

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
SPECIAL MEETING
JUNE 24, 2019
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OPEN PUBLIC HEARING #1...Review of a special use, site plan and environmental impact assessment for a proposed 60,335 sq. ft. industrial building located at 5665 Sterling Drive, Brighton. The request is petitioned by Schonsheck, Inc.

- A. Recommendation of Special Use Application
- B. Recommendation of Environmental Impact Assessment (5-22-19)
- C. Recommendation of Site Plan (5-22-19)

OPEN PUBLIC HEARING #2...Review of an environmental impact assessment and a site plan for a proposed 358 sq. ft. building expansion and parking lot expansion for Enterprise Rental Car located at 7184 Grand River Avenue, Brighton. The request is petitioned by Enterprise Leasing Company.

- A. Recommendation of Environmental Impact Assessment (3-26-19)
- B. Disposition of Site Plan (5-22-19)

OPEN PUBLIC HEARING #3...Review of a site plan amendment for material modifications to the existing Courtyard Marriott located at 7799 Conference Center Drive, Brighton. The request is petitioned by Robert Nofar, and Paul Krysinski, Axis Construction.

- A. Disposition of Site Plan Amendment.

OPEN PUBLIC HEARING #4... Consideration of Zoning Ordinance Text amendments to Article 25 of the Zoning Ordinance, entitled "Definitions".

- A. Recommendation of Amendments to Article 25.

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Approval of May 13, 2019 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Schonscheck, Inc. 50555 Pontiac Trail, Wixom, MI 48393
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Masonite Corporation

SITE ADDRESS: 5665 Sterling Drive PARCEL #(s): 4711-15-200-028 / 4711-15-200-029
4711-15-200-030

APPLICANT PHONE: (248) 669-8800 OWNER PHONE: (920) 365-2222

OWNER EMAIL: barmbruster@masonite.com

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

The project is located at 5665 Sterling Drive, Howell, MI 48843. Masonite Corporation

owns the three parcels and their current facility is located on the north parcel.

This project will be built on the other two vacant parcels.

BRIEF STATEMENT OF PROPOSED USE: _____

Masonite Corporation manufactures, stores and distributes pocket door frames

and commercial architectural wood doors. Due to growth, the new facility will

accommodate expansion space needed to meet the industry demand.

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

59,400 SF facility with related site work and improvements.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:  Dave R. Haskins

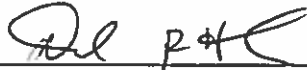
ADDRESS: 50555 Pontiac Trail Wixom, MI 48393

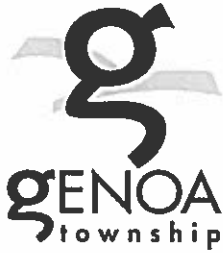
Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Dave R. Haskins of Schonsheck, Inc. at dhaskins@schonsheck.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE  DATE 5-1-19
PRINT NAME Dave R Haskins PHONE 248-669-8800
ADDRESS 50555 Pontiac Trail Wixom, MI 48393



GENOA CHARTER TOWNSHIP
Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Schonscheck, Inc. 50555 Pontiac Trail Wixom, MI 48393

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248) 669-8800 EMAIL: dhaskins@schonscheck.com

OWNER NAME & ADDRESS: Masonite Corporation

SITE ADDRESS: 5665 Sterling Drive PARCEL #(s): 4711-15-200-028 / 4711-15-200-029

4711-15-200-030

OWNER PHONE: (920) 365-2222 EMAIL: barnbruster@masonite.com

Location and brief description of site and surroundings:

Zoned industrial, located at the end of Sterling Drive and surrounded by other industrial uses.

Proposed Use:

New manufacturing facility

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The new facility of an existing industrial (IND) use that has been in Genoa Township and in operation since 1999.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

As stated above, the new facility of an existing Industrial (IND) use that has been in operation since 1999. The new facility will meet the ordinance for exterior building wall materials.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

The new facility will be serviced by extending public utilities.

A fire protection system included for adequate protection in the event of a fire.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

The new facility will not impact the natural environment, public health, safety, or welfare and will not produce excessive traffic, noise, vibration, smoke, fumes, odors, or glare

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

The use (IND) does not impact section 3.03.02 & 7.02.02

The proposed use is in compliance with PERMITTED AND SPECIAL LAND USES section 8.02.02

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Schonscheck, Inc. STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: [Signature] Dave R. Haskins

ADDRESS: 50555 Pontiac Trail Wixom, MI 48393

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Dave R. Haskins of Schonscheck, Inc. at dhaskins@schonscheck.com
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 5-1-19

PRINT NAME: Dave R. Haskins PHONE: 248-669-8800



April 26, 2019

Genoa Township
2911 Dorr Rd.
Brighton, MI 48116

To Whom It May Concern:

This letter hereby authorizes Schonscheck, Inc. to act as our designated agent, exclusively as it relates to our new proposed facility, located at 5665 Sterling Drive, Howell, MI. As such, Schonscheck, Inc. and their representatives will apply for all site plan approval and municipal permitting on behalf of Masonite Corporation.

Sincerely,

Matt Hamlin
Director of Engineering
Masonite Corporation

June 4, 2019

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

| | |
|-------------------|--|
| Attention: | Kelly Van Marter, AICP Planning Director and Assistant Township Manager |
| Subject: | Masonite Corporation – Special Land Use and Site Plan Review #2 |
| Location: | 5665 Sterling Drive – westerly terminus of Sterling Drive |
| Zoning: | IND Industrial District |

Dear Commissioners:

At the Township's request, we have reviewed the special land use and site plan submittal from the Masonite Corporation (revised plans dated 5/22/19) for a new industrial building and related site improvements on the vacant parcel at the westerly terminus of Sterling Drive.

A. Summary

1. The special land use standards of Section 19.03 are generally met, though any technical comments provided by the Township Engineer and/or Brighton Area Fire Authority must be addressed.
2. Minor corrections are needed to the site notes on Sheet C-1.1 with respect to the size of the building.
3. The applicant must obtain authorization from the adjacent owner to the north for site elements that overlap the common property line.
4. We request the applicant present building material and color samples to the Commission.
5. The applicant requests that the Commission waive the wall/berm requirement for the buffer zone along I-96 due to the presence of existing vegetation, wetlands and steep topography.
6. Minor corrections are needed to the landscape plan.
7. At such time as signage is proposed, the applicant must obtain a permit from the Township prior to installation.

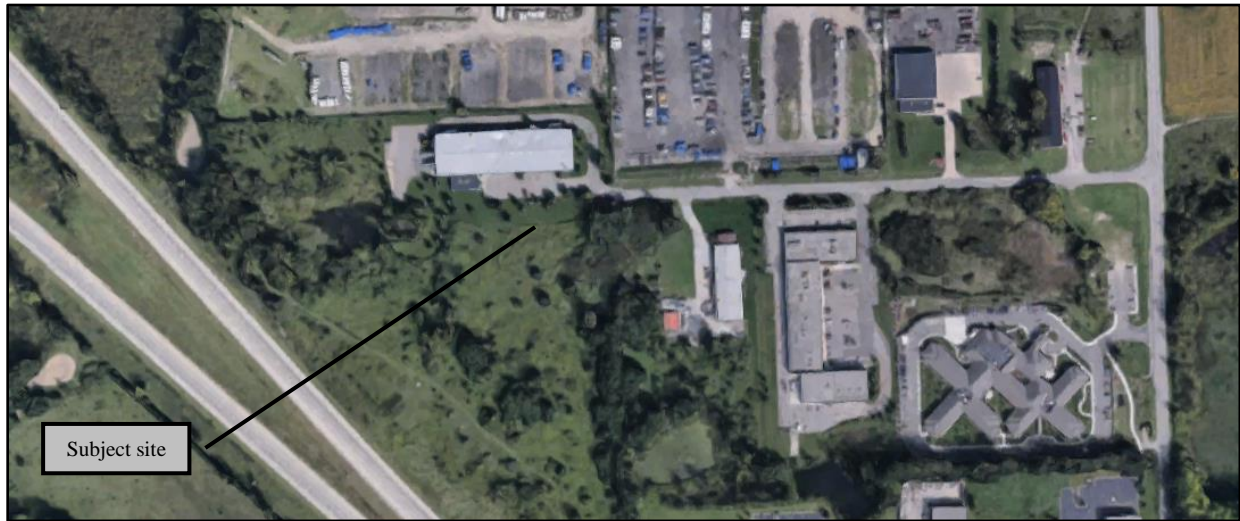
B. Proposal/Process

The proposal includes a new 59,400 square foot industrial building for manufacturing, storage and distribution of door frames and commercial doors.

The plans also identify a future building and associated parking; however, our review is only focused on the current proposal. If/when the new building is proposed, the applicant will need to apply for a new special land use/site plan review.

Per Section 8.02 of the Township Zoning Ordinance, permitted industrial uses with more than 40,000 square feet of floor area require special land use review/approval.

Procedurally, following the required public hearing, the Planning Commission is to put forth a recommendation to the Township Board on the special land use, site plan review and Impact Assessment. The Board has the final review/approval authority over the project.



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the site and adjacent properties as Industrial, which is intended for “industrial uses such as research, wholesale and warehouse activities and light industrial operations which manufacture, compounding, process, package, assemble and/or treat finished or semi-finished products from previously prepared material.”

Given the nature of the request and the planned uses for the subject area, we believe the proposal is compatible with the Master Plan and Future Land Use Map.

- 2. Compatibility.** Sterling Drive contains a host of industrial uses, including several with outdoor storage (which is not proposed as part of this project).

Given the nature of the established uses in the area, including current zoning (IND) and planned uses (Industrial), the proposal is expected to be compatible with its surroundings.

- 3. Public Facilities and Services.** Given that Sterling Drive is already developed with a variety of industrial uses, we anticipate necessary public facilities and services are in place.

With that being said, the Commission should consider any comments provided by the Township Engineer and/or Brighton Area Fire Authority with respect to this standard.

- 4. Impacts.** Similar to the compatibility comment noted above, given the nature of the subject area and the proposed use, the project is not expected to adversely impact surrounding properties or uses.
- 5. Mitigation.** If any concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Site Plan Review

- 1. General Comments.** The size of the proposed building has been slightly reduced from the original submittal; however, the zoning information and parking calculations on Sheet C-1.1 still reference the older building size. Additionally, the detention pond and some plantings are proposed on the adjacent property to the north. Authorization for these elements must be obtained.

2. **Dimensional Requirements.** The proposal has been reviewed for compliance with the dimensional standards of the IND, as follows:

| | Min. Lot Req. | | Minimum Yard Setbacks (feet) | | | | Max. Lot Coverage (%) | Max. Height (feet) |
|-----------------|---------------|--------------|------------------------------|-----------|-----------|--------------------------|------------------------------------|--------------------|
| | Area (acres) | Width (feet) | Front Yard | Side Yard | Rear Yard | Parking Lot | | |
| IND | 1 | 150 | 85 | 25 | 40 | 20 front 10 side/rear | 40% building 85% impervious | 30 |
| Proposed | 18.4 | 1,325 | 102 | 65 | 279 | 20 front 58 side/rear | 10.3% building 25.8% impervious | 28 |

Given the relatively odd lot shape and access to the terminus of the roadway, we have deemed the easterly lot line to be the front, which then establishes the northerly lot line as a side and the westerly lot line as the rear.

3. **Building Materials and Design.** The proposed building elevation drawings depict the use of precast concrete wall panels with a flat roof.

There are differing colors depicted as vertical and horizontal bands to help break up the large wall faces, along with a scattering of windows.

We request the applicant present building material and color samples to the Commission for their consideration.

4. **Pedestrian Circulation.** Public sidewalks are not required for projects in the IND. The plan does include an internal sidewalk (7-foot wide, concrete) along the west side of the parking lot providing a safe pedestrian path between the parking lot and building entrances.

5. **Vehicular Circulation.** Internal parking and drives meet or exceed the dimensional standards of the Zoning Ordinance. Sheet C-2.0 provides a turning movement plan for semi-trucks, which indicates that a truck of that size can adequately maneuver around the site.

5. **Parking.** The proposed parking lot has been reviewed for compliance with the standards of Article 14, as follows:

| | Required | Proposed | Comments |
|--|----------------------------|-----------------|--|
| Parking Spaces Office (1/300 SF gross floor area) Manufacturing (1.5/1,000 SF gross floor area) Warehousing (1/1,500 SF gross floor area) TOTAL | 16.5 45.3 16.8 79 | 79 | In compliance |
| Barrier Free Spaces | 4 | 4 | In compliance |
| Dimensions Spaces (75 to 90-degree) Drive aisle width (two-way) | 9' x 18' 24' | 9' x 18' 26' | In compliance |
| Loading Between 5,000 SF and 60,000 SF | 3 | 0 | There is ample room at the rear of the site for loading/unloading of large trucks. The applicant has indicated that smaller delivery vehicles will utilize the front parking lot for short term drop-off. |

- 6. Landscaping.** The revised landscape plan (Sheets L1 and L2) has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:

| Standard | Required | Proposed | Notes |
|------------------------------------|--|--|--|
| Parking lot | 8 canopy trees 790 SF landscaped area | 8 canopy trees 1,959 SF landscaped area | Requirements met |
| Buffer zone "B" (along I-96) | 20' width 40 canopy trees 40 evergreen trees 159 shrubs 6' wall or 3' berm | Existing vegetation 40 canopy trees 40 evergreen trees 159 shrubs | The notes on the landscape plan reference existing vegetation, topography and wetlands as hindrances to providing a berm or wall. PC has the authority to waive/modify this requirement. |
| Detention pond | 18 trees 169 shrubs | 18 trees 169 shrubs | Requirements met |

Some of the proposed plantings are on the adjacent property to the north, including the terminus of Sterling Drive and the detention pond. Authorization must be granted to allow off-site plantings.

Additionally, there are some minor inconsistencies between the landscape plan and plant list that should be corrected: the notation for the Black Spruce trees of "PG" is incorrect (should be "PM") and we could only identify 42 "CA" and 51 "VT."

- 7. Waste Receptacle.** The cover letter included with the revised submittal notes that waste receptacle containers will be provided internal to the building within the truck docks. Containers for trash, recycling, wood and metal are also depicted on the floor plan (Sheet A-101).
- 8. Exterior Lighting.** The site lighting plan identifies 9 light poles throughout the site, as well as 14 wall-mounted fixtures. All of the lighting proposed is downward directed, shielded/cut-off LED fixtures.


Maximum lighting intensities, both on-site and along property lines, as well as pole heights (25 feet) are within that allowed by Ordinance.

- 9. Signs.** The revised submittal indicates that no signage is proposed at this time. If/when proposed, the applicant must obtain a sign permit from the Township prior to installation of any signage.
- 10. Impact Assessment.** The submittal includes an Impact Assessment dated April 24, 2019, which notes that the project is not anticipated to adversely impact natural features, public services/utilities or surrounding land uses.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,

SAFEBUILT STUDIO



Brian V. Borden, AICP
 Planning Manager



June 3, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Masonite Corporation Site Plan Review No. 2

Dear Ms. Van Marter:

Tetra Tech conducted a second site plan review of the preliminary Masonite site plans last dated May 22, 2019. The plans were prepared by Monument Engineering Group Associates, Inc. on behalf of Masonite Corporation. The development includes 18.4 acres on three separate parcels located on the south end of Gray Road and west end of Sterling Drive. There is an existing 33,000 square foot building on the site and the petitioner is proposing to reconfigure the three parcels into two separate parcels and proposing a new 60,000 square foot building. We offer the following comments:

GENERAL NOTES

1. The petitioner is proposing a shared storm sewer system that services and is located on two separate parcels. A cross access easement agreement for drainage purposes should be developed for both parcels and the easement limits should be shown on the site plans.

SANITARY AND WATER SERVICES

1. The Brighton Area Fire Authority requires that the FDC be within 100 feet of a hydrant. The closest hydrant is 130 feet away. Hydrant or FDC placement should be modified as needed.
2. The connection to the existing water main should be shown more clearly. The proposed gate valve in well is shown at the intersection of three pipes, and if a tee is going to be used to achieve this connection it should be clear on which side of the tee the gate valve will be placed.
3. After final site plan approval, the petitioner will be required to submit construction plans to MHOG Sewer and Water Authority for review and approval.

DRAINAGE AND GRADING

1. The petitioner should show where the outflow from the detention basin is ultimately going. There appears to be an existing storm sewer near ES-17. A culvert may be necessary to direct drainage across the proposed drive if the intention is to direct flow to the existing storm sewer.

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com

Ms. Kelly Van Marter
Re: Masonite Corporation Site Plan Review No. 2
June 03, 2019
Page 2

We recommend the petitioner address the above comments and resubmit the site plan for review.

Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 3, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Masonite Corporation
2nd Site Plan Review
5665 Sterling Drive
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on May 23, 2019, and previously on May 3, 2019. The revised drawings are dated May 22, 2019. The project is based on an existing 3-parcel development with an existing 36,032 square foot S-1/F-1 manufacturing and warehouse facility. The new proposed development is for a 60,335 square foot S-1/F-1 manufacturing and warehouse facility. Additionally, there is a proposed future 108,600 square foot building of similar use reflected on the drawing. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. The water main location shown appears compliant with fire code, however, the size of the main and locations of isolation valves are not indicated. Provide the size of the main and location of valves. **(Main sizes and valve locations have been identified as required.)**
2. The project calls for 4-new fire hydrants to be placed in varying locations on the property. This meets the requirement for fire flow and the number of hydrants, however, the locations of the hydrants need to be revised to more appropriate tactical and accessible locations. One of the hydrants shall be located within 100' of the fire department connection. Locations of hydrants may require alteration to landscape planning. The following is descriptive of new location based on existing shown locations:
 - a. NW Location - Along the opposite curb line, 80-feet south of the southern water lead for (WSO).
 - b. NE Location - 160-feet east of the shown location on landscape island. (This hydrant is at the entrance to the drive and meets the 100-foot requirement for the FDC).
 - c. SW Location - 205-feet West and 50-feet South (on the opposite side of the curb) from current hydrant location.
 - d. SE Location - 210-feet East and 55-feet South (on landscape island) of the current hydrant location.**(Location of hydrants are not identified on the drawings as described. An image of the hand-drawn locations was emailed to the engineer to identify the exact locations of the hydrants.)**
3. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*. **(Building will be provided with automatic sprinklers as required.)**



June 3, 2019

Page 2

Masonite Corporation
5665 Sterling Drive
Site Plan Review

IFC 903

- A. The FDC shall be located on the front of the building (Sterling Dr.). East face of the NE corner of the building. **(FDC location is shown as required. If changes must be made due to architectural features, approval from the fire authority is required.)**
- B. The location, size, gate valve, and connection of the fire protection lead shall be indicated on the utility site plan. There are two water shut off valves (WSO) on the drawing and neither indicates intent for Fire protection or their size. **(Locations and sizes are shown on the Utility Plan.)**
- 4. The new building address shall be provided on future submittals. **(Once generated, will be provided.)**
- 5. The building address shall be displayed at a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **(The address is noted to be provided on the building in a minimum 6" number visible from the street.)**

IFC 505.1

- 6. The access drive widths are compliant with fire code minimum. With widths of 30-feet and 26-feet, the building side of the access drives shall be marked as a fire lane. Include the location of the proposed fire lane signage on the building side of the access road (spaced every 50-feet) and include a detail of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Roadways are compliant as well as fire lane signage.)**

IFC D 103.6
IFC D 103.1
IFC D 102.1
IFC D 103.3

- 7. Access throughout the site and around the building shall provide emergency vehicles with an inside turning radius 30-feet and an outside radius of 50-feet. Provide an appropriate emergency vehicle circulation plan utilizing the specifications below. **(Vehicle circulation is compliant based on the provided drawing.)**
- 8. A minimum vertical clearance of 13½ feet shall be maintained throughout the site. **(There are no overhead obstructions located throughout the site.)**
- 9. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box will be located adjacent to the front door of the structure. **(The knox box location is shown at the main entrance.)**

IFC 506.1

- 10. The knox box detail is for a residential style box. Please revise to be a 3200 Series box. **(Detail has been revised to the correct model.)**
- 11. Gates shall be installed at Gray Rd. and as discussed between the parcels. The gate detail



June 3, 2019

Page 3

Masonite Corporation
5665 Sterling Drive
Site Plan Review

shall be revised to match the attached detail. If an alternate type is requested, a full detail must be submitted and approved. If a Knox padlock is not capable of being used, an alternative means of securing the gate may be discussed and approved. **(Gate details have been revised and the locations updated.)**

12. No Parking Fire Lane signs shall be installed at the entrance to the secondary access drive, both sides of the parcel gate and at the Gray rd. gate. **(No parking fire lane signage is shown as requested, however, signage needs to be shown at the ungated side of the secondary access.)**
13. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(To be the project progresses.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

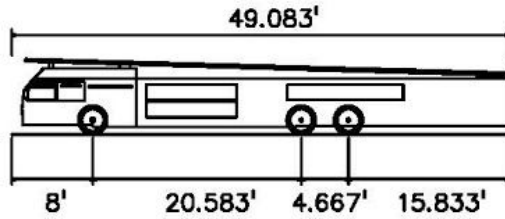
Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

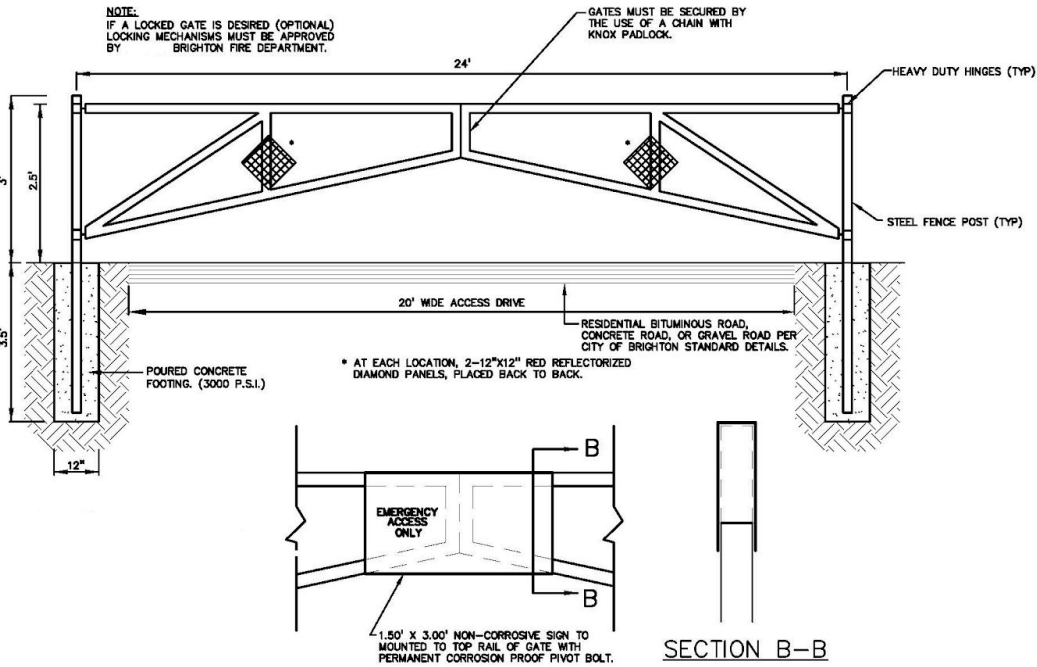
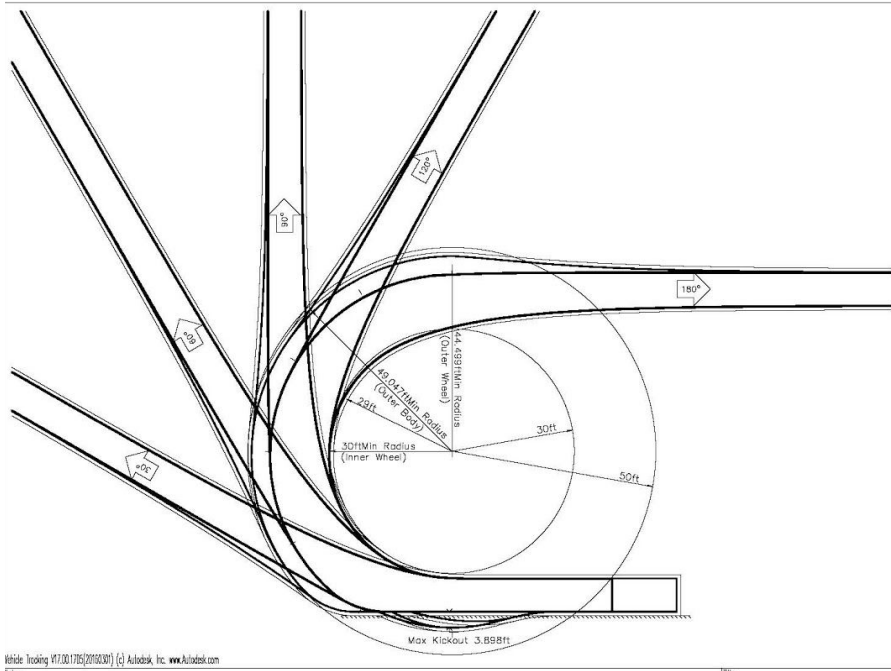


June 3, 2019
Page 4
Masonite Corporation
5665 Sterling Drive
Site Plan Review



| | |
|------------------------------|----------|
| Brighton 49' Fire Truck | |
| Overall Length | 49.083ft |
| Overall Width | 8.167ft |
| Overall Body Height | 7.500ft |
| Min Body Ground Clearance | 0.750ft |
| Track Width | 8.167ft |
| Lock-to-lock time | 5.00s |
| Max Steering Angle (Virtual) | 45.00° |

FIRE TRUCK DETAIL
NOT TO SCALE



EMERGENCY ACCESS GATE DETAIL
NOT TO SCALE

RECEIVED 5-22-19

IMPACT ASSESSMENT

MASONITE

SECTION 15, GENOA TOWNSHIP

PREPARED BY:

Monument Engineering Group Associates, Inc.
298 Veterans Drive
Fowlerville, Michigan 48836

PREPARED FOR:

Schonscheck, Inc.
50555 Pontiac Trail
Wixom, Michigan 48393

April 24, 2019

IMPACT ASSESSMENT

a. Preparer

Prepared by:

Monument Engineering Group Associates, Inc.
298 Veterans Drive
Fowlerville, Michigan 48836

Prepared for:

Schonsheck, Inc.
50555 Pontiac Trail
Wixom, Michigan 48393

Monument engineering Group Associates, Inc. (MEGA) is a civil engineering, land surveying firm with extensive experience in site development. MEGA staff is experienced in writing general impact statements for various developments throughout Michigan.

b. Map(s) and written description/analysis of the project site,

The site consists of 18.4 acres (composed of 3 separate parcels) located at the south end of Gray Road and the west end of Sterling Drive. The site is bounded on the west side by I-96 Expressway. There is an existing 33,000 manufacturing / warehouse and 2,560 S.F. office facility. The company manufactures stores and distributes pocket door frames and commercial architectural flush doors. Approximately 75% of the building is storage and 25% manufacturing.

The petitioner is proposing to reconfigure the parcels into two separate parcels. On the new parcel to the south is a proposed building of +/- 60,000 S.F. with provisions for a future addition of +/- 100,000 sf. See survey of property along with general site plan figures 1 and 2.

c. Impact on natural features:

The property is mostly open meadow with a small tree and brush stand located on the west side and a group of trees in the northeast corner. The elevation slopes from 994 at the Northeast end of the site to elevation 973 at the Northwest end of the site.

The United States Department of Agriculture "Soil Survey of Livingston County, Michigan" indicates the soil type to mainly be Miami Loam (MoB & MoC) with 2 to 12% slopes. This moderate to poorly draining soil is typically located on tills and moraines.

There are two pockets of wetlands (A & B) that were delineated at the time of the survey and shown on the plans. The wetland consultant determined these pockets not to be regulated wetlands under MDEQ guidelines (see attached wetland report).

There is no known major wildlife impact from this development.

d. Impact on stormwater management:

Permanent storm water management will be designed, approved and constructed in accordance with the Livingston County Drain Commissioner's (LCDC) and Township requirements. These measures will include but are not limited to sumps in storm sewer structures, a pre-treatment (sedimentation basin) and a detention basin. The detention basin will be designed to limit the storm water discharge rate to pre-development rates. Surface runoff during construction will be controlled by proper methods set forth by LCDC, including silt fence, inlet filters, and seed and mulch. A grading permit will have to be obtained from the LCDC's office as well as a soil erosion control permit. A certified storm water operator will provide regular inspections and reports to insure erosion control measures are being maintained.

e. Impact on surrounding land used:

The property conforms to the current zoning of Industrial (IND). Industrial Zoning requires a 2 acre minimum unit size and 200 feet minimum frontage. The property is bordered on all sides by Industrial District Zoning, and will be consistent with adjacent uses.

The Masonite facility will have little effect on the surrounded parcels with the added lighting. All lighting plans will have zero-foot candles lighting at the property line. There will be no noise or air pollution emitted from the proposed use.

Pursuant to Article 9 of the Genoa Township Zoning Ordinance, the Principle use is permitted in the Industrial District under Paragraph "K," Manufacturing, Fabricating of Wood Materials.

f. Impact on public facilities and services:

Masonite currently employs 50 full-time employees. The hours of operation are from 7:30 a.m. – 3:30 p.m. Monday through Friday. Inbound freight is by common carrier normally one (1) truck every other week. Outbound freight is normally one truck four days a week.

The proposed building will have 56 full time employees operating between the hours of 7:30 a.m. – 3:30 p.m. Monday through Friday. Should the future building addition be realized the number of full-time employees would increase to 65. Additional truck traffic would increase to 2-3 trucks per day.

The facility is industrial in nature and therefore additional visitors and/or patrons are not anticipated.

There will be little to no impact on public services with this development. The development is in an industrial zoning surrounded by other industrial uses and the freeway. The original development of the property anticipated 3 users more than 20 years ago. Public sewer and water main both extend into the site to service 3 users. The final development will service only 2 users of similar nature.

As a whole, the development will have a positive impact on public services. The development will benefit emergency vehicle access to the site by providing cross access between the buildings as well as vehicular access to Gray Road. Current access is a dead end, that forces emergency vehicles to turn around in the parking lot. The development will also provide for a looped water main around the proposed building, which increases safety during a fire event. Along with better building codes, requiring a sprinkled build and improved vehicular access will benefit the fire department.

In general terms, the project as a whole will generate jobs while creating minimal burden on public services such as schools, fire department, police department, etc.

g. Impact on public utilities:

There will be little to no impact on public services with this development. The original development of the property anticipated 3 users more than 20 years ago. Public sewer and water main both extend into the site to service 3 users. The final development will service only 2 users of similar nature. A public water main will be looped around the proposed building and future addition with appropriate hydrant coverage of the building per the fire department requirements. There is a public sanitary sewer at the end of Sterling Drive. This sewer will be extended into the site enough to service the proposed and future building addition. All public utilities will be accompanied by the appropriate easement for access and maintenance in the future.

Permanent storm water management will be designed, approved and constructed in accordance with the Livingston County Drain Commissioner's (LCDC) and Township requirements. These measures will include but not limited to sumps in storm sewer structures, a pre-treatment (sedimentation basin) and a detention basin. The detention basin will be designed to limit the storm water discharge rate to pre-development rates. Surface runoff during construction will be controlled by proper methods set forth by LCDC, including silt fence, inlet filters, and seed and mulch. A grading permit will have to be obtained from the LCDC's office as well as a soil erosion control permit. A certified storm water operator will provide regular inspections and reports to insure erosion control measures are being maintained.

h. Storage and handling of any hazardous materials:

Masonite uses no hazardous materials for its operations.

i. Impact on Traffic and Pedestrians:

Although the ordinance requires in excess of 100 parking spaces, it is not anticipated that there will ever be more than 65 employees on site between the two buildings. Therefore, a formal traffic study is not warranted.

j. Special Provisions:

There are no known deed restrictions.

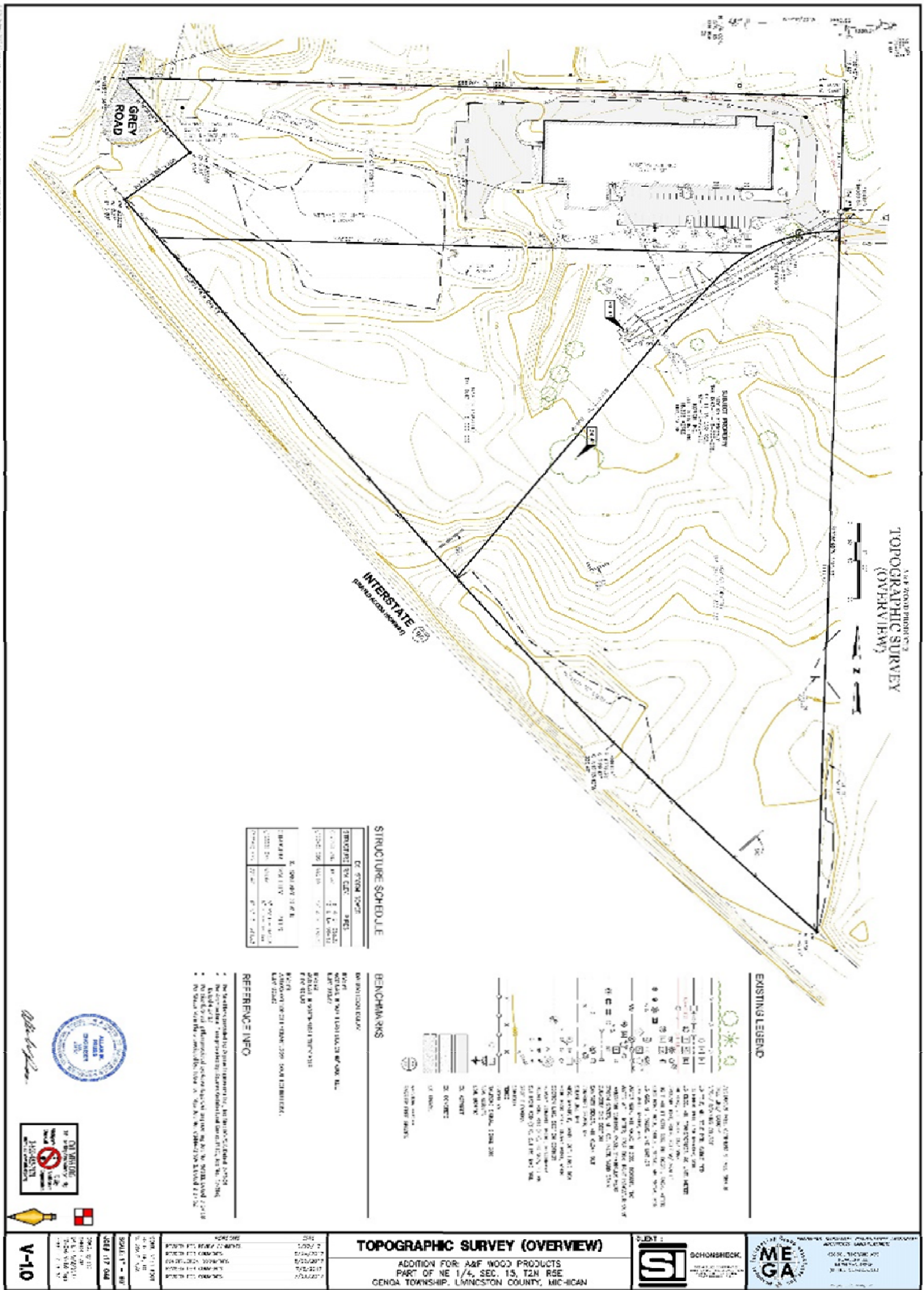
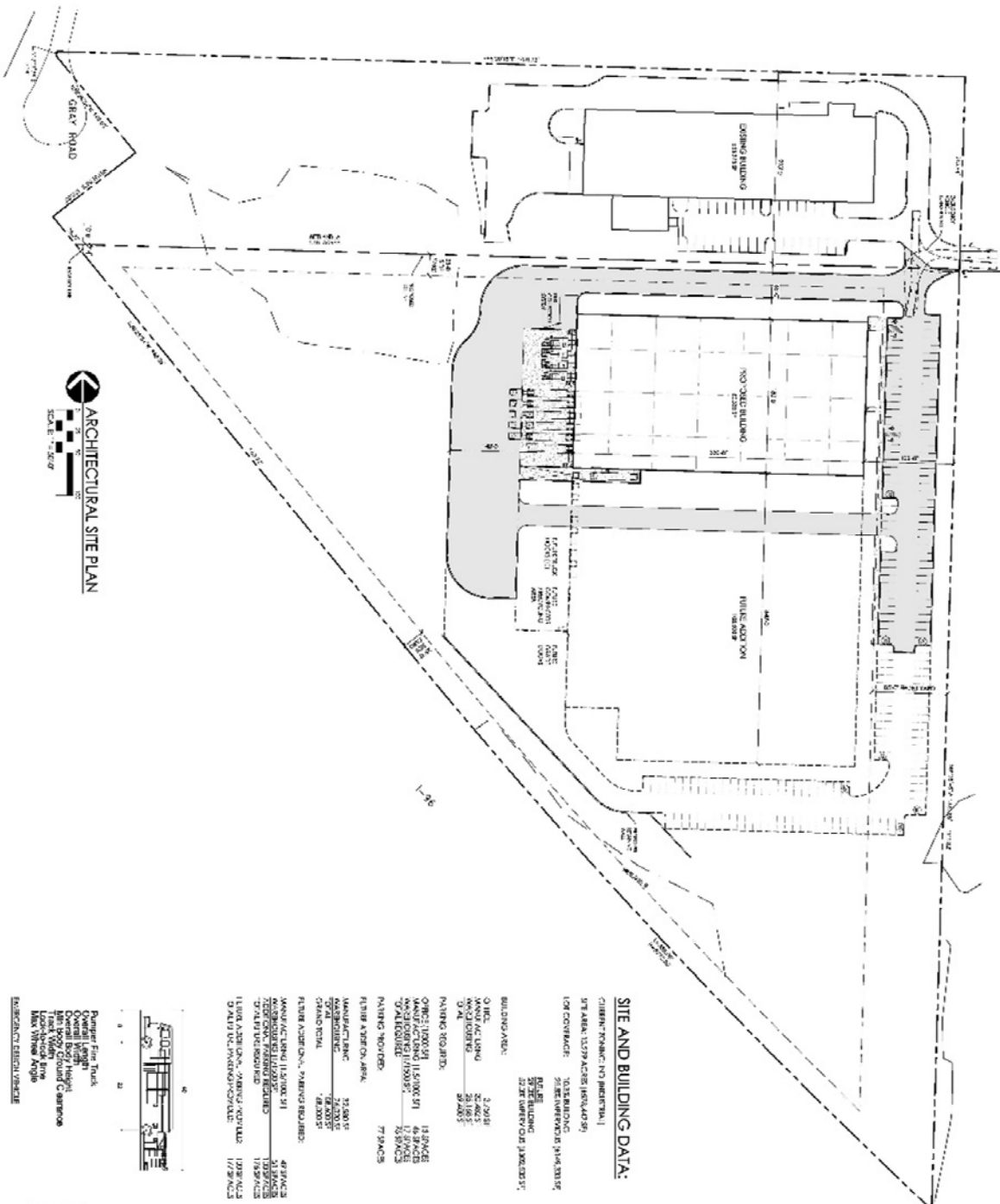


FIGURE 1



ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"

SITE AND BUILDING DATA:

- CURRENT ZONING: M-1 (INDUSTRIAL)
- STAB AREA: 12.579 ACRES (545,049 SQ. FT.)
- LOT COVERAGE: 10.5% BUILDING
- SETBACKS: 25' SIDE, 10' FRONT, 10' REAR
- PERMITTED HEIGHT: 35' MAX
- USE: MANUFACTURING
- PERMITTED FLOOR AREA: 1,150,000 SQ. FT.

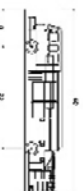
- BUILDING DATA:**
- QTY. BLDG: 2 BLDGS
- TOTAL FLOOR AREA: 222,000 SQ. FT.
- MANUFACTURING: 115,000 SQ. FT.
- OFFICE/RESEARCH: 107,000 SQ. FT.

- PAVING REQUIREMENTS:**
- CONCRETE: 13.5% OF TOTAL PAVING AREA
- ASPHALT: 86.5% OF TOTAL PAVING AREA

- PLANTING REQUIREMENTS:**
- MANUFACTURING: 7.5% OF TOTAL PAVING AREA
- OFFICE/RESEARCH: 7.5% OF TOTAL PAVING AREA

PERMITS AND REQUIREMENTS:

| | |
|----------------------------|-------------------------------|
| MANUFACTURING | 48' MIN. CLEARANCE |
| OFFICE/RESEARCH | 10' MIN. CLEARANCE |
| TOTAL PERMITTED FLOOR AREA | 1,150,000 SQ. FT. |
| PERMITTED HEIGHT | 35' MAX |
| PERMITTED SETBACKS | 25' SIDE, 10' FRONT, 10' REAR |



- Panther Fire Truck
- Overhead Light
- Control Panel
- Emergency Exit
- Exhaust Hood
- Access Point
- Handicap Access
- Emergency Exit
- Handicap Access
- Emergency Exit
- Handicap Access








FIGURE 2 (NEEDS TO BE UPDATED WITH MEGA SITE PLAN)

Received 5-22-19

SITE PLAN FOR MASONITE

LEGAL DESCRIPTION (AS PROVIDED)

Parcel Tax Number: 4711-15-200-028

PARCEL 1:
SEC 15 T2N R5E, COMM NE COR, TH N88°19'39"W 1330.21 FT TH S01°38'45"W 446.49 FT TO POB TH S01°38'45"W 213.84 FT TH ON AN ARC OF A CURVE LEFT CHORD BEARING S74°54'32"W 132.57 FT TH N88°20'15"W 853.94 FT TH N38°28'54"W 76.87 FT TH N51°31'06"E 120 FT TH N38°28'54"W 145.03 FT TH N13°01'36"E 5.16 FT TH S88°20'15"E 1031.13 FT TO POB CONT. 5.66 AC.

Parcel Tax Number: 4711-15-200-029

PARCEL 2:
SEC 15 T2N R5E, COMM NE COR, TH N88°19'39"W 1330.21 FT TH S01°38'45"W 660.33 FT TH ON AN ARC OF A CURVE LEFT CHORD BEARING S74°54'32"W 132.57 FT TO POB TH CONT ON ARC OF A CURVE LEFT CHORD BEARING S49°59'52"W 65.31 FT TH S41°50'09"W 96 FT TO CENTER OF A 75 FT RADIUS CUL-DE-SAC TH S37°41'31"W 506.48 FT TH ON AN ARC OF A CURVE TO RIGHT CHORD BEARING N38°59'18"W 119.75 FT TH N38°28'54"W 569.72 FT TH S88°20'15"E 853.94 FT TO POB CONT. 5.03 AC.

Parcel Tax Number: 4711-15-200-030

PARCEL 3:
SEC 15 T2N R5E, COMM NE COR, TH N88°19'39"W 1330.21 FT TH S01°38'45"W 1111.82 FT TH ON AN ARC OF A CURVE RIGHT CHORD BEARING N42°44'12"W 765.94 FT TH N37°41'31"E 506.48 FT TO CENTER OF A 75 FT RADIUS CUL-DE-SAC TH N41°50'09"E 96 FT TH ON AN ARC OF A CURVE RIGHT CHORD BEARING N66°44'50"E 193.76 FT TO POB CONT. 7.71 AC.

BEARING REFERENCE

Bearings are based on Project Coordinate System:
Michigan State Plane Coordinate System, NAD83 (Conus) (Mol) (GRS80), South Zone 2113, International Feet, Ground
(Lat: 42-34-10, Lon: 83-50-25, Elev: 992, Scale Factor: 1.00005000).

SURVEY REFERENCES

- Boss Engineering, Job No.: 98184, Dated: 04-10-98
- (Recorded in Liber 2481, Page 669)
- Advantage Civil Engineering, Job No.: 01028, Dated: 05-30-01
- (Easements plotted and shown herein)
- (On Recorded with Genoa Township)

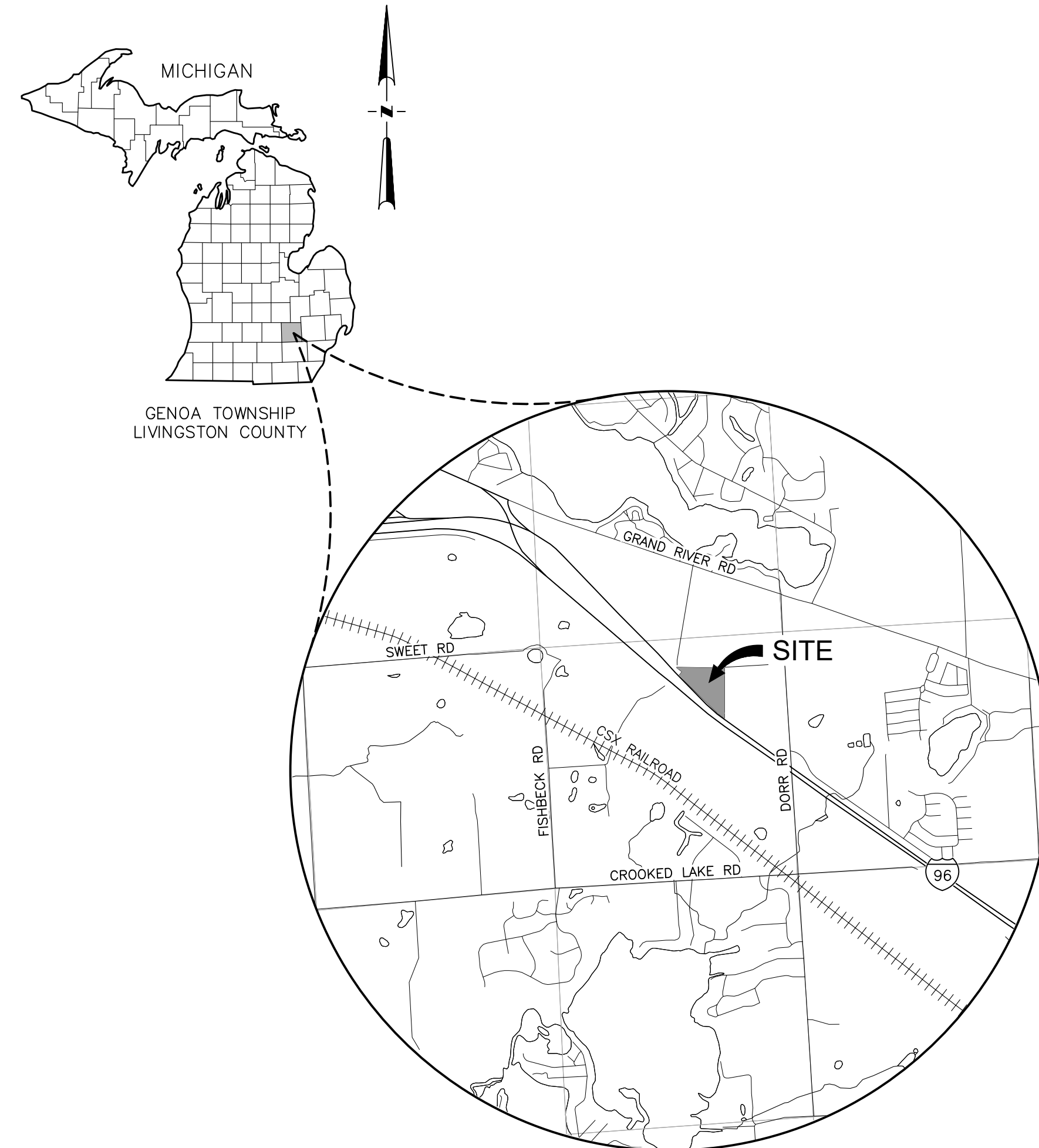
DESIGN ENGINEER



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

ENGINEERS - SURVEYORS - CONSULTANTS
LANDSCAPE ARCHITECTS - LAND PLANNERS

638 S GRAND AVE.,
FOWLERVILLE, MI 48836
ALLAN W PRUSS, PE, PS
PHONE: 517-223-3512



LOCATION MAP

CLIENT



SCHONSHECK,

DESIGN BUILD - CONSTRUCTION
50555 PONTIAC TRAIL, WIXOM, MI 48393
P: 248.669.8800 F: 248.669.0850
WWW.SCHONSHECK.COM

ARCHITECT

SQUIRES
ARCHITECTURAL
GROUP, PLLC

292 W. Grand River Ave, Suite 2
Howell, MI 48843
517.518.8843
www.squiresarchitectural.com

| | | PLAN SUBMITTALS | |
|---|--------|---|-----------------------------|
| | | PRELIMINARY SITE PLAN SUBMITTAL | REVISED SITE PLAN SUBMITTAL |
| SHEET INDEX | | 5/01/2019 | 5/22/2019 |
| INCLUDED SHEETS | | | |
| GENERAL | | | |
| SHEET | G-1.0 | COVER | • • |
| SURVEY | | | |
| SHEET | V-1.0 | TOPOGRAPHIC SURVEY | • • |
| CIVIL DEMOLITION | | | |
| SHEET | CD-1.0 | DEMOLITION PLAN | • • |
| SITE PLAN | | | |
| SHEET | C-1.0 | SITE PLAN (OVERVIEW) | • • |
| SHEET | C-1.1 | DIMENSION & PAVING | • • |
| VEHICLE CIRCULATION | | | |
| SHEET | C-2.0 | VEHICLE CIRCULATION PLAN | • • |
| UTILITY | | | |
| SHEET | C-4.0 | SANITARY & WATER MAIN PLAN | • • |
| SHEET | C-4.1 | WATER MAIN PROFILES | • • |
| SHEET | C-6.0 | STORM SEWER PLAN | • • |
| SHEET | C-6.1 | STORM SEWER PROFILES | • • |
| GRADING | | | |
| SHEET | C-7.0 | GRADING PLAN | • • |
| SOIL EROSION & SEDIMENTATION CONTROL | | | |
| SHEET | C-8.0 | SOIL EROSION & SEDIMENTATION CONTROL PLAN | • • |
| STORM WATER MANAGEMENT | | | |
| SHEET | C-9.0 | DRAINAGE AREA PLAN & DETAILS | • • |
| SHEET | C-9.1 | STORM WATER CALCULATIONS | • • |
| DETAILS | | | |
| SHEET | C-11.0 | DETAILS | • • |
| SPECIFICATIONS | | | |
| SHEET | C-12.0 | SPECIFICATIONS | • • |
| SHEET | C-12.1 | SPECIFICATIONS | • • |
| LANDSCAPE | | | |
| SHEET | L-1.0 | LANDSCAPE PLAN | • • |
| SHEET | L-1.2 | LANDSCAPE PLAN | • • |
| GENOA TOWNSHIP ENGINEERING DETAILS | | | |

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
MONUMENT Engineering Group Associates, Inc.
MEGA
298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM
SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)



Call MISS DIG
3 full working days before you dig:
Michigan's Utility Notification Organization
1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT:
SCHONSHECK,
DESIGN BUILD - CONSTRUCTION
50555 PONTIAC TRAIL, WIXOM, MI 48393
P: 248.669.8800 F: 248.669.0850
WWW.SCHONSHECK.COM

COVER
MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | PLAN SUBMITTALS / REVISIONS |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE:
5/01/2019

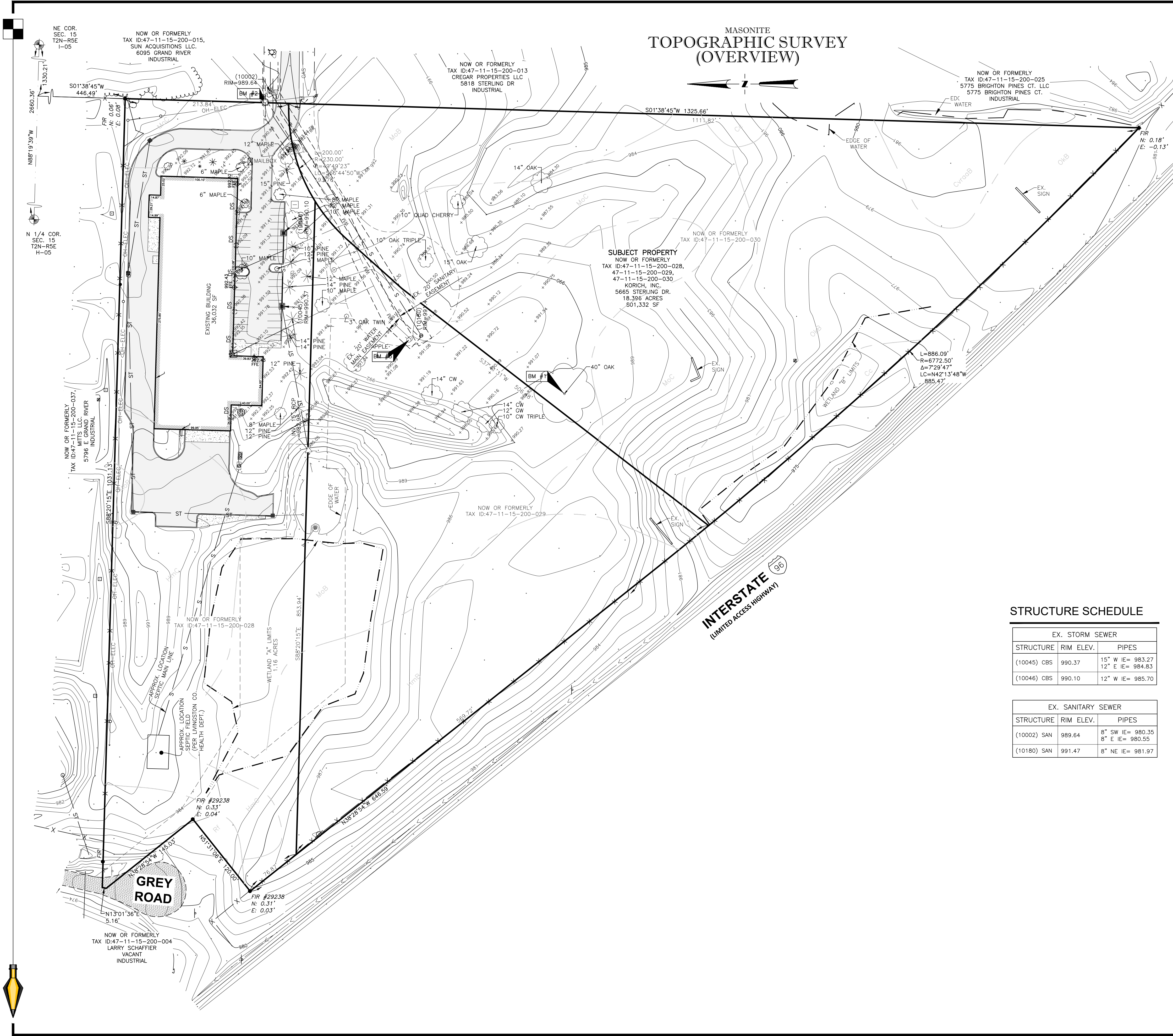
PROJECT NO: 19-018

SCALE: N/A
0 1/2" 1"

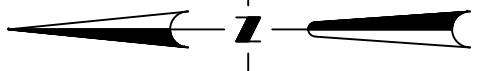
FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

G-10

NOT FOR CONSTRUCTION



MASONITE
TOPOGRAPHIC SURVEY
(OVERVIEW)



SUBJECT PROPERTY
NOW OR FORMERLY
TAX ID: 47-11-15-200-028,
47-11-15-200-029,
47-11-15-200-030
KORICH, INC.
5665 STERLING DR.
18.396 ACRES
801,332 SF

INTERSTATE 96
(LIMITED ACCESS HIGHWAY)

EXISTING LEGEND

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
- TREE LINE/ CANOPY
- DITCH/ DRAINING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- UG ELEC, MH, TRANSFORMER, AC UNIT, METER
- OH ELEC, UTIL POLE, GUY WIRE
- GROUND LIGHT, POLE, POLE W/ ARM LT
- LIGHT MH, LT CTRL BOX, PH. BOOTH, PARK. METER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH, VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CB, INLET, YARD DRAIN
- CULVERT/ END SECTION
- SANITARY SEWER, MH, CLEAN OUT
- COMBINED SEWER, MH
- STEAM LINE, MH
- MISC. MANHOLE, HAND HOLE, HAND BOX
- SIGN, FLAG POLE, GUARD POST, ROCK
- SECTION LINE, SECTION CORNER
- SURVEY CONTROL POINT, BENCHMARK
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL
- SPOT ELEVATION
- CONTOUR
- FENCE
- GUARD RAIL
- RAILROAD SIGNAL, SIGNAL BOX
- ROW MARKER
- SOIL BORING
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- REGULAR SPACES
- BARRIER FREE SPACES

STRUCTURE SCHEDULE

| EX. STORM SEWER | | |
|-----------------|-----------|--------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10045) CBS | 990.37 | 15" W IE= 983.27 12" E IE= 984.83 |
| (10046) CBS | 990.10 | 12" W IE= 985.70 |

| EX. SANITARY SEWER | | |
|--------------------|-----------|-------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10002) SAN | 989.64 | 8" SW IE= 980.35 8" E IE= 980.55 |
| (10180) SAN | 991.47 | 8" NE IE= 981.97 |

BENCHMARKS

- DATUM: LOCAL DATUM
- BM: #1
60D NAIL IN NORTHEAST SIDE OF 40" OAK TREE.
ELEV: 991.87
- BM: #2
60D NAIL IN NORTH SIDE UTILITY POLE.
ELEV: 991.82
- BM: #3
ARROW ON TOP OF HYDRANT, 229± SOUTH OF BUILDING.
ELEV: 993.89

REFERENCE INFO

- Per Site Plans provided by: Alpine Engineering Inc., Job No.: 04-267, Dated: 7-23-04
- Per Architectural Plans provided by: Squires Architectural Group, PLLC., Job No.: 17-366, Dated 4-27-17
- Per Site & Grading Plan provided by: Advantage Civil Engineering, Job No.: 98111, Dated: 7-07-98
- Per Water Main Plans provided by: Tetra Tech Mps, Job No.: 0144472-SW-1, Dated: 2-27-02

SOILS INFO

- Cc: Carlisle muck, 0-2% slopes
- CvraaB: Conover loam, 0-4% slopes
- HmB: Hillsdale-Miami loams, 2-6% slopes
- HmC: Hillsdale-Miami loams, 6-12% slopes
- MoB: Wawasee loam, 2-6% slopes
- MoC: Wawasee loam, 6-12% slopes
- OKB: Oakville fine sand, loamy substratum, 0-6% slopes
- Rf: Rifle muck

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

Call MISS DIG
3 full working days before you dig!

Utility Notification Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDEGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF ANY CONSTRUCTION.

CLIENT :

SCHONSHECK,
DESIGN-BUILD - CONSTRUCTION
5000 PONTIAC TRAIL, SUITE 100, WARREN, MI 48093
P: 588.8888 F: 588.8889
WWW.SCHONSHECK.COM

TOPOGRAPHIC SURVEY

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

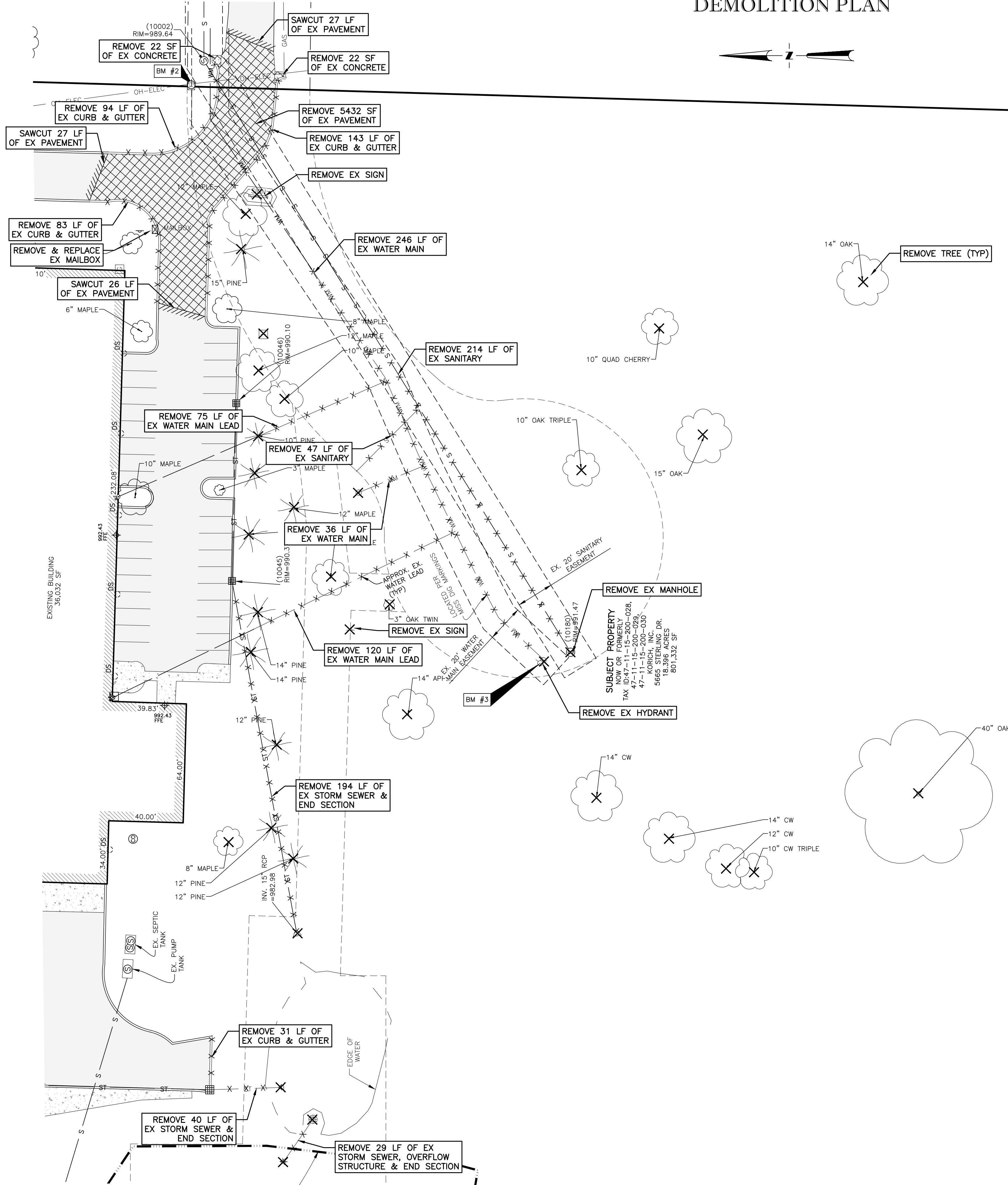
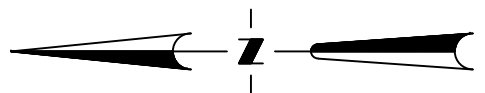
SCALE: 1" = 60'

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

V-10

NOT FOR CONSTRUCTION

MASONITE DEMOLITION PLAN



DEMOLITION LEGEND

- • • • • ABANDON IN PLACE
- /// ABANDON LINEAR FEATURE
- SAWCUT
- X X X X X X X X X X - REMOVE LINEAR FEATURE
- X REMOVE OBJECT
- ▨ REMOVE PAVEMENT

DEMOLITION NOTE

ALL EXISTING EASEMENTS ARE TO BE ABANDONED OR RECONFIGURED FOR PROPOSED ACCESS AND UTILITIES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA ENGINEERING GROUP ASSOCIATES, INC.

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Call MISS DIG
3 full working days before you dig:

Utility Notification Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF WORK.

CLIENT:

SCHONSHECK,
DESIGN BUILD - CONSTRUCTION
5000 PONTIAC TRAIL, WYOMING MI 48093
P: 248-688-8300 F: 248-688-8300
WWW.SCHONSHECK.COM

DEMOLITION PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE: 5/01/2019

PROJECT NO: 19-018

SCALE: 1" = 30'

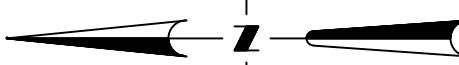
FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

CD-1.0

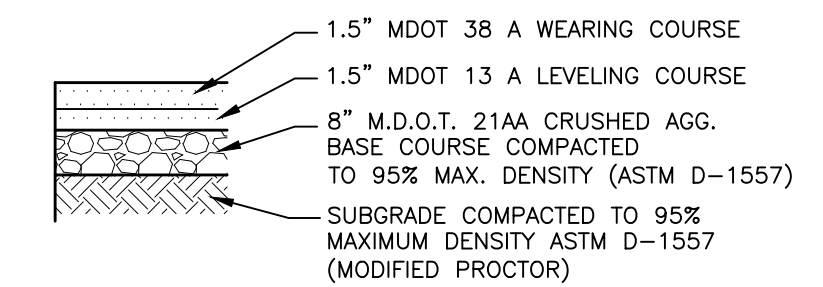
NOT FOR CONSTRUCTION



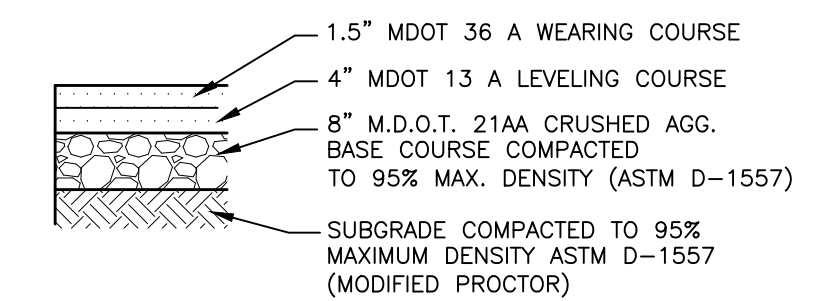
MASONITE
SITE PLAN
(OVERVIEW)



PAVEMENT SECTIONS:

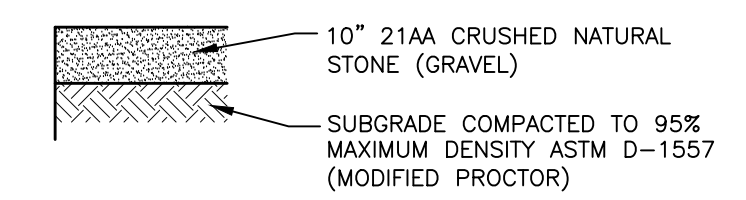


STANDARD DUTY PAVEMENT
CROSS SECTION
NOT TO SCALE



HEAVY DUTY PAVEMENT
CROSS SECTION
NOT TO SCALE

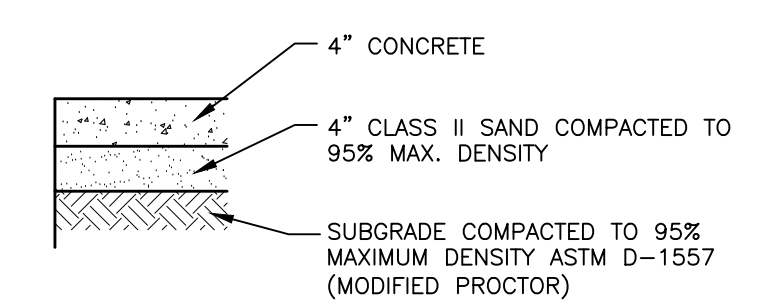
GRAVEL CROSS SECTION



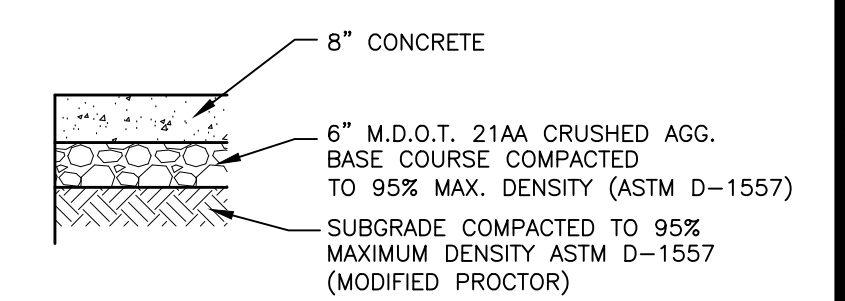
PAVEMENT LEGEND

- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- PR. LIGHT DUTY ASPHALT
- PR. HEAVY DUTY ASPHALT
- PR. CONCRETE
- PR. GRAVEL

CONCRETE SECTION



TYPICAL CONCRETE
CROSS SECTION
NOT TO SCALE



HEAVY DUTY CONCRETE
CROSS SECTION
NOT TO SCALE



AERIAL PHOTO
NOT TO SCALE

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM
SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOBS)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Call MISS DIG
3 full working days before you dig!

Utility Notification Organization
1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND ELEVATIONS PRIOR TO THE START OF ANY EXCAVATION WORK.

CLIENT :

SCHONSHECK,
DESIGN-BUILD - CONSTRUCTION
5000 FRONTAGE TRAIL, SUITE 100, BENTON HARBOR, MI 48024
P: 248-858-8888 F: 248-858-8889
WWW.SCHONSHECK.COM

SITE PLAN (OVERVIEW)

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

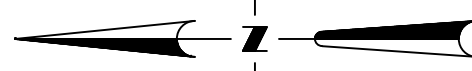
SCALE: 1" = 60'

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-10

NOT FOR CONSTRUCTION

MASONITE PAVING & DIMENSION PLAN



NOTES

- ALL PARKING STRIPES REQUIRE THE USE OF LOOPED (DOUBLE STRIPED) SPACED PER TOWNSHIP ORDINANCES.
- SCREENING SHALL BE PROVIDED FOR ALL MECHANICAL EQUIPMENT.
- PARKING LOT ISLANDS SHALL BE FINISHED IN GRASS, GROUND COVER OR MULCH.

PAVEMENT LEGEND

| | |
|--|---------------------------|
| | EX. ASPHALT |
| | EX. CONCRETE |
| | EX. GRAVEL |
| | PR. STANDARD DUTY ASPHALT |
| | PR. HEAVY DUTY ASPHALT |
| | PR. CONCRETE |
| | PR. GRAVEL |
| | STANDARD CURB AND GUTTER |
| | REVERSE CURB AND GUTTER |

ZONING INFORMATION

THIS ZONING INFORMATION IS TAKEN FROM GENOA TOWNSHIP ZONING ORDINANCE

SUBJECT PARCEL ZONING CLASSIFICATION:
IND (INDUSTRIAL)

| BUILDING SETBACKS: | REQUIRED | PROVIDED |
|--------------------|----------|----------|
| FRONT (EAST): | 85' | 102' |
| SIDE (NORTH): | 25' | 65' |
| SIDE (WEST): | 25' | 279' |

| PARKING SETBACKS: | REQUIRED | PROVIDED |
|-------------------|----------|----------|
| FRONT (EAST): | 20' | 20' |
| SIDE (NORTH): | 10' | N/A |
| SIDE (WEST): | 10' | N/A |

SUBJECT PARCEL AREA: 18.4 ACRES

| PROPOSED BUILDING: | REQUIRED | PROVIDED |
|--------------------|-----------|--------------|
| BUILDING: | 60,335 SF | 108,600 SF |
| FUTURE BUILDING: | | |
| BUILDING HEIGHT: | MAX. 30' | PROVIDED 30' |

| PROPOSED LOT COVERAGE: | REQUIRED | PROVIDED |
|------------------------|----------|----------|
| BUILDING: | 40% | 10.3% |
| IMPERVIOUS: | 85% | 25.8% |

| FUTURE LOT COVERAGE: | REQUIRED | PROVIDED |
|----------------------|----------|----------|
| BUILDING: | 40% | 29.0% |
| IMPERVIOUS: | 85% | 52.3% |

ADJACENT ZONING:

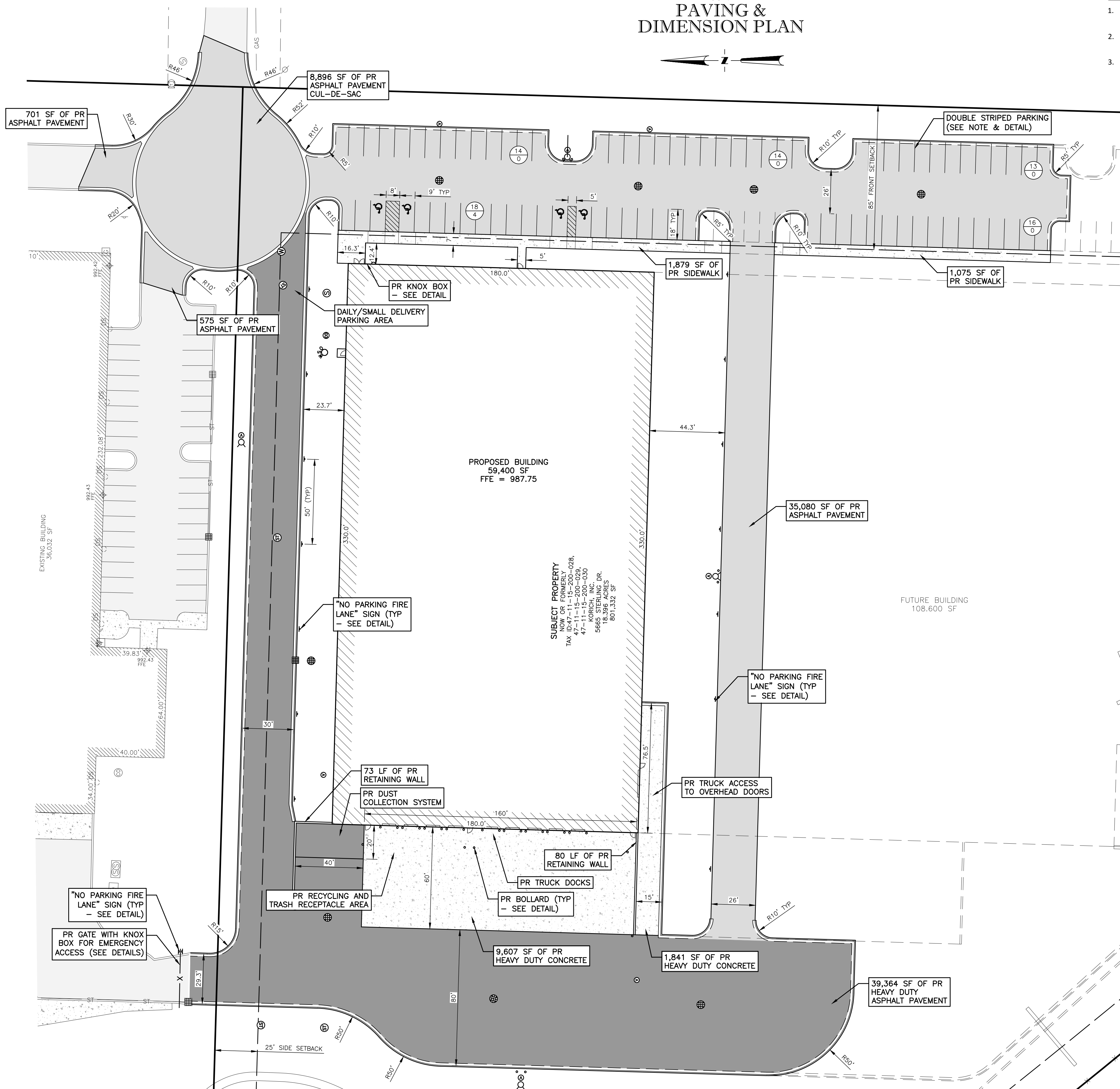
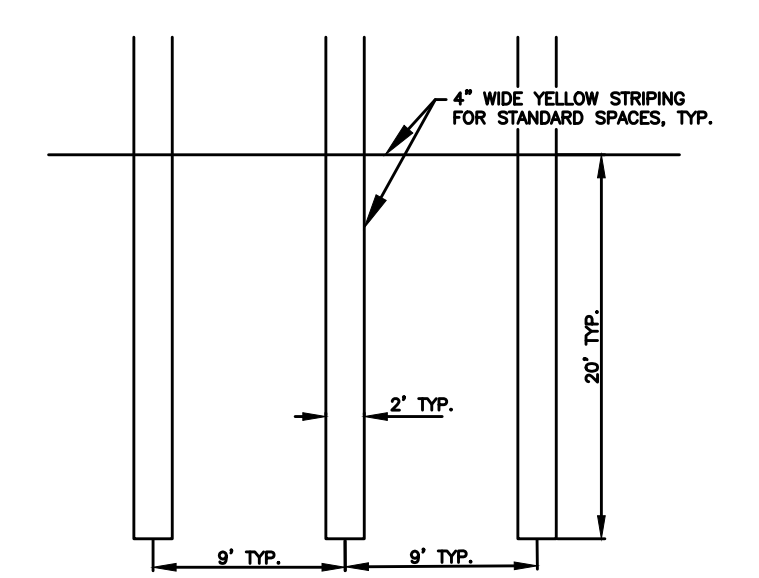
| | |
|--------|---------------------------|
| NORTH: | IND (INDUSTRIAL) |
| SOUTH: | N/A |
| EAST: | IND (INDUSTRIAL) |
| WEST: | SR (SUBURBAN RESIDENTIAL) |

PROPOSED PARKING

| | |
|---|------------------------|
| 1/300 SF OFFICE SPACE | |
| 1.5/1,000 SF MANUFACTURING SPACE | |
| 1/1,500 SF WAREHOUSE SPACE | |
| PROPOSED BUILDING AREA | |
| 4,965 SF OFFICE | XX REGULAR SPACES |
| 30,200 SF MANUFACTURING | XX BARRIER FREE SPACES |
| 25,170 SF WAREHOUSE | |
| 4,965/300 + (30,200/1,000)x1.5 + 25,170/1,500 = 79 SPACES | |
| PROPOSED PARKING REQUIRED: | 79 SPACES |
| PARKING SPACES: | 75 |
| BARRIER FREE PARKING SPACES: | 4 |
| TOTAL PARKING PROVIDED: | 79 |
| FUTURE BUILDING AREA | |
| ADDITIONAL 32,580 SF MANUFACTURING | |
| ADDITIONAL 76,020 SF WAREHOUSE | |
| (32,580/1,000)x1.5 + 76,020/1,500 = 100 SPACES | |
| FUTURE PARKING REQUIRED: | 179 SPACES |
| PROPOSED PARKING SPACES: | 79 |
| FUTURE PARKING SPACES: | 98 |
| FUTURE BARRIER FREE PARKING SPACES: | 2 |
| TOTAL FUTURE PARKING PROVIDED: | 179 |

DOUBLE STRIPING DETAIL

NOT TO SCALE



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOB)

ALLAN W. PRUSS
ENGINEER
NO. 43188

Call MISS DIG
3 full working days before you dig:

Utility Notification Organization

1-800-482-7171
www.missdig.org

NO. 43188

CLIENT:

SI

SCHONSHECK, INC.

DESIGN BUILD - CONSTRUCTION
5000 FRONTAGE TRAIL, SUITE 100, WOODHURST, OHIO 44095
P: 440.948.8100 F: 440.948.8100
WWW.SCHONSHECK.COM

PAVING & DIMENSION PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

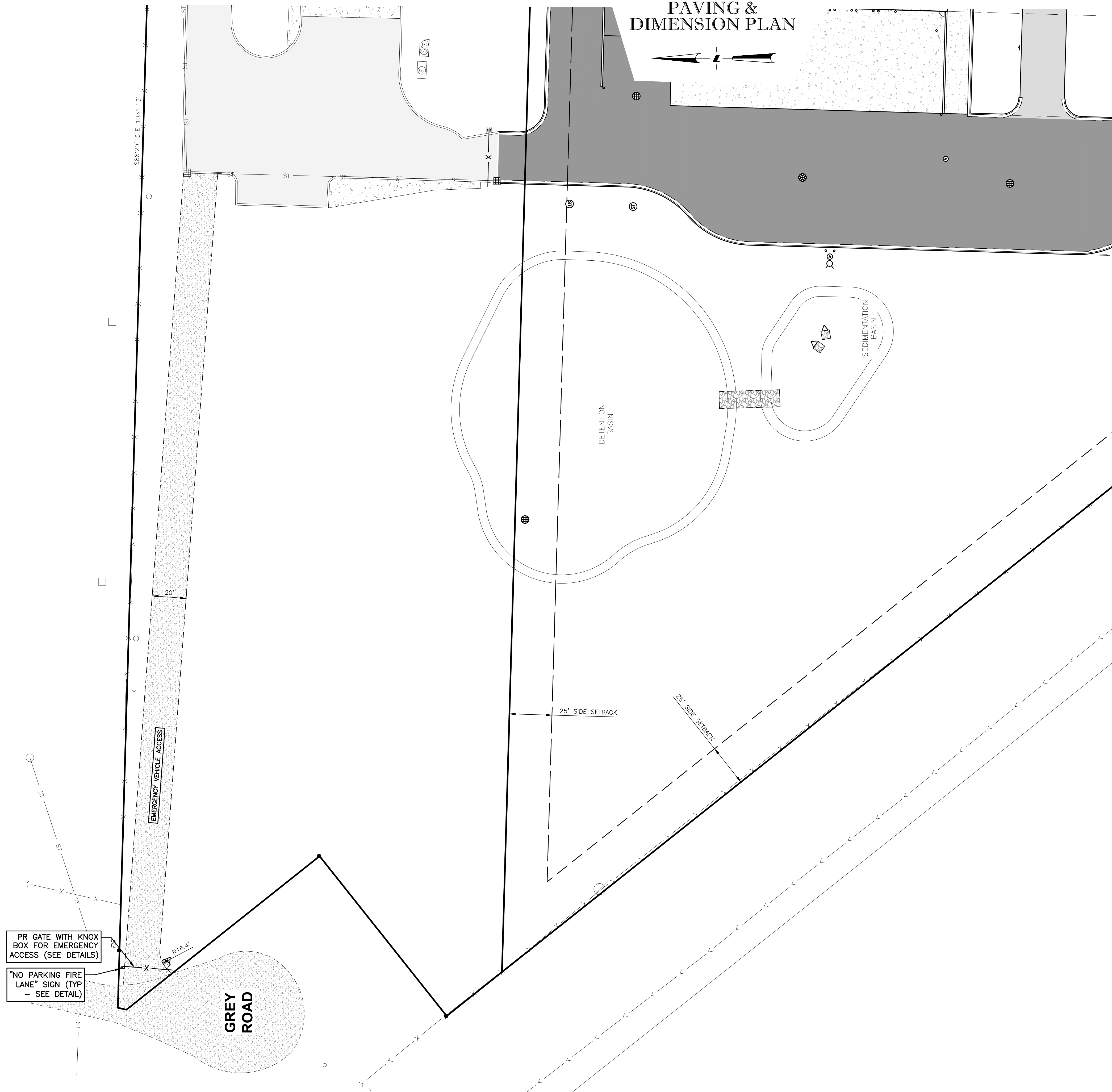
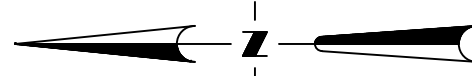
| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

| | |
|----------------------|---|
| ORIGINAL ISSUE DATE: | 5/01/2019 |
| PROJECT NO: | 19-018 |
| SCALE: | 1" = 30' |
| FIELD: | DRAWN BY: DC DESIGN BY: BS CHECK BY: AP |

C-11

NOT FOR CONSTRUCTION

MASONITE
PAVING &
DIMENSION PLAN



PR GATE WITH KNOX
BOX FOR EMERGENCY
ACCESS (SEE DETAILS)

"NO PARKING FIRE
LANE" SIGN (TYP
- SEE DETAIL)

GREY
ROAD

25' SIDE SETBACK

25' SIDE SETBACK

DETENTION
BASIN

SEDIMENTATION
BASIN

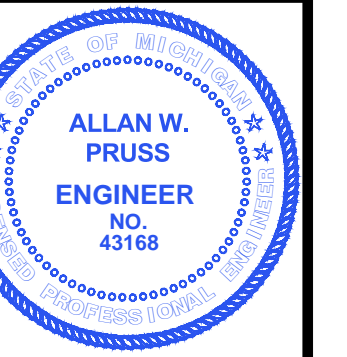
EMERGENCY VEHICLE ACCESS

INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS

MEGA
MONUMENT ENGINEERING GROUP ASSOCIATES
INC.

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)



Allan W. Pruss

Call MISS DIG
3 full working days before you dig:

Utility
Notification
Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

SCHONSHECK,

DESIGN BUILD - CONSTRUCTION
5000 PONTIAC TRAIL, SUITE 100, WOODHURST, MI 48095
P: 519-928-8200 F: 519-928-8200
WWW.SCHONSHECK.COM

PAVING & DIMENSION PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

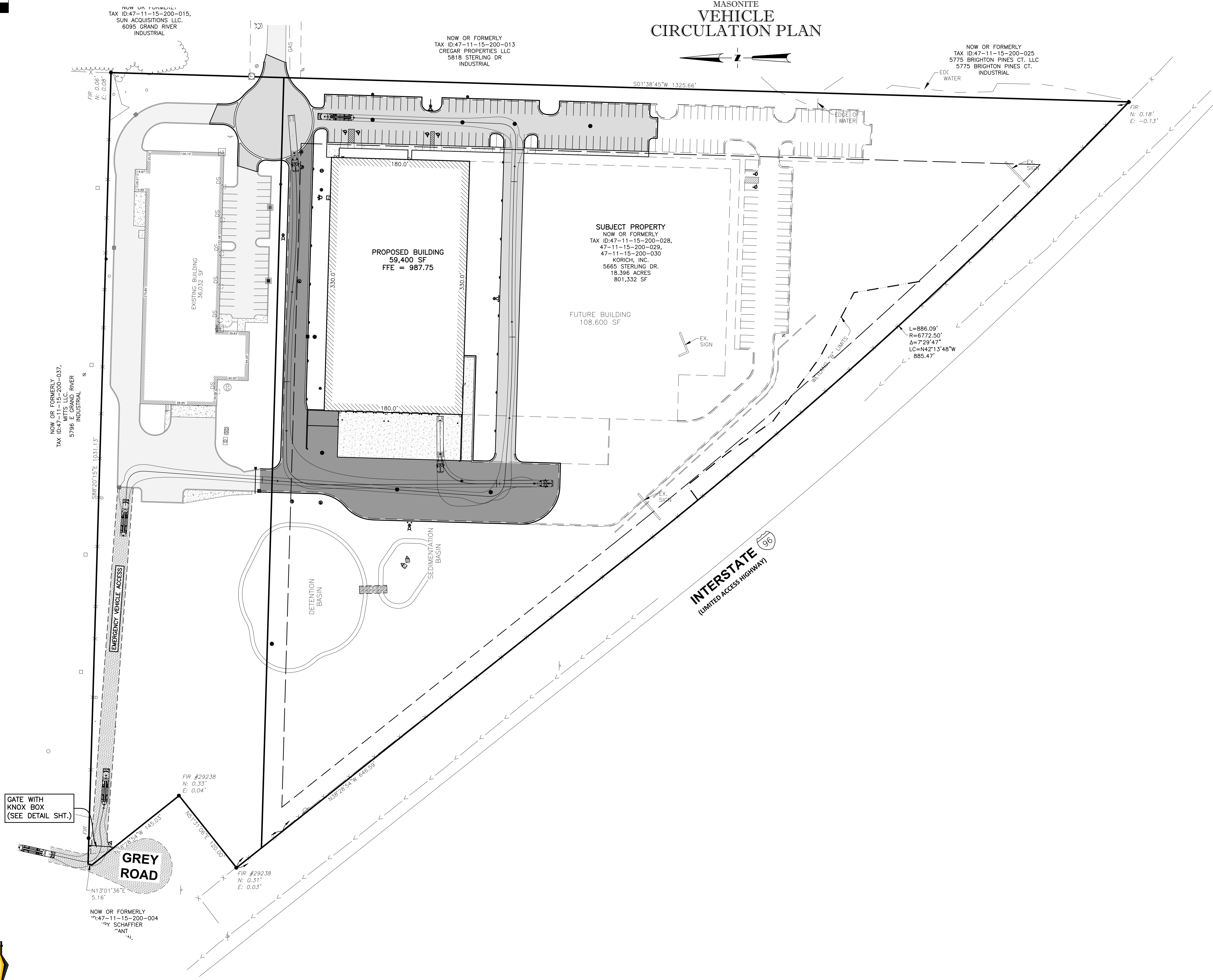
SCALE: 1" = 30'
0 1/2" 1"

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

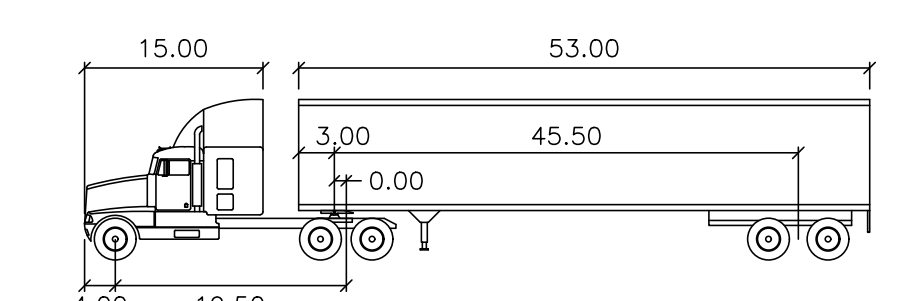
C-12

NOT FOR CONSTRUCTION

MASONITE VEHICLE CIRCULATION PLAN



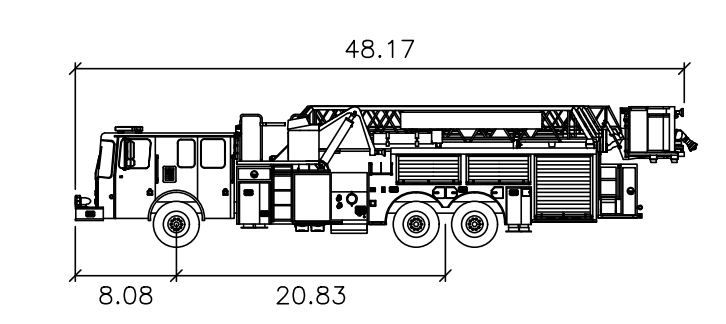
SEMI TRUCK



WB-67

| feet | | |
|---------------|--------|---------------------------|
| Tractor Width | : 8.00 | Lock to Lock Time : 6.0 |
| Trailer Width | : 8.50 | Steering Angle : 28.4 |
| Tractor Track | : 8.00 | Articulating Angle : 75.0 |
| Trailer Track | : 8.50 | |

EMERGENCY VEHICLE



Smeal Platform MM 100ft

| feet | |
|-------------------|--------|
| Width | : 8.33 |
| Track | : 7.92 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 45.0 |

MEGA
 Monument Engineering Group Associates, Inc.

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
 ENGINEER
 NO. 43188

Allan W. Pruss

Call MISS DIG
3 full working days before you dig!

Utility Notification Organization
Michigan's One-Call

1-800-482-7171
www.missdig.org

THE LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTHS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

SCHONSHECK,
 DESIGN BUILD - CONSTRUCTION
 5655 PONTIAC TRAIL, WYOMING MI 48393
 P: 248-688-8900 F: 248-688-8901
 WWW.SCHONSHECK.COM

VEHICLE CIRCULATION PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |
| | |
| | |

ORIGINAL ISSUE DATE: 5/01/2019

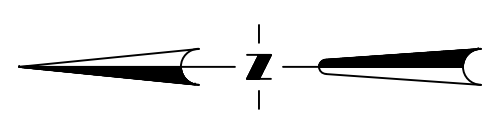
PROJECT NO: 19-018

SCALE: 1" = 60'

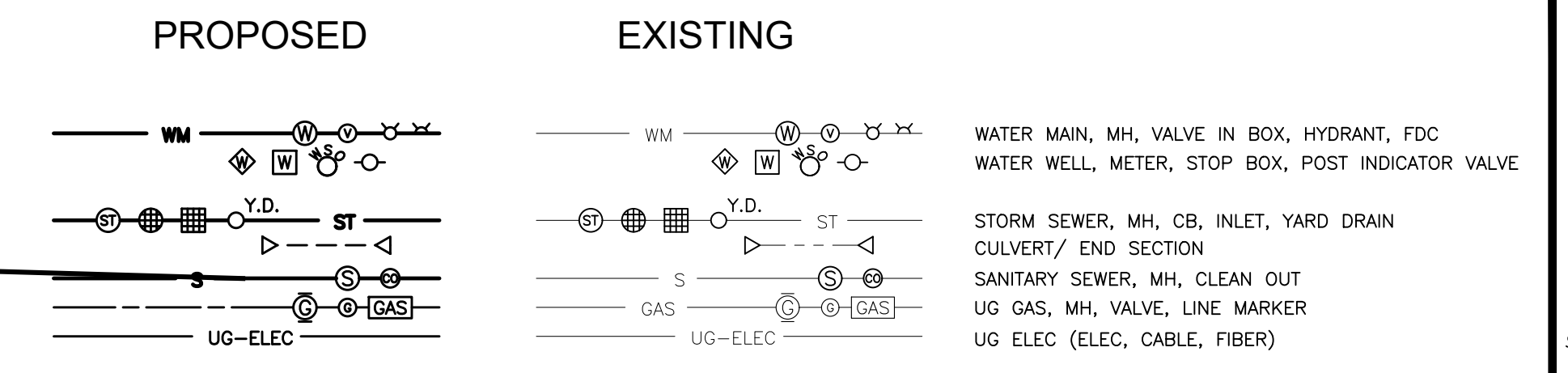
FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

NOT FOR CONSTRUCTION

MASONITE
SANITARY &
WATER MAIN PLAN



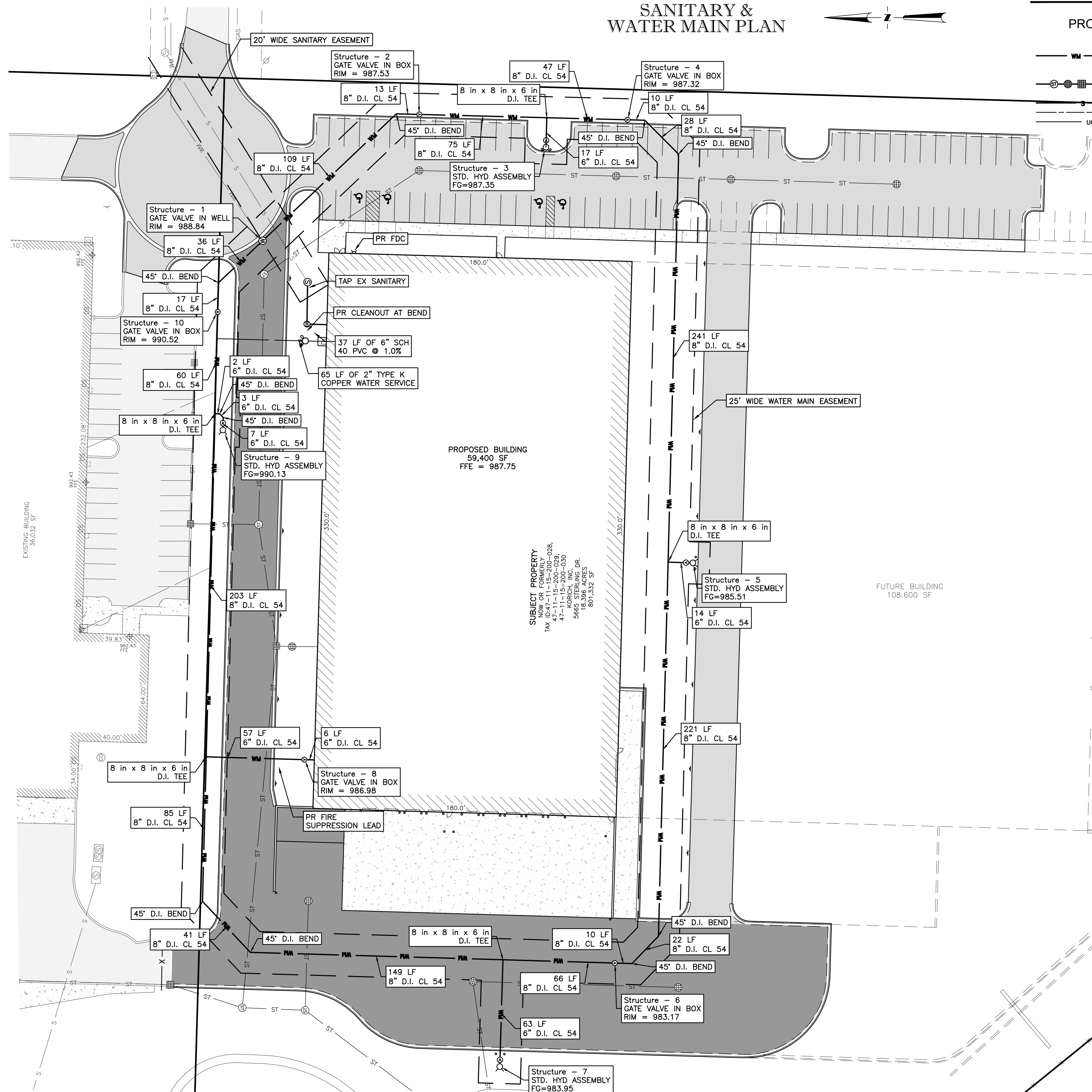
UTILITY LEGEND



STRUCTURE SCHEDULE

| EX. STORM SEWER | | |
|-----------------|-----------|--------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10045) CBS | 990.37 | 15" W IE= 983.27 12" E IE= 984.83 |
| (10046) CBS | 990.10 | 12" W IE= 985.70 |

| EX. SANITARY SEWER | | |
|--------------------|-----------|-------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10002) SAN | 989.64 | 8" SW IE= 980.35 8" E IE= 980.55 |
| (10180) SAN | 991.47 | 8" NE IE= 981.97 |



SUBJECT PROPERTY
NOW OR FORMERLY
TAX ID: 47-11-15-200-028,
47-11-15-200-029,
47-11-15-200-030
KORICH, INC.
5665 STERLING DR.
GENOA TOWNSHIP, MI 48030
1801.342 SF

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
Engineering Group Associates, Inc.

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Call MISS DIG
3 full working days before you dig:

Michigan's
One-Call
Utility
Notification
Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

SCHONSHECK,
CONSTRUCTION

5665 STERLING DRIVE
GENOA TOWNSHIP, MICHIGAN

SANITARY & WATER MAIN PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE: 5/01/2019

PROJECT NO: 19-018

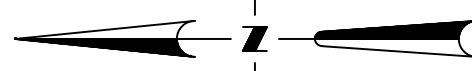
SCALE: 1" = 30'

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-4.0

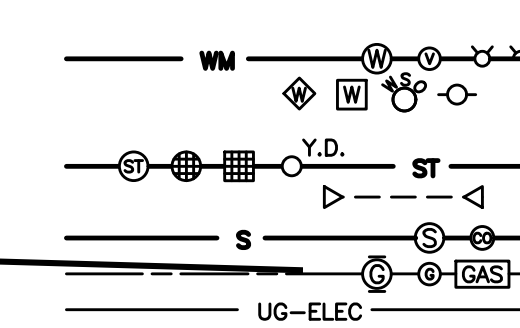
NOT FOR CONSTRUCTION

MASONITE STORM SEWER PLAN

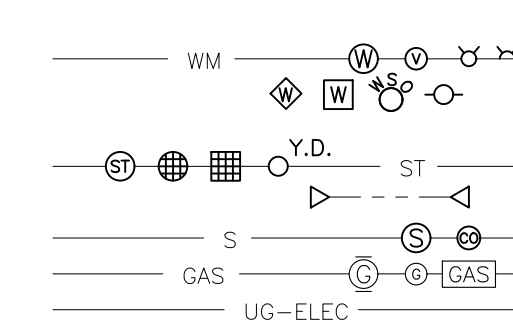


UTILITY LEGEND

PROPOSED



EXISTING



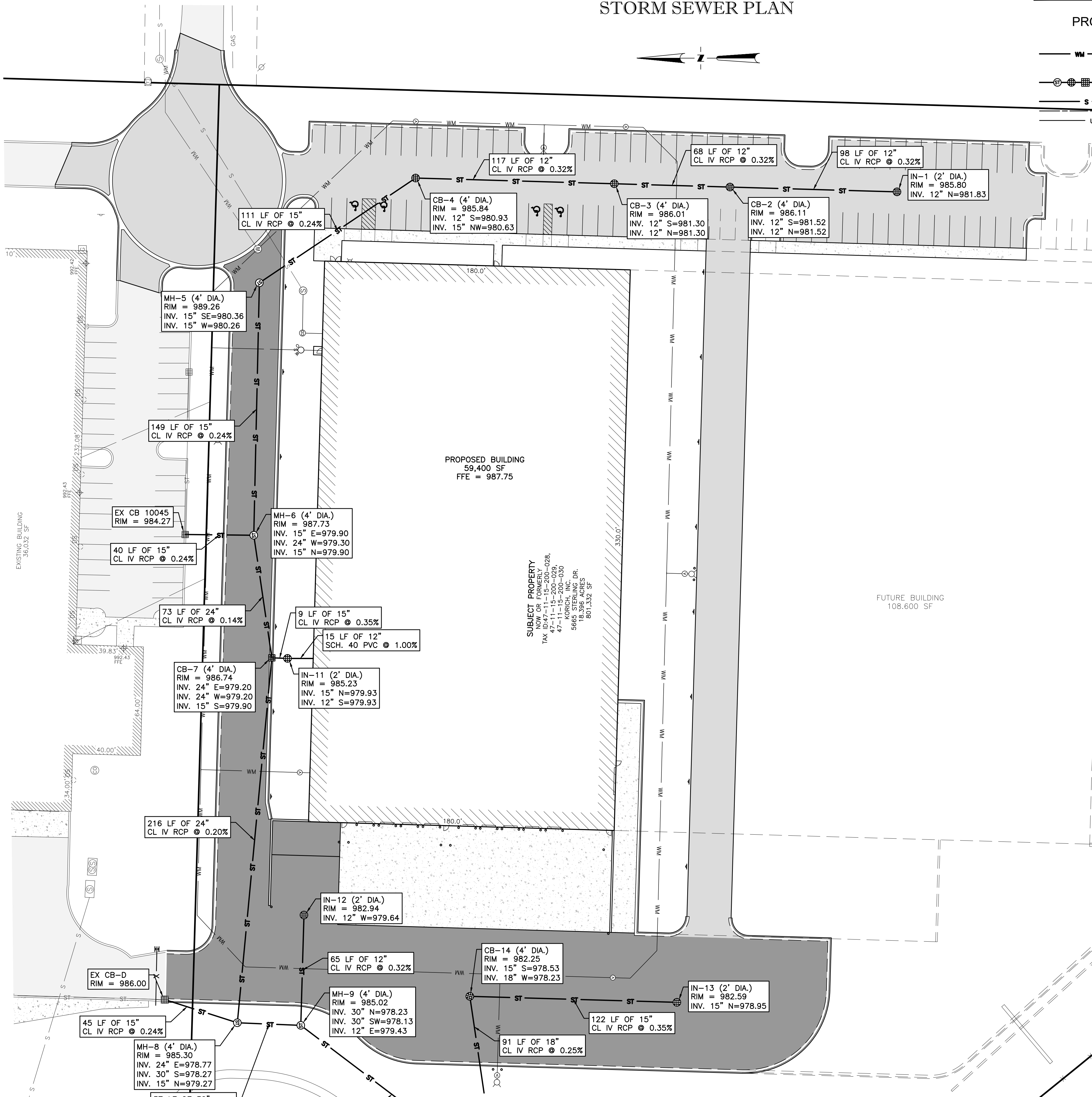
WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
 WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
 STORM SEWER, MH, CB, INLET, YARD DRAIN
 CULVERT/ END SECTION
 SANITARY SEWER, MH, CLEAN OUT
 UG GAS, MH, VALVE, LINE MARKER
 UG ELEC (ELEC, CABLE, FIBER)

STRUCTURE SCHEDULE

| EX. STORM SEWER | | |
|-----------------|-----------|--------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10045) CBS | 990.37 | 15" W IE= 983.27 12" E IE= 984.83 |
| (10046) CBS | 990.10 | 12" W IE= 985.70 |

| EX. SANITARY SEWER | | |
|--------------------|-----------|-------------------------------------|
| STRUCTURE | RIM ELEV. | PIPES |
| (10002) SAN | 989.64 | 8" SW IE= 980.35 8" E IE= 980.55 |
| (10180) SAN | 991.47 | 8" NE IE= 981.97 |

| PROPOSED STORM SEWER | | |
|----------------------|-----------|---|
| STRUCTURE | RIM ELEV. | PIPES |
| CB-2 | 986.11 | 12" S IE= 981.52 12" N IE= 981.52 |
| CB-3 | 986.01 | 12" S IE= 981.30 12" N IE= 981.30 |
| CB-4 | 985.84 | 12" S IE= 980.93 15" NW IE= 980.63 |
| CB-7 | 986.74 | 24" E IE= 979.20 24" W IE= 979.20 15" S IE= 979.90 |
| CB-14 | 982.25 | 15" S IE= 978.53 18" W IE= 978.23 |
| ES-10 | | 30" NE IE= 978.00 |
| ES-15 | | 18" E IE= 978.00 |
| ES-17 | | 15" SE IE= 977.00 |
| EX CB 10045 | 984.27 | 15" S IE= 980.00 |
| EX CB-D | 986.00 | 15" S IE= 979.38 |
| IN-1 | 985.80 | 12" N IE= 981.83 |
| IN-11 | 985.23 | 15" N IE= 979.93 12" S IE= 979.93 |
| IN-12 | 982.94 | 12" W IE= 979.64 |
| IN-13 | 982.59 | 15" N IE= 978.95 |
| MH-5 | 989.26 | 15" SE IE= 980.36 15" W IE= 980.26 |
| MH-6 | 987.73 | 15" E IE= 979.90 24" W IE= 979.30 15" N IE= 979.90 |
| MH-8 | 985.30 | 24" E IE= 978.77 30" S IE= 978.27 15" N IE= 979.27 |
| MH-9 | 985.02 | 30" N IE= 978.23 30" SW IE= 978.13 12" E IE= 979.43 |
| OC-16 | 981.98 | 15" NW IE= 978.00 |



PROPOSED BUILDING
59,400 SF
FFE = 987.75

FUTURE BUILDING
108,600 SF

SUBJECT PROPERTY
NOW OR FORMERLY
TAX ID: 47-11-15-200-028,
47-11-15-200-029,
47-11-15-200-030,
KORICH, INC.
5661 W. WATKINS DR.
LIVESTON, MI 48320
801.332.5F

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOBS)

Call MISS DIG
3 full working days before you dig:

Utility Notification Organization
www.missdig.org
1-800-482-7171

CLIENT:

SCHONSHECK,
DESIGN-BUILD-CONSTRUCTION
5000 FRONTAGE TRAIL, SUITE 100
FOWLERVILLE, MI 48836
WWW.SCHONSHECK.COM

STORM SEWER PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE: 5/01/2019

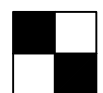
PROJECT NO: 19-018

SCALE: 1" = 30'

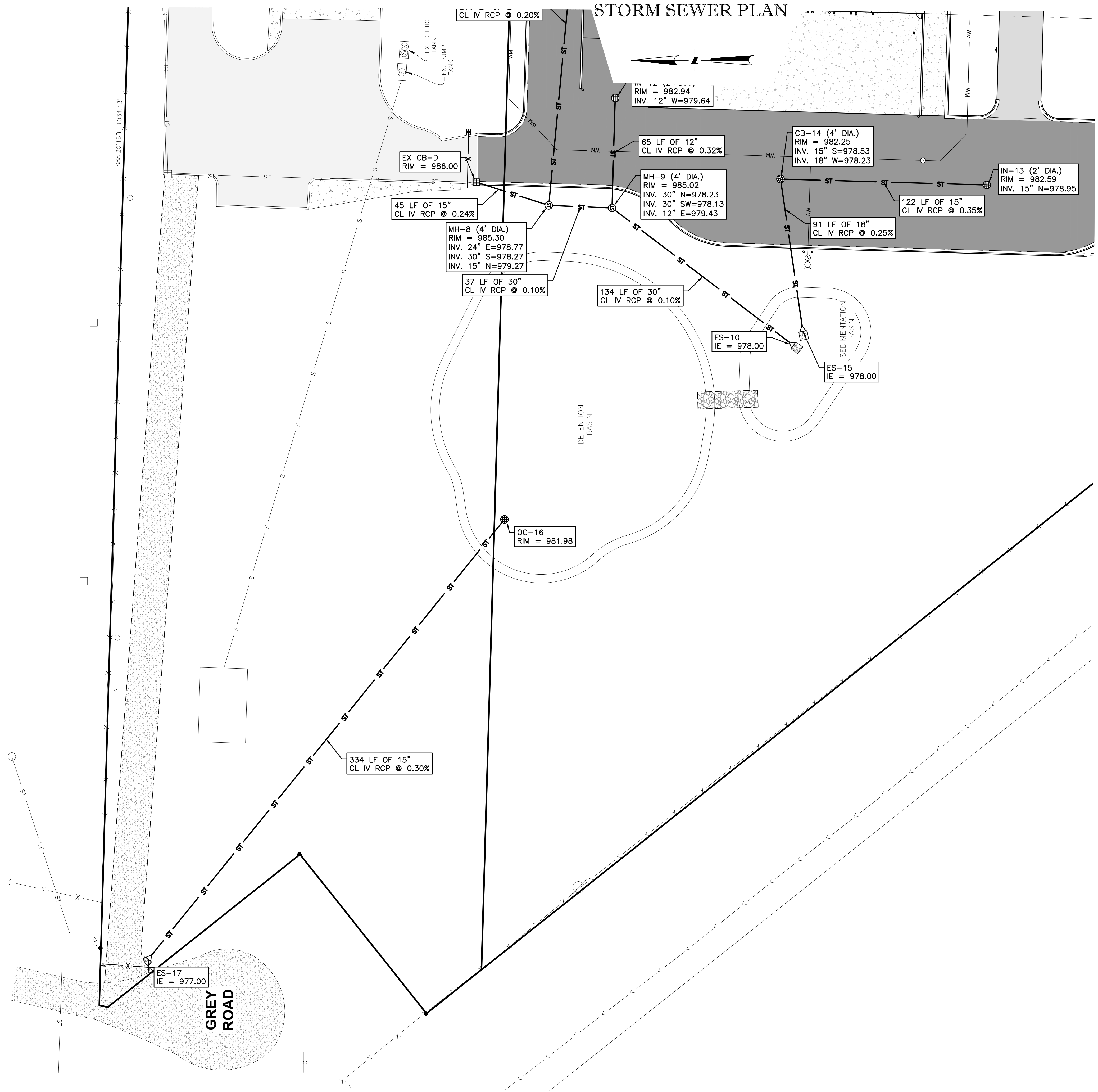
FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-6.0

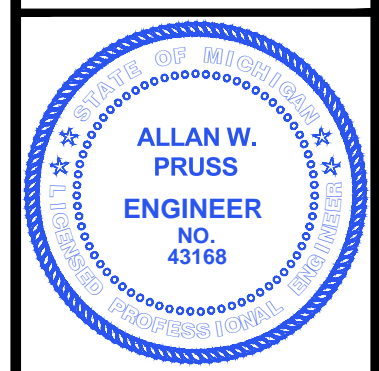
NOT FOR CONSTRUCTION



MASONITE
STORM SEWER PLAN



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
MEGA
 ENGINEERING GROUP ASSOCIATES
 INC.
 298 VETERANS DRIVE
 FOWLERVILLE, MICHIGAN 48836
 (OFFICE) 517-223-3512
 MONUMENTENGINEERING.COM
 SERVICE DISABLED VETERAN OWNED
 SMALL BUSINESS (SDVOB)



Call MISS DIG
 3 full working days before you dig:
 Michigan's Utility Notification Organization
 One-Call
 1-800-482-7171
 www.missdig.org
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT:

SCHONSHECK,
 DESIGN-BUILD - CONSTRUCTION
 5000 PONTIAC TRAIL, SUITE 100, BOSTON, MI 48305
 P: 517-858-8500 F: 517-858-8500
 WWW.SCHONSHECK.COM

STORM SEWER PLAN
 MASONITE
 5665 STERLING DRIVE
 PART OF NE 1/4, SEC. 15, T2N-R8E
 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE:
 5/01/2019

PROJECT NO: 19-018

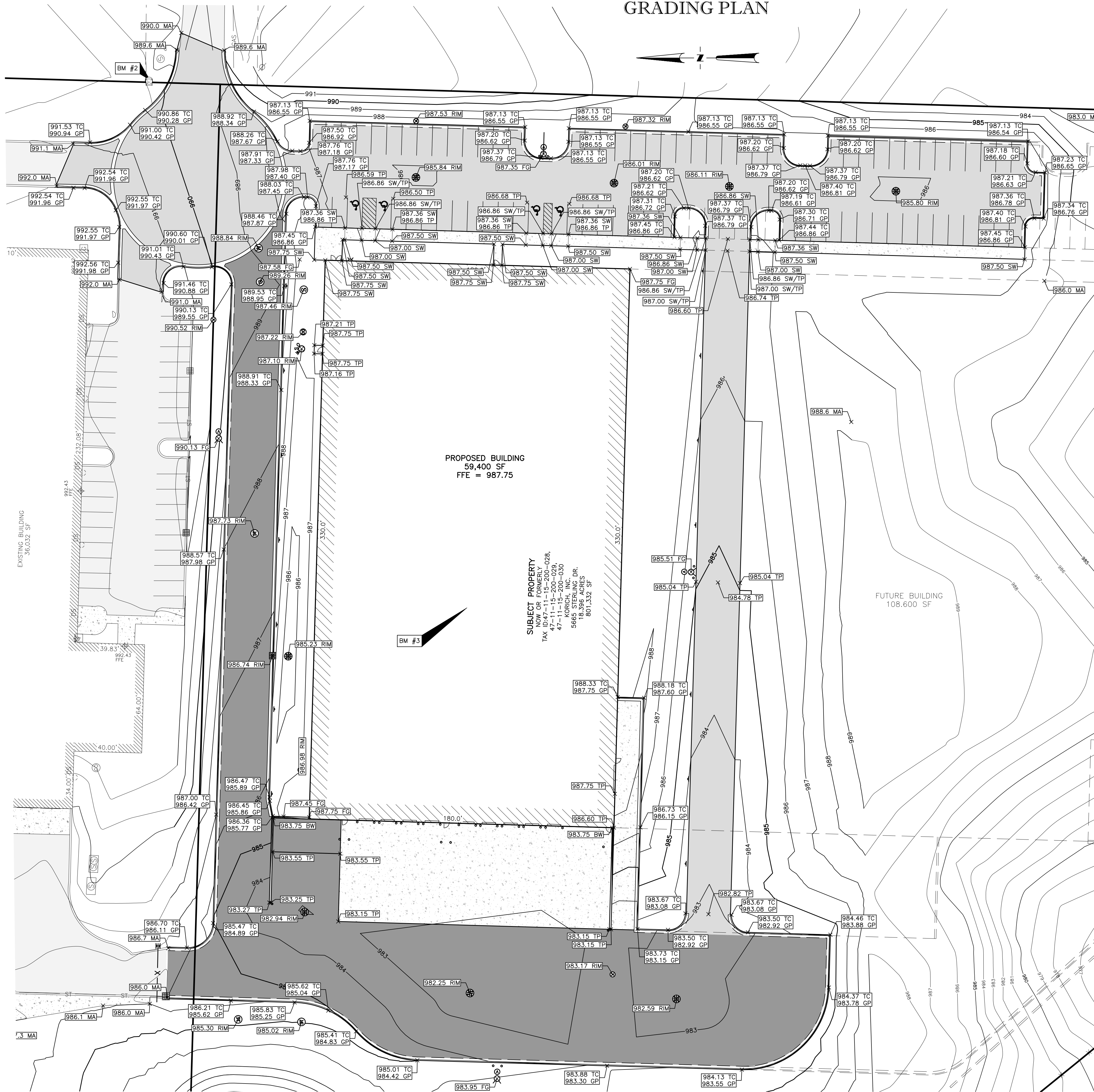
SCALE: 1" = 30'

FIELD:
 DRAWN BY: DC
 DESIGN BY: BS
 CHECK BY: AP

C-6.1

NOT FOR CONSTRUCTION

MASONITE
GRADING PLAN



GRADING LEGEND

- X 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 940.00 SW PROPOSED SIDEWALK GRADE
- X 940.00 FG PROPOSED FINISH GRADE
- X 940.00 TC PROPOSED TOP CURB GRADE
- X 939.50 GP PROPOSED GUTTER PAN GRADE
- X 940.0 MA MATCH EXISTING
- X 940.0 RIM PROPOSED RIM GRADE
- X 940.00 ADJ-RIM ADJUSTED RIM GRADE
- 7.00 x EXISTING ELEVATION
- 900 EXISTING CONTOUR
- 900 PROPOSED CONTOUR
- LIMITS OF DISTURBANCE

BENCHMARKS

DATUM: LOCAL DATUM

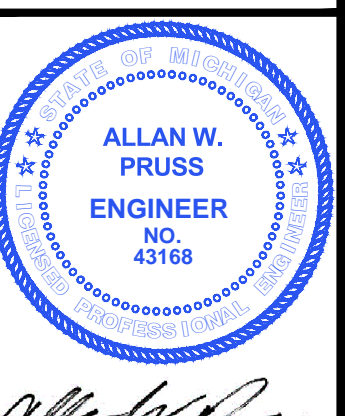
BM: #1
60D NAIL IN NORTHEAST SIDE OF 40" OAK TREE.
ELEV: 991.87

BM: #2
60D NAIL IN NORTH SIDE UTILITY POLE.
ELEV: 991.82

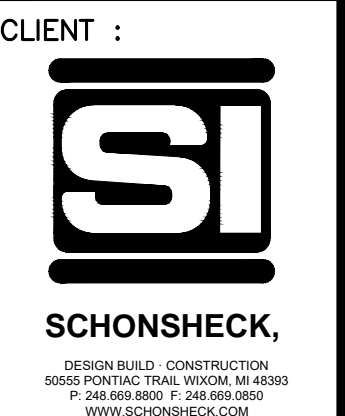
BM: #3
ARROW ON TOP OF HYDRANT, 229± SOUTH OF BUILDING.
ELEV: 993.89

PROPOSED BUILDING
59,400 SF
FFE = 987.75

SUBJECT PROPERTY
NOW OR FORMERLY
TAX 47-11-15-200-028,
47-11-15-200-030,
KORICH, INC.
566 STERLING DR.
18.396 ACRES DR.
801.332 SF



Call MISS DIG
3 full working days before you dig:
Michigan's One-Call
Utility Notification Organization
1-800-482-7171
www.missdig.org



GRADING PLAN
MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

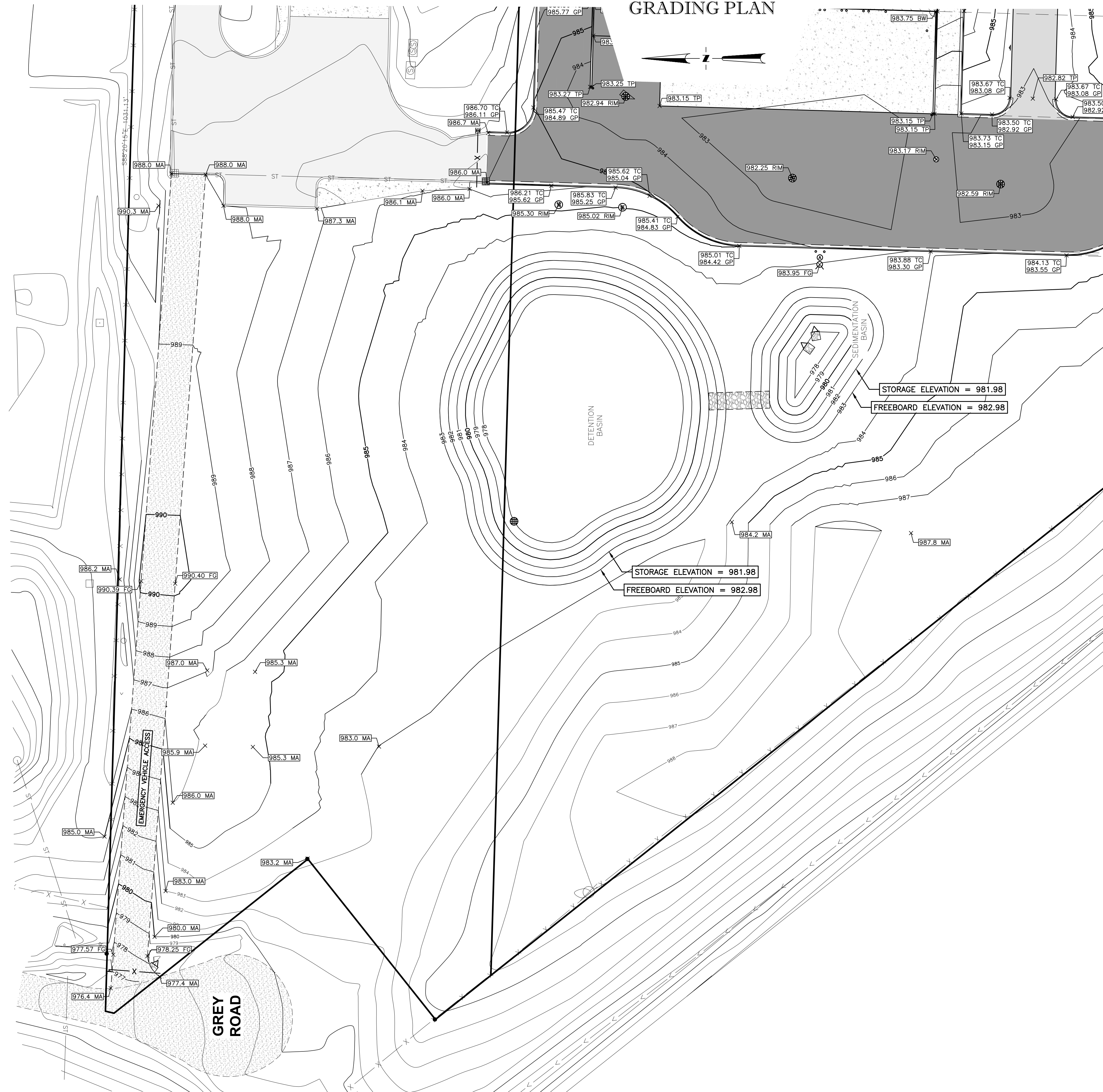
SCALE: 1" = 30'
0 1/2" 1"

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-7.0

NOT FOR CONSTRUCTION

MASONITE
GRADING PLAN

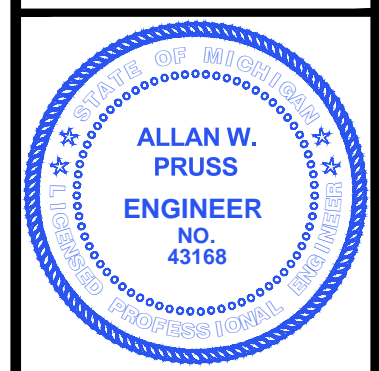


INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS

MEGA
MONUMENT ENGINEERING GROUP ASSOCIATES, INC.

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)



Allan W. Pruss

Call MISS DIG
3 full working days before you dig:

Utility
One-Call
Notification
Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

SCHONSHECK,
DESIGN-BUILD - CONSTRUCTION
5605 PONTIAC TRAIL, SUITE 100, WARREN, MI 48093
P: 588.8888 F: 588.8889
WWW.SCHONSHECK.COM

GRADING PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

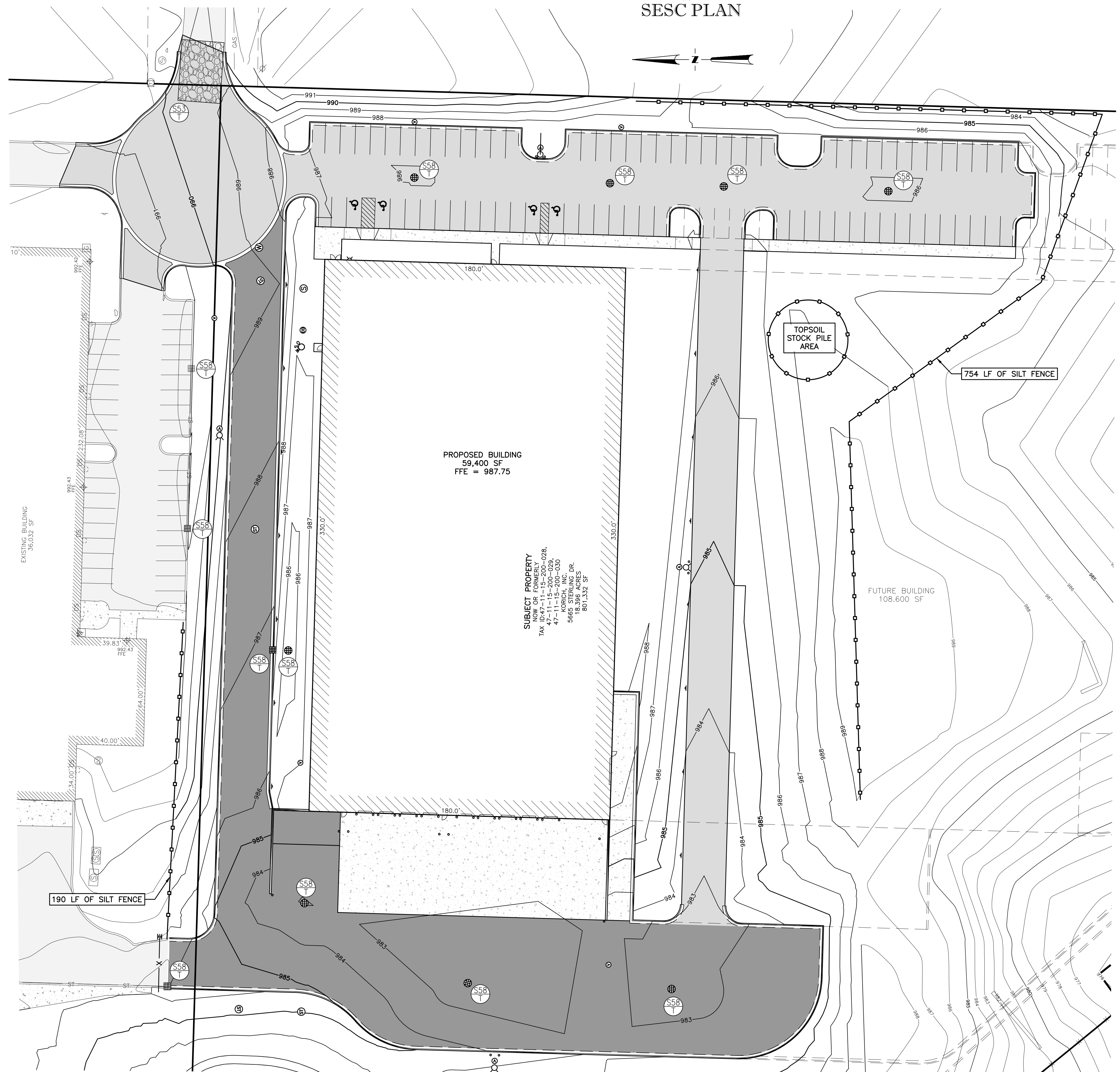
SCALE: 1" = 30'

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-7.1

NOT FOR CONSTRUCTION

MASONITE
SESC PLAN



DTMB SOIL EROSION & SEDIMENTATION
CONTROL MEASURES

MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB)

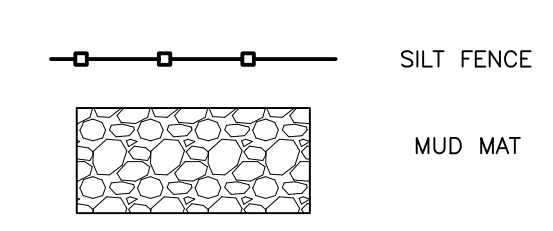
| EROSION CONTROLS | | |
|------------------|---------------------------|--|
| KEY | BEST MANAGEMENT PRACTICES | WHERE USED |
| E6 | MULCH | FOR USE IN AREAS SUBJECT TO ERODIVE SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDD AREAS. |
| E8 | PERMANENT SEEDING | STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED). |

| SEDIMENT CONTROLS | | |
|-------------------|--------------------------------|--|
| KEY | BEST MANAGEMENT PRACTICES | WHERE USED |
| S51 | SILT FENCE | USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LOADED SHEET FLOW FROM ENTERING THESE AREAS. |
| S53 | STABILIZED CONSTRUCTION ACCESS | USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. |
| S55 | SEDIMENT BASIN | AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN. |
| S58 | INLET PROTECTION FABRIC DROP | USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES. |

| EROSION & SEDIMENT CONTROLS | | |
|-----------------------------|---------------------------|--|
| KEY | BEST MANAGEMENT PRACTICES | WHERE USED |
| ES31 | CHECK DAM | USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONSTRUCTED AND EXISTING FLOW CORRIDORS. |

XX TEMPORARY XX PERMANENT

SESC LEGEND



EROSION CONTROL QUANTITIES

Disturbed Area: 8.9 Acres

| QTY | UNIT | ITEM |
|------|------|--------------|
| 1897 | LF | SILT FENCE |
| 13 | EA | INLET FILTER |
| 49 | SY | RIP-RAP |

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
MONUMENTAL ENGINEERING GROUP ASSOCIATES, INC.

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Call MISS DIG
3 full working days before you dig!

Utility Notification Organization

1-800-482-7171
www.missdig.org

THE LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

SCHONSHECK,
DESIGN BUILD - CONSTRUCTION
5000 PONTIAC TRAIL, WOODHURST, MI 48095
P: 248-988-8850 F: 248-988-8850
WWW.SCHONSHECK.COM

SESC PLAN

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE:
5/01/2019

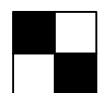
PROJECT NO: 19-018

SCALE: 1" = 30'

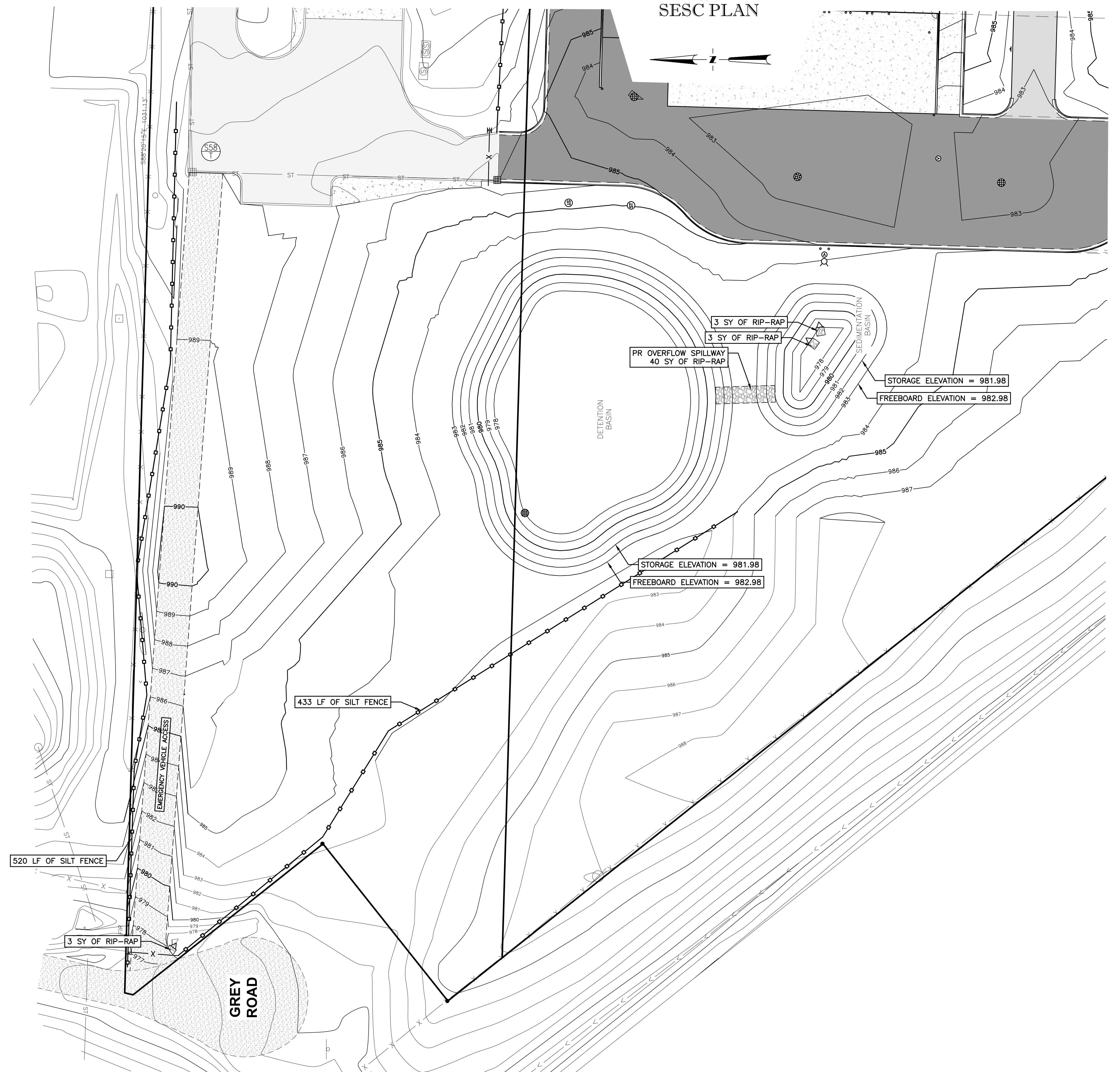
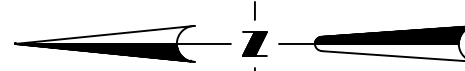
FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-8.0

NOT FOR CONSTRUCTION



MASONITE SESC PLAN



EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LIVINGSTON COUNTY DRAIN COMMISSION OFFICE.
- DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
- STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE MDEQ NOTICE OF COVERAGE FOR NPDES AS REQUIRED.
- ALL DISTURBED AREAS ARE TO BE TOP SOILED AND SEEDED WITH THE FOLLOWING MIN RATIO:
TOP-SOIL 3" IN DEPTH, GRASS SEED 210 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

- CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM LIVINGSTON COUNTY DRAIN COMMISSION OFFICE PRIOR TO COMMENCING WORK.
- EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
- ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
- PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
- ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
- INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
- IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE, THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.

SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION

- THE CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON APPROVED PLANS.
- REMOVE ALL TOPSOIL AND ORGANIC MATTER. TOPSOIL MAY BE STORED ON SITE IN DESIGNATED AREA TO BE USED FOR FUTURE PLANTING AND FILL AREAS. TRUCK REMAINING TOP SOIL OFFSITE AND PROPERLY DISPOSE.
- ROUGH GRADE AND INSTALL NEW UNDERGROUND UTILITIES INCLUDING DETENTION BASIN. PLACE INLET FILTERS AT PROPOSED CATCH BASINS THROUGHOUT SITE.
- DETENTION BASIN SHALL BE EXCAVATED, TOP SOILED, AND SEEDED IMMEDIATELY AFTER DEMOLITION WORK IS COMPLETED.
- CONSTRUCT BUILDINGS.
- FINISH GRADE AROUND BUILDINGS AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1:4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.
- REPAIR/CLEAN INLET FILTERS AS REQUIRED.
- INSTALL FINAL LANDSCAPING PER SEPARATE LANDSCAPE PLAN.
- STONE AROUND OUTLET STANDPIPE STRUCTURE SHALL BE REFRESHED.
- REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDED VEGETATION HAS ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
Engineering Group Associates, Inc.

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Allan W. Pruss

Call MISS DIG
3 full working days before you dig:
TOP-SOIL 3" IN DEPTH, GRASS SEED 210 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.

Michigan's Utility Notification Organization
One-Call
1-800-482-7171
www.missdig.org

CLIENT :

SCHONSHECK,
DESIGN-BUILD-CONSTRUCTION
5665 STERLING DRIVE
GENOA TOWNSHIP, MICHIGAN 48838

SESC PLAN
MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| PLAN SUBMITTALS/REVISIONS | DATE |
|---------------------------------|-----------|
| PRELIMINARY SITE PLAN SUBMITTAL | 5/01/2019 |
| REVISED SITE PLAN SUBMITTAL | 5/22/2019 |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

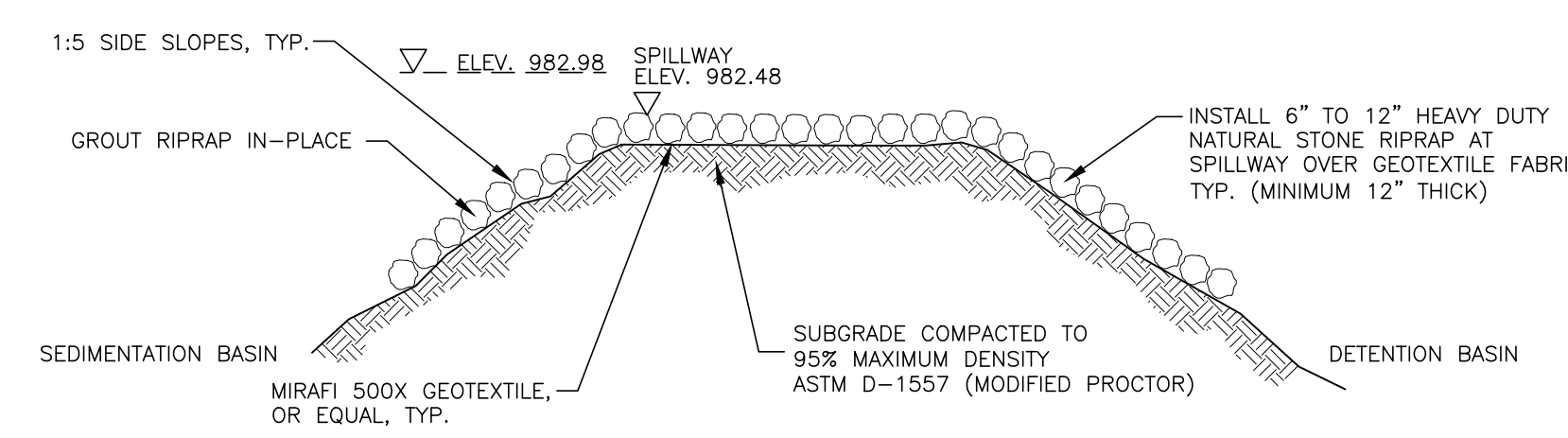
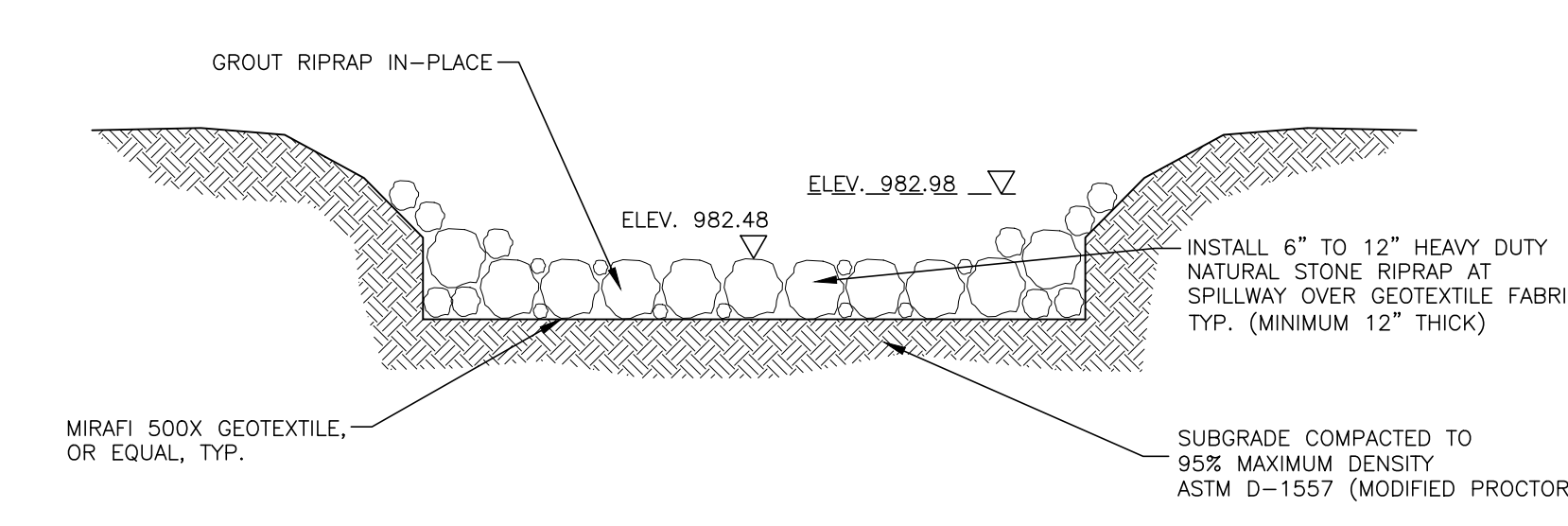
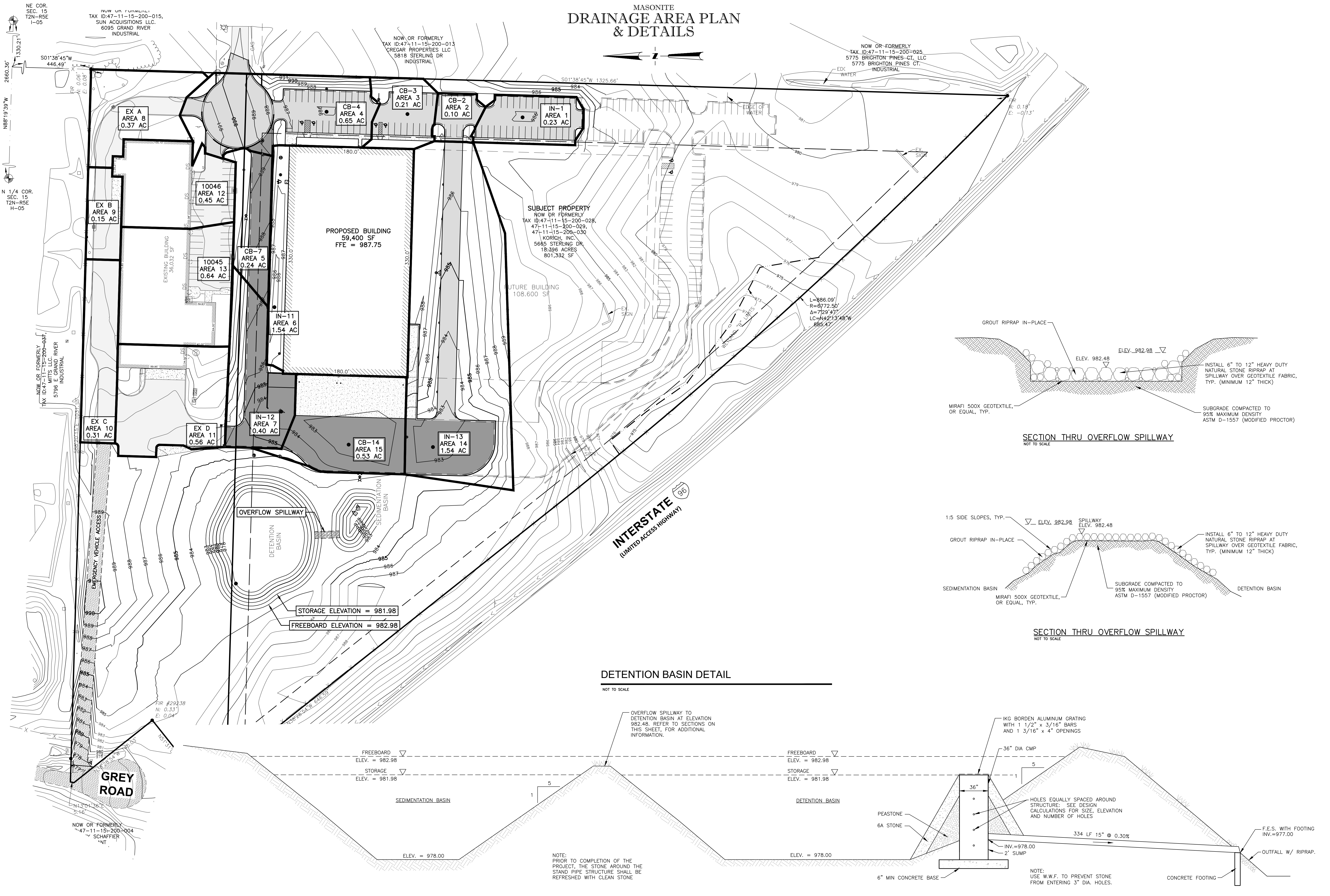
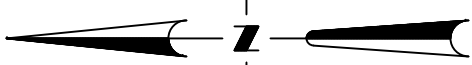
SCALE: 1" = 30'
0 1/2" 1"

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-8.1

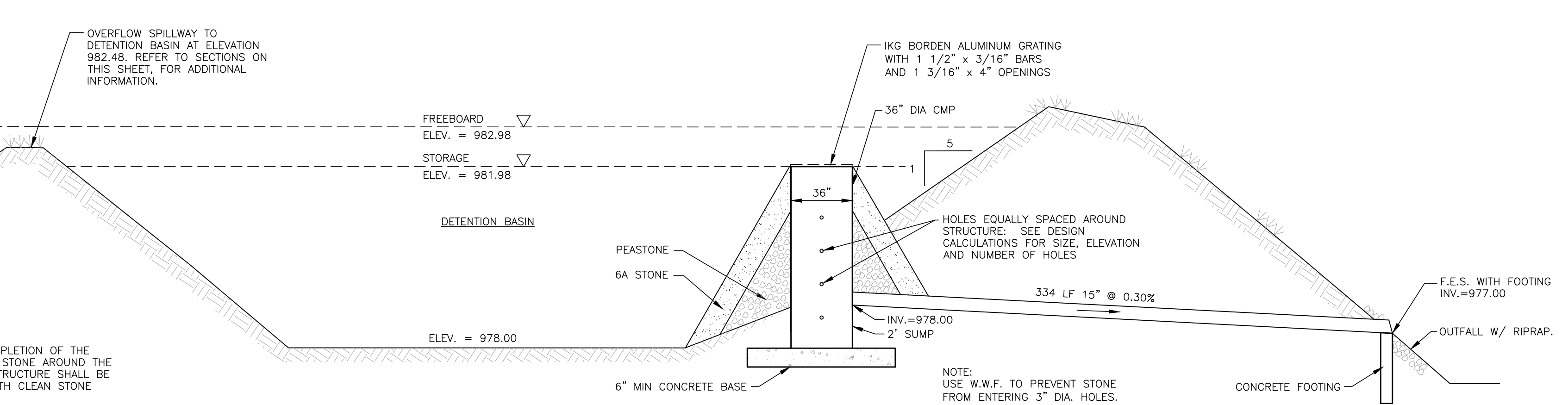
NOT FOR CONSTRUCTION

MASONITE DRAINAGE AREA PLAN & DETAILS



DETONATION BASIN DETAIL

NOT TO SCALE



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
Engineering Group Associates, Inc.

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Allan W. Pruss

Call MISS DIG
3 full working days before you dig.

Michigan's Utility Notification Organization

1-800-482-7171
www.missdig.org

NO. 43168

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND ELEVATIONS PRIOR TO THE START OF

CLIENT :

SI

SCHONSHECK,
DESIGN-BUILD-CONSTRUCTION
5000 PONTIAC TRAIL, SUITE 100
P.O. BOX 8000 F. 48103-8000
WWW.SCHONSHECK.COM

DRAINAGE AREA PLAN & DETAILS

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE:
5/01/2019

PROJECT NO: 19-018

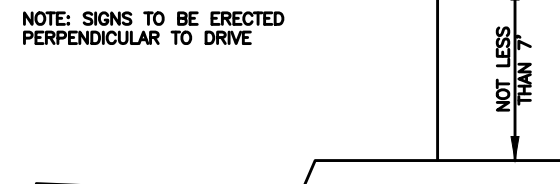
SCALE: 1" = 60'

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

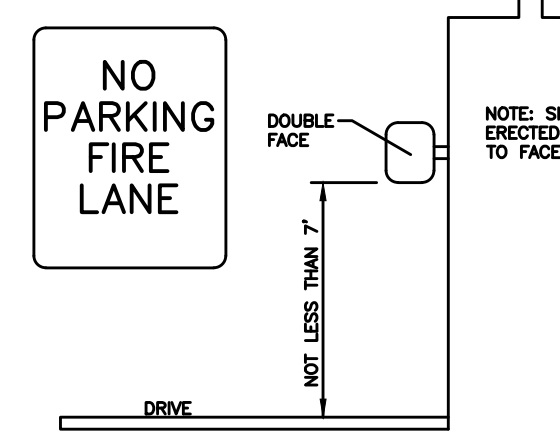
C-9.0

NOT FOR CONSTRUCTION

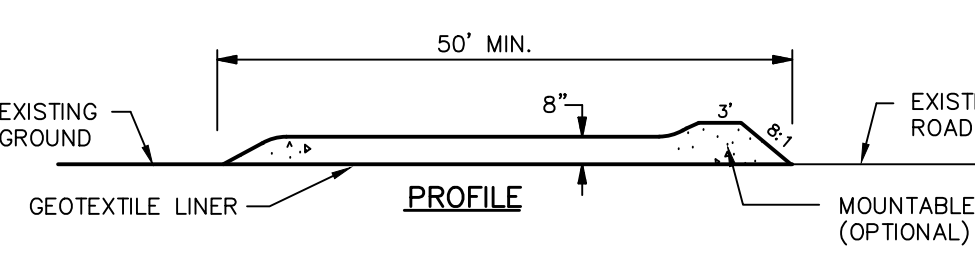
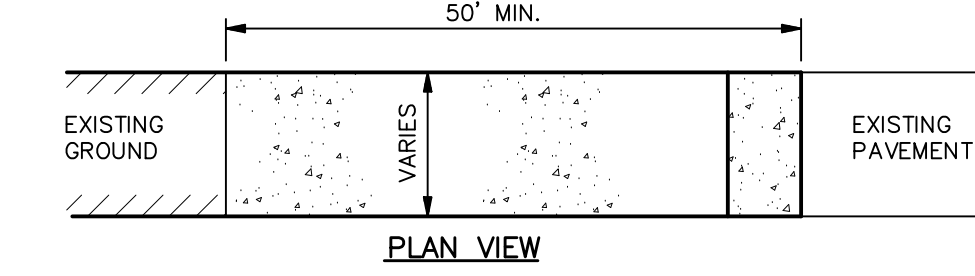
LATERAL CLEARANCE:
IN URBAN AREAS, A MINIMUM CLEARANCE OF TWO FEET BETWEEN CURB FACE AND SIGN INSTALLATION SHOULD BE MAINTAINED, BUT A CLEARANCE OF ONE FOOT FROM CURB FACE IS PERMISSIBLE WHERE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.



NOTE: SIGNS TO BE ERECTED PERPENDICULAR TO DRIVE.



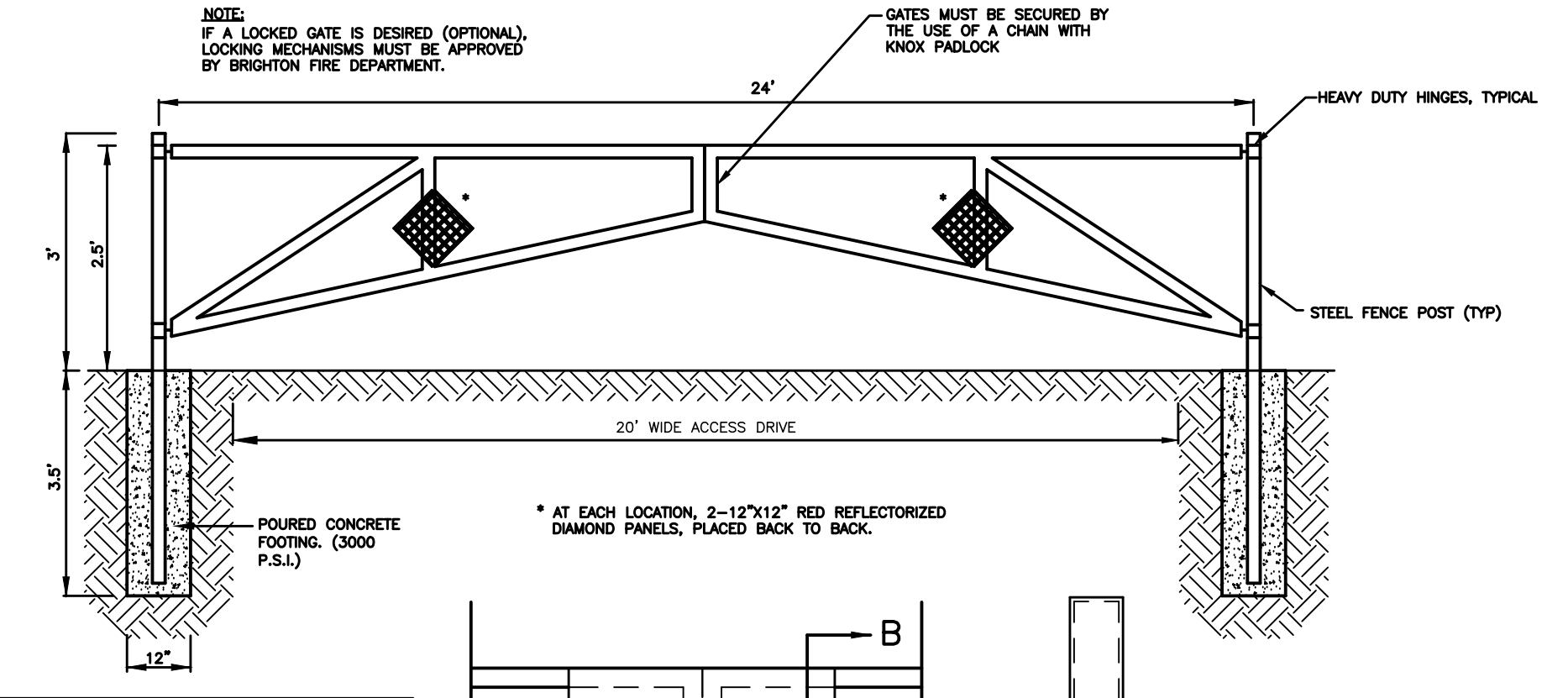
FIRE LANE SIGN PLACEMENT DETAIL
NOT TO SCALE



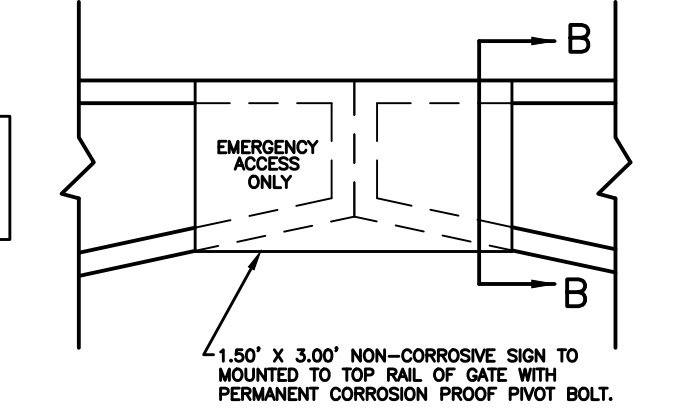
TRACKING MAT DETAIL AT CONSTRUCTION ENTRANCE
NO SCALE



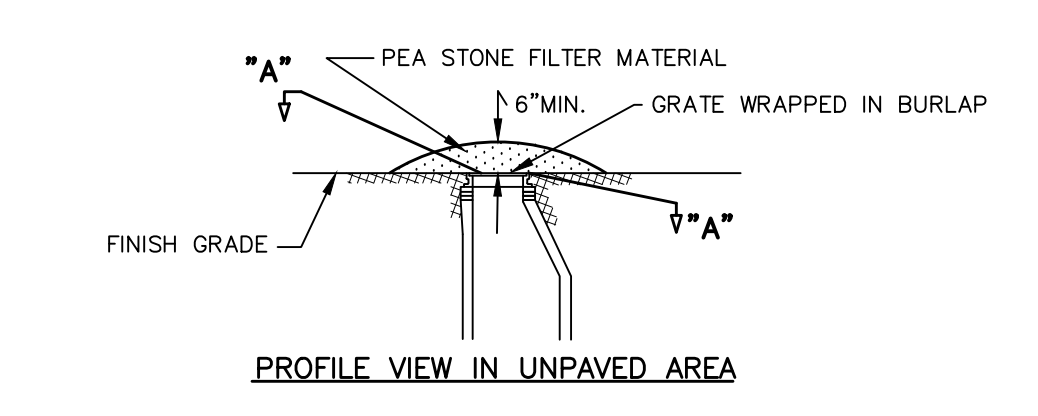
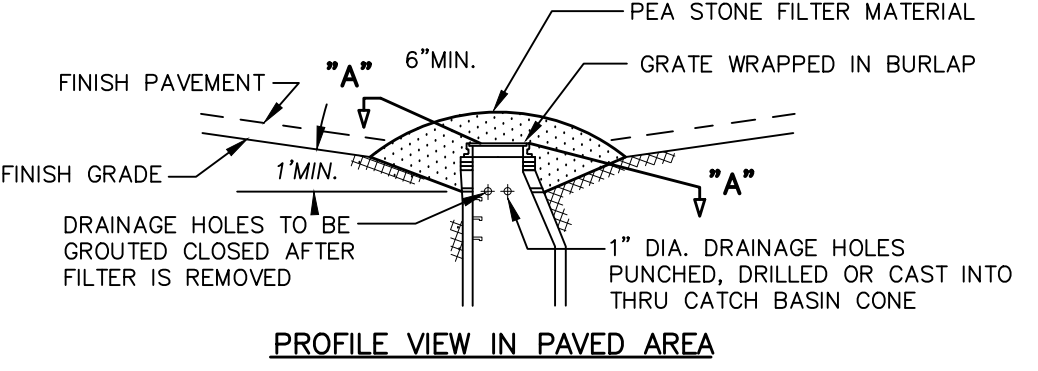
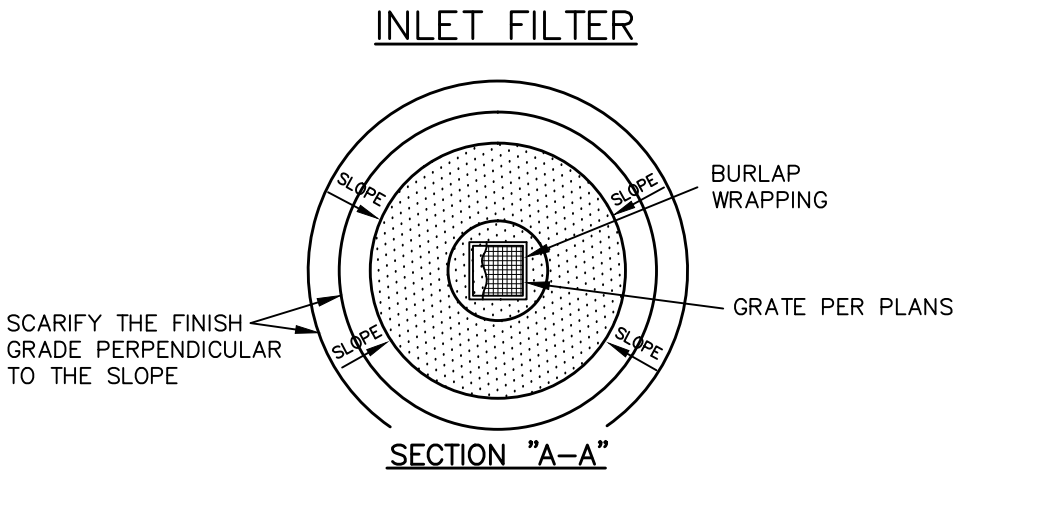
NO PARKING SIGN DETAIL
NOT TO SCALE



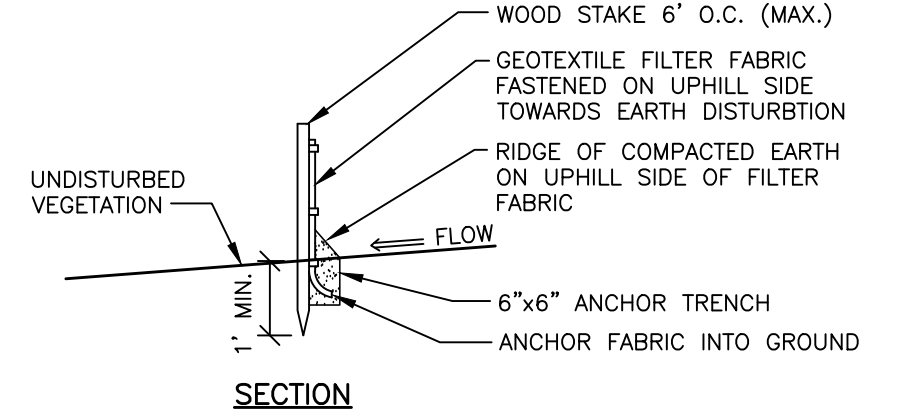
NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE CITY/TOWNSHIP FOR APPROVAL PRIOR TO CONSTRUCTION.



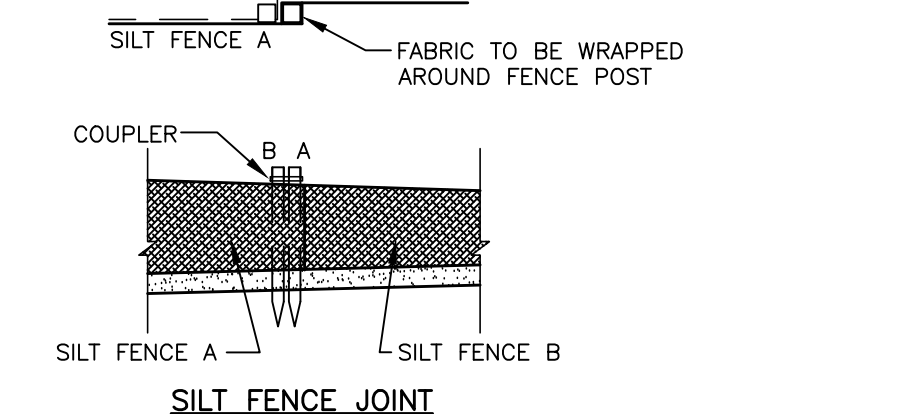
EMERGENCY ACCESS GATE DETAIL
NOT TO SCALE



INLET FILTER DETAILS
FOR SOIL EROSION & SEDIMENTATION CONTROL
NO SCALE



SILT FENCE JOINT
NO SCALE



SILT FENCE DETAIL
NO SCALE

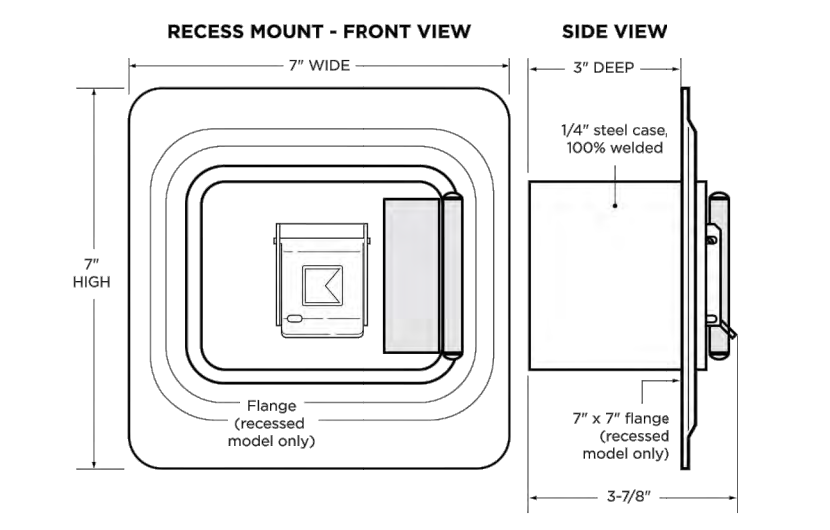
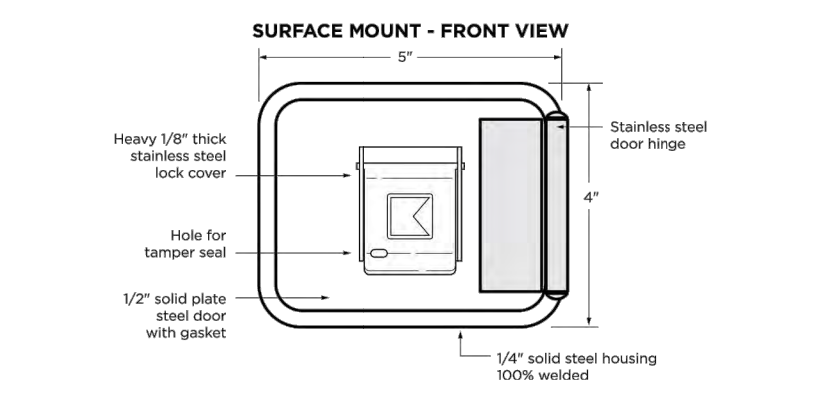
KNOXBOX 3200

The KnoxBox 3200 is the number one high-security key lock box trusted by first responders and property owners. Store up to 10 keys to quickly gain rapid access to commercial properties.



WEIGHT: Surface Mount - 8 lbs
Recessed Mount - 9 lbs

DIMENSIONS: Surface Mount Body - 4" H x 5" W x 3-7/8" D
Recessed Mount Flange - 7" H x 7" W

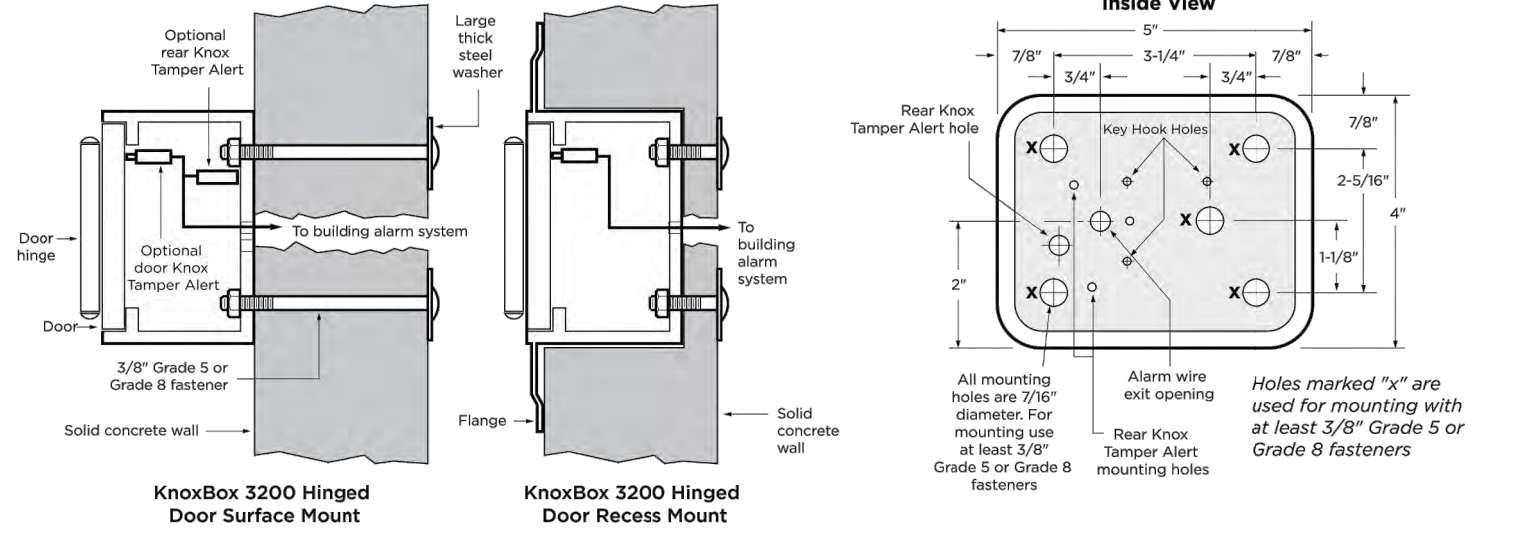


- FEATURES**
- Stores maximum 10 keys. Access cards and small entry items may also fit in interior compartment but will reduce max key quantity.
 - Built Knox-Rugged and secure: UL 1037, UL 1610, UL 1332, UL 437
 - Finished with Knox-Coat® to protect four times better than standard powder coat
 - Weather-resistant door gasket
 - Hinged door
- BENEFITS**
- Allows rapid property access
 - Reduces property damage
 - Prevents forced entry into buildings
 - Minimizes first responder injury
 - Compliant to National Fire Code (NFPA, IFC, IBC)
- OPTIONS**
- Knox Tamper Alert connects to building's alarm system for extra security
 - Mount types: Recessed and Surface
 - 3 color options: Black, Aluminum, Dark Bronze
- ACCESSORIES**
- Multi-Purpose Switch for use on electrical doors, gates and other electrical equipment
 - Recess Mounting Kit for new concrete or masonry construction
 - Public Safety Labels
 - Tag-Out Tamper Seals
 - Key Tags
 - Key Rings

- ORDERING SPECIFICATIONS**
- To insure procurement and delivery of the KnoxBox 3200, it is suggested that following specification paragraph is used:
- KnoxBox surface/recessed mount with hinged door, with/without UL Listed Knox Tamper Alert, 1/4" plate steel housing, 1/2" thick steel door with interior gasket seal and stainless steel door hinge. Box and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability.
- Exterior Dimensions:** Surface Mount Body - 4" H x 5" W x 3-7/8" D
Recessed Mount Flange - 7" H x 7" W
- Lock:** UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.
- Finish:** Knox-Coat proprietary finishing process
- Color:** Black, Dark Bronze or Aluminum
- P/N:** KnoxBox 3200 (mfr's cat. ID)
- Mfr's Name:** KNOX COMPANY

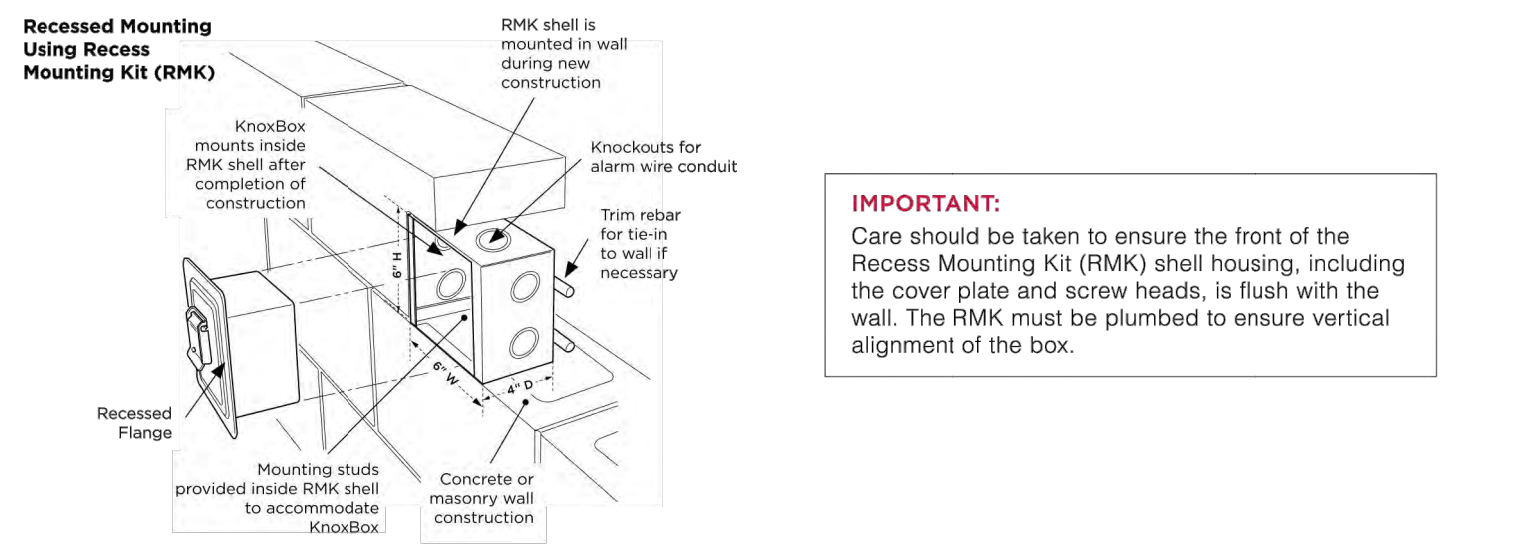
KNOXBOX 3200

GENERAL MOUNTING INSTRUCTIONS
Suggested minimum mounting height, 6 feet above ground.



RECESS MOUNTING KIT AND INSTALLATION INSTRUCTIONS

The Recess Mounting Kit (RMK) includes shell housing and mounting hardware, which may only be used for recessed models to cast-in-place within new concrete or masonry construction. The KnoxBox is mounted into the shell housing after construction is completed.



ABOUT KNOX COMPANY

Over forty years ago, a unique concept in rapid access for emergency response was born. The KnoxBox®, a high-security key lock box, was designed to provide rapid access for emergency responders to reduce response times, minimize injuries and protect property from forced entry.

Today, one revolutionary lock box has grown into a complete system providing rapid access for public safety agencies, industries, military, and property owners across the world. The Knox Company is trusted by over 14,000 fire departments, law enforcement agencies, and municipal entities.

KNOX COMPANY
1601 W. DEER VALLEY RD
PHOENIX, AZ 85027
T. 800.552.5669
F. 623.687.2290
KNOXBOX.COM
INFO@KNOXBOX.COM

Knox Padlocks

Exterior Padlock Features and Benefits

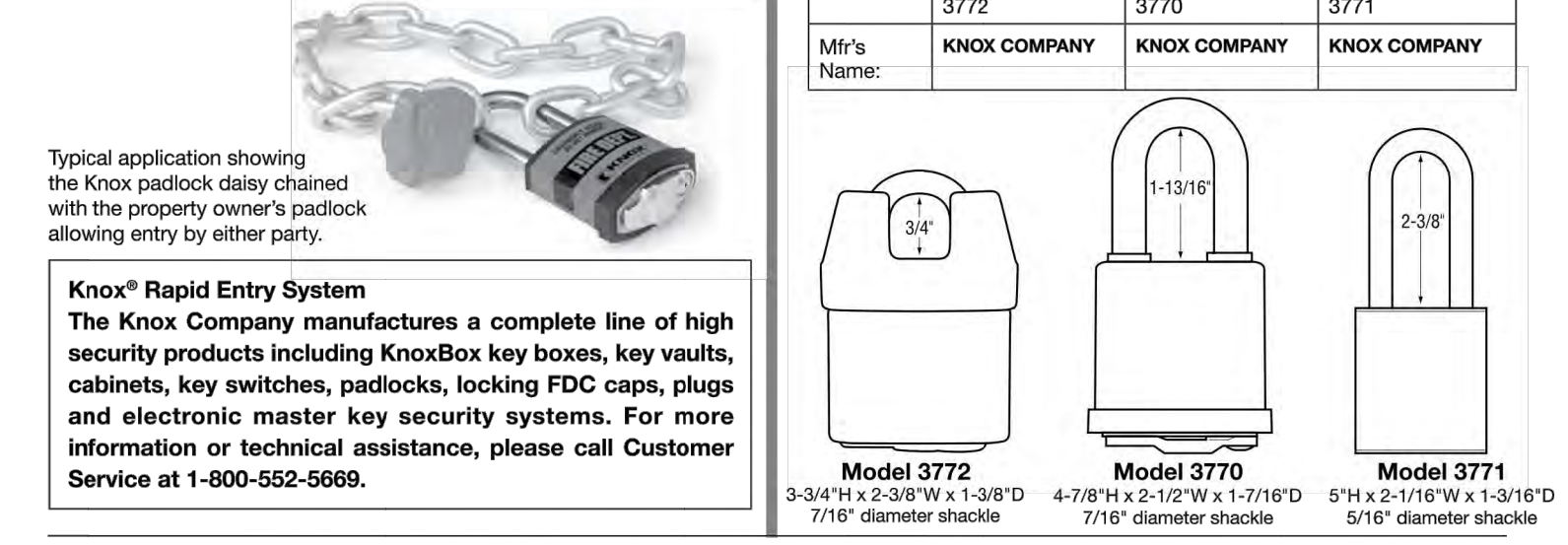
Knox Padlocks are operated with the same Knox Master Key used for other Knox Rapid Entry System devices. The exterior, heavy duty Knox Padlock (Model 3770) with a stainless steel shackle is designed for securing perimeter or fire access gates, industrial equipment yards and residential storage areas. The shrouded all weather padlock (Model 3772) provides additional security against pry and cut attacks.

- Rust free, all-weather stainless steel shackle
- Heavy-duty lock design and solid brass body resists pull attacks
- Lock and body cover protects padlocks from harsh weather conditions and outdoor sprinkler systems
- Medeco® cylinder has a UL 437 rating not offered by most padlock manufacturers
- Choice of ID label (Fire/red, EMS/white, Police/blue, Sheriff/gold, Security/white)

Interior Padlock Features and Benefits

The Knox interior padlock (Model 3771) is designed to secure fire sprinkler control systems, hazardous chemical supplies, restricted utility areas and equipment lockers. The UL® listed padlock resists pull attacks.

- Hardened steel shackle; 5/16" diameter shackle fits on a wider range of interior hasps
- Heavy-duty lock design and steel body resists pull attacks
- Medeco cylinder has a UL 437 rating not offered by most padlock manufacturers
- Choice of ID label (Fire/red, EMS/white, Police/blue, Sheriff/gold, Security/white)



Model 3772 3-3/4" H x 2-3/8" W x 1-3/8" D
7/16" diameter shackle

Model 3770 4-7/8" H x 2-1/2" W x 1-7/16" D
7/16" diameter shackle

Model 3771 5" H x 2-1/16" W x 1-3/16" D
5/16" diameter shackle

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOB)

ALLAN W. PRUSS
ENGINEER
NO. 43168

Call MISS DIG
3 full working days before you dig!

Utility Notification Organization

1-800-482-7171
www.missdig.org

CLIENT :

SI

SCHONSHECK,
DESIGN BUILD - CONSTRUCTION
5665 STERLING DRIVE, PHOENIX, AZ 85027
P. 602.687.2290 F. 602.687.2290
WWW.SCHONSHECK.COM

DETAILS

MASONITE
5665 STERLING DRIVE
PART OF NE 1/4, SEC. 15, T2N-R8E
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

| DATE | DESCRIPTION |
|-----------|---------------------------------|
| 5/01/2019 | PRELIMINARY SITE PLAN SUBMITTAL |
| 5/22/2019 | REVISED SITE PLAN SUBMITTAL |

ORIGINAL ISSUE DATE: 5/01/2019

PROJECT NO: 19-018

SCALE: N/A

FIELD:
DRAWN BY: DC
DESIGN BY: BS
CHECK BY: AP

C-11.0

GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, THE COUNTY D.P.W., THE COUNTY ROAD COMMISSION, THE COUNTY ENGINEER, THE COUNTY ROAD DEPARTMENT, MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, THE STATE OF MICHIGAN, AND THE COUNTY ROAD COMMISSION WHERE APPLICABLE.

EROSION CONTROL STANDARDS

- 1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT 451 OF 1994, AS AMENDED.

STORM SEWER SPECIFICATIONS, CONTINUED

- 14. MORTAR SHALL BE SPECIFIED HEREINAFTER. USE METHOD OF MIXING MORTAR AT JOBS SO THAT SPECIFIED PROPORTIONS OF MORTAR MATERIALS CAN BE CONTROLLED AND ACCURATELY MAINTAINED DURING WORK PROGRESS.

WATER MAIN SPECIFICATIONS

- 1. WATER MAIN SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE GENERAL SPECIFICATIONS, THE WATERMAIN SPECIFICATIONS, AND THE DETAIL SHEETS OF THE GOVERNING AGENCIES. IF ANY CONFLICT IS FOUND BETWEEN THE SPECIFICATIONS, THE STRICTER SPECIFICATIONS SHALL BE FOLLOWED.

SANITARY SEWER SPECIFICATIONS

- 1. THESE SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE GENERAL SPECIFICATIONS AND THE SANITARY SEWER SPECIFICATIONS AND DETAIL SHEETS OF THE GOVERNING AGENCIES. IF ANY CONFLICT IS FOUND BETWEEN THE SPECIFICATIONS, THE STRICTER SPECIFICATIONS SHALL BE FOLLOWED.

STORM SEWER SPECIFICATIONS

- 1. THESE SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE GENERAL SPECIFICATIONS AND THE SPECIFICATIONS AND DETAIL SHEETS OF THE GOVERNING AGENCIES. IF ANY CONFLICT IS FOUND BETWEEN THE SPECIFICATIONS, THE STRICTER SPECIFICATIONS SHALL BE FOLLOWED.

Table with 3 columns: DEPTH, BRICK, PRE-CAST CONCRETE. Rows show dimensions for 0'-10", 10'-16", and 16'-25'.

- 25. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER, TO CENTER, AROUND THE PERIPHERY OF OPENINGS TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.

MEGA Engineering Group logo and contact information for Allan W. Pruss, Engineer No. 43168.

Professional Engineer seal for Allan W. Pruss, No. 43168.

SCHONSHECK logo and contact information for Miss Dig service.

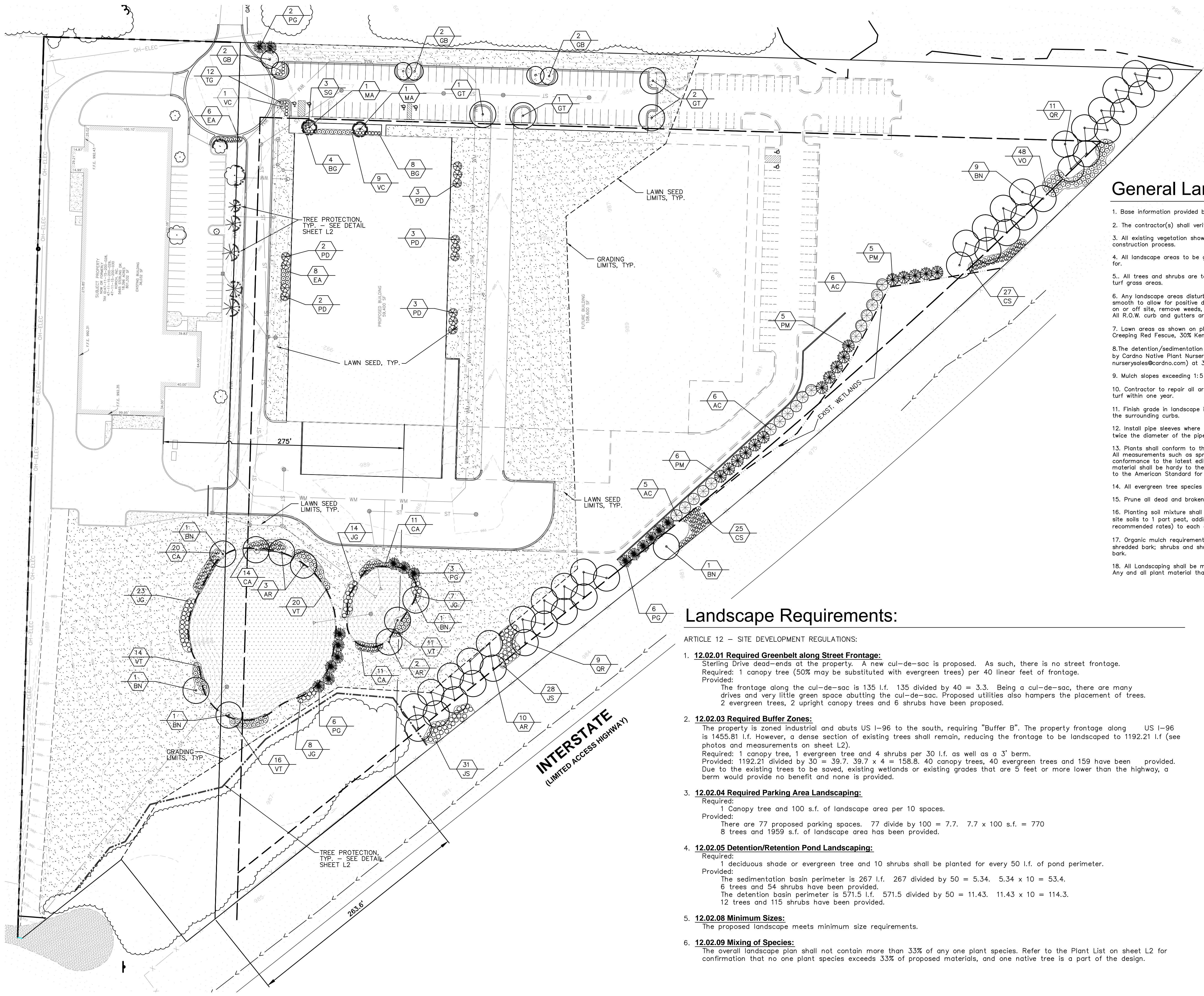
SPECIFICATIONS section header and project location: 5665 STERLING DRIVE, PART OF NE 1/4, SEC. 15, T2N - R8E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN.

Table with 2 columns: DATE, PLAN SUBMITTALS/REVISIONS. Includes dates 5/01/2019 and 5/22/2019.

PROJECT No: 19-018, SCALE: N/A, and drawing details: DRAWN BY: DC, DESIGN BY: BS, CHECK BY: AP.

C-12.0

NOT FOR CONSTRUCTION



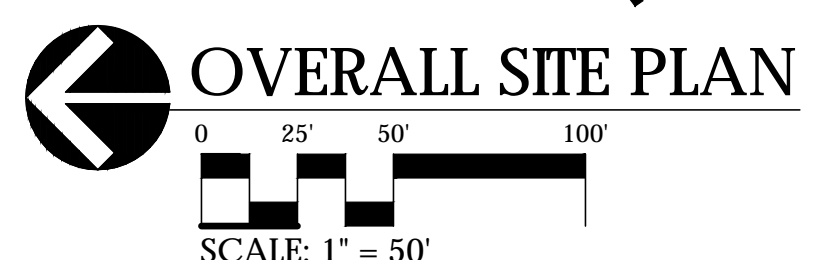
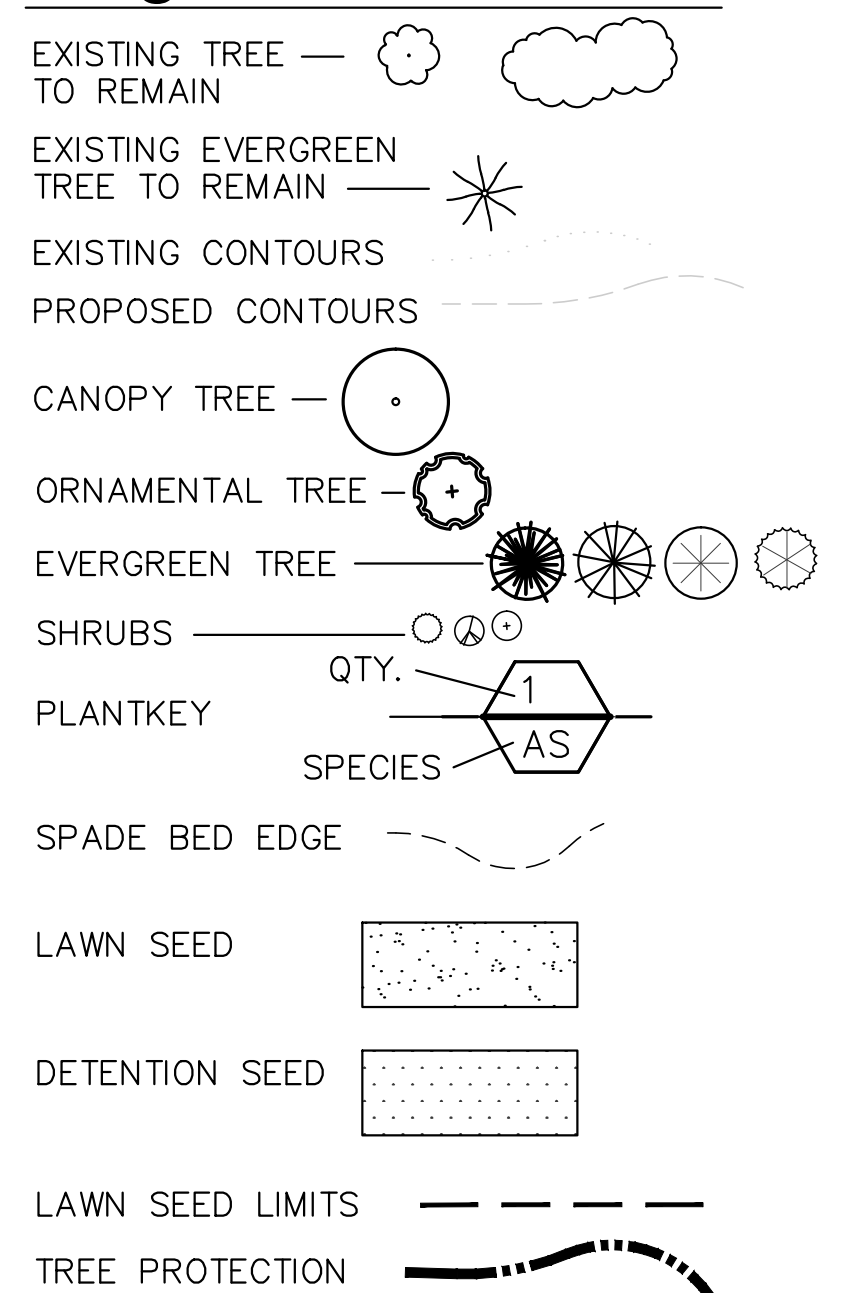
General Landscape Notes:

1. Base information provided by Spartan Engineering Solutions LLC.
2. The contractor(s) shall verify the location of all underground utilities prior to construction.
3. All existing vegetation shown is to be saved and protected during the demolition and construction process.
4. All landscape areas to be grass common to region except where other plant material is called for.
5. All trees and shrubs are to be planted in mulch beds with spade edge separating mulch from turf grass areas.
6. Any landscape areas disturbed by construction shall be scarified to a depth of 2", graded smooth to allow for positive drainage. For any landscape area so designated to remain whether on or off site, remove weeds, rocks construction items, etc., scarify area, re-seed and fertilize. All R.O.W. curb and gutters are to be cleaned of debris.
7. Lawn areas as shown on plan shall be seeded and mulched (or hydroseeded) as follows: 50% Creeping Red Fescue, 30% Kentucky Bluegrass and 20% Perennial Rye Grass.
8. The detention/sedimentation pond shall be seeded as shown on plan with "Stormwater Seed Mix" by Cardno Native Plant Nursery (128 Sunset Dr., Walkerton, IN 46574, 574-586-2412, nurserysales@cardno.com) at 32.6 PLS pounds/acre or approved equal.
9. Mulch slopes exceeding 1:5 with a straw mulch blanket staked in place or hydroseeded.
10. Contractor to repair all areas of erosion to satisfaction of Owner/Township to establish proper turf within one year.
11. Finish grade in landscape islands shall be installed so that they are 1" lower than the top of the surrounding curbs.
12. Install pipe sleeves where irrigation lines cross or are under pavement. All sleeves to be twice the diameter of the pipe(s) is houses.
13. Plants shall conform to the sizes as shown on the drawings and shall be of sound health. All measurements such as spread, ball size, height, caliper and quality designations shall be in conformance to the latest edition of the American Standards for Nursery Stock. All plant material shall be hardy to the Grand Traverse area, be free of disease and insects, and conform to the American Standard for Nursery Stock of the American Nurserymen.
14. All evergreen tree species are to be full, dense plants branched fully to the ground.
15. Prune all dead and broken branches from all plants immediately after installation.
16. Planting soil mixture shall be prepared on-site by mixing 3 parts topsoil to 1 part existing site soils to 1 part peat, adding phosphate free all purpose fertilizer (at manufacturers recommended rates) to each cubic yard of the mixture.
17. Organic mulch requirements: shade trees, ornamental trees and evergreen trees - 6" of shredded bark; shrubs and shrub beds - 4" of shredded bark; perennial flowers - 2" of shredded bark.
18. All Landscaping shall be maintained in a healthy, neat and orderly state following installation. Any and all plant material that dies or becomes diseased, shall be replaced within six months.

Landscape Requirements:

- ARTICLE 12 - SITE DEVELOPMENT REGULATIONS:
1. **12.02.01 Required Greenbelt along Street Frontage:**
Sterling Drive dead-ends at the property. A new cul-de-sac is proposed. As such, there is no street frontage.
Required: 1 canopy tree (50% may be substituted with evergreen trees) per 40 linear feet of frontage.
Provided:
The frontage along the cul-de-sac is 135 l.f. 135 divided by 40 = 3.3. Being a cul-de-sac, there are many drives and very little green space abutting the cul-de-sac. Proposed utilities also hampers the placement of trees.
2 evergreen trees, 2 upright canopy trees and 6 shrubs have been provided.
 2. **12.02.03 Required Buffer Zones:**
The property is zoned industrial and abuts US I-96 to the south, requiring "Buffer B". The property frontage along US I-96 is 1455.81 l.f. However, a dense section of existing trees shall remain, reducing the frontage to be landscaped to 1192.21 l.f (see photos and measurements on sheet L2).
Required: 1 canopy tree, 1 evergreen tree and 4 shrubs per 30 l.f. as well as a 3' berm.
Provided: 1192.21 divided by 30 = 39.7. 39.7 x 4 = 158.8. 40 canopy trees, 40 evergreen trees and 159 shrubs have been provided. Due to the existing trees to be saved, existing wetlands or existing grades that are 5 feet or more lower than the highway, a berm would provide no benefit and none is provided.
 3. **12.02.04 Required Parking Area Landscaping:**
Required:
1 Canopy tree and 100 s.f. of landscape area per 10 spaces.
Provided:
There are 77 proposed parking spaces. 77 divide by 100 = 7.7. 7.7 x 100 s.f. = 770
8 trees and 1959 s.f. of landscape area has been provided.
 4. **12.02.05 Detention/Retention Pond Landscaping:**
Required:
1 deciduous shade or evergreen tree and 10 shrubs shall be planted for every 50 l.f. of pond perimeter.
Provided:
The sedimentation basin perimeter is 267 l.f. 267 divided by 50 = 5.34. 5.34 x 10 = 53.4. 6 trees and 54 shrubs have been provided.
The detention basin perimeter is 571.5 l.f. 571.5 divided by 50 = 11.43. 11.43 x 10 = 114.3. 12 trees and 115 shrubs have been provided.
 5. **12.02.08 Minimum Sizes:**
The proposed landscape meets minimum size requirements.
 6. **12.02.09 Mixing of Species:**
The overall landscape plan shall not contain more than 33% of any one plant species. Refer to the Plant List on sheet L2 for confirmation that no one plant species exceeds 33% of proposed materials, and one native tree is a part of the design.

Legend:

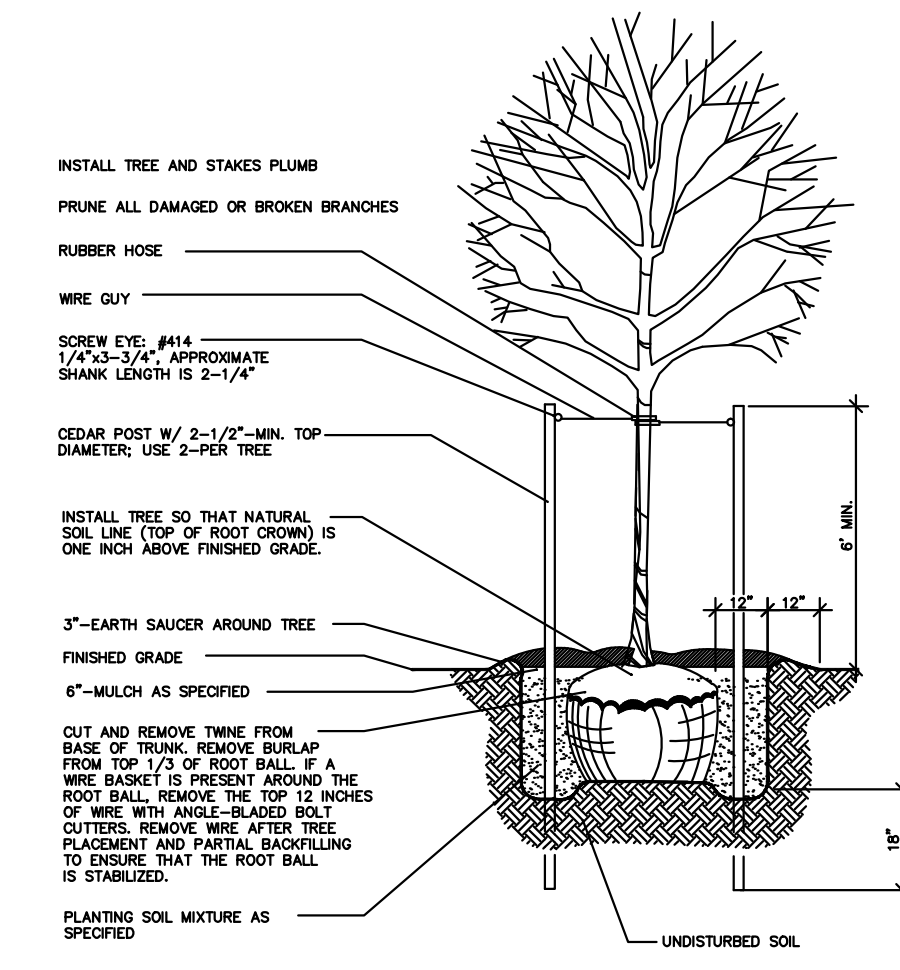




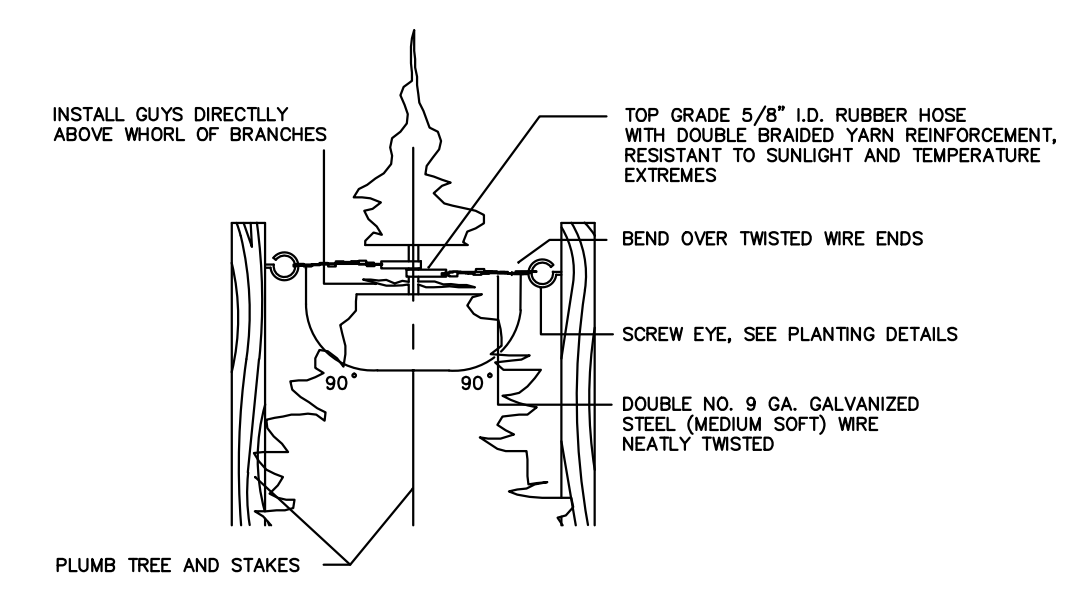
Aerial Photo of Exist Trees along I-96
From Google Earth with measurement



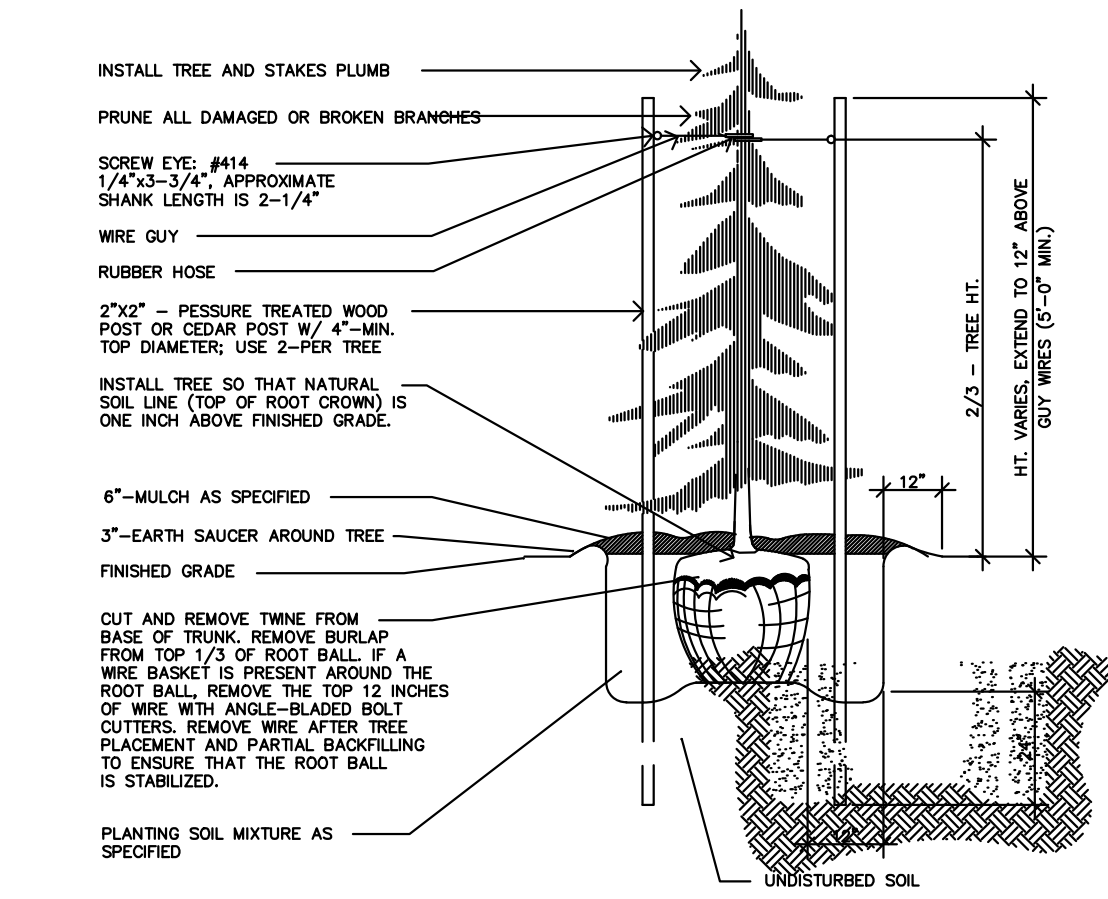
Photo of Exist Trees along I-96
From Google Earth with measurement



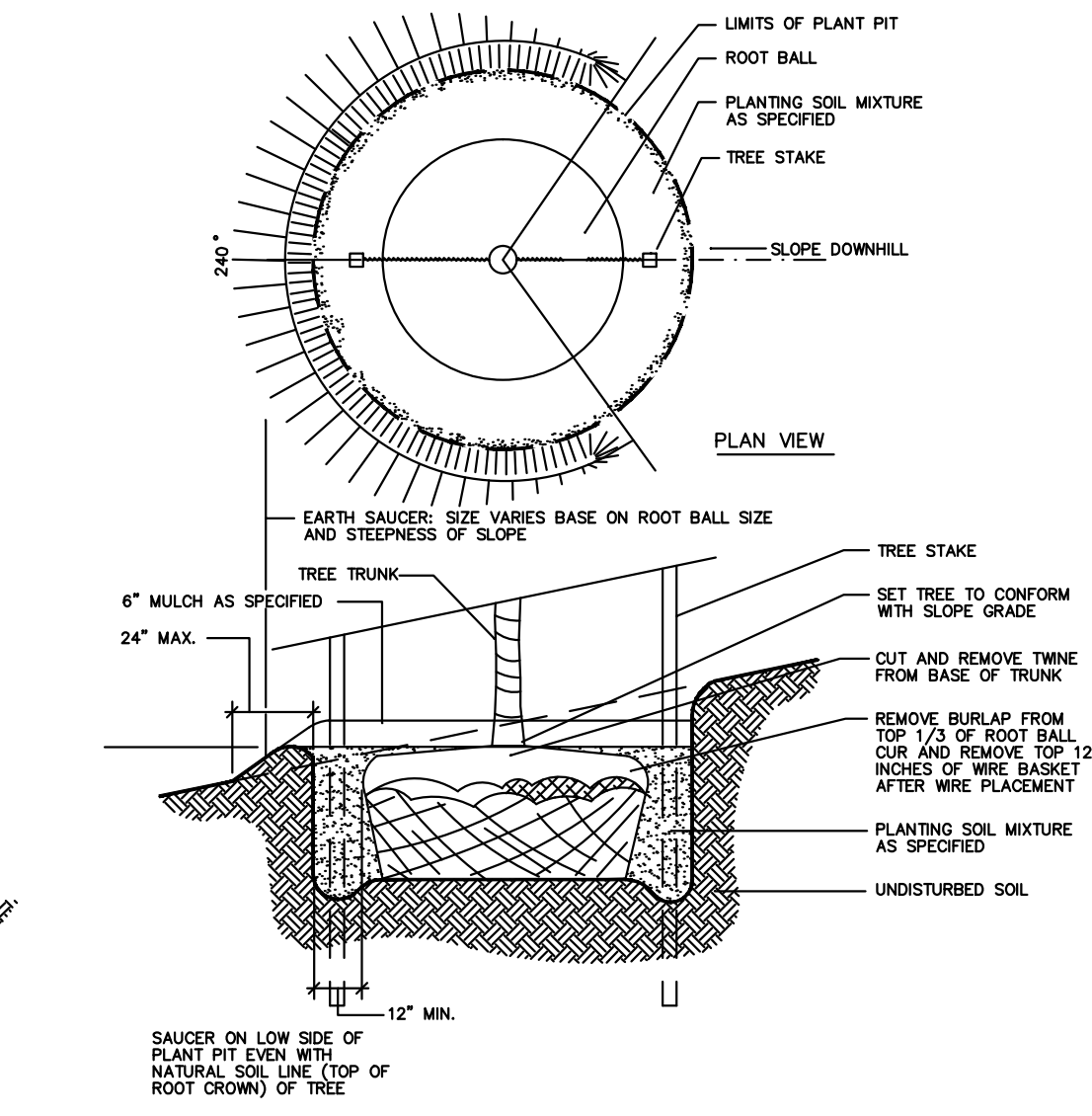
Deciduous Tree Planting/Staking



Guy Installation



Evergreen Tree Planting/Staking

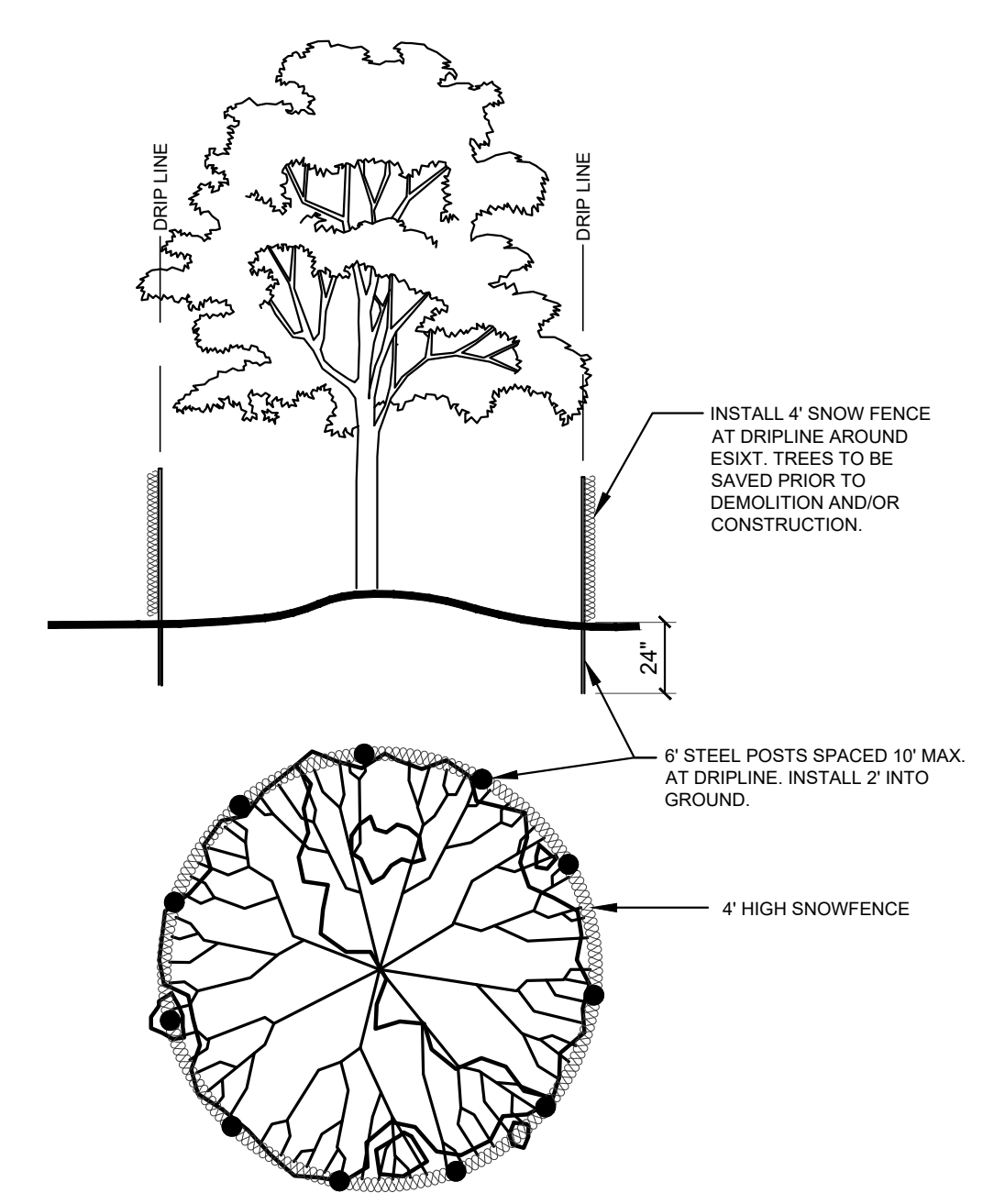


Deciduous Tree Planting/Staking

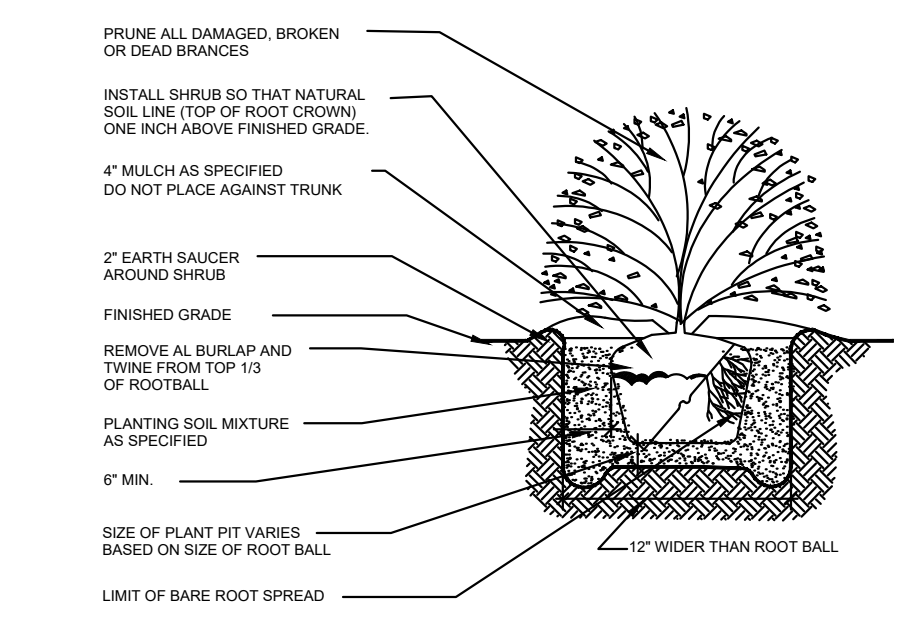
PLANT LIST

| Qty. | Key | Botanical Name | Common Name | Size | | | | Root | % of TOTAL |
|---------------|-----|---------------------------------|------------------------------|---------|--------|--------|-------|-------|------------|
| | | | | Caliper | Height | Spread | Other | | |
| Trees | | | | | | | | | |
| 17 | AC | Abies concolor | Concolor Fir | | 6' | | | B&B | 3.1% |
| 15 | AR | Acer rubrum | Red Maple | 2 1/2" | | | | B&B | 2.3% |
| 14 | BN | Betula nigra | River Birch | 2 1/2" | | | | B&B | 3.1% |
| 6 | GB | Ginkgo biloba 'Sentry' | Sentry Ginkgo | 2 1/2" | | | | B&B | 3.1% |
| 4 | GT | Gleditsia triacanthos 'Skyline' | Skyline Honeylocust | 2 1/2" | | | | B&B | 3.1% |
| 2 | MA | Malus 'Adirondack' | Adirondack Crabapple | 2" | | | | B&B | 2.3% |
| 13 | PD | Picea glauca var. densata | Black Hills Spruce | | 6' | | | B&B | 3.1% |
| 17 | PG | Picea glauca | White Spruce | | 6' | | | B&B | 3.1% |
| 16 | PG | Picea mariana | Black Spruce | | 6' | | | B&B | 1.5% |
| 20 | QR | Quercus rubra | Red Oak | 2 1/2" | | | | B&B | 3.9% |
| Shrubs | | | | | | | | | |
| 12 | BG | Buxus 'Green Gem' | Green Gem Boxwood | | 24" | | | Cont. | 9.3% |
| 56 | CA | Clethra alnifolia | Summersweet | | 24" | | | Cont. | 17.8% |
| 52 | CS | Cornus sericea | Redtwig Dogwood | | 24" | | | Cont. | 15.5% |
| 14 | EA | Euonymus alatus 'Compactus' | Compact Burningbush | | 24" | | | Cont. | 9.3% |
| 52 | JG | Juniperus 'Grey Owl' | Grey Owl Juniper | | | 24" | | Cont. | 17.8% |
| 59 | JS | Juniperus 'Sea Green' | Sea Green Juniper | | | 24" | | Cont. | 15.5% |
| 3 | SG | Spiraea x bumalda 'Goldflame' | Goldflame Spirea | | 24" | | | Cont. | 4.6% |
| 12 | TG | Thuja 'Golden Globe' | Golden Globe Arborvitae | | 24" | | | Cont. | 2.3% |
| 10 | VC | Viburnum carlesii 'Compactum' | Comp. Koreanspice Viburnum | | 24" | | | Cont. | 9.3% |
| 48 | VO | Viburnum opulus | European Cranberrybush | | 24" | | | Cont. | 6.9% |
| 61 | VT | Viburnum t. 'Compactum' | Comp. American Cranberrybush | | 24" | | | Cont. | 17.8% |

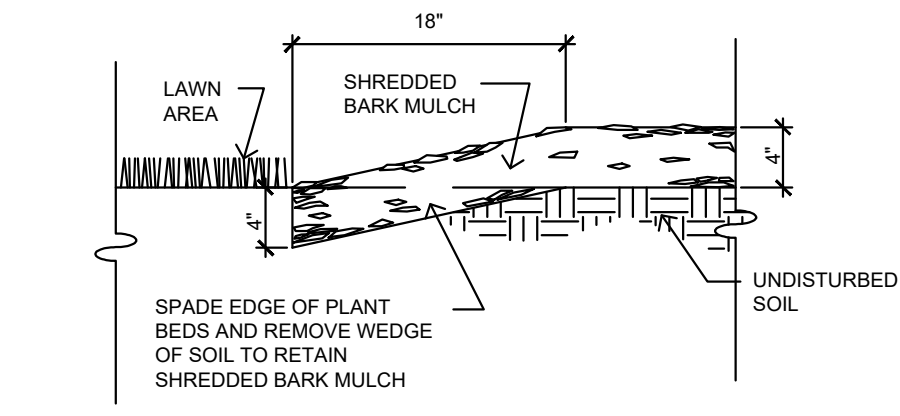
B&B = Balled & Burlapped Cont. = Container



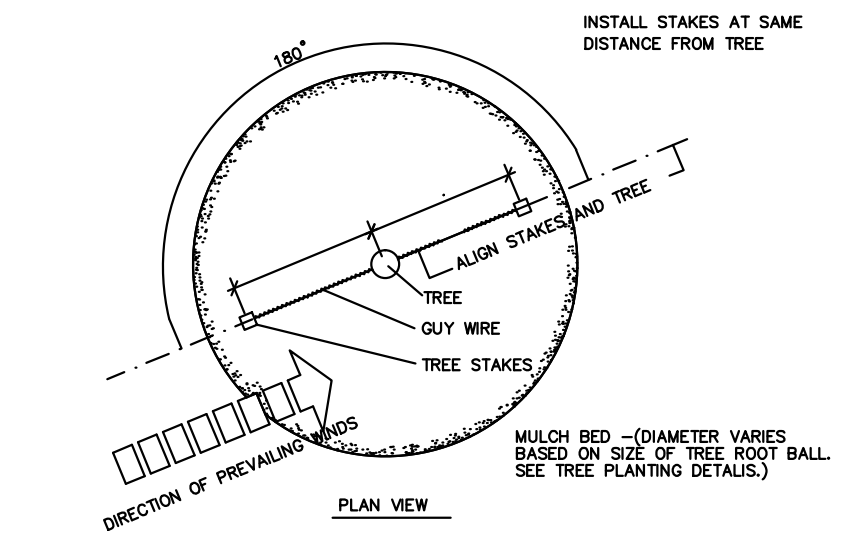
TREE PROTECTION DETAIL
SCALE: NO SCALE



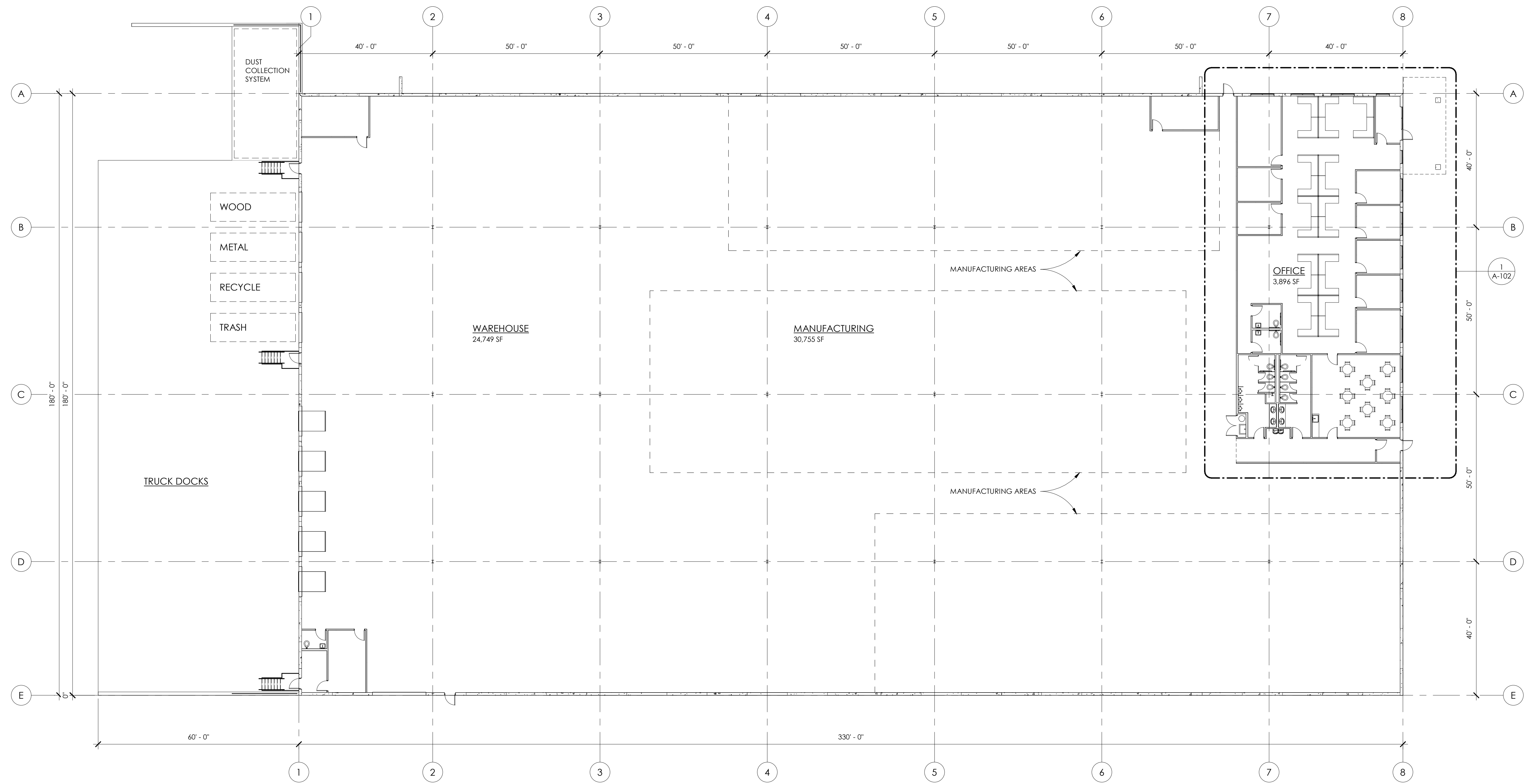
Shrub Planting Detail
SCALE: NO SCALE



Spade Edge Plant Bed
SCALE: NO SCALE



Stake Placement
FOR EVERGREEN AND DECIDUOUS TREES



OVERALL FLOOR PLAN
 1/16" = 1'-0"
 0 8' 16' 32'



SCHONSHECK, INC.

DESIGNERS · BUILDERS · DEVELOPERS
 50555 PONTIAC TRAIL WIXOM, MI 48393
 P(248) 669-8800 F(248) 669-0850
 WWW.SCHONSHECK.COM



CLIENT: SCHONSHECK, INC.
 PROJECT: PROPOSED BUILDING FOR:
 MASONITE
 GENOA TOWNSHIP, MICHIGAN

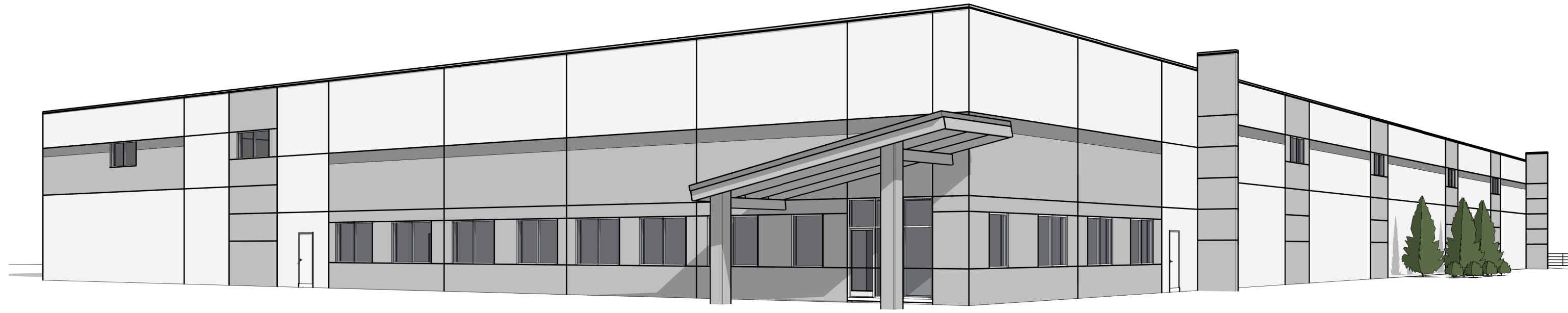
| ISSUE | DATE |
|---------|------------|
| SPA | 2019/05/01 |
| REVISED | 2019/05/21 |

NOT FOR CONSTRUCTION

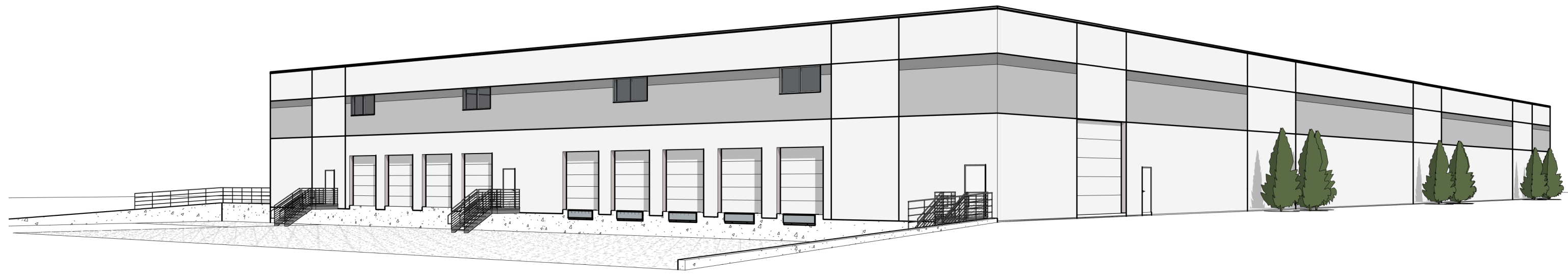
PROJECT NUMBER: 19-479
 SHEET TITLE:
OVERALL FLOOR PLAN

SHEET NUMBER:

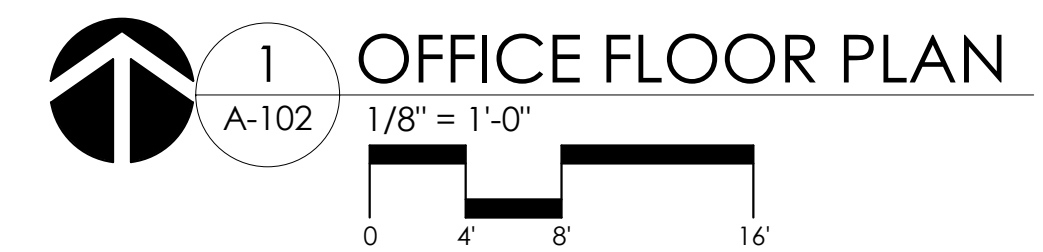
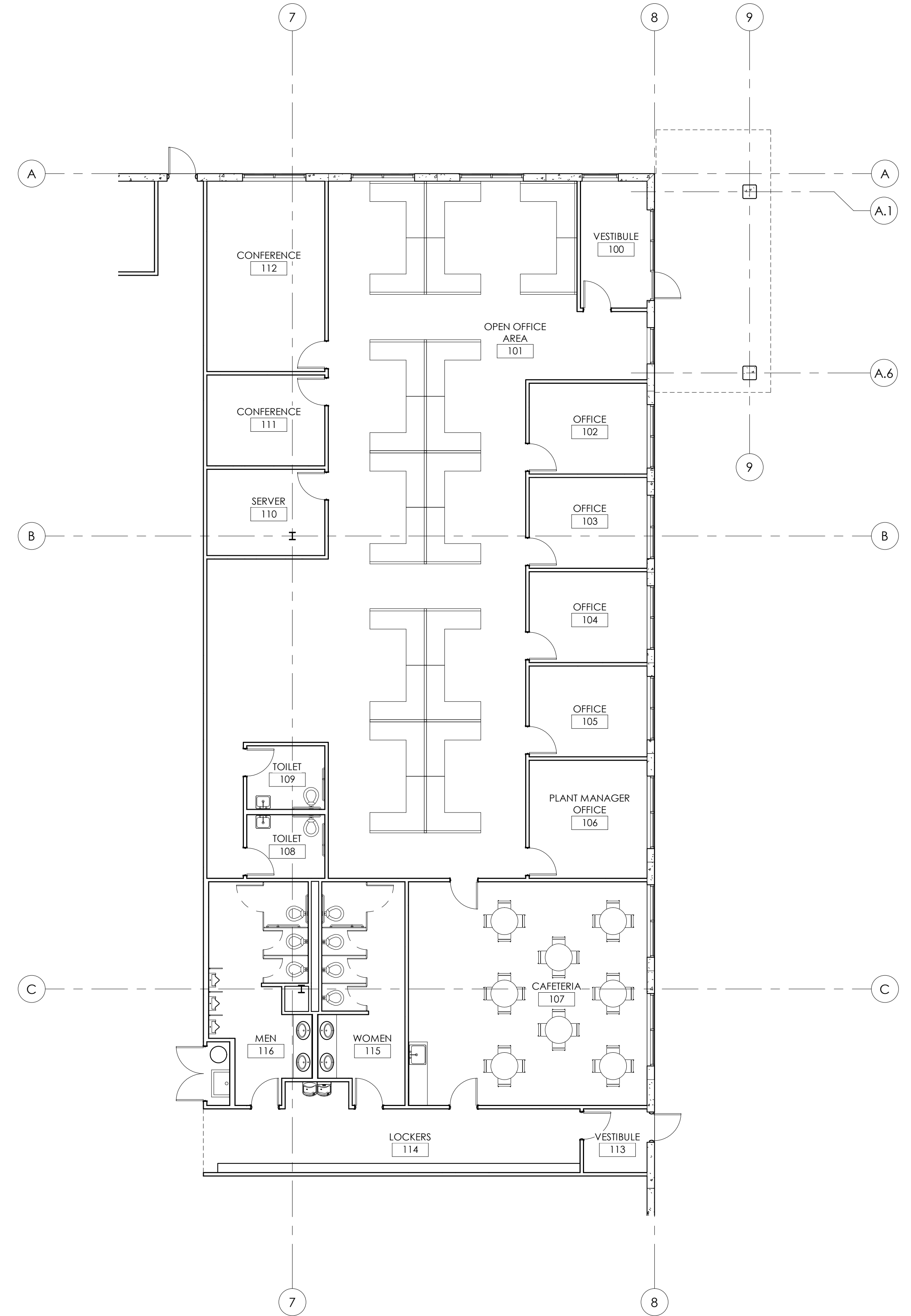
A-101



PERSPECTIVE 1



PERSPECTIVE 2

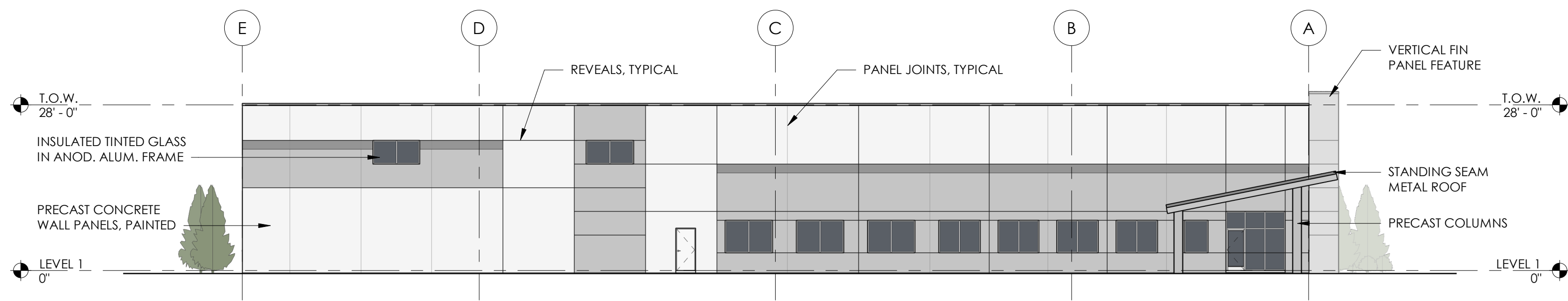


CLIENT: SCHONSHECK, INC.
PROJECT: PROPOSED BUILDING FOR:
MASONITE
GENOA TOWNSHIP, MICHIGAN

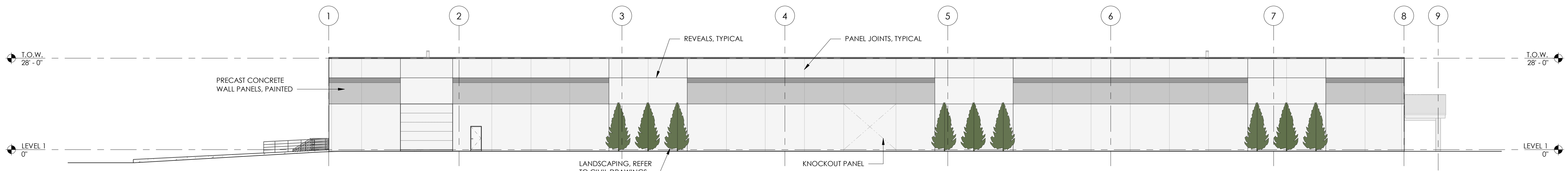
| ISSUE | DATE |
|---------|------------|
| SPA | 2019/05/01 |
| REVISED | 2019/05/21 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

NOT FOR CONSTRUCTION

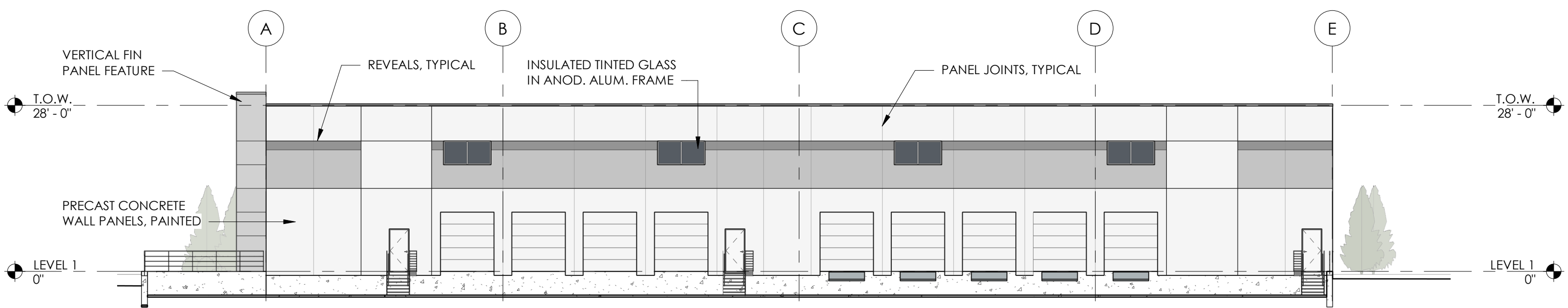
PROJECT NUMBER: 19-479
SHEET TITLE:
**OFFICE FLOOR
PLAN**
SHEET NUMBER:
A-102



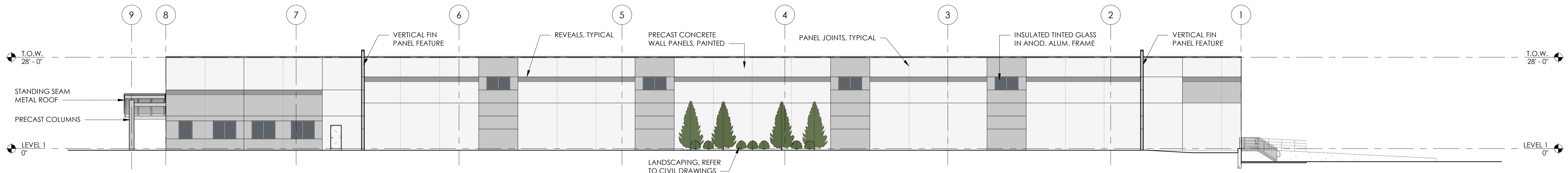
EAST ELEVATION
1/16" = 1'-0"



SOUTH ELEVATION
1/16" = 1'-0"



WEST ELEVATION
1/16" = 1'-0"



NORTH ELEVATION
1/16" = 1'-0"

SQUIRES
ARCHITECTURAL
GROUP, PLLC

223 West Grand River Avenue
Suite 2
Howell, MI 48843
517-518-8643 voice
517-518-8956 facsimile

S

SCHONSHECK, INC.

DESIGNERS · BUILDERS · DEVELOPERS
50555 PONTIAC TRAIL WIXOM, MI 48393
P(248) 669-8800 F(248) 669-0850
WWW.SCHONSHECK.COM



CLIENT: SCHONSHECK, INC.
PROJECT: PROPOSED BUILDING FOR:
MASONITE
GENOA TOWNSHIP, MICHIGAN

| ISSUE | DATE |
|---------|------------|
| SPA | 2019/05/01 |
| REVISED | 2019/05/21 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

NOT FOR CONSTRUCTION

PROJECT NUMBER: 19-479
SHEET TITLE:
BUILDING ELEVATIONS
SHEET NUMBER:
A-201

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

D-Series Size 2 LED Wall Luminaire

Specifications Luminaire

Width: 18 1/2" (467mm) | Weight: 21 lbs (9.5kg) | Depth: 10" (254mm) | Height: 7.5" (190mm)

Back Box (BBW)

Width: 5.12" (129mm) | Height: 1.12" (28mm)

CS+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL+ equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability.
- This luminaire is part of an A+ Certified solution for ROAM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL+ DLL](#).

Ordering Information EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBXD

| Series | LEDs | Order Config | Color Temperature | Distribution | Voltage | Mounting | Shipped/Included | Control Option |
|-----------|-----------------|--------------|-------------------|--------------|---------|----------|------------------|--------------------------------------|
| DSXW2 LED | 30C 700 (3000K) | 300 40K T3M | 3000K | T3M | 120V | Wall | Shipped/Included | DTL+ (See ordering tree for details) |
| DSXW2 LED | 30C 700 (3000K) | 300 40K T3M | 3000K | T3M | 120V | Wall | Shipped/Included | DTL+ (See ordering tree for details) |

LITHONIA LIGHTING
 One Lithonia Way • Conley, Georgia 30124 • Phone: 800.279.8561 • www.lithonia.com
 © 2012-2014 Acuity Brands Lighting, Inc. All rights reserved.

D-Series Size 2 LED Area Luminaire

Specifications Luminaire

Length: 40" (1016mm) | Width: 15" (381mm) | Height: 7.31" (185mm) | Weight (max): 36 lbs (16.3kg)

CS+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL+ equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability.
- This luminaire is part of an A+ Certified solution for ROAM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL+ DLL](#).

Ordering Information EXAMPLE: DSX2 LED P7 T3M MVOLT SPA DDBXD

| Series | LEDs | Color Temperature | Distribution | Voltage | Mounting | Shipped/Included | Control Option |
|----------|------------|-------------------|--------------|---------|----------|------------------|--------------------------------------|
| DSX2 LED | P7 (3000K) | 3000K | T3M | 120V | Wall | Shipped/Included | DTL+ (See ordering tree for details) |
| DSX2 LED | P7 (3000K) | 3000K | T3M | 120V | Wall | Shipped/Included | DTL+ (See ordering tree for details) |

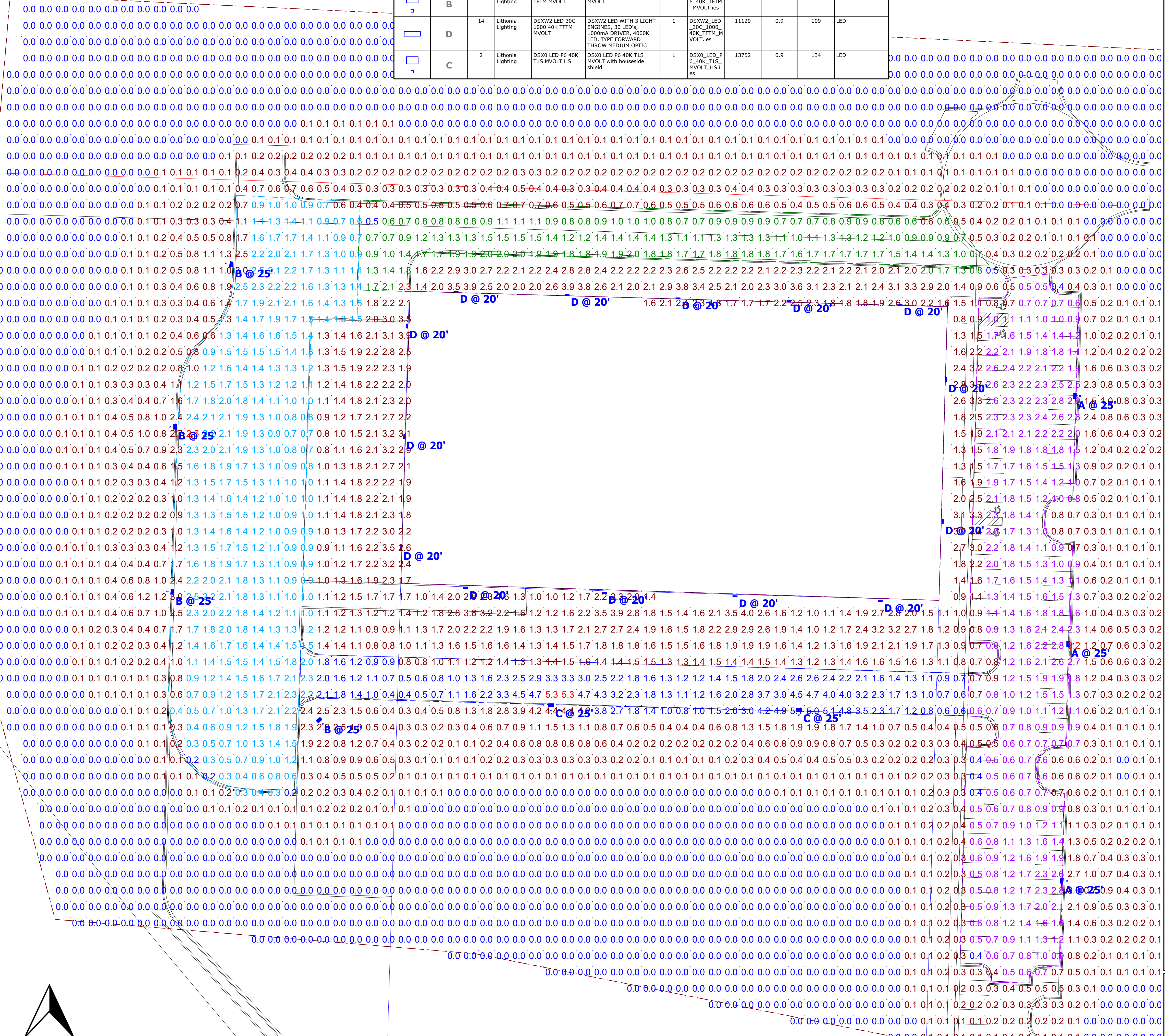
LITHONIA LIGHTING
 One Lithonia Way • Conley, Georgia 30124 • Phone: 800.279.8561 • www.lithonia.com
 © 2012-2014 Acuity Brands Lighting, Inc. All rights reserved.

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min | Avg/Max |
|--------------|--------|--------|--------|--------|---------|---------|---------|
| Bottom Drive | X | 2.2 fc | 5.3 fc | 0.4 fc | 13.3:1 | 5.5:1 | 0.4:1 |
| East Lot | X | 1.4 fc | 3.2 fc | 0.4 fc | 8.0:1 | 3.5:1 | 0.4:1 |
| North Lot | X | 1.3 fc | 2.3 fc | 0.5 fc | 4.6:1 | 2.6:1 | 0.6:1 |
| West Lot | X | 1.4 fc | 2.6 fc | 0.2 fc | 13.0:1 | 7.0:1 | 0.5:1 |

Schedule

| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Number of Lamps | Filename | Lumens per Lamp | LLF | Wattage | Lamp |
|----------|-------|-----|-------------------|----------------------------------|---|-----------------|--------------------------------------|-----------------|-----|---------|------|
| [Symbol] | A | 3 | Lithonia Lighting | DSXO LED P6 40K T4M MVOLT | DSXO LED P6 40K T4M MVOLT | 1 | DSXO_LED_P6_40K_T4M_MVOLT.ies | 15627 | 0.9 | 134 | LED |
| [Symbol] | B | 4 | Lithonia Lighting | DSXO LED P6 40K TFTM MVOLT | DSXO LED P6 40K TFTM MVOLT | 1 | DSXO_LED_P6_40K_TFTM_MVOLT.ies | 15964 | 0.9 | 134 | LED |
| [Symbol] | D | 14 | Lithonia Lighting | DSXW2 LED 30C 1000 40K T3M MVOLT | DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC | 1 | DSXW2_LED_30C_1000_40K_T3M_MVOLT.ies | 11120 | 0.9 | 109 | LED |
| [Symbol] | C | 2 | Lithonia Lighting | DSXO LED P6 40K T1S MVOLT HS | DSXO LED P6 40K T1S MVOLT with houside shield | 1 | DSXO_LED_P6_40K_T1S_MVOLT_HS.ies | 13752 | 0.9 | 134 | LED |



19-018 MASONITE
 PHOTOMETRIC SITE PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 DB
Date
 5/1/2019
Scale
 Not to Scale
Drawing No.
 #19-35527-V1
1 of 1



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP

APR - 3 2019

RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Enterprise Leasing Company of Detroit LLC, 29301 Grand River Ave, Farmington Hills, MI 48336
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Scott Matthew Underwood, 2588 E Jones Rd Howell MI 48855

SITE ADDRESS: 7184 Grand River Ave, Brighton MI 48114 **PARCEL #(s):** _____

APPLICANT PHONE: (517) 202-8238 **OWNER PHONE:** (810) 923-4500

OWNER EMAIL: scott.j.inman@ehi.com

LOCATION AND BRIEF DESCRIPTION OF SITE: 7184 Grand River Ave, Brighton MI 48114. We currently operate
an Enterprise Rent A Car on-site. The site contains a single story building with an attached garage for vehicle preparation.

There is a paved parking area located off of Grand River. There is a graveled lot in the rear where the dumpster pad is located inside
an enclosure. I have attached a site plan for more details.

BRIEF STATEMENT OF PROPOSED USE: There is no use change. We would like to expand an existing garage by
roughly 376 sq ft. This would allow us to vacuum and wipe down two vehicles at the same time. This would create efficiencies in our
operation and allow us to more quickly service the communities car rental needs. We would continue to operate Enterprise Rent
A Car on site. Secondly, and not contingent on the wash bay addition, we would like to asphalt the existing gravel surface.

THE FOLLOWING BUILDINGS ARE PROPOSED: We are proposing to add roughly an additional 376 sq ft to
to the existing garage. I have attached a building diagram for reference.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Scott Inman

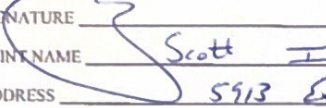
ADDRESS: 5913 Executive Dr, 300, Lansing MI 48911

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

I.) Scott Inman of Enterprise Holdings, Inc. at scott.j.inman@ehi.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE  DATE 4-22-19
PRINT NAME Scott Inman PHONE (517) 202-8238
ADDRESS 5913 Executive Dr Suite 300, Lucy MI 48511



June 4, 2019

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

| | |
|-------------------|--|
| Attention: | Kelly Van Marter, AICP Planning Director and Assistant Township Manager |
| Subject: | Enterprise Rental Car – Site Plan Review #2 |
| Location: | 7184 Grand River Avenue – south side of Grand River, east of Hubert Road |
| Zoning: | GCD General Commercial District |

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan submittal for a building expansion at the Enterprise Rental Car site (plans most recently dated 5/21/19).

A. Summary

1. The inconsistency with respect to the size of the proposed building addition must be corrected.
2. The applicant must provide lot coverage calculations (both building and impervious).
3. The Commission may allow building materials that do not comply with Section 12.01 (too much vinyl siding) since they will match the existing building.
4. We request the applicant present building material and color samples to the Commission for their consideration.
5. The width of the proposed drive aisle (20’) is deficient (24’ minimum required).
6. The parking calculations on Sheet C2.0 need to be corrected.
7. We request the applicant submit photographs of existing light fixtures to ensure they comply with current standards.
8. The plan depicts an existing light pole at the rear of the site that will remain, although this area will be converted to lawn and a detention pond. We suggest this pole be removed.
9. The landscape plan is deficient in plantings and there are inconsistencies that need to be corrected.
10. Details of the waste receptacle enclosure and concrete base pad must be provided.
11. We encourage the applicant to replace the nonconforming pole sign with a compliant monument sign.

B. Proposal/Process

The applicant proposes a 358 square foot addition to the existing building on site. The site plan review application notes that the expansion is for a garage space used to clean vehicles – the current operation can only accommodate 1 vehicle at a time and the expansion would allow for a second.

There is a minor inconsistency in the submittal with respect to the size of the proposed addition. More specifically, Sheet A2.0 notes a 358 square foot addition, while Sheet C2.0 describes it as 308 square feet. This discrepancy must be corrected.

The project also includes paving of the rear gravel parking/vehicle storage lot, a new waste receptacle and a detention pond at the rear of the site.

Automobile rental facilities are listed as special land uses in the GCD. In accordance with Section 19.16, existing special land uses may be expanded by up to 25% without the need for special land use review.

As such, the project requires only site plan review/approval by the Planning Commission.



Aerial view of site and surroundings (looking south)

C. Site Plan Review

1. Dimensional Requirements. As shown in the table below, the existing site and proposed improvements have been reviewed for compliance with the dimensional requirements of the GCD:

| | Min. Lot Req. | | Minimum Yard Setbacks (feet) | | | | Max. Lot Coverage (%) | Max. Height (feet) |
|-----------------|---------------|--------------|------------------------------|-----------------|-----------|----------------------------------|--------------------------------|--------------------|
| | Area (acres) | Width (feet) | Front Yard | Side Yard | Rear Yard | Parking Lot | | |
| GCD | 1 | 150 | 70 | 15 | 50 | 20 front 10 side/rear | 35% building 75% impervious | 35 |
| Proposed | 1.24 | 100 | 167 | 9 (W) 55 (E) | 268 | 63 front 10 sides 111 rear | Information not provided | 13.5 |

2. Building Materials and Design. The building elevation drawings note the use of vinyl siding matching the existing building.

While the amount of vinyl siding depicted does not comply with standards of Section 12.01, the Ordinance allows the Commission to modify these requirements for expansion of existing buildings where the proposed design and materials match (Section 12.01.08b).

We request the applicant present building material and color samples to the Commission for their consideration.

3. Pedestrian Circulation. The existing sidewalk along Grand River Avenue is depicted on the site plan. No other sidewalks or pedestrian paths are noted.

4. Vehicular Circulation. The site is currently accessed by a drive to/from Grand River Avenue and no changes are proposed to this drive. However, the drive aisle for the proposed parking/storage area at the rear of the site is deficient in width for two-way travel (20' proposed vs. 24' required).

- 5. Parking.** The Ordinance does not include a parking standard specifically automobile rental. The closest fit is that of automobile sales, which requires 1 space for each 200 square feet of gross leasable area, plus 3 spaces for each service bay.

The revised plans include parking calculations noting the need for 8 spaces and indicating that 16 are provided. However, the plan depicts a total of 22 spaces in the front lot, while the 34 spaces proposed at the rear of the site are intended for vehicle storage. The calculations should be corrected.

While the amount of parking provided is excessive based on Section 14.02; however, this is an existing condition that is not changing.

- 6. Exterior Lighting.** The revised submittal notes that no new lighting is proposed, and that existing lighting complies with current standards. We request the applicant provide photographs of existing lighting to ensure this is the case.

Additionally, there is a double-fixture light pole at the rear of the site that will remain, though it will now be within a lawn area at the upper level of the detention pond. We suggest this light pole be removed.

- 7. Landscaping.** The landscape plan (Sheet C4.0) has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:


| Standard | Required | Proposed | Comments |
|----------------------------|---|-----------------------------------|--|
| Greenbelt | 20' width 3 canopy trees | 55' width 2 existing trees | Deficient by 1 canopy tree |
| Parking lot | 6 canopy trees 560 SF landscaped area | 2 trees 640 SF landscaped area | Deficient by 4 canopy trees |
| Buffer zone "B" (south) | 20' width 3 canopy trees 3 evergreen trees 12 shrubs 6' wall or 3' berm | 20+' width 4 trees 5 shrubs | Type of trees not indicated. Deficient in tree and shrub plantings, as well as a wall or berm. |
| Detention pond | 5 trees 50 shrubs | 1 tree 10 shrubs | Deficient by 4 trees and 40 shrubs |

Three of the plantings noted in the table (A, B and C) are not depicted on the plan and the trees proposed at the rear of the site are not identified (as noted in the table above).

- 8. Waste Receptacle and Enclosure.** The plan proposes a new waste receptacle in the rear yard. The location complies with Section 12.04; however, no details are provided for the required enclosure or concrete base pad.
- 9. Signs.** The revised submittal notes that new signage is not proposed. We encourage the applicant to remove the nonconforming pole sign and replace it with a compliant monument sign to bring the site closer to compliance with current Ordinance standards.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,
SAFE BUILT STUDIO



Brian V. Borden, AICP
 Planning Manager



June 4, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Enterprise Addition Site Plan Review No. 2

Dear Ms. Van Marter:

Tetra Tech has conducted a second site plan review of the Enterprise Rental Car Garage Expansion plans submitted May 22, 2019. The plans were submitted by ABE Associates, Inc. on behalf of Enterprise Leasing Company of Detroit LLC. The property includes 1.25 acres located at 7184 West Grand River Avenue with an existing 1425-square-foot building. The petitioner is proposing a 396-square-foot garage addition and parking lot improvements. We offer the following comments:

TRAFFIC/ROADWAYS

1. A cross section of the proposed parking lot should be provided.
2. The proposed dumpster enclosure detail meets the Genoa Township Zoning Ordinance, but the dumpster enclosure should be shown on the site plan as it is unclear where the dumpster will sit. The petitioner should ensure that the dumpster and enclosure do not obstruct the two proposed parking spots adjacent to the proposed dumpster and if they do obstruct those parking spaces the dumpster should be moved back or the two parking places should be removed from the plan.

DRAINAGE AND GRADING

1. Approval from the Livingston County Road Commission for discharging into their system should be obtained prior to site plan approval.
2. The proposed swale must have a minimum slope of 1% for proper drainage.
3. As it is currently shown, the proposed drainage facility will not drain. The basin outlet (R.O. 1) is shown at a lower elevation than the downstream pipe outlet (P.D. 1) and the site would be partially flooded before any outflow from P.D. 1 unless the petitioner is planning to pump storm water from the storage facility. The petitioner should revise the stormwater system to ensure proper drainage and provide more detail.
4. The description of R.O.1 has incorrect elevations of 685.5 and 683.5 and these should be revised.
5. Riprap is required at outlet structures for proper energy dissipation and this should be shown on the site plan.

Tetra Tech

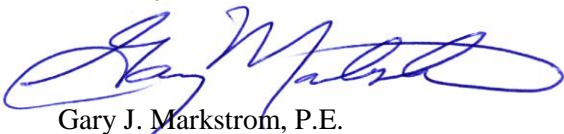
401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com

6. The petitioner should provide more detail on the inlet to the storage facility. There seems to be some type of forebay and if so, more detail should be provided and the volume of the forebay shall be 5% of the 100-year storm volume. Genoa Township requires a sedimentation forebay be provided at the inlet of all detention basins. There appears to be two inlets to the storage facility and both inlets should be connected to the sedimentation forebay, or two sedimentation forebays shall be provided.

We recommend the petitioner address the above comments, provide more information on the site plan, and resubmit the site plan for additional review.

Please call or email if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Vice President



Shelby Scherdt
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 3, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Enterprise Rental Car
7184 Grand River
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on May 23, 2019, and previously on April 10, 2019. The drawings are dated November 15, 2018. The project is based on an existing Type II-B, 1,898 square foot Business-use with outside vehicle storage. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

The size of the alteration and scope of work does not warrant a full fire code application to the project as it does not increase the hazard. The site will remain as an existing non-conforming site in regards to fire code for access and water supply.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig - Genoa Twp.



June 17, 2019

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Enterprise Addition Site Plan Review Response No. 2

Dear Ms. Van Marter:

ABE Associates, Inc. has completed the review of the comments submitted by Tetra Tech. Enclosed are our responses to the review comments dated 6/4/19.

TRAFFIC/ROADWAYS

1. A cross section of the proposed parking lot should be provided.

Response: Not a requirement of Genoa Township nor Livingston County. Elevations provided and swale detail provides sufficient detail to illustrate design intent.

2. The proposed dumpster enclosure detail meets the Genoa Township Zoning Ordinance, but the dumpster enclosure should be shown on the site plan as it is unclear where the dumpster will sit. The petitioner should ensure that the dumpster and enclosure do not obstruct the two proposed parking spots adjacent to the proposed dumpster and if they do obstruct those parking spaces the dumpster should be moved back or the two parking places should be removed from the plan.

Response: Dumpster is located 2' west of east parking lot edge and 2' north of south parking lot edge as shown on drawings. These dimensions have been added to the drawing Sheet C3.0 and the detail is also shown on this drawing.

DRAINAGE AND GRADING

1. Approval from the Livingston County Road Commission for discharging into their system should be obtained prior to site plan approval.

Response: We will comply with the Conditions for Livingston County Road Commission approval. The design was based on Livingston County Road Commission direction.

2. The proposed swale must have a minimum slope of 1% for proper drainage.

Response: Per Livingston County Rule, Section 7 – Stormwater Conveyance, page 34 the minimum channel velocity is 1.5 FPS. We are providing a channel velocity of 1.85 FPS with the 0.5% channel slope. Our design meets this requirement. Please clarify where the minimum slope of 1% is required.

Ms. Kelly Van Marter
Re: Enterprise Addition SPR 2 Response
June 16, 2019
Page 2

3. As it is currently shown, the proposed drainage facility will not drain. The basin outlet (R.O. 1) is shown at a lower elevation than the downstream pipe outlet (P.D. 1) and the site would be partially flooded before any outflow from P.D. 1 unless the petitioner is planning to pump storm water from the storage facility. The petitioner should revise the stormwater system to ensure proper drainage and provide more detail.

Response: The outflow from the basin is restricted to 0.13 CFS for a 100 year storm. The basin is designed to store a 100 year storm event. The outlet will consist of infiltration in the basin area as well as infiltration in the perforated discharge pipe. In the event that we will experience a 100 year storm the basin will head up in the discharge pipe and flow will discharge through P.D. 1 once the elevation of the basin is higher than P.D. 1. At this point the basin is functioning similar to an agricultural flow rate for the existing conditions. No pumping is necessary this system will dewater by infiltration and surcharge.

4. The description of R.O.1 has incorrect elevations of 685.5 and 683.5 and these should be revised.

Response: The typos for R.O.1 have been corrected 685.5 & 683.5 now 985.5 & 983.5.

5. Riprap is required at outlet structures for proper energy dissipation and this should be shown on the site plan.

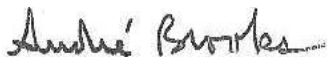
Response: Please clarify where you are advising riprap be placed.

6. The petitioner should provide more detail on the inlet to the storage facility. There seems to be some type of forebay and if so, more detail should be provided and the volume of the forebay shall be 5% of the 100-year storm volume. Genoa Township requires a sedimentation forebay be provided at the inlet of all detention basins. There appears to be two inlets to the storage facility and both inlets should be connected to the sedimentation forebay, or two sedimentation forebays shall be provided.

Response: Yes there is one forebay provided with the total 5% forebay volume for both inlets was provided at the east inlet (200 CF). We will add a forebay on the west inlet 86 CF and the east forebay will be revised to capture 114 CF.

Please call or email if you have any questions.

Sincerely,



Andre Brooks, P.E.
President



June 18, 2019

Planning Commission
 Genoa Township
 2911 Dorr Road
 Brighton, Michigan 48116

| | |
|-------------------|--|
| Attention: | Kelly Van Marter, AICP Planning Director and Assistant Township Manager |
| Subject: | Enterprise Rental Car – Site Plan Review #2 |
| Location: | 7184 Grand River Avenue – south side of Grand River, east of Hubert Road |
| Zoning: | GCD General Commercial District |

Dear Commissioners:

We have reviewed the comments from your Planner Dated 6/4/19 and our responses are listed below.

- 1. Size of the Proposed Addition** – The size of the additions on Sheet A2.0 and C2.0 does not match.

Response: The size of the additions on Sheet C2.0 has been revised to 358 SF to match A2.0.

- 2. Dimensional Requirements.** Maximum Lot Coverage not provided:

Response: See proposed Maximum Lot Coverage below:

| | Min. Lot Req. | | Minimum Yard Setbacks (feet) | | | | Max. Lot Coverage (%) | Max. Height (feet) |
|-----------------|---------------|--------------|------------------------------|-----------------|-----------|----------------------------------|--------------------------------|--------------------|
| | Area (acres) | Width (feet) | Front Yard | Side Yard | Rear Yard | Parking Lot | | |
| GCD | 1 | 150 | 70 | 15 | 50 | 20 front 10 side/rear | 35% building 75% impervious | 35 |
| Proposed | 1.24 | 100 | 167 | 9 (W) 55 (E) | 268 | 63 front 10 sides 111 rear | 4% Building 54% Impervious | 13.5 |

- 3. Building Materials and Design.** The amount of vinyl siding does not comply with standards of Section 12.01, the Ordinance allows the Commission to modify these requirements for expansion of existing buildings where the proposed design material match (Section 12.01.08b)

We request building material and color samples be presented to the Commission for their consideration.

Response: The building material and color samples will be presented to the Commission for their consideration.

- 4. Pedestrian Circulation.** The existing sidewalk along Grand River Avenue is depicted on the site plan. No other sidewalks or pedestrian paths are noted.

Response: No action required.

- 5. Vehicular Circulation.** The site is currently accessed by a drive to/from Grand River Avenue and no

Enterprise Rental Car

Site Plan Review Response #2

Page 2

changes are proposed to this drive. However, the drive aisle for the proposed parking/storage area at the rear of the site is deficient in width for two-way travel (20' proposed vs. 24' required).

Response: See sheet C3.0, proposed drive aisle is 24' wide.

- 6. Parking.** The Ordinance does not include a parking standard specifically automobile rental. The closest fit is that of automobile sales, which requires 1 space for each 200 square feet of gross leasable area, plus 3 spaces for each service bay.

The revised plans include parking calculations noting the need for 8 spaces and indicating that 16 are provided. However, the plan depicts a total of 22 spaces in the front lot, while the 34 spaces proposed at the rear of the site are intended for vehicle storage. The calculations should be corrected.

While the amount of parking provided is excessive based on Section 14.02; however, this is an existing condition that is not changing.

Response: Parking Calculations revised see below.

- 11 Spaces Required (1 Barrier Free)
- 16 Spaces Provided in Front and side of building
- 32 Spaces provided for Enterprise Fleet Vehicles
- 48 Total Spaces Provided**

- 7. Exterior Lighting.** The revised submittal notes that no new lighting is proposed, and that existing lighting complies with current standards. We request the applicant provide photographs of existing lighting to ensure this is the case.

Additionally, there is a double-fixture light pole at the rear of the site that will remain, though it will now be within a lawn area at the upper level of the detention pond. We suggest this light pole be removed.

Response: Existing lights are shown on Sheet C1.0 and E1.0. A description of the lights are provided on Sheet E1.0. The lights on the north and west sides of the building are 250 Watt Metal Halide with directional shield lenses to prevent spread of light offsite. Photographs of the lights will be brought to the meeting.

- 8. Landscaping.** The landscape plan (Sheet C4.0) has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:

| Standard | Required | Proposed | Comments |
|----------------------------|---|-----------------------------------|--|
| Greenbelt | 20' width 3 canopy trees | 55' width 2 existing trees | Deficient by 1 canopy tree |
| Parking lot | 6 canopy trees 560 SF landscaped area | 2 trees 640 SF landscaped area | Deficient by 4 canopy trees |
| Buffer zone "B" (south) | 20' width 3 canopy trees 3 evergreen trees 12 shrubs 6' wall or 3' berm | 20+' width 4 trees 5 shrubs | Type of trees not indicated. Deficient in tree and shrub plantings, as well as a wall or berm. |
| Detention pond | 5 trees 50 shrubs | 1 tree 10 shrubs | Deficient by 4 trees and 40 shrubs |

Three of the plantings noted in the table (A, B and C) are not depicted on the plan and the trees proposed at the rear of the site are not identified (as noted in the table above).

Response: In the comments dated April 18, 2019 from your planners in item 7- Landscaping it

stated that if there are existing shrubs they would be counted toward the total shrub requirement. It appears that the comments for Item 7 – Landscaping in the June 4, 2019 comments from your planners did not take into account the 74 existing scrubs on the property. Please review this item and revise accordingly.

See other responses below.

| Standard | Required | Proposed | Comments |
|-------------------------|---|--|--|
| Greenbelt | 20' width 3 canopy trees | 55' width 2 existing trees 1 proposed tree | 1 canopy tree will be provided |
| Parking lot | 6 canopy trees 560 SF landscaped area | 6 trees 640 SF landscaped area | 4 additional canopy trees will be provided |
| Buffer zone "B" (south) | 20' width 3 canopy trees 3 evergreen trees 12 shrubs 6' wall or 3' berm | 20+' width 6 trees (3 Canopy, 3 Evergreen) 12 shrubs | 2 additional trees will be provided. 8 shrubs will be added (adjust per comment above). We are requesting a variance for the wall. |
| Detention pond | 5 trees 50 shrubs | 5 trees 50 shrubs | 4 additional trees will be provided and 40 shrubs (adjust per the comment above)(54 new shrubs were provided on the |

9. Waste Receptacle and Enclosure. The plan proposes a new waste receptacle in the rear yard. The location complies with Section 12.04; however, no details are provided for the required enclosure or concrete base pad.

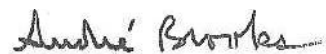
Response: See Sheet C3.0 for detail of enclosure and concrete pad.

10. Signs. The revised submittal notes that new signage is not proposed. We encourage the applicant to remove the nonconforming pole sign and replace it with a compliant monument sign to bring the site closer to compliance with current Ordinance standards.

Response: Existing sign is not being replaced. Existing sign was compliant when it was installed and it is not being changed.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (313) 475-2549, or via e-mail at andreb@abe-engineers.com

Respectfully,
ABE Associates, Inc.


Andre Brooks, PE
President

APR - 3 2019

RECEIVED

Environmental Impact Statement

to support

Application for Site Plan Review

Project: An approximately 396 sq foot addition to the existing wash bay. Secondary request to asphalt existing gravel lot.

submitted to

Genoa Township Planning Commission

by

Enterprise Rent A Car

7184 West Grand River Avenue

Brighton, MI 48114

Prepared by: Scott Inman

Facilities Specialist for Enterprise Holdings Inc.

on

March 26th, 2019

A. Name and address of Person responsible for preparation of the impact assesmet and a brief statement:

Scott Inman, Group Facilities Specialist for Enterprise Leasing Company of Detroit, LLC with Group Headquartered at 29301 Grand River Avenue, Farmington Hills, Michigan 48336.

This assessment statement is very similar to the one submitted in 2004. The project up for review is an approximately 396 sq ft addition to the project granted in 2004. The environmental impact has not/or is expected to change with this small addition.

B. Map and written description/analysis of site:

The project site is located at 7184 West Grand River Avenue in Brighton Michigan 48114. The site covers approximately 1.4 acres with approximately 7000 square feet of that dedicated to asphalt driveway and parking lot. There is an existing building that is approximately 1425 square foot.

C. Impact on natural features:

Landscape and frontage sidewalk was added to the site in 2004 per the Genoa Township Board. We do not expect any change to the natural features since the existing use will remain the same.

D. Impact on storm water management:

Minimal impact to the storm water since the disruption of grade and change in impervious surfaces will be minimal. We would follow township requirements for any asphalt parking lot addition.

E. Impact on surrounding land use:

Dust control measures will be used, as appropriate during construction. No other change in impact since the expansion will be used in the same manner as the current structure.

F. Impact on public facilities and services:

No impact is expected on the public utilities. The addition will tie into the existing oil-water separator which is serviced four times a year. No additional water usage is expected. The same

quantity of vehicles will be prepared. The addition would allow us to do this more efficiently. i.e two at time.

G. Impact on public utilities

No impact as this project expands efficiencies, not the volume of car preparations. The same use that currently exists.

H. Storage and handling of any hazardous material:

No hazardous materials will be used, stored, or disposed of on this site.

I. Impact on traffic and pedestrians:

The hours of operations will remain the same. We are currently open 8am-6pm Monday through Friday and 9am-12pm Saturday-Sunday. No impact is anticipated as the use of the addition will remain the same.

J. Special Provisions:

No provisions exist that would prohibit this wash bay addition. The use remains that same as exist today.

RECEIVED 5-22-19



440 BURROUGHS ST.
SUITE 605
DETROIT, MI 48202
Phone: (313) 961-5170
Fax: (800) 451-2165

OWNER
ENTERPRISE
RENTAL CAR

PROJECT

GARAGE
EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48116



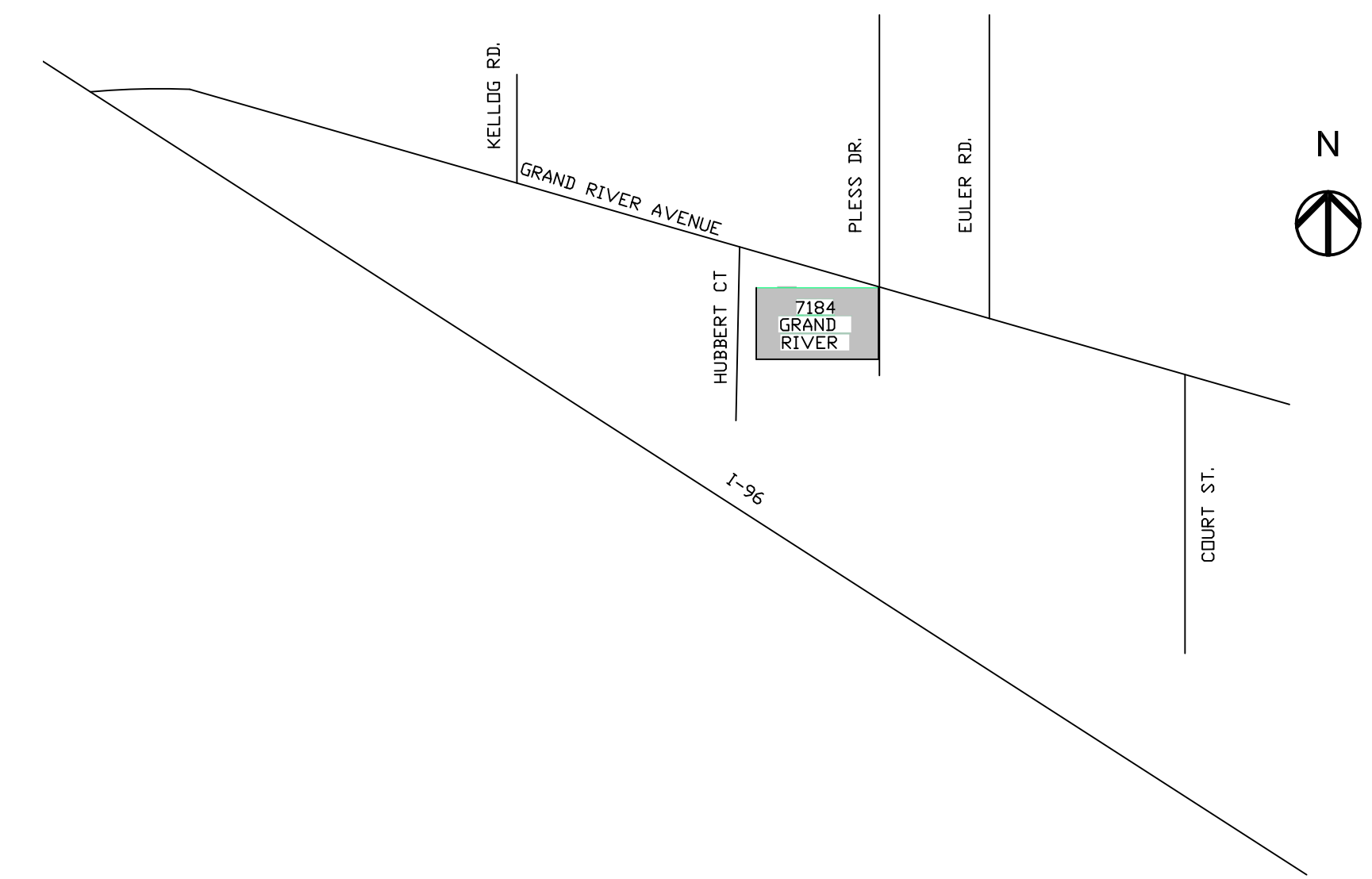
| BY | REVISIONS | DATE |
|----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

| | |
|-----------------|----------|
| Review comments | |
| Date: | 11/15/18 |
| Scale: | AS NOTED |
| Drawn: | ARB |
| Job: | 2018111 |
| Sheet | |

SHEET TITLE
COVER SHEET

CS-1

ENTERPRISE RENTAL CAR GARAGE EXPANSION



LOCATION PLAN

BUILDING CODES

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

LEGAL DESCRIPTION

7184 GRAND RIVER, BRIGHTON, MI 48116

SEC 13 T2N R5E BEG AT A POINT DISTANT, N 89°41'40"E 659.19 FT, N 1°01'10"W 594.36 FT & N 89°39'15"W 188.90 FT FROM W 1/4 COR OF SEC 13, TH N 1°01'10"W 564.74 FT, TH N 71°08'30"W ALONG THE C.L. OF GRAND RIVER, 100 FT, TH S 1°01'10"E 589.91 FT, TH S 85°39'15"E 94.45 FT TO POB, SPLIT FR 019, 1.24AC M/L

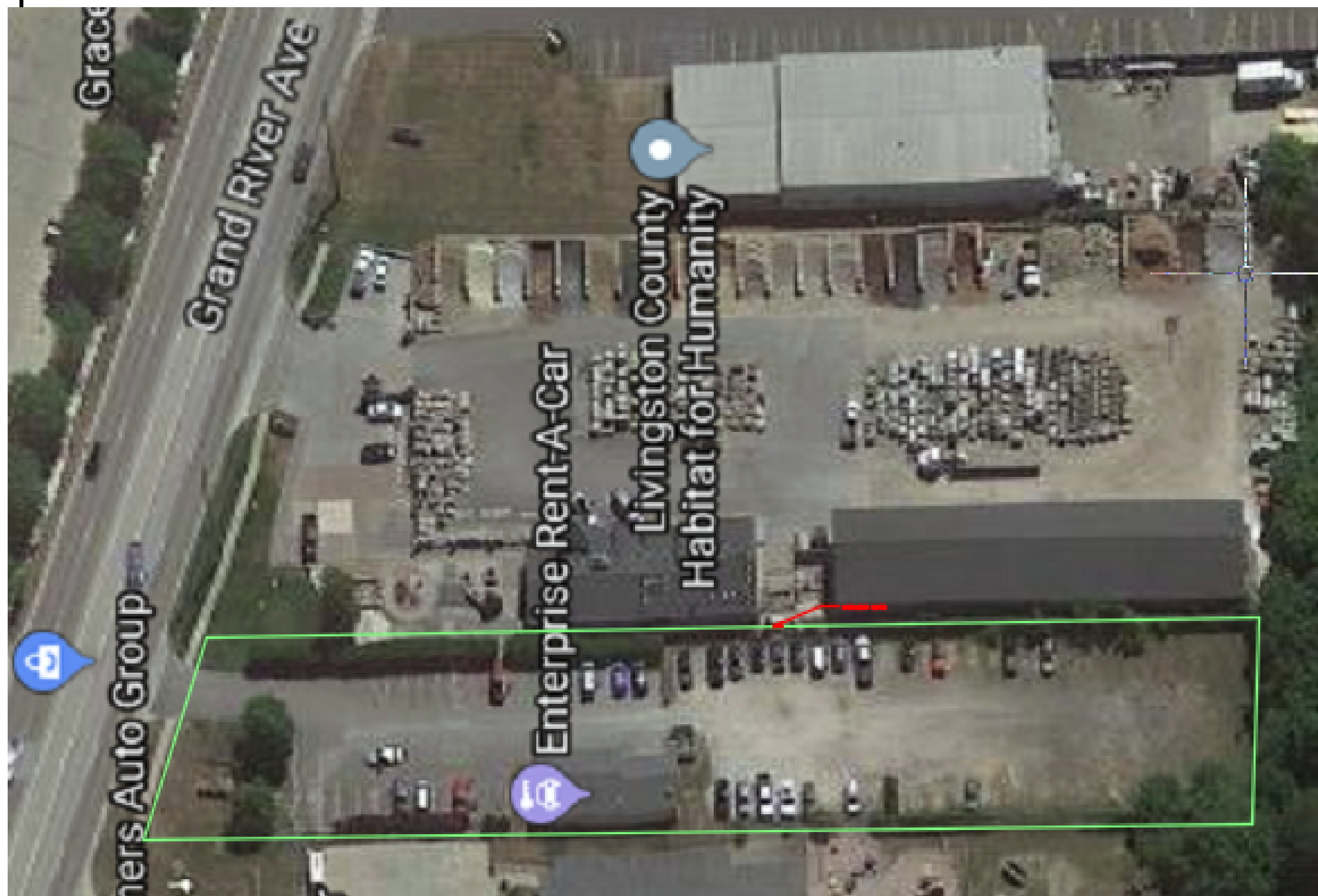
OWNER: ENTERPRISE RENTAL CAR

PARCEL NO.: 4711-99-000-713

| PROJECT INFORMATION | |
|-----------------------------|---------------------------------------|
| LOCATION | 7184 Grand River, Brighton, MI, 48116 |
| CURRENT BUILDING USE | Rental Car Company |
| PROPOSED BUILDING USE | Rental Car Company |
| ZONING CLASSIFICATION | GC: General Commercial |
| ADJACENT SITE ZONING | GC |
| BUILDING CODE | 2015 Michigan Building Code |
| ADA COMPLIANCE | ANSI-117.1 Accessibility Standard |
| USE GROUPS | B: Rental Car Company |
| FIRE RATING | Not Sprinklered |
| LEASED SPACE AREA | 1,806 sq. ft. |
| PAVED AREA | 10,070 sq. ft. Existing paved Lot |
| SITE LIGHTING | Light fixtures on Building |
| OCCUPANT LOAD | 5 |
| NO. OF EXITS REQUIRED | 1 Required (3 Provided) |
| CONSTRUCTION CLASSIFICATION | Type IIB |
| FRONT YARD | 48.00 ft. |
| REAR YARD | 6.00 ft. |
| SIDE YARD | 446.00 ft. |
| # OF OCCUPANTS | 5 |
| BUILDING AREA | 1.9 GSF |
| BUILDING HEIGHT | 13'-6" |
| OFF-STREET PARKING | 20 Spaces |
| TRASH REMOVAL | Dumpster, private |
| PROJECT COMPLETION | N/A |

DRAWINGS

- CS1.0 COVER SHEET
- A1.0 EXISTING FLOOR PLAN
- A2.0 PROPOSED FLOOR PLAN
- A3.0 ELEVATIONS
- C1.0 EXISTING SITE PLAN / SURVEY
- C2.0 PROPOSED SITE PLAN
- C3.0 PROPOSED DIMENSIONING PLAN
- C4.0 PLANTING PLAN
- E1.0 ELECTRICAL PLAN
- M1.0 MECHANICAL PLAN



EXISTING SITE PLAN

SCALE: NTS

DEMOLITION NOTES:

ARCHITECTURAL WORK

REMOVE ALL EXISTING ARCHITECTURAL WORK THAT IS REQUIRED TO BE REPLACED WITH NEW INCLUDING FLOORS, BASES, CEILINGS, WALLS, ECT. TO CLEAR AREAS FOR NEW ARCHITECTURAL WORK.

CONTRACTOR SHALL EXERCISE CARE NOT TO DAMAGE ITEMS BEING REMOVED AND STORED FOR INSTALLATION IN THE NEW GARAGE ADDITION.

CONTRACTOR SHALL SHORE UP CEILINGS AND WALLS NECESSARY FOR DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.

MECHANICAL WORK

REMOVE ALL EXISTING MECHANICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING PIPING, PLUMBING, FIXTURES, ABANDONED DUCT WORK, DEVICES, CONTROLS , ECT. TO CLEAR AREAS FOR NEW MECHANICAL WORK. CAP AND ABANDON ALL PLUMBING FOR NEW LAYOUT.

ELECTRICAL WORK

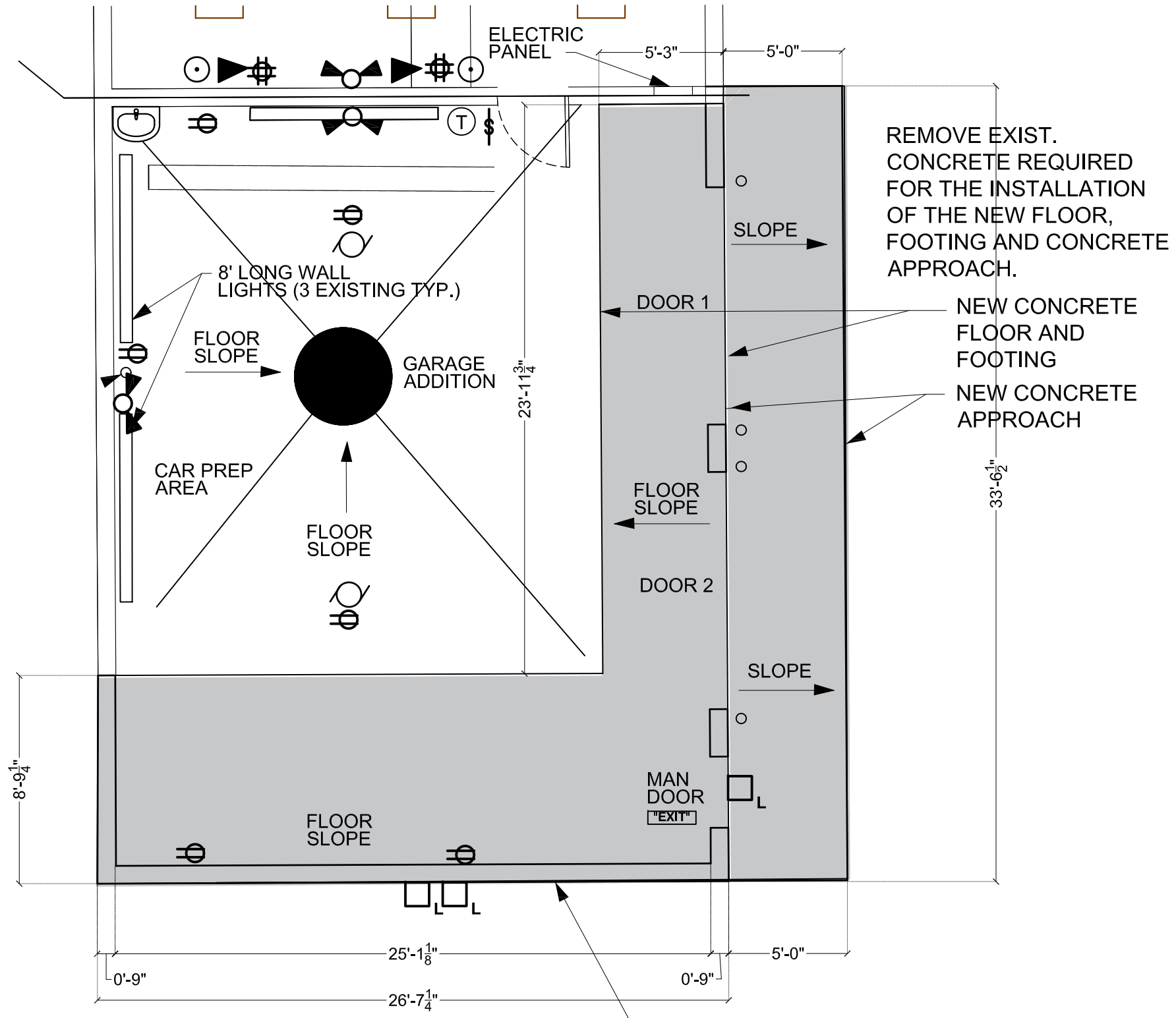
REMOVE ALL EXISTING ELECTRICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING CONDUIT, FIXTURES, LIGHTING, WIRING, POWER SWITCHES, DEVICES, ECT. FROM CEILINGS AND WALLS TO CLEAR AREAS FOR NEW ELECTRICAL WORK. EXISTING DISTRIBUTION CIRCUITS FROM MAIN DISTRIBUTION PANEL IN AREAS OF RENOVATION TO BE REWORKED AND REDEVELOPED FOR NEW ELECTRICAL DEMANDS.

REPAIR ALL EXISTING DISTURBED FINISHES DUE TO NEW CONSTRUCTION WORK TO CONFORM TO NEW LAYOUT. CAP AND ABANDON ALL PLUMBING FOR NEW LAYOUT.

REVIEW ALL DEMOLITION WORK WITH OWNER OR ARCHITECT BEFORE STARTING WORK.

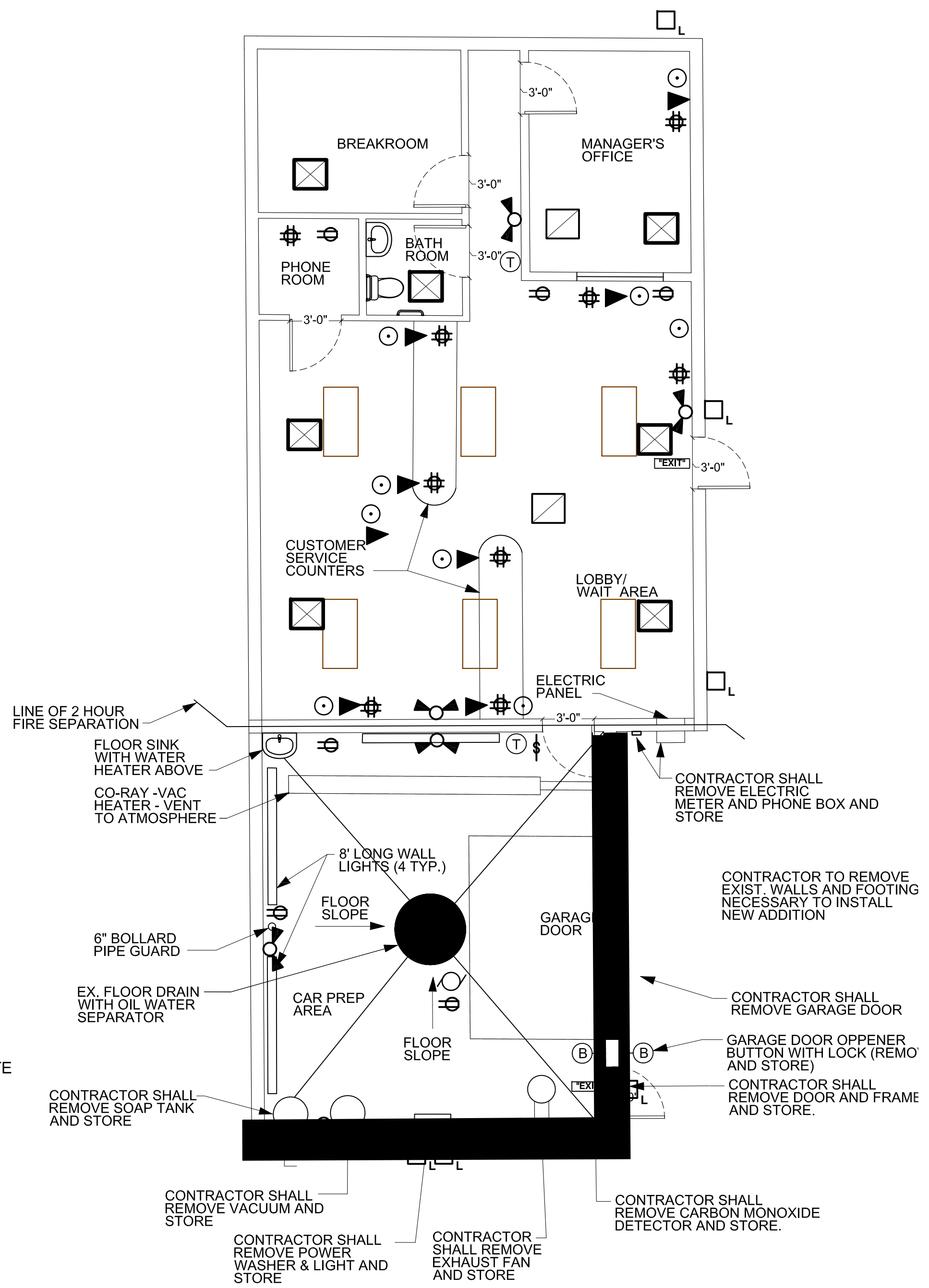
CONTRACTOR SHALL REMOVE AND STORE ALL EQUIPMENT AND COMPONENTS SHOWN AS REMOVE. ALL HARDWARE, ELECTRICAL, CONTROLS, MECHANICAL, DOORS AND FRAME, GARAGE DOOR OPENER AND CONTROLS SHALL BE INVENTORIED AND STORED FOR REINSTALLATION IN THE NEW GARAGE ADDITION.

CONTRACTOR SHALL EXERCISE CARE WHEN REMOVING EQUIPMENT SO THEY ARE NOT DAMAGED DURING REMOVAL AND STORAGE. CONTRACTOR SHALL INFORM OWNER OF EQUIPMENT THAT WILL REQUIRE REPLACEMENT OR IF CERTAIN COMPONENTS OF THE EQUIPMENT WAS NOT ABLE TO BE SALVAGED AND IT WILL REQUIRE REPLACEMENT.



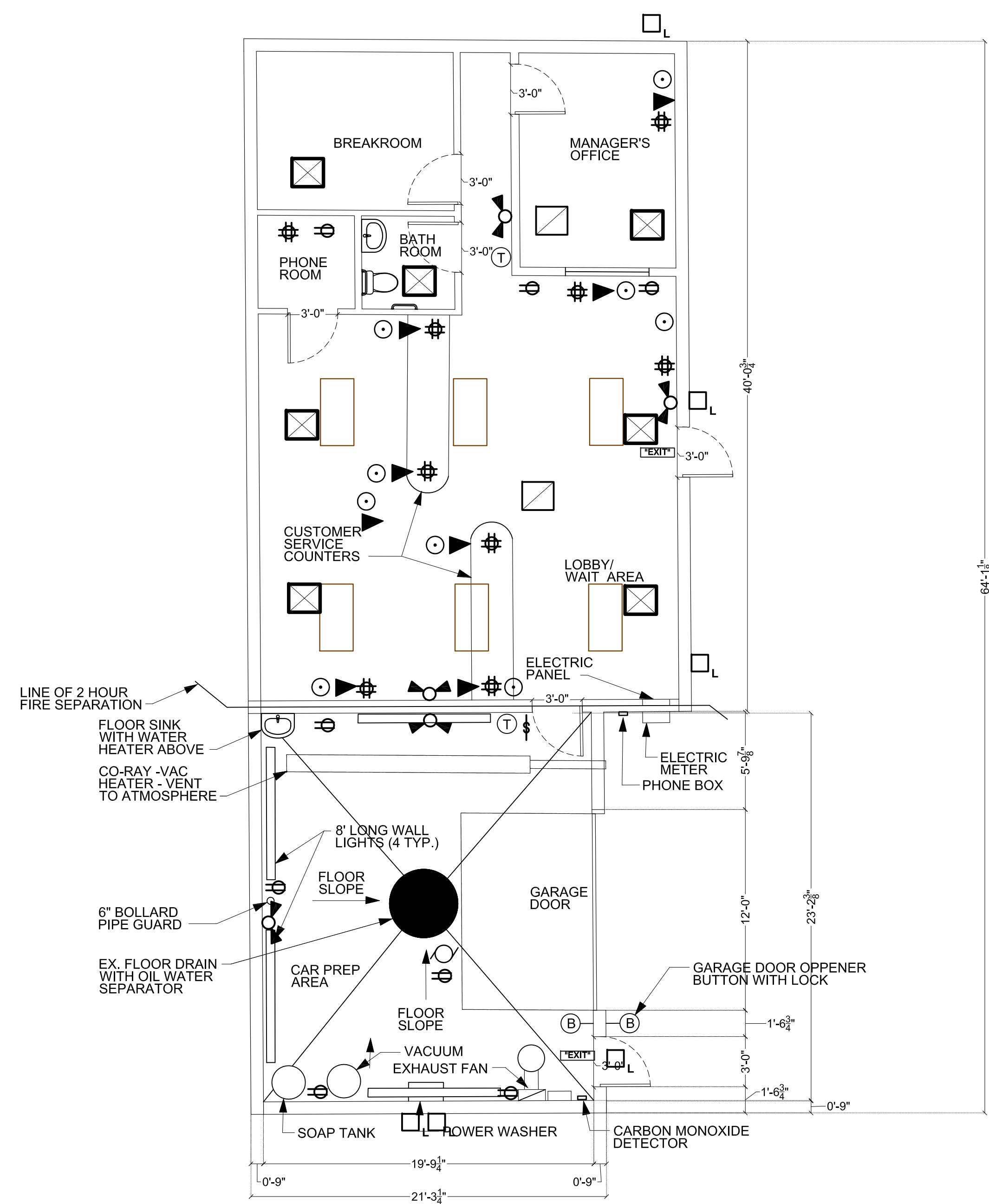
NEW CONCRETE LAYOUT PLAN

SCALE: 3/16" = 1'-0"



DEMOLITION PLAN

SCALE: 3/16" = 1'-0"



EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"



440 BURROUGHS ST.
SUITE 605
DETROIT, MI 48202
Phone: (313) 961-5170
Fax: (800) 451-2165

OWNER
ENTERPRISE RENTAL CAR

PROJECT
GARAGE EXPANSION
7184 GRAND RIVER
BRIGHTON, MI 48234



| BY | REVISIONS | DATE |
|-----------------|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| Review comments | | |
| Date: | 11/12/18 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | | |
| Sheet | | |

SHEET TITLE
FLOOR PLANS

BUILDING AREA:
 NEW CAR PREP AREA: = 358 SQ. FT.
 CAR PREP BAY: = 505 SQ. FT.
 OFFICE AREA: = 943 SQ. FT.
 TOTAL GROSS BUILDING AREA: = 1,806 SQ. FT.

SEE SHEET A1.0 FOR LAYOUT OF NEW CONCRETE FLOOR AND CONCRETE APPROACH INTO NEW GARAGE ADDITION. CONTRACTOR SHALL REMOVE EXISTING CONCRETE AND FOOTING NECESSARY FOR THE INSTALLATION OF THE NEW CONCRETE.

PAINT:
 CONTRACTOR SHALL USE ENTERPRISE CUSTOM COLORS. CONTRACTOR SHALL USE PM 200 FLAT (B30W201) DOVER WHITE, WHITE PACKAGE COLOR ON CEILING AND INTERIOR WALLS.

ROOM FINISH:
 NEW CAR PREP AREA FLOOR MATERIAL SHALL BE SEALED CONCRETE. THE BASE SHALL CONSIST OF NEW EXPOXY PAINT OR FRP PANEL. WALLS SHALL BE NEW EXPOXY OR FRP PANEL. CEILING SHALL BE NEW PAINT ON NEW DRYWALL. NEW 5 1/2" BLANKET INSULATION SHALL BE INSTALLED ABOVE NEW CEILING.

GARAGE DOORS:
 NEW GARAGE DOORS SHALL BE 10' WIDE BY 8' HIGH INSULATED GARAGE DOOR. DOOR MATERIAL SHALL CONSIST OF INSULATED METAL DOOR. FRAME MATERIAL SHALL BE PAINTED. DOOR HARDWARE SHALL BE FROM OVERHEAD DOOR. CONTRACTOR TO PROVIDE GARAGE DOOR OPENER AND STEEL JAM CHANNELS - FULL HEIGHT.

N



440 BURROUGHS ST.
 SUITE 605
 DETROIT, MI 48202
 Phone: (313) 961-5170
 Fax: (800) 451-2165

OWNER
 ENTERPRISE
 RENTAL CAR

PROJECT
 GARAGE
 EXPANSION
 7184 GRAND RIVER
 BRIGHTON, MI
 48234



PERCENTAGE OF NEW BUILDING AREA:
 NEW CAR PREP AREA: = 358 SQ. FT.
 EXISTING CAR PREP BAY: = 505 SQ. FT.
 OFFICE AREA: = 943 SQ. FT.
 EXISTING GROSS BUILDING AREA: = 1,448 SQ. FT.
 PERCENTAGE OF NEW CONSTRUCTION AREA: = 20%

NOTE:
 VERIFY ALL NEW CEILING HEIGHTS IN FIELD.

NEW FLOOR:
 CONTRACTOR SHALL PROVIDE POSITIVE FLOW FROM THE EDGE OF THE NEW CONCRETE FLOOR TOWARD THE EXISTING DRAIN. CONTRACTOR SHALL PROVIDE DOWELS TO JOIN NEW CONCRETE SLAB WITH THE EXISTING CONCRETE SLAB AT 2' O.C. NEW CONCRETE SLAB SHALL MATCH THE EXISTING SLAB THICKNESS.

CONSTRUCTION NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY COMPONENTS.
 PROVIDE FRP BOARD ON 3/8" DUROCK ON 1/2" WATERBOARD AT ALL NEW WALLS IN CAR PREP BAY FROM FINISH FLOOR UP TO 8'-0" (SEE DETAIL ON SHEET A3.0)

ARCHITECTURAL WORK
 CONTRACTOR SHALL INSTALL ALL NEW ARCHITECTURAL WORK THAT IS REQUIRED INCLUDING FOOTING, FLOORS, BASES, CEILINGS, WALLS, ECT. IN ACCORDANCE WITH GENOA TOWNSHIP AND LIVINGSTON COUNTY CODES AND STANDARDS.

MECHANICAL WORK
 CONTRACTOR SHALL INSTALL NEW MECHANICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING PIPING, PLUMBING, FIXTURES, DUCT WORK, DEVICES, CONTROLS, ECT. IN ACCORDANCE WITH GENOA TOWNSHIP AND LIVINGSTON COUNTY CODES AND STANDARDS. ABANDON ALL PLUMBING FOR NEW LAYOUT. CONTRACTOR SHALL RECONNECT ALL ITEMS THAT WERE STORED AND BEING REUSED IN THE NEW GARAGE ADDITION.

ELECTRICAL WORK
 CONTRACTOR SHALL INSTALL ALL ELECTRICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING CONDUIT, FIXTURES, LIGHTING, WIRING, POWER SWITCHES, DEVICES, ECT. FROM CEILINGS AND WALLS FOR NEW ELECTRICAL WORK. CONTRACTOR TO REWORK NEW DISTRIBUTION TO EXISTING DISTRIBUTION CIRCUITS FROM MAIN DISTRIBUTION PANEL IN AREAS OF RENOVATION TO BE REWORKED AND REDEVELOPED FOR NEW ELECTRICAL DEMANDS.

CONTRACTOR TO REPAIR ALL DISTURBED FINISHES DUE TO NEW CONSTRUCTION WORK TO CONFORM TO NEW LAYOUT.

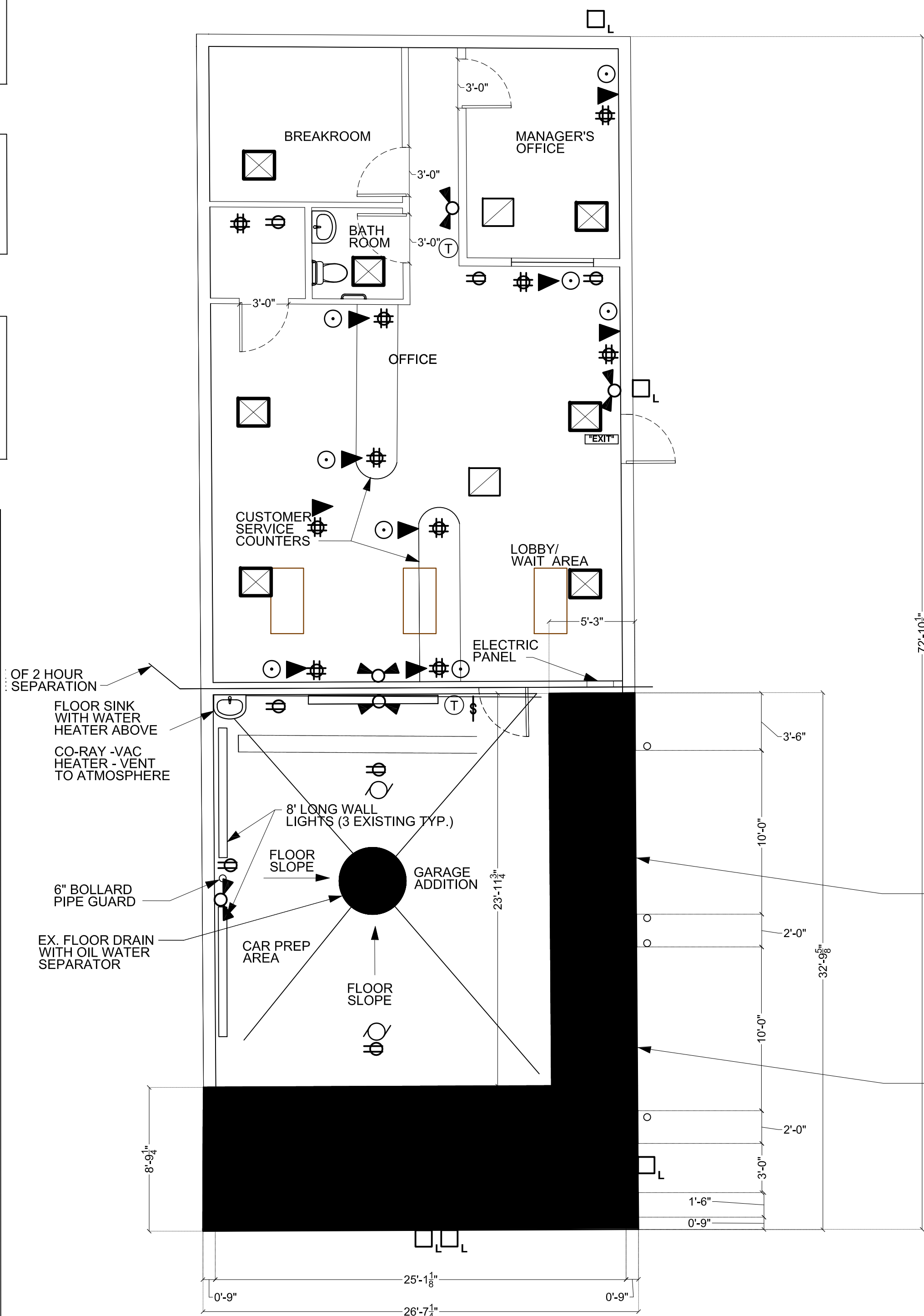
CONTRACTOR TO INSTALL ELECTRIC METER AT LOCATION SHOWN ON THE PLANS.

CONTRACTOR SHALL PROVIDE TEMPORARY POWER AS NEEDED FOR THE REMOVAL OF THE EXISTING ELECTRIC METER AND COMPONENTS.

CONTRACTOR SHALL INSTALL PHONE BOX AND LINES AT THE LOCATION SHOWN ON THE PLANS.

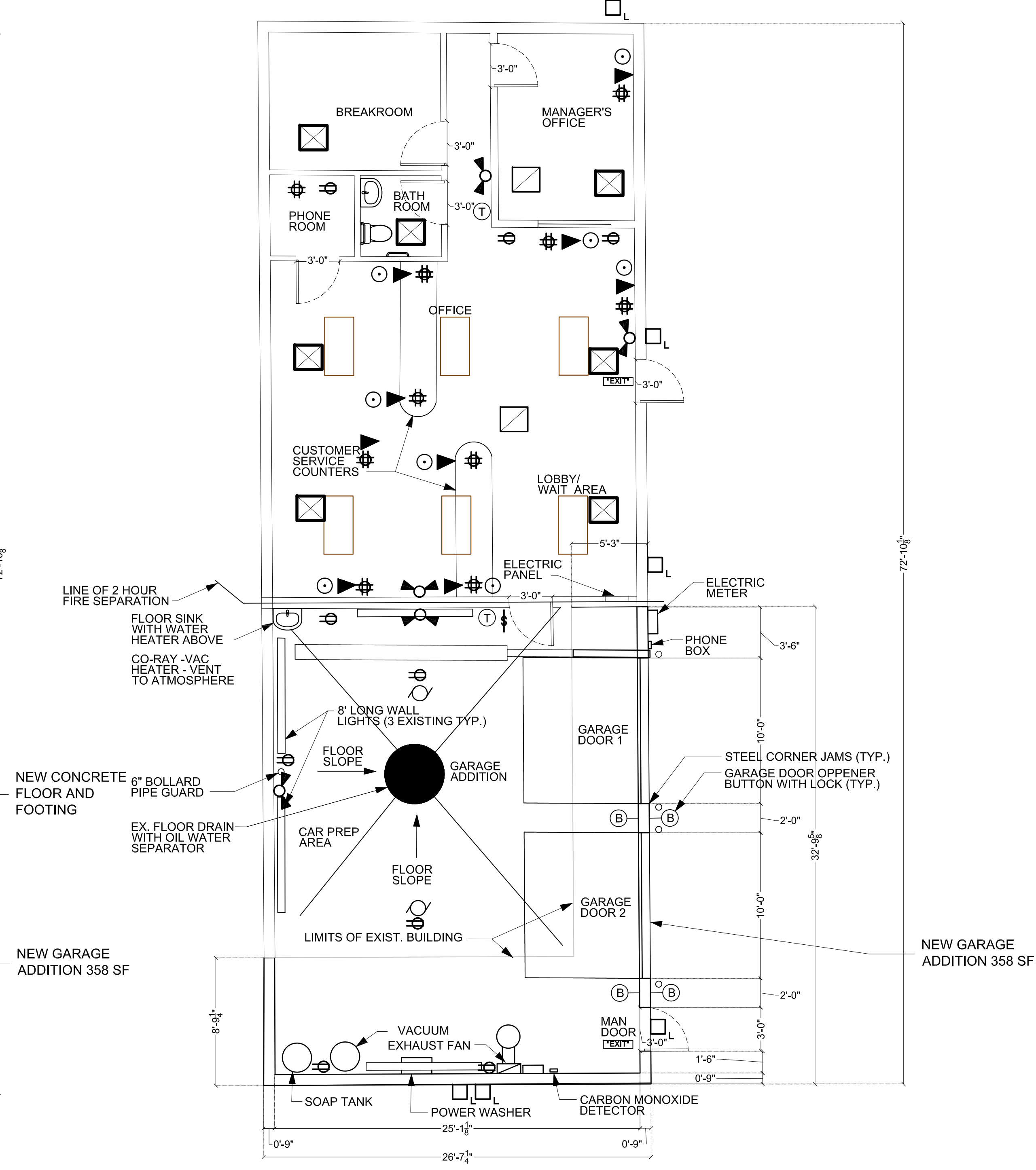
CONTRACTOR SHALL PROVIDE TEMPORARY PHONE SERVICE AS NEEDED DURING THE REMOVAL OF THE EXISTING PHONE LINES.

REVIEW ALL DEMOLITION WORK WITH OWNER OR ARCHITECT BEFORE STARTING WORK.



PROPOSED ADDITION PLAN

SCALE: 3/16" = 1'-0"



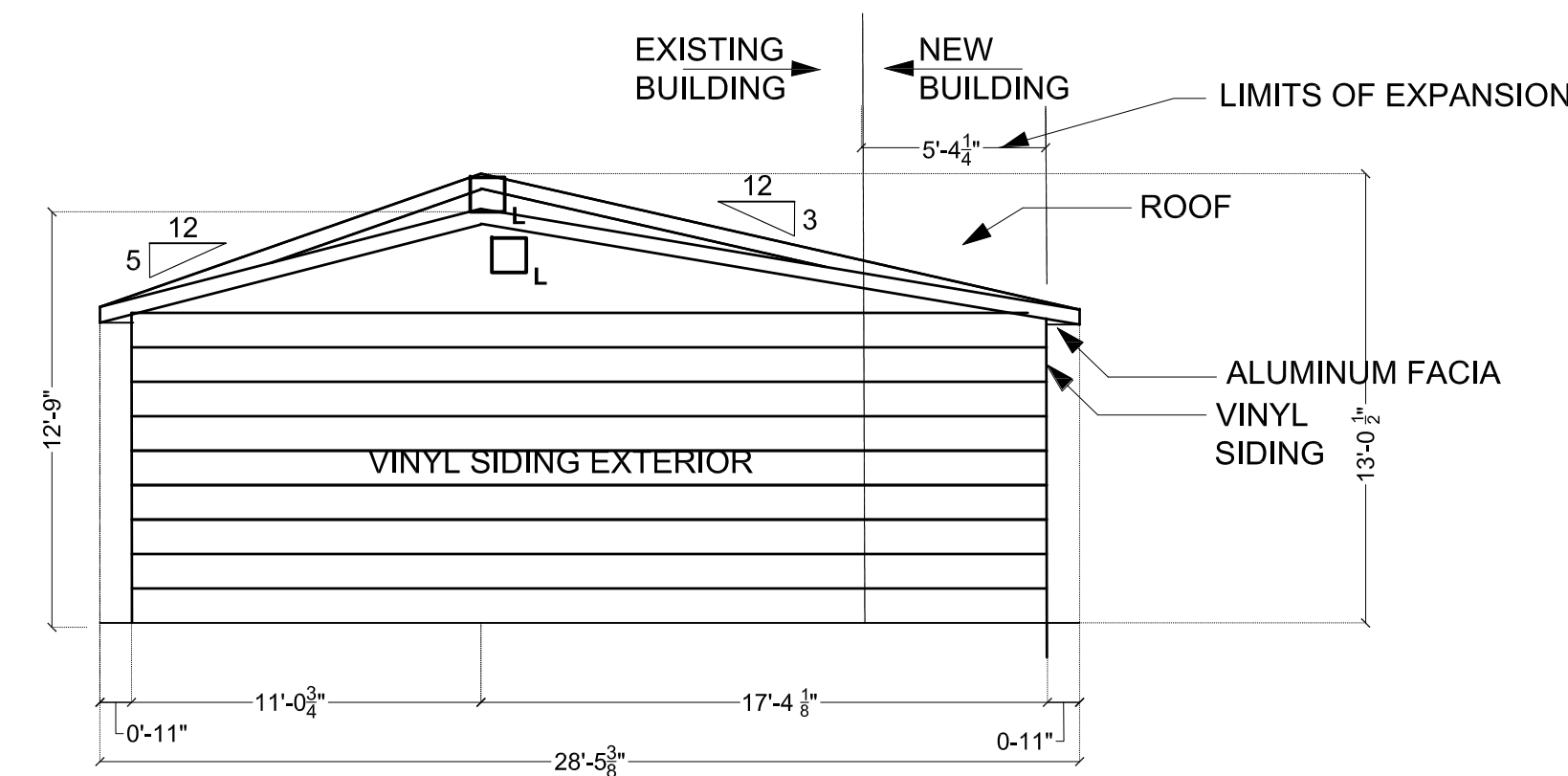
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| | | |
| | | |
| | | |
| Review comments | | |
| Date: | 4/3/19 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | | |
| Sheet | | |

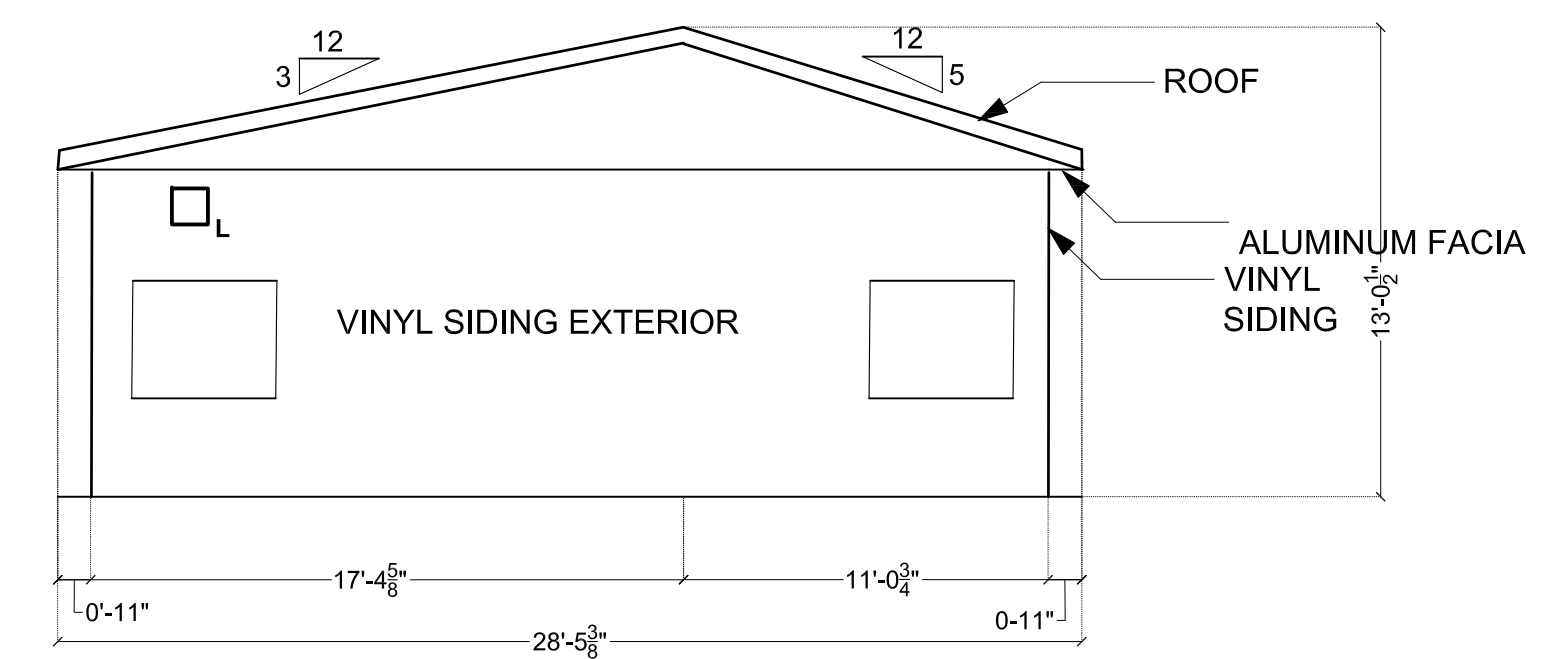
SHEET TITLE
 FLOOR PLANS

A2.0



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

240' SELF SEAL ASPHALT SHINGLES ON #15 FELT ON 1/2" CDX PLYWOOD OVER PRE-ENGINEERED SCISSOR ROOF TRUSSES AT 2'-0" ON CENTER

ALUMINUM DRIP EDGE AND GUTTER

HORIZONTAL VINYL SIDING ON 1/2" SHEETING BOARD (TO MATCH EXISTING)

#5 VERTICAL REINFORCING BAR AT 4'-0" O.C.

APPROXIMATE LINE OF FINISH GRADE / PAVING

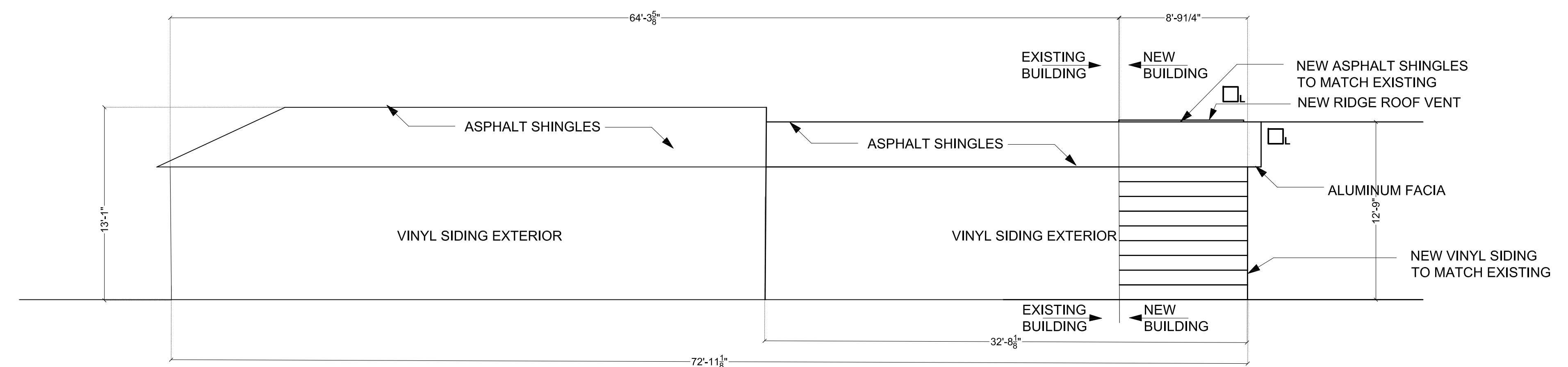
DENSE WEIGHT CONCRETE LEVELING BLOCK (SLUSH FULL CORES)

14" POURED TRENCH FOOTING WITH 2 #5 BARS CONTINUOUS TOP AND BOTTOM

42" MIN.

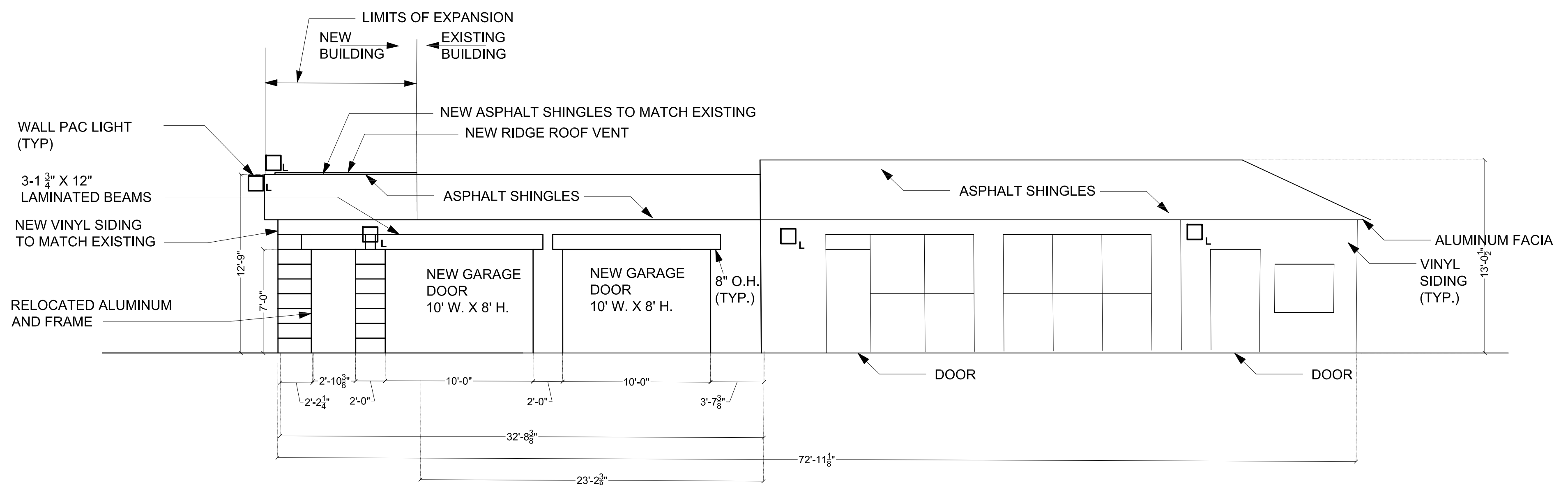
WALL DETAIL

SCALE: N.T.S.



EAST ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"



440 BURROUGHS ST.
SUITE 605
DETROIT, MI 48202
Phone: (313) 961-5170
Fax: (800) 451-2165

OWNER

ENTERPRISE
RENTAL CAR

PROJECT

GARAGE
EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48234



BY REVISIONS DATE

Review comments

Date: 4/3/19

Scale: AS NOTED

Drawn: ARB

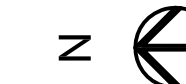
Job:

Sheet

SHEET TITLE

ELEVATIONS

A3.0

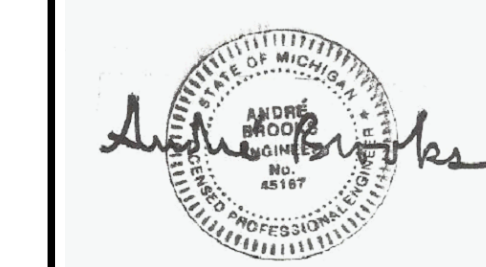


ABE ASSOCIATES, INC.
440 BURROUGHS STREET
STE. 605
DETROIT, MI 48202

PH: 313.961.5170
FX: 313.961.5172

OWNER
ENTERPRISE RENTAL CAR

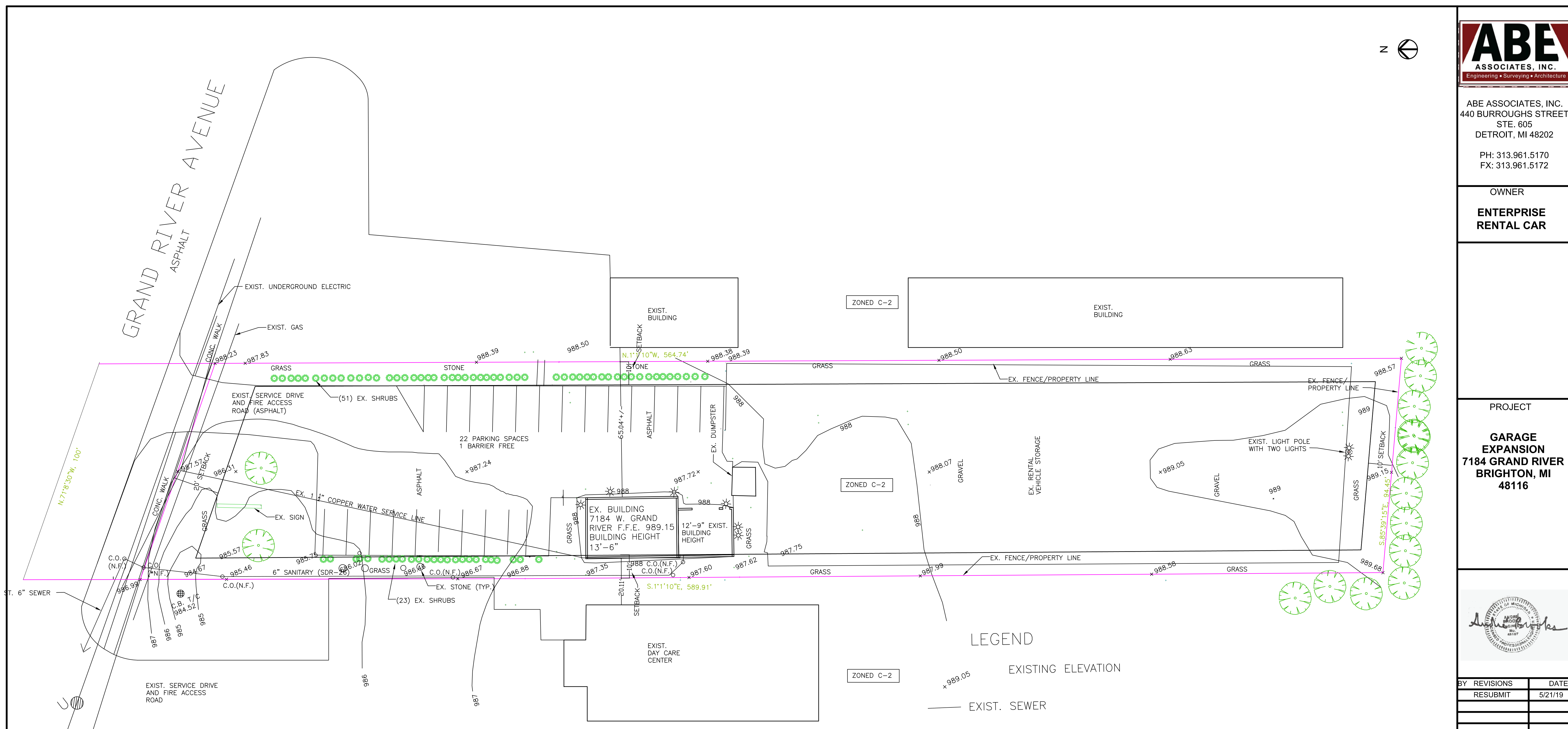
PROJECT
**GARAGE EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48116**



| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| | | |
| | | |
| | | |
| | | |
| Review comments | | |
| Date: | 11/12/18 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | | |
| Sheet: | | |

SHEET TITLE
EXISTING SITE PLAN / SURVEY

C1.0



EXISTING SITE PLAN / SURVEY

SCALE: 1" = 20'

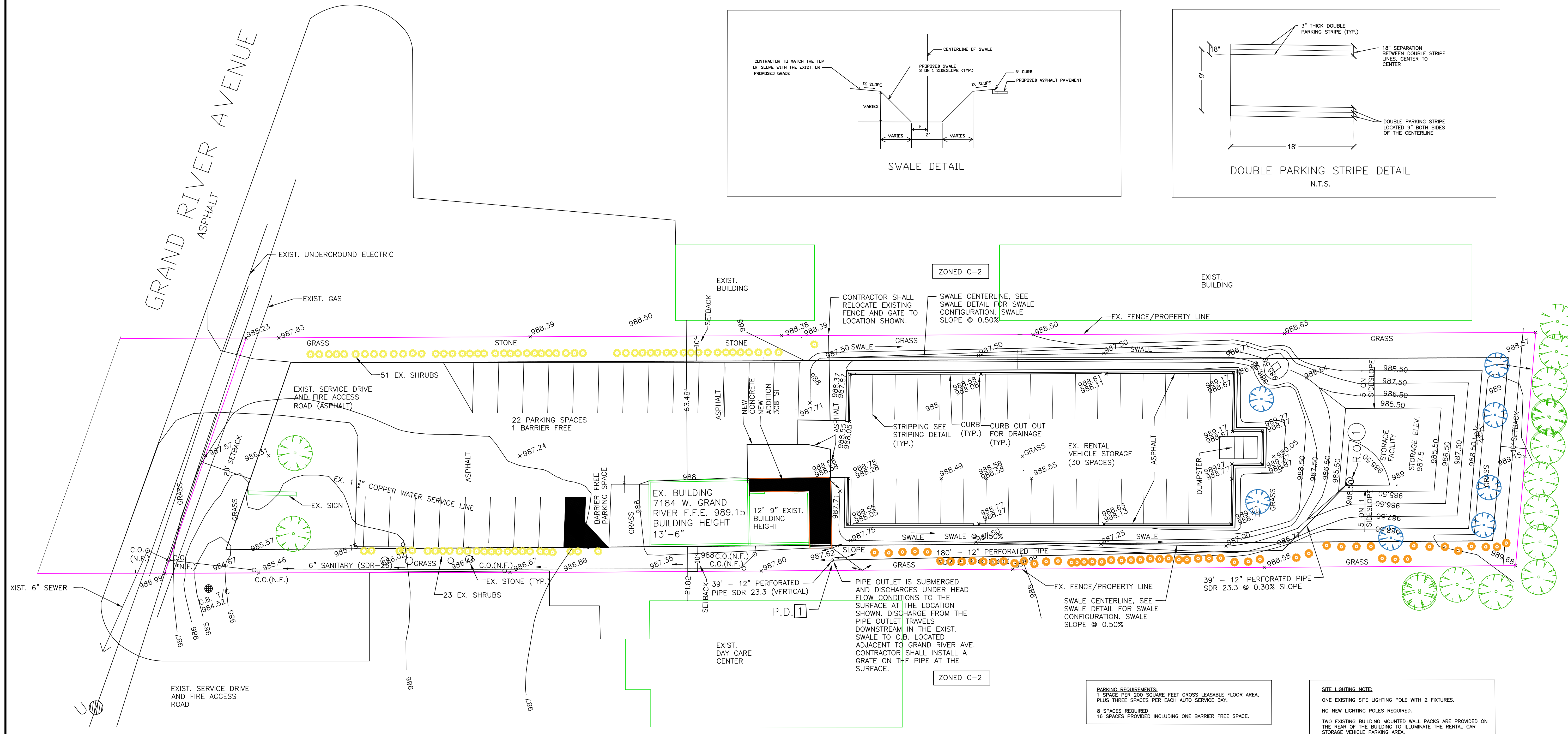
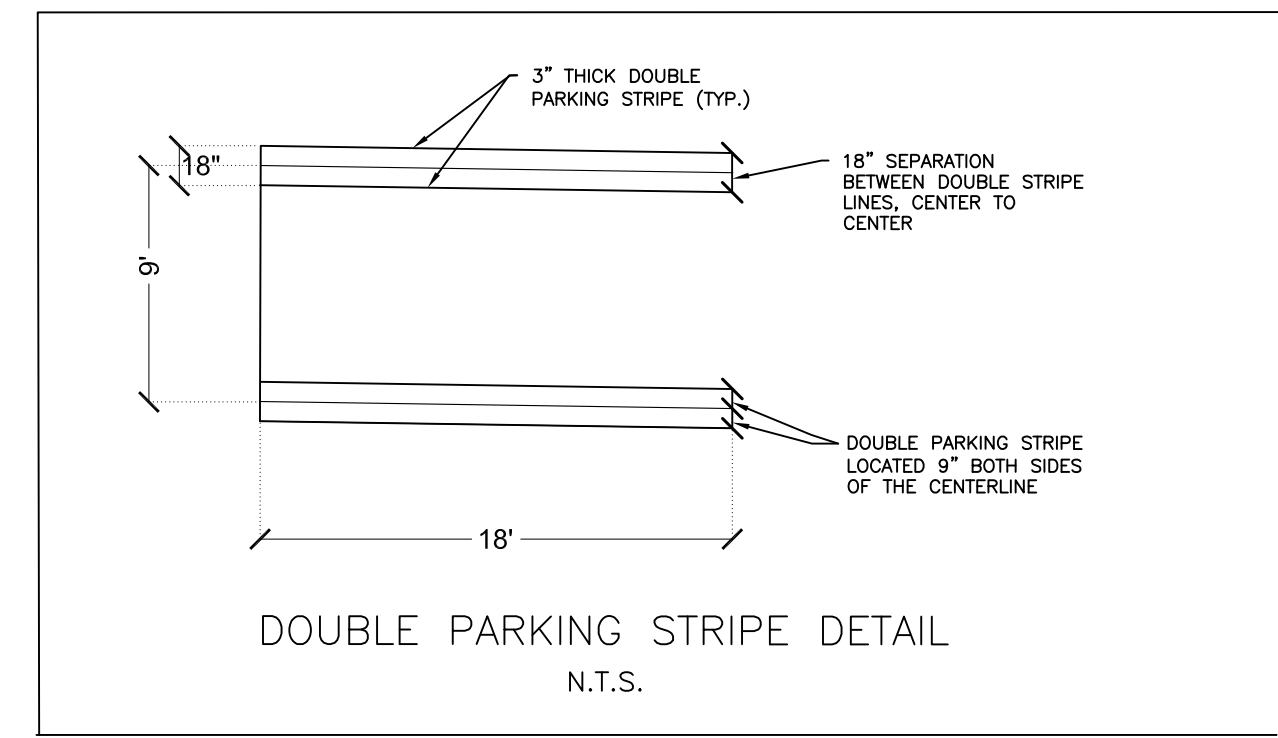
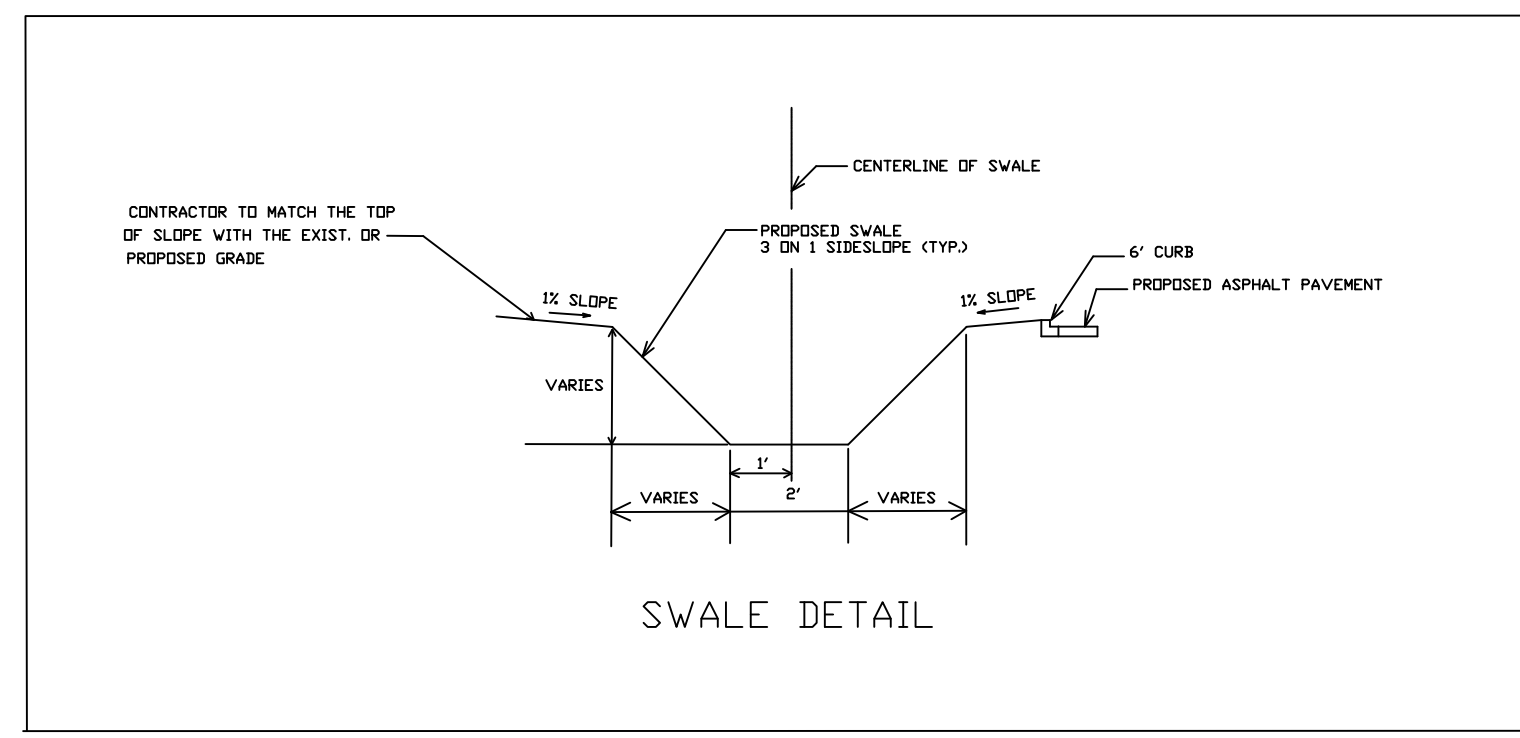
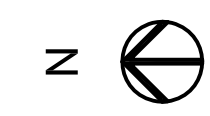
LEGEND

- x989.05 EXISTING ELEVATION
- - - EXIST. SEWER
- ◉ CATCH BASIN
- ⊙ MANHOLE
- ⊘ UTILITY POLE
- ⊕ HYDRANT
- ⊙ TREE
- SHRUB
- (N.F.) NOT FOUND
- ⊠ SIGN
- * EXIST. LIGHT



| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| Review comments | | |
| Date: | 4/3/19 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | 2018121 | |
| Sheet | | |

SHEET TITLE
PROPOSED PLAN



PROPOSED SITE PLAN

SCALE: 1" = 20'

Enterprise Brighton Storage Calculations

Tributary Area = 0.63
Compound Runoff Coefficient (C) = 0.53
Design Constant (K1) = 0.33
Allowable Outflow Rate (Qo) = 0.13

| 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|--------------------|--------------------|---------------------------------|---------------------|---------------------------------------|--|--|
| Duration (Minutes) | Duration (Seconds) | Intensity (100Yr Storm) (In.Hr) | Col. # 2 x Col. # 3 | Inflow Volume = Col. 4 x K1 (Cu. Ft.) | Outflow Volume = Col. # 2 x Col. # 5 (Cu. Ft.) | Storage Volume = Col. 5 - Col. 6 (Cu. Ft.) |
| 5 | 300 | 9.17 | 2751 | 907.83 | 39 | 868.83 |
| 10 | 600 | 7.86 | 4716 | 1556.28 | 78 | 1478.28 |
| 15 | 900 | 6.88 | 6192 | 2043.36 | 117 | 1926.36 |
| 20 | 1200 | 6.11 | 7332 | 2419.56 | 156 | 2263.56 |
| 30 | 1800 | 5 | 9000 | 2970 | 234 | 2736 |
| 60 | 3600 | 3.24 | 11664 | 3849.12 | 468 | 3381.12 |
| 90 | 5400 | 2.39 | 12906 | 4258.98 | 702 | 3556.98 |
| 120 | 7200 | 1.9 | 13680 | 4514.4 | 936 | 3578.4 |
| 180 | 10800 | 1.34 | 14472 | 4775.76 | 1404 | 3371.76 |

Enterprise Brighton Storage Volume Calculations
5/13/2019

| Elevation | Depth | Width | Avg. Width | Length | Avg. Length | Volume | Accumulated Volume |
|-----------|-------|-------|------------|--------|-------------|--------|--------------------|
| 985.5 | 0 | 32 | | 38 | | | |
| | | | 37 | | 43 | 1591 | 1591 |
| 986.5 | 1 | 42 | | 48 | | | |
| | | | 47 | | 53 | 2491 | 4082 |
| 987.5 | 2 | 52 | | 58 | | | |
| | | | 57 | | 63 | 3591 | 7673 |
| 988.5 | 3 | 62 | | 68 | | | |

R.O. ① W/2' SUMP
TOP 987.5
12" PERFORATED NW INV. 685.50
SUMP BOTTOM 683.50

P.D. ①
T/P 987.65
12" SE. INV. 984.85

PARKING REQUIREMENTS:
1 SPACE PER 200 SQUARE FEET GROSS LEASABLE FLOOR AREA, PLUS THREE SPACES PER EACH AUTO SERVICE BAY.
8 SPACES REQUIRED
16 SPACES PROVIDED INCLUDING ONE BARRIER FREE SPACE.

NOTES:
ALL LANDSCAPING TO BE IRRIGATED.
DO NOT PLANT TREES OR SHRUBS OVER SEWERS.

PARKING IN REAR:
PARKING IN REAR IS FOR STORAGE OF ENTERPRISE CAR RENTAL VEHICLES ONLY. THE PUBLIC WILL PARK IN SPACES PROVIDED IN THE FRONT AND SIDE OF THE BUILDING.
8 SPACES PROVIDED

Basin Outlet Pipe
THE BASIN OUTLET PIPE SHALL BE PERFORATED PVC SDR 23.5. THE RISER OUTLET PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE GENOA TOWNSHIP AND THE LIVINGSTON COUNTY DRAIN COMMISSION STANDARDS.

EXISTING/NEW PAVEMENT
CONTRACTOR SHALL INSTALL NEW PAVEMENT AT THE SAME ELEVATION OF THE EXIST. PAVEMENT WHEN NEW PAVEMENT ABUTS EXIST. PAVEMENT.

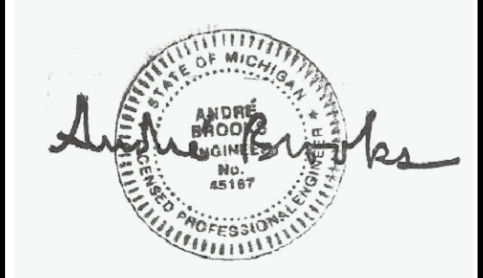
1.24 ACRES

SITE LIGHTING NOTE:
ONE EXISTING SITE LIGHTING POLE WITH 2 FIXTURES.
NO NEW LIGHTING POLES REQUIRED.
TWO EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ON THE REAR OF THE BUILDING TO ILLUMINATE THE RENTAL CAR STORAGE VEHICLE PARKING AREA.
THREE EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ADJACENT TO EACH PEDESTRIAN DOORS 250 WATT METAL HALIDE WITH DIRECTIONAL SHIELD LENSES TO PREVENT SPREAD OF LIGHT OFFSITE.

PERFORATED STANDPIPE RISER OUTLET
THE BASIN OUT SHALL BE A 36" PERFORATED RISER PIPE WITH A CONCRETE BOTT AND A 2" SUMP/A TRASH BACK SHALL BE INSTALLED AROUND THE GRAPE OPENINGS. THE RISER OUTLET SHALL BE INSTALLED IN ACCORDANCE WITH THE GENOA TOWNSHIP AND THE LIVINGSTON COUNTY DRAIN COMMISSION STANDARDS.

SITE LIGHTING NOTE:
ONE EXISTING SITE LIGHTING POLE WITH 2 FIXTURES.
NO NEW LIGHTING POLES REQUIRED.
TWO EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ON THE REAR OF THE BUILDING TO ILLUMINATE THE RENTAL CAR STORAGE VEHICLE PARKING AREA.
THREE EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ADJACENT TO EACH PEDESTRIAN DOORS 250 WATT METAL HALIDE WITH DIRECTIONAL SHIELD LENSES TO PREVENT SPREAD OF LIGHT OFFSITE.

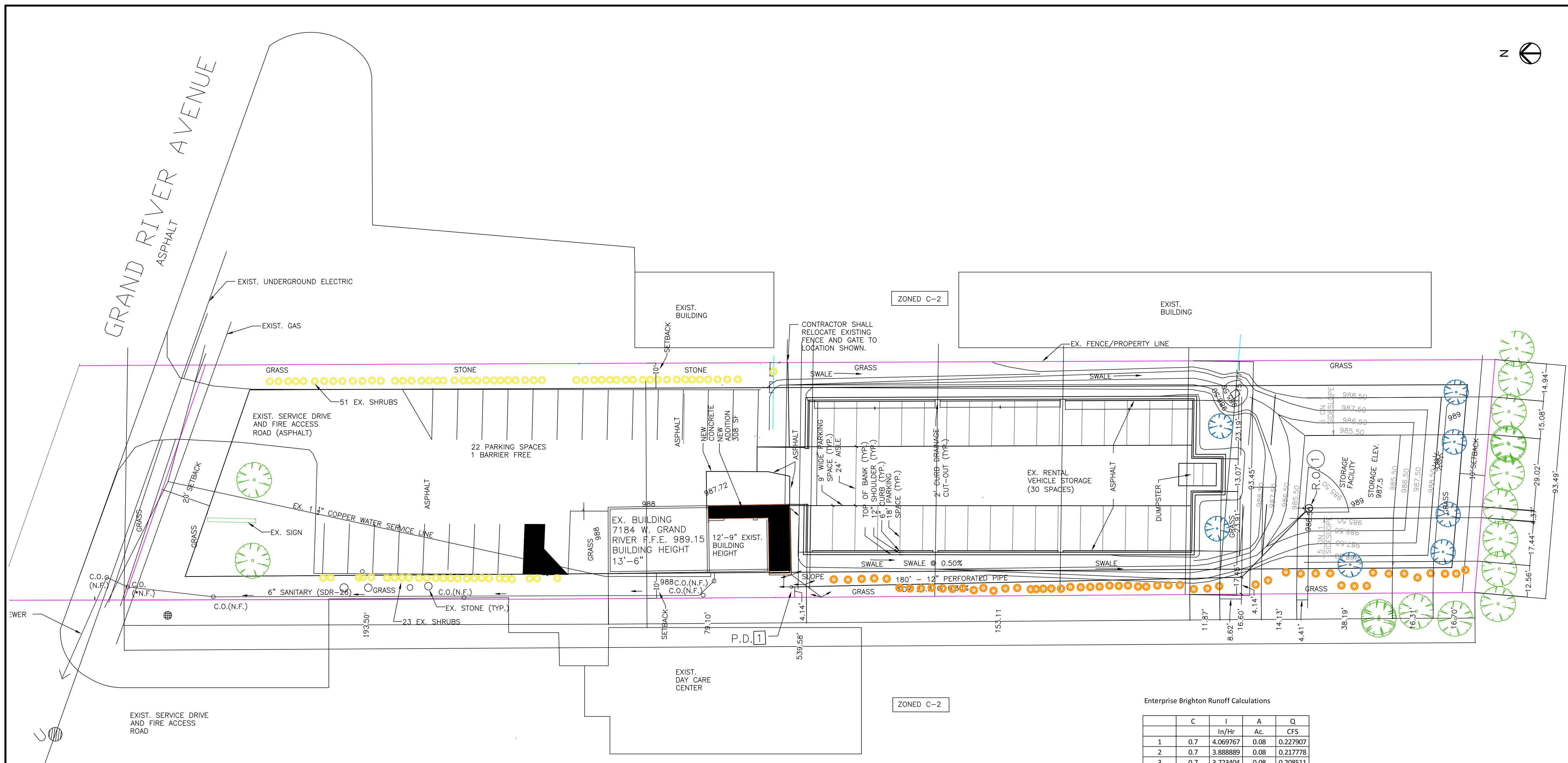
SEE SHEET C1.0 FOR RUNOFF CALCULATIONS AND DRAINAGE AREA MAP.



| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| Review comments | | |
| Date: | 4/3/19 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | 2018121 | |
| Sheet | | |

SHEET TITLE
PROPOSED DIMENSION PLAN

C3.0

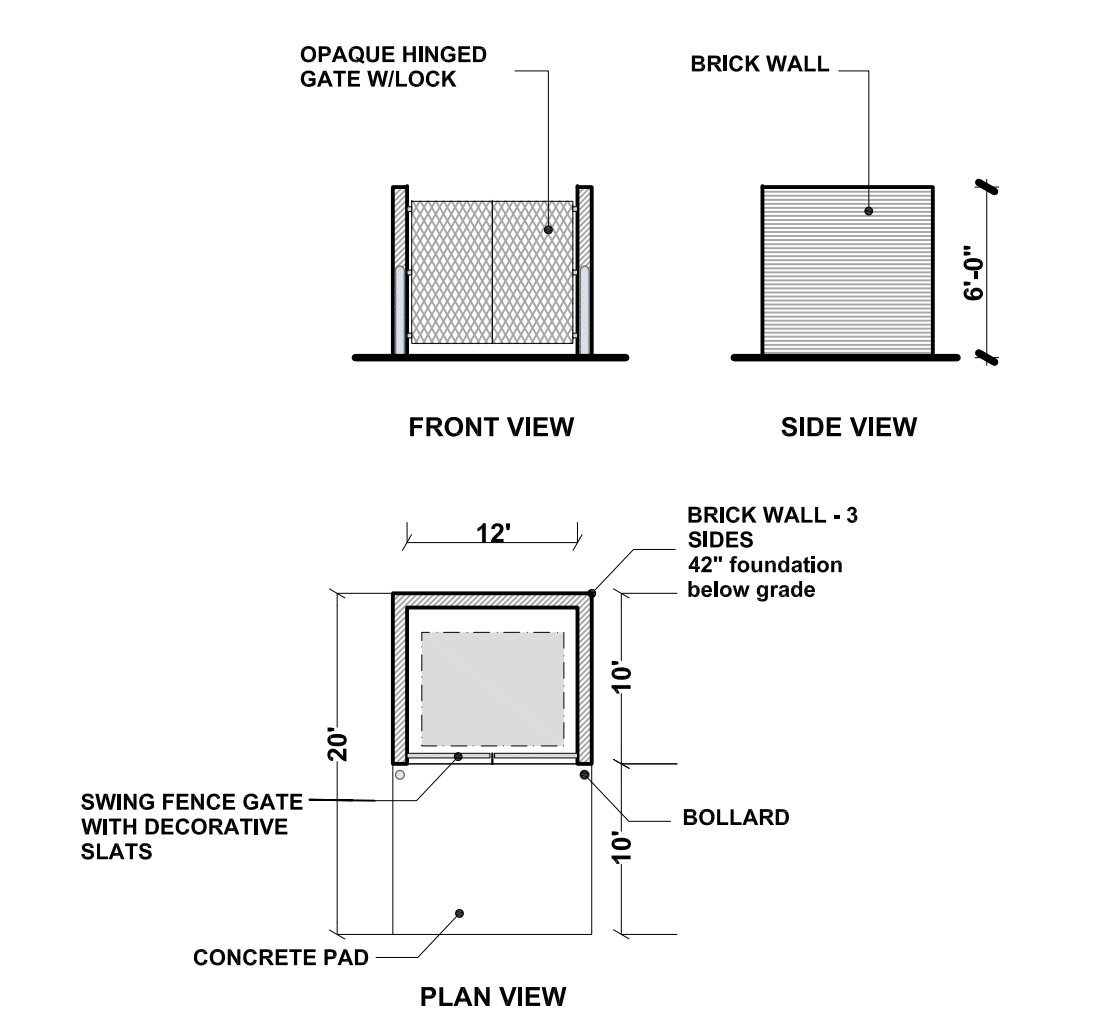


Enterprise Brighton Runoff Calculations

| | C | I | A | Q |
|---|------|----------|------|----------|
| | | In/Hr | Ac. | CFS |
| 1 | 0.7 | 4.069767 | 0.08 | 0.227907 |
| 2 | 0.7 | 3.888889 | 0.08 | 0.217778 |
| 3 | 0.7 | 3.723404 | 0.08 | 0.208511 |
| 4 | 0.44 | 4.069767 | 0.05 | 0.089535 |
| 5 | 0.44 | 3.888889 | 0.05 | 0.085556 |
| 6 | 0.44 | 3.723404 | 0.05 | 0.081915 |
| 7 | 0.53 | 4.069767 | 0.13 | 0.280407 |

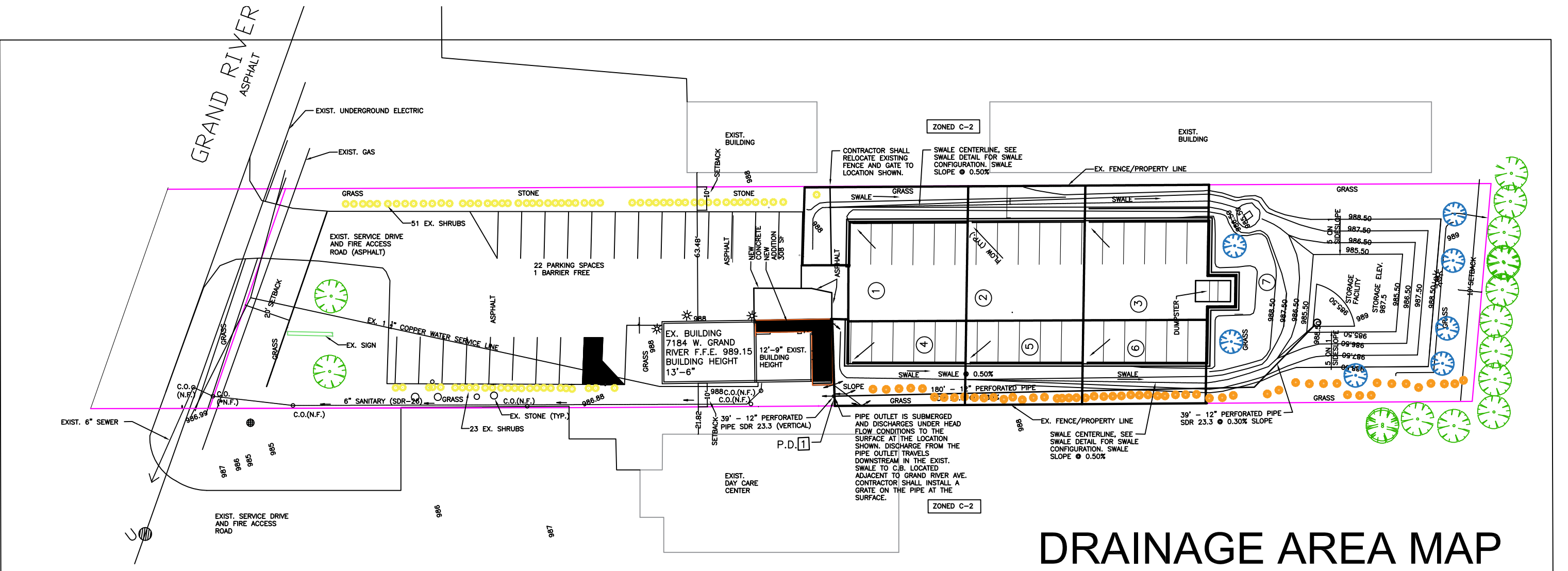
PROPOSED DIMENSION PLAN

SCALE: 1" = 20'



DUMPSTER ENCLOSURE

SCALE: N.T.S.



DRAINAGE AREA MAP

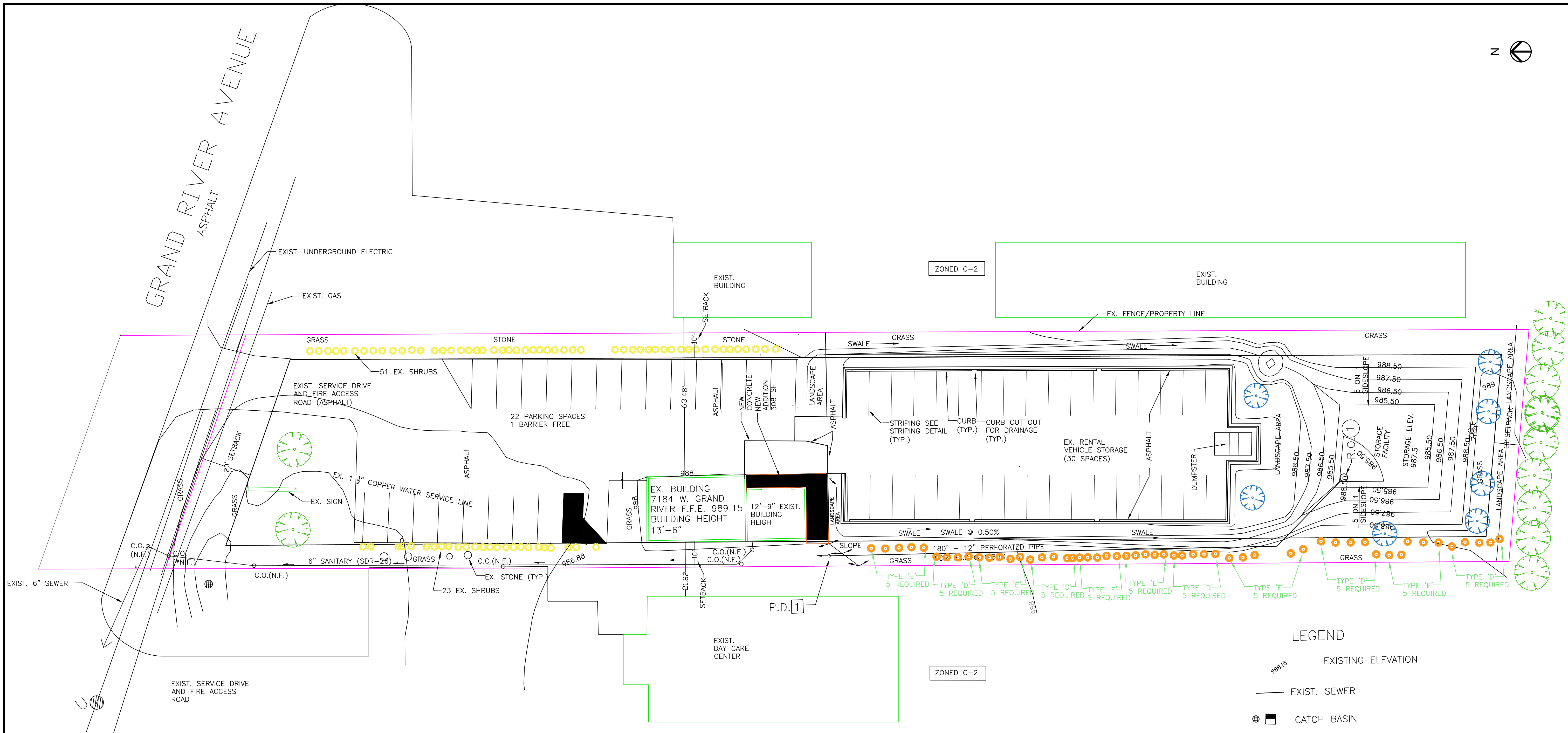
N.T.S.



| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| Review comments | | |
| Date: | 4/3/19 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | 2018121 | |
| Sheet | | |

SHEET TITLE

**PROPOSED
PLANTING PLAN**



EXIST. LANDSCAPE SCHEDULE

| ITEM | QUANTITY |
|--------|----------|
| SHRUBS | 74 |
| TREES | 2 |

NOTE: EXISTING LANDSCAPE SCHEDULE ONLY
INCLUDES EXISTING LANDSCAPING

NEW LANDSCAPE SCHEDULE

| KEY | QUANTITY | COMMON NAME | SIZE | ROOTS |
|-----|----------|-------------------------|-----------|-------|
| 'A' | 3 | WARD YEW | 18" - 24" | CAN |
| 'B' | 3 | ROBEY GLOW BARBERRY | 18" - 24" | CAN |
| 'C' | 3 | SNOFOZAM WEEPING CHERRY | 2 1/2" | B & B |
| 'D' | 25 | TECHNY ARBORVITAE | 6' HEIGHT | B & B |
| 'E' | 30 | ALBERTA DWARF SPRUCE | 6' HEIGHT | B & B |

NOTE: NEW LANDSCAPE SCHEDULE ONLY INCLUDES
NEW LANDSCAPING

PROPOSED PLANTING PLAN

SCALE: 1" = 20'

LEGEND

- 988.15 EXISTING ELEVATION
- EXIST. SEWER
- ⊗ CATCH BASIN
- ⊙ MANHOLE
- ⊕ UTILITY POLE
- ⊕ HYDRANT
- 🌳 NEW TREE
- 🌱 NEW SHRUB
- (N.F.) NOT FOUND
- SIGN
- ⊙ R.O. 1 RISER OUTLET
- P.D. 1 PIPE DISCHARGE
- FLOW DIRECTION
- 🌳 EXIST. TREE
- 🌱 EXIST. SHRUB



440 BURROUGHS ST.
SUITE 605
DETROIT, MI 48202
Phone: (313) 961-5170
Fax: (800) 451-2165

OWNER
ENTERPRISE
RENTAL CAR

PROJECT
GARAGE
EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48234



| BY | REVISIONS | DATE |
|-----------------|-----------|---------|
| | RESUBMIT | 5/21/19 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| Review comments | | |
| Date: | 4/3/19 | |
| Scale: | AS NOTED | |
| Drawn: | ARB | |
| Job: | | |
| Sheet: | | |

SHEET TITLE
ELECTRICAL
PLANS

E1.0

SITE LIGHTING NOTE:

ONE EXISTING SITE LIGHTING POLE WITH 2 FIXTURES.
NO NEW LIGHTING POLES REQUIRED.

TWO EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ON THE REAR OF THE BUILDING TO ILLUMINATE THE RENTAL CAR STORAGE VEHICLE PARKING AREA.

THREE EXISTING BUILDING MOUNTED WALL PACKS ARE PROVIDED ADJACENT TO EACH PEDESTRIAN DOORS AND ONE ON THE FRONT OF BUILD, ALL 250 WATT METAL HALIDE WITH DIRECTIONAL SHIELD LENSES TO PREVENT SPREAD OF LIGHT OFFSITE.

CONSTRUCTION NOTES:

CONTRACTOR SHALL VERIFY ALL DIMENSION PRIOR TO COMMENCING ANY WORK OR ORDERING ANY COMPONENTS.

PROVIDE FRP BOARD ON 5/8" DUROCK ON 5/8" WATERBOARD AT ALL NEW WALLS AT CAR PREP BAY FROM FINISH FLOOR UP TO 8'-0" (SEE DETAIL THIS SHEET)

ELECTRICAL WORK
CONTRACTOR SHALL INSTALL ALL ELECTRICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING CONDUIT, FIXTURES, LIGHTING, WIRING, POWER SWITCHES, DEVICES, ECT. FROM CEILINGS AND WALLS FOR NEW ELECTRICAL WORK. CONTRACTOR TO REWORK NEW DISTRIBUTION TO EXISTING DISTRIBUTION CIRCUITS FROM MAIN DISTRIBUTION PANEL IN AREAS OF RENOVATION TO BE REWORKED AND REDEVELOPED FOR NEW ELECTRICAL DEMANDS.

CONTRACTOR TO REPAIR ALL DISTURBED FINISHES DUE TO NEW CONSTRUCTION WORK TO CONFORM TO NEW LAYOUT.

CONTRACTOR TO INSTALL ELECTRIC METER AT LOCATION SHOWN ON THE PLANS.

CONTRACTOR SHALL PROVIDE TEMPORARY POWER AS NEEDED FOR THE REMOVAL OF THE EXISTING ELECTRIC METER AND COMPONENTS.

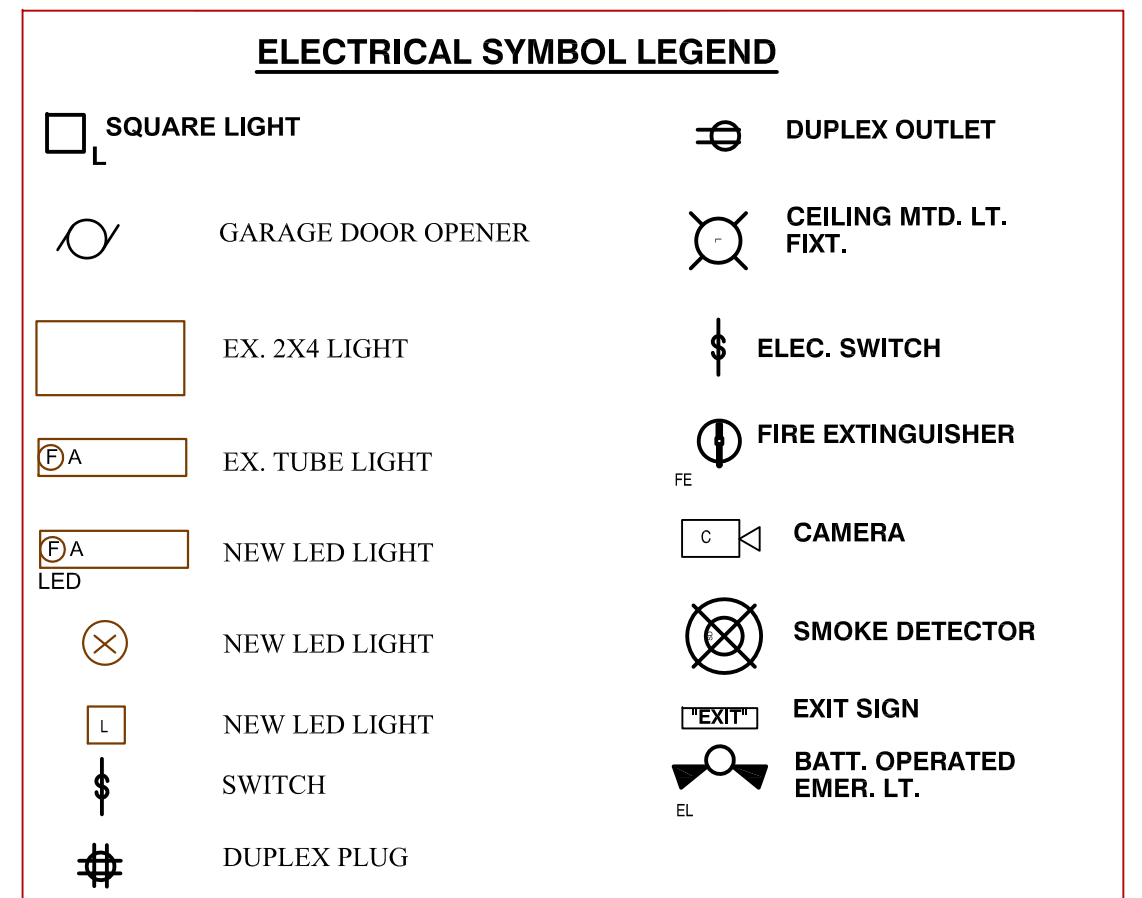
CONTRACTOR SHALL INSTALL PHONE BOX AND LINES AT THE LOCATION SHOWN ON THE PLANS.

CONTRACTOR SHALL PROVIDE TEMPORARY PHONE SERVICE AS NEEDED DURING THE REMOVAL OF THE EXISTING PHONE LINES. REVIEW ALL DEMOLITION WORK WITH OWNER OR ARCHITECT BEFORE STARTING WORK.

CONTRACTOR SHALL EXERCISE CARE NOT TO DAMAGE ITEMS BEING REMOVED AND STORED FOR INSTALLATION IN THE NEW GARAGE ADDITION. CONTRACTOR SHALL REMOVE AND STORE THE FOLLOWING ITEMS FOR RE-INSTALLATION IN THE NEW GARAGE ADDITION: GARAGE DOOR OPENER, SOAP TANK, POWER WASHER, VACUUM, EXHAUST FAN, LIGHT, LIGHTS ON REAR EXTERIOR OF BUILDING, CARBON MONOXIDE DETECTOR, EXIT SIGN, GARAGE DOOR OPENER BUTTON, SENSORS, ELECTRIC METER, PHONE BOX, ECT.

REMOVE ALL EXISTING ELECTRICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING CONDUIT, FIXTURES, LIGHTING, WIRING, POWER SWITCHES, DEVICES, ECT. FROM CEILINGS AND WALLS TO CLEAR AREAS FOR NEW ELECTRICAL WORK. EXISTING DISTRIBUTION CIRCUITS FROM MAIN DISTRIBUTION PANEL IN AREAS OF RENOVATION TO BE REWORKED AND REDEVELOPED FOR NEW ELECTRICAL DEMANDS.

REVIEW ALL DEMOLITION WORK WITH OWNER OR ARCHITECT BEFORE STARTING WORK.



ALL WORK AND MATERIALS SHALL CONFORM TO THE 2015 ELECTRICAL CODES AND BE INSTALLED PER GENOA TOWNSHIP AND LIVINGSTON COUNTY CODES AND STANDARDS.

CONTRACTOR SHALL PROPERLY GROUND ALL ELECTRICAL EQUIPMENT AND COMPONENTS.

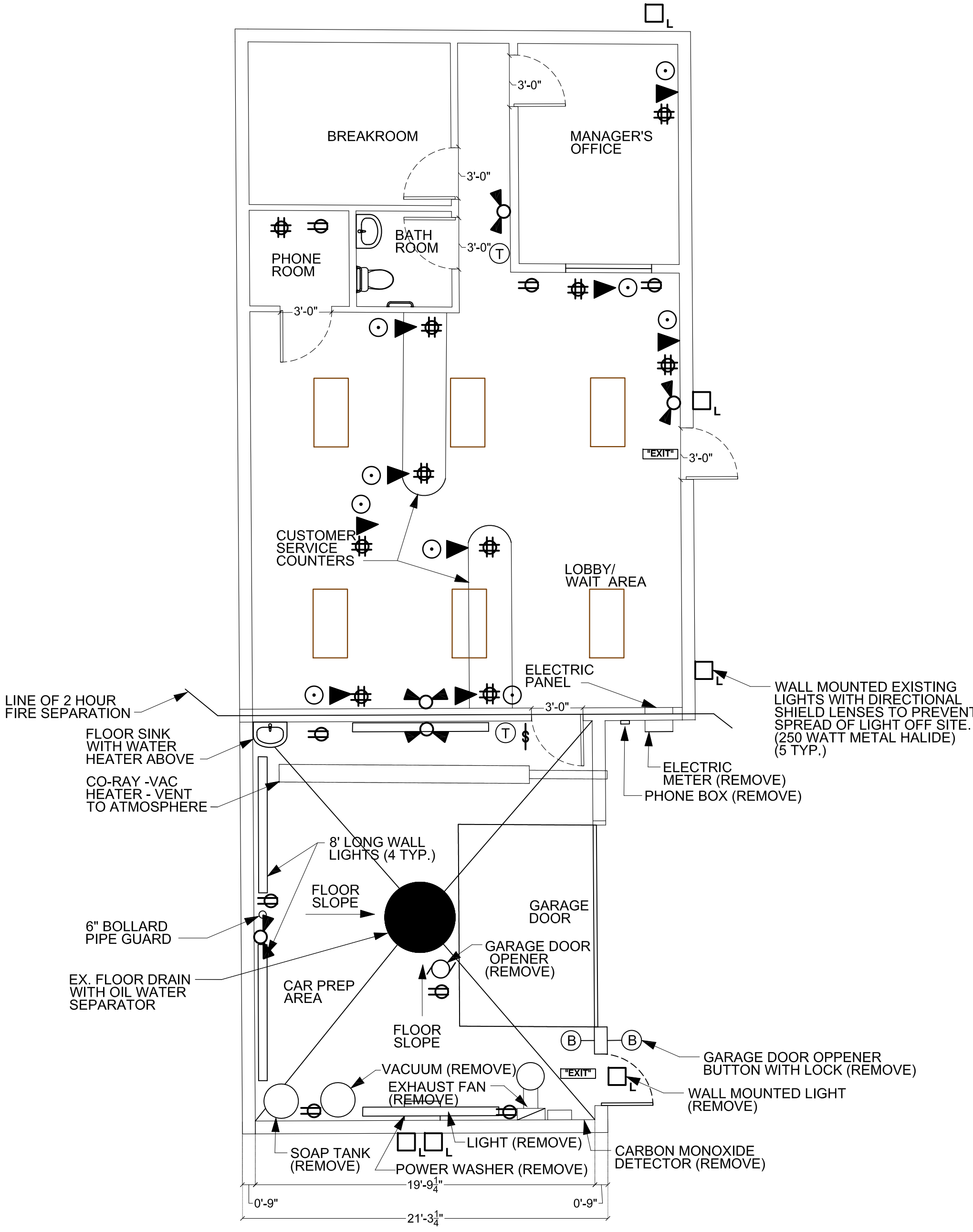
ALL POWER WIRE SIZES AND CONDUIT SIZES TO BE DETERMINED BY THE ELECTRICAL CONTRACTOR.

ALL SECURITY DEVICES, CONTROLS AND LOW VOLTAGE WIRING BY CONTRACTOR.

CONTRACTOR SHALL REVIEW EXISTING CONDITIONS FOR PROPER CLEARANCE FOR LIGHTING FIXTURE AND COMPONENT PLACEMENT.

CONTRACTOR TO PROVIDE ALL FINAL CONNECTIONS AND HOOK-UPS ON ALL VOLTAGE OF 110 OR GREATER.

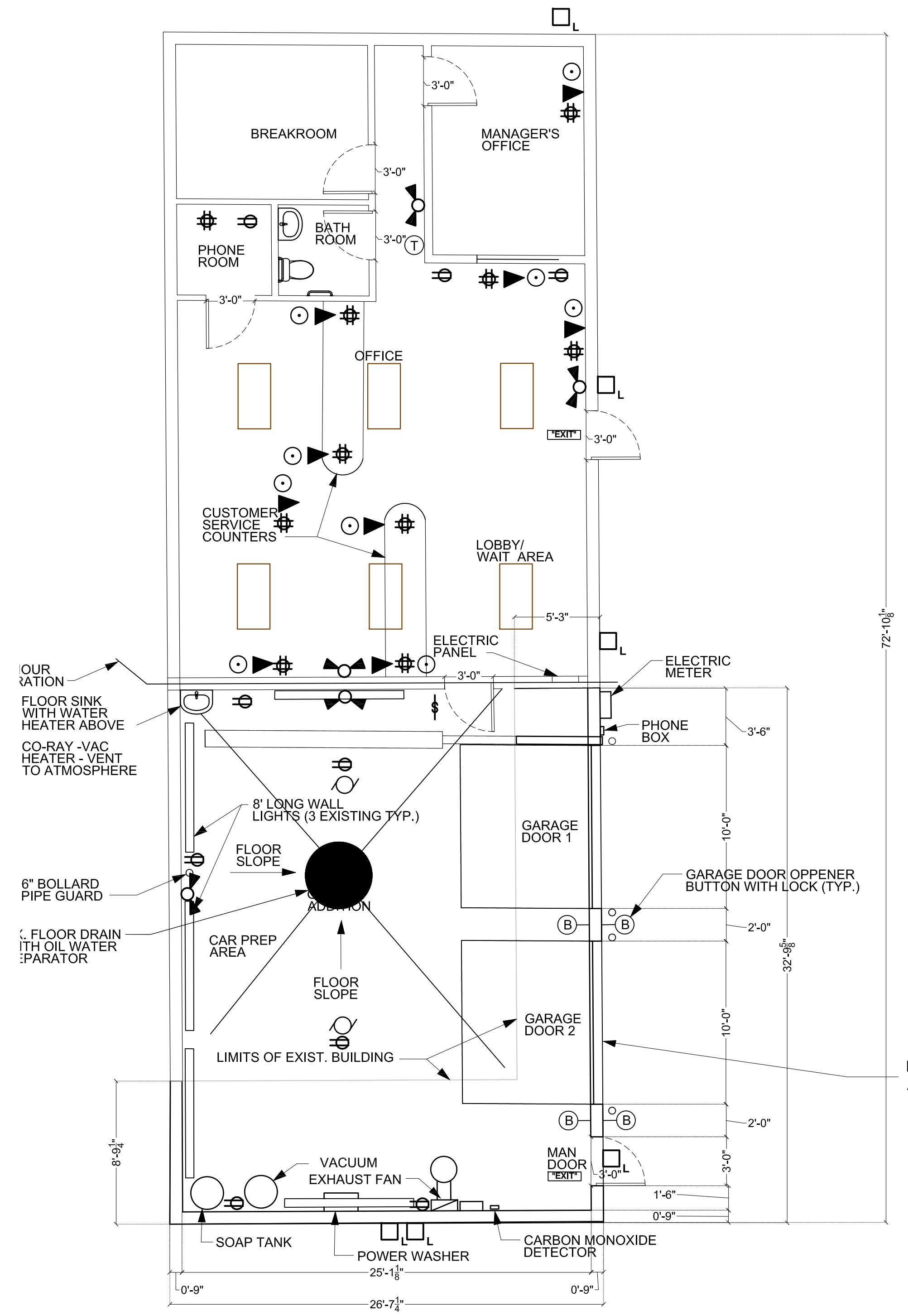
ELECTRICAL CONTRACTOR SHALL BALANCE ALL EXISTING LEGS OF THE EXISTING ELECTRICAL PANEL AND LABEL ALL CIRCUITS.



NOTE:
VERIFY ALL DIMENSIONS IN FIELD.

EXISTING LIGHTING PLAN

SCALE: 3/16" = 1'-0"



PROPOSED LIGHTING PLAN

SCALE: 3/16" = 1'-0"



440 BURROUGHS ST.
SUITE 605
DETROIT, MI 48202
Phone: (313) 961-5170
Fax: (800) 451-2165

OWNER
ENTERPRISE
RENTAL CAR

PROJECT
GARAGE
EXPANSION
7184 GRAND RIVER
BRIGHTON, MI
48234



| NO. | REVISIONS | DATE |
|-----|-----------|---------|
| 1 | RESUBMIT | 5/21/19 |

| | |
|--------|----------|
| Date: | 4/3/19 |
| Scale: | AS NOTED |
| Drawn: | ARB |
| Job: | |
| Sheet: | |

SHEET TITLE
MECHANICAL PLANS

M1.0

CONTRACTOR SHALL REMOVE AND STORE THE BACKFLOW PREVENTOR CONNECTED TO THE POWER WASHER. CONTRACTOR SHALL REINSTALL THE BACKFLOW PREVENTOR IN THE NEW GARAGE ADDITION.

CONTRACTOR SHALL INSTALL BACKFLOW PREVENTOR IN ACCORDANCE WITH GENOA TOWNSHIP AND LIVINGSTON COUNTY CODES AND STANDARDS.

CONSTRUCTION NOTES:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY COMPONENTS.

MECHANICAL WORK
REMOVE ALL EXISTING MECHANICAL WORK TO CONFORM TO NEW LAYOUT INCLUDING PIPING, PLUMBING, FIXTURES, ABANDONED DUCT WORK, DEVICES, CONTROLS, ECT. TO CLEAR AREAS FOR NEW MECHANICAL WORK. CAP AND ABANDON ALL PLUMBING FOR NEW LAYOUT.

CONTRACTOR TO REPAIR ALL DISTURBED FINISHES DUE TO NEW CONSTRUCTION WORK TO CONFORM TO NEW LAYOUT.

CONTRACTOR TO INSTALL EQUIPMENT AT THE LOCATIONS SHOWN ON PLANS. CONTRACTOR SHALL CONNECT ALL PLUMBING, VENTS, DRAINS, ECT. FOR PROPER OPERATION OF EQUIPMENT IN ACCORDANCE WITH GENOA TOWNSHIP AND LIVINGSTON COUNTY CODES AND STANDARDS.

REWORK AND EXTEND EXISTING HOT AND COLD WATER, WASTE LINE AND VENTS FOR NEW PLUMBING FIXTURE LAYOUT. CAP ALL ABANDONED PLUMBING BEHIND OR BELOW ALL NEW OR EXISTING FINISHES.

ALL COPPER WATER LINES ABOVE FLOOR.

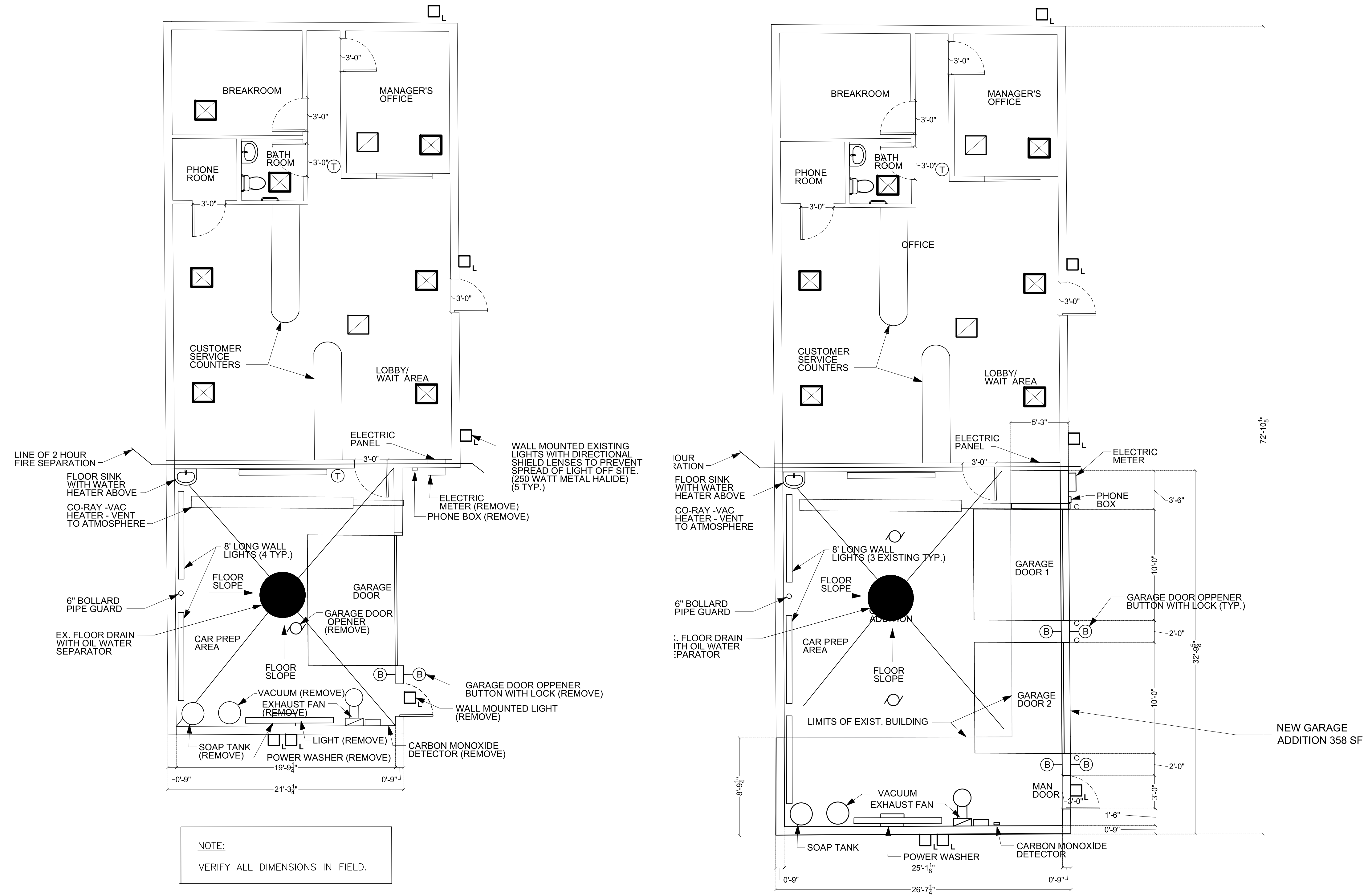
PLUMBING DRAIN LINES TO BE PVC UNDER FLOOR, CAST IRON OR COPPER ABOVE FLOOR.

REVIEW ALL DEMOLITION WORK WITH OWNER OR ARCHITECT BEFORE STARTING WORK.

MECHANICAL SYMBOL LEGEND

| | |
|--|------------------|
| | SUPPLY GRILL |
| | RETURN AIR GRILL |
| | EXHAUST FAN |
| | THERMOSTAT |
| | GAS METER |
| | LOUVER |
| | CO SENSOR |
| | NO2 SENSOR |

CONTRACTOR SHALL EXERCISE CARE NOT TO DAMAGE ITEMS BEING REMOVED AND STORED FOR INSTALLATION IN THE NEW GARAGE ADDITION. CONTRACTOR SHALL REMOVE AND STORE THE FOLLOWING ITEMS FOR RE-INSTALLATION IN THE NEW GARAGE ADDITION: GARAGE DOOR OPENER, SOAP TANK, POWER WASHER, VACUUM, EXHAUST FAN, LIGHT, LIGHTS \ON REAR EXTERIOR OF BUILDING, CARBON MONOXIDE DETECTOR, EXIT SIGN, GARAGE DOOR OPENER BUTTON, SENSORS, ELECTRIC METER, PHONE BOX, ECT.



NOTE:
VERIFY ALL DIMENSIONS IN FIELD.

EXISTING MECHANICAL PLAN

SCALE: 3/16" = 1'-0"

PROPOSED MECHANICAL PLAN

SCALE: 3/16" = 1'-0"



GENOA CHARTER TOWNSHIP
Application for ~~Site~~ Plan Review
Sketch

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: ROBERT NOFAR / PAUL KEYSINSKI
AXIS CONSTR
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: ROBERT NOFAR, 27451 SCHOOLCRAFT, LIVONIA, MI

SITE ADDRESS: 7799 CONFERENCE CTR PARCEL #(s): _____

APPLICANT PHONE: (248) 787 6511 OWNER PHONE: (248) 787 6511

OWNER EMAIL: robertnofar@msn.com

LOCATION AND BRIEF DESCRIPTION OF SITE: EXISTING HOTEL

BRIEF STATEMENT OF PROPOSED USE: MODIFY EXTERIOR

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *[Signature]* AXIS CONSTR.

ADDRESS: 2630 BOIDFORD, HAMTRAMCK, MI

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) BILL JARRATT of JARRATT ARCH at _____
Name Business Affiliation E-mail Address

bill@jarratt
ARCHITECTURE.COM

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 6-10-19

PRINT NAME: Paul E. Krysiak PHONE: 248 521 4454

ADDRESS: 2630 Botsford Hamtramck, MI



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 13, 2019

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Courtyard Marriott
7799 Conference Center
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on June 12, 2019, and the drawings are dated May 3, 2019. The project is based on an existing 48,831 square foot R-1 Hotel that will undergo a re-branding of the exterior to include a new facade, finishes, exit canopies, and a new porte-cochere. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. All access drives throughout the site and curb lines immediately to the structure shall be maintained free of obstructions. This includes vehicles, dumpster, construction materials, and equipment.
2. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **IFC 505.1**
3. The new porte-cochere must maintain a minimum vertical clearance of 13½ feet.
4. The location of the key box (Knox Box) shall be indicated on future submittals. The existing Knox box will likely require contact with BAFA to open for removal and relocation approval. The box shall be located adjacent to the front door of the structure. **IFC 506.1**
5. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

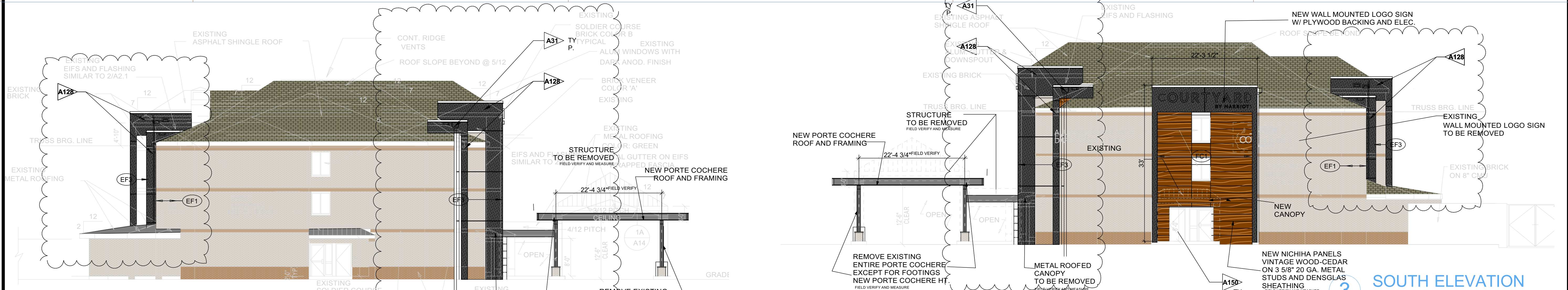
Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

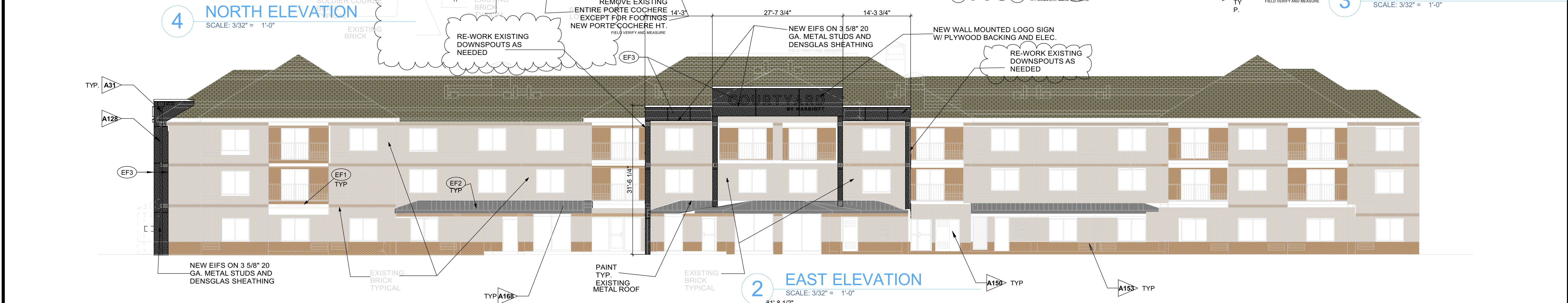
Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig

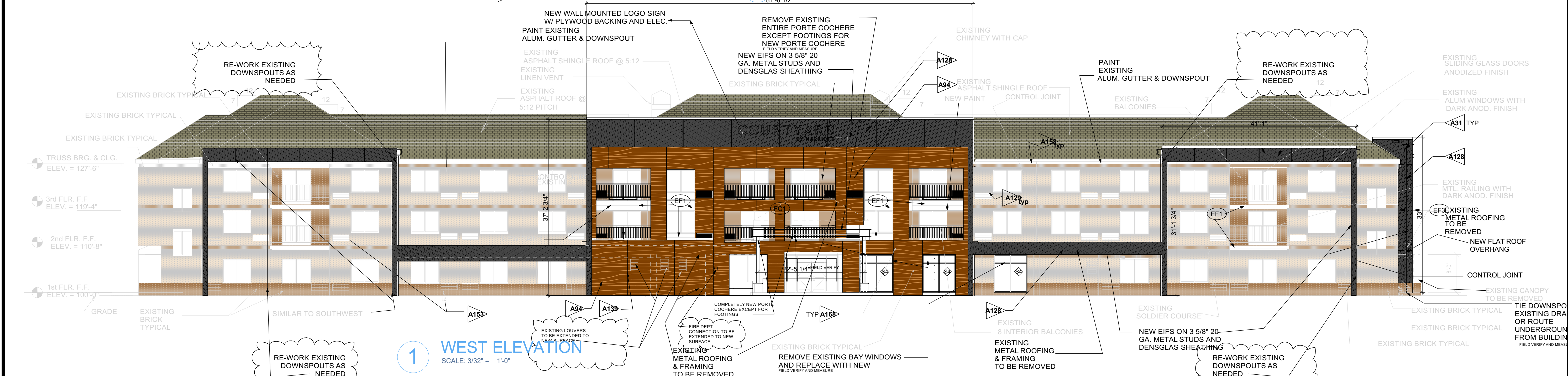
| REFERENCE NOTES | GENERAL NOTES | CRITERIA NOTES | EXTERIOR FINISH LEGEND | SYMBOLS LEGEND |
|---|---|--|--|--------------------|
| <p>A. REFER TO DESIGN STANDARDS, "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.</p> | <p>1. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.</p> <p>2. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.</p> <p>3. IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS ON CUSTOM EXTERIOR, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE</p> | <p>CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.</p> <p>A0 ARCHITECTURAL</p> <p>A31 NEW GUTTER, PAINT TO MATCH ADJACENT FINISH.</p> <p>A94 NEW NICHIIHA WALL CLADDING & SHEATHING, 1" INSULATION</p> <p>A128 NEW EIFS WALL FINISH</p> | <p>A149 PAINT EXISTING TRIM TO MATCH ADJACENT FINISH</p> <p>A150 PAINT EXISTING DOORS TO MATCH ADJACENT FINISH</p> <p>A158 EXISTING GUTTER, PAINT TO MATCH ADJACENT FINISH.</p> <p>A159 EXISTING RAILINGS, NEW PAINT TO MATCH ADJACENT FINISH.</p> <p>A168 IF PRESENT PAINT ALL STANDING SEAM ROOFS.</p> <p>EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND</p> <p>EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE</p> <p>EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE</p> <p>FC1 FIBER CEMENT 1, NICHIIHA PANEL, VINTAGEWOOD - CEDAR</p> <p>MT1 METAL, MATCH EF1 COLOR</p> <p>MT2 METAL, MATCH EF2 COLOR</p> <p>MT3 METAL, MATCH EF3 COLOR</p> <p>MT4 METAL (PORTE COCHERE)</p> <p>PNT1 SHERWIN WILLIAMS, SW 6095 - TOASTY</p> <p>PNT2 (METALIC PAINT SOFFIT - MATCH MT4)</p> <p>PNT3 (INTUMESCENT PAINT - MATCH MT4)</p> <p>NEW EIFS</p> | <p>WINDOW TYPE</p> |



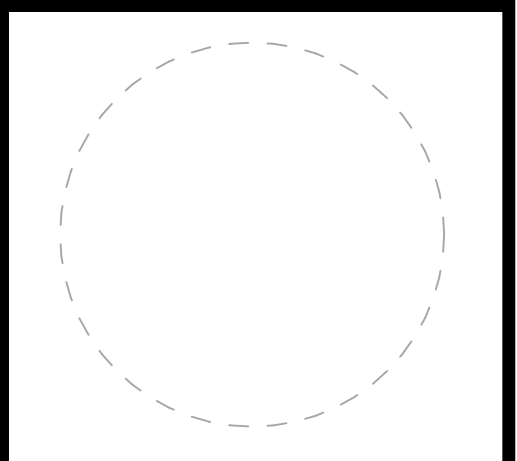
4 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Color |
| 4/5/2019 | Permit and Pricing |

NOT FOR CONSTRUCTION

SHEET TITLE
**ELEVATIONS
BRIGHTON**

A212 CYB

COURTYARD
BY MARRIOTT

Concession 12-11-17





COURTYARD
BY HOMESIDE

COURTYARD
BY HOMESIDE

COURTYARD

BY MARRIOTT



COURTYARD

BY MARRIOTT

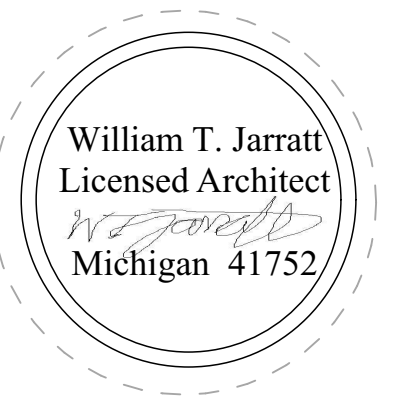
EXTERIOR RENOVATION



DRAWING INDEX

| | |
|----------|---|
| A-001B | COVER SHEET BRIGHTON |
| 100B | OVERALL EXISTING PLANS BRIGHTON |
| 101B | OVERALL PLANS BRIGHTON |
| A211 CYB | EXISTING ELEVATIONS BRIGHTON |
| A212 CYB | ELEVATIONS BRIGHTON |
| A212 | ELEVATIONS Courtyard Newark |
| 051 | OVERALL FIRST FLOOR DEMOLITION PLAN (WITH MEETING ROOM) |
| 052 | ROOF DEMOLITION PLAN |
| 053 | EXTERIOR DEMOLITION ELEVATIONS |
| 054 | EXTERIOR DEMOLITION ELEVATIONS |
| 110 | PORTE COCHERE - ENLARGED PLANS & RCP |
| 111 | PORTE COCHERE - ROOF PLAN |
| 112 | PORTE COCHERE - DETAILS |
| 115B | FRONT ENTRY FEATURE FRAME - ENLARGED PLANS - Brighton |
| 116 | FRONT ENTRY FEATURE FRAME - ENLARGED ROOF PLAN |
| 117B | FRONT ENTRY FEATURE FRAME - ENLARGED ELEVATIONS |
| 118B | FRONT ENTRY FEATURE FRAME - DETAILS BRIGHTON |
| 120B | REAR ENTRY FEATURE FRAME - ENLARGED PLANS - BRIGHTON |
| 121 | REAR ENTRY FEATURE FRAME - ENLARGED ROOF PLAN |
| 122 | REAR ENTRY FEATURE FRAME - ENLARGED ELEVATIONS |
| 123 | REAR ENTRY FEATURE FRAME - DETAILS |
| 124 | REAR ENTRY FEATURE FRAME - DETAILS |
| 125 | TYPICAL (3 BAY) FEATURE FRAME - ENLARGED PLANS & ELEVATIONS |
| 126 | TYPICAL (3 BAY) FEATURE FRAME - DETAILS |
| 127 | STARCASE FEATURE FRAME - FLOOR PLANS, RCP & ELEVATIONS |

NOTE : FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY



COURTYARD by Marriott Exterior Renovation

DTWBR
BRIGHTON, MI

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| 5/3/2019 | Permit and Pricing |
|----------|--------------------|
| Date | DESCRIPTION |

SHEET TITLE

COVER SHEET
BRIGHTON

A-001B

William T. Jarratt
Licensed Architect
Michigan 41752

COURTYARD
by
Marriott
Exterior
Renovation

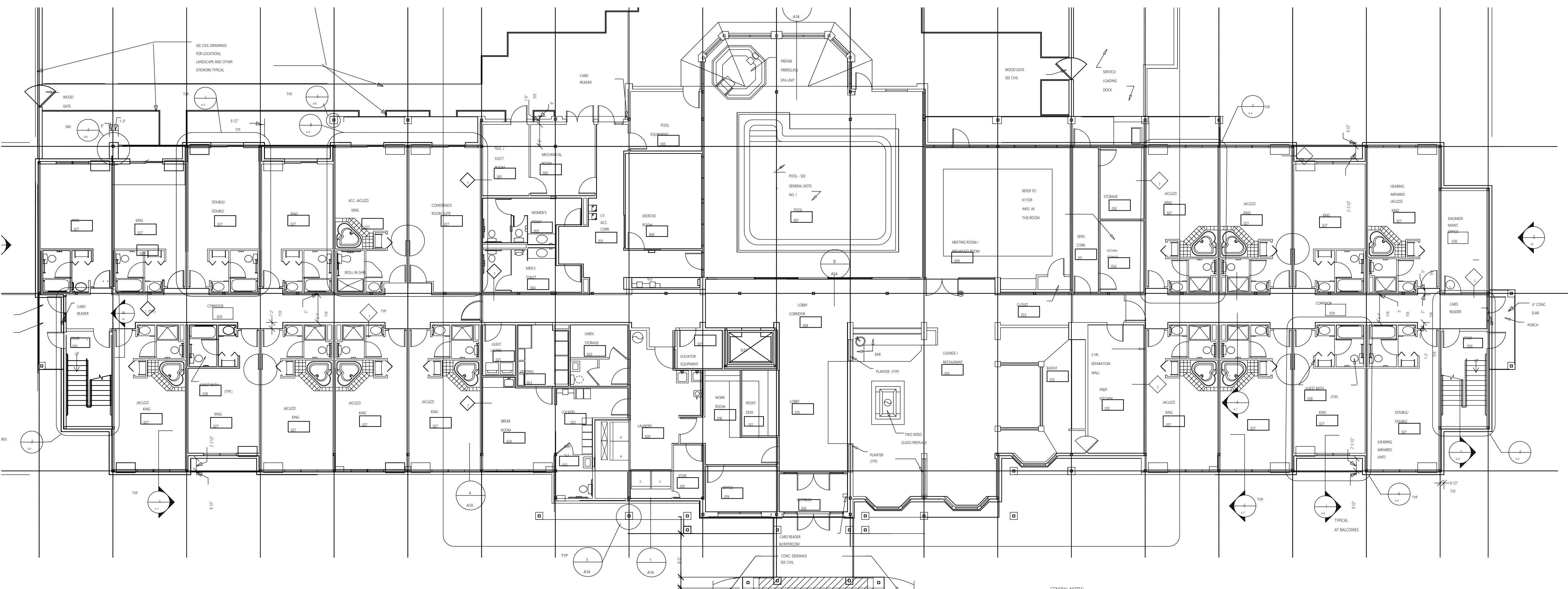
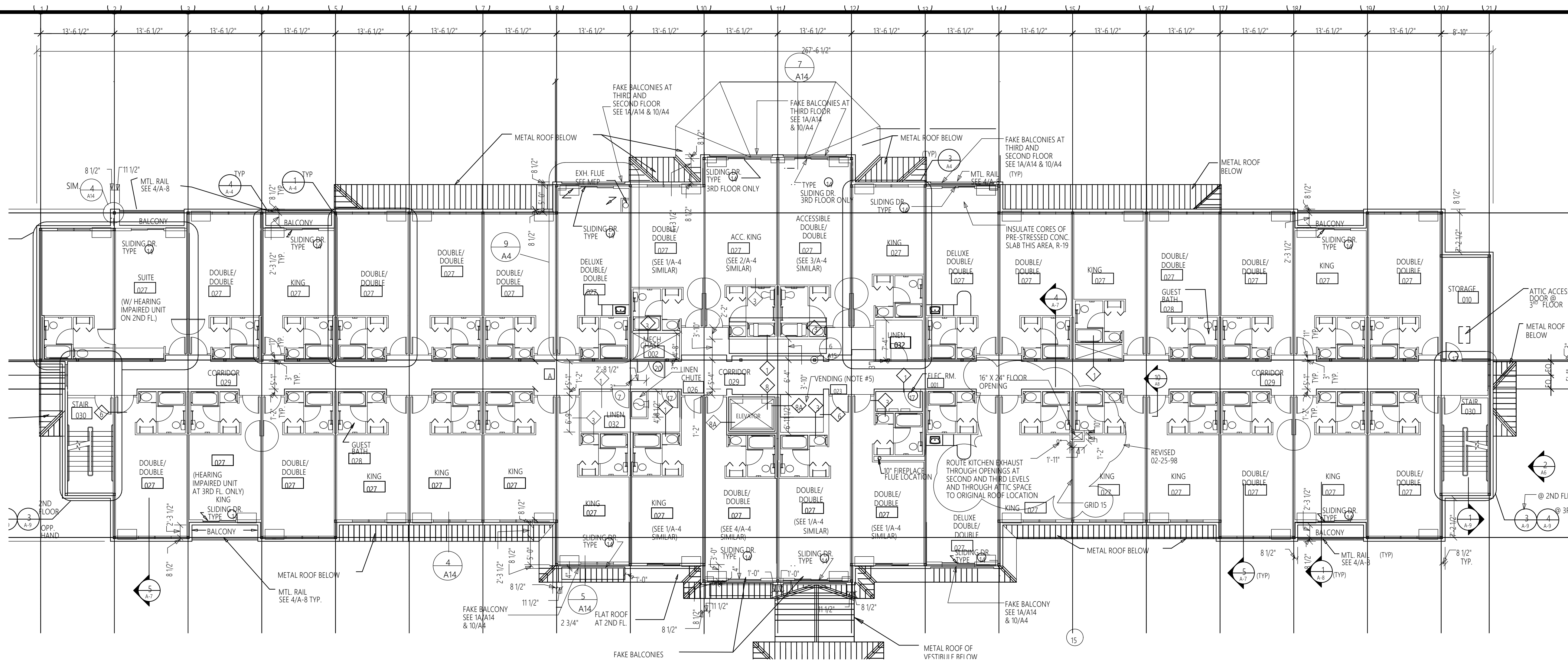
DTWBR
BRIGHTON, MI

INFORMATION IN BLACK IS NEW
WORK TYPICAL
INFORMATION IN GRAY IS
EXISTING TYPICAL

5/3/2019 Permit and Pricing
Date DESCRIPTION

SHEET TITLE
**OVERALL
EXISTING PLANS
BRIGHTON**

100B



GENERAL NOTES:



COURTYARD by Marriott Exterior Renovation

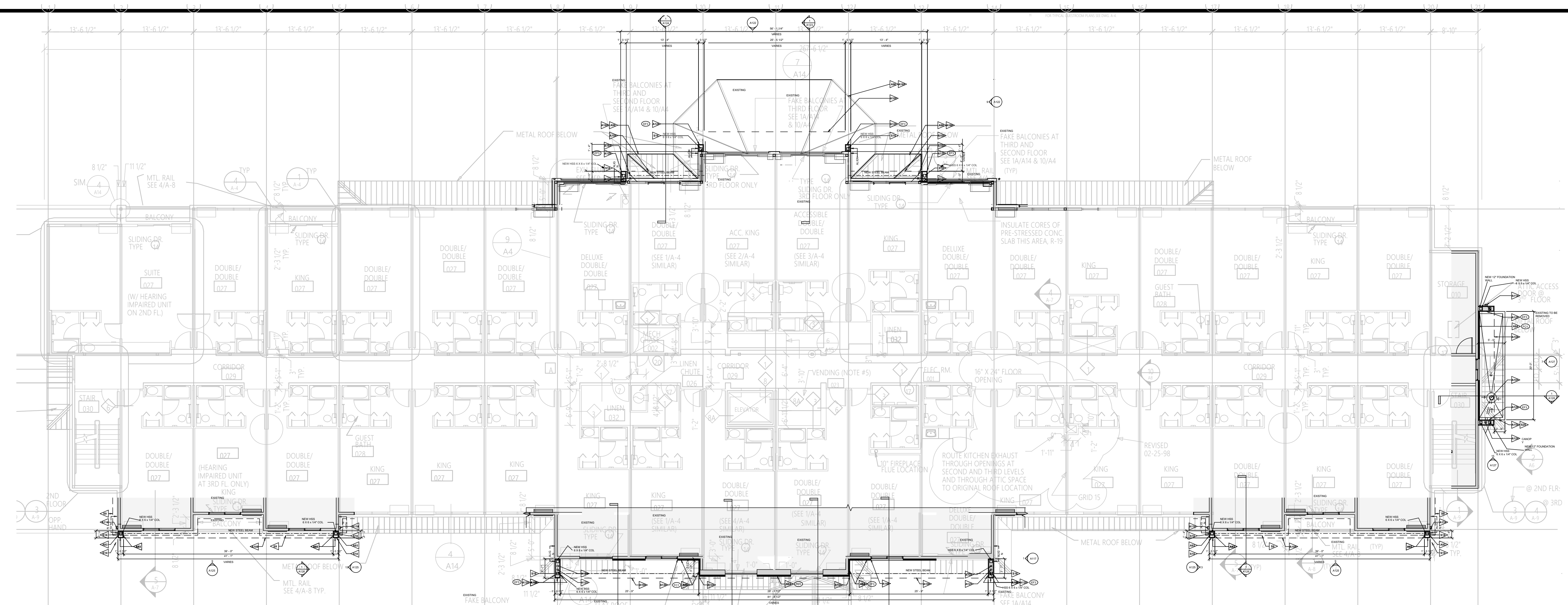
DTWBR
BRIGHTON, MI

INFORMATION IN BLACK IS NEW
WORK TYPICAL
INFORMATION IN GRAY IS
EXISTING TYPICAL

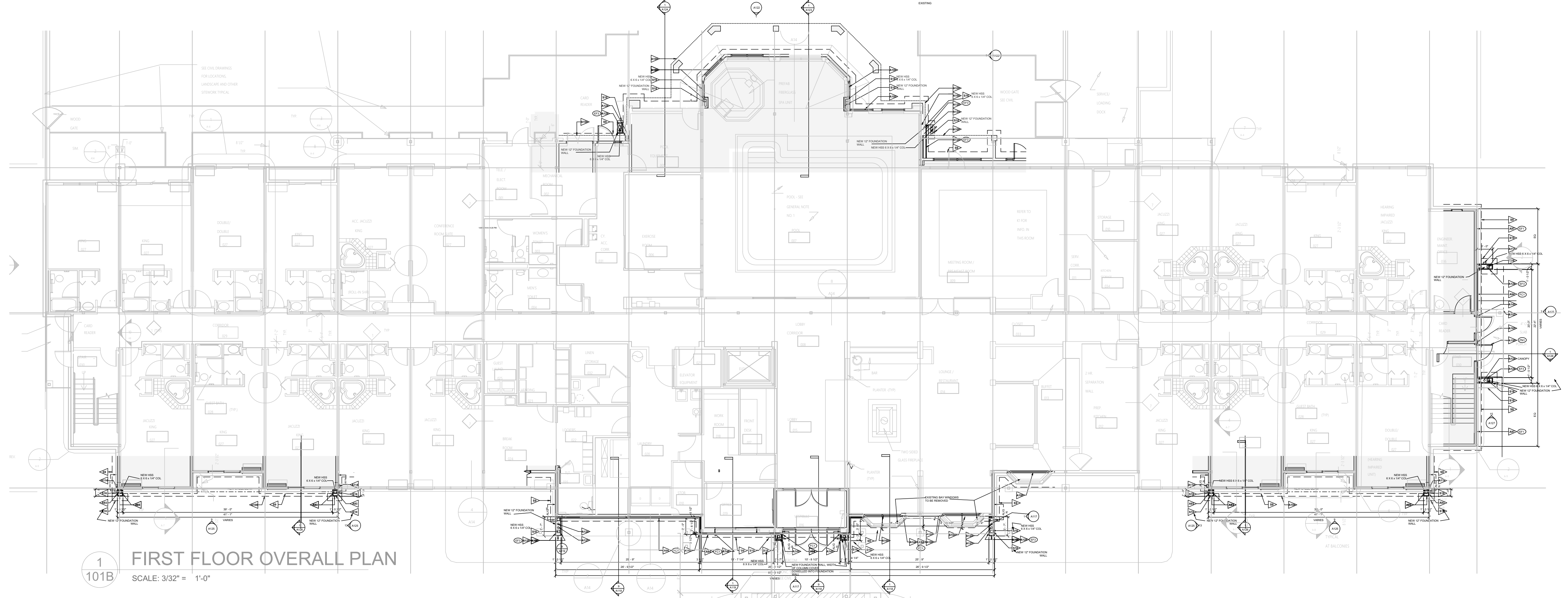
| 5/3/2019 | Permit and Pricing |
|----------|--------------------|
| Date | DESCRIPTION |

SHEET TITLE
**OVERALL PLANS
BRIGHTON**

101B

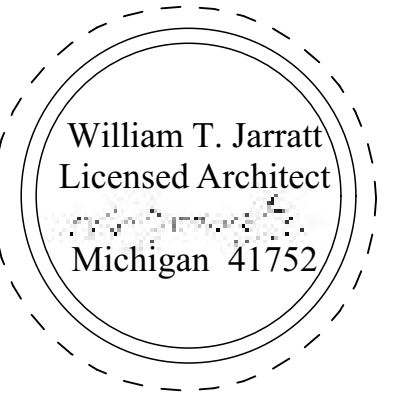


2 SECOND FLOOR OVERALL
101B SCALE: 3/32" = 1'-0"



1 FIRST FLOOR OVERALL PLAN
101B SCALE: 3/32" = 1'-0"

GENERAL NOTES:
1. REFER TO ALL OTHER SHEETS FOR COMPLETE INFORMATION.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL FIRE DEPARTMENT.
9. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
10. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ENVIRONMENTAL AGENCY.
11. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HISTORIC COMMISSION.
12. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL PLANNING COMMISSION.
13. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ZONING COMMISSION.
14. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL UTILITIES COMMISSION.
15. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL TRANSPORTATION COMMISSION.
16. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL WATER COMMISSION.
17. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL WASTE COMMISSION.
18. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AIR COMMISSION.
19. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL SOIL COMMISSION.
20. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL CLIMATE COMMISSION.



COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

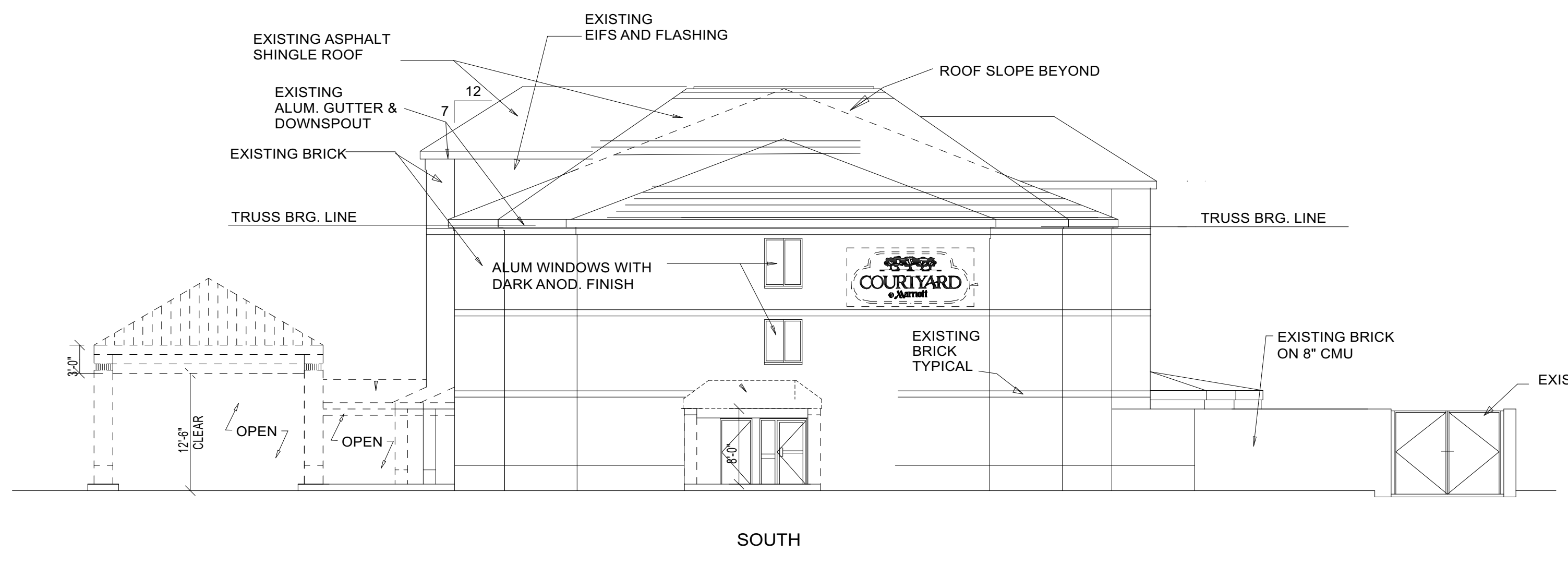
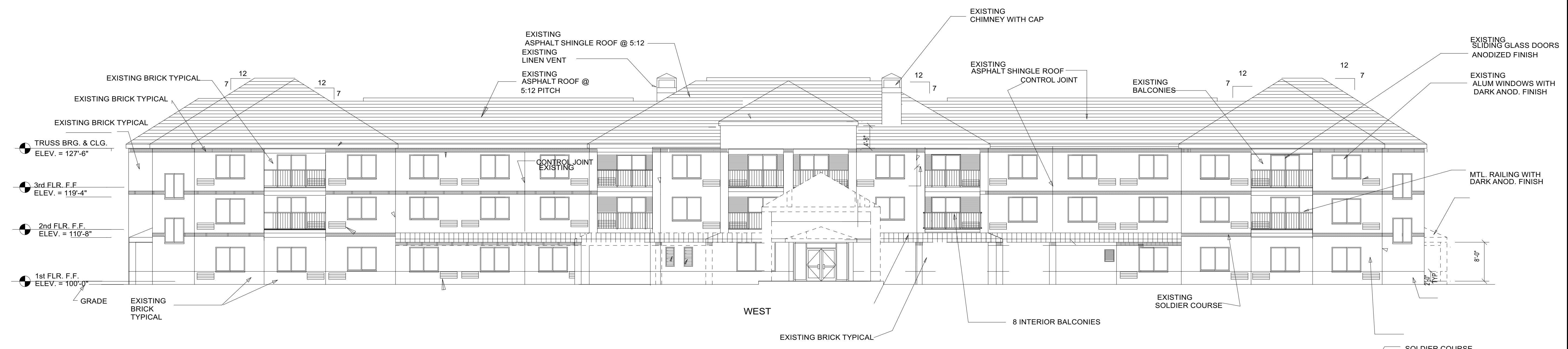
| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

SHEET TITLE
EXISTING ELEVATIONS BRIGHTON

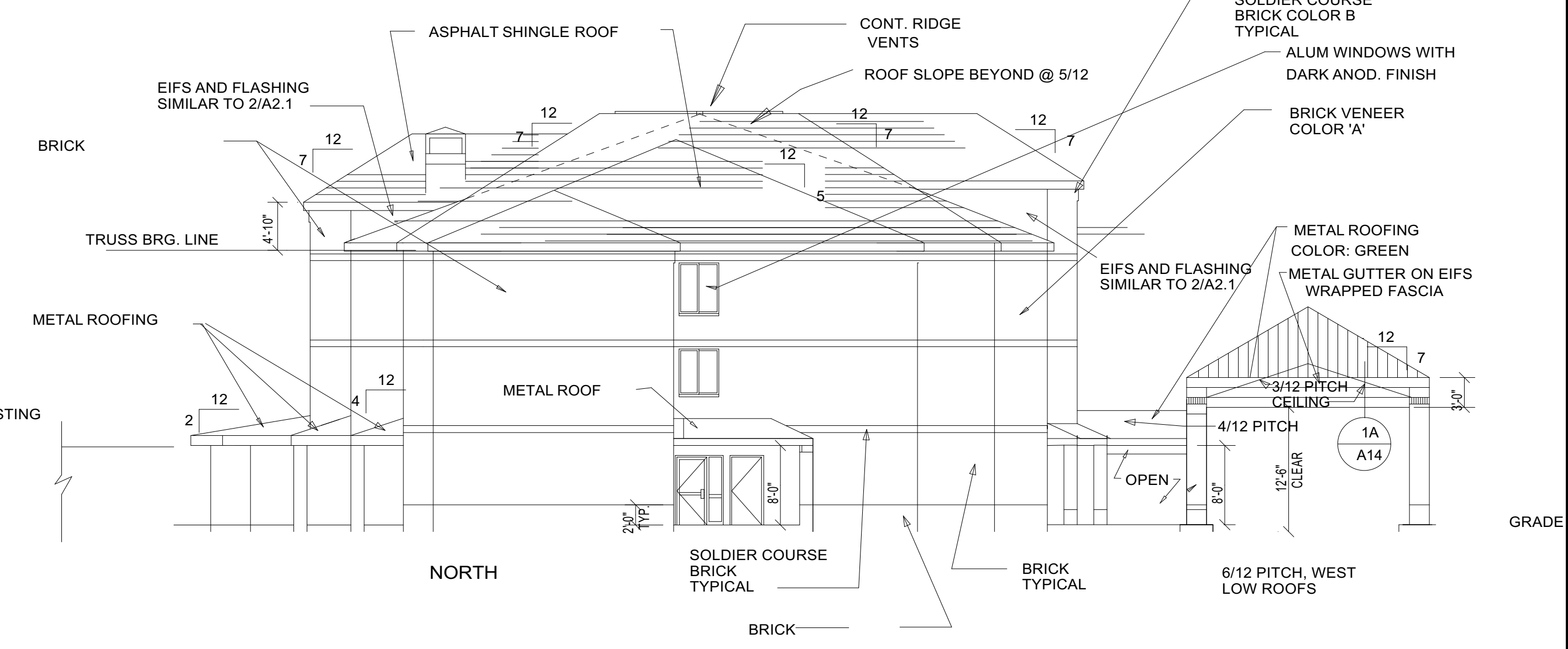
A211 CYB



EAST

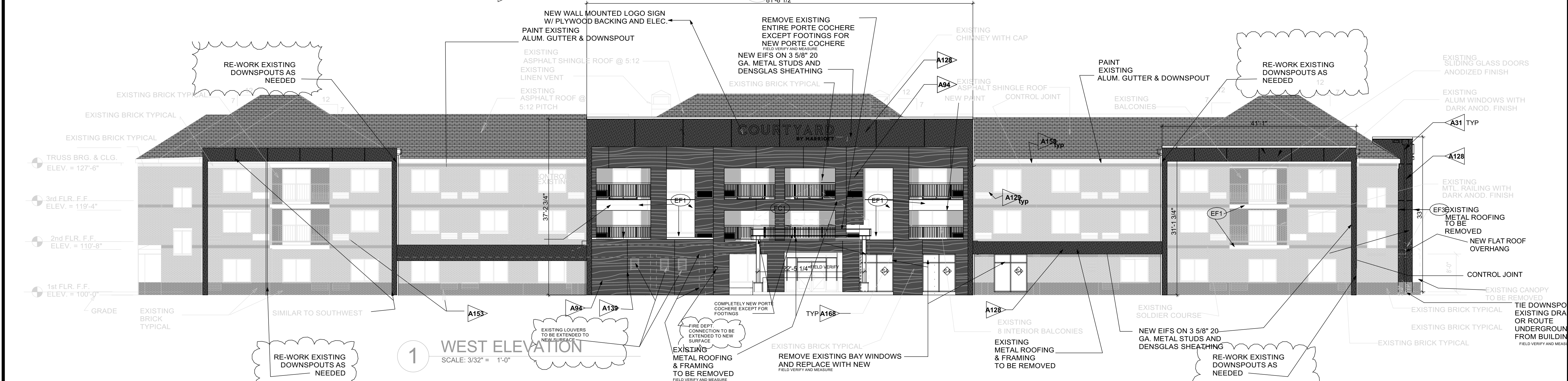
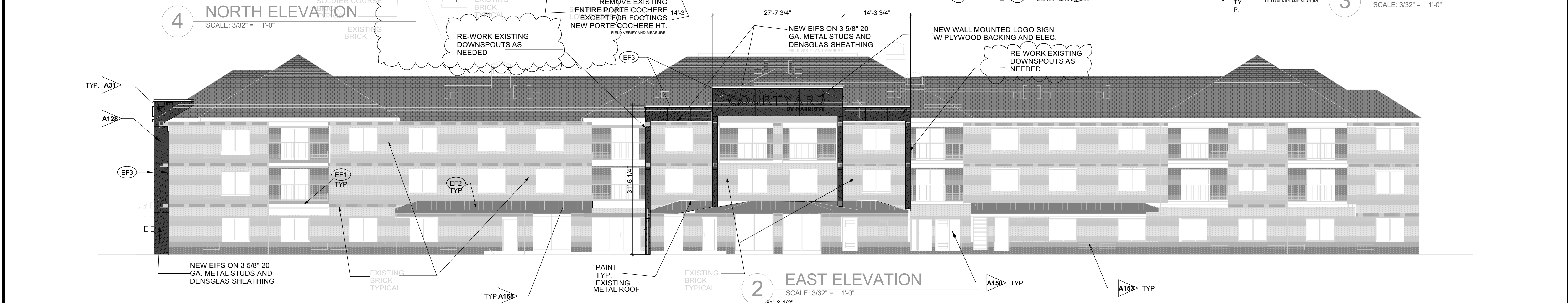
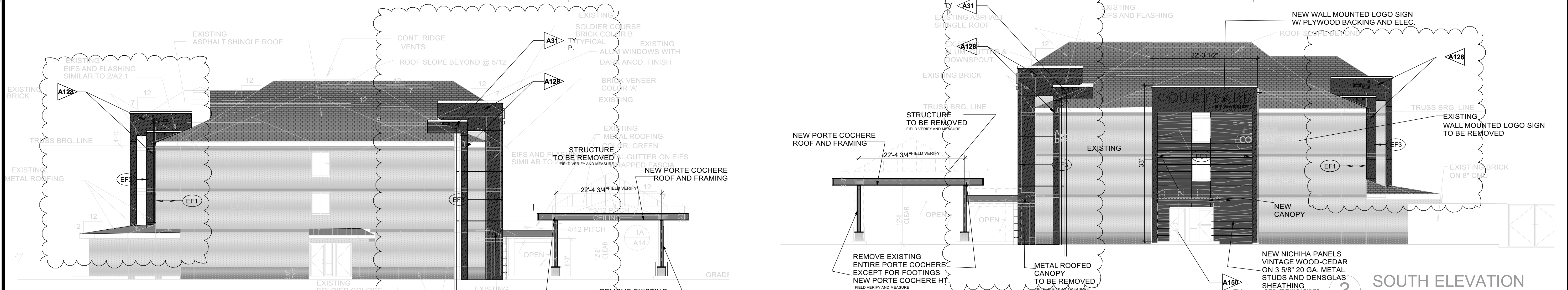


SOUTH



NORTH

| REFERENCE NOTES | GENERAL NOTES | CRITERIA NOTES | EXTERIOR FINISH LEGEND | SYMBOLS LEGEND |
|---|---|--|---|--------------------|
| <p>A. REFER TO DESIGN STANDARDS, 'SITE & BUILDING EXTERIOR' CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.</p> | <p>1. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.</p> <p>2. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.</p> <p>3. IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS ON CUSTOM EXTERIOR, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISHES THROUGHOUT THE</p> | <p>CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.</p> <p>A0 ARCHITECTURAL A31 NEW GUTTER, PAINT TO MATCH ADJACENT FINISH. A94 NEW NICHIIHA WALL CLADDING & SHEATHING, 1" INSULATION A128 NEW EIFS WALL FINISH</p> | <p>A149 PAINT EXISTING TRIM TO MATCH ADJACENT FINISH A150 PAINT EXISTING DOORS TO MATCH ADJACENT FINISH A158 EXISTING GUTTER, PAINT TO MATCH ADJACENT FINISH A159 EXISTING RAILINGS, NEW PAINT TO MATCH ADJACENT FINISH. A168 IF PRESENT PAINT ALL STANDING SEAM ROOFS.</p> <p>EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE EIFS, BENJAMIN MOORE, 1603 - GRAPHITE FIBER CEMENT 1, NICHIIHA PANEL, VINTAGEWOOD - CEDAR METAL, MATCH EF1 COLOR METAL, MATCH EF2 COLOR METAL, MATCH EF3 COLOR METAL (PORTE COCHERE) SHERWIN WILLIAMS, SW 6095 - TOASTY (METALIC PAINT SOFFIT - MATCH MT4) (INTUMESCENT PAINT - MATCH MT4) NEW EIFS</p> | <p>WINDOW TYPE</p> |

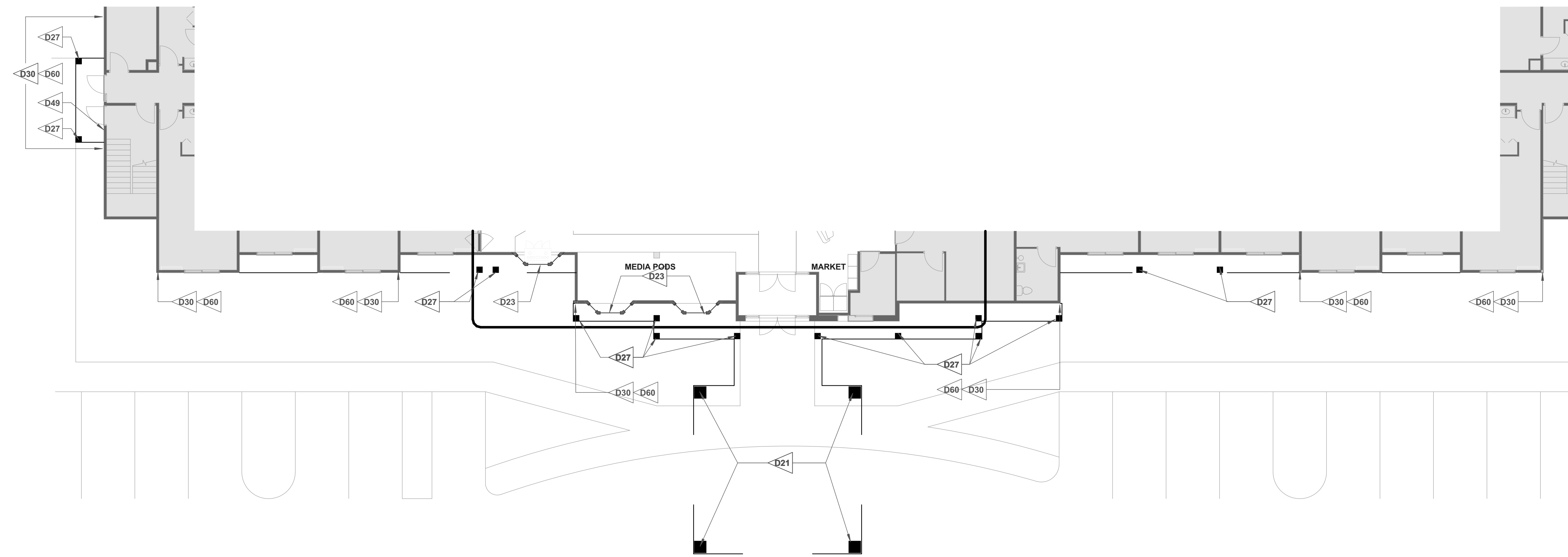
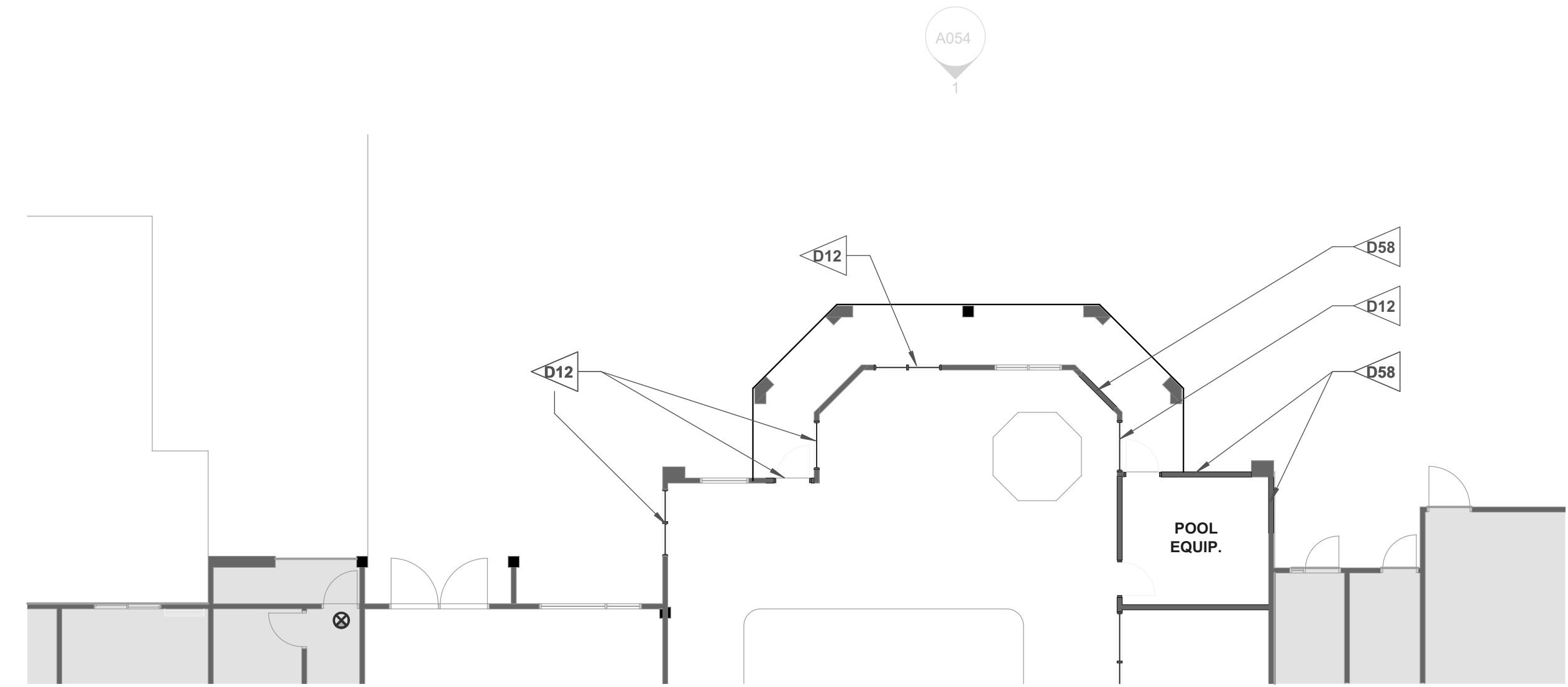


COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| | |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |
| Date | DESCRIPTION |

SHEET TITLE
**ELEVATIONS
BRIGHTON**



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

DEMOLITION NOTES

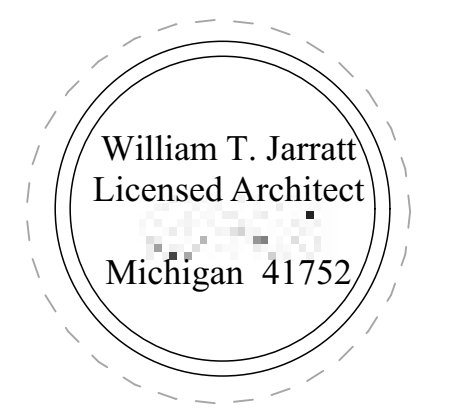
1. PREP ALL EXTERIOR SURFACES TO RECEIVE NEW PAINT.

DEMOLITION CRITERIA NOTES

CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

D0 DEM
2

- D12 REMOVE EXISTING STOREFRONT.
- D21 REMOVE PORTE COCHERE & ROOF STRUCTURE, COLUMNS AND FOOTINGS TO BE RE-USED
- D23 REMOVE BAY WINDOWS
- D27 REMOVE CANOPY & STRUCTURE.
- D30 REMOVE EIFS & SHEATHING. VERIFY STRUCTURAL INTEGRITY OF EXISTING WALL STUDS & PREPARE TO RECEIVE NEW FINISH
- D49 REMOVE KEY CARD READER IF REQUIRED FOR NEW CONSTRUCTION. VERIFY IN FIELD
- D58 REMOVE WALL & PREPARE FOR NEW STOREFRONT SYSTEM
- D60 DUE TO AGE OF BUILDING, EXISTING EIFS AND SUBSTRATE MAY NEED MORE REPLACEMENT WORK THAN SCOPE OF THE DESIGN INDICATES. PROVIDE NON-DESTRUCTIVE TESTING PRIOR TO BIDDING.



COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| | |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |
| Date | DESCRIPTION |

SHEET TITLE
OVERALL FIRST FLOOR DEMOLITION PLAN (WITH MEETING ROOM)

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

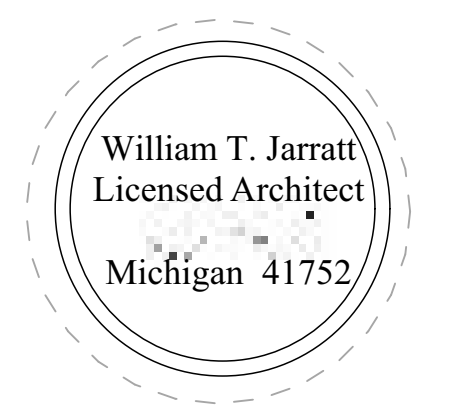
DEMOLITION NOTES

1. EXISTING ROOFING TO REMAIN UNLESS OTHERWISE NOTED.

DEMOLITION CRITERIA NOTES

- D0** DEM
- D20** REMOVE GUTTERS AND/OR FACIA TO PREPARE FOR NEW FEATURE FRAME
- D21** REMOVE PORTE COCHERE & STRUCTURE
- D27** REMOVE PORTE COCHERE & ROOF STRUCTURE. COLUMNS AND FOOTINGS TO BE RE-USED
- D28** REMOVE ROOF, ROOF TRUSSES TO PREPARE FOR NEW FEATURE FRAME.
- D29** REMOVE ROOFING MATERIAL. KEEP & PROTECT EXISTING TO REMAIN ROOF STRUCTURE & DECKING. VERIFY STRUCTURAL INTEGRITY OF EXISTING DECKING & PREPARE FOR FEATURE FRAME.
- D48** EXISTING CHIMNEY TO REMAIN

www.JarrattArchitecture.com



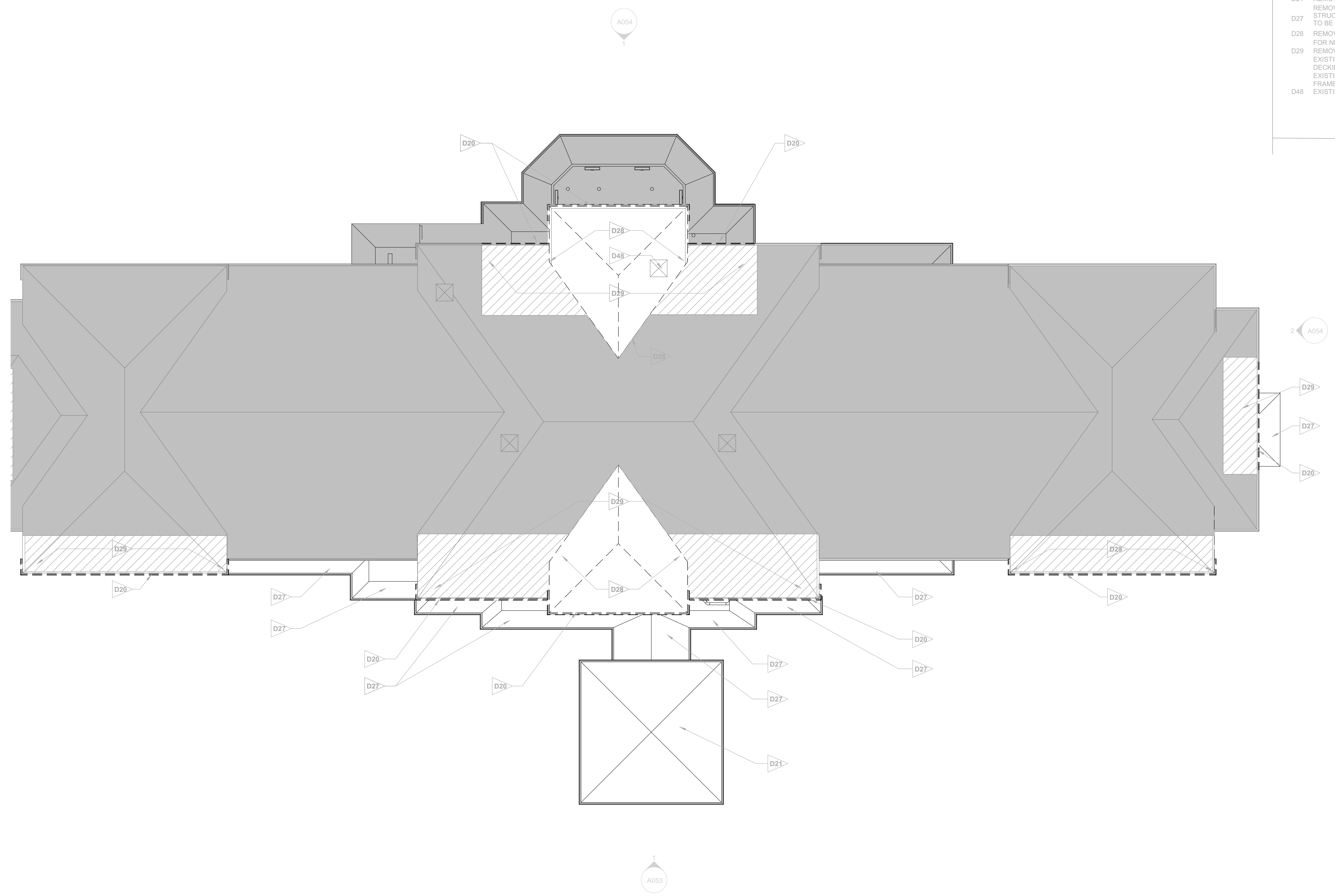
**COURTYARD
by
Marriott
Exterior
Renovation**

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| | |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |
| Date | DESCRIPTION |

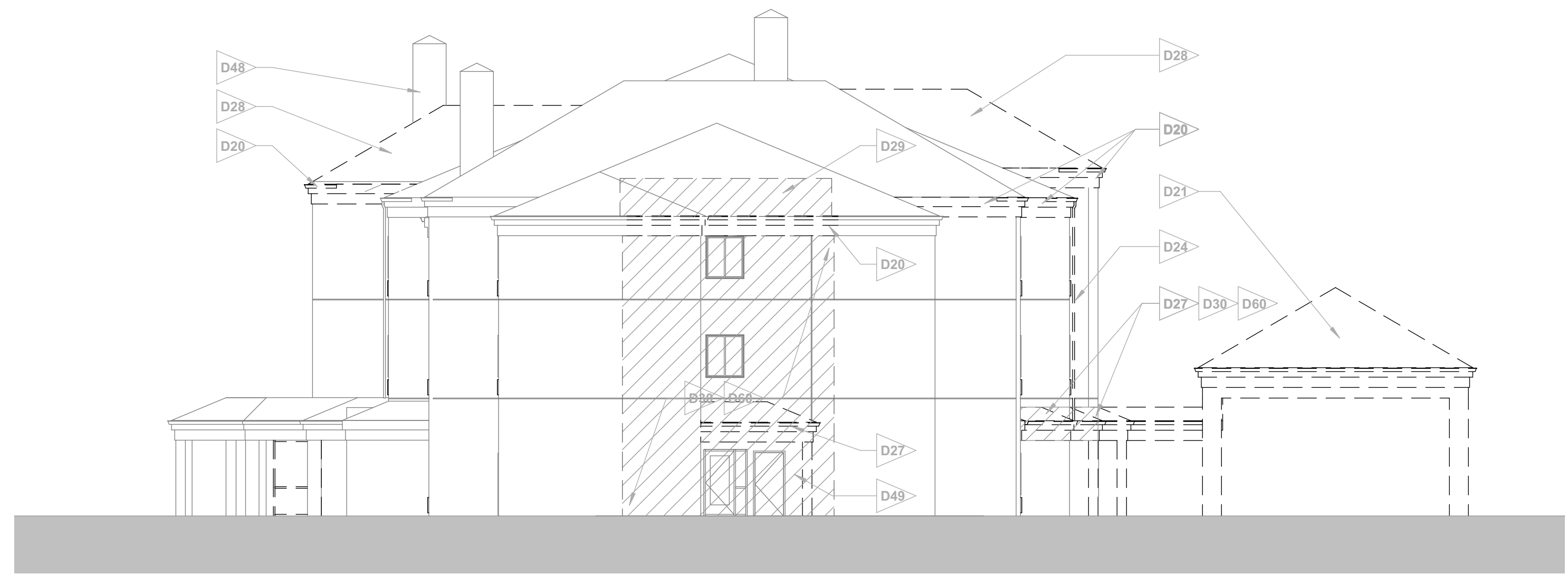
SHEET TITLE
ROOF DEMOLITION PLAN

052



1 ROOF DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY



2 DEMOLITION SIDE ELEVATION
SCALE: 3/32" = 1'-0"

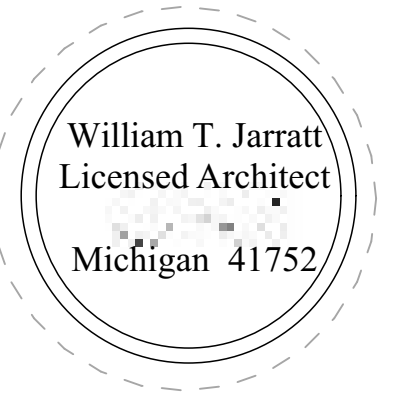
DEMOLITION NOTES

- 1. PREP ALL EXTERIOR SURFACES TO RECEIVE NEW PAINT.

DEMOLITION CRITERIA NOTES



- D20 REMOVE GUTTERS AND/OR FACIA TO PREPARE FOR NEW FEATURE FRAME
- D21 REMOVE PORTE COCHERE & ROOF STRUCTURE, COLUMNS AND FOOTINGS TO BE RE-USED
- D23 REMOVE BAY WINDOWS
- D24 REMOVE DOWN SPOUT
- D27 REMOVE CANOPY & STRUCTURE
- D28 REMOVE ROOF, ROOF TRUSSES TO PREPARE FOR NEW FEATURE FRAME
- D29 REMOVE ROOFING MATERIAL, KEEP & PROTECT EXISTING TO REMAIN ROOF STRUCTURE & DECKING. VERIFY STRUCTURAL INTEGRITY OF EXISTING DECKING & PREPARE FOR FEATURE FRAME
- D30 REMOVE EIFS & SHEATHING. VERIFY STRUCTURAL INTEGRITY OF EXISTING WALL STUDS & PREPARE TO RECEIVE NEW FINISH
- D48 EXISTING CHIMNEY TO REMAIN
- D49 REMOVE KEY CARD READER IF REQUIRED FOR NEW CONSTRUCTION. ARCHITECT TO VERIFY IN FIELD
- D50 REMOVE ALL PTAC GRILLS
- D60 DUE TO AGE OF BUILDING, EXISTING EIFS AND SUBSTRATE MAY NEED MORE REPLACEMENT WORK THAN SCOPE OF THE DESIGN INDICATES. PROVIDE NON-DESTRUCTIVE TESTING PRIOR TO BIDDING.



COURTYARD
by
Marriott
Exterior
Renovation

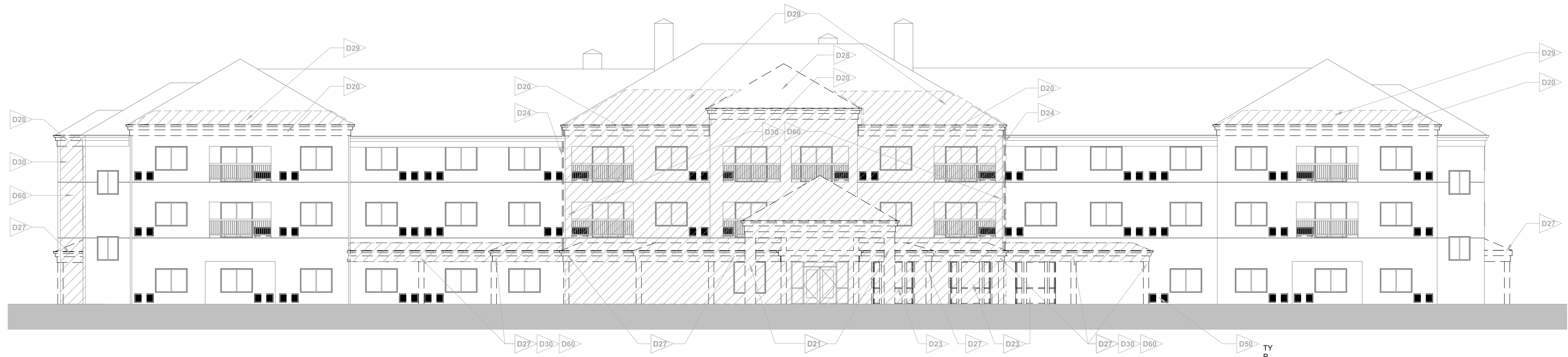
INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

5/3/2019 Permit and Pricing

Date DESCRIPTION

SHEET TITLE

**EXTERIOR
DEMOLITION
ELEVATIONS**



1 DEMOLITION FRONT ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

DEMOLITION NOTES

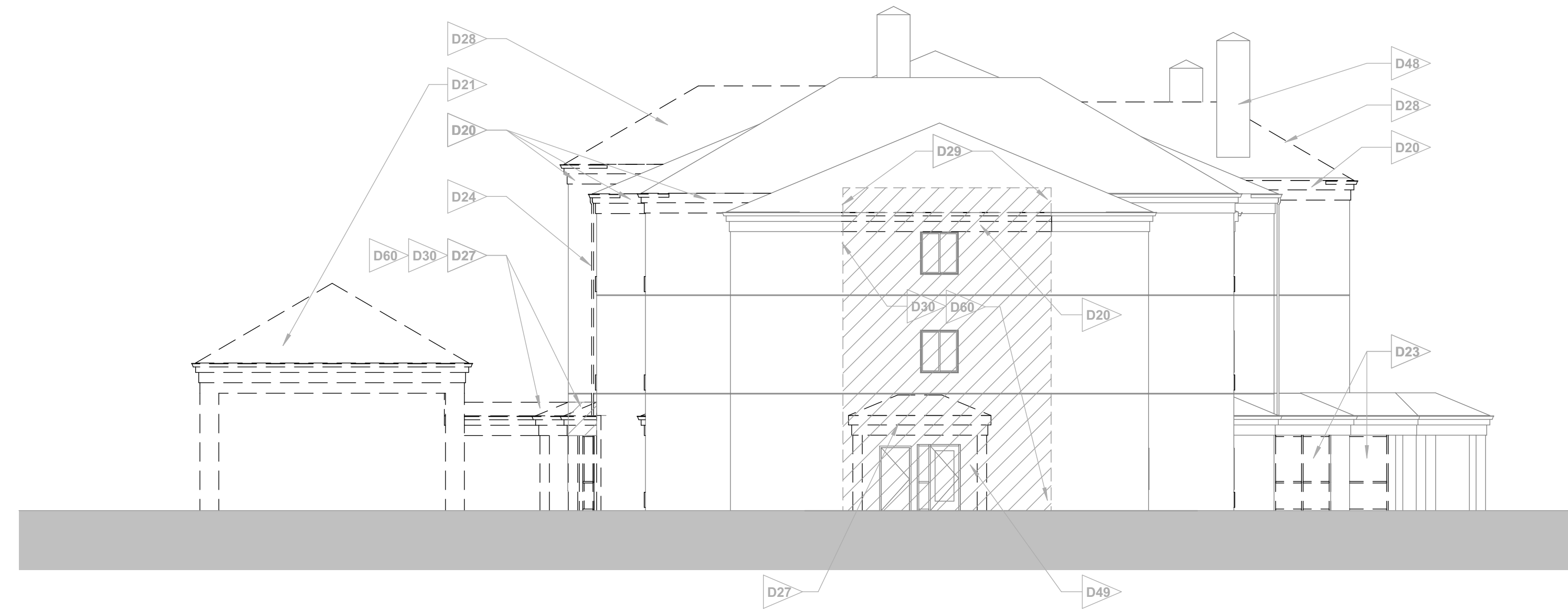
- PREP ALL EXTERIOR SURFACES TO RECEIVE NEW PAINT.

DEMOLITION CRITERIA NOTES

CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

DEM
Q

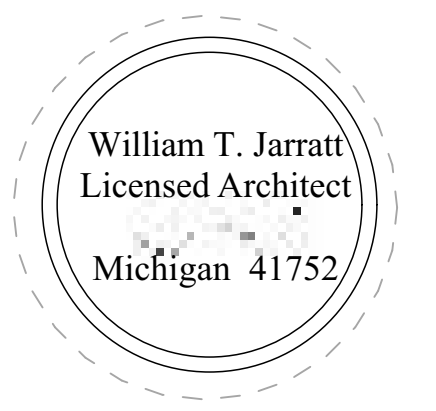
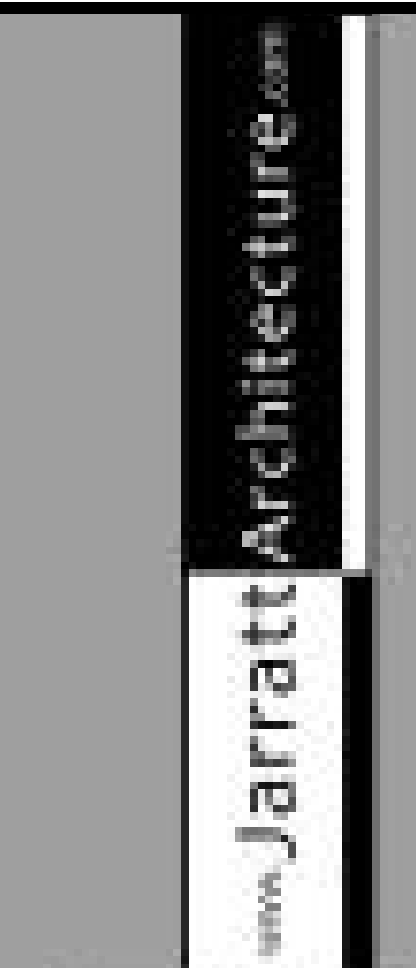
- D20 REMOVE GUTTERS AND/OR FACIA TO PREPARE FOR NEW FEATURE FRAME
- D21 REMOVE PORTE COCHERE & ROOF STRUCTURE. COLUMNS AND FOOTINGS TO BE RE-USED
- D23 REMOVE BAY WINDOWS
- D24 REMOVE DOWN SPOUT
- D27 REMOVE CANOPY & STRUCTURE
- D28 REMOVE ROOF, ROOF TRUSSES TO PREPARE FOR NEW FEATURE FRAME.
- D29 REMOVE ROOFING MATERIAL. KEEP & PROTECT EXISTING TO REMAIN ROOF STRUCTURE & DECKING. VERIFY STRUCTURAL INTEGRITY OF EXISTING DECKING & PREPARE FOR FEATURE FRAME.
- D30 REMOVE EIFS & SHEATHING. VERIFY STRUCTURAL INTEGRITY OF EXISTING WALL STUDS & PREPARE TO RECEIVE NEW FINISH
- D31 REMOVE DOOR
- D48 EXISTING CHIMNEY TO REMAIN
- D49 REMOVE KEY CARD READER IF REQUIRED FOR NEW CONSTRUCTION. ARCHITECT TO VERIFY IN FIELD
- D50 REMOVE ALL PTAC GRILLS
- D60 DUE TO AGE OF BUILDING, EXISTING EIFS AND SUBSTRATE MAY NEED MORE REPLACEMENT WORK THAN SCOPE OF THE DESIGN INDICATES. PROVIDE NON-DESTRUCTIVE TESTING PRIOR TO BIDDING.



2 DEMOLITION SIDE ELEVATION
SCALE: 3/32" = 1'-0"



1 DEMOLITION REAR ELEVATION
SCALE: 3/32" = 1'-0"



COURTYARD
by
Marriott
Exterior
Renovation

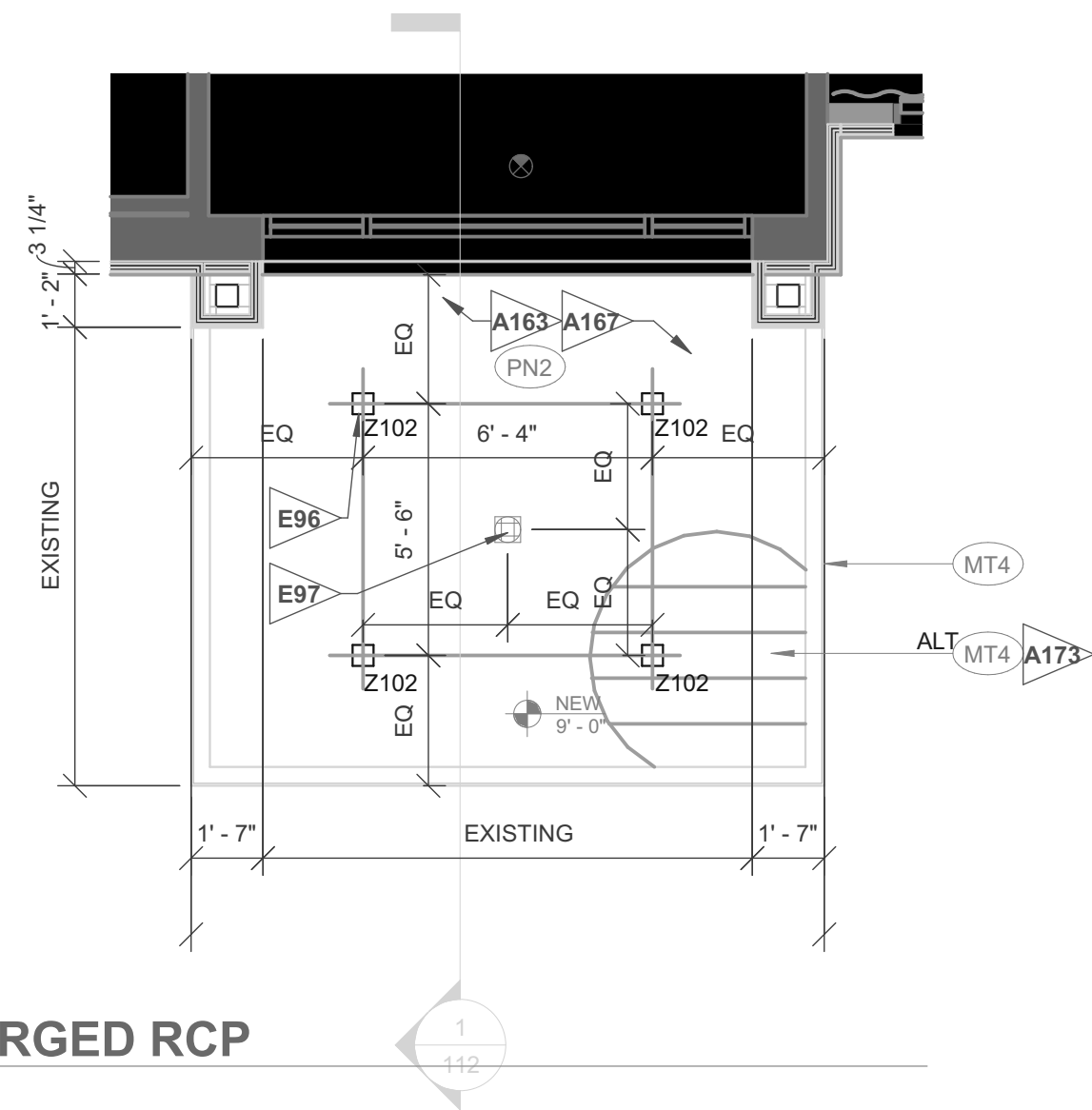
INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| 5/3/2019 | Permit and Pricing |
|----------|--------------------|
| Date | DESCRIPTION |

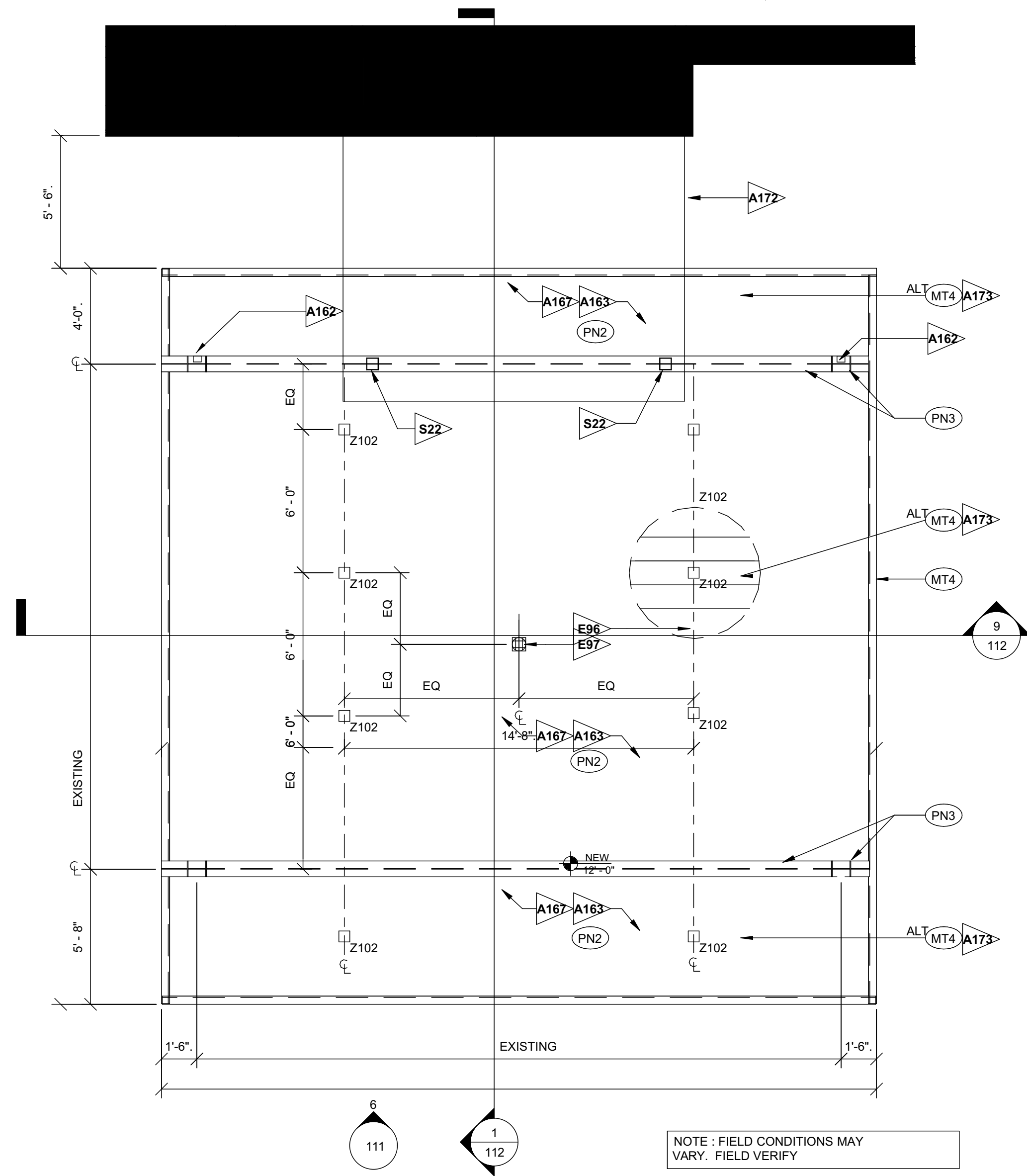
SHEET TITLE
**EXTERIOR
DEMOLITION
ELEVATIONS**

NOTE : FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

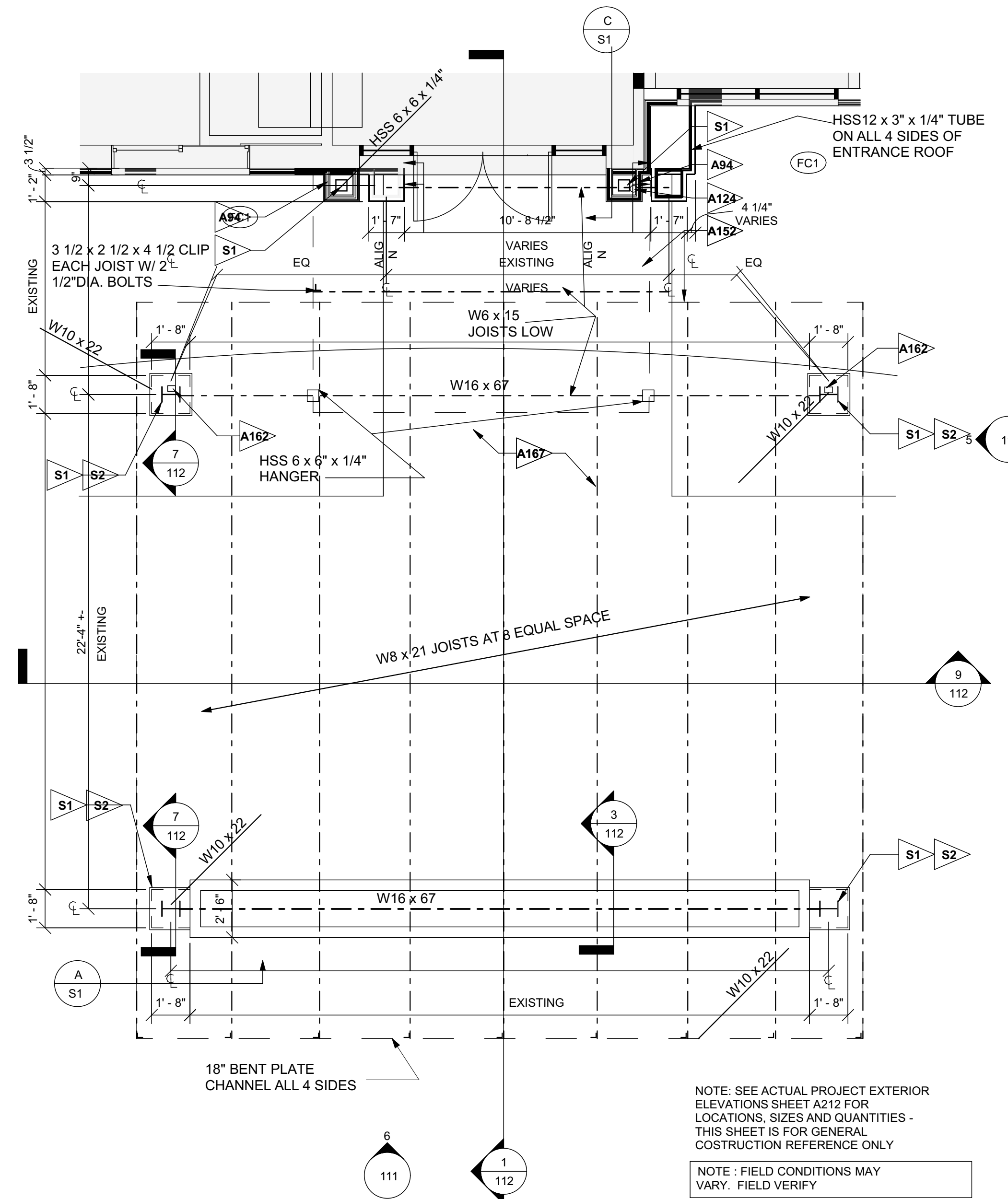


8 PORTE COCHERE / LOGIA - ENLARGED RCP
SCALE: 1/4" = 1'-0"



5 PORTE COCHERE - ENLARGED RCP
SCALE: 1/4" = 1'-0"

NOTE: FIELD CONDITIONS MAY VARY. FIELD VERIFY



1 PORTE COCHERE - ENLARGED PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL CONSTRUCTION REFERENCE ONLY

NOTE: FIELD CONDITIONS MAY VARY. FIELD VERIFY

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER TO PROVIDE FULL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
- ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
- ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SPACES.
- COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
- THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

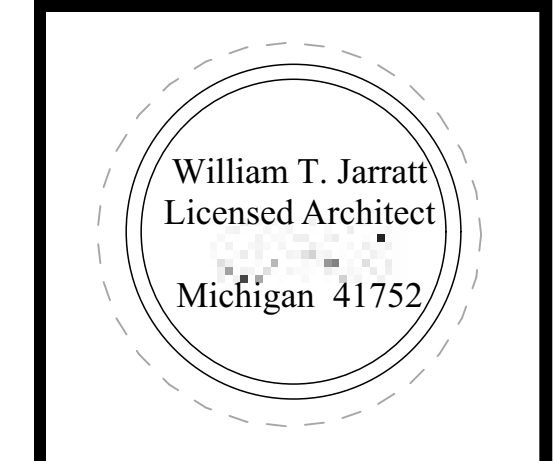
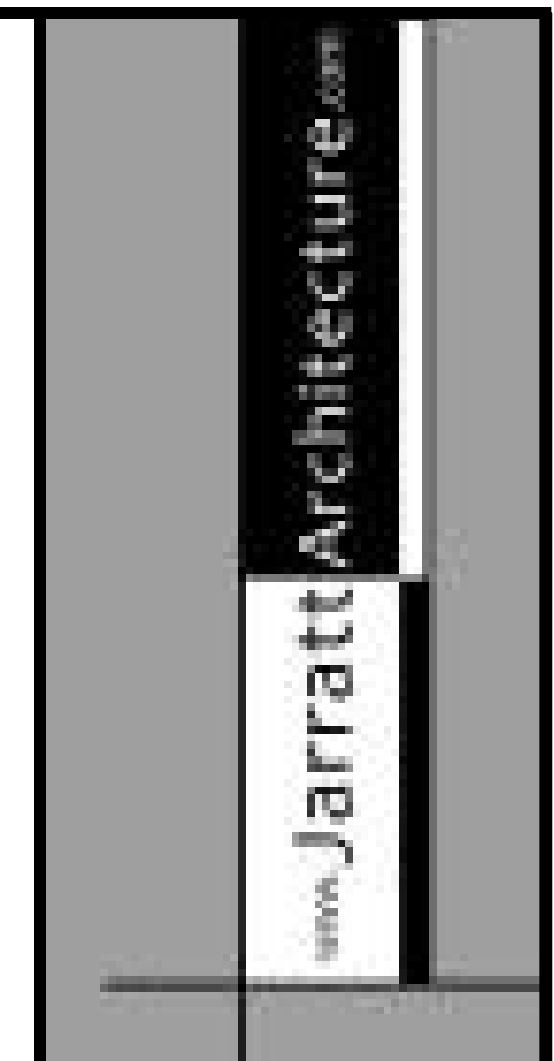
CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES

- ARCHITECTURAL**
 - A94 NEW NICHHA WALL CLADDING & SHEATHING, 1" INSULATION
 - A124 CONCEAL RAIN LEADER IN WALL
 - A152 EDGE OF NEW CANOPY ABOVE
 - A162 CAST IRON, SQUARE DRAIN PIPE, FINISH TO MATCH ADJACENT STEEL STRUCTURE
 - A163 "OPTION" PRE-ENGINEERED PORTE COCHERE BY MCGEE CORPORATION
WWW.MCGEECORP.COM (704) 882 1500
 - A172 EDGE OF CANOPY BELOW
 - A173 "ALTERNATE" METAL PANELS
- STRUCTURAL**
 - S1 METAL COLUMNS SHOWN, MODIFY AS REQUIRED PER STRUCTURAL ENGINEER. REFER TO EXTERIOR FINISH INDEX FOR PAINT FINISH SPECIFICATIONS
 - S2 COLUMN TO BE ENCAPSULATED IN CONCRETE FOR LOWER 24" MIN.
 - S22 SUSPEND CANOPY FROM BEAM ABOVE PER STRUCTURAL ENGINEER
- ENGINEERING**
 - E96 RECESSED LIGHT FIXTURE
 - E97 PROVIDE SPEAKERS

EXTERIOR FINISH LEGEND

- EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FC1 FIBER CEMENT 1, NICHHA PANEL, VINTAGEWOOD - CEDAR
- MT1 METAL, MATCH EF1 COLOR
- MT2 METAL, MATCH EF2 COLOR
- MT3 METAL, MATCH EF3 COLOR
- MT4 METAL (PORTE COCHERE)
- PN1 SHERWIN WILLIAMS, SW 6095 - TOASTY (METALLIC PAINT SOFFIT - MATCH MT4)
- PN2 (INTUMESCENT PAINT - MATCH MT4)
- NEW EIFS

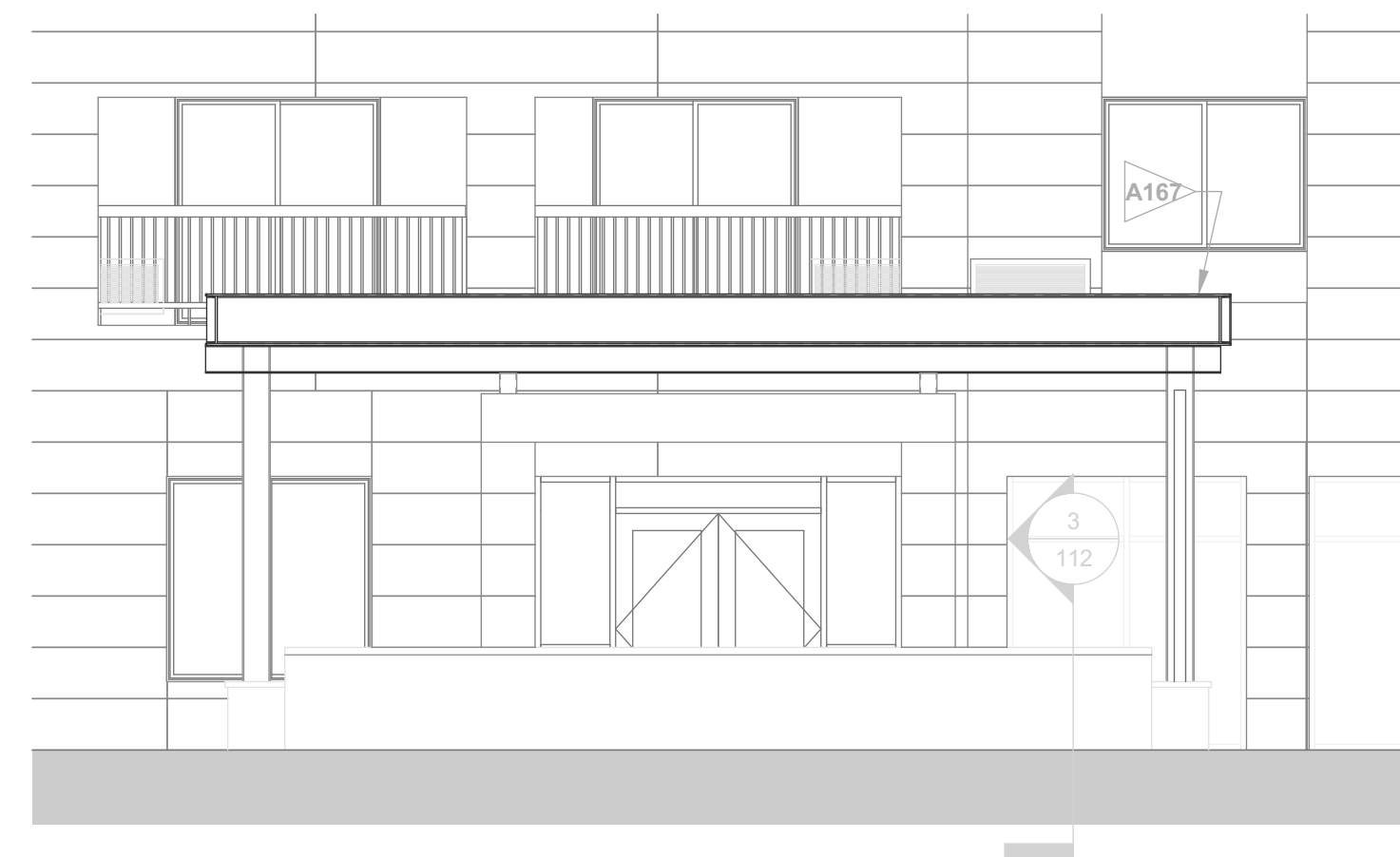


COURTYARD by Marriott Exterior Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

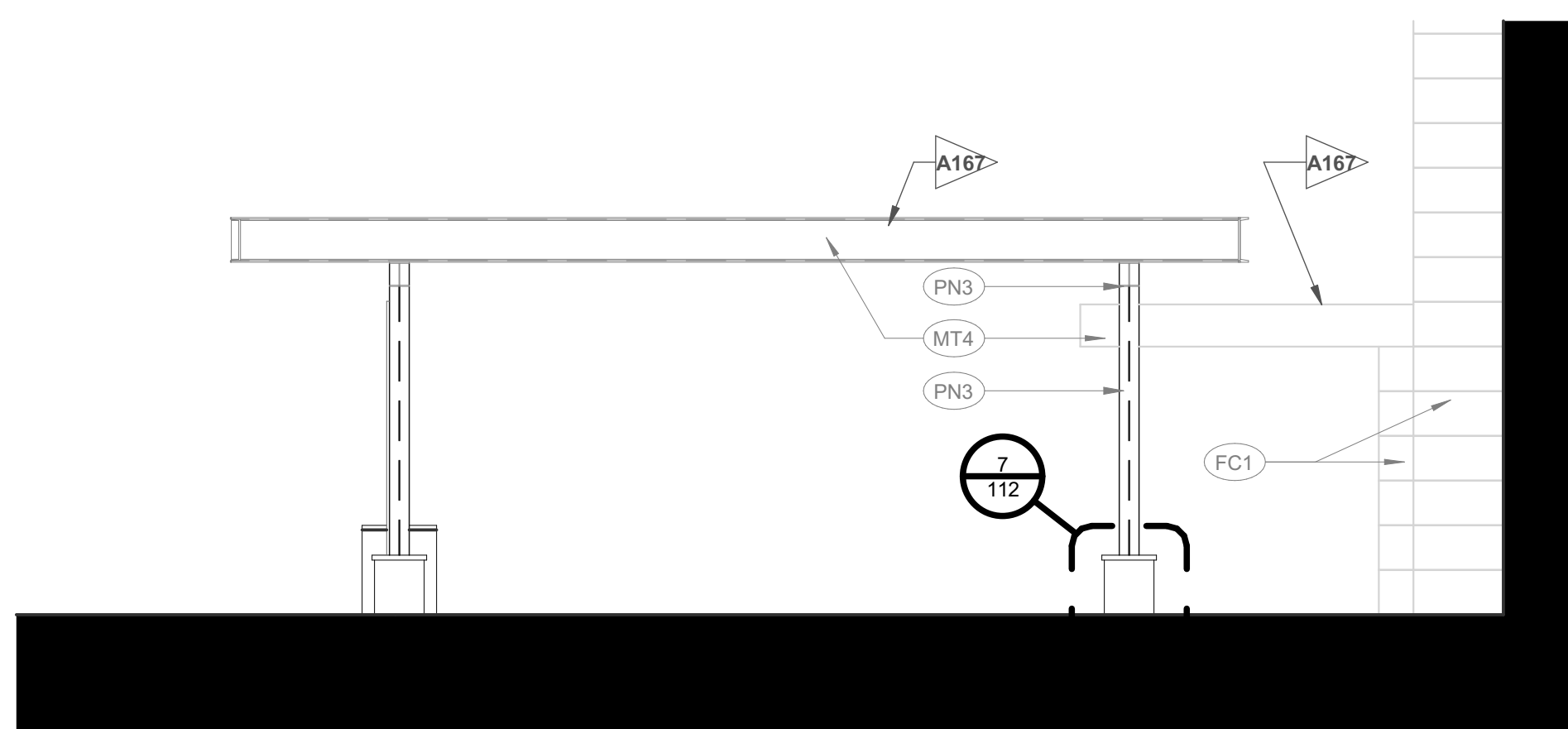
SHEET TITLE
PORTE COCHERE - ENLARGED PLANS & RCP



NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

6 PORTE COCHERE - ELEVATION

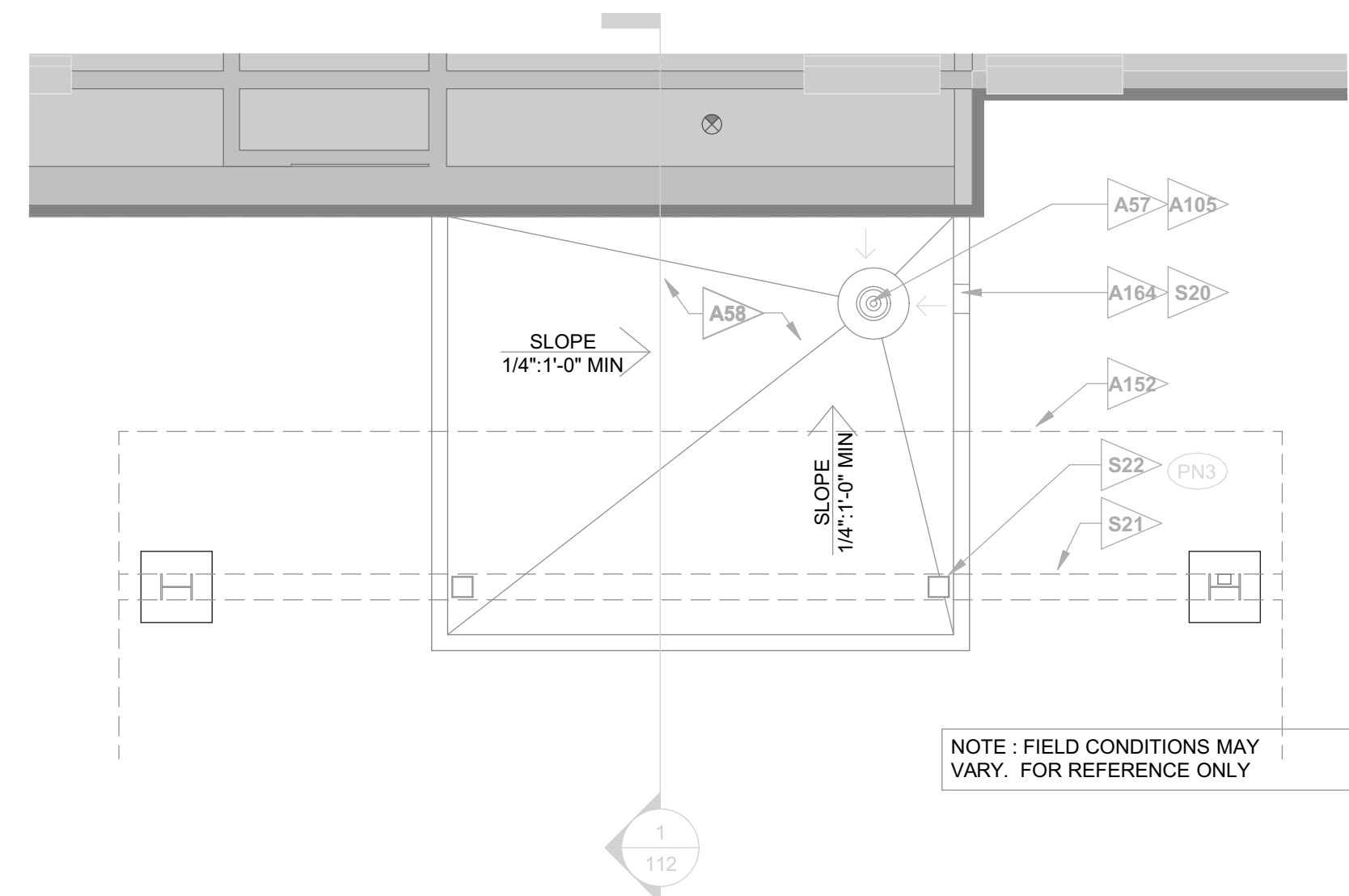
SCALE: 3/16" = 1'-0"



NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

5 PORTE COCHERE - SIDE ELEVATION

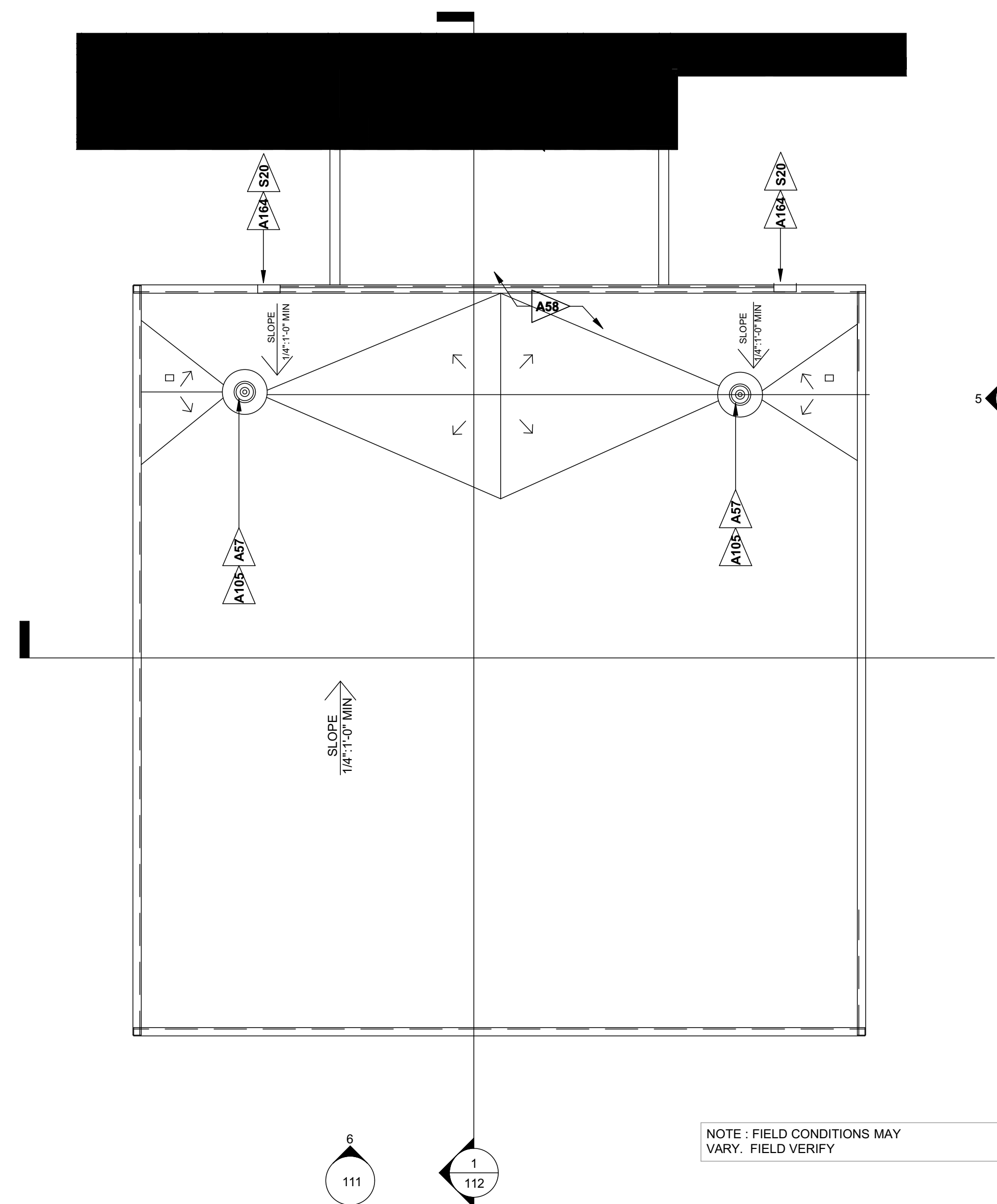
SCALE: 3/16" = 1'-0"



NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

4 PORTE COCHERE / LOGIA - ENLARGED ROOF PLAN

SCALE: 1/4" = 1'-0"



NOTE: FIELD CONDITIONS MAY VARY. FIELD VERIFY

1 PORTE COCHERE - ENLARGED ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL COSTRUCTION REFERENCE ONLY

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- GENERAL NOTES**
1. STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
 2. STRUCTURAL ENGINEER TO PROVIDE FULL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
 3. ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
 4. ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SPACES.
 5. COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
 6. WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
 7. THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES

A0 ARCHITECTURAL

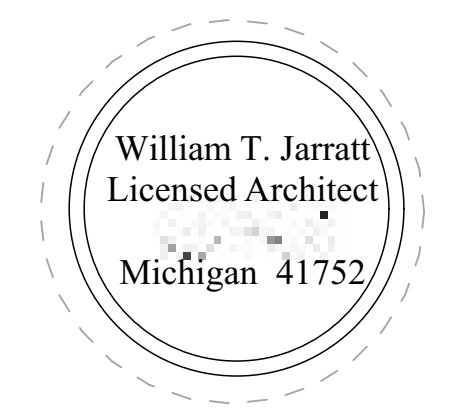
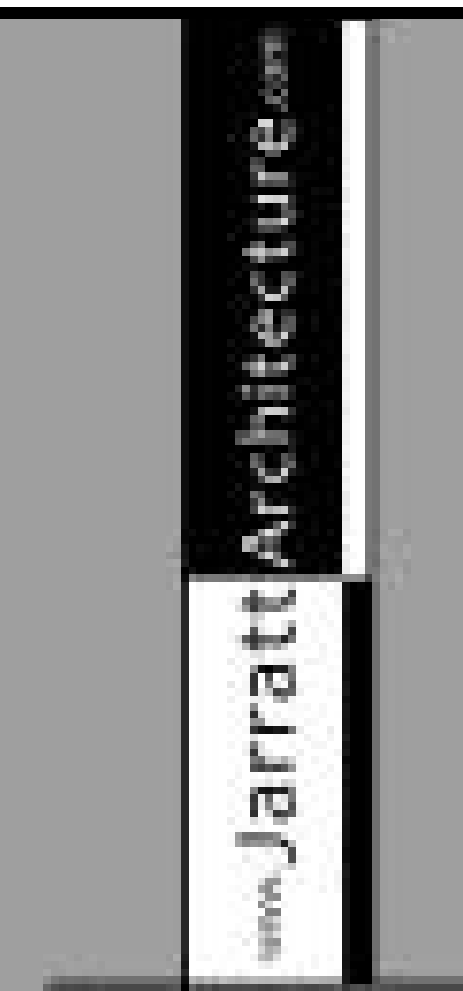
- A57 EXTEND DRAINS DOWN AT COLUMN LOCATIONS. DOWNSPOUTS TO TIE INTO SEWER SYSTEM PER DESIGN & CONSTRUCTION STANDARDS
- A58 SINGLE PLY MEMBRANE ROOF OVER TAPERED INSULATION SLOPED PER CODE. STARTING THICKNESS 1 1/2" AT DRAINS.
- A105 ROOF DRAIN
- A152 EDGE OF NEW CANOPY ABOVE
- A164 OVERFLOW SPOUT AT THE EDGE OF CANOPY
- A167 *OPTION* PRE-ENGINEERED PORTE COCHERE BY MCGEE CORPORATION WWW.MCGEECORP.COM (704) 882 1500

S0 STRUCTURAL

- S20 COORDINATE STRUCTURE WITH PONDING BASED ON HEIGHT OF OVERFLOW SCUPPER
- S21 BEAM ABOVE
- S22 SUSPEND CANOPY FROM BEAM ABOVE PER STRUCTURAL ENGINEER

EXTERIOR FINISH LEGEND

- EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FC1 FIBER CEMENT 1, NICHIIA PANEL, VINTAGEWOOD - CEDAR
- MT1 METAL, MATCH EF1 COLOR
- MT2 METAL, MATCH EF2 COLOR
- MT3 METAL, MATCH EF3 COLOR
- MT4 METAL (PORTE COCHERE)
- PN1 SHERWIN WILLIAMS, SW 6095 - TOASTY (METALIC PAINT SOFFIT - MATCH MT4)
- PN2 (INTUMESCENT PAINT - MATCH MT4)
- PN3 NEW EIFS

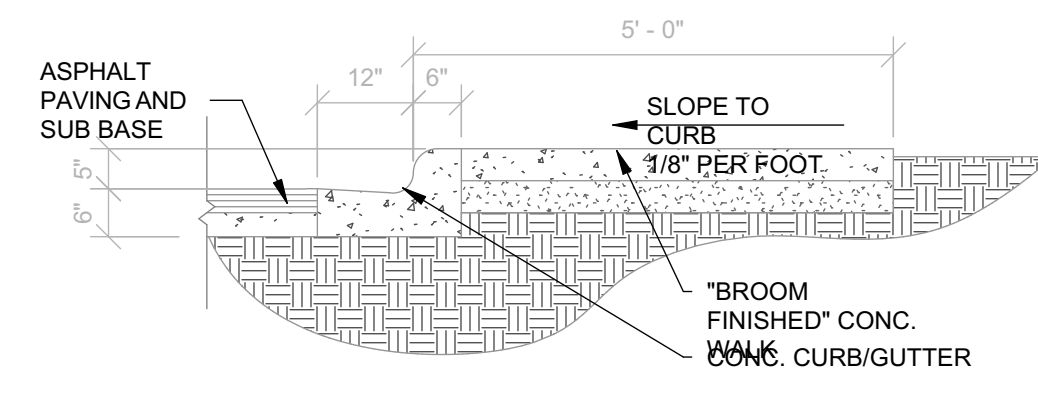


COURTYARD by Marriott Exterior Renovation

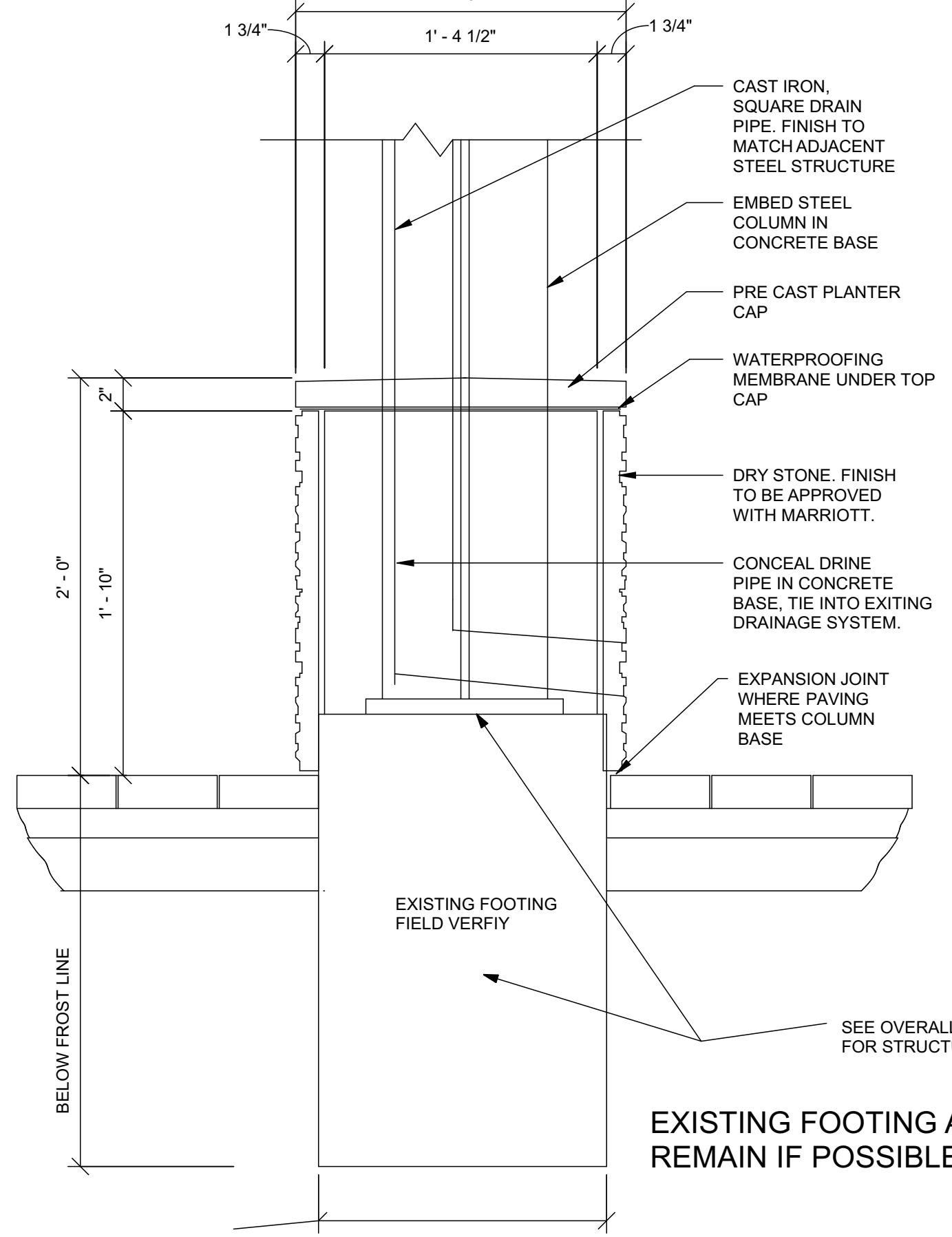
INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

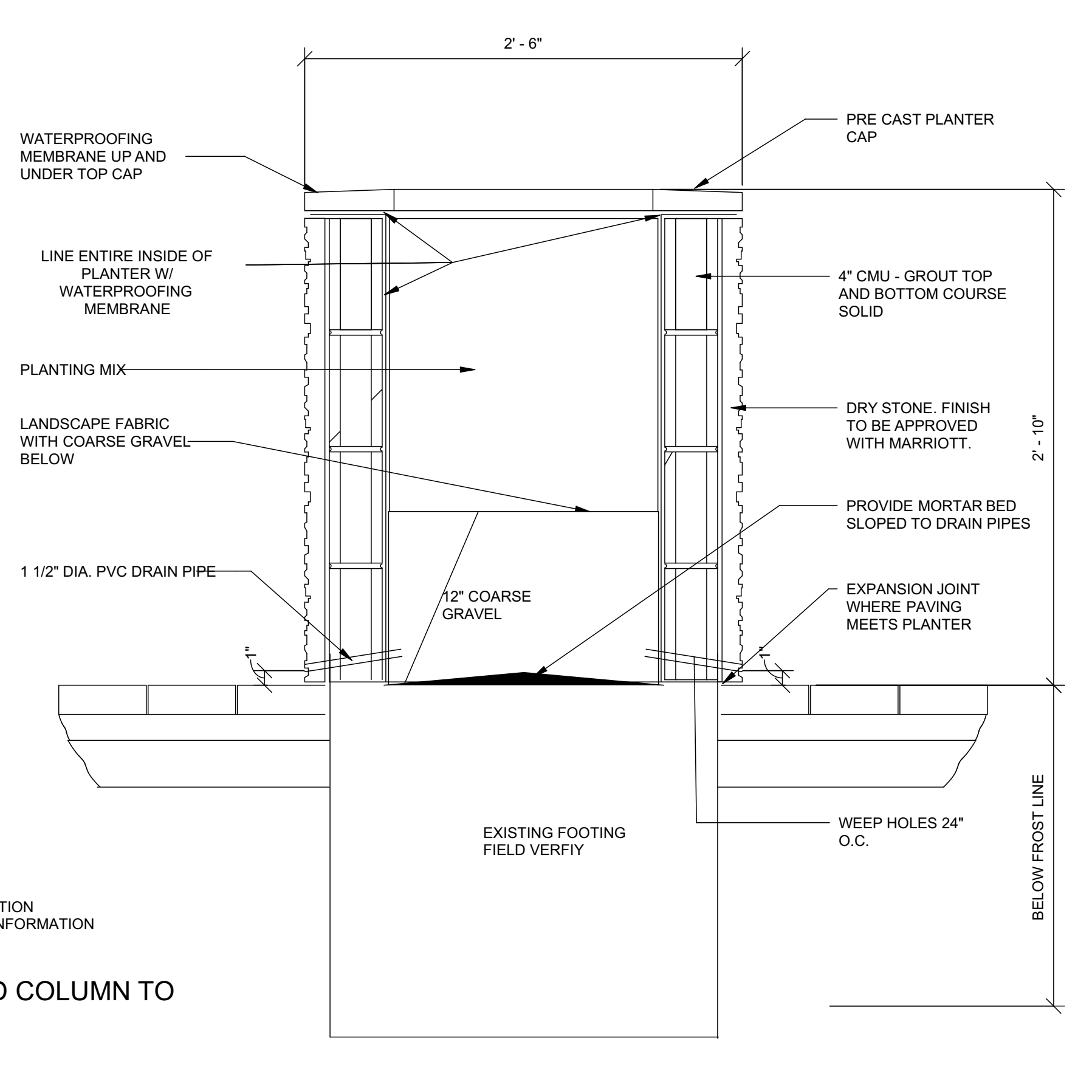
SHEET TITLE
PORTE COCHERE - ROOF PLAN



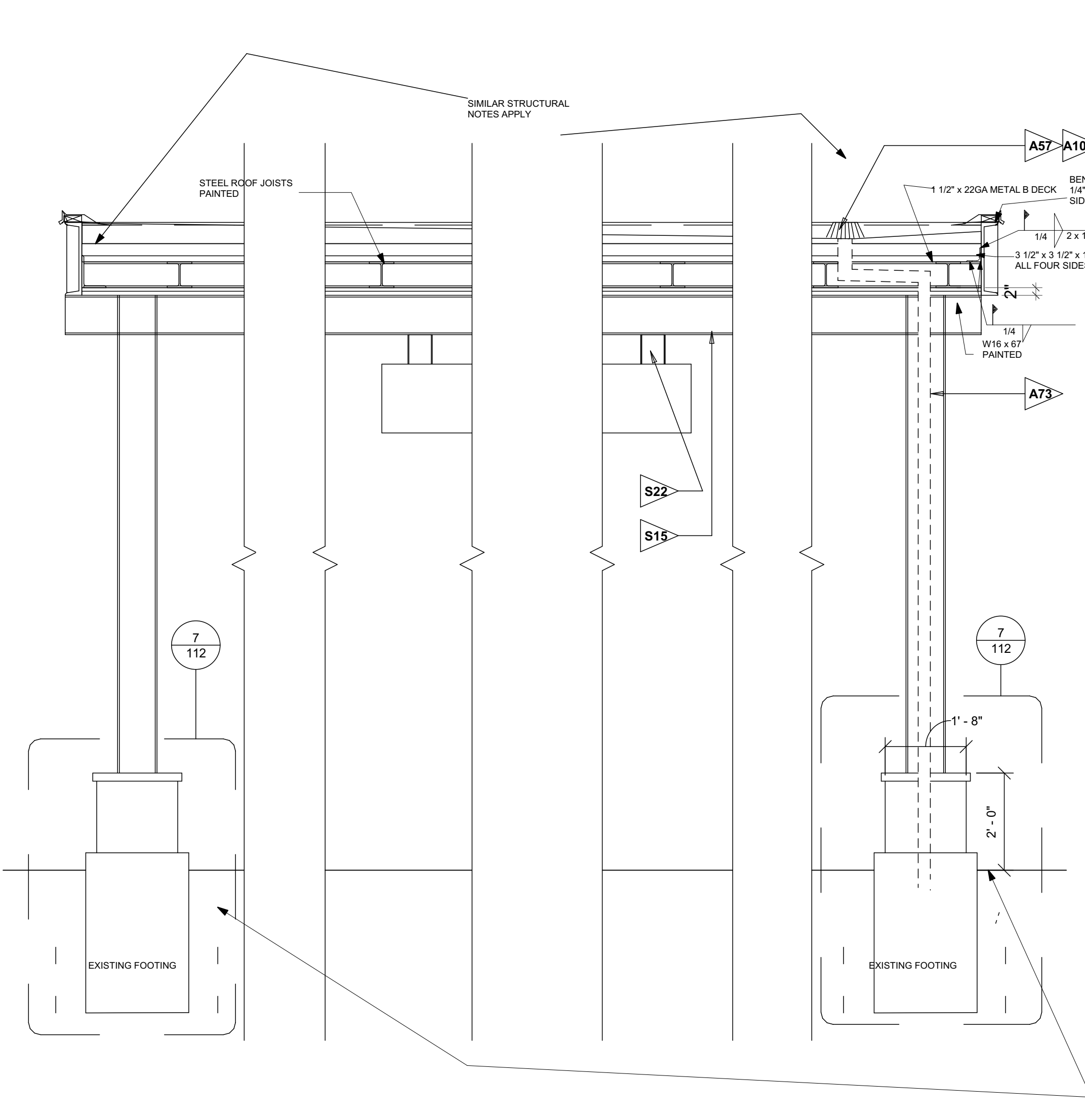
11 SIDEWALK CURB DETAIL
SCALE: 1/2" = 1'-0"



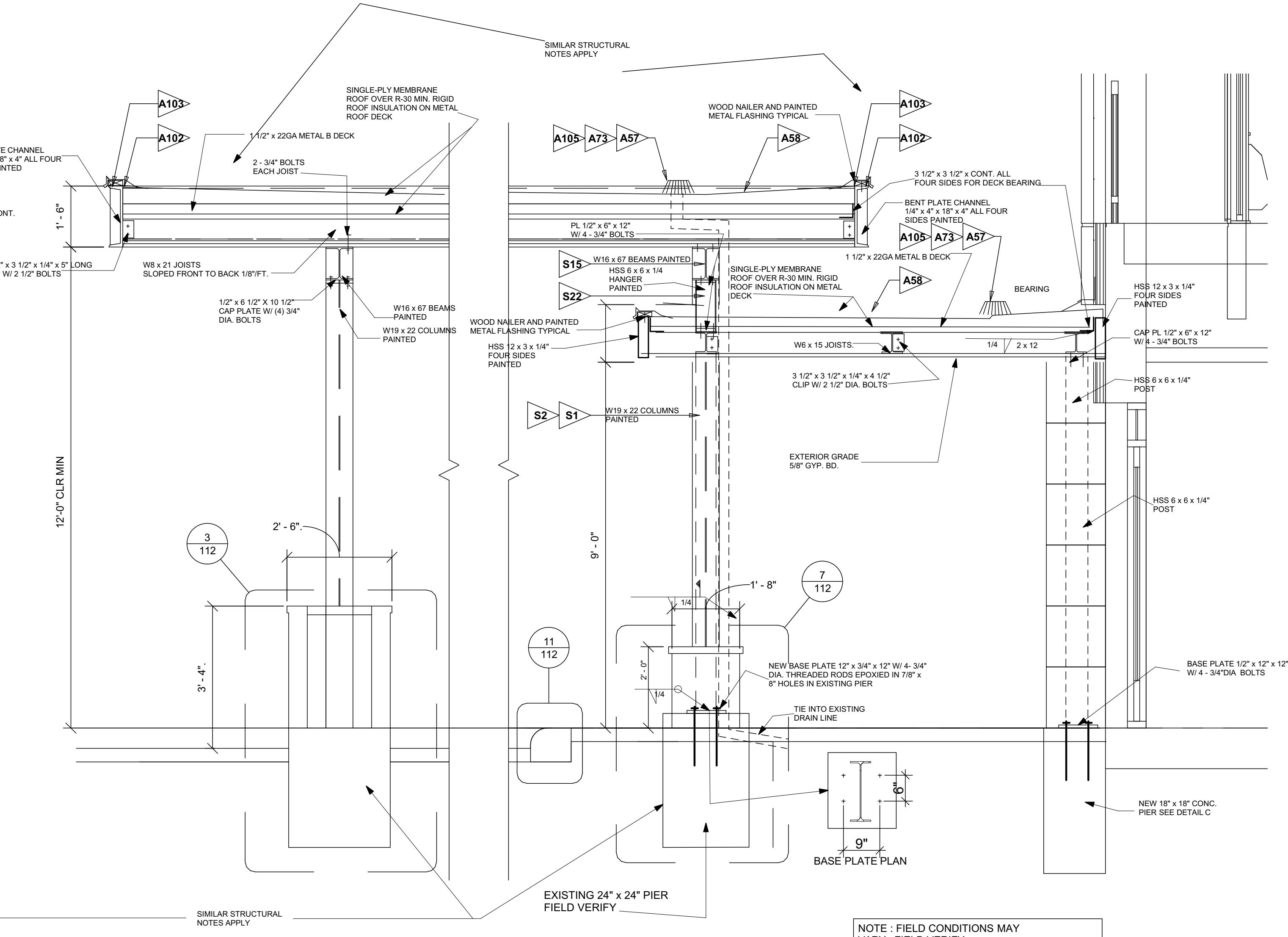
7 SECTION - COLUMN BASE
SCALE: 1 1/2" = 1'-0"



3 SECTION - PLANTER
SCALE: 1 1/2" = 1'-0"



9 PORTE COCHERE - SECTION
SCALE: 1/2" = 1'-0"



1 PORTE COCHERE - SECTION
SCALE: 1/2" = 1'-0"

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER TO PROVIDE ALL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
- ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
- ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT NOT DRAIN ACROSS WALKING SPACES.
- COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
- THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANT SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

- A0 ARCHITECTURAL
- A57 EXTEND DRAINS DOWN AT COLUMN LOCATIONS. DOWNSPOUTS TO TIE INTO SEWER SYSTEM PER DESIGN & CONSTRUCTION STANDARDS.
- A58 SINGLE PLY MEMBRANE ROOF OVER TAFFED INSULATION SLOPED PER CODE. STARTING THICKNESS 1 1/2" AT DRAINS.
- A73 ARCHITECT TO CONCEAL DOWNSPOUTS TIE IN EXISTING SEWER DRAIN. PAINT TO ADJACENT FINISH.
- A102 EDGE FLASHING
- A103 METAL CHANNEL
- A105 ROOF DRAIN
- S0 STRUCTURAL
- S1 METAL COLUMNS SHOWN. MODIFY AS REQUIRED PER STRUCTURAL ENGINEER. REFER TO EXTERIOR FINISH INDEX FOR PAINT FINISH SPECIFICATIONS.
- S2 COLUMN TO BE ENCAPSULATED IN CONCRETE FOR LOWER 24" MIN.
- S15 NEW STRUCTURAL BEAM
- S22 SUSPEND CANOPY FROM BEAM ABOVE PER STRUCTURAL ENGINEER.

EXTERIOR FINISH LEGEND

- EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FC1 FIBER CEMENT 1, NICHHA PANEL, VINTAGEWOOD - CEDAR
- MT1 METAL, MATCH EF1 COLOR
- MT2 METAL, MATCH EF2 COLOR
- MT3 METAL, MATCH EF3 COLOR
- MT4 METAL (PORTE COCHERE)
- PN1 SHERWIN WILLIAMS, SW 6095 - TOASTY
- PN2 (METALIC PAINT SOFFIT - MATCH MT4)
- PN3 (INTUMESCENT PAINT - MATCH MT4)
- NEW EIFS

Jarratt Architecture

William T. Jarratt
Licensed Architect
Michigan 41752

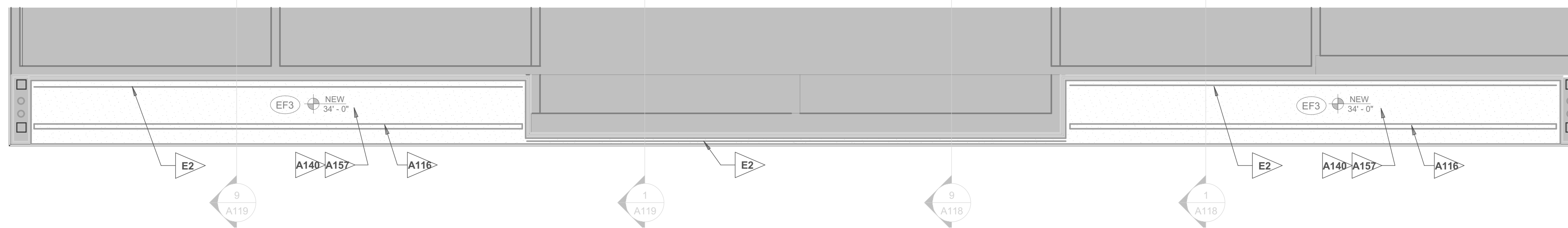
COURTYARD by Marriott Exterior Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

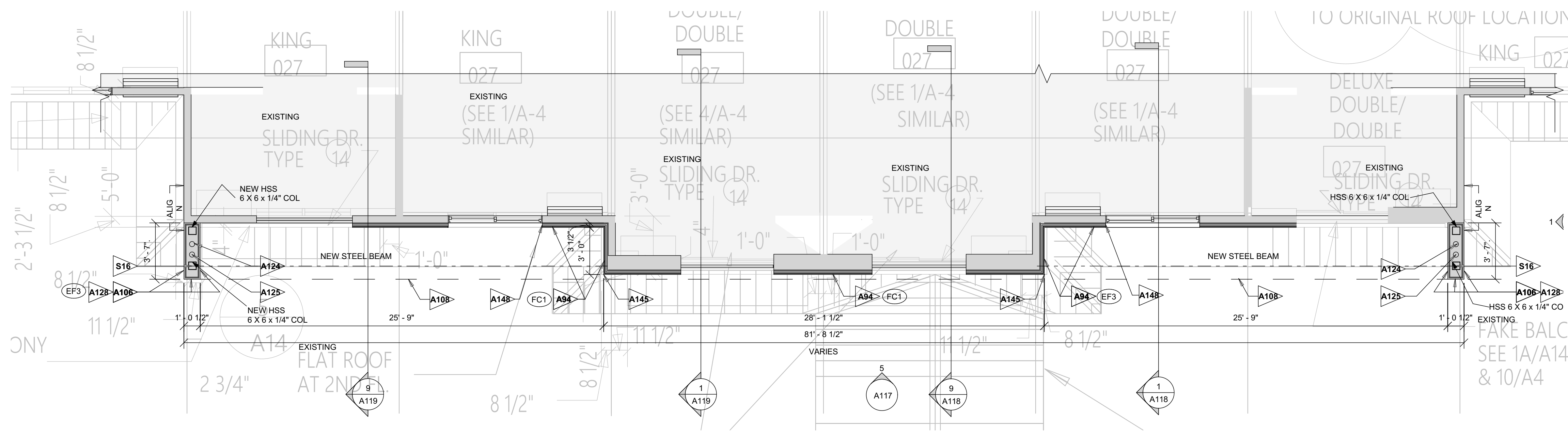
| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

SHEET TITLE

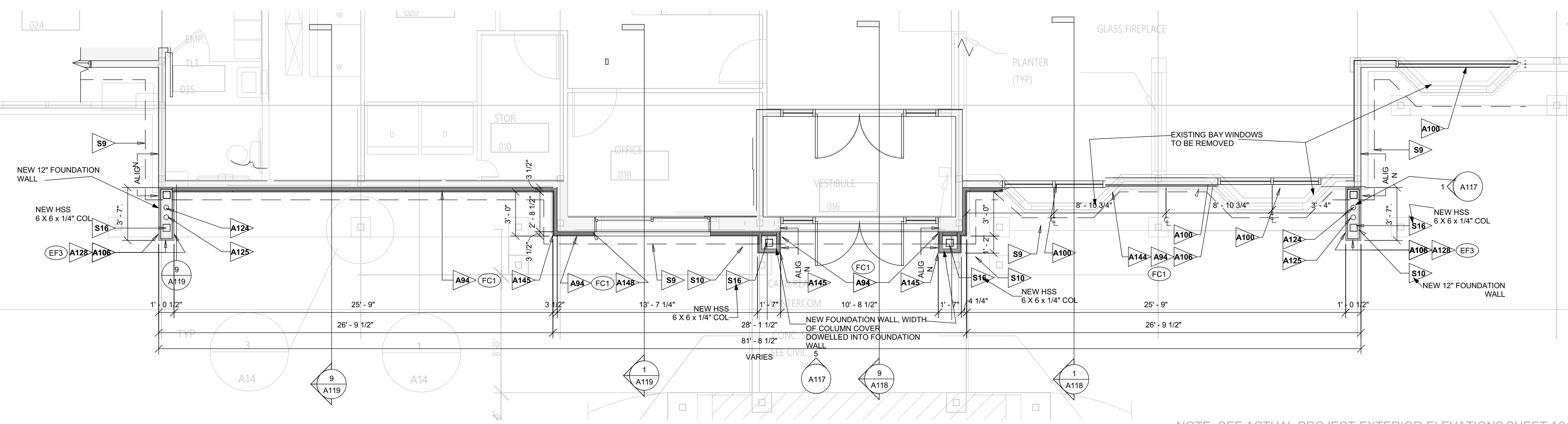
PORTE COCHERE - DETAILS



FRONT ENTRY FEATURE FRAME - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



FRONT ENTRY FEATURE FRAME - ENLARGED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FRONT ENTRY FEATURE FRAME - ENLARGED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL CONSTRUCTION REFERENCE ONLY
NOTE: FIELD CONDITIONS MAY VARY. FIELD VERIFY

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MATERIAL REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- GENERAL NOTES**
1. STRUCTURAL INFORMATION SHOWN FOR INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
 2. STRUCTURAL ENGINEER TO PROVIDE ALL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO, DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
 3. ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
 4. ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT NOT DRAIN ACROSS WALKING SPACES.
 5. COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
 6. WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
 7. THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

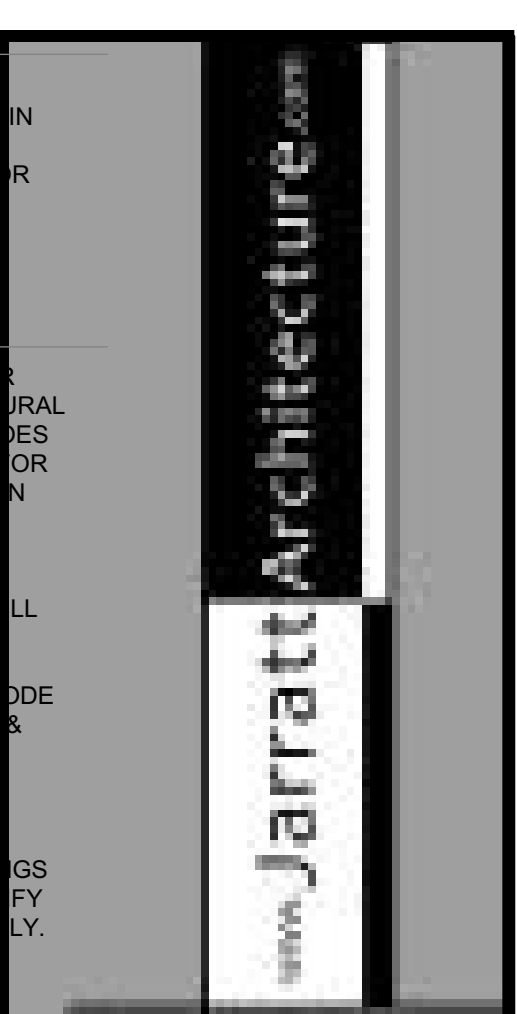
CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANT SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

- A0 ARCHITECTURAL
- A94 NEW NICHIA WALL CLADDING & SHEATHING, 1" INSULATION
- A100 NEW ALUMINUM STOREFRONT, TO MATCH EXISTING FINISH
- A106 NEW WALL
- A108 EDGE OF ROOF ABOVE
- A116 SOFFIT VENT
- A124 CONICAL RAIN LEADER IN WALL
- A128 NEW EIFS WALL FINISH
- A140 NEW EIFS SOFFIT FINISH
- A144 NICHIA WINDOW TRIM J-MOLD
- A145 NICHIA CORNER PIECE OUTSIDE CORNER X-TRIM
- A148 NICHIA TRIM J-MOLD
- A157 NEW SOFFIT

- S0 STRUCTURAL
- S9 EXISTING TO REMAIN FOOTING
- S10 NEW CONCRETE FOOTING PER STRUCTURAL DESIGN
- S16 NEW STRUCTURAL COLUMN PER STRUCTURAL ENGINEER

- E0 ENGINEERING
- E2 EXTERIOR RECESSED LIGHT FIXTURE



William T. Jarratt
Licensed Architect
Michigan 41752

COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

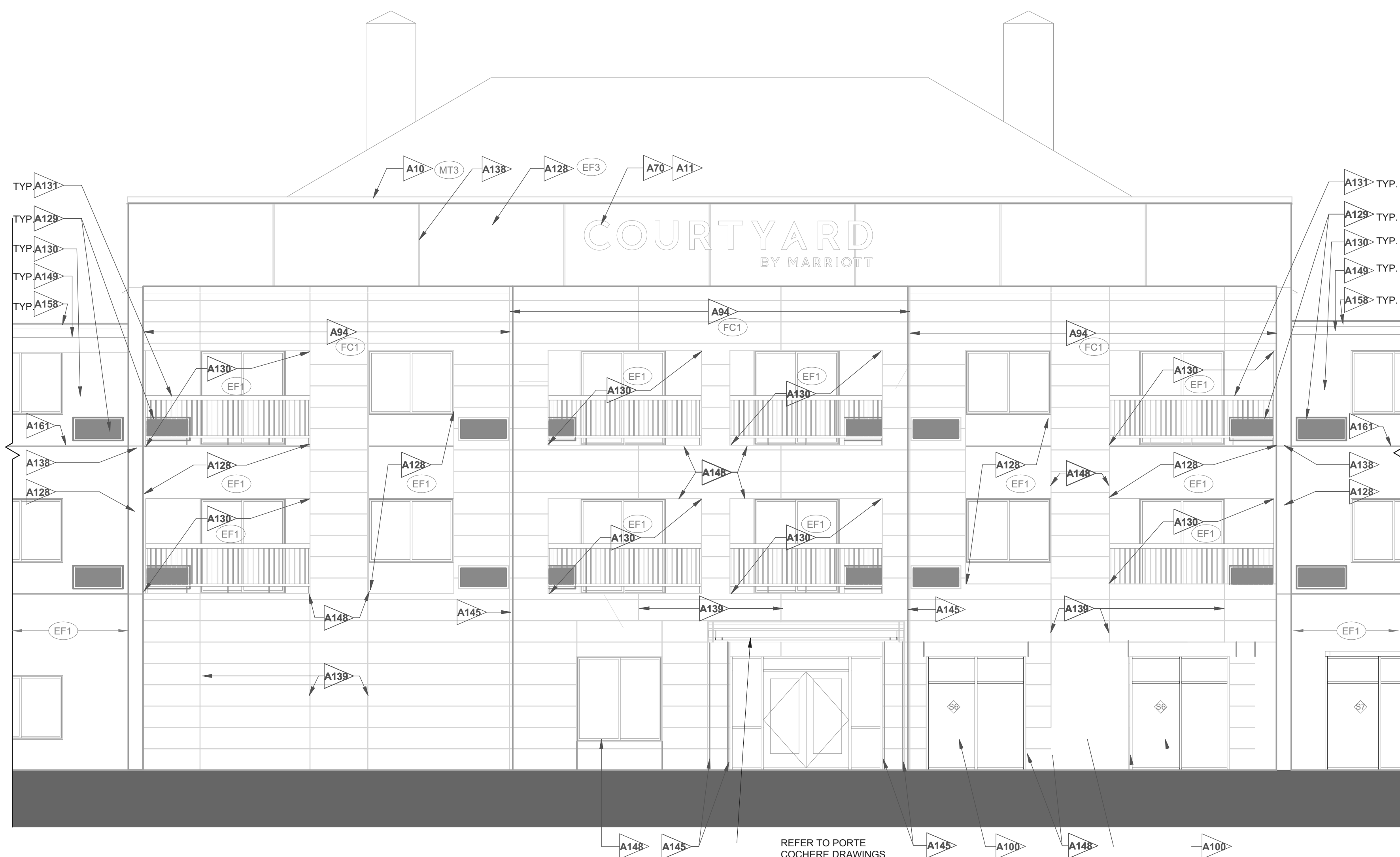
SHEET TITLE
FRONT ENTRY FEATURE FRAME - ENLARGED PLANS - Brighton

115B



3 FRONT ENTRY FEATURE FRAME - PERSPECTIVE SIMILAR

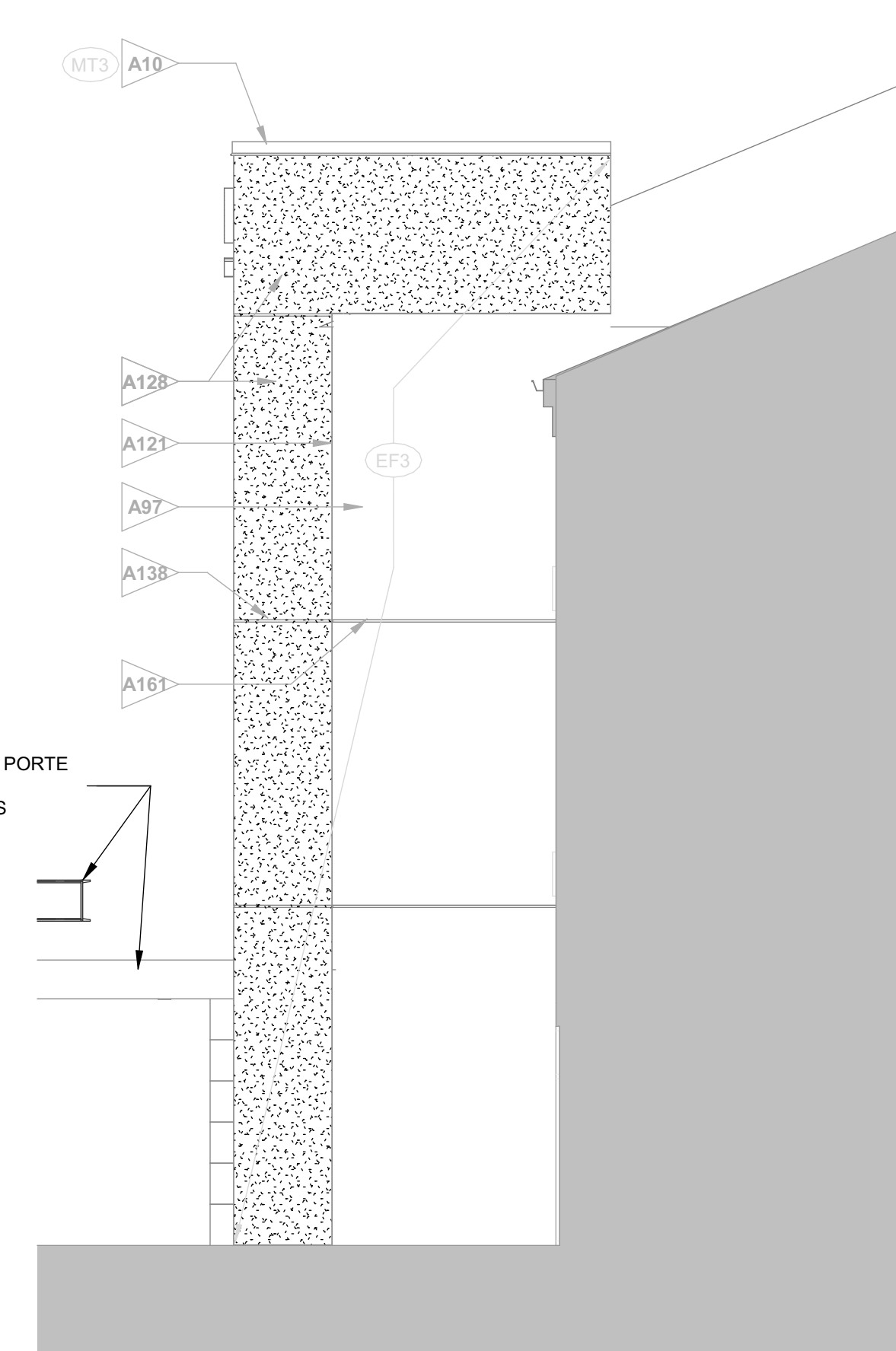
SCALE: 3/16" = 1'-0"



5 FRONT FEATURE FRAME - ENLARGED ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL COSTRUCTION REFERENCE ONLY



1 FRONT ENTRY FEATURE FRAME - ENLARGED SIDE ELEVATION SIMILAR

SCALE: 3/16" = 1'-0"

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER TO PROVIDE FULL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
- ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
- ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SPACES.
- COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
- THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

CRITERIA NOTES

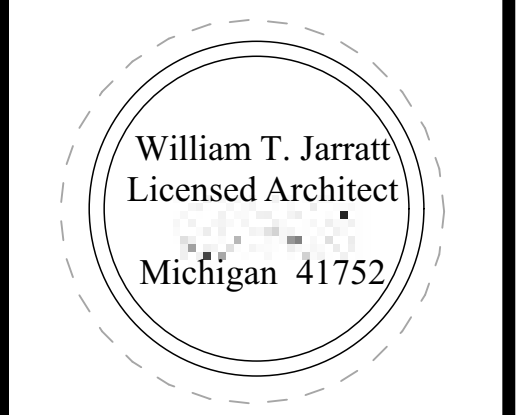
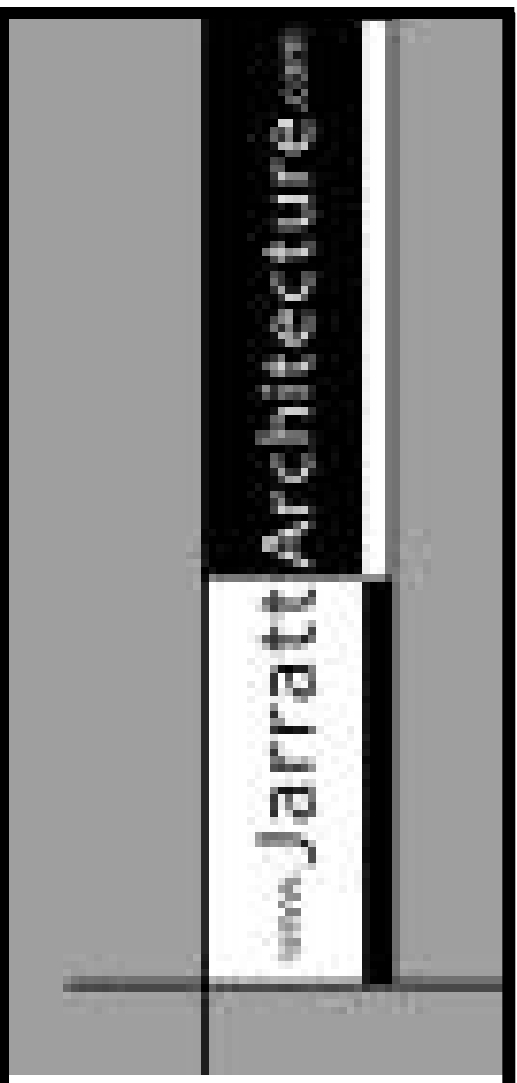
CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES

A0 ARCHITECTURAL

- A10 METAL COPING
- A11 SIGNAGE SIZES AND LOCATIONS SHOWN ARE INDICATIVE OF DESIRED DESIGN DIRECTION. ARCHITECT TO COORDINATE FINAL SIGNAGE SIZES AND LOCATIONS TO COMPLY WITH LOCAL BUILDING CODES AND ZONING ORDINANCES AND SUBMIT TO MARRIOTT FOR APPROVAL. MARRIOTT SIGN TO BE SURFACE MOUNTED, INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION. PROVIDE REQUIRED BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS.
- A94 NEW NICHHA WALL CLADDING & SHEATHING, 1" INSULATION
- A97 EXISTING WALL
- A100 NEW ALUMINUM STOREFRONT, TO MATCH EXISTING FINISH
- A121 EXPANSION JOINT
- A128 NEW EIFS WALL FINISH
- A129 PROVIDE RUSKIN ET125-30 LOUVER FOR PTAC GRILLES ON EXTERIOR WALL. ALTERNATE GRILLES OF EQUIVALENT APPEARANCE AND PERFORMANCE MAY BE SUBMITTED FOR THE ARCHITECT'S APPROVAL. COLOR TO MATCH ADJACENT WALL FINISH
- A130 PREP AND PAINT EXISTING WALLS. REFER TO COLOR ELEVATIONS FOR PAINT COLORS
- A131 PAINT EXISTING RAILING
- A138 EIFS REVEAL LINES
- A139 NICHHA PANELS SEALANT JOINT
- A145 NICHHA CORNER PIECE OUTSIDE CORNER X-TRIM
- A148 NICHHA TRIM J-MOLD
- A149 PAINT EXISTING TRIM TO MATCH ADJACENT FINISH
- A158 EXISTING GUTTER. PAINT TO MATCH ADJACENT FINISH

EXTERIOR FINISH ADJACENT

- EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FIBER CEMENT 1 - NICHHA PANEL, VINTAGEWOOD - CEDAR
- METAL, MATCH EF1 COLOR
- METAL, MATCH EF2 COLOR
- METAL, MATCH EF3 COLOR
- METAL (PORTE COCHERE)
- SHERWIN WILLIAMS, SW 6095 - TOASTY
- METALIC PAINT SOFFIT - MATCH MT4
- (INTUMESCENT PAINT - MATCH MT4)
- NEW EIFS



COURTYARD by Marriott Exterior Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | DESCRIPTION |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

SHEET TITLE
FRONT ENTRY FEATURE FRAME - ENLARGED ELEVATIONS

117B



3 REAR ENTRY FEATURE FRAME - PERSPECTIVE SIMILAR
SCALE:



9 REAR ENTRY FEATURE FRAME - SIDE ELEVATION SIMILAR
SCALE: 3/16" = 1'-0"

1 REAR ENTRY FEATURE FRAME - ELEVATION SIMILAR
SCALE: 3/16" = 1'-0"

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL CONSTRUCTION REFERENCE ONLY

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

REFERENCE NOTES

A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER TO PROVIDE FULL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
- ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
- ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SPACES.
- COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- WALL SECTION ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
- THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

CRITERIA NOTES

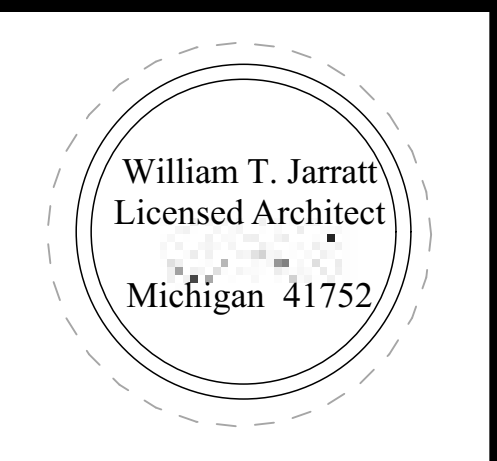
CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

A0 > ARCHITECTURAL

- A10 METAL COPING
- A96 EXISTING ROOF
- A97 EXISTING WALL
- A100 NEW ALUMINUM STOREFRONT, TO MATCH EXISTING FINISH
- A109 NEW FLASHING AND CONTINUES WATERPROOFING AT CONNECTION OF NEW STRUCTURE WITH EXISTING - ARCHITECT TO PROVIDE DETAILS TO INSURE WATERTIGHT CONNECTION
- A119 OVERFLOW SCUPPER
- A121 EXPANSION JOINT
- A128 NEW EIFS WALL FINISH
- A129 PROVIDE RUSKIN ET125-30 LOUVER FOR PTAC GRILLE ON EXTERIOR WALL. ALTERNATE GRILLES OF EQUIVALENT APPEARANCE AND PERFORMANCE MAY BE SUBMITTED FOR THE ARCHITECT'S APPROVAL. COLOR TO MATCH ADJACENT WALL FINISH
- A130 PREP AND PAINT EXISTING WALLS. REFER TO COLOR ELEVATIONS FOR PAINT COLORS
- A131 PAINT EXISTING RAILING
- A138 EIFS REVEAL LINES.
- A149 PAINT EXISTING TRIM TO MATCH ADJACENT FINISH
- A158 EXISTING GUTTER. PAINT TO MATCH ADJACENT FINISH.
- A161 EXISTING EIFS REVEAL LINES. LOCATION MAY VARY. ARCHITECT TO VIF
- A168 IF PRESENT PAINT ALL STANDING SEAM ROOF

EXTERIOR FINISH LEGEND

- EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FC1 FIBER CEMENT 1, NICHHA PANEL, VINTAGEWOOD - CEDAR
- MT1 METAL, MATCH EF1 COLOR
- MT2 METAL, MATCH EF2 COLOR
- MT3 METAL, MATCH EF3 COLOR
- MT4 METAL (PORTE COCHERE)
- PN1 SHERWIN WILLIAMS, SW 6095 - TOASTY
- PN2 (METALIC PAINT SOFFIT - MATCH MT4)
- PN3 (INTUMESCENT PAINT - MATCH MT4)
- NEW EIFS



COURTYARD by Marriott Exterior Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL

INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | Description |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

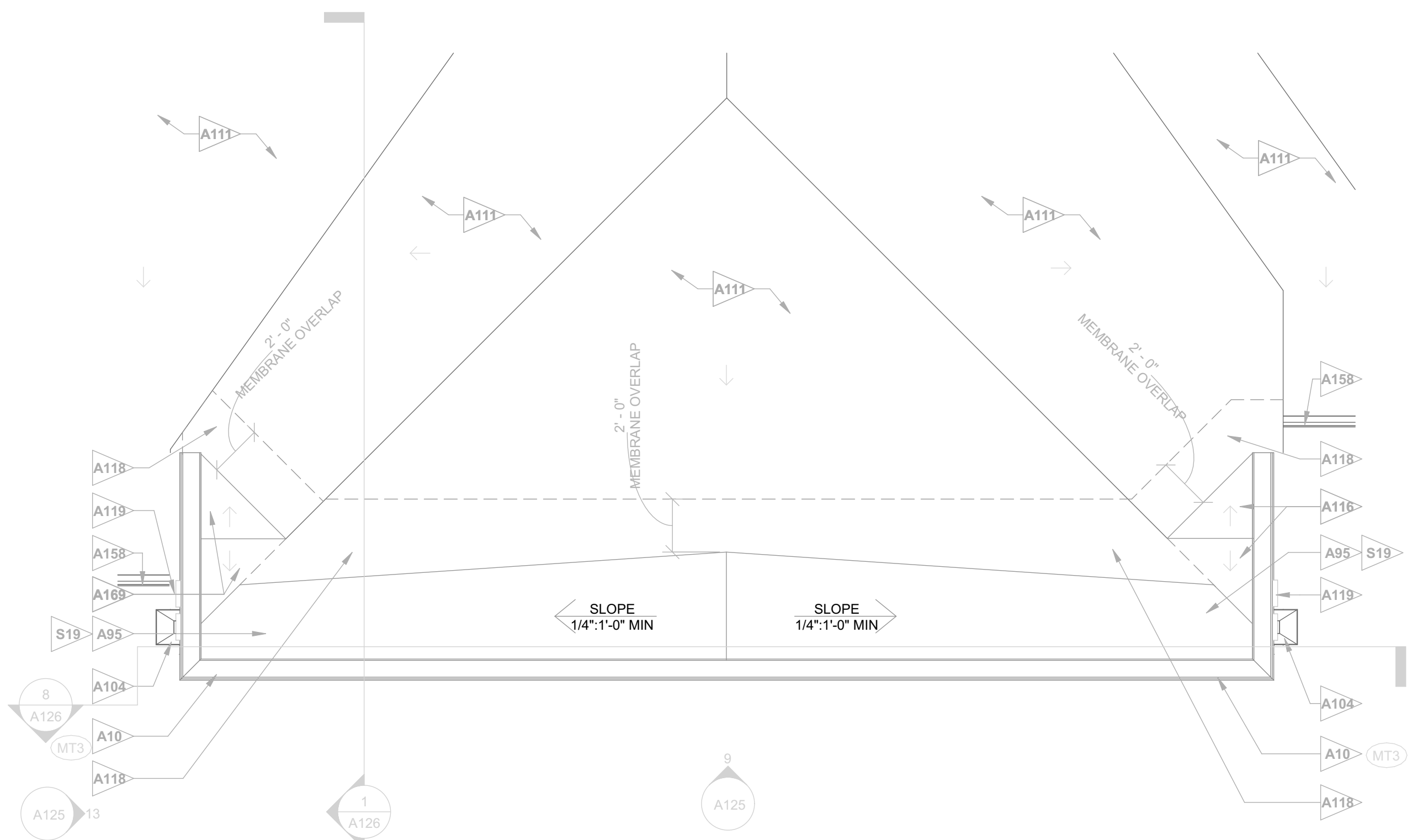
| Date | Description |
|------|-------------|
|------|-------------|

SHEET TITLE

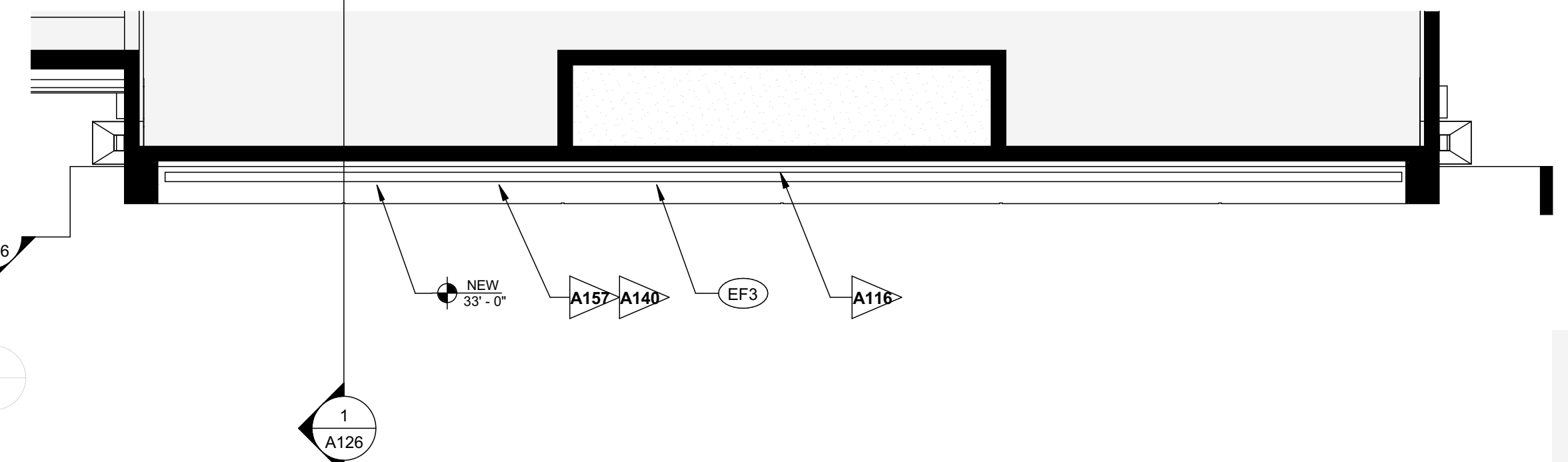
REAR ENTRY FEATURE FRAME - ENLARGED ELEVATIONS



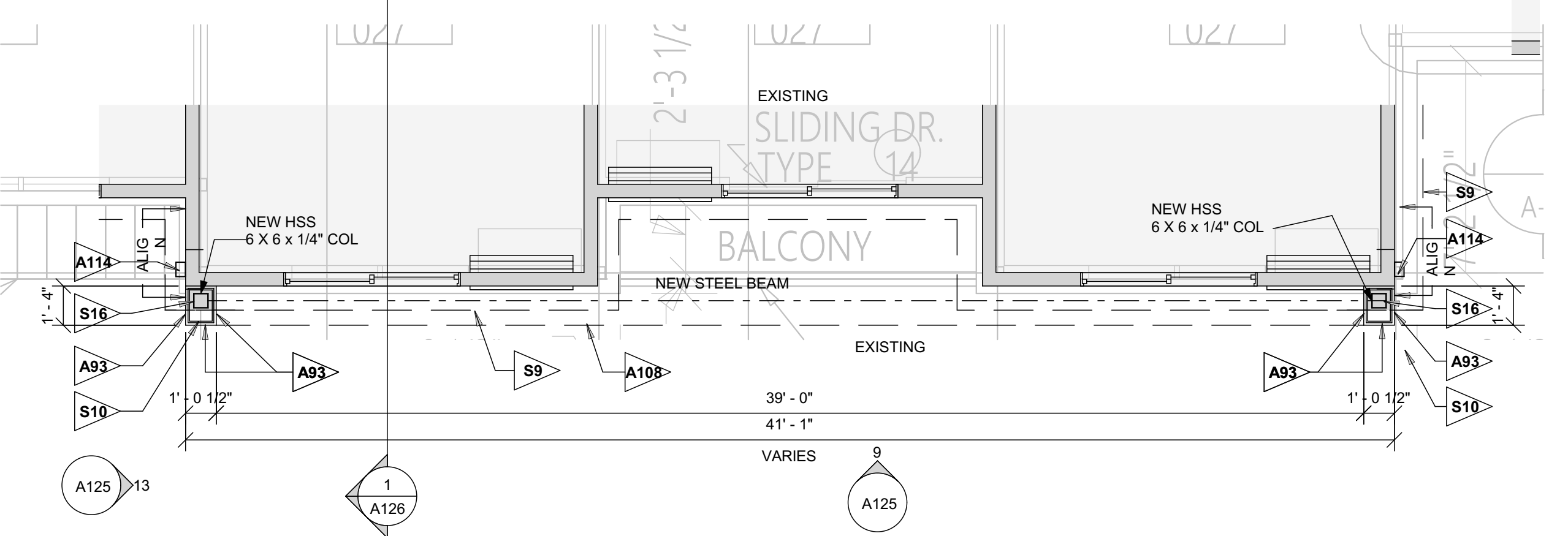
11 TYPICAL (3 BAY) FEATURE FRAME - PERSPECTIVE
SCALE: 1/4" = 1'-0"



3 TYPICAL (3 BAY) FEATURE FRAME - ENLARGED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 TYPICAL (3 BAY) FEATURE FRAME - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 TYPICAL (3 BAY) FEATURE FRAME - ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



9 TYPICAL (3 BAY) FEATURE FRAME - ELEVATION
SCALE: 3/16" = 1'-0"

13 TYPICAL (3 BAY) FEATURE FRAME SIDE ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: FIELD CONDITIONS MAY VARY. FOR REFERENCE ONLY

NOTE: SEE ACTUAL PROJECT EXTERIOR ELEVATIONS SHEET A212 FOR LOCATIONS, SIZES AND QUANTITIES - THIS SHEET IS FOR GENERAL COSTRUCTION REFERENCE ONLY

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- GENERAL NOTES**
1. STRUCTURAL INFORMATION SHOWN FOR ARCHITECTURAL INTENT ONLY. STRUCTURAL INFORMATION IN DESIGN GUIDELINES DOES NOT CONVEY INFORMATION REQUIRED FOR CONSTRUCTION AND CANNOT BE USED IN LIEU OF DRAWINGS PREPARED BY A REGISTERED STRUCTURAL ENGINEER.
 2. STRUCTURAL ENGINEER TO PROVIDE FULL DESIGN SERVICES INCLUDING BUT NOT LIMITED TO: DETERMINING SIZE AND SPACING OF MEMBERS BASED ON ALL CODE REQUIREMENTS, DESIGNING FOOTINGS & FOUNDATIONS BASED ON ALL CODE REQUIREMENTS, AND DETAILING ALL STRUCTURAL CONNECTIONS.
 3. ARCHITECT SHALL COORDINATE DRAWINGS WITH STRUCTURAL ENGINEER AND MODIFY DESIGN GUIDELINE DETAILS ACCORDINGLY.
 4. ARCHITECT IS RESPONSIBLE FOR DETERMINING NUMBER AND LAYOUT OF ROOF DRAINS AND SIZE OF RAIN LEADERS AS REQ'D FOR LOCAL CODE AND CONDITIONS. OVERFLOW DRAINS TO BE DIRECTED TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SPACES.
 5. COORDINATE PORTE COCHERE DETAILS WITH ADJACENT SITE DETAILS. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
 6. WALL SECTIONS ARE DRAWN TO PROVIDE DESIGN INTENT AND TO PROVIDE INFORMATION REGARDING SPECIFIC FINISH SYSTEMS CONSTRUCTION AND RELATIONSHIPS. ARCHITECT TO DRAW PORTE COCHERE BASED ON CHOSEN STRUCTURAL SYSTEM.
 7. THE SITE FABRICATED PORTE COCHERE AND ASSOCIATED SITE DESIGN ELEMENTS SHOWN ARE A GUIDE FOR DEVELOPING THESE SIGNATURE ELEMENTS OF THE BRAND. FINAL CONFIGURATION, SIZE, DETAILS TO BE BY DESIGNER.

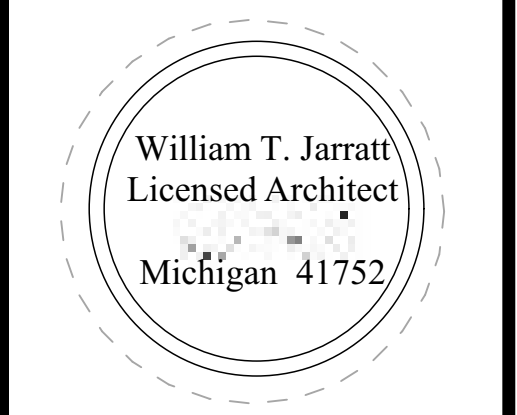
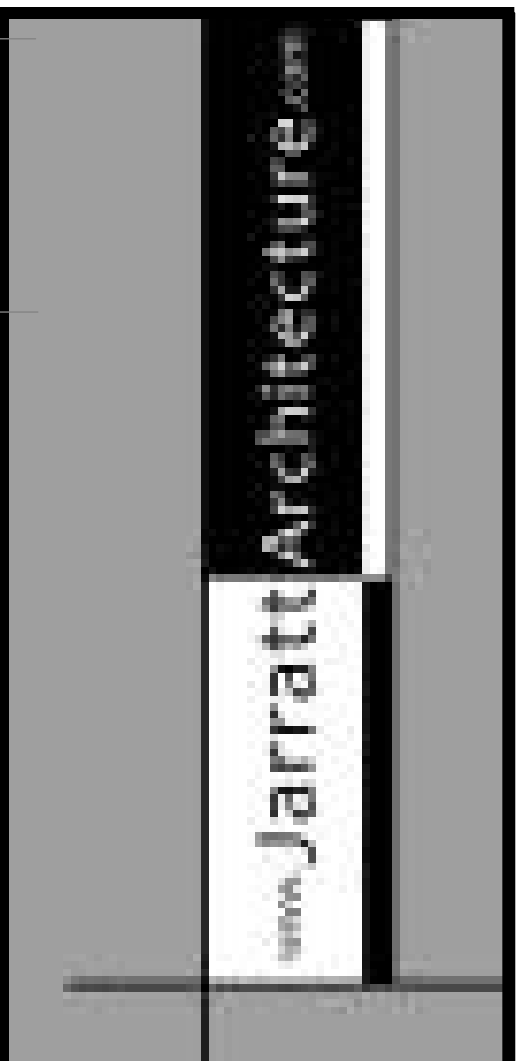
CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES

- A0 ARCHITECTURAL
- A10 METAL COPING
- A93 "OPTION" CONVERT TO INDOOR/OUTDOOR FIREPLACE IF OUTDOOR FIRE FEATURE DOES NOT EXIST.
- A95 NEW ROOF MEMBRANE
- A97 EXISTING WALL
- A104 NEW SCUPPER AND RAIN WATER LEADER
- A108 EDGE OF ROOF ABOVE
- A111 EXISTING SLOPED ROOF. INSPECT EXISTING ROOF CONDITIONS AND DESIGNATE AREAS TO RECEIVE NEW ROOFING MATERIAL
- A114 NEW DOWN SPOUT
- A116 SOFFIT VENT
- A118 EXTEND ROOF MEMBRANE AND END OVERLAP AT LEAST 2'-0" UNDER EXISTING ROOFING MATERIAL
- A119 OVERFLOW SCUPPER
- A121 EXPANSION JOINT
- A128 NEW EIFS WALL FINISH
- A138 EIFS REVEAL LINES
- A140 NEW EIFS SOFFIT FINISH
- A149 PAINT EXISTING TRIM TO MATCH ADJACENT FINISH
- A153 PROVIDE RUSKIN ET125-30 LOUVER FOR PTAC GRILLE ON EXTERIOR WALL. ALTERNATE GRILLES OF EQUIVALENT APPEARANCE AND PERFORMANCE MAY BE SUBMITTED FOR THE ARCHITECT'S APPROVAL. COLOR TO MATCH ADJACENT FINISH
- A157 NEW SOFFIT
- A158 EXISTING GUTTER. PAINT TO MATCH ADJACENT FINISH
- A159 EXISTING RAILINGS. NEW PAINT TO MATCH ADJACENT FINISH
- A160 EXISTING REVEAL LINES. LOCATION MAY VARY. ARCHITECT TO VIF
- A99 EXISTING REMAIN FOOTING
- S10 NEW CONCRETE FOOTING PER STRUCTURAL DESIGN
- S16 NEW STRUCTURAL COLUMN PER STRUCTURAL ENGINEER
- S19 NEW ROOF DECK & STRUCTURE

EXTERIOR FINISH LEGEND

- EF1 EIFS, SHERWIN WILLIAMS, SW 7004 - SNOWBOUND
- EF2 EIFS, BENJAMIN MOORE, 1601 - HEARTHSTONE
- EF3 EIFS, BENJAMIN MOORE, 1603 - GRAPHITE
- FC1 FIBER CEMENT 1, NICHHA PANEL, VINTAGEWOOD - CEDAR
- MT1 METAL, MATCH EF1 COLOR
- MT2 METAL, MATCH EF2 COLOR
- MT3 METAL, MATCH EF3 COLOR
- MT4 METAL (PORTE COCHERE)
- PN1 SHERWIN WILLIAMS, SW 6095 - TOASTY
- PN2 (METALLIC PAINT SOFFIT - MATCH MT4)
- PN3 (INTUMESCENT PAINT - MATCH MT4)
- NEW EIFS



COURTYARD
by
Marriott
Exterior
Renovation

INFORMATION IN BLACK IS NEW WORK TYPICAL
INFORMATION IN GRAY IS EXISTING TYPICAL

| Date | Description |
|----------|--------------------|
| 5/3/2019 | Permit and Pricing |

SHEET TITLE
TYPICAL (3 BAY) FEATURE FRAME - ENLARGED PLANS & ELEVATIONS



May 8, 2019

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

| | |
|-------------------|--|
| Attention: | Kelly Van Marter, AICP Planning Director and Assistant Township Manager |
| Subject: | Proposed amendments to Articles 7 and 25 of the Township Zoning Ordinance |

Dear Commissioners:

As requested, we have prepared this memo to assist the Planning Commission with its consideration of amendments (enclosed) proposed to Articles 7 (Commercial and Service Districts) and 25 (Definitions) of the Township Zoning Ordinance.

The proposed amendments to Article 7 include minor modifications to current uses, as well as the inclusion of new uses, along with specific conditions for the new uses, as follows:

Modifications to current uses/conditions

- Child care centers are currently permitted by right in OSD, NSD and GCD, but not allowed in RCD; the proposal would add this as a permitted use in RCD. The conditions of footnote (e) are also being amended to reference state requirements for such uses.
- Schools are currently permitted by right in OSD; the proposal would change this to a special land use.
- Vocational and technical training facilities are currently permitted by right in OSD, GCD and RCD; the proposal would change this to a special land use in OSD.
- Churches and similar places of worship are currently permitted by right in NSD and GCD, but not listed in RCD; the proposal would add this as a by right use in RCD. As a point of reference, this change was made so that such uses are treated the same as other assembly uses in accordance with federal law.
- Public/governmental buildings are currently permitted by right in OSD, NSD and GCD; the proposal would change it to a special land use in OSD and add it as a by right use in RCD.
- Footnotes (h) and (t) are being cleaned up with respect to utility references.
- Footnote (k) would include a reference to the hazardous material/fuel storage requirements for automobile service stations.

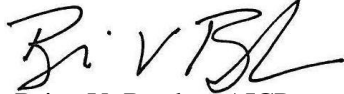
New uses

- Brewpubs would be permitted by right in GCD and RCD.
- Micro-brewery, small distillery and small winery would be added as special land uses in GCD and RCD, along with specific conditions (footnote y).
- Climate-controlled indoor commercial storage would be added as a special land use in RCD and GCD, along with specific conditions (footnote z).
- Upper floor dwelling units would be added as a special land use in OSD, NSD and GCD, along with specific conditions (footnote aa).

The proposed amendments to Article 25 are generally limited to the new uses being added to Article 7 (brewpub, climate controlled indoor commercial storage and small winery), although edits are also proposed to mini/self-storage to make a clearer distinction between those uses and the proposed use of climate-controlled indoor commercial storage.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com.

Respectfully,
SAFEBUILT STUDIO

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and fluid.

Brian V. Borden, AICP
Planning Manager

**ARTICLE 25
DEFINITIONS**

Sec. 25.01 CONSTRUCTION OF LANGUAGE

The following rules of construction apply to the text of this Ordinance:

- a. The particular shall control the general.
- b. In the case of any difference of meaning or implication between the text of this ordinance and any caption or illustration, the text shall control.
- c. The word "shall" is always mandatory and not discretionary. The word "may" is permissive, with the decision made by the Township Zoning Administrator, Planning Commission, Township Board or Zoning Board of Appeals; as indicated.
- d. Words used in the present tense shall include the future and words used in the singular number shall include the plural, and the plural the singular, unless the context clearly indicates the contrary.
- e. The word "building" includes the word "structure." The word "build" includes the words "erect" and "construct." A "building" or "structure" includes any part thereof.
- f. The phrase "used for" includes "arranged for," "designed for," "intended for," "maintained for," or "occupied for."
- g. The term "including" means "including, but not limited to" and the term "such as" means "such as, but not limited to" unless otherwise noted.
- h. The word "person" includes an individual, a corporation, a partnership, an incorporated association, or any other similar entity recognizable as a "person" under the laws of Michigan.
- i. Unless the context clearly indicates the contrary, where a regulation involves two or more items, conditions, provisions or events connected by the conjunction "and," "or," "either...or," the conjunction shall be interpreted as follows:
 - 1) "And" indicates that all the connected items, conditions, provisions or events shall apply.
 - 2) "Or" indicates that the connected items, conditions, provisions, or events may apply singly or in any combination (i.e. "or" also means "and/or").
 - 3) "Either...or" indicates that the connected items, conditions, provisions or events shall apply singly but not in combination.
- j. The terms "abutting" or "adjacent to" include property along the lot lines of the subject site including those in another community, but do not include lands separated by a public street right-of-way.
- k. The word "days" shall mean calendar days and include all weekend days and holidays.
- l. Terms not herein defined shall have the meaning customarily assigned to them.

self-serve, track mounted units and similar high volume washing establishments, but shall not include hand washing operations in an "Automobile service station."

Bar/lounge/tavern: A bar or lounge is a type of restaurant which is operated primarily for the dispensing of alcoholic beverages, although the sale of prepared food or snacks may also be permitted. If a bar or lounge is part of a larger dining facility, it shall be defined as that part of the structure so designated or operated.

Basement: The portion of a building which is partially or wholly below grade but so located that the vertical distance from the mean grade to the floor is greater than the vertical distance from the mean grade to the ceiling (see Figure 25.1). A basement shall not be counted as a story.

Bed and Breakfast Inn: Shall mean any dwelling in which overnight accommodations are provided or offered for transient guest for compensation, including provision for a morning meal only for the overnight guest only. A bed and breakfast is distinguished from a motel in that a bed and breakfast establishment shall have only one set of kitchen facilities, employ only those living in the house or up to one (1) additional employee, and have facade style consistent with surrounding homes.

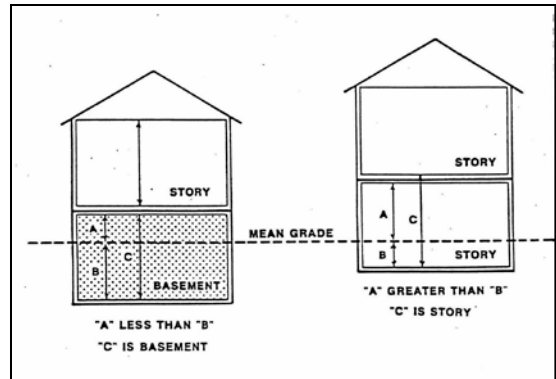


Figure 25.1 Basement

Block: The property abutting one side of a street and lying between the two nearest intersecting streets, crossing or terminating) or between the nearest such street and railroad right-of-way, unsubdivided acreage, lake, river or live stream; or between any of the foregoing and any other barrier to the continuity of development, or corporate boundary lines of the Municipality.

Block Face: Defined as and consists of those properties fronting along an existing right-of-way and located between the intersections of existing streets, or between intersections and dividers such as rivers, rail-roads, and other similar natural or man-made features.

Board of Appeals: (also referred to in this Zoning Ordinance as the Board of Zoning Appeals). The body established by the Township Board to exercise the authority granted by the Michigan Zoning Enabling Act (Public Act 110 of 2006). The jurisdiction of the Board of Appeals is described in Article 23. (as amended 12/31/06)

Brewpub: [A manufacturer and brewer of not more than 18,000 barrels of beer per calendar year in Michigan including on premise sales of the beer produced for consumption on or off the brewpub premises with appropriate state licenses.](#)

Buffer Zone: A strip of land with landscaping, berms or walls singularly or in combination required between certain zoning districts based on the landscaping standards of this zoning ordinance. The intent of the required buffer zones is to lessen visual and noise impacts.

Building: Any structure (excluding fences) either temporary or permanent, having a roof supported by columns or walls, and intended for the shelter, or enclosure of persons, animals, chattels, or property of any kind. A building shall include mobile homes, manufactured housing, sheds, garages, greenhouses, pole barns and used for the purposes of a building and similar structures. A building shall not include such structures as signs, fences or smokestacks, but shall include structures such as storage tanks, produce silos, coal bunkers, oil cracking towers, or similar structures.

[Climate-controlled indoor commercial storage: A fully enclosed multi-story temperature and humidity controlled commercial building with limited exterior access points and controlled indoor only access to individual and compartmentalized stalls or lockers for storage of customer's goods or wares.](#)

Clinic, medical: An establishment where human patients who are not lodged overnight are admitted for examination and treatment by a group of physicians, dentists, or similar professionals. A medical clinic may incorporate customary laboratories and pharmacies incidental to or necessary for its operation or to the service of its patients, but may not include facilities for overnight patient care or major surgery.

Club or fraternal organization: An organization of persons for special purposes or for the promulgation of sports, arts, sciences, literature, politics, or the like, but not operated for profit or to espouse beliefs or further activity that is not in conformance with the constitution of the United States or any laws or ordinances. The facilities owned or used by such organization may be referred to as a "club" in this ordinance.

Coffee Shop: An establishment serving coffee beverages as its primary product to a customer in a ready-to-consume state. The preparation and sale of food or snacks to customers may also be permitted. The method of operation may include indoor and/or outdoor seating and may be characteristic of a carryout or drive-through restaurant or combination thereof. (as amended 3/5/10)

Commercial vehicle: Any vehicle bearing or required to bear commercial license plates and which falls into one or more of the categories listed below:

- a. truck tractor;
- b. semi-trailer, which shall include flat beds, stake beds, roll-off containers, tanker bodies, dump bodies and full or partial box-type enclosures;
- c. vehicles of a type that are commonly used for the delivery of ice cream, milk, bread, fruit or similar vending supply or delivery trucks. This category shall include vehicles of a similar nature which are also of a type commonly used by electrical, plumbing, heating and cooling, and other construction oriented contractors;
- d. tow trucks;
- e. commercial hauling trucks;
- f. vehicle repair service trucks;
- g. snow plowing trucks;
- h. any other vehicle with a commercial license plate having a gross vehicle weight in excess of ten thousand (10,000) pounds or a total length in excess of 22 feet.

Condominium Act: Michigan Act 59 of 1978, as amended.

Condominium, Contractible: A condominium project from which any portion of the submitted land or building may be withdrawn in pursuant to express provisions in the condominium documents and in accordance with the Genoa Township Code of Ordinances and the Condominium Act, Act 59 of the Public Acts of 1978, as amended.

features affecting site design.

Lot of Record: A parcel of land, the dimensions of which are shown or, a document or map on file with the County Register of Deeds or in common use by Municipal or County Officials, and which actually exists as so shown, or any part of such parcel held in a record ownership separate from that of the remainder thereof.

Lot, Through: Any interior lot having frontage on two more or less parallel streets as distinguished from a corner lot. In the case of a row of double frontage lots, all yards of said lots adjacent to streets shall be considered frontage, and front yard setbacks shall be provided as required.

Lot, Width: The horizontal distance between side lot lines measured parallel to the front lot line at the minimum required front setback excluding private road access easement. For irregularly shaped lots with access easements or "flag lots" connecting to a public street, the minimum lot width shall be measured at the point where the narrow access connects to the main section of the parcel. This determination shall be made by the Zoning Administrator. Figure 25.12 illustrates calculation of minimum lot width for lots along curvilinear streets.

Major Thoroughfare: An arterial street, state trunkline, or roadway classified as a Primary Road by the Livingston County Road Commission, which is intended to service as a large volume of traffic, generally within a right-of-way at least eighty six (86) feet wide.

Manufactured Home: A dwelling unit which is designed for long-term residential use and is wholly or substantially constructed at an off-site location.

Master Plan: The Comprehensive Community Plan, sub area plans or corridor plans including graphic and written proposals for future land use, zoning, site design, physical development and or capital improvements.

Mezzanine: An intermediate floor in any story occupying a maximum one-third (1/3) of the story's floor area.

Microbrewer: A brewer that produces in total less than 60,000 barrels of beer per year and that may sell the beer produced to consumers at the licensed brewery premises for consumption on or off the licensed brewery premises and to retailers as provided by State Law. (as amended 09/04/18)

Mini or Self Storage Warehouse: A single-story building or group of single-story buildings in a ~~controlled access and~~ fenced compound that provides direct outdoor controlled access ~~contains varying sizes of to~~ -individual and -,compartmentalized,~~and controlled access~~ stalls or lockers for the storage of customer's goods or wares.

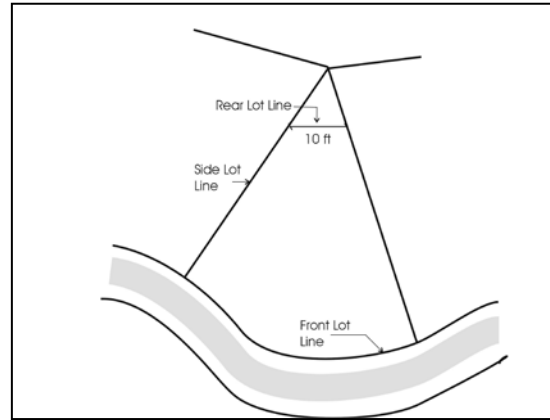


Figure 25.11 Rear Lot Line on Triangular Lot

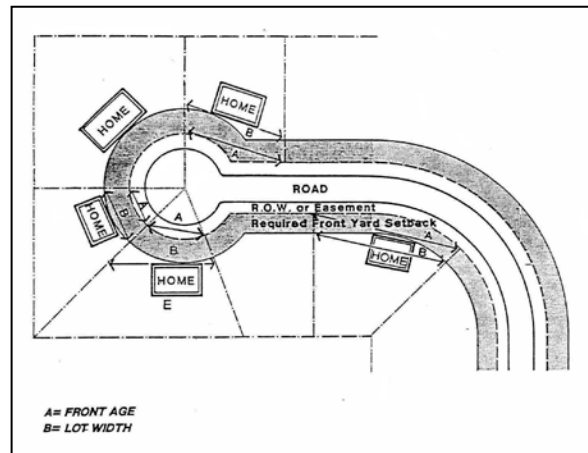


Figure 25.12 Lot Width on Curvilinear Streets

Site plan: A plan, prepared to scale, showing accurately and with complete dimensions, the boundaries of a site and the location of all buildings, structures, uses, and principal site development features proposed for a specific parcel of land, and conforming to the standards of this Ordinance.

Small distiller: A manufacturer of spirits annually manufacturing in Michigan not exceeding 60,000 gallons of spirits, of all brands combined. (as amended 09/04/18)

Small Winery: A wine manufacturer of no more than 50,000 gallons per year which involves sales to licensed wholesalers or self-distribute to retailer licensees, wine produced at the licensed winery facility, and to customers for consumption on premises at a tasting room. A Small Winery may also sell wine it manufactures at an approved tasting room off the manufacturing premises with appropriate state licenses.

Special land use: A use of land for an activity which, under usual circumstances, could be detrimental to other land uses permitted within the same district but which may be permitted because of circumstances unique to the location of the particular use and which use can be conditionally permitted without jeopardy to uses permitted within such district. Such uses are defined as "Special Land Uses" in the Michigan Zoning Enabling Act (Public Act 110 of 2006).

Stable, Commercial: A facility for the rearing and housing of horses, mules and ponies or for riding and training academies.

Stable, Private: A facility for the rearing and training of horses, ponies and mules which are owned by the occupant of the dwelling unit.

Story: That part of a building included between the surface of any floor and the surface of the floor, or roof, next above. When the distance from the average established grade to the ceiling of a story partly below such grade exceeds five (5) feet, then the basement or cellar constituting the story partially below grade shall be counted as a story (refer to Figure 25.14).

Story, Half: An uppermost story lying under a sloping roof having an area of at least two hundred (200) square feet with a clear height of seven feet six inches (7' - 6"). For the Purposes of this Ordinance, the usable floor area is only that area having at least four (4) feet clear height between floor and ceiling.

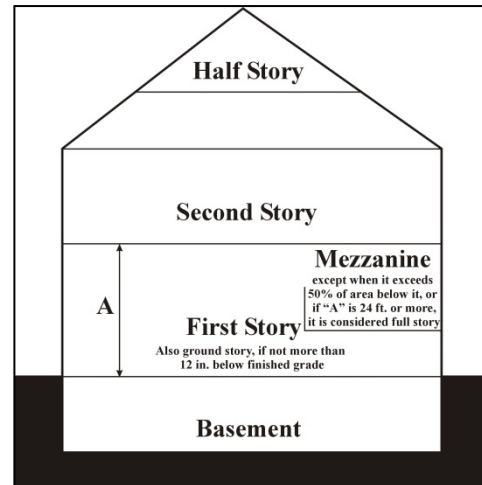


Figure 25.14 Story

Street: A dedicated public right-of-way, other than an alley which affords the principal means of access to abutting property. Various types of streets are defined below.

- a. **Arterial Street or Roadway:** A street or roadway which carries high volumes of traffic at relatively high speeds, and serves as an avenue for circulation of traffic onto, out of, or around the Genoa Township area. An arterial roadway may also be defined as a major thoroughfare, major arterial or minor arterial roadway. Since the primary function of the regional arterial roadway is to provide mobility, access to adjacent land uses may be controlled to optimize capacity along the roadway. Arterial roadways are listed in the Township Master Plan.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
MAY 13, 2019
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Jeff Dhaenens, Jill Rickard, Marianne McCreary, Jim Mortensen and Eric Rauch. Absent was Chris Grajek. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Brian Borden of SafeBuilt Studio, and Gary Markstrom of Tetra Tech. There were eight audience members present.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, seconded by Commissioner Rickard, to approve the agenda as presented.

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

OPEN PUBLIC HEARING # 1... Review of an amendment to a previously approved site plan and environmental impact assessment for a proposed 15-unit, single family site condominium located north of Cunningham Lake Road and west of Sundance Trail, known as Mountain Top Estates. The request is petitioned by Mountain Top Estates, LLC.

Mr. Wayne Perry with Desine and Mr. Steve Davis owner of the property with AdvanceCraft were present. Mr. Perry stated that they are here to seek an amendment to the approved site plan. Mr. Davis purchased the property with the intent to implement the site plan as it existed. Mr. Perry indicated it was approved with 16 units however unit 15 was removed from the project. They attempted to update the site plan to implement the plan as approved and discovered that the removal of unit 15 impacted the storm drainage and the plan could no longer work as proposed. There were multiple other deficiencies with the prior approved site plan. They are now keeping the stormwater on site and have reconfigured the road to eliminate 10,000 yards of excavation. The retention basin in the northwest corner is being increased since the one that was approved didn't meet standards of the Drain Commissioner. They corrected items from the 2006 approval related to lighting, landscaping and grading. The retention basin in the northwest and the detention basin proposed near the entrance have been revised. The detention basin is now designed as a site amenity with appropriate side slopes, eliminated fence, and added landscaping. They have approvals from Health, Drain, and Road Commission and are now seeking Township approval.

In regard to the review letters, Mr. Perry addressed the tree removal issue. He presented the 2006 approved landscape plan and showed areas of trees that were to be saved and trees to be added. Many of the trees labeled to be saved when compared to the grading plan would not have been able to be saved. He shows the succession of the plans and indicates that many of the trees were proposed to be removed and many of those planned to be saved would not have been able to be saved. The plans that were approved by the Township in 2006 show trees preserved in areas where they were not capable of being saved. Mr. Perry now proposes to expand the clearing in some areas but also they are saving trees in additional areas. The primary difference is additional clearing on lots 7 and 8 for septic fields, the berm proposed along units 6 through 8 and the storm water conveyance along the rear of Unit 4 and 5.

Chairman Brown asked when Mr. Davis took control of this property and when were the trees removed. Mr. Davis responded that they acquired the property in November 2018 and the trees were removed in March 2019. Chairman Brown questioned why they didn't get approval before clearing the trees and requests a count of the total trees that were cut should be provided. He believes the trees should be replaced.

Mr. Davis responded that he went ahead with tree clearing because he thought he had approvals since the plans already went to the Planning Commission. They started clearing based on the original plan because he thought he had approval. Mr. Perry added that the problems arise from the change from 16 to 15 units. That change altered the ability to develop the site plan that was approved. Mr. Perry states that the original 2006 plan required tree removal, the Planning Commission approved that plan and this plan also requires tree removal but they are also planning to save many of the trees and it would be unfair to make them restore trees in the short term that would just be cut to facilitate the development as proposed.

Chairman Brown indicated that he believes that once the road and utilities are installed they should plant trees to replace those trees that would have been remaining but which were removed illegally. Mr. Perry questioned if the trees that had to be cut to build the project should be replaced?

Commissioner Mortensen stated that we are dealing with trees that were cut on an expired site plan. Mrs. VanMarter responded that the site plan was not yet expired. Mr. Mortensen asked how the trees proposed for removal on the current plan compare to the clearing of trees that were not foreseen to be removed on the original now deemed non-workable plan. In other words, how does the 2006 tree removal plan compare with what is being proposed. He is headed towards requiring an enhancement of the landscaping to make up for lost trees.

Commissioner Rickard stated that without a tree survey we can't know how much of the trees were removed.

Mr. Perry responded that the answer to that question is erroneous. The plan in 2006 represented areas of trees not individual trees. He can't count the trees that were removed because they have been removed. I can show you areas that are now proposed to be saved and then also areas that were not proposed to be removed. We are taking down more trees than we are

preserving but at the same time we are preserving as much as we can and only clearing those needed for roads, storm water, and some sanitary fields.

Chairman Brown asked if there was a calculation of the number of trees to be removed in the agreement with the tree removal company. Mr. Davis responded that the tree company was based on a per acre rate, not the number of trees.

Commissioner Rickard had some questions on the grading including if the original road was designed to standards at the time also that the grading on the lots looks like additional tree removal will be needed in order to construct homes. She also asked how the property boundaries have changed with the loss of the 16th unit. Mr. Davis responded that the seller of the property wanted to keep the large barn on what was lot 16 and still lives in the existing house on Cunningham Lake Road. The land that was proposed as lot 16 was simply combined with the home property. Mr. Perry stated that the approved plan from 2006 had 24' roads and 10% road grade. They wanted to build exactly what was approved so they have kept that grade and width.

Commissioner McCreary stated that it appears misleading since you aren't showing where the homes will go and the clearing necessary for each home site. Mr. Perry responded that he has been very careful to only indicate trees to be removed during development of the roads and infrastructure. There will be additional tree removal for home sites and septic fields. They have cleared and graded 7, 8 and 10 so as not to impact drainage and or disposal fields as required by the health department. All the other lots will need trees cleared to build homes, driveways, and disposal fields.

Commissioner Dhaenens requested an explanation of the depiction on page 89 of tonight's packet. Mr. Perry responded that the plan shows what has been cleared in blue. The gray area is the additional clearing that is needed to build the project. The 2006 plans required 9.5 acres of clearing for the roads and infrastructure, they are proposing 11.7 acre of clearing.

Commissioner Rauch asked if the trees removed over the course of the last 6 months were within the tree removal plan from 2006. Mr. Perry responded that no, they removed additional trees as shown in the darker tan on the PowerPoint. Mr. Davis stated that his company has been building in this area since 1971. The tree people asked him at the time about removing additional trees. He doesn't know the configuration of the homes and won't remove the trees on each lot until they select a home layout and remove the trees necessary to build the home. They try to maintain all the trees they can. He is not opposed to something in the approval that would require that he have to plant 5 more trees on any lot after the home is built. Mr. Davis then provided a hand out about his company.

Commissioner Rauch stated that the reality of this is that those trees are coming out for the home construction anyway. What is depicted on the drawings showing tree removal is not what will end up being. We are only talking about whether these trees are staying for a few months before someone builds their house and removes them.

Commission Mortensen indicates his concern is the effect of perimeter trees coming down and the impacts on the neighbors.

Mr. Brian Borden reviewed his letter dated May 8, 2019. His primary concern is that if trees have been removed that would have provided a buffer to the adjacent property owners those trees should be replaced. In addition, the changes to the condo docs would be nice to have in red line version so I know what has changed. Mr. Perry responded that he does not know what was in the original condo documents since they didn't start with them. It is a fallacy to start with a bad set of documents so they started clean and are working from there. Mr. Borden indicated the Township Attorney should review the condo docs and there should be an analysis to confirm that the standards of the private road maintenance agreement as required by ordinance are met.

Mr. Gary Markstrom reviewed his letter dated May 7, 2019. The current length of the road is 1400 feet which exceeds the 1000 feet requirement. This is only 15 lots and if the fire department finds it acceptable, we would support the 1400 feet length. Similarly the road right of way is proposed to be 50 feet wide which is less than the required 66 feet but the ordinance allows this deviation in situations like this. Lastly, the 10% grade on the road is steeper than the standard but this is a very hilly site and to get the desired 6% grade would take more trees removed. The 10% slope is not unsafe and we support it. All these are subject to fire department approval. They will need a construction plan review phase for the private road and a spot inspection process during construction. The areas on the 2006 plans would have drained onto the adjacent owners, they have fixed that to keep all the water on site but it will stop off site drainage from impacting the neighbors. The plans comply with drain commissioner standards.

Chairman Brown asked how many lots are impacted by the 10% slope. Mr. Perry responded that all the lots are impacted because that slope is near the entrance to the neighborhood.

Commissioner McCreary has concern with the hill and sliding into the detention basin or sliding through the stop sign. During icy road conditions the steep slope could be dangerous. She questioned if there was any protection to keep someone from driving into the pond if it's icy. Mr. Perry responded that the pond will be landscaped. Commission Rickard stated that the Homeowner's Association will be responsible for maintaining the road and keeping it safe for vehicles.

Chairman Brown reviewed the Fire Department letter dated May 7, 2019. The fire department is requesting a water supply source, 4" address numbers, 26' wide road width with no parking, and reduction in the 10% slope. Mr. Perry responded that the request for water supply, 4" numbers and the 26' roads were also requested in 2016 but the Planning Commission did not require it. Mrs. VanMarter reviewed the minutes from 2016 and indicated that only the water supply requirement was excluded from the approval.

Commissioner Dhaenens stated that knowing what he knows now, he would be uncomfortable not making this Development meet current standards. We recently had the Moretti project provide a water source.

Mrs. VanMarter stated that recently a policy was discussed with the Fire Department in response to the Moretti project that all future all residential developments over 10 lots would need to provide the required water supply from the Fire Code. Since this project was approved before this

standard was in place and since the applicant is only seeking an amendment to the approved plan, the Planning Commission could determine that this project does not qualify. Commissioner Rauch stated this he believes this requirement for fire flow is completely inappropriate. This development if approved will be similar to 98% of our community. We are not risking public health safety or welfare if we allowed this as proposed.

Commissioner Mortensen stated that Townships are beginning to require this but since this one is an amendment to a pre-existing approved plan he is inclined to allow it.

Mr. Perry indicated that they can address items 2-4 in the fire department letter which includes the 26' wide road provided the water supply issue is not required.

A call to the public was made at 7:53pm with the following response:

Mrs. Bonnie Spicher of 5606 Mountain Road lives behind unit 9. She watched the trees be removed in one day with 2 machines. She doesn't think that anyone in this county ever wants to see clear cutting. She has been here 40 years and has never seen anything like it. The developer should have to do something to undo what he did. To clear cut a whole lot was unnecessary. She walked out and asked them to stop. It looked like a war zone. Some of the trees they removed 18" in diameter.

Mr. Keith Spicher of 5606 Mountain Road suggests that the Commissioners drive through copperleaf to see the impact of the clear cut. If you drive along Eggert they clear cut a few lots and it is a night and day difference. He requested clarification on that what is the tree protection fence is shown on the plan. Mr. Perry responded that it is essentially orange snow fencing. Mr. Spicher states that the original plans indicated they would be 128 feet from my property line with the tree clearing. Now they are going to be 50 feet cleared. This is not the character in the neighborhood.

Mr. John Septer of 5700 Eggert Place is concerned with the pink stakes and flags on his property. There are pink flags everywhere. He wants to know what the flags and stakes on his property mean. Mr. Wayne Perry stated that the corner of his property is where the northwest retention basin is proposed. Mr. Septer is very concerned for the impact all the tree removal will have on his property. He was considering putting his addition on his home and now is unsure if he should proceed. Mr. Perry offered to meet with Mr. Septer on site and to show him what the lines and markers are. Mr. Perry gave Mr. Septer his business card.

Commissioner McCreary indicated that she understands the concerns regarding the complete change in the look since the surrounding area was developed so long ago the trees in the area have already been reestablished and had time to grow.

The call to the public was closed at 8:11pm.

Moved by Commissioner Mortensen to recommend approval of the environmental impact assessment dated 4-5-19 for an amendment to a previously approved site plan and environmental

impact assessment for a proposed 15-unit, single family site condominium located north of Cunningham Lake Road and west of Sundance Trail, known as Mountain Top Estates.
Supported by Commissioner Dhaenens

Motion carried unanimously.

Moved by Commissioner Mortensen to recommend approval of the final condominium site plan dated 4-5-19 for an amendment to a previously approved site plan and environmental impact assessment for a proposed 15-unit, single family site condominium located north of Cunningham Lake Road and west of Sundance Trail, known as Mountain Top Estates subject to:

- 1.) The Master Deed and Bylaws be revised to add a private road maintenance agreement if the present language is not consistent with Township Ordinance subject to review by staff.
- 2.) The requirements in the Township engineer letter of March (May) 7th, 2019 will be met and the Planning Commission supports the recommendations regarding the private road length, the easement width and the grading.
- 3.) The requirements of the Brighton Area Fire Department in their letter dated May 7, 2019 shall be met with the exception of the underground water storage. This requirement is recommended for waiver in view of the fact that this is an amendment and it was not a requirement in prior site plan approvals for this site.

The motion was supported for discussion by Commission Rauch. Commissioner Rauch would like to require a minimum tree requirement for each lot included in the motion. In addition, he requests additional plantings in that area in the northwest corner in response to the comments received from the adjacent property owner this evening.

Commissioner Mortensen then adds to the motion the following:

- 4.) Additional evergreen trees shall be added around the retention pond in the northwest of the site plan and this will be reviewed by Township Staff for approval.
- 5.) Each lot shall provide the required 2 street trees per the ordinance plus an additional 3 trees shall be provided elsewhere on the lot. These trees shall be shown on a landscape plan associated with each land use permit for new homes.

The revised motion was supported by Commissioner Rickard.

Motion carried unanimously

OPEN PUBLIC HEARING #2... Consideration of Zoning Ordinance Text amendments to Article 7 of the Zoning Ordinance, entitled "Commercial and Service Districts" and discussion of supporting amendments to Article 25.

Brian Borden presents the proposed amendments to Article 7. The changes involve both modifications to existing uses as well as new uses. The first changes are modifications to existing uses. The changes include: making child care centers a permitted use in RCD and to have the ordinance meet the state requirements for outdoor play area; making schools a special land use in the OSD district rather than a permitted use; vocational and technical training to be made a special land use in the OSD district; churches would be a permitted use in RCD since we allow other types of assembly uses in RCD; public and government buildings are added as permitted use in RCD and as a special land use in office. Auto service standards are updated to ensure

compliance with environmental standards in addition to the specific use conditions. New land uses added include brewpubs which would be allowed by right in GCD and RCD; microbrewery, small distillery and small winery would be special land uses in RCD and GCD; Climate controlled indoor commercial storage would be added as a Special Land Use in RCD and GCD with specific conditions; and upper floor dwelling units is also added as a special land use in OSD, NSD, and GCD all with specific conditions.

Article 25 amendments are also included as a supplement to the changes proposed in Article 7, but they were not published so they are not included in the action items for this evening. The changes to Article 25 will be on the next meeting's agenda.

Commissioner Rauch suggested that the 25% window and the door color requirement for the climate controlled indoor storage be given discretion by the Planning Commission and that should be written into the language. Mr. Borden stated that he would prefer for the discretion and ability to deviate being clear in the ordinance.

A call the public was made at 8:59pm with the following response:

Daniel Boorstein with SVI Properties, LLC addressed the Planning Commission. He suggests that the letter he wrote can be disregarded since he hadn't fully reviewed the proposed changes to the text. The difference in what he wants to propose as climate controlled indoor storage as compared to mini-storage is that there are not exterior access overhead doors. The Township's goal should be to limit the exterior overhead doors. You may also want to set back these buildings so they aren't right over Grand River Avenue. The only concern with windows in this building is to put them facing a major thoroughfare. Also, too many windows can impact the usability of the space if you require them on the rear exterior. You should consider balancing the use with distance off the road.

Ms. VanMarter added that the proposed definitions address the suggestion for limited outdoor access.

The call to public closed was at 9:12pm.

A. Recommendation of Amendments to Article 7.

Moved by Commissioner Mortensen to recommend to the Township Board approval of the proposed amendments to Article 7 provided that the ordinance is revised in regard to the climate controlled indoor storage to include the flexibility suggested by Commissioner Rauch as discussed this evening.

Supported by Commissioner Rickard.

The motion carried unanimously.

OPEN PUBLIC HEARING #3... Discussion regarding amendments to Article 11 of the Zoning Ordinance.

Ms. VanMarter briefly reviewed the proposed changes. There are many changes proposed to this section stemming from administering and enforcing the ordinance as well as changes often requested by residents. The additional 2-feet of fence height being requested is the single most requested revision staff receives from the community. Given the late hour of the meeting she suggested that the Commissioners review the changes and get back to her if they have any questions or concerns with what is being proposed.

Commissioner Dhaenens stated that charging stations and their associated solar panels for electric cars are coming. The solar charging stations are coming to retail parking lots in addition to homes. Mr. Borden suggested that we could add solar charging stations in parking lots in Article 14.

Commissioner Rauch questioned on if the changes to the permitted projections will make restrictions on small lake lots greater. Ms. VanMarter responded that when the 5 foot reduction change to the side yard setback was made years ago, the permitted projections were not considered and now allow projections as close as 2 feet to a side property line that could cause problems for maintenance and trespass so the proposed change is to ensure there is a minimum of 3 feet of setback in situations where a projection would extend into the required side yard.

Commissioner McCreary asked if there are any ordinances about docks that regulate size, shape, placement or construction? Ms. VanMarter indicated she will research other community ordinances in lake communities.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. VanMarter stated applications have been received for the June Planning Commission meeting from Enterprise and Masonite. In addition the Article 25 amendments as discussed this evening will be on the agenda.

Approval of the April 8, 2019 Planning Commission meeting minutes

Moved by Commissioner McCreary, seconded by Commissioner Dhaenens, to approve the minutes of the April 8, 2019 Planning Commission Meeting as presented. **The motion carried unanimously.**

Member Discussion

Commissioners Dhaenens and Rauch indicated that they will not be able to attend the June Meeting. Chairman Brown may also miss June's meeting but will do his best to attend. Ms. VanMarter indicated that all remaining members would need to attend the meeting or else the meeting would need to be cancelled due to lack of quorum. Commissioner Rickard indicated she is unable to attend the July meeting.

Adjournment

Moved by Commissioner Dhaenens, seconded by Commissioner Rickard, to adjourn the meeting at 9:33 pm. **The motion carried unanimously.**

Respectfully Submitted,

Kelly VanMarter, Recording Secretary

DRAFT