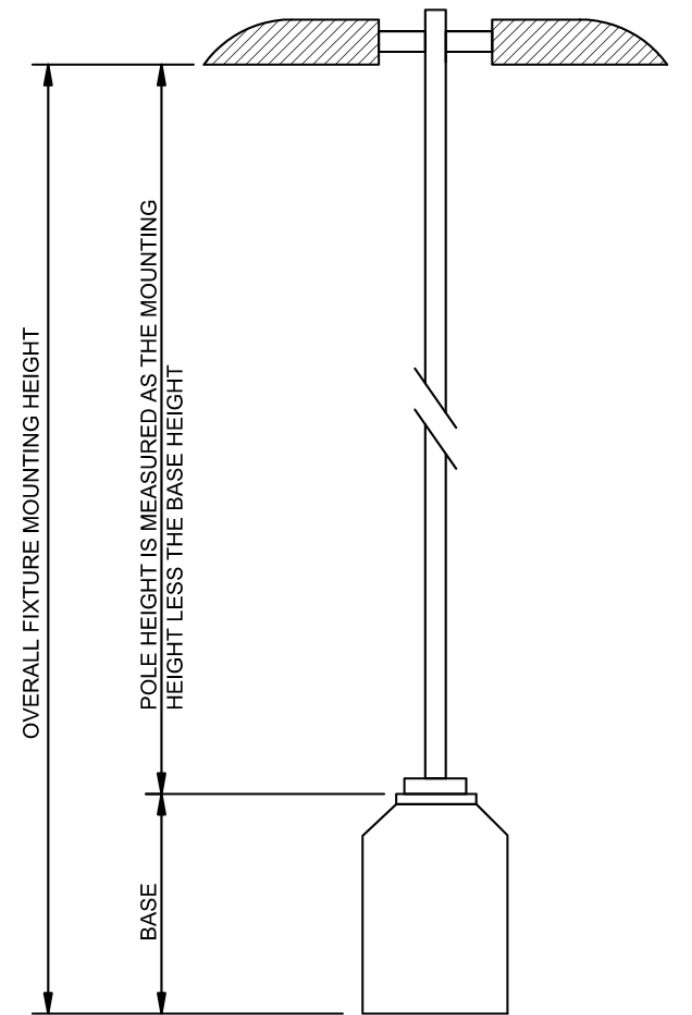
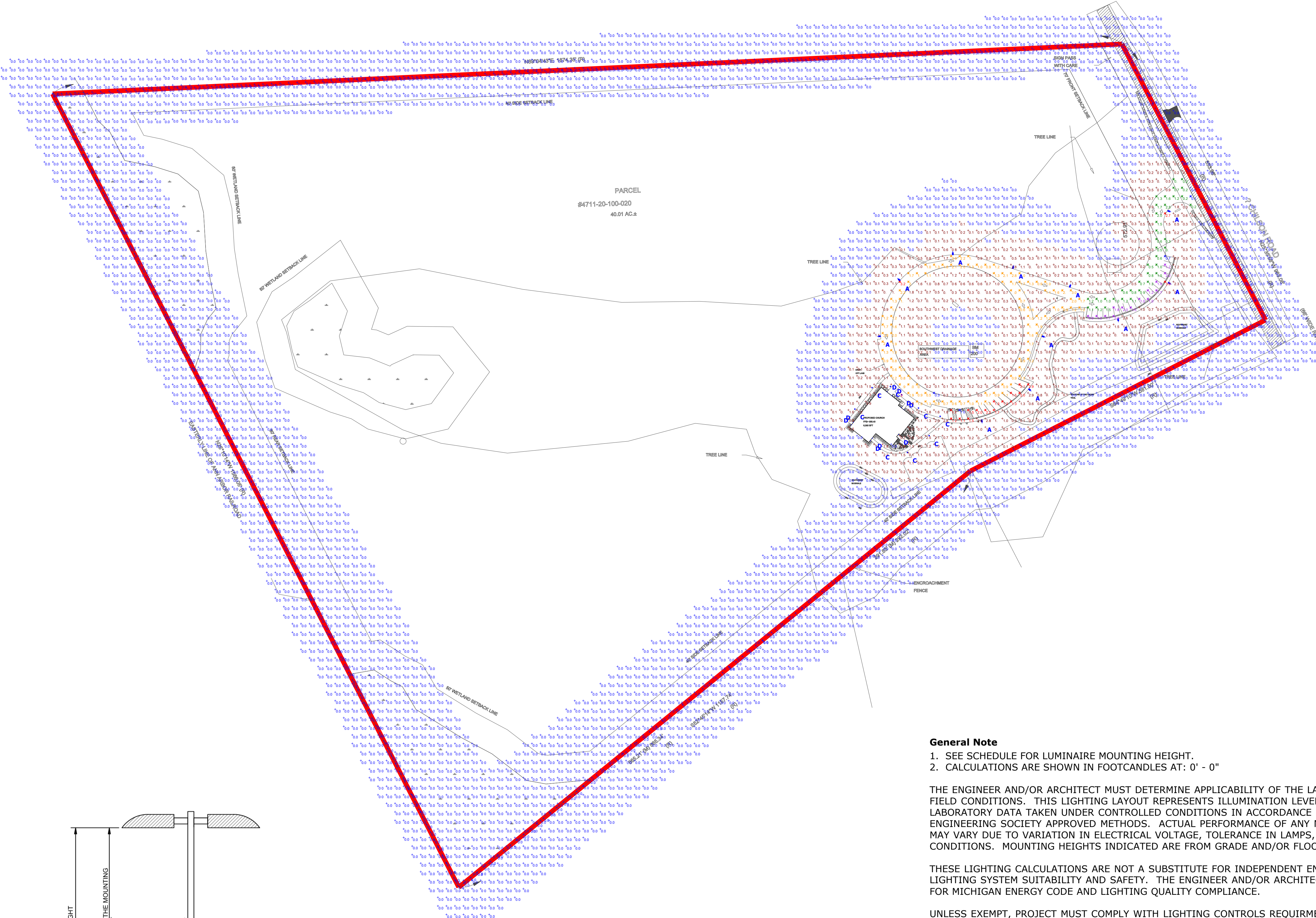
Electrical: Operating voltage: 120-277VAC. Operating temperature: -20°C to 50°C. LED module voltage: 30V. LED module current: 1.0A. LED module power: 30W. LED module life: 100,000 hours. LED color temperature: 4000K. Product number: 1022000. Product number: 1022000. Product number: 1022000.

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
A	A	11	Lithonia Lighting	DSX0 LED P5 30K T4M MVOLT	DSX0 LED P5 30K T4M MVOLT	LED	1	10613	0.9	89	20'-0"
B	B	9	BEGA	77 164 + K3	77 164 + K3	LED	1	3371	0.9	36	12'-0"
C	C	9	BEGA	33 505 + K3	33 505 + K3	LED	1	290	0.9	7.8	8'-0"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
ENTRANCE	X	1.0 fc	2.7 fc	0.1 fc	27.0:1	10.0:1	0.4:1
OVERALL	+	0.1 fc	3.4 fc	0.0 fc	N/A	N/A	0.0:1
PARKING	X	1.6 fc	3.0 fc	0.7 fc	4.3:1	2.3:1	0.5:1
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
ROUNDBOUT	X	1.4 fc	3.2 fc	0.3 fc	10.7:1	4.7:1	0.4:1
ROUNDBOUT PARKING	X	1.6 fc	2.9 fc	1.0 fc	2.9:1	1.6:1	0.6:1



Plan View
Scale - 1" = 100ft

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

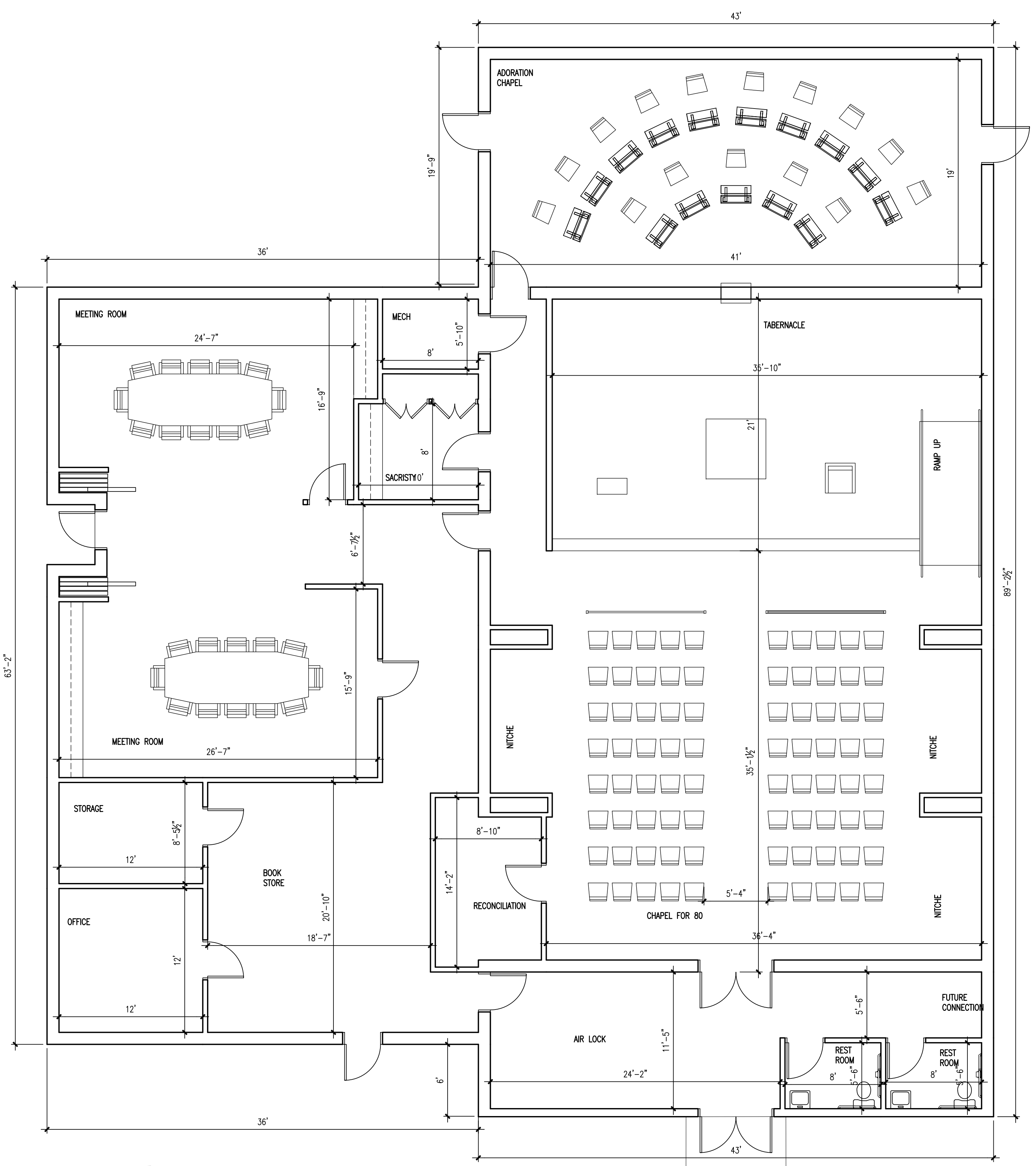
Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

CHILSON ROAD CHURCH
PHOTOMETRIC SITE PLAN
PREPARED FOR: BOSS ENGINEERING
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
BW/KB
Date
12/22/2020
rev. 1/15/2021
Scale
Not to Scale
Drawing No.
#20-57129-V2
1 of 1

R Q P N M L K J H G F E D C B A




FLOOR PLAN
 3/16"=1'-0"

**PAX
 ET
 BONUM**

REVISIONS	
11	
10	
9	

CHAPEL/ OFFICE PLAN

SWANSON DESIGN STUDIOS

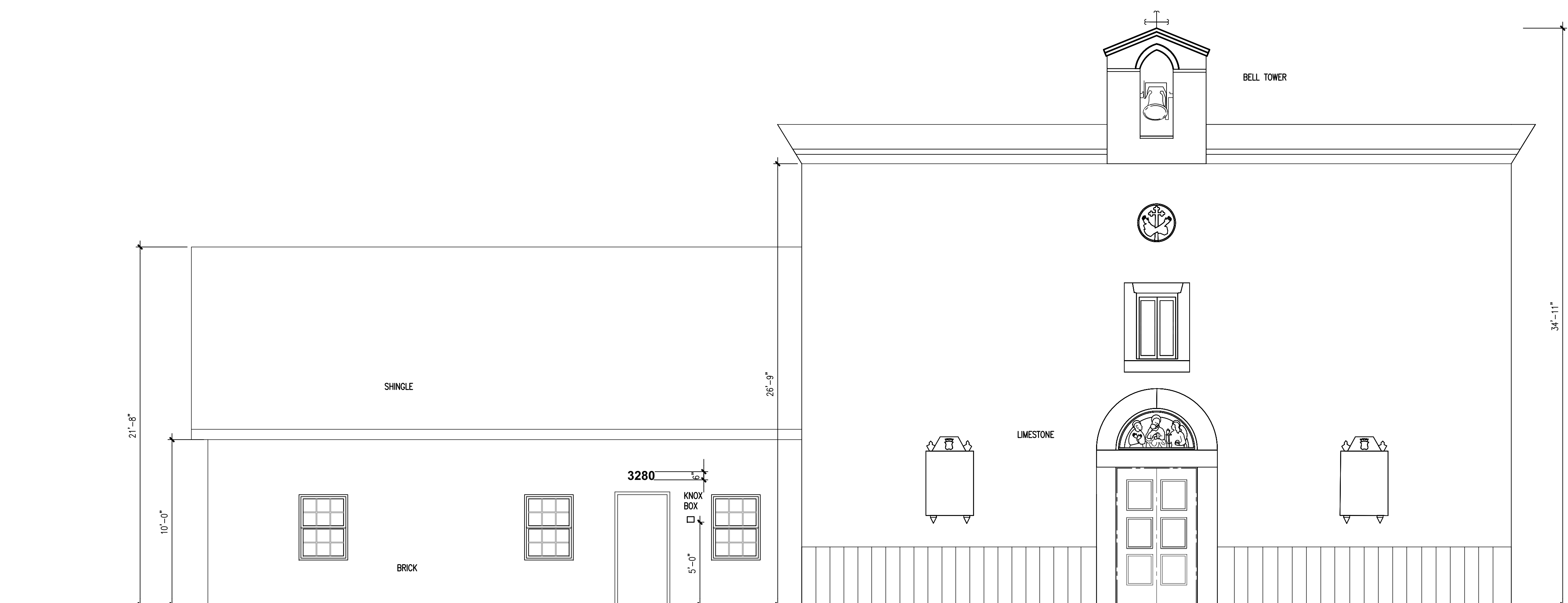
329 E. CESAR E. CHAVEZ AVE.
 LANSING, MICHIGAN 48906
 WWW.SWANSONDESIGN.COM
 PH. (517) 482-9039
 FAX (517) 482-9290

PADRE PIO
 3280 CHILSON ROAD
 HOWELL, MICHIGAN

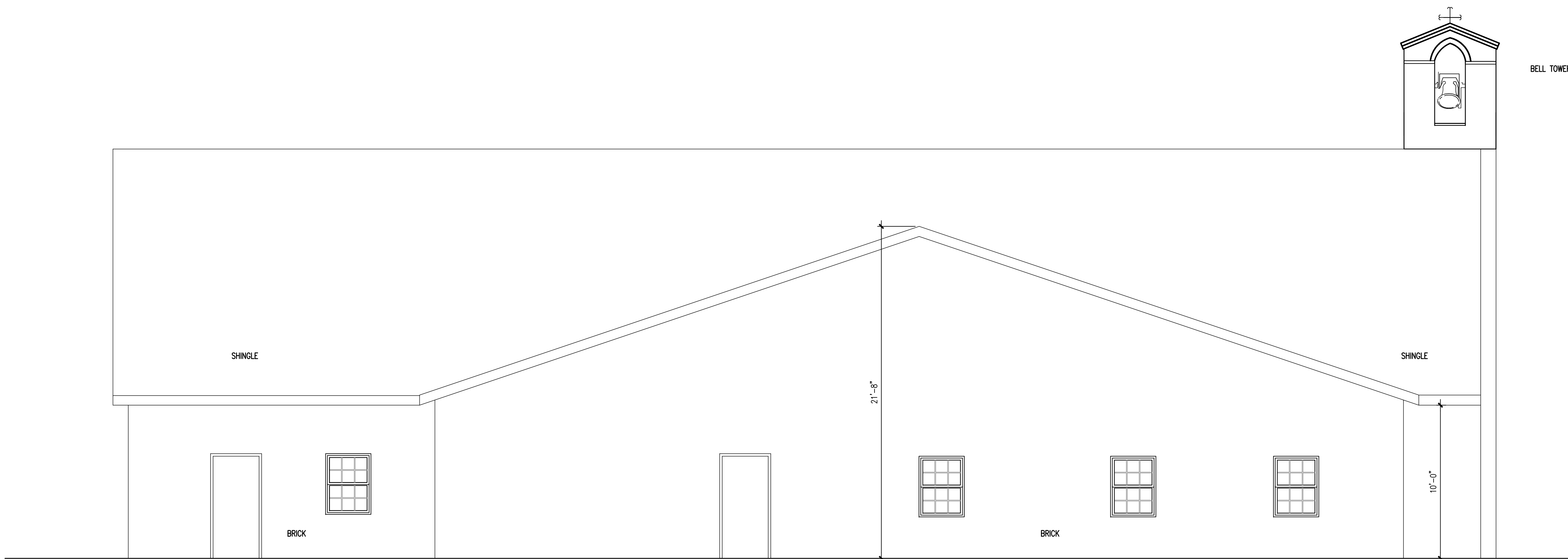
DATE:
 12/16/2020
 JOB NUMBER:
 2020.010
 SHEET NUMBER:

R Q P N M L K J H G F E D C B A

R Q P N M L K J H G F E D C B A



FRONT ELEVATION
1/4"=1'-0"



SIDE ELEVATION
1/4"=1'-0"

REVISIONS	

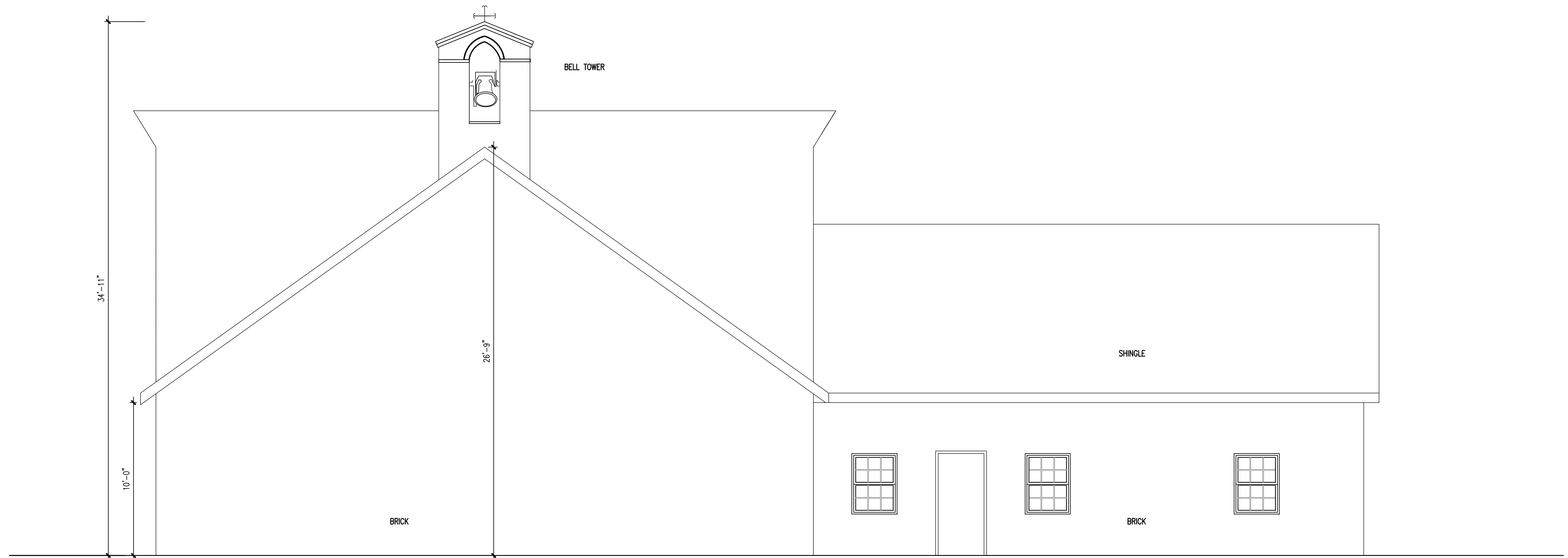
CHAPEL
EXTERIOR ELEVATIONS

SWANSON DESIGN STUDIOS
329 E. CESAR E. CHAVEZ AVE.
LANSING, MICHIGAN 48906
WWW.SWANSONDESIGN.COM
PH. (517) 482-9039
FAX (517) 482-9290

DATE:
1/18/2021
JOB NUMBER:
2020.010
SHEET NUMBER:

R Q P N M L K J H G F E D C B A

R Q P N M L K J H G F E D C B A



REAR ELEVATION
1/4"=1'-0"



SIDE ELEVATION
1/4"=1'-0"

REVISIONS

CHAPEL
EXTERIOR ELEVATIONS
PADRE PIO CHAPEL
3280 CHILSON ROAD
HOWELL, MICHIGAN

SWANSON DESIGN STUDIOS
329 E. CESAR E. CHAVEZ AVE.
LANSING, MICHIGAN 48906
WWW.SWANSONDESIGN.COM
PH. (517) 482-9039
INTERIOR ARCHITECTURE
FAX (517) 482-9290
ARCHITECTURE

DATE:
12/16/2020
JOB NUMBER:
2020.010
SHEET NUMBER:
1

R Q P N M L K J H G F E D C B A

R Q P N M L K J H G F E D C B A

- STRUCTURAL NOTES:
GENERAL:
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS INDICATED. IN THE EVENT OF A CONFLICT IN DIMENSIONS, NOTIFY ARCHITECT BEFORE PROCEEDING.
 - CROSS CHECK ALL DIMENSIONS AND ELEVATIONS INDICATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS AT EXISTING CONSTRUCTION. REPORT DISCREPANCIES TO ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.
 - CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
 - BUILDING CODE - MICHIGAN BUILDING CODE 2015.
 - DESIGN LIVE LOADS:

SNOW: GROUND SNOW, PG = 30PSF
IMPORTANCE FACTOR = 1 = 1.0
THERMAL FACTOR CT = 1.1
EXPOSURE FACTOR, CE = 1.0
FLAT ROOF SNOW, PF = 23.1 PSF

WIND-BASIC WIND SPEED, V = 105 MPH
IMPORTANCE FACTOR, I = 1.0
EXPOSURE CATEGORY...B
INTERNAL PRESSURE COEFFICIENT ... +/- 0.18

SEISMIC: SEISMIC IMPORTANCE FACTOR, I = 1.0
OCCUPANCY CATEGORY ... II
MAPPED SPECTRAL RESPONSE ACCELERATIONS = S_s = .102
S₁ = .043
SITE CLASS...D
SPECTRAL RESPONSE COEFFICIENTS, SDS = 0.109
SD1 = 0.068
SEISMIC DESIGN CATEGORY: A

- DEFERRED SUBMITTALS: PORTIONS OF THE DESIGN HAVE BEEN DEFERRED AND WILL BE DESIGNED BY PRODUCT MANUFACTURERS. DEFERRED SUBMITTALS INCLUDE:

- FOUNDATIONS:
- FOUNDATIONS SHALL BEAR ON SOILS HAVING A MINIMUM ALLOWABLE BEARING PRESSURE OF 1500 PSF FOR SPREAD FOOTINGS AND 1500 PSF FOR WALL FOOTINGS.
 - FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT ELEVATIONS SHOWN ON THE DRAWINGS. IF OVER-EXCAVATION IS REQUIRED, COMPACTED FILL SHALL BE PLACED PER SPECIFICATIONS UP TO BEARING ELEVATION. TESTING OF SOILS SHALL BE ACCORDING TO SPECIFICATIONS PRIOR TO PLACEMENT OF FOOTINGS.
 - COORDINATE ELECTRICAL SERVICE GROUNDING REQUIREMENTS TO FOUNDATION REINFORCING WITH ELECTRICIAN.

