

**GENOA CHARTER TOWNSHIP BOARD**

**November 21, 2016**

**Regular Meeting**

**6:30 p.m.**

**AGENDA**

Call to Order:

Pledge of Allegiance:

Issuance of the Oath of Office to the newly-elected Genoa Township Board by Township Clerk Skolarus.

Call to the Public (Public comment will be limited to two minutes per person)\*:

**Approval of Consent Agenda:**

1. Payment of Bills.
2. Request to Approve Minutes: November 7, 2016

**Approval of Regular Agenda:**

3. Request for approval of the Principles of Governance and Endorsement by the newly-elected Board.
4. Request to approve the 2017 instructions for poverty exemption, guidelines for poverty exemption, poverty exemption application, and poverty exemption worksheet as submitted by the Township Assessor.
5. Request for approval of Resolution No. 161121 – The Right of Michigan to Protect our Natural Resources.
6. Request to approve the Environmental Impact Assessment (11-16-2016) corresponding to the site plan for an expansion of 34 parking spaces for Brighton Dermatology located at 6888 Grand River Avenue in Brighton. The request is petitioned by Howard Lipkin.
7. Request to enter into closed session to discuss pending litigation pursuant to MCL 15.268 § 8 (e).

Correspondence

Member Discussion

Adjournment

\*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: November 21, 2016

TOWNSHIP GENERAL EXPENSES: Thru November 21, 2016	\$142,683.21
November 8, 2016 Election Payroll	\$20,972.21
November 18, 2016 Bi Weekly Payroll	\$83,723.10
OPERATING EXPENSES: Thru November 21, 2016	\$94,708.18
TOTAL:	<u>\$342,086.70</u>

Check Date	Check	Vendor Name	Amount
Bank FNBACK CHECKING ACCOUNT			
11/02/2016	33237	DTE ENERGY	794.77
11/02/2016	33238	SEWARD PECK & HENDERSON PLLC	2,914.00
11/03/2016	33239	PERFECT MAINTENANCE CLEANING	565.00
11/07/2016	33240	BUSINESS IMAGING GROUP	143.83
11/07/2016	33241	COMCAST	323.81
11/07/2016	33242	CONSUMERS ENERGY	93.21
11/07/2016	33243	CONTINENTAL LINEN SERVICE	108.02
11/07/2016	33244	LIVINGSTON COUNTY TREASURER	128.68
11/07/2016	33245	PERFECT MAINTENANCE CLEANING	565.00
11/07/2016	33246	PFEFFER-HANNIFORD-PALKA	4,725.00
11/08/2016	33247	JET'S PIZZA	458.31
11/09/2016	33248	ACCELA, INC #774375	13,894.72
11/09/2016	33249	ALEX COUTTS	56.00
11/09/2016	33250	ALEX LANE	115.50
11/09/2016	33251	AMERICAN AQUA	48.00
11/09/2016	33252	ANGELA WILLIAMS	34.56
11/09/2016	33253	CHRISTOPHER BROWN	168.00
11/09/2016	33254	CINDY OVERBY	31.16
11/09/2016	33255	GORDON FOOD SERVICE	135.74
11/09/2016	33256	JON SEPTER	56.00
11/09/2016	33257	MARY LYNN BODALSKI	18.47
11/09/2016	33258	MICHIGAN OFFICE SOLUTIONS	384.29
11/09/2016	33259	RYAN FRANCIS	56.00
11/09/2016	33260	STATE OF MICHIGAN	175.00
11/09/2016	33261	STATE OF MICHIGAN	175.00
11/09/2016	33262	STATE OF MICHIGAN	175.00
11/09/2016	33263	TARA BROWN	57.60
11/09/2016	33264	TRI COUNTY SUPPLY, INC.	132.00
11/16/2016	33265	2/24 COMMUNITY CHURCH	250.00
11/16/2016	33266	AMERICAN AWARDS & ENGRAVING	60.00
11/16/2016	33267	AMERICAN PLANNING ASSOCIATION	545.00
11/16/2016	33268	AT&T	177.45
11/16/2016	33269	BULLSEYE TELECOM	382.23
11/16/2016	33270	BUSINESS IMAGING GROUP	302.23
11/16/2016	33271	CHILSON HILLS BAPTIST CHURCH	200.00
11/16/2016	33272	CHURCH OF THE NAZARENE	200.00
11/16/2016	33273	CLEARY UNIVERSITY	200.00
11/16/2016	33274	COMMUNITY BIBLE CHURCH	200.00
11/16/2016	33275	DTE ENERGY	151.00
11/16/2016	33276	ELECTION SOURCE	543.60
11/16/2016	33277	ETNA SUPPLY COMPANY	26,587.02
11/16/2016	33278	HORNUNG ELEMENTARY SCHOOL	200.00
11/16/2016	33279	LSL PLANNING, INC.	1,092.50
11/16/2016	33280	LSL PLANNING, INC.	1,285.30
11/16/2016	33281	MASTER MEDIA SUPPLY	367.66
11/16/2016	33282	PAULETTE SKOLARUS	131.12
11/16/2016	33283	PFEFFER-HANNIFORD-PALKA	3,400.00
11/16/2016	33284	RIZZO ENVIRONMENTAL SERVICES	79,302.30
11/16/2016	33285	THREE FIRES ELEMENTARY SCHOOL	200.00
11/16/2016	33286	VERIZON WIRELESS	373.13

FNBACK TOTALS:

Total of 50 Checks:	142,683.21
Less 0 Void Checks:	0.00
Total of 50 Disbursements:	142,683.21

Check Register Report For Genoa Charter Township  
 For Check Dates 11/08/2016 to 11/08/2016

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/08/2016	FNBCK	12485	WOODY, PRUDENCE M	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12486	WRIGHT, KAREN K	250.00	239.37	0.00	Cleared
Totals:			Number of Checks: <del>182</del> 90	21,375.00	20,972.21	0.00	
Total Physical Checks:			<del>182</del> 90				
Total Check Stubs:							

For Check Dates 11/08/2016 to 11/08/2016

- Election Payroll

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/08/2016	FNBCK	12390	< Check added as Void >	0.00	0.00	0.00	Cleared
11/08/2016	FNBCK	12396	ASSENMACHER, DIANE G	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12397	ASSENMACHER, ROBERT H	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12398	ATKINSON, TAMARA A	25.00	23.94	0.00	Open
11/08/2016	FNBCK	12399	BAYLEY, REBECCA N	300.00	300.00	0.00	Cleared
11/08/2016	FNBCK	12400	BELANGER, VONDA L	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12401	BENNETT III, THOMAS J	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12402	BHAVSAR, JANICE M	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12403	BILLEL, CLEMENTINE M	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12404	BINDER, DONALD A	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12405	BODALSKI, MARYLYNN	275.00	269.85	0.00	Open
11/08/2016	FNBCK	12406	BODALSKI, RICHARD A	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12407	BOROWIEC, RICHARD B	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12408	BRENDER, KAREN M	225.00	185.88	0.00	Cleared
11/08/2016	FNBCK	12409	BRENNAN, ANN M	275.00	263.31	0.00	Open
11/08/2016	FNBCK	12410	BRENNAN, DEBORAH A	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12411	BURGNER, MARY L	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12412	DEMARCO, NANCY ANNE K	275.00	263.31	0.00	Cleared
11/08/2016	FNBCK	12413	DESPOT, WILLIAM L	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12414	DONATTI, JOSEPH T	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12415	DOUCETTE, LOUIS R	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12416	DUBY, CYNTHIA	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12417	DUNASKI, JACLYN M	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12418	DUNASKI, TAMMY M	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12419	FRASHESKI, CHERYLE R	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12420	FRASHESKI, KENNETH P	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12421	GALLERANI, LINDA L	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12422	GODWIN, CAROL C	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12423	GODWIN JR., PAUL K	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12424	GROCHOWSKI, CYNTHIA	275.00	275.00	0.00	Cleared

For Check Dates 11/08/2016 to 11/08/2016

- *Election Payroll*

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/08/2016	FNBCK	12425	GUERRIERO, MARIE L	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12426	HOEFT, COLLEEN M	250.00	239.37	0.00	Open
11/08/2016	FNBCK	12427	HORNTVEDT, GARY	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12428	HOSMER, MARY S	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12429	HOWARD, ZENA L	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12430	HYSEN, THEODORE P	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12431	JANARELI, GARY F	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12432	JANEGO, THOMAS A	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12433	JONES, CONSTANCE A	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12434	KIRSCH, HILDA	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12435	KIRSCH, JOHN B	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12436	KOLINSKI, MIRIAM A	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12437	KULKA, FREDERICK C	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12438	LARSON, RICHARD T	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12439	LARSON, SALLY E	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12440	LAWRENCE, LYNDIA M	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12441	LEWIS, BARBARA C	275.00	263.31	0.00	Cleared
11/08/2016	FNBCK	12442	LINDBERG, BRADFORD P	275.00	263.31	0.00	Cleared
11/08/2016	FNBCK	12443	LINDBERG, TAMMY J	275.00	248.81	0.00	Cleared
11/08/2016	FNBCK	12444	LIZAK, JEAN M	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12445	LIZAK, STEVE	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12446	LORR, MARY JO	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12447	MANIACI, WILLIAM G	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12448	MATEVIA, GERALD A	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12449	MATEVIA, JOYCE	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12450	MCCAULEY, JENNIFER L	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12451	MCCLURE, CECELIA A	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12452	MORRISON, CAROLYN	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12453	NAGY, CATHERINE C	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12454	NAGY, JOSEPH F	275.00	275.00	0.00	Open

For Check Dates 11/08/2016 to 11/08/2016 - *Election payroll*

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/08/2016	FNBCK	12455	NAPPER, DAWN	275.00	263.31	0.00	Cleared
11/08/2016	FNBCK	12456	O'BRIEN, THOMAS R	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12457	ORCZYK, JOSEPH S	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12458	RAMILLER, SANDRA A	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12459	RISTO, JONI L	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12460	ROCKWELL, WILLIAM E	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12461	ROSSI, CAROL A	250.00	250.00	0.00	Open
11/08/2016	FNBCK	12462	SAPIENZA, KRISTEN R	275.00	242.27	0.00	Open
11/08/2016	FNBCK	12463	SAPIENZA, PAUL A	275.00	263.31	0.00	Open
11/08/2016	FNBCK	12464	SAUNDERS, JOHN S	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12465	SCHELOSKE, MARY K	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12466	SCHELOSKE, ROBERT F	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12467	SEBASTIAN, PAUL J	275.00	263.31	0.00	Open
11/08/2016	FNBCK	12468	SLICKER, VICTORIA A	275.00	275.00	0.00	Cleared
11/08/2016	FNBCK	12469	SMYTH, ALLEN F	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12470	SMYTH, MARILYNN M	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12471	ST. GERMAIN, MATTHEW M	275.00	263.31	0.00	Cleared
11/08/2016	FNBCK	12472	STRZAKOWSKI, VICTORIA R	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12473	SWIHART, EVA C	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12474	SWIHART JR., WILLIAMS D	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12475	TERRY, BARBARA G	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12476	TRAYNOFF, CHRIS T	25.00	23.94	0.00	Open
11/08/2016	FNBCK	12477	TRAYNOFF, JUDITH A	25.00	23.94	0.00	Open
11/08/2016	FNBCK	12478	VETTRAINO, JOHN T	225.00	225.00	0.00	Open
11/08/2016	FNBCK	12479	WATSON, VICTOR L	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12480	WENNERBERG, VIRGINIA M	225.00	225.00	0.00	Cleared
11/08/2016	FNBCK	12481	WINDERS, LINDSAY M	225.00	215.44	0.00	Cleared
11/08/2016	FNBCK	12482	WISSER, KATHLEEN C	275.00	275.00	0.00	Open
11/08/2016	FNBCK	12483	WOODS, RITA M	225.00	215.44	0.00	Open
11/08/2016	FNBCK	12484	WOODY, FRANK R	225.00	225.00	0.00	Cleared

Check Register Report For Genoa Charter Township  
For Check Dates 11/18/2016 to 11/18/2016

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/18/2016	FNBCK	EFT36	FLEX SPENDING (TASC)	1,035.09	1,035.09	0.00	Open
11/18/2016	FNBCK	EFT37	INTERNAL REVENUE SERVICE	20,580.62	20,580.62	0.00	Open
11/18/2016	FNBCK	EFT38	PRINCIPAL FINANCIAL	1,525.00	1,525.00	0.00	Open
11/18/2016	FNBCK	EFT39	PRINCIPAL FINANCIAL	2,179.72	2,179.72	0.00	Open
<b>Totals:</b>				25,320.43	25,320.43	0.00	
Total Physical Checks:					Dir. Dep.		
Total Check Stubs:				4	58,182.24		

+ 220.43 = 8 checks

**\$ 83,723.10 Bi-Weekly Payroll-11/18/2016**

Check Register Report For Genoa Charter Township  
For Check Dates 11/18/2016 to 11/18/2016

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
11/18/2016	FNBCK	12487	BURGNER, MARY L	28.00	28.00	0.00	Open
11/18/2016	FNBCK	12488	HYSEN, THEODORE P	28.00	28.00	0.00	Open
11/18/2016	FNBCK	12489	LAWRENCE, LYNDIA M	28.00	28.00	0.00	Open
11/18/2016	FNBCK	12490	LEWIS, BARBARA C	28.00	26.81	0.00	Open
11/18/2016	FNBCK	12491	MCCLURE, CECELIA A	28.00	28.00	0.00	Open
11/18/2016	FNBCK	12492	O'BRIEN, THOMAS R	28.00	26.81	0.00	Open
11/18/2016	FNBCK	12493	SAPIENZA, PAUL A	28.00	26.81	0.00	Open
11/18/2016	FNBCK	12494	SCHELOSKE, ROBERT F	28.00	28.00	0.00	Open
<b>Totals:</b>				224.00	220.43	0.00	
Total Physical Checks:				8			
Total Check Stubs:							



Check Date	Check	Vendor Name	Amount
Bank 592FN OAK POINTE OPERATING FUND #592			
11/03/2016	3751	AT&T	70.00
11/03/2016	3752	CONSUMERS ENERGY	66.19
11/03/2016	3753	DTE ENERGY	3,544.21
11/07/2016	3743	GENOA TOWNSHIP G/O NEW USER FUND Void Reason: ENTER IN WRONG MONTH S/B OCT	15,300.00 V
11/14/2016	3754	ALEXANDER CHEMICAL CORPORATION	1,612.61
11/14/2016	3755	AMERICAN AQUA	3,495.00
11/14/2016	3756	CLEAN HARBORS ENV. SERVICE	2,150.00
11/14/2016	3757	COMPLETE BATTERY SOURCE	169.68
11/14/2016	3758	COOPER'S TURF MANAGEMENT	551.00
11/14/2016	3759	DUBOIS-COOPER	2,365.00
11/14/2016	3760	GENOA OCEOLA SWR & WTR AUTHORI	50.29
11/14/2016	3761	GENOA TOWNSHIP DPW FUND	36,951.03
11/14/2016	3762	HUBBELL, ROTH & CLARK, INC	5,494.32
11/14/2016	3763	NSF INTERNATIONAL	1,470.00
11/14/2016	3764	STATE OF MICHIGAN	1,278.78
11/14/2016	3765	TLS CONSTRUCTION LLC	323.32
11/14/2016	3766	USA BLUEBOOK	314.96
11/14/2016	3767	UTILITIES INSTRUMENTATION SERVICE	2,070.00
11/14/2016	3768	DTE ENERGY	120.21
11/15/2016	3769	AT&T	108.09
11/15/2016	3770	BULLSEYE TELECOM	463.53

592FN TOTALS:

Total of 21 Checks:	77,968.22
Less 1 Void Checks:	15,300.00
Total of 20 Disbursements:	<u>62,668.22</u>

Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #593			
11/03/2016	3055	BRIGHTON ANALYTICAL , L.L.C.	67.00
11/03/2016	3056	DTE ENERGY	4,378.38
11/10/2016	3049	HUBBELL, ROTH & CLARK, INC Void Reason: WRONG DATE	2,927.84 V
11/14/2016	3057	BRIGHTON ANALYTICAL , L.L.C.	67.00
11/14/2016	3058	CONSUMERS ENERGY	20.99
11/14/2016	3059	COOPER'S TURF MANAGEMENT	292.00
11/14/2016	3060	GENOA TOWNSHIP DPW FUND	10,468.90
11/14/2016	3061	HUBBELL, ROTH & CLARK, INC	1,221.09
11/14/2016	3062	PRO LIGHTING	388.50
11/15/2016	3024	COOPER'S TURF MANAGEMENT Void Reason: WRONG CHECK DAGE	588.00 V
11/15/2016	3038	BRIGHTON ANALYTICAL , L.L.C. Void Reason: WRONG DATE	77.00 V
11/15/2016	3063	BRIGHTON ANALYTICAL , L.L.C.	67.00
11/15/2016	3064	BULLSEYE TELECOM	358.35

593FN TOTALS:

Total of 13 Checks:	20,922.05
Less 3 Void Checks:	3,592.84
Total of 10 Disbursements:	<u>17,329.21</u>

Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #503			
11/02/2016	3776	JENIFER KERN	55.06
11/02/2016	3777	RED WING SHOE STORE	161.99
11/09/2016	3778	MWEA	70.00
11/09/2016	3779	PAETEC	37.77
11/09/2016	3780	PORT CITY COMMUNICATIONS, INC.	395.94
11/09/2016	3781	RED WING SHOE STORE	200.00
11/09/2016	3782	TRACTOR SUPPLY CO.	304.78
11/15/2016	3783	U.S. POSTMASTER	337.90
11/16/2016	3784	ADVANCED AUTO PARTS	5.99
11/16/2016	3785	AUTO ONE HOWELL	2,474.22
11/16/2016	3786	BLACKBURN MFG. CO.	111.79
11/16/2016	3787	D & G EQUIPMENT, INC.	7.52
11/16/2016	3788	LOWE'S	1,822.53
11/16/2016	3789	MASTER MEDIA SUPPLY	269.73
11/16/2016	3790	OHM ENGINEERING ADVISORS	2,136.00
11/16/2016	3791	POLLARD WATER	479.32
11/16/2016	3792	RED WING SHOE STORE	161.49
11/16/2016	3793	ROYS AUTOWORKS CORP	1,516.39
11/16/2016	3794	SIGN WORKS	225.00
11/16/2016	3795	STAPLES CREDIT PLAN	30.68
11/16/2016	3796	VERIZON	287.24
11/16/2016	3797	VICTORY LANE QUICK OIL CHANGE	106.45

503FN TOTALS:

Total of 22 Checks:	11,197.79
Less 0 Void Checks:	0.00
Total of 22 Disbursements:	11,197.79

Check Date	Check	Vendor Name	Amount
Bank 595FN PINE CREEK OPERATING FUND #595			
11/14/2016	2173	GENOA TOWNSHIP D.P.W. FUND	3,512.96

595FN TOTALS:

Total of 1 Checks:	3,512.96
Less 0 Void Checks:	0.00
Total of 1 Disbursements:	3,512.96

**GENOA CHARTER TOWNSHIP BOARD**  
**November 7, 2016**  
**Regular Meeting**

**MINUTES**

Supervisor McCririe called the regular meeting of the board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following board members were present constituting a quorum for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Linda Rowell, Jim Mortensen, Todd Smith and Jean Ledford. Also present were: Township Manager Michael Archinal, Township Attorney Joe Seward, and approximately 15 persons in the audience.

A Call to the Public was made with the following response: Bob Hutchison addressed the board with gratitude. He remarked how great the pavement of Grand Oaks turned out; he loves it and especially the company who was hired to do the work. He also expressed his thanks to Gary McCririe for his service to the township, adding that Gary was both a gracious and humble person and that the new supervisor has big shoes to fill.

Doug Brown addressed the board to express his thanks to Linda Rowell, Todd Smith, and Gary McCririe for their service. He added that everything they have done is great and that they have worked well and constructively together for the benefit of the Township.

**Approval of Consent Agenda:**

Moved by Smith and supported by Mortensen to approve all items under the Consent Agenda as requested. The motion carried unanimously.

**1. Payment of Bills.**

**2. Request to Approve Minutes: October 17, 2016**

**3. Request to clarify a discrepancy between the rules and regulations and the application related to the sale of cemetery parcels in Chilson Hills by amending the rules and regulations to state that cremains parcels be sold at \$300 in accordance with recent sales.**

**4. Request to approve the Fiscal Year 2017 Howell Area Parks and Recreation Authority (HAPRA) budget.**

**5. Request to approve the Fiscal Year 2017 Proposed Budget Amendment to DPW Fund 501 as recommended by the Utility Director.**

**Approval of Regular Agenda:**

Moved by Rowell and supported by Mortenson to approve for action all items listed under the regular agenda as requested. The motion carried unanimously.

**6. Request from April Gago, M.D. of the Gago Center for Fertility/Gago IVF to consider an ordinance to prohibit open burning near medical practices.**

Dr. Gago addressed the board with concerns over the burning of yard debris near and around her office as it adversely affects sensitive tissues and reproductive methods. McCririe expressed his sympathy over the matter and said he will have conversations with those persons responsible. He asked that the Township Manager address the concerns with those involved. No formal action was taken by the board

**7. Request from Dewey E. and Pamela H. Thomas to amend a consent agreement to allow use of 5033 Chilson Road, Parcel ID 4711-33-200-019, as a floral design and art studio.**

Moved by Smith and supported by Hunt to approve the amendment to the consent agreement with attorney review to allow a floral and design studio within the footprint of the existing building. The motion carried unanimously.

**8. Request from the Ordinance Officer to consider removal of a dangerous building at 692 Red Oaks.**

The owner of the property, Marilyn McKiddie, addressed the board. She stated that she was very unhappy and angry that she was required to be present this evening at the meeting. She stated that her family has been living in the home off and on for years and that she is currently paying utilities at the home. She said that she never received any notices and that she will get an attorney to fight this issue.

A call to the public was made with the following response: Wendy Robertson – I have lived near this property for more than 14 years and there has never been anyone living in that home. I have neighbors who will testify to that same thing.

Moved by Smith and supported by Skolarus to accept the recommendation by Township Ordinance Officer Sharon Stone to move ahead with the demolition with the owner to reimburse the Township for all expenses related to the removal of the structure. The motion carried unanimously.

**9. Presentation from Kim Lane, Human Resources Director, regarding 2017 employee benefits.**

Moved by Skolarus and supported by Rowell to approve the recommendation by Kim Lane to change insurers for short and long term disability from Reliance to Guardian – decreasing short term disability to 13 weeks and increasing long term disability to immediately follow, to implement a Township Wellness plan with incentives, and to increase the employee insurance contribution to 10%. The motion carried unanimously.

**10. Request for review and approval of MHOG salary range adjustments as requested by Dr. Greg Tatara.**

Moved by Smith and supported by Rowell to approve the pay-scale increase as requested by Dr. Tatara. The motion carried unanimously.

**11. Request to approve resolutions honoring the service of Township Board members Gary McCririe, Linda Rowell and Todd Smith.**

Township Manager Archinal presented plaques to Gary McCririe, Linda Rowell, and Todd Smith honoring them for their many years of service to the township on behalf of the Genoa Township Board. He thanked them for their dedication and professionalism. Board member expressed their sincere appreciation to the three departing members and sorrow at their leaving.

The regular meeting of the Genoa Township Board was adjourned at 7:50 p.m.

A handwritten signature in black ink, appearing to read 'Tara Brown', with a long horizontal flourish extending to the right.

Tara Brown, Deputy Clerk  
Genoa Charter Township

Paulette A. Skolarus, Clerk  
Genoa Charter Township

Gary McCririe, Supervisor  
Genoa Charter Township

# Genoa Charter Township

## Principles of Governance

To maintain the high standards and traditions of Michigan Townships, we embrace these principles of governance to guide our stewardship, deliberations, constituent services and commitment to safeguard our community's health, safety and general welfare.

We pledge to:

- Insist on the highest standards of ethical conduct by all who act on behalf of this township;
- Bring credit, honor and dignity to our public offices through collegial board deliberations and through diligent, appropriate responses to constituent concerns;
- Actively pursue education and knowledge, and to embrace best practices;
- Treat all persons with dignity, respect and impartiality; without prejudice or discrimination;
- Practice openness and transparency in our decisions and actions;
- Cooperate in all reasonable ways with other government entities and to consider the impact our decisions may have outside our Township's borders;
- Communicate to the public Township issues, challenges and successes, and welcome the active involvement of stakeholders to further the Township's well-being;
- Strive for compliance with state and federal statutory requirements;
- Recuse a board member from participating in any decision where there was personal financial gain either expected or implied;
- Further the understanding of the obligations and responsibilities of American citizenship, democratic government and freedom.

These principles we pledge to our citizens, our state, and to our country.

---

Bill Rogers, Supervisor

---

Robin Lynn Hunt, Treasurer

---

Paulette A. Skolarus, Clerk

---

H. James Mortensen, Trustee

---

Jean Ledford, Trustee

---

Diana Lowe, Trustee

---

Terry Croft, Trustee

# Memo

**To:** Genoa Township Board

**From:** Debra L. Rojewski 

**Date:** 11/15/2016

**Re:** Instructions for poverty exemption, guidelines for poverty exemption, Poverty Exemption application and Poverty Exemption worksheet.

---

Manager Review: 

I would like the Genoa Township Board to adopt these guidelines for the 2017 Board of Review. The township is required to adopt guidelines that set income levels for our poverty exemption guidelines. The State of Michigan also requires that poverty exemption guidelines are established by the townships local assessing unit and we shall include an asset level test. An asset level test means the amount of cash, fixed assets or other property that could be used or converted to cash for use in payment of property taxes.

The income levels the township is using were supplied by the State of Michigan. I have attached the income levels which are the Federal Poverty Guidelines supplied to us from the State of Michigan. If you have any further questions feel free to contact me.

Please consider the following action:

Moved by \_\_\_\_\_, supported by \_\_\_\_\_, to

Approve the 2017 Instructions for poverty exemption, guidelines for poverty exemption, Poverty exemption application and Poverty exemption worksheet as submitted.

**RESOLUTION #  
GENOA CHARTER TOWNSHIP  
COUNTY OF LIVINGSTON, MICHIGAN**

**RESOLUTION ESTABLISHING GUIDELINES FOR GRANTING OF POVERTY  
EXEMPTIONS FROM PROPERTY TAXES PURSUANT TO MCL 211.7u AND  
ESTABLISHING BEGINNING DATE FOR THE BOARD OF REVIEW**

At a regular meeting of the Board of Trustees of Genoa Charter Township, County of Livingston, State of Michigan, held on November 21, 2016, the following Resolution was moved, supported and adopted.

RECITALS:

WHEREAS, P.A. 390 of 1994, which amended Section 7u of Act 206 of the Public Acts of 1893, as amended by Act 313 of the Public Acts of 1993, being section 211.7u of the Michigan Compiled Laws, requires the governing body of the assessing unit to determine and make available to the public the policy and guidelines for granting of poverty exemptions under MCL 211.70;

NOW, THEREFORE BE IT RESOLVED that to be eligible for a poverty exemption pursuant to MCL 211.7u in the Township of Genoa, a person must be the owner and must occupy the property as a homestead, as defined, for which the exemption is requested; file a completed and notarized application; file copies of federal and state income tax returns for **all** persons residing in the homestead, including property tax credit forms and/or Statement of Benefits Paid from Michigan Department of Social Services or Social Security Administration; meet local (Genoa Charter Township) poverty income standards;

BE IT FURTHER RESOLVED that the applicant must have an annual household income less than the amounts shown in Attachment A;

BE IT FURTHER RESOLVED that the applicant must have an annual taxable and/or non-taxable dividend income less than \$500;

BE IT FURTHER RESOLVED that the applicant's asset level, excluding the homestead, may not exceed \$10,000;

BE IT FURTHER RESOLVED that the applicant may not have ownership interest in any real estate other than the homestead;

BE IT FURTHER RESOLVED that a poverty exemption may be granted for only one year at a time;

BE IT FURTHER RESOLVED that for the 2017 tax year the Genoa Charter Township Board of Review will begin its proceedings on Tuesday, March 7, 2017;



BE IT FURTHER RESOLVED that the board of review shall request identification of the applicant and/or proof of ownership of the homestead under consideration for poverty exemption;

BE IT FURTHER RESOLVED that the board of review may request from the applicant any supporting documents which may be utilized in determining a poverty exemption request;

BE IT FURTHER RESOLVED that the completed poverty exemption application must be filed after January 1, but before the day prior to the last day of the board of review in the year for which exemption is sought;

BE IT FURTHER RESOLVED that the board of review shall administer an oath wherein the applicant testifies as to the accuracy of the information provided;

BE IT FURTHER RESOLVED that the board of review may deviate from the established policy and guidelines only for substantial and compelling reasons. The applicant will be notified, in writing, the reasons for deviating from the policy and guidelines for poverty exemption;

BE IT FURTHER RESOLVED that to conform with the provisions of P.A. 390 of 1994, this resolution is hereby given immediate effect.

## ATTACHMENT A

### POVERTY LEVEL GUIDELINES FOR 2017 TAX YEAR

FAMILY UNIT	HOUSEHOLD INCOME
Family of 1:	\$11,880
Family of 2:	\$16,020
Family of 3:	\$20,160
Family of 4:	\$24,300
Family of 5:	\$28,440
Family of 6:	\$32,580
Family of 7:	\$36,730
Family of 8:	\$40,890
For each additional person add:	\$ 4,160

## POLICY FOR APPLICANTS REQUESTING CONSIDERATION FOR A POVERTY EXEMPTION

### IMPORTANT - PLEASE READ !

1. All applicants must obtain the proper applications from the Assessor's Office. Handicapped or infirmed applicants may call the Assessor's Office to make necessary arrangements for assistance.
2. All applicants must be the property owners & reside therein.
  - A. Must produce a driver's license or other acceptable method of identification.
  - B. Must produce a deed, land contract, or other evidence of ownership if the Assessor requests it.
3. All applicants must fill the application form in its entirety and return it, in person, to this office, except as noted in Item 1 above.
  - A. **Must not sign until returned.**
  - B. **Application must be notarized by the Assessing Office staff.**
4. All applicants must submit **most recent** copies of the following **(this includes EVERYONE IN THE HOUSEHOLDS income)**:
  - A. Federal Income Tax Return - 1040 or 1040A
  - B. State of Michigan Income Tax Return
  - C. Homestead Property Tax Claim MI-1040CR
  - D. All statements of Income (W-2's, 1099's)
  - E. 2 Months of **ALL** Bank Account Statements
  - F. 2 Months of **ALL** Credit Card Statements

NOTE: All requested tax returns must be attached upon return to the Assessing Department. Without them the Board of Review will not consider your application.

5. All applications may be filed with this office beginning February 1<sup>st</sup>. An exemption may be granted for the current year only, and may only be considered by the Board of Review. The Board of Review meets three times per year, each March, July and December.
6. Applications may be reviewed by the Board of Review without applicant being present. However, the Board may request that any or all applicants be physically present to respond to any questions they may have. This means that you could be called to appear on short notice.
7. You may have to answer questions regarding your financial affairs, health, the status of people living in your home, etc. before the Board of Review, at a meeting which is open to and may be attended by the public.

**GENOA CHARTER TOWNSHIP  
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

COMPLETE ENTIRE APPLICATION AND RETURN IT ALONG WITH THE **MOST RECENT** COPIES OF THE FOLLOWING:

- (1) FEDERAL TAX RETURN
- (2) STATE OF MICHIGAN INCOME TAX RETURN
- (3) MICHIGAN HOMESTEAD PROPERTY TAX CREDIT CLAIM (1040-CR)
- (4) ALL INCOME STATEMENTS ASSOCIATED W/ABOVE RETURNS (1099'S, W-2'S)
- (5) 2 MONTHS OF ALL BANK ACCOUNT STATEMENTS
- (6) 2 MONTHS OF ALL CREDIT CARD STATEMENTS

**YOUR APPLICATION WILL NOT BE CONSIDERED WITHOUT ALL OF THIS INFORMATION**

**PERSONAL DATA**

Name: \_\_\_\_\_ Are you 65 or Older? YES NO  
 Address: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Social Security #: \_\_\_\_\_ Are you Disabled? YES NO  
 Nature of Disability: \_\_\_\_\_

List all occupants of the home and their relationship:

NAME	RELATIONSHIP
_____	_____
_____	_____
_____	_____

Attach additional pages if necessary

**PROPERTY INFORMATION**

Year property was purchased: \_\_\_\_\_ Purchase Price: \_\_\_\_\_  
 Do you own the property free and clear? YES NO -----> What is your monthly payment? \_\_\_\_\_  
 Are the taxes included in your payment? YES NO  
 Are the taxes current? YES NO -----> Amount past due: \_\_\_\_\_  
 Do you own other real estate? NO YES -----> Please list below the location, value and type

LOCATION OF OTHER REAL ESTATE	VALUE	TYPE
_____	_____	_____
_____	_____	_____

Attach additional pages if necessary

**EMPLOYMENT STATUS**

Are you, your spouse, or other members of the household employed?

Self: NO YES -----> Employer Name & Address: \_\_\_\_\_  
 Spouse: NO YES -----> Employer Name & Address: \_\_\_\_\_  
 Other members in household: NO YES -----> Employer Name & Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**GENOA CHARTER TOWNSHIP  
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

**INCOME**

**TOTAL ESTIMATED HOUSEHOLD INCOME DECLARATION**

SOURCE	MONTHLY AMOUNT	ANNUAL AMOUNT
Wages / Salaries / Tips	_____	_____
Social Security / SSI	_____	_____
Pension or Retirement	_____	_____
Interest and/or Dividends	_____	_____
Rental Income	_____	_____
Business or Royalty Income	_____	_____
Disability Payments	_____	_____
General Assistance / ADC	_____	_____
Alimony	_____	_____
Child Support	_____	_____
Unemployment Benefits	_____	_____
Other Income from Family	_____	_____
Income from Land Contracts, etc.	_____	_____
Dependents Income	_____	_____
Food Assistance	_____	_____
Assistance with Gas or Electric Bill (OLSHA or Salvation Army Ect.)	_____	_____
Any Other Income (Source)	_____	_____

**TOTAL PROJECTED INCOME FOR CURRENT YEAR**

\_\_\_\_\_

**ASSETS**

Cars	NO	YES ----->	Make: _____	Model: _____
Do you have a savings account?	NO	YES ----->	Balance: _____	Bank: _____
Do you own any time certificates?	NO	YES ----->	Type: _____	Value: _____
Do you own any stocks or bonds?	NO	YES ----->	Type: _____	Value: _____
401K or 457	NO	YES ----->	Type: _____	Value: _____
IRA or ROTH	NO	YES ----->	Type: _____	Value: _____
Recreational Vehicles	NO	YES ----->	Type: _____	Value: _____
Boat, Snowmobile Ect.	NO	YES ----->	Type: _____	Value: _____
Jewelry	NO	YES ----->	Type: _____	Value: _____
ART	NO	YES ----->	Type: _____	Value: _____
Life Insurance	NO	YES ----->	Type: _____	Amount: _____
Other Assets (Electronic, Coin Collection Ect.)			Type: _____	Amount: _____

**GENOA CHARTER TOWNSHIP  
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

**EXPENSE INFORMATION**

Average Monthly Expenses: \_\_\_\_\_  
House Pmt (Prin. & Interest) \_\_\_\_\_  
Association Dues (If applicable) \_\_\_\_\_  
Equity Loan Pmt. (Prin. & Interest) \_\_\_\_\_  
Life Insurance \_\_\_\_\_  
Health Insurance \_\_\_\_\_  
Home Insurance \_\_\_\_\_  
Auto Insurance \_\_\_\_\_  
Taxes (Homestead) \_\_\_\_\_  
Taxes on other Real Estate \_\_\_\_\_  
Car Payment #1 \_\_\_\_\_ Year Make & Model \_\_\_\_\_  
Car Payment #2 \_\_\_\_\_ Year Make & Model \_\_\_\_\_  
Utilities: Electric \_\_\_\_\_  
Gas/Oil/Heat \_\_\_\_\_  
Telephone \_\_\_\_\_  
Water \_\_\_\_\_  
Cable \_\_\_\_\_  
Cell Phone \_\_\_\_\_  
Child Care \_\_\_\_\_  
Food & Clothing \_\_\_\_\_  
Credit Card #1 \_\_\_\_\_ Balance \_\_\_\_\_  
Credit Card #2 \_\_\_\_\_ Balance \_\_\_\_\_  
Credit Card #3 \_\_\_\_\_ Balance \_\_\_\_\_  
Other Loans \_\_\_\_\_  
Medical Bills (After Insurance) \_\_\_\_\_  
Lawn Care \_\_\_\_\_  
Other (Specify) \_\_\_\_\_

Do you have any unusual expenses?      NO      YES-----> Please describe:  
\_\_\_\_\_  
\_\_\_\_\_

Is there any other information you feel the Board of Review should consider?

**GENOA CHARTER TOWNSHIP  
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

I/WE DECLARE THAT I/WE ARE UNABLE TO PAY THE FULL PROPERTY TAX LEVY ON THE ABOVE DESCRIBED PARCEL AND HEREBY MAKE APPLICATION FOR PROPERTY TAX RELIEF DUE TO HARDSHIP IN ACCORDANCE WITH SECTION 211.7u OF MCL. I/WE DECLARE THAT THE STATEMENTS MADE HEREIN ARE COMPLETE, TRUE AND CORRECT. I/WE FURTHER UNDERSTAND THAT IF ANY INFORMATION CONTAINED HEREIN IS FOUND TO BE FALSE OR INCOMPLETE, ANY AND ALL RELIEF GRANTED BY THIS APPLICATION WILL BE FORFEITED AND PLACED BACK ON THE ASSESSMENT ROLL WITH PENALTIES AND INTEREST, AND IS ALSO PUNISHABLE BY PENALTY OF PERJURY

Applicant \_\_\_\_\_

Date \_\_\_\_\_

Applicant \_\_\_\_\_

Date \_\_\_\_\_

Witness / Notary \_\_\_\_\_

To: Genoa Township Board

From: Polly Skolarus

Subject: Our Great Lakes

I have been concerned about the retention of our Great Lakes both biologically and ecologically for many years. 21 % of the total water supply of fresh water in the entire world is in the Great Lakes. 1.8 billion People will be facing water scarcity by 2025 (just 8 years from now) according a recent U.N. report. Drought in the western states and the mid-west is now a serious problem. China is an ecological disaster, Brazil is running out of water, Russia has drained one of its Great Lakes and I do not even know how many more problems like this there are in the world. We are using our water for fracking and pumping chemicals into the ground that may affect our drinking water in the near future.

Many years ago the Great Lakes Governors signed the interstate agreement for management of the Great Lakes Basin's water that includes Michigan's aquifer. This agreement was written to protect our greatest natural resource. We need to stand with our neighboring communities to defend our state and our water. The last date to formally respond to the request for objections to Nestle's action with the Department of Environmental Quality is Dec. 3, 2016. Through this resolution I am asking our newly elected board to take a stand against damage to our environment and the theft of our water by foreign enterprises.

## Nestlé continues to stir community opposition in the Great Lakes Basin

July 31, 2015 - 8:52pm

Nestlé Waters is moving forward with its plans to buy a new well in Elora, Ontario, situated in the Great Lakes Basin. The well is currently owned by Middle Brook Water Co. (registered as 1445036 Ontario Inc.). Middle Brook's current permit allows it to withdraw 1.6 million litres of groundwater per day from the Elora well and expires October 31, 2015.



(Photo of the Elora Quarry and the large beach,

CC BY-NC-ND 2.0, [Grand River Conservation Authority](https://www.flickr.com/photos/grandriverconservation/) (<https://www.flickr.com/photos/grandriverconservation/>)

In April, the [Wellington Advertiser](http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=25589) reported (<http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=25589>) that "Nestlé would use the production well as a back-up or supplementary source to its main production well in Aberfoyle."

Nestlé Waters will be [hosting an open house](http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=27302) (<http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=27302>) on Wednesday, August 5th about its acquisition of Middlebrook Water Co.

Some residents strongly oppose Nestlé's takeover of the Middle Brook permit including local group [Save Our Water](http://saveourwater.ca/) (<http://saveourwater.ca/>).

Libby Carlaw, a spokesperson with Friends of Elora Water told the [Guelph Mercury](#), "It's David versus Goliath...We're a pretty small town and the best we can do is try and be as educated and informed as possible and help others be educated and informed."

Carlaw added, "[T]his isn't about Nestlé Waters, because "Nestlé will not be the only company knocking at our door looking for water. More will come. We want as many people as possible to be as informed as possible, so we're hoping for a big turnout on Wednesday."

"Ideally," said Carlaw, "Friends of Elora Water would like to see the province deny a renewal of the pumping permit."

Earlier this year, the [Wellington Advertiser](http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=25589) noted (<http://www.wellingtonadvertiser.com/comments/index.cfm?articleID=25589>) that the acquisition is "subject to confirmation that groundwater there meets [Nestlé's] quality and quantity requirements and that the existing production permit will be renewed later this year by Ontario Ministry of Environment."

Nestlé already pumps water from wells in Hillsburgh and Aberfoyle, two communities surrounded by three of the five Great Lakes in southern Ontario. Two years ago, Nestlé appealed the Ontario government's decision to include drought restrictions on the Hillsburgh permit. However, Nestlé [backed down](http://canadians.org/media/nestlé-bows-pressure-community-groups-bottled-water-fight) (<http://canadians.org/media/nestlé-bows-pressure-community-groups-bottled-water-fight>) after the Wellington Water Watchers and Council of Canadians represented by Ecojustice challenged the multi-billion dollar company on its attempt to have



drought restrictions dropped from the five year permit. Nestlé's Aberfoyle permit will expire on July 31, 2016.

Nestlé also withdraws 265 million litres every year in Hope, BC. The BC government kicked off a firestorm of opposition when it released new water rates that would have Nestlé paying only \$2.25 per million litres starting in January when the new Water Sustainability Act comes into force. What's worse is the act uses the 'first in time first in right' (FITFIR) system (<http://canadians.org/blog/how-protect-water-bc-nestlé-fracking-and-misuse>) which prioritizes water permits by the date they are issued. In other words, if fracking, mining or bottled water companies like Nestlé get earlier permits than municipalities, small scale farmers or other community water users, we could see a scenario where the former permits are honored while the latter water users are told they can't draw water.

BC water permits will be for an indefinite period of time while the water permits for bottled water withdrawals in Ontario range from one to ten years. More information can be found on the water permits in Ontario here (<https://www.ontario.ca/data/permit-take-water>).

Lengthy water permits can create a risk regarding NAFTA, the Canada-EU Comprehensive Economic and Trade Agreement or other trade agreements. If the B.C. or Ontario government has to revoke any of these permits down the road because of increased drought conditions, these companies could launch a trade challenge and sue for compensation.

Water is a commons to be shared, protected, carefully managed and enjoyed by all who live around them, as Maude Barlow has explained. Surface and ground water should be declared a public trust which will require the government to protect water for a community's reasonable use. Under a public trust doctrine, private water use would be subservient to the public interest. Water could not be appropriated or subordinated for private gain.



In July 2010, the United Nations General Assembly confirmed the Human Right to Water and Sanitation. This internationally binding resolution must be recognized at every level of government. The recognition of water as a human right gives communities lacking access to clean drinking water a legal tool to exercise this right. It also provides legal recourse if a water source is damaged by industrial activities.

Parts of BC are experiencing historic levels of drought. There were six major droughts in southern Ontario since 1998 and in 2012, the first six months of the year were the driest since 1958. Maude Barlow has called for a new water ethic (<http://www.thenation.com/article/the-california-drought-is-just-the-beginning-of-our-national-water-emergency/>) to address the current global water crisis.

Nestlé's application to renew its Aberfoyle permit and Middle Brook's application to renew its Elora permit will be posted on the Ontario Environmental Registry (<http://www.ebr.gov.on.ca/ERS-WEB-External/>). Members of the public should participate in any upcoming comment process to ensure that the Ontario

government begins scaling back permits for bottled water withdrawals.

The BC government is calling for public comments (<http://engage.gov.bc.ca/watersustainabilityact/2015/07/30/blog-post-16-proposed-water-policies-what-do-you-think/>) on newly released papers on groundwater licensing until September 8. Be sure to send in comments calling on the BC government to scrap 'First in time first in right' and to make the permits one-five years only.

We must work to ensure all legislation, policies and decisions are based on water as a human right, commons and public trust. As Maude Barlow has written, "A true Commons is based on a co-management model and requires true collaboration between community and government and ability of regulatory agencies to implement public recommendations."

For too long, governments have left communities out of decision making. We need to make our voices louder and take action to protect water. The global water crisis here and these are decisions we cannot afford to sit out.

**Tags:**

[nestle \(/tags/nestle\)](#)

(<https://secure.canadians.org/ea-action/action?ea.client.id=1899&ea.campaign.id=47488>)

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Resolution No. 161121

**GENOA CHARTER TOWNSHIP**

The Right of Michigan to Protect our Natural Resources

**Whereas:** There is a need to remember and maintain the legal and binding agreement of the Great Lakes Governors who signed the interstate agreement for the management of the Great Lakes Basin's water supply and to continue the stewardship of the Great Lakes, which compact became a state and Federal Law on Dec. 8, 2008.

**Whereas:** Nestle is extracting water from our Cambrian – Ordovician aquifer which is a part of the Great Lakes watershed.

**Whereas:** Governor John Engler said, "I will continue to exercise my authority along with my fellow Great Lakes Governors, to address any attempt to export Great Lakes water. I aim to strengthen the authority of those who govern the resource on a day-to-day basis. I will work to keep control of these essential resources in the hands of the Great Lakes states."

**Whereas:** Governor Rick Snyder said, My administration has taken full advantage of that fact and the departments responsible for their care (the Great Lakes Basin) and prudent use are broadly engaged in protecting and enhancing all of their assets."

**Whereas:** Governor Jennifer Granholm said, "For those of us who live within the Great Lakes basin, the preservation and protection of this unique resource is more than just a charge – it is a way of life for us. Our lives are inextricably tied to the Lakes, and it is our duty to be their stewards – to be ever vigilant toward their care and well-being."

**Whereas:** The Michigan Environmental Protection Act's purpose was to give the citizens of the state the power to protect their environment. Lawmakers responsible for this statute recognized the interconnectedness of our natural resources.

**Whereas:** Our Right as Citizens to protect the natural resources of Michigan has been critically impaired.

**Whereas:** Nestlé began as a case about water removal from the Great Lakes. It turned out to be a case about our right, as citizens, to protect our natural resources. A right that the majority of the present Michigan Supreme Court has effectively taken away.

**Whereas:** The Michigan Supreme Court took away from Michigan Citizens a right guaranteed by our Constitution. The present majority of the Michigan Supreme Court Justices Taylor, Markman, Young, and Corrigan have essentially struck down Michigan Environmental Protection Agency's citizen rights.

**Now Therefore Be It Resolved:** Michigan has a right to protect its natural resources from outside interests that would ruin or damage our natural environment. Genoa Charter Township objects to any water being pumped or taken from our Great Lakes that would in any way damage our environment. We stand with our neighbors in Mecosta County based on the evidence that was presented that Nestlé's pumping would adversely affect our water resource.

Signed: \_\_\_\_\_

Paulette A. Skolarus, Clerk  
Genoa Charter Township  
Livingston County, Michigan 48116

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.


\_\_\_\_\_  
Paulette A. Skolarus, Genoa Charter Township Clerk


Date: Nov. 21, 2016



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Honorable Board of Trustees  
**FROM:** Kelly VanMarter, Assistant Township Manager/Community Development Director   
**DATE:** November 17, 2016  
**RE:** Brighton Dermatology Parking Lot Expansion

**MANAGER'S REVIEW:**  \_\_\_\_\_

Attached please find the case file for the proposed parking lot expansion for Brighton Dermatology located at 6888 Grand River Avenue, Brighton. The applicant requests approval for 34 new parking spaces. These spaces, along with a second building were shown as Phase II activities and incorporated into the stormwater design in the approved site plan from 2014. The request at this time is only for the parking lot expansion to address the lack of sufficient parking experienced since the facility opened. Procedurally, the Planning Commission has authority over the site plan and issues a recommendation to the Board regarding the Environmental Impact Assessment.

At the November 14, 2016 Planning Commission meeting the site plan was approved and the Commission recommended Board approval of the Impact Assessment. A revised Impact Assessment was received by the applicant on November 16, 2016 which incorporated the Planning Commission comments. Based on the action of the Planning Commission and in response to the revised materials I suggest Board consideration of the following action:

Moved by \_\_\_\_\_, Supported by \_\_\_\_\_ to approve the Environmental Impact Assessment dated 11-16-2016 subject to the following:

- 1.) All conditions of the Planning Commission being satisfied.
- 2.) A performance guarantee pursuant to Zoning Ordinance Section 21.03 shall be provided to ensure the completion of all required site improvements prior to issuance of a land use permit for the additional parking.

Should you have any questions concerning this matter, please do not hesitate to contact me.

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

**MANAGER**

Michael C. Archinal



**GENOA CHARTER TOWNSHIP GENOA TOWNSHIP**

**Application for Site Plan Review OCT 26 2016**

**RECEIVED**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

APPLICANT NAME & ADDRESS: Dr. Howard Lipkin, 3172 Interlaken St., W. Bloomfield, MI 48323

*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: Dr. Howard Lipkin, 3172 Interlaken St., W. Bloomfield, MI 48323

SITE ADDRESS: 6888 Grand River Ave., Brighton, MI 48114 PARCEL #(s): 4711-14-200-023

APPLICANT PHONE: 810 ) 220-4422 OWNER PHONE: 810 ) 220-4422

OWNER EMAIL: marysue@brightondermatology.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Located on the south side of Grand River Ave.

between Remax Platinum and Kil's Tae Kwon Do. A 8,000 s.f. medical building

with associated parking and detention system were recently completed

on the property.

BRIEF STATEMENT OF PROPOSED USE: Expand the parking in order to meet the  
needs of the staff and visitors for the existing medical building.

THE FOLLOWING BUILDINGS ARE PROPOSED: Future 8,000 s.f. building towards  
the back of the property.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE  
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY  
KNOWLEDGE AND BELIEF.**

BY: Thom Dumond / Boss Engineering


ADDRESS: 3121 E. Grand Rvier Ave., Howell, MI 48843

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) Thom Dumond of Boss Engineering at thom@bosseng.com  
Name Business Affiliation E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 10-26-16  
PRINT NAME: Thomas H. Dumond PHONE: 517-861-9387  
ADDRESS: 3121 E. Grand River Ave., Howell, MI 48843

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
NOVEMBER 14, 2016  
6:30 P.M.  
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, James Mortensen, Chris Grajek, Diana Lowe, and John McManus. Absent were Barbara Figurski and Eric Rauch. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Gary Markstrom of Tetra Tech, Brian Borden of LSL Planning and an audience of 0.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA: **Moved** by Commissioner Lowe, seconded by Commissioner McManus, to approve the agenda as presented. **The motion carried unanimously.**

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

**OPEN PUBLIC HEARING #1...**Review of Site Plan Application and Impact Assessment for an expansion of 34 parking spaces for an existing medical building located at 6888 Grand River Avenue, Brighton. The request is petitioned by Howard Lipkin.

- A. Recommendation of Impact Assessment (10-21-16)
- B. Disposition of Site Plant (10-26-16)

Thom Dumond of Boss Engineering stated they would like to add the additional parking lot and landscaping to the rear of the site. They are proposing to install 34 more parking spaces, for a total of 95. This may affect the future development of the site.

Mr. Borden reviewed his letter of November 8, 2016.

The requested increase in parking would bring the parking ratio to 235 percent of the maximum requirement by ordinance; however, the owner has showed that he does have a need for this amount of parking.

Much of the landscaping required for Phase I of the development has still not been planted and he would suggest the applicant work with Township staff to ensure this is completed. The fencing around the retention pond is also not installed. Ms. VanMarter stated that she has been working with the owner's staff. If the landscaping and fencing cannot be completed yet this year, she would like them to provide a performance bond so it can be done in the spring.

Additional landscaping will be required due to the new parking area. He suggested the applicant also work on this with Township staff.

He suggested that additional lighting be added to this new parking lot area.

Mr. Dumond stated they will comply with these requests.

The Impact Assessment needs to be amended so that the number of parking spaces matches what is shown on the site plan.

Mr. Markstrom reviewed his letter of November 7, 2016.

He would like temporary curbing installed near the retention pond. The notes on the site plan regarding water service need to be clarified.

Mr. Dumond stated he will comply with Mr. Markstrom's requests.

The call to the public was made at 6:58 pm with no response.

**Moved** by Commissioner McManus, seconded by Commissioner Grajek, to recommend to the Township Board approval of the Impact Assessment dated October 21, 2016 for an additional 4 parking spaces at 6888 Grand River for a total of 95 spaces with the following conditions:

- The Impact Assessment will be amended to correctly reflect the total number of parking spaces.
- The applicant will work with Township staff as it pertains to the landscaping and fencing around the retention pond with the possibility of a performance bond being required.

**The motion carried unanimously.**

**Moved** by Commissioner Mortensen, seconded by Commissioner Grajek, to approve the Site Plan for a parking expansion by Dr. Howard Lipkin dated October 26, 2016. While the proposed parking is 235 percent of the maximum required by ordinance, this Commission finds that it is appropriate to permit this expansion based on the experience of the petitioner. This approval is conditioned upon the following:

- The two barrier-free parking spaces will be constructed as normal parking spaces until the second building is constructed.
- Landscaping required as part of Phase I and additional landscaping as a result of the expansion of the parking lot will be coordinated with Township staff, including construction of the fence, which was in Phase I.
- A performance bond will be required to ensure that the landscaping and fence are installed.
- The applicant does not need to install the ramp island for the two barrier-free parking spaces.
- New lighting will be installed in the expanded parking lot and coordinated with Township staff.
- The requirements of the Township Engineer's letter dated November 11, 2016 shall be complied with, emphasizing a curb along the southern edge of the expanded parking lot.

**The motion carried unanimously.**



November 8, 2016

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

<b>Attention:</b>	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
<b>Subject:</b>	Lipkin Medical Office parking lot expansion – Site Plan Review #1
<b>Location:</b>	6888 Grand River Avenue – south side of Grand River, west of Hubert Road
<b>Zoning:</b>	NSD Neighborhood Services District

Dear Commissioners:

At the Township’s request, we have reviewed the site plan (dated 10/26/16) proposing development of 34 new parking spaces for the existing 8,000 square foot medical office building. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and provide the comments below for your consideration.

**A. Summary**

1. Planning Commission approval is needed for the amount of parking proposed (235% of the minimum requirement). The submittal indicates that the additional parking is needed given parking shortages during peak business hours.
2. We suggest that the applicant utilize the southernmost spaces for employees until such time as the Phase II building is constructed.
3. Given the extreme distance from the entrance to the existing building, we question the need for the 2 new barrier free spaces until the Phase II building is constructed.
4. The applicant must plant all landscaping that was required as part of Phase I, which is essentially the remainder of the property south of the existing parking lot. We suggest the applicant work with staff to develop a planting plan/schedule to finalize the Phase I landscaping.
5. The landscape plan must be updated to identify existing versus proposed plantings. The parking lot landscaping calculations must also be updated to include the proposed expansion.
6. The applicant may wish to incorporate new lighting into the expanded parking lot.
7. The Impact Assessment states that 40 new spaces are proposed, while the site plan identifies only 34 new spaces.

**B. Proposal/Process**

The applicant requests site plan review and approval for 34 new parking spaces. These spaces, along with a second 8,000 square foot building were shown as Phase II activities in the originally approved site plan from 2014.

The request at this time is only for the parking lot expansion. As a reminder to the applicant, at such time as the Phase II building is submitted for review, special land use approval will also be required given the total square footage of medical office space.

Since the request is only to expand the parking lot, Planning Commission has review and approval authority over the site plan, although the Environmental Impact Assessment will be subject to review and approval by the Township Board (following a recommendation by the Planning Commission).



*Aerial view of site and surroundings prior to Phase I development (looking south)*

**C. Site Plan Review**

- 1. Dimensional Requirements.** As described in the table below, the project complies with the applicable dimensional standards of the NSD:

District	Lot Size		Parking Setbacks	Lot Coverage
	Lot Area (acres)	Width (feet)		
NSD	1	100	10'	Governed by setbacks
Proposal	2.8	202	14.48' side (E) 11.83' side (W)	12.1% building 44.6% impervious

- 2. Parking.** Medical offices require 1 parking space for each 200 square feet of gross floor area. Based on the size of the existing building, 40 spaces are required, while a total of 94 will be provided as a result of this proposal.

Section 14.02.06 requires Planning Commission approval for parking in excess of 120% of the minimum requirement. As proposed, the parking ratio will be 235% of the minimum requirement for the existing building. (If the Phase II building is constructed the ratio will be reduced to 117.5%.)

In order to grant the excess parking, the Commission must find “that such parking will be required, based on documented evidence, to accommodate the use on a typical day.”

In support of this request, the submittal indicates there are parking shortages during peak business hours, including several photos of a relatively full parking lot. Additionally, the original site plan approval included a parking ratio of 137.5% based on the stated needs of the applicant at that time.

The proposed parking spaces, drive aisles and number of barrier free spaces all meet or exceed the requirements of Article 14.

- 3. Pedestrian Circulation.** A public sidewalk and connections between the parking lot and Phase I building were proposed in the original site plan approval from 2014. No changes are proposed as part of the current request, although areas for future sidewalk connections to the Phase II building are noted.

We suggest that the applicant utilize the southernmost spaces for employees until such time as the Phase II building is constructed. These spaces are approximately 275 feet from the nearest entrance of the Phase I building, which is relatively inconvenient for patrons. Given this distance, we also question the need for the 2 new barrier free spaces until the Phase II building is constructed.

4. **Vehicular Circulation.** No changes are proposed to access to/from Grand River. The drive aisle connections between the existing and proposed parking lot exceed dimensional standards; however, a truck turning template is provided showing the need for the drive aisle widths.
7. **Landscaping.** The greenbelt, detention pond and buffer zone requirements are not impacted by the proposed parking lot expansion. The originally approved landscape plan provided more than sufficient plantings to satisfy these requirements. However, it has come to our attention that the applicant has yet to plant all of the Phase I landscaping. Specifically, the area south of the existing parking lot, including the detention basin, does not include the landscaping required as part of the original site plan approval.

We suggest the applicant work with staff to develop a planting plan/schedule to finalize installation of the Phase I plantings. The Commission may wish to include this as a condition of site plan approval for the current request.


Additionally, the plan submitted does not differentiate between existing and proposed plantings and the parking lot landscaping calculations do not include the proposed expansion – this area results in the need for 4 canopy trees and 340 square feet of landscaped area within the parking lot. As such, the landscape plan must be updated to include this information.

9. **Exterior Lighting.** The submittal includes the originally approved lighting plan; however, no new lighting is proposed for the project area. Given that the majority of the readings in the project area are less than 1.0-footcandle, the applicant may wish to incorporate new lighting into the expanded parking lot.
10. **Impact Assessment.** The submittal includes a new Impact Assessment (dated 10/21/16), which notes that the proposed project is not expected to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Our only comment is that the Assessment notes 40 new parking spaces, while the site plan shows only 34. The Assessment should be corrected for consistency.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Respectfully,  
**LSL PLANNING, A SAFE BUILT COMPANY**

  
Brian V. Borden, AICP  
Planning Manager

November 7, 2016

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Lipkin Parking Lot  
Site Plan Review**

Dear Ms. Van Marter:

We have reviewed the amended site plan documents from Boss Engineering Inc. dated October 26, 2016 which were delivered to the Township Engineer on that date. The petitioner is proposing to expand the existing parking lot by 40 spaces. Tetra Tech has reviewed the documents and site plan and offers the following comments.

**Summary**

1. Clarify phasing.
2. Water service termination.

**Site Plan**

1. Show clearly what storm sewer has already been constructed and any new inlets or piping that will be constructed. It also is unclear what is proposed for the south edge of the parking lot. Will the proposed sidewalk or a temporary curb installed to ensure that stormwater drains to the retentions basin through the inlets? Provide some clarity on what will happen at the end of this phase of expansion.
2. Indicate where the 2" water service will be temporarily terminated until the next building is installed. Provide some means to prevent tampering with any exposed piping.

The petitioner should review the above comments, revise the site plan drawings and resubmit the documents for review.

Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gary Markstrom".

Gary J. Markstrom, P.E.  
Unit Vice President

A handwritten signature in blue ink, appearing to read "Joseph C. Siwek".

Joseph C. Siwek, P.E.  
Project Engineer

Copy: Brent LaVanway P.E. Boss Engineering Inc.



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

November 4, 2016

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Lipkin Medical Office Bldg. (parking lot)  
6888 Grand River  
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on November 2, 2016 and the drawings are dated April 30, 2014 with latest revisions dated October 26, 2016. The project is based on an existing approved site plan for a two-phase business office development. The plan review is based on the requirements of the International Fire Code (IFC) 2015 edition.

Emergency vehicle access is compliant with Brighton Area Fire Authority and IFC requirements as is the placement and number of fire hydrants available to the site. The remaining fire authority comments are specific to the construction of the second phase building, see below.

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

**IFC 505.1**

2. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box will be located adjacent to the front door of the structure.

**IFC 506.1**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Capt. Rick Boisvert, CFPS  
Fire Inspector

November 16, 2016

## **ENVIRONMENTAL IMPACT ASSESSMENT REPORT**

Site Plan Submittal

### **Project:**

Additional Parking Installation at Brighton Dermatology & Regeneration  
6888 Grand River Ave  
Brighton, MI 48114

### **Table of Contents**

Project Introduction

Criteria:

- Location
- Impact on Natural Features
- Impact of Storm Water Management
- Impact on Surrounding Land Uses
- Impact on Public Facilities and Services
- Impact on Public Utilities
- Storage and handling of Hazardous Materials
- Traffic Impact Study
- Historic and Cultural References
- Special Provisions
- Building Relationships
- Impact on Surrounding Land Uses and Zoning

Attachments:

- Photos of parking shortages during peak business hours (Exhibit 1)
- Original Civil Site plan illustrating approved additional parking during facility site plan approval (Exhibit 2)
- Approved Site Data (Exhibit 3)

### **Project Introduction**

This project consists solely of the addition of added parking at the North side of the Phase II project site. The project increases parking by 34 spaces. The parking was previously approved for this site and will have minimal impact on the surrounding uses. (refer to Exhibit 3)

### **Location**

The project is located at the South end of the existing parking lot for Brighton Dermatology & Regeneration. (refer to Exhibit 2)

### **Impact on Natural Features**

The proposed parking will have minimal impact on the existing natural features. There are no wetlands on the property. There are no other natural features of the site being impacted. (refer to Exhibit 2)

### **Impact on Storm Water Management**

There will be minimal impact on Storm Water Management with this additional parking.

### **Impact on Surrounding Land Uses**

There will be little to no impact on the surrounding land uses for this additional parking. The parking was initially approved with the original site plan approval documents and the impact on the surrounding land uses was taken into account at this time. (see exhibit 3)

### **Impact on Public Facilities and Services**

There will be little or no impact on public facilities and services.

### **Impact on Public Utilities**

There will be little to no impact on public utilities. As mentioned previously, this project was approved with the additional parking and the impact on the public facilities and utilities was taken into account with the approval.



### **Storage and Handling of Hazardous Materials**

There will be no hazardous material used or disposed of on this site.

### **Traffic Impact Study**

The traffic impact of this additional parking was studied during the initial site plan approval process and determined to be acceptable for this site (refer to exhibit 2 and exhibit 3). The parking is solely to support the existing facility. The impact of this parking addition will be minimal.

The anticipated daily occupancy of 30 employees plus 80 to 120 visitors and patients will have very little impact to nearby properties. We have observed this number of employees, visitors and patients since our facility opened on August 29, 2016 and have not seen any traffic issues entering or exiting Grand River. The observation also includes no impact on the shared driveway with ReMax.

Additionally, we have not observed any traffic issues when both our business and ReMax are at peak business traffic. Our only observation is the lack of parking for our employees, visitors and patients during peak business hours.

### **Historical and cultural References**

This does not apply as the project is solely for additional parking for the existing facility.

### **Special Provisions**

There are no special provisions for this project.

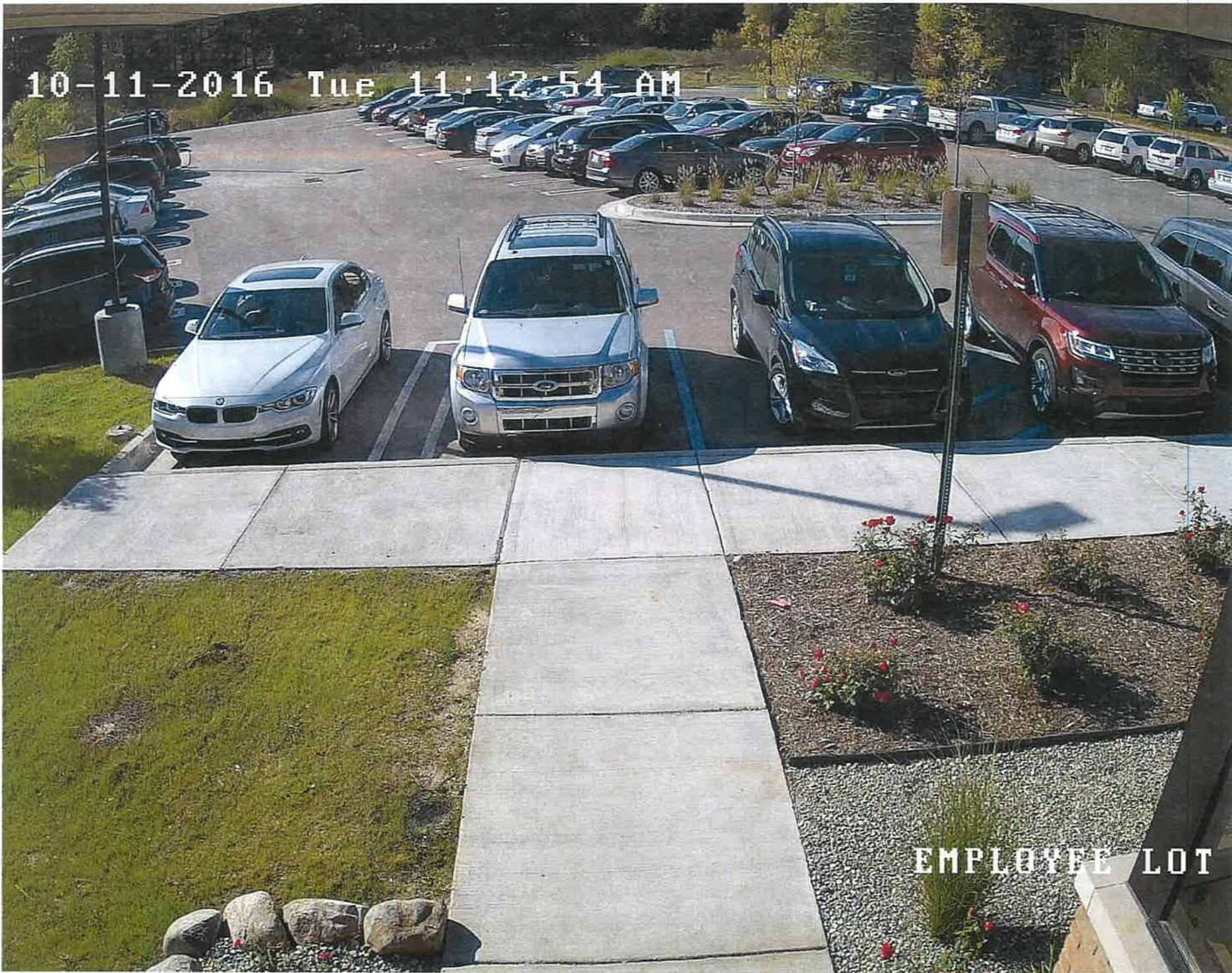
### **Building Relationships**

This project solely relates to Brighton Dermatology & Regeneration.

### **Impact on Surrounding Land Uses and Zoning**

This parking was previously approved during the initial site plan approval process where the impact on surrounding land uses was studied and determined minimal.

10-11-2016 Tue 11:12:54 AM



EMPLOYEE LOT

Exhibit 1

10-24-2016 Mon 10:59:20 AM



EMPLOYEE LOT

Exhibit 1

10-04-2016 Tue 10:39:26 AM

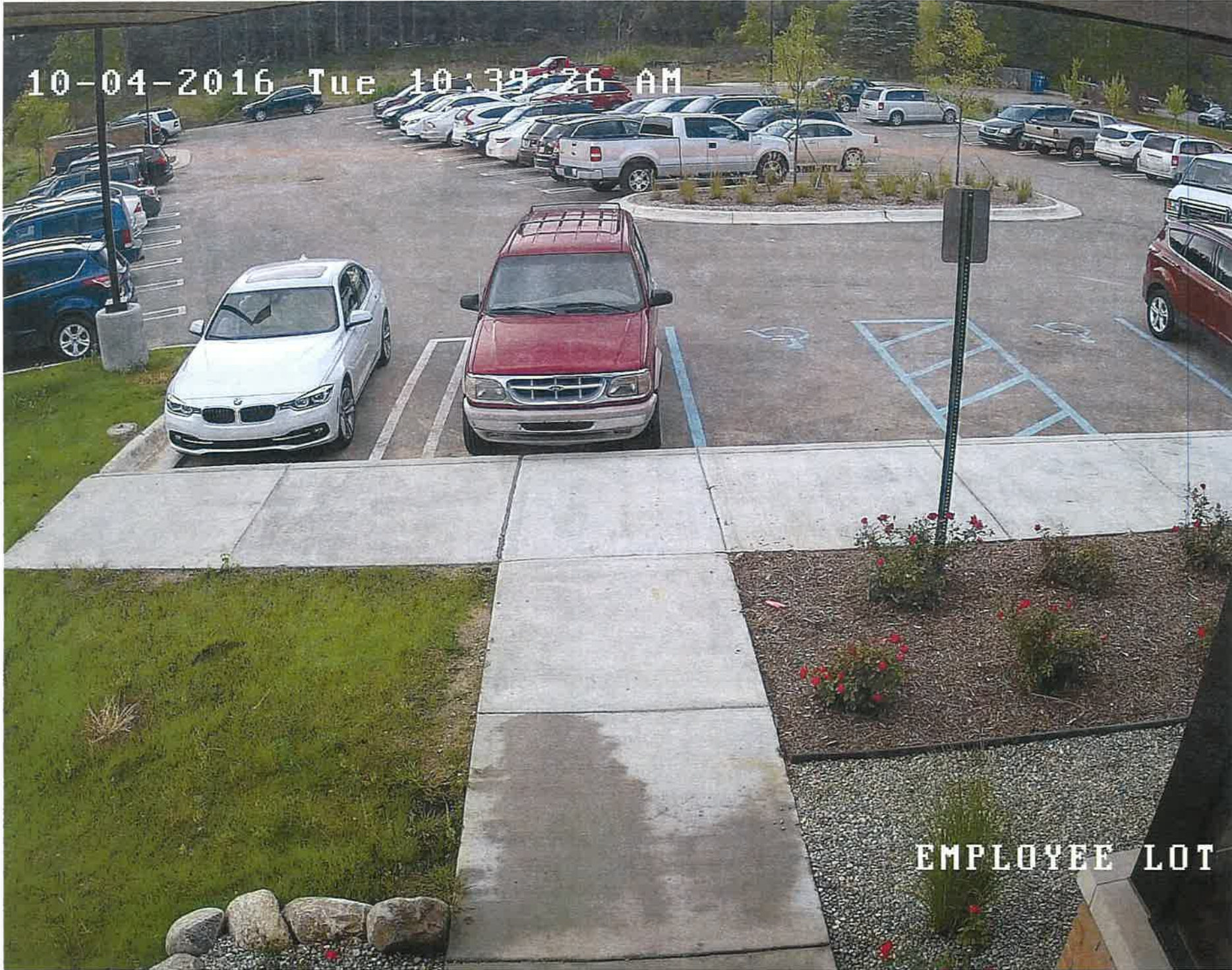


Exhibit 1

EMPLOYEE LOT



Engineers • Surveyors • Planners • Landscape Architects

May 22, 2014

GENOA TOWNSHIP  
MAY 23 2014

Mr. Brian V. Borden, AICP  
306 S. Washington Ave. Suite 400  
Royal Oak, Michigan 48067

Re: Lipkin Medical Office Building, Genoa Township, Livingston County, Michigan  
Boss File No. 13-285

Dear Mr. Borden,

We have received your review letter for the above referred project dated May 14, 2014, and offer the following comments.

1. The building height has been reduced to be a maximum of 20 feet.
2. The building materials have been labeled on the elevations.
3. The material calculations have been added to the building elevations.
4. A building rendering has been added to this submittal package.
5. Dr. Lipkin currently has an office in Genoa Township near this site. His current office has an issue with parking. On a regular basis, his patients have found it difficult to find a parking space. Therefore, we are proposing the number of spaces we have determined would adequately service the needs of his patients.
6. It is noted on the site plan that all deliveries will be by UPS or similar vehicles at the main entrance of the building. Therefore, no loading zone has been provided.
7. Additional landscape plantings have been added along the east property to bring the design into ordinance compliance.
8. The minor discrepancies in the landscape plan have been corrected.
9. A sign design has been added to the building elevations.

If you should have any questions, feel free to contact us at any time.

Regards,

BOSS ENGINEERING COMPANY

A handwritten signature in black ink, appearing to read "Thomas H. Dumond".

Thomas H. Dumond, R.L.A., LEED AP,  
Vice President Planning and Landscape Architect

CC: G:\13-285\docs\13-28514.doc

GENOA TOWNSHIP  
MAY 23 2014

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**IMPACT ASSESSMENT  
FOR  
SITE PLAN PETITION  
"LIPKIN MEDICAL OFFICE BUILDING"  
GENOA TOWNSHIP, LIVINGSTON COUNTY  
MICHIGAN**

Prepared for:

**DR. HOWARD LIPKIN  
3172 INTERLAKEN STREET  
WEST BLOOMFIELD, MI 48323  
(248) 680-9900**

Prepared by:

**BOSS ENGINEERING COMPANY  
3121 E. GRAND RIVER  
HOWELL, MI 48843  
(517) 546-4836**

May 21, 2014

**13-293EIA**

## INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

## DISCUSSION ITEMS

**A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.**

Prepared By :  
BOSS ENGINEERING COMPANY  
Civil Engineers, Land Surveyors, Landscape Architects and Planners  
3121 E. Grand River  
Howell, MI 48843  
(517) 546-4836

Prepared For :  
Dr. Howard Lipkin  
3172 Interlaken Street  
West Bloomfield, MI 48323  
(248) 680-9900

**B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.**

The site is located on the south side of Grand River Avenue, approximately 900 feet east of the Kellogg Road intersection. The property has 202 feet of frontage along Grand River, the entire width of the site. Immediately west of the site is office use, east is general commercial use and to the south is residential. To the north, on the opposite side of Grand River Avenue, is a new dental office currently under construction. The subject property is currently undeveloped, and zoned Neighborhood Services District (NSD).

**C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.**

The total site area is 3.03 acres. There are 0.23 acres of right-of-way for Grand River Avenue leaving a total of 2.80 acres of buildable space. There are no wetlands on the property. The site gradually slopes north towards Grand River Avenue at approximately 0.3%. Most of the trees are located on the southern 1/3 of the site. The remainder of the site is open area with about 5 sporadic trees. Most of the trees are box elder and American elm. Most of the trees on the site will need to be removed for the placement of the proposed retention basin, forebay and medical buildings. A row of 8 to 12 inch pines along the south property line will remain to provide an evergreen buffer to the residence to the south. The USDA Soil Conservation Service soil classification for the site is Miami-Loam 6-12% slopes.

**D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.**

Surface runoff during periods of construction will be controlled by proper methods set forth by the Livingston County Drain Commissioner, including silt fence, pea stone filters, inlet protection devices, and seed and mulch. A meeting was held with the Livingston County Drain Commissioner to address stormwater management. Their primary recommendation is to maintain the existing drainage patterns as closely as possible.

At the time of construction, there may be some temporary dust, noise, vibration and smoke, but these conditions will be of relatively short duration and shall be controlled by applying appropriate procedures to minimize the effects, such as watering if necessary for dust control.

The Site Plan documents show the proposed locations of all site improvements along with detailed soil erosion control information. The plans will be reviewed by the Livingston County Drain Commissioner's office for compliance with their regulations prior to issuance of a Soil Erosion Control permit.

**E. Impact on surrounding land use: Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.**

In two phases, the applicant is planning on constructing two 8,000 square foot medical office buildings, totaling 16,000 square feet. Phase I includes Building #1 closest to Grand River Avenue, required parking, pedestrian circulation and site access. Phase I also includes construction of the retention and forebay storm water management system, sized for the final built out of the overall site. Phase II will be constructed at a later date, which includes the Building #2, and final build out of the required parking and pedestrian walkways.

With the proposed use being office, most of the activity on the property would be weekdays 8 AM to 5 PM. Unlike a commercial use, there would be limited evening or weekend traffic.

The increase in light, noise or air pollution would be far less than what is typically associated with a commercial development. Developing a single small office building on the property will have minimal impact on surrounding properties.

**F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection.**

Letters from the appropriate agencies may be provided, as appropriate.

There will be very little impact on residents to the south of the site, as there will be a 22 feet wide undisturbed evergreen buffer and a new 100 feet wide green space retention basin, separated by a restrictive fence. The anticipated daily occupancy of 80 employees, visitors, and patients will have very little negative impact to nearby properties, but may even help the neighboring businesses with additional subsidiary patronage.

There is no expected impact on Brighton Area Schools and very minimal impact on the police and fire departments.



**G. Impact on public utilities:** Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post development flows shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The development will be served by both public water and sanitary sewer, both located within the Grand River Avenue right-of-way. The public water is provided by MHOG Sewer and Water Authority, where the sanitary sewer collection is provided by the G-O Sewer Authority. Both utilities are serviced from the west of the site.

The pre-development sanitary flow from this site is zero. Post-development flows based on MHOG sewer standards for a medical office building is equivalent to 9 REU's.

Medical Office Building =  $1.0 + 0.5/\text{exam room} \times (16 \text{ exam rooms}) = 9 \text{ REU's}$

With regards to storm water management, the project will be required to meet all local, county and state storm water and erosion control requirements. All of the required information is included in the Site Plan documents. Most storm water runoff will be remain on site and directed to the proposed forebay and retention basin at the rear of the site.

**H. Storage or handling of any hazardous materials:** Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

There will be no hazardous materials used or disposed of on this site. Gas cans, striping paint, etc.

**I. Impact on traffic and pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

According to the Institute of Transportation Engineers Trip Generation 6th addition, the number of trips generated by this development would be an average of 28 trips per hour (3.46 trips per unit per 1,000sf) trips per hour during the AM peak hours, and 31 trips per hour during the PM peak hours. This is based on a Medical-Dental Office Building.

**J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.**

The anticipated number of directional vehicle trips during the peak hour of traffic is 31. Therefore a detailed traffic impact study is not necessary.

**K. Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

None at this time.

**L. A list of all sources shall be provided.**

**Genoa Township's *Submittal Requirements For Impact Assessment***

**Genoa Township Zoning Ordinances**

**Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service**

**National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service**

**Trip Generation manual, 6<sup>th</sup> edition, Institute of Transportation Engineers**

## SITE DATA

	EXISTING/REQUIRED	PROPOSED
ZONING	NEIGHBORHOOD SERVICE (NSD)	NEIGHBORHOOD SERVICE (NSD)
AREA (GROSS)	1 ACRES	3.03 ACRES
AREA (NET)	1 ACRES	2.80 ACRES
LOT WIDTH	100'	202.00'
USE	VACANT	MEDICAL OFFICE BUILDING
SETBACKS		
FRONT	35'	40.75'
SIDE	10'	13.31'
REAR	40'	490'
PARKING	10'	11.63'
MAX. LOT COVERAGE	35% BLDG. 60% IMPERVIOUS	12.1% 44.6%

PARKING - 1 SPACE PER 200 S.F. OF GROSS FLOOR AREA (16,000 S.F.) = 80 SPACES (INCLUDES 4 BARRIER-FREE SPACE)  
 PARKING PROVIDED: PHASE 1 = 55 SPACES, PHASE 2 = 40 SPACES TOTAL = 95 SPACES (INCLUDES 8 BARRIER-FREE)

LOADING SPACE - ALL DELIVERIES ARE BY UPS/FED EX TYPE TRUCKS LOADING/UNLOADING AT WALK AT FRONT OF BUILDING.

### SOILS (PER U.S.D.A. SOIL SURVEY):

MIAMI LOAM - WELL-DRAINED, NEARLY LEVEL TO VERY STEEP SOILS ON TILL PLAINS AND MORAINES. SURFACE LAYER IS DARK GRAYISH-BROWN LOAM 9 INCHES THICK. THE SUBSURFACE LAYERS ARE FROM FRIABLE LIGHT CLAY LOAM TO BROWN LOAM. PERMEABILITY IS MODERATE.

# AMENDED SITE PLAN FOR LIPKIN MEDICAL OFFICE BUILDING

## PART OF N.E. 1/4, SEC. 14, T.2N., R.5E. GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

### PROPERTY DESCRIPTION:

**LEGAL DESCRIPTION PER SELECT TITLE COMPANY (AGENT FOR NORTH AMERICAN TITLE INSURANCE COMPANY),  
COMMITMENT NO: 21140 REVISION 1, WITH AN EFFECTIVE DATE OF OCTOBER 2, 2012 @ 3:00 PM**

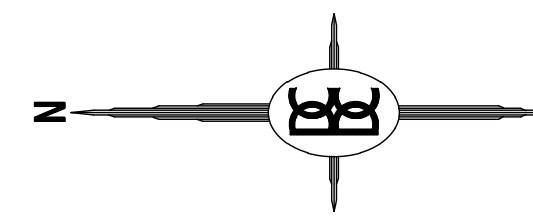
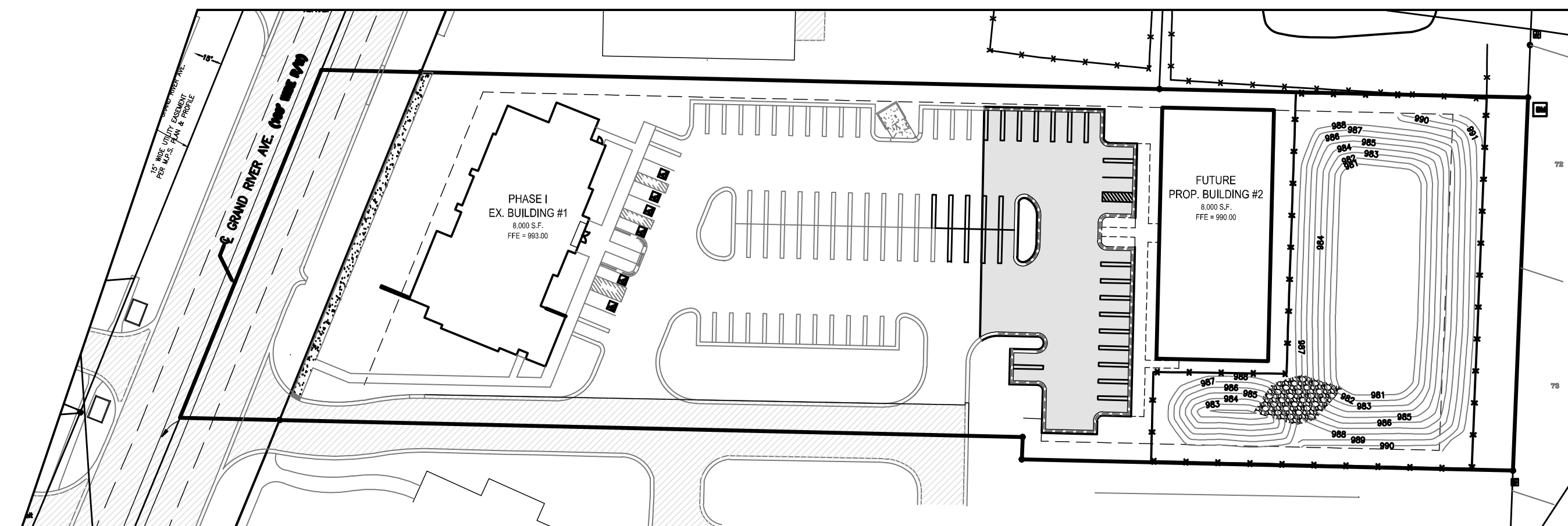
Land situated in the Township of Genoa, County of Livingston, State of Michigan is described as follows:

PARCEL B  
Commencing at the East 1/4 corner of Section 14, T2N, R5E, Genoa Township, Livingston County, Michigan; thence North 02 degrees 26'01" East 876.38 feet (876.50 feet recorded) along the East line of said section and the centerline of Hubert Road; thence North 87 degrees 41'06" West 818.14 feet along the Northerly line of Grand Beach No. 3, according to the plat thereof as recorded in Liber 16 of Plats, pages 9 and 10, Livingston County Records for a Place of Beginning; thence continuing North 87 degrees 41'06" West 200.88 feet along said Northerly line; thence North 01 degree 18'47" East 263.96 feet; thence South 87 degrees 41'06" East 12.00 feet; thence North 01 degree 18'47" East 452.86 feet; thence South 67 degrees 53'54" East 202.00 feet along the centerline of Grand River Avenue; thence South 01 degree 18'47" West 648.43 feet to the Place of Beginning. Being a part of the Northeast 1/4 of Section 14, T2N, R5E, Genoa Township, Livingston County, Michigan.

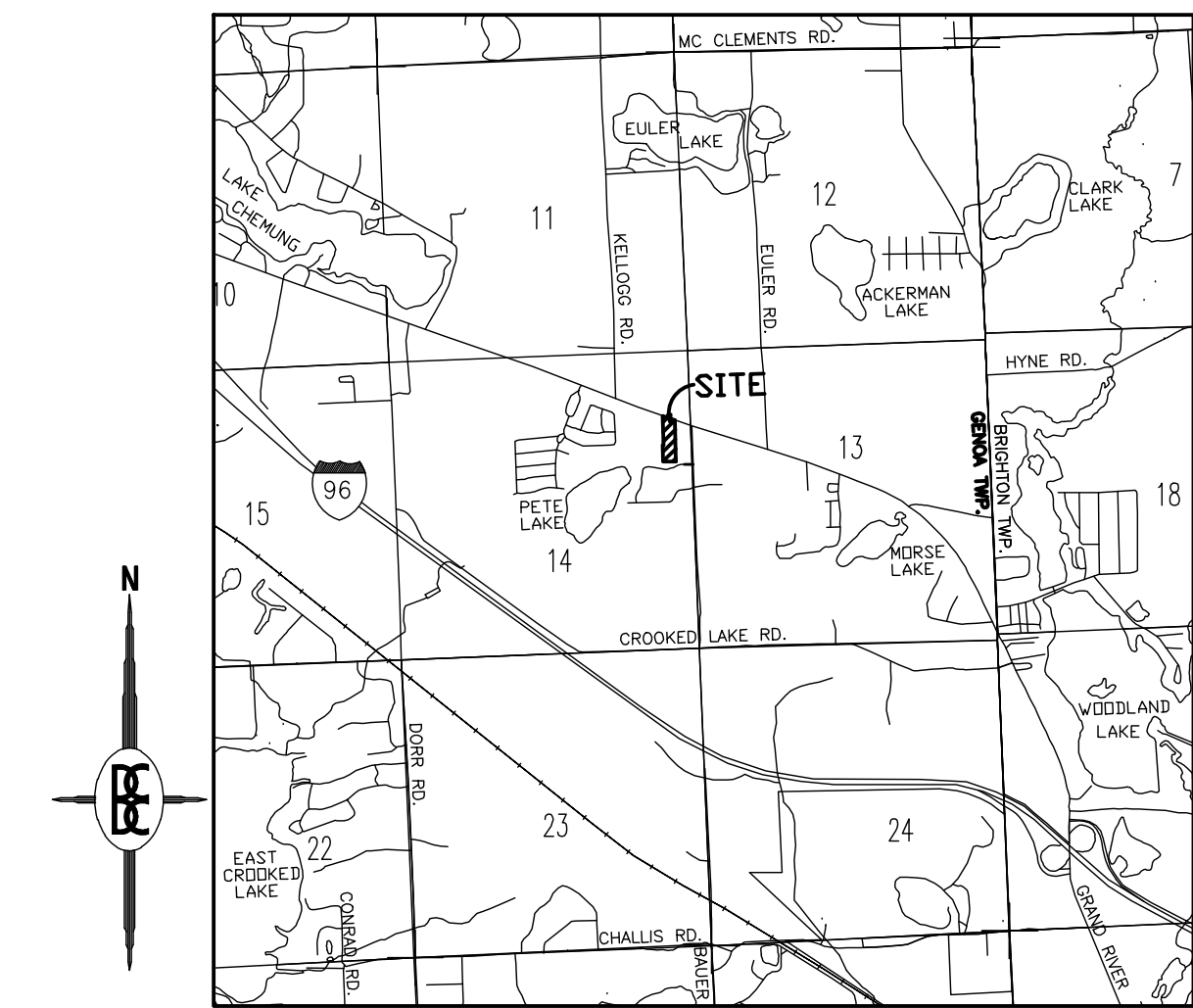
**TOTAL SITE AREA IS 3.03 ACRES, WHEREBY 0.23 ACRES IS WITHIN THE GRAND RIVER AVENUE RIGHT-OF-WAY AND 2.80 ACRES IS BUILDABLE SPACE.**

### CONSTRUCTION NOTES

- THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
1. THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
  2. DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  3. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
  4. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
  5. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
  6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
  7. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
  8. ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
  9. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  10. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
  11. THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
  12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
  13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  14. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  15. THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  16. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
  17. ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
  18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
  19. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
  20. DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
  21. IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
  22. NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
  23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
  24. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
  25. ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
  26. TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
  27. ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
  28. AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
  29. ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
  30. NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
  31. ANY EXISTING APPURTENANCES SUCH AS MAN-HOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
  32. SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
  33. ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



**OVERALL SITE MAP**  
NO SCALE



**LOCATION MAP**  
NO SCALE

### SHEET INDEX

SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	SITE PLAN
C3	GRADING, DRAINAGE & SOIL EROSION CONTROL PLAN
C4	UTILITY PLAN
C5	LANDSCAPE PLAN
C6	LIGHTING PLAN
C7	RETENTION & HYDRAULICS PLAN
C8	WATER MAIN PROFILE AND INTERIM GRADING PLAN
C9	EXISTING CONDITIONS & DEMOLITION PLAN
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION DETAILS
C12	MHOG SANITARY SEWER DETAILS
C13	MHOG WATER MAIN DETAILS

## LIPKIN MEDICAL OFFICE BUILDING

PREPARED FOR:

DR. HOWARD LIPKIN  
3172 INTERLAKEN STREET  
WEST BLOOMFIELD, MI 48323  
PHONE: 810-220-4422

CIVIL ENGINEER/SITE PLANNER:

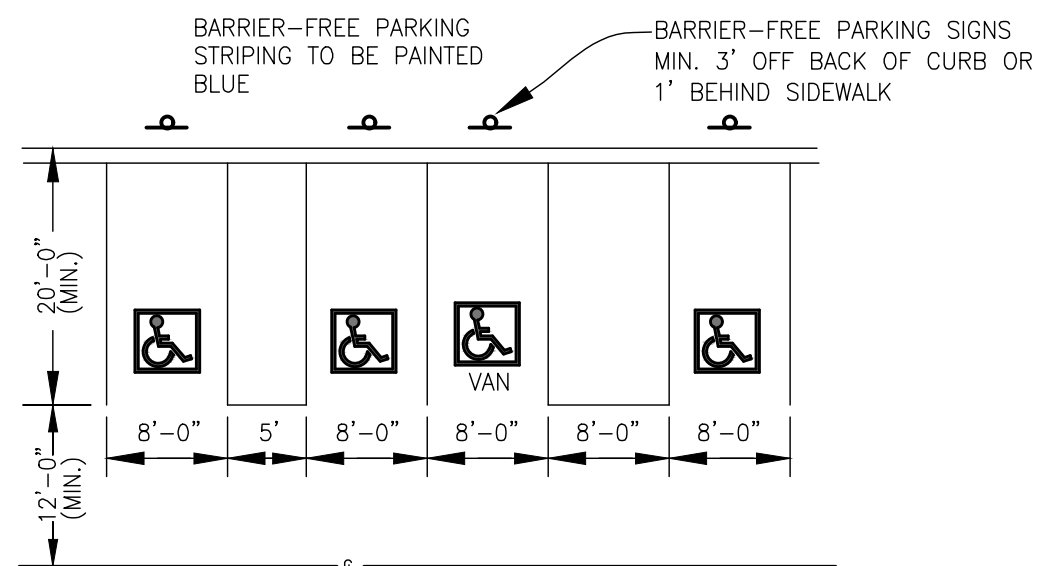
**BOSS ENGINEERING**  
ENGINEERS • SURVEYORS • PLANNERS  
LANDSCAPE ARCHITECTS  
(E-MAIL: [be@bosseng.com](mailto:be@bosseng.com))  
3172 E. GRAND RIVER AVE.  
HOWELL, MI 48845  
(800) 246-6735 FAX (517) 548-1670

### INDEMNIFICATION STATEMENT

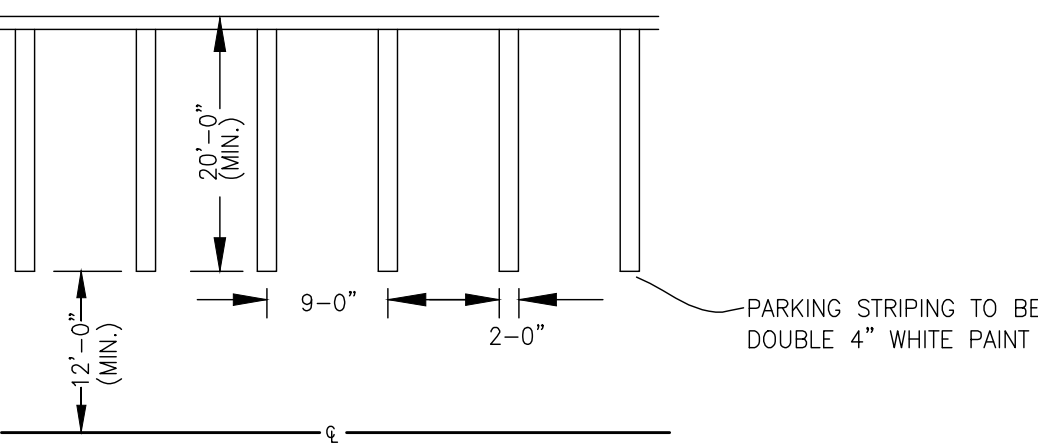
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NO	BY	CK	REVISION	DATE	ISSUE DATE: 4-30-14	JOB NO. 13-283
6	TD		P.C. COMMENTS	11-15-16		
5	TD		AMENDED SITE PLAN	10/26/16		
4	LM		PER TOWNSHIP REVIEW	11/11/14		
3	LM		PER COUNTY REVIEW	10/24/14		
2	LM		PER TOWNSHIP REVIEW	6/19/14		
1	LM		PER TOWNSHIP REVIEW	5/21/14		

1



**TYPICAL BARRIER FREE PARKING SPACE**  
(NO SCALE)



**TYPICAL PARKING SPACE**  
(NO SCALE)

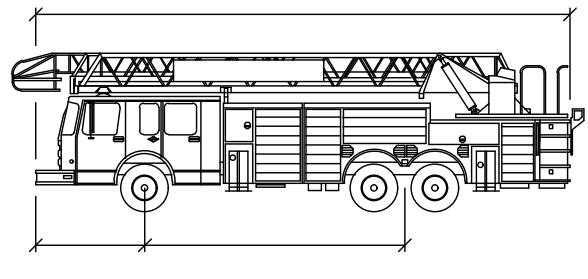
**SITE DATA**

	EXISTING/REQUIRED	PROPOSED
ZONING	NEIGHBORHOOD SERVICE (NSD)	NEIGHBORHOOD SERVICE (NSD)
AREA (GROSS)	1 ACRES	3.03 ACRES
AREA (NET)	1 ACRES	2.80 ACRES
LOT WIDTH	100'	202.00'
USE	VACANT	MEDICAL OFFICE BUILDING
SETBACKS		
FRONT	35'	40.75'
SIDE	10'	13.31'
REAR	40'	490'
PARKING	10'	11.63'
MAX. LOT COVERAGE	35% BLDG. 60% IMPERVIOUS	12.1% 44.6%

PARKING - 1 SPACE PER 200 S.F. OF GROSS FLOOR AREA (16,000 S.F.) = 80 SPACES (INCLUDES 4 BARRIER-FREE SPACE)  
 PARKING PROVIDED: PHASE 1 = 61 SPACES, PHASE 2 = 34 SPACES TOTAL = 95 SPACES (INCLUDES 6 BARRIER-FREE)

LOADING SPACE - ALL DELIVERIES ARE BY UPS/IFED EX TYPE TRUCKS LOADING/UNLOADING AT WALK AT FRONT OF BUILDING.

SOILS (PER U.S.D.A. SOIL SURVEY):  
 MIAMI LOAM - WELL-DRAINED, NEARLY LEVEL TO VERY STEEP SOILS ON TILL PLAINS AND MORAINES. SURFACE LAYER IS DARK GRAYISH-BROWN LOAM 9 INCHES THICK. THE SUBSURFACE LAYERS ARE FROM FRIABLE LIGHT CLAY LOAM TO BROWN LOAM. PERMEABILITY IS MODERATE.

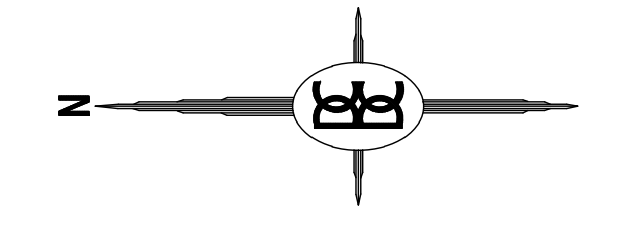
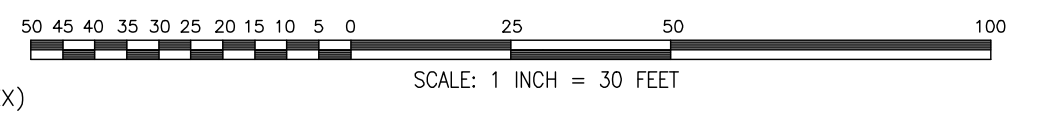


**LEGEND**

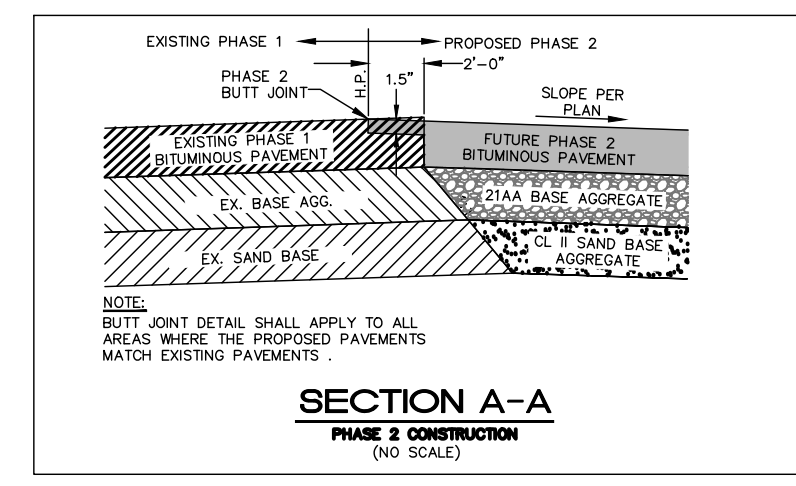
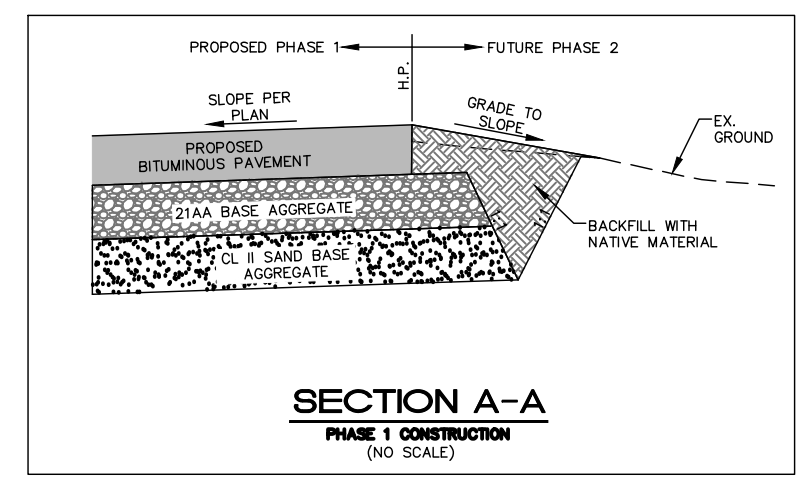
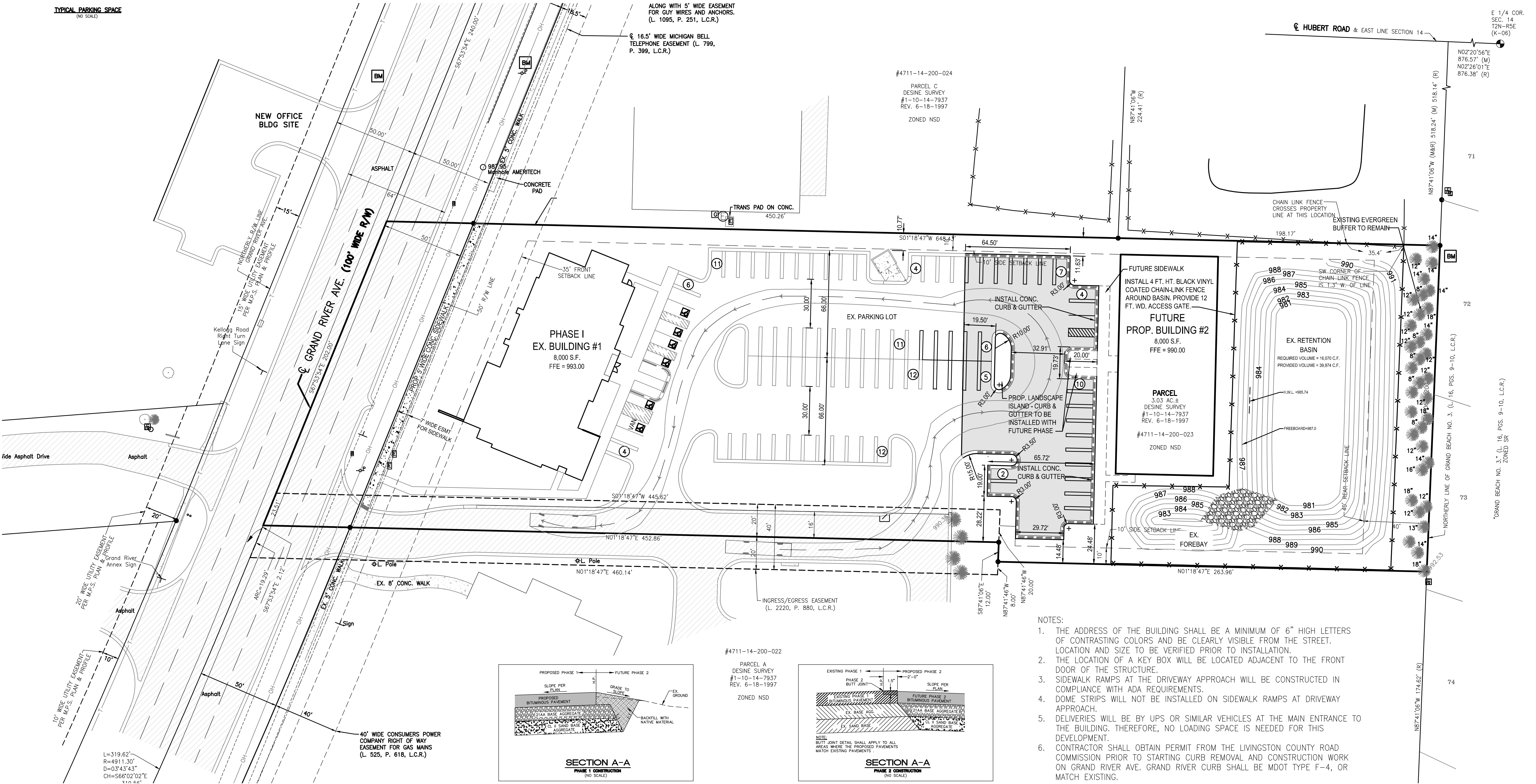
PROPOSED (PR)	EXISTING (EX)	
FF	FF	922.08
FG	FG	
T/A	T/A	
T/W	T/W	
F/L	F/L	
T/P	T/P	
RIM	RIM	
INV	INV	
MH	MH	
IN	IN	
CB	CB	
ES	ES	
GV	GV	
HY	HY	
UP	UP	
SN	SN	
SL	SL	
FM	FM	
ST	ST	
WM	WM	
WL	WL	
OH	OH	
C	C	
E	E	
G	G	
T	T	

**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
MANHOLE	MANHOLE	
INLET / CATCHBASIN	INLET / CATCHBASIN	
FLARED END-SECTION	FLARED END-SECTION	
GATE VALVE	GATE VALVE	
HYDRANT	HYDRANT	
UTILITY POLE	UTILITY POLE	
FENCE	FENCE	
SANITARY SEWER LABEL	SANITARY SEWER LABEL	
STORM SEWER LABEL	STORM SEWER LABEL	
WATER MAIN LABEL	WATER MAIN LABEL	
SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)	
SILT FENCE	SILT FENCE	
LIMITS OF GRADING/CLEARING	LIMITS OF GRADING/CLEARING	
WETLAND BOUNDARY	WETLAND BOUNDARY	
CONCRETE	CONCRETE	
ASPHALT	ASPHALT	
MODIFIED CURB	MODIFIED CURB	
'NO PARKING FIRE LANE' SIGNS	'NO PARKING FIRE LANE' SIGNS	
PROPOSED SOIL BORING LOCATION	PROPOSED SOIL BORING LOCATION	



THE DESIGN AND CONSTRUCTION OF THIS PROJECT HAS BEEN REVIEWED BY THE LIVINGSTON COUNTY ROAD COMMISSION PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DESIGNER HAS BEEN ADVISED THAT THE ROAD COMMISSION IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.



- NOTES:
- THE ADDRESS OF THE BUILDING SHALL BE A MINIMUM OF 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. LOCATION AND SIZE TO BE VERIFIED PRIOR TO INSTALLATION.
  - THE LOCATION OF A KEY BOX WILL BE LOCATED ADJACENT TO THE FRONT DOOR OF THE STRUCTURE.
  - SIDEWALK RAMPS AT THE DRIVEWAY APPROACH WILL BE CONSTRUCTED IN COMPLIANCE WITH ADA REQUIREMENTS.
  - DOMES STRIPS WILL NOT BE INSTALLED ON SIDEWALK RAMPS AT DRIVEWAY APPROACH.
  - DELIVERIES WILL BE BY UPS OR SIMILAR VEHICLES AT THE MAIN ENTRANCE TO THE BUILDING. THEREFORE, NO LOADING SPACE IS NEEDED FOR THIS DEVELOPMENT.
  - CONTRACTOR SHALL OBTAIN PERMIT FROM THE LIVINGSTON COUNTY ROAD COMMISSION PRIOR TO STARTING CURB REMOVAL AND CONSTRUCTION WORK ON GRAND RIVER AVE. GRAND RIVER CURB SHALL BE MDOT TYPE F-4, OR MATCH EXISTING.

**BOSS ENGINEERING**  
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 LANDSCAPE ARCHITECTS  
 (E-MAIL: bossengr.com)  
 3172 E. GRAND RIVER AVE.  
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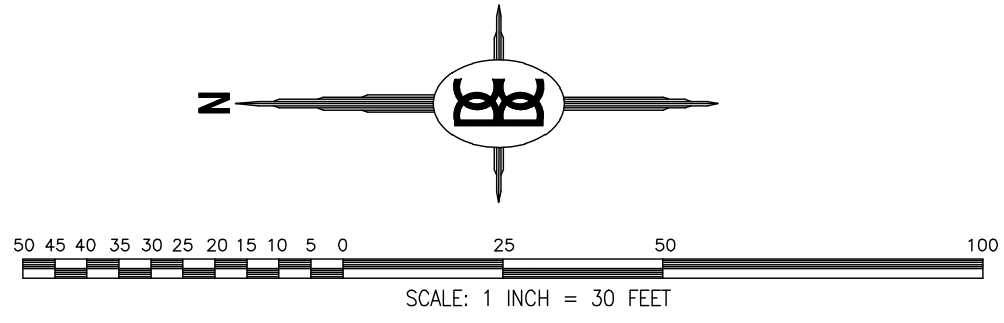
PROJECT: **LIPKIN MEDICAL OFFICE BUILDING**  
 PREPARED FOR: **DR. LIPKIN**  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

TITLE: **SITE PLAN**

NO	BY	REVISION	PER	DATE
1	LM	PER TOWNSHIP REVIEW		5/21/14
2	LM	PER TOWNSHIP REVIEW		6/19/14
3	LM	PER COUNTY REVIEW		11/24/14
4	LM	PER TOWNSHIP REVIEW		10/26/16
5	TD	AMENDED SITE PLAN		10/26/16
6	TD	P.C. COMMENTS		11-15-16

DESIGNED BY: TD  
 DRAWN BY: TD  
 CHECKED BY: TD

SCALE: 1" = 30'  
 JOB NO. 13-293  
 DATE 4-30-14  
 SHEET NO. C2

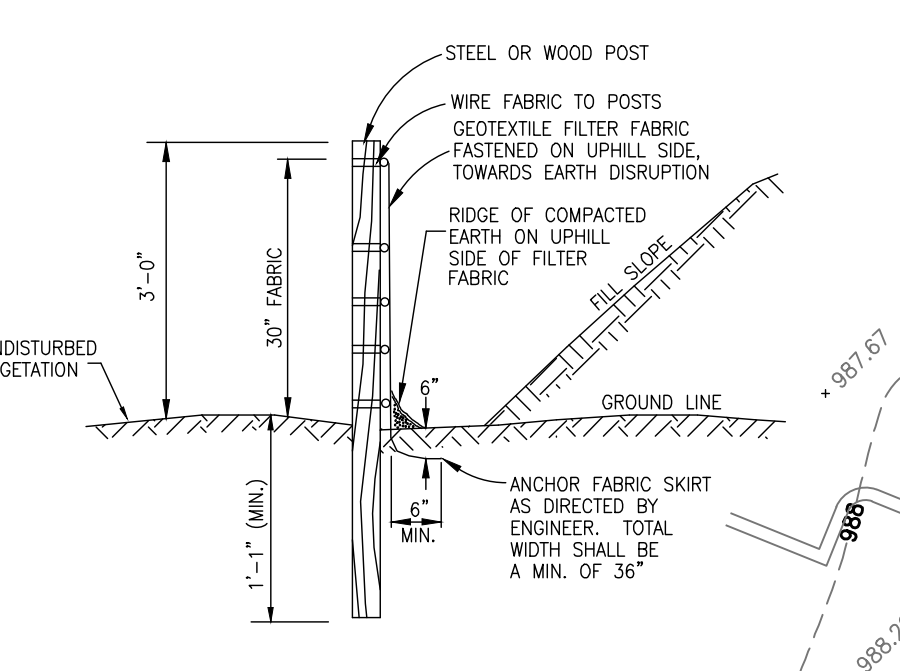
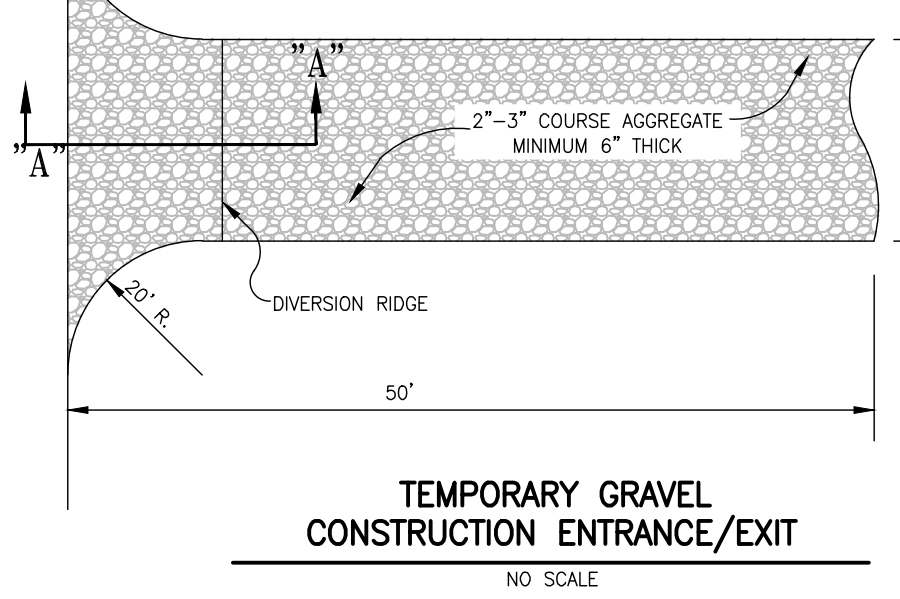
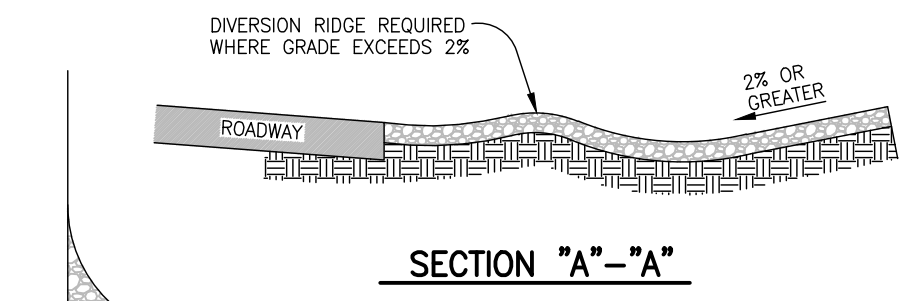


**BENCHMARKS:**  
 SITE BENCHMARKS (NGVD29 DATUM):  
 BM #201, NE BOLT HYDRANT, ELEV.=989.58  
 BM #202, RR SPIKE S/S P. POLE, ELEV.=989.48  
 BM #203, BOSS TAG/NAIL SET W/S 10" OAK TREE, ELEV.=991.73  
 BM #204, TOP OF CAPPED ROD, ELEV.=990.79

SOIL EROSION CONTROL MEASURES	
1	<b>STRIPPING &amp; STOCKPILE TOPSOIL</b> TOPSOIL WILL BE STOCKPILED ABOVE BARRIERS TO ACT AS A DIVERSION. STOCKPILE SHOULD BE TEMPORARILY SEEDED.
7	<b>HYDRO SEEDING</b> APPLY HYDRO SEEDING TO PROTECT EXPOSED SOIL SURFACES. HYDRO SEEDING SHOULD BE APPLIED TO ALL EXPOSED SOIL SURFACES.
14	<b>AGRICULTURAL COVER</b> APPLY AGRICULTURAL COVER TO PROTECT EXPOSED SOIL SURFACES. COVER SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.
15	<b>PAVING</b> PROTECT AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT WHICH ARE TO BE PAVED. PAVING SHOULD BE COMPLETED AS SOON AS POSSIBLE.
16	<b>CURB &amp; GUTTER</b> KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGE.
34	<b>STORM SEWER</b> REMOVES RUNOFF AT NON-EROSIVE RATES. CONTROLS RUