

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
JULY 8, 2019
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OLD BUSINESS:

OPEN PUBLIC HEARING #1... Review of an environmental impact assessment and a site plan for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. The request is petitioned by Enterprise Leasing Company.

- A. Recommendation of Environmental Impact Assessment (3-26-19)
- B. Disposition of Site Plan (7-2-19)

NEW BUSINESS:

OPEN PUBLIC HEARING #2... Review of a special use, site plan and environmental impact assessment for outdoor sales, storage and display for Home Depot. The property in question is located at 3330 E. Grand River, Howell. The request is petitioned by Scott A. Mommer.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment. (6-12-19)
- C. Recommendation of Site Plan. (6-10-19)

OPEN PUBLIC HEARING #3... Review of a special use, site plan and environmental impact assessment for outdoor sales, storage and display for Lowe's. The property in question is located at 1100 S. Latson Road, Howell. The request is petitioned by Lowe's Home Centers, LLC.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (6-18-19)
- C. Recommendation of Site Plan. (6-18-19)

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Approval of June 24, 2019 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP

APR - 3 2019

RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Enterprise Leasing Company of Detroit LLC, 29301 Grand River Ave, Farmington Hills, MI 48336
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Scott Matthew Underwood, 2588 E Jones Rd Howell MI 48855

SITE ADDRESS: 7184 Grand River Ave, Brighton MI 48114 **PARCEL #(s):** _____

APPLICANT PHONE: (517) 202-8238 **OWNER PHONE:** (810) 923-4500

OWNER EMAIL: scott.j.inman@ehi.com

LOCATION AND BRIEF DESCRIPTION OF SITE: 7184 Grand River Ave, Brighton MI 48114. We currently operate
an Enterprise Rent A Car on-site. The site contains a single story building with an attached garage for vehicle preparation.

There is a paved parking area located off of Grand River. There is a graveled lot in the rear where the dumpster pad is located inside
an enclosure. I have attached a site plan for more details.

BRIEF STATEMENT OF PROPOSED USE: There is no use change. We would like to expand an existing garage by
roughly 376 sq ft. This would allow us to vacuum and wipe down two vehicles at the same time. This would create efficiencies in our
operation and allow us to more quickly service the communities car rental needs. We would continue to operate Enterprise Rent
A Car on site. Secondly, and not contingent on the wash bay addition, we would like to asphalt the existing gravel surface.

THE FOLLOWING BUILDINGS ARE PROPOSED: We are proposing to add roughly an additional 376 sq ft to
to the existing garage. I have attached a building diagram for reference.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Scott Inman

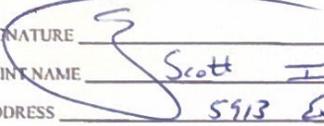
ADDRESS: 5913 Executive Dr. 300 Lansing MI 48911

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott Inman of Enterprise Holdings, Inc. at scott.j.inman@ehi.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE  DATE 4-22-19
PRINT NAME Scott Inman PHONE (517) 202-8238
ADDRESS 5913 Executive Dr Suite 300, Lucy MI 48511

3. The discharge of the detention pond shall be addressed and approved by the Township Engineer.
4. The requirements of the Fire Department shall be complied with.
5. The corrections to the building and landscaping as requested by the Township planner shall be made.
6. All conditions of the Township Engineer and Township Planner in their respective review letters shall be addressed.
7. Construction plan review and necessary utility easements shall be required.
8. The building materials submitted this evening are acceptable and will become property of the Township.

Supported by Commissioner Rauch.

Motion carried unanimously.

OPEN PUBLIC HEARING #2... Review of an environmental impact assessment and a site plan for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. The request is petitioned by Enterprise Leasing Company.

Scott Inman with Enterprise and Andre Brooks the designer were present. Mr. Inman states that they are looking to expand their current car wash facility. They have a single bay and would like to have 2 wash bays to be more efficient and better serve their customers. They are proposing to come off 8 feet to the south with a building addition. They are also asking as an extra request to be able to pave the existing gravel parking lot. They initially were only going to ask for the building addition but decided to add the parking area since they were already going through the process. This request is to improve customer service.

Chairman Brown asked if the customer parking is currently in the back. Mr. Inman responded that it is.

Brian Borden presents his review letter dated June 4, 2019. Procedurally the Planning Commission recommends the impact assessment and approves the site plan. There are minor inconsistencies on the building addition size that need to be corrected in addition to lot area calculations that need to be provided. Mr. Brooks indicates that he provided a response letter to Mrs. VanMarter to address these issues. The new lot coverage amount is 54% impervious.

Mr. Borden indicates that the proposed building materials are not to current ordinance standards but they Planning Commission has discretion to allow them to match the existing building. The drive aisle is 20 feet and the ordinance standard is 24 feet. The applicant shall indicate compliance with the aisle width standard. Mr. Brooks responds that the dimensioning plan shows that it is the required 24 feet.

Mr. Borden states that they should make the small correction to the parking numbers and also he is suggesting consideration of eliminating non-conformities if possible. Non-conforming issues such as lighting or signs can be considered. Mr. Inman responds that they have upgraded to LED light fixtures and he has pictures if they are needed.

Mr. Borden suggests one additional Grand River greenbelt tree be planted to meet the ordinance requirement. In addition, more information is needed to confirm compliance with the waste receptacle standards. Mr. Brooks stated that sheet C-3 contains the waste receptacle standards. Mr. Borden reviews the details and approves.

Chairman Brown requested that the truck cap in the weeds on the east side and the dishwasher in the weeds on the west side be cleaned up. Mr. Inman agreed to have them cleaned up.

Gary Markstrom reviewed his letter dated June 4, 2019. A cross section of the parking lot needs to be provided to comply with Zoning Ordinance requirements. The dumpster is located in the back-out area of the last 2 parking spots. The dumpster should be moved or these parking spaces eliminated. Mr. Brooks indicated they will remove the last 2 spaces. Mr. Markstrom has considerable drainage and grading concerns. The design of the plans will overflow the basin to the swale and the basin will not drain totally. There are no soil borings to show the basin will infiltrate. Mr. Brooks states they have designed this to a 100 year storm. The basin will dewater by gravity and infiltration and it will push to the swale. Commissioner Rickard states this is not a good plan and it does not handle the water properly. Mr. Brooks states that usually you drain the restricted overflow to a storm sewer but there isn't that option here. Mr. Markstrom needs to have soil borings to show infiltration. The 12 inch pipe will not function as shown and the pond will overflow at every storm. Mr. Brooks states they can provide borings and there is 150 feet of the perforated pipe to help with the infiltration. Commissioner Rauch is concerned with a water backup onto the daycare property creating a trespass issue. Mr. Markstrom requests that they show the grading out of the west side of the building to show the swale and they need to show where the water is going since the plans show the catch basin on the daycare property and not in the road right of way. Chairman Brown asked how long it will take to get soil borings. Mr. Brooks states it would take 2 – 3 weeks.

Commissioner Rauch inquired if the main priority was the building expansion and not the parking was there a way to approve just the building addition. Mr. Inman agreed that the building addition for the additional wash bay was the most important item. Mr. Markstrom stated he wouldn't have too much to review if it was just the building addition since the area is already paved.

Mr. Brooks asked to talk about the drainage. For the 100 year storm this plan will function the same as it does now. This is the same condition. Commissioner Rauch explained that this more than a Township issue. The plans have to meet the requirements of the Livingston County Drain Commissioner. The Township review is for compliance with the County standards. You cannot get a permit from them for the plans as shown. Mr. Markstrom stated he is unable to issue an approval letter for the plans in their current form. Mr. Brooks states that he has talked to the County and they comply with their rules.

Commissioner Rauch asked Mr. Borden if there was a way to just approve a portion of the plans to allow the building addition. Mr. Borden responded that it would be difficult to pick and choose because there are other elements on the plans like the dumpster and landscaping. It would be best to break out the things they needed with the building and present updated plans. Ms. VanMarter indicated that there is limited availability for the next meeting scheduled for July 8 because the consultants need time to review. Mr. Borden and Mr. Markstrom indicated they would need updated plans by this Wednesday to try and comment back in time for the next meeting. Ms. VanMarter stated she would do her best to work with the applicant to get them on the next meeting but they would have to get revised plans in within the next day or two.

Mr. Brooks states that the parking calculations were fixed in response to the Safebuilt letter item number 6. He also wanted clarification if the existing shrubs could be counted as credit towards the landscaping as indicated in the first review letter. Mr. Borden responded that they have to show the shrubs on the landscape plan if they want them to be included. Mr. Brooks asked if they could approve the project contingent on the stormwater issues being resolved with the engineer. Mr. Markstrom stated that poor infiltration soils could change the whole layout of the site plan so the approval should not be granted.

The call to the public was made at 8:00pm with no response.

- A. Recommendation of Environmental Impact Assessment (3-26-19)
- B. Disposition of Site Plan (5-22-19)

At the request of the petitioner, it was **Moved** by Commissioner Rauch to postpone the recommendation of the environmental impact assessment and disposition of the site plan to the July 8, 2019 Planning Commission meeting for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. Supported by Commissioner Grajek.

Motion carried unanimously.

OPEN PUBLIC HEARING #3...Review of a site plan amendment for material modifications to the existing Courtyard Marriott located at 7799 Conference Center Drive, Brighton. The request is petitioned by Robert Nofar, and Paul Krysinski, Axis Construction.

Paul Krysinski with Axis Construction and Robert Nofar the owner were present. This is a corporate mandated improvement to the building façade. The design is from Marriott Courtyard and includes a new porte cochere along with updated building materials. They have provided pictures of similar treatments on a different location. They are maintaining at least 80% of the existing masonry and adding Nichiha wooden fiber board panels with EFIS accents along with LED lighting.

Brian Borden reviewed his letter dated June 21, 2019. The porte cochere is only 19 feet wide and must be used for one-way circulation only. Mr. Krysinski confirmed that the porte cochere is only one-way. Mr. Borden states that the proposed lighting in the porte cochere shall comply with the Township ordinance. Mr. Krysinski responded that the lighting is concealed within the canopy and will be below the 10 foot-candle maximum established in the ordinance.

Mr. Borden stated that the plans show 3 wall signs while the property received a variance which allows them to have 2 wall signs with a combined maximum size of 150 square feet. Mr. Nofar asked for a variance to allow the 3 signs. Mr. Borden responded that an application to the Zoning Board of Appeals would be required.

Mr. Borden indicated that the proposed Nichiha panels and EFIS may be over the maximum 25% established in the ordinance. Commissioner Rauch stated that the commission recently approved something similar for Aldi and he supports the proposed finishes. The Nichiha is a very good product. Mr. Borden is concerned that any EFIS at grade level may be susceptible to damage where it comes into contact with pedestrians or vehicles. Mr. Krysinski responded that the EFIS is only proposed low on the building in areas adjacent to landscape areas. Only the Nichiha is proposed where it may be adjacent to people or cars.

Chairman Brown reviews the Fire Department letter. The porte cochere must have 13.5 feet of vertical clearance.

The call to the public was held at 8:24pm with no response.

- A. Disposition of Site Plan Amendment.

From: Kelly VanMarter
To: ["Andre Brooks"](#)
Cc: [Inman, Scott J](#); [Amy Ruthig](#); [Ryan Rudolph](#)
Subject: RE: Next Steps
Date: Tuesday, June 25, 2019 5:05:00 PM

Gary agreed to review it. Please submit the revised plans by pdf tomorrow and hard copies no later than Thursday to maintain your place on the July agenda.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

From: Andre Brooks [<mailto:andreb9609@gmail.com>]
Sent: Tuesday, June 25, 2019 4:18 PM
To: Kelly VanMarter
Cc: Inman, Scott J; Amy Ruthig; Ryan Rudolph
Subject: Re: Next Steps

Kelly,

We want to include both the building and site improvements in the July meeting. We have redesigned the outflow pipe from the storage facility where it now flows by gravity and it discharges into the swale on our site then it follows the existing grades at the north end of the site and flows into the existing catch basin adjacent to Grand River. This is one of the options that was recommended by Gary Markstrom the Commission Engineer after the meeting last night. We have removed the perforated pipe and the need for infiltration, thus removing the flooding concern. All existing flow from our site currently enters this catch basin because the entire site slopes toward Grand River and is collected in this catch basin. I did call the County to see if they obtained an easement for the catch basin but I have not heard back from them as of yet. Flow from the County, the daycare and our site is collected in this catch basin. We will not be performing any construction activities on the property of the daycare, all work will be done on our property.

This option will assist us in getting both the addition and the site improvements considered at the next meeting. We will deliver the requested items before 4 pm tomorrow as requested. Please let us know if this is acceptable.

Thanks,

Andre

On Tue, Jun 25, 2019 at 1:58 PM Inman, Scott J <Scott.J.Inman@ehi.com> wrote:

Andre,

I'll handle 1 and 2. Could you get me #3.

Thanks

Get [Outlook for iOS](#)

From: Kelly VanMarter <Kelly@genoa.org>

Sent: Tuesday, June 25, 2019 1:39 PM

To: Inman, Scott J

Cc: Andre Brooks; Amy Ruthig

Subject: RE: Next Steps

Pdf's work but I will also need the hard copies. You can send the pdf's as soon as they are done and then bring in the hard copies.

From: Inman, Scott J [mailto:Scott.J.Inman@ehi.com]

Sent: Tuesday, June 25, 2019 1:22 PM

To: Kelly VanMarter

Cc: Andre Brooks

Subject: RE: Next Steps

Kelly,

Do we need to deliver 4 printed copies of the plan and IA? I thought PDF's would work?

Thanks

From: Kelly VanMarter <Kelly@genoa.org>

Sent: Tuesday, June 25, 2019 12:30 PM

To: Inman, Scott J <Scott.J.Inman@ehi.com>; Andre Brooks <andreb9609@gmail.com>

Cc: Amy Ruthig <amy@genoa.org>

Subject: Next Steps

In response to your project being postponed at last night's meeting I offer the following to remain on schedule for the next meeting:

1. Your request is scheduled to go before the Planning Commission at their next meeting scheduled for Monday, July 8th. The meeting begins at 6:30 p.m. and your attendance is required.
2. Find related minutes from the Planning Commission meeting where you were present as a petitioner attached.
3. The direction was to remove the paving from the project thus eliminating the need for the stormwater system.

TO REMAIN ON SCHEDULE FOR THIS MEETING, WE MUST RECEIVE

REVISED DOCUMENTS AS SPECIFIED BELOW NO LATER THAN
TOMORROW, WEDNESDAY, JUNE 26TH AT 4:00PM.

1. **Correspondence Letter:** Indicating changes made to the submittal.
2. **Revised Environmental Impact Assessment:** One PDF and four printed copies. The scope of the revisions should eliminate all references to the paved parking and related grading and stormwater system improvements.
3. **Revised Site Plans:** One reduced file size PDF and four printed copies. The scope of the revisions should eliminate all references to the paved parking and related grading and stormwater system improvements.

Please notify us immediately if you cannot comply with this submittal deadline. Feel free to contact us if you have any questions or concerns. Please also confirm that this email transmittal was received.

Kelly VanMarter, AICP
Assistant Township Manager/Community Development Director

Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 588-6900, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: kelly@genoa.org, Url: www.genoa.org

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Andre' Brooks, PE
President
ABE Associates, Inc.
Office: 313.961.5170 X-101
Fax: 800.449.8045
Mobile: 313.475.2549
DBE - SBE - MBE Certified

2012 Civil Engineer of the Year



July 1, 2019

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Enterprise Rental Car – Site Plan Review #3
Location:	7184 Grand River Avenue – south side of Grand River, east of Hubert Road
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan submittal for a building expansion at the Enterprise Rental Car site (plans most recently dated 6/25/19).

A. Summary

1. The Commission may allow building materials that do not comply with Section 12.01 (too much vinyl siding) since they will match the existing building.
2. The parking calculations on Sheet C2.0 need to be corrected and 2 additional barrier-free parking spaces are required.
3. We request the applicant provide specification sheets for the proposed light fixtures.
4. The landscape plan is deficient in buffer zone and detention pond plantings.

B. Proposal/Process

The applicant proposes a 358 square foot addition to the existing building. The site plan review application notes that the expansion is for a garage space used to clean vehicles – the current operation can only accommodate 1 vehicle at a time and the expansion would allow for a second.

The project also includes paving of the rear gravel parking/vehicle storage lot, a new waste receptacle, additional landscaping, and a detention pond at the rear of the site.

Automobile rental facilities are listed as special land uses in the GCD. In accordance with Section 19.16, existing special land uses may be expanded by up to 25% without the need for special land use review.

As such, the project requires only site plan review/approval by the Planning Commission.

C. Site Plan Review

1. **Dimensional Requirements.** As shown in the table below, the existing site and proposed improvements have been reviewed for compliance with the dimensional requirements of the GCD:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height (feet)
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
GCD	1	150	70	15	50	20 front 10 side/rear	35% building 75% impervious	35
Proposed	1.24	100	167	9 (W) 55 (E)	268	63 front 10 sides 100+ rear	4% building 54% impervious	13.5



Aerial view of site and surroundings (looking south)

- 2. Building Materials and Design.** The building elevation drawings note the use of vinyl siding matching the existing building.

While the amount of vinyl siding exceeds the limits established by Section 12.01, the Ordinance allows the Commission to modify these requirements for expansion of existing buildings where the proposed design and materials match (Section 12.01.08b).

- 3. Parking.** The Ordinance does not include a parking standard specific to automobile rentals. The closest fit is that of automobile sales, which requires 1 space for each 200 square feet of gross leasable area, plus 3 spaces for each service bay.

The revised plans include parking calculations noting the need for 11 spaces and indicating that 48 are provided. However, the plan depicts a total of 54 spaces. The calculations should be corrected accordingly.

Additionally, given the total amount of parking proposed, 3 barrier-free spaces are required, though only 1 is provided.

The amount of parking provided is excessive based on Section 14.02; however, this is an existing condition that is not changing – the area is simply being paved, which will improve the overall condition of the site.

- 4. Exterior Lighting.** During the June 24, 2019 Planning Commission meeting, the applicant stated that existing light pole fixtures would be swapped out for new LED fixtures. We request the applicant provide specification sheets for the proposed light fixtures.

5. Landscaping. The revised landscape plan (Sheet C4.0) has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:

Standard	Required	Proposed	Comments
Greenbelt	20' width 3 canopy trees	55' width 2 existing trees 1 proposed tree	In compliance
Parking lot	6 canopy trees 560 SF landscaped area	6 trees 640 SF landscaped area	In compliance
Buffer zone "B" (south)	20' width 3 canopy trees 3 evergreen trees 12 shrubs 6' wall or 3' berm	20+' width 4 canopy trees	Deficient by 2 trees and 12 shrubs, as well as a wall or berm
Detention pond	5 trees 50 shrubs	1 tree 50 shrubs	Deficient by 4 trees

6. Waste Receptacle and Enclosure. The plan proposes a new waste receptacle in the rear yard. The location, enclosure and concrete base pad comply with the requirements Section 12.04. The revised plans also provide for better vehicular access to/from and around the proposed waste receptacle area.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,
SAFEBUILT STUDIO


 Brian V. Borden, AICP
 Planning Manager



Note - the plans contained within this packet were submitted in response to these comments.

July 2, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Enterprise Addition Site Plan Review No. 3

Dear Ms. Van Marter:

Tetra Tech has conducted a third site plan review of the Enterprise Rental Car Garage Expansion plans last dated June 25, 2019. The plans were submitted by ABE Associates, Inc. on behalf of Enterprise Leasing Company of Detroit LLC. The property includes 1.25 acres located at 7184 West Grand River Avenue with an existing 1425-square-foot building. The petitioner is proposing a 396-square-foot garage addition and parking lot improvements. We offer the following comments:

GENERAL

1. The “Basin Outlet Pipe” notes should be revised by removing the word “perforated” and changing the “PVC SDR 23.5” to “PVC SDR 23.3” to reflect what is shown on the plans. The note should also refer to the “Drain Commissioner” not the “Drain Commission”.
2. The “Perforated Standpipe Riser Outlet” notes should be revised by removing “Perforated” from the title and replacing the “perforated” in the notes with “CMP”. The note should also refer to the “Drain Commissioner” not the “Drain Commission” and the hole should be at an elevation of 986.10.
3. The “Heavy Asphalt Paving Detail” and “Asphalt Pavement Detail” do not provide enough information on the materials being used and have inconsistent annotations. The Petitioner should use the standard details that are provided in the Genoa Township Engineering Standards on the plans. The Petitioner should also use the Genoa Township Standard detail for their curb detail. It is unclear why the heavy asphalt paving detail is used. The petitioner should note on the plans which locations each asphalt detail will be used.
4. The dumpster enclosure detail shows a 10-foot by 12-foot concrete pad in front of the dumpster. This should be shown on the plans.

DRAINAGE AND GRADING

1. Approval from the adjacent properties for discharging into the private drainage system should be obtained prior to site plan approval. Written approval should be provided to the township.
2. The proposed grading limits should be shown on the plans.

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com

3. The Petitioner should include pipe inverts of the proposed 6-inch storm sewer at each cleanout and at the outlet on the northwest corner of the property. A cleanout should be added at the first bend in the pipe after R.O. 1.
4. The Petitioner should include inverts of the two existing sanitary sewer cleanouts where the proposed 6-inch storm sewer crosses to provide more detail on the utility crossing.
5. It is unclear what the embankment detail is being used for and for which area the embankment will be utilized. Once the storm pipe does not have adequate coverage the pipe should daylight with a flared end and the stormwater can be directed to the existing storm structure using a swale.
6. Riprap is required at outlet structures for proper energy dissipation and this should be shown on the site plan. This will be required at the end of the 6-inch pipe.
7. The "140' – 6" pipe" note is pointing to the wrong length of pipe. R.O.1 to the first cleanout and the first cleanout to the second cleanout are correctly labeled as 39 feet and 101 feet, respectively. The second cleanout to the third cleanout should be labelled as 140 feet, and the third cleanout to the end should also be labelled with its length.
8. The petitioner should provide a detail for the proposed forebays to the storage facility.
9. A detail of the proposed riser pipe shall be included on the plans.
10. The "Drainage Area Map" on sheet C3.0 needs to be updated to show the new storm drainage plan. It currently shows the storm sewer configuration from an earlier submittal with the proposed perforated pipe.
11. The perforated pipe note on C4.0 should be removed.

STORM SEWER CALCULATIONS

1. Forebay volumes are included on the plans with a total volume provided of 4000 cubic feet. The plans should include more detail on the limits of the forebay and the calculations used to determine their volume, as these volumes do not seem to be correct according to the grading depicted on the plans.
2. The storage calculations use a compound runoff coefficient of 0.53. The calculations used to determine this value should be included on the plans.
3. The detention storage volume calculations that are shown on the plans should start at the elevation of the outlet pipe (986.1)

We recommend the petitioner address the above comments prior to or as a condition of site plan approval.

Please call or email if you have any questions.

Sincerely,


Gary J. Markstrom, P.E.
Vice President


Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 3, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Enterprise Rental Car
7184 Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on May 23, 2019, and previously on April 10, 2019. The drawings are dated November 15, 2018. The project is based on an existing Type II-B, 1,898 square foot Business-use with outside vehicle storage. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

The size of the alteration and scope of work does not warrant a full fire code application to the project as it does not increase the hazard. The site will remain as an existing non-conforming site in regards to fire code for access and water supply.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig - Genoa Twp.

APR - 3 2019

RECEIVED

Environmental Impact Statement

to support

Application for Site Plan Review

Project: An approximately 396 sq foot addition to the existing wash bay. Secondary request to asphalt existing gravel lot.

submitted to

Genoa Township Planning Commission

by

Enterprise Rent A Car

7184 West Grand River Avenue

Brighton, MI 48114

Prepared by: Scott Inman

Facilities Specialist for Enterprise Holdings Inc.

on

March 26th, 2019

A. Name and address of Person responsible for preparation of the impact assesmet and a brief statement:

Scott Inman, Group Facilities Specialist for Enterprise Leasing Company of Detroit, LLC with Group Headquartered at 29301 Grand River Avenue, Farmington Hills, Michigan 48336.

This assessment statement is very similar to the one submitted in 2004. The project up for review is an approximately 396 sq ft addition to the project granted in 2004. The environmental impact has not/or is expected to change with this small addition.

B. Map and written description/analysis of site:

The project site is located at 7184 West Grand River Avenue in Brighton Michigan 48114. The site covers approximately 1.4 acres with approximately 7000 square feet of that dedicated to asphalt driveway and parking lot. There is an existing building that is approximately 1425 square foot.

C. Impact on natural features:

Landscape and frontage sidewalk was added to the site in 2004 per the Genoa Township Board. We do not expect any change to the natural features since the existing use will remain the same.

D. Impact on storm water management:

Minimal impact to the storm water since the disruption of grade and change in impervious surfaces will be minimal. We would follow township requirements for any asphalt parking lot addition.

E. Impact on surrounding land use:

Dust control measures will be used, as appropriate during construction. No other change in impact since the expansion will be used in the same manner as the current structure.

F. Impact on public facilities and services:

No impact is expected on the public utilities. The addition will tie into the existing oil-water separator which is serviced four times a year. No additional water usage is expected. The same

quantity of vehicles will be prepared. The addition would allow us to do this more efficiently. i.e two at time.

G. Impact on public utilities

No impact as this project expands efficiencies, not the volume of car preparations. The same use that currently exists.

H. Storage and handling of any hazardous material:

No hazardous materials will be used, stored, or disposed of on this site.

I. Impact on traffic and pedestrians:

The hours of operations will remain the same. We are currently open 8am-6pm Monday through Friday and 9am-12pm Saturday-Sunday. No impact is anticipated as the use of the addition will remain the same.

J. Special Provisions:

No provisions exist that would prohibit this wash bay addition. The use remains that same as exist today.



ABE ASSOCIATES, INC.
440 BURROUGHS STREET
STE. 605
DETROIT, MI 48202

PH: 313.961.5170
FX: 313.961.5172

OWNER
ENTERPRISE RENTAL CAR

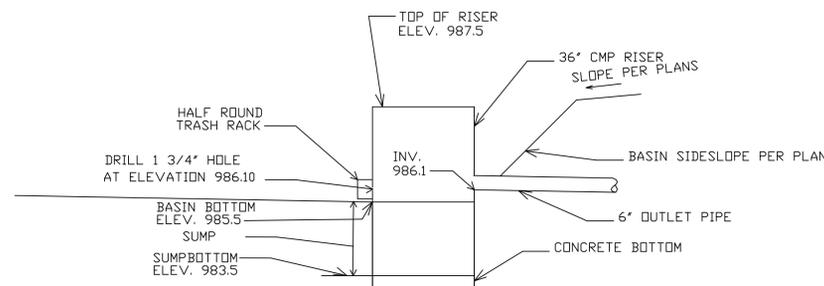
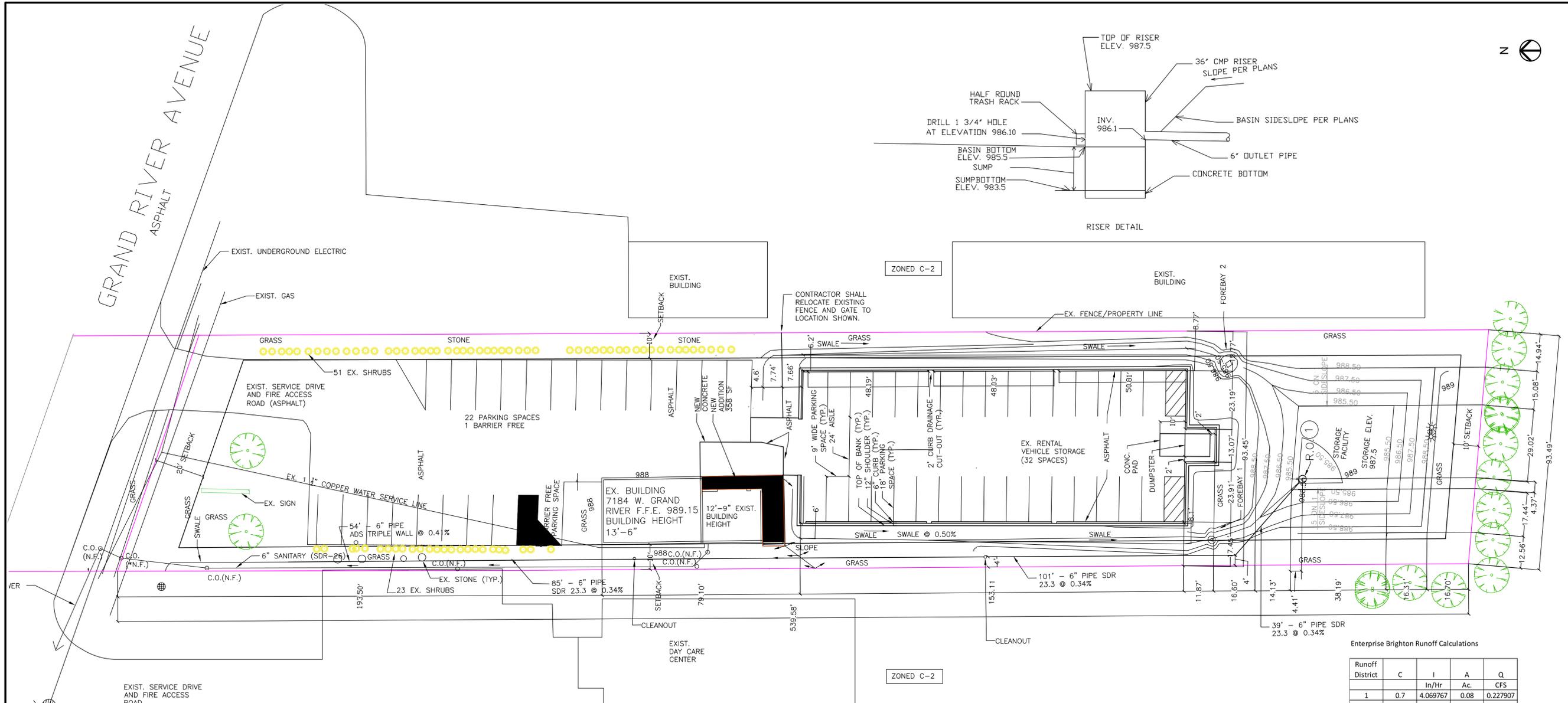
PROJECT
**GARAGE EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48116**



BY	REVISIONS	DATE
	RESUBMIT	5/21/19
	REVISION	6/17/19
	REVISION	6/25/19
	REVISION	7/2/19
Review comments		
Date:	4/3/19	
Scale:	AS NOTED	
Drawn:	ARB	
Job:	2018121	
Sheet		

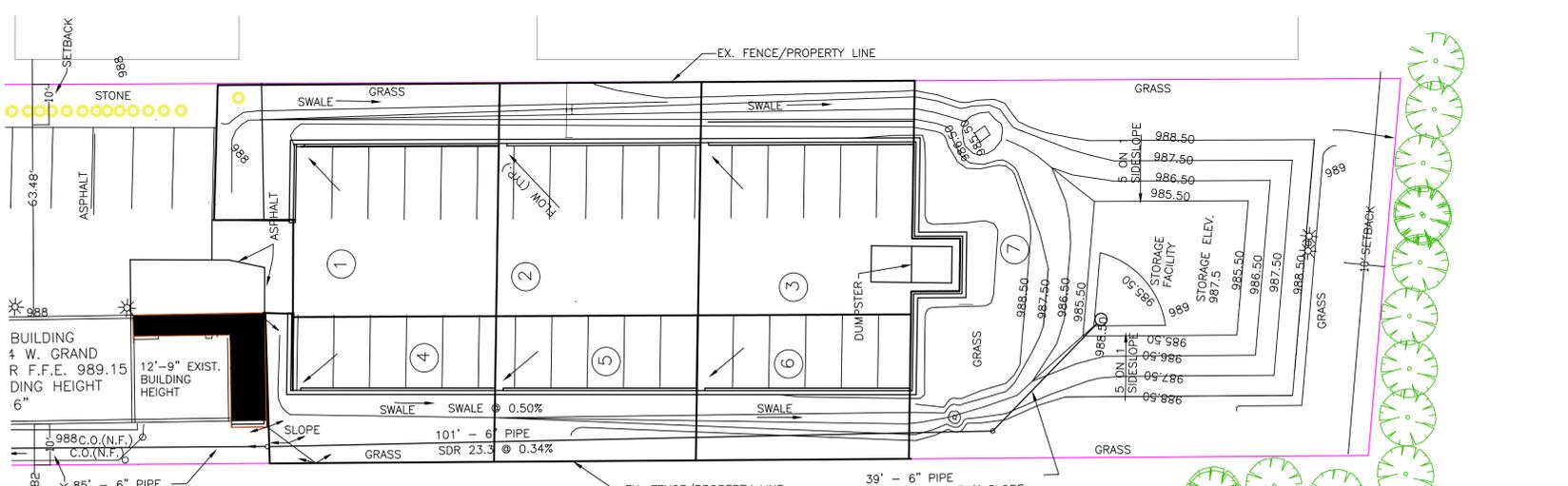
SHEET TITLE
PROPOSED DIMENSION PLAN

C3.0



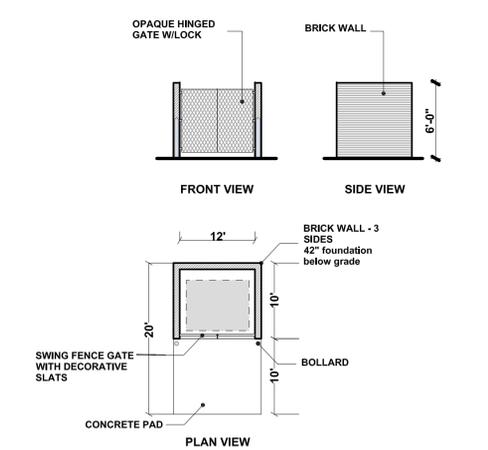
PROPOSED DIMENSION PLAN

SCALE: 1" = 20'



DRAINAGE AREA MAP

N.T.S.



DUMPSTER ENCLOSURE

SCALE: N.T.S.

NOTE:
THE DUMPSTER PICK-UP PAD SHALL BE
6" THICK 3500 PSI CONCRETE WITH 6"
GAGE 6"x6" WIRE MESH.





ABE ASSOCIATES, INC.
440 BURROUGHS STREET
STE. 605
DETROIT, MI 48202

PH: 313.961.5170
FX: 313.961.5172

OWNER

**ENTERPRISE
RENTAL CAR**

PROJECT

**GARAGE
EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48116**



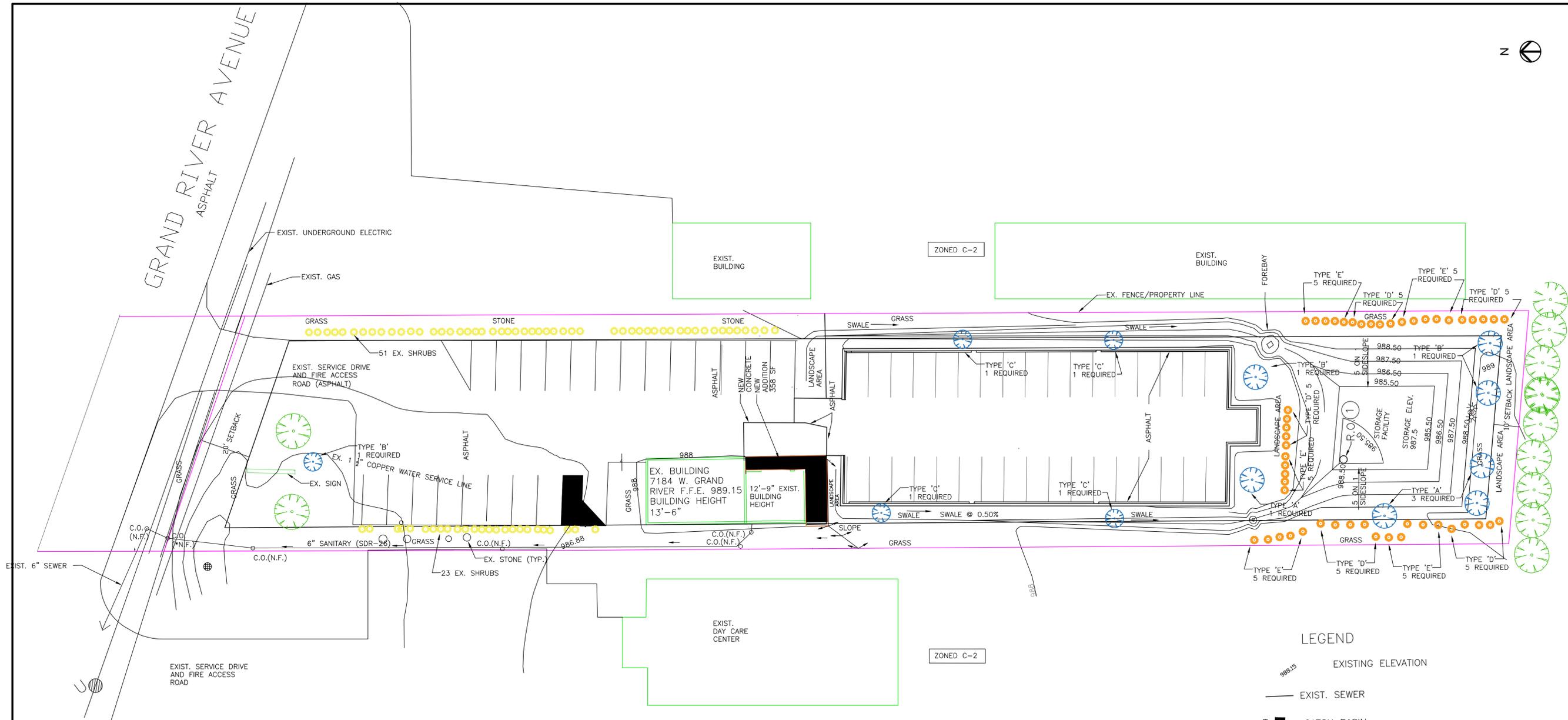
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	REVISION	7/2/19

Review comments	
Date:	4/3/19
Scale:	AS NOTED
Drawn:	ARB
Job:	2018121
Sheet	

SHEET TITLE

**PROPOSED
PLANTING PLAN**

C4.0



EXIST. LANDSCAPE SCHEDULE

ITEM	QUANTITY
SHRUBS	74
TREES	2

NOTE: EXISTING LANDSCAPE SCHEDULE ONLY INCLUDES EXISTING LANDSCAPING

NEW LANDSCAPE SCHEDULE

KEY	QUANTITY	COMMON NAME	SIZE	ROOTS
'A'	4	AMERICAN HORNBEAM	2 1/2" CAL	B & B
'B'	4	BLACK SPUCE	2 1/2" CAL	B & B
'C'	4	SNOFOZAM WEEPING CHERRY	2 1/2" CAL	B & B
'D'	25	TECHNY ARBORVITAE	6" HEIGHT	B & B
'E'	25	ALBERTA DWARF SPRUCE	6" HEIGHT	B & B

NOTE: NEW LANDSCAPE SCHEDULE ONLY INCLUDES NEW LANDSCAPING

PROPOSED PLANTING PLAN

SCALE: 1" = 20'



Know what's below.
Call before you dig.

LEGEND

- 988.15 EXISTING ELEVATION
- EXIST. SEWER
- ⊕ CATCH BASIN
- ⊙ MANHOLE
- ⊙ UTILITY POLE
- ⊙ HYDRANT
- ⊙ NEW TREE
- NEW SHRUB
- (N.F.) NOT FOUND
- SIGN
- ⊙ R.O. ① RISER OUTLET
- P.D. ① PIPE DISCHARGE
- FLOW DIRECTION
- ⊙ EXIST. TREE
- EXIST. SHRUB



RECEIVED

By Amy Ruthig at 10:50 am, May 09, 2019

GENOA CHARTER TOWNSHIP Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: _____
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (____) _____ EMAIL: _____

OWNER NAME & ADDRESS: _____

SITE ADDRESS: _____ PARCEL #(s): _____

OWNER PHONE: (____) _____ EMAIL: _____

Location and brief description of site and surroundings:

Proposed Use:

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED _____ STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Scott A. Mommer

ADDRESS: _____

<p>Contact Information - Review Letters and Correspondence shall be forwarded to the following:</p> <p>_____ of _____ at _____ Name Business Affiliation Email</p>

<p align="center">FEE EXCEEDANCE AGREEMENT</p> <p>As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.</p> <p>SIGNATURE: <u>Scott A. Mommer</u> DATE: _____</p> <p>PRINT NAME: _____ PHONE: _____</p>

Specific Criteria Findings
For
Home Depot – Special Use Permit (5/3/2019)

The special land use conditions that apply to Outdoor Storage as stated in the Township Zoning Ordinance (§7.02.02(d)) are as follows:

- (1) *Minimum lot area shall be one (1) acre.*
The Home Depot site is 15.10 AC.
- (2) *Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.*
Staging of fertilizer bark, other material, and complete pallet is encased with shrinkage wrap as a second source to prevent spillage of materials.
- (3) *All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm-water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.*
The proposed outdoor display areas will be on existing concrete or paved parking lot. See attached Site Plan.
- (4) *No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the commercial outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.*
The proposed outdoor display areas will not impact any required yard (setback). Locations being proposed are along the front of the store or within existing parking stalls or in designated staging areas at the rear of the store.
- (5) *The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.*
The existing Home Depot store has an existing area for office use of at least 500 ft. of gross floor area.
- (6) *All loading and truck maneuvering shall be accommodated on-site.*
The proposed outdoor display area will not impact existing loading and truck-maneuvering on-site.
- (7) *All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.*
The existing site and the proposed outdoor display areas are not adjacent to a residential district.
- (8) *The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district, will not be visible from an expressway and such storage is confined to within twenty (20) feet of the building.*
A 12' fence is being proposed at the southerly portion of the site. Equipment stored within here will not exceed the height of the proposed fencing.

RECEIVED

By Amy Ruthig at 10:49 am, May 09, 2019



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Scott A. Mommer; 4694 W. Jacquelyn Ave, Fresno, CA 93722
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Home Depot U.S.A., Inc.; 2455 Paces Ferry Rd., Atlanta, GA 30339

SITE ADDRESS: 3330 E. Grand Ave, Howell, MI PARCEL #(s): 11-05-300-027

APPLICANT PHONE: (559) 978-7060 OWNER PHONE: (770) 384-3364

OWNER EMAIL: smommer@larsandersen.com

LOCATION AND BRIEF DESCRIPTION OF SITE: The site is an existing Home Depot store located
at Grand Oaks Drive and Grand River Ave. The site is currently Zoned RCD - Regional Commercial District.

BRIEF STATEMENT OF PROPOSED USE: The proposed Use is for additional storage areas per the
submitted Site Plan. The proposed request is for area for display of three (3) rental trailers, rental equipment display,
a 12' fence at the south end of the site for large equipment storage, seasonal sales display areas, and staging areas.

THE FOLLOWING BUILDINGS ARE PROPOSED: No buildings are being proposed.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY: Scott A. Mommer

ADDRESS: 4694 W. Jacquelyn Ave, Fresno, CA 93722

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Scott A. Mommer of Scott A. Mommer Consulting at smommer@larsandersen.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: *Scott A. Mommer* DATE: 5/3/2019
PRINT NAME: Scott A. Mommer PHONE: 559-978-7060
ADDRESS: 4694 W. Jacquelyn Ave., Fresno, CA 93722

AFFIDAVIT

I, Jessica Borgert certify by my signature below that I hereby authorize Scott A. Mommer to act as my agent regarding the Special Land Use Application of the below described property.

Property described

as: See attached Legal Description.

By: HOME DEPOT U.S.A., INC.
Jessica Borgert
Senior Corporate Counsel

Date

Subscribed and sworn to me a Notary Public on this 19 day of April 2019.

Barbara Turner
Notary Public

My Commission Expires:
9/10/22

Barbara Turner
NOTARY PUBLIC
Fulton County, GEORGIA
My Commission Expires 09/10/2022

EXHIBIT A

Legal Description

Part of the Southwest $\frac{1}{4}$ of Section 5, T2N—R5E, Genoa Township, Livingston County, Michigan, more particularly described as follows: Commencing at the West $\frac{1}{4}$ Corner of said Section 5: thence along the East-West $\frac{1}{4}$ line of said Section 5, N 87°09'05" E, 272.34 feet; thence along Easterly line of Victory Drive (66 foot wide Right-of-Way), as recorded in the Plat of "Grand Oaks West Industrial Park", Liber 30 of Plats, pages 1-5, Livingston County Records, S 01°04'09" E, 8.88 feet; thence along the South line of Lot 1 of said Plat, S 77°41'07" E, 148.07 feet; thence S 86°26'47" E, 226.20 feet; thence S 73°13'50" E, 20.78 feet; thence N 25°07'05" E (previously recorded as N 27°04'E), 240.92 feet; thence along the Southerly line of Grand River Avenue (50 foot wide and 70 foot wide $\frac{1}{2}$ Right-of-Way), on the following three (3) courses; 1) S 64°54'26" E, 93.60 feet, 2) S 25°05'34" W, 20.00 feet, 3) S 64°54'26" E, 157.49 feet to the POINT OF BEGINNING of the Parcel to be described; thence continuing along the Southerly line of Grand River Avenue on the following four (4) courses: 1) S 64°54'26" E, 117.51 feet, 2) N 25°05'34" E, 20.00 feet, 3) S 64°54'26" E, 61.15 feet, 4) S 64°41'56" E, 657.17 feet; thence S 25°10'07" W, 233.14 feet; thence S 41°41'17" E, 115.37 feet; thence S 52°21'03" E, 57.81 feet; thence S 64°41'56" E, 278.96 feet; thence N 87°53'27" E, 46.62 feet; thence along the Westerly line of Grand Oaks Drive (100 foot wide Right-of-Way), as recorded in the Plat of "Grand Oaks Commercial Park", Liber 21 of Plats, pages 45-47, Livingston County Records, Southwesterly on an arc left, having a length of 70.72 feet, a radius of 500.00 feet, a central angle of 08°06'15", and a long chord which bears S 05°43'50" W, 70.66 feet; thence S 87°53'37" W, 1101.09 feet; thence N 71°04'09" W, 170.00 feet (previously recorded as 169.43); thence N 20°20'51" E, 285.83 feet (previously recorded as 282.65 feet), thence N 02°44'46" E, 405.20 feet (previously recorded as 407.10), thence N 08°08'15" E, 169.00 feet, thence N 84°00'24" E, 39.14 feet to the POINT OF BEGINNING; Containing 15.10 acres, more or less, and subject to the rights of the Public over the existing Grand River Avenue. Also including the use of Grand Oaks Drive, as recorded in the Plat of "Grand Oaks Commercial Park", Liber 21 of Plats, pages 45-47, Livingston County Records.

TAX PARCEL ID NO:

4711-05-300-027

July 2, 2019

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Home Depot – Special Land Use and Site Plan Review #2
Location:	3330 E. Grand River Avenue – south side of Grand River, west of Grand Oaks Drive
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township's request, we have reviewed the revised special land use and site plan submittal from Home Depot (plans dated 6/10/19) to allow outdoor sales/storage/display areas for the existing business.

As background information, it is important for the Commission to know that there has been a lengthy Ordinance enforcement history for outdoor sales/storage/display at this site.

Township staff tracked this history (provided in a separate document) noting issues dating back to 2001. These enforcement matters led to revocation of the applicant's special land use permit for outdoor sales/storage/display in 2015.

A. Summary

1. In order to make a favorable finding on the general special land use standards of Section 19.03, the applicant must demonstrate full compliance with the use conditions of Section 7.02.02(d).
2. The applicant must also address any concerns provided by the Township Engineer and/or Brighton Area Fire Authority.
3. The revised submittal does not demonstrate full compliance with the landscaping/screening conditions of Section 7.02.02(d).
4. We request the applicant identify the dimensions and square footage of each outdoor area proposed, with an understanding that they will be limited to such area.

B. Proposal/Process

The proposal includes 13 areas of outdoor display/storage/sales accessory to a permitted commercial use (Home Depot). Such uses are allowed with special land use approval (Section 7.02).

Section 7.02.02(d) also includes use conditions for commercial outdoor display, storage and sales.

Procedurally, following the required public hearing, the Planning Commission is to put forth a recommendation to the Township Board on the special land use, site plan review and Impact Assessment.

The Board has the final review/approval authority over the project.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Special land uses are subject to the review criteria of Section 19.03, as follows:

- 1. Master Plan.** The Master Plan identifies the site and adjacent properties as Regional Commercial, which is intended for “higher intensity commercial uses that serve the comparison shopping needs of the entire community and the regional market.”

While the Plan does not specifically address outdoor uses within Regional Commercial, it does note the intent to allow for “big box retail,” which is consistent with the principal use of this site.

Given the nature of the request and the planned uses for the subject area, we believe the proposal is compatible with the Master Plan and Future Land Use Map.

- 2. Compatibility.** The inclusion of some outdoor components associated with a big box retailer is not generally expected to adversely impact nearby uses. However, such uses are subject to the conditions of Section 7.02.02(d) to ensure compatibility. In our opinion, the use conditions must be met in order to make a favorable finding under this criterion.
- 3. Public Facilities and Services.** As a developed site, we do not anticipate issues with public facilities and services. However, the applicant must address any concerns raised by the Township Engineer and/or Brighton Area Fire Authority with respect to this criterion.
- 4. Impacts.** Similar to the compatibility comment noted above, provided the use conditions are met, the project would not be expected to result in adverse impacts upon surrounding properties.
- 5. Mitigation.** If additional concerns arise as part of the review process, the Township may require mitigation efforts to alleviate/eliminate potential adverse impacts.

D. Use Conditions

As previously noted, the proposal is subject to the use conditions of Section 7.02.02(d), as follows:

- 1. Minimum lot area shall be one (1) acre.**

The notes on the site plan identify the lot area as 15.1 acres.

- 2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.**

The applicant has stated that all such materials will be wrapped in Visqueen to prevent dust or blowing of materials.

- 3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

All of the outdoor display/storage/sales areas are located on an existing paved surface.

- 4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the commercial outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.**

The revised plan complies with this standard.

- 5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

The existing building contains 121,265 square feet of floor area – this standard is met.

- 6. All loading and truck maneuvering shall be accommodated on-site.**

This standard is met.

- 7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

The revised plan identifies a greenbelt area along Grand Oaks, a 20-foot buffer zone B along Grand River and a 10-foot buffer zone C along a portion of the west side lot line. However, there is no indication of the landscaping contained within said areas. As such, additional information is still needed to verify compliance with this standard.

- 8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district, will not be visible from an expressway and such storage is confined to within twenty (20) feet of the building.**

The only screening noted is a 12-foot tall chain link fence around the “large equipment rental” area on the south side of the property.

E. Site Plan Review

- 1. Dimensional Requirements.** The revised plans comply with the dimensional requirements of the Zoning Ordinance.

With that being said, we request the applicant identify the dimensions and square footage of each outdoor area with an understanding that they will be held to these dimensions moving forward.

Any expansion beyond these dimensions will be treated as a violation or will require submittal of an amended site plan in accordance with the provisions of the Township Zoning Ordinance.

- 2. Parking.** The proposed outdoor areas will occupy 64 parking spaces. Updated parking calculations have been provided demonstrating that the site will remain compliant with the amount of parking required by the Zoning Ordinance.
- 3. Pedestrian Circulation.** The revised plans indicate that sufficient pedestrian circulation will be maintained.
- 4. Vehicular Circulation.** The revised plans provide sufficient drive aisles per Zoning Ordinance requirements (24-foot minimum).
- 5. Signs.** The applicant has stated that no new signage is proposed as part of this project.
- 6. Impact Assessment.** The submittal includes a revised Impact Assessment (dated 6/12/19), which states that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,
SAFEBUILT STUDIO



Brian V. Borden, AICP
Planning Manager

CODE ENFORCEMENT HISTORY PROVIDED BY CODE OFFICER

Home Depot

2001

April 26- outdoor storage violation letter

June 7- outdoor storage violation letter

June 22- outdoor storage violation letter

2002

August 23- Consent judgement entered

2003

April 17- outdoor storage violation letter

May 22- outdoor storage violation letter

2004

June 1- outdoor storage violation letter

2005

April 19- outdoor storage violation letter

2006

May 8-Special Land Use Approval by Township Board

2014

May 2- Kelly and Ron meet with Home Depot to discuss outdoor storage and give 45 days to have cleaned up.

2015

May-Special Land Use Permit revoked

November 10- Amy and Sharon meet with Jeff Hartsaw, manager, stated that he knows about consent judgement but he was just the middle man. Advised that if outdoor storage not cleaned up tickets would start to be issued.

No tickets issued this year due to compliance most of the year. Staff was trying to work with Home Depot and give them the benefit of the doubt.

2016

March 15- Temporary event waiver for soil and mulch approved

July 27- Letter from Genoa Township Attorney Joseph Seward about violations of outdoor storage

August 16- \$500 ticket

September 2- \$500 ticket

September 16- \$500 ticket

September 18- \$ 500 ticket

September 26- \$500 ticket

2017

April 20- outdoor storage violation email

May 9- Outdoor storage violation email

June 2- Refuse temporary event letter sent

July 14- \$500 ticket outdoor storage

2018

May 9- outdoor storage violation email

April 4- outdoor storage violation letter

July 20- outdoor storage violation email

August 27- \$500 ticket

2019

March- Paul Schiebold brought in new manager Shena Gonzales where we advised new manager of consent judgement, and how serious Genoa Township is about outdoor storage and at this time violations result in tickets.

April 12- Start email communication with Home Depot to submit for planning commission.

April 23- Meet with Home Depot District manager Julie Giattino about submittal.

June 4- Letter to Home Depot that while going through Planning Commission process all uses that were requested for 28 day special event would be allowed but any delay in process and site would have to revert back to original storage and outdoor use.

June-July- weekly pictures taken for review



June 28, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Home Depot Outdoor Storage Site Plan Review No. 2

Dear Ms. Van Marter:

Tetra Tech conducted a site plan review of the Home Depot site plan and special land use application submitted on June 14, 2019. The site plans last dated June 10, 2019, were prepared by Scott A. Mommer Consulting on behalf of Home Depot U.S.A., Inc. The development includes 15.1 acres at 3330 East Grand River Avenue. The petitioner is requesting a special land use for additional outdoor storage areas totaling 5,898 square feet. We offer the following comments:

1. The revised site plan includes two additional display areas in the parking lot. The proposed temporary seasonal sales display area consisting of 39 parking stalls blocks the existing drive aisle and should include a temporary drive aisle to replace the existing aisle and maintain flow of traffic. This could include temporary signage, traffic cones, or pavement markings.

We recommend the site plans be revised to address the above comment as part of the planning commission action on the special use permit.

Please call or email if you have any questions.

Sincerely,

A blue ink signature of Gary J. Markstrom, written in a cursive style.

Gary J. Markstrom, P.E.
Vice President

A blue ink signature of Shelby Scherdt, written in a cursive style.

Shelby Scherdt
Project Engineer

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 26, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Home Depot (outdoor storage)
3330 E. Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on June 18, 2019, and the drawings are dated June 10, 2019. The project is based on an existing Mercantile-use. The facility has applied for a special land-use permit to increase the quantity of outside storage in the front and rear of the store.

The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All areas of concern have been substantially addressed and revisions made to reflect them.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

Environmental Impact Assessment
For
Home Depot – Special Land Use Application

- a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Scott A. Mommer

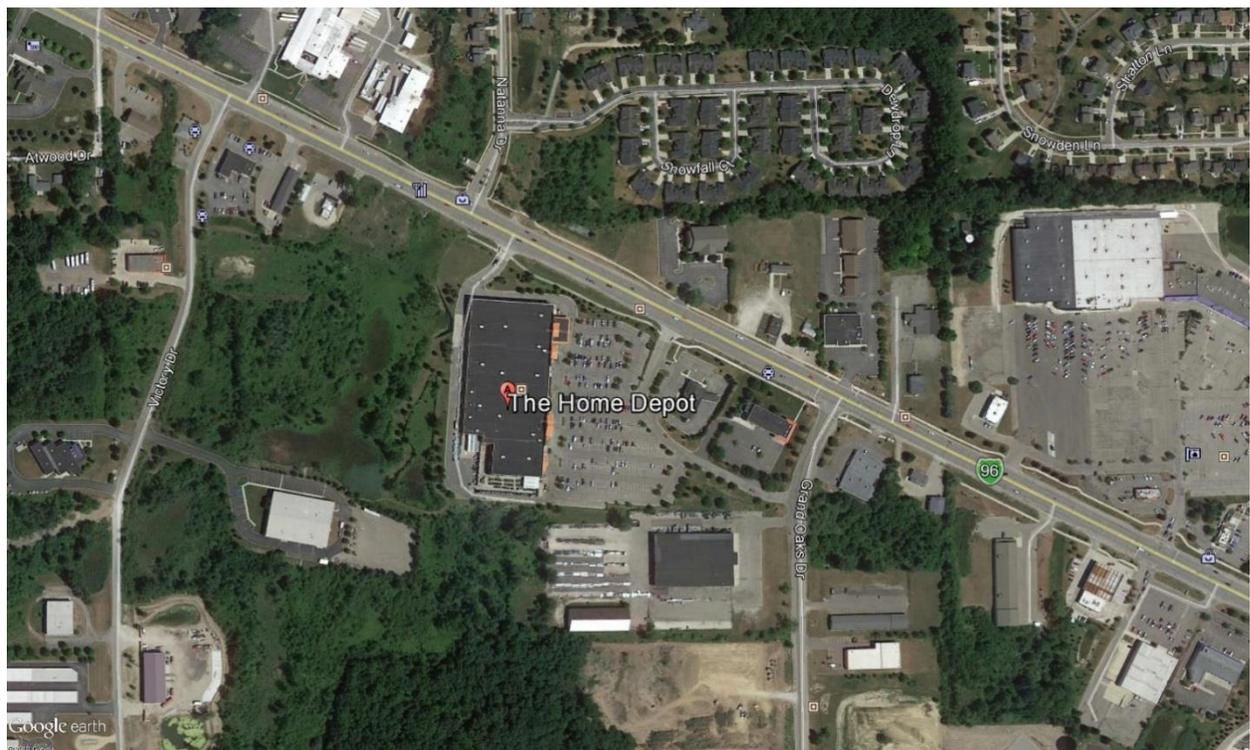
4694 W. Jacquelyn Ave.

Fresno, CA 93722

Scott Mommer is a Professional Engineer and has been involved with the industry for over 30 years. He has prepared Environmental Impact Assessments and Initial Studies for a broad range of projects from commercial, industrial, and residential. He has also prepared and assisted in EIR Assessments related to ground water contamination of heavy metals and gasoline to meet various State requirements. Mr. Mommer has also been responsible for preparing Permits of storage of hazardous materials, tractor repairs on soils, and Discharge Permits (SWPPP).

- b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

The site is an existing Home Depot building. Within 10 feet of the property is E Grand River Avenue to the North, Discount Tire to the East, a commercial/industrial building the South, and vacant land to the West.



c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

There will not an impact to natural features with the proposed Use, as the Home Depot property is fully developed. The request is for additional display areas to the existing Home Depot.

d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

There will be no grading or construction operations that would create soil erosion or sedimentation.

e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The proposed Use is consistent with the Commercial nature of the surrounding land uses. The proposed Use is for additional display areas for rental equipment and staging areas for deliveries. The equipment will not be used or maintained on the property.

f. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The site is an existing Home Depot and the proposed Use would be for rental for customers. The site will not impact the existing fire, police, and EVA's; therefore, there will be no change to the site conditions affecting these services. No effect to the School District.

g. **Impact on public utilities:** Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

Existing services for water, sewer, and refuse will not be altered and no additional services being proposed or requested.

h. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted.

There will be no storage or handling of hazardous material.

Any stockpiles of soils, fertilizer or similar loosely packaged materials will be wrapped in visqueen for not only protection of the material, but to the environment.

- i. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets. The contents of the detailed study shall include:
The total proposed square footage display areas are 5,898.5 SF. Therefore, the proposed uses are expected create seven (9) AM peak trips and twelve (14) PM peak trips (91 inbound and 91 outbound).
Source: ITE Trip Generation Rates - 9th Edition

The proposed display areas will not disrupt proper and safe vehicular access. The proposed display areas are either on existing paved surface or are to be within existing parking stalls; the display areas will not impact aiseways or driveway paths. The proposed temporary seasonal sales area in the parking lot will be surrounded by temporary fencing to ensure safe access and walkway for pedestrian and prohibit access through the aisles to vehicles.

- j. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.
N/A.

OUTDOOR STORAGE PLAN FOR TOOL RENTAL EQUIPMENT AREA HOWELL, MI

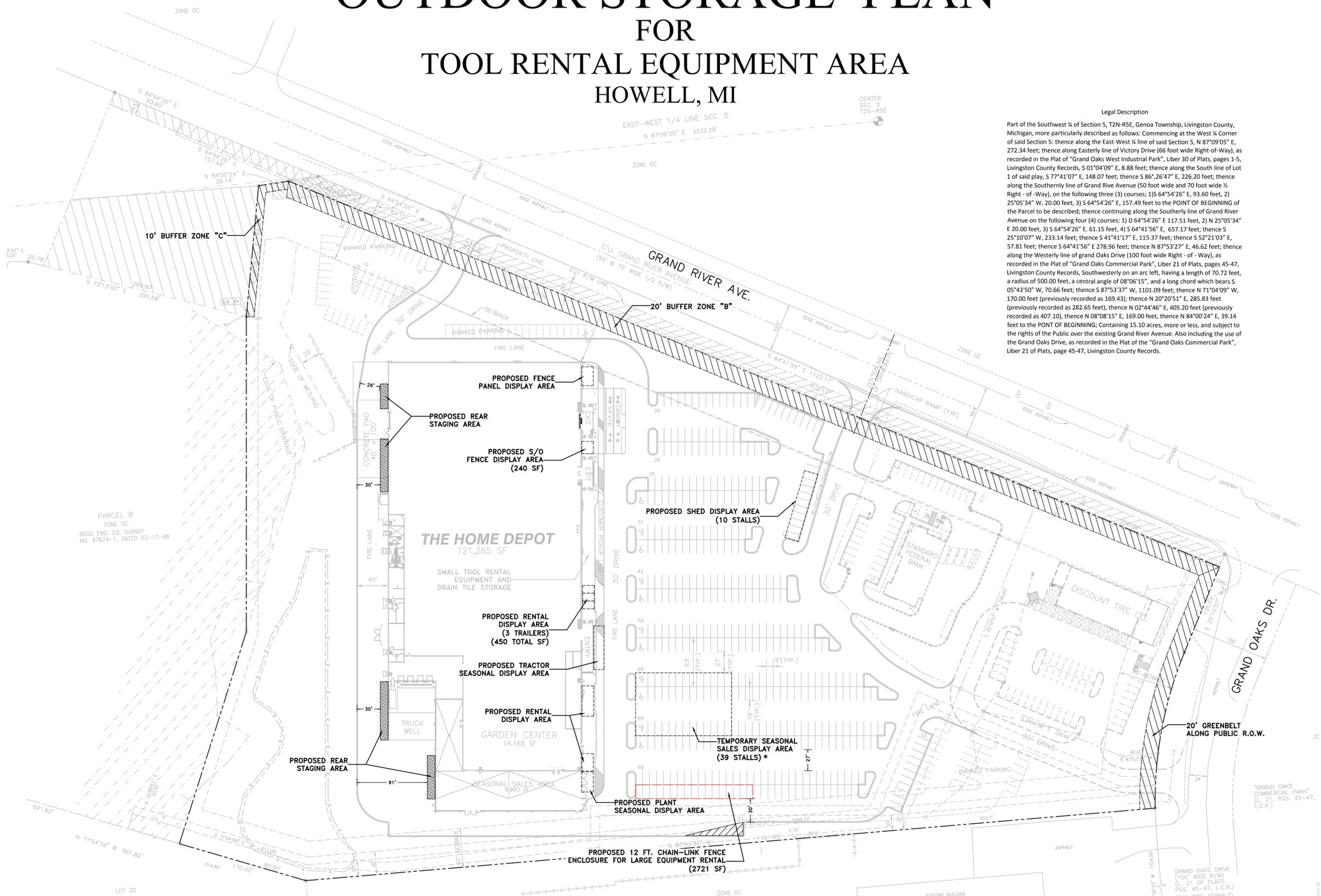


VICINITY MAP
NOT TO SCALE

PROJECT INFORMATION

HOME DEPOT SITE DATA	
HOME DEPOT AREA	15.10 AC
HOME DEPOT BUILDING AREAS	
HOME DEPOT BUILDING	121,265 SF
GARDEN CENTER	+ 14,168 SF
TOTAL HD BUILDING AREA	135,433 SF
ZONING INFORMATION	
APN:	11-05-300-027
ZONING:	RCD (REGIONAL COMMERCIAL DISTRICT)
LAND USE:	REGIONAL COMMERCIAL

Legal Description
Part of the Southwest ¼ of Section 5, T2N-R5E, Genoa Township, Livingston County, Michigan, more particularly described as follows: Commencing at the West ¼ Corner of said Section 5; thence along the East-West ¼ line of said Section 5, N 87°09'05" E, 272.34 feet; thence along Easterly line of Victory Drive (66 foot wide Right-of-Way), as recorded in the Plat of "Grand Oaks West Industrial Park", Liber 30 of Plats, pages 1-5, Livingston County Records, S 01°04'09" E, 8.88 feet; thence along the South line of Lot 1 of said plat, S 77°41'07" E, 148.07 feet; thence S 86°26'47" E, 226.20 feet; thence along the Southernly line of Grand River Avenue (50 foot wide and 70 foot wide ½ Right-of-Way), on the following three (3) courses; 1) S 64°54'26" E, 93.60 feet, 2) 25°05'34" W, 20.00 feet, 3) S 64°54'26" E, 157.49 feet to the POINT OF BEGINNING of the Parcel to be described; thence continuing along the Southernly line of Grand River Avenue on the following four (4) courses; 1) D 64°54'26" E 117.51 feet, 2) N 25°05'34" E 20.00 feet, 3) S 64°54'26" E, 61.15 feet, 4) S 64°41'56" E, 657.17 feet; thence S 25°10'07" W, 233.14 feet; thence S 41°41'17" E, 115.37 feet; thence S 52°21'03" E, 57.81 feet; thence S 64°41'56" E 278.96 feet; thence N 87°53'27" E, 46.62 feet; thence along the Westerly line of Grand Oaks Drive (100 foot wide Right-of-Way), as recorded in the Plat of "Grand Oaks Commercial Park", Liber 21 of Plats, pages 45-47, Livingston County Records, Southwesterly on an arc left, having a length of 70.72 feet, a radius of 500.00 feet, a central angle of 08°06'15", and a long chord which bears S 05°43'50" W, 70.66 feet; thence S 87°53'37" W, 1101.09 feet; thence N 71°04'09" W, 170.00 feet (previously recorded as 169.43); thence N 20°20'51" E, 285.83 feet (previously recorded as 282.65 feet), thence N 02°44'46" E, 405.20 feet (previously recorded as 407.10), thence N 08°08'15" E, 169.00 feet, thence N 84°00'24" E, 39.14 feet to the POINT OF BEGINNING; Containing 15.10 acres, more or less, and subject to the rights of the Public over the existing Grand River Avenue. Also including the use of the Grand Oaks Drive, as recorded in the Plat of the "Grand Oaks Commercial Park", Liber 21 of Plats, page 45-47, Livingston County Records.



LEGEND:

- TOOL RENTAL CENTER DISPLAY AREA
- TOOL RENTAL CENTER ENCLOSURE

* AREA DESIGNATED IN PARKING LOT THROUGH SPRING/SUMMER SEASON TO CREATE A PLANT LAYDOWN & MULCH RUN.

SITE PLAN NOTES:

REVISION NOTES:

COVER SHEET

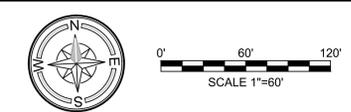
DATE: 6/10/2019
REVISION DATES:
SITE PLANNER: DEREK FINNEGAN
SITE DEV. COORDINATOR: SCOTT MOMMER
R. E. MARKET:
R. E. AGENDA NAME:
R. E. MANAGER:



MI - HOWELL
STORE #2751

ADDRESS: 3330 E GRAND RIVER AVE
HOWELL, MI 48843

LA PROJECT NUMBER: 19029.00



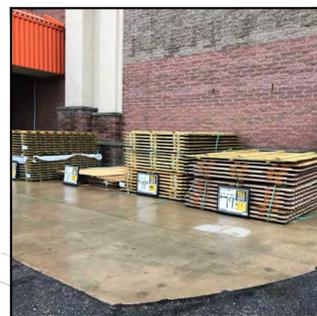
PLAN VIEW
SHEET 1 OF 3



VICINITY MAP
 NOT TO SCALE

PROJECT INFORMATION

HOME DEPOT SITE DATA	
HOME DEPOT AREA	15.10 AC
HOME DEPOT BUILDING AREAS	
HOME DEPOT BUILDING	121,265 SF
GARDEN CENTER	+ 14,168 SF
TOTAL HD BUILDING AREA	135,433 SF
PARKING REQUIRED PER CITY CODE	381 STALLS
*HOME DEPOT (@ 1/300 SF) GFA	
OUTDOOR COMMERCIAL DISPLAY AND SALE (@ 1/800 SF OF DISPLAY AREA)	+ 5 STALLS
TOTAL PARKING REQUIRED	386 STALLS
* BASED ON GLA PER ZONING ORDINANCE = 114,424 SF	
PARKING PROVIDED	
SPACES PROVIDED	488 STALLS
BANKED PARKING SPACES	84 STALLS
LESS SHED DISPLAY	- 10 STALLS
LESS PROPOSED ENCLOSURE	- 15 STALLS
LESS TEMPORARY SEASONAL SALES	- 39 STALLS
TOTAL PROVIDED	508 STALLS
ZONING INFORMATION	
APN:	11-05-300-027
ZONING:	RCD (REGIONAL COMMERCIAL DISTRICT)
LAND USE:	REGIONAL COMMERCIAL
BUILDING COVERAGE (35% MAX):	20.6%
IMPERVIOUS SURFACE RATIO (75% MAX):	66.3%



FENCE PANELS STORED OUTSIDE



S/O FENCE DISPLAY WHICH IS LOCATED UNDER THE CANOPY BY THE PRO DOORS



AREA DESIGNATED IN PARKING LOT TO DISPLAY SHEDS ALL YEAR ROUND.



TRACTORS TO BE STORED ON DISPLAY OUTSIDE THE FRONT ENTRANCE DURING THE SPRING/SUMMER SEASON.



PLANT RACKS & TABLES TO BE DISPLAYED OUTDOORS DURING SPRING/SUMMER SEASON.

* AREA DESIGNATED IN PARKING LOT THROUGH SPRING/SUMMER SEASON TO CREATE A PLANT LAYDOWN & MULCH RUN.

LEGEND:

- TOOL RENTAL CENTER DISPLAY AREA
- TOOL RENTAL CENTER ENCLOSURE

SITE PLAN NOTES:

REVISION NOTES:

PROPOSED OUTDOOR STORAGE AREA

DATE: 6/10/2019
 REVISION DATES:
 SITE PLANNER: DEREK FINNEGAN
 SITE DEV. COORDINATOR: SCOTT MOMMER
 R. E. MARKET:
 R. E. AGENDA NAME:
 R. E. MANAGER:



MI - HOWELL STORE #2751

ADDRESS: 3330 E GRAND RIVER AVE HOWELL, MI 48843

LA PROJECT NUMBER 19029.00





GENOA CHARTER TOWNSHIP Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: LOWES HOME CENTERS, LLC 1000 LOWES BLDG, Mooresville, NC 28117
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (336) 658-4806 EMAIL: MATTHEW.L.MINTON@LOWES.COM

OWNER NAME & ADDRESS: - SAME AS ABOVE -

SITE ADDRESS: _____ PARCEL #(s): 4711.05 - 400 - 050

OWNER PHONE: () _____ EMAIL: _____

Location and brief description of site and surroundings:

SITE IS LOCATED AT 1100 S LATSON ROAD AND IS IN A LARGE COMMERCIAL SETTING.

Proposed Use:

REQUEST IS TO ALLOW OUTDOOR SALES/STORAGE/DISPLAY AS SHOWN ON THE ATTACHED PLAN AS AN INTEGRAL PART OF THE EXISTING USE

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

THE NRPUD PROVIDES FOR A COORDINATED COMMERCIAL DEVELOPMENT. THE ORDINANCE ALLOWS THE PROPOSED SALES/STORAGE/DISPLAY AS A USE WHEN SCREENED FROM VIEW AND A WELL DESIGNED, NEAT, & ORDERLY DISPLAY WILL PROMOTE THE PURPOSE OF PROVIDING A RETAIL SERVICE TO THE TOWNSHIP.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.
OUTDOOR DISPLAY ALONG THE FRONT SIDEWALK WILL PROMOTE A NEAT, ORDERLY APPEARANCE WHILE SHOWCASING GOODS FOR TOWNSHIP RESIDENTS.

THE PROPOSED PARKING LOT CORRAL WILL PROVIDE A MANAGED, CONTROLLED AREA PROVIDING ADDITIONAL RETAIL OPTIONS. SCREENING WILL BE PROVIDED

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, ^{SURROUNDINGS} police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

NO NEW IMPACT IS ANTICIPATED SINCE NO NEW IMPERVIOUS AREA, UTILITIES, ETC. ARE PROPOSED.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

THE PROPOSED USE WILL NOT INVOLVE ITEMS/ACTIVITIES DETRIMENTAL TO THE NATURAL ENVIRONMENT, WELFARE ETC. ANY POTENTIAL VIEW IMPACT WILL BE MITIGATED WITH ADDITIONAL LANDSCAPING.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

YES, SECTION 7.02.02(D) ADDRESSES OUTDOOR DISPLAY SALES OR STORAGE. THE PROPOSED PLAN BALANCES THE RETAIL NEEDS WHILE MEETING THE INTENT FOR SCREENING.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Lowe's Home Centers, LLC STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY:  Matthew L. Minton - Director of Engineering & Construction, Lowe's Home Centers, LC

ADDRESS: 1000 Lowe's Blvd, Mooresville NC 28117

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

TODD SIMMONS of FREELAND & KAUFFMAN at tsimmons@fk-inc.com
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 5/20/19

Matthew L. Minton - Director of Engineering & Construction, Lowe's Home Centers, LC

PRINT NAME: _____ PHONE: (336) 658-4806



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: LOWE'S HOME CENTERS, LLC 1000 LOWE'S BLVD, MOORESVILLE
If applicant is not the owner, a letter of Authorization from Property Owner is needed. NC 28117

OWNER'S NAME & ADDRESS: LOWE'S HOME CENTERS, LLC

SITE ADDRESS: 1100 S LATSON RD PARCEL #(s): 4711.05-400-050

APPLICANT PHONE: (336)658-4806 OWNER PHONE: (336)658-4806

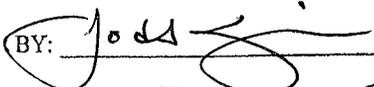
OWNER EMAIL: MATTHEW.L.MINTON@LOWES.COM

LOCATION AND BRIEF DESCRIPTION OF SITE: SITE IS THE EXISTING LOWE'S
FACILITY AT 1100 S LATSON RD.

BRIEF STATEMENT OF PROPOSED USE: SPECIAL USE PERMIT BEING
REQUESTED FOR OUTDOOR SALES/STORAGE/DISPLAY
ESSENTIAL TO THE BUSINESS OPERATIONS.

THE FOLLOWING BUILDINGS ARE PROPOSED: NO NEW BUILDINGS ARE
PROPOSED. REQUEST IS FOR ADDITIONAL OUTDOOR SALES /
STORAGE/DISPLAY ON SITE. SITE MODIFICATIONS ARE LIMITED
TO ADDITIONAL PROPOSED LANDSCAPING.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.**

BY:  TODD SIMMONS (F&K)
ADDRESS: 209 W. STONE AVE, GREENVILLE, SC 29609

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1) TODD SIMMONS of FREELAND KAUFFMAN at tsimmons@fk-1nc.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 5/15/19
PRINT NAME: Matthew L. Minton, E&C Director PHONE: 336-658-48096
ADDRESS: 1000 Lowe's Blvd, Mooresville, NC 28117



July 2, 2019

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Lowe’s – Special Land Use and Site Plan Review #2
Location:	1100 S. Latson Road – west side of S. Latson, south of Grand River Avenue
Zoning:	NRPUD Non-Residential Planned Unit Development

Dear Commissioners:

At the Township’s request, we have reviewed the revised special land use and site plan submittal from Lowe’s (plans dated 6/18/19) to allow outdoor display/storage/sales areas for the existing business.

As background information, it is important for the Commission to know that there has been a lengthy Ordinance enforcement history for outdoor display/storage/sales at this site. Township staff tracked this history (provided in a separate document) noting issues dating back to 2002.

A. Summary

1. The special land use standards of Section 19.03 are generally met, though the submittal does not fully comply with the use conditions of Section 7.02.02(d).
2. We suggest the Township require the applicant to provide a cross-access easement to the outlot adjacent to the east.
3. The applicant must address any concerns provided by the Township Engineer and/or Brighton Area Fire Authority.
4. Aside from the screening requirements (buffer zone B), the revised submittal is generally compliant with the conditions of Section 7.02.02(d).
5. We request the applicant identify the dimensions and square footage of each outdoor area proposed, with an understanding that they will be limited to such area.

B. Proposal/Process

The proposal includes outdoor display/storage/sales areas along the front and rear of the building, as well as within the northerly and westerly parking lots that are accessory to a permitted commercial use (Lowe’s Home Center). Per the PUD Agreement for the Livingston Commons development, such uses are allowed with special land use approval.

Section 7.02.02(d) of the Township Zoning Ordinance includes conditions applicable to commercial outdoor display, storage and sales.

Procedurally, following the required public hearing, the Planning Commission is to put forth a recommendation to the Township Board on the special land use, site plan review and Impact Assessment.

The Board has the final review/approval authority over the project.



Aerial view of site and surroundings (looking west)

C. Special Land Use Review

Special land uses are subject to the review criteria of Section 19.03, as follows:

- 1. Master Plan.** The Township Master Plan identifies the site and adjacent properties as Regional Commercial, which is intended for “higher intensity commercial uses that serve the comparison shopping needs of the entire community and the regional market.”

The Master Plan does not specifically address outdoor uses within Regional Commercial, but does note the intent to allow “big box retail,” which is consistent with the principal use of this site.

Given the nature of the request and the planned uses for the subject area, we believe the proposal is compatible with the Master Plan and Future Land Use Map.

- 2. Compatibility.** The site and adjacent properties are part of a large PUD that includes a variety of commercial/service establishments. The inclusion of some outdoor components is not expected to adversely impact the nature of this area, though the use conditions of Section 7.02.02(d) are intended to ensure this is the case.

As outlined in Paragraph D below, the revised submittal is generally compliant with the use conditions; however, the outdoor areas are not screened by full buffer zones.

- 3. Public Facilities and Services.** Given the site is already developed, we anticipate necessary public facilities and services are in place. However, in an effort to improve traffic circulation and public safety, we suggest the Township require the applicant to provide a cross-access easement from the rear of the site (Garden Center area) to the outlot immediately adjacent to the east. This request has been made in the past and we believe it is prudent to address this matter as part of the new special land use request.

Additionally, the applicant must address any issues raised by the Township Engineer and/or Brighton Area Fire Authority with respect to this standard.

- 4. Impacts.** Similar to the compatibility comment noted above, aside from the buffer zone requirements, the use conditions are generally met.
- 5. Mitigation.** If additional concerns arise as part of the review process, the Township may require mitigation efforts to alleviate/eliminate potential adverse impacts.

D. Use Conditions

The proposed use is also subject to the use conditions of Section 7.02.02(d), as follows:

1. Minimum lot area shall be one (1) acre.

The revised plan identifies the lot area as 14.98 acres.

2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.

The revised submittal states that “products such as soils, fertilizer, or similar products will be in enclosed bags and containers to prevent dust or blowing of materials.”

3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.

Each of the areas proposed is located on an existing paved surface.

4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the commercial outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.

The outdoor areas depicted on the site plan comply with the setback requirements established for this PUD.

5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.

The revised plans identify a building area of 135,197 square feet.

6. All loading and truck maneuvering shall be accommodated on-site.

This standard is met.

7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.

The areas noted as “B” and “D” are screened with 8-foot tall Arborvitae, though none of the outdoor areas proposed provide a full buffer zone B, per this requirement.

- 8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district, will not be visible from an expressway and such storage is confined to within twenty (20) feet of the building.**

As noted above, areas "B" and "D" are screened with 8-foot tall Arborvitae, though the height of material/equipment stored is not identified. No screening is identified for the remaining areas, though the areas within the rear yard are adjacent to the building and will not exceed the height of the building.

E. Site Plan Review

- 1. Dimensional Requirements.** As noted under the use conditions (paragraph D4), the proposed outdoor display/storage/sales areas comply with the dimensional standards for this PUD.

With that being said, we request the applicant identify the dimensions and square footage of each outdoor area with an understanding that they will be held to these dimensions moving forward. Any expansion beyond these dimensions will be treated as a violation or will require submittal of an amended site plan in accordance with the provisions of the Township Zoning Ordinance.

- 2. Pedestrian Circulation.** The revised plans note that: 1) egress paths and doors shall not be obstructed at any time; and 2) adequate width for pedestrians will be maintained at all times. These comments area also re-emphasized in the revised Impact Assessment.
- 3. Vehicular Circulation.** The revised plans provide drive aisles meeting or exceeding the minimum standards of the Zoning Ordinance. However, as noted under the special land use review, we suggest the Township require the applicant to provide a cross-access easement to the outlot adjacent to the east.

This will eliminate the need for shared trips between the sites to travel back to the main roads, which will improve circulation throughout the PUD. This would also be consistent with standard requirements of a PUD, which are intended to be cohesive developments with interior drive connections.

- 4. Parking.** The revised plans include parking calculations demonstrating that the requirements of Article 14 will still be met, even with the loss of spaces to accommodate the proposal.
- 5. Signs.** The revised submittal indicates that no new signage is proposed as part of this project.
- 6. Impact Assessment.** The submittal includes a revised Impact Assessment (dated 6/18/19), which states that the project is not anticipated to adversely impact natural features, public services/utilities, pedestrian/vehicular circulation or surrounding land uses.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,
SAFEBUILT STUDIO


Brian V. Borden, AICP
Planning Manager

Lowes

2002- Consent judgement

2007 -April 2- Special Land Use Approval by Township Board

2016- Last year for special use permit

May- email about violation of outdoor storage

September- email about violation of outdoor storage

2017- **April-** email about violation of outdoor storage

May 3- Renewal for special Use denied due to lack of compliance

May 4- Pictures from Kelly about items in front of store that are not allowed/ outdoor storage

May 30- Permission for a temporary event, many violations of outdoor storage and litter

2018 - March 14- delivered letter to Lowes about outdoor storage violations

March 19- Still violations of Outdoor storage

March 22- Kelly let Lowes know Special Land use permit was revoked and we are happy to meet to discuss options

March 27- Plants out front put away

March 30- Violations cleaned up

April 2- Plants back out, emailed plants have to be put away due to no special use permit

April 24- Email from Kelly to Rick Keller that plants need to be put away

May 1- since Lowes did eventually comply with request, temporary event waiver was offered and Issued.

2019- **May-** Approved temporary event for 28 days

June 4- Letter to Lowes that while going through Planning Commission process all uses that were requested for special land use would be allowed but any delay in special land use approval would revert back to no outdoor use.

April- July- Weekly pictures taken of litter outside along with outdoor storage



June 28, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Lowe's Outdoor Storage Site Plan and Special Use Permit Application Review No. 2

Dear Ms. Van Marter:

Tetra Tech conducted a second site plan review of the revised Lowe's site plan and special land use application received on June 19, 2019. The site plans were prepared by Freeland and Kauffman, Inc. on behalf of Lowe's Home Centers, LLC. The petitioner is requesting a special land use for additional outdoor storage areas in the existing parking lot and on three sides of the existing building. We offer the following comments:

GENERAL

1. The proposed quick load area shown on the east side of the existing building is within the existing water main easement. It is unclear what the intended use of this area is, however, if it includes storage or barrier construction then it would impede access to the municipal water utility. The petitioner should clarify the use of this area with the goal of limiting the interference with the existing 12-inch water main and its associated easement area.
2. The proposed "Area B" shown on the east side of the existing building is within the existing sanitary sewer easement. This area should not be used for material storage, as it may impact access to the existing 8-inch sanitary sewer and easement area.

We recommend the petitioner address the above comments to the satisfaction of the Planning Commission.

Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.
Vice President

A handwritten signature in blue ink, appearing to read 'Shelby Scherdt'.

Shelby Scherdt
Project Engineer

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 26, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Lowe's Outdoor Storage/Special Use
1100 S. Latson Rd.
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on June 19, 2019, and the drawings are dated June 18, 2019. The project is based on an existing Mercantile-use. The facility has applied for a special land-use permit to increase the quantity of outside storage in the front and rear of the store.

The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All areas of concern have been substantially addressed and revisions made to reflect them.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

**Lowe's Home Centers
Genoa Township, MI**

Impact Assessment

Original Submittal: 5/22/19

Revised: 6/18/19

FREELAND and KAUFFMAN, Inc.

Engineers • Landscape Architects

209 West Stone Avenue

Greenville, South Carolina 29609

Tel: 864.233.5497

Fax: 864.233.8915

Assessment Preparer:

Freeland & Kauffman, Inc.
Todd Simmons, PE
209 West Stone Avenue
Greenville, SC 29609

Description of Site:

The existing site is currently an operating Lowe's Home Improvement retail facility. As such, the site is highly impervious due to the existing building, parking, sidewalk, and delivery areas inherent to this commercial use. There is no evidence of wetlands or floodplains affecting this site and existing drainage patterns will be unaltered based upon the nature of this request.

Impact on Natural Features:

Given that the impacted area is entirely impervious, no adverse impact on natural features is anticipated. A small amount of impervious area is proposed for removal, while additional landscape plantings are proposed on the east side of the site. With this proposed change, it is anticipated that natural features would be enhanced.

Impact on Stormwater Management:

The proposed area is currently served by an existing regional stormwater facility located on the west side of the shopping center tract. No modifications to drainage patterns are proposed. A small decrease in impervious area will be realized (320 sf +/-) as part of this request and thus the existing facility will continue to serve the site.

Impact on Surrounding Land Uses

The existing site is located in a commercial area and the sales / display / storage areas being requested are inherent to a business of this nature and complement the retail use. Additional screening is proposed on the east side of the site in order to minimize any

potential impact from adjacent properties to the east or visual impacts from public rights of way. The corral proposed in the front parking field is a time limited request that will provide orderly display of merchandise in keeping with the retail setting.

Impact of Public Facilities and Services:

The existing site is currently an operating Lowe's Home Improvement retail facility and the requested modification to the site is not anticipated to impact public facilities or services.

Impact on Public Utilities:

The existing site is currently an operating Lowe's Home Improvement retail facility and the requested modification to the site is not requesting any additional public utilities. As such, no impact to public utilities is anticipated.

Storage and Handling of Hazardous Materials:

Products such as fertilizers, mulch, pool chemicals, or any other materials deemed hazardous, are to be located within the garden center and/or in the parking lot corral in front of the garden center and/or in the outside lawn & garden (OSLG) storage area shown east of the garden center. Any storage of this type of material will be in enclosed bags and containers.

Impact on Traffic and Pedestrians:

1. The proposed area for outdoor sales / display is an extension of the existing use and the additional area will provide for better pedestrian maneuverability at the facility. A minimum 3' walkway will be maintained between plant tables and through sidewalk area for ADA accessibility. No emergency entrance / exits will be blocked by sales / storage / display areas. No adverse impact to traffic and pedestrians is anticipated. The rear driveway will maintain a minimum clear width of 26 feet.

Special Provisions:

This request is to allow for sales / storage / display to be utilized at this facility with the following conditions:

Area A (Rear Storage Area) – This area is to be utilized for bundled / tarped lumber storage adjacent to the staging area. Area shall not interfere with required fire access and driveway aisle must be maintained at a minimum clear width of 26 feet.

Area B (Storage Area Adjacent to Garden Center) – This area is to be kept neat and orderly. Empty plant tables to be located in this area and screened from public right of way, to the extent possible. Area shall not interfere with required fire access and driveway aisle must be maintained at a minimum clear width of 26 feet.

Area C (Front Sidewalk Display Area) – This area is to be kept neat and orderly and not impact required fire lane access. ADA access is to be maintained and material will not block any required entrance / exit from the facility.

Area D (Parking Lot Corral) – This area will be date restricted and is requested to be allowed from April 1 – October 1 each year. The corral will be as depicted on the attached plans or in a manner approved by Township Staff. Plant materials in the corral will consist of live goods (trees, shrubs, plants, annuals, perennials, etc.).

OUTDOOR SALES / STORAGE / DISPLAY SPECIAL USE PERMIT REQUEST

FOR

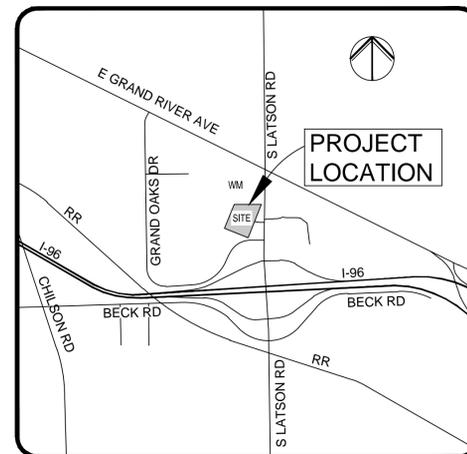


1100 SOUTH LATSON ROAD
HOWELL, MICHIGAN 48843
GENOA CHARTER TOWNSHIP

PRELIMINARY
NOT FOR
CONSTRUCTION

GENERAL NOTES:

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHO-EVER IS LESS, CONTACT FREELAND AND KAUFFMAN, INC. (864-233-5497) AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. OWNER AND FREELAND AND KAUFFMAN, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
3. CALL UTILITY LOCATION SERVICE: UTILITY LOCATOR SERVICE 72 HOURS IN ADVANCE OF DIGGING AT BIL.
4. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CURRENT LOWE'S SITE WORK SPECIFICATIONS.
5. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
6. EROSION & SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.



VICINITY MAP - N.T.S.

RECEIVED
By Amy Ruthig at 9:45 am, Jun 19, 2019

GOVERNMENT CONTACTS

PLANNING
GENOA TOWNSHIP
PLANNING & ZONING
2911 DORR ROAD
BRIGHTON, MI 48116
CONTACT: PLANNING & ZONING DEPT.
TEL: 810-227-5225

OWNER
LOWE'S HOME CENTERS, LLC
1000 LOWES BLVD.
MOORESVILLE, NC 28117
TEL: 336-658-4806
ATTN: MATTHEW MINTON, PE

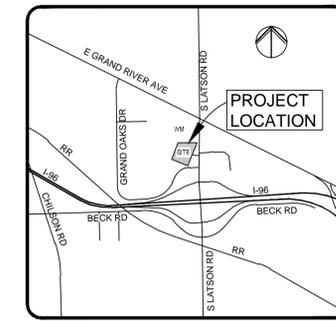
ENGINEER - LANDSCAPE ARCHITECT
FREELAND & KAUFFMAN, INC.
209 W. STONE AVENUE
GREENVILLE, SC 29609
TEL: 864-672-3426
ATTN: TODD SIMMONS, PE

DATE	REVISIONS

ISSUE DATE: JUNE 18, 2019

WALMART
 WAL-MART STORES #DIVISION-STORE
 STORE #1754 DEPT 0555
 PARCEL #4711-05-400-049
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

CONSUMERS ENERGY COMPANY
 PARCEL #4711-04-300-017
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)



VICINITY MAP - N.T.S.

CONSUMERS ENERGY COMPANY
 PARCEL #4711-04-300-017
 ZONED: GCD
 (GENERAL COMMERCIAL)

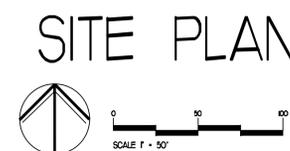
RITZ, JAMES & PAMELA
 PARCEL #4711-09-100-004
 ZONED: GCD
 (GENERAL COMMERCIAL)

GENOA PLACE APARTMENT II LLC
 PARCEL #4711-09-100-018
 ZONED: HDR
 (HIGH DENSITY RESIDENTIAL)

GENOA HEALTH-CARE INVESTORS
 PARCEL #4711-09-100-038
 ZONED: RR
 (RURAL RESIDENTIAL)

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL GENOA CHARTER TOWNSHIP REGULATIONS AND CODES AND OSHA STANDARDS.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADII ARE 4' UNLESS OTHERWISE NOTED.
3. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM DESIGN DRAWINGS FOR 'SOUTH-POINTE COMMONS' BY HERITAGE ENGINEERING, LLC.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE WORK SPECIFICATIONS.



SCALE 1" = 50'

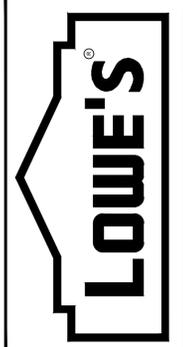
REVISIONS

DATE	DESCRIPTION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 (864) 233-5497

LOWE'S HOME CENTERS, LLC
 1605 CURTIS BRIDGE RD.
 N. WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)
THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2007 ALL RIGHTS RESERVED.



SITE PLAN
 LOWE'S OF:
 HOWELL
 HOWELL, MICHIGAN
DRAWN BY: DAC CHECKED BY: BJS

ORIGINAL ISSUE DATE: 06/18/2019
 PERMIT SET ISSUE DATE:
 CONSTRUCTION SET ISSUE DATE:
 DRAWING NUMBER:
 2

LOWE'S

1. EGRESS PATHS AND DOORS SHALL NOT BE OBSTRUCTED AT ANY TIME
2. ADEQUATE WIDTH FOR PEDESTRIANS WILL BE MAINTAINED AT ALL TIMES

PARKING CALCULATIONS

TENANT	AREA SF	REQUIRED RATIO	REQUIRED PARKING	PARKING PROVIDED	RATIO PROVIDED
LOWE'S	135,977 SF	1 SPACE PER 300 SF, USEABLE FL. AREA	453	576	1 SPACE FOR EACH 235 SF.

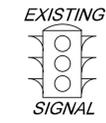
PLANT LIST

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	SPACING
1		PINUS STROBUS	EASTERN WHITE PINE	8' MIN. HT., BEB	AS SHOWN
37		THUJA OCCIDENTALIS 'TECHNY'	TECHNY AMERICAN ARBORVITAE	8' MIN. HT., BEB	8' O.C.



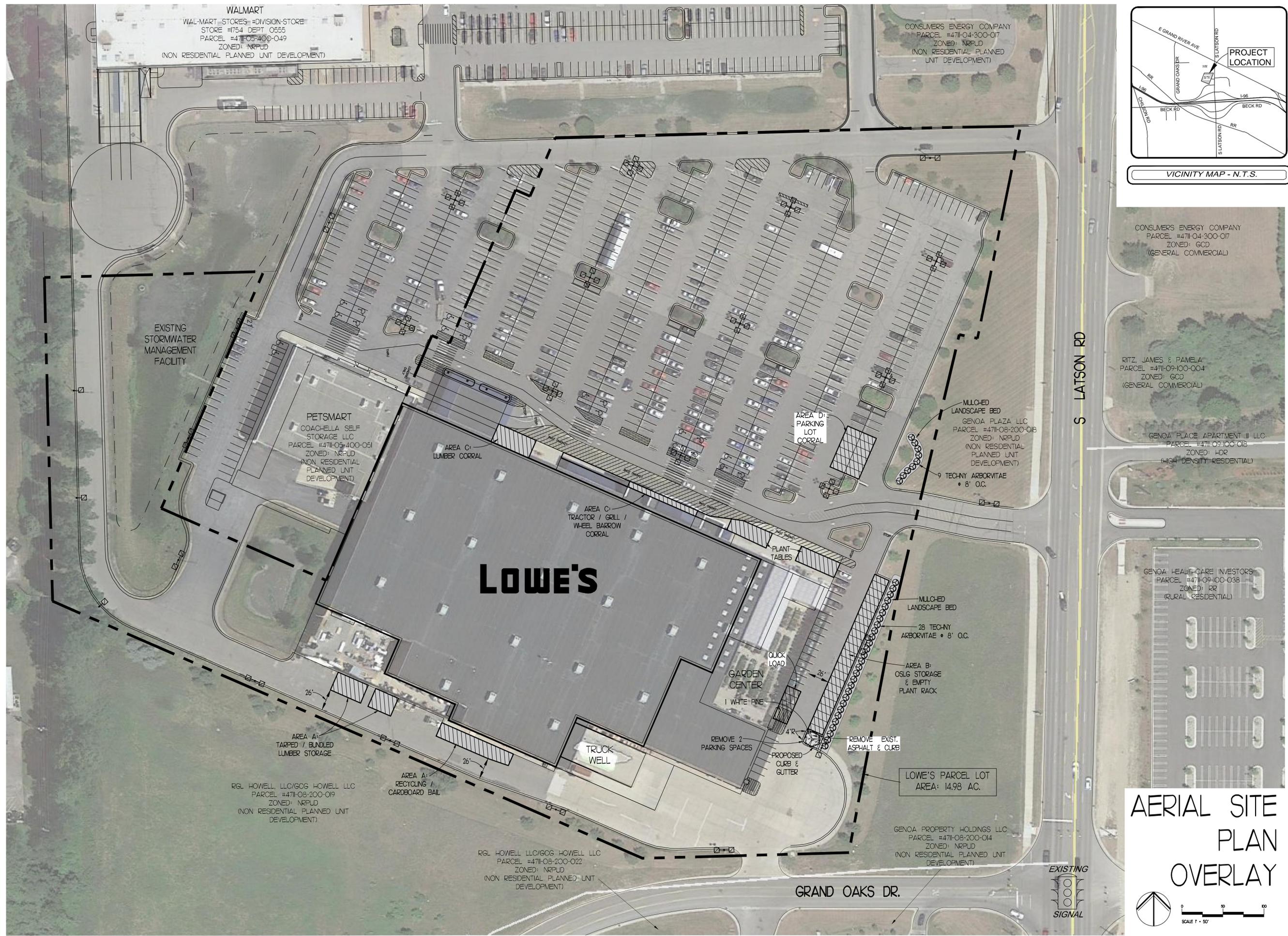
RGL HOWELL, LLC/GCG HOWELL LLC
 PARCEL #4711-08-200-019
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

RGL HOWELL, LLC/GCG HOWELL LLC
 PARCEL #4711-08-200-022
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)



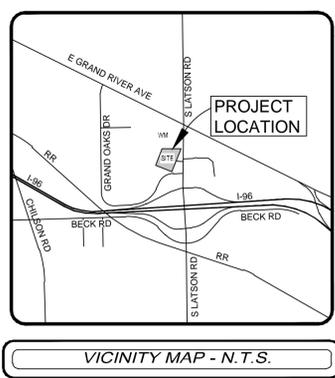
GRAND OAKS DR.

S LATSON RD



WALMART
 WAL-MART STORES - DIVISION-STORE
 STORE #1754 DEPT 0555
 PARCEL #4711-05-400-049
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

CONSUMERS ENERGY COMPANY
 PARCEL #4711-04-300-017
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)



CONSUMERS ENERGY COMPANY
 PARCEL #4711-04-300-017
 ZONED: GCD
 (GENERAL COMMERCIAL)

RITZ, JAMES & PAMELA
 PARCEL #4711-09-100-004
 ZONED: GCD
 (GENERAL COMMERCIAL)

GENOVA PLACE APARTMENT II LLC
 PARCEL #4711-09-100-018
 ZONED: HDR
 (HIGH DENSITY RESIDENTIAL)

GENOVA HEALTH-CARE INVESTORS
 PARCEL #4711-09-100-038
 ZONED: RR
 (RURAL RESIDENTIAL)

GENOVA PLAZA LLC
 PARCEL #4711-08-200-018
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

PETSMART
 COACHELLA SELF STORAGE LLC
 PARCEL #4711-05-400-051
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

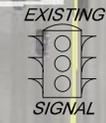
RGL HOWELL, LLC/GCG HOWELL LLC
 PARCEL #4711-08-200-019
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

RGL HOWELL LLC/GCG HOWELL LLC
 PARCEL #4711-08-200-022
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

GENOVA PROPERTY HOLDINGS LLC
 PARCEL #4711-08-200-014
 ZONED: NRPUD
 (NON RESIDENTIAL PLANNED UNIT DEVELOPMENT)

LOWE'S PARCEL LOT
 AREA: 14.98 AC.

AERIAL SITE PLAN OVERLAY



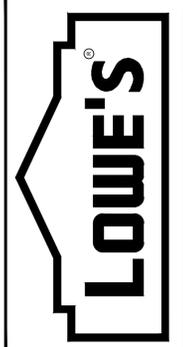
REVISIONS

DATE	DESCRIPTION

PRELIMINARY CONSTRUCTION NOT FOR CONSTRUCTION

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 (864) 233-5497

LOWE'S HOME CENTERS, LLC
 1605 CURTIS BRIDGE RD.
 N. WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)



AERIAL SITE PLAN OVERLAY
LOWE'S OF HOWELL
HOWELL, MICHIGAN

ORIGINAL ISSUE DATE:	06/18/2019
PERMIT SET ISSUE DATE:	
CONSTRUCTION SET ISSUE DATE:	
DRAWING NUMBER:	3

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
SPECIAL MEETING
JUNE 24, 2019
6:30 P.M.
AGENDA**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Jeff Dhaenens, Jill Rickard, Chris Grajek and Eric Rauch. Absent were Marianne McCreary and Jim Mortensen. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Brian Borden of SafeBuilt Studio, and Gary Markstrom of Tetra Tech. There were ten audience members present.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Rickard, seconded by Commissioner Grajek, to approve the agenda as presented. **Motion carried unanimously.**

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

OPEN PUBLIC HEARING # 1... Review of a special use, site plan and environmental impact assessment for a proposed 60,335 sq. ft. industrial building located at 5665 Sterling Drive, Brighton. The request is petitioned by Schonscheck, Inc.

Mr. Dave Haskins with Schonscheck and Mr. Allan Pruss with Monument Engineering were present. Mr. Haskins explained that Masonite is the parent company of US Wood Door. Masonite purchased A & F Wood products in 2017. The existing building is at capacity. In addition to the parcel with the existing building they purchased 2 additional vacant parcels. They intend to reconfigure the parcel with the existing building and combining parcels 2 and 3 into one large parcel. The plans are to build a new building and eventually sell or lease the existing building. The proposed building is 59,400 square feet. There is a truck dock on the west with possible future expansion to the south. The building is proposed to be made of precast concrete for durability. Approximately 5,000 square feet is office with 55,000 being the shop comprised of warehousing and manufacturing. US Wood Door corporate colors are red and gray. They are proposing red accent colors on the east and north elevations. The majority of the building will be light gray with darker gray accents. They have also added landscaping to help break up the elevations on long building sides as requested. The north elevation has red vertical accents and red "fin" decorative accents. They are also proposing red for the canopy roof on the front elevation.

Chairman Brown indicated to the Commission that he drove the highway to check site visibility and was not able to see the existing building.

Mr. Brian Borden reviewed his letter dated June 10, 2019. This requires special land use due to the building size. There is a small correction that needs to be made to the building size and any offsite improvements will need approval from adjacent owners. Mr. Pruss responded that they own all the parcels and will ensure that shared access and stormwater agreements are provided.

Mr. Borden states that the applicant is requesting relief from the wall and/or berm requirement of the buffer zone B standard. Chairman Brown asked how far they are from I-96. Mr. Borden responded approximately 279 feet. Mr. Pruss stated that in addition to the distance, the building is over 15 feet up from the highway due to topography on the site so a wall or berm wouldn't screen the building.

Mr. Borden indicates that no signage is shown and the applicant will need sign permits for any proposed signs.

Mr. Gary Markstrom reviews his letter dated June 3, 2019. There will need to be reciprocal easements for the stormwater system. Construction plans will be required for the public watermain. The Fire Department Connection shall be relocated. There is a concern over where water from the service drive will go and where the outflow from the detention basin will go. Mr. Pruss indicates they plan to address these issues. Chairman Brown asked if this should be a condition of approval. Mr. Markstrom responds that they should be required for approval.

Chairman Brown reviewed the comments in the Fire Department letter dated June 3, 2019. Mr. Pruss indicated that they will continue to work with the Fire Department and will address their issues.

Commissioner Grajek questioned why they show 5 overhead truck doors when the impact assessment says they only get 1 to 2 truck deliveries per week. It seems that the loading needs described don't match what is shown. Mr. Haskins responds that Masonite is planning for the future and this is what they told him they needed. Ms. Judy Richardson the office manager for US Wood Door stated that they currently have 4 doors and only 3 trucks but due to timing and other logistics issues the extra doors are necessary.

Commissioner Rickard asks if the parking and drive aisles as shown are permitted in the setbacks and if the building is in an existing watermain easement. Mr. Markstrom responded that the existing easements will need to be eliminated. Mr. Borden stated that the setback requirements are met.

Commissioner Dhaenens suggested that they serve the building with multiple telecommunications providers for good planning.

The call to the public was made at 7:03pm with the following response:

Gary Mitter of 5796 E. Grand River owns the property to the north and has 5 major concerns. The first concern is that the turnaround which is needed is not big enough for a semi to turn around. This is an industrial area and semi-trucks will need to be able to turn around. The second

concern is the fire lane access to Gray Road. This access area will need to be completely fenced because there is much vandalism and theft from Gray Road on his property. If there is no solid fence it will become an access point for people. The third concern is the way this property is currently divided into three sections. The fire access road should come in on the middle of the property to serve all the parcels and future users. The last concern is related to the water in the pond and the drainage. The drainage now goes to the east and the stormwater facility should be put in the low area.

Mr. Pruss states that they are proposing a gate for the access road but it will not be fenced. Mr. Mitter responded that it will need to be fenced because they are providing access to his property and they will cut the fence and steal from him. He has been here a very long time. This should be one parcel instead of three and there must be a proper turn around. Mr. Haskins indicated that they have gone through great lengths to meet with Township staff and have spent considerable effort to comply with all standards.

The call to the public was closed at 7:10pm.

Commissioner Grajek questioned if the turnaround is big enough. Mr. Markstrom responded that it has a 50 foot radius cul-de-sac which meets standards. There isn't enough right of way to go any bigger.

A. Recommendation of Special Use Application

Moved by Commissioner Grajek to recommend to the Township Board approval of the Special Land Use for an industrial building over 40,000 square feet located at 5665 Sterling Drive, Brighton. This recommendation is made because the project complies with the standards of Section 19.03 of the Township Zoning Ordinance.

Supported by Commissioner Rauch.

Motion carried unanimously.

B. Recommendation of Environmental Impact Assessment (5-22-19)

Moved by Commissioner Grajek to recommend approval to the Township Board of the Environmental Impact Assessment dated April 24, 2019 for a proposed 59,400 square foot industrial building located at 5665 Sterling Drive, Brighton.

Supported by Commissioner Rauch.

Motion carried unanimously.

C. Recommendation of Site Plan (5-22-19)

Moved by Commissioner Grajek to recommend approval to the Township Board of the Site Plan dated May 22, 2019 for a proposed 59,400 square foot industrial building located at 5665 Sterling Drive, Brighton subject to the following:

1. The buffer zone B requirement for the berm or wall is waived due to the presence of existing vegetation, distance from the property line and topography.
2. Easements for utilities, shared drainage and reciprocal access shall be provided.

3. The discharge of the detention pond shall be addressed and approved by the Township Engineer.
4. The requirements of the Fire Department shall be complied with.
5. The corrections to the building and landscaping as requested by the Township planner shall be made.
6. All conditions of the Township Engineer and Township Planner in their respective review letters shall be addressed.
7. Construction plan review and necessary utility easements shall be required.
8. The building materials submitted this evening are acceptable and will become property of the Township.

Supported by Commissioner Rauch.

Motion carried unanimously.

OPEN PUBLIC HEARING #2... Review of an environmental impact assessment and a site plan for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. The request is petitioned by Enterprise Leasing Company.

Scott Inman with Enterprise and Andre Brooks the designer were present. Mr. Inman states that they are looking to expand their current car wash facility. They have a single bay and would like to have 2 wash bays to be more efficient and better serve their customers. They are proposing to come off 8 feet to the south with a building addition. They are also asking as an extra request to be able to pave the existing gravel parking lot. They initially were only going to ask for the building addition but decided to add the parking area since they were already going through the process. This request is to improve customer service.

Chairman Brown asked if the customer parking is currently in the back. Mr. Inman responded that it is.

Brian Borden presents his review letter dated June 4, 2019. Procedurally the Planning Commission recommends the impact assessment and approves the site plan. There are minor inconsistencies on the building addition size that need to be corrected in addition to lot area calculations that need to be provided. Mr. Brooks indicates that he provided a response letter to Mrs. VanMarter to address these issues. The new lot coverage amount is 54% impervious.

Mr. Borden indicates that the proposed building materials are not to current ordinance standards but they Planning Commission has discretion to allow them to match the existing building. The drive aisle is 20 feet and the ordinance standard is 24 feet. The applicant shall indicate compliance with the aisle width standard. Mr. Brooks responds that the dimensioning plan shows that it is the required 24 feet.

Mr. Borden states that they should make the small correction to the parking numbers and also he is suggesting consideration of eliminating non-conformities if possible. Non-conforming issues such as lighting or signs can be considered. Mr. Inman responds that they have upgraded to LED light fixtures and he has pictures if they are needed.

Mr. Borden suggests one additional Grand River greenbelt tree be planted to meet the ordinance requirement. In addition, more information is needed to confirm compliance with the waste receptacle standards. Mr. Brooks stated that sheet C-3 contains the waste receptacle standards. Mr. Borden reviews the details and approves.

Chairman Brown requested that the truck cap in the weeds on the east side and the dishwasher in the weeds on the west side be cleaned up. Mr. Inman agreed to have them cleaned up.

Gary Markstrom reviewed his letter dated June 4, 2019. A cross section of the parking lot needs to be provided to comply with Zoning Ordinance requirements. The dumpster is located in the back-out area of the last 2 parking spots. The dumpster should be moved or these parking spaces eliminated. Mr. Brooks indicated they will remove the last 2 spaces. Mr. Markstrom has considerable drainage and grading concerns. The design of the plans will overflow the basin to the swale and the basin will not drain totally. There are no soil borings to show the basin will infiltrate. Mr. Brooks states they have designed this to a 100 year storm. The basin will dewater by gravity and infiltration and it will push to the swale. Commissioner Rickard states this is not a good plan and it does not handle the water properly. Mr. Brooks states that usually you drain the restricted overflow to a storm sewer but there isn't that option here. Mr. Markstrom needs to have soil borings to show infiltration. The 12 inch pipe will not function as shown and the pond will overflow at every storm. Mr. Brooks states they can provide borings and there is 150 feet of the perforated pipe to help with the infiltration. Commissioner Rauch is concerned with a water backup onto the daycare property creating a trespass issue. Mr. Markstrom requests that they show the grading out of the west side of the building to show the swale and they need to show where the water is going since the plans show the catch basin on the daycare property and not in the road right of way. Chairman Brown asked how long it will take to get soil borings. Mr. Brooks states it would take 2 – 3 weeks.

Commissioner Rauch inquired if the main priority was the building expansion and not the parking was there a way to approve just the building addition. Mr. Inman agreed that the building addition for the additional wash bay was the most important item. Mr. Markstrom stated he wouldn't have too much to review if it was just the building addition since the area is already paved.

Mr. Brooks asked to talk about the drainage. For the 100 year storm this plan will function the same as it does now. This is the same condition. Commissioner Rauch explained that this more than a Township issue. The plans have to meet the requirements of the Livingston County Drain Commissioner. The Township review is for compliance with the County standards. You cannot get a permit from them for the plans as shown. Mr. Markstrom stated he is unable to issue an approval letter for the plans in their current form. Mr. Brooks states that he has talked to the County and they comply with their rules.

Commissioner Rauch asked Mr. Borden if there was a way to just approve a portion of the plans to allow the building addition. Mr. Borden responded that it would be difficult to pick and choose because there are other elements on the plans like the dumpster and landscaping. It would be best to break out the things they needed with the building and present updated plans. Ms. VanMarter indicated that there is limited availability for the next meeting scheduled for July 8 because the consultants need time to review. Mr. Borden and Mr. Markstrom indicated they would need updated plans by this Wednesday to try and comment back in time for the next meeting. Ms. VanMarter stated she would do her best to work with the applicant to get them on the next meeting but they would have to get revised plans in within the next day or two.

Mr. Brooks states that the parking calculations were fixed in response to the Safebuilt letter item number 6. He also wanted clarification if the existing shrubs could be counted as credit towards the landscaping as indicated in the first review letter. Mr. Borden responded that they have to show the shrubs on the landscape plan if they want them to be included. Mr. Brooks asked if they could approve the project contingent on the stormwater issues being resolved with the engineer. Mr. Markstrom stated that poor infiltration soils could change the whole layout of the site plan so the approval should not be granted.

The call to the public was made at 8:00pm with no response.

- A. Recommendation of Environmental Impact Assessment (3-26-19)
- B. Disposition of Site Plan (5-22-19)

At the request of the petitioner, it was **Moved** by Commissioner Rauch to postpone the recommendation of the environmental impact assessment and disposition of the site plan to the July 8, 2019 Planning Commission meeting for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. Supported by Commissioner Grajek.

Motion carried unanimously.

OPEN PUBLIC HEARING #3...Review of a site plan amendment for material modifications to the existing Courtyard Marriott located at 7799 Conference Center Drive, Brighton. The request is petitioned by Robert Nofar, and Paul Krysinski, Axis Construction.

Paul Krysinski with Axis Construction and Robert Nofar the owner were present. This is a corporate mandated improvement to the building façade. The design is from Marriott Courtyard and includes a new porte cochere along with updated building materials. They have provided pictures of similar treatments on a different location. They are maintaining at least 80% of the existing masonry and adding Nichiha wooden fiber board panels with EFIS accents along with LED lighting.

Brian Borden reviewed his letter dated June 21, 2019. The porte cochere is only 19 feet wide and must be used for one-way circulation only. Mr. Krysinski confirmed that the porte cochere is only one-way. Mr. Borden states that the proposed lighting in the porte cochere shall comply with the Township ordinance. Mr. Krysinski responded that the lighting is concealed within the canopy and will be below the 10 foot-candle maximum established in the ordinance.

Mr. Borden stated that the plans show 3 wall signs while the property received a variance which allows them to have 2 wall signs with a combined maximum size of 150 square feet. Mr. Nofar asked for a variance to allow the 3 signs. Mr. Borden responded that an application to the Zoning Board of Appeals would be required.

Mr. Borden indicated that the proposed Nichiha panels and EFIS may be over the maximum 25% established in the ordinance. Commissioner Rauch stated that the commission recently approved something similar for Aldi and he supports the proposed finishes. The Nichiha is a very good product. Mr. Borden is concerned that any EFIS at grade level may be susceptible to damage where it comes into contact with pedestrians or vehicles. Mr. Krysinski responded that the EFIS is only proposed low on the building in areas adjacent to landscape areas. Only the Nichiha is proposed where it may be adjacent to people or cars.

Chairman Brown reviews the Fire Department letter. The porte cochere must have 13.5 feet of vertical clearance.

The call to the public was held at 8:24pm with no response.

- A. Disposition of Site Plan Amendment.

Moved by Commissioner Grajek to approve the site plan amendment for the exterior renovations for the Courtyard by Marriott located at 7799 Conference Center Drive, Brighton subject to the following:

1. All conditions of the Fire Department and Township Planner in their respective review letters shall be addressed.
2. The Commission finds the use of Nichiha panels over 25% acceptable.
3. One way circulation shall be maintained under the porte cochere.
4. Signage shall obtain sign permits and shall comply with the variance granted by the Zoning Board of Appeals.
5. The lighting shall comply with the maximum 10 foot-candle requirements.
6. The building materials submitted this evening are acceptable and will become property of the Township.

Supported by Commissioner Rickard.

Motion carried unanimously.

OPEN PUBLIC HEARING #4...Consideration of Zoning Ordinance Text amendments to Article 25 of the Zoning Ordinance, entitled "Definitions".

Kelly VanMarter states that the changes to Article 25 were included in last month's packet however due to publication requirements they are schedule for public comment and recommendation this evening. The changes proposed to the definitions section serve to support the proposed uses in Article 7 as they relate to brewpubs, climate controlled indoor storage, mini storage, and small winery. Moving forward Township staff intends to send both Articles 7 and 25 to the County and Township Board for consideration together.

The call to the public was made at 8:29pm with no response.

Moved by Commissioner Grajek to recommend approval to the Township Board of the proposed amendments to Article 25 as submitted.

Supported by Commission Rauch.

Motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. VanMarter stated applications have been received for the July Planning Commission meeting from Home Depot and Lowe's. Both are seeking to re-establish their special land use permits for outdoor sales, storage and display after staff denied renewal due to years of non-compliance.

Approval of the May 13, 2019 Planning Commission meeting minutes

Planning Commission Meeting
June 24, 2019 Unapproved Minutes

Moved by Commissioner Dhaenens to approve the minutes of the May 13, 2019 Planning Commission Meeting as presented. Supported by Commissioner Rickard. **The motion carried unanimously.**

Member Discussion

Commissioner Rickard indicated she is a maybe to be able to attend the July meeting.

Adjournment

Moved by Commissioner Dhaenens, seconded by Commissioner Rauch to adjourn the meeting at 8:41 pm. **The motion carried unanimously.**

Respectfully Submitted,

Kelly VanMarter, Recording Secretary