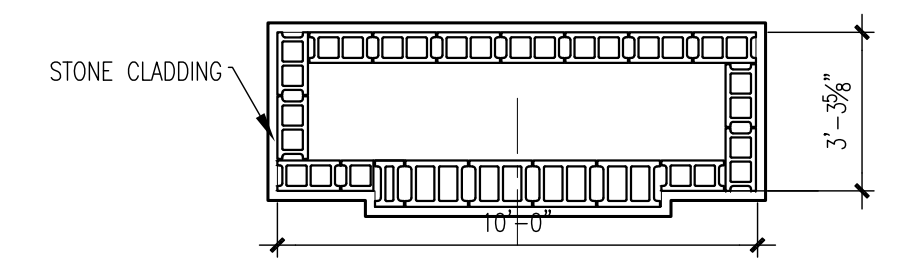
- CONCRETE:
- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) DOCUMENTS REFERENCED IN SPECIFICATIONS.

MATERIAL PROPERTIES:

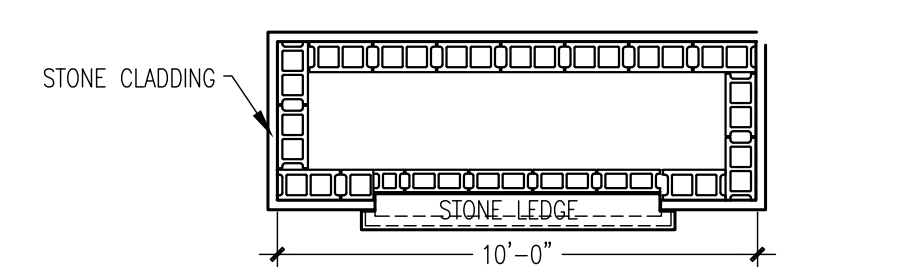
LOCATION	F'C PSI 28_DAYS	AIR CONTENT	MAX. SLUMP
WALL FOOTINGS, GRADE BEAMS	3000	NO TEST	4" MAX.
FOUNDATION WALLS			
RETAINING WALLS	4000	6% + 1%	4" MAX.
SPREAD FOOTINGS	3000	NO TEST	4" MAX.
BASEMENT WALLS	4000	NO TEST	4" MAX.
SIDEWALKS, DRIVES, AND ALL CONCRETE EXPOSED TO WEATHER	4000	6% + 1%	4" MAX.
INTERIOR SLABS-ON-GRADE	3500	NO TEST	4" MAX.
SUPPORTED SLABS	4000	NO TEST	4" MAX.
REINFORCING STEEL	FY, PSI	ASTM	
COLUMN TIES, STIRRUPS	60,000	A-615	
ALL OTHER BARS	60,000	A-615	
WELDED WIRE FABRIC	65,000	A-185	

- ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND.
- ALL CONCRETE SLABS-ON-GRADE SHALL BE REINFORCED WITH 6" X 6" W1.4 X W1.4 WELDED WIRE FABRIC OR CONTRACTOR MAY SUPPLY FIBER REINFORCED CONCRETE IN AREAS SCHEDULED TO RECEIVE FLOOR COVERINGS AT DOSAGE RATES ACCORDING TO SPECIFICATIONS. IF FIBER REINFORCING IS USED, CONTROL JOINT SPACING SHALL NOT EXCEED 12'-0" IN ANY DIRECTION.

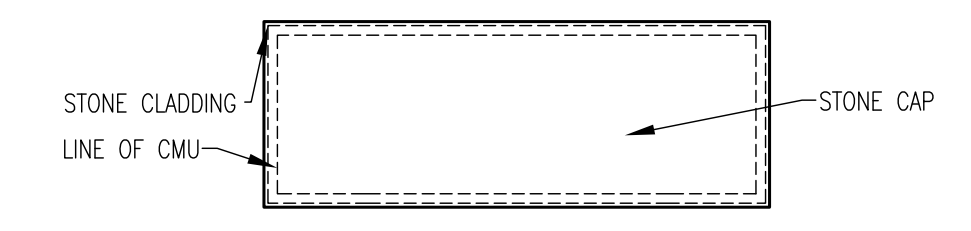
- MASONRY
- MATERIAL PROPERTIES: MASONRY COMPRESSIVE STRENGTH f_m = 2,000 PSI (PER UNIT STRENGTH METHOD)
CONCRETE MASONRY UNITS: ASTM C90, 2,000 PSI COMPRESSIVE STRENGTH, NORMAL WEIGHT, TYPE I MOISTURE CONTROLLED UNITS.
MORTAR: (TYPE S) ASTM C270
GROUT: 2,000 PSI @ 28 DAYS ASTM C476
 - ALL CONCRETE MASONRY UNIT WALL SHALL BE REINFORCED WITH HORIZONTAL JOINTS REINFORCEMENT EVERY SECOND COURSE FOR RUNNING BOND WALLS AND EVERY COURSE FOR STACK BOND WALLS.
 - PROVIDE THE FOLLOWING TENSION LAP SPLICES FOR ALL BARS UNLESS OTHERWISE NOTED: #3=12", #4=16", #5=24", #6= 42", #7= 60"



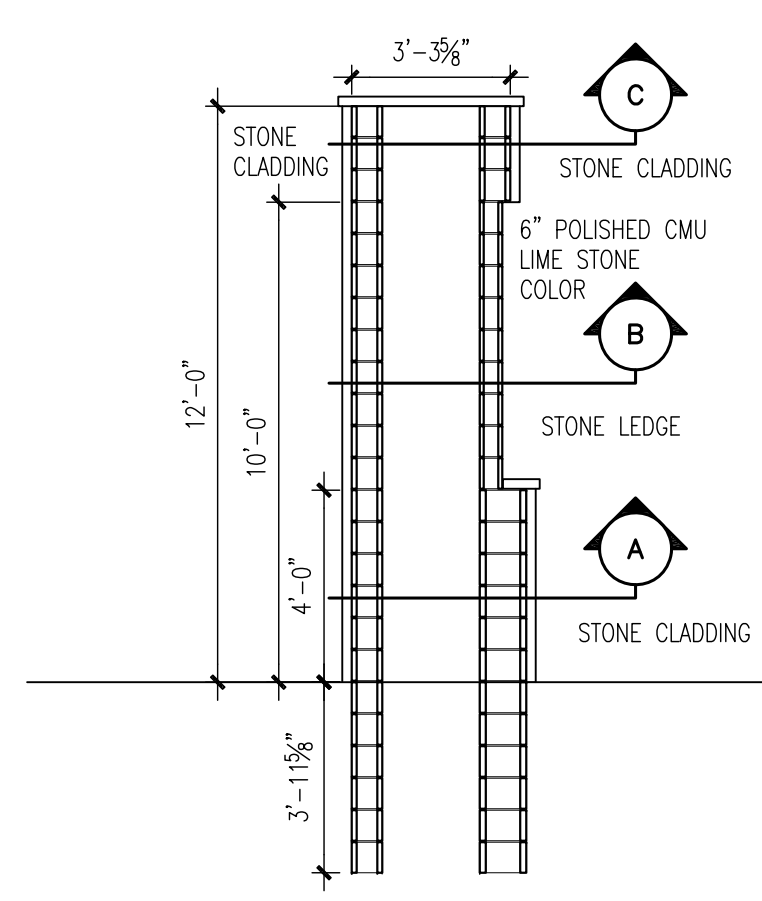
A FLOOR PLAN
1/4"=1'-0"



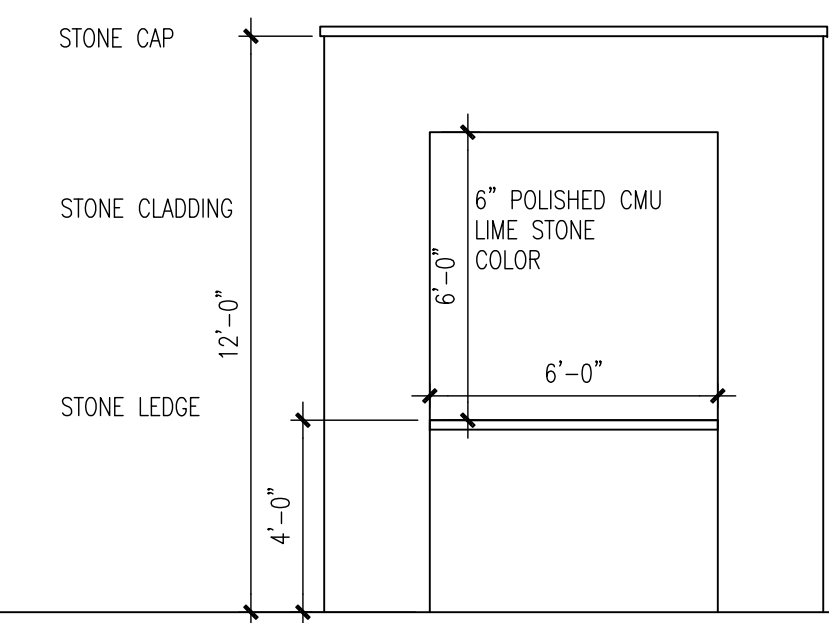
B FLOOR PLAN
1/4"=1'-0"



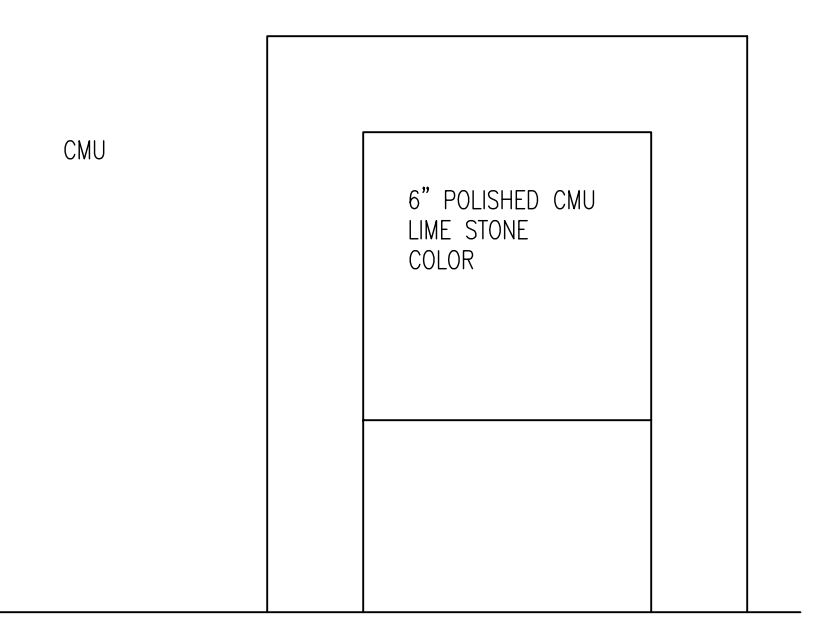
C FLOOR PLAN
1/4"=1'-0"



H1 SECTION
1/4"=1'-0"



D1 FRONT ELEVATION
1/4"=1'-0" WITH STONE



B1 FRONT ELEVATION
1/4"=1'-0" CMU STRUCTURE

REVISIONS

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PLAN, ELEVATION, DETAILS
STRUCTURAL NOTES

SWANSON DESIGN STUDIOS
328 E. CESAR E. CHAVEZ AVE.
LANSING, MICHIGAN 48906
WWW.SWANSONDESIGN.COM
PH: (517) 482-9039
FAX: (517) 482-9290

PADRE PIO
3280 CHILSON ROAD
HOWELL, MICHIGAN

DATE:
7/28/2020
JOB NUMBER:
2020.010
SHEET NUMBER:
A1

R Q P N M L K J H G F E D C B A

PUBLIC COMMENT CORRESPONDENCE

The following 108 pages contain public comment correspondence received by the Planning Commission for both the February and March meetings.

Kelly VanMarter

From: Leslie Bohnett <lbohnnett@hotmail.com>
Sent: Friday, February 5, 2021 4:57 PM
To: Kelly VanMarter
Subject: Proposed development for 3280 Chilson Rd

Dear Planning Commission,

As a home owner at 3367 Chilson Rd, and two homes south of the proposed church on Chilson Road, I have several concerns I want to express regarding rezoning proper and the construction of a church.

- 1) The proposed site for the church is located in a rural and agricultural area. I strongly feel as though this is an incorrect location to build a church.
- 2) I am concerned about the increased traffic for church activities. In September there was an event on this proposed site, the traffic was congested and vehicles were parked on the side of the road. In addition, some people missed the entrance to the event and used my driveway as a turn around (I have a circle driveway).
- 3) I understand the church wants to erect a bell tower and ring the bells every hour on the hour. I definitely do not want to hear a bell every hour every day. It is bad enough to hear the sirens and gas blow off at the gas plant behind me. Even the churches with bell towers in downtown Howell do not ring the bells hourly.
- 4) I also understand there are future plans for this property. The owners of this land want to create a campus with a hospital, rehabilitation center, medical school, and research facility. Again, this is a rural and agricultural area and I strongly feel it is extremely inappropriate to have these facilities located on this 40 acre parcel. We already have several of these types of facilities in Livingston County and do not need more.
- 5) We built our home on Chilson Road in 1996 because this is a quiet, rural, and agricultural area. I do not understand why a church and medical campus would be built in such an isolated area surrounded by homes and farm land.

Please do not rezone this land allowing a church and medical campus to be built.

Sincerely,

Leslie Bohnett
3367 Chilson Rd
Howell, MI 48843
Sent from my Sprint Samsung Galaxy S9+.

March 8, 2021

To: Genoa Township Planning Commission:

Re: Request to Deny Special Land Use Application at 3280 Chilson Road

From: Residents of Genoa Township

Dear Commissioners: Thank you for your community service and representing the interests, laws, codes, and ordinances of the citizens of Genoa Township. We have organized and we are submitting the following facts and citizen positions to request denial of the land use applications by Catholic Healthcare International at 3280 Chilson Road.

Whereas, the site commonly known as 3280 Chilson Road and all properties in the vicinity are zoned for agricultural and country estate uses.

Whereas, the Genoa Township Master Plan Future Land Use maintains AG and CE zoning.

Whereas, the proposed use of a chapel, paved parking lot, and bioswale are substantially different from the existing conditions in the AG and CE zoned areas.

Whereas, the proposed use will cause new disruptions such as light pollution, noise pollution, increased traffic, road modifications, after hours use, and similar.

Whereas, Genoa Township is a home rule municipality in the State of Michigan, and the planning commission has the right to deny.

Whereas, the applicant's proposed development deviates from the township's General Review Zoning Standards and Requirements for special land uses. Article 19 Section 19.03 of the Genoa Township Zoning Ordinance, "The Planning Commission shall require the following general standards shall be satisfied for the use at the proposed location, in addition to specific standards for individual special land uses listed in the districts."

Whereas, under Article 19, Section 19.03.01 the applicant's proposed chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes deviates from the township master plan for agricultural and country estate residences for both current and future land use.

Whereas, under Article 19, Section 19.03.02 the proposed architectural rendering of the chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes are not compatible with the existing character which is best exemplified by their absence in the vicinity.

Whereas, under Article 19, Section 19.03.03 infrastructure is minimal or non-existent in the area and this development will predicate an expansion review of Chilson Road and other utilities.

Whereas, under Article 19, Section 19.03.04 the development's impact will create new activities that are detrimental to the surrounding natural environments including the land, water, and livestock by creating excessive production of traffic, noise, glare, storm water run-off or other types of commercial nuisances.

Whereas, under Article 19, Section 19.03.05 mitigation is impractical or impossible, including noises from bells, glare from lighting, and increases in traffic in an area underserved by interconnecting roads.

Whereas, this petition will document the desire to maintain the agricultural, country estate, rural lifestyle along Chilson Road.

Whereas, the applicant has identified this development as a national destination for pilgrimages which will attract an undetermined number of visitors without accommodation.

Whereas, this development and its impacts will be permanent.

Whereas, we realize economic development is desirable when it is constructed in designated areas zoned to intentionally support it.

Whereas, Genoa Township has provided economic development zones of opportunity to support growth while maintaining the traditional rural atmosphere in the region.

Whereas, from 2019 to present the applicant has employed a public relations campaign through local Catholic parishes, the media and YouTube promoting plans to construct multiple uses in several phases.

Whereas, the property currently identified as 3280 Chilson Road was donated by the Archdiocese of Lansing and is commonly referred to as “The Howell Campus” in the applicant’s messages and materials.

Whereas, the applicant’s vision plan for the Howell Campus includes a hospital for this location for which they were denied a Certificate of Need by the State of Michigan in 2019

Whereas, the applicant has identified additional multiple uses for the Howell Campus including a rehabilitation facility, a medical school, and a public policy research center.

Whereas, the applicant has sought to expand their geographical footprint by contacting neighboring residents to open a dialogue to purchase their property.

Whereas, we recognize the applicant’s first amendment rights and hope to blend those with the property rights of all residents within the zoning ordinances of Genoa Township.

Whereas, we fully support this multi-phase development and all its various uses within the boundaries of Genoa Township and Livingston County at a different site location where compliant zoning will contribute to economic development in the region.

Whereas, the applicant has previously constructed a rustic grotto, altar, trails and undeveloped driveway without obtaining local permits, and recognizing it may be reasonable for the township to bring that into compliance, and recognizing this underdeveloped use may be viewed as somewhat characteristic with the area, we encourage the planning commission to approve the existing structures in “as-is condition” with “shall comply with current zoning language” and prohibit further development and improvements, except those that meet the zoning standards of AG and CE, by means of deed restrictions or similar.

We submit the following sample motions for action in the affirmative:

Motion 1: Move to deny Catholic Healthcare International Special Land Use Applications and Site Plans at 3280 Chilson Road.

Motion 2: Move to request Catholic Healthcare International to submit a Special Land Use Application, renderings, environmental impact study and supporting documents representing the current as-is conditions and request these as-is conditions shall comply with AG or CE zoning and building codes with no further improvements.

Motion 3: Move to authorize administration to seek deed restrictions prohibiting additional improvement or development, except those that comply with AG or CE zoning.

psw

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 1

Printed Name: KEN NETH ZANG
Address: 1760 CHILSON RD
Signature: [Signature]

Printed Name: John M. Gregor
Address: [Redacted]
Signature: In FL, 3160 Chilson

Printed Name: Alex Clayton
Address: 1711 Chilson rd
Signature: [Signature]

Printed Name: RON MUSICO
Address: 3595 PINEVIEW TR
Signature: [Signature]

Printed Name: Mary Griffith
Address: 2650 Chilson Rd
Signature: [Signature]

Printed Name: KEVIN Mc CONELTY
Address: 3576 PINEVIEW TR
Signature: [Signature]

Printed Name: Mik Renae
Address: 2333 Chilson Rd
Signature: [Signature]

Printed Name: Machline Johnson
Address: 3990 Chilson rd
Signature: [Signature]

Printed Name: ROBERT FISIT
Address: 2303 CHILSON RD.
Signature: [Signature]

Printed Name: Marilyn Koman
Address: 3419 Chilson
Signature: [Signature]

Printed Name: Bonnie FISIT
Address: 2303 Chilson Rd
Signature: [Signature]

Printed Name: DAVID BONNETT
Address: 3367 Chilson Rd.
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 2

Printed Name: Jessiah Spraul
Address: 2099 Chilson rd Howell MI 48845
Signature: Jessiah Spraul

Printed Name: Zac Kery Barton
Address: 2601 Oak Meadow Dr.
Signature: Zac Kery Barton

Printed Name: Derek Spraul
Address: 2099 Chilson Rd. Howell, MI 48843
Signature: Derek Spraul

Printed Name: Caitlin Barton
Address: 2601 Oak Meadow Drive
Signature: Caitlin Barton

Printed Name: Jonas A Jaskolski
Address: 2832 Oak Meadow Dr
Signature: Jonas A Jaskolski

Printed Name: Darrell D Ramos
Address: 2878 Oak Meadow Dr.
Signature: Darrell D Ramos

Printed Name: Kathy Jaskolski
Address: 2832 OAKMEADOW DR
Signature: Kathy Jaskolski

Printed Name: Trenton Ramos
Address: 2878 Oak Meadow Dr.
Signature: Trenton Ramos

Printed Name: Michelle Jaskolski
Address: 2832 Oak Meadow Dr
Signature: Michelle Jaskolski

Printed Name: Emily Ramos
Address: 2878 Oak Meadow Dr.
Signature: Emily Ramos

Printed Name: Robert N. Adams
Address: 2785 Oak Meadow
Signature: Robert N. Adams

Printed Name: Eric Wilkinson
Address: 3501 Crooked Lake
Signature: Eric Wilkinson

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 3

Printed Name: Barbara Wikaryasz

Address: 1510 Chilson Rd.

Signature: Barbara Wikaryasz

Printed Name: MARTIN WIKARYASZ

Address: 1510 Chilson Rd

Signature: Martin Wikaryasz

Printed Name: Deb Patmore

Address: 1480 Chilson Rd

Signature: Deb Patmore

Printed Name: Roberta Sallee

Address: 1450 Chilson Rd

Signature: Roberta MSallee

Printed Name: Karen Bailey

Address: 1538 Chilson Rd.

Signature: Karen Bailey

Printed Name: DONNA STUART

Address: 1544 CHILSON Rd

Signature: Donna Stuart

Printed Name: Tecay Lassitter

Address: 1532 CHILSON RD

Signature: Tecay Lassitter

Printed Name: Lorene Lassitter

Address: 1532 Chilson Rd Howell

Signature: Lorene Lassitter

Printed Name: Grace Trudell

Address: 1551 Chilson Rd

Signature: Grace Trudell

Printed Name: Kevin PYBUS

Address: 1555 Chilson Rd.

Signature: Kevin Pybus

Printed Name: RICHARD BARNES

Address: 1677 CHILSON

Signature: Richard Barnes

Printed Name: Cheyl Barnes

Address: 1677 Chilson

Signature: Cheyl Barnes

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 4

Printed Name: Jacqui Flood
Address: 3912 Chilson Rd
Signature: Jacqui Flood

Printed Name: Susan Fillion
Address: 3864 Chilson Rd
Signature: Susan Fillion

Printed Name: Lucy Petersen
Address: 2960 Beck
Signature: Lucy E. Petersen

Printed Name: John Fillion
Address: 3864 Chilson Rd
Signature: JF Fillion

Printed Name: Duane Johnson
Address: 3990 Chilson Rd Howell MI
Signature: Duane Johnson

Printed Name: Renee Pasko
Address: 2765 Kings Ct. Howell MI 48843
Signature: Renee Pasko

Printed Name: ROBERT MORAN
Address: 3985 Timber Green Ct
Signature: Robert Moran

Printed Name: Chris Pasko
Address: 2765 Kings Ct Howell MI
Signature: CHRIS PASKO

Printed Name: KATHLEE MORAN
Address: 3985 Timber Green Ct
Signature: Kathlee Moran

Printed Name: Jon Pasko
Address: 2765 Kings Ct Howell MI
Signature: JON PASKO

Printed Name: IAN CAMPBELL
Address: 3912 CHILSON RD
Signature: Ian Campbell

Printed Name: JOSEPH SPASKO
Address: 2265 Kings Ct, Howell MI
Signature: Joseph Spasko

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 5

Printed Name: DISCHER
Address: 2358 CHILSON
Signature: R. Discher

Printed Name: Jessica Baumgardner
Address: 2828 Chilson Rd. Howell
Signature: Jessica Baumgardner

Printed Name: Val Cunningham
Address: 2521 Chilson Rd
Signature: Howell mich 48843

Printed Name: DONALD RESTADINI JR
Address: 2768 CHILSON RD 48843
Signature: Donald Restadini Jr

Printed Name: Lorie Skintley
Address: 2521 Chilson Rd
Signature: Howell mich 48843

Printed Name: ALLISON RESTAURI
Address: 2768 Chilson Rd Howell 48843
Signature: Allison Restauri

Printed Name: Linda Byer 48843
Address: 2627 Chilson, Howell
Signature: Linda Byer

Printed Name: Cris Petersen
Address: 2960 Beck Rd
Signature: CR Petersen

Printed Name: NORMAN COLLINS
Address: 2627 Chilson Rd, Howell
Signature: Norman Collins

Printed Name: Sarah Petersen
Address: 2960 Beck Rd.
Signature: Sarah A. Petersen

Printed Name: Robert Baumgardner
Address: 2828 Chilson Rd. Howell
Signature: Robert Baumgardner

Printed Name: TOM TAIT
Address: 1520 Chilson Rd
Signature: Thomas R. Tait

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the following residents, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 6

Printed Name: KATHRYN WILKINSON
Address: 3561 CROOKERS LAKE
Signature: Kathryn Wilkin

Printed Name: Lauren Saults
Address: 3302 PINEVIEW TRAIL
Signature: LS

Printed Name: Erin Yates
Address: 2700 OAK MEADOW DR
Signature: Erin Yates

Printed Name: THOMAS A. JATKOWSKI
Address: 3414 PINEVIEW TRAIL
Signature: Thomas A. Jatkowski

Printed Name: Jarry Beno
Address: 2577 OAK MEADOW DR.
Signature: Jarry Beno

Printed Name: Julie Berz
Address: 3093 Pineview Trail
Signature: Julie Berz

Printed Name: RALPH BERZ
Address: 3093 PINEVIEW TR.
Signature: Ralph Berz

Printed Name: Jeremy Hamilton
Address: 1690 Chilson rd.
Signature: J Hamilton

Printed Name: Deborah Beattie
Address: 3109 Pineview Tr
Signature: Deborah Beattie

Printed Name: Kathy Zane
Address: 4700 Chilson
Signature: Kathy Zane

Printed Name: Joyce Lehman
Address: 5269 Pineview Trail
Signature: Joyce

Printed Name: MariKay Keifer
Address: 4200 Melburn #
Signature: MariKay Keifer

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 7

Printed Name: BRIAN MacARTHUR
Address: 4075 CHILSON RD
Signature: [Signature]

Printed Name: RONNIE Monarch
Address: 4001 S. LATSON
Signature: (OBTAINED PERMISSION
By Phone Due to COVID)

Printed Name: VERNEY W. MACARTHUR
Address: 4075 CHILSON RD
Signature: [Signature]

Printed Name: Cynthia Monarch
Address: 4001 S. LATSON
Signature: (OBTAINED PERMISSION
By Phone Due to COVID)

Printed Name: Patricia MacArthur
Address: 4075 Chilson Rd.
Signature: [Signature]

Printed Name: Sharon L. Galvin
Address: 4037 Chilson Rd
Signature: [Signature]

Printed Name: Brian Galvin
Address: 4037 Chilson Rd.
Signature: [Signature]

Printed Name: William Galvin
Address: 4037 Chilson
Signature: [Signature]

Printed Name: WILLIAM T MONTGOMERY
Address: 3947 S. LATSON RD
Signature: [Signature]

Printed Name: Deborah Rattai
Address: 3901 S. Latson Rd
Signature: [Signature]

Printed Name: RICHARD RATTAI
Address: 3901 S. LATSON RD
Signature: [Signature]

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 8

Printed Name: Leslie Bohnett
Address: 3367 Chilson Rd
Signature: Leslie Bohnett

Printed Name: Harry Newton
Address: 5490 LEZZANAU CT
Signature: Harry E Newton

Printed Name: Melissa Dienes
Address: 2735 E Schaefer Rd
Signature: Melissa Dienes

Printed Name: Sean McCall
Address: 5728 Eggert Pl
Signature: Sean McCall

Printed Name: BRAD Humphrey
Address: 3729 Beattis
Signature: Brad Humphrey

Printed Name: Clair Sprague
Address: 5512 Wildwood Dr
Signature: Clair Sprague

Printed Name: Jack Kernik
Address: 4525 GOLF VIEW
Signature: Jack Kernik

Printed Name: KEVIN Rupp
Address: 5207 PINE-HILL CIR.
Signature: Kevin Rupp

Printed Name: MARK BOSIC
Address: 2960 FISK
Signature: Mark Bosic

Printed Name: Dave Byrum
Address: 3981 Honors Way
Signature: Dave Byrum

Printed Name: Sandy Kurz
Address: 16937 Kestrel Ridge
Signature: Sandy Kurz

Printed Name: Julia Zestrow
Address: 5237 Prairie View
Signature: Julia Zestrow

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 9

Printed Name: Ralph M Sorley
Address: 5141 Beck Howell
Signature: Ralph M Sorley

Printed Name: Chris Fleenor
Address: 5237 Cherokee
Signature: Chris Fleenor

Printed Name: Ron King
Address: 4758 TREASURE LAKE
Signature: Ron King

Printed Name: Jinda Mihela
Address: 12808 Rush Lake
Signature: Jinda Mihela

Printed Name: Ron King
Address: 4758 TREASURE LAKE
Signature: Ron King

Printed Name: Lynn Jenkins
Address: 4908 FAIRWAY DR
Signature: Lynn Jenkins

Printed Name: Peter Vanno
Address: 6442 Forest Beach
Signature: Peter Vanno

Printed Name: Fred Vogel
Address: 6150 Nottingham Pt
Signature: Fred Vogel

Printed Name: Frieda Young
Address: 6442 Forest Beach
Signature: Frieda Young

Printed Name: Lori Johnson
Address: 4767 Clifton
Signature: Lori Johnson

Printed Name: Lisa Rettino
Address: 2298 East Clear Lake
Signature: Lisa Rettino

Printed Name: Robert Overmyer
Address: 4111 Timberview Dr
Signature: Robert Overmyer

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 10

Printed Name: DALE MOORE

Address: 3720 E. COON LAKE HOWELL 48813

Signature: 

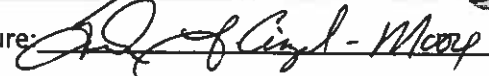
Printed Name: Robert Ry

Address: 3978 East Coon Lake Rd

Signature: 

Printed Name: SANDRA CINGEL-MOORE

Address: 3720 E. Coon Lake Howell 48813

Signature: 

Printed Name: Helen C Blower

Address: 3809 CHILSON RD

Signature: 

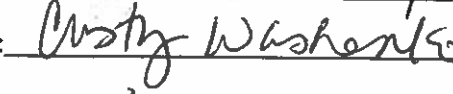
Printed Name: Greg Moore

Address: 3720 E. Coon Lake Rd Howell 48813

Signature: 

Printed Name: Cristy Washenko

Address: 5200 WASHAKIE BRIGHTON

Signature: 

Printed Name: Todd Walker

Address: 4758 Roundtree Drive 48116

Signature: 


Printed Name: Tim Olech

Address: 2339 PRADO VISTA HOWELL

Signature: 


Printed Name: STEPHEN GOLD

Address: 2750 SPRING HILL DR

Signature: 

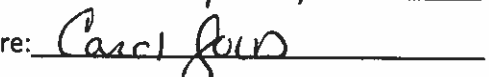
Printed Name: Robert¹⁴ Ballou

Address: 4813 OAK TREE CT, Brighton

Signature: 

Printed Name: Carol Gold

Address: 2750 Spring Hill Dr

Signature: 

Printed Name: Harris Johnson

Address: 5020 Greenbrooke Cir

Signature: 

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 11

Printed Name: Jeremy Smiley
Address: 3707 Westphal Rd.
Signature: [Signature]

Printed Name: AL STAWICK
Address: 3050 CENTENNIAL CT
Signature: [Signature]

Printed Name: John Heidelberg
Address: 3696 Westphal
Signature: [Signature]

Printed Name: JASON STAWICK
Address: 3050 CENTENNIAL CT
Signature: [Signature]

Printed Name: Robert LAGANA
Address: 3710 WESTPHAL
Signature: [Signature]

Printed Name: DANIEL O. KEBERT
Address: 3154 CENTENNIAL
Signature: [Signature]

Printed Name: Lynn Lagana
Address: 3710 Westphal Rd
Signature: [Signature]

Printed Name: Deborah Kelbert
Address: 3154 Centennial Ct.
Signature: [Signature]

Printed Name: SCOTT SHERMAN
Address: 3743 WESTPHAL
Signature: [Signature]

Printed Name: PAULETTE SAGER
Address: 3176 CENTENNIAL CT.
Signature: [Signature]

Printed Name: Matthew Vitis
Address: 3823 Westphal Rd
Signature: [Signature]

Printed Name: RICHARD SAGER
Address: 3176 CENTENNIAL CT.
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 12

Printed Name: Jo Hill
Address: 3131 Centennial Ct
Signature: [Signature]

Printed Name: MARIA ADAMS
Address: 4075 Sweet Rd.
Signature: [Signature]

Printed Name: Stephanie Hillebrand
Address: 3131 Centennial Ct
Signature: [Signature]

Printed Name: Tony Vitale
Address: 4100 Seim Rd 48843
Signature: [Signature]

Printed Name: ALIDA WOLNICY
Address: 3591 WESTPHAL
Signature: [Signature]

Printed Name: Kristine Vitale
Address: 4100 Seim Rd, 48843
Signature: [Signature]

Printed Name: Karise Clarke
Address: 3142 Westphal
Signature: [Signature]

Printed Name: Wendy Castricone
Address: 4675 Seim Rd
Signature: [Signature]

Printed Name: Jeremy Clarke
Address: 3142 Westphal
Signature: [Signature]

Printed Name: Michael Maloney
Address: 4075 SEIM RD.
Signature: [Signature]

Printed Name: James W. Adams
Address: 4075 SWEET RD.
Signature: [Signature]

Printed Name: Gene Kihw
Address: 3649 Nixon Road
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 13

Printed Name: Edward P. Liddy

Address: 3200 Crooked

Signature: Edward P. Liddy

Printed Name: Tonya Nester

Address: 3360 Chilson Rd

Signature: Tonya Nester

Printed Name: Bill James Jr.

Address: 3534 Crooked Lake

Signature: Bill James Jr.

Printed Name: Marla James

Address: 3534 Crooked Lk Rd.

Signature: Marla James

Printed Name: MICHAEL BAALAER

Address: 2645 FISK RD

Signature: Michael Baalaer

Printed Name: Lucas M Baalaer

Address: 4318 Sweet Rd

Signature: Lucas M Baalaer

Printed Name: Brian Schroeder

Address: 4201 Sweet Rd

Signature: Brian Schroeder

Printed Name: Anna Schroeder

Address: 4201 Sweet Rd

Signature: Anna Schroeder

Printed Name: SiShane Gszko

Address: 4200 Sweet

Signature: SiShane Gszko

Printed Name: Kristina Laszlo

Address: 4200 Sweet Rd.

Signature: Kristina Laszlo

Printed Name: Todd Hill

Address: 2085 LATSON

Signature: Todd Hill

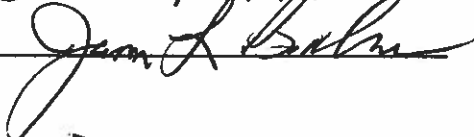
Printed Name: Scott Bozkievich

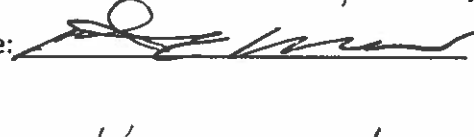
Address: 4010 Swim Rd

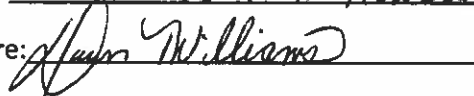
Signature: Scott Bozkievich

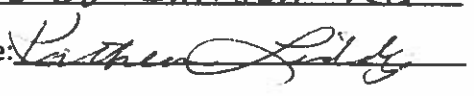
Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

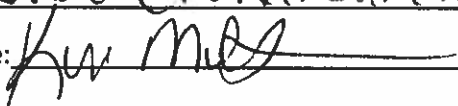
Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 14


Printed Name: James Brancheau
Address: 3611 Westphal Howell 48843
Signature: 

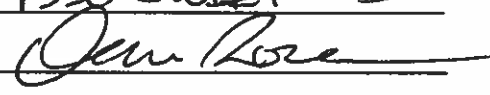
Printed Name: MICHAEL E. WILLIAMS
Address: 3654 WESTPHAL, Howell, MI 48843
Signature: 

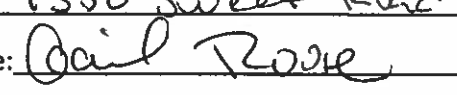
Printed Name: DAWN T. WILLIAMS
Address: 3654 WESTPHAL HOWELL 48843
Signature: 

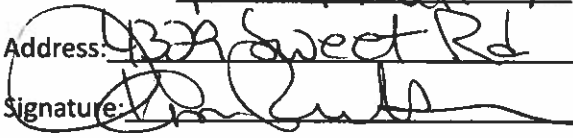
Printed Name: KATHLEEN LIDDY
Address: 3160 Chilson Rd
Signature: 

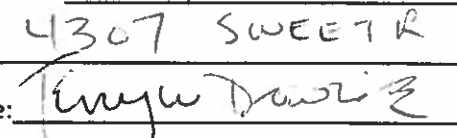
Printed Name: Kim Miller
Address: 3150 Crooked Lake Rd
Signature: 

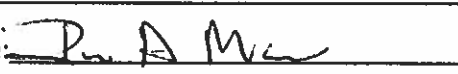
Printed Name: PAUL MILLER
Address: 3150 CROOKED LAKE RD
Signature: 

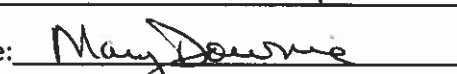
Printed Name: DAN ROOSE
Address: 4350 SWEET RD
Signature: 

Printed Name: Gail Roose
Address: 4350 Sweet Road
Signature: 

Printed Name: Tama Rutton
Address: 4307 Sweet Rd
Signature: 

Printed Name: TERRY W DOWNIE
Address: 4307 SWEET R
Signature: 

Printed Name: Rick MASON
Address: 4260 SWEET
Signature: 

Printed Name: Mary Downie
Address: 4307 Sweet Rd
Signature: 

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 15

Printed Name: Leonard Petty
Address: 3725 S. Lataou Rd
Signature: Leonard Petty

Printed Name: Melanie Johnson
Address: 3990 Chilson Howell
Signature: [Signature]

Printed Name: Stacy Poyssit
Address: 1102 S LATAOU RD
Signature: [Signature]

Printed Name: Linda Holland
Address: 3023 Parden
Signature: [Signature]

Printed Name: Forrest Henryson
Address: 3702 E Coon Lake Rd
Signature: [Signature]

Printed Name: Robert B Ely
Address: 3674 Westphal
Signature: Robert B Ely

Printed Name: Shawn Nestor
Address: 3360 Chilson Rd
Signature: [Signature]

Printed Name: MIKE SIAPKOWSKI
Address: 3535 WESTPHAL RD
Signature: Mike Siapkowski

Printed Name: Jodie M. Park
Address: 3529 Westphal Rd
Signature: Jodie M. Park

Printed Name: Tina Park
Address: 3529 WESTPHAL RD.
Signature: [Signature]

Printed Name: IGER BRANCATELLI
Address: 3611 Westphal Rd
Signature: [Signature]

Printed Name: Robert B Ely Jr
Address: 3674 Westphal
Signature: Robert B Ely Jr

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 16

Printed Name: William Martin
Address: 4678 Richardson Rd
Signature: W Martin

Printed Name: Cara Zitterman
Address: 4701 Richardson Rd
Signature: Cara Zitterman

Printed Name: Nicole Martin
Address: 4678 Richardson Rd
Signature: Nicole M

Printed Name: Sarah Frederick
Address: 4700 Richardson
Signature: Sarah Frederick

Printed Name: RON STOTLER
Address: 4337 RICHARDSON
Signature: Ron Stotler

Printed Name: HOPE J FREDERICK
Address: 4700 RICHARDSON
Signature: Hope J Frederick

Printed Name: PHIL ROBERTS
Address: 3757 BRIGHTON RD
Signature: Phil Roberts

Printed Name: _____
Address: _____
Signature: _____

Printed Name: JESSICA BURHRT
Address: 3757 Brighton Rd
Signature: Jessica Burhrt

Printed Name: _____
Address: _____
Signature: _____

Printed Name: MATTHEW ZITZMAN
Address: 4701 RICHARDSON
Signature: Matthew Zitzman

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 17

Printed Name: Cynthia Telep
Address: 3175 Crooked Lake Rd
Signature: Cynthia Telep

Printed Name: OLAV K. KAUSERID
Address: 3155 CROOKED LK RD
Signature: Olav K. Kauserid

Printed Name: STEVE TELEP
Address: 3175 CROOKED LK. Rd
Signature: Steve Telep

Printed Name: Lorene Kauserid
Address: 3155 Crooked LK Rd
Signature: Lorene Kauserid

Printed Name: SCOTT McLEAY
Address: 3468 S. LATSON GENOA 48843
Signature: Scott McLeay

Printed Name: JOHN WIEGAND
Address: 3293 CROOKED LAKE RD
Signature: John Wiegand

Printed Name: CHERYL McLEAY
Address: 3468 S. LATSON GENOA
Signature: Cheryl McLeay

Printed Name: Susan A. Wiegand
Address: 3293 Crooked Lake Rd
Signature: Susan Wiegand

Printed Name: Lincoln Thompson
Address: 3133 Crooked Lake Rd
Signature: Lincoln Thompson

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Gayle Merwin
Address: 3133 Crooked LK Rd.
Signature: Gayle Merwin

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 18

Printed Name: Shelley Trapp
Address: 2925 Kings ct Howell 48843
Signature: Shelley Trapp

Printed Name: _____
Address: _____
Signature: _____

Printed Name: William Bradley
Address: 2930 Kings ct Howell 48843
Signature: William Bradley

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Judy Bradley 48843
Address: 2930 Kings ct Howell
Signature: Judy Bradley

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Lori L. Petralis
Address: 2344 Chilson Rd
Signature: Lori Petralis

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 19

Printed Name: Matt Markster
Address: 5321 E Grand Ridge
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
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Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 20

Printed Name: Stephanie Proot
Address: 41400 Brighton Rd
Signature: 

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
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Printed Name: _____
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Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 21

Printed Name: Cynthia Gruchowski
Address: 5650 Richardson Rd
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Bradley Wilson
Address: 3979 Winterwood Dr
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Kar: Jozwick
Address: 4120 Brighton Rd
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 22

Printed Name: KEN BERENDT

Printed Name: _____

Address: 4210 CHILSON RD

Address: _____

Signature: 

Signature: _____

Printed Name: CINDY BERENDT

Printed Name: _____

Address: 4210 Chilson Rd

Address: _____

Signature: 

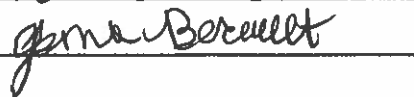
Signature: _____

Printed Name: Jamie Berendt

Printed Name: _____

Address: 4210 Chilson Rd

Address: _____

Signature: 

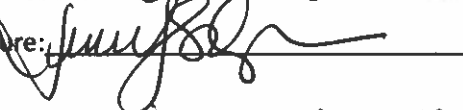
Signature: _____

Printed Name: Jennifer Opperman

Printed Name: _____

Address: 493 Cloverview Lane

Address: _____

Signature: 

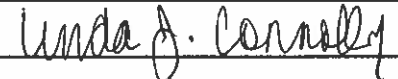
Signature: _____

Printed Name: Linda Connolly

Printed Name: _____

Address: 4210 Chilson Rd.

Address: _____

Signature: 

Signature: _____

Printed Name: Clayton Smith

Printed Name: _____

Address: 3725 East Court Rd

Address: _____

Signature: 

Signature: _____

Kelly VanMarter

From: St Agnes Church <stagnesfowlerville@sbcglobal.net>
Sent: Monday, March 8, 2021 2:52 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Kelly:

Would you please be so kind as to forward this to the Genoa Planning Commission? It has to do with the Padre Pio Adoration Chapel that is planned for property on Chilson Road. We believe the commission will be entertaining this topic at their meeting this evening at 6:30pm.

Scrolling a bit down on the forwarded message provided by the Catholic Healthcare International, you can see all the buildings enumerated that **will not** be located on the 40 acre Chilson Road parcel.

Hopefully, this information will bring peace and tranquility back to this neighborhood! Peace and God's blessings be with you,

Mariann Brown

Christian Service

St Agnes Catholic Church-Fowlerville

stagnes.christianservice@gmail.com

=====

----- Forwarded Message -----

From: Catholic Healthcare International <info@chi-usa.com>
To:
Sent: Thursday, March 4, 2021, 04:56:37 PM EST
Subject:



Dear Fr. Nathan,

We need your help!

We have our second meeting with the Genoa Township planning commission on Monday, March 8, at 6:30 pm.

A few neighbors are a bit unhappy believing that a large 1,000 bed medical facility and medical school are planned for the 40-acre site. This is not the plan, and in fact, the 40-acre parcel is not large enough nor does not have sewer or water service so that is not a viable option.

The plan is to follow St. Padre Pio's model and follow the call to relieve suffering by relying first on prayer. To do this we began the [Worldwide Perpetual Adoration team](#), connected with and began some Padre Pio prayer groups, and will build a replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell, MI.

We encourage you to share this information. Please copy and paste the image and share it on your social media channels. Let's pray, get the word out, and calm the storms that have been brewing because as St. Pio said, "Pray, hope and don't worry!" and "...agitation never comes from God."

If you live in Livingston County, MI, **please consider sending an email or letter to the planning commission in support of this important project that will bring hope, love, and relief to those suffering.**

- **Email Kelly VanMarter, kelly@genoa.org, or**
- Write to the planning commission: 2911 Dorr Rd, Brighton, 48116, or
- **Virtually attend the [Planning Commission](#) meeting on March 8, 6:30 pm. If you live in the County would be entitled to make a short statement of support, or**
- **Share this email with others in Livingston County - especially those who live near the property and in Genoa Township.**



To save the image right-click and select 'save as' OR [The image can be shared from our Facebook page](#)

Please pray the planning commission approves the Adoration Chapel on March 8, and please pray for the neighbors, that they are blessed by this project with prayer, with peace, and with increased property values being within proximity to such a beautiful and serene campus dedicated to Padre Pio's vision.

Thank you for considering being a part of this miraculous initiative. We look forward to sharing more exciting updates in the coming weeks and look forward to working with you to fulfill St. Pio's vision.

May Our Lord heal our world and bless you,

Jere Palazzolo



Join the Worldwide Perpetual Adoration team

PLEASE DONATE

www.CHI-USA.com



Subscribe to the CHI YouTube Channel

Follow us on Facebook

[CLICK FOR MORE INFORMATION ABOUT THE YOUNG ST. PIO TOUR](#)

Catholic Healthcare International | 2464 Taylor Road, Suite 317 , Wildwood, MO 63040

[Unsubscribe stagnesfowlerville@sbcglobal.net](mailto:stagnesfowlerville@sbcglobal.net)

[Update Profile](#) | [Customer Contact Data Notice](#)

Sent by info@chi-usa.com powered by



Try email marketing for free today!

Kelly VanMarter

From: Michael Gilbert <cmichaelgilbert@gmail.com>
Sent: Monday, March 8, 2021 4:15 PM
To: Kelly VanMarter
Subject: Padre Pio adoration chapel

Hello Kelly,

I am not able to attend tonight's meeting, but I respectfully request that this email be read during the time of public comment.

I am writing to express my strong support for allowing the Padre Pio adoration chapel to be built on the designated site. It will be a beautiful addition to the life giving culture we have in Livingston County. Thanking you and the planning commission for your consideration and time. Blessings

Rev. Michael Gilbert, LPC
New Hope Counseling
Brighton, MI

Kelly VanMarter

From: Deb RE <dbre100@yahoo.com>
Sent: Monday, March 8, 2021 1:20 PM
To: Kelly VanMarter
Subject: 3280 Chilson rd property variance

Planning Commission...

My husband and I have owned a home on Chilson for over 30 years, just down the road a piece from the above subject property. We bought the property and continue to own it specifically because of the country atmosphere of the area.

Now a new Chilson rd property owner wants to drastically change the area with a commercial operation.

This commercial operation will be open to the public bringing high volumes of traffic any day at any time of day or night. Noise levels will also increase due to the bell ringing, people attending and increased traffic.

While the above is enough to deny the request for a variance, any type of commercial, public operation does not fit with the rural/country atmosphere that the current residents in the area have come to expect.

We drive Chilson almost daily and have seen new builds and renovations of current properties. We are assuming that those new homeowners, new property owners and those renovating would not have been so quick to buy or renovate had they known the area could instantly contain a commercial operation right in the middle of a non-commercial area.

We also think it is wrong for the new property owners of 3280 to even request a variance here. They have greatly upset the current residents and threatened our peaceful enjoyment of our properties.

We also believe that allowing even one commercial operation will change the Chilson rd area forever setting a precedent for other commercial operations in our rural CE/AG area.

We are strongly against granting a variance.

Thank you for listening.

Deborah Beattie and Alfred Wilder
3809 Chilson Rd.

Kelly VanMarter

From: Kathleen Czuprenski <kaczup@hotmail.com>
Sent: Monday, March 8, 2021 11:13 AM
To: Kelly VanMarter
Cc: Joan Otten
Subject: Adoration Chapel

Dear Kelly VanMarter,

I am sending this to show my support of the Adoration Chapel that is proposed to be built on the 40 acre property on Chilson Rd. This chapel will provide a peaceful place for prayer and meditation for many who are struggling to find peace in this chaotic world. It can only be a positive presence in the community and I hope and pray that it will be approved by the planning commission.

Thank you for your consideration.

Kathleen Czuprenski
5399 Lynne Dr.
Howell, Mi. 48843

Sent from my iPhone

Kelly VanMarter

From: YAH00 (null) <dnppwhite2@yahoo.com>
Sent: Monday, March 8, 2021 5:11 AM
To: Kelly VanMarter
Subject: Catholic Healthcare International

Dear Ms. VanMarter,

Please consider the plans for the 40 acre site on Chilson Rd. At this time the plan is to build an adoration chapel and have pathways throughout the ground. Which should be a low impact to the area.

Thank you for your time and careful consideration of this site plan.

Sincerely,

Margaret White
Livingston County Resident
Sent from my iPhone

Kelly VanMarter

From: Shawn Spagnuolo <hsshawnie@gmail.com>
Sent: Sunday, March 7, 2021 10:36 PM
To: Kelly VanMarter
Subject: CHI Project

Dear Ms. Van Marter,

Good evening! I'm writing to ask the planning commission to support the Catholic Healthcare Initiative for a peaceful place of prayer on Chilson Road.

Contrary to what some believe, there is not a plan for a hospital or medical facility to be on that property. I believe that this project is a wonderful opportunity for the citizens of Livingston County.

Sincerely,

Shawn Spagnuolo
6692 Goldwin Dr.
Brighton, MI 48116

Kelly VanMarter

From: Bob Vinton <bandkvinton@att.net>
Sent: Sunday, March 7, 2021 6:54 PM
To: Kelly VanMarter
Subject: Padre Pio project on Chilson Road

Hello Kelly,

I am writing in support of the Padre Pio project on Chilson Road near Crooked Lake Road. The plan is to build a prayer chapel there with nature trails through the woods, so it will be a nice addition to the township. It will be a quiet facility and most of the nicely wooded property will not be disturbed. Thank you for your assistance!

Also, thank you very much for assisting my son William when he purchased property on Latson Road (near this property). You were very helpful and kind to him.

God bless,

Bob Vinton
(resident of Brighton Township)

Kelly VanMarter

From: Robert Baker <bobcubs52@yahoo.com>
Sent: Sunday, March 7, 2021 6:18 PM
To: Kelly VanMarter
Subject: Padre Pio Chapel

The Plan for this Property is for an Adoration Chapel as I believe first in America. It would be great addition for Genoa Township, making it a very favorable addition to Genoa.
Thanking for your support.

Robert Baker
Fairways Dr.
Genoa 48116

Kelly VanMarter

From: Ken Szpond <ken.szpond@gmail.com>
Sent: Saturday, March 6, 2021 5:45 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Kelly,

Please vote for the chapel. it will be an improvement to the area.

Sincerely,
Ken Szpond

Kelly VanMarter

From: Rosario Criscuolo <rciscuolo@earthlink.net>
Sent: Saturday, March 6, 2021 11:23 AM
To: Kelly VanMarter

Ms. VanMarter,

My name is ROSARIO CRISCUOLO, I have been a resident of Livingston county since 1985 in Brighton and Genoa Township, I currently live in Pine creek subdivision.

This project should not have any objection to its construction. The mural and the altar will serve as a benefit for all its beauty and private worshiping. As adoration Chapel I feel it will highlight the area that in the past was sparingly used.

Please let the citizens of the area it is a Adoration chapel.

Thank you,

Rosario Criscuolo

Kelly VanMarter

From: ddelami1 <ddelami1@yahoo.com>
Sent: Saturday, March 6, 2021 9:26 AM
To: Kelly VanMarter
Subject: Padre Pio Prayer Chapel

I am asking that the commission let the Padre Pio Prayer Chapel move forward. In this past year of the pandemic, it has shown how vital prayer is needed in all of our lives. Our community, state and country need this blessed grotto to ask for hope in these unsettling times. Please by the powers that be, let them continue to move forward in Padre Pio's name.

God bless all of you.
Debbie Delamielleure

Sent from my Galaxy

Kelly VanMarter

From: Michelle Nist <mnist@comcast.net>
Sent: Friday, March 5, 2021 10:34 PM
To: Kelly VanMarter
Subject: Re: Chilson Road Property

Hello! I am just writing to you in support of the Padre Pio project that is being considered for Chilson Road. I know there was some confusion that there was going to be a hospital actually built in that space, but that is just a future project of the same group and not being considered for that particular property. They are intending for only a small chapel project, walking trails and outdoor grotto for reflection.

I have been to the property and it is already becoming a lovely place to visit and walk. The group intends it to be a simple, peaceful place of prayer and it will undoubtedly increase property values in that area. I have begun volunteering with the group that is working on this property and I feel I can vouch for their good intentions! They will be more than willing to work with the neighbors to make sure any concerns are heard and addressed as they move forward.

You may contact me if you wish! I would be happy to vouch for the good intentions of the group and the people who are making the decisions. They will be excellent neighbors in their endeavors.

Thank you for your time,

Michelle Nist
Hartland, Michigan
(810) 210-6303

Kelly VanMarter

From: Dudley Miller <dudley.miller2016@gmail.com>
Sent: Friday, March 5, 2021 9:05 PM
To: Kelly VanMarter
Subject: I support the Padre Pio Center

Please don't cancel our hope...

Kelly VanMarter

From: Jim Birney <birnejw31@yahoo.com>
Sent: Friday, March 5, 2021 8:42 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Hello Kelly,

I'm a Brighton Township resident, and am writing to voice my full support for the plans for the Padre Pio Adoration Chapel as presented. At a time when hope and relief of suffering is so desperately needed, this project seems very appropriate and beneficial to our community. I encourage you vote in favor of this initiative.

Kind regards,
Jim Birney
11300 Shadywood Dr
Brighton, MI 48114

Sent from [Mail](#) for Windows 10

Kelly VanMarter

From: Mark Santoni <mmsantoni75@yahoo.com>
Sent: Friday, March 5, 2021 6:01 PM
To: Mike Archinal; Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Greetings Michael and Kelly,

Thank you for allowing me to share my thoughts with you & the Board concerning the potential of the St. Pio Adoration Chapel. As I write, I'm asking for this great Saint to guide & inspire me. I'm not accustomed to voicing my thoughts concerning spiritual matters; and I must admit...it's rather uncomfortable. So, Here it is: You don't need to be Catholic to embrace the "Good News" of the Gospel...all are welcome! We've been asked by this Saint to Pray, Hope & Don't worry. Just imagine friends, family & neighbors in Livingston County, the blessings that are available to us. Our world, our country & our county could use some "Good News" after the pandemic and all the political, social unrest & financial hardships many of us are still facing. This is what I know about the project:

- The Chapel will be beautiful - unobtrusive among the natural setting of lush greenery & protected trees...the kind of breathtaking landscape that drew us all here in the first place.
- It will be a Holy place where quiet, contemplative prayer will define it's very existence.

I'm aware that there were concerns expressed at the Feb. 8th. meeting; as to the South Border tree line, the Bell disruption & the Property Use description: please keep in mind that we're asking solely, for a chapel. I believe these are all details that competent professionals are able to resolve. In closing I'm asking this community to envision this project as an opportunity to promote Faith, Hope & Love!

Thank you for your consideration,

Michelle Santoni
2418 E. Coon Lake Trail
Howell, Mi 48843

248-939-1106

Kelly VanMarter

From: ROBERT LOUIS STORK <treborkrots@sbcglobal.net>
Sent: Friday, March 5, 2021 4:52 PM
To: Kelly VanMarter
Subject: Rezoning Meeting

I have been made aware that there is a lot of objection the Padre Pio project on Chilson.

It seems there is a lot of misinformation regarding the project. I hope the real facts will be made clear at the meeting and rezoning will be approved.

Thank you.
Lillian Stork

Kelly VanMarter

From: Supervisor <supervisor@brightontwp.com>
Sent: Friday, March 5, 2021 4:11 PM
To: Kelly VanMarter
Cc: Bill Rogers; annbollin@house.mi.gov
Subject: Padre Pio Adoration Chapel
Attachments: letter.png; plan.jpg

Dear Kelly & Bill,

As a Livingston County resident who cares deeply about our community,
As a devout Roman Catholic,
As a Worthy Knight in the Knights of Columbus,
As a duly elected Township Supervisor in a neighboring municipality,

I encourage the Genoa Township Planning Commission to clear up any misconceptions that the neighbors might have about the planned use of this project.

More importantly, I want to express my enthusiastic support for the Padre Pio Adoration Chapel and encourage you all to vote in favor of this endeavor.

Kind regards,

Patrick Michel
Supervisor - Charter Township of Brighton
Chairman, Board of Directors - Southeastern Livingston County Recreation Authority (SELCRA)
Member, Board of Directors - Brighton Area Fire Authority (BAFA)
Member, Board of Directors - Livingston Community Water Authority (LCWA)
supervisor@brightontwp.com

We need your help!

We have our second meeting with the Genoa Township planning commission on Monday, March 8, at 6:30 pm.

A few neighbors are a bit unhappy believing that a large 1,000 bed medical facility and medical school are planned for the 40-acre site. This is not the plan, and in fact, the 40-acre parcel is not large enough nor does not have sewer or water service so that is not a viable option.

The plan is to follow St. Padre Pio's model and follow the call to relieve suffering by relying first on prayer. To do this we began the Worldwide Perpetual Adoration team, connected with and began some Padre Pio prayer groups, and will build a replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell, MI.

We encourage you to share this information. Please copy and paste the image and share it on your social media channels. Let's pray, get the word out, and calm the storms that have been brewing because as St. Pio said, "Pray, hope and don't worry!" and "...agitation never comes from God."

If you live in Livingston County, MI, please consider sending an email or letter to the planning commission in support of this important project that will bring hope, love, and relief to those suffering.

Email Kelly VanMarter, kelly@genoa.org, or

Write to the planning commission: 2911 Dorr Rd, Brighton, 48116, or

Virtually attend the Planning Commission meeting on March 8, 6:30 pm. If you live in the County would be entitled to make a short statement of support, or

Share this email with others in Livingston County - especially those who live near the property and in Genoa Township.



Catholic Healthcare International (CHI) is pleased to clearly state the vision of the Chilson Rd. Prayer Campus, how it fits into the overall mission, and to clear up the understandable confusion surrounding the project.

While a hospital, medical school, and clinics are still part of the overall mission of CHI, it is NOT our intention - nor would it be physically possible - to build these facilities on the Chilson Rd. campus. Conscious of - and respectful of - the local residents, the Chilson Rd. campus will be ONLY dedicated to prayer as a peaceful and pastoral site of pilgrimage. The prayers from this Chilson Rd. site will support the mission of CHI as it develops in other areas around the country as a beacon of light in healthcare delivery.

Each phase of the mission will be implemented as partners and collaborators come together.

- The Chilson Road prayer campus property was donated to CHI by the Diocese of Lansing. This land was originally intended to build a parish and school. Now, CHI will preserve the natural beauty of this land to provide a peaceful spiritual center. The prayers of the faithful from this tranquil setting will drive the entire CHI vision.
- The Terri Schiavo Home for the Brain Injured unit will be housed in a world-class hospital, funded by donations, to care for the most vulnerable who are suffering from brain injury. **The Home for the Brain Injured WILL NOT be on the Chilson Rd. Prayer Campus.**
- The Home for the Relief of Suffering Hospital will replicate St. Pio's hospital in Italy, the "Casa Sollievo della Sofferenza." **This hospital WILL NOT be on the Chilson Rd. Prayer Campus.**
- The School for the Relief of Suffering Medical School will be a faithfully Catholic medical school. **The Medical School WILL NOT be located on the Chilson Rd. Prayer Campus.**
- Other medical clinics and a foundation for public policy are both long-term goals. **The clinics and foundation WILL NOT be located on the Chilson Rd. Prayer Campus.**

The mission of CHI is huge, but as the doctor who helped St. Padre Pio open the Italian hospital said, "[it] would make us tremble with awe, if it was not inspired by God who is, above all, love!"

Jere Palazzolo

President
Catholic Healthcare International
Info@CHI-USA.com

Kelly VanMarter

From: Rosario Criscuolo <rciscuolo@earthlink.net>
Sent: Monday, March 8, 2021 8:29 AM
To: Kelly VanMarter

Ms. VanMarter,

My name is ROSARIO CRISCUOLO, I have been a resident of Livingston county since 1985 in Brighton and Genoa Township, I currently live in Pine creek subdivision.
This project should not have any objection to its construction. The mural and the altar will serve as a benefit for all its beauty and private worshiping. As adoration Chapel I feel it will highlight the area that in the past was sparingly used.
Please let the citizens of the area it is a Adoration chapel.

Thank you,

Rosario Criscuolo

Kelly VanMarter

From: joanne@joanneharper.com
Sent: Friday, March 5, 2021 1:49 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel is Good for Business (March 8, meeting)

Dear Kelly and Genoa Township Members of the Planning Commission,

Thanks for your consideration re: Building the replica of Padre Pio's Adoration Chapel and prayer trails on the serene and beautiful acreage near Howell. How fortunate you are to have the land in your township! My family and I have been at the site and think it really has potential to benefit the community, now that the confusion over how the land is to be used is cleared up. This letter is just to express support for the project to be approved.

As a citizen of Livingston County, I submit to you that one good reason to advance the cause of this project is this: The Chapel and prayer trails are good for business! Why? People of faith are taught not to fear! And after traveling to such a place in Genoa, they would "Not be afraid" to visit your wonderful shops and restaurants and spend MORE time and money, because you also offer such wonderful businesses. Many people of faith in our communities think nothing of travelling twenty minutes or an hour or more for a good place to worship around the county. But they do think of quality and convenience! My experience has been that shops and restaurants in Genoa are of such good quality and convenience that travelers drawn to the Adoration Chapel would also find convenience and quality and bring added revenues to Genoa Township.

A second consideration as to why the Chapel and the nature trails is good for business has to do with Real Estate Values, especially those in the neighboring area to the proposed site. It is hoped that the neighbors would be pleased, maybe even relieved, to know the Padre Pio Adoration Chapel and the nature trail would be approved. I must admit, I like the simple plan much better, as well. We've seen a good amount of new construction in Livingston County lately, but we know that such cycles ebb and flow. I'm no economist, but I would hope that the value of the homes in the surrounding area would actually INCREASE in value, simply because of supply and demand—less homes available, therefore when demand is high, values increase. Having a mostly "green space" natural area like this behind a home would certainly seem to be an advantage many of us would seek, love and enjoy. I wonder what would happen to the neighboring families if the Adoration Chapel project did not materialize...What would stop a developer from buying the property in tougher economic times (and some think they may be right around the corner) and developing it to the lowest possible legal zoning requirements at that time? How would that impact the supply/demand and the quality of life in the area in years to come?

In conclusion, I hope (and pray) that you will approve the site as it has been more clearly outlined for us all. Thanks so much for your work to serve the community in these decisions and I hope and pray that the March 8th meeting about this topic goes well.

Sincerely,
Joanne Harper
(Hartland Township)

Kelly VanMarter

From: Eric Feiler <efeiler@me.com>
Sent: Friday, March 5, 2021 12:47 PM
To: Kelly VanMarter
Subject: CASA USA Adoration Chapel

Hello Ms. VanMarter,

My name is Eric Feiler and I live close to the site of the proposed CASA USA Adoration Chapel.

The location is ideal for me to spend time in adoration and praying for those who are suffering and I fully support the Chapel project. Apparently there is a misunderstanding that a hospital will be built on the site, which is not the case.

As a neighbor in the area, this ideal site and small chapel will only bring hope, love and relief for those who are suffering.

Please support this project.

Respectfully,

Eric Feiler
8660 Tamarack Dr,
Brighton, MI (Hamburg Township)
48116

Kelly VanMarter

From: 7435marcus@gmail.com
Sent: Friday, March 5, 2021 12:46 PM
To: Kelly VanMarter
Subject: Adoration chapel

I approve of the Adoration chapel. Please, don't cancel our hope!
Sent from my iPad

Kelly VanMarter

From: Gary DeLamielleure <gdel14@comcast.net>
Sent: Friday, March 5, 2021 12:47 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

With the way our world is changing having a Adoration Chapel in our area would be wonderful. I'm in full support of the Padre Pio Adoration Chapel

God, Family, Outdoors

*Gary S. DeLamielleure
810.599.4507*

Kelly VanMarter

From: Ronald Warnat <rwarnat@gmail.com>
Sent: Friday, March 5, 2021 12:25 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

I am in 100% support of this chapel. In this word it is so much more important to take care our spiritual growth.
This is really Great/

Kelly VanMarter

From: Ron Garrison <rgarrison@comcast.net>
Sent: Friday, March 5, 2021 10:54 AM
To: Kelly VanMarter
Subject: PADRE PIO CENTER

I support the construction of the Padre Pio Center located in Genoa Township. It is my hope that careful consideration be given to allow the construction of this religious center.

Best Regards,

Ron Garrison
rgarrison@comcast.net
4779 Island Shore Dr
Pinckney, MI 48169

March 1, 2021

Genoa Township
Mr. William Rodgers, Twp. Supervisor
2911 Dorr Road
Brighton, MI 48116

Dear Mr. Rodgers and Team,

Our names are Lorraine and Dan Crawford. We moved to Howell in 1998 and we live in Osceola Township off of Gold Club Road.

We are only a mere few miles from the St. Padre Pio Casa Property on Chilson Road. Chilson has always been one of our favorite roads in Livingston County. We are aware of the proposed project of the CHI Team and we support them 100%. We feel very blessed to have such a great location for a tranquil, spiritual escape. The leaders and CHI Team are comprised of members of the utmost integrity. They are being obedient to a God-given calling to see this plan through.

We understand the long-time neighbors near this property have some concerns. Our prayer is they have had a year now to gradually accept there will be some development on a lot that was vacant for years. We also pray they realize the scaled down use of this land as a grotto, walking trails and prayer chapel. Gratefully, there is already a full, mature wall of trees dividing the property line to the side. We're also confident that CHI will listen to any concerns and do their best to address them.

We respect the gravity of all the decisions you have to make for the future of this amazing Township. We encourage you to go forward with the Project and will be praying for your discernment.

Gratefully yours,

Daniel + Lorraine Crawford
2564 Ravine Side South
Howell, MI 48843

March 8, 2021

To: Genoa Township Planning Commission:

Re: Request to Deny Special Land Use Application at 3280 Chilson Road

From: Residents of Genoa Township

Dear Commissioners: Thank you for your community service and representing the interests, laws, codes, and ordinances of the citizens of Genoa Township. We have organized and we are submitting the following facts and citizen positions to request denial of the land use applications by Catholic Healthcare International at 3280 Chilson Road.

Whereas, the site commonly known as 3280 Chilson Road and all properties in the vicinity are zoned for agricultural and country estate uses.

Whereas, the Genoa Township Master Plan Future Land Use maintains AG and CE zoning.

Whereas, the proposed use of a chapel, paved parking lot, and bioswale are substantially different from the existing conditions in the AG and CE zoned areas.

Whereas, the proposed use will cause new disruptions such as light pollution, noise pollution, increased traffic, road modifications, after hours use, and similar.

Whereas, Genoa Township is a home rule municipality in the State of Michigan, and the planning commission has the right to deny.

Whereas, the applicant's proposed development deviates from the township's General Review Zoning Standards and Requirements for special land uses. Article 19 Section 19.03 of the Genoa Township Zoning Ordinance, "The Planning Commission shall require the following general standards shall be satisfied for the use at the proposed location, in addition to specific standards for individual special land uses listed in the districts."

Whereas, under Article 19, Section 19.03.01 the applicant's proposed chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes deviates from the township master plan for agricultural and country estate residences for both current and future land use.

Whereas, under Article 19, Section 19.03.02 the proposed architectural rendering of the chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes are not compatible with the existing character which is best exemplified by their absence in the vicinity.

Whereas, under Article 19, Section 19.03.03 infrastructure is minimal or non-existent in the area and this development will predicate an expansion review of Chilson Road and other utilities.

Whereas, under Article 19, Section 19.03.04 the development's impact will create new activities that are detrimental to the surrounding natural environments including the land, water, and livestock by creating excessive production of traffic, noise, glare, storm water run-off or other types of commercial nuisances.

Whereas, under Article 19, Section 19.03.05 mitigation is impractical or impossible, including noises from bells, glare from lighting, and increases in traffic in an area underserved by interconnecting roads.

Whereas, this petition will document the desire to maintain the agricultural, country estate, rural lifestyle along Chilson Road.

Whereas, the applicant has identified this development as a national destination for pilgrimages which will attract an undetermined number of visitors without accommodation.

Whereas, this development and its impacts will be permanent.

Whereas, we realize economic development is desirable when it is constructed in designated areas zoned to intentionally support it.

Whereas, Genoa Township has provided economic development zones of opportunity to support growth while maintaining the traditional rural atmosphere in the region.

Whereas, from 2019 to present the applicant has employed a public relations campaign through local Catholic parishes, the media and YouTube promoting plans to construct multiple uses in several phases.

Whereas, the property currently identified as 3280 Chilson Road was donated by the Archdiocese of Lansing and is commonly referred to as "The Howell Campus" in the applicant's messages and materials.

Whereas, the applicant's vision plan for the Howell Campus includes a hospital for this location for which they were denied a Certificate of Need by the State of Michigan in 2019

Whereas, the applicant has identified additional multiple uses for the Howell Campus including a rehabilitation facility, a medical school, and a public policy research center.

Whereas, the applicant has sought to expand their geographical footprint by contacting neighboring residents to open a dialogue to purchase their property.

Whereas, we recognize the applicant's first amendment rights and hope to blend those with the property rights of all residents within the zoning ordinances of Genoa Township.

Whereas, we fully support this multi-phase development and all its various uses within the boundaries of Genoa Township and Livingston County at a different site location where compliant zoning will contribute to economic development in the region.

Whereas, the applicant has previously constructed a rustic grotto, altar, trails and undeveloped driveway without obtaining local permits, and recognizing it may be reasonable for the township to bring that into compliance, and recognizing this underdeveloped use may be viewed as somewhat characteristic with the area, we encourage the planning commission to approve the existing structures in "as-is condition" with "shall comply with current zoning language" and prohibit further development and improvements, except those that meet the zoning standards of AG and CE, by means of deed restrictions or similar.

We submit the following sample motions for action in the affirmative:

Motion 1: Move to deny Catholic Healthcare International Special Land Use Applications and Site Plans at 3280 Chilson Road.

Motion 2: Move to request Catholic Healthcare International to submit a Special Land Use Application, renderings, environmental impact study and supporting documents representing the current as-is conditions and request these as-is conditions shall comply with AG or CE zoning and building codes with no further improvements.

Motion 3: Move to authorize administration to seek deed restrictions prohibiting additional improvement or development, except those that comply with AG or CE zoning.

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page ____

Printed Name: GEORGE SLATER

Address: 3846 TIMBER GREEN CT.

Signature: George Slater

Printed Name: _____

Address: _____

Signature: _____

Printed Name: Deborah Slater

Address: 3846 Timber Green Ct.

Signature: Deborah Slater

Printed Name: _____

Address: _____

Signature: _____

Printed Name: _____

Address: _____

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Signature: _____

Printed Name: _____

Address: _____

Signature: _____

Printed Name: _____

Address: _____

Signature: _____

Printed Name: _____

Address: _____

Signature: _____

Kelly VanMarter

From: Jerry Tarnacki <gerard.tarnacki@outlook.com>
Sent: Friday, March 5, 2021 9:49 AM
To: Kelly VanMarter
Cc: kathy.tarnacki@gmail.com
Subject: Catholic Healthcare International

Hello Kelly,

We live at 4418 Muirfield Drive at OakPointe and just wanted to share with you that Kathy and I are in favor of this project. We believe it will be a tremendous blessing to our area if the dedicated, faithful, and compassionate people involved are allowed to offer healing and encouragement to those in need.

I'm confident CHI will enhance the already amazing culture we each experience living in Brighton, Howell and Genoa Township. But we shouldn't disregard that there are good people among us that are struggling. Let this be a situation where we consider strongly the benefits of CHI and not the inconvenience of this beautiful mission.

These are challenging times, children and young adults are being improperly influenced by society in ways that I never experienced growing up. It's taking its toll on their health and well-being. What a great opportunity to help them get back on their feet, to live more happily and contribute positively to our society as healed children of God.

At the 1956 inauguration ceremony for the Italian hospital which has influenced CHI, Padre Pio said, "a seed has been sown on the Earth that [God] will warm with the rays of his love... a place of prayer and science." A year later, he noted that at the Casa "patients, doctors, priests shall be reserves of love and when it abounds in one, so it shall be passed to all."

Thank-you for your consideration Kelly and we pray God will guide you plus all those involved in this worthwhile journey.

God Bless,

Gerard Tarnacki
jerry@mcrep.com
(734) 834-0553



Kelly VanMarter

From: William Russell <Brussell@selecttitleagency.com>
Sent: Friday, March 5, 2021 9:17 AM
To: Kelly VanMarter
Subject: Padre Pio Chapel

Please share with the Board my support for the approval of the Padre Pio Chapel on the Genoa Township property. It will be a quiet place of prayer and adoration that will be a credit to the area. Faithful Catholics of Livingston County are excited and really looking forward to the development of this beautiful area as a place of quiet reflection and prayer.

I hope the Board passes this request.

Thanks,
(Dcn. Bill OFS)
William T. Russell
Attorney at Law
Select Title Agency
6870 Grand River
Brighton, MI 48114
810-220-1370
810-220-2094 Fax
586-942-8722 Cell
brussell@Selecttitleagency.com

"OREMUS PRO INVICEM"

Kelly VanMarter

From: gridela.09@comcast.net
Sent: Thursday, March 4, 2021 8:33 PM
To: Kelly VanMarter
Subject: Chilson Road Prayer Campus

Dear Assistant Township Manager,

We have lived in Livingston County most of our lives and have raised our 5 children there. It is a wonderful community and we were excited to hear about the plans for a Chilson Rd. prayer campus.

The idea of a peaceful place to be at rest, pray, and walk with the Lord is simply amazing. We have no doubt that all of Genoa Township would benefit and be blessed by this spiritual center.

We hope and pray the planning commission listens to the facts of the situation and is able to come to a decision to approve the prayer campus. Future generations of Genoa Township residents will reap the benefits for years to come.

Regards,

Paul & Kathy Grisdela
517-294-1116
3663 Olde Dominion
Brighton, MI 48114

Kelly VanMarter

From: jeanlizak <jeanlizak@comcast.net>
Sent: Thursday, March 4, 2021 7:17 PM
To: Kelly VanMarter
Subject: CHI PADRE PIO PROJECT

I wish to express my support for this wonderful project. Hopefully, the truth about its scope and purpose will calm those who are in a frenzy without cause. I have visited the site and find it to be a place where all are welcome to spend time in a peaceful and beautiful setting.

Please rezone this property so that CHI can continue with it's very meaningful project.
It will be a positive addition to our community.

Thank you
Jean Lizak

Sent from my Verizon, Samsung Galaxy smartphone

Kelly VanMarter

From: Kathy Tarnacki <kathy.tarnacki@gmail.com>
Sent: Thursday, March 4, 2021 6:55 PM
To: Kelly VanMarter
Subject: Health Care International Project

Dear Kelly,

I am writing this email to share my excitement and support for this project! I have seen posts by local residents speaking against it, concerned about things like traffic etc... this would bring to our area and I couldn't disagree more with their objection. Yes, we have medical facilities in our area already, but there is nothing like this available anywhere near us. The uniqueness of this project and the people it would serve would be such a gift to this community, and would become something beautiful that this community supports. I strongly urge all those involved to look beneath the surface of facts and consider the amazing and life changing opportunity this would afford so many. WE are so fortunate we even have the opportunity to have something like this!

Thank you for this opportunity to share my support for this project, Kathy Tarnacki
4418 Muirfield Dr
Brighton, MI

Kelly VanMarter

From: Brenda Ulmer <mag7ulmer@gmail.com>
Sent: Thursday, March 4, 2021 5:08 PM
To: Kelly VanMarter
Subject: St. Padre Pio House on Chilson Rd.

We support this beautiful project and pray that it develops properly into fruition.

Brenda Ulmer and family

From: [Duane Johnson](#)
To: [Kelly VanMarter](#)
Cc: melandduane@yahoo.com
Subject: RE: Chilson Chapel zoning change request.
Date: Monday, February 8, 2021 10:02:10 PM
Attachments: [image003.png](#)
[image004.png](#)

Kelly,

Please forgive me filling your email. After hearing the applicant's response reacting as though offended and claiming there are no other plans for this site and stating they would like to see the site where the vision includes a hospital and other items, I wanted to supply the link and a pdf of it to you before it got changed.

<https://catholicreview.org/michigan-project-to-replicate-padre-pios-famed-hospital-in-italy-is-underway/>

"A procession opens a Sept. 23, 2020, Mass during the dedication of 40 acres of land in Howell, Mich., donated for the planned "Casa USA" project. The complex will include a replica of St. Pio of Pietrelcina's famous "Home for the Relief of Suffering" hospital in Italy, an adoration chapel, a medical school and the Terri Schiavo Home for the Brain Injured in the spirit of the Italian saint's devotion to the critically ill and dying. (CNS photo/Richard G. Lim, courtesy Catholic Healthcare International)"

The paragraph above is from the site. Set just below a picture.

A bit further in the article:

"Right now only a small outdoor grotto with a mural dedicated to St. Pio sits on the land, but in the years ahead, there will be a hospital, an adoration chapel, a Catholic medical school and a rehab center named the Terri Schiavo Home for the Brain Injured."

Kind regards



EXECUTIVE
WEALTH MANAGEMENT

Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

Web : ewmadvisors.com

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From: Duane Johnson
Sent: Monday, February 8, 2021 8:34 PM
To: kelly@genoa.org
Subject: Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

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From: [Kelly VanMarter](#)
To: [Amy Ruthig](#)
Subject: FW: Chilson Chapel zoning change request.
Date: Tuesday, February 9, 2021 10:28:13 AM
Attachments: [image003.png](#)
[image004.png](#)

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: Duane Johnson [mailto:djohnson@ewmadvisors.com]
Sent: Monday, February 8, 2021 8:34 PM
To: Kelly VanMarter
Subject: Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

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From: [Joseph Pasko](#)
To: [Kelly VanMarter](#)
Subject: Comments for the March meeting"s call to the public of Genoa Planning Commission"s proposed religious sanctuary
Date: Tuesday, February 9, 2021 8:23:33 PM

We attended the Planning Commission Electronic Meeting on Monday, Feb 8th and after a night of reflection, have a few observations and comments.

The presentations were thoughtful and informative of those seeking to proceed with their project.

When Bishop Earl Boyea graciously donated the parcel, it was, and still is, zoned as agricultural/country estates. When Catholic Healthcare Int accepted the donation, they also accepted this zoning fact. If they had other use plans that do not conform to the zoning conditions, possibly they should have also have equally graciously rejected the donation.

The two individuals who were most in favor of the presented project, spoke of the spectacular quantity and quality of health care that it would bring... I may have missed it but I do not recall hearing an overwhelming desire to use this tranquil parcel for their own quiet prayer and reflection.

The Township's Master Plan of Future Land Use for this parcel as well as those many others nearby, clearly are zoned as Agricultural/Country Estates. What is the purpose of the Master Plan, if projects can be approved that don't seemingly fit this criteria? I've read some of the previous filings regarding the site plan review and although this specific project's impact can technically conform to the zoning requirements I also feel a hint of future use.

The CHI website itself, (<https://www.chi-usa.com/news/latest-news/>) indicates... "Detroit Catholic: Project to replicate Padre Pio's 'Home for the Relief of Suffering' in Michigan"

"HOWELL — On a 40-acre plot of land in Howell, in the Diocese of Lansing, stands the humble foundation for the establishment of a worldwide network of health care facilities that St. Pio of Pietrelcina set in motion nearly 70 years ago.

In 1956, the saint better known as Padre Pio founded "Casa Sollievo della Sofferenza," or the "Home for the Relief of Suffering," in San Giovanni Rotondo, Italy. The Casa is a world-renowned Catholic international research hospital serving the poor and destitute, and today houses up to 1,000 patients.

Of everything he did on earth, Padre Pio once said, this was the most important. It was his dream the project would one day expand and reach other parts of the world.

That day has now come.

Thanks to the vision, faithfulness and tenacity of several Catholic health care organizations, individuals and the patronage of Lansing Bishop Earl Boyea, **the Howell project**, known as "Casa USA," **seeks to duplicate St. Pio's hospital complex** for the first time outside of Italy, including an exact replica of the great Capuchin saint's original friary church.

Though the idea has been in the hearts and minds of many for decades, the physical establishment of the campus began when Bishop Boyea donated **a 40-acre plot of land for the cause.**

While the land remains empty now with the exception of a small outdoor grotto with a mural

dedicated to St. Pio, in the years ahead, it will hold not only a hospital, but an adoration chapel, a Catholic medical school and the "Terri Schiavo Home for the Brain Injured," a rehab center for those with severe brain injuries. " (emphasis is mine)

I feel that this may be more than just a hint and I cannot wrap my mind around the fact that the actual use of this parcel would be for agricultural/country estate purposes.

The Master Plan's introduction states among, other things, "The implementation of the policies and actions of this plan will help insure that Genoa Township remains a desirable community in which to live, work or visit by allowing residents"....."make investments with a reasonable expectation of what will happen in the future. **It is of extreme importance to emphasize those qualities of the Township identified by residents, businesses and property owners as highly desired."**

I feel bad that CHI is facing a great deal of opposition, but the problem may be of their own making.

We vehemently oppose this project and urge the Board to do so also.

Joseph & Renee Pasko
2765 Kings Ct
Howell, MI

From: [Mel and Duane](#)
To: [Kelly VanMarter](#)
Subject: 3280 Chilson, chapel
Date: Thursday, February 18, 2021 8:36:40 AM

To my planning representatives:

I urge you not to begin this process due to the subversive nature of the presentation by CHI on February 8th

CHI represented 'At this time, there are no "plans"...' You need to understand their vision they intend to pursue. Below I have provided some information to aid in helping you understanding CHI's vision. As a member of this committee you have the sole responsibility to represent the interests of this community, and we say no thank you.

CHI's vision:

1) Published December 4, 2020 appeared on the Detroit Catholic web site:

"The Howell campus is a massive undertaking and it will take years to complete, but Palazzolo and his team have broken it down into phases"

2) "DONATIONS are greatly appreciated and much needed to move forward with the Padre Pio Shrine and Hospital. Please pray about how you can help and click on the link to donate online."

Phase 1: Building the Grotto and Adoration Chapel (with a list of current needs)

Phase 2: The Terri Schiavo Home for the Brain Injured.

<https://stjosephhowell.com/padre-pio-prayer-ministry-and-shrine-info>

3) The chapel will be at the heart of the new hospital complex.

<https://www.dioceseoflansing.org/news/prayers-new-catholic-hospital-michigan>

4) "The initial Casa USA will incorporate all three pillars in a single comprehensive campus." Interestingly a chapel is not one of the three pillars. (See attachment below.) "The first pillar of the Casa USA program is the establishment of a truly faithful Catholic physician practice network. The second pillar of the program is the replication of the Casa Sollievo della Sofferenza hospital in the United States. The third pillar is the development of a truly faithful Catholic medical school to provide formation of physicians and ancillary healthcare professionals to practice as faithful Catholics in this ever more secular country of ours."

This site, by definition cannot suit CHI's needs. <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC5375596/>

5) The 'Campus will include a replica hospital, shrine, medical school and a network of physician practices'

<https://www.youtube.com/watch?v=HTvRw0rRcIE>

6) Jere Palazzolo, President of CHI communicates... (in the following video) 'There will be a replica of that Casa hospital, chapel, medical school for the Relief of Suffering, a shrine for pilgrimage, and a call to help build this chapel to create this foundation of prayer and then move on with the rest of our vision.'

<https://www.youtube.com/watch?v=aF0DV3PyE24>

7)

1) A replica of St. (Padre) Pio's "Home for the Relief of Suffering" hospital in Italy

2) A fully faithful Catholic medical "School for the Relief of Suffering" in the charism of St. Pio

3) A network of faithful Catholic medical clinics and physician practices

4) A "Santa Maria delle Grazie" Pilgrim Shrine, a replica of the Church in San Giovanni Rotondo, Italy where St. Pio celebrated Mass daily for his spiritual children

5) A regional network of formally chartered Padre Pio Prayer Groups providing foundational prayer support for the success of the Casa USA vision

6) A Perpetual Adoration Chapel for pilgrims to pray for this inspired apostolate
https://www.youtube.com/watch?v=lwrw_UzhKSo The above list and more information is listed below the video.

8) This YouTube video is very long but very specific in clarifying their mission, which begins at about the 30 minute mark, and is also one of the 1st mentions of a Chapel and not a, hospital. "Quickly" move to Phase 2, build the Terri Schiavo care unit, and then Phase 3 a hospital that can teach Catholic care practices; the Terri Schiavo care unit may then be moved inside of the hospital. This video begins at the property to hold all these facilities, 3280 Chilson. <https://www.youtube.com/watch?v=ob6Wy9VLRO8>

9) CHI is one of the largest health care systems in the country maybe the world with billions of dollars easy to "change" direction of this community.

10) In 2018 CHI applied for a 200 bed hospital, The Home for the Relief of Suffering and was denied by the State.

(I was unable to find my source when putting this information together)

May I also remind you that the only two supporting voices of the February 8th web meeting lived outside of Genoa Township; both of whom referred to this site as a hospital. That clearly demonstrates the message CHI has delivered from the pulpit, is the opposite of what they delivered to us in their presentation (Feb 8, 2021). Discussions on social media have many people talking about this site almost exclusively as a hospital/hospice, we don't need to ask where they got their information. In the closing of that meeting a CHI representative said "you can put it in writing there will be no medical facilities at this site." Does not include there will be no medical school, or rehab per say.

You should not just vote on the proposal in front of you, thereby setting a precedent!
Keep the zoning that is contained in the Master Plan. No Special Use should be allowed!

Sincerely,
Melanie Johnson
3990 Chilson Road



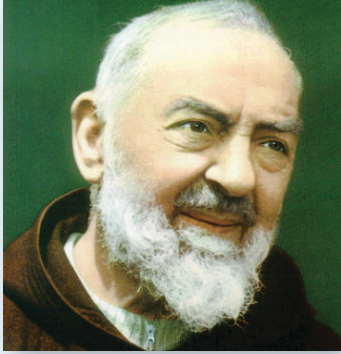
† CATHOLIC HEALTHCARE INTERNATIONAL

Uniting Healthcare with Holiness to Relieve Suffering

WWW.CHI-USA.COM

FALL / WINTER 2020

Padre Pio's Hospital In The USA...



On October 1st, 2009 this Vatican-owned hospital executed a formal Collaboration Agreement with Catholic Healthcare International (CHI) to replicate Padre Pio's hospital, called the "Home For The Relief Of Suffering", in the United States...as a "Beacon of Light" in a secularized culture which continues to slip further each year from its Christian foundation.

Padre Pio is a very famous contemporary saint, who continues to touch many lives with miracles even today. He was a Capuchin friar who bore the five wounds of Christ, a confessor, a miracle worker, a saint, and the founder of the Casa Sollievo Della Sofferenza (His "Work") in Italy.

Padre Pio's Casa is a world renown international referral hospital, considered one of the best in its class. It is also a model of truly faithful Catholic healthcare delivery in a very secular world.

As Padre Pio said, we will build a "Cathedral of Love", "A Clinic for the Body & the Soul", to serve the "Twice Jesus" in the poor and the sick. The Casa USA will be the fruition of the long awaited vision expressed by the Director originally chosen by Padre Pio to build his hospital in Italy:

"The Casa Sollievo Della Sofferenza should therefore be the first link in a great chain. It should be the model for many other innumerable Casa's with the same name and above all the same spirit, which must bring love to all of humanity. A program which would make us tremble with awe if it was not inspired by God who is above all Love!"

-Dr. Guglielmo Sanguinetti 1950

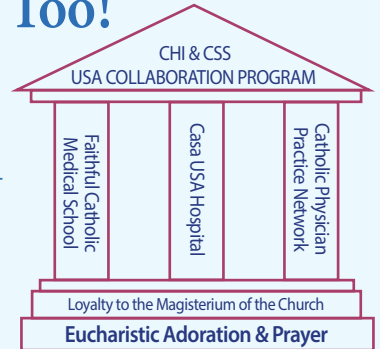


Casa Sollievo Della Sofferenza in San Giovanni Rotondo, Italy

...& A Faithful Catholic Medical School Too!

Just as the Casa USA hospital will be a "Beacon of Light" and model of truly faithful Catholic healthcare deliver in our ever-secular society, a similarly faithful medical school is needed to train Catholic physicians to practice faithfully amid the challenges they will face in the world.

We will develop a Catholic medical school that is completely faithful to the Magisterium of the Catholic Church and obedient to the Bishops in all matters of faith and morals.



CASA USA THREE PILLAR VISION

It will be a haven for Catholic medical professionals seeking to arm themselves with the tools to practice in Truth.

Join the first ever Worldwide Perpetual Eucharistic Adoration Program

A truly groundbreaking Church-wide initiative in the charism of St. Padre Pio



CHI-ADORATION.COM

**Uniting Catholics to spiritually support Padre Pio's Home for the Relief of Suffering...
One is coming to the United States!**

Many more people are needed to have 24/7 prayer to support the Casa Hospital in Italy & the proposed Padre Pio Shrine and Casa Hospital in Howell, MI.

Adorers who register will commit to adding Padre Pio's Hospital in Italy & our Casa USA initiatives to their intentions as they pray before the Blessed Sacrament.

The registration takes only two minutes and people can add times, change times and remove themselves from the schedule easily.



Cardinal Raymond Burke encourages you to join this inspired vision!

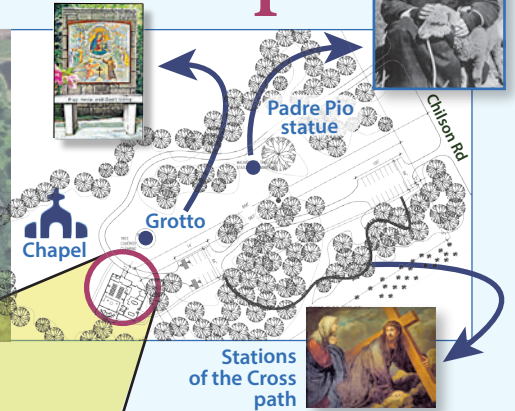
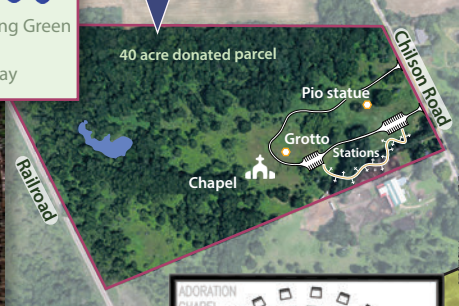
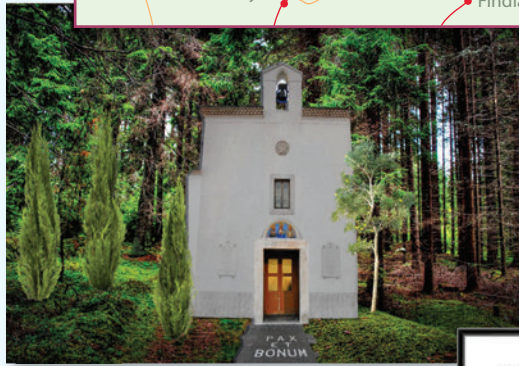
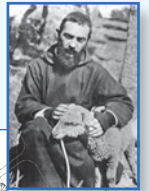
It is Time

The plans are in place...

The renderings have been drawn...

We are ready to go with **Phase 1**

St. Pio Perpetual Adoration Chapel



\$5 Million is needed to build a replica of the original friary Church in Italy as our **St. Pio Perpetual Adoration Chapel** on the land donated by Bishop Boyea in Howell, MI.

Please give a tax deductible donation to complete Phase 1

We need your help

WWW.CHI-USA.COM



SWANSON DESIGN STUDIOS



*"That is the goal of the Work:
To care for the body to arrive at the soul."*
- Padre Pio

St. Pio Perpetual Adoration Chapel on Casa USA Campus

A couple of anonymous donors have generously committed to underwrite the construction of an outdoor grotto on the land donated to us by the Diocese of Lansing for our Casa USA campus in Howell, Michigan. The grotto will highlight a shrine to St. Padre Pio, and will also feature originally commissioned Stations of the Cross by American artist Joseph Chovan, which will illustrate Padre Pio accompanying Jesus in His Passion on His journey to Calvary. We are tentatively planning to christen the grotto on September 23rd, 2020 as a part of our celebration of the Feast of St. Pio. Please mark your calendar and plan to join us personally.



Phase 2

Terri Schiavo Home for the Brain Injured is being planned and collaborated with a World-Class Rehab Center that will bring the dream of Bobby Schindler, brother of Terri Schiavo and Founder of the Terri Schiavo Life & Hope Network, to implement a safe-haven center for patients with traumatic brain issues like his sister to a reality. Please pray for the speedy implementation of this greatly needed and integral part of our Casa USA mission.

Kelly VanMarter

From: ranger425@aol.com
Sent: Sunday, February 21, 2021 10:18 AM
To: Kelly VanMarter; whatsnext4u@yahoo.com
Subject: Proposed Building project by Catholic Healthcare International on Chilson road, Genoa Twp.

To Whom it May Concern:

I did a little research on the Internet and discovered that the Catholic Healthcare International project is based on a similar large project in Italy. The Italian model, for which the proposed Genoa Twp project will mirror, is a very large operation that includes a medical school conducting Stem Cell research, clinical research for new and experimental drugs and other scientific research. My concern is; this project is totally in the wrong area, rather than serving an area where these services are needed it is located in an area where these concerns are already provided for by universities. The addition of this project in this area represents an "needless over-supplying" with no apparent benefit for the residents of Genoa Twp. Long story short; we have enough hospital beds, we have enough research facilities in the form of 3 world class medical universities within a 50 mile radius, and most importantly the location is AGRICULTURAL/RESIDENTIAL. It is my opinion that the reason for locating this project here in Genoa is the fact that the proposed building site has been DONATED by the Catholic Church. This proposed project represents a shift in the peace and tranquility of the farming and residential area that is neither wanted nor needed by anyone other than Catholic Healthcare International.

Robert Lagana, 3710 Westphal road, Howell, Michigan 48843 517294-1211

Kelly VanMarter

From: Nancy Duey <nduey@stpatchurch.org>
Sent: Thursday, February 25, 2021 3:09 PM
To: Kelly VanMarter
Subject: Proposed CASA USA Chapel

Follow Up Flag: Follow up
Flag Status: Flagged

Hello,

I would like to share my support for the beautiful opportunity for the Padre Pio Adoration Chapel to be built on the current available land located in Howell. I have stopped by there on a few occasions simply to find peace and pray and it is a wonderful location to do just this. I hope that the plans will move forward and that all resistance to this effort be removed.

Thank you,

Nancy Duey
Howell Resident

--

Nancy Duey
Director of Evangelization
St. Patrick Parish
810-229-9863 ext. 203

Joy is a net of Love by which you can catch Souls.

Saint Teresa of Calcutta

From: [John Coon](#)
To: [Kelly VanMarter](#)
Subject: In Support of the Padre Pio Adoration Chapel
Date: Friday, February 26, 2021 3:10:06 PM

Dear Commissioner VanMarter,

I am a long-time resident of Livingston County, with 23 years in Brighton. Our family loves the whole Brighton-Howell area. It is a fantastic place to raise a family and have a good life.

I want to support you by encouraging you to say yes to the proposed Padre Pio Adoration Chapel. This is a fantastic opportunity to bring authentically virtuous culture to our community. Padre Pio is honored by hundreds of thousands in our Western world. He is a man of peace and great charity. Not only our local residents will enjoy such a development, but people who honor this man from far off would be happy to visit our community and see that it is a wonderful place. Please offer your support with confidence, knowing that much good may be accomplished by your doing so. Thank you for your kind consideration.

Feel free to contact me if you would like to discuss further.

Kind regards,
John Coon,
248-303-0344

Kelly VanMarter

From: terkim99@yahoo.com
Sent: Saturday, February 27, 2021 10:27 AM
To: Kelly VanMarter; aoreilly@CHI-USA.com
Subject: Catholic Healthcare International Prayer Chapel

Dear Genoa Township Board,

Greetings! I am writing to you today regarding the proposed building site at 3280 Chilson Rd. It is my understanding that Catholic Healthcare International (CHI) is requesting permission to build a Eucharistic prayer chapel and prayer-trails on the property. I also understand that neighbors and people in the community have concerns about the proposed building. I would like to give my opinion, as a person who lives in the community (2.8 miles from the site).

I frequently travel right by the building site, on my way to downtown Howell. Since Latson Rd. has opened, I find taking Chilson is less busy and rather peaceful. I enjoy the scenic ride down this particular section of Chilson, with its rolling terrain and farmland. I understand the concern about putting a public facility on the property that is residential and beautifully peaceful, however, I really feel that the chapel and prayer trails would not diminish the ambiance of the area.

As a Catholic, I understand what a Eucharistic chapel is. It is a place where people worship our Lord, in the Eucharist. People come to the chapel to pray. These types of chapels are typically extremely quiet, as people in the chapel are in quiet and contemplative prayer. Basically, the unspoken rule is to not make a peep when you enter the chapel, out of respect for other people praying and for our Lord. There generally is never any chit-chat or conversations in the chapel.

I describe this so that you can understand that the chapel would likely be a very quiet and not-much-inhabited facility. I'm not sure if CHI would ever hold mass in the chapel (I guess it depends on the size of the chapel), but during normal hours, I can assure you that the chapel would likely have few people in it and would definitely be quiet.

The trails would also likely be relatively quiet and not very busy. My husband and I took a drive to the property in the fall and we had a wonderful and peaceful time, enjoying nature and praying as we went. It is already beautiful there.

My husband and I fully support the CHI endeavor proposed for 3280 Chilson Rd. We feel it would be a wonderful benefit to the Catholic community and it would be a wonderful and peaceful addition to the neighborhood. I can assure the neighbors that there would hardly be a disruption to what is already there...nature! I would also urge the neighbors to consider what might end up going on the property, which could be worse.

If the property were to be subdivided and a subdivision were to be put there, the noise, traffic and chaos could potentially be bad. Likewise, if in the future, a different owner were to approach the Board about putting a different commercial facility on the site, the property would be 1000-

times worse regarding traffic and chaos! If you consider Chilson Rd., near Brighton Rd., it is commercial and it has a lot of traffic traveling through the area. Think Vic and Bob's on a Saturday in the peak camping season of the Summer! I'm sure the neighbors would not like that scenario, and would much prefer a quiet little chapel with a handful of beautiful trails.

I urge the Board to please consider this wonderful opportunity to offer a place of worship to the community while also preserving the beautiful nature of Chilson Rd. It really is a win-win situation for the community. I will be praying for the success of the project. If I could be of any further assistance in this matter, I would be happy to help.

God bless you and thank you for serving our community.

Sincerely,

Kim Lamb

517 304-1524

5450 Richardson Rd. Howell, MI 48843

Kelly VanMarter

From: Janell <rpharbaugh@att.net>
Sent: Monday, March 1, 2021 9:34 AM
To: Kelly VanMarter
Subject: Re: Padre Pio Chapel at 3280 Chilson Road

Thank you.

2685 Ravineside Lane North
Howell, MI 48843

Janell Harbaugh

> On Mar 1, 2021, at 9:03 AM, Kelly VanMarter <kelly@genoa.org> wrote:

>

> Received. Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: kelly@genoa.org, Url: www.genoa.org

>

> -----Original Message-----

> From: Janell [mailto:rpharbaugh@att.net]

> Sent: Sunday, February 28, 2021 8:58 AM

> To: Kelly VanMarter

> Subject: Padre Pio Chapel at 3280 Chilson Road

>

> Genoa Township Planning Commission and residents,

>

> Thank you for your consideration in the approval of this serene place of reflection that the proposed chapel and trails would afford in Genoa Township.

>

> I understand that there are no plans for larger construction, as the property is not large enough to accommodate a hospital and/or university.

>

> The property does offer plenty of nature that will be preserved and appreciated for its abundant peace. It will continue to be a benefit to neighbors and the community; indeed more so as a maintained natural space.

>

> Thank you,

> Janell Harbaugh

>

>

From: [Mary Anne Bastian](#)
To: [Kelly VanMarter](#)
Subject: Proposed Padre Pio Adoration Chapel
Date: Monday, March 1, 2021 3:21:43 PM

Hi Kelly,

I am writing to express my support for the proposed construction of the Padre Pio Adoration Chapel in Genoa Township. The proposal is for a beautiful adoration chapel on a 40 acre property, surrounded by groomed walking trails with prayer stations which will be open to the public. The whole concept is for a peaceful, prayerful place for people to go for rest and spiritual rejuvenation.

Unfortunately, there seems to be a misunderstanding about what is planned for the property and how that will impact the neighbors. A proposed hospital and medical school are not planned for this location would not fit on this property . What will be built, if approved, would have minimal impact on the neighbors and I believe those in charge will do everything they can to be good neighbors as shown at the last meeting with their agreement to accept the requests of the neighbors to add trees along the property line, limit the ringing o the bell, add security measures and provide an operation plan.

I would like to request and recommend a positive vote for approval of this project, which will benefit all those in the area.

Sincerely,

Mary Anne Bastian
Brighton, MI

--

Mary Anne Bastian
Director of Faith Formation
Holy Spirit Catholic Church
9565 Musch Road
Brighton, MI 48116
810-231-9199 ext. 209
FAX 810-231-6129

Kelly VanMarter

From: Leslie Bohnett <lbohnnett@hotmail.com>
Sent: Tuesday, March 2, 2021 6:11 PM
To: Kelly VanMarter
Subject: FW: Proposed development for 3280 Chilson Rd

Dear Planning Commission,

As a home owner living at 3367 Chilson Rd, and one home south of the proposed chapel on Chilson Road, I have several concerns I want to express regarding rezoning proper and the construction of a church.

- 1) The proposed site for the chapel is located in a rural and agricultural area. I strongly oppose the rezoning of this land. This is an incorrect location to build a chapel and future hospital. This land needs to remain as a designated agricultural area.
- 2) I am concerned about the increased traffic for chapel activities. On September 23, 2020, there was an event on this proposed site, the traffic was congested and vehicles were parked on the side of the road. In addition, some people missed the entrance to the event and used my driveway as a turn around (I have a circle driveway).
- 3) I understand the chapel wants to erect a bell tower and ring the bells every hour on the hour. I definitely DO NOT want to hear a bell chime every hour every day. It is bad enough to hear the sirens and gas blow off at the gas plant behind me. Even the churches with bell towers in downtown Howell do not ring the bells hourly. I feel it is very disruptive to everyone who lives by the chapel to constantly hear the bells chime. I live one house away from this proposed site and it is too much.
- 4) I also read a news article published by the Catholic Healthcare International that a grotto,, chapel and hospital WILL BE BUILT on this property (In<https://www.chi-usa.com/mi-campus/adoration-chapel/>). In fact, this organization is currently accepting donations to help fund these projects. Despite what has been stated at the previous township meeting, the owners of this land clearly plan to create a campus with a hospital, rehabilitation center, medical school, and research facility. It is already being promoted, published though the Catholic Church, and donations are being accepted. Again, this is a rural and agricultural area and I strongly feel it is extremely inappropriate to have these facilities located on this 40 acre parcel. We already have several of these types of facilities in Livingston County and do not need more.
- 5) The grotto has already been built and a ceremony was held on 9/23/20. Were permits approved and granted for the grotto?
- 6) On 2/16/21, DTE installed a power line on the property. Is construction proceeding without approval and permits?
- 7) We built our home on Chilson Road in 1996 because this is a quiet, rural, and agricultural area. I do not want to live across the street from a chapel and medical campus. It is inappropriate for this to be built in such an isolated area surrounded by homes and farm land.

Please DO NOT rezone this land allowing a church and medical campus to be built.

Sincerely,

Leslie Bohnett
3367 Chilson Rd
Howell, MI 48843
Sent from my Sprint Samsung Galaxy S9+.

Kelly VanMarter

From: April C <abski5@yahoo.com>
Sent: Wednesday, March 3, 2021 2:47 PM
To: Kelly VanMarter
Subject: RE: Proposed facility at Chilson and Crooked Lake Roads

Address is: 3242 Waverly Woods Lane. Howell 48843

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 12:56 PM, Kelly VanMarter
<Kelly@genoa.org> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: April C [<mailto:abski5@yahoo.com>]
Sent: Wednesday, March 3, 2021 12:45 PM
To: Kelly VanMarter
Subject: Proposed facility at Chilson and Crooked Lake Roads

Dear Board Members,

We will be unable to attend the March 8th meeting so I wanted to send along our concerns and thoughts on this project. We moved to this area only 3&1/2 years ago. Our biggest reason for moving to the area was because so much of it was zoned agricultural/residential which was very important to us. We moved from a big city which we no longer wanted to be a part of. We feel this area should not be rezoned for the following reasons:

Rezoning and construction of this type of facility would cause increased problems with traffic and then the need for road modifications all which would cause inconveniences to the community. We are concerned that the facility would start out small and grow into something very large taking multiple years possibly to complete leaving our community in a construction zone for possibly years. This is not fair to the current residents to have to live in a construction area.

Reading some information on this, states that possible construction has started without permits. We are wondering how that would be possible? It states a hospital would be involved. We have three hospital, two very large hospitals and one smaller, within a short distance of this area. We have many small medical centers also including ER's, urgent care centers etc. We do not see the need.

It also states there would be a medical school. We have many medical schools in Michigan including the University of Michigan, Michigan State and Wayne State.

I have also read about pilgrims from all over the world coming either permanently or transiently. I do not feel this is what our area signed up for when purchasing a house and land in this area.

We are currently very happy with our community and foresee people of the area becoming very unhappy if this proposed rezoning goes into effect. We feel it is hard to put into words our exact feelings, however, please know that there are multiple reasons we do not want this area rezoned and a large facility such as the one proposed for our area.

Please take our concerns into consideration when making your decision. It is a very important decision for our community.

Bill and April Czerniawski

From: [Jacob Vogan](#)
To: [Kelly VanMarter](#)
Subject: RE: Rezoning at Chilson and Crooked Lake
Date: Wednesday, March 3, 2021 1:47:21 PM

5790 Pinckney Rd
Howell, MI 48843

Not sure exactly how things work since I'm not right in Genoa, but my kids go to school about a 1/2 mile from where this is trying to happen. I also spend a lot of money and do almost ALL of my shopping inside of Genoa at Grand River and Latson. So I feel my voice should be heard and my opinions considered.

I also talked my Mom and Dad, along with my sister and her husband to move out here. They have purchased two new homes within the last year just north of this possible site. They also moved away from the city to come to this area where it's less populated and congested. I really hope the citizens get what they want. Even if you don't hear from everyone I am very confident the majority of the residents would not want this to go through.

Please include forwarding this email as well.

Jacob

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 1:34 PM, Kelly VanMarter <Kelly@genoa.org> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

-----Original Message-----

From: Jacob Vogan [mailto:jdvogan@yahoo.com]
Sent: Wednesday, March 3, 2021 1:22 PM
To: Kelly VanMarter
Subject: Rezoning at Chilson and Crooked Lake

Hello Kelly and Board Members,

I wanted to express my deep disapproval of the rezoning that is trying to take place

currently at Crooked Lake and Chilson road. The reason my family and I moved out here from the busy city was because we like areas where things are not so busy, people have acreage, and there is a lot of farm land. As local residents and tax payers we would be extremely upset if this project goes through. There may be a place closer to U.S. 23 where there is a lot more commercial buildings that can make this more appropriate.

We also heard that some construction or land work has already taken place without permits? Is that true? I know I would not be able to get away with that, and I'm a local taxpayer.

Please know that there are many, many more of us that are unhappy about this, you just may not hear from all of them in time.

Jacob and Rebecca Vogan

Sent from my iPad

From: [JOAN OTTEN](#)
To: [Kelly VanMarter](#)
Subject: RE: March 8th meeting on Padre Pio Chapel
Date: Wednesday, March 3, 2021 9:31:00 AM

Sure Kelly, 11929 Hibner Rd. Hartland. I will add, we are looking to move within Livingston Co.

Have a blessed day,
Joan

On 03/03/2021 9:22 AM Kelly VanMarter <kelly@genoa.org> wrote:

Joan,

Your email was received. Can you please share your address for the record?

[Kelly VanMarter, AICP](#)

[Assistant Township Manager/Community Development Director](#)

[Genoa Charter Township](#)

[2911 Dorr Road, Brighton, Michigan 48116](#)

[Direct: \(810\) 588-6900, Phone: \(810\) 227-5225, Fax: \(810\) 227-3420](#)

[E-mail: kelly@genoa.org, Url: www.genoa.org](#)

From: JOAN OTTEN [mailto:gjo73@comcast.net]
Sent: Tuesday, March 2, 2021 2:52 PM
To: Kelly VanMarter
Subject: March 8th meeting on Padre Pio Chapel

Hello Ms. Van Marter,

My name is Joan Otten. I, along with my husband Gary, have been doing some of the ground work on the property located on Chilson Rd. tentatively known as the "Padre Pio property". We have been blessed with meeting some of the neighbors both directly adjacent to the property and down the road a few miles.

I understand there are some concerns that have come up regarding this project. I would like to say that all but one time when we have been out there working, people have stopped by to see what was going on or just to say a prayer or two. I have answered many questions as to what was going to be built and what was not going to be built on this property. People have been in awe of what they heard was coming i.e. an Adoration Chapel.

The neighbor directly across the street was happy to hear all of the trees were not going to be cut down in this process. I suspect he was glad there would be a tranquil view on the West side of his home opposed to the natural gas line and buildings to the east of him with all the lights on disturbing the night darkness.

I spoke to each visitor telling them there would not be a hospital built on this property. After all, it's only 40 acres and there is a swamp on each corner on the West side. People were happy to hear and looking forward to visiting a tranquil place for prayer and to take a meditative walk on the several walking trails.

Change can be difficult. I understand that. There is a large building being constructed on the south side of this property. This is change. I also understand some of the neighbors have been enjoying this property for years by all of the deer blinds we have seen (last count was 8 of them on this property). This also is change.

Lastly I would just like to say that the amount of people that have visited this property while I was there have had some profound moments. How do you explain what God is doing? I don't know. I have seen people come to tears while praying there. I have seen a few miracles happen to people such as a woman's homeless brother finding a home after living months on the street after we prayed for him by the grotto. Frankly, there is more noise with the target practicing and dogs barking around this

property than what would come out of this sanctuary once the building is completed.

I hope and pray the fears will be subsided and replaced with a proud sense of ownership and recognition of what a blessing Livingston County will have in its mist for all to enjoy.

Respectfully,

Joan Otten

p.s.

Please feel free to share this letter with all at the meeting.

Kelly VanMarter

From: ktm321 <ktm321@protonmail.com>
Sent: Wednesday, March 3, 2021 7:31 PM
To: Kelly VanMarter
Subject: a 'yes' to the hospital plan

Dear Kelly,

I just grabbed your email off the Nextdoor app. I see some people concerned about the CASA International project (I think I have that name correct) being proposed on Chilson near Latson. They are worried about traffic and so on. I have noticed that Latson nearby was already rezoned (much of it) years ago and the former dirt road south of 96 became rezoned. Many sold homes and you could see chunks of property go up for sale. I live on Richardson Rd. I am many of my friends who live nearby were so thrilled about this gem coming here. I know at least 2 neighbors here on Richardson (likely more) who were thrilled. A friend on King rd., too. We know this will be a beautiful place of care for those with cognitive and brain injuries, where human dignity will be first priority. I envisioned my own son, with a brain illness, could maybe find a permanent place to work in a loving environment where people with cognitive difficulties are truly valued. The chapel is to be a serene place of respite.

I am greatly disheartened by those clamoring about this coming in. I find it odd that one is the owner of Jonna's, a business owner. I wanted to put in my voice that my family and I are SO hoping this gem could come here. it is not far from the expressway.

Please give the plans a chance.

thank you so much!

Kathie Marshall (with Doug and family)

586-224-0114

5574 Richardson Rd., Howell, 48843

Sent with [ProtonMail](#) Secure Email.

Kelly VanMarter

From: Linda Holland <whatsnext4u@yahoo.com>
Sent: Wednesday, March 3, 2021 8:30 PM
To: Kelly VanMarter
Subject: Catholic Healthcare International - Special Use

Dear Planning Commission, My property - 3023 Pardee Rd. is adjacent to the land for which CHI has submitted a special use application. I vehemently oppose approving this request. From all that I have read, watched (CHI Youtube) and witnessed during the February 8th meeting, this project does not belong in this residential and agricultural area. If you allow the building of this chapel (phase I), you will have opened the door for CHI to add additional buildings on that property (Rehab center?) and buy adjoining properties to further their plans/phases to build the hospital, medical school and more. Your approval of this chapel (for pilgrimage - not just local use) will PERMANENTLY CHANGE this area and with it my home (quality of life) and that of my neighbors and residents up and down Chilson, Crooked Lake and beyond.

While I support and admire CHI's mission and passion to bring Padre Pio's great works to the U.S., there are other areas that are not only properly zoned for a project of this magnitude and have the infrastructure to support the project - they have a need for it as well. We don't need another hospital here in Livingston County, per the County's decision in 2019 - and certainly not one that requires "special use" approval. The old adage will become reality, "if you give an inch" (to build a chapel now), they will take a mile (medical campus later).

Undoubtedly, you have heard objections from my neighbors and the surrounding community as well - at the very least via the petition that started just since the Feb 8 meeting. The land - and surroundings properties are not appropriate for this chapel and subsequent a medical campus. As township residents yourselves, I PRAY that you will be guided to do the right thing for those of us that want to preserve the quality of life we have found here in Genoa township and deny the special use application.

Kind regards, Linda Holland

Kelly VanMarter

From: Pamela King <prking@ameritech.net>
Sent: Wednesday, March 3, 2021 3:44 PM
To: Kelly VanMarter
Subject: Re: Chilson Road Project

4758 Treasure Lake Drive
Howell

Sent from my iPhone

> On Mar 3, 2021, at 3:03 PM, Kelly VanMarter <Kelly@genoa.org> wrote:

>

> Thank you Pamela.

>

> Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: kelly@genoa.org, Url: www.genoa.org

>

>

> -----Original Message-----

> From: Pamela King [mailto:prking@ameritech.net]

> Sent: Wednesday, March 3, 2021 2:28 PM

> To: Kelly VanMarter

> Subject: Chilson Road Project

>

> I am a resident of Genoa Township and am strongly opposed to the Chilson/Crooked Lake Road project. Let's protect our disappearing rural areas. We do not want to become another crowded suburb. Many people have moved out here to escape the noise & pollution & crowds. Please keep Livingston County's rural areas.

>

> Pamela King

>

> Sent from my iPhone

Kelly VanMarter

From: Richard Ziminsky <richskyz@icloud.com>
Sent: Wednesday, March 3, 2021 2:44 PM
To: Kelly VanMarter
Subject: The planning commission board

The change of zoning shouldn't take place. The church if approved will open the doors to other developments and ruin the pristine township. I hope you people that live in the area realize what your about to do. Another solid surface (parking lot, etc.) and increased traffic flow will result if this passes. We pray you don't allow this change. Richard Ziminsky Richskyz@icloud.com Sent from my iPhone

Kelly VanMarter

From: SUSAN BRICKNER <sussb@comcast.net>
Sent: Wednesday, March 3, 2021 12:53 PM
To: Kelly VanMarter
Subject: RE: Padre Pio Adoration Chapel

So sorry, yes it is Susan Brickner at 3461 Dewdrop Howell, 8843 Mi

On 03/03/2021 12:49 PM Kelly VanMarter <kelly@genoa.org> wrote:

Received....will you please provide your address for the record and I will include it in the packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: SUSAN BRICKNER [mailto:sussb@comcast.net]
Sent: Wednesday, March 3, 2021 12:48 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Dear Kelly Van Marter, I am writing in support of the Padre Pio Adoration Chapel on the property on Chilson Road. I understand that there has been some confusion as to what is planned for that property and I hope that has been cleared by all.

I would like to re affirm that what we are looking for is a 6,000 sq. ft. building with the removal of the 3 tagged trees along with adding trees along the property line. I know the full plan is to have as low an impact as possible, which meets the expectations of the neighborhood and also the serene atmosphere that is desired for Padre Pio.

It is also my understanding that to further reassure the township along with the neighborhood that the committee is supplying an operation plan, adding security measures and limiting the ringing of bells.

I truly hope that this will bring a positive affirmation from the committee and the surrounding neighborhood.

Thank you for your time and consideration;

Susan Brickner a faithful resident of Geona Twp.

Kelly VanMarter

From: Edward Grima <ergrima56@gmail.com>
Sent: Thursday, March 4, 2021 7:48 AM
To: Kelly VanMarter
Subject: Chapel

Please accept this note in support of the Padre Pio Chapel on Chilson Road.

This will be a park setting and a beautiful peaceful place for residents of the area to go and enjoy.

It will enhance the beauty and desirability of the Township.

Edward Grima
2943 Rubbins Rd, Howell, MI 48843

Kelly VanMarter

From: Edward Loniewski <eloniewski@gmail.com>
Sent: Thursday, March 4, 2021 11:56 AM
To: Kelly VanMarter
Subject: Support for the Padre Pio Center

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Kelly :

Good Morning and I hope this email finds you and your family in good health and spirits. I am writing to you in full support for the proposed Padre Pio Center on Challis road. I have been a physician in Livingston County since 1995 and have fully supported projects that improve the overall healthcare of our community, and also at the same time protest projects or elements that may be a detriment to the same goal. The proposed Padre Pio Chapel is NOT a healthcare facility, yet it IS an entity that is vital to the health and hope of our community. There is no plan to add in a hospital or even a health care clinic on the Challis road location. This is solely a place of worship and hope. Worship which is vital to the health of our community. If you are not familiar with Saint Padre Pio, he is an Italian priest with numerous documented miracles of healing attributed to his intercession. All of these have been examined by a panel of medical experts and declared a miracle without medical explanation. Over the past century, thousands of healing miracles have been attributed to Padre Pio and over 7 million people visit the Italian shrine each year searching for this glimmer of hope. There are thousands of people in the midwest who also have a devotion to Padre Pio and find prayer to him to be a vital part of their health. Denying this vital component of community health would be detrimental to our community as well as the thousands of people relying on his intervention. Please respect this simple request to pray in a tranquil and quiet area for the healing of many who may have no other hope. To deny this simple place of prayer is to deny hope which is not something anyone wants to intentionally or unintentionally inflict upon our brothers and sisters in our own community. All humans have hope as a virtue which is innate to the nature of humankind. To deny this center of hope is to deny this basic virtue.

Please do not deny hope in our community and understand the Padre Pio Chapel can not build a healthcare facility at this location. The only purpose is to provide a place of hope for our fellow brothers and sisters with little hope. May God continue to bless you and your family as well as all the important work you do everyday. I look forward to meeting you in person on March 8th.

--

Happy Healing;
Edward G. Loniewski, DO,FACOS, FAOAO
Compassionate Use Medical Officer
AVM Biotechnology
eloniewski@avmbiotech.com

Kelly VanMarter

From: Mel and Duane <melandduane@yahoo.com>
Sent: Thursday, March 4, 2021 1:44 PM
To: Kelly VanMarter
Subject: Updated: Questions

Follow Up Flag: Follow up
Flag Status: Flagged

Four Country Estates would yield 20K in tax revenue to the township, this is the best use.

If the panel does approve special use for a chapel can we have it written into the approval and place a restriction on the deed?

Have CHI pay for road improvements, why burden the tax payers?

Could CHI demand city services that we would again, pay for?

If CHI feels like increasing seating to 150 and parking to 75, would again only 5 people be notified?

Is it in the budget to pave Beck and Crooked Lake, in the near future?

Why would you support this development in this location?

This "small" chapel does not match the country setting, it is an international place of pilgrimage with potential to host a 60" tall bell tower, it will change the ambiance. What sounds like a quaint quiet space has the potential to be a hot bed of activity. I can't imagine not holding a catholic wedding in this beautiful \$5 million dollar chapel. That would certainly be more that 40 cars. How many massive events a year will that schedule. It would be better suited in a urban area.

There are numerous other locations they could execute their vision, we do not need to allow this special use permit. It was even acknowledge by Jere D. Palazzol, that this location is not suitable.

There are a lot of planning decisions to be made, the residents would appreciate the least amount of disruption.

Don't let the 2nd largest healthcare network bully our residents and usurp out local regulations!

Sincerely,

Melanie Johnson

From: Linda Holland [<mailto:whatsnext4u@yahoo.com>]
Sent: Friday, February 5, 2021 11:58 AM
To: Kelly VanMarter
Subject: Special Use - Catholic Healthcare International meeting

Thank you for the opportunity to share concerns and ask questions in regard to this special use. Here are just a few of my questions, I'll be listening. Thank you.

- I understand that in October 2019, the state challenged the need for another hospital and denied the medical campus. What changed? [State puts snag in Catholic Healthcare International's plan to bring medical campus to Howell](#)
- How will having a hospital adjacent to our property affect our property value, ground water (chemicals/waste) and overall safety of the area? Traffic?
- If the campus is built, what will keep other organizations from turning this rural area into something (congestion/traffic etc) we moved out here to avoid?
- What if after the campus is built and something happens financially and a sale is needed. What's to prevent CHI from selling to an unsavory organization?
- As property owners, many of us hunt/shoot on our property, how will this affect our right to do so?

When researching through Charity Navigator, they had no details as regard to *Finance and Accountability* because...

"This organization cannot be evaluated by our Encompass Rating methodology because it files Form 990-EZ, as allowed by the IRS for charities with less than \$200,000 annual revenue."

- With \$200k annual revenue, how then, can they build/maintain this facility?

Charity Navigator also can't provide any insights as *CHI's Impact and Results* because . . .

"We (CN) have not issued this nonprofit an Impact & Results score. This does not indicate a positive or negative assessment, only that we have not reached a conclusion for one of the following reasons:

- The nonprofit is eligible for a score, but we have not yet gotten to scoring it.
- The nonprofit is eligible for a score, but we have not yet developed the specific algorithms to estimate the impact of the type of service it delivers and so cannot issue a score yet.
- The nonprofit does not primarily deliver services directly to beneficiaries (?) or it is not reasonable to expect the nonprofit to measure impact for its primary activity. The impact analysis framework that we use is not well suited to these nonprofits.
- The nonprofit is not heavily reliant on individual donors because beneficiaries fund a majority of its costs or it does not receive any private charitable contributions."

There is more that Charity Navigator does rate - but no ratings or concrete information is available.

- Why is the state/county allowing this to go through with so little transparency or apparent history?

- They are based in MO - why are they building here and not there?

[Catholic Healthcare International | Charity Navigator Profile](#)



Catholic Healthcare International | Charity Navigator Profile

Catholic Healthcare International is a/an Religious Organization headquartered in Wildwood, MO.

From: [James Brancheau](#)
To: [Kelly VanMarter](#)
Subject: Catholic Healthcare International zoning petition.
Date: Monday, February 8, 2021 5:00:12 PM

My name is Jim Brancheau. I live at 3611 Westphal Howell Michigan. My family have lived here for 29 years and I have worked here and raised my children here in Howell. We moved here almost 29 years ago to be here in a rural area and bought our home here in a residential / agricultural zoned area. Under no circumstances am I in favor to allow any rezoning here in this area for a many number of reasons. I have heard they are going to have a outside chapel and garden and that they are planing on ringing bells from 9:00 AM to 9:00 PM on the hour every hour. This alone is not acceptable. My property is within 300 ft of theirs and I will hear the noise pollution daily. This organization is actually not the part of the Catholic diocese. The fact that they have International right in there organizations name is quite alarming. If they are allowed to build then what is stopping them from going bankrupt or selling to another organization that are not under the guides that they claim that they are.

Allowing this type of organization / church / school / Hospital will open the floodgates for many other businesses and organizations to want to build and destroy our rural area. We are adamantly opposed of allowing this rezoning. Thank you Jim and Deborah Brancheau. 810-360-8466

[Sent from Yahoo Mail on Android](#)

From: [Mike Mandilk](#)
To: [Kelly VanMarter](#)
Subject: 3280 Chilson Road
Date: Monday, February 8, 2021 4:17:44 PM

Good afternoon. My name is Mike Mandilk and I reside at 3275 Chilson Road. I have met and enjoyed speaking to the concerned party for Catholic Healthcare International. That being said I am not in favor of some of the implied issues of development of the site. Two subjects I have objection to are elevated lighting and a bell ringing every hour from 9-9. I live where I do because of the zoning of rural residential and country estate, which implies a residential area. I am concerned the impact to the value of my investment and the area. In conversation with Jere and others I believe there are great intentions to preserve the properties natural state but I also believe there was interest in developing a school and hospital on the site or in the area. I mean no ill will to anyone but I do have these concerns.

Mike Mandilk

Sent from my iPhone

Genoa Township
February, 8th, 2021

Dear Board Members:

My name is Shawn Nester, My residence is located at 3360 Chilson Rd, adjacent to the proposed Church, Hospital, and School that is being presented in a piece-meal fashion. I intend to watch the video meeting but may be occupied with children and unable to speak.

It was my understanding in 2016 when I purchased my home that the area I was to live in was zoned agricultural. I never would have imagined listening to an hourly bell go off from 9AM to 9PM, or looking at a parking lot out of my North window.. But here we are.

It is my hope that this proposed development does not set a new precedent for this area. We are not in South Lyon. There's a certain beauty and history to this section of Chilson Rd that makes it such a great area. This beauty has been acknowledged by it's zoning and the use of the properties for hundreds of years. It's also why I decided to raise a family here.

If the board grants the Special Use permit and construction begins, I worry about there being no proposed plant buffer between my home and the proposed parking lot. The problem with this approach for me is that more and more White Pine trees between our properties are dying back every year and the remaining trees are so large and sparse that there is no cover. Additional plantings would be required to maintain the privacy of my property and to keep headlights from shining into my home. Otherwise, I will be left with the luxurious country view of cars and asphalt. I also have concerns about my home value decreasing. I am not a realtor, but I know that this potential development makes my property less desirable to me so I assume that is the case for other potential buyers.

The people spearheading this project seem like wonderful folks and have been very kind to me. I just wish I could have seen this coming prior to the purchasing my property as I would have sought a different location.

Thank you for your time.

Shawn Nester

From: [Tim Park](#)
To: [Kelly VanMarter](#)
Subject: Re: Catholic Healthcare International- 3280 Chilson Rd
Date: Monday, February 8, 2021 5:59:35 PM

Kelly and The Planning Commission of Genoa Charter Township,
Please accept and extend my **DISAPPROVAL** for the newly proposed building(s) at 3280 Chilson Rd. Howell, Mi. 48843. We moved out here 26 years ago because we enjoy the peace and quiet of a residential, rural and agricultural community. My wife and I plan on retiring in this very same house in 5 to 10 years from now. I am not interested in any way to have this spoiled by unnecessary commotion and constant noise from having any number of events going on throughout the year. Even though I am a religious person and don't mind hearing the church bells when I go to church, I **DO NOT** want them in my backyard!

Thank you,
Tim Park
3529 Westphal Rd.
Howell, Mi. 48843

From: [billy martin](#)
To: [Kelly VanMarter](#)
Subject: Proposed church on child on rd.
Date: Monday, February 8, 2021 4:17:08 PM

Dear Kelly

My name is William Martin and I live at 4678 richardson rd. I am opposed to issuing a special use permit to build a church on chilson rd. It is zoned agricultural and should be used for that purpose. There is already to much traffic in this area since the Latson rd exit was built. There's already a Catholic Church in Howell, Brighton, and Pinckney. We all want to keep this area as is, farms and homes with property. Nobody wants to hear church bells all day long. I don't live right next to that property and I don't want a church complex there. I can only imagine how outraged the people who live next door and across the road are. Please deny their permit.

Sent from my iPhone



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

October 9, 2020

Roman Catholic Bishop Carl Mengelin
Diocese of Lansing
300 W. Ottawa
Lansing, MI 48933

RE: 3280 Chilson Road Howell, MI 48843

Dear: Property Owner

It has come to Genoa Township's attention that a Grotto has been built without planning commission or Township approval. Please see attached picture for reference. As you can see by the email correspondence with Jere Palazzolo, President of Catholic Healthcare international, he was informed that nothing could be built on the property until proper approvals were submitted.

We are interested in further discussing these issues with you and working with you to bring the property into compliance with the Zoning Ordinance. With this in mind, please contact the Township by October 19, 2020 to discuss a strategy to bring the property into compliance. Also, please have all structures removed from the property by November 6, 2020.

Please feel free to call or email with any questions or concerns.

Sincerely,
Sharon Stone
Zoning Compliance Officer
Genoa Township

cc- Jere Palazzolo
cc- Joe Seward

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe

MANAGER

Michael C. Archinal



Kelly VanMarter

From: Kelly VanMarter
Sent: Tuesday, August 18, 2020 3:03 PM
To: 'JPalazzolo@CHI-USA.COM'; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: RE: Genoa Township
Attachments: CE zoning memo.pdf

Jere,

Please see attached review from our Planning Consultant.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: JPalazzolo@CHI-USA.COM [mailto:JPalazzolo@CHI-USA.COM]
Sent: Monday, August 10, 2020 7:42 PM
To: Kelly VanMarter; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: RE: Genoa Township

Thanks Kelly! We would be so very grateful if we could have our small art feature up for our small September 23rd Feast Day Mass on the property by Bishop Boyea. I am in town until Thursday morning in case it would be helpful to meet again. Thanks so much for all of your support and efforts on our behalf. God bless! – Jere

Jere Palazzolo
President
Catholic Healthcare International
2464 Taylor Road
Suite 317
Wildwood, MO 63040
Office Phone: (636) 220-6550
Fax: (636) 333-6215
E-mail: jpalazzolo@chi-usa.com

"Pray, hope & don't worry!" - St. (Padre) Pio of Pietrelcina



From: Kelly VanMarter [mailto:Kelly@genoa.org]
Sent: Friday, August 7, 2020 2:44 PM
To: JPalazzolo@CHI-USA.COM; Amy Ruthig <amy@genoa.org>
Cc: Ann O'Reilly (annoreilly11@yahoo.com) <annoreilly11@yahoo.com>
Subject: RE: Genoa Township

Jere,

I've sent this on to our planning consultant for a more throughout analysis and response. I will let you know what he says.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: JPalazzolo@CHI-USA.COM [mailto:JPalazzolo@CHI-USA.COM]
Sent: Monday, August 3, 2020 5:57 PM
To: Kelly VanMarter; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: FW: Genoa Township

Hi Kelly & Amy,

It was great to meet you on Wednesday, and I appreciate your taking the time to discuss our future plans for the property on 3280 Chilson Road. I have arrived back in St. Louis, and have had the chance to reflect on our conversation and review the additional material you sent via e-mail following our meeting.

As you probably noticed, I was very surprised at the complexity of the application/review/approval process you said we must undertake at this time ...Special Land Use Application, Site Plan Review Application, \$2,875 application fee, Site Plans, Environmental Impact Assessment, etc...given the simplicity of our current plans. This was a huge surprise to us based on the input of everyone with whom we had spoken. Then I read the actual language you reference: *"The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use."* Based on this you concluded that *"The grotto/prayer area would be considered a "similar place of worship" and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance."*

It is very clear that the language regarding "similar places of worship" refers directly back to Churches and temples when it says "...Churches, temples and similar places of worship." Churches, temples and places of worship are obviously buildings. We ultimately will indeed build a small Church with paved parking, roads, entrance, etc., and clearly we expect to have to pursue the entire process required by the ordinance. We will actually commence that process sooner than later because we will be kicking off our campaign to raise the funds for the chapel, and would hope to get started on that as soon as we are able.

However, we are by no means talking about a "place of worship" at this time. We merely want to clear some areas for people to walk in an open field area and meditate on a few pictures, a statue, and a small stone wall with a picture in it. There is no way that can be considered a place of worship. We will make it so that people can pull in and park on the grass and walk around safely, but we will not be doing any paving until the approvals are submitted and received for the whole site plan. The purpose of requesting the meeting with you on Wednesday was to make you aware of our ultimate

plans and to find out what the approval process would be for the actual development of the property so that we can begin to plan for that.

I would like to respectfully request that you reconsider requiring us to go through this extensive, expensive and time consuming process immediately. We will need to hire someone to guide us in doing all of the plans and assessments the Special Land Use application requires...and as I said previously, we will start that process relatively soon. However, please allow us to do the very minor things we are planning now which will not involve development of the property or building or paving.

Thank you in advance for your kind consideration of my request and for your understanding and support, and I look forward to a positive response soon.

Thanks again & God bless!
Jere

Jere Palazzolo
President
Catholic Healthcare International
2464 Taylor Road
Suite 317
Wildwood, MO 63040
Office Phone: (636) 220-6550
Fax: (636) 333-6215
E-mail: jpalazzolo@chi-usa.com

"Pray, hope & don't worry!" - St. (Padre) Pio of Pietrelcina



From: Amy Ruthig [<mailto:amy@genoa.org>]
Sent: Wednesday, July 29, 2020 3:27 PM
To: Jere Palazzolo <jpalazzolo@MarianMed.com>
Subject: FW: Genoa Township

Good Afternoon,

Per our meeting today, please see the process information below that Kelly had sent to Jacqueline. I also spoke with our assessor, Debra Rojewski, and she stated that the owner would need to apply for an exception on the property in regards to the property taxes. You can contact Debra at duffy@genoa.org or 810-227-5225 and she can walk you through the process.

I have reached out to our Planning Consultant. Once we receive a response, we will contact you.

Please contact Kelly or myself if you should have any questions.

Thank You,

Amy Ruthig
Zoning Official



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824
E-mail: amy@genoa.org, Url: www.genoa.org

From: Kelly VanMarter
Sent: Monday, July 27, 2020 3:16 PM
To: jacquelineostlund@yahoo.com
Cc: Amy Ruthig
Subject: RE: Genoa Township

Jacqueline,

I have reviewed your request to construct a grotto/prayer area with associated parking and drive access at the currently vacant property located at 3280 Chilson Road (parcel 4711-20-100-020). The subject property is in an Agricultural zoning district called County Estates (CE). The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use. The grotto/prayer area would be considered a “similar place of worship” and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance. Please see link here to [Article 19](#) of the Zoning Ordinance to review information regarding Special Land Uses. I’ve also provided information below on process, fees, timeframes, and necessary applications for your information.

The process for special land use approval is as follows:
(Requires Site Plan and E.I.A)



Please note the following special land use conditions that apply as stated in the Township Zoning Ordinance:

- 3.03.02(1) *Churches, temples and similar places of worship and related facilities shall comply with the following requirements:*
- (1) *Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.*
 - (2) *Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.*

- (3) *Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.*
- (4) *Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.*

To Request Approval the following would be required:

- 1.) Completed Special Land Use Application.
- 2.) Completed Site Plan Review Application.
- 3.) \$2,875.00 Special Land Use/Site Application Fee made payable to Genoa Charter Township. This *must* be paid at time of submission.
- 4.) Four (4) Sets of Site Plans (folded) that comply with the applicable requirements found in the Site Plan Review Application. The site plan *must* be sealed by an architect or engineer registered in the State of Michigan.
- 5.) Four (4) copies of an Environmental Impact Assessment (see site plan application for requirements).
- 6.) Any related details or specifications, if necessary (lighting details, renderings, etc.)
- 7.) Reduced-File-Size collated/combined pdf of all submittal materials (on disk or portable drive).
- 8.) To get the process started, the following table shows the deadlines for the next three Planning Commission meetings along with the likely corresponding Township Board of Trustees meeting dates.

<u>Deadline</u>	<u>Planning Commission Meeting Date</u>	<u>Board Meeting Date</u>
August 5, 2020	September 14, 2020	October 5, 2020
September 2, 2020	October 13, 2020	November 2, 2020
September 30, 2020	November 9, 2020	December 7, 2020

I hope this helps. Please let me know if you have any additional questions.

Kelly VanMarter, AICP
 Assistant Township Manager/Community Development Director

Genoa Charter Township
 2911 Dorr Road, Brighton, Michigan 48116
 Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
 E-mail: kelly@genoa.org, Url: www.genoa.org

From: jacqueline ostlund [<mailto:jacquelineostlund@yahoo.com>]
Sent: Thursday, July 23, 2020 2:53 PM
To: Kelly VanMarter
Subject: Re: Genoa Township

Kelly,

I have attached a picture of the grotto/prayer area for your review! Were you able to find any information regarding putting in the temporary drive/parking lot? We are planning on the event to be on September 23, 2020 and I really do not know what will be entailed to complete this! Please call me with any questions at 970-209-6074!

Blessings,

Jacqueline

On Tue, Jul 21, 2020 at 4:32 PM, Kelly VanMarter
<Kelly@genoa.org> wrote:

I will follow up with more information.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

August 18, 2020

Kelly Van Marter, AICP
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Kelly:

As requested, I have reviewed the Township Zoning Ordinance as it relates to the proposal for establishment of a “grotto” on an undeveloped property within the CE Country Estates District. I offer the following Ordinance excerpts and opinion(s) for your consideration:

The allowable uses in the CE District (both by right and those allowed with special land use approval) are listed in Section 3.02. This includes churches, temples, and similar places of worship.

Section 25.02 defines a “church or temple” as “any structure wherein persons regularly assemble for religious activity.”

In my experience, grottoes (and stations of the cross for that matter) are structures where people assemble for a religious purpose. Additionally, Section 25.02 defines a “structure” as “anything constructed or erected, the use of which requires location on ground or attachment to something having location on the ground.”

This combination of definitions does not restrict the idea of a church, temple or similar place of worship to a “building.”

Lastly, from my experience, grottoes (and stations of the cross) have typically been viewed as accessory structures. That is not to say that such structures do not/cannot exist in the absence of a church/religious building; however, I have not encountered this situation.

As such, there is the additional concern that a grotto could be viewed as an accessory structure that is incidental to a principal permitted use.

Section 11.04.01 states that “accessory buildings, structures and uses are permitted only in connection with, incidental to and on the same lot with a principal building, that is occupied by a use permitted in the particular zoning district.” In this instance, the case could be made that the owner/applicant is attempting to establish an accessory structure prior to a principal use.

Based on the above, I believe the proper read of the Zoning Ordinance is that the proposed “grotto” is, by definition, a “church, temple, or similar place of worship.” Such uses require special land use and site plan review/approval, and must demonstrate compliance with all applicable Ordinance standards, including (but not limited to) dimensional standards, parking, landscaping, waste receptacles/enclosures, lighting, etc.

Alternatively, the grotto could be viewed as an accessory structure, whereby a principal use/structure must be established first.

My opinions aside, other options include a similar use determination by the Planning Commission (Section 11.02.02) or an interpretation of the Zoning Ordinance text by the ZBA (Section 23.02.03).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT STUDIO

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized with a large, sweeping "B" and "D" that extend to the right.

Brian V. Borden, AICP
Planning Manager

RE: 3280 Chilson Rd., Howell, Michigan

Will Bloomfield <wbloomfield@dioceseoflansing.org>

Wed 10/21/2020 11:04 AM

To: Sharon Stone-Francis <Sharon@genoa.org>;

Cc: Robert Muise - AFLC <rmuise@americanfreedomlawcenter.org>;

 1 attachment

Warranty.Deed.Chilson.Rd.signed.10.21.20.pdf;

Ms. Stone,

Attached is the executed warranty deed whereby the Diocese of Lansing has transferred the Chilson Road property to Catholic Healthcare International. The Diocese will be recording this transfer shortly. Please direct all future correspondence regarding this property to Catholic Healthcare International and its attorney, Robert Muise (cc'd)

Sincerely,

Will Bloomfield

William R. Bloomfield

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342 2527 Fax

wbloomfield@dioceseoflansing.org

From: Will Bloomfield

Sent: Friday, October 16, 2020 1:29 PM

To: sharon@genoa.org

Cc: Robert Muise - AFLC

Subject: 3280 Chilson Rd., Howell, Michigan

Ms Stone,

I am in possession of your October 9, 2020 letter addressed to the former Bishop of Lansing, Most Rev. Carl Mengeling, regarding the property at 3280 Chilson Road, Howell, Michigan.

Your letter references a zoning issue as well as past discussions between the Township and Jere Palazzolo, President of Catholic Healthcare International, and requests a response by October 19, 2020. The Diocese of Lansing is finalizing plans to transfer 3280 Chilson Rd. to Catholic Healthcare International. I had hoped

that the transfer would be complete today, but I now expect it will be complete by Tuesday, October 20, as soon as Bishop Earl Boyea returns and can sign the paperwork transferring the property.

As Catholic Healthcare International will soon be the new owner, the Diocese of Lansing is leaving it to them to respond to the substance of your letter. I have cc'd Robert Muise of the American Freedom Law Center, who is representing them in this matter. Mr. Muise has advised that Catholic Healthcare International will respond by the end of next week.

Sincerely,

Will Bloomfield

William R. Bloomfield

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342-2527 Fax

wbloomfield@dioceseoflansing.org

WARRANTY DEED

The Most Rev. Earl Boyea, Bishop of the Roman Catholic Diocese of Lansing, whose address is 228 North Walnut Street, Lansing, Michigan 48933, as Grantor, conveys and warrants to Catholic Healthcare International, a Catholic, nonprofit corporation incorporated in the state of Missouri, whose address is 2464 Taylor Rd., Suite 317, Wildwood, MO 63040, as Grantee, the following described premises situated in the Genoa Township, County of Livingston, State of Michigan:

See Exhibit A attached hereto.

for one dollar, together with all buildings, improvements and fixtures located thereon, and all rights, privileges, and easements pertaining thereto, subject to building and use restrictions, easements, and encumbrances, if any, of record, and also subject to the following covenants and restrictions, to which Grantee agrees and covenants:

1. Grantee shall develop the land consistent with its Casa USA vision to replicate St. Pio's model of healthcare delivery in the U.S.
2. If Grantee fails to develop the Property as referenced in above (1) within five years of the date of this Deed, then Grantee will, at the Grantor's discretion, either transfer the Property back to Grantor or sell it for fair market value and pay the Grantor the appraised value (\$260,000) at the time of this transfer from the Grantor to Grantee.

This deed and transfer of real property is exempt from real estate transfer tax under MCL 207.505(a) and MCL 207.526(a).

Grantor, as its sole warranty herein, specifically warrants to Grantee, its successors and assigns, that Grantor will forever defend title to the Property (subject to the matters to which this conveyance is hereinabove made subject) against only those claims of persons who shall claim title to or assert claims affecting the title to the Property, or any part thereof, under, by or through Grantor, but not otherwise.

The Grantor grants to the Grantee the right to make all legally feasible division(s) under section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended. This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Subject to zoning, building and use restrictions, easements and right of way of record.

Dated this 20th day of ^{October}~~August~~, 2020.

EXHIBIT A

LEGAL DESCRIPTION

Land in Genoa Township, County of Livingston, State of Michigan, described as follows:

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the center of said Section 20, said point lying South 00 degrees 04 minutes 22 seconds West along the North-South 1/4 line of said Section, 2616.14 feet; thence North 89 degrees 16 minutes 18 seconds East, 623.77 feet to the centerline of Chilson Road; thence North 25 degrees 37 minutes 28 seconds West along said centerline 511.68 feet; thence continuing along said centerline, North 25 degrees 35 minutes 58 seconds West, 409.12 feet to the point of beginning of the parcel to be described; thence South 64 degrees 49 minutes 10 seconds West, 581.00 feet; thence South 52 degrees 45 minutes 14 seconds West, 1157.74 feet to the Easterly line of the Ann Arbor Railroad; thence North 25 degrees 10 minutes 14 seconds West along said line, 1566.05 feet; thence North 89 degrees 04 minutes 43 seconds East, 1874.35 feet to said centerline; thence South 25 degrees 35 minutes 58 seconds East along said centerline, 553.96 feet to the point of beginning and subject to the rights of the public over existing Chilson Road.

Commonly known as: 3280 Chilson Road, Howell, MI
Parcel ID: 4711-20-100-020



Washington, D.C. Offices:
1901 Pennsylvania Avenue NW
Suite 201
Washington, D.C. 20006

Michigan Offices:
P.O. Box 131098
Ann Arbor, Michigan 48113

Arizona Offices:
123 W. Chandler Heights Road
No. 11277
Chandler, Arizona 85248-11277

Main Tel: (855) 835-AFLC (2352)
FAX: (801) 760-3901
Email: rmuise@americanfreedomlawcenter.org

New York Offices:
383 Kingston Avenue
Suite 103
Brooklyn, New York 11213-4333

California Offices:
8950 W. Olympic Boulevard
Suite 193
Beverly Hills, California 90211

Writer's Direct Tel: (734) 635-3756

David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona
Robert J. Muise, Esq.: Licensed in Michigan

October 23, 2020

VIA Email

Ms. Sharon Stone
Zoning Compliance Officer
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116
sharon@genoa.org

Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road*

Dear Ms. Stone:

This law firm represents Catholic Healthcare International (CHI) and its president, Mr. Jere Palazzolo. CHI is the owner of the property located at 3280 Chilson Road. The ownership of this property was recently conveyed to CHI by the Catholic Diocese of Lansing. On this property stands a temporary religious symbol/sign which has inaccurately been described in prior correspondence as a "Grotto." It is our understanding that Genoa Township (Township) has ordered the removal of this temporary religious display by November 6, 2020, unless CHI undertakes an extensive, costly (in excess of \$20,000), and burdensome zoning process. The Township is imposing this exceedingly burdensome process upon CHI because it (the Township) considers this temporary religious symbol/sign the equivalent of a "church or temple" under § 25.02 of the Township Zoning Ordinance, which defines "church or temple" as "any structure wherein persons regularly assemble for religious activity." This determination is factually

inaccurate. There is no “structure” on this property “wherein”¹ regular religious assemblies take place. Similarly, CHI is not attempting “to establish an accessory structure prior to a principal use.” See Township Zoning Ordinance § 11.04.01. The religious symbol/sign is temporary, and it is intended to convey a message that inspires people to pray, to include praying for the success of the future, permanent use of this land—the construction of a chapel.

To be clear, CHI does intend to build a chapel on this property with paved roads, parking, entrance, *etc.*, in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. In fact, CHI expects to begin this process within the coming months. In the meantime, CHI is inviting worshipers to come to the property and pray outdoors because there is no primary structure *in which* to assemble. As far as we know, there is no zoning ordinance that prohibits persons from praying outdoors on their private property. Indeed, such an ordinance would not withstand challenge under the First Amendment.

As a factual matter, what has been described incorrectly as a “Grotto” is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). The image, which is approximately 6’ x 6’ in size, is displayed within a frame that is approximately 8’ high set upon a base that is approximately 10’ wide and less than 4’ high. The top frame housing the image is built on cement board with stone veneer on the front of the frame. The back is exposed. The base is loose, stacked stone. There is no cement, and there are no footings. The entire display can be moved at any time. In short, this is a temporary display of a religious symbol/sign. It is the equivalent of a temporary sign, the content of which is a religious symbol. It is *not* a permanent structure. To treat it as such, as the Township is doing here, is not only factually incorrect, it is unconstitutional.

The First Amendment protects both the freedom of speech and the free exercise of religion. Claims arising under both the Free Speech Clause and the Free Exercise Clause often overlap. *Bible Believers v. Wayne Cty.*, 805 F.3d 228, 256 (6th Cir. 2015) (en banc) (“Free exercise claims are often considered in tandem with free speech claims and may rely entirely on the same set of facts.”).

The Township permits many different types of signage, both temporary and permanent. The Township regulates signage in order:

to protect public safety, health and welfare; minimize abundance and size of signs to reduce motorist distraction and loss of sight distance; promote public convenience; preserve property values; support and complement objectives of the Township Master Plan and this Zoning Ordinance; and enhance the aesthetic appearance within the Township.

Township Zoning Ordinance § 16.01.

¹ “Wherein” is defined as “in which.” See <https://www.merriam-webster.com/dictionary/wherein> (last visited Oct. 19, 2020). There is no structure on the property “in which” *any* activity takes place.

CHI's temporary display, which is located within a wooded area, does not undermine *any* of the Township's stated objectives for restricting signage.² Indeed, the ordinance expressly *exempts* certain *permanent* signs (§ 16.03.11), it *exempts* real estate signs (§ 16.03.15), it *exempts all* flags (§ 16.03.03), and it *exempts all* temporary political signs (§ 16.03.14) "provided such signs are not placed within the public street right-of-way line in a manner that obstructs visibility." CHI's religious "sign" is not placed within the public street right-of-way—it is not even visible from the road—and thus creates no visibility issues whatsoever.

By permitting unlimited, temporary political signs (subject to the "public street right-of-way line" limitation), but prohibiting CHI's temporary religious "sign," the Township is engaging in a form of content-based discrimination, *Reed v. Town of Gilbert*, 576 U.S. 155, 163-64 (2015), which is unlawful, *id.* at 163 ("Content-based laws . . . are presumptively unconstitutional and may be justified only if the government proves that they are narrowly tailored to serve compelling state interests."); *see also Int'l Outdoor, Inc. v. City of Troy*, 974 F.3d 690 (6th Cir. 2020) (requiring strict scrutiny because "the Sign Ordinance imposed a content-based restriction by exempting certain types of messages from the permitting requirements, such as flags and 'temporary signs' that included on- and off-premises real-estate signs, 'garage, estate or yard sale' signs, 'non-commercial signs[,] ' [p]olitical signs[,] 'holiday or other seasonal signs[,] and 'constructions signs . . .").

Moreover, as a matter of federal statutory law, land use regulations that substantially burden religious freedom are unlawful. *See* 42 U.S.C. § 2000cc(a)(1) ("No government shall impose or implement a land use regulation in a manner that imposes a substantial burden on the religious exercise of a person, including a religious assembly or institution, unless the government demonstrates that imposition of the burden on that person, assembly, or institution— (A) is in furtherance of a compelling governmental interest; and (B) is the least restrictive means of furthering that compelling governmental interest.") (RLUIPA).

Given that CHI's religious display does not violate the plain language of any zoning ordinance and that CHI intends to comply with the zoning regulations for the construction of its permanent chapel, it would seem that the Township would not want to force CHI to seek legal redress in federal court for religious discrimination related to this temporary religious display. Please know that CHI does not desire to take this matter to federal court. However, it will not have its right to religious freedom violated by the Township, and if forced to go to federal court, it will.

In closing, we ask that the Township promptly reconsider its position. As the courts have long held, even the momentary loss of First Amendment freedoms causes irreparable harm sufficient to warrant injunctive relief. *Newsome v. Norris*, 888 F.2d 371, 378 (6th Cir. 1989) ("The Supreme Court has unequivocally admonished that even minimal infringement upon First Amendment values constitutes irreparable injury sufficient to justify injunctive relief.").

² The Township suggested that the display be constructed on a flatbed and driven on and off the property as needed, thus essentially conceding the fact that this display is temporary and the fact that the presence of the display on the property does not conflict with any legitimate Township objective or interest.

We look forward to a prompt and favorable reply.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.
Co-Founder & Senior Counsel

cc: Jere Palazzolo

November 4, 2020

Robert J. Muise, Esq.
AMERICAN FREEDOM LAW CENTER
P.O. Box 131098
Ann Arbor, Michigan 48113

VIA EMAIL

Re: Grotto at 3280 Chilson Road

Mr. Muise:

In July of this year Jacqueline Ostlund and Jere Palazzolo approached the Township about constructing a grotto at 3280 Chilson Road. Your clients provided a drawing from Swanson Design Studios and made multiple references in email, over the phone and in-person statements clearly designating this structure as a grotto. Quickly the Township informed your clients that to construct the grotto, it had to comply with the Township's special land use and land use permit requirements just as any project or individual would in the Township. Your clients then balked at going through the process to obtain the permits under the guise that it does not want to spend the money on the fees required to obtain the permits. Yet, the underlying reason why it surreptitiously built the grotto without going through the permitting process was because it did not plan ahead. Instead, it wanted the grotto constructed by September 23, 2020, for the planned Feast Day mass with Bishop Boyea on-site. Now that it has been caught violating the Township's ordinances, it takes the incredulous position that the grotto is actually a sign. Then you claim that because it is a religious entity, somehow it is given favored status, it does not need to comply with Township permit requirements.

Neither the First Amendment nor the Religious Land Use and Institutional Persons Act comes into play in justifying the wrongdoings of your client. They have not been denied any permit. Instead, your client has been caught deceiving the Township by constructing this grotto illegally. Furthermore your client illegally erected directional and temporary signs, a bench and some type of PVC structure. All of this activity taken after the exchange of emails, telephone and in-person conversations with the Township on what is needed for it to build these structures and place these signs. Now is the time for your client to do the right thing, and that is apply for the permits that would allow for the construction of this grotto, erection of signs, bench and the PVC structure.

A main feature of complying with the permittal process is to strive for the construction of safe structures. Below is a picture of what your clients built.





This structure, according to you, was built with no foundation, no mortar and no thoughts of the safety of the persons that will make use of this grotto. This structure needs to be made safe immediately.

What is equally disheartening about your client's deception is that now they claim this is a sign. I doubt any reasonable person would agree with this newly found theory given your clients' statement and the materials provided beforehand as well as your client designating this to be a grotto, see the picture below.



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

☎ 248.733.3580 ☎ 248.733.3633 www.sewardhenderson.com



But even so, your clients building this structure would violate the Township's sign ordinances in a number of ways. §16.02.09 defines a monument sign as a three-dimensional, self-supporting, solid based structure with two or more sides extending up from the base. As such, the height of such a structure is limited to six feet, see Table 16.1. Moreover, this structure must withstand wind pressure of at least 20 pounds per square foot, see 16.06.07, and be consistent with building codes per 16.06.06. What engineer is able to certify this structure meets that safety standard?

The actions of your clients are most unsettling, its attempts to mislead the Township and then build a structure and erect signs illegally should never have happened. I suggest that your clients take the action it needs to immediately bring the structures and signs into compliance with the Township's ordinances, comply with the approval requirements and make the site safe. My clients are willing to work with your clients to get this taken care of, but the threat of litigation will not cause the Township to back away from enforcing its ordinances.



Very truly yours,

SEWARD HENDERSON PLLC

T. Joseph Seward

TJS/ads



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

P 248.733.3580 **F** 248.733.3633 www.sewardhenderson.com



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Writer's Direct Tel: (734) 635-3756

David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona
Robert J. Muise, Esq.: Licensed in Michigan

November 5, 2020

VIA Email

Mr. T. Joseph Seward
Seward Henderson PLLC
210 East 3rd Street, Suite 212
Royal Oak, Michigan 48067
jseward@SewardHenderson.com

Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road*

Dear Mr. Seward:

Leaving aside your false and offensive personal attacks and impertinent comments, I write to respond to your letter of today because it raises additional questions and because we believe there is a way to civilly and reasonably resolve our differences.

To begin, as the Township has previously acknowledged (and your letter confirms), this is a temporary religious display.¹ Previously, the Township stated that it would consider this temporary display to be the equivalent of a “church or temple” under § 25.02 of the Township Zoning Ordinance, which, as noted in my prior letter, defines “church or temple” as “any structure wherein persons regularly assemble for religious activity.” Your letter appears to concede that this

¹ As noted in my prior letter, the Township suggested that Catholic Healthcare International (CHI) put the temporary display on a flatbed truck and drive it on and off the property as necessary.

determination is inaccurate. There is no “structure” on this property “wherein” regular religious assemblies take place.² That is, as your pictures further verify, there is no structure on the property “in which” *any* activity takes place.

Furthermore, regardless of your assertions and any prior correspondence or other communications from my clients, the display is not a “Grotto.” A “Grotto” is a “cave” or “an artificial recess or structure made to resemble a natural cave.” <https://www.merriam-webster.com/dictionary/grotto>.³ The display at issue is neither. As noted, and as your letter confirms, the display is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). It was not constructed to be permanent because it is not permanent. Moreover, despite your unsupported assertion that the display is not safe, it is indeed safe. The support structures appearing in the photographs provided with your letter illustrate this point, as does the fact that neither wind nor rain nor any other factors have caused any safety issues whatsoever since the display was erected months ago. Time itself refutes your claim. Moreover, this display is not erected along any public right of way or thoroughfare. In fact, it cannot be seen from the road. It is located in a wooded, isolated area.

As your letter further confirms, the Township permits many different types of signage, monuments, or displays, both temporary and permanent. If there is a permitting process for such temporary structures—something far short of the extensive, costly (in excess of \$20,000), and burdensome zoning process required for the approval of a “church or temple”—my clients would certainly be willing to work with the Township to accomplish these approvals.

As noted in my prior letter, CHI does intend to build a chapel on this property in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. CHI expects to begin this process expeditiously. In fact, effective today, CHI has formally retained Boss Engineering (Howell, Michigan), and they expect to have the special land use application and associated documents submitted to the Township within 30 days.

Please know that my clients do wish to remain civil throughout this process and to cooperate with the Township. Indeed, they will comply with all reasonable requirements. However, treating this temporary display as a “church or temple” is not reasonable. We doubt “any reasonable person would agree” with the Township on this point.

In closing, please advise as to the permitting process for allowing this temporary religious display on private property. For example, what would be required for this display to be an approved “monument sign”? I would assume that if it could be approved as a “monument sign,” then my clients would be able to make it a more permanent structure by constructing footings and using

² See <https://www.merriam-webster.com/dictionary/wherein> (defining “wherein” as “in which”).

³ I doubt that if the small, temporary, homemade paper sign with “Grotto” and an arrow depicted in the second photo contained in your letter had instead stated “Temporary Political Sign” that the Township would consider the religious display to in fact be a political sign. At the end of the day, the display is simply not a “Grotto” as a matter of fact regardless of who is using this term.

cement and mortar to complete the display. As noted, my clients are willing to comply with reasonable permitting requirements.

In sum, there appears to be a process that our respective clients could pursue short of the full-blown process of getting approval for a “church or temple” for this simple religious display. We look forward to discussing this matter further with the appropriate Township officials. And I would be happy to discuss the matter with you as well.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.
Co-Founder & Senior Counsel

cc: Jere Palazzolo

Board Correspondence

Thanks for your time and consideration during our phone conversation today. Please see the facts below, present situation, and suggested solutions..

We have lived at [REDACTED] Mountain Road in Mystic sub since 1989. For some perspective of change since then, there was a blinker light at Main street and Grand River-and it was perfectly adequate! We live next door to the previous home of Becky Cook and Mark-moved in same time. We actually looked at each other's homes.. (to decide) Brad Zimmerman has moved in to the old Cooks home (with Gwen), and is a great neighbor, and they take care of their property in an exemplary manner-and Own a Corporation which involves coaching CEOs to understand cultures and how to effectively communicate. This seems timely.. I was a Business Consultant and Marketing Expert, with business turnarounds etc.. Retired 2012.

Specific situation:

Mystics roads have a 20 year life as set up, and presently are over 40 years old.. Thus, it's very embarrassing to have company, who always complain. From Sundance corner past our house for several homes, it looks like a nuclear bomb struck it (maybe hyperbole, but not much)-and another area down

Mountain about half way the same . Twisted and broken bones walking, tires that last 15M miles, front end alignments that last 6 months, etc are hidden costs of living here.. Not to mention poor visual optics.. Poor roads lead to poor yards, then roofs, declining values, and inevitably increased crime..

So, years back a concerned group suggested that we correct this.. There was a core of 25-30 then feeling strongly about it.. We found many wanted exotic concrete and curb solutions that would result in a assessment of \$12-14M each.. Upfront or over time-each homes choice.. Many complained about this, and were concerned traffic in building Copperleaf would just mess up again.. Done now. Sundance was damaged just like in front of our home, and were getting much pressure to Genoa to correct from Stonegate folks . Home I remember sub names correctly. A solution was proposed for \$7M prox, and easily was supported and done in 2 weeks. I actually think asphalt looks better with this lovely natural property.. Most say concrete ok, if not upcharges..

So, the 105-110 homes prox in Mystic, reduced to about 80 now.. You would know specifics better than me.. (after Sundance peeled off for paving purposes)..

Last discussion a few years back suggested 11M prox, including engineering known flaws around my home and the area half way back. This is because of less density and larger lots..

Current situation:

Request 1

Please communicate with the county the need to patch carefully around my home and Zimmerman's, and half way down Mt. THE MAJOR PROBLEM AREAS. And as needed elsewhere.

Request 2

I think the real solution is to model Park Townships solution to this same issue in their area.. Essentially the millage was increased by 200-300 a year for the average home.. It must be recognized that the roads must be corrected and this is an efficient way to do it.. Then the Twp works with the county to prioritize

The worst 4-6 subs each year.. Large assessments are avoided , and home owners out of the issue.. I recommend you research the exact system details there and replicate it..How did they position, etc..

My brother in law lives in Bloomfield Hills.. Pays 5-6 times our property tax. Everything passes.. Genoa the opposite.. It needs to be understood that for a very little more, this issue can be resolved.

Request 3

If no approval for 2, we need state and federal support for townships as we come out of Covid, to enable more aggressive cost sharing.. I think we need cost to get to 8-9M.. 7M was magic number on Sundance..

We can begin to network and build support, as we get on same page.. What was Atty Roger ____last name in Mystic please.. Forgot to note.. Sounds like a concerned citizen.

Last request

It was be good if the area my home and half way down could be corrected , until major work can be done.. Happy to contribute to this. Looks like its been done in Mystic.

Thanks for listening.. Feel strongly the Park Twp solution is a good one.. But needs to be effectively communicated..

[REDACTED]

[REDACTED] Mountain Road

[REDACTED]