

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting

December 7, 2020

6:30 p.m.

Due to Michigan Department of Health and Human Services requirements, this meeting will be virtual. The public may participate in the meeting/public hearing through Zoom access by computer and smart phone. A link will be posted at genoa.org.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Consent Agenda:

Request for approval of the consent agenda:

1. Payment of Bills.
2. Request to Approve Minutes: November 16, 2020

Regular Agenda:

Request for approval of the regular agenda:

3. Consideration of a recommendation for approval of a final PUD site plan and environmental impact assessment for the "Premier Genoa Planned Unit Development" phase 1 involving a 37,275 sq. ft. climate controlled indoor storage building and related site improvements. The site is located at 4525 and 4433 E. Grand River at the northwest corner of Grand River Ave. and Lawson Drive. The request is petitioned by BMH Realty, LLC.

- A. Disposition of Impact Assessment (dated 8-5-20 received 9-28-20)
- B. Disposition of Final PUD Site Plan (11-19-20)

4. Consideration of a request to change authorization for Genoa 2019-2020 Grand River Sidewalk, Construction Phase Engineering as submitted by TetraTech in the amount of \$46,660.

5. Discussion of 2021-2025 Recreation Plan.

Correspondence

Member Discussion

Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: December 7, 2020

TOWNSHIP GENERAL EXPENSES: Thru December 7, 2020	\$198,101.89
November 12, 2020 Election Payroll	\$1,104.25
November 16, 2020 Covid 19 Hazard Payroll Ck# 36381- 36480	\$6,275.70
November 24, 2020 Longevity Pay	\$12,750.00
November 27, 2020 Bi Weekly Payroll	\$100,450.55
OPERATING EXPENSES: Thru December 7, 2020	\$217,489.42
TOTAL:	<u>\$536,171.81</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
11/12/2020	36372	BRADFORD LINDBERG	10.50
11/12/2020	36373	COMCAST	717.70
11/12/2020	36374	COOPER'S TURF MANAGEMENT LLC	976.00
11/12/2020	36375	EHIM, INC	5,951.36
11/12/2020	36376	GIFFELS WEBSTER	6,880.00
11/12/2020	36377	GORDON FOOD SERVICE	322.68
11/12/2020	36378	LINDA GALLERANI	16.10
11/12/2020	36379	LIVINGSTON CO. ASSOC. OF REALTORS	563.00
11/12/2020	36380	WELLNESS IQ	147.60
FNBCK TOTALS:			
Total of 9 Checks:			15,584.94
Less 0 Void Checks:			0.00
Total of 9 Disbursements:			15,584.94

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
1/16/2020	36481	BLUE CROSS & BLUE SHIELD OF MI	46,999.54
1/16/2020	36482	COMCAST	637.20
1/16/2020	36483	D.S.T.A.T. PRO SERVICES	1,155.00
1/16/2020	36484	ETHAN MURPHY	50.00
1/16/2020	36485	ETNA SUPPLY COMPANY	15,675.00
1/16/2020	36486	JUSTIN MILLER	50.00
1/16/2020	36487	DIANE GOODALL	35.00
1/16/2020	36488	STATE OF MICHIGAN	138.12
1/16/2020	36489	STATE OF MICHIGAN	25.00
1/16/2020	36490	STATE OF MICHIGAN	25.00
1/16/2020	36491	US BANK EQUIPMENT FINANCE	1,971.97
1/18/2020	36492	AMERICAN AQUA	205.90
1/18/2020	36493	BRANDON VANMARTER	300.00
1/18/2020	36494	CONTINENTAL LINEN SERVICE	158.30
1/18/2020	36495	COOPER'S TURF MANAGEMENT LLC	150.00
1/18/2020	36496	DYKEMA GOSSETT, PLLC	681.00
1/18/2020	36497	MASTER MEDIA SUPPLY	665.23
1/18/2020	36498	MICHIGAN STATE UNIVERSITY	60.00
1/18/2020	36499	MICHIGAN ASSOC. OF PLANNING	65.00
1/18/2020	36500	SAFEBUILT STUDIO	2,353.88
1/18/2020	36501	SBS GROUP, LLC	3,900.00
1/18/2020	36502	VERIZON WIRELESS	1,493.69
1/19/2020	36503	ACCIDENT FUND COMPANY	1,855.00
1/19/2020	36504	ADVANCED DISPOSAL	91,022.22
1/19/2020	36505	BUSINESS IMAGING GROUP	300.63
1/19/2020	36506	COMCAST	252.84
1/19/2020	36507	DELTA DENTAL	3,867.73
1/19/2020	36508	DELTA DENTAL	3,812.39
1/19/2020	36509	LIVINGSTON PRESS & ARGUS	410.00
1/19/2020	36510	MUTUAL OF OMAHA	2,088.59
1/19/2020	36511	MUTUAL OF OMAHA	2,112.72
FNBCK TOTALS:			
Total of 31 Checks:			182,516.95
Less 0 Void Checks:			0.00
Total of 31 Disbursements:			182,516.95

15,584.94+
 182,516.95+
 198,101.89*+

Check Register Report For Genoa Charter Township
For Check Dates 11/12/2020 to 11/12/2020

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/12/2020	FNBCK	13378		14.00	14.00	0.00	Open
11/12/2020	FNBCK	13379		60.00	42.06	0.00	Open
11/12/2020	FNBCK	13380		14.00	13.40	0.00	Open
11/12/2020	FNBCK	13381		129.42	129.42	0.00	Open
11/12/2020	FNBCK	13382		98.00	93.83	0.00	Open
11/12/2020	FNBCK	13383		14.00	13.40	0.00	Open
11/12/2020	FNBCK	13384		115.04	110.15	0.00	Open
11/12/2020	FNBCK	13385		28.29	26.12	0.00	Open
11/12/2020	FNBCK	13386		14.00	14.00	0.00	Open
11/12/2020	FNBCK	13387		14.00	14.00	0.00	Open
11/12/2020	FNBCK	13388		14.00	13.40	0.00	Open
11/12/2020	FNBCK	13389		14.00	14.00	0.00	Open
11/12/2020	FNBCK	13390		14.00	13.40	0.00	Open
11/12/2020	FNBCK	13391		42.00	40.21	0.00	Open
11/12/2020	FNBCK	13392		14.00	14.00	0.00	Open
11/12/2020	FNBCK	13393		98.00	98.00	0.00	Open
11/12/2020	FNBCK	13394		265.00	257.62	0.00	Open
11/12/2020	FNBCK	13395		60.00	55.41	0.00	Open
11/12/2020	FNBCK	13396		35.00	33.51	0.00	Open
11/12/2020	FNBCK	13397		14.00	14.00	0.00	Open
11/12/2020	FNBCK	EFT512	INTERNAL REVENUE SERVICE	33.50	33.50	0.00	Cleared
Totals:				Number of Checks: 021	1,104.25	1,057.43	0.00
		Total Physical Checks:	20				
		Total Check Stubs:	1				

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
		<u>Covid-19</u>	
		<u>Hazard Pay</u>	
11/16/2020	36381		36.70
11/16/2020	36382		73.40
11/16/2020	36383		73.40
11/16/2020	36384		73.40
11/16/2020	36385		73.40
11/16/2020	36386		73.40
11/16/2020	36387		73.40
11/16/2020	36388		73.40
11/16/2020	36389		73.40
11/16/2020	36390		36.70
11/16/2020	36391		73.40
11/16/2020	36392		36.70
11/16/2020	36393		36.70
11/16/2020	36394		55.05
11/16/2020	36395		73.40
11/16/2020	36396		73.40
11/16/2020	36397		18.35
11/16/2020	36398		73.40
11/16/2020	36399		36.70
11/16/2020	36400		73.40
11/16/2020	36401		73.40
11/16/2020	36402		73.40
11/16/2020	36403		36.70
11/16/2020	36404		36.70
11/16/2020	36405		36.70
11/16/2020	36406		73.40
11/16/2020	36407		73.40
11/16/2020	36408		73.40
11/16/2020	36409		73.40
11/16/2020	36410		73.40
11/16/2020	36411		73.40
11/16/2020	36412		73.40
11/16/2020	36413		73.40
11/16/2020	36414		73.40
11/16/2020	36415		36.70
11/16/2020	36416		73.40
11/16/2020	36417		73.40
11/16/2020	36418		36.70
11/16/2020	36419		73.40
11/16/2020	36420		73.40
11/16/2020	36421		73.40
11/16/2020	36422		73.40
11/16/2020	36423		73.40
11/16/2020	36424		73.40
11/16/2020	36425		73.40
11/16/2020	36426		73.40
11/16/2020	36427		73.40
11/16/2020	36428		36.70
11/16/2020	36429		73.40
11/16/2020	36430		73.40
11/16/2020	36431		73.40
11/16/2020	36432		73.40
11/16/2020	36433		73.40
11/16/2020	36434		73.40
11/16/2020	36435		73.40
11/16/2020	36436		73.40
11/16/2020	36437		36.70
11/16/2020	36438		36.70
11/16/2020	36439		73.40
11/16/2020	36440		73.40
11/16/2020	36441		73.40
11/16/2020	36442		73.40
11/16/2020	36443		73.40
11/16/2020	36444		73.40
11/16/2020	36445		73.40
11/16/2020	36446		36.70
11/16/2020	36447		36.70
11/16/2020	36448		73.40
11/16/2020	36449		36.70
11/16/2020	36450		73.40
11/16/2020	36451		73.40
11/16/2020	36452		36.70
11/16/2020	36453		36.70
11/16/2020	36454		36.70
11/16/2020	36455		36.70
11/16/2020	36456		36.70
11/16/2020	36457		73.40
11/16/2020	36458		36.70

Check Date	Check	Vendor Name	Amount
11/16/2020	36459		73.40
11/16/2020	36460		36.70
11/16/2020	36461		73.40
11/16/2020	36462		73.40
11/16/2020	36463		36.70
11/16/2020	36464		73.40
11/16/2020	36465		73.40
11/16/2020	36466		73.40
11/16/2020	36467		73.40
11/16/2020	36468		73.40
11/16/2020	36469		36.70
11/16/2020	36470		73.40
11/16/2020	36471		73.40
11/16/2020	36472		73.40
11/16/2020	36473		73.40
11/16/2020	36474		73.40
11/16/2020	36475		73.40
11/16/2020	36476		73.40
11/16/2020	36477		73.40
11/16/2020	36478		73.40
11/16/2020	36479		36.70
11/16/2020	36480		36.70

Covid-19
Hazard Pay

FNBCK TOTALS:

Total of 100 Checks:	6,275.70
Less 0 Void Checks:	0.00
Total of 100 Disbursements:	6,275.70

Check Register Report For Genoa Charter Township
For Check Dates 11/24/2020 to 11/24/2020

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/24/2020	FNBCK	13401		1,000.00	858.84	0.00	Open
11/24/2020	FNBCK	13402		750.00	623.49	0.00	Open
11/24/2020	FNBCK	13403		750.00	631.51	0.00	Open
11/24/2020	FNBCK	13404		1,000.00	826.77	0.00	Open
11/24/2020	FNBCK	13405		1,250.00	976.37	0.00	Open
11/24/2020	FNBCK	13406		1,000.00	826.77	0.00	Open
11/24/2020	FNBCK	13407		1,250.00	976.38	0.00	Open
11/24/2020	FNBCK	13408		1,250.00	1,021.37	0.00	Open
11/24/2020	FNBCK	13409		1,250.00	984.14	0.00	Open
11/24/2020	FNBCK	13410		500.00	461.75	0.00	Open
11/24/2020	FNBCK	13411		1,000.00	805.98	0.00	Open
11/24/2020	FNBCK	13412		1,000.00	843.31	0.00	Open
11/24/2020	FNBCK	13413		750.00	631.52	0.00	Open
Totals:				Number of Checks: 013	12,750.00	10,468.20	0.00
Total Physical Checks:		13					
Total Check Stubs:							

Check Register Report For Genoa Charter Township
 For Check Dates 11/27/2020 to 11/27/2020

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/27/2020	FNBCK	13398	BOROWIEC, RICHARD B	133.00	122.82	0.00	Open
11/27/2020	FNBCK	13399	BUTLER, SAUNDRA S	518.00	478.37	0.00	Open
11/27/2020	FNBCK	13400	SEBASTIAN, PAUL J	133.00	117.17	0.00	Open
11/27/2020	FNBCK	EFT513	FLEX SPENDING (TASC)	826.79	826.79	0.00	Open
11/27/2020	FNBCK	EFT514	INTERNAL REVENUE SERVICE	23,638.49	23,638.49	0.00	Open
11/27/2020	FNBCK	EFT515	PRINCIPAL FINANCIAL	3,056.00	3,056.00	0.00	Open
11/27/2020	FNBCK	EFT516	PRINCIPAL FINANCIAL	2,036.56	2,036.56	0.00	Open

Totals:		Number of Checks: 007	30,341.84	30,276.20	0.00
Total Physical Checks:		3		Dir. Dep.	
Total Check Stubs:		4		<u>70,174.35</u>	

100,450.55

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
11/12/2020	5072	AT&T LONG DISTANCE	77.06
11/18/2020	5073	AMERICAN AQUA	1,352.23
11/18/2020	5074	AT&T	208.72
11/18/2020	5075	CITY ELECTRIC SUPPLY	24.27
11/18/2020	5076	CONSUMERS ENERGY	190.25
11/18/2020	5077	COOPER'S TURF MANAGEMENT LLC	398.00
11/18/2020	5078	DUBOIS-COOPER	5,008.00
11/18/2020	5079	GENOA TOWNSHIP D.P.W. FUND	725.41
11/18/2020	5080	GENOA TWP DPW FUND	43,218.39
11/18/2020	5081	GENOA TWP DPW FUND	14,103.00
11/18/2020	5082	GENOA TWP DPW FUND	1,555.00
11/18/2020	5083	HARTLAND SEPTIC SERVICE, INC.	335.00
11/18/2020	5084	HOWELL HARDWARE	7.38
11/18/2020	5085	HUBBELL, ROTH & CLARK, INC	1,844.18
11/18/2020	5086	HYDROCORP	225.00
11/18/2020	5087	MISS DIG SYSTEM, INC	1,466.88
11/18/2020	5088	STATE OF MICHIGAN	1,300.05
11/18/2020	5089	TLS CONSTRUCTION	2,621.00
11/18/2020	5090	UIS SCADA	220.50
11/19/2020	5091	GENOA TWP OAK POINTE SEWER BOND	102,772.75
11/23/2020	5092	AT&T LONG DISTANCE	51.38
11/23/2020	5093	BRIGHTON ANALYTICAL LLC	185.00
11/23/2020	5094	CONSUMERS ENERGY	215.46

592FN TOTALS:

Total of 23 Checks:	178,104.91
Less 0 Void Checks:	0.00
Total of 23 Disbursements:	178,104.91

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
11/12/2020	5108	SPIRIT OF LIVINGSTON	60.24
11/12/2020	5109	WEX BANK	2,772.51
11/16/2020	5110	POSTMASTER	288.42
11/17/2020	5111	ADVANCE AUTO PARTS	297.34
11/17/2020	5112	AUTO-LAB OF LIVINGSTON	138.52
11/17/2020	5113	BOB'S TIRE & AUTO SERVICE, INC	986.64
11/17/2020	5114	CHASE CARD SERVICES	3,031.34
11/17/2020	5115	GIFFELS WEBSTER	1,470.00
11/17/2020	5116	MWEA	50.00
11/17/2020	5117	RANDY'S SERVICE STATION	671.00
11/17/2020	5118	TETRA TECH INC	4,567.50
11/17/2020	5119	USABLUBOOK	328.67
11/17/2020	5120	VERIZON WIRELESS	703.74
11/17/2020	5121	VICTORY LANE QUICK OIL CHANGE	82.23
11/17/2020	5122	WINDSTREAM	45.15
11/23/2020	5123	MILLIKEN MOBLE SERVICES LLC	4,523.21

503FN TOTALS:

Total of 16 Checks:	20,016.51
Less 0 Void Checks:	0.00
Total of 16 Disbursements:	20,016.51

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
11/12/2020	3865	DTE ENERGY	41.09
11/17/2020	3866	BRIGHTON ANALYTICAL LLC	536.00
11/17/2020	3867	COOPER'S TURF MANAGEMENT LLC	428.00
11/17/2020	3868	ETNA SUPPLY COMPANY	400.50
11/17/2020	3869	GENOA TWP DPW FUND	11,937.91
11/17/2020	3870	GENOA TWP DPW FUND	4,080.00
11/17/2020	3871	GENOA TWP DPW FUND	683.04
11/17/2020	3872	GENOA TWP DPW FUND	14.31
11/17/2020	3873	HARTLAND SEPTIC SERVICE, INC.	1,050.00
11/23/2020	3874	BRIGHTON ANALYTICAL LLC	67.00
11/23/2020	3875	CONSUMERS ENERGY	15.00
11/23/2020	3876	SYSTEMS SPECIALTIES	115.15

593FN TOTALS:

Total of 12 Checks:	19,368.00
Less 0 Void Checks:	0.00
Total of 12 Disbursements:	19,368.00

178,104.91+
 20,016.51+
 19,368.+
 217,489.42*+



Manage your account online at: www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

December 2020						
S	M	T	W	T	F	S
29	30	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31	1	2
3	4	5	6	7	8	9

New Balance
\$3,031.34
 Minimum Payment Due
\$35.00
 Payment Due Date
12/01/20

INK CASH(SM) POINT SUMMARY

Previous points balance	46,086
+ 1 Point per \$1 earned on all purchases	3,032
+ 2Pts/\$1 gas stns, rsints, ofc sply, hm impr	422
- Points redeemed this statement period	46,086
Total points available for redemption	3,454

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number: [REDACTED]

Previous Balance	\$2,598.04
Payment, Credits	-\$2,598.04
Purchases	+\$3,031.34
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$3,031.34
Opening/Closing Date	10/08/20 - 11/07/20
Credit Limit	\$20,000
Available Credit	\$16,968
Cash Access Line	\$1,000
Available for Cash	\$1,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

MAILED
11-19-20

ENTERED 11/12/20

ALLSYS - 503 - 000 - 034 - 000
 UTILITY DEPT.
 NOV 12 2020
 RECEIVED

J/S
11/12/2020



Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
10/19	MARATHON PETRO194621 HOWELL MI DPW truck	1.00 ✓
11/03	MILAN SUPPLY CO 517-552-1702 MI MHO G	1,361.01 ✓
11/04	MARATHON PETRO194621 HOWELL MI DPW. tool/Supplies	19.98 ✓
11/04	STAPLES 00107730 BRIGHTON MI DPW	189.99 ✓
11/05	Amazon.com*2808Q7861 Amzn.com/bill WA DPW truck ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$1626.26	54.28 ✓
10/07	TECHNICAL LEARNING CONSUL 928-4680665 AZ DPW. class prof dev.	200.00 ✓
10/16	OWPSACSTATE 916-278-6142 CA DPW- conf/ class prof dev.	138.00 ✓
10/15	ORKIN LLC 002 877-620-8282 GA DPS (Leadford)	264.00
10/20	TECHNICAL LEARNING CONSUL 928-4680665 AZ DPW- prof dev.	100.00
10/26	MEIJER # 172 HOWELL MI G.O. JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$713.47	11.47 ✓
10/14	REDEMPTION CREDIT	-460.86 ✓
10/16	Payment ThankYou Image Check	-2,137.18
10/30	DMI* DELL HLTHCR/REL 800-274-1650 TX G.O	625.65 ✓
11/04	RINGCENTRAL, INC 650-4724100 CA DPW phone GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$1906.43- INCLUDING PAYMENTS RECEIVED	65.96 -

2020 Totals Year-to-Date	
Total fees charged in 2020	\$0.00
Total interest charged in 2020	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate
(d) = Daily Balance Method (including new transactions)
(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.



Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

December 2020						
S	M	T	W	T	F	S
29	30	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31	1	2
3	4	5	6	7	8	9

New Balance
\$752.36
 Minimum Payment Due
\$150.00
 Payment Due Date
12/10/20

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number:	[REDACTED]
Previous Balance	\$74.05
Payment, Credits	-\$376.05
Purchases	+\$1,054.36
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$752.36
Opening/Closing Date	10/17/20 - 11/16/20
Credit Limit	\$20,000
Available Credit	\$19,247
Cash Access Line	\$1,000
Available for Cash	\$1,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

ENTERED NOV 30 2020



Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
10/20	OFC EQUIP MACH SHOP 877-336-6877 IN	-151.00
10/20	OFC EQUIP MACH SHOP 877-336-6877 IN	-151.00
10/28	Payment ThankYou Image Check	-74.05
10/19	LANDS END BUS OUTFITTERS 800-332-4700 WI	537.54
10/21	OTTERBOX/LIFEPROOF 970-493-8446 CO	84.72
11/11	NEOPOST 800-636-7678 CT	279.46
11/14	Amazon.com*201R12JO1 Amzn.com/bill WA	52.65
11/14	Amazon.com*200GC1C22 Amzn.com/bill WA	99.99
	MICHAEL C ARCHINAL	
	TRANSACTIONS THIS CYCLE (CARD 3223) \$678.31	
	INCLUDING PAYMENTS RECEIVED	

OS
OS
RAM
RAM
OS
RAM
RAM

2020 Totals Year-to-Date	
Total fees charged in 2020	\$0.00
Total interest charged in 2020	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

- (v) = Variable Rate
- (d) = Daily Balance Method (including new transactions)
- (a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

RAM 237.36 101-265-775-000
OS 817.00 - 302.00 515.00 101-284-727-000

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
November 16, 2020

MINUTES

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, and Terry Croft, Jim Mortensen and Diana Lowe and three persons in the audience.

A Call to the Public was made with no response.

Consent Agenda:

Moved by Lowe and supported by Mortensen to approve the Consent Agenda and move the Payment of Bills to the Regular Agenda for discussion. The motion carried unanimously.

2. Request to Approve Minutes: November 2, 2020

Regular Agenda:

Moved by Ledford and supported by Mortensen to approve for action all items listed under the Regular Agenda as requested. The motion carried unanimously.

1. Payment of Bills.

Moved by Mortensen and supported by Ledford to approve the payment of bills and request additional information on a check made payable to Pivot Point Partners. The motion carried unanimously.

3. Issuance of the Oath of Office to the newly-elected Genoa Township Board.

Skolarus delivered the Oath of Office to Supervisor Bill Rogers, Treasurer Robin Hunt, Trustee Diana Lowe, Trustee Jim Mortensen, Trustee Jean Ledford, and Trustee Terry Croft; Skolarus congratulated them on their re-election to the Genoa Charter Township Board.

4. Receive budget presentation and Genoa Township participation rates from Tim Church, Director Howell Area Parks and Recreation Authority.

Mr. Church provided a proposed budget for the 2021 season with revenues totaling \$1,238,693.00 and a Township Participation fee of \$110,000.00 (an increase of \$5,000.00 from the previous year) with demographics of participation. Moved by Lowe and supported by Hunt to receive the budget as presented. The motion carried unanimously.

5. Request for approval of the Emergency Management Resolution 201116 as requested by the Assessor.

Moved by Ledford and supported by Lowe to approve the Emergency Management Resolution with the following changes:

- Genoa Township should be changed to Genoa Charter Township
- The roll call vote should include Jean Ledford
- Page 11 – the spelling of Jim Mortensen’s name should be corrected
- Page 3 - Article 1: add resolution # after - this Resolution, No. 201116,
- Page 8 - fix typo #6 last sentence should read shall no longer be in effect

The motion carried by carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers Nays – None.

6. Request to approve the Inter-Governmental Agreement for the Designated Assessor.

Moved by Lowe and supported by Hunt to designate Debra Rojewski as the Assessor in Genoa Charter Township and approve the Inter-Governmental Agreement as requested. The motion carried unanimously.

Correspondence

- Hunt supplied a graph that will be included in the next tax mailing showing where your tax dollars go after they are paid to Genoa Township
- Skolarus provided the board with correspondence related to Dominion Voting Systems that stated that there were no deleted or changed votes in that voting software.
- Archinal provided a notice that Waste Management has now acquired Advanced Disposal, thus are hauler will be changing back to Waste Management, although the company name is not proposed to change. Advanced Disposal will now be a subsidiary of Waste Management. Hunt raised the issue that all of the carts have been paid for by the Township and should remain in service.

Member Discussion:

Rogers – This building was sanitized this morning; we will be back to 50/50 staffing for the next four weeks; the December meeting is expected to be virtual (electronic).

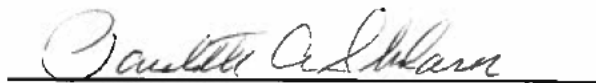
Moved by Mortensen and supported by Croft to adjourn the Regular Meeting of the Board at 7:15 p.m.



Paulette A. Skolarus, Clerk
Geno Charter Township

RESOLUTION DECLARED ADOPTED.

I hereby certify that the foregoing Emergency Management Resolution No. 201116 constitutes a true and complete copy of a resolution adopted by the Township Board of Genoa Charter Township, County of Livingston, State of Michigan, at a regular meeting held on Nov. 16, 2020.



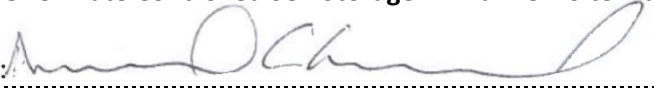
Paulette A. Skolarus, Clerk
Genoa Charter Township



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director
DATE: December 1, 2020
RE: Premier Climate Controlled Self Storage – Final PUD Site Plan

MANAGERS REVIEW: 
.....

Attached please find the final PUD site plan submittal for phase 1 of the Premier redevelopment planned unit development (RDPUD). The site is located at the northwest corner of Grand River Avenue and Lawson Drive, south of Whitehorse Drive. This phase entails a 37,275 square foot (ground floor area) building for use as climate-controlled indoor storage and also includes exterior site improvements to vehicular access, parking, landscaping, lighting, the gas station building façade, and site engineering for the overall PUD property.

Earlier this year, the Township granted rezoning to a Redevelopment Planned Industrial District and approved the conceptual PUD site plan, PUD Agreement and Impact Assessment for the project. This first phase was recommended for approval by the Township Planning Commission on November 9th, 2020. My review of the revised submittal was focused on compliance with the outstanding items discussed at the Planning Commission and in response I suggest Board consideration of the following:

IMPACT ASSESSMENT

Moved by _____, Supported by _____, to APPROVE the environmental impact assessment dated September 28, 2020.

FINAL PUD SITE PLAN

Moved by _____, Supported by _____, to APPROVE the Final PUD Site Plan printed on November 19, 2020 subject to the following:

1. The lot combination of the parcels as depicted on the site plan shall be completed prior to issuance of a land use permit for the project.
2. Construction plan review and EGLE Permits will be required by the MHOG and GO Water and Sewer Authorities for the water and sanitary sewer.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford
H. James Mortensen
Terry Croft
Diana Lowe

MANAGER

Michael C. Archinal

- 3. Utility Easements for the water and sanitary sewer shall be provided prior to issuance of the land use permit for the building.**
- 4. A performance guarantee as provided by section 21.03 of the Zoning Ordinance shall be provided for the required sidewalk on the north side of Whitehorse Drive prior to issuance of a land use permit for the building.**

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

Kelly VanMarter
Assistant Township Manager/Community Development Director



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

RECEIVED 8-31-2020

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: BMH Realty, LLC, 775 N. Second St, Brighton, MI 48116
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: BMH Realty, LLC, 775 N. Second St, Brighton, MI 48116

SITE ADDRESS: 4525 E. Grand River PARCEL #(s): see below

APPLICANT PHONE: (810) 494-2169 OWNER PHONE: ()

OWNER EMAIL: bmaynes@corriganoil.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Site is located at the corner of Grand River and Lawson Drive. The project is situated surrounding the existing Sunoco station. A vacant former pool store and fence company occupy the west edge of the site.

BRIEF STATEMENT OF PROPOSED USE: The owner plans a mixed-use project for the entire site. A drive-inside climate controlled building and other improvements to the overall site layout are in the current site plan.

THE FOLLOWING BUILDINGS ARE PROPOSED: Site improvements to be constructed at this time include a 37,275 sq ft pre-engineered building which will be upfit with storage equipment and a mezzanine structure for a drive through climate controlled self storage building and rental office. Small flex office spaces will also be included in the building.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____


ADDRESS: 775 N. Second St, Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Wayne Perry, P.E. of Desine Inc. at waynep@desineinc.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 8-29-2020
PRINT NAME: Mike Corrigan - BMH Realty, LLC PHONE: 810-494-2169
ADDRESS: 775 N. Second St, Brighton, MI 48116



November 19, 2020

Ms. Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Re: BMH-Premier PUD – Site Plan

Dear Ms. VanMarter;

We have revised the BMH-Premier PUD site plan and construction drawings to address conditions provided by the Planning Commission as a part of their recommendation for approval. The following revisions and corrections have been provided on the revised site plan and supporting drawings:

- The plan has been revised to depict looped parking space markings in accordance with current Genoa Township requirements. A detail has been provided on sheet DT2.
- A note has been added to the lighting sheet specifying the removal and replacement of under canopy lighting in conformance with current Genoa Township specifications.
- Landscape plant list has been revised to correct the number of Ninebark to 54 as depicted on the plans. A total of 36 Dark Green Arborvitae are depicted and called out on the plant list, 15 on sheet L-1 and 21 on sheet L-2.
- Sheet A-6 has been added to the plan set.

We are submitting revised plans for consideration and approval by the Genoa Township Board during their upcoming meeting. Should you have questions pertaining to the revised plans, please contact me at your convenience.

Respectfully,

DESINE INC.


Wayne M. Perry, P.E.

Encl. – Site Plan – dated 11-19-2020

183450\Site Plan resubmittal ltr 11-19-2020

- The Planning Commission agrees to waive the requirements of Section 12.02.13.4 for landscaping inasmuch as it is a secluded parking lot in an industrial area.
- All requirements of the Township Engineer October 5, 2020 letter shall be met.

The motion carried unanimously.

OPEN PUBLIC HEARING # 3...Review of a final PUD site plan and environmental impact assessment for the “Premier Genoa Planned Unit Development” phase 1 involving a 37,275 sq. ft. climate controlled indoor storage building and related site improvements. The site is located at 4525 and 4433 E. Grand River at the northwest corner of Grand River Ave. and Lawson Drive. The request is petitioned by BMH Realty, LLC.

A. Recommendation of Impact Assessment (9-28-2020)

B. Recommendation of Final PUD Site Plan (9-28-2020)

Mr. Wayne Perry of Desine, Inc. was present to represent the applicant. The PUD was approved by the Township Board and they are now seeking approval of Phase. The proposal is exactly the same as what was proposed during the PUD plan presentation.

Phases II and III of the PUD, which are the retail building and the drive thru restaurant near the west of the site will be graded and landscaped with grass in their entirety to match the PUD plan.

Mr. Borden reviewed his letter dated October 19, 2020

1. The overall site plan layout for Phase 1 – buildings, circulation, and parking – is consistent with the approved Conceptual PUD Site Plan.
2. The proposed building elevations and materials are consistent with the approved Conceptual PUD Site Plan.
3. Sheet A-6, which includes building material calculations, was not included in the materials submitted to our office and should be provided.
4. The Heximer PUD requires sidewalks along road frontages. Given the proposal for off-site storm water management, a sidewalk along the north side of White Horse is required.
5. Parking spaces must include looped striping.
6. He suggests the applicant replace the gas station canopy lighting with LED fixtures that reduce the illumination levels.
7. Based on our review, there is an inconsistency in the quantity of two types of shrub plantings.
8. The applicant should be aware that a sign permit will be required from the Township prior to the installation of any new signage.

Mr. Perry would like this sidewalk installed when the property is fully developed. It would be a sidewalk from nowhere to nowhere. All Commissioners agree with Mr. Perry.

With regard to the gas station, Mr. Vince DeAngelis of BMH Realty stated that they are not the owner of the gas station. Sunoco is a national brand. He is not sure if this would be possible. Vice Chairman Rauch asked the petitioner to provide details of the proposed building upgrades for the gas station. Mr. Dan Borstein of SVI Properties reviewed the changes and provided

proposed building samples, which will be the same as the storage building. All commissioners agree that the lights should be changed per Mr. Borden's suggestion.

Mr. Markstrom stated that all of his concerns have been addressed.

The Fire Marshal's letter dated October 13, 2020 noted there is a discrepancy in the impact assessment related to the Impact on Public Facilities and Services. It refers to the addition of a single fire hydrant to meet fire protection capabilities to be located along Whitehorse Drive and there are actually three fire hydrants being added to the project, one at the East and the West side of the property in addition to the one specified in the assessment.

The call to the public was made at 9:28 pm with no response

Moved by Commissioner Mortensen, seconded by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment dated September 28, 2020 for BMH Premier Genoa at 4525 and 4433 E Grand River Avenue. **The motion carried unanimously.**

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to recommend to the Township Board approval of the final PUD Site Plan for the BMH Premier Genoa at 4525 and 4433 E Grand River, subject to the following:

- The building materials and samples presented this evening are acceptable and will become Township property.
- A sidewalk will be required on the north side of White Horse Drive and will be permissible to be postponed, but a bond shall be provided to the Township in a form and amount acceptable to Township staff.
- Parking spaces must include looped striping.
- The canopy lighting on the existing gas station shall be brought into compliance with current ordinance standards.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter stated there are no cases scheduled for the December meeting.

There was a discussion of possibly moving the meetings to Zoom format due to the increased COVID-19 cases in the county.

Approval of the October 13, 2020 Planning Commission meeting minutes

Needed changes were noted.

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the October 13, 2020 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

October 19, 2020

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	BHM-Premier Genoa – Final PUD Site Plan Review #1
Location:	4525 and 4433 E. Grand River Avenue – northwest corner of Grand River and Lawson Drive
Zoning:	GCD General Commercial District and RDPUD Redevelopment Planned Unit Development Overlay

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from BHM Realty, LLC requesting final PUD site plan review/approval for Phase 1 of their redevelopment PUD (plans dated 9/28/20).

A. Summary

1. The overall site plan layout for Phase 1 – buildings, circulation, and parking – is consistent with the approved Conceptual PUD Site Plan.
2. The proposed building elevations and materials are consistent with the approved Conceptual PUD Site Plan.
3. Sheet A-6, which includes building material calculations, was not included in the materials submitted to our office.
4. We request the applicant present building material and color samples to the Commission.
5. The Heximer PUD requires sidewalks along road frontages. Given the proposal for off-site stormwater management, a sidewalk along the north side of White Horse is required.
6. Parking spaces must include looped striping.
7. We suggest the applicant replace the gas station canopy lighting with LED fixtures that reduce the illumination levels.
8. Based on our review, there is an inconsistency in the quantity of two types of shrub plantings.
9. The applicant should be aware that a sign permit will be required from the Township prior to the installation of any new signage.

B. Proposal/Process

The applicant requests site plan review/approval for Phase 1 of their Redevelopment PUD. The Township recently approved the RDPUD overlay zoning, Conceptual PUD Site Plan, and PUD Agreement for the project.

Phase 1 entails a 37,275 square foot (ground floor area) building for use as climate-controlled indoor storage, which is a principal permitted use per the PUD Agreement.

The proposal also includes exterior site improvements to vehicular access, parking, landscaping, lighting, the gas station building façade, and site engineering for the overall PUD property.

Procedurally, the Planning Commission is put forth a recommendation to the Township Board on the final PUD site plan.



Aerial view of site and surroundings (looking north)

C. Review

We have reviewed the final PUD site plan in accordance with the applicable provisions of the Genoa Township Zoning Ordinance, as well as the PUD Agreement for this project.

- 1. Dimensional Requirements.** As shown in the table below, the site plan complies with the dimensional requirements for this PUD:

	Property		Minimum Yard Setbacks (feet)			Max. Lot Coverage (%)	Max. Height
	Lot Area	Lot Width	Front Yard	Rear Yard	Parking Lot		
GCD / RDPUD	5 acres (PUD)	150 (GCD)	50 Grand River 59 Lawson 35 White Horse	60 (W)	20 front 10 side/rear	40% building 85% impervious	35'
Proposed	5.12 acres	578	50 Grand River 115 Lawson 35 White Horse	130	22 front 10.5 rear	20.6% building 57.6% impervious	33'

- 2. Building Design and Materials.** The project includes the proposed climate-controlled indoor storage building, as well as façade improvements to the existing gas station/convenience store building.

The proposed building includes brick, simulated wood paneling, metal panels, glass (windows and spandrel), EIFS, and a CMU base around the entire building.

Improvements to the existing gas station/convenience store building include placement of new simulated wood paneling over the existing EIFS on the front and rear, new paneling atop the existing vertical block columns, and painting of remaining materials.

The proposed elevations and materials for both buildings are consistent with the approved Conceptual PUD Site Plan; however, there are references to material calculations on Sheet A-6, which was not included with the materials submitted to our office.

Lastly, we request the applicant present building material and color samples to the Commission for their consideration as part of this review.

3. Vehicular Circulation. There will be 4 ingress/egress points to the subject property:

- The existing curb cut for the gas station on Grand River;
- Use of the existing curb cut for the adjacent bank on Grand River via shared/cross access;
- Improvement to the existing curb cut on Lawson; and
- A new curb cut on White Horse, west of the proposed building.

The number and location of vehicular access points is consistent with the approved Conceptual PUD Site Plan, though the drive approaches along Lawson and White Horse have been widened to accommodate a left turn lane for vehicles exiting the site.

Internal drive aisles meet or exceed Ordinance standards, and are consistent with the approved Conceptual PUD Site Plan.

The applicant will need to address any technical comments provide by the Township Engineer or Brighton Area Fire Authority.

4. Pedestrian Circulation. The project includes a reconfigured sidewalk along Grand River, as well as new public sidewalks along Lawson and White Horse. An easement will be provided for those portions of the sidewalks that are on the subject property (and not within the public right-of-way).

Internal sidewalks are also provided between the new parking areas and the proposed building (south, east, and west sides).

Lastly, the project includes use of land to the north across White Horse (within the Heximer PUD) for stormwater management purposes. The PUD Agreement for that development requires construction of sidewalks along all frontages.

5. Parking. Phase 1 includes 53 parking spaces for the climate-controlled storage building and the gas station/convenience store. The total includes 3 barrier-free spaces, which meets Ordinance standards.

The layout and size of parking spaces complies with the applicable Ordinance standards; however, spaces are to include looped striping, per Section 14.06.07.

6. Lighting. The lighting plan includes 17 pole mounted fixtures around the site, including 2 mounted to existing poles (gas station property), as well as 9 wall mounted fixtures around the perimeter of the proposed building.

The 15 new pole fixtures are to be mounted at a height of 27 feet, while the 2 existing poles will have fixtures mounted at 18 feet. The wall mounted fixtures are all at a height of 18 feet.

All of the new lighting is in the form of LED fixtures that are downward directed and provide compliant illumination readings (both internal to the site and along property lines).

The plan also depicts 16 existing fixtures mounted underneath the gas station canopies (8 on each side). The illumination readings from these fixtures greatly exceed Ordinance standards. Based on review of aerial photos of the site, these fixtures also appear to be quite dated.

As part of this project, we suggest that the applicant replace the gas station canopy lighting with LED fixtures that reduce the illumination levels, thereby bringing the site closer to compliance with current Ordinance standards.

- 7. Landscaping.** The Phase 1 landscape plan (Sheets L-1 through L-4) is consistent with the approved Conceptual PUD Site Plan, which allowed fewer greenbelt trees along Grand River and Lawson in exchange for additional greenbelt trees along White Horse.

Our only additional comment on the landscape plan is that we were unable account for some of the shrubs listed in the plant schedule on Sheet L-3. More specifically, the table lists 36 Dark Green Arborvitae and 63 Summer Wine Ninebark, though we found only 21 and 54, respectively.

- 8. Signage.** The site plan includes a new monument sign for the development in the southwest portion of the site (along Grand River) with space for 3 businesses.

The proposed monument sign complies with the setback, height, and area regulations of Article 16.

The plan also includes retention of the existing gas station price sign, as well as a directional sign at the White Horse driveway.

Footnote 3 of Table 16.1 allows 2 monument signs for corner lots.

The applicant should be aware that a sign permit will be required from the Township prior to the installation of any new signage (including the proposed monument sign and any future wall signage).

- 9. Waste Receptacle/Enclosure.** Phase 1 includes 3 waste receptacles – on the east and west sides of the proposed building, and another to the south. The locations are consistent with the approved Conceptual PUD Site Plan.

Details on Sheet DT2 identify the use of a concrete base pad and masonry enclosure for each receptacle, as required by Section 12.04.

- 10. Impact Assessment.** The submittal includes an Impact Assessment (dated August 5, 2020).

In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT STUDIO



Brian V. Borden, AICP
Planning Manager

October 14, 2020

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Premier Genoa PUD
Site Plan Review No. 4**

Dear Ms. Van Marter:

Tetra Tech conducted a fourth review of the proposed Premier Genoa PUD site plan last dated September 28, 2020. The plans and impact assessment were submitted by Desine Inc. on behalf of Premier Genoa LLC. The site consists of six partially developed parcels totaling 5.12 acres at 4525 E Grand River Avenue at the northwest quadrant of the Lawson Drive and Grand River Avenue intersection. The petitioner is proposing to retain the existing Sunoco gas station and develop 37,275 net rentable square feet of self-storage space. Site improvements will include the extension of the existing 8-inch water main on the northwest corner of the site and extending municipal water and sanitary sewer services to the proposed buildings.

The revised site plan addressed our previous comments and we have no further engineering related concerns regarding the proposed site plan. The proposed water main will be public infrastructure and will require construction plan review and EGLE permitting through MHOG after site plan approval.

Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

October 13, 2020

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Premier PUD Final - Indoor Storage
Lawson/Whitehorse Dr.
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Authority has reviewed the above-mentioned site plan. The plans were received for review on October 7, 2020, and the drawings are dated September 28, 2020. The project is a 5.12-acre site comprising six parcels to be used for the proposed redevelopment and construction of a two-story IIB construction 74,500 square foot climate-controlled storage (S-1) structure with accessory office space. The existing gas station will remain and will undergo minor renovation. This plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. A discrepancy was noted in the impact assessment related to the Impact on Public Facilities and Services. It refers to the addition of a single fire hydrant to meet fire protection capabilities to be located along Whitehorse Dr. There are actually three fire hydrants being added to the project, one at the East and the West side of the property in addition to the one specified in the assessment.

Additional comments will be given during the building plan review process specific to the building, life safety fire protection systems. Submittals for all required fire protection systems shall be pro prior to permitting issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org

62



2020R-036768
RECORDED ON
10/15/2020 01:32:23 PM
BRANDON DENBY
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI 48843
RECORDING: 26.00
REMON: 4.00
PAGES: 62

STATE OF MICHIGAN
COUNTY OF LIVINGSTON
GENOA CHARTER TOWNSHIP

PLANNED UNIT DEVELOPMENT AGREEMENT

THIS PLANNED UNIT DEVELOPMENT AGREEMENT ("Agreement") is made and entered into on this 14th day of OCTOBER, 2020, by BMH Realty, L.L.C., a Michigan limited liability company, 775 N. Second Street, Brighton, Michigan 48116 ("Owner"), and GENOA CHARTER TOWNSHIP, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 (referred to as "Township").

WHEREAS, Owner owns real property located in the Charter Township of Genoa, County of Livingston, State of Michigan, and more particularly described on Exhibit A attached hereto ("Property"). There is an existing gas station and two retail buildings located within the Property. The balance of the Property is vacant. Owner intends to develop the Property as a planned unit development.

WHEREAS, Owner has submitted to the Township a request for rezoning of the Property to Redevelopment Planned Unit Development ("RDPU"), including all Conceptual Submittal items set forth in Section 10.05 of the Township Zoning Ordinance, including, but not limited to, proof of ownership of the Property; a completed application and application fee; an impact assessment meeting the requirements of Article 18 of the Township Zoning Ordinance, a copy of which is attached hereto as Exhibit B ("Impact Assessment"); this Agreement; drawings of at least 24" x 36", containing a cover sheet, a plan sheet of existing conditions, a parallel plan, and a conceptual PUD plan sheet, a copy of which drawings are attached to this Agreement as Exhibit C ("PUD Plan").

WHEREAS, the Charter Township of Genoa Planning Commission ("GPC") has reviewed the PUD Plan, conducted a public hearing on March 9, 2020, and recommended approval of the Conceptual PUD Site Plan to the Charter Township of Genoa Board of Trustees ("Township Board") and Livingston County Planning Commission ("LCPC") on March 9, 2020.

WHEREAS, on May 20, 2020, the LCPC conducted a public hearing on the requested Conceptual PUD Site Plan, and recommended approval to the Township Board on May 20, 2020.

WHEREAS, Owner made revisions to incorporate conditions noted by the GPC and LCPC, if any, and submitted required copies to the Township, providing sufficient time for review prior to the Township Board meeting.

15 OCT '20 PM 12:29
RCUD

WHEREAS, the Township Board conducted a public hearing on the PUD rezoning, PUD Plan and PUD Agreement on July 6, 2020, and provided conceptual approval of these documents pursuant to Section 10.04.01 of the Township Zoning Ordinance on July 6, 2020.

WHEREAS, Owner has submitted to the Township all Final PUD Site Plan Submittal items set forth in Section 10.06 of the Township Zoning Ordinance, including, but not limited to, the PUD Plan containing all materials required by Article 18 of the Township Zoning Ordinance; an Impact Statement; a Traffic Impact Statement; a hydrologic impact assessment, a final copy of this Agreement (collectively the "Final Plan"), and all required fees.

WHEREAS, the GPC and Township Board actions set forth above have been taken in strict compliance with the Township Zoning Ordinance and with Act 110 of the Public Acts of 2006, as amended, and have rezoned the Property as an RDPUD, finding that such classification properly achieved the purposes of Article 10 of the Township's Zoning Ordinance, as amended, including the encouragement of innovation in land use, compatibility with adjacent uses, the promotion of efficient provision of public services and utilities, the reduction of adverse traffic impacts, and the provision of adequate employment. Further, the GPC and Township Board find the RDPUD, the PUD Plan, and this Agreement are consistent with the adopted Master Plan.

WHEREAS, the Township Board has found and concluded that the uses and future development plans and conditions shown on the approved PUD Plan and as set forth herein are reasonable and promote the public health, safety and welfare of the Township, and that they are consistent with the plans and objectives of the Township and consistent with surrounding uses of land for reasons including, but not limited to, the following:

- a. the Property has been previously developed for the purpose of a commercial, office, or industrial use, and redevelopment of the site will be an enhancement to the site and surrounding area;
- b. all buildings on the site are proposed to be removed or renovated;
- c. a use permitted within the underlying zoning district is proposed;
- d. the Township has determined that flexibility in dimensional standards is necessary to allow for innovative design in redeveloping a site with constraints and where a clear public benefit is being derived;
- e. to encourage flexibility and creativity consistent with the intent of the PUD, the Township is permitting specific departures from the requirements of the Zoning Ordinance as a part of the approval process;
- f. For all deviations, the Township has found that the deviation shall result in a higher quality of development than would be possible using conventional zoning standards;
- g. a parallel plan was provided showing how the site could be redeveloped without the use of the PUD;
- h. a table was provided on the site plan that specifically details all deviations from the zoning regulations, including ordinance provisions from which deviations are sought, the reasons the deviations are necessary and mechanisms to be utilized to mitigate any impacts; and
- i. The permitted deviations are consistent with the intent of the Township's PUD ordinance.

NOW, THEREFORE, OWNER AND TOWNSHIP, in consideration of the mutual promises contained in the Agreement, HEREBY AGREE AS FOLLOWS:

ARTICLE I. GENERAL TERMS OF AGREEMENT

- 1.1 The Township and Owner acknowledge and represent that the recitations set forth above are true, accurate and binding on the respective parties.
- 1.2 The Township acknowledges and represents that the zoning of the Property as RDPUD, regulated by the PUD Plan and this Agreement may be relied upon for future land use and development of the Property by Owner, its successors, assigns and transferees. This Agreement is for the benefit of the Property, and shall run with the Property, and shall bind and inure to the benefit of the successors, assigns and transferees of the parties to this Agreement.
- 1.3 The PUD Plan, attached as Exhibit C, has been approved by the Township in accordance with its authority granted by the Genoa Charter Township Zoning Ordinance, The Michigan Zoning Enabling Act, being MCL 125.3101, et seq, and the Michigan Planning Enabling Act, being MCL 125.3801, et seq, subject to the terms of this Agreement.
- 1.4 Deviations from the Township Zoning Ordinance shall be permitted as set forth in this Agreement or the PUD Plan, or as otherwise be agreed upon by the Township and the Owner. Changes to the PUD Plan and/or PUD Agreement shall be processed as set forth in the Zoning Ordinance and this Agreement.
- 1.5 All improvements constructed in accordance with this Agreement and the PUD Plan shall be deemed to be conforming under the Township Zoning Ordinance and in compliance with all other ordinances of the Township.
- 1.6 The approval of the PUD Plan shall be subject to the conditions set forth herein, inclusive of Exhibits.
- 1.7 All common areas and features, such as walkways, signs, lighting and landscaping, will be maintained by Owner, and financed on a pass-through basis to tenants through Owner's standard lease.
- 1.8 The construction, improvement and maintenance of all streets and necessary utilities (including public water, wastewater collection and treatment) to mitigate the impacts of the PUD project through construction shall be performed by the Owner, or sufficient performance bond given by the Owner to assure such construction.

ARTICLE II. LAND USE AUTHORIZATIONS

- 2.1 In addition to the uses set forth in the PUD Plan, uses listed in the GCD zoning classification of the Township Zoning Ordinance shall be allowed subject to the applicable permitted or special land use regulations, as well as those uses set forth on Exhibit D attached hereto.
- 2.2 The PUD Plan identifies the location and configuration of the currently-proposed structures that may be developed on the Property subject to the following:

- A. Owner shall be permitted to adjust the size or shape of the various parcels and/or the size or configuration of the proposed buildings within the parcels, as set forth in, and in compliance with, the Township's Code of Ordinances.
 - B. The buildings identified on the PUD Plan are flexible use buildings that may be converted to retail, office or other uses in the future, provided that such uses are permitted under this Agreement.
- 2.3 The timing of development of the PUD shall be in compliance with the Charter Township of Genoa Code of Ordinances, but otherwise as determined by the Owner.
- 2.4 Owner shall have the right to develop the Property as a commercial condominium project by following the procedures required by Michigan law and any applicable Township ordinances. Owner shall additionally retain the right to apply to the Township for one or more lot splits that comply with Michigan law, Township Ordinances and the PUD Plan.

ARTICLE III. CURB CUTS AND OFF-SITE TRANSPORTATION IMPROVEMENTS

- 3.1 The number and general location of entrances to the site from adjacent public thoroughfares shall be as identified on the PUD Plan.

ARTICLE IV. INTERNAL ROAD NETWORK

- 4.1 The internal system of private roads or drives shall be as identified on the PUD Plan.

ARTICLE V. DRAINAGE

- 5.1 Storm drainage from the Property shall be managed by means of an off-site retention basin to be developed by Owner on the adjacent property shown on the PUD Plan, with permission of the owner of that property. Owner has obtained the necessary easements to improve, utilize, maintain and repair the off-site retention basin (the "Basin"), and to access the Basin across White Horse Drive.

ARTICLE VI. SITE IMPROVEMENTS

- 6.1 There shall be a coordination of site improvements within the overall Property, with the objective of creating site improvements that are integrated and mutually supportive among the respective portions of the development, including the utilities, landscaping and lighting, as more specifically set forth in the PUD Plan.
- 6.2 Comprehensive and interconnected pedestrian walkways shall be constructed as shown on the PUD Plan contemporaneously with construction of the building they are designed to serve.
- 6.3 Site elements, including site design and landscaping to diminish the prominence of parking lots as viewed from public roads and parking lot configuration, shall be constructed as shown on the PUD Plan.

- 6.4 The Township shall grant to Owner and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PUD Plan, provided the Owner has complied with any and all legally-applicable requirements for such permits and authorizations, including paying any required fees. Any applications for permits or authorizations from the Township shall be processed by the Township in the customary manner.
- 6.5 All trees and woodlands will be preserved as shown on the PUD Plan, or replaced on a caliper-for-caliper basis, as more fully set forth in the PUD Plan.

ARTICLE VII. DESIGN OF BUILDING AND SIGNS

- 7.1 The architecture, building materials, colors and shapes of all buildings shall be consistent with the building elevations attached to this Agreement as Exhibit E and otherwise conform to the Zoning Ordinance.
- 7.2 All signs shall be permitted as authorized in the Zoning Ordinance. Any permitted sign shall have a base constructed of materials that coordinate with and are consistent with the architecture of the building, unless mounted directly on the building. The primary sign text of wall-mounted signs shall use channel-cut lettering, with the exception of ancillary logos or "pill box" messages which shall consist of not more than 25% of the sign area.
- 7.3 The landscaping within the PUD shall demonstrate consistency in terms of design and materials. Parking lot, street and walkway lighting shall be consistent throughout the PUD and comply with the Zoning Ordinance.

ARTICLE VIII. UTILITIES

- 8.1 All buildings that require plumbing must connect to the municipal water system and municipal sanitary sewer system. The internal water and sewer main plan shall be completed and approved with the site plan. The Township does not guarantee public utility availability without adequate planning and approval of the Township Engineer.
- 8.2 Fees, charges and costs for utilities shall be as set forth in the Genoa Township Equivalent User Table as applicable and as may be amended from time to time.

ARTICLE IX. MISCELLANEOUS

- 9.1 This Agreement may not be modified, replaced, amended or terminated without the prior written consent of the parties to this Agreement. With respect to any portion of the Property owned by Owner, the Owner and the Township shall be entitled to modify, replace or amend this Agreement without the consent of any other person or entity, regardless of whether such person or entity now or hereafter has any interest in any part of the Property, including subsequent purchasers, tenants, mortgagees, or others, unless

required by Federal, State or local law or ordinance. Amendments and deviations, whether minor or major, shall be made in compliance with the procedures set forth in the Charter Township of Genoa Code of Ordinances at the time the amendment or deviation is sought. Nothing whatsoever provided in this Agreement shall be construed so as to prevent Owner from seeking major and/or minor changes to the PUD Plan in accordance with the applicable provisions of the Zoning Ordinance.

- 9.2 With the exception of Paragraph 9.1, reference in this Agreement to activities by the Owner in relation to development is intended to include Owner's transferees and assigns unless context dictates to the contrary.
- 9.3 In the event of any direct conflict between the specific terms and provisions of this Agreement (including the attached PUD Plan) and the provisions of the Zoning Ordinance, or other Township ordinances, rules or regulations, the provisions of this Agreement shall control. To the extent that this Agreement is silent as to an issue, that issue shall be governed by the provisions of the Zoning Ordinance, including, but not limited to, a) requirements for temporary outdoor sales and temporary outdoor events permitted by right under Exhibit D, b) procedural requirements for approval of special land uses permitted by Exhibit D.
- 9.4 In the event a portion of the Property is submitted for site plan approval, and such approval is denied, the party submitting such site plan shall be entitled to appeal such decision to the Zoning Board of Appeals as provided by law.
- 9.5 The undersigned parties acknowledge that the conditions imposed upon the development of the Property are reasonable conditions necessary to ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to protect the natural environment and conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Further, it is acknowledged that the conditions meet all of the requirements of Section 503 of Public Act 110 of 2006, MCL 125.3503.

THE PARTIES have executed this Planned Unit Development Agreement on the dates set below their names, to be effective on the date set on the first page of this agreement.

(REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK)

GENOA CHARTER TOWNSHIP
a Michigan municipal corporation

By: Bill Rogers, Bill Rogers
Its: SUPERVISOR

STATE OF MICHIGAN)
)SS
COUNTY OF LIVINGSTON)

This Amendment was acknowledged before me in LIVINGSTON County, Michigan, this 14th day of OCTOBER, 2020, by BILL ROGERS, the SUPERVISOR of Genoa Charter Township, a Michigan municipal corporation, on behalf of the corporation.

KELLY VANMARTER
Notary Public, Livingston County, MI
My Commission Expires March 8, 2027


Kelly VanMarter
KELLY VANMARTER, Notary Public
LIVINGSTON County, Michigan
My Commission Expires: 3/8/2027
Acting in the County of LIVINGSTON

BMH REALTY, L.L.C.
a Michigan limited liability company

Michael B. Corrigan
By: Michael B. Corrigan
Its: Member

STATE OF MICHIGAN)
)SS
COUNTY OF Livingston)

This Amendment was acknowledged before me in Livingston County, Michigan, this 12th day of October, 2020, by Michael B. Corrigan, the Member of BMH Realty, L.L.C., a Michigan limited liability company, on behalf of the company.

[Signature]
_____, Notary Public
_____, Michigan
My Commission Expires: Livingston
Acting in the County of 03/08/2025 

DRAFTED BY AND WHEN RECORDED
RETURN TO:
Bradford L. Maynes, Esq.
Corrigan Oil Company
775 North Second Street
Brighton, Michigan 48116

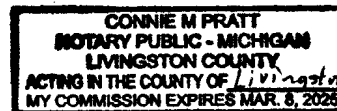


Exhibit A

Property Description

Real estate situated in the Township of Genoa, County of Livingston, State of Michigan, described as:

Part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point South 2°24' West 636.58 feet from the North quarter corner of said Section 9; thence South 2°24' West 172.53 feet; thence South 60°0' East 141.66 feet along the Northerly right of way line of Grand River; thence North 30°0' East 200.00 feet; thence North 72°0' West 226.54 feet to the point of beginning.

Commonly known as: 4483 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-005

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along the Northerly right-of-way of Grand River Avenue, 141.66 feet to the point of beginning of the parcel to be described; thence North 30°00'00" East 200.00 feet; thence South 60°00'00" East 274.00 feet; thence South 25°32'20" West 217.67 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along the Northerly right-of-way 289.86 feet to the point of beginning.

Commonly known as: 4525 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-010 and 4711-09-200-015

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along said Northerly right-of-way of Grand River Avenue, 431.52 feet to the point of beginning of the parcel to be described; thence North 25°32'20" East 217.67 feet; thence South 64°27'40" East 106.63 feet; thence South 05°09'00" West 23.38 feet; thence South 16°19'00" West 210 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along said Northerly right-of-way 148.90 feet to the point of beginning.

Commonly known as: 4533 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-014

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977,

459.11 feet to the point of beginning of the parcel to be described; thence South 67°30'00" East 612.00 feet; thence South 05°09'00" West 205.00 feet; thence North 64°27' 40" West 106.63 feet; thence North 60°00'00" West 274.00 feet; thence North 72°00'00" West 226.54 feet; thence North 02°24'00" East 77.47 feet to the point of beginning.

Commonly known as: 1098 Lawson Road, Howell, MI
PARCEL ID NO. 4711-09-200-016

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West 459.11 feet; thence South 67°33'00" East 501.50 feet to the point of beginning; thence South 03°14'18" West 177.38 feet; thence South 64°26'59" East 121.69 feet; thence- South 16°19'00" West 210.00 feet; thence North 19°06'45" East 232.36 feet; thence North 13°44'25" East 192.25 feet; thence North 8 19°06'45" West 44.87 feet±; thence North 67°33'00" West 110.50 feet to .the point of beginning.

Commonly known as: 4525 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-017

Exhibit B
Impact Assessment

**BMH – PREMIER GENOA PUD
Genoa Township, Michigan
Site Plan Application**

IMPACT ASSESSMENT

Owner:
BMH Realty, L.L.C.
775 N. Second Street
Brighton, Michigan 48116

Prepared by:
DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

BMH – PREMIER PUD

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed building additions and parking expansion on the surrounding community and the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The site is comprised of six parcels, containing a total of 5.12 acres of property, bordered on the North by White Horse Drive, Lawson Drive on the East, Grand River Avenue on the South and the Lake Trust Credit Union to the West, as shown on Figure 1. The Southeasterly four parcels are zoned General Commercial (GCD) district, the Southwesterly Parcel is zoned Office Service (OSD) district, and the North Parcel is split zoned with the East 1/2 zoned GCD and the West 1/2 zoned OSD.

The property currently contains three buildings and related improvements. An existing fuel station with a 2,670 square foot convenience store building, parking lot and storm water basin is located on the two center parcels. A 7,900 square foot commercial building, occupied by the Total Pool Supplies and Service, is located on the Southeast parcel. The Northeast parcel contains a 2,440 square foot industrial building, with a fenced outdoor storage yard, currently home to Security Access Controls and Fence Company. A residential home and related improvements, located on the Westerly parcel, were previously removed. The Existing Conditions Plan provides a detailed overview of the existing site features.

The BMH-Premier PUD development plan depicts proposed site improvements to be constructed on the site. Improvements consist of A 37,275 sq ft multi-purpose, adaptive use building, currently proposed to be up-fit with equipment to operate a drive-through, climate controlled building, with the potential for small flex-office spaces for rent, a 7,000 sq ft building appropriate for use for office, retail, restaurant, or a mix of those uses, a 2,336 sq ft out parcel pad suitable for use for retail or drive through fast food or other commercial use, and the existing gas station with a convenience store and related (existing) ancillary propane and kerosene sales. Additionally, the PUD plan features new parking areas, access drives, a storm water management system, lighting, landscaping and related site improvements.

Access to the property from Grand River Avenue and from Lawson Drive is provided through existing drives to the fuel station and convenience store. New access drives are proposed on White Horse Drive, in the Northeast portion of the project, and connection to the existing cross-access drive to Lake Trust Credit Union, located at the Southwest corner

BMH – PREMIER PUD

of the site. The development will provide 102 parking spaces, including 6 barrier free accessible spaces, are to be developed on the site. Appurtenant features including commercial access drives, drive aisles, unloading/loading area, sidewalks and landscaping are also presented in the site plan. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

Adjacent uses include the Lake Trust Credit Union to the West and the DTE Service Center to the Northeast. Property to the North and East of the site is currently vacant. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

C. IMPACT ON NATURAL FEATURES

Natural features on the subject parcel consist of re-established field grasses and shrub/scrub brush on the Westerly portion of the property. Existing topography of the site is generally flat to gently sloping terrain. The elevation of the property varies from an elevation of 991 at the Westerly property line, to approximately 986 at the Southeast corner of the parcel. Surface water drainage on the property generally flows to the Southeast.

Existing soils on the property are primarily Miami loam. These soils are generally moderately drained, moderately permeable, loams. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and “Soil Survey of Livingston County”. The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed construction and improvements will require filling and grading in the Southeast portion of the property, filling the existing storm water basin and modifications to site elevations on the Northwest corner of Lawson Drive and Grand River. Excavation will be required to construct the proposed storm water retention system proposed on the North side of White Horse Drive.

The limits of disturbance have been depicted on the grading plan. Grading for this project will maintain the general character of the existing site. Development of this project will require earthwork to construct to proposed retention basin and modify site grades with useable materials from the site, requiring the exporting of excess soil and importing of additional structural fill material. The proposed elevations and grading of the site mesh with the existing grades at the property lines.

Landscaping is proposed for the developed portion of the site to reduce the visual impact of the proposed project. All proposed landscaping areas meet or exceed the planting requirements of Genoa Township’s current Zoning Ordinance and have been designed to improve the aesthetics of the property. Within the developed portion of the site, areas not otherwise covered, shall have lawn or other vegetative surface cover established.

Surface drainage characteristics on the property will be affected by the construction of the proposed building expansions and parking lots. Construction of the proposed improvements will reduce the permeable area of the property resulting in an increase in the surface water runoff generated. A storm water management system has been designed to

collect and control the surface water runoff, reducing the discharge rate from the property and increasing the infiltration of surface water runoff.

The proposed changes and modifications to the surface drainage conditions will not significantly impact local aquifer characteristics or groundwater recharge capacity. All surface water runoff from the site will be directed into the proposed retention basin to be constructed North of White Horse Drive. Reduction in the surface permeability will affect onsite infiltration, surface water flow path and duration. Surface water runoff from the development will be reduced and no significant impact to adjacent properties are anticipated from the proposed construction and re-development of the site.

Upland wildlife habitats on the property are minimal and consist of primarily field grass and shrub/scrub brush areas in the Northwest portion of the property. Wildlife supported in this area is generally smaller field animals and birds. Previous development and the existing use of the property, the adjoining developments and the proximity of Grand River, limits the existing upland habitat.

The project site does not currently support any significant wildlife habitat and the proposed construction will not have a significant impact on overall habitat quality. No significant adverse impact to natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

Excavation and grading will be undertaken to construct the proposed stormwater retention basin. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed sedimentation basin and retention basin. Site grading will mesh with existing grades on adjoining properties. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

Surface water runoff generated from all improved areas of the site will be collected by catch basins, conveyed through a storm sewer system, and discharged to the sedimentation and retention basin located on the North side of White Horse Drive. Storm water will be retained within the basin during a storm event and will infiltrate into the ground.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be installed around a majority of the site during construction. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

Surrounding land uses to the North of the site, on the North side of White Horse Drive, zoned Mixed-Use Planned Unit Development (MU-PUD), consists of an industrial user and vacant property. Land to the East is zoned Non-Residential Planned Unit Development (NR-PUD) and is vacant. Land to the South, zoned Non-Residential Planned Unit Development (NR-PUD) and Industrial (IND), contains a mix of commercial and industrial users including an auto wash and Reuland Electric Company. Property to the West is the Lake Trust Credit Union, zoned Mixed-Use Planned Unit Development (MU-PUD).

The Genoa Township Future Land Use Plan designates this property for General Commercial uses. The surrounding property is designated for a mix of General Commercial, Neighborhood Commercial and Medium Density Residential uses.

The proposed uses depicted on the development plan are consistent with existing development in the area and are generally consistent with the long-term planning within the Township.

The landscaping and architecture proposed will allow this site to be developed to compliment the surrounding properties. The impact of the improvements to the surrounding area has been minimized.

Ambient noise levels on and around the property are largely generated by Grand River vehicle traffic. Daily activities within the proposed building are not anticipated to create an increase in the sound level in the area.

All site lighting shall meet the requirements of the Genoa Township Zoning Ordinance. Proposed building mounted fixtures and pole mounted site lighting will be shielded and down directed on the site. The existing fuel station and convenience store lighting shall be on from dusk until dawn. General site lighting for other uses, excluding safety and emergency lighting, shall be energized between the times from dusk to 12:01 a.m. and from 5:00 a.m. to dawn.

The building façade along the building front (South side) and the East side elevations are most visible from Grand River. The East and West ends of the storage building provide primary entrance features. The storage building is designed to grant vehicular access into and out of the respective East and West ends of the building. The entire length of the building is designed with a 30' wide drive and parking aisle through the building, reducing demand for exterior onsite parking needs and eliminating the need for any outdoor parking and loading areas to access the building for pick up and delivery of stored items.

HVAC units serving the multi-purpose facility are placed inside of the building eliminating unsightly large heating and cooling mechanical equipment typically located either on rooftops or outside within landscaped buffers, which if placed on the available area outside of the building these mechanicals would be seen along White Horse Drive or Lawson Drive. The proposed interior placement reduces visibility by drivers accessing nearby residential neighborhoods and indoor placement of the HVAC lessens the total height and

mass of the structure.

The proposed use of the property does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department as a part of an existing governmental agreement will provide fire protection service. A fire hydrant will be constructed on the property within the White Horse Drive Right-of-way to provide adequate fire protection capabilities. The building is provided with an internal fire suppression system. A Fire Department Connection is located near the Northwest corner of the building along with a Knox box and required address labeling to meet the Fire Departments requirements. No significant increase in fire protection services are anticipated as a result of the proposed use.

The property is accessed from Grand River, White Horse Drive and Lawson Drive, providing adequate access for emergency vehicles. A wide drive aisle on the West side of the building will serve as a fire access lane between Grand River and White Horse Drive.

The proposed uses will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is presently within municipal sewer and water districts and existing buildings are connected to the municipal utilities.

Water service to the storage building is provided from a new water main extension to be constructed along White Horse Drive. A water service lead is connected to this main to supply the building and a fire suppression line is also provided from this main. An easement for repair, maintenance and access are provided for this connecting water main. Capacity is available within the existing water system to provide adequate service to this site.

Sanitary sewer is located along the North side of Grand River. Capacity is available within the existing sanitary sewer system to provide adequate service for the site.

BMH – PREMIER PUD

The site is currently serviced by electric, gas, phone and cable systems located along Grand River Avenue.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. Dumpster enclosures with screen walls are located on the East, South and West sides of the storage building. The enclosures will be constructed decorative CMU material, matching material used on the site and complimenting the adjacent architecture of the building. Additional landscaping is provided in these areas to further enhance the aesthetics of these enclosures.

Delivery services are generally limited to parcel trucks, such as UPS, and similar single axle vehicles. These delivery service providers use available parking and drop off areas during their deliveries. Large vehicles accessing the site will be capable of maneuvering on the proposed access drives around the building and will utilize the proposed storage building for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

The proposed uses within the building will not use, store, generate and/or discharge potentially polluting materials. Small quantities of material such as cleaning products and chemicals may be stored on-site.

I. TRAFFIC IMPACT STUDY

A traffic impact study for the development has been prepared by Rowe Engineering and is submitted with the Site Plan packet. ¹

Pedestrian access to the property is provided by an existing sidewalk along Grand River. A new sidewalk will be constructed along the East side of the property on Lawson Drive. Sidewalks throughout the property provide safe and efficient means for pedestrians to access the various uses within the property.

No adverse impact on pedestrian traffic in the area is anticipated as a result of developing the proposed project.

J. HISTORIC AND CULTURAL RESOURCES

The existing buildings on the property do not have any major historic significance on a local, regional or state level.

