

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
NOVEMBER 14, 2018 (Wednesday)
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 18-31... A request by Robert and Janette Wilk, 4770 Narrow Trail, for a side yard variance to construct a detached accessory structure.
2. 18-32... A request by Donald Terns, 5440 Sharp Drive, for a waterfront and front yard variance to construct an addition with an attached garage.
3. 18-33... A request by McCotter Architecture and Design, 1900 Euler Road, for a front yard variance to construct an addition.

Administrative Business:

1. Approval of minutes for the October 16, 2018 Zoning Board of Appeals meeting.
2. Correspondence
3. Township Board Representative Report
4. Planning Commission Representative Report
5. Zoning Official Report
6. Member Discussion
7. Adjournment



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 18-31 Meeting Date: 11-14-18 @ 6:30

PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial

Applicant/Owner: Robert & Janette Wilk Email: rwilk@indoor-outdoorremodeling.com

Property Address: 4770 Narrow Trail Phone: 248-417-8996

Present Zoning: LDR Tax Code: 4711-26-301-028

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Each application for Variance is considered individually by the ZBA. The ZBA is board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed applicant, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested: 10' Variance from west property line for new garage

2. Intended property modifications: New Home and Detach Garage

The following is per Article 23.05.03:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

4770 Narrow Trail is on a Dead end, this parcel is the last Lot on the North side. I am building my new home with a detached garage. This propoerty has approximately 25-30% wet lands so with the septic field, house and garage placement it is hard to fit with-out the 10' variance. My lot measures 44,400 sq feet, I am 840sq feet over one acre, if I was 1 acre or less I would have met the requirements. With this being a rural area I do not believe it will have any impact on the adjoining properties.
Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Narrow trail is a unique road, its one single lane with a total of (4) homes. (5) once I build my new home.

This is not a your typical subdivision, absolutely beautiful area. I would never want to make a negetive impact on this site.

(Wetlands) This is what makes my lot different from the other standard lots.

Due to my site featuring such a large ratio of wetlands to build-able area I am not able to conform to the side yard setback.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The variance will not impair light supply or add congestion of the street. Nor increase the danger of fire public safety

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The variance will not interfer, discourage or decrease adjacent property values.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 10-15-18

Signature: 



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: November 2, 2018
RE: ZBA 18-31

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#18-31
Site Address: 4770 Narrow Trail
Parcel Number: 4711-26-301-028
Parcel Size: 1.01 Acre
Applicant: Robert and Janette Wilk, 22915 Watt Drive, Farmington Hills
Property Owner: Same as Applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a side yard variance to construct a detached accessory structure.

Zoning and Existing Use: LDR (Low Density Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday October 28, 2018 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- 2018, a land use permit was issued for a new construction home.
- The parcel will be serviced by well and septic.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

Summary: The proposed project is to construct a detached accessory structure. A side yard variance is necessary to construct the structure in the applicant's location.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Sec. 11.04.01(f): (f) Required Setbacks (Detached, over one hundred twenty (120) square feet total floor area): Detached accessory buildings and structures over one hundred twenty (120) square feet of total floor area shall be at least ten (10) feet from any principal building, and at least ten (10) feet from any side or rear lot line; except as follows:

(1) On lots greater than one (1) acre detached accessory buildings and structures over one hundred twenty (120) square feet of total floor area shall meet the setback requirements for principal structures.

Sec. 03 Table 03.04.01 (LDR)

Required Side Yard Setback: 30'

Proposed Side Yard Setback: 20'

Proposed Variance Amount: 10'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

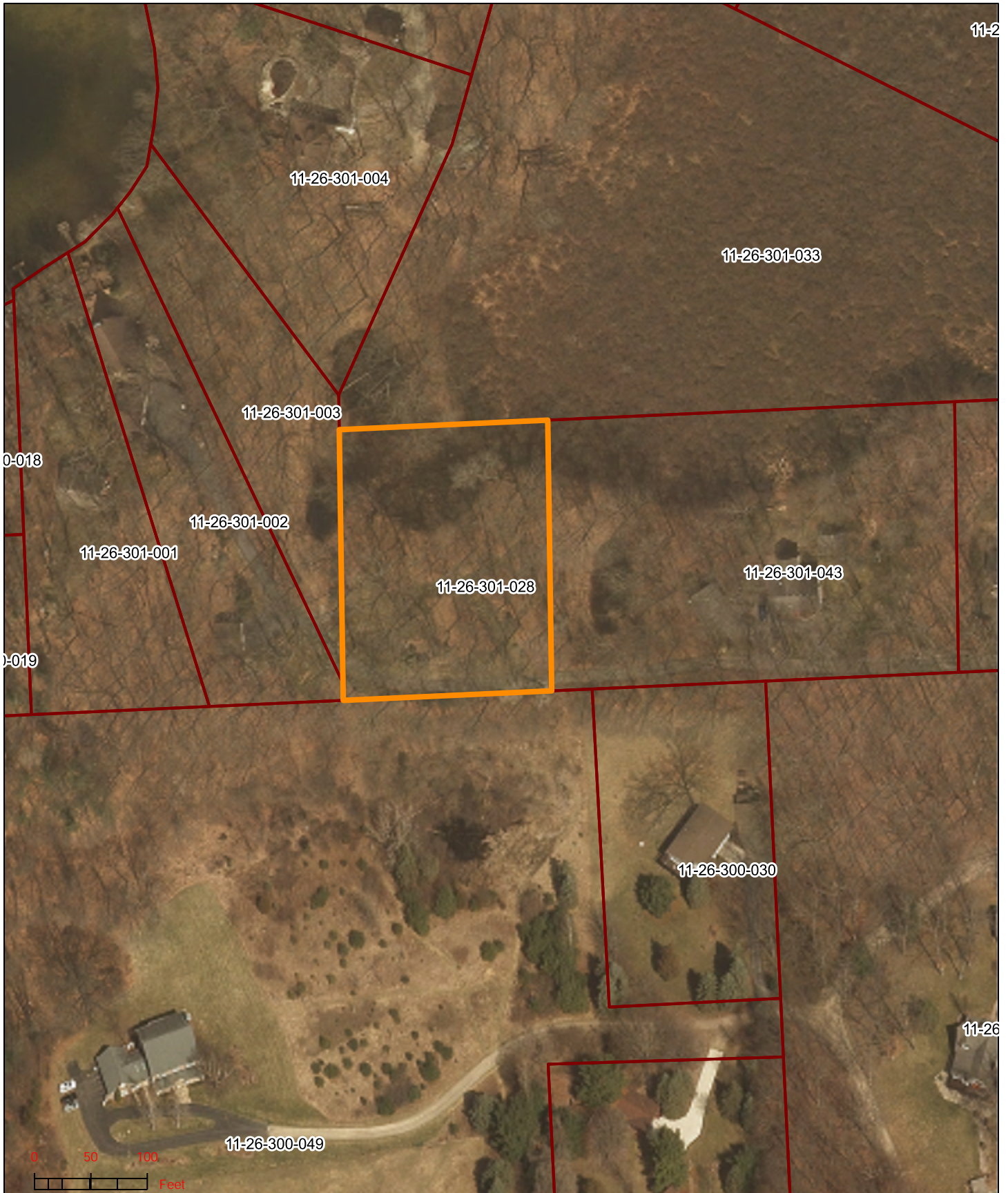
- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the side yard setback would prevent the applicant from constructing the detached accessory structure. The variance does provide substantial justice for there are quite a few detached accessory structures in surrounding area.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition is the property is the location of the septic field on the side of the proposed home, topography of the lot and wetlands located on the property. Need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Shall comply with the accessory structure requirements.
2. A 25 foot natural undisturbed buffer from the wetlands must be maintained at all times.
3. The detached accessory structure cannot be utilized until Certificate of Occupancy of the home is received.

GENOA TOWNSHIP

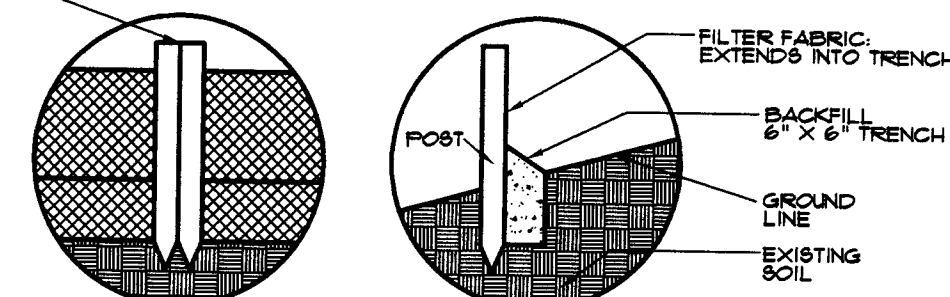


GENERAL CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS, USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE ARCHITECT IMMEDIATELY FOR DIRECTION.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS, INCLUDING UNDERGROUND UTILITIES AND FIELD MEASUREMENTS AT THE JOB SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
 - ALL POURED CONC. FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW PROPOSED FINISH GRADE, AND SHALL BEAR ON UNDISTURBED SOIL. ADDITIONAL DEPTH MAY BE REQUIRED BY SOIL CONDITIONS. ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF IS ASSUMED FOR FOOTINGS UNLESS INDICATED OTHERWISE. VERIFICATION OF ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF IS THE RESPONSIBILITY OF THE CONTRACTOR. QUESTIONABLE CONDITIONS TO BE INVESTIGATED BY A QUALIFIED SOIL ENGINEER.
 - PROVIDE NECESSARY SHEATHING, SHORING, BRACING, AND ALL TEMPORARY SUPPORTS AS REQUIRED DURING EXCAVATIONS TO PROPERLY SUPPORT SIDES OF EXCAVATIONS.
 - PROTECT ALL EXISTING WORK AND WORK IN PROGRESS.
 - COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR ALL SAFETY PROVISIONS.
 - ALL CONCRETE TO ACHIEVE COMPRESSIVE STRENGTH OF 3000 PSI AT 28-DAY TEST. EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 5% PLUS OR MINUS 1%.
 - CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. PLACE ALL CONCRETE WITHOUT ADDING WATER TO THE TRANSPORT MIX CONCRETE SLUMP + 3" - 4".
 - ALL REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60, FABRICATED AND ERECTED ACCORDING TO ACI STANDARDS.
 - WEILED WIRE FABRIC SHALL BE FURNISHED IN FLAT SHEET AND SHALL CONFORM TO ASTM A-185 AND SHALL HAVE A MINIMUM SIZE AND END LAP OF 8".
 - THE ROUGH CARPENTRY CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE START OF FABRICATION OR CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - ALL LUMBER AND FRAMING TECHNIQUES SHALL CONFORM TO APPLICABLE SECTIONS OF THE LATEST SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS. ALL WORK SHALL CONFORM WITH THE TRUSS PLATE INSTITUTE, AMERICAN PLYWOOD ASSOCIATION, TRUSS JOIST MACMILLAN AND THE NATIONAL AND THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 - ALL FLUSH BEAMS AND JOIST CONNECTIONS SHALL BE FASTENED WITH AN APPROPRIATE CAPACITY METAL HANGER OR STRAP (NO JOIST ANGLE) OR EQUIVALENT METAL PRODUCT AS APPROVED BY A STRUCTURAL ENGINEER AND (1) TOE NAIL (16d) FOR EACH 1000 LBS. OF AXIAL LOAD OR EACH SUPPORT STUD. POST BASE AND SUPPORT SHALL PROVIDE SUFFICIENT BEARING WITH ENGINEER APPROVED METAL CONNECTOR AND/OR TWO (2) TOE NAILS FOR EACH 1000 LBS. OF AXIAL LOAD OR SUPPORT STUD.
 - ALL LUMBER BEARINGS SHALL PROVIDE SUFFICIENT AREA SO AS NOT TO EXCEED 430 PSI.
 - ALL SHEATHED STUDS SHALL BE LIMITED TO 2250 LBS. OF AXIAL LOAD.
 - ALL FLOOR JOISTS, RAFTERS, STUDS, CEILING JOIST, AND BLOCKING TO BE 2" OR BETTER HEM FIR UNLESS OTHERWISE NOTED. FLOOR JOISTS TO HAVE 1 X 3 CROSS BRIDGING 8'-0" ON CENTER.
 - ALL BUILT UP WOOD POSTS, BEAMS AND GIRDERS SHALL BE NAILED AND/OR BOLTED PER N.D.S.
 - ROOF TRUSS MANUFACTURER TO SUPPLY THE ARCHITECT WITH TRUSS SHOP DRAWINGS PRIOR TO FABRICATION.
 - ROOF TRUSS FRAMING INDICATED ON THE DRAWINGS IS AN ASSUMED LAYOUT. TRUSS MANUFACTURER SHALL REVIEW THE DRAWINGS AND INDICATE TO THE ARCHITECT, PRIOR TO FABRICATION, ANY CHANGE IN BEARING CONDITION THAT WOULD REQUIRE RE-FRAMING THE STRUCTURE TO ACCOMMODATE THE TRUSSES.
 - ROOF TRUSS DESIGN SHALL BE BY TRUSS MANUFACTURER AND SHALL CONFORM TO DESIGN LOAD REQUIREMENTS LISTED BELOW. BRACE ALL ROOF TRUSSES PER MANUFACTURER'S SPECIFICATIONS.
- | | | |
|--------------|-----------|--------|
| TOP CHORD | LIVE LOAD | 30 PSF |
| | DEAD LOAD | 1 PSF |
| BOTTOM CHORD | LIVE LOAD | 0 PSF |
| | DEAD LOAD | 12 PSF |
| | TOTAL | 41 PSF |
- NAILING SCHEDULE FOR PLYWOOD SHEATHING: 16d NAILS AT 6" ON CENTER, AT DIAPHRAGM BOUNDARY AND ALONG END SUPPORTING MEMBERS, 12d NAILS AT 12" ON CENTER ALONG INTERMEDIATE FRAMING MEMBERS.
 - MICRO-LAM BEAMS (LVL'S) SHALL BE BY "TRUSS JOIST MACMILLAN" OR EQUAL. ALL BEAMS JOINED TOGETHER SHALL BE PER MANUFACTURER'S SPECIFICATIONS. NO SUBSTITUTIONS SHALL BE ACCEPTABLE WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
 - INSTALL DOUBLE FLOOR JOISTS UNDER ALL UPPER FLOOR LEVEL PARALLEL PARTITIONS.
 - BUILDER SHALL PROVIDE METAL DIAGONAL CORNER AND WIND BRACING AT CORNERS PER CODE 'X' AND 'K' SHAPED BRACINGS ARE ACCEPTABLE.
 - ALL WINDOW NUMBERS REFER TO MANUFACTURER INDICATED ON THE PLANS. IF AN ALTERNATE WINDOW MANUFACTURER IS USED, ALL SIZES AND SIZES SHALL MATCH IN ALL DIMENSIONS. EVERY SLEEPING RM. SHALL BE PROVIDED WITH AN OPERABLE EGRESS WINDOW. THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. THE WINDOW WHEN OPEN SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20" AND MINIMUM NET CLEAR OPENING HEIGHT OR AT LEAST 24" PER THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES AND WEEP HOLES PER CURRENT CODE, AS OUTLINED IN THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - ALL STAIRWAYS, STAIRWAY GUARDS, HANDRAILS, BALUSTERS, HEADROOM DIMENSIONS, RISERS AND TREADS SHALL COMPLY WITH ALL CODE REQUIREMENTS AS OUTLINED IN THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - PROPERLY VENTILATE ROOF SO THERE IS A CROSS-VENTILATION WITH ROOF VENTS AND SOFFIT VENTS PER THE CURRENT MICHIGAN BUILDING CODE. CONTINUOUS ROOF RIDGE VENT SHALL BE BY MID-AMERICA BUILDING PRODUCTS, PLYMOUTH, MICHIGAN (800) 921-8416. PROVIDE AN UNDERLAYMENT OF 5/8" FELT UNDER ASPHALT SHINGLES AND A LAYER OF GRADE ICE AND WATER SHIELD FROM LEAVE TO ENTIRE LENGTH OF ROOF (100% OF ROOF ENTIRELY). SEE WALL SECTION FOR ICE SHIELD DETAIL.
 - INSULATION IS TO BE VAPOR BARRIER ON THE WARM SIDE SURFACE. NET FREE VENTILATION AREA EQUIVALENT TO 1/200th OF THE AREA BEING VENTILATED. 50% OF THAT AREA SHALL BE IN THE UPPER PORTION OF THAT SPACE.
 - ALL CONCRETE FLAT WORK SHALL BE PLACED ON 4" OF COMPACTED SAND.
 - PROVIDE ALL NECESSARY UNDERPINNING AND BRACING AS REQUIRED TO PROPERLY INSTALL NEW FOOTINGS.
 - PROVIDE WATERPROOFING ASPHALTIC FARSING COATING BELOW GRADE F REQUIRED.
 - THE CONTRACTOR SHALL PROVIDE WRITTEN CHANGE ORDERS DOCUMENTING ADDITIONAL WORK OR DELETION OF WORK, PRIOR TO THE CHANGE EFFORT ON THE JOB.
 - LOTS AND STREET SHALL BE MAINTAINED FREE OF DIRT AND DEBRIS DURING CONSTRUCTION.
 - PLASTER AND TAR ALL BRICK BELOW GRADE.
 - PROPERLY VENT CRAIL SPACES PER STATE MECHANICAL CODE.
 - BATH FANS TO BE VENTED TO EXTERIOR.
 - HANDRAIL GRIP SIZE SHALL NOT EXCEED A MAXIMUM HORIZONTAL CROSS-SECTIONAL DIMENSION OF 2 5/8" PER THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - BALCONY GUARDS SHALL BE BALUSTERS SPACED NO FARTHER THAN 4" APART PER THE REQUIREMENTS OF THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - PROVIDE 2X10 DOUBLE HEADER AT ALL INTERIOR DOOR OPENINGS AND 2X10 TRIPLE HEADER AT ALL EXTERIOR DOOR AND WINDOW OPENINGS (UNLESS OTHERWISE SPECIFIED).
 - PROVIDE METAL STRAPPED UNDERBRACING AT EACH END OF EXTERIOR WALLS (TYPICAL).
 - PROVIDE ELECTRICALLY POWERED SMOKE DETECTORS ON EACH LEVEL, IN EACH BEDROOM, AND BEDROOM HALLWAYS. UNITS ARE TO BE WIRED SO IF ONE SOUNDS, THEY ALL SOUND. ALL SHALL HAVE BATTERY BACK UP PER THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE SECTION R311.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - FIRESTOP ALL DROPS & CHASES, ELECTRICAL PLUMBING & HEATING APPROVED FIRESTOP MATERIAL REQUIRED FOR ALL DROPS & FLOOR OR CEILING PENETRATIONS AS OUTLINED IN THE CURRENT MICHIGAN RESIDENTIAL BUILDING CODE.
 - DESIGN LOADS:
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 5 PSF
FLOOR LIVE LOAD = 40 PSF
FLOOR DEAD LOAD = 15 PSF
WIND LOAD = 20 PSF
 - INSULATION R-VALUES SHALL COMPLY WITH TABLE N1021, OF THE 2003 MICHIGAN UNIFORM ENERGY CODE, UNLESS OTHERWISE NOTED.
 - PROVIDE ON-SITE DUMPSTER THROUGHOUT THE DURATION OF THE WORK.
 - PROVIDE ON-SITE PORTABLE "PORT-A-JOHN" THROUGHOUT THE DURATION OF THE WORK.
 - PAINT ENTIRE INTERIOR AND EXTERIOR OF HOME. EXTERIOR SIDING AND TRIM TO BE PAINTED WITH ONE COAT PRIMER AND TWO COATS FINISH WITH BENJAMIN MOORE PREMIUM PAINT OR OWNER'S EQUAL. SPECIFICATION SHOULD INCLUDE THREE COLORS AND COMPLETE CALLING BOTH EXTERIOR AND INTERIOR INTERIOR CEILING TO BE FLAT FINISH, WALLS IN EGG SHELL AND ALL TRIMS AND CASINGS IN HIGH GLOSS "PEARL" FINISH.
 - ALL ENGINEERED WOOD PRODUCT DOCUMENTATION I.E. TRUSSES, JOIST ETC. WILL BE REQUIRED TO BE SUBMITTED PRIOR TO OR AT THE ROUGH FRAME INSPECTION.
 - AN INSULATION CERTIFICATE IS REQUIRED TO BE SUBMITTED PRIOR TO THE CERTIFICATE OF OCCUPANCY INCLUDING ANY BLOWN IN PRODUCT.

GEOTEXTILE SILT FENCE

WHEN JOINING TWO OR MORE SILT FENCES THE TWO END POSTS TOGETHER WITH TILTON CORNER.



NOTE: THIS PLOT PLAN WAS PREPARED BASED ON INFORMATION PROVIDED BY THE OWNER, CONTRACTOR AND/OR CIVIL ENGINEER AND IS SCHEMATIC ONLY FOR IDENTIFICATION PURPOSES (SEE CIVIL DRAWINGS BY OTHER).

NOTE: KEVIN HART AND ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ANY CHANGES MADE TO THIS DRAWING IN THE FIELD.

NOTE: THIS DRAWING IS NOT INTENDED OR REPRESENTED TO BE A LAND OR PROPERTY LINE SURVEY. THIS DRAWING IS NOT TO BE USED FOR THE ESTABLISHMENT OF ANY PROPERTY LINES OR OTHER IMPROVEMENTS.

NOTE: THIS PLOT PLAN WAS PREPARED IN THE OFFICE. FIELD WORK WAS PERFORMED. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL APPLICABLE CODES AND OR ORDINANCES.

NOTE: TYPE OF PERMANENT VEGETATIVE RESTORATION WILL BE SEED/MULCH PER BUILDER UNLESS SPECIFIED OTHERWISE.

SOIL EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

- SOIL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE STATE AND COUNTY BUILDING OFFICIALS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS SHALL MEAN BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM SEWER DRAINS, LAKES, PONDS, AND WETLANDS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED AS A DEFENSE AGAINST TRANSPORTING OF SILT OFF THE SITE.
- CONTRACTOR SHALL APPLY FOR TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPE, CHANNELS, DITCHES OR DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 9 CALENDAR DAYS AFTER FINAL GRADING OF THE FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED, OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
- MUD/DIRT TRACKED ONTO EXISTING TOWNSHIP/COUNTY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- MUD /DIRT TRACKED OR SPILLED ON PAVED ROADS/SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION DEPOSIT BY THE CITY AND BY THE COUNTY IF APPLICABLE.
- SOIL BORING REPORTS ARE TO ACCOMPANY THIS APPLICATION FOR SOIL EROSION SEDIMENTATION CONTROL PERMIT.

NOTE: TYPE OF PERMANENT VEGETATIVE RESTORATION WILL BE SEED/MULCH PER BUILDER UNLESS SPECIFIED OTHERWISE.

NOTE: SOIL EROSION CONTROL MEASURES WILL BE INSTALLED BY BUILDER AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORY EVENT.

SEQUENCE OF EROSION AND SEDIMENTATION CONTROL OPERATIONS

- PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION, A DEFENSE AGAINST EROSION AND SEDIMENTATION SHALL BE INSTALLED AS INDICATED ON DRAWINGS. DEFENSE SHALL CONSIST OF STONE FILTERS OR SILT FENCE AS SHOWN. AFTER TREE REMOVAL ADDITIONAL SILT FENCE SHALL BE INSTALLED IF REQUIRED, AS DIRECTED BY THE MUNICIPALITY.
 - DURING CONSTRUCTION OF THE STORM SEWER SYSTEM, THE END OF OPEN-END PIPES SHALL BE PROTECTED WITH STORM FILTERS, SILT FENCE OR OTHER APPROVED METHOD.
 - PROMPTLY UPON BACKFILLING OF STORM STRUCTURES, INLET FILTERS SHALL BE REPLACED AROUND THE STRUCTURE PER DETAIL.
 - WHEN INLET FILTERS ARE REMOVED FROM AROUND PAVEMENT CATCH BASINS TO ALLOW FOR STRIPPING, GRADING AND PAVING, STORM SEWER STRUCTURES SHALL BE PROTECTED FROM ERODING EARTH AND SEDIMENT AT ALL TIMES.
 - WITHIN 30 DAYS AFTER COMPLETION OF PAVING, GAS, ELECTRICAL TELEPHONE AND SANITARY BEWER INSTALLATION, A 15 FOOT STRIP AROUND PAVED AREAS SHALL BE PROTECTED FROM EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROUNDING SEASON.
 - WITHIN 9 DAYS AFTER COMPLETION OF FINAL GRADING, DENDED AREA SHALL BE PROTECTED BY AN APPROVED METHOD CONSISTENT WITH THE GROUNDING SEASON. SEED + MULCH FOR PERMANENT CONTROL WITH A SUGGESTED MIXTURE OF:
50% PERENNIAL RYE
25% KENTUCKY BLUEGRASS
25% CREEPING RED FESCUE
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION:
A. INSTALL SILT FENCE AS SHOWN ON PLANS.
B. STRIP AND STOCKPILE TOPSOIL AND GRADE SITE.
C. INSTALL STORM SEWERS.
D. INSTALL PAVEMENT, REPAIR STORM FILTERS AS REQUIRED.
E. INSTALL PUBLIC UTILITIES (GAS, TELEPHONE, ELECTRICAL).
F. FINISH GRADE, REDISTRIBUTE TOP SOIL, ESTABLISH VEGETATION + LANDSCAPE.
G. CLEAN PAVEMENT, CULVERTS, DITCHES, WATERCOURSES, AND STORM SEWER SYSTEMS OF ACCUMULATED SEDIMENT IN CONSTRUCTION WITH REMOVAL OF TEMPORARY DEVICES.
H. PERMANENT STABILIZATION OF THE SITE IS TO BE ACCOMPLISHED WITHIN (5) DAYS OF FINAL GRADING.

LOT COVERAGES:

* BUILDING COVERAGE = 44,400.0 SQ. FT. LOT
+ 3,434.2 SQ. FT. PROVIDED OR 7.7% OVERALL

* OPEN AREA = 44,400.0 SQ. FT. LOT
+ 40,965.8 SQ. FT. PROVIDED OR 92.3% OVERALL

SETBACKS: (R-3)

FRONT SETBACK: 50.0'
SIDE SETBACKS: 30.0'
Accessory Structure: 10.0'
REAR SETBACK: 60.0'

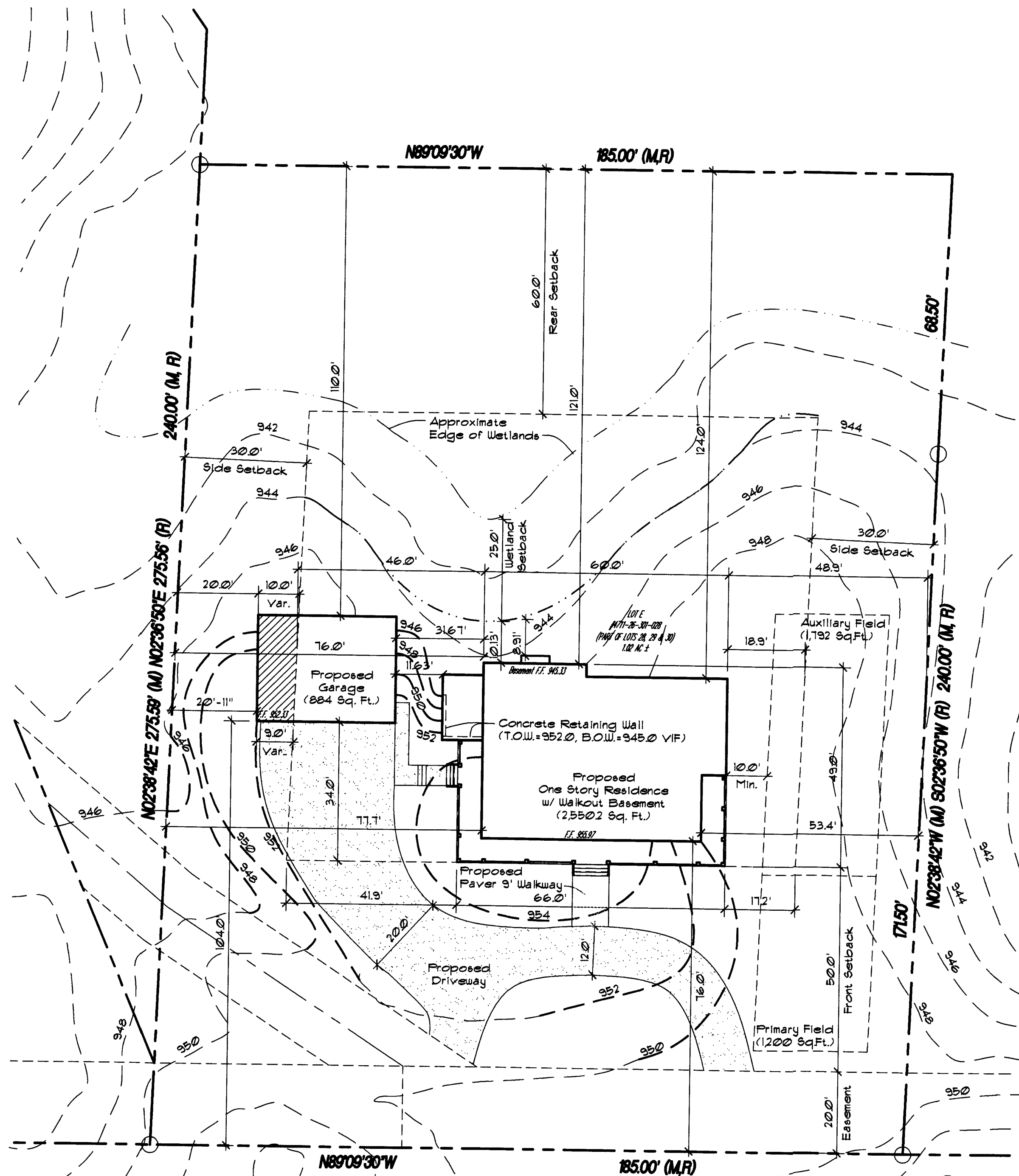
ZONE: R-3
USE GROUP: R-3
CONSTRUCTION TYPE: 5B COMBUSTIBLE UNPROTECTED

PROPERTY DESCRIPTION

4711-26-361-028
PER LIVINGSTON COUNTY TAX ROLL:
SEC 26 T2N R5E BEG AT THE SW COR OF LOT D OF THE SUPERVISORS PLAN OF FOREST BEACH, TH 185 FT, N 89°09'30"W ALONG THE S LINES OF LOTS 28 & 29 TO THE SW COR OF LOT 28, TH 240 FT, N 23°56'50"E, TH 89 FT S 89°09'30"E + TH 240 FT, S 23°56'50"E TO THE POB, IAC T.M. SPLIT FROM LOTS 28, 29 & 30 OF FOREST BEACH SUB. LOT E CORR 1/11

VARIANCE: DIMENSIONAL

DISTANCE BETWEEN (SETBACK)	Required	Proposed	Amt. of Variance
	30.0'	20.0'	10.0'



SITE PLAN
SCALE: 1" = 20'-0"
NORTH

PLEASE DO NOT SCALE DRAWINGS
COPY 4/18
Kevin Hart and Associates, Inc.
10000 E. 14th Avenue, Suite 100
Denver, CO 80231
Phone: 303.751.1100
Fax: 303.751.1101
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ISSUED FOR:
07-13-18
08-02-18
09-25-18
10-11-18

WILK RESIDENCE
NARROW TRAIL, BRIGHTON MI

CLIENT:
JANETTE AND ROBERT WILK
22915 Watt Drive
Farmington Hills MI 48336
248.411.8996

SITE PLAN

SHEET NO.
A-1

PLEASE DO NOT SCALE DRAWINGS
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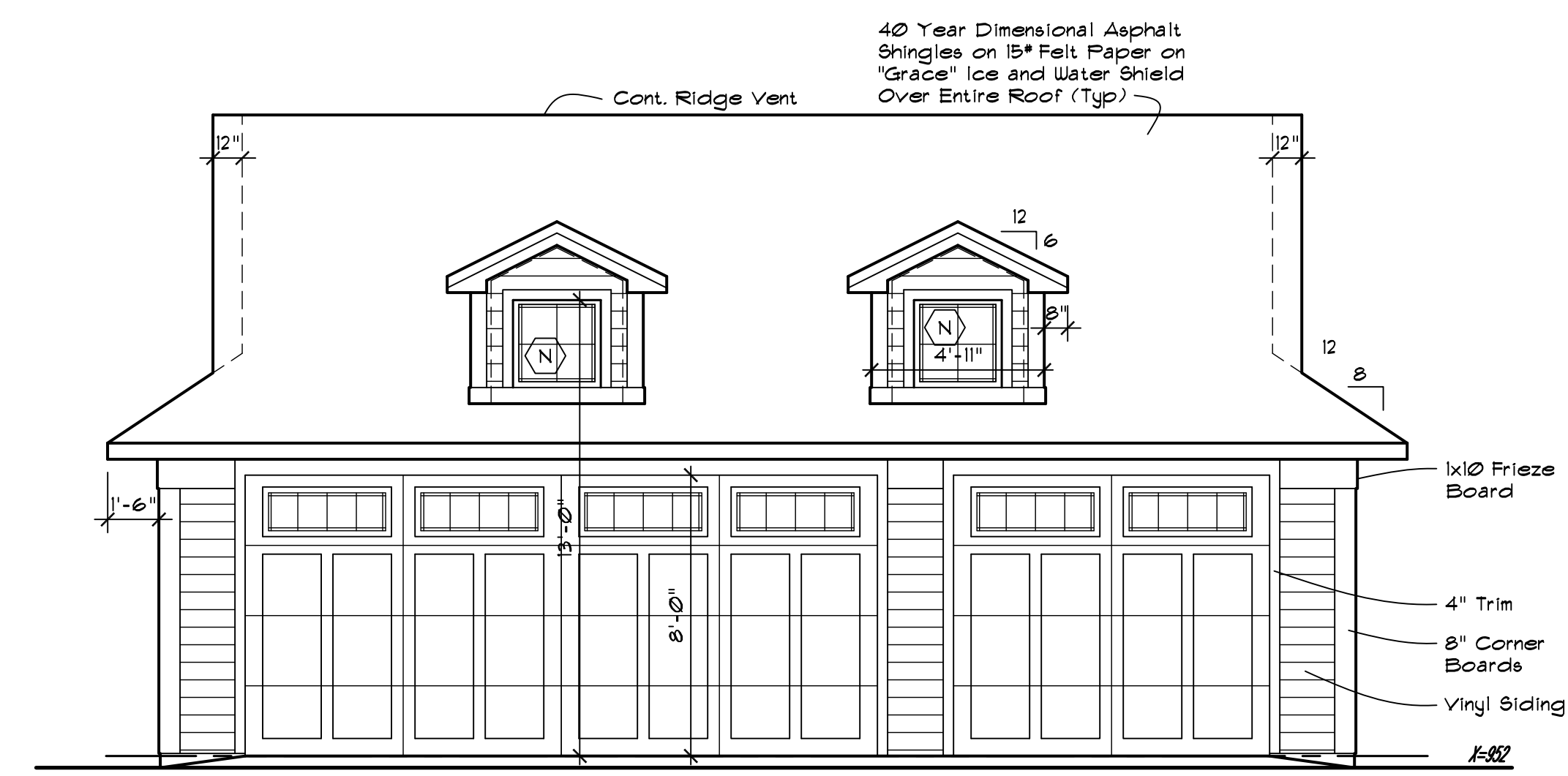
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WILK RESIDENCE
 NARROW TRAIL, BRIGHTON MI

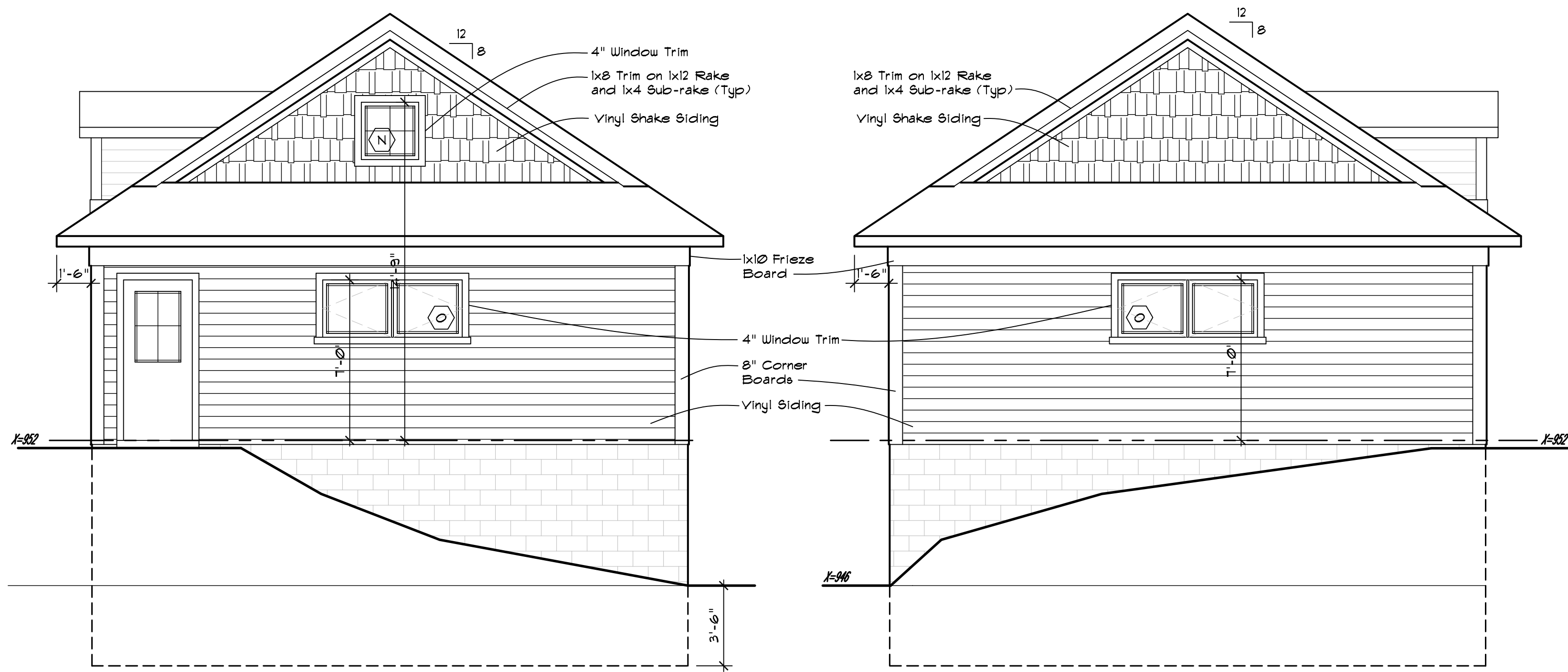
CLIENT:
 JANETTE AND ROBERT WILK
 22915 Watt Drive
 Farmington Hills MI 48336
 248.411.8996

GARAGE PLANS
 & ELEVATIONS

SHEET NO.
 A-7

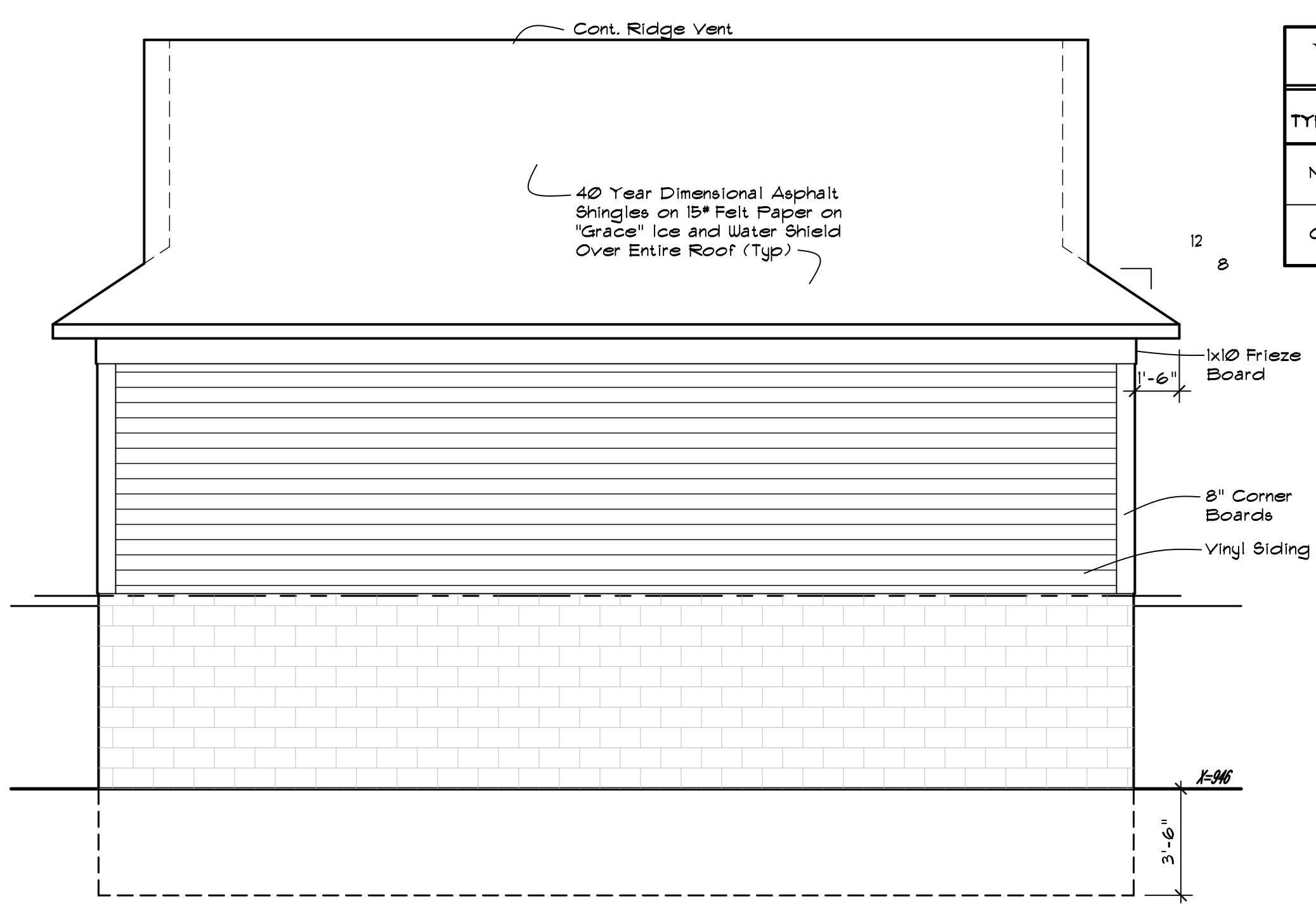


SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



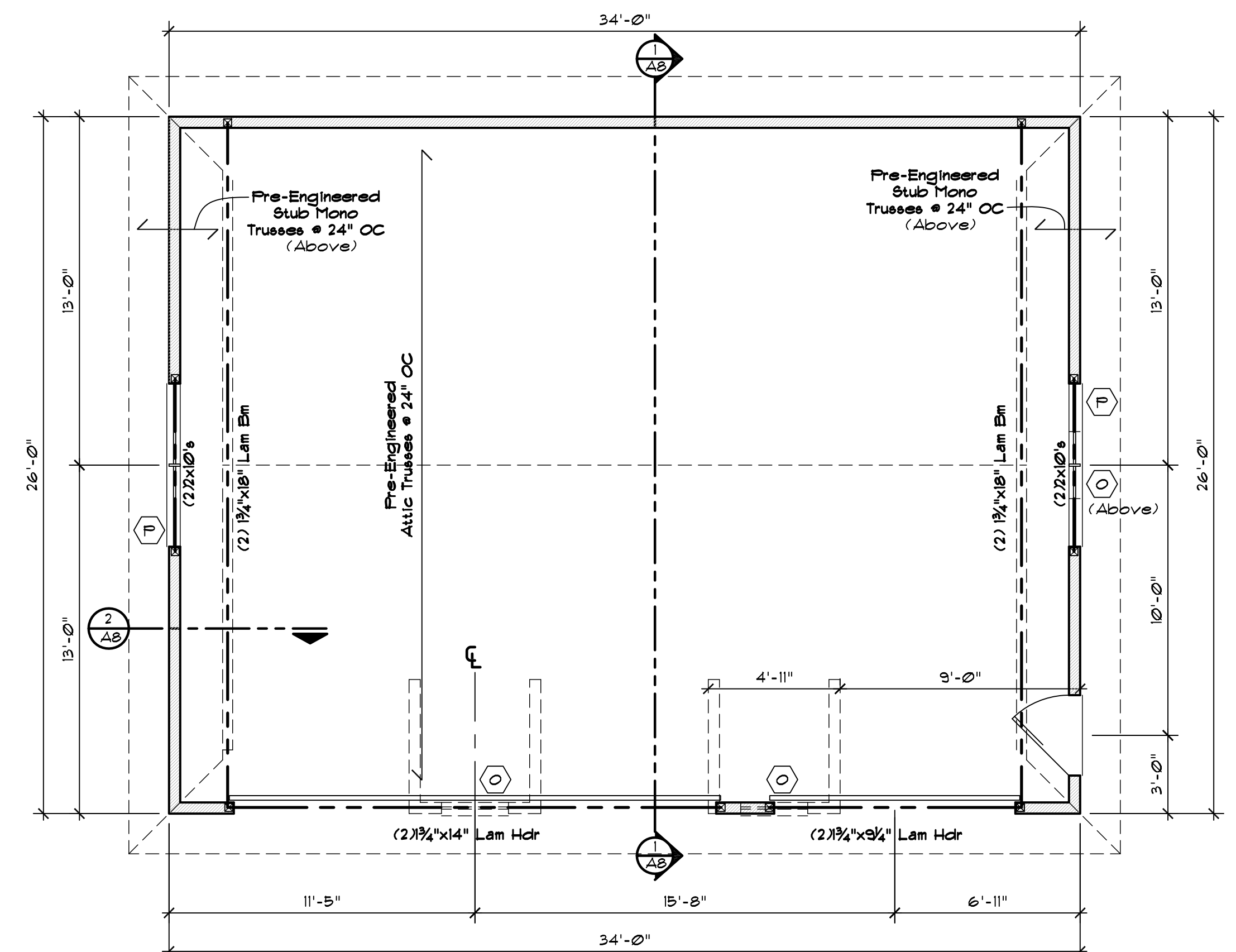
EAST ELEVATION
 SCALE: 1/4" = 1'-0"

WEST ELEVATION
 SCALE: 1/4" = 1'-0"

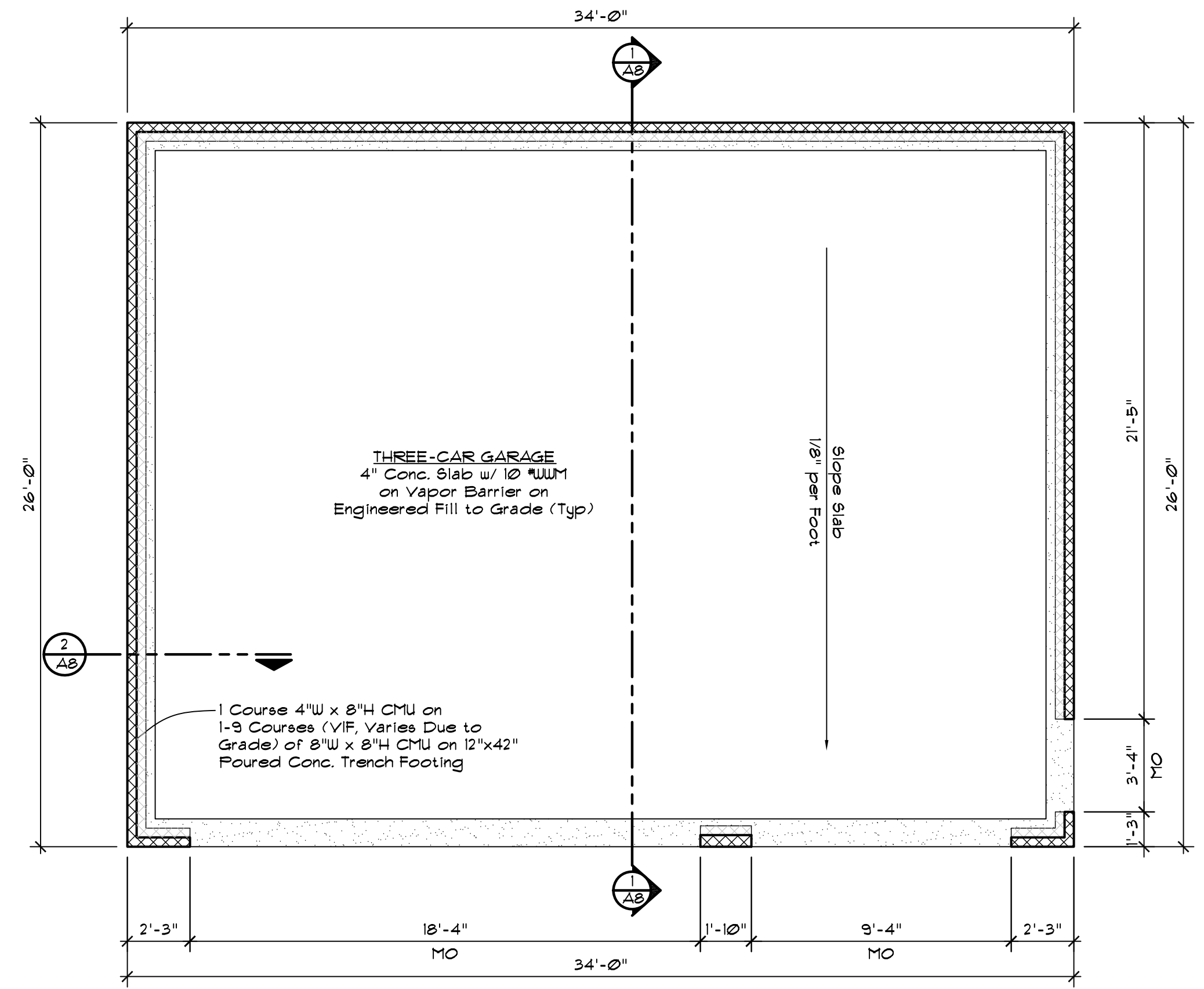


NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE (Garage)					
TYPE	NO.	SIZE RO.	WINDOW NO.	TYPE	MANUFACTURER
N	3	2'-6" x 2'-6"	CS1-2626	ALUMINUM CLAD-WOOD CASEMENT (Fixed)	WEATHER SHIELD SIGNATURE SERIES
O	2	6'-1" x 2'-6"	CS2-3026	ALUMINUM CLAD-WOOD 2-WIDE CASEMENT	WEATHER SHIELD SIGNATURE SERIES



PROPOSED GARAGE PLAN
 SCALE: 1/4" = 1'-0"
 884 SQ. FT.



PROPOSED GARAGE FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

Elizabeth Wilk
 06/20/2019 9:13 AM
 Wilk_A-7 Rev. A-13.dwg

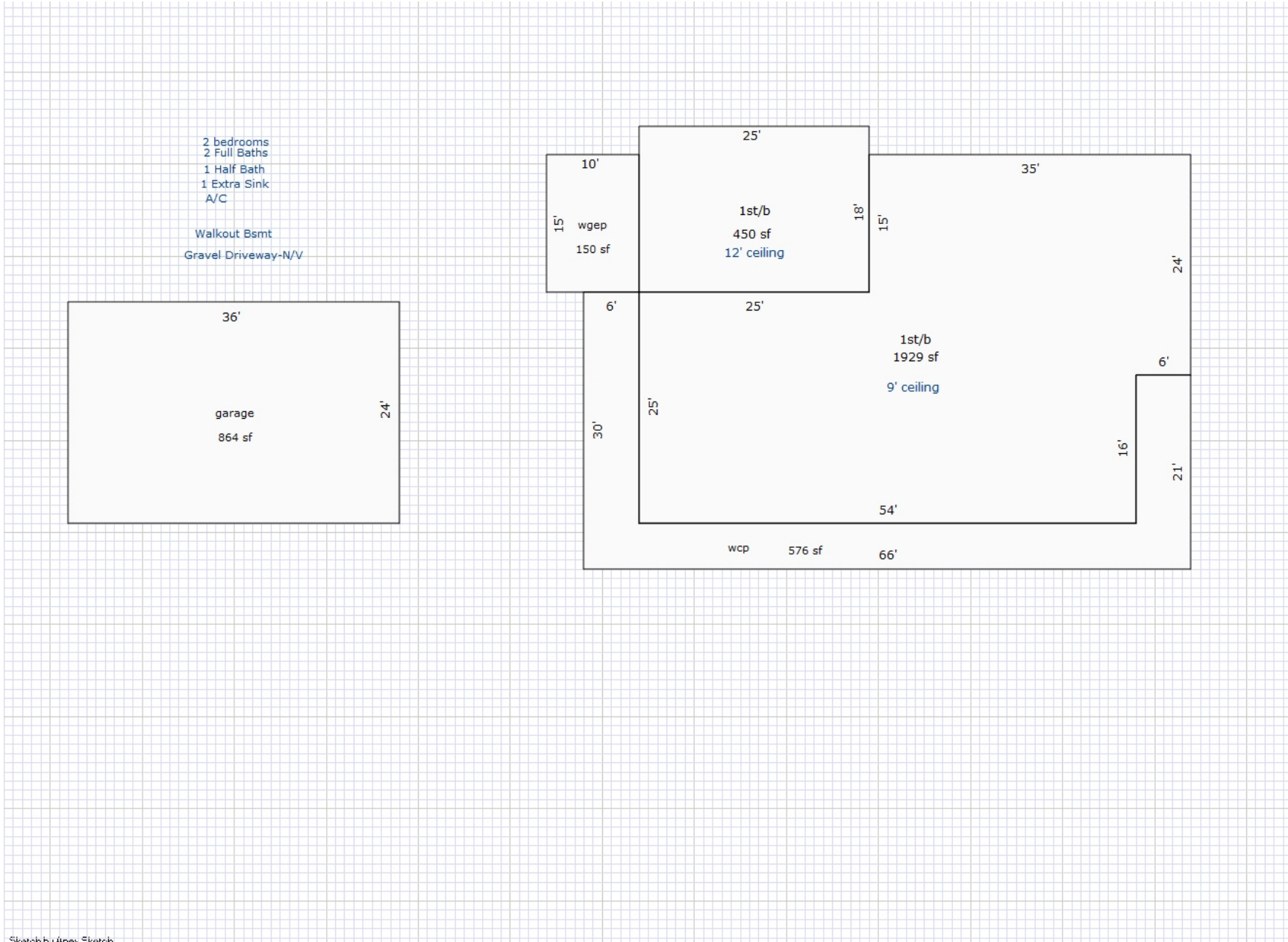
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
STANAWAY, RONALD & CAROL	WILK ROBERT & JANETTE	60,000	12/01/2017	WD	ARMS-LENGTH	2017R-035716	BUYER	100.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LDR	Building Permit(s)	Date	Number	Status		
VACANT		School: BRIGHTON		Residential New Constructi		10/02/2018	P18-185			
Owner's Name/Address		P.R.E. 0%		MAP #: V18-31						
WILK ROBERT & JANETTE 22915 WATT DR FARMINGTON HILLS MI 48336		2019 Est TCV Tentative		Land Value Estimates for Land Table 00026.FOREST BEACH						
Tax Description		X	Improved	Vacant	* Factors *					
SEC 26 T2N R5E BEG AT THE SW COR OF LOT D OF THE SUPERVISORS PLAT OF FOREST BEACH, TH 185 FT, N 89*09'30" W ALONG THE S LINES OF LOTS 29 & 28 TO THE SW COR OF LOT 28, TH 240 FT, N 2*36'50"E, TH 185 FT S 89*09'30"E & TH 240 FT, S 2*36' 50"W TO THE POB, 1AC M/L, SPLIT FROM LOTS 28, 29 & 30 OF FOREST BEACH SUB, LOT E CORR 11/17		X	Public Improvements		Description	Frontage	Depth	Front Depth	Rate %Adj. Reason	Value
Comments/Influences		Dirt Road		STANDARD ACREAGE		1.000 Acres	60,000	100		60,000
		Gravel Road		1.00 Total Acres		Total Est. Land Value =		60,000		
		Paved Road								
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
Who		When	What	2019	Tentative	Tentative	Tentative	Tentative		
LM 05/11/2018 REVIEWED R				2018	30,000	0	30,000	30,000S		
				2017	30,000	0	30,000	15,993C		
				2016	30,000	0	30,000	15,851C		

The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame	X	Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	Year Built:	Car Capacity:	
X	Wood Frame	X	Drywall Paneled		Plaster Wood T&G			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling							Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	
Building Style: BC		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Class: BC Effec. Age: 0 Floor Area: 0 Total Base New : 0 Total Depr Cost: 0 Estimated T.C.V: 0			E.C.F. X 1.152		Bsmnt Garage:	
Yr Built 2018	Remodeled 0	Size of Closets		(13) Plumbing			Notes:			Cost Est. for Res. Bldg: 1 Single Family BC (11) Heating System: Forced Heat & Cool Ground Area = 0 SF Floor Area = 0 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=100/100/100/100/100 Building Areas Stories Exterior Foundation Size Cost New Depr. Cost Other Additions/Adjustments Totals: 0 0 ECF (4012 FOREST BEACH) 1.152 => TCv: 0					Carport Area: Roof:	
Condition: Good		Doors: Lg X Ord Small		No./Qual. of Fixtures			No. of Elec. Outlets									
Room List		(5) Floors		Ex. X Ord. Min			Many X Ave. Few									
Basement 1st Floor 2nd Floor Bedrooms		Kitchen: Other: Other:		(7) Excavation			(8) Basement									
(1) Exterior		Basement: 0 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		(9) Basement Finish			(14) Water/Sewer									
Wood/Shingle Aluminum/Vinyl Brick X Vinyl X Insulation		Recreation SF Living SF Walkout Doors No Floor SF		Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic												
(2) Windows		Many Avg. Few X Large Avg. Small		(10) Floor Support			Lump Sum Items:									
Many Avg. Few X Large Avg. Small		Joists: Unsupported Len: Cntr.Sup:														
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens																
(3) Roof																
X Gable Hip Flat																
X Asphalt Shingle																
Chimney:																

*** Information herein deemed reliable but not guaranteed***



2 bedrooms
2 Full Baths
1 Half Bath
1 Extra Sink
A/C

Walkout Bsmt
Gravel Driveway-N/V

36'

garage
864 sf
24'

10' 25' 35'
15' 18' 15'
wgep 150 sf 1st/b 450 sf 12' ceiling
6' 25' 30' 24'
25' 1st/b 1929 sf 9' ceiling
16' 21'
54' 66'
wcp 576 sf

Sketch by Apex Eketch

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
 (810) 227-5225 | FAX (810) 227-3420

PROPERTY MUST BE STAKED SHOWING
 REQUESTED SETBACKS 7 DAYS PRIOR TO
 MEETING DATE.
 FAILURE TO STAKE COULD RESULT IN
 POSTPONEMENT OR DENIAL OF PETITION.

Case # 18-32 Meeting Date: 11-14-18 at 6:30pm

PAID Variance Application Fee
 \$125.00 for Residential | \$300.00 for Commercial/Industrial

Applicant/Owner: Donald G. Terns Email: fonda1k@hotmail.com
 Property Address: 5440 Sharp Drive Phone: 248-895-5122
Howell, MI 48843
 Present Zoning: _____ Tax Code: 4711-10-102-080

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Each application for Variance is considered individually by the ZBA. The ZBA is board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed applicant, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested: Water front (rear yard) ; front yard.

2. Intended property modifications: construct one story walk-out addition with four (4) car attached garage with storage below. Demolish existing four (4) car non-conforming garage.

The following is per Article 23.05.03:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Proposed addition will not encroach any closer to water than existing house. Adjacent neighbors sight lines will not be impacted as they are close to the water.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The existing garage location in relationship to the existing house along with the substantial grade drop creates both difficulty for homeowner who both have physical challenges as well as water shedding problems (regarding storm water).

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No. The neighbor to the west has their boat house as a buffer. The neighbor to the east is considerably higher than the applicant and has vegetative screening in place. Also, the demolition of the existing garage will be welcomed by all neighbors.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

No. The proposed renovation will add to neighboring property values by transforming a home with little curb appeal into a home that is on the same level as the current houses

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 10.19.18 Signature: William B. Hubson on behalf of Don Terns



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: November 7, 2018

RE: ZBA 18-32

STAFF REPORT

File Number: ZBA#18-32
Site Address: 5440 Sharp Drive
Parcel Number: 4711-22-100-010
Parcel Size: 1.502 Acres
Applicant: Terns, Donald and Judith, 5440 Sharp Drive, Howell
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variances
Project Description: Applicant is requesting a waterfront and front yard variance to construct an addition.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.
Other: Public hearing was published in the Livingston County Press and Argus on Sunday October 28, 2018 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, year built is 1947.
- The property is serviced by municipal sewer and private well.
- See Assessing Record Card.

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

Summary

The proposed project is to construct an addition with an attached garage. In order to construct the addition, the applicant is in need of a waterfront and front yard variance. Applicant is proposing to demolish the existing detached garage that currently is located in the road right of way. A seawall has been installed since the application was received, the waterfront setback should be verified.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Sec. 3.04 DIMENSIONAL STANDARDS

Table 3.04.01 LRR District	Front Setback	Waterfront Setback
Requirement	35'	40'
Request	4'	32'
Variance Amount	31'	8'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the setbacks would prevent the applicant from constructing the proposed addition. There are other homes in the area that have reduced setbacks similar to what is being proposed. Granting variance would offer substantial justice. Except for the waterfront setback, granting the variance would make the property consistent with other properties in the area. The applicant shall provide evidence that the variance requested is the least amount necessary. The garage is over 1,200 sq. ft. and 46’ long which is larger than many garages in the vicinity. A reduction in garage length would decrease the variance amounts.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the road right of way in conjunction with the road location, shallow lot depth between road right of way and the water and the topography of the lot.
- (c) Public Safety and Welfare** – The granting of these variances would not impair an adequate supply of light and air to adjacent property. Granting of these variances would not increase the congestion in public streets and increase the danger of fire and endanger the public safety.
- (d) Impact on Surrounding Neighborhood** – The proposed variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood provided proper site grading and drainage maintained on site.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. The existing detached garage must be demolished prior to issuance of Certificate of Occupancy.
2. Proposed deck must maintain a 15 foot green space to the water's edge.
3. Retaining walls if required must be included when applying for land use permit for approval.

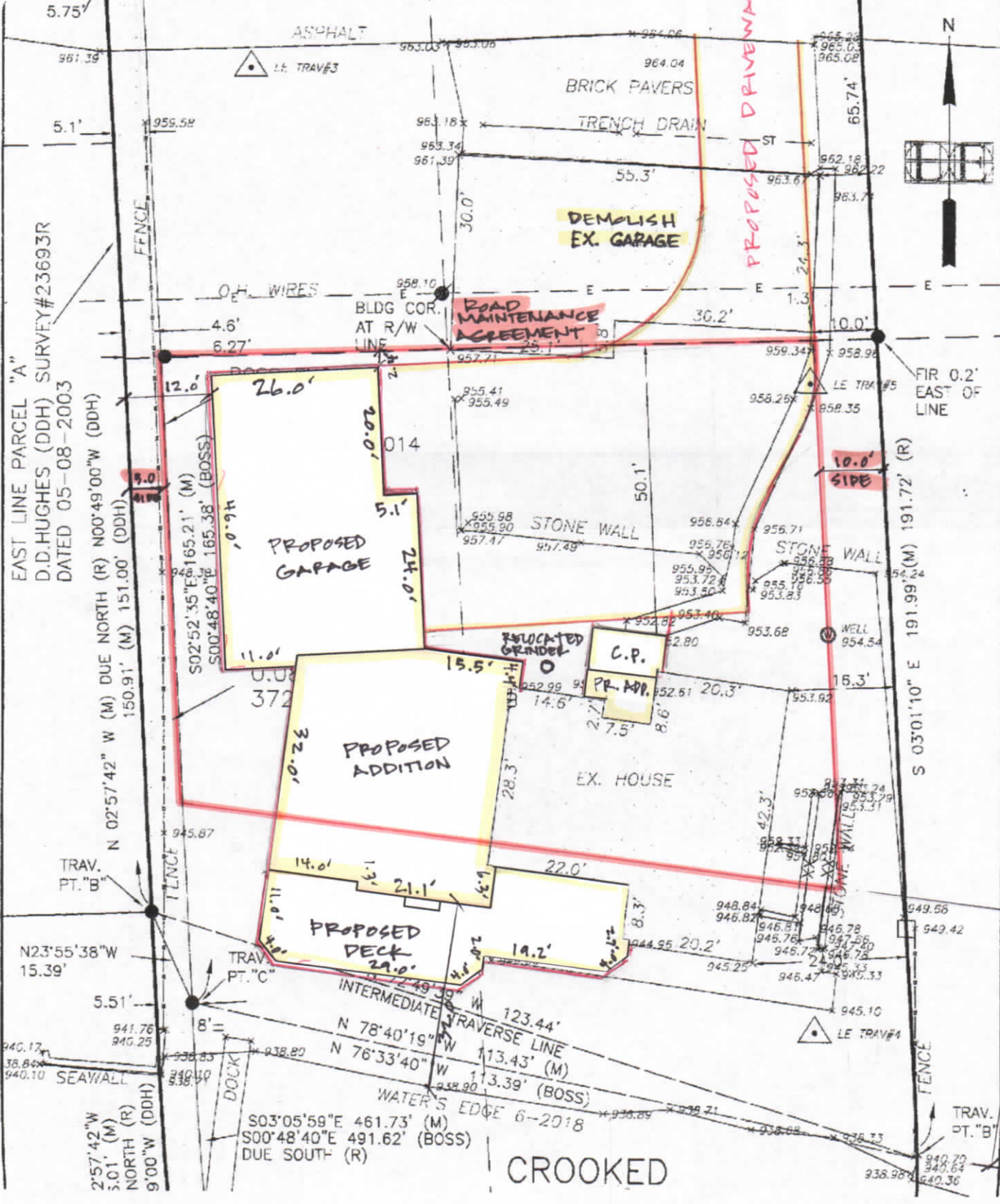
GENOA TOWNSHIP



N 87°46'27"E 115.71' (M) DUE EAST (R) N89°59'30"E (BOSS)
N 87°46'27"E 109.96' (M) DUE EAST (R) N89°59'30"E 110.00' (BOSS)

S 87°46'27"W
330.01' (M)

SHARP DR.



EAST LINE PARCEL "A"
D.D. HUGHES (DDH) SURVEY #23693R
DATED 05-08-2003

N 02°57'42" W (M) DUE NORTH (R) N00°49'00" W (DDH)
150.91' (M) 151.00' (DDH)

S 03°01'10" E 191.99' (M) 191.72' (R)

CROOKED

S 03°05'59"E 461.73' (M)
S 00°48'40"E 491.62' (BOSS)
DUE SOUTH (R)

INTERMEDIATE TRAVERSE LINE
N 78°40'19" W 113.43' (M)
N 76°33'40" W 113.39' (BOSS)
WATER'S EDGE 6-2018

N 23°55'38" W
15.39'

5.51'

8'

2°57'42" W
3.01' (M)
NORTH (R)
9°00" W (DDH)

SEAWALL

DOCK

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TRAV. PT. "II"

TRAV. PT. "IJ"

TRAV. PT. "IK"

TRAV. PT. "IL"

TRAV. PT. "IM"

TRAV. PT. "IN"

TRAV. PT. "IO"

TRAV. PT. "IP"

TRAV. PT. "IQ"

TRAV. PT. "IR"

TRAV. PT. "IS"

TRAV. PT. "IT"

TRAV. PT. "IU"

TRAV. PT. "IV"

TRAV. PT. "IW"

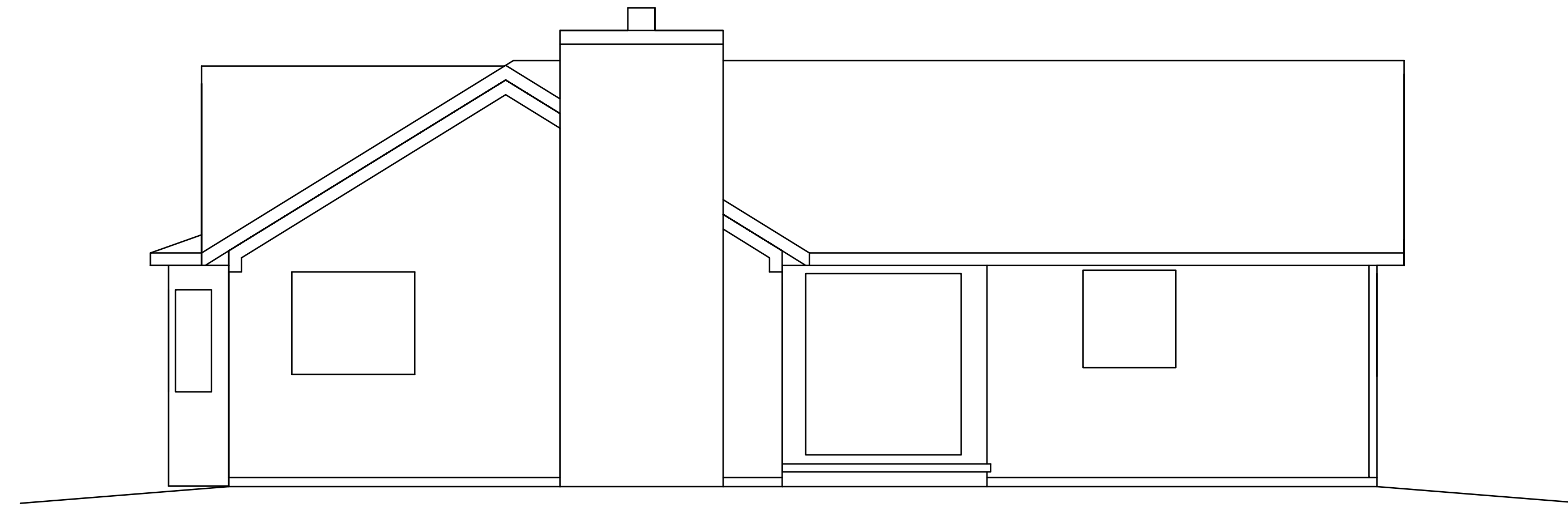
TRAV





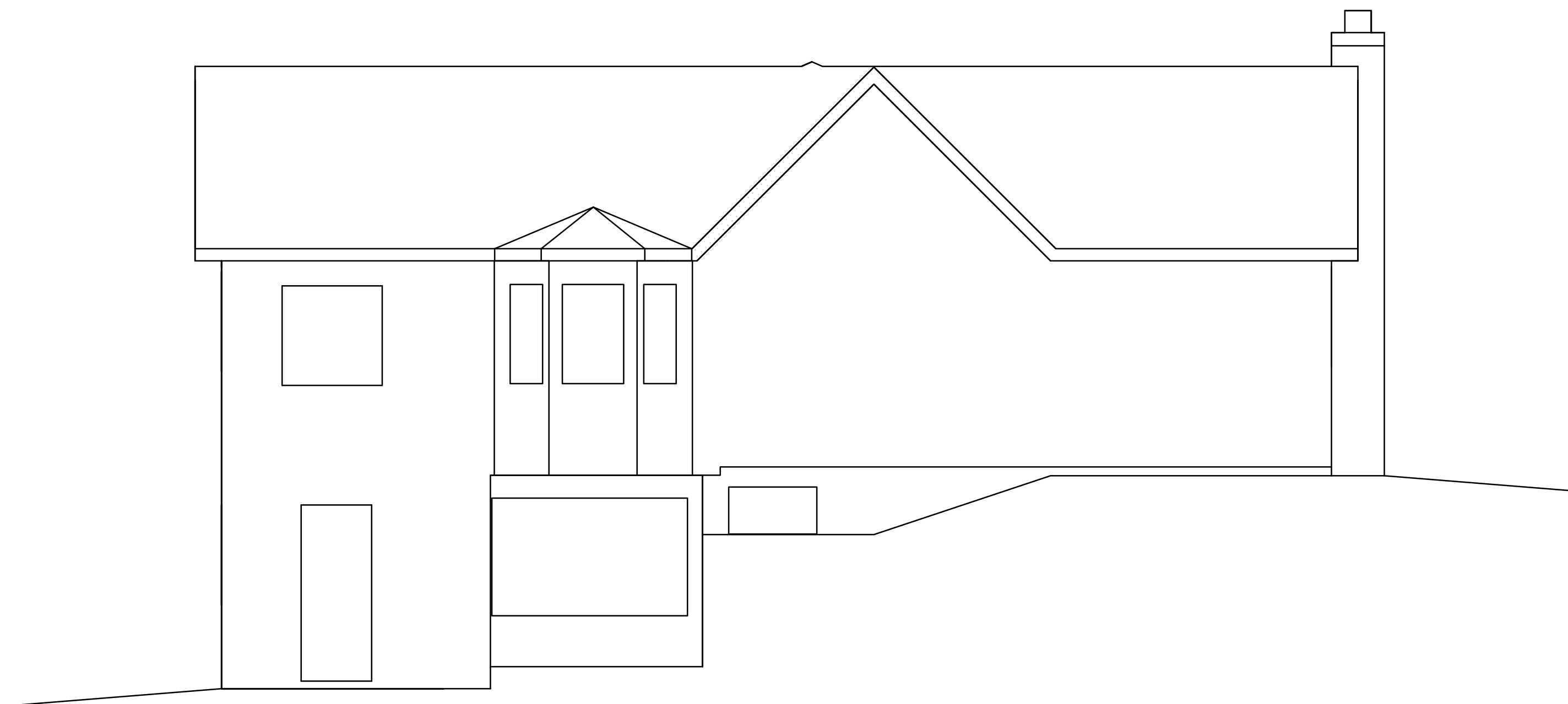






EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: WBH
CHECKED BY: WBH
DRAWING DATE: OCT 15, 2017
PRINTED DATE: OCT 19, 18
STATUS:
 ZBA
 BID
 PERMIT
 JOB

REVISIONS:

No.	DESCRIPTION:	DATE:

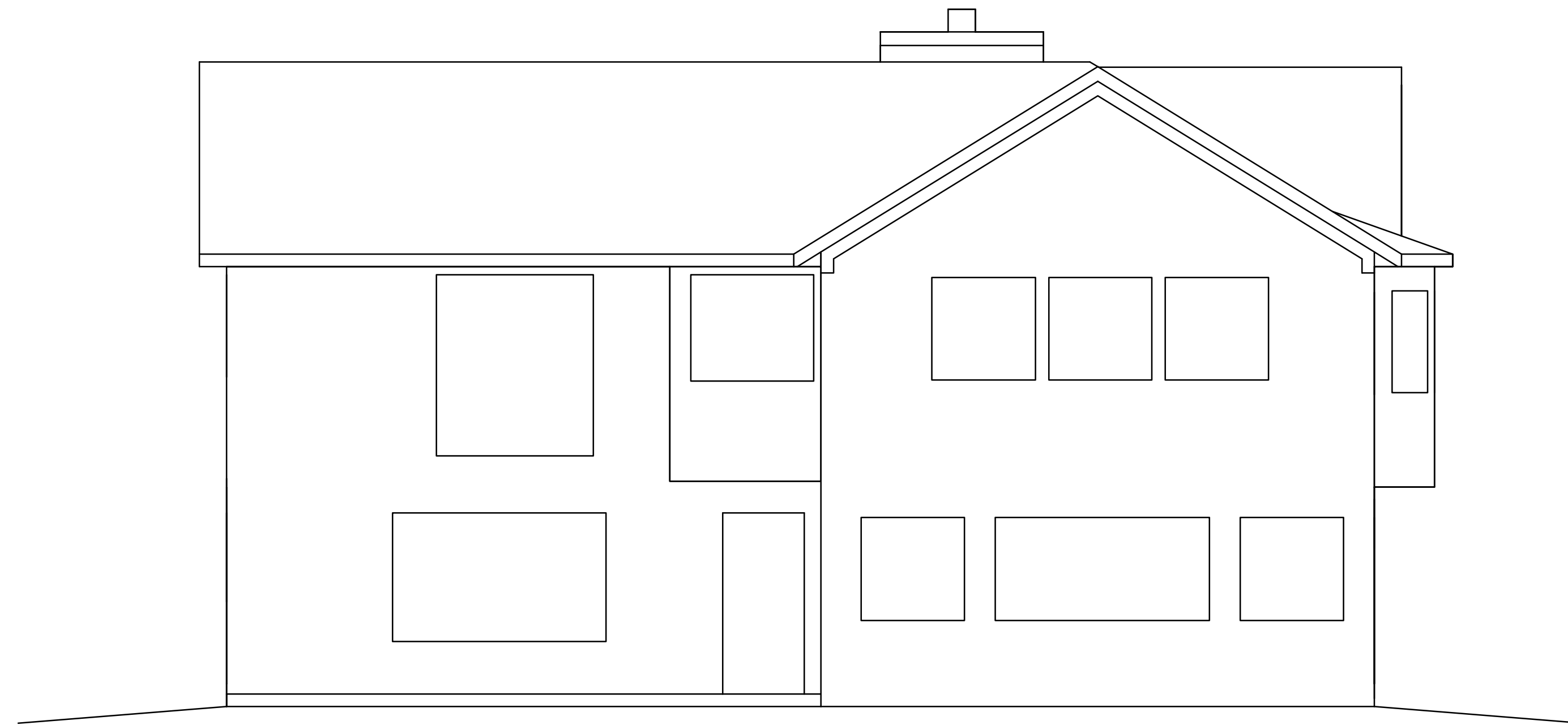
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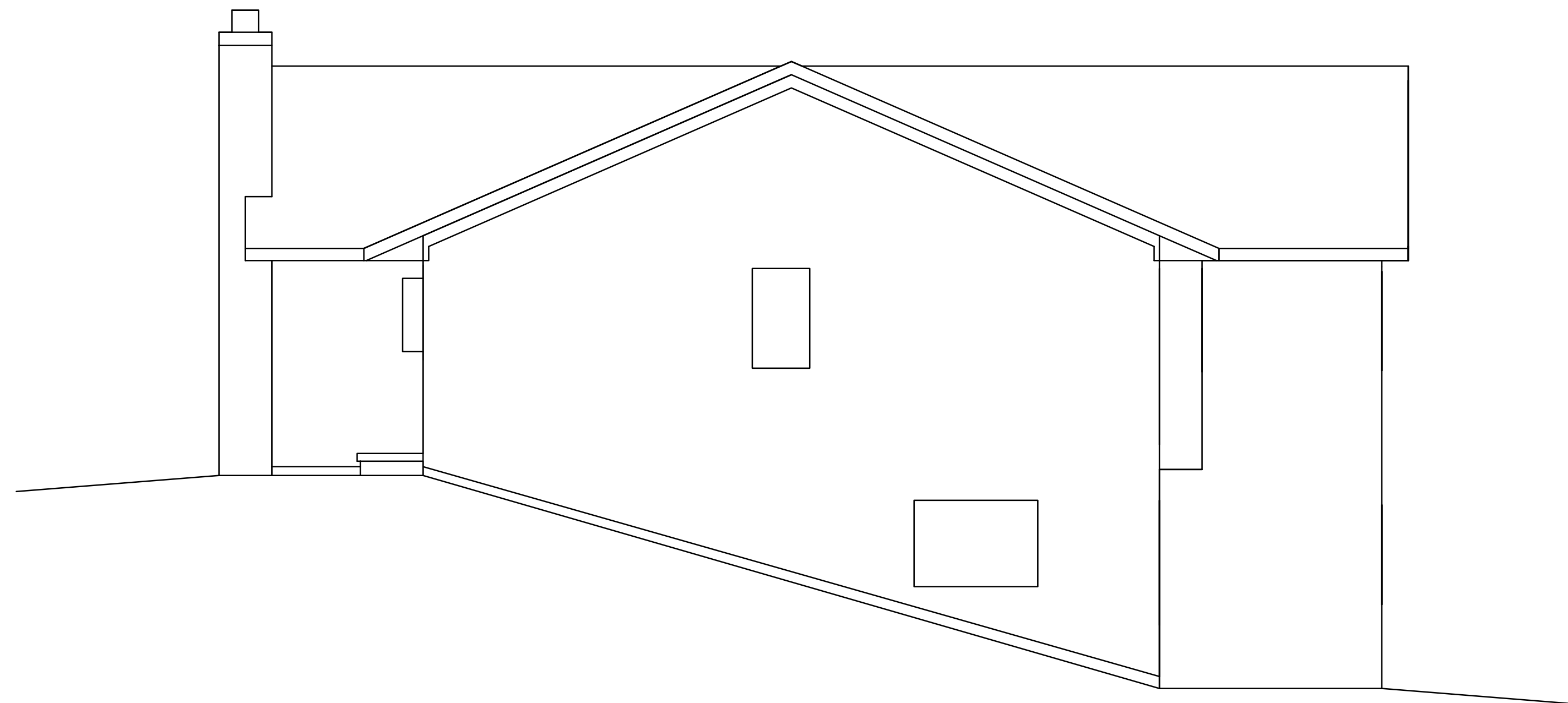
EXISTING ELEVATIONS

A1



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: **WBH** CHECKED BY: **WBH**
DRAWING DATE: **OCT 15, 2017** PRINTED DATE: **OCT 19, 18**
STATUS:
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REVISIONS:

No.	DESCRIPTION:	DATE:

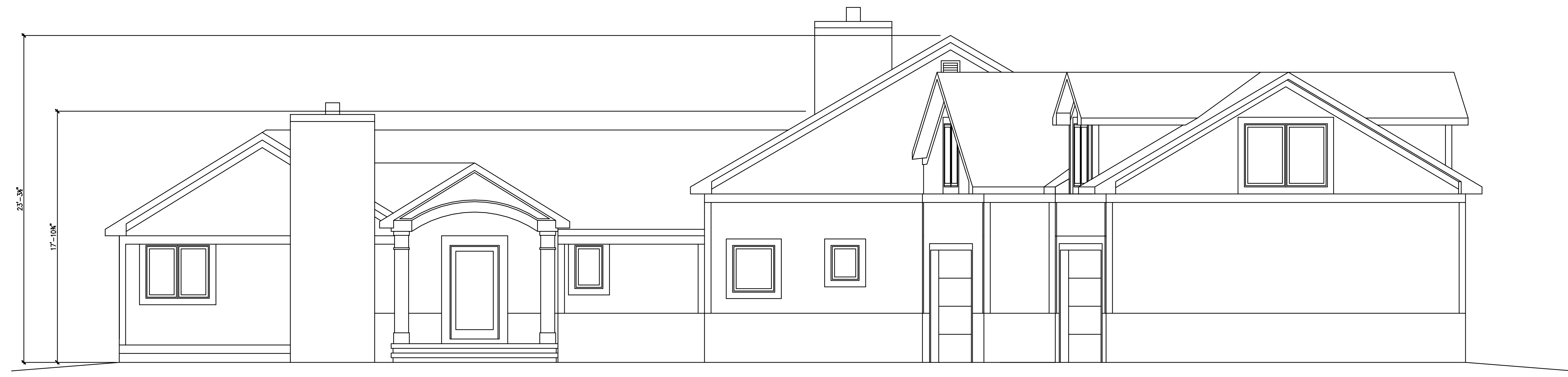
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EXISTING ELEVATIONS

A2



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: **WBH** CHECKED BY: **WBH**
 DRAWING DATE: **OCT 15, 2017** PRINTED DATE: **OCT 19, 18**

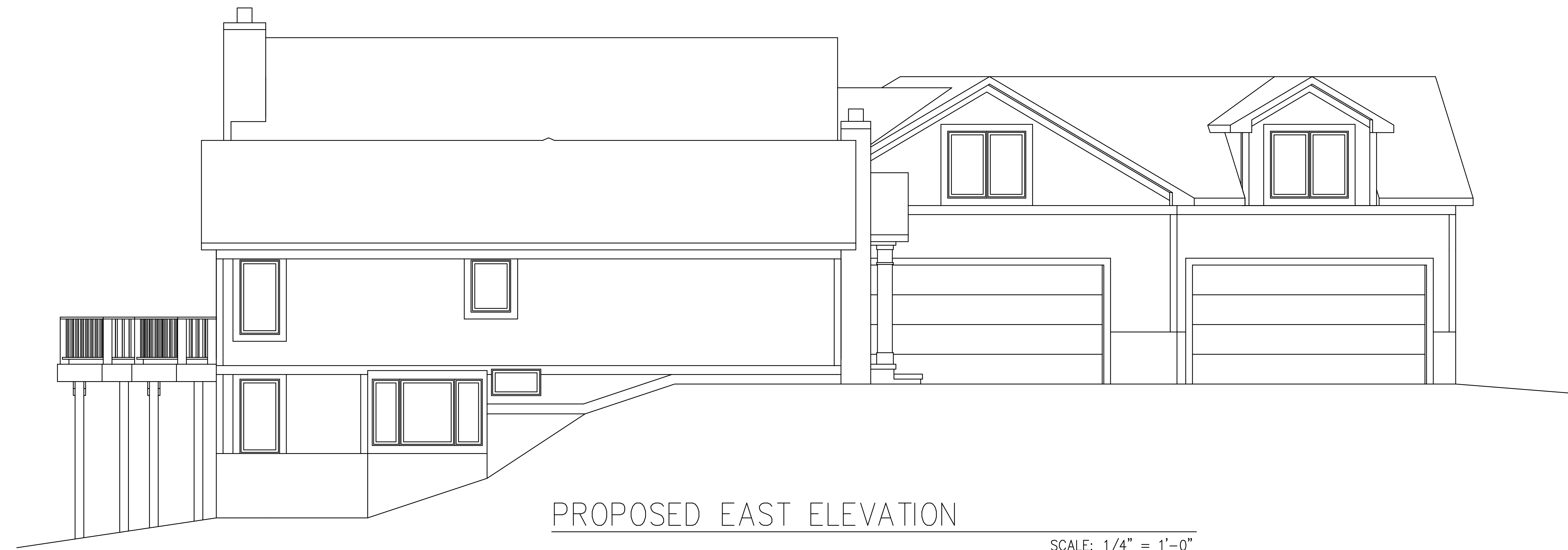
STATUS:
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REVISIONS:		
No.:	DESCRIPTION:	DATE:

PERMIT NO. _____

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PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: **WBH** CHECKED BY: **WBH**
 DRAWING DATE: **OCT 15, 2017** PRINTED DATE: **OCT 19, 18**

STATUS:
 ZBA BID PERMIT JOB

REVISIONS:	DATE:
No.:	DESCRIPTION:

PERMIT NO.

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PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: **WBH** CHECKED BY: **WBH**
DRAWING DATE: **OCT 15, 2017** PRINTED DATE: **OCT 19, 18**
STATUS:
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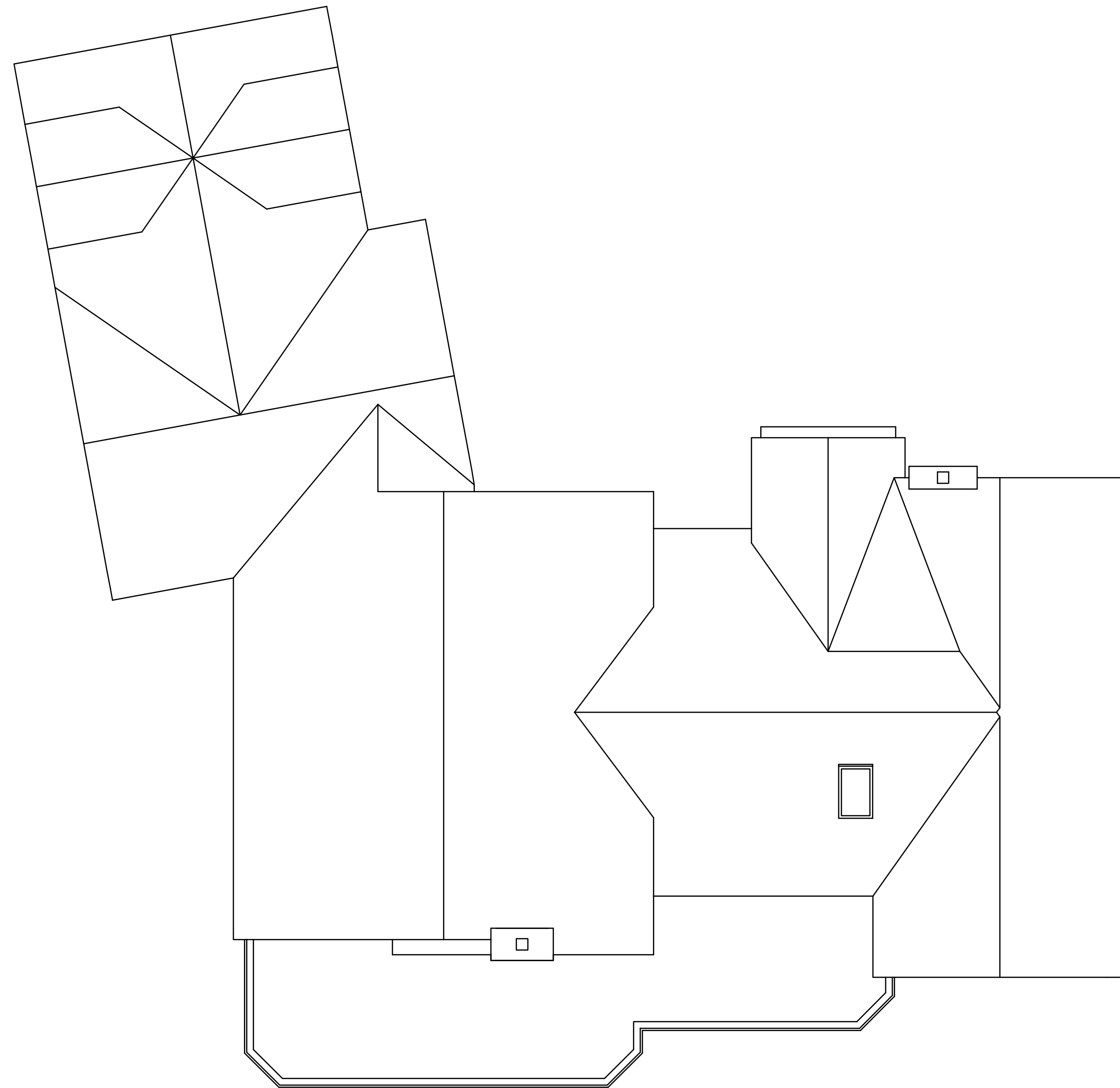
REVISIONS:

No.	DESCRIPTION:	DATE:

PERMIT NO.

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PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"

PROPOSED ROOF PLAN

A5

Hinkson
Design
Build

LICENSED AND INSURED

4427 SUMMER LANE
MILFORD, MI 48380

tel: 248.752.1253

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: **WBH** CHECKED BY: **WBH**

DRAWING DATE: **OCT 15, 2017** PRINTED DATE: **OCT 19, 18**

STATUS:

ZBA BID PERMIT JOB

REVISIONS:

No.	DESCRIPTION:	DATE:

PERMIT NO.

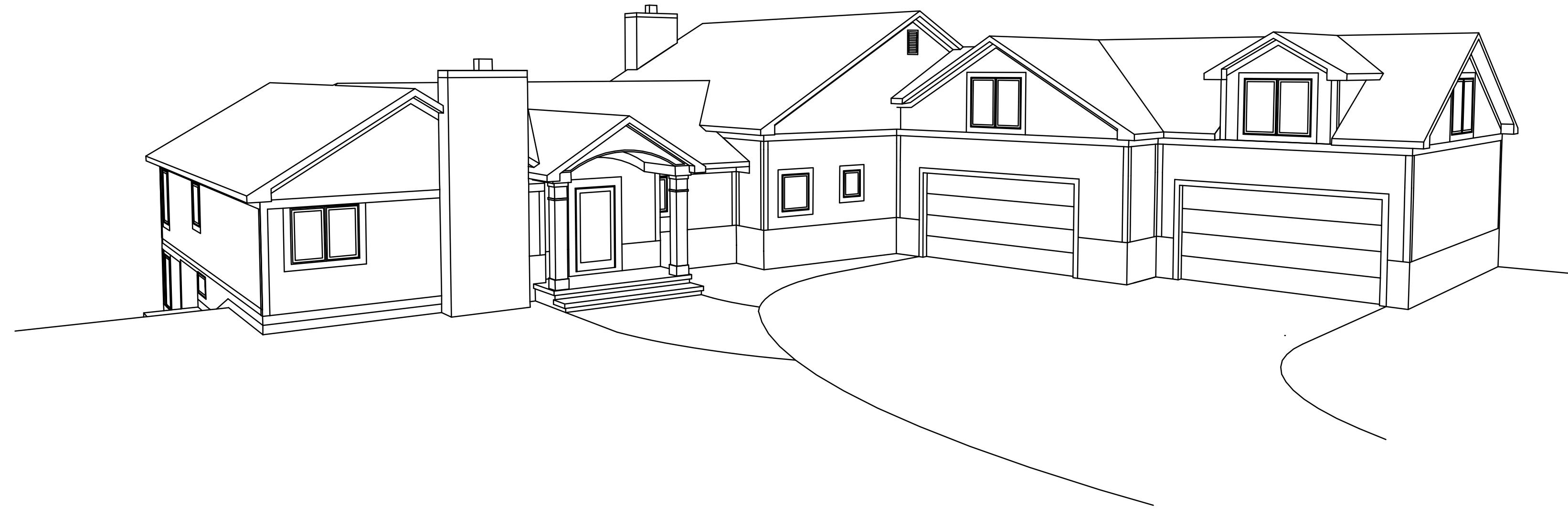
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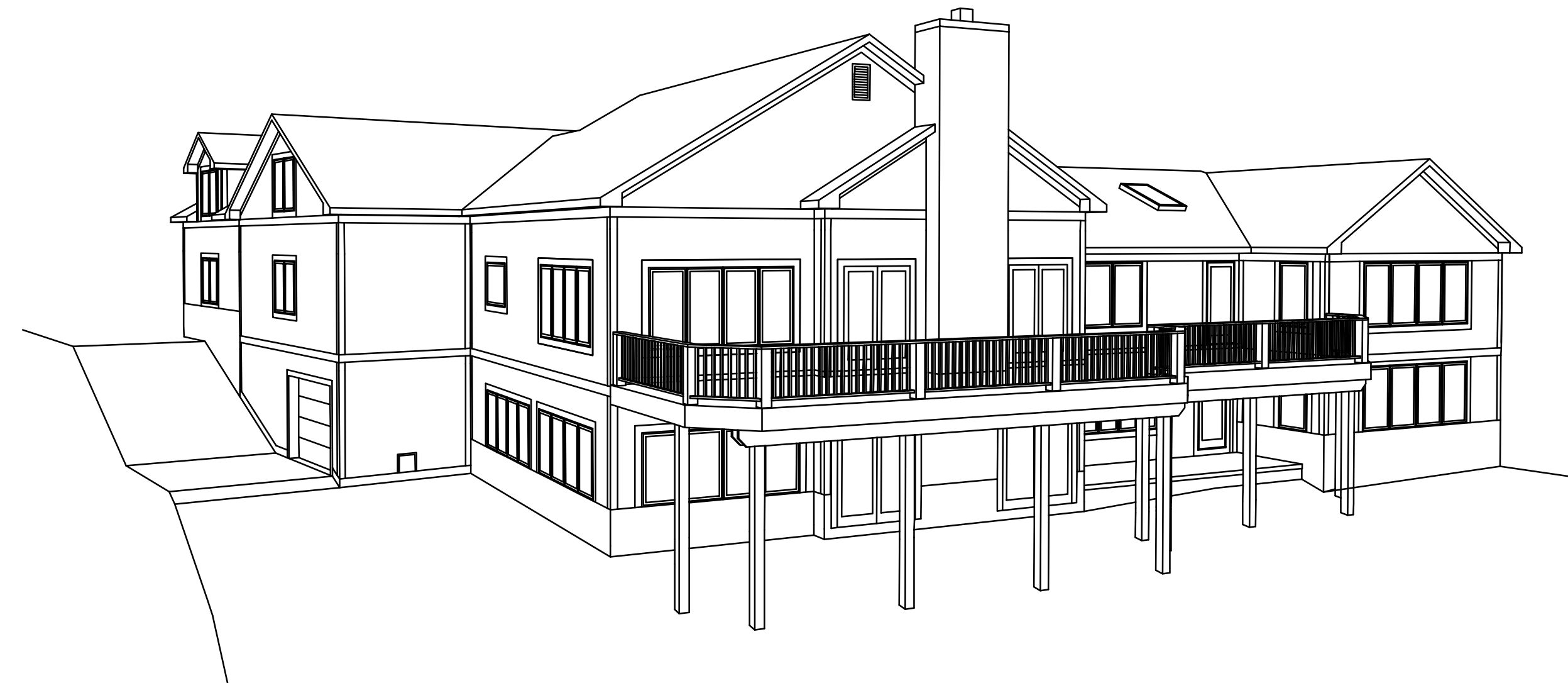
PROPOSED PLOT PLAN

C1

1 OF 10



PROPOSED NORTHEAST PERSPECTIVE



PROPOSED SOUTHWEST PERSPECTIVE

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT:

DRAWN BY: WBH
CHECKED BY: WBH
DRAWING DATE: OCT 15, 2017
PRINTED DATE: OCT 19, 18
STATUS:
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REVISIONS:

No.:	DESCRIPTION:	DATE:

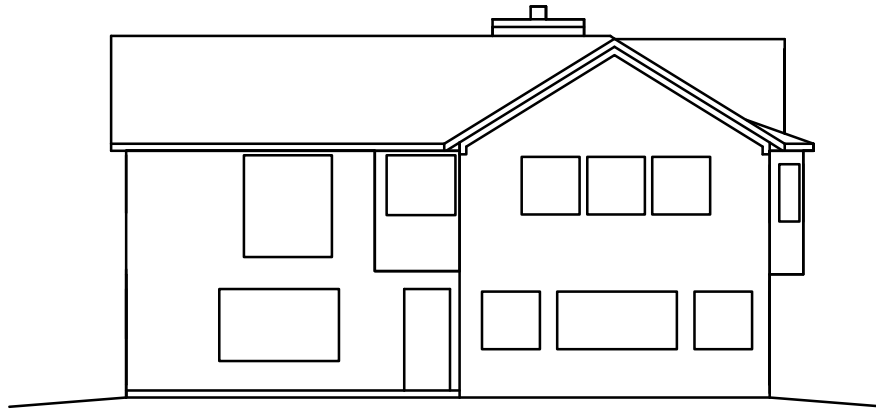
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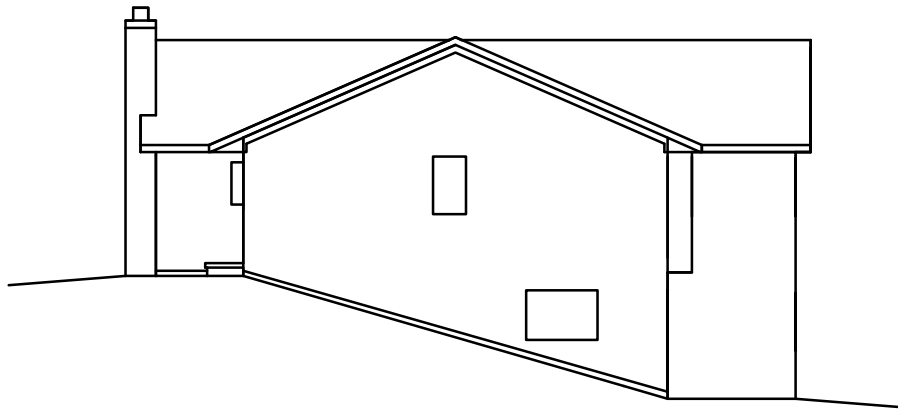
PROPOSED PERSPECTIVES

P1



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

Hinkson
Design
Build

LICENSED AND INSURED
4427 SUMMER LANE
MILFORD, MI 48380
TEL: 248.782.8888

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT

DRAWN BY: WMM CHECKED BY: WMM
 DRAFTING DATE: OCT 16, 2017 PRINTED DATE: OCT 16, 18

STATUS:
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NO.	DESCRIPTION	DATE

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EXISTING ELEVATIONS

A2

4 OF 7

**Hinkson
Design
Build**
LICENSED AND INSURED
4427 SUMMER LANE
MILFORD, MI 48380
48 34678388

TERNS RESIDENCE
CLIENT:
JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

DRAWN BY: WSH CHECKED BY: WSH
 DRAFTING DATE: OCT 16, 2017 PRINTED DATE: OCT 16, 18
 STATUS:
 ZBA BD PERMIT JOB
 REVISIONS:

NO.	DESCRIPTION	DATE

 PERMIT NO.:

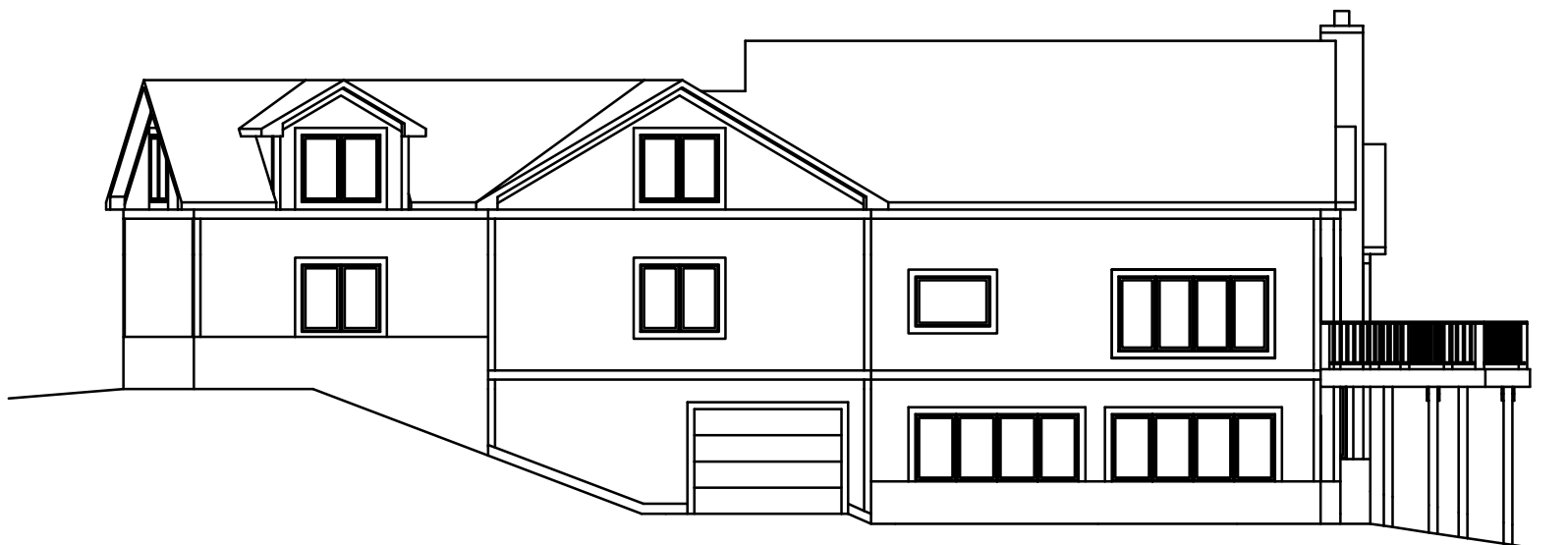
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PROPOSED ELEVATIONS
A4
 6 OF 7



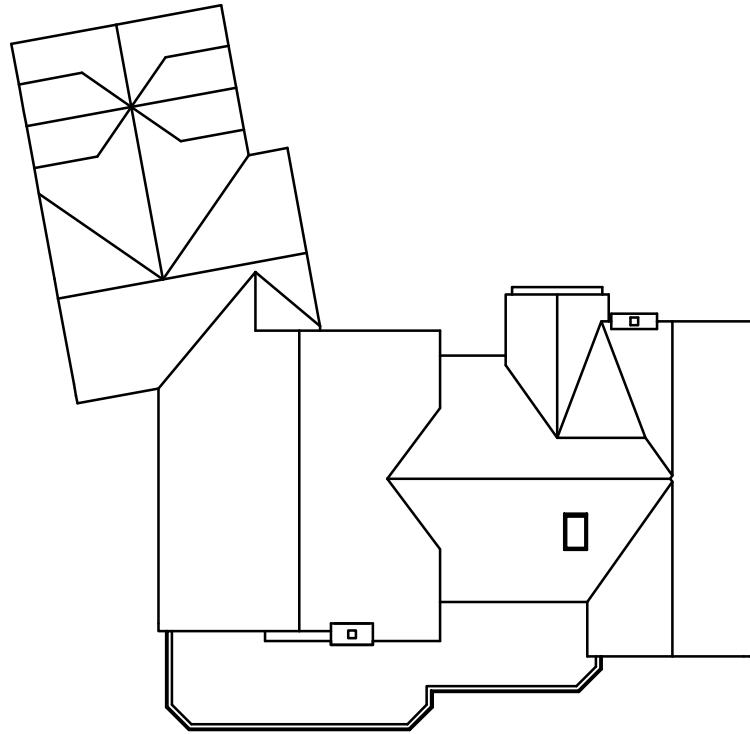
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"

**Hinkson
Design
Build**

LICENSED AND INSURED
4427 SUMMER LANE
MILFORD, MI 48380
616 24678288

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843

CLIENT

DRAWN BY: **WH** CHECKED BY: **WH**
 DRAUGHTING DATE: **OCT 16, 2017** PRINTED DATE: **OCT 16, 18**

STATUS:
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NO.	DESCRIPTION	DATE

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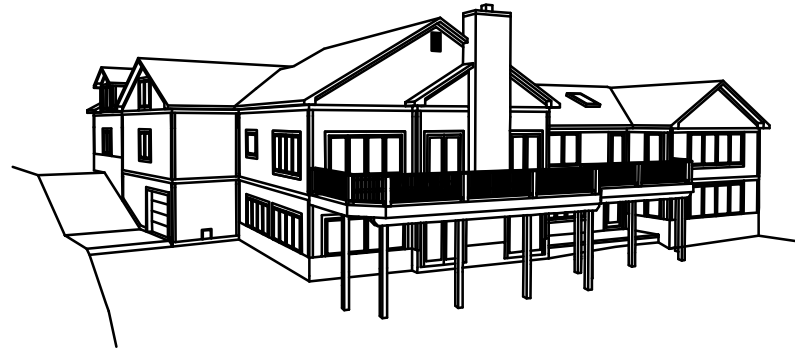
PROPOSED ROOF PLAN

A5

7 OF 7



PROPOSED NORTHEAST PERSPECTIVE



PROPOSED SOUTHWEST PERSPECTIVE

**Hinkson
Design
Build**
LICENSED AND INSURED
4427 SUMMER LANE
MILFORD, MI 48380
616 24678288

TERNS RESIDENCE

JUDY AND DON TERNS
5440 SHARP DRIVE
HOWELL, MI 48843


CLIENT:

DRAWN BY: HSH	CHECKED BY: HSH	
DRAWING DATE: OCT 16, 2017	PRINTED DATE: OCT 16, 18	
STATUS:		
<input checked="" type="checkbox"/> 2BA	<input type="checkbox"/> BD	
<input type="checkbox"/> PERMIT	<input type="checkbox"/> JOB	
REVISIONS:		
No. 1	Description	Date
PERMIT NO.		

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PROPOSED PERSPECTIVES
P1

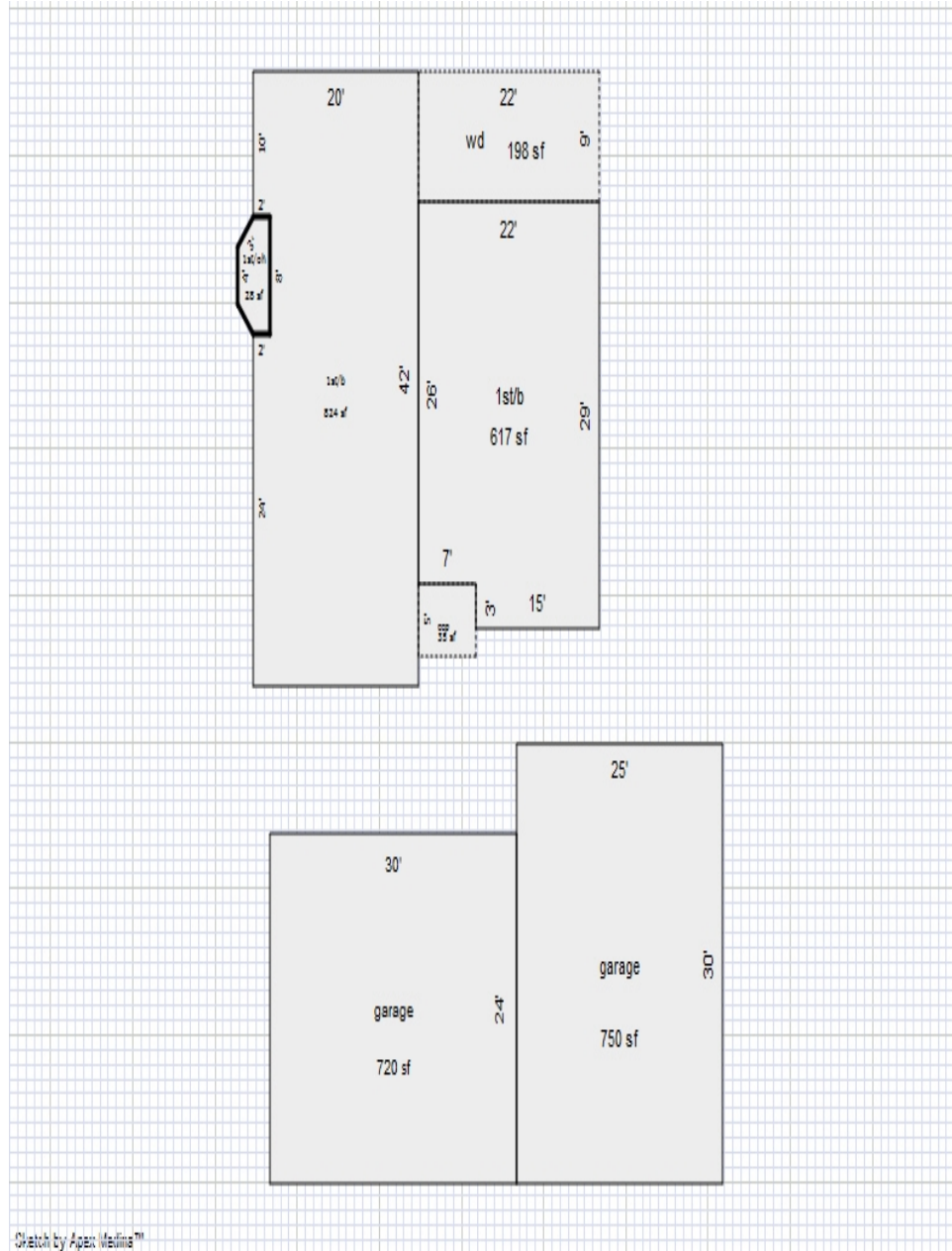
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.											
MAYDAY BRIAN & RENEE	TERNS DONALD & JUDITH	530,000	11/22/2016	WD	ARMS-LENGTH	2016R-038032	BUYER	100.0											
US BANK NATIONAL ASSOC.	MAYDAY BRIAN & RENEE	236,000	03/02/2012	WD	FORECLOSURE	2012R-007461	BUYER	100.0											
OSTROWSKI MARK T & SHAYNE	US BANK NATIONAL ASSOC.	0	04/21/2010	SD	FORECLOSURE	2011R-001322	BUYER	0.0											
OSTROWSKI MARK TRUST	OSTROWSKI MARK T & SHAYNE	0	03/27/2009	QC	INVALID SALE	2009R-018346	BUYER	0.0											
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR		Building Permit(s)		Date	Number	Status									
5440 SHARP DR		School: HOWELL		RES MISCEL		01/17/2012		W12-002	NO START										
Owner's Name/Address		P.R.E. 100% 05/18/2017		ADDITION		05/03/2004		04-163	NO START										
TERNS DONALD & JUDITH 5440 SHARP DR HOWELL MI 48843		MAP #: V18-32		2019 Est TCV Tentative															
Tax Description		X Improved		Vacant		Land Value Estimates for Land Table 00018.SHARP DR													
SEC 22 T2N R5E COMM AT THE N 1/4 COR TH S02*31'49"E 1279.31 FT TH S87*46'27"W 330.01 FT TO POB TH S03*01'10"E 191.91 FT TH S03*01'10"E 369.07 FT TH S87*49'20"W 65.88 FT TH S03*01'56"E 66 FT TH S87*46'14"W 50.48 FT TH N02*57'42"W 476.01 FT TH N02*57'42"W 150.91 FT TH N87*46'27"E 115.71 FT CONT 1.57 AC M/L COMB 5/90 FROM 009 & 011. CORR 10/18		X		Public Improvements		* Factors *													
		Dirt Road		Description		Frontage		Depth		Front		Depth		Rate %Adj.		Reason		Value	
		Gravel Road		A LAKE FRONT		66.00		564.00		1.0000		1.0000		3500		100		231,000	
		Paved Road		B EXC LAKEFRONT		50.00		564.00		1.0000		1.0000		900		100		45,000	
		Storm Sewer		116 Actual Front Feet, 1.50 Total Acres														Total Est. Land Value = 276,000	
		Sidewalk		Land Improvement Cost Estimates															
		Water		Description										Rate		Size % Good		Cash Value	
		Sewer		D/W/P: 3.5 Concrete										5.37		198 91		967	
		Electric		Total Estimated Land Improvements True Cash Value =														967	
		Gas																	
		Curb																	
		Street Lights																	
		Standard Utilities																	
		Underground Utils.																	
Comments/Influences		Topography of Site																	
		Level		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value			
		Rolling		X		2019		Tentative		Tentative		Tentative				Tentative			
		Low		Who		When		What		2018		121,500		122,100		243,600		204,608C	
		High		JB		02/13/2017		REVIEWED R		2017		121,500		78,900		200,400		200,400S	
		Landscaped				2016		126,500		44,300		170,800				146,233C			
		Swamp																	
		Wooded																	
		Pond																	
		Waterfront																	
		Ravine																	
		Wetland																	
		Flood Plain																	
		X REFUSE																	
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan																			

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided 1 Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 35 198	Type CCP (1 Story) Treated Wood	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 720 % Good: 0 Storage Area: 0 No Conc. Floor: 0
X	Wood Frame		(4) Interior Drywall Paneled	X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling											
Building Style: C		Trim & Decoration Ex X Ord Min		Central Air Wood Furnace			(12) Electric 0 Amps Service			Class: C Effec. Age: 20 Floor Area: 1,469 Total Base New : 308,580 Total Depr Cost: 246,866 Estimated T.C.V: 254,272			E.C.F. X 1.030		Bsmnt Garage: Carport Area: Roof:	
Yr Built 1947	Remodeled 2012	Size of Closets Lg X Ord Small		No./Qual. of Fixtures Ex. X Ord. Min			No. of Elec. Outlets Many X Ave. Few			Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts , Air Conditioning Ground Area = 1441 SF Floor Area = 1469 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=80/100/100/100/80			Cls C		Blt 1947	
Condition: Good		Doors: Solid X H.C.		(6) Ceilings			(13) Plumbing Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Building Areas Stories Exterior Foundation Size Cost New Depr. Cost 1 Story Siding Basement 824 1 Story Siding Basement 617 1 Story Siding Overhang 28 Total: 181,887 145,510						
Room List		(5) Floors Kitchen: Other: Other:		No./Qual. of Fixtures Ex. X Ord. Min			(13) Plumbing Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250						
Basement 1st Floor 2nd Floor 4 Bedrooms		Kitchen: Other: Other:		(7) Excavation Basement: 1441 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0			(13) Plumbing Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250						
(1) Exterior		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
X	Wood/Shingle Aluminum/Vinyl Brick	(8) Basement Recreation SF Living SF 1 Walkout Doors No Floor SF		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
(2) Windows		Many Avg. X Large Avg. Small		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(9) Basement Finish 1269 Recreation SF Living SF 1 Walkout Doors No Floor SF		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
(3) Roof		(10) Floor Support Joists: Unsupported Len: Cntr.Sup:		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
X	Gable Hip Flat	Gambrel Mansard Shed		(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
X	Asphalt Shingle			(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									
Chimney: Brick				(14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			Other Additions/Adjustments Basement, Outside Entrance, Below Grade 1 2,088 1,670 Plumbing 3 Fixture Bath 1 3,789 3,031 2 Fixture Bath 1 2,535 2,028 Extra Sink 1 775 620 Water/Sewer 1000 Gal Septic 1 3,967 3,174 Water Well, 200 Feet 1 8,762 7,010 Porches CCP (1 Story) 35 922 738 Deck Treated Wood 198 3,350 2,680 Garages Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 720 28,627 22,902 Class: C Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 750 29,460 23,568 Fireplaces Exterior 1 Story 1 5,312 4,250									

*** Information herein deemed reliable but not guaranteed***

<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>



Sketch by Apex Mapping™

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # _____ Meeting Date: _____

PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial

Applicant/Owner: McCotter Architecture and Design Email: MccotterArchitecture@gmail.com

Property Address: 1900 Euler Road, Brighton Phone: 734.216.7768

Present Zoning: CE - Country Estate Tax Code: 4711-12-300-028

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Each application for Variance is considered individually by the ZBA. The ZBA is board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed applicant, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. **Variance requested:** We are requesting 21.5 foot variance to the required 75.0' front yard setback

2. **Intended property modifications:** A 380 square foot single story wood framed addition to an existing

non-conforming residence for the purposes of an expanded living room and new entry

The following is per Article 23.05.03:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Due to the non-conforming nature of the existing home, strict compliance significantly impacts the Owner's ability to expand their home in a manner which meets their needs. Granting this variance will allow them to properly expand their living area with a modernized entry

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

It is believed this home was built prior to the current front yard setback requirements. The existing home currently extends 12 feet over the required front setback.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Granting of this variance will not impair the surrounding area's public safety and welfare. There are at least two other homes on this street which have similar setbacks from the road right of way.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

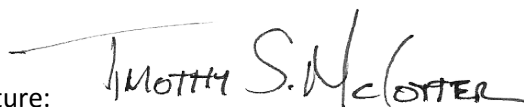
The variance will not be discernable from the street or adjacent neighbors due to the vegetation along Euler Road and the side lot lines.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 10/22/18

Signature:





MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: November 2, 2018

RE: ZBA 18-33

STAFF REPORT

File Number: ZBA#18-33
Site Address: 1900 Euler Road
Parcel Number: 4711-12-300-028
Parcel Size: 5.50 Acres
Applicant: McCotter Architecture and Design
Property Owner: Mario and Valory Pecchia, 1900 Euler Road

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard variance to construct an addition to an existing single family home.

Zoning and Existing Use: CE (County Estates) Single Family Dwelling and detached accessory structure is located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday October 28, 2018 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1973.
- A land use permit was issued for an addition in 2006.
- The parcel is serviced by well and septic.
- See Assessing Record Card.

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

Summary

The proposed project is to construct an addition to an existing single family home. In order to construct the addition, the applicant is requesting a front yard variance. The existing home was constructed 63.5 feet from the property line.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (CE District):

Required Front Yard Setback: 75'

Proposed Front Yard Setback: 53.5'

Proposed Variance Amount: 21.5'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would prevent the applicant from constructing the addition however does not unreasonably prevent use of the property. The variance does not provide substantial justice since it would greatly reduce the front yard setback and would not make the home consistent with properties in the same zoning or vicinity.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the existing home. The applicant shall provide evidence why the property prevents an addition to the existing home to the south or west. There is ample building envelope on this lot and the variance request must be the least necessary. If other options exist than the need for the variance is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

N/A

GENOA TOWNSHIP



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.															
PECCHIA VALORY F	PECCHIA MARIO & VALORY LTS	0	12/03/2014	QC	INVALID SALE	2014R-031711	BUYER	0.0															
WALKER VALORY F TRUST	PECCHIA VALORY F	0	11/06/2013	WD	ARMS-LENGTH	2013R-042752	BUYER	100.0															
WALKER, VALORY F.	WALKER VALORY F TRUST	0	08/25/2008	WD	INVALID SALE	2008R-025303	BUYER	0.0															
WALKER, WILLIAM & VALORY	WALKER, VALORY F.	0	03/03/2003	QC	QUIT CLAIM	3828-0583	BUYER	0.0															
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: CE		Building Permit(s)		Date	Number	Status													
1900 EULER RD		School: HOWELL		ADDITION		08/22/2006		06-188	NO START														
Owner's Name/Address		P.R.E. 100% 07/07/2014		MAP #: V18-33		2019 Est TCV Tentative																	
PECCHIA MARIO & VALORY LTS 9.3 1900 EULER RD BRIGHTON MI 48114		X Improved		Vacant		Land Value Estimates for Land Table 124.HOWELL M& B																	
Tax Description		Public Improvements		* Factors *																			
SEC. 12 T2N, R5E, COMM AT SW COR TH S89*E 1306.29 FT TH DUE NORTH 66 FT TO POB TH N89*W 755.58 FT TH DUE NORTH 317.60 FT TH S89*E 755.58 FT TH DUE SOUTH 317.60 FT TO POB CONT 5.50 AC M/L SPLIT FR 005 10/96 PARCEL B		X		Dirt Road		Description		Frontage		Depth		Front		Depth		Rate %Adj.		Reason		Value			
				Gravel Road		LAND TABLE A		5.50		Acres		16,591		100				91,250					
				Paved Road				5.50		Total Acres		Total Est. Land Value =						91,250					
				Storm Sewer																			
				Sidewalk																			
				Water																			
				Sewer																			
				Electric																			
				Gas																			
				Curb																			
				Street Lights																			
				Standard Utilities																			
				Underground Utils.																			
				Topography of Site																			
				Level																			
				Rolling																			
				Low																			
				High																			
				Landscaped																			
				Swamp																			
				Wooded																			
				Pond																			
				Waterfront																			
				Ravine																			
				Wetland																			
				Flood Plain																			
				X REFUSE																			
				Who		When		What		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
										2019		Tentative		Tentative		Tentative						Tentative	
										2018		45,600		92,200		137,800						125,451C	
										2017		45,600		94,600		140,200						122,871C	
										2016		45,600		83,600		129,200						121,776C	

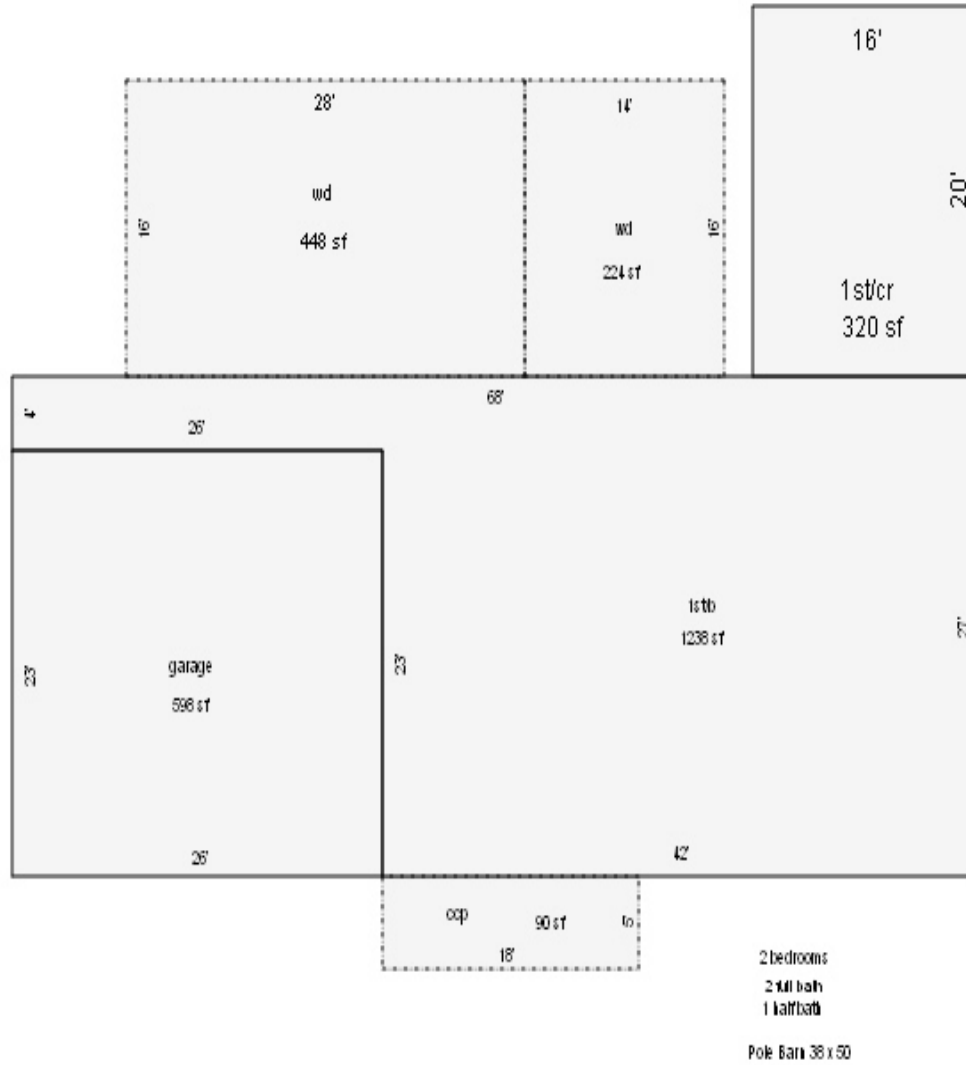


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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage						
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 99 224 448	Type WGEP (1 Story) Pine Treated Wood	Year Built: Car Capacity: Class: C Exterior: Brick Brick Ven.: 0 Stone Ven.: 0 Common Wall: 2 Wall Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 598 % Good: 0 Storage Area: 0 No Conc. Floor: 0							
X	Wood Frame		Drywall Paneled		Plaster Wood T&G																
Building Style: C		Trim & Decoration		X			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling			Class: C Effec. Age: 25 Floor Area: 1,585 Total Base New : 251,150 Total Depr Cost: 192,884 Estimated T.C.V: 179,382			E.C.F. X 0.930		Bsmnt Garage: Carport Area: Roof:						
Yr Built 1973	Remodeled 0	Size of Closets		Lg X Ord Min			Central Air Wood Furnace														
Condition: Good		Doors:		Lg X Ord Small			(12) Electric														
Room List		(5) Floors		Kitchen: Other: Other:			No./Qual. of Fixtures			Cost Est. for Res. Bldg: 1 Single Family C			Cls C		Blt 1973						
	Basement 1st Floor 2nd Floor 3 Bedrooms	Kitchen: Other: Other:		(12) Electric			Ex. X Ord Min			(11) Heating System: Forced Heat & Cool											
(1) Exterior		(6) Ceilings		No. of Elec. Outlets			Many X Ave. Few			Ground Area = 1585 SF Floor Area = 1585 SF.											
X	Wood/Shingle Aluminum/Vinyl Brick	(7) Excavation		(13) Plumbing			Average Fixture(s)			Phy/Ab.Phy/Func/Econ/Comb. % Good=75/100/100/100/75											
	Insulation	Basement: 1265 S.F. Crawl: 320 S.F. Slab: 0 S.F. Height to Joists: 0.0		2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink 1 Separate Shower			1 Story Exterior Foundation 1 Story Brick Basement 1 Story Siding Crawl Space			Building Areas			Size 1,265 320		Cost New 194,509		Depr. Cost 150,405				
(2) Windows		(8) Basement		Average Fixture(s)			Average Fixture(s)			Other Additions/Adjustments			Total:								
X	Many Avg. Few	X	Large Avg. Small	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink 1 Separate Shower			Plumbing			3 Fixture Bath 2 Fixture Bath Extra Sink Separate Shower		1 1 1 1		3,789 2,535 775 1,109		2,842 1,901 581 832		
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(9) Basement Finish		Recreation SF Living SF Walkout Doors No Floor SF			Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Water/Sewer			1000 Gal Septic Water Well, 200 Feet			1 1		3,967 8,762		2,975 6,571	
(3) Roof		(10) Floor Support		(14) Water/Sewer			Public Water Public Sewer			Porches			WGEP (1 Story)			99		7,839		5,879	
X	Gable Hip Flat		Gambrel Mansard Shed	Joists: Unsupported Len: Cntr.Sup:			1 Water Well 1 1000 Gal Septic 2000 Gal Septic			Deck			Pine Treated Wood			224 448		2,914 5,725		2,185 4,294	
X	Asphalt Shingle			Lump Sum Items:			Notes:			Class: C Exterior: Brick Foundation: 42 Inch (Unfinished)			Base Cost Common Wall: 2 Wall		598 1		25,110 -5,884		18,832 -4,413		
Chimney: Brick										Totals:			251,150		192,884		179,382				
										ECF (47070 HOWELL M & B) 0.930 => TC			V: 251,150		192,884		179,382				

*** Information herein deemed reliable but not guaranteed***



Sketch by Apex Medina™

*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
OCTOBER 16, 2018 - 6:30 PM**

MINUTES

Call to Order: Chairman Tengel called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were present as follows: Dean Tengel, Jean Ledford, Marianne McCreary, Bill Rockwell, Greg Rassel, and Amy Ruthig, Zoning Official.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of the Agenda:

Moved by Board Member Rassel, seconded by Board Member McCreary, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was made at 6:33 pm with no response.

1. 18-29... A request by Robert Savage, 1195 Sunrise Park, for a rear yard variance to construct a second story addition.

Mr. Robert Savage was present. There is currently a second floor on this home. It is approximately 20 feet high; however, it is not usable because of the pitch of the ceiling and the roof. They are using the same footprint and only putting in three bedrooms. He needs the variance because he does not own to the water's edge, which is different than the surrounding properties.

The call to the public was made at 6:35 pm with no response.

Board Member McCreary noted that a drawing was presented; however, there is no staked or mortgage survey provided. Mr. Savage stated that there are stakes placed on the property on one his of his, which is a public access. His neighbor on the other side

recently had a survey done. Both of these reference points were used to determine his setbacks.

Motion by Board Member Ledford, seconded by Board Member Rockwell, to approved Case #18-29 for 1195 Sunrise Park for Robert Savage for a rear yard setback variance of 25 feet from the required rear yard setback of 40 feet to 15 foot setback to construct a second story addition to a single-family home on the existing footprint, based on the following findings of fact:

- Strict compliance with the setbacks would cause the applicant to be unable to construct proposed addition. There are other homes in the vicinity that do not meet the rear yard setback; therefore the variance would provide substantial justice to the property.
- The exceptional or extraordinary condition of the property is the location of the existing home and the shape of the lot. The need for the variance to construct the addition is not self-created.
- The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or the public safety, comfort, morals or welfare of the residents of the Township of Genoa.
- The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The approval of this variance is conditioned upon the following:

1. Gutters and downspouts are to be installed.
2. Drainage from the structure must be maintained on the lot.
3. Building height cannot exceed the 25-foot height requirement.
4. The existing decks on the front and rear of the property will remain on the same configuration.

The motion carried unanimously.

2. 18-30... A request by Rhonda Newton, 5536 Wildwood Drive, for front, side, and rear yard variances to construct an attached garage.

Mr. Chris Bonk, the developer for the applicant, was present. The homeowner wishes to add an attached garage and a driveway onto Wildwood. He stated the lot is odd shaped. The applicant owns this property and the property to the north. There is an existing public walking path between these two properties. Because of the path, the two properties are not able to be combined, unless this portion of the path was vacated. He stated that many of the homes in the area have attached garages in the front yard that do not meet the setback. Additionally, there is a very steep embankment and a large

tree so someone driving on the roadway would not be able to drive off the road onto the property and into the home.

Chairman Tengel asked the applicant if they have received approval from the Livingston County Road Commission for the driveway. Mr. Bonk stated he will request that if he receives approval of the variances from the Township.

Board Member McCreary stated there was a previous applicant requesting a driveway onto Wildwood and the Road Commission stated they would not allow a driveway access in this area because of the lack of site distance. She feels that imposing any further on that corner is putting the public at risk, especially it being a dirt road and in the winter weather. Mr. Bonk suggested placing the driveway access on Grand River, instead of onto Wildwood.

Mr. Chad Newton, the homeowner, was present. He stated they would be willing to just add an addition to the home, and not a garage, and they would not need to install the new driveway. They purchased the home last year and have done a lot of work on the home; however, it is very small.

Board Member McCreary suggested that the applicant pursue the vacation of the walking path, combine the two properties, and build the garage and/or addition in that area.

The call to public was made at 7:03 pm with no response.

There were three letters of support received. Mr. Richard Corruner, Jennifer and Joe Tiano, and Matt Ikle of 5555 E. Grand River are in support of granting the variances.

The applicant requested to have their request tabled this evening.

Moved by Board Member Rockwell, seconded by Board Member Rassel, to table Case #18-30 for 5536 Wildwood Drive by Rhonda Newton, per the applicant's request, until the May 2019 Zoning Board of Appeals Meeting or sooner. **The motion carried unanimously.**

Administrative Business:

1. Approval of the minutes for the September 18 2018 Zoning Board of Appeals Meeting.

Board Members McCreary and Ledford requested changes be made to the minutes.

Moved by Board Member McCreary, seconded by Board Member Ledford, to approve the September 18, 2018 Zoning Board of Appeals Meeting minutes with the changes noted. **The motion carried unanimously.**

2. Correspondence – Ms. Ruthig will present the 2019 meeting calendar to the Board at the next meeting.
3. Township Board Representative Report - Board Member Ledford provided a review of the Township Board meetings held on October 1 and October 15, 2018.
4. Planning Commission Representative Report – Board Member McCreary provided a review of the Planning Commission meeting held on October 9, 2018.
5. Zoning Official Report – Ms. Ruthig noted that the November ZBA meeting will be on Wednesday, November 14. Board Member Rassel stated he will not be in attendance in November.
6. Member Discussion - There were no items discussed this evening.
7. Adjournment

Moved by Board Member Ledford, seconded by Board Member Rassel, to adjourn the meeting at 7:29 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary