

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting and Public Hearing
July 6, 2020
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: June 15, 2020

Approval of Regular Agenda:

3. Introduction, first reading and authorization of statutory notice for a public hearing on July 20, 2020 of a proposed rezoning (Ordinance No. Z-20-02) concerning approximately 46.5 acres located at 3850 Golf Club Road, Howell for parcel #4711-05-200-002. The requested rezoning is from Rural Residential (RR) to Low Density Residential (LDR). The request is petitioned by Bible Baptist Church.

4. Consideration of a recommendation for approval of a rezoning (adoption of Ordinance Z-20-01), PUD Agreement, Impact Assessment and conceptual PUD Plan for a proposed rezoning request from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development (RDPUD) overlay located at 4525 and 4533 E. Grand River Avenue and 1098 Lawson Drive on the northwest corner of Grand River Avenue and Lawson Drive. The request is for the following parcels: 4711-09-200-005, 010, 014, 015, 016 and 017. The request is petitioned by BMH Realty, LLC.

- A. Public hearing and adoption of Ordinance Z-20-01 to rezone parcels 4711-09-200-005, 010, 014, 015, 016 and 017 to GCD/RDPUD. (ROLL CALL)
- B. Disposition of PUD Agreement received on June 3, 2020.
- C. Disposition of Environmental Impact Assessment received February 19, 2020 and dated December 27, 2019.
- D. Disposition of Conceptual PUD Plan received on June 8, 2020.

5. Consider approval of an amendment to Resolution #190204B including a budget amendment.
 - A. To designate and set aside funds in the amount of \$242,418 for the support of a Transportation Alternatives grant for Grand River Phase VII Pathway.
 - B. Approval of a budget amendment.

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: July 6, 2020

TOWNSHIP GENERAL EXPENSES: Thru July 6, 2020	\$240,081.15
June 26, 2020 Bi Weekly Payroll	\$102,427.67
OPERATING EXPENSES: Thru July 6, 2020	\$492,176.58
TOTAL:	<u>\$834,685.40</u>

Check Date	Check	Vendor Name	Amount
Bank FNBCK CHECKING ACCOUNT			
06/12/2020	36015	AMERICAN AQUA	127.34
06/12/2020	36016	BRIGHTON ANALYTICAL LLC	70.00
06/12/2020	36017	COMCAST	1,338.87
06/12/2020	36018	CONSUMERS ENERGY	188.39
06/12/2020	36019	COOPER'S TURF MANAGEMENT LLC	1,341.00
06/12/2020	36020	DTE ENERGY	197.83
06/12/2020	36021	DTE ENERGY	81.21
06/12/2020	36022	DTE ENERGY	1,021.06
06/12/2020	36023	DYKEMA GOSSETT, PLLC	333.00
06/12/2020	36024	EHIM, INC	1,944.67
06/12/2020	36025	EHIM, INC	612.00
06/12/2020	36026	EHIM, INC	12,000.92
06/12/2020	36027	LIVINGSTON PRESS & ARGUS	110.00
06/12/2020	36028	GIFFELS WEBSTER	6,880.00
06/12/2020	36029	GORDON FOOD SERVICE	247.20
06/12/2020	36030	HOWELL GUN CLUB	300.00
06/12/2020	36031	KNOCK'EM OUT PEST CONTROL	195.00
06/12/2020	36032	LEO'S CUSTOM SPRINKLER SERVICE INC	440.30
06/12/2020	36033	MASTER MEDIA SUPPLY	653.77
06/12/2020	36034	MICHIGAN OFFICE SOLUTIONS	160.94
06/12/2020	36035	MMRMA	23,976.12
06/12/2020	36036	MUTUAL OF OMAHA	2,091.39
06/12/2020	36037	OFFICE EXPRESS INC.	175.90
06/12/2020	36038	PERFECT MAINTENANCE CLEANING	565.00
06/12/2020	36039	PRINTING SYSTEMS	5,095.25
06/12/2020	36040	QUADIENT FINANCE USA, INC	2,500.00
06/12/2020	36041	SAFEBUILT STUDIO	864.00
06/12/2020	36042	SECURITY LOCK SERVICE,, INC	130.00
06/12/2020	36043	SEWARD HENDERSON PLLC	5,766.52
06/12/2020	36044	TETRA TECH INC	1,000.00
06/12/2020	36045	TRI COUNTY SUPPLY, INC.	27.00
06/17/2020	36046	BLUE CROSS & BLUE SHIELD OF MI	29,694.53
06/17/2020	36047	BRANDON VANMARTER	75.00
06/17/2020	36048	BUSINESS IMAGING GROUP	859.89
06/17/2020	36049	ETNA SUPPLY COMPANY	10,585.00
06/17/2020	36050	LIVINGSTON PRESS & ARGUS	500.00
06/17/2020	36051	GENOA TOWNSHIP D.P.W. FUND	65.45
06/17/2020	36052	MASTER MEDIA SUPPLY	222.98
06/17/2020	36054	SAFEBUILT STUDIO	432.00
06/17/2020	36055	HOWELL TRUE VALUE HARDWARE	7.99
06/17/2020	36056	US BANK EQUIPMENT FINANCE	1,931.57
06/17/2020	36057	VERIZON WIRELESS	890.01
06/18/2020	36053		0.00
		Void Reason: CHECK JAM	
06/18/2020	36058	ADVANCED DISPOSAL	90,614.32
06/18/2020	36059	GENOA TOWNSHIP D.P.W. FUND	47.83
06/18/2020	36060	GENOA TOWNSHIP ESCROW	3,495.00
06/18/2020	36061	MASTER MEDIA SUPPLY	62.64
06/18/2020	36062	WEST SHORE SERVICES, INC.	425.00
06/24/2020	36063	BIG BARNEY'S	200.00
06/24/2020	36064	CHASE CARD SERVICES	382.79
06/24/2020	36065	COMCAST	251.67
06/24/2020	36066	DELTA DENTAL	3,793.76
06/24/2020	36067	ESRI	9,600.00
06/24/2020	36068	FEDERAL EXPRESS	41.47
06/24/2020	36069	FIRST ROW INC.	2,500.00
06/24/2020	36070	ICMA	779.53
06/24/2020	36071	MARY KRENCICKI	18.40
06/24/2020	36072	LAKESIDE SERVICE COMPANY, INC	1,710.00
06/24/2020	36073	LIVINGSTON COUNTY REGISTER OF DEEDS	30.00
06/24/2020	36074	LINDA GALLERANI	75.67
06/24/2020	36075	MASTER MEDIA SUPPLY	346.46
06/24/2020	36076	MUTUAL OF OMAHA	2,088.59
06/24/2020	36077	QUADIENT FINANCE USA, INC	75.94
06/24/2020	36078	RELIABLE LANDSCAPING INC	520.00
06/24/2020	36079	SEWARD HENDERSON PLLC	3,136.00
06/24/2020	36080	TRI COUNTY SUPPLY, INC.	122.12
06/24/2020	36081	USA BLUEBOOK	172.75
06/24/2020	36082	WALMART COMMUNITY	189.50
06/24/2020	36083	WEST SHORE SERVICES, INC.	557.70
06/26/2020	36084	MICHAEL ARCHINAL	500.00
06/26/2020	36085	BRANDON VANMARTER	75.00
06/26/2020	36086	BUSINESS IMAGING GROUP	157.97
06/26/2020	36087	DELUXE	400.65
06/26/2020	36088	MICHIGAN OFFICE SOLUTIONS	211.31
06/29/2020	36089	UNITED STATES POSTAL SERVICE	1,799.98

Total of 75 Checks:
Less 1 Void Checks:

3
240,081.15
0.00

Check Register Report For Genoa Charter Township
For Check Dates 06/26/2020 to 06/26/2020

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
06/26/2020	FNBCK	13164	FONS, CRAIG	180.91	167.07	0.00	Open
06/26/2020	FNBCK	13165	WENNERBERG, VIRGINIA M	100.00	89.67	0.00	Open
06/26/2020	FNBCK	13166	WOODY, PRUDENCE M	35.00	35.00	0.00	Open
06/26/2020	FNBCK	EFT464	FLEX SPENDING (TASC)	826.79	826.79	0.00	Open
06/26/2020	FNBCK	EFT465	PRINCIPAL FINANCIAL	3,281.00	3,281.00	0.00	Open
06/26/2020	FNBCK	EFT466	PRINCIPAL FINANCIAL	2,181.07	2,181.07	0.00	Open
06/26/2020	FNBCK	EFT467	INTERNAL REVENUE SERVICE	24,239.83	24,239.83	0.00	Open

Totals:		Number of Checks: 007	30,844.60	30,820.43	0.00
Total Physical Checks:		3		Dir. Dep.	
Total Check Stubs:		4		<u>71,607.24</u>	

\$102,427.67

Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
06/11/2020	4913	BRIGHTON ANALYTICAL LLC	555.00
06/11/2020	4914	CONSUMERS ENERGY	215.79
06/11/2020	4915	DTE ENERGY	2,352.18
06/11/2020	4916	DTE ENERGY	2,405.07
06/11/2020	4917	MMRMA	1,610.50
06/11/2020	4918	MMRMA	3,025.78
06/17/2020	4919	AMERICAN AQUA	111.68
06/17/2020	4920	AT&T LONG DISTANCE	86.31
06/17/2020	4921	AT&T	203.46
06/17/2020	4922	CORRPRO	730.00
06/17/2020	4923	BRIGHTON ANALYTICAL LLC	2,322.54
06/17/2020	4924	COOPER'S TURF MANAGEMENT LLC	4,238.00
06/17/2020	4925	DUBOIS-COOPER	720.00
06/17/2020	4926	ETNA SUPPLY COMPANY	5,664.16
06/17/2020	4927	GENOA TOWNSHIP D.P.W. FUND	45,522.45
06/17/2020	4928	GENOA TOWNSHIP D.P.W. FUND	69.72
06/17/2020	4929	GENOA OCEOLA SEWER AUTHORITY	78.86
06/17/2020	4930	GENOA TWP DPW FUND	474.39
06/17/2020	4931	K & J ELECTRIC, INC.	90.00
06/17/2020	4932	KENNEDY INDUSTRIES	183.00
06/17/2020	4933	NORTHERN PUMP & WELL	750.00
06/17/2020	4934	NORTHWEST PIPE & SUPPLY	540.45
06/17/2020	4935	PRECISON CLIMATE SERVICES INC.	1,332.91
06/17/2020	4936	TETRA TECH INC	1,120.50
06/17/2020	4937	TLS CONSTRUCTION	4,045.50
06/17/2020	4938	UNITED STATES PLASTIC CORP.	79.10
06/17/2020	4939	WATER SOLUTIONS UNLIMITED, INC	1,985.00
06/23/2020	4940	AT&T LONG DISTANCE	51.38
06/23/2020	4941	BRIGHTON ANALYTICAL LLC	1,211.00
06/24/2020	4942	BRIGHTON ANALYTICAL LLC	504.00
06/29/2020	4943	CONSUMERS ENERGY	232.06

592FN TOTALS:

Total of 31 Checks:	82,510.79
Less 0 Void Checks:	0.00
Total of 31 Disbursements:	82,510.79

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
06/11/2020	4974	GENOA TOWNSHIP	350,000.00
06/11/2020	4975	MMRMA	19,431.38
06/11/2020	4976	SPIRIT OF LIVINGSTON	449.42
06/11/2020	4977	TRACTOR SUPPLY CO.	197.95
06/11/2020	4978	WEX BANK	2,566.34
06/11/2020	4979	WINDSTREAM	43.50
06/12/2020	4980	ASCENSION MICHIGAN	30.00
06/12/2020	4981	UNITED STATES POSTAL SERVICE	40.00
06/12/2020	4982	UNITED STATES POSTAL SERVICE	155.04
06/16/2020	4983	ADVANCE AUTO PARTS	140.13
06/16/2020	4984	AUTO-LAB OF LIVINGSTON	150.44
06/16/2020	4985	GIFFELS WEBSTER	2,040.00
06/16/2020	4986	PORT CITY COMMUNICATIONS, INC.	174.48
06/16/2020	4987	RANDY'S SERVICE STATION	20.00
06/16/2020	4988	RED WING BUSINESS ADVANTAGE ACCOUNT	375.98
06/16/2020	4989	TETRA TECH INC	1,783.50
06/16/2020	4990	USA BLUEBOOK	203.82
06/16/2020	4991	VERIZON WIRELESS	740.01
06/16/2020	4992	VICTORY LANE QUICK OIL CHANGE	102.96
06/16/2020	4993	CHASE CARD SERVICES	4,574.65
06/17/2020	4994	NOZZ TEQ INC.	319.00
06/23/2020	4995	HOME DEPOT CREDIT SERVICES	2,448.56

503FN TOTALS:

Total of 22 Checks:	385,987.16
Less 0 Void Checks:	0.00
Total of 22 Disbursements:	385,987.16

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
06/11/2020	3785	BRIGHTON ANALYTICAL LLC	670.00
06/11/2020	3786	CONSUMERS ENERGY	131.06
06/11/2020	3787	DTE ENERGY	3,181.68
06/11/2020	3788	MMRMA	1,423.22
06/16/2020	3789	BRIGHTON ANALYTICAL LLC	67.00
06/16/2020	3790	COOPER'S TURF MANAGEMENT LLC	583.00
06/16/2020	3791	GENOA TOWNSHIP D.P.W. FUND	145.69
06/16/2020	3792	GENOA TOWNSHIP D.P.W. FUND	406.58
06/16/2020	3793	GENOA OCEOLA SEWER AUTHORITY	157.72
06/16/2020	3794	GENOA TWP DPW FUND	8.55
06/16/2020	3795	GENOA TOWNSHIP DPW FUND	11,937.91
06/24/2020	3796	BRIGHTON ANALYTICAL LLC	67.00
06/24/2020	3797	CONSUMERS ENERGY	14.00
06/29/2020	3798	BRIGHTON ANALYTICAL LLC	254.50
06/29/2020	3799	GENOA TOWNSHIP DPW FUND	1,027.94
593FN TOTALS:			
Total of 15 Checks:			20,075.85
Less 0 Void Checks:			0.00
Total of 15 Disbursements:			20,075.85

Check Date	Check	Vendor Name	Amount
Bank 595FN PINE CREEK OPERATING FUND #595			
06/29/2020	2229	GENOA TOWNSHIP DPW FUND	3,602.78
595FN TOTALS:			
Total of 1 Checks:			3,602.78
Less 0 Void Checks:			0.00
Total of 1 Disbursements:			3,602.78



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Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

June 2020						
S	M	T	W	T	F	S
31	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	1	2	3	4
5	6	7	8	9	10	11

New Balance
\$151.77
 Minimum Payment Due
\$30.00
 Payment Due Date
06/10/20

MAILED
 36011 5-26-2020
 \$ 151.77

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, call the number on the back of your card or go to the web site listed above.

ACCOUNT SUMMARY

Account Number: [REDACTED]

Previous Balance	\$482.99
Payment, Credits	-\$779.94
Purchases	+\$448.72
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$151.77

Opening/Closing Date	04/17/20 - 05/16/20
Credit Limit	\$20,000
Available Credit	\$19,848
Cash Access Line	\$4,000
Available for Cash	\$4,000

Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

ENTERED MAY 22 2020

OK
[Signature]
 5/21/20

ENTERED MAY 22 2020

ENTERED MAY 22 2020

YOUR ACCOUNT MESSAGES

If you experience COVID-19 related mail delivery disruptions, remember you can always access your statements on chase.com or the Chase Mobile App.



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Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
04/21	AMZN Mktp US Amzn.com/bill WA	-264.00 <i>R&M</i>
05/02	Payment ThankYou Image Check	-482.99
05/04	LANDS END BUS OUTFITTERS DODGEVILLE WI	-32.95 <i>OS</i>
04/19	AMZN Mktp US*OM7AV2Q33 Amzn.com/bill WA	62.94 <i>R&M</i>
04/28	Amazon.com*SB6UD71T3 Amzn.com/bill WA	88.08 <i>R-M</i>
04/29	AMZN Mktp US*4E9T999V3 Amzn.com/bill WA	64.89 <i>R&M</i>
04/30	AMZN Mktp US*BV3VQ8963 Amzn.com/bill WA	52.52 <i>R&M</i>
05/05	LANDS END BUS OUTFITTERS 800-332-4700 WI MICHAEL C ARCHINAL TRANSACTIONS THIS CYCLE (CARD 3223) \$331.22- INCLUDING PAYMENTS RECEIVED	180.29 <i>OS</i>

2020 Totals Year-to-Date	
Total fees charged in 2020	\$0.00
Total interest charged in 2020	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

30 Days in Billing Period

(v) = Variable Rate
(d) = Daily Balance Method (including new transactions)
(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

R&M \$ 44.3 101-265-775 000

OFFICE SUPPLIES \$ 147.34 101-284-727 000



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July 2020

	M	T	W	T	F	S
8	29	30	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	1
2	3	4	5	6	7	8

New Balance **\$382.79**

Minimum Payment Due **\$76.00**

Payment Due Date **07/10/20**

late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

Minimum Payment Warning: Enroll in Auto-Pay and avoid missing payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number:	[REDACTED]	
Previous Balance		\$151.77
Payment, Credits		-\$151.77
Purchases		+\$382.79
Cash Advances		\$0.00
Balance Transfers		\$0.00
Fees Charged		\$0.00
Interest Charged		\$0.00
New Balance		\$382.79
Opening/Closing Date	05/17/20 - 06/16/20	
Credit Limit		\$20,000
Available Credit		\$19,617
Cash Access Line		\$4,000
Available for Cash		\$4,000
Past Due Amount		\$0.00
Balance over the Credit Limit		\$0.00

MAILED
 36064 6-25-20
 382.79

ENTERED JUN 24 2020

YOUR ACCOUNT MESSAGES

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Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
05/24	Payment ThankYou Image Check	-151.77
05/29	MSU PAYMENTS 517-355-5023 MI	25.00
05/30	AMZN Mktp US*M710H7W80 Amzn.com/bill WA	52.47
05/29	AMZN Mktp US*M78PV3DT2 Amzn.com/bill WA	16.95
05/29	LOWES #00779* HOWELL MI	19.59
06/01	REALCOMP II LTD 248-553-3003 MI	201.00
06/02	ZOOM.US 888-799-9666 CA	15.89
06/09	AMZN Mktp US*MY7OG0QC0 Amzn.com/bill WA	13.77
06/11	AMZN Mktp US*MY38E8RX1 Amzn.com/bill WA MICHAEL C ARCHINAL TRANSACTIONS THIS CYCLE (CARD 3223) \$231.02 INCLUDING PAYMENTS RECEIVED	38.12

2020 Totals Year-to-Date	
Total fees charged in 2020	\$0.00
Total interest charged in 2020	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	19.24%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

- (v) = Variable Rate
- (d) = Daily Balance Method (including new transactions)
- (a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

RAM 140.90 101-265-1175-000
 DUES \$ 201.00 101-284-957-000
 SITE PLAN 15.89 101-241-801-000
 Meeting Fee 25.00 101-284-958-000



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Customer Service: 1-800-945-2028

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July 2020						
S	M	T	W	T	F	S
28	29	30	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	1
2	3	4	5	6	7	8

New Balance
\$4,574.65
 Minimum Payment Due
\$45.00
 Payment Due Date
07/01/20

INK CASH(SM) POINT SUMMARY

Previous points balance	23,646
+ 1 Point per \$1 earned on all purchases	4,575
+ 2Pts/\$1 gas stns, rstnts, ofc sply, hm impr	2,609
Total points available for redemption	30,830

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.
Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, go to www.chase.com

ACCOUNT SUMMARY

Account Number: [REDACTED]

Previous Balance	\$4,545.40
Payment, Credits	-\$4,545.40
Purchases	+\$4,574.65
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$4,574.65
Opening/Closing Date	05/08/20 - 06/07/20
Credit Limit	\$20,000
Available Credit	\$15,425
Cash Access Line	\$4,000
Available for Cash	\$4,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

MAILED
 4993 6-17-2020
 4574.65

ENTERED JUN 16 2020

ALL SYS
 UTILITY DEPT
 JUN 15 2020
 RECEIVED

503-000-084-000
 JLT
 6-16-2020

YOUR ACCOUNT MESSAGES

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Manage your account online at : www.chase.com/cardhelp

Customer Service: 1-800-945-2028

Mobile: Download the Chase Mobile® app today

ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
05/10	AWWA.ORG 303-347-6197 CO <i>DPW prof dev</i>	83.00 ✓
05/10	AMZN Mktp US*DU7YE4KZ3 Amzn.com/bill WA <i>MHOG</i>	78.00 ✓
05/11	LOWES #00779* HOWELL MI <i>MHOG</i>	20.12 ✓
05/11	LOWES #00779* HOWELL MI <i>MHOG</i>	62.14 ✓
05/20	MEIJER # 172 HOWELL MI <i>MHOG</i>	8.46 ✓
06/05	GarminIntl 913-3978200 KS <i>DPW-truck</i>	36.02 ✓
06/05	WAL-MART #1754 HOWELL MI <i>DPW-office</i>	26.68 ✓
06/05	LOWES #00779* HOWELL MI <i>MHOG</i> ALEX CHIMPOURAS TRANSACTIONS THIS CYCLE (CARD 2501) \$488.26	173.84 ✓
05/20	360 WATER INC 614-294-3600 OH <i>DPW training</i>	30.00 ✓
06/03	THE UPS STORE #3239 HOWELL MI <i>G.O</i> JAMES AULETTE TRANSACTIONS THIS CYCLE (CARD 7653) \$42.28	12.28 ✓
05/22	OFFICEMAX/DEPOT 6869 800-463-3768 IL <i>DPW-office</i>	95.39 ✓
05/26	OFFICEMAX/DEPOT 6869 800-463-3768 IL <i>DPW-office</i> KIMBERLY LANE TRANSACTIONS THIS CYCLE (CARD 4797) \$1143.69	1,048.30 ✓
05/22	Payment ThankYou Image Check	-4,545.40
05/18	HAROLDS FRAME SHOP 248-349-7550 MI <i>DPW-truck Vector</i>	850.54 ✓
05/18	BRIGHTON CHRYSLER DODGE J BRIGHTON MI <i>DPW-truck</i>	84.28 ✓
06/04	RINGCENTRAL, INC 650-4724100 CA <i>DPW-office phone</i>	65.60 -
06/04	AIS CONSTRUCTION EQUIP 616-538-2400 MI <i>G.O</i> GREG TATARA TRANSACTIONS THIS CYCLE (CARD 9747) \$1644.98- INCLUDING PAYMENTS RECEIVED	1,900.00 ✓

2020 Totals Year-to-Date	
Total fees charged in 2020	\$0.00
Total interest charged in 2020	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.24%(v)(d)	- 0 -	- 0 -
CASH ADVANCES			
Cash Advances	24.99%(v)(d)	- 0 -	- 0 -
BALANCE TRANSFERS			
Balance Transfer	13.24%(v)(d)	- 0 -	- 0 -

31 Days in Billing Period

(v) = Variable Rate
(d) = Daily Balance Method (including new transactions)
(a) = Average Daily Balance Method (including new transactions)

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.

**GENOA CHARTER TOWNSHIP BOARD
ELECTRONIC MEETING NOTICE**

JUNE 15, 2020

Reason: As a result of the Executive Order 2020-42 and the Covid-19 (Coronavirus) June 15, 2020 at 6:30 p.m. will be held electronically to avoid the spread and potential contact with the virus.

Procedures: Public wishing to address the Board to provide input or ask questions on any business on the agenda may participate in the call to the public by calling 810-227-5225 or by emailing questions to: info@genoa.org.

Disabilities: Persons with a disability may participate with the use of an attendant or by requesting, in advance, accommodations to participate in the meeting.

**GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
June 15, 2020**

MINUTES

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and three persons attending the electronic meeting who addressed the board.

A Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Mortensen and supported by Lowe to approve all items under the consent agenda as requested, and move the Minutes of the May 18, 2020 meeting to the Regular Agenda for further discussion. The motion carried unanimously

1. Payment of Bills.

2. Request to Approve Minutes: May 18, 2020 (moved to regular agenda for further discussion).

3. Request for approval of a fireworks display on Lake Chemung on June 27, 2020 as submitted by Chris Bonk.

4. Request for approval of a fireworks display at Oak Pointe Country Club on July 3, 2020 as submitted by Michael Freeland of Ace Pyro Inc.

5. Request for approval of a fireworks display at 4127 Clifford Road on July 4, 2020 as submitted by Cal Heckman.

Approval of Regular Agenda:

Moved by Ledford and supported by Lowe to approve for action all items requested on the Regular Agenda. The motion carried unanimously.

2. Request to Approve Minutes: May 18, 2020 (moved from Consent Agenda).

Moved by Lowe and supported by Croft to correct the May 18, 2020 minutes to read “Archinal – Advanced Disposal is back to full staff.” The motion carried unanimously.

6. Request to approve HRC, Inc. proposal for design of the Oak Pointe WTP Iron Removal Filter backwash replacement project as request by Greg Tatara, Utility Director.

Dr. Tatara addressed the board with an overview of the project. Moved by Lowe and supported by Hunt to approve the HRC, Inc. proposal for design of the Oak Pointe WTP Iron Removal Filter backwash replacement project at a cost of \$19,500.00. The motion carried unanimously.

7. Consideration of a request by Robert Jadan and Jeffrey Murdock to have connection fees waived for a proposed Tubby’s Sub Shop to be located at the former Lake Chemung Party Store at 1462 Hughes Road.

Robert Jadan addressed the board. Jadan – There used to be pizza and soup served out of this facility. We should not have to pay anything. Could the rate be reduced? Rogers – The rate has already been reduced. If we were to run the usage from the previous owner it may be more than what was already been determined.

Moved by Skolarus and supported Lowe to deny the waiver of the connection fee as requested by Tubby’s Sub Shop and work with the petitioner to provide an agreeable payment plan with a quarterly billing added to the utility bill until the connection fee is paid in full. The Administrative Committee will determine the length of the re-payment plan for previously determined R.E.U. The motion carried unanimously.

8. Introduction of a proposed rezoning and authorization of statutory notice for a public hearing on July 6, 2020 concerning a rezoning request from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development (RDPUD) overlay located at 4525 and 4533 E. Grand River Avenue and 1098 Lawson Drive on the northwest corner of Grand River Avenue and Lawson

Drive. The request is for the following parcels: 4711-09-200-005, 010, 014, 015, 016 and 017. The request is petitioned by BMH Realty, LLC.

Moved by Hunt and supported by Croft to authorize the statutory notice for a public Hearing on July 6, 2020 as requested. The motion carried unanimously.

9. Consideration of a recommendation of approval for a minor amendment to the special land use site plan (04/29/20) for a previously approved special use permit for outdoor storage for Home Depot located at 3330 Grand River Avenue. The request is petitioned by Scott A. Mommer.

Moved by Hunt and supported by Lowe to approve the request for a minor amendment to the site plan for a previously approved special use permit for outdoor storage for Home Depot located at 3330 Grand River Avenue with the following condition: The renewals shall be approved by Township staff each new calendar year provided the site remains in compliance. Renewals shall be requested in writing by the applicant. The motion carried unanimously.

Member Discussion:

- Archinal – Yard waste drop-off is scheduled for 06/27/2020
- Skolarus – 11,000 applications for absent voter ballots have been mailed by the State today
- Rogers – We are back to full staff and rely on the cautionary plans from H.R.

The regular meeting of the Genoa Township Board was adjourned at 7:15 p.m.



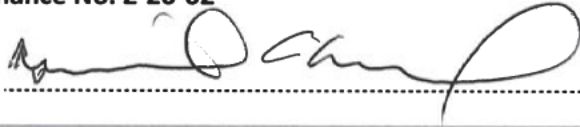
Paulette A. Skolarus, Clerk
Genoa Charter Township Board



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director
DATE: June 29, 2020
RE: Bible Baptist/Boss Property Rezoning – First Reading Ordinance No. Z-20-02

MANAGERS REVIEW: 

Please find attached a proposed rezoning ordinance for parcel 4711-05-200-002 which consists of approximately 46.5 acres located at 3850 Golf Club Road on the southwest corner of Golf Club and Latson Road. The proposed rezoning is from Rural Residential (RR) to Low Density Residential (LDR). This rezoning was recommended for approval by both the Township Planning Commission on June 3, 2020 and the Livingston County Planning Commission on June 17, 2020.

As required pursuant to the Charter Township Act (Act 359 of 1947) the Board is being asked to introduce and conduct the first reading on the proposed rezoning ordinance. Staff is requesting the second reading, public hearing and consideration for adoption be set for the Monday, July 20, 2020 regularly scheduled meeting. A draft publication as required by law is also attached.

As such please consider the following action:

Moved by _____, supported by _____ to introduce and conduct the first reading on proposed ordinance number Z-20-02 and to set the second reading, public hearing and consideration for adoption before the Township Board on Monday, July 20, 2020 for the purpose of considering the proposed zoning map amendment.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

ORDINANCE NO. Z-20-02

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY REZONING 46.5 ACRES OF LAND INVOLVING PARCEL #4711-05-200-002 FROM RURAL RESIDENTIAL (RR) TO LOW DENSITY RESIDENTIAL (LDR).

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map shall be amended as follows:

Real property containing 46.5 acres with parcel ID number 4711-05-200-002 situated on the southwest corner of Golf Club and Latson Road at 3850 Golf Club Road, Howell, which is more particularly described as follows:

All of the northeast ¼ of the northeast ¼ of Section 5, Town 2 North, Range 5 East, Michigan, except beginning in the centerline of Golf Club Road at a point North 89°38'19" east along the north line of said Section 5, 1248.56 feet from the North ¼ corner of said Section 5, thence continuing along said section line and centerline of Golf Club Road North 89°38'19" East 200 feet; thence South 01°29'02" East 536.7 feet; thence South 89°38'19" West 200 feet; thence North 01°29'02" West 536.7 feet to the point of beginning, being subject to easements and restrictions of record, if any.

Shall be rezoned from Rural Residential (RR) to Low Density Residential (LDR) zoning classification. The Township Board, in strict compliance with the Township Zoning Ordinance and with Act 184 of the Public Acts of 1943, as amended, reclassified the Property as Low Density Residential (LDR) District finding that such classification properly achieved the purposes of Section 22.04 of the Township’s Zoning Ordinance (as amended).

Severability If any provision of this Ordinance is found to be invalid, than the remaining portions of this Ordinance shall remain enforceable.

Effective Date This Ordinance shall be effective upon publication in a newspaper of general circulation as required by law.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas:

Nays:

Absent:

I hereby approve the adoption of the foregoing Ordinance this ____ day of _____, 2020.

Paulette Skolarus
Township Clerk

Bill Rogers
Township Supervisor

Township Board First Reading: 07/06/2020
Date of Publication of Proposed Ordinance: 07/05/2020
Township Board Second Reading and Adoption: TBD
Date of Publication of Ordinance Adoption: TBD
Effective Date: TBD

**BOARD OF TRUSTEES
GENOA CHARTER TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN**

**NOTICE OF PUBLIC HEARING ON PROPOSED ZONING MAP AMENDMENT
JULY 20, 2020**

Pursuant to Michigan Public Act 359 of 1947, (the Charter Township Act), notice is hereby given that the Genoa Charter Township Board will conduct a public hearing to consider ordinance number Z-20-02 to amend the official zoning map at 6:30 p.m. on July 20, 2020. The property proposed for rezoning is located at 3850 Golf Club Drive at the southwest corner of Golf Club Road and Latson Road. The subject parcel involves approximately 46.5 acres on parcel #4711-05-200-002. The proposed rezoning is from Rural Residential (RR) to Low Density Residential (LDR). The complete text of the proposed ordinance is available for public inspection at the Township Hall located at 2911 Dorr Road, Brighton, Michigan 48116, Monday through Friday from 9:00a.m. to 5:00p.m.

You are invited to attend this hearing. If you are unable to attend, written comments may be submitted by writing to the Township Board at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI 48116 or via email at amy@genoa.org up to the date of the hearing and may be further received by the Board at said hearing. In addition, all material relating to this request may be examined at the Township Hall during normal business hours.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Kelly VanMarter
Assistant Township Manager/Community Development Director

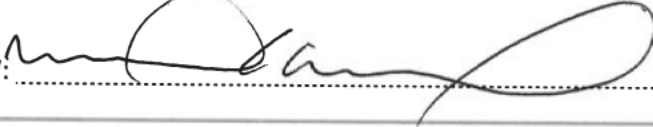
(Press/Argus 07/05/2020)



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director
DATE: July 1, 2020
RE: Premier Rezoning – Redevelopment PUD (RDPUD)
Ordinance No. Z-20-01

MANAGERS REVIEW: 

In consideration of the approval recommendations by the Township Planning Commission on March 9, 2020 and the Livingston County Planning Commission on May 21, 2020 please find the attached proposed rezoning ordinance for your review. The proposed rezoning involves six properties located at 4525 and 4433 E. Grand River Avenue and 1098 Lawson Drive on the northwest corner of Grand River Avenue and Lawson Drive. The request consists of 5.12 acres on parcel numbers: 4711-09-200-005, 010, 014, 015, 016 and 017.

The rezoning requested is from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development District (RDPUD) Overlay as follows:

- Parcel 4711-09-200-005 from OSD to GCD with RDPUD overlay;
- West ½ of parcel 4711-09-200-016 from OSD to GCD with RDPUD overlay;
- Parcels 4711-09-200-010, 015, 014, 017 and the east ½ of parcel 4711-09-200-016 to RDPUD overlay.

The proposed redevelopment conceptual plan includes improvements to the existing gasoline service station in addition to a new 37,275 square foot indoor climate controlled storage building, a 7,000 square foot multi-use building and a 2,336 square feet retail or restaurant use building. Procedurally, the applicant is at the last step of the rezoning and conceptual PUD approval phase. Following conceptual approval, the applicant may then proceed to the Final PUD site plan phase. My review of the revised submittal was focused on compliance with the outstanding items discussed at the Planning Commission and in response I suggest Board consideration of the following:

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

REZONING – REQUIRES CALL TO PUBLIC AND ROLL CALL VOTE

Moved by _____, Supported by _____ to **APPROVE AND ADOPT** Ordinance No. Z-20-01. This approval is made because the proposed amendment to the Zoning Map and reclassification as a Redevelopment Planned Unit Development (RDPUD) with the related development agreement and conceptual plan has been found to comply with the criteria stated in Sections 10.02.04, 10.07.01 and 22.04 of the Township Zoning Ordinance. This finding includes that the rezoning encourages innovative and beneficial land uses, is consistent with the goals, objectives, and land use map of the master plan, promotes efficient provision of public services and utilities, reduces adverse vehicular and pedestrian traffic impacts, and provides creative design to encourage redevelopment of a nonconforming site with unique site constraints.

PUD AGREEMENT

Moved by _____, Supported by _____ to **APPROVE** the PUD Agreement received on June 3, 2020 subject to the following:

1. The comments from staff and the Township Attorney in the marked up Agreement dated 6/30/20 shall be incorporated and a final draft shall be reviewed and approved by Township staff and Township Attorney prior to signing.
2. The fully executed document including all Exhibits shall be recorded at the Livingston County Register of Deeds office.

IMPACT ASSESSMENT

Moved by _____, Supported by _____, to **APPROVE** the environmental impact assessment dated December 27, 2019 and received on February 19, 2020.

CONCEPTUAL PUD PLAN

Moved by _____, Supported by _____, to **APPROVE** the Conceptual PUD Plan received on June 8, 2020.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

Kelly VanMarter
Assistant Township Manager/Community Development Director

ORDINANCE NO. Z-20-01

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY REZONING PARCELS 4711-09-200-005, 4711-09-200-010, 4711-09-200-014, 4711-09-200-015, 4711-09-200-016 AND 4711-09-200-017 TO GENERAL COMMERCIAL DISTRICT (GCD) WITH A REDEVELOPMENT PLANNED UNIT DEVELOPMENT DISTRICT OVERLAY (RDPUD).

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map, as incorporated by reference in the Charter Township of Genoa's Zoning Ordinance, is hereby amended as follows:

1. Real property containing approximately 0.75 acres with parcel ID number 4711-09-200-005 located at 4483 E. Grand River on the north side of East Grand River Avenue west of Lawson Road which is more particularly described as follows:
Part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point South 2°24' West 636.58 feet from the North quarter corner of said Section 9; thence South 2°24' West 172.53 feet; thence South 60°0' East 141.66 feet along the Northerly right of way line of Grand River; thence North 30°0' East 200.00 feet; thence North 72°0' West 226.54 feet to the point of beginning.
shall be rezoned from the Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development District Overlay (RDPUD) zoning classification.
2. Real property containing approximately 1.34 acres with parcel ID number 4711-09-200-010 and 4711-09-200-015 located at 4525 E. Grand River on the north side of East Grand River Avenue west of Lawson Road which is more particularly described as follows:
A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along the Northerly right-of-way of Grand River Avenue, 141.66 feet to the point of beginning of the parcel to be described; thence North 30°00'00" East 200.00 feet; thence South 60°00'00" East 274.00 feet; thence South 25°32'20" West 217.67 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along the Northerly right-of-way 289.86 feet to the point of beginning.
shall be rezoned to a Redevelopment Planned Unit Development District Overlay (RDPUD) zoning classification.
3. Real property containing approximately 0.65 acres with parcel ID number 4711-09-200-014 located at 4533 E. Grand River on the north side of East Grand River Avenue west of Lawson Road which is more particularly described as follows:
A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along said Northerly right-of-way of Grand River Avenue, 431.52 feet to the point of beginning of the parcel to be described; thence North 25°32'20" East 217.67 feet; thence South 64°27'40" East 106.63 feet; thence South 05°09'00" West 23.38 feet; thence South 16°19'00" West 210 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along said Northerly right-of-way 148.90 feet to the point of beginning.
shall be rezoned to a Redevelopment Planned Unit Development District Overlay (RDPUD) zoning classification.

4. Real property containing approximately 1.83 acres with parcel ID number 4711-09-200-016 located at 1098 Lawson Drive located on the east side of Lawson Drive north of East Grand River Avenue which is more particularly described as follows:

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 459.11 feet to the point of beginning of the parcel to be described; thence South 67°30'00" East 612.00 feet; thence South 05°09'00" West 205.00 feet; thence North 64°27' 40" West 106.63 feet; thence North 60°00'00" West 274.00 feet; thence North 72°00'00" West 226.54 feet; thence North 02°24'00" East 177.47 feet to the point of beginning.

shall be rezoned from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development District Overlay (RDPUD) zoning classification.

5. Real property containing approximately 0.57 acres with parcel ID number 4711-09-200-017 located at 4525 E. Grand River on the north side of East Grand River Avenue west of Lawson Road which is more particularly described as follows:

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West 459.11 feet; thence South 67°33'00" East 501.50 feet to the point of beginning; thence South 03°14'18" West 177.38 feet; thence South 64°26'59" East 121.69 feet; thence South 16°19'00" West 210.00 feet; thence North 19°06'45" East 232.36 feet; thence North 13°44'25" East 192.25 feet; thence North 8 19°06'45" West 44.87 feet±; thence North 67°33'00" West 110.50 feet to .the point of beginning.

shall be rezoned to a Redevelopment Planned Unit Development District Overlay (RDPUD) zoning classification.

The Township Planning Commission and Township Board, in strict compliance with the Township Zoning Ordinance and with Act 184 of the Public Acts of 1943, as amended, reclassified the Property as General Commercial District/Redevelopment Planned Unit Development District (GCD/RDPUD) finding that such classification properly achieved the purposes of Section 22.04 of the Township's Zoning Ordinance (as amended).

Severability If any provision of this Ordinance is found to be invalid, than the remaining portions of this Ordinance shall remain enforceable.

Effective Date This Ordinance shall be effective upon publication in a newspaper of general circulation as required by law.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas:

Nays:

Absent:

I hereby approve the adoption of the foregoing Ordinance this ____ day of ____, 2020.

Paulette A. Skolarus
Township Clerk

Bill Rogers
Township Supervisor



GENOA CHARTER TOWNSHIP
Application for Re-Zoning

APPLICANT NAME: BMH Realty, L.L.C. ADDRESS: 775 N. Second St, Brighton, MI 48116
OWNER NAME: BMH Realty, L.L.C. ADDRESS: 775 N. Second St, Brighton, MI 48116
PARCEL #(s): 11-09-200-005, -010, -014, -015, -016, & 017 PRIMARY PHONE: (810) 229-6323
EMAIL 1: BMaynes@corriganoil.com EMAIL 2: mark@corriganoil.com

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:
OSD to GCD
GCD (entire site) to RDPUD
_____.
4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites. and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

The proposed uses are consistent with the Master Plan. The site will provide a cohesive, cluster of
_____ general commercial businesses that will serve Genoa and the surrounding communities. The
_____ businesses will also serve the needs of the residents and employees within a 2-mile radius.

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

The site is physically, geologically, and hydrologically suitable for the uses that are proposed with the rezoning.

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

Despite development work and consistent exposure to the market, it has not been possible to achieve a reasonable return on investment for the property for one permitted use, as-zoned. The physical and access constraints of development around the existing gas station, and the split zoning also make development for one use unpalatable.

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

The proposed RDPUD uses are compatible with the surrounding commercial uses in the Grand River Corridor. The proposed uses will not have a negative effect on the views, noise, air quality, density, traffic, drainage and property values of the existing uses in the area.

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

The existing infrastructure capacity and services are sufficient for the uses. The project includes the construction of a retention pond to collect the storm water from the development.

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

Apart from the existing gas station, the currently-proposed uses are allowed as of right on the eastern half of the property, demonstrating a need perceived by the Township, that Owner seeks only to expand to the full site. In addition to this, the 2018 Annual Self Storage Almanac demonstrates a square-foot per person storage need in Michigan of 7.12. In the immediate submarket around the Property, there is an excess demand of 52,000 - 158,300 sf.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

The proposed plan could be effectuated through the use of GC zoning with a text amendment and variances, however, the site as currently configured has split zoning between GCD and OS. As a result, a simple text amendment is not sufficient to effectuate the plan.

8. Describe any deed restrictions which could potentially affect the use of the property.

There are no deed restrictions that affect the use of the property.

C. AFFIDAVIT

The undersigned says that they are the a member of owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Michael B. Corrigan

ADDRESS: 775 N. Second St, Brighton, MI 48116

SIGNATURE: 

The following contact should also receive review letters and correspondence:

Name: Brad Maynes and Dan Boorstein Email: bmaynes@corriganoil.com; djb@sviprop.com

Business Affiliation: BMH Realty, L.L.C. and SVI Properties, LLC

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: _____

PROJECT LOCATON & DESCRIPTION: Property bounded by Grand River, Lawson and White Horse Drive.

Redevelopment of several adjacent, stand-alone commercial uses into a new coordinated, mixed-use site, currently proposed to include a gas station/c-store, self storage, retail, food service, and office uses.

SIGNATURE:  DATE: 2-19-2020

PRINT NAME: Michael B. Corrigan PHONE: 810-229-6323

COMPANY NAME & ADDRESS: BMH Realty, L.L.C., 775 N. Second St, Brighton, MI 48116



**GENOA CHARTER TOWNSHIP APPLICATION
Planned Unit Development (PUD)**

APPLICANT NAME: BMH Realty L.L.C.

APPLICANT EMAIL: bmaynes@corrigan.com; djb@sviprop.com

APPLICANT ADDRESS & PHONE: 775 N. Second Street, Brighton, MI 48116 (810) 229-6323

OWNER'S NAME: BMH Realty, L.L.C.

OWNER ADDRESS & PHONE: 775 N. Second Street, Brighton, MI 48116 (810) 229-6323

TAX CODE(S): 11-09-200-005, -010, -014, -015, -016 & -017

QUALIFYING CONDITIONS (To be filled out by applicant)

1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:
 - Residential Planned Unit Development (RPUD)
 - Planned Industrial District (PID)
 - Mixed Use Planned Unit Development (MUPUD)
 - Redevelopment Planned Unit Development (RDPUD)
 - Non-residential Planned Unit Development (NRPUD)
 - Town Center Planned Unit Development (TCPUD)
3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN The subject site is wholly owned by BHM Realty, LLC and is being planned as a phased plan mixed use plan with multiple uses and each use will have complimentary customers and traffic demands.

4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:
 - A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.
 - B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established. The Township Board shall only permit the PUD on the smaller site where it finds that the flexibility in dimensional standards is necessary to allow for innovative design in redeveloping the site and an existing blighted situation will be eliminated. A parallel plan shall be provided showing how the site could be redeveloped without the use of the PUD to allow the Planning Commission to evaluate whether the modifications to dimensional standards are the

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

- C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:
- preservation of significant natural or historic features
 - a complementary mixture of uses or a variety of housing types
 - common open space for passive or active recreational use
 - mitigation to offset impacts
 - redevelopment of a nonconforming site where creative design can address unique site constraints.
- D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is 5.12 acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

The entire 5.12 acres is serviced by sewer and water. The proposed mix of uses are all complimentary uses in terms of customer demand and traffic generation. Each use has different traffic and parking demands and the provided parking and access points with the surrounding streets each balance harmoniously.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

See Impact Statement

2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

See Impact Statement

3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township;

See Impact Statement

4. The apparent demand for the types of uses permitted in the PUD;
See Impact Statement

AFFIDAVIT

The undersigned says that they are the Owner (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Michael B. Corrigan 
ADDRESS: 775 N. Second Street, Brighton, Michigan 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

<u>1. Brad Maynes & 2. Dan Boorstein</u>	<u>of</u>	<u>BMH Realty L.L.C. and SVI Properties, LLC</u>	<u>at</u>	<u>BMaynes@corriganllc.com, d@sviprop.com</u>
<i>Name</i>		<i>Business Affiliation</i>		<i>E-mail</i>



FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: BMH - PREMIER GENOA PUD

PROJECT LOCATON & DESCRIPTION: Property bounded by Grand River, Lawson and White Horse Drives.
Redevelopment of existing mixed use site with new set of mixed uses including gas/C-store, self storage, retail, food and office uses.

SIGNATURE:  DATE: 12-21-14

PRINT NAME: Michael B. Corrigan PHONE: (810) 229-6323

COMPANY NAME & ADDRESS: BMH, LLC 775 N. Second Street, Brighton, MI 48116



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: BMH Realty L.L.C., 775 N. Second St, Brighton, MI 48116
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: BMH Realty, L.L.C., 775 N. Second St, Brighton, MI 48116

SITE ADDRESS: 4525 & 4433 E. Grand River & 1098 Lawson Dr PARCEL #(s): 11-09-200-005, -010, -014, -015, -016, & -017

APPLICANT PHONE: (810) 229-6323 OWNER PHONE: (810) 229-6323

OWNER EMAIL: BMaynes@corriganoil.com & mark@corriganoil.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Site bounded by Grand River, Lawson & White Horse Drive

The site is currently occupied by a gas station, two retail buildings, one small industrial building with outdoor storage and a vacant parcel.

BRIEF STATEMENT OF PROPOSED USE: A mixed use development which will include the following uses; a gas station

with propane and kerosene services (existing), a drive-through, climate controlled self storage business with ancillary retail sales

and rental of small flex-office spaces and other buildings featuring office, retail and restaurant uses.

THE FOLLOWING BUILDINGS ARE PROPOSED: A 37,275 sq ft multi-purpose, adaptive use building, currently proposed to be

up-fit with equipment to operate a drive-through, climate controlled building, with the potential for small flex-office spaces for rent, a 7,000 sq ft building

appropriate for use for office, retail, restaurant, or a mix of those uses, a 2,336 sq ft out parcel pad suitable for use for retail or drive through fast food use,

and the existing gas station with a convenience store and related (existing) ancillary propane and kerosene sales.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: 

ADDRESS: 775 N. Second St, Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Brad Maynes and Dan Boorstein of BMH Realty, L.L.C. & SVI Properties, LLC at BMaynes@corriganof.com; djb@svirop.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Michael B. Corrigan DATE: 12-21-15
PRINT NAME: Michael B. Corrigan PHONE: 810-229-6323
ADDRESS: 775 N. Second St, Brighton, MI 48116

the Zoning Ordinance and is compatible with the neighboring zoning. **The motion carried with Commissioner McBain abstaining.**

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the PUD Agreement for Trinity Health, which must include the changes made by the Township attorney as part of the packet submitted to the Planning Commission for this evening's meeting. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Impact Assessment dated February 19, 2020 for Trinity Health. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Conceptual Plan for Trinity Health dated February 18, 2020 provided that the requirements of the Township Engineer and Brighton Area Fire Authority are met. **The motion carried unanimously.**

OPEN PUBLIC HEARING #4...Review of a rezoning application, PUD application, PUD agreement, impact assessment, and conceptual PUD plan for a proposed Redevelopment Planned Unit Development (RDPUD) with a new 37,275 sq. ft. indoor climate controlled storage building, a 7,000 sq. ft. multi-use building and a 2,336 sq. ft. commercial or drive-through restaurant. The rezoning requested is from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development (RDPUD) overlay located at 4525 and 4533 E. Grand River Avenue and 1098 Lawson Drive on the northwest corner of Grand River Avenue and Lawson Drive. The request is for the following parcels: 4711-09-200-005, 010, 014, 015, 016 and 017. The request is petitioned by BMH Realty, LLC.

- A. Recommendation of Rezoning and PUD Application
- B. Recommendation of PUD Agreement
- C. Recommendation of Impact Assessment (2-19-2020)
- D. Recommendation of Conceptual PUD Plan (2-19-2020)

Mr. Wayne Perry of Desine Engineering, the engineer for the project, was present. He provided a review of the project, which is a total of 5.12 acres. The existing Sunoco station will remain; however, all of the other buildings will be removed and the site will be redeveloped for retail space, an indoor storage facility and a restaurant with a drive thru. He provided details for the storm water, access and connection points, and the landscape plan.

Mr. Daniel Boorstein of Premier Genoa LLC showed photographs of the existing buildings that will be removed. He then showed the proposed buildings and uses for the site.

Mr. Douglas Necci of DRN & Associates, the architect for the project, stated that they will completely transform the look of this area. He provided and explained the architecture, colored renderings, elevations, and proposed building materials. He provided samples of the building materials.

Mr. Borden reviewed his letter dated March 4, 2020.

1. The minimum PUD site area (20 acres) may be reduced to five acres for sites served by public utilities.
2. Any engineering, utility or public service concerns must be addressed.
3. Rezoning Criteria:
 - A. The requests are consistent with the Township Master Plan.
 - B. Per the Zoning Ordinance, uses within the RDPUD overlay are limited to those allowed in the underlying zoning designation, which is proposed as GCD.
 - C. The applicant requests two use deviations – to allow gas stations and climate-controlled indoor commercial storage as by right uses. The reference to gas stations in Exhibit D should be limited to a single such use.
 - D. OSD to GCD rezoning is appropriate and use of the RD-PUD overlay seems reasonable provided the provisions of Section 10.03.04 are met.
4. Conceptual PUD Plan:
 - A. All existing buildings must either be removed or renovated as part of a RD-PUD. Two of the three buildings will be removed, while the gas station/convenience store building will be improved. We suggest additional enhancement of the fuel pump canopy/support columns.
 - B. The applicant must clarify the intended use of the future building in the southeast corner of the property. More specifically, the concept plan notes a drive-thru restaurant; however, neither the GCD nor Exhibit D allow such uses. He noted that drive-thru coffee shops are permitted in this zoning district.

Mr. Brad Maynes, council for BMH Realty, stated that there was a typo on Exhibit D. They are requesting that all of the uses be allowable by right. After a brief discussion, Commissioners agreed to allow a drive-thru restaurant on the southeast corner of this site.

The Commissioners and the representatives for the applicant discussed the grassy area on the southeast corner of the project. It was noted that there should be some type of landscaping, trees or signage to break up the large area of grass on the corner.

- C. The request includes a dimensional deviation for a reduced front building setback along Lawson Drive.
- D. As one of the primary entranceways to the PUD, we suggest additional plantings be provided in the southeast corner of the property.
- E. The future use/building in the southeast corner of the property could result in a drive-through lane in both the Grand River and Lawson front yards. Its visibility

will need to be mitigated either via additional landscaping/screening or a revised building layout/circulation pattern.

- F. Deviations are sought from the building material standards of Section 12.01 for both the climate controlled indoor commercial storage building and the commercial/office building.
- G. A deviation is requested from the window requirements of Section 7.02.02(z) for the climate controlled indoor commercial storage building.

5. PUD Agreement:

- A. Exhibit D needs to incorporate a reference to the applicable use requirements of Section 7.02.02.
- B. We suggest consideration be given to elimination of some of the uses listed.
- C. We request that channel-cut lettering be required for new wall signage.

Mr. Markstrom stated the petitioner has addressed most of his concerns from his first review letter. The only outstanding issue is that after final site plan approval, the petitioner will need to submit construction plans to MHOG Sewer and Water Authority for review and approval. The connection to the existing 8-inch water main on Lawson Drive will be an 8-inch to 8-inch connection. This type of connection cannot be achieved with a live tap and more detail on this connection will be necessary on the construction plans.

The call to the public was made at 9:45 pm.

Mr. Matt Ikle of 4234 East Grand River is in support of this development. He appreciates Mr. Corrigan's investment in the Township.

Mr. Dean Whitcome, the owner of the building at 1050 Lawson Drive, is in support of the project.

The call to the public was closed at 9:46 pm.

Commissioner Rauch noted some suggestions to the applicant when they are working on other iterations of the site plan:

- The existing propane tanks are part of the gas station and should remain with that use.
- Possibly changing the colors of the canopy of the Sunoco gas station
- Paving all of the surfaces at the same time so that it is cohesive and looks like one complete site.

Mr. Necci stated that they relocated the propane tanks so that they would be protected. Also, he believes that the colors on the canopy of the Sunoco gas station are dictated by their corporate office, but he will research this further.

Commissioner Rickard agrees that there should be additional screening on the southeast corner of the site. Ms. VanMarter suggested that drive thru restaurants be a special land use instead of by right so that the Planning Commission would have the opportunity to review it and place special conditions on the approval, such as landscaping, building materials, etc.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of Rezoning Parcel #4711-09-200-005, #4711-09-200-010, #4711-09-200-014, #4711-09-200-015, #4711-09-200-016 and #4711-09-200-017 from Office Service to General Commercial with a Redevelopment PUD Overlay as it is consistent with the Township Master Pan, is compatible with the zoning of neighboring properties, and meets the requirements of Section 10.03.04 of the Zoning Ordinance. **The motion carried unanimously.**

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the PUD Agreement for Parcel #4711-09-200-005, #4711-09-200-010, #4711-09-200-014, #4711-09-200-015, #4711-09-200-016 and #4711-09-200-017, subject to the following:

1. Drive thru restaurants will be allowed by a special land use
2. Exhibit D will indicate that only one gas station will be permitted.
3. Exhibit D will indicate that permitted temporary outdoor sales & temporary outdoor events shall be subject to all zoning ordinance requirements.
4. All permitted uses shall be compliant with the zoning ordinance
5. Channel Lettering shall be used for all building signage

The motion carried unanimously.

Moved by Commissioner Rauch, seconded by Commissioner Rickard to recommend to the Township Board approval of the Impact Assessment dated February 19, 2020. **The motion carried unanimously.**

Moved by Commissioner Rauch, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Conceptual PUD Plan dated February 19, 2020, with the following condition:

1. The petitioner shall work with Township staff to identify appropriate landscaping for the southeast corner of the site.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS

Staff Report

Ms. VanMarter stated there are three items scheduled for the April 13 Planning Commission meeting agenda.

Approval of the February 10, 2020 Planning Commission meeting minutes



Livingston County Department of Planning

May 21, 2020

Kathleen J. Kline-Hudson
AICP, PEM
Director

Genoa Charter Township Board of Trustees
c/o Polly Skolarus, Township Clerk
Genoa Charter Township Hall
2911 Dorr Road
Brighton, MI 48116

Robert A. Stanford
AICP, PEM
Principal Planner

**Re: Planning Commission Review of Zoning Amendment Z-08-20
Rezoning, OSD/GCD to GCD/RDPUD in Section 9 – BMH Realty, Inc.**

Scott Barb
AICP, PEM
Principal Planner

Dear Board Members:

The Livingston County Planning Commission met on Wednesday, May 20, 2020 and reviewed the zoning amendment referenced above. The Livingston County Planning Commissioners made the following recommendation:

Z-08-20 Approval.

The proposed rezoning to General Commercial with a Redevelopment Planned Unit Development overlay is compatible with surrounding planning, zoning and current land uses. The proposed cohesive development should enhance the appearance and use of this under-utilized area of the Grand River Avenue corridor while providing commercial benefits to Genoa Township and surrounding communities.

Copies of the staff review and draft Livingston County Planning Commission meeting minutes are enclosed. Do not hesitate to contact our office should you have any questions regarding this county action.

Sincerely,

Kathleen J. Kline-Hudson

Kathleen J. Kline-Hudson
Director

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

●
(517) 546-7555
Fax (517) 552-2347

●
Web Site
co.livingston.mi.us

Enclosures

c: Chris Grajek, Chair Genoa Charter Township Planning Commission
Kelly VanMarter, Assistant Township Manager/Community Development
Director, Genoa Charter Township

Meeting minutes and agendas are available at:
<https://www.livgov.com/plan/Pages/meetings.aspx>

B. Z-08-20: GENOA TOWNSHIP – REZONING

Current Zoning: OSD: Office Service District and GCD General Commercial District
Proposed Zoning: GCD (General Commercial District) with a Redevelopment Planned Unit Development (RDPUD) overlay
Section 9 / Genoa Township

Township Master Plan:

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates this site as General Commercial. This designation is intended for businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue are designated by this category. The large size and variety of permitted commercial uses generate significant volumes of vehicular and pedestrian traffic, and there may be some outdoor sales or display areas. These districts are intended to be clustered, rather than allowed to create an undesirable commercial strip pattern of development, and they are buffered from nearby residential area. Appropriate uses include larger grocery stores, restaurants and retail shopping centers.

The site is also in a designated Primary Growth Area of Genoa Township, along Grand River Avenue. Primary growth areas are currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks and mixed-use centers.

County Comprehensive Plan:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

Township Planning Commission Recommendation: Approval. There were 2 public comments in support of this development at the March 9 public hearing.

Staff Recommendation: Approval. The proposed rezoning to General Commercial with a Redevelopment Planned Unit Development overlay is compatible with surrounding planning, zoning and current land uses. The proposed cohesive development should enhance the appearance and use of this under-utilized area of the Grand River Avenue corridor while providing commercial benefits to Genoa Township and surrounding communities.

Commission Discussion: Commissioner Ikle mentioned his attendance at the Genoa Township Planning Commission meeting and that they decided to allow drive-thru restaurants as a special land use. Kelly Van Marter, Assistant Township Manager, Genoa Township, addressed Commissioner Ikle's remarks regarding drive-thru restaurants.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER ANDERSON TO RECOMMEND APPROVAL. SECONDED BY COMMISSIONER IKLE.

Motion passed: 6-0

Yea: Prokuda [X] Ikle [X] Clum [X] Anderson [X] Bowdoin [X] Call [X]

Nay:



**LIVINGSTON COUNTY PLANNING DEPARTMENT
REZONING REQUEST - | -
STAFF REPORT**

**CASE NUMBER:
Z-08-20**

COUNTY CASE NUMBER:	Z-08-20	TOWNSHIP:	Genoa
REPORT DATE:	April 6, 2020	SECTION NUMBER:	9
STAFF ANALYSIS BY:	Kathleen Kline-Hudson	TOTAL ACREAGE:	5.12


APPLICANT / OWNER:	BMH Realty, LLC/Same
LOCATION:	Northwest corner of Grand River Avenue and Lawson Drive
LAND USE:	Sunoco gas station/convenience store plus 2 existing buildings (to be demolished)

CURRENT ZONING:	REQUESTED ZONING:
OSD Office Service and GCD General Commercial Districts	GCD General Commercial District with RDPUD Redevelopment Planned Unit Development Overlay
PERMITTED/SPECIAL USES (Not all Inclusive):	PERMITTED/SPECIAL USES (Not all Inclusive):
<p>Permitted: (not all inclusive) Business services such as mailing, copying, data processing and retail office supplies; Child care centers, preschool and commercial day care; Personal and business service establishments; Banks, credit unions, savings and loan establishments and similar financial institutions; Medical offices.</p>	<p>Permitted: (not all inclusive) GCD: Retail establishments and shopping centers which provide specific goods; Banquet halls, assembly halls, dance halls, private clubs and other similar places of assembly; Business services; Child care centers, preschool and commercial day care; Funeral home or mortuary; Personal and business establishments.</p>
<p>Special: (not all inclusive) Conference centers; Funeral home or mortuary; Dry cleaning; Restaurants; Adult day care facilities; Hospitals; Medical urgent care facilities, medical centers and clinics; Veterinary hospitals; health clubs.</p>	<p>Special: (not all inclusive) GCD: Automobile, motorcycle, boat and recreational vehicle sales; outdoor commercial display, sales or storage; conference centers; dry cleaning.</p>
Minimum Lot Area: 1 Acre	Minimum Lot Area: GCD: 1 Acre, RDPUD: Twenty (20) Acres which may be reduced to five acres if served by public utilities

TOWNSHIP PLANNING COMMISSION RECOMMENDATION AND PUBLIC COMMENTS:	ESSENTIAL FACILITIES AND ACCESS:
Approval; there were 2 public comments in support of this development at the March 9 public hearing.	<p>Water: Municipal water</p> <p>Sewer: Public sewer</p> <p>Access: Access to the property is via Grand River Avenue, a paved primary roadway, Lawson Road and White Horse Roads, paved secondary roadways</p>

CASE NUMBER: Z-08-20	DATE: April 6, 2020	ANALYSIS BY: Kline-Hudson	PAGE: 2
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EXISTING LAND USE, ZONING AND MASTER PLAN DESIGNATION:

		Land Use:	Zoning:	Master Plan:
Subject Site:		Gas Station, convenience store, pool store and fence company	OS Office Service and GC General Commercial	General Commercial
	To the North:	Vacant land, DTE Electric and industry	MUPUD Mixed Use Planned Unit Development and IND Industrial	Neighborhood Commercial
	To the East:	Vacant land, Tractor Supply, Midway Party Store	NRPUD Non Residential Planned Unit Development	General Commercial
	To the South:	Carwash, Reuland Electric, shopping plaza, Kohl's department store	NRPUD Non Residential Planned Unit Development and IND Industrial	General Commercial, Research & Development
	To the West:	Lake Trust Credit Union, Aubree's Restaurant, and shopping plaza	MUPUD Mixed Use Planned Unit Development	Neighborhood Commercial

ENVIRONMENTAL CONDITIONS:

Soils / Topography:	Well-drained Miami Loam soils are present on nearly level to gently rolling topography of 2 - 12 percent. These soil types present only slight limitations for nonfarm development.
Wetlands:	There are no wetlands on-site.
Vegetation:	Minimal commercial landscaping.
County Priority Natural Areas:	According to the map "Livingston County's High Quality Natural Areas", there are no Priority 1,2,or 3 Natural Areas on-site.

TOWNSHIP MASTER PLAN DESIGNATION:

The Future Land Use Plan of the Genoa Township Master Plan (2013) designates this site as General Commercial. This designation is intended for businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue are designated by this category. The large size and variety of permitted commercial uses generate significant volumes of vehicular and pedestrian traffic, and there may be some outdoor sales or display areas. These districts are intended to be clustered, rather than allowed to create an undesirable commercial strip pattern of development, and they are buffered from nearby residential area. Appropriate uses include larger grocery stores, restaurants and retail shopping centers.

The site is also in a designated Primary Growth Area of Genoa Township, along Grand River Avenue. Primary growth areas are currently served or available to be served by public sewer and water. These areas include single family and multiple family residential at higher densities with public water and sewer, commercial centers, industrial parks and mixed-use centers.

CASE NUMBER: Z-08-20	DATE: April 6, 2020	ANALYSIS BY: Kilne-Hudson	PAGE: 3
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COUNTY COMPREHENSIVE PLAN:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

COUNTY PLANNING STAFF COMMENTS:

The petitioner is requesting a rezoning from Office Service District (OSD) to General Commercial District (GCD) with a Redevelopment Planned Unit Development (RDPUD) overlay. All existing buildings must either be removed or renovated as part of a RDPUD. The petitioner's intent is to retain and improve the existing Sunoco gas station and remove all other buildings on-site to redevelop portions of the site into a new 37,275 sq. ft. indoor climate controlled storage building (to the rear of site along White Horse Drive), a 7,000 sq. ft. multi-use building (to west of Sunoco) and a 2,336 sq. ft. commercial or drive-through restaurant (to east of Sunoco at corner of Grand River and Lawson).

The permitted and specially permitted uses of this rezoning would be the same as the underlying General Commercial District (GCD). At their March 9, 2020 meeting, the Genoa Township Planning Commission recommended to allow all of the petitioner's intended uses as permitted uses, with the exception of the proposed drive thru restaurant which would be allowed as a special land use, and the gas station which is an existing nonconforming use. General Commercial District (GCD) uses are consistent with the Genoa Township Master Plan designation of General Commercial.

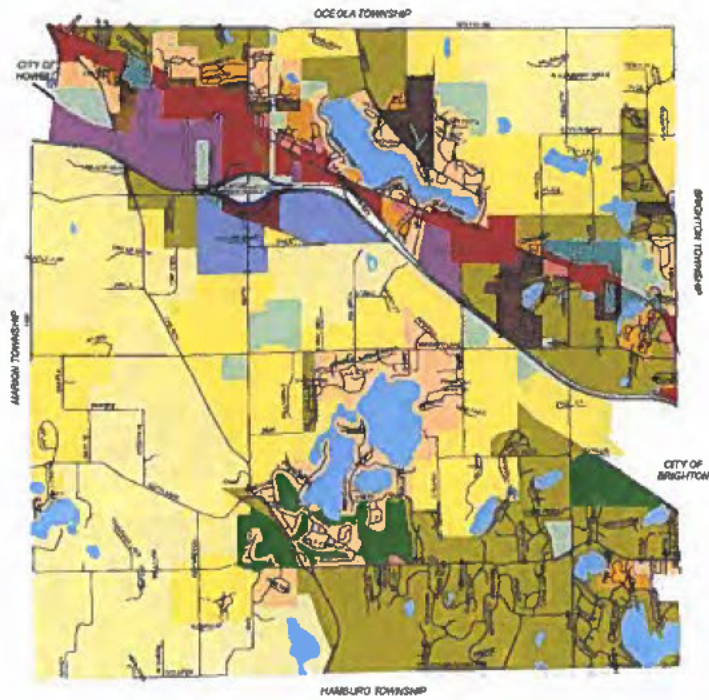
The site is 5.12 acres in size. The Genoa Township Zoning Ordinance allows for a reduction in the minimum lot size of a RDPUD from 20 acres to 5 acres for sites served by public sewer and water; this site has access to these public utilities.

Since most of the site was previously developed, there are no apparent environmental conditions limiting the redevelopment of this site as a RDPUD.

The Township Planner, SAFE Built Studio, notes that the benefits of this redevelopment would be: a complimentary mixture of uses; demolition of two existing, relatively unsightly buildings; and a cohesive development with shared drives and parking, and no additional curb cuts along Grand River Avenue. The petitioner has indicated that this type of cohesive redevelopment is currently unattainable given the split OSD/GCD zoning and the location of the existing gas station/convenience store.

The site is designated as General Commercial in the Genoa Township Master Plan, which is the primary Future Land Use designation along Grand River. The Future Land Use Plan states that the General Commercial designation "is intended for businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue." The proposed uses of this development are consistent with this master plan designation and because the site is located in an under-utilized area of Grand River Avenue/Lawson Road/White Horse Drive, the proposed development will have minimal impact on surrounding land uses. The requested RDPUD zoning is also compatible with surrounding zoning which is a combination of Planned Unit Development (PUD) and Industrial (IND) on all four sides of the site.

FUTURE LAND USE MAP:



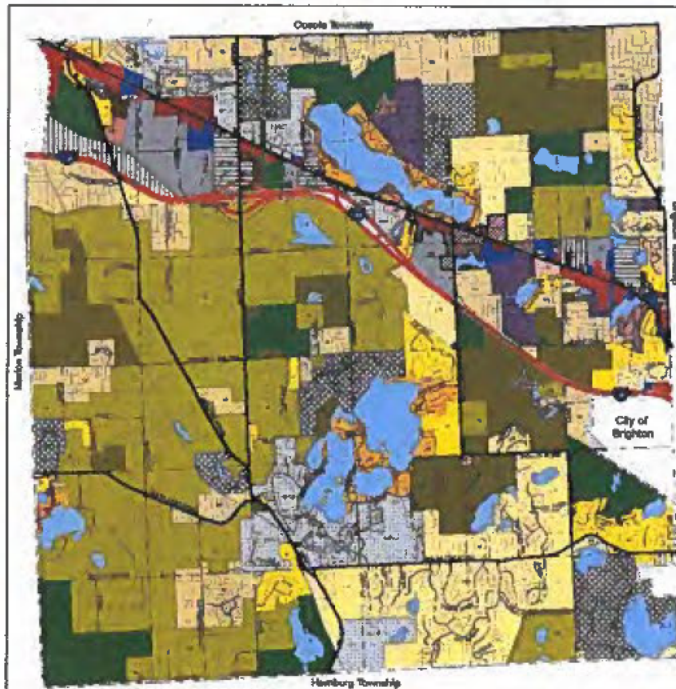
MAP 7
Future Land Use
Master Plan Update
Genoa Township
Livingston County, MI

AGRICULTURE/COUNTRY ESTATE - 5 acres per unit	SMALL LOT SINGLE FAMILY RESIDENTIAL - 2 to 3 units per acre
LARGE LOT RURAL RESIDENTIAL - 2 acres per unit	MEDIUM DENSITY RESIDENTIAL - 5 units per acre
LOW DENSITY RESIDENTIAL - 1 acre per unit	HIGH DENSITY RESIDENTIAL - 8 units per acre
MANUFACTURED HOUSING	NEIGHBORHOOD COMMERCIAL
GENERAL COMMERCIAL	REGIONAL COMMERCIAL
MIXED USE TOWN CENTER	CITY/STREET
INDUSTRIAL	RESEARCH AND DEVELOPMENT
PUBLIC/COMMUNITY/AMBIENT LIVES	PRIVATE RECREATION
INTERCHANGE CAMPUS	INTERCHANGE COMMERCIAL

December 2018

LD Planning

TOWNSHIP ZONING MAP:



Zoning Map
Genoa Charter Township
Livingston County, Michigan

Legend

- | | |
|------|-------------|
| AG | RC |
| CE | GC |
| RR | NS |
| LDR | OS |
| SR | NRPUD |
| LRR | IND |
| UR | PID |
| MDR | PRF |
| HDR | MUPUD |
| RPUD | RDPUD |
| MHP | Town Center |

08/15/10 - Major Revisions (47 amendments)
08/15/10 - Add 4 new Districts: Heavy Office (HO),
08/20/11 - Add 1st Conditional Rezoning (CZR)
02/21/12 - Council Map to amend Ordinance for the High Density Residential (HDR) zone
02/21/12 - Council Map to add 2nd Conditional Rezoning (CZR) and 3rd Conditional Rezoning (CZR)
03/01/12 - Council Map to amend Ordinance for the High Density Residential (HDR) zone
02/19/13 - Council Map to amend Ordinance for the High Density Residential (HDR) zone
07/20/14 - Revised Land Use Map, Revised Ordinance for the High Density Residential (HDR) zone
08/01/14 - Council Map to amend Ordinance for the High Density Residential (HDR) zone



1 inch = 3,000 feet

Official Zoning Map
Adopted May 5, 2020
Created by Kelly VanHorn
Reviewed by Council on
November 2, 2019

SITE PHOTOS:



Subject Site



Subject Site



View Looking East from Site



View Looking West from Site



View Looking Northeast from Site



View Looking South from Site

March 4, 2020

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	BHM-Premier Genoa – PUD Rezoning and Conceptual Plan Review #2
Location:	4525 and 4433 E. Grand River Avenue – northwest corner of Grand River and Lawson Drive
Zoning:	GCD General Commercial District and OSD Office Service District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from BHM Realty, LLC requesting establishment of a PUD for 5.12 acres of land at the northwest corner of Grand River and Lawson.

A. Summary

1. PUD Qualifying Conditions: the minimum PUD site area (20 acres) may be reduced to 5 for sites served by public utilities. Any engineering, utility or public service concerns must be addressed.
2. Rezoning Criteria:
 - a. The requests are consistent with the Township Master Plan.
 - b. Per the Zoning Ordinance, uses within the RDPUD overlay are limited to those allowed in the underlying zoning designation, which is proposed as GCD.
 - c. The applicant requests two use deviations – to allow gas stations and climate-controlled indoor commercial storage as by right uses. The reference to gas stations in Exhibit D should be limited to a single such use.
 - d. OSD to GCD rezoning is appropriate and use of the RDPUD overlay seems reasonable provided the provisions of Section 10.03.04 are met.
3. Conceptual PUD Plan:
 - a. All existing buildings must either be removed or renovated as part of a RDPUD. Two of the three buildings will be removed, while the gas station/convenience store building will be improved. We suggest additional enhancement of the fuel pump canopy/support columns.
 - b. The applicant must clarify the intended use of the future building in the southeast corner of the property. More specifically, the concept plan notes a drive-through restaurant; however, neither the GCD nor Exhibit D allow such uses.
 - c. The request includes a dimensional deviation for a reduced front building setback along Lawson Drive.
 - d. As one of the primary entranceways to the PUD, we suggest additional plantings be provided in the southeast corner of the property.
 - e. The future use/building in the southeast corner of the property could result in a drive-through lane in both the Grand River and Lawson front yards. Its visibility will need to be mitigated either via additional landscaping/screening or a revised building layout/circulation pattern.
 - f. Deviations are sought from the building material standards of Section 12.01 for both the climate-controlled indoor commercial storage building and the commercial/office building.
 - g. A deviation is requested from the window requirements of Section 7.02.02(z) for the climate-controlled indoor commercial storage building.
5. PUD Agreement:
 - a. Exhibit D needs to incorporate a reference to the applicable use requirements of Section 7.02.02.
 - b. We suggest consideration be given to elimination of some of the uses listed.
 - c. We request that channel-cut lettering be required for new wall signage.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The request is to establish a Redevelopment Planned Unit Development (RDPUD) for approximately 5.12 acres of land at the northwest corner of Grand River and Lawson. Because of the split-zoned nature of the subject area (OSD and GCD), and the fact that the RDPUD is an overlay district, the revised request includes rezoning of the OSD land to GCD (as was previously suggested).

The conceptual PUD plan proposes retention of the existing gas station/convenience store, as well as 3 new buildings – a climate-controlled self-storage building (37,275 square feet of ground floor area), a multi-use building for office, retail, restaurant or a combination thereof (7,000 square feet of ground floor area), and an outparcel for retail, commercial or a drive-through restaurant (2,310 square feet of ground floor area).

The site currently contains 3 buildings, 2 of which will be demolished to accommodate the proposed development. As noted above, the existing gas station/convenience store building will remain.

Procedurally, following the required public hearing, the Planning Commission is put forth recommendations to the Township Board on the OSD to GCD rezoning, RDPUD overlay zoning, conceptual PUD plan, Environmental Impact Statement and draft PUD Agreement.

C. Qualifying Conditions

We have reviewed the proposal for compliance with the PUD Qualifying Conditions (Section 10.02), as follows:

- 1. Single Ownership.** The application forms identify BHM Realty, LLC as the property owner.
- 2. Initiated by Petition.** The request has been initiated by the property owner, including applications for Planned Unit Development, rezoning and site plan review.

3. **Minimum Site Area.** The Ordinance allows the Township to reduce the 20-acre minimum requirement for a PUD to 5 acres for sites served by public water and sanitary sewer. The submittal identifies the site area as 5.12 acres and notes access to necessary public utilities.
4. **Benefits.** The submittal references a complementary mixture of uses and includes demolition of two existing, relatively unsightly buildings as part of the project. The proposal will also result in a cohesive development with shared drives and parking, and no additional curb cuts along Grand River Avenue.
5. **Sewer and Water.** The site is currently served by public water and sanitary sewer; however, the Commission should consider any technical comments provided by the Township Engineer and/or Utilities Director under this criterion.

D. Rezoning Criteria

We have reviewed the proposal for compliance with the Criteria for Amendment of the Official Zoning Map (Section 22.04), as follows:

1. ***Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.***

The Township Master Plan and Future Land Use map identify the subject site as General Commercial, which is compatible with GCD zoning. This category is intended for “businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue.”

The site currently contains both GCD and OSD zoning. The revised request includes rezoning of the OSD land to GCD, since the RDPUD is an overlay district.

We are of the opinion that both requests (OSD to GCD and addition of the RDPUD overlay) are consistent with the Township Master Plan.

2. ***Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.***

Much of the subject site was previously developed and there are no apparent environmental conditions limiting re/development as a PUD.

3. ***The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.***

The rezoning application form states that the split zoning of OSD and GCD, along with the presence of the existing gas station/convenience store have created difficulties for unified re/development of the subject parcels.

4. ***The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.***

The RDPUD is an overlay district, which allows the host of permitted and special land uses of the underlying zoning district(s). As proposed, the underlying district would be GCD. As such, the host of uses allowed in the RDPUD are essentially the same as current zoning (though the OSD designation would be removed).

An exception of note is the continued operation of the gas station, which is not allowed in the GCD.

While this allowance under GCD/RDPUD zoning requires the Township to modify the host of permitted uses, it is a lawful nonconforming use with a long history at this location, and its continued operation is anticipated to be compatible with the surrounding area.

5. *The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

As noted under our review of the PUD Qualifying Conditions, the site is served by public utilities. Additionally, as noted above, the host of allowable uses are limited to those allowed under GCD zoning.

The primary infrastructure concern appears to be stormwater management. As such, the proposal includes a new retention pond north of the subject site across White Horse Drive.

The submittal also includes a traffic study, the conclusions of which are that the proposal is anticipated to have minimal impact on traffic conditions in the surrounding area. The conclusions also recommend optimization and lengthening of signal timing at the Grand River/Lawson intersection.

The applicant must address any additional comments provided by the Township Engineer, Utilities Director and/or Brighton Area Fire Authority related to this criterion.

6. *The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.*

Similar to comments above, the host of uses allowed within the proposed RDPUD are the same as allowed under GCD zoning.

The most prominent new use/building proposed is a climate-controlled storage building and the application form notes an apparent shortage of storage uses within the “immediate submarket” surrounding the subject site.

7. *Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.*

GCD zoning for the entire subject site matches the planned usage in this area.

Use of the PUD option will result in a more unified overall development, particularly with respect to shared drives and parking, and consistent site design features (landscaping, lighting, etc.).

As a previously developed site, use of RDPUD appears to be reasonable provided the provisions of Section 10.03.04 are met.

8. *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

This request has not been submitted within the past year.

E. Conceptual PUD Plan

We have reviewed the proposal for compliance with the Redevelopment PUD standards (Section 10.03.04), as follows:

- 1. Existing Conditions.** Establishment of a RDPUD requires that all existing buildings be removed or renovated. As previously noted, 2 of the 3 existing building are to be removed, while the gas station/convenience store is to remain.

The proposed elevation drawings for the gas station/convenience store building (Sheet A-4) note the removal of EIFS on the north and south elevations. These areas will be replaced by paneling with a wood appearance.

Additional improvements include the installation of vertical panels with a masonry appearance and painting of the existing block that covers much of the building. The drawings also note removal of the small accessory building on the north side of the principal building.

As noted in our initial review letter, we believe the fuel pump canopies would benefit from use of a masonry material on the support columns.

- 2. Land Use.** As previously noted, the RDPUD is an overlay district that allows uses of the underlying zoning district(s). Given the request to create GCD zoning for the entire subject site, the allowable uses are those listed for the GCD in Table 7.02 of the Township Zoning Ordinance.

Exhibit D of the draft PUD Agreement identifies the host of allowable uses (both by right and those requiring special approval). The list matches Table 7.02 with two proposed exceptions:

- Climate-controlled indoor commercial storage would be a by right use, as opposed to a special land use; and
- Auto/gasoline service stations would be a by right use, as opposed to not being allowed.

Provided the Township is agreeable to these deviations, we suggest that Exhibit D also include a reference to the use requirements of Section 7.02.02, as applicable.

Furthermore, we request that the applicant refine the language regarding auto/gasoline service stations, such that only a single station is allowed (with the intent being continued operation of the existing use).

The applicant and/or Township may also wish to eliminate some of the uses from this PUD. For instance, vehicle sales, auto repair and amusement parks do not necessarily seem appropriate.

Lastly, the conceptual PUD plan and other elements of the submittal refer to a drive-through restaurant, though such uses are not allowed in the GCD, nor are they listed in Exhibit D; however, a coffee shop with a drive-through would be allowed with special land use approval. We request the applicant clarify their intention for this use/building.

- 3. Dimensional Standards.** A revised dimensional table is included on the Conceptual PUD Plan (Sheet PD) noting the need for a dimensional deviation from the front building setback along Lawson Drive (70' required; 59' proposed).

The initial submittal included lot coverage calculations (for both buildings and impervious surface). We request this information be included in the dimensional table.

The remainder of the conceptual PUD plan meets dimensional standards.

- 4. Site Design Elements.** The submittal includes a preliminary landscape plan that generally depicts compliant landscaping overall. There are some individual components (Grand River and Lawson greenbelts) that are slightly deficient, though they are offset by excess plantings in other locations (White Horse greenbelt).

Our initial review suggested that additional plantings be provided in the southeast corner of the property. The revised submittal includes information from the applicant noting that since the exact nature of the future use/building in this area of the property is unknown, they do not wish to install landscaping at this time.

Since the timeframe for development of this area is unknown, we continue to recommend that additional plantings be provided. At a minimum, the required greenbelt plantings should be provided given that this intersection is one of the primary entranceways to the PUD.

Furthermore, the proposed layout of the future use/building in this area would result in a drive-through lane within both the Grand River and Lawson front yards. This is a relatively unusual design and visibility of a drive-through should be mitigated either via landscaping or a revised building layout/circulation pattern.

The submittal does not include a preliminary lighting plan, though the revised submittal materials state that the PUD will utilize consistent site lighting throughout the development (as previously requested).

Additional details include masonry-faced waste receptacle enclosures and two types of fencing – 4’ tall ornamental and 6’ tall chain link with a fabric backing.

Lastly, we request the applicant incorporate a requirement for channel-cut lettering on new wall signs as part of the PUD Agreement. This is a relatively common request, and has been incorporated into most PUDs in the Township.

All of these details will be reviewed for compliance with Ordinance standards and/or the PUD Agreement at the time of final PUD site plan submittal (if the RDPUD is granted).

- 5. Building Design and Materials.** Building elevation drawings are included for the gas station/convenience store, climate-controlled self-storage and retail buildings; however, details are not provided for the proposed building near the intersection of Grand River and Lawson.

Neither the proposed climate-controlled indoor commercial storage building nor the commercial/office building fully comply with the building material standards of Section 12.01.

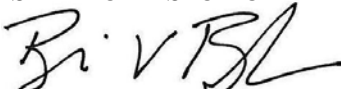
The revised submittal includes a detailed request/rationale for the design deviations sought.

Lastly, as the applicant is aware, the climate-controlled indoor commercial storage use/building is subject to the requirements of Section 7.02.02(z). The request includes a deviation from the window requirements of this section; however, the remainder of the requirements must be met (unless further deviation is sought and granted).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT STUDIO



Brian V. Borden, AICP
Planning Manager



March 4, 2020

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Premier Genoa PUD
Site Plan Review No. 2**

Dear Ms. Van Marter:

Tetra Tech conducted a second review of the proposed Premier Genoa PUD site plan last dated February 18, 2020. The plans and impact assessment were submitted by Desine Inc. on behalf of Premier Genoa LLC. The site consists of six partially developed parcels totaling 5.12 acres at 4525 E Grand River Avenue at the northwest quadrant of the Lawson Drive and Grand River Avenue intersection. The petitioner is proposing to retain the existing Sunoco gas station and develop 42,740 net rentable square feet of self-storage space, 7,000 square feet of retail space, 3,700 square feet of flex-office space, and 2,336 square feet of new food-based retail. Site improvements will include the extension of the existing 8-inch water main on the northwest corner of the site and extending municipal water and sanitary sewer services to the proposed buildings. We offer the following comments:

GENERAL NOTES

1. The petitioner should obtain approval from the Brighton Area Fire Authority prior to site plan approval.

DRAINAGE AND GRADING

1. Soil boring data was provided for the proposed retention basin area. The existing soils and water level appear to be adequate for the proposed retention pond.

UTILITIES

1. After final site plan approval, the petitioner will need to submit construction plans to MHOG Sewer and Water Authority for review and approval. The connection to the existing 8-inch water main on Lawson Drive will be an 8-inch to 8-inch connection. This type of connection cannot be achieved with a live tap and more detail on this connection will be necessary on the construction plans.
2. Based on the Genoa Township Residential Equivalency (REU) Table, the proposed PUD will account for approximately 11 REUs, not including the REUs for the existing gas station on site. This may change based on the final use of the proposed buildings.

Ms. Kelly Van Marter
Re: Premier PUD Site Plan Review No. 2
March 4, 2020
Page 2

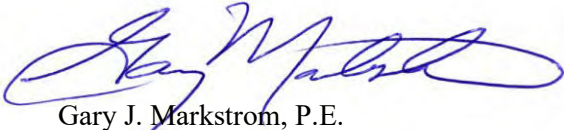
TRAFFIC

1. A traffic impact assessment was conducted by Rowe Professional Services Company and provided with the site plan submittal. The recommendations provided in the study correspond to what is shown on the plans and we do not have any concerns with the projected traffic impacts.

The revised site plan addresses our previous comments and we have no further engineering related concerns to the proposed PUD.

Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

February 28, 2020

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: BMH - Premier PUD
4525 E. Grand River, Howell, MI
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Authority has reviewed the above-mentioned site plan. The plans were received for review on February 20, 2020, and the drawings are dated February 19, 2020. The project is a 5.12-acre site comprised of six parcels to be used for the proposed redevelopment and construction of a two-story IIB construction 74,500 square foot climate-controlled storage (S-1) structure with accessory office space. Additionally, there are two smaller out structures consisting of a proposed single story 7,000 sq. ft. mixed-use at the west end of the parcel and a 2,336 sq.ft mixed-use at the east end of the parcel. The existing gas station will remain and will undergo minor renovation. This plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. Provide the size of the above-ground LPG tank so proper separation distance from the structure can be determined. **(Discussions with the engineer indicated that the proposed LPG tank size was 5,000-gallons. Table 6104.3 indicates that tanks that exceed 2,000-gallons are required to be located a minimum of 50-feet from buildings. As there is no alternate location to place the tank, they have agreed to maintain the size no more than 2,000-gallons.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

STATE OF MICHIGAN
COUNTY OF LIVINGSTON
GENOA CHARTER TOWNSHIP

PLANNED UNIT DEVELOPMENT AGREEMENT

THIS PLANNED UNIT DEVELOPMENT AGREEMENT (“Agreement”) is made and entered into on this _____ day of _____, 2020, by BMH Realty, L.L.C., a Michigan limited liability company, 775 N. Second Street, Brighton, Michigan 48116 (“Owner”), and GENOA CHARTER TOWNSHIP, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 (referred to as “Township”).

WHEREAS, Owner owns real property located in the Charter Township of Genoa, County of Livingston, State of Michigan, and more particularly described on Exhibit A attached hereto (“Property”). There is an existing gas station and two retail buildings located within the Property. The balance of the Property is vacant. Owner intends to develop the Property as a planned unit development.

WHEREAS, Owner has submitted to the Township a request for rezoning of the Property to Redevelopment Planned Unit Development (“RDPUD”), including all Conceptual Submittal items set forth in Section 10.05 of the Township Zoning Ordinance, including, but not limited to, proof of ownership of the Property; a completed application and application fee; an impact assessment meeting the requirements of Article 18 of the Township Zoning Ordinance, a copy of which is attached hereto as Exhibit B (“Impact Assessment”); this Agreement; drawings of at least 24” x 36”, containing a cover sheet, a plan sheet of existing conditions, a parallel plan, and a conceptual PUD plan sheet, a copy of which drawings are attached to this Agreement as Exhibit C (“PUD Plan”).

WHEREAS, the Charter Township of Genoa Planning Commission (“GPC”) has reviewed the PUD Plan, conducted a public hearing on _____, and recommended approval of the Conceptual PUD Site Plan to the Charter Township of Genoa Board of Trustees (“Township Board”) and Livingston County Planning Commission (“LCPC”) on _____, 2020.

WHEREAS, on _____, the LCPC conducted a public hearing on the requested Conceptual PUD Site Plan, and recommended approval to the Township Board on _____.

WHEREAS, Owner made revisions to incorporate conditions noted by the GPC and LCPC, if any, and submitted required copies to the Township, providing sufficient time for review prior to the Township Board meeting.

WHEREAS, the Township Board conducted a public hearing on the PUD rezoning, PUD Plan and PUD Agreement on _____, 2020, and provided conceptual approval of these documents pursuant to Section 10.04.01 of the Township Zoning Ordinance on _____.

WHEREAS, Owner has submitted to the Township all Final PUD Site Plan Submittal items set forth in Section 10.06 of the Township Zoning Ordinance, including, but not limited to, the PUD Plan containing all materials required by Article 18 of the Township Zoning Ordinance; an Impact Statement; a Traffic Impact Statement; a hydrologic impact assessment, a final copy of this Agreement (collectively the “Final Plan”), and all required fees.

WHEREAS, the GPC has reviewed the Final Plan, and recommended approval of the Final Plan to the Township Board on _____, 2020.

WHEREAS, Owner made revisions to incorporate conditions noted by the GPC, if any, and submitted required copies to the Zoning Administrator, providing sufficient time for review prior to the Township Board meeting.

WHEREAS, the Township Board conducted a public hearing on the Final Plan on _____, 2020, and approved the documents contained in the Final Plan on _____, 2020.

WHEREAS, the GPC and Township Board actions set forth above have been taken in strict compliance with the Township Zoning Ordinance and with Act 110 of the Public Acts of 2006, as amended, and have rezoned the Property as an RDPUD, finding that such classification properly achieved the purposes of Article 10 of the Township’s Zoning Ordinance, as amended, including the encouragement of innovation in land use, compatibility with adjacent uses, the promotion of efficient provision of public services and utilities, the reduction of adverse traffic impacts, and the provision of adequate employment. Further, the GPC and Township Board find the RDPUD, the PUD Plan, and this Agreement are consistent with the adopted Master Plan.

WHEREAS, the Township Board has found and concluded that the uses and future development plans and conditions shown on the approved Final Plan and as set forth herein are reasonable and promote the public health, safety and welfare of the Township, and that they are consistent with the plans and objectives of the Township and consistent with surrounding uses of land for reasons including, but not limited to, the following:

- a. the Property has been previously developed for the purpose of a commercial, office, or industrial use, and redevelopment of the site will be an enhancement to the site and surrounding area;
- b. all buildings on the site are proposed to be removed or renovated;
- c. a use permitted within the underlying zoning district is proposed;
- d. the Township has determined that flexibility in dimensional standards is necessary to allow for innovative design in redeveloping a site with constraints and where a clear public benefit is being derived;
- e. to encourage flexibility and creativity consistent with the intent of the PUD, the Township is permitting specific departures from the requirements of the Zoning Ordinance as a part of the approval process;

- f. For all deviations, the Township has found that the deviation shall result in a higher quality of development than would be possible using conventional zoning standards;
- g. a parallel plan was provided showing how the site could be redeveloped without the use of the PUD;
- h. a table was provided on the site plan that specifically details all deviations from the zoning regulations, including ordinance provisions from which deviations are sought, the reasons the deviations are necessary and mechanisms to be utilized to mitigate any impacts; and
- i. The permitted deviations are consistent with the intent of the Township's PUD ordinance.

NOW, THEREFORE, OWNER AND TOWNSHIP, in consideration of the mutual promises contained in the Agreement, HEREBY AGREE AS FOLLOWS:

ARTICLE I. GENERAL TERMS OF AGREEMENT

- 1.1 The Township and Owner acknowledge and represent that the recitations set forth above are true, accurate and binding on the respective parties.
- 1.2 The Township acknowledges and represents that the zoning of the Property as RDPUD, regulated by the PUD Plan and this Agreement may be relied upon for future land use and development of the Property by Owner, its successors, assigns and transferees. This Agreement is for the benefit of the Property, and shall run with the Property, and shall bind and inure to the benefit of the successors, assigns and transferees of the parties to this Agreement.
- 1.3 The PUD Plan, attached as Exhibit C, has been approved by the Township in accordance with its authority granted by the Genoa Charter Township Zoning Ordinance, The Michigan Zoning Enabling Act, being MCL 125.3101, et seq, and the Michigan Planning Enabling Act, being MCL 125.3801, et seq, subject to the terms of this Agreement.
- 1.4 Deviations from the Township Zoning Ordinance shall be permitted as set forth in this Agreement or the PUD Plan, or as otherwise be agreed upon by the Township and the Owner. Changes to the PUD Plan and/or PUD Agreement shall be processed as set forth in the Zoning Ordinance and this Agreement.
- 1.5 All improvements constructed in accordance with this Agreement and the PUD Plan shall be deemed to be conforming under the Township Zoning Ordinance and in compliance with all other ordinances of the Township.
- 1.6 The approval of the PUD Plan shall be subject to the conditions set forth herein, inclusive of Exhibits.
- 1.7 All common areas and features, such as walkways, signs, lighting and landscaping, will be maintained by Owner, and financed on a pass-through basis to tenants through Owner's standard lease.

- 1.8 The construction, improvement and maintenance of all streets and necessary utilities (including public water, wastewater collection and treatment) to mitigate the impacts of the PUD project through construction shall be performed by the Owner, or sufficient performance bond given by the Owner to assure such construction.

ARTICLE II. LAND USE AUTHORIZATIONS

- 2.1 In addition to the uses set forth in the PUD Plan, uses listed in the GCD zoning classification of the Township Zoning Ordinance shall be allowed subject to the applicable permitted or special land use regulations, as well as those uses set forth on Exhibit D attached hereto.
- 2.2 The PUD Plan identifies the location and configuration of the currently-proposed structures that may be developed on the Property subject to the following:
 - A. Owner shall be permitted to adjust the size or shape of the various parcels and/or the size or configuration of the proposed buildings within the parcels, as set forth in, and in compliance with, Section 10.11 of the Township’s Code of Ordinances.
 - B. The buildings identified on the PUD Plan are flexible use buildings that may be converted to retail, office or other uses in the future, provided that such uses are permitted under this Agreement.
- 2.3 The timing of development of the PUD shall be in compliance with the Charter Township of Genoa Code of Ordinances, but otherwise as determined by the Owner.
- 2.4 Owner shall have the right to develop the Property as a commercial condominium project by following the procedures required by Michigan law and any applicable Township ordinances. Any approval required from the Township for the purposes of creating a commercial condominium shall not be unreasonably withheld, conditioned or delayed. Owner shall additionally retain the right to apply to the Township for one or more lot splits that comply with Michigan law, Township Ordinances and the PUD Plan.

ARTICLE III. CURB CUTS AND OFF-SITE TRANSPORTATION IMPROVEMENTS

- 3.1 The number and general location of entrances to the site from adjacent public thoroughfares shall be as identified on the PUD Plan. The entrances were approved by the Livingston County Road Commission on _____.

ARTICLE IV. INTERNAL ROAD NETWORK

- 4.1 The internal system of private roads or drives shall be as identified on the PUD Plan.

ARTICLE V. DRAINAGE

- 5.1 Storm drainage from the Property shall be managed by means of an off-site retention basin to be developed by Owner on the adjacent property shown on the PUD Plan, with permission of the owner of that property. Owner has obtained the necessary easements to improve, utilize, maintain and repair the off-site retention basin (the “Basin”), and to

access the Basin across White Horse Drive, which easements are attached hereto as Exhibit E.

ARTICLE VI. SITE IMPROVEMENTS

- 6.1 There shall be a coordination of site improvements within the overall Property, with the objective of creating site improvements that are integrated and mutually supportive among the respective portions of the development, including the utilities, landscaping and lighting, as more specifically set forth in the PUD Plan.
- 6.2 Comprehensive and interconnected pedestrian walkways shall be constructed as shown on the PUD Plan contemporaneously with the buildings they are designed to serve.
- 6.3 Site elements, including site design and landscaping to diminish the prominence of parking lots as viewed from public roads and parking lot configuration, shall be constructed as shown on the PUD Plan.
- 6.4 The Township shall grant to Owner and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the PUD Plan, provided the Owner has complied with any and all legally-applicable requirements in applying for such permits and authorizations, including paying any required fees. Any applications for permits or authorizations from the Township shall be processed by the Township in the customary manner. The Township shall cooperate with Owner in connection with Owner's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the PUD Plan and this Agreement.
- 6.5 All trees and woodlands will be preserved as shown on the PUD Plan, or replaced on a caliper-for-caliper basis, as more fully set forth in the PUD Plan.

ARTICLE VII. DESIGN OF BUILDING AND SIGNS

- 7.1 The architecture, building materials, colors and shapes of all buildings shall be consistent with the building elevations attached to this Agreement as Exhibit F and otherwise conform to the Zoning Ordinance.
- 7.2 All signs shall be permitted as shown on the PUD Plan or as otherwise authorized in the Zoning Ordinance. Any permitted sign shall have a base constructed of materials that coordinate with and are consistent with the architecture of the building, unless mounted directly on the building, and shall use channel-cut lettering.
- 7.4 The landscaping within the PUD shall demonstrate consistency in terms of design and materials. Parking lot lighting shall be consistent throughout the PUD. Street and walkway lighting shall be consistent throughout the PUD and comply with the Zoning Ordinance.

ARTICLE VIII. UTILITIES

- 8.1 All buildings that require plumbing must connect to the municipal water system and municipal sanitary sewer system. The internal water and sewer main plan shall be completed and approved with the site plan. The Township does not guarantee public utility availability without adequate planning and approval of the Township Engineer.
- 8.2 Fees, charges and costs for utilities shall be as set forth in the Genoa Township Equivalent User Table as applicable and as may be amended from time to time.

ARTICLE IX. MISCELLANEOUS

- 9.1 This Agreement may not be modified, replaced, amended or terminated without the prior written consent of the parties to this Agreement. The Owner and the Township shall be entitled to modify, replace or amend this Agreement without the consent of any other person or entity, regardless of whether such person or entity now or hereafter has any interest in any part of the Property, including subsequent purchasers, tenants, mortgagees, or others, unless required by Federal, State or local law or ordinance. Amendments and deviations, whether minor or major, shall be made in compliance with the procedures set forth in the Charter Township of Genoa Code of Ordinances at the time the amendment or deviation is sought. Nothing whatsoever provided in this Agreement shall be construed so as to prevent Owner from seeking major and/or minor changes to the PUD Plan in accordance with the applicable provisions of the Zoning Ordinance.
- 9.2 Reference in this Agreement to activities by the Owner in relation to development is intended to include Owner's transferees and assigns unless context dictates to the contrary.
- 9.3 In the event of any direct conflict between the specific terms and provisions of this Agreement (including the attached PUD Plan) and the provisions of the Zoning Ordinance, or other Township ordinances, rules or regulations, the provisions of this Agreement shall control. To the extent that this Agreement is silent as to an issue, that issue shall be governed by the provisions of the Zoning Ordinance, including, but not limited to, a) requirements for temporary outdoor sales and temporary outdoor events permitted by right under Exhibit D, b) procedural requirements for approval of special land uses permitted by Exhibit D.
- 9.4 In the event a portion of the Property is submitted for site plan approval, and such approval is denied, the party submitting such site plan shall be entitled to appeal such decision to the Zoning Board of Appeals as provided by law.
- 9.5 The undersigned parties acknowledge that the conditions imposed upon the development of the Property are reasonable conditions necessary to ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to protect the natural environment and conserve natural resources and energy, to ensure

compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Further, it is acknowledged that the conditions meet all of the requirements of Section 503 of Public Act 110 of 2006, MCL 125.3503.

THE PARTIES have executed this Planned Unit Development Agreement on the dates set below their names, to be effective on the date set on the first page of this agreement.

(REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK)

GENOA CHARTER TOWNSHIP
a Michigan municipal corporation

By: _____
Its: _____

STATE OF MICHIGAN)
)SS
COUNTY OF _____)

This Amendment was acknowledged before me in _____ County, Michigan, this ____ day of _____, 2020, by _____, the _____ of Genoa Charter Township, a Michigan municipal corporation, on behalf of the corporation.

_____, Notary Public
_____County, Michigan
My Commission Expires: _____
Acting in the County of _____

BMH REALTY, L.L.C.
a Michigan limited liability company

By: _____
Its: _____

STATE OF MICHIGAN)
)SS
COUNTY OF _____)

This Amendment was acknowledged before me in _____ County, Michigan, this ____ day of _____, 2020, by _____, the _____ of BMH Realty, L.L.C., a Michigan limited liability company, on behalf of the company.

_____, Notary Public
_____County, Michigan
My Commission Expires: _____
Acting in the County of _____

DRAFTED BY AND WHEN RECORDED
RETURN TO:
Bradford L. Maynes, Esq.
Corrigan Oil Company
775 North Second Street
Brighton, Michigan 48116

Exhibit A

Property Description

Real estate situated in the Township of Genoa, County of Livingston, State of Michigan, described as:

Part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point South 2°24' West 636.58 feet from the North quarter corner of said Section 9; thence South 2°24' West 172.53 feet; thence South 60°0' East 141.66 feet along the Northerly right of way line of Grand River; thence North 30°0' East 200.00 feet; thence North 72°0' West 226.54 feet to the point of beginning.

Commonly known as: 4483 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-005

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along the Northerly right-of-way of Grand River Avenue, 141.66 feet to the point of beginning of the parcel to be described; thence North 30°00'00" East 200.00 feet; thence South 60°00'00" East 274.00 feet; thence South 25°32'20" West 217.67 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along the Northerly right-of-way 289.86 feet to the point of beginning.

Commonly known as: 4525 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-010 and 4711-09-200-015

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977, 809.11 feet to the Northerly right-of-way of Grand River Avenue; thence South 60°00'00" East along said Northerly right-of-way of Grand River Avenue, 431.52 feet to the point of beginning of the parcel to be described; thence North 25°32'20" East 217.67 feet; thence South 64°27'40" East 106.63 feet; thence South 05°09'00" West 23.38 feet; thence South 16°19'00" West 210 feet to the Northerly right-of-way of Grand River Avenue; thence North 60°00'00" West along said Northerly right-of-way 148.90 feet to the point of beginning.

Commonly known as: 4533 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-014

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West along the West line of Charles Garlock Survey No. 142-33, dated February 2, 1977,

459.11 feet to the point of beginning of the parcel to be described; thence South 67°30'00" East 612.00 feet; thence South 05°09'00" West 205.00 feet; thence North 64°27' 40" West 106.63 feet; thence North 60°00'00" West 274.00 feet; thence North 72°00'00" West 226.54 feet; thence North 02°24'00" East 77.47 feet to the point of beginning.

Commonly known as: 1098 Lawson Road, Howell, MI
PARCEL ID NO. 4711-09-200-016

A part of the Northeast quarter of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the North quarter corner of said Section 9; thence South 02°24'00" West 459.11 feet; thence South 67°33'00" East 501.50 feet to the point of beginning; thence South 03°14'18" West 177.38 feet; thence South 64°26'59" East 121.69 feet; thence- South 16°19'00" West 210.00 feet; thence North 19°06'45" East 232.36 feet; thence North 13°44'25" East 192.25 feet; thence North 8 19°06'45" West 44.87 feet±; thence North 67°33'00" West 110.50 feet to .the point of beginning.

Commonly known as: 4525 E. Grand River, Howell, MI
PARCEL ID NO. 4711-09-200-017

Exhibit B
Impact Assessment

Exhibit C:

PUD Plan

Exhibit D

Uses

Uses Permitted by Right

- Retail establishments and shopping centers which provide goods such as bakery goods, including bakery items produced on the premises, groceries, produce, meats, provided no slaughtering shall take place on the premises, seafood; dairy products, beverages appliances, electronics, furniture, and home furnishings, apparel, jewelry, art, pharmaceuticals, home improvement supplies, hardware, and garden supplies, sporting goods, bicycles, toys, hobby crafts, videos (rental, and sales), music, musical instruments, books, computer hardware and software, antiques, flower shops, greeting card shops, auto parts and similar establishments not specifically addressed elsewhere (up to 30,000 square feet of gross floor area);
- banquet halls, assembly halls, dance halls, private clubs, fraternal order halls, lodge halls or other similar places of assembly;
- business services such as mailing, copying, data processing and retail office supplies;
- child care centers, preschool and commercial day care;
- funeral home or mortuary;
- bed and breakfast inns, hotels and motels with no more than 25 rooms not including accessory convention/meeting facilities or restaurants, which may include the residence for the owner/manger's family;
- hotels and motels with more than 25 rooms including accessory convention/meeting facilities and restaurants;
- laundromats;
- personal and business service establishments, performing services on the premises, including: dry cleaning drop-off stations (without on site processing), photographic studios, copy centers, mailing centers, data processing centers, dressmakers and tailors, shoe repair shops, tanning salons, beauty parlors, barber shops, and similar establishments;
- restaurants, taverns, bars, delicatessen, food carryout, coffee shops, and similar establishments serving food or beverages, including, but not limited to:
 - standard restaurants and coffee shops;
 - restaurants and bars serving alcoholic beverages;
 - bars providing dancing and live music;
 - restaurants with outdoor seating;
 - carry-out restaurants;
 - brewpub;
- studios of photographers and artists;
- tattoo parlors;
- tool and equipment rental, excluding vehicles;
- climate-controlled indoor commercial storage;
- auto/gasoline service station, limited to one (1) on the Property at any time;
- banks, credit unions, savings and loan establishments and similar;
 - with up to 3 drive-through teller windows
- offices of non-profit professional, civic, social, political and religious organizations;
- medical urgent care facilities, medical centers and clinics;

- medical offices of doctors, dentists, optometrists, chiropractors, psychiatrists, psychologists and similar or allied professions, excluding clinics, and urgent care centers;
- offices of lawyers, engineers, architects, insurance, and real estate agents, financial consultants, and brokers, advertising offices, accounting, and bookkeeping services, clerical, and stenographic services, sales offices, other types of executive, or administrative offices and similar or allied professions;
- motion picture theaters;
- public parks and open space;
- health clubs, fitness centers, gyms and aerobic clubs; commercial schools and studios for teaching photography, art, music, theater, dance, martial arts, ballet, etc.;
- vocational and technical training facilities;
- churches, temples and similar places of worship and related facilities;
- essential public services and structures, not including buildings and storage yards;
- essential public buildings;
- public/government buildings such as: township/state/county offices, public museums, libraries and community centers;
- temporary outdoor sales and Temporary outdoor events;
- accessory uses, buildings and structures customarily incidental to any of the above;

Uses Permitted with Special Land Use Approval

- Retail establishments and shopping centers which provide goods such as bakery goods, including bakery items produced on the premises, groceries, produce, meats, provided no slaughtering shall take place on the premises, seafood; dairy products, beverages appliances, electronics, furniture, and home furnishings, apparel, jewelry, art, pharmaceuticals, home improvement supplies, hardware, and garden supplies, sporting goods, bicycles, toys, hobby crafts, videos (rental, and sales), music, musical instruments, books, computer hardware and software, antiques, flower shops, greeting card shops, auto parts and similar establishments not specifically addressed elsewhere (between 30,000 and 60,000 square feet of gross floor area), including, but not limited to pharmacies with a drive-up window;
- automobile, motorcycle, boat and recreational vehicle sales, new and used;
- outdoor commercial display, sales or storage;
- conference centers;
- dry cleaning drop-off stations with drive-through service;
- restaurants, taverns, bars, delicatessen, food carryout, coffee shops, and similar establishments serving food or beverages, limited to the following:
 - restaurants with open front windows
 - drive-in restaurants
 - drive-through restaurants
 - coffee shop with drive-through
 - micro-brewery, small distillery and small winery
- kennel, commercial;
- pet day care center;
- minor auto repair establishment;
- automobile wash, automatic or self serve;

- leasing and rental of automobiles, trucks and trailers;
- adult day care facilities;
- banks, credit unions, savings and loan establishments and similar, limited to the following:
 - with more than 3 drive-through teller windows;
 - stand alone automatic drive-up teller machines.
- veterinary hospitals;
- veterinary clinics without boarding or overnight care;
- carnivals, fairs, commercial cider mills and amusement parks;
- recreation (outdoor) commercial or private, recreation centers, including children's amusement parks, batting cages, and go-cart tracks;
- miniature golf courses and driving ranges;
- recreation (indoor) such as bowling alleys, skating rinks, arcades, indoor golf or softball, indoor shooting/archery ranges;
- animal shelters;
- bus passenger stations;
- shelters and rehabilitation centers for philanthropic or non-profit institutions;
- upper floor dwelling units;
- accessory drive-through service not listed above;
- accessory fuel storage and use or storage of hazardous materials.

Exhibit E
Easements

Exhibit F
Elevations

BMH REALTY, L.L.C.

775 N. Second Street
Brighton, MI 48116
(810) 229-6323

February 19, 2020

VIA HAND DELIVERY

Genoa Charter Township Planning Commission
Charter Township of Genoa
2911 Dorr Road
Brighton, Michigan 48116

Re: Basis for Deviations – Grand River and Lawson PUD

Dear Commissioners,

BMH Realty, L.L.C. (“Owner”) seeks to redevelop an underutilized area of the Township bounded on three sides by Grand River Avenue, Lawson Drive and White Horse Drive through a Redevelopment PUD (“PUD”). The site is unique in that it acts as the buffer between an industrial area to the north and the primary commercial corridor to the south – Grand River Avenue. On the south end of the site, Owner has an existing gas station (“Gas Station”), which is proposed to be flanked by an office/retail building to the west (“Office/Retail”), and a drive-through restaurant to the east (“Drive-Through”), at the corner of Grand River Avenue and Lawson Drive. These three front uses will screen a primarily metal-finished climate-controlled storage use at the rear of the site (“Self-Storage”), bordering on White Horse Drive and the existing industrial uses. As a result, the site needs to be developed in a way that is sensitive to the uses on all sides, as well as the existing uses on the site itself.

The goal of the entire site is to provide uses that complement each other and service the overall community. The large site accommodates uses that generate traffic but allows the traffic to enter and exit the site from three public roads. The proposed PUD layout of the site and uses provide the necessary parking and loading zones while reducing the number of buildings and parking that could be built according to the parallel plan. The proposed PUD layout of the site provides a cluster of buildings versus a strip center. The location of the retention pond and landscaping will provide a buffer between the proposed commercial development and the adjacent property owners. In trying to reconcile the nearby proliferation of differing uses and aesthetics with the desire for a coherent site, it is necessary that Owner

seek a number of dimensional and use deviations from the underlying GCD¹ zoning as a part of the approval of the PUD. Please find below the basis for those deviations.

I. Township Standard

Deviations within proposed planned unit developments in the Charter Township of Genoa (the "Township") are governed by Section 10.07.01(h) of the Township's Zoning Ordinance, which sets forth as a required finding for approval of a Conceptual PUD Site Plan that "Any deviations from the applicable zoning regulations are reasonable and meet the intent of this Article". In addition, Section 10.03.04 requires a finding that "the deviation shall result in a higher quality of development than would be possible using conventional zoning standards". Finally, 10.03.04(c) requires that the table of deviations contain, in part, "the reasons the deviations are necessary and mechanisms to be utilized to mitigate any impacts". The proposed deviations in the PUD development meet all of these standards.

With regard to the 10.07.01(h) standard, the intent of the PUD Article is set forth in Section 10.01.01, which states the Purpose as follows:

to permit the coordinated development on larger sites, protect significant natural features present which the property owner and Township wish to preserve, to provide the opportunity to mix compatible uses or residential types, or allow clustering of residential units to preserve common open space and natural features.

The purpose, then, sets forth four factors for inquiry:

- (a) whether the deviations are a part of a coordinated development on a larger site;
- (b) whether the deviations help to protect significant natural features that the owner and Township wish to preserve;
- (c) whether the deviations provide the opportunity to mix compatible uses or residential types; or
- (d) whether the deviations allow clustering of residential units to preserve common open spaces and natural features.

It is the position of the Owner that factors (b) and (d) are inapplicable in the present instance as there are no significant natural features within the PUD, and residential units are not proposed

¹ As the rezoning of the underlying property to GCD is necessary for the proposed PUD, this letter is assuming a rezoning to GCD of the current portion of the property zoned OSD.

within the PUD. The question, then, is whether the proposed deviations meet factors (a) and (c). All of these standards are met by the various deviations requested, as set forth below.

II. The Deviations on the Self-Storage Building Meet the Ordinance Standard.

A. Finish Deviations

The finish deviations on the Self-Storage are fundamentally reasonable due to the nature of the use. This building is metal-finished for the pragmatic reason that lesser-quality storage facilities are block finished on the inside – the finish on the outside is the same as that on the inside. High quality climate-controlled storage requires metal-shelled storage units to prevent water and moisture intrusion, a cost that most other non-storage uses are not required to incur. Allowing a necessary internal material to also act as the functional exterior finish that it is allows form to follow function in a reasonable way for a building with unusual requirements. This is further reasonable as the metal finish, with commercial accents, allows it to sit comfortably between the industrial uses to the north and the commercial uses to the south, without looking like a sharp break from either perspective. Finally, the need for overhead doors at either end of the building to allow drive-in access is an industrial-appearing requirement that does not comport with a 75% brick, commercial design. The building finishes, as designed, are the most reasonable way to accommodate all of these needs.

With regard to providing coordinated development, the use of metal exterior finishes on the Self-Storage bordering on White Horse Drive provides a transition from the industrial uses to the north to the commercial uses to the south. Additionally, the coordination of the Self-Storage with the front buildings allows those buildings to provide more traditional commercial façades for the view from Grand River Avenue.

The highest quality self-storage facilities provide both security from water, moisture and mold and drive-through access to permit ease of access without weather intrusion. Allowing exterior metal finishes allows for a cost-effective means to construct the highest-quality storage on the interior by allowing the interior finish to serve as the exterior finish as well. Additionally, the appearance of the exterior metal finish allows for the overhead doors to appear more appropriate aesthetically, while retaining the highest functionality.

Finally, the deviations in terms of materials are mitigated by three different factors. First, the finished development will contain three different buildings between the Self-Storage Building and Grand River Avenue – the Gas Station, the Drive-Through and the Office/Retail. The presence of those three buildings are what will establish the retail/commercial appearance of the project from Grand River Avenue, rather than the Self-Storage that they screen. Second, the mix of industrial and commercial finishes on the Self-Storage are mitigated by the true

industrial finishes to the north of the property. This is not the case of a non-traditional commercial building sitting among nothing but commercial buildings – the blend of commercial and industrial finishes allows for a transition between the two, as discussed above. Finally, the presence of additional landscaping trees on White Horse Drive will help to mitigate any visual impact to passing motorists.

B. Window Deviations

With regard to the window deviations, a figure of 25% window covering for the façade of the Self-Storage is inherently unreasonable for a storage use to be economically viable, particularly given the other economic challenges on the site, including, but not limited to the retention pond. Owner has inserted as much window space as is possible, but, ultimately, the walls of the building are the walls of the storage units. It is neither reasonable to a) install windows that compromise the security of clients' storage units nor b) significantly increase the cost of the building by creating an additional wall with false windows in it directly outside of the walls of clients' storage units. The only reasonable alternative is to use windows where possible, as Owner has done around the Self-Storage, and mitigate the appearance through other means.

The Self-Storage has been coordinated with the balance of the site through screening by trees to the north, and by the other three buildings to the south. The trees break up the appearance of the Self-Storage when viewed from the north, and the significantly higher volume of windows present on the Office/Retail, Gas Station and Drive-Through uses alleviate the same issues from the Grand River Avenue side.

As discussed above, the same arguments as to having an identical interior and exterior wall for higher-quality development purposes are applicable here. Constructing a metal storage facility, the highest quality build available, is not feasible with 25% window coverage.

With regard to mitigating the deviation, the arguments are the same as set forth above with regard to coordination of the site. The entire site design has been coordinated so as to mitigate the potential harms of the requested deviation.

III. The Deviations on the Office/Retail Building Meet the Ordinance Standard.

The Office/Retail Building requires only one deviation – the materials usage for the north elevation of the building, which faces the Self-Storage Building. Allowing a deviation in materials presentation on the north elevation is reasonable as the north elevation will be almost entirely screened from outside the property by the Self-Storage Building. With regard to compliance with the intent of the PUD Ordinance, the placement of the retail building was coordinated with the other buildings and uses during site design. The retail building will have

high visibility along Grand River while providing a screen for the self-storage building. The uses that will occupy the retail building will not conflict with the other uses proposed within the site. As to the third factor, the savings that can be obtained on materials on this elevation afford the remainder of the public-facing elements of the development the ability to be of a higher quality. This deviation is mitigated entirely by the lack of visibility from outside of the property.

IV. The Deviations on the Fast Food Drive-Through Building Meet the Ordinance Standard.

The deviations on the Drive-Through are twofold – the deviation on the east setback of the site, and the use itself.

A. Reasonability

The PUD plan proposes a 59-foot setback along Lawson Drive. This setback deviation is reasonable due to the angle of Lawson Drive. Making effective use of the site and squaring-up the Drive-Through as much as possible to the primary view of Grand River Avenue results in a building placement on this corner where the northernmost corner of the building will have a 59-foot setback. Moving south, the building comes closer to conformance. This setback additionally is in greater conformance with the ordinance than the existing building.

With regard to the Drive-Through, while there has not historically been a stand-alone drive-through restaurant located on the PUD property, the existing gas station was constructed with a drive-through restaurant within the convenience store. That existing drive-through facility does not meet the current Township ordinances applicable to drive-through service uses. It is reasonable to increase the conformance of the site overall by separating out the drive-through use and removing the existing drive-through window. The PUD plan proposes the construction of the Drive-Through restaurant that, apart from the use itself, will be in greater conformance with the Township's ordinances than the existing corner use.

B. Meets Intent of PUD Ordinance

The deviation to the east setback is necessary for a coordinated development around the existing Gas Station. The parcel between the Gas Station and the corner is large enough to look odd if left vacant, but small enough that it is difficult to utilize for meaningful development without intrusion into the setback, as demonstrated by the currently-existing construction.

In addition, gas stations and drive-through restaurants are generally complimentary uses. The Shell station at the I-96 and Grand River interchange shares space with Baskin-Robbins and Dunkin' Donuts, while the BP station at Latson Road has a drive-through Panera located directly across Grand River Avenue from it. These are only two of several examples along the Grand

River corridor. Further, with the location of the Gas Station and Lawson Drive, there are few commercial uses that will fit in the space allocated.

C. Higher Quality of Development

The highest quality development is one that presents a package where the site is occupied at a uniform density, and where the internal uses are complimentary to one another. As set forth above, the setback deviation allows the use of what would otherwise result in the most valuable portion of the development being empty, and further allows a use that is complimentary to all three of the other uses in the development.

D. Mechanisms to Mediate

The primary mechanism to mediate the setback deviation is the orientation of the Drive-Through on the site. As discussed above, this is not a setback deviation where the building is consistently situated 59 feet from the parcel boundary, this is a circumstance where the deviation is consistently lessened as one proceeds south towards the point of greatest visibility – Grand River Avenue.

As for the use itself, the only meaningful potential impact could be additional traffic. By funneling traffic to three individual accesses on three separate roads, whatever minimal traffic may be generated by the Fast Food Drive-Through Building over and above the two permitted uses and the gas station is minimized by distributing that traffic over three roads rather than all flowing out onto one road, as a stand-alone fast-food drive through use likely would.

V. The Deviations on the Gas Station Meet the Ordinance Standard.

The Gas Station is a unique building from the perspective of the PUD as it is a lawfully pre-existing use. As a part of the redevelopment, Owner is seeking two approved deviations – the gas station use itself, and the use of improved quality materials that still do not comply with the ordinance requirements.

The reasonability of the gas station use has been long established from its pattern of usage within the community. Owner first constructed the gas station on the property in approximately 1994. Since that time, Owner has received no complaints about the operation of a gas station on the property, and the gas station has been a profitable business providing a valuable service to the citizens of the Charter Township of Genoa. The station is the only gas station in the 5.5 mile stretch of Grand River Avenue between Latson Road to the west, and the I-96 interchange in Brighton. With regard to the façade improvements, the nature of the current exterior finishes are such that any improvement would be very difficult to retrofit, and

make renovations less reasonable. As a result, replacing the existing EIFS with Nichiha vintagewood and the addition of Nichiha sandstone columns to break up the elevations make reasonable progress towards bringing the building into closer conformance with the ordinance while providing higher quality elevations.

With regard to the compliance with the intent of the PUD ordinance, the goal of the entire site is to provide uses that complement each other and service the overall community. The large site accommodates uses that generate traffic but allows the traffic to enter and exit the site from three public roads. The proposed PUD layout of the site and uses provide the necessary parking and loading zones while reducing the number of buildings and parking that could be built according to the parallel plan. The proposed PUD layout of the site provides a cluster of buildings versus a strip center. The location of the retention pond and landscaping will provide a buffer between the proposed commercial development and the adjacent property owners. Finally, the gas station use is extremely common in concert with fast food drive-throughs, as discussed above, and works well with a potential commuter. As a result, the use is in compliance with the intent of the PUD ordinance.

As discussed above, the difficulty of retrofitting the existing building makes creating a higher-quality development challenging while still complying with the Township's finish requirements. Allowing the proposed retrofits is the best way to create a higher quality of development from the perspective of the gas station building. Additionally, by allowing the gas station as a permitted use in the PUD, it allows for a higher quality of development in the future, as the status of a permitted use makes financing for improvements substantially easier to obtain.

The changes to the Gas Station are, themselves, mitigating the current impact of the Gas Station Building itself, by bringing it further into conformance. With regard to the use itself, the internal routing of traffic, eliminating additional access to Lawson Drive and adding an access to White Horse Drive, helps to mitigate any traffic impact of the gas station.

VI. The Landscape Deviations Meet the Ordinance Standard.

The proposed landscaping plan shows a gap in landscaping at the corner of Grand River and Lawson Drive. This area is the future site of the Fast Food Drive-Through. As the nature of the Fast Food Drive-Through is not currently known, it is difficult to know how to orient the landscaping to best work with that particular franchise. As a result, it is reasonable to allow a deviation presently, and require compliance when the drive-through restaurant submits for site plan approval at a later date. It is the Owner's intent to meet the ordinance requirements with a future submittal, however, we do not want to plant landscaping that could be damaged or need alterations when the site is eventually developed. Allowing the landscaping to wait for the necessities of the actual development best effectuates the goals of compliance with the

intent of the PUD ordinance (coordinated development) and a higher quality of development. At this time as part of the site plan, the applicant is proposing 8 additional trees along White Horse Drive to mitigate the 8 trees that are not shown at the corner of Grand River and Lawson Drive, as well as mitigation of the Self-Storage Building, discussed above.

BMH Realty, L.L.C. has made a concerted effort to redevelop the area around its existing gas station into a high-quality, functioning development that will improve the quality of life in the Township. Due to surrounding uses, the peculiarities of the site, and the nature of the users desiring the site, it is necessary to request some deviations as a part of the Redevelopment PUD. For the reasons set forth above, BMH Realty, L.L.C. believes those deviations meet the Township's standards, and requests approval of the PUD, including the deviations.

Very truly yours,



Michael B. Corrigan

RETAIL/SERVICES BUILDING							
2/19/2020							
SOUTH							
Material	Area (SF)	A	B	C	Compliance		Comments
		Percentage as designed	Maximum Allowed	Minimum Required	If A-B = +%, Exceeds Maximum	If A-C = -%, Under Minimum	
C-Brick (Note 2)	1,387	81%		75%	5.8%	Complies	
EIFS	330	19%	25%		-5.8%	Complies	
TL	1,717	100%					
Windows (Note 1)	839	32.8%		N/A	32.8%	Complies	
TL	2,556						
NORTH (Not visible from public view from street or residential)							
Material	Area (SF)	A	B	C	Compliance		Comments
		Percentage as designed	Maximum Allowed	Minimum Required	If A-B = +%, Exceeds Maximum	If A-C = -%, Under Minimum	
C-Brick (Note 2)	133	5.8%		N/A	5.8%	Complies	
Split faced CMU Doors (not included)	2,175	94.2%	25%		69.2%	Deviation	See attached letter
TL	2,308	100.0%					
Windows (Note 1)	0	0.0%		N/A	0.0%	Complies	
TL	2,308						
EAST							
Material	Area (SF)	A	B	C	Compliance		Comments
		Percentage as designed	Maximum Allowed	Minimum Required	If A-B = +%, Exceeds Maximum	If A-C = -%, Under Minimum	
C-Brick (Note 2)	1,035	79%		75%	4.3%	Complies	
EIFS	270	21%	25%		-4.3%	Complies	
TL	1,305	100%					
Windows (Note 1)	450	25.6%		N/A	25.6%	Complies	
TL	1,755						
WEST							
Material	Area (SF)	A	B	C	Compliance		Comments
		Percentage as designed	Maximum Allowed	Minimum Required	If A-B = +%, Exceeds Maximum	If A-C = -%, Under Minimum	
C-Brick (Note 2)	1,035	79%		75%	79.3%	Complies	
EIFS	270	21%	25%		-4.3%	Complies	
TL	1,305	100%					
Windows (Note 1)	450	25.6%		N/A	25.6%	Complies	
TL	1,755						

Notes:

1. 25% Minimum glass requirement only applies to self storage building; no minimum for other buildings.
2. 75% Minimum brick or stone required on wall exposed to public view from a street or residential area.

**BMH – PREMIER GENOA PUD
Genoa Township, Michigan
Site Plan Application**

IMPACT ASSESSMENT

Owner:

BMH Realty, L.L.C.
775 N. Second Street
Brighton, Michigan 48116

Prepared by:

DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed building additions and parking expansion on the surrounding community and the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The site is comprised of six parcels, containing a total of 5.12 acres of property, bordered on the North by White Horse Drive, Lawson Drive on the East, Grand River Avenue on the South and the Lake Trust Credit Union to the West, as shown on Figure 1. The Southeasterly four parcels are zoned General Commercial (GCD) district, the Southwesterly Parcel is zoned Office Service (OSD) district, and the North Parcel is split zoned with the East 1/2 zoned GCD and the West 1/2 zoned OSD.

The property currently contains three buildings and related improvements. An existing fuel station with a 2,670 square foot convenience store building, parking lot and storm water basin is located on the two center parcels. A 7,900 square foot commercial building, occupied by the Total Pool Supplies and Service, is located on the Southeast parcel. The Northeast parcel contains a 2,440 square foot industrial building, with a fenced outdoor storage yard, currently home to Security Access Controls and Fence Company. A residential home and related improvements, located on the Westerly parcel, were previously removed. The Existing Conditions Plan provides a detailed overview of the existing site features.

The BMH-Premier PUD development plan depicts proposed site improvements to be constructed on the site. Improvements consist of A 37,275 sq ft multi-purpose, adaptive use building, currently proposed to be up-fit with equipment to operate a drive-through, climate controlled building, with the potential for small flex-office spaces for rent, a 7,000 sq ft building appropriate for use for office, retail, restaurant, or a mix of those uses, a 2,336 sq ft out parcel pad suitable for use for retail or drive through fast food or other commercial use, and the existing gas station with a convenience store and related (existing) ancillary propane and kerosene sales. Additionally, the PUD plan features new parking areas, access drives, a storm water management system, lighting, landscaping and related site improvements.

Access to the property from Grand River Avenue and from Lawson Drive is provided through existing drives to the fuel station and convenience store. New access drives are proposed on White Horse Drive, in the Northeast portion of the project, and connection to the existing cross-access drive to Lake Trust Credit Union, located at the Southwest corner

of the site. The development will provide 102 parking spaces, including 6 barrier free accessible spaces, are to be developed on the site. Appurtenant features including commercial access drives, drive aisles, unloading/loading area, sidewalks and landscaping are also presented in the site plan. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

Adjacent uses include the Lake Trust Credit Union to the West and the DTE Service Center to the Northeast. Property to the North and East of the site is currently vacant. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

C. IMPACT ON NATURAL FEATURES

Natural features on the subject parcel consist of re-established field grasses and shrub/scrub brush on the Westerly portion of the property. Existing topography of the site is generally flat to gently sloping terrain. The elevation of the property varies from an elevation of 991 at the Westerly property line, to approximately 986 at the Southeast corner of the parcel. Surface water drainage on the property generally flows to the Southeast.

Existing soils on the property are primarily Miami loam. These soils are generally moderately drained, moderately permeable, loams. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and “Soil Survey of Livingston County”. The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed construction and improvements will require filling and grading in the Southeast portion of the property, filling the existing storm water basin and modifications to site elevations on the Northwest corner of Lawson Drive and Grand River. Excavation will be required to construct the proposed storm water retention system proposed on the North side of White Horse Drive.

The limits of disturbance have been depicted on the grading plan. Grading for this project will maintain the general character of the existing site. Development of this project will require earthwork to construct to proposed retention basin and modify site grades with useable materials from the site, requiring the exporting of excess soil and importing of additional structural fill material. The proposed elevations and grading of the site mesh with the existing grades at the property lines.

Landscaping is proposed for the developed portion of the site to reduce the visual impact of the proposed project. All proposed landscaping areas meet or exceed the planting requirements of Genoa Township’s current Zoning Ordinance and have been designed to improve the aesthetics of the property. Within the developed portion of the site, areas not otherwise covered, shall have lawn or other vegetative surface cover established.

Surface drainage characteristics on the property will be affected by the construction of the proposed building expansions and parking lots. Construction of the proposed improvements will reduce the permeable area of the property resulting in an increase in the surface water runoff generated. A storm water management system has been designed to

collect and control the surface water runoff, reducing the discharge rate from the property and increasing the infiltration of surface water runoff.

The proposed changes and modifications to the surface drainage conditions will not significantly impact local aquifer characteristics or groundwater recharge capacity. All surface water runoff from the site will be directed into the proposed retention basin to be constructed North of White Horse Drive. Reduction in the surface permeability will affect onsite infiltration, surface water flow path and duration. Surface water runoff from the development will be reduced and no significant impact to adjacent properties are anticipated from the proposed construction and re-development of the site.

Upland wildlife habitats on the property are minimal and consist of primarily field grass and shrub/scrub brush areas in the Northwest portion of the property. Wildlife supported in this area is generally smaller field animals and birds. Previous development and the existing use of the property, the adjoining developments and the proximity of Grand River, limits the existing upland habitat.

The project site does not currently support any significant wildlife habitat and the proposed construction will not have a significant impact on overall habitat quality. No significant adverse impact to natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

Excavation and grading will be undertaken to construct the proposed stormwater retention basin. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed sedimentation basin and retention basin. Site grading will mesh with existing grades on adjoining properties. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

Surface water runoff generated from all improved areas of the site will be collected by catch basins, conveyed through a storm sewer system, and discharged to the sedimentation and retention basin located on the North side of White Horse Drive. Storm water will be retained within the basin during a storm event and will infiltrate into the ground.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be installed around a majority of the site during construction. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

Surrounding land uses to the North of the site, on the North side of White Horse Drive, zoned Mixed-Use Planned Unit Development (MU-PUD), consists of an industrial user and vacant property. Land to the East is zoned Non-Residential Planned Unit Development (NR-PUD) and is vacant. Land to the South, zoned Non-Residential Planned Unit Development (NR-PUD) and Industrial (IND), contains a mix of commercial and industrial users including an auto wash and Reuland Electric Company. Property to the West is the Lake Trust Credit Union, zoned Mixed-Use Planned Unit Development (MU-PUD).

The Genoa Township Future Land Use Plan designates this property for General Commercial uses. The surrounding property is designated for a mix of General Commercial, Neighborhood Commercial and Medium Density Residential uses.

The proposed uses depicted on the development plan are consistent with existing development in the area and are generally consistent with the long-term planning within the Township.

The landscaping and architecture proposed will allow this site to be developed to compliment the surrounding properties. The impact of the improvements to the surrounding area has been minimized.

Ambient noise levels on and around the property are largely generated by Grand River vehicle traffic. Daily activities within the proposed building are not anticipated to create an increase in the sound level in the area.

All site lighting shall meet the requirements of the Genoa Township Zoning Ordinance. Proposed building mounted fixtures and pole mounted site lighting will be shielded and down directed on the site. The existing fuel station and convenience store lighting shall be on from dusk until dawn. General site lighting for other uses, excluding safety and emergency lighting, shall be energized between the times from dusk to 12:01 a.m. and from 5:00 a.m. to dawn.

The building façade along the building front (South side) and the East side elevations are most visible from Grand River. The East and West ends of the storage building provide primary entrance features. The storage building is designed to grant vehicular access into and out of the respective East and West ends of the building. The entire length of the building is designed with a 30' wide drive and parking aisle through the building, reducing demand for exterior onsite parking needs and eliminating the need for any outdoor parking and loading areas to access the building for pick up and delivery of stored items.

HVAC units serving the multi-purpose facility are placed inside of the building eliminating unsightly large heating and cooling mechanical equipment typically located either on rooftops or outside within landscaped buffers, which if placed on the available area outside of the building these mechanicals would be seen along White Horse Drive or Lawson Drive. The proposed interior placement reduces visibility by drivers accessing nearby residential neighborhoods and indoor placement of the HVAC lessens the total height and

mass of the structure.

The proposed use of the property does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department as a part of an existing governmental agreement will provide fire protection service. A fire hydrant will be constructed on the property within the White Horse Drive Right-of-way to provide adequate fire protection capabilities. The building is provided with an internal fire suppression system. A Fire Department Connection is located near the Northwest corner of the building along with a Knox box and required address labeling to meet the Fire Departments requirements. No significant increase in fire protection services are anticipated as a result of the proposed use.

The property is accessed from Grand River, White Horse Drive and Lawson Drive, providing adequate access for emergency vehicles. A wide drive aisle on the West side of the building will serve as a fire access lane between Grand River and White Horse Drive.

The proposed uses will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is presently within municipal sewer and water districts and existing buildings are connected to the municipal utilities.

Water service to the storage building is provided from a new water main extension to be constructed along White Horse Drive. A water service lead is connected to this main to supply the building and a fire suppression line is also provided from this main. An easement for repair, maintenance and access are provided for this connecting water main. Capacity is available within the existing water system to provide adequate service to this site.

Sanitary sewer is located along the North side of Grand River. Capacity is available within the existing sanitary sewer system to provide adequate service for the site.

The site is currently serviced by electric, gas, phone and cable systems located along Grand River Avenue.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. Dumpster enclosures with screen walls are located on the East, South and West sides of the storage building. The enclosures will be constructed decorative CMU material, matching material used on the site and complimenting the adjacent architecture of the building. Additional landscaping is provided in these areas to further enhance the aesthetics of these enclosures.

Delivery services are generally limited to parcel trucks, such as UPS, and similar single axle vehicles. These delivery service providers use available parking and drop off areas during their deliveries. Large vehicles accessing the site will be capable of maneuvering on the proposed access drives around the building and will utilize the proposed storage building for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

The proposed uses within the building will not use, store, generate and/or discharge potentially polluting materials. Small quantities of material such as cleaning products and chemicals may be stored on-site.

I. TRAFFIC IMPACT STUDY

A traffic impact study for the development has been prepared by Rowe Engineering and is submitted with the Site Plan packet.¹

Pedestrian access to the property is provided by an existing sidewalk along Grand River. A new sidewalk will be constructed along the East side of the property on Lawson Drive. Sidewalks throughout the property provide safe and efficient means for pedestrians to access the various uses within the property.

No adverse impact on pedestrian traffic in the area is anticipated as a result of developing the proposed project.

J. HISTORIC AND CULTURAL RESOURCES

The existing buildings on the property do not have any major historic significance on a local, regional or state level.

K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

END NOTE

¹ Net difference between development plan analyzed within the Rowe Engineering Traffic Study compared to the PUD plan part of this proposal includes a net 3,100 sq ft reduction in the retail/flex-office out building on the West end of the site and an increase of 2,685 net rentable sf in storage space.

FIGURE 1

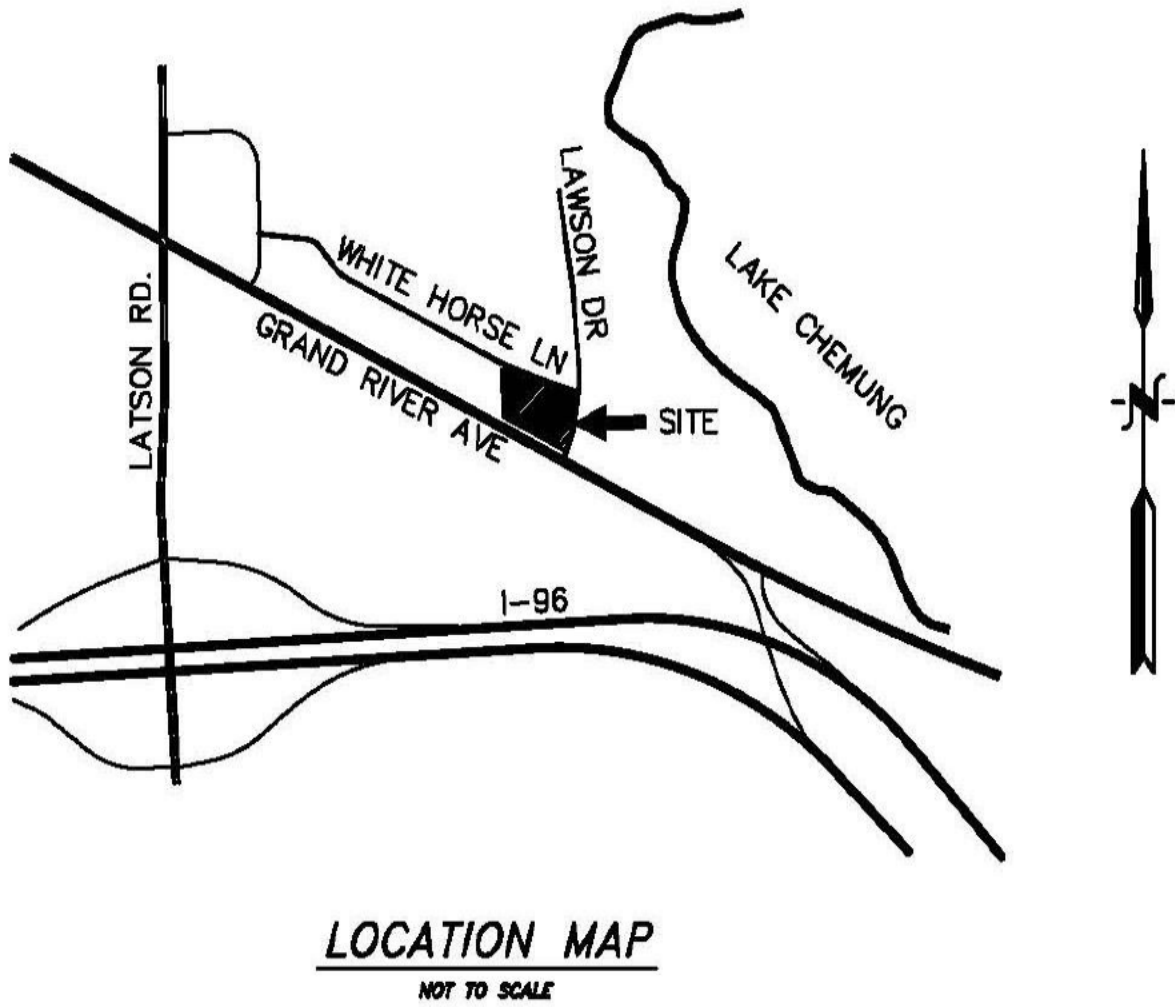


FIGURE 2
PHOTO DEPICTING SITE IMPROVEMENTS
NOT TO SCALE

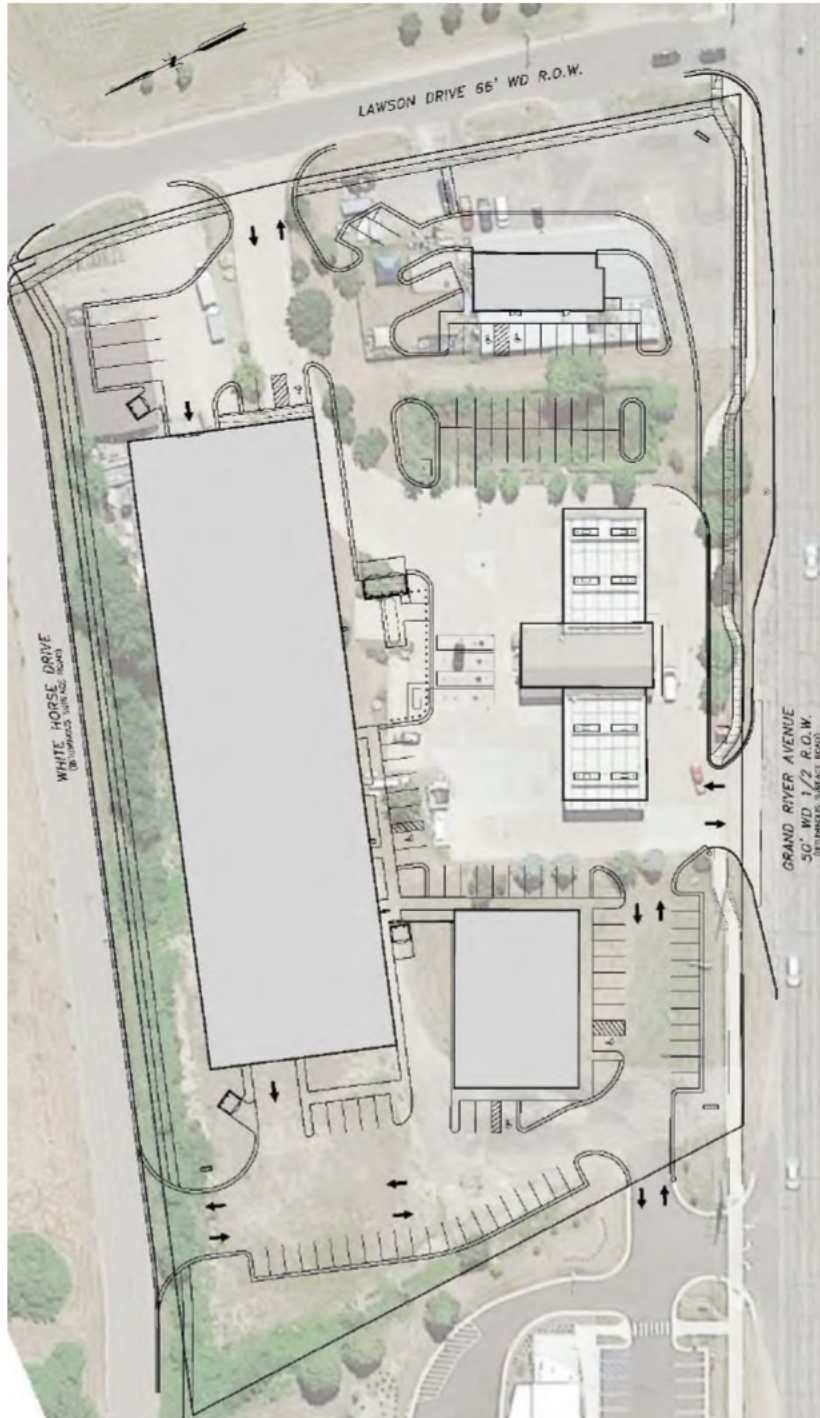


FIGURE 3
SOILS MAP
(NOT TO SCALE)



SOILS MAP

Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshlema loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshlema loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshlema loamy sands, 18 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water



Memorandum

To: Mr. Daniel J. Boorstein
From: Michael J. Labadie, PE and Jill M. Bauer, PE, PTOE
Date: March 7, 2019
RE: Proposed Mixed-Use Development, Grand River Avenue, Genoa Township

ROWE Professional Services Company has completed our traffic impact assessment related to the proposed new mixed-use development including a coffee shop, retail, office, and a two-story self-storage building located on the north side of Grand River Avenue just west of Lawson Drive. The current site plan (Figure 1 included in the materials attached to this report), indicates a 7,000-square-foot retail building, 3,700-square-foot general office, 2,336-square-foot coffee shop with drive-thru, and a 42,740-square-foot net rentable self-storage building. Access to the site is proposed through one southern driveway onto Grand River Avenue, a northern drive onto White Horse Lane, an eastern driveway on to Lawson Drive, and a shared drive with the credit union located west of the site. This traffic impact assessment has been completed in accordance with the requirements specified by Genoa Township and the Livingston County Road Commission (LCRC).

Traffic Counts

Turning movement traffic counts were collected during the weekday AM (7 to 9 a.m.) and PM (4 to 6 p.m.) peak periods on October 25, 2018 at the following intersections:

- Grand River Avenue and Latson Road
- White Horse Lane and Lawson Drive
- Grand River Avenue and Lawson Drive
- Grand River Avenue and westbound I-96 off-ramp

The existing turning movement traffic counts are shown in Figure 2 attached to this memorandum.

Background Traffic Scenario

Historical traffic data from LCRC were referenced to determine the applicable growth rate for the existing traffic volumes to the project build-out year in 2019. Most recent traffic data from LCRC indicate that between 2009 and 2013, overall traffic volumes in the area have decreased or remained stagnant. Therefore, a 0.5 percent per year growth rate was applied to the project buildout year to calculate the background traffic without the proposed development. There are no other approved developments in the area to be included in the background traffic forecast.

The background traffic volumes are shown in Figure 3 attached to this memorandum.

Trip Generation

Using the information and methodologies specified in the latest version of *Trip Generation (10th Edition)* published by the Institute of Transportation Engineers (ITE), ROWE forecast the weekday AM and PM peak hour trips associated with the proposed mixed-use development. The results of the trip generation forecasts for the proposed site are provided in Table 1.

**Table 1
 ITE Trip Generation for Proposed Mixed-Use Development**

Land Use	Land Use Code	Size	AM Peak Hour			PM Peak Hour			Week Day
			In	Out	Total	In	Out	Total	
Coffee/Donut Shop with Drive-Thru Window	937	2,336 gsf	106	102	208	51	50	101	1,916
Shopping Center	820	7,000 gsf	4	3	7	36	40	76	986
General Office	710	3,700 gsf	3	1	4	1	4	5	43
Mini-Warehouse	151	42,740 net rentable sf	3	2	5	4	4	8	71
TOTAL TRIPS			116	108	224	92	98	190	3,016
Internal Capture Trips: 11% (15%)			-13	-12	-25	-14	-15	-29	-332
TOTAL DRIVEWAY TRIPS			103	96	199	78	83	161	2,684
Coffee/Donut Shop Pass-by: 50% (50%)			-45	-45	-90	-18	-18	-36	-792
Shopping Center Pass-by: 34% (34%)			-1	-1	-2	-12	-12	-24	-335
TOTAL NEW TRIPS			57	50	107	48	53	101	1,557

Notes:

*Trip generation based on trip rates or Fitted Curve Equations from the ITE Trip Generation Manual, 10th Edition
 AM (PM) Linked Trip % were based on the NCHRP 684 Internal Trip Capture Estimator Tool supported by ITE.
 Linked trips and pass-by trips based on information/procedures in the ITE Handbook, 3rd Edition.
 Pass-by trips were adjusted so that in/out trips would be equal.*

Trip Distribution

The existing traffic patterns were used to develop a trip distribution model for the AM and PM peak hours for traffic generated by the proposed development. The existing traffic patterns indicate the following probable distribution for the proposed development:

AM Peak Hour

- 26% from and 7% to the north on Latson Road
- 16% from and 7% to the south on Latson Road
- 23% from and 19% to the west on Grand River Avenue
- 21% from and 41% to the east on Grand River Avenue
- 1% from and 0% to the west on White Horse Lane
- 1% from and 1% to the north on Lawson Drive
- 1% from and 1% to the south on Lawson Drive
- 11% from and 24% to I-94/Lake Chemung

PM Peak Hour

10% from and 21% to the north on Latson Road
9% from and 14% to the south on Latson Road
21% from and 29% to the west on Grand River Avenue
35% from and 23% to the east on Grand River Avenue
1% from and 1% to the west on White Horse Lane
0% from and 0% to the north on Lawson Drive
0% from and 0% to the south on Lawson Drive
24% from and 12% to I-94/Lake Chemung

The site plan indicates cross connections to the existing gas station and credit union. Traffic to and from the site would have the option to use driveways for these developments.

The proposed trip distribution for the site is shown in Figure 4 attached to this memorandum. The background traffic volumes were combined with the site generated traffic volumes to obtain the total future traffic volumes, which are shown in Figure 5 attached to this memorandum.

Level of Service Analysis

A level of service (LOS) analyses for existing, background (no build), and total future (build) conditions for the AM and PM peak hours was performed for the following intersections:

- Grand River Avenue and Latson Road
- White Horse Lane and Lawson Drive
- Grand River Avenue and Lawson Drive
- Grand River Avenue and westbound I-96 off-ramp

The existing site driveways onto Grand River Avenue were analyzed under total future traffic conditions for the AM and PM peak hours.

According to the most recent edition (6th Edition) of the Highway Capacity Manual, LOS is a qualitative measure describing operational conditions of a traffic stream or intersection. LOS ranges from A to F, with LOS A being the best. LOS D is generally considered to be acceptable. Tables 2 and 3 present the criteria for defining the various levels of service for unsignalized and signalized intersections, respectively.

Table 2
Level of Service Criteria (Unsignalized Intersection)

Level of Service	Average Stopped Delay/Vehicle (seconds)
A	≤10
B	>10 and ≤ 15
C	>15 and ≤ 25
D	>25 and ≤ 35
E	>35 and ≤ 50
F	> 50

Note: LOS "D" is considered acceptable in urban/suburban areas.

**Table 3
 Level of Service Criteria (Signalized Intersection)**

Level of Service	Average Stopped Delay/Vehicle (seconds)
A	≤10
B	> 10 and ≤ 20
C	> 20 and ≤ 35
D	> 35 and ≤ 55
E	> 55 and ≤ 80
F	> 80

Note: LOS "D" is considered acceptable in urban/suburban areas.

The results of the level of service analyses for the aforementioned intersections listed are summarized in Tables 4 through 22.

Signalized Intersection of Grand River Avenue and Latson Road

The results of the level of service analysis for the signalized intersection of Grand River Avenue and Latson Road indicate that, under existing conditions, the eastbound and westbound approaches operate at an LOS C, the northbound approach operates at an LOS F, and the southbound approach operates at an LOS D during the AM peak hour. During the PM peak hour, the northbound, southbound, and eastbound approaches operate at an LOS D and the westbound approach operates at an LOS E. The overall intersection operates at an LOS D during the AM and PM peak hours.

With the addition of both background and site generated traffic, all approaches to the intersection would continue to operate at the same LOS during the AM and PM peak hours with the exception of the westbound approach during the AM peak hour which experiences an increase in delay of 1.2 seconds and decreases from an LOS C to an LOS D. The overall intersection would continue to operate at an LOS D during the AM peak hour and at an LOS E during the PM peak hour. Therefore, the traffic generated by the proposed development would have a minimal impact on the operation of this intersection.

The operational results for the intersection of Grand River Avenue and Latson Road are presented in Tables 4 and 5.

**Table 4
 AM Peak Hour**

Level of Service Analysis for Grand River Avenue and Latson Road

Approach	Existing	Background	Future
Eastbound Grand River Avenue	C (33.3)	C (33.5)	C (34.3)
Westbound Grand River Avenue	C (34.2)	C (34.5)	D (35.7)
Northbound Latson Road	F (95.4)	F (96.5)	F (103.1)
Southbound Latson Road	D (35.5)	D (35.5)	D (35.6)

(XX.X) Average seconds of delay per vehicle

Table 5
PM Peak Hour
Level of Service Analysis for Grand River Avenue and Latson Road

Approach	Existing	Background	Future
Eastbound Grand River Avenue	D (38.7)	D (39.0)	D (39.6)
Westbound Grand River Avenue	E (71.3)	E (73.2)	E (79.3)
Northbound Latson Road	D (48.1)	D (48.6)	D (48.4)
Southbound Latson Road	D (45.3)	D (45.5)	D (46.5)

(XX.X) Average seconds of delay per vehicle

Signalized Intersection of Grand River Avenue and Lawson Drive

The results of the level of service analysis for the signalized intersection of Grand River Avenue and Lawson Drive indicate that, under existing conditions, the eastbound and westbound approaches operate at an LOS A, the northbound approach operates at an LOS D, and the southbound approach operates at an LOS E during the AM peak hour. During the PM peak hour, the eastbound and westbound approaches operate at an LOS A and the northbound and southbound approaches operate at an LOS D. The overall intersection operates at an LOS A during the AM peak hour and an LOS B during the PM peak hour.

Additional improvements to the intersection of Grand River Avenue and Lawson Drive were designed and approved in 2004 as a part of the amended and restated Summerfield Pointe planned unit development agreement. This approved design included the construction of a left turn lane on the southbound Lawson Drive approach. Although these improvements have not been constructed, they were included as a part of the background scenario.

With the addition of background improvements on Lawson Drive and both background and site generated traffic, the eastbound and westbound approaches would continue to operate at an LOS A during the AM and PM peak hours. The northbound approach would continue to operate at an LOS D during the AM peak hour but fall to an LOS E during the PM peak hour. The southbound approach would operate at an LOS E during the AM peak hour and an LOS D during the PM peak hour. The overall intersection would operate at an LOS A during the AM peak hour and an LOS B during the PM peak hour.

The operational results for the intersection of Grand River Avenue and Lawson Drive are presented in Tables 6 and 7.

Table 6
AM Peak Hour
Level of Service Analysis for Grand River Avenue and Lawson Drive

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (4.8)	A (4.8)	A (4.8)
Westbound Grand River Avenue	A (0.6)	A (0.6)	A (0.7)
Northbound Lawson Drive	D (39.0)	D (40.0)	D (40.8)
Southbound Lawson Drive	E (60.5)	D (42.8)	E (64.5)

(XX.X) Average seconds of delay per vehicle

Table 7
PM Peak Hour

Level of Service Analysis for Grand River Avenue and Lawson Drive

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (4.8)	A (4.8)	A (4.8)
Westbound Grand River Avenue	A (7.9)	A (7.9)	A (8.1)
Northbound Lawson Drive	D (48.3)	E (61.1)	E (68.4)
Southbound Lawson Drive	D (38.7)	D (37.9)	D (38.3)

(XX.X) Average seconds of delay per vehicle

To mitigate the delay, the signal timing for the intersection of Grand River Avenue and Lawson Drive was optimized, increasing the green time for the northbound and southbound phasing, adding 3 seconds during the AM peak hour and 2 seconds during the PM peak hour. The eastbound and westbound phasing was decreased respectively. The results of this analysis indicate that the eastbound approach would continue to operate at an LOS A during the AM and PM peak hours. The westbound approach would operate at an LOS A during the AM peak hour and an LOS B during the PM peak hour. The northbound and southbound approaches would operate at an LOS D during the AM and PM peak hours.

The results of this evaluation are presented in Tables 8 and 9.

Table 8
AM Peak Hour

Level of Service Analysis for Grand River Avenue and Lawson Drive

Approach	Existing	Background	Future (Mit)
Eastbound Grand River Avenue	A (4.8)	A (4.8)	A (6.1)
Westbound Grand River Avenue	A (0.6)	A (0.6)	A (0.8)
Northbound Lawson Drive	D (39.0)	D (40.0)	D (37.3)
Southbound Lawson Drive	E (60.5)	D (42.8)	D (46.0)

(XX.X) Average seconds of delay per vehicle

Table 9
PM Peak Hour

Level of Service Analysis for Grand River Avenue and Lawson Drive

Approach	Existing	Background	Future (Mit)
Eastbound Grand River Avenue	A (4.8)	A (4.8)	A (5.8)
Westbound Grand River Avenue	A (7.9)	A (7.9)	B (18.1)
Northbound Lawson Drive	D (48.3)	E (61.1)	D (51.1)
Southbound Lawson Drive	D (38.7)	D (37.9)	D (36.2)

(XX.X) Average seconds of delay per vehicle

Signalized Intersection of Grand River Avenue and I-96 Westbound Off-Ramp

The results of the level of service analysis for the signalized intersection of Grand River Avenue and the I-96 westbound off-ramp indicate that, under existing conditions, all approaches operate at an acceptable LOS D or above during the AM and PM peak hours. The overall intersection operates at an LOS A during the AM peak hour and an LOS C during the PM peak hour.

With the addition of both background and site generated traffic, all approaches to the intersection would continue to operate at the same LOS during the AM and PM peak hours. The overall intersection would continue to operate at an LOS A during the AM peak hour and an LOS C during the PM peak hour.

The operational results for the intersection of Grand River Avenue and I-96 Westbound Off-Ramp are presented in Tables 10 and 11.

Table 10
AM Peak Hour
Level of Service Analysis for Grand River Avenue and I-96 Westbound Off-Ramp

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (0.4)	A (0.4)	A (0.4)
Westbound Grand River Avenue	A (4.5)	A (4.5)	A (4.7)
Northbound I-96 Off-Ramp	D (39.7)	D (39.7)	D (39.6)

(XX.X) Average seconds of delay per vehicle

Table 11
PM Peak Hour
Level of Service Analysis for Grand River Avenue and I-96 Westbound Off-Ramp

Approach	Existing	Background	Future
Eastbound Grand River Avenue	C (22.6)	C (22.7)	C (23.0)
Westbound Grand River Avenue	B (13.8)	B (13.9)	B (14.3)
Northbound I-96 Off-Ramp	C (32.5)	C (32.5)	C (32.4)

(XX.X) Average seconds of delay per vehicle

Unsignalized Intersection of White Horse Lane and Lawson Drive

The results of the level of service analysis for the unsignalized intersection of White Horse Lane and Lawson Drive indicate that, under existing conditions, all approaches operate at an LOS A during the AM and PM peak hours. The overall intersection operates at an LOS A during the AM and PM peak hours.

With the addition of both background and site generated traffic, all approaches to the intersection would continue to operate at an LOS A during the AM and PM peak hours. The overall intersection would continue to operate at an LOS A during the AM and PM peak hours.

The operational results for the intersection of Grand River Avenue and Lawson Drive are presented in Tables 12 and 13.

Table 12
AM Peak Hour
Level of Service Analysis for White Horse Lane and Lawson Drive

Approach	Existing	Background	Future
Eastbound White Horse Lane	A (8.7)	A (8.7)	A (8.7)
Westbound Tractor Supply Driveway	A (9.3)	A (9.3)	A (9.3)
Northbound Lawson Drive	A (2.0)	A (2.0)	A (2.0)
Southbound Lawson Drive	A (0.0)	A (0.0)	A (0.0)

(XX.X) Average seconds of delay per vehicle

Table 13
PM Peak Hour
Level of Service Analysis for White Horse Lane and Lawson Drive

Approach	Existing	Background	Future
Eastbound White Horse Lane	A (8.7)	A (8.7)	A (8.7)
Westbound Tractor Supply Driveway	A (9.9)	A (9.9)	A (9.9)
Northbound Lawson Drive	A (3.6)	A (3.6)	A (3.6)
Southbound Lawson Drive	A (0.4)	A (0.4)	A (0.4)

(XX.X) Average seconds of delay per vehicle

Unsignalized Intersections of Grand River Avenue and the Southeast and Southwest Site Driveways

The site will have one access drive and a shared access drive with the existing credit union on the north side of Grand River Avenue just west of Lawson Drive. The results of the level of service analysis for these intersections indicate that, under future traffic conditions, the site driveway approach would operate at an acceptable LOS D or above during the AM and PM peak hours. The Grand River Avenue approach would operate at LOS A during both peak hours.

A left-turn lane evaluation was not performed since there is currently a two-way center left-turn lane on Grand River Avenue at the location of the site driveway. Additionally, a right turn lane exists for the site access driveway.

The operational results for the intersections of Grand River Avenue and the southeast and southwest driveways are presented in Tables 14 through 17.

Table 14
AM Peak Hour
Level of Service Analysis for Grand River Avenue and SW Access

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (0.10)	A (0.10)	A (0.10)
Westbound Grand River Avenue	A (0.0)	A (0.0)	A (0.0)
Southbound SW Access	C (16.0)	C (16.1)	C (17.3)

(XX.X) Average seconds of delay per vehicle

Table 15
PM Peak Hour
Level of Service Analysis for Grand River Avenue and SW Access

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (0.2)	A (0.2)	A (0.3)
Westbound Grand River Avenue	A (0.0)	A (0.0)	A (0.0)
Southbound SW Access	C (21.0)	C (21.0)	C (24.6)

(XX.X) Average seconds of delay per vehicle

Table 16
AM Peak Hour

Level of Service Analysis for Grand River Avenue and SE Access

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (0.4)	A (0.4)	A (0.8)
Westbound Grand River Avenue	A (0.0)	A (0.0)	A (0.0)
Southbound SE Access	C (19.1)	C (19.2)	D (32.7)

(XX.X) Average seconds of delay per vehicle

Table 17
PM Peak Hour

Level of Service Analysis for Grand River Avenue and SE Access

Approach	Existing	Background	Future
Eastbound Grand River Avenue	A (0.5)	A (0.5)	A (0.7)
Westbound Grand River Avenue	A (0.0)	A (0.0)	A (0.0)
Southbound SE Access	C (21.2)	C (21.3)	C (24.3)

(XX.X) Average seconds of delay per vehicle

Unsignalized Intersection of Lawson Drive and the Eastern Site Driveway

The site will have an access drive on Lawson Drive. The results of the level of service analysis for the intersection indicate that, under future traffic conditions, the site driveway approach would operate at an LOS A during the AM and PM peak hours. The Lawson Drive approaches would operate at LOS A during both peak hours.

The operational results for the intersections of Lawson Drive and the Eastern Site Driveway are presented in Tables 18 and 19.

Table 18
AM Peak Hour

Level of Service Analysis for Eastern Access and Lawson Drive

Approach	Existing	Background	Future
Eastbound E Access	A (8.8)	A (8.8)	A (9.0)
Northbound Lawson Drive	A (0.9)	A (0.9)	A (3.3)
Southbound Lawson Drive	A (0.0)	A (0.0)	A (0.0)

(XX.X) Average seconds of delay per vehicle

Table 19
PM Peak Hour

Level of Service Analysis for Eastern Access and Lawson Drive

Approach	Existing	Background	Future
Eastbound E Access	A (8.7)	A (8.7)	A (8.8)
Northbound Lawson Drive	A (0.6)	A (0.6)	A (2.1)
Southbound Lawson Drive	A (0.0)	A (0.0)	A (0.0)

(XX.X) Average seconds of delay per vehicle

Unsignalized Intersection of White Horse Lane and the Northern Site Driveway

The site will have an access drive on White Horse Lane. The results of the level of service analysis for the intersection indicate that, under future traffic conditions, the site driveway approach would operate at an LOS A during the AM and PM peak hours. The White Horse Lane approaches would operate at LOS A during both peak hours.

The operational results for the intersections of White Horse Lane and the Northern Site Driveway are presented in Tables 20 and 21.

Table 20
AM Peak Hour

Level of Service Analysis for White Horse Lane and Northern Access

Approach	Existing	Background	Future
Eastbound White Horse Lane	N/A	N/A	A (0.0)
Westbound White Horse Lane	N/A	N/A	A (0.0)
Northbound N Access	N/A	N/A	A (0.0)

(XX.X) Average seconds of delay per vehicle

Table 21
PM Peak Hour

Level of Service Analysis for White Horse Lane and Northern Access

Approach	Existing	Background	Future
Eastbound White Horse Lane	N/A	N/A	A (0.0)
Westbound White Horse Lane	N/A	N/A	A (0.0)
Northbound N Access	N/A	N/A	A (9.0)

(XX.X) Average seconds of delay per vehicle

Conclusions and Recommendations

The proposed mixed-use development consists of a 7,000-square-foot retail building, 3,700-square-foot general office, 2,336-square-foot coffee shop with drive-thru, and a 42,740-square-foot net rentable self-storage building. The proposed development will have access to Grand River Avenue through two site driveways along with a northern drive onto White Horse Lane and an eastern driveway to Lawson Drive.

The proposed development is forecast to generate 107 trips during the AM peak hour (57 inbound and 50 outbound from the site) and 101 trips during the PM peak hour (48 inbound and 53 outbound from the site).

An operational analysis was performed for existing, background, and total future conditions for the following intersections:

- Grand River Avenue and Latson Road
- White Horse Lane and Lawson Drive
- Grand River Avenue and Lawson Drive
- Grand River Avenue and westbound I-96 off-ramp

The operational reviews indicated that there was minimal impact to the intersections due to the proposed development except for the northbound approach to the Grand River Avenue and Lawson Drive intersection. Mitigation of this can be achieved through signal timing optimization and lengthening the

Mr. Daniel J. Boorstein
March 7, 2019
Page 11

green time for the southbound and northbound phase during the AM and PM peak hour. This scenario includes proposed improvements to the intersection of Grand River Avenue and Lawson Drive as a part of the Summerfield development that have not yet been constructed. These proposed improvements include construction of a left turn lane on the southbound Lawson Drive approach.

An operational analysis of the proposed site driveways was performed for total future conditions. This operational review indicated that the site driveways would operate at acceptable levels during both the AM and PM peak hours.

Attachments

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BMH - PREMIER - P.U.D.

Howell, Michigan

PRELIMINARY, NOT FOR CONSTRUCTION



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Revisions:

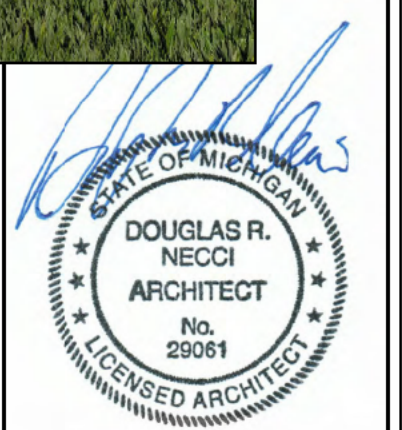
BMH-PREMIER P.U.D.
 HOWELL, MI

COVER SHEET

Scale
 N.T.S.

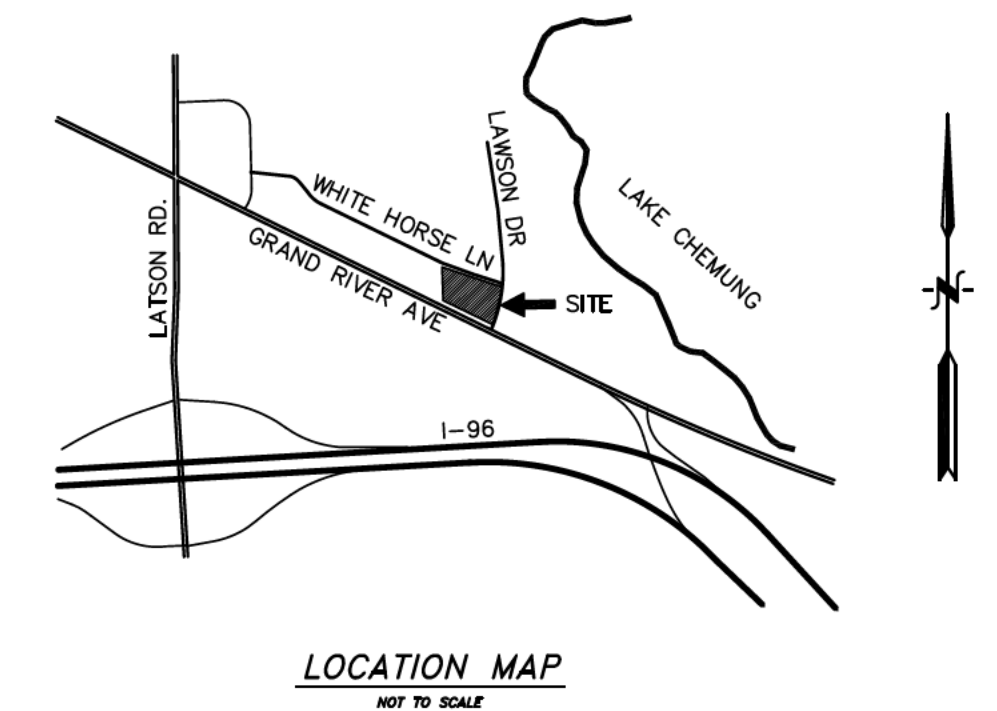
Date
 2/19/20

Sht. No.
 A-0



CONCEPTUAL PLAN FOR BMH - PREMIER P.U.D.

GENOA TOWNSHIP, MICHIGAN
A PART OF THE NE 1/4 OF SECTION 9, T2N, R5E.
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LEGAL DESCRIPTION

Reference: Certified Land Survey as recorded in Document No. 20105-0020, Livingston County Records.

Situated in the Township of Genoa, County of Livingston and State of Michigan, and described as follows:

PARCEL No. 11-09-200-005

Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan; thence S01°30'47"E (S02°24'00"W as recorded) 636.58 feet along the North-South 1/4 line of said Section 9 to the PLACE OF BEGINNING; thence S75°54'37"E 226.58 feet (S72°00'00"E 226.54 feet as recorded); thence S26°05'13"W 198.42 feet (S30°00'00"E 200.00 feet as recorded); thence N63°53'34"W 142.55 feet (N60°00'00"W 141.66 feet as recorded) along the Northerly line of Grand River Avenue (50 foot wide 1/2 Right-of-Way); thence N01°30'47"W 170.70 feet (N02°24'00"E 172.53 feet as recorded) along said North-South 1/4 line of Section 9 to the Place of Beginning. Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan. Containing 0.75 acres of land, more or less. Subject to and together with all easements and restrictions affecting title to the described above premises.

PARCEL No. 11-09-200-010

Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan; thence S01°30'47"E 807.28 feet (S02°24'00"W 809.11 feet as recorded) along the North-South 1/4 line of said Section 9; thence S63°53'34"E 142.55 feet (S60°00'00"E 141.66 feet as recorded) along the Northerly line of Grand River Avenue (50 foot wide 1/2 Right-of-Way) to the PLACE OF BEGINNING; thence N26°05'13"E 198.42 feet (N30°00'00"E 200.00 feet as recorded); thence S63°54'47"E (S60°00'00"E as recorded) 140.00 feet; thence S26°05'13"W 198.47 feet (S30°00'00"W 200.00 feet as recorded); thence N63°53'34"W (N60°00'00"W as recorded) 140.00 feet along said Northerly line of Grand River Avenue to the Place of Beginning. Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan. Containing 0.64 acres of land, more or less. Subject to and together with all easements and restrictions affecting title to the described above premises.

PARCEL No. 11-09-200-014

Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan; thence S01°30'47"E 807.28 feet (S02°24'00"W 809.11 feet as recorded) along the North-South 1/4 line of said Section 9; thence S63°53'34"E 432.29 feet (S60°00'00"E 431.52 feet as recorded) along the Northerly line of Grand River Avenue (50 foot wide 1/2 Right-of-Way) to the PLACE OF BEGINNING; thence N21°37'33"E 216.19 feet (N25°32'20"E 217.67 feet as recorded); thence S68°22'27"E 106.63 feet (S64°27'40"E 121.69 feet as recorded); thence S01°17'00"W 23.43 feet (S05°19'00"W 23.39 feet as recorded); thence S13°02'24"W 200.62 feet (S16°19'00"W 210 feet as recorded); thence S13°21'15"W 7.30 feet; thence N63°53'34"W 145.97 feet (N60°00'00"W 145.90 feet as recorded) along said Northerly line of Grand River Avenue to the Place of Beginning. Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan. Containing 0.65 acres of land, more or less. Together with a private wide easement for ingress and egress as recorded in Liber 2219, Page 260, Livingston County Records, also subject to and together with all easements and restrictions affecting title to the described above premises.

PARCEL No. 11-09-200-016

Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan; thence S01°30'47"E 459.11 feet along the North-South 1/4 line of said Section 9 to the PLACE OF BEGINNING; thence S71°13'30"E 502.18 feet along the South line of White Horse Drive (Variable width Right-of-Way); thence S00°31'08"E 175.68 feet; thence N71°12'19"W 134.00 feet; thence N63°54'47"W 140.00 feet; thence N75°54'37"W 226.58 feet; thence N01°30'47"W 177.47 feet to the Place of Beginning. Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan. Containing 1.83 acres of land, more or less. Subject to and together with all easements and restrictions affecting title to the described above premises.

PARCEL No. 11-09-200-017

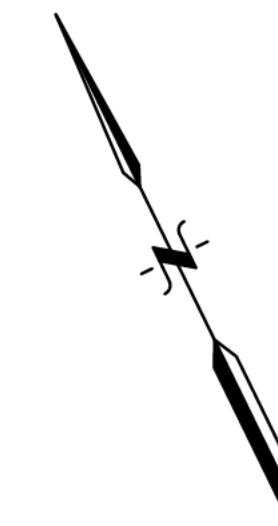
Commencing at the North 1/4 Corner of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan; thence S01°30'47"E 459.11 feet along the North-South 1/4 line of said Section 9; thence S71°13'30"E 502.18 feet along the South line of White Horse Drive (Variable width Right-of-Way) to the PLACE OF BEGINNING; thence continuing S71°13'30"E 108.69 feet along said South line of White Horse Drive; thence N86°53'15"E 45.07 feet; thence Southerly 181.88 feet along the arc of a 993.63 foot radius curve to the right, through a central angle of 10°29'16" and having a long chord bearing S10°06'37"W 181.63 feet along the westerly line of Lawson Drive (50 foot wide Right-of-Way); thence continuing S15°21'15"W 230.74 feet along said westerly line of Lawson Drive; thence N13°02'24"E 200.62 feet; thence N01°17'00"E 23.43 feet; thence N68°22'27"W 106.63 feet; thence N00°31'08"W 175.68 feet to the Place of Beginning. Being a part of the Northeast 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan. Containing 0.57 acres of land, more or less. Subject to and together with all easements and restrictions affecting title to the described above premises.



AERIAL PHOTOGRAPH
SCALE: 1in. = 60ft



Aerial photographic underlay is an unrectified image and is oriented to the engineering line work within reasonable accuracy and precision, and may not accurately depict current site conditions.



SHEET INDEX

- EX EXISTING CONDITIONS
- PD PRELIMINARY PUD
- PDP PARALLEL DEVELOPMENT PLAN
- SP SITE PLAN
- UT UTILITY PLAN
- EVC EMERGENCY VEHICLE CIRCULATION PLAN
- GR1 GRADING PLAN
- GR2 RETENTION BASIN DETAIL AND DRAINAGE CALCULATION
- DT1 NOTES AND DETAILS
- DT2 SIGNAGE AND PAVEMENT MARKING NOTES AND DETAILS
- L1 PRELIMINARY LANDSCAPE PLAN
- L2 ENLARGEMENTS
- L3 ENLARGEMENTS AND LANDSCAPE DETAILS
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- A-2 SELF STORAGE BUILDING, ELEVATIONS
- A-3 RETAIL BUILDING
- A-4 FUEL STATION AND CONVENIENCE STORE
- A-5 SECTIONS

OWNER
BMH REALTY L.L.C.
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116

DEVELOPER
PREMIER GENOA LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116

ARCHITECT
DRN & ASSOCIATES, ARCHITECTS PC
50850 APPLEBROOKE DR.
NORTHVILLE, MICHIGAN 48167
PHONE (248) 880-6523

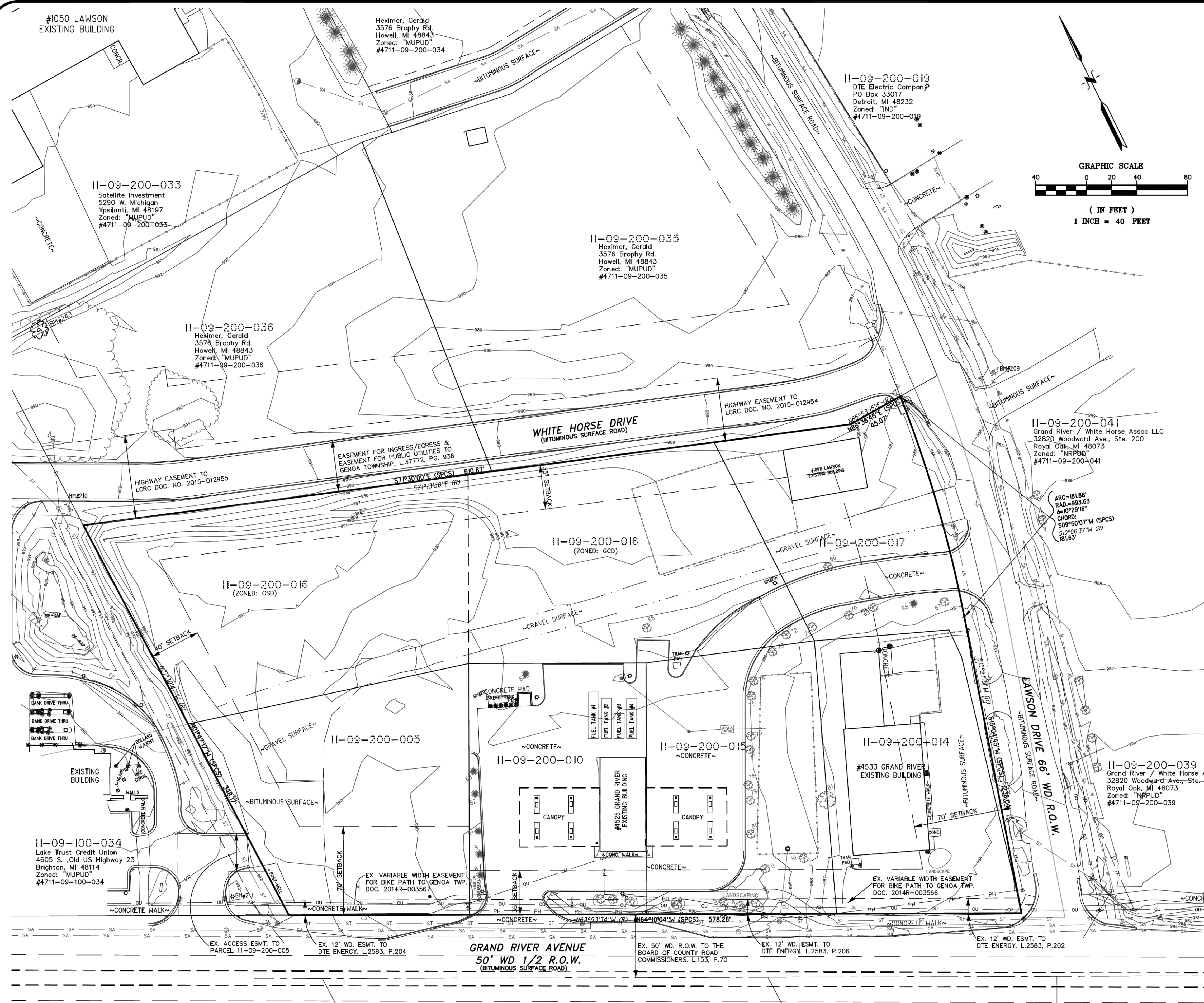
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FEB. 14, 2020	DWG NAME: 3450 COV
	PRINT: JUNE 8, 2020





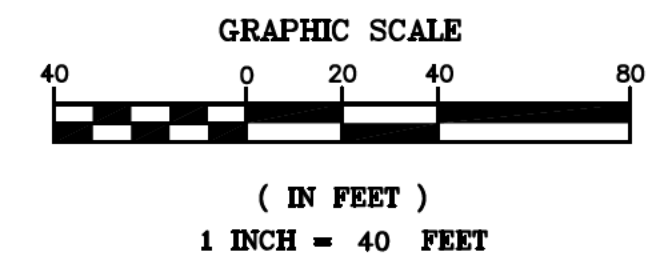
BENCHMARK
 DATUM BASED ON "NGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #209
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041.
 ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024.
 ELEVATION = 994.68 (NAVD 88)

BENCHMARK #211
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER.
 ELEVATION = 993.82 (NAVD 88)

BENCHMARK #240
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75± FEET NORTH OF DRIVE FOR PARCEL #11-09-200-034.
 ELEVATION = 991.66 (NAVD 88)



- LEGEND**
- = MISC. STRUCTURE (AS LABELED)
 - = WELL / MONITOR WELL
 - = BOLLARD
 - ⊥ = SIGN
 - ⊥ = FLAG POLE
 - ⊥ = LIGHT FIXTURE / DECORATIVE LIGHT
 - ⊥ = LIGHT BASE
 - ⊥ = TRAFFIC POLE / TRAFFIC SIGNAL POLE
 - ⊥ = OVERHEAD TRAFFIC SIGNAL
 - ⊥ = UTILITY METERS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATY BOX, MAIL BOX, UTIL. BOX)
 - ⊥ = AIR CONDITIONER UNIT
 - ⊥ = UTILITY MANHOLE (AS LABELED)
 - ⊥ = UTILITY POLE W/GUY WIRE
 - ⊥ = OVERHEAD UTILITY LINES
 - ⊥ = U/G UTILITY LINES (PHONE/FIBER OPTIC /ELECTRIC/CABLE TV/MISC UTILITIES)
 - ⊥ = EDGE OF WOODS / TREE DRIP LINE
 - ⊥ = DECIDUOUS TREE W/DENTIFIER
 - ⊥ = CONIFEROUS TREE W/DENTIFIER
 - ⊥ = FENCE
 - ⊥ = GUARD RAIL
 - ⊥ = EDGE OF GRAVEL
 - ⊥ = CONCRETE CURB
 - ⊥ = SANITARY SEWER MANHOLE W/DENTIFIER
 - ⊥ = SANITARY SEWER PIPE
 - ⊥ = CLEAN OUT
 - ⊥ = STORM WATER MANHOLE W/DENTIFIER
 - ⊥ = CATCH BASIN W/DENTIFIER
 - ⊥ = CONTROL STRUCTURE
 - ⊥ = FLARED END SECTION
 - ⊥ = STORM WATER DRAINAGE PIPE
 - ⊥ = HYDRANT
 - ⊥ = WATER SHUT OFF
 - ⊥ = WATER GATE VALVE WELL / MANHOLE
 - ⊥ = WATER VALVE BOX
 - ⊥ = WATER MAIN
 - ⊥ = GAS MANHOLE / GASOLINE COVER
 - ⊥ = GAS SHUT OFF
 - ⊥ = U/G GAS
 - ⊥ = 1' CONTOUR
 - ⊥ = 5' CONTOUR

- TREE SCHEDULE**
- | No. | DESCRIPTION |
|-----|---------------------|
| 1 | MAPLE 6" |
| 2 | MAPLE 2" |
| 3 | MAPLE 6" |
| 4 | MAPLE 6" |
| 5 | MAPLE 6" |
| 6 | MAPLE 4" |
| 7 | MAPLE 9" |
| 8 | PINE 10" |
| 9 | PINE 6" |
| 10 | SPRUCE 6" |
| 11 | CHERRY 4" |
| 61 | PINE 12" |
| 62 | PINE 12" |
| 63 | PINE 13" |
| 64 | PINE 15" |
| 65 | DECIDUOUS 8" |
| 66 | DECIDUOUS 8" |
| 67 | DECIDUOUS 10" MULT. |
| 68 | PINE 12" |
| 69 | DECIDUOUS 12" |
| 70 | DECIDUOUS 6" MULT. |
| 71 | DECIDUOUS 6" |
| 72 | DECIDUOUS 6" MULT. |
| 73 | DECIDUOUS 6" MULT. |
| 74 | PINE 9" |
| 75 | PINE 6" |
| 76 | PEAR 5" |
| 77 | PEAR 5" |
| 78 | PEAR 5" |
| 79 | PEAR 5" |
| 80 | PEAR 8" |
| 81 | DECIDUOUS 24" |

ZONING SCHEDULE

PARCEL ID #	EXISTING ZONING	PROPOSED ZONING	SITE AREA (Ac.)
4711-09-200-005	OSD	RDPUD	0.75
4711-09-200-010	GCD	RDPUD	0.64
4711-09-200-014	GCD	RDPUD	0.65
4711-09-200-015	GCD	RDPUD	0.67
4711-09-200-016	GCD&OSD	RDPUD	1.83
4711-09-200-017	GCD	RDPUD	0.58
TOTAL AREA=			5.12

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DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
CHECK: WMP						

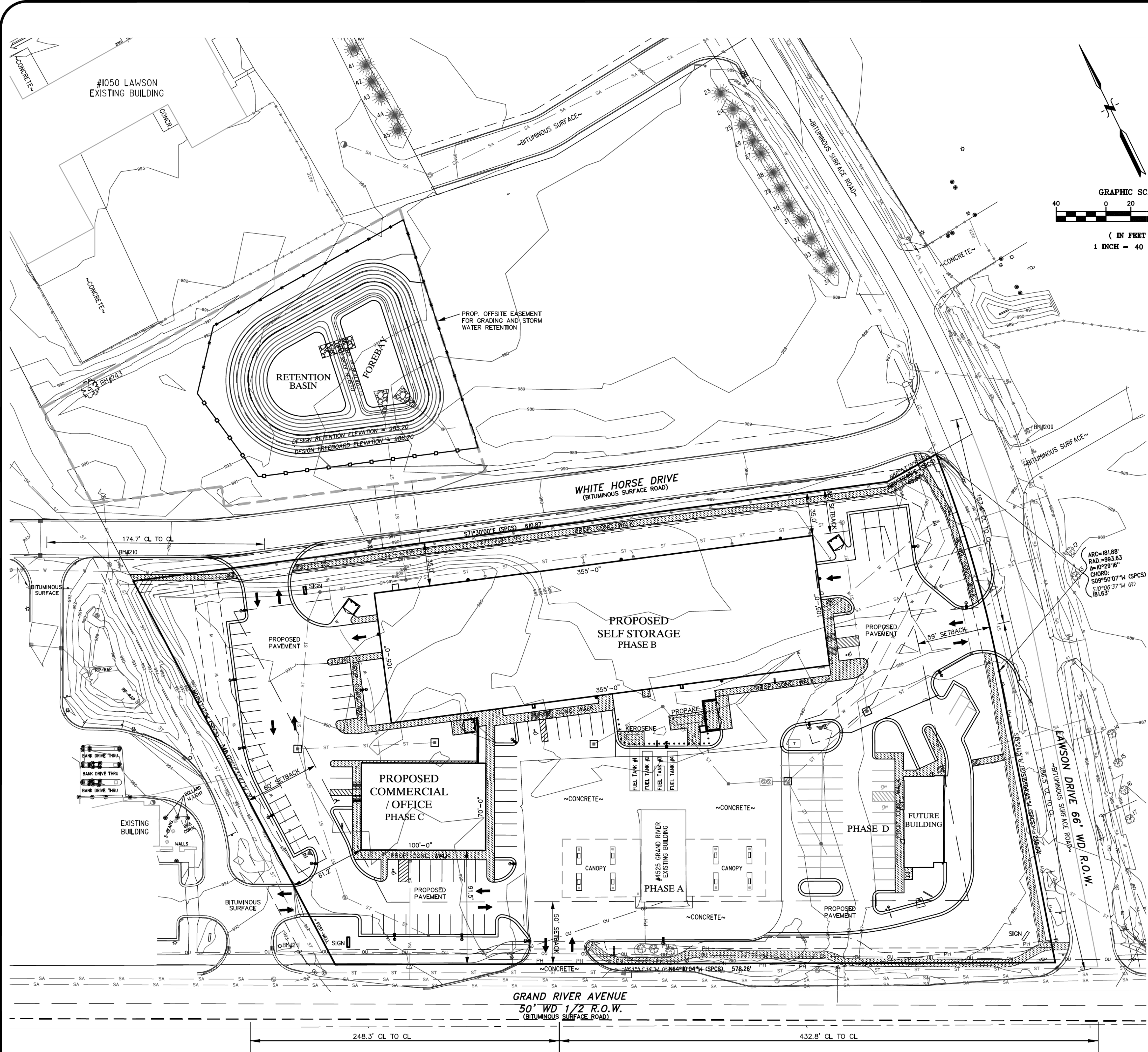
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EXISTING CONDITIONS PLAN

CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116

SCALE: 1in. = 40ft.
 PROJECT No.: 183450
 DWG NAME: 3450 EX
 ISSUED: FEB. 14, 2020

EX



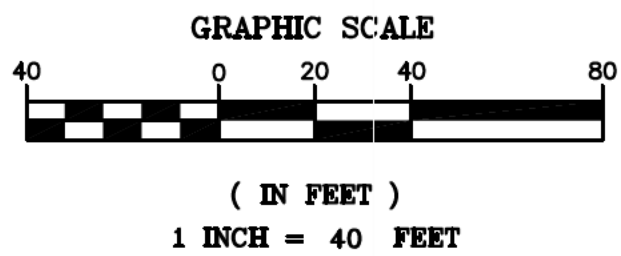
BENCHMARK
 DATUM BASED ON "NGS OPUS-RS SOLUTION REPORT" DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #209
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024. ELEVATION = 994.68 (NAVD 88)

BENCHMARK #211
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

BENCHMARK #240
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75± FEET NORTH OF DRIVE FOR PARCEL #11-09-200-034. ELEVATION = 991.66 (NAVD 88)



- LEGEND**
- = MISC. STRUCTURE (AS LABELED)
 - = WELL / MONITOR WELL
 - = BOLLARD
 - = SIGN
 - = FLAG POLE
 - = LIGHT FIXTURE / DECORATIVE LIGHT
 - = LIGHT BASE
 - = TRAFFIC POLE / TRAFFIC SIGNAL POLE
 - = OVERHEAD TRAFFIC SIGNAL
 - = UTILITY METERS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
 - = AIR CONDITIONER UNIT
 - = UTILITY MANHOLE (AS LABELED)
 - = UTILITY POLE W/OU WIRE
 - = OVERHEAD UTILITY LINES
 - = U/G UTILITY LINES (PHONE/FIBER OPTIC / ELECTRIC/CABLE TV/MISC UTILITIES)
 - = EDGE OF WOODS / TREE DRIP LINE
 - = DECIDUOUS TREE W/IDENTIFIER
 - = CONIFEROUS TREE W/IDENTIFIER
 - = FENCE
 - = GUARD RAIL
 - = EDGE OF GRAVEL
 - = CONCRETE CURB
 - = SANITARY SEWER MANHOLE W/IDENTIFIER
 - = SANITARY SEWER PIPE
 - = CLEAN OUT
 - = STORM WATER MANHOLE W/IDENTIFIER
 - = CATCH BASIN W/IDENTIFIER
 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - = WATER GATE VALVE WELL / MANHOLE
 - = WATER VALVE BOX
 - = WATER MAIN
 - = GAS MANHOLE / GASOLINE COVER
 - = GAS SHUT OFF
 - = U/G GAS
 - = 1' CONTOUR
 - = 5' CONTOUR

SITE DATA & ZONING DEVIATION TABLE

Project: BMH-Premier PUD	Location: Genoa Township, Michigan
Company: Desine Inc.	Address: 4525 East Grand River Ave.
Owner: Premier Genoa, LLC	Tax ID Number(s): #4711-09-200-005, 010, 014, 015, 016 & 017
Project Area (overall): 5.12 Ac. / 223,031 SF	Proposed Zoning: RD-PUD
Existing Zoning: Varies, see Zoning schedule on this sheet.	

Data	Existing Zoning	Proposed Zoning	Deviations From Exist. Zoning
Min. Lot Area =	1 Ac.	5.12 Ac.	
Min. Lot Width =	150'	578.26'	
Min. Front Yard Setback =			
North (White Horse Dr) =	35' (No parking on front)	35'	
East (Lawson Dr) =	75'	59'	11 FT. (see note)
South (E. Grand River) =	35' (No parking on front)	59'	
Min. Side Yard Setback =	15'	N/A	
Min. Rear Yard Setback =	50'	60'	
Min. Front Parking Setback =	20'	20'	
Min. Side Parking Setback =	10'	N/A	
Min. Rear Parking Setback =	10'	10.5'	
Max. Building Height:			
In Stories =	2	2	
In Feet =	35'	35'	

LOT COVERAGE		
Max. Lot Coverage Area =	35%	22.10%
Max. Impervious Coverage Area =	75%	73.30%
Open Space Area (25% Min.) =	25%	26.70%

Note: Reason for the deviation and mechanisms to be used to mitigate impacts, please see attached letter.

PARKING (Art. 15, Sec. 15-01):

Use	Required	Provided
Use: Flex-Office One (1) space per 300 SF of gross floor area	(1,200 / 300) = 4 spaces	4
Use: Storage Warehouse Minimum of (6) parking spaces	6 spaces Minimum	6
Building Site A: Use: Retail / Restaurant 5,000 sq.ft. Retail: 1 per 250 SF GFA 2,000 sq.ft. Restaurant: 1 per 70 SF	(5,000 / 250) = 20 spaces (2,000 / 70) = 29 spaces	50 50
Use: Restaurant w/ liquor license 3,500 sq.ft. Restaurant: 1 per 70 SF 4,050 sq.ft. Restaurant: 1 per 70 SF	(3,500 / 70) = 50 spaces (4,050 / 70) = 58 spaces	50 58**
Use: Medical Office - Specialty 7,000 sq.ft.: 1 space per 150 SF GFA 6,750 sq.ft.: 1 space per 150 SF GFA	(7,000 / 150) = 47 spaces (6,750 / 150) = 45 spaces	50 50
Use: Two-Story Office 7,000 sq.ft.: 1 space per 300 SF GFA	(14,000 / 300) = 47 spaces	50
Building Site B: Use: Drive-Thru Restaurant One (1) space per 70 SF of GLFA* or 0.5 spaces per seat (greatest one) plus (3) drive-thru short term parking, plus (10) stacking spaces, plus (2) RV parking.	(2,310 X 0.85) / 700 = 29 spaces 3 short term spaces 10 Stacking spaces 2 RV spaces	29 3 10 2
Use: Gas Station Two (2) spaces per serving bay, plus two (2) spaces per employee, plus one (1) space per each tow truck, plus one (1) space per each 500 SF of area devoted to sales	(2 employee X 2) = 4 spaces (2,671 / 500) = 6 spaces No service bays proposed No tow trucks proposed	10
Total Parking Spaces =	102	102
Total Rv Parking Spaces (10 X 50') =	2	2
Stacking Spaces =	10	10
Barrier Free Spaces =	5	6
Loading Spaces =	1	1

f: Served by public Water & Sanitary Sewer service.
 ‡: 85% of GFA used towards GLFA
 **: Additional Parking Required

Parking Calculations

Use	Calculation
1) Business Office Use =	(3,700 / 30) = 13 Parkings
2) Retail Use =	(7,000 / 250) = 28 Parkings
3) Drive-thru Restaurant Use =	(2,310 X 0.85) / 700 = 29 Parkings 3 short term parkings 10 Stacking Spaces 2 RV Parkings
4) Storage Warehouse Use =	6 Parkings Minimum (2 employee X 2) = 4 Parkings (2,671 / 500) = 6 Parkings No service bays proposed No tow trucks proposed

PHASING SCHEDULE
 PHASE A/B: 2020
 PHASE C: 2021
 PHASE D: 2022

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 BRIGHTON, MICHIGAN 48114

DESIGN: FAF	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
CHECK: WMP	2	6-08-20	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

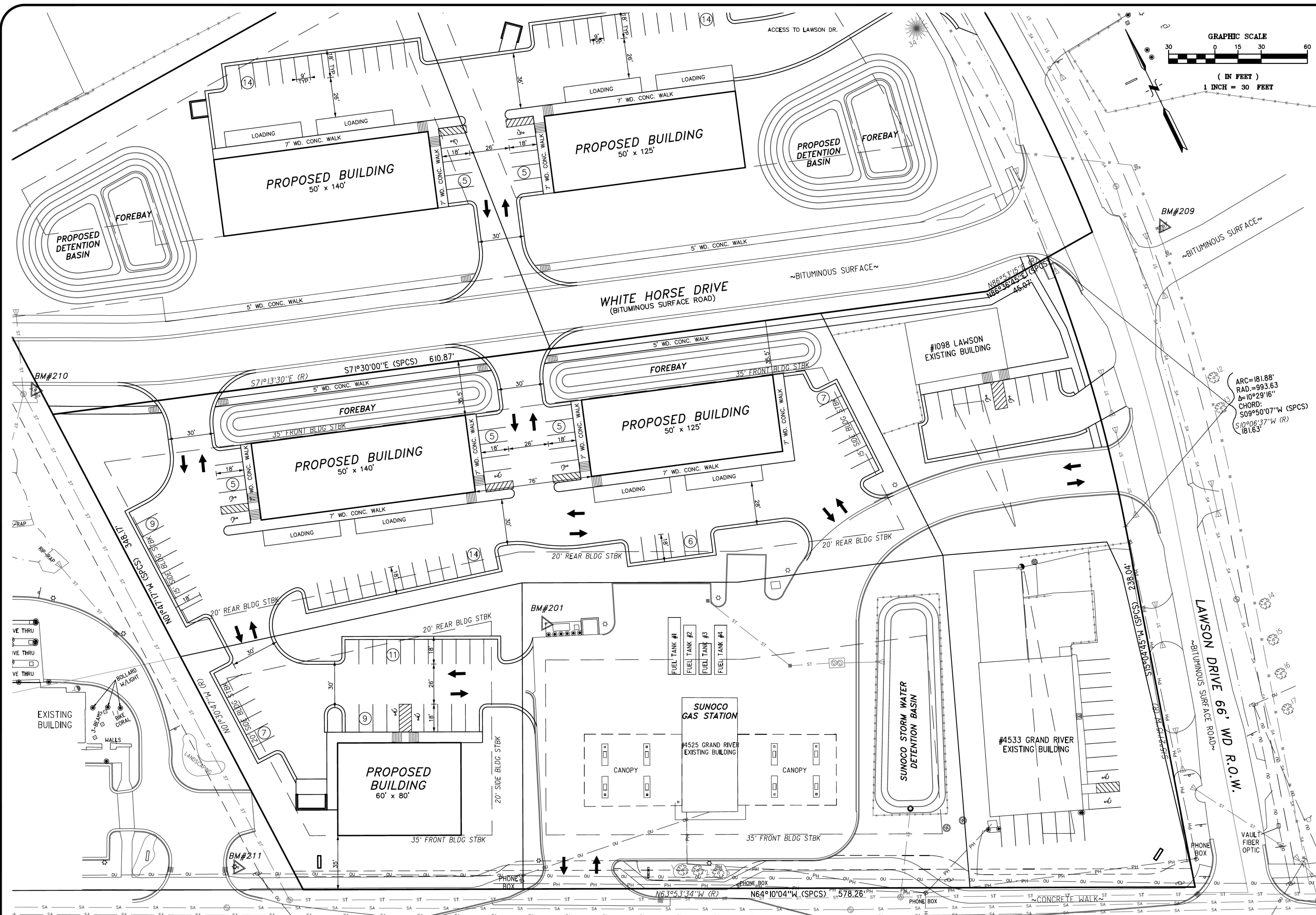
**BMH-PREMIER
 P.U.D.**

**CONCEPTUAL
 PUD PLAN**

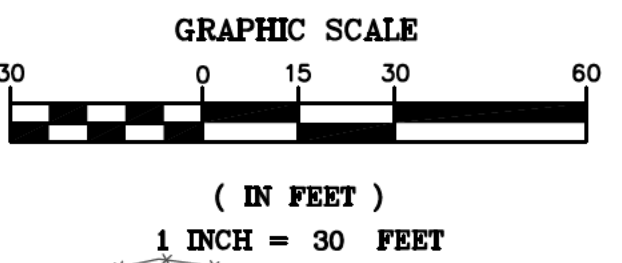
CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116

SCALE: 1in. = 40ft.
 PROJECT No.: 183450
 DWG NAME: 3450 PUD
 ISSUED: JUNE 8, 2020

PD



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 - = OVERHEAD TRAFFIC SIGNAL
 - = UTILITY METERS & BOXES
ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX
 - = AIR CONDITIONER UNIT
 - = UTILITY MANHOLE (AS LABELED)
 - = UTILITY POLE W/GUY WIRE
 - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
 - = U/G UTILITY LINES
PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES
 - = EDGE OF WOODS / TREE DRIP LINE
 - = DECIDUOUS TREE W/IDENTIFIER
 - = CONIFEROUS TREE W/IDENTIFIER
 - = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
 - = GUARD RAIL
 - = EDGE OF GRAVEL
 - = CONCRETE CURB (UNLESS OTHERWISE STATED)
 - = SANITARY SEWER MANHOLE W/IDENTIFIER
 - = SANITARY SEWER PIPE
 - = CLEAN OUT
 - = STORM WATER MANHOLE W/IDENTIFIER
 - = CATCH BASIN W/IDENTIFIER
 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - = WATER GATE VALVE WELL / MANHOLE
 - = WATER VALVE BOX
 - = WATER MAIN
 - = GAS MANHOLE / GASOLINE COVER
 - = GAS SHUT OFF
 - = U/G GAS



BENCHMARKS

DATUM BASED ON "MGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #201 (PRIMARY)
NORTHWEST CORNER OF "NEW" KEROSENE TANK PAD, LOCATED IN THE NORTHWESTERLY CORNER OF SUNOCO PROPERTY.
ELEVATION = 989.12 (NAVD 88)

BENCHMARK #200
TOP OF LIGHT POLE BASE, LOCATED NORTH OF DRIVE OFF OF LAWSON, NEAR THE SOUTHEAST PORTION OF PARCEL.
#1-09-100-016
ELEVATION = 990.53 (NAVD 88)

BENCHMARK #209
ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL.
#1-09-200-041
ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF PARCEL, PARCEL #1-09-100-024.

SITE CHARACTERISTICS

DEVELOPMENT AREA:	11.24 AC.
EXISTING ZONING:	
11-09-200-005	OSD
11-09-200-010	GCD
11-09-200-014	GCD
11-09-200-015	GCD
11-09-200-016	GCD
11-09-200-017	GCD
11-09-200-034	MUPUD
11-09-200-035	MUPUD
11-09-200-036	MUPUD



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DESIGN:WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

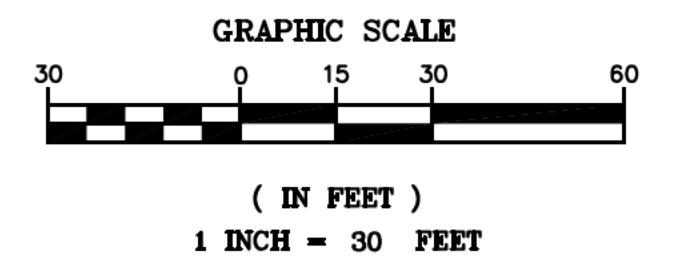
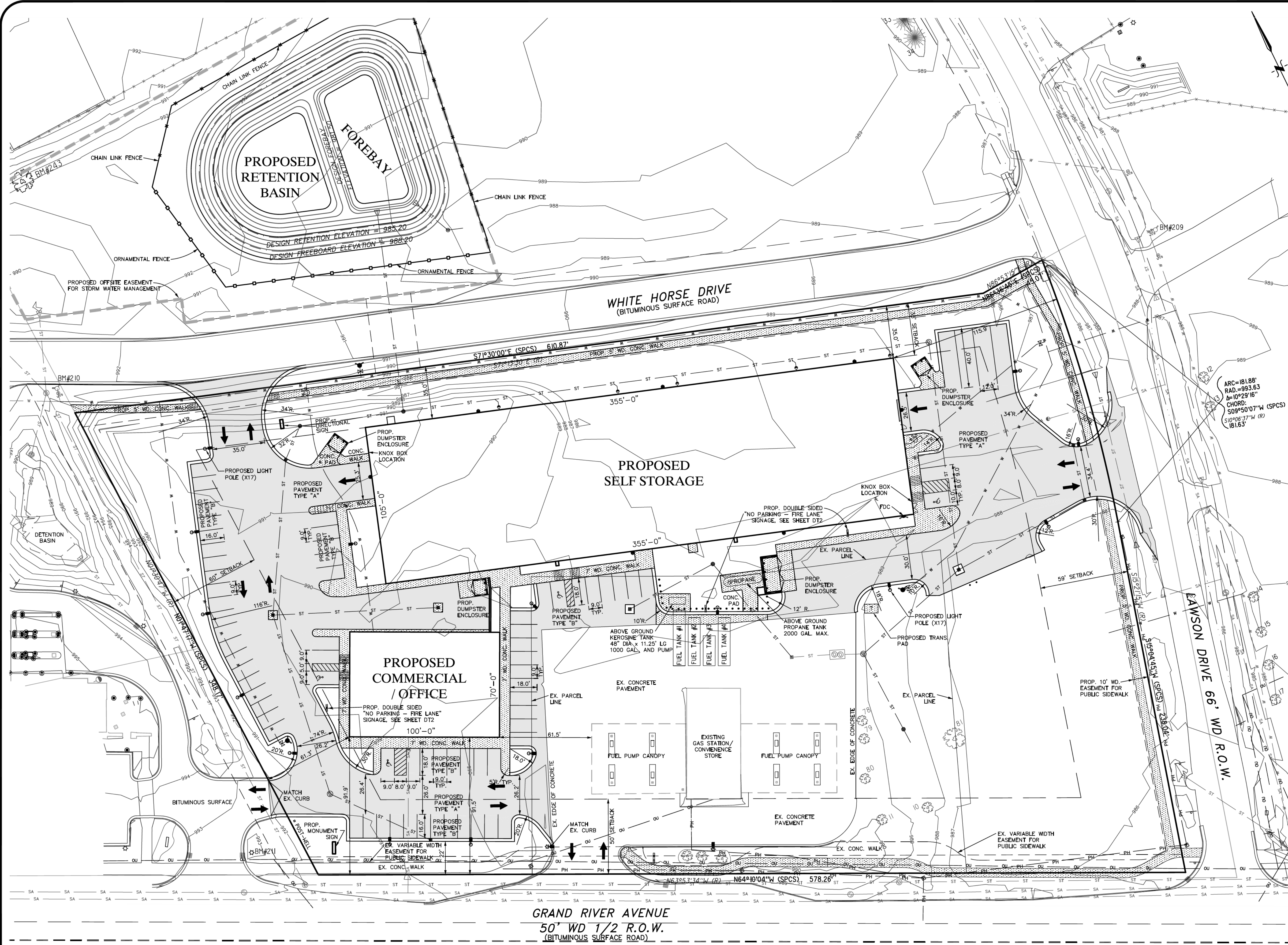
BMH - PREMIER P.U.D.

PARALELL DEVELOPMENT PLAN

CLIENT:
CORRIGAN CONSTRUCTION
207 N. SECOND STREET
BRIGHTON, MICHIGAN 48116

SCALE: 1in. = 30ft.
PROJECT No.: 183450
DWG NAME: 3450 PUD
ISSUED: FEB. 14, 2020

PDP



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 - = OVERHEAD TRAFFIC SIGNAL
 - = UTILITY HEADS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
 - = AIR CONDITIONER UNIT
 - = UTILITY HANDBOLE (AS LABELED)
 - = UTILITY POLE W/UTILITY WIRE
 - = OVERHEAD UTILITY LINES
 - = U/G UTILITY LINES (PHONE/FIBER OPTIC / ELECTRIC/CABLE TV/MISC UTILITIES)
 - = EDGE OF WOODS / TREE DRIP LINE
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 - = EDGE OF GRAVEL
 - = CONCRETE CURB
 - = SANITARY SEWER MANHOLE W/IDENTIFIER
 - = SANITARY SEWER PIPE
 - = CLEAN OUT
 - = STORM WATER MANHOLE W/IDENTIFIER
 - = CATCH BASIN W/IDENTIFIER
 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - = WATER GATE VALVE WELL / HANDBOLE
 - = WATER VALVE BOX
 - = WATER MAIN
 - = GAS MANHOLE / GASOLINE COVER
 - = GAS SHUT OFF
 - = U/G GAS
 - = 1' CONTOUR
 - = 5' CONTOUR
 - = PROP. CONCRETE PAVEMENT
 - = PROP. BITUMINOUS PAVEMENT

BENCHMARK
 DATUM BASED ON "NGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #209
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024. ELEVATION = 994.68 (NAVD 88)

BENCHMARK #211
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

NOTE:
 EXTERIOR SITE LIGHTING SHALL BE OF A CONSISTENT TYPE AND MATERIAL THROUGHOUT THE PUD.

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	2	6-08-20	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

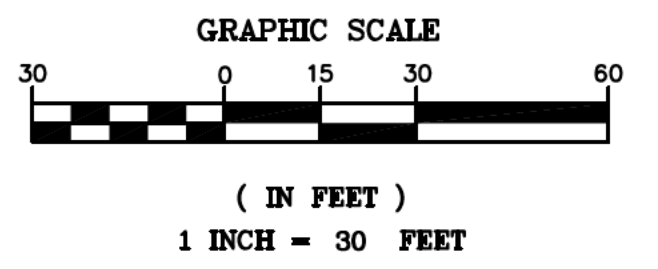
**BMH - PREMIER
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**PROPOSED
 SITE PLAN**

CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 183450
 DWG NAME: 3450.SP
 ISSUED: **JUNE 8, 2020**

SP



LEGEND

- MISC. STRUCTURE (AS LABELED)
- WELL / MONITOR WELL
- BOLLARD
- SIGN
- FLAG POLE
- LIGHT FIXTURE / DECORATIVE LIGHT
- LIGHT BASE
- TRAFFIC POLE / TRAFFIC SIGNAL POLE
- OVERHEAD TRAFFIC SIGNAL
- UTILITY METERS & BOXES (ELECTRIC, GAS, WATER, PHONE, BOX, CARRY BOX, MAIL, BOX, UTL, 100)
- AIR CONDITIONER UNIT
- UTILITY HANGAR (AS LABELED)
- UTILITY POLE W/UTILITY WIRE
- OVERHEAD UTILITY LINES
- U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
- EDGE OF HOODS / TREE SHIP LINE
- DECIDUOUS TREE W/IDENTIFIER
- CONIFEROUS TREE W/IDENTIFIER
- FENCE
- GUARD RAIL
- EDGE OF GRAVEL
- CONCRETE CURB
- SANITARY SEWER MANHOLE W/IDENTIFIER
- SANITARY SEWER PIPE
- CLEAN OUT
- STORM WATER MANHOLE W/IDENTIFIER
- CATCH BASIN W/IDENTIFIER
- CONTROL STRUCTURE
- STORED END SECTION
- STORM WATER DRAINAGE PIPE
- HYDRANT
- WATER SHUT OFF
- WATER GATE VALVE WELL / MANHOLE
- WATER VALVE BOX
- WATER MAIN
- GAS MANHOLE / GASOLINE COVER
- GAS SHUT OFF
- U/G GAS
- GAS
- F CONTOUR
- 5' CONTOUR

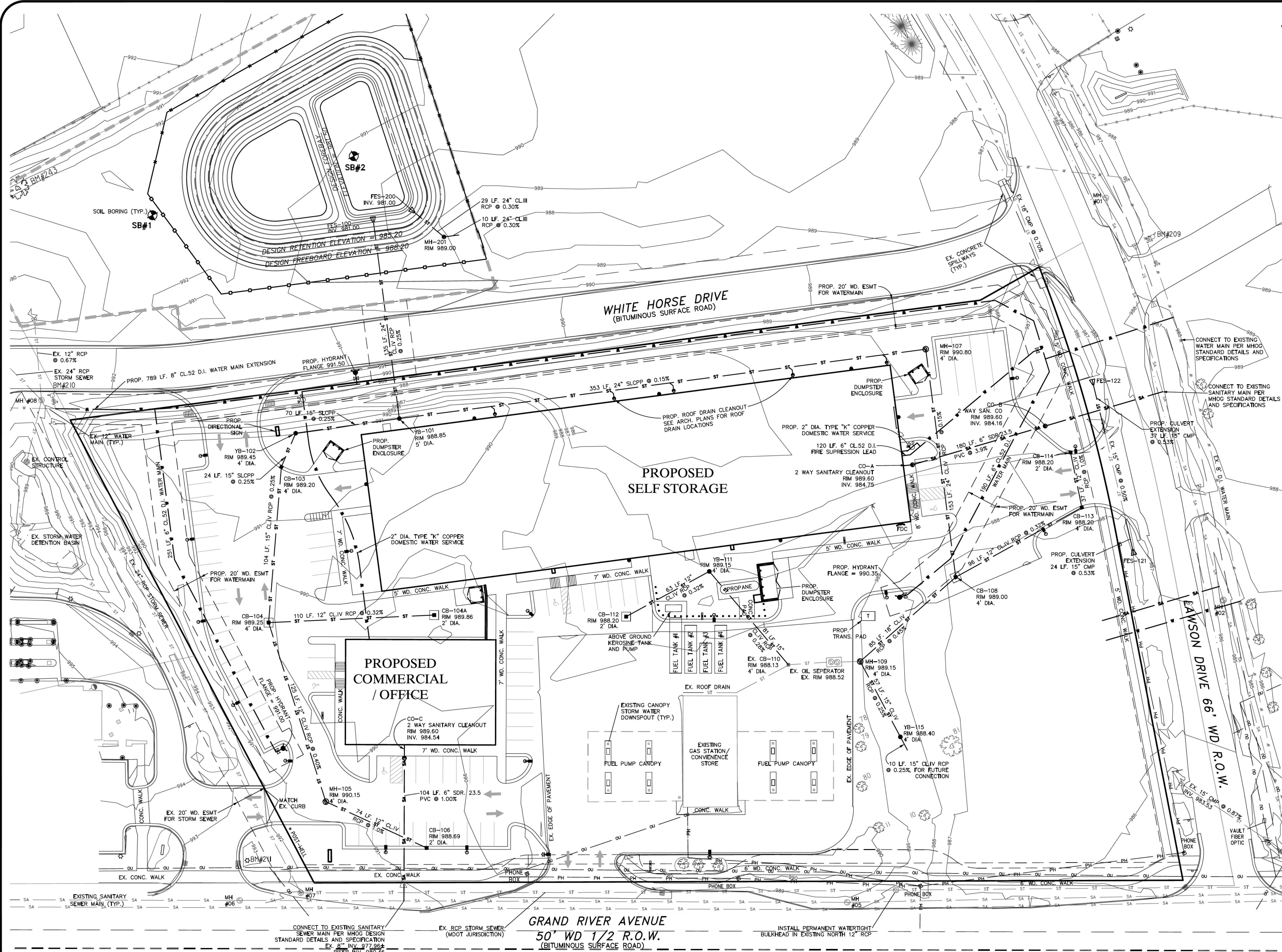
BENCHMARK
 DATUM BASED ON "MGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 8:13 AM

BENCHMARK #009
 ARROW OF HYDRANT, LOCATED ON LAHSON DRIVE, NORTH OF DRIVE FOR PARCEL #10-200-041. ELEVATION = 989.90 (NAVD 83)

BENCHMARK #010
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #10-200-024. ELEVATION = 994.60 (NAVD 83)

BENCHMARK #011
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #10-200-034. OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 83)

BENCHMARK #012
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAHSON DRIVE, 754 FEET NORTH OF DRIVE FOR PARCEL #10-200-034. ELEVATION = 993.66 (NAVD 83)



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CHECK: WMP						

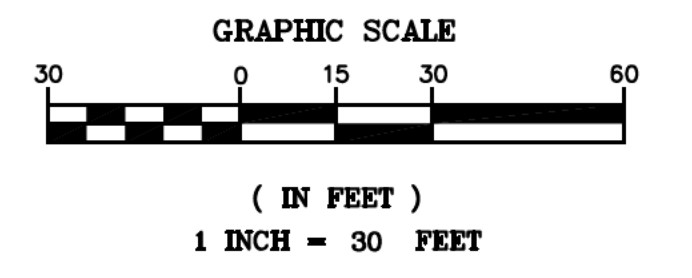
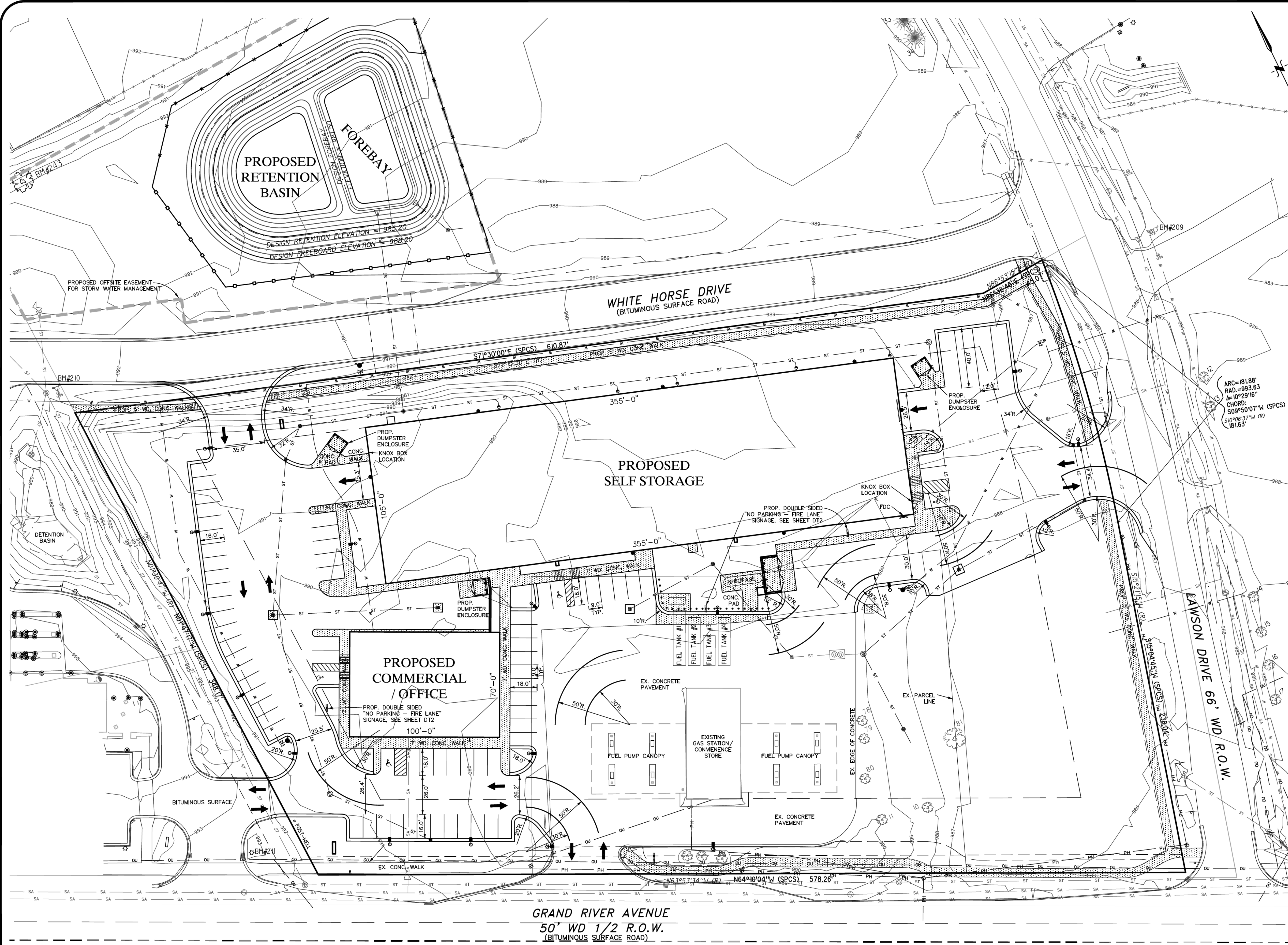
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PROPOSED UTILITY PLAN

CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT NO: 183450
 DWG NAME: 3450 UT
 ISSUED: FEB. 14, 2020

UT



- LEGEND**
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 - = AIR CONDITIONER UNIT
 - = UTILITY HANDBOLE (AS LABELED)
 - = UTILITY POLE W/UTL WIRE
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 - = CLEAN OUT
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 - = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - = WATER GATE VALVE WELL / HANDBOLE
 - = WATER VALVE BOX
 - = WATER MAN
 - = GAS HANDBOLE / GASOLINE COVER
 - = GAS SHUT OFF
 - = U/G GAS
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 - = PROP. BITUMINOUS PAVEMENT

BENCHMARK
 DATUM BASED ON "NGS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #09
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #10
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024. ELEVATION = 994.68 (NAVD 88)

BENCHMARK #11
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

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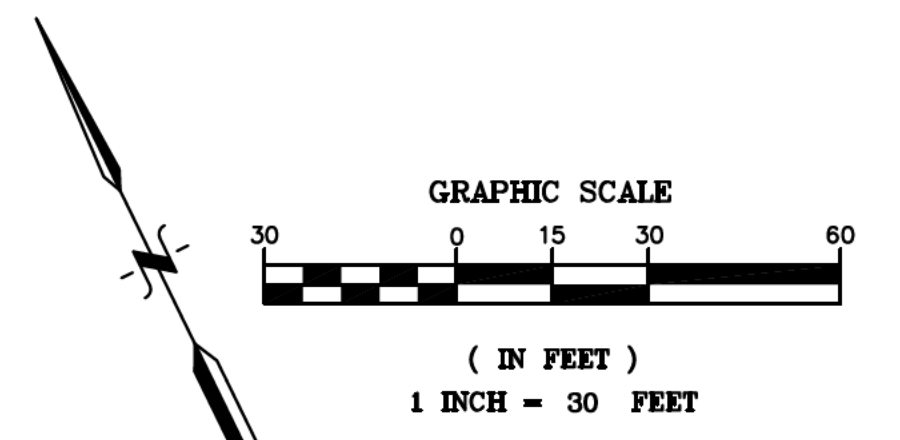
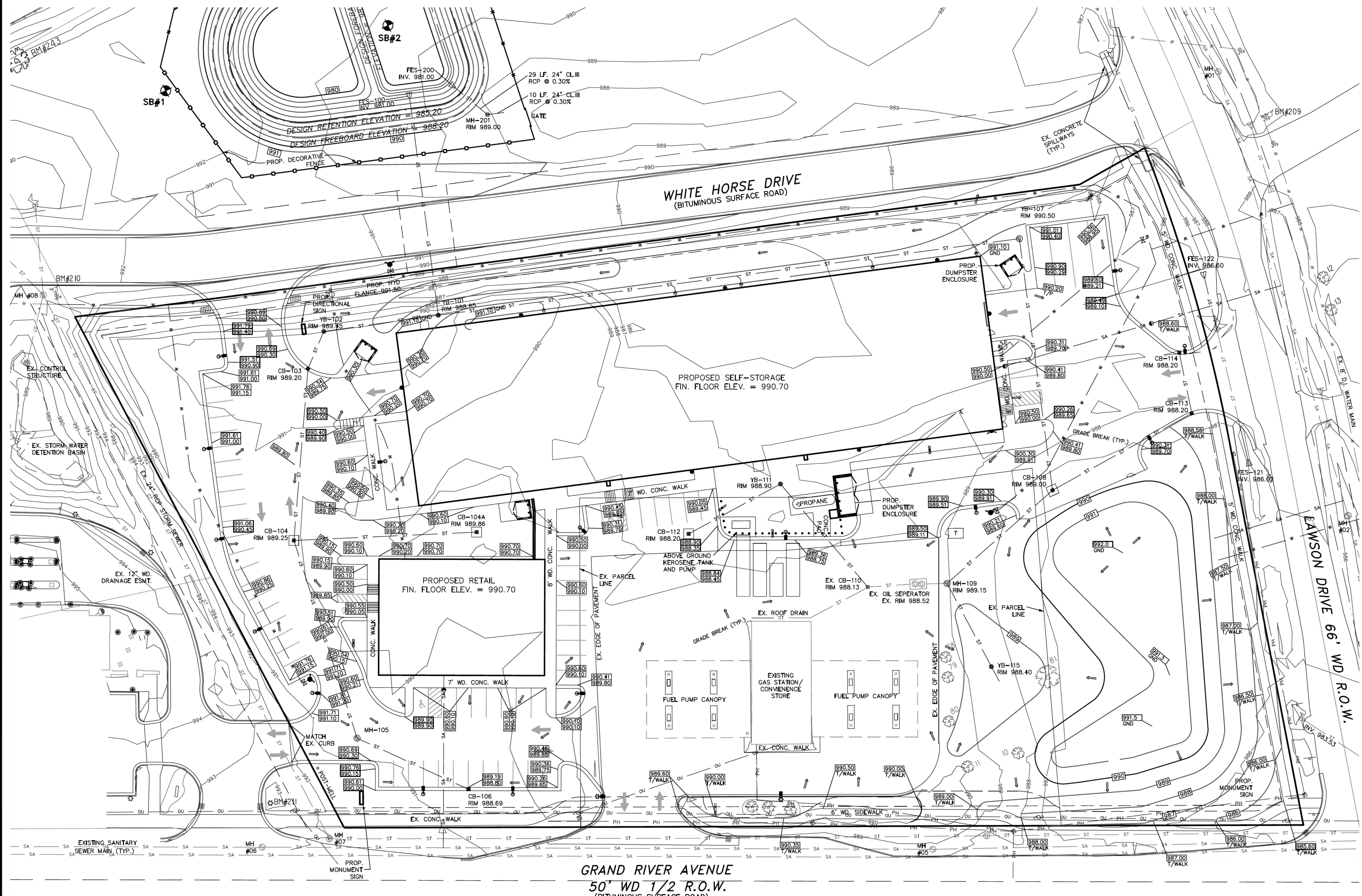
BMH - PREMIER P.U.D.

EMERGENCY VEHICLE CIRCULATION PLAN

CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 183450
 DWG NAME: 3450 EVC
 ISSUED: FEB. 14, 2020





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 - ⊙ = UTILITY METERS & BOXES (ELECTRIC, GAS, WATER, PHONE BOX, CATV BOX, MAIL BOX, UTIL. BOX)
 - ⊙ = AIR CONDITIONER UNIT
 - ⊙ = UTILITY HANDBLE (AS LABELED)
 - ⊙ = UTILITY POLE W/OUT WIRE
 - ⊙ = OVERHEAD UTILITY LINES
 - = U/G UTILITY LINES (PHONE, FIBER OPTIC, ELECTRIC, CABLE TV, MISC. UTILITIES)
 - = EDGE OF WOODS / TREE DRIP LINE
 - = DECIDUOUS TREE W/IDENTIFIER
 - = CONIFEROUS TREE W/IDENTIFIER
 - = FENCE
 - = GUARD RAIL
 - = EDGE OF GRAVEL
 - = CONCRETE CURB
 - ⊙ = SANITARY SEWER MANHOLE W/IDENTIFIER
 - = SANITARY SEWER PIPE
 - = CLEAN OUT
 - ⊙ = STORM WATER MANHOLE W/IDENTIFIER
 - ⊙ = CATCH BASIN W/IDENTIFIER
 - ⊙ = CONTROL STRUCTURE
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - ⊙ = WATER GATE VALVE WELL / MANHOLE
 - ⊙ = WATER VALVE BOX
 - ⊙ = WATER MAIN
 - ⊙ = GAS MANHOLE / GASOLINE COVER
 - ⊙ = GAS SHUT OFF
 - = U/G GAS
 - = 1' CONTOUR
 - = 5' CONTOUR

BENCHMARK
 DATUM BASED ON "NCS OPUS-RS SOLUTION REPORT," DATED MAY 25, 2011 AT 10:13 AM

BENCHMARK #209
 ARROW OF HYDRANT, LOCATED OF LAWSON DRIVE, NORTH OF DRIVE FOR PARCEL #11-09-200-041. ELEVATION = 989.90 (NAVD 88)

BENCHMARK #210
 ARROW OF HYDRANT, LOCATED NEAR THE SOUTH SIDE OF DRIVE FOR REAR ENTRANCE OF BANK, PARCEL #11-09-100-024. ELEVATION = 994.88 (NAVD 88)

BENCHMARK #211
 TOP EAST SIDE OF A LIGHT POLE BASE, LOCATED EAST OF THE SOUTH BANK ENTRANCE OF PARCEL #11-09-100-034, OFF GRAND RIVER. ELEVATION = 993.82 (NAVD 88)

BENCHMARK #240
 ARROW OF HYDRANT, LOCATED NEAR THE WEST SIDE OF LAWSON DRIVE, 75± FEET NORTH OF DRIVE FOR PARCEL #11-09-200-034. ELEVATION = 991.66 (NAVD 88)

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 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
CHECK: WMP						

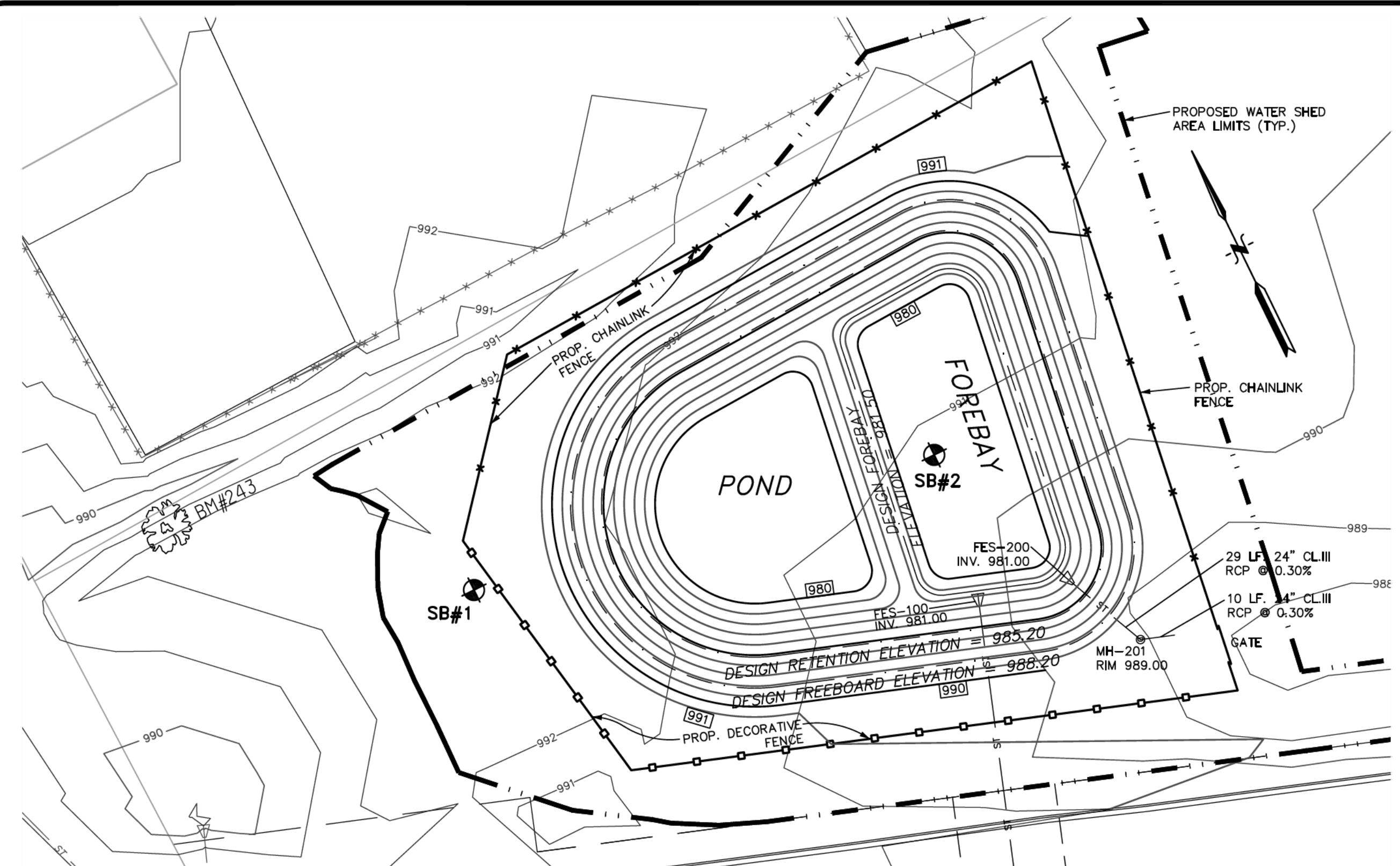
BMH - PREMIER P.U.D.

PROPOSED GRADING PLAN

CLIENT:
 PREMIER GENOA, LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 183450
 DWG NAME: 3450 GR
 ISSUED: FEB. 14, 2020

GR1



RETENTION BASIN DETAIL
SCALE: 1in. = 30ft.

HARTLEY GEOTECHNICAL GROUP

TEST BORING REPORT

BORING NO.	B.1	H.G. JOB NO.	HG-19-088
SPINDLE SURFACE ELEV.	101.2	CLIENT	BRIGHTON CONSTRUCTION CO.
DATUM	ARROW ON HYDRANT = 100.0	DATE DRILLED	AUGUST 21, 2018
PROJECT	PROPOSED STORAGE UNITS	DRILLER	T. HAYES
	LAWSON & WINTERSBORO	DRAWING METHOD	4" AUGER ON ATV
	HOWELL, MI		

ELEV. IN FEET	TYPE	NO.	CHANGE	SOIL CLASSIFICATION	W.L.
99.1	SS	6		VERY LOOSE COMPACT VERY BROWN LOAMY MEDIUM SAND	
99.2	SS	7		VERY LOOSE COMPACT VERY BROWN LOAMY MEDIUM SAND WITH TRACES OF FINE TO MEDIUM GRAY AND MUDS	
99.3	SS	8		FILL	
99.4	SS	9		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.5	SS	10		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.6	SS	11		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.7	SS	12		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.8	SS	13		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.9	SS	14		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.0	SS	15		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.1	SS	16		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.2	SS	17		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.3	SS	18		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.4	SS	19		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.5	SS	20		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.6	SS	21		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.7	SS	22		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.8	SS	23		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.9	SS	24		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.0	SS	25		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.1	SS	26		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.2	SS	27		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.3	SS	28		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.4	SS	29		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.5	SS	30		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	

HARTLEY GEOTECHNICAL GROUP

TEST BORING REPORT

BORING NO.	B.2	H.G. JOB NO.	HG-19-088
SPINDLE SURFACE ELEV.	101.23	CLIENT	BRIGHTON CONSTRUCTION CO.
DATUM	ARROW ON HYDRANT = 100.0	DATE DRILLED	AUGUST 21, 2018
PROJECT	PROPOSED STORAGE UNITS	DRILLER	T. HAYES
	LAWSON & WINTERSBORO	DRAWING METHOD	4" AUGER ON ATV
	HOWELL, MI		

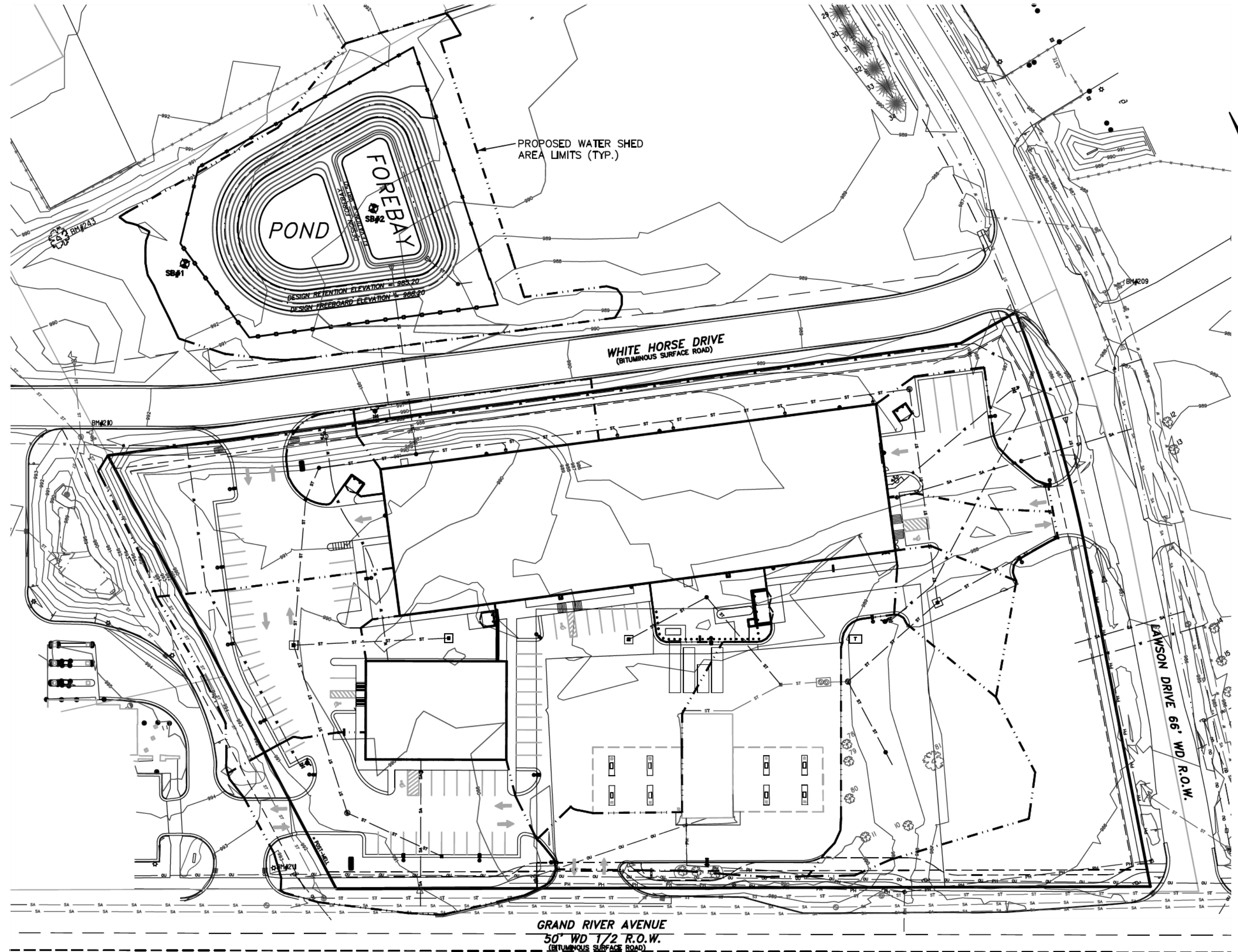
ELEV. IN FEET	TYPE	NO.	CHANGE	SOIL CLASSIFICATION	W.L.
99.1	SS	6		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.2	SS	7		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.3	SS	8		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.4	SS	9		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.5	SS	10		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.6	SS	11		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.7	SS	12		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.8	SS	13		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
99.9	SS	14		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.0	SS	15		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.1	SS	16		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.2	SS	17		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.3	SS	18		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.4	SS	19		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.5	SS	20		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.6	SS	21		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.7	SS	22		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.8	SS	23		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
100.9	SS	24		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.0	SS	25		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.1	SS	26		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.2	SS	27		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.3	SS	28		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.4	SS	29		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	
101.5	SS	30		VERY LOOSE COMPACT MEDIUM BROWN MEDIUM SAND	



SOILS MAP

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CvraaB	Conover loam, 0 to 4 percent slopes	2.1	5.0%
MoB	Wavasee loam, 2 to 6 percent slopes	22.1	62.0%
MoC	Wavasee loam, 5 to 12 percent slopes	11.3	31.8%
SvB	Spinks-Oakville loamy sands, 0 to 8 percent slopes	0.1	0.4%
Totals for Area of Interest		36.7	100.0%



WATER SHED PLAN
SCALE: 1in. = 60ft.

RETENTION CALCULATIONS

Required Retention Volume: 2" of rainfall over the tributary area onsite plus 3" freeboard
Retention Tributary Area = 241,711 SF = 5.55 Acres

- Total Required Retention Volume per LCDC = $(241,711) \times (2 / 12) = 40,285$ CF
- Runoff Coefficient Weighted Volume = $(241,711) \times (0.56) = 23,365$ CF
- Total Required Forebay Volume per LCDC = $(0.05) \times (40,285) = 2,014$ CF (3% of required retention volume is being proposed)
- Proposed Retention Freeboard Elevation of 988.50 (Restricted by proposed CB-113 & CB-114 castings)

POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTT.	980.00	7,829	0	0
1.0	981.00	9,495	8,649	8,649
2.0	982.00	11,276	10,373	19,021
3.0	983.00	13,042	12,148	31,170
4.0	984.00	14,524	13,776	44,946
5.0	985.00	15,958	15,265	60,211
6.0	986.00	17,642	16,844	77,074
7.0	987.00	18,426	18,052	95,107
8.0	988.00	20,072	19,243	114,350
9.0	989.00	21,767	20,913	135,263
10.0	990.00	23,512	22,167	157,430

Retention Storage Volume Elevation Calculation:

ELEV.	VOLUME	VOLUME REQ.	ELEVATION	
LOWER	983.00	31,170	40,285	983.66
HIGHER	984.00	44,946	40,285	984.00

PROPOSED FOREBAY VOLUME ELEVATION

POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTT.	980.00	2,865	0	0
1.0	981.00	3,581	3,216	3,216
Spillway	981.50	3,956	1,883	5,100
2.0	982.00	4,357	2,077	7,177

Forebay Volume Elevation Calculation:

ELEV.	VOLUME	VOLUME REQ.	ELEVATION	
LOWER	980.00	0	2,014	980.63
HIGHER	981.00	3,216	2,014	981.00

A proposed Spillway Elevation of 981.50 is being proposed for the Forebay.

Proposed Pipe Calculations, BMH, Premier PUD (PHI)

From MHP CBF	To MHP CBF	Pipe Material	Area Acres	Equiv. Area	Total Area	T Time Min.	I Inch Per Hour	Q (GIA) c.f.s.	Di. of pipe inch	Slope %	Slope H.G. %	Length of line ft.	Vel. ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. upper end	Ground Elev. Upper end	Lower end	Invert Elev. Upper end	Lower end	Cover Upper end	Lower end	
114	113	RCP	0.18	0.62	0.15	15.0	4.38	0.65	12	1.00	0.03	37	4.54	0.1	3.56	985.86	988.20	988.20	984.05	983.68	2.96	3.33	
113	108	RCP	0.10	0.83	0.08	0.23	15.1	4.36	1.01	12	0.32	0.08	96	2.57	0.6	2.02	985.85	988.20	988.00	983.58	983.27	3.43	4.54
112	111	RCP	0.48	0.40	0.40	15.0	4.38	1.76	12	0.32	0.25	53	2.57	0.3	2.02	986.45	988.20	989.15	985.16	984.99	1.85	2.97	
111	110	RCP	0.09	0.20	0.02	0.42	15.3	4.34	1.83	12	0.32	0.26	81	2.57	0.5	2.02	986.32	989.15	988.13	984.69	984.63	3.07	2.31
110	INLET	RCP	0.60	0.88	0.53	0.95	15.9	4.28	4.06	15	0.45	0.40	25	3.53	0.1	4.33	986.11	988.13	988.52	984.43	984.32	2.26	2.76
INLET	OUTLET	RCP	0.00	0.00	0.00	0.00	15.0	4.27	4.05	15	1.00	0.39	10	5.28	0.1	6.46	986.01	988.52	988.52	984.22	984.22	2.76	2.66
OUTLET	109	RCP	0.00	0.00	0.00	0.95	16.1	4.26	4.04	15	1.64	0.39	12	6.74	0.1	8.27	985.97	988.52	989.15	984.22	984.02	2.86	3.69
STUB	115	RCP	0.00	0.00	0.00	0.00	15.0	4.38	0.00	12	0.50	0.00	10	3.21	0.1	2.52	985.92	988.40	988.40	983.85	983.80	3.36	3.41
115	109	RCP	0.42	0.20	0.08	0.08	15.1	4.37	0.37	15	0.32	0.00	57	2.63	0.4	3.23	985.92	988.40	989.15	983.60	983.45	3.36	4.26
109	108	RCP	0.00	0.00	0.00	1.03	16.2	4.25	4.39	18	0.45	0.17	85	3.99	0.4	7.05	985.92	989.15	989.00	983.25	982.87	4.19	4.42
108	107	RCP	0.13	0.36	0.05	1.31	16.5	4.21	5.52	24	0.15	0.06	153	2.79	0.9	8.76	985.77	989.00	990.80	982.47	982.24	4.28	6.31
107	101	SLCCP	0.00	0.00	0.00	1.31	17.5	4.12	5.40	24	0.15	0.03	353	3.63	1.6	11.39	985.68	990.80	990.80	982.14	981.61	6.41	4.99
106	105	RCP	0.48	0.61	0.29	0.29	15.0	4.38	1.28	12	1.00	0.13	74	4.54	0.3	3.56	986.24	988.69	990.15	984.35	983.61	3.15	5.35
105	104	RCP	0.00	0.00	0.00	0.29	15.3	4.35	1.27	12	0.40	0.13	125	2.87	0.7	2.25	986.14	990.15	989.25	983.51	983.01	6.41	5.05
104A	104	RCP	0.24	0.83	0.20	0.20	15.0	4.38	0.87	12	0.32	0.06	110	2.57	0.7	2.92	986.05	989.86	989.25	983.36	983.01	5.31	5.05
104	103	RCP	0.33	0.62	0.20	0.70	16.0	4.27	2.97	15	0.25	0.21	104	2.63	0.7	3.23	985.98	989.25	989.20	982.81	982.50	5.00	5.21
103	102	SLCCP	0.57	0.58	0.21	0.91	16.7	4.20	3.83	15	0.25	0.21	24	3.42	0.1	4.20	985.75	989.20	989.45	982.45	982.39	5.31	5.62
102	101	SLCCP	0.07	0.20	0.01	0.9	16.8	4.19	3.88	15	0.25	0.21	70	3.42	0.3	4.20	985.71	989.45	989.45	982.29	982.11	5.72	5.30
101	100	RCP	1.02	0.71	0.72	3.0	19.1	3.97	11.75	24	0.38	0.27	135	4.44	0.5	13.94	985.55	988.85	988.00	981.51	981.00	5.09	

988.20 Downstream H.W.L.

PROPOSED RUNOFF COEFFICIENT CALCULATION

RETENTION BASIN (PUD SOUTH PH)

Structure	1.00 Pond	Pavement	Gravel	0.80 Building	0.20 Lawn	0.15 Woods	Area (Acres)	"C"
YB 101				0.16			1.02	0.71
YB 102				0.07			0.07	0.20
CB 103		0.20		0.17			0.37	0.58
CB 104		0.20		0.13			0.33	0.62
CB 104A		0.08		0.16			0.24	0.83
CB 106		0.28		0.20			0.48	0.61
YB 108		0.03		0.10			0.13	0.36
CB 110		0.47		0.13			0.60	0.88
CB 111				0.09			0.09	0.20
CB 112		0.44		0.04			0.48	0.84
CB 114		0.16		0.02			0.18	0.82
CB 113		0.09		0.01			0.10	0.83
YB 115				0.42			0.42	0.20
POND		0.03	0.08				1.04	0.27

TOTAL AREA = 6.55 Ac.
RUNOFF COEFFICIENT = 0.58

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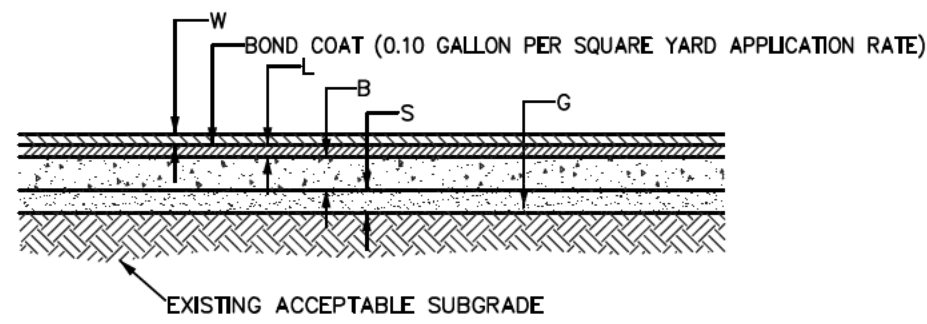
DESIGN:FA	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-14-20	REVISED PER TOWNSHIP REVIEW COMMENTS DATED JAN. 2020			
CHECK: WMP						

BMH - PREMIER P.U.D.

PROPOSED RETENTION BASIN DETAIL AND DRAINAGE CALCULATIONS

CLIENT: PREMIER GENOA, LLC
775 N. SECOND ST.
BRIGHTON, MICHIGAN 48116
810-229-6323

SCALE: AS NOTED
PROJECT NO: 18



BITUMINOUS PAVEMENT CROSS SECTION
NOT TO SCALE

TYPE "A" CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	2.5"
B	AGGREGATE BASE	MDOT 22A	8"
S	GRANULAR SUBBASE	MDOT CLASS II	7"
G	GEOGRID	N/A	N/A

TYPE "B" CROSS SECTION

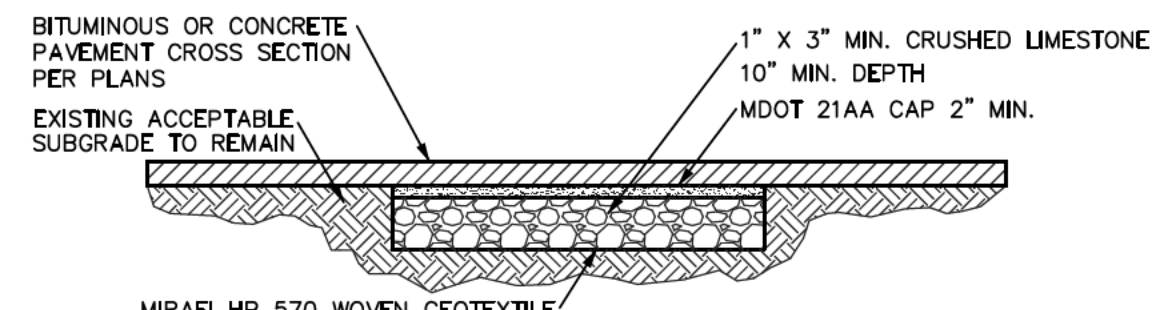
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 22A	8"
S	GRANULAR SUBBASE	MDOT CLASS II	7"
G	GEOGRID	N/A	N/A

MINIMUM TOWNSHIP CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 36A	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 22A	6"
S	GRANULAR SUBBASE	MDOT CLASS II	6"
G	GEOGRID	N/A	N/A

BITUMINOUS PAVEMENT NOTES:

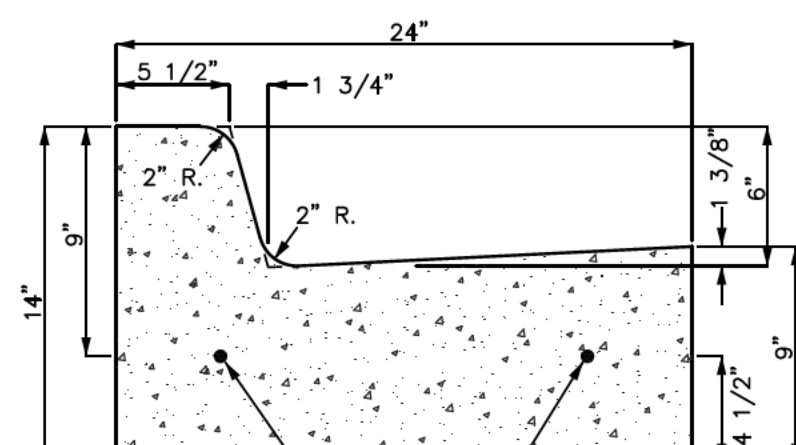
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Driveway and Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the roadway, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Substantial repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course.



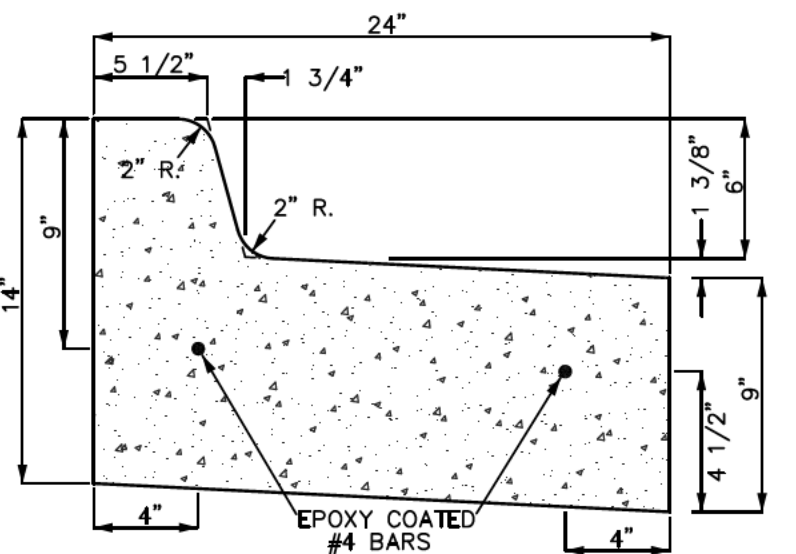
SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION
NOT TO SCALE

PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 3" minimum size crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALDI Inc with unit pricing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and offsite disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



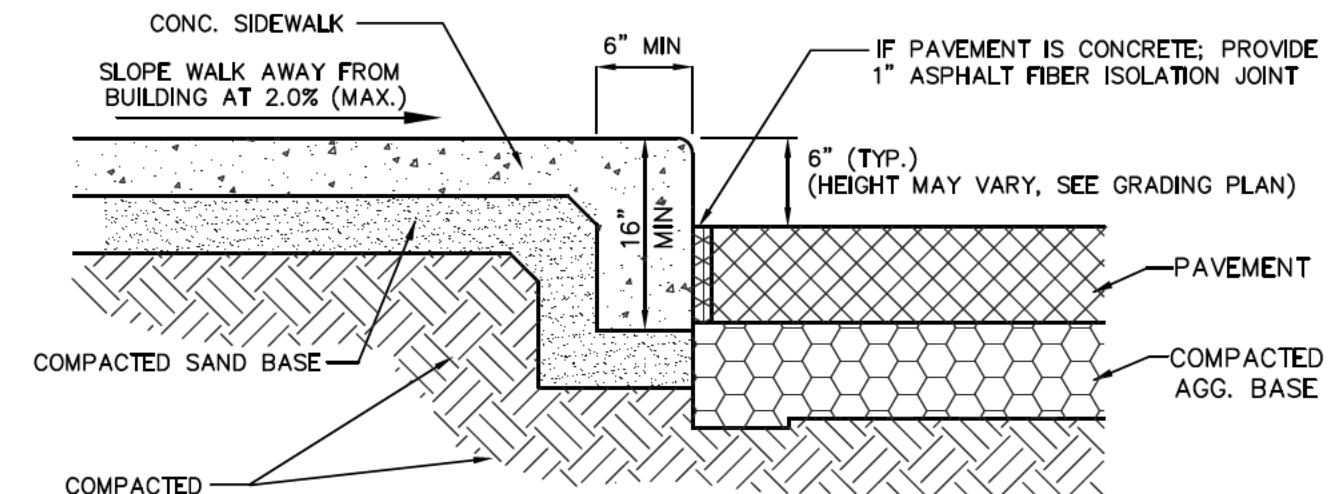
MDOT TYPE F4 CURB
NOT TO SCALE



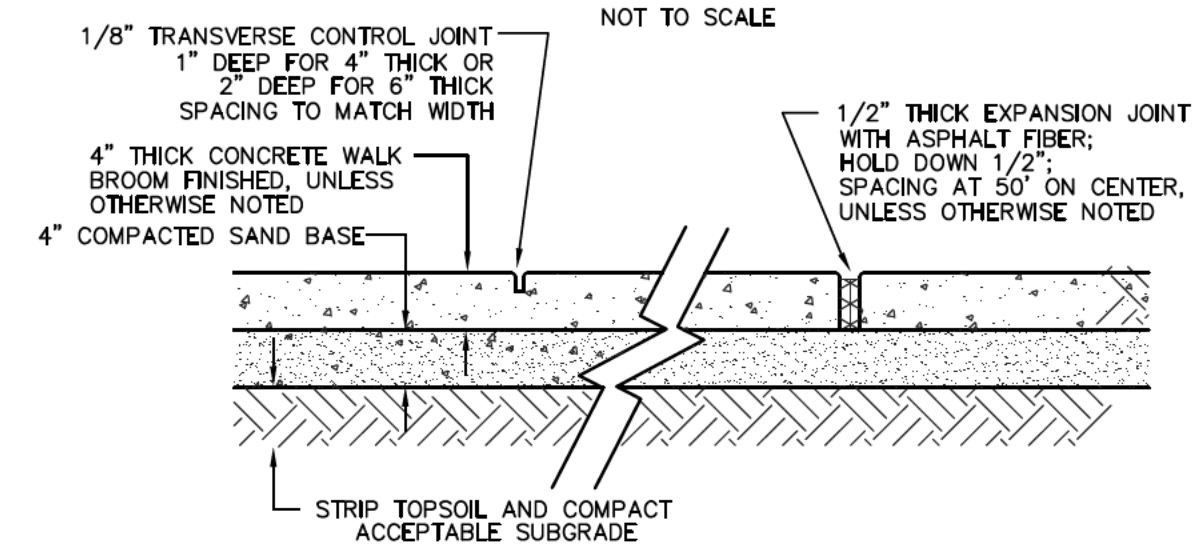
MDOT TYPE F4 CURB REVERSE PITCH
NOT TO SCALE

CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day class design strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in concrete curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 0.5" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tack pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.



SIDEWALK WITH INTERGAL CURB & ISOLATION JOINT DETAIL
NOT TO SCALE



SIDEWALK CROSS SECTION
NOT TO SCALE

SIDEWALK CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. See the Project Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT CL II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day class design strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space contraction control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 0.5" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75 % of the design flexural strength.

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Public Underground Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.

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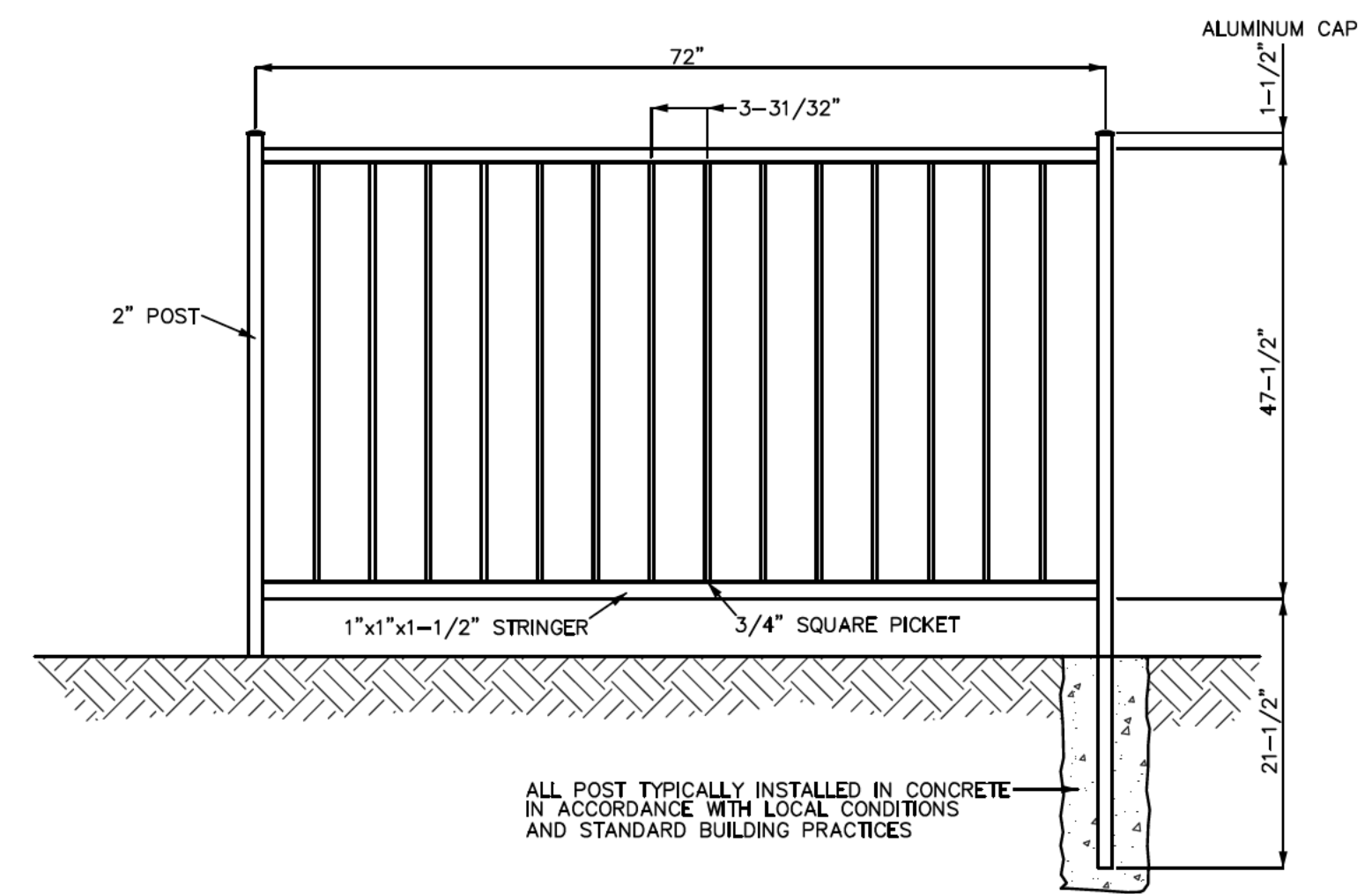
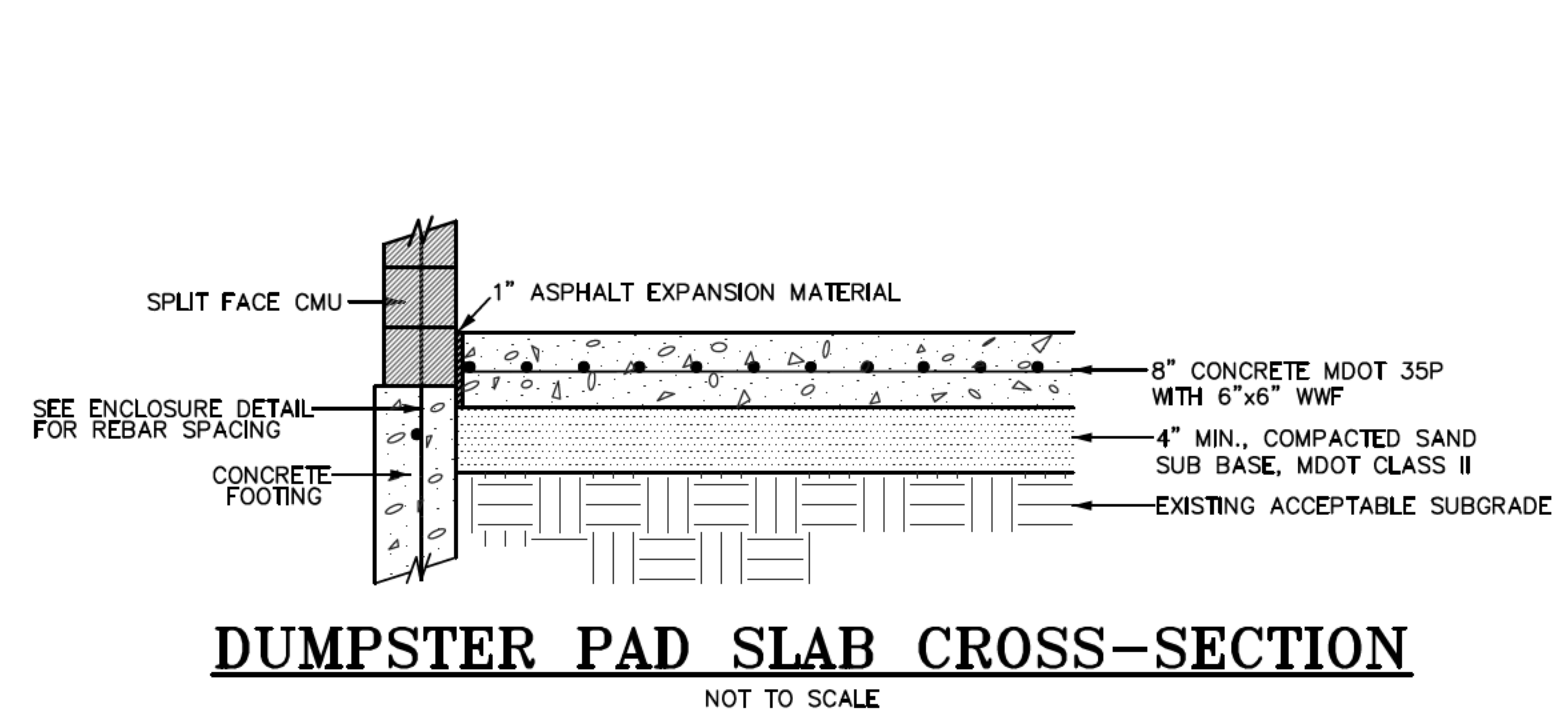
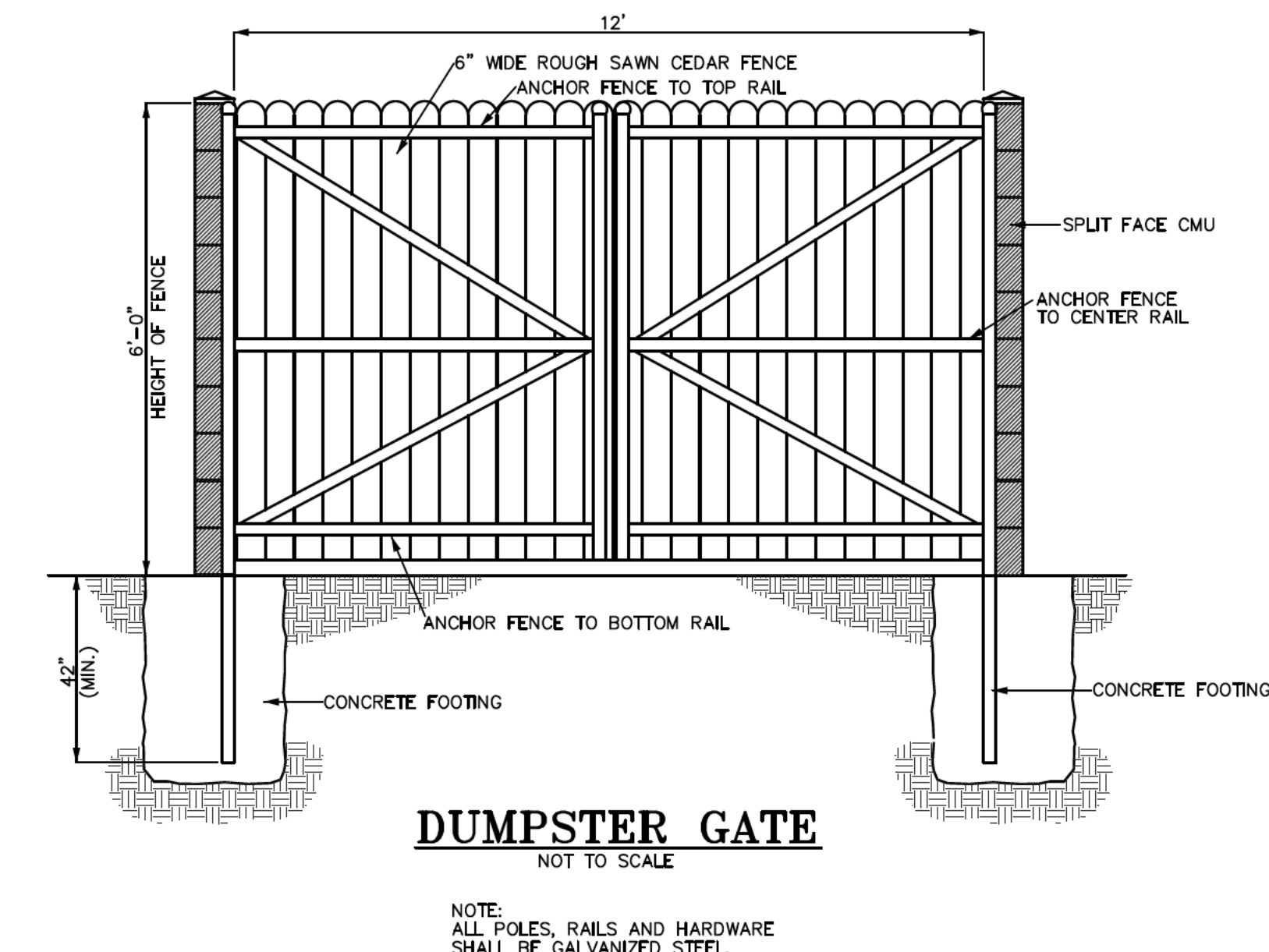
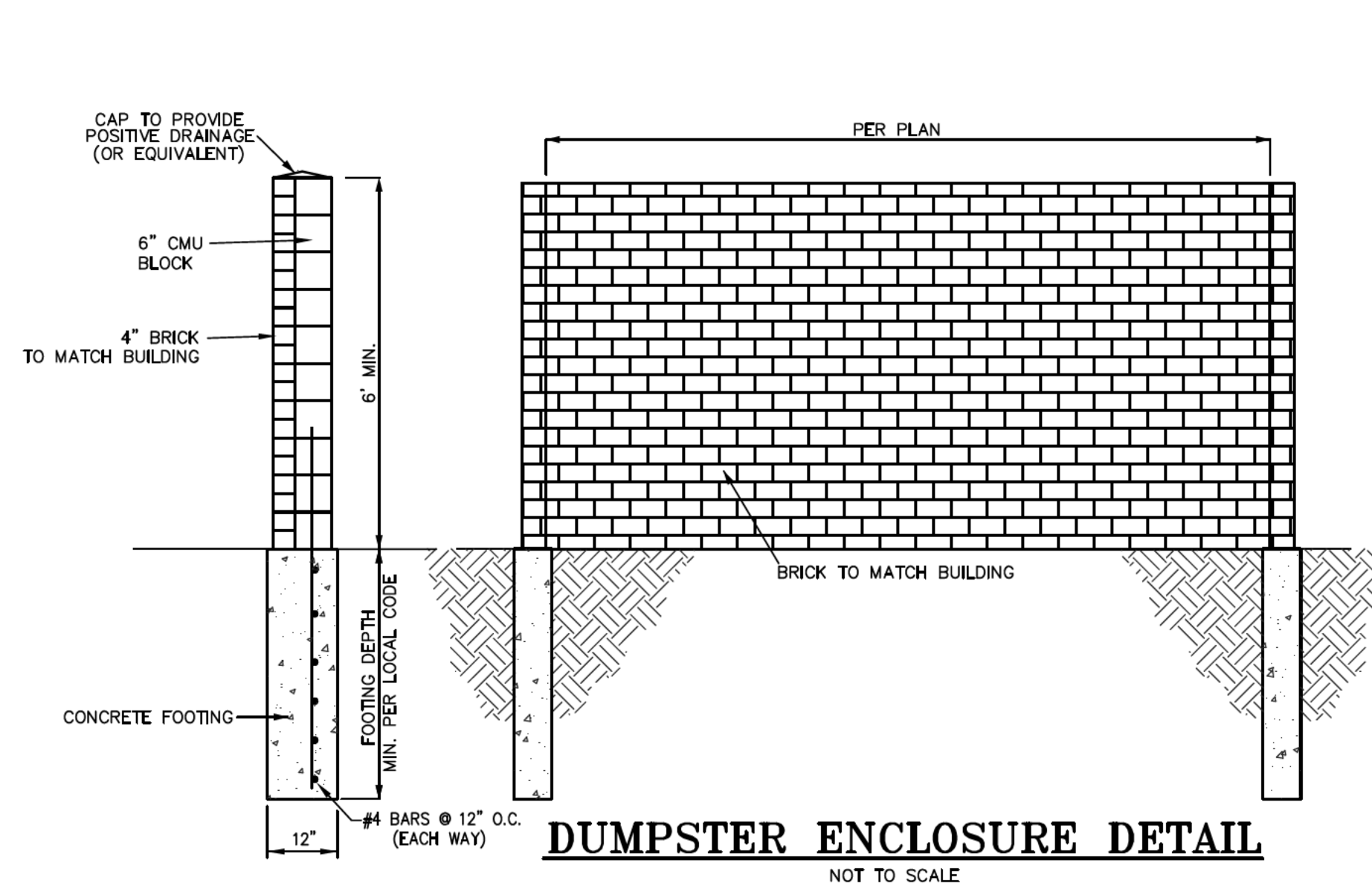
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DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.

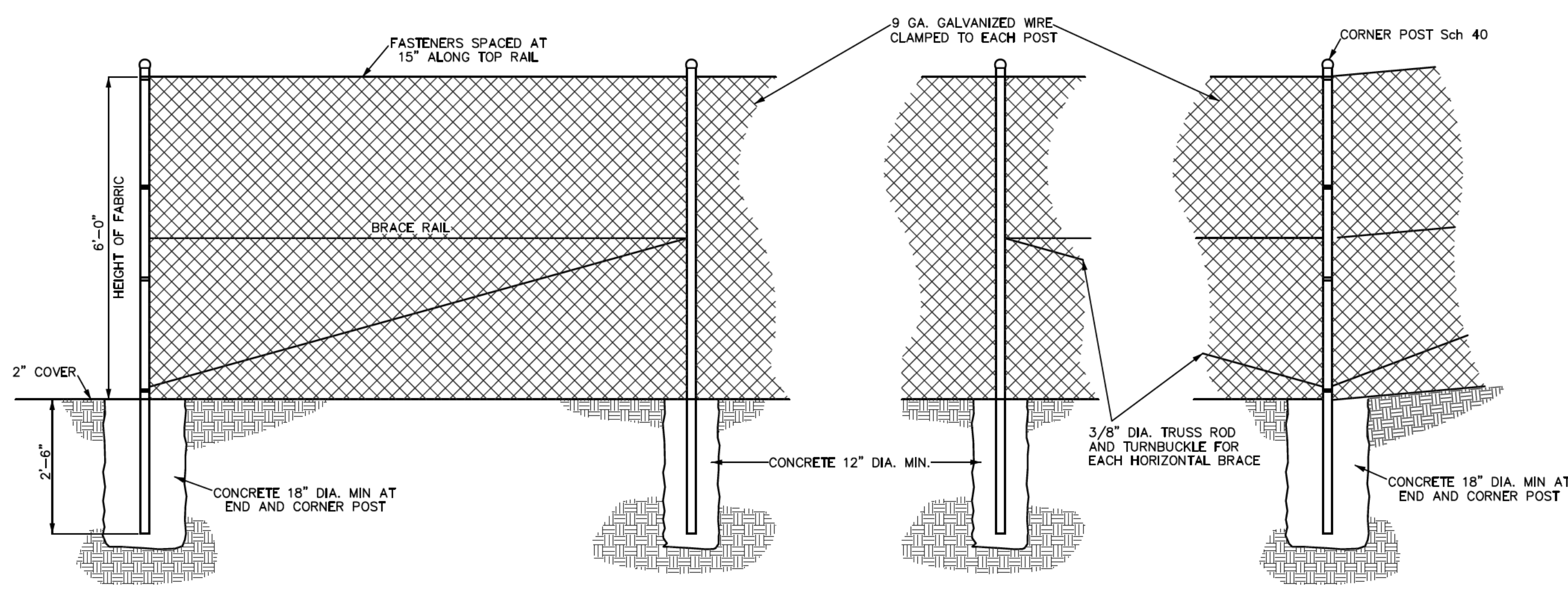
SITE PAVEMENT NOTES & DETAILS

CLIENT: PREMIER GENOA LLC 775 N. SECOND STREET BRIGHTON, MICHIGAN 48116	SCALE: NO SCALE PROJECT No.: 183450 DWG NAME: 3450 DT ISSUED: FEB. 14, 2020
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DT1

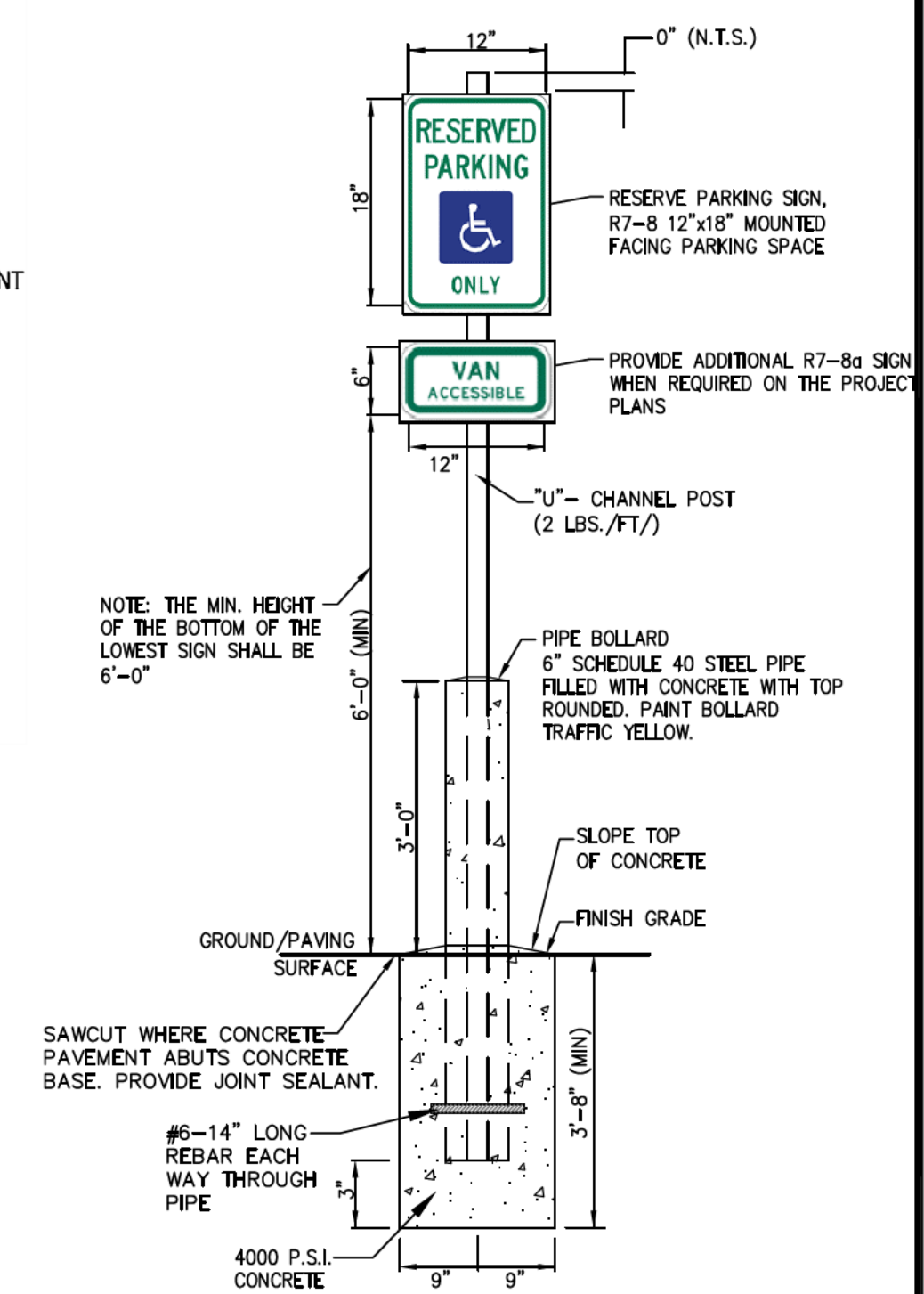
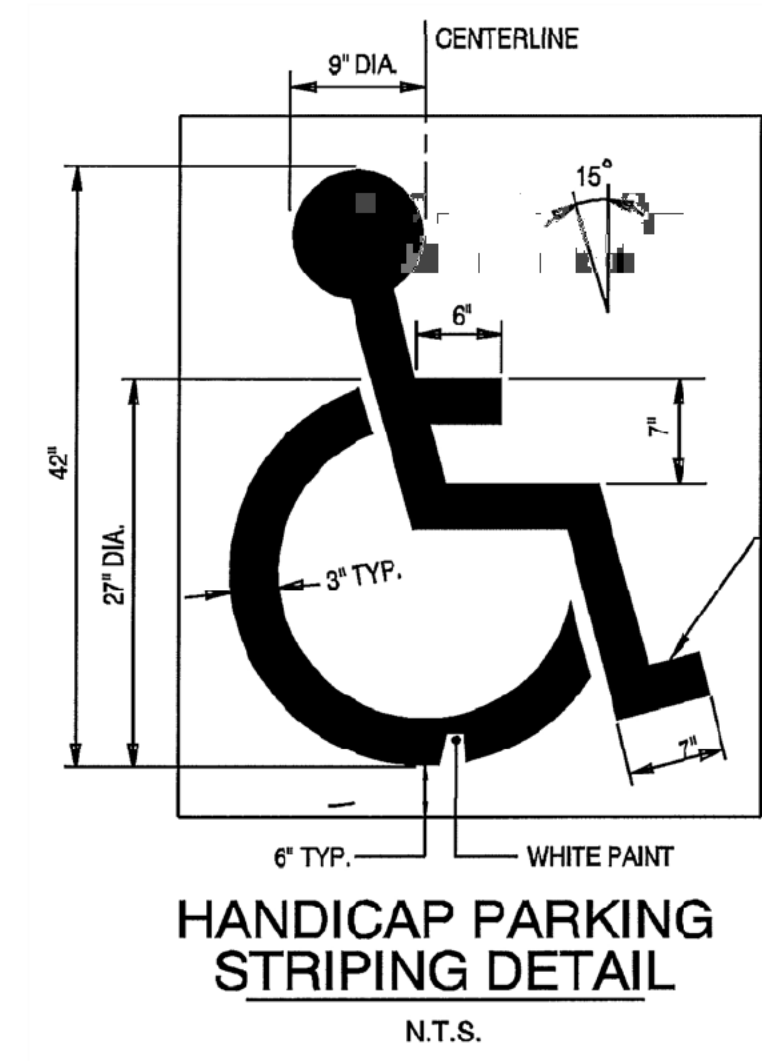


PAVEMENT NOTES:
 1. UNSUITABLE SOILS, SUCH AS MUCK, PEAT, TOPSOIL, MARL, SILT OR OTHER UNSTABLE MATERIALS, SHALL BE UNDERCUT AND REPLACED WITH COMPACTED SAND SUBGRADE FILL WHERE INCIDENTAL TO ROUGH GRADING.
 2. AREAS OF SUBGRADE FILL SHALL BE CONSTRUCTED USING 12" THICK LIFTS OF COMPACTED SAND, MDOT CLASS III OR EQUIVALENT ON-SITE MATERIAL; WHEN INSIDE ROAD INFLUENCE ZONE.



SIGNAGE AND PAVEMENT MARKING NOTES:

- Pavement markings shall be in accordance with the type, color, size and locations shown on the plans. If the information on the plans is not complete and the authority having jurisdiction does not have specific requirements, then use the following: Paint shall be supplied in accordance with AASHTO: M 248 latest addition. Colors shall be as follows: (YELLOW - parking stalls, loading zones, parking islands, no parking zones and fire lanes) (WHITE - stop bars, pedestrian crossings, lane demarcations, directional arrows and lettering) (BLUE - handicap parking stalls and symbols). Stripe widths shall be as follows: (4" - parking spaces, driveway lanes, barrier free loading zones and no parking zones) (12" - crosswalks) (24" - stop bars).
- The pavement shall be clean and free of dirt, dust, moisture, oils and other foreign materials at time of marking application. Any old pavement markings shall be removed unless paints are compatible and overlay identically. The surface of the pavement prior to application shall be a minimum of 45 degrees F and rising unless the Manufacturer's recommendations are greater.
- The signage shall be in accordance with the type, color, size and locations shown on the plans in accordance with AASHTO M268. The signage shall be provided in accordance with the Local Municipality and the Michigan Manual of Uniform Traffic Devices latest edition.
- Posts, brackets and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50 and hot dip galvanized in accordance with ASTM A123. All cutting, drilling and/or other pole modifications shall be painted with galvanizing paint. All mounting hardware shall be stainless steel.
- Sign post footings shall be a minimum of 3'-6" deep and 8" in diameter unless poor soils or frost conditions require greater depth and/or diameter. Sign posts shall be kept plumb, 6 inches off the bottom of footing excavation and centered as 3000-psi concrete is placed under and around the sign post. The overall sign and post system should be able to withstand 33 pounds per square foot. All signs located in paved areas or with less than 3 feet of clearance between the centerline of sign post and the back of curb and/or edge of pavement shall be installed in a pipe bollard. Pipe bollards shall be 6" diameter schedule 40 steel pipe. Pipe bollards shall be filled with concrete that is rounded at the top of the bollard. Bollards shall be painted traffic yellow. Increase the sign post footing diameter to 14" minimum for pipe bollards and embed the bollard into the concrete footing a minimum of 3 feet below proposed finish grade.
- Signs shall not be mounted on posts until after concrete has cured for a minimum of seven days or 3/4 strength is achieved.
- All barrier free striping and signage shall meet the Americans with Disabilities Act (ADA) requirements.
- All Fire Lane signs shall have a Red Border and Red Letters on White Background. All Fire Lane signs shall be Reflective. Fire lane striping and signage shall meet the requirements of the Local Building Inspector and Fire Department.
- "Mounting Height" shall be the minimum height of the bottom of the sign above finish grade. When signs are located downhill from the roadway, driveway and/or parking area, then the "Mounting Height" shall be the height of the bottom of the sign above the top of pavement finish grade at the nearest edge of pavement adjacent to the sign.
- All Traffic Control and Fire Lane signs shall be installed at 3 feet behind the back of curb (and/or edge of pavement) to the centerline of the sign post unless noted otherwise on the project plans.
- The Contractor(s) and/or Subcontractor(s) responsible for installation of the sign posts shall contact the 811 Public Underground Utility Locating System a minimum of three (3) working days prior to installation of the signposts. Install the sign posts in the locations specified on the project plans. When underground utilities conflict with the proposed sign post locations, field adjust the sign locations the minimum amount necessary to safely clear the underground utilities. Maintain a minimum of 2 feet of clearance between the edge of sign and the back of curb and/or edge of sidewalk.



SIGN SCHEDULE					
SIGN	KEY	SIZE (W x H)	TYPE OR MOUNT	MOUNTING HEIGHT	QUANTITY
	R7-8	12' x 18'	POST MOUNTED	7'-6"	5
			BUILDING MOUNTED	7'-6"	0
	R7-8a	12' x 6'	POST MOUNTED	7'-0"	4
	FIRE LANE	12' x 18'	POST MOUNTED	6'-0"	6

DESIGN: FAF	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

BMH - PREMIER P.U.D.

SIGNAGE & PAVEMENT MARKING NOTES & DETAILS

CLIENT: PREMIER GENOA LLC
 775 N. SECOND STREET
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: AS NOTED
 PROJECT No.: 9183450
 DWG NAME: 3450 DT
 ISSUED: FEB. 14, 2020

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DT2



SITE LANDSCAPE DATA			
Project: BMH-Premier PUD		Location: Genoa Township, Michigan	
Company: Vert Verde Landscape Architecture, LLC		Address: 4525 East Grand River Ave.	
Owner: Premier Genoa, LLC			
Existing Zoning: Varies		Proposed Zoning: RD-PUD	
DATA	EXISTING ZONING	PROPOSED ZONING	
	GCD	RD-PUD	
PARKING LOT LANDSCAPE			
	Required	Provided	Deviation
1 Deciduous Canopy Tree and 100 sf. of landscape area / 10 spaces required - 74 spaces	8 Trees and 740 sf. landscape area	9 Trees and 2,935 sf. landscape area	Providing 1 additional tree
GREENBELT LANDSCAPE			
	Required	Provided	Deviation
1 Deciduous Canopy Tree / 40 lf. of lot frontage			Proposing (3) canopy and (8) ornamental trees
Grand River Ave - 578 lf.	15	11	
Lawson Drive - 420 lf.	11	7	Proposing (3) canopy and (4) evergreen trees
White Horse Drive - 610 lf.	16	24	Providing 8 additional trees
RETENTION BASIN LANDSCAPE			
	Required	Provided	Deviation
1 Tree and 10 shrubs / 50 lf. of retention basin - 491 lf.	10 Trees and 98 shrubs	10 Trees and 98 shrubs	
OPEN SPACE REQUIREMENTS			
	Required	Provided	Deviation
Minimum of 25% of the site shall be open space	55,758 sf.	59,077 sf. (26.5%)	
Site Area: 223,031 sf. (5.12 ac)			

TREE PLANTING KEY:
D - REQUIRED DETENTION BASIN TREE
P - REQUIRED PARKING LOT TREE
G - REQUIRED GREENBELT TREE

Note Key:

- ① LIMITS OF EXISTING PARKING LOT
- ② EXISTING GAS STATION
- ③ EXISTING UNDERGROUND TANKS
- ④ PROPOSED STORAGE FACILITY SEE ARCHITECTURE
- ⑤ PROPOSED OFFICE / RETAIL SPACE SEE ARCHITECTURE
- ⑥ FUTURE BUILD-OUT
- ⑦ PROPOSED DUMPSTER ENCLOSURE
- ⑧ PROPOSED PARKING LOT SEE CIVIL ENGINEERING DRAWINGS
- ⑨ PROPOSED MONUMENT SIGN
- ⑩ PROPOSED STORM WATER BASIN SEE CIVIL ENGINEERING DRAWINGS
- ⑪ PROPOSED CONCRETE SIDEWALK TYPICAL
- ⑫ PROPOSED FENCE WITH GATE
- ⑬ EXISTING TREES TO REMAIN
- ⑭ DECIDUOUS CANOPY TREE SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- ⑮ EVERGREEN TREE SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- ⑯ SHRUB AND PERENNIAL PLANTING SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- ⑰ ORNAMENTAL FLOWERING TREE SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- ⑱ SODDED LAWN
- ⑲ SEEDED LAWN
- ⑳ EXISTING GAS STATION PRICING SIGN

Maintenance Notes

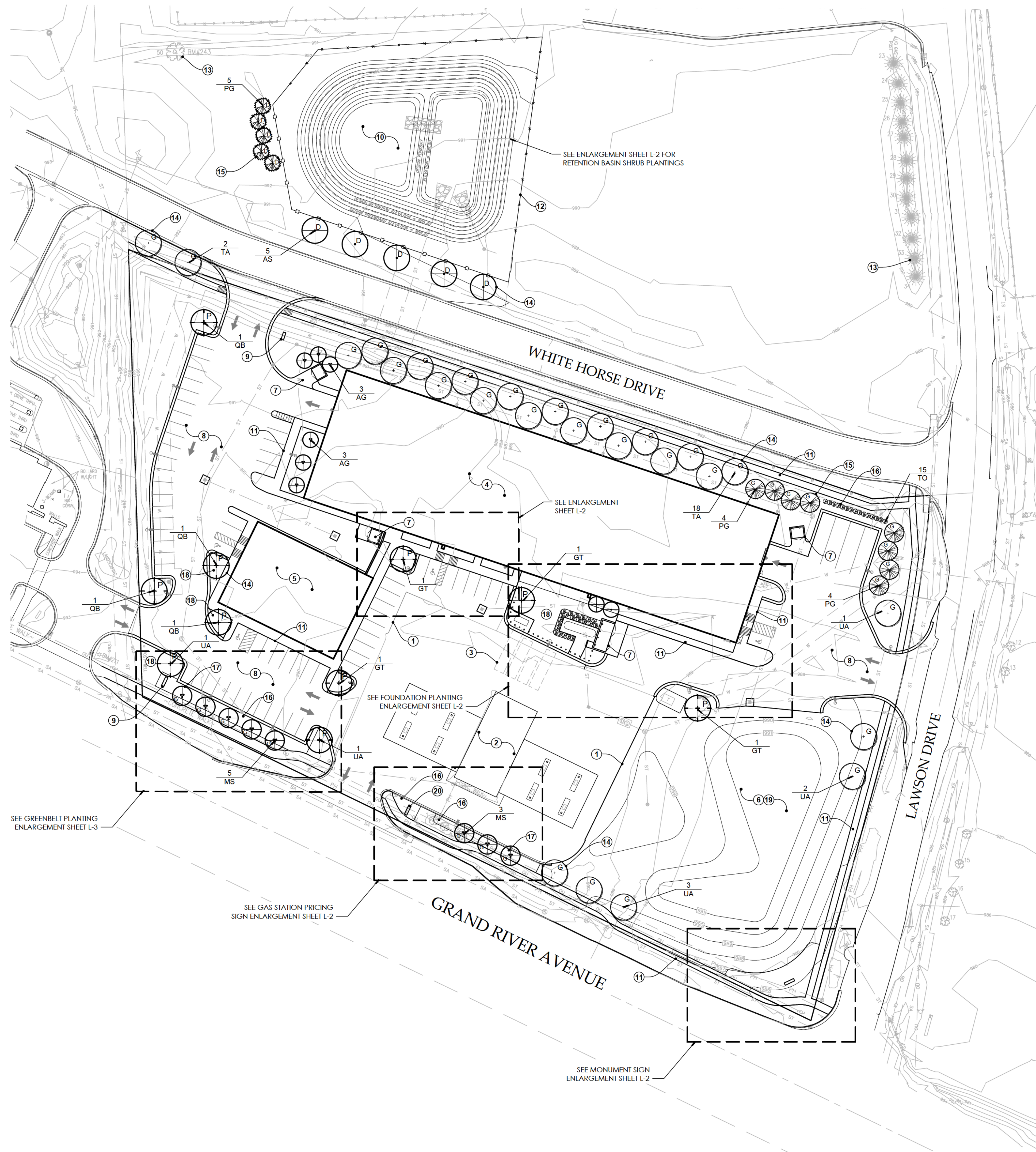
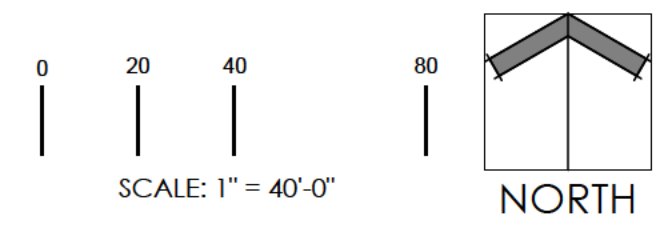
LANDSCAPING REQUIRED BY THIS ORDINANCE SHALL BE MAINTAINED IN A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD PLANT MATERIAL SHALL BE REPLACED IMMEDIATELY UNLESS THE SEASON IS NOT APPROPRIATE FOR PLANTING. IN WHICH CASE SUCH PLANT MATERIAL SHALL BE REPLACED AT THE BEGINNING OF THE NEXT PLANTING SEASON. THE OWNER SHALL INSURE PERPETUAL AND MANDATORY MAINTENANCE AND/OR REPLACEMENT OF VEGETATIVE PLANTINGS PURSUANT TO THE APPROVED LANDSCAPE PLAN.

ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.

SURVEY PROVIDED BY:

DESINE Inc.
2183 Pless Drive
Brighton MI 48114
810 227-9533
DESINE JOB NUMBER: 183450
DATED: FEBRUARY 27 2019

NOT FOR CONSTRUCTION



SEE ENLARGEMENT SHEET L-2 FOR RETENTION BASIN SHRUB PLANTINGS

WHITE HORSE DRIVE

LAWSON DRIVE

GRAND RIVER AVENUE

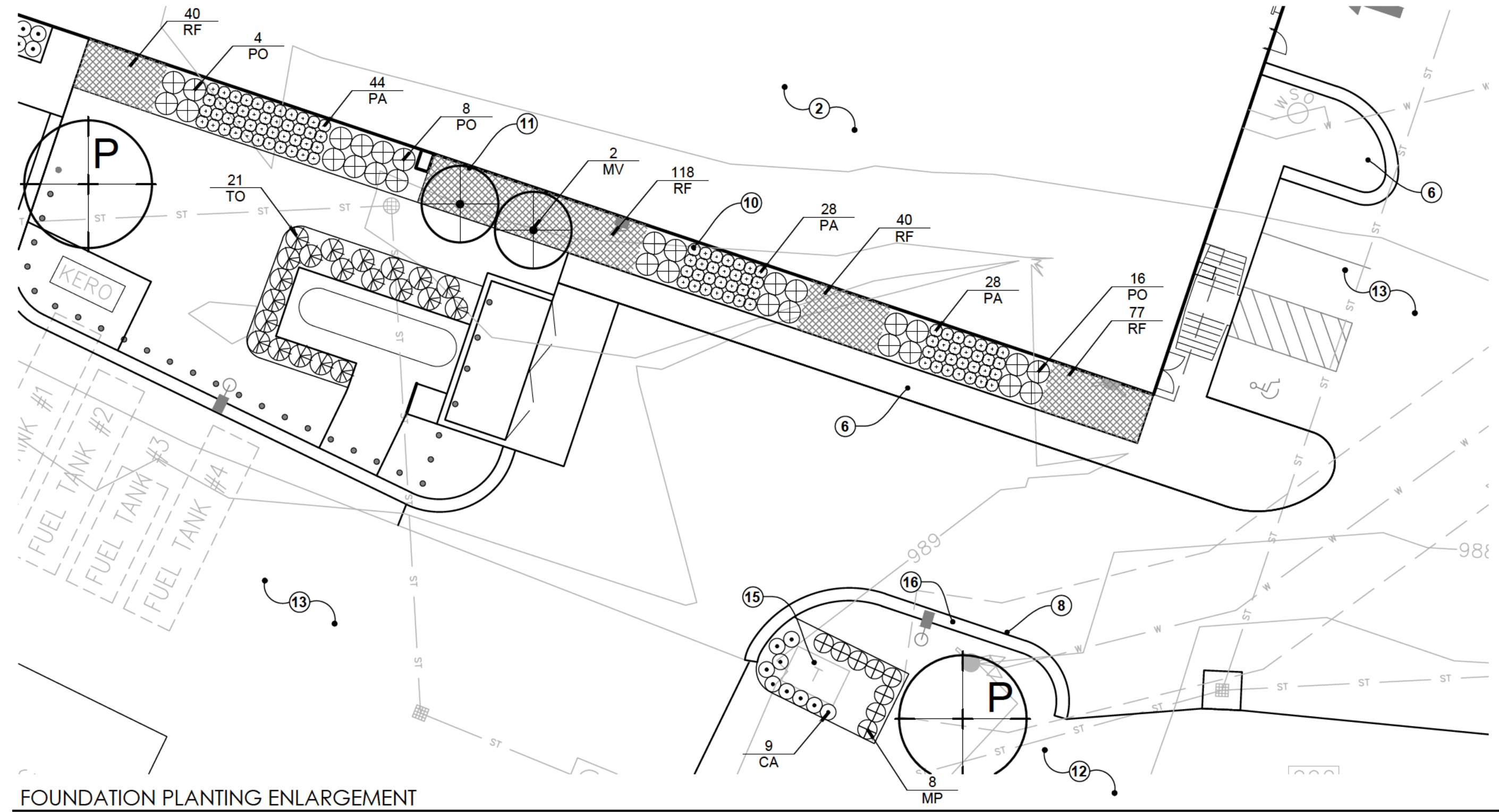
SEE MONUMENT SIGN ENLARGEMENT SHEET L-2

SEE GAS STATION PRICING SIGN ENLARGEMENT SHEET L-2

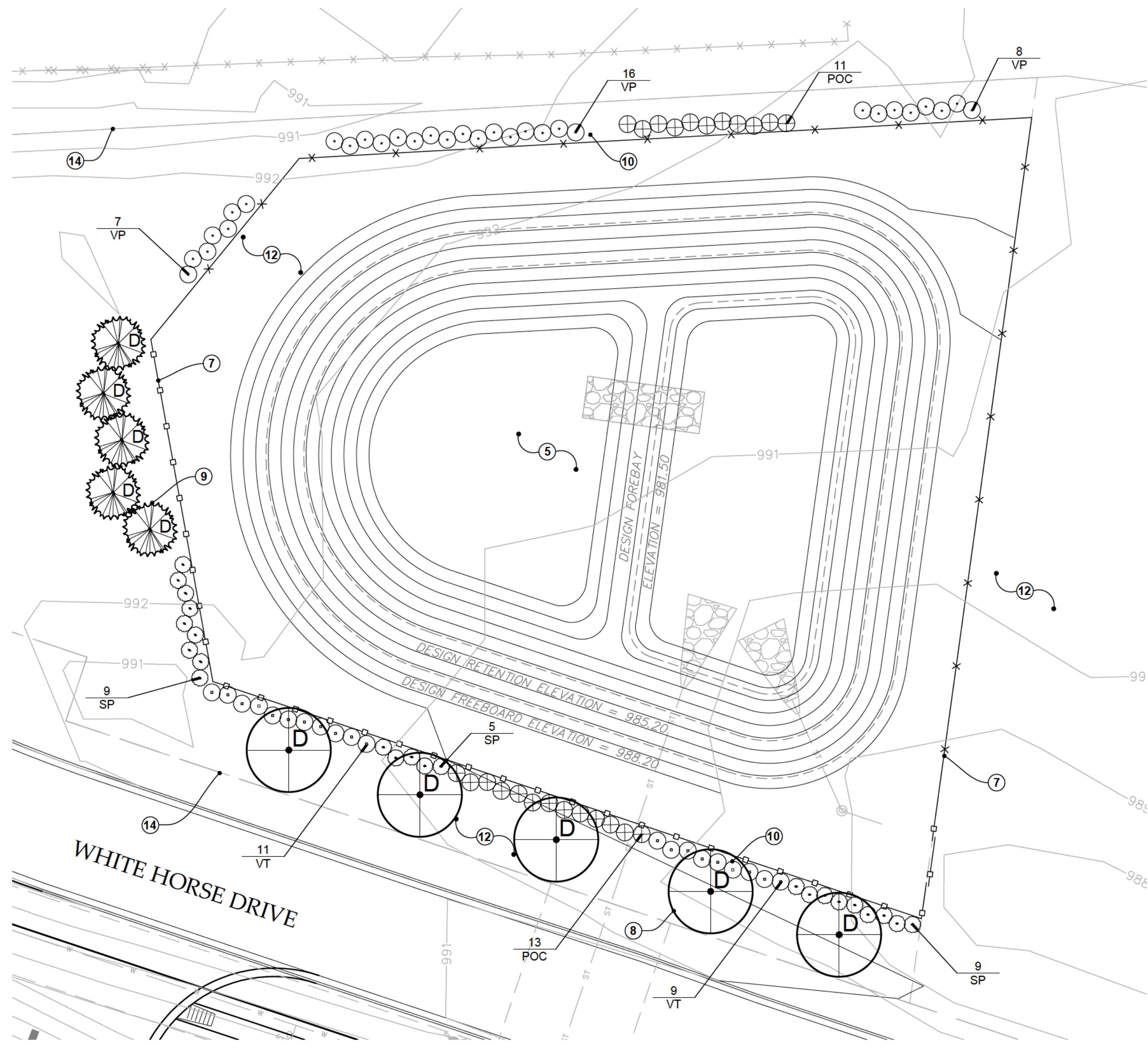
SEE GREENBELT PLANTING ENLARGEMENT SHEET L-3

SEE FOUNDATION PLANTING ENLARGEMENT SHEET L-2

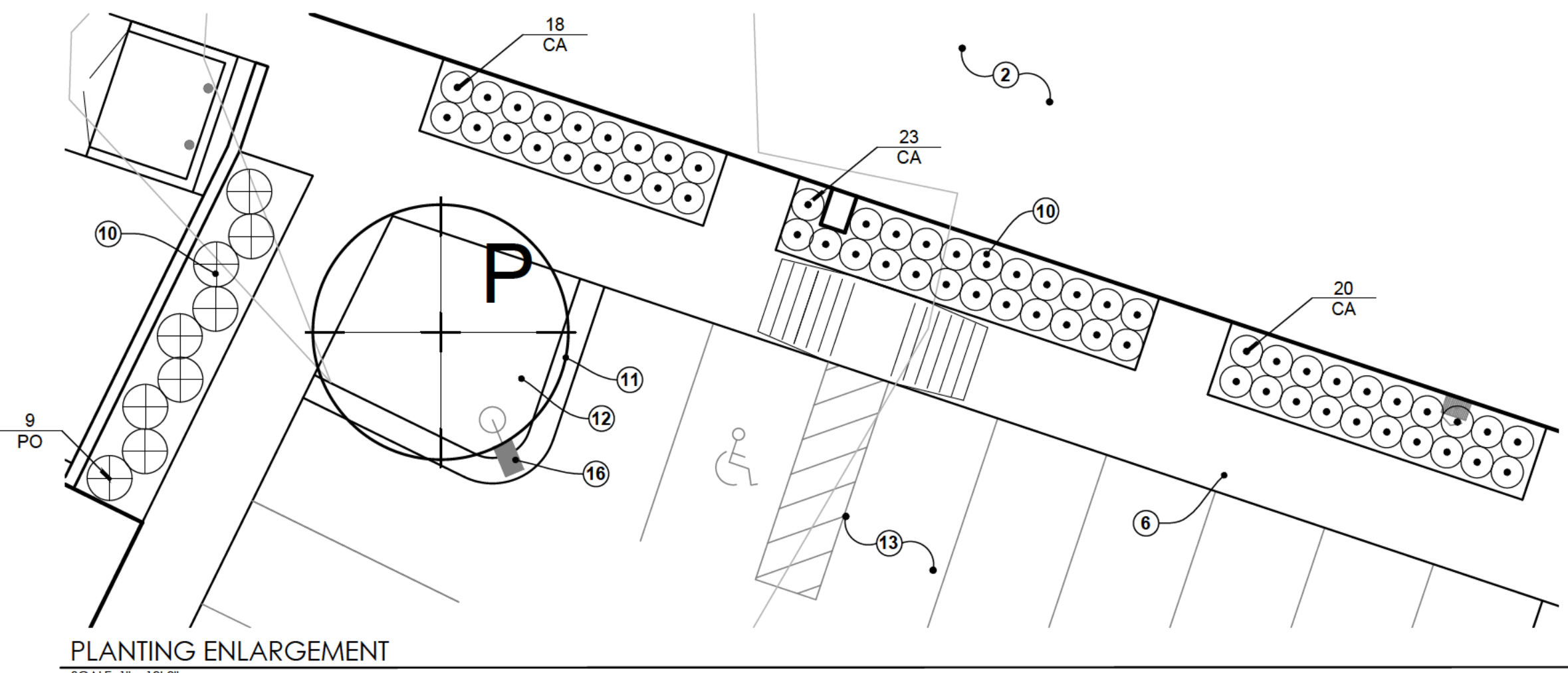
SEE ENLARGEMENT SHEET L-2



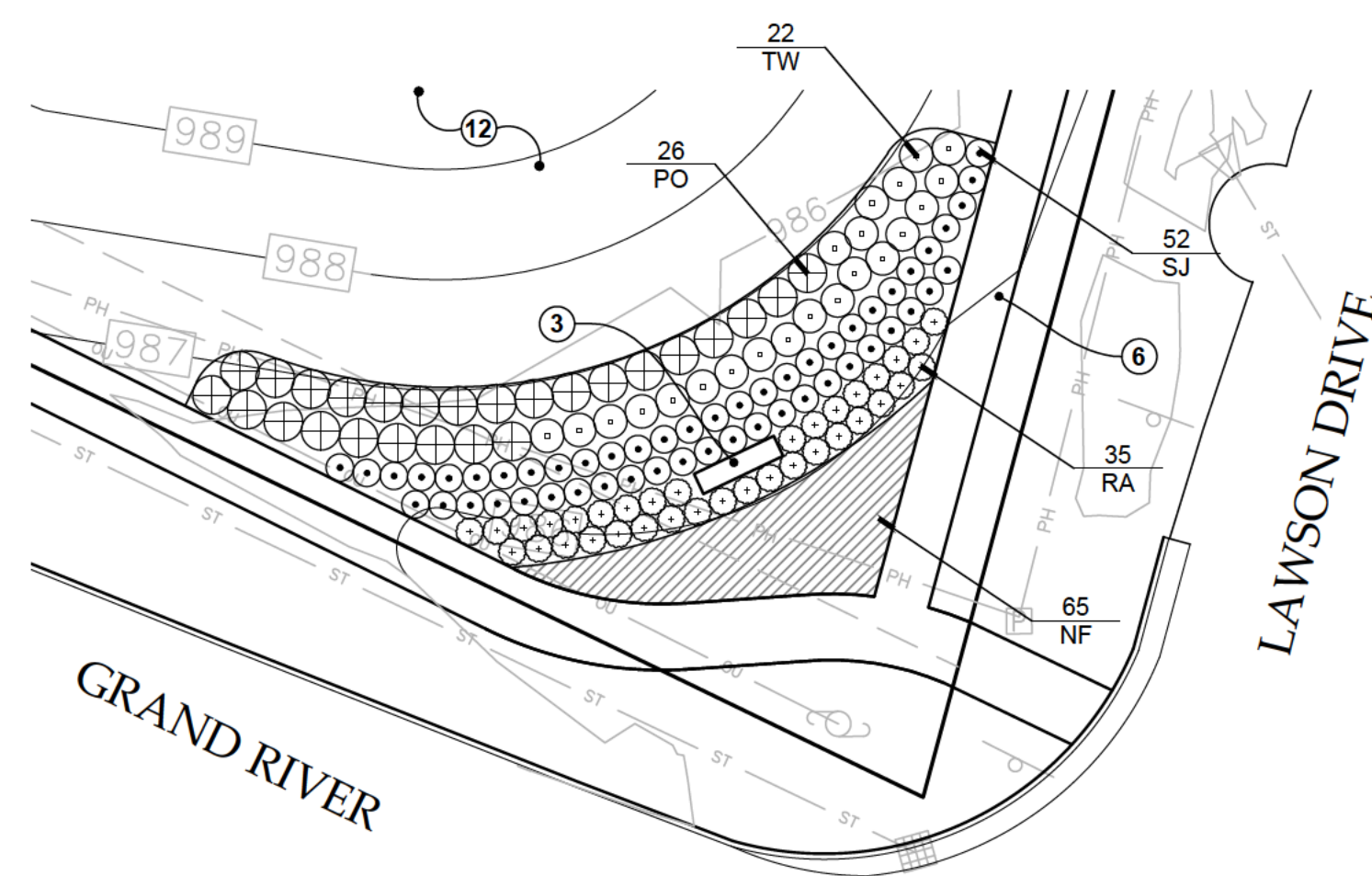
FOUNDATION PLANTING ENLARGEMENT
SCALE: 1/16" = 1'-0"



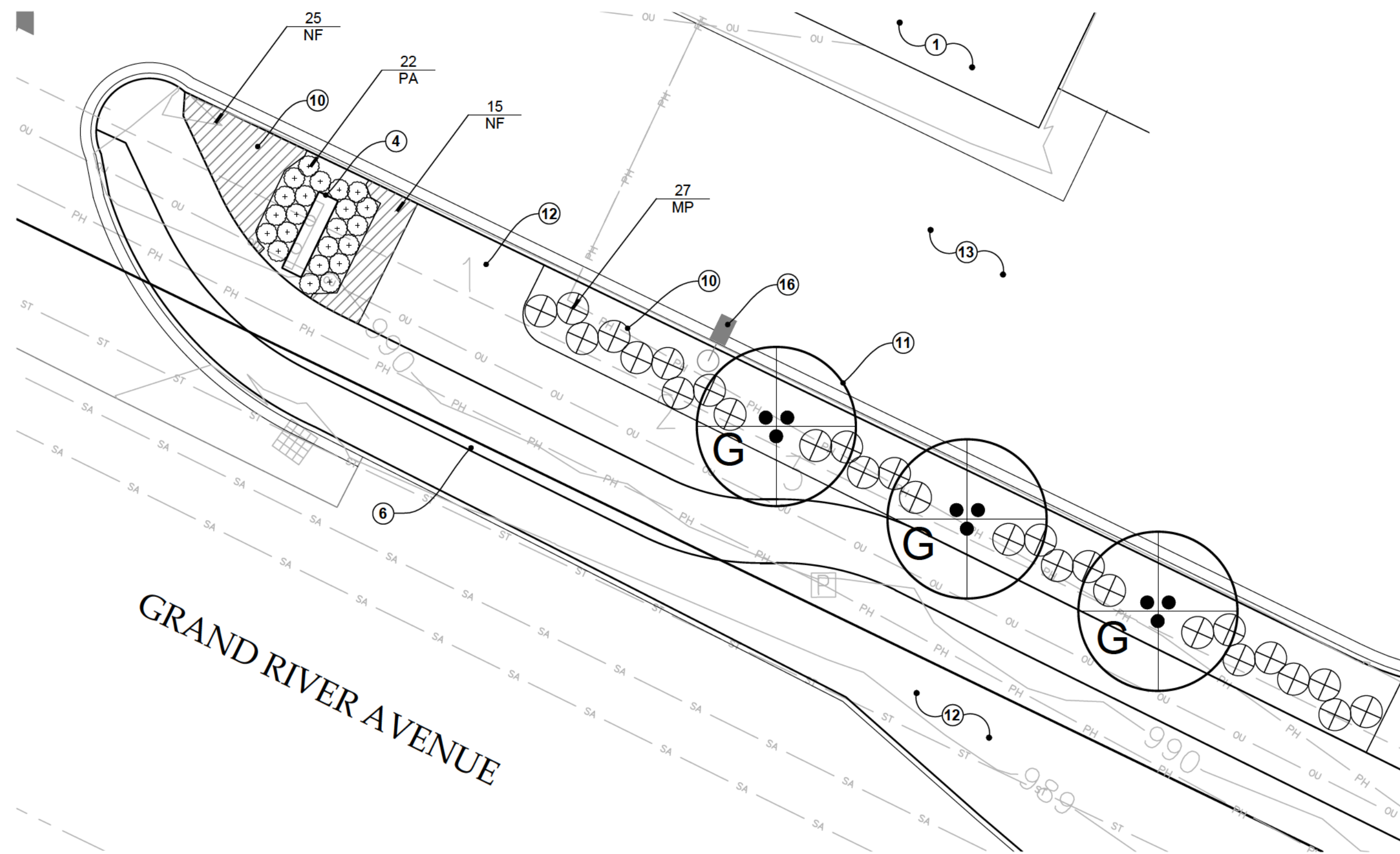
RETENTION BASIN ENLARGEMENT
SCALE: 1" = 20'-0"



PLANTING ENLARGEMENT
SCALE: 1" = 10'-0"



MONUMENT SIGN ENLARGEMENT
SCALE: 1/8" = 1'-0"

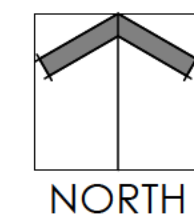


GAS STATION PRICING SIGN ENLARGEMENT
SCALE: 1" = 10'-0"

Note Key:

- 1 EXISTING GAS STATION
- 2 PROPOSED STORAGE FACILITY SEE ARCHITECTURE
- 3 PROPOSED MONUMENT SIGN
- 4 EXISTING GAS STATION PRICING SIGN
- 5 PROPOSED RETENTION BASIN SEE CIVIL ENGINEERING DRAWINGS
- 6 PROPOSED CONCRETE SIDEWALK TYPICAL
- 7 PROPOSED FENCE WITH GATE
- 8 DECIDUOUS CANOPY TREE SEE SHEET L-1 FOR QUANTITY AND SPECIES SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 9 EVERGREEN TREE SEE SHEET L-1 FOR QUANTITY AND SPECIES SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 10 SHRUB AND PERENNIAL PLANTING SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 11 ORNAMENTAL FLOWERING TREE SEE SHEET L-1 FOR QUANTITY AND SPECIES SEE SHEET L-3 FOR PLANT SCHEDULE AND TYPICAL DETAIL
- 12 LAWN OVER MINIMUM 3" DEPTH TOPSOIL TO LIMITS OF DISTURBANCE
- 13 ASPHALT PARKING LOT
- 14 PROPOSED RETENTION BASIN EASEMENT SEE SHEET L-1 FOR EXTENTS SEE CIVIL ENGINEERING DRAWINGS
- 15 TRANSFORMER PAD
- 16 PROPOSED LIGHT POLE SEE LIGHTING PLAN

NOT FOR CONSTRUCTION



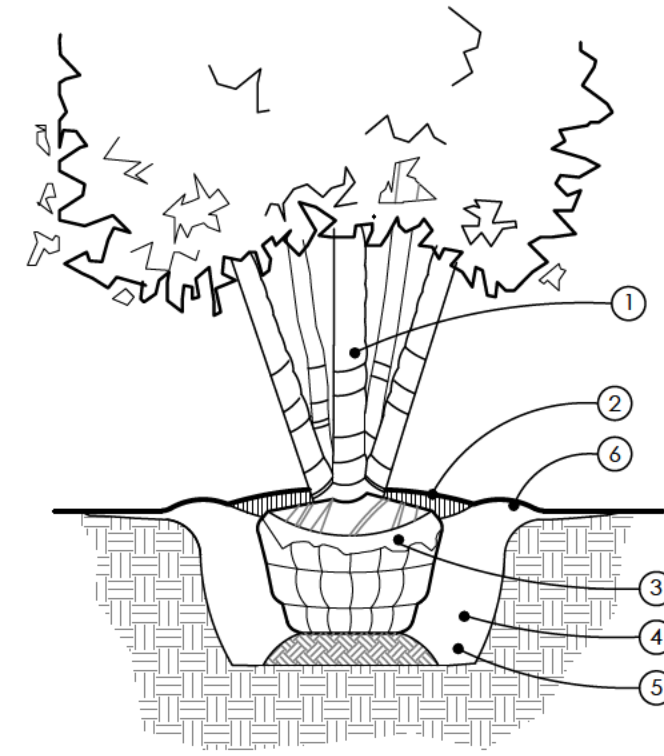
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Checked: JG
Date: 12.10.2018
Scale: AS NOTED

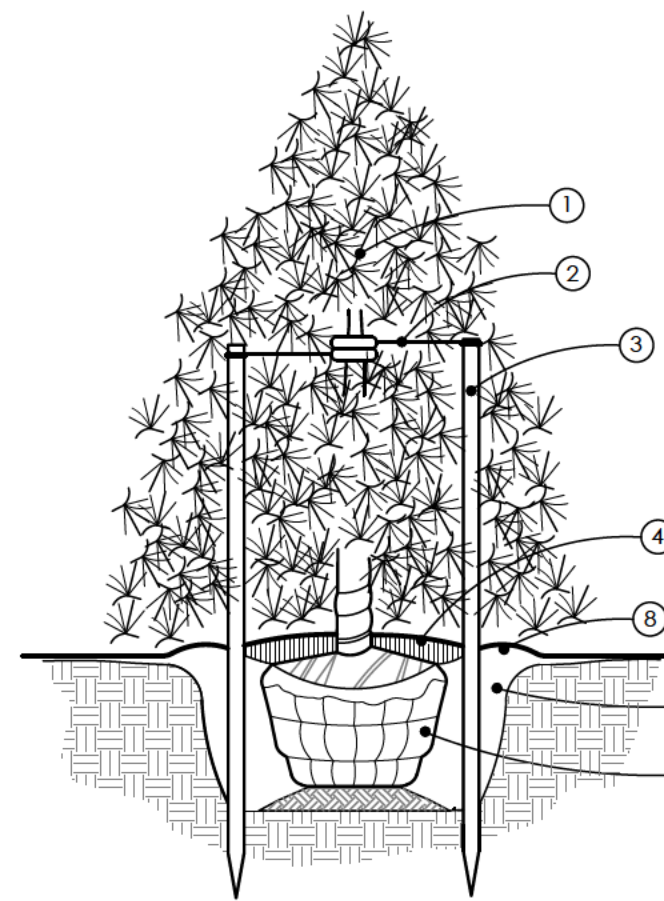
Project Number:
18.033

Sheet Number:
L-2



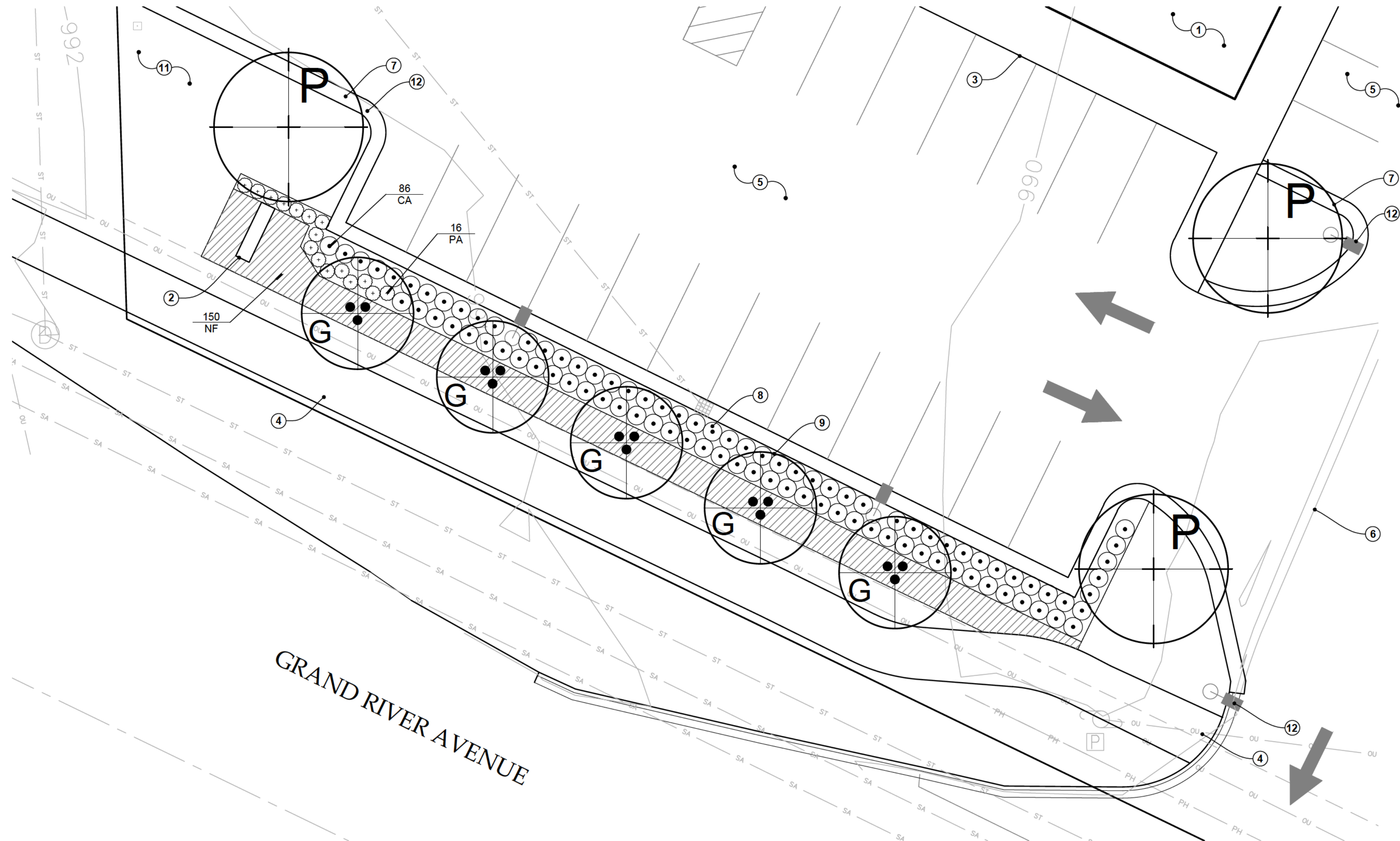
- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 3" ABOVE FINISH GRADE
- REMOVE ALL TAGS, STRINGS, PLASTICS AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - COVER PLANTING W/ 3" DOUBLE SHREDDED HARDWOOD BARK MULCH, MINIMUM 6" DIA. LEAVE 3" CIRCLE OF BARE SOIL AROUND BASE OF THE STEMS.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - TREE PIT TO BE THREE TIMES WIDTH OF ROOTBALL
 - 4" TOPSOIL SAUCER

5
L-1 **MULTISTEM TREE PLANTING**
NOT TO SCALE



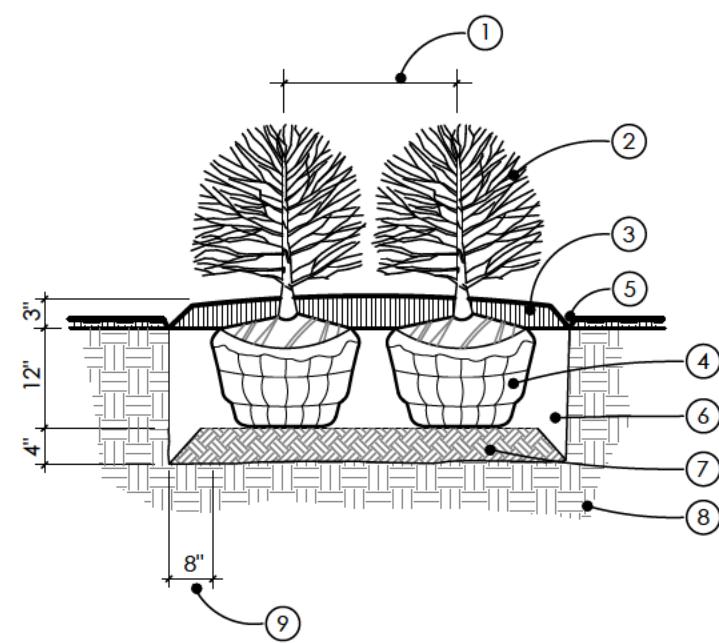
- NOTES:**
1. STAKE EVERGREENS UNDER 12' HEIGHT
2. GUY EVERGREENS 12' HEIGHT AND OVER
3. NEVER CUT OR PRUNE CENTRAL LEADER
4. SET STAKES VERTICAL AND EVENLY SPACED
5. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES
- REMOVE ALL TAGS, STRINGS, PLASTICS AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - STAKE TREES WITH 2-3" WIDE BELT-LIKE FABRIC STRAPS ONLY. ARBOR TIE OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER AND ALLOW FOR SOME 'FLEXING') DO NOT USE WIRE OR ROPE THROUGH A HOSE. REMOVE AFTER ONE YEAR.
 - (3) 2"x2" HARDWOOD STAKES OR EQUIVALENT DRIVEN 6-8" OUTSIDE OF ROOTBALL. REMOVE AFTER ONE YEAR.
 - COVER PLANTING W/ 3" SHREDDED HARDWOOD BARK MULCH, MINIMUM 6" DIAMETER. CONNECT EVERGREEN PLANTINGS WHERE POSSIBLE
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - TREE PIT TO BE 3 TIMES WIDTH OF ROOTBALL
 - 4" TOPSOIL SAUCER

4
L-1 **EVERGREEN TREE PLANTING**
NOT TO SCALE



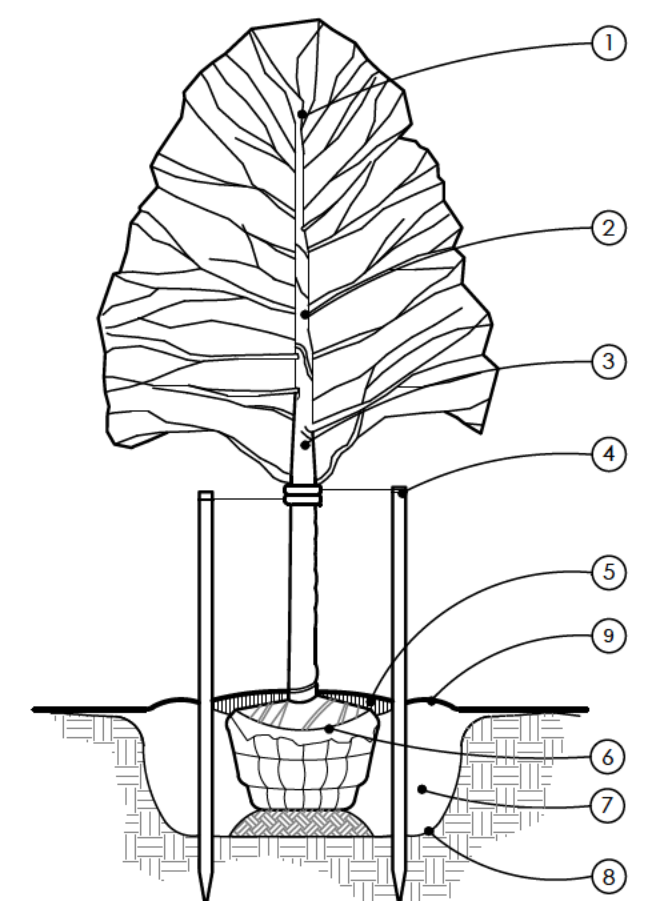
GREENBELT PLANTING ENLARGEMENT
SCALE: 1" = 10'-0"

- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE



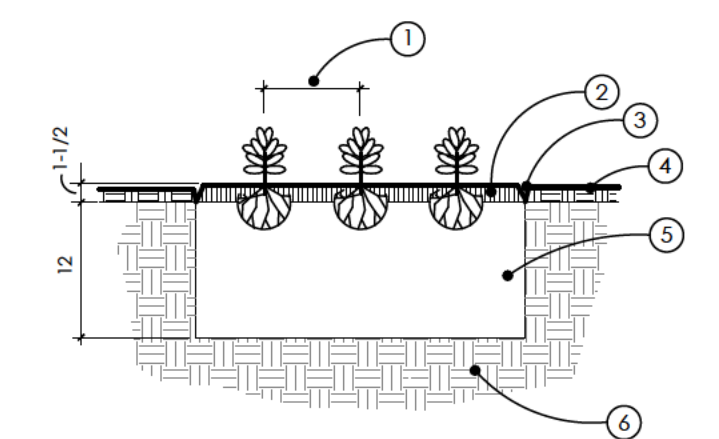
- SEE PLAN FOR SPACING
- SHRUBS SEE PLANT SCHEDULE
- 3" DEPTH DOUBLE SHREDDED HARDWOOD MULCH TYPICAL
- REMOVE ALL NON-BIODEGRADABLE TWINE FROM ENTIRE ROOTBALL. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL.
- SHOVEL CUT OR METAL EDGE SEE PLAN
- EXCAVATE EXISTING SOIL TO 12" DEPTH REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
- SCARIFY TO 4" DEPTH AND RECOMPACT
- UNDISTURBED SUBGRADE
- MINIMUM 6" BETWEEN ROOTBALL AND EDGE OF PLANTING PIT

2
L-1 **SHRUB PLANTING**
NOT TO SCALE



- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
2. SET STAKES VERTICAL AND EVENLY SPACED
3. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
4. SET STAKES VERTICAL AND EVENLY SPACED
5. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
- REMOVE SECONDARY LEADERS. DO NOT PRUNE TERMINAL LEADER OR BRANCH TOPS. PRUNE ALL DEAD AND BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRINGS, PLASTICS AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - STAKE TREES JUST BELOW FIRST BRANCH W/ 2-3" WIDE BELT-LIKE FABRIC STRAPS ONLY. ARBOR TIE OR APPROVED EQUAL. (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER AND ALLOW FOR SOME 'FLEXING') DO NOT USE WIRE OR ROPE THROUGH A HOSE. REMOVE AFTER ONE YEAR.
 - (2) 2"x2" HARDWOOD STAKES OR EQUIVALENT DRIVEN 6-8" OUTSIDE OF ROOTBALL. REMOVE AFTER ONE YEAR.
 - COVER PLANTING W/ 3" DOUBLE SHREDDED HARDWOOD BARK MULCH, MINIMUM 6" DIA. LEAVE 3" CIRCLE OF BARE SOIL AROUND THE BASE OF THE TRUNK.
 - REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP AND REMOVE WIRE BASKET FROM THE TOP 1/3 OF THE ROOTBALL.
 - PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - TREE PIT TO BE 3 TIMES WIDTH OF ROOTBALL
 - 4" TOPSOIL SAUCER
- NOTE:**
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

3
L-1 **DECIDUOUS TREE PLANTING**
NOT TO SCALE



- NOTES:**
1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
- SEE PLANT SCHEDULE FOR SPACING
 - 2" DEPTH CANADIAN PEAT TOP DRESSING OR 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH
 - SHOVEL CUT OR METAL EDGE SEE PLAN
 - FINISH GRADE
 - EXCAVATE EXISTING SOIL TO 12" DEPTH REPLACE WITH PLANT MIX. SEE GENERAL LANDSCAPE NOTES SHEET L-3 AND SPECIFICATIONS
 - UNDISTURBED SUBGRADE

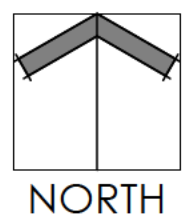
1
L-2 **PERENNIAL / GROUNDCOVER PLANTING**
NOT TO SCALE

Note Key:

- PROPOSED RETAIL SPACE SEE SHEET L-1 SEE ARCHITECTURE
- PROPOSED MONUMENT SIGN
- PROPOSED CONCRETE SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- PROPOSED ASPHALT PARKING LOT
- LIMITS OF EXISTING ASPHALT PARKING LOT
- DECIDUOUS CANOPY TREE SEE SHEET L-1 FOR QUANTITY AND SPECIES
- SHRUB AND PERENNIAL PLANTING
- ORNAMENTAL FLOWERING TREE SEE SHEET L-1 FOR QUANTITY AND SPECIES
- RETAIL SPACE FOUNDATION PLANTING SEE SHEET L-1 FOR QUANTITY AND SPECIES
- SODDED LAWN OVER MINIMUM 3" DEPTH TOPSOIL
- PROPOSED LIGHT POLE SEE LIGHTING PLAN

PLANT SCHEDULE

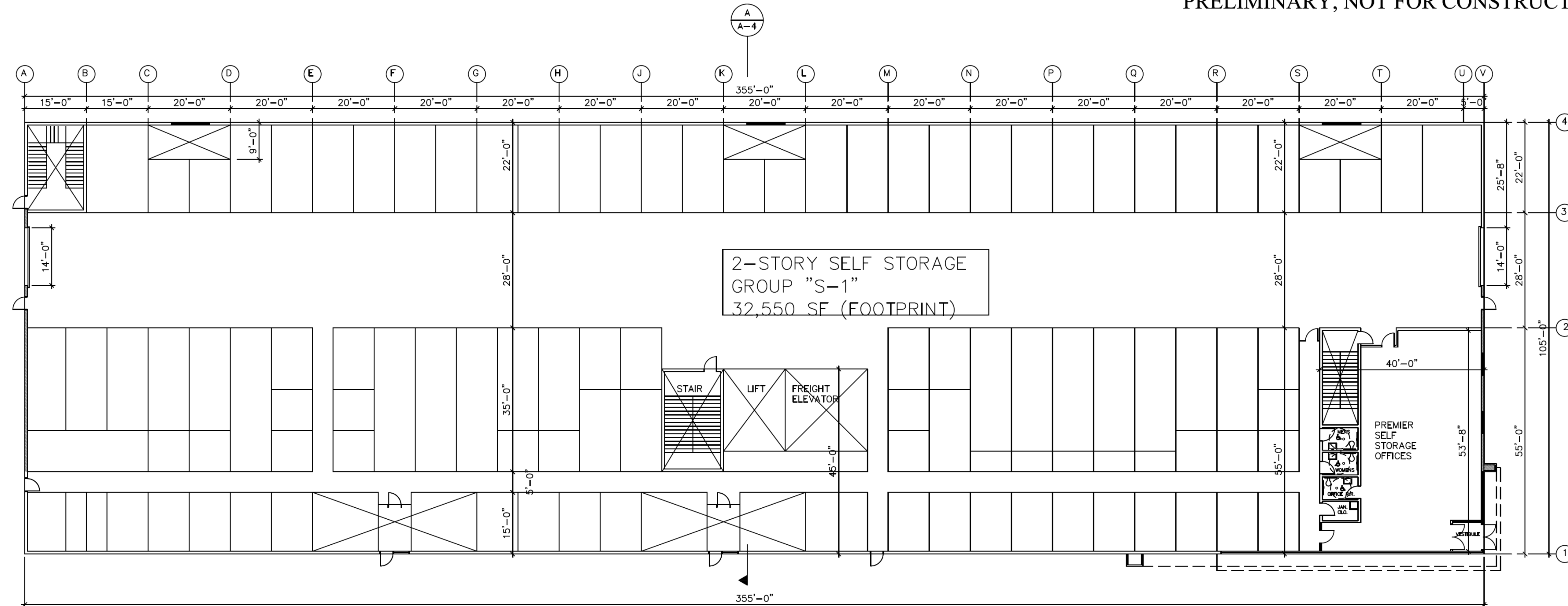
TREES							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
5	AS	Acer s. 'Green Mountain'	Green Mountain Sugar Maple	2.5' cal.	as shown	B&B	Single straight trunk
6	AG	Amalanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6-7' ht.	as shown	B&B	Minimum 5 stems
4	GT	Gleditsia l. 'Skyline'	Skyline Honeylocust	2.5' cal.	as shown	B&B	Single straight trunk
13	PG	Prinos glaucus	White Spruce	6-7' ht.	as shown	B&B	Unsheared, branched to ground
4	QB	Quercus bicolor	Swamp White Oak	2.5' cal.	as shown	B&B	Single straight trunk
8	UA	Ulmus americana 'Valley Forge'	American Elm 'Valley Forge'	2.5' cal.	as shown	B&B	Single straight trunk
20	TA	Tilia americana 'Boulevard'	Boulevard American Basswood	2.5' cal.	as shown	B&B	Single straight trunk
8	MS	Malus 'Spring Snow'	Spring Snow Crabapple	6-7' ht.	as shown	B&B	Minimum 5 stems
2	MV	Malus 'Velvet Pillar'	Velvet Pillar Crabapple	2.0' cal.	as shown	B&B	Single straight trunk
SHRUBS							
23	SP	Syringa p. 'Miss Kim'	Miss Kim Dwarf Korean Lilac	30' ht.	as shown	cont.	Well rooted
31	VP	Viburnum p.l. 'Newport'	Newport American Snowball Bush	30' ht.	as shown	B&B	
36	TO	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	6' ht.	as shown	B&B	Trim to hedge
22	TW	Thuja o. 'Woodward Globe'	Woodward Globe Arborvitae	30' ht.	as shown	cont.	Well rooted
63	PO	Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	36' ht.	as shown	cont.	Well rooted
24	POC	Physocarpus o. 'Coppertina'	Coppertina Ninebark	30' ht.	as shown	cont.	Well rooted
20	VT	Viburnum trilobum 'Compactum'	Compact American Cranberry Bush	30' ht.	as shown	cont.	Well rooted
35	MP	Myrica pennsylvanica	Northern Bayberry	30' ht.	as shown	cont.	Well rooted
52	SJ	Spirea japonica 'Neon Flash'	Neon Flash Spirea	24' ht.	as shown	cont.	Well rooted
35	RA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18' ht.	as shown	cont.	Well rooted
PERENNIALS							
156	CA	Calamagrostis s. Karl Foerster'	Karl Foerster Feather Reed Grass	#2	as shown	cont.	Well rooted
138	PA	Pennisetum a. 'Karley Rose'	Karley Rose Dwarf Fountain Grass	#2	as shown	cont.	Well rooted
275	RF	Rudbeckia f. 'Goldstrum'	Black-eyed Susan	#1	18" o.c.	cont.	Well rooted
255	NF	Nepeta x f. 'Walkers Low'	Walkers Low Nepeta	#1	24" o.c.	cont.	Well rooted





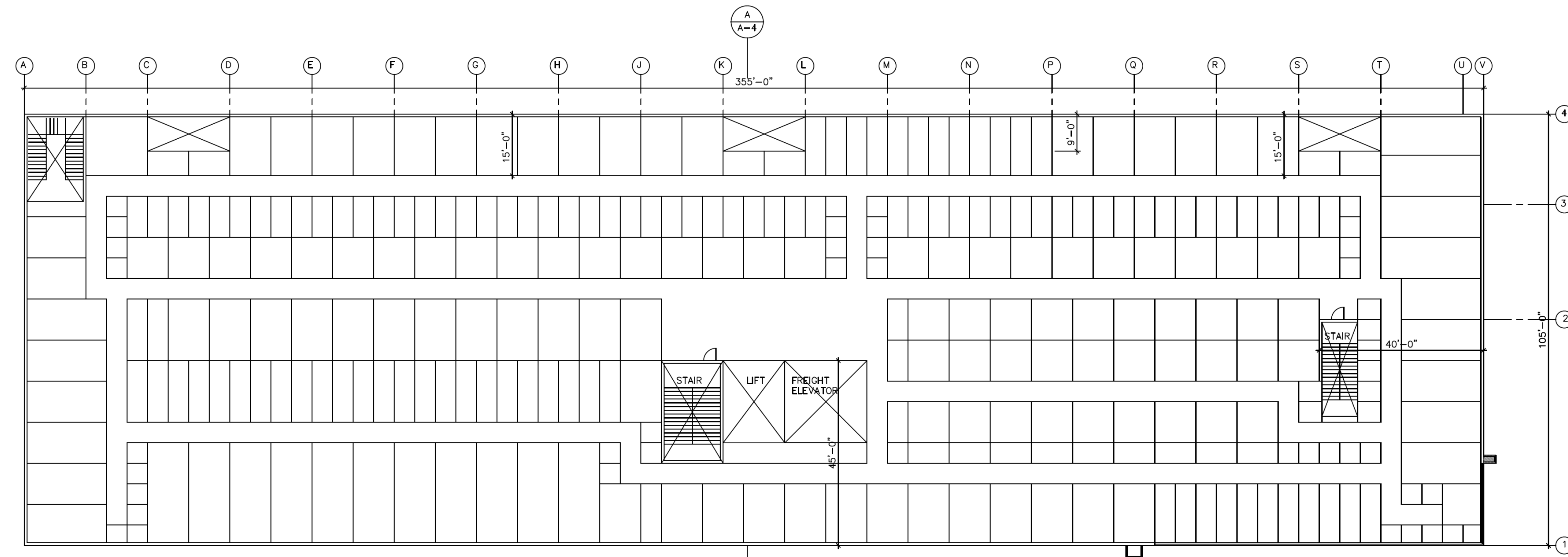
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dncc@drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC



FIRST FLOOR
37,275 SF GROSS

SELF STORAGE BUILDING FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"



SECOND FLOOR
37,275 SF GROSS

SELF STORAGE BUILDING SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"



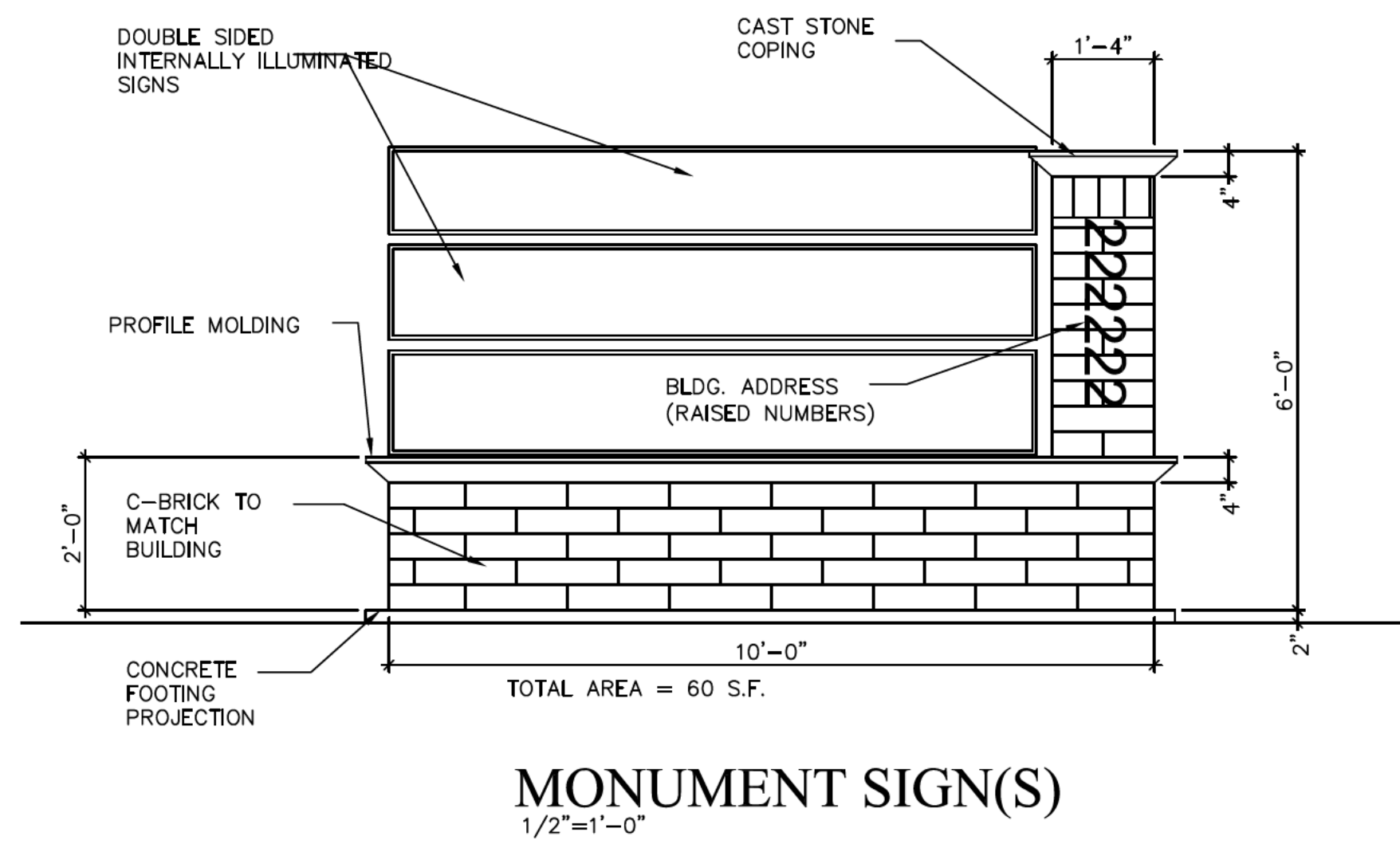
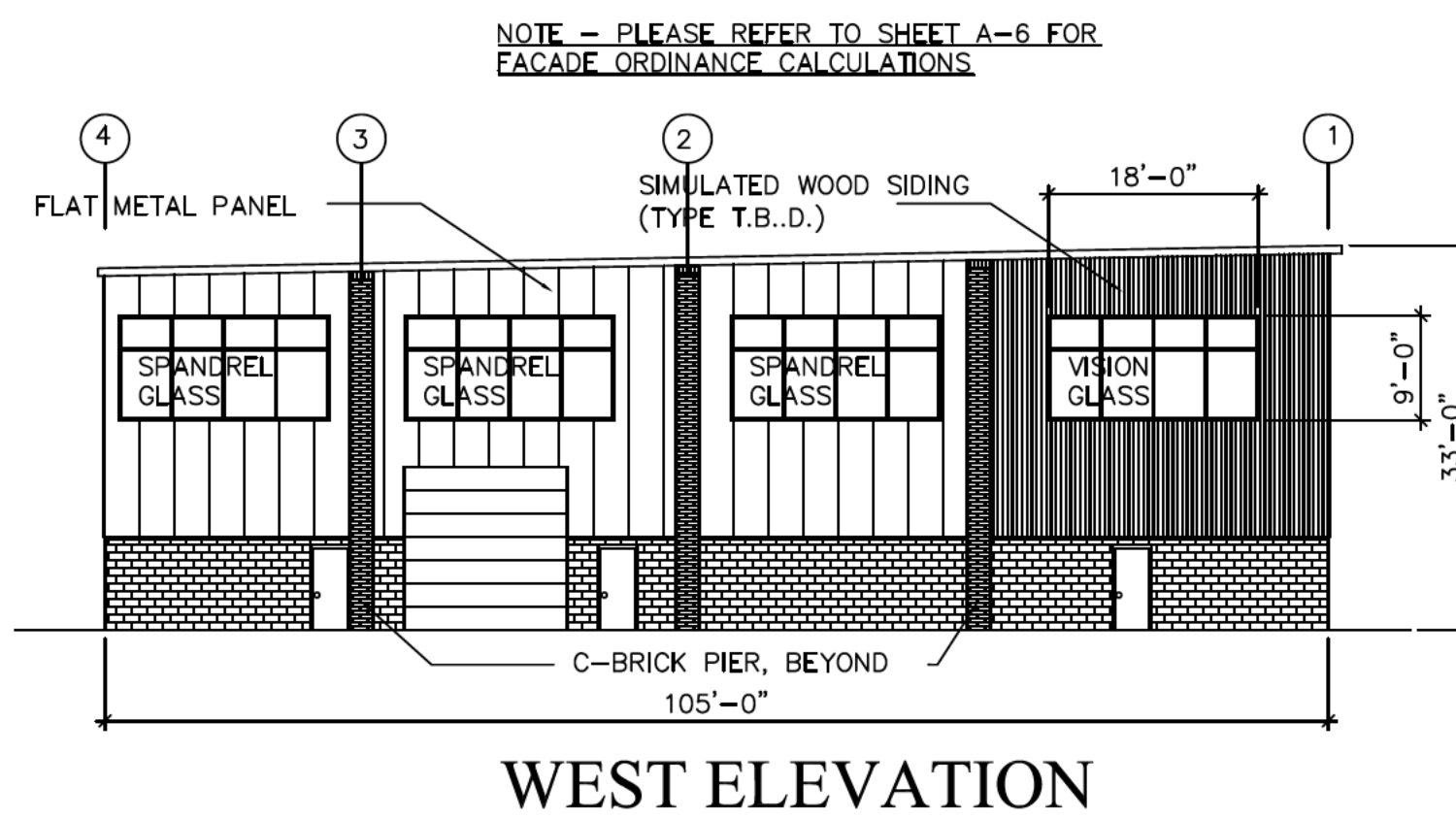
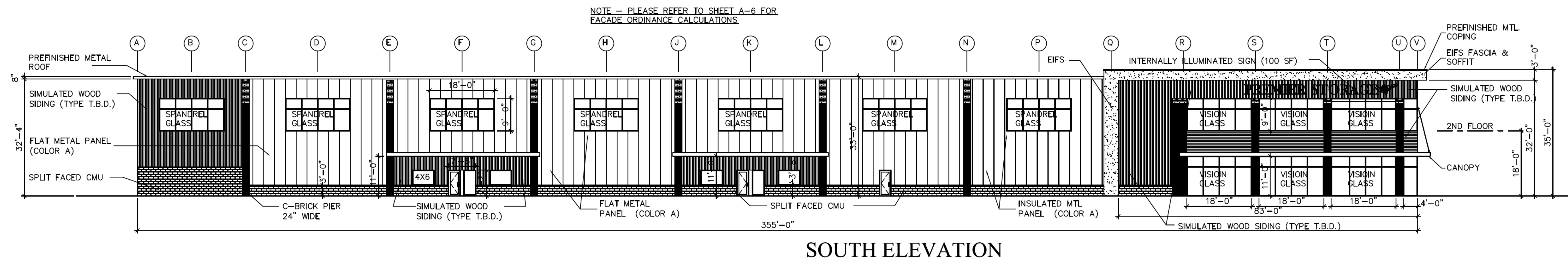
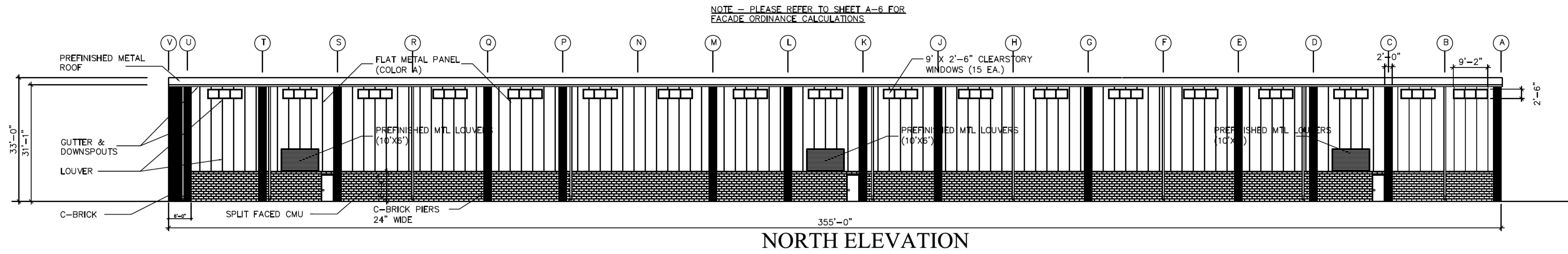
BMH-PREMIER P.U.D.
HOWELL, MI

SELF STORAGE
BUILDING

Scale
1/16"=1'-0"

Date
2/19/20

Sht. No.
A-1

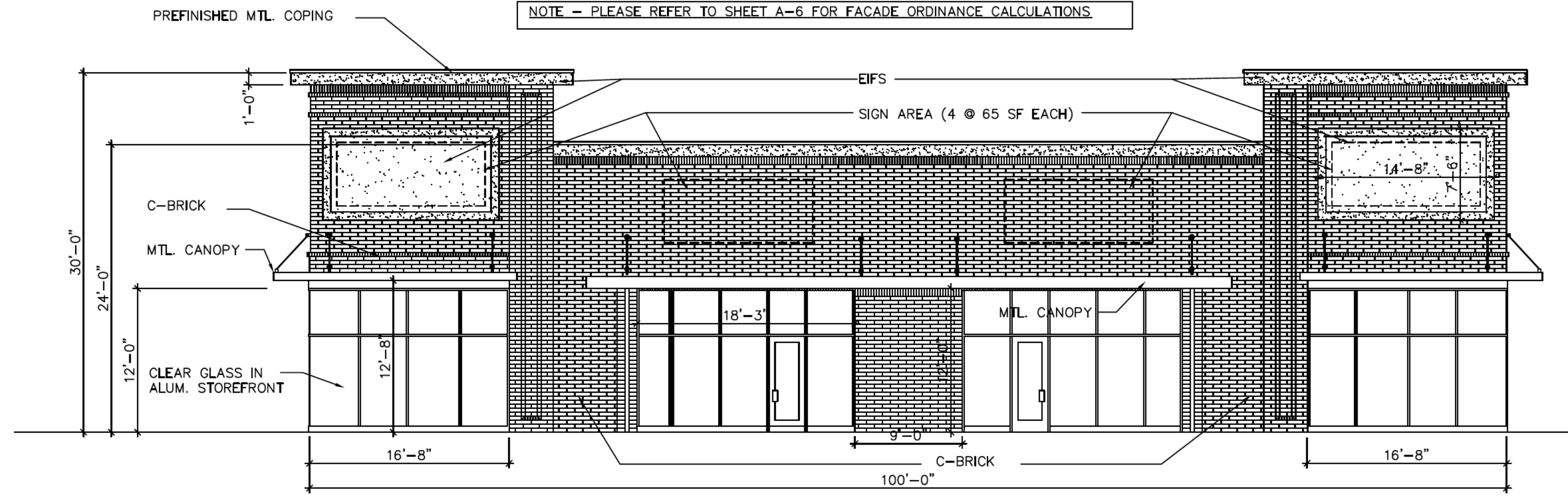


Revisions:
BMH-PREMIER P.U.D.
HOWELL, MI

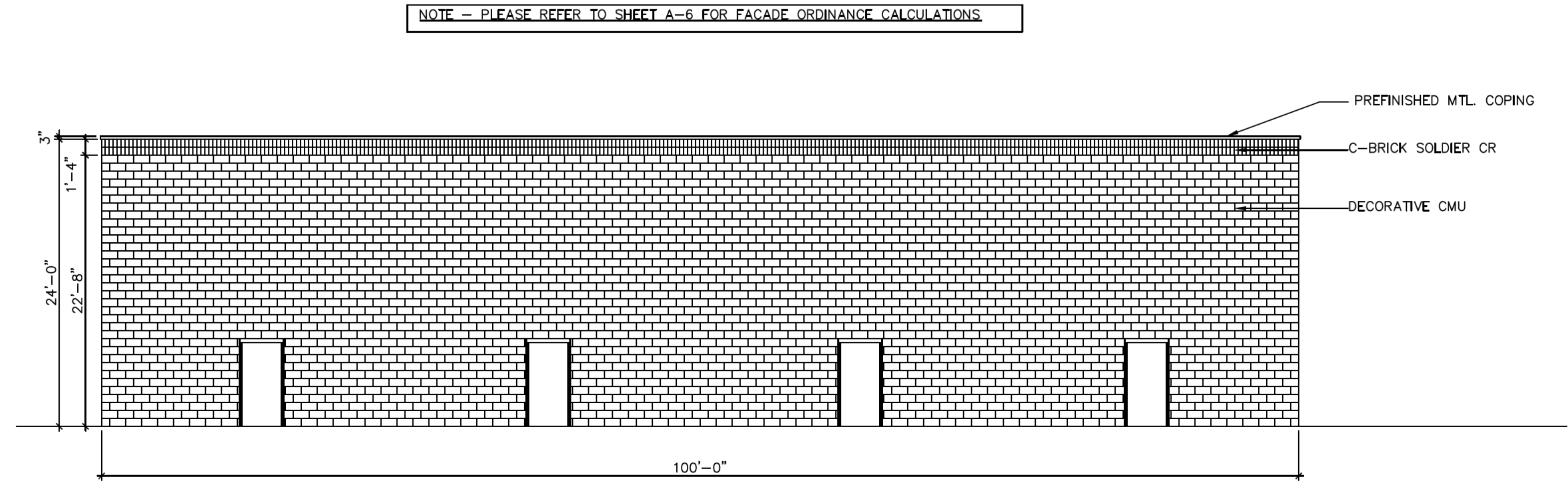
SELF STORAGE
BLDG. ELEVATIONS



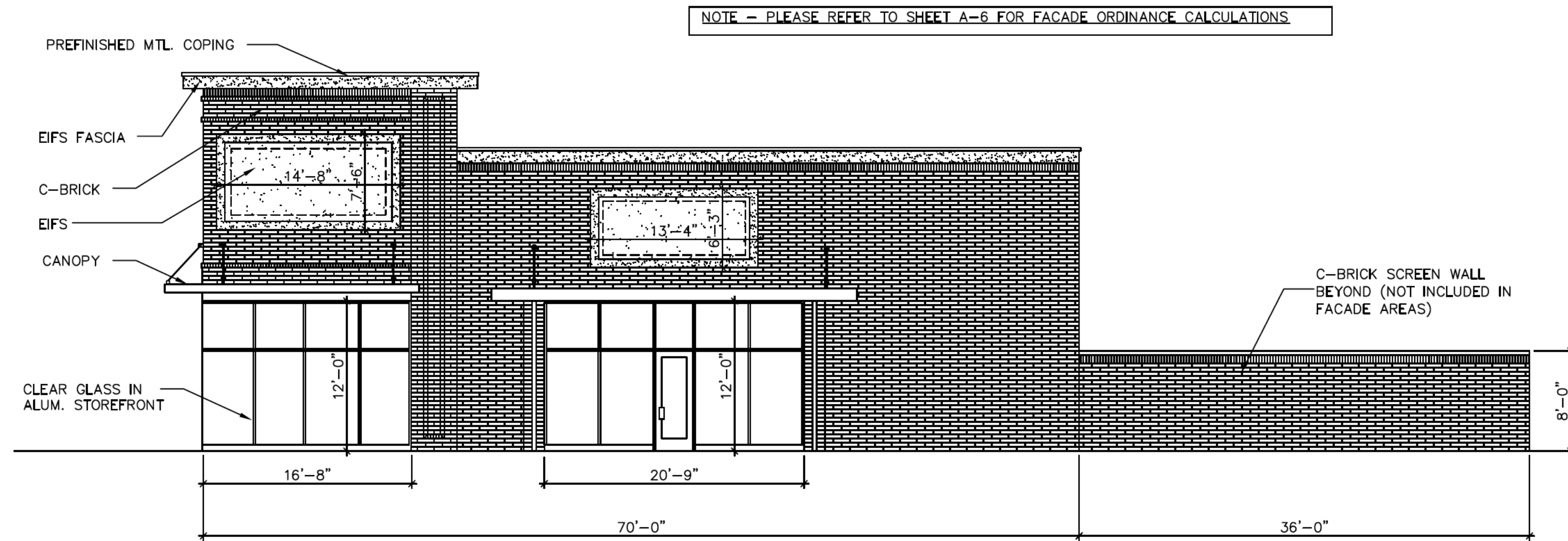
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Date
2/19/20
Sht. No.
A-2



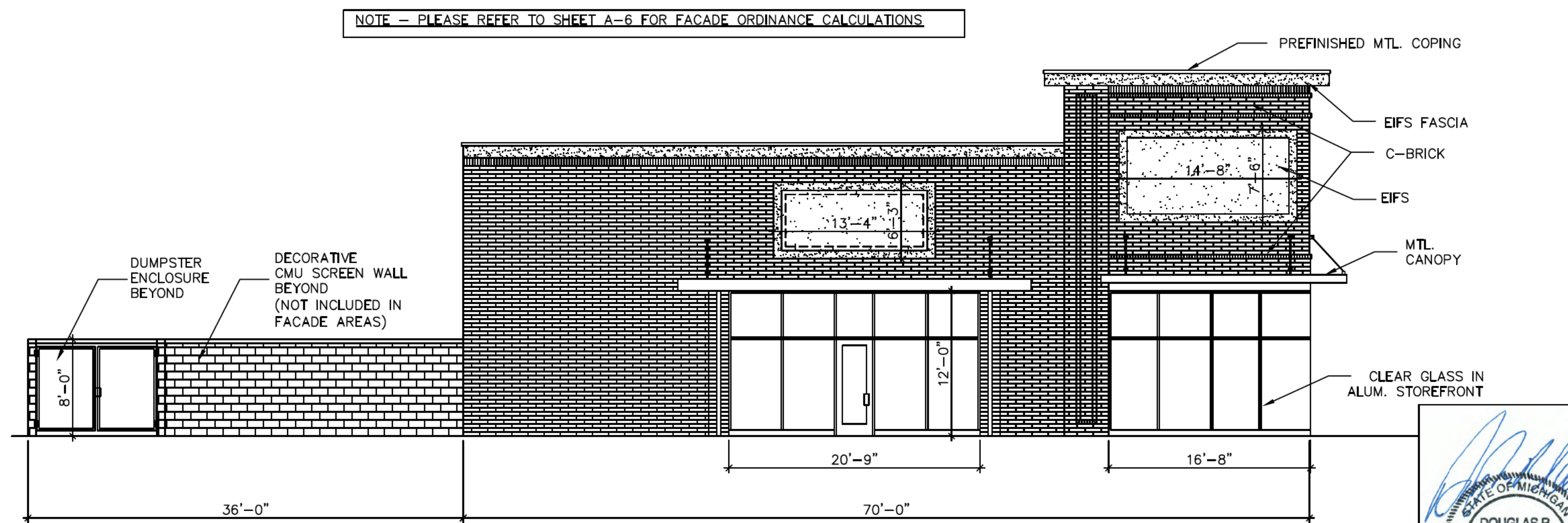
SOUTH ELEVATION



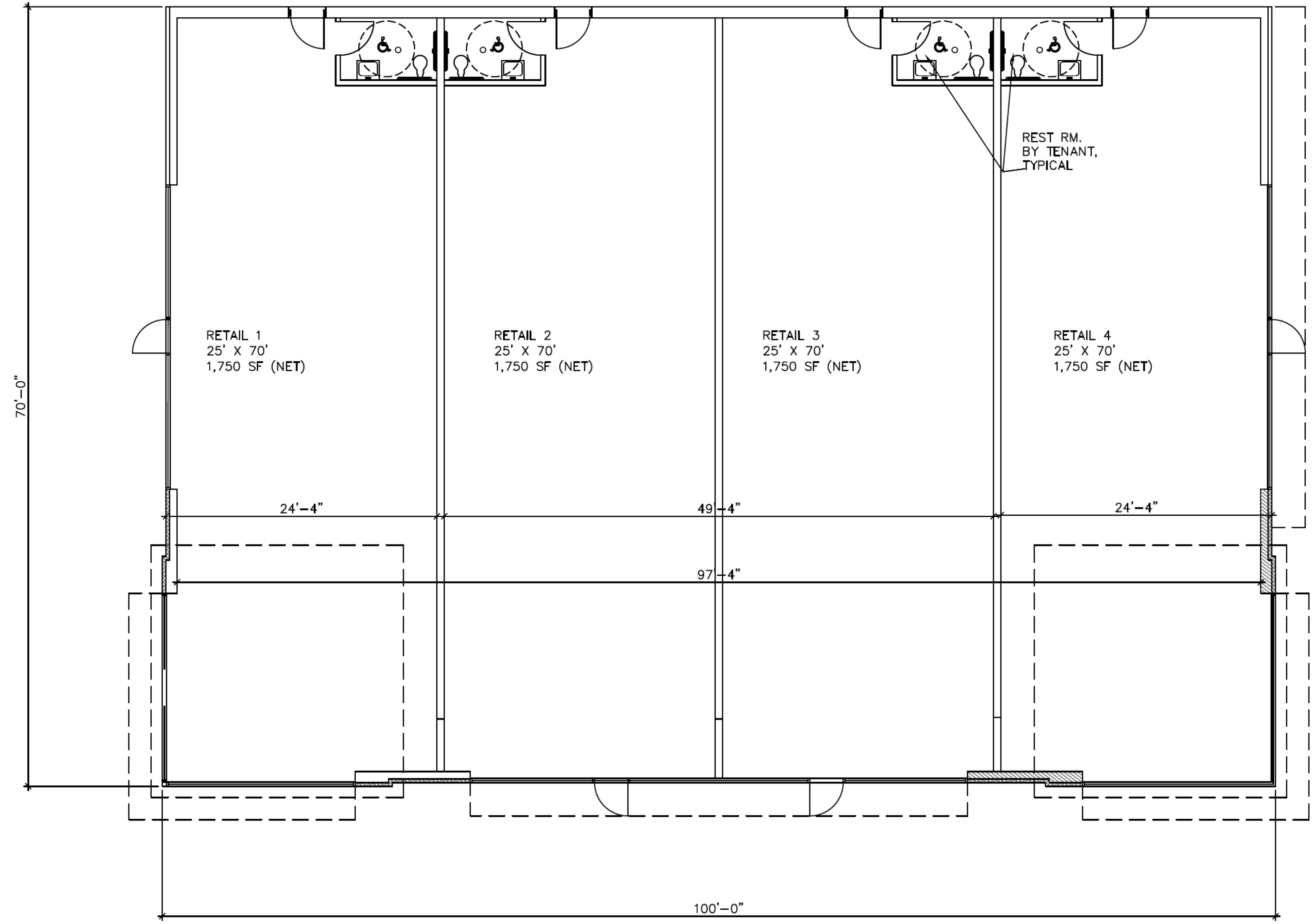
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



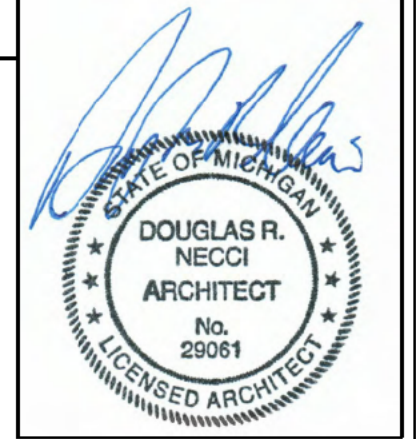
FLOOR PLAN
SCALE: 1/8"=1'-0"

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS.

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS.

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NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS.



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HOWELL, MI

RETAIL BUILDING

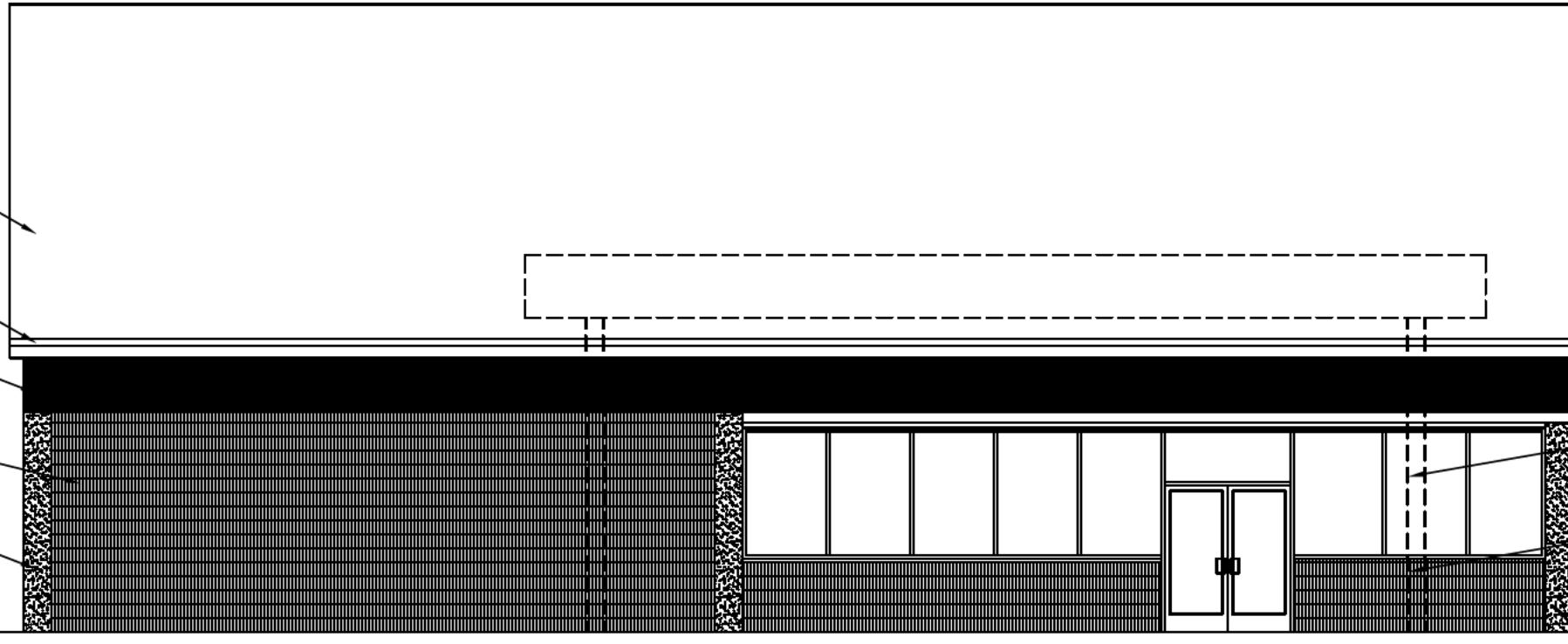
Scale
1/8"=1'-0"

Date
2/19/20

Sht. No.
A-3

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS

- EXISTING ASPHALT SHINGLES TO REMAIN
- EXISTING GUTTER TO REMAIN
- EXISTING FLAT METAL PANEL TO REMAIN (BLUE)
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

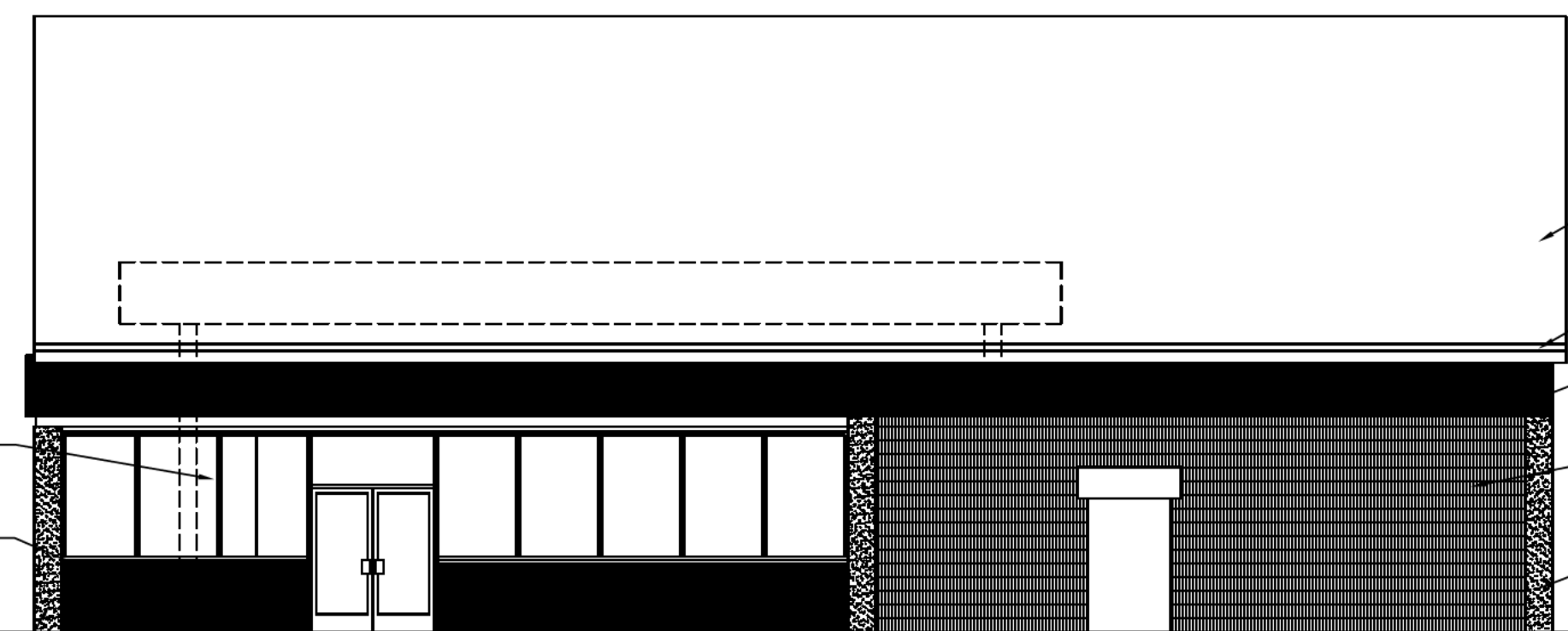


- EXISTING WINDOWS AND FRAMES TO REMAIN
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

WEST ELEVATION

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS

- EXISTING WINDOWS AND FRAMES TO REMAIN
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

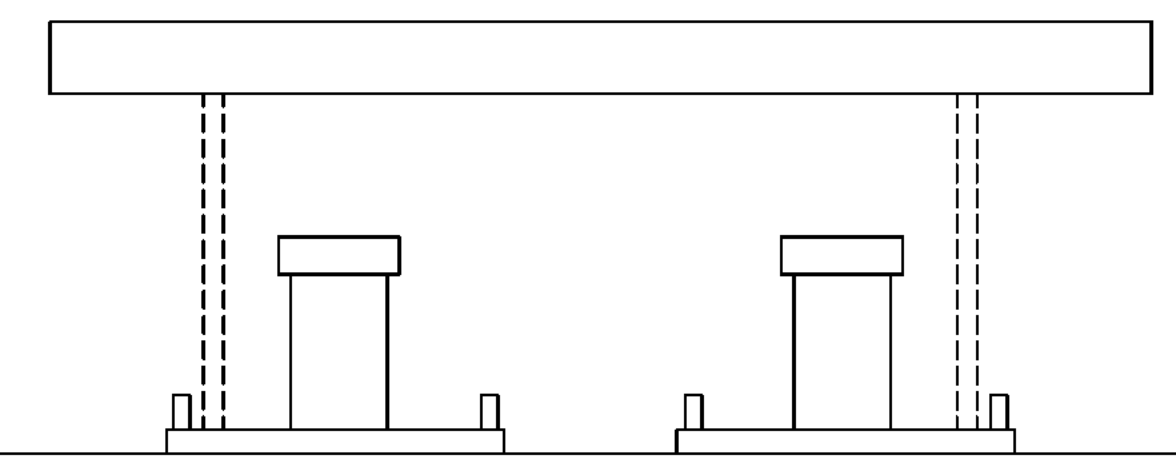


- EXISTING ASPHALT SHINGLES TO REMAIN
- EXISTING GUTTER TO REMAIN
- EXISTING FLAT METAL PANEL TO REMAIN (BLUE)
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

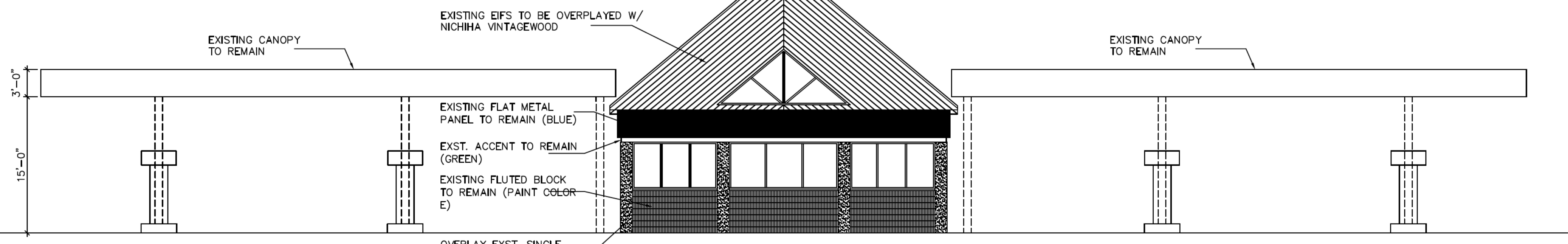
EAST ELEVATION

FACADE AREAS, CANOPY, EAST ELEVATION UNALTERED
FACADE AREAS, CANOPY, WEST ELEVATION UNALTERED

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



CANOPY EAST & WEST ELEVATION



- EXISTING EIFS TO BE OVERLAPPED W/ NICHHA VINTAGEWOOD
- EXISTING CANOPY TO REMAIN
- EXISTING FLAT METAL PANEL TO REMAIN (BLUE)
- EXST. ACCENT TO REMAIN (GREEN)
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

SOUTH (FRONT) ELEVATION

NOTE - PLEASE REFER TO SHEET A-6 FOR FACADE ORDINANCE CALCULATIONS



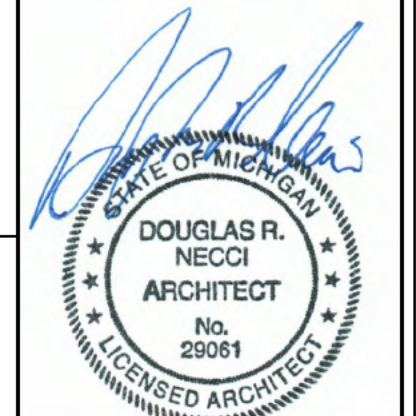
- EXISTING EIFS TO BE OVERLAPPED W/ NICHHA VINTAGEWOOD
- EXISTING CANOPY TO REMAIN
- EXISTING DRIVE UP STRUCTURE TO BE REMOVED
- EXISTING SINGLE SCORE BLOCK TO REMAIN (PAINT COLOR D)
- EXISTING FLUTED BLOCK TO REMAIN (PAINT COLOR E)
- OVERLAY EXST. SINGLE SCORE BLOCK W/ NICHHA SANDSTONE

NORTH (REAR) ELEVATION

Revisions:

BMH-PREMIER P.U.D.
HOWELL, MI

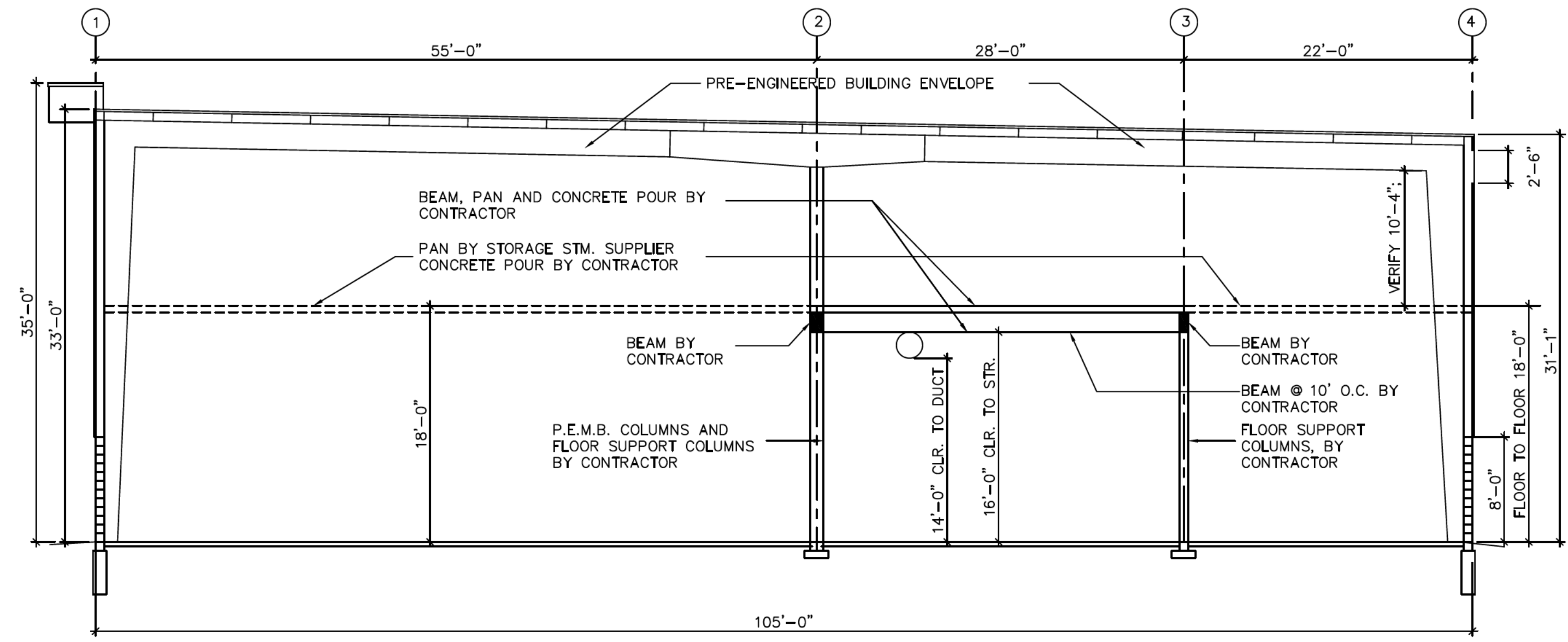
FUEL STATION &
CONVENIENCE STORE



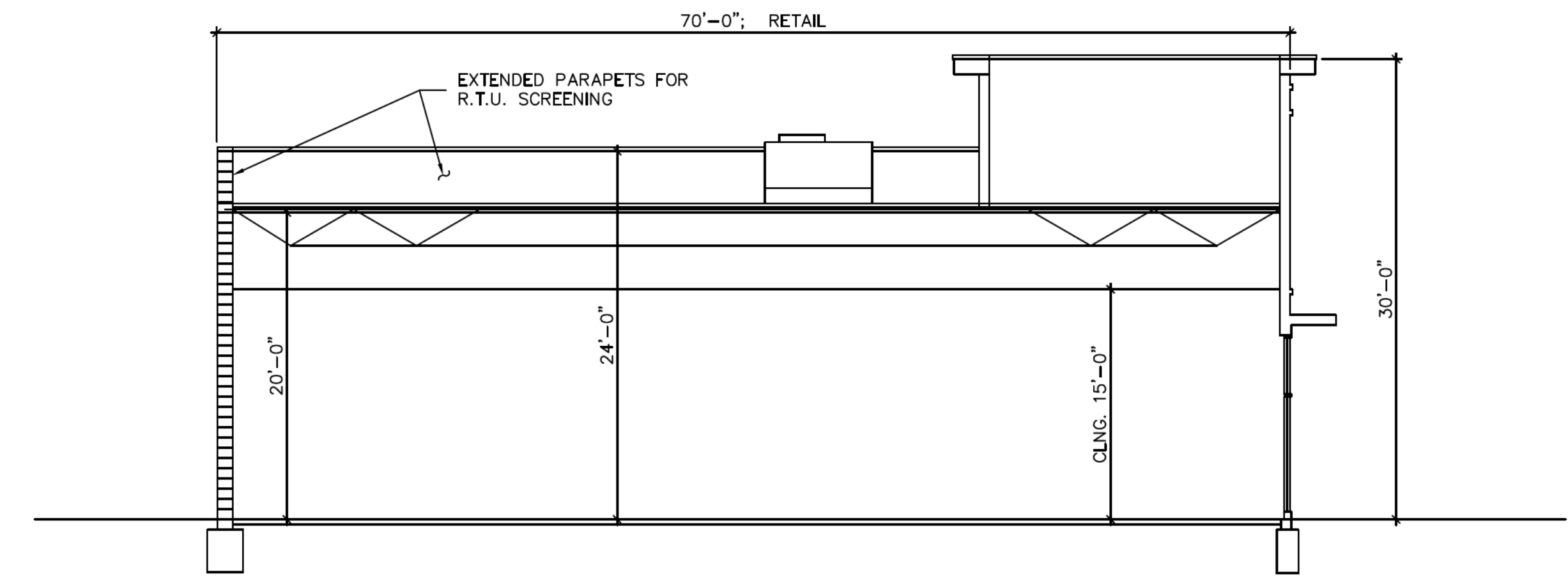
Scale
1/8"=1'-0"

Date
2/19/20

Sht. No.
A-4



TYPICAL STORAGE BUILDING SECTION
1/8"=1'-0"



TYPICAL RETAIL & OFFICE BUILDING SECTION
1/8"=1'-0"

Revisions:
BMH-PREMIER P.U.D.
HOWELL, MI

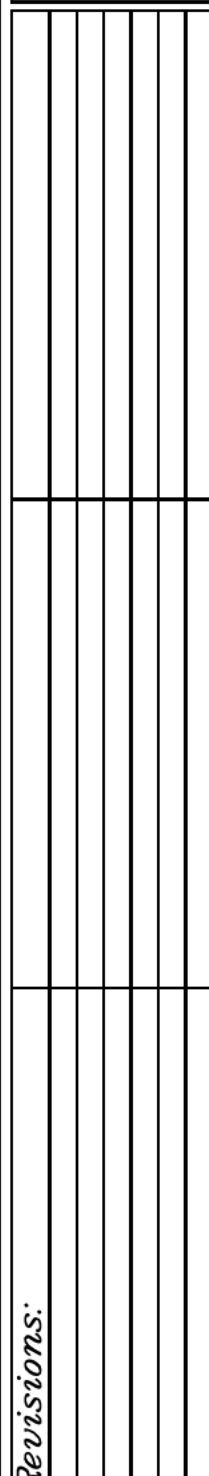
SECTIONS



Scale
1/8"=1'-0"

Date
2/19/20

Sht. No.
A-5



BMH-PREMIER P.U.D. HOWELL, MI

FACADE ORDINANCE CALCULATIONS

Scale 1/8"=1'-0"
Date 2/19/20
Sht. No. A-6



SELF STORAGE BUILDING

GAS STATION / CONVENIENCE STORE

RETAIL / SERVICE BUILDING

SELF STORAGE & FLEX OFFICE BUILDING							
2/19/2020							
SOUTH							
Material	Area (SF)	A % as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	652	7%		75%	-68.2%	Deviation	See attached letter
Simulated Wood	2,158	23%	25%		-2.4%	Complies	
Flat Metal Panels	5,532	58%	25%		33.0%	Deviation	See attached letter
Split faced CMU	820	9%	25%		-16.4%	Complies	
EIFS	374	4%	25%		-21.1%	Complies	
TL	9,536	100%					
Windows & Spandrel Glass (Note 1)	2,525	20.9%		25%	-4.1%	Deviation	See attached letter
TL	12,061						
NORTH							
Material	Area (SF)	A % as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	981	9.7%		75%	-65.3%	Deviation	See attached letter
Flat Metal Panels	6,658	66.1%	25%		41.1%	Deviation	See attached letter
Split faced CMU	2,430	24.1%	25%		-0.9%	Complies	
TL	10,069	100.0%					
Windows, Spandrel & Louvers (Note 1)	774	7.1%		25%	-17.9%	Deviation	See attached letter
TL	10,843						
EAST							
Material	Area (SF)	A % as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	326	14.1%		75%	-60.9%	Deviation	See attached letter
Simulated Wood	220	9.5%	25%		-15.5%	Complies	
Flat Metal Panels	1,270	55.0%	25%		30.0%	Deviation	See attached letter
Split faced CMU	421	18.2%	25%		-6.8%	Complies	
EIFS	70	18.2%	25%		-6.8%	Complies	
TL	2,307						
Windows & Spandrel (Note 1)	938	27.1%		25%	2.1%	Complies	
Doors	220						
TL	3,465						
WEST							
Material	Area (SF)	A % as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	183	8%		75%	-67.2%	Deviation	See attached letter
Simulated Wood	535	23%	25%		-2.3%	Complies	
Flat Metal Panels	1,047	44%	25%		19.4%	Deviation	See attached letter
Split faced CMU	592	25%	25%		0.1%	Complies	
TL	2,357						
Windows & Spandrel (Note 1)	648	19.8%		25%	-5.2%	Deviation	See attached letter
Doors	268						
TL	3,273						

- Notes:
1. 25% Minimum Glass or Spandrel Glass required on indoor commercial storage building elevations visible from a public or private road or parking lot.
2. 75% Minimum brick or stone required on wall exposed to public view from a street or residential area.

GAS STATION / CONVENIENCE STORE							
2/19/2020							
SOUTH							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
Fluted CMU (existing, to be painted)	143	24%	25%		-0.6%	Complies	
Simulated Wood (Nichiaha) (New)	280	48%	25%		22.8%	Deviation	See attached letter
Sandstone Panels (Nichiaha) (New) (Note)	54	9%	25%		-15.8%	Complies	
Flat Metal (trim and coping)	109	19%	25%		-6.4%	Complies	
TL	586	100%					
Windows (Note 1)	203	25.7%	N/A		25.7%	Complies	
TL	789						
NORTH (Not visible from public view from street or residential)							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
Fluted CMU (existing, to be painted)	356	44%	25%		19.2%	Deviation	See attached letter
Simulated Wood (Nichiaha) (new)	303	38%	25%		12.6%	Deviation	See attached letter
Sandstone Panels (Nichiaha) (New) (Note)	27	3%	25%		-21.7%	Complies	
Single Score CMU, painted (existing)	120	15%	25%		-10.1%	Complies	
TL	806	100%					
Windows (Note 1)	21	2.5%	N/A			Complies	
TL	827						
EAST							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
Fluted CMU (existing, to be painted)	442	65%	25%		40.4%	Deviation	See attached letter
Simulated Wood (Nichiaha) (New)	0	0%	0%		0.0%	N/A	
Sandstone Panels (Nichiaha) (New) (Note)	41	6%	25%		-18.9%	Complies	
Flat Metal (trim and coping)	193	29%	25%		3.6%	Deviation	See attached letter
Asphalt Shingles (Note 3)	676	100%					
TL							
Windows (Note 1)	274	28.8%	N/A		28.8%	Complies	
TL	950						
WEST (Not visible from public view from street or residential)							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
Fluted CMU (existing, to be painted)	442	65%	25%		40.4%	Deviation	See attached letter
Simulated Wood (Nichiaha) (New)	0	0%	0%		0.0%	N/A	
Sandstone Panels (Nichiaha) (New) (Note)	41	6%	25%		-18.9%	Complies	
Flat Metal (trim and coping)	193	29%	25%		3.6%	Deviation	See attached letter
Asphalt Shingles (Note 3)	676	100%					
TL							
Windows	274	28.8%	N/A		28.8%	Complies	
TL	950						

- Notes:
1. 25% Minimum windows does not apply to gas station building
2. Asphalt shingles are not listed on the "Schedule of Exterior Wall Materials", therefore not counted in percentages.
3. Sand Stone Panels considered to be "Finshes" as defined as footnote .(e) in 12.01.03

RETAIL/SERVICES BUILDING							
2/19/2020							
SOUTH							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	1,387	81%		75%	5.8%	Complies	
EIFS	330	19%	25%		-5.8%	Complies	
TL	1,717	100%					
Windows (Note 1)	839	32.8%		N/A	32.8%	Complies	
TL	2,556						
NORTH (Not visible from public view from street or residential)							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	133	5.8%		N/A	5.8%	Complies	
Split faced CMU	2,175	94.2%	25%		69.2%	Deviation	See attached letter
Doors (not included)							
TL	2,308	100.0%					
Windows (Note 1)	0	0.0%		N/A	0.0%	Complies	
TL	2,308						
EAST							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	1,035	79%		75%	4.3%	Complies	
EIFS	270	21%	25%		-4.3%	Complies	
TL	1,305	100%					
Windows (Note 1)	450	25.6%		N/A	25.6%	Complies	
TL	1,755						
WEST							
Material	Area (SF)	A Percentage as designed	B Maximum Allowed	C Minimum Required	Compliance		Comments
					If A-B = +%, Exceeds Maximum If A-C = -%, Under Minimum		
C-Brick (Note 2)	1,035	79%		75%	79.3%	Complies	
EIFS	270	21%	25%		-4.3%	Complies	
TL	1,305	100%					
Windows (Note 1)	450	25.6%		N/A	25.6%	Complies	
TL	1,755						

- Notes:
1. 25% Minimum glass requirement only applies to self storage building; no minimum for other buildings.
2. 75% Minimum brick or stone required on wall exposed to public view from a street or residential area.

MEMORANDUM

TO: Township Board

FROM: Michael Archinal 

DATE: 7/1/2020

RE: Grand River Pathway Phase VII

On February 4, 2019 you approved a grant match agreement with MDOT and LCRC for the completion of Phase VII of the Grand River Sidewalk project. This section runs from Lynch Carpet to Hughes Road on the north side of Grand River. We received a \$202,000 grant for a project originally estimated at \$336,800. Our match amount was \$134,800.

Through design the Engineer's Opinion of Probable Cost increased to \$376,561. The project then went to the bid phase with a low bidder at \$444,417.95. The difference between the original project estimate in the grant agreement (336,800) and the low bidder (444,417.95) is \$107,617.95. To keep this project moving forward would require the Township to assume the liability for this overage. This would bring the Township's effort to \$242,417.95.

The reasons for the overages are explained in an email from the Township Engineer. Also included are the original Resolution and the bid tab. I look forward to discussing this matter with you at Monday night's meeting.

Please consider the following action:

Moved by _____, supported by _____, to approve an amendment to Resolution #190204B by increasing the amount of the Township contribution to Grand River Pathway Phase VII from \$134,800 to \$242,417.95.

**STATE OF MICHIGAN
COUNTY OF LIVINGSTON
GENOA CHARTER TOWNSHIP**

RESOLUTION No. 190204B

**RESOLUTION FOR A GRANT APPLICATION TO THE MICHIGAN
DEPARTMENT OF TRANSPORTATION (MDOT)
TRANSPORTATION ALTERNATIVES PROGRAM (TAP) FOR
FUNDING DEVELOPMENT OF GRAND RIVER SIDEWALK
PROGRAM PHASE 7.**

At a regular meeting of the Board of Trustees of Genoa Charter Township, Livingston County, Michigan, held at the Township Hall at 2911 Dorr Road, Brighton, Michigan, 48116, on the 4th day of February, 2019, at 6:30 p.m.

WHEREAS, Genoa Charter Township is traversed by Grand River Avenue; and

WHEREAS, Grand River Avenue has experienced significant residential, commercial and industrial growth; and

WHEREAS, Genoa Charter Township has required developers to install sidewalks in the public right-of-way as their properties develop; and

WHEREAS, Genoa Charter Township has for several years invested in sidewalk installations to connect existing sections; and

WHEREAS, the section of sidewalk identified as Phase 7 will complete a continuous path through Genoa Charter Township connecting the City of Howell and Brighton Township; and

WHEREAS, this phase is included in the Genoa Charter Township Capital Investment Plan; and

WHEREAS, the Genoa Charter Township Board has approved a contract with Tetra Tech for survey, design and engineering; and

WHEREAS, design work has been completed, including cost estimates; and

WHEREAS, survey and design shows that all work will be performed within the public right-of-way; and

WHEREAS, the Michigan Department of Transportation (MDOT) Transportation Alternative Program (TAP) Grant application submittal deadline is February 20, 2019.

GENOA CHARTER TOWNSHIP

RESOLUTION NUMBER XX-2020

**A RESOLUTION SUPPORTING TRANSPORTATION ALTERNATIVES AWARD (TAP)
GRANT AWARD AND AUTHORIZATION FOR LIVINGSTON COUNTY ROAD
COMMISSION TO ADMINISTER PHASE VII PATHWAY PROJECT**

WHEREAS, The Livingston County Road Commission, has applied for and has been awarded, on the Township's behalf, TAP Grant Funding by the Michigan Department of Transportation (MOOT) in the amount of \$202,000.00 for FY 2020, for the construction of 3,200 lineal feet of nonmotorized pathway along Grand River Avenue from Wildwood Road to Hughes Road (the "Project") as shown in the attached Exhibit A.

WHEREAS, The TAP Grant Award requires the Township to provide matching funds in the amount of \$134,800 toward the cost of the Project, as well as any additional funds necessary to complete the Project as proposed; and

WHEREAS, Upon completion of the Project, the Township shall be required to operate, maintain and repair the pathway, as needed; and

WHEREAS, The Township wishes to proceed with the Project and to authorize the Livingston County Road Commission to act on its behalf to administer the Project and enter into the Contract with MOOT for disbursement of the TAP Grant Funds;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. Township has designated and set aside matching funds in the amount of \$134,800.00 for the Project, and hereby commits to the payment of additional funds to complete the Project and,
2. Upon completion, inspection and acceptance of the Project, the Township will operate, maintain, repair and replace the nonmotorized pathway, as needed, on an on-going basis, which maintenance includes but is not limited to snow plowing in the winter and summer inspection and maintenance; and,

3. The Township hereby authorizes the Livingston County Road Commission and its employees and agents, to administer the Project and execute the Contract with the Michigan Department of Transportation (MOOT) to disburse the TAP Grant Funds.

A roll-call vote on the foregoing resolution was taken and was as follows:

YES:

NO: None

ABSTAIN: None

The Resolution was declared

BY ORDER OF THE TOWNSHIP BOARD,

Bill Rogers
Genoa Charter Township Supervisor

MDOT

Engineer's Opinion of Costs

Project Number: GENOA	Project Engineer: Tetra Tech
Estimate Number: 1	Date Created: 2/1/2019
Project Type: Miscellaneous	Date Edited: 2/1/2019
Location: Grand River Ave	Fed/State #:
Description: New 5' wide sidewalk and ramps along Grand River Avenue	Fed Item:
	Control Section:

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0001						
0001	1500001	Mobilization, Max	1.000	LSUM	\$10,000.00	\$10,000.00
0002	2047011	_ Remove Existing Sidewalk/Pavement	982.000	Syd	\$12.00	\$11,784.00
0003	2080020	Erosion Control, Inlet Protection, Fabric Drop	17.000	Ea	\$300.00	\$5,100.00
0004	2080036	Erosion Control, Silt Fence	750.000	Ft	\$2.75	\$2,062.50
0005	3027011	_ Gravel Driveway Restoration	272.000	Syd	\$35.00	\$9,520.00
0006	5017011	_ HMA Driveway Restoration	912.000	Syd	\$55.00	\$50,160.00
0007	7067010	_ Retaining Wall, Rock	1,855.000	Sft	\$45.00	\$83,475.00
0008	8017011	_ Conc Driveway Restoration	97.000	Syd	\$55.00	\$5,335.00
0009	8027001	_ Curb removal & replacement	371.000	Ft	\$40.00	\$14,840.00
0010	8030044	Sidewalk, Conc, 4 inch	16,465.000	Sft	\$4.50	\$74,092.50
0011	8030046	Sidewalk, Conc, 6 inch	3,830.000	Sft	\$5.50	\$21,065.00
0012	8037010	_ Sidewalk Ramp	855.000	Sft	\$6.50	\$5,557.50
0013	8037050	_ ADA Detectable Warning Device	12.000	Ea	\$450.00	\$5,400.00
0014	8087050	_ Safety Railing	250.000	Ea	\$45.00	\$11,250.00
0015	8120370	Traf Regulator Control	1.000	LSUM	\$7,500.00	\$7,500.00
0016	8167011	_ Restoration (Topsoil, Seed, Mulch)	2,700.000	Syd	\$7.00	\$18,900.00
Category 0001 Total:						\$336,041.50
Estimate Total:						\$336,041.50

Mike Archinal

From: Markstrom, Gary <Gary.Markstrom@tetrattech.com>
Sent: Wednesday, July 01, 2020 9:01 AM
To: Johnson, Landon (MDOT); Jodie Tedesco
Cc: Mike Archinal; Warren, Daniel
Subject: RE: Justification/Rejection for Item 2006 021; 47000-208958

Landon, the Township would like to confirm that the low bidder will honor their prices considering the Board action will be July 6th. They want to proceed with the project as bid with the low bidder Isabella.

The following is the justification for the increased cost.

The unit price for Granular material is significantly higher than the engineers OPC and can be attributed to the low volume of material used for a sidewalk project per foot of work area. More handling will be required to place the material off the travel way of the roadway resulting in a higher cost per cubic yard of material placed. .

The price for HMA approach was also significantly higher than anticipated and is most likely also due to the labor required for placing the material in the sidewalk area versus in a mainline type area. In addition it appears the cost of HMA may be higher than anticipated.

The Modular Block wall is the most significant item causing the price increase. The location of the wall being more linear than vertical and thereby requiring more grading per linear foot would appear to be the issue affecting the unit price. In addition the limited area to work within the ROW may also contribute to the increased cost.

Lastly the minor traffic devices and slope restoration line items were higher than anticipated. These items appear to be impacted by the increased traffic along Grand River that requires more planning and care to provide a safe work zone.

I trust this meets your needs to proceed with the project pending Genoa Township's Board approval on the 6th.

Gary J. Markstrom, PE | Vice President
Direct: 517.316.3932 | Cell: 810.499.6646
gary.markstrom@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We also would like to wish health and wellness to you and your family.

Tetra Tech | Water, Environment, Infrastructure
401 South Washington Square, Suite 100 | Lansing, MI 48933 | www.tetrattech.com

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From: Johnson, Landon (MDOT) <JohnsonL26@michigan.gov>
Sent: Tuesday, June 16, 2020 2:39 PM
To: Markstrom, Gary <Gary.Markstrom@tetrattech.com>; Jodie Tedesco <jtedesco@livingstonroads.org>
Cc: 'Mike Archinal' <Mike@genoa.org>; Warren, Daniel <Daniel.Warren@tetrattech.com>
Subject: RE: Justification/Rejection for Item 2006 021; 47000-208958

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List of Vendors

Rank	Vendor ID/Name	Total Bid	Percent Of Low Bid	Percent Of Estimate
0	-EST- - Engineer's Estimate	\$376,561.02	84.73%	100.00%
1	03260 - The Isabella Corporation	\$444,417.95	100.00%	118.02%
2	01501 - Nashville Construction Company	\$525,024.09	118.14%	139.43%
3	05082 - Audia Concrete Construction, Inc.	\$633,652.20	142.63%	168.33%

From: Markstrom, Gary <Gary.Markstrom@tetrattech.com>
Sent: Tuesday, June 16, 2020 2:00 PM
To: Jodie Tedesco <jtedesco@livingstonroads.org>; Johnson, Landon (MDOT) <JohnsonL26@michigan.gov>
Cc: 'Mike Archinal' <Mike@genoa.org>; Warren, Daniel <Daniel.Warren@tetrattech.com>
Subject: RE: Justification/Rejection for Item 2006 021; 47000-208958

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Landon, the next Township Board meeting is July 6 at which they will discuss the project and whether they want to continue with the bids received or go another direction.

Gary J. Markstrom, PE | Vice President
Direct: 517.316.3932 | Cell: 810.409.6646
gary.markstrom@tetrattech.com

While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We also would like to wish health and wellness to you and your family.

Tetra Tech | Water, Environment, Infrastructure
401 South Washington Square, Suite 100 | Lansing, MI 48933 | www.tetrattech.com

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From: Jodie Tedesco <jtedesco@livingstonroads.org>
Sent: Tuesday, June 9, 2020 8:11 AM
To: Markstrom, Gary <Gary.Markstrom@tetrattech.com>
Cc: 'Mike Archinal' <Mike@genoa.org>
Subject: FW: Justification/Rejection for Item 2006 021; 47000-208958

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Hi Gary,

Please respond to the email below once you have confirmed if the Township approves or rejects the bid.

Parks and Rec - Fund 270

Approved 03/16/2020

Amended: 07/06/2020

GL NUMBER	DESCRIPTION	2016-17 ACTIVITY	2017-18 ACTIVITY	2018-19 ACTIVITY	2019-20 ORIGINAL BUDGET	2019-20 ACTIVITY Thru 03/06/2020	2019-20 AMENDED BUDGET	2020-21 APPROVED BUDGET	AMENDED 07/06/2020 APPROVED BUDGET
ESTIMATED REVENUES									
270-000-664-000	INTEREST	1,429	1,519	3,178	1,500	5,459	6,000	6,000	6,000
270-000-669-000	INCOME-OTHER		1,000			322	322		
270-000-680-000	RENTAL INCOME	11,450	12,000	8,000					
270-000-699-000	OPERATING TRANSFER IN #101	300,000	500,000		500,000	500,000	500,000	550,000	550,000
270-000-699-101	TRANSFER IN-GENERAL FUND			500,000					
TOTAL ESTIMATED REVENUES		312,879	514,519	511,178	501,500	505,781	506,322	556,000	556,000
APPROPRIATIONS									
270-241-801-000	ATTORNEY/ENGINEERING	32,690	240						
270-265-775-000	MAINTENANCE	61,556	100,461	76,767	100,000	78,652	100,000	100,000	100,000
270-330-694-002	RENTAL HOUSE EXPENSE				5,000				
270-330-695-002	MISC EXPENSE/AUDIT	1,291	529	285	500	250	500	500	500
270-330-696-002	GENOA TWP ATHLETIC FIELD				134,800			94,000	94,000
270-330-697-002	RECREATION BIKE PATH	408,373	2,415	186,597	220,000	264,342	265,000	134,800	243,000
270-330-698-002	FILMORE PARK			12,354	5,000		5,000		
270-330-701-000	HOWELL PARKS AND REC	103,225	103,806	100,806	107,500	103,669	107,500	107,500	107,500
270-536-972-100	LAND FOR RECREATION				200,000			350,000	350,000
TOTAL APPROPRIATIONS		607,135	207,451	376,809	772,800	446,913	478,000	786,800	895,000
NET OF REVENUES/APPROPRIATIONS - FUND 270		(294,256)	307,068	134,369	(271,300)	58,868	28,322	(230,800)	(339,000)
BEGINNING FUND BALANCE		793,045	498,789	805,857	940,225	940,225	940,225	968,547	968,547
ENDING FUND BALANCE		498,789	805,857	940,226	668,925	999,093	968,547	737,747	629,547

Board Correspondence

To Board 7/6/20

Polly

To: John McLaughlin
Subject: RE: Absentee ballots

John, We do have protections for our workers in regard to maintaining their safety as a result of Covid 19. Our local sheriff's office has been contacted should there be any difficulty with an unruly crowd. In my 34 years as clerk we received two minor incidents that were easily resolved. Our poll workers have been advised about how to exit the building and to safeguard of electorate. We are a rural community of 20,000 and I am hopeful that there will not be a problem. Thank you for your concern. Polly

Paulette Skolarus, Clerk



Genoa Charter Township
2911 Dorr Rd
Brighton, MI 48116
(810)227-5225

polly@genoa.org
www.genoa.org

From: John McLaughlin [<mailto:JMcLaughlin@cnmgt.org>]
Sent: Tuesday, June 23, 2020 12:04 PM
To: Polly
Subject: Absentee ballots
Importance: High

Hello Ms. Skolarus,

While I wouldn't dream of voting absentee, it occurs to me in this current climate of fear there will be many who opt for this way of exercising their constitutional rights; not for the fraud of Wuhan Virus, but because there will certainly be pre-positioned fascists & Marxists at the various voting stations ready to intimidate and generally spread mayhem where normally there would be people just going about their civic duties. I have received my paper ballot, and will not be using it.

Which brings me to my point; what steps is Genoa Twp taking, what protocols are you initiating to ensure that ALL registered voters can show up on voting day and do just that? What safety measures, NOT WUHAN, are you putting into place that will ensure that if bad actors show up to cause trouble, voters will have nothing to fear?

Thanks to advise soonest. The candidate I am working for has instructed us all to reach out to as many municipalities as possible to get this information. Some have posted their plans on their websites, but alas, most have not. Honestly? We are not certain that alerting the general public is a good idea. Depending on the hot zone you may be living in it may make more sense to just clearly announce that all voting stations will be guarded by the state troopers.

Thanks in advance for your speedy reply.

Warm regards,

John J McLaughlin

Director Sales

Competitive Network Management

P/F: (734) 301-3370

Direct: (313)251-9831

www.cnmgt.org



To Board 7/6/20

Polly

From: michelle@michigantownships.org
Sent: Tuesday, June 23, 2020 3:58 PM
To: Polly
Subject: *updated* MTA Action Alert - SB 431 - Local Preemption on Gravel Mining Operations



***updated* MTA Action Alert – Local Preemption on Gravel Mining Operations**

Prior to the COVID-19 pandemic, legislation was being considered to remove local oversight on the location and operation of sand and gravel mining.

The bill, Senate Bill 431, is now scheduled for a vote Wednesday by the Senate Transportation and Infrastructure Committee and **MTA needs your help**.

Senate Bill 431 would eliminate zoning and oversight authority from local governments for sand and gravel mining operations—regardless of where the operation is located or its impact to nearby residents, schools, businesses, or others.

The bill is an attack on a local government's ability to plan and zone for sand and gravel operations, and is in direct opposition to the principles of quality community planning.

Senate Bill 431:

- removes your township's authority to approve, deny or request changes to an application or special land use permit—regardless of zoned location (residential, industrial, agricultural, commercial)—creating a one-size-fits-all process
- eliminates your local oversight over mining operations
- removes the ability to regulate truck loading hours, blasting hours, noise levels (decibel level that exceeds EPA standards) and dust based on proximity of mining operation to residences/businesses
- eliminates any local approval of truck/haul routes
- prohibits reasonable requirements for setbacks and stockpiling—allowing stockpiles of 70 feet and the operation of crushing equipment 300 feet from a residence
- eliminates the ability for a township to conduct an annual review to address any problems
- reduces financial assurance reclamation to a level that is insufficient to cover costs to close mining operations and restore property—maximum of \$3,000—regardless of size of mining operation
- changes the process for a zoning decision challenged in court by eliminating the consideration of any prior judicial proceedings or review of the zoning ordinance / decision
- does not require applicant to demonstrate a need in the region for the material

While a substitute has been proposed, it does not provide any substantive change for local governments, it does not remove or alleviate our concerns—nor did the discussions involve any organization representing local government.

Several months ago, MTA provided a good-faith effort to address the issue raised repeatedly by the industry—establishing a time period in which applications must be acted upon. We proposed a **90-day period in which a local unit would review the application for completeness and an 18-month period** for applications going through the planning commission process. We have received no response on this good-faith effort.

The bill is now scheduled for a vote and would essentially allow the gravel mining operations with virtually zero oversight at any level of government—unfairly favoring the industry over residents and the environment. It places profit before people, requiring only that an applicant for mining operations prove the operation would be profitable and the extraction will not pose a risk that cannot be avoided to public health, safety or welfare.

Local governments are best equipped to balance the needs of their residents with the impact of mining operations in their communities. *Townships need to retain authority over mining operations in their townships. MTA needs your help to now.*

Please contact your state senator and urge their opposition to SB 431 today.

Michigan Townships Association - (517) 321-6467 - michigantownships.org

This e-mail was sent from Michigan Townships Association (michelle@michigantownships.org) to polly@genoa.org.



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Michigan Townships Association, PO Box 80078 Lansing MI 48908-0078, Phone Number:(517) 321-6467, Fax Number: (517) 321-8908, Email Address: rebecca@michigantownships.org Website : www.michigantownships.org

Cromaine District Library
Regular Board Meeting (Virtual Meeting)
Thursday, May 21, 2020

APPROVED

Trustees Present: Cafmeyer, DeRosier, Lewis, Naylor, Oemke, Sargent, Thompson

Staff Present: Mallorie DeVilbiss, Glenn Fischer, Pamela Holtz, Barbara Berlin

Public Present: None

I. President Lewis called the meeting to order at 7:00 p.m. via live streaming google conference call.

II. **Approval of agenda**

Trustee Thompson moved to approve the agenda, seconded by Trustee Oemke. Passed unanimously.

Agenda
Approval

III. **Approval of Consent Calendar**

Vice President DeRosier requested a change in the 3/19/20 minutes from this: "Vice President DeRosier commented that there would not be enough time to form a committee to run a campaign." to this: "Vice President DeRosier commented that there would not be enough time to form a Ballot Question Committee for a 2020 election", under Discussion Item VI C. Millage Renewal.

Trustee Oemke moved to approve the consent agenda as amended, seconded by Trustee Naylor. Passed unanimously.

Consent
Calendar
Approval

- A. Approval of minutes, 3/19/20
- B. Acknowledge receipt of the March and April Financial Report and payment of March (\$48,613.32) and April (\$20,620.45) invoices totaling \$69,233.77 and March (\$75,224.87) and April (\$109,639.44) payroll obligations totaling \$184,864.31.
- C. Director's Report
- D. Committee Reports
 - Community Relations May 4
 - Finance May 14
 - Personnel May 7
 - Planning May 14

IV. **Call to the Public – No Public**

Call to the
Public

V. **Director's Report Update – Update and Comments from the Community**

The Director's printed report was updated verbally with the following:

The Director introduced Pamela Holtz, new Community Relations Manager, who gave a brief bio and said she is thrilled to be working at Cromaine.

Director's
Update

Programming

- **Spring Family Challenge** - A total of 51 families participated, including at least 91 children and teens, and logged over 1,127 hours of reading.
- **Daily Video Challenges** - From March 26 - May 9, librarians from both adult and youth departments created and released over 30 videos which reached over 12,000 people via Facebook alone. These included craft challenges, storytimes, cooking videos, e-resource tutorials, sing-along videos, and more.

- **School Videos** - In lieu of annual classroom visits, the librarians have created grade specific videos to promote summer reading and give book recommendations. The first set of videos will be shared with the schools next week and a second round will go out June 1. They will also be available to the public via our YouTube Channel.
- **Weekly Teen Meetings** - 25 of our teen volunteers have been meeting virtually with Carolyn on a weekly basis to contribute ideas for teen and youth programming. Based on their feedback, we'll be launching a virtual Teen Book Club and virtual Teen Dungeons & Dragons Club in June. They have also contributed a wealth of ideas for passive family activities that will be included in this year's Summer Reading Challenge and creating online content for them, including a Virtual Talent Show, Pet Show & Tell, and Virtual Run Across America, to name a few.
- **Summer Reading Challenge** - Summer reading will run from June 1 to August 6. Families with Pre-K children can download an early literacy summer activities sheet from our website, students in grades K-12 can create an online reading log to track the number of minutes read, and adults can log books.

Staff training

- We had 10 staff members from across departments complete the Stewards of Children child abuse prevention training with LACASA.
- We are also investigating offering trainings on Substance Abuse Prevention and Elder Abuse Prevention in partnership with Livingston Catholic Charities.

Music Hall

- Barring any orders that restrict them from doing so, the Hartland Players plan to begin production of their next play on June 5 and to continue with their bootcamps already scheduled for July.
- There is a dance recital scheduled for Saturday & Sunday, June 20 & 21.
- There is a Hartland Chamber meet and greet scheduled for Friday, June 26 at 7:30am.
- There is a rehearsal and wedding on June 26 & 27.
- We have not heard when the church plans to resume using the Hall.

Community Partnerships

- The Livingston Libraries have partnered to provide 400 craft activity packs to children and families receiving free lunches over the summer as part of the Salvation Army Summer Lunch Bunch
- The Library Director will be presenting to Hartland Rotary on May 28th regarding the summer plans for library programs.
- The Library has been invited to do a virtual presentation for the chamber in early June. The topic and date have not yet been confirmed.
- The Library was approached by the League of Women Voters, a non-partisan non-profit group, to co-host their fall candidate town hall in a virtual setting. This is a great opportunity for us to further our goals of connecting and educating our community while also getting our name out there to those that may not be familiar with the library.

Scholarship winners

- The Post-secondary Education Support \$500 Scholarship Award winner is Katie Klaver. She plans to attend Saginaw Valley State University in the fall to pursue a degree in Mechanical Engineering. This award is designed to recognize a graduating senior at Hartland Consolidated Schools who plans to pursue a post-secondary education of any type, has a Cromaine Library Card in good standing, and a 3.0 or higher GPA.
- Alyssa Shelton is the winner of The Jeanne Smith Teen Library Volunteer \$500 Scholarship Award. Alyssa plans to attend Kettering University to pursue a degree in Mechanical Engineering. This scholarship is designed to recognize a graduating senior who has volunteered at Cromaine over at least three sessions with 10 hours or more per session.

Comments and questions from the trustees and community:

Treasurer Sargent asked about the “soft opening” of the book drop. The Director explained that it is not advertised as open yet, but Donna Janke, Circulation Manager is checking it daily. He also asked if the plexiglass shields are up yet. The Director indicated that they have been ordered but not yet received. We should have them in about two weeks.

Overall the Trustees are very pleased with the amount of content that has been prepared and streamed on our Facebook page and youtube channel. Trustee Oemke has shared these with her daughter and granddaughter in Germany so we are world famous.

VI. Discussion

A. Strategic Plan 2018-2022 Report of Progress

All Trustees gave “kudos” to the staff for stepping up during this challenging time.

Strategic Plan
2018-2022
Report of
Progress

B. FY2020-2021 Budgets Presented for Review and Questions

Many of the Trustees have questions about the budgets under review, too numerous to be answered tonight. President Lewis is calling for an in-person Board Workshop for discussions on the budgets without any decision being made. She suggested sometime after June 1 when the stay home order has been lifted but before the June Board meeting/Public Budget Hearing when budgets will be voted on. The rest of the Board concurred.

FY2020-2021
Budget Review

C. Calling a FY 2020-2021 Operating Fund Budget Hearing for June Meeting

President Lewis would like to see the proposed millage rate (1.47 mills) be included in the published notice calling the public budget hearing in June.

The Director said that our district is seeing higher taxable values which should translate into more revenue even though our millage rate is calculated in conjunction with the Headlee Amendment which lowers our rate each year. She will send out a Headlee primer to the Board.

Calling a
Budget
Hearing for
June

D. Employee Pay

Employee Pay

There was discussion and discourse among Trustees regarding this subject. They agreed the Director is in charge of staff, but the Board is in charge of the budget. Essential vs. non-essential staff: a few members were not comfortable talking about this at this meeting as it took them by surprise. Perhaps a discussion during the budget workshop. The Director is against laying off or furloughing any employees at this time. They have all been working during these last two months. If the stay at home order ends on May 28, this will be a moot point. If it is extended, the Board will discuss further.

E. Community Relations Policy Review

Community Relations Policy Review

- 3010 – Collection Development
- 4010 – Public Relations and Public Information
- 4020 – Library Meeting Room Use
- 4030 – Non-Library Postings, Displays and Solicitations
- 4040 – Library Blogs and Social Media Site Guidelines

Changes to Policies 4020 and 4040 were explained.

VII. Decision

A. Resolution 2020-3, Calling a Public Hearing on the Proposed FY 2020-2021 Operating Budget of the CDL

Resolution 2020-3

Trustee Oemke moved to approve Resolution 2020-3, Calling a Public Hearing on the Proposed FY 2020-2021 Operating Budget of the CDL, seconded by Treasurer Sargent. A roll call vote was taken for approval of the resolution.
Ayes: Cafmeyer, DeRosier, Lewis, Naylor, Oemke, Sargent, Thompson
Nays: None

Passed Unanimously.

B. Resolution 2020-4, Revising Policy 4020, Library Meeting Room Use

Vice President DeRosier moved to approve Resolution 2020-4, Revising Policy 4020, Library Meeting Room Use, seconded by Secretary Cafmeyer. A roll call vote was taken for approval of the resolution.

Ayes: Cafmeyer, DeRosier, Lewis, Naylor, Oemke, Sargent, Thompson

Nays: None

Passed Unanimously.

Resolution 2020-4

C. Resolution 2020-5, Revising Policy 4040, Library Blogs and Social Media Sites Guidelines

Trustee Naylor moved to approve Resolution 2020-5, Revising Policy 4040, Library Blogs and Social Media Sites Guidelines, seconded by Vice President DeRosier. A roll call vote was taken for approval of the resolution.

Ayes: Cafmeyer, DeRosier, Lewis, Naylor, Oemke, Sargent, Thompson

Nays: None

Passed Unanimously.

Resolution 2020-5

VIII. Information

Upcoming meeting dates include:

June 2	Community Relations Committee, 10:00 am
June 4	Personnel Committee, 6:30 pm, policies 8008, 8009, 8011
June 11	Finance Committee, 2:00 pm
June 11	Planning Committee, 3:30 pm
June 18	Board of Trustees meeting, 7 pm, Community Room.

Upcoming Meeting Dates

June 10 - Tentative budget workshop meeting, 6:30

June 24 - Partners in Progress

IX. Agenda Items for May Meeting

Agenda Items for Next Meeting

- A. June Public Budget Hearing Preceding the Meeting
- B. Strategic Plan 2018-2022
- C. Resolutions for adopting new budgets/amending still-current budgets
- D. Personnel Committee Policy Review
 - 8008
 - 8009
 - 8011

X. Call to the Public

Public Call

Stefanie Furge said, "Thank you to the board for your continued support! I want to personally welcome Pam to our team and let you all know how excited we are in Community Relations to have a leader at our helm. I'm confident we'll have some great things to come for our community."

- XI. Motion by Trustee Thompson, seconded by Secretary Cafmeyer to adjourn at 8:08pm.

Adjournment

MARY CAFMEYER, SECRETARY

BARABARA RENTOLA, RECORDING SECRETARY
Cromaine District Library Board

Documents distributed to the Board for/at this meeting:

- 3/19/2020 Proposed Minutes
- March & April 2020 Financial Reports & Checks Issued Totals
- March & April 2020 CDL Investment Performance Report
- Director's Report 4/21/2020
- Comments from the Community April 2020
- Community Relations Committee Minutes, 5/4/2020 w/revised copies of policies 4020 & 4040 attached

May 21, 2020

- Finance Committee Action/Decision List, 5/14/2020
- Personnel Committee Minutes, 5/7/2020
- Planning Committee Minutes, 5/14/2020
- Draft FY2020-2021 Operating, Improvement & Gift Budgets
- Draft FY2020-2021 Line item Operating, Improvement & Gift Budgets
- Resolution 2020-3, Calling a Public Hearing on the Proposed FY 2020-2021 Operating Budget of the CDL
- Resolution 2020-4, Revising Policy 4020, Library Meeting Room Use
- Resolution 2020-5, Revising Policy 4040, Library Blogs and Social Media Sites Guidelines
- Preliminary Audit Letter

Trustees Present: Mary Cafmeyer, Kate DeRosier, Nancy Lewis, Holly Naylor, Kathleen Oemke, Doug Sargent, Don Thompson

Staff Present: Mallorie DeVilbiss, Barbara Berlin, Meagan Brown, Maeve Devlin, Heather Draft, Glenn Fischer, Stefanie Furge, Pam Holtz, Marta Jackson, Donna Janke, Grace Kelch, Darlene Randolph, Liesl Schick, Winnie Trip, Damon Zuidema

Public Present: Jennie Ross

I. President Lewis called the meeting to order at 2:06 p.m. in the Youth Program Room of the Cromaine Village Library.

II. **Approval of agenda**

Trustee Thompson moved to approve the agenda, seconded by Trustee Oemke. Passed unanimously.

Agenda
Approval

III. **Discussion**

A. FY2020-2021 Budgets Presented for Review and Questions

The budget was gone over line by line.

FY 2020-2021
Budget Review

The Board is here to provide the best that we can offer for the public and give them what they need moving forward. They trust us to use their tax dollars wisely. We are being proactive in the present but having a good balance with security and longevity for the future with our investments. This budget provides things that the public has asked for, to make their experience here a more comfortable/accessible one, with up to date technology, a place they can be proud of.

President Lewis brought up several items she was not in total agreement with. After a discussion about specific funds set aside in the gift fund, the Director was charged with creating a plan to present to the Board regarding mobile outreach opportunities using gift dollars set aside for that purpose. The public trusts us to put their gift donations to good use.

The budget stands as presented for the public budget hearing on June 18, 2020 and adoption following.

Vice President DeRosier planted the seed of an idea that Board committees be eliminated with the exception of the Personnel committee and that the Board acts as a committee of the whole. Each issue would be discussed at the entire Board meeting and each Trustee would then have all the information needed to make an informed decision. Discussion ensued. The issue was tabled to a future meeting.

V. **Call to the Public**

Marta Jackson: "Thank you for your analysis and support."
Damon Zuidema also thanked the Board for their work during this budget meeting.

Public Call

VI. Motion by Trustee Secretary Cafmeyer, seconded by Vice President DeRosier to adjourn at 3:10 pm.

Adjournment

MARY CAFMEYER, SECRETARY

BARABARA BERLIN, RECORDING SECRETARY
Cromaine District Library Board

Documents distributed to the Board for/at this meeting:

- Draft FY2020-2021 Operating, Improvement & Gift Budgets
- Draft FY2020-2021 Line item Operating, Improvement & Gift Budgets
- Budget questions from President Lewis to Director DeVilbiss with responses

Polly

From: John McLaughlin <JMcLaughlin@cnmgt.org>
Sent: Wednesday, June 24, 2020 5:41 PM
To: Polly
Subject: RE: Absentee ballots

Polly,

I thank you for the response, sincerely. My opinion, such as it is, would only vary insofar as I am deeply troubled by the ginned up scare mongering of the COVID crowd.

Not that you have any time or interest, but in the last week or so a rather substantial study was released from the UK that received almost ZERO media attention. You can guess the reason; they have proven demonstrably that COVID 19 is just like the common flu in the level of danger it presents to society. We have been flimflammed.

Again, thanks.

John

From: Polly <pskolarus@genoa.org>
Sent: Wednesday, June 24, 2020 10:01 AM
To: John McLaughlin <JMcLaughlin@cnmgt.org>
Subject: RE: Absentee ballots

John, We do have protections for our workers in regard to maintaining their safety as a result of Covid 19. Our local sheriff's office has been contacted should there be any difficulty with an unruly crowd. In my 34 years as clerk we received two minor incidents that were easily resolved. Our poll workers have been advised about how to exit the building and to safeguard of electorate. We are a rural community of 20,000 and I am hopeful that there will not be a problem. Thank you for your concern. Polly

Paulette Skolarus, Clerk



Genoa Charter Township
2911 Dorr Rd
Brighton, MI 48116
(810)227-5225

polly@genoa.org
www.genoa.org

From: John McLaughlin [<mailto:JMcLaughlin@cnmgt.org>]
Sent: Tuesday, June 23, 2020 12:04 PM
To: Polly

Subject: Absentee ballots

Importance: High

Hello Ms. Skolarus,

While I wouldn't dream of voting absentee, it occurs to me in this current climate of fear there will be many who opt for this way of exercising their constitutional rights; not for the fraud of Wuhan Virus, but because there will certainly be pre-positioned fascists & Marxists at the various voting stations ready to intimidate and generally spread mayhem where normally there would be people just going about their civic duties. I have received my paper ballot, and will not be using it.

Which brings me to my point; what steps is Genoa Twp taking, what protocols are you initiating to ensure that ALL registered voters can show up on voting day and do just that? What safety measures, NOT WUHAN, are you putting into place that will ensure that if bad actors show up to cause trouble, voters will have nothing to fear?

Thanks to advise soonest. The candidate I am working for has instructed us all to reach out to as many municipalities as possible to get this information. Some have posted their plans on their websites, but alas, most have not. Honestly? We are not certain that alerting the general public is a good idea. Depending on the hot zone you may be living in it may make more sense to just clearly announce that all voting stations will be guarded by the state troopers.

Thanks in advance for your speedy reply.

Warm regards,

John J McLaughlin

Director Sales

Competitive Network Management

P/F: (734) 301-3370

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