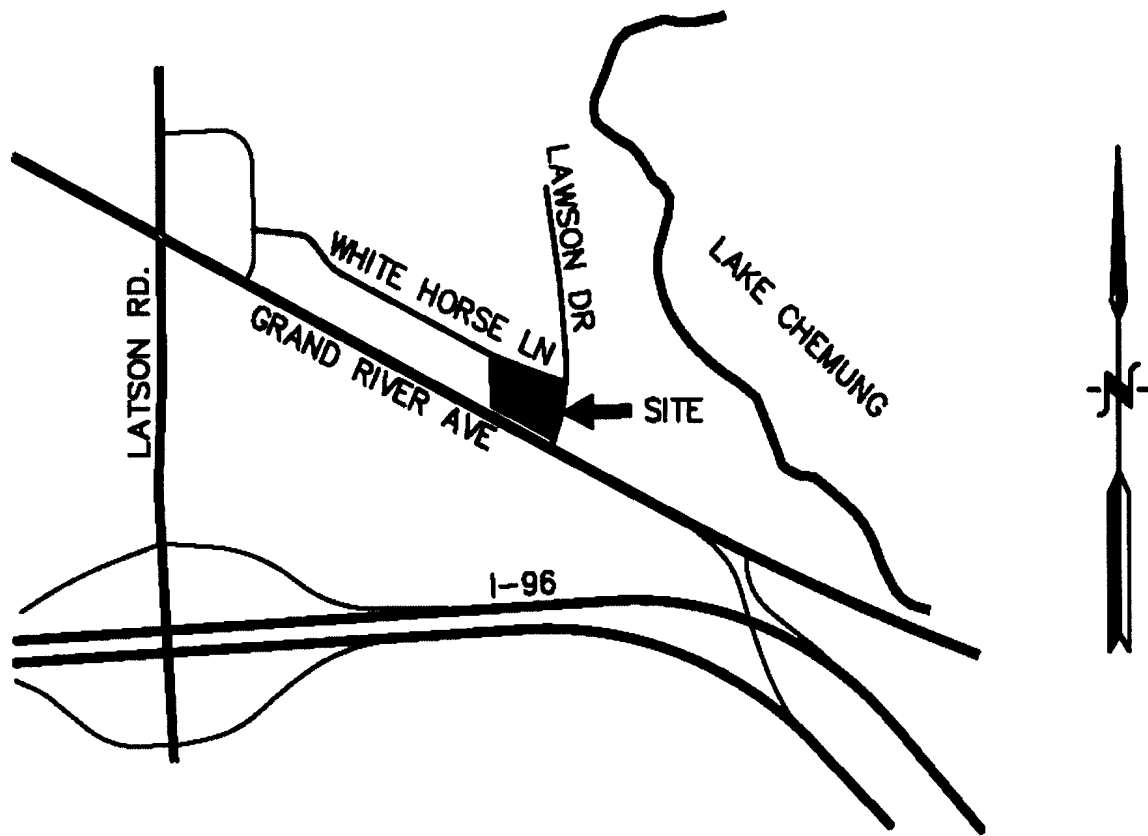
K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

END NOTE

¹ Net difference between development plan analyzed within the Rowe Engineering Traffic Study compared to the PUD plan part of this proposal includes a net 3,100 sq ft reduction in the retail/flex-office out building on the West end of the site and an increase of 2,685 net rentable sf in storage space.

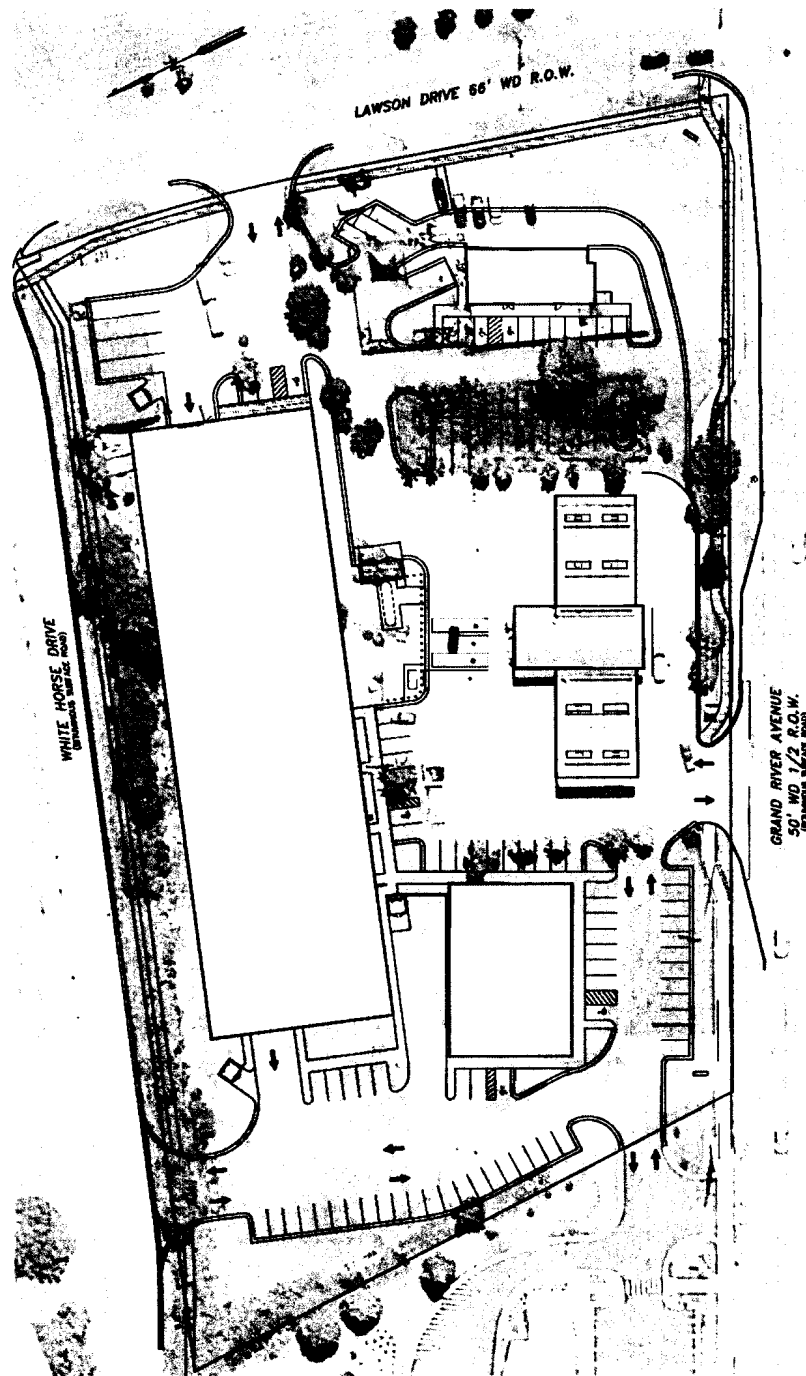
FIGURE 1



LOCATION MAP
NOT TO SCALE

BMH – PREMIER PUD

FIGURE 2
PHOTO DEPICTING SITE IMPROVEMENTS
NOT TO SCALE



BMH – PREMIER PUD

FIGURE 3
SOILS MAP
(NOT TO SCALE)



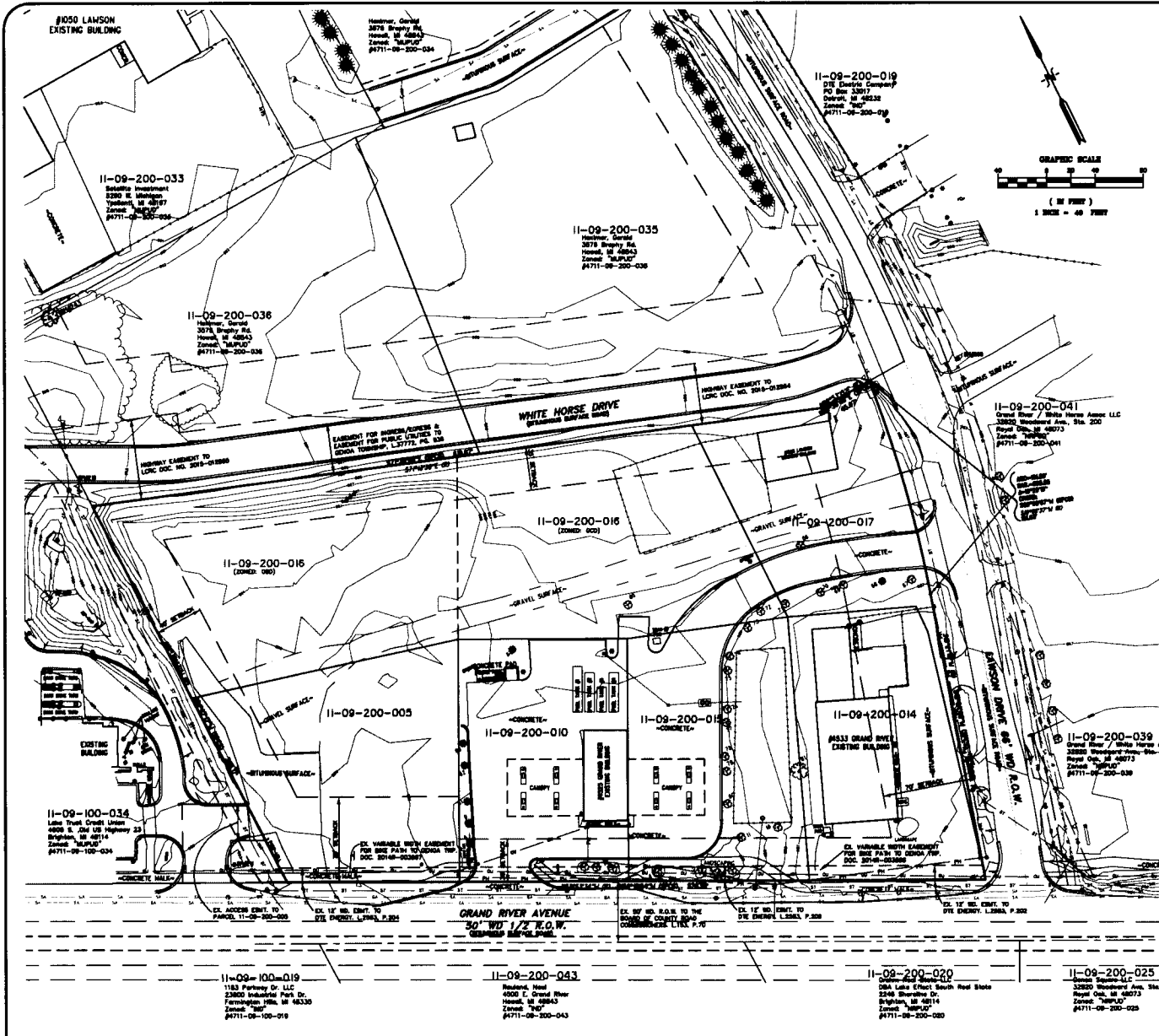
SOILS MAP

Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshtemo loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshtemo loamy sands, 18 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water

BMH – PREMIER PUD

Exhibit C:

PUD Plan



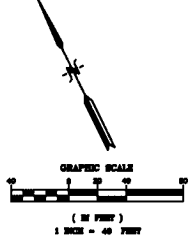
BENCHMARK
 DATUM BASED BY "2008 SPV-46 SOLUTION REPORT", DATED MAY 25, 2004 AT 10.0 0.0

BENCHMARK 000
 CORNER OF HYPERWAY, LOCATED AT LAMSON DRIVE, NORTH OF DRIVE FOR PARCEL.
 (11-09-200-011)
 ELEVATION = 562.00 0.00

BENCHMARK 010
 CORNER OF HYPERWAY, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF DRIVE, PARCEL (11-09-200-004).
 ELEVATION = 562.00 0.00

BENCHMARK 020
 TOP LAST END OF A LINE POLE B.M., LOCATED EAST OF THE SOUTH SIDE ENTRANCE OF PARCEL (11-09-200-004).
 OFF ROAD DRIVE.
 ELEVATION = 562.00 0.00

BENCHMARK 030
 CORNER OF HYPERWAY, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF DRIVE, PARCEL (11-09-200-004).
 OFF ROAD DRIVE.
 ELEVATION = 562.00 0.00



- LEGEND**
- FINC. STRUCTURE GAS LANTERN
 - MALL / FRONTIER MELL
 - BELLMAN
 - FLAG
 - LINE POLE
 - LINE PIVOT / REGULATING LIGHT
 - LIGHT MAST
 - TRAFFIC POLE / TRAFFIC SIGNAL POLE
 - OVERHEAD TRAFFIC SIGNAL
 - UTILITY PETERS & BONES
 - ELECTRIC, GAS, WATER, PHONE, SINK, CITY, S.W. RAIL, S.W. UTIL. BOND
 - AIR CONDITIONER UNIT
 - UTILITY PAVEMENT GAS LANTERN
 - UTILITY POLE / MOUNT WIRE
 - OVERHEAD UTILITY LINES
 - 1/4" UTILITY LINES (UNGRADED) OPTIC / ELECTRIC / CABLE TV / FIBER OPTIC
 - EDGE OF ROADS / TREE SHIP LINE
 - SECONDARY TREE / HANDYTOP
 - CONTIGUOUS TREE / HANDYTOP
 - FENCE
 - CHAIN RAIL
 - EDGE OF DRIVE
 - CONCRETE CURB
 - SANITARY SEWER PAVEMENT / HANDYTOP
 - SANITARY SEWER PIPE
 - CLEAR CUT
 - STORM WATER PAVEMENT / HANDYTOP
 - CATCH BASIN / HANDYTOP
 - CONTROL STRUCTURE
 - FLARED END SECTION
 - STORM WATER DRAINAGE PIPE
 - HYDRANT
 - WATER SHUT OFF
 - WATER GATE VALVE MELL / PAVEMENT
 - WATER VALVE BOX
 - WATER TANK
 - GAS PAVEMENT / MANHOLE COVER
 - GAS SHUT OFF
 - 1/4" GAS
 - F CONTOUR
 - F CONTOUR

- TREE SCHEDULE**
- | NO. | DESCRIPTION |
|-----|----------------|
| 1 | 1" POLE 1" |
| 2 | 2" POLE 2" |
| 3 | 3" POLE 3" |
| 4 | 4" POLE 4" |
| 5 | 5" POLE 5" |
| 6 | 6" POLE 6" |
| 7 | 7" POLE 7" |
| 8 | 8" POLE 8" |
| 9 | 9" POLE 9" |
| 10 | 10" POLE 10" |
| 11 | 11" POLE 11" |
| 12 | 12" POLE 12" |
| 13 | 13" POLE 13" |
| 14 | 14" POLE 14" |
| 15 | 15" POLE 15" |
| 16 | 16" POLE 16" |
| 17 | 17" POLE 17" |
| 18 | 18" POLE 18" |
| 19 | 19" POLE 19" |
| 20 | 20" POLE 20" |
| 21 | 21" POLE 21" |
| 22 | 22" POLE 22" |
| 23 | 23" POLE 23" |
| 24 | 24" POLE 24" |
| 25 | 25" POLE 25" |
| 26 | 26" POLE 26" |
| 27 | 27" POLE 27" |
| 28 | 28" POLE 28" |
| 29 | 29" POLE 29" |
| 30 | 30" POLE 30" |
| 31 | 31" POLE 31" |
| 32 | 32" POLE 32" |
| 33 | 33" POLE 33" |
| 34 | 34" POLE 34" |
| 35 | 35" POLE 35" |
| 36 | 36" POLE 36" |
| 37 | 37" POLE 37" |
| 38 | 38" POLE 38" |
| 39 | 39" POLE 39" |
| 40 | 40" POLE 40" |
| 41 | 41" POLE 41" |
| 42 | 42" POLE 42" |
| 43 | 43" POLE 43" |
| 44 | 44" POLE 44" |
| 45 | 45" POLE 45" |
| 46 | 46" POLE 46" |
| 47 | 47" POLE 47" |
| 48 | 48" POLE 48" |
| 49 | 49" POLE 49" |
| 50 | 50" POLE 50" |
| 51 | 51" POLE 51" |
| 52 | 52" POLE 52" |
| 53 | 53" POLE 53" |
| 54 | 54" POLE 54" |
| 55 | 55" POLE 55" |
| 56 | 56" POLE 56" |
| 57 | 57" POLE 57" |
| 58 | 58" POLE 58" |
| 59 | 59" POLE 59" |
| 60 | 60" POLE 60" |
| 61 | 61" POLE 61" |
| 62 | 62" POLE 62" |
| 63 | 63" POLE 63" |
| 64 | 64" POLE 64" |
| 65 | 65" POLE 65" |
| 66 | 66" POLE 66" |
| 67 | 67" POLE 67" |
| 68 | 68" POLE 68" |
| 69 | 69" POLE 69" |
| 70 | 70" POLE 70" |
| 71 | 71" POLE 71" |
| 72 | 72" POLE 72" |
| 73 | 73" POLE 73" |
| 74 | 74" POLE 74" |
| 75 | 75" POLE 75" |
| 76 | 76" POLE 76" |
| 77 | 77" POLE 77" |
| 78 | 78" POLE 78" |
| 79 | 79" POLE 79" |
| 80 | 80" POLE 80" |
| 81 | 81" POLE 81" |
| 82 | 82" POLE 82" |
| 83 | 83" POLE 83" |
| 84 | 84" POLE 84" |
| 85 | 85" POLE 85" |
| 86 | 86" POLE 86" |
| 87 | 87" POLE 87" |
| 88 | 88" POLE 88" |
| 89 | 89" POLE 89" |
| 90 | 90" POLE 90" |
| 91 | 91" POLE 91" |
| 92 | 92" POLE 92" |
| 93 | 93" POLE 93" |
| 94 | 94" POLE 94" |
| 95 | 95" POLE 95" |
| 96 | 96" POLE 96" |
| 97 | 97" POLE 97" |
| 98 | 98" POLE 98" |
| 99 | 99" POLE 99" |
| 100 | 100" POLE 100" |

ZONING SCHEDULE

PARCEL ID #	EXISTING ZONING	PROPOSED ZONING	SITE AREA (Ac.)
4711-09-200-005	OSD	ROPUD	0.75
4711-09-200-010	GCD	ROPUD	0.64
4711-09-200-014	GCD	ROPUD	0.67
4711-09-200-015	GCD	ROPUD	0.65
4711-09-200-016	GCD&OSD	ROPUD	1.83
4711-09-200-017	GCD	ROPUD	0.58
TOTAL AREA-			6.12

BMH-PRMIER
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLEAS DRIVE
 BRIGHTON, MICHIGAN 48114

Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
 CALL 811 OR 1-800-487-7771
 (TOLL FREE)
 OR VISIT CALL811.COM

DL ENGINE INC.
 (810) 327-8633
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLEAS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN/FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JMS	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
CHECK: WMP						

BMH-PRMIER
P.U.D.

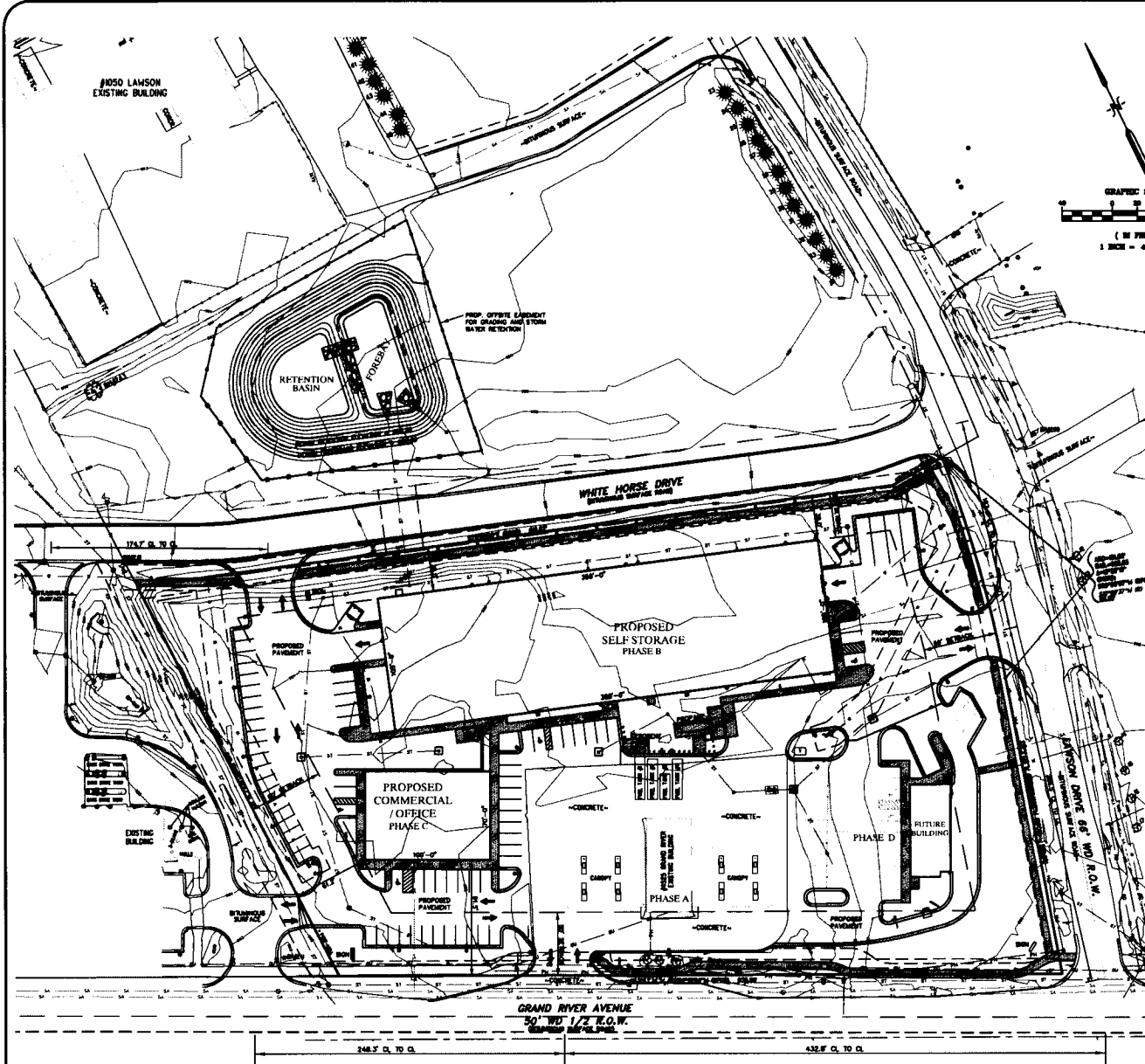
EXISTING CONDITIONS PLAN

CLIENT:
 PREMIER GENCO, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48118

SCALE: 1" = 40'
 PROJECT No.: 183490
 DWG NAME: 3450 EX.
 ISSUED: FEB 14 2020

EX

Livingston County Register of Deeds. 2020R-036768



BENCHMARK
DATA OBTAINED BY THE GPS-HS SOLUTION REPORT, DATED MAY 24, 2024 AT 8:00 AM

BENCHMARK #00
CORNERS OF HYDRAULIC LAYOUT OF LAMSON DRIVE, NORTH SIDE OF DRIVE FOR PARCELS 20-08-008-001
ELEVATION = 66.86 (DATA BD)

BENCHMARK #01
CORNERS OF HYDRAULIC LAYOUT NEAR THE NORTH SIDE OF DRIVE FOR PARCELS 20-08-008-002
ELEVATION = 66.86 (DATA BD)

BENCHMARK #02
TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH SIDE EXTENT OF PARCELS 20-08-008-001, 002, 003, 004
OFF-ROAD DRIVE
ELEVATION = 66.86 (DATA BD)

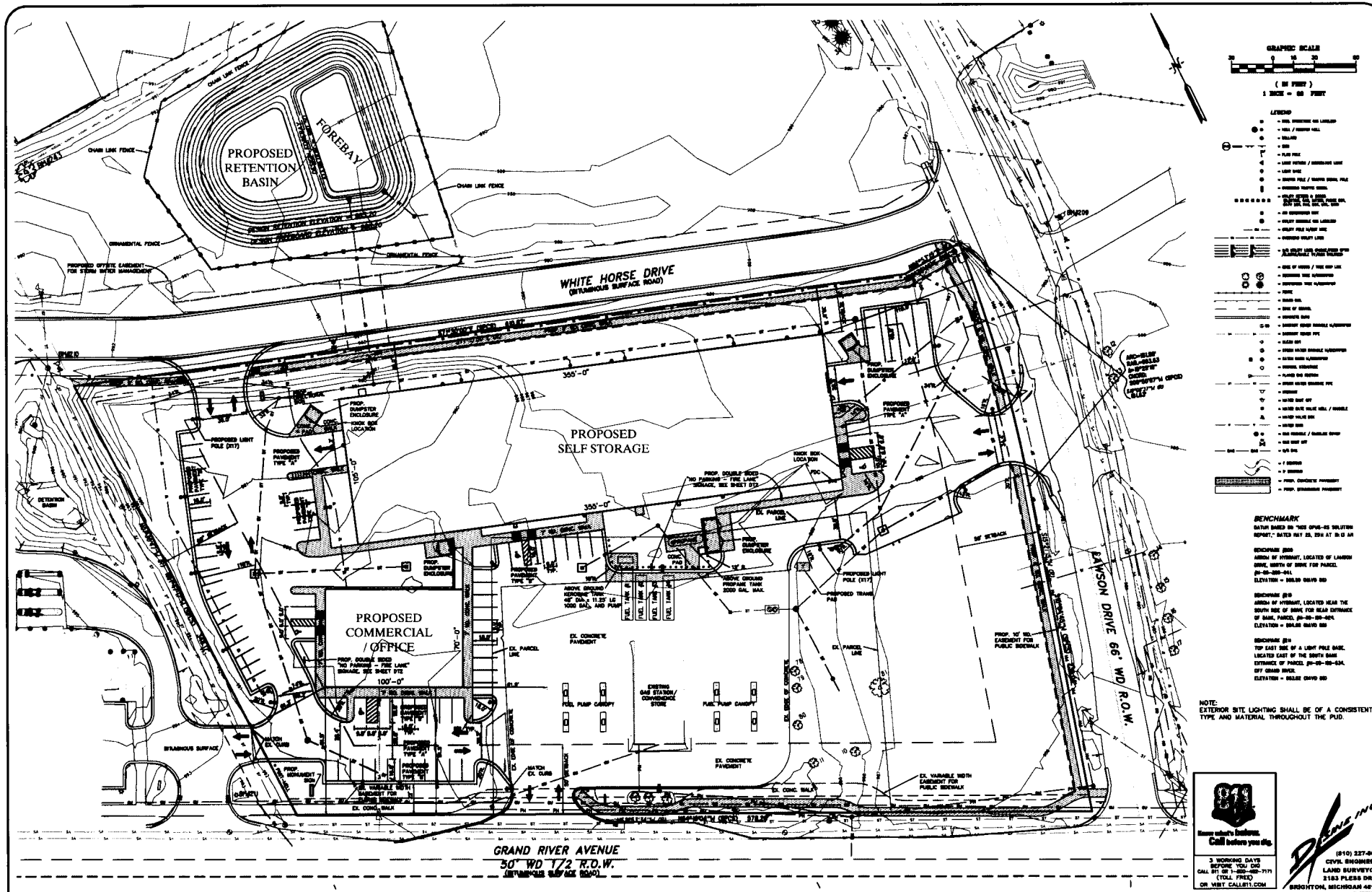
BENCHMARK #03
CORNERS OF HYDRAULIC LAYOUT NEAR THE WEST SIDE OF LAMSON DRIVE, 754 FEET NORTH OF DRIVE FOR PARCELS 20-08-008-001
ELEVATION = 66.86 (DATA BD)



- LEGEND**
- - CONC. STRUCTURE (AS LABELED)
 - - HELL / FOUNTAIN HELL
 - - MOUND
 - - SIGN
 - - FLAP POLE
 - - LIGHT FIXTURE / DECORATIVE LIGHT
 - - LIGHT BASE
 - - OVERHEAD TRAFFIC SIGNAL
 - - TRAFFIC POLE / TRAFFIC SIGNAL
 - - UTILITY METER & BOXES
 - - ELECTRIC, GAS, WATER, PHONE, DIAL, CITY BLDG. REG. BLDG. VTL. USED
 - - AIR CONDITIONER UNIT
 - - UTILITY METER (AS LABELED)
 - - UTILITY POLE (AS LABELED)
 - - OVERHEAD UTILITY LINES
 - - AIR UTILITY LINES (CABLE, FIBER OPTIC, ELECTRIC, GAS, WATER, PHONE, DIAL, CITY BLDG. REG. BLDG. VTL. USED)
 - - SHED OF GARAGE / TREE TRIP LINE
 - - SECONDARY TREE (AS IDENTIFIED)
 - - CONFIRMED TREE (AS IDENTIFIED)
 - - FENCE
 - - CHAIN RAIL
 - - EDGE OF GRAVEL
 - - CONCRETE CURB
 - - SANITARY VENT / MANHOLE (AS IDENTIFIED)
 - - SANITARY VENT PIPES
 - - CLEAN OUT
 - - STORM WATER MANHOLE (AS IDENTIFIED)
 - - CATCH BASIN (AS IDENTIFIED)
 - - CONTROL STRUCTURE
 - - PLUMBING SCHED. SIGN
 - - STORM WATER STRUCTURE
 - - STORM WATER OVERFLOW PIPE
 - - HYDRAULIC
 - - WATER SHUT OFF
 - - WATER GATE VALVE HELL / MANHOLE
 - - WATER VALVE BOX
 - - WATER PUMP
 - - GAS MANHOLE / GASLINE COVER
 - - GAS SHUT OFF
 - - GAS GAS
 - - CUSTOMER
 - - CUSTOMER

MATERIALS & FINISHES SCHEDULE

Item	Quantity	Unit	Notes
Exc. Concrete	1,200	cu. yd.	
Exc. Gravel	500	cu. yd.	
Exc. Earth	150	cu. yd.	
Asph. Paving	100	sq. ft.	
Asph. Seal	50	sq. ft.	
Asph. Underlayment	100	sq. ft.	
Asph. Primer	50	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	50	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph. Surface	100	sq. ft.	
Asph. Drain	100	sq. ft.	
Asph. Sealant	100	sq. ft.	
Asph. Primer	100	sq. ft.	
Asph. Joint Sealant	100	sq. ft.	
Asph. Patch	100	sq. ft.	
Asph. Sand	100	sq. ft.	
Asph. Stone	100	sq. ft.	
Asph. Aggregate	100	sq. ft.	
Asph. Base	100	sq. ft.	
Asph.			



DESIGN/FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
: HIG : WMP	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMITTEE DATED JAN. 2020			
	2	5-08-20	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

**BMH - PREMIER
P.U.D.**

**PROPOSED
SITE PLAN**

CLIENT:
PREMIER GENCO, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48116
810-229-6323

SCALE: 1" = 30'
PROJECT No.: 183450
DWG NAME: 3450 SP
ISSUED: JUNE 8, 2020

SP

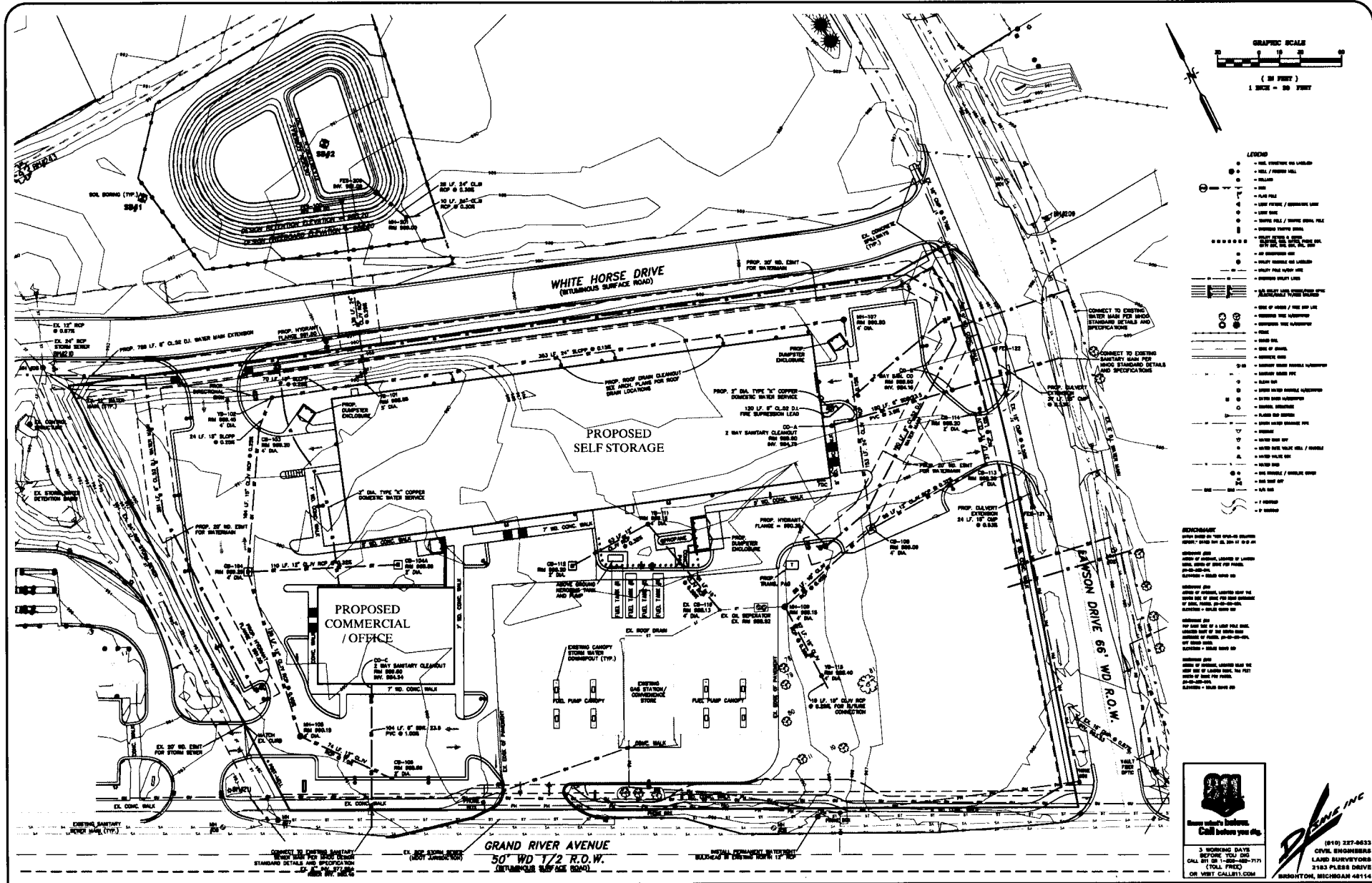
DL

Don't Just Survive.
Call before you dig.

3 WORKING DAYS
BEFORE YOU DIG
CALL US AT 1-800-488-3711
(TOLL FREE)
OR VISIT CALLBE1.COM

(810) 227-6633
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLEAS DRIVE
BRIGHTON, MICHIGAN 48114

DL
INC



DESIGNER	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
FA	1	2-16-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
AND						
WMP						

**BMH - PREMIER
P.U.D.**

**PROPOSED
UTILITY PLAN**

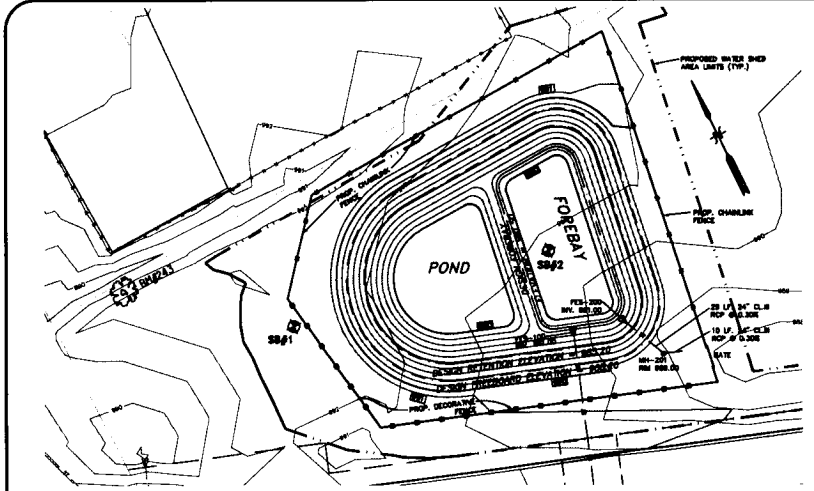
CLIENT:
PREMIER GENCO, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48116
810-229-6323

SCALE: 1" = 30'
PROJECT NO.: 163430
DWG NAME: 3450 UT
ISSUED: 11.14.2020

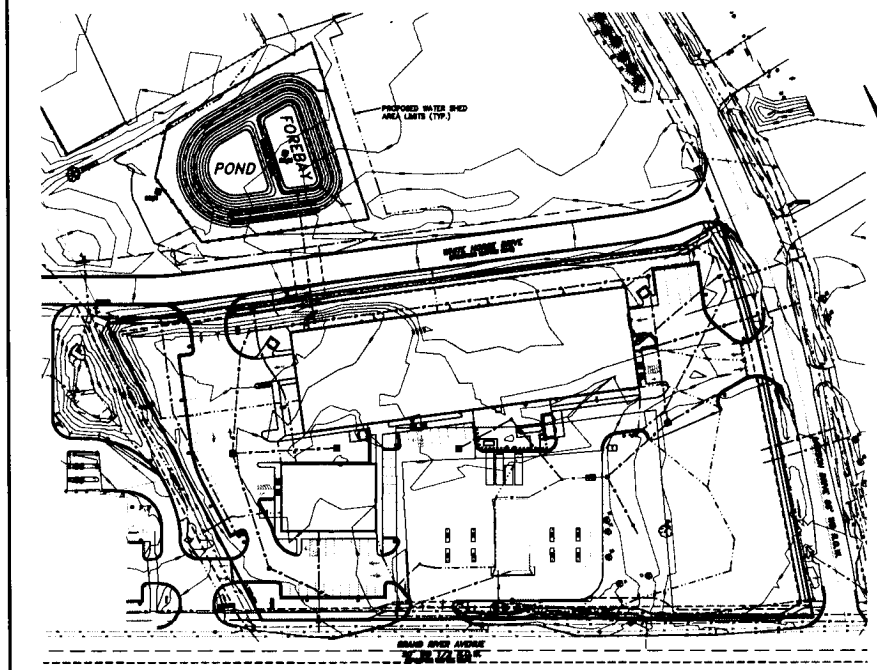
UT

Don't make a mistake. Call before you dig.

(810) 227-6323
CIVIL ENGINEERS
LAND SURVEYORS
 2163 PLEASURE DRIVE
 BRIGHTON, MICHIGAN 48114



RETENTION BASIN DETAIL
SCALE: 1/4" = 30'



WATER SHED PLAN
SCALE: 1/4" = 30'

HARTLEY GEOTECHNICAL GROUP
100 N. HANCOCK ST.
ANN ARBOR, MI 48106
TEL: 734.769.1000
WWW.HARTLEYGEOTECH.COM

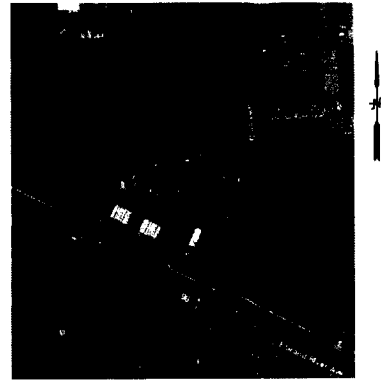
PROJECT: RETENTION BASIN
DATE: 11/13/2019
DRAWN BY: J. B. HARTLEY
CHECKED BY: J. B. HARTLEY

DEPTH (ft)	SOIL TYPE	UNIT WEIGHT (pcf)	COHESION (psf)	ANGLE OF INTERNAL FRICTION (degrees)	ADDITIONAL INFORMATION
0-1	CLAY	120	100	10	Very soft clay
1-2	CLAY	120	100	10	Very soft clay
2-3	CLAY	120	100	10	Very soft clay
3-4	CLAY	120	100	10	Very soft clay
4-5	CLAY	120	100	10	Very soft clay
5-6	CLAY	120	100	10	Very soft clay
6-7	CLAY	120	100	10	Very soft clay
7-8	CLAY	120	100	10	Very soft clay
8-9	CLAY	120	100	10	Very soft clay
9-10	CLAY	120	100	10	Very soft clay

HARTLEY GEOTECHNICAL GROUP
100 N. HANCOCK ST.
ANN ARBOR, MI 48106
TEL: 734.769.1000
WWW.HARTLEYGEOTECH.COM

PROJECT: RETENTION BASIN
DATE: 11/13/2019
DRAWN BY: J. B. HARTLEY
CHECKED BY: J. B. HARTLEY

DEPTH (ft)	SOIL TYPE	UNIT WEIGHT (pcf)	COHESION (psf)	ANGLE OF INTERNAL FRICTION (degrees)	ADDITIONAL INFORMATION
0-1	CLAY	120	100	10	Very soft clay
1-2	CLAY	120	100	10	Very soft clay
2-3	CLAY	120	100	10	Very soft clay
3-4	CLAY	120	100	10	Very soft clay
4-5	CLAY	120	100	10	Very soft clay
5-6	CLAY	120	100	10	Very soft clay
6-7	CLAY	120	100	10	Very soft clay
7-8	CLAY	120	100	10	Very soft clay
8-9	CLAY	120	100	10	Very soft clay
9-10	CLAY	120	100	10	Very soft clay



SOILS MAP

Map Unit Legend

Map Unit Symbol	Map Unit Name	Area in ACF	Percent of ACF
1-1	Common loam, 0 to 4 percent organics	2.1	0.5%
1-2	Silt-loam loam, 2 to 10 percent organics	22.1	62.6%
1-3	Very-weak loam, 0 to 12 percent organics	11.3	31.8%
1-4	Silt-clay, 0 to 10 percent organics	0.1	0.3%
Totals for Area of Interest		35.7	100.0%

RETENTION BASIN CALCULATIONS

Proposed Retention Volume: 7.4 acre-feet (the primary use under this P.U. is for water storage).
 Retention Volume Area: 1.31 (1.11) x 1.88 Acres.
 1. Individual Retention Volume per LECD = (241,710) / (2.7) = 89,522 CF
 2. Round Coefficient Retention Volume = (89,522) / (1.1) = 81,384 CF
 3. Total Retention Volume per LECD = (81,384) x (1.88) = 153,002 CF
 (1.88 = 1.88 acre-feet x 1,233.48 CF/acre-foot)

Retention Basin Volume Calculation

POUND DEPTH (FT)	ELEV.	CONTOUR AREA (SQ. FT.)	INCREMENTAL VOLUME (CU. FT.)	TOTAL VOLUME (CU. FT.)
0.0	882.00	5,809	0	0
1.0	881.00	5,849	5,849	5,849
2.0	880.00	10,278	43,929	49,778
3.0	879.00	13,042	27,564	77,342
4.0	878.00	14,828	17,786	95,128
5.0	877.00	16,262	12,834	107,962
6.0	876.00	17,402	11,140	119,102
7.0	875.00	18,262	8,660	127,762
8.0	874.00	18,912	6,500	134,262
9.0	873.00	19,312	4,340	138,602
10.0	872.00	19,512	2,180	140,782

1. A proposed P.U. shall be a duly approved.
 2. The design retention volume is proposed to be design storage proposed CWR11.
 3. CWR11 is storage volume of proposed retention of approx. 1.11 acre-feet of

Retention Basin Volume Calculation

POUND DEPTH (FT)	ELEV.	CONTOUR AREA (SQ. FT.)	INCREMENTAL VOLUME (CU. FT.)	TOTAL VOLUME (CU. FT.)
0.0	882.00	2,866	0	0
1.0	881.00	2,962	2,962	2,962
2.0	880.00	3,062	5,924	5,924
3.0	879.00	3,162	8,886	8,886
4.0	878.00	3,262	11,848	11,848
5.0	877.00	3,362	14,810	14,810
6.0	876.00	3,462	17,772	17,772

1. A proposed P.U. shall be a duly approved.
 2. The design retention volume is proposed to be design storage proposed CWR11.
 3. CWR11 is storage volume of proposed retention of approx. 1.11 acre-feet of

PROPOSED RETENTION BASIN POUND DEPTH PH1

POUND DEPTH (FT)	ELEV.	CONTOUR AREA (SQ. FT.)	INCREMENTAL VOLUME (CU. FT.)	TOTAL VOLUME (CU. FT.)
0.0	882.00	2,866	0	0
1.0	881.00	2,962	2,962	2,962
2.0	880.00	3,062	5,924	5,924
3.0	879.00	3,162	8,886	8,886
4.0	878.00	3,262	11,848	11,848
5.0	877.00	3,362	14,810	14,810
6.0	876.00	3,462	17,772	17,772
7.0	875.00	3,562	20,734	19,866
8.0	874.00	3,662	23,696	23,696
9.0	873.00	3,762	26,658	27,618
10.0	872.00	3,862	29,620	32,580

PROPOSED RETENTION BASIN POUND DEPTH PH1

POUND DEPTH (FT)	ELEV.	CONTOUR AREA (SQ. FT.)	INCREMENTAL VOLUME (CU. FT.)	TOTAL VOLUME (CU. FT.)
0.0	882.00	2,866	0	0
1.0	881.00	2,962	2,962	2,962
2.0	880.00	3,062	5,924	5,924
3.0	879.00	3,162	8,886	8,886
4.0	878.00	3,262	11,848	11,848
5.0	877.00	3,362	14,810	14,810
6.0	876.00	3,462	17,772	17,772
7.0	875.00	3,562	20,734	19,866
8.0	874.00	3,662	23,696	23,696
9.0	873.00	3,762	26,658	27,618
10.0	872.00	3,862	29,620	32,580

DESIGNER	REVISION #	DATE	REVISION-DESCRIPTION	DESIGNER	REVISION #	DATE	REVISION-DESCRIPTION
BMH	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020				

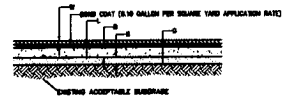
BMH - PREMIER
P.U.D.

PROPOSED RETENTION BASIN
DETAIL AND DRAINAGE
CALCULATIONS

CLIENT: PREMIER GENCO, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48116
810-229-6533

SCALE: AS NOTED
PROJECT NO.: 163490
DWG NAME: 2450 DR.
ISSUED: 11.13.14.2019

GR2



BITUMINOUS PAVEMENT CROSS SECTION
NOT TO SCALE

TYPE "A" CROSS SECTION

REV	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
1	BEARING COURSE	MDOT 3BA	1.5"
2	LEVELING COURSE	MDOT 13A	2.5"
3	ADDRESS BASE	MDOT 25A	8"
4	SHALLASER SURFING	MDOT CLASS 1	7"
5	GRINDING	N/A	N/A

TYPE "B" CROSS SECTION

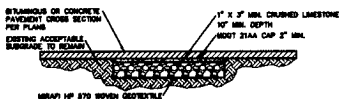
REV	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
1	BEARING COURSE	MDOT 3BA	1.5"
2	LEVELING COURSE	MDOT 13A	1.5"
3	ADDRESS BASE	MDOT 25A	8"
4	SHALLASER SURFING	MDOT CLASS 1	7"
5	GRINDING	N/A	N/A

MINIMUM TOWNSHIP SECTION

REV	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
1	BEARING COURSE	MDOT 3BA	1.5"
2	LEVELING COURSE	MDOT 13A	1.5"
3	ADDRESS BASE	MDOT 25A	8"
4	SHALLASER SURFING	N/A	N/A

BITUMINOUS PAVEMENT NOTES:

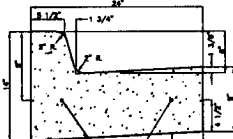
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Driveway and Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 10' influence zone of the roadway, such as rock, peat, topsoil, mud, silt or other unstable materials shall be excavated and replaced to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall provide prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Subsequent repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course.



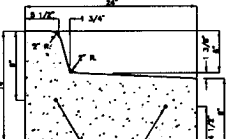
SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION
NOT TO SCALE

PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an excavator or backhoe with a smooth edged driving blade as not to sojourn the underlying soils. Undercut areas shall remain free of all construction trash and equipment to avoid rutting and/or tracking of the underlying soils.
- MDOT HP 570 Woven Geotextile fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 1" minimum size crushed angular limestone to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a 1/2" Track Loader to maintain loading on the underlying soil. Stone fill the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALL the work with strict packing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and off-site disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



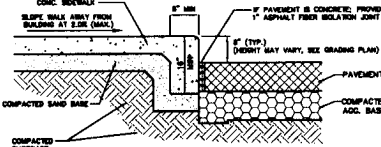
MDOT TYPE F4 CURB
NOT TO SCALE



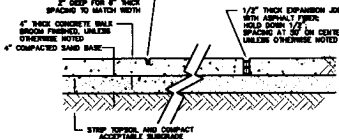
MDOT TYPE F4 CURB REVERSE PITCH
NOT TO SCALE

CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Sub-Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1' face behind the back of curb. Concrete curb shall be constructed on a 10' x 10' combined depth of compacted base/subbase material.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day compressive strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse expansion control joints in concrete curb with 1' minimum depth at 10'-0" on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, using spacing points of intersecting joints and within 10' on each side of each beam. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching outer curb cross section.
- Provide 3" x 3" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of each base castings on curb line. Settings shall be back tamped to structure water tight with concrete or mortar trowel and outside of casting.
- Install curb caps for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-29, latest revision. Install curb caps for all existing and proposed vehicular ramps and drives as indicated on the project plans.



SIDEWALK WITH INTERGRAL CURB & ISOLATION JOINT DETAIL
NOT TO SCALE



SIDEWALK CROSS SECTION
NOT TO SCALE

SIDEWALK CROSS SECTION NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk width may vary. See the Project Plans for the proposed sidewalk width at each location. Install concrete sidewalks with a minimum thickness of 4" maximum thickness at driveways and other areas exposed to vehicular traffic.
- The existing subgrade work shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 10' influence zone of the proposed sidewalk areas, such as rock, peat, topsoil, mud, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class III granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT Class III sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day compressive strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space concrete control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching curb or sidewalk cross section.
- Provide 3" x 3" asphalt fiber control joints between concrete sidewalks and all other concrete structures, such as concrete buildings, foundations, concrete curb and concrete driveways.
- Contractor shall Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County and/or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-29, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to serve hereafter the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certificates shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic control, warning devices, temporary work area markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions, well designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional notes due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the Hill Public Underground Utility Locating System or other appropriate local underground utility locating Agency a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of Construction of the proposed work. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation, substantial and observation with the appropriate Agency. Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may visit the work results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide suburface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils map and/or any other information does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material soil tests or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be inspected and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of that work, Contractor shall be solely responsible for determining all conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain shoring, bracing, struts, blocking, trench boxes and equipment and all construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary shoring and permanent soil retention and stabilization control devices at the appropriate stages of construction with the appropriate Agency.
- Structural fill shall be placed as specified on the project plans and within the 10' influence zone of all structures, use of areas and other areas subject to vehicle traffic. Spacers fill shall be placed using the controlled density method (1.2" maximum lift), compacted to 95% maximum unit weight, modified proctor. Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when as specified on the project plans.
- All existing structures, property corners, ground control and benchmarks shall be protected and preserved, and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify the Engineer of any conflicts between existing monuments, property corners, ground control and benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Shipping of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor activities shall be repaired at Contractor's expense.

REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION

BMH - PREMIER P.U.D.

SITE PAVEMENT NOTES & DETAILS

CLIENT:	SCALE: NO SCALE
PREMIER GENCO LLC	PROJECT No.: 185490
775 N. SECOND STREET	DWG NAME: 3450 DT
BRIGHTON, MICHIGAN 48116	ISSUED: 1/11/24 2020

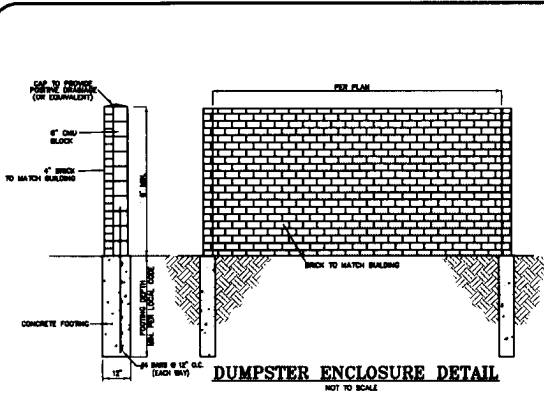
DT1

Know what's Below. Call before you dig.

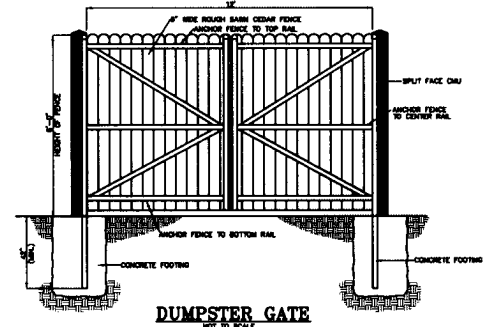
3 WORKING DAYS BEFORE YOU DIG
CALL BTU AT 1-800-488-7171
TOLL FREE
OR VISIT CALLBTU.COM

(810) 237-9833
CIVIL ENGINEERS
LAND SURVEYORS
3183 PLEAS DRIVE
BRIGHTON, MICHIGAN 48114

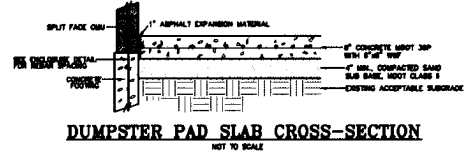
BTU INC



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

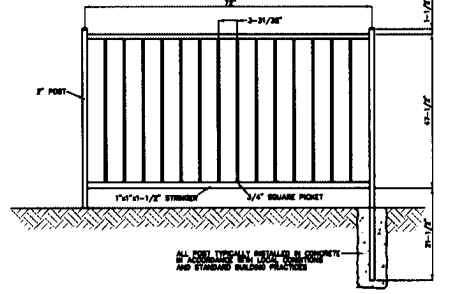


DUMPSTER GATE
NOT TO SCALE



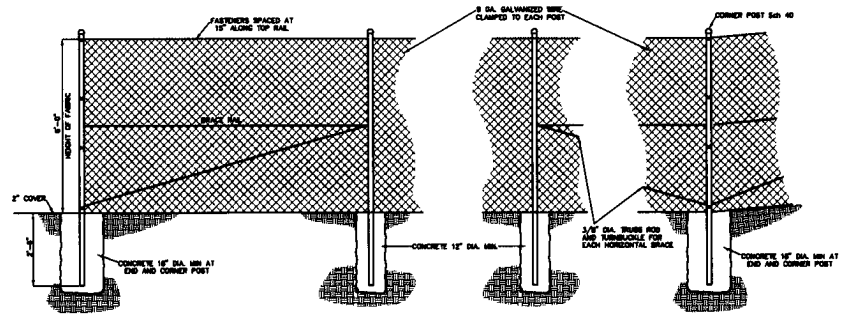
DUMPSTER PAD SLAB CROSS-SECTION
NOT TO SCALE

- CONCRETE NOTES:**
1. UNSTABLE SOILS, SUCH AS MUD, PEAT, TORPEDO, SAND, SILT OR OTHER LIQUEFABLE MATERIALS, SHALL BE UNDERCUT AND REPLACED WITH COMPACTED SAND SUBGRADE FILL. WHERE NECESSARY, TO REINFORCE.
 2. AREAS OF SUBGRADE FILL SHALL BE CONSTRUCTED USING 1/2\"/>



ORNAMENTAL FENCE DETAIL
NOT TO SCALE

NOTE: MATERIAL SHALL BE ALUMINUM WITH BLACK FINISH.



CHAIN LINK FENCE DETAIL
NOT TO SCALE

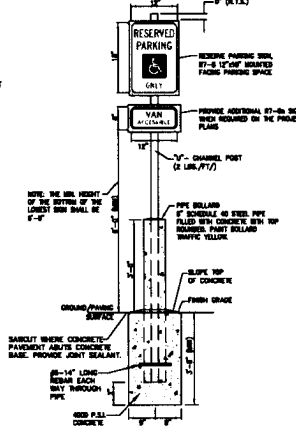
NOTE: ALL FENCING AND HARDWARE SHALL BE GALVANIZED STEEL.

SIGNAGE AND PAVEMENT MARKING NOTES

1. Pavement markings shall be in accordance with the type, color, size and locations shown on the plans. If the information on the plans is not complete and the authority having jurisdiction does not have specific requirements, then use the following. Plans shall be applied in accordance with AASHTO M 248 letter addition (colors shall be as follows: (1) YELLOW: parking stalls, loading zones, parking stalls, no parking zones and fire lanes) (WHITE: stop bars, pedestrian crossings, lane delineations, directional arrows and letterings) (BLUE: handicap parking stalls and symbols). Stop whites shall be as follows: (1) - parking spaces, driveway lanes, barrier free loading zones and no parking zones) (2) - crosswalks) (3) - stop bars.
2. The pavement shall be clean and free of dirt, dust, moisture, oils and other foreign materials at time of marking application. Any old pavement markings shall be removed unless paints are compatible and in strict accordance. The surface of the pavement prior to application shall be a minimum of 45 degrees F and lying unless the Manufacturer's recommendations are given.
3. The signage shall be in accordance with the type, color, size and locations shown on the plans in accordance with AASHTO M 248. The signage shall be installed in accordance with the Local Municipality and the Michigan Manual of Uniform Traffic Device letter addition.
4. Posts, brackets and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A-588, Grade 50 and hot dip galvanized in accordance with ASTM A123. All cutting, drilling and/or other pole modifications shall be painted with galvneizing paint. All mounting hardware shall be stainless steel.
5. Sign post footings shall be a maximum of 3'-0\"/>



HANDICAP PARKING STRIPING DETAIL
N.T.S.



BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE

SIGN SCHEDULE					
SIGN	KEY	SIZE OR X H	TYPE OR MOUNT	MOUNTING HEIGHT	QUANTITY
	RP-6	12' x 12'	POST MOUNTED	7'-0"	8
	RP-6a	12' x 12'	BUILDING MOUNTED	7'-0"	0
	FP-1	12' x 12'	POST MOUNTED	6'-0"	8

Know what's Before. Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-487-7111 (TOLL FREE)
OR VISIT CALL811.COM

DP ENGINE INC.

(810) 227-8932
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLEAS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGNER	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
FAF						
WHP						

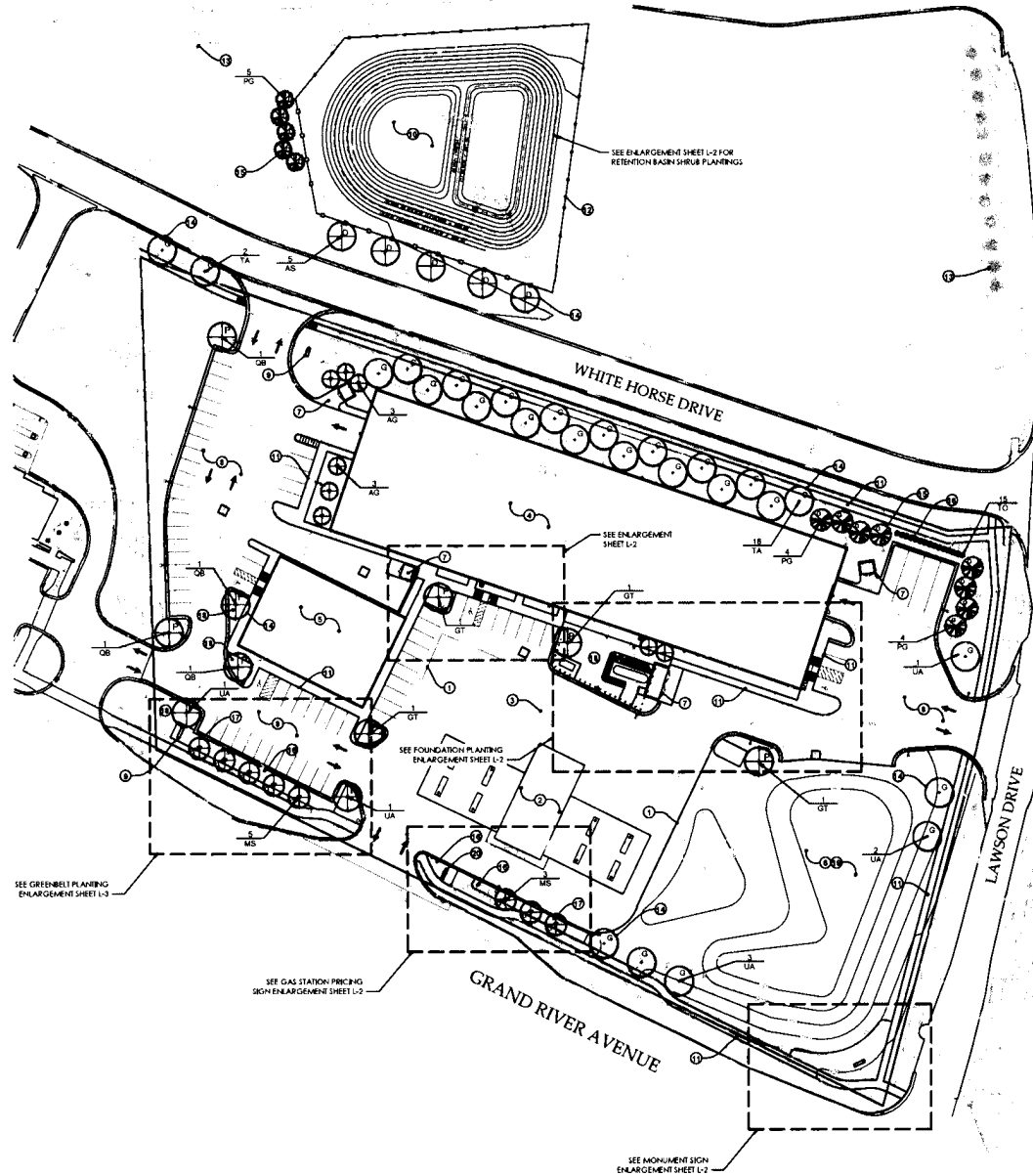
BMH - PREMIER P.U.D.

SIGNAGE & PAVEMENT MARKING NOTES & DETAILS

CLIENT:
PREMIER GENO LLC
775 N. SECOND STREET
WEBERVILLE, MICHIGAN 48892
(817) 521-3907

SCALE: AS NOTED
PROJECT No.: 9184560
DWG NAME: 3450 DT
ISSUED: FEB 14, 2024

DT2



SITE LANDSCAPE DATA			
Project: BMH-Premier PUD		Location: Genoa Township, Michigan	
Company: Van Yvrde Landscape Architecture, LLC		Address: 4525 East Grand River Ave.	
Owner: Premier Genoa, LLC		Proposed zoning: RD-PUD	
Building Sizing: Varies			
DATA	EXISTING CONING	PROPOSED CONING	
	60D	60-PUD	
PLANNING LOT LANDSCAPE			
1 Deciduous Canopy Tree and 300 sq. ft. of landscape area / 30 spaces required - 70 spaces	Required	Provided	Default
	8 Trees and 240 sq. ft. landscape area	19 Trees and 2,550 sq. ft. landscape area	Providing 1 additional tree
COMMON LOT LANDSCAPE			
1 Deciduous Canopy Tree / 40 sq. ft. of landscape area	Required	Provided	Default
Grand River Ave - 538 ft	15	11	Providing 13 canopy and 18 common lot trees
Lawson Drive - 420 ft	11	7	Providing 13 canopy and 14 common lot trees
White Horse Drive - 600 ft	14	24	Providing 8 additional trees
RETENTION BASIN LANDSCAPE			
1 Tree and 30 shrubs / 50% of retention basin - 480 ft	30 Trees and 90 shrubs	30 Trees and 90 shrubs	
OPEN SPACE REQUIREMENTS			
Minimum of 25% of the site shall be open space	58,790 sq. ft.	59,077 sq. ft. (58.7%)	
See Area 22A(2) of 12-17-02			

TREE PLANTING KEY:
 D - REQUIRED DECIDUOUS BROAD-LEAF TREE
 P - REQUIRED PARKING LOT TREE
 G - REQUIRED GREEN-BELT TREE

Note Key:

- 1 LUMBER STORAGE YARD
- 2 EXISTING GAS STATION
- 3 EXISTING UNDERGROUND TANK
- 4 PROPOSED STORAGE FACILITIES - SEE ARCHITECTURE
- 5 PROPOSED OFFICE / RETAIL SPACE - SEE ARCHITECTURE
- 6 FUTURE BUILDING
- 7 PROPOSED TOWER/ENCLOSURE
- 8 PROPOSED PARKING LOT - SEE CIVIL ENGINEERING DRAWINGS
- 9 PROPOSED MONUMENT SIGN
- 10 PROPOSED SIGN IN RETENTION BASIN - SEE CIVIL ENGINEERING DRAWINGS
- 11 PROPOSED CONCRETE DRIVEWAY - TYPICAL
- 12 PROPOSED FENCE WITH GATE
- 13 EXISTING TREES TO REMAIN
- 14 EXISTING CANOPY TREES - SEE SHEET L-3 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 15 EXISTING TREES - SEE SHEET L-3 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 16 CANOPY AND PERENNIAL PLANTINGS - SEE SHEETS L-3 AND L-4 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 17 PERENNIALS AND SHRUBS - TREE - SEE SHEET L-3 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 18 SHRUBS - TREE - SEE SHEET L-3 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 19 SHRUBS - TREE - SEE SHEET L-3 FOR PLANTING SCHEDULE AND TYPICAL DETAIL
- 20 EXISTING GAS STATION PRICING SIGN

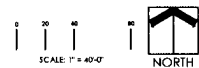
Maintenance Notes

LANDSCAPE SPECIFICATIONS BY THE OWNER SHALL BE MAINTAINED IN EFFECT FOR THE LIFE OF THE PROJECT. PERMANENT TREES FROM REFUGE AND DEAD, ALL WEEDS, AND DEAD PLANT MATERIALS SHALL BE REMOVED IMMEDIATELY. WEEDS AND PLANT MATERIALS SHALL BE REMOVED AT THE BEGINNING OF THE GROWING SEASON. ALL WEEDS SHALL BE REMOVED IMMEDIATELY. ALL WEEDS SHALL BE REMOVED IMMEDIATELY. ALL WEEDS SHALL BE REMOVED IMMEDIATELY.

SURVEY PROVIDED BY:

LEIGHT, INC.
 10000 E. Grand River Ave.
 Brighton, MI 48116
 810.227.9933
 (DATE) JOB NUMBER (YEAR)
 DATED (MONTH) OF (YEAR)

NOT FOR CONSTRUCTION

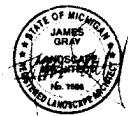


Date	Owner / Revision
12.20.2018	Owner / Review
01.03.2019	Revision
01.08.2019	Pre-submittal Review
12.27.2019	Conceptual PUD Submittal
02.14.2020	Revision
06.08.2020	PUD Submittal

Project Name:
BMH - Premier PUD
 4525 East Grand River Ave.
 Genoa Township, MI

Project Sponsor:
Premier Genoa, LLC
 775 N. Second Street
 Brighton, MI 48116

Sheet Name:
Preliminary Landscape Plan



Drawn: JG
 Checked: JG
 Date: 12.10.2018
 Scale: 1" = 40'-0"

Project Number:
18.033

Sheet Number:
L-1

© 2018 Van Yvrde Landscape Architecture, LLC





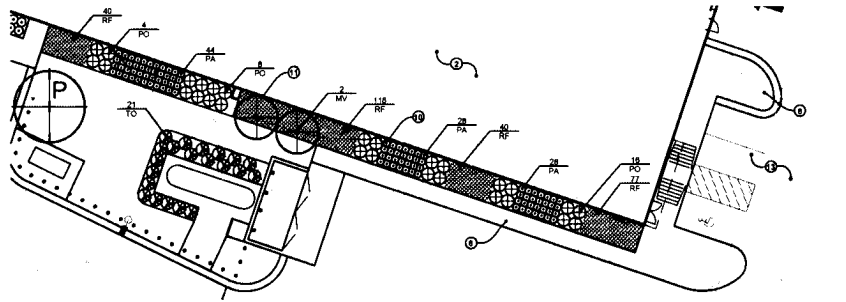
landscape
architecture
7324 1366 Plymouth, MI
james@verivard.com

Project:
12.20.2018 Owner Review
01.08.2019 Pre-submittal Review
12.27.2019 Concise/PUD Submittal
02.14.2020 Revision
06.08.2020 PUD Submittal

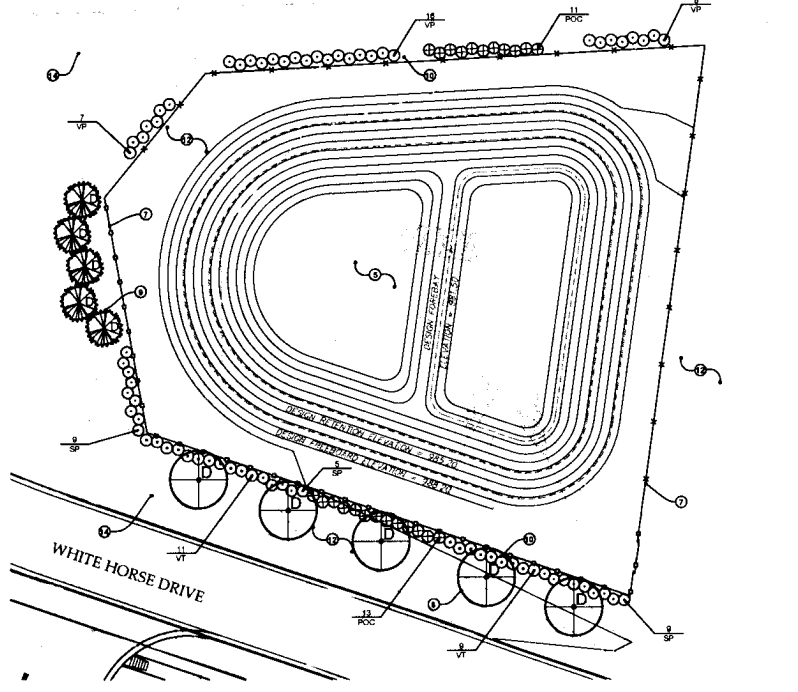
Project Sponsor:
BMH - Premier PUD
4525 East Grand River Ave.
Genoa Township, MI

Project Sponsor:
Premier Genoa, LLC
775 N. Second Street
Brighton, MI 48116

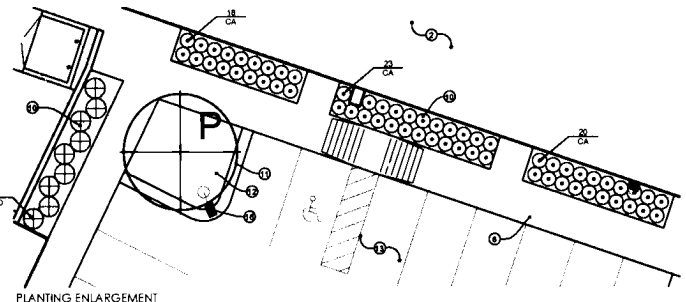
Enlargements



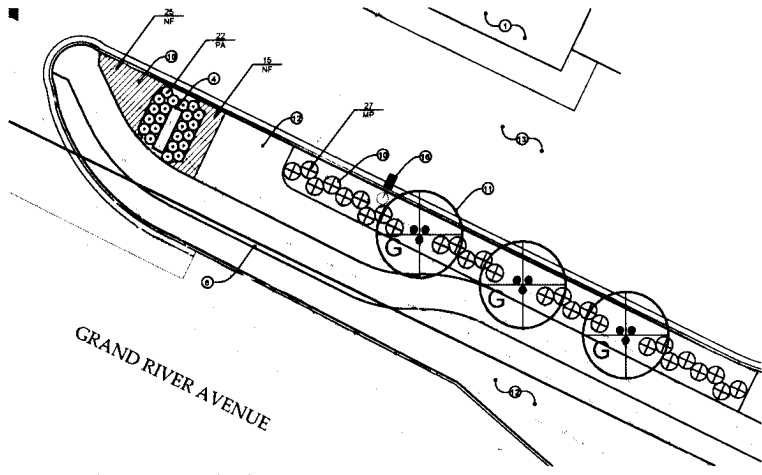
FOUNDATION PLANTING ENLARGEMENT
SCALE: 1/8" = 1'-0"



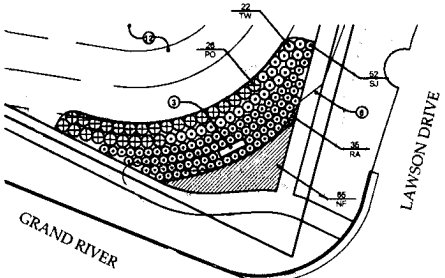
RETENTION BASIN ENLARGEMENT
SCALE: 1/8" = 1'-0"



PLANTING ENLARGEMENT
SCALE: 1/8" = 1'-0"



GAS STATION PRICING SIGN ENLARGEMENT
SCALE: 1/8" = 1'-0"



MONUMENT SIGN ENLARGEMENT
SCALE: 1/8" = 1'-0"

- Note Key:**
- ① EXISTING GAS STATION
 - ② PROPOSED STORAGE TANKS, SEE ARCH. DRAWINGS
 - ③ PROPOSED MONUMENT SIGN
 - ④ EXISTING GAS STATION PRICING SIGN
 - ⑤ PROPOSED RETENTION BASIN, SEE CIVIL ENGINEERING DRAWINGS
 - ⑥ PROPOSED CONCRETE SIDEWALK, TYPICAL
 - ⑦ PROPOSED FENCE WITH GATE
 - ⑧ EXISTING ASPHALT DRIVE, SEE SHEET L-1 FOR QUANTITIES AND SPEC. SEE SHEET L-1 FOR DRIVE SCHEDULE AND TYPICAL DETAIL
 - ⑨ EXISTING TREES, SEE SHEET L-1 FOR CALLOUTS AND SPEC. SEE SHEET L-1 FOR PLANT SCHEDULE AND TYPICAL DETAIL
 - ⑩ SHRUB AND PERENNIAL PLANTINGS, SEE SHEET L-1 FOR PLANT SCHEDULE AND TYPICAL DETAIL
 - ⑪ PERENNIAL PLANTINGS, SEE SHEET L-1 FOR CALLOUTS AND SPEC. SEE SHEET L-1 FOR PLANT SCHEDULE AND TYPICAL DETAIL
 - ⑫ SMALL URBAN BRUSH, 3' DEPTH TOPSOIL TO LIMIT OF DISTURBANCE
 - ⑬ ASPHALT PARKING LOT
 - ⑭ PROPOSED METAL HIGH BACK SEATING, SEE SHEET L-1 FOR CALLOUTS AND SPEC. SEE CIVIL ENGINEERING DRAWINGS
 - ⑮ TRANSFORMER PAD
 - ⑯ PROPOSED LIGHT POLE, SEE LIGHTING PLAN

NOT FOR CONSTRUCTION



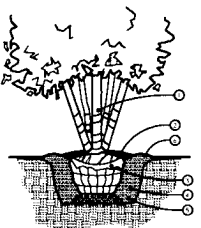
Drawn: JG
Checked: JG
Date: 12.10.2018
Scale: AS NOTED

Project Number:
18.033

Sheet Number:
L-2

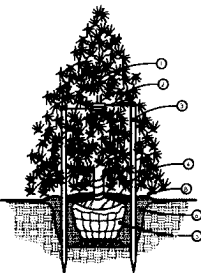
© 2018 Verivard Landscape Architecture, LLC





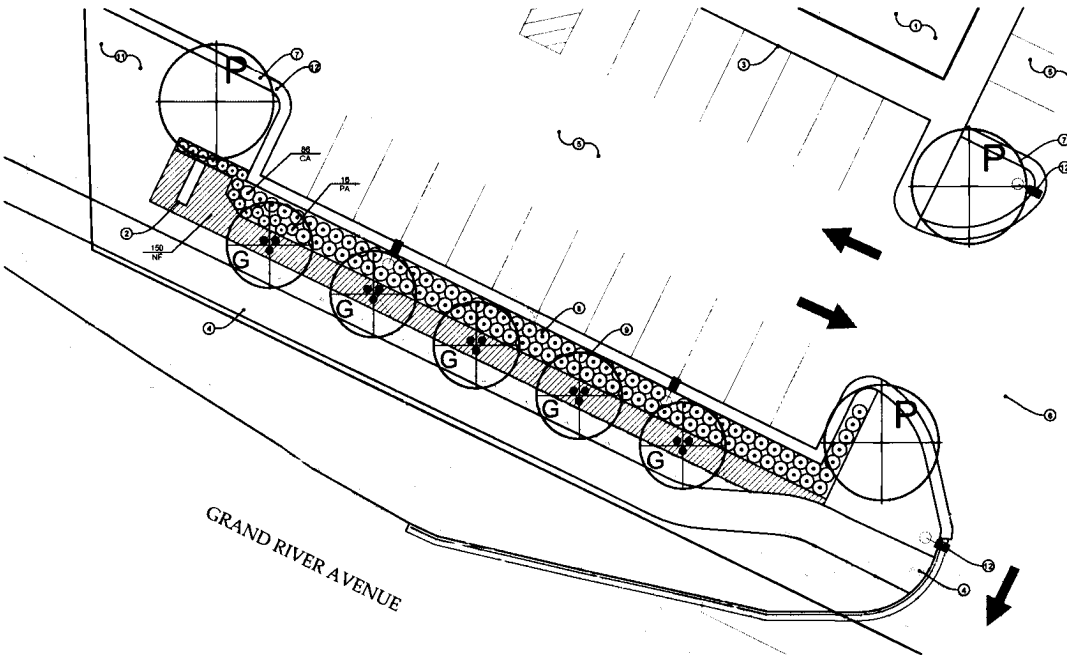
- MULCH**
- 1. POSITIONED TO AVOID PROTECTION OF PLANTING FROM INSTALLATION
 - 2. SET TOP SURFACE OF MULCH 1 INCH ABOVE GRADE
- PLANTING**
- 1. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 2. COVERS PLANTING WITH DOUBLE LAYER OF 1/2" DRAINAGE COVERS OVER 4" DRAINAGE COVERS OVER 4" DRAINAGE COVERS OVER 4" DRAINAGE COVERS
 - 3. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 4. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 5. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA

5 MULTISTEM TREE PLANTING



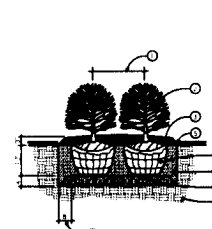
- MULCH**
- 1. POSITIONED TO AVOID PROTECTION OF PLANTING FROM INSTALLATION
 - 2. SET TOP SURFACE OF MULCH 1 INCH ABOVE GRADE
- PLANTING**
- 1. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 2. COVERS PLANTING WITH DOUBLE LAYER OF 1/2" DRAINAGE COVERS OVER 4" DRAINAGE COVERS OVER 4" DRAINAGE COVERS
 - 3. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 4. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA
 - 5. PLANTING ALL TREES THROUGH PLANTING AND AVOID OTHER MATERIALS WITHIN 100% OF THE PLANTING AREA

4 EVERGREEN TREE PLANTING

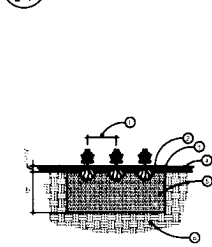


GREENBELT PLANTING ENLARGEMENT

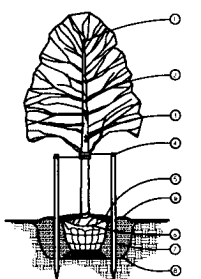
SCALE: 1"=10'



2 SHRUB PLANTING



1 PERENNIAL / GROUND COVER PLANTING



3 DECIDUOUS TREE PLANTING

Note Key:

- 1. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 2. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 3. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 4. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 5. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 6. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 7. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 8. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 9. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 10. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 11. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 12. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 13. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 14. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 15. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 16. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 17. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 18. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 19. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 20. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 21. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 22. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 23. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 24. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 25. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 26. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 27. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 28. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 29. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 30. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 31. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 32. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 33. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 34. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 35. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 36. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 37. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 38. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 39. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 40. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 41. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 42. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 43. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 44. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 45. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 46. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 47. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 48. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 49. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS
- 50. PROPOSED METAL SPACE SEE SHEET 01 SEE ELECTRICALS

PLANT SCHEDULE

TREES							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
5	AS	Aspen Green Mountain	Green Mountain Spruce Maple	2.5' Lx8"	as shown	BBB	Single straight trunk
8	AG	Asteraceae J. & Asteraceae Balance	Asteraceae Balance Asteraceae	8' Lx8"	as shown	BBB	Minimum 5 stems
4	GT	Gleditsia L. St. Yve	Black Locust	2.5' Lx8"	as shown	BBB	Single straight trunk
13	PO	Picea glauca	White Spruce	8' Lx8"	as shown	BBB	Unwanted. Attached to ground
4	OB	Quercus bicolor	Swamp White Oak	2.5' Lx8"	as shown	BBB	Single straight trunk
8	LA	Liriodendron tulipifera	American Elm / Yellow Forge	2.5' Lx8"	as shown	BBB	Single straight trunk
20	TA	Tilia americana 'Boulevard'	Boulevard American Basswood	2.5' Lx8"	as shown	BBB	Single straight trunk
3	MS	Morus nigra 'Spring Snow'	Spring Snow Mulberry	8' Lx8"	as shown	BBB	Minimum 5 stems
2	MY	Myrica verticillata	Winged Blackberry	2.5' Lx8"	as shown	BBB	Single straight trunk

SHRUBS							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
22	SP	Syringa x Nina Ker	White Kim Dwarf Korean Lilac	30' Hx	as shown	LOL	Well rooted
21	VP	Viburnum s. 1 'Navarro'	Navarro American Snowball Bush	30' Hx	as shown	BBB	Well rooted
78	TD	Thuja occidentalis 'Sage'	Dark Green Arborescent	8' Hx	as shown	BBB	Trim to hedge
22	WY	Thuja x Woodland Glaze	Woodland Olive Arborescent	30' Hx	as shown	LOL	Well rooted
63	PO	Physocarpus o. 'Summer White'	Summer White Hebe	30' Hx	as shown	LOL	Well rooted
24	POC	Physocarpus o. 'Caspary'	Caspary Hebe	30' Hx	as shown	LOL	Well rooted
23	VT	Viburnum x Midsum Compact	Compact American Ornamental Bush	30' Hx	as shown	LOL	Well rooted
16	MY	Myrica verticillata	Winged Blackberry	30' Hx	as shown	LOL	Well rooted
32	SA	Sarrea japonica 'Nash Flash'	Nash Flash Spruce	18' Hx	as shown	LOL	Well rooted
2	MY	Myrica verticillata	Winged Blackberry	24' Hx	as shown	LOL	Well rooted

PERENNIALS							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
156	GA	Geranium x Golf Favorite	Kelly Favorite Heifer Golf Geranium	12"	as shown	LOL	Well rooted
138	PA	Parthenociss x Nancy Rose	Kelly Rose Dwarf Fountain Creeper	12"	as shown	LOL	Well rooted
276	RF	Rubus x Goldstrum	Black-eyed Susan	18"	as shown	LOL	Well rooted
266	RF	Rubus x 1 'Winkler Low'	Winkler Low Rubus	18"	as shown	LOL	Well rooted

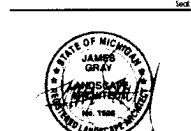


12.20.2018 Owner Review
01.08.2019 Pre-submittal Review
12.27.2019 Conceptual PUD Submittal
02.14.2020 Revision
06.08.2020 PUD Submittal

Project:
BMH - Premier PUD
4525 East Grand River Ave.
Genoa Township, MI

Project Sponsor:
Premier Genoa, LLC
775 N. Second Street
Brighton, MI 48116

Enlargements and Landscape Details



Drawn: JG
Checked: JG
Date: 12.10.2018
Scale: AS NOTED

Project Number: 18.033

Sheet Number: L-3

© 2018 Hillier Lindsey Architects, LLC

Exhibit D

Uses

Schedule of Uses – BMH Realty, LLC RDPUD			
		RDPUD/GCD	Use Conditions
Retail Uses			
Retail establishments and shopping centers which provide goods such as bakery goods, including bakery items produced on the premises, groceries, produce, meats, provided no slaughtering shall take place on the premises, seafood; dairy products, beverages appliances, electronics, furniture, and home furnishings, apparel, jewelry, art, pharmaceuticals, home improvement supplies, hardware, and garden supplies, sporting goods, bicycles, toys, hobby crafts, videos (rental, and sales), music, musical instruments, books, computer hardware and software, antiques, flower shops, greeting card shops, auto parts and similar establishments not specifically addressed elsewhere	Uses with up to 15,000 square feet gross floor area	P	
	Uses 15,001 - 30,000 square feet of gross floor area	P	(a)
	Uses 30,000 - 60,000 square feet of gross floor area	S	(a)
	Pharmacies with drive-up window	S	(b)
Automobile, motorcycle, boat and recreational vehicle sales, new and used		S	(c)
Outdoor commercial display, sales or storage		S	(d)
Service Uses			
Banquet halls, assembly halls, dance halls, private clubs, fraternal order halls, lodge halls or other similar places of assembly		P	
Business services such as mailing, copying, data processing and retail office supplies		P	
Child care centers, preschool and commercial day care		P	(e)
Conference Centers		S	(f)
Funeral home or mortuary		P	(g)
Bed and breakfast inns, hotels and motels with no more than 25 rooms not including accessory convention/meeting		P	

Schedule of Uses – BMH Realty, LLC RDPUD			
	RDPUD/GCD	Use Conditions	
facilities or restaurants These uses may include the residence for the owner/manger's family			
Hotels and motels with more than 25 rooms including accessory convention/meeting facilities and restaurants	P		
Laundromats	P		
Personal and business service establishments, performing services on the premises, including: dry cleaning drop-off stations (without on site processing), photographic studios, copy centers, mailing centers, data processing centers, dressmakers and tailors, shoe repair shops, tanning salons, beauty parlors, barber shops, and similar establishments	P		
Dry cleaning drop-off stations with drive-through service	S	(b)	
Restaurants, taverns, bars, delicatessen, food carryout, coffee shops, and similar establishments serving food or beverages	Standard restaurants and coffee shops, except as provided below	P	
	Restaurants and bars serving alcoholic beverages	P	
	Bars providing dancing and live music	P	
	Restaurants with open front windows	S	(i)
	Restaurants with outdoor seating	P	(i)
	Drive-through restaurants	S	(j)
	Drive- in restaurants	S	(j)
	Carry-out restaurants	P	
	Coffee Shop with drive-through	S	(j)
	Brewpub	P	
Micro-brewery, small distillery and small winery	S	(y)	
Studios of photographers and artists	P		
Tattoo parlors	P		
Tool and equipment rental, excluding vehicles	P		
Kennel, commercial	S	(h)	
Pet day care center	S	(w)	
Climate-controlled indoor commercial storage	P		
Auto Service Uses			
Minor auto repair establishment	S	(k)	

Schedule of Uses – BMH Realty, LLC RDPUD			
		RDPUD/GCD	Use Conditions
Auto/gasoline service station, limited to one (1) on the Property at any time		P (1)	(k)
Automobile wash, automatic or self serve		S	(l)
Leasing and rental of automobiles, trucks and trailers		S	
Office Service and Medical Uses			
Adult day care facilities		S	
Banks, credit unions, savings and loan establishments and similar financial institutions	With up to 3 drive-through teller windows	P	(m)
	With more than 3 drive-through teller windows	S	(m)
	Stand alone automatic drive-up teller machines	S	
Offices of non-profit professional, civic, social, political and religious organizations		P	
Medical urgent care facilities, medical centers and clinics		P	
Medical offices of doctors, dentists, optometrists, chiropractors, psychiatrists, psychologists and similar or allied professions, excluding clinics, and urgent care centers	Buildings up to 15,000 square feet of gross floor area	P	
	Buildings over 15,000 square feet of gross floor area	P	
Offices of lawyers, engineers, architects, insurance, and real estate agents, financial consultants, and brokers, advertising offices, accounting, and bookkeeping services, clerical, and stenographic services, sales offices, other types of executive, or administrative offices and similar or allied professions	Buildings up to 15,000 square feet of gross floor area	P	
	Buildings between 15,000 and 55,000 square feet of gross floor area	P	
	Buildings over 55,000 square feet of gross floor area	P	
Veterinary hospitals		S	(o)
Veterinary clinics without boarding or overnight care		S	(x)
Recreation			

Schedule of Uses – BMH Realty, LLC RDPUD		
	RDPUD/GCD	Use Conditions
Accessory fuel storage and use or storage of hazardous materials	S	13.07

Use Conditions: Uses noted above shall only be allowed where the following requirements are complied with:

- (a) Shopping centers and home improvement centers over 15,000 square feet shall comply with the following requirements:
 - (1) The center shall have access to at least one County Primary Road or roadway with a right-of-way of at least eight six (86) feet.
 - (2) The design of the center shall ensure that vehicular circulation patterns will minimize conflicts between vehicles and pedestrians on-site,
 - (3) The impacts of traffic generated by the center on adjacent streets will be mitigated to ensure a level of service D, or maintenance of the current level of service if lower than D, along the site's frontage and nearest signalized intersections.
 - (4) Internal circulation shall be designed such that no intersection includes more than four aisles or drives.
 - (5) Site entrances shall be restricted to three-way movements, with unrestricted inbound movements.
 - (6) Internal drives defined by the ends of aisles shall have raised curbed islands at appropriate locations to define circulation paths and control movements through the parking lot.
 - (7) Loading facilities which serve the commercial establishment in the principal building shall be screened from public view.
 - (8) Any building side facing a public street or residential district shall be constructed with brick, split face block or similar decorative material, unless a landscaped berm is approved by the Township.
 - (9) Any outlots shall have access, circulation and parking designed to complement the entire site.
- (b) Accessory drive-through service for uses other than restaurants and banks shall comply with the following requirements:
 - (1) The drive-through facility must be attached to the structure.
 - (2) The drive-through service, including any lighting associated therewith shall be screened from adjacent residential land uses such that it will not impact the use and enjoyment of said residential land use.
 - (3) Clear identification and delineation between the drive-through facility and the parking lot shall be provided.
 - (4) Each drive-through facility shall provide an escape lane to allow other vehicles to pass those waiting to be served. The Planning Commission may

waive the requirement for an escape lane where it can be demonstrated that such a waiver will not result in an adverse effect on public safety or the convenience of patrons of the facility.

- (5) There shall be a minimum of three (3) stacking spaces.
 - (6) The drive-through facility shall be located on the side or rear elevation of the building to minimize visibility from the public or private roadway.
 - (7) The number of on-site directional signage shall be limited to two (2) signs meeting the area and location requirements of Article 16.
 - (8) The principal structure shall be setback a minimum of fifty (50) feet from all lot lines and the public right-of-way, unless a greater setback applies.
 - (9) When located in the NSD district, accessory drive-through service windows for pharmacies/drug stores shall be used only for prescription drug pick-up and drop-off. Only one drive-through service lane is permitted for each pharmacy or drug store structure in the NSD district.
- (c) Automobile, motorcycle, boat and recreational vehicle sales, new and used shall comply with the following requirements:
- (1) Sale space for used mobile homes, recreational vehicles and boats may only be carried on in conjunction with a regularly authorized new mobile home, recreational vehicle or boat sales dealership on the same parcel of land.
 - (2) All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.
 - (3) No storage or display of vehicles shall be permitted in any landscape greenbelt area, provided the Township may permit a display pod for an automobile within the greenbelt area where it is integrated into the landscape design.
 - (4) The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.
 - (5) All loading and truck maneuvering shall be accommodated on-site.
 - (6) All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.
- (d) Commercial Outdoor Display Sales or Storage including, but not limited to, sales or storage of: building/lumber supply, contractor's yards, garden/landscape supplies, nurseries, greenhouses, stone, farm implements, automobiles, trucks,

recreational vehicles, mobile homes, boats, jet skis, mowing equipment, construction equipment and similar materials or equipment shall comply with the following requirements:

- (1) Minimum lot area shall be one (1) acre.
 - (2) Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.
 - (3) All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.
 - (4) No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the commercial outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.
 - (5) The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.
 - (6) All loading and truck maneuvering shall be accommodated on-site.
 - (7) All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.
 - (8) The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district, will not be visible from an expressway and such storage is confined to within twenty (20) feet of the building.
- (e) Child day cares shall provide not less than the minimum amount of indoor and outdoor play areas required by the State of Michigan. The required outdoor play area shall be fenced.
- (f) Conference Centers shall comply with the following requirements:

- (1) The site shall have direct access, via lot frontage or an improved road, to at least one paved arterial roadway (County Primary Road).
 - (2) The location, geometric design and throat depth of site access points, and overall internal site circulation, shall prevent unreasonable traffic congestion on public roadways. The level of service shall not be below "D" for any turning movements for any event. A traffic management program shall be submitted as part of the application.
 - (3) Building height shall not exceed thirty-five (35) feet but may be three (3) stories (i.e. a permitted exception from the maximum number of stories allowed for other buildings in the various zoning districts).
 - (4) Minimum floor area shall be ten thousand (10,000) square feet of usable conference rooms, meeting rooms, banquet rooms and pre-function space.
 - (5) Minimum building and outdoor use areas shall be setback at least one-hundred (100) feet from any property line of residentially zoned and/or seventy-five (75) feet from any other property line. Buffer zones shall be provided as required for "community commercial" uses in Section 12.02. The Planning Commission may reduce the required setbacks by up to fifty percent (50%) where more extensive landscaping or existing features provide an extensive screen.
 - (6) Parking setbacks shall be forty (40) feet in the front yard, twenty-five (25) feet for side and rear yards adjacent to residential uses, and ten (10) feet elsewhere.
 - (7) The proposed building(s) may provide atriums, lobbies, or other public gathering places.
 - (8) The accessory uses, specialty shops, and activity centers shall be customarily incidental to the primary components of the conference center.
 - (9) All uses, except for off-street parking or loading spaces and approved outdoor gathering places (such as courtyards, plazas, etc.) shall be conducted within a completely enclosed building. Sales, display, and outdoor storage of any commodities or storage containers, vehicles or other uses shall be expressly prohibited.
 - (10) In addition to other requirements, the Impact Assessment shall describe intended and anticipated number, type and frequency of events that may be expected at the proposed site including hours of operation. Include information about outdoor receptions and the location where they may be held.
- (g) Funeral homes shall comply with the following requirements:
- (1) Minimum lot area shall be one (1) acre and minimum lot width shall be one hundred and fifty (150) feet.

- (2) An off-street vehicle assembly area shall be provided to be used in support of funeral processions and activities. This area shall be in addition to the required off-street parking and its related maneuvering area.
- (h) Commercial kennels shall comply with the following requirements:
- (1) For kennels housing dogs, the minimum lot size shall be two (2) acres for the first four (4) dogs and an additional one-third (1/3) acre for each one (1) additional dog.
 - (2) Buildings wherein dogs are kept, dog runs, and/or exercise areas shall not be located nearer than five hundred (500) feet to a residential use or property line, two hundred (200) feet from any adjacent principal building or unit, and shall be setback one hundred and fifty (150) feet to any lot line and/or road right-of-way.
 - (3) Adequate odor control measures shall be implemented so that odor from inside or outside the kennel will not be discernible outside the building.
 - (4) All kennels shall be operated in conformance with all applicable county and state regulations and operated by a licensed operator.
 - (5) Any dog and food waste shall be properly and lawfully disposed of to not create a litter, insect, rodent, vermin or offensive odor nuisance. Approval from the Genoa MHOG Utility Department, the Drain Commissioner and Health Department shall be provided as part of the special use application.
 - (6) The applicant may be required to post a financial guarantee, the amount of which to be determined by the Township board, before a permit is granted or renewed.
 - (7) The application shall include a floor plan for the facility that indicates noise insulation measures.
 - (8) All enclosures for breeding, rearing, shelter, or other uses in connection with harboring of animals, shall be hard surfaces and provided with proper drains for washing with water pressure.
 - (9) The applicant shall provide a waste management plan detailing both indoor and outdoor waste management procedures to ensure animal waste is not discharged to surface or storm water. Outdoor animal areas shall be designated and shall consist of properly maintained lawn, special canine grass or other methods as approved by the Planning Commission following a recommendation by the Township Engineer.
 - (10) Such facilities shall be subject to other conditions and requirements necessary to ensure against the occurrence of any possible nuisance (i.e., fencing, sound-proofing, sanitary requirements).
 - (11) Applicants shall submit, at the time of special land use application, a proposed site plan and floor plan and written operating procedures including waste and noise management methods, such as those recommended by the International Boarding and Pet Services Association (IBPSA). These procedures shall be followed for the duration of the business and shall be designed to prevent or control animal behavior that

- may adversely impact surrounding uses, including loud or excessive barking.
- (12) All animals shall be kept indoors between the hours of 10:00 PM and 8:00 AM.
- (i) Open front restaurant (window service) and restaurants with outdoor seating shall comply with the following requirements:
- (1) All trash containers shall be provided outside. Both recycle bins and trash receptacles shall be provided.
 - (2) For open front restaurants with window service, all signs for an open front window placed on the building shall be flat; and interior signs visible to patrons through glass or an opening shall not exceed twenty-five percent (25%) of that area.
 - (3) Additional parking shall be provided for outdoor seating and standing areas.
 - (4) Outdoor noise shall not be greater than that commonly associated with a restaurant. The Township Board may place restriction on outdoor speakers or hours of operation to control the noise.
 - (5) The Zoning Administrator shall approve a land use permit for any outdoor seating including a sketch plan illustrating seating areas, enclosures/railings, sufficient off-street parking and lighting.
- (j) Restaurants or coffee shops with drive-in or drive-through facilities shall comply with the following requirements:
- (1) Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.
 - (2) The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.
 - (3) Only one (1) access shall be provided onto any street.
 - (4) Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.
- (k) Automobile service stations and maintenance establishments (including those accessory to another use) shall comply with the following requirements:
- (1) There shall be a minimum lot area of one (1) acre and minimum lot frontage of two hundred fifty (250) feet.
 - (2) Pump islands shall be a minimum of twenty (20) feet from any public right of way or lot line, and at least forty (40) feet from any residential lot line.
 - (3) Access driveways shall meet the standards of Article 15; turning movements may be restricted in consideration of traffic conditions. Only one driveway shall be permitted from each street unless the Planning Commission determines additional driveways will be consistent with the purpose of Article 15.
 - (4) Where adjoining residentially zoned or used property, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence

- or wall shall be continuously maintained in good condition. The Planning Commission may approve a landscaped berm as an alternative.
- (5) All repair work shall be conducted completely within an enclosed building. Garage doors shall not face any public roadway except as approved by the Planning Commission under the following circumstances:
 - a. For through garages where doors are provided on the front and rear of the building;
 - b. Garages located on corner or through lots; and,
 - c. Where the Planning Commission determines that a rear garage would have a negative impact on an abutting residential district. Under these circumstances the Planning Commission may require additional landscape screening above and beyond what is required for street frontage landscaping.
 - (6) There shall be no outdoor storage or display of vehicle components and parts, supplies, or equipment or other merchandise, except within an area defined on the site plan approved by the Planning Commission and which extends no more than ten (10) feet beyond the building.
 - (7) Storage of wrecked, partially dismantled, or other derelict vehicles is prohibited, unless such storage is required under police or court order. Vehicles shall not be stored outdoors for more than seven (7) days in any thirty (30) day period.
 - (8) Storage of gasoline shall be at least four hundred (400) feet from churches, schools or similar public/quasi public places of assembly.
 - (9) Below ground fuel storage tanks shall be at least two thousand (2000) feet from any drinking water well serving two or more residential units.
 - (10) The design and materials of the canopy shall be compatible with the main building. The proposed clearance of any canopy shall be noted on the site plan. Any signs, logo or identifying paint scheme on the canopy shall be reviewed by the Planning Commission and considered part of the maximum wall sign permitted. Details on the canopy lighting shall be provided to ensure there is no glare on the public streets or adjacent property, and that lighting levels are in accordance with Section 12.03. Canopy lighting shall be recessed such that the light source cannot be seen from off site.
 - (11) The applicant shall submit a Pollution Incidence Protection Plan (PIPP) as part of the Impact Assessment. The PIPP shall describe measures to prevent groundwater contamination caused by accidental gasoline spills or leakage, such as: special check valves, drain back catch basins and automatic shut off valves.
 - (12) In the event that an automobile service station use has been abandoned or terminated for a period of more than one (1) year, all underground gasoline storage tanks shall be removed from the premises.

- (13) The establishment of a new automobile service station shall require the lot to be separated a minimum of five hundred (500) feet from any other lot containing an existing automobile service station.
- (14) Automobile service stations and maintenance establishments shall comply with the requirements of Section 13.07 Hazardous Materials and Fuel Storage.
- (l) Automobile washes, automatic or self-service, shall comply with the following requirements:
 - (1) Only one (1) ingress/egress driveway shall be permitted on any single street.
 - (2) Where adjoining a residential district, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may require landscaping, including a berm, as an alternative.
 - (3) All washing facilities shall be within a completely enclosed building.
 - (4) Vacuuming and drying may be located outside the building, but shall not be in the required front yard and shall be set back at least fifty (50) feet from any residential district.
 - (5) All cars required to wait for access to the facilities shall be provided stacking spaces fully off the street right-of-way which does not conflict with vehicle maneuvering areas to access gasoline pumps or vacuums, and as required Article 14, Parking and Loading-Unloading Standards.
- (m) Banks, credit unions, savings and loan institutions with drive-through facilities shall only be permitted one (1) ingress/egress driveway, or one (1) pair of one-way driveways along any street.
- (o) Veterinary hospitals which include overnight stays and/or boarding of animals shall comply with the following requirements:
 - (1) The principal accessory building or structure shall be setback seventy five (75) feet from the front property line and fifty (50) feet from all other property lines.
 - (2) All principal use activities shall be conducted within a totally enclosed principal building.
 - (3) The applicant shall provide a waste management plan detailing both indoor and outdoor waste management procedures to ensure animal waste is not discharged to surface or storm water. Outdoor animal areas shall be designated and shall consist of properly maintained lawn, special canine grass or other methods as approved by the Planning Commission following a recommendation by the Township Engineer.
 - (4) Adequate odor control measures shall be implemented so that odor from inside or outside the veterinary hospital will not be discernible outside the building.
 - (5) Applicants shall submit, at the time of special land use application, a proposed site plan and floor plan and written operating procedures

including waste and noise management methods, such as those recommended by the International Boarding and Pet Services Association (IBPSA). These procedures shall be followed for the duration of the business and shall be designed to prevent or control animal behavior that may adversely impact surrounding uses, including loud or excessive barking.

- (p) Carnivals, fairs, commercial cider mills and amusement parks shall comply with the following requirements:
- (1) Minimum lot size shall be ten (10) acres.
 - (2) A site plan shall be provided clearly defining activity areas using fences, buildings, walkways or other suitable barriers.
 - (3) All buildings, structures and parking shall be at least three hundred (300) feet from any dwelling unit excluding any dwelling unit on the site.
 - (4) The Township Board may require placement of a six (6) foot high fence around all or part of the site.
 - (5) Access shall be provided onto a primary road, as designated by the Livingston County Road Commission. Access shall be controlled, with capability to accommodate at least three (3) lanes of ingress traffic. At least three hundred (300) feet on stacking (queuing) area shall be provided on site before parking fee collection.
 - (6) The amount of on-site parking shall be deemed sufficient.
 - (7) Maximum coverage by buildings and structures shall be twenty percent (20%).
 - (8) The Township Board may require posting of a performance bond or other form of financial guarantee. The bond shall be in an amount determined by the Board as necessary to cover any potential damage or clean-up on the site or adjacent properties.
 - (9) The Township Board may establish limits on hours of operation, time limits on validity of special use permit, or any other measures deemed necessary to minimize negative impacts on nearby uses and traffic operations along public streets.
 - (10) Prior to issuance of a Special Land Use Permit, the applicant shall provide evidence of public liability insurance and property damage insurance to cover potential liability for death or injury to persons, or damage to property, which may result from the conduct of the activity.
- (q) Commercial Outdoor Recreation Establishments (excluding golf related uses) shall comply with the following requirements:
- (1) Such uses shall include, but need not be limited to, the following: recreational fields, rinks or courts, including football, softball, soccer, tennis, basketball, ice skating, and similar activities, swimming pools open to the general public or operated by a private non-profit organization, archery and shooting ranges, animal racing, go-cart, automobile or motorcycle tracks, music concert pavilions and band shells, amusement

- parcs and uses accessory to the above uses, such as refreshment stands, retail shops selling items related to the above uses, maintenance buildings, office for management functions, spectator seating and service areas, including locker rooms and rest rooms.
- (2) The site shall be adequate to accommodate the intended use(s), parking and adequate buffer areas without significant impact on nearby properties in terms of noise, traffic, lighting glare, views, odors, trespassing, dust or blowing debris, as determined by the Planning Commission. The applicant shall provide documentation the site size is adequate using national facility standards.
 - (3) The site shall be located on a paved street which is classified as a Primary Route by the Livingston County Road Commission.
 - (4) No building or spectator seating facility shall be located within one hundred (100) feet of a property line.
 - (5) The site shall be periodically cleared of debris.
- (r) Golf Driving Ranges, Miniature Golf Courses shall comply with the following requirements:
- (1) All traffic ingress and egress shall be from a Primary Road, as classified by the Livingston County Road Commission.
 - (2) Any lot line abutting a residential district shall provide a fifty (50) foot wide, landscaped buffer zone A, as defined in Section 12.02.
 - (3) A minimum twenty (20) foot wide greenbelt, as described in Section 12.02, shall be provided along any public street or highway.
 - (4) Site size shall be adequate to retain all golf balls within the site by means of a fence no more than six (6) feet high.
 - (5) The Planning Commission may restrict the hours of operation in consideration of the adjacent land uses and zoning.
- (s) Indoor commercial recreation: (bowling alleys, ice arenas, skating rinks, etc.) shall comply with the following requirements:
- (1) The principal and accessory buildings and structures shall be not be located within one-hundred (100) feet of any residential district or permitted residential use.
 - (2) All uses shall be conducted completely within a fully enclosed building.
- (t) Animal shelters shall comply with the following requirements:
- (1) Buildings wherein dogs are kept, dog runs, and/or exercise areas shall not be located nearer than five hundred (500) feet to a residential use or property line, two hundred (200) feet from any adjacent principal building or unit, and shall be setback one hundred and fifty (150) feet to any lot line and/or road right-of-way.
 - (2) Adequate odor control measures shall be implemented so that odor from inside or outside the animal shelter will not be discernible outside the building.

- (3) All shelters shall be operated in conformance with all applicable county and state regulations and operated by a licensed operator.
 - (4) Any dog and food waste shall be properly and lawfully disposed of to not create a litter, insect, rodent, vermin or offensive odor nuisance. Approval from the Genoa MHOG Utility Department, Drain Commissioner and Health Department shall be provided as part of the special use application.
 - (5) The applicant shall provide a waste management plan detailing both indoor and outdoor waste management procedures to ensure animal waste is not discharged to surface or storm water. Outdoor animal areas shall be designated and shall consist of properly maintained lawn, special canine grass or other methods as approved by the Planning Commission following a recommendation by the Township Engineer.
 - (6) The applicant may be required to post a financial guarantee, the amount of which to be determined by the Township board, before a permit is granted or renewed.
 - (7) The application shall include a floor plan for the facility that indicates noise insulation measures.
 - (8) All enclosures for breeding, rearing, shelter, or other uses in connection with harboring of animals, shall be hard surfaces and provided with proper drains for washing with water pressure.
 - (9) Such facilities shall be subject to other conditions and requirements necessary to ensure against the occurrence of any possible nuisance (i.e., fencing, sound-proofing, sanitary requirements).
 - (10) Applicants shall submit, at the time of special land use application, a proposed site plan and floor plan and written operating procedures including waste and noise management methods, such as those recommended by the International Boarding and Pet Services Association (IBPSA). These procedures shall be designed to prevent or control animal behavior that may adversely impact surrounding uses, including loud or excessive barking.
- (u) Shelters and rehabilitation centers for philanthropic or non-profit institutions shall comply with the following requirements:
- (1) The center shall have access to at least one County Primary Road, State Trunkline or roadway with a right-of-way of at least eight six (86) feet.
 - (2) The site shall not be located within five hundred (500) feet of a residential zoning district.
- (v) Temporary outdoor sales and Temporary outdoor events may be permitted on the same lot with a developed permitted use and shall comply with the following conditions:
- (1) The total of all such uses on any given lot shall be allowed for a combined total of a maximum of twenty-eight (28) days during a calendar year.
 - (2) There shall be no outside vendors. Merchandise sold or service provided shall be that of the regular use in the principal building of the site. Proof

- of tenant occupancy in the principal building shall be provided to the satisfaction of the Zoning Administrator.
- (3) All such uses shall be contained on-site and shall not have an adverse impact on adjacent properties or the surrounding neighborhood. Parking shall be provided on-site and shall not exceed parking and/or occupancy loads.
 - (4) Such uses shall not occupy or utilize the street right-of-way nor block traffic movement on the street, and shall not interfere with pedestrian's use of the sidewalks. Available sanitation facilities must be adequate to meet the requirements of the expected attendance and any temporary facilities shall be approved for use by the Livingston County Health Department. Traffic and dust control measures shall be utilized as deemed necessary by the Zoning Administrator throughout the duration of the sale or event.
 - (5) In addition to being subject to Genoa Township Ordinances, such uses shall be subject to all other applicable law, rules, and regulations including but not limited to the Livingston County Sanitary Code, the regulations of the Livingston County Health Department, Building Department, Road Commission, Drain Commission, Sheriff's Department and the Brighton Area Fire Authority, as applicable. The applicant shall allow for inspections by Township officials, the Brighton Area Fire Authority and all other public agencies having jurisdiction.
 - (6) The applicant shall submit and obtain the Zoning Administrator's approval of a Land Use Permit for each Temporary outdoor sale and/or Temporary outdoor event prior to each such use. The application for Land Use Permit shall include a site plan illustrating location of structures and sale/event areas (with setbacks), sufficient off-street parking, means of ingress/egress, location of utilities, fire lanes, proposed and existing lighting and signs prior to initiation of such activity.
 - (7) The use of any sound system shall be controlled so as not to become a nuisance to adjacent properties and shall comply with the Township Noise Ordinance.
 - (8) Failure to comply with any of the standards within this section shall constitute grounds for immediate termination of the Land Use Permit for the temporary sale and/or event.
 - (9) The restrictions set forth herein shall be enforceable except to the extent pre-empted by state law.
- (w) Pet Daycare Centers (as differentiated from Kennels, which commonly have outdoor runs and are primarily operated for purposes of sheltering, boarding, impounding, keeping or breeding of animals with minimal social interaction among animals), including retail sale of dog care products, grooming, overnight boarding, and outdoor play area, provided the following conditions are met:

- (1) Hours of operation open to the public are limited to twelve (12) hours per day and shall not extend later than 7 p.m.
- (2) There shall not be individual, outdoor dog runs.
- (3) Walls, partitions and floor/ceilings assemblies separating dog daycare facilities from adjacent uses shall adequately soundproofed with a sound transmission class over sixty (60) and shall be constructed so that there will be no emission of noise detrimental to surrounding properties. The applicant shall provide a noise impact study performed by a certified acoustical engineer to ensure the noise levels produced by the pet daycare use will not exceed fifty (50) decibels above ambient noise at the outside of an exterior wall or at the opposite side of a common interior wall. The study shall also confirm compliance with the Township Noise Ordinance in regard to noise levels at the property line.
- (4) The number of pets cared for at any one time shall not exceed one (1) pet per one hundred (100) square feet of gross floor area, which is subject to discretionary review by the Planning Commission.
- (5) Overnight boarding of pets shall be an accessory use to the daycare center. The length of stay for boarded animals shall be limited to fourteen (14) consecutive days, and no outdoor boarding shall be permitted.
- (6) Adequate odor control measures shall be implemented so that odor from inside or outside the pet daycare center will not be discernible outside the building or unit.
- (7) Any outdoor play area shall be attached to the center and shall be setback a minimum of three hundred (300) feet from the nearest residential use.
- (8) The outdoor play area for the pets shall be surrounded with a masonry wall or other material that is aesthetically compatible in terms of material, color and finish with the principal and surrounding buildings. Said wall shall be at least six (6) feet in height and maintained in good condition at all times. Failure to maintain the wall in its original condition shall be considered a violation of the site plan approval.
- (9) Any outdoor play area is for periodic use only, and pets shall not be allowed to access the outdoor play area on their own. Not more than fifteen (15) pets shall be permitted in the outdoor play area at any one time. While in the outdoor play area, dogs shall be escorted and supervised by a dog handler who will be responsible for preventing or quickly suppressing any dog behavior that may adversely impact surrounding uses, including loud or excessive barking.
- (10) The applicant shall provide a waste management plan detailing both indoor and outdoor waste management procedures to ensure animal waste is not discharged to surface or storm water. Outdoor animal areas shall be designated on the plan and shall consist of properly maintained lawn, special canine grass or other methods with an appropriate drainage system to control surface run-off. The outdoor area surface shall be approved by

the Planning Commission following a recommendation by the Township Engineer. The outdoor play area must be maintained in a clean, sanitary manner, and adequate odor control measures shall be implemented so that odor will not be discernible beyond the area. Solid pet waste in the outdoor play area must be promptly picked up.

- (11) Any pet and food waste shall be properly and lawfully disposed of to not create a litter, insect, rodent, vermin or offensive odor nuisance. Approval from the Utility Authority, Drain Commissioner and Health Department shall be provided as part of the special use application.
 - (12) The applicant shall demonstrate the proposed drop-off/pick-up pattern and shall provide one (1) parking space for each staff member and one (1) space for each 5 animals permitted at the daycare.
 - (13) Applicants shall submit, at the time of special land use application, a proposed site plan and floor plan and written operating procedures including waste and noise management methods, such as those recommended by the International Boarding and Pet Services Association (IBPSA). These procedures shall be followed for the duration of the business and shall be designed to prevent or control animal behavior that may adversely impact surrounding uses, including loud or excessive barking.
- (x) Veterinary Clinic (as differentiated from Veterinary Hospital, which commonly has animal boarding or overnight in-patient animal care) provided the following conditions are met:
- (1) A site plan shall be provided as part of the Land Use Permit application showing a dedicated outdoor animal area. Outdoor animal areas shall consist of properly maintained lawn, special canine grass or other methods with an appropriate drainage system to control surface run-off. The outdoor area surface shall be approved by the Planning Commission following a recommendation by the Township Engineer. The outdoor area must be maintained in a clean, sanitary manner, and adequate odor control measures shall be implemented so that odor will not be discernible beyond the area. Solid pet waste in the outdoor area must be promptly picked up.
 - (2) Applicants shall submit, at the time of land use application, a proposed site plan and floor plan and written operating procedures including waste and noise management methods. The waste management plan shall detail both indoor and outdoor waste management procedures to ensure animal waste is not discharged to surface or storm water. These procedures shall be followed for the duration of the business and shall be designed to prevent or control animal behavior that may adversely impact surrounding uses, including loud or excessive barking.

- (y) Micro-breweries, small distilleries and small wineries shall comply with all requirements of the State of Michigan for the production, sale and/or distribution of alcoholic beverages and shall obtain all necessary licenses and permits. Such uses shall also provide sufficient on-site space and circulation for loading/unloading. Any vehicles affiliated with the use shall be parked or stored only in the rear yard.
- (aa) Upper floor dwelling units shall incorporate parking and waste receptacles for the dwelling units in the site plan for the facility.

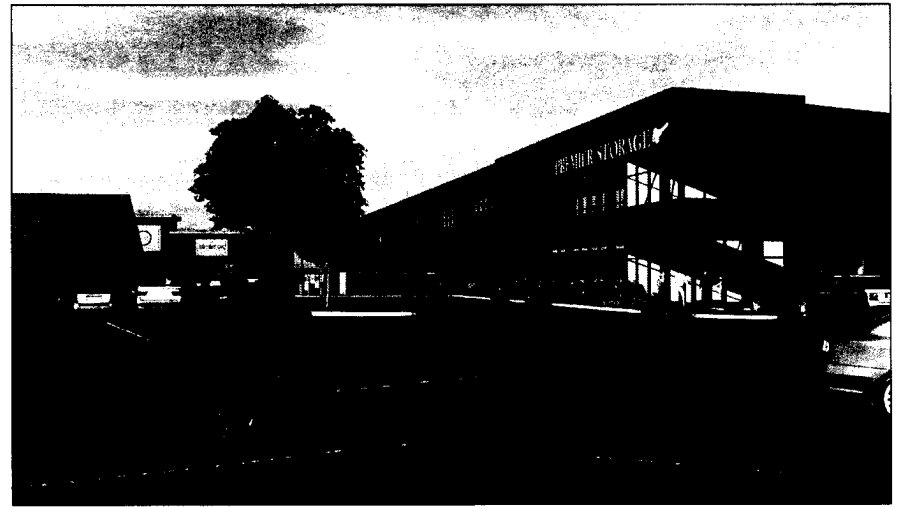
Exhibit E
Elevations

BMH - PREMIER - P.U.D. Howell, Michigan

PRELIMINARY, NOT FOR CONSTRUCTION



2007 Registered Professional Engineer
DAN & ASSOCIATES, ARCHITECTS, PC



BMH-PREMIER P.U.D.
HOWELL, MI

COVER SHEET

Scale
N/A

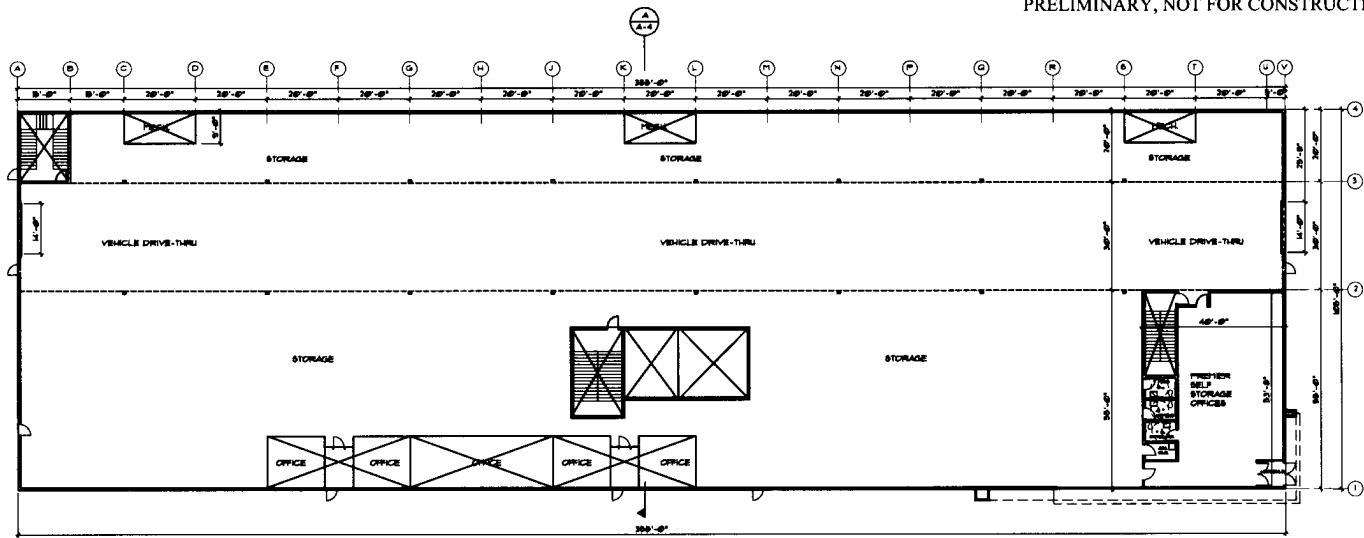
Date
1/24/20

Scale No
A-0

PRELIMINARY, NOT FOR CONSTRUCTION

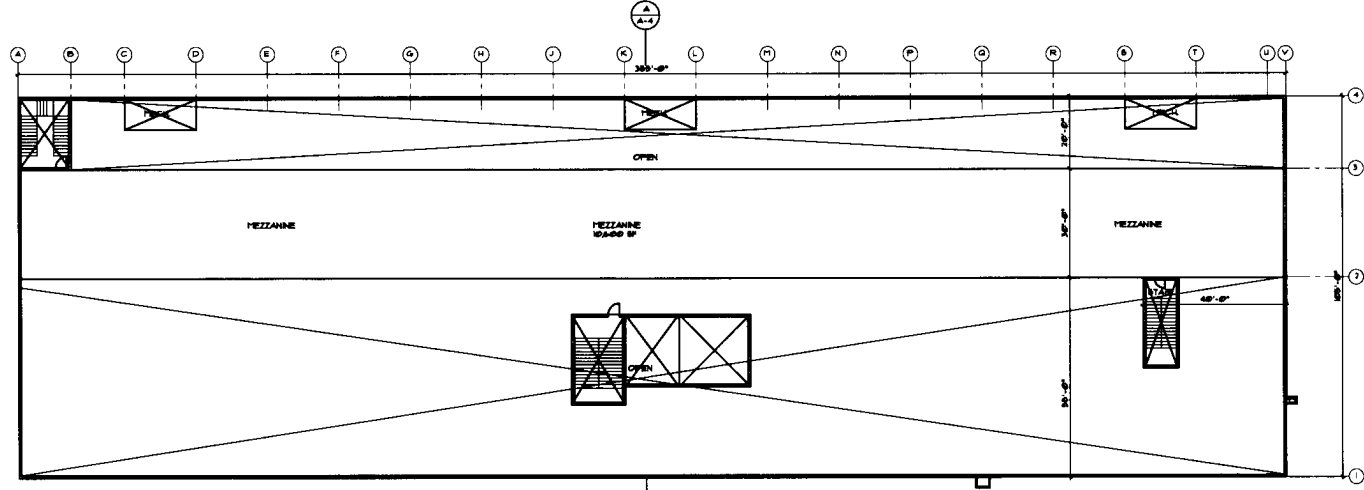


DESIGN
DEN & ASSOCIATES, ARCHITECTS, P.C.



GROUND LEVEL, USE GROUP S-1 & B
37,275 SF GROSS
NET RENTABLE AREA = 19,120 SF

GROUND LEVEL PLAN
SCALE: 1/8"=1'-0"



UPPER LEVEL, USE GROUP S-1
37,275 SF GROSS (10,600 SF PERMANENT MEZZANINE)
NET RENTABLE AREA = 27,225 SF

UPPER LEVEL PLAN
SCALE: 1/8"=1'-0"

BMI-PREMIER P.U.D
HOWELL, MI

BUILDING ENVELOPE
FLOOR PLAN

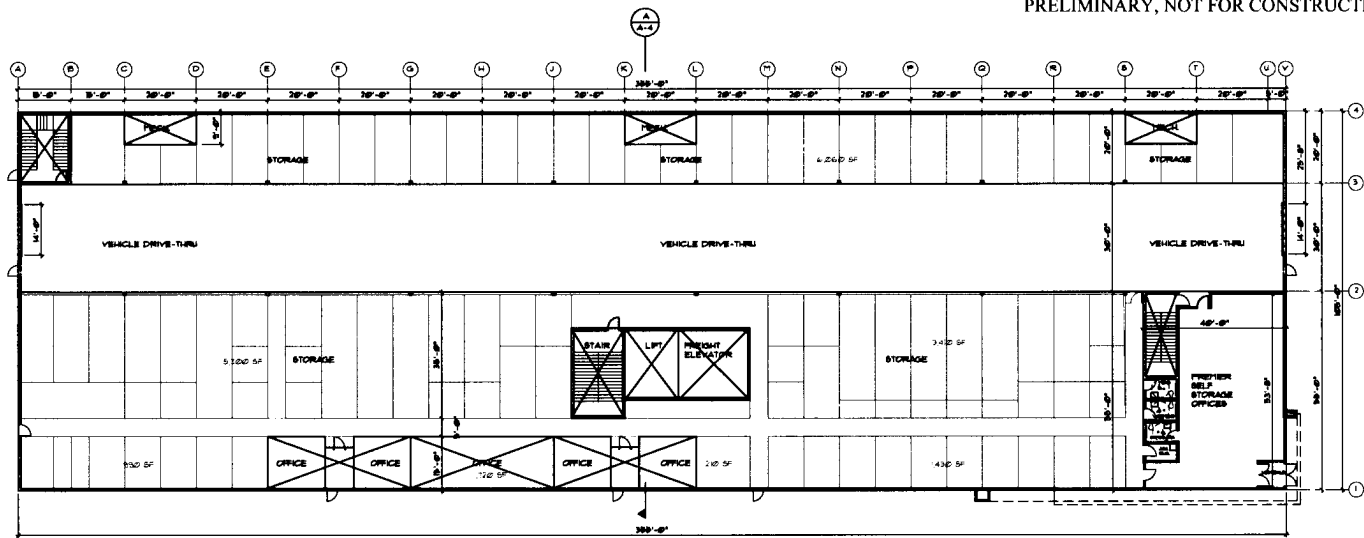


Scale: 1/8"=1'-0"
Date: 12-4-20
Sheet: A-1

PRELIMINARY, NOT FOR CONSTRUCTION



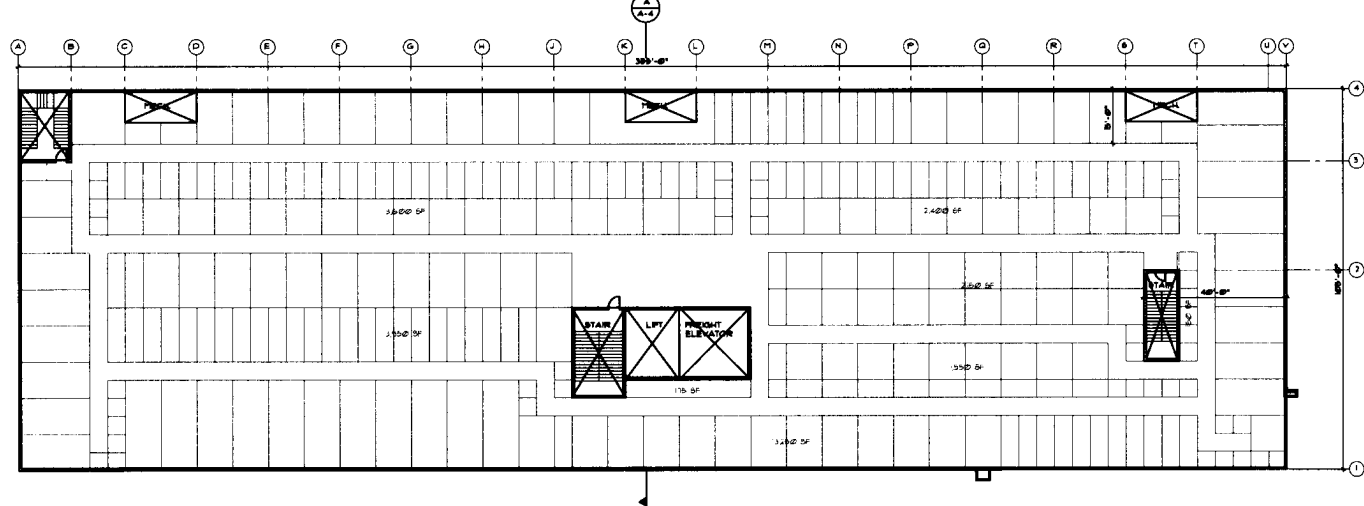
1000 Appleton Ct
 Farmington Hills, MI 48334
 248.850.0000
 www.bccbrivar.com



GROUND LEVEL, USE GROUP S-1 & B
 37,275 SF GROSS
 NET RENTABLE AREA = 19,120 SF

SYMBOL KEY:
 STORAGE SYSTEM CONSISTS OF PARTITIONS, 2ND FLOOR DECK, AND STORAGE UNIT DOORS. THESE COMPONENTS ARE SEPARATELY ENGINEERED AND INSTALLED WITHIN THE PERMANENT STRUCTURE.
 PROPOSED NEW CONSTRUCTION PERMANENT BUILDING ELEMENT

SELF STORAGE SYSTEM - GROUND LEVEL PLAN
 SCALE: 1/8"=1'-0"
 TL RENTABLE AREA
 STORAGE: 17,400 SF
 OFFICE: 1,720 SF



UPPER LEVEL, USE GROUP S-1
 37,275 SF GROSS (10,600 SF PERMANENT MEZZANINE)
 NET RENTABLE AREA = 27,225 SF

SELF STORAGE SYSTEM - UPPER LEVEL
 SCALE: 1/8"=1'-0"
 TOTAL RENTABLE AREA
 STORAGE: 27,225 SF



BMH-PREMIER P.U.D.
 HOWELL, MI

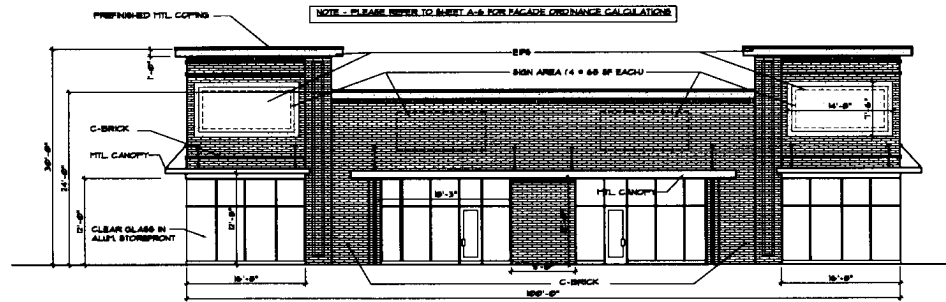
STORAGE SYSTEM
 FLOOR PLAN

Scale: 1/8"=1'-0"
 Date: 12-6-20
 Size: A-1.1

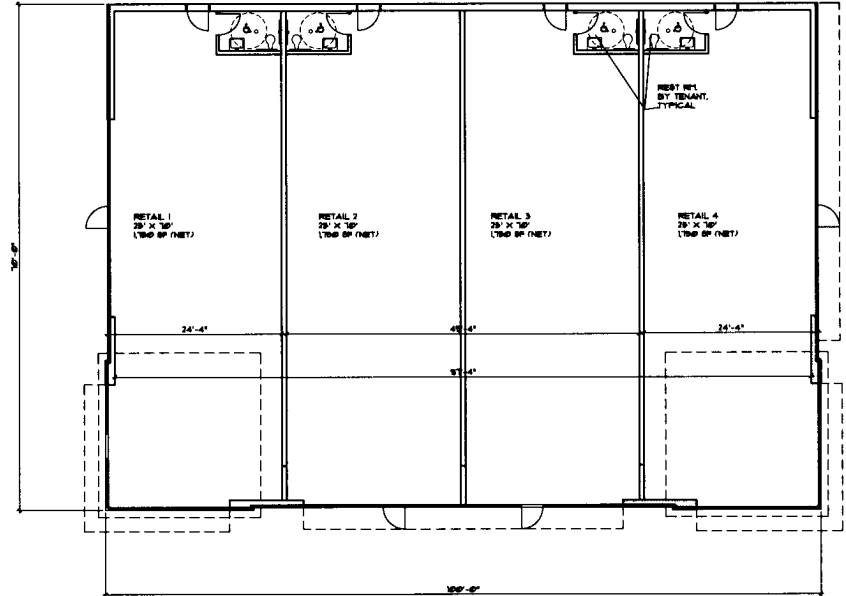
PRELIMINARY, NOT FOR CONSTRUCTION



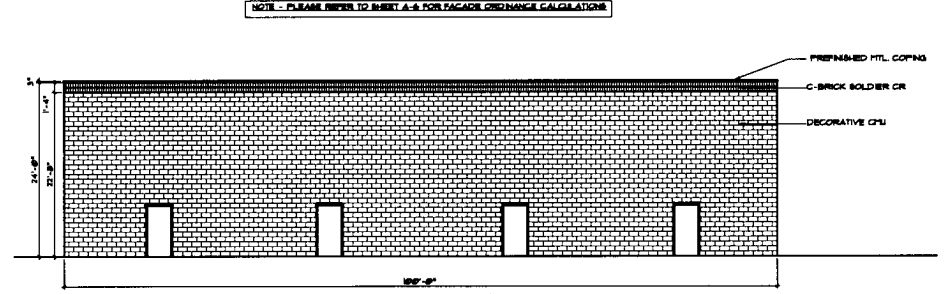
CONSULTANT ARCHITECTS, INC.
 2000 W. WOODRIDGE BLVD.
 SUITE 100
 WESTLAND, MI 48090
 TEL: 313.487.1000
 WWW.AIAARCHITECTS.COM



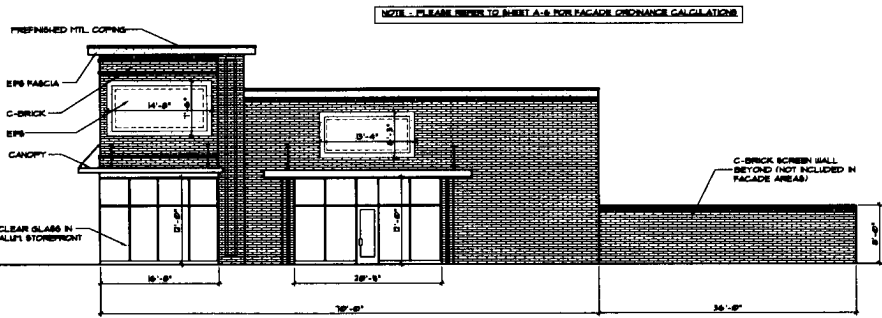
SOUTH ELEVATION



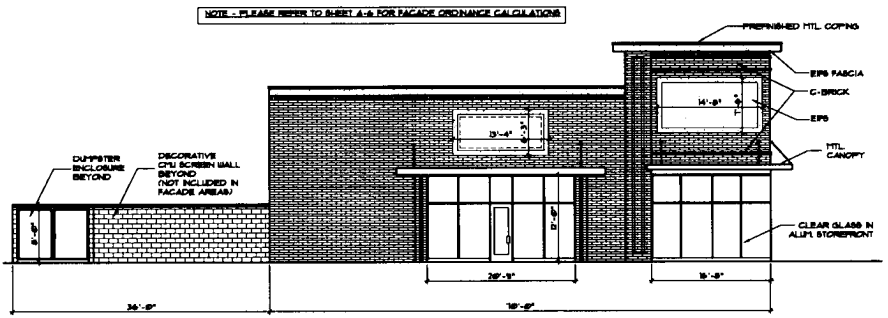
FLOOR PLAN
SCALE: 1/8"=1'-0"



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

BMH-PREMIER P.U.D
 HOWELL, MI

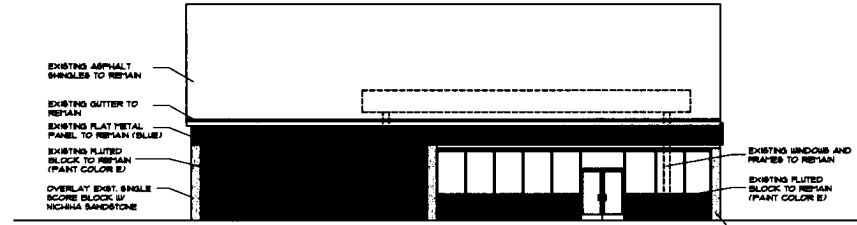
RETAIL BUILDING

Scale: 1/8"=1'-0"
 Date: 12-4-20
 SAK: MK
 A-3

PRELIMINARY, NOT FOR CONSTRUCTION

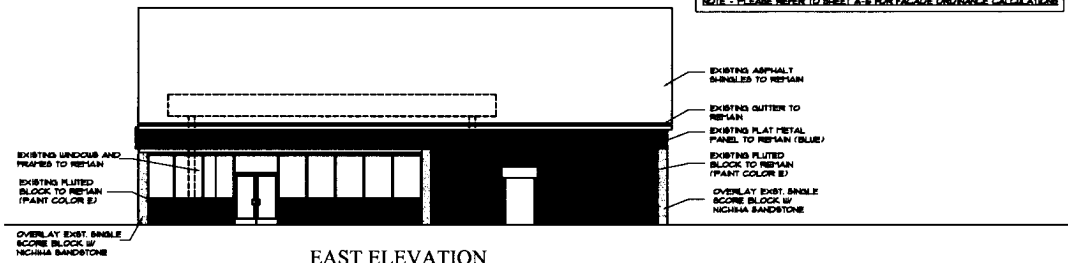


NOTE - PLEASE REFER TO SHEET A-3 FOR FACADE ORDINANCE CALCULATIONS



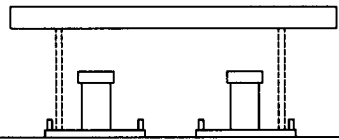
WEST ELEVATION

NOTE - PLEASE REFER TO SHEET A-3 FOR FACADE ORDINANCE CALCULATIONS



EAST ELEVATION

FACADE AREA: CANOPY EAST ELEVATION UNALTERED FACADE AREA: CANOPY WEST ELEVATION UNALTERED



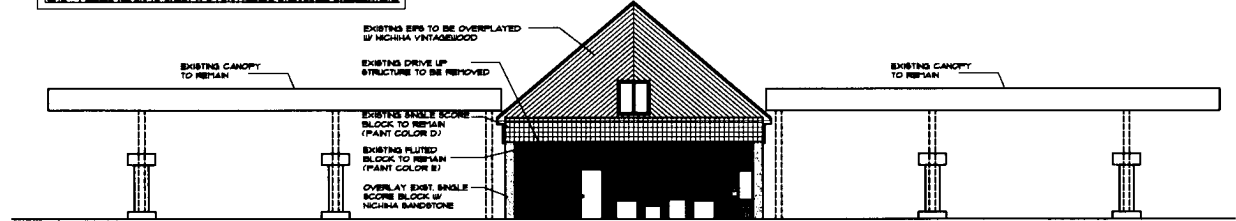
CANOPY EAST & WEST ELEVATION

NOTE - PLEASE REFER TO SHEET A-3 FOR FACADE ORDINANCE CALCULATIONS



SOUTH (FRONT) ELEVATION

NOTE - PLEASE REFER TO SHEET A-3 FOR FACADE ORDINANCE CALCULATIONS



NORTH (REAR) ELEVATION

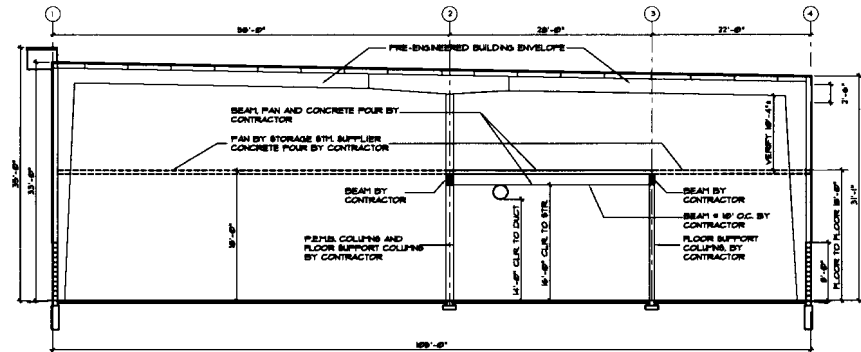
BMH-PREMIER P.U.D. HOWELL, MI FUEL STATION & CONVENIENCE STORE

Scale 1/8"=1'-0" Date 7/24/08 SNA: M A-4

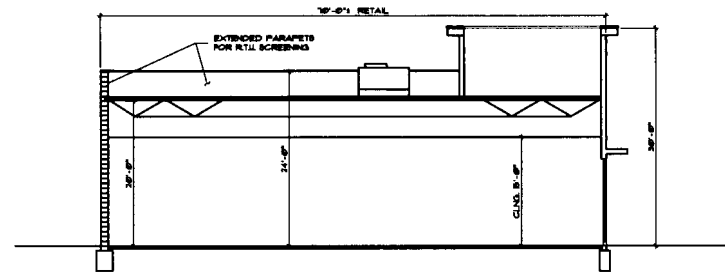
PRELIMINARY, NOT FOR CONSTRUCTION



DESIGN TEAM ARCHITECTS, LLC
 4577 Appleton Dr.
 Plymouth, MI 48170
 PH: 734.761.1111
 WWW.DENISEN.COM



TYPICAL STORAGE BUILDING SECTION
 1/8"=1'-0"



TYPICAL RETAIL & OFFICE BUILDING SECTION
 1/8"=1'-0"

BMH-PREMIER P.U.D
 HOWELL, MI

SECTIONS

Scale
 1/8"=1'-0"

Date
 3/2/08

SAK: MK
 A-5

PERMANENT EASEMENT FOR PRIVATE UTILITIES

This Permanent Easement for Private Utilities (“Easement”) is made this ____ day of _____, 2020, by and between PREMIER GENOA, LLC, a Michigan limited liability company, whose address is 775 N. Second Street, Brighton, Michigan, 48116 (hereinafter referred to as the “OWNER”) and BMH REALTY, L.L.C., whose address is 775 N. Second Street, Brighton, Michigan, 48116, a Michigan limited liability company (hereinafter referred to as the “GRANTEE”) who agree as hereinafter set forth:

WHEREAS, the GRANTEE proposes to install permanent private utilities, including, but not limited to utilities for stormwater drainage and related improvements upon OWNER’S property in accordance with a Planned Unit Development approved by the Charter Township of Genoa;

WHEREAS, in order to construct said improvements it is necessary for the GRANTEE and/or its agents, licensees and contractors to enter upon a portion of the lands owned by OWNER to complete the construction;

WHEREAS, OWNER is the holder of marketable title to the property (the “Property”) legally described as follows:

Parcel Identification # 4711-09-200-036

Part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, more particularly described as follows:

Commencing at the North 1/4 of Section 9; thence along the North-South 1/4 line (as previously surveyed and monumented) South 01 degrees 39 minutes 41 seconds West (previously described as South 02 degrees 24 minutes West), 302.11 feet to the POINT OF BEGINNING of the parcel to be described; thence South 89 degrees 43 minutes 06 seconds East 335.95 feet; thence South 07 degrees 58 minutes 20 seconds West 279.64 feet; thence along the South line of a private road easement (variable width) North 68 degrees 02 minutes 22

seconds West (previously described as North 67 degrees 30 minutes West) 325.31 feet; thence along the North-South 1/4 line (as previously surveyed and monumented), North 01 degrees 39 minutes 41 seconds East (previously described as North 02 degrees 24 minutes East), 157.00 feet to the point of beginning.

WHEREAS, OWNER has agreed to allow the GRANTEE and/or its agents, licensees and contractors, to enter a portion of OWNER'S property to construct and complete the private utility installation and related improvements; and

WHEREAS, the Easement is over, under and across the entirety of the Property;

NOW THEREFORE, for the consideration of One Dollar (\$1.00), it is agreed as follows:

1. The OWNER hereby conveys and warrants to the GRANTEE a permanent easement for private use upon and across and under the Property, including but not limited to, the following: installation, maintenance, use, and repair of any and all private utilities, including, but not limited to, landscaping irrigation, water main, sanitary sewer, storm sewers, underground cable, telephone, electric and other utilities, and appurtenances and equipment thereto including, but not limited to forebays and detention and retention basins.

2. The OWNER acknowledges that the GRANTEE, by accepting the easements set forth herein, has no obligation to make any improvements other than those which presently exist in, over or upon the real estate which is the subject of the easements or any other real estate.

3. All of the easements set forth herein shall inure to the benefit of the GRANTEE or any of its licensees, grantees or assignees.

4. The easement shall run with the land for the durations set forth herein and shall be binding on the OWNER, its tenants, heirs, administrators and assigns for as long as the said easement continues.

5. This conveyance is exempt from any revenue tax by virtue of MCL 207.526(a) and 207.505(a).

6. The OWNER has through its duly authorized officer executed this agreement and it shall be effective on the recorded date.

**BMH – PREMIER GENOA PUD
Genoa Township, Michigan
Site Plan Application**

IMPACT ASSESSMENT

Owner:

BMH Realty, L.L.C.
775 N. Second Street
Brighton, Michigan 48116

Prepared by:

DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed building additions and parking expansion on the surrounding community and the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The site is comprised of six parcels, containing a total of 5.12 acres of property, bordered on the North by White Horse Drive, Lawson Drive on the East, Grand River Avenue on the South and the Lake Trust Credit Union to the West, as shown on Figure 1. The Southeasterly four parcels are zoned General Commercial (GCD) district, the Southwesterly Parcel is zoned Office Service (OSD) district, and the North Parcel is split zoned with the East 1/2 zoned GCD and the West 1/2 zoned OSD.

The property currently contains three buildings and related improvements. An existing fuel station with a 2,670 square foot convenience store building, parking lot and storm water basin is located on the two center parcels. A 7,900 square foot commercial building, occupied by the Total Pool Supplies and Service, is located on the Southeast parcel. The Northeast parcel contains a 2,440 square foot industrial building, with a fenced outdoor storage yard, currently home to Security Access Controls and Fence Company. A residential home and related improvements, located on the Westerly parcel, were previously removed. The Existing Conditions Plan provides a detailed overview of the existing site features.

The BMH-Premier PUD Phase 1 Site Plan depicts proposed site improvements to be constructed on the site. Improvements consist of A 37,275 sq ft multi-purpose, adaptive use building, currently proposed to be up-fit with equipment to operate a drive-through, climate controlled building, with the potential for small flex-office spaces for rent and the existing gas station with a convenience store and related (existing) ancillary propane and kerosene sales. Additionally, the Site Plan features new parking areas, access drives, a storm water management system, lighting, landscaping and related site improvements.

Access to the property from Grand River Avenue and from Lawson Drive is provided through existing drives to the fuel station and convenience store. New access drives are proposed on White Horse Drive, in the Northeast portion of the project, and connection to the existing cross-access drive to Lake Trust Credit Union, located at the Southwest corner of the site. The site plan depicts 53 parking spaces, including 3 barrier free accessible spaces, are to be constructed on the site. Appurtenant features including commercial access drives, drive aisles, unloading/loading area, sidewalks and landscaping are also presented

in the site plan. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

Adjacent uses include the Lake Trust Credit Union to the West and the DTE Service Center to the Northeast. Property to the North and East of the site is currently vacant. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

C. IMPACT ON NATURAL FEATURES

Natural features on the subject parcel consist of re-established field grasses and shrub/scrub brush on the Westerly portion of the property. Existing topography of the site is generally flat to gently sloping terrain. The elevation of the property varies from an elevation of 991 at the Westerly property line, to approximately 986 at the Southeast corner of the parcel. Surface water drainage on the property generally flows to the Southeast.

Existing soils on the property are primarily Miami loam. These soils are generally moderately drained, moderately permeable, loams. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and “Soil Survey of Livingston County”. The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed construction and improvements will require filling and grading in the Southeast portion of the property, filling the existing storm water basin and modifications to site elevations on the Northwest corner of Lawson Drive and Grand River. Excavation will be required to construct the proposed storm water retention system proposed on the North side of White Horse Drive.

The limits of disturbance have been depicted on the grading plan. Grading for this project will maintain the general character of the existing site. Development of this project will require earthwork to construct to proposed retention basin and modify site grades with useable materials from the site, requiring the exporting of excess soil and importing of additional structural fill material. The proposed elevations and grading of the site mesh with the existing grades at the property lines.

Landscaping is proposed for the developed portion of the site to reduce the visual impact of the proposed project. All proposed landscaping areas meet or exceed the planting requirements of Genoa Township’s current Zoning Ordinance and have been designed to improve the aesthetics of the property. Within the developed portion of the site, areas not otherwise covered, shall have lawn or other vegetative surface cover established.

Surface drainage characteristics on the property will be affected by the construction of the proposed building expansions and parking lots. Construction of the proposed improvements will reduce the permeable area of the property resulting in an increase in the surface water runoff generated. A storm water management system has been designed to collect and control the surface water runoff, reducing the discharge rate from the property and increasing the infiltration of surface water runoff.

The proposed changes and modifications to the surface drainage conditions will not significantly impact local aquifer characteristics or groundwater recharge capacity. All surface water runoff from the site will be directed into the proposed retention basin to be constructed North of White Horse Drive. Reduction in the surface permeability will affect onsite infiltration, surface water flow path and duration. Surface water runoff from the development will be reduced and no significant impact to adjacent properties are anticipated from the proposed construction and re-development of the site.

Upland wildlife habitats on the property are minimal and consist of primarily field grass and shrub/scrub brush areas in the Northwest portion of the property. Wildlife supported in this area is generally smaller field animals and birds. Previous development and the existing use of the property, the adjoining developments and the proximity of Grand River, limits the existing upland habitat.

The project site does not currently support any significant wildlife habitat and the proposed construction will not have a significant impact on overall habitat quality. No significant adverse impact to natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

Excavation and grading will be undertaken to construct the proposed stormwater retention basin. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed sedimentation basin and retention basin. Site grading will mesh with existing grades on adjoining properties. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

Surface water runoff generated from all improved areas of the site will be collected by catch basins, conveyed through a storm sewer system, and discharged to the sedimentation and retention basin located on the North side of White Horse Drive. Storm water will be retained within the basin during a storm event and will infiltrate into the ground.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be installed around a majority of the site during construction. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

Surrounding land uses to the North of the site, on the North side of White Horse Drive, zoned Mixed-Use Planned Unit Development (MU-PUD), consists of an industrial user and vacant property. Land to the East is zoned Non-Residential Planned Unit Development

(NR-PUD) and is vacant. Land to the South, zoned Non-Residential Planned Unit Development (NR-PUD) and Industrial (IND), contains a mix of commercial and industrial users including an auto wash and Reuland Electric Company. Property to the West is the Lake Trust Credit Union, zoned Mixed-Use Planned Unit Development (MU-PUD).

The proposed Phase 1 Site Plan conforms to the approved PUD plan. No adverse impact to adjacent properties is anticipated due to construction of the Phase 1 improvements.

Ambient noise levels on and around the property are largely generated by Grand River vehicle traffic. Daily activities within the proposed building are not anticipated to create an increase in the sound level in the area.

All site lighting shall comply with conditions of the approved PUD. Proposed building mounted fixtures and pole mounted site lighting will be shielded and down directed on the site. The existing fuel station and convenience store lighting shall be on from dusk until dawn. General site lighting for other uses, excluding safety and emergency lighting, shall be energized between the times from dusk to 12:01 a.m. and from 5:00 a.m. to dawn.

The building façade along the building front (South side) and the East side elevations are most visible from Grand River. The East and West ends of the storage building provide primary entrance features. The storage building is designed to grant vehicular access into and out of the respective East and West ends of the building. The entire length of the building is designed with a 30' wide drive and parking aisle through the building, reducing demand for exterior onsite parking needs and eliminating the need for any outdoor parking and loading areas to access the building for pick up and delivery of stored items.

HVAC units serving the multi-purpose facility are placed inside of the building eliminating unsightly large heating and cooling mechanical equipment typically located either on rooftops or outside within landscaped buffers, which if placed on the available area outside of the building these mechanicals would be seen along White Horse Drive or Lawson Drive. The proposed interior placement reduces visibility by drivers accessing nearby residential neighborhoods and indoor placement of the HVAC lessens the total height and mass of the structure.

The proposed use of the property does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department as a part of an existing governmental agreement will provide fire protection service. A fire hydrant will be constructed on the property within the White Horse Drive Right-of-way to provide adequate fire protection capabilities. The building is provided with an internal fire suppression system. A Fire Department Connection is located near the Northwest corner of the building along with a Knox box and required address labeling to meet the Fire Departments requirements. No significant increase in fire protection services are anticipated as a result of the proposed use.

The property is accessed from Grand River, White Horse Drive and Lawson Drive, providing adequate access for emergency vehicles. A wide drive aisle on the West side of the building will serve as a fire access lane between Grand River and White Horse Drive.

The proposed uses will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is presently within municipal sewer and water districts and existing buildings are connected to the municipal utilities.

Water service to the storage building is provided from a new water main extension to be constructed along White Horse Drive. A water service lead is connected to this main to supply the building and a fire suppression line is also provided from this main. An easement for repair, maintenance and access are provided for this connecting water main. Capacity is available within the existing water system to provide adequate service to this site.

Sanitary sewer is located along the North side of Grand River. Capacity is available within the existing sanitary sewer system to provide adequate service for the site.

The site is currently serviced by electric, gas, phone and cable systems located along Grand River Avenue.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. Dumpster enclosures with screen walls are located on the East, South and West sides of the storage building. The enclosures will be constructed decorative CMU material, matching material used on the site and complimenting the adjacent architecture of the building. Additional landscaping is provided in these areas to further enhance the aesthetics of these enclosures.

Delivery services are generally limited to parcel trucks, such as UPS, and similar single axle vehicles. These delivery service providers use available parking and drop off areas during their deliveries. Large vehicles accessing the site will be capable of maneuvering

on the proposed access drives around the building and will utilize the proposed storage building for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

The proposed uses within the building will not use, store, generate and/or discharge potentially polluting materials. Small quantities of material such as cleaning products and chemicals may be stored on-site.

I. TRAFFIC IMPACT STUDY

A traffic impact study for the development has been prepared by Rowe Engineering and is submitted with the Site Plan packet. ¹

Pedestrian access to the property is provided by an existing sidewalk along Grand River. A new sidewalk will be constructed along the East side of the property on Lawson Drive. Sidewalks throughout the property provide safe and efficient means for pedestrians to access the various uses within the property.

No adverse impact on pedestrian traffic in the area is anticipated as a result of developing the proposed project.

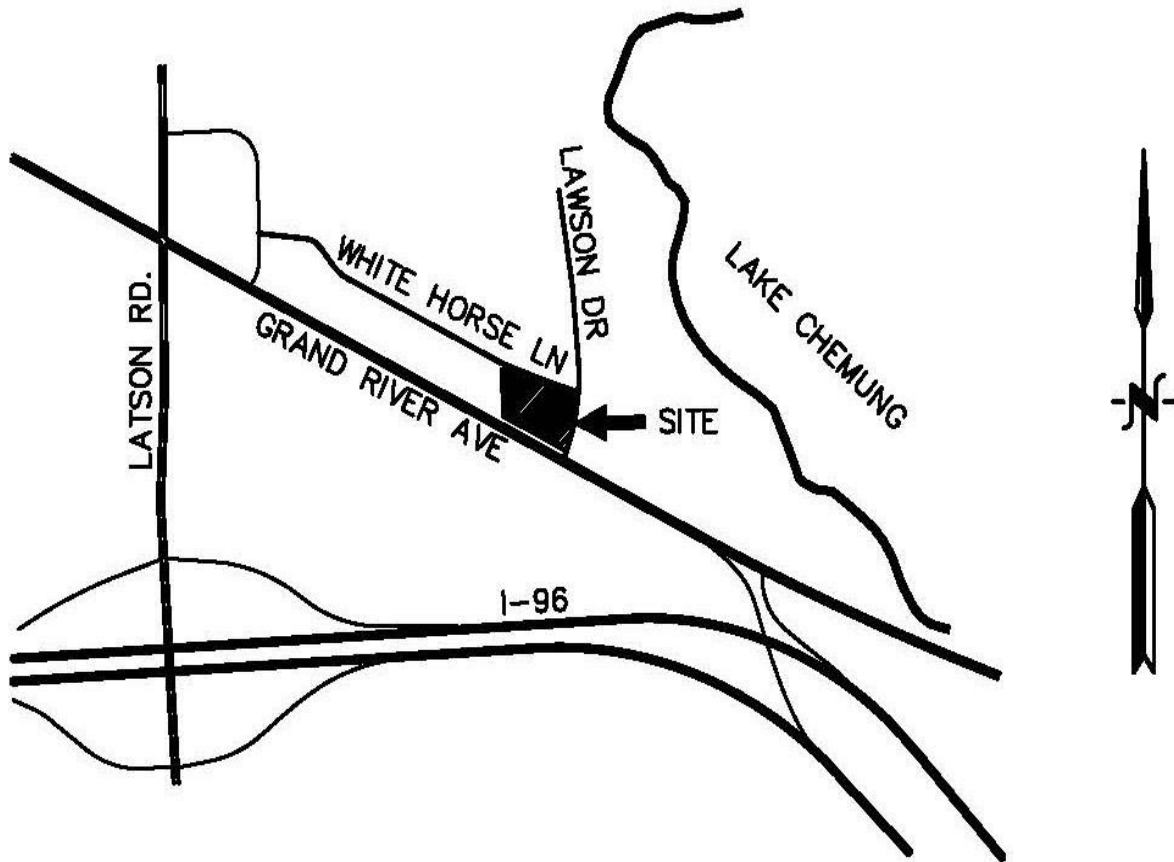
J. HISTORIC AND CULTURAL RESOURCES

The existing buildings on the property do not have any major historic significance on a local, regional or state level.

K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

FIGURE 1



LOCATION MAP
NOT TO SCALE

FIGURE 2

PHOTO DEPICTING SITE IMPROVEMENTS
NOT TO SCALE

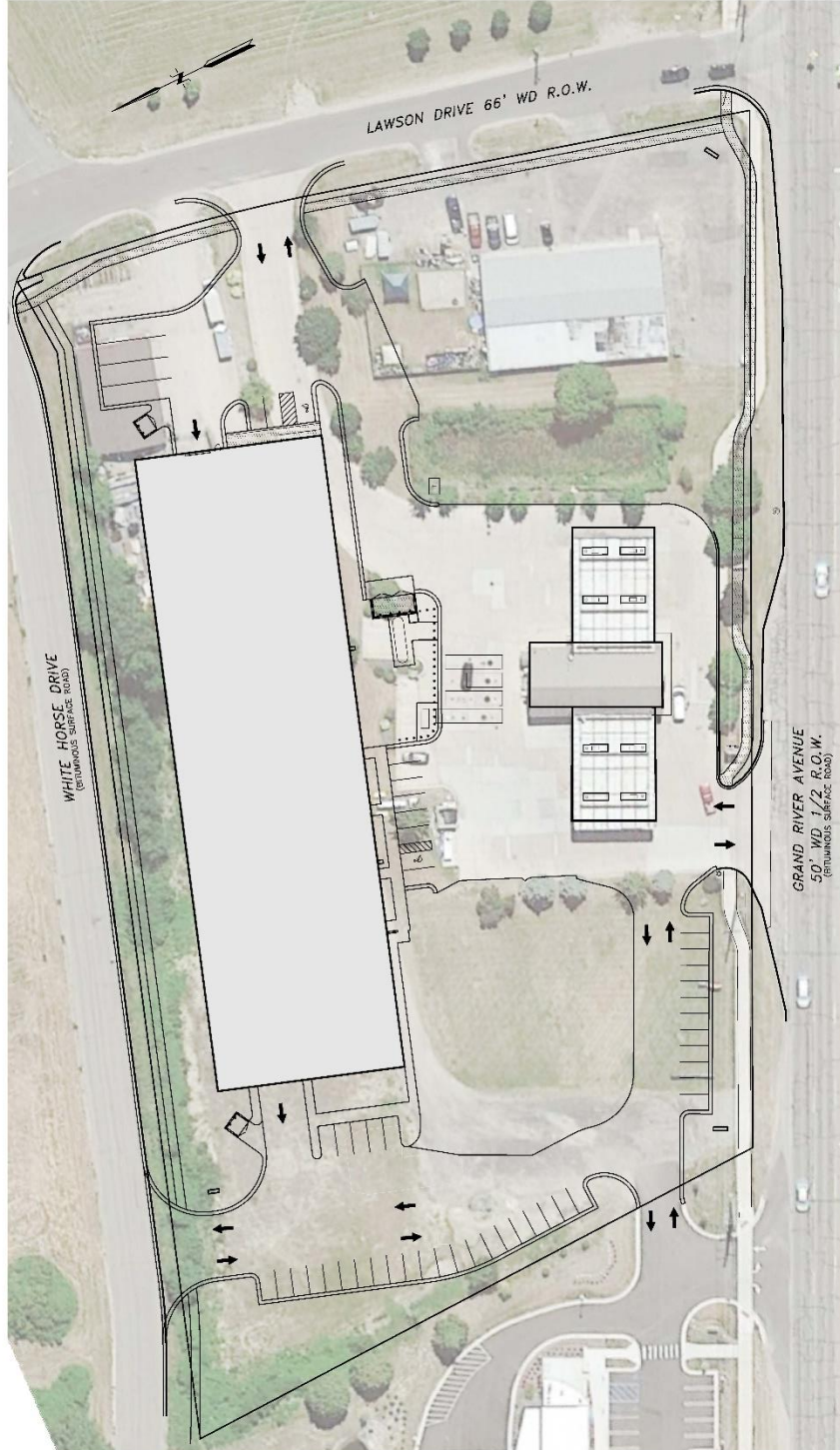


FIGURE 3
SOILS MAP
(NOT TO SCALE)



SOILS MAP

Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshtemo loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshtemo loamy sands, 18 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water

Site plan & Construction Plans FOR H - PREMIER P.U.D.

GENOA TOWNSHIP, MICHIGAN
A PART OF THE NE 1/4 OF SECTION 9, T2N, R5E.
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



AERIAL PHOTOGRAPH
SCALE: 1" = 60'

AERIAL PHOTOGRAPH BY:
Google maps
Aerial photographic quality is as described above and is intended to be used for engineering purposes only. It is not intended to be used for any other purpose and may not accurately depict current site conditions.

LEGAL DESCRIPTION

Parcels No's: 4711-09-200-005, 4711-09-200-010, 4711-09-200-014, 4711-09-200-015, 4711-09-200-016 and 4711-09-200-017 combined.

Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 3 East, Genoa Township, Livingston County, Michigan; thence S01°47'17"E (SPCS) (recorded as 10130'47"E) 458.11 feet along the North and South 1/4 line of said Section 9 to the PLACE OF BEGINNING; thence the following two courses along the South line of White Horse Drive (variable width Right-of-way): 1) S71°30'00"E (SPCS) (recorded as S71°30'00"E) 810.87 feet, and 2) N08°36'45"E (SPCS) (recorded as N08°36'45"E) 45.07 feet; thence the following two courses along the West line of Lawson Drive (66 foot wide Right-of-way): 1) Southerly 181.80 feet along the arc of a 995.63 foot radius curve to the right, through a central angle of 102°29'14" and having a chord bearing S09°50'07"W (SPCS) (recorded as S09°50'27"W) 181.83 feet, and 2) S19°04'48"W (SPCS) (recorded as S19°04'48"W) 238.04 feet; thence N04°10'04"W (SPCS) (recorded as N04°10'04"W) 578.28 feet along the Northern line of Grand River Avenue (50 foot wide 1/2 Right-of-way); thence N01°47'31"W (SPCS) (recorded as N01°47'31"W) 348.17 feet along said North and South 1/4 line of Section 9 to the Place of Beginning.

Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 3 East, Genoa Township, Livingston County, Michigan.
Containing 5.12 acres of land, more or less.
Subject to and together with all easements and restrictions affecting title to the described above premises.

SHEET INDEX

- EX EXISTING CONDITIONS & DEMOLITION PLAN
- SP SITE PLAN
- UT1 UTILITY PLAN
- UT2 STORM SEWER PROFILES
- UT3 WATERMAIN PROFILES
- GR1 GRADING PLAN
- GR2 RETENTION BASIN DETAIL AND DRAINAGE CALCULATION
- AP1 LAWSON DRIVE ENTRANCE PLAN
- AP2 WHITEHORSE DRIVE ENTRANCE PLAN
- SE1 SOIL EROSION CONTROL PLAN
- SE2 SOIL EROSION CONTROL NOTES & DETAILS
- DT1 NOTES AND DETAILS
- DT2 SIGNAGE AND PAVEMENT MARKING NOTES AND DETAILS
- L1 LANDSCAPE PLAN
- L2 ENLARGEMENTS
- L3 ENLARGEMENTS AND LANDSCAPE DETAILS
- L4 LANDSCAPE SPECIFICATIONS
- RL PHOTOMETRIC PLAN
- LIGHTING CUT SHEET
- MHOG STANDARD DETAILS
- ARCHITECTURAL PLANS
- A-1 SELF STORAGE BUILDING ENVELOPE FLOOR PLANS
- A-1.1 SELF STORAGE SYSTEM FLOOR PLAN
- A-2 SELF STORAGE BUILDING ELEVATIONS
- A-4 FUEL STATION AND CONVENIENCE STORE
- A-6 FACADE ORDINANCE CALCULATIONS

WATER MAIN (PH1 CONSTRUCTION)		
8" CL. 52 D.I. WATER MAIN PIPE	1170	LF.
8" 45° VERTICAL BEND	4	QTY.
8" 45° HORIZONTAL BEND	4	QTY.
8" 22.5° VERTICAL BEND	1	QTY.
8"x8" 90° TEE	3	QTY.
8" GATE VALVE W/BOX & COVER	3	QTY.
8"x8" 90° TEE	3	QTY.
8"x8" REDUCER	3	QTY.
6" CL. 52 D.I. WATER MAIN PIPE	158	LF.
6" 90° HORIZONTAL BEND	1	QTY.
6" GATE VALVE W/BOX & COVER	1	QTY.
2" TYPE "K" COPPER WATER SERVICE	188	LF.
2" CURB STOP & CURB BOX W/COVER	2	QTY.
FIRE HYDRANT ASSEMBLY	3	QTY.

OWNER
BMH REALTY L.L.C.
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116

DEVELOPER
PREMIER GENOA LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116

ARCHITECT
DRN & ASSOCIATES, ARCHITECTS PC
50850 APPLEBROOKE DR.
NORTHVILLE, MICHIGAN 48167
PHONE (248) 880-6523

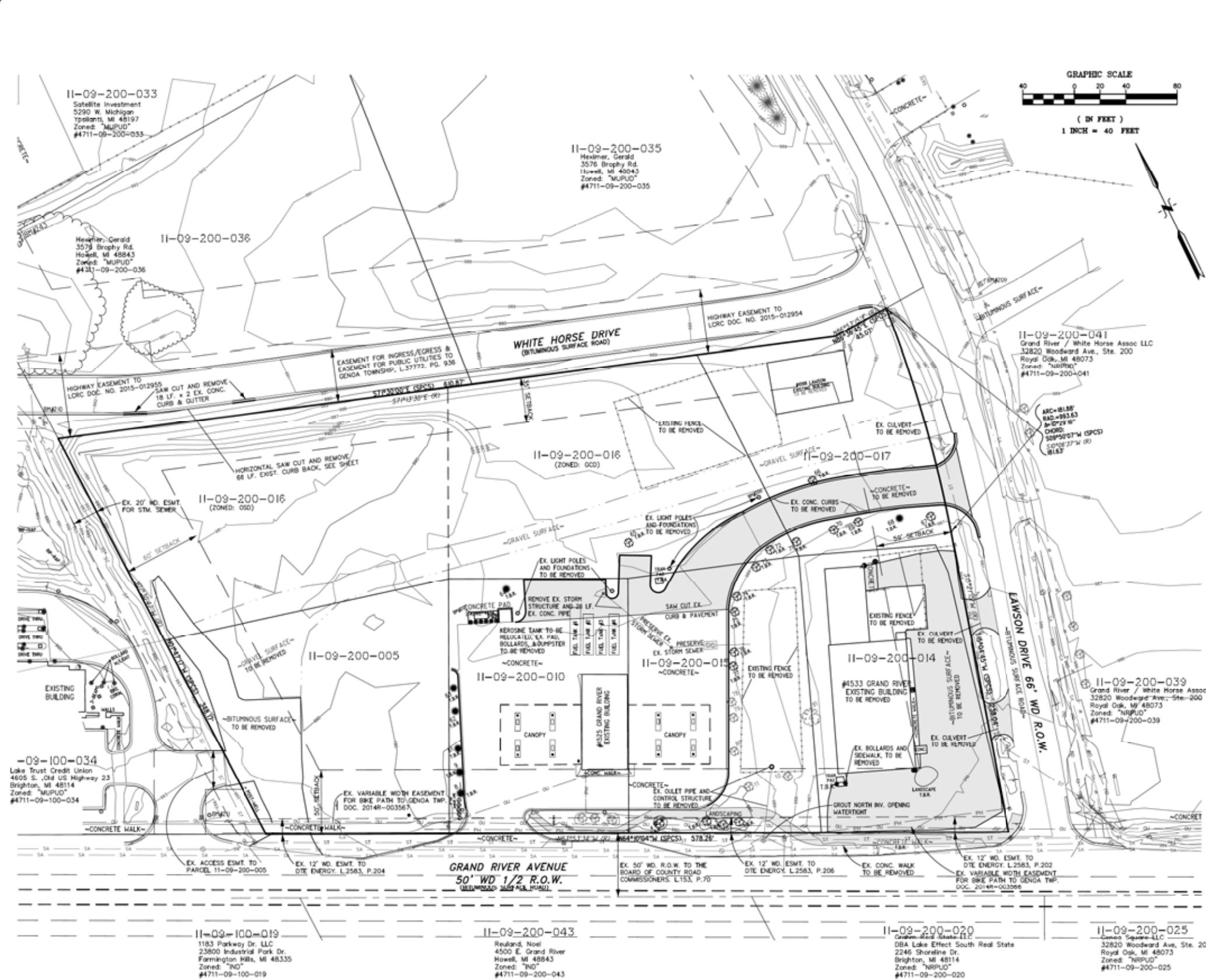
ENGINEER/SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114
PHONE: (810) 227-9533

LANDSCAPE ARCHITECT
VERT VERDE
LANDSCAPE ARCHITECT
PLYMOUTH, MICHIGAN

811
Know what's below.
Call before you dig.
3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-482-7171 (TOLL FREE)
OR VISIT CALL811.COM

DESINE INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

REVISED	SCALE: AS NOTED
AUG. 5, 2020	PROJECT No.: 183450
SEP. 28, 2020	DWG NAME: 3450 COV
	PRINT: NOV. 19, 2020



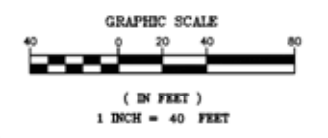
BENCHMARK
 DATUM BASED ON "NGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #009
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041
 ELEVATION = 989.90 (NAVD 88)

BENCHMARK #010
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024
 ELEVATION = 994.68 (NAVD 88)

BENCHMARK #011
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER.
 ELEVATION = 993.82 (NAVD 88)

BENCHMARK #012
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75A FEET NORTH OF DRIVE FOR PARCEL #11-09-200-034
 ELEVATION = 991.66 (NAVD 88)



LEGEND

- = MISC. STRUCTURE (AS LABELED)
- ⊙ = WELL / MONITOR WELL
- = BOLLARD
- = SIGN
- ⊥ = FLAG POLE
- ⊙ = LIGHT FIXTURE / DECORATIVE LIGHT
- = LIGHT BASE
- ⊙ = TRAFFIC POLE / TRAFFIC SIGNAL POLE
- ⊙ = OVERHEAD TRAFFIC SIGNAL
- ⊙ = UTILITY METERS & BOXES (ELECTRIC, GAS, WATER, PHONE, CATV, MAIL, BOX, UTL. BOX)
- ⊙ = AIR CONDITIONER UNIT
- ⊙ = UTILITY MANHOLE (AS LABELED)
- ⊙ = UTILITY POLE W/ GUY WIRE
- = OVERHEAD UTILITY LINES
- = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
- = EDGE OF WOODS / TREE DRP LINE
- = DECIDUOUS TREE W/ IDENTIFIER
- = CONIFEROUS TREE W/ IDENTIFIER
- = FENCE
- = GUARD RAIL
- = EDGE OF GRAVEL
- = CONCRETE CURB
- ⊙ = SANITARY SEWER MANHOLE W/ IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- ⊙ = STORM WATER MANHOLE W/ IDENTIFIER
- ⊙ = CATCH BASIN W/ IDENTIFIER
- ⊙ = CONTROL STRUCTURE
- = FLARED END STRUCTURE
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- ⊙ = WATER GATE VALVE WELL / MANHOLE
- = WATER VALVE BOX
- = WATER MAIN
- ⊙ = GAS MANHOLE / GASOLINE COVER
- = GAS SHUT OFF
- = U/G GAS
- = F CONTOUR
- = 5' CONTOUR
- = EX. PAVEMENT TO BE REMOVED

TREE SCHEDULE

No.	DESCRIPTION	
1	MAPLE 4"	
2	MAPLE 2"	
3	MAPLE 6"	
4	MAPLE 6"	T.B.R.
5	MAPLE 6"	T.B.R.
6	MAPLE 4"	T.B.R.
7	MAPLE 9"	T.B.R.
8	PINE 10"	T.B.R.
9	PINE 6"	
10	SPRUCE 4"	
11	CHERRY 4"	
12	PINE 12"	T.B.R.
13	PINE 12"	T.B.R.
14	PINE 12"	T.B.R.
15	PINE 10"	T.B.R.
16	DECIDUOUS 8"	T.B.R.
17	DECIDUOUS 8"	T.B.R.
18	DECIDUOUS 10" MULTI	T.B.R.
19	PINE 12"	T.B.R.
20	DECIDUOUS 12"	T.B.R.
21	DECIDUOUS 6" MULTI	T.B.R.
22	DECIDUOUS 6" MULTI	T.B.R.
23	DECIDUOUS 6" MULTI	T.B.R.
24	PINE 9"	T.B.R.
25	PINE 6"	T.B.R.
26	PEAR 5"	T.B.R.
27	PEAR 5"	T.B.R.
28	PEAR 5"	T.B.R.
29	PEAR 5"	T.B.R.
30	PEAR 8"	T.B.R.
31	DECIDUOUS 24"	

DEMOLITION NOTES:

- The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
- Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
- Contractor shall recycle and/or reuse demolition material and debris in accordance with the appropriate Local, County, State and Federal regulations.
- All bituminous and concrete pavement to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
- All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
- All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
- All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
- All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDOT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, Modified Proctor).

811
 Know what's below. Call before you dig.
 3. MICHIGAN DIALS BEFORE YOU DIG
 CALL 811 OR 1-800-482-7171 (TOLL FREE)
 OR VISIT CALL811.COM

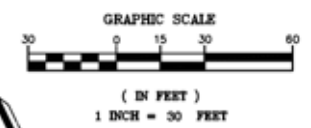
DESIGN INC.
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH-PREMIER P.U.D.
PHASE 1

EXISTING CONDITIONS AND DEMOLITION PLAN

CLIENT: PREMIER GENCO, LLC 775 N. SECOND ST. BRIGHTON, MICHIGAN 48116	SCALE: 1/4" = 40' PROJECT No.: 183450 DWG NAME: 3450 EX ISSUED: AUG. 5, 2020	EX 106
--	---	------------------



- LEGEND**
- = REC. STRUCTURE (AS LABELED)
 - = WELL / HONDER HELL
 - = HOLLAND
 - = SIGN
 - = FLAG POLE
 - = LIGHT FIXTURE / DECORATIVE LIGHT
 - = LIGHT BASE
 - = TRAFFIC POLE / TRAFFIC SIGNAL POLE
 - = DOWNHEAD TRAFFIC SIGNAL
 - = UTILITY PETERS & BONES
 - = UTILITY MARKER (AS LABELED)
 - = UTILITY POLE W/UTV WIRE
 - = DOWNHEAD UTILITY LINES
 - = U/S UTILITY LINES (PHONE, FIBER OPTIC, ELECTRIC, CABLE TV, PDS, UTILITY)
 - = EDGE OF MOIST / TREE SHIP LINE
 - = REDUNDANT TREE H/W/DEFYED
 - = CONDENSED TREE H/W/DEFYED
 - = FENCE
 - = GARD RAIL
 - = EDGE OF DRIVE
 - = CONCRETE CURB
 - = SANITARY LEAD H/W/DEFYED
 - = SANITARY LEAD PIPE
 - = CLEAN OUT
 - = STORM WATER H/W/DEFYED
 - = CATCH BASIN H/W/DEFYED
 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = W/STAMP
 - = WATER SHUT OFF
 - = WATER GATE VALVE HELL / H/W/DEFYED
 - = WATER VALVE BOX
 - = WATER MAIN
 - = GAS H/W/DEFYED / GASOLINE COVER
 - = GAS SHUT OFF
 - = U/S GAS
 - = F CONTOUR
 - = 1' CONTOUR

BENCHMARK
 DATUM BASED ON "MID-STATE-85 SURVEY REPORT" DATED MAY 25, 2001 AT 8:10 AM

BENCHMARK #001
 ANCHOR OF HYDRANT, LOCATED OF LANSING DRIVE, NORTH OF DRIVE FOR PARCEL #19-00-00-01A. ELEVATION = 989.50 (NAVD 85)

BENCHMARK #010
 ANCHOR OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR NEAR ENTRANCE OF BANK, PARCEL #19-00-00-01A. ELEVATION = 984.48 (NAVD 85)

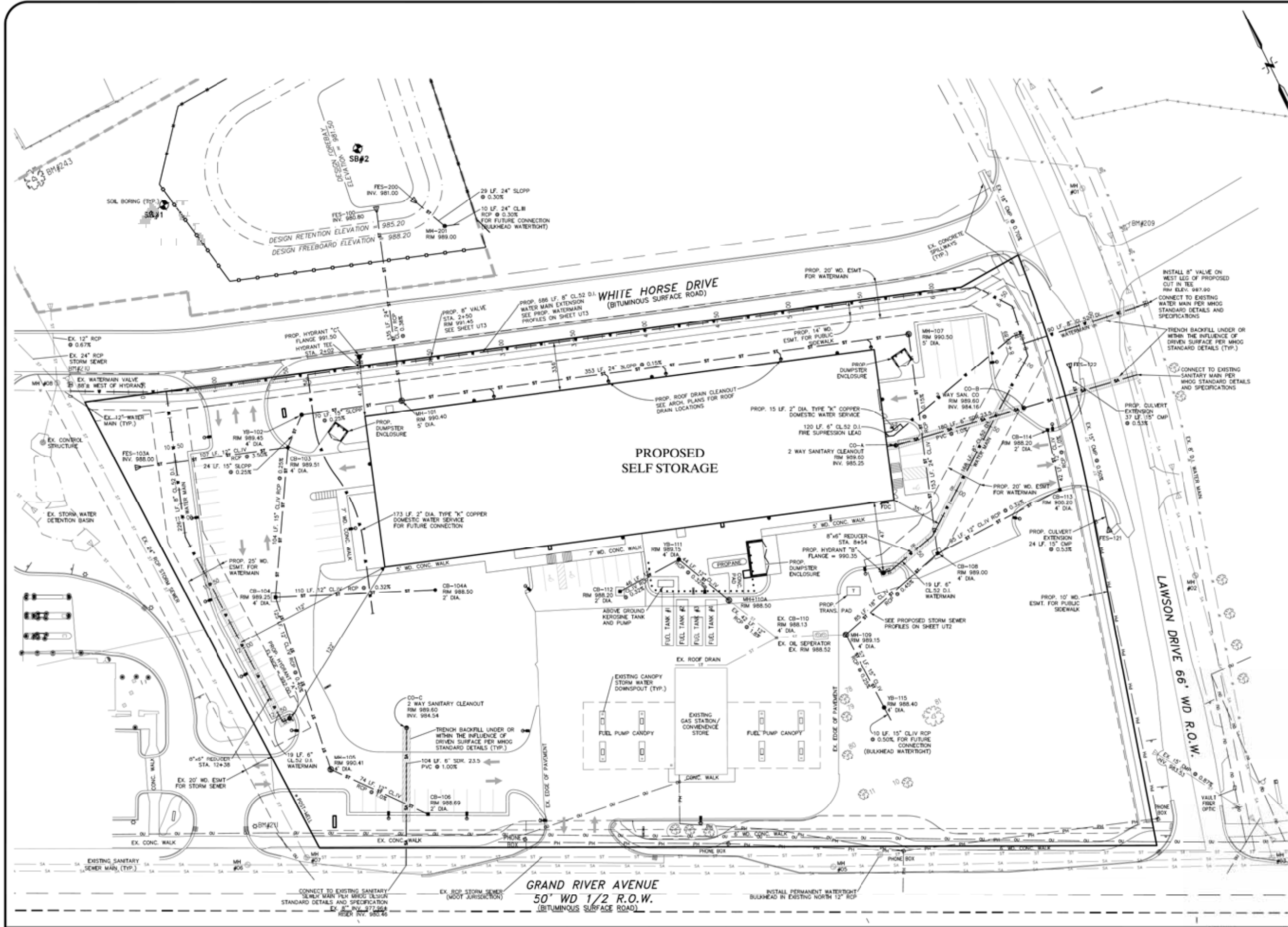
BENCHMARK #011
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #19-00-00-01A, OFF GRAND RIVER. ELEVATION = 983.62 (NAVD 85)

BENCHMARK #010
 ANCHOR OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LANSING DRIVE, 174 FEET NORTH OF DRIVE FOR PARCEL #19-00-00-01A. ELEVATION = 989.50 (NAVD 85)

811
 Know what's Below.
 Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
 CALL 811 OR 1-800-480-7171 (TOLL FREE)
 OR VISIT CALL811.COM

D&S INC
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114



DESIGN/FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG CHECK: WMP	1	9-28-20	REVISED WATERMAIN EASEMENT WIDTH TO 25'			

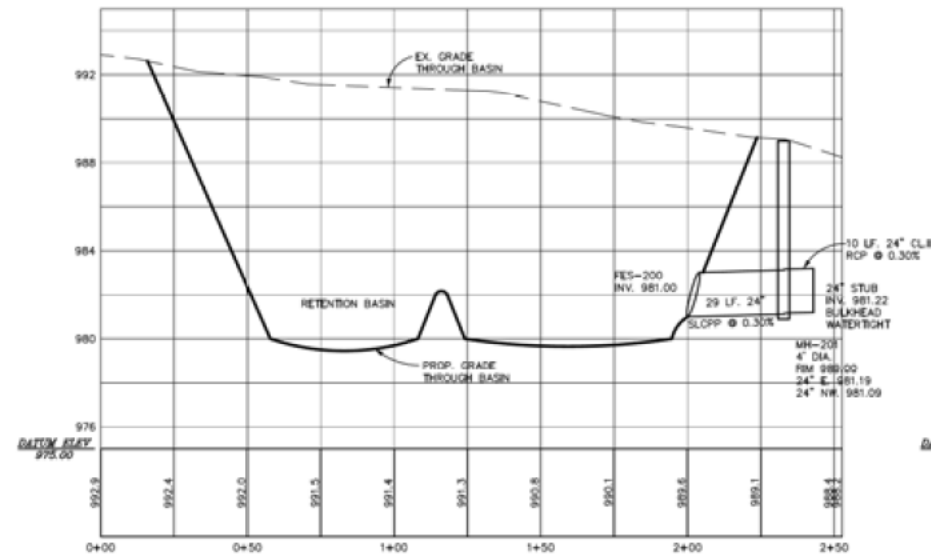
BMH - PREMIER P.U.D.
PHASE 1

PROPOSED UTILITY PLAN

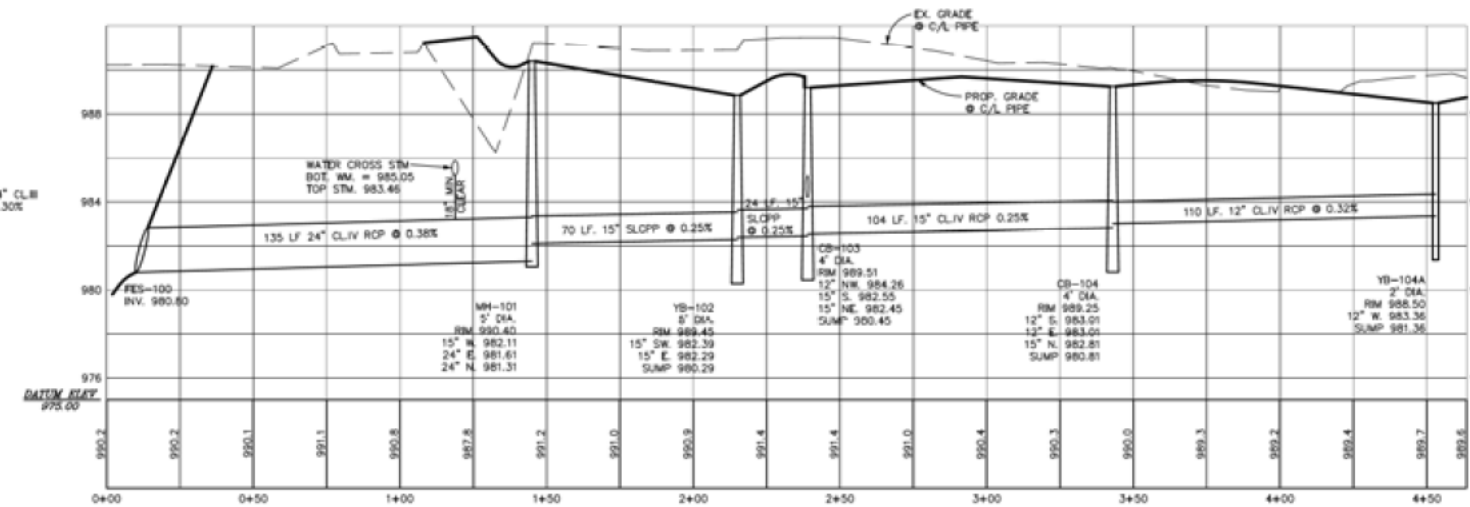
CLIENT:
 PREMIER GENCO, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 183450
 DWG NAME: 3450 UT
 ISSUED: SEPT. 28, 2020

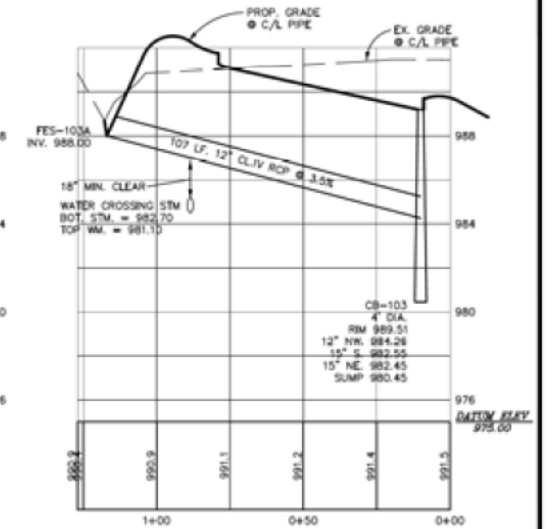
UT1
 108



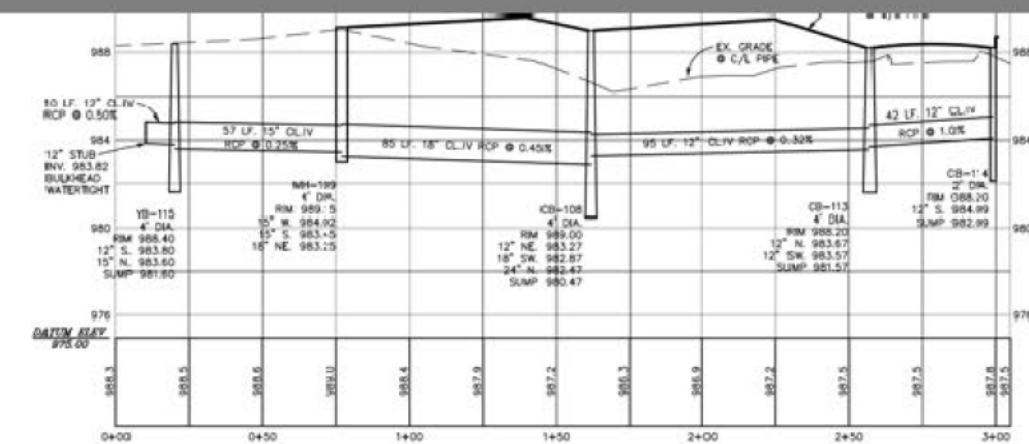
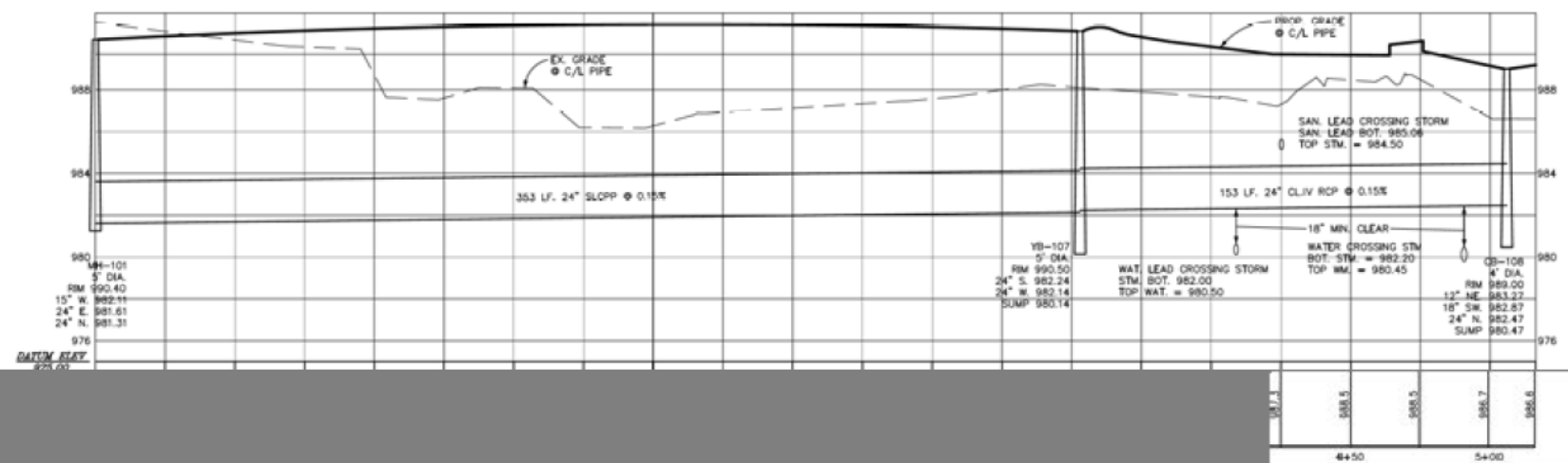
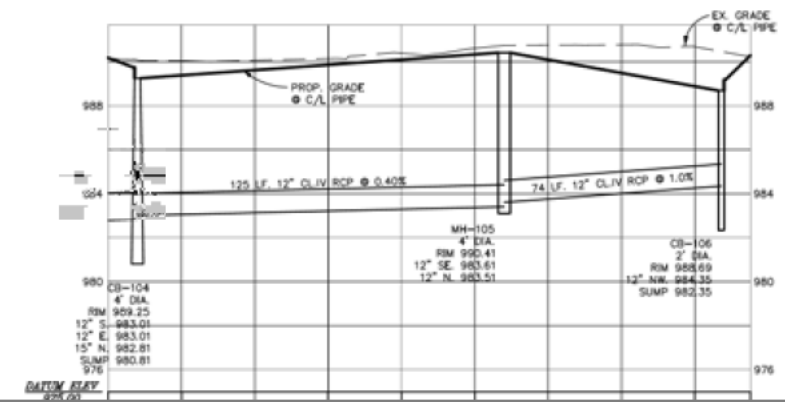
PROFILE: RETENTION BASIN
SCALE: HORIZ. 1in. = 30ft.
VERT. 1in. = 4ft.



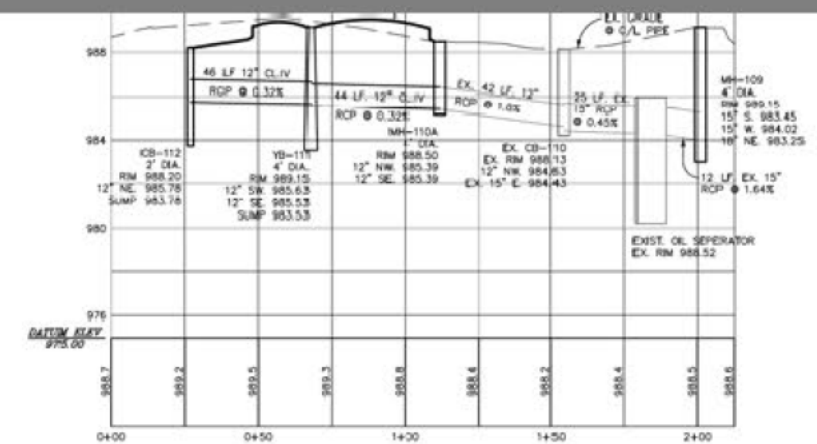
PROFILE: FES-100 / YB-104A
SCALE: HORIZ. 1in. = 30ft.
VERT. 1in. = 4ft.



PROFILE: FES-103A / CB-103
SCALE: HORIZ. 1in. = 30ft.
VERT. 1in. = 4ft.



PROFILE: YB-115 / CB-114
SCALE: HORIZ. 1in. = 30ft.
VERT. 1in. = 4ft.



PROFILE: CB-112 / MH-109
SCALE: HORIZ. 1in. = 30ft.
VERT. 1in. = 4ft.

STRUCTURE / CASTING SCHEDULE		
Structure	Diameter	Casting Type
Storm Sewer		
EX. CB#110	4 ft	(REUSE)
CB103 & CB113	4 ft	EJW 7000-M1-T1
CB106 & CB114	2 ft	EJW 7000-M1-T1
MH101, MH105, MH107, MH109 & MH201	4 ft	EJW 1020 (FRAME) / TYPE-A (SOLID COVER)
YB102, YB 111 & YB 115	4 ft	EJW 1020 (FRAME) / TYPE 01 (BEEHIVE)
YB 104A	2 ft	EJW 1020 (FRAME) / TYPE 01 (BEEHIVE)
CB104 & CB108	4 ft	EJW 1020 (FRAME) / TYPE M1 (FLAT GRATE)
CB112	2 ft	EJW 1020 (FRAME) / TYPE M1 (FLAT GRATE)
8\"/>		

811
Know what's below.
Call before you dig.

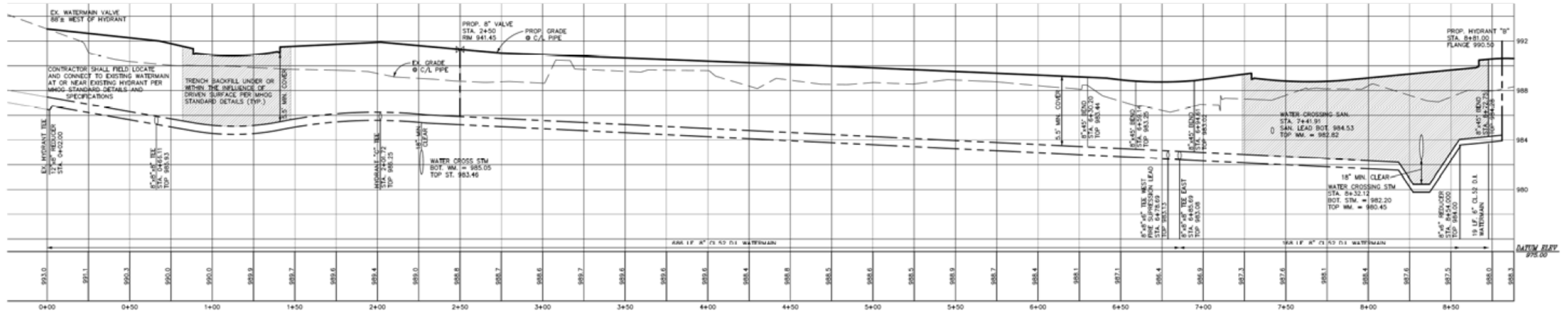
DESIGN INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

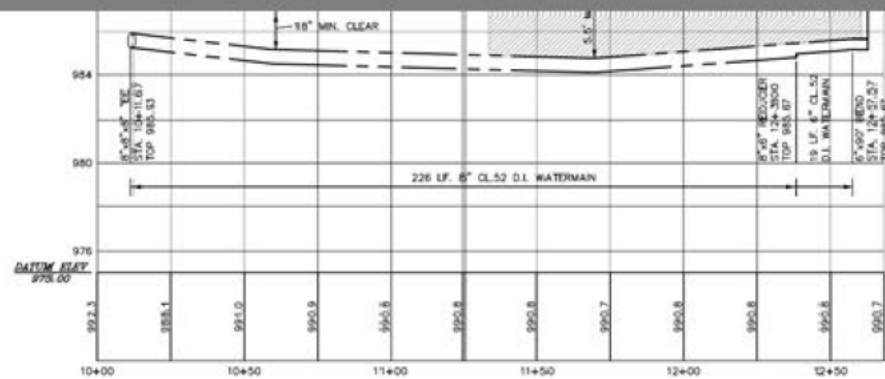
BMH - PREMIER P.U.D.
PHASE 1

PROPOSED
STORM SEWER PROFILES

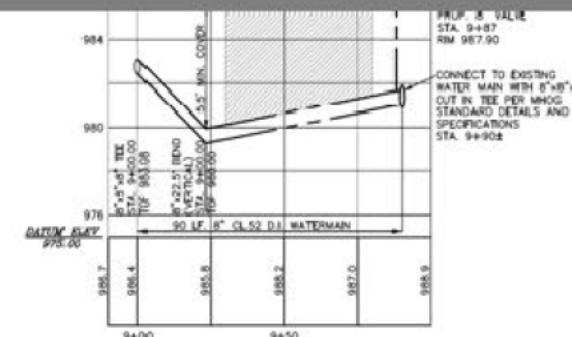
CLIENT: PREMIER GENOA, LLC 775 N. SECOND ST. BRIGHTON, MICHIGAN 48116 810-229-6323	SCALE: NONE PROJECT No.: 183450 DWG NAME: 3450 UT ISSUED: AUG. 5, 2020	UT2 109
--	--	-------------------



PROFILE: CONNECTION TO HYDRANT "B"
SCALE: HORIZ. 1" = 30'
VERT. 1" = 4'



PROFILE: TEE TO HYDRANT "A"
SCALE: HORIZ. 1" = 30'
VERT. 1" = 4'



PROFILE: TEE TO CONNECTION
SCALE: HORIZ. 1" = 30'
VERT. 1" = 4'

WATER MAIN (PHI CONSTRUCTION)		
8" CL. 52 D.I. WATER MAIN PIPE	1170	LF.
8" -45° VERTICAL BEND	4	QTY.
8" -45° HORIZONTAL BEND	4	QTY.
8" -22.5° VERTICAL BEND	1	QTY.
8"X8" TEE	3	QTY.
8"X6" TEE	2	QTY.
8"X6" REDUCER	2	QTY.
6" CL. 52 D.I. WATER MAIN PIPE	158	LF.
6" -90° HORIZONTAL BEND	1	QTY.
6" GATE VALVE W/BOX & COVER	1	QTY.
2" TYPE "K" COPPER WATER SERVICE	188	LF.
2" CURB STOP & CURB BOX W/COVER	2	QTY.
FIRE HYDRANT ASSEMBLY	3	QTY.



DESIGN: PA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	9-28-20	ADDED WATER MAIN VALVES			
CHECK: WMP						

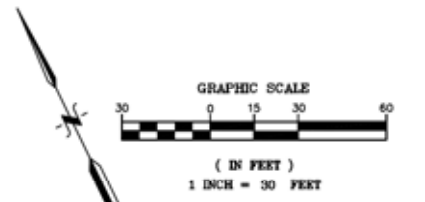
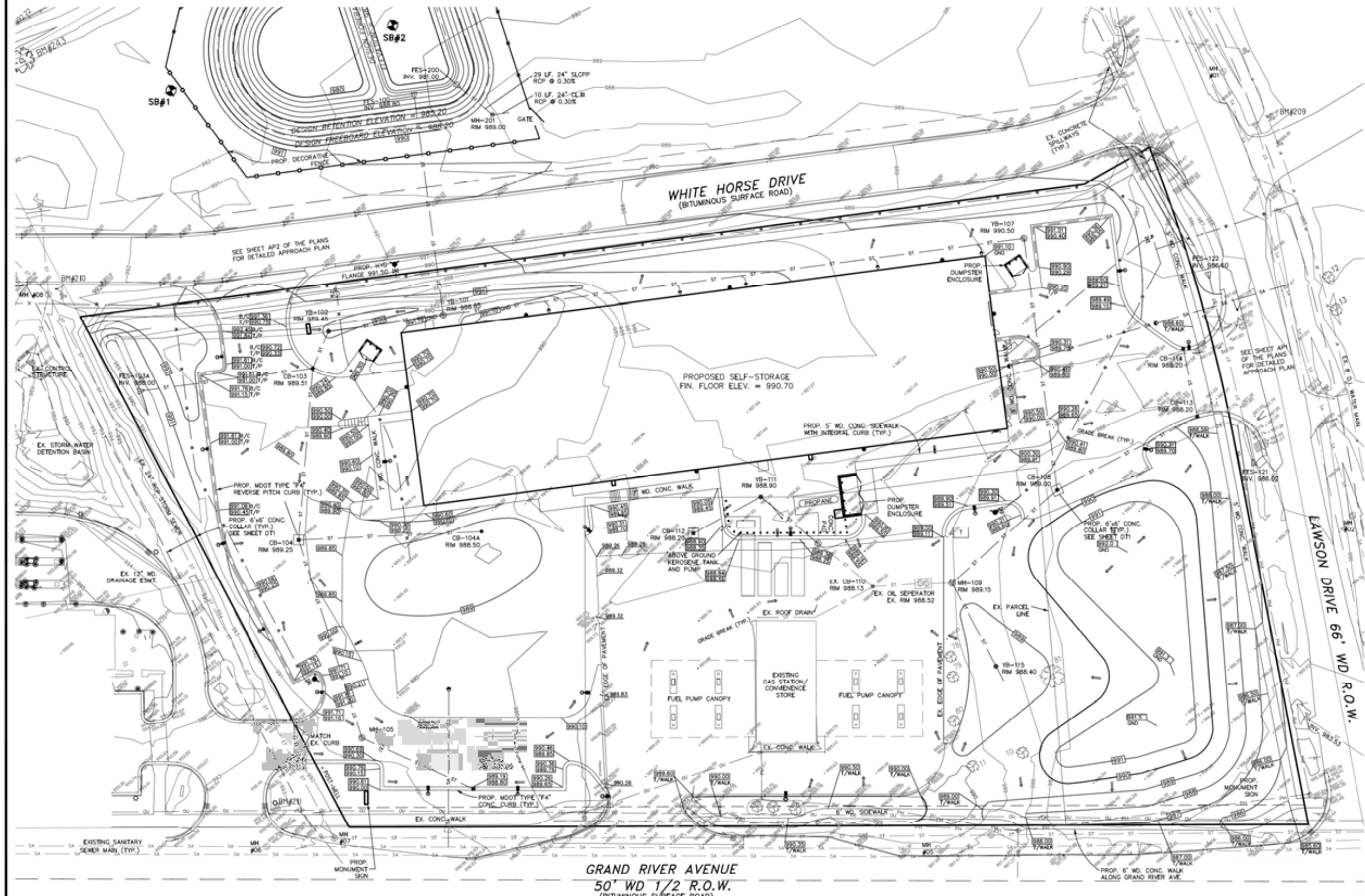
BMH - PREMIER P.U.D.
PHASE 1

PROPOSED
WATERMAIN PROFILES

CLIENT:
PREMIER GENCO, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48118
810-229-6323

SCALE: NONE
PROJECT No.: 183450
DWG NAME: 3450 UT
ISSUED: SEPT. 28, 2020

UT3
110



- LEGEND**
- = PISC. STRUCTURE (AS LABELED)
 - = WELL / POWER WELL
 - = BOLLARD
 - = SIGN
 - = FLAG POLE
 - = LIGHT FIXTURE / DECORATIVE LIGHT
 - = LIGHT BASE
 - = TRAFFIC POLE / TRAFFIC SIGNAL POLE
 - = OVERHEAD TRAFFIC SIGNAL
 - = UTILITY NEEDS & NOTES (SEE SHEET AP2 OF THE PLANS FOR DETAILED APPROACH PLAN)
 - = UTILITY NEEDS & NOTES (SEE SHEET AP1 OF THE PLANS FOR DETAILED APPROACH PLAN)
 - = AIR CONDITIONER UNIT
 - = UTILITY MANHOLE (AS LABELED)
 - = UTILITY POLE (AS LABELED)
 - = OVERHEAD UTILITY LINES
 - = U/S UTILITY LINES (UNDERGROUND OPTIC FIBER/CABLE TYPE(S) LISTED)
 - = EDGE OF WOODS / TREE DRIP LINE
 - = REDUNDANT TREE IDENTIFIER
 - = CONFUSION TREE IDENTIFIER
 - = FENCE
 - = DIRT RAIL
 - = EDGE OF GRAVEL
 - = CONCRETE CURB
 - = SANDIARY SEWER MANHOLE IDENTIFIER
 - = SANDIARY SEWER PIPE
 - = CLEAR CUT
 - = STORM WATER MANHOLE IDENTIFIER
 - = GATOR SIGN IDENTIFIER
 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = WEIR/RAVE
 - = WATER SHUT OFF
 - = WATER GATE VALVE WELL / MANHOLE
 - = WATER VALVE BOX
 - = WATER PUMP
 - = GAS MANHOLE / GASLINE COVER
 - = GAS SHUT OFF
 - = U/S GAS
 - = 2' CONTOUR
 - = 1' CONTOUR

BENCHMARK
 DATUM BASED ON "MGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2018 AT 10:13 AM

BENCHMARK #009
 ARROW OF HYDRANT, LOCATED AT LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #010
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024. ELEVATION = 994.68 (NAVD 88)

BENCHMARK #011
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

BENCHMARK #010
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75A FEET NORTH OF DRIVE FOR PARCEL #11-09-200-034. ELEVATION = 991.66 (NAVD 88)

811
 Know what's below.
 Call before you dig.

1. MICHIGAN: DIAL 811 BEFORE YOU DIG. CALL 811 OR 1-800-482-7171 (TOLL FREE) OR VISIT CALL811.COM

(810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.
PHASE 1

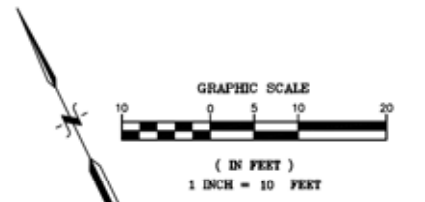
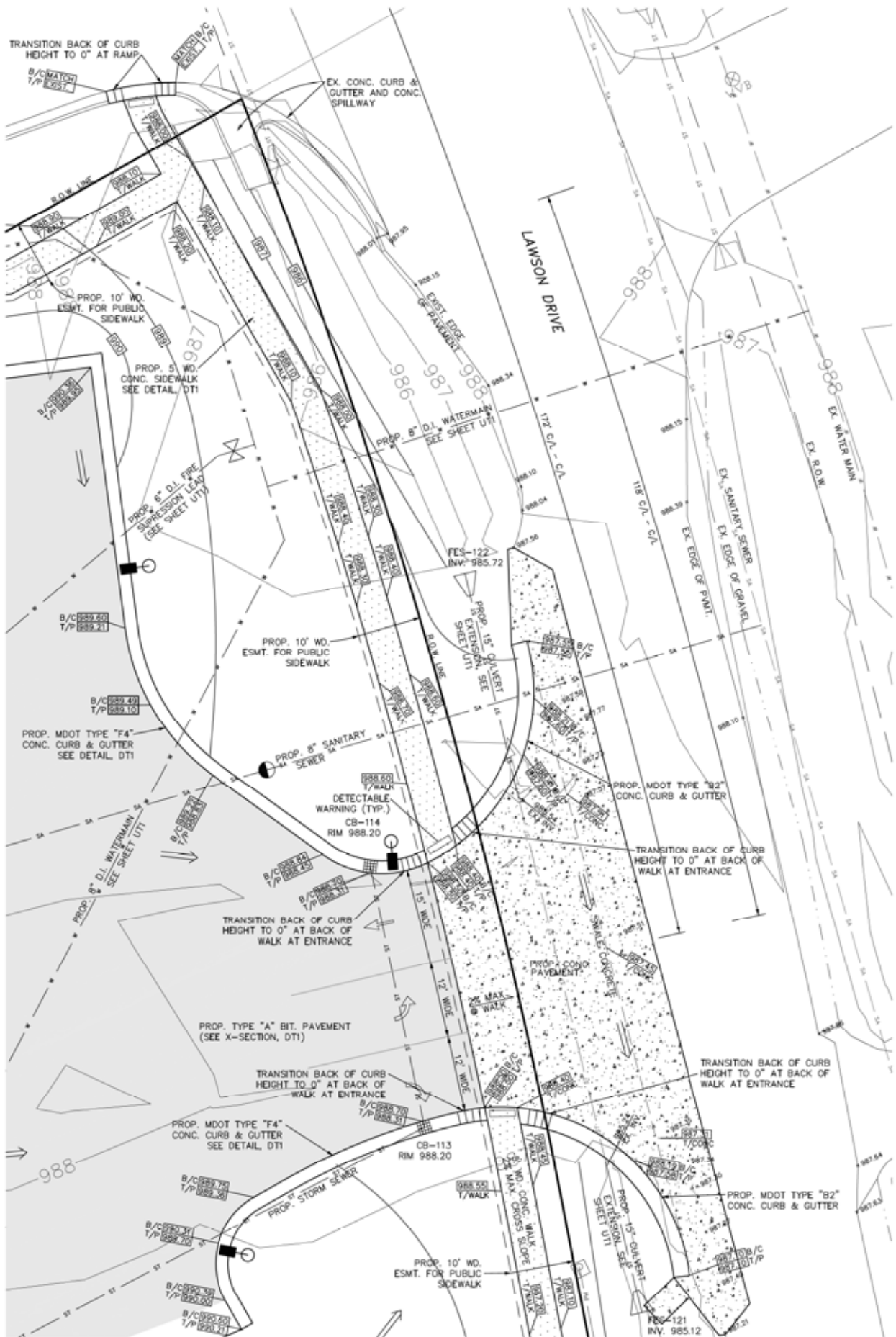
PROPOSED GRADING PLAN

CLIENT: PREMIER GENCO, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 183450
 DWG NAME: 3450 GR
 ISSUED: **AUG. 5, 2020**

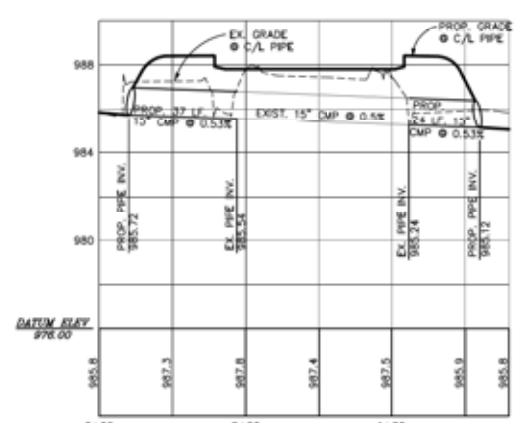
GR1

WHITEHORSE DR.

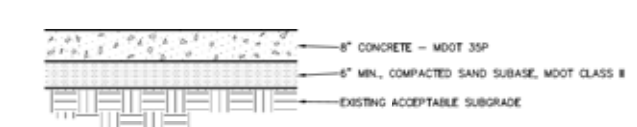


LEGEND

- = MISC. STRUCTURE (AS LABELED)
- = WELL / MONITOR WELL
- = BOLLARD
- ⊙ = SIGN
- ⊙ = FLAG POLE
- ⊙ = LIGHT FIXTURE / DECORATIVE LIGHT
- ⊙ = LIGHT BASE
- ⊙ = TRAFFIC POLE / TRAFFIC SIGNAL POLE
- ⊙ = OVERHEAD TRAFFIC SIGNAL
- ⊙ = UTILITY PETERS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
- ⊙ = AIR CONDITIONER UNIT
- ⊙ = UTILITY MANHOLE (AS LABELED)
- ⊙ = UTILITY POLE W/ GUY WIRE
- ⊙ = OVERHEAD UTILITY LINES
- ⊙ = U/C UTILITY LINES (PHONE, FIBER OPTIC, ELECTRIC, CABLE TV, MISC UTILITIES)
- = EDGE OF WOODS / TREE DWP LINE
- ⊙ = DECIDUOUS TREE W/ IDENTIFIER
- ⊙ = CONIFEROUS TREE W/ IDENTIFIER
- = FENCE
- = GUARD RAIL
- = EDGE OF GRAVEL
- = CONCRETE CURB
- ⊙ = SANITARY SEWER MANHOLE W/ IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- ⊙ = STORM WATER MANHOLE W/ IDENTIFIER
- ⊙ = CATCH BASIN W/ IDENTIFIER
- ⊙ = CONTROL STRUCTURE
- ⊙ = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- ⊙ = WATER SHUT OFF
- ⊙ = WATER GATE VALVE WELL / MANHOLE
- ⊙ = WATER VALVE BOX
- ⊙ = WATER MAIN
- ⊙ = GAS MANHOLE / GASOLINE COVER
- ⊙ = GAS SHUT OFF
- = U/D GAS
- = P CONTOUR
- = S' CONTOUR
- ▨ = PROP. CONCRETE PAVEMENT
- ▨ = PROP. BITUMINOUS PAVEMENT TYPE A
- ▨ = PROP. DETECTABLE WARNING



PROP. CULVERT EXTENSION
SCALE: HORIZ. 1" = 30'
VERT. 1" = 4'



APPROACH PAVEMENT CROSS-SECTION
NOT TO SCALE

- PAVEMENT NOTES:**
- UNSATURABLE SOILS, SUCH AS MUCK, PEAT, TOPSOIL, MARL, SILT OR OTHER UNSTABLE MATERIALS, SHALL BE UNDERCUT AND REPLACED WITH COMPACTED SAND SUBBASE.
 - AREAS OF FILL SHALL BE CONSTRUCTED TO GRADE USING 6" THICK LIFTS OF COMPACTED SAND SUBBASE.

BENCHMARK
DATUM BASED ON "NCS OPUS-RS SOLUTION REPORT," DATED MAY 23, 2018 AT 10:12 AM

BENCHMARK #209
ARROW OF HYDRANT, LOCATED ON LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #1-09-200-041.
ELEVATION = 989.80 (NAVD 88)

BENCHMARK #210
ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #1-09-100-024.
ELEVATION = 994.68 (NAVD 88)

BENCHMARK #211
TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK, ENTRANCE OF PARCEL #1-09-100-034, OFF GRAND RIVER.
ELEVATION = 993.82 (NAVD 88)

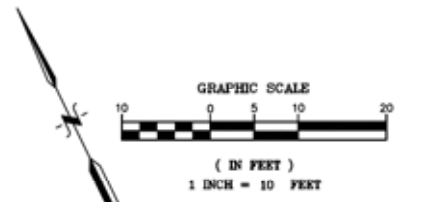
BENCHMARK #212
ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75+ FEET NORTH OF DRIVE FOR PARCEL #1-09-200-034.
ELEVATION = 993.66 (NAVD 88)

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.
PHASE 1

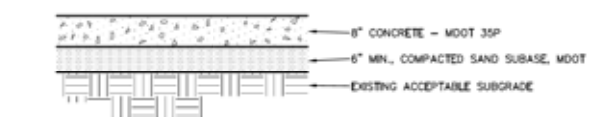
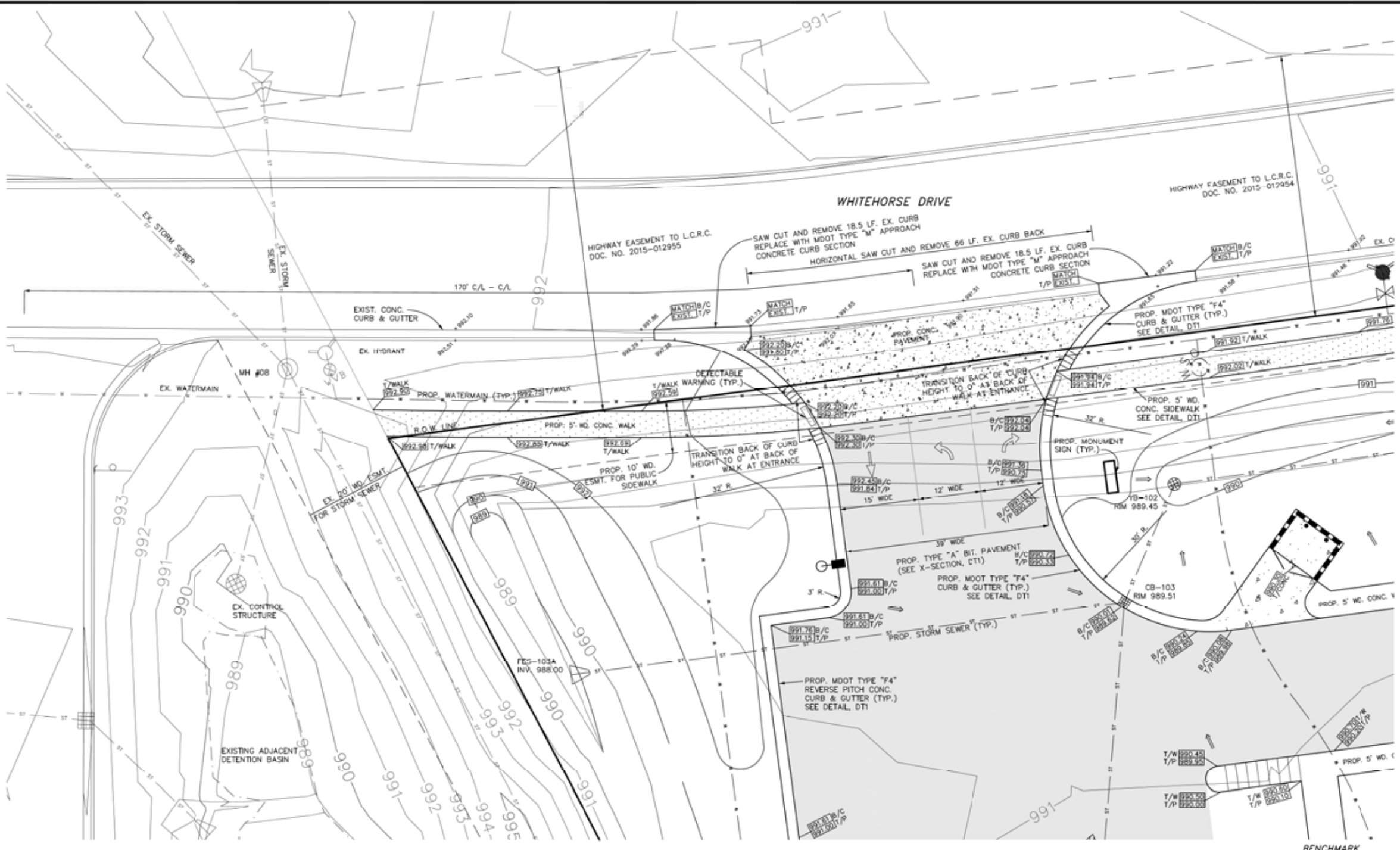
LAWSON DRIVE ENTRANCE
PLAN

CLIENT: PREMIER GENOA, LLC 775 N. SECOND ST. BRIGHTON, MICHIGAN 48116 810-229-6323	SCALE: 1in. = 10ft. PROJECT No.: 183450 DWG NAME: 3450 AP ISSUED: AUG. 5, 2020	AP1 113
--	--	-------------------



LEGEND

- = MISC. STRUCTURE (AS LABELED)
- = WELL / MONITOR WELL
- = BOLLARD
- = SIGN
- = FLAG POLE
- = LIGHT FIXTURE / DECORATIVE LIGHT
- = LIGHT BASE
- = TRAFFIC POLE / TRAFFIC SIGNAL POLE
- = OVERHEAD TRAFFIC SIGNAL
- = UTILITY PETERS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
- = AIR CONDITIONER UNIT
- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/ GUY WIRE
- = OVERHEAD UTILITY LINES
- = U/G UTILITY LINES (PHONE, FIBER OPTIC, ELECTRIC, CABLE TV, MISC UTILITIES)
- = EDGE OF WOODS / TREE DWP LINE
- = DECIDUOUS TREE W/ IDENTIFIER
- = CONIFEROUS TREE W/ IDENTIFIER
- = FENCE
- = GUARD RAIL
- = EDGE OF GRAVEL
- = CONCRETE CURB
- = SANITARY SEWER MANHOLE W/ IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/ IDENTIFIER
- = CATCH BASIN W/ IDENTIFIER
- = CONTROL STRUCTURE
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER GATE VALVE WELL / MANHOLE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS MANHOLE / GASOLINE COVER
- = GAS SHUT OFF
- = U/G GAS
- = P CONTOUR
- = S' CONTOUR
- = PROP. CONCRETE PAVEMENT
- = PROP. BITUMINOUS PAVEMENT TYPE A
- = PROP. DETECTABLE WARNING



- PAVEMENT NOTES:**
- UNSATURABLE SOILS, SUCH AS MUCK, PEAT, TOPSOIL, MARL, SILT OR OTHER UNSTABLE MATERIALS, SHALL BE UNDERCUT AND REPLACED WITH COMPACTED SAND SUBBASE.
 - AREAS OF FILL SHALL BE CONSTRUCTED TO GRADE USING 6" THICK LIFTS OF COMPACTED SAND SUBBASE.

BENCHMARK
 DATUM BASED ON "MGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2018 AT 10:13 AM

BENCHMARK #209
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #1-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #1-09-100-024. ELEVATION = 994.68 (NAVD 88)

BENCHMARK #211
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #1-09-00-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

BENCHMARK #212
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75+ FEET NORTH OF DRIVE FOR PARCEL #1-09-200-034. ELEVATION = 991.66 (NAVD 88)

811

Know what's below. Call before you dig.

1. UNDESIGNED DRAVING BEFORE YOU DIG. CALL 811 OR 1-800-482-7171 (TOLL FREE) OR VISIT CALL811.COM

(810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.

PHASE 1

WHITEHORSE DRIVE ENTRANCE

PLAN

CLIENT:
 PREMIER GENCO, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 10ft.
 PROJECT No.: 183450
 DWG NAME: 3450 AP
 ISSUED: AUG. 5, 2020

AP2

114

MAINTENANCE NOTES FOR SOIL EROSION CONTROL MEASURES:

The Construction Site and all Soil Erosion Control Measures shall be inspected periodically in accordance with the appropriate local municipality/authority and the Michigan UGLE NPDES rules and regulations. At a MINIMUM, inspections shall be performed once a week and within 24 hours following a storm event resulting in 1" of rainfall or greater. Inspections shall be performed throughout the duration of the construction process and until the site is completely stabilized. Following construction, the owner (or its assignee) shall periodically inspect all permanent soil erosion control measures to ensure proper operation.

BASIN PERFORATED STANDPIPES / CONTROL STRUCTURES: Standpipes shall be inspected for soil accumulation, soil caking and mechanical failure/damage. The filter stone around the standpipe shall be removed and replaced each time it becomes clogged with sediment. All mechanical failure/damage shall be repaired immediately.

CATCH BASINS: Catch basins shall be inspected for accumulation of solids and sediment. Solids and sediment shall be removed from the catch basins by vacuum or adductor cleaning. Cleaning should be performed before the catch basin surps are half full.

MUD TRACKING CONTROL DEVICE / CONSTRUCTION ACCESS: Mud tracking control devices shall be inspected for significant mud accumulation and to ensure the access is not eroding into public rights of way or drainage features. Add additional layers of stone or remove and replace stone each time the stone becomes covered with mud. All sediment dropped or eroded onto public rights of way shall be removed immediately. Sweeping of the public rights of way and/or paved access roads shall be performed as necessary to maintain the access route free of sediment and debris.

DETENTION BASIN (DRY BOTTOM): Dry bottom detention basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for sediment accumulation. Regular maintenance of the basin includes routine mowing of the buffer/filter strip, side slopes and basin floor and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Remove sediment from basin every 5 to 10 years or sooner if sediment accumulation adversely affects the operation of the basin. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course.

DETENTION BASIN (WET BOTTOM): Wet bottom detention basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for sediment and/or algae accumulation. Regular maintenance of the basin includes routine mowing of the buffer/filter strip and side slopes and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Sediment accumulation shall be removed at least once a year. Sediment shall be removed only when the surface is dry and "mad-cracked". Light equipment must be used to avoid compacting of soils. After removal of sediment, the infiltration area shall be deep tilled to restore infiltration rates. More frequent tilling may be necessary in areas where soils are only marginally permeable. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course. Excessive algae shall be removed as necessary to prevent odors and to maintain nutrient removal capacity.

RETENTION BASIN: Retention basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for sediment accumulation. Regular maintenance of the basin includes routine mowing of the buffer/filter strip, side slopes and basin floor and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Sediment accumulation shall be removed at least once a year. Sediment shall be removed only when the surface is dry and "mad-cracked". Light equipment must be used to avoid compacting of soils. After removal of sediment, the infiltration area shall be deep tilled to restore infiltration rates. More frequent tilling may be necessary in areas where soils are only marginally permeable. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course.

RIPRAP: Inspect riprap immediately following the first rainfall event following installation of the riprap. Continue to perform inspections of the riprap at each periodic site inspection. Riprap shall be inspected to ensure erosion is not occurring within and/or around the riprap. The discharge point shall be inspected to ensure that concentrated flows are not causing erosion downstream. Displaced riprap shall be removed from downstream locations and the riprap beds shall be repaired or replaced. Significant sediment buildup shall be removed from riprap beds. Repair or replace failing or displaced riprap immediately. Address vegetation and/or erosion concerns as soon as weather permits.

SEDIMENTATION BASINS: Sedimentation basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for piping, seepage, sediment accumulation and/or other mechanical damage. Regular maintenance of the basin includes routine mowing of the buffer/filter strip, side slopes and basin floor and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Sediment shall be removed before it accumulates to 50% of the design depth of the basin. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course.

SEEDING: Newly seeded areas shall be inspected until substantial vegetative growth is obtained. Seeded areas shall be inspected to ensure erosion is not occurring in the seeded area and vegetative growth is promoted. Eroded areas shall be finish graded as necessary to remove erosion channels or gullies and new seed placed as soon as weather permits.

SILT FENCE: Silt fencing shall be inspected for soil accumulation/clogging, undercutting, overlapping and sagging. Soil accumulation shall be removed from the face of the silt fence each time it reaches half the height of the fence. Removed sediment shall be disposed of in a stable upland site or added to a spoils stockpile. When undercutting occurs, grade out areas of concentrated flow upstream of the silt fence to remove channels and/or gullies and repair or replace silt fence ensuring proper trenching techniques are utilized. Silt fencing, which sags, falls over or is not staked in shall be repaired or replaced immediately. Silt fencing fabric, which decomposes or becomes ineffective, shall be removed and replaced with new fabric immediately. Silt fencing shall be removed once vegetation is well established and the up-slope area is fully stabilized.

SOD: Newly sodded areas shall be inspected to ensure sod is maturing. Sod shall be inspected for failure, erosion or damage. Slipping or eroding sod on steep slopes shall be immediately repaired or replaced and staked in place. Damaged or failed sod shall be immediately replaced.

SPILLWAYS: Spillways shall be inspected to ensure that erosion is not occurring within and/or around the spillway. The discharge point shall be inspected to ensure that concentrated flows are not causing erosion downstream. Inspect the spillway for cracked concrete, uneven and/or excessive settling and proper function. Repair or replace failing spillways immediately. Address vegetation and/or erosion concerns as soon as weather permits.

STOCKPILES: Temporary and permanent topsoil and spoils stockpiles shall be seeded to promote vegetative growth. Stockpiles shall be inspected to ensure excessive erosion has not occurred. When runoff or wind erosion is evident, reduce the side slopes of the stockpile or stabilize the stockpile with pieces of staked sod laid perpendicular to the slope. When filter fencing is used around a stockpile, the fencing shall be inspected to ensure piping has not occurred under the fencing and to ensure the fencing has not collapsed due to soil slippage or access by construction equipment. Repair or replace damaged fencing immediately. Berms at the base of stockpiles, which become damaged, shall be replaced.

STORM STRUCTURE INLET FILTER: Inlet filters shall be inspected for sediment accumulation, clogging and damage. When stone is used in conjunction with inlet filter fabric, replace the stone each time it becomes clogged with sediment. Clean or replace the inlet filter fabric each time it becomes clogged with sediment. Reinstall or replace failed filter fabrics immediately. Replace damaged filter fabrics immediately.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.

2. The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC Permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC Permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the State DEQ prior to any earth disruption.

3. The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.

4. The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.

5. The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.

6. The Contractor shall strip and stockpile topsoil from all areas of proposed disturbance. Topsoil stockpiles shall be located in accordance with the Project Plans. Topsoil stockpiles shall be stabilized with vegetative growth (or matted with straw during the non-growing season) to prevent wind and water erosion. A temporary diversion berm and/or silt fence shall encompass all earthen material stockpiles, including but not limited to topsoil, sand and gravel.

7. The Contractor shall install Soil Erosion Control Measures associated with the proposed storm sewer system during storm sewer construction. Inlet structure filters shall be installed immediately following completion of each storm inlet structure. Riprap shall be installed immediately following the installation of each flared end section with the following exception: Storm drain outlets that do NOT empty into a Retention, Detention or Sedimentation Basin shall have a temporary 3" wide x 10' long x 3" deep sump installed at the termination of the storm sewer. Upon completion of the stabilization work, the sump area shall be filled and riprap shall be installed in accordance with the Project Plans.

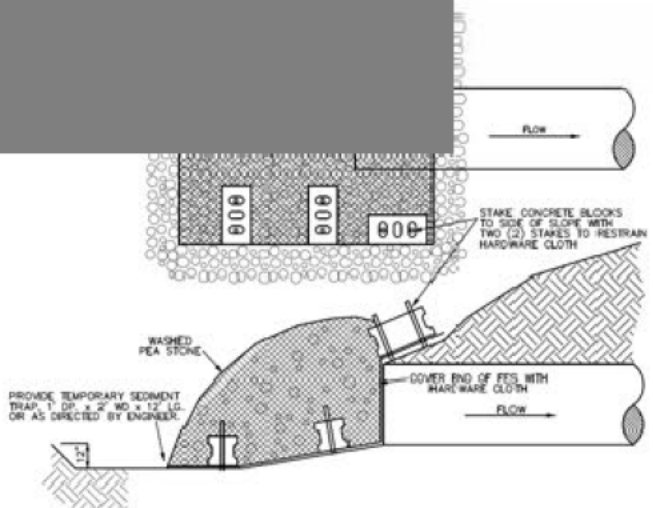
8. The Contractor shall install filter stone around the storm basin control structure(s) in accordance with the Project Plans immediately following installation of the control structure(s). The filter stone shall be monitored for sediment build up. The filter stone may need to be cleaned and/or replaced as site conditions require and as directed by the Permitting Agency and/or the Engineer.

9. All disturbed areas outside of paved areas shall be restored within 15 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched, unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.

Seeding, Fertilizer and Mulch Base Ground Ratio:
This information is provided as minimum guidance for acceptable application rates. Actual amounts depending on soil conditions and site topography shall be detailed on the construction plans.
Topsoil: 3 inches in depth.
Grass Seed: 210 lbs. per acre.
Fertilizer: 150 lbs. per acre.
Straw Mulch: 3" in depth 1.5 to 2 tons per acre.
(All mulch must have a tie down, such as tackifier, net binding, etc.)
Hydro-Seeding: Hydro-seeding is not acceptable for slopes exceeding 1%, in such cases, stabilization shall be done with seed and straw mulch with a tackifier.

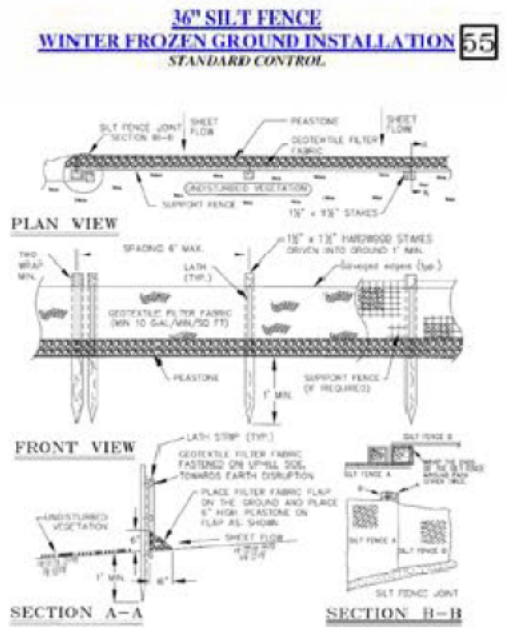
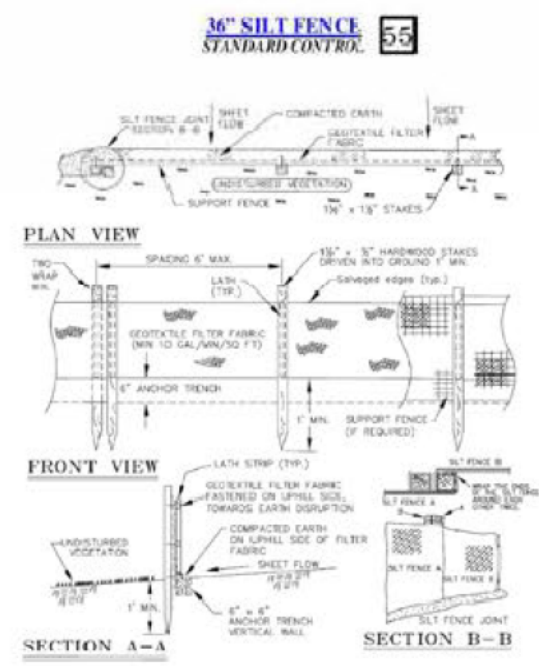
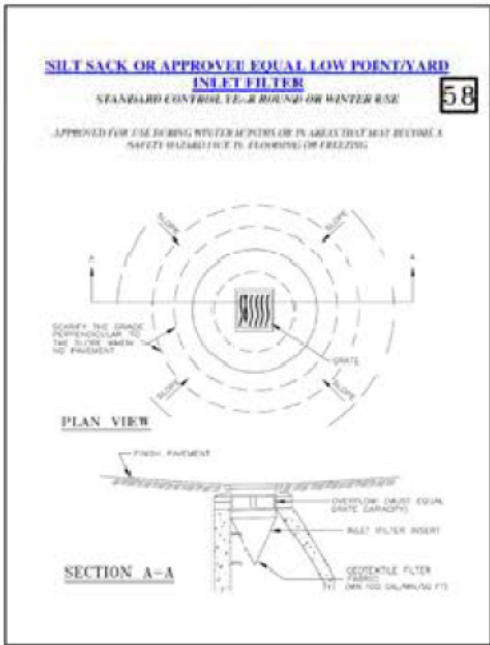
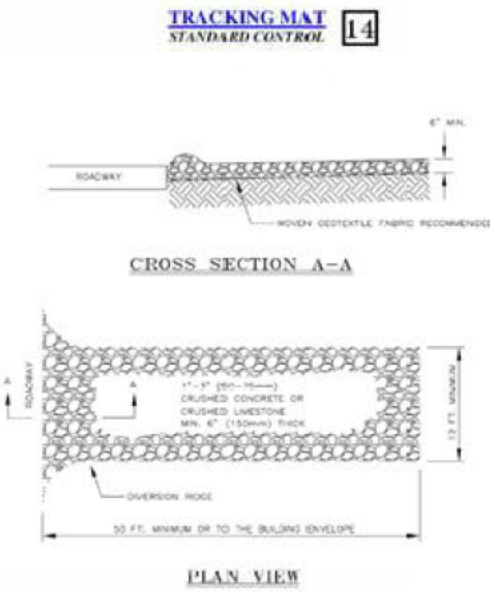
10. Following complete site restoration and stabilization, sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the State DEQ.

- NOTES:**
1. GROUT RIP-RAP WITH A 6" THICK CEMENT SLURRY FOR SLOPES STEEPER THAN 20% 5 ON 1.
 2. PROVIDE ANIMAL GUARDS ON ALL STORM SEWER 15" DIA. OR GREATER, INCIDENTAL TO FES PIPE.
 3. STORM DRAIN OUTLETS THAT DO NOT EMPTY INTO THE DETENTION BASIN SHALL HAVE INSTALLED A TEMPORARY SEDIMENT TRAP AT THE TERMINATION OF THE STORM SEWER (5'x10'x3" TYP.), UPON COMPLETION OF THE STABILIZATION WORK, THE SUMP AREA SHALL BE FILLED AND RIP-RAPPED.



43 TEMPORARY GRAVEL FILTER BOX DETAIL
NOT TO SCALE

NOTE: UPON STABILIZATION OF ALL CONTRIBUTING AREA REMOVE TEMPORARY GRAVEL FILTER.



DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHQ						
CHECK: WMP						

BMH - PREMIER P.U.D.
PHASE 1

SOIL EROSION CONTROL
NOTES & DETAILS

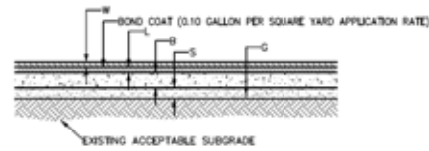
CLIENT: PREMIER GENOA, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48118
810-229-6323

SCALE: AS NOTED
PROJECT NO.: 183450
DWG NAME: 3450 BE
ISSUED: AUG. 5, 2019

811 Know what's below. Call before you dig.
1 WORKING DAY BEFORE YOU DIG
CALL 811 OR 1-800-482-7171 (TOLL FREE)
OR VISIT CALL811.COM

DESIGN INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

SE2
116



BITUMINOUS PAVEMENT CROSS SECTION
NOT TO SCALE

TYPE "A" CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	2.5"
B	AGGREGATE BASE	MDOT 22A	8"
S	GRANULAR SUBBASE	MDOT CLASS B	7"
G	GEGRID	N/A	N/A

TYPE "B" CROSS SECTION

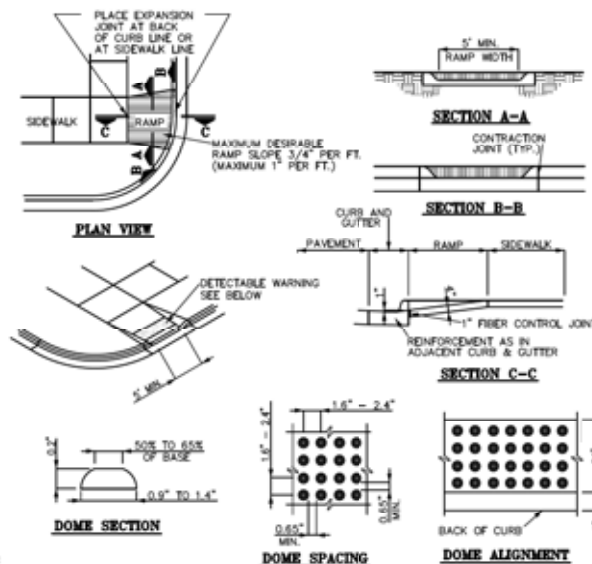
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 22A	6"
S	GRANULAR SUBBASE	MDOT CLASS B	6"
G	GEGRID	N/A	N/A

MINIMUM TOWNSHIP CROSS SECTION

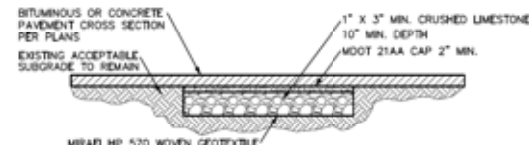
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 22A	6"
S	GRANULAR SUBBASE	MDOT CLASS B	6"
G	GEGRID	N/A	N/A

BITUMINOUS PAVEMENT NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Driveway and Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the roadway, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Substantial repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course.



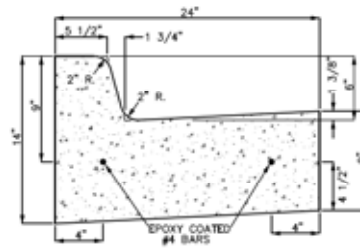
BARRIER FREE RAMP AND DETECTABLE WARNING DETAILS
NOT TO SCALE



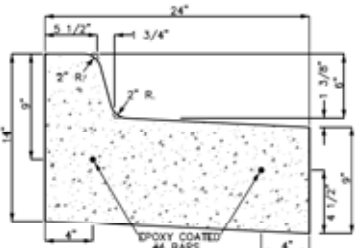
SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION
NOT TO SCALE

PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut area with 1" x 3" minimum size crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALDI Inc with unit pricing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and offsite disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



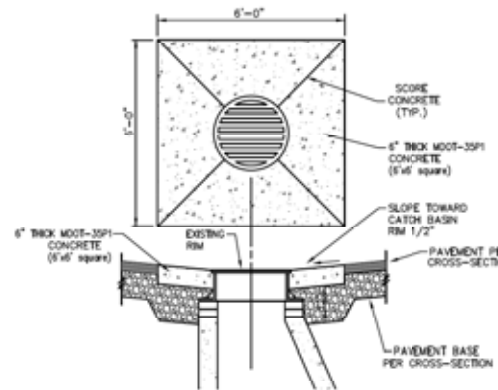
MDOT TYPE F4 CURB
NOT TO SCALE



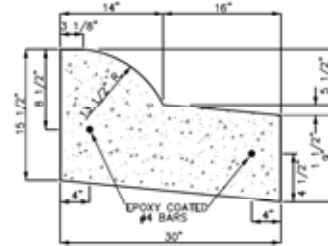
MDOT TYPE F4 CURB REVERSE PITCH
NOT TO SCALE

CONCRETE CURB NOTES:

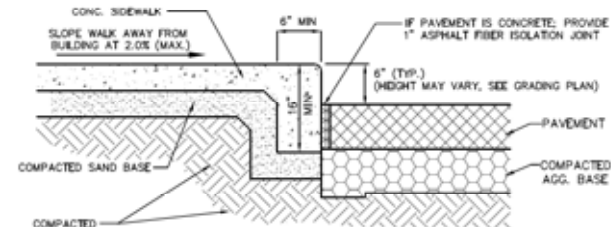
- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day class design strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in concrete curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 0.5" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tack pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.



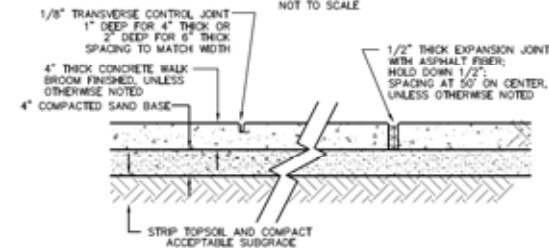
CATCH BASIN COLLAR
NOT TO SCALE



MDOT TYPE B2 CURB REVERSE PITCH
NOT TO SCALE



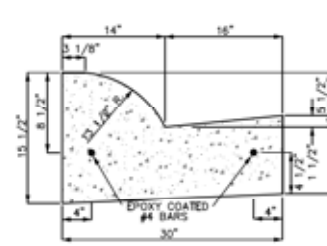
SIDEWALK WITH INTEGRAL CURB & ISOLATION JOINT DETAIL
NOT TO SCALE



SIDEWALK CROSS SECTION
NOT TO SCALE

SIDEWALK CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. See the Project Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT CL II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day class design strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space contraction control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 0.5" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75 % of the design flexural strength.



MDOT TYPE B2 CURB
NOT TO SCALE

GENERAL NOTES:
1. Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.

2. Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).

3. Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.

4. Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.

5. Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.

6. Contractor shall contact the 811 Public Underground Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.

7. Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.

8. The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation and observation with the appropriate Agency. Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.

9. Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.

10. During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.

11. Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies.

12. Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.

13. All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.

14. Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.

15. When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.

16. Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.

17. Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.

18. Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.

811
Know what's Below.
Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-482-7171
(TOLL FREE)
OR VISIT CALL811.COM

DESIGN INC
(810) 227-0533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

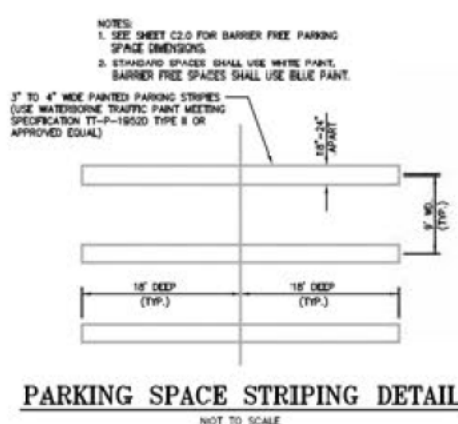
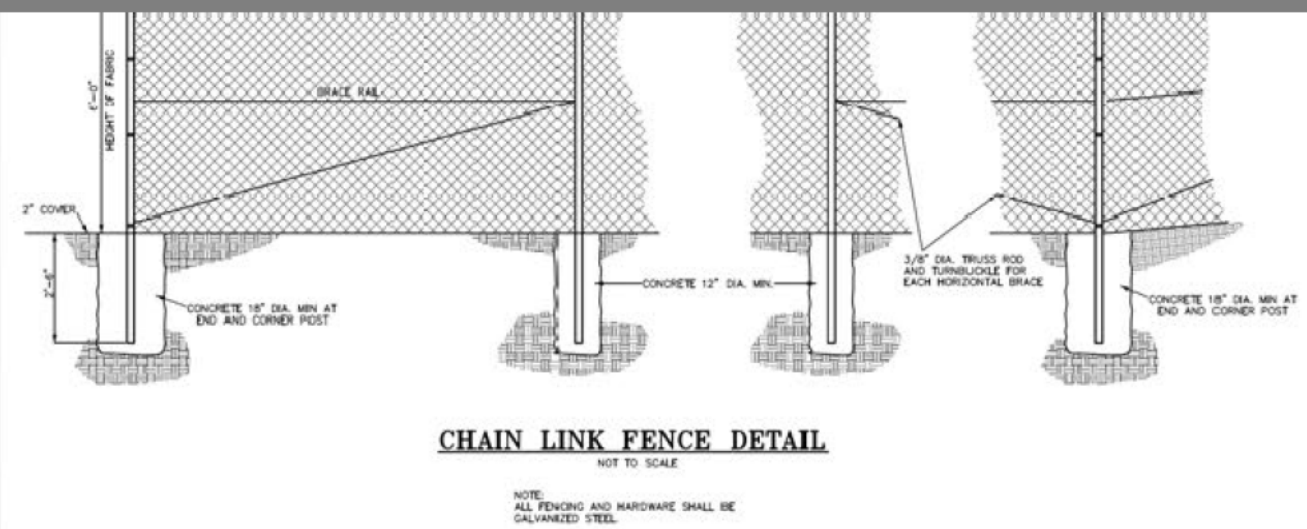
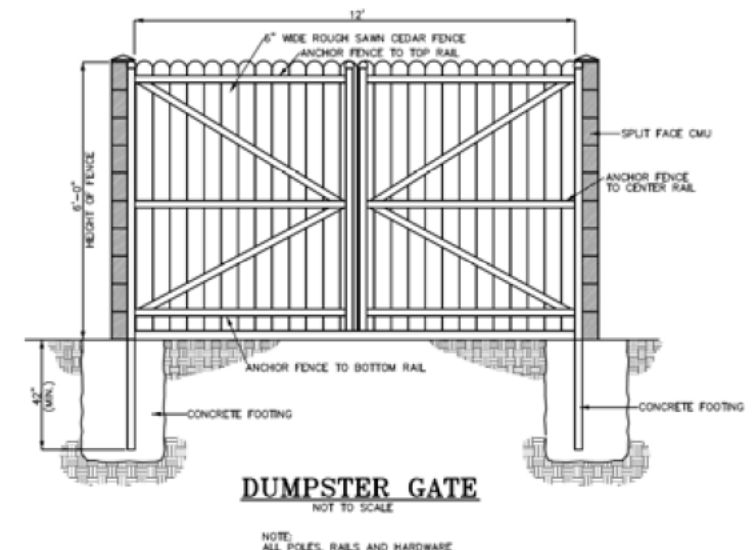
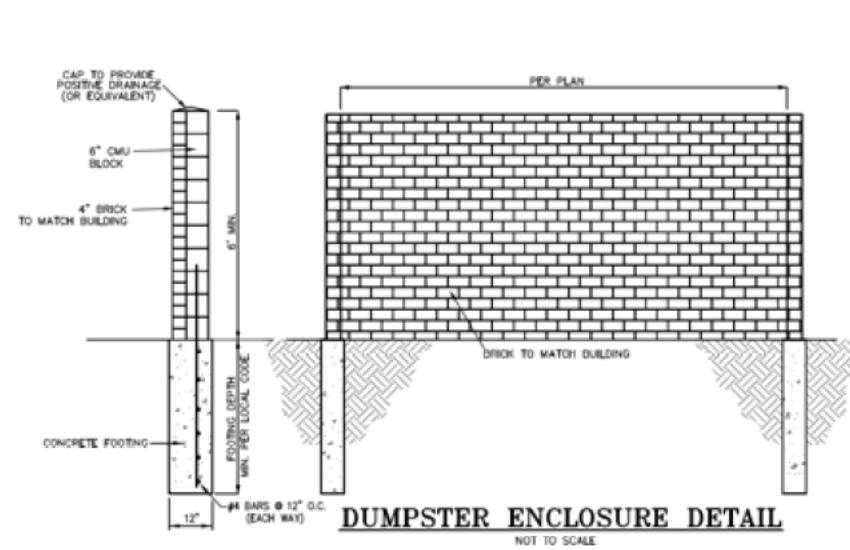
DESIGN: FAF	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.
PHASE 1

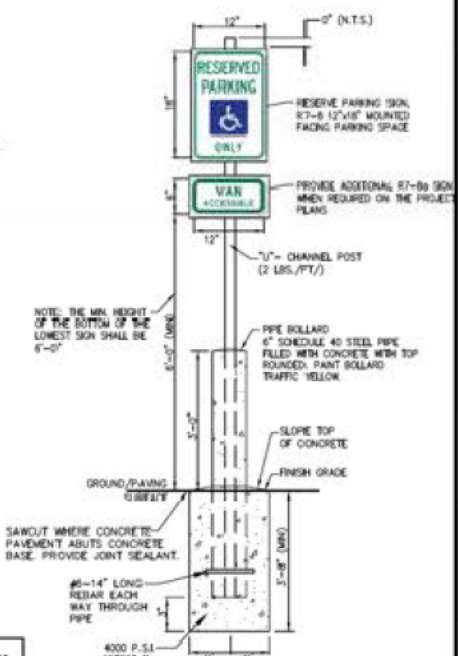
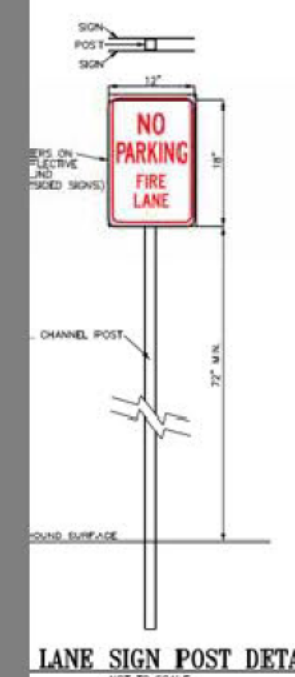
SITE PAVEMENT NOTES & DETAILS

CLIENT:	PREMIER GENOA LLC	SCALE:	NO SCALE
	775 N. SECOND STREET	PROJECT No.:	183450
	BRIGHTON, MICHIGAN 48116	DWG NAME:	3450 DT
		ISSUED:	AUG. 5, 2020

DT1



- SIGNAGE AND PAVEMENT MARKING NOTES:
- Pavement markings shall be in accordance with the type, color, size and locations shown on the plans. If the information on the plans is not complete and the authority having jurisdiction does not have specific requirements, then use the following: Paint shall be supplied in accordance with AASHTO: M 248 latest addition. Colors shall be as follows: (YELLOW- parking stalls, loading zones, parking islands, no parking zones and fire lanes) (WHITE- stop bars, pedestrian crossings, lane demarcations, directional arrows and lettering) (BLUE- handicap parking stalls and symbols). Stripe widths shall be as follows: (4\"- parking spaces, driveway lanes, barrier free loading zones and no parking zones) (12\"- crosswalks) (24\"- stop bars).
 - The pavement shall be clean and free of dirt, dust, moisture, oils and other foreign materials at time of marking application. Any old pavement markings shall be removed unless paints are compatible and overlay identically. The surface of the pavement prior to application shall be a minimum of 45 degrees F and rising unless the Manufacturer's recommendations are greater.
 - The signage shall be in accordance with the type, color, size and locations shown on the plans in accordance with AASHTO M268. The signage shall be provided in accordance with the Local Municipality and the Michigan Manual of Uniform Traffic Devices latest edition.
 - Posts, brackets and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50 and hot dip galvanized in accordance with ASTM A123. All cutting, drilling and/or other pole modifications shall be painted with galvanizing paint. All mounting hardware shall be stainless steel.
 - Sign post footings shall be a minimum of 3'-6\" deep and 8\" in diameter unless poor soils or frost conditions require greater depth and/or diameter. Sign posts shall be kept plumb, 6 inches off the bottom of footing excavation and centered as 3000-psi concrete is placed under and around the sign post. The overall sign and post system should be able to withstand 33 pounds per square foot. All signs located in paved areas or with less than 3 feet of clearance between the centerline of sign post and the back of curb and/or edge of pavement shall be installed in a pipe bollard. Pipe bollards shall be 6\" diameter schedule 40 steel pipe. Pipe bollards shall be filled with concrete that is rounded at the top of the bollard. Bollards shall be painted traffic yellow. Increase the sign post footing diameter to 14\" minimum for pipe bollards and embed the bollard into the concrete footing a minimum of 3 feet below proposed finish grade.
 - Signs shall not be mounted on posts until after concrete has cured for a minimum of seven days or 75% strength is achieved.
 - All barrier free striping and signage shall meet the Americans with Disabilities Act (ADA) requirements.
 - All Fire Lane signs shall have a Red Border and Red Letters on White Background. All Fire Lane signs shall be Reflective. Fire lane striping and signage shall meet the requirements of the Local Building Inspector and Fire Department.
 - \"Mounting Height\" shall be the minimum height of the bottom of the sign above finish grade. When signs are located downhill from the roadway, driveway and/or parking area, then the \"Mounting Height\" shall be the height of the bottom of the sign above the top of pavement finish grade at the nearest edge of pavement adjacent to the sign.
 - All Traffic Control and Fire Lane signs shall be installed at 3 feet behind the back of curb (and/or edge of pavement) to the centerline of the sign post unless noted otherwise on the project plans.
 - The Contractor(s) and/or Subcontractor(s) responsible for installation of the sign posts shall contact the 811 Public Underground Utility Locating System a minimum of three (3) working days prior to installation of the signposts. Install the sign posts in the locations specified on the project plans. When underground utilities conflict with the proposed signpost locations, their adjust the sign locations to the minimum amount necessary to safely clear the underground utilities. Maintain a minimum of 2 feet of clearance between the edge of sign and the back of curb and/or edge of sidewalk.



SIGN SCHEDULE

SIGN	KEY	SIZE (W x H)	TYPE OR MOUNT	MOUNTING HEIGHT	QUANTITY
	R7-8	12' x 18'	POST MOUNTED	7'-6"	5
			BUILDING MOUNTED	7'-6"	0
	R7-8a	12' x 6'	POST MOUNTED	7'-0"	4
	FIRE LANE	12' x 18'	POST MOUNTED	6'-0"	6

REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
1	11-19-20	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

BMH - PREMIER P.U.D.
PHASE 1

SIGNAGE &
PAVEMENT MARKING
NOTES & DETAILS

CLIENT: PREMIER GENOA LLC
775 N. SECOND STREET
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

SCALE: AS NOTED
PROJECT No.: 9183450
DWG NAME: 3450 DT
ISSUED: NOV. 19, 2020

811 Know what's below. Call before you dig.
3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-452-7171 (TOLL FREE)
OR VISIT CALL811.COM

DESIGN INC. (810) 227-0533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DT2
118

Date	Revision
12.20.2018	Owner Review
01.03.2019	Revision
01.08.2019	Pre-submittal Review
12.27.2019	Conceptual PUD Submittal
02.14.2020	Revision
06.08.2020	PUD Submittal
08.06.2020	Phase I Permit/Construction
11.11.2020	Revision

Project
BMH - Premier PUD
4525 East Grand River Ave.
Genoa Township, MI

Project Sponsor
Premier Genoa, LLC
775 N. Second Street
Brighton, MI 48116

Sheet Name:
Landscape Plan

Scale:



Drawn	JG
Checked	JG
Date	12.2018
Scale	1" = 40' 0"

Project Number:
20.033

Sheet Number:
119 L-1

GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VERIFY SITE, VERIFY EXISTING CONDITIONS AND REVIEW PROPOSED PLANNING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR HEAVY PHASE OF WORK. ANY DAMAGE OR DISRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
4. PLANTS SHALL BE FULL, WELL BRANCHED, AND HEALTHY WOODS GROWING CONDITION.
5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING & COMPLETE.
6. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
8. CONTRACTOR WILL SUPPLY FINISHED GRADE AND ENCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS.
9. PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, TOXIC MATERIAL, AND STONE. SLOW-RELEASE FERTILISER SHALL BE ADDED TO THE PLANT BEDS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AS THE MANUFACTURER'S RECOMMENDED RATES.
10. ARRANGED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 COMPOST. MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
11. ALL PLANTINGS SHALL BE WRAPPED WITH DOUBLE SHREDED HARDWOOD BARK. SPREAD TO A DEPTH OF 2" FOR TREES AND SHRUBS, AND 3" ON PERENNIALS AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PRICES OF INCONSIDERABLE.
12. NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
13. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS PRIOR TO INSTALLATION.
14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
15. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLAN AND/OR SPECIFICATIONS.
16. THE LANDSCAPE CONTRACTOR SHALL BRED AND MULCH FOR SOIL (AS INDICATED ON PLAN) ALL AREAS DESIGNATED AS SUCH ON THE PLAN. THROUGHOUT THE CONTRACT PERIOD. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESEEDING AREAS DESTROYED DURING CONSTRUCTION. NOT IN THE CONTRACT LIMITS TO EQUAL OR GREATER CONDITION.
17. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER ACCUMULATION. SEE CIVIL SHEETS FOR DRAINAGE DETAILS.

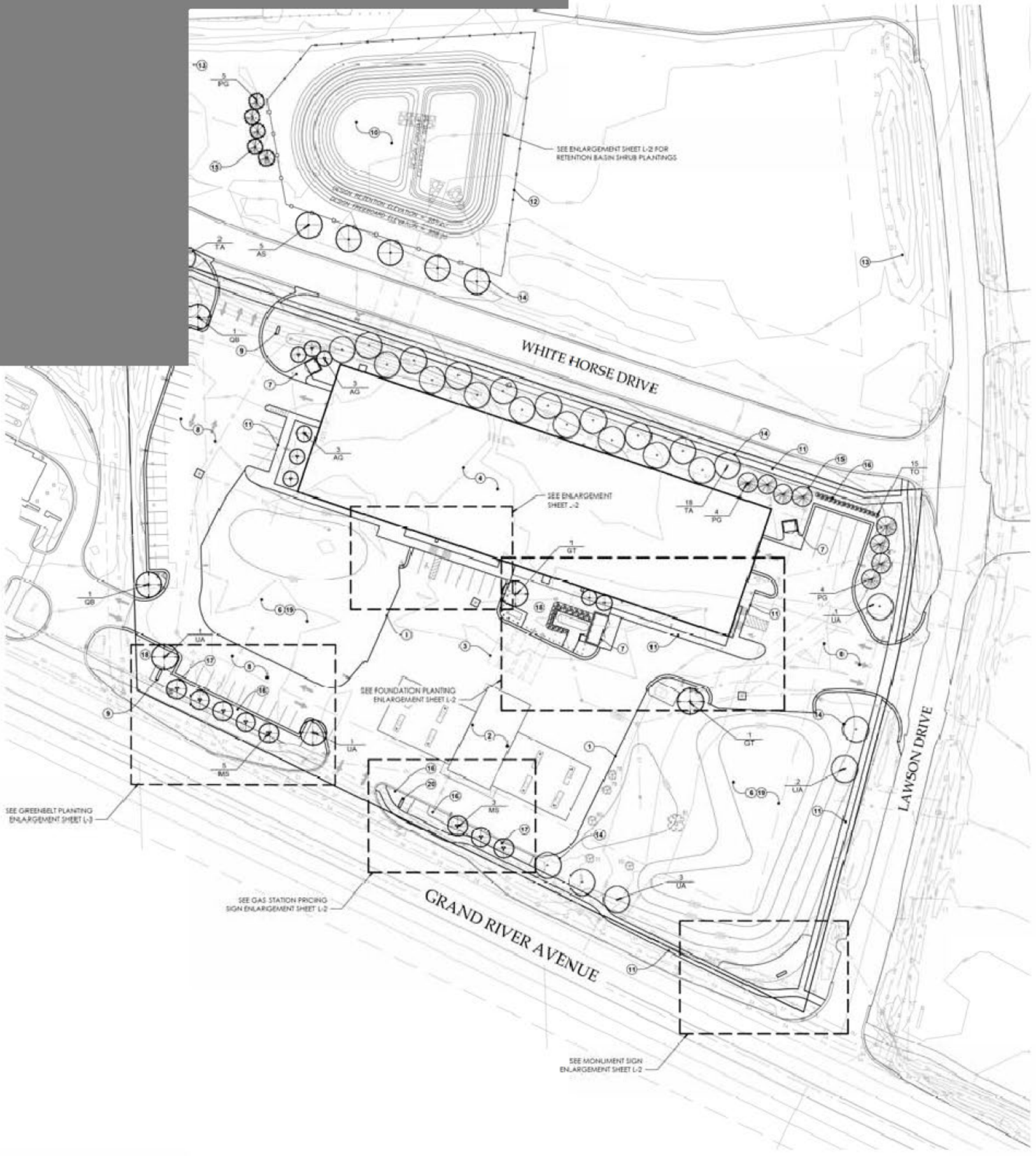
Note Key:

- 1 EXISTING PAVED PARKING LOT
- 2 EXISTING GAS STATION
- 3 EXISTING UNDERGROUND TANK
- 4 UTILITY FACILITY, SEE ARCHITECTURAL
- 5 FUTURE BIRD CATCH
- 6 DIAPHRAGM ENCLOSURE, SEE CIVIL ENGINEERING
- 7 PROPOSED PARKING LOT, SEE CIVIL ENGINEERING DRAWINGS
- 8 MONUMENT SIGN, SEE ARCHITECTURAL DRAWINGS
- 9 STORM WATER BASIN, SEE CIVIL ENGINEERING DRAWINGS
- 10 CONCRETE SIDEWALK, TYPICAL
- 11 FENCE WITH GATE, SEE CIVIL ENGINEERING DRAWINGS
- 12 EXISTING TREE TO REMAIN
- 13 DECIDUOUS CANOPY TREE, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL, SEE SPECS
- 14 EVERGREEN TREE, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL, SEE SPECS
- 15 SHRUB AND PERENNIAL PLANTING, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL, SEE SPECS
- 16 ORNAMENTAL FLOWERING TREE, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL, SEE SPECS
- 17 SCODDED LAWN, SEE SPECS
- 18 SEEDING LAWN, SEE SPECS
- 19 EXISTING GAS STATION PRICING SIGN, PROTECT AS REQUIRED DURING CONSTRUCTION

SURVEY PROVIDED BY:
DESIGN, INC.
2183 Pine Drive
Brighton, MI 48114
810.227.7533
DESIGN JOB NUMBER: 183430
DATED: 4-4-22-2020

NOT FOR CONSTRUCTION

SCALE: 1" = 40' 0"
NORTH



SEE GREENBELT PLANTING ENLARGEMENT SHEET L-3

SEE FOUNDATION PLANTING ENLARGEMENT SHEET L-2

SEE GAS STATION PRICING SIGN ENLARGEMENT SHEET L-2

SEE ENLARGEMENT SHEET L-2 FOR RETENTION BASIN SHRUB PLANTINGS

SEE ENLARGEMENT SHEET L-2

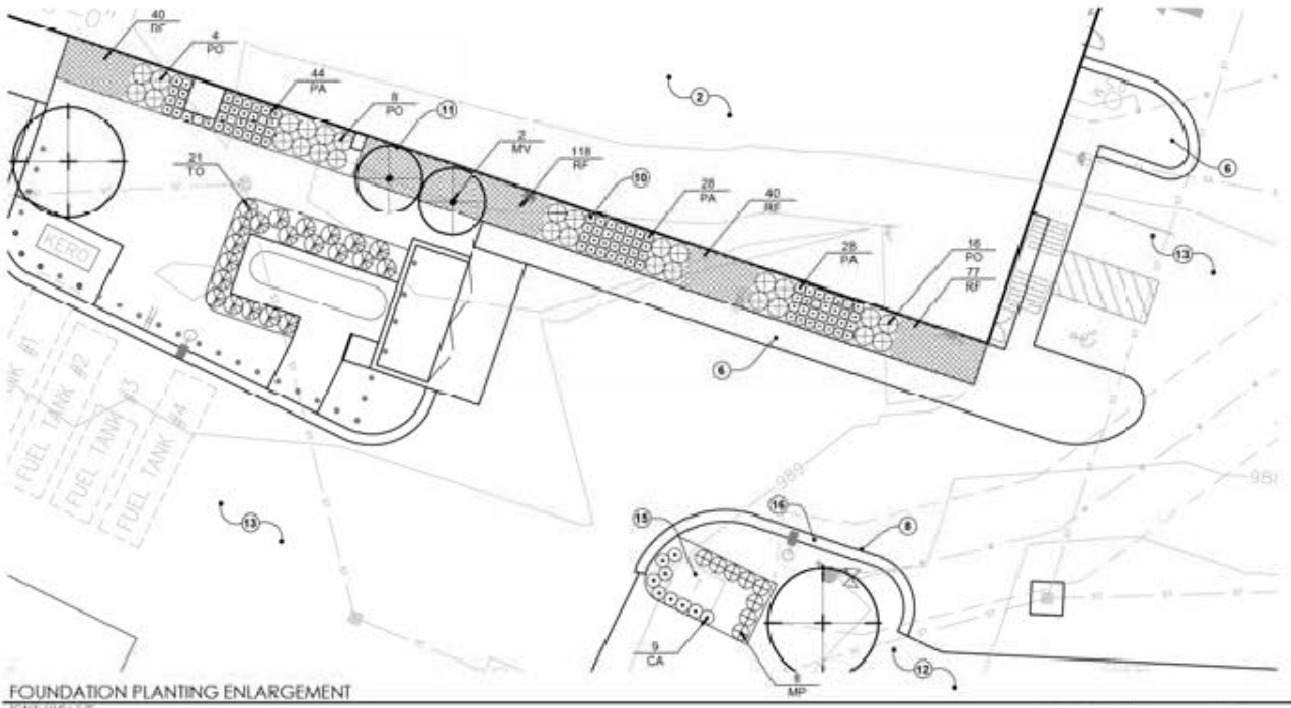
SEE MONUMENT SIGN ENLARGEMENT SHEET L-2

Issue For	Project
12.20.2018	Owner Review
01.08.2019	Pre-submittal Review
12.27.2019	Conceptual PUD Submittal
02.14.2020	Revision
04.08.2020	PUD Submittal
11.11.2020	Revision

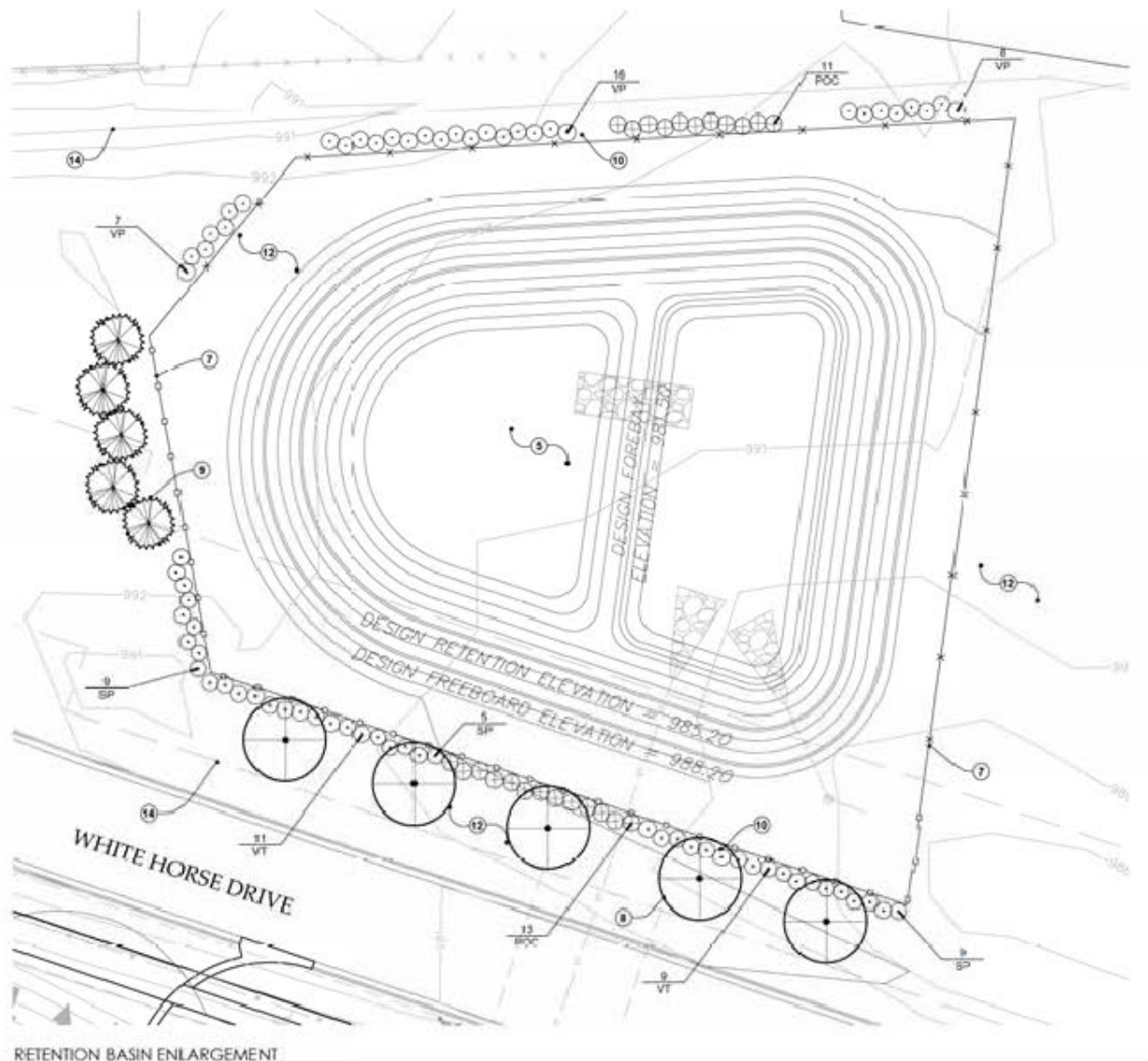
Project
BMH - Premier PUD
4525 East Grand River Ave.
Genoa Township, MI

Project Sponsor
Premier Genoa, LLC
775 N. Second Street
Brighton, MI 48116

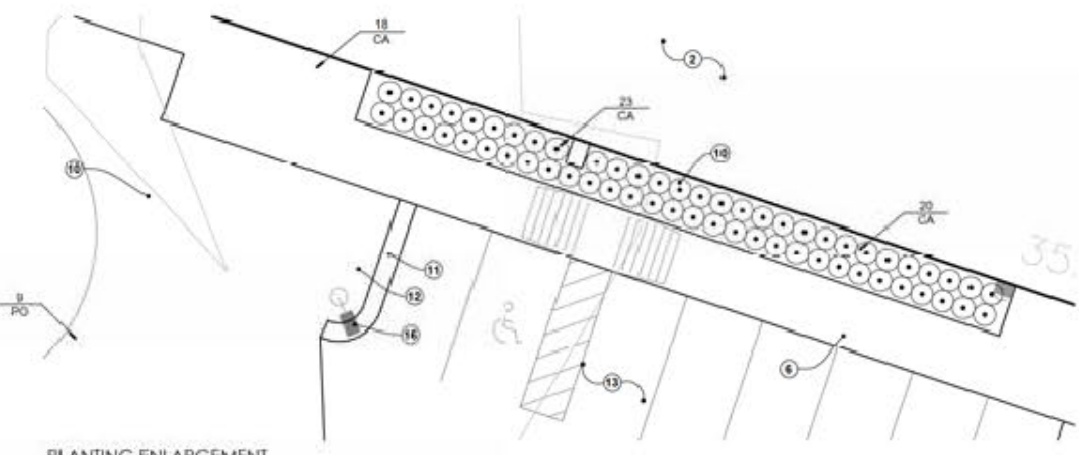
Sheet Name:
Enlargements



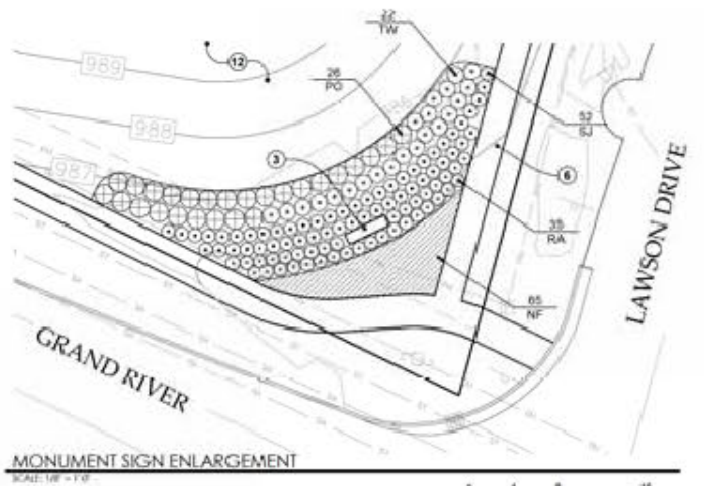
FOUNDATION PLANTING ENLARGEMENT
SCALE: 1/8" = 1'-0"



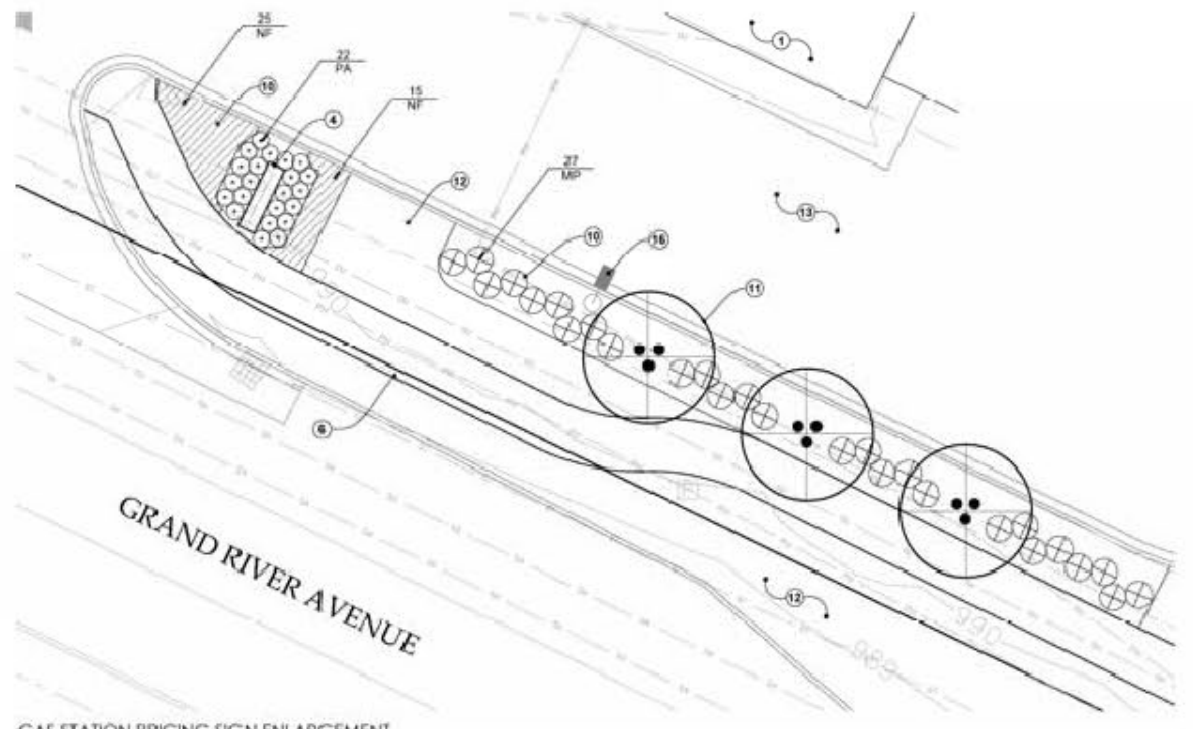
RETENTION BASIN ENLARGEMENT
SCALE: 1" = 30'-0"



PLANTING ENLARGEMENT
SCALE: 1" = 10'-0"



MONUMENT SIGN ENLARGEMENT
SCALE: 1/8" = 1'-0"



GAS STATION PRICING SIGN ENLARGEMENT
SCALE: 1" = 10'-0"

Note Key:

- 1 EXISTING GAS STATION
- 2 PROPOSED STORAGE FACILITY, SEE ARCHITECTURE
- 3 PROPOSED MONUMENT SIGN
- 4 EXISTING GAS STATION PRICING SIGN
- 5 PROPOSED RETENTION BASIN, SEE CIVIL ENGINEERING DRAWINGS
- 6 PROPOSED CONCRETE SIDEWALK, TYPICAL
- 7 PROPOSED FENCE WITH GATE
- 8 CYCLOPS CANOPY TREE, SEE SHEET L-1 FOR QUANTITY AND SPECIES, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 9 EVERGREEN TREE, SEE SHEET L-1 FOR QUANTITY AND SPECIES, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 10 SHRUBS AND PERENNIAL PLANTING, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 11 ORNAMENTAL FLOWERING TREE, SEE SHEET L-1 FOR QUANTITY AND SPECIES, SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 12 LAWN, OVER MINIMUM 2" DEPTH TOPSOIL TO LIMIT OF DISTURBANCE
- 13 ASPHALT PAVING LOT
- 14 PROPOSED RETENTION BASIN INLET, SEE SHEET L-1 FOR DETAILS, SEE CIVIL ENGINEERING DRAWINGS
- 15 TRANSVERSE PAD
- 16 PROPOSED LIGHT POLE, SEE LIGHTING PLAN



Drawn:	JG
Checked:	JG
Date:	12.10.2018
Scale:	AS NOTED

Project Number

18.033

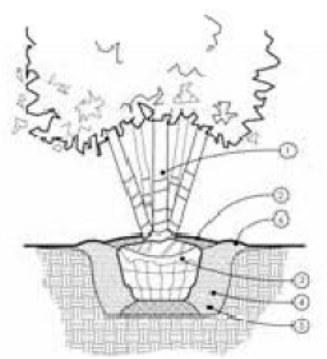
Sheet Number

120 L-2



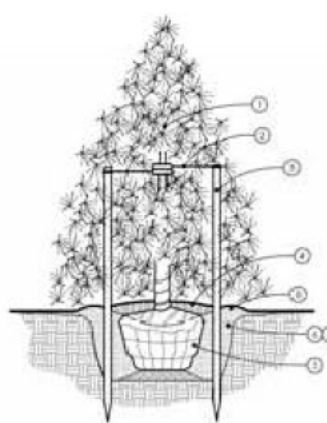
NOT FOR CONSTRUCTION





5
L-1
MULTISTEM TREE PLANTING
NOT TO SCALE

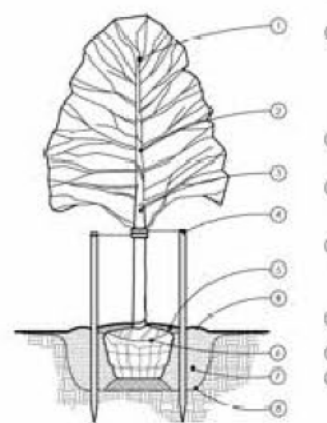
- NOTES:
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANNING PER PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
- REMOVE ALL SACKS, STRING, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GROUNDING.
 - COVER PLANTING W/ 3" DOUBLE SHREDED HARDWOOD BARK MULCH. MINIMUM 4" DIA. LEAVE 2" CIRCLE OF BARE SOIL AROUND BASE OF THE TREE.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
 - SEE PG 10 TO BE THREE TIMES WIDTH OF ROOTBALL.
 - 4" TOPSOIL SAUCER.



4
L-1
EVERGREEN TREE PLANTING
NOT TO SCALE

- NOTES:
1. STAKE EVERGREEN UNDER 12' HEIGHT
2. ONLY EVERGREENS 12' HEIGHT AND OVER
- REMOVE ALL SACKS, STRING, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GROUNDING.
 - STAKE TREES WITH 2-3" WIDE BELT-LIKE FABRIC TRAPS ONLY. ABOVE FE. OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER, AND ALLOW FOR SOME TENSION). DO NOT USE WIRE OR ROPE THROUGH A HOLE. REMOVE AFTER ONE YEAR.
 - 2" X 2" HARDWOOD STAKES OR EQUIVALENT WITH 1/4" GUSSETS OF ROOT BALL. REMOVE AFTER ONE YEAR.
 - COVER PLANTING W/ 3" SHREDED HARDWOOD BARK MULCH. MINIMUM 4" DIA. CONNECT EVERGREEN PLANTING WHERE POSSIBLE.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
 - TREE W/ TO BE 3 TIMES WIDTH OF ROOT BALL.
 - 4" TOPSOIL SAUCER.

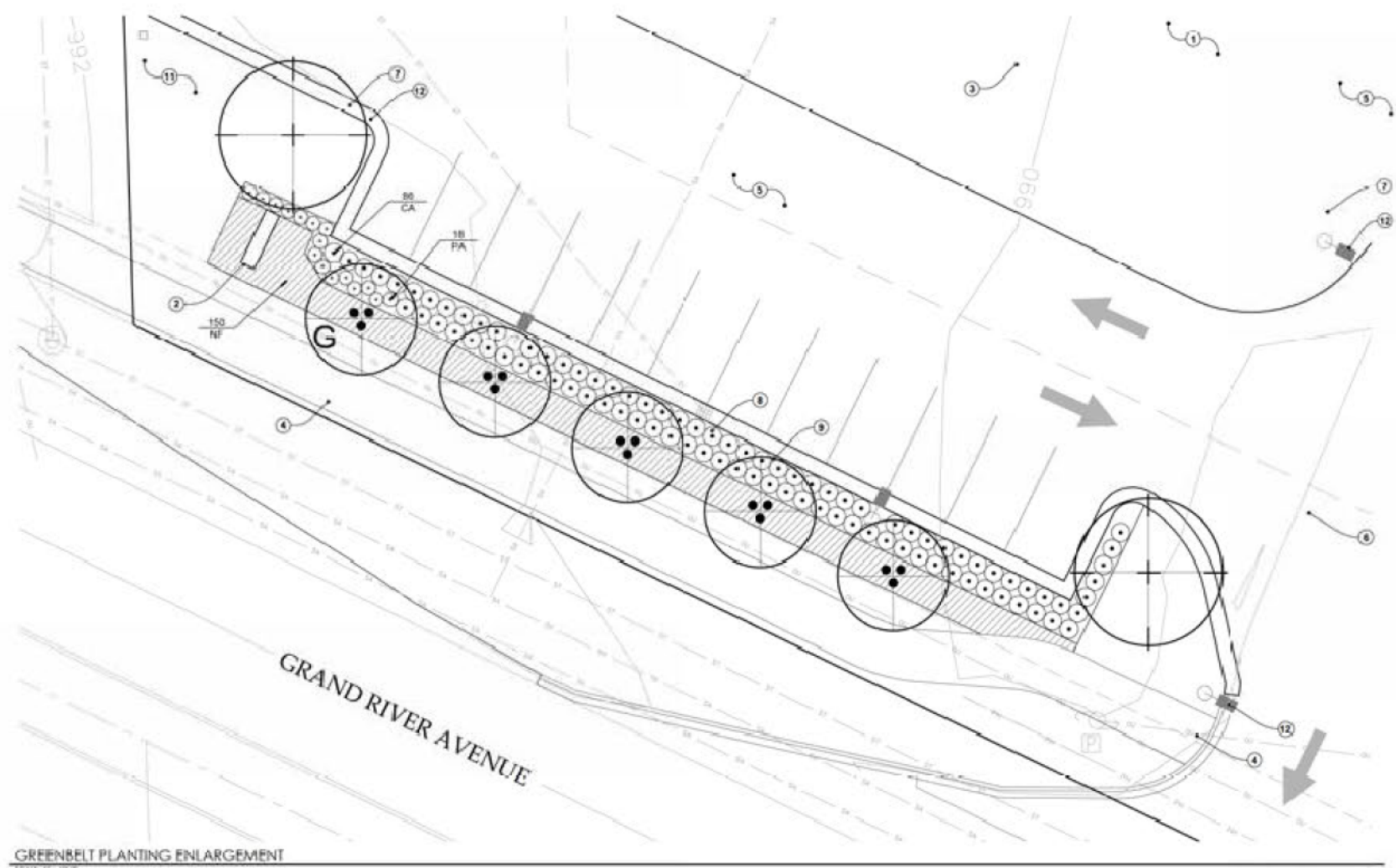
- NOTES:
1. STAKE EVERGREEN UNDER 12' HEIGHT
2. ONLY EVERGREENS 12' HEIGHT AND OVER
3. NEVER CUT OR PRUNE CENTRAL LEADER
4. SET STAKES VERTICAL AND EVENLY SPACED
5. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES



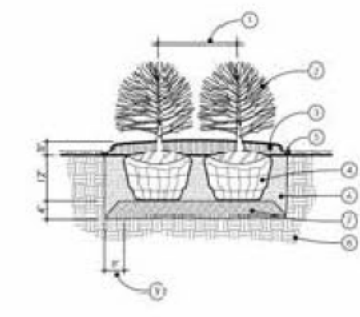
3
L-1
DECIDUOUS TREE PLANTING
NOT TO SCALE

- NOTES:
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANNING PER PRIOR TO INSTALLATION
- REMOVE SECONDARY LEADER. DO NOT PRUNE TERMINAL LEADER OR BRANCHES. PRUNE ALL DEAD AND BROKEN BRANCHES.
 - REMOVE ALL SACKS, STRING, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GROUNDING.
 - STAKE TREES 1/2" BELOW FIRST BRANCH W/ 2-3" WIDE BELT-LIKE FABRIC TRAPS ONLY. ABOVE FE. OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER, AND ALLOW FOR SOME TENSION). DO NOT USE WIRE OR ROPE THROUGH A HOLE. REMOVE AFTER ONE YEAR.
 - 2" X 2" HARDWOOD STAKES OR EQUIVALENT WITH 1/4" GUSSETS OF ROOTBALL. REMOVE AFTER ONE YEAR.
 - COVER PLANTING W/ 3" DOUBLE SHREDED HARDWOOD BARK MULCH. MINIMUM 4" DIA. LEAVE 2" CIRCLE OF BARE SOIL AROUND THE BASE OF THE TRUNK.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
 - TREE W/ TO BE 3 TIMES WIDTH OF ROOTBALL.
 - 4" TOPSOIL SAUCER.

- NOTES:
1. STAKE TREES 1/2" BELOW FIRST BRANCH W/ 2-3" WIDE BELT-LIKE FABRIC TRAPS ONLY. ABOVE FE. OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER, AND ALLOW FOR SOME TENSION). DO NOT USE WIRE OR ROPE THROUGH A HOLE. REMOVE AFTER ONE YEAR.
- 2" X 2" HARDWOOD STAKES OR EQUIVALENT WITH 1/4" GUSSETS OF ROOTBALL. REMOVE AFTER ONE YEAR.
- COVER PLANTING W/ 3" DOUBLE SHREDED HARDWOOD BARK MULCH. MINIMUM 4" DIA. LEAVE 2" CIRCLE OF BARE SOIL AROUND THE BASE OF THE TRUNK.
- REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
- PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
- TREE W/ TO BE 3 TIMES WIDTH OF ROOTBALL.
- 4" TOPSOIL SAUCER.

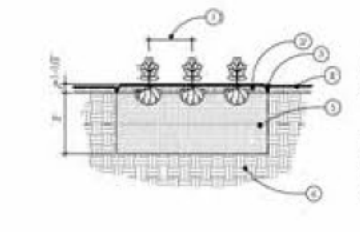


GREENBELT PLANTING ENLARGEMENT
SCALE: 1" = 10'



2
L-1
SHRUB PLANTING
NOT TO SCALE

- NOTES:
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANNING PER PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
- SEE PLAN FOR SPACING
 - SHRUBS. SEE PLANT SCHEDULE
 - 2" DEPTH DOUBLE SHREDED HARDWOOD BARK MULCH. MINIMUM 4" DIA.
 - REMOVE ALL NON-BIODEGRADABLE TWINE FROM ENTIRE ROOTBALL. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL.
 - SHOVEL CUT OR METAL EDGE. SEE PLAN
 - EXCAVATE EXISTING SOIL TO 12" DEPTH. REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
 - SCAFFE TO 4" DEPTH AND RECOMPACT
 - UNDISTURBED SUBGRADE
 - MINIMUM 2" BETWEEN ROOTBALL AND EDGE OF PLANTING PIT



1
L-2
PERENNIAL / GROUNDCOVER PLANTING
NOT TO SCALE

- NOTES:
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANNING PER PRIOR TO INSTALLATION
- SEE PLANT SCHEDULE FOR SPACING
 - 2" DEPTH CANADIAN FEAT 10" DRESSING HARDWOOD MULCH
 - SHOVEL CUT OR METAL EDGE. SEE PLAN
 - FINISH GRADE
 - EXCAVATE EXISTING SOIL TO 12" DEPTH. REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET 1.3 AND SPECIFICATIONS.
 - UNDISTURBED SUBGRADE

Note Key:

- PROPOSED RETAIL SPACE. SEE SHEETS L-1, L-2 ARCHITECTURE
- PROPOSED ALIGNMENT SIGN
- PROPOSED CONCRETE SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- PROPOSED ASPHALT PARKING LOT
- UNITS OF EXISTING ASPHALT PARKING LOT
- DECIDUOUS CANOPY TREE. SEE SHEET L-1 FOR QUANTITY AND SPECIES
- SHRUB AND PERENNIAL PLANTING
- ORNAMENTAL FLOWERING TREE. SEE SHEET L-1 FOR QUANTITY AND SPECIES
- RETAIL SPACE FOUNDATION PLANNING. SEE SHEET L-1 FOR QUANTITY AND SPECIES
- WOODEN LAWN. COVER MINIMUM 7" DEPTH TOPSOIL
- PROPOSED LIGHT POLE. SEE LIGHTING PLAN

PLANT SCHEDULE

TREES							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
5	AD	Acer s. 'Green Mountain'	Green Mountain Sugar Maple	2.5' cal.	as shown	BSB	Single straight trunk
8	AD	Ampelocera s. g. 'Autumn Brilliance'	Autumn Brilliance Cerecistery	6-7 ft.	as shown	BSB	Minimum 5 stems
2	PG	Gleditsia l. 'Skyline'	Skyline Honeylocust	2.5' cal.	as shown	BSB	Single straight trunk
13	PG	Picea glauca	White Spruce	6-7 ft.	as shown	BSB	Unsheared, branched to ground
2	QB	Quercus bicolor	Swamp White Oak	2.5' cal.	as shown	BSB	Single straight trunk
8	UK	Ulmus americana 'Valley Forge'	American Elm Valley Forge	2.5' cal.	as shown	BSB	Single straight trunk
20	TA	Tilia americana 'Boulevard'	Boulevard American Blackwood	2.5' cal.	as shown	BSB	Single straight trunk
8	MS	Malva 'Spring Green'	Spring Snow Cobaltiva	6-7 ft.	as shown	BSB	Minimum 5 stems
2	MF	Malva 'Velvet Pile'	Velvet Pile Catepalle	2.0' cal.	as shown	BSB	Single straight trunk
SHRUBS							
22	SP	Syringa p. 'Miss Kim'	Miss Kim Dwarf Korean Lilac	30' ht.	as shown	cont.	Well rooted
21	VP	Viburnum p. 'Newport'	Newport American Snowball Bush	30' ht.	as shown	BSB	Well rooted
38	TD	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	8' ht.	as shown	BSB	Trim to hedge
22	TW	Thuja s. 'Woodward Globe'	Woodward Globe Arborvitae	30' ht.	as shown	cont.	Well rooted
64	SO	Physocarpus s. 'Summer Wine'	Summer Wine Ninebark	36' ht.	as shown	cont.	Well rooted
24	POC	Physocarpus s. 'Coppertone'	Coppertone Ninebark	30' ht.	as shown	cont.	Well rooted
20	VT	Viburnum trilobum 'Compactum'	Compact American Cranberry Bush	30' ht.	as shown	cont.	Well rooted
26	MS	Myrica pennsylvanica	Northern Bayberry	30' ht.	as shown	cont.	Well rooted
10	SJ	Spirea japonica 'Neon Flash'	Neon Flash Spirea	24' ht.	as shown	cont.	Well rooted
8	RA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18' ht.	as shown	cont.	Well rooted
PERENNIALS							
154	CA	Carolinagrostis s. 'Karl Foerster'	Karl Foerster Feather Reed Grass	42	as shown	cont.	Well rooted
129	FA	Festuca s. 'Karey Rose'	Karey Rose Dwarf Fountain Grass	42	as shown	cont.	Well rooted
278	RP	Rudbeckia l. 'Goldsturm'	Black-eyed Susan	81	18" o.c.	cont.	Well rooted
348	NP	Nepeta s. 'Walkers Low'	Walkers Low Nepeta	81	24" o.c.	cont.	Well rooted



NOT FOR CONSTRUCTION

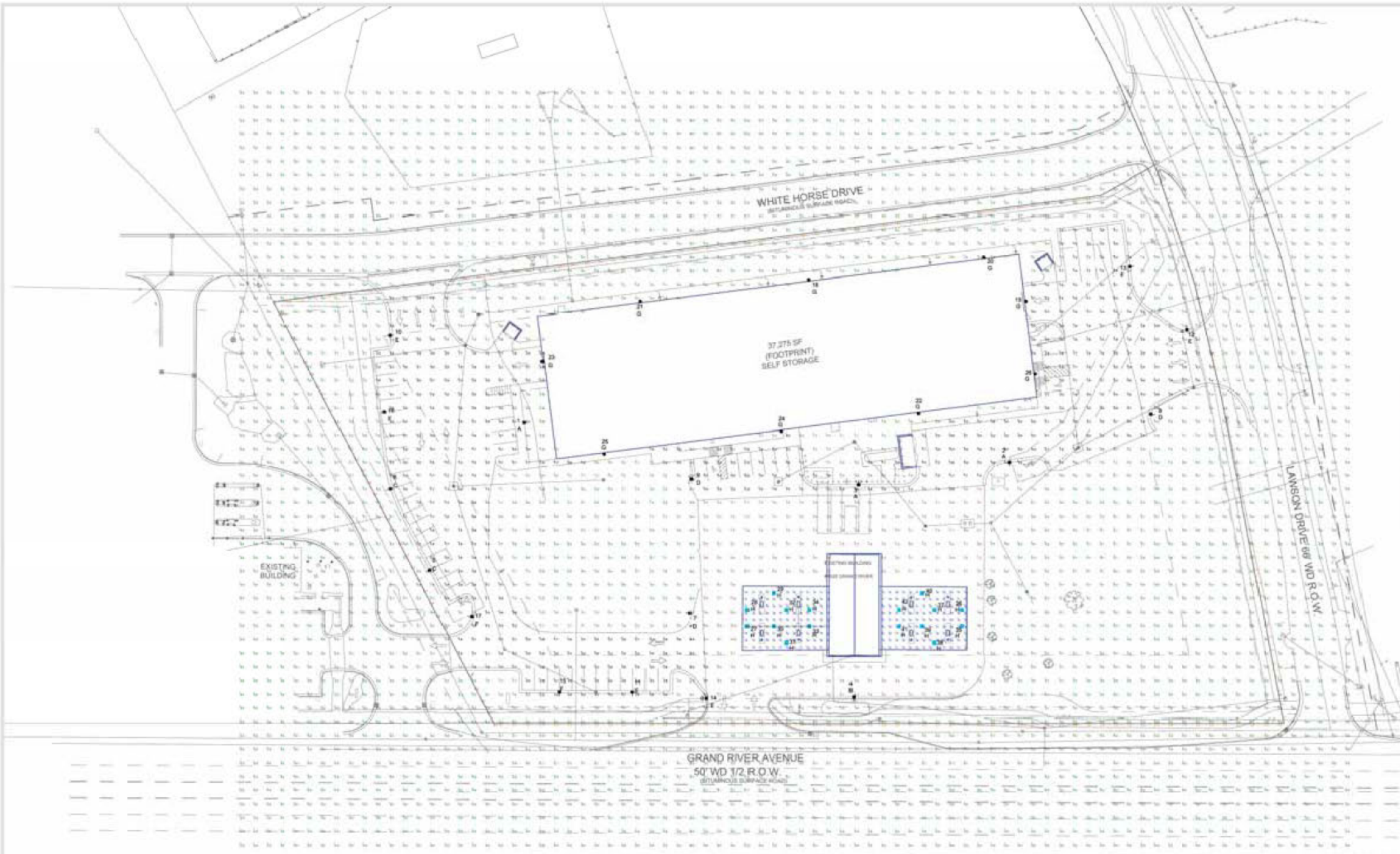
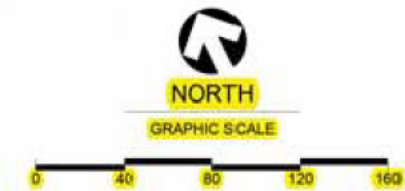


LUM NO.	LABEL	MTG. HT.
1-3	A	27
4	B	18
5-8	C	27
7-9	D	27
10-13	E	27
14	E	18
15-17	F	27
18-20	G	18
27-42	H	18

ALL NEW AREA LIGHTS SHALL BE MOUNTED TO NEW 25 FT. POLES ON NEW 2 FT. CONCRETE BASES, EXCEPT FOR NEW AREA LIGHTS LABELED 4B & 14E, WHICH SHALL MOUNTED TO EXISTING 16 FT. POLES ON EXISTING 2 FT. CONCRETE BASES.

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EXISTING GAS STATION CANOPY	35.81	58	11	3.26	5.22
EXISTING GAS STATION PAVED AREA	4.30	22.5	0.7	6.14	32.14
PHASE 1 DEVELOPMENT PAVED AREA	2.44	6.2	0.8	3.05	7.75
PROPERTY LINES - NONRESIDENTIAL	0.36	1.0	0.0	N.A.	N.A.
PROPERTY LINES - ROAD FRONTAGE	0.45	5.2	0.0	N.A.	N.A.
UNDEFINED	0.29	6.6	0.0	N.A.	N.A.

REMOVE AND REPLACE ALL UNDER CANOPY LIGHTING TO PROVIDE LUMEN LEVELS CONFORMING TO TOWNSHIP STANDARDS.



SYMBOL	QTY	LABEL	APPEARANCE	LUMENS	LUMENS (LUMEN MULTIPLE)	LATH	LLF	SPACING	WALL SPACING	TOTAL WALLS	MANUFACTURER	DESCRIPTION
[Symbol]	1	B	SINGLE	13650	1000	1.040	1.040	B2-U0-G2	130	130	CREE, INC.	OSQ-DAXX + OSQ-A-NM-3ME-K-97X-UL-XX w/ OSQ-BLSMF
[Symbol]	3	D	SINGLE	17291	1000	1.040	1.040	B3-U0-G3	130	390	CREE, INC.	OSQ-DAXX + OSQ-A-NM-4ME-K-97X-UL-XX
[Symbol]	3	F	SINGLE	33266	8330	1.040	0.863	B2-U0-G2	110	330	CREE, INC.	OSQ-DAXX + OSQ-A-NM-4ME-K-97X-UL-XX-G5 w/ OSQ-BLSMF
[Symbol]	16	H	SINGLE	18056	1000	1.000	1.000	B3-U0-G1	139.6	2233.6	LSI INDUSTRIES, INC.	CRU-SC-LED-HO-OW (EXISTING TO REMAIN, SHOWN FOR CONTRIBUTION)

REV.	BY	DATE	DESCRIPTION
R1	DAH	8/4/23	REVISED PER UPDATED SITE PLAN. RSP SERIES AREA LIGHTS CHANGED TO OSQ SERIES. EXISTING CANOPY LIGHTS SHOWN FOR CONTRIBUTION.

THESE LUMEN CALCULATIONS ARE BASED ON THE ASSUMPTIONS LISTED BELOW. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DATA PROVIDED AND THE RESULTS OF THESE CALCULATIONS. THE CLIENT IS ADVISED THAT THESE CALCULATIONS DO NOT CONSTITUTE A GUARANTEE OF PERFORMANCE OR A WARRANTY OF ANY KIND. THE CLIENT IS ADVISED THAT THESE CALCULATIONS ARE BASED ON THE ASSUMPTIONS LISTED BELOW AND THAT THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DATA PROVIDED AND THE RESULTS OF THESE CALCULATIONS. THE CLIENT IS ADVISED THAT THESE CALCULATIONS DO NOT CONSTITUTE A GUARANTEE OF PERFORMANCE OR A WARRANTY OF ANY KIND.

SCALE: 1" = 40'
 DATE: 12/18/23

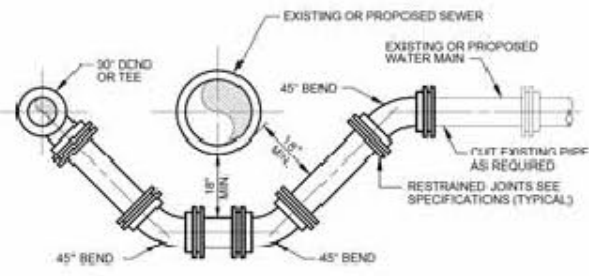
PROJECT NAME: **BMH PREMIER GENOA TWP., MI**
 DRAWING NUMBER: **RL-5858-S1-R1**

PIPE RESTRAINT SCHEDULE

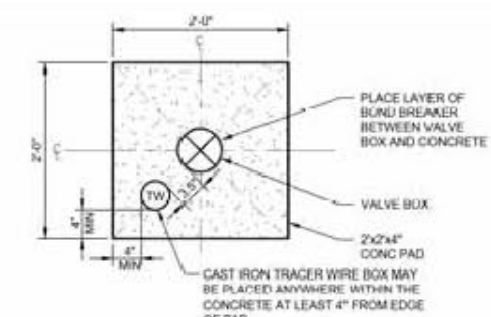
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° DCNDG	22-1/2" BENDS	11-1/4" BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	-	-
6	19	8	4	2	58	31	-
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	168	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	65	160
36	84	35	17	8	291	64	160

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF TEES ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
 - SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON: INTERNAL PRESSURE: 180
PIPE DEPTH: 5
BEDDING CLASS: TYPE 4
SOIL TYPE: GOOD SAND
SAFETY FACTOR: 2

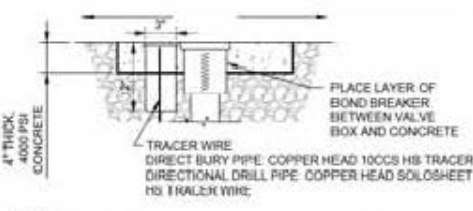


WATER MAIN UTILITY OFFSET



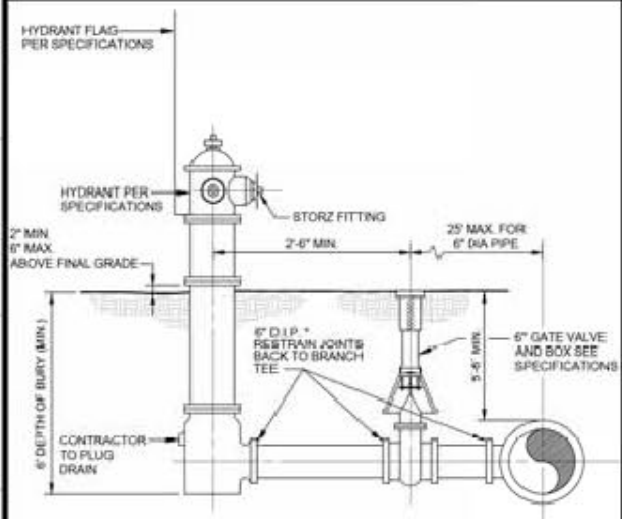
NOTE: ALL BOXES & ADJOINING TW BOXES SHALL BE ENCASED IN A CONCRETE PAD UNLESS OTHERWISE DETERMINED BY MHOG.

**PLAN
VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE**

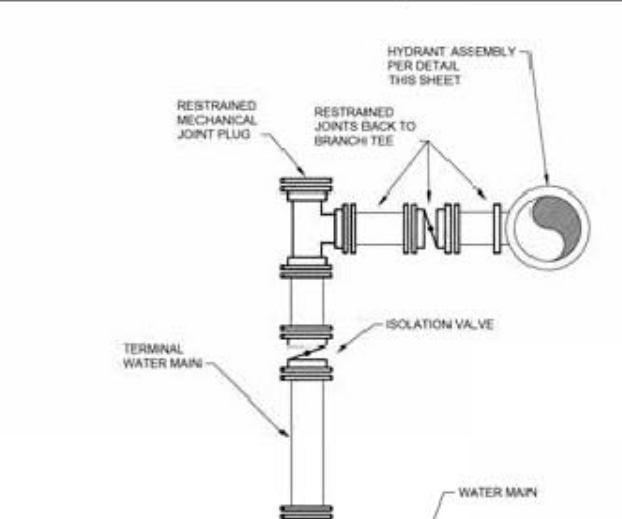


- NOTE:
- TRACER WIRE BOXES LOCATED WITHOUT A VALVE BOX ONLY REQUIRE AN 18" X 18" CONCRETE PAD.
 - TRACER WIRE BOX SHALL HAVE A LOCKING LID WITH STANDARD AWWA PENTAGON KEY.
 - TRACER WIRE BOX SHALL BE COPPERHEAD RB14" TP IN ASPHALT INSTALLATIONS AND CD14" TP FOR ALL OTHER INSTALLATIONS.

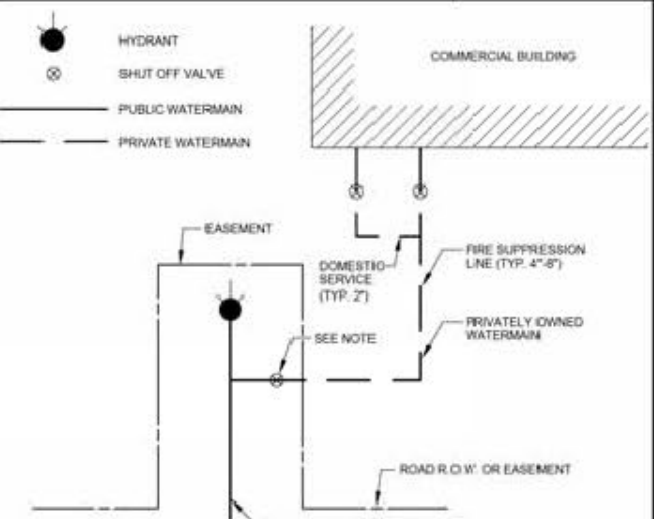
SECTION



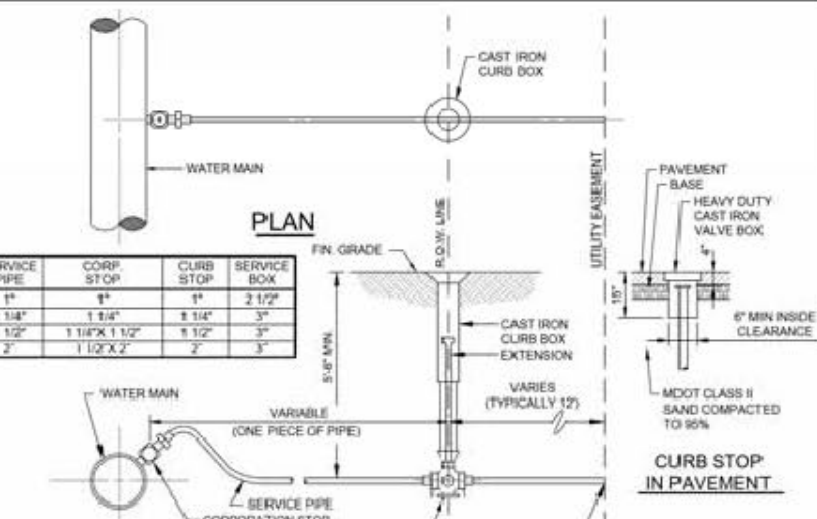
FIRE HYDRANT ASSEMBLY



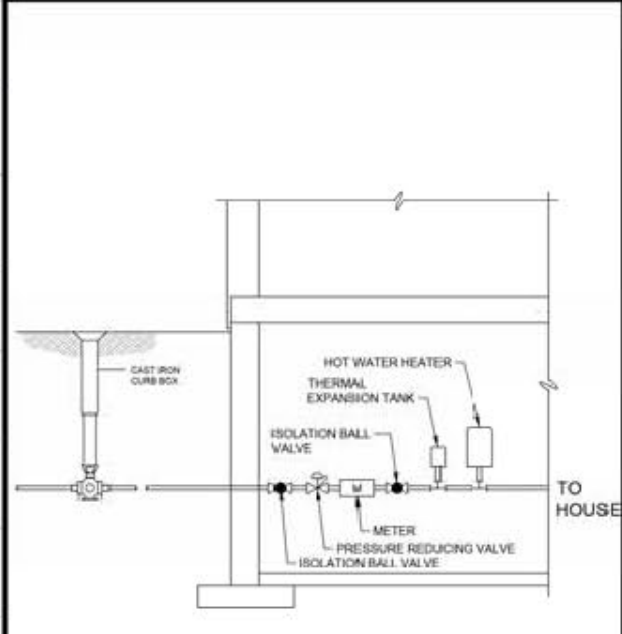
TERMINAL HYDRANT DETAIL



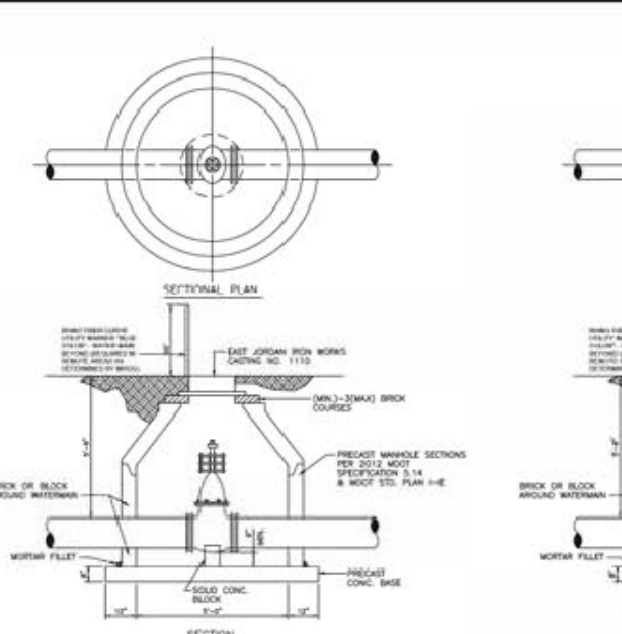
COMMERCIAL BUILDING WATER SERVICE LAYOUT



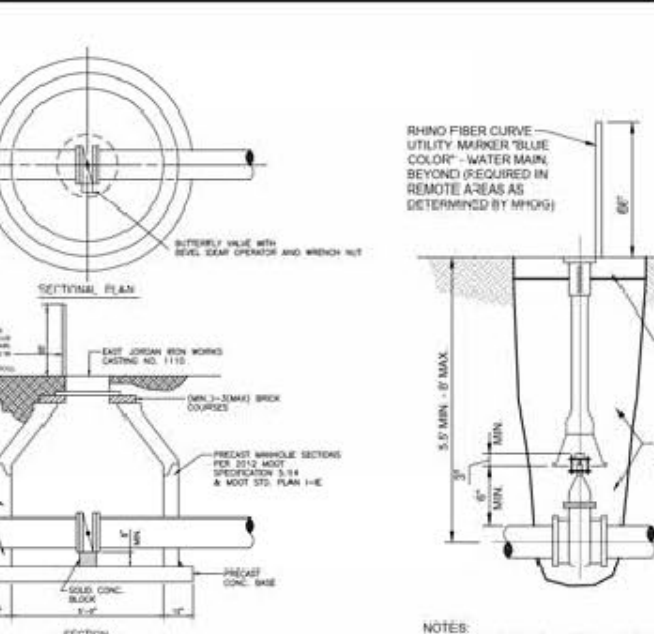
**SECTION
WATER SERVICE LATERAL**



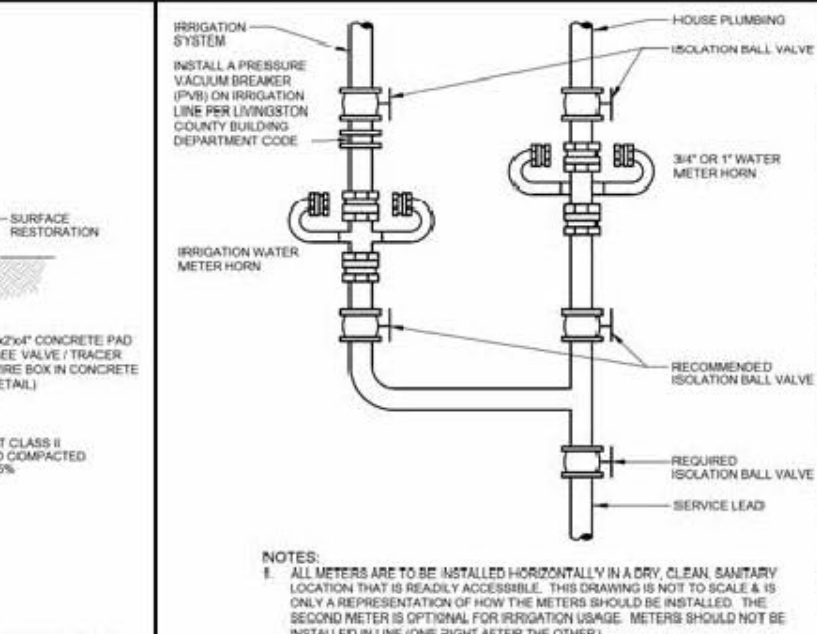
**PRIVATE RESIDENCE
PRESSURE REDUCING VALVE (PRV)**



GATE VALVE AND WELL



BUTTERFLY VALVE AND WELL



- NOTES:
- ALL METERS ARE TO BE INSTALLED HORIZONTALLY IN A DRY, CLEAN, SANITARY LOCATION THAT IS READILY ACCESSIBLE. THIS DRAWING IS NOT TO SCALE & IS ONLY A REPRESENTATION OF HOW THE METERS SHOULD BE INSTALLED. THE SECOND METER IS OPTIONAL FOR IRRIGATION USAGE. METERS SHOULD NOT BE INSTALLED IN LINE (ONE RIGHT AFTER THE OTHER).
 - PROPERTY DESIGNATED "HIGH HAZARD" PER THE MHOG CROSS CONNECTION RULES MANUAL WILL REQUIRE THE INSTALLATION OF A REDUCED PRESSURE ZONE (RPZ) BACK FLOW PREVENTION DEVICE.

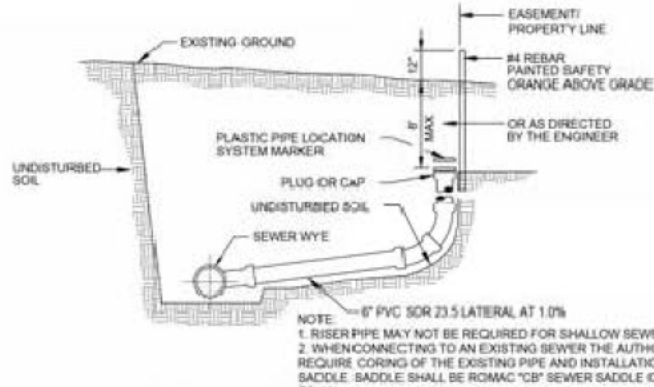
TYPICAL METER HORN INSTALLATION



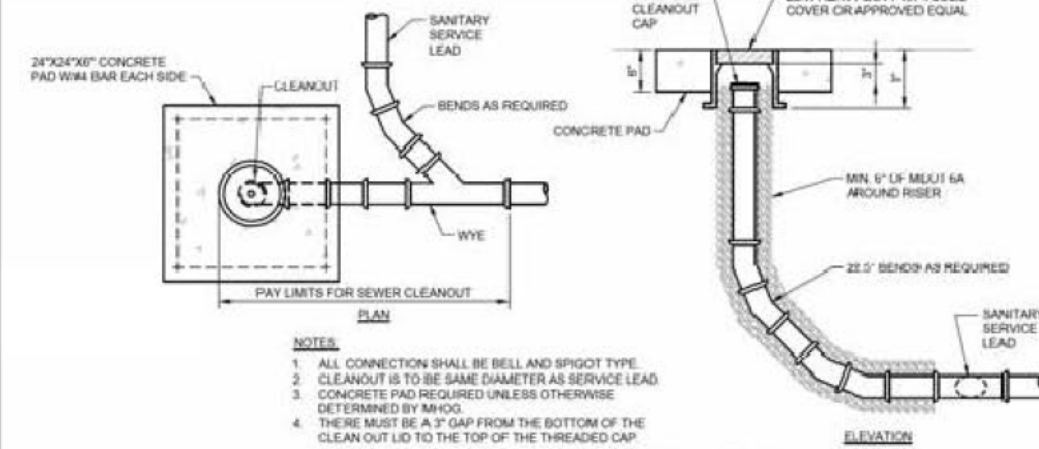
MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

Scale: NONE
Issued Date: JANUARY - 2014
Updated: MAY 2015
Updated: FEBRUARY 2016
Updated: APRIL 2016
Updated: OCTOBER 2017

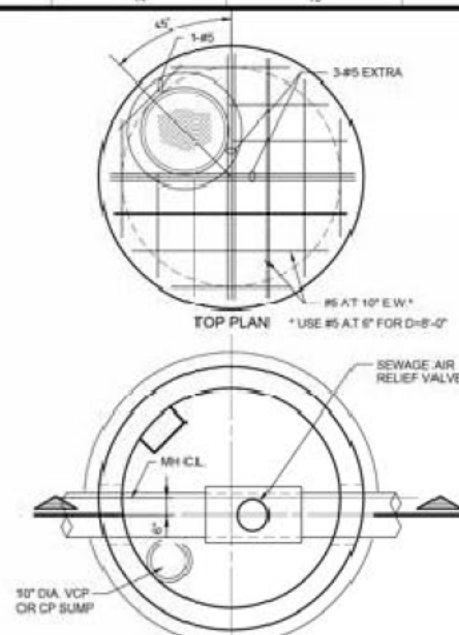
STANDARD DETAILS



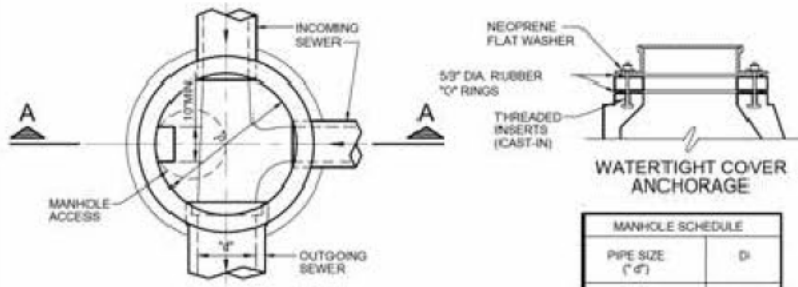
SANITARY SEWER LATERAL



SEWER CLEANOUT DETAIL

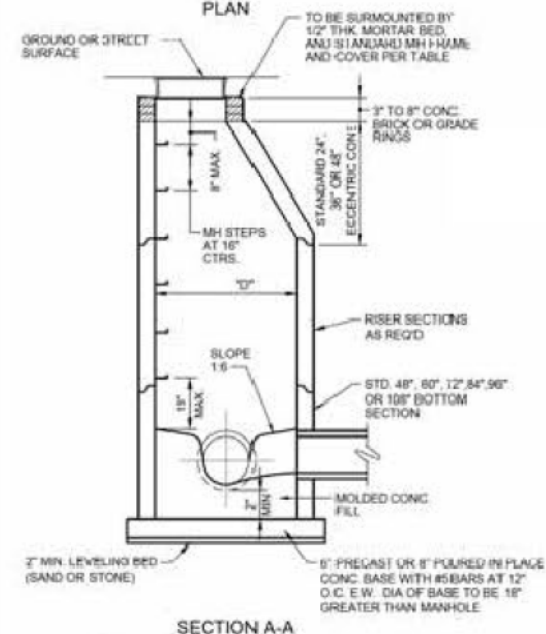


AIR RELIEF STRUCTURE



WATERTIGHT COVER ANCHORAGE

PIPE SIZE (\"/>
8\"/>
12\"/>
18\"/>
24\"/>

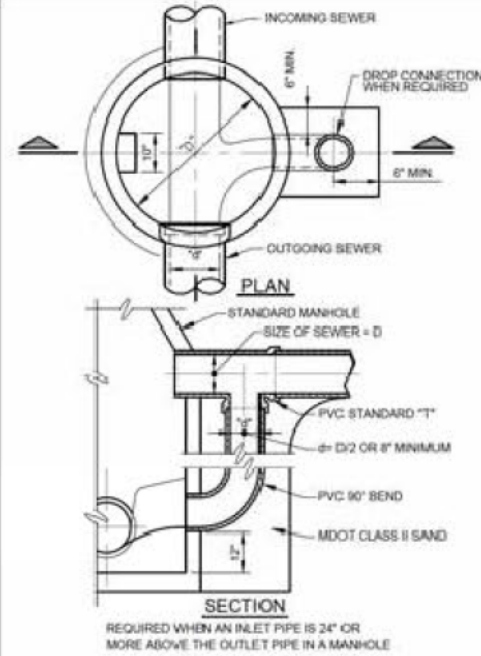


SECTION A-A

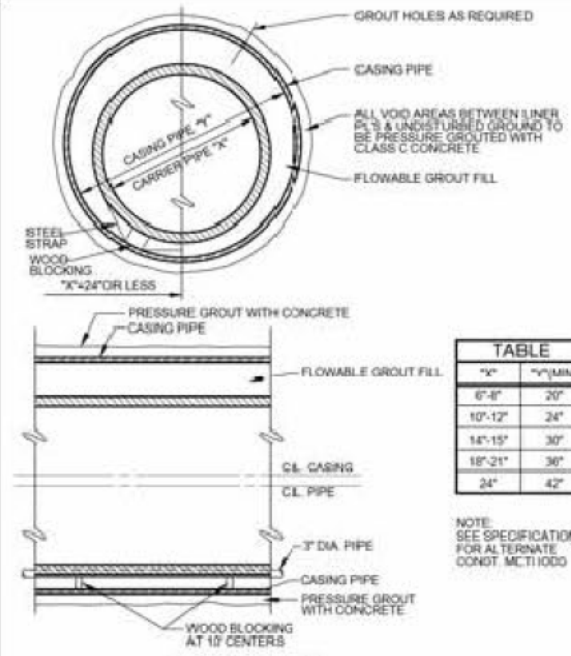
- NOTES:
1. ALL SANITARY MANHOLES TO BE PRECAST REINFORCED CONCRETE WITH PREMIUM JOINTS. SEE SPECIFICATIONS FOR BASE SLAB AND PIPE OPENINGS AND CONNECTIONS.
 2. MANHOLE CONES SHALL BE THE ECCENTRIC TYPE.
 3. PROVIDE 6\"/>

FRAME & COVER FOR SANITARY SEWER MANHOLES			
TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL	
		EAST JORDAN	NEENA#
MH	SANITARY - SOLID SELF-SEALING	1040-0000	R-1642
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F
CO	SOLID	157-4A	R-1973-A

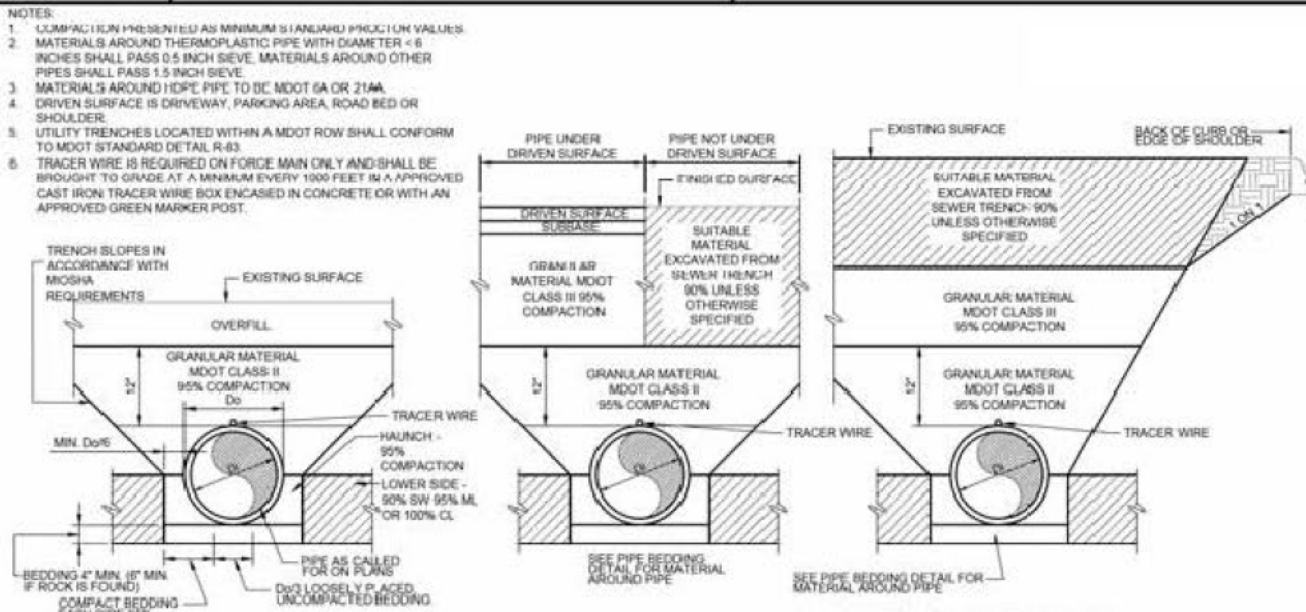
STANDARD MANHOLE



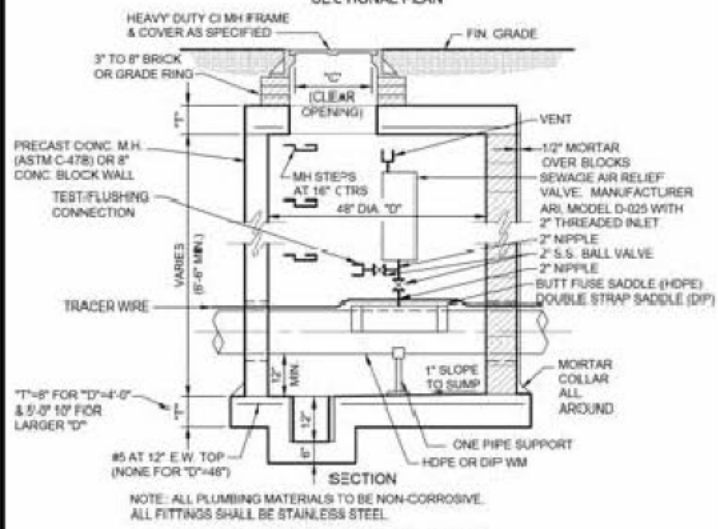
DROP CONNECTION



CASING PIPE



TRENCH EXCAVATION & PIPE BEDDING



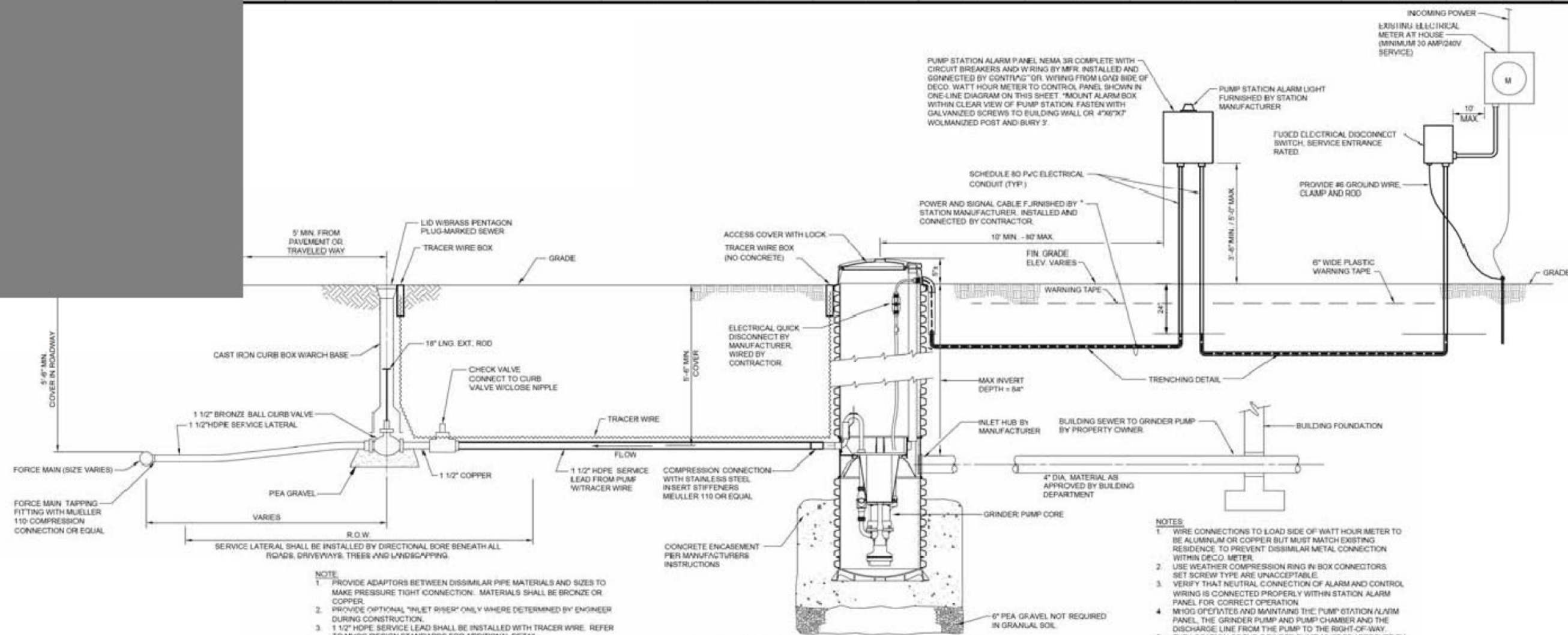
INTERIOR SEWER LATERAL DROP CONNECTION



MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

Scale: NONE
Issued Date: JANUARY - 2014
UPDATED MAY 2015
UPDATED APRIL 2016
UPDATED OCTOBER 2017

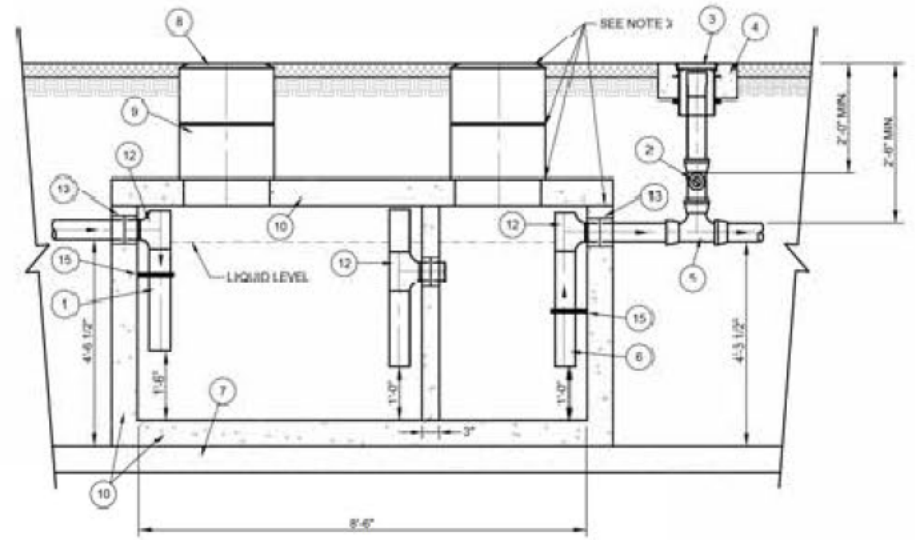
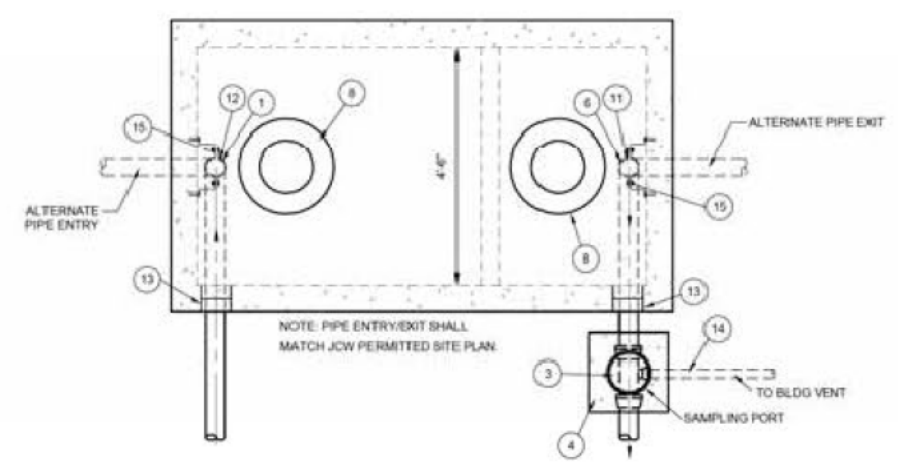
STANDARD DETAILS



SIMPLEX/DUPLEX GRINDER PUMPING STATION
NO SCALE

- NOTE**
1. PROVIDE ADAPTORS BETWEEN DISSIMILAR PIPE MATERIALS AND SIZES TO MAKE PRESSURE TIGHT CONNECTION. MATERIALS SHALL BE BRONZE OR COPPER.
 2. PROVIDE OPTIONAL "INLET RISER" ONLY WHERE DETERMINED BY ENGINEER DURING CONSTRUCTION.
 3. 1 1/2" HDPE SERVICE LEAD SHALL BE INSTALLED WITH TRACER WIRE. REFER TO MHOG DESIGN STANDARDS FOR ADDITIONAL DETAIL.

- NOTES**
1. WIRE CONNECTIONS TO LOAD SIDE OF WATT HOUR METER TO BE ALUMINUM OR COPPER BUT MUST MATCH EXISTING RESIDENCE TO PREVENT DISSIMILAR METAL CONNECTION WITHIN DECO. METER.
 2. USE WEATHER COMPRESSION RING IN BOX CONNECTORS. SET SCREW TYPE ARE UNACCEPTABLE.
 3. VERIFY THAT NEUTRAL CONNECTION OF ALARM AND CONTROL WIRING IS CONNECTED PROPERLY WITHIN STATION ALARM PANEL FOR CORRECT OPERATION.
 4. MHOG OPERATES AND MAINTAINS THE PUMP STATION ALARM PANEL, THE GRINDER PUMP AND PUMP CHAMBER AND THE DISCHARGE LINE FROM THE PUMP TO THE RIGHT-OF-WAY.
 5. THE LOCATION OF THE GRINDER PUMP MUST BE APPROVED BY MHOG PRIOR TO INSTALLATION. THE GRINDER PUMP MUST BE SERVICEABLE (ACCESSIBLE BY TRUCK) AND FREE FROM OBSTRUCTIONS.
 6. MHOG MUST BE ON-SITE FOR STARTUP OF ALL NEW GRINDER PUMPS.



GREASE INTERCEPTOR 1000 GALLON
NO SCALE

ITEM	DESCRIPTION
1	4" PVC INLET PIPE**
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT**
3	THREADED CO CAP JOSAM 58866 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" PVC OUTLET**
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" PVC 90° ELBOW*
12	4" PVC TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR PROJECT)
15	STAINLESS STEEL PIPE SUPPORT CLAMP****

* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
 ** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
 *** CLAY & BAILEY 2008 BY OR EQUAL (FROST PROOF COVERS OPTIONAL)
 **** FM STAINLESS FASTENERS #63 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

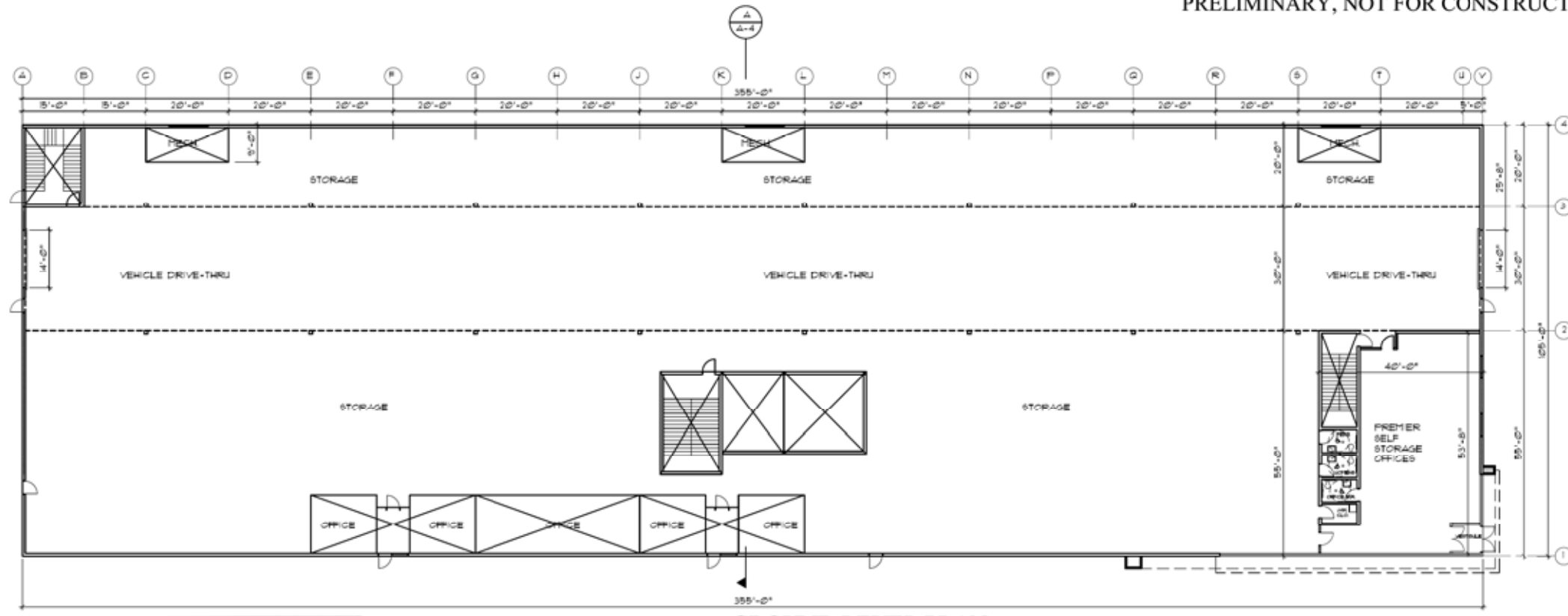
- NOTES**
1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
 2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS).
 3. ALL JOINTS AT THE FRAME & COVER, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
 4. PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE IPVC WITH SOLVENT-CEMENTED JOINTS.
 5. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE WATER TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED. WATER TESTING SHALL CONSIST OF THE FOLLOWING: 1. SEAL THE TANK. 2. FILL WITH WATER. 3. LET STAND FOR 24 HOURS. 4. REFILL TANK. 5. TANK IS APPROVED IF WATER LEVEL IS HELD FOR 1 HOUR.
 6. ONLY KITCHEN WASTE SHALL BE DIVERTED TO THE GREASE TRAP.



MARION HOWELL OCEOLA GENOA
Sewer and Water Utility

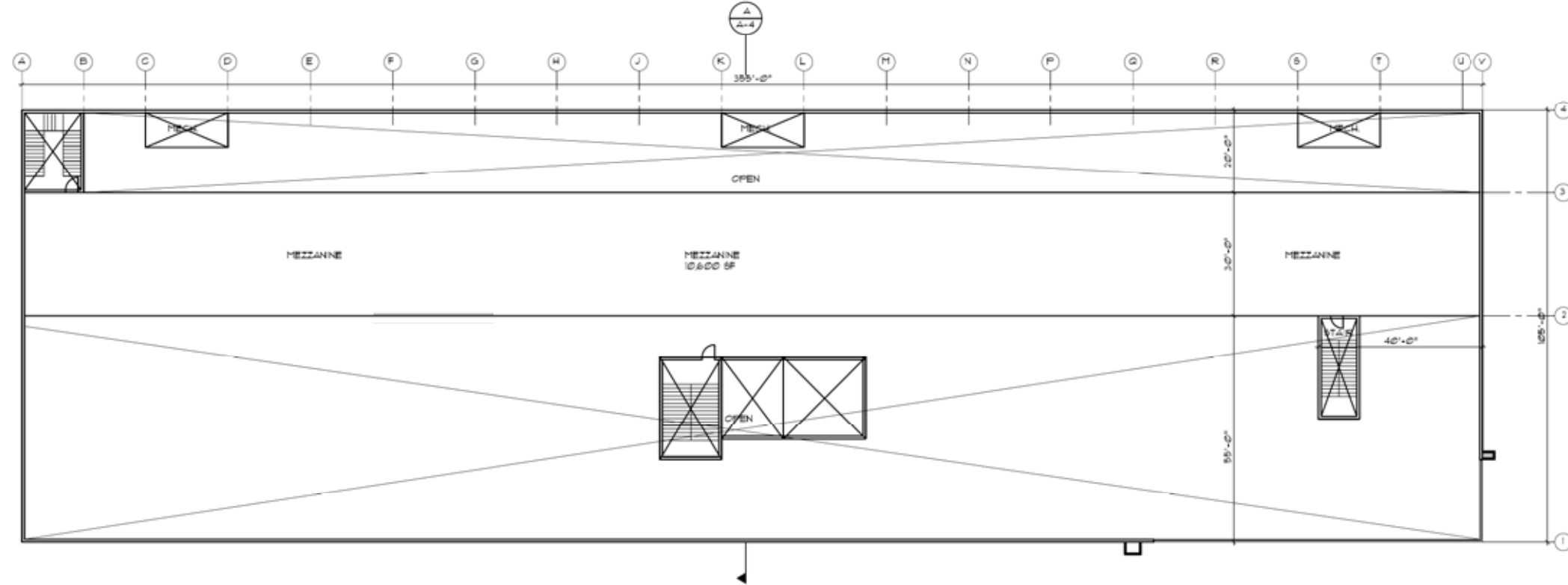
STANDARD DETAILS

ISSUED	DATE
Issued	JANUARY - 2014
Updated	APRIL - 2015
Updated	APRIL - 2016
Updated	JUNE - 2016
Updated	NOV - 2016



GROUND LEVEL, USE GROUP S-1 4 B
37,275 SF GROSS
NET RENTABLE AREA = 19,120 SF

GROUND LEVEL PLAN
SCALE: 1/8"=1'-0"



UPPER LEVEL, USE GROUP S-1
37,275 SF GROSS (10,600 SF PERMANENT MEZZANINE)
NET RENTABLE AREA = 27,225 SF

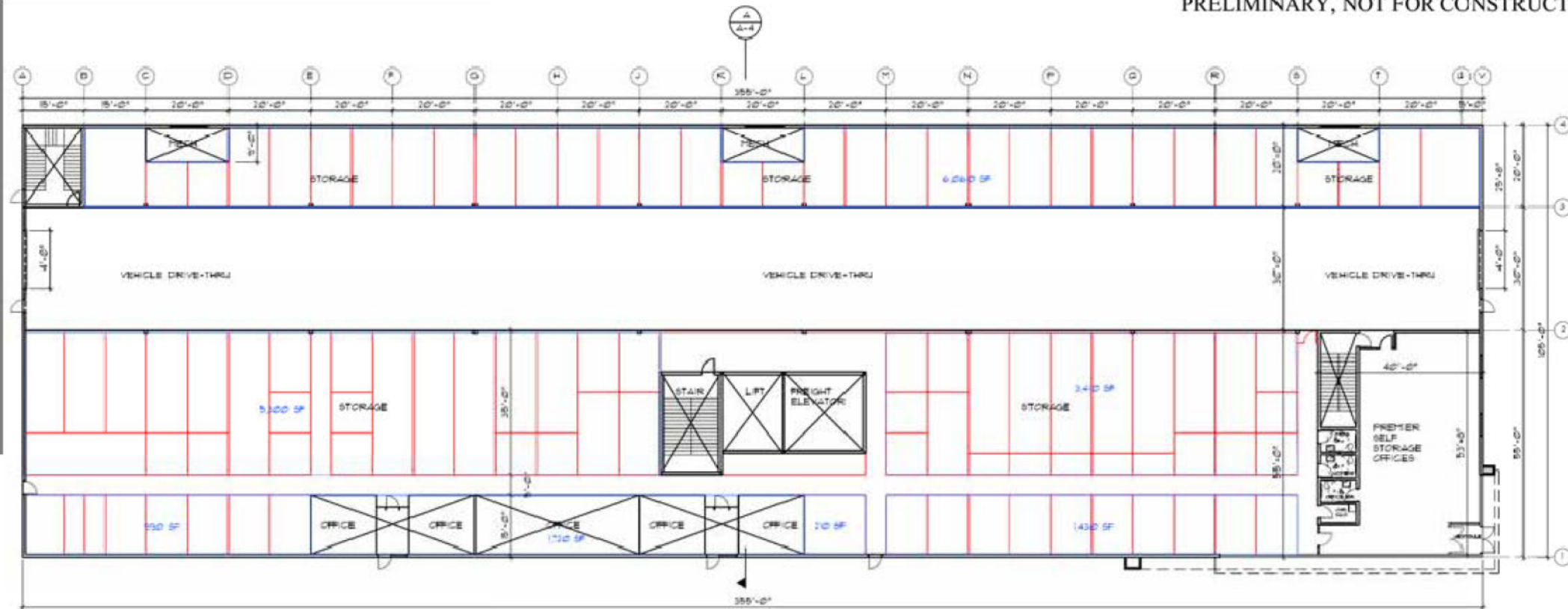
UPPER LEVEL PLAN
SCALE: 1/8"=1'-0"



BMH-PREMIER P.U.D.
HOWELL, MI

BUILDING ENVELOPE
FLOOR PLAN

Scale
1/8"=1'-0"
Date
7/24/20
Sht. No.
A-1

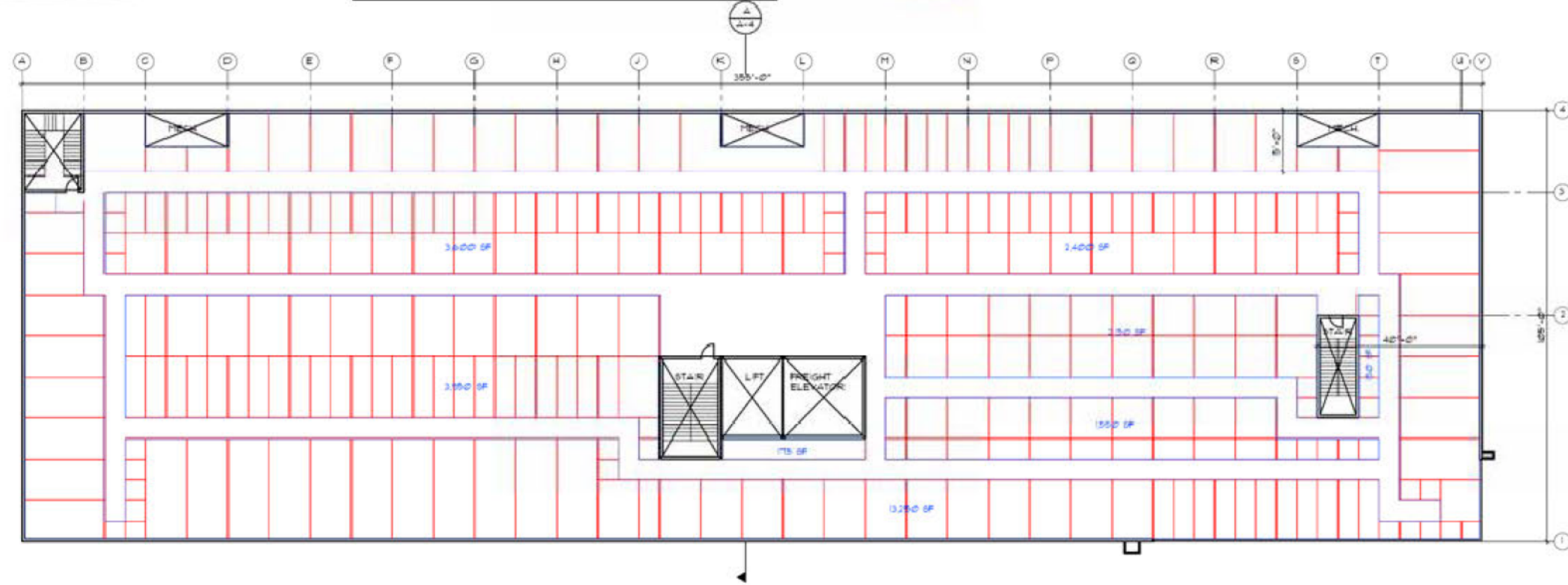


GROUND LEVEL, USE GROUP S-1 4 B
37,275 SF GROSS
NET RENTABLE AREA = 19,120 SF

SYMBOL KEY
STORAGE SYSTEM CONSISTS OF PARTITIONS, 2ND FLOOR DECK, AND STORAGE UNIT DOORS. THESE COMPONENTS ARE SEPARATELY ENGINEERED AND NOTED IFC WITHIN THE PERMANENT ATTACHED SHEET.
PROPOSED NEW CONSTRUCTION, PERMANENT BUILDING ELEMENT

SELF STORAGE SYSTEM - GROUND LEVEL PLAN
SCALE: 1/16"=1'-0"

TL RENTABLE AREA
STORAGE 17,400 SF
OFFICE 1,710 SF



UPPER LEVEL, USE GROUP S-1
37,275 SF GROSS (10,600 SF PERMANENT MEZZANINE)
NET RENTABLE AREA = 27,225 SF

SELF STORAGE SYSTEM - UPPER LEVEL
SCALE: 1/16"=1'-0"

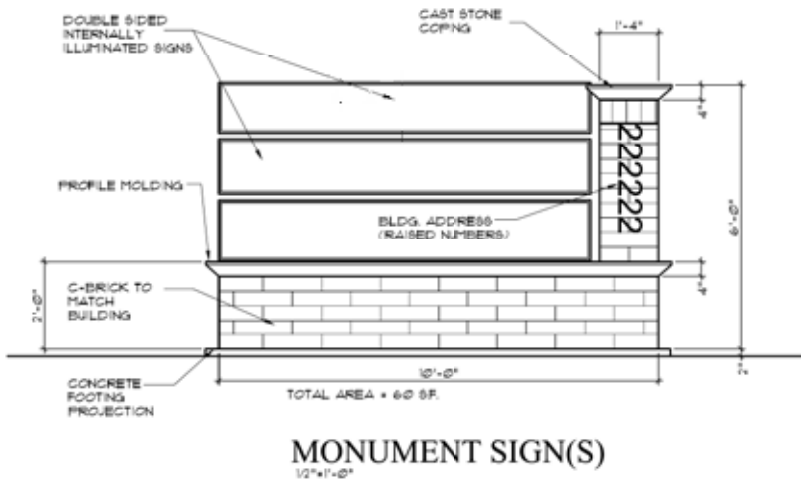
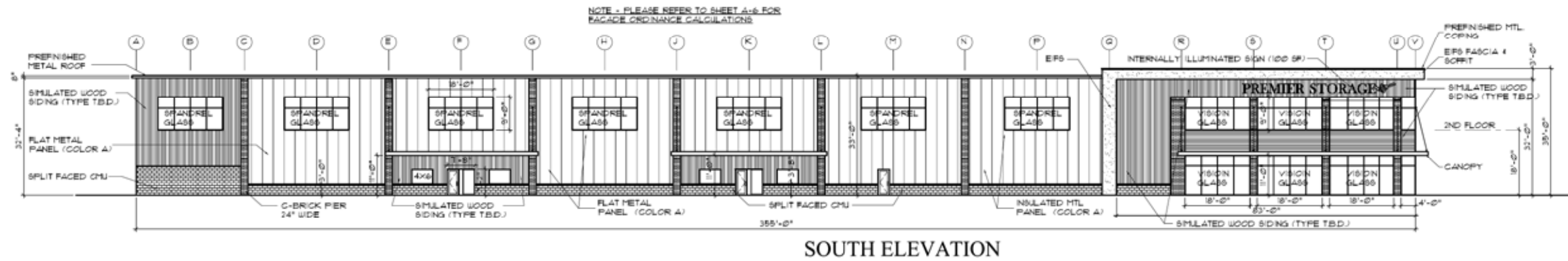
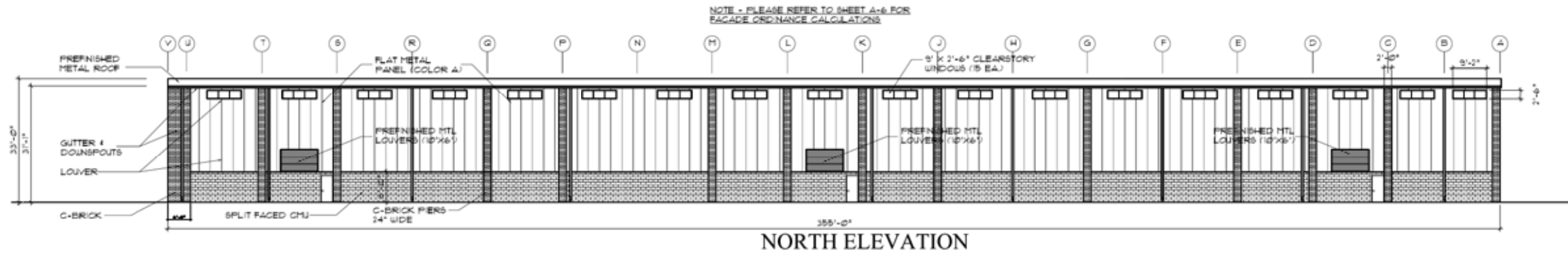
TOTAL RENTABLE AREA
STORAGE 27,225 SF



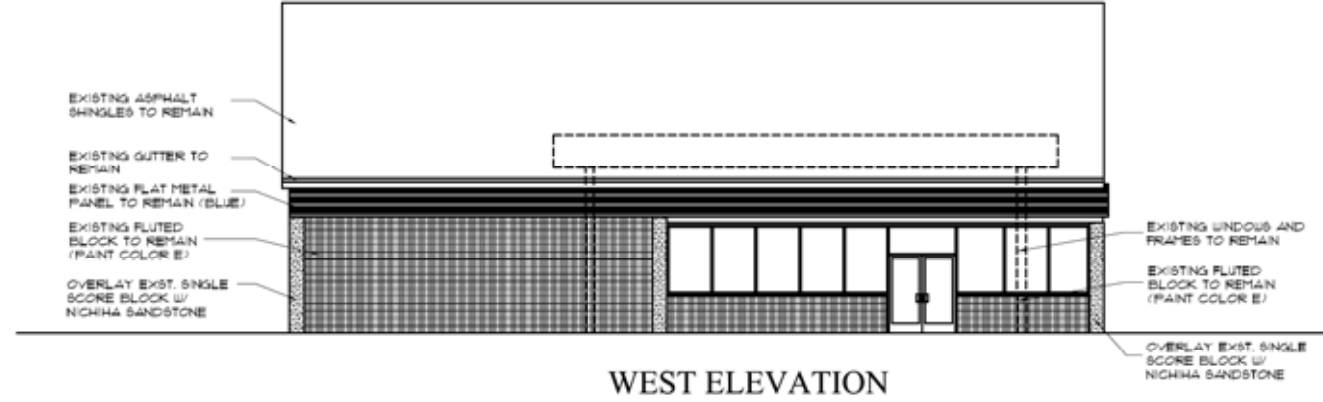
BMH-PREMIER P.U.D.
HOWELL, MI

STORAGE SYSTEM
FLOOR PLAN

Scale
1/16"=1'-0"
Date
7/24/20
Sht. No.
A-1.1
129

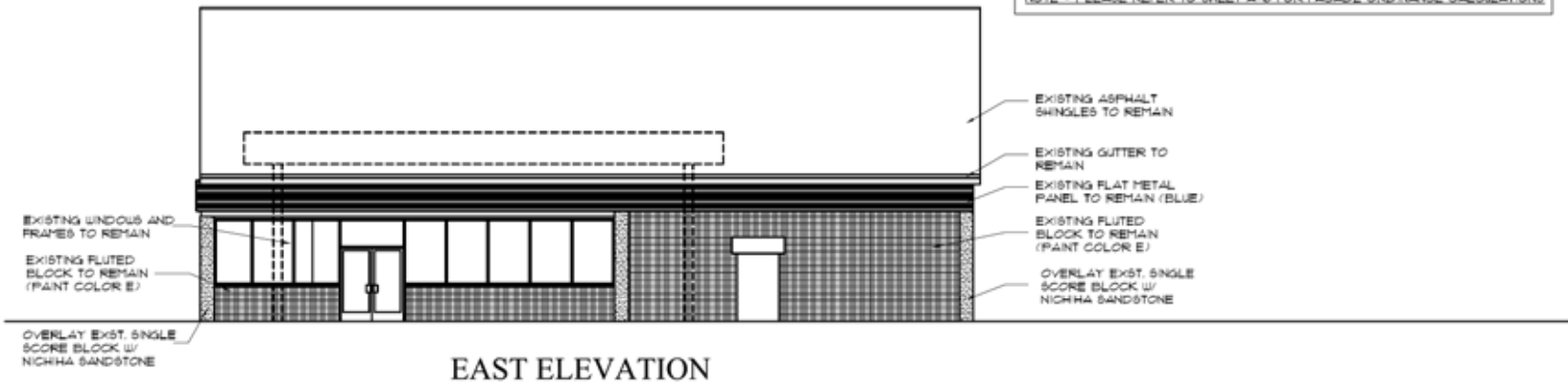


NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



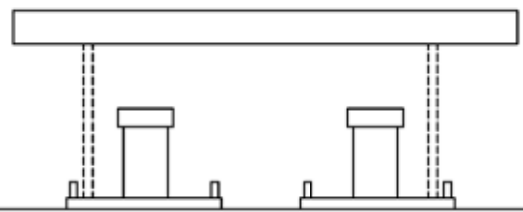
WEST ELEVATION

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



EAST ELEVATION

FACADE AREAS, CANOPY, EAST ELEVATION UNALTERED
FACADE AREAS, CANOPY, WEST ELEVATION UNALTERED



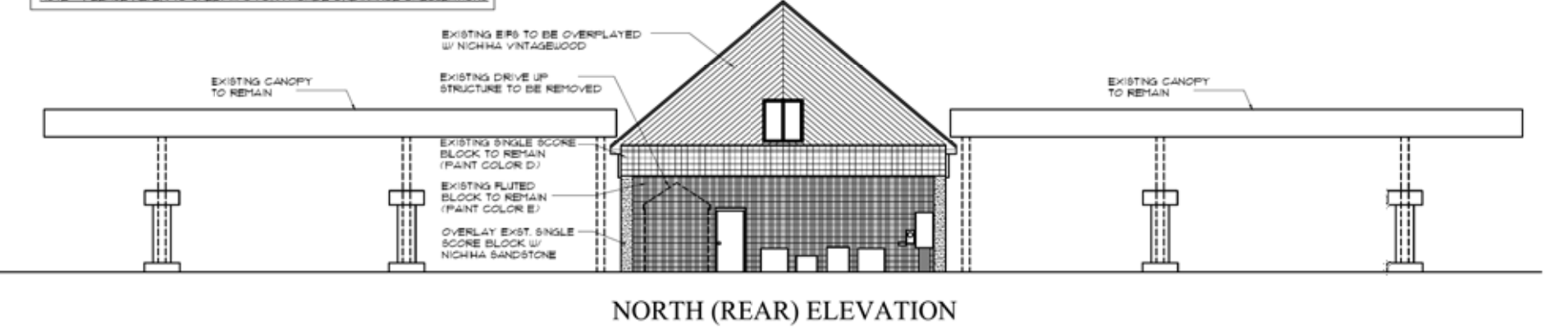
CANOPY EASE & WEST ELEVATION

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



SOUTH (FRONT) ELEVATION

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



NORTH (REAR) ELEVATION

SELF STORAGE BUILDING

SELF STORAGE & FLEX OFFICE BUILDING						
2/19/2020						
SOUTH						
Material	A		B		C	
	Area (SF)	% as designed	Maximum Allowed	Minimum Required	Compliance	Comments
C-Brick (Note 2)	652	7%		75%	-68.2% Deviation	See attached letter
Simulated Wood	2,158	23%	25%		-2.4% Complies	
Flat Metal Panels	5,532	58%	25%		33.0% Deviation	See attached letter
Split faced CMU	820	9%	25%		-36.4% Complies	
EIFS	374	4%	25%		-91.1% Complies	
TL	9,536	100%				
Windows & Spandrel Glass (Note 1)	2,325	20.9%		25%	-4.1% Deviation	See attached letter
TL	12,063					
NORTH						
Material	A		B		C	
	Area (SF)	% as designed	Maximum Allowed	Minimum Required	Compliance	Comments
C-Brick (Note 2)	982	9.7%		75%	-65.3% Deviation	See attached letter
Flat Metal Panels	6,658	66.1%	25%		41.1% Deviation	See attached letter
Split faced CMU	2,430	24.1%	25%		-0.9% Complies	
TL	10,069	100.0%				
Windows, Spandrel & Louvers (Note 1)	774	7.1%		25%	-37.9% Deviation	See attached letter
TL	10,843					
EAST						
Material	A		B		C	
	Area (SF)	% as designed	Maximum Allowed	Minimum Required	Compliance	Comments
C-Brick (Note 2)	326	14.1%		75%	-60.9% Deviation	See attached letter
Simulated Wood	220	9.5%	25%		-33.5% Complies	
Flat Metal Panels	1,270	55.0%	25%		30.0% Deviation	See attached letter
Split faced CMU	421	18.2%	25%		-4.8% Complies	
EIFS	70	18.2%	25%		-4.8% Complies	
TL	2,307					
Windows & Spandrel (Note 1)	938	27.1%		25%	2.1% Complies	
Doors	110					
TL	3,465					
WEST						
Material	A		B		C	
	Area (SF)	% as designed	Maximum Allowed	Minimum Required	Compliance	Comments
C-Brick (Note 2)	183	8%		75%	-67.2% Deviation	See attached letter
Simulated Wood	535	23%	25%		-2.8% Complies	
Flat Metal Panels	1,047	44%	25%		19.4% Deviation	See attached letter
Split faced CMU	592	23%	25%		0.1% Complies	
TL	2,357					
Windows & Spandrel (Note 1)	648	19.8%		25%	-5.2% Deviation	See attached letter
Doors	268					
TL	3,273					

Notes:
 1. 25% Minimum Glass or Spandrel Glass required on indoor commercial storage building elevations visible from a public or private road or parking lot.
 2. 75% Minimum brick or stone required on wall exposed to public view from a street or residential area.

BMH-PREMIER P.U.D.
 HOWELL, MI

FACADE ORDINANCE
 CALCULATIONS


Scale
1/8" = 1'-0"

Date
11/11/20

Sh. No.
A-6
132

MEMORANDUM

TO: Township Board

FROM: Michael Archinal 

DATE: 12/3/2020

RE: Request to Change Authorization (RCA)
2019/2020 Grand River Sidewalk

For your consideration this evening is a request for additional compensation for engineering, staking and materials testing for the Hughes to Chemung County Park sidewalk project. The original estimate was based on 5 weeks of effort. The contractor submitted a schedule for 13 weeks. Because this project was partially funded by an MDOT Grant, the requirements for testing and on-site inspection were significantly greater than our usual SOP. Weather, Covid, interaction with residents, restoration and access maintenance all contributed to this higher cost. These costs are more than off-set by the \$204,000 grant we received. Gary Markstrom; P.E. with TetraTech will be attending our ZOOM meeting to answer any questions you may have.

Please consider the following action:

Moved by _____, supported by _____, to approve a Request to Change Authorization for the 20019/2020 Grand River Sidewalk Project as presented by TetraTech.



REQUEST TO CHANGE AUTHORIZATION (RCA)

PROJECT NAME: Genoa 2019 Grand River Sidewalk Construction Phase Engineering DATE: 10/15/2020

PROJECT NUMBER: 200-12736-19008 RCA NO.: 1

PROJECT MANAGER: Gary Markstrom

PERSON INITIATING REQUEST: Andy Heise

DESCRIPTION OF ADDITIONAL WORK ITEM

Additional construction phased services due to contractor's anticipated schedule and differences in costs of testing and layout.

REASON(S) FOR ADDITIONAL WORK

Construction phase budget based on the following assumptions and proposed budgets (pre -bid September 2019):

Inspection Services required for 5 weeks @ 50 hours per week	\$23,000
Materials testing allowance of \$8,000 allocated	\$8,000
Construction Staking allowance of \$6,500	<u>\$6,500</u>
Total Proposal Amount	\$54,500

Contractor submitted their schedule after the bid straining 13 weeks of construction which is significantly different than the original assumptions

Construction Inspection Services 13 week @40 hours per week	\$43,000
Material Testing for construction period (PSI Intertech Sub Consultant)	\$23,860
Construction Staking Sub Consultant (Boss Engineering)	<u>\$14,000</u>
Total Construction Phase Services	\$101,160

REFERENCE

September 13, 2019 Tetra Tech Proposal letter for Final Design and Construction Phase Services

ENGINEERING FEE

This RCA **Difference between proposal amount and contractor schedule**

\$101,160 - \$54,500 = \$46,660

AUTHORIZING TT UNIT OFFICER

DATE 10/15/2020

CUSTOMER CONCURRENCE:

DATE:

memorandum

DATE: May 21, 2020

TO: Genoa Township Board

FROM: Jill Bahm, Partner, Giffels Webster
Sri Komaragiri, Senior Planner, Giffels Webster
Matt Wojciechowski, Associate Planner, Giffels Webster

SUBJECT: Working Draft Recreation Plan

As the Township Board is aware, we have been working on the Township Master Plan and Recreation Plan for the past few months. With health-related restrictions due to the Covid-19 pandemic, we have had limited ability to gather and discuss these projects so far. With the Master Plan, there is no deadline, but for the recreation plan to be approved by the DNR, it needs to be submitted by February 1, 2021. This will allow the Township the opportunity to apply for a grant, if desired, by April 1.

Attached please find the working draft of the Recreation Plan for discussion. The Recreation Plan updates information from the last plan, adopted in 2002. The document follows the guidelines from the Michigan Department of Natural Resources and includes maps intended to illustrate recreation opportunities locally and in the region.

Next steps:

- **Township Board discusses draft plan and sets public hearing for January**
- **The plan is refined and made available on the Township's website for a 30-day review period**
- **The Township Board holds the public hearing and adopts the plan**
- **The Plan is submitted to the DNR by February 1, 2021**

We look forward to our upcoming discussion with the Township Board on December 7, 2020.



Genoa Township
Recreation Plan: 2021-2025
DRAFT FOR REVIEW

PREPARED FOR:

Genoa Township

November 2020



Acknowledgments

Township Board

Bill Rogers, Supervisor

Polly Skolarus, Clerk

Robin Hunt, Treasurer

Jean Ledford

Jim Mortensen

Terry Croft

Diana Lowe

Township Staff

Michael Archinal, Township Manager

Kelly VanMarter, AICP - Assistant Township Manager/Community Development Director

Amy Ruthig, Zoning Official

Planning Consultants

Giffels Webster

www.giffelswebster.com

Table of Contents

Introduction	6
Community Profile	8
Administrative Structure.....	18
Recreation Inventory	23
Recreation Needs Analysis	30
Planning Process.....	38
Analysis	39
Goals & Objectives	42
Action Plan	45
Appendix	46

Table of Charts, Maps and Tables

Chart 2-1: Population Projection.....	9
Chart 2-2: Population Forecast By Age.....	9
Chart 2-3: Regional Population Snapshot.....	10
Chart 2-4: Population By Age And Sex.....	11
Chart 2-5: Regional Population By Race.....	11
Chart 2-6: Educational Attainment	12
Chart 2-7: Household Composition	12
Chart 2-8: Regional Educational Attainment.....	12
Map 2-1: Location Map	8
Map 2-2: Soils	14
Map 2-3: Watershed Basins	16
Map 2-3: Wetlands.....	15
Map 4-1: Local Parks and Schools.....	26
Map 4-2: Regional Parks	27
Map 5-1: Park Service Areas	35
Table 2-1: Population Snapshot.....	9
Table 2-2: Regional Population	10
Table 2-3: Regional Household Composition	12
Table 3-1: Genoa Township Recreation Appropriations	19
Table 3-1: Genoa Township Recreation Revenues	19
Table 5-1: National Comparison of Parks Facilities to Population	32
Table 5-2: Michigan DNR Recreation and Open Space Types	33
Table 5-3: Genoa Township Facilities per Population.....	34



1. Introduction

Introduction

Genoa Township is a growing community in the southeast portion of Livingston County. The township offers residents high quality neighborhoods, convenient commercial and business services, excellent school systems and significant natural features all with easy access to regional and national metropolitan hubs of Detroit, Ann Arbor and Lansing.

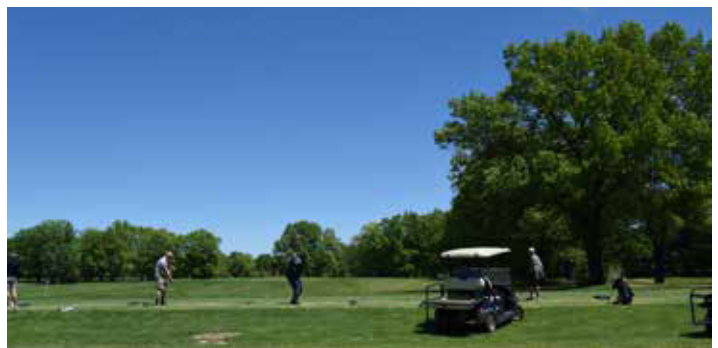
Recreation, parks and open spaces are key ingredients that keep the community attractive as well as support a high quality of life for its residents. The Township needs to play an important role to ensure the delivery of recreation, parks and other leisure activities meets the needs of the community. This document is intended to serve as a guide to the Township in the planning of future recreation opportunities and services.

A recreation plan helps the Township plan for the needs of current and future residents. Since Genoa Township has limited existing recreational resources, it is important to not only spend these resources wisely, but seek alternative funding sources, including grants and public/private partnerships.

The focus of the plan is to identify the multi-faceted desires of residents and attempt to satisfy the recreation needs of the entire community through its recommendations and action plan. Areas of focus and action in this plan include:

- Geographic balance of recreation facilities
- Diversity of facilities
- Provision of new facilities
- Establishment of a continuous greenway system
- Accessibility and visibility of facilities
- Cooperation with the area's recreational providers and school districts

In addition, the plan describes the various contributors to recreation, inventories current programs and facilities, identifies deficiencies and opportunities and recommends a five-year action plan for future implementation. The determination of which will aid the Township in grant solicitation from the Michigan Department of Natural Resources and long-range capital improvement budgeting. Additionally, during the next five years, it is important for the township to reference the plan and make adjustments in priorities as conditions change.



2. Community Profile

Community Profile

The following chapter provides an overview of the community’s physical characteristics, including its history, location, climate, land use and natural features, as well as a profile of its population and housing. An understanding of the township’s existing conditions is important in establishing realistic park and recreation goals and objectives.

Location

Genoa Township is conveniently located between the cities of Brighton and Howell in the southeastern quadrant of Livingston County. The township is centrally located between the four major metropolitan areas of Detroit, Lansing, Flint and Ann Arbor in Southeast Michigan.

Transportation

While Genoa Township is easily accessed via I-96, the township’s local transportation network is segmented by this east-west interstate, which separates the northern third of the township from the southern two-thirds. Chilson, Dorr and Latson Roads are the only two roads that cross the six mile length of I-96 through the township.

The transportation system effects the delivery of and accessibility to recreational facilities and services. The current transportation system in Genoa is almost exclusively oriented toward the automobile. The system of roads and freeways in and near the township provides reasonably good access by automobile to recreation in the township as well as regional facilities in other communities. Yet access to recreation facilities can be difficult for certain segments of the population, primarily children and the elderly, who do not have access to an automobile. Regionally, public transit options are limited and primarily serve to connect communities within the region, rather than serve the township specifically. However, the township has been focused on developing a connected and cohesive non-motorized pathway system that can be used for transportation.

MAP 2-1: LOCATION MAP



Proper planning for the future must consider the composition of the population and consider its likely future composition. Understanding where the township has been and where it is likely to go is essential to projecting future needs.

Population

In 2018, the township has a total population of 20,186. The table below provides a summary of general population characteristics for the township.

TABLE 2-1: POPULATION SNAPSHOT

GENOA TOWNSHIP POPULATION SNAPSHOT	
Total Population	20,186
Median Age	45.6
Male	9,822 (49%)
Female	10,364 (51%)

Population Growth Rate

According to SEMCOG forecasts, the total population of the township is naturally expected to increase by 61 percent by the year 2045 to 32,907 people. However, as shown in the graph below, the rate of population growth is projected to steadily decline from 2020. This decline usually happens with a higher death rate, lower birth rates, or higher migration rates.

Population Forecast

The chart and the table provide information about the percent distribution of age groups in 2015 and projected data for the years 2030 and 2045. The percent distribution of different age groups in Genoa is fairly consistent between 2030 and 2045, even though the numbers indicate an alarming rise in the older adult population by 2045 (a 400% increase), The township’s largest population cohort are adults aged 35-59—people who are typically in the workforce and in their family-forming years (see Chart below). The percent share of older adults to the total population is projected for a 6 percent increase from 2015 to 2045. The township should consider policies to accommodate the needs of aging adults within the community.

CHART 2-1: POPULATION PROJECTION

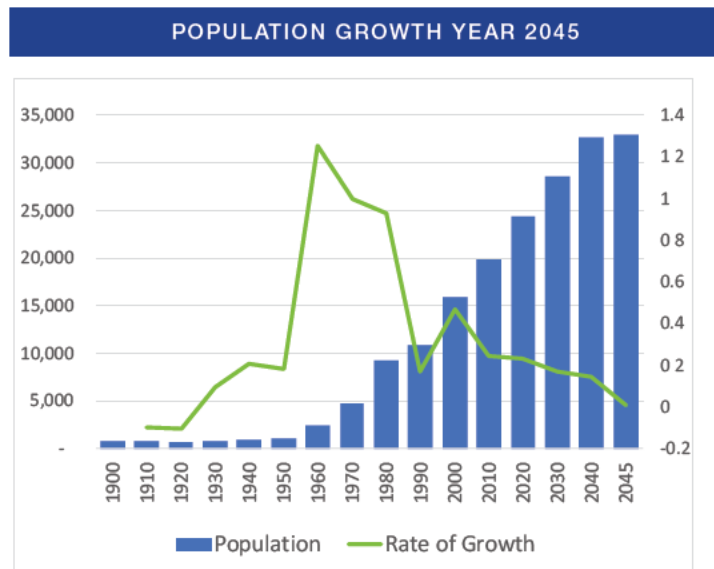
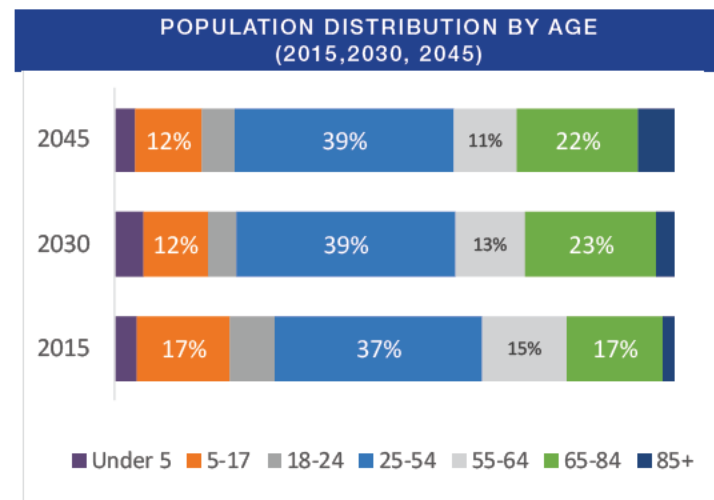


CHART 2-2: POPULATION FORECAST BY AGE



Surrounding Communities

The demographic composition of the Genoa Township incorporates data about race, age, housing, population trends, income, education, and employment. This section compares the township’s demographic characteristics to neighboring communities that share a border with Genoa.

Persons per Acre

City of Howell and Brighton have higher population density (persons/acre) in the County which is expected for an urban community. Genoa maintains a similar density compared to surrounding townships. See the graph below for more details.

Population Growth

Many communities surrounding Genoa have been experiencing an increase in population since 2000. Oceola Township and the City of Howell have experienced the highest population growth between 2000 and 2018 followed by Genoa Township. However, Genoa township has the largest population in the County after Hamburg Township.

TABLE 2-2: REGIONAL POPULATION

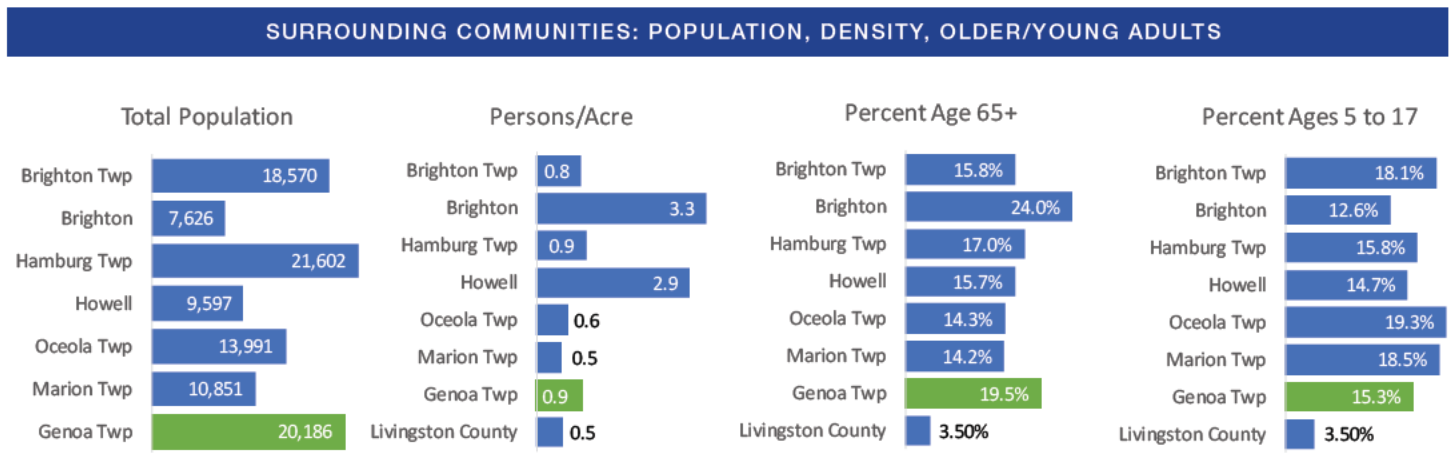
SURROUNDING COMMUNITIES: POPULATION GROWTH (2000-2018)				
	Population 2018	Population 2010	Population 2000	Percent Population change (2000-2018)
Livingston County	188,482	180,957	156,951	20%
Genoa Township	20,186	19,821	15,866	27%
Oceola Township	13,991	11,936	8,362	67%
Brighton Township	18,570	17,791	17,673	5%
Brighton City	7,626	7,444	6,730	13%
Hamburg Township	21,602	21,165	21,165	2%
Marion Township	10,851	9,996	9,996	9%
Howell City	9,597	6,702	6,702	43%

Source: SEMCOG Community Explorer

Older and young adult population

Compared to surrounding communities, Genoa township has a higher percentage of the aging population over 65 years and a comparable percentage of the population of people between ages 5 to 16. This distribution essentially focuses on dependent people who are unlikely the primary breadwinners. This indicates that there is a larger share of people dependent on the working-age group on the township.

CHART 2-3: REGIONAL POPULATION SNAPSHOT

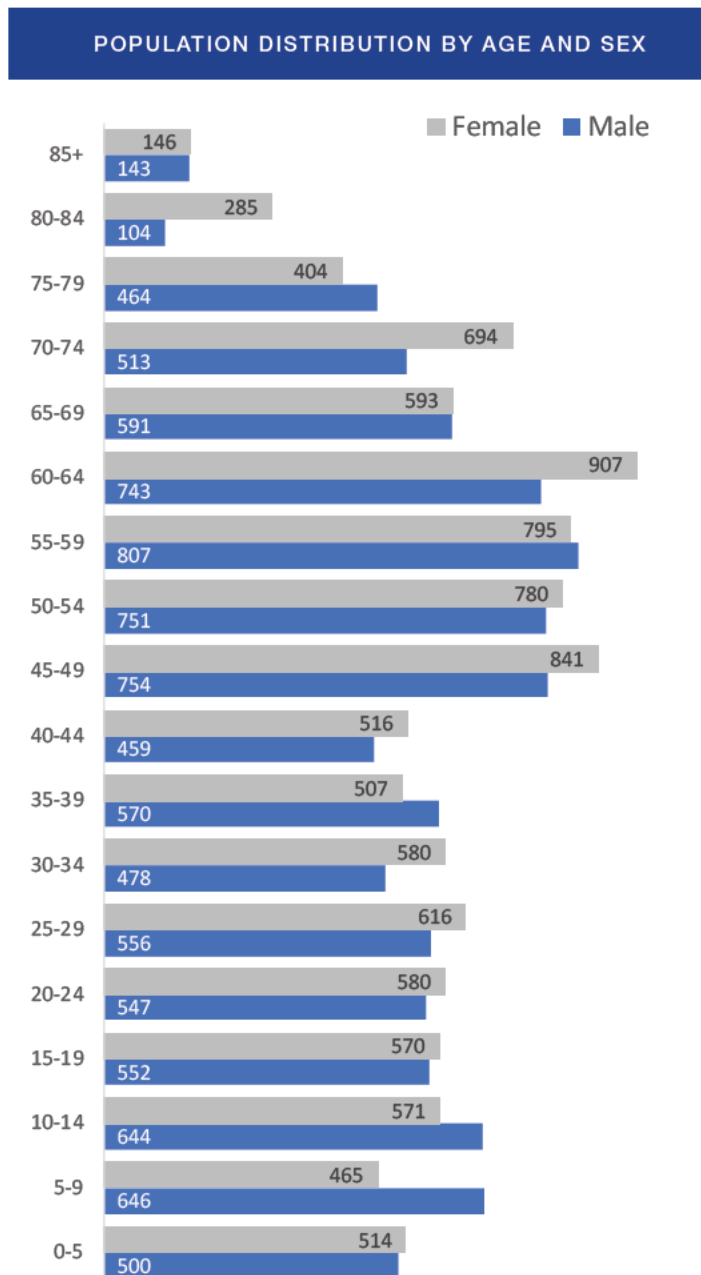


Source: SEMCOG Community Explorer

Population Cohort Analysis

It is essential to understand the population’s composition by age and sex to have a proper insight into demographic conditions and socio-economic trends. Genoa has an almost equal distribution of male and female population on average. However, the ratio varies with age (see chart to the left). As they age, the ratio of females to males is increasing.

CHART 2-4: POPULATION BY AGE AND SEX



Source: ACS 2018

Race

The racial composition in Genoa is predominantly white at 94.7%, Genoa’s racial distribution is consistent with most of the surrounding communities except for the more diverse city of Howell.

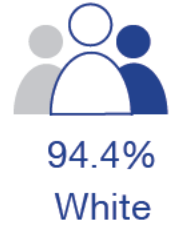
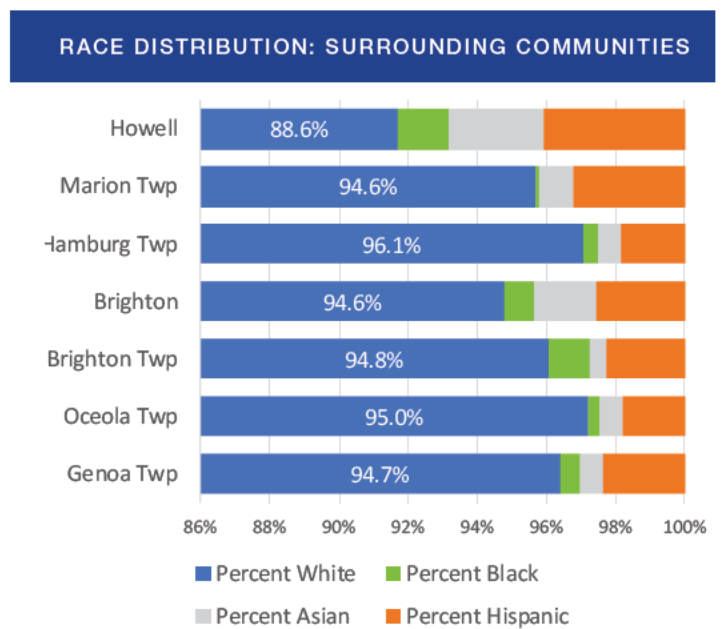


CHART 2-5: REGIONAL POPULATION BY RACE

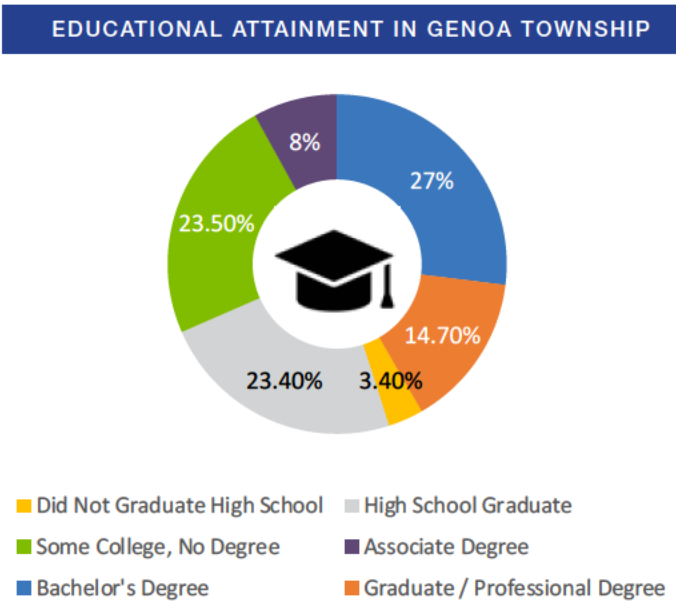


Source: SEMCOG Community Explorer

Educational Attainment

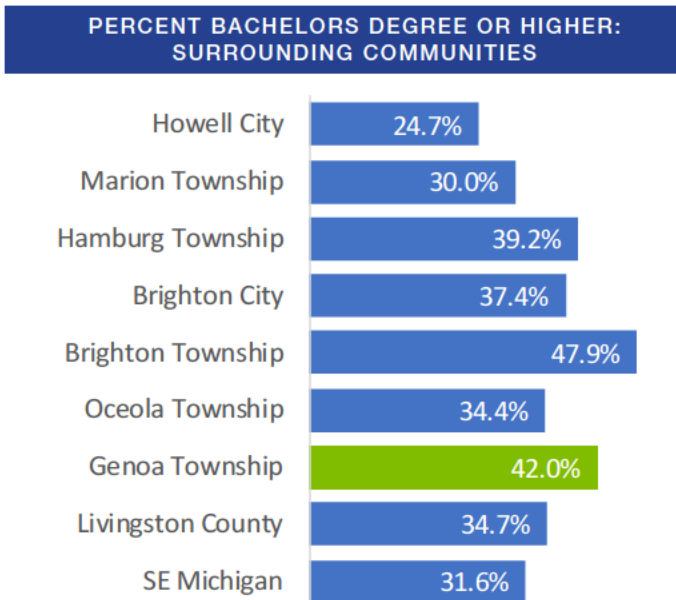
The highest levels of educational attainment result in a higher skill set and ultimately contribute to the local job growth. In general, about 73% of residents older than 25 years have some kind of associate of a higher degree past high school. Genoa has a higher percentage of bachelor degrees or higher graduates among the surrounding communities after Brighton Township.

CHART 2-6: EDUCATIONAL ATTAINMENT



Source: SEMCOG Community Profiles

CHART 2-8: REGIONAL EDUCATIONAL ATTAINMENT

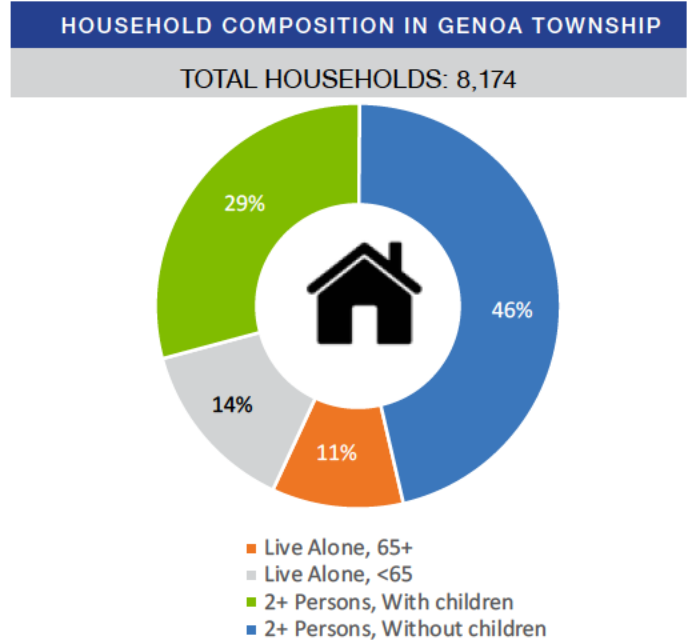


Source: SEMCOG Community Explorer

Households

In 2018, there are a total of 8,174 households in Genoa. A majority of the households are younger couples with no children (46%). A quarter of the households are families with children. The remaining quarter is split between younger and older adults who live alone. The average household size is consistent with surrounding suburban communities, between two and three persons per household.

CHART 2-7: HOUSEHOLD COMPOSITION



Source: SEMCOG Community Profiles

TABLE 2-3: REGIONAL HOUSEHOLD COMPOSITION

HOUSEHOLD COMPOSITION: SURROUNDING COMMUNITIES

Community	Average Household Size	Percent Households with Seniors	Percent Households with Children	Percent HH with Internet Access
Livingston	2.63	28.9%	31.0%	85.7%
Genoa Twp	2.47	33.1%	29.3%	90.8%
Oceola Twp	2.87	26.5%	37.8%	95.6%
Brighton	2.79	27.9%	34.6%	94.8%
Brighton City	2.03	37.0%	19.3%	87.2%
Hamburg	2.58	30.9%	30.3%	93.7%
Marion Twp	2.89	27.9%	31.8%	90.8%
Howell City	2.12	24.9%	27.6%	81.1%

Source: SEMCOG Community Explorer

Climate

Weather influences the types of recreation that an area can support. Southeast Michigan experiences a continental climate that is typical of the upper Midwest Lake states region of the United States. Genoa's climate consists of extreme seasonal changes - which means the area can support a variety of recreation activities ranging from outdoor swimming in the summer to sledding in the winter. Generally, January is the coldest month of the year with an average temperature of 23.5 degrees Fahrenheit and July is generally the warmest with an average temperature of 71.1 degrees Fahrenheit. Snow generally falls in 7 of the 12 months.

Soils

Soil features affect the cost of development and are a basis for determining the presence of a regulated wetland. The Livingston County Soil Survey, which classifies soil associations and describes the suitability of soils for various types of development, based upon limitations for highway location, building foundations and septic tank disposal fields. The survey indicates that the township predominately consists of Miami-Conover and Fox-Boyer-Oshtemo soils. These soils are primarily well and moderately suited soils that do not appear to present significant limitations to development for future park and recreation facilities.

Topography

The rolling topography and in some case, steep slopes throughout the township offer a visually appealing scenery and contributes to the rural character of the community. The greatest concentration of slope changes is found in the southern and eastern portions of the township.

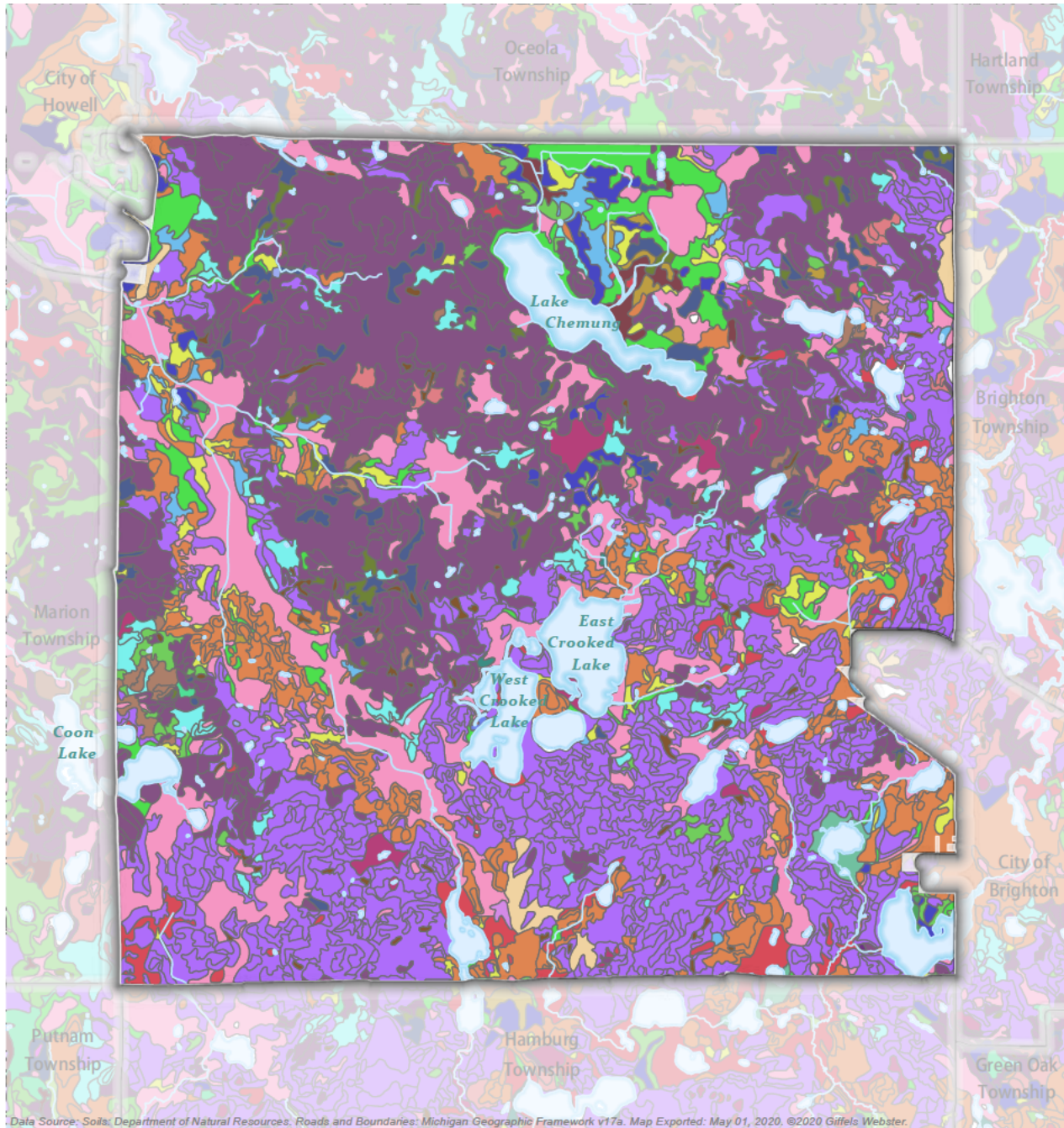
Natural Features

While the Township has been experiencing rapid development, there are still significant areas of natural features. Water resources are among Genoa's most valuable natural resources of the community. The largest and most significant lakes in the township are Lake Chemung, East Crooked Lake and West Crooked Lake. The numerous lakes provide recreational opportunities, such as boating, fishing and swimming.

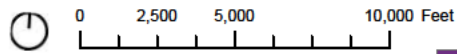
In addition to surface water resources, Genoa features many wetland areas. These areas are concentrated along the Chilson Creek corridor in the western portion of the township, as well as scattered amidst the township. These wetland areas serve to filter stormwater runoff, help control flooding and erosion, and are home to many different types of wildlife. Protection of these areas, particularly those regulated by the state, is important in preserving the natural environment of the township. If these wetlands are to be used for recreation purposes, limited impact use such as nature trails would be most suitable.

The most significant woodland areas are found in the southwestern corner of the township. This area is the most isolated portion of the township. The rolling topography and large forested wetlands limit development in this area and contribute to the natural character. If these woodlands are to be used for recreation purposes, passive recreational activities and nature trails are recommended.

MAP 2-2: SOILS



Data Source: Soils: Department of Natural Resources. Roads and Boundaries: Michigan Geographic Framework v17a. Map Exported: May 01, 2020. ©2020 Giffels, Webster.



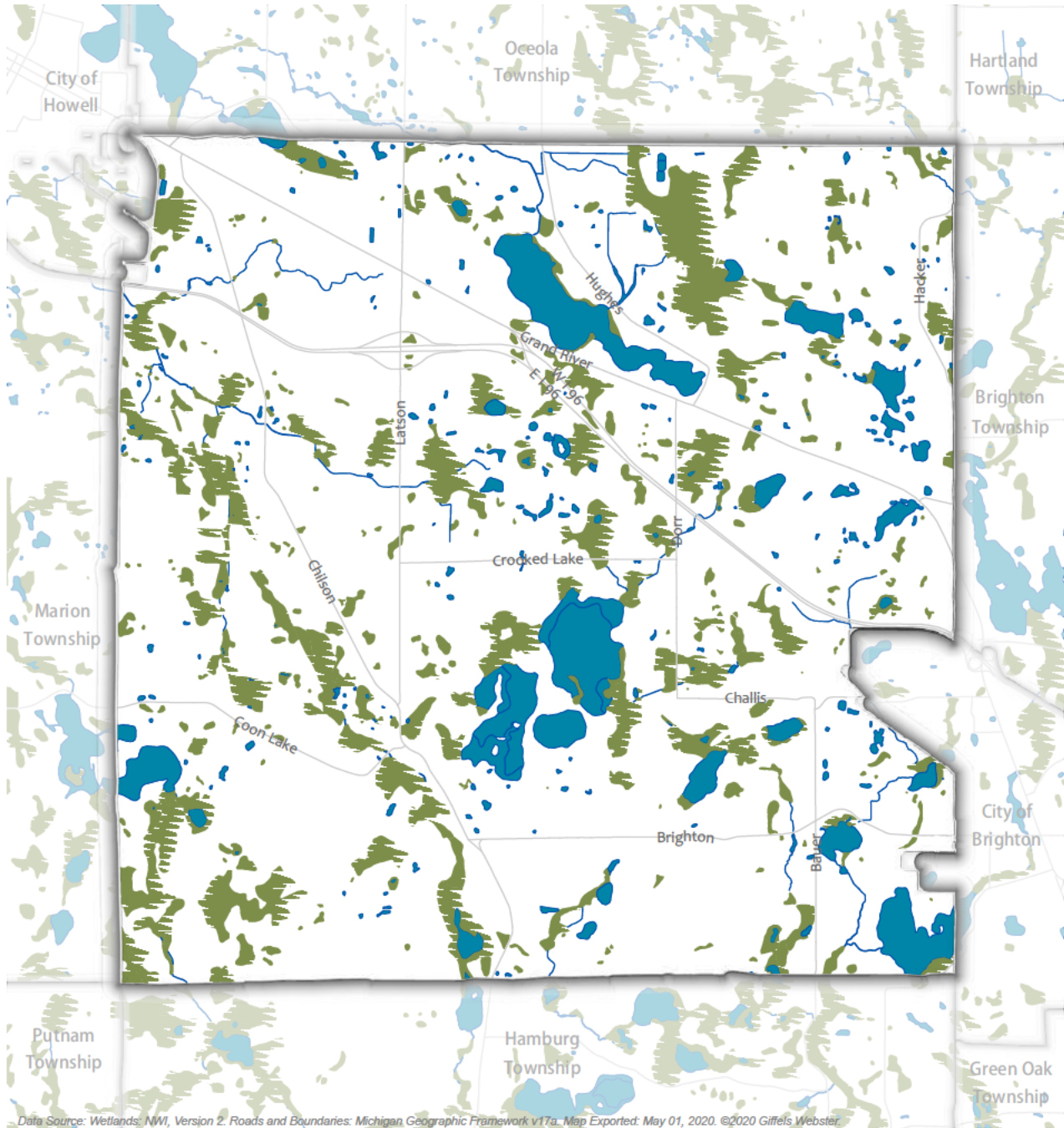
Alluvial	Carlisle	Gravel Pit	Made Land	Ottokee	Tawas
Arkport	Colwood	Hillsdale	Metamora	Owosso	Warners
Boyer	Conover	Houghton	Metea	Pewamo	Wasepi
Brady	Edwards	Lake Beach	Miami	Rifle	Washtenaw
Bronson	Fox	Lamson	Minoa	Sebewa	
Brookston	Gilford	Linwood	Oakville	Spinks	



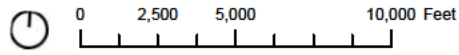
Soils

GENOA TOWNSHIP

MAP 2-3: WETLANDS



Data Source: Wetlands: NWI, Version 2. Roads and Boundaries: Michigan Geographic Framework v17a. Map Exported: May 01, 2020. ©2020 Giffels Webster

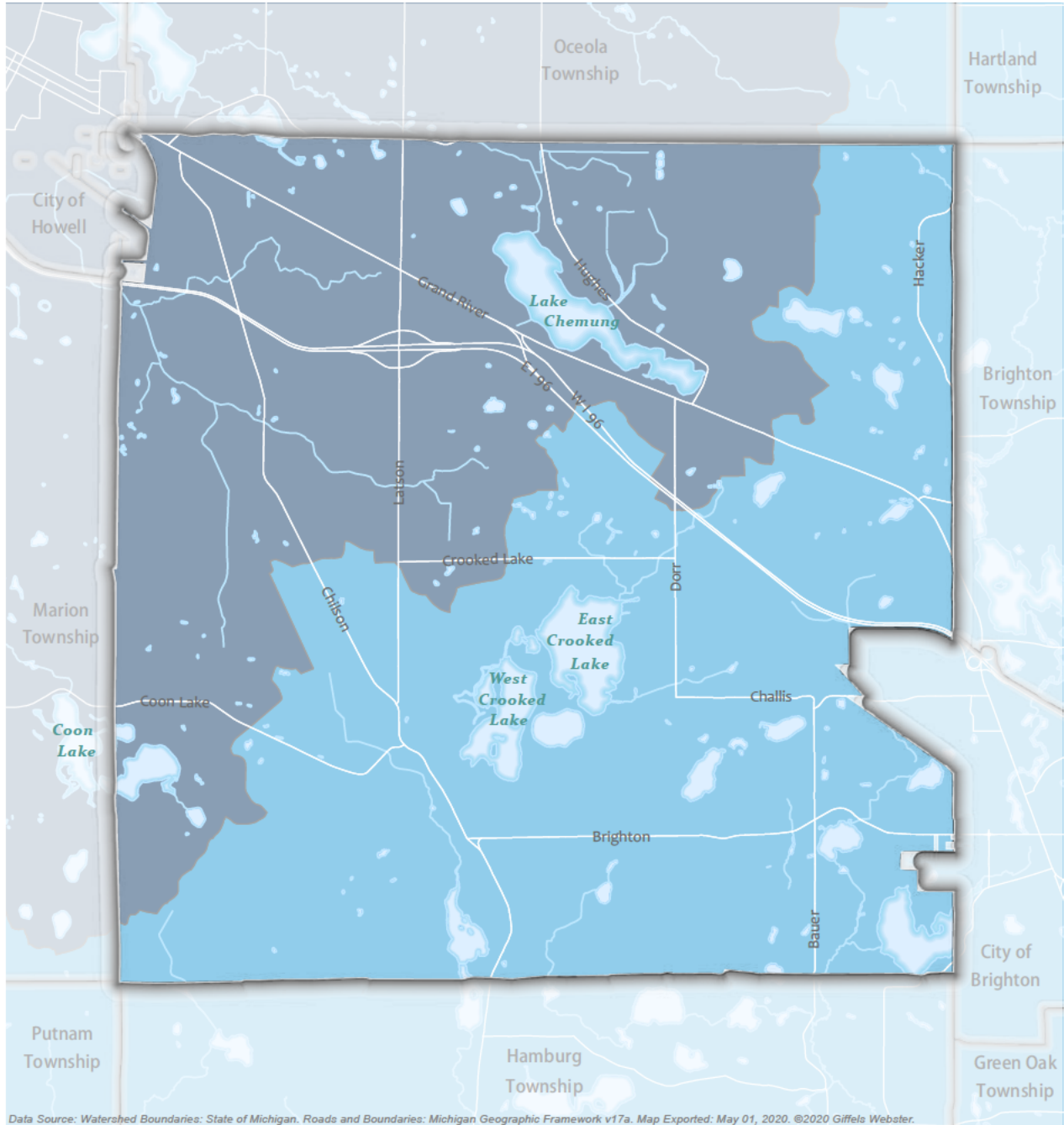


- Wetlands
- Surface Water

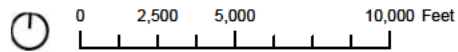


Wetlands
GENOA TOWNSHIP

MAP 2-3: WATERSHED BASINS



Data Source: Watershed Boundaries: State of Michigan. Roads and Boundaries: Michigan Geographic Framework v17a. Map Exported: May 01, 2020. ©2020 Giffels Webster.



HURON
 SHIAWASSEE



Watershed Basins
GENOA TOWNSHIP

Administrative Structure

Planning and Administration

Genoa Township has been dedicated to providing recreational facilities and programs to improve the quality of life for its residents. The Township has partnerships with two regional recreation entities to provide services to residents. Genoa Park has been developed over the last two decades for both active and passive activities. Amenities include award winning playgrounds, athletic fields, a sled hill, basketball courts, a pavilion and walking trails all on 70 acres. Also during this time over fourteen miles of sidewalks and paths have been developed throughout the community. The Township’s administrative structure provides dedicated roles that represent the interests of Township residents. A separate enterprise fund (#270 Parks and Recreation) provides resources for the installation and maintenance of all recreational facilities. Finally, the Township’s planning process emphasizes a consistent planning process to solicit ideas and public input to develop the recommendations included in this plan.

The provision of recreation for Genoa residents involves the cooperation of Township officials and staff, the Howell Area Parks and Recreation Authority (HAPRA) and the Brighton Area Recreation Connection (BARC). The Township also works in cooperation with Livingston County Parks.

Howell Area Parks and Recreation Authority

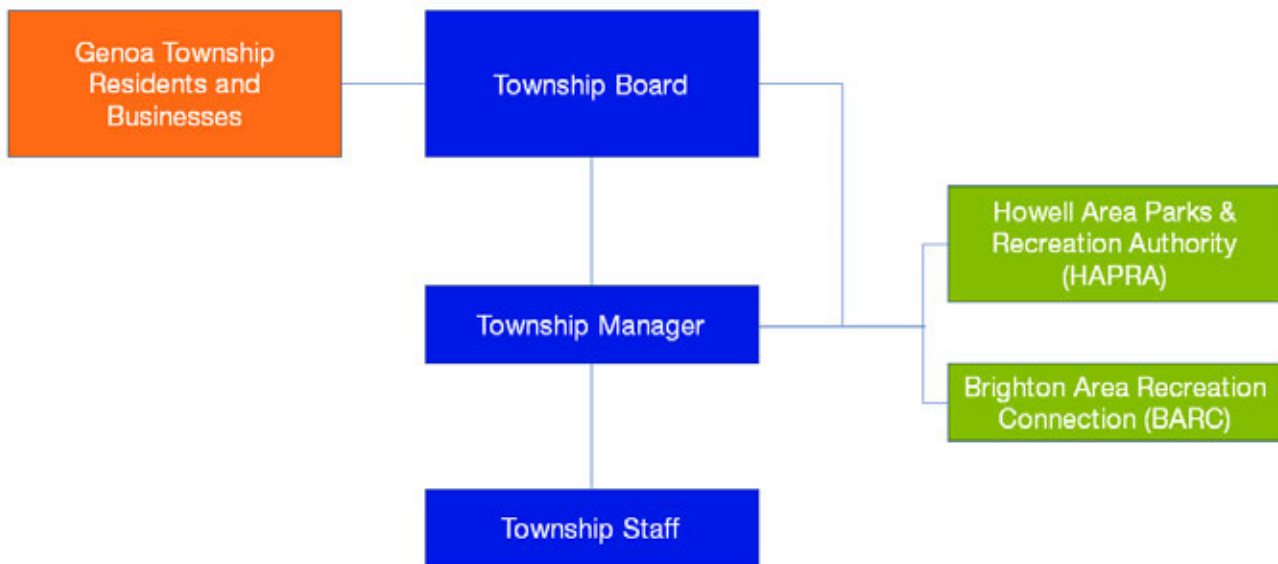
The participating municipalities of HAPRA are the City of Howell, Howell Township, Oceola Township, Marion Township and Genoa Charter Township. The Authority has a Board made up of a representative from each of the member communities. The purpose of the Authority is to construct, operate, maintain and/or improve recreational facilities and to provide recreational services as authorized by Public Act 321.

HAPRA administers the programming of the amenities at Genoa Park for the benefit of Genoa Township and regional residents. The lighted athletic fields are utilized by leagues, charter schools and camps. Special events such as Easter egg hunts, kite flying parties and interpretive trail programs are provided.

Brighton Area Recreation Connection

BARC is administered by Brighton Area Schools which includes portions of the City of Brighton, Brighton Township, Hamburg Township, Green Oak Township and Genoa Charter Township. The Connection programs numerous youth and adult activities including soccer, basketball, softball, self-defense and yoga. BARC coordinates activities at Genoa Park with HAPRA.

FIGURE 2-1: ADMINISTRATIVE STRUCTURE



Budget

Genoa Charter Township contributes \$107,500 annually to the Howell Area Parks and Recreation Authority for regional programs, facilities and events. The Township also supports recreation through a dedicated enterprise fund as described below:

TABLE 3-1: GENOA TOWNSHIP RECREATION REVENUES

RECREATION REVENUES 2018 - 2021			
	2018-2019 (actual)	2019-2020 (amended budget)	2020-2021 (budget)
Interest	\$3,178	\$6,000	\$6,000
Income - Other		\$322	
Contributions			
Rental Income	\$8,000		
Operating Transfer		\$500,000	\$550,000
Transfer In - General Fund	\$500,000		
Total Revenues	\$511,178	\$506,322	\$556,000

TABLE 3-1: GENOA TOWNSHIP RECREATION APPROPRIATIONS

RECREATION APPROPRIATIONS 2018 - 2021			
	2018-2019 (actual)	2019-2020 (amended budget)	2020-2021 (budget)
Attorney/Engineering			
Maintenance	\$76,767	\$100,000	\$100,000
Rental House Expense			
Misc Expense/Audit	\$285	\$500	\$500
Genoa Township Athletic Field			\$114,000
Recreation Bike Path	\$186,597	\$255,452	\$134,800
Filmore Park	\$12,354	\$5,000	
Howell Parks and Recreation	\$100,806	\$107,500	\$107,500
Land for Recreation			\$350,000
Total Appropriations	\$376,809	\$486,452	\$806,800

4. Recreation Inventory



Recreation Inventory

Genoa Township residents are fortunate to have a wide variety of recreation facilities and opportunities with several municipal parks, as well as numerous regional parks within a short drive of the township limits. Map R-1 shows the regional recreation resources for township residents.

Township Park

The Genoa Township park is 46 acres located roughly in the center of the township on Dorr Road that includes the following amenities:

- Non-motorized path: A 0.66 mile path encircles the township offices and fire hall.
- Sledding hill: The Genoa Sled Hill offers a vertical 40 ft drop with 20% grade and 200 ft run. There is lighting that keeps the park open until 10 p.m.
- Pavilion: The heated pavilion with restroom facilities is open year round for picnicking.
- Playgrounds: Three playgrounds are designed for ages 2 to 5 and 5 to 12.
- Water feature: A water misting feature is part of the playground area. The park also includes a dog drinking fountain.
- Sports fields: Two lighted regulation-sized athletic fields are available for organized sports.

Barrier-Free Assessment: The park was assessed for compliance with the American with Disabilities Act Accessibility Guidelines (ADAAG) and is ranked a 5, based on the following system provided by the MDNR Guidelines for the Development of Community Park, Recreation, Open Space and Greenway Plans:

1= none of the facilities/park areas meet accessibility guidelines

2= some of the facilities/park areas meet accessibility guidelines

3=most of the facilities/park areas meet accessibility guidelines

4= the entire park meets accessibility guidelines

5= the entire park was developed/renovated using the principals of universal design

Schools

- Three Fires Elementary - Howell School District. The Three Fires Elementary School sits on 16 acres immediately off of Latson Road, south of Grand River. The school features a running track, sports field and an outdoor basketball court as well as playground equipment.
- Hornung Elementary - Brighton School District. Hornung Elementary, located next to Maltby Middle School, consists of 20 acres. The school offers soccer fields, ball fields and playground equipment.
- Maltby Middle - Brighton School District. Maltby Middle School, located on the corner of Brighton and Bauer Roads, features a variety of ball fields.

Brighton Parks

City of Brighton Parks are available for township residents:

- Millpond Park
- Imagination Station
- Brighton Arts & Culture Committee's Sculpture Garden
- St. Paul Pocket Park
- Kissane Park
- Brighton Community Center
- Charles & Albert Parker Families Nature Preserve

Howell Area Parks & Recreation Authority

Howell Area Parks & Recreation Authority (HAPRA) has several facilities available for township residents:

- Athletic fields: Page Field, Oceola Township Athletic Fields and the Genoa Township Athletic Fields.
- Bennett Recreation Center: this facility is a venue for events and parties.
- Dog park: Located on the west side of Howell, there are two dog areas, one for large dogs and one for small dogs.
- Age-related facilities: The HAPRA operates both a 50 & Beyond Senior Center as well as a Preschool and Learning Center.

Livingston County Parks

Genoa Township is located in Livingston County, which owns and maintains a county parks system. There are two county parks:

- Filmore County Park, which opened in September 2020, is a 198-acre park located on McClements Road in the northeast corner of the township. The park includes a multi-use athletic field with spectator viewing, 5k natural surfaced trail, 1/2 accessible trail and restrooms.
- Lutz Park is a 100-acre park located in the northeast corner of the county and includes a 1.3-mile trail system, natural area, picnic tables and a restroom. It is adjacent to the Oak Grove State Game Area, which supports wildlife migration and habitat.



Island Lake Recreation Area offers year-round recreation opportunities

Huron Clinton Metropolitan Authority

Huron Meadows Metropark is a 1,540-acre park located five miles southeast of Brighton Recreation Area offering a wide variety of activities for outdoor enthusiasts. Available activities include cross-country skiing, hiking, biking, golf and geocaching. Small lakes provide boating and fishing. There are three picnic areas that can also be rented for private functions. This park is open year-round. A Metropark motor vehicle entry permit (which is different from the Recreation Passport) is required to enter the park.

Kensington Metropark is located east of Brighton Recreation Area and adjacent to Island Lake Recreation Area. The 4,481-acre Metropark sprawls across wooded, hilly terrain, surrounds Kent Lake, and is home to an abundance of wildlife and waterfowl. The park offers a multitude of recreational year-round recreational opportunities including biking, swimming, cross-country skiing, boating, and picnicking as well as the Splash 'n' Blast water park. The park also offers a petting farm, nature center, and 18-hole golf course. A pedestrian/bicycle pathway that crosses beneath I-96 connects Kensington Metropark and Island Lake Recreation Area.

State Parks

In addition to a boat launch ramp for East Crooked Lake in the township, the DNR also owns and operates a public access to the 313-acre Lake Chemung. There are parking spaces for 27 vehicles.

Brighton Recreation Area, adjacent to the township on the south, is considered to have some of the most rugged terrain in Southeast Michigan. The 4-947-acre recreation area offers modern, rustic, cabin, and equestrian campgrounds, as well as unique canoe-in camping options. It also contains a total of 41-miles of hiking, mountain biking, equestrian, and accessible trails. Hunting and fishing opportunities are also available.

Island Lake Recreation Area is located approximately east of the township and is a 4,000-acre park located along the Huron River corridor. The park offers a large variety of land and water recreation opportunities, including 19 miles of trails, biking, hunting, wildlife viewing, shooting/archery, fishing, swimming, kayaking, and canoeing.

Lakeland Trails State Park, a former rail corridor, is a 22-mile linear state park. The trail is intended for hiking, biking, cross county skiing, and wheelchair use. There are two nearby trailheads off M-36 in Pinckney, within a few miles of the township's southern border.

Commercial Recreation Facilities

The private sector addresses the recreation needs of some segments of the population. Commercial recreation facilities are not accessible to all residents because they charge fees for membership and/or use of the facility. Also, in contrast to public or school facilities, commercial recreation resources are designed to serve a much larger population than the residents of Genoa.

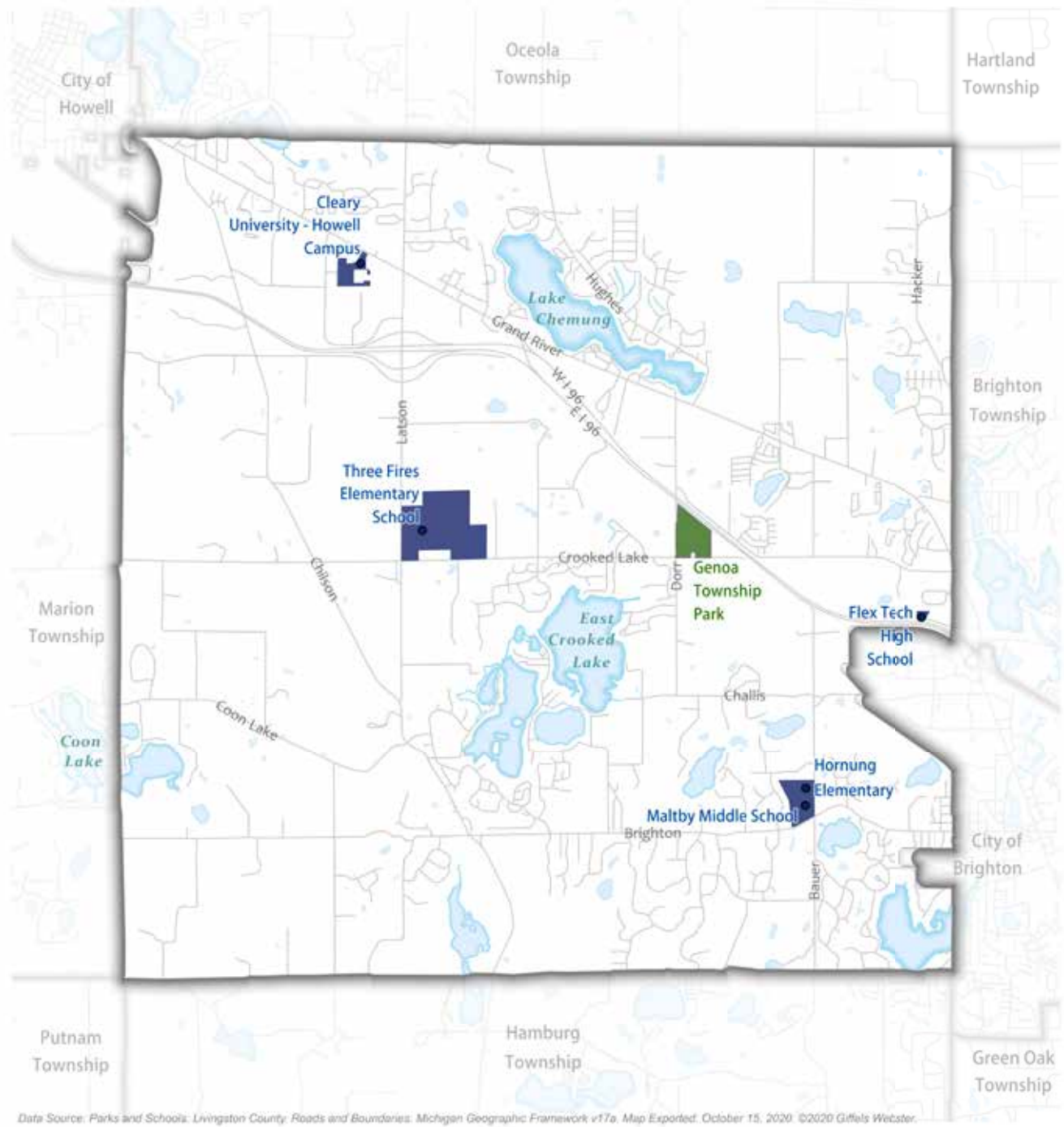
- 140 Ice Den. South off Grand River, just west of Latson Road, Grand Oaks Ice Arena offers a full size, indoor hockey skating rink.
- High Flyers Gymnastics gymnastics . Located on Victory Dr, south of Grand River, this multi-purpose facility offers both an indoor roller hockey field and an indoor soccer field, each for half of the year.



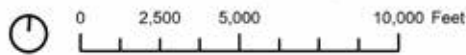
Faulkwood Shores Golf Course

- Mt. Brighton Ski Area. This 220-acre recreation area located in the southeastern portion of the township features downhill skiing and snowboarding on hills as steep as a 250-foot vertical drop. The ski area hosts seven chairlifts and ten rope tows.
- Rollerama Skating Center. Located on Grand River, this roller skating rink has recently been completely remodeled and offers arcade games and snack bar.
- Faulkwood Shores Golf Course. This 18-hole golf course, located on the northern edge of Lake Chemung also features a driving range and pro shop.
- Oak Pointe Golf Club. A private country club located on Brighton Rd, Oakpointe offers 18 holes of golf, tennis courts, swimming and fitness facilities for country club members.
- Lake Chemung Outdoor Resort. A private RV park that includes a private beach on Lake Chemung, indoor heated pool and tennis courts in addition to camping facilities for 340 all-season RV sites.
- Iron Grip Ninja. A 5,000 sq.-ft. private obstacle course and indoor gym, built from the ground up and includes many of the obstacles that are featured on the popular television show.
- Batter Up Batting Cages. Offers a variety of both baseball and softball pitching machine of services, private baseball lessons, and rental of its indoor batting cages.

MAP 4-1: LOCAL PARKS AND SCHOOLS



Data Source: Parks and Schools: Livingston County; Roads and Boundaries: Michigan Geographic Framework v17a. Map Exported: October 15, 2020. ©2020 Giffels Webster.



School

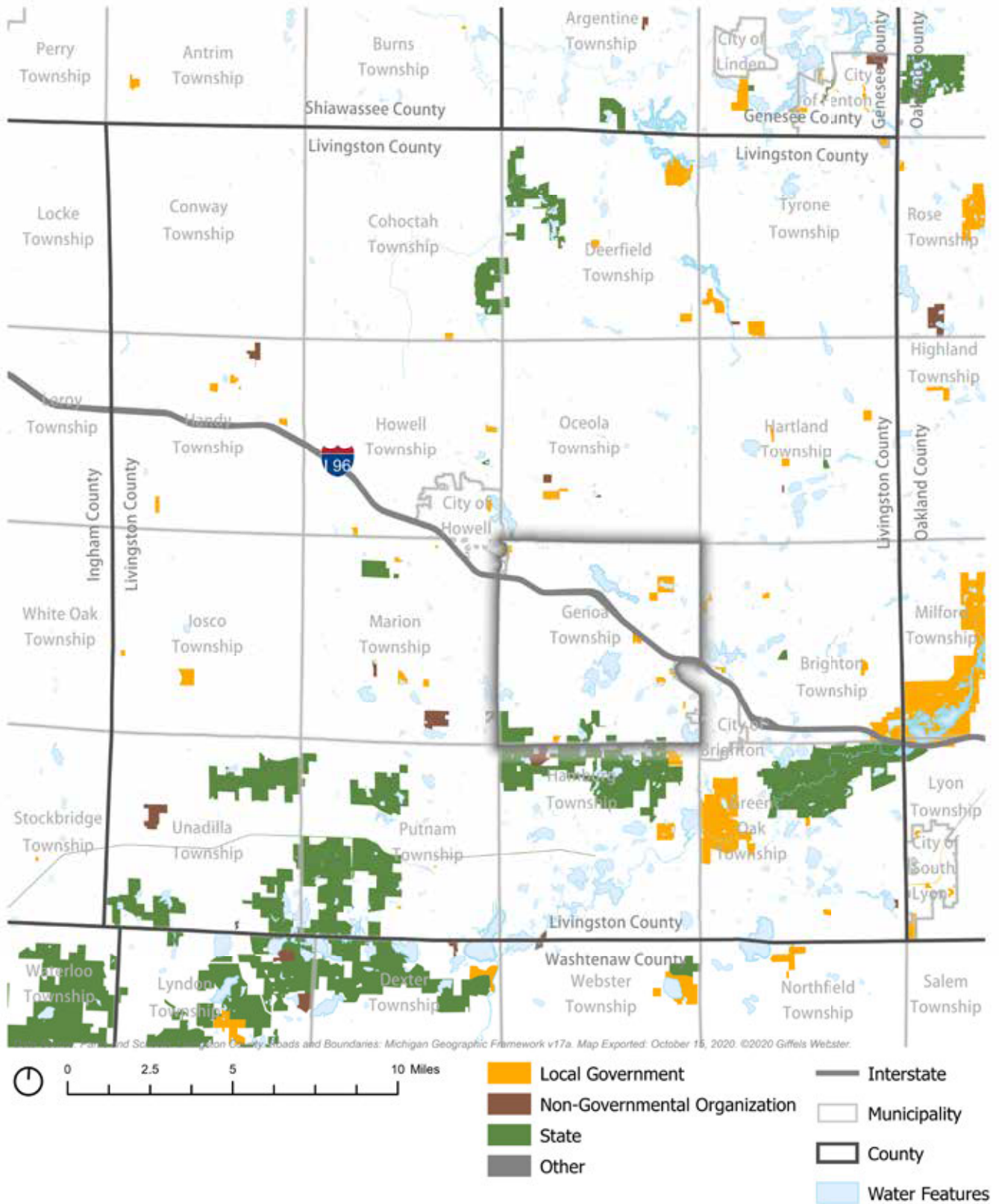
Local Park



Local Parks and Schools

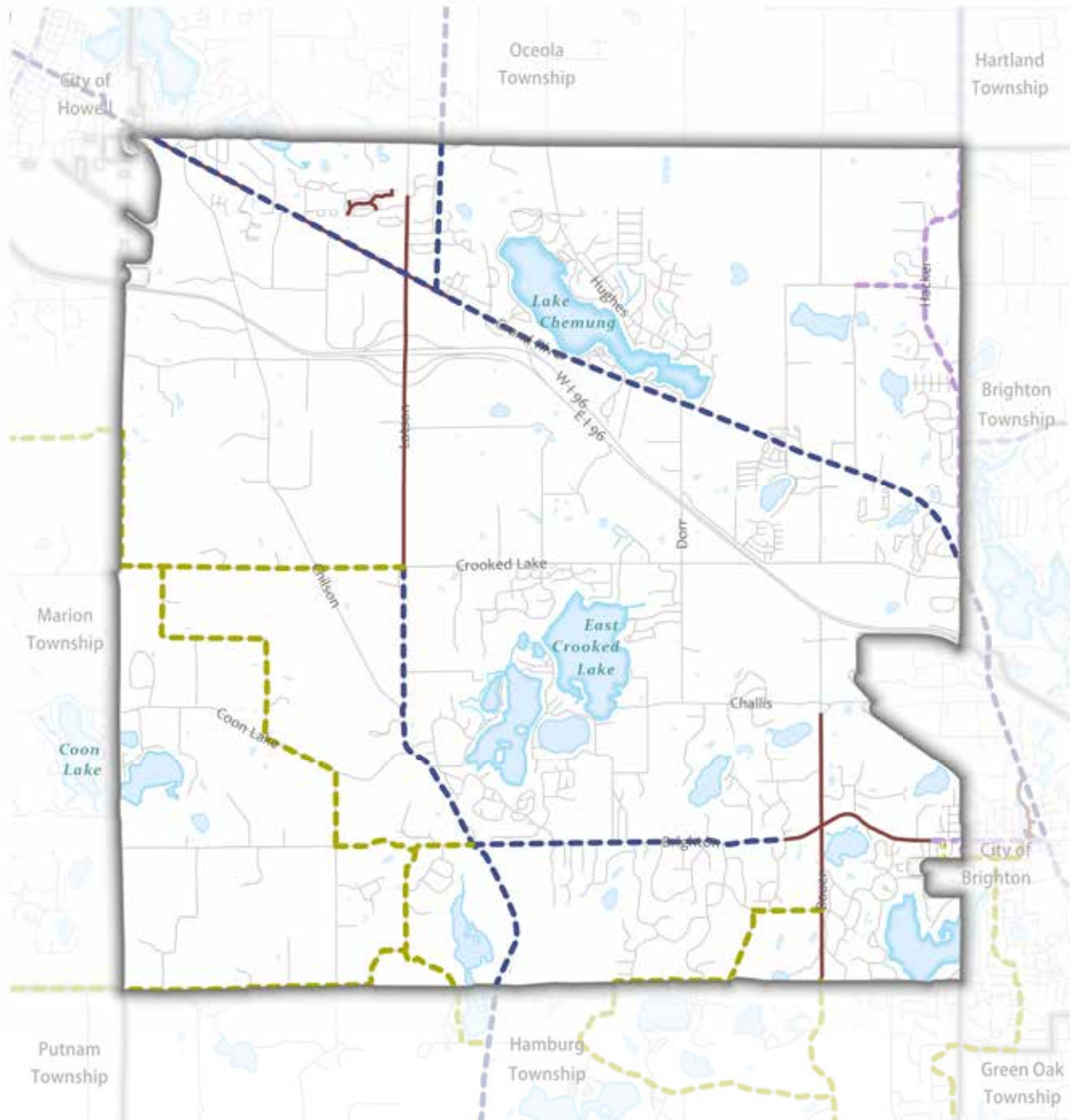
GENOA TOWNSHIP

MAP 4-2: REGIONAL PARKS

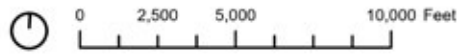


Regional Parks
GENOA TOWNSHIP

MAP 4-3: NON-MOTORIZED NETWORK



Data Source: Shared-use Path: SEMCOG. Other trails: Livingston County. Roads and Boundaries: Michigan Geographic Framework v17a. Map Exported: October 15, 2020. ©2020 Giffels Webster.



- Shared-use Path
- - - Proposed Priority Routes
- - - Proposed Near Term Network
- - - Proposed Long Term Network



Non-Motorized Network
GENOA TOWNSHIP

5. Recreation Needs Analysis

Recreation Needs Analysis

To analyze the recreational needs of the township's residents and determine deficiencies within recreation programs, it is helpful to consider standards for recreation service areas, land needs based on future population, and the ultimate size and extent of recreation facilities and their location.

These recreation planning standards are a useful tool in making an assessment of future recreation needs. Standards may be used effectively only as a means for comparing present conditions to what is thought to be suitable or desirable, and as a general guide toward estimating future needs and demands. In assessing recreation needs, the township should consider these standards, along with the township facilities, and also within the context of other nearby recreation facilities.

The following organizations have developed guidelines for recreation, which are referenced in this analysis of Genoa Township's recreation facilities:

Urban Land Institute (ULI)

The ULI, a private research organization concerned with planning and development of land, recommends standards for recreation areas for community and neighborhood development.

Trust for Public Land (TPL)

The TPL is a nonprofit organization focused on creating parks and protecting land for people across the United States. They provide resources and advocate for planning and funding of parks at the local, state, and national level.

National Recreation and Park Association (NRPA)

The NRPA developed the following recommended standards and guidelines for recreation, parks and open space. The major types of community recreation facilities recommended by the above organizations include:

- **Playgrounds/Mini-Parks.** Specialized facilities that serve a concentrated or limited population, or specific groups such as small children or senior citizens. Suggested recreational amenities for an individual mini-park could include a small set of playground equipment, a few picnic tables and ½ acre open space.

Parks for an Aging Population

While there are no general standards for parks aimed at the aging population, many communities and other organizations are recognizing the importance of keeping older adults active as well as socially engaged.

In addition to ensuring parks are accessible for those of all ages and abilities, equipment and facilities aimed at older adults are being recommended for inclusion in parks and recreation facilities.



Example of playground equipment designed for those over age 60. (Source: The Telegraph (UK))

- **Playfield or Athletic Fields/Neighborhood Park.** Neighborhood parks should offer a variety of activities to accommodate a range of ages, physical abilities, and recreational interests. It is recommended that neighborhood parks should be comprised of approximately 50% active uses (fields, courts, playgrounds, skating, etc.) and 50% passive uses (trails, picnic areas, etc.). A minimum of 7-10 parking spaces are recommended.
- **Community Parks.** Community-wide parks include larger parks with diverse environmental quality. A variety of passive and active uses are typically provided, including athletic fields, sledding hills, trails, picnic areas, and playgrounds. Uses are usually separated by activity and age group to limit potential conflicts between different types of users. Other activities include outdoor swimming, lighted spectator-type athletic fields, ice skating, and ample off-street parking.

- **Connector Trails.** Connector trails are often multi-use trails that give non-motorized access to parks and other uses. Modes of travel include walking, biking, and in-line skating. These trails could be located in an independent right-of-way, such as along utility corridors, or within road rights-of-way. There are no current standards for recommended trail mileage within/around a community.

NRPA Annual Agency Review

Each year, the NRPA surveys parks and recreation agencies across the US and shares this data to help communities benchmark their programs and facilities against similar-sized peers. The 2020 NRPA Agency Performance Review Park collected data between 2017-2019 and finds that “recreation professionals oversee a wide variety of facilities and features at their agencies.” Highlights of the survey include ninety-four percent of park and recreation agencies provide playground facilities in their communities and the typical agency has 12 playgrounds in its catalogue of offerings. At least 50 percent of agencies have basketball courts, tennis courts, diamond fields for baseball and/or softball, multi-purpose rectangular fields, dog parks and outdoor swimming pools. For each amenity, the typical park and recreation agency has:

- One playground for every 3,750 residents
- One basketball court for every 7,400 residents
- One outdoor tennis court for every 5,004 residents
- One dog park for every 45,899 residents

The table on the following page shows current benchmarks for certain park facilities based on populations between 20,001 - 49,999. The list illustrates the number of facilities that might be expected in Genoa Township, based on its current and future population.

State of Michigan Department of Natural Resources (MDNR)

The DNR includes a Recommended Classification System for Local and Regional recreation Open Space and Trails (see Table R-3) for the development of recreation plans. On the pages that follow, these standards outline recommendations for developed recreation acreage and for the various types of recreation activities; however, it should be noted that these standards are guidelines and the city should consider other recreation opportunities within the area as well as the ability to maintain community facilities.

These standards are compared with the recreation opportunities provided by the city in Table R-4.

Action Program

Upon completion of the analysis, goals and objectives were determined to provide the framework for the action program. The goals and objectives were reviewed by the township Recreation Committee in order to build consensus on strategies. Goals and objectives were converted to specific action items organized by year over the timeframe of the six-year plan. The six-year plan offers a format which allows the reader to understand what action is to be accomplished, where it will occur, when it will occur, who will accomplish the action, how much it will cost and potential funding sources. It also functions as a checklist for the township to follow each year.

Plan Completion and Adoption

Once consensus was reached amongst township officials, a public hearing was held to present the recommendations of the plan and to solicit public input prior to adoption. Based on public comments, the plan was revised and the document was adopted by both the Recreation Committee and the Township Board.

TABLE 5-1: NATIONAL COMPARISON OF PARKS FACILITIES TO POPULATION

2020 NRPA AGENCY PERFORMANCE REVIEW COMPARISON OF COMMUNITIES WITH POPULATIONS BETWEEN 20,001-49,999				
	Number of Residents per Facility*: Population between 20,001 - 49,999	Benchmark Number of Facilities for 2018 Genoa Twp (20,186)	Benchmark Number of Facilities for Projected 2045 Genoa Township (32,907)	Current Number of Facilities**
Playgrounds	3,157	6	10	1
Basketball courts	7,067	3	5	2
Tennis courts (outdoor only)	4,347	5	8	
Diamond fields: baseball - youth	5,132	4	6	
Diamond fields: softball fields - adult	10,849	2	3	
Rectangular fields: multi-purpose	7,297	3	5	2
Dog parks	28,132	1	1	
Diamond fields: softball fields - youth	9,785	2	3	
Diamond fields: baseball - adult	17,185	1	2	
Swimming pools (outdoor only)	25,107	1	1	
Tot lots	10,900	2	3	
Community gardens	22,562	1	1	
Rectangular fields: soccer field - youth	4,833	4	7	2
Multiuse courts - basketball, volleyball	20,040	1	2	
Rectangular fields: soccer field - adult	10,576	2	3	
Skate parks	29,491	1	1	
Rectangular fields: football field	16,971	1	2	
Multi-purpose synthetic fields	22,000	1	1	
Ice rinks (outdoor only)	13,542	1	2	
Rectangular fields: lacrosse field	14,605	1	2	
Rectangular fields: cricket field	29,228	1	1	
Rectangular fields: field hockey field	19,135	1	2	

* Findings from the 2020 NRPA Agency Performance Review uses data from Park Metrics, NRPA's park and recreation agency performance benchmarking tool, from years 2017 - 2019.

**Schools in the township may fill some of these missing facilities

TABLE 5-2: MICHIGAN DNR RECREATION AND OPEN SPACE TYPES

RECOMMENDED CLASSIFICATION SYSTEM FOR LOCAL AND REGIONAL RECREATION OPEN SPACE AND TRAILS (MDNR)					
Classification	General Description	Location Criteria	Size Criteria	Acres / 1,000 Population (Min)	Acres / 1,000 Population (Max)
Mini-Park	Used to address limited, isolated or unique recreational needs.	Less than ¼ mile distance in residential setting.	Between 2500 sq. ft. and one acre in size.	0.25	0.5
Neighborhood Park	Neighborhood park remains the basic unit of the park system and serves as the recreational and social focus of the neighborhood. Focus is on informal active and passive recreation.	¼- to ½-mile distance and uninterrupted by non-residential roads and other physical barriers.	5 acres is considered minimum size. 5 to 10 acres is optimal.	1	2
School-Park	Depending on circumstances, combining parks with school sites can fulfill the space requirements for other classes of parks, such as neighborhood, community, sports complex and special use.	Determined by location of school district property.	Variable-depends on function.		Variable
Community Park	Serves broader purpose than neighborhood park. Focus is on meeting community-based recreation needs, as well as preserving unique landscapes and open spaces.	Determined by the quality and suitability of the site. Usually serves two or more neighborhoods and ½ to 3 mile distance.	As needed to accommodate desired uses. Usually between 30 and 50 acres.	5	8
Large Urban Park	Large urban parks serve a broader purpose than community parks and are used when community and neighborhood parks are not adequate to serve the needs of the community. Focus is on meeting community-based recreational needs, as well as preserving unique landscapes and open spaces.	Determined by the quality and suitability of the site. Usually serves the entire community.	As needed to accommodate desired uses. Usually a minimum of 50 acres, with 75 or more acres being optimal.		Variable.
Natural Resource Areas	Lands set aside for preservation of significant natural resources, remnant landscapes, open space, and visual aesthetics/buffering.	Resource availability and opportunity.	Variable.		Variable.
Regional / Metropolitan Park	Land set aside for preservation of natural beauty or environmental significance, recreation use or historic or cultural interest use.	Located to serve several communities within 1 hour driving time.	Optimal size is 200+ acres, but size varies based on accommodating the desired uses.	5	10
Greenways	Effectively tie park system components together to form a continuous park environment.	Resource availability and opportunity.	Variable.		Variable.
Sports Complex	Consolidates heavily programmed athletic fields and associated facilities to larger and fewer sites strategically located throughout the community.	Strategically located community-wide facilities.	Determined by projected demand. Usually a minimum of 25 acres, with 40 to 80 acres being optimal.		Variable.

TABLE 5-3: GENOA TOWNSHIP FACILITIES PER POPULATION

GENOA TOWNSHIP COMPARISON TO RECOMMENDED CLASSIFICATION SYSTEM FOR LOCAL AND REGIONAL RECREATION OPEN SPACE AND TRAILS (MDNR)							
Classification	Genoa Township 2018 Population		Genoa Township Projected 2045 Population		Existing (acres)	Recommended (acres)	Comments
	20,186		32,907				
	Min (acres)	Max (acres)	Min (acres)	Max (acres)			
Mini-Park	5	10	8	16			
Neighborhood Park	20	40	33	66			
School-Park	Variable				5+		Existing school facilities, provide a variety of amenities that serve the community.
Community Park	101	161	165	263	46	100+	Explore opportunities to add to the acreage by expanding the Genoa Township Park or adding another park.
Large Urban Park	Variable						
Natural Resource Areas	Variable						Explore opportunities to add natural resource areas.
Regional / Metropolitan Park	101	202	165	329			State parks and metroparks nearby offer exceptional recreation amenities within close proximity for township residents.
Greenways							Expand trails/shared use paths and explore connections with regional systems.
Sports Complex							

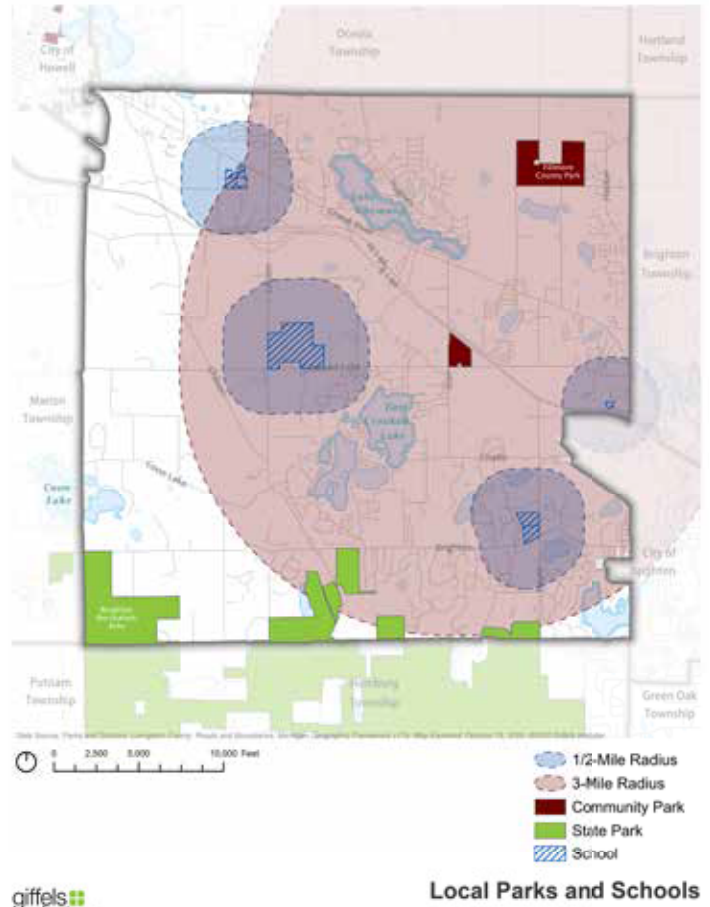
Park Service Areas

The Trust for Public Land (TPL) is a national organization that advocates for parks and preserved open spaces. They believe that parks are important to communities and that close-to-home opportunities to exercise and experience nature are essential for our physical and mental well-being. Studies show that parks can encourage physical activity, reduce crime, revitalize local economies, and help bring neighborhoods together. The TPL encourages communities to strive for reasonable park access for their residents.

To facilitate discussion about park access and provide a means of illustrating the point, the TPL is developing a database of cities across the country that identifies a city's population that is within a 10-minutes walk (one-half mile) of a park (www.parkserve.org). Park access is the ability to reach a publicly owned park within a half-mile walk on the road network, unobstructed by freeways, rivers, fences, and other obstacles. In most cases, townships are not included due to their generally spread-out nature.

In Genoa Township, the efforts to expand the non-motorized trail system will help people better access the parks and schools. The map at right illustrates the current approximate "service" area for township residents based on 1/2 mile radius for schools and 3-mile radius for community parks. It is assumed that residents are generally driving to these park and recreation facilities.

MAP 5-1: PARK SERVICE AREAS



Planning Process



While health-related restrictions on public meetings were in place during most of 2020, residents had the opportunity to learn more about local parks and recreation and provide their input. Over 100 residents participated in this “virtual open house” and survey. Their feedback is summarized below (full responses are included in the appendix).

Virtual Open House - Summary of Public Comments

Over 77% of respondents said they use the Genoa Township Park for local recreation, followed by Kensington Metropark (60%) and Brighton Recreation Area (50%).

The most popular local recreation activity involves playgrounds, as shown below. Walking and hiking or trail running follow close behind. This corresponds with facilities found at the Township Park.

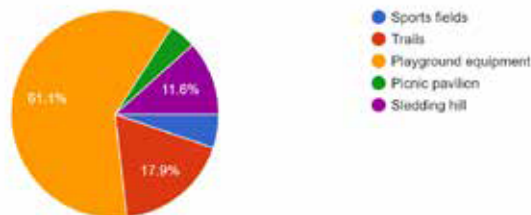
On a scale from 1 (never) to 5 (all the time), about one third of respondents ranked their use of the Township Park as a “3,” with even numbers of people responding on either side (14% ranked both 1 and 5, while 21% ranked their usage as 2 and 4).

Playground equipment is the most used feature at the park (61% of respondents), followed by the trails (18%) and the sledding hill (12%).

In terms of ages, residents fall into the adults 19-50 category (67%), followed by households with children of elementary age and under age 5 (58% and 45%, respectively).



If you visit the Genoa Township Park, what features do you use?
95 responses



When asked what is missing, or what they would like more of, nearly 2/3 of respondents said they would enjoy more water/splash features (64%). This is followed by more trails for hiking/running (48%), equipment and features for kids (31%) and adults (24%). About 20% said they would also like to see more pet-friendly areas, sport courts and inclusive recreation (options for those with disabilities).

The survey invited open-ended comments that supported feedback on the survey, including suggestions for splash pads and water features, along with more play areas for kids. In addition, several people suggested more options for winter, such as ice skating. More trails were also suggested, particular those that would connect recreation areas together.



Residents supported the idea of more trails, particularly those that would connect recreation areas, or minimize the amount of driving needed to reach recreation destinations.



Above: Dog park in West Bloomfield Township

Below: Example of inclusive playground equipment. Source: Miracle Park Place



Above: Splash Park in Buffalo Grove, IL Source: Buffalo Grove Parks

Below: Adult fitness equipment. Source; GameTime



Analysis

Based on the Recreation Needs Analysis, the input from the community described previously as well as findings from the last recreation plan, the following findings emerge:

- Although there is a deficiency of mini and neighborhood parks, the township should focus on developing larger parks to serve the whole community.
- The township should continue to encourage the development of open space and neighborhood parks in subdivisions.
- The township should ensure there are enough fundamental recreational facilities located within the township that are available at little or no cost to the general public.
- Since a majority of the recreational facilities are located at schools, scheduling conflicts may arise with recreational programming providers and school activities. The township should work with surrounding communities to help alleviate these types of problems by providing increased options for recreational facilities at off-school sites through the purchase of sites or other arrangements.
- The township should encourage the development of more supplemental recreation facilities to help serve a wider range of recreational needs and address recreation trends.
- The township should ensure that all recreational facilities and programs adequately accommodate all segments of the population, including those with physical disabilities.
- The township should continue and strengthen its involvement with recreational providers in the area.
- The township should explore the types of recreational facilities that are needed by recreational providers and investigate potential sites for their development.
- The township should explore potential sites for acquisition that would expand the current Township Park, to provide the types of recreational amenities requested by the community.
- The township and surrounding communities should work collectively to generate support for funding options to provide more regional recreational opportunities.
- The township should develop a contiguous pathway system that links residents to key destinations in the township.

Goals & Objectives

Goals & Objectives

Goals and objectives formulated by the Township Board are the basis for the recreation planning process and form the framework for decision-making regarding recreational facilities and programs in the township. The purpose of the Recreation Plan is to pursue long-range recreational goals through specific short-range action strategies.

The following goals and objectives were adopted with the 2002 Recreation Plan and found, through the planning process, to continue to be relevant. The goals are based on the findings of the inventory and service areas analysis and have been correlated with the goals of the Township’s Master Plan.

The recreation goals and objectives are not prioritized. The yearly Action Program that follows will detail the specific actions necessary to achieve those goals that are short-range in nature.

WHAT ARE GOALS, OBJECTIVES, AND STRATEGIES?

- Goals are general guidelines that explain what the community wants to achieve. Goals are usually long-term and represent global visions such as “protect the City’s natural resources.” Goals define the “what” but not the “how.” Goals are established in the Master Plan Use Plan.
- Objectives identify the milestones that mark progress in achieving goals – more of the “how.” For example, the goal of “protect the City’s natural resources” could be measured in terms of “Maintain the City’s tree cover.” Objectives are plan-specific and are included here.
- Action items are more specific and define the steps to accomplish objectives and attain the identified goals – these could be considered the “who” and “when.” The most effective action strategies will include who will tackle that task and when it should be accomplished.

GOAL: Genoa Township will provide its residents a destination to recreate with friends, family and neighbors that offers a variety of recreation activities to serve the needs and interests of the community

Objective 1	Explore potential sites for land acquisition that is conveniently located for township residents
2	Acquire additional land as it becomes available for expansion of the Township Park.
3	Plan for expansion of recreational amenities to promote active recreation such as inclusive recreation and fitness equipment as well as winter-based recreation.
4	Accommodate park land for supplemental facilities beyond traditional, programmed facilities
5	Acquire land that could benefit from natural resources conservation and passive recreation
6	Enhance Genoa Township Park through passive recreation improvements, nature trails and interpretive signage
7	Seek possible funding sources to acquire parkland such as grants, special millage and private donations
8	Continue to explore alternate methods of providing parkland such as requiring neighborhood parks as part of residential development and contracting services with other recreation providers

Goal: Genoa Township will strengthen its involvement and cooperation with recreation providers to ensure provision of high quality recreation programming for its residents

Objective 1	Maintain involvement in activities of Howell Area Parks & Recreation Authority through regular communication such as status meetings
2	Increase township input on types and variety of recreation programs offered to ensure needs and interests of residents are met.
3	Collaborate with surrounding communities to improve regional approach for recreational opportunities
4	Explore various funding sources and ventures in order to improve services and quality of recreation
5	Allocate a separate budget line item for capital improvements that help implement the recommendations of this Recreation Plan.

GOAL: Genoa Township will have a complete pathway system that links key destination areas within the community and connects to the regional pathway system.

Objective 1	Complete the pathway system along Grand River Avenue
2	Develop links between areas of residential concentration
3	Connect residents to key destinations in the township such as schools, shopping and parks
4	Develop an annual implementation program based on the highest priorities
5	Seek possible funding sources to develop pathways such as grants, special millage and private donations
6	Continue to require installation of pathways with all new development
7	Coordinate pathway development with Livingston County road improvement projects

Appendix

Appendix Table of Contents

- Resolution of Adoption by City Council
- Notice of public hearing
- Notice of public review period posted to City website with full copy of draft 2021-2025 Plan
- City Council, Parks and Recreation Advisory Board meeting minutes (public hearing and adoption)
- Press Release announcing availability of survey and Public Input Workshop
- Transmittal of adopted plan to Oakland County
- Transmittal of adopted plan to SEMCOG
- Survey results
- Public Hearing Comment Summary
- DNR Post-Completion Certification Reports

consider adapting for this plan as appropriate

Land Acquisition. According to the analysis in the plan and input from the community, additional publicly owned parkland is needed to serve the existing and future population of the township and the regional recreation programs in the area. Acquiring parkland, however, is a difficult and costly process that requires research, education and public involvement. The community must first establish a set of criteria to ensure a potential site will effectively accomplish, or satisfy, community needs and desires. There are a variety of needs that must be considered such as:

- Selecting a site or sites located in a concentrated residential area
- Accessibility of the site
- Preservation of natural features
- Providing additional passive and active recreation facilities for the community
- Ensuring surrounding land uses are compatible and conducive to a peaceful and relaxing environment
- Selecting a type of facility that best serves the greatest number of residents
- Determining the total amount of land needed and the breakdown of size needed per type of use

Based on community input and the service map on page 34, additional parkland is needed on the western edge of the township. In addition, expanding the existing Genoa Township Park increases the opportunities to add more desired amenities including sports courts, fields and additional shared use paths.

Pathways. The adopted township Master Plan has incorporated the Southeast Michigan Greenway Plan into its greenways and pathways plan for the township. As part of this planning process, the plan was re-evaluated. These pathways provide a complete and efficient system for residents. The routes link key destinations in the township, minimize barriers created by I-96, and focus on concentrated development areas. The township should make it a priority to implement their piece of this regional plan to help connect the township to other communities and to improve access to recreation. Map 7, in Appendix A, depicts the proposed pathway plan consistent with the Southeast Michigan Greenway Plan and Township Master Plan.

Board Correspondence



November 9, 2020

Michael C. Archinal, AICP MPA Manager
 Genoa Charter Township
 2911 Dorr Road.
 Brighton, MI 48116

Re: Waste Management Acquisition of Advanced Disposal Services

Dear Genoa Township:

On October 30, 2020, Waste Management, Inc. (“Waste Management”) acquired Advanced Disposal Services, Inc. (together with its affiliates and subsidiaries, “ADS”) by acquiring all of ADS’s issued and outstanding shares of stock. ADS has now been merged with and into a Waste Management subsidiary. The ADS corporate entities still exist, but they are now wholly owned subsidiaries within the Waste Management family of companies.

As a result of the specific transaction structure (i.e., stock acquisition), the ADS corporate subsidiary that services your community will remain the same and will continue to be an active, operating company. From your perspective, the only change resulting from the acquisition is that the ADS company that provides you service has become a wholly owned indirect subsidiary of Waste Management. An assignment of the ADS service agreement¹ for your community is not required or legally necessary, because the scope of work is not being assigned to a different company within the Waste Management family. ADS will continue to service your community, and the service agreement you executed with the ADS company that provides you service will remain in full force and effect.

For the near term, nothing changes for your community, and your existing sales, service, and support contacts will remain unchanged. Please continue to use the same communication channels with which you are accustomed. If new points of contact within Waste Management are developed for your community, Waste Management will provide notice of those changes as soon as they are implemented.

Over the longer term, because ADS has become a wholly owned Waste Management subsidiary, the ADS trucks and other equipment such as waste and recycling containers, dumpsters, and compactor units, eventually will be rebranded to reflect the Waste

¹ Note: The ADS company that entered into the relevant service agreement may differ by state and/or locality.



Management name, logos, colors, and service marks. A change of this size will take time to complete, but you should start to see those changes during 2021. In addition, Waste Management intends to consolidate certain common functions such as billing and payments, and so you may receive invoices and other communications that reflect the Waste Management name rather than ADS. Your business is very important to us, and we will make every effort to ensure this transition is as seamless as possible, and to provide ample advance notice of any changes that may be specific to your community.

North America's Largest Provider of Differentiated Waste Management Solutions

Meeting our customers' environmental goals is Waste Management's number one priority. To serve our diverse customer base, Waste Management has developed North America's largest network of municipal and commercial collection operations, waste transfer stations, and recycling and disposal facilities. These resources, and Waste Management's 45,000+ employees who live and work from coast to coast, allow our customers to meet all their waste management and sustainability needs. The ADS acquisition now brings ADS's high-quality, complementary asset network and customer base under Waste Management's proven management team. Waste Management will now serve more customers in more communities. In some areas, we will extend our differentiated waste and recycling solutions to new customers. In others, we will increase the efficiency of our operations by combining resources and best practices. All customers – both old and new – will benefit from Waste Management's financial strength, superior safety record, and outstanding history of performance and environmental compliance. In short, Waste Management's acquisition of ADS will provide your community with a more dynamic and financially superior solid waste and recycling solution provider.

We are available as always and I encourage you to reach out to me with any questions. On behalf of all of us at Waste Management, thank you for your business. We look forward to continuing to partner with you on your environmental solutions.

Very truly yours,

A handwritten signature in black ink that reads 'H. Syed Nadeem'.

Nadeem Syed | General Manager – Ann Arbor

734-864-4393

nadeem.syed@advanceddisposal.com

CC: Patrick Greve, Public Sector Director
Micah Hamstra, WM Legal



**Genoa Charter Township
County of Livingston, State of Michigan
Capital Improvement Refunding Bonds
(Oak Pointe Sewer System Project), Series 2020
(Limited Tax General Obligation) (Federally Taxable)**

SUMMARY OF FINAL 2020 REFUNDING RESULTS

BONDS REFUNDED:

Capital Improvement Bonds (Oak Pointe Sewer System Project), Series 2014	
Principal maturities refunded:	2024 to 2036
Principal amount of bonds refunded:	\$4,255,000
Average interest rate of refunded bonds:	3.668%

2020 REFUNDING BONDS:

Principal maturities	2021 - 2036
Principal amount of 2020 Refunding Bonds	\$4,535,000
True interest rate on refunding bonds	1.572%

SAVINGS:

Reduction in annual debt service payments	\$601,718
Net Present Value (NPV) Savings	\$499,599
NPV Savings as % of Bonds Refunded	11.741%

<u>Year</u>	<u>2020 Refunding Bonds Interest Rate</u>	<u>Total Bond Payments Before Refunding</u>	<u>Total Bond Payments AFTER Refunding</u>	<u>Actual Savings</u>
2021	2.000%	\$399,025	\$396,214	\$2,811
2022	2.000%	404,425	400,388	4,038
2023	2.000%	407,225	406,888	338
2024	2.000%	409,725	407,988	1,738
2025	2.000%	411,925	411,388	538
2026	2.000%	413,825	409,588	4,238
2027	2.000%	415,425	412,688	2,738
2028	2.000%	416,725	415,588	1,138
2029	1.300%	422,725	418,288	4,438
2030	1.400%	422,488	418,413	4,075
2031	1.650%	421,925	328,093	93,833
2032	1.650%	425,200	328,225	96,975
2033	1.650%	426,200	328,275	97,925
2034	1.850%	421,600	323,243	98,358
2035	1.950%	421,600	327,600	94,000
2036	2.050%	416,000	321,458	94,543
Total		\$6,656,038	\$6,054,319	\$601,718



November 16, 2020

To: All Election Officials
From: Polly Skolarus, Clerk

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

According to the Board of Canvassers all our precinct tabulations were perfect. We had a little trouble with the absent voter counting board in that we ran out of room in the ballot containers for the 9,315 ballots that were tabulated. I want to share with you the words of Lorrie, the Democratic Challenger, who monitored the absent voter counting board that day. "I was the Democratic Challenger for the absentee ballot counting board for Genoa Township. Everyone there was welcoming. I was impressed with the high level of organization and team mentality. There is no question that the count was conducted with the highest possible integrity. I observed that all ballot questions were solved by a bipartisan team. I was very positively impressed." These words go out to all of you who worked this challenging election.

I first want to thank my Deputy Clerk, Mary Krencicki, whose dedication to my office and her striving for perfection provided a cool, calm and collected response to every question and concern. Thank you to Linda Gallerani, Angie Williams, Sue Epp, Ginny Wennerberg, Linda McIntyre, and Sandra Butler who assisted in my office for seven weeks before the election. All of you made a real difference in the daily operation of my office.

Just a couple weeks before the election I applied for and received a grant from the State of Michigan for \$6,276.00 related to those who worked elections during the Covid 19 outbreak. I am dividing that revenue source with all of you. Attached is a small stipend that does not begin to cover your hard work or your dedication to my office and the election process, but know that I appreciate everything you have done.

Sincerely,

Paulette Skolarus, Clerk
Genoa Charter Township

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Nov. 23, 2020

Mr. Kyle Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170

Dear Kyle,

I am in receipt of your correspondence dated Nov. 7, 2020 regarding Price Changes related to Xfinity Services and Pricing effective January 1, 2021. I brought this information to my Administrative Committee for discussion since it relates to so many residents within our community. Increases of 20%, 25%, 40% and even 66% appear to be excessive in this age of pandemic. I am sure that your company is aware that people are losing their homes and suffering from isolation and depression.

Please reconsider your "important information" regarding Price Changes and consider something more appropriate for this day and age.

Sincerely,

Paulette Skolarus, Clerk
Genoa Charter Township

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

To Board 11/17/20



November 17, 2020

Ms. Polly Skolarus, Clerk
Township of Genoa
2911 Dorr Rd.
Brighton, MI 48116

RE: Important Information—Price Changes

Dear Ms. Skolarus,

At Comcast, we are always committed to delivering the entertainment and services that matter most to our customers in Genoa, as well as exciting experiences they won't find anywhere else. We are also focused on making our network stronger in order to meet our customers' current needs and future demands. As we continue to invest in our network, products, and services, the cost of doing business rises. Rising programming costs, most notably for broadcast TV and sports, continue to be the biggest factors driving price increases. While we absorb some of these costs, these fee increases affect service pricing. As a result, starting January 1, 2021, prices for certain services and fees will be increasing, including the Broadcast TV Fee and the Regional Sports Network Fee. Please see the enclosed Customer Notice for more information.

We know you may have questions about these changes. If I can be of any further assistance, please contact me at 734-359-2308.

Sincerely,

A handwritten signature in black ink, appearing to read "Kyle V. Mazurek".

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170

Enclosure

Important Information Regarding Xfinity Services and Pricing

Effective January 1, 2021

Xfinity TV	Current	New	
Choice TV	\$25.00	\$30.00	20%
Choice TV with TV Box (Flex upgrade)	\$30.00	\$37.50	25%
Broadcast TV Fee	\$11.30	\$14.85	31%
Regional Sports Fee	\$8.25	\$9.10	10%
Service to Additional TV	\$9.95	\$7.50	40%

On Demand Subscription Services	Current	New	
AMC + On Demand	\$4.99	\$6.99	40%
Docurama On Demand	\$2.99	\$4.99	66%
Gala On Demand	\$9.99	\$11.99	20%
Glam TV Fit & Yoga On Demand	\$6.99	\$7.99	
UP Faith and Family On Demand	\$4.99	\$5.99	
WE tv + On Demand	\$4.99	\$5.99	

Xfinity Internet	Current	New	
Performance Starter	\$53.00	\$56.00	5%
Performance	\$73.00	\$76.00	4%
Blast!	\$83.00	\$86.00	3%
Extreme	\$93.00	\$96.00	3%
Extreme Pro	\$103.00	\$106.00	
Gigabit Speed	\$113.00	\$116.00	
xFi Advantage	\$20.00	\$25.00	

Xfinity Home	Current	New	
Xfinity Home Security	\$40.00	\$50.00	25%
Xfinity Home Security Plus	\$50.00	\$60.00	20%

Xfinity Equipment	Current	New
TV Box	\$5.00	\$7.50
Customer-Owned Video Equipment Credit	\$5.00	\$7.50

Installation	Current	New
Professional Install	\$70.00	\$100.00
In-Home Service Visit	\$70.00	\$100.00

Brighton, Brighton Township, Genoa Township, Green Oak Township, Howell, Ocedala Township

85291000, 2270, 2280, 2290, 2300, 2310, 2320

P148B/W21

Julia Gemuend 12/7/20

Polly

To: Julia Gemuend
Subject: RE: Thank you!

Julia, That is so kind of you. It is not often that I receive a thank you note, but please know I appreciate it so much.
Sincerely, Polly

Paulette Skolarus, Clerk



Genoa Charter Township
2911 Dorr Rd
Brighton, MI 48116
(810)227-5225

polly@genoa.org
www.genoa.org

From: Julia Gemuend [<mailto:juliagemuend@gmail.com>]
Sent: Monday, October 26, 2020 9:37 AM
To: Polly
Subject: Thank you!

Hi Paulette,

I'm listening to an NPR this American life episode right now and they interviewed town clerks about how intense the work load is for them this election, with so many extra people voting absentee. As one of those people, I just wanted to say Thank You so much for all of your hard work! We appreciate everything you are doing to make this election successful and secure for Genoa Township!

Warmly,
Julia
--
Thanks,
Julia

Trustees Present: Mary Cafmeyer, Kate DeRosier, Rebecca Fedewa, Nancy Lewis, Holly Naylor,
Doug Sargent, Don Thompson

Members Absent: None

Staff Present: Mallorie DeVilbiss, Barbara Berlin; virtually - Glenn Fisher, Darlene Randolf

Public Present: Ceci Marlow (virtually)

I. President Lewis called the meeting to order at 7:00 p.m. in the Community Room of the Cromaine Village Library.

II. **Approval of agenda**

Agenda Approval

Vice President DeRosier requested that the missing Finance committee minutes be removed from the Consent Agenda and approved at the November 2020 meeting after submission. She moved to approve the amended agenda, seconded by Trustee Fedewa. Passed unanimously.

III. **Approval of Consent Agenda**

Consent Calendar Approval

Trustee Fedewa requested a change to the 9/17/2020 meeting minutes. Under Discussion Item VI.F. Trustee Ballot, she would like to change “was not able to remove her name from the ballot in time” to “was appointed after the deadline to remove her name from the ballot”. Trustee Naylor moved to approve the consent agenda, seconded by Secretary Cafmeyer. Passed unanimously.

- A. Approval of regular meeting minutes, 9/17/2020.
- B. Acknowledge receipt of the September Financial Reports and payment of September invoices totaling \$60,762.76 and payroll obligations totaling \$87,110.89.
- C. Director’s Report
- D. Committee Reports
 - Community Relations October 13 (handed out at the meeting)
 - Personnel October 7
 - Planning October 8
 - ~~Finance October 15 (handed out at the meeting)~~

IV. **Call to the Public:** No public comment.

Call to the Public

V. **Director’s Report – Update and Comments from the Community**

Director’s Update

The Director’s printed report was updated verbally with the following:

Under the new order from the state Department of Health and Human Services, our building capacity is limited to 50% in public areas. Assuming 5 staff working in the public areas, this puts our capacity at 42, which we shouldn’t have much chance of hitting.

Our first concert in the Second Sunday Concert Series took place this past Sunday on Facebook Live with The Boogie Woogie Kid. Pam reports that we

consistently had about 20 people tuned in, which is on par with our in-person concerts. We had 504 views during the event - Facebook counts a view as anyone that watched for at least 10 seconds.

This coming week, October 18-24, is National Friends of the Library Week! We want to send a big thank you to our wonderful Friends group who make so many great things possible for us!

Questions/Comments from the Board:

Trustee Naylor appreciated reading the patrons comments this month.

Are the posters up for the Friends Appreciation Week? *No, there will be a shout out on social media.*

VI. Discussion

Strategic Plan
2018-2022

A. Strategic Plan 2018-2022 – Questions & comments from the Board

Secretary Cafmeyer asked about the November newsletter. Is it on the website? *November's newsletter will be coming soon. Yes, the current newsletter is located on the bottom of the opening page of the website.*

Kudos for hosting the Brew Pub Book Club at a local business.

They really enjoyed the State of the Community presentation. Excellent job, Mallorie!

Trustee Thompson asked if under the new order from the state Department of Health and Human Services the capacity of the meeting rooms would change. *Yes, the maximum capacity for the Community Room is now 16 but the study rooms remain closed as they are being used for book quarantine and staff outreach projects.*

Vice President DeRosier noted that today, October 15 is the last day to enter your census information.

B. Review of First Quarter Statistics

Review of First
Quarter Statistics

President Lewis noted that the "Miscellaneous" stat numbers jumped out at her. It includes the hot spot circulation that is hugely popular.

Treasurer Sargent noted that the September "Card Up" promotion made an impact in increasing cardholders. There were some pretty nice discounts.

C. Presentation of Annual Report for Prior Fiscal Year

Presentation of
FY 2019-2020
Annual Report

President Lewis said "very nice job"! Trustee Fedewa asked where the report would be distributed. *The Director replied that the distribution list included our partners the Hartland Chamber and Hartland Schools and all six of our district Township officials. It will also be available for the public on our website.*

D. Mission Statement Review (all-Board activity)

Mission
Statement Review

It was agreed to make the vision/mission statements match the latest strategic plan's mission statement. Vice President DeRosier will refine it and send to the Community Relations committee to finalize it and it will be on the November board meeting agenda.

E. Director's Six Month Evaluation	Director's 6 month Evaluation
The first half is the same evaluation we have been using. The 2 nd half includes COVID specific questions. Please return a printed copy to President Lewis no later than Sunday, October 25. There will be an envelope for privacy for returns to her library mailbox.	
F. Library Closing Calendar for 2021	2021 Library Closing Calendar
Previous "floating" holidays (day after Thanksgiving, Good Friday, Christmas and New Year's observed) will now be library closed days when all staff will be off in lieu of trying to schedule staff around the holidays. After discussion the Board agreed to the changes.	
G. Committee Policy Review	Policy Review
<ul style="list-style-type: none"> • 1010 – Cooperation with Libraries & Other Organizations (Planning) • 6001 – Fund Balance Policy (Finance) • 6002 – Revenue Distribution & Fund Accounting (Finance) • 6003 – Fixed Assets Capitalization (Finance) • 6004 – Gifts to the Library (Finance) 	
Policies 1010 and 6003 had changes in format made with typos and redundant language removed, no content changes.	
H. Friends of the Library Meeting	Friends of the Library Meeting
The Friends have four quarterly meetings a year. Former Trustee Kathleen Oemke was Board liaison. We need a Trustee to attend the meeting(s) and report back to the Board. Their next meeting is this Tuesday, October 20, at 6:30 pm in the Community Room. Vice President DeRosier will attend this meeting. Secretary Cafmeyer and Trustee Fedewa volunteered to attend a future meeting.	
VII. Decision	
A. Motion to Approve the Library Closing Calendar for 2021	Motion to Approve Library 2021 Closing Calendar
Treasurer Sargent moved to approve the Library Closing Calendar for 2021 as presented, seconded by Trustee Thompson. Passed unanimously.	
B. Resolution 2020-16, Revising Policy 1010, Cooperation with Libraries & Other Organizations	Resolution 2020-16
Vice President DeRosier moved to approve Resolution 2020-16, Revising Policy 1010, Cooperation with Libraries & Other Organizations, Trustee Naylor seconded. A roll call vote was taken for approval of the resolution. Ayes: Cafmeyer, DeRosier, Fedewa, Lewis, Naylor, Sargent, Thompson Nays: None APPROVED	
C. Resolution 2020-17, Revising Policy 6003, Fixed Assets Capitalization	Resolution 2020-16
Vice President DeRosier moved to approve Resolution 2020-17, Revising Policy 6003, Fixed Assets Capitalization, Treasurer Sargent seconded. A roll call vote was taken for approval of the resolution.	
Ayes: Cafmeyer, DeRosier, Fedewa, Lewis, Naylor, Sargent, Thompson	
Nays: None APPROVED	

VIII. Information

Upcoming meeting dates include:

Upcoming Meeting Dates

Nov 5	Personnel Committee, 6:30 pm
Nov 10	Community Relations Committee, 10:00 am
Nov 12	Planning Committee, 9:30 am
Nov 12	Finance Committee, 2:00 pm
Nov 19	Board of Trustees meeting, 7:00 pm, Community Room.

IX. Agenda Items for Next Meeting

Items for next meeting

- Strategic Plan 2018-2022
- Mission/Vision Statement
- Board Officers for 2020
- Millage Renewal
- Audit (Email any questions you have to Treasurer Sargent before the November 12 Finance Committee meeting)
- Moving Upcoming Board meetings to virtual

X. Call to the Public:

Public Call

Ceci Marlow, Comment:

1. Please explain the rationale for closing Good Friday and the Day after Thanksgiving. She feels that the library should be open as much as possible. Is concerned that hours and open days have already been reduced. *Vice President DeRosier suggested keeping attendance for this year's open day after Thanksgiving. President Lewis says we will advertise extensively prior to the closings. The calendar could always be changed if necessary.*

2. The minutes were not clear on how the open position will be filled following the election. *It depends on who wins the election.*

Trustee Sargent noted that the 2019-2020 audit is included in the board packet. Please read it and let him know if you have any questions before the Finance Committee meeting on November 12 when the auditor will be present.

Vice President DeRosier is requesting that the board meeting be virtual for November, December and January considering the increase in COVID numbers. It will be added as a discussion item at November's Board meeting.

XI. Adjournment:

Adjournment

Motion by Trustee Thompson, seconded by Secretary Cafmeyer to adjourn at 7:43 pm.

MARY CAFMEYER, SECRETARY
Cromaine District Library Board

Barbara Berlin, Recording Secretary
Cromaine District Library Board

Documents distributed to the Board for/at this meeting:

- 9/17/2020 Proposed Regular Meeting Minutes
- September 2020 Financial Reports & Checks Issued Totals
- September 2020 CDL Investment Performance Report
- Director's Report 10/15/2020
- CDL Statistics for September 2020 & updated CDL 4-year Circulation Graph
- Patron Comments September 2020
- Community Relations Committee Meeting Minutes, 10/13/2020, w/ copy of approved Hartland Township Land Use Permit for Polar Express attached AND proposed Wide Format Scanner Policy & Waiver attached (***distributed at meeting**)
- Personnel Committee Meeting Minutes, 10/7/2020
- Planning Committee Meeting Minutes, 10/8/2020 w/revised Policy 1010 attached (***distributed at meeting**)
- Strategic Plan 2018-2022 Progress Report, September 9-October 7, 2020
- First Quarter Statistics, July-Sept 2020
- 2019-2020 CDL Annual Report
- Mission Statement
- Director's 6 month Evaluation
- Library Closing Calendar for 2021
- Closing Calendar Motion
- Resolution 2020-16, Revise Policy 1010, Cooperation with Libraries & Other Organizations
- Resolution 2020-17, Revise Policy 6003, Fixed Assets Capitalization
- Replacement copy of Policy 2020
- FY 2019-2020 Audit with Accountant Letter
- October 2020 Newsletter
- *Board & Administrator*, October 2020

To Do List 12/07/20



November 20, 2020

Ms. Polly Skolarus, Clerk
Township of Genoa
2911 Dorr Rd.
Brighton, MI 48116

Dear Ms. Skolarus:

We are committed to keeping you and our customers informed about changes to Xfinity TV services. Accordingly, please note that the distributor of El Rey Network informed Comcast that effective December 31, 2020 the channel will cease operation.

Additionally, pursuant to P.A. 480 of 2006, Section 9 (4), Comcast Cable's local operating entity hereby reports that Comcast does not deny access to services to any group of potential residential subscribers because of the race or income of the residents in the local area. A similar report has been filed with the Michigan Public Service Commission.

We are notifying impacted customers of these changes through a bill message.

Please feel free to contact me at 734-359-2308 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Kyle V. Mazurek".

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170

To Board 12/6/20



October 30, 2020

T2 P1407 *****AUTO**MIXED AADC 480

Genoa Township
2911 Dorr Road
Brighton, MI 48116-9436



Dear Franchise Official:

At Charter, locally known as Spectrum, we continue to enhance our services in order to offer more entertainment and communication choices, and to deliver the best value to our customers. We are committed to offering our customers with products and services we are sure they will enjoy.

Programming fees charged by TV networks we carry are the greatest single factor in higher cable prices, and continue to rise. Despite our best efforts to control these costs, this has resulted in a change in the rates we charge our customers.

Effective on or after December 2, 2020, the following monthly pricing changes will take effect for new customers only.

Services/Products/Equipment	Pricing Adjustment
Spectrum TV Silver	Will increase by \$5.00.
Spectrum TV Gold	Will increase by \$5.00.

Should you have any questions about this change, please feel free to contact me at (810) 652-1422.

Sincerely,

Karen Coronado

Karen Coronado
Manager, Charter State Government Affairs, Michigan
Charter Communications

Job Board 12/07/20

Polly

From: Adam VanTassell
Sent: Monday, November 30, 2020 10:37 AM
To: Mike Archinal; Polly
Subject: FW: County / Township Investments in Internet Infrastructure

From: Summer Ransom-Cleveland [mailto:Summer.Cleveland@genoa.township.mi.gov]
Sent: Sunday, November 29, 2020 11:49 AM
To: Adam VanTassell
Cc: Robyn Cleveland; Summer.Cleveland@genoa.township.mi.gov
Subject: County / Township Investments in Internet Infrastructure

Hello, my name is Summer Cleveland. I live at **2416 E. Coon Lake Trail**. We've lived here for 8 years. We are a family of 4. We have 2 kids in school.

We have always begrudging dealt with the fact that the **ONLY** internet service we are able to get out here is Satellite. This is not an actual viable internet option when you have 2 kids doing online/virtual learning and parents that should be able to work remotely (we are not able due to our lack of internet).

In 2020, it's deeply frustrating that we aren't able to get fiber, cable, or even DSL internet. We have had numerous companies out and none will install.

Young families will never relocate here if they can't get anything but Satellite internet. Satellite internet doesn't work for streaming, for zoom calls, for PS4 or PS5... we can't watch hulu, we can barely watch Netflix, and even emails take minutes to load... moving here from Ann Arbor almost a decade ago, continues to be a struggle as we're not able to live in a modern era. How is it that in the United States, amongst thousands of houses, in a neighborhood of families... we can't get cable or fiber internet?

Is there **ANYTHING** the township or county intends to do to bring us into the 21st century? A

We love our home but sadly have been looking into moving out of the township and into Brighton proper. More and more families will leave the township if nothing is done to support fiber or cable installation here.

We are at a loss for who to reach out to for help. I have reached out to an acquaintance from MLive to schedule a call to discuss the internet-availability frustrations within the state.

How are so many households unable to get what most 3rd world countries can get... viable internet.

Are there any updates or plans from the township to aid in ensuring cable/fiber optic internet is available to all and/or can I get a comment on behalf of the Twp./County regarding the residents that aren't able to access anything but satellite internet during a time when students and workers are being asked to use the internet from home?

I appreciate your time and reply.

Sincerely,

Summer Ransom-Cleveland, resident Genoa Twp.

To Board 12/07/20

Polly

From: Jeanine Bruce <jeanineb@johnsonwoodllc.com>
Sent: Wednesday, November 25, 2020 2:37 PM
To: Polly
Subject: RE: my vote

Thank you.

Jeanine Bruce-Asst. PM/Office Mgr.

Johnson & Wood, LLC
4500 Empire Way • Suite 2 • Lansing, MI 48917
P: 517.322.0000 • F: 517.322.9455 • C: 517.899.3330
[website](#) | [email](#) | [offices](#)



Confidentiality Note: This electronic message and any attachments ("message") is intended for use only by the individual or entity to which it is addressed and may contain information that is confidential, protected by the attorney-client privilege, and/or exempt from disclosure under applicable law. If you are not the intended recipient of this message, please reply to the sender that you received the message in error and delete all copies of the message from your computer and network. Dissemination, copying, or other use of this message by any person or entity other than the intended recipient is strictly prohibited.

From: Polly [<mailto:pskolarus@genoa.org>]
Sent: Wednesday, November 25, 2020 1:59 PM
To: Jeanine Bruce
Subject: Re: my vote

If you voted absent voter ballot, know that your vote was counted. There were approximately 9,300 absent voter ballots that were counted on Election Day by 18 poll workers. That was more than all the person who voted in person and stood in line. You made a great choice. Polly

Sent from my iPad

On Nov 25, 2020, at 8:14 AM, Jeanine Bruce <jeanineb@johnsonwoodllc.com> wrote:

Hi Polly,

Is there a way to check to see if my vote was counted?

**GENOA TOWNSHIP
SCHEDULE OF MEETINGS
January 1, 2021 thru December 31, 2021**

Meetings will be held at the Genoa Township Hall located at 2911 Dorr Road. The Township Board meets at 6:30 p.m., the Zoning Board of Appeals meet at 6:30 p.m. The Planning Commission meets at 6:30 p.m.

Regular meetings of the Township Board are generally scheduled for the first and third Monday of every month. The Planning Commission generally meets the second and if necessary, the fourth Monday; and the Zoning Board of Appeals usually meets the third Tuesday of each month. Holidays will occasionally disrupt the meeting schedules.

TOWNSHIP BOARD SCHEDULE

January 4, 2021	July 19, 2021
February 1 & 15, 2021	August 2 & 16, 2021
March 1 & 15, 2021	September 20, 2021
April 5 & 19, 2021	October 4 & 18, 2021
May 3 & 17, 2021	November 1 & 15, 2021
June 7 & 21, 2021	December 6, 2021

PLANNING COMMISSION SCHEDULE

January 11, 2021	July 12, 2021
February 8, 2021	August 9, 2021
March 8, 2021	September 13, 2021
April 12, 2021	October 12, 2021(Tuesday)
May 10, 2021	November 8, 2021
June 14, 2021	December 13, 2021

ZONING BOARD OF APPEALS SCHEDULE

January 19, 2021	July 20, 2021
February 16, 2021	August 17, 2021
March 16, 2021	September 21, 2021
April 20, 2021	October 19, 2021
May 18, 2021	November 16, 2021
June 15, 2021	December 14, 2021

BOARD OF REVIEW

March 2, 2021	July 20, 2021
March 8 & 9, 2021	Dec. 14, 2021

Signed: Paulette A. Skolarus
Genoa Township Clerk

Notice Posted on Front Display
Dec. 6, 2020 thru Dec. 31, 2021

(Policy/schedule of meetings 2021)

Date: Dec. 6, 2020

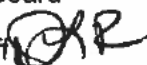
To: Genoa Township Staff
From: Polly Skolarus & Robin Hunt

For your records the following holidays are scheduled for 2021:

Floating Holiday	Anytime
New Year's Day	January 1, 2021
Martin Luther King Day	January 18, 2021
Good Friday	April 2, 2021
Memorial Day	May 31, 2021
Independence Day	July 5, 2021
Labor Day	September 6, 2021
Columbus Day	October 11, 2021
Veteran's Day	November 11, 2021
Thanksgiving Day	November 25, 2021
Friday following Thanksgiving	November 26, 2021
Christmas	December 23, 2021
Christmas Eve	December 24, 2001
New Year's	December 30, 2021
New Year's Eve	December 31, 2021

Policy/holidays 2021

Memo

To: Genoa Charter Township Board
From: Assessing Department staff 
Date: December 7, 2020
Re: Assessing Department state AMAR (Audit)

On August 24, 2020 the Assessing Department underwent the Audit of Minimum Assessing Requirements (AMAR). This AMAR is done by the State of Michigan to make sure our department is compliant with the state guidelines. I have attached a copy of the report for your information. Genoa Township is compliant on all levels of the audit and scored 100% with no corrections needed to follow up with the State.

This would not have been possible if it weren't for the incredible, hardworking and detailed staff in the Assessing Department.



STATE OF MICHIGAN
DEPARTMENT OF TREASURY
LANSING

GRETCHEN WHITMER
GOVERNOR

RACHAEL EUBANKS
STATE TREASURER

November 12, 2020

Bill Rogers, Supervisor
Genoa Township, Livingston County
2911 Dorr Road
Brighton, MI 48116

Dear Bill Rogers:

Tax Management Associates recently conducted an Audit of Minimum Assessing Requirements (AMAR) on behalf of the State Tax Commission in your local unit. Following is a summary of the audit findings:

Review Item	Requirement Met (Yes/No)
Does the local unit have proper ECF's?	Yes
Does the local unit have proper land value determinations?	Yes
Does the true cash value on the record cards match the assessment roll?	Yes
Does the local unit conduct an annual personal property canvass?	Yes
Did the local unit properly process any Small Business Taxpayer Exemptions that were received?	Yes
Does the local unit have poverty exemption guidelines?	Yes
Do the local unit poverty exemption guidelines include an asset test?	Yes
Did the Board of Review meet the statutory requirements in granting poverty exemption and follow local unit policies?	Yes
Did the July/December Board of Review meet their statutory requirements?	Yes
Did the local unit meet the requirements of MCL 211.27b regarding failure to file a Property Transfer Affidavit?	Yes

A copy of the AMAR Review with detailed comments regarding each item, is enclosed. An electronic version of the form, which includes links that provide more specific information regarding each requirement is available on the State Tax Commission's website at www.michigan.gov/statetaxcommission.

Please provide a corrective action plan no later than **December 18, 2020** outlining how each requirement that was not met will be corrected, as well as specific dates when the deficiency will be corrected. Please note that specific dates are required so that we may determine the date of

AMAR Review
Page 2
November 12, 2020

any necessary follow up review. Failure to submit a plan to correct each item **and** a date by which item will be corrected will result in the rejection of your corrective action plan.

The 2020 AMAR review includes several background questions that are designed to gather information and to ensure that local units review their policies and procedures as it relates to exemptions, PRE denials, forms filed with County Equalization and statistical information. We ask that local units review this information, particularly where an item was marked no, and discuss these issues with their assessor. No corrective action plan on these items is required, however they will be checked again at the follow up review.

If you have any questions, please do not hesitate to contact me at 517-335-3429.

Sincerely,



William Gast, Specialist
Michigan Department of Treasury

Enc: AMAR Review

Cc: Genoa Township Clerk
Genoa Township Assessor
Equalization Director

Michigan State Tax Commission
Audit of Minimum Assessing Requirements
AMAR Review Sheet

The State Tax Commission, per MCL 211.10f, has jurisdiction to determine substantial compliance with the requirements of the General Property Tax Act. The AMAR review reflects the minimum assessing requirements of a local unit of government based on statute and STC Rules, Policy, Bulletins and Publications. Local units of government that do not meet one or more of the minimum requirements must submit a corrective action plan detailing how and when the deficiencies will be resolved.

Failure to submit an acceptable corrective action plan, or failure to resolve the deficiencies as outlined within the corrective action plan that is approved by the State Tax Commission, will result in a determination of substantial non-compliance and may result in the State Tax Commission assuming jurisdiction of the assessment roll of the local unit of government. Failure to meet one or more of the minimum AMAR requirements does not automatically result in State Tax Commission assumption of jurisdiction of the assessment roll.

Local Unit Background Information:

Year of Audit: 2020

Name of Local Unit: Genoa Township

Name of County: Livingston County

Name of Assessor: Debra L. Rojewski

Assessor Certification Level: MAAO

Name of Supervisor, City Manager or Mayor: Bill Rogers

Title: Supervisor

Mailing Address for Supervisor, City Manager, or Mayor:

2911 Dorr Road Brighton, MI 48116

What date did the assessor certify the assessment roll? 03/03/2020

What is the Residential Coefficient of Dispersion (COD) for the local unit? 13.11

Assessor had 726 valid sales to calculate a Residential COD of 13.11.

What is the Residential Price Related Differential (PRD) for the local unit? 00.99

Assessor had 726 valid sales to calculate a Residential PRD of 0.99.

Does the L-4022 in possession of the local unit match the L-4022 in possession of the County Equalization Director and the information uploaded on the L-4023 on the E-File Site? YES: NO:

The local unit's L-4022 signed and dated 3-12-20 matches the L-4022 in possession of the County Equalization Director and the information uploaded on the L-4023 on the E-File Site. 8,190 total real parcels with a total assessed value of 1,492,009,968

MCL 211.7cc requires interest at a rate of 1.25% per month or fraction of a month to be charged to the owner of property that has been issued a PRE denial notice. Upon collecting the interest, MCL 211.7cc also details the required distribution of the interest depending on the governmental unit that issued the denial notice. Was Form 4142 completed and submitted to the Michigan Department of Treasury by a County, City or Township when the State's portion of PRE denial interest is remitted?

YES: NO:

Unit had 9 PRE denial notices issued for 2020 and 1 includes prior year(s). Form 4142 was not completed by the County Treasurer, as it's not been paid.

Does the local unit have written procedures, including audit procedures, for determining how to grant real property exemptions or remove real property exemptions when the property no longer qualifies for the exemption?

YES: NO:

Unit adopted Resolution No. 190819 on 8-19-19 as Procedures for Granting and Removing Real Property Exemptions with an application and list of documents for determining real property exemptions. Assessor is to grant or deny.

Does the local unit have accurate Land Value Maps that meet State Tax Commission Land Value Map Publications?

Requirement Met? YES: NO:

Notes:

Assessor had a large map color coded by neighborhood with a matching legend and land value rates listed. Sales were numbered on another map to match a spreadsheet of detailed information listed on the left side of the map.

Assessment Roll Analysis:

1. Does the local unit have properly calculated and appropriately documented Economic Condition Factors that meet State Tax Commission requirements per MCL 211.10e and STC ECF Publications?

Requirement Met? YES: ✓ NO:

Notes:

Assessor had properly calculated and appropriately documented ECF studies for the agricultural, commercial, industrial and residential classes. The commercial and industrial classes are reviewed with other areas.

2. Does the local unit have Land Value Determinations that are appropriately documented, properly calculated and meet State Tax Commission requirements per MCL 211.10e and State Tax Commission Land Value Determination Publications and less than 1% land adjustments without reason?

Requirement Met? YES: ✓ NO:

Notes:

Unit has 0 parcels with a land adjustment and no reason. 117 total adjustments. Land value analysis was performed and was reviewed during the interview. It was appropriate with documented sales and analysis of front foot rates, site value, square foot rates or acreage rates for all property classes in the unit.

3. Does the true cash value on the local unit record cards agree with the true cash value indicated on the assessment roll with less than 1% overrides and less than 1% flat land values – excluding DNR PILT Property (STC Policy)?

Requirement Met? YES: ✓ NO:

Notes:

Unit has 0 parcels on override. Unit has 0 flat land values.

4. Personal Property Review:

- a) Does the local unit conduct an annual personal property canvass?

YES: NO:

Unit has Personal Property Canvass Procedures with a list of items to conduct an annual personal property canvass.

- b) Did the local unit grant any exemptions under MCL 211.9o (Small Business Taxpayer Exemption)?

YES: NO:

Unit has 844 personal property parcels. 566 have the Form 5076 Accepted, granting an exemption.

- c) If the answer to item 4b is yes, does a sampling indicate the local unit properly processed the exemptions received? This includes: Form 5076 filled out completely, timely received and received annually. If Form 5076 is not received the exemption is removed, parcel number created for any business that was granted an exemption, ensuring that a parcel with the exemption is not retired, all locations within the local unit are considered when granting the exemption.

Requirement Met? YES: NO:

Notes:

Based upon a sample, Form 5076 was filled out and timely received (date stamp was on or before Feb 20).

5. Review of Exemptions Granted under MCL 211.7u (poverty exemptions)

- a) Did the local unit grant any exemptions under MCL 211.7u (Poverty Exemption)?

YES: NO:

Unit had 3 Poverty Exemptions granted by the MBOR.

- b) Does the local unit have proper poverty exemption guidelines?

YES: NO:

Unit adopted poverty exemption guidelines on 2-3-20 with Federal income guidelines, the affidavit if tax returns are not filed and an application.

c) Does the local unit poverty exemption guidelines include a proper asset level test? YES: NO:

The asset level test is not to exceed \$10,000 + dividend income < \$500.

d) Does a sampling of the exemptions granted under MCL 211.7u indicate that the statutory requirements were met and that the local unit policy was followed?

Requirement Met? YES: NO:

Notes:

Unit had 3 Poverty & 26 Veteran Exemptions granted by the MBOR. Local unit policy was followed when granting an exemption.

6. Does a sample of the July and December Board of Review actions indicate the Board met the requirements of MCL 211.53b and considered only those items over which they have statutory authority?

Requirement Met? YES: NO:

Notes:

JBOR and DBOR actions indicate the Board met the requirements on those items which they have statutory authority. JBOR and DBOR each granted prior year(s) PRE requests, qualified errors, poverty and veteran exemptions.

7. Does the local unit follow the requirements under MCL 211.27b to levy the interest and penalty for failure to file a Property Transfer Affidavit?

Requirement Met? YES: NO:

Notes:

Unit had 785 transfers, 46 did not have a PTA and 18 had the PTA filed after 45 days. There was no penalty was billed.

If waived, did the local unit waive the interest and penalty by resolution and is that resolution kept on file?

Requirement Met? YES: ✓ NO:

Notes:

Unit adopted Resolution No. 171120 on 11-20-17 to Waive Penalty and Interest Fees for Failure to File a Property Transfer Affidavit. Resolution is kept on file.

Comments:

I hereby declare that the foregoing information submitted is a complete and true statement.

Al Consiglio

Signature

08/24/2020

Date

By checking this box, I agree and confirm that the signature I have typed above is the electronic representation of my original, handwritten signature when used on this document and creates a legally-binding contract. I further understand that signing this document using my electronic signature will have the same legally-binding effect as signing my signature using pen and paper.