

VIRTUAL MEETING

Due to Michigan Department of Health and Human Services requirements, this meeting will be virtual. The public may participate in the meeting/public hearing through Zoom access by computer and smart phone. A link will be posted at genoa.org. Please email info@genoa.org or call (810) 227-5225 if you have questions.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
MARCH 8, 2021
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

INTRODUCTION OF MEMBERS: (Name and Location)

APPROVAL OF AGENDA:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: (Note: The Board reserves the right to not begin new business after 10:00 p.m.)

OPEN PUBLIC HEARING # 1...Review of a sketch plan application requesting a second wall sign as provided Table 16.1 Footnote (2) b. The property in question is located at 7041 Grand River Avenue on the northwest corner of Grand River Avenue and Pless Drive. The request is petitioned by Kelly Hansen, State Street Blinds and Design.

A. Disposition of Sketch Plan Application.

OPEN PUBLIC HEARING # 2...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (2-16-21)
- C. Recommendation of Site Plan (2-16-21)

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Approval of February 8, 2020 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*

DUE Feb. 4th by 1:00 PM
\$500.00 Fee



GENOA CHARTER TOWNSHIP APPLICATION

Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Kelly Hansen / State Street Blinds & Design
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Kelly Hansen

SITE ADDRESS: 7041 Grand River Suite 200A PARCEL #(s): _____

APPLICANT PHONE: 810, 225 8488 OWNER PHONE: 248, 613 6554

LOCATION AND BRIEF DESCRIPTION OF SITE: Retail store at corner of Grand River & Pless Drive

BRIEF STATEMENT OF PROPOSED USE: retail store / install small sign on side of building

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: would like to add a sign to the corner of our store for better visibility for customers & deliveries. must turn onto Pless to find us

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: [Signature]

ADDRESS: 100 Wuy Howell MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) _____ of _____ at _____
 Name Business Affiliation Email Address

FEE EXCEEDANCE AGREEMENT

All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: Feb 23, 2021
 PRINT NAME: Kelly Hansen PHONE: 810 225 8488



Dear Planning Commission

Due to visibility issues, we would like to add a second, smaller sign to the side of our building.

The 2 signs together fall within the square footage allowed for one sign. Our building poses a challenge because it's recessed back 8' feet from the adjoining building to the West and from the South our entrance is blocked by a large angled 'feature' wall. (see pictures)

Even though we have a Grand River address vehicles must turn onto Pless drive to access our parking lot. Once on Pless drive you can not see the name of our building anywhere. Several times a day clients call us when they are just a few stores away saying they can't find us!

Additionally we also have truck drivers and freight delivery that waste time trying to find us. We have even missed important deliveries due to our signs poor visibility

We are approaching our 2 year mark this month at this location and it's really wearing on my staff and on our clients to constantly be dealing with this issue. A second sign - that's more visible -- especially from Pless drive and to the East would be a wonderful improvement

I believe we have designed an attractive, smaller sign that coordinates well with the main sign. it's made from all of the same materials and has bold letters that alerts the clients in the delivery people to the showroom at a glance

Thank you for your consideration

Kelly Hansen
and
State Street Blinds & Design staff



Approaching from the West our building is recessed 8' from our neighbours



7041

FIRESIDE
HEARTH & HOME

Blinds

NOW OPEN

CITY ELECTRIC SUPPLY
DRE
FIRESIDE
FIREWORKS
CROSSETT

TRUSTED



approaching from
East our sign is
blocked by angled
architectural
feature wall

ELECTRICAL
SUPPLIES
→

Customer Name:	
Company:	
Street:	
City:	
State:	Zip:
Country:	
Phone:	
Fax:	
E-mail:	

Job Number:	
Order Taken By:	
Order Date:	
Delivery Date:	
Shipping:	
File Name:	Buildingsign_side_0121.fs
Comments:	
Description:	

NOTE: All sales are final once proofing has begun. There are no refunds once production has begun. Jobs canceled prior to production may be subject to design fees. %50 deposit required before production to begin. Artwork & Files are owned exclusively by W4 Signs, Inc. unless originally provided by client or specifically stated. Original artwork files and rights may be purchased for an additional fee.

It is the responsibility of the client to ensure proof accuracy, including all spelling, colors & materials as indicated. After the 3rd proof, each additional revision will incur an additional \$20 fee. Proof approval authorizes W4 Signs to proceed with production of the design selected. Call for specific estimated completion time, otherwise jobs will be completed within the production schedule and/or notified for installation.

All Balances due upon completion / installation.

Revisions: 1 2 3 (Add. Revisions \$20 Extra Charge) 4 5 6

Please verify your proof approval or revisions have been received. **It is the responsibility of the client to ensure proof accuracy, including all spelling, colors & materials specified.**

Approval Signature: _____ Date: _____ NOT APPROVED: APPROVED: APPROVED W/ REVISIONS:

EXISTING PRIMARY SIGN: 73.3sq/ft

SECONDARY SIGN: 26.67 sq/ft



459.8 "

248.2 "

Customer Name:	Job Number:
Company:	Order Taken By:
Street:	Order Date:
City:	Delivery Date:
State:	Zip:
Country:	Shipping:
Phone:	File Name: Buildingsign_side_0121.fs
Fax:	Comments:
E-mail:	Description:

NOTE: All sales are final once proofing has begun. There are no refunds once production has begun. Jobs canceled prior to production may be subject to design fees. %50 deposit required before production to begin. Artwork & Files are owned exclusively by W4 Signs, Inc. unless originally provided by client or specifically stated. Original artwork files and rights may be purchased for an additional fee.

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It is the responsibility of the client to ensure proof accuracy, including all spelling, colors & materials specified.

Approval Signature: _____

Date: _____

NOT APPROVED:

APPROVED:

APPROVED W/ REVISIONS:



AS SEEN TRAVELING WESTBOUND

Customer Name:	Job Number:
Company:	Order Taken By:
Street:	Order Date:
City:	Delivery Date:
State: Zip:	Shipping:
Country:	File Name: Buildingsign_side_0121.fs
Phone:	Comments:
Fax:	Description:
E-mail:	

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All Balances due upon completion / installation.

Revisions: 1 2 3 (Add. Revisions \$20 Extra Charge) 4 5 6

Please verify your proof approval or revisions have been received. **It is the responsibility of the client to ensure proof accuracy, including all spelling, colors & materials specified.**

Approval Signature: _____ Date: _____ NOT APPROVED: APPROVED: APPROVED W/ REVISIONS:

62"



INTERNALLY LED LIT CONTOUR CAPSULE
 WHITE ACRYLIC FACE
 BLACK RETURNS & JEWELITE
 FLUSH MOUNTED w/ 3/16 BRICK ANCHORS



LOW VOLTAGE TRANSFORMER
 WIRED TO EXISTING 110v SIGN LEAD



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Rd, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

APPLICANT PHONE: (636) 220-6550 OWNER PHONE: (636) 220-6550

OWNER EMAIL: C.H.I. Contact: Jere Palazzolo, jpalazzolo@chi-usa.com

LOCATION AND BRIEF DESCRIPTION OF SITE: West of Chilson Rd, approximately 1,800 ft south of Crooked Lake Rd. Site consists of approximately 40 acres of rolling topography.

The western(rear) portion of the site contains small wetlands and is wooded. The southeastern portion of the site is primarily open meadow with stands of trees mixed in.

BRIEF STATEMENT OF PROPOSED USE: Site to include a proposed church and associated drives and parking areas. The layout of the drives and church is such that it works with the existing topography to minimize earth disruption as well as meanders around trees to preserve as many as feasible and maintain the character of the site.

THE FOLLOWING BUILDINGS ARE PROPOSED: A 6,084 sqft church building.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Jere Palazzolo **JERE PALAZZOLO**

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

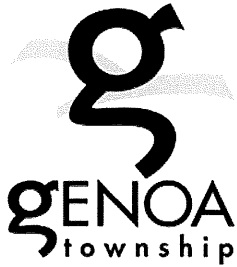
Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott Tousignant of Boss Engineering at bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Jere Palazzo DATE: 12/9/20
PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550
ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040



GENOA CHARTER TOWNSHIP
Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (636) 220-6550 EMAIL: jpalazzolo@chi-usa.com

OWNER NAME & ADDRESS: Catholic Healthcare International, 2464 Taylor Road, Suite 317, Wildwood, MO 63040

SITE ADDRESS: 3280 Chilson Road PARCEL #(s): 4711-20-100-020

OWNER PHONE: (636) 220-6550 EMAIL: jpalazzolo@chi-usa.com

Location and brief description of site and surroundings:

Site located west of Chilson Road, approximately 1,800 feet south of Crooked Lake Road. Located on approximately 40 acres, surrounded by CE zoning to the north/south/west with RR zoning to the east across Chilson Road. The site contains rolling topography with wetlands and woodlands on the west side of the site and open area with stands of trees on the southeast side of the site (area of development).

Proposed Use:

6,084sft church building with associated drives and parking. The remainder of the site will be used for outdoor features, like an outdoor Stations of the Cross walkway, natural nature trail, and outdoor grotto sign.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The purpose of the Country Estate Zoning is to retain the rural atmosphere while accommodating very low density development.
The layout of this site is such that it is meant to work with the natural features of this site in order to preserve the atmosphere and surroundings.
The proposed use for this site is low density with the largest traffic generating event filling an approximate 80 seat church.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The only building being proposed is being placed setback significantly off of Chilson Road. The site drives are designed to match the existing topography as closely as possible to minimize earth disturbance. The drives meander around trees in order to preserve the sites natural beauty and thus maintain the appearance from Chilson Road.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

Emergency vehicle access is via a paved drive within the site with access off of Chilson Road. This building will be serviced by a well and septic field, as is consistent with adjacent parcels. This site has no impact on schools. The waste generated by this site is minimal and anticipated to be serviced by typical weekly waste streetside pickup. Stormwater management is located on-site.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

There will be a minimal increase in traffic for any church services held on site. The site and use highlights the natural beauty of the property so the intent is to have minimal lighting and noise generated by the use. No fumes, odors, smoke, vibration and other such nuisances will be generated by this site.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02: This site meets the minimum lot size req. as it is a 40 acre site. This site layout meets the 50' parking lot setback req.

7.02.02: N/A

8.02.02: N/A

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Jere Palazzo STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: JERE PALAZZOLO

ADDRESS: 2464 TAYLOR RD, SUITE 317, WILDWOOD, MO 63040

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Scott Tousignant, P.E. of Boss Engineering at scottt@bosseng.com
 Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Jere Palazzo DATE: 12/9/20
 PRINT NAME: JERE PALAZZOLO PHONE: 636-220-6550

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 8, 2021
6:30 P.M.
MINUTES**

This meeting was conducted via Zoom

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Eric Rauch, Jim Mortensen, Jeff Dhaenens, Glynis McBain, and Jill Rickard. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Joseph Seward, Township Attorney; Gary Markstrom of Tetra Tech; and Brian Borden of Safebuilt Studio.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

INTRODUCTION OF MEMBERS: All members introduced themselves.

ELECTIONS OF OFFICERS:

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to elect Chris Grajek as Chairman, Eric Rauch as Vice-Chairman, and Marianne McCreary as Secretary. **The motion carried unanimously with a roll call vote.**

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Rickard, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

No Commissioners declared a conflict of interest.

CALL TO THE PUBLIC: The call to the public was made at 6:35 pm with no response.

- A. OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International. A. Recommendation of Special Use Application B. Recommendation of Environmental Impact Assessment (1-20-21) C. Recommendation of Site Plan (1-20-21)

Mr. Scott Tousignant of Boss Engineering, Mr. Jere Palazzolo, Father Tim, and Mary Swanson, the project architect, were present.

Mr. Tousignant provided a review of the project, including the size of the property and its topography. They are proposing to create a site for pilgrimage to use for quiet prayer. They

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would like to build a chapel, a grotto, a station of the cross, a driveway with a loop road and two parking lots. They will be working with the existing topography of the site with the least amount of impact on the trees, drainage, the surrounding, neighbors, etc. He showed the site plan and colored photographs of a proposed statue and other complimentary uses.

He noted that the bell will only ding twice each hour from 9 am to 9 pm. Also, the comments from the community that they are planning to build a hospital on this property in the future are not correct. That is not their vision for this site. The site cannot support a facility of that size. They are requesting approval for the chapel and the complimentary uses this evening.

Commissioner Mortensen questioned why the website of the church in Missouri states that the plan is to have a hospital and a medical school on this property. The Planning Commission will vote on what is being presented this evening; however, if approved, it is not a commitment for any plans as stated on the Church's website. That would not be compatible with the area and there is no sewer or water available for that type of development. Mr. Tousignant stated that is the vision for the church somewhere in the community, but not on this particular property.

Commissioner Rickard asked for details on the drainage. There is no curbing proposed for the parking lot areas. She asked what the overall plan was for this site. Mr. Tousignant reiterated that they would like to stay within the topography of the site and use the natural drainage path and cause little impact on the current property. The timeline for all of the additional uses on this site is unknown at this time.

Commissioner McCreary questioned if additional buildings are being planned. Mr. Tousignant stated that they do not have plans or a timeline for the remaining portion of the property. The property could support complimentary uses to what they are proposing this evening; however, when that vision is known, it will be presented to the Township. Mr. Polozzolo stated the primary focus of this campus is for quiet prayer and meditation. At this point, they do not have plans for any further development on this site.

Commissioner McCreary asked for the need for the bell. Mr. Tousignant stated this chapel is to replicate a church in Italy and that church has a bell. It is a key feature. This site will allow people who are devoted to St. Padre Pio to have a pilgrimage and experience the same church without the need for them to go to Italy. She understands the want to replicate it, but she is concerned with it ringing every hour on 9 am to 9 pm in this location.

Commissioner Dhaenens likes the project. He noted that other projects similar to this were approved in the Township and they ran into financial problems so they started renting it for weddings, parties, etc. He wanted the applicant to understand why the Planning Commission were asking these questions this evening.

Commissioner Rauch questioned if there is an operations plan, such as hours of operation as well as the specific plans for this site, as have been explained in this meeting. This would help the Planning Commission understand traffic flow, noise, etc. He would like this to be put in writing. Mr. Palazzolo stated at this time, the chapel would only be used on special occasions. They would never have more than one mass a day. The masses would be during the day and the hours of operation would be from dawn to dusk. People would be able to come at any time to walk on the trails.

Commissioner Mortensen questioned if any change to the Special Land Use would require the applicant to return to the Township for additional approval. Ms. VanMarter stated that if the

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threshold limits, such as the occupancy or intensity increases by at least 25 percent, then a new SLU permit would need to be reviewed and approved.

Mr. Borden reviewed his letter dated February 2, 2021:

He responded to Commissioner Mortensen's question regarding SLU amendments. Section 19.6 of the Zoning Ordinance addresses amendments to existing SLU. There are major and minor amendment so even if a change does not necessitate the reconsider a SLU, there could be sketch or site plan review that could be reviewed by staff or brought before the Planning Commission

1. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
2. The Commission may wish to seek input from the Township Engineer as it relates to northbound traffic and compatibility with the surrounding area.
3. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
4. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.
5. Should a private school, child day care center or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.
6. We request the applicant present building material and color samples to the Commission.
7. The parking lot must include curbing on all sides, as opposed to the bumper blocks proposed, unless the Commission determines they are necessary.
8. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt and parking lot. This is at the discretion of the Planning Commission.
9. A sign permit will be required from the Township prior to installation of any signage.
10. The Township may wish to have the applicant correct the existing fence encroachment as part of this project.

Mr. Markstrom reviewed his letter dated February 3, 2021:

The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.

Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

The petitioner is not proposing to put curb in the parking lots. He recommends the applicant include concrete curb and gutter in order to better control storm runoff and direct it to the bioswales as well as prevent parking outside of the parking lot.

The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements.

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The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

He would like to see how the cistern tank is going to be maintained. Is there property backflow protection, how will it be kept from freezing, etc.

Mr. Rick Boisvert, Brighton Area Fire Authority Fire Marshal, stated that his previous comments were addressed; however, he did not see the plans that show the meandering entrance drive; it was a straight drive. The turning radius proposed would not work for their apparatus. He would like to work with the applicant to change this to accommodate their apparatuses.

The call to the public was made at 7:38 pm.

Chairman Grajek advised that letters of concern have been received from residents. James Brancheau of 3611 Westphal, Mike Mandik of 3275 Chilson Road, Tim Park of 3529 Westphal, Shawn Nester of 3360 Chilson Road, Billy Martin of 4678 Richardson Road, Linda Holland, and Leslie Bohnett of 3367 Chilson Road all have concerns with the proposal, such as this is a rural location, additional traffic, the bell ringing, etc.

Mr. Bill Galvin of 4037 Chilson Road does not have significant concerns if the project is what is proposed. He is opposed to the bells ringing. He is concerned about the lack of engagement and communication and information sharing done by the applicant and the Township because some people lack technology and are unable to attend this meeting. He would like the Planning Commission to table this request this evening to allow more time for the residents to obtain more information and engage with the applicant and the Township. He is also concerned with the other uses that could be built on this site in the future if the SLU is approved this evening. The applicant could perceive that approval also be approval for future development on this site.

Mr. Bob Moran of 3985 Timber Green Court, which is ½ mile south of this property likes the zoning that was done by the Township at the I-96 and Latson Road interchange. He believes that this proposal belongs in that area. He and his neighbors are opposed to this project in this location. They are concerned with what will be developed in the future. He would like the applicant to provide what their plans are for the rest of this property.

Mr. John Wallbank of 2899 Pardee Road is concerned with what could potentially be built on this site, which could possibly be a medical center. He is concerned about the bell, the security for this property, and the rezoning.

Mr. Shawn Nester of 3360 Chilson Road, which is directly south of the property was not aware of this meeting until this morning when he saw it on social media. He is concerned about the bell and does not see its value. A commercial building in this area is not appropriate. If he knew that this property was going to be developed this way, he would not have purchased his home.

Mr. Pat Powers of 1018 Kellogg Road who lives adjacent to the Chaldean Campus does not believe that the Planning Commission should look at this project the same as that one. He is very excited about this project. People are looking for a place of solitude and worship. It is also a unique opportunity for a healthcare campus. He has met with the applicant and they are sincere.

Mr. Robert Jones of 3553 Westphal lives 300 feet from this project. He agrees with what was said by his neighbors regarding the bell ringing, traffic issues, and it does not fit the character of

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the neighborhood. He does not feel that a healthcare facility should be in this location. It will negatively impact the neighbors.

Mr. Duane Johnson of 3990 Chilson Road agrees with the statements made by his neighbors. He agrees with Mr. Moran that there are places in the Township where this can be built.

Ms. Melanie Johnson at 3990 Chilson Road is not in favor of this proposal.

Mr. Derek Sproull of 2099 Chilson Road just learned about this proposal this morning on social media. When he built his house 10 years ago, it was a country area. He is concerned that this area will be built with more commercial uses.

Mr. Ian Campbell of 3912 Chilson Road agrees with the concerns raised by his neighbors, including property values, the rezoning of agricultural land, the expansion of the road, increased traffic, etc. He hopes the Township denies this request.

Ms. Laura McGaffney of 5934 Hartford Way knows the impact that this will have in a positive way. The residents' property values will not go down. It is very impressive to know that top doctors, nurses, and scientists around the world will be in Brighton. She is in favor of this hospital.

Cynthia Telep of 3175 Crooked Lake Road stated that this would negatively impact the neighbors' lives in the area. She agrees with her neighbors. She noted that two members of the public spoke about a medical facility being developed here.

Ms. Lori Petrulis of 2344 Chilson Road has seen the growth in the area. She is concerned with the two members of the public who spoke about a future medical facility and not a chapel. She noted that they do not live in the area. She learned of this development this morning.

Ms. Jessica Sproull of 2185 and 2099 Chilson Road loves her property and loves the country setting. People move here to get away from these types of developments. There are other places they can build this. There has been a lot of activity on that property recently. She learned of this today. She would have liked to have seen a brochure of the project and what was being proposed.

Chairman Grajek stated that property owners within a 300 foot radius of this property would have been notified of the proposal and tonight's meeting.

Ms. Alita Worney's property abuts the railroad tracks. She agrees with what was said by her neighbors who are against this project. There is wildlife in the area. These properties are rural. She also did not receive any notification.

Mr. Chis Petersen of 2960 Beck Road did not receive notification of this proposal. He appreciates church bells and would like to hear them one to two times a day. The building should not be on the property line. If they want quiet, then why are they building a daycare and a hospital? He questioned who is going to pay for the development and what source of funding will they have for maintaining it.

Ms. Kim Miller of 3150 Crooked Lake Road supports her fellow residents who have moved out here for the serenity, land, limited traffic and to have livestock. They will be negatively impacted by this development.

The call to the public was closed at 8:39 pm.

Genoa Township Planning Commission

February 8, 2021

Unapproved Minutes

Ms. VanMarter showed the 300-foot-radius map outlining the properties who qualified for receiving notification of the proposal and tonight's meeting.

Commissioner Rickard agrees with the engineer that curbing is needed; she would like the required landscaping to be planted. She would like the developer with plans of what they anticipate will be built in the future. She would like to see their vision for the complete site in the future. She does not like the bell to ring every hour, and agrees with Commissioner Rauch and his comment regarding the operational and maintenance being put in writing and submitted to the Township.

Commissioner McBain stated that the Master Plan shows this area to maintain five-acre parcels and agricultural uses. She is uncomfortable moving forward without additional information. In looking at this organization, they are dedicated to healthcare.

Commissioner Mortensen stated that what is before the Planning Commission is very specific. The Planning Commission does not have the right to reject a proposal because we think they might do. Bells would have to comply with the zoning ordinance and a study would have to be provided to the Township. He agrees with the operations plan. He would like this item to be tabled this evening.

Commissioner Dhaenens stated this sounds like a wonderful place to be peaceful and tranquil in nature; however, it does not have his support this evening. He would like to see an operations plan, more specifics of what is being proposed, and he would like the applicant to inform the neighbors and engage with them. More trees are going to need to be planted on the south side of the property to help screen this site from the neighbor from the building. He needs more details for him to vote to approve this proposal.

Commissioner McCreary agrees with all of the other Commissioners' concerns. Who will maintain the building and the site, what are the hours of operation? She needs detailed information on what the end result will be.

Mr. Tousignant understands the concerns of the public. He stated they will add trees to the south side of the property. They are putting the chapel in the proposed location because they want to maintain the existing topography of the site. Putting it there would eliminate them needing to cut down trees because it is an open area on the site. This is another reason for not proposing curbing for the roadway and parking lots. It is an outdoor chapel so there would not be people there in rainy weather. He noted the resident's concerns regarding cars being parked on Chilson Road. If there were dedicated parking areas, then visitors would not need to park on the roadway. If road improvements are needed for this development, then the property owner would have to pay for them.

Mr. Palazzolo stated the overall vision is to build a hospital and a medical school to replicate the one in Italy but not on this site. This site will be the foundation of prayer that will be the first step to their hospital and medical school. There will not be healthcare services, a medical school or a rehab center on this site. This is sincerely a place of quiet prayer and meditation. They did engage with the neighbors adjacent to this site and they did not receive any negative responses. They do want to replicate the bell tower and would have liked to have it ring every hour; however, they are willing to have it ring on each hour from 12 pm to 6 pm.

All Commissioners agree that this item should be tabled this evening. Chairman Grajek reviewed the concerns of the Planning Commission, the consultants, and the neighbors and advised what details need to be provided and what issues should be addressed, specifically,

trees being planted on the southern property line, curb and gutter for the parking areas, days and hours of operation, number of weekly services, number of events per month, supervision and security plan, on site contact, maintenance plan, driveway configuration per the Brighton Area Fire Authority, and a schedule and decibel levels for the bell ringing.

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to table the Special Land Use Proposal, Environmental Impact Assessment, and Site Plan for the Catholic Healthcare International Church, Chapel and Grotto until the March 8, 2021 Planning Commission meeting to allow the applicant to address the following items:

- The planting of trees on the southern property line
- Curb and gutter for the parking areas
- Days and hours of operation
- Number of weekly services
- Number of events per month
- Supervision and security plan
- On site contact
- Maintenance plan
- Driveway configuration per the Brighton Area Fire Authority
- Schedule and decibel levels for the bell ringing

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter provided the 2020 Planning Commission Annual Report.

Approval of the November 9, 2020 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the November 9, 2020 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

Commissioner McCreary received an email from the Board of Commissioners from the Home Builders Association regarding the Fire Authority's development requirement of cisterns of 10 homes or more. These are very expensive and the cost filters to the consumer and contributes to the lack of affordable housing in the area. They are not in favor of this requirement. Commissioner Mortensen stated that the Townships and the City of Brighton have adopted the International Fire Code and that is part of that code. Ms. VanMarter stated they are working on updating the fire codes in all of their communities and Genoa agreed that developments with 10 or more homes will require cisterns. She noted that these comments should be directed to the Township Board.

Commissioner Rickard stated that fire suppression measures are very important.

Adjournment

March 3, 2021

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Catholic Healthcare International Church – Special Land Use and Site Plan Review #3
Location:	3280 Chilson Road – west side of Chilson Road, south of Crooked Lake Road
Zoning:	CE Country Estate District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Catholic Healthcare International requesting special land use and site plan review/approval for a new church (site plan dated 2/16/21).

A. Summary

1. Special Land Use standards of Section 19.03:

- a. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
- b. We request the applicant provide the Commission with additional detail regarding outdoor mass.
- c. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
- d. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.

2. Use Requirements of Section 3.03.02(1):

- a. Should a private school, child day care center, or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

3. Site Plan Review:

- a. The applicant should provide the Township with building material and color samples for inclusion with the project file.
- b. Planning Commission approval is required for the amount of parking proposed, as well as the use of bumper blocks for 2 parking spaces.
- c. We request the applicant provide an indication of the number of people expected for special events. If deemed necessary, banked parking may be an appropriate option.
- d. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt (5 trees) and parking lot (landscaped islands).

B. Proposal/Process

The proposal entails a 6,090 square foot church building, along with accessory outdoor uses in the form of a mural wall/altar, Grotto, Stations of the Cross, and a statue. As a side note, what was formerly noted as a Grotto, is now described as a mural wall and altar, though the site plan and details remain the same.

Churches, temples, and similar places of worship are allowed with special land use approval in the CE District. Such uses are also subject to the requirements of Section 3.03.02(1).

Procedurally, the Planning Commission is to review the special land use, site plan, and impact assessment, and provide a recommendation on each to the Township Board following a public hearing.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Uses, as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site, as well as the adjacent properties on the west side of Chilson Road, as Agriculture/Country Estate.

This category is intended for “agricultural use” or “single family residential on estate lots” (5-acre minimum). The Plan further states that such areas “have significant natural limitations such as wetlands or severe soil limitations” and that “these areas are not planned for sanitary sewer.”

The subject site possesses these characteristics (wetlands, no sanitary sewer), and is located within the Rural Reserve area of the growth management boundary. Such areas are to “be maintained at a relatively low intensity rural character of development that will not adversely impact natural features and agricultural uses.”

Since there is no reference to institutional uses under this category, in order to make a favorable finding under this criterion, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.

- 2. Compatibility.** The subject area includes single-family residences on relatively large lots, as well as active agricultural.

The perimeter of the site is buffered by existing vegetation that will be preserved, which will help to mitigate views from off-site.

Based on previous discussion, concerns under this criterion are generally related to noise generation by the outdoor accessory uses and chapel bell.

The applicant has indicated that the outdoor accessory uses are intended for meditation and quiet reflection, and are not necessarily intended for large outdoor gatherings. However, the revised Impact Assessment notes occasional outdoor mass in the area formerly noted as the Grotto.

We request the applicant provide the Township with additional detail on this aspect of the request.

The revised submittal notes that the chapel bell will ring 3 times at noon and 6PM. The bell will also ring for scheduled mass times and special events; however, the bell will not be used between 9PM and 9AM.

The “General Operations” letter identifies 2 special events – May 25th and September 23rd from noon to dark.

The revised submittal does not include decibel ratings or a sound study noting the noise that will be generated by the chapel bell. The Commission may wish to request such details, given the rural residential nature of the surrounding area.

- 3. Public Facilities and Services.** The site has vehicular access to/from Chilson Road, which is an arterial roadway. Per the submittal materials, the project will be served by private well and septic systems.

The Commission should consider any technical provided by the Township Engineer and Brighton Area Fire Authority with respect to this criterion.

- 4. Impacts.** Similar to the comments above, the applicant must demonstrate to the Township’s satisfaction that noise generation will not adversely impact surrounding uses.
- 5. Mitigation.** Should additional concerns arise as part of the review process, the Township may require additional efforts/improvements to mitigate potential adverse impacts.

D. Use Requirements

Churches, temples, and similar places of worship are subject to the use requirements of Section 3.03.02(1), as follows:

- 1. Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.**

The subject site contains 40 acres of lot area, while a seating capacity of 95 persons is noted. This standard is met.

- 2. Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.**

The proposed building (34’-11” to the top of the bell tower) complies with the maximum height allowed for the CE District (35’).

- 3. Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.**

The two parking areas exceed minimum setback requirements, and the applicant proposes to retain existing landscaping and topography in lieu of providing a wall, fence, or berm.

Proposed buffering includes the additional spacing, as well as a combination of existing and proposed trees. The revised submittal includes 31 additional evergreen trees along the south side lot line.

4. Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.

The request does not include a private school or child day care center. As such, this standard does not apply to the proposal.

As previously noted and discussed, should these (or other) uses be proposed in the future, the applicant will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.

E. Site Plan Review

1. Dimensional Requirements. The proposal is well within the allowable dimensional standards of the CE District with respect to setbacks, building height, and lot coverage.

2. Building Materials and Design. The building elevation drawings identify the use of brick and limestone.

We suggest the applicant provide the Township with material and color samples for inclusion with the project file.

3. Pedestrian Circulation. Public sidewalks/pathways are not required along this portion of Chilson Road (Section 12.05).

The project includes internal concrete sidewalks between the parking lots/drop-off lane and building entrances, as well as a limestone pathway for the Stations of the Cross.

4. Vehicular Circulation. Vehicular access is proposed via a new driveway to/from Chilson Road, which includes a deceleration/acceleration lane for southbound traffic.

Internally, the site includes both two-way and one-way traffic circulation. Proper drive aisle widths are provided throughout the site, and a fire truck turning movement is depicted (Sheet 4).

The applicant must address any comments provided by the Township Engineer or the Brighton Area Fire Authority with respect to vehicular circulation.

5. Parking. Proposed parking has been reviewed for compliance with the standards of Article 14, as follows:

	Required	Proposed	Comments
Parking Spaces Churches, temples, and similar places of worship (1 space for each 3 seats in the main unit of worship)	32	39	Section 14.02.06 requires PC authorization for parking above 120% of the minimum requirement. The proposal entails 122%.
Barrier Free Spaces	2	4	In compliance
Dimensions Spaces (75 to 90-degree) Drive aisle width (two-way) Drive aisle width (one-way)	9' x 18' 24' 15'	9' x 18' & 9' x 21' 26' 21'	In compliance In compliance In compliance
Construction	Looped striping Curbing on all sides	Looped striping Curbing w/ 2 bumper blocks	Curbing has been added; however, 2 bumper blocks remain. PC authorization is required.

Though the parking requirements are met for the church, we request the applicant provide an indication of the number of people expected for special events to ensure sufficient parking is provided.

If deemed necessary, banked parking in accordance with Section 14.02.05 may be an appropriate option.

- 6. Landscaping.** The revised landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 14 canopy trees	50' width 9 canopy trees Existing trees	Applicant requests that PC allow existing trees to remain in lieu of 5 new plantings. Based on review of aerial photos, there are more than 5 existing trees being preserved.
Parking lot	4 canopy trees 380 SF landscaped area	4 canopy trees 0 SF landscaped area	Applicant requests that PC allow proposed layout w/out landscape islands

The plan also includes 36 evergreen trees, 6 ornamental trees, 107 shrubs, and 15 perennials planted around the building.

- 7. Waste Receptacle.** In lieu of a dedicated waste receptacle/enclosure, the applicant indicates that refuse removal will be done via typical residential curbside pickup.
- 8. Exterior Lighting.** The revised lighting plan identifies 11 driveway/parking lot light poles, 9 decorative/pedestrian bollards, and 9 wall mounted fixtures.

Details note the use of LED fixtures, and a maximum mounting height of 20 feet (both of which comply with current standards).

The photometric readings are well within the intensity allowed on-site and along property lines.

- 9. Signs.** The site plan identifies a new monument sign on the north side of the proposed driveway. The required setback is provided, and a rendering of the sign is included; however, size and material details are not included.

A note has also been added referencing the requirement for a Township sign permit prior to installation.

- 10. Accessory Structures.** The plan also includes several outdoor accessory components – a mural wall/altar (formerly described as a Grotto), Stations of the Cross, and statue.

Details include a masonry mural wall, a 5-foot wide limestone pathway and 14 wood structures with paintings for the Stations of the Cross, and a statue near a large mature tree north in the front yard.


- 11. Impact Assessment.** The submittal includes a revised Impact Assessment dated February 16, 2021.

In summary, the Assessment notes that the proposed project is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

The revised submittal also includes a letter outlining “General Operations,” as requested by the Commission at the previous meeting.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
Michigan Planning Manager



March 2, 2021

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Catholic Healthcare International
Site Plan Review No. 3**

Dear Ms. Van Marter:

Tetra Tech conducted a third review of the proposed Catholic Healthcare International site plan last dated February 16, 2021. The plans and impact assessment were submitted by Boss Engineering on behalf of Catholic Healthcare International. The site is on a 40-acre parcel located on the southwest side of Chilson Road, approximately 1,500 feet south of Crooked Lake Road. The petitioner is proposing a 6,090 square foot church in the southeast corner of the property. The Petitioner is proposing parking lot, access drive, storm drainage, and well and septic improvements.

After reviewing the site and impact assessment we offer the following:

GENERAL NOTES

1. The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.
2. Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

SITE PLAN

1. The Petitioner added concrete curb and gutter around the proposed drive and parking area as requested. The additional curb and gutter will help control storm drainage and ensure vehicles park within the parking limits.

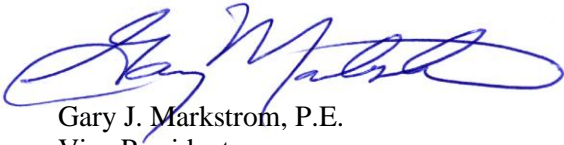
DRAINAGE AND GRADING

1. The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements. The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

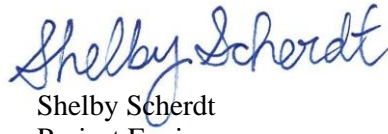
Ms. Kelly Van Marter
Re: Catholic Healthcare International
Site Plan Review No. 3
March 2, 2021
Page 2

We recommend the petitioner address the remaining comments above to the satisfaction of the Township. Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 18, 2021

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Catholic Healthcare International Church
3280 Chilson Rd.
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on February 17, 2021 and the drawings are dated December 18, 2020 with latest revisions dated February 16, 2021. The project is for a new Catholic Church on Chilson Rd. The building is proposed to be 6,084 square foot assembly occupancy. The building is provided with a single access drive from Chilson Rd. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All previous comments have been addressed including rearrangement of the entrance drive for emergency vehicle access.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628
Internet Address: www.livingstonroads.org

January 22, 2021

Scott Tousignant, P.E.
Boss Engineering
3121 E. Grand River Ave
Howell, MI 48843

Re: Catholic Healthcare International, Genoa Township, Section 20
LCRC# C-20-11

Dear Mr. Tousignant:

I have completed the review of the plans for a commercial driveway approach off Chilson Road for a church, dated January 20, 2021, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

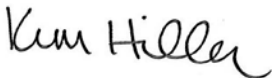
Before a commercial approach permit can be issued, the following items need to be completed.

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability."
2. It will be stated on the permit that any future additions or changes in use of the site may require improvements to the approach and/or Chilson Road to accommodate the increase in traffic.

Commercial approach permits are valid for a six (6) month period. Please contact me when you are ready for the permit to be issued and allow for a minimum of two (2) business days for preparing the permit for signatures.

If you have any questions, please feel free to contact me.

Sincerely,



Kim Hiller, P.E.
Utilities and Permits Engineer

Cc: File

Amy Ruthig, Genoa Township (via email)
Ken Recker, Livingston County Drain Commissioner's Office (via email)

March 8, 2021

To: Genoa Township Planning Commission:

Re: Request to Deny Special Land Use Application at 3280 Chilson Road

From: Residents of Genoa Township

Dear Commissioners: Thank you for your community service and representing the interests, laws, codes, and ordinances of the citizens of Genoa Township. We have organized and we are submitting the following facts and citizen positions to request denial of the land use applications by Catholic Healthcare International at 3280 Chilson Road.

Whereas, the site commonly known as 3280 Chilson Road and all properties in the vicinity are zoned for agricultural and country estate uses.

Whereas, the Genoa Township Master Plan Future Land Use maintains AG and CE zoning.

Whereas, the proposed use of a chapel, paved parking lot, and bioswale are substantially different from the existing conditions in the AG and CE zoned areas.

Whereas, the proposed use will cause new disruptions such as light pollution, noise pollution, increased traffic, road modifications, after hours use, and similar.

Whereas, Genoa Township is a home rule municipality in the State of Michigan, and the planning commission has the right to deny.

Whereas, the applicant's proposed development deviates from the township's General Review Zoning Standards and Requirements for special land uses. Article 19 Section 19.03 of the Genoa Township Zoning Ordinance, "The Planning Commission shall require the following general standards shall be satisfied for the use at the proposed location, in addition to specific standards for individual special land uses listed in the districts."

Whereas, under Article 19, Section 19.03.01 the applicant's proposed chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes deviates from the township master plan for agricultural and country estate residences for both current and future land use.

Whereas, under Article 19, Section 19.03.02 the proposed architectural rendering of the chapel, bell, parking lot, elevated lighting, bioswale, accoutrements and supporting processes are not compatible with the existing character which is best exemplified by their absence in the vicinity.

Whereas, under Article 19, Section 19.03.03 infrastructure is minimal or non-existent in the area and this development will predicate an expansion review of Chilson Road and other utilities.

Whereas, under Article 19, Section 19.03.04 the development's impact will create new activities that are detrimental to the surrounding natural environments including the land, water, and livestock by creating excessive production of traffic, noise, glare, storm water run-off or other types of commercial nuisances.

Whereas, under Article 19, Section 19.03.05 mitigation is impractical or impossible, including noises from bells, glare from lighting, and increases in traffic in an area underserved by interconnecting roads.

Whereas, this petition will document the desire to maintain the agricultural, country estate, rural lifestyle along Chilson Road.

Whereas, the applicant has identified this development as a national destination for pilgrimages which will attract an undetermined number of visitors without accommodation.

Whereas, this development and its impacts will be permanent.

Whereas, we realize economic development is desirable when it is constructed in designated areas zoned to intentionally support it.

Whereas, Genoa Township has provided economic development zones of opportunity to support growth while maintaining the traditional rural atmosphere in the region.

Whereas, from 2019 to present the applicant has employed a public relations campaign through local Catholic parishes, the media and YouTube promoting plans to construct multiple uses in several phases.

Whereas, the property currently identified as 3280 Chilson Road was donated by the Archdiocese of Lansing and is commonly referred to as “The Howell Campus” in the applicant’s messages and materials.

Whereas, the applicant’s vision plan for the Howell Campus includes a hospital for this location for which they were denied a Certificate of Need by the State of Michigan in 2019

Whereas, the applicant has identified additional multiple uses for the Howell Campus including a rehabilitation facility, a medical school, and a public policy research center.

Whereas, the applicant has sought to expand their geographical footprint by contacting neighboring residents to open a dialogue to purchase their property.

Whereas, we recognize the applicant’s first amendment rights and hope to blend those with the property rights of all residents within the zoning ordinances of Genoa Township.

Whereas, we fully support this multi-phase development and all its various uses within the boundaries of Genoa Township and Livingston County at a different site location where compliant zoning will contribute to economic development in the region.

Whereas, the applicant has previously constructed a rustic grotto, altar, trails and undeveloped driveway without obtaining local permits, and recognizing it may be reasonable for the township to bring that into compliance, and recognizing this underdeveloped use may be viewed as somewhat characteristic with the area, we encourage the planning commission to approve the existing structures in “as-is condition” with “shall comply with current zoning language” and prohibit further development and improvements, except those that meet the zoning standards of AG and CE, by means of deed restrictions or similar.

We submit the following sample motions for action in the affirmative:

Motion 1: Move to deny Catholic Healthcare International Special Land Use Applications and Site Plans at 3280 Chilson Road.

Motion 2: Move to request Catholic Healthcare International to submit a Special Land Use Application, renderings, environmental impact study and supporting documents representing the current as-is conditions and request these as-is conditions shall comply with AG or CE zoning and building codes with no further improvements.

Motion 3: Move to authorize administration to seek deed restrictions prohibiting additional improvement or development, except those that comply with AG or CE zoning.

psw

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 1

Printed Name: Kew Nath Zang
Address: 1760 Chilson Rd
Signature: [Handwritten Signature]

Printed Name: John M. Gregor
Address: [Redacted]
Signature: In FL, 3160 Chilson

Printed Name: Alex Clayton
Address: 1711 Chilson rd
Signature: [Handwritten Signature]

Printed Name: RON MUSICO
Address: 3595 PINEVIEW TR
Signature: [Handwritten Signature]

Printed Name: Mary Griffith
Address: 2650 Chilson Rd
Signature: [Handwritten Signature]

Printed Name: KEVIN Mc CONELTY
Address: 3576 PINEVIEW TR
Signature: [Handwritten Signature]

Printed Name: Mik Renae
Address: 2333 Chilson Rd
Signature: [Handwritten Signature]

Printed Name: Machline Johnson
Address: 3990 Chilson rd
Signature: [Handwritten Signature]

Printed Name: ROBERT FISH
Address: 2303 CHILSON RD.
Signature: [Handwritten Signature]

Printed Name: Marilyn Koman
Address: 3419 Chilson
Signature: [Handwritten Signature]

Printed Name: Bonnie Fish
Address: 2303 Chilson Rd
Signature: [Handwritten Signature]

Printed Name: DAVID BONNETT
Address: 3367 CHILSON RD.
Signature: [Handwritten Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 2

Printed Name: Jessiah Spraul
Address: 2099 Chilson rd Howell NJ 08845
Signature: Jessiah Spraul

Printed Name: Zac Kery Barton
Address: 2601 Oak Meadow Dr.
Signature: Zac Kery Barton

Printed Name: Derek Spraul
Address: 2099 Chilson Rd. Howell, N.J. 08843
Signature: Derek Spraul

Printed Name: Caitlin Barton
Address: 2601 Oak Meadow Drive
Signature: Caitlin Barton

Printed Name: Jonas A Jaskolski
Address: 2832 Oak Meadow Dr
Signature: Jonas A Jaskolski

Printed Name: Darrell D Ramos
Address: 2878 Oak Meadow Dr.
Signature: Darrell D Ramos

Printed Name: Kathy Jaskolski
Address: 2832 OAKMEADOW DR
Signature: Kathy Jaskolski

Printed Name: Trenton Ramos
Address: 2878 Oak Meadow Dr.
Signature: Trenton Ramos

Printed Name: Michelle Jaskolski
Address: 2832 Oak Meadow Dr
Signature: Michelle Jaskolski

Printed Name: Emily Ramos
Address: 2878 Oak Meadow Dr.
Signature: Emily Ramos

Printed Name: Robert N. Adams
Address: 2785 Oak Meadow
Signature: Robert N. Adams

Printed Name: Eric Wilkinson
Address: 3501 Crooked Lake
Signature: Eric Wilkinson

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 3

Printed Name: Barbara Wikaryasz

Address: 1510 Chilson Rd.

Signature: Barbara Wikaryasz

Printed Name: MARTIN WIKARYASZ

Address: 1510 Chilson Rd

Signature: Martin Wikaryasz

Printed Name: Deb Patmore

Address: 1480 Chilson Rd

Signature: Deb Patmore

Printed Name: Roberta Sallee

Address: 1450 Chilson Rd

Signature: Roberta MSallee

Printed Name: Karen Bailey

Address: 1538 Chilson Rd.

Signature: Karen Bailey

Printed Name: DONNA STUART

Address: 1544 CHILSON Rd

Signature: Donna Stuart

Printed Name: Tecay Lassitter

Address: 1532 CHILSON RD

Signature: Tecay Lassitter

Printed Name: Lorene Lassitter

Address: 1532 Chilson Rd Howell

Signature: Lorene Lassitter

Printed Name: Grace Trudell

Address: 1551 Chilson Rd

Signature: Grace Trudell

Printed Name: Kevin PYBUS

Address: 1555 Chilson Rd.

Signature: Kevin Pybus

Printed Name: RICHARD BARNES

Address: 1677 CHILSON

Signature: Richard Barnes

Printed Name: Cheyl Barnes

Address: 1677 Chilson

Signature: Cheyl Barnes

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 4

Printed Name: Jacqui Flood
Address: 3912 Chilson Rd
Signature: Jacqui Flood

Printed Name: Susan Fillion
Address: 3864 Chilson Rd
Signature: Susan Fillion

Printed Name: Lucy Petersen
Address: 2960 Beck
Signature: Lucy E. Petersen

Printed Name: John Fillion
Address: 3864 Chilson Rd
Signature: JF Fillion

Printed Name: Duane Johnson
Address: 3990 Chilson Rd Howell MI
Signature: Duane Johnson

Printed Name: Renee Pasko
Address: 2765 Kings Ct. Howell MI 48843
Signature: Renee Pasko

Printed Name: ROBERT MORAN
Address: 3985 Timber Green Ct
Signature: Robert Moran

Printed Name: Chris Pasko
Address: 2765 Kings Ct Howell MI
Signature: CHRIS PASKO

Printed Name: KATHLEE MORAN
Address: 3985 Timber Green Ct
Signature: Kathlee Moran

Printed Name: Jon Pasko
Address: 2765 Kings Ct Howell MI
Signature: JON PASKO

Printed Name: IAN CAMPBELL
Address: 3912 CHILSON RD
Signature: Ian Campbell

Printed Name: JOSEPH SPASKO
Address: 2265 Kings Ct, Howell MI
Signature: Joseph Spasko

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 5

Printed Name: DISCHER
Address: 2358 CHILSON
Signature: R. Discher

Printed Name: Jessica Baumgardner
Address: 2828 Chilson Rd. Howell
Signature: Jessica Baumgardner

Printed Name: Val Cunningham
Address: 2521 Chilson Rd
Signature: Howell mich 48843

Printed Name: DONALD RESTADINI JR
Address: 2768 CHILSON RD 48843
Signature: Donald Restadini Jr

Printed Name: Lorie Skintley
Address: 2521 Chilson Rd
Signature: Howell mich

Printed Name: ALLISON RESTAURI
Address: 2768 Chilson Rd Howell 48843
Signature: Allison Restauri

Printed Name: Linda Byer 48843
Address: 2627 Chilson, Howell
Signature: Linda Byer

Printed Name: Cris Petersen
Address: 2960 Beck Rd
Signature: CR Petersen

Printed Name: NORMAN COLLINS
Address: 2627 Chilson Rd, Howell
Signature: Norman Collins

Printed Name: Sarah Petersen
Address: 2960 Beck Rd.
Signature: Sarah A. Petersen

Printed Name: Robert Baumgardner
Address: 2828 Chilson Rd. Howell
Signature: RB

Printed Name: TOM TAIT
Address: 1520 Chilson Rd
Signature: Thomas R. Tait

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the following residents, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 6

Printed Name: KATHRYN WILKINSON
Address: 3561 CROOKERS LAKE
Signature: Kathryn Wilkin

Printed Name: Lauren Sault
Address: 3302 PINEVIEW TRAIL
Signature: LS

Printed Name: Erin Yates
Address: 2700 OAK MEADOW DR
Signature: Erin Yates

Printed Name: THOMAS A. JATKOWSKI
Address: 3414 PINEVIEW TRAIL
Signature: Thomas A. Jatkowski

Printed Name: Jarry Beno
Address: 2577 OAK MEADOW DR.
Signature: Jarry Beno

Printed Name: Julie Berz
Address: 3093 Pineview Trail
Signature: Julie Berz

Printed Name: RALPH BERZ
Address: 3093 PINEVIEW TR.
Signature: Ralph Berz

Printed Name: Jeremy Hamilton
Address: 1690 chilson rd.
Signature: J Hamilton

Printed Name: Deborah Beattie
Address: 3109 Pineview Tr
Signature: Deborah Beattie

Printed Name: Kathy Zane
Address: 4700 Chilson
Signature: Kathy Zane

Printed Name: Joyce Lehman
Address: 5269 Pineview Trail
Signature: Joyce L

Printed Name: MaryKay Keifer
Address: 4200 Melburn #
Signature: MaryKay Keifer

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 7

Printed Name: BRIAN MacARTHUR
Address: 4075 CHILSON RD
Signature: [Signature]

Printed Name: RONNIE Monarch
Address: 4001 S. LATSON
Signature: (OBTAINED PERMISSION
By Phone Due to COVID)

Printed Name: VERNEY W. MACARTHUR
Address: 4075 CHILSON RD
Signature: [Signature]

Printed Name: Cynthia Monarch
Address: 4001 S. LATSON
Signature: (OBTAINED PERMISSION
By Phone Due to COVID)

Printed Name: Patricia MacArthur
Address: 4075 Chilson Rd.
Signature: [Signature]

Printed Name: Sharon L. Galvin
Address: 4037 Chilson Rd
Signature: [Signature]

Printed Name: Brian Galvin
Address: 4037 Chilson Rd.
Signature: [Signature]

Printed Name: William Galvin
Address: 4037 Chilson
Signature: [Signature]

Printed Name: WILLIAM T MONTGOMERY
Address: 3947 S. LATSON RD
Signature: [Signature]

Printed Name: Deborah Rattai
Address: 3901 S. Latson Rd
Signature: [Signature]

Printed Name: RICHARD RATTAI
Address: 3901 S. LATSON RD
Signature: [Signature]

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 8

Printed Name: Leslie Bohnett
Address: 3367 Chilson Rd
Signature: Leslie Bohnett

Printed Name: Harry Newton
Address: 5490 LEZZANAU CT
Signature: Harry E Newton

Printed Name: Melissa Dienes
Address: 2735 E Schlarfer Rd
Signature: Melissa Dienes

Printed Name: Sean McCall
Address: 5728 Eggert Pl
Signature: Sean McCall

Printed Name: BRAD Humphrey
Address: 3729 Beattis
Signature: Brad Humphrey

Printed Name: Clair Sprague
Address: 5512 Wildwood Dr
Signature: Clair Sprague

Printed Name: Jack Kernin
Address: 4525 GOLF VIEW
Signature: Jack Kernin

Printed Name: KEVIN Rupp
Address: 5207 PINE-HILL CIR.
Signature: Kevin Rupp

Printed Name: MARK BOSIC
Address: 2960 FISK
Signature: Mark Bosic

Printed Name: Dave Byrum
Address: 3981 Honors Way
Signature: Dave Byrum

Printed Name: Sandy Kurz
Address: 16937 Kestrel Ridge
Signature: Sandy Kurz

Printed Name: Julia Zestrow
Address: 5237 Prairie View
Signature: Julia Zestrow

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 9

Printed Name: Ralph M Sorley
Address: 5141 Beck Howell
Signature: Ralph M Sorley

Printed Name: Chris Fleenor
Address: 5237 Cherokee
Signature: Chris Fleenor

Printed Name: Ron King
Address: 4758 TREASURE LAKE
Signature: Ron King

Printed Name: Jinda Mihela
Address: 12808 Rush Lake
Signature: Jinda Mihela

Printed Name: Ron King
Address: 4758 TREASURE LAKE
Signature: Ron King

Printed Name: Kevin Lukens
Address: 4908 FAIRWAY DR
Signature: Kevin Lukens

Printed Name: Peter Vanno
Address: 6442 Forest Beach
Signature: Peter Vanno

Printed Name: Fred Vogel
Address: 6150 Nottingham Pt
Signature: Fred Vogel

Printed Name: Frieda Young
Address: 6442 Forest Beach
Signature: Frieda Young

Printed Name: Lori Johnson
Address: 4767 Clifton
Signature: Lori Johnson

Printed Name: Lisa Rettino
Address: 2298 East Clear Lake
Signature: Lisa Rettino

Printed Name: Robert Overmyer
Address: 4111 Timberview Dr
Signature: Robert Overmyer

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 10

Printed Name: DALE MOORE

Address: 3720 E. COON LAKE HOWELL 48813

Signature: 


Printed Name: Robert Ry

Address: 3978 East Coon Lake Rd

Signature: 

Printed Name: SANDRA L CINGEL-MOORE

Address: 3720 E. Coon Lake Howell 48813

Signature: 

Printed Name: Helen C Blower

Address: 3809 CHILSON RD

Signature: 

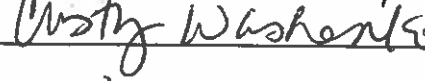
Printed Name: Greg Moore

Address: 3720 E. Coon Lake Rd Howell 48813

Signature: 

Printed Name: Cristy Washenko

Address: 5200 WASHAKIE BRIGHTON

Signature: 

Printed Name: Todd Walker

Address: 4758 Roundtree Drive 48116

Signature: 

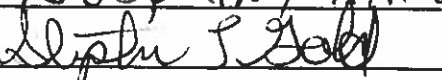
Printed Name: Tim Olech

Address: 2339 PRADO VISTA HOWELL

Signature: 

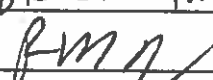
Printed Name: STEPHEN GOLD

Address: 2750 SPRING HILL DR

Signature: 

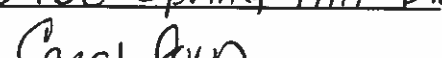
Printed Name: Robert¹⁴ Ballou

Address: 4813 OAK TREE CT, Brighton

Signature: 

Printed Name: Carol Gold

Address: 2750 Spring Hill Dr

Signature: 

Printed Name: Harris Johnson

Address: 5020 Greenbrooke Cir

Signature: 

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 11

Printed Name: Jeremy Smider
Address: 3707 Westphal Rd.
Signature: [Signature]

Printed Name: AL STAWICK
Address: 3050 CENTENNIAL CT
Signature: [Signature]

Printed Name: John Heideberg
Address: 3696 Westphal
Signature: [Signature]

Printed Name: JASON STAWICK
Address: 3050 CENTENNIAL CT
Signature: [Signature]

Printed Name: Robert LAGANA
Address: 3710 WESTPHAL
Signature: [Signature]

Printed Name: DANIEL O. KEBERT
Address: 3154 CENTENNIAL
Signature: [Signature]

Printed Name: Lynn Lagana
Address: 3710 Westphal Rd
Signature: [Signature]

Printed Name: Deborah Kelbert
Address: 3154 Centennial Ct.
Signature: [Signature]

Printed Name: SCOTT SHERMAN
Address: 3743 WESTPHAL
Signature: [Signature]

Printed Name: PAULETTE SAGER
Address: 3176 CENTENNIAL CT.
Signature: [Signature]

Printed Name: Matthew Vitis
Address: 3823 Westphal Rd
Signature: [Signature]

Printed Name: RICHARD SAGER
Address: 3176 CENTENNIAL CT.
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 12

Printed Name: Jo Hill
Address: 3131 CENTENNIAL CT
Signature: [Signature]

Printed Name: MARIA ADAMS
Address: 4075 SWEET RD.
Signature: [Signature]

Printed Name: Stephanie Hillebrand
Address: 3131 Centennial Ct
Signature: [Signature]

Printed Name: Tony Vitale
Address: 4100 Seim Rd 48843
Signature: [Signature]

Printed Name: ALIDA WOLNICY
Address: 3591 WESTPHAL
Signature: [Signature]

Printed Name: Kristine Vitale
Address: 4100 Seim Rd, 48843
Signature: [Signature]

Printed Name: Karise Clarke
Address: 3142 Westphal
Signature: [Signature]

Printed Name: Wendy Castricone
Address: 4675 Seim Rd
Signature: [Signature]

Printed Name: Jeremy Clarke
Address: 3142 Westphal
Signature: [Signature]

Printed Name: Michael Maloney
Address: 4075 SEIM RD.
Signature: [Signature]

Printed Name: James W. Adams
Address: 4075 SWEET RD.
Signature: [Signature]

Printed Name: Gene Kihw
Address: 3649 Nixon Road
Signature: [Signature]

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 13

Printed Name: Edward P. Liddy

Address: 3200 Crooked

Signature: Edward P. Liddy

Printed Name: Tonya Nester

Address: 3360 Chilson Rd

Signature: [Signature]

Printed Name: Bill James Jr.

Address: 3534 Crooked Lake

Signature: Bill James Jr.

Printed Name: Marla James

Address: 3534 Crooked Lk Rd.

Signature: Marla James

Printed Name: MICHAEL BAALAER

Address: 2645 FISK RD

Signature: [Signature]

Printed Name: Lucas M Baalaer

Address: 4318 Sweet Rd

Signature: [Signature]

Printed Name: Brian Schroeder

Address: 4201 Sweet Rd

Signature: [Signature]

Printed Name: Anna Schroeder

Address: 4201 Sweet Rd

Signature: Anna Schroeder

Printed Name: SiShane Gszko

Address: 4200 Sweet

Signature: [Signature]

Printed Name: Kristina Laszlo

Address: 4200 Sweet Rd.

Signature: [Signature]

Printed Name: Todd Hill

Address: 2085 LATSON

Signature: [Signature]

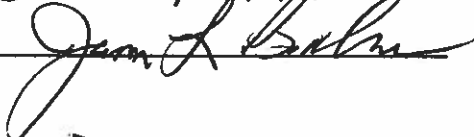
Printed Name: Scott Bozkiwicz


Address: 4010 Swim Rd

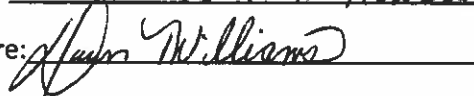
Signature: [Signature]

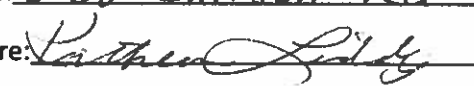
Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

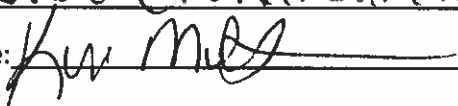
Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 14


Printed Name: James Brancheau
Address: 3611 Westphal Howell 48843
Signature: 

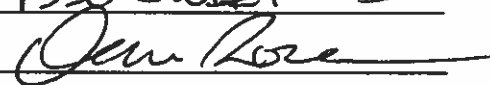
Printed Name: MICHAEL E. WILLIAMS
Address: 3654 WESTPHAL, Howell, MI 48843
Signature: 

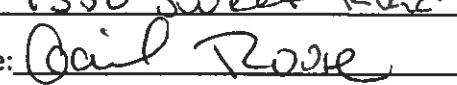
Printed Name: DAWN T. WILLIAMS
Address: 3654 WESTPHAL HOWELL 48843
Signature: 

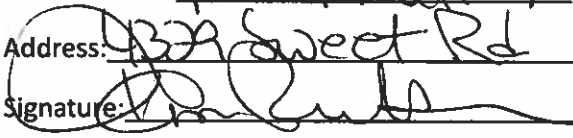
Printed Name: KATHLEEN LIDDY
Address: 3160 Chilson Rd
Signature: 

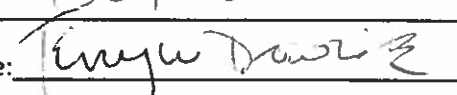
Printed Name: Kim Miller
Address: 3150 Crooked Lake Rd
Signature: 

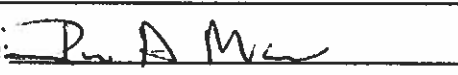
Printed Name: PAUL MILLER
Address: 3150 CROOKED LAKE RD
Signature: 

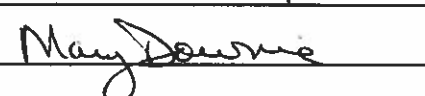
Printed Name: DAN ROOSE
Address: 4350 SWEET RD
Signature: 

Printed Name: Gail Roose
Address: 4350 Sweet Road
Signature: 

Printed Name: Tama Rutter
Address: 4307 Sweet Rd
Signature: 

Printed Name: TERRY W DOWNIE
Address: 4307 SWEET R
Signature: 

Printed Name: Rick MASON
Address: 4260 SWEET
Signature: 

Printed Name: Mary Downie
Address: 4307 Sweet Rd
Signature: 

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 15

Printed Name: Leonard Petty
Address: 3725 S. Linton Rd
Signature: Leonard Petty

Printed Name: Shawn Nestor
Address: 3360 Chilson Rd
Signature: [Signature]

Printed Name: Melanie Johnson
Address: 3990 Chilson Howell
Signature: [Signature]

Printed Name: MIKE SIAPKOWSKI
Address: 3535 WESTPHAL RD
Signature: Mike Siapkowski

Printed Name: Stacy Poyssit
Address: 1102 S Linton Rd
Signature: [Signature]

Printed Name: Jodie M. Park
Address: 3529 Westphal Rd
Signature: Jodie M. Park

Printed Name: Linda Holland
Address: 3023 Pardon
Signature: [Signature]

Printed Name: Tina Park
Address: 3529 WESTPHAL RD.
Signature: [Signature]

Printed Name: Forrest Henryson
Address: 3700 E Coon Lake Rd
Signature: [Signature]

Printed Name: GERB BRANCATELLI
Address: 3611 Westphal Rd
Signature: [Signature]

Printed Name: Robert B Ely
Address: 3674 Westphal
Signature: Robert B Ely

Printed Name: Robert B Ely Jr
Address: 3674 Westphal
Signature: Robert B Ely Jr

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 16

Printed Name: William Martin
Address: 4678 Richardson Rd
Signature: W Martin

Printed Name: Cara Zitterman
Address: 4701 Richardson Rd
Signature: Cara Zitterman

Printed Name: Nicole Martin
Address: 4678 Richardson Rd
Signature: Nicole Martin

Printed Name: Sarah Frederick
Address: 4700 Richardson
Signature: Sarah Frederick

Printed Name: RON STOTLER
Address: 4337 RICHARDSON
Signature: Ron Stotler

Printed Name: HOPE J FREDERICK
Address: 4700 RICHARDSON
Signature: Hope J Frederick

Printed Name: PHIL ROBERTS
Address: 3757 BRIGHTON RD
Signature: Phil Roberts

Printed Name: _____
Address: _____
Signature: _____

Printed Name: JESSICA BURHRT
Address: 3757 Brighton Rd
Signature: Jessica Burhrt

Printed Name: _____
Address: _____
Signature: _____

Printed Name: MATTHEW ZITTMAN
Address: 4701 RICHARDSON
Signature: Matthew Zitterman

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 17

Printed Name: Cynthia Telep
Address: 3175 Crooked Lake Rd
Signature: Cynthia Telep

Printed Name: OLAV K. KAUSERID
Address: 3155 CROOKED LK RD
Signature: Olav K. Kauserid

Printed Name: STEVE TELEP
Address: 3175 CROOKED LK. Rd
Signature: Steve Telep

Printed Name: Lorene Kauserid
Address: 3155 Crooked LK Rd
Signature: Lorene Kauserid

Printed Name: SCOTT McLEAY
Address: 3468 S. LATSON GENOA 48843
Signature: Scott McLeay

Printed Name: JOHN WIEGAND
Address: 3293 CROOKED LAKE RD
Signature: John Wiegand

Printed Name: CHERYL McLEAY
Address: 3468 S. LATSON GENOA
Signature: Cheryl McLeay

Printed Name: Susan A. Wiegand
Address: 3293 Crooked Lake Rd
Signature: Susan Wiegand

Printed Name: Lincoln Thompson
Address: 3135 Crooked Lake Rd
Signature: Lincoln Thompson

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Gayle Merwin
Address: 3133 Crooked LK Rd.
Signature: Gayle Merwin

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 18

Printed Name: Shelley Trapp
Address: 2925 Kings ct Howell 48843
Signature: Shelley Trapp

Printed Name: _____
Address: _____
Signature: _____

Printed Name: William Bradley
Address: 2930 Kings ct Howell 48843
Signature: William Bradley

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Judy Bradley
Address: 2930 Kings ct Howell
Signature: Judy Bradley

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Lori L. Petralis
Address: 2344 Chilson Rd
Signature: Lori L. Petralis

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 19

Printed Name: Matt Markster
Address: 5321 E Grand Ridge
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

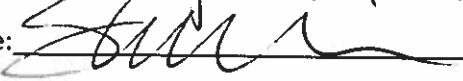
Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 20

Printed Name: Stephanie Proot
Address: 41400 Brighton Rd
Signature: 

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 21

Printed Name: Cynthia Gruchowski
Address: 5650 Richardson Rd
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Bradley Wilson
Address: 3979 Winterwood Dr
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: Kar: Jozwik
Address: 4120 Brighton Rd
Signature: [Handwritten Signature]

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Printed Name: _____
Address: _____
Signature: _____

Respectfully submitted to Genoa Township Planning Commission on this 8th day of March, 2021 by the residents of Genoa Township, (due to COVID, some authorizations may have been obtained remotely for personal safety reasons).

Request to Deny Special Land Use Application at 3280 Chilson Road, continuation of support page 22

Printed Name: KEN BERENDT

Printed Name: _____

Address: 4210 CHILSON RD

Address: _____

Signature: 

Signature: _____

Printed Name: CINDY BERENDT

Printed Name: _____

Address: 4210 Chilson Rd

Address: _____

Signature: 

Signature: _____

Printed Name: Jamie Berendt

Printed Name: _____

Address: 4210 Chilson Rd

Address: _____

Signature: 

Signature: _____

Printed Name: Jennifer Opperman

Printed Name: _____

Address: 493 Cloverview Lane

Address: _____

Signature: 

Signature: _____

Printed Name: Linda Connolly

Printed Name: _____

Address: 4210 Chilson Rd.

Address: _____

Signature: 

Signature: _____

Printed Name: Clayton Smith

Printed Name: _____

Address: 3725 East Court Rd

Address: _____

Signature: 

Signature: _____

From: [Duane Johnson](#)
To: [Kelly VanMarter](#)
Cc: melandduane@yahoo.com
Subject: RE: Chilson Chapel zoning change request.
Date: Monday, February 8, 2021 10:02:10 PM
Attachments: [image003.png](#)
[image004.png](#)

Kelly,

Please forgive me filling your email. After hearing the applicant's response reacting as though offended and claiming there are no other plans for this site and stating they would like to see the site where the vision includes a hospital and other items, I wanted to supply the link and a pdf of it to you before it got changed.

<https://catholicreview.org/michigan-project-to-replicate-padre-pios-famed-hospital-in-italy-is-underway/>

"A procession opens a Sept. 23, 2020, Mass during the dedication of 40 acres of land in Howell, Mich., donated for the planned "Casa USA" project. The complex will include a replica of St. Pio of Pietrelcina's famous "Home for the Relief of Suffering" hospital in Italy, an adoration chapel, a medical school and the Terri Schiavo Home for the Brain Injured in the spirit of the Italian saint's devotion to the critically ill and dying. (CNS photo/Richard G. Lim, courtesy Catholic Healthcare International)"

The paragraph above is from the site. Set just below a picture.

A bit further in the article:

"Right now only a small outdoor grotto with a mural dedicated to St. Pio sits on the land, but in the years ahead, there will be a hospital, an adoration chapel, a Catholic medical school and a rehab center named the Terri Schiavo Home for the Brain Injured."

Kind regards



EXECUTIVE
WEALTH MANAGEMENT

Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

Web : ewmadvisors.com

Connect with us :  

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From: Duane Johnson
Sent: Monday, February 8, 2021 8:34 PM
To: kelly@genoa.org
Subject: Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

Web : ewmadvisors.com

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From: [Kelly VanMarter](#)
To: [Amy Ruthig](#)
Subject: FW: Chilson Chapel zoning change request.
Date: Tuesday, February 9, 2021 10:28:13 AM
Attachments: [image003.png](#)
[image004.png](#)

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: Duane Johnson [mailto:djohnson@ewmadvisors.com]
Sent: Monday, February 8, 2021 8:34 PM
To: Kelly VanMarter
Subject: Chilson Chapel zoning change request.

Kelly,

I attended the meeting regarding the chapel and hospital on Chilson Rd and spoke out regarding my stance against it. It is my hope that the commission does not approve the special use zoning for this project. We found out about tonight's meeting only by chance much like many of the attendees. At a minimum the voting should be postponed until the community is duly informed.

We will try to spread the word in the meantime.

Thank you.



Duane Johnson ChFC

Private Wealth Advisor

135 West North Street, Suite 1, Brighton, MI 48116

Office : 810.229.6446 ext. 109

Fax : 810.229.6775

Email : djohnson@ewmadvisors.com

Web : ewmadvisors.com

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From: [Joseph Pasko](#)
To: [Kelly VanMarter](#)
Subject: Comments for the March meeting"s call to the public of Genoa Planning Commission"s proposed religious sanctuary
Date: Tuesday, February 9, 2021 8:23:33 PM

We attended the Planning Commission Electronic Meeting on Monday, Feb 8th and after a night of reflection, have a few observations and comments.

The presentations were thoughtful and informative of those seeking to proceed with their project.

When Bishop Earl Boyea graciously donated the parcel, it was, and still is, zoned as agricultural/country estates. When Catholic Healthcare Int accepted the donation, they also accepted this zoning fact. If they had other use plans that do not conform to the zoning conditions, possibly they should have also have equally graciously rejected the donation.

The two individuals who were most in favor of the presented project, spoke of the spectacular quantity and quality of health care that it would bring... I may have missed it but I do not recall hearing an overwhelming desire to use this tranquil parcel for their own quiet prayer and reflection.

The Township's Master Plan of Future Land Use for this parcel as well as those many others nearby, clearly are zoned as Agricultural/Country Estates. What is the purpose of the Master Plan, if projects can be approved that don't seemingly fit this criteria? I've read some of the previous filings regarding the site plan review and although this specific project's impact can technically conform to the zoning requirements I also feel a hint of future use.

The CHI website itself, (<https://www.chi-usa.com/news/latest-news/>) indicates... "Detroit Catholic: Project to replicate Padre Pio's 'Home for the Relief of Suffering' in Michigan"

"HOWELL — On a 40-acre plot of land in Howell, in the Diocese of Lansing, stands the humble foundation for the establishment of a worldwide network of health care facilities that St. Pio of Pietrelcina set in motion nearly 70 years ago.

In 1956, the saint better known as Padre Pio founded "Casa Sollievo della Sofferenza," or the "Home for the Relief of Suffering," in San Giovanni Rotondo, Italy. The Casa is a world-renowned Catholic international research hospital serving the poor and destitute, and today houses up to 1,000 patients.

Of everything he did on earth, Padre Pio once said, this was the most important. It was his dream the project would one day expand and reach other parts of the world.

That day has now come.

Thanks to the vision, faithfulness and tenacity of several Catholic health care organizations, individuals and the patronage of Lansing Bishop Earl Boyea, **the Howell project**, known as "Casa USA," **seeks to duplicate St. Pio's hospital complex** for the first time outside of Italy, including an exact replica of the great Capuchin saint's original friary church.

Though the idea has been in the hearts and minds of many for decades, the physical establishment of the campus began when Bishop Boyea donated **a 40-acre plot of land for the cause.**

While the land remains empty now with the exception of a small outdoor grotto with a mural

dedicated to St. Pio, in the years ahead, it will hold not only a hospital, but an adoration chapel, a Catholic medical school and the "Terri Schiavo Home for the Brain Injured," a rehab center for those with severe brain injuries. " (emphasis is mine)

I feel that this may be more than just a hint and I cannot wrap my mind around the fact that the actual use of this parcel would be for agricultural/country estate purposes.

The Master Plan's introduction states among, other things, "The implementation of the policies and actions of this plan will help insure that Genoa Township remains a desirable community in which to live, work or visit by allowing residents"....."make investments with a reasonable expectation of what will happen in the future. **It is of extreme importance to emphasize those qualities of the Township identified by residents, businesses and property owners as highly desired."**

I feel bad that CHI is facing a great deal of opposition, but the problem may be of their own making.

We vehemently oppose this project and urge the Board to do so also.

Joseph & Renee Pasko
2765 Kings Ct
Howell, MI

From: [Mel and Duane](#)
To: [Kelly VanMarter](#)
Subject: 3280 Chilson, chapel
Date: Thursday, February 18, 2021 8:36:40 AM

To my planning representatives:

I urge you not to begin this process due to the subversive nature of the presentation by CHI on February 8th

CHI represented 'At this time, there are no "plans"...' You need to understand their vision they intend to pursue. Below I have provided some information to aid in helping you understanding CHI's vision. As a member of this committee you have the sole responsibility to represent the interests of this community, and we say no thank you.

CHI's vision:

1) Published December 4, 2020 appeared on the Detroit Catholic web site:

"The Howell campus is a massive undertaking and it will take years to complete, but Palazzolo and his team have broken it down into phases"

2) "DONATIONS are greatly appreciated and much needed to move forward with the Padre Pio Shrine and Hospital. Please pray about how you can help and click on the link to donate online."

Phase 1: Building the Grotto and Adoration Chapel (with a list of current needs)

Phase 2: The Terri Schiavo Home for the Brain Injured.

<https://stjosephhowell.com/padre-pio-prayer-ministry-and-shrine-info>

3) The chapel will be at the heart of the new hospital complex.

<https://www.dioceseoflansing.org/news/prayers-new-catholic-hospital-michigan>

4) "The initial Casa USA will incorporate all three pillars in a single comprehensive campus." Interestingly a chapel is not one of the three pillars. (See attachment below.) "The first pillar of the Casa USA program is the establishment of a truly faithful Catholic physician practice network. The second pillar of the program is the replication of the Casa Sollievo della Sofferenza hospital in the United States. The third pillar is the development of a truly faithful Catholic medical school to provide formation of physicians and ancillary healthcare professionals to practice as faithful Catholics in this ever more secular country of ours."

This site, by definition cannot suit CHI's needs. <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC5375596/>

5) The 'Campus will include a replica hospital, shrine, medical school and a network of physician practices'

<https://www.youtube.com/watch?v=HTvRw0rRcIE>

6) Jere Palazzolo, President of CHI communicates... (in the following video) 'There will be a replica of that Casa hospital, chapel, medical school for the Relief of Suffering, a shrine for pilgrimage, and a call to help build this chapel to create this foundation of prayer and then move on with the rest of our vision.'

<https://www.youtube.com/watch?v=aF0DV3PyE24>

7)

1) A replica of St. (Padre) Pio's "Home for the Relief of Suffering" hospital in Italy

2) A fully faithful Catholic medical "School for the Relief of Suffering" in the charism of St. Pio

3) A network of faithful Catholic medical clinics and physician practices

4) A "Santa Maria delle Grazie" Pilgrim Shrine, a replica of the Church in San Giovanni Rotondo, Italy where St. Pio celebrated Mass daily for his spiritual children

5) A regional network of formally chartered Padre Pio Prayer Groups providing foundational prayer support for the success of the Casa USA vision

6) A Perpetual Adoration Chapel for pilgrims to pray for this inspired apostolate
https://www.youtube.com/watch?v=lwrw_UzhKSo The above list and more information is listed below the video.

8) This YouTube video is very long but very specific in clarifying their mission, which begins at about the 30 minute mark, and is also one of the 1st mentions of a Chapel and not a, hospital. "Quickly" move to Phase 2, build the Terri Schiavo care unit, and then Phase 3 a hospital that can teach Catholic care practices; the Terri Schiavo care unit may then be moved inside of the hospital. This video begins at the property to hold all these facilities, 3280 Chilson. <https://www.youtube.com/watch?v=ob6Wy9VLRO8>

9) CHI is one of the largest health care systems in the country maybe the world with billions of dollars easy to "change" direction of this community.

10) In 2018 CHI applied for a 200 bed hospital, The Home for the Relief of Suffering and was denied by the State.

(I was unable to find my source when putting this information together)

May I also remind you that the only two supporting voices of the February 8th web meeting lived outside of Genoa Township; both of whom referred to this site as a hospital. That clearly demonstrates the message CHI has delivered from the pulpit, is the opposite of what they delivered to us in their presentation (Feb 8, 2021). Discussions on social media have many people talking about this site almost exclusively as a hospital/hospice, we don't need to ask where they got their information. In the closing of that meeting a CHI representative said "you can put it in writing there will be no medical facilities at this site." Does not include there will be no medical school, or rehab per say.

You should not just vote on the proposal in front of you, thereby setting a precedent!
Keep the zoning that is contained in the Master Plan. No Special Use should be allowed!

Sincerely,
Melanie Johnson
3990 Chilson Road



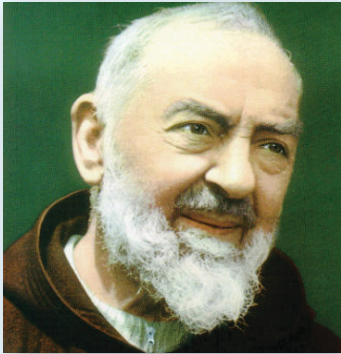
†
CATHOLIC
HEALTHCARE
INTERNATIONAL

Uniting Healthcare with Holiness to Relieve Suffering

WWW.CHI-USA.COM

FALL/WINTER 2020

Padre Pio's Hospital In The USA...



On October 1st, 2009 this Vatican-owned hospital executed a formal Collaboration Agreement with Catholic Healthcare International (CHI) to replicate Padre Pio's hospital, called the "Home For The Relief Of Suffering", in the United States...as a "Beacon of Light" in a secularized culture which continues to slip further each year from its Christian foundation.

Padre Pio is a very famous contemporary saint, who continues to touch many lives with miracles even today. He was a Capuchin friar who bore the five wounds of Christ, a confessor, a miracle worker, a saint, and the founder of the Casa Sollievo Della Sofferenza (His "Work") in Italy.

Padre Pio's Casa is a world renown international referral hospital, considered one of the best in its class. It is also a model of truly faithful Catholic healthcare delivery in a very secular world.

As Padre Pio said, we will build a "Cathedral of Love", "A Clinic for the Body & the Soul", to serve the "Twice Jesus" in the poor and the sick. The Casa USA will be the fruition of the long awaited vision expressed by the Director originally chosen by Padre Pio to build his hospital in Italy:

"The Casa Sollievo Della Sofferenza should therefore be the first link in a great chain. It should be the model for many other innumerable Casa's with the same name and above all the same spirit, which must bring love to all of humanity. A program which would make us tremble with awe if it was not inspired by God who is above all Love!"

-Dr. Guglielmo Sanguinetti 1950

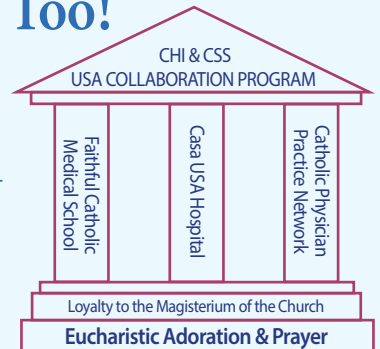


Casa Sollievo Della Sofferenza in San Giovanni Rotondo, Italy

...& A Faithful Catholic Medical School Too!

Just as the Casa USA hospital will be a "Beacon of Light" and model of truly faithful Catholic healthcare deliver in our ever-secular society, a similarly faithful medical school is needed to train Catholic physicians to practice faithfully amid the challenges they will face in the world.

We will develop a Catholic medical school that is completely faithful to the Magisterium of the Catholic Church and obedient to the Bishops in all matters of faith and morals.



CASA USA THREE PILLAR VISION

It will be a haven for Catholic medical professionals seeking to arm themselves with the tools to practice in Truth.

Join the first ever Worldwide Perpetual Eucharistic Adoration Program

A truly groundbreaking Church-wide initiative in the charism of St. Padre Pio



CHI-ADORATION.COM

Uniting Catholics to spiritually support Padre Pio's Home for the Relief of Suffering...
One is coming to the United States!

Many more people are needed to have 24/7 prayer to support the Casa Hospital in Italy & the proposed Padre Pio Shrine and Casa Hospital in Howell, MI.

Adorers who register will commit to adding Padre Pio's Hospital in Italy & our Casa USA initiatives to their intentions as they pray before the Blessed Sacrament.

The registration takes only two minutes and people can add times, change times and remove themselves from the schedule easily.



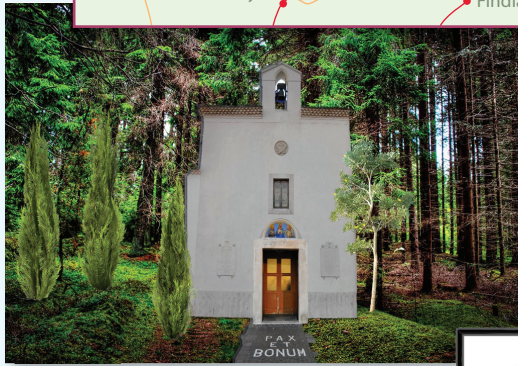
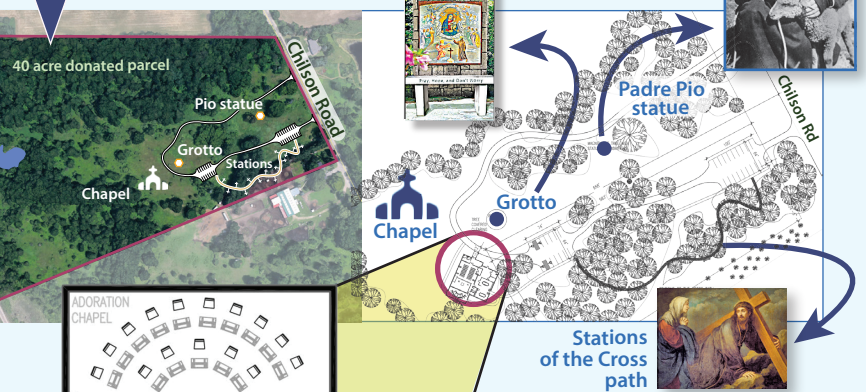
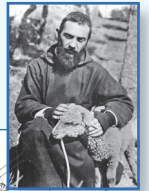
Cardinal Raymond Burke encourages you to join this inspired vision!

It is Time



The plans are in place...
The renderings have been drawn...
We are ready to go with **Phase 1**

St. Pio Perpetual Adoration Chapel



\$5 Million is needed to build a replica of the original friary Church in Italy as our **St. Pio Perpetual Adoration Chapel** on the land donated by Bishop Boyea in Howell, MI.

Please give a tax deductible donation to complete Phase 1
We need your help
WWW.CHI-USA.COM



*"That is the goal of the Work:
To care for the body to arrive at the soul."*
- Padre Pio

St. Pio Perpetual Adoration Chapel on Casa USA Campus

A couple of anonymous donors have generously committed to underwrite the construction of an outdoor grotto on the land donated to us by the Diocese of Lansing for our Casa USA campus in Howell, Michigan. The grotto will highlight a shrine to St. Padre Pio, and will also feature originally commissioned Stations of the Cross by American artist Joseph Chovan, which will illustrate Padre Pio accompanying Jesus in His Passion on His journey to Calvary. We are tentatively planning to christen the grotto on September 23rd, 2020 as a part of our celebration of the Feast of St. Pio. Please mark your calendar and plan to join us personally.



Phase 2

Terri Schiavo Home for the Brain Injured is being planned and collaborated with a World-Class Rehab Center that will bring the dream of Bobby Schindler, brother of Terri Schiavo and Founder of the Terri Schiavo Life & Hope Network, to implement a safe-haven center for patients with traumatic brain issues like his sister to a reality. Please pray for the speedy implementation of this greatly needed and integral part of our Casa USA mission.

Kelly VanMarter

From: ranger425@aol.com
Sent: Sunday, February 21, 2021 10:18 AM
To: Kelly VanMarter; whatsnext4u@yahoo.com
Subject: Proposed Building project by Catholic Healthcare International on Chilson road, Genoa Twp.

To Whom it May Concern:

I did a little research on the Internet and discovered that the Catholic Healthcare International project is based on a similar large project in Italy. The Italian model, for which the proposed Genoa Twp project will mirror, is a very large operation that includes a medical school conducting Stem Cell research, clinical research for new and experimental drugs and other scientific research. My concern is; this project is totally in the wrong area, rather than serving an area where these services are needed it is located in an area where these concerns are already provided for by universities. The addition of this project in this area represents an "needless over-supplying" with no apparent benefit for the residents of Genoa Twp. Long story short; we have enough hospital beds, we have enough research facilities in the form of 3 world class medical universities within a 50 mile radius, and most importantly the location is AGRICULTURAL/RESIDENTIAL. It is my opinion that the reason for locating this project here in Genoa is the fact that the proposed building site has been DONATED by the Catholic Church. This proposed project represents a shift in the peace and tranquility of the farming and residential area that is neither wanted nor needed by anyone other than Catholic Healthcare International.

Robert Lagana, 3710 Westphal road, Howell, Michigan 48843 517294-1211

Kelly VanMarter

From: Nancy Duey <nduey@stpatchurch.org>
Sent: Thursday, February 25, 2021 3:09 PM
To: Kelly VanMarter
Subject: Proposed CASA USA Chapel

Follow Up Flag: Follow up
Flag Status: Flagged

Hello,

I would like to share my support for the beautiful opportunity for the Padre Pio Adoration Chapel to be built on the current available land located in Howell. I have stopped by there on a few occasions simply to find peace and pray and it is a wonderful location to do just this. I hope that the plans will move forward and that all resistance to this effort be removed.

Thank you,

Nancy Duey
Howell Resident

--

Nancy Duey
Director of Evangelization
St. Patrick Parish
810-229-9863 ext. 203

Joy is a net of Love by which you can catch Souls.

Saint Teresa of Calcutta

From: [John Coon](#)
To: [Kelly VanMarter](#)
Subject: In Support of the Padre Pio Adoration Chapel
Date: Friday, February 26, 2021 3:10:06 PM

Dear Commissioner VanMarter,

I am a long-time resident of Livingston County, with 23 years in Brighton. Our family loves the whole Brighton-Howell area. It is a fantastic place to raise a family and have a good life.

I want to support you by encouraging you to say yes to the proposed Padre Pio Adoration Chapel. This is a fantastic opportunity to bring authentically virtuous culture to our community. Padre Pio is honored by hundreds of thousands in our Western world. He is a man of peace and great charity. Not only our local residents will enjoy such a development, but people who honor this man from far off would be happy to visit our community and see that it is a wonderful place. Please offer your support with confidence, knowing that much good may be accomplished by your doing so. Thank you for your kind consideration.

Feel free to contact me if you would like to discuss further.

Kind regards,
John Coon,
248-303-0344

Kelly VanMarter

From: terkim99@yahoo.com
Sent: Saturday, February 27, 2021 10:27 AM
To: Kelly VanMarter; aoreilly@CHI-USA.com
Subject: Catholic Healthcare International Prayer Chapel

Dear Genoa Township Board,

Greetings! I am writing to you today regarding the proposed building site at 3280 Chilson Rd. It is my understanding that Catholic Healthcare International (CHI) is requesting permission to build a Eucharistic prayer chapel and prayer-trails on the property. I also understand that neighbors and people in the community have concerns about the proposed building. I would like to give my opinion, as a person who lives in the community (2.8 miles from the site).

I frequently travel right by the building site, on my way to downtown Howell. Since Latson Rd. has opened, I find taking Chilson is less busy and rather peaceful. I enjoy the scenic ride down this particular section of Chilson, with its rolling terrain and farmland. I understand the concern about putting a public facility on the property that is residential and beautifully peaceful, however, I really feel that the chapel and prayer trails would not diminish the ambiance of the area.

As a Catholic, I understand what a Eucharistic chapel is. It is a place where people worship our Lord, in the Eucharist. People come to the chapel to pray. These types of chapels are typically extremely quiet, as people in the chapel are in quiet and contemplative prayer. Basically, the unspoken rule is to not make a peep when you enter the chapel, out of respect for other people praying and for our Lord. There generally is never any chit-chat or conversations in the chapel.

I describe this so that you can understand that the chapel would likely be a very quiet and not-much-inhabited facility. I'm not sure if CHI would ever hold mass in the chapel (I guess it depends on the size of the chapel), but during normal hours, I can assure you that the chapel would likely have few people in it and would definitely be quiet.

The trails would also likely be relatively quiet and not very busy. My husband and I took a drive to the property in the fall and we had a wonderful and peaceful time, enjoying nature and praying as we went. It is already beautiful there.

My husband and I fully support the CHI endeavor proposed for 3280 Chilson Rd. We feel it would be a wonderful benefit to the Catholic community and it would be a wonderful and peaceful addition to the neighborhood. I can assure the neighbors that there would hardly be a disruption to what is already there...nature! I would also urge the neighbors to consider what might end up going on the property, which could be worse.

If the property were to be subdivided and a subdivision were to be put there, the noise, traffic and chaos could potentially be bad. Likewise, if in the future, a different owner were to approach the Board about putting a different commercial facility on the site, the property would be 1000-

times worse regarding traffic and chaos! If you consider Chilson Rd., near Brighton Rd., it is commercial and it has a lot of traffic traveling through the area. Think Vic and Bob's on a Saturday in the peak camping season of the Summer! I'm sure the neighbors would not like that scenario, and would much prefer a quiet little chapel with a handful of beautiful trails.

I urge the Board to please consider this wonderful opportunity to offer a place of worship to the community while also preserving the beautiful nature of Chilson Rd. It really is a win-win situation for the community. I will be praying for the success of the project. If I could be of any further assistance in this matter, I would be happy to help.

God bless you and thank you for serving our community.

Sincerely,

Kim Lamb

517 304-1524

5450 Richardson Rd. Howell, MI 48843

Kelly VanMarter

From: Janell <rpharbaugh@att.net>
Sent: Monday, March 1, 2021 9:34 AM
To: Kelly VanMarter
Subject: Re: Padre Pio Chapel at 3280 Chilson Road

Thank you.

2685 Ravineside Lane North
Howell, MI 48843

Janell Harbaugh

> On Mar 1, 2021, at 9:03 AM, Kelly VanMarter <kelly@genoa.org> wrote:

>

> Received. Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: kelly@genoa.org, Url: www.genoa.org

>

> -----Original Message-----

> From: Janell [mailto:rpharbaugh@att.net]

> Sent: Sunday, February 28, 2021 8:58 AM

> To: Kelly VanMarter

> Subject: Padre Pio Chapel at 3280 Chilson Road

>

> Genoa Township Planning Commission and residents,

>

> Thank you for your consideration in the approval of this serene place of reflection that the proposed chapel and trails would afford in Genoa Township.

>

> I understand that there are no plans for larger construction, as the property is not large enough to accommodate a hospital and/or university.

>

> The property does offer plenty of nature that will be preserved and appreciated for its abundant peace. It will continue to be a benefit to neighbors and the community; indeed more so as a maintained natural space.

>

> Thank you,

> Janell Harbaugh

>

>

From: [Mary Anne Bastian](#)
To: [Kelly VanMarter](#)
Subject: Proposed Padre Pio Adoration Chapel
Date: Monday, March 1, 2021 3:21:43 PM

Hi Kelly,

I am writing to express my support for the proposed construction of the Padre Pio Adoration Chapel in Genoa Township. The proposal is for a beautiful adoration chapel on a 40 acre property, surrounded by groomed walking trails with prayer stations which will be open to the public. The whole concept is for a peaceful, prayerful place for people to go for rest and spiritual rejuvenation.

Unfortunately, there seems to be a misunderstanding about what is planned for the property and how that will impact the neighbors. A proposed hospital and medical school are not planned for this location would not fit on this property . What will be built, if approved, would have minimal impact on the neighbors and I believe those in charge will do everything they can to be good neighbors as shown at the last meeting with their agreement to accept the requests of the neighbors to add trees along the property line, limit the ringing o the bell, add security measures and provide an operation plan.

I would like to request and recommend a positive vote for approval of this project, which will benefit all those in the area.

Sincerely,

Mary Anne Bastian
Brighton, MI

--

Mary Anne Bastian
Director of Faith Formation
Holy Spirit Catholic Church
9565 Musch Road
Brighton, MI 48116
810-231-9199 ext. 209
FAX 810-231-6129

Kelly VanMarter

From: Leslie Bohnett <lbohnnett@hotmail.com>
Sent: Tuesday, March 2, 2021 6:11 PM
To: Kelly VanMarter
Subject: FW: Proposed development for 3280 Chilson Rd

Dear Planning Commission,

As a home owner living at 3367 Chilson Rd, and one home south of the proposed chapel on Chilson Road, I have several concerns I want to express regarding rezoning proper and the construction of a church.

- 1) The proposed site for the chapel is located in a rural and agricultural area. I strongly oppose the rezoning of this land. This is an incorrect location to build a chapel and future hospital. This land needs to remain as a designated agricultural area.
- 2) I am concerned about the increased traffic for chapel activities. On September 23, 2020, there was an event on this proposed site, the traffic was congested and vehicles were parked on the side of the road. In addition, some people missed the entrance to the event and used my driveway as a turn around (I have a circle driveway).
- 3) I understand the chapel wants to erect a bell tower and ring the bells every hour on the hour. I definitely DO NOT want to hear a bell chime every hour every day. It is bad enough to hear the sirens and gas blow off at the gas plant behind me. Even the churches with bell towers in downtown Howell do not ring the bells hourly. I feel it is very disruptive to everyone who lives by the chapel to constantly hear the bells chime. I live one house away from this proposed site and it is too much.
- 4) I also read a news article published by the Catholic Healthcare International that a grotto,, chapel and hospital WILL BE BUILT on this property (In<https://www.chi-usa.com/mi-campus/adoration-chapel/>). In fact, this organization is currently accepting donations to help fund these projects. Despite what has been stated at the previous township meeting, the owners of this land clearly plan to create a campus with a hospital, rehabilitation center, medical school, and research facility. It is already being promoted, published though the Catholic Church, and donations are being accepted. Again, this is a rural and agricultural area and I strongly feel it is extremely inappropriate to have these facilities located on this 40 acre parcel. We already have several of these types of facilities in Livingston County and do not need more.
- 5) The grotto has already been built and a ceremony was held on 9/23/20. Were permits approved and granted for the grotto?
- 6) On 2/16/21, DTE installed a power line on the property. Is construction proceeding without approval and permits?
- 7) We built our home on Chilson Road in 1996 because this is a quiet, rural, and agricultural area. I do not want to live across the street from a chapel and medical campus. It is inappropriate for this to be built in such an isolated area surrounded by homes and farm land.

Please DO NOT rezone this land allowing a church and medical campus to be built.

Sincerely,

Leslie Bohnett
3367 Chilson Rd
Howell, MI 48843
Sent from my Sprint Samsung Galaxy S9+.

Kelly VanMarter

From: April C <abski5@yahoo.com>
Sent: Wednesday, March 3, 2021 2:47 PM
To: Kelly VanMarter
Subject: RE: Proposed facility at Chilson and Crooked Lake Roads

Address is: 3242 Waverly Woods Lane. Howell 48843

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 12:56 PM, Kelly VanMarter
<Kelly@genoa.org> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: April C [mailto:abski5@yahoo.com]
Sent: Wednesday, March 3, 2021 12:45 PM
To: Kelly VanMarter
Subject: Proposed facility at Chilson and Crooked Lake Roads

Dear Board Members,

We will be unable to attend the March 8th meeting so I wanted to send along our concerns and thoughts on this project. We moved to this area only 3&1/2 years ago. Our biggest reason for moving to the area was because so much of it was zoned agricultural/residential which was very important to us. We moved from a big city which we no longer wanted to be a part of. We feel this area should not be rezoned for the following reasons:

Rezoning and construction of this type of facility would cause increased problems with traffic and then the need for road modifications all which would cause inconveniences to the community. We are concerned that the facility would start out small and grow into something very large taking multiple years possibly to complete leaving our community in a construction zone for possibly years. This is not fair to the current residents to have to live in a construction area.

Reading some information on this, states that possible construction has started without permits. We are wondering how that would be possible? It states a hospital would be involved. We have three hospital, two very large hospitals and one smaller, within a short distance of this area. We have many small medical centers also including ER's, urgent care centers etc. We do not see the need.

It also states there would be a medical school. We have many medical schools in Michigan including the University of Michigan, Michigan State and Wayne State.

I have also read about pilgrims from all over the world coming either permanently or transiently. I do not feel this is what our area signed up for when purchasing a house and land in this area.

We are currently very happy with our community and foresee people of the area becoming very unhappy if this proposed rezoning goes into effect. We feel it is hard to put into words our exact feelings, however, please know that there are multiple reasons we do not want this area rezoned and a large facility such as the one proposed for our area.

Please take our concerns into consideration when making your decision. It is a very important decision for our community.

Bill and April Czerniawski

From: [Jacob Vogan](#)
To: [Kelly VanMarter](#)
Subject: RE: Rezoning at Chilson and Crooked Lake
Date: Wednesday, March 3, 2021 1:47:21 PM

5790 Pinckney Rd
Howell, MI 48843

Not sure exactly how things work since I'm not right in Genoa, but my kids go to school about a 1/2 mile from where this is trying to happen. I also spend a lot of money and do almost ALL of my shopping inside of Genoa at Grand River and Latson. So I feel my voice should be heard and my opinions considered.

I also talked my Mom and Dad, along with my sister and her husband to move out here. They have purchased two new homes within the last year just north of this possible site. They also moved away from the city to come to this area where it's less populated and congested. I really hope the citizens get what they want. Even if you don't hear from everyone I am very confident the majority of the residents would not want this to go through.

Please include forwarding this email as well.

Jacob

[Sent from Yahoo Mail on Android](#)

On Wed, Mar 3, 2021 at 1:34 PM, Kelly VanMarter <Kelly@genoa.org> wrote:

Received....can you please provide your address for the record and I will include this in the Planning Commission packet.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

-----Original Message-----

From: Jacob Vogan [<mailto:jdvogan@yahoo.com>]
Sent: Wednesday, March 3, 2021 1:22 PM
To: Kelly VanMarter
Subject: Rezoning at Chilson and Crooked Lake

Hello Kelly and Board Members,

I wanted to express my deep disapproval of the rezoning that is trying to take place

currently at Crooked Lake and Chilson road. The reason my family and I moved out here from the busy city was because we like areas where things are not so busy, people have acreage, and there is a lot of farm land. As local residents and tax payers we would be extremely upset if this project goes through. There may be a place closer to U.S. 23 where there is a lot more commercial buildings that can make this more appropriate.

We also heard that some construction or land work has already taken place without permits? Is that true? I know I would not be able to get away with that, and I'm a local taxpayer.

Please know that there are many, many more of us that are unhappy about this, you just may not hear from all of them in time.

Jacob and Rebecca Vogan

Sent from my iPad

From: [JOAN OTTEN](#)
To: [Kelly VanMarter](#)
Subject: RE: March 8th meeting on Padre Pio Chapel
Date: Wednesday, March 3, 2021 9:31:00 AM

Sure Kelly, 11929 Hibner Rd. Hartland. I will add, we are looking to move within Livingston Co.

Have a blessed day,
Joan

On 03/03/2021 9:22 AM Kelly VanMarter <kelly@genoa.org> wrote:

Joan,

Your email was received. Can you please share your address for the record?

[Kelly VanMarter, AICP](#)

[Assistant Township Manager/Community Development Director](#)

[Genoa Charter Township](#)

[2911 Dorr Road, Brighton, Michigan 48116](#)

[Direct: \(810\) 588-6900, Phone: \(810\) 227-5225, Fax: \(810\) 227-3420](#)

[E-mail: kelly@genoa.org, Url: www.genoa.org](#)

From: JOAN OTTEN [mailto:gjo73@comcast.net]
Sent: Tuesday, March 2, 2021 2:52 PM
To: Kelly VanMarter
Subject: March 8th meeting on Padre Pio Chapel

Hello Ms. Van Marter,

My name is Joan Otten. I, along with my husband Gary, have been doing some of the ground work on the property located on Chilson Rd. tentatively known as the "Padre Pio property". We have been blessed with meeting some of the neighbors both directly adjacent to the property and down the road a few miles.

I understand there are some concerns that have come up regarding this project. I would like to say that all but one time when we have been out there working, people have stopped by to see what was going on or just to say a prayer or two. I have answered many questions as to what was going to be built and what was not going to be built on this property. People have been in awe of what they heard was coming i.e. an Adoration Chapel.

The neighbor directly across the street was happy to hear all of the trees were not going to be cut down in this process. I suspect he was glad there would be a tranquil view on the West side of his home opposed to the natural gas line and buildings to the east of him with all the lights on disturbing the night darkness.

I spoke to each visitor telling them there would not be a hospital built on this property. After all, it's only 40 acres and there is a swamp on each corner on the West side. People were happy to hear and looking forward to visiting a tranquil place for prayer and to take a meditative walk on the several walking trails.

Change can be difficult. I understand that. There is a large building being constructed on the south side of this property. This is change. I also understand some of the neighbors have been enjoying this property for years by all of the deer blinds we have seen (last count was 8 of them on this property). This also is change.

Lastly I would just like to say that the amount of people that have visited this property while I was there have had some profound moments. How do you explain what God is doing? I don't know. I have seen people come to tears while praying there. I have seen a few miracles happen to people such as a woman's homeless brother finding a home after living months on the street after we prayed for him by the grotto. Frankly, there is more noise with the target practicing and dogs barking around this

property than what would come out of this sanctuary once the building is completed.

I hope and pray the fears will be subsided and replaced with a proud sense of ownership and recognition of what a blessing Livingston County will have in its mist for all to enjoy.

Respectfully,

Joan Otten

p.s.

Please feel free to share this letter with all at the meeting.

Kelly VanMarter

From: ktm321 <ktm321@protonmail.com>
Sent: Wednesday, March 3, 2021 7:31 PM
To: Kelly VanMarter
Subject: a 'yes' to the hospital plan

Dear Kelly,

I just grabbed your email off the Nextdoor app. I see some people concerned about the CASA International project (I think I have that name correct) being proposed on Chilson near Latson. They are worried about traffic and so on. I have noticed that Latson nearby was already rezoned (much of it) years ago and the former dirt road south of 96 became rezoned. Many sold homes and you could see chunks of property go up for sale. I live on Richardson Rd. I am many of my friends who live nearby were so thrilled about this gem coming here. I know at least 2 neighbors here on Richardson (likely more) who were thrilled. A friend on King rd., too. We know this will be a beautiful place of care for those with cognitive and brain injuries, where human dignity will be first priority. I envisioned my own son, with a brain illness, could maybe find a permanent place to work in a loving environment where people with cognitive difficulties are truly valued. The chapel is to be a serene place of respite.

I am greatly disheartened by those clamoring about this coming in. I find it odd that one is the owner of Jonna's, a business owner. I wanted to put in my voice that my family and I are SO hoping this gem could come here. it is not far from the expressway.

Please give the plans a chance.
thank you so much!
Kathie Marshall (with Doug and family)
586-224-0114
5574 Richardson Rd., Howell, 48843

Sent with [ProtonMail](#) Secure Email.

Kelly VanMarter

From: Linda Holland <whatsnext4u@yahoo.com>
Sent: Wednesday, March 3, 2021 8:30 PM
To: Kelly VanMarter
Subject: Catholic Healthcare International - Special Use

Dear Planning Commission, My property - 3023 Pardee Rd. is adjacent to the land for which CHI has submitted a special use application. I vehemently oppose approving this request. From all that I have read, watched (CHI Youtube) and witnessed during the February 8th meeting, this project does not belong in this residential and agricultural area. If you allow the building of this chapel (phase I), you will have opened the door for CHI to add additional buildings on that property (Rehab center?) and buy adjoining properties to further their plans/phases to build the hospital, medical school and more. Your approval of this chapel (for pilgrimage - not just local use) will PERMANENTLY CHANGE this area and with it my home (quality of life) and that of my neighbors and residents up and down Chilson, Crooked Lake and beyond.

While I support and admire CHI's mission and passion to bring Padre Pio's great works to the U.S., there are other areas that are not only properly zoned for a project of this magnitude and have the infrastructure to support the project - they have a need for it as well. We don't need another hospital here in Livingston County, per the County's decision in 2019 - and certainly not one that requires "special use" approval. The old adage will become reality, "if you give an inch" (to build a chapel now), they will take a mile (medical campus later).

Undoubtedly, you have heard objections from my neighbors and the surrounding community as well - at the very least via the petition that started just since the Feb 8 meeting. The land - and surroundings properties are not appropriate for this chapel and subsequent a medical campus. As township residents yourselves, I PRAY that you will be guided to do the right thing for those of us that want to preserve the quality of life we have found here in Genoa township and deny the special use application.

Kind regards, Linda Holland

Kelly VanMarter

From: Pamela King <prking@ameritech.net>
Sent: Wednesday, March 3, 2021 3:44 PM
To: Kelly VanMarter
Subject: Re: Chilson Road Project

4758 Treasure Lake Drive
Howell

Sent from my iPhone

> On Mar 3, 2021, at 3:03 PM, Kelly VanMarter <Kelly@genoa.org> wrote:

>

> Thank you Pamela.

>

> Can you please share your address for the record?

>

> Kelly VanMarter, AICP

> Assistant Township Manager/Community Development Director

>

> Genoa Charter Township

> 2911 Dorr Road, Brighton, Michigan 48116

> Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

> E-mail: kelly@genoa.org, Url: www.genoa.org

>

>

> -----Original Message-----

> From: Pamela King [mailto:prking@ameritech.net]

> Sent: Wednesday, March 3, 2021 2:28 PM

> To: Kelly VanMarter

> Subject: Chilson Road Project

>

> I am a resident of Genoa Township and am strongly opposed to the Chilson/Crooked Lake Road project. Let's protect our disappearing rural areas. We do not want to become another crowded suburb. Many people have moved out here to escape the noise & pollution & crowds. Please keep Livingston County's rural areas.

>

> Pamela King

>

> Sent from my iPhone

Kelly VanMarter

From: Richard Ziminsky <richskyz@icloud.com>
Sent: Wednesday, March 3, 2021 2:44 PM
To: Kelly VanMarter
Subject: The planning commission board

The change of zoning shouldn't take place. The church if approved will open the doors to other developments and ruin the pristine township. I hope you people that live in the area realize what your about to do. Another solid surface (parking lot, etc.) and increased traffic flow will result if this passes. We pray you don't allow this change. Richard Ziminsky Richskyz@icloud.com Sent from my iPhone

[4342 highcrest](#)
[Brighton mi 48116](#)

Kelly VanMarter

From: SUSAN BRICKNER <sussb@comcast.net>
Sent: Wednesday, March 3, 2021 12:53 PM
To: Kelly VanMarter
Subject: RE: Padre Pio Adoration Chapel

So sorry, yes it is Susan Brickner at 3461 Dewdrop Howell, 8843 Mi

On 03/03/2021 12:49 PM Kelly VanMarter <kelly@genoa.org> wrote:

Received....will you please provide your address for the record and I will include it in the packet.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

From: SUSAN BRICKNER [mailto:sussb@comcast.net]
Sent: Wednesday, March 3, 2021 12:48 PM
To: Kelly VanMarter
Subject: Padre Pio Adoration Chapel

Dear Kelly Van Marter, I am writing in support of the Padre Pio Adoration Chapel on the property on Chilson Road. I understand that there has been some confusion as to what is planned for that property and I hope that has been cleared by all.

I would like to re affirm that what we are looking for is a 6,000 sq. ft. building with the removal of the 3 tagged trees along with adding trees along the property line. I know the full plan is to have as low an impact as possible, which meets the expectations of the neighborhood and also the serene atmosphere that is desired for Padre Pio.

It is also my understanding that to further reassure the township along with the neighborhood that the committee is supplying an operation plan, adding security measures and limiting the ringing of bells.

I truly hope that this will bring a positive affirmation from the committee and the surrounding neighborhood.

Thank you for your time and consideration;

Susan Brickner a faithful resident of Geona Twp.

Kelly VanMarter

From: Edward Grima <ergrima56@gmail.com>
Sent: Thursday, March 4, 2021 7:48 AM
To: Kelly VanMarter
Subject: Chapel

Please accept this note in support of the Padre Pio Chapel on Chilson Road.

This will be a park setting and a beautiful peaceful place for residents of the area to go and enjoy.

It will enhance the beauty and desirability of the Township.

Edward Grima
2943 Rubbins Rd, Howell, MI 48843

Kelly VanMarter

From: Edward Loniewski <eloniewski@gmail.com>
Sent: Thursday, March 4, 2021 11:56 AM
To: Kelly VanMarter
Subject: Support for the Padre Pio Center

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Kelly :

Good Morning and I hope this email finds you and your family in good health and spirits. I am writing to you in full support for the proposed Padre Pio Center on Challis road. I have been a physician in Livingston County since 1995 and have fully supported projects that improve the overall healthcare of our community, and also at the same time protest projects or elements that may be a detriment to the same goal. The proposed Padre Pio Chapel is NOT a healthcare facility, yet it IS an entity that is vital to the health and hope of our community. There is no plan to add in a hospital or even a health care clinic on the Challis road location. This is solely a place of worship and hope. Worship which is vital to the health of our community. If you are not familiar with Saint Padre Pio, he is an Italian priest with numerous documented miracles of healing attributed to his intercession. All of these have been examined by a panel of medical experts and declared a miracle without medical explanation. Over the past century, thousands of healing miracles have been attributed to Padre Pio and over 7 million people visit the Italian shrine each year searching for this glimmer of hope. There are thousands of people in the midwest who also have a devotion to Padre Pio and find prayer to him to be a vital part of their health. Denying this vital component of community health would be detrimental to our community as well as the thousands of people relying on his intervention. Please respect this simple request to pray in a tranquil and quiet area for the healing of many who may have no other hope. To deny this simple place of prayer is to deny hope which is not something anyone wants to intentionally or unintentionally inflict upon our brothers and sisters in our own community. All humans have hope as a virtue which is innate to the nature of humankind. To deny this center of hope is to deny this basic virtue.

Please do not deny hope in our community and understand the Padre Pio Chapel can not build a healthcare facility at this location. The only purpose is to provide a place of hope for our fellow brothers and sisters with little hope. May God continue to bless you and your family as well as all the important work you do everyday. I look forward to meeting you in person on March 8th.

--

Happy Healing;
Edward G. Loniewski, DO,FACOS, FAOAO
Compassionate Use Medical Officer
AVM Biotechnology
eloniewski@avmbiotech.com

Kelly VanMarter

From: Mel and Duane <melandduane@yahoo.com>
Sent: Thursday, March 4, 2021 1:44 PM
To: Kelly VanMarter
Subject: Updated: Questions

Follow Up Flag: Follow up
Flag Status: Flagged

Four Country Estates would yield 20K in tax revenue to the township, this is the best use.

If the panel does approve special use for a chapel can we have it written into the approval and place a restriction on the deed?

Have CHI pay for road improvements, why burden the tax payers?

Could CHI demand city services that we would again, pay for?

If CHI feels like increasing seating to 150 and parking to 75, would again only 5 people be notified?

Is it in the budget to pave Beck and Crooked Lake, in the near future?

Why would you support this development in this location?

This "small" chapel does not match the country setting, it is an international place of pilgrimage with potential to host a 60" tall bell tower, it will change the ambiance. What sounds like a quaint quiet space has the potential to be a hot bed of activity. I can't imagine not holding a catholic wedding in this beautiful \$5 million dollar chapel. That would certainly be more that 40 cars. How many massive events a year will that schedule. It would be better suited in a urban area.

There are numerous other locations they could execute their vision, we do not need to allow this special use permit. It was even acknowledge by Jere D. Palazzol, that this location is not suitable.

There are a lot of planning decisions to be made, the residents would appreciate the least amount of disruption.

Don't let the 2nd largest healthcare network bully our residents and usurp out local regulations!

Sincerely,

Melanie Johnson

**IMPACT ASSESSMENT
FOR
SITE PLAN PETITION
"CATHOLIC HEALTHCARE INTERNATIONAL"
GENOA TOWNSHIP, LIVINGSTON COUNTY
MICHIGAN**

Prepared for:

**CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILDWOOD, MISSOURI 63040
(636) 220-6550**

Prepared by:

**BOSS ENGINEERING COMPANY
3121 E. GRAND RIVER
HOWELL, MI 48843
(517) 546-4836**

December 18th, 2020
Revised: January 20th, 2021
Revised: February 16th, 2021

20-477 EIA

INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

DISCUSSION ITEMS

A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.

Prepared By :
Scott Tousignant, P.E. & Paul Grisdela, EIT
BOSS ENGINEERING COMPANY
Civil Engineers, Land Surveyors, Landscape Architects and Planners
3121 E. Grand River
Howell, MI 48843
(517) 546-4836

Prepared For :
Catholic Healthcare International
Jere Palazzolo
2464 Taylor Road, Suite 317
Wildwood, MO 63040
(636) 220-6550

B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

The 40.01-acre site is located on the west side of Chilson Road, just south of Crooked Lake Road. The subject property is currently empty of any buildings or structures. The western and northern portion of the property is wooded with meadow in the southeast & central portion of the site. There are wetlands along the western edge of the property. There are residential properties and farmland bordering the north and south property lines, as well as a railroad just off the western property line. The site is within the Country Estate zoning area.

C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

Resources utilized to study the natural features of the site included an on-site visit, aerial photos from Google Earth, a web soil survey prepared by the USDA, Wetlands Inventory Maps prepared by the MDEGLE as well as resources prepared by the Huron River Watershed Council and other Livingston County Natural resources agencies.

The eastern half of the site primarily slopes to a low point on the southeastern corner of the property. The western half of the site sheet flows to the wooded areas and wetland areas in the rear of the site. The soils on site consist of loam, loamy sands, sandy loams, and complex soils.

The Livingston County Drain Commissioner's "Procedures and Design Criteria for Stormwater Management Systems and Soil Erosion Sedimentation Control Program" was followed throughout the design process. The reading states preservation of the natural environment and use of vegetated swales as the first and third most preferred best management practices, respectively. Thus, careful consideration was taken to ensure a site with minimal earth disturbance and drainage patterns that followed the pre-developed site. As a result, only three tagged trees will need to be removed on the site. Bioswales will be implemented on site to provide a natural filtration method of any additional runoff. The bioswales are located at a current low spot as well as on the downslope prior to the wetland on site. These locations allow the site to maintain its current drainage pattern.

D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.

The site will utilize two bioswales to control stormwater runoff. Curb and gutter is being utilized around the parking lots and drives to direct stormwater to its proper location. Trench drains are being utilized to get the stormwater to the opposite side of the sidewalk behind the curb. The benefit of utilizing the trench drain in this situation is that it maximizes the amount of stormwater contact with the swales and vegetation thereby increasing infiltration and treatment potential prior to entering into the bioswale areas. Additionally, proper sedimentation control devices such as tracking mats, silt fence, and seeding with mulch will be utilized during construction to control erosion and sedimentation. Additional topsoil will be stored next to the proposed chapel. Given the small building footprint and amount of proposed impervious area compared to the overall site area, there will be minimal impact on the storm runoff. In addition to sedimentation control devices being used, there will also be weekly inspections from a certified stormwater operator to ensure it is properly maintained and functioning throughout construction.

E. Impact on surrounding land use: Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The site will see an increase in use regardless of the facility, due to it being a vacant site. Services at this chapel are expected to occur at a minimum of once a month, but primarily weekly. The Mass frequency will increase based on the demand. The proposed chapel is also set back approximately 620 feet off Chilson Road. There is currently a line of trees along the southern property. This will help to reduce any disturbances to the home adjacent to the southern property

line. In addition to these existing trees, an entire double-staggered row of evergreen trees is being proposed along the south property line near the chapel and near the front parking lot in order to ensure an adequate buffer is obtained along the entire property line. Although the chapel anticipates some services after dusk which will require lighting, the lighting will be off as often as possible to reduce and minimize any light pollution from this site. Refer to the lighting plan in the Site Plan package for proposed photometrics. Additional information on the site uses and times is included in an Operations document separate this Environmental Impact Assessment.

The chapel contains an operational bell tower. The bell is proposed to be automated with the ability for manual ringing. Manual ringing will occur for Mass and other special events. Automated ringing is proposed on the Angelus hours of Noon and 6:00 P.M. Additional information on the Chapel bell use is included in the Operations document.

In addition to the proposed use being a Chapel, there are a few more elements to this site that include: The Mural Wall, Stations of the Cross, and Magnificent Tree of Padre Pio. The Mural Wall includes an Altar in front and is located within the looped drive on site. This will serve as an area for visitors to reflect and meditate and for special functions to be held outside. Occasional outdoor Mass will be held at this Mural Wall and altar. The Magnificent Tree of Padre Pio is a large tree located on the site that will be featured with a Statue of Padre Pio sitting underneath it. Part of Padre Pio's story involves a tree so the purpose is to utilize the site's natural environment and features to show Padre Pio's story. There is also a Stations of the Cross Trail between the two proposed parking lots. The purpose of this is for visitors to park in the first parking lot and walk the Stations of the Cross Trail on the way towards the Chapel. An existing large stand of trees is being used as the setting for the Stations of the Cross trail. Along the trail will be wood posts with housing with pictures depicting the route Jesus took to the Cross. This setting offers a natural environment for meditation and reflection for visitors.

F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The proposed chapel contains seating for 80 visitors, with an additional 15 seats provided in an adoration Chapel room. Public schools will not be impacted by the chapel. The impact on police protection will be negligible. The Brighton Area Fire Authority's needs are being accommodated in the road layout of the site, allowing for adequate access to the building. It is important to note this facility will have periodic visitors throughout the day with occasional field trips and chapel services periodically.

G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post-development flows shall be provided in equivalents to a single-family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

There will be no public water or sanitary sewer facilities on this site. A Well and septic system will be used for the chapel. There are no public water or sanitary sewer facilities within the area. Using the Livingston County Environmental Health Well & Septic Records, it may be seen that surrounding properties also contain septic systems. Soil characteristics obtained from the USDA Web Soil Survey show promising soil types for installation of a septic tank. Livingston County

Health Department standards were followed in the sizing and isolation distance of the septic tank and well.

H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There will be no hazardous materials used or disposed of on this site.

I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

The Institute of Transportation Engineers Trip Generation Manual 10th Edition Volume 2 Part 2 was used to calculate the number of trips generated by the proposed chapel. The scenario on sheet 187 using gross floor area and the peak hour on a Sunday produced 56 trips. The traffic counts section on Livingston County Road Commission's website was used to analyze Chilson Road annual average daily traffic. The most recent data shows Chilson Road has an AADT of 2,500 between E Coon Lake Road and Beck Road. Chilson Road did experience an annual growth of -26% in 2014 due to the I-96 ramp on Latson Road being constructed. Chilson Road had an AADT of 4,505 prior to the construction of the ramp. The increased traffic caused by the proposed chapel will have little overall impact, and Chilson Road has been shown to handle much larger AADT volumes in the past. It is important to note that the anticipated mass times for this site generally do not line up with peak hour traffic times.

J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.

A traffic study is not required for this site.

K. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.

N/A

L. A list of all sources shall be provided.

Genoa Township's *Submittal Requirements For Impact Assessment*

Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

Catholic Healthcare International

General Operations

3280 Chilson Road, Howell, MI 48116

The purpose of this document is to provide guidance as to the operations of the Chapel, site features and miscellaneous Chapel/site components. Given the preliminary nature of this site, it is difficult to determine exact times and person counts for Masses and other events. Site awareness and public interest & use will help determine the extent of Chapel/site use and Mass times.

Chapel

During typical weekdays and weekends (not during events or scheduled Mass) the Chapel will be unlocked and available from dawn to dusk.

The vision for regularly scheduled Mass times can be broken down into three parts: The immediate future, short term, long term/max use.

Immediate Future: Shortly after site construction and through the first year or so, the intent is to hold a Mass 1 day per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M., avoiding peak traffic hours when possible.

Short Term: After the site has been open and has gained traction/awareness, the intent is to hold a Mass 3 days per week. The Mass is anticipated to be held on a weekday/weekend between the hours of 7:00 A.M. to 1:00 P.M.

Long Term/Maximum Use: The hope is that the site provides opportunities for enough people that additional Mass times would need to be scheduled. The maximum frequency of scheduled Mass in the long-term is 7 days per week. The Mass is anticipated to be held between the hours of 7:00 A.M. and 6:00 P.M.

It is anticipated that when there is a lower frequency of Mass' being held, attendance would be near or approaching the capacity of the Chapel (50-80 persons). When additional Masses are held, the person count in each Mass is anticipated to lower.

In the Long-Term Vision with additional Masses being held, a full-time Priest/resident will be on the site. A residence would need to be constructed. Appropriate approvals and permits will be sought at that time.

Chapel Bell

- The Chapel Bell is intended to ring daily following the Angelus hours, 12-noon and 6:00 P.M.
- The Chapel Bell will ring 3 times for each of these hours.
- The Chapel Bell will be operated manually at scheduled Mass times and/or special events on the site. In the event of a morning Mass before 9 am, the Chapel bell should not be used. The bell shall not be used manually between 9:00 P.M. and 9:00 A.M.

Security

The property will not have a full-time keeper on-site at this time. Security cameras will be located on the exterior of the Chapel and be accessible remotely for Catholic Healthcare International staff to view. An emergency contact name and number is provided below:

Site Contact: _____ Ann O'Reilly _____ Phone: _____ (517) 282-5924 _____

- In the event that the Mass frequency increases, a full-time Priest may be designated for this property, thus requiring a residence on the site and a new full-time site contact.
- The Chapel will be open to the public on weekdays and weekends from Dawn to Dusk.
- The outdoor site features (Stations of the Cross, Mural Wall, St. Padre Pio Statue, trails) will be open to the public on weekdays and weekends from dawn to dusk.

Events

At this time, there are two special events planned for the site and are listed below:

Both of these events will be outdoor Masses and receptions.

- 1) **Event:** St. Padre Pio Birthday Mass & Reception
Date: May 25, 2021 **Time:** Noon until dark
- 2) **Event:** St. Padre Pio Feast Day Mass & Reception
Date: September 23, 2021 **Time:** Noon until dark

The number of anticipated attendees is not known. Approaching each event, interest levels will be gauged. Should excessive interest in an event warrant, staged/multiple receptions may occur to accommodate these additional people. It would be anticipated that on special event days, some overflow parking in the grass area north of the Chapel may be needed.

Overflow parking will be available for these special events in the greenspace north of the Chapel.

Events may be held on weekdays and/or weekends.

Lighting

On-site lighting is anticipated to be used as minimally as possible. In the event a Mass is held after dusk, site lighting will be utilized for safety. The only site lighting at this time is for the monument sign along Chilson Road, mural wall lighting, parking lot/driveway lighting poles, and building mounted lighting. Site lighting is provided as per Township requirements.

During typical site use (non-Mass/special event hours), lighting will be used 30 minutes before sunrise and 1 hour after dusk.

Unless Mass or special events are being held, lighting is to be off 1- hour after dusk.

Minimal exterior Chapel wall-mounted lighting may be used at additional hours for security purposes. All site lighting levels are to meet Township Ordinance requirements.

PROPERTY DESCRIPTION:

40 Acres Description:

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, T2N-R5E, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Center of said Section 20, said Point lying S 00 degrees 04'22" W along the North-South 1/4 line of said Section, 2616.14 feet; thence N 89 degrees 16'18" E, 623.77 feet to the centerline of Chilson Road; thence N 25 degrees 37'28" W along said centerline, 511.68 feet; thence continuing along said centerline, N 25 degrees 35'58" W, 409.12 feet to the Point of Beginning of the Parcel to be described; thence S 64 degrees 49'10" W, 581.00 feet; thence S 52 degrees 45'14" W, 1157.74 feet to the Easterly Line of the Ann Arbor Railroad; thence N 25 degrees 10'14" W along said line, 1566.05 feet; thence N 89 degrees 04'43" E, 1874.35 feet to said centerline; thence S 25 degrees 35'58" E along said centerline, 553.96 feet to the Point of Beginning, containing 40.01 acres more or less and subject to the rights of the Public over existing Chilson Road. Description subject to a stake Survey in the field.

Prepared By: Mathew A. Brady P.S. P.O. Box 400 Brighton, Michigan 48116

SITE PLAN FOR CATHOLIC HEALTHCARE INTERNATIONAL PART OF NE, NW, & SW 1/4, SECTION 20 GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

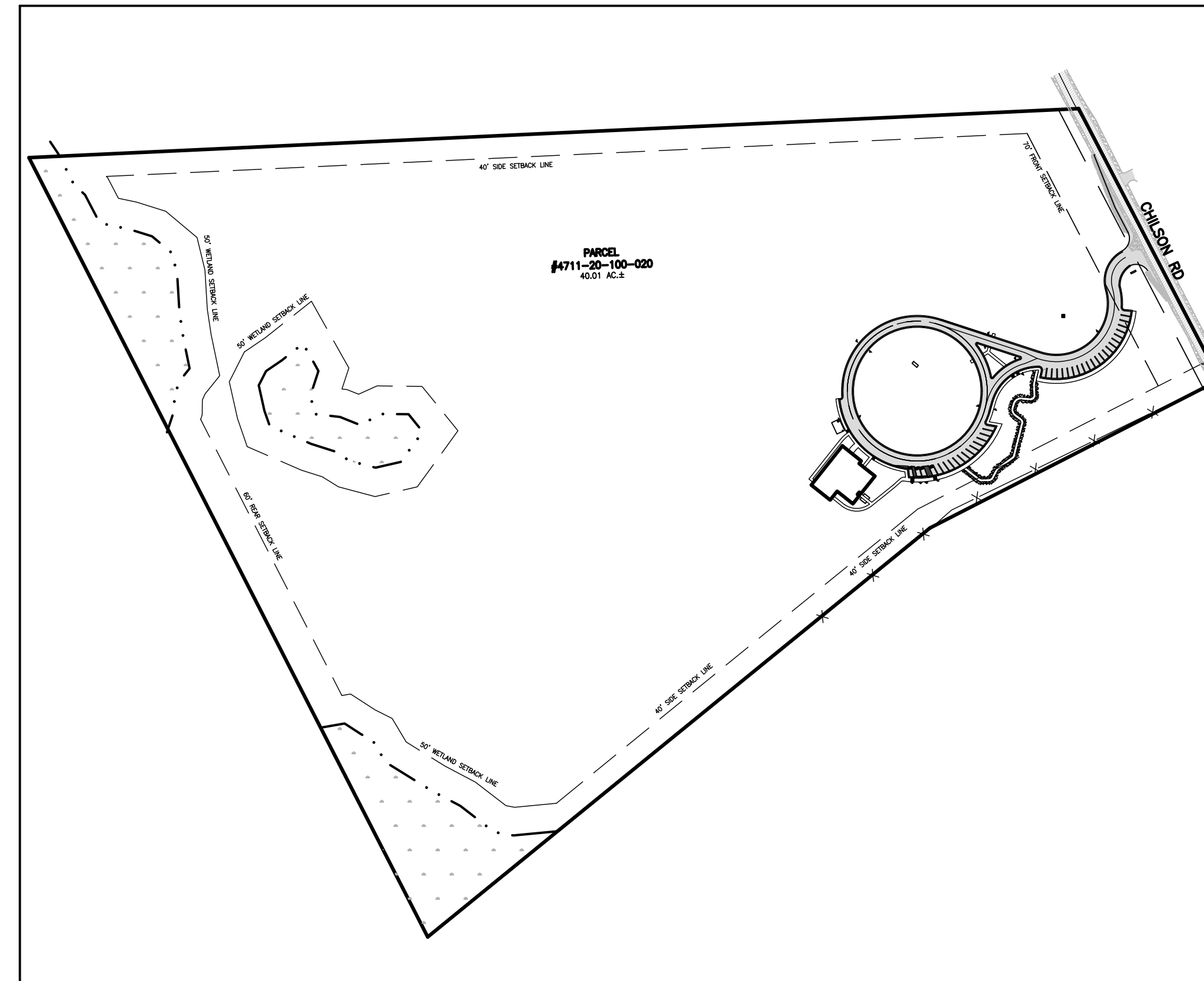


LOCATION MAP

NO SCALE

CONSTRUCTION NOTES

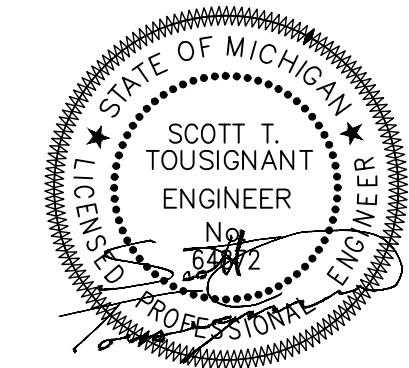
1. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
1. THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
2. DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
3. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
4. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
5. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
7. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
8. ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
9. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
10. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
11. THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
14. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
15. THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
16. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
17. ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
19. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
20. DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
21. IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
22. NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
24. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
25. ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
26. TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
27. ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
28. AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
29. ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
30. NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
31. ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
32. SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
33. ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



OVERALL SITE MAP

NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	NATURAL FEATURES PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE PLAN
5	GRADING & SOIL EROSION CONTROL PLAN
6	DRAINAGE PLAN & BIOSWALE CALCULATIONS
7	LANDSCAPE PLAN
8	FIRE CISTERN DETAILS
DRAWINGS BY OTHERS	
1	GASSER BUSH ASSOCIATES – LIGHTING PHOTOMETRIC PLAN
DRAWINGS BY OTHERS	
1	SWANSON DESIGN STUDIOS – ARCHITECTURAL
2	CHAPEL/OFFICE PLAN
3	FRONT EXTERIOR ELEVATIONS
A1	BACK EXTERIOR ELEVATIONS
	MURAL WALL DETAIL PLAN



INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

ARCHITECT	CONTRACTOR	ON-SITE PROJECT SUPERVISOR
SWANSON DESIGN STUDIOS	TO BE DETERMINED	TO BE DETERMINED
329 EAST GRAND RIVER AVE		
LANSING, MI 48906		
CONTACT: MARY SWANSON		
PHONE: 517-482-9039		
EMAIL: MSWANSON@SWANSONDESIGN.COM		

PREPARED FOR:

CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD SUITE 317
WILDWOOD, MO 63040
CONTACT: JERE PALAZZOLO
PHONE: 636-220-6550

PREPARED BY:

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

FOR SITE PLAN APPROVAL ONLY!
NOT FOR CONSTRUCTION

2	ST	PER TWP REVIEW	02/16/21	1
1	ST	PER TWP REVIEW	01/20/21	
NO	BY	CK	REVISION	
			DATE	JOB NO: 20-477

NATURAL FEATURES NARRATIVE:

SEVERAL NATURAL FEATURES WERE IDENTIFIED DURING AN ON-SITE VISIT TO THE PROPERTY ON AUGUST 23, 2019 THAT INCLUDE WETLANDS AND A VARIETY OF WOODLAND STANDS. BELOW IS A BRIEF DESCRIPTION OF EACH NATURAL FEATURE, LABELED AS ZONES 'A'-'E'. ALTHOUGH THE TOTAL SITE IS MEASURED AT 46.88 ACRES, THE ZONES DESCRIBED BELOW ARE APPROXIMATELY 41.11 ACRES WHEN ADDED TOGETHER. NOTE THAT EACH ZONE IS MEASURED TO AN APPROXIMATE SIZE AND THAT ZONES ARE SEPARATED BY A PATH THAT IS ROUGHLY 12' WIDE AND IS NOT ACCOUNTED FOR IN THE CALCULATIONS.

WETLAND 'A'

AN ESTIMATED 1.24 ACRE 'FRESHWATER EMERGENT WETLAND' AS DESCRIBED BY THE NATIONAL WETLANDS INVENTORY, CONTIGUES OFF-SITE AND IS PART OF A MUCH LARGER WETLAND WHICH QUALIFIES IT AS A REGULATED WETLAND. THE DOMINANT PLANT SPECIES ARE RED OSIER DOGWOOD, GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS. THIS WETLAND BORDERS THE RAILROAD CORRIDOR AT THE WEST PROPERTY LINE. A DRAINAGE CHANNEL RUNS PARALLEL TO THE RAILROAD TRACKS AND WETLAND 'A' IS A COLLECTOR BASIN OF THE DRAINAGE CHANNEL.

WETLAND 'B'

AN ESTIMATED 1.05 ACRE 'FRESHWATER EMERGENT WETLAND' THAT IS COMPOSED OF COMPOSED OF HYDRIC CARLISLE MUCK SOILS. THIS WETLAND ALSO CONTIGUES OFF-SITE TO THE NORTH AND IS A REGULATED WETLAND AS IT HAS A HYDRIC CONNECTION TO WETLAND A VIA DRAINAGE DITCH. THE DOMINANT PLANT SPECIES ARE GRAY DOGWOOD, SENSITIVE FERN, AND REED CANARY GRASS.

WETLAND 'C'

AN ESTIMATED 0.99 ACRE 'LOWLAND HARDWOOD' WETLAND, ACCORDING TO THE EGLE WETLAND MAP VIEWER. THIS WETLAND IS DOMINATED BY REED CANARY GRASS WITH A FEW BUTTON BUSH SHRUBS SCATTERED THROUGHOUT.

ZONE 'A'

ZONE 'A' IS A STAND OF HEALTHY AND MATURE WHITE PINE TREES THAT AVERAGE APPROXIMATELY 20' AT DIAMETER BREAST HEIGHT IN SIZE. THE TREES ARE PLANTED ON AVERAGE 10-15' APART FROM ONE ANOTHER.

ZONE 'B'

ZONE 'B' IS APPROXIMATELY 8.4 ACRES IN SIZE AND IS MOSTLY OPEN SPACE AND MANAGED LAWN AREAS WITH MINIMAL SLOPES. THE SOILS CONSIST MOSTLY OF BOYER OSHTEMO SANDY LOAMS. THERE ARE FEW TREES IN THIS ZONE, THOUGH A MURAL WALL OF MATURE AND MOSTLY HEALTHY BOX ELDER TREES IS LOCATED IN THE CENTER OF THE SITE THAT WILL BE PROTECTED.

ZONE 'C'

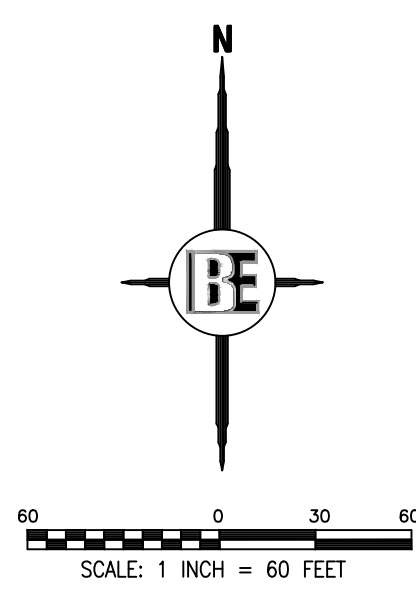
ZONE 'C' IS APPROXIMATELY 9.7 ACRES IN SIZE. THE TREES CONSIST OF MATURE RED OAK, BLACK CHERRY, BLACK WALNUT, AND SHAGBARK HICKORY RANGING FROM 10-20' AT DIAMETER BREAST HEIGHT. THE UNDERSTORY IS RELATIVELY OPEN WITH SOME BLACK RASPBERRY BRAMBLES AND MULTIFLORA ROSES OCCUPYING THE OPEN SPACES. THERE ARE HICKORY AND OAK SAPLINGS SPREAD THROUGHOUT INDICATING A HEALTHY FUTURE FOR SUCCESSION. SOILS ARE WASHTENAW SILT LOAMS AND BOYER OSHTEMO SAND LOAMS WITH MINIMAL SLOPES.

ZONE 'D'

ZONE 'D' IS APPROXIMATELY 2.72 ACRES IN SIZE AND IS WHAT APPEARS TO BE MOUNDED EARTH LIKELY FROM MASS GRADING EFFORTS THAT WERE EXECUTED MANY YEARS AGO. THE AREA IS MOSTLY OPEN SPACE WITH 3:1 SLOPES LEADING TO THE TOP. PLANT SPECIES INCLUDE GOLDEN ROD, VARIOUS ASTERS, AND SEVERAL EASTERN RED CEDAR TREES. THERE ARE SEVERAL CRABAPPLE TREES PLANTED THROUGHOUT.

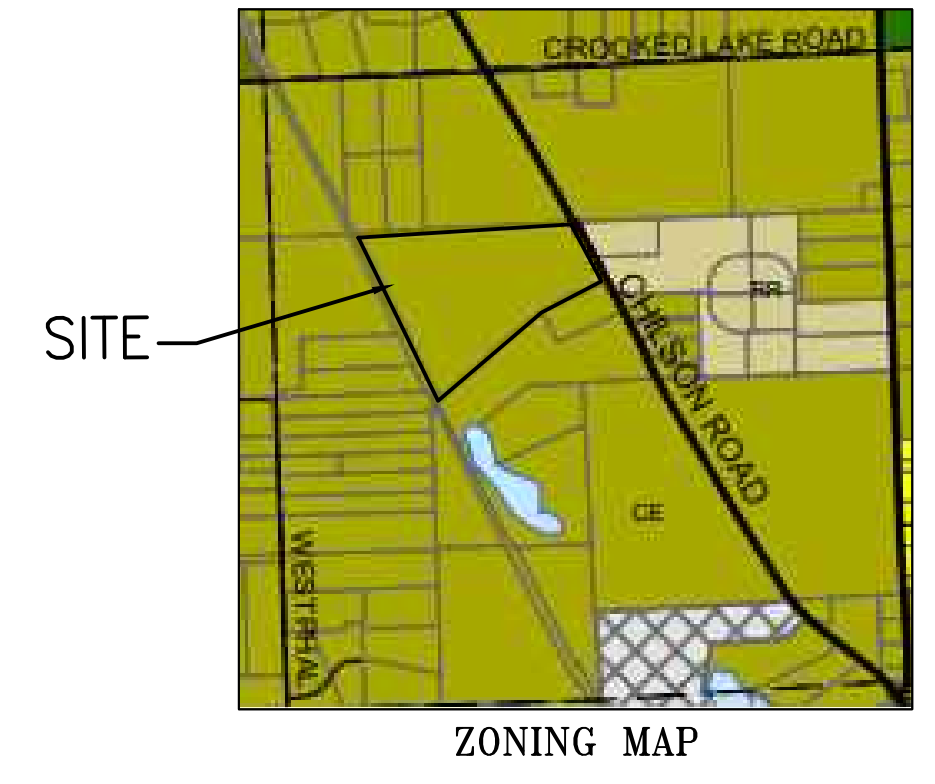
ZONE 'E'

ZONE 'E' IS APPROXIMATELY 18 ACRES IN SIZE WITH MATURE BLACK CHEERY, RED OAK, SHAGBARK HICKORY RANGING FROM 12-20' AT DIAMETER BREAST HEIGHT. THERE ARE SEVERAL LANDMARK TREES THAT INCLUDE RED OAK AND BLACK CHERRY. THE UNDERSTORY INCLUDES BRAMBLE, POKEWED, HONEYSUCKLE, A FEW HICKORY AND OAK SAPLINGS, AND AN OCCASIONAL CELESTRIS VINE. THERE IS ALSO A STAND OF AMERICAN ELM TREES. THERE IS A GENTLE SLOPE TO THE LAND THAT DRAINS STORMWATER TO THE WEST. IN THE NORTHEAST, THERE APPEARS TO BE REMNANTS OF AN OLD BUILDING FOUNDATION THAT HAS BEEN DEMOLISHED AND SET INTO A PILE OF RUBBLE ATOP A SMALL HILL.



LEGEND

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
---	---	CONTOUR
•	•	SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RM	RM	ROOM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
L	L	FENCE
X	X	SILT FENCE
W	W	WETLAND BOUNDARY
G	G	LIMITS OF GRADING/CLEARING
M	M	MANHOLE
I	I	INLET / CATCHBASIN
F	F	FLARED END-SECTION
G	G	GATE VALVE
H	H	HYDRANT
U	U	UTILITY POLE
S	S	SIGN
N	N	NOT FIELD VERIFIED
R	R	TO BE REMOVED
SS	SS	SANITARY SEWER LABEL
SS	SS	STORM SEWER LABEL
WM	WM	WATER MAIN LABEL
SC	SC	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
C	C	CONCRETE
A	A	ASPHALT
M	M	MODIFIED CURB



GENERAL SURVEY NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, RECORDED BEARINGS WERE ESTABLISHED FROM LIVINGSTON ENGINEERING SURVEY JOB NO. 19208, AS RECORDED IN 20195-0113, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD88 DATUM)
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

SITE BENCHMARKS (NAVD88 DATUM):

- BM #200** = BOSS NAIL/TAG S/S 24" OAK TREE. ELEV.=959.08
- BM #201** = BOSS NAIL/TAG S/S P-POLE CENTER OF SITE. ELEV.=958.47

Map Unit Legend

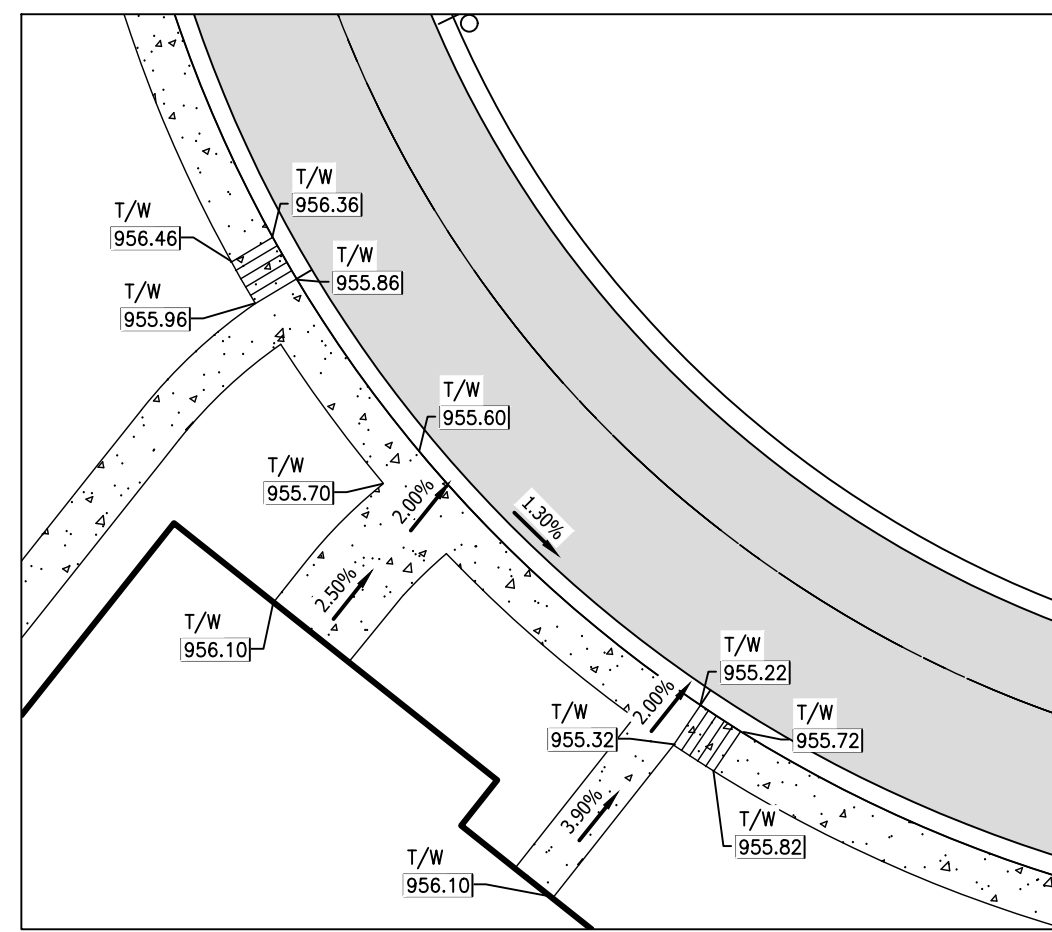
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BA	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes	3.2	8.0%
BB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes	7.9	21.2%
BC	Boyer-Oshtemo loamy sands, 0 to 2 percent slopes	2.1	5.5%
Cc	Carlisle muck, 0 to 2 percent slopes	1.8	3.9%
FB	Fau-Boyer complex, 2 to 6 percent slopes	5.9	15.9%
FD	Fau-Boyer complex, 12 to 18 percent slopes	0.9	2.3%
Gc	Gifford sandy loam, 0 to 2 percent slopes, gravelly subsoil	2.3	6.2%
MoA	Waunakee loam, 0 to 2 percent slopes	7.0	18.8%
MdB	Waunakee loam, 2 to 6 percent slopes	3.7	9.9%
Mc	Waunakee loam, 8 to 12 percent slopes	0.7	1.8%
Wh	Washtenaw silt loam	2.2	6.0%
Totals for Area of Interest		37.3	100.0%

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

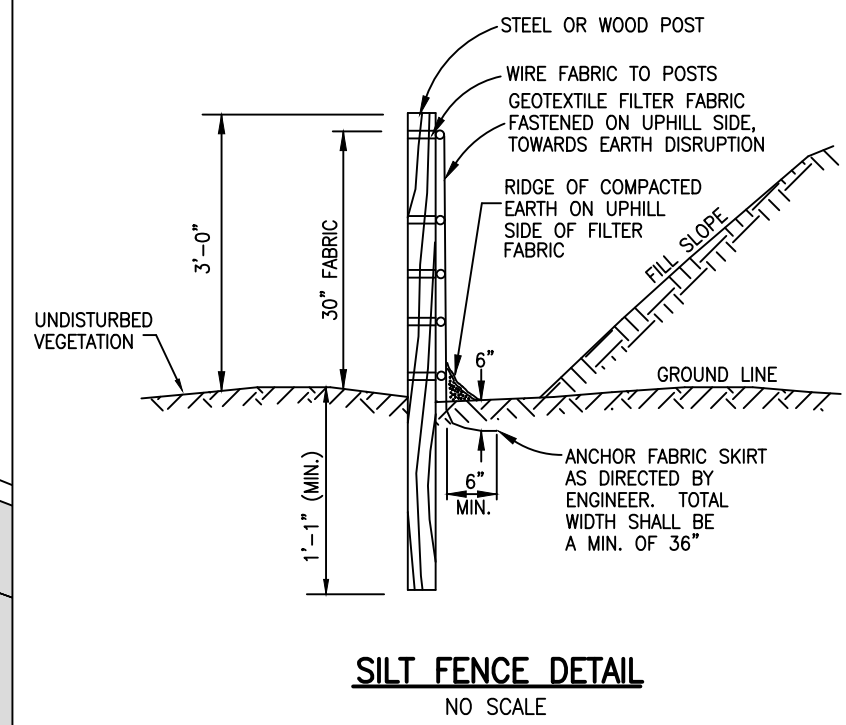
CATHOLIC HEALTHCARE INTERNATIONAL
PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILLOWOOD, MO 63090
314-922-2136

NATURAL FEATURES PLAN

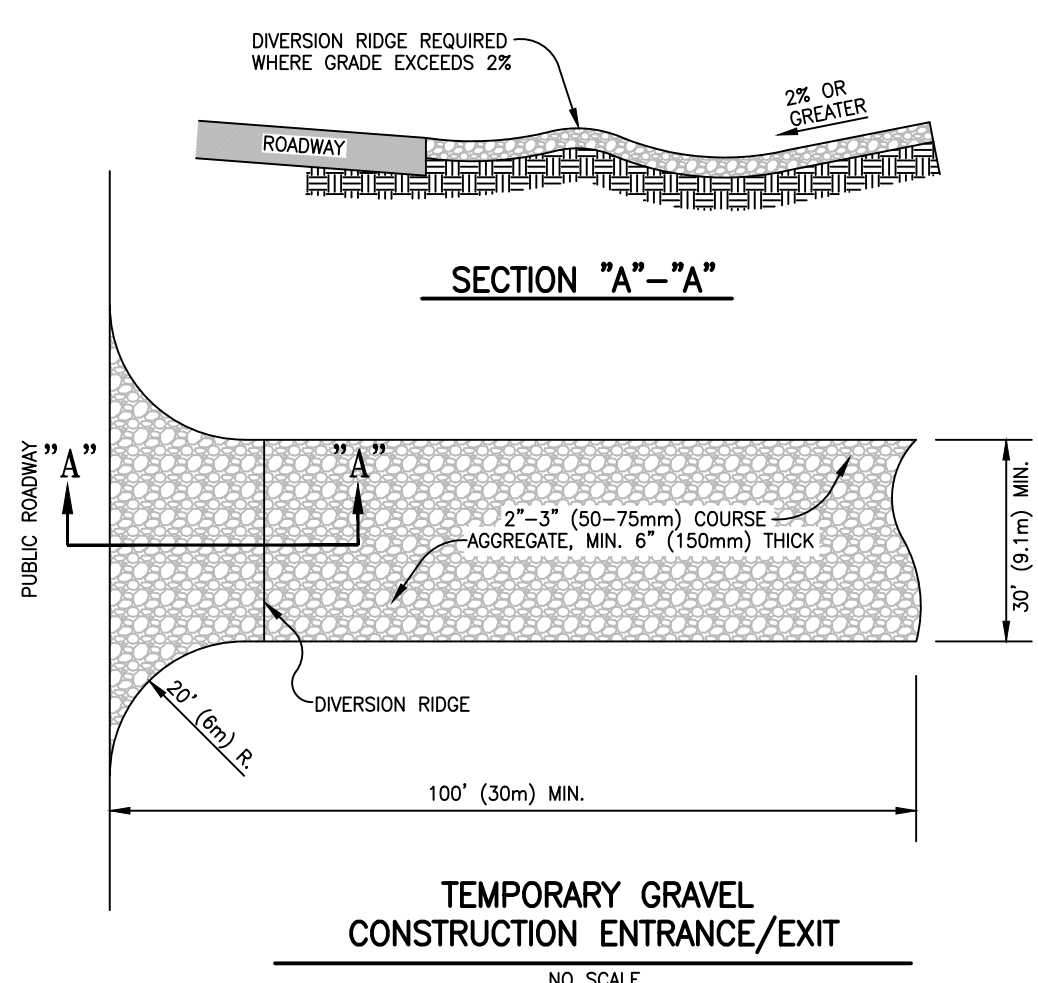
DATE	BY	REVISION
02/16/21	JH	DESIGNED BY
01/20/21	JH	DRAWN BY
		CHECKED BY:
		SCALE: 1" = 100'
		JOB NO: 20-477
		DATE: 12-18-20
		SHEET NO. 2



ADA SIDEWALK DETAIL
1:20 SCALE



SILT FENCE DETAIL
NO SCALE

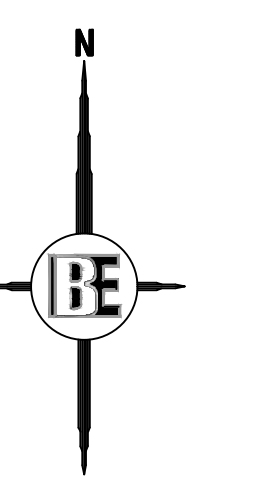


TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT
NO SCALE

SOIL EROSION CONTROL MEASURES

1	STRIPING & STODDING (PSA)	DISPIL MAY BE STODDED ABOVE BARRIERS TO ACT AS A DIVERSION STODDLE SHOULD BE TEMPORARY STODD
6	SEEDING WITH MULCH AND/OR MATING	FACILITATES ESTABLISHMENT OF VEGETATION COVER EFFICIENT FOR BARRIERS WITH LOW VELOCITY. EARLY PRACTICE IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL. SHOULD INCLUDE SEEDS, TOPSOIL, ETC.
14	AGGREGATE CURB	STABILIZES SOIL SURFACE, HELPS MINIMIZE EROSION. PROMOTES CONSTRUCTION TRAFFIC IN HARDER WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
54		USES GEOTEXTILE FABRIC AND POST OR PILES. BEST TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

T= TEMPORARY P= PERMANENT
TOTAL DISTURBED AREA= 4.26 AC.



LEGEND

PROPOSED (PR)	EXISTING (EX)	CONTOUR
900	+922.08	CONTOUR
T/C		SPOT ELEVATION
XXXXXX		FINISHED FLOOR ELEVATION
FF	FF	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARYARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
F	F	FENCE
X	X	SILT FENCE
W	W	WETLAND BOUNDARY
L	L	LIMITS OF GRADING/CLEARING
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
SIGN	SIGN	SIGN
NOT FIELD VERIFIED	NOT FIELD VERIFIED	NOT FIELD VERIFIED
TO BE REMOVED	TO BE REMOVED	TO BE REMOVED
SANITARY SEWER LABEL	SANITARY SEWER LABEL	SANITARY SEWER LABEL
STORM SEWER LABEL	STORM SEWER LABEL	STORM SEWER LABEL
WATER MAIN LABEL	WATER MAIN LABEL	WATER MAIN LABEL
SOIL EROSION CONTROL MEASURE	SOIL EROSION CONTROL MEASURE	SOIL EROSION CONTROL MEASURE
(P=PERMANENT, T=TEMPORARY)	(P=PERMANENT, T=TEMPORARY)	(P=PERMANENT, T=TEMPORARY)
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
MODIFIED CURB	MODIFIED CURB	MODIFIED CURB
FILL AREA	FILL AREA	FILL AREA

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONFLICTS ARE FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONFLICTS ARE FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONFLICTS ARE FOUND.

BEBOSS Engineering
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670



SURFACE WATER & COUNTY DRAINS
WETLAND - WETLANDS LOCATED ON SITE AND ON ADJACENT PROPERTIES PER EGLE WETLANDS MAP VIEWER. (APPROX. 825 LF FROM SITE DISTURBANCE)
LAKES - APPROXIMATELY 1.43 MILES SE TO WEST CROOKED LAKE
STREAMS - APPROXIMATELY 900 FT S TO THE STREAM WHICH LEADS TO COUNTY DRAIN NO. 1
DRAINS - APPROXIMATELY 150 FT SW TO LCDC DRAIN NO. 1
PONDS - 350 FT EAST AT 3275 CHILSON RD

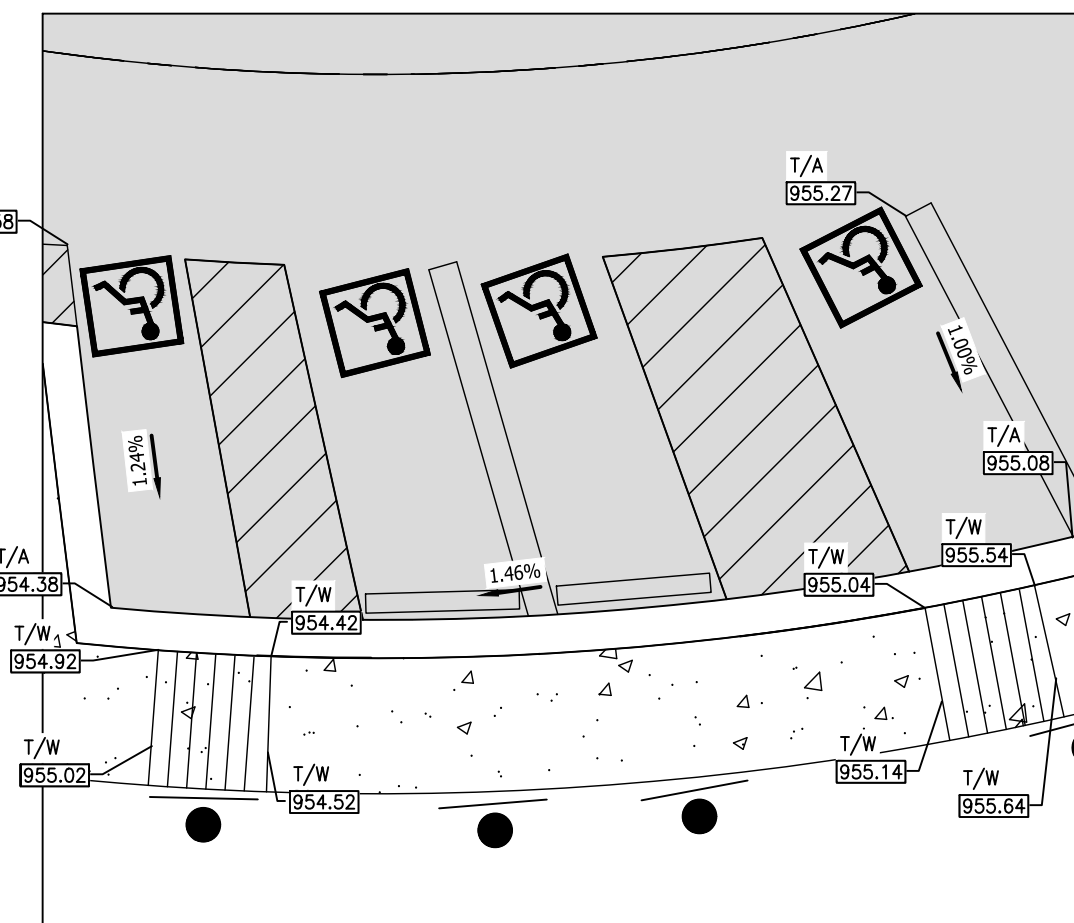
NOTE:
SEE SHEET 6 FOR TRENCH DRAIN DETAIL

SITE BENCHMARKS (NAVD88 DATUM):
-BM #200 = BOSS NAIL/TAG S/S 24" OAK TREE. ELEV.=959.08
-BM #201 = BOSS NAIL/TAG S/S P.POLE CENTER OF SITE. ELEV.=958.47

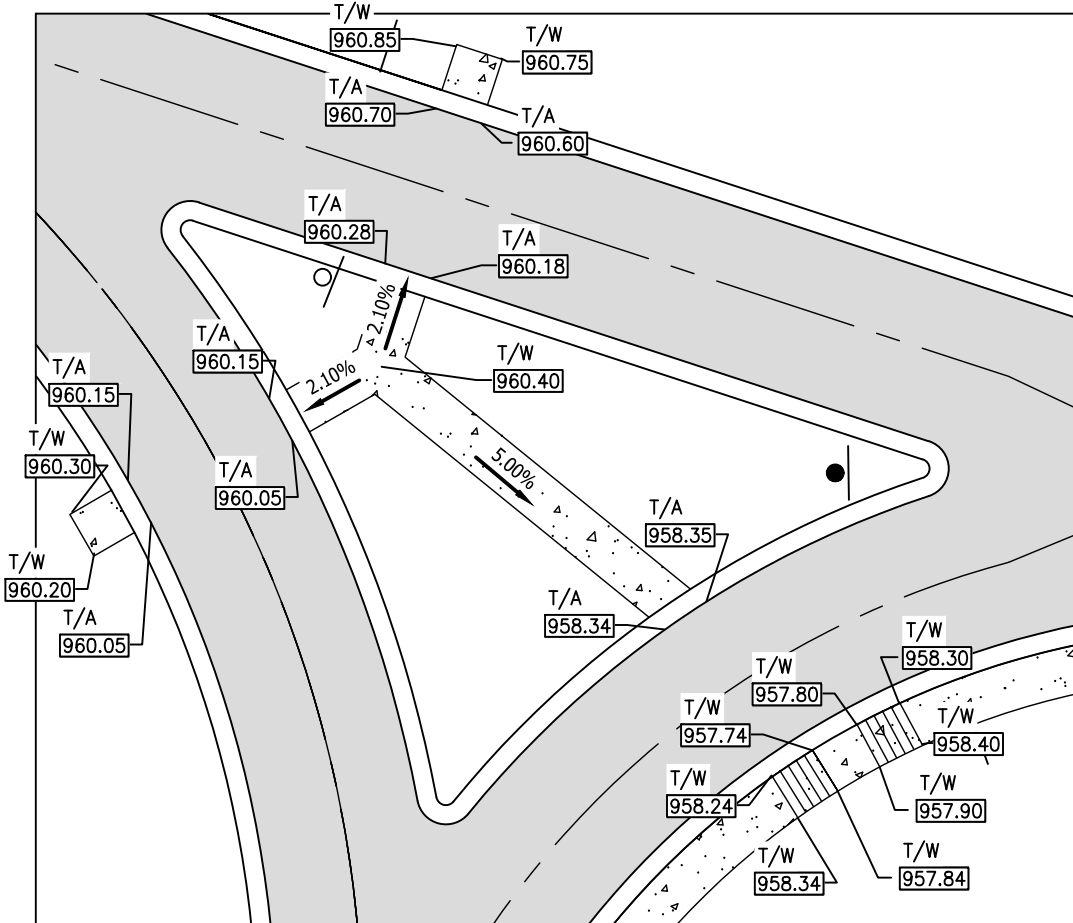
CONTRACTOR TO USE AN ADDITIONAL SOIL TO FILL TO AN ELEVATION OF 956.25

PROPOSED CHAPEL
FFE= 956.10
6,090 SFT

IRON AGE DESIGNS 18-INCH CURB INLET (OR EQUAL) FOLLOWED BY RIPRAP CHANNEL



ADA PARKING DETAIL
1:10 SCALE

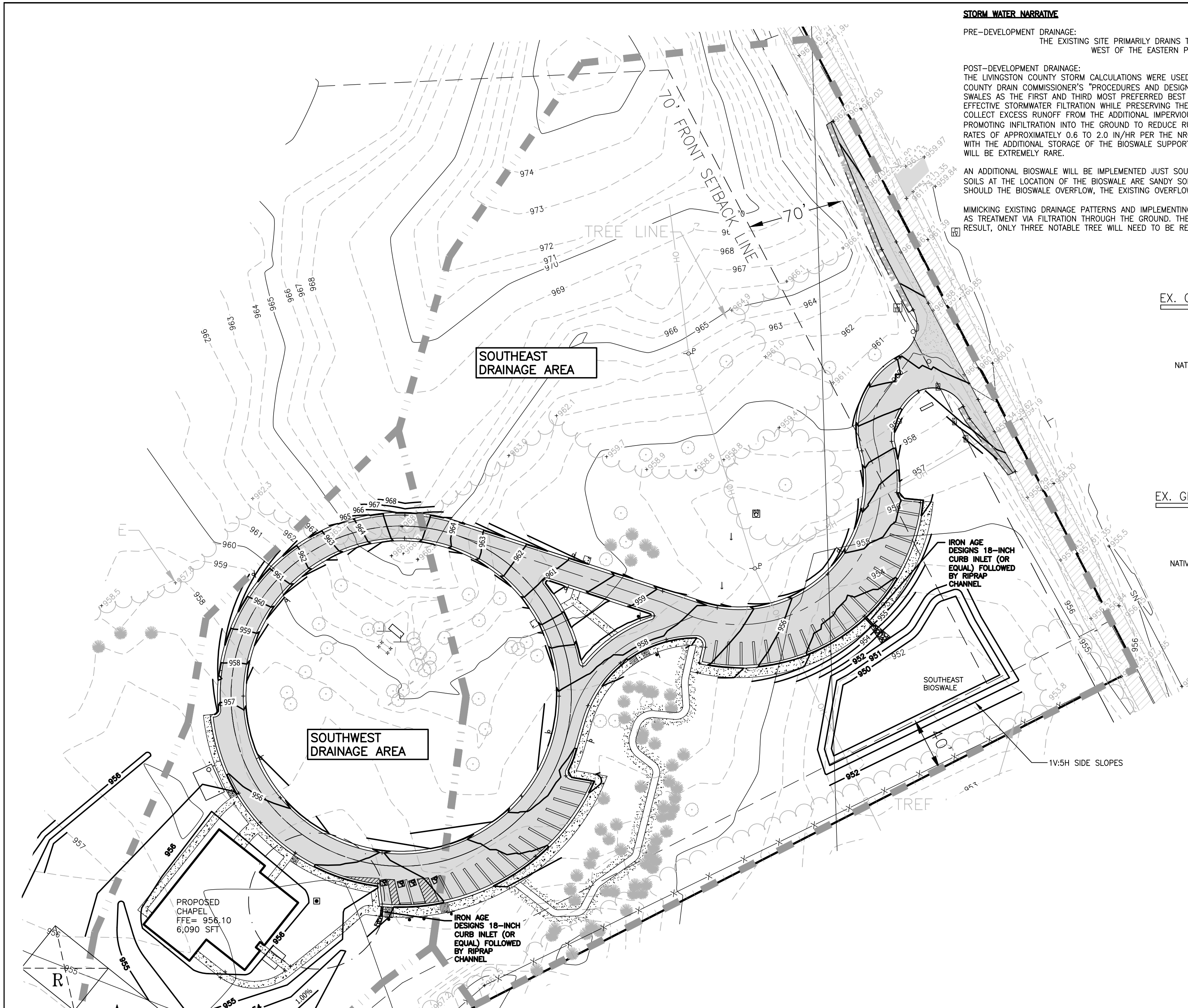


ADA SIDEWALK DETAIL
1:20 SCALE

PROJECT: CATHOLIC HEALTHCARE INTERNATIONAL
 PREPARED FOR: CATHOLIC HEALTHCARE INTERNATIONAL
 2464 TAYLOR ROAD, SUITE 317
 WILLOWOOD, MO 63190
 314-922-2136

DATE: 02/16/21
 PER TWP REVIEW: 2 1ST
 PER TWP REVIEW: 1 1ST
 REVISION PER: NO BY

DESIGNED BY: ST
 DRAWN BY: PG
 CHECKED BY:
 SCALE: 1" = 50'
 JOB NO: 20-477
 DATE: 12-18-20
 SHEET NO. 5



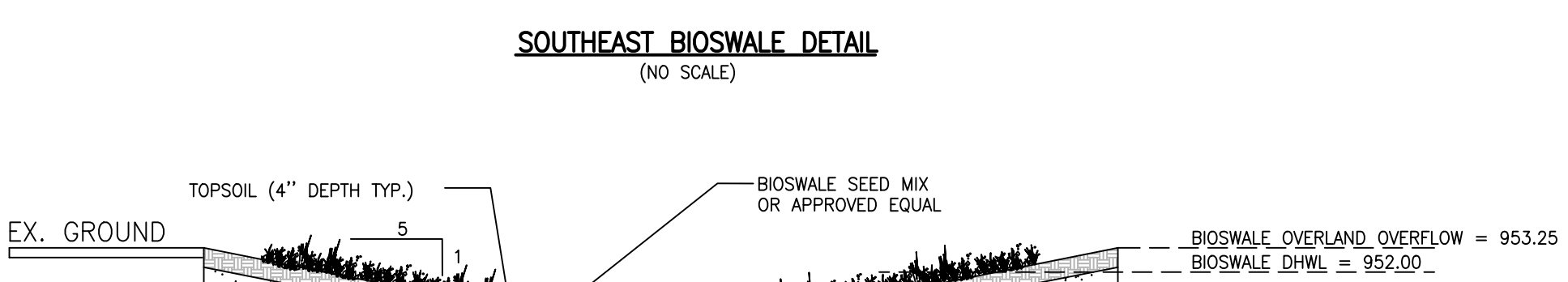
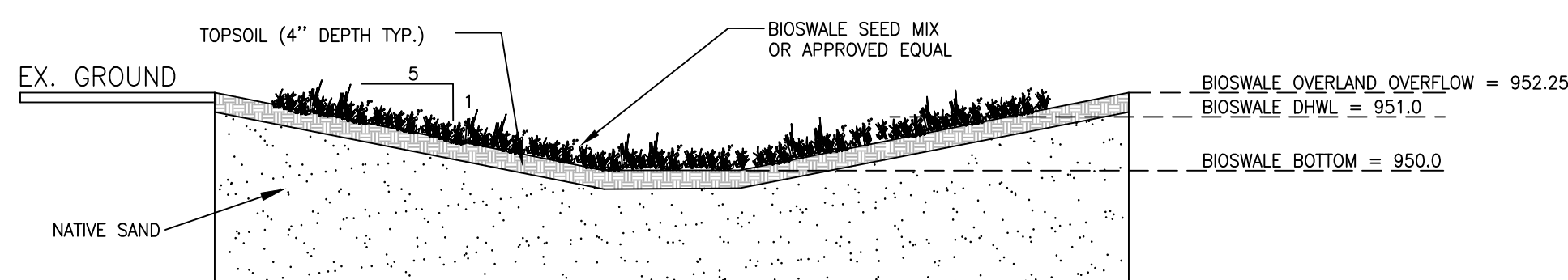
STORM WATER NARRATIVE

PRE-DEVELOPMENT DRAINAGE:
THE EXISTING SITE PRIMARILY DRAINS TO A LOW POINT ON THE SOUTHEAST CORNER OF THE SITE ADJACENT TO CHILSON ROAD, APPROXIMATELY 650 FEET WEST OF THE EASTERN PROPERTY LINE THE SITE SHEET FLOWS TOWARDS THE WETLANDS ALONG THE WESTERN PROPERTY LINE.

POST-DEVELOPMENT DRAINAGE:
THE LIVINGSTON COUNTY STORM CALCULATIONS WERE USED TO DETERMINE THE DIFFERENTIAL STORM WATER RUNOFF IN PRE-DEVELOPMENT AND POST-DEVELOPMENT CONDITIONS. LIVINGSTON COUNTY DRAIN COMMISSIONER'S "PROCEDURES AND DESIGN CRITERIA FOR STORMWATER MANAGEMENT SYSTEMS..." STATES PRESERVATION OF THE NATURAL ENVIRONMENT AND USE OF VEGETATED SWALES AS THE FIRST AND THIRD MOST PREFERRED BEST MANAGEMENT PRACTICES, RESPECTIVELY. FOLLOWING THIS IDEOLOGY, TWO BIOSWALES WILL BE UTILIZED ON THE SITE TO PROVIDE EFFECTIVE STORMWATER FILTRATION WHILE PRESERVING THE NATURAL ENVIRONMENT AND DRAINAGE PATTERN. A BIOSWALE WILL BE IMPLEMENTED IN THE EXISTING LOW SPOT ON THE SITE TO COLLECT EXCESS RUNOFF FROM THE ADDITIONAL IMPERVIOUS SURFACE. THE BIOSWALE WILL BE A SHALLOW DEPRESSION IN THE GROUND THAT CAN STORE UP TO 2.0 FEET OF WATER WHILE PROMOTING INFILTRATION INTO THE GROUND TO REDUCE RUNOFF. THE EXISTING SOILS AT THE LOCATION OF THE BIOSWALE ARE SANDY SOILS IN HYDROLOGICAL GROUP 'B' WITH INFILTRATION RATES OF APPROXIMATELY 0.6 TO 2.0 IN/HR PER THE NRCS WEB SOIL SURVEY. IN THE UNLIKELY EVENT THAT THE BIOSWALE OVERFLOWS, EXISTING OVERFLOW PATTERNS WILL BE FOLLOWED. WITH THE ADDITIONAL STORAGE OF THE BIOSWALE SUPPORTING OVER TWO TIMES THE AMOUNT OF INCREASED RUNOFF WHEN INCLUDING FREEBOARD, ANY EVENT RESULTING IN AN OVERFLOW WILL BE EXTREMELY RARE.

AN ADDITIONAL BIOSWALE WILL BE IMPLEMENTED JUST SOUTHWEST OF THE PROPOSED CHAPEL TO CONTAIN THE RUNOFF FROM THE DRIVE, PROPOSED CHAPEL, AND THE SIDEWALK. THE EXISTING SOILS AT THE LOCATION OF THE BIOSWALE ARE SANDY SOILS IN HYDROLOGICAL GROUP 'B' WITH INFILTRATION RATES OF APPROXIMATELY 0.6 TO 2.0 IN/HR PER THE NRCS WEB SOIL SURVEY. SHOULD THE BIOSWALE OVERFLOW, THE EXISTING OVERFLOW ROUTE WILL BE FOLLOWED. CURRENTLY, EXISTING RUNOFF FLOWS WESTERLY TOWARD THE WOODED AREAS.

MIMICKING EXISTING DRAINAGE PATTERNS AND IMPLEMENTING A BIOSWALE ARE BOTH STORM WATER BMP'S. THE BIOSWALE WILL PROVIDE TREATMENT VIA THE VEGETATION ABOVE GROUND AS WELL AS TREATMENT VIA FILTRATION THROUGH THE GROUND. THE SITE WAS DESIGNED TO PRESERVE THE NATURAL ENVIRONMENT AS BEST AS POSSIBLE, WHICH IS THE MOST PREFERRED BMP. AS A RESULT, ONLY THREE NOTABLE TREE WILL NEED TO BE REMOVED.



DRAINAGE AREA	STAGE	AREA (AC)	COMPOUND C
SOUTHEAST	PRE-DEVELOPMENT	5.45	0.22
	POST-DEVELOPMENT	5.45	0.31
SOUTHWEST	PRE-DEVELOPMENT	2.16	0.2
	POST-DEVELOPMENT	2.16	0.34

LIVINGSTON COUNTY RUNOFF CALCULATIONS FOR THE SOUTHWEST BIOSWALE

PRE-DEVELOPMENT DRAINAGE AREA		ACRE	
AREA (ACRES)	IMPERVIOUS FACTOR	IMPERVIOUS	PERVIOUS
2.16	0.2	0.43	
0.00	0.7	0.00	
0.00	0.9	0.00	

COMPOUND C: 0.20
TOTAL DRAINAGE AREA: 2.16 ACRES
K1 = Ax C (Design Constant) 0.432
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.216 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (A x C)	OUTFLOW DURATION x Qa	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	1188	65	1123
10	600	7.86	4714	2637	130	1907
15	900	6.88	6188	2673	194	2479
20	1200	6.11	7333	3168	259	2909
30	1800	5.00	9000	3888	389	3499
60	3600	3.24	11647	5032	778	4254
90	5400	2.39	12913	5578	1166	4412
120	7200	1.90	13655	5899	1555	4344
180	10800	1.34	14488	6259	2333	3926

PRE-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 4412 CF

POST-DEVELOPMENT DRAINAGE AREA

PRE-DEVELOPMENT DRAINAGE AREA		ACRE	
AREA (ACRES)	IMPERVIOUS FACTOR	IMPERVIOUS	PERVIOUS
1.74	0.2	0.35	
0.00	0.7	0.00	
0.42	0.9	0.38	

COMPOUND C: 0.34
TOTAL DRAINAGE AREA: 2.16 ACRES
K1 = Ax C (Design Constant) 0.7344
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.216 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (A x C)	OUTFLOW DURATION x Qa	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	65	1955	
10	600	7.86	4714	130	3333	
15	900	6.88	6188	454	4350	
20	1200	6.11	7333	538	5126	
30	1800	5.00	9000	6610	389	6221
60	3600	3.24	11647	8554	778	7776
90	5400	2.39	12913	9483	1166	8317
120	7200	1.90	13655	10028	1555	8473
180	10800	1.34	14488	10640	2333	8307

POST-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 8473 CF

RUNOFF VOLUME INCREASE = 4061 CF

BIO-SWALE STORAGE PROVIDED

ELEV.	AREA (FT ²)	DEPTH (FT)	VOLUME (FT ³)	TOTAL VOLUME	FREEBOARD ELEVATION
953	7459	1	6,019	10,116	
952	4579	1	3,495	4,097	DESIGN HIGHWATER ELEVATION
951	2410	0.5	603	603	
950.5					

LIVINGSTON COUNTY RUNOFF CALCULATIONS FOR THE SOUTHEAST BIOSWALE

PRE-DEVELOPMENT DRAINAGE AREA		ACRE	
AREA (ACRES)	IMPERVIOUS FACTOR	IMPERVIOUS	PERVIOUS
5.32	0.2	1.06	
0.00	0.7	0.00	
0.13	0.9	0.12	

COMPOUND C: 0.22
TOTAL DRAINAGE AREA: 5.45 ACRES
K1 = Ax C (Design Constant) 1.199
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.545 CFS

DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (A x C)	OUTFLOW DURATION x Qa	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	3237	164	3154
10	600	7.86	4714	5652	327	5325
15	900	6.88	6188	7419	491	6928
20	1200	6.11	7333	8793	654	8139
30	1800	5.00	9000	10791	981	9810
60	3600	3.24	11647	13665	1962	12003
90	5400	2.39	12913	15483	2943	12540
120	7200	1.90	13655	16373	3924	12449
180	10800	1.34	14488	17371	5886	11485

PRE-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 12540 CF

POST-DEVELOPMENT DRAINAGE AREA

PRE-DEVELOPMENT DRAINAGE AREA		ACRE	
AREA (ACRES)	IMPERVIOUS FACTOR	IMPERVIOUS	PERVIOUS
4.60	0.2	0.92	
0.00	0.7	0.00	
0.84	0.9	0.76	

COMPOUND C: 0.31
TOTAL DRAINAGE AREA: 5.45 ACRES
K1 = Ax C (Design Constant) 1.6895
Qa = MAX ALLOW OUTFLOW (0.10 CFS / ACRE) 0.545 CFS

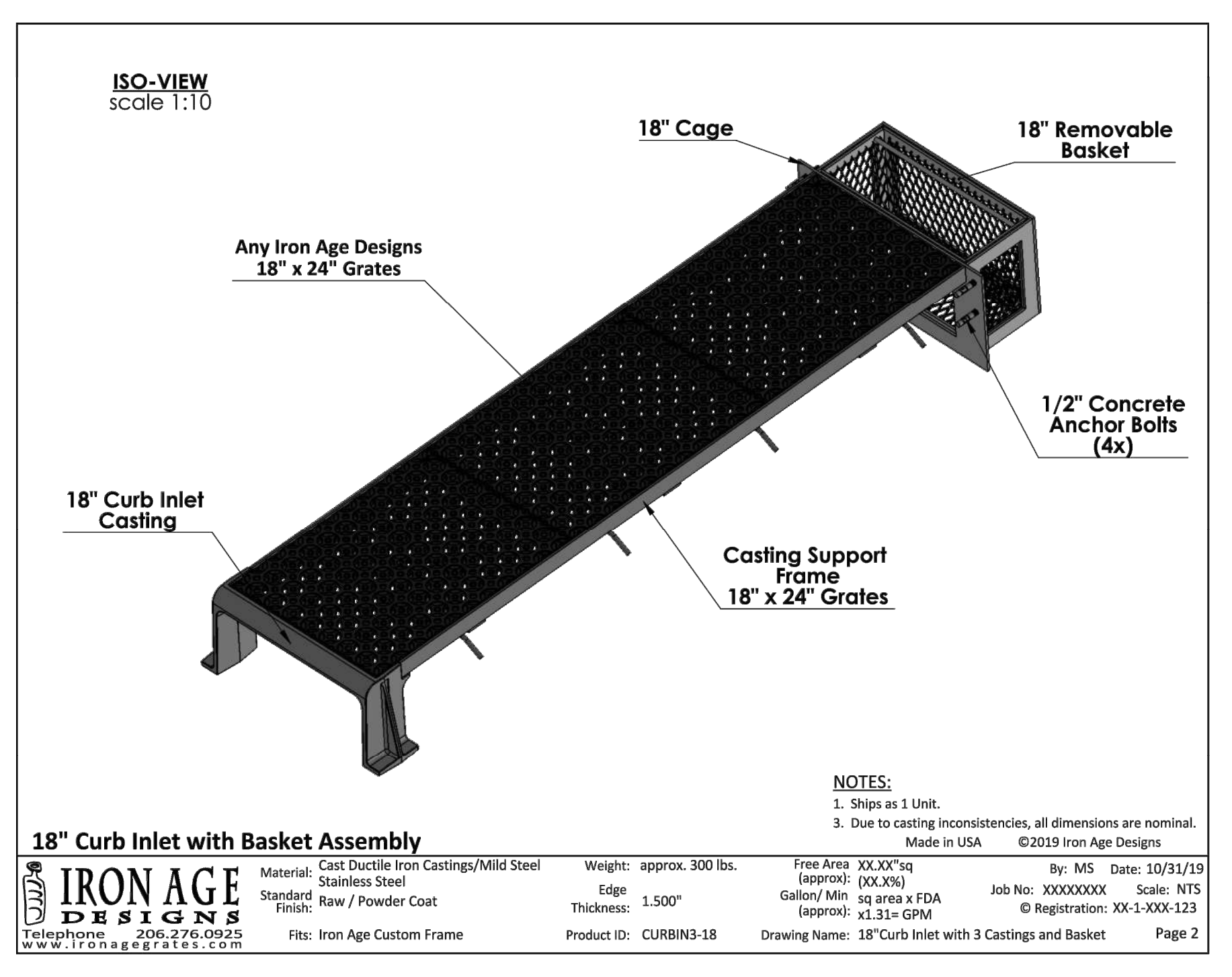
DURATION MINUTES	DURATION SECONDS	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF (A x C)	OUTFLOW DURATION x Qa	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	4646	164	4483
10	600	7.86	4714	7965	327	7638
15	900	6.88	6188	10454	491	9963
20	1200	6.11	7333	12390	654	11736
30	1800	5.00	9000	15206	981	14225
60	3600	3.24	11647	19678	1962	17716
90	5400	2.39	12913	21817	2943	18874
120	7200	1.90	13655	23070	3924	19146
180	10800	1.34	14488	24477	5886	18591

POST-DEVELOPMENT REQUIRED 100 YEAR VOLUME = 19146 CF

RUNOFF VOLUME INCREASE = 6607 CF

BIO-SWALE STORAGE PROVIDED

ELEV.	AREA (FT ²)	DEPTH (FT)	VOLUME (FT ³)	TOTAL VOLUME	FREEBOARD ELEVATION
952	10280	1	9,233	16,644	
951	8185	1	7,231	7,231	DESIGN HIGHWATER ELEVATION
950	6277	0	0	0	



18" Curb Inlet with Basket Assembly
Material: Cast Ductile Iron Castings/Mild Steel
Weight: approx. 300 lbs.
Edge Finish: Raw / Powder Coat
Thickness: 1.500"
Fits: Iron Age Custom Frame
Product ID: CURB18-18
Drawing Name: 18" Curb Inlet with 3 Castings and Basket
Page 2

LEGEND

PROPOSED (PR)

- FF FF
- FG FG
- T/A T/A
- T/C T/C
- T/W T/W
- F/L F/L
- T/P T/P
- B/P B/P
- RM RM
- INV INV
- MH MH
- IN IN
- CB CB
- RY RY
- ES ES
- OV OV
- HY HY
- UP UP
- SN SN
- FM FM
- PS PS
- ST ST
- WM WM
- WL WL
- FO FO
- OH OH
- C C
- E E
- T T
- L L
- SILT SILT
- FENCE FENCE
- WETLAND WETLAND
- LIMITS LIMITS
- GATE GATE
- FLARED FLARED
- HYDRANT HYDRANT
- UTILITY UTILITY
- SANITARY SANITARY
- FORCE FORCE
- PRESSURE PRESSURE
- STORM STORM
- WATER WATER
- FIBER FIBER
- OVERHEAD OVERHEAD
- CABLE CABLE
- ELECTRIC ELECTRIC
- GAS GAS
- TELEPHONE TELEPHONE
- SIGN SIGN
- NOT NOT
- SANITARY SANITARY
- STORM STORM
- WATER WATER
- SOIL SOIL
- CONCRETE CONCRETE
- ASPHALT ASPHALT
- MODIFIED MODIFIED

EXISTING (EX)

- CONTOUR
- SPOT ELEVATION
- FINISHED FINISHED
- TOP OF TOP OF
- FLOW LINE FLOW LINE
- TOP OF TOP OF
- RIM RIM
- INVERT INVERT
- MANHOLE MANHOLE
- INLET INLET
- REAR REAR
- END-SECTION END-SECTION
- HYDRANT HYDRANT
- UTILITY UTILITY
- SANITARY SANITARY
- FORCE FORCE
- PRESSURE PRESSURE
- STORM STORM
- WATER WATER
- FIBER FIBER
- OVERHEAD OVERHEAD
- CABLE CABLE
- ELECTRIC ELECTRIC
- GAS GAS
- TELEPHONE TELEPHONE
- SIGN SIGN
- NOT NOT
- SANITARY SANITARY
- STORM STORM
- WATER WATER
- SOIL SOIL
- CONCRETE CONCRETE
- ASPHALT ASPHALT
- MODIFIED MODIFIED

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILMWOOD, MO 63490
314-922-2136

DRAINAGE PLAN & BIOSWALE CALCULATIONS

NO.	DATE	REVISION	BY	CHKD.
1	02/16/21		ST	
2	01/20/21		PG	

DESIGNED BY: ST
DRAWN BY: PG
CHECKED BY:
SCALE: 1" = 50'
JOB NO: 20-477
DATE: 12-18-20
SHEET NO. 6

GENERAL LANDSCAPE SPECIFICATIONS:

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEOUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN. DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 6-FT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
- LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1-1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
- ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
- EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS, ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAD WITHIN 36-HOURS AFTER CUTTING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.

ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.

SEE MIXTURE SHALL BE AS FOLLOWS:

KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, GLADE, OR PARADE)	30%
RUBY RED OR DAWSON RED FINE FESCUE	30%
ATLANTA RED FESCUE	20%
PENNFINE PERENNIAL RYE	20%

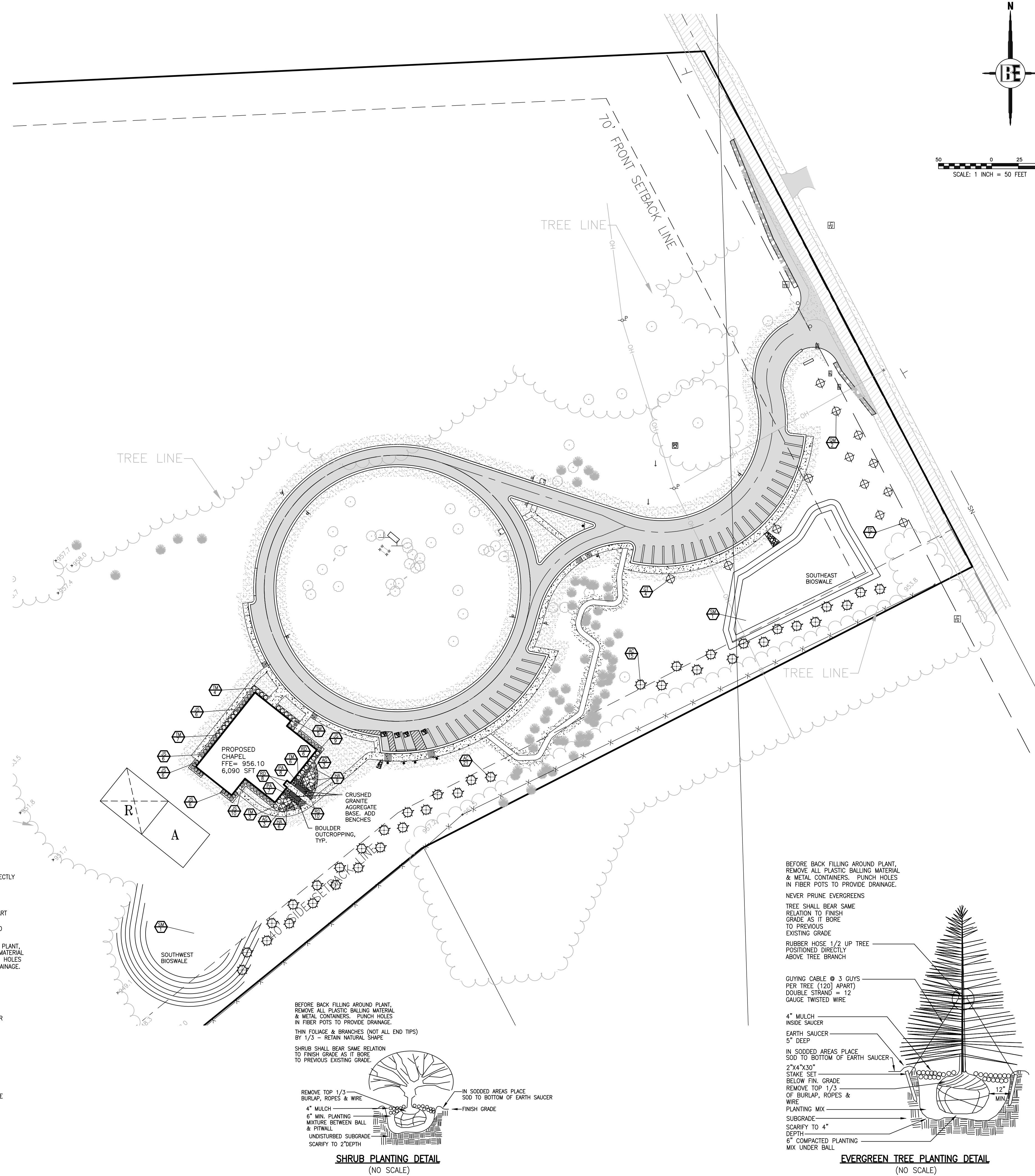
THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:

10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE
 0% PHOSPHATE
 10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE

THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RE-SEEDING AND SUCH RE-SEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRAGILE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.



LEGEND

PROPOSED (PR)	EXISTING (EX)	
900	922.08	CONTOUR
T/C		SPOT ELEVATION
XXX.XX		FINISHED FLOOR ELEVATION
FF		FINISHED GRADE ELEVATION
T/A		TOP OF ASPHALT
T/W		TOP OF CURB / CONCRETE
F/L		TOP OF WALK
T/P		FLOW LINE
B/P		TOP OF PIPE
RM		BOTTOM OF PIPE
INV		RIM ELEVATION
MH		INVERT ELEVATION
IN		MANHOLE STRUCTURE
CB		INLET STRUCTURE
RY		CATCHBASIN STRUCTURE
ES		REAR YARD STRUCTURE
OV		END-SECTION
HY		GATEVALVE STRUCTURE
UP		HYDRANT
SN		UTILITY POLE
SL		SANITARY SEWER
FM		SANITARY LEAD
PS		FORCE MAN
ST		PRESSURE SEWER
WM		STORM SEWER
WL		WATER MAIN
FO		WATER LEAD
OH		FIBER OPTIC
C		OVERHEAD WIRE
G		CABLE
T		ELECTRIC
X		GAS
		TELEPHONE
		FENCE
		SILT FENCE
		WETLAND BOUNDARY
		LIMITS OF GRADING/CLEARING
		MANHOLE
		INLET / CATCHBASIN
		FLARED END-SECTION
		GATE VALVE
		HYDRANT
		UTILITY POLE
		SN
		NOT FIELD VERIFIED
		TO BE REMOVED
		SANITARY SEWER LABEL
		STORM SEWER LABEL
		WATER MAIN LABEL
		SOIL EROSION CONTROL MEASURE
		(P=PERMANENT, T=TEMPORARY)
		CONCRETE
		ASPHALT
		MODIFIED CURB

LANDSCAPE LEGEND

EXISTING DECIDUOUS TREE	PROPOSED DECIDUOUS TREE
EXISTING EVERGREEN TREE	PROPOSED ORNAMENTAL TREE
PROPOSED CONIFER TREE	PROPOSED DECIDUOUS SHRUB
PROPOSED CONIFER SHRUB	PROPOSED ORNAMENTAL GRASS
PROPOSED PERENNIAL FORB	PROPOSED TREE PROTECTION
PROPOSED LANDSCAPE BOULDER	

LANDSCAPE REQUIREMENTS:

GREENBELT REQUIREMENTS ALONG CHILSON ROAD:
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (14) CANOPY TREES ARE REQUIRED ALONG CHILSON ROAD. THE FRONT YARD GREENBELT, AS THERE IS EXISTING VEGETATION IN THIS LOCATION, GAPS DO EXIST. THIS PLAN PROPOSES THE INSTALLATION OF (9) NEW CANOPY TREES TO FILL THE GAPS WHILE MAINTAINING THE EXISTING TREES FOR SCREENING PURPOSES.

PARKING LOT SCREENING:
 PER SECTION 12.02 OF THE LANDSCAPE ORDINANCE, (4) CANOPY TREES AND 380 SF OF LANDSCAPED AREA IS TO BE INTRODUCED FOR THE PARK LOTS. THIS PLAN INCLUDES (4) CANOPY TREES AT THE PERIMETER OF THE EASTERN PARKING LOT, AND (51) SF OF LANDSCAPED AREA AT THE WEST END OF WESTERN PARKING LOT.

BIOSWALE PLANTING PLAN

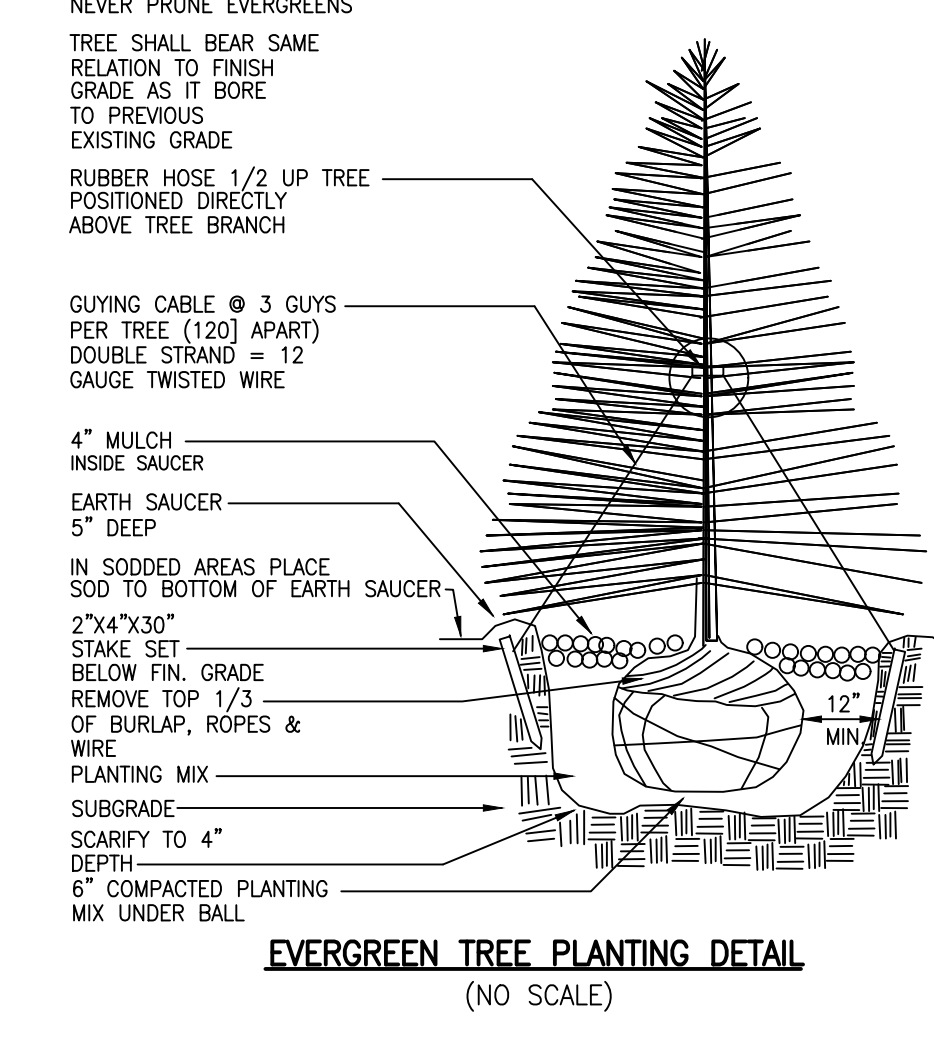
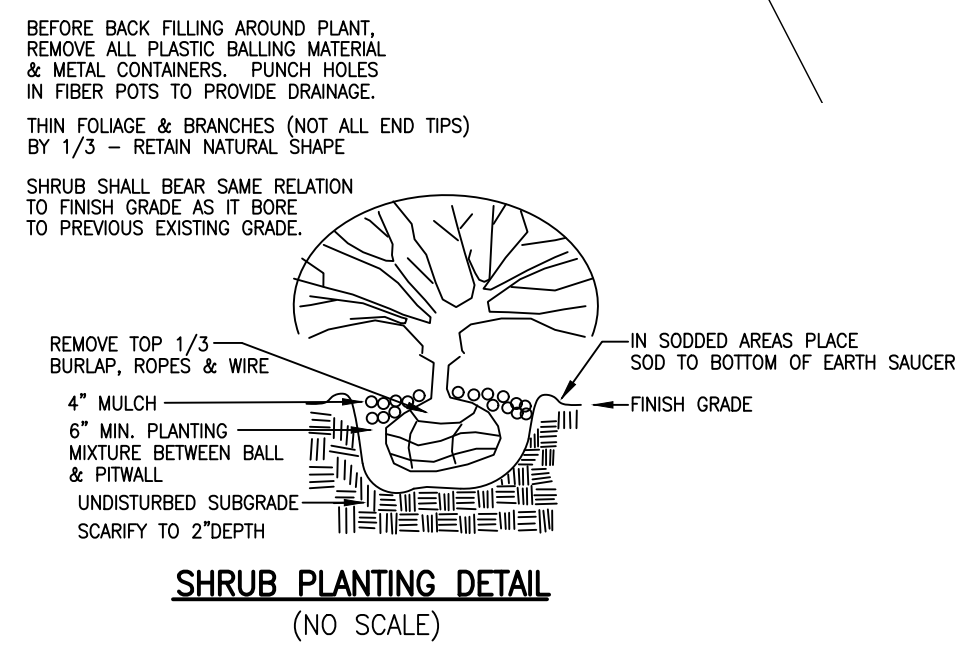
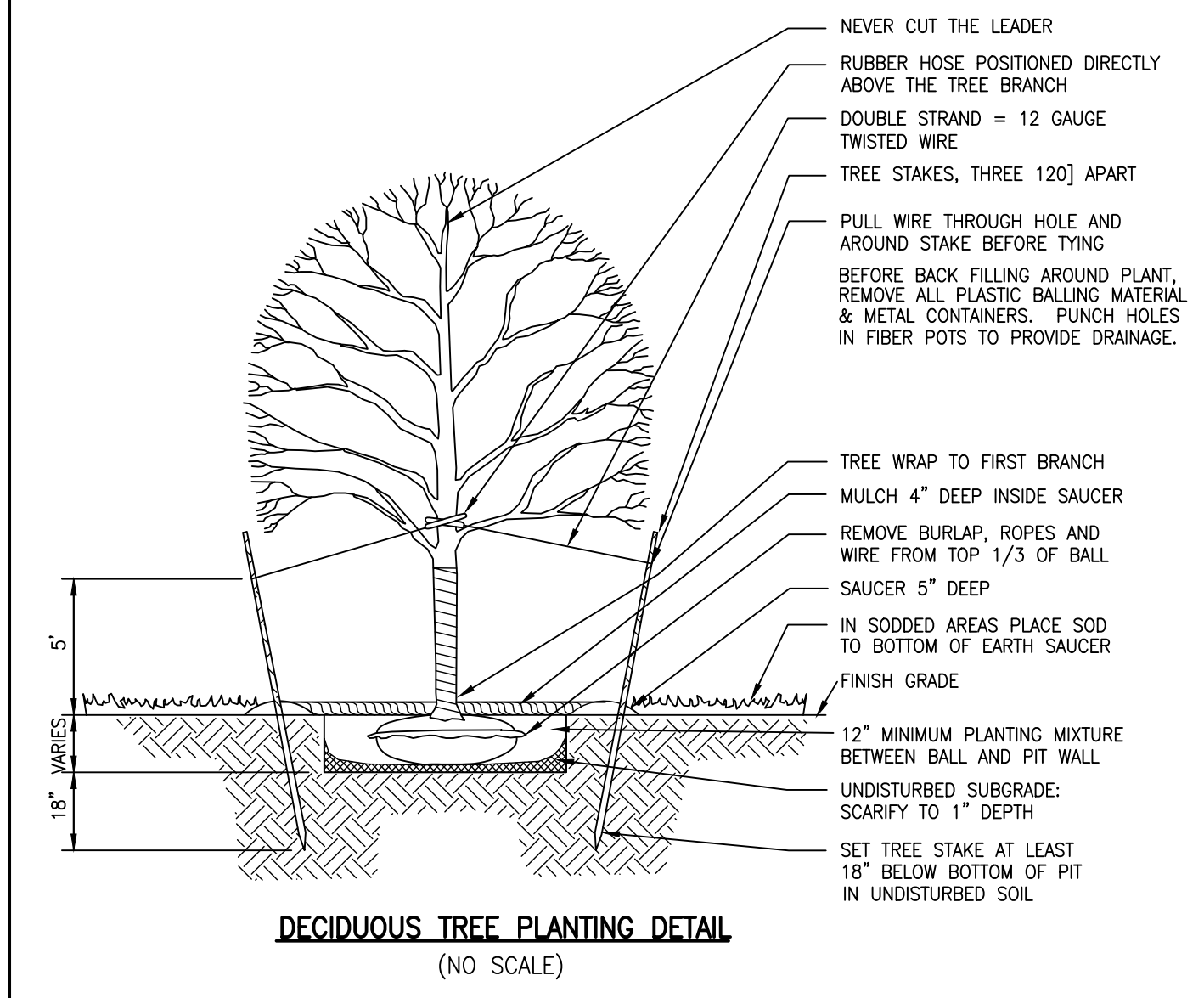
THE BIOSWALE BASIN SHALL BE SEED. CONTRACTOR TO ADHERE TO THE "CARDINO NATIVE PLANT NURSERY INSTALLATION AND MAINTENANCE GUIDELINES" FOR PURPOSES OF INSTALLING AND MAINTAINING THE PLANTING AREA.

RETENTION BASIN SEED MIXES

KEY	QUAN.	MIX NAME	SIZE
SM	14,000 SF COVERAGE	STORMWATER MIX	SEED

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
AC	36	<i>Abies concolor</i>	White Fir	8' HT	B&B
AG	6	<i>Amelanchier x grandiflora</i>	'Autumn Brilliance' Serviceberry 1.5"	col. B&B, MULTI	
GT	4	<i>Gleditsia inaequalis</i>	'Sycamore Honey Locust	2.5" col. B&B	
QM	2	<i>Quercus macrocarpa</i>	Bur Oak	2.5" col. B&B	
TC	7	<i>Tilia cordata</i>	'Glenleven' Littleleaf Linden	2.5" col. B&B	
SHRUBS					
HA	15	<i>Hydrangea arborescens</i>	'Annabelle' Hydrangea	#3 cont.	
JS	43	<i>Juniperus scopulorum</i>	'Strycknet' Juniper	#5 cont.	
RD	24	Rosa 'Double Knockout'	'Double Knockout' Rose	#3 cont.	
TM	25	<i>Taxus x media</i>	'Moon' Upright Yew	16"	B&B
PERENNIALS					
PA	15	<i>Pennisetum alopecuroides</i>	Fountain Grass	#3 cont.	



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THEREFORE, THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CONFLICTS ARE FOUND, BEFORE ANY CONSTRUCTION BEGINS. THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

CATHOLIC HEALTHCARE INTERNATIONAL
 PROJECT
 PREPARED FOR
 CATHOLIC HEALTHCARE INTERNATIONAL
 2464 TAYLOR ROAD, SUITE 317
 WILLOWOOD, MO 63090
 314-922-2136

LANDSCAPE PLAN

DATE	REVISION	BY	PER
02/16/21	1	JH	DESIGNED BY
01/20/21	1	JH	DRAWN BY
			CHECKED BY
			SCALE: 1" = 50'
			JOB NO: 20-477
			DATE: 12-18-20
			SHEET NO. 7

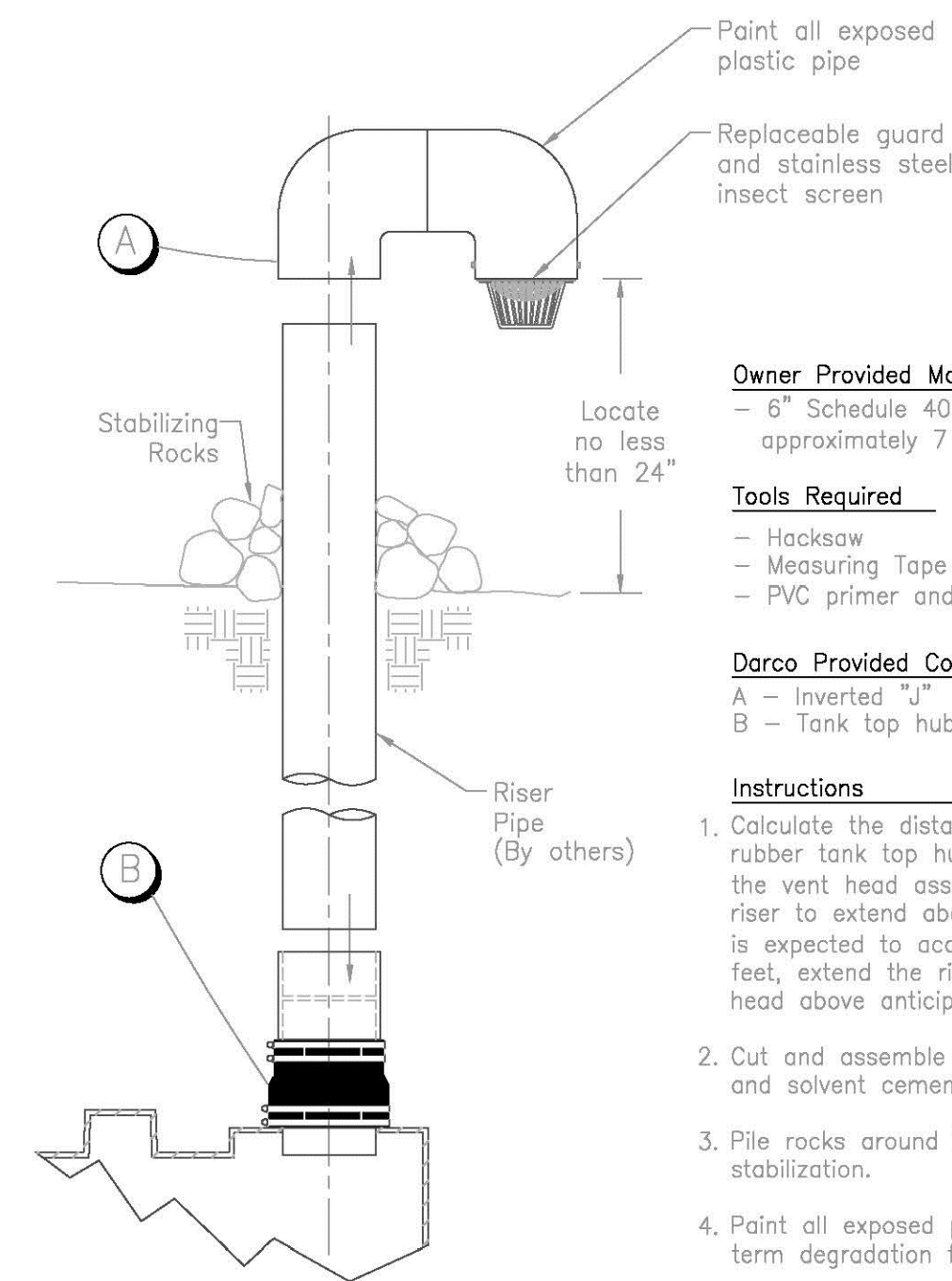
BEBOSS Engineering

Installation Instructions

FreeWater Systems, LLC 303-921-1186 Lakewood CO

Vent Pipe, 6"

Polyethylene Tank



Owner Provided Materials

- 6" Schedule 40 PVC pipe approximately 7 feet long

Tools Required

- Hacksaw
- Measuring Tape
- PVC primer and cement

Darco Provided Components

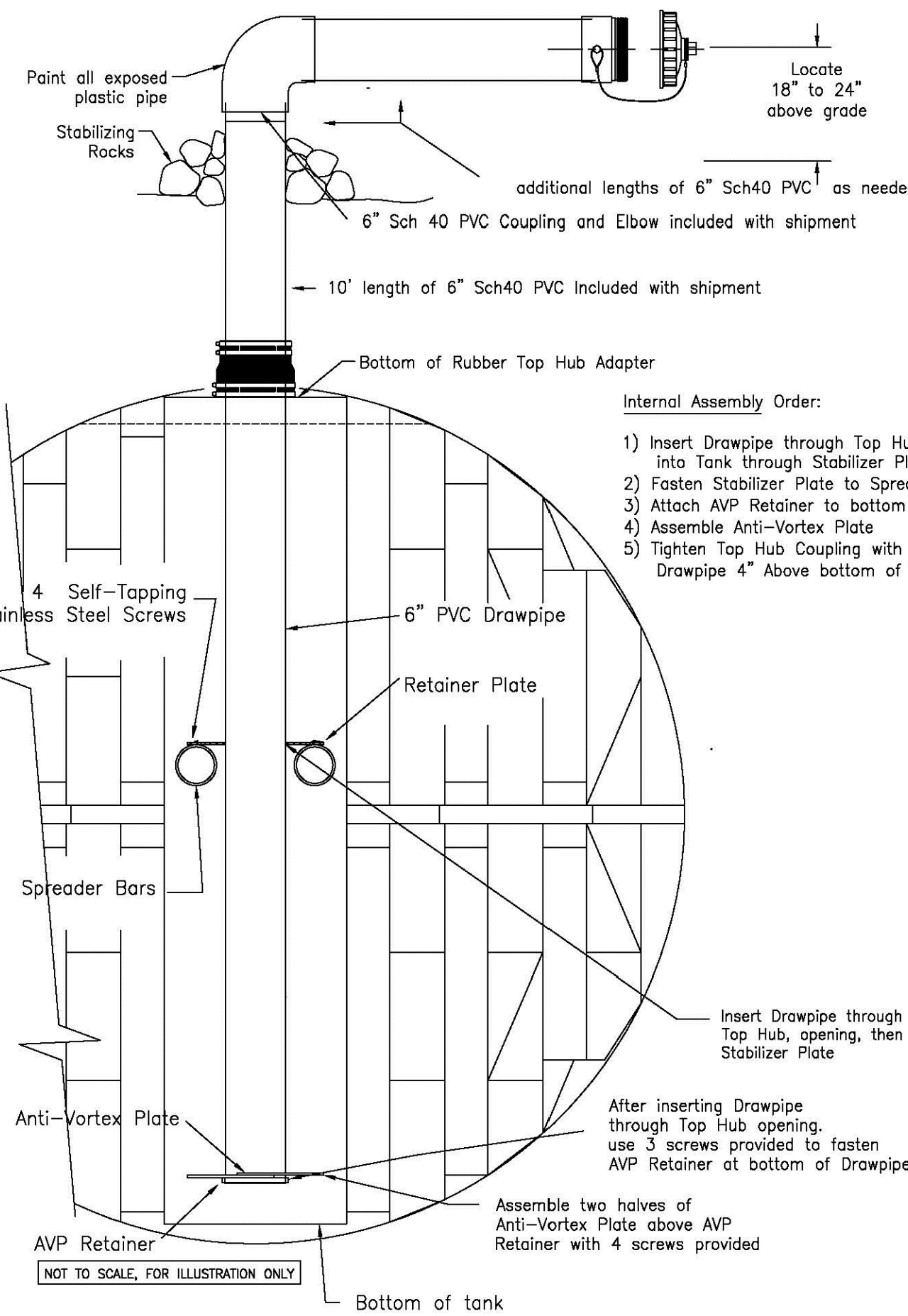
- A - Inverted "J" vent head assembly
- B - Tank top hub adapter

Instructions

- Calculate the distance from the bottom of the rubber tank top hub adapter, to the bottom of the vent head assembly, allowing (2) feet of riser to extend above grade as shown. If snow is expected to accumulate deeper than (2) feet, extend the riser pipe to keep the vent head above anticipated snow levels.
- Cut and assemble the riser using PVC primer and solvent cement.
- Pile rocks around the base of the riser for stabilization.
- Paint all exposed plastic parts to avoid long term degradation from sunlight.

Installation Instructions
Dry Fire Hydrant Draw Pipe

FreeWater Systems, LLC 303-921-1186 Lakewood CO



Internal Assembly Order:

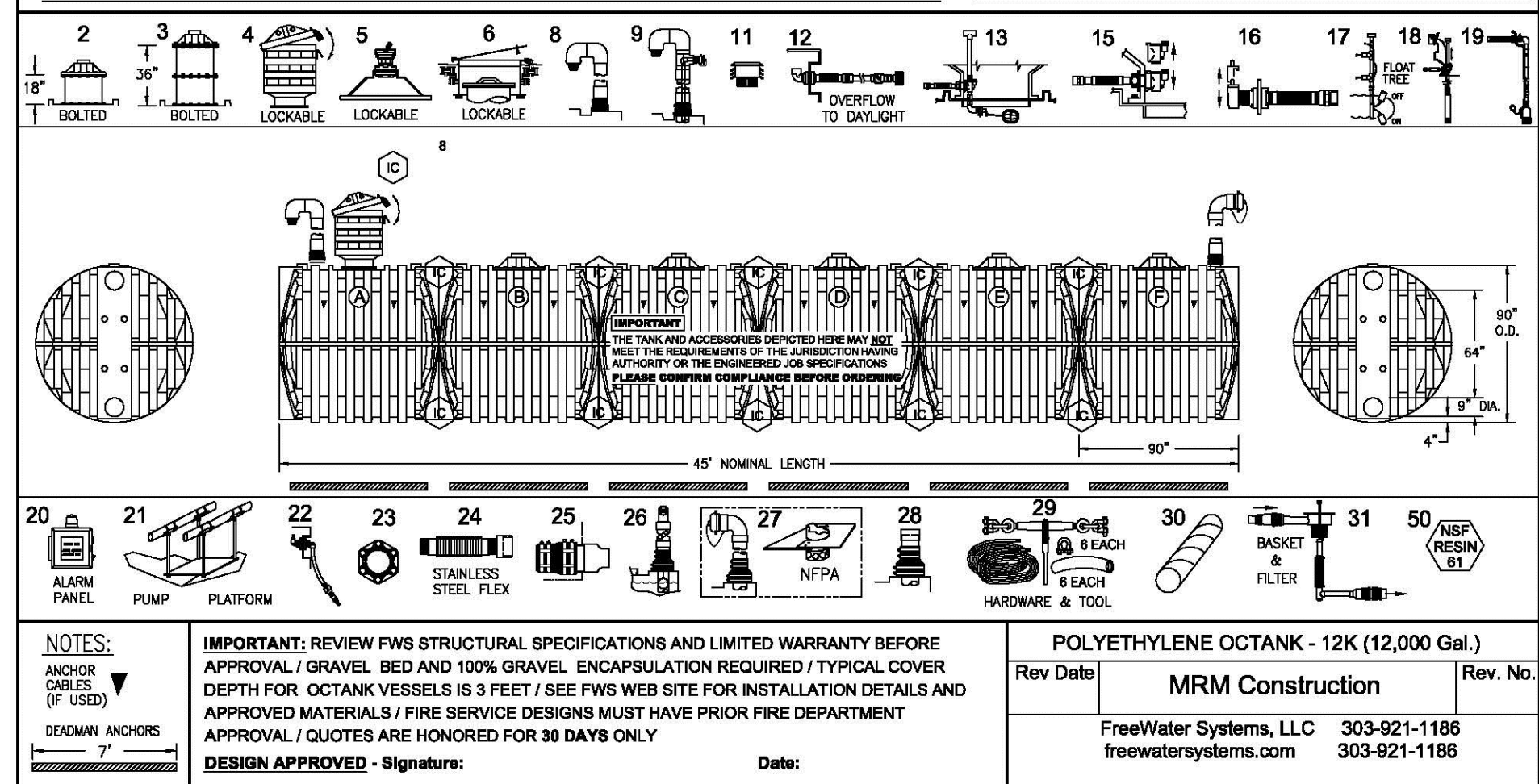
- Insert Drawpipe through Top Hub Adapter and into Tank through Stabilizer Plate
- Fasten Stabilizer Plate to Spreader Bars
- Attach AVP Retainer to bottom of Drawpipe
- Assemble Anti-Vortex Plate
- Tighten Top Hub Coupling with Drawpipe 4" Above bottom of Tank

After inserting Drawpipe through Top Hub opening, use 3 screws provided to fasten AVP Retainer at bottom of Drawpipe

Assemble two halves of Anti-Vortex Plate above AVP Retainer with 4 screws provided

NOT TO SCALE, FOR ILLUSTRATION ONLY

TO Mike O'Leary	FIRM MRM Construction	PROJECT	QUOTE #A0825R	DATE 25 Aug 19
PHONE 910-227-5668	FAX	EMAIL mjo@indhou.com	SITE LOCATION Brighton MI	COUNTY
MODULES: 6	NOM. CAPACITY 12,000	NOM. WEIGHT 800# ea	POTABLE NON-POTABLE X USE Fire Cistern	
INCLUDED IN THIS POLYETHYLENE UNDERGROUND TANK QUOTATION			PREPAID PRICE	
8 - 6" Sch40 PVC Vent Head - Screened	PT - PT WiFi-Enabled Water Level Gauge		TAX	DEPOSIT
2 - Bolted Cover - for direct burial			FREIGHT DETAILS	
10 - 6" Sch40 PVC Interconnect - top and bottom			DELIVERY: WEEKS FROM ORDER ACCEPTANCE	
27 - 6" NST-M Dry Hydrant w/cap			EXCLUDED IN THIS PRICE QUOTATION	
6" PVC Drawpipe with Anti-Vortex Plate			1. INSPECTION, ACCEPTANCE, AND OFFLOAD	
			2. INSTALLATION MATERIALS AND LABOR	
			3. UNSPECIFIED PIPE, VALVES, AND FITTINGS	
			4. PUMPS, CONTROLS, AND LEVEL SENSORS	
			5. WIRE ROPE, CLAMPS, DEADMAN ANCHOR FORMS	
			6.	
BURY DETAILS_36" Typical Cover Depth	WATER SOURCE			
ANTI BUOYANCY TBD	APPROVALS Local Fire Authority			
COMMENTS: Preliminary Design				



NOTES:

ANCHOR PANEL (F USED)
DEADMAN ANCHORS (7)

IMPORTANT: REVIEW FWS STRUCTURAL SPECIFICATIONS AND LIMITED WARRANTY BEFORE APPROVAL. GRAVEL BED AND 100% GRAVEL ENCASULATION REQUIRED / TYPICAL COVER DEPTH FOR OCTANK VESSELS IS 3 FEET / SEE FWS WEB SITE FOR INSTALLATION DETAILS AND APPROVED MATERIALS / FIRE SERVICE DESIGNS MUST HAVE PRIOR FIRE DEPARTMENT APPROVAL / QUOTES ARE HONORED FOR 30 DAYS ONLY

DESIGN APPROVED - Signature: _____ **Date:** _____

POLYETHYLENE OCTANK - 12K (12,000 Gal.)		
Rev Date	MRM Construction	Rev. No.
FreeWater Systems, LLC 303-921-1186 freewatersystems.com 303-921-1186		

OcTank Installation Brief

For Questions or technical Assistance call: freewater systems, LLC 303-921-1186
or go to freewatersystems.com

This is basic unloading and installation information to help with the planning of your underground water storage project. A complete installation manual, tailored to your exact project, will accompany your project when it is shipped.

Delivery:

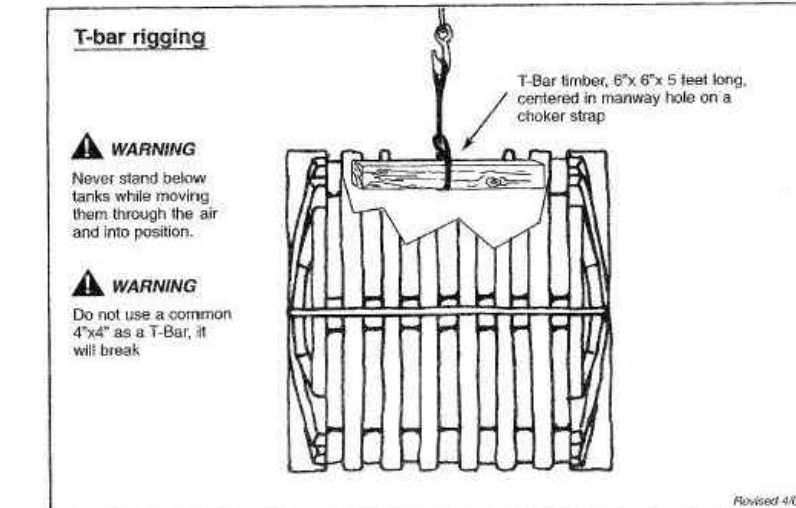
Deliveries to remote areas or in areas with little room for trucks to maneuver may be problematic. Check with your salesperson prior to ordering shipment.

Responsible party must inspect entire shipment before or during offload.

Modules to be stored for any length of time prior to installation must be blocked to prevent wind from moving them.

Placing OcTank Modules into the excavation:

Rig through manway opening with a 6 X 6 as illustrated below:



Standard Stable Site Soil Requirements:

Soil Bearing capacity must be 2500 pounds/square foot minimum

Soil cohesion or backslope angle must be adequate to hold sidewall during installation

Follow OSHA 1926.650/P guidelines for trenching and excavation

If site is subject to seasonal or unpredictable groundwater, it must be anchored or sub-drained.

Bedding and backfill material requirements:

Backfill medium must totally surround and cover every module completely.

Use only clean, dry washed and graded material - pea gravel, screened rock chips, coarse washed sand or similar material. Do not use structural fill, road base or crusher fines as backfill material.

No individual particle may exceed one half inch in size.

Material must be free of trash, ice, snow and fines.

Hole Size Recommendation:

Allow 18" minimum between rows of modules and between modules and excavation walls.

Bedding beneath modules must be a minimum of 6" of approved backfill

Backfill Procedure:

After assembly of modules, backfill in 12" lifts and probe between the ribs to eliminate any air spaces. Two lifts of 12" each will bring the backfill up to the 4 o'clock to 8 o'clock level. Subsequent backfill usually does not need to be probed since it will self-compact.

Water ballast may be used during backfill process, with water level not to exceed 12".

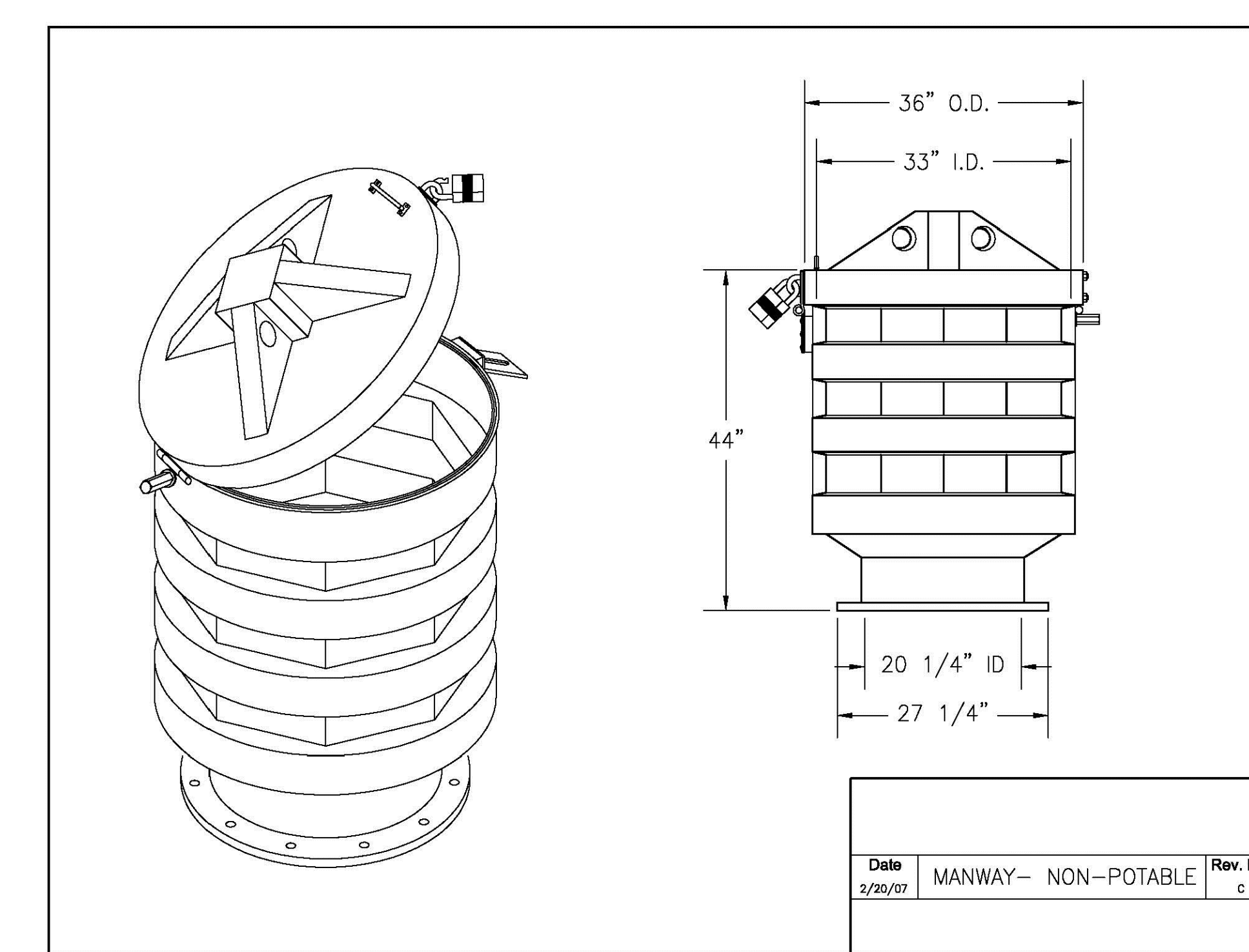
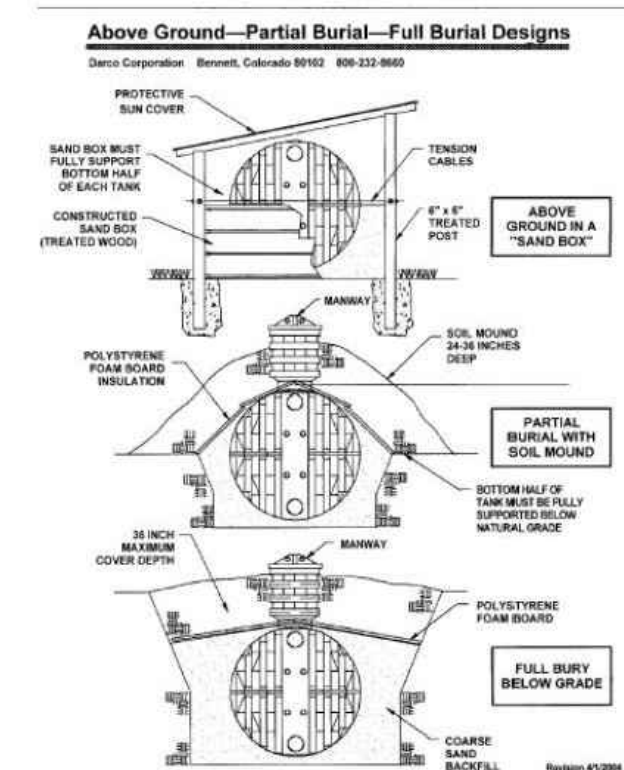
Use geotextile barrier to separate backfill material from additional soil cover.

Bury Depth Options:

Full Bury with typical cover depth of 36" - may be insulated with foam board to provide additional frost protection.

Partial bury to springline (mid-point) or deeper for proper support. Mound soil cover to provide frost protection.

Above-ground installation - in constructed "sandbox" for support



Date	2/20/07	MANWAY - NON-POTABLE	Rev. No.	c
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CATHOLIC HEALTHCARE INTERNATIONAL

CATHOLIC HEALTHCARE INTERNATIONAL
2464 TAYLOR ROAD, SUITE 317
WILLOWOOD, MO 63090
314-922-2136

PROJECT
PREPARED FOR

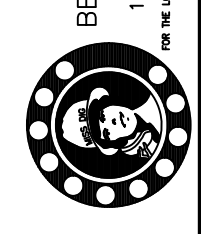
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PER TWP REVIEW	01/20/21
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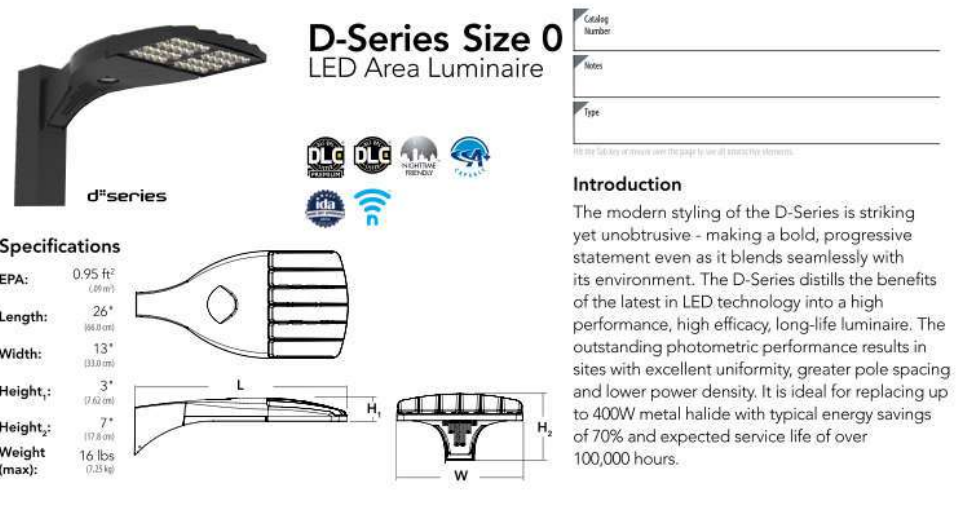
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DRAWN BY:
CHECKED BY:
SCALE:
JOB NO: 20-477
DATE: 12-18-20
SHEET NO. 8



BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE PLANS ARE SUBMITTED FOR PERMITTING AGENCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE PLANS ARE SUBMITTED FOR PERMITTING AGENCIES.





Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
[Symbol A]	A	11	Lithonia Lighting	DSX0 LED P5 30K T4M MVOLT	DSX0 LED P5 30K T4M MVOLT	LED	1	10613	0.9	89	20'-0"
[Symbol B]	B	9	BEGA	77 164 + K3	77 164 + K3	LED	1	3371	0.9	36	12'-0"
[Symbol C]	C	9	BEGA	33 505 + K3	33 505 + K3	LED	1	290	0.9	7.8	8'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
ENTRANCE	✗	1.0 fc	2.7 fc	0.1 fc	27.0:1	10.0:1	0.4:1
OVERALL	+	0.1 fc	3.4 fc	0.0 fc	N/A	N/A	0.0:1
PARKING	✗	1.6 fc	3.0 fc	0.7 fc	4.3:1	2.3:1	0.5:1
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
ROUNDBOUT	✗	1.4 fc	3.2 fc	0.3 fc	10.7:1	4.7:1	0.4:1
ROUNDBOUT PARKING	✗	1.6 fc	2.9 fc	1.0 fc	2.9:1	1.6:1	0.6:1

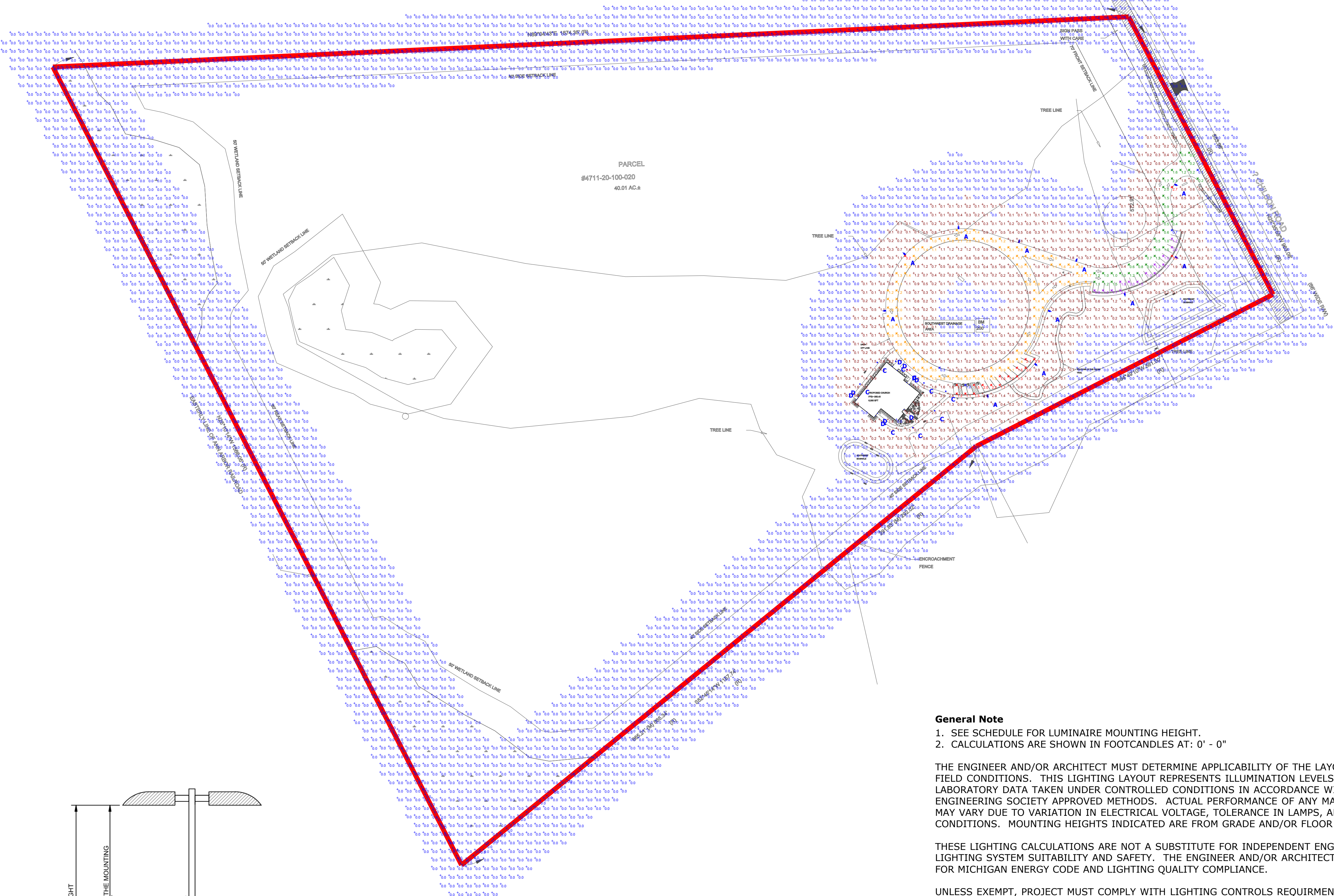
Ordering Information

EXAMPLE: DSX0 LED P5 40K T3M MVOLT SPA IRLAIR2 PIRHN DDBXD

Code	Label	Value	Label	Value	Label	Value
DSX0	Luminaire	DSX0	Temp	40K	Mounting	IRL
P5	Temp	40K	Mounting	IRL	IRL	IRL
T3M	Mounting	IRL	IRL	IRL	IRL	IRL

Options

Code	Description	Code	Description
IRL	IRL - Ingress Protection (IP65)	IRL	IRL - Ingress Protection (IP65)
IRL	IRL - Ingress Protection (IP65)	IRL	IRL - Ingress Protection (IP65)



Pole top luminaires with symmetric light distribution

Housing/Finish: Two-piece die-cast aluminum construction. The luminaire is finished with a powder coat finish. The luminaire is finished with a powder coat finish. The luminaire is finished with a powder coat finish.

Options: Clear acrylic diffuser and reflector made of anodized aluminum. The luminaire is finished with a powder coat finish. The luminaire is finished with a powder coat finish.

Electrical: 120V LED luminaire, 30 total system watts, -30°C start temperature. Image 120 through 177V microV LED driver. 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 4000K with a 140 CRI. Available in 3000K, 4000K, 5000K, and 6000K.

Notes: LED luminaire with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change in the absence of BEGA-LED. For the most current technical data, please refer to www.bega.com.

Finish: All BEGA standard finishes are powder coated with minimum 0.001 inch thickness. Available in standard BEGA colors: Black (BLK), White (WHI), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to luminaire number. Custom colors available on special order.

CSA: Compliant with U.S. and Canadian standards, suitable for wet locations. Minimum clearance class IP65.

Weight: 11.0 lbs.

EPA (Effective projection area): 1.1 sq. ft.

Luminaire Lumens: 1270

Type: BEGA Product: Project: Options: Modified:



Application: This LED luminaire luminaire has light output on two sides. This luminaire is designed for use in wet locations. This luminaire is designed for use in wet locations. This luminaire is designed for use in wet locations.

Materials: Luminaire housing constructed of die-cast marine grade, copper free 60/30 copper content (A9001) aluminum alloy. Crystal glass, frosted white. High temperature silicone gasket. Mechanically fastened stainless steel ballast.

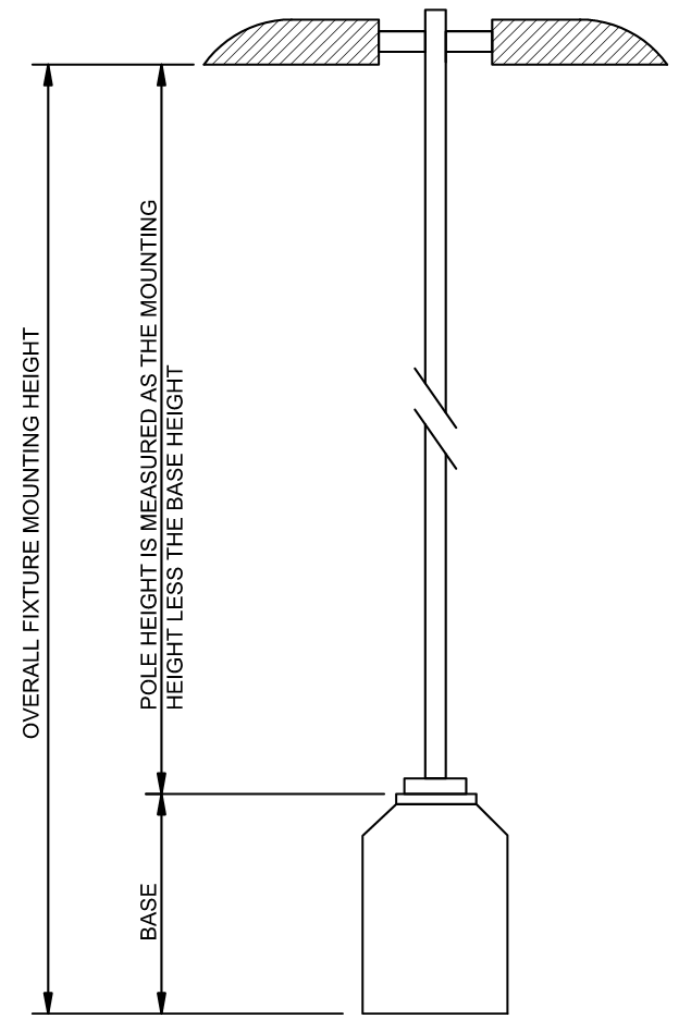
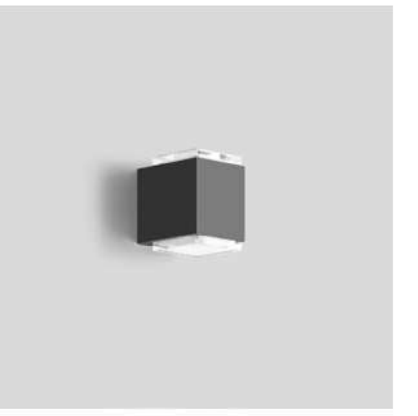
NETL: Meets North American Standards, suitable for wet locations. Photometric class IP64. Weight: 1.4 lbs.

Electrical: Operating voltage: 120-277VAC. Starting temperature: -30°C. LED module voltage: 6.0V. System voltage: 6.0V. Color rendering index: 90. Luminaire lumens: 1270 lumens (2000K). Lifetime at 100%: 100,000 hours. Lifetime at 50%: 250,000 hours.

LED color temperature: 2000K - Product number + 04. 3000K - Product number + 03. 4000K - Product number + 02. 5000K - Product number + 01. 6000K - Product number + 00.

BEGA: Our luminaire is available in LED luminaire modules for up to 20 years after the purchase of LED luminaires - see website for details.

Finish: All BEGA standard finishes are powder coated with minimum 0.001 inch thickness. Available in standard BEGA colors: Black (BLK), White (WHI), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to luminaire number. Custom colors available on special order.



Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

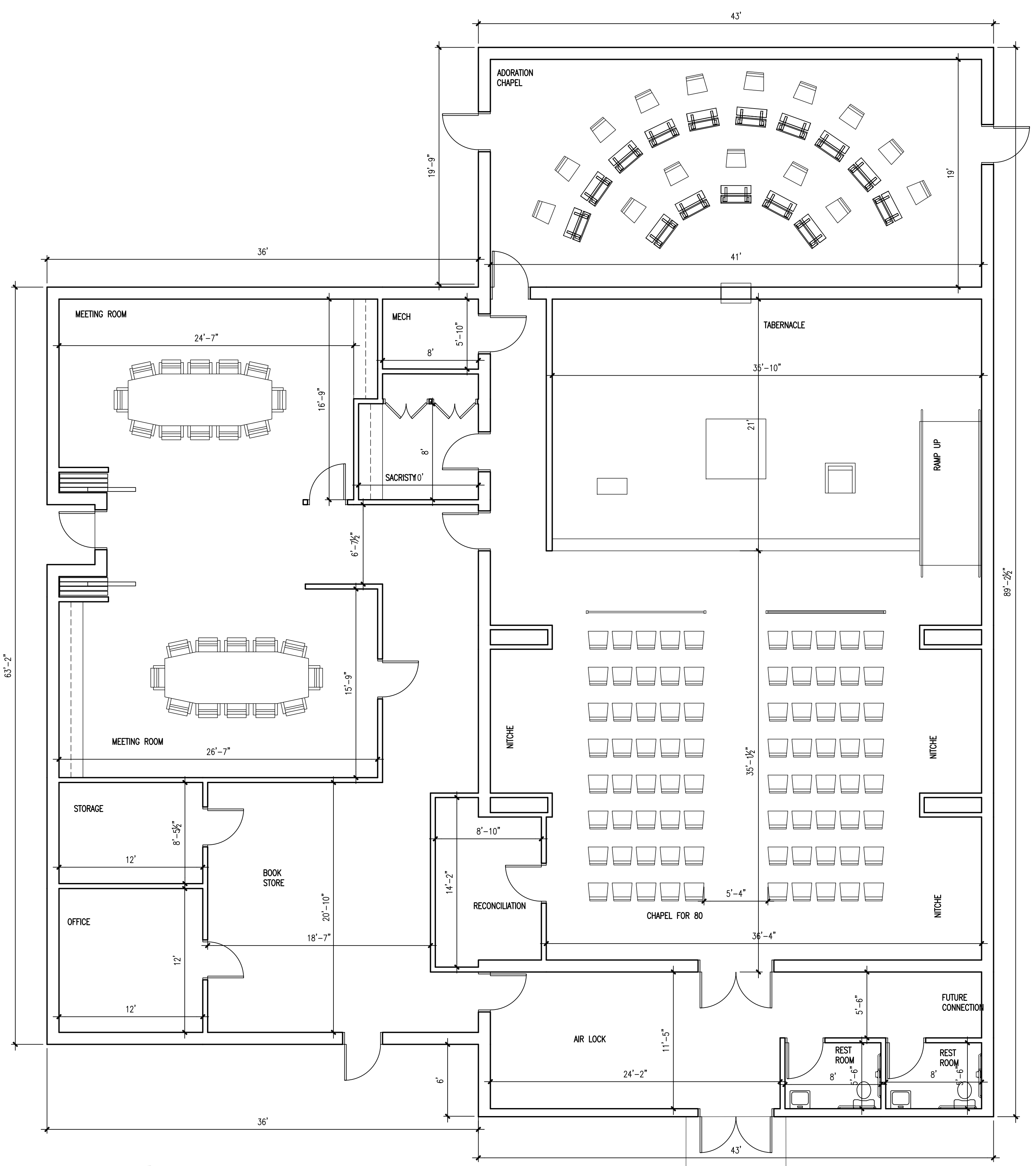
Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

R Q P N M L K J H G F E D C B A




FLOOR PLAN
 3/16"=1'-0"

**PAX
 ET
 BONUM**

REVISIONS	
11	
10	
9	

CHAPEL/ OFFICE PLAN

SWANSON DESIGN STUDIOS

329 E. CESAR E. CHAVEZ AVE.
 LANSING, MICHIGAN 48906
 WWW.SWANSONDESIGN.COM
 PH. (517) 482-9039
 FAX (517) 482-9290

PADRE PIO
 3280 CHILSON ROAD
 HOWELL, MICHIGAN

DATE:
 12/16/2020
 JOB NUMBER:
 2020.010
 SHEET NUMBER:

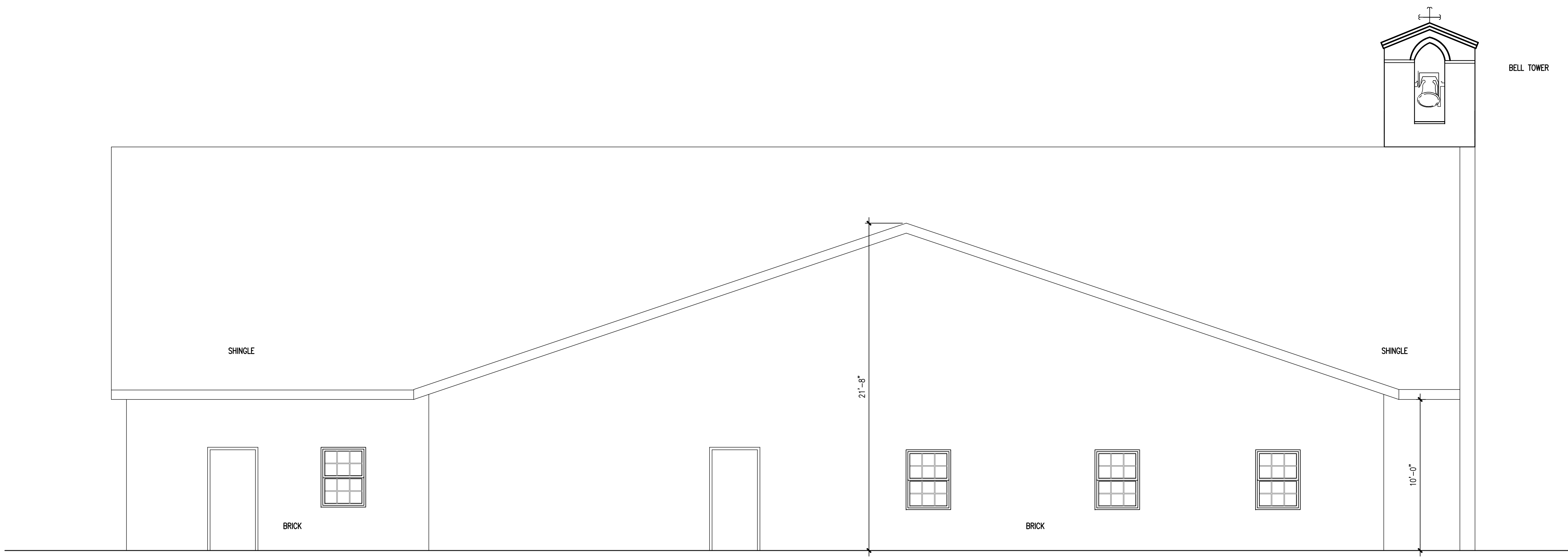
R Q P N M L K J H G F E D C B A

R Q P N M L K J H G F E D C B A

REVISIONS	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	



FRONT ELEVATION
1/4"=1'-0"



SIDE ELEVATION
1/4"=1'-0"

R Q P N M L K J H G F E D C B A

SWANSON DESIGN STUDIOS
 CHAPEL EXTERIOR ELEVATIONS
 329 E. CESAR E. CHAVEZ AVE. ARCHITECTURE
 LANSING, MICHIGAN 48906 DESIGN
 WWW.SWANSONDESIGN.COM INTERIOR
 PH. (517) 482-9039 ARCHITECTURE
 FAX (517) 482-9290

DATE:
1/18/2021
 JOB NUMBER:
2020.010
 SHEET NUMBER:

R Q P N M L K J H G F E D C B A

- STRUCTURAL NOTES:
GENERAL:
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS INDICATED. IN THE EVENT OF A CONFLICT IN DIMENSIONS, NOTIFY ARCHITECT BEFORE PROCEEDING.
 - CROSS CHECK ALL DIMENSIONS AND ELEVATIONS INDICATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS AT EXISTING CONSTRUCTION. REPORT DISCREPANCIES TO ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.
 - CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
 - BUILDING CODE - MICHIGAN BUILDING CODE 2015.
 - DESIGN LIVE LOADS:

SNOW: GROUND SNOW, PG = 30PSF
IMPORTANCE FACTOR = 1 = 1.0
THERMAL FACTOR CT = 1.1
EXPOSURE FACTOR, CE = 1.0
FLAT ROOF SNOW, PF = 23.1 PSF

WIND-BASIC WIND SPEED, V = 105 MPH
IMPORTANCE FACTOR, I = 1.0
EXPOSURE CATEGORY...B
INTERNAL PRESSURE COEFFICIENT ... +/- 0.18

SEISMIC: SEISMIC IMPORTANCE FACTOR, I = 1.0
OCCUPANCY CATEGORY ... II
MAPPED SPECTRAL RESPONSE ACCELERATIONS = S_s = .102
S₁ = .043
SITE CLASS...D
SPECTRAL RESPONSE COEFFICIENTS, SDS = 0.109
SD1 = 0.068
SEISMIC DESIGN CATEGORY: A

- DEFERRED SUBMITTALS: PORTIONS OF THE DESIGN HAVE BEEN DEFERRED AND WILL BE DESIGNED BY PRODUCT MANUFACTURERS. DEFERRED SUBMITTALS INCLUDE:

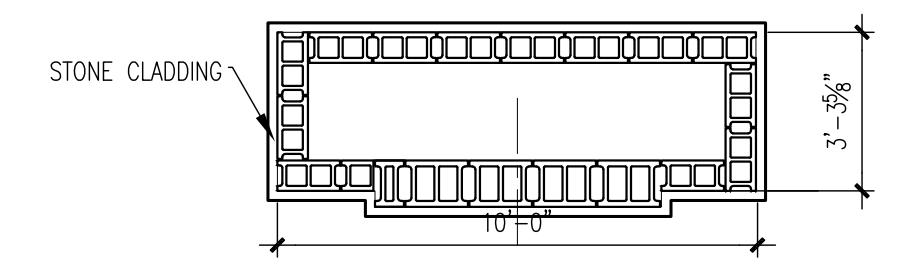
- FOUNDATIONS:
- FOUNDATIONS SHALL BEAR ON SOILS HAVING A MINIMUM ALLOWABLE BEARING PRESSURE OF 1500 PSF FOR SPREAD FOOTINGS AND 1500 PSF FOR WALL FOOTINGS.
 - FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT ELEVATIONS SHOWN ON THE DRAWINGS. IF OVER-EXCAVATION IS REQUIRED, COMPACTED FILL SHALL BE PLACED PER SPECIFICATIONS UP TO BEARING ELEVATION. TESTING OF SOILS SHALL BE ACCORDING TO SPECIFICATIONS PRIOR TO PLACEMENT OF FOOTINGS.
 - COORDINATE ELECTRICAL SERVICE GROUNDING REQUIREMENTS TO FOUNDATION REINFORCING WITH ELECTRICIAN.

- CONCRETE:
- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) DOCUMENTS REFERENCED IN SPECIFICATIONS.

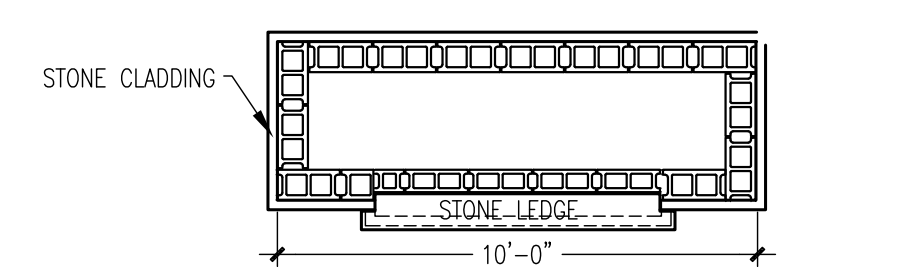
LOCATION	F'C PSI 28_DAYS	AIR CONTENT NO TEST	MAX. SLUMP 4" MAX.
WALL FOOTINGS, GRADE BEAMS FOUNDATION WALLS	3000		
RETAINING WALLS	4000	6% + 1%	4" MAX.
SPREAD FOOTINGS	3000	NO TEST	4" MAX.
BASEMENT WALLS	4000	NO TEST	4" MAX.
SIDEWALKS, DRIVES, AND ALL CONCRETE EXPOSED TO WEATHER	4000	6% + 1%	4" MAX.
INTERIOR SLABS-ON-GRADE	3500	NO TEST	4" MAX.
SUPPORTED SLABS	4000	NO TEST	4" MAX.
REINFORCING STEEL	FY, PSI ASTM		
COLUMN TIES, STIRRUPS	60,000 A-615		
ALL OTHER BARS	60,000 A-615		
WELDED WIRE FABRIC	65,000 A-185		

- ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND.
- ALL CONCRETE SLABS-ON-GRADE SHALL BE REINFORCED WITH 6" X 6" W1.4 X W1.4 WELDED WIRE FABRIC OR CONTRACTOR MAY SUPPLY FIBER REINFORCED CONCRETE IN AREAS SCHEDULED TO RECEIVE FLOOR COVERINGS AT DOSAGE RATES ACCORDING TO SPECIFICATIONS. IF FIBER REINFORCING IS USED, CONTROL JOINT SPACING SHALL NOT EXCEED 12'-0" IN ANY DIRECTION.

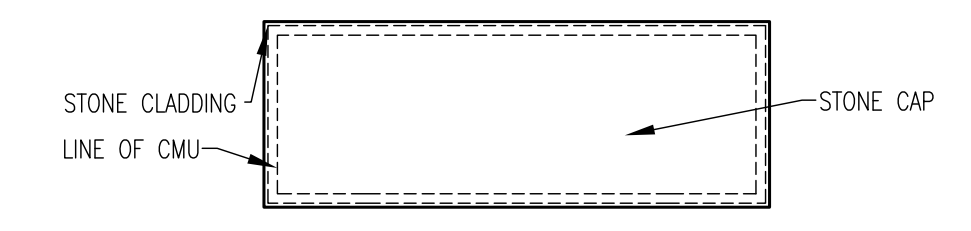
- MASONRY
- MATERIAL PROPERTIES: MASONRY COMPRESSIVE STRENGTH f_m = 2,000 PSI (PER UNIT STRENGTH METHOD)
CONCRETE MASONRY UNITS: ASTM C90, 2,000 PSI COMPRESSIVE STRENGTH, NORMAL WEIGHT, TYPE I MOISTURE CONTROLLED UNITS.
MORTAR: (TYPE S) ASTM C270
GROUT: 2,000 PSI @ 28 DAYS ASTM C476
 - ALL CONCRETE MASONRY UNIT WALL SHALL BE REINFORCED WITH HORIZONTAL JOINTS REINFORCEMENT EVERY SECOND COURSE FOR RUNNING BOND WALLS AND EVERY COURSE FOR STACK BOND WALLS.
 - PROVIDE THE FOLLOWING TENSION LAP SPLICES FOR ALL BARS UNLESS OTHERWISE NOTED: #3=12", #4=16", #5=24", #6= 42", #7= 60"



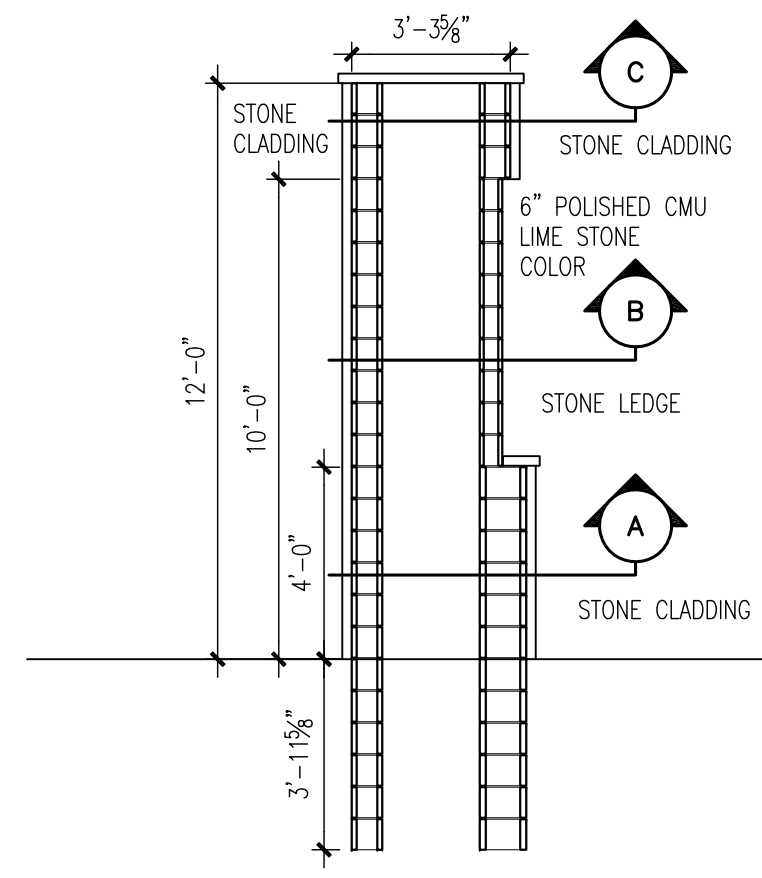
A FLOOR PLAN
1/4"=1'-0"



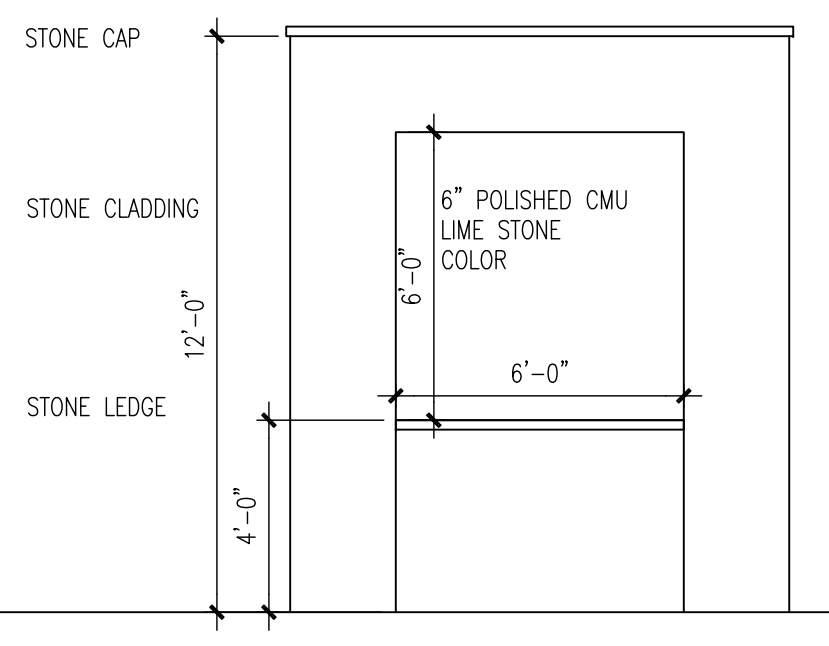
B FLOOR PLAN
1/4"=1'-0"



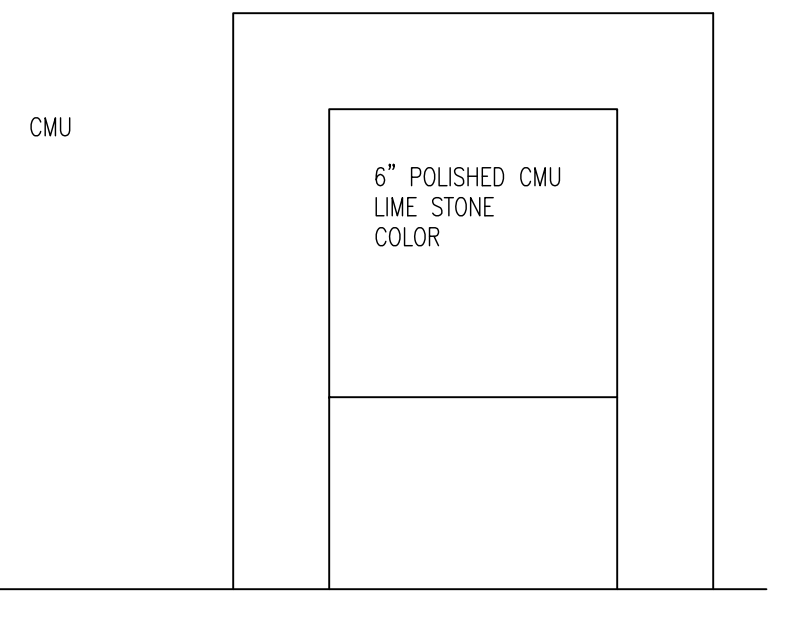
C FLOOR PLAN
1/4"=1'-0"



H1 SECTION
1/4"=1'-0"



D1 FRONT ELEVATION
1/4"=1'-0" WITH STONE



B1 FRONT ELEVATION
1/4"=1'-0" CMU STRUCTURE

REVISIONS

NO.	DESCRIPTION

PLAN, ELEVATION, DETAILS
STRUCTURAL NOTES

PADRE PIO
3280 CHILSON ROAD
HOWELL, MICHIGAN

SWANSON DESIGN STUDIOS
ARCHITECTURE
DESIGN
INTERIOR
ARCHITECTURE

328 E. CESAR E. CHAVEZ AVE.
LANSING, MICHIGAN 48906
WWW.SWANSONDESIGN.COM
PH: (517) 482-9039
FAX: (517) 482-9290

DATE:
7/28/2020
JOB NUMBER:
2020.010
SHEET NUMBER:
A1

R Q P N M L K J H G F E D C B A



BACKGROUND INFORMATION

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

October 9, 2020

Roman Catholic Bishop Carl Mengelin
Diocese of Lansing
300 W. Ottawa
Lansing, MI 48933

RE: 3280 Chilson Road Howell, MI 48843

Dear: Property Owner

It has come to Genoa Township's attention that a Grotto has been built without planning commission or Township approval. Please see attached picture for reference. As you can see by the email correspondence with Jere Palazzolo, President of Catholic Healthcare international, he was informed that nothing could be built on the property until proper approvals were submitted.

We are interested in further discussing these issues with you and working with you to bring the property into compliance with the Zoning Ordinance. With this in mind, please contact the Township by October 19, 2020 to discuss a strategy to bring the property into compliance. Also, please have all structures removed from the property by November 6, 2020.

Please feel free to call or email with any questions or concerns.

Sincerely,
Sharon Stone
Zoning Compliance Officer
Genoa Township

cc- Jere Palazzolo
cc- Joe Seward

SUPERVISOR
Bill Rogers
CLERK
Paulette A. Skolarus
TREASURER
Robin L. Hunt
TRUSTEES
Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe
MANAGER
Michael C. Archinal



Kelly VanMarter

From: Kelly VanMarter
Sent: Tuesday, August 18, 2020 3:03 PM
To: 'JPalazzolo@CHI-USA.COM'; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: RE: Genoa Township
Attachments: CE zoning memo.pdf

Jere,

Please see attached review from our Planning Consultant.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: JPalazzolo@CHI-USA.COM [mailto:JPalazzolo@CHI-USA.COM]
Sent: Monday, August 10, 2020 7:42 PM
To: Kelly VanMarter; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: RE: Genoa Township

Thanks Kelly! We would be so very grateful if we could have our small art feature up for our small September 23rd Feast Day Mass on the property by Bishop Boyea. I am in town until Thursday morning in case it would be helpful to meet again. Thanks so much for all of your support and efforts on our behalf. God bless! – Jere

Jere Palazzolo
President
Catholic Healthcare International
2464 Taylor Road
Suite 317
Wildwood, MO 63040
Office Phone: (636) 220-6550
Fax: (636) 333-6215
E-mail: jpalazzolo@chi-usa.com

"Pray, hope & don't worry!" - St. (Padre) Pio of Pietrelcina



From: Kelly VanMarter [mailto:Kelly@genoa.org]
Sent: Friday, August 7, 2020 2:44 PM
To: JPalazzolo@CHI-USA.COM; Amy Ruthig <amy@genoa.org>
Cc: Ann O'Reilly (annoreilly11@yahoo.com) <annoreilly11@yahoo.com>
Subject: RE: Genoa Township

Jere,

I've sent this on to our planning consultant for a more throughout analysis and response. I will let you know what he says.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: JPalazzolo@CHI-USA.COM [mailto:JPalazzolo@CHI-USA.COM]
Sent: Monday, August 3, 2020 5:57 PM
To: Kelly VanMarter; Amy Ruthig
Cc: Ann O'Reilly (annoreilly11@yahoo.com)
Subject: FW: Genoa Township

Hi Kelly & Amy,

It was great to meet you on Wednesday, and I appreciate your taking the time to discuss our future plans for the property on 3280 Chilson Road. I have arrived back in St. Louis, and have had the chance to reflect on our conversation and review the additional material you sent via e-mail following our meeting.

As you probably noticed, I was very surprised at the complexity of the application/review/approval process you said we must undertake at this time ...Special Land Use Application, Site Plan Review Application, \$2,875 application fee, Site Plans, Environmental Impact Assessment, etc...given the simplicity of our current plans. This was a huge surprise to us based on the input of everyone with whom we had spoken. Then I read the actual language you reference: *"The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use."* Based on this you concluded that *"The grotto/prayer area would be considered a "similar place of worship" and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance."*

It is very clear that the language regarding "similar places of worship" refers directly back to Churches and temples when it says "...Churches, temples and similar places of worship." Churches, temples and places of worship are obviously buildings. We ultimately will indeed build a small Church with paved parking, roads, entrance, etc., and clearly we expect to have to pursue the entire process required by the ordinance. We will actually commence that process sooner than later because we will be kicking off our campaign to raise the funds for the chapel, and would hope to get started on that as soon as we are able.

However, we are by no means talking about a "place of worship" at this time. We merely want to clear some areas for people to walk in an open field area and meditate on a few pictures, a statue, and a small stone wall with a picture in it. There is no way that can be considered a place of worship. We will make it so that people can pull in and park on the grass and walk around safely, but we will not be doing any paving until the approvals are submitted and received for the whole site plan. The purpose of requesting the meeting with you on Wednesday was to make you aware of our ultimate

plans and to find out what the approval process would be for the actual development of the property so that we can begin to plan for that.

I would like to respectfully request that you reconsider requiring us to go through this extensive, expensive and time consuming process immediately. We will need to hire someone to guide us in doing all of the plans and assessments the Special Land Use application requires...and as I said previously, we will start that process relatively soon. However, please allow us to do the very minor things we are planning now which will not involve development of the property or building or paving.

Thank you in advance for your kind consideration of my request and for your understanding and support, and I look forward to a positive response soon.

Thanks again & God bless!
Jere

Jere Palazzolo
President
Catholic Healthcare International
2464 Taylor Road
Suite 317
Wildwood, MO 63040
Office Phone: (636) 220-6550
Fax: (636) 333-6215
E-mail: jpalazzolo@chi-usa.com

"Pray, hope & don't worry!" - St. (Padre) Pio of Pietrelcina



From: Amy Ruthig [<mailto:amy@genoa.org>]
Sent: Wednesday, July 29, 2020 3:27 PM
To: Jere Palazzolo <jpalazzolo@MarianMed.com>
Subject: FW: Genoa Township

Good Afternoon,

Per our meeting today, please see the process information below that Kelly had sent to Jacqueline. I also spoke with our assessor, Debra Rojewski, and she stated that the owner would need to apply for an exception on the property in regards to the property taxes. You can contact Debra at duffy@genoa.org or 810-227-5225 and she can walk you through the process.

I have reached out to our Planning Consultant. Once we receive a response, we will contact you.

Please contact Kelly or myself if you should have any questions.

Thank You,

Amy Ruthig
Zoning Official



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824
E-mail: amy@genoa.org, Url: www.genoa.org

From: Kelly VanMarter
Sent: Monday, July 27, 2020 3:16 PM
To: jacquelineostlund@yahoo.com
Cc: Amy Ruthig
Subject: RE: Genoa Township

Jacqueline,

I have reviewed your request to construct a grotto/prayer area with associated parking and drive access at the currently vacant property located at 3280 Chilson Road (parcel 4711-20-100-020). The subject property is in an Agricultural zoning district called County Estates (CE). The CE district provides that Churches, temples and similar places of worship and related facilities are listed as a Special Land Use. The grotto/prayer area would be considered a “similar place of worship” and therefore would require special land use and site plan approval pursuant to the Genoa Township Zoning Ordinance. Please see link here to [Article 19](#) of the Zoning Ordinance to review information regarding Special Land Uses. I’ve also provided information below on process, fees, timeframes, and necessary applications for your information.

The process for special land use approval is as follows:
(Requires Site Plan and E.I.A)



Please note the following special land use conditions that apply as stated in the Township Zoning Ordinance:

- 3.03.02(1) *Churches, temples and similar places of worship and related facilities shall comply with the following requirements:*
- (1) *Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.*
 - (2) *Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.*

- (3) *Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.*
- (4) *Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.*

To Request Approval the following would be required:

- 1.) Completed Special Land Use Application.
- 2.) Completed Site Plan Review Application.
- 3.) \$2,875.00 Special Land Use/Site Application Fee made payable to Genoa Charter Township. This *must* be paid at time of submission.
- 4.) Four (4) Sets of Site Plans (folded) that comply with the applicable requirements found in the Site Plan Review Application. The site plan *must* be sealed by an architect or engineer registered in the State of Michigan.
- 5.) Four (4) copies of an Environmental Impact Assessment (see site plan application for requirements).
- 6.) Any related details or specifications, if necessary (lighting details, renderings, etc.)
- 7.) Reduced-File-Size collated/combined pdf of all submittal materials (on disk or portable drive).
- 8.) To get the process started, the following table shows the deadlines for the next three Planning Commission meetings along with the likely corresponding Township Board of Trustees meeting dates.

<u>Deadline</u>	<u>Planning Commission Meeting Date</u>	<u>Board Meeting Date</u>
August 5, 2020	September 14, 2020	October 5, 2020
September 2, 2020	October 13, 2020	November 2, 2020
September 30, 2020	November 9, 2020	December 7, 2020

I hope this helps. Please let me know if you have any additional questions.

Kelly VanMarter, AICP
 Assistant Township Manager/Community Development Director

Genoa Charter Township
 2911 Dorr Road, Brighton, Michigan 48116
 Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
 E-mail: kelly@genoa.org, Url: www.genoa.org

From: jacqueline ostlund [<mailto:jacquelineostlund@yahoo.com>]
Sent: Thursday, July 23, 2020 2:53 PM
To: Kelly VanMarter
Subject: Re: Genoa Township

Kelly,

I have attached a picture of the grotto/prayer area for your review! Were you able to find any information regarding putting in the temporary drive/parking lot? We are planning on the event to be on September 23, 2020 and I really do not know what will be entailed to complete this! Please call me with any questions at 970-209-6074!

Blessings,

Jacqueline

On Tue, Jul 21, 2020 at 4:32 PM, Kelly VanMarter
<Kelly@genoa.org> wrote:

I will follow up with more information.

Kelly VanMarter, AICP

Assistant Township Manager/Community Development Director

Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420

E-mail: kelly@genoa.org, Url: www.genoa.org

August 18, 2020

Kelly Van Marter, AICP
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Kelly:

As requested, I have reviewed the Township Zoning Ordinance as it relates to the proposal for establishment of a “grotto” on an undeveloped property within the CE Country Estates District. I offer the following Ordinance excerpts and opinion(s) for your consideration:

The allowable uses in the CE District (both by right and those allowed with special land use approval) are listed in Section 3.02. This includes churches, temples, and similar places of worship.

Section 25.02 defines a “church or temple” as “any structure wherein persons regularly assemble for religious activity.”

In my experience, grottoes (and stations of the cross for that matter) are structures where people assemble for a religious purpose. Additionally, Section 25.02 defines a “structure” as “anything constructed or erected, the use of which requires location on ground or attachment to something having location on the ground.”

This combination of definitions does not restrict the idea of a church, temple or similar place of worship to a “building.”

Lastly, from my experience, grottoes (and stations of the cross) have typically been viewed as accessory structures. That is not to say that such structures do not/cannot exist in the absence of a church/religious building; however, I have not encountered this situation.

As such, there is the additional concern that a grotto could be viewed as an accessory structure that is incidental to a principal permitted use.

Section 11.04.01 states that “accessory buildings, structures and uses are permitted only in connection with, incidental to and on the same lot with a principal building, that is occupied by a use permitted in the particular zoning district.” In this instance, the case could be made that the owner/applicant is attempting to establish an accessory structure prior to a principal use.

Based on the above, I believe the proper read of the Zoning Ordinance is that the proposed “grotto” is, by definition, a “church, temple, or similar place of worship.” Such uses require special land use and site plan review/approval, and must demonstrate compliance with all applicable Ordinance standards, including (but not limited to) dimensional standards, parking, landscaping, waste receptacles/enclosures, lighting, etc.

Alternatively, the grotto could be viewed as an accessory structure, whereby a principal use/structure must be established first.

My opinions aside, other options include a similar use determination by the Planning Commission (Section 11.02.02) or an interpretation of the Zoning Ordinance text by the ZBA (Section 23.02.03).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT STUDIO

A handwritten signature in black ink, appearing to read "Bri V Borden". The signature is stylized and cursive.

Brian V. Borden, AICP
Planning Manager

RE: 3280 Chilson Rd., Howell, Michigan

Will Bloomfield <wbloomfield@dioceseoflansing.org>

Wed 10/21/2020 11:04 AM

To: Sharon Stone-Francis <Sharon@genoa.org>;

Cc: Robert Muise - AFLC <rmuise@americanfreedomlawcenter.org>;

 1 attachment

Warranty.Deed.Chilson.Rd.signed.10.21.20.pdf;

Ms. Stone,

Attached is the executed warranty deed whereby the Diocese of Lansing has transferred the Chilson Road property to Catholic Healthcare International. The Diocese will be recording this transfer shortly. Please direct all future correspondence regarding this property to Catholic Healthcare International and its attorney, Robert Muise (cc'd).

Sincerely,

Will Bloomfield

William R. Bloomfield

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342-2527 Fax

wbloomfield@dioceseoflansing.org

From: Will Bloomfield

Sent: Friday, October 16, 2020 1:29 PM

To: sharon@genoa.org

Cc: Robert Muise - AFLC

Subject: 3280 Chilson Rd., Howell, Michigan

Ms. Stone,

I am in possession of your October 9, 2020 letter addressed to the former Bishop of Lansing, Most Rev. Carl Mengeling, regarding the property at 3280 Chilson Road, Howell, Michigan.

Your letter references a zoning issue as well as past discussions between the Township and Jere Palazzolo, President of Catholic Healthcare International, and requests a response by October 19, 2020. The Diocese of Lansing is finalizing plans to transfer 3280 Chilson Rd. to Catholic Healthcare International. I had hoped

that the transfer would be complete today, but I now expect it will be complete by Tuesday, October 20, as soon as Bishop Earl Boyea returns and can sign the paperwork transferring the property.

As Catholic Healthcare International will soon be the new owner, the Diocese of Lansing is leaving it to them to respond to the substance of your letter. I have cc'd Robert Muise of the American Freedom Law Center, who is representing them in this matter. Mr. Muise has advised that Catholic Healthcare International will respond by the end of next week.

Sincerely,

Will Bloomfield

William R. Bloomfield

General Counsel

Diocese of Lansing

228 North Walnut Street

Lansing, Michigan 48933-1122

(517) 342-2522

(517) 342-2527 Fax

wbloomfield@dioceseoflansing.org

WARRANTY DEED

The Most Rev. Earl Boyea, Bishop of the Roman Catholic Diocese of Lansing, whose address is 228 North Walnut Street, Lansing, Michigan 48933, as Grantor, conveys and warrants to Catholic Healthcare International, a Catholic, nonprofit corporation incorporated in the state of Missouri, whose address is 2464 Taylor Rd., Suite 317, Wildwood, MO 63040, as Grantee, the following described premises situated in the Genoa Township, County of Livingston, State of Michigan:

See Exhibit A attached hereto.

for one dollar, together with all buildings, improvements and fixtures located thereon, and all rights, privileges, and easements pertaining thereto, subject to building and use restrictions, easements, and encumbrances, if any, of record, and also subject to the following covenants and restrictions, to which Grantee agrees and covenants:

1. Grantee shall develop the land consistent with its Casa USA vision to replicate St. Pio's model of healthcare delivery in the U.S.
2. If Grantee fails to develop the Property as referenced in above (1) within five years of the date of this Deed, then Grantee will, at the Grantor's discretion, either transfer the Property back to Grantor or sell it for fair market value and pay the Grantor the appraised value (\$260,000) at the time of this transfer from the Grantor to Grantee.

This deed and transfer of real property is exempt from real estate transfer tax under MCL 207.505(a) and MCL 207.526(a).

Grantor, as its sole warranty herein, specifically warrants to Grantee, its successors and assigns, that Grantor will forever defend title to the Property (subject to the matters to which this conveyance is hereinabove made subject) against only those claims of persons who shall claim title to or assert claims affecting the title to the Property, or any part thereof, under, by or through Grantor, but not otherwise.

The Grantor grants to the Grantee the right to make all legally feasible division(s) under section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended. This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Subject to zoning, building and use restrictions, easements and right of way of record.

Dated this 20th day of ^{October}~~August~~, 2020.

EXHIBIT A

LEGAL DESCRIPTION

Land in Genoa Township, County of Livingston, State of Michigan, described as follows:

A part of the Northeast 1/4, Northwest 1/4 and Southwest 1/4 of Section 20, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the center of said Section 20, said point lying South 00 degrees 04 minutes 22 seconds West along the North-South 1/4 line of said Section, 2616.14 feet; thence North 89 degrees 16 minutes 18 seconds East, 623.77 feet to the centerline of Chilson Road; thence North 25 degrees 37 minutes 28 seconds West along said centerline 511.68 feet; thence continuing along said centerline, North 25 degrees 35 minutes 58 seconds West, 409.12 feet to the point of beginning of the parcel to be described; thence South 64 degrees 49 minutes 10 seconds West, 581.00 feet; thence South 52 degrees 45 minutes 14 seconds West, 1157.74 feet to the Easterly line of the Ann Arbor Railroad; thence North 25 degrees 10 minutes 14 seconds West along said line, 1566.05 feet; thence North 89 degrees 04 minutes 43 seconds East, 1874.35 feet to said centerline; thence South 25 degrees 35 minutes 58 seconds East along said centerline, 553.96 feet to the point of beginning and subject to the rights of the public over existing Chilson Road.

Commonly known as: 3280 Chilson Road, Howell, MI
Parcel ID: 4711-20-100-020



Washington, D.C. Offices:
1901 Pennsylvania Avenue NW
Suite 201
Washington, D.C. 20006

Michigan Offices:
P.O. Box 131098
Ann Arbor, Michigan 48113

Arizona Offices:
123 W. Chandler Heights Road
No. 11277
Chandler, Arizona 85248-11277

Main Tel: (855) 835-AFLC (2352)
FAX: (801) 760-3901
Email: rmuise@americanfreedomlawcenter.org

New York Offices:
383 Kingston Avenue
Suite 103
Brooklyn, New York 11213-4333

California Offices:
8950 W. Olympic Boulevard
Suite 193
Beverly Hills, California 90211

Writer's Direct Tel: (734) 635-3756

David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona
Robert J. Muise, Esq.: Licensed in Michigan

October 23, 2020

VIA Email

Ms. Sharon Stone
Zoning Compliance Officer
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116
sharon@genoa.org

Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road*

Dear Ms. Stone:

This law firm represents Catholic Healthcare International (CHI) and its president, Mr. Jere Palazzolo. CHI is the owner of the property located at 3280 Chilson Road. The ownership of this property was recently conveyed to CHI by the Catholic Diocese of Lansing. On this property stands a temporary religious symbol/sign which has inaccurately been described in prior correspondence as a "Grotto." It is our understanding that Genoa Township (Township) has ordered the removal of this temporary religious display by November 6, 2020, unless CHI undertakes an extensive, costly (in excess of \$20,000), and burdensome zoning process. The Township is imposing this exceedingly burdensome process upon CHI because it (the Township) considers this temporary religious symbol/sign the equivalent of a "church or temple" under § 25.02 of the Township Zoning Ordinance, which defines "church or temple" as "any structure wherein persons regularly assemble for religious activity." This determination is factually

inaccurate. There is no “structure” on this property “wherein”¹ regular religious assemblies take place. Similarly, CHI is not attempting “to establish an accessory structure prior to a principal use.” See Township Zoning Ordinance § 11.04.01. The religious symbol/sign is temporary, and it is intended to convey a message that inspires people to pray, to include praying for the success of the future, permanent use of this land—the construction of a chapel.

To be clear, CHI does intend to build a chapel on this property with paved roads, parking, entrance, *etc.*, in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. In fact, CHI expects to begin this process within the coming months. In the meantime, CHI is inviting worshipers to come to the property and pray outdoors because there is no primary structure *in which* to assemble. As far as we know, there is no zoning ordinance that prohibits persons from praying outdoors on their private property. Indeed, such an ordinance would not withstand challenge under the First Amendment.

As a factual matter, what has been described incorrectly as a “Grotto” is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). The image, which is approximately 6’ x 6’ in size, is displayed within a frame that is approximately 8’ high set upon a base that is approximately 10’ wide and less than 4’ high. The top frame housing the image is built on cement board with stone veneer on the front of the frame. The back is exposed. The base is loose, stacked stone. There is no cement, and there are no footings. The entire display can be moved at any time. In short, this is a temporary display of a religious symbol/sign. It is the equivalent of a temporary sign, the content of which is a religious symbol. It is *not* a permanent structure. To treat it as such, as the Township is doing here, is not only factually incorrect, it is unconstitutional.

The First Amendment protects both the freedom of speech and the free exercise of religion. Claims arising under both the Free Speech Clause and the Free Exercise Clause often overlap. *Bible Believers v. Wayne Cty.*, 805 F.3d 228, 256 (6th Cir. 2015) (en banc) (“Free exercise claims are often considered in tandem with free speech claims and may rely entirely on the same set of facts.”).

The Township permits many different types of signage, both temporary and permanent. The Township regulates signage in order:

to protect public safety, health and welfare; minimize abundance and size of signs to reduce motorist distraction and loss of sight distance; promote public convenience; preserve property values; support and complement objectives of the Township Master Plan and this Zoning Ordinance; and enhance the aesthetic appearance within the Township.

Township Zoning Ordinance § 16.01.

¹ “Wherein” is defined as “in which.” See <https://www.merriam-webster.com/dictionary/wherein> (last visited Oct. 19, 2020). There is no structure on the property “in which” *any* activity takes place.

CHI's temporary display, which is located within a wooded area, does not undermine *any* of the Township's stated objectives for restricting signage.² Indeed, the ordinance expressly *exempts* certain *permanent* signs (§ 16.03.11), it *exempts* real estate signs (§ 16.03.15), it *exempts all* flags (§ 16.03.03), and it *exempts all* temporary political signs (§ 16.03.14) "provided such signs are not placed within the public street right-of-way line in a manner that obstructs visibility." CHI's religious "sign" is not placed within the public street right-of-way—it is not even visible from the road—and thus creates no visibility issues whatsoever.

By permitting unlimited, temporary political signs (subject to the "public street right-of-way line" limitation), but prohibiting CHI's temporary religious "sign," the Township is engaging in a form of content-based discrimination, *Reed v. Town of Gilbert*, 576 U.S. 155, 163-64 (2015), which is unlawful, *id.* at 163 ("Content-based laws . . . are presumptively unconstitutional and may be justified only if the government proves that they are narrowly tailored to serve compelling state interests."); *see also Int'l Outdoor, Inc. v. City of Troy*, 974 F.3d 690 (6th Cir. 2020) (requiring strict scrutiny because "the Sign Ordinance imposed a content-based restriction by exempting certain types of messages from the permitting requirements, such as flags and 'temporary signs' that included on- and off-premises real-estate signs, 'garage, estate or yard sale' signs, 'non-commercial signs[,] ' [p]olitical signs[,] 'holiday or other seasonal signs[,] and 'constructions signs").

Moreover, as a matter of federal statutory law, land use regulations that substantially burden religious freedom are unlawful. *See* 42 U.S.C. § 2000cc(a)(1) ("No government shall impose or implement a land use regulation in a manner that imposes a substantial burden on the religious exercise of a person, including a religious assembly or institution, unless the government demonstrates that imposition of the burden on that person, assembly, or institution— (A) is in furtherance of a compelling governmental interest; and (B) is the least restrictive means of furthering that compelling governmental interest.") (RLUIPA).

Given that CHI's religious display does not violate the plain language of any zoning ordinance and that CHI intends to comply with the zoning regulations for the construction of its permanent chapel, it would seem that the Township would not want to force CHI to seek legal redress in federal court for religious discrimination related to this temporary religious display. Please know that CHI does not desire to take this matter to federal court. However, it will not have its right to religious freedom violated by the Township, and if forced to go to federal court, it will.

In closing, we ask that the Township promptly reconsider its position. As the courts have long held, even the momentary loss of First Amendment freedoms causes irreparable harm sufficient to warrant injunctive relief. *Newsome v. Norris*, 888 F.2d 371, 378 (6th Cir. 1989) ("The Supreme Court has unequivocally admonished that even minimal infringement upon First Amendment values constitutes irreparable injury sufficient to justify injunctive relief.").

² The Township suggested that the display be constructed on a flatbed and driven on and off the property as needed, thus essentially conceding the fact that this display is temporary and the fact that the presence of the display on the property does not conflict with any legitimate Township objective or interest.

We look forward to a prompt and favorable reply.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.
Co-Founder & Senior Counsel

cc: Jere Palazzolo

November 4, 2020

Robert J. Muise, Esq.
AMERICAN FREEDOM LAW CENTER
P.O. Box 131098
Ann Arbor, Michigan 48113

VIA EMAIL

Re: Grotto at 3280 Chilson Road

Mr. Muise:

In July of this year Jacqueline Ostlund and Jere Palazzolo approached the Township about constructing a grotto at 3280 Chilson Road. Your clients provided a drawing from Swanson Design Studios and made multiple references in email, over the phone and in-person statements clearly designating this structure as a grotto. Quickly the Township informed your clients that to construct the grotto, it had to comply with the Township's special land use and land use permit requirements just as any project or individual would in the Township. Your clients then balked at going through the process to obtain the permits under the guise that it does not want to spend the money on the fees required to obtain the permits. Yet, the underlying reason why it surreptitiously built the grotto without going through the permitting process was because it did not plan ahead. Instead, it wanted the grotto constructed by September 23, 2020, for the planned Feast Day mass with Bishop Boyea on-site. Now that it has been caught violating the Township's ordinances, it takes the incredulous position that the grotto is actually a sign. Then you claim that because it is a religious entity, somehow it is given favored status, it does not need to comply with Township permit requirements.

Neither the First Amendment nor the Religious Land Use and Institutional Persons Act comes into play in justifying the wrongdoings of your client. They have not been denied any permit. Instead, your client has been caught deceiving the Township by constructing this grotto illegally. Furthermore your client illegally erected directional and temporary signs, a bench and some type of PVC structure. All of this activity taken after the exchange of emails, telephone and in-person conversations with the Township on what is needed for it to build these structures and place these signs. Now is the time for your client to do the right thing, and that is apply for the permits that would allow for the construction of this grotto, erection of signs, bench and the PVC structure.

A main feature of complying with the permittal process is to strive for the construction of safe structures. Below is a picture of what your clients built.





This structure, according to you, was built with no foundation, no mortar and no thoughts of the safety of the persons that will make use of this grotto. This structure needs to be made safe immediately.

What is equally disheartening about your client's deception is that now they claim this is a sign. I doubt any reasonable person would agree with this newly found theory given your clients' statement and the materials provided beforehand as well as your client designating this to be a grotto, see the picture below.



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

☎ 248.733.3580 ☎ 248.733.3633 www.sewardhenderson.com



But even so, your clients building this structure would violate the Township's sign ordinances in a number of ways. §16.02.09 defines a monument sign as a three-dimensional, self-supporting, solid based structure with two or more sides extending up from the base. As such, the height of such a structure is limited to six feet, see Table 16.1. Moreover, this structure must withstand wind pressure of at least 20 pounds per square foot, see 16.06.07, and be consistent with building codes per 16.06.06. What engineer is able to certify this structure meets that safety standard?

The actions of your clients are most unsettling, its attempts to mislead the Township and then build a structure and erect signs illegally should never have happened. I suggest that your clients take the action it needs to immediately bring the structures and signs into compliance with the Township's ordinances, comply with the approval requirements and make the site safe. My clients are willing to work with your clients to get this taken care of, but the threat of litigation will not cause the Township to back away from enforcing its ordinances.



Very truly yours,

SEWARD HENDERSON PLLC

T. Joseph Seward

TJS/ads



210 East 3rd Street, Suite 212, Royal Oak, Michigan 48067

P 248.733.3580 **F** 248.733.3633 www.sewardhenderson.com



Washington, D.C. Offices:
1901 Pennsylvania Avenue NW
Suite 201
Washington, D.C. 20006

Michigan Offices:
P.O. Box 131098
Ann Arbor, Michigan 48113

Arizona Offices:
123 W. Chandler Heights Road
No. 11277
Chandler, Arizona 85248-11277

Main Tel: (855) 835-AFLC (2352)
FAX: (801) 760-3901
Email: rmuise@americanfreedomlawcenter.org

New York Offices:
383 Kingston Avenue
Suite 103
Brooklyn, New York 11213-4333

California Offices:
8950 W. Olympic Boulevard
Suite 193
Beverly Hills, California 90211

Writer's Direct Tel: (734) 635-3756

David Yerushalmi, Esq.: Licensed in Washington, D.C., New York, California & Arizona
Robert J. Muise, Esq.: Licensed in Michigan

November 5, 2020

VIA Email

Mr. T. Joseph Seward
Seward Henderson PLLC
210 East 3rd Street, Suite 212
Royal Oak, Michigan 48067
jseward@SewardHenderson.com

Re: *Temporary Religious Symbol/Sign at 3280 Chilson Road*

Dear Mr. Seward:

Leaving aside your false and offensive personal attacks and impertinent comments, I write to respond to your letter of today because it raises additional questions and because we believe there is a way to civilly and reasonably resolve our differences.

To begin, as the Township has previously acknowledged (and your letter confirms), this is a temporary religious display.¹ Previously, the Township stated that it would consider this temporary display to be the equivalent of a “church or temple” under § 25.02 of the Township Zoning Ordinance, which, as noted in my prior letter, defines “church or temple” as “any structure wherein persons regularly assemble for religious activity.” Your letter appears to concede that this

¹ As noted in my prior letter, the Township suggested that Catholic Healthcare International (CHI) put the temporary display on a flatbed truck and drive it on and off the property as necessary.

determination is inaccurate. There is no “structure” on this property “wherein” regular religious assemblies take place.² That is, as your pictures further verify, there is no structure on the property “in which” *any* activity takes place.

Furthermore, regardless of your assertions and any prior correspondence or other communications from my clients, the display is not a “Grotto.” A “Grotto” is a “cave” or “an artificial recess or structure made to resemble a natural cave.” <https://www.merriam-webster.com/dictionary/grotto>.³ The display at issue is neither. As noted, and as your letter confirms, the display is in reality a temporary display of an image of Santa Maria delle Grazie (“Our Lady of Grace”). It was not constructed to be permanent because it is not permanent. Moreover, despite your unsupported assertion that the display is not safe, it is indeed safe. The support structures appearing in the photographs provided with your letter illustrate this point, as does the fact that neither wind nor rain nor any other factors have caused any safety issues whatsoever since the display was erected months ago. Time itself refutes your claim. Moreover, this display is not erected along any public right of way or thoroughfare. In fact, it cannot be seen from the road. It is located in a wooded, isolated area.

As your letter further confirms, the Township permits many different types of signage, monuments, or displays, both temporary and permanent. If there is a permitting process for such temporary structures—something far short of the extensive, costly (in excess of \$20,000), and burdensome zoning process required for the approval of a “church or temple”—my clients would certainly be willing to work with the Township to accomplish these approvals.

As noted in my prior letter, CHI does intend to build a chapel on this property in the near future. CHI does not dispute that this chapel will be a “church or temple” pursuant to § 25.02 of the Township Zoning Ordinance and, at that time, CHI will proceed with obtaining the proper zoning approvals from the Township. CHI expects to begin this process expeditiously. In fact, effective today, CHI has formally retained Boss Engineering (Howell, Michigan), and they expect to have the special land use application and associated documents submitted to the Township within 30 days.

Please know that my clients do wish to remain civil throughout this process and to cooperate with the Township. Indeed, they will comply with all reasonable requirements. However, treating this temporary display as a “church or temple” is not reasonable. We doubt “any reasonable person would agree” with the Township on this point.

In closing, please advise as to the permitting process for allowing this temporary religious display on private property. For example, what would be required for this display to be an approved “monument sign”? I would assume that if it could be approved as a “monument sign,” then my clients would be able to make it a more permanent structure by constructing footings and using

² See <https://www.merriam-webster.com/dictionary/wherein> (defining “wherein” as “in which”).

³ I doubt that if the small, temporary, homemade paper sign with “Grotto” and an arrow depicted in the second photo contained in your letter had instead stated “Temporary Political Sign” that the Township would consider the religious display to in fact be a political sign. At the end of the day, the display is simply not a “Grotto” as a matter of fact regardless of who is using this term.

cement and mortar to complete the display. As noted, my clients are willing to comply with reasonable permitting requirements.

In sum, there appears to be a process that our respective clients could pursue short of the full-blown process of getting approval for a “church or temple” for this simple religious display. We look forward to discussing this matter further with the appropriate Township officials. And I would be happy to discuss the matter with you as well.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Muise', with a long horizontal flourish extending to the right.

Robert J. Muise, Esq.
Co-Founder & Senior Counsel

cc: Jere Palazzolo

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 8, 2021
6:30 P.M.
MINUTES**

This meeting was conducted via Zoom

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Eric Rauch, Jim Mortensen, Jeff Dhaenens, Glynis McBain, and Jill Rickard. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Joseph Seward, Township Attorney; Gary Markstrom of Tetra Tech; and Brian Borden of Safebuilt Studio.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

INTRODUCTION OF MEMBERS: All members introduced themselves.

ELECTIONS OF OFFICERS:

Moved by Commissioner Dhaenens, seconded by Commissioner Mortensen, to elect Chris Grajek as Chairman, Eric Rauch as Vice-Chairman, and Marianne McCreary as Secretary. **The motion carried unanimously with a roll call vote.**

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Rickard, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

No Commissioners declared a conflict of interest.

CALL TO THE PUBLIC: The call to the public was made at 6:35 pm with no response.

- A. OPEN PUBLIC HEARING # 1...Review of a special use application, environmental impact assessment and site plan for a proposed 6,090 sq. ft. church with accessory outdoor uses including Grotto and Stations of the Cross. The property in question is located at 3280 Chilson Road on the west side of Chilson Road, south of Crooked Lake Road. The request is petitioned by Catholic Healthcare International. A. Recommendation of Special Use Application B. Recommendation of Environmental Impact Assessment (1-20-21) C. Recommendation of Site Plan (1-20-21)

Mr. Scott Tousignant of Boss Engineering, Mr. Jere Palazzolo, Father Tim, and Mary Swanson, the project architect, were present.

Mr. Tousignant provided a review of the project, including the size of the property and its topography. They are proposing to create a site for pilgrimage to use for quiet prayer. They

Genoa Township Planning Commission

February 8, 2021

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would like to build a chapel, a grotto, a station of the cross, a driveway with a loop road and two parking lots. They will be working with the existing topography of the site with the least amount of impact on the trees, drainage, the surrounding, neighbors, etc. He showed the site plan and colored photographs of a proposed statue and other complimentary uses.

He noted that the bell will only ding twice each hour from 9 am to 9 pm. Also, the comments from the community that they are planning to build a hospital on this property in the future are not correct. That is not their vision for this site. The site cannot support a facility of that size. They are requesting approval for the chapel and the complimentary uses this evening.

Commissioner Mortensen questioned why the website of the church in Missouri states that the plan is to have a hospital and a medical school on this property. The Planning Commission will vote on what is being presented this evening; however, if approved, it is not a commitment for any plans as stated on the Church's website. That would not be compatible with the area and there is no sewer or water available for that type of development. Mr. Tousignant stated that is the vision for the church somewhere in the community, but not on this particular property.

Commissioner Rickard asked for details on the drainage. There is no curbing proposed for the parking lot areas. She asked what the overall plan was for this site. Mr. Tousignant reiterated that they would like to stay within the topography of the site and use the natural drainage path and cause little impact on the current property. The timeline for all of the additional uses on this site is unknown at this time.

Commissioner McCreary questioned if additional buildings are being planned. Mr. Tousignant stated that they do not have plans or a timeline for the remaining portion of the property. The property could support complimentary uses to what they are proposing this evening; however, when that vision is known, it will be presented to the Township. Mr. Polozzolo stated the primary focus of this campus is for quiet prayer and meditation. At this point, they do not have plans for any further development on this site.

Commissioner McCreary asked for the need for the bell. Mr. Tousignant stated this chapel is to replicate a church in Italy and that church has a bell. It is a key feature. This site will allow people who are devoted to St. Padre Pio to have a pilgrimage and experience the same church without the need for them to go to Italy. She understands the want to replicate it, but she is concerned with it ringing every hour on 9 am to 9 pm in this location.

Commissioner Dhaenens likes the project. He noted that other projects similar to this were approved in the Township and they ran into financial problems so they started renting it for weddings, parties, etc. He wanted the applicant to understand why the Planning Commission were asking these questions this evening.

Commissioner Rauch questioned if there is an operations plan, such as hours of operation as well as the specific plans for this site, as have been explained in this meeting. This would help the Planning Commission understand traffic flow, noise, etc. He would like this to be put in writing. Mr. Palazzolo stated at this time, the chapel would only be used on special occasions. They would never have more than one mass a day. The masses would be during the day and the hours of operation would be from dawn to dusk. People would be able to come at any time to walk on the trails.

Commissioner Mortensen questioned if any change to the Special Land Use would require the applicant to return to the Township for additional approval. Ms. VanMarter stated that if the

Genoa Township Planning Commission
February 8, 2021
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threshold limits, such as the occupancy or intensity increases by at least 25 percent, then a new SLU permit would need to be reviewed and approved.

Mr. Borden reviewed his letter dated February 2, 2021:

He responded to Commissioner Mortensen's question regarding SLU amendments. Section 19.6 of the Zoning Ordinance addresses amendments to existing SLU. There are major and minor amendment so even if a change does not necessitate the reconsider a SLU, there could be sketch or site plan review that could be reviewed by staff or brought before the Planning Commission

1. In order to find that the proposal is compatible with the Master Plan, the Township would need to determine that the proposal will not adversely impact natural features and agricultural uses in the surrounding area.
2. The Commission may wish to seek input from the Township Engineer as it relates to northbound traffic and compatibility with the surrounding area.
3. The bell tower may generate noise that impacts the surrounding rural residential uses. The Commission may wish to request decibel ratings, or a sound study to ensure compatibility.
4. The applicant must address any comments provided by the Township Engineer and Brighton Area Fire Authority.
5. Should a private school, child day care center or other use be proposed in the future, it will be subject to the applicable review procedures and regulations outlined in the Zoning Ordinance.
6. We request the applicant present building material and color samples to the Commission.
7. The parking lot must include curbing on all sides, as opposed to the bumper blocks proposed, unless the Commission determines they are necessary.
8. The applicant requests that the Commission allow existing landscaping in lieu of additional plantings for the front yard greenbelt and parking lot. This is at the discretion of the Planning Commission.
9. A sign permit will be required from the Township prior to installation of any signage.
10. The Township may wish to have the applicant correct the existing fence encroachment as part of this project.

Mr. Markstrom reviewed his letter dated February 3, 2021:

The Petitioner will need approval from the Livingston County Health Department for the proposed well and septic systems. This should be obtained and provided to the Township for their records.

Per the review letter dated January 22, 2021, from the Livingston County Road Commission, any future additions or changes to the site will require a traffic study and possibly improvements to the driveway approach or Chilson Road to accommodate increased traffic from the site.

The petitioner is not proposing to put curb in the parking lots. He recommends the applicant include concrete curb and gutter in order to better control storm runoff and direct it to the bioswales as well as prevent parking outside of the parking lot.

The Petitioner is proposing two bioswales to collect additional runoff from the proposed improvements as a low impact development alternative. The bioswales are intended to mimic the site's original hydrology, due to the relatively small footprint of the proposed improvements.

Genoa Township Planning Commission

February 8, 2021

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The Petitioner provided calculations to demonstrate that the proposed bioswales have enough storage volume to store the additional 100-year storm volume needed as a result of proposed improvements.

He would like to see how the cistern tank is going to be maintained. Is there property backflow protection, how will it be kept from freezing, etc.

Mr. Rick Boisvert, Brighton Area Fire Authority Fire Marshal, stated that his previous comments were addressed; however, he did not see the plans that show the meandering entrance drive; it was a straight drive. The turning radius proposed would not work for their apparatus. He would like to work with the applicant to change this to accommodate their apparatuses.

The call to the public was made at 7:38 pm.

Chairman Grajek advised that letters of concern have been received from residents. James Brancheau of 3611 Westphal, Mike Mandik of 3275 Chilson Road, Tim Park of 3529 Westphal, Shawn Nester of 3360 Chilson Road, Billy Martin of 4678 Richardson Road, Linda Holland, and Leslie Bohnett of 3367 Chilson Road all have concerns with the proposal, such as this is a rural location, additional traffic, the bell ringing, etc.

Mr. Bill Galvin of 4037 Chilson Road does not have significant concerns if the project is what is proposed. He is opposed to the bells ringing. He is concerned about the lack of engagement and communication and information sharing done by the applicant and the Township because some people lack technology and are unable to attend this meeting. He would like the Planning Commission to table this request this evening to allow more time for the residents to obtain more information and engage with the applicant and the Township. He is also concerned with the other uses that could be built on this site in the future if the SLU is approved this evening. The applicant could perceive that approval also be approval for future development on this site.

Mr. Bob Moran of 3985 Timber Green Court, which is ½ mile south of this property likes the zoning that was done by the Township at the I-96 and Latson Road interchange. He believes that this proposal belongs in that area. He and his neighbors are opposed to this project in this location. They are concerned with what will be developed in the future. He would like the applicant to provide what their plans are for the rest of this property.

Mr. John Wallbank of 2899 Pardee Road is concerned with what could potentially be built on this site, which could possibly be a medical center. He is concerned about the bell, the security for this property, and the rezoning.

Mr. Shawn Nester of 3360 Chilson Road, which is directly south of the property was not aware of this meeting until this morning when he saw it on social media. He is concerned about the bell and does not see its value. A commercial building in this area is not appropriate. If he knew that this property was going to be developed this way, he would not have purchased his home.

Mr. Pat Powers of 1018 Kellogg Road who lives adjacent to the Chaldean Campus does not believe that the Planning Commission should look at this project the same as that one. He is very excited about this project. People are looking for a place of solitude and worship. It is also a unique opportunity for a healthcare campus. He has met with the applicant and they are sincere.

Mr. Robert Jones of 3553 Westphal lives 300 feet from this project. He agrees with what was said by his neighbors regarding the bell ringing, traffic issues, and it does not fit the character of

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the neighborhood. He does not feel that a healthcare facility should be in this location. It will negatively impact the neighbors.

Mr. Duane Johnson of 3990 Chilson Road agrees with the statements made by his neighbors. He agrees with Mr. Moran that there are places in the Township where this can be built.

Ms. Melanie Johnson at 3990 Chilson Road is not in favor of this proposal.

Mr. Derek Sproull of 2099 Chilson Road just learned about this proposal this morning on social media. When he built his house 10 years ago, it was a country area. He is concerned that this area will be built with more commercial uses.

Mr. Ian Campbell of 3912 Chilson Road agrees with the concerns raised by his neighbors, including property values, the rezoning of agricultural land, the expansion of the road, increased traffic, etc. He hopes the Township denies this request.

Ms. Laura McGaffney of 5934 Hartford Way knows the impact that this will have in a positive way. The residents' property values will not go down. It is very impressive to know that top doctors, nurses, and scientists around the world will be in Brighton. She is in favor of this hospital.

Cynthis Telep of 3175 Crooked Lake Road stated that this would negatively impact the neighbors' lives in the area. She agrees with her neighbors. She noted that two members of the public spoke about a medical facility being developed here.

Ms. Lori Petrulis of 2344 Chilson Road has seen the growth in the area. She is concerned with the two members of the public who spoke about a future medical facility and not a chapel. She noted that they do not live in the area. She learned of this development this morning.

Ms. Jessica Sproull of 2185 and 2099 Chilson Road loves her property and loves the country setting. People move here to get away from these types of developments. There are other places they can build this. There has been a lot of activity on that property recently. She learned of this today. She would have liked to have seen a brochure of the project and what was being proposed.

Chairman Grajek stated that property owners within a 300 foot radius of this property would have been notified of the proposal and tonight's meeting.

Ms. Alita Worney's property abuts the railroad tracks. She agrees with what was said by her neighbors who are against this project. There is wildlife in the area. These properties are rural. She also did not receive any notification.

Mr. Chis Petersen of 2960 Beck Road did not receive notification of this proposal. He appreciates church bells and would like to hear them one to two times a day. The building should not be on the property line. If they want quiet, then why are they building a daycare and a hospital? He questioned who is going to pay for the development and what source of funding will they have for maintaining it.

Ms. Kim Miller of 3150 Crooked Lake Road supports her fellow residents who have moved out here for the serenity, land, limited traffic and to have livestock. They will be negatively impacted by this development.

The call to the public was closed at 8:39 pm.

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Ms. VanMarter showed the 300-foot-radius map outlining the properties who qualified for receiving notification of the proposal and tonight's meeting.

Commissioner Rickard agrees with the engineer that curbing is needed; she would like the required landscaping to be planted. She would like the developer with plans of what they anticipate will be built in the future. She would like to see their vision for the complete site in the future. She does not like the bell to ring every hour, and agrees with Commissioner Rauch and his comment regarding the operational and maintenance being put in writing and submitted to the Township.

Commissioner McBain stated that the Master Plan shows this area to maintain five-acre parcels and agricultural uses. She is uncomfortable moving forward without additional information. In looking at this organization, they are dedicated to healthcare.

Commissioner Mortensen stated that what is before the Planning Commission is very specific. The Planning Commission does not have the right to reject a proposal because we think they might do. Bells would have to comply with the zoning ordinance and a study would have to be provided to the Township. He agrees with the operations plan. He would like this item to be tabled this evening.

Commissioner Dhaenens stated this sounds like a wonderful place to be peaceful and tranquil in nature; however, it does not have his support this evening. He would like to see an operations plan, more specifics of what is being proposed, and he would like the applicant to inform the neighbors and engage with them. More trees are going to need to be planted on the south side of the property to help screen this site from the neighbor from the building. He needs more details for him to vote to approve this proposal.

Commissioner McCreary agrees with all of the other Commissioners' concerns. Who will maintain the building and the site, what are the hours of operation? She needs detailed information on what the end result will be.

Mr. Tousignant understands the concerns of the public. He stated they will add trees to the south side of the property. They are putting the chapel in the proposed location because they want to maintain the existing topography of the site. Putting it there would eliminate them needing to cut down trees because it is an open area on the site. This is another reason for not proposing curbing for the roadway and parking lots. It is an outdoor chapel so there would not be people there in rainy weather. He noted the resident's concerns regarding cars being parked on Chilson Road. If there were dedicated parking areas, then visitors would not need to park on the roadway. If road improvements are needed for this development, then the property owner would have to pay for them.

Mr. Palazzolo stated the overall vision is to build a hospital and a medical school to replicate the one in Italy but not on this site. This site will be the foundation of prayer that will be the first step to their hospital and medical school. There will not be healthcare services, a medical school or a rehab center on this site. This is sincerely a place of quiet prayer and meditation. They did engage with the neighbors adjacent to this site and they did not receive any negative responses. They do want to replicate the bell tower and would have liked to have it ring every hour; however, they are willing to have it ring on each hour from 12 pm to 6 pm.

All Commissioners agree that this item should be tabled this evening. Chairman Grajek reviewed the concerns of the Planning Commission, the consultants, and the neighbors and advised what details need to be provided and what issues should be addressed, specifically,

trees being planted on the southern property line, curb and gutter for the parking areas, days and hours of operation, number of weekly services, number of events per month, supervision and security plan, on site contact, maintenance plan, driveway configuration per the Brighton Area Fire Authority, and a schedule and decibel levels for the bell ringing.

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to table the Special Land Use Proposal, Environmental Impact Assessment, and Site Plan for the Catholic Healthcare International Church, Chapel and Grotto until the March 8, 2021 Planning Commission meeting to allow the applicant to address the following items:

- The planting of trees on the southern property line
- Curb and gutter for the parking areas
- Days and hours of operation
- Number of weekly services
- Number of events per month
- Supervision and security plan
- On site contact
- Maintenance plan
- Driveway configuration per the Brighton Area Fire Authority
- Schedule and decibel levels for the bell ringing

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter provided the 2020 Planning Commission Annual Report.

Approval of the November 9, 2020 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the November 9, 2020 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

Commissioner McCreary received an email from the Board of Commissioners from the Home Builders Association regarding the Fire Authority's development requirement of cisterns of 10 homes or more. These are very expensive and the cost filters to the consumer and contributes to the lack of affordable housing in the area. They are not in favor of this requirement. Commissioner Mortensen stated that the Townships and the City of Brighton have adopted the International Fire Code and that is part of that code. Ms. VanMarter stated they are working on updating the fire codes in all of their communities and Genoa agreed that developments with 10 or more homes will require cisterns. She noted that these comments should be directed to the Township Board.

Commissioner Rickard stated that fire suppression measures are very important.

Adjournment

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Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to adjourn the meeting at 9:31 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary

DRAFT