

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JULY 18, 2017
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 17-11 ... A request by Janet Evans, 4276 Highcrest, for a front yard variance to construct an addition.
2. 17-12 ... A request by Brice Nelson, vacant lot Forest Beach Drive, parcel #11-26-301-024, for two side yard variances to construct a single family home.
3. 17-13... A request by Steve and Ann Davis, Cynthia and Robert Lukotch, and Michael and Laura Kipley, 867 Sunrise Park, for a side yard variance and a variance from the principal structure to construct a detached accessory building.
4. 17-14 ... A request by Bradley Varga, 3009 E. Schafer Road, for a side yard variance to construct a detached accessory building.
5. 17-15 ... A request by Martin and Jennifer Toomajian, 4377 Filbert Drive, for front, side, and waterfront variance in order to construct a second story addition with an attached garage.
6. 17-16 ... A request by Jonathan Bowling, 4800 Dillon St., for a front yard setback variance to construct a covered front porch.
7. 17-17 ... A request by Jon and Bonnie Unruh, 4220 Highcrest Drive, for a front yard variance to construct a two story addition.
8. 17-18 ... A request by Tim Chouinard, 1253 Sunrise Park, for front, side, waterfront and rear yard variances and a lot coverage variance to demo the existing home and construct a new home. (Applicant has requested to be withdrawn from agenda)

Administrative Business:

1. Approval of minutes for the June 20, 2017 Zoning Board of Appeals meeting.
2. Correspondence
3. Township Board Representative Report
4. Planning Commission Representative Report
5. Zoning Official Report
6. Member Discussion
7. Adjournment



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 17-11 Meeting Date: 5-16-17

PAID Variance Application Fee @ 6:30
\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: JANET EVANS (GRISCOM)

Property Address: 4276 HIGHEST DR. Phone: 810-623-2768

Present Zoning LRR Tax Code: 11-22-302-185

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. Variance requested: TO BUILD CLOSER TO STREET SIDE PROPERTY LINE; LESS THAN 35' SETBACK FOR GARAGE

2. Intended property modifications: ADDITION OF ATTACHED GARAGE

a. Unusual topography/shape of land (explain): _____

b. Other (explain): SAME AS ABOVE

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

* **Property must be staked showing all proposed improvements seven (7) days before the meeting and remain in place until after the meeting.**

Date: 4.20.2017 Signature: Janet Evans

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 5, 2017

RE: ZBA 17-11

STAFF REPORT

File Number: ZBA#17-11
Site Address: 4276 Highcrest Drive
Parcel Number: 4711-22-302-185
Parcel Size: .285
Applicant: Janet Evans (Griscom), 4276 Highcrest Brighton
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a front yard variance to construct an addition to an existing home.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1920 and remodeled in 2011.
- See Assessing Record Card.
- Please note that the plans are labeled as the Carlson Residence however the address is correct.
- Tabled from the May ZBA meeting and the June ZBA meeting at the suggestion of staff due to a 3 member board. 300 foot notice was sent out on June 30, 2017 for the July 18, 2017 meeting date.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

The applicant was tabled at the May Zoning Board of Appeals meeting. Please see attached minutes. At the suggestion of staff the applicant requested to be tabled from the June Zoning Board of Appeals meeting. The applicant submitted a revised site plan for the June meeting showing the proposed home to be 17.1 feet from the front property line which is a 5 foot setback difference from last meeting. The possible finding of facts contained in my May 10, 2017 staff report are unchanged in either case as shown below.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (LRR District):	Required Front Yard Setback:	35
	Proposed Front Yard Setback:	17.1
	Proposed Variance Amount:	17.9

5-16-17 Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would prevent the applicant from constructing the addition to the existing single family home as proposed. There are other homes in the vicinity with reduced front yard setbacks that would support substantial justice.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the non-conforming location of the existing home and narrow lot. Granting of the variance would make it consistent with many homes in the vicinity. The need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property. It might cause an increase in congestion to the public streets. The location of the property on the curve of Highcrest and the fact that the road is located very close to the property line could cause an increase in congestion and create public safety concern due to a vehicle backing out of the driveway that could possibly not be seen to oncoming traffic. In addition, the plans indicate the 2nd floor of the addition to be used as a guest suite while the addition will occupy the available on-site parking. The applicant should demonstrate there will be sufficient on-site parking.
- (d) Impact on Surrounding Neighborhood** – Providing the parking concerns are addressed, the proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Drainage from the home must be maintained on the lot.

2. Structure must be guttered with downspouts.
3. Applicant should obtain survey documenting location of front lot line and edge of roadway.
4. Sufficient on-site parking shall be maintained at all times.

- The vacant lot #31 gives access off of Grand River to the residential property with an address of 5520 Wildwood, which is how the applicant enters and exits his property.
- The extraordinary circumstances are the division of the lots with a walking path in between and the inability to change the platted subdivision.
- The owner is in sole possession of two parcels that are separated by a walking trail in between them.
- The granting of the variance would give substantial justice to the applicant due to the uniqueness of the plat.
- The need for the variance is not self-created.
- The granting of this variance will not impair an adequate supply of light and air to adjacent properties or unreasonably increase the congestion of public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance may have little impact on the appropriate development, continued use or value of adjacent properties and the surrounding properties and is similar to homes surrounding it that front Grand River with waterfront on the opposite site.

Approval of this variance is conditioned upon:

- No other additional structures are allowed on the lot.
- A deed restriction requiring that the vacant land cannot be sold separately from 5520 Wildwood shall be prepared by the Township Attorney and given to the Township to record.

The motion carried unanimously.

4. 17-11 ... A request by Janet Evans, 4276 Highcrest, for a front-yard variance to construct an addition.

Ms. Janet Evans, the applicant, and Mark Carlson, the builder, were present. They would like to build a 29x34 garage addition to their existing home. There is a shed there currently and they want to incorporate this as part of the addition. It would be a breezeway from the home to the garage and there would be additional living space above. There is an existing grinder pump and a well on the north side of the property.

She stated they will still have space to park four cars. Mr. Carlson stated there would be approximately 28 feet from the face of the proposed addition to the curb edge. The Board expressed their concerns with site distance for vehicles backing out of the driveway because of the curve of the road to the north of their property. It is a safety issue. Board Member Ledford would like to have the garage moved further from the front property line.

Board Member Figurski stated that when she visited the site and parked in the driveway where it would be if the addition was to be built, her car was right at the curb. She would not vote in support of this variance.

The applicant asked to have their item tabled this evening to review the Board's comments this evening and possibly return with a revised plan, if a variance would still be needed.

Board Member McCreary stressed to the applicant that safety is very important so if a revised plan is presented, proof needs to be given that there is adequate site distance.

The call to the public was made at 7:31 pm.

John Booker of 4268 Highcrest does not have any issues with the proposed plan.

Chairman Dhaenens stated an e-mail was received from Vince and Amy Parlove of 4284 Highcrest in support of the variance request.

The call to the public was closed at 7:32 pm.

Moved by Ledford, seconded by Tengel, to postpone Case #17-11 at the applicants request until the June 20, 2017 ZBA meeting. **The motion carried unanimously.**

Administrative Business:

1. Approval of minutes for the April 18, 2017 Zoning Board of Appeals Meeting

Moved by Figurski, seconded by McCreary, to approve the April 18, 2017 Zoning Board of Appeals Meeting minutes as presented. **The motion carried unanimously.**

2. Correspondence – Ms. Ruthig stated that a neighbor submitted a video and pictures of Mr. Okopski of 100 Chilson Road burning the bedding and manure of his chickens, which is in direct violation of the GAAMPS. She presented a letter that she sent to Mr. Okopski advising him of this violation. She asked Mr. Okopski to contact her by May 5th and she has not received a response. Board Member McCreary suggested sending a certified letter to Mr. Okopski advising him that his non-compliance with GAAMPS violates his variance and it is hereby revoked so he needs to remove the farm animals within a certain amount of time. Ms. Ruthig will confirm with the Township Attorney that this can be done without any other steps needed.
3. Township Board Representative Report - Board Member Ledford gave a review of the Township Board meetings held on May 1st and May 15, 2017.
4. Planning Commission Representative Report – Board Member Figurski gave a review of the May 8, 2017 Planning Commission meeting.
5. Zoning Official Report - Ms. Ruthig had nothing to report.
6. Member Discussion - There were no member discussion items.

Amy Ruthig

From: Janet Evans <jevans@peainc.com>
Sent: Thursday, June 08, 2017 4:11 PM
To: Amy Ruthig
Cc: carlsonmark45@gmail.com
Subject: 4276 HIGHCREST VARIANCE GARAGE ADDITION
Attachments: IMG_20170601_071050480.jpg; IMG_20170601_071117451.jpg; IMG_20170531_195546926.jpg; IMG_20170531_195619670_HDR.JPG; IMG_20170531_195218293_HDR.JPG; IMG_20170531_195817540.jpg; Carlson turning radius ORIGINAL.PDF

Please see the attached photos concerning the drive distance from curb to proposed garage face for 4276 Highcrest Drive.

The first 2 pictures show our house with an extended truck and car parked where the original plan was staked. This original plan shows the vehicle's fit in the drive easily with a range of 24-30' from curb to new garage. A regular car parking space is 9' x 19' long.

Also the grade would change; our drive would raise approx. 2' to make it less of a slope to the street. The existing planting bed adjacent to the street will change to accommodate a better curve.

After reviewing, we thought maybe the 2 women who mentioned they could not maneuver our drive, may have not used the correct stakes.

The remaining attached photos show various houses down our street also that have just been constructed.

The 3rd photo 4129 Highcrest shows 16' curb to garage, 4th photo, 4105, shows 16' also.

The 5th photo, 4212 Highcrest shows 24-26'; our proposed addition would be similar to this one.

Some houses can only parallel park.

We obviously would like to remain with the original variance drawing submitted, verses pushing it back 5 more feet. Moving it back only 2 more feet would be more reasonable.

We would like to understand why we were singled out to not have enough room from curb to bldg. to pull in and out of our drive when it ranges from 24' to 30'?

We would be happy to discuss further before the meeting on June 20.

Please call with any questions or info we can provide you.

Thank you for your review and considerations.

Janet Evans
810 623 2768
Mark Carlson
734 812 8300

Janet Evans, PLA
Senior Landscape Architect

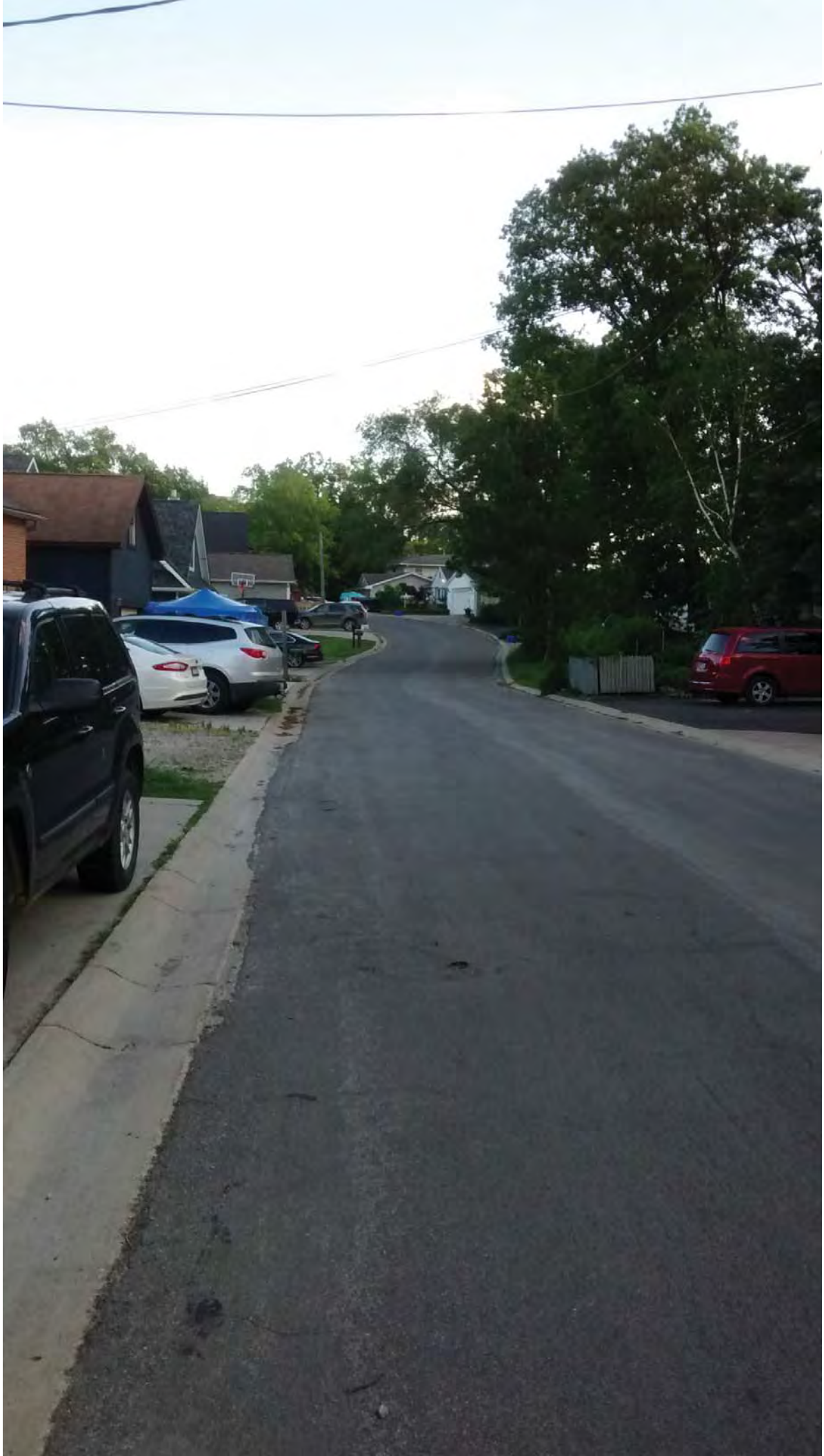
PEA



4212













2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: May 10, 2017

RE: ZBA 17-11

STAFF REPORT

File Number: ZBA#17-11
Site Address: 4276 Highcrest Drive
Parcel Number: 4711-22-302-185
Parcel Size: .285
Applicant: Janet Evans (Griscom), 4276 Highcrest Brighton
Property Owner: Same as Applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard variance to construct an addition to an existing home.

Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday April 30, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1920 and remodeled in 2011.
- See Assessing Record Card.
- Please note that the plans are labeled as the Carlson Residence however the address is correct.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

Summary

The proposed project is to construct a garage and guest suite to an existing single family home. In order to construct the addition as proposed, the applicant is required to obtain a front yard variance. The location of the front (road side) property line on the drawing varies considerably from the parcel aerial overlay on the GIS map provided. Although not 100% accurate staff has found these GIS files to be mostly reliable and in this situation a survey verifying the property line and roadway locations may be appropriate. Since the publication date, it has been determined that a lot coverage variance is not required.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (LRR District):	Required Front Yard Setback:	35
	Proposed Front Yard Setback:	12.1
	Proposed Variance Amount:	22.9

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

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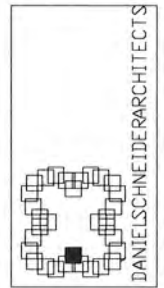
Recommended Conditions

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3. Applicant should obtain survey documenting location of front lot line and edge of roadway.
4. Sufficient on-site parking shall be maintained at all times.

GENOA TOWNSHIP





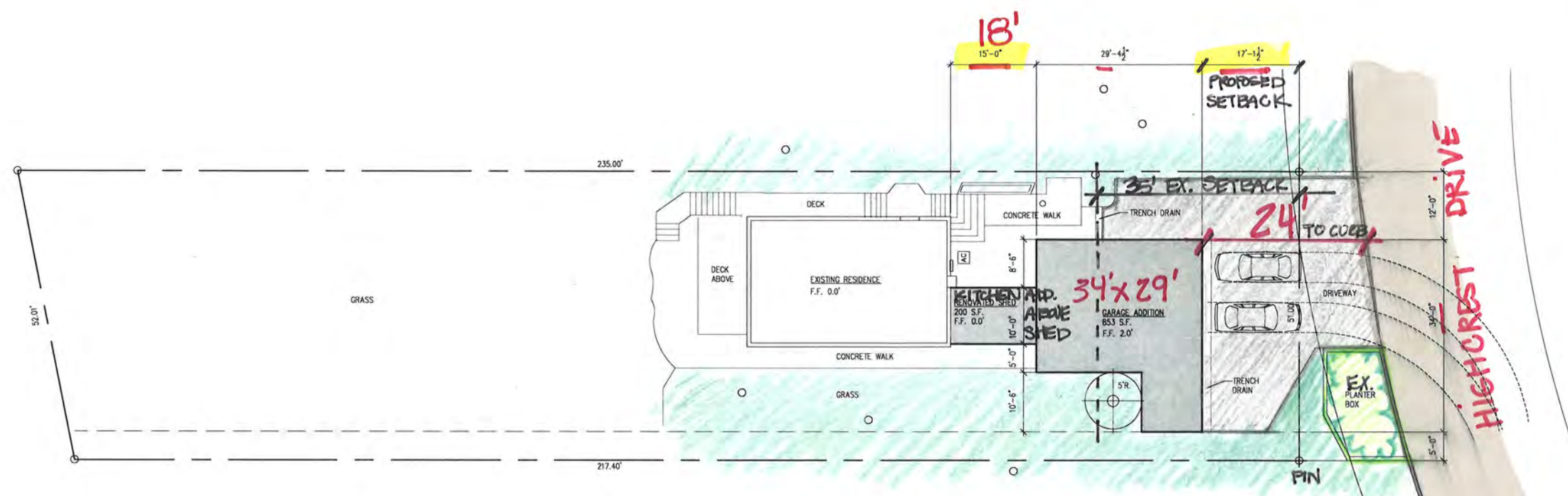
Seal and Signature

Carlson Residence
 Garage Addition and Renovation Project
 4276 HIGHCREST DRIVE, BRIGHTON, MI 48116

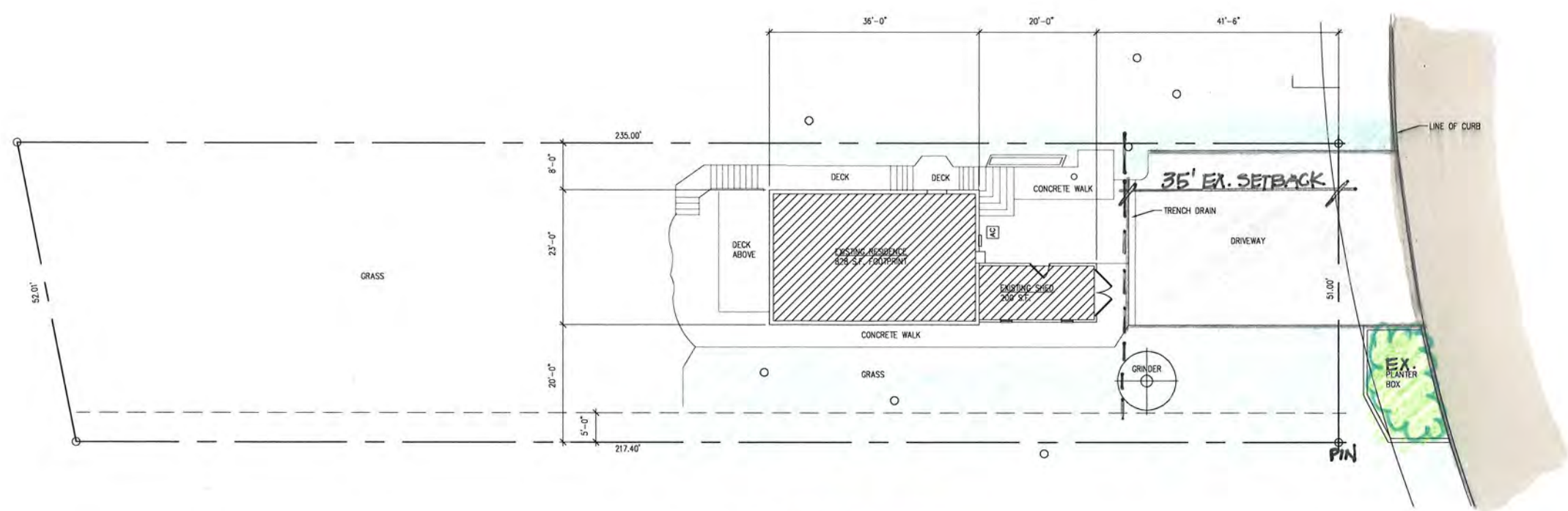
Issued for:	Date:
VARIANCE SUBMITTAL	04.21.17
VARIANCE RE-SUBMITTAL	05.26.17
REVISIONS	06.18.17
REV.	7-12-17

Scale: AS NOTED
 Project No. 10102
 Drawing Title:
 SITE PLANS

A100a

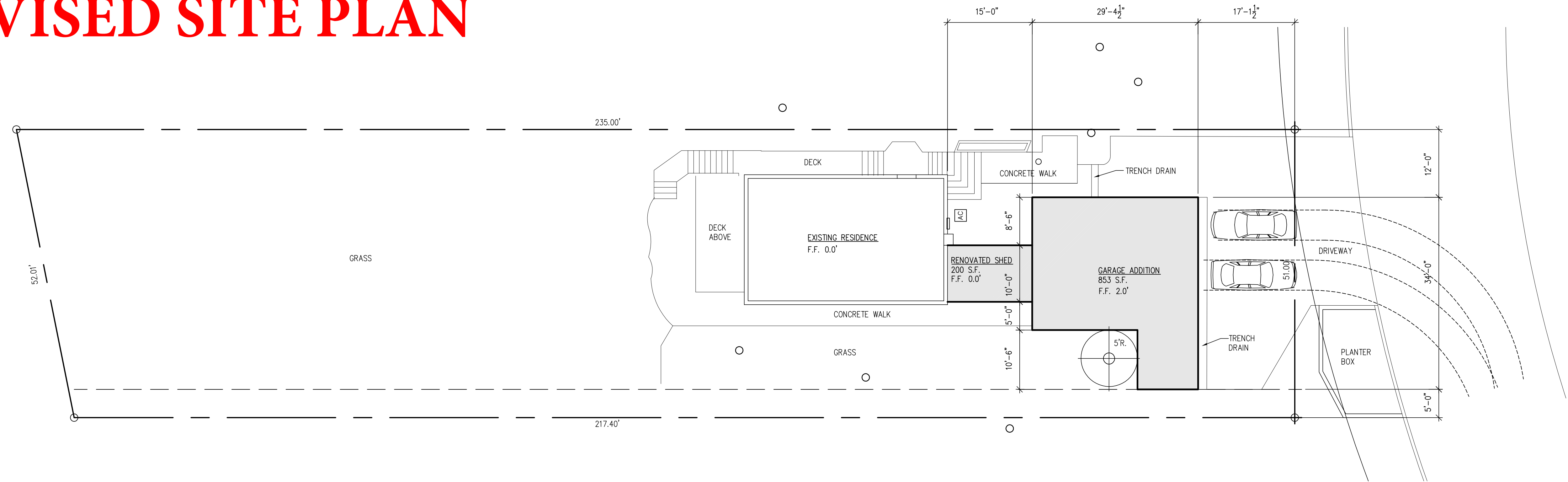


ARCHITECTURAL **2ND SUBMITTAL - STAYED**
 SITE PLAN - **PROPOSED**
 SCALE: 3/32" = 1'-0"

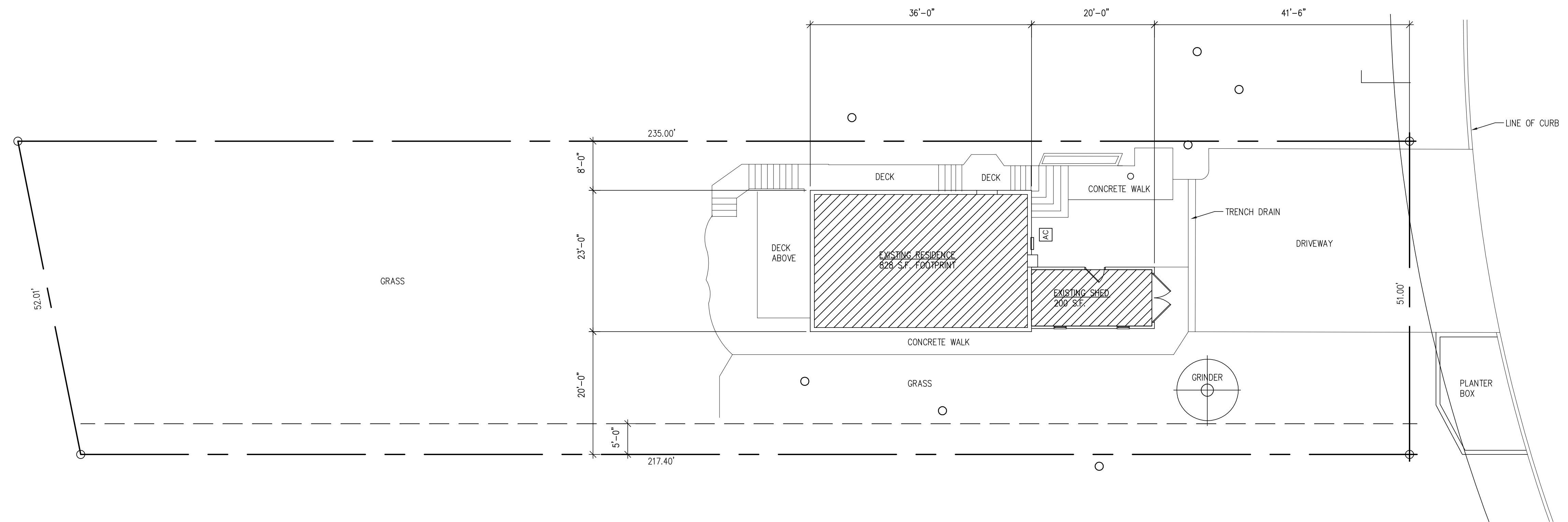


ARCHITECTURAL
 SITE PLAN - **EXISTING**
 SCALE: 3/32" = 1'-0"

REVISED SITE PLAN



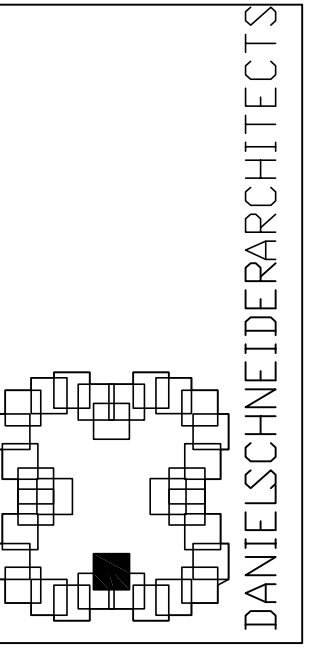
ARCHITECTURAL
SITE PLAN— PROPOSED
SCALE: 3/32" = 1'-0"



ARCHITECTURAL
SITE PLAN— EXISTING
SCALE: 3/32" = 1'-0"

P.O. Box 153
Northville, Michigan 48167
tel 248.345.3718

architectdan@hotmail.com
www.dschniederarchitects.com



Seal and Signature

Carlson Residence
Garage Addition and Renovation Project
4276 HIGHEST DRIVE, BRIGHTON, MI 48116

Issued for:	Date:
VARIANCE SUBMITTAL	04.21.17
VARIANCE RE-SUBMITTAL	05.26.17
REVISIONS	06.18.17

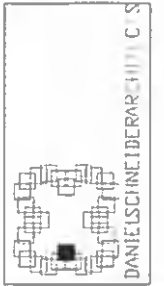
Scale: AS NOTED

Project No.10102

Drawing Title:
SITE PLANS

A100a

P.O. Box 153
 Northville, Michigan 48167
 Tel 248.345.3718
 architectdan@hotmail.com
 www.dschne-berarchitects.com



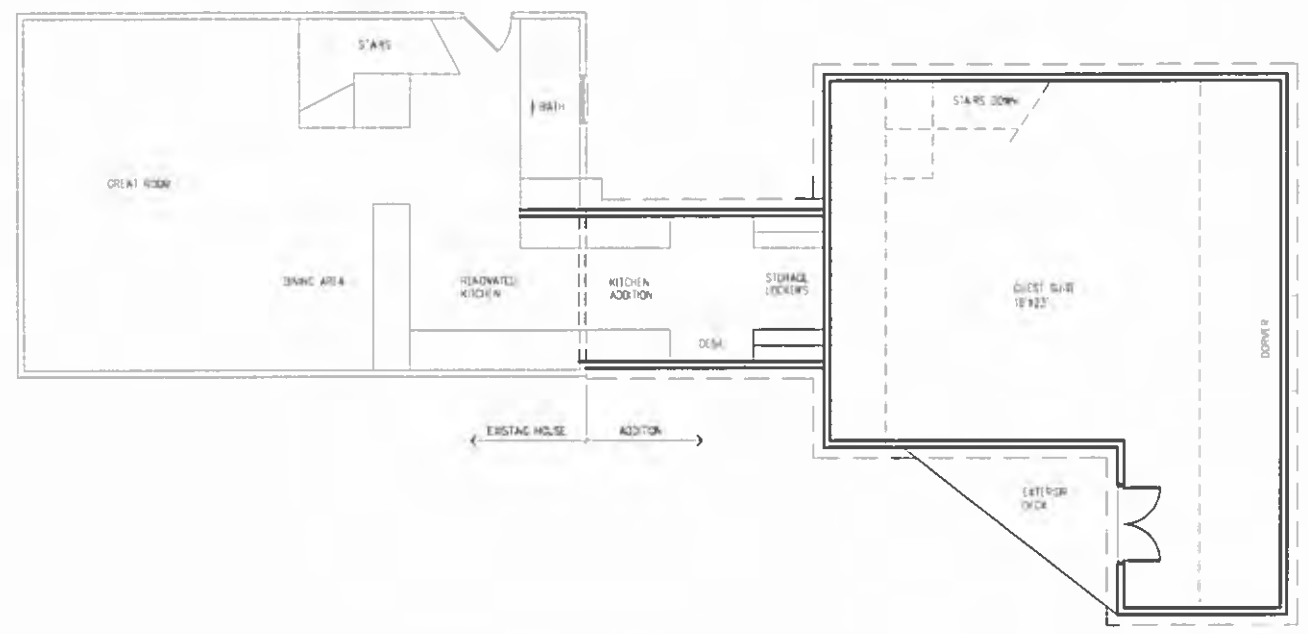
See and Signatures

Carlson Residence
 Garage Addition and Renovation Project
 4276 HIGHEST DRIVE, BRIGHTON, MI 48116

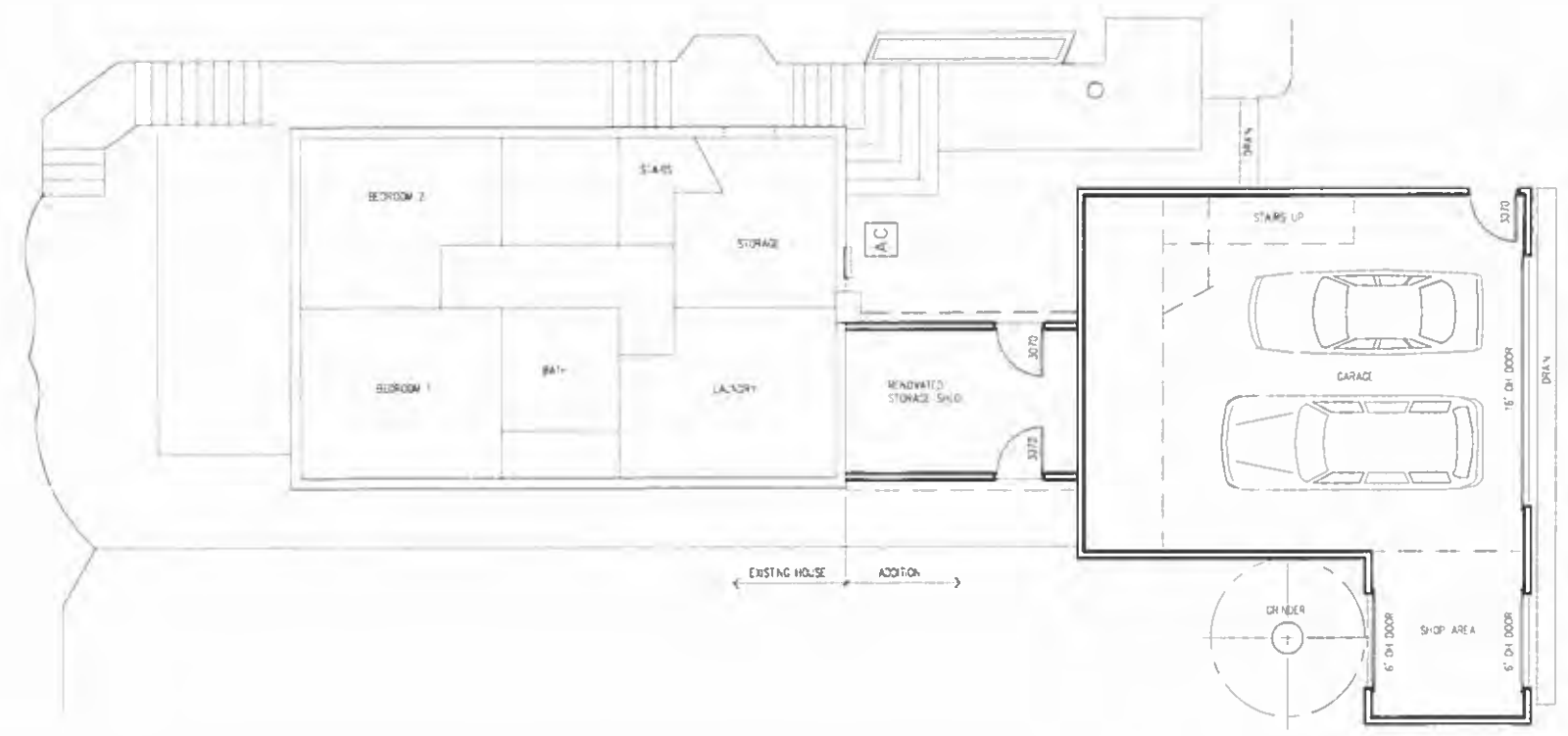
Issued for	Date
VARIANCE SUBMITTAL	08/21/17
VARIANCE RE-SUBMITTAL	05/26/17

Scale: 1/4" = 1'-0"
 Project No: 10-02
 Drawing Title
FLOOR PLANS

A200

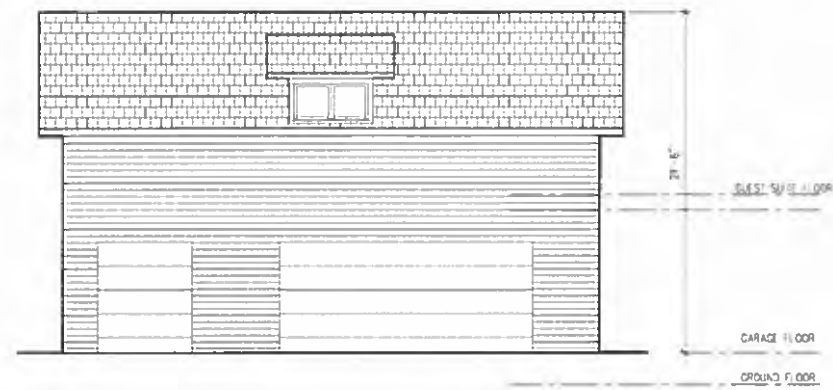
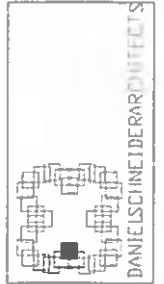


SECOND LEVEL FLOOR PLAN
 SCALE: 3/16" = 1'-0"

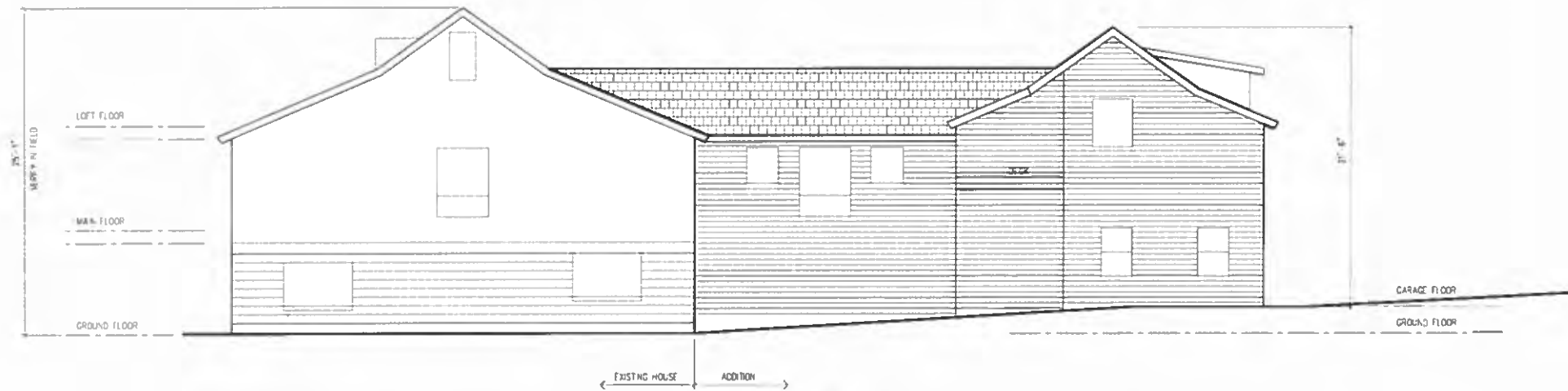


MAIN LEVEL FLOOR PLAN
 SCALE: 3/16" = 1'-0"

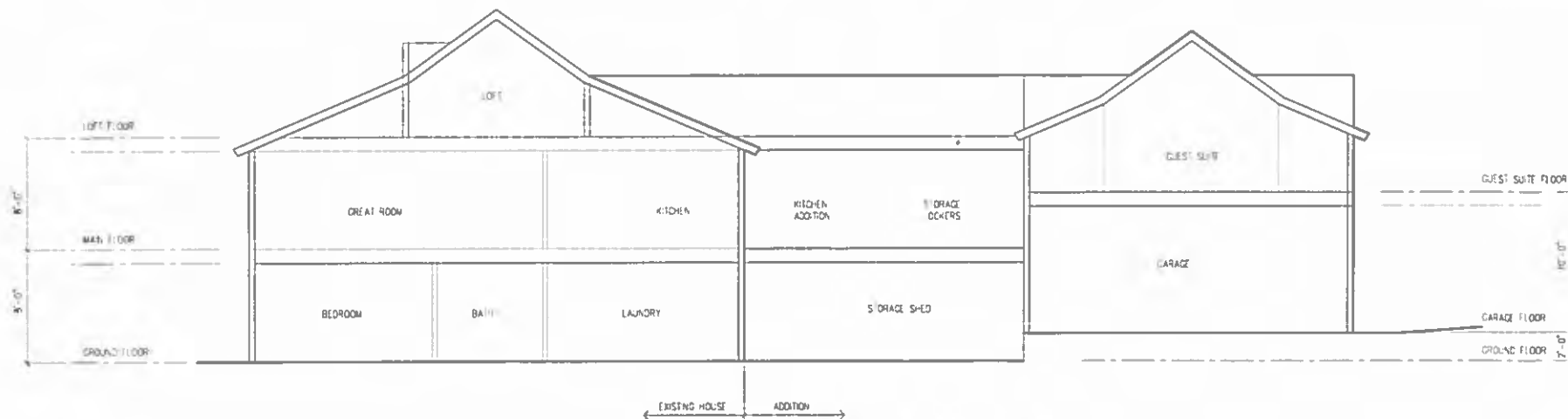
P.O. Box 153
 Northville, Michigan 48167
 tel 248.345.3718
 architectdon@hotmail.com
 www.dschneiderarchitects.com



SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



WEST ELEVATION
 SCALE: 3/16" = 1'-0"



SCHEMATIC BUILDING SECTION
 SCALE: 3/16" = 1'-0"

Seal and Signature

Carlson Residence
 Garage Addition and Renovation Project
 4276 HIGHEST DRIVE, BRIGHTON, MI 48116

Issued for:	Date:
VARIANCE SUBMITTAL	04.21.17
VARIANCE RE-SUBMITTAL	05.26.17

Scale: 1/4" = 1'-0"
 Project No: 10'02

Drawing Title:
EXTERIOR ELEVATIONS

A300

From the Desk of
Blair M. Bowman

May 2, 2017

Genoa Township Zoning Board of Appeals
Attention: Amy Ruthig
2911 Dorr Road
Brighton, MI 48116

RE: Genoa Township Zoning Board of Appeals Meeting – 05/16/17
4276 Highcrest Front Yard Variance Request

To Whom It May Concern:

I am in full support of the variance and addition and appreciate in advance your positive consideration of this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Blair M. Bowman', with a long horizontal line extending to the right.

Blair M. Bowman
4252 Highcrest
Brighton, MI 48116

Amy Ruthig

From: Amy Ruthig
Sent: Saturday, May 13, 2017 12:42 PM
To: Vince Parlove
Subject: Re: Variance Request

Thank you. I will give this to the members of the board.

Have a great weekend.

Sent from my iPhone

> On May 13, 2017, at 10:20 AM, Vince Parlove <vparlove@mimutual.com> wrote:

>

> Dear Amy,

>

> I'm writing you regarding the variance request for 4276 Highcrest. My wife Amy and I fully support approving this variance for Janet Evans and the building of her garage. If you have any any additional questions feel free to email me or call my cell at 248-943-3709.

>

> Thanks Again,

>


> Vince Parlove

> 4284 Highcrest

>

> Vince

>

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.											
JAMES, MICHAEL	GRISCOM JANET E.	345,000	08/14/2014	WD	ARMS-LENGTH	2014R-025426	BUYER	100.0											
LINDSEY LEIGH & KRISTINE	JAMES MICHAEL	305,000	08/01/2012	WD	ARMS-LENGTH	2012R-028771	BUYER	100.0											
COOK, KRISTINE L. & LINDSEY	LINDSEY LEIGH & KRISTINE	0	10/21/2010	QC	INVALID SALE	2010R-031051	BUYER	0.0											
FITTERY	COOK	320,000	11/13/2002	WD	ARMS-LENGTH	3635-0687	BUYER	100.0											
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR		Building Permit(s)		Date	Number	Status									
4276 HIGHCREST		School: BRIGHTON		P.R.E. 100% 08/14/2014		MAP #: V17-11		2018 Est TCV Tentative											
Owner's Name/Address		GRISCOM JANET E. 4276 HIGHCREST BRIGHTON MI 48116		X Improved		Vacant		Land Value Estimates for Land Table 00083.TRI LAKES LAKE FRONT											
Tax Description		SEC. 22 T2N, R5E, CROOKED LAKE HIGHLANDS SUB. LOT 105		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value											
Comments/Influences		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.		A LAKE FRONT 50.00 230.00 1.0000 1.0000 3000 100 150,000 B EXC W CR LK 4.00 230.00 1.0000 1.0000 1100 100 4,400 54 Actual Front Feet, 0.28 Total Acres Total Est. Land Value = 154,400		Land Improvement Cost Estimates		Description Rate CountyMult. Size %Good Cash Value D/W/P: 3.5 Concrete 2.98 1.00 284 48 406 Shed: Wood Frame/Conc. 10.68 1.00 200 91 1,944 Total Estimated Land Improvements True Cash Value = 2,350											
Topography of Site		Level Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain		X REFUSE		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		LM 08/20/2014 INSPECTED LM 05/15/2013 REVIEWED R		Who		When		What		2018		2017		2016		2015		Tentative	
																			

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided 1 Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 200 372	Type CSEP (1 Story) Treated Wood			Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:									
X	Wood Frame		(4) Interior Drywall Paneled Plaster Wood T&G		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling																				
Building Style: D		Trim & Decoration Ex X Ord Min		Central Air Wood Furnace			(12) Electric 0 Amps Service			Class: D Effec. Age: 29 Floor Area: 1056 Total Base Cost: 77,262 Total Base New : 117,439 Total Depr Cost: 83,382 Estimated T.C.V: 138,413			CntyMult X 1.520 E.C.F. X 1.660			Bsmnt Garage: Carport Area: Roof:									
Yr Built 1920	Remodeled 2011	Size of Closets Lg X Ord Small		No./Qual. of Fixtures Ex. X Ord. Min			Stories Exterior 1.5 Story Siding			Foundation Basement			Rate 67.35			Bsmnt-Adj 0.00			Heat-Adj 3.87			Size 704		Cost 50,139	
Condition: Good		Doors: Solid X H.C.		(6) Ceilings			No. of Elec. Outlets Many X Ave. Few			(9) Basement Finish Basement Living Finish Walk out Basement Door(s)			14.75 625.00			678 1			10,001 625						
Room List Basement 1st Floor 2nd Floor 3 Bedrooms		Kitchen: Other: Other:		(7) Excavation Basement: 704 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0			(13) Plumbing Average Fixture(s) 1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(14) Water/Sewer Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic Lump Sum Items:			(16) Porches CSEP (1 Story), Standard 24.15			200			4,830						
(1) Exterior				(8) Basement Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			(15) Built-Ins & Fireplaces Fireplace: Exterior 1 Story 3050.00			(16) Deck/Balcony Treated Wood, Standard 5.93			372			2,206									
X	Wood/Shingle Aluminum/Vinyl Brick Insulation			(9) Basement Finish 678 Recreation SF Living SF 1 Walkout Doors No Floor SF			(16) Deck/Balcony Treated Wood, Standard 5.93			Phy/Ab.Phy/Func/Econ/Comb.%Good= 71/100/100/100/71.0, ECF (4306 TRI LAKES LAKE FRONT) 1.660 => TCV of Bldg: 1 =			Depr.Cost = 83,382			138,413									
(2) Windows Many Avg. Few X Avg. Large X Avg. Small																									
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens																									
(3) Roof Gable Hip Flat X Asphalt Shingle Chimney: Brick																									

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 17-12 Meeting Date: June 20, 2017

PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: Brice Nelson

Property Address: Lot 24 and S 1/2 of 25 - Baetcke Lake Phone: 734-904-9614

Present Zoning: LDR Tax Code: 11-26-301-024

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. **Variance requested:** 10 foot sideyard setback on North Side and 8 foot sideyard setback on South Side

2. **Intended property modifications:** Build New 4 bedroom house - approx. 56' by 56'

a. Unusual topography/shape of land (explain): Lot is non-conforming. Less than 1 acre.

Lot is also very narrow - approx 75 feet at street and 84 feet at lake front which leaves only a very narrow building envelope (15 ft)

b. Other (explain): _____

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

Property must be staked showing all proposed improvements seven (7) days before the meeting and remain in place until after the meeting.

Date: 5/24/17 Signature: [Handwritten Signature]

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 10, 2017
RE: ZBA 17-12

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#17-12
Site Address: Lot 24 and ½ of 25 Forest Beach Drive (Vacant) Brighton, 48116
Parcel Number: 4711-26-301-024
Parcel Size: .777 Acre
Applicant: Brice and Carrie Nelson, 1183 Gentry Drive South Lyon, MI 48178
Property Owner: Same as applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting two side yard variances to construct a new home.

Zoning and Existing Use: LDR (Low Density Residential), the property is vacant.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 4, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- See Record Card.
- The property is vacant.
- The applicant was tabled at the June ZBA meeting. (See Attached Minutes)

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

The applicant is proposing to construct a new single family home on a vacant lot. In order to construct the proposed home, the applicant would need to obtain two side yard variances. The applicant was tabled at the June ZBA meeting. Notice was mailed to residents on June 30, 2017. The applicant has submitted new information and has requested that the proposed side yard setbacks be 10 feet on each side. After reviewing the new information, staff has included comments on page 5 of the new information and feel that the findings of fact remain the same.

Variance Requests

The following is the section of the Zoning Ordinance that the variances are being requested from:

Table 3.04.01 (LDR District):

Side Yard Setback:	30	Side Yard Setback:	30
Proposed Side Yard Setback:	10	Proposed Side Yard Setback:	10
Proposed Variance Amount:	20	Proposed Variance Amount:	20

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the side yard setbacks for the LDR zoning would make the lot unbuildable. The width of the proposed house is not typical for the narrow lake lot and would not be compatible with the adjacent homes. The shape of the home may not be conducive to the narrowness of the lot. The home design could be altered without losing square footage to occupy less width and more depth thus reducing the amount of relief needed from the setback requirements.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is that it is a legal non-conforming lot for the LDR zoning. The non-conformity is the size and width of the lot. The need for the variance is due to the narrowness of the lot. The proposed home could be altered to reduce the amount of relief from the setback requirements. The variance would not make the lot consistent with other properties in the vicinity. The need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. The proposed structure would be of sufficient distance from adjacent structures to not create any fire or other safety hazards.

(d) Impact on Surrounding Neighborhood – The proposed variances would have a limited impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval.

1. The home will guttered with downspouts with water draining toward the lake.

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
June 20, 2017 6:30 PM**

MINUTES

Call to Order: Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were present as follows: Jeff Dhaenens, Jean Ledford, Barb Figurski, and Amy Ruthig, Zoning Official. Absent were Marianne McCreary and Dean Tengel.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of the Agenda:

Moved by Figurski, seconded by Ledford, to approve the agenda as presented. **The motion carried unanimously.**

Chairman Dhaenens stated that there are only three members here this evening so a unanimous vote is needed for a variance request to be approved. Each applicant has the choice to have their item tabled until the next regularly-scheduled ZBA meeting.

Call to the Public: The call to the public was made at 6:32 pm with no response.

1. 17-11 ... A request by Janet Evans, 4276 Highcrest, for a front yard variance to construct an addition.

Moved by Figurski, seconded by Ledford, to table Case #17-11 per the applicant's request. Ms. Ruthig stated that the Township Manager asked to have a special meeting scheduled for this case because the need to have it tabled was caused by the number of Board Members being present. **The motion carried unanimously.**

2. 17-12 ... A request by Brice Nelson, vacant lot Forest Beach Drive, Parcel #11-26-301-024, for two side-yard variances to construct a single-family home.

Mr. Brice Nelson was present. He stated that his son has a rare genetic disability so they would like to move to Livingston County to meet his educational needs. Their home also needs to have special accommodations. His property is non-conforming to the low density residential zoning district as it is less than one acre. It is very long and narrow. In order to comply with all of the setback requirements it would be impossible to build a home on this lot without a variance. There is also a high water mark so they will not be able to have a basement and would like to be able to use the second floor for storage.

Board Member Figurski asked why the home cannot be smaller and noted that there is a two-car attached garage proposed.

Board Member Ledford stated that the applicant should first buy a lot that would accommodate the home that he wants to build. Mr. Nelson stated that no home would be able to be built on this lot with the required setbacks. Ms. Ruthig stated his setbacks are 30 feet on each side and the width of his lot is 75 feet.

Mr. Nelson noted that there is 25 feet between his home and one of his neighbors and 75 feet between his and the home on the other side.

Board Member Figurski does not feel comfortable approving such a large variance. She does not feel that the homes in the area are compatible to the home that the applicant wants to build.

The call to the public was made at 6:50 pm.

Mr. Milne of 6501 Forest Beach suggested that the applicant combine this lot and the lot adjacent to it, that he already owns, demolish the existing home, and build the home that he wants.

Reid Nelson of 4900 Foster Lane, Belgrade, MT is in support of Mr. Nelson. He is a builder and understands Mr. Nelson's problem. Combining the two lots and demolishing the existing home is very costly. It would allow for larger setbacks, but there would not be much more than that gained.

Mike Morgan of 6483 Forest Beach stated that in 1998 he was granted two side-yard variances for his lot and built a home with an attached garage. His setbacks are 8 feet on one side and 15 feet on the other. His adjacent neighbor received two side-yard variances to build a home with a two-car attached garage. He is in support of Mr. Nelson receiving this variance as it has been done before in this neighborhood and in other areas of the Township.

The call to the public was closed at 7:02 pm.

Chairman Dhaenens stated that each case is unique and decisions for approving or denying variances from previous cases is not relevant and does not set a precedent. The Board looks at the impact on the neighborhood and the safety and welfare of the residents in the area for each individual case.

Mr. Nelson understands that each case is different; however, the Board approved an 11-foot variance on one side and a 13-foot variance on the other side for a property just last month. He believes his request is consistent with the neighborhood and granting the variance would provide substantial justice. He needs a therapy room, storage, and a certain kitchen design to keep his son safe because of his disability. He added that the lot is wider toward the lake so the setback would be larger toward the rear of the home.

Chairman Dhaenens advised the applicant that the homes in the area are longer and narrower than what he is proposing to build.

Moved by Ledford, seconded by Figurski, to postpone Case #17-12, at the applicant's request, until the next regularly-scheduled ZBA meeting. **The motion carried unanimously.**

GENOA TOWNSHIP



New Information submitted 7-10-17

Nelson Request for Variance

July 18, 2017



OUTLINE

1. Example Houses on Baetcke Lake
2. Focus on Eastern Shoreline Houses
3. Historic Variances
4. Distance Between Houses
5. Historic Setbacks
6. Proposed Setback

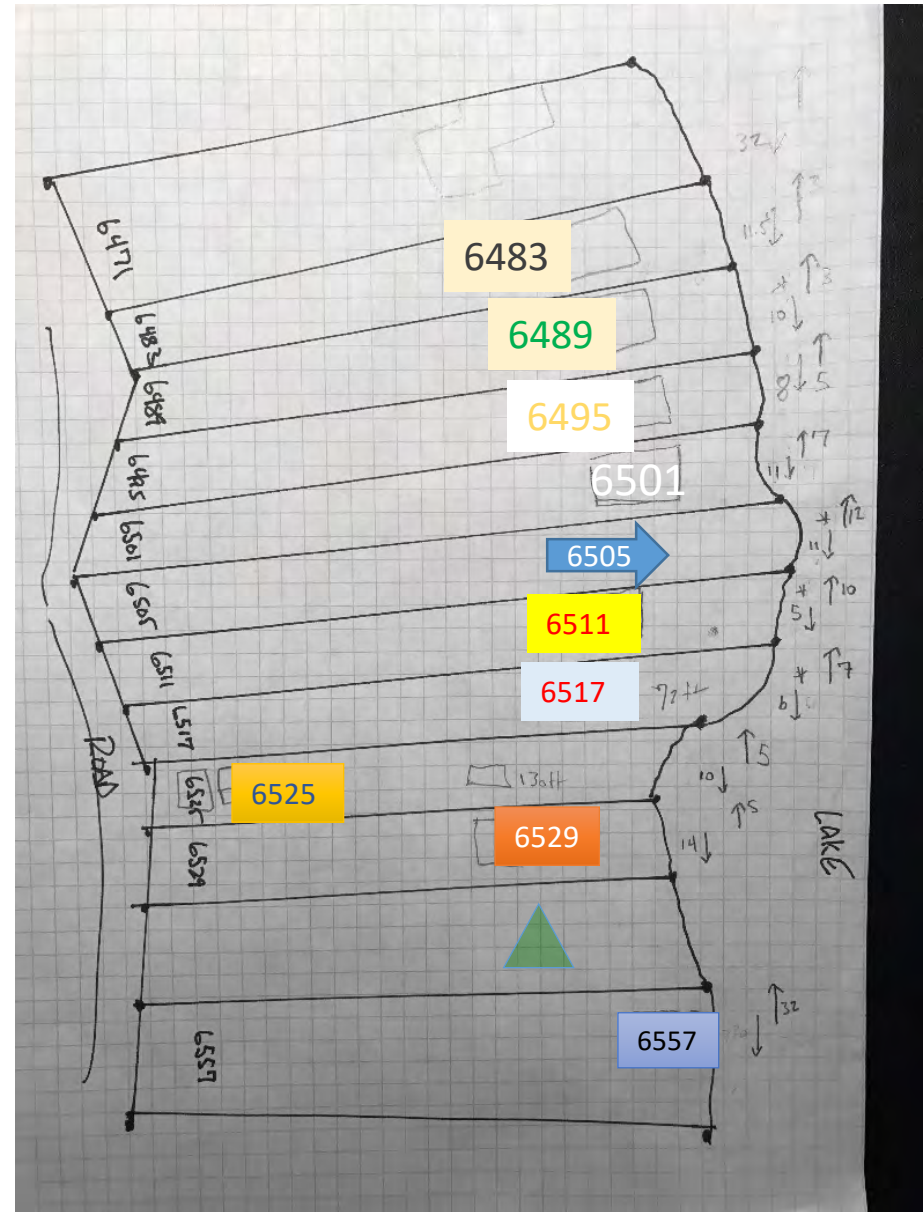
Baetcke Lake Houses



Baetcke Lake Houses



Forest Beach Lakefront Eastern Shoreline Houses



Note - this spreadsheet was provided by the applicant. Township Staff has added some additional information for your review. Staff comments/info. is shown in blue.

HISTORIC VARIANCES

Township staff comments are in BLUE. Information provided from Township Assessing Dept. and ZBA minutes. Number of variances is not accurate due to lots being of record before ordinance.

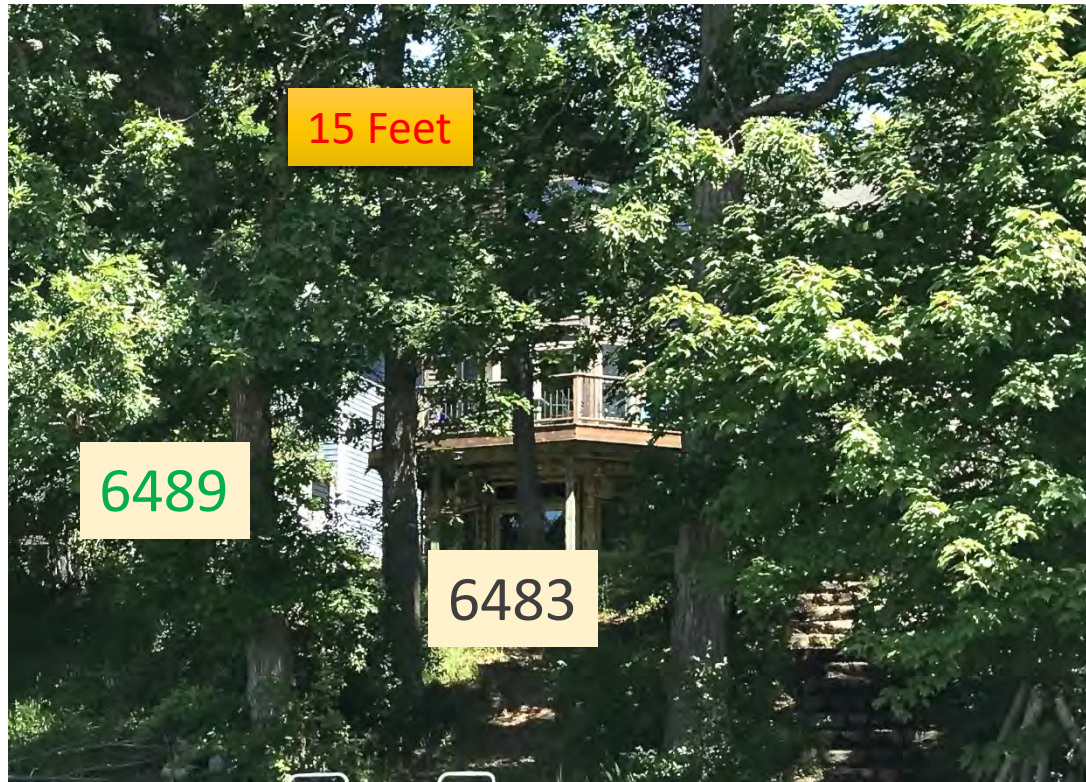
GENOA TOWNSHIP ZONING ORDINANCE Sec 3.04.01 (Dimensional Standards - Residential Districts)

	Min Lot Area	Min Lot Width	Front Setback	Smaller Side Setback	Total 2 Side setbacks	Lake Side setback	Minimum Floor Area	Number of Variances	Notes	SIDE YARD VARIANCES GRANTED	
										SMALL SIDE	TOTAL OF 2
LDR Zone Requirements	1 acre	150 ft	50	30	60	100	980 sq ft				
Address (Forest Beach)											
Add. built 2003 71' wide house 6471	1.053	115	>50 ft	17	49	>100	Y	3	2 lots		
ZBA App. 1996 32' wide house 6483	0.196	60	>50 ft	3	14.5	>100	Y	4			
ZBA App. 1999 38' wide house 6489	0.583	60	>50 ft	<u>3.00</u>	<u>13.00</u>	>100	Y	4		4'	13'
House built 1930 28' wide house 6495	0.582	57	>50 ft	5	13	>100	Y	4			
House built 1930 28' wide house 6501	0.615	57	>50 ft	7	18	<100	Y	5			
ZBA App. 2017 26' wide house 6505	0.591	50	>50 ft	<u>12</u>	<u>23</u>	>100	Y	4		11'	23.4'
ZBA App. 2002 32' wide house 6511	0.580	60	>50 ft	<u>10</u>	<u>15</u>	>100	Y	4		5'1"	15' 2"
ZBA App. 2004 32' foot house (Add) 6517	0.523	60	>50 ft	<u>7</u>	<u>13</u>	<100	Y	5		6'	13'
House built 1968 29' wide house 6525	0.479	60	<50 ft	5	15	>100	N	6			
House built 1955 32' wide house 6529	0.479	60	>50 ft	5	19	<100	N	6			
Pro. 56' Wide Proposed Property	0.777	90	>50 ft	10	20	>100	Y	? - 4	1.5 lots		
House built 1940 31' wide house 6557	1.140	120	>50 ft	32	>60	<100	N	5	2 lots		

Green = In compliance ; Red = Not in compliance; Red Underlined = not in compliance with ZBA documented approval

Distance between houses (6483 and 6489)

15 Feet



Distance between houses (6489 and 6495)

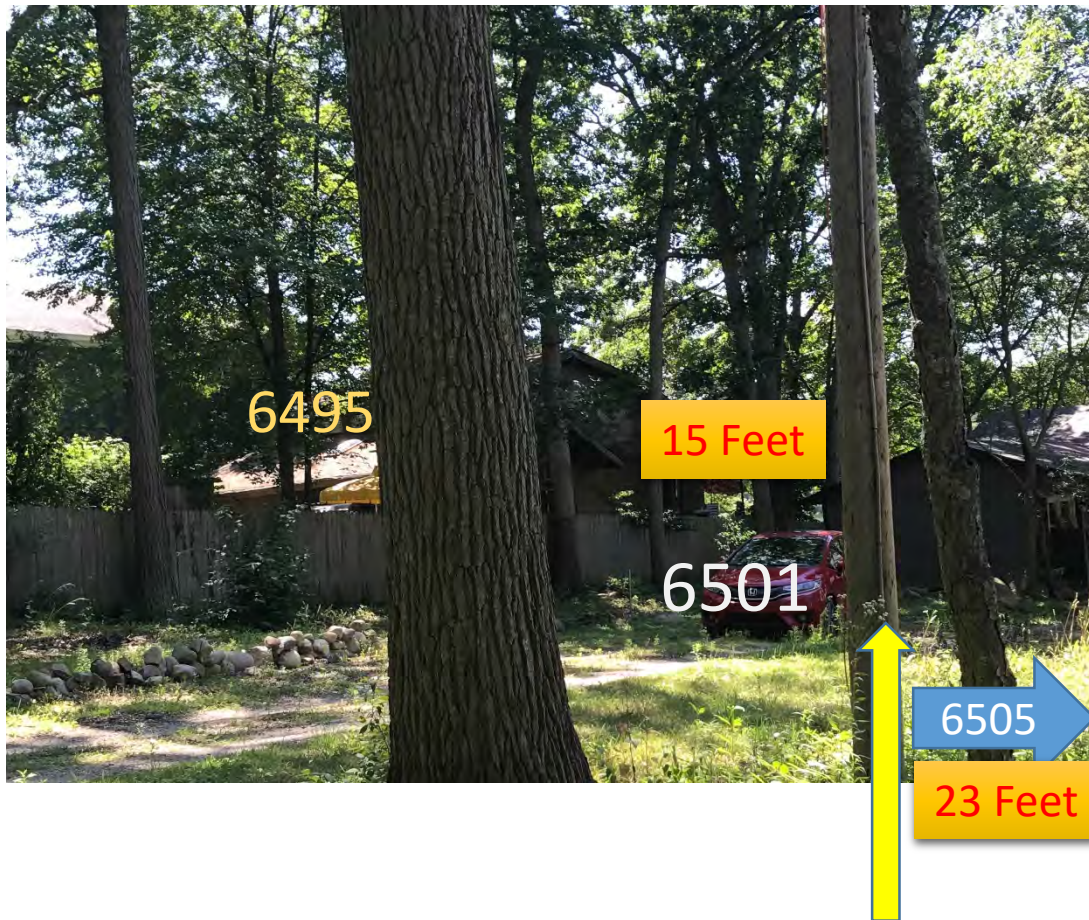
15 Feet



Distance between houses (6495, 6501 and approved house at 6505)

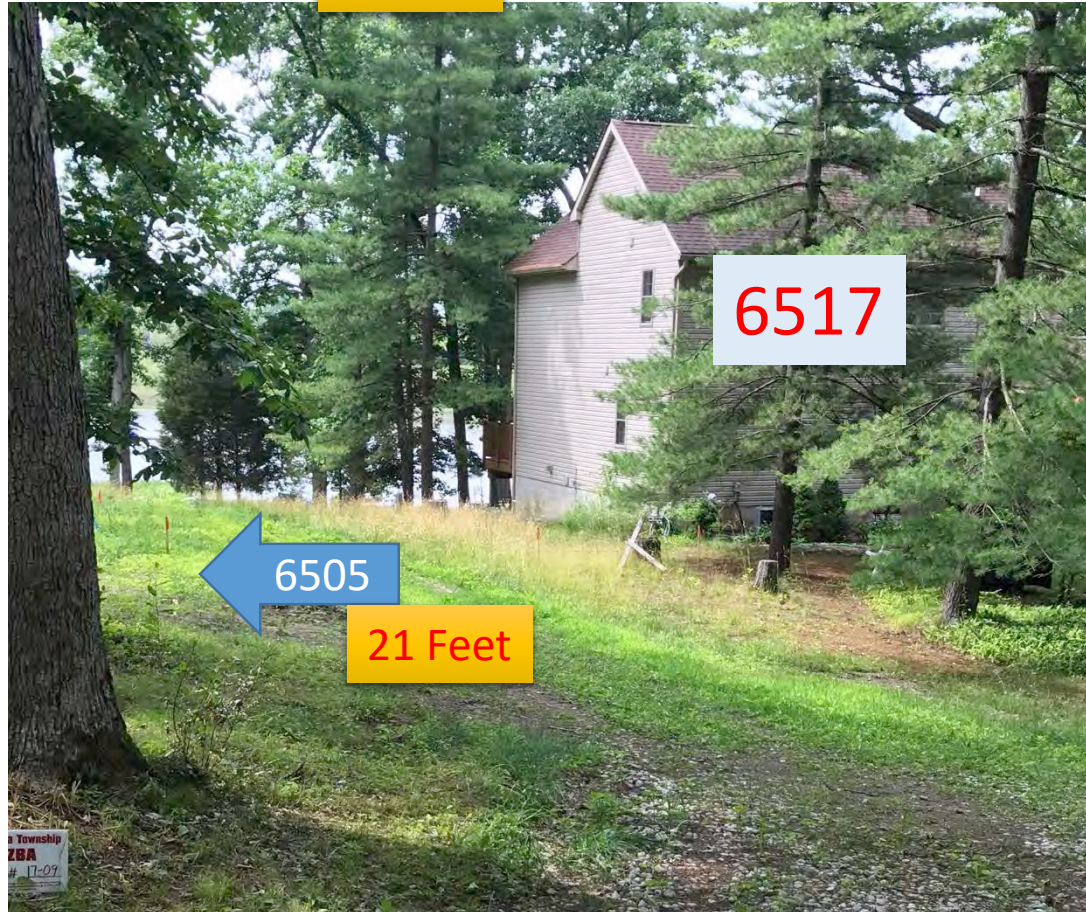
15 Feet

23 Feet



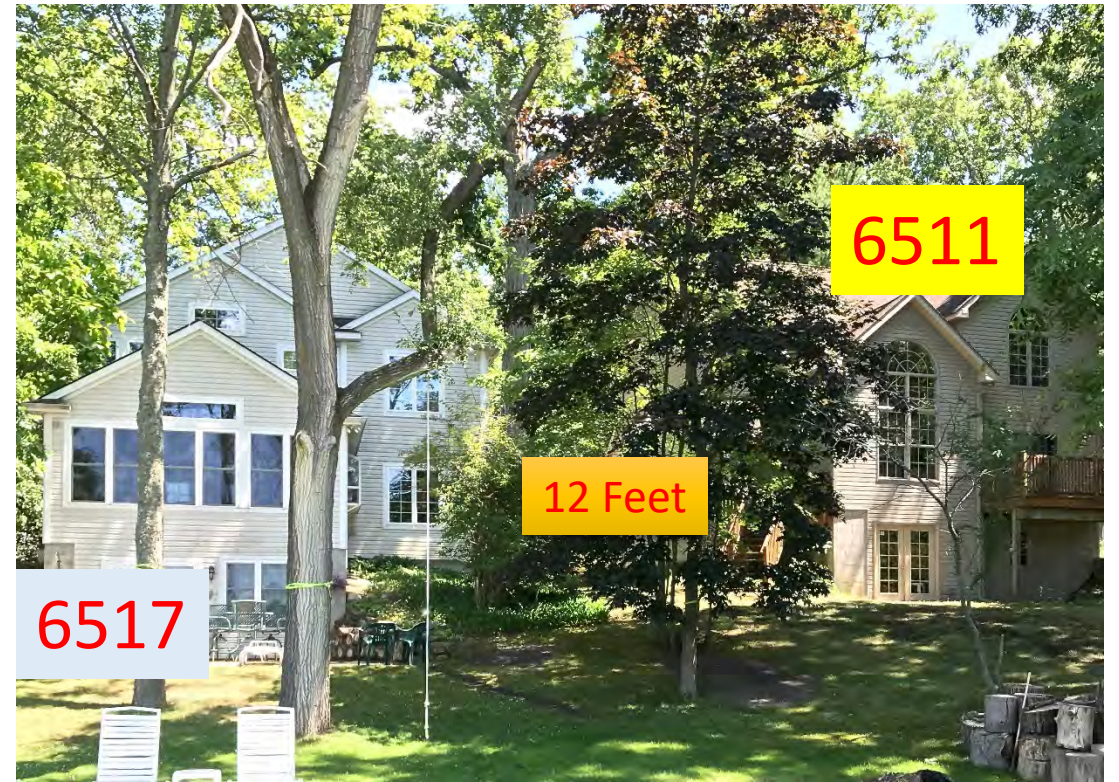
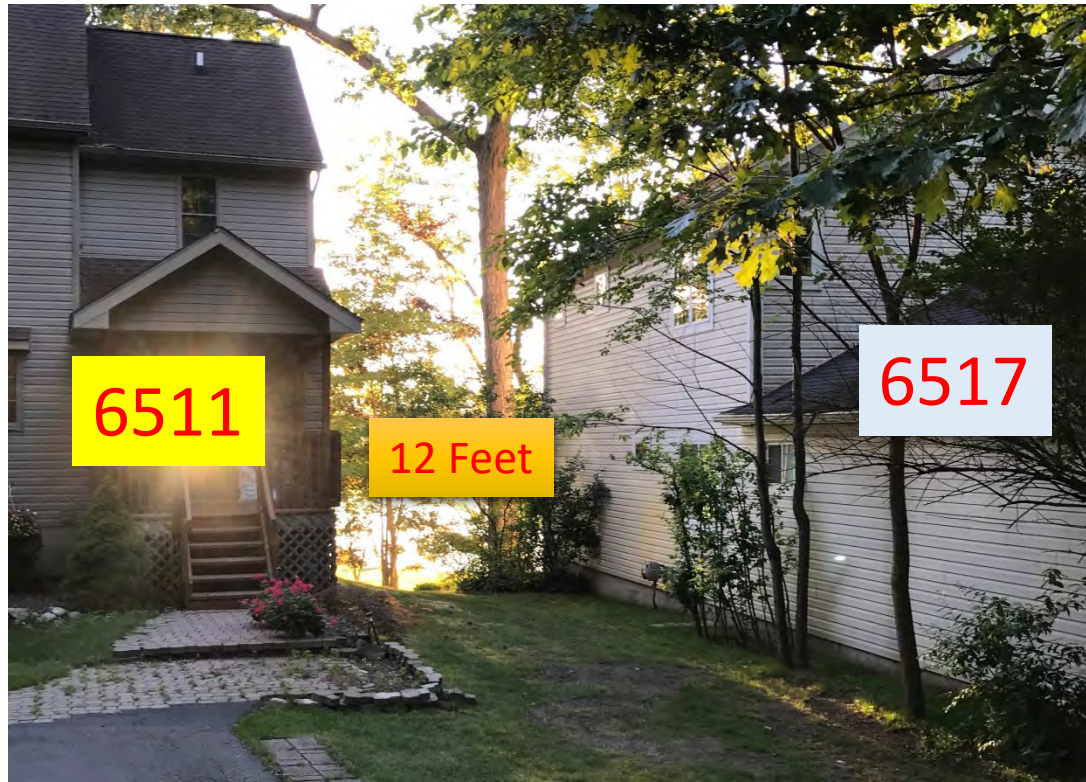
Distance between houses (6517 and approved house at 6505)

21 Feet

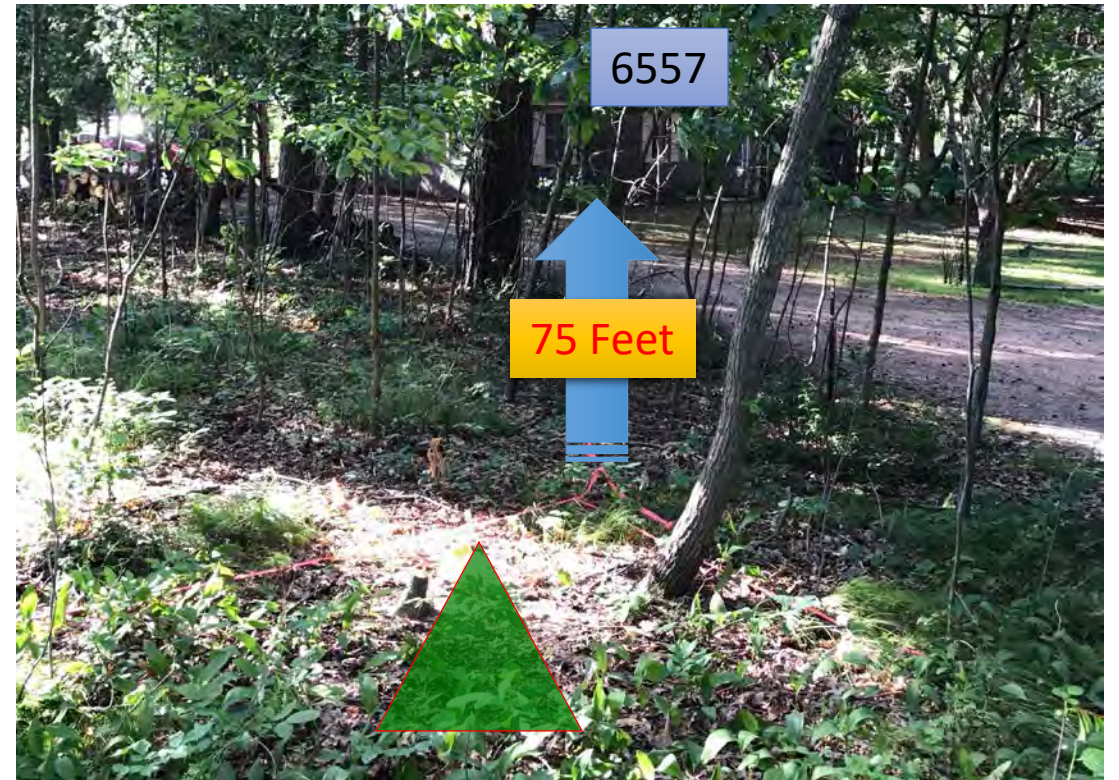
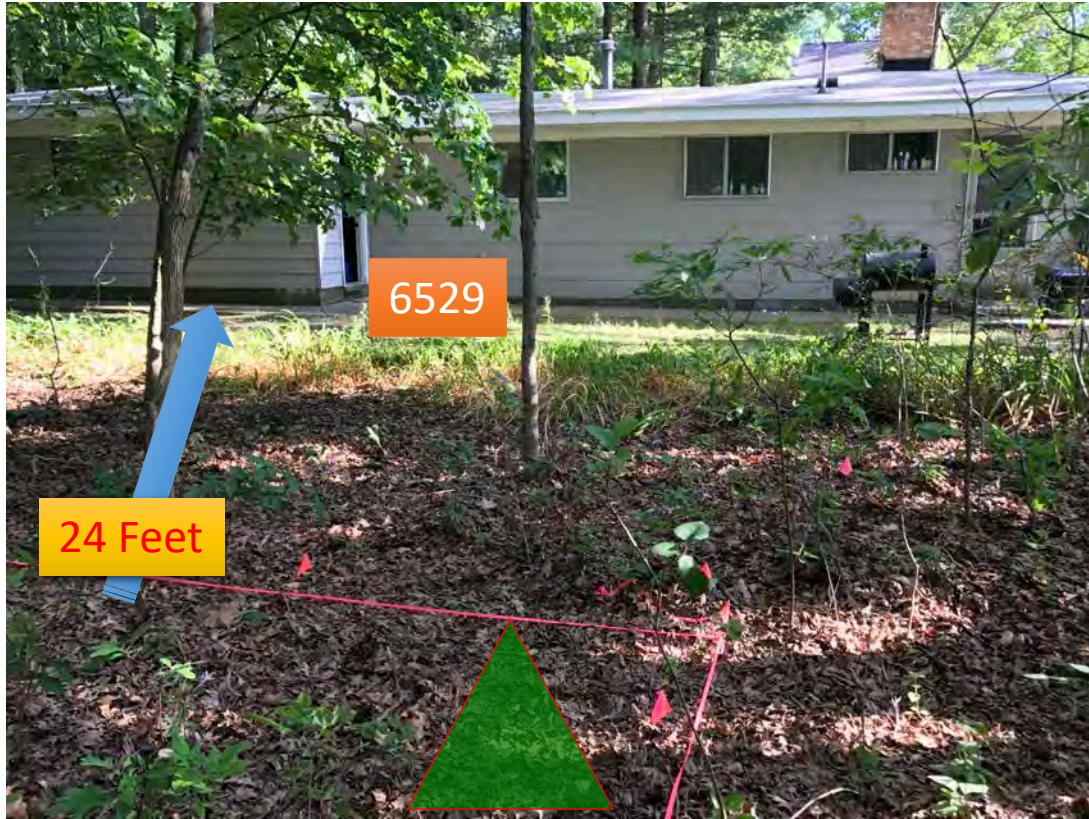


Distance between houses (6511 and 6517)

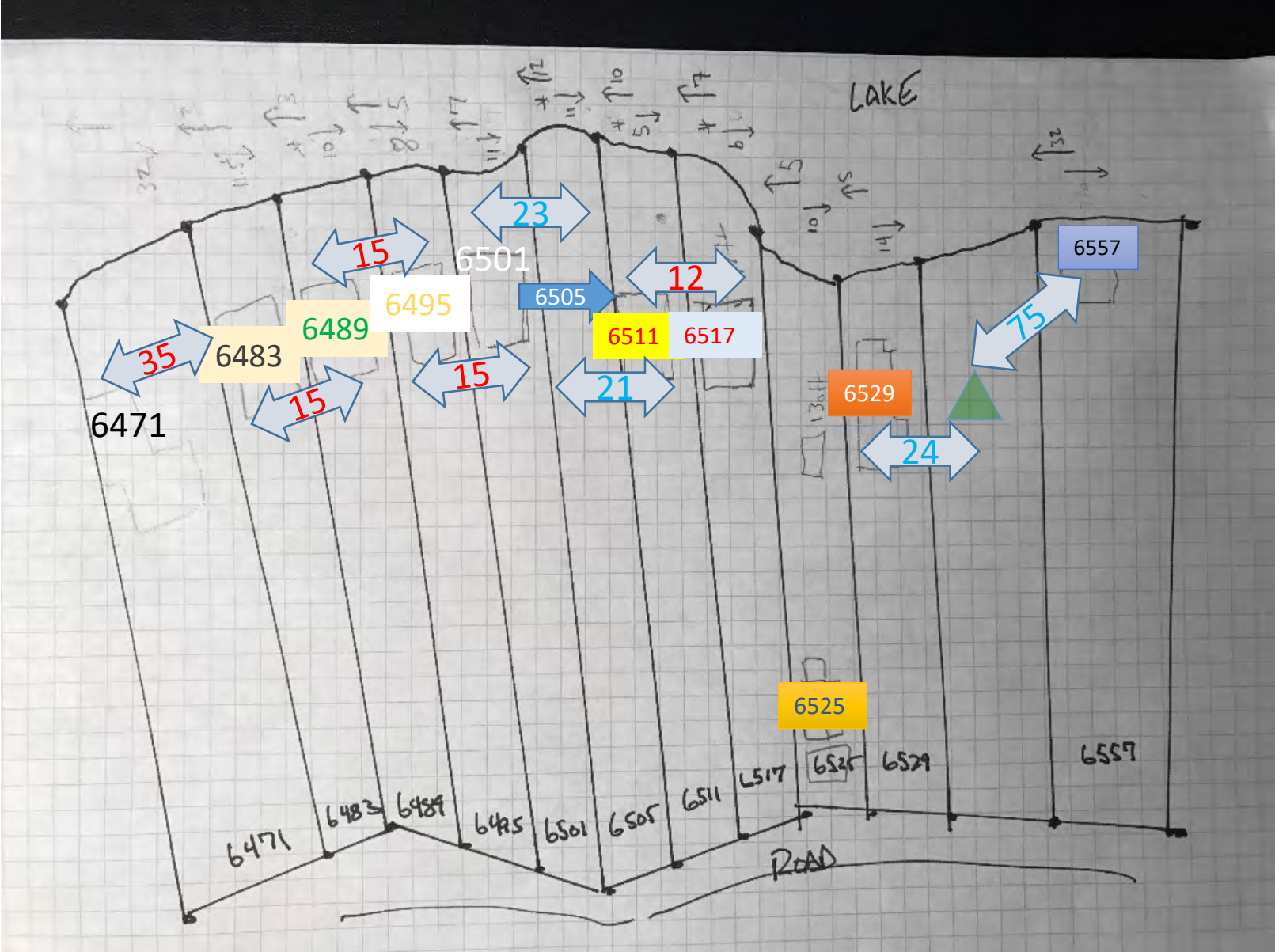
12 Feet



Distance of Proposed Property to Neighboring Houses (6529 and 6557)



Distance Between HOUSES (not variances)



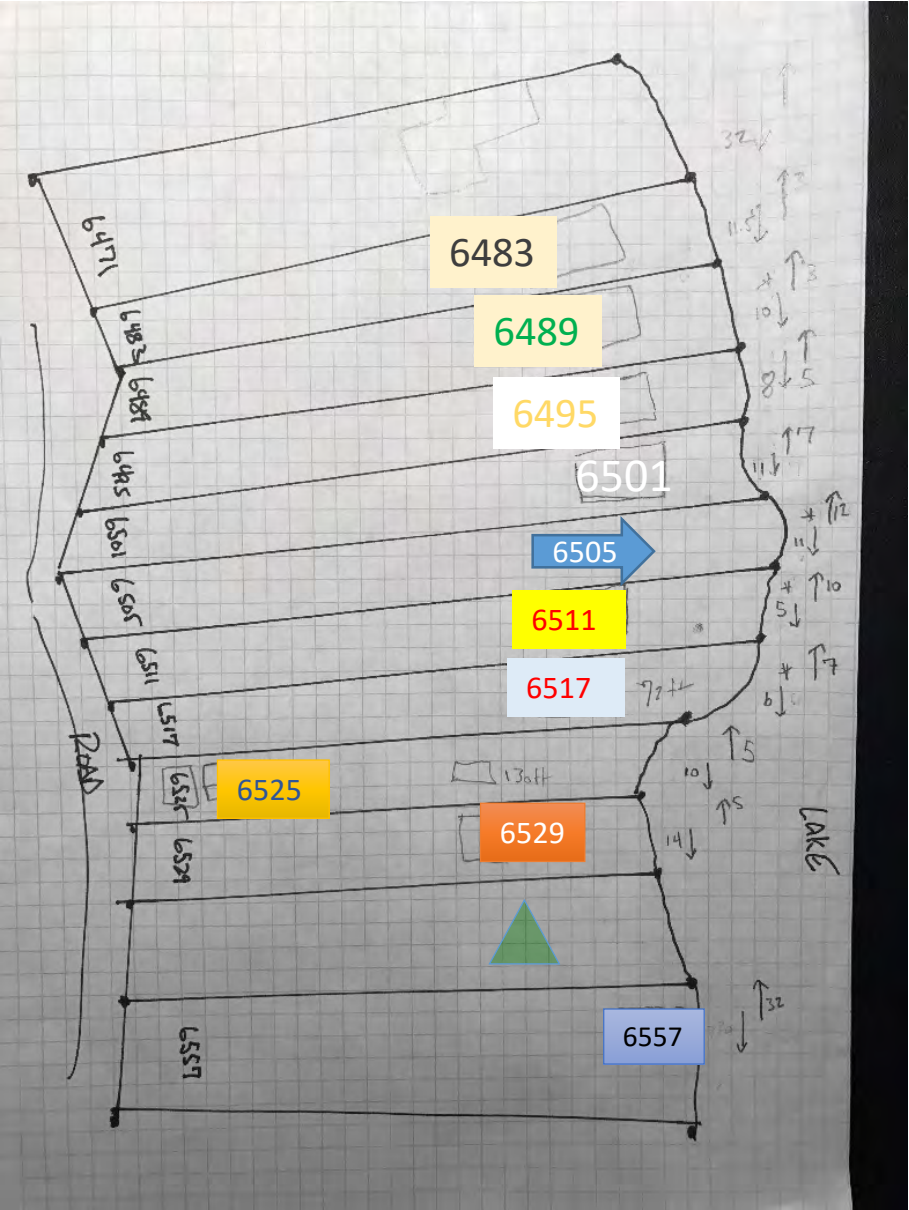
Address 1	Address 2	Physical Distance
6471	6483	35
6483	6489	14.5
6489	6495	15
6495	6501	15
6501	6505	23
6505	6511	21
6511	6517	12
6517	6525	
6525	6529	
6529	Proposed	24
Proposed	6557	75

Legend
 Red = Built
 Blue = Planned

Painted Boundaries for Proposed Property

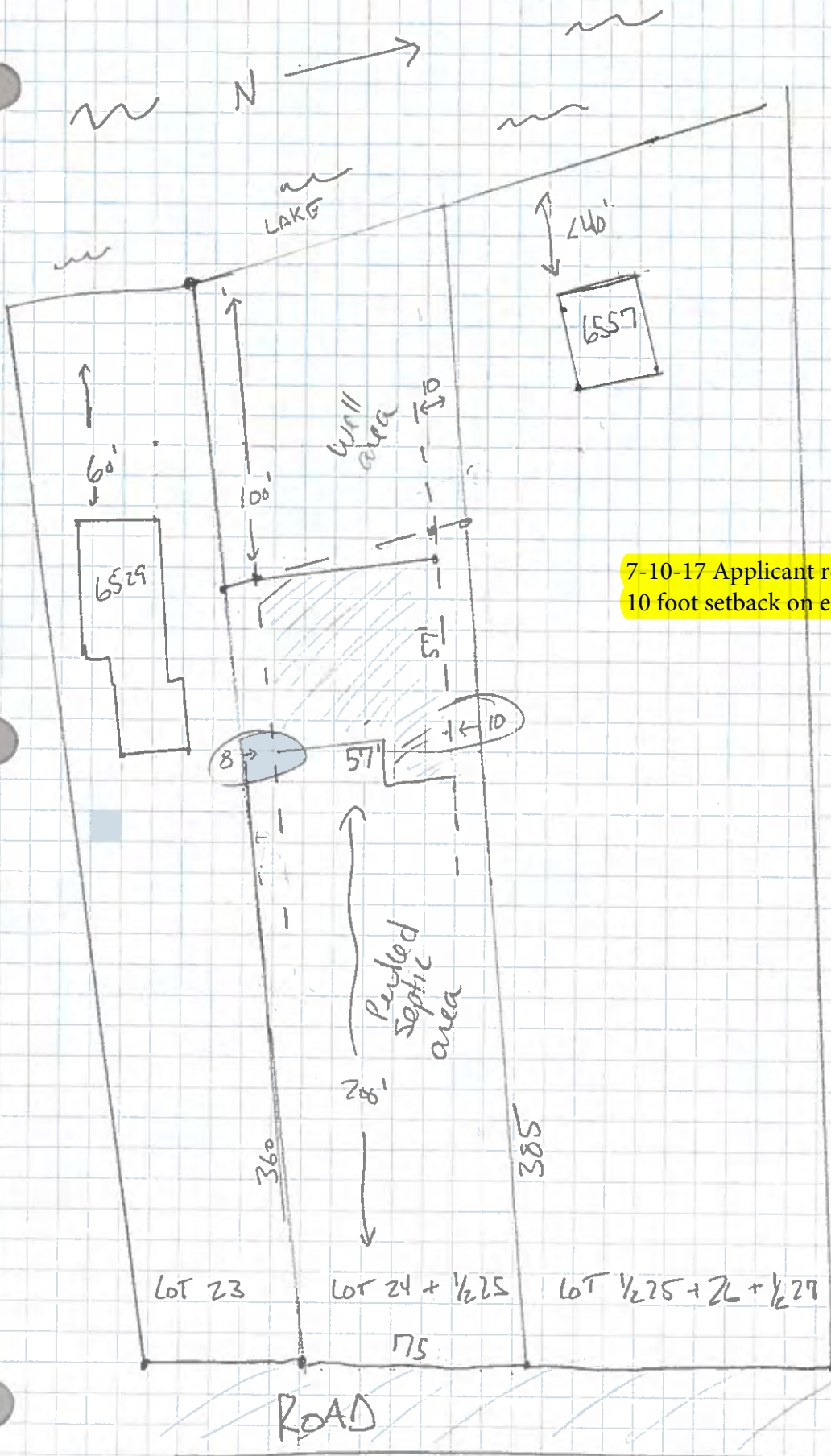


Setbacks/Variations



Address (Forest Beach)	South Setback	North Setback	South Variance	North Variance	<u>Total Variance</u>
6471	17	32	13	0	13
6483	3	11.5	27	18.5	45.5
6489	3	10	27	20	47
6495	5	8	25	22	47
6501	7	11	23	19	42
6505	12	11	18	19	37
6511	10	5	20	25	45
6517	7	6	23	24	47
6525	5	10	25	20	45
6529	5	14	25	16	41
Proposed	10	10	20	20	40
6557	32	60	0	0	0

Properties with Larger Total Variance



7-10-17 Applicant requested to revised setbacks to 10 foot setback on each side.

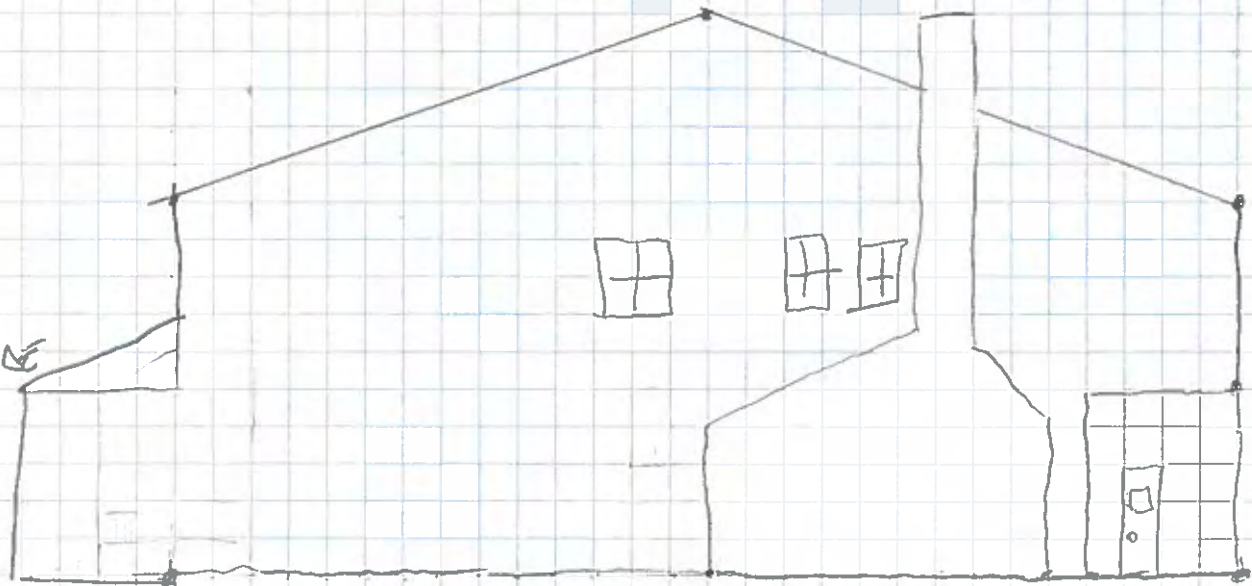


Residential Design Consultants
GARRELL ASSOCIATES, INC.
DESIGN BY
MICHAEL WILLIAM GARRELL

THE SOUTHTON
©Copyright 2001, Garrell Associates, Inc.
01446 www.garrellassociates.com

(REVERSE)
EAST SIDE OF HOUSE

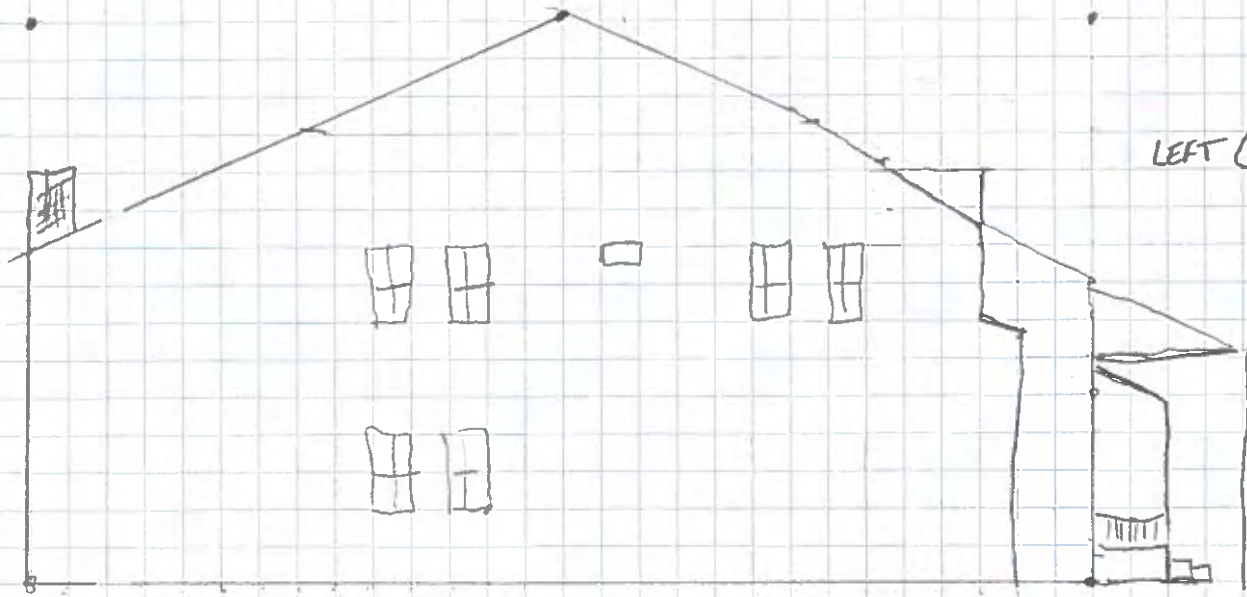
RIGHT SIDE
VIEW



RIGHT (NORTH) SIDE

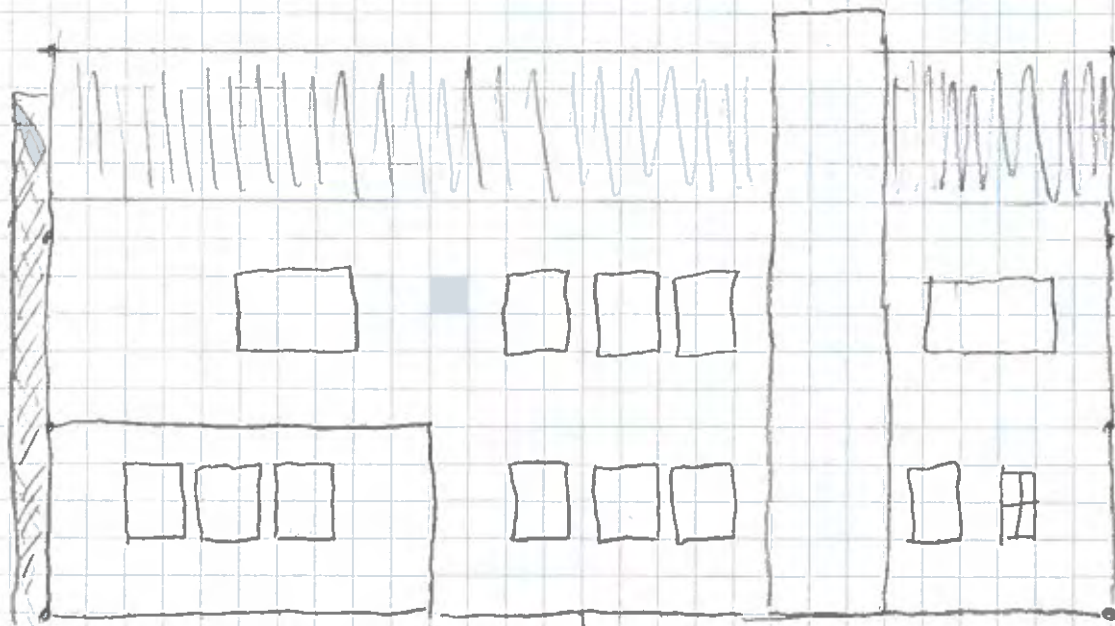
→ LAKE

LAKE
←



LEFT (SOUTH) SIDE

VIEW FROM LAKE
WEST SIDE OF HOUSE



SUTLER V ISURE PLAT OF FOREST BEACH

PART OF THE W. 1/2 OF SEC. 26, T. 2 N., R. 5 E., GENOA TWP., LIVINGSTON CO., MICHIGAN.

SCALE - 1" = 100'
 Note: All dimensions shown hereon are in feet or decimals of feet.

Sept 20, 1928
 L. W. Mosher

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that I, Oscar Schoenhals, Supervisor of the Township of Genoa of Livingston County, State of Michigan, by virtue of authority in me vested by Section 3350, Compiled Laws of 1915, as amended, having been duly authorized by the Township Board, have caused the land described in the annexed plat to be surveyed, laid out and platted to be known as "Supervisor's Plat of Forest Beach".

Witness my hand and seal of office this 15th day of September, 1928.

Oscar Schoenhals
 Supervisor of the Township of Genoa

STATE OF MICHIGAN }
 County of Livingston } ss

On this 1st day of September, A.D. 1928, before me, a Notary Public in and for said County, personally came the above named Supervisor of the Township of Genoa, known to me to be the person who executed the above dedication and acknowledged the same to be his free act and deed as such Supervisor.

Lillian J. Mosher
 Notary Public in and for Livingston County

My Commission expires May 10th, 1930

CERTIFICATE OF MUNICIPAL APPROVAL

This plat was approved by the Township Board of the Township of Genoa at a meeting held on the 7th day of September, 1928.

 Clerk

CERTIFICATE OF APPROVAL BY COUNTY BOARD

This plat was approved on the 7th day of September, 1928.

 Judge of Probate

 County Clerk

 County Treasurer

County Treasurer Certificate

City of Genoa, Livingston Co., Mich.

I hereby certify that there are no tax liens or taxes held by the city against the land described above and that there are no tax liens or taxes held by the city against the five parcels shown and that the same are paid as shown by the records of this office.

 County Treasurer



N

Oakland Engineering Co.
 30 1/2 E. Lawrence St.
 Pontiac, Mich.

DESCRIPTION

The land embraced in the annexed plat of Supervisor's Plat of Forest Beach, Part of the W. 1/2 of Sec. 26, T. 2 N., R. 5 E., Genoa Twp., Livingston Co., Michigan, is described as follows: Commencing at the south quarter post of section 26, T. 2 N., R. 5 E.; thence along the south line of section 26 N. 88° 21' 15" W. 50.00 feet; thence parallel with the north and south quarter line of section 26, N. 0° 52' E. 1060.31 feet to a point of curve; thence along a circular curve to the left, of radius 467.74 feet, through a central angle of 22° 56' 40", a distance of 187.31 feet to a point of tangent; thence N. 22° 04' 40" W. 10.18 feet to a point of curve; thence along a circular curve to the right, of radius 531.20 feet, through a central angle of 21° 05' 10", a distance of 195.47 feet to a point of compound curve; thence along a circular curve to the right, of radius 468.44 feet, through a central angle of 27° 45' 10", a distance of 226.73 feet to a point of reverse curve; thence along a circular curve to the left, of radius 35.92 feet, through a central angle of 78° 15' 30", a distance of 49.38 feet to a point of reverse curve; thence along a circular curve to the right, of radius 1503.80 feet, through a central angle of 10° 59' 40", a distance of 288.56 feet to a point of tangent; thence N. 41° 00' 30" W. 99.89 feet to a point of curve; thence along a circular curve to the right, of radius 1805.84 feet, through a central angle of 13° 13' 20", a distance of 416.74 feet; thence N. 79° 48' 20" W. 70.28 feet; thence N. 48° 31' 40" E. 50.00 feet; thence N. 9° 46' 40" E. 150.00 feet; thence N. 33° 18' 40" E. 300.00 feet; thence N. 58° 34' 40" W. 447.64 feet to the shore of Baetcke Lake; thence along the shore of Baetcke Lake, southerly to a point located S. 18° 46' 40" W. 1448.93 feet; thence S. 1° 01' 10" W. 368.00 feet; thence S. 69° 09' 30" E. 1208.57 feet to the point of beginning.

SURVEYOR'S CERTIFICATE

I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments of not less than one inch in diameter and fifteen inches in length set in a concrete base at least four inches in diameter and forty-eight inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted.

L. W. Mosher
 Registered Surveyor.

N. 0° 52' E.
 S. 1/4 COR. S. 1/4 LINE SEC. 26
 T. 2 N., R. 5 E.
 SEC. 26

244
 28 10
 3
 Plat
 22
 6
 1928

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
ESTATE OF ALVINA ROGAN	NELSON BRICE C & CARRIE M	75,000	02/19/2016	WD	VACANT LAND	2016R-013812	BUYER	100.0			
SWIFT TRUST	SWIFT DENNIS E & CHRISTINE	50,000	10/31/2008	WD	INVALID SALE	2008R-032819	BUYER	100.0			
SWIFT/ROGAN TRUST	SWIFT TRUST	0	12/10/2005	WD	ARMS-LENGTH	4999/0351	BUYER	0.0			
ROGAN, A. (SWIFT)	SWIFT, DENNIS E.	0	08/08/2002	QC	QUIT CLAIM	3524-0507	BUYER	0.0			
Property Address		Class: 402 RESIDENTIAL-VA		Zoning: LDR	Building Permit(s)		Date	Number	Status		
FOREST BEACH DR		School: BRIGHTON									
Owner's Name/Address		P.R.E. 0%									
NELSON BRICE C & CARRIE M 1183 GENTRY DRIVE SOUTH LYON MI 48178		MAP #: V17-12									
Tax Description		2018 Est TCV Tentative		Land Value Estimates for Land Table 00026.FOREST BEACH							
SEC. 26 T2N, R5E, SUPERVISOR'S PLAT OF FOREST BEACH LOT 24 AND S 1/2 OF LOT 25		Improved	X	Vacant	* Factors *						
Comments/Influences		Public Improvements		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
		Dirt Road		LAKE FRONT	60.00	376.00	1.0000	1.0000	1500	100	90,000
		Gravel Road		'B' Frontage	30.00	376.00	1.0000	1.0000	1100	100	33,000
		Paved Road		90 Actual Front Feet, 0.78 Total Acres Total Est. Land Value = 123,000							
		Storm Sewer									
		Sidewalk									
		Water									
		Sewer									
		Electric									
		Gas									
		Curb									
		Street Lights									
		Standard Utilities									
		Underground Utils.									
		Topography of Site									
		Level									
		Rolling									
		Low									
		High									
		Landscaped									
		Swamp									
		Wooded									
		Pond									
		Waterfront									
		Ravine									
		Wetland									
		Flood Plain									
		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value			
Who		When	What	2018	Tentative	Tentative	Tentative	Tentative			
				2017	79,500	0	79,500	79,500S			
				2016	79,500	0	79,500	51,249C			
				2015	79,500	0	79,500	51,096C			

The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116

(810) 227-5225 | FAX (810) 227-3420

Case # 17-13

Meeting Date: July 18, 2017

- PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial
- Copy of paperwork to Assessing Department

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: Steve & Ann Davis, Cynthia & Richard Lukotch, Michael & Laura Kipley

Property Address: 867 Sunrise Park, Howell MI 48843 Phone: 734.502.8072

Present Zoning: Residential LRP Tax Code: 4711-09-201-061

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. **Variance requested:** Construction of a 20x24 garage located approximately 5 feet from the current cottage structure and located the same distance from the north lot line as the cottage to maintain consistent alignment.
2. **Intended property modifications:** Securing and storage of personal property. (Boat, vehicle, etc.)
 - a. Unusual topography/shape of land (explain): Waterfront (Lake Chemung)
 - b. Other (explain): This property originally had two storage sheds in poor condition. One was removed last year. The remaining shed is no longer able to safely secure our valuables. A garage structure is needed to store our boat, vehicle and other valuables.

The following is required. Failure to meet these requirements may result in tabling of this petition:

1. **Property must be staked showing all proposed improvements five (5) days before the meeting and remain in place until after the meeting;**
2. **Plot Plan drawings must be submitted, showing setbacks and elevations of proposed buildings and all other pertinent information. One paper copy of all drawings is required.**
3. **Waterfront properties must indicate setback from water for adjacent homes.**
4. **Petitioner (or a Representative) must be present at the meeting.**

Date: 6/7/17 Signature: Ann M Davis

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

**After the decision is made regarding your Variance approval:
Contact the Genoa Township Zoning office to discuss your next step.**



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 10, 2017
RE: ZBA 17-13

STAFF REPORT

File Number: ZBA#17-13
Site Address: 867 Sunrise Park Drive
Parcel Number: 4711-09-201-0161
Parcel Size: .091 Acres
Applicant: Steve and Ann Davis, Cynthia and Richard Lukotch, Michael and Laura Kipley
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a side yard variance and a variance from the principal building to construct a 20 X 24 detached accessory structure.
Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.
Other: Public hearing was published in the Livingston County Press and Argus on Sunday July 2, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records does not have a year built.
- Land use permit was issued in 1996 to construct a deck.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Craft

Diana Lowe

MANAGER

Michael C. Archinal

Summary

The proposed project is to construct a 20 X 24 detached accessory structure. In order to construct the detached accessory structure as proposed, the applicant is in need of a side yard variance and a variance from the principal building.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Sec. 11.04 (f):

Required Side Yard Setback:	10'	Required setback from Principal Structure:	10'
Proposed Rear Yard Setback:	5'	Proposed setback from Principal Structure:	5'
Proposed Variance Amount:	5'	Proposed Variance Amount:	5'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the side yard setback and setback from the principal building would not allow the applicant to construct the detached accessory structure in the desired location.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the neighbor’s shed that is non-conforming which forces the 10 foot setback and the small narrow lot. The need for the variance is not self-created for the side yard setback. The variances from the principal building could be eliminated if the proposed structure was smaller or located more centralized on the lot.
- (c) Public Safety and Welfare** – The granting of these variances will not impair an adequate supply of light and air to adjacent property. It might cause an increase in congestion to the public streets. The fact that the road is located close to the proposed structure could cause an increase in congestion and create public safety concern due to a vehicle backing out of the driveway that could possibly not be seen to oncoming traffic. The proposed structure will occupy available on-site parking. The applicant should demonstrate there will be sufficient on-site parking. It should not increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Drainage from the detached structure must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Applicant should demonstrate that onsite parking will be provided.
4. Livingston County Building Department approval for 5 foot setback from principal structure.

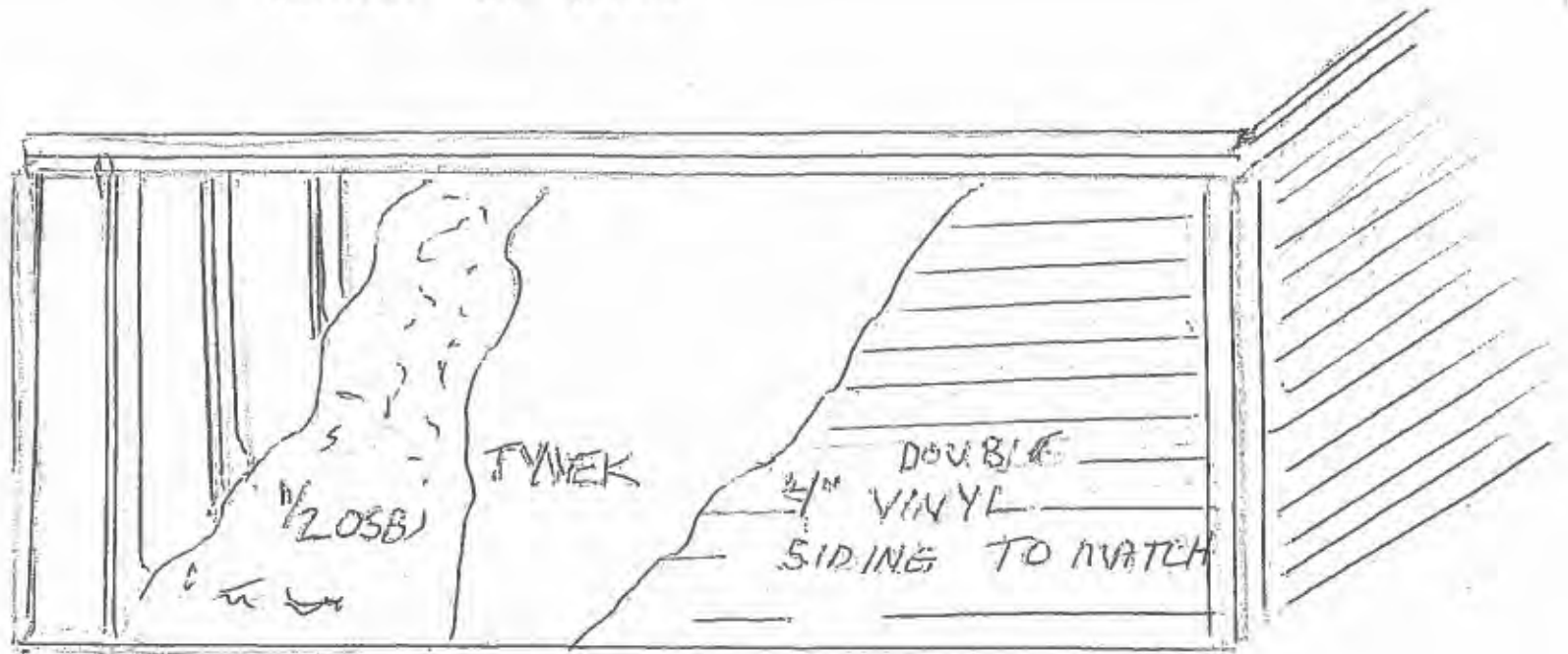
GENOA TOWNSHIP



GENOA TOWNSHIP



DOUBLE TOP PLATE



2X4 TREATED
SILL PLATE

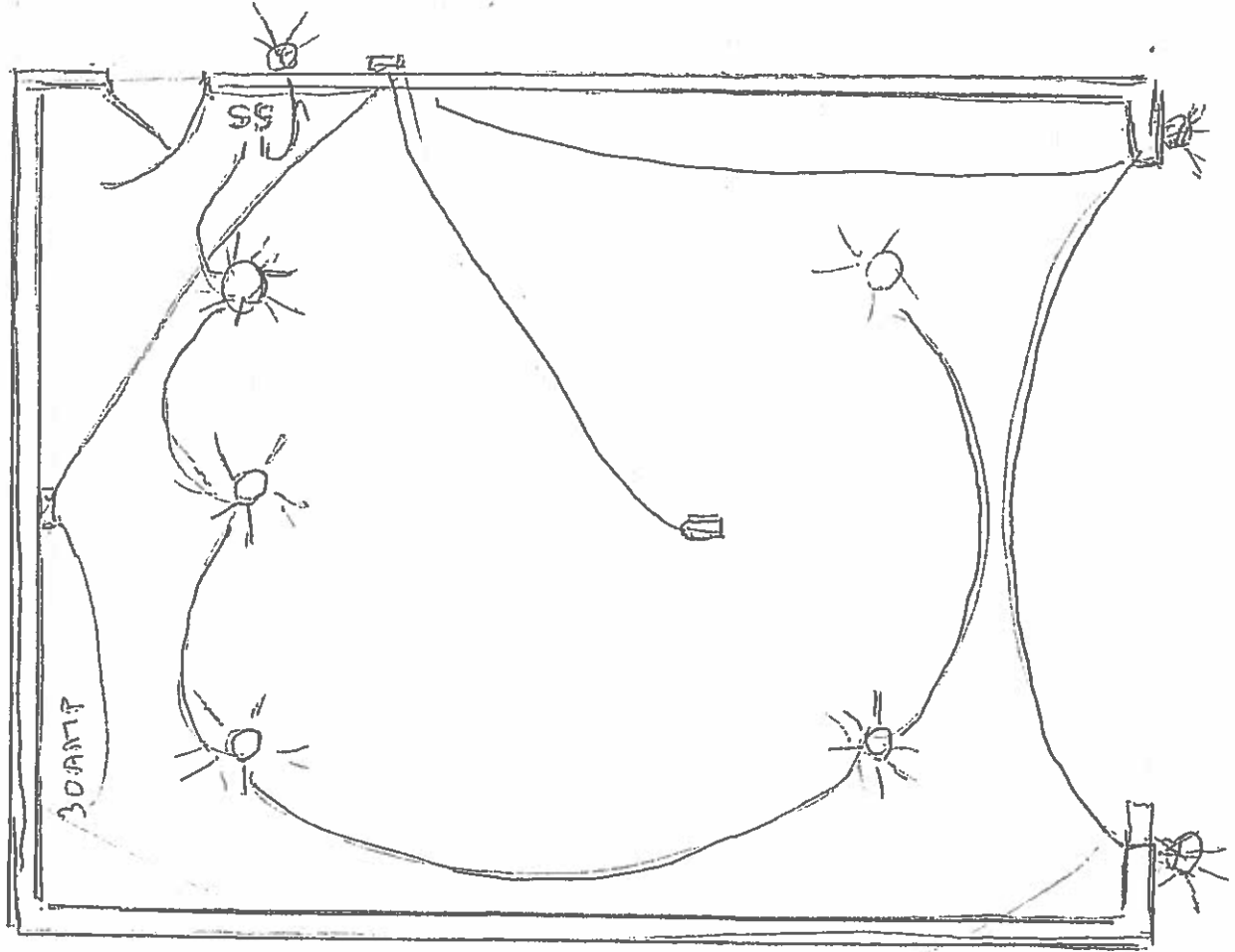
2X4 FRAMING 1/8" DIA. ♂

DOUBLE 2X4 HEADER SERVICE DOOR

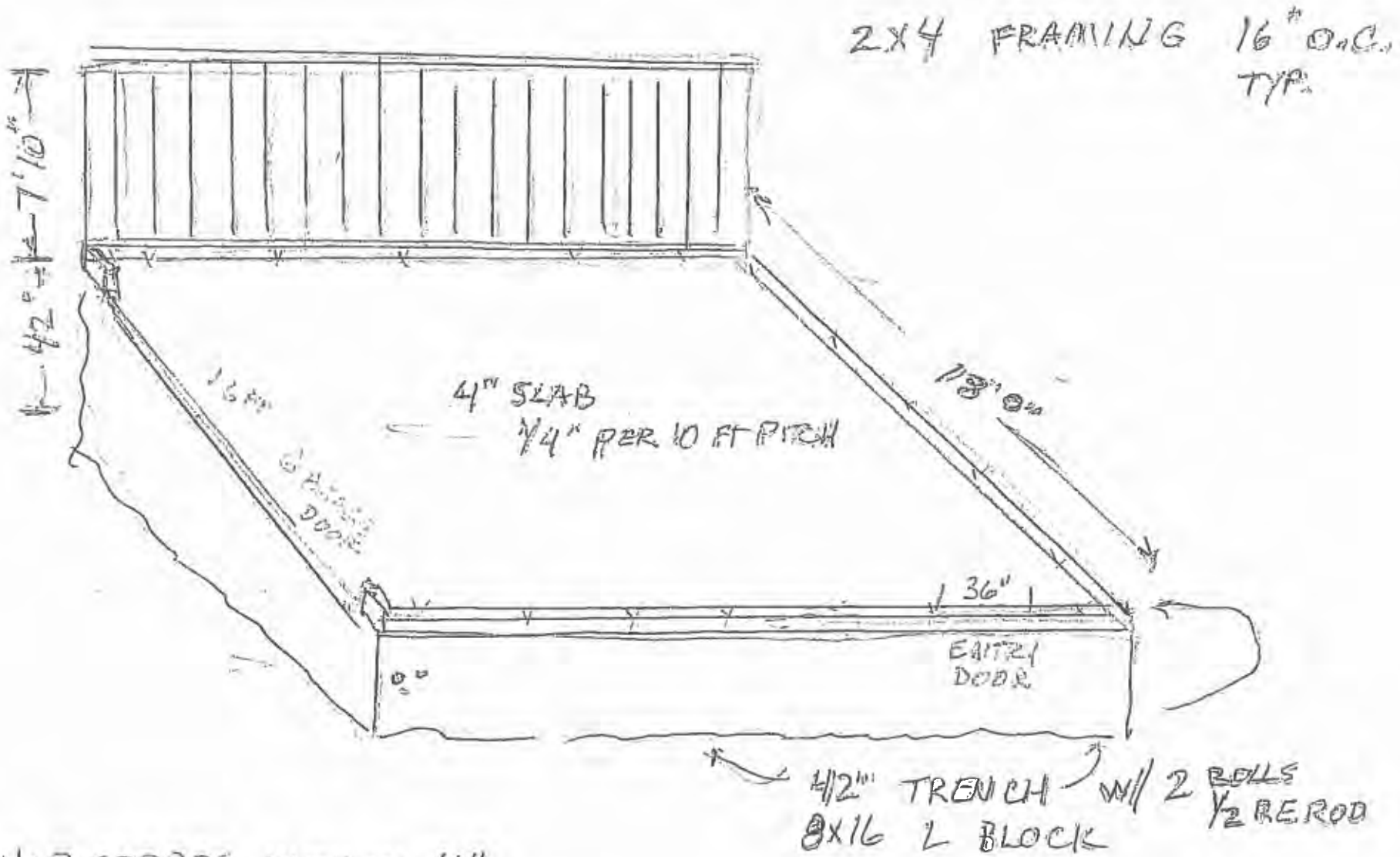
36" PREHUNG STEEL DOOR

TIE STRAPS

ELECTRICAL



7 X 16 FT ROLL-UP

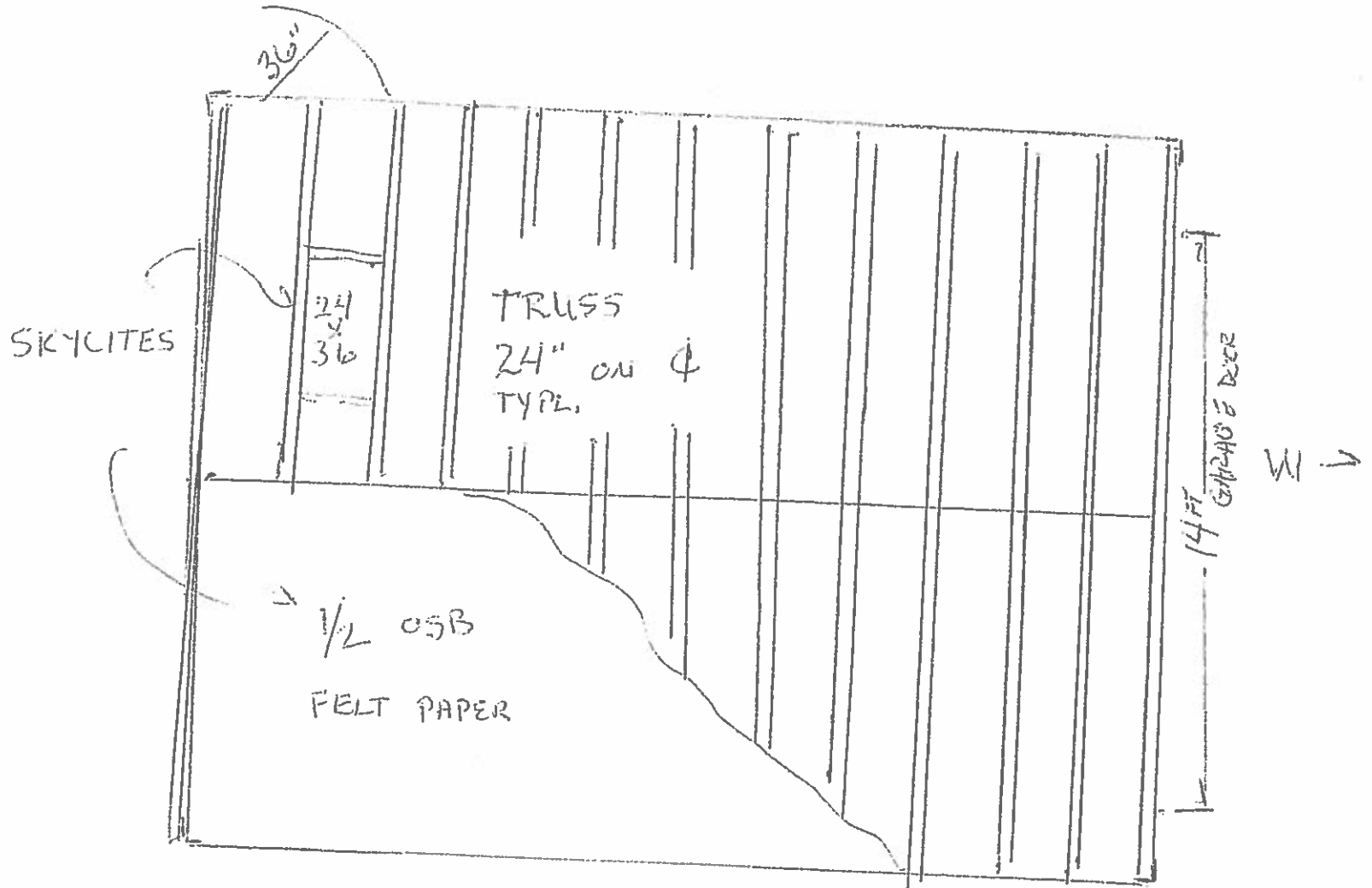


ANCHOR STRAPS WITH-IN 10"
EACH CORNER AND 4' FT THEREAFTER

NOT TO SCALE

18' W / 24" DEEP ← WEST

18 X 24 NOT TO SCALE
RAFTER LAYOUT





Apex Structural Innovation

14011 Harrison Road Romulus, MI 48174
Office: (734)992-8450

QUOTATION

Job #: HA0547

Date: 5/3/2017

Customer Information:

Name:

Home Depot 2742 Livonia

P.O. Number:

Contact:

Kristen Knight

Job Information:

Name:

BOBBY DAVIS

Address:

City, State, Zip:

WoodTruss Project # 363925-1

Qty	Span	Description	Truss	TC Slope BC Slope	TC Size BC Size	Heel-L Heel-R	OH - L OH - R	Cant-L Cant-R
12	22-00-00	22' ATTIC 4/12 1' CANT B.E. 108.4 lbs. each		4.00 0.00	2x6 2x6	00-05-08 00-05-08	00-00-00 00-00-00	01-00-00 01-00-00
2	22-00-00	22' gable 1' cant 92.4 lbs. each		4.00 0.00	2x4 2x4	00-05-08 00-05-08	00-00-00 00-00-00	01-00-00 01-00-00

NOTICE: We warn that trusses can cause property damage or personal injury if improperly installed or braced. Customer's, or his agents acceptance hereof shall constitute his affirmative representation that he is fully trained in the proper methods of truss installation and bracing. Please refer to "Guide for Handling, Installing, Restraining Bracing Trusses", BCSI-B1, published by WTCA and Truss Plate Institute, Inc. It is the customers responsibility to provide access to the jobsite. This Quote Is Valid For 30 days

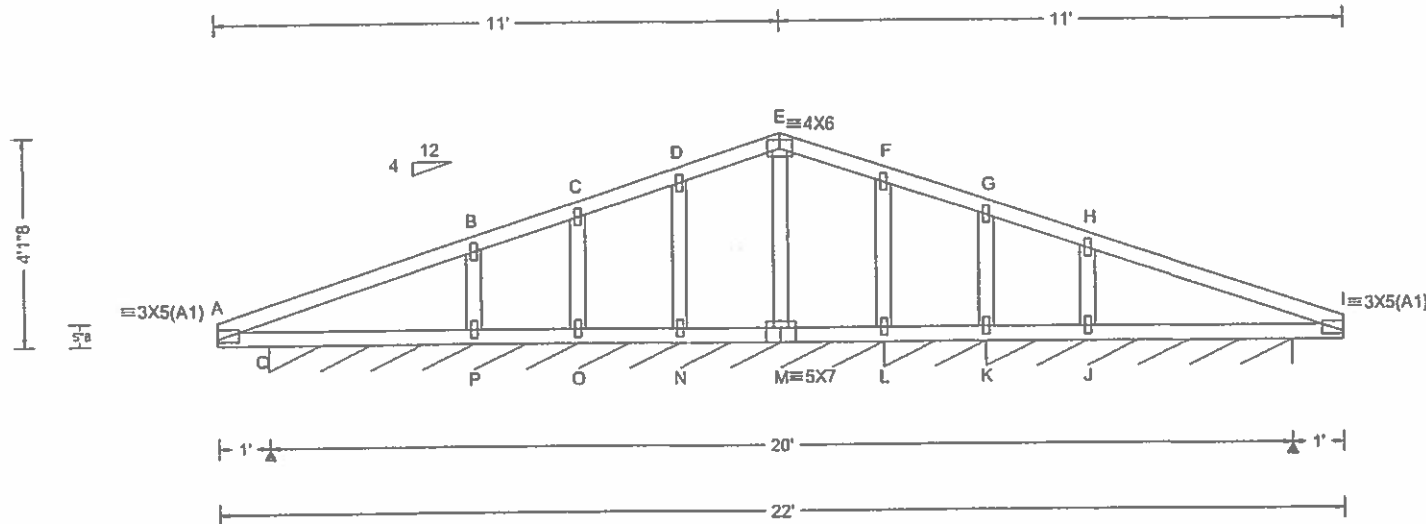
Retail
\$1,275.00

Job # - HA0547
 Job Name - BOBBY DAVIS

PLY: 1
 QTY2
 Wgt: 92.4 lbs

Label - 22' gable 1' cant

DESIGNER: HA
 CREATED - 05/03/17



▲ Maximum Reactions (lbs), or * = PLF

Loc	R	/U	/Rw	/Rh	/RL	/W
Q*	81	/9	/39	/-	/4	/168
L*	59	/8	/33	/-	/-	/96.0

Wind reactions based on MWFRS
 Q Min Brg Width Req = -
 L Min Brg Width Req = -
 Bearings Q & L are a rigid surface.

Maximum Top Chord Forces Per Ply (lbs)

Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - B	136	-99	E - F	111	0
B - C	95	-44	F - G	116	-30
C - D	116	-30	G - H	95	-44
D - E	111	0	H - I	136	-99

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - P	234	-175	M - L	120	-92
P - O	118	-90	L - K	119	-90
O - N	119	-90	K - J	118	-90
N - M	120	-92	J - I	234	-175

Maximum Gable Forces Per Ply (lbs)

Gables	Tens.	Comp.	Gables	Tens.	Comp.
B - P	185	-275	L - F	125	-188
C - O	27	-99	K - G	27	-99
D - N	125	-188	J - H	185	-275
E - M	50	-149			

Loading Criteria (psf)	Wind Criteria	Snow Criteria	Code / Misc Criteria	Defl/CSI Criteria
TCLL: 20.00 TCCL: 7.00 BCCL: 0.00 BCDL: 8.00 Des Ld: 35.00 NCBCLL: 0.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 24.0"	Wind Std: ASCE 7-10 Speed: 115 mph Enclosure: Closed Risk Category EKP: C TCCL: 4.2 psf BCCL: 4.8 psf Mean Height: 15.00 ft MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft GCpi: 0.18 Wind Duration: 1.60	(Pg,PI in PSF) Pg: 25.0 Ct: 1.1 Pf: 19.3 Ce: 1.0 CAT: II Lu: - Cs: not used Snow Duration: 1.15	Bldg Code: IBC 2015 TPI Std: 2014 Rep Factors Used: Yes FT/RT: 10(0)/5(0) Plate Type: WAVE	PP Deflection in loc L/defl L/# VERT(LL): 0.007 P 999 360 Max TC CSI: 0.258 VERT(TL): 0.020 P 866 240 Max BC CSI: 0.095 HORZ(LL): -0.002 C - - Max Web CSI: 0.068 HORZ(TL): 0.003 C - - Creep Factor: 2.0 Mfg Specified Camber: VIEW Ver: 16.02.00C.1115.12

Lumber	Wind
Top chord 2x4 SPF #1/#2 Bot chord 2x4 SPF #1/#2 Webs 2x4 SPF(S) Stud	Wind loads based on MWFRS with additional C&C member design. Left and right cantilevers are exposed to wind
Plating Notes	Additional Notes
All plates are 1.5X4 except as noted.	See DWGS A11515ENC101014, GBLLETIN1014, & GABRST101014 for gable wind bracing and other requirements.
Loading	
Truss designed for unbalanced snow loads.	

****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
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 For more information see this job's general notes page and these web sites: ITWBCC: www.itwbcg.com; TPI: www.tpinet.org; SBCA: www.sbcaindustry.com; ICC: www.iccsafe.org

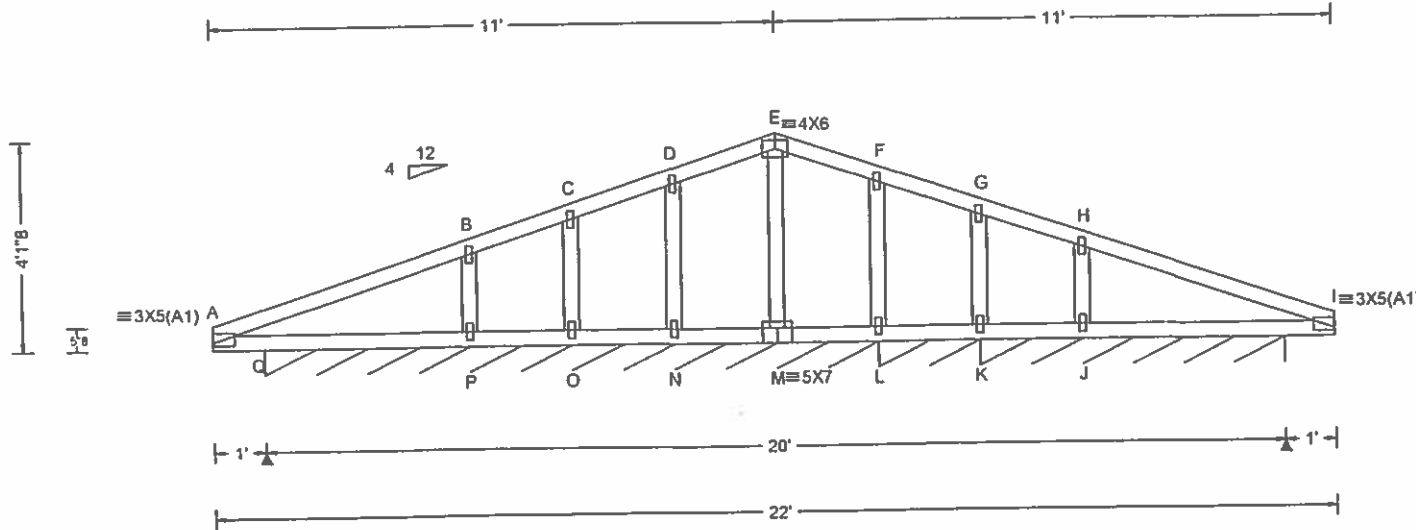


Job # - HA0547
Job Name - BOBBY DAVIS

PLY: 1
QTY: 2
Wgt: 92.4 lbs

Label - 22' gable 1' cant

DESIGNER: HA
CREATED - 05/03/17



Maximum Reactions (lbs), or *PLF

Loc	R	U	Rw	Rh	RL	IW
Q	81	/9	/39	/-	/4	/168
L	59	/8	/33	/-	/-	/96.0

Wind reactions based on MWFRS
Q Min Brg Width Req = -
L Min Brg Width Req = -
Bearings Q & L are a rigid surface.

Maximum Top Chord Forces Per Ply (lbs)

Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - B	136	-99	E - F	111	0
B - C	95	-44	F - G	116	-30
C - D	116	-30	G - H	95	-44
D - E	111	0	H - I	136	-99

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - P	234	-175	M - L	120	-92
P - O	118	-90	L - K	119	-90
O - N	119	-90	K - J	118	-90
N - M	120	-92	J - I	234	-175

Maximum Gable Forces Per Ply (lbs)

Gables	Tens.	Comp.	Gables	Tens.	Comp.
B - P	185	-275	L - F	125	-188
C - O	27	-99	K - G	27	-99
D - N	125	-188	J - H	185	-275
E - M	50	-149			

Loading Criteria (psf)
TCLL: 20.00
TCDL: 7.00
BCLL: 0.00
BCDL: 8.00
Des Ld: 35.00
NCBCLL: 0.00 Soffit: 2.00
Load Duration: 1.15
Spacing: 24.0"

Wind Criteria
Wind Std: ASCE 7-10 Speed: 115 mph
Enclosure: Closed Risk Category: ENP: C
TCDL: 4.2 psf BCDL: 4.8 psf
Mean Height: 15.00 ft
MWFRS Parallel Dist: 0 to h/2
C&C Dist a: 3.00 ft
GCpf: 0.18
Wind Duration: 1.60

Snow Criteria
(Pg, Pf in PSF)
Pg: 25.0 Ct: 1.1
Pf: 19.3 Ce: 1.0
CAT: II
Lu: - Cs: not used
Snow Duration: 1.15

Code / Misc Criteria
Bldg Code: IBC 2015
TPI Std: 2014
Rep Factors Used: Yes
FT/RT: 10(0)/5(0)
Plate Type: WAVE

Defl/CSI Criteria
PP Deflection in loc U/def L/#
VERT(LL): 0.007 P 999 360 Max TC CSI: 0.258
VERT(TL): 0.020 P 866 240 Max BC CSI: 0.095
HORZ(LL): -0.002 C - - Max Web CSI: 0.088
HORZ(TL): 0.003 C - - Creep Factor: 2.0
Mfg Specified Camber:
VIEW Ver: 16.02.00C.1115.12

Lumber
Top chord 2x4 SPF #1/#2
Bot chord 2x4 SPF #1/#2
Webs 2x4 SPF(S) Stud

Plating Notes
All plates are 1.5X4 except as noted.

Loading
Truss designed for unbalanced snow loads.

Wind
Wind loads based on MWFRS with additional C&C member design.
Left and right cantilevers are exposed to wind

Additional Notes
See DWGS A11515ENC101014, GBLLETIN1014, & GABRST101014 for gable wind bracing and other requirements.

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Job # - HA0547
 Job Name - BOBBY DAVIS

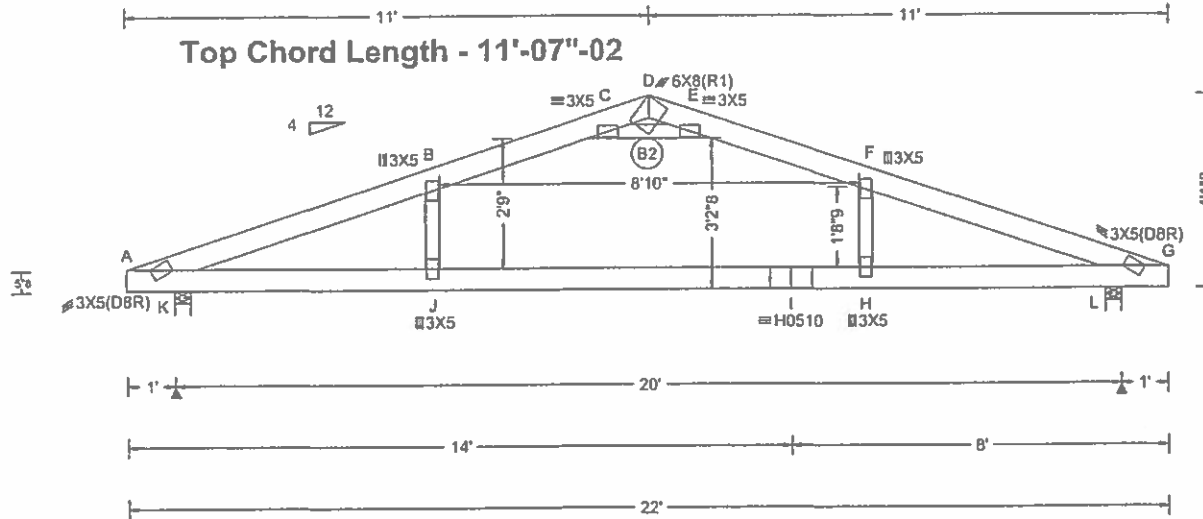
PLY: 1
 QTY: 12
 Wgt: 106.4 lbs

Label - 22' ATTIC 4/12 1' CANT B.E.

DESIGNER: HA
 CREATED - 05/03/17

▲ Maximum Reactions (lbs)						
Loc	R	/U	/Rw	/Rh	/RL	/W
K	1144	/92	/397	/0	/62	/4.0
L	1144	/92	/397	/0	/-	/4.0

Wind reactions based on MWFRS
 K Min Brg Width Req = 1.5
 L Min Brg Width Req = 1.5
 Bearings K & L are a rigid surface.



Maximum Top Chord Forces Per Ply (lbs)					
Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - B	454	-2027	D - E	1142	-149
B - C	493	-1838	E - F	492	-1838
C - D	1142	-149	F - G	455	-2027

Maximum Bot Chord Forces Per Ply (lbs)					
Chords	Tens.	Comp.	Chords	Tens.	Comp.
A - J	3665	-733	I - H	1840	-362
J - I	1840	-362	H - G	3665	-733

Maximum Web Forces Per Ply (lbs)					
Webs	Tens.	Comp.	Webs	Tens.	Comp.
B - J	371	-42	H - F	373	-41
C - E	656	-3043			

Loading Criteria (psf)
 TCLL: 20.00
 TCDL: 7.00
 BCCL: 0.00
 BCDL: 8.00
 Des Ld: 35.00
 NCBCLL: 0.00 Soffit: 2.00
 Load Duration: 1.15
 Spacing: 24.0"

Wind Criteria
 Wind Std: ASCE 7-10 Speed: 115 mph
 Enclosure: Closed Risk Category: EKP: C
 TCDL: 4.2 psf BCDL: 4.8 psf
 Mean Height: 15.00 ft
 MWFRS Parallel Dist: 0 to h/2
 C&C Dist a: 3.00 ft
 GCpi: 0.18
 Wind Duration: 1.60

Snow Criteria
 (Pg, Pf in PSF)
 Pg: 25.0 Ct: 1.1
 Pf: 19.3 Ce: 1.0
 CAT: II
 Lu: - Cs: not used
 Snow Duration: 1.15

Code / Misc Criteria
 Bldg Code: IBC 2015
 TPI Std: 2014
 Rep Factors Used: Yes
 FT/RT: 10(0)/5(0)
 Plate Type:
 WAVE, HS

Defl/CSI Criteria
 PP Deflection in loc L/def L/#
 VERT(LL): 0.299 H 790 360 Max TC CSI: 0.686
 VERT(TL): 0.690 H 487 240 Max BC CSI: 0.777
 HORZ(LL): 0.080 B - - Max Web CSI: 0.235
 HORZ(TL): 0.133 B - - Creep Factor: 2.0
 Mfg Specified Camber:
 VIEW Ver: 16.02.00C.1115.12

Lumber
 Top chord 2x6 SPF 1650f-1.5E
 Bot chord 2x6 SPF 1650f-1.5E :B2 2x4 SPF #1/#2:
 Webs 2x4 SPF(S) Stud

Purlins
 Collar-tie braced with continuous lateral bracing at 24" oc. or rigid ceiling.

Wind
 Wind loads based on MWFRS with additional C&C member design.
 Left and right cantilevers are exposed to wind

Loading
 Live loads applied in combination per ASCE 7 sec. 2.4.1 use 0.75 factor for multiple live loads.
 Attic room loading from 6-7-0 to 15-5-0: Live Load: 30 PSF. Dead Load: 5 PSF Ceiling: 5 PSF, Kneewalls: 5 PSF
 Truss designed for sleeping room only. No waterbeds permitted. Provide information to contractor, architect, and bldg owner. Trusses to be visibly stamped to indicate 30.00 psf MAX LL.
 Truss designed for unbalanced snow loads.

****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!**

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For more information see this job's general notes page and these web sites: ITWBCG: www.itwbcc.com; TPI: www.tpinst.org; SBCA: www.sbcaindustry.com; ICC: www.iccsafe.org



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
HOSKINS, KARELLE	DAVIS S & A, LUKOTCH R & C	125,000	05/23/2008	WD	ARMS-LENGTH	2008R-018303	BUYER	100.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status		
867 SUNRISE PARK		School: HOWELL			WOOD DECK	09/06/1996	96-474	NO START		
Owner's Name/Address		P.R.E. 0%								
DAVIS S & A, LUKOTCH R & C AND KIPLEY M & L 40487 COACHWOOD CIRCLE NORTHVILLE MI 48168		MAP #: V17-13								
Tax Description		2018 Est TCV Tentative		Land Value Estimates for Land Table 00006.SUNRISE PARK						
SEC. 9 T2N, R5E, SUNRISE PARK LOT 60		X	Improved	Vacant	* Factors *					
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value						
		Dirt Road		A LAKE FRONT 40.00 99.00 1.0000 1.0000 2300 100				92,000		
		Gravel Road		40 Actual Front Feet, 0.09 Total Acres Total Est. Land Value =				92,000		
		Paved Road								
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2018	Tentative	Tentative	Tentative		Tentative
					2017	46,000	32,200	78,200		54,322C
					2016	46,000	31,600	77,600		53,838C
					2015	46,000	30,300	76,300		53,677C

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Licensed To: Township of Genoa, County of Livingston, Michigan

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 240	Type Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:		
X	Wood Frame		Drywall Paneled				Plaster Wood T&G		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump							
Building Style: D		Trim & Decoration		X No Heating/Cooling			Central Air Wood Furnace			Class: D Effec. Age: 28 Floor Area: 624 Total Base Cost: 32,284 Total Base New : 48,749 Total Depr Cost: 35,099 Estimated T.C.V: 63,178			CntyMult X 1.510 E.C.F. X 1.800		Bsmnt Garage:	
Yr Built 0	Remodeled 0	Size of Closets		No. Heating/Cooling			(12) Electric			Total Base Cost: 32,284 Total Base New : 48,749 Total Depr Cost: 35,099 Estimated T.C.V: 63,178			X 1.510 E.C.F. X 1.800		Bsmnt Garage:	
Condition: Good		Doors: Lg X Ord Small		X			0 Amps Service			Rate Bsmnt-Adj Heat-Adj			Size Cost		Roof:	
Room List		(5) Floors		No./Qual. of Fixtures			Stories Exterior			Foundation Rate			Bsmnt-Adj Heat-Adj		Size Cost	
	Basement 1st Floor 2nd Floor -16 Bedrooms	Kitchen: Other: Other:		(12) Electric			1 Story Siding			Crawl Space			-9.58 -2.49		624 26,570	
(1) Exterior		(6) Ceilings		Ex. X Ord. Min			Other Additions/Adjustments			Rate			Size Cost			
X	Wood/Shingle Aluminum/Vinyl Brick	No. of Elec. Outlets		Many X Ave. Few			(13) Plumbing			3 Fixture Bath Extra Toilet			1650.00 540.00		-1 -1,650 1 540	
	Insulation	(7) Excavation		(13) Plumbing			(14) Water/Sewer			Public Sewer Well, 200 Feet			912.00 4400.00		1 912 1 4,400	
(2) Windows		Basement: 0 S.F. Crawl: 624 S.F. Slab: 0 S.F. Height to Joists: 0.0		Average Fixture(s) 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing 1 Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(16) Deck/Balcony			Treated Wood, Standard Phy/Ab.Phy/Func/Econ/Comb.%Good= 72/100/100/100/72.0, ECF (4302 SUNRISE PARK LAKEFRONT)			6.30 1.800 => TCV of Bldg: 1 =		240 1,512 35,099 63,178	
X	Many Avg. Few	X	Large Avg. Small	(8) Basement			(14) Water/Sewer			Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic						
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		1 Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(14) Water/Sewer			Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic						
(3) Roof		(9) Basement Finish		Recreation SF Living SF Walkout Doors No Floor SF			Lump Sum Items:									
X	Gable Hip Flat	Gambrel Mansard Shed	(10) Floor Support		1 Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic											
X	Asphalt Shingle	Joists: Unsupported Len: Cntr.Sup:														
Chimney: Brick																

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116

(810) 227-5225 | FAX (810) 227-3420

Case # 17-14

Meeting Date: July 19th, 2017

PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: Bradley Varga

Property Address: 3009 E. Schaffer Rd. Howell, MI 48843 Phone: 248-670-3686

Present Zoning: Residential/County Estate Tax Code: 4711-32-300-027

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. Variance requested: Outbuilding - 11.04.01(F)-(1)
20' from lot line Code is 40'

2. Intended property modifications: Outbuilding Construction
a. Unusual topography/shape of land (explain): _____

b. Other (explain): Location of the primary residence to property line. Property layout with septic on east side and woods. Will not line up with current driveway.

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

Property must be staked showing all proposed improvements seven (7) days before the meeting and remain in place until after the meeting.

Date: 6/19/17 Signature: Bradley Varga

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: June 29, 2017

RE: ZBA 17-14

STAFF REPORT

File Number: ZBA#17-14
Site Address: 3009 E. Schafer Road
Parcel Number: 4711-32-300-027
Parcel Size: 21.7 Acres
Applicant: Bradley Varga, 3009 E. Schafer Road Howell 48843
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a side yard variance to construct a 30 X 60 detached accessory structure.
Zoning and Existing Use: CE (Country Estates) Single Family Dwelling located on property.
Other: Public hearing was published in the Livingston County Press and Argus on Sunday July 2, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1968.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Craft

Diana Lowe

MANAGER

Michael C. Archinal

Summary

The proposed project is to construct a 30 x 60 detached accessory structure. In order to construct the addition, the applicant is in need of a side yard variance. The applicant is not limited by size on the detached structure due to the conforming County Estates lot.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (CE District):

Required Side Yard Setback: 40'

Proposed Side Yard Setback: 20'

Proposed Variance Amount: 20'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

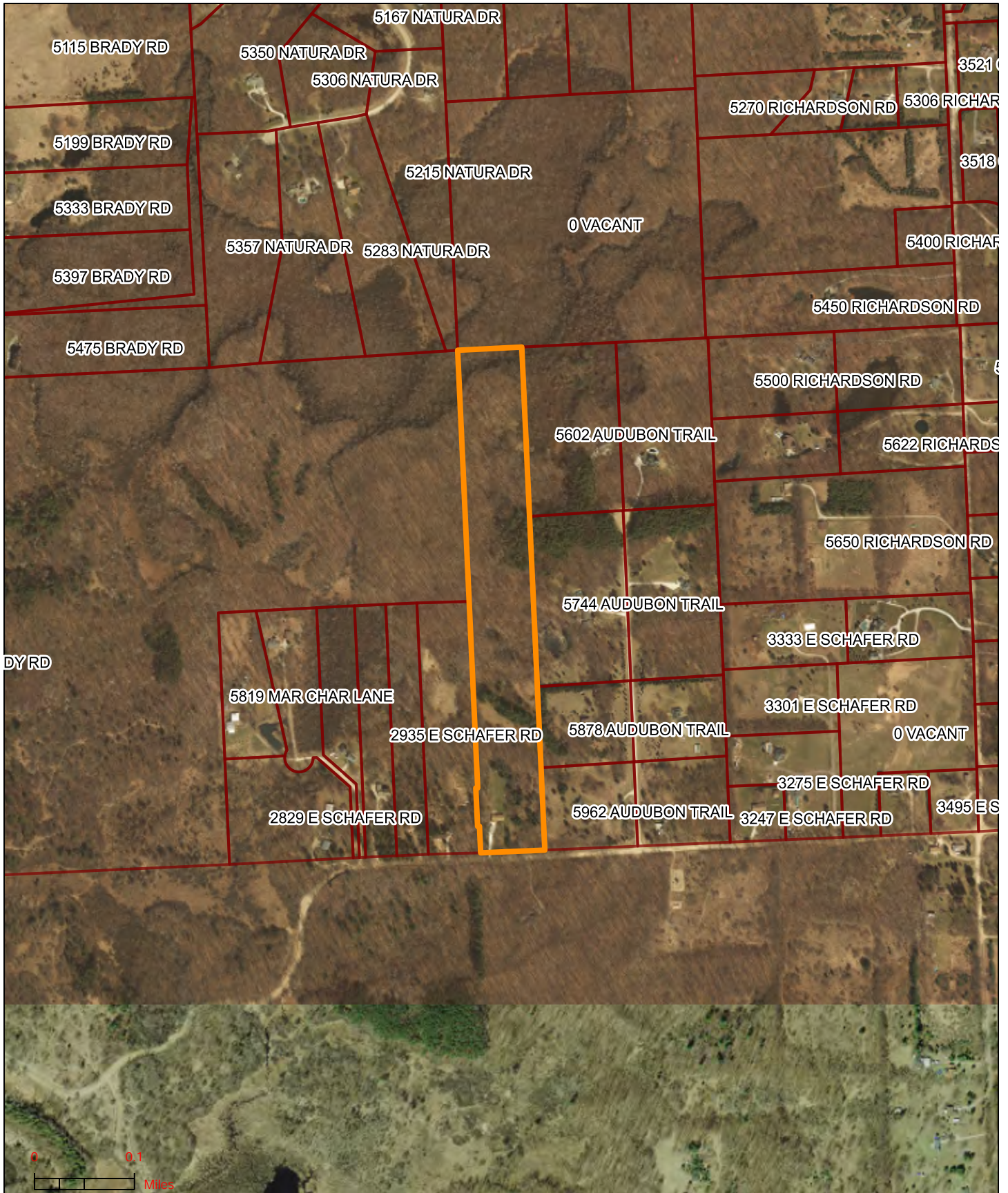
- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the side yard setback would not unreasonably prevent the use of the property. The variance does not provide substantial justice for the district and is not necessary to preserve or enjoy a property right similar to other CE zoned parcels. There are some existing accessory structures in the immediate area that appear to have non-conforming setbacks.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition is the property is the long narrow lot in the Country Estates zoning district, the location of the septic field behind the home and orientation of the existing home and driveway location on the lot. Need for the variance is self-created.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

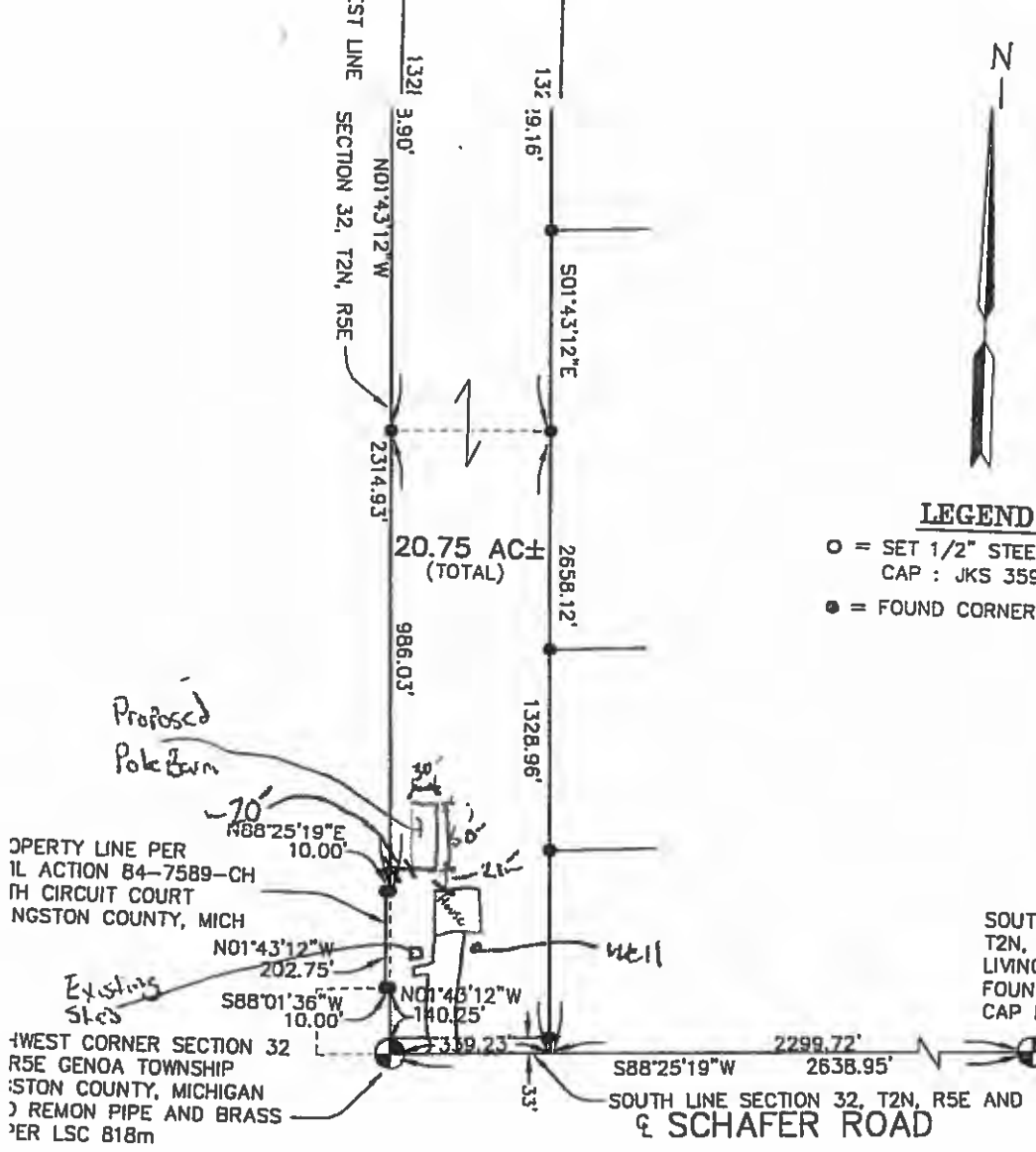
Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Drainage from the detached structure must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Shall comply with the accessory structure requirements.

GENOA TOWNSHIP





LEGEND

- = SET 1/2" STEEL REROD WITH CAP : JKS 35999
- = FOUND CORNER MARKER

SOUTH 1/4 CORNER SECTION 32
T2N, R5E GENOA TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
FOUND REMON PIPE AND BRASS
CAP PER LSC 819m

**LEGAL DESCRIPTION:
20.75 ACRE PARCEL:**

BEGINNING AT THE SOUTHWEST CORNER OF SECTION 32, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN; THENCE N01°43'12"W 140.25 FEET ALONG THE WEST LINE OF SAID SECTION; THENCE N01°43'12"W 202.75 FEET; THENCE N88°25'19"E 10.00 FEET TO T POINT ON SAID WEST LINE OF SAID SECTION 32; THENCE N01°43'12"W ALONG SAID WEST LINE TO THE WEST 1/4 CORNER OF SAID SECTION 32; THENCE N88°22'38"E 339.23 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE S01°43'12"E 2658.12 FEET TO A POINT ON THE SOUTH LINE OF SECTION 32; THENCE S88°25'19"W 339.23 FEET ALONG SAID SOUTH LINE AND THE CENTER LINE OF SCHAFER ROAD TO PLACE OF BEGINNING. BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 32, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN CONTAINING 20.75 ACRES OF LAND, MORE OR LESS. BEING SUBJECT TO THE SOUTHERLY 10 FEET THEREOF, AS IS OCCUPIED BY SCHAFER ROAD, ALSO BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND HEREIN PLATTED AND/OR DESCRIBED ON 07-10-2014 THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS 1/5,000 OR BETTER, THAT ALL OF THE REQUIREMENTS OF ACT NO. 132, P.A. 1970 (AS AMENDED) HAVE BEEN COMPLIED WITH.

BEARINGS ARE BASED ON A PREVIOUS SURVEY BY CHARLES GARLOCK (16261)

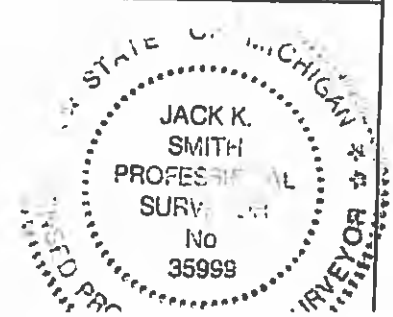
JAMES PEOPLES	
SECTION: 32	TOWN: 2 NORTH RANGE: 5 EAST
GENOA TOWNSHIP LIVINGSTON COUNTY, MICHIGAN	
DATE: 7-14-2014	CREW: JKS/DJS
PLAT: 214 PG 48	COMP: JKS

SCALE: 1" = 400'

[Signature]

JACK K. SMITH
PROFESSIONAL SURVEYOR No. 35999

GARLOCK-SMITH
PROFESSIONAL SURVEYORS
516 EAST GRAND RIVER
HOWELL, MICHIGAN 48842



**HOMEOWNER INFORMATION SHEET FOR WATER SUPPLY
 AND/OR SEWAGE DISPOSAL FACILITIES**

The following sketch represents the location of the on-site sewage disposal system and/or water well supply for the dwelling located at
3009 E. Schafer

Septic Tank Size <u>Existing</u>	Dimensions of System <u>52' x 25'</u>
Absorption Bed/Trench <u>1300 sq ft</u>	No of Lines <u>6</u>

Schafer

Well Driller _____	Sewage Disposal Contractor <u>Wellman</u>
Water Supply Approved _____	Sewage Disposal Facilities Approved <u>11-13-86</u>
Date _____	Date _____

Please read the attached information regarding maintenance and care of the on-site sewage disposal facilities. The on-site sewage disposal system was inspected and approved in accordance with the Livingston County Sanitary Code. The water supply system was approved after reviewing the well log submitted by the well driller and receiving acceptable water quality analysis. If you did not receive a copy of your well log from the driller, please contact the Environmental Health Division of the Livingston County Health Department.

Since many interrelating factors contribute to the failure of a sewage disposal system and/or changes in water quality, approval cannot be considered as a guarantee by the Environmental Health Division that successful operation or quality of drinking water is assured. On-site sewage disposal systems under the best of installation conditions and practices are in no way the equivalent of municipal sewer collection and treatment facilities.




 Livingston County, Michigan
 Information Technology Department
 C.I.S. Division
 304 E. Grand River Ave., Howell, MI 48843
 517.548.3230
 co.livingston.mi.us or livingstonlive.org



MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of Livingston County. Boundary measurements and area calculations are approximate and should not be construed as survey measurements.



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.													
PEOPLES, JAMES R. & SANDRA	VARGA BRADLEY J & JENNIFER	260,000	07/23/2014	WD	ARMS-LENGTH	2014R-024691	BUYER	100.0													
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: CE	Building Permit(s)		Date	Number	Status												
3009 E SCHAFER RD		School: PINCKNEY																			
Owner's Name/Address		P.R.E. 100% 07/23/2014																			
VARGA BRADLEY J & JENNIFER 3009 E SCHAFER RD HOWELL MI 48843		MAP #: V17-14																			
Tax Description		2018 Est TCX Tentative																			
SEC 32 T2N R5E BEG AT SW COR OF SEC 32 TH N 01*43'12"W 140.25 FT, TH W 10 FT, TH N01*43'12"W 202.75 FT, TH E 10 FT, TH N01*W 2314.86 FT TH N88*22'38"E 339.23 FT TH S01*43'12"E 2658.12 FT TH S88*25'19"W 339.23 FT TO POB CONT 21.7 AC M/L COMB. FR 016, 017, 003 ALSO 31-400-014 7/93 CORR 10/2002		X Improved		Vacant		Land Value Estimates for Land Table 123.PINCKNEY M & B															
Comments/Influences		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value															
		Dirt Road		WETLANDS		21.70 Total Acres		8,608 100		186,800											
		Gravel Road								Total Est. Land Value = 186,800											
		Paved Road																			
		Storm Sewer																			
		Sidewalk																			
		Water																			
		Sewer																			
		Electric																			
		Gas																			
		Curb																			
		Street Lights																			
		Standard Utilities																			
		Underground Utils.																			
		Topography of Site																			
		Level																			
		Rolling																			
		Low																			
		High																			
		Landscaped																			
		Swamp																			
		Wooded																			
		Pond																			
		Waterfront																			
		Ravine																			
		Wetland																			
		Flood Plain																			
		X REFUSE																			
		Who		When		What		Year		Land Value		Building Value		Assessed Value		Board of Review		Tribunal/Other		Taxable Value	
		LM		08/04/2014		REVIEWED R		2018		Tentative		Tentative		Tentative						Tentative	
								2017		93,400		54,600		148,000						135,509C	
								2016		93,400		50,800		144,200						134,301C	
								2015		91,100		65,600		156,700		133,900M				133,900S	



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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage						
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 24	Type CPP	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1.5 Wal Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 400 % Good: 0 Storage Area: 0 No Conc. Floor: 0								
X	Wood Frame		Drywall Paneled		Plaster Wood T&G																	
Building Style: C		Trim & Decoration		X Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling																		
Yr Built 1968	Remodeled 0	Ex	X	Ord		Min	Size of Closets			Class: C Effec. Age: 42 Floor Area: 1312 Total Base Cost: 104,158 Total Base New : 157,279 Total Depr Cost: 91,222 Estimated T.C.V: 105,817			CntyMult X 1.510 E.C.F. X 1.160		Bsmnt Garage: Carport Area: Roof:							
Condition: Good		Lg	X	Ord		Small	No Heating/Cooling															
Room List		(5) Floors		Central Air Wood Furnace																		
	Basement 1st Floor 2nd Floor 3 Bedrooms	Kitchen: Other: Other:		(12) Electric 0 Amps Service																		
(1) Exterior		(6) Ceilings		No./Qual. of Fixtures			Stories Exterior 1 Story Siding			Foundation Basement			Rate 64.10		Bsmnt-Adj 0.00		Heat-Adj 1.92		Size 1312		Cost 86,618	
X	Wood/Shingle Aluminum/Vinyl Brick			Ex. X Ord. Min			Other Additions/Adjustments			Rate												
	Insulation	(7) Excavation		No. of Elec. Outlets			(13) Plumbing			Rate												
(2) Windows		Basement: 1312 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		Many X Ave. Few			(14) Water/Sewer			Rate												
X	Many Avg. Few	X	Large Avg. Small	(8) Basement			(15) Plumbing			Rate												
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		Average Fixture(s) 1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(16) Porches			Rate												
(3) Roof		(9) Basement Finish		(13) Plumbing			(17) Garages			Rate												
X	Gable Hip Flat	Gambrel Mansard Shed	Recreation SF Living SF Walkout Doors No Floor SF		1 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(17) Garages			Rate											
X	Asphalt Shingle	(10) Floor Support		Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic			Class:C Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost Common Wall: 1.5 Wall Phy/Ab.Phy/Func/Econ/Comb.%Good= 58/100/100/100/58.0, ECF (47080 PINCKNEY M & B)			Rate												
Chimney: Brick				Lump Sum Items:			Phy/Ab.Phy/Func/Econ/Comb.%Good= 58/100/100/100/58.0, ECF (47080 PINCKNEY M & B)			Rate												

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116 (810) 227-5225 | FAX (810) 227-3420

Case # 17-15

Meeting Date: July 18, 2017

PAID Variance Application Fee
\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: _____ MARTIN and JENNIFER TOOMAJIAN

Property Address: 4377 FILBERT DR, BRIGHTON, MI 48116 _____ Phone: _____ 740-513-7197

Present Zoning: LRR _____ Tax Code: 4711-27-105-031 _____

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. Variance requested: 1.) A 2 FOOT EXEMPTION TO FRONT YARD SETBACK FOR A GARAGE, 2) A 5 FOOT EXEMPTION TO THE SIDE YARD TO ACCOMODATE A GARAGE/ADDITION TO RESIDENCE, 3) A 2 FOOT CANTILEVER OVER EXISTING FIRST FLOOR TOWARD CLIFFORD LAKE (actually 8" past end of current rock piers holding the first floor) AND 4) CREATE A SECOND FLOOR OVER EXISTING FIRST FLOOR FOOTPRINT. THE ADJOINING PROPERTIES CURRENTLY HAVE A SECOND FLOOR AND HAVE A GARAGE FORWARD OF THE PROPOSED GARAGE FOR THIS PROPERTY.

2. Intended property modifications: THE OWNERS REQUEST TO CONSTRUCT A SECOND FLOOR OVER THE EXISTING RESIDENCE, A NEW GARAGE WHERE ONE DOES NOT CURRENTLY EXIST AND A CONNECTION BETWEEN THIS NEW GARAGE AND EXISTING RESIDENCE.

a. Unusual topography/shape of land (explain): THE 5 FOOT SIDE YARD VARIANCE IS REQUESTED DUE TO THE NARROWNESS OF THE LOT, THE POSITION OF AN EXISTING WELL AND THE EAST SIDE NEIGHBORS GARAGE BUILT ON THE LOT LINE PREVENTING THE GARAGE FROM BEING LOCATED TO THE EAST SIDE WITHOUT BLOCKING DIRECT ACCESS TO THE EXISTING STRUCTURE AND ENABLING IT TO BE SEEN FROM FILBERT DRIVE. THE 2'-0" FRONT YARD EXCEPTION TO THE ORDINANCE IS REQUESTED TO ALLOW STORAGE IN THE GARAGE DUE TO THE STEEPNESS OF THE LOT AND LIMITED STORAGE OPTIONS.

b. Other (explain): _____

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

Property must be staked showing **all** proposed improvements seven (7) days before the meeting and remain in place until after the meeting.

Date: 6/21/17 Signature: [Handwritten Signature]

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 10, 2017

RE: ZBA 17-15

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#17-15

Site Address: 4377 Filbert

Parcel Number: 4711-27-105-031

Parcel Size: .429 Acre

Applicant: Martin and Jennifer Toomajian

Property Owner: Same as applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard, side yard and waterfront variance to construct an addition with an attached garage to an existing single family home.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday July 2, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1926.
- In 2001 a land use permit was issued for a wood deck.
- See Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

The proposed project is to construct a second story addition with an attached garage to an existing single family home. In order to do this the applicant is required to obtain a front yard, side yard and waterfront variance due to the location of the home. At publication time it was unknown if the applicant would require a height variance, since publication the applicant has stated that the home will be constructed to 25 foot building height. Revised drawings showing correct building height would be submitted at land use permit issuance if variances are approved.

Variance Requests

The following is the section of the Zoning Ordinance that the variances are being requested from:

Table 3.04.01 (LRR District):

Required Front Yard Setback: 35'	Required Side Yard Setback: 10'
Proposed Front Yard Setback: 33'	Proposed Side Yard Setback: 9'
Proposed Variance Amount: 2'	Proposed Variance Amount: 1'

Required Waterfront Setback: 270.7
Proposed Waterfront Setback: 248.1
Proposed Variance Amount: 22.6

Summary of Findings

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard, side and waterfront yard setbacks would prevent the applicant from constructing the proposed second story addition and an attached garage. Granting the requested variances would do substantial justice to the applicant as well as to the other property owners in the district with the exception of the waterfront variance.

- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the location of the existing single family home which is nonconforming and the narrowness of the lot. The variances would make the property consistent with the majority of other properties in the vicinity with the exception of the waterfront variance. The need for the variance is not self-created.

- (c) Public Safety and Welfare** – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

- (d) Impact on Surrounding Neighborhood** – The proposed variances would have a limited impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval.

1. The addition shall be guttered with downspouts directing runoff to the lake.
2. Building height will be 25 feet.

GENOA TOWNSHIP

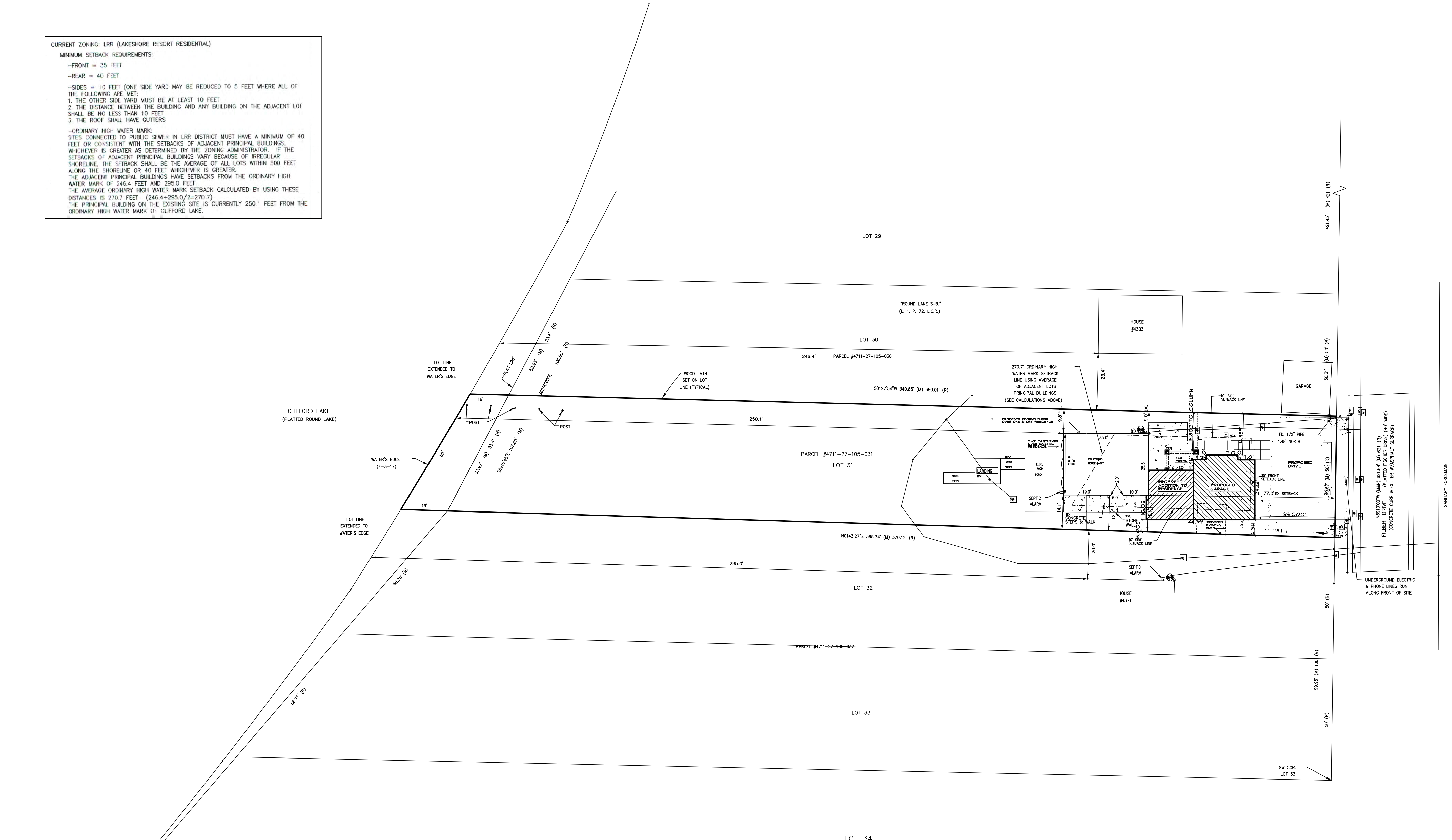


CURRENT ZONING: LRR (LAKESHORE RESORT RESIDENTIAL)

MINIMUM SETBACK REQUIREMENTS:

- FRONT = 35 FEET
- REAR = 40 FEET
- SIDES = 10 FEET (ONE SIDE YARD MAY BE REDUCED TO 5 FEET WHERE ALL OF THE FOLLOWING ARE MET:
 1. THE OTHER SIDE YARD MUST BE AT LEAST 10 FEET
 2. THE DISTANCE BETWEEN THE BUILDING AND ANY BUILDING ON THE ADJACENT LOT SHALL BE NO LESS THAN 10 FEET
 3. THE ROOF SHALL HAVE GUTTERS

-ORDINARY HIGH WATER MARK:
 SITES CONNECTED TO PUBLIC SEWER IN LRR DISTRICT MUST HAVE A MINIMUM OF 40 FEET OR CONSISTENT WITH THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS, WHICHEVER IS GREATER AS DETERMINED BY THE ZONING ADMINISTRATOR. IF THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS VARY BECAUSE OF IRREGULAR SHORELINE, THE SETBACK SHALL BE THE AVERAGE OF ALL LOTS WITHIN 500 FEET ALONG THE SHORELINE OR 40 FEET WHICHEVER IS GREATER.
 THE ADJACENT PRINCIPAL BUILDINGS HAVE SETBACKS FROM THE ORDINARY HIGH WATER MARK OF 246.4 FEET AND 295.0 FEET.
 THE AVERAGE ORDINARY HIGH WATER MARK SETBACK CALCULATED BY USING THESE DISTANCES IS 270.7 FEET (246.4+295.0/2=270.7).
 THE PRINCIPAL BUILDING ON THE EXISTING SITE IS CURRENTLY 250.1 FEET FROM THE ORDINARY HIGH WATER MARK OF CLIFFORD LAKE.



PROPOSED SITE PLAN

SCALE: 1"=20'-0"

LEGAL DESCRIPTION

LOT 31 OF "ROUND LAKE SUB", AS RECORDED IN LIBER 1 OF PLATS, PAGE 12, LIVINGSTON COUNTY RECORDS, BEING PART OF THE NORTHWEST 1/4 OF SECTION 21, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

HEINS & KWAPIS ARCHITECTS P.C.

126 E. THIRD STREET
 ROCHESTER, MICHIGAN
 48307
 PH: 248-651-6766
 FAX: 248-651-8969
 heinsandkwapis@boglobel.net

PROPOSED ADDITION
 MR. AND MRS. TOOMAJIAN
 4371 FILBERT DR.
 BRIGHTON, MI

REVISION:

DRAWN BY:

CHECKED BY:

DATE:

SEAL

SHEET NO.

SI OF 1

JOB NUMBER

17-024-RA

SURVEY/PLOT PLAN

CURRENT ZONING: LRR (LAKESHORE RESORT RESIDENTIAL)

MINIMUM SETBACK REQUIREMENTS:

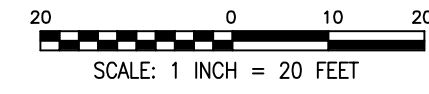
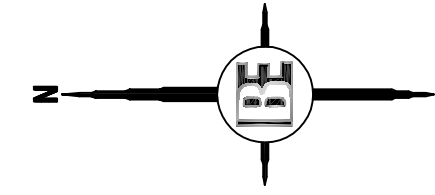
- FRONT = 35 FEET
- REAR = 40 FEET
- SIDES = 10 FEET (ONE SIDE YARD MAY BE REDUCED TO 5 FEET WHERE ALL OF THE FOLLOWING ARE MET:
 1. THE OTHER SIDE YARD MUST BE AT LEAST 10 FEET
 2. THE DISTANCE BETWEEN THE BUILDING AND ANY BUILDING ON THE ADJACENT LOT SHALL BE NO LESS THAN 10 FEET
 3. THE ROOF SHALL HAVE GUTTERS
- ORDINARY HIGH WATER MARK:
 - SITES CONNECTED TO PUBLIC SEWER IN LRR DISTRICT MUST HAVE A MINIMUM OF 40 FEET OR CONSISTENT WITH THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS, WHICHEVER IS GREATER AS DETERMINED BY THE ZONING ADMINISTRATOR. IF THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS VARY BECAUSE OF IRREGULAR SHORELINE, THE SETBACK SHALL BE THE AVERAGE OF ALL LOTS WITHIN 500 FEET ALONG THE SHORELINE OR 40 FEET WHICHEVER IS GREATER.
 - THE ADJACENT PRINCIPAL BUILDINGS HAVE SETBACKS FROM THE ORDINARY HIGH WATER MARK OF 246.4 FEET AND 295.0 FEET.
 - THE AVERAGE ORDINARY HIGH WATER MARK SETBACK CALCULATED BY USING THESE DISTANCES IS 270.7 FEET $(246.4+295.0)/2=270.7$
 - THE PRINCIPAL BUILDING ON THE EXISTING SITE IS CURRENTLY 250.1 FEET FROM THE ORDINARY HIGH WATER MARK OF CLIFFORD LAKE.

DESCRIPTION:

LOT 31 OF "ROUND LAKE SUB.", AS RECORDED IN LIBER 1 OF PLATS, PAGE 72, LIVINGSTON COUNTY RECORDS, BEING PART OF THE NORTHWEST 1/4 OF SECTION 27, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

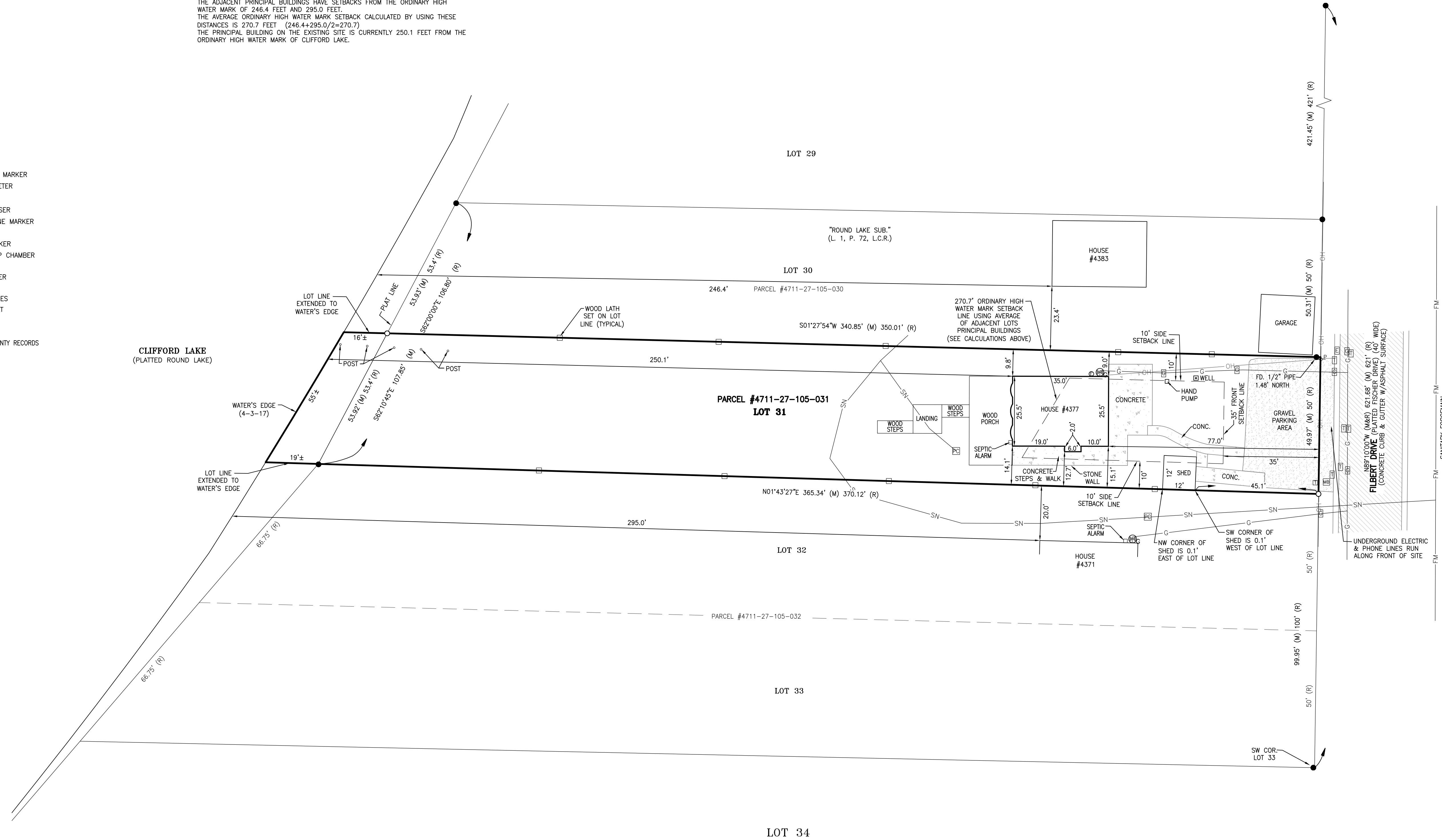
GENERAL SURVEY NOTES:

1. BEARINGS WERE ESTABLISHED FROM THE PLAT OF "ROUND LAKE SUB.", AS RECORDED IN LIBER 1 OF PLATS, PAGE 72, LIVINGSTON COUNTY RECORDS.
2. SUBSURFACE UTILITIES AS SHOWN ON THIS SURVEY ARE FROM FLAGGING OR MARKINGS LOCATED IN THE FIELD. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.



- LEGEND**
- o-P POWER POLE
 - U.G. ELECTRIC MARKER
 - ELECTRICAL METER
 - WELL
 - TELEPHONE RISER
 - U.G. TELEPHONE MARKER
 - GAS METER
 - U.G. GAS MARKER
 - GRINDER PUMP CHAMBER
 - MAILBOX
 - SN- SANITARY SEWER
 - G- GAS MAIN
 - OH- OVERHEAD WIRES
 - WOOD LATH SET
 - L. LIBER
 - P. PAGE
 - L.C.R. LIVINGSTON COUNTY RECORDS

CLIFFORD LAKE
(PLATTED ROUND LAKE)



BEBOSS
Engineering

Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843

800.246.6735 FAX 517.548.1670

PROJECT: **LOT 31 "ROUND LAKE SUB."**

PREPARED FOR: **TOOMAJIAN**

2565 AIKIN CIRCLE N.
LEWIS CENTER, OH 43035
740-972-9393

TITLE: **SURVEY/PLOT PLAN**

NO	BY	REVISION PER	DATE
1	AEB	REVISION PER	DATE

DESIGNED BY: _____

DRAWN BY: AEB

CHECKED BY: _____

SCALE: 1" = 20'

JOB NO. 17-109

DATE: 4-5-17

SHEET NO. **1 OF 1**



HEINS & KWAPIS
ARCHITECTS P.C.

128 E. THIRD STREET
ROCHESTER, MICHIGAN
48307
PH: 248-651-6766
FAX: 248-651-8969
heinsandkwapis@bogloba.net

PROPOSED ADDITION
MR. AND MRS. TOOMAJIAN
4377 FILBERT DR.
BRIGHTON, MI

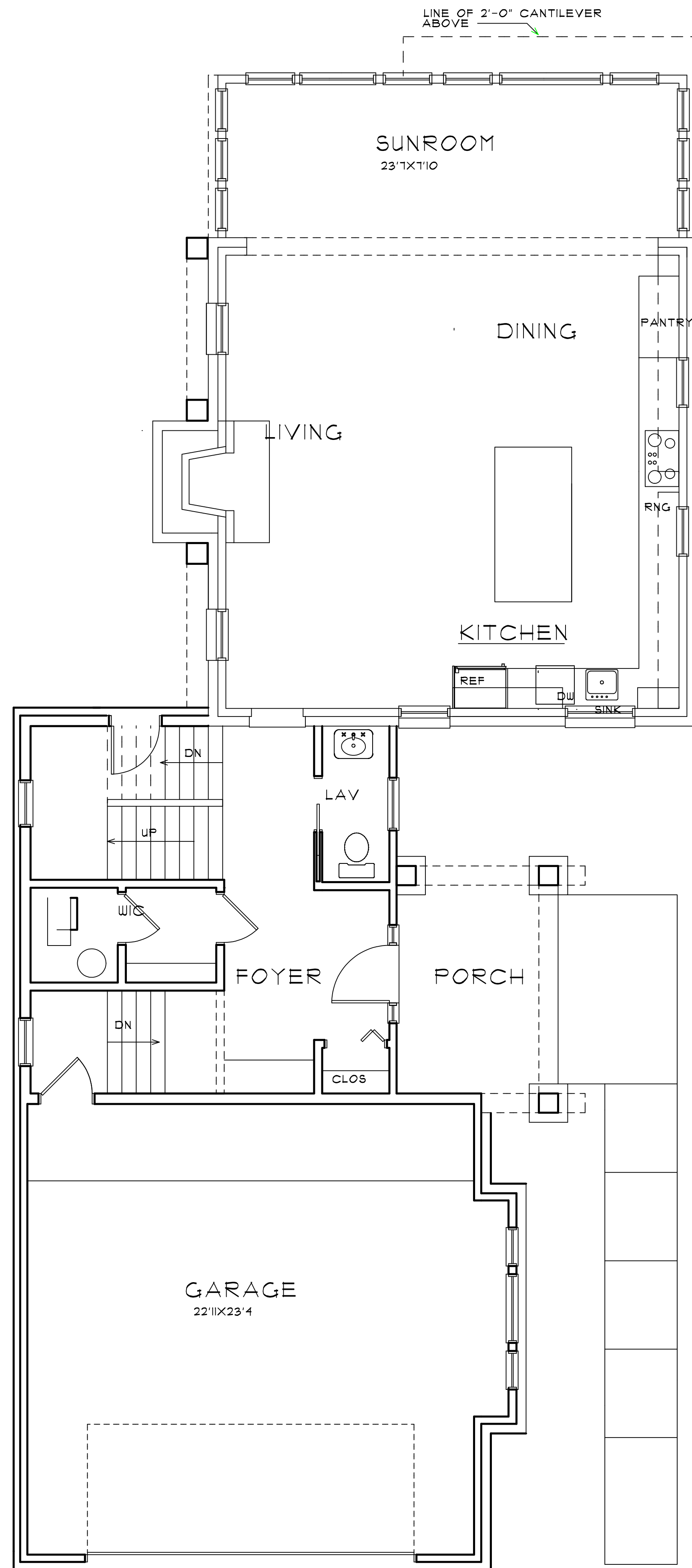
REVISION 6-15-17
6-3-17
DRAWN BY:
CHECKED BY:
DATE: 5-19-17

SEAL
SHEET NO.

1 OF 3

JOB NUMBER

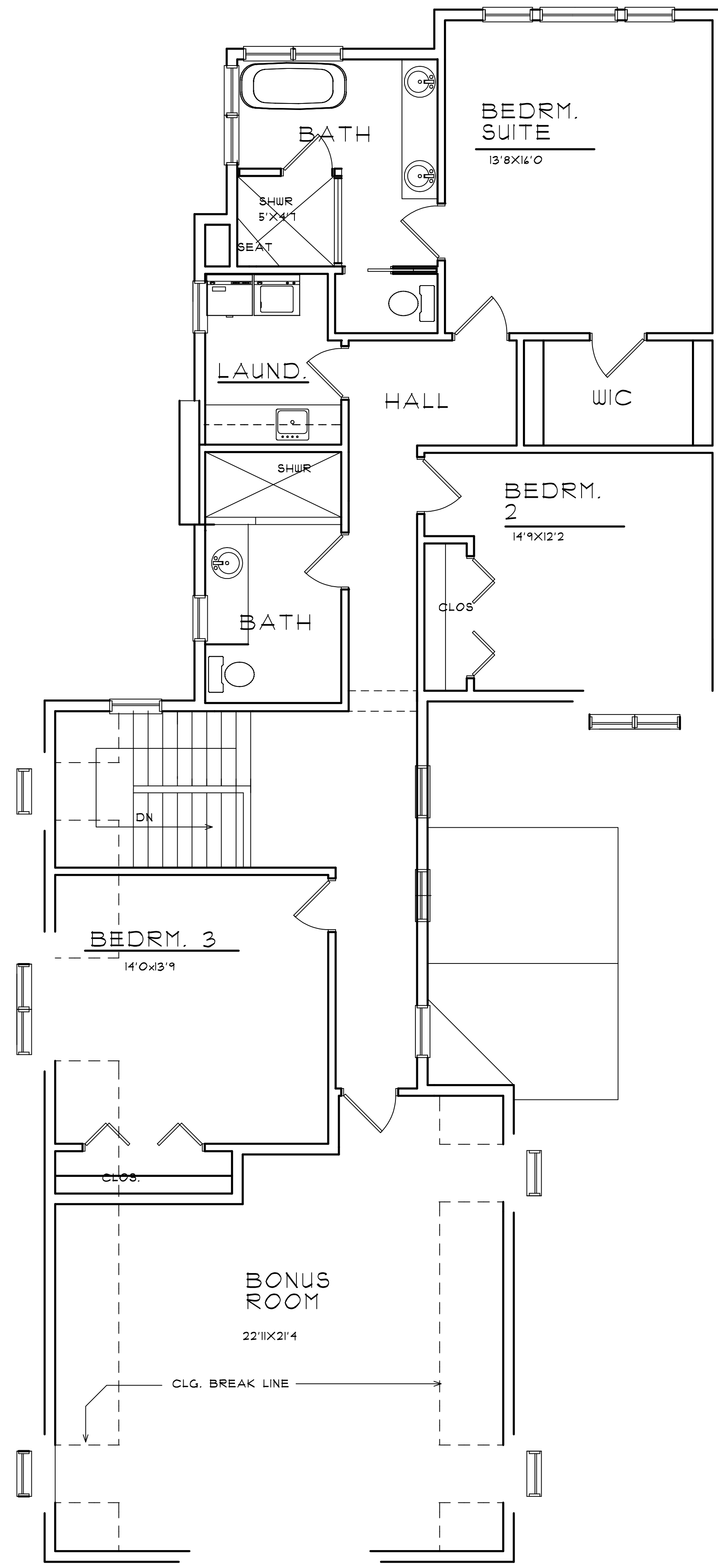
17-024-RA



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA: 852 SF EXISTING
388 SF NEW
1240 SF TOTAL



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

SCALE: 1,313 SF NEW



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LAKE ELEVATION
SCALE: 1/4"=1'-0"



HEINS & KWAPIS
ARCHITECTS P.C.

128 E. THIRD STREET
ROCHESTER, MICHIGAN
48307
PH: 248-651-6766
FAX: 248-651-8969
heinskwapis@earthlink.net

PROPOSED ADDITION
MR. AND MRS. TOOMAJIAN
4377 FILBERT DR.
BRIGHTON, MI

REVISION:	6-15-17
	6-3-17
DRAWN BY:	
CHECKED BY:	
DATE:	5-19-17

SEAL

SHEET NO.
2 OF 3

JOB NUMBER
17-024-RA



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



HEINS & KWAPIS
ARCHITECTS P.C.

126 E. THIRD STREET
ROCHESTER, MICHIGAN
48307
PH: 248-651-6766
FAX: 248-651-8969
heinsandkwapis@siglobe.net

PROPOSED ADDITION
MR. AND MRS. TOOMAJIAN
4311 FILBERT DR.
BRIGHTON, MI

REVISION: 6-15-17
6-3-17

DRAWN BY:

CHECKED BY:

DATE: 5-19-17

SEAL

SHEET NO.

3 OF 3

JOB NUMBER

17-024-RA

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
LEONARD, JOSEPH & CYNTHIA	TOOAJIAN MARTIN & JENNIFER	225,000	03/10/2017	WD	ARMS-LENGTH	2017R-008130	BUYER	100.0
LEONARD, ANNA M.	LEONARD, JOSEPH & CYNTHIA	260,000	03/30/2001	WD	ARMS-LENGTH	2958-0866	BUYER	100.0
LEONARD, ANNA & VIRGINIA	LEONARD, ANNA M.	0	07/20/1998	QC	QUIT CLAIM	2391-0610	BUYER	0.0

Property Address	Class: 401 RESIDENTIAL-IM	Zoning: LRR	Building Permit(s)	Date	Number	Status
4377 FILBERT DR	School: BRIGHTON		WOOD DECK	04/12/2001	01-163	NO START
	P.R.E. 100% 03/15/2017					
Owner's Name/Address	MAP #: V17-15					
TOOAJIAN MARTIN & JENNIFER 4377 FILBERT DR BRIGHTON MI 48116	2018 Est TCV Tentative					

Tax Description	X	Improved	Vacant	Land Value Estimates for Land Table 00082.ROUND LAKE									
				Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
SEC. 27 T2N, R5E, ROUND LAKE SUB. LOT 31				ROUND LAKE LF	50.00	359.00	1.0000	1.0000	2300	100		115,000	
				EXCESS ROUND	2.00	359.00	1.0000	1.0000	450	100		900	
				52 Actual Front Feet, 0.43 Total Acres				Total Est. Land Value =					115,900

Comments/Influences



The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

Public Improvements				* Factors *						
Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value				
X	Level									
	Rolling									
	Low									
	High									
	Landscaped									
	Swamp									
	Wooded									
	Pond									
	Waterfront									
	Ravine									
	Wetland									
	Flood Plain									
	REFUSE									
Who	When	What	2018	Tentative	Tentative	Tentative			Tentative	
			2017	58,000	62,900	120,900			117,106C	
			2016	92,200	37,200	129,400			116,062C	
			2015	92,200	36,300	128,500			115,715C	

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame	Eavestrough Insulation		X	Gas Wood	Oil Coal	Elec. Steam	Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System	1	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 316 512 100	Type CPP Pine Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	CnlyMult X 1.510	Bsmnt Garage:		
		0 Front Overhang 0 Other Overhang		X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling											Class: CD Effec. Age: 40 Floor Area: 858 Total Base Cost: 80,693 Total Base New : 121,847 Total Depr Cost: 73,108 Estimated T.C.V: 121,359	
X Wood Frame		Drywall Paneled	Plaster Wood T&G														
Building Style: CD		Trim & Decoration															
Yr Built 1926	Remodeled 0	Ex	X	Ord		Min											
Condition: Good		Size of Closets															
		Lg	X	Ord		Small											
		Doors:		Solid	X	H.C.											
Room List		(5) Floors			Central Air Wood Furnace												
Basement 1st Floor 2nd Floor 2 Bedrooms		Kitchen: Other: Other:			(12) Electric 0 Amps Service												
(1) Exterior		(6) Ceilings			No./Qual. of Fixtures			Stories Exterior			Foundation Rate			Bsmnt-Adj Heat-Adj		Size Cost	
X Wood/Shingle Aluminum/Vinyl Brick					Ex. X Ord. Min			1 Story Stone			Mich Bsmnt. 71.03			-4.56 0.97		650 43,836	
Insulation					No. of Elec. Outlets			1 Story Stone			Crawl Space 71.03			-9.13 0.97		208 13,077	
(2) Windows		(7) Excavation			Many X Ave. Few			Other Additions/Adjustments			Rate			Size Cost			
X Many Avg. Few		X Large Avg. Small		Basement: 650 S.F. Crawl: 208 S.F. Slab: 0 S.F. Height to Joists: 0.0			(13) Plumbing			Rate			Size Cost				
		Basement			Average Fixture(s)			(9) Basement Finish			Rate			Size Cost			
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Basement Living Finish 16.50 Walk out Basement Door(s) 700.00			Public Sewer 1025.00 Well, 200 Feet 4675.00			500 8,250 1 700			
(3) Roof		(8) Basement			(14) Water/Sewer			(15) Built-Ins & Fireplaces			Rate			Size Cost			
X Gable Hip Flat		X Gambrel Mansard Shed		Recreation SF Living SF 1 Walkout Doors No Floor SF			Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic			Fireplace: Interior 1 Story 2900.00			9.52		316 3,008		
X Asphalt Shingle		(9) Basement Finish			(14) Water/Sewer			(16) Porches			Rate			Size Cost			
Chimney: Brick		500			Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic			(16) Deck/Balcony			Rate			Size Cost			
		Lump Sum Items:						CPP, Standard 9.52			Pine, Standard 4.74			512 2,427			
								Treated Wood, Standard 7.95			Phy/Ab.Phy/Func/Econ/Comb.%Good= 60/100/100/100/60.0, ECF (4306 TRI LAKES LAKE FRONT) 1.660 => TCV of Bldg: 1 =			100 795		73,108 121,359	

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116

(810) 227-5225 | FAX (810) 227-3420

Case # 17-16

Meeting Date: July 18, 2017

PAID Variance Application Fee

\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: Jonathan Bowling

Property Address: 4800 Dillon St. Brighton Mi. 48116 Phone: 734-395-4209

Present Zoning: SR Tax Code: 11-25-401-0028

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. **Variance requested:** Requesting a variance of 40' set back from front property line (street side) to build a covered front porch.

2. **Intended property modifications:** To build a covered front porch addition

a. Unusual topography/shape of land (explain): _____

b. Other (explain): A covered front porch would provide shelter for couriers and guests during bad weather, look aesthetically pleasing to the neighborhood, and would promote outdoor living on the front of our home fostering relationships with others in the neighborhood.

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

Property must be staked showing all proposed improvements seven (7) days before the meeting and remain in place until after the meeting.

Date: 6/22/2017 Signature: 

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 5, 2017
RE: ZBA 17-16

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#17-16
Site Address: 4800 Dillion Street
Parcel Number: 4711-25-401-008
Parcel Size: .421
Applicant: Jonathan Bowling 4800 Dillion Street Brighton, MI 48116
Property Owner: Same as Applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard variance to construct a covered porch to existing single family home.

Zoning and Existing Use: SR (Suburban Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday July 2, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1965.
- See Assessing Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

The proposed project is to construct a covered porch to an existing single family home. In order to construct the addition, the applicant would be required to obtain front yard variance.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (SR District):	Required Front Yard Setback:	40'
	Proposed Front Yard Setback:	37'
	Proposed Variance Amount:	3'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

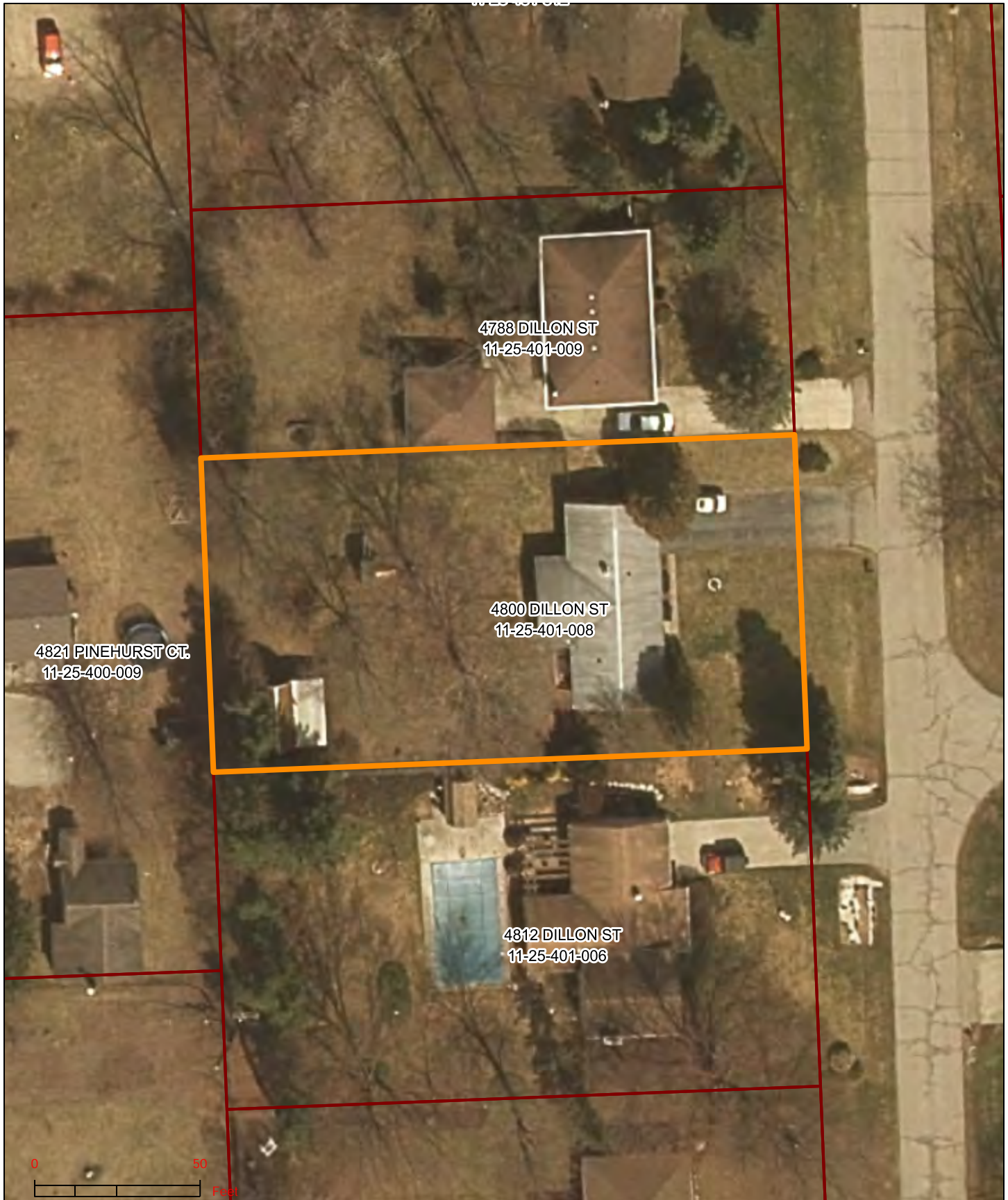
- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would prevent the applicant from constructing the covered porch to the existing single family home. Granting this variance would offer substantial justice to the applicant.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the non-conforming shallow lot and location of the existing home. The need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

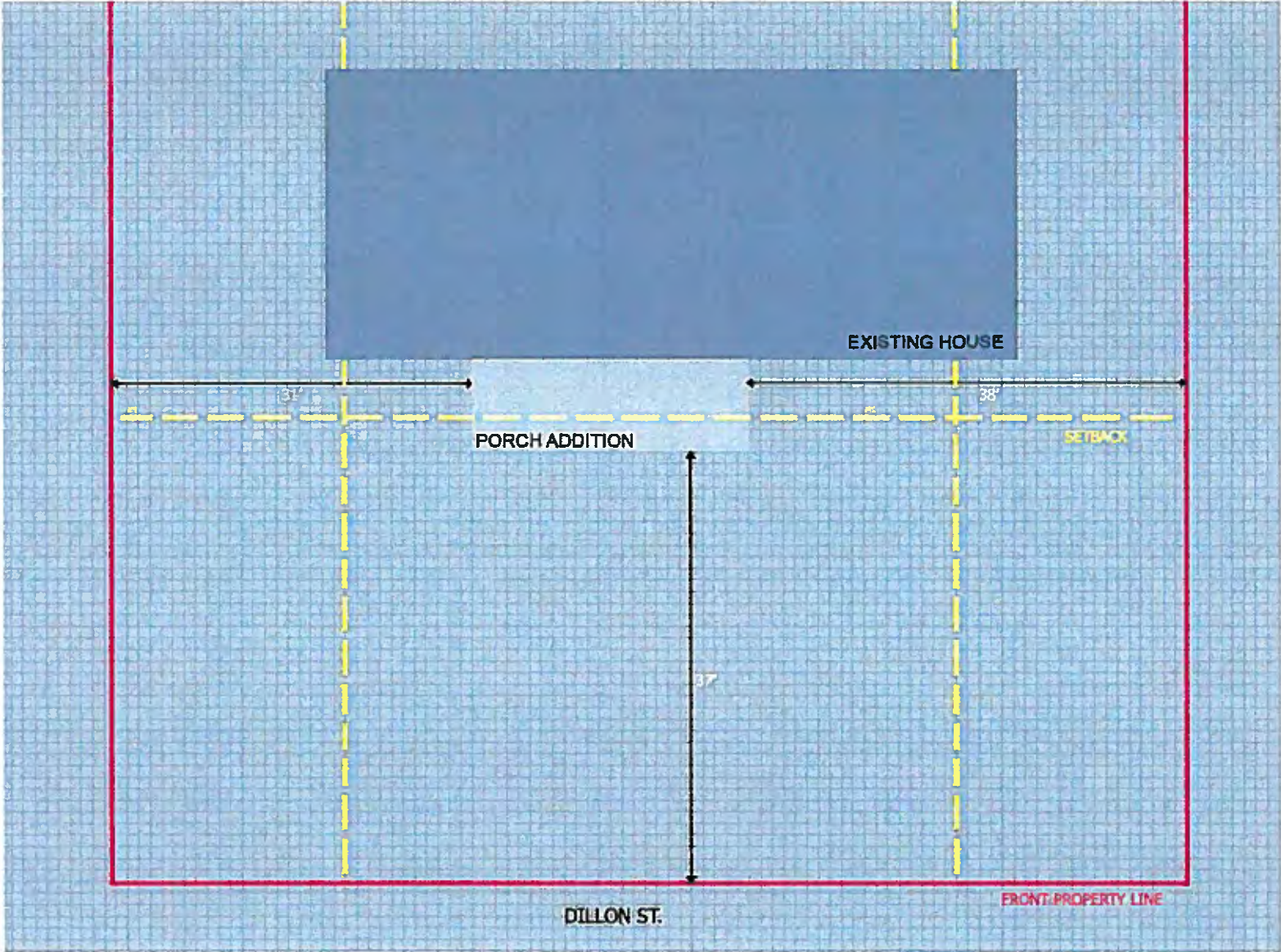
Recommended Conditions

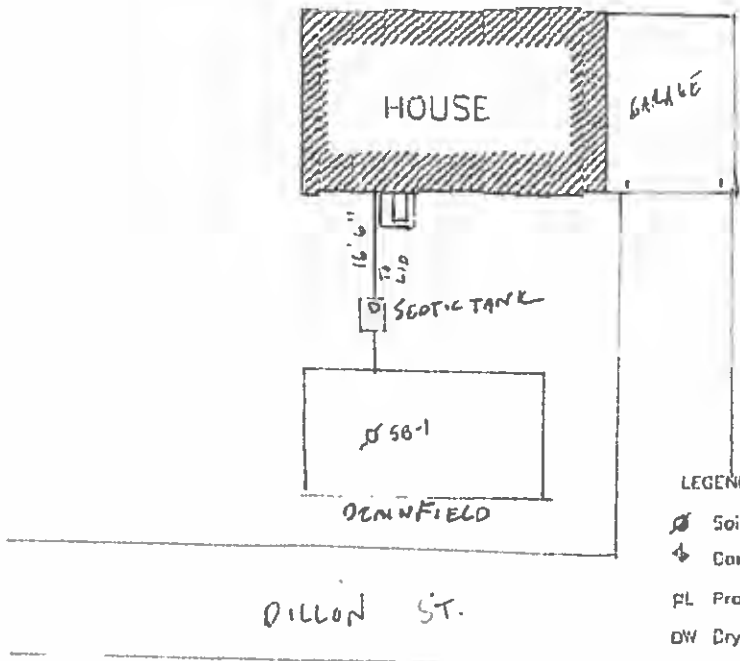
If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Drainage from the home must be maintained on the lot.
2. Structure must be guttered with downspouts.

GENOA TOWNSHIP







LEGEND

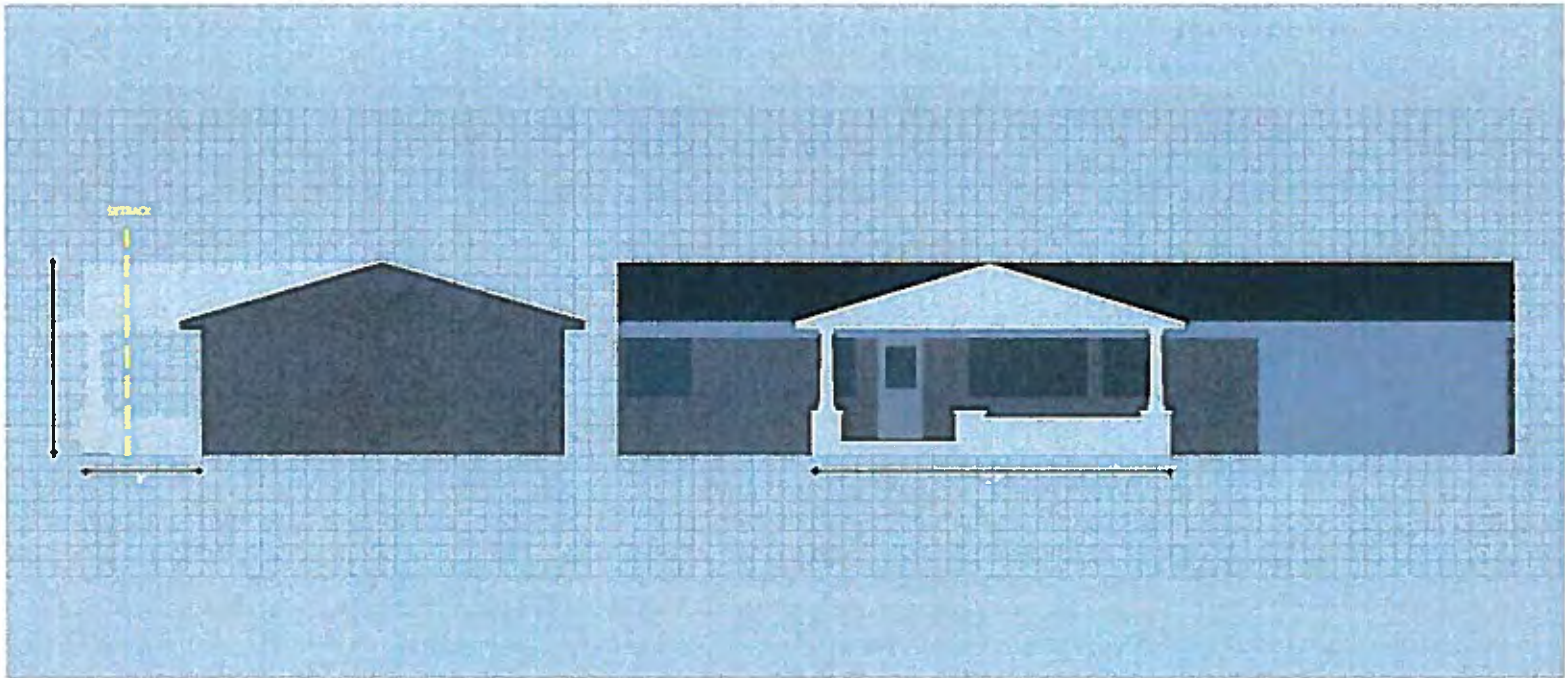
- ⊗ Soil Boring Location
- ⚡ Domestic Well Location
- PL Property Line
- DW Dry Well
- UST Underground Septic Tank

DISTANCE FROM WELL TO SEPTIC TANK
 DISTANCE FROM WELL TO SEPTIC FIELD

5-4-07

SEPTIC SYSTEM LAYOUT	
PROPERTY ADDRESS	
4800 DILLON ST. BRIGHTON, IN	
UNITED REPRESENTATIVE	CLIENT
DRAWN BY: MSB	MILBCK-D REALTOR
UNITED	
SCOTT G. FEITH	

⌄ from field notes, not a legal survey, not to scale.











Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
MIHOCKO EMILY	BOWLING JONATHAN & EMILY N	0	02/17/2013	QC	INVALID SALE	2013R-011948	BUYER	0.0		
FEDERAL NATIONAL MORTGAGE	MIHOCKO EMILY	138,500	06/21/2007	WD	FORECLOSURE	2007R-024449	BUYER	100.0		
GAZDECKI, GARY	FEDERAL NATIONAL MORTGAGE	83,224	01/19/2007	TA	INVALID SALE		BUYER	0.0		
PANNELA		108,400	09/28/1995	TA	PTA		BUYER	100.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: SR	Building Permit(s)		Date	Number	Status	
4800 DILLON ST		School: BRIGHTON			WINDOW/DOOR REPLACEMENT		05/01/2013	W13-070	NO START	
Owner's Name/Address		P.R.E. 100% 06/29/2007								
BOWLING JONATHAN & EMILY MIHOCKO- 4800 DILLON ST BRIGHTON MI 48116		MAP #: V17-16								
Tax Description		2018 Est TCV Tentative		Land Value Estimates for Land Table 00023.HOLLY DILLON MAG						
SEC. 25 T2N, R5E, MID-LAKES SUB N 1/2 OF LOT 7 AND ALL OF LOT 8 EXC. N. 7 FT.		X	Improved	Vacant	* Factors *					
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value						
		Dirt Road		'A' STANDARD FF 50.00 180.00 1.0000 1.0000 600 100 30,000						
		Gravel Road		'B' EXCESS FF 52.00 180.00 1.0000 1.0000 400 100 20,800						
		Paved Road		102 Actual Front Feet, 0.42 Total Acres Total Est. Land Value = 50,800						
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		LM	05/31/2013 REVIEWED R	2018	Tentative	Tentative	Tentative			Tentative
				2017	25,300	58,100	83,400			63,576C
				2016	25,500	50,500	76,000			63,009C
				2015	23,900	44,700	68,600			62,821C



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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 24 260	Type CPP WGEP (1 Story)	Year Built: Car Capacity: Class: C Exterior: Brick Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 480 % Good: 0 Storage Area: 0 No Conc. Floor: 0	
X	Wood Frame		(4) Interior Drywall Paneled				Plaster Wood T&G										
Building Style: C		Trim & Decoration Ex X Ord Min		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling			Central Air Wood Furnace			Class: C +10 Effec. Age: 49 Floor Area: 960 Total Base Cost: 126,434 Total Base New : 190,916 Total Depr Cost: 97,367 Estimated T.C.V: 113,140			CntyMult X 1.510 E.C.F. X 1.162			Bsmnt Garage: Carport Area: Roof:	
Yr Built 1965	Remodeled 0	Size of Closets Lg X Ord Small		Electric 0 Amps Service			No./Qual. of Fixtures Ex. X Ord. Min			Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj 1 Story Brick Basement 84.50 0.00 0.00			Size Cost 960 81,120				
Condition: Good		Doors: Solid X H.C.		No. of Elec. Outlets Many X Ave. Few			(13) Plumbing Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(16) Porches CPP, Standard 28.54 WGEP (1 Story), Standard 29.02			832 6,864 960 16,560				
Room List		(5) Floors Kitchen: Other: Other:		(14) Water/Sewer 1 Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:													
Basement 1st Floor 2nd Floor -16 Bedrooms		(6) Ceilings		(17) Garages Class:C Exterior: Brick Foundation: 42 Inch (Unfinished) Base Cost 24.35 Common Wall: 1 Wall -2275.00 Phy/Ab.Phy/Func/Econ/Comb.%Good= 51/100/100/100/51.0, Depr.Cost = 97,367 ECF (4009 HOLLY,DILLION,MAG) 1.162 => TCV of Bldg: 1 = 113,140													
(1) Exterior		(7) Excavation Basement: 960 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0															
X	Wood/Shingle Aluminum/Vinyl Brick Insulation	(8) Basement Conc. Block Poured Conc. Stone Treated Wood Concrete Floor															
(2) Windows Many Avg. Few X Avg. X Avg. Large Small		(9) Basement Finish 960 Recreation SF Living SF Walkout Doors No Floor SF															
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens																	
(3) Roof X Gable Hip Flat X Asphalt Shingle Chimney: Brick		(10) Floor Support Joists: Unsupported Len: Cntr.Sup:															

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116

(810) 227-5225 | FAX (810) 227-3420

Case # 17-17

Meeting Date: 7-18-17

PAID Variance Application Fee

\$125.00 for Residential | \$300.00 for Commercial/Industrial

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Applicant/Owner: Jon + Bonnie Unruh

Property Address: 4220 Highest Dr Phone: 610-220-0220

Present Zoning: LRR Tax Code: 4711-22-302-178

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance:

1. Variance requested: modification to front yard setback from the required 35' to 20'

2. Intended property modifications: Adding an attached garage with bonus room above

a. Unusual topography/shape of land (explain): _____

b. Other (explain): _____

The following is required. Failure to meet this requirement may result in postponement or denial of this petition.

Property must be staked showing all proposed improvements seven (7) days before the meeting and remain in place until after the meeting.

Date: 6/23/17 Signature: [Signature]

Application must be completely filled out before submittal to Township and all submittal requirements must accompany application.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Amy Ruthig, Zoning Official
DATE: July 5, 2017

RE: ZBA 17-17

STAFF REPORT

File Number: ZBA#17-17
Site Address: 4220 Highcrest Drive
Parcel Number: 4711-22-302-178
Parcel Size: .247
Applicant: Jon and Bonnie Unruh, 4220 Highcrest Brighton 48116
Property Owner: Same as Applicant

Information Submitted: Application, site plan, conceptual drawings

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard variance to construct an addition to an existing home.

Zoning and Existing Use: LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday July 2, 2017 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1930 and a land use permit was issued in 1997 for an addition.
- See Assessing Record Card.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

MANAGER

Michael C. Archinal

The proposed project is to construct an attached garage and bonus room to an existing single family home. In order to construct the addition as proposed, the applicant is required to obtain a front yard variance. The location of the front (road side) property line on the drawing varies considerably from the parcel aerial overlay on the GIS map provided. Although not 100% accurate staff has found these GIS files to be mostly reliable and in this situation a survey verifying the property line and roadway locations may be appropriate. Since the publication date, it has been determined that a lot coverage variance is not required.

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

Table 3.04.01 (LRR District):	Required Front Yard Setback:	35
	Proposed Front Yard Setback:	20
	Proposed Variance Amount:	15

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the front yard setback would prevent the applicant from constructing the addition to the existing single family home as proposed. There are other homes in the vicinity with reduced front yard setbacks that would support substantial justice.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the non-conforming location of the existing home and narrow lot. Granting of the variance would make it consistent with many homes in the vicinity. The need for the variance is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property. It might cause an increase in congestion to the public streets with parking and the backing of the vehicle into the street. The applicant should demonstrate there will be sufficient on-site parking.
- (d) Impact on Surrounding Neighborhood** – Providing the parking concerns are addressed, the proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

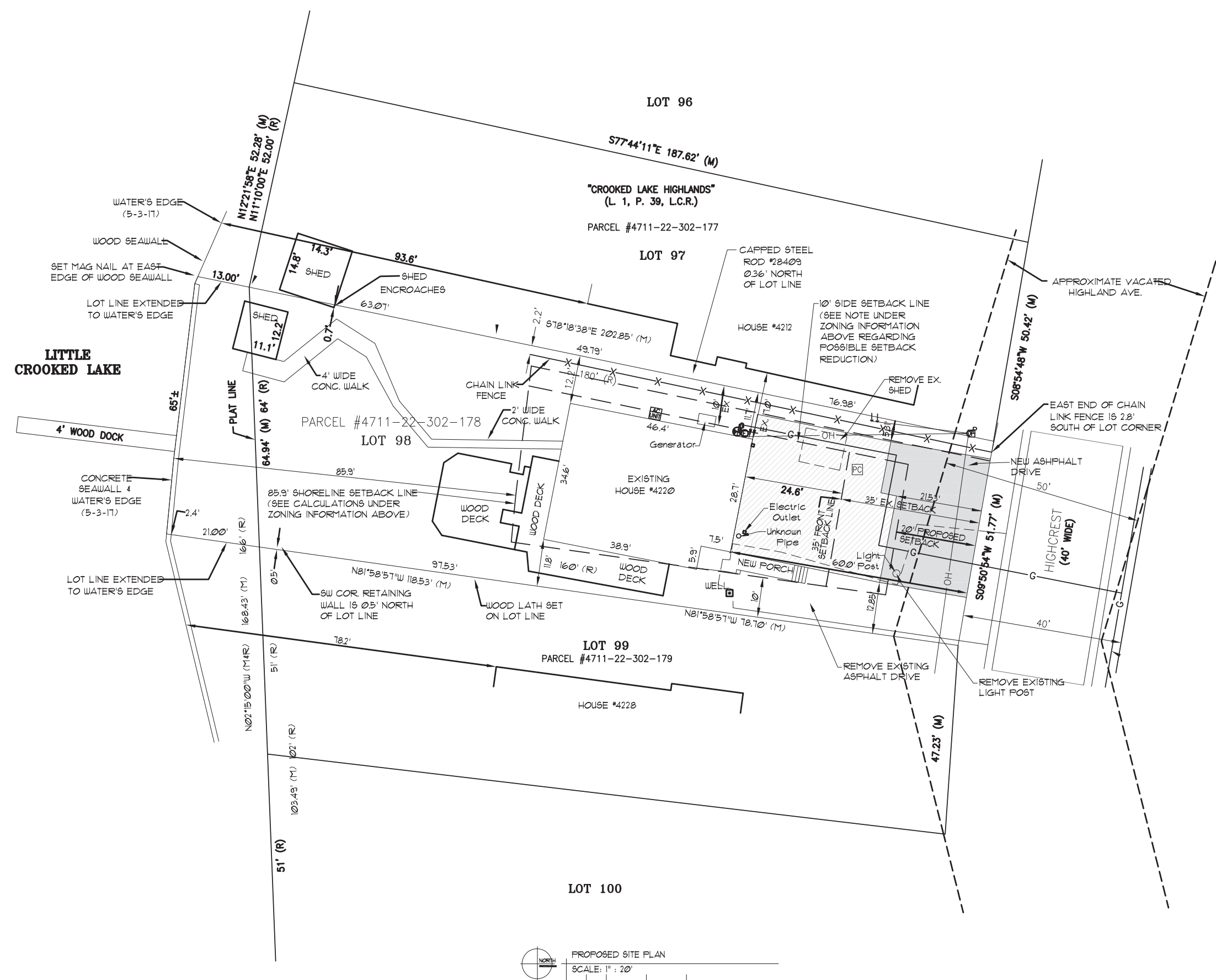
Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Drainage from the home must be maintained on the lot.
2. Structure must be guttered with downspouts.
3. Sufficient on-site parking shall be maintained at all times.

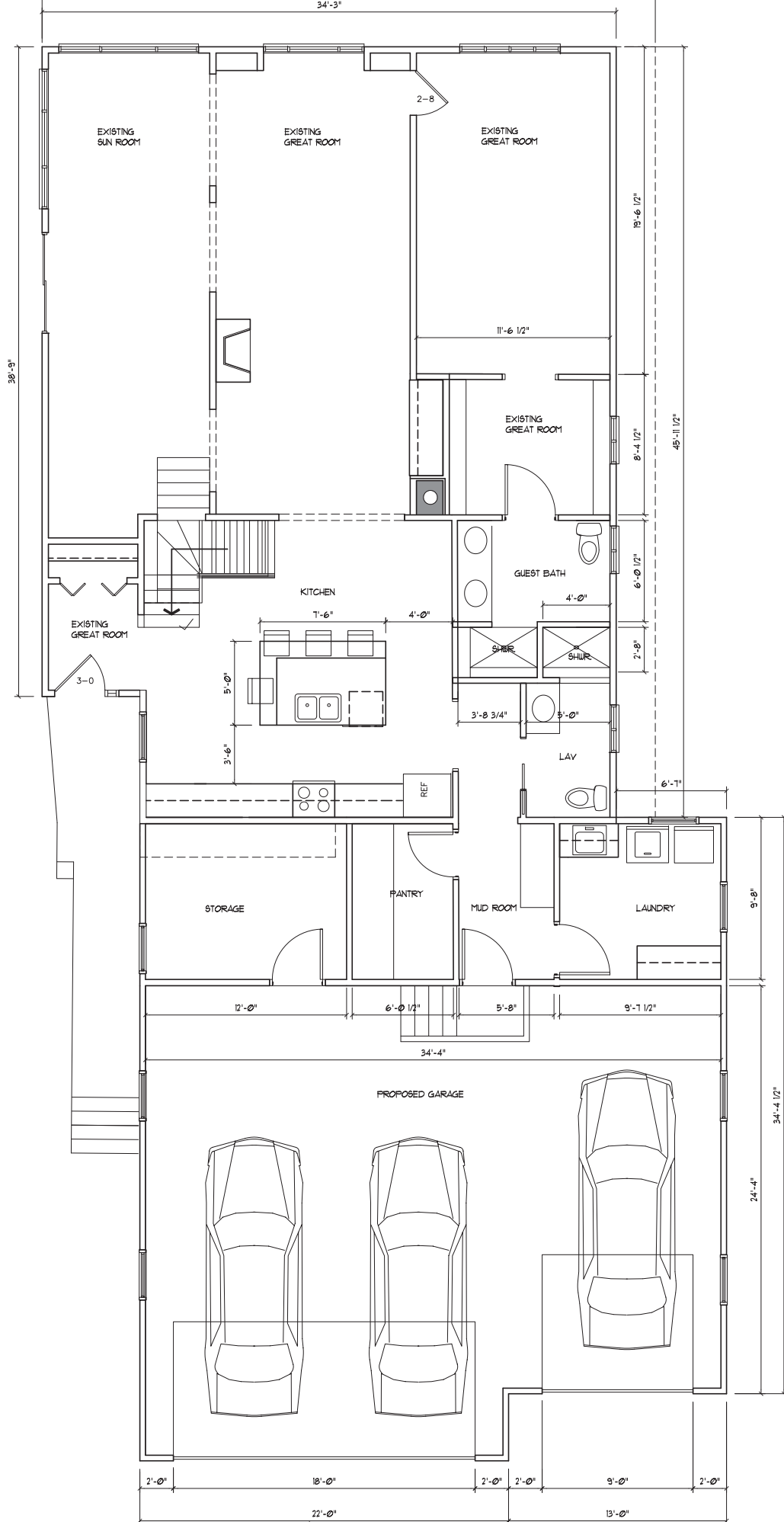
GENOA TOWNSHIP



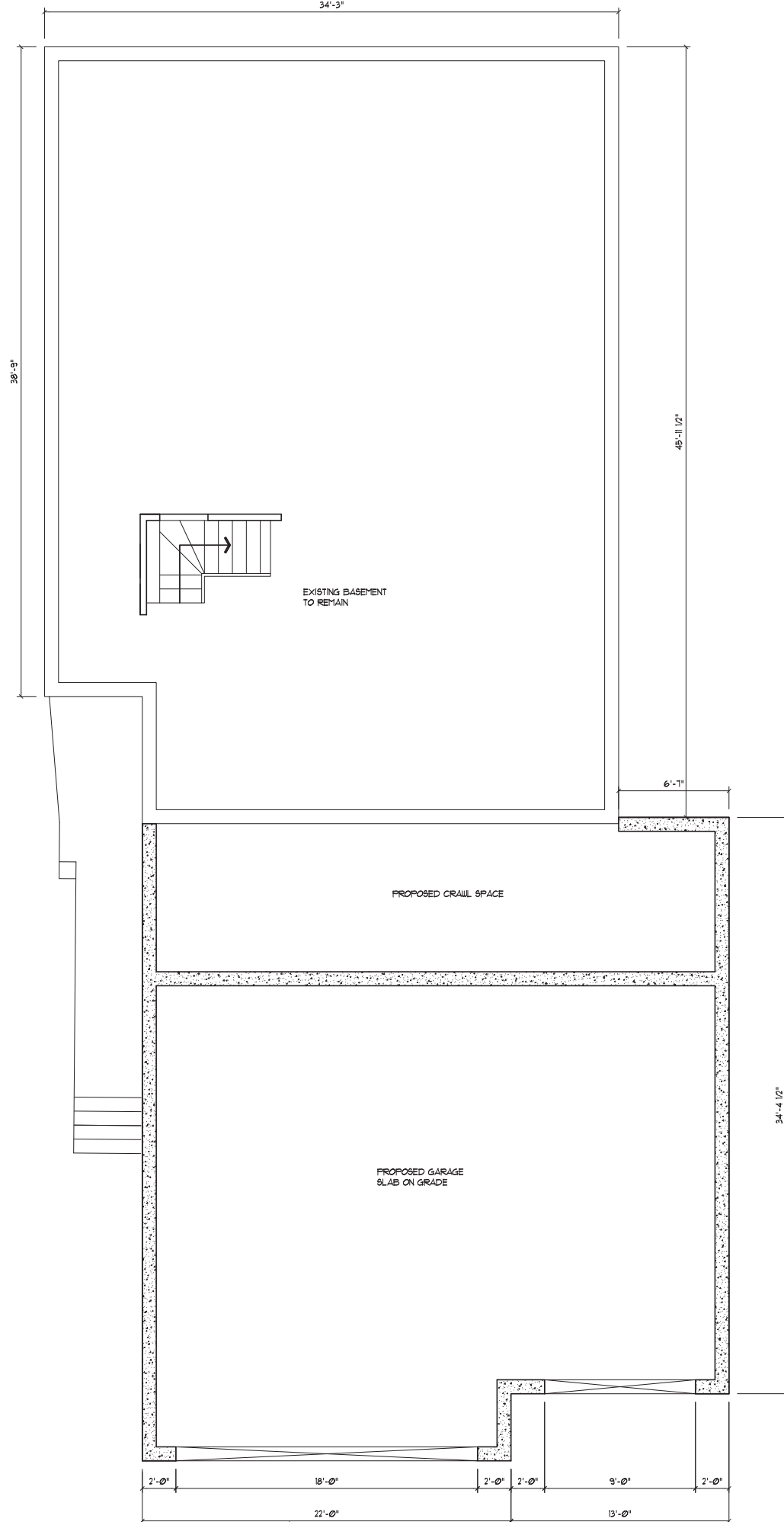


PROPOSED SITE PLAN
 SCALE: 1" = 20'

SEAL :



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

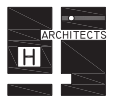
issued for	date
ZBA	6/23/2011

DATE :
DRAWN :
CHECKED :
SCALE :
JOB NO :
sheet

A100

SEAL :

DATE PLOTTED: 6/23/2011 10:58:10 AM



HOUSE-SEAMAN ARCHITECTS, PLLC.
Architecture | Planning | Interior Design
5777 Fabius Dr.
Brighton, MI 48116
(PH) 810.531.1902
HOUSE-SEAMAN-ARCHITECTS.COM

project title
**PROPOSED GARAGE ADDITION
JON & BONNIE UNRUH
4220 HIGHCREST**
BRIGHTON, MI

Consultant:

NOTICE

THIS PROFESSIONAL ARCHITECTURAL DRAWING IS GIVEN IN CONFIDENCE. NO USE, REPRODUCTION, OR DISSEMINATION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT THE WRITTEN CONSENT OF HOUSE-SEAMAN ARCHITECTS, PLLC. ALL RIGHTS ARE HEREBY RESERVED.
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BRIGHTON, MI 48116
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sheet title
ELEVATION

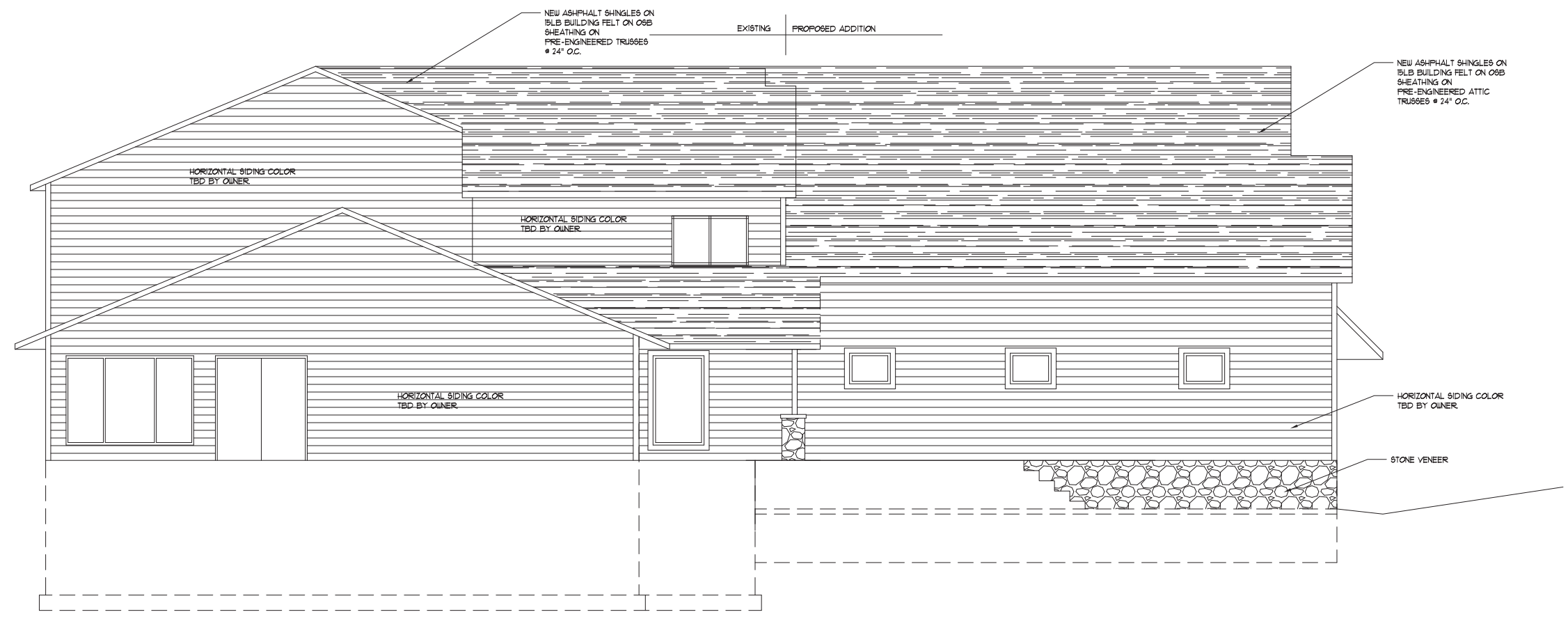
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USE FIGURED DIMENSIONS ONLY

issued for	date
ZBA	6/23/2011

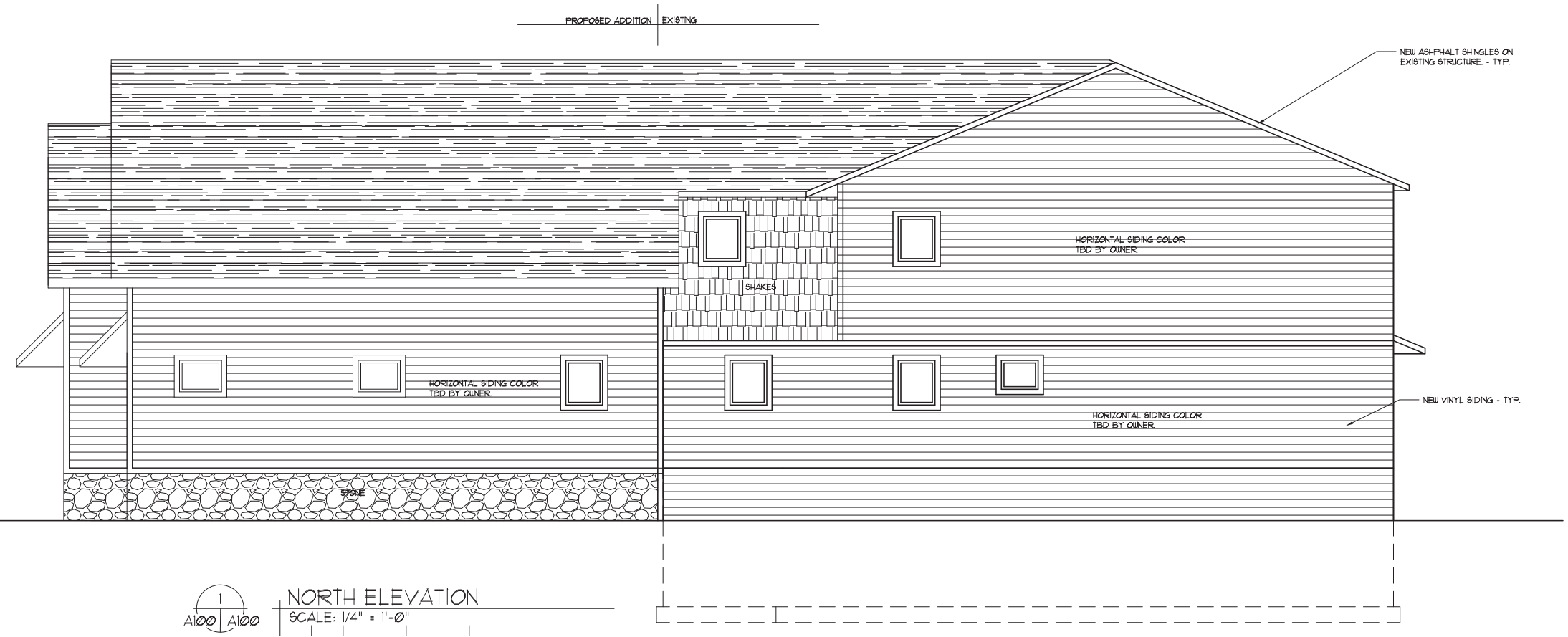
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JOB NO :
sheet

A200

SEAL :

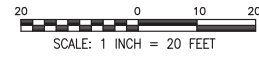


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SURVEY/PLOT PLAN



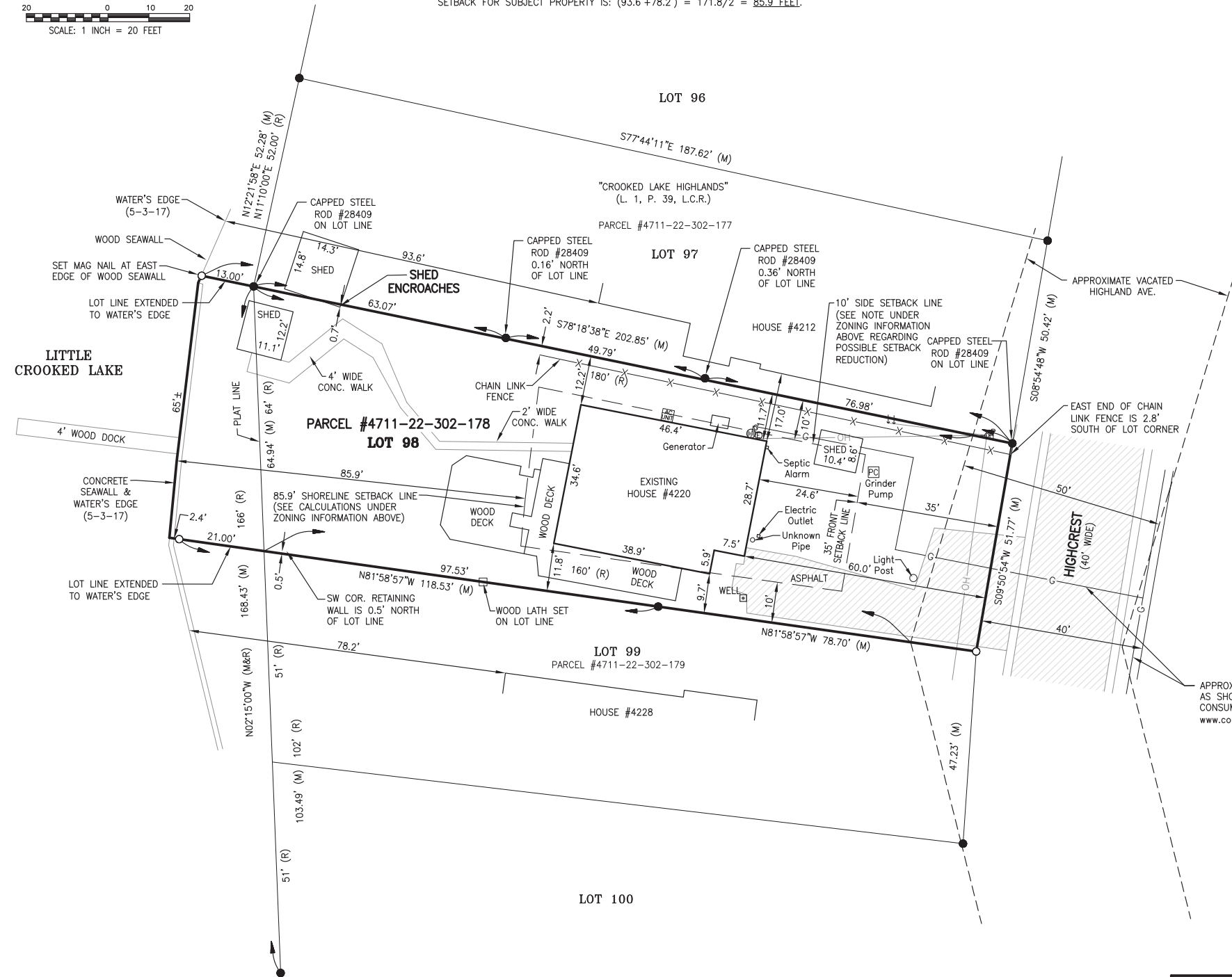
CURRENT ZONING: LRR (LAKESHORE RESORT RESIDENTIAL)
 MINIMUM BUILDING SETBACK REQUIREMENTS:
 FRONT = 35 FEET
 SIDES = 10 FEET; NOTE: In the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met:
 (1) The other side yard must be at least ten (10) feet.
 (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet.
 (3) The roof shall have gutters. (as amended 3/5/10)
 REAR = 40 FEET
 SHORELINE SETBACK FOR SITES CONNECTED TO PUBLIC SEWER IN LRR DISTRICT:
 = Minimum 40 feet or consistent with the setbacks of adjacent principal buildings, whichever is greater as determined by the Zoning Administrator. If the setbacks of adjacent principal buildings vary because of irregular shoreline, the setback shall be the average of all lots within 500 feet along the shoreline or 40 feet whichever is the greater. THE AVERAGE SHORELINE SETBACK FOR SUBJECT PROPERTY IS: $(93.6' + 78.2') \div 2 = 171.8 \div 2 = 85.9$ FEET.

GENERAL SURVEY NOTES:

- BEARINGS WERE ESTABLISHED FROM THE PLAT OF "CROOKED LAKE HIGHLANDS SUBDIVISION", AS RECORDED IN LIBER 1 OF PLATS, PAGES 39 AND 40, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

LEGEND

- o-P POWER POLE
- | GUY WIRE
- ⊙ ELECTRICAL METER
- ⊞ AIR CONDITIONING UNIT
- ⊞ WELL
- ⊞ TELEPHONE RISER
- ⊞ GAS METER
- CAPPED 1/2" STEEL ROD SET
- STEEL ROD OR PIPE FOUND
- ⊞ MONUMENT
- ⊞ PUMP CHAMBER
- ⊞ WOOD LATH SET ON LOT LINE
- X- FENCE
- OH- OVERHEAD WIRES
- G- GAS MAIN
- CONC. CONCRETE
- L. LIBER
- P. PAGE
- L.C.R. LIVINGSTON COUNTY RECORDS
- (R&M) RECORD AND MEASURED



APPROXIMATE GAS MAIN AND GAS LEAD AS SHOWN ON SKETCH OBTAINED FROM CONSUMERS ENERGY WEBSITE:
www.consumersenergy.com/sims

PROPERTY DESCRIPTION PER WARRANTY DEED, AS RECORDED IN LIBER 1716, PAGE 385, LIVINGSTON COUNTY RECORDS:

LOT 98 OF CROOKED LAKE HIGHLANDS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 39 AND 40, LIVINGSTON COUNTY RECORDS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

PROJECT **4220 HIGHCREST, BRIGHTON, MI**

PREPARED FOR **JON UNRUH**
 4220 HIGHCREST
 BRIGHTON, MI 48116
 248-866-4895

TITLE **SURVEY/PLOT PLAN**

NO.	BY	REVISION	PER	DATE

DESIGNED BY: _____
 DRAWN BY: AEB
 CHECKED BY: _____
 SCALE 1" = 20'
 JOB NO. 17-148
 DATE 5-20-17
 SHEET NO. **1 OF 1**

Amy Ruthig

From: Kelly House-Seaman <Kelly@House-Seaman-Architects.com>
Sent: Wednesday, July 05, 2017 5:04 PM
To: Amy Ruthig
Cc: unruh@comcast.net; Kelly@house-seaman-architects.com
Subject: Lot coverage calculation

Amy:

Per your request I calculated the lot coverage-as follows:

The Total lot area calculated based on the survey = 11,730.21 S.F.

Structure Area Coverage allowed = $11,730.21 \times .35 = 4,105.50$ S.F.

Existing House = 1,562 S.F.

Existing Deck = 556 S.F.

Existing Shed = 136 S.F.

Proposed addition = 1,400 S.F.

Structure Area = $3,654 \text{ S.F.} / 11,730 = 31.15\%$ (35% is allowed so we are OK)

Total impervious surface Allowed = $11,730.21 \times .50 = 5,865.105$ S.F.

Total Structures = 3,654 S.F.

Concrete walk = 288.17 S.F.

Proposed drive = 811.36 S.F.

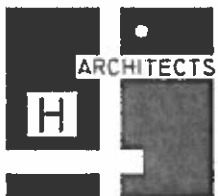
Total impervious surface = $4753.53 \text{ S.F.} / 11,730.21 = 40.5\%$ (50% is allowed so we are OK)

If you need any other information please let me know.

Thank you,

Kelly House-Seaman, AIA, NCARB, LEED AP

House-Seaman Architects, PLLC



5797 Felske Dr.
Suite 400
Brighton, Mi 48116
(810) 531-1902

Email: kelly@house-seaman-architects.com

Website: house-seaman-architects.com

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
		220,000	07/02/1993	WD	INVALID SALE	17160385	BUYER	0.0				
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status				
4220 HIGHCREST		School: BRIGHTON			ADDITION	07/01/1997	97-259	NO START				
Owner's Name/Address		P.R.E. 100% / /										
UNRUH, JON & BONNIE 4220 HIGHCREST BRIGHTON MI 48116		MAP #: V17-17										
Tax Description		2018 Est TCV Tentative										
SEC. 22 T2N, R5E, CROOKED LAKE HIGHLANDS SUB. LOT 98		X	Improved	Vacant	Land Value Estimates for Land Table 00083.TRI LAKES LAKE FRONT							
Comments/Influences		Public Improvements		* Factors *								
		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
		Gravel Road		A LAKE FRONT	50.00	163.00	1.0000	1.0000	3000	100		150,000
		Paved Road		B EXC W CR LK	16.00	163.00	1.0000	1.0000	1100	100		17,600
		Storm Sewer		66 Actual Front Feet, 0.25 Total Acres				Total Est. Land Value =		167,600		
		Sidewalk		Land Improvement Cost Estimates								
		Water		Description	Rate	County	Mult.	Size	%Good	Cash Value		
		Sewer		Shed: Wood Frame	11.06	1.00		120	49	650		
		Electric		Total Estimated Land Improvements True Cash Value =				650				
		Gas										
		Curb										
		Street Lights										
		Standard Utilities										
		Underground Utils.										
		Topography of Site										
		Level										
		Rolling										
		Low										
		High										
		Landscaped										
		Swamp										
		Wooded										
		Pond										
		Waterfront										
		Ravine										
		Wetland										
		Flood Plain										
		REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value		
		X	When	What	2018	Tentative	Tentative	Tentative			Tentative	
		CG	07/28/2016	REVIEWED R	2017	83,800	106,800	190,600			101,768C	
					2016	64,700	104,000	168,700			100,861C	
					2015	64,700	101,600	166,300			100,560C	



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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan 1 Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 556	Type Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:									
X	Wood Frame		Drywall Paneled		Plaster Wood T&G		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling		Central Air Wood Furnace		(12) Electric 0 Amps Service		Class: C +5 Effec. Age: 70 Floor Area: 2896 Total Base Cost: 187,495 Total Base New : 283,118 Total Depr Cost: 127,403 Estimated T.C.V: 211,489		CntyMult X 1.510 E.C.F. X 1.660	Bsmnt Garage: Carport Area: Roof:									
Building Style: C		Trim & Decoration		No./Qual. of Fixtures			Stories Exterior			Foundation			Rate			Bsmnt-Adj		Heat-Adj		Size		Cost			
Yr Built 1930		Remodeled 0		Ex X Ord Min			1 Story Siding			Basement			65.54			0.00		0.00		228		14,943			
Condition: Good		Lg X Ord Small		No. of Elec. Outlets			2 Story Siding			Basement			103.64			0.00		0.00		1334		138,256			
Room List		(5) Floors		Kitchen: Other: Other:			Other Additions/Adjustments			Rate															
Basement 1st Floor 2nd Floor 2 Bedrooms		(6) Ceilings		(7) Excavation			(9) Basement Finish			Basement Recreation Finish			11.45					1562		17,885					
(1) Exterior				Basement: 1562 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0			(13) Plumbing			3 Fixture Bath			2400.00					1		2,400					
X	Wood/Shingle Aluminum/Vinyl Brick Insulation			(8) Basement			(14) Water/Sewer			Public Sewer			1162.00					1		1,162					
(2) Windows		Many Avg. Few		X Avg. Small		Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(15) Built-Ins & Fireplaces			Hot Tub			4455.00					1		4,455			
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens				(9) Basement Finish			(16) Deck/Balcony			Treated Wood,Standard			6.15					556		3,419					
X		Gable Hip Flat		Gambrel Mansard Shed		(10) Floor Support			Phy/Ab.Phy/Func/Econ/Comb.%Good= 45/100/100/100/45.0,			Depr.Cost =					127,403								
X		Asphalt Shingle				Joists: Unsupported Len: Cntr.Sup:			1000 Gal Septic 2000 Gal Septic			Lump Sum Items:													
Chimney: Brick																									

*** Information herein deemed reliable but not guaranteed***

From: TIM CHOUNARD <timchouinard@sbcglobal.net>

Date: July 11, 2017 at 3:24:20 PM EDT

To: Amy Ruthig <amy@genoa.org>

Subject: Hope

Reply-To: TIM CHOUNARD <timchouinard@sbcglobal.net>

Hi Amy

I would like to withdraw my varaince request for the July 18th 2017 meeting.

Thank you

Tim Chouinard

Chouinard Custom Homes LLC

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
June 20, 2017 6:30 PM**

MINUTES

Call to Order: Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were present as follows: Jeff Dhaenens, Jean Ledford, Barb Figurski, and Amy Ruthig, Zoning Official. Absent were Marianne McCreary and Dean Tengel.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of the Agenda:

Moved by Figurski, seconded by Ledford, to approve the agenda as presented. **The motion carried unanimously.**

Chairman Dhaenens stated that there are only three members here this evening so a unanimous vote is needed for a variance request to be approved. Each applicant has the choice to have their item tabled until the next regularly-scheduled ZBA meeting.

Call to the Public: The call to the public was made at 6:32 pm with no response.

1. 17-11 ... A request by Janet Evans, 4276 Highcrest, for a front yard variance to construct an addition.

Moved by Figurski, seconded by Ledford, to table Case #17-11 per the applicant's request. Ms. Ruthig stated that the Township Manager asked to have a special meeting scheduled for this case because the need to have it tabled was caused by the number of Board Members being present. **The motion carried unanimously.**

2. 17-12 ... A request by Brice Nelson, vacant lot Forest Beach Drive, Parcel #11-26-301-024, for two side-yard variances to construct a single-family home.

Mr. Brice Nelson was present. He stated that his son has a rare genetic disability so they would like to move to Livingston County to meet his educational needs. Their home also needs to have special accommodations. His property is non-conforming to the low density residential zoning district as it is less than one acre. It is very long and narrow. In order to comply with all of the setback requirements it would be impossible to build a home on this lot without a variance. There is also a high water mark so they will not be able to have a basement and would like to be able to use the second floor for storage.

Board Member Figurski asked why the home cannot be smaller and noted that there is a two-car attached garage proposed.

Board Member Ledford stated that the applicant should first buy a lot that would accommodate the home that he wants to build. Mr. Nelson stated that no home would be able to be built on this lot with the required setbacks. Ms. Ruthig stated his setbacks are 30 feet on each side and the width of his lot is 75 feet.

Mr. Nelson noted that there is 25 feet between his home and one of his neighbors and 75 feet between his and the home on the other side.

Board Member Figurski does not feel comfortable approving such a large variance. She does not feel that the homes in the area are compatible to the home that the applicant wants to build.

The call to the public was made at 6:50 pm.

Mr. Milne of 6501 Forest Beach suggested that the applicant combine this lot and the lot adjacent to it, that he already owns, demolish the existing home, and build the home that he wants.

Reid Nelson of 4900 Foster Lane, Belgrade, MT is in support of Mr. Nelson. He is a builder and understands Mr. Nelson's problem. Combining the two lots and demolishing the existing home is very costly. It would allow for larger setbacks, but there would not be much more than that gained.

Mike Morgan of 6483 Forest Beach stated that in 1998 he was granted two side-yard variances for his lot and built a home with an attached garage. His setbacks are 8 feet on one side and 15 feet on the other. His adjacent neighbor received two side-yard variances to build a home with a two-car attached garage. He is in support of Mr. Nelson receiving this variance as it has been done before in this neighborhood and in other areas of the Township.

The call to the public was closed at 7:02 pm.

Chairman Dhaenens stated that each case is unique and decisions for approving or denying variances from previous cases is not relevant and does not set a precedent. The Board looks at the impact on the neighborhood and the safety and welfare of the residents in the area for each individual case.

Mr. Nelson understands that each case is different; however, the Board approved an 11-foot variance on one side and a 13-foot variance on the other side for a property just last month. He believes his request is consistent with the neighborhood and granting the variance would provide substantial justice. He needs a therapy room, storage, and a certain kitchen design to keep his son safe because of his disability. He added that the lot is wider toward the lake so the setback would be larger toward the rear of the home.

Chairman Dhaenens advised the applicant that the homes in the area are longer and narrower than what he is proposing to build.

Moved by Ledford, seconded by Figurski, to postpone Case #17-12, at the applicant's request, until the next regularly-scheduled ZBA meeting. **The motion carried unanimously.**

Administrative Business:

1. Approval of the minutes for the May 16, 2017 Zoning Board of Appeals Meeting

Moved by Figurski, seconded by Ledford, to approve the May 16, 2017 Zoning Board of Appeals Meeting minutes as presented. **The motion carried unanimously.**

2. Correspondence – Ms. Ruthig had no correspondence.
3. Township Board Representative Report - Board Member Ledford gave a review of the Township Board meetings held on June 5th and June 19, 2017.
4. Planning Commission Representative Report – Board Member Figurski gave a review of the June 12, 2017 Planning Commission meeting.
5. Zoning Official Report

Ms. Ruthig provided an update on the issue with Mr. Okopski. The Township attorney stated that if the variance was going to be revoked, a hearing would need to be held. There does not seem to be sufficient evidence of what he was burning. The fire department did not confirm that there was chicken manure. They only observed sticks and leaves. The Board agreed to not proceed with revoking the variance.

A special meeting needs to be held for the items on tonight's agenda per the Township Manager. It is not the fault of the applicants that a full Board was not present. Ms. Ruthig will send out an e-mail with possible dates.

6. Member Discussion – There were no items to discuss.
7. Adjournment

Moved by Figurski, seconded by Ledford, to adjourn the meeting 7:38 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary