

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
APRIL 9, 2018
MONDAY
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC: (Note: *The Board reserves the right to not begin new business after 10:00 p.m.*)

OLD BUSINESS:

OPEN PUBLIC HEARING # 1... Review of a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store. The property in question is located in the former TJ Maxx retail space at 3685 E. Grand River Avenue, Howell 48843. The request is petitioned by Family Farm and Home.

Planning Commission Recommendation of Petition:

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1-4-18).
- C. Recommendation of Site Plan (3-29-18).

NEW BUSINESS:

OPEN PUBLIC HEARING #2... Review of a sketch plan for a proposed pavilion and canopy located at the existing Oak Pointe County Club located at 4500 Club Drive, Brighton. The request is petitioned by Ventures Design.

Planning Commission Disposition of Petition:

- A. Disposition of Sketch Plan. (3-16-18)

OPEN PUBLIC HEARING #3... Review of a site plan amendment for proposed building design and material modifications to the previously approved Hampton Inn and Suites located on a vacant 2.56 acre site southwest of the Grand Oaks Drive and Latson Road Intersection. The request is petitioned by Bowers and Associates.

Planning Commission Recommendation of Petition:

- A. Recommendation of Site Plan Amendment (3-23-18)

ADMINISTRATIVE BUSINESS:

- *Staff Report*
- *Approval of March 12, 2018 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



GENOA CHARTER TOWNSHIP

Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Martin Renel, ASHMARK Construction

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248)855-1575

EMAIL: martin@ashmark.com

OWNER NAME & ADDRESS: ASHMARK Construction llc, 5640 West Maple Road Suite 300, West Bloomfield, MI 48322

SITE ADDRESS: 3685 E Grand River Ave

PARCEL #(s): 4711-05-400-032

OWNER PHONE: 248 855-1575

EMAIL: _____

Location and brief description of site and surroundings:

The site is An existing shopping center known as Grand River Plaza located north of S Latson Road on Grand River Road.

The tenant wishes to improve and occupy a retail space once occupied by TJ Maxx.

Proposed Use:

Hard scaping a side yard (7,331 SF OR .17 AC) to the south for a fenced exterior storage area, a reuse of an existing parking area as storage and the removal of a trash compactor enclosure screen fencing at the existing building entry and new loading dock door The requested outdoor fenced areas are for the purpose of storing products for sale.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

This project is located in a regional commercial district which allows for outdoor storage under 7.02.02 (d) of the Genoa Township Zoning Ordinance. Further this proposal provides 8 foot and 4 foot high screen walls where storage of products are to be stored or displayed. All stored items will not be stored higher than the screen provided and will not be visible from any residential district or expressway

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The storage area will screen all equipment and products with a fence area as proposed and is in keeping with providing retail offerings in a regional commercial district

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

There will be no change in complete access that currently exists to the site as no changes to vehicular and emergency circulation, drive isle or parking configurations is being requested.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

No

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

Yes, this proposal fully complies with 7.02.02 (d) as required for outdoor storage areas

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Martin Renel for property ownership STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: _____

ADDRESS: ASHMARK Construction llc, 5640 West Maple Road Suite 300, West Bloomfield, MI 48322

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Martin Renel of ASHMARK Construction LLC at martin@ashmark.com
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: _____ DATE: January 3, 2018

PRINT NAME: Martin Renel PHONE: 248 855-1575



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Family Farm and Home
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: ASHMARK Construction for Family Farm and Home

SITE ADDRESS: 3685 E Grand River Ave PARCEL #(s): _____

APPLICANT PHONE: (248 855-1575) OWNER PHONE: (_____)

OWNER EMAIL: martin@ashmark.com

LOCATION AND BRIEF DESCRIPTION OF SITE: The site is An existing shopping center known as Grand River Plaza located north of S Latson Road on Grand River Road. The tenant wishes to improve a retail space once occupied by TJ Maxx.

BRIEF STATEMENT OF PROPOSED USE: The building use will remain as it now exists, Mercantile / Retail No expansion of the building foot print is planned. The improvements include the renovation of the interior retail space as well as hard scaping a side yard (7,331 SF OR .17 AC) to the south for a fenced exterior storage area, a reuse of an existing parking area as storage and the removal of a trash compactor enclosure, screen fencing at the existing building entry and new loading dock door The requested outdoor fenced areas are for the purpose of storing products for sale.

THE FOLLOWING BUILDINGS ARE PROPOSED: no new buildings are proposed.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____

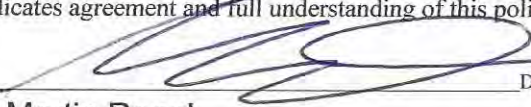
ADDRESS: ASHMARK Construction llc, 5640 West Maple Road Suite 300, West Bloomfield, MI 48322

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Martin Renel of ASHMARK Construction at martin@ashmark.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: January 3, 2018
PRINT NAME: Martin Renel PHONE: 248 855-1575
ADDRESS: 5640 West Maple Road Suite 300, West Bloomfield, MI 48322

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
MARCH 12, 2018
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Jim Mortensen, Eric Rauch, Chris Grajek, Jill Rickard and Marianne McCreary. Absent was John McManus. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Brian Borden of LSL Planning, Gary Markstrom of Tetra Tech, and an audience of 17.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to approve the agenda as presented.

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

OLD BUSINESS

OPEN PUBLIC HEARING #1... Review of a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store. The property in question is located in the former TJ Maxx retail space at 3685 E. Grand River Avenue, Howell 48843. The request is petitioned by Family Farm and Home.

Planning Commission Recommendation of Petition:

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1/4/18).
- C. Recommendation of Site Plan (2/22/18).

Mr. Martin Renel of ASHMARK Construction and Mr. Jeff Smith, representing the property owner, were present. Mr. Renel reviewed the changes they made based on the comments from last month's meeting. They addressed the storm-water control, the dumpster enclosure, the fencing, and they added the required details to the plan, and blocks to some of the parking spaces.

Mr. Borden reviewed his letter of March 6, 2018.

They find that the general standards of the Special Land Use have been met; however, there are some items required for the use conditions have not. Specifically, the setback requirement for the proposed trailer storage area is not provided and the trailer storage area is only

screened on three sides. He noted that the Planning Commission can allow screen fencing in place of the Buffer Zone B requirement.

Additional requirements that need to be met are:

- Impervious surface calculations must be provided. It was noted that the applicant provided this to the Township this afternoon. Mr. Borden reviewed the calculations and there is now more impervious surface being proposed.
- The amount of parking remaining after the removal of spaces meets the ordinance.
- He is suggesting a cross-access easement be provided on the subject site allowing future connection with the development to the east.
- He is recommending the applicant be required to maintain at least 5 feet of clearance along the front of the building. The plans were reviewed this evening and there is 6 feet of clearance.
- The parking blocks proposed along the south side of the 8-foot screen fencing reduce the drive aisle width below Ordinance standards and could pose problems for snow plowing.

Commissioner Rauch would vote to approve the setback requirement being waived for the trailer storage area because of its unique location. It is at the rear of a Wendy's restaurant and there is a dumpster in this area. He thanked the petitioner for altering the fencing, and adding the pillars and the screening for the trailer storage area.

Commissioner Rickard stated that the setbacks should be met. Chairman Brown agrees. There may be a time when Wendy's is no longer there and another business occupies the site.

Commissioner Mortensen does not approve of the proposed fence or the trailer storage area, which would need more fencing.

There was a discussion regarding redesigning the area to the south of the building where the trailer storage area is being proposed in order to meet the ordinance requirements that are lacking.

Mr. Smith stated they would like to receive direction from the Planning Commission tonight. It was discussed to have the Planning Commission approve the Special Land Use without approving the trailer storage. A variance would need to be obtained from the Zoning Board of Appeals. Mr. Eugene Franks from Family Farm and Home suggested the trailer storage be in the parking spaces adjacent to the building on the south side, removing the curbing for the other parking area adjacent to Wendy's property, and converting it into a 26-foot wide drive aisle. Ms. VanMarter suggested that the Fire Authority review these plans. She asked if all of the parking spaces are needed for the trailer storage. She suggested some of the spaces be left for customers wishing to park in the area if they are interested in looking at the trailers.

Commissioner Rauch brought up the issue of the cross access drive. Mr. Smith stated that the property owner would be willing to grant the easement to Meijer if they were to pay for the driveway to be constructed.

There was a discussion regarding the increase in impervious surface. The applicant will need to add green space on the site to accommodate the additional impervious area.

Commissioner Rickert would like to see the revised plans. Commissioner Mortensen agrees.

The Call to the Public was made at 7:59 pm.

Mr. Kathy Termors is one of the owners of Kolt Jewelers. She would like this project to be approved. This center needs more tenants.

Robert Huffman stated that he and his wife own BC Comix and Games. He would like this project to be approved.

The call to the public was closed at 8:01 pm.

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to table the request for a special use, site plan, and environmental impact assessment for a proposed commercial outdoor display, sales, and storage area for a new Family Farm and Home store located at 3685 E. Grand River Avenue, Howell 48843 until the April 9, 2018 meeting with the intention the petitioner will satisfactorily address the items discussed this evening.

NEW BUSINESS

OPEN PUBLIC HEARING #2... Review of site plan and environmental impact assessment for a proposed 2,254 sq. ft. addition to the existing ALDI Food Market located at 2260 E. Grand River Ave., Howell. The request is petitioned by ALDI Inc.

Planning Commission Recommendation of Petition:

- A. Recommendation of Environmental Impact Assessment (2-23-18)
- B. Disposition of Site Plan (2-21-18)

Mr. Christopher Grzenkowicz with Desine Inc. and Mr. Sam Glennen of Aldi were present. Mr. Grzenkowicz provided a review of their proposed project. They would like to completely remodel the inside of the store and add an approximate 2,254 square foot addition to the east of the building. They will also be adding additional parking spaces, resurfacing the entire parking lot, replacing the parking lot lighting with LED lights, replacing and adding additional landscaping, and replacing the existing monument sign. They are requesting side and rear parking setback waivers for six of their spaces. He showed colored renderings and a site plan.

They will also need approval for the increase of parking spaces. Aldi's corporate standard for parking is 75 spaces at a minimum and 95 as a requirement. Mr. Borden stated the maximum allowed by ordinance is 91 spaces. The Planning Commission will need to approve the additional four spaces.

Mr. Borden reviewed his letter of February 28, 2018. The applicant has met all of the requirements of the ordinance. The only outstanding issues are Planning Commission discretionary items. As Mr. Grzenkowicz stated, the Planning Commission must approve the waiver of the side and rear parking setbacks, the approval of the four additional parking spaces, and the building elevations, materials, and colors.

Mr. Markstrom stated the applicant has addressed all of their concerns.

The call to the public was made at 8:25 pm with no response.

Moved by Commissioner Mortensen, seconded by Commission Rauch to recommend to the Township Board the Environmental Impact Assessment dated February 23, 2018 for a 2,254 sq.

OPEN PUBLIC HEARING # 3... Review of a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store. The property in question is located in the former TJ Maxx retail space at 3685 E. Grand River Avenue, Howell 48843. The request is petitioned by Family Farm and Home.

Planning Commission Recommendation of Petition:

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (01/04/18).
- C. Recommendation of Site Plan (01/24/18).

Mr. Martin Renel of Ashmark Construction and Robert Kerr of Metro Group Architects were present.

Mr. Renel provided a review of the project and the proposed use. They would be performing minor renovations on the interior of the building. They would be adding an outdoor display area and reconstructing the dumpster enclosure.

Mr. Borden reviewed his letter of February 6, 2018.

They find that the general standards of the Special Land Use have been met.

The screening for the outdoor storage area is required to be six-feet high and the applicant is proposing four-foot high fencing. The Planning Commission can approve the difference.

He is asking for clarification for what the applicant is calling the outdoor staging area. It appears to be an additional outdoor storage area. Mr. Renel stated that since the submittal was made, they have confirmed with Family Farm and Home that this area will be storage so the fencing will need to be extended to include this, which is an additional 19 feet.

There was a discussion regarding the removal of some of the grass area and then the same amount of grass area being replaced by removing parking spaces and adding turf.

Commissioner Mortensen questioned if this would affect the parking. Ms. VanMarter stated there is sufficient parking on this site.

Commissioner Mortensen asked that the proposed white PVC fencing being redesigned. Mr. Borden noted that this fencing is also being proposed for the dumpster enclosure area and it is not an approved material. Mr. Eugene Franks of Family Farm and Home stated that there are dumpsters along the back of the building and none of them have enclosures. Mr. Renel stated they could use wood for the enclosure.

Commissioner Rauch asked staff for their experience with other commercial businesses in the Township who have outdoor storage. Ms. VanMarter stated the Township has had continued problems with businesses that have not complied with the ordinance as it pertains to outdoor

storage for retail uses. Commissioner Rauch wants to ensure that there is sufficient screening on the front of this building so the same problem does not occur here.

Mr. Borden noted that the architectural plan and the engineering plan are not consistent.

There was a discussion regarding the completion of the cross access driveway to the property to the east. The applicant has declined to finish the driveway to connect the two properties. Ms. VanMarter stated that the connection is the responsibility of Meijer; however, at the time it was developed, they were not given an easement from Kroger. Mr. Markstrom stated there is a large grade change in this area so significant work would need to be done to connect these two properties.

Mr. Markstrom reviewed his letter dated January 30, 2018. He would like to see flow direction shown for the storm-water runoff. The trade-off of the paving and turf is a viable alternative; however, he suggested the applicant look at the entire site it could possibly be determined that there may be sufficient impervious surface so there may not be a need to remove the parking spaces.

He needs to see a complete site plan with details, such as foundation details, curbing details, etc.

Chairman Brown reviewed the Brighton Area Fire Authority letter dated February 1, 2018. The applicant has agreed to meet all of their requirements.

The call to the public was made at 8:08 pm.

Mr. Eric Unatin with Mid-American Real Estate has been working on this lease. Their experience over the past 18 months since this site has been vacant has been that Family Farm and Home has been the only company interested. He noted the discussion regarding the material for the fencing and the dumpster enclosure and stated there are costs associated for both the property owner and the tenant when a new owner moves into a space and it must be economical for both of them.

The call to the public was closed at 8:12 pm.

Commissioner McManus agrees with what Mr. Unatin said; however, the Planning Commission needs to ensure that the ordinance is met. He agrees that the proposed fencing needs to be upgraded.

Moved by Commissioner Mortensen, seconded by Commissioner Rauch, table the request for a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store located at 3685 E. Grand River Avenue, Howell 48843 until the March 12, 2018 meeting.

The motion carried unanimously.

ASHMARK Construction, LLC

March 21, 2018

Genoa Township
2911 Dorr Road
Brighton, MI 48116

ATTN: Kelly VanMarter

RE: Family Farm & Home-Comments/Changes from
Planning Commission Meeting 3/12/2018 for
Planning Commission Meeting 4/9/2018

Dear Kelly,

1. Owner to agree to grant access easement for cross access between Meijer. Details TBD.
Township to provide easement language for Ownership approval and confirmation that Meijer will bear the majority of the cost of this work.
2. Revise plan detailed below:
 - Moving trailer storage to south end of outside storage.
 - Add (2) sections of 17' – 8' high fencing on two sides
 - Add (4) spaces of temporary 10 min customer parking.
 - Make drive lane
 - Relocate hydrant.
 - Relocate OH door**See attached revised plans by Metro Group Architects**
- 3.) Sharpen impervious calcs (Alpine)
See attached revised plans by Alpine Engineering

Should you require any additional information please do not hesitate to contact me.

Sincerely,

ASHMARK CONSTRUCTION, LLC



Martin J. Renel
Managing Member



March 27, 2018

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Family Farm and Home – Special Land Use and Site Plan Review #4
Location:	3685 East Grand River Avenue – north side of Grand River, west of S. Latson Road
Zoning:	RCD Regional Commercial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Family Farm and Home for special land use (application dated 1/30/18) and site plan (plans dated 3/20/18 from Alpine and 3/21/18 from Metro Group) review and approval.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

A. Summary

1. In our opinion, the special land use standards of Section 19.03 are generally met; however:
 - a. the use conditions of Section 7.02.02(d) must be met; and
 - b. any comments provided by the Township Engineer or Fire Department must be addressed.
2. In our opinion, the use conditions of Section 7.02.02(d) are met, provided that the Planning Commission may allow screen fencing in lieu of a buffer zone B.
3. The proposal results in an impervious surface calculation slightly above that allowed by Ordinance – 76.9% vs. 75%.
4. We request the applicant confirm that the amount of parking provided (467 spaces) includes all of the spaces to be removed as part of this project.
5. We suggest a cross-access easement be provided on the subject site allowing future connection with the development to the east.
6. We recommend the applicant be required to maintain at least 7’ of clearance along the front of the building for pedestrian circulation.
7. At such time as new signage is proposed, the applicant must obtain approval and a permit from the Township prior to installation.

B. Proposal/Process

The project entails a new business within an existing multi-tenant commercial center (the space was formerly home to a TJ Maxx store), as well as outdoor display, sales and storage. Table 7.02 lists outdoor commercial display, sales or storage as a special land use in the RCD. Such uses are also subject to the use conditions of Section 7.02.02(d).

Procedurally, the Planning Commission is to review the special land use, site plan and impact assessment and provide a recommendation on each to the Township Board following a public hearing. (The hearing was held at the February 12, 2018 Planning Commission meeting, though the request was tabled.)



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan identifies the subject site, as well as the adjacent properties along Grand River, as Regional Commercial. This category is intended for “higher intensity commercial uses that serve the comparison shopping needs of the entire community and the regional market.”

The description does not mention outdoor display, sales or storage, though it is worth noting that the large commercial store to the east has a somewhat similar accessory outdoor element to their business.

- 2. Compatibility.** The area is developed with a variety of commercial uses. While outdoor uses do not appear to be overly prevalent in this area, the development adjacent to the east has a similar outdoor component (as noted above). Provided the use conditions for outdoor display, sales and storage are met, the proposal is generally expected to be compatible with the character of the area.
- 3. Public Facilities and Services.** As a developed site along the main commercial corridor through the Township, we anticipate necessary public facilities and services are in place; however, the Commission should consider any comments provided by the Township Engineer and Brighton Area Fire Department.
- 4. Impacts.** The use conditions of Section 7.02.02(d) are intended to limit on- or off-site impacts of outdoor display, sales and storage. Provided those standards are met, the proposal should not create adverse impacts upon adjacent or surrounding properties and/or uses.
- 5. Mitigation.** If additional concerns arise as part of the review process, the Township may require efforts to mitigate potential adverse impacts.

D. Use Conditions

Commercial outdoor display, sales or storage uses are subject to the following use conditions of Section 7.02.02(d):

1. Minimum lot area shall be one (1) acre.

The revised plans note a total site area of 26.5 acres.

2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.

The second submittal noted that any such materials will be kept in the manufacturer's packaging; thus, there will not be any loosely stored materials.

3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.

The site plan identifies paved surfaces for each of the outdoor storage and display areas – the main storage area (south of the building), the newly proposed trailer storage area, and the display area in front of the building.

4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.

Section 7.03 requires setbacks of 50 (rear) and 20 feet (side). The main storage area provides 43-foot setbacks from both the east (side) and south (side) lot lines. The display area in front of the store is also well outside of required setbacks and the proposed trailer storage has been relocated such that it provides a compliant setback of approximately 28 feet from the south side lot line.

5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.

The plans note that the building space for the proposed business contains 28,151 square feet of floor area.

6. All loading and truck maneuvering shall be accommodated on-site.

The site has existing vehicular access from Grand River and no changes are proposed. The plans show a new overhead door and loading area on the east side of the building facing north.

Sheet 2 of the Alpine Engineering submittal includes a truck turning movement diagram demonstrating that truck maneuvering can be accommodated on-site.

- 7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

The areas of the site impacted are to the south, east and west and include 3 separate outdoor storage/display areas – the main storage area south of the building; the trailer storage area immediately south of the main area; and the display area along the front of the building.

None of these areas provide a full buffer zone B, but are all proposed to be screened with privacy fencing of varying heights – 8-foot for the main outdoor storage area and 4-foot for the trailer storage and display area in front of the building. The current plans also incorporate brick piers into the screen fencing to help break up the long stretches of white vinyl.

As noted under this criterion and previously discussed, the Planning Commission may allow screen fencing in lieu of a buffer zone B. (As was previously discussed, Section 12.02.13 gives the Commission the ability to allow 4-foot fencing as opposed to 6-foot.)

- 8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district or face an expressway, and such storage is confined to within twenty (20) feet of the building.**

The special land use application states that “all stored items will not be stored higher than the screen provided.”

E. Site Plan Review

- 1. Dimensional Requirements.** The only dimensional standards affected by the request are setbacks for the outdoor storage area (addressed above) and a slight increase in impervious surface lot coverage due to the removal of the landscaped area.

In order to mitigate the new impervious area for the main outdoor storage, a bank of 9 parking spaces on the far west side of the site will be removed and converted to landscaping.

A note on the Alpine Engineering plans identifies an existing and proposed impervious surface coverage of 75%; however, the calculation for the proposed coverage actually results in 76.9%, which slightly exceeds the Ordinance limitation of 75%. This must be clarified and/or corrected for compliance.

- 2. Building Materials and Design.** The proposal includes repairs to and painting of the building. The submittal states that the repairs will match the existing building.
- 3. Parking.** The current submittal includes parking calculations noting that the site requires 428 parking spaces, while 467 will be provided. Given discrepancies between previous submittals, we request the applicant confirm that the amount of parking noted includes all of the spaces to be removed as part of this project.
- 4. Pedestrian and Vehicular Circulation.** As discussed at previous Planning Commission meetings, we suggest the owner of the subject site be required to provide a cross-access easement for a future connection to the development east of the subject site.

Additionally, the applicant must maintain a clear pedestrian area in front of the building given the presence of outdoor display. The nearest point between the screen fencing and building is 7 feet. We suggest a condition that this area will remain clear of any display/storage items.

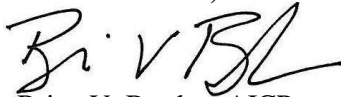
5. **Landscaping.** The submittal identifies two new planters along the south side of the outdoor storage area. The planters will each contain a 10' tall Arborvitae.
6. **Waste Receptacle and Enclosure.** The plan includes a new waste receptacle/enclosure on the east side of the building. The details on Sheet A5.1 note the use of a wooden enclosure (cedar). The current submittal also identifies the concrete base pad, as required by Section 12.04.
7. **Exterior Lighting.** The revised submittal states that existing site lighting will remain and does not identify any new lighting proposed.
8. **Signs.** Sign details are not provided, although the building elevation drawing (Sheet A5.1) identifies an area for a new wall sign.

When a new sign is desired for the business, the applicant will need to obtain approval and a permit from the Township prior to installation.

9. **Impact Assessment.** The original submittal included an Impact Assessment prepared by Ashmark Construction, LLC (not dated). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at borden@lsplanning.com.

Respectfully,
LSL PLANNING, A SAFE BUILT COMPANY



Brian V. Borden, AICP
Planning Manager



April 3, 2018

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Family Farm and Home Site Plan Review #4

Dear Ms. Van Marter:

Tetra Tech conducted a fourth site plan review of the Family Farm and Home proposed site located at 3685 East Grand River Avenue (Grand River Plaza Shopping Center) in Howell. The petitioner is proposing to modify an existing retail outlet to meet the retail needs of a Family Farm and Home store. The submission included site plans with the latest revision date of March 29, 2018 and a Detention Basin Improvement Plans dated April 2, 2018.

From an engineering view the plans have not changed to address previous comments. The petitioner continues to assume that there is a subsequent detailed engineering plan review phase and has not included the required information on the site plan. However, our previous comments regarding the storm drainage and the change in impervious area have been addressed with the Detention Basin Improvement plan. The petitioner has evaluated the existing detention basin and provided a plan for replacing the existing outlet structure to accommodate the increase impervious area being created with the outdoor storage. This plan is satisfactory for managing the storm water issues of the redevelopment.

The petitioner has revised the parking and drive aisles on the south side of the existing building to increase the outdoor fenced storage area. Details need to be provided showing what curb is being removed and what it is being replaced, including dimensions and radii shown on the site plan. A note indicates that a hydrant will be relocated yet no details are provided for the work. There is an existing public water main running diagonally through the western drive aisle where the new screening fence is proposed. The water main should be field located and the fence adjusted to not impede access to the main. A copy of the record drawings for the main are included in this letter for reference. With all the unclear items we recommend engineering plans and details be prepared at this review stage.

Our previous review suggested that the petitioner provide an easement for a future cross-access connection with Meijer. This issue was also discussed at the last planning commission meeting where the petitioner indicated that an easement could be granted. This easement should be indicated on the site plan via a note and leader to the general location. The actual easement can be submitted as part of the land use permit process.

Given the lack of detailed site improvement plans we cannot recommend approval of the site plan as submitted. If the engineering issues are the only remaining concerns of the planning commission we recommend any motion

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetratech.com

Ms. Kelly Van Marter
Re: Family Farm and Home Site Plan Review #4
April 3, 2018
Page 2

related to the site plan include a contingency that the detailed design plans be submitted and approved prior to the land use permit being issued

We will be present at the next planning commission meeting to answer any questions of the Township. If you have any questions before then please call.

Sincerely,

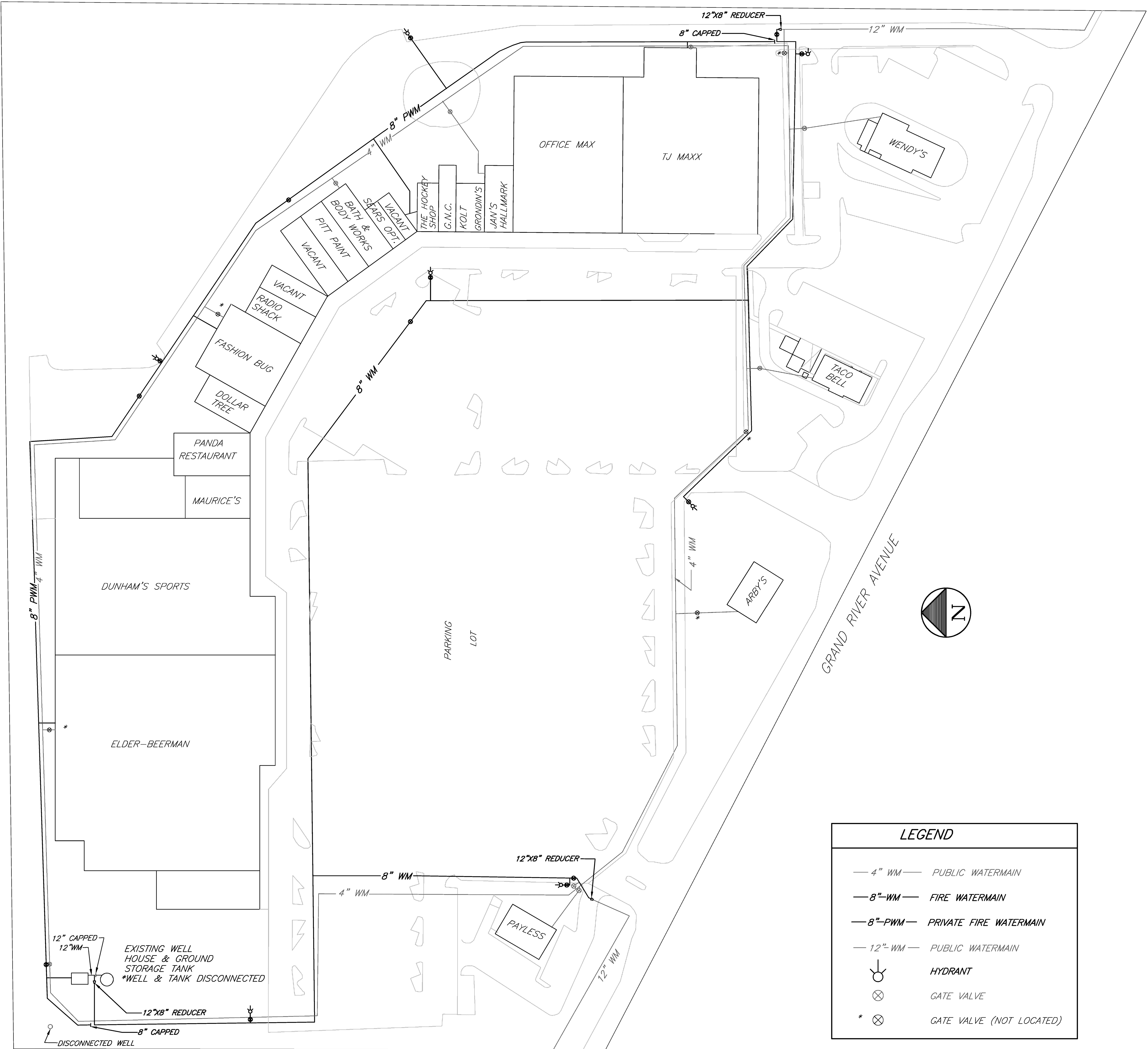


Gary J. Markstrom, P.E.
Unit Vice President

Enclosure

copy: Martin Renel, Ashmark Construction

NOTE:
DRAWING EDITED 11/27/07 WITH FIELD
VERIFIED AS-BUILTS



LEGEND	
— 4" WM —	PUBLIC WATERMAIN
— 8" WM —	FIRE WATERMAIN
— 8" PFW —	PRIVATE FIRE WATERMAIN
— 12" WM —	PUBLIC WATERMAIN
	HYDRANT
	GATE VALVE
*	GATE VALVE (NOT LOCATED)

NOTE:
THE LOCATIONS OF THE 4"(FOUR) AND 8"(EIGHT) WATER
MAINS WERE TAKEN FROM THE DEVELOPER'S RECORDS.

Ann Arbor, Michigan Brighton, Michigan Detroit, Michigan Escanaba, Michigan Grand Rapids, Michigan Lansing, Michigan		 McNAMEE FIRST-CHOICE FIRM SINCE 1914
McNAMEE, PORTER & SEELEY, INC.		
LOCATED BY: L. OAKES	CHECKED: K. S. FERN	
DATE: 05-21-97	SCALE: NO SCALE	
	PART NO.: 0144.303.01	
GENOA TOWNSHIP, WEST GRAND RIVER WATER SYSTEM		

GRAND RIVER PLAZA WATER SYSTEM



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

April 3, 2018

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Family Farm & Home
3685 E. Grand River Avenue
Howell, MI 48843

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on March 21, 2018 and the drawings are dated January 23, 2018 with latest revisions dated March 20, 2018. The project is for the redevelopment of an existing 28,151 square foot Mercantile use occupancy that will changing occupant and renovating the structure to meet their needs. They are also proposing to redevelop a large greenbelt area and 19 parking spaces to be utilized as an outside storage and staging area. This review is for removal of parking for trailer storage and relocation of the drive aisle. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. The proposed relocated hydrant to the west end of the proposed drive aisle is to be relocated across the drive aisle to the North, on the corner of the new proposed area next to the trailer storage.
2. Based upon site visit and aerial imagery, the hydrant at the east end of the realigned drive aisle appears to be in the aisle, or on the immediate corner. This hydrant is not reflected on architecturals or engineering drawings. Greater detail of the location of the east hydrant needs to be shown. If the hydrant remains in the landscaped or curbed area is must be provided with proper buffer (MHOG Standard) or impact protection in accordance with Chapter 312 of the fire code.
3. The new outside storage area is not shown with the egress gates on the Alpine engineering plans, but is on the architecturals. Clarify whether or not this is drawing is for visual representation of the storage perimeter or construction.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.



April 3, 2018

Page 2

Family Farm & Home
3685 E. Grand River Avenue
Site Plan Review

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

Family Farm & Home Impact Assessment

- a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Martin J. Renel
Principal at ASHMARK Construction LLC
5640 West Maple Suite 300
West Bloomfield, MI 48322
28 years of Commercial Development and Construction experience.

- b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also included information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

See submitted plans by Metro Group Architects detailing these areas.

- c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

The current site is an existing shopping center; the tenant is taking over the previous TJ Maxx location. We are requesting approval of creating an outside storage area for Family, Farm & Home Store. We do not intend any impact on the existing environmental conditions.

- d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

We will install soil erosion control as required by Livingston County Drain Commission during construction activities of the exterior storage area. We will insure proper dust control during construction activities.

- e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

We do not intend to have any impact on surrounding lands; since the use is not changing.

- f. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The impact on public facilities and services shall be consistent with the former use.

- g. **Impact on public utilities:** Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

Please see Alpine Engineering letter dated January 3rd 2018 stating no impact on the existing stormwater system.

- h. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted,

Outside storage area to consist of: landscape mulch & bark, landscape products, patio stone/rock/gravel, peat/soil/earth products, Pots & Planters.

- i. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets. The contents of the detailed study shall include:

Description of existing daily and peak hour traffic on adjacent street(s) and a description of any sight distance limitations along the right-of-way frontage of the site.

The impact on traffic and Pedestrians shall be consistent with the former use.

Forecasted trip generation of the proposed use for the a.m. and p.m. peak hour and average daily traffic generated.

The impact on trip generation shall be consistent with the former use.

For any project with a completion date beyond one year at the time of site plan approval, the analysis shall also include a scenario analyzing forecasted traffic at date of completion along the adjacent street network using a forecast based either on historic annual percentage increases and/or on expected development in the area.

Our Completion date will not be beyond one year of approval.

Projected traffic generated shall be distributed (inbound v. outbound, left turn v. right turn) onto the existing street network to project turning movements at site driveways and nearby intersections. Rationale for the distribution shall be provided.

The impact on traffic (inbound/outbound, left/right turns) shall be consistent with the former use.

Capacity analysis at the proposed driveway(s) using the procedures outlined in the most recent edition of the *Highway Capacity Manual* published by the Transportation Research Board. Capacity analyses shall be provided for all street intersections where the expected traffic will comprise at least five-percent (5%) of the existing intersection capacity.

The capacity analysis shall be consistent with the previously approved shopping center.

Accident data for the previous three (3) years for roadway sections and intersections experiencing congestion or a relatively high accident rate, as determined by the township or staff from the Livingston County Road Commission or Michigan Department of Transportation.

N/A – Since this site has been previously approved.

Analysis of any mitigation measures warranted by the anticipated traffic impacts. Where appropriate, documentation shall be provided from the appropriate road agency regarding time schedule for improvements and method of funding.

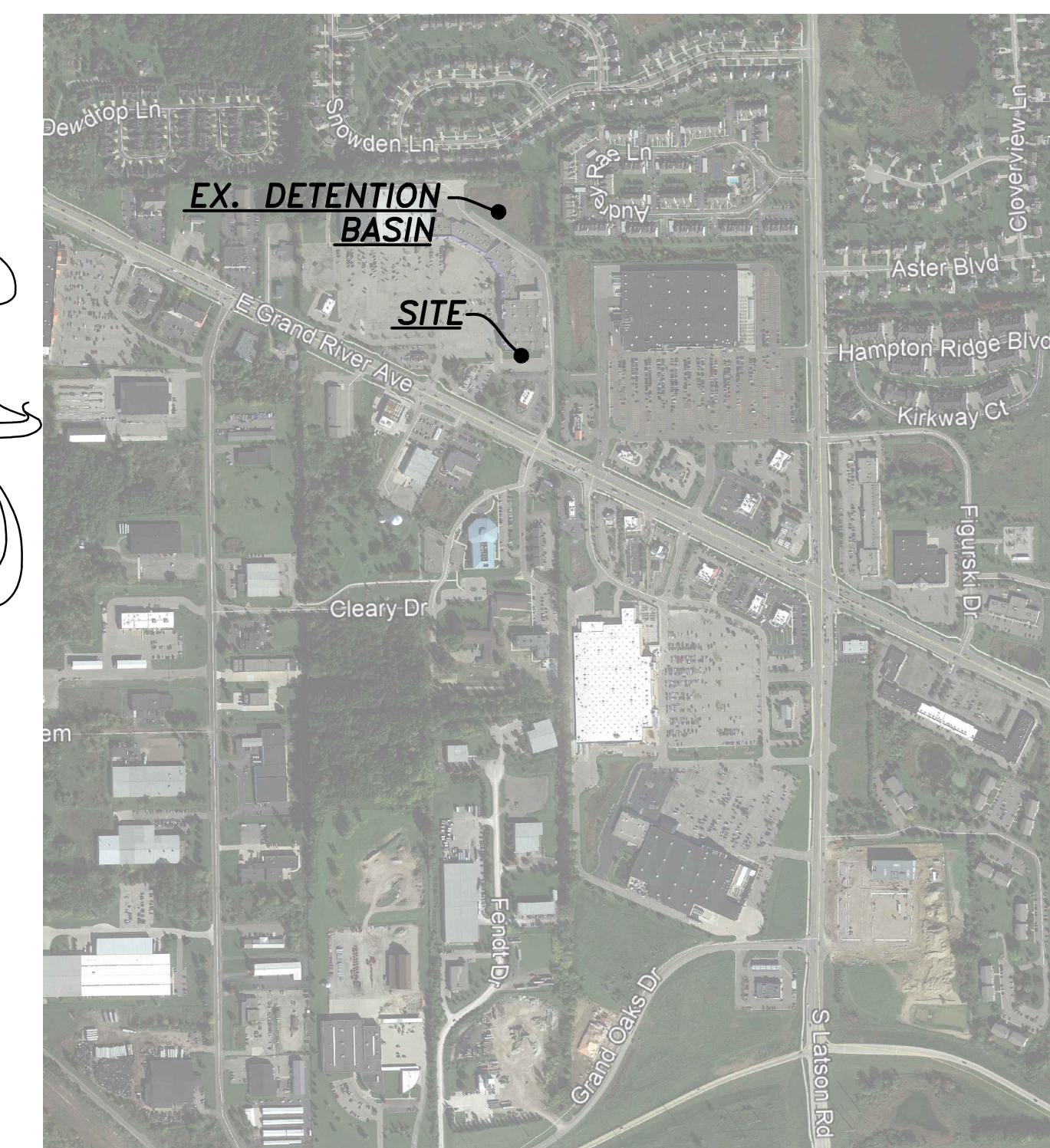
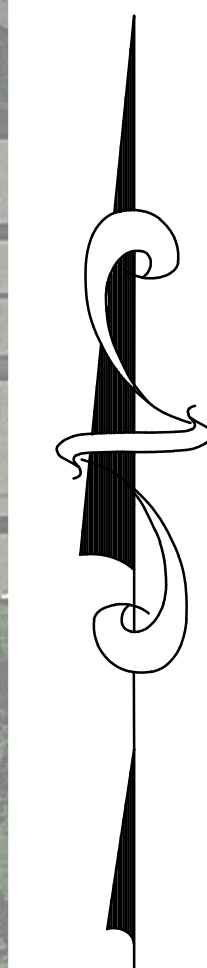
N/A – Since this site has been previously approved.

A map illustrating the location and design of proposed access, including any sight distance limitations, dimensions from adjacent driveways and intersections within 250 feet of the edge of the property frontage, and other data to demonstrate that the driveway(s) will provide safe and efficient traffic operation and be in accordance with Article 15.

N/A – Since this site has been previously approved.

- j. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

None required.



LOCATION MAP:
NOT TO SCALE

SITE DATA:

SITE AREA: 12.74 ACRES± (GROSS)
 PARCEL ID: 4711-05-400-032
 EXISTING/PROPOSED ZONING: RCD REGIONAL COMMERCIAL DISTRICT
 BUILDING AREA: 28,151 S.F. FAMILY FARM AND HOME RENOVATION
 75,706 S.F. EXISTING RETAIL
 103,857 S.F. BUILDING TOTAL

REQUIRED PARKING:
 1 SPACE FOR EACH 250 SQUARE FEET OF GROSS RETAIL FLOOR AREA FOR THE FIRST 50,000 SQUARE FEET.
 ONE FOR EACH 275 SQUARE FEET FOR THE NEXT 50,000 TO 450,000 SQUARE FEET OF GROSS RETAIL FLOOR
 AREA. ONE FOR EACH 300 SQUARE FEET FOR THAT AREA IN EXCESS OF 450,000 SQUARE FEET OF GROSS
 RETAIL FLOOR AREA. NON-RETAIL USES SUCH AS RESTAURANTS, BARS AND THEATERS SHALL BE CALCULATED
 SEPARATELY BASED UPON THEIR RESPECTIVE REQUIREMENTS

$50,000 \text{ S.F. (RETAIL)} / 250 + 48,857 \text{ S.F. (RETAIL)} / 275 + 5,000 \text{ S.F. (ASIAN FUSION)} / 100 = 428$

428 TOTAL PARKING SPACES REQUIRED
 467 TOTAL PARKING SPACES PROVIDED (INCLUDES 18 B.F. SPACES)

IMPERVIOUS SURFACE CALCULATION:
 DRAINAGE AREA: 12.74 ACRES + 13.76 ACRES = 26.50 ACRES
 IMPERVIOUS SURFACE EXISTING = 19.86 ACRES (BUILDING/PAVING) / 26.50 ACRES = 75%
 IMPERVIOUS SURFACE PROPOSED = 19.99 ACRES (BUILDING/PAVING) / 26.50 ACRES = 75%

NOTE: THE APPLICANT PROPOSES TO ENLARGE THE EXISTING DETENTION BASIN TO ACCOMMODATE THE
 INCREASE IN IMPERVIOUS AREA IF NECESSARY. ADDITIONAL INFORMATION TO BE PROVIDED IN THE DETAILED
 ENGINEERING PLAN STAGE.

SITE PLAN GENERAL NOTES:

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF GENOA TOWNSHIP.
- 2) THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR TO FIELD VERIFY LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES.
- 4) PRELIMINARY SITE STUDY ONLY. A SURVEY WILL BE PROVIDED AT DETAILED ENGINEERING PLAN STAGE.
- 5) GRADING AND STORM WATER MANAGEMENT DETAILS WILL BE PROVIDED AT DETAILED ENGINEERING PLAN STAGE.

NOTICE:

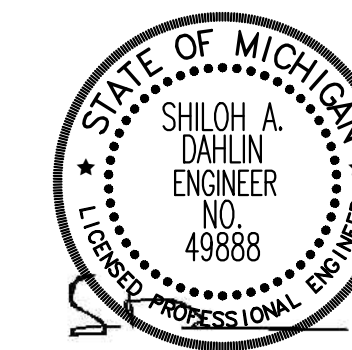
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SHEET INDEX

1	SITE PLAN
2	TRUCK CIRCULATION PLAN



PRELIMINARY
NOT FOR CONSTRUCTION

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

COMMERCIAL
 SITE PLANNING
 SITE ENGINEERING
 INDUSTRIAL & MULTI-UNIT
 LAND SURVEYING
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS

RESIDENTIAL
 SUBDIVISIONS
 SITE CONDOMINIUM
 MULTI-FAMILY
 PLOT PLANS
 CONSTRUCTION LAYOUT

48692 WEST ROAD
 SUITE 109
 NOVI, MICHIGAN 48377

(248) 996-3701 (BUS)
 (248) 926-3765 (FAX)
 WWW.ALPINE-INC.NET

811
 Know what's below
 Call before you dig.

CLIENT: ASHMARK CONSTRUCTION, LLC

SITE PLAN

FAMILY FARM AND HOME - 3685 E. GRAND RIVER AVE.
 SECTION: 5 E TOWNSHIP: 5 RANGE: 2 N
 GENOA TOWNSHIP LIVINGSTON COUNTY MICHIGAN

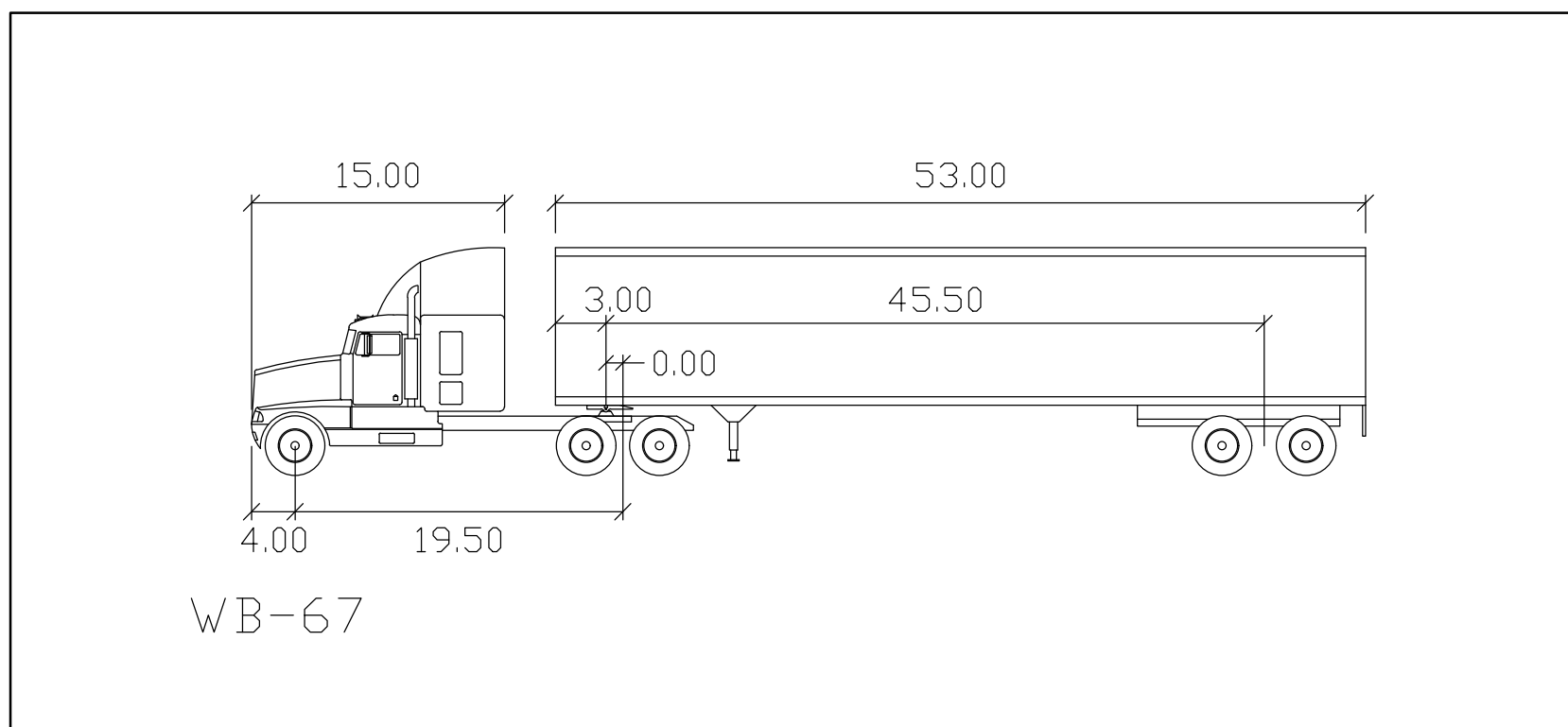
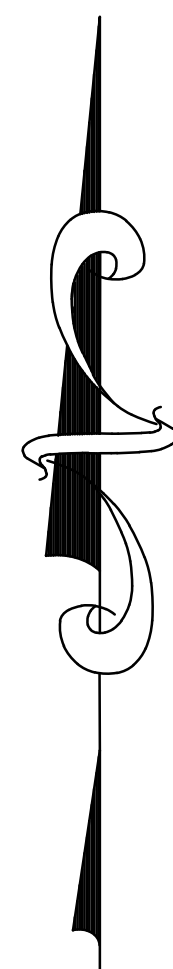
REVISED

2018-02-22 REVISED PER CLIENT
 2018-03-20 REVISED PER CLIENT
 2018-03-29 REVISED PER CLIENT

DATE: 2018-01-23
 DRAWN BY: TG
 CHECKED BY: TG/SD

SCALE: HOR 1"=60 FT.
 VER 1"=6 FT.

17-516



NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SITE ENGINEERING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
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WWW.ALPI-INC.NET



CLIENT: ASHMARK CONSTRUCTION, LLC

TRUCK CIRCULATION PLAN

FAMILY FARM AND HOME - 3685 E. GRAND RIVER AVE.
SECTION: 5 E TOWNSHIP: 5 RANGE: 2 N
GENOA TOWNSHIP
LIVINGSTON COUNTY
MICHIGAN

REVISED

DATE: 2018-01-23
DRAWN BY: TG
CHECKED BY: TG/SD

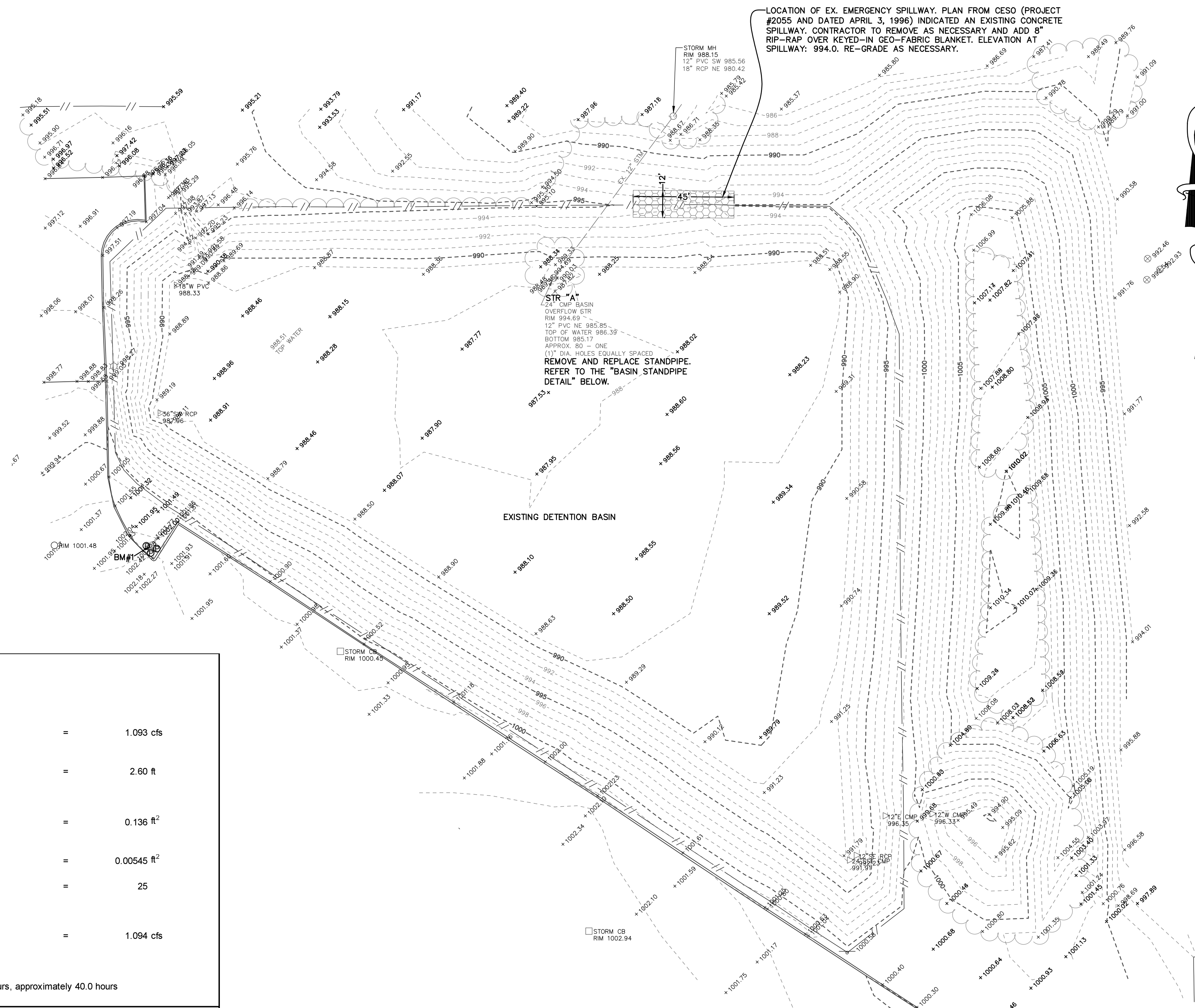
SCALE: HOR 1"=60 FT.
VER 1"= FT.

FBK:
CHF:

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17-516

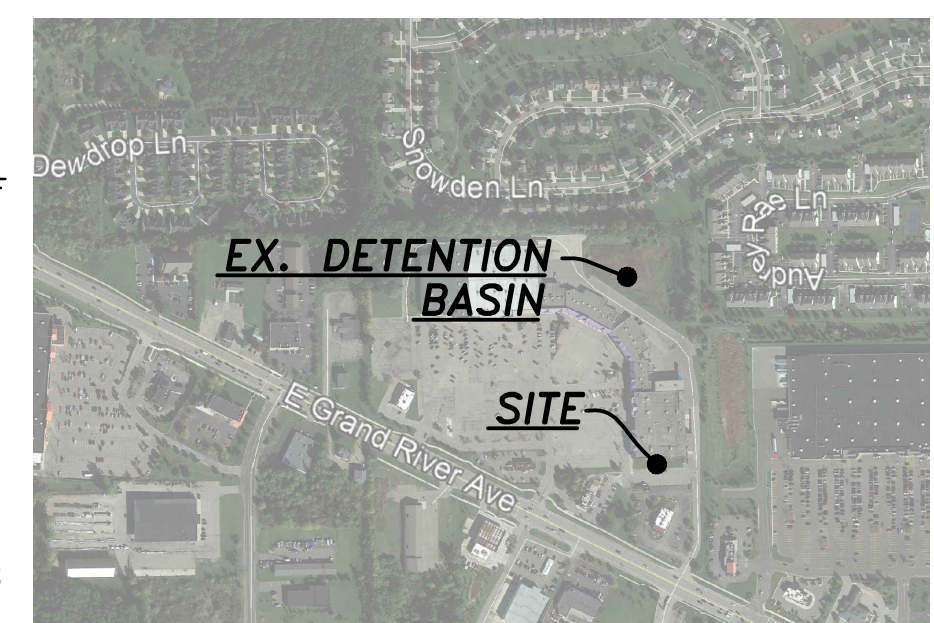
PRELIMINARY
NOT FOR CONSTRUCTION



LOCATION OF EX. EMERGENCY SPILLWAY. PLAN FROM CESO (PROJECT #2055 AND DATED APRIL 3, 1996) INDICATED AN EXISTING CONCRETE SPILLWAY. CONTRACTOR TO REMOVE AS NECESSARY AND ADD 8" RIP-RAP OVER KEYED-IN GEO-FABRIC BLANKET. ELEVATION AT SPILLWAY: 994.0. RE-GRADE AS NECESSARY.

NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP AND/OR COUNTY.
2. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CLEAN OUT DEBRIS AS NECESSARY.
4. CONTRACTOR TO INSTALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AS NECESSARY. REFER TO THE COUNTY DETAILS.
5. PERMANENT SOIL EROSION CONTROL MEASURES (SEED AND MULCH) FOR AREAS IMPACTED BY CONSTRUCTION WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING.
6. TITLEWORK WAS NOT PROVIDED. EASEMENTS HAVE NOT BEEN SHOWN. A BOUNDARY SURVEY WAS NOT PERFORMED.



LOCATION MAP:
NOT TO SCALE

PROPOSED RUN-OFF COEFFICIENT (C)

LAND USE	AREA (A) (acres)	RUNOFF COEFFICIENT (C)
PAVEMENT/BLDG	19.99	0.90
GRASS	6.51	0.20
AREA	26.50	
prop. impervious area percentage	75%	
C=SUM (Ai x Ci) / A = (19.994 x 0.90) + (6.506 x 0.20)		26.500
STORM CB RIM ELEV: 999.22		= 0.73

BENCHMARKS:

BM#1: ARROW ON HYDRANT ELEV: 1003.81
 BM#2: STORM CB RIM ELEV: 999.22

REQUIRED VOLUME

DESIGN VARIABLES: Tributary Area (A): = 26.50 acres
 Weighted C Coefficient = 0.73
 Design Constant (K₁) = A * C = 19.29
 Allowable Outflow Rate (Q_o): = 5.300 cfs

1	2	3	4	5	6	7
Duration (Minutes)	Duration (Seconds)	Intensity (100 yr Storm) (in/Hr)	Col. #2 x Col. #3 Inches	Inflow Volume = Col.4 x K (Cu. Ft)	Outflow Volume Col.2 x Q _o (Cu. Ft)	Storage Volume Col.5 - Col.6 (Cu. Ft)
5	300	9.17	2.751	53,072	1,590	51,482
10	600	7.86	4.716	90,981	3,180	87,801
15	900	6.88	6.192	119,456	4,770	114,686
20	1,200	6.11	7.332	141,449	6,360	135,089
30	1,800	5.00	9.000	173,628	9,540	164,088
60	3,600	3.24	11,664	225,022	19,080	205,942
90	5,400	2.39	12,906	248,983	28,620	220,363
120	7,200	1.90	13,680	263,915	38,160	225,755
180	10,800	1.34	14,472	279,194	57,240	221,954
240	14,400	1.04	14,976	288,917	76,320	212,597
300	18,000	0.85	15,300	295,168	95,400	199,768
360	21,600	0.71	15,336	295,862	114,480	181,382

STORAGE VOLUME REQUIRED

TOTAL = V₁₀₀ = 225,755 cf

BANKFULL VOLUME REQUIRED

TOTAL = V₁₀₀ = 8,160 x Acreage x the relative impervious factor, C = 157,423 cf

FIRST FLUSH VOLUME REQUIRED

TOTAL = V₁₀₀ = 1,815 x Acreage x the relative impervious factor, C = 35,015 cf

PROVIDED VOLUME

100-YEAR BASIN VOLUME PROVIDED

ELEVATION	AREA (ft ²)	AVG. AREA (ft ²)	HEIGHT (ft)	CUMULATIVE VOLUME (cf)
988.0	6,906			
989.0	35,531	21,219	1.0	21,219
990.0	45,119	40,325	1.0	61,544
991.0	50,783	47,951	1.0	109,495
992.0	55,481	53,132	1.0	162,627
993.0	59,304	57,393	1.0	220,020
994.0	63,197	61,251	1.0	281,271
995.0	FREEBOARD			

STORAGE ELEVATIONS DETENTION BASIN

V₁₀₀ = 35,015 cf is provided at Z₁ = 988.0
 V₁₀₀ = 157,423 cf is provided at Z₁₀₀ = 991.9
 V₁₀₀ = 225,755 cf is provided at Z₁₀₀ = 993.5 USE 993.5
 AND THEREFORE 253,707 cf is provided at Z₁₀₀ = 993.5

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

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OUTLET CALCULATIONS

OUTLET SIZING FOR BANKFULL FLOOD
 RELEASE BANKFULL FLOOD VOLUME OVER A PERIOD NO MORE THAN 40 HOURS.

CALCULATE THE AVERAGE RELEASE RATE WHICH WILL SATISFY THIS REQUIREMENT:
 Q_{ave} = V₁₀₀ / 40 hours = 1.093 cfs

CALCULATE AVERAGE HEAD:
 h_{ave} = 0.667 * (Z₁₀₀ - Z₀) = 0.667 * (991.9 - 998.0) = 2.60 ft

DETERMINE THE ORIFICE AREA NEEDED BASED ON THE ORIFICE EQUATION:
 A = (Q_{ave} / 0.62) * SQRT(2 * 32.2 * h_{ave}) = 0.136 ft²

DETERMINE # OF ORIFI REQUIRED BASED ON AN ORIFICE DIAMETER OF 1", A_{or} = 0.00545 ft²

REQUIRED # OF ORIFI: = 25

CALCULATE ACTUAL AVERAGE RELEASE RATE THROUGH THE ORIFI:
 Q_{ave} = 0.62 * (# of orifi * A_{or}) * SQRT(2 * 32.2 * h_{ave}) = 1.094 cfs

CALCULATE THE ACTUAL HOLDING TIME FOR THE BANKFULL VOLUME:
 T₁₀₀ = (V₁₀₀ / Q_{ave}) * 3600 = 40.0 hours, approximately 40.0 hours

OUTLET SIZING FOR 100 YEAR FLOOD

PER THE DETENTION BASIN VOLUME CALCULATIONS, THE MAXIMUM ALLOWABLE RELEASE RATE AT THE DESIGN WATER LEVEL OF Z₁₀₀ IS: = 5.30 cfs

CALCULATE MAXIMUM HEAD USING UPSTREAM CROWN ELEV. OF PIPE AT Z₁₀₀ ASSUMING PIPE IS DESIGNED TO FLOW FULL:

ASSUME RISER OUTLET PIPE DIAMETER = 12 inch
 Z_{out} = 988.0 + 0.5 = 989.0 ft
 h_{max} = (Z₁₀₀ - Z_{out}) = 4.55 ft

A = (Q_{max}) / (0.62 * SQRT(2 * 32.2 * h_{max})) = 0.499 ft²

DETERMINE DIAMETER OF RISER OUTLET PIPE: = 12.00 inch
 PROVIDE A 10" DIA HOLE IN THE END CAP ON THE VERTICAL RUN OF THE OUTLET TEE, A_o = 0.5454 ft²

CALCULATE ACTUAL AVERAGE RELEASE RATE:
 Q_{max} = 0.62 * A * SQRT(2 * g * h_{max}) = 5.79 cfs > 5.3 cfs but within 10% - ok

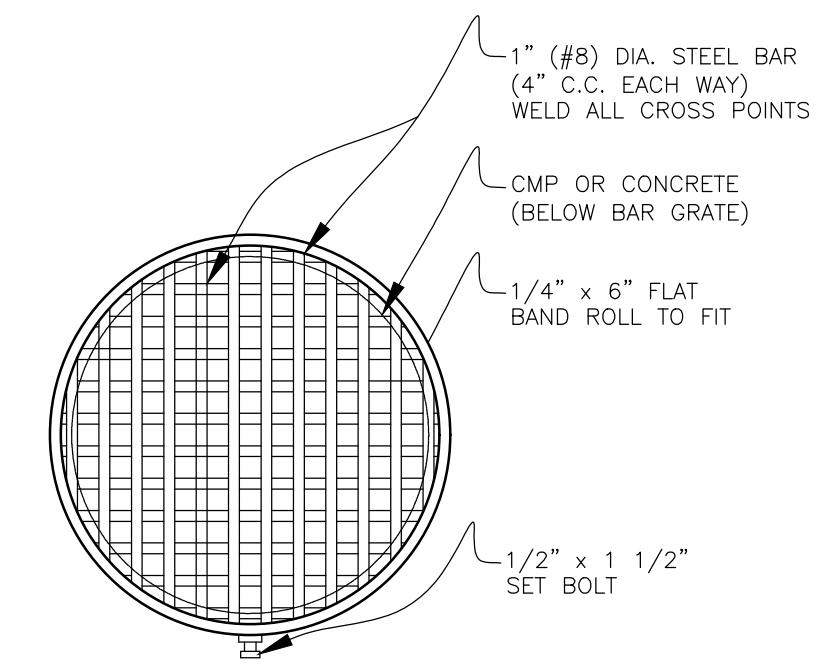
DETERMINE THE RISER OULET PIPE SLOPE
 MANNING'S CONSTANT (n) = 0.012 PVC
 PIPE DIAMETER = 12 inch
 R = d_{out} / 4 = 0.250 ft
 A_{out} = 0.78540 ft²
 Slope (ft/ft) = ((Q * n) / (1.486 * A * R^{2/3}))² = 1.90 %
 Existing 12" has a slope of 0.33%

CALCULATE VELOCITY AT FULL PIPE FLOW CONDITION
 V = Q / A = 6.8 ft/s

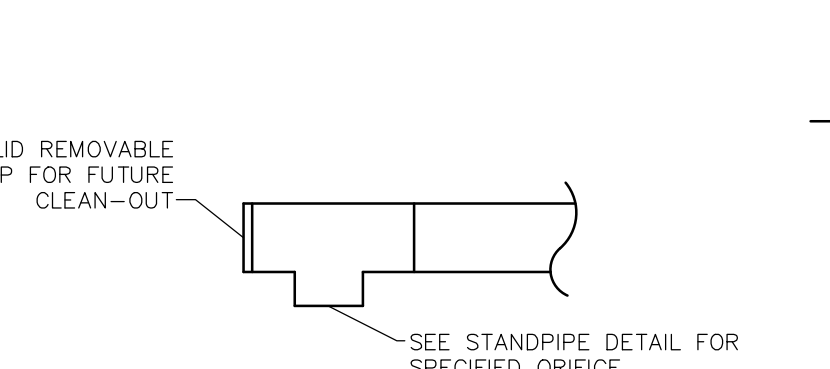
OVERLAND OVERFLOW SPILLWAY

(SIZE SECONDARY OVERFLOW TO ACCOMMODATE 10-YEAR STORM FLOW IN THE EVENT THAT THE OVERFLOW STR GETS CLOGGED)
 ASSUME HEAD = 0.5 ft
 ASSUME INTENSITY, I = 151.8/(T+19.9); T = 35 MIN. = 2.77 in/hr
 ASSUMED 10-YEAR FLOW = CxIx = 0.73x3.04x28.5 = 53 cfs
 WEIR LENGTH = 45.0 ft

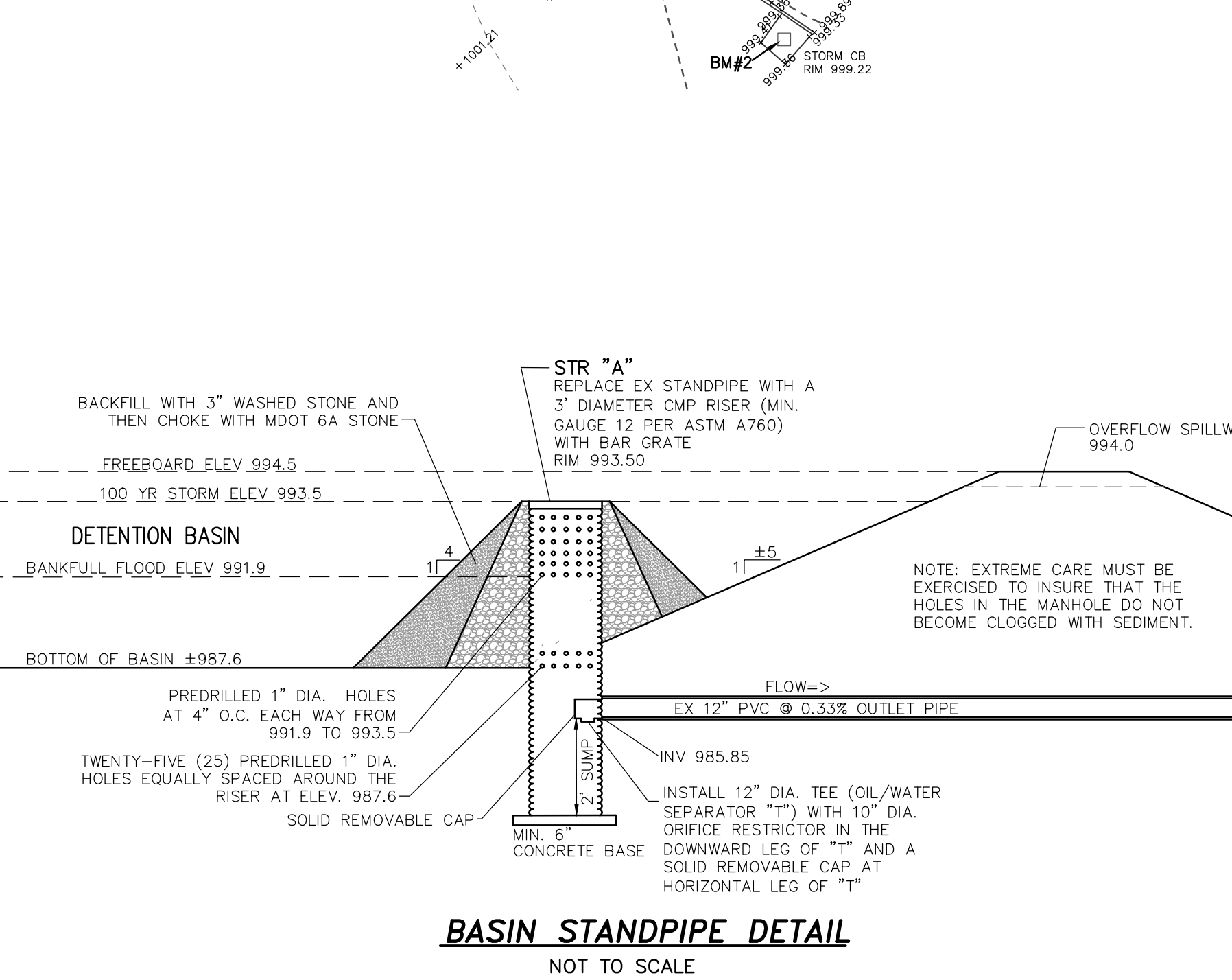
CALCULATE CAPACITY USING WEIR EQUATION
 Q = 3.367 * L * H^{3/2} = 53.57 cfs



NOTE: BAR GRATE IS TO BE REMOVABLE



SEE STANDPIPE DETAIL FOR SPECIFIED ORIFICE.

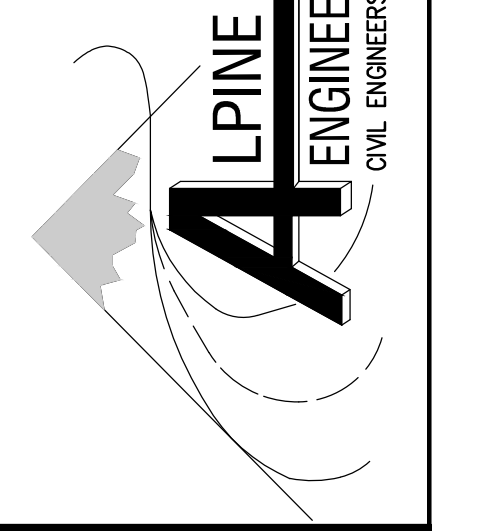


BASIN STANDPIPE DETAIL
NOT TO SCALE

COMMERCIAL
 SITE PLANNING
 SITE ENGINEERING
 INDUSTRIAL & MULTI-UNIT
 LAND SURVEYING
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS

RESIDENTIAL
 SUBDIVISIONS
 SITE CONDOMINIUM
 MULTI-FAMILY
 PLOT PLANS
 CONSTRUCTION LAYOUT

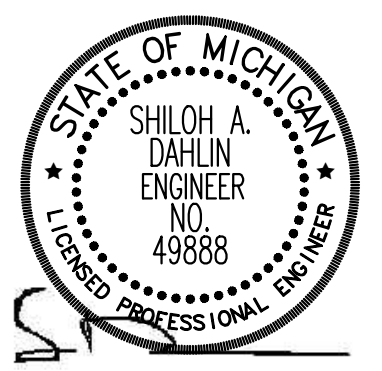


CLIENT: ASHMARK CONSTRUCTION, LLC
DETENTION BASIN IMPROVEMENT PLAN
 FAMILY FARM AND HOME - 3685 E. GRAND RIVER AVE.
 SECTION: 5 E
 TOWNSHIP: 5
 RANGE: 2 N
 GENOA TOWNSHIP
 LIVINGSTON COUNTY
 MICHIGAN

REVISED

DATE: 2018-04-02
 DRAWN BY: SD
 CHECKED BY: TG/SD

FBK: 243
 CHF: RF
 SCALE: HOR 1" = 30 FT. VER 1" = 10 FT.
 17-516



GRAND RIVER PLAZA

Suite	Tenant	SF
1	Carson's/Elder-Beerman	72,873
3	Dunham's Sport	44,500
6	Asian Fusion	5,000
8	H&R Block	2,500
10	Sally Beauty supply	1,600
12	Available	4,200
14	Available	9,000
16	Available	2,000
17	Availalbe	3,200
18	Blue Frog	2,100
19	Perfect Edge Hockey	5,000
20	Available	2,800
22	Available	1,400
23	Available	1,400
24	Available	1,500
26	GNC	1,600
28	Kolt Jewelers	900
30	Gordin's Hair Center	1,200
32	Big Lots	29,674
35	TJ Maxx	28,297

Chase Drive-thru ATM



Family Farm & Home Interior Renovation

3685 East Grand River Ave
Howell MI 48843

Tenant:
Family Farm and Home
c/o ASHMARK Construction LLC

5640 West Maple, Suite 101
West Bloomfield, MI 48332
P: (248) 855-1575- Martin Renel

Contractor :
ASHMARK Construction LLC

5640 West Maple, Suite 101
West Bloomfield, MI 48332
P: (248) 855-1575- Martin Renel

Architect:
Metro Group Architects

P.O. Box 7363
Ann Arbor, MI 48107
P: (734) 747-8999 - Robert Kerr



Location Map

No Scale
3

At	Amper	JB	Junction box
ABV	Above	JST	Joist
AC	Alternating Current	JT	Joint
ACOUS	Acoustical	L	Long or Length
ADA	Americans w/Disabilities Act	LAM	Laminate
ADJ	Adjacent or adjustable	LAV	Lavatory
AFF	Above finish floor	LP	Low Point
AISC	American Institute of Steel Construction		
APPROX	Approximately	MAT'L	Material
ARCH	Architect(ural)	MAX	Maximum
ASTM	American Society of Testing Materials	MECH	Mechanical
		MIN	Minimum or minute
BD	Board	MTD	Mounted
BLK	Block	M.O.	Masonry Opening
BM	Beam		
BOCA	Building Officials & Code Administrator International	N	North
BOT	Bottom	N/A	Not applicable
		NEC	National Electrical Code
CABT	Cabinet	NECES	Necessary
CFM	Cubic feet per minute	NIC	Not in contract
CF	Cast iron pipe or Cast-in-Place	NTS	Not to scale
CJ	Control Joint		
CL	Centerline	OC	On center
CLG	Ceiling	OH	Overhead
CNTR	Counter	OPG	Opening
CO	Clean out	OPP	Opposite Hand
CPT	Carpet	OS	Overflow Scupper
COL	Column		
CONC	Concrete	PART	Partition
CONT	Continuous	PART BD	Partic board
CRS	Carpet Reducer Strip	P. LAM	Plastic Laminate
C.T.	Ceramic Tile	PLBG	Plumbing
CW	Cold water or Cool white	PR	Pair
		PSF	Pounds per square foot
D	Deep	PSI	Pounds per square inch
DET	Detail	PTD	Painted
DEMO	Demolition	PVC	Polyvinylchloride pipe
DR	Door	Q.T.	Quarry Tile
DS	Down Spout		
DSS	Down Spout w/ Scupper	R	Riser
DRWG	Drawing	RA	Return air
		REF	Reference
EA	Each	REJ	Roof Expansion Joint
EF	Exhaust Fan	REINF	Reinforced
EJ	Expansion Joint	REQ'D	Required
EIFS	Exterior Wall Insulation and Finish System	RET	Return
ELEV	Elevation	REV	Revised
ELEC	Electrical	RM	Room
EMER	Emergency	RO	Rough opening
EQ	Equal	RS	Roof Sump
EQUIP	Equipment	RTU	Roof-top unit
EXIST or EX	Existing		
EXP	Exposed	S	South
EXT	Exterior	SA	Supply air
FD	Floor Drain	SECT	Section
FFE	Finish Floor Elevation	SF	Supply fan or Square foot
FIN	Finish	SHT	Sheet
FL	Floor	SIM	Similar
FR	Frame	SPEC	Specifications
FRMG	Framing	STD	Standard
FRP	Fiberglass Reinforced Panel	STRUCT	Structural
FT	Foot; Feet		
FTG	Footing	T&B	Top and Bottom
FV	Field Verify	T&G	Tongue & Groove
		TEMP	Tempered (Glass)
G	Gas or Gutter	TH	Thick
GC	General Contractor	TOS	Top of Steel
GA	Gauge	TS	Tube steel
GFI	Ground fault interrupter	TWS	Through-wall Scupper
GR	Grade	TYP	Typical
GYP	Gypsum		
GYP BD	Gypsum board	UL	Underwriters Laboratories
		UNFIN	Unfinished
H	Hot or High	UON	Unless otherwise noted
HD	Fire Alarm Heat Detector		
HC	Hollow core	V	Vent or Volt
HDWE	Hardware	VCT	Vinyl composition tile
HGT	Height	VERT	Vertical
HM	Hollow metal	VIF	Verify In Field
HORIZ	Horizontal	VTR	Vent Through Roof
HP	High Point or Horsepower		
HT	Height	w/	With
HVAC	Heating, Ventilation & Air Conditioning	WD	Wood
HW	Hot water	w/o	Without
		WH	Water Heater
IN	Inch		
INCL	Include	NOTE:	See Mechanical & Electrical Drawings for additional abbreviation listings.
INS	Insulation		
INT	Interior		
IPS	Inch per second		

DTL	DTL	DOOR	DOOR	A	COLUMN GRID
ELEVATION NUMBER	ELEVATION NUMBER	BUBBLE	BUBBLE	(EXISTING)	(EXISTING)
SHT	SHT	FLOOR	FLOOR	A	COLUMN GRID
DETAIL IS DRAWN	DETAIL IS DRAWN	FINISH	FINISH	(NEW)	(NEW)
DETAIL NUMBER	DETAIL NUMBER	WALL	WALL		
DIRECTION OF DETAIL	DIRECTION OF DETAIL	BASE	BASE		
DETAIL IS DRAWN	DETAIL IS DRAWN	FINISH	FINISH		
DETAIL BUBBLE	DETAIL BUBBLE	WALL	WALL		
ELEVATION NUMBER	ELEVATION NUMBER	FINISH	FINISH		
ARC ENLARGED	ARC ENLARGED	WALL	WALL		
SHEET WHERE DETAIL IS DRAWN	SHEET WHERE DETAIL IS DRAWN	FINISH	FINISH		
ENLARGED PLAN	ENLARGED PLAN	WALL	WALL		
BUBBLE	BUBBLE	FINISH	FINISH		
DRAWING SCALE	DRAWING SCALE	WALL	WALL		
1/4"=1'-0"	1/4"=1'-0"	FINISH	FINISH		
MGA-d01	MGA-d01	MILLWORK	MILLWORK		
DETAIL NUMBER	DETAIL NUMBER	FINISH	FINISH		

Abbreviation Index

No Scale
FFH Abbrev 2

Drawing Sheet Index		12/22/17	01/03/18	1/24/18	2/22/18	3/21/18														
SHEET	TITLE	Owner Review	Site Plan	Addendum #1	Addendum #2	Addendum #3														
Architectural																				
A0.0	Cover Sheet / Code / Notes	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T/0																		
A0.1	Accessibility Guidelines	0/C/P/T/0/C/P/T/0																		
SP1.0	Architectural Site Plan	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T/0																		
SP1.1	Aerial Site Plan	0/C/P/T/0/C/P/T/0																		
A1.0	Keyed Notes and Legends	0/C/P/T/0/C/P/T/0																		
A1.1	Demolition Plan	0/C/P/T/0/C/P/T/0																		
A2.1	Dimensional/Keyed Note Plan	0/C/P/T/0/C/P/T/0																		
A3.1	Reflected Ceiling Plan	0/C/P/T/0/C/P/T/0																		
A4.1	Details	0/C/P/T/0																		
A5.1	Exterior Elevations	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T/0																		

Legend: O: Owner C: Contractor L: Landlord T: Tenant P: Permits (Building/Health Departments)	No Scale	2
Sheet Index	Detail I. D.	2

MBC 2015 (Michigan Building Code 2015) Effective April 20, 2017
 ICC/ANSI A117.1, 2009 & Michigan Barrier Free Design Law of Public Act 1 of 1966 as amended.
 MIC 2015 (Michigan Building Code 2015) - Chapter 13 & MIC 2015 (Michigan Uniform Energy Code 2015) - Chapter 4 & Michigan Uniform Energy Code, Part 10a, Rules (ANSI/ASHRAE 90.1-2013) Effective September 20, 2017
 MPC 2015 (Michigan Plumbing Code 2015) Effective April 20, 2017
 MMEC 2015 (Michigan Mechanical Code 2015) Effective April 20, 2017
 IFGC 2015 (International Fuel Gas Code 2015) Effective April 20, 2017
 MARCES 2015 (Michigan Rehabilitation Code for Existing Buildings 2015) Effective December 13, 2016
 IFC 2012 (International Fire Code 2012), 2015 Michigan Building Code references the 2015 IFC (but that document has not been adopted at this time by the fire code official)
 NEC 2014 (State of Michigan Electrical Code) 2014 National Electrical Code with Part 8 Amendments Effective June 18, 2015
 Fire Suppression: Commercial: NFPA 13 (2013)
 Fire Alarm Commercial: NFPA 72 (2013)

Building Type	II-B	Sprinklered	TBL 507 Unlimited Building Area
Use Group	M	Assembly	
Tenant Area	28,151	Gross Area	Unlimited Area Building
SPRINKLERED	Fullly		
Common Path of travel	75'	W/Sprinklers TM 1017.2	
EXIT Distance	250'	W/Sprinklers TM 1017.2	
Bearing Walls- Exterior	0	Hr Rating Required	
Bearing Walls-Interior	0	Hr Rating Required	
Tenant Separation Walls	0	Hr Rating Required	
Roof Assembly	0	Hr Rating Required	
Floor Assembly	0	Hr Rating Required	
Structural Framing	0	Hr Rating Required	

Occupant Load	Gross Factor	Area / Num	OCCUPANTS	Men	Women
Site Area	60	23,774	356	198	158
Restrooms / Offices	30	1,022	34	17	17
Stock Room	300	2,924	10	5	5
			440	220	220

Egress Width Required	Occupants	Factor per Occ (Inches)	Total Width Required (Inches)	Provided Egress Width (Inches)
	440	0.2	88.01	180
Min Number Exits Required	440	1-500	2.00	Exits req. Per 1006.2.1.1
Egress Width Provided	Width in "	Adjusted Width *	Factor	Exits Provided
Exit 1	72	66	0.2	330
Exit 2	36	33	0.2	265
Exit 3	36	33	0.2	165
Exit 4	36	33	0.2	165
SEE SHEET A2.4	180	165		825
				Total Occupants Provided Exits

Plumbing Fixtures Required	Water Closets		Lavatories		Showers	Fountain	Service Sink
	Male	Female	Male	Female			
Factor	500	500	750	750		1000	1
Calculated Occupants	220	220	220	220		440	1
Occupants / Factor	0.44	0.44	0.29	0.29		0.44	1
Provided	1	1	1	1	0	1	1

Provided Standard Bathrooms	3	3	2	2	1	1
-----------------------------	---	---	---	---	---	---

CODE REVIEW

No Scale
Detail I. D. 1

METRO GROUP ARCHITECTS
P.O. Box 7363
Ann Arbor, Michigan 48107
Phone: (734) 747-8999



Family Farm and Home
Interior Renovation
3685 East Grand River Ave
Howell, MI 48843

3/21/18 Addendum #3
2/22/18 Addendum #2
1/24/18 Addendum #1
1/3/18 Site Plan Submission
12/22/17 Owner Review

Drawn: MMH Checked: RDK

171129
Sheet Index
Location Map
Abbreviations

A0.0

General Site Plan Notes:

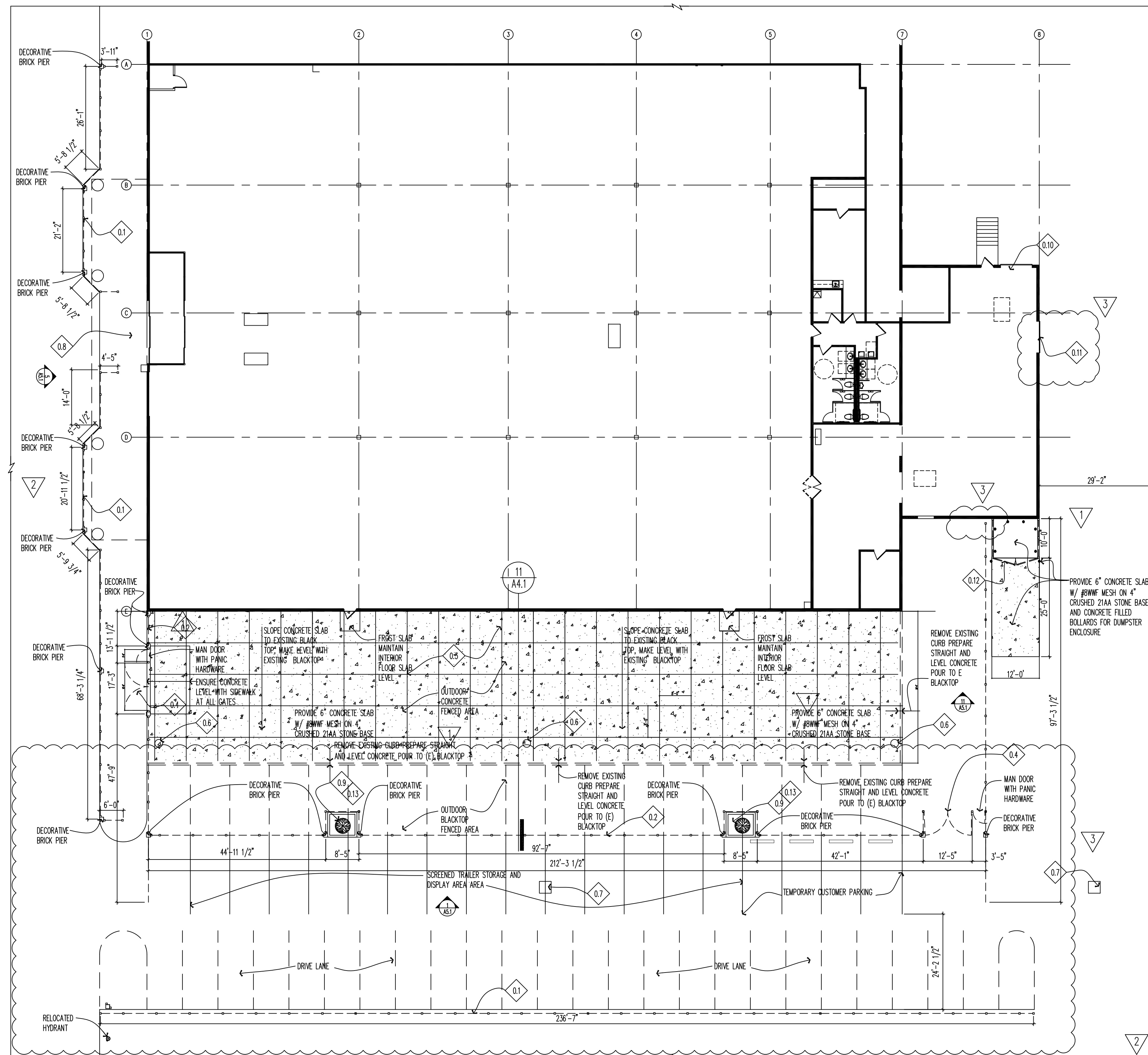
1. PLANS AND SPECIFICATIONS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
2. REPORT ANY DISCREPANCIES BETWEEN STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & ARCHITECTURAL DRAWINGS TO ARCHITECT IMMEDIATELY.
3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION DOCUMENTS, AND WITH APPLICABLE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
4. REFERENCE THE FOLLOWING SHEETS: GENERAL CONDITIONS & PLAN SYMBOLS, ACCESSIBILITY GUIDELINES, GENERAL SPECIFICATIONS.
5. MASONRY CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES.
6. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION.
7. SEE MEP DRAWINGS FOR MECHANICAL, ELECTRICAL, & PLUMBING INFORMATION.
8. MASONRY STEEL LINTELS ABOVE DOORS WINDOWS, ETC TO BE SHOP PRIMED & PAINTED TO MATCH COLORS OF FRAMES.
9. PRIOR TO START OF WORK CONTRACTOR TO VERIFY DIMENSIONS OF BUILDING AND SITE & NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.

General:

- ◊0.1 NEW 48" HIGH SCREEN
- ◊0.2 NEW 8'-0" HIGH PVC FENCE
- ◊0.3 NEW CONCRETE PAD FOR EXTERIOR STORAGE AREA
- ◊0.4 NEW 12'-0" WIDE GATE
- ◊0.5 REMOVE STRIPING FOR STAGING AREA
- ◊0.6 EXISTING 40'-0" HIGH LIGHT POLE
- ◊0.7 EXISTING STORM DRAIN
- ◊0.8 PATCH, REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALK
- ◊0.9 NEW PLANTER
- ◊0.10 EXISTING LOADING DOCK
- ◊0.11 NEW LOADING AREA
- ◊0.12 NEW DUMPSTER ENCLOSURE
- ◊0.13 NEW 10'-0" ARBORVITAE

Legend:

- ⊙ COLUMN DESIGNATION
- NEW FENCING
- NEW WALL
- EXISTING DOOR (TO REMAIN)
- EXISTING WALL (TO REMAIN)
- EXISTING LIGHT POLE

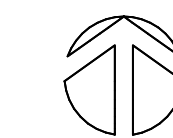


Family Farm and Home
Interior Renovation

3685 East Grand River Ave
Howell, MI 48843

3/21/18 Addendum #3
2/22/18 Addendum #2
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12/22/17 Owner Review

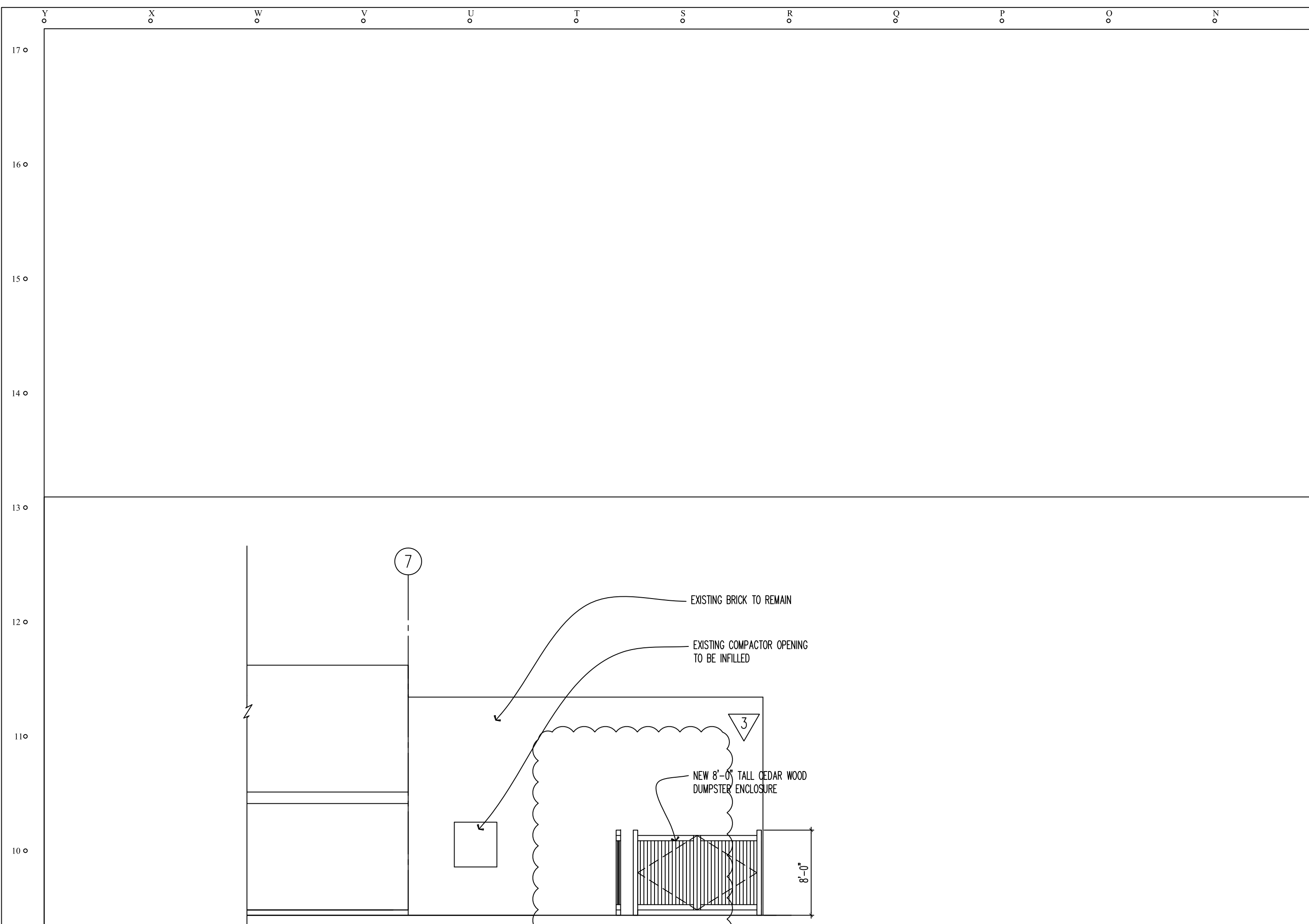
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Reference North

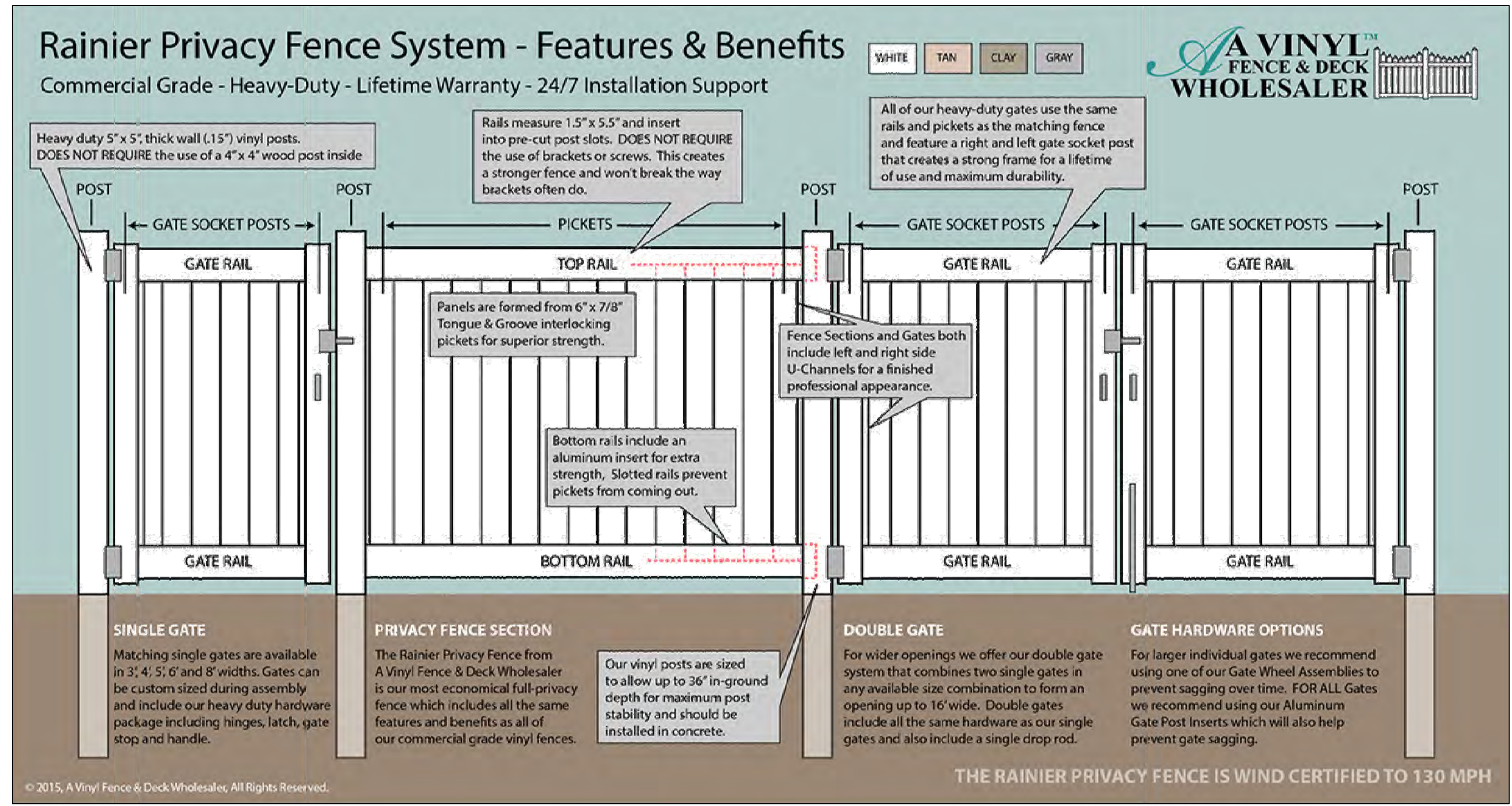
171129

Architectural
Site
Plan



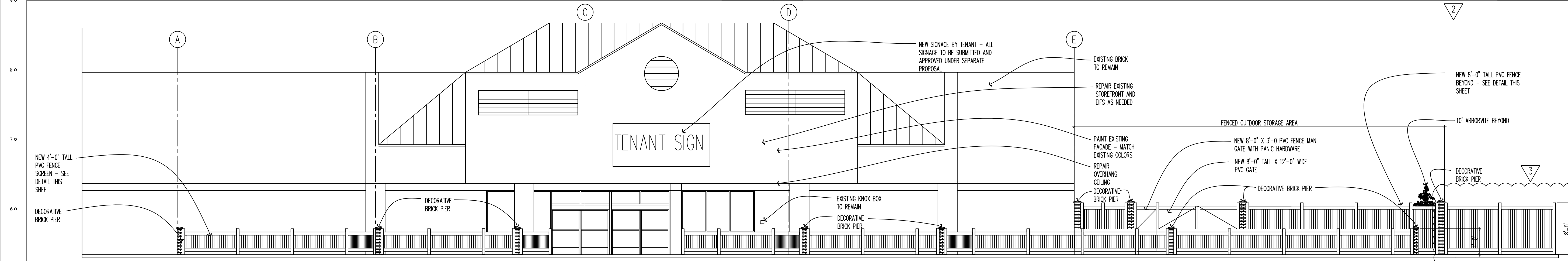
South Elevation at Loading Dock

1/8"=1'-0"
FF&H-ee03 11



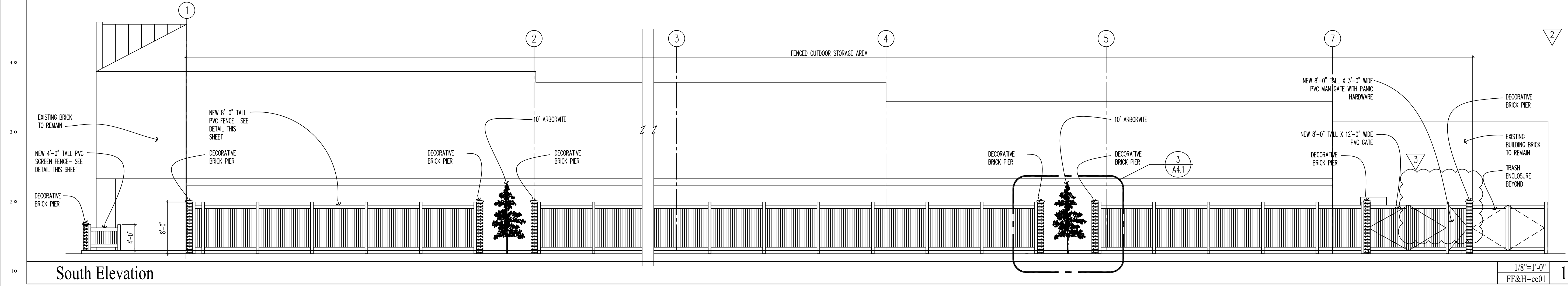
Fence Detail

N.T.S.
FF&H 9



West Elevation

1/8"=1'-0"
FF&H-ee02 5



South Elevation

1/8"=1'-0"
FF&H-ee01 1

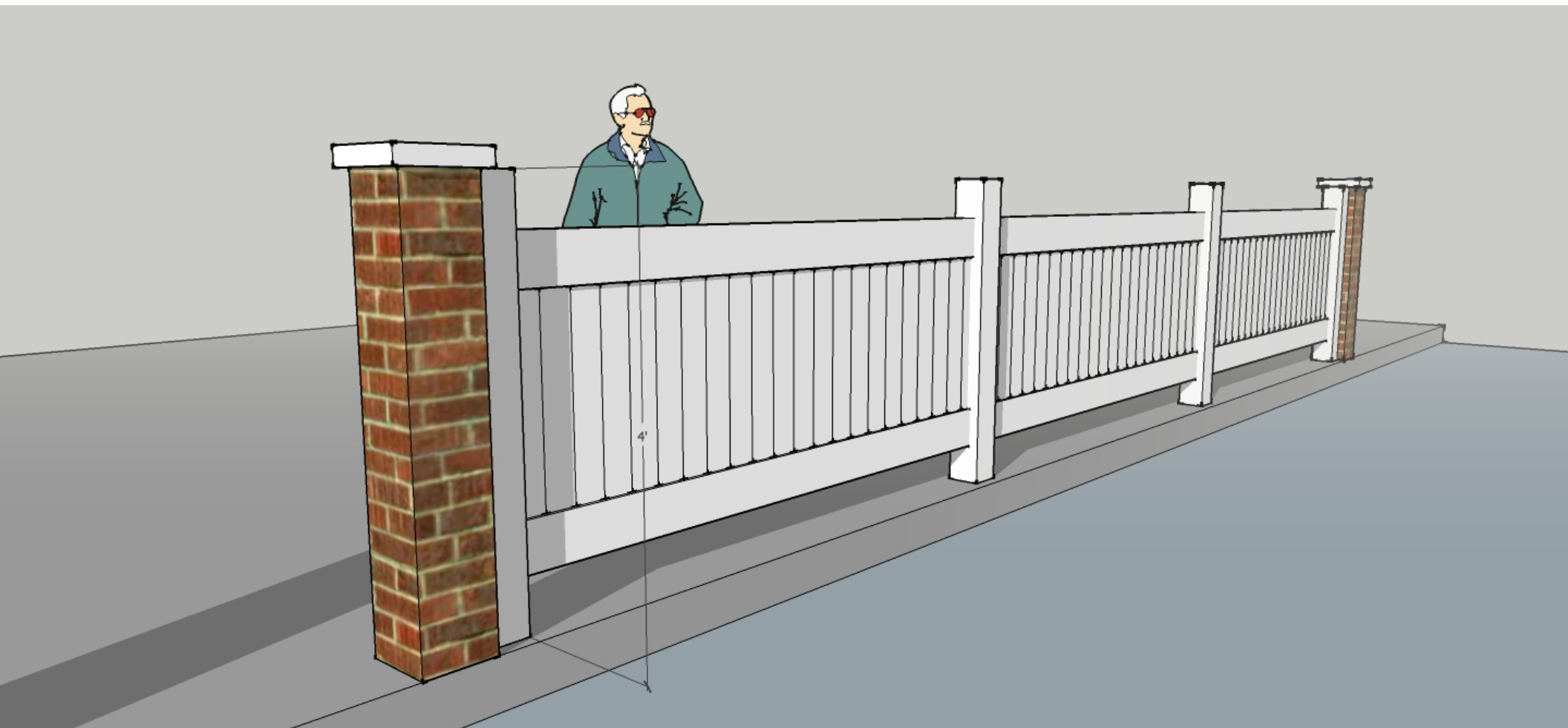


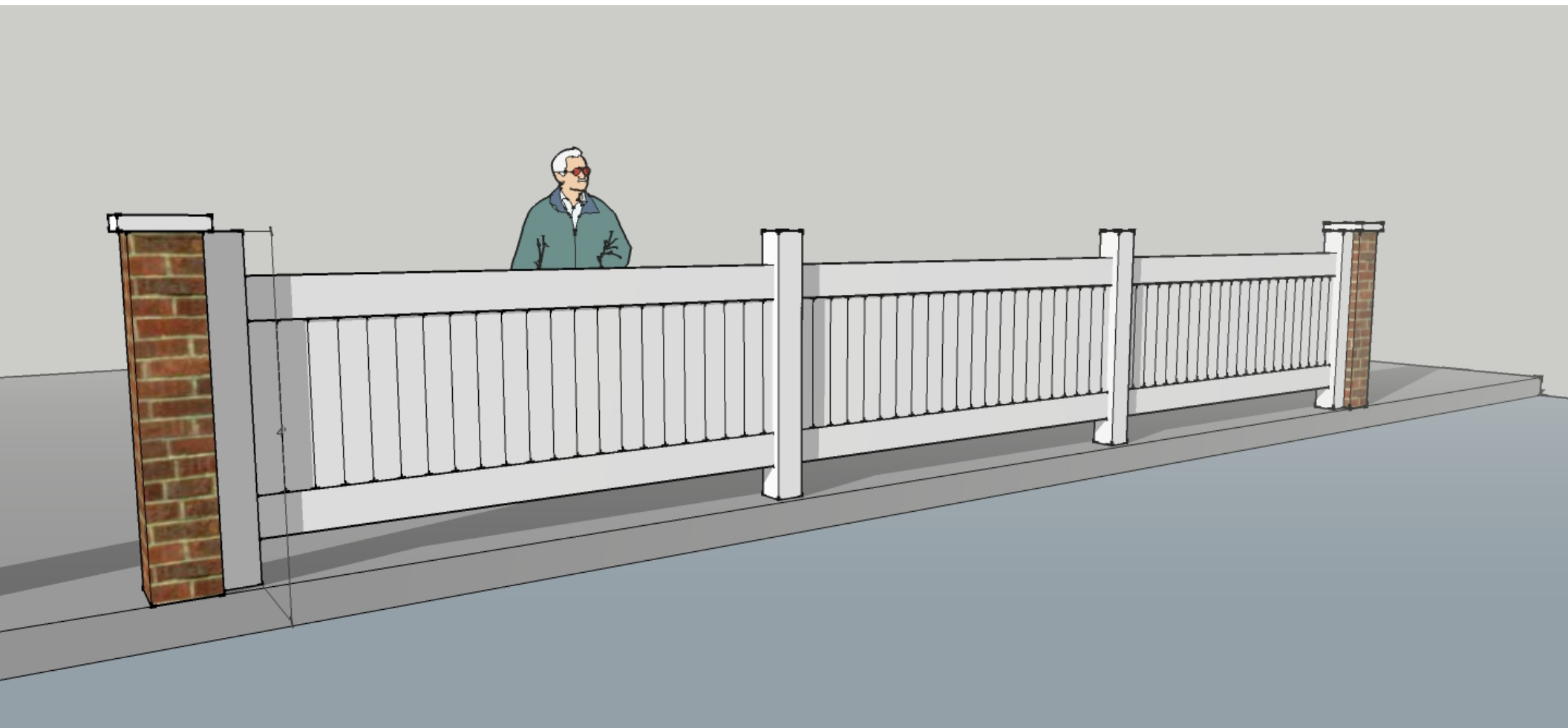
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- 1/24/18 Addendum #1
- 1/3/18 Site Plan Submission
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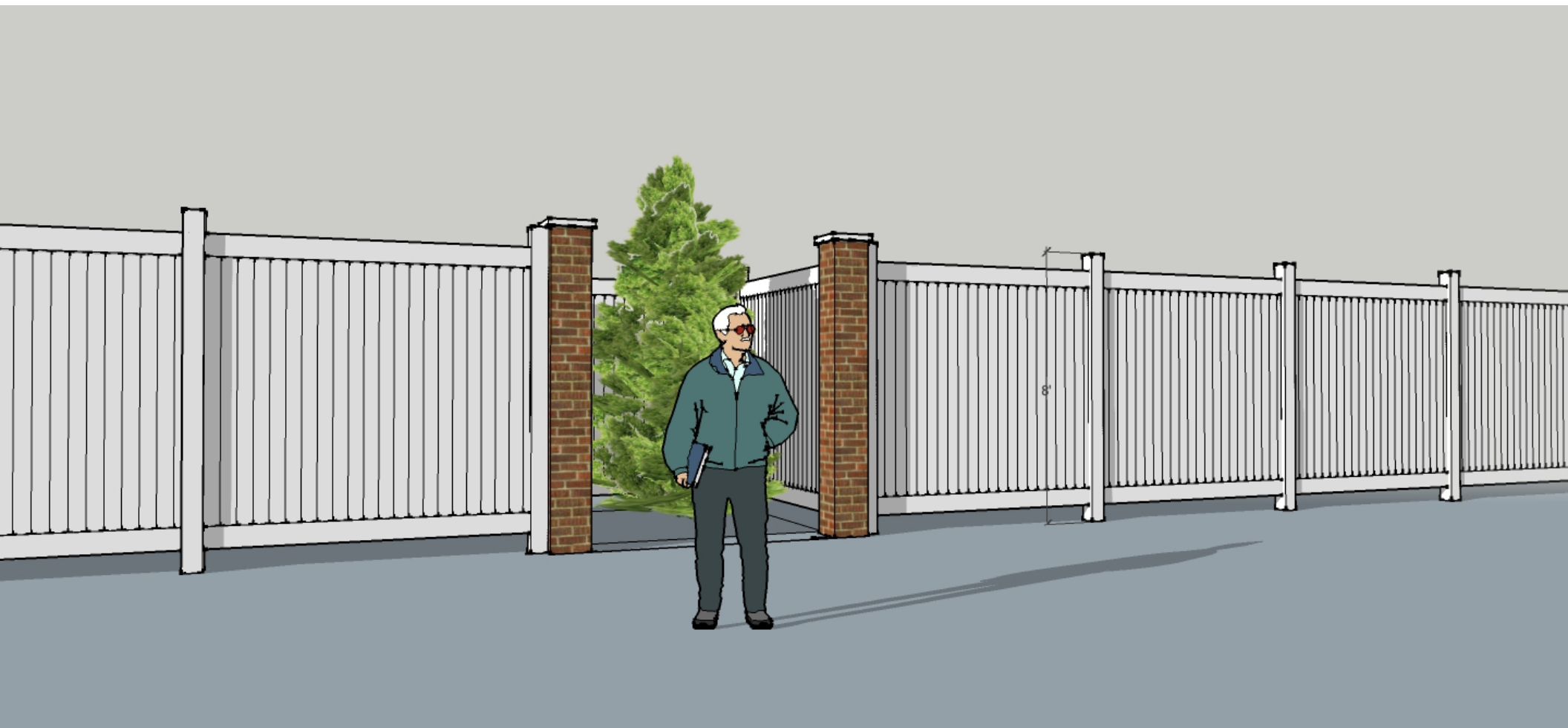
Drawn: MMH Checked: RDK

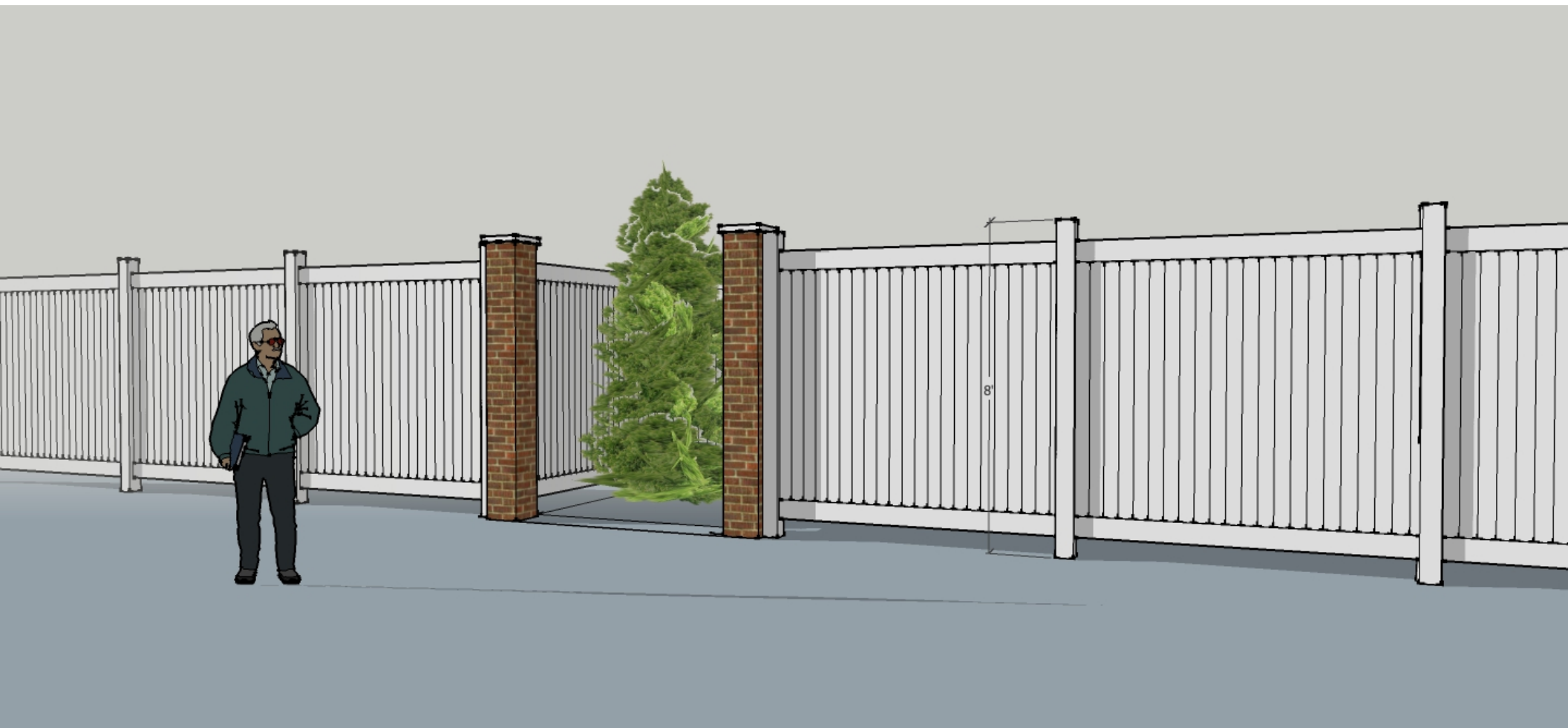
171129

Exterior Elevations

















GENOA CHARTER TOWNSHIP APPLICATION
Sketch Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Ventures Design - 29454 Haas Rd, Wixom, MI 48393
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Oak Pointe Country Club - 4500 Club Dr, Brighton, MI 48116

SITE ADDRESS: 4500 Club Dr, Brighton PARCEL #(s): 11-27-100-032

APPLICANT PHONE: (734) 276-3260 OWNER PHONE: (810) 227-4554 ext. 248

LOCATION AND BRIEF DESCRIPTION OF SITE: North side of Country Club with 4 tennis courts, pool, pool house and parking area.

BRIEF STATEMENT OF PROPOSED USE: Covered seating area between tennis and pool area.

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: Construct an open air pavilion structure and brick paver patio between the tennis courts and pool house

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Ventures Design

ADDRESS: 29454 Haas Rd.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

<u>Loch Durrant</u> Name	of <u>Ventures Design</u> Business Affiliation	at <u>Loch@Ventures-design.com</u> Email Address
-----------------------------	---	---

FEE EXCEEDANCE AGREEMENT

All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 3/16/2018
 PRINT NAME: Loch Durrant PHONE: (734) 276-3260

ext #2 Jacob Lubig 734-395-4375 Lubig@Ventures-design.com

Oak Pointe Country Club, Inc.
4500 Club
Brighton, MI 48116

March 15, 2018

Community Development Director
Genoa Township Planning Commission
2911 Dorr Road
Brighton, MI 48116

To Whom it May Concern:

I, Ingrid Keiser am the Secretary for Oak Pointe Country Club, Inc., (the "Club") and hereby authorize Ventures Design, Inc. to act on the Club's behalf to submit to the Genoa Township Planning Commission for Sketch Plan Review.

Sincerely,

A handwritten signature in black ink that reads "Ingrid Keiser". The signature is written in a cursive style with a large, stylized initial "I".

Ingrid Keiser, Secretary
Oak Pointe Country Club, Inc.

March 28, 2018

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
Subject:	Oak Pointe Country Club – Sketch Plan Review #1
Location:	4500 Club Drive – terminus of Club Drive, north of Brighton Road
Zoning:	MU-PUD Mixed Use Planned Unit Development

Dear Commissioners:

As requested, we have reviewed the sketch plan submittal (application dated 3/16/18) proposing construction of a tennis court pavilion and a pool canopy for the existing Oak Pointe Country Club at 4500 Club Drive.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance, as well as the PUD Agreement for this property.

A. Summary

1. The proposed pavilion structure does not provide the required 10-foot spacing from the existing pool house building.
2. We request the applicant inform the Township whether the canopy structure is to remain in place year-round, or if it will be installed seasonally.
3. Any issues raised by the Township Engineer or Fire Department must be addressed.

B. Proposal/Process

The applicant proposes two structures – a 33’ x 20’ pavilion (with an attached 13’ x 14’ pergola) between the pool house and tennis courts and canopy north/west of the pools.

Given the limited nature of the proposal, it is eligible for sketch plan review/approval per Table 18.2.

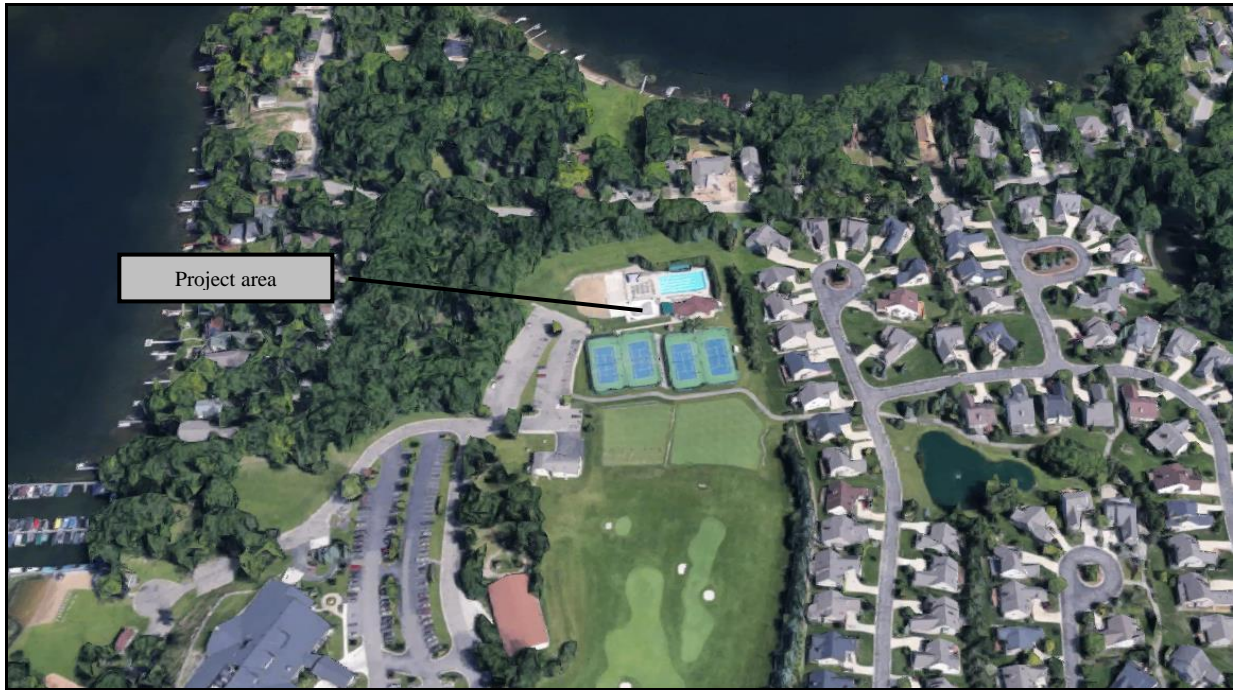
C. Sketch Plan Review

1. **Dimensional Requirements.** Both structures are located outside of required setback areas and are within the maximum height and size limitations of Article 11. However, the proposed pavilion does not provide the 10-foot spacing from the pool house building required by Section 11.01.04(f).

Accordingly, this structure must be redesigned, relocated or reduced in size for full compliance.

2. **Building Materials and Design.** The proposed pavilion/pergola is constructed of wood with stone matching the pool house building around the base of the piers.

The canopy appears to be constructed of dark green canvas on metal posts, which generally match the pool fencing. Given the nature of this structure, we request the applicant provide an indication of whether it will be taken down during the off-season (and subsequently reinstalled in-season).




Aerial view of site and surroundings (looking north)

3. **Pedestrian Circulation.** Access to both structures will be via existing pedestrian amenities. The pool canopy structure will be located on the existing pool decking, while the pavilion will be built upon a brick-paver patio connection to the existing sidewalk around the pool house.
4. **Landscaping.** Section 12.02.06 states that the Planning Commission may require that accessory structures be screened/landscaped when in a visible location. The project area is well-screened by existing large evergreen trees to the north and east, which buffer the recreational uses from the adjacent residences.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com.

Respectfully,
LSL PLANNING, A SAFE BUILT COMPANY


Brian V. Borden, AICP
Planning Manager



April 4, 2018

Ms. Kelly Van Marter
Genoa Township 2911
Dorr Road
Brighton, MI 48116

Re: Oak Pointe Canopy Sketch Plan Review

Dear Ms. Van Marter:

We have reviewed the sketch plan submittal from Ventures Design, dated March 16, 2018. The petitioner is proposing to construct an open-air pavilion and brick paver patio between existing tennis and pool facilities on the site, which is located at 4500 Club Drive.

The pavilion and brick paver areas will add impervious area to the site that will need to drain to the on-site drainage infrastructure. Due to this increase in site imperviousness, the petitioner should provide updated site drainage calculations to verify their on-site stormwater management system is adequate to accommodate the changes. The grading plan should be shown to clearly indicate where gutters will discharge and how flow will make it into the stormwater management system.

Our review found no additional engineering related impacts to the existing site from the proposed patio and canopy.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.
Unit Vice President

A handwritten signature in blue ink, appearing to read 'Joseph C. Siwek'.

Joseph C. Siwek
Project Engineer

Copy: Loch Durrant, Ventures Design

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

April 3, 2018

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Oak Pointe Country Club Pavilion & Canopy
4500 Club Drive
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on March 21, 2018 and the drawings are dated October 25, 2006 with latest revisions dated January 2, 2007. Numerous cut sheets and elevations have also been provided for the structures. The project is for the proposed installation of new wood pergola and membrane canopy in the existing pool/tennis complex. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

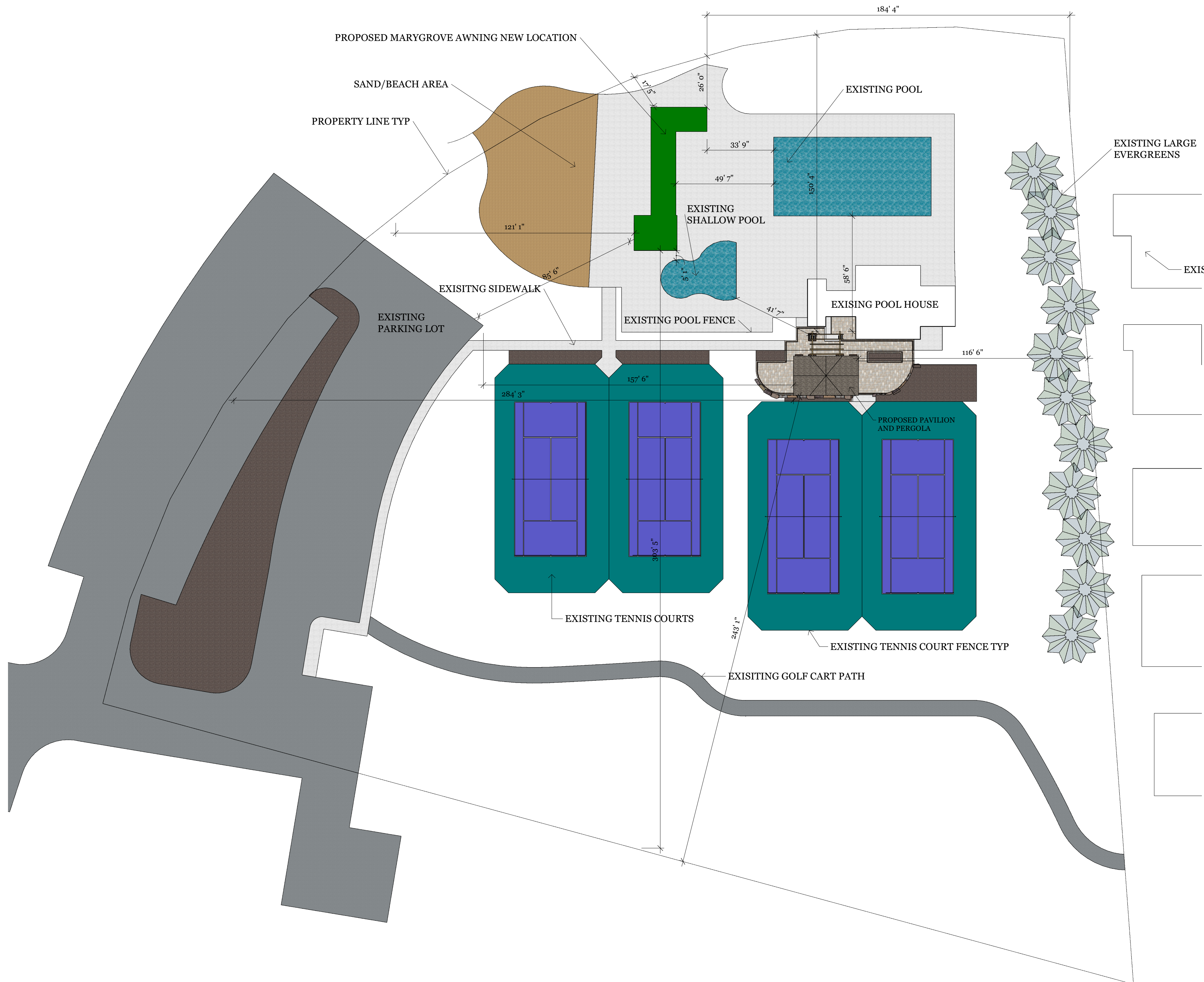
1. The flame propagation criteria for the membrane structure shall be provided and shall comply with the requirements of the fire code if temporary and the building code if permanent.
2. Both structures shall be engineered and approved through the livingston county building department.

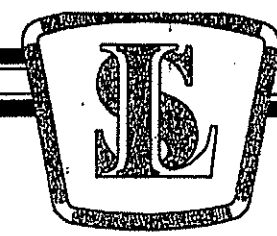
If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

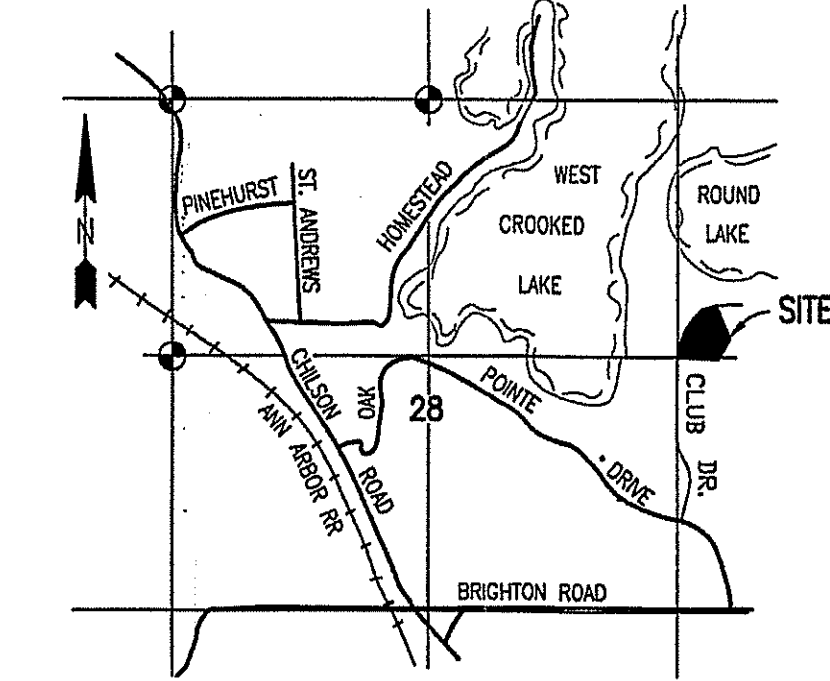




OAK POINTE COUNTRY CLUB POOL/TENNIS FACILITY

16 VICINITY MAP

SCALE: 1" = 2000'

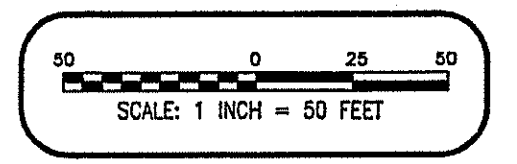


BOSS ENGINEERING
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS

OSTON COUNTY: 3121 E. GRAND RIVER AVE. HOWELL, MI 48843 (800) 246-8735; FAX (517) 548-1570

OKMUNG COUNTY: 2435 WALSTED ROAD FARMINGTON HILLS, MI 48335 (800) 783-0390; FAX (248) 622-9490

17 SCALE



9 LEGEND

- 35** KEY PLAN PARCEL REFERENCE NUMBER CORRESPONDING TO LEGAL DESCRIPTION
- U UTILITY POLES
 - G GREEN
 - T TREE
 - STORM SEWER W/CATCH BASIN/FLARED-END SECTION
 - SANITARY SEWER W/MANHOLE
 - CONC. CONCRETE
 - FENCE
 - G GAS SERVICE
 - WATERMAIN W/8" GATE VALVE
 - HYDRANT W/6" GATE VALVE
 - LIGHT POLE
 - POWER POLE
 - GUY WIRE
 - TELEPHONE RISER
 - WELL
 - ELECTRIC METER
 - SECTION CORNER
 - FOUND IRON
 - SET IRON
 - FOUND CONCRETE MONUMENT
 - L.P. LIBER, PAGE
 - L.C.R. LIVINGSTON COUNTY RECORDS
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - PROPERTY LINE
 - HANDICAP SYMBOL
 - CONC. CONCRETE
 - MH MANHOLE
 - LF LINEAR FEET
 - SN SANITARY SEWER
 - OE OVERHEAD ELECTRIC
 - BOLLARDS

ALTA/ACSM Land Title Survey

18 CLIENT INFORMATION BOX

Outland sticker here

This Work Coordinated By:

INTERNATIONAL LAND SERVICES, INC.

621 24th Avenue S.W.
Norman, Oklahoma 73069
(405) 701-9352 www.ils-ita.com

11 SURVEYOR'S NOTES

- THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
- THE IMPROVEMENTS CONFORM TO THE APPROVED SITE PLAN ASSUMING OPEC HAS A PURCHASE AGREEMENT TO OBTAIN PROPERTY AS SHOWN ON THE APPROVED SITE PLAN.
- SINCE OAK POINTE IS A PLANNED UNIT DEVELOPMENT SPECIFIC SETBACKS ARE NOT SHOWN ON THE APPROVED SITE PLAN.

Drawn By: AEB	Date: 10-25-06
Surveyor Ref. No: 06343	Revision:
App'd By: AEB	Date: 11-03-06
Field Date: 10-2-06 THRU 10-12-06	Revision: ILS COMMENTS
Scale: 1"=50'	Date: 01-02-07
	Revision: ILS COMMENTS

Prepared For:	
Client Ref. No: OAK POINTE COUNTRY	
Project Address:	4500 CLUB DRIVE
Project Location:	BRIGHTON, MI
Project Name:	CLUB CORP.
Job Number:	06-09-001-014

12 PARKING INFORMATION

THERE ARE 28 GENERAL PARKING SPACES AND 2 HANDICAP PARKING SPACES ON PARCEL 37D. 22 SPACES FALL OUTSIDE OF PARCEL 37D IN AN AREA THAT IS SHOWN AS THE PROPERTY BOUNDARY ON "POOL/TENNIS FACILITY" APPROVED SITE PLAN.

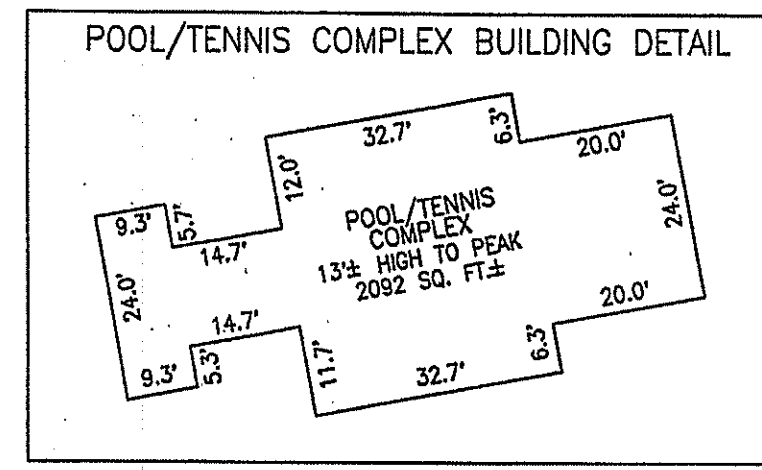
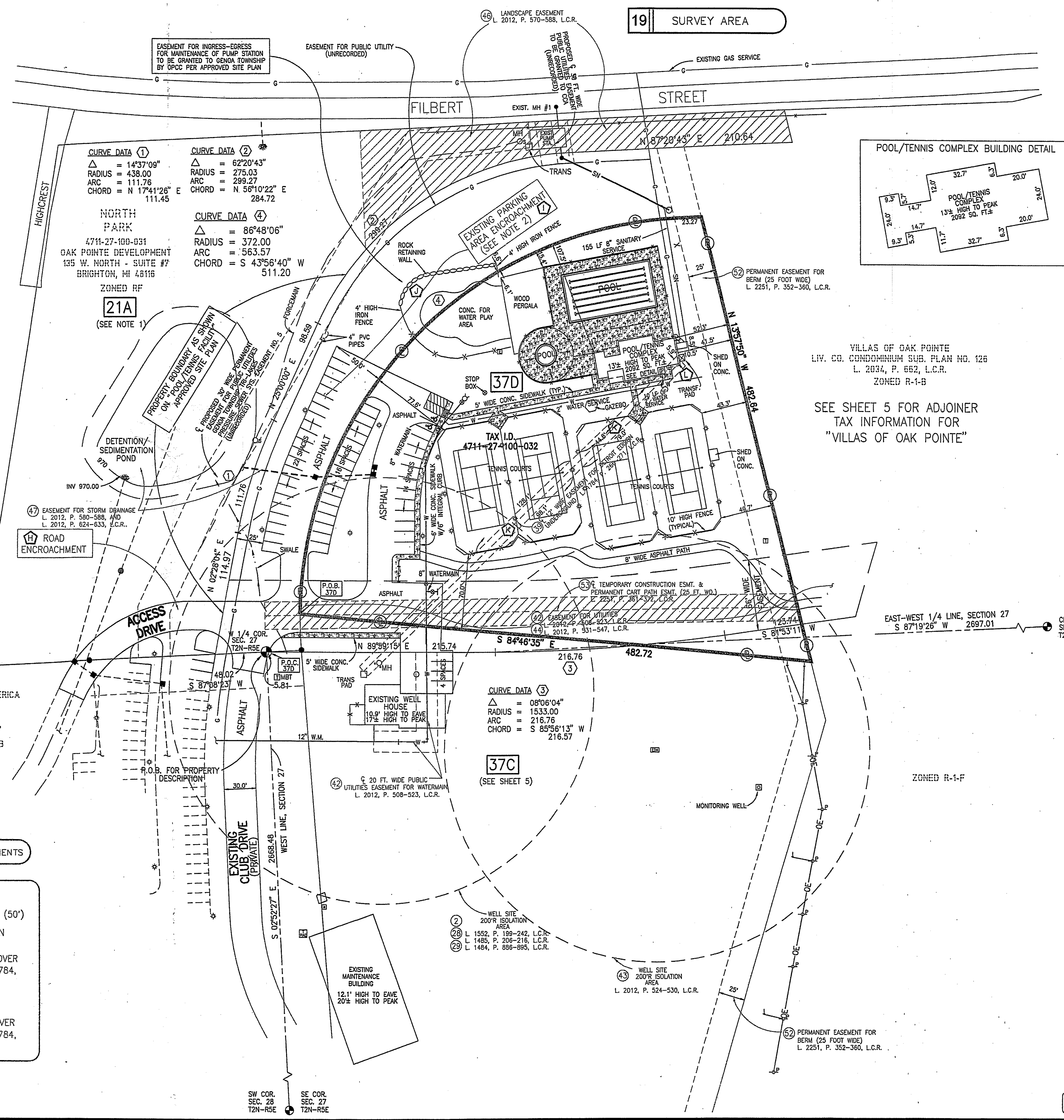
THERE ARE 4 GENERAL PARKING SPACES NEAR THE EXISTING GENOA TOWNSHIP WATER SUPPLY BUILDING ON PARCEL 37C.

15 BUILDING HEIGHT

HEIGHTS ARE SHOWN AT BUILDINGS

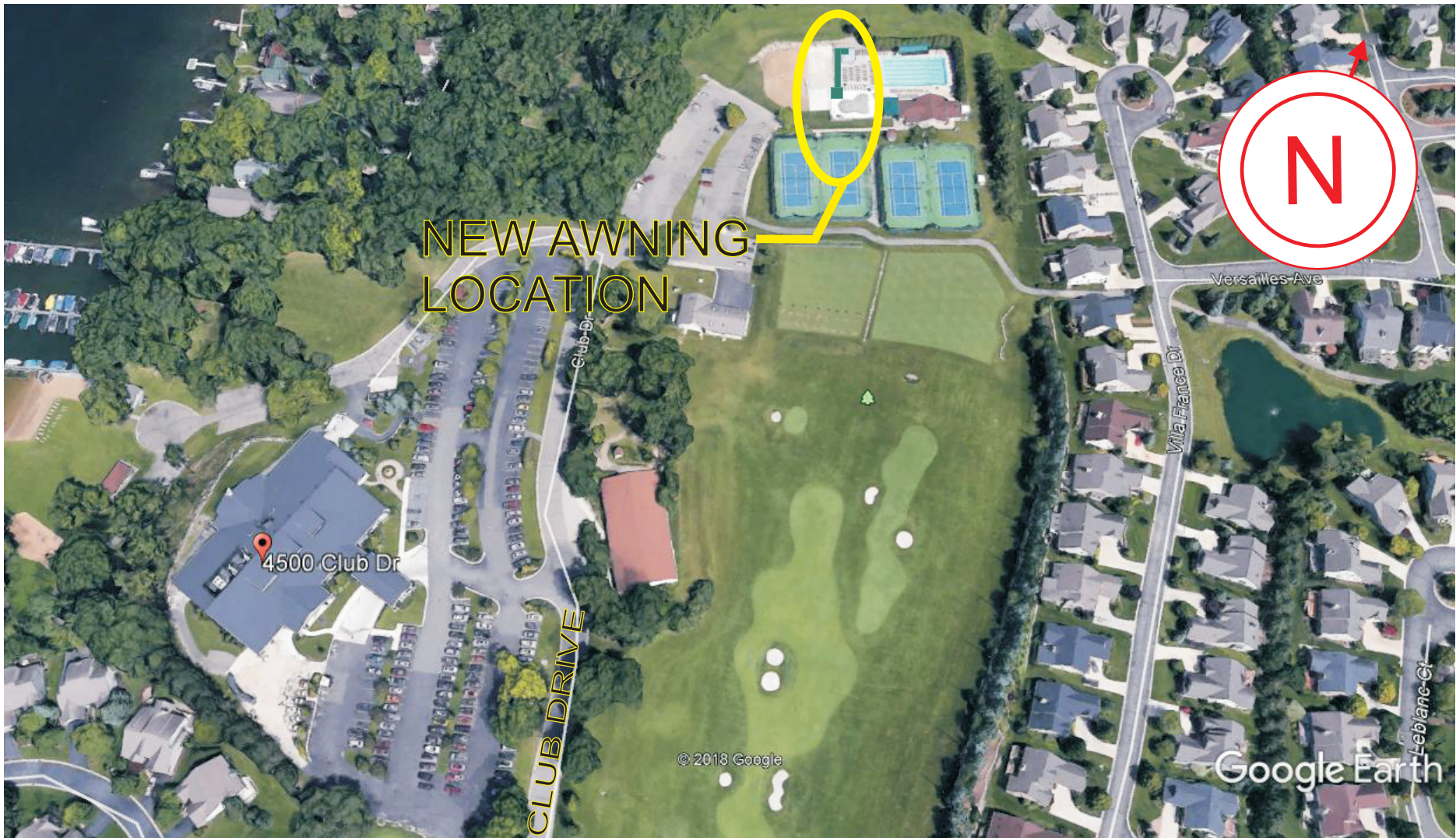
7 POSSIBLE ENCROACHMENTS

- ROAD ENCROACHMENT
- PARKING ENCROACHMENT (50')
- RETAINING WALL AND IRON FENCE ENCROACH 39±
- TENNIS COURTS CROSS OVER EDISON EASEMENT, (L. 1784, P. 266-271, L.C.R.)
- SOUTHEAST CORNER OF POOL/TENNIS COMPLEX BUILDING ENCROACHES OVER EDISON EASEMENT, (L. 1784, P. 266-271, L.C.R.)



VILLAS OF OAK POINTE
LIV. CO. CONDOMINIUM SUB. PLAN NO. 126
L. 2034, P. 662, L.C.R.
ZONED R-1-B

SEE SHEET 5 FOR ADJOINER TAX INFORMATION FOR "VILLAS OF OAK POINTE"



ACCOUNT REPRESENTATIVE
DALE BACHE
OAK POINTE COUNTRY CLUB
4500 CLUB DRIVE
BRIGHTON, MI 48116
3/15/2018

VENTURES

29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

ADDRESS
OAKPOINTE
COUNTRY CLUB

ISSUE
March 15, 2018

NOTES



VENTURES

29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

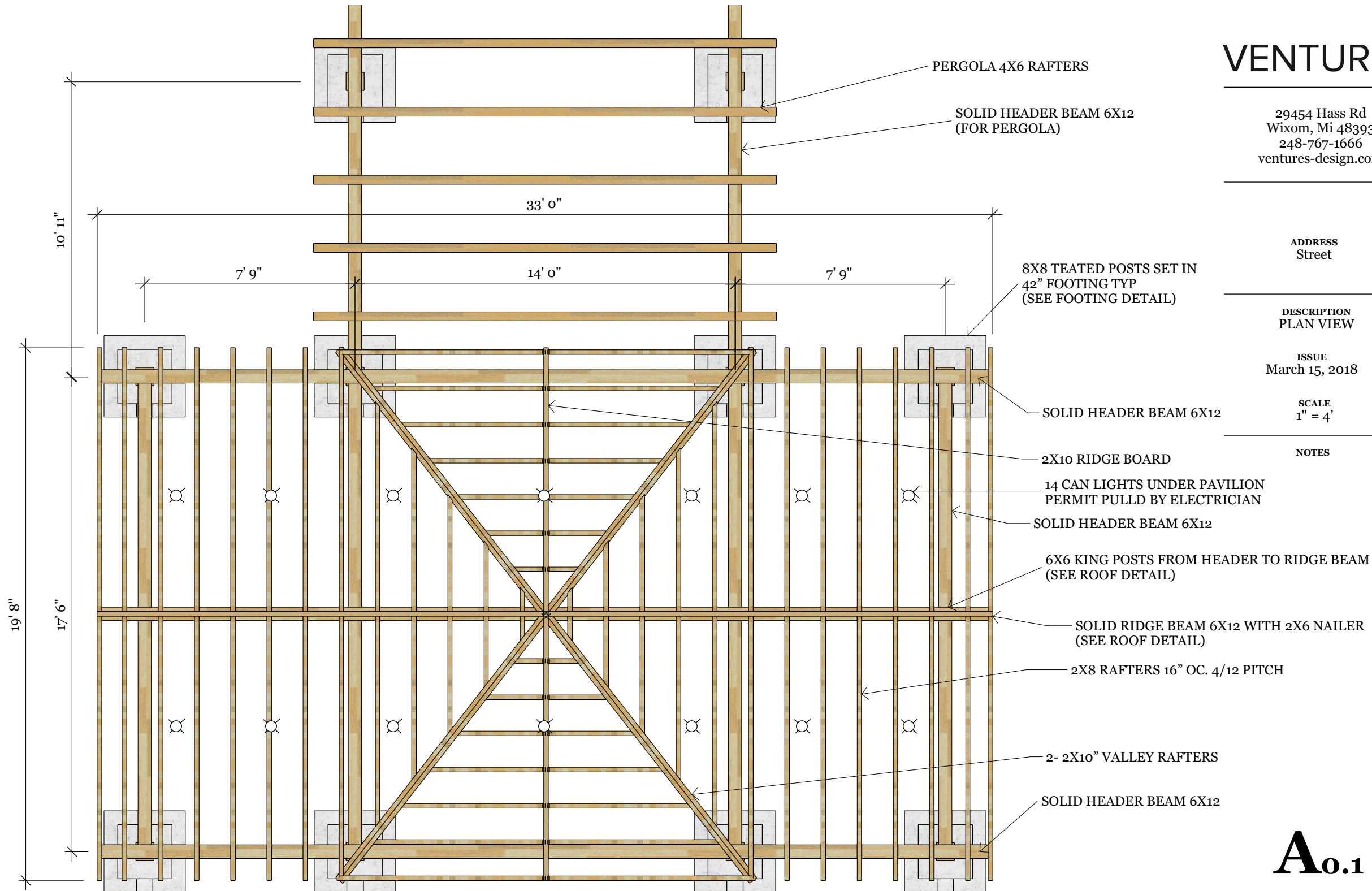
ADDRESS
Street

DESCRIPTION
PLAN VIEW

ISSUE
March 15, 2018

SCALE
1" = 4'

NOTES



A0.1

VENTURES

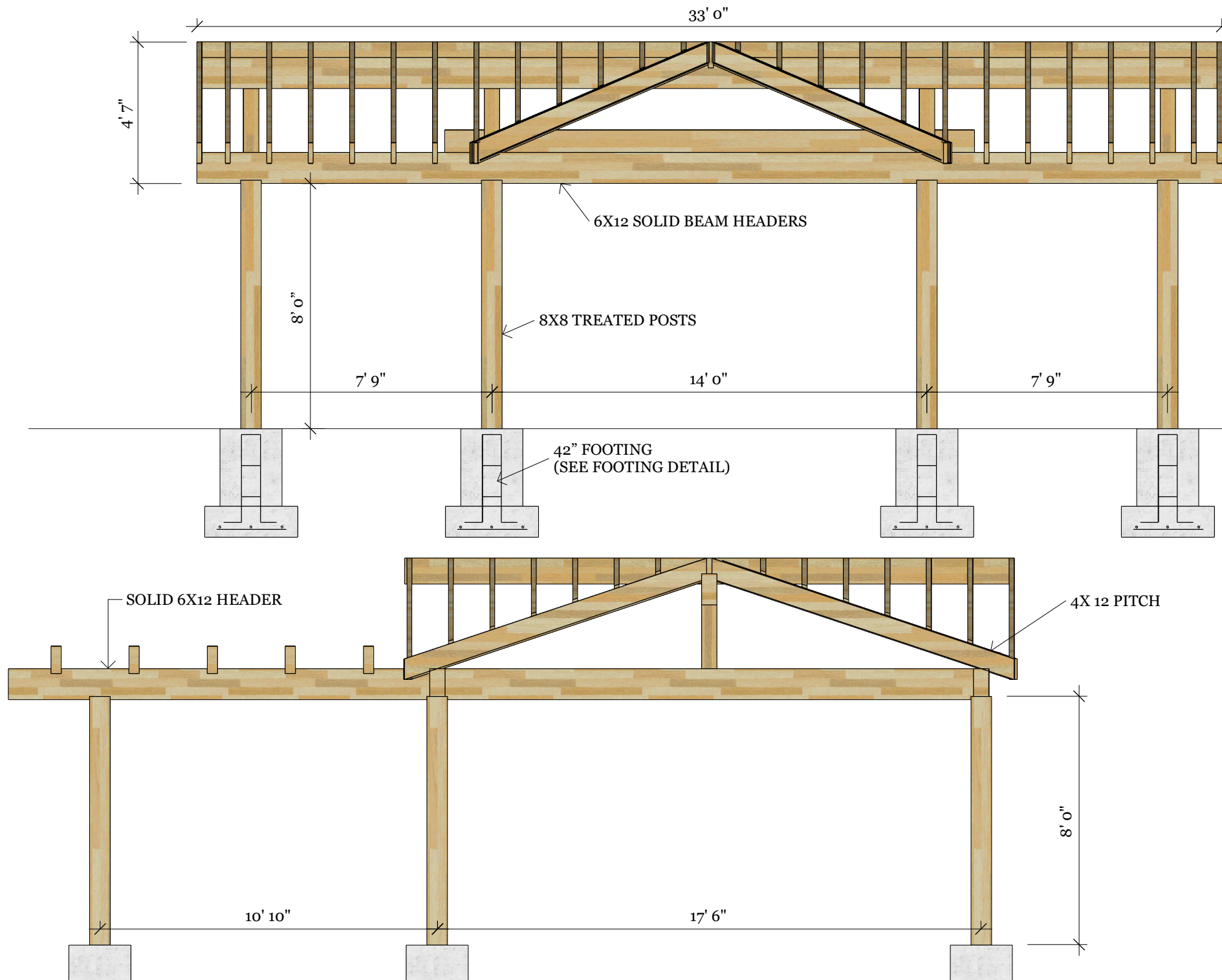
29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

ADDRESS
Street

ISSUE
March 15, 2018

SCALE
1" = 4'

NOTES



29454 Hass Rd
 Wixom, Mi 48393
 248-767-1666
 ventures-design.com

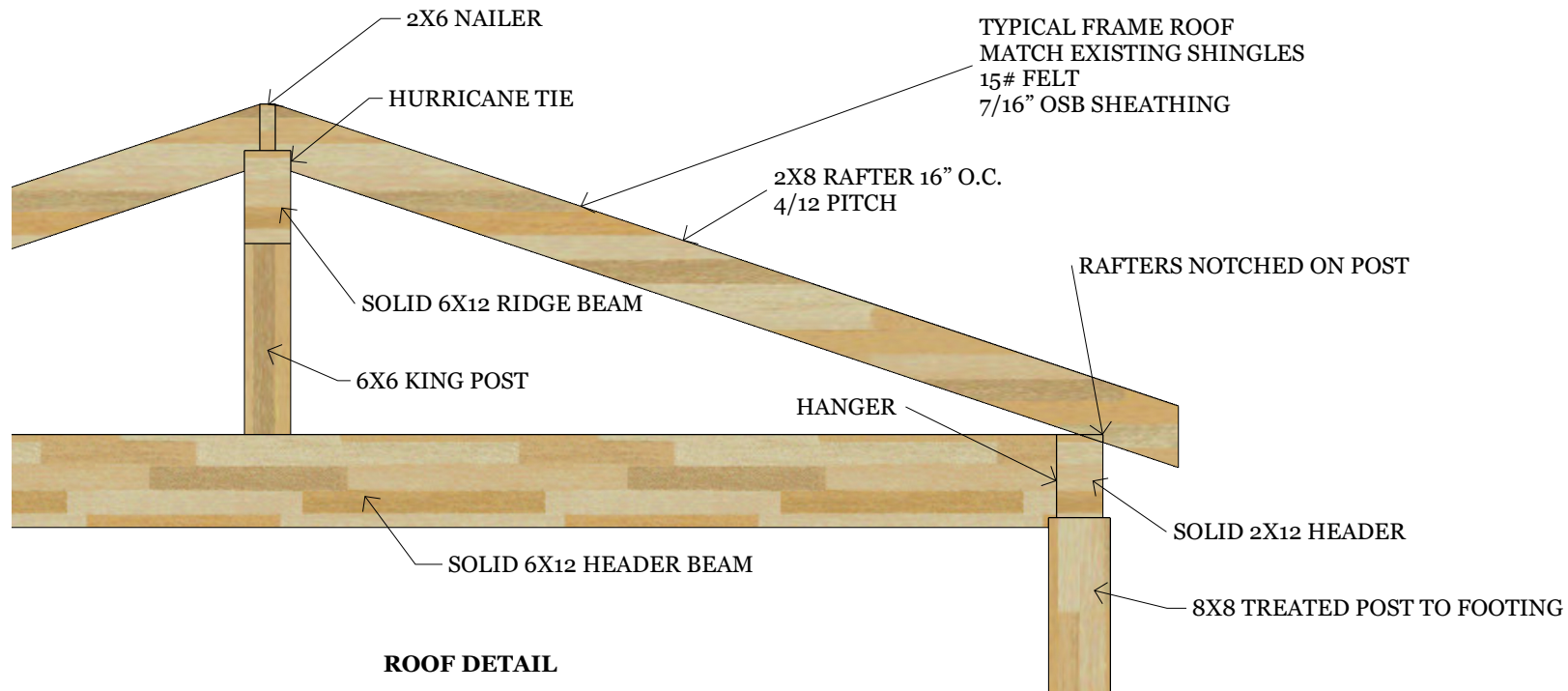
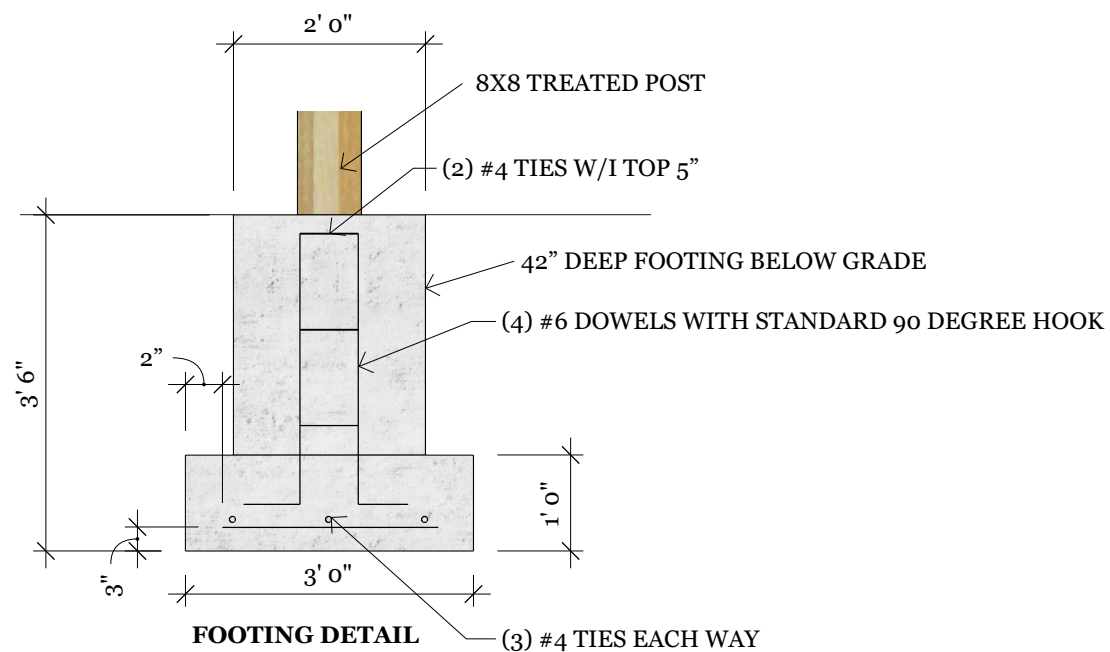
ADDRESS
 Street

DESCRIPTION
 PLAN VIEW

ISSUE
 March 15, 2018

SCALE
 1/2" = 1'

NOTES



VENTURES

29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

CLIENT
12-21 Oak Pointe Plan

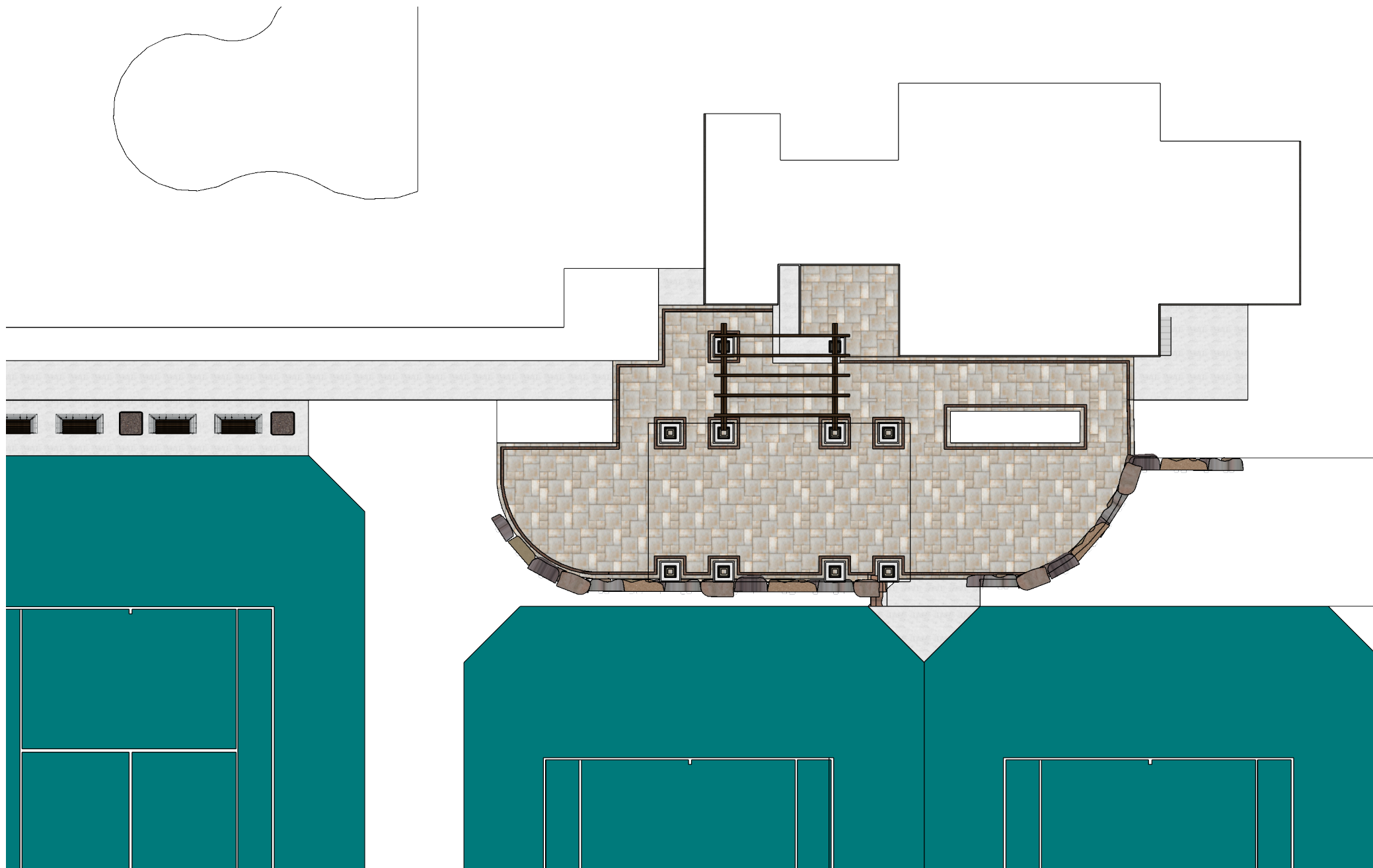
ADDRESS
Street

DESCRIPTION
PLAN VIEW

ISSUE
March 15, 2018

SCALE
1" = 16'

NOTES



VENTURES

29454 Hass Rd
Wixom, Mi 48393
248-767-1666
ventures-design.com

CLIENT
12-21 Oak Pointe Plan

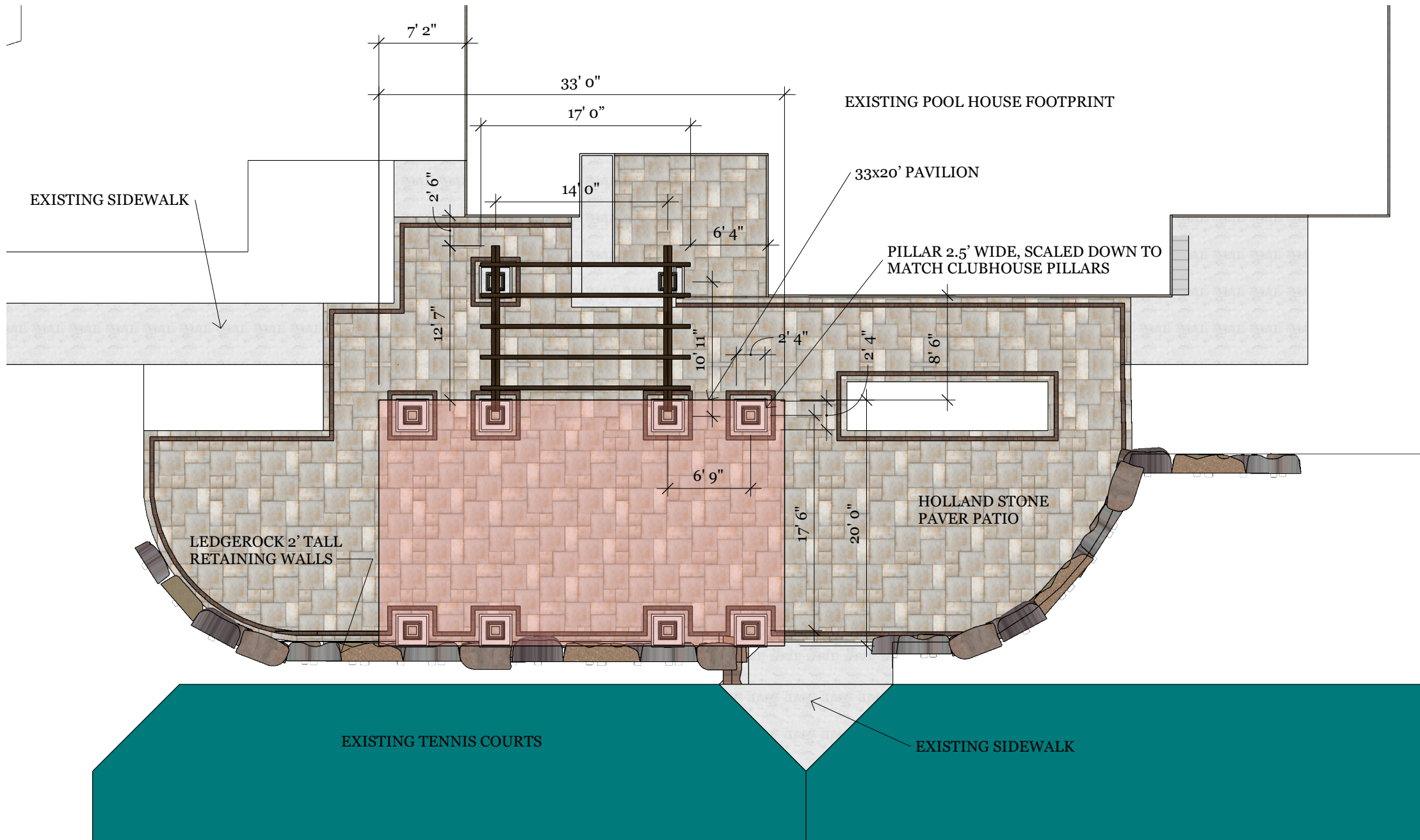
ADDRESS
Street

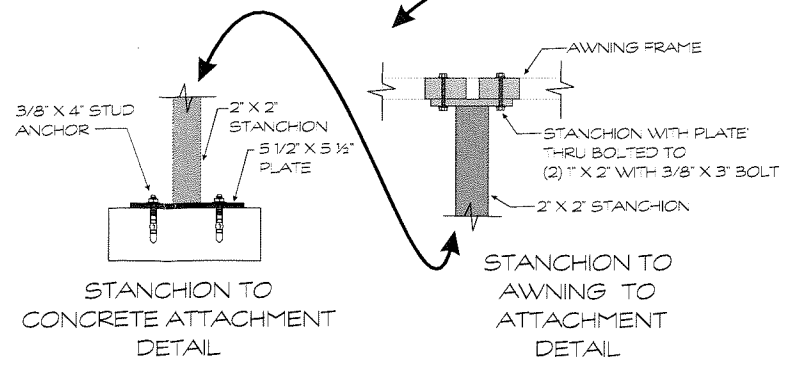
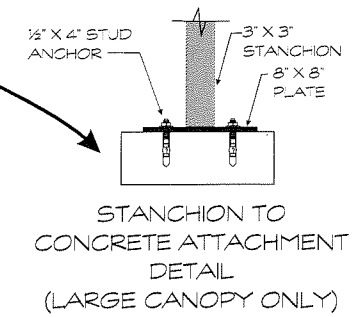
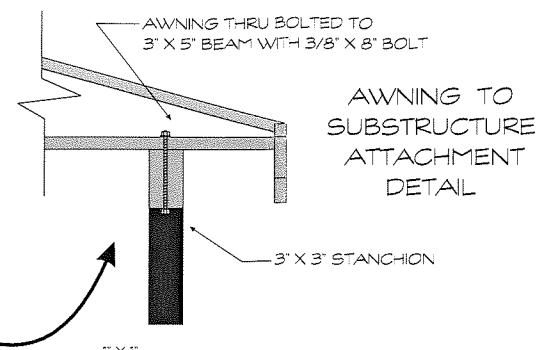
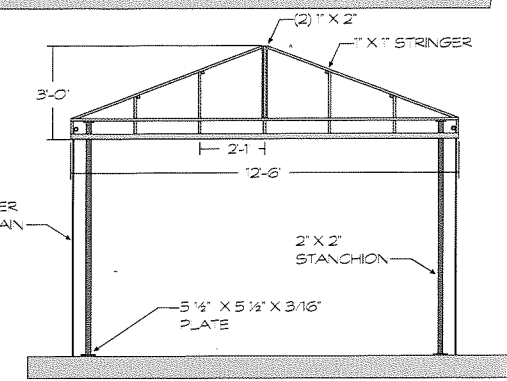
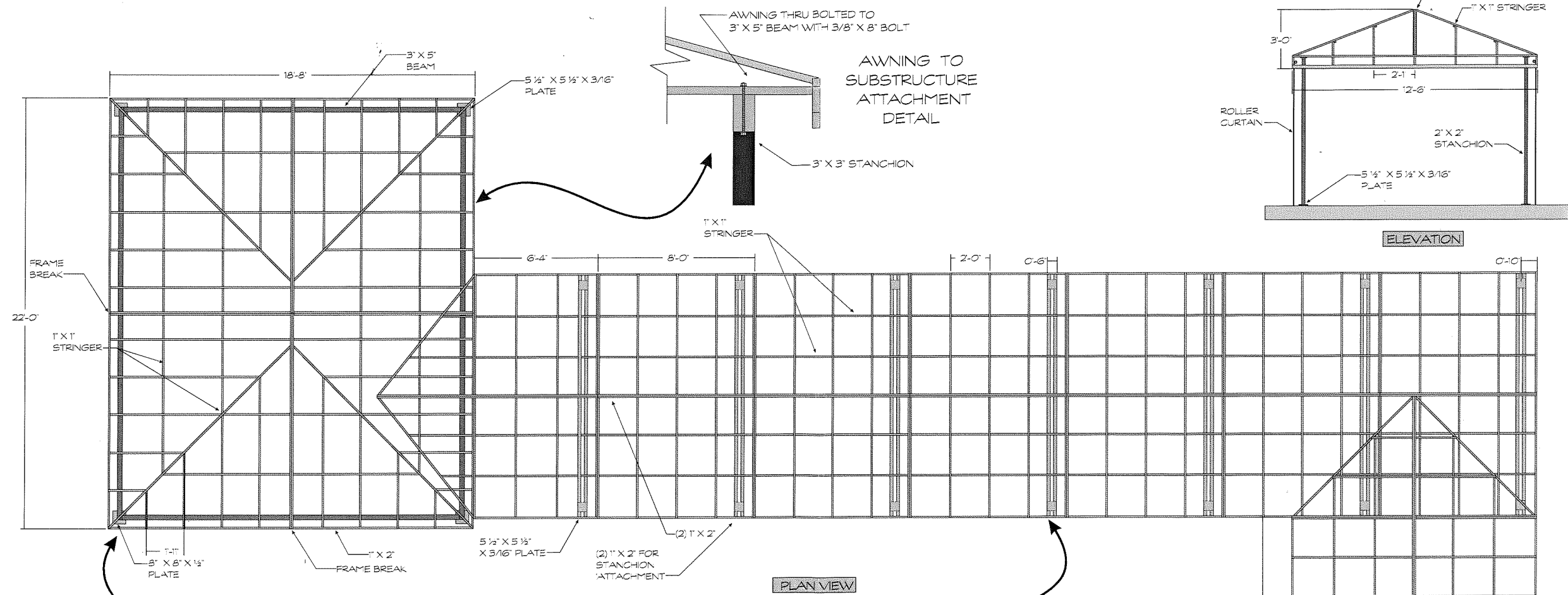
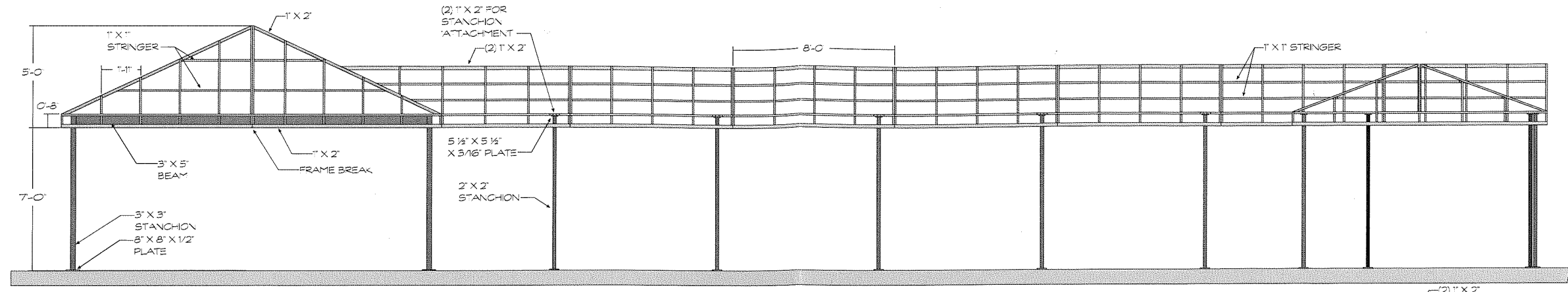
DESCRIPTION
PLAN VIEW

ISSUE
March 15, 2018

SCALE
1" = 10'

NOTES

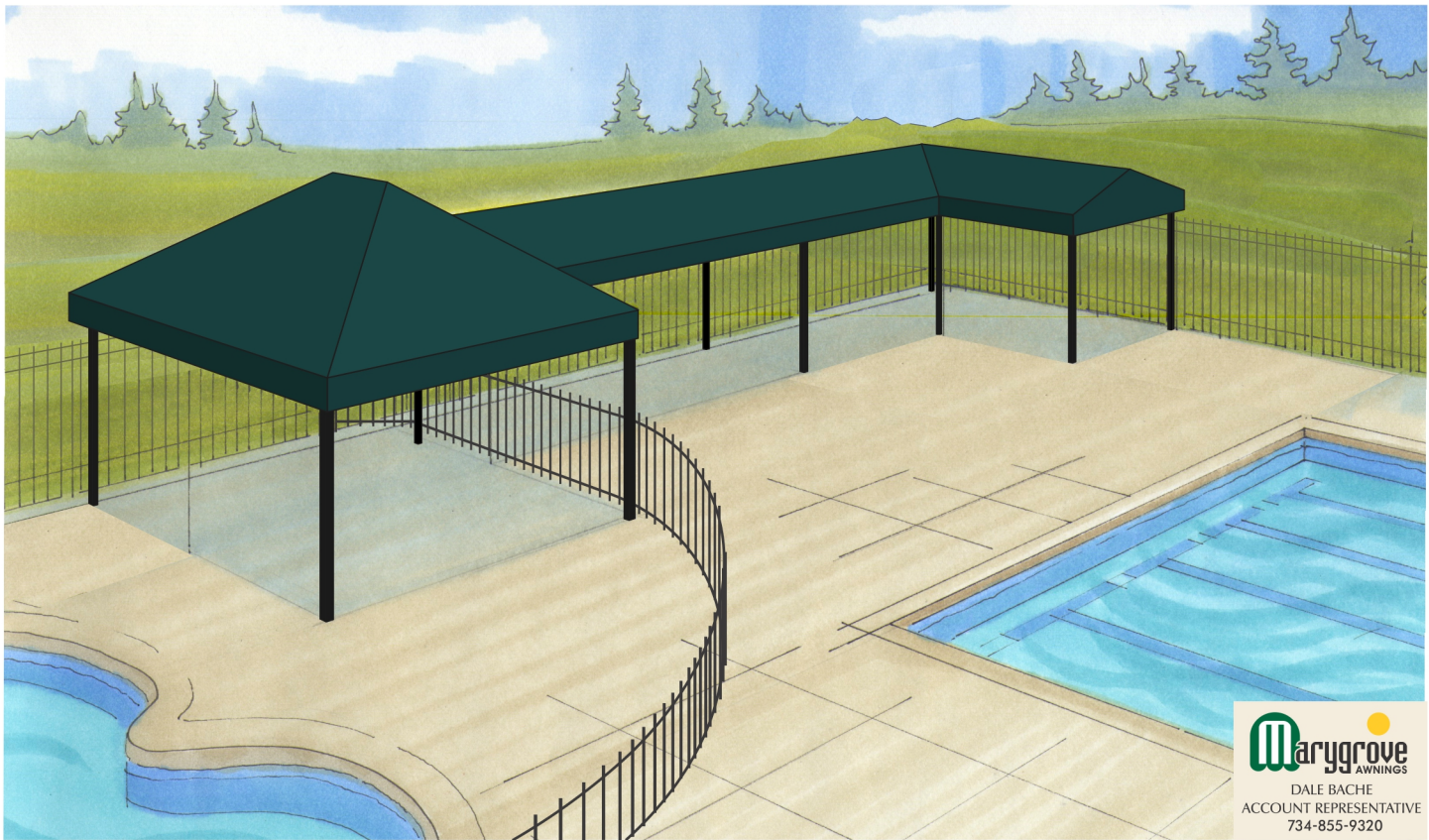




Marygrove
AWNINGS
ACCOUNT REPRESENTATIVE
DALE BACHE
OAK POINTE COUNTRY CLUB
4500 CLUB DRIVE
BRIGHTON, MI 48116
3/9/2018

FABRIC: FERRARI SATIN TENNIS GREEN 502V2-8056C
FRAME COLOR: GREEN STANCHIONS: BLACK
ALL FRAMING ALUMINUM
1\"/>





Marygrove
AWNINGS
DALE BACHE
ACCOUNT REPRESENTATIVE
734-855-9320



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: BOWERS+ASSOCIATES 2400 S HURON PARKWAY ANN ARBOR MI 48104
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: NAMOU HOTEL GROUP 26100 AMERICAN DRIVE SUITE 605 SOUTHFIELD MI 48134

SITE ADDRESS: 3990 GRAND OAKS DRIVE GENOA TWP MI PARCEL #(s): 47-11-08-200-020

APPLICANT PHONE: (734) 975-2400 OWNER PHONE: (248) 281-4168

OWNER EMAIL: cabbo@namouhotels.com

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

GRAND OAKS DRIVE ADJACENT TO INTERSTATE 96
OFF S LATSON ROAD

BRIEF STATEMENT OF PROPOSED USE: _____

COMMERCIAL LODGING

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

ONE 4 STORY HAMPTON INN AND SUITES HOTEL

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: SCOTT BOWERS

ADDRESS: 2400 S HURON PARKWAY ANN ARBOR MI 48104

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) SCOTT BOWERS of BOWERS+ASSOCIATES at SCOTTB@BOWERSARCH.COM
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 3-22-18

PRINT NAME: Chris Abbo PHONE: _____

ADDRESS: _____



March 27, 2018

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Hampton Inn & Suites – Site Plan Review (amended building design/materials)
Location:	Vacant property southwest of the Grand Oaks Drive and Latson Road intersection
Zoning:	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

At the Township’s request, we have reviewed the amended site plan (architectural plans dated 3/23/18) proposing modifications to the building design and materials of a proposed Hampton Inn & Suites on a vacant 2.56-acre site located southwest of the Grand Oaks Drive and Latson Road intersection.

The site is immediately southwest of the recent USA-2-Go development and is part of the Livingston Commons PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance, as well as the PUD Agreement for this property.

A. Summary

1. We request the applicant confirm that no other amendments are proposed to the site plan, landscape plan or utility plan.
2. The Planning Commission has approval authority over the building elevations, including materials and colors.
3. We recalculated the material percentages provided in accordance with Ordinance standards (exclusion of window and door openings) and find that the 80% natural material standard of the PUD Agreement is not met (brick and stone comprise 68.3% of the building).
4. The applicant must also provide a façade by façade breakdown of the material calculations.
5. Provided the metal panels are of a high quality, their use may be appropriate; however, we question the color choice of white.
6. We request the applicant explain to the Commission how the large wall faces are broken up given the removal of the horizontal bands provided on the prior building elevations.

B. Proposal/Process

The applicant requests site plan review and approval for building modifications related to a new 101-room hotel. The proposed building is 4 stories tall with a footprint of 17,934 square feet.

As an amendment to a final PUD plan, procedurally the Planning Commission is to make a recommendation to the Township Board.

Based on the materials submitted, it is our understanding that the proposal is limited to the building modifications described below.

However, we request the applicant confirm that no other amendments are proposed to the site plan, landscape plan or utility plan. If other changes are proposed, we request the applicant highlight these on the plans to ensure that: a) all standards are met; and b) the Township records remain up to date.



Aerial view of site and surroundings (looking north)

C. Building Materials and Design

The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. Amended building elevation drawings are found on Sheets A5.00 and A5.01.

The PUD Agreement for this site requires that all wall surfaces contain at least 80% natural materials. The Zoning Ordinance (Table 12.01.03) provides additional regulations.

We recalculated the material percentages provided by the applicant in accordance with Ordinance standards (exclusion of window and door openings). Proposed building materials and percentages (based on our calculations) are as follows:

- Brick (47.5%);
- Metal panels (21.5%);
- Stone (20.8%);
- EIFS (5.8%); and
- Wood (4.4%).

It is important to note that the percentages listed above are for the entire building, while the PUD Agreement requires 80% natural materials on each wall surface. As such, we request the applicant provide a façade by façade breakdown of the material percentages.

Additionally, the calculations indicate that the 80% natural material standard of the PUD Agreement is not met – brick and stone account for 68.3% of the total building materials.

Pending input from the Planning Commission, the applicant should increase the amount of stone and/or brick to comply with this standard.

The introduction of metal panels and removal of horizontal bands appear to be the major changes to the building.

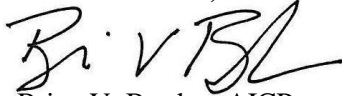
Provided the metal panels are of high quality (not those used in an industrial-type setting), their use may be appropriate; however, we question the use of a white color for these panels.

Typically, the Township requires use of an earth-toned color palette and white may prove to be a rather harsh color choice (especially on such a large building).

Lastly, we request the applicant explain to the Commission how the large wall faces are broken up given the removal of the horizontal bands.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com.

Respectfully,
LSL PLANNING, A SAFE BUILT COMPANY

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP
Planning Manager



EXTERIOR RENDERING

BOWERS+
ASSOCIATES
ARCHITECTURE DESIGN



EXTERIOR RENDERING

BOWERS+
ASSOCIATES
ARCHITECTURE DESIGN



EXTERIOR RENDERING

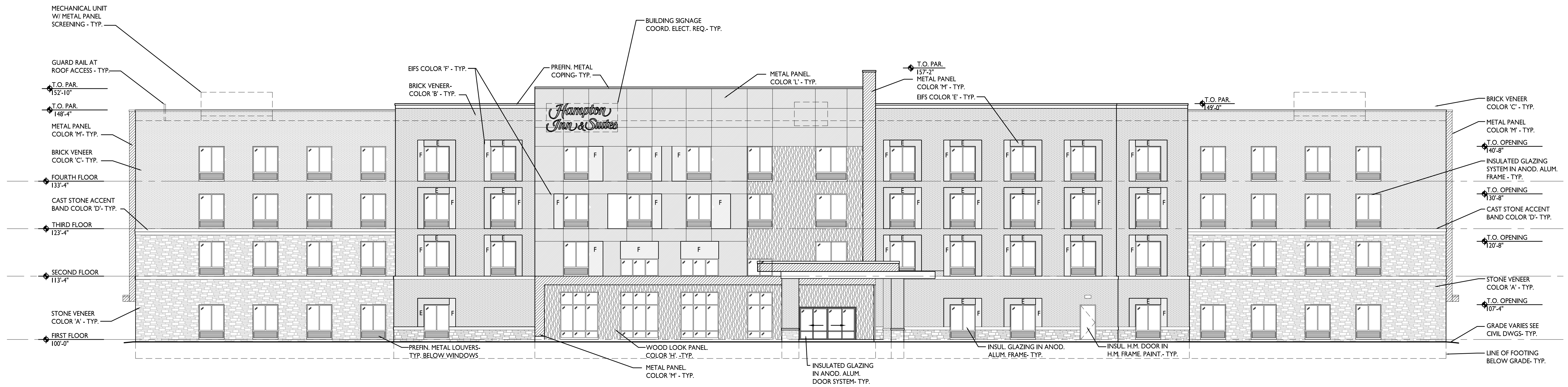
BOWERS+
ASSOCIATES
ARCHITECTURE DESIGN



EXTERIOR RENDERING

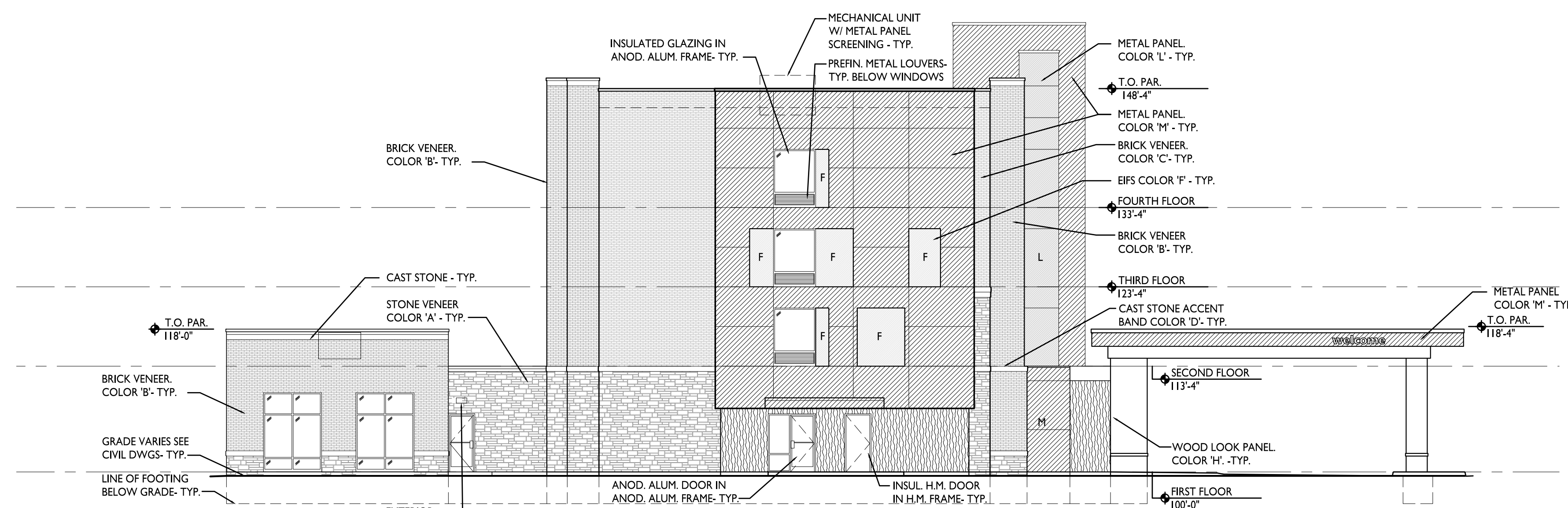
GENERAL NOTES
 1. ALL ROOF TOP EQUIPMENT, VENTS, FLUES TO BE CONCEALED / SCREENED FROM VIEW

31 JAN 2017	SITE PLAN
22 MAR 2017	SITE PLAN
12 APR 2017	SITE PLAN
19 JUNE 2017	BID PERMIT
14 FEB 2018	REVIEW
8 MAR 2018	BID/ PERMIT
23 MAR 2018	REV



EAST ELEVATION

SCALE: 3/8" = 1'-0"



NORTH ELEVATION

SCALE: 3/8" = 1'-0"

STONE	6058 S.F.	16.8%
BRICK	13828 S.F.	38.4%
EIFS	1685 S.F.	4.7%
WOOD LOOK	1296 S.F.	3.6%
FENESTRATION	6881 S.F.	19.1%
METAL PANEL	6259 S.F.	17.4%
TOTAL	36006 S.F.	

TAG	MATERIAL	MANUFACTURER	COLOR
A	STONE VENEER	GLEN GERY	SOUTHERN MALT CUT COBBLE
B	BRICK	GLEN GERY	DARK GREY
C	BRICK	GLEN GERY	TOLEDO GREY
D	CAST STONE	ROCK CAST	CHARLOTTE TAN
E	EIFS	DRYVIT	TBD
F	EIFS	DRYVIT	TBD
G	WINDOW FRAME		CLEAR ANOD. ALUM.
H	FIBER CEMENT PANEL	NICHIHA	VINTAGEWOOD REDWOOD
J	COPING	ATAS/PAC-CLAD	TBD
K	COPING	ATAS/PAC-CLAD	RAWHIDE
L	METAL PANEL	ATAS	ASCOT WHITE
M	METAL PANEL	ATAS	DARK BRONZE
N	STRUCTURAL STEEL PAINT	SHERWIN WILLIAMS	TBD

GENERAL NOTES
 I. ALL ROOF TOP EQUIPMENT, VENTS, FLUES TO BE CONCEALED / SCREENED FROM VIEW

BOWERS ASSOCIATES
 ARCHITECTURE DESIGN
 2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
 P: 734.975.2400 • F: 734.975.2410
 WWW.BOWERSARCH.COM

CONSULTANT + NAME

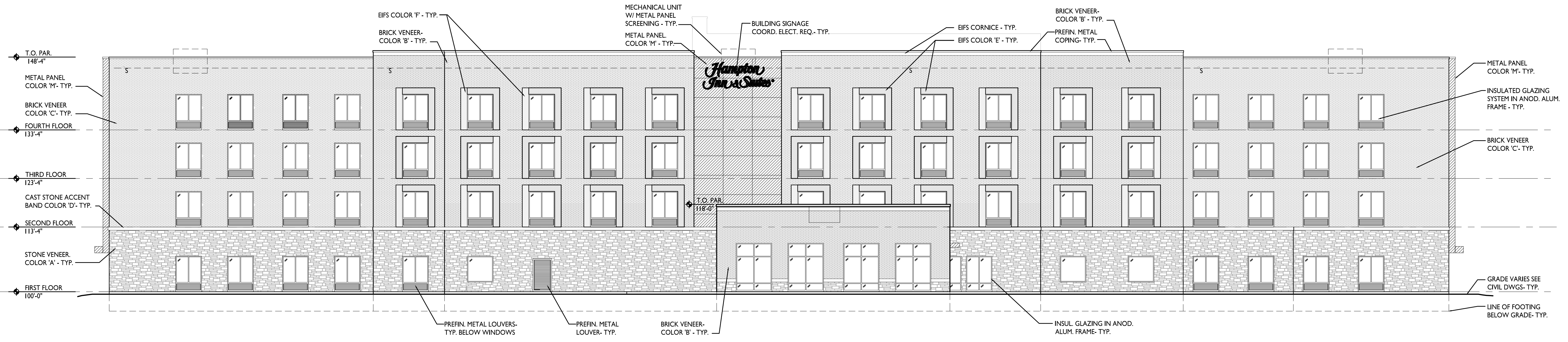
Hampton Inn & Suites
 PROJECT + INFORMATION
 3990 GRAND OAKS DRIVE
 GENOA TOWNSHIP, MICHIGAN

PROJECT + NUMBER
 17-204

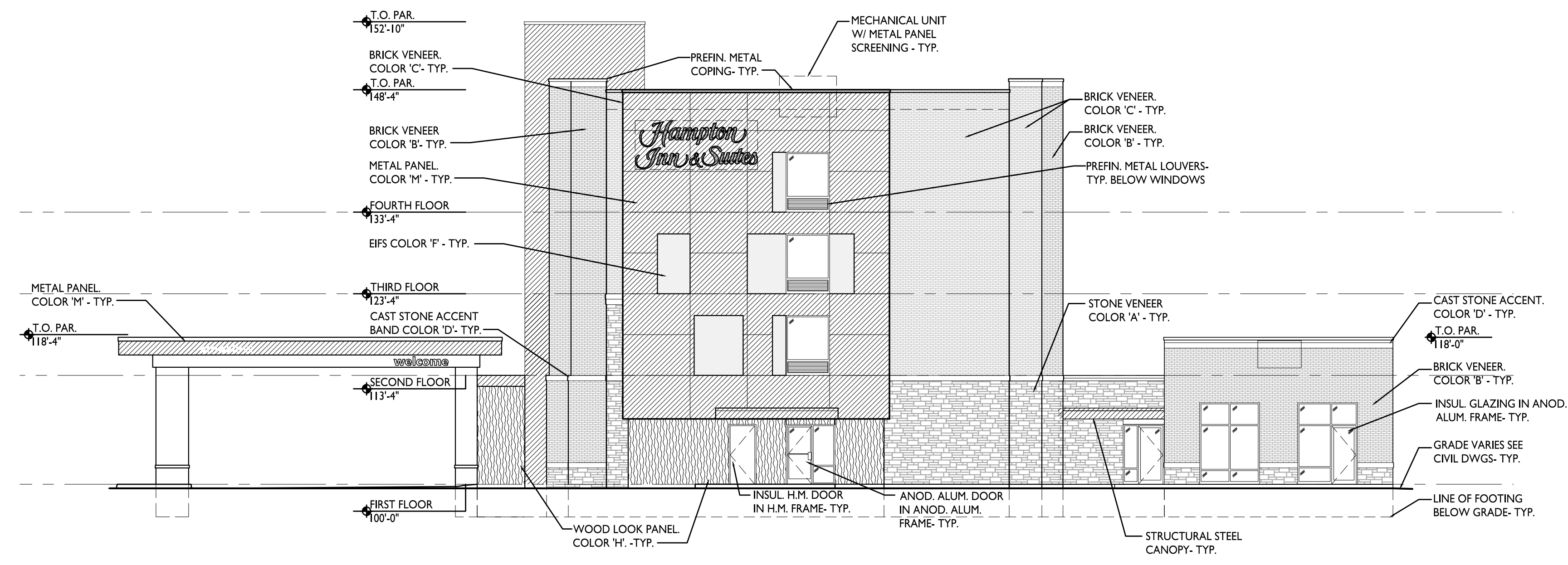
ISSUE + DATE
 31 JAN 2017 SITE PLAN
 22 FEB 2017 SITE PLAN
 12 APR 2017 SITE PLAN
 19 JUNE 2017 BID PERMIT
 14 FEB 2018 REVIEW
 8 MAR 2018 BID/ PERMIT

SHEET + TITLE
 EXTERIOR ELEVATIONS
 17204A500A.dwg

SHEET + NUMBER
 A5.01



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

STONE	6058 S.F.	16.8%
BRICK	13828 S.F.	38.4%
EIFS	1685 S.F.	4.7%
WOOD LOOK	1296 S.F.	3.6%
FENESTRATION	6881 S.F.	19.1%
METAL PANEL	6259 S.F.	17.4%
TOTAL	36006 S.F.	

TAG	MATERIAL	MANUFACTURER	COLOR
A	STONE VENEER	GLEN GERY	SOUTHERN MALT CUT COBBLE
B	BRICK	GLEN GERY	DARK GREY
C	BRICK	GLEN GERY	TOLEDO GREY
D	CAST STONE	ROCK CAST	CHARLOTTE TAN
E	EIFS	DRYVIT	TBD
F	EIFS	DRYVIT	TBD
G	WINDOW FRAME		CLEAR ANOD. ALUM.
H	FIBER CEMENT PANEL	NICHIHA	VINTAGEWOOD REDWOOD
J	COPING	ATAS/PAC-CLAD	TBD
K	COPING	ATAS/PAC-CLAD	RAWHIDE
L	METAL PANEL	ATAS	ASCOT WHITE
M	METAL PANEL	ATAS	DARK BRONZE
N	STRUCTURAL STEEL PAINT	SHERWIN WILLIAMS	TBD

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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

BOWERS ASSOCIATES
ARCHITECTURE & INTERIOR DESIGN
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
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CONSULTANT + NAME



PROJECT + INFORMATION
3980 GRAND OAKS DRIVE
GENOA TOWNSHIP, MICHIGAN

PROJECT + NUMBER

17-204

ISSUE + DATE

31 JAN 2017 SITE PLAN
22 FEB 2017 SITE PLAN
12 APR 2017 SITE PLAN
3 MAY 2017 SITE PLAN
19 JUNE 2017 PERMIT
8 MAR 2018 BID PERMIT

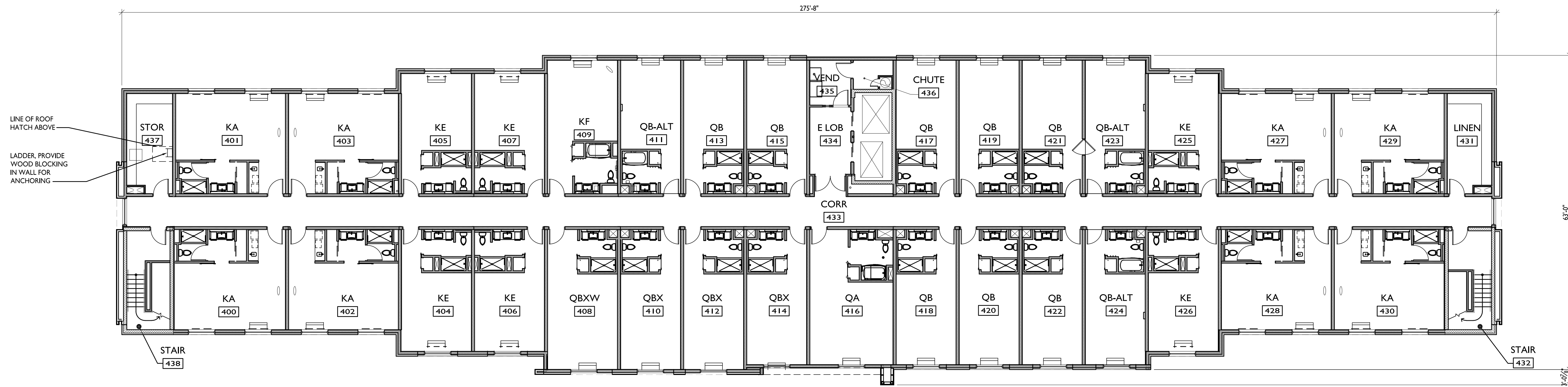
SHEET + TITLE

FIRST FLOOR
PLAN

17204MAST.dwg

SHEET + NUMBER

A1.00



TYPICAL UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BOWERS ASSOCIATES
 ARCHITECTURE DESIGN
 2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
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 WWW.BOWERSARCH.COM

CONSULTANT + NAME

Hampton Inn & Suites
 PROJECT + INFORMATION
 3990 GRAND OAKS DRIVE
 GENOA TOWNSHIP, MICHIGAN

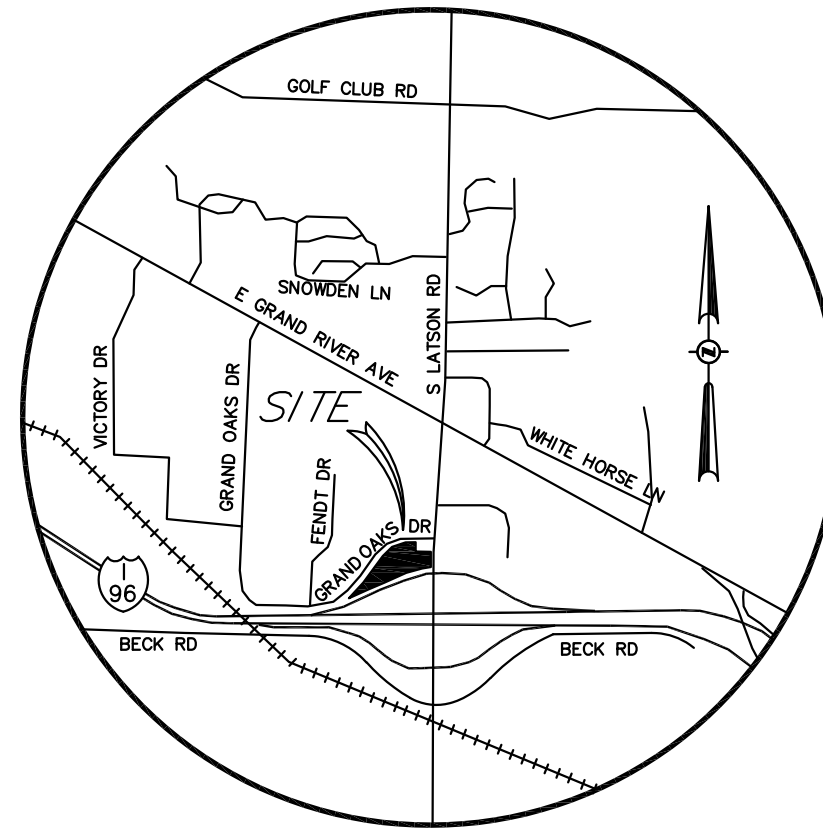
PROJECT + NUMBER
 17-204

ISSUE + DATE
 12 JAN 2017 SITE PLAN
 22 FEB 2017 SITE PLAN
 12 APR 2017 SITE PLAN
 3 MAY 2017 SITE PLAN
 19 JUNE 2017 BID/PERMIT
 8 MAR 2018 BID PERMIT

SHEET + TITLE
 TYPICAL UPPER FLOOR PLAN
 17204MASTa.dwg

SHEET + NUMBER
 A1.03

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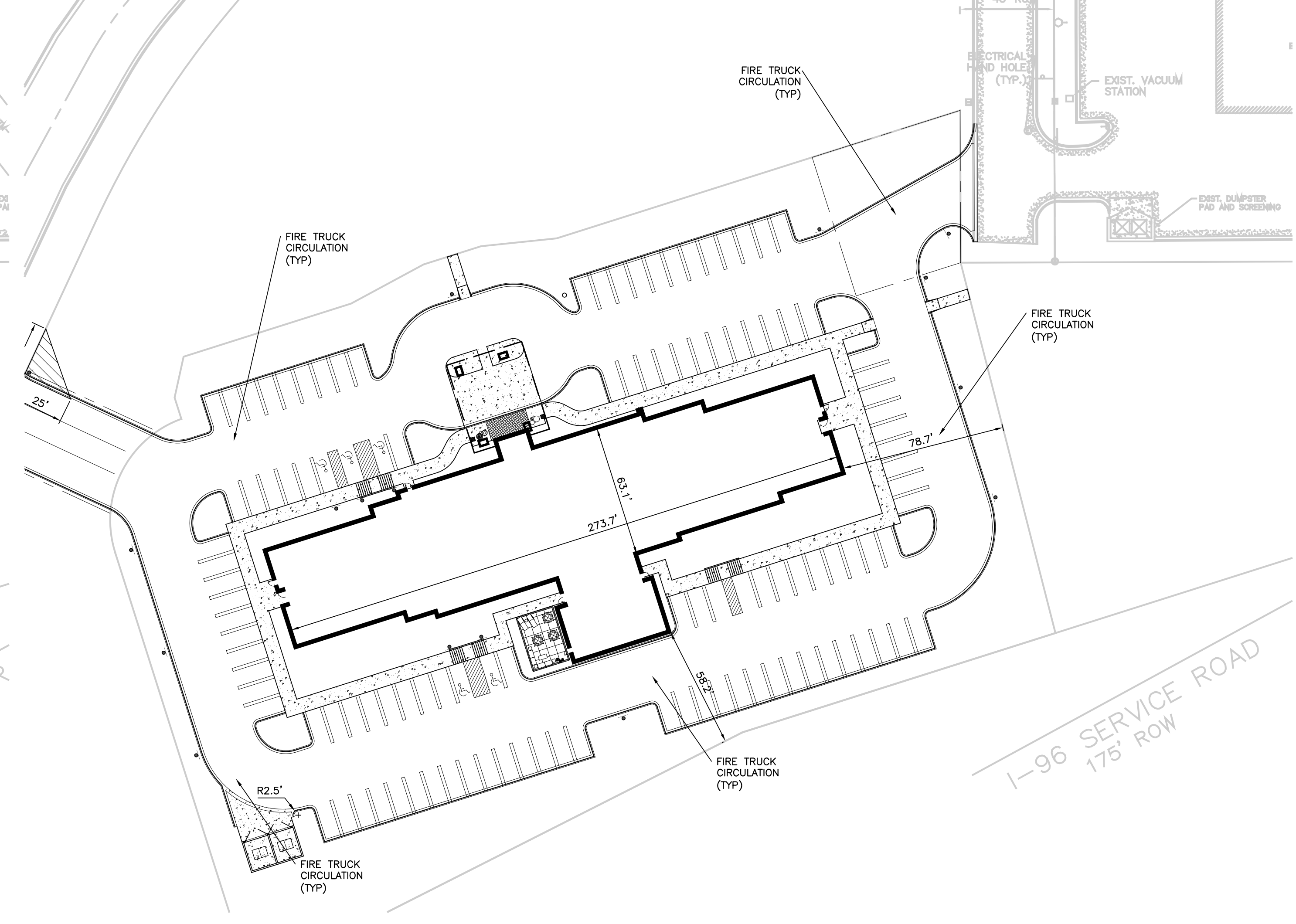
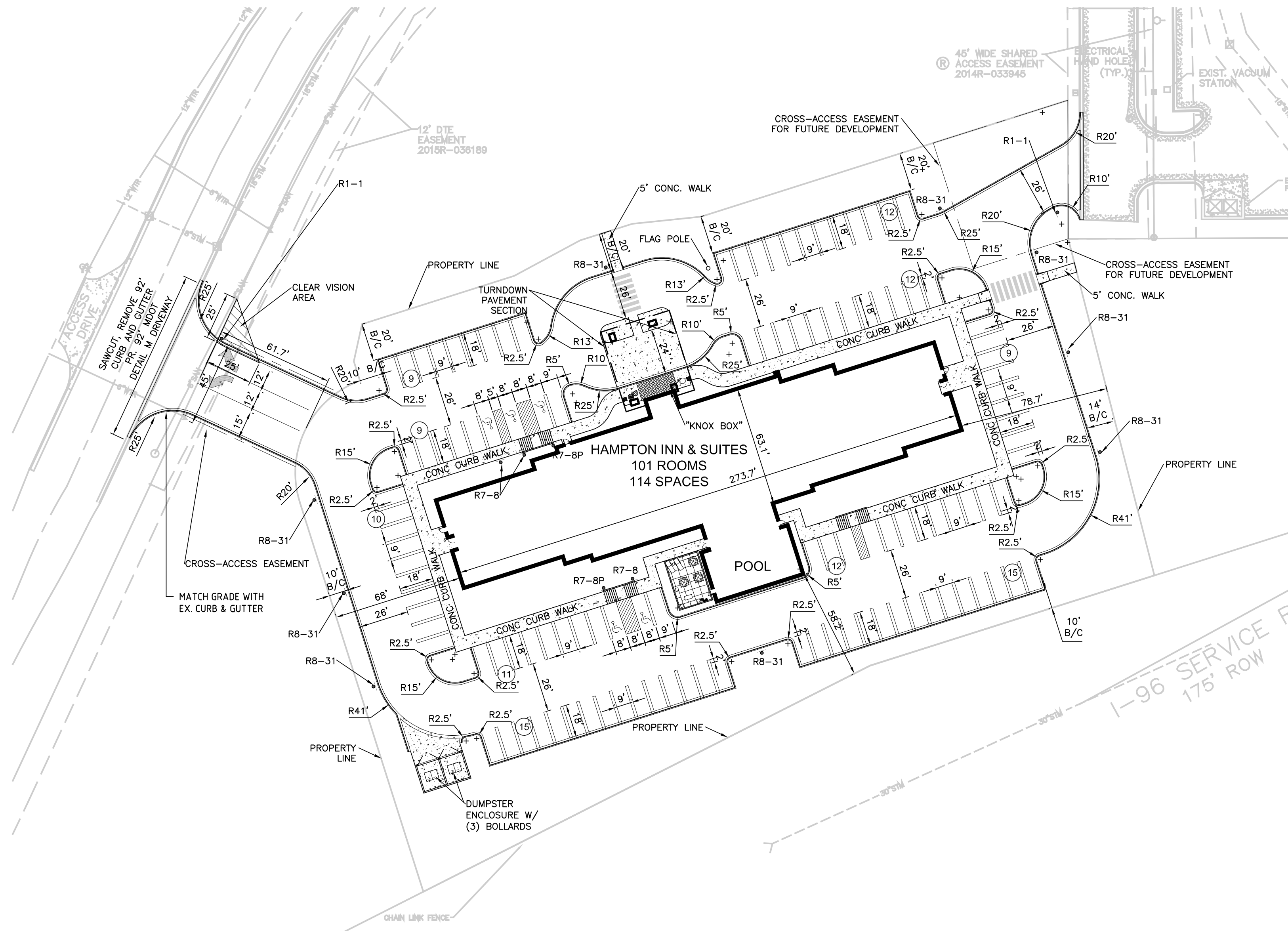
LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
- DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
- ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PARKING STALL SPACES TO BE 4" DOUBLE SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" DOUBLE SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2" O.C. ON 45° ANGLE.
- ALL WORK SHALL CONFORM TO THE GENOA TOWNSHIP STANDARDS AND SPECIFICATIONS.

SITE INFORMATION

ZONING: NRPUD
 PROPERTY: 47-11-08-200-020
 2.560-ACRES
 BUILDING INFORMATION:
 GROSS FOOTPRINT AREA = 17,934 S.F.
 LOT AREA = 2.56-ACRES = 111,513.60 S.F.
 BUILDING LOT COVERAGE = 17,934 / 111,513.60 = 16.1%
 IMPERVIOUS INFORMATION:
 IMPERVIOUS SURFACE (BUILDING & PAVEMENT) = 73,266 S.F.
 LOT AREA = 111,513.60 S.F.
 IMPERVIOUS COVERAGE = 65.7%
 PARKING DATA:
 REQUIRED
 1 SPACE PER GUEST ROOM
 REQUIRED = 101 ROOMS / 1 = 101 SPACES
 TOTAL REQUIRED = 101 SPACES
 PROVIDED
 ACCESSIBLE SPACES (8'x18') = 5
 STANDARD SPACES (9'x18') = 109
 TOTAL = 114 SPACES

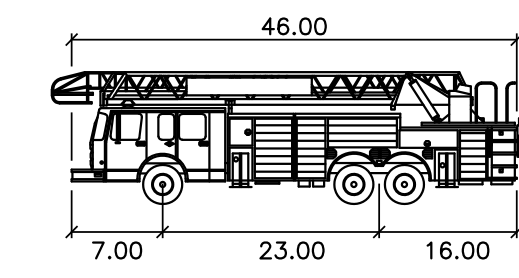


FIRE TRUCK CIRCULATION

SCALE: 1" = 40'

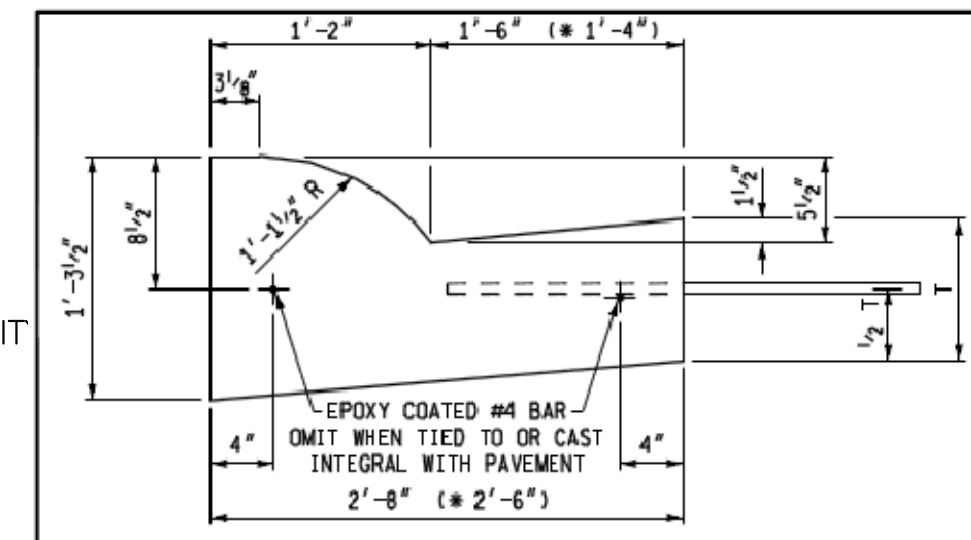
MDOT B2 CURB & GUTTER DETAIL

SCALE: NOT TO SCALE



BRIGHTON AREA FIRE AUTHORITY

FIRE TRUCK



(* GUTTER PAN WIDTH MAY BE REDUCED WHEN APPROVED BY THE ENGINEER)

DETAIL	DIMENSION	LANE TIES	CONCRETE CYD / LFT	CONCRETE CYD / LFT
B1	9"	AS SHOWN	0.0900	(* 0.0855)
B2	9"	OMITTED	0.0900	(* 0.0855)
B3	10"	AS SHOWN	0.0941	(* 0.0894)

BRIGHTON AREA FIRE AUTHORITY NOTES

- THE BUILDING IS PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLIANT WITH NFPA 13.
- THE BUILDING SHALL INCLUDE THE BUILDING ADDRESS ON THE BUILDING. THE ADDRESS SHALL BE A MINIMUM OF 6-INCH HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- DURING THE CONSTRUCTION PROCESS THE BUILDING WILL BE EVALUATED FOR APPROVED EMERGENCY RESPONDER RADIO COVERAGE. IF COVERAGE IS FOUND TO BE INADEQUATE, THE CONTRACTOR, BUILDING OWNER WILL BE REQUIRED TO PROVIDE AN APPROVED SYSTEM IN THE BUILDING.
- ACCESS ROADS TO THE SITE SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION. ACCESS ROADS SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 84,000 POUNDS.

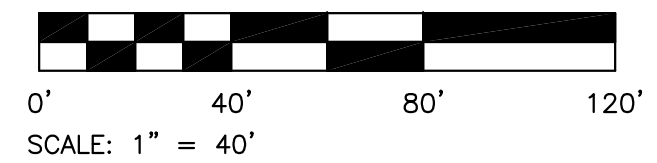


R8-31 SIGN DETAIL
NO SCALE

TRAFFIC CONTROL SIGN TABLE	
DESCRIPTION	MMUTCD
STOP SIGN	R1-1
HANDICAP	R7-8
HANDICAP (VAN)	R7-8P
NO PARKING FIRE LANE	R8-31

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS

PAVEMENT INFORMATION	
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT



SCALE: 1" = 40'

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

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HOWELL HOSPITALITY INC.
 GRAND OAKS DRIVE
 GENOA TOWNSHIP, LIVINGSTON CO, MI

ISSUED FOR	DATE
SPA	02.01.17
SPA	02.22.17
SPA	05.01.17
SPA	05.23.17
SPA	06.23.17
ENGINEERING #1	06.28.17
ENGINEERING #2	10.09.17

DATE :	
DRAWN :	
CHECKED :	
SCALE :	
JOB NO :	018041
SHEET TITLE :	

C3.0

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
MARCH 12, 2018
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Jim Mortensen, Eric Rauch, Chris Grajek, Jill Rickard and Marianne McCreary. Absent was John McManus. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Brian Borden of LSL Planning, Gary Markstrom of Tetra Tech, and an audience of 17.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to approve the agenda as presented.

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

OLD BUSINESS

OPEN PUBLIC HEARING #1... Review of a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store. The property in question is located in the former TJ Maxx retail space at 3685 E. Grand River Avenue, Howell 48843. The request is petitioned by Family Farm and Home.

Planning Commission Recommendation of Petition:

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1/4/18).
- C. Recommendation of Site Plan (2/22/18).

Mr. Martin Renel of ASHMARK Construction and Mr. Jeff Smith, representing the property owner, were present. Mr. Renel reviewed the changes they made based on the comments from last month's meeting. They addressed the storm-water control, the dumpster enclosure, the fencing, and they added the required details to the plan, and blocks to some of the parking spaces.

Mr. Borden reviewed his letter of March 6, 2018.

They find that the general standards of the Special Land Use have been met; however, there are some items required for the use conditions have not. Specifically, the setback requirement for the proposed trailer storage area is not provided and the trailer storage area is only

screened on three sides. He noted that the Planning Commission can allow screen fencing in place of the Buffer Zone B requirement.

Additional requirements that need to be met are:

- Impervious surface calculations must be provided. It was noted that the applicant provided this to the Township this afternoon. Mr. Borden reviewed the calculations and there is now more impervious surface being proposed.
- The amount of parking remaining after the removal of spaces meets the ordinance.
- He is suggesting a cross-access easement be provided on the subject site allowing future connection with the development to the east.
- He is recommending the applicant be required to maintain at least 5 feet of clearance along the front of the building. The plans were reviewed this evening and there is 6 feet of clearance.
- The parking blocks proposed along the south side of the 8-foot screen fencing reduce the drive aisle width below Ordinance standards and could pose problems for snow plowing.

Commissioner Rauch would vote to approve the setback requirement being waived for the trailer storage area because of its unique location. It is at the rear of a Wendy's restaurant and there is a dumpster in this area. He thanked the petitioner for altering the fencing, and adding the pillars and the screening for the trailer storage area.

Commissioner Rickard stated that the setbacks should be met. Chairman Brown agrees. There may be a time when Wendy's is no longer there and another business occupies the site.

Commissioner Mortensen does not approve of the proposed fence or the trailer storage area, which would need more fencing.

There was a discussion regarding redesigning the area to the south of the building where the trailer storage area is being proposed in order to meet the ordinance requirements that are lacking.

Mr. Smith stated they would like to receive direction from the Planning Commission tonight. It was discussed to have the Planning Commission approve the Special Land Use without approving the trailer storage. A variance would need to be obtained from the Zoning Board of Appeals. Mr. Eugene Franks from Family Farm and Home suggested the trailer storage be in the parking spaces adjacent to the building on the south side, removing the curbing for the other parking area adjacent to Wendy's property, and converting it into a 26-foot wide drive aisle. Ms. VanMarter suggested that the Fire Authority review these plans. She asked if all of the parking spaces are needed for the trailer storage. She suggested some of the spaces be left for customers wishing to park in the area if they are interested in looking at the trailers.

Commissioner Rauch brought up the issue of the cross access drive. Mr. Smith stated that the property owner would be willing to grant the easement to Meijer if they were to pay for the driveway to be constructed.

There was a discussion regarding the increase in impervious surface. The applicant will need to add green space on the site to accommodate the additional impervious area.

Commissioner Rickert would like to see the revised plans. Commissioner Mortensen agrees.

The Call to the Public was made at 7:59 pm.

Mr. Kathy Termors is one of the owners of Kolt Jewelers. She would like this project to be approved. This center needs more tenants.

Robert Huffman stated that he and his wife own BC Comix and Games. He would like this project to be approved.

The call to the public was closed at 8:01 pm.

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to table the request for a special use, site plan, and environmental impact assessment for a proposed commercial outdoor display, sales, and storage area for a new Family Farm and Home store located at 3685 E. Grand River Avenue, Howell 48843 until the April 9, 2018 meeting with the intention the petitioner will satisfactorily address the items discussed this evening.

NEW BUSINESS

OPEN PUBLIC HEARING #2... Review of site plan and environmental impact assessment for a proposed 2,254 sq. ft. addition to the existing ALDI Food Market located at 2260 E. Grand River Ave., Howell. The request is petitioned by ALDI Inc.

Planning Commission Recommendation of Petition:

- A. Recommendation of Environmental Impact Assessment (2-23-18)
- B. Disposition of Site Plan (2-21-18)

Mr. Christopher Grzenkowicz with Desine Inc. and Mr. Sam Glennen of Aldi were present. Mr. Grzenkowicz provided a review of their proposed project. They would like to completely remodel the inside of the store and add an approximate 2,254 square foot addition to the east of the building. They will also be adding additional parking spaces, resurfacing the entire parking lot, replacing the parking lot lighting with LED lights, replacing and adding additional landscaping, and replacing the existing monument sign. They are requesting side and rear parking setback waivers for six of their spaces. He showed colored renderings and a site plan.

They will also need approval for the increase of parking spaces. Aldi's corporate standard for parking is 75 spaces at a minimum and 95 as a requirement. Mr. Borden stated the maximum allowed by ordinance is 91 spaces. The Planning Commission will need to approve the additional four spaces.

Mr. Borden reviewed his letter of February 28, 2018. The applicant has met all of the requirements of the ordinance. The only outstanding issues are Planning Commission discretionary items. As Mr. Grzenkowicz stated, the Planning Commission must approve the waiver of the side and rear parking setbacks, the approval of the four additional parking spaces, and the building elevations, materials, and colors.

Mr. Markstrom stated the applicant has addressed all of their concerns.

The call to the public was made at 8:25 pm with no response.

Moved by Commissioner Mortensen, seconded by Commission Rauch to recommend to the Township Board the Environmental Impact Assessment dated February 23, 2018 for a 2,254 sq.

ft. addition to the existing ALDI Food Market located at 2260 E. Grand River Ave., Howell. **The motion carried unanimously**

Moved by Commissioner Mortensen, seconded by Commissioner Grajek, to approve the Site Plan for the expansion of Aldi Food Market dated February 21, 2018 for a 2,254 sq. ft. addition to the existing ALDI Food Market located at 2260 E. Grand River Ave., Howell. with the following provisions:

- Approval of the 24 additional parking spaces, bringing the parking count to 95, although more than 125% of the ordinance standards by four spaces is approved because Aldi's had demonstrated their experience requires that amount of parking.
- Six of the proposed parking spaces are within a side and rear parking setback, but is approved by the PC since they are within an easement permitting such use.
- The building materials and renders are approved by the planning Commission and will become property of the Township.

The motion carried unanimously.

OPEN PUBLIC HEARING # 3... Review of site plan amendment to add 4 additional apartment units and relocate the fitness center for Lakeshore Village Apartments located at 2812 Ontario Ct., Howell. The request is petitioned by Coponen Architects.

Planning Commission Disposition of Petition:
A. Disposition of Site Plan (2-22-18)

Mr. Walter Coponen of Coponen Architects was present. They would like to add four additional apartments to the plan that was approved previously. They are experiencing a need for one-bedroom apartments. He submitted a site plan showing the additional units and sidewalk.

Mr. Borden requested that the applicant confirm that no changes to the originally-approved plan are being proposed. Mr. Coponen stated there are no changes to the original approval besides the addition of the four units and the sidewalk.

Mr. Markstrom has no outstanding items. The increase in the units will not have an impact on the property's utility usage.

The call to the public was made at 8:41 pm with no response.

Moved by Commissioner Mortensen, seconded by Commissioner Rauch, to approve the Site Plan dated February 23, 2018 with an amendment reviewed by the Planning Commission which adds a sidewalk to the February 23rd, plan to add four additional apartment units and relocate the fitness center for Lakeshore Village Apartments located at 2812 Ontario Ct. Howell.

- The applicant has confirmed that no changes have been made to the originally-approved plans, including (see Brian's letter)
- Approval of the missing landscape sheet provided this evening for review by Township Staff.

The motion carried unanimously.

Administrative Business:

- Staff Report

Ms. VanMarter stated there will be an April Planning Commission meeting.

Barbara Figurski's funeral was a very special celebration of her life. The Township will be putting up a plaque for Ms. Figurski in the front cabinet.

She is hoping to schedule a joint meeting between the Planning Commission, the Township Board and the ZBA to discuss the plans for the South Latson area on Monday, April 30th at 6:30 pm.

- Approval of the February 12, 2017 Planning Commission meeting minutes

Commissioner McCreary noted some minor changes needed.

Moved by Commissioner Grajek (as a proxy to the late Planning Commissioner Barb Figurski), seconded by Commissioner Mortensen, to approve the minutes of the February 12, 2018 Planning Commission Meeting as corrected. **The motion carried unanimously.**

- Member Discussion

There were no items discussed

- Adjournment

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to adjourn the meeting at 8:54 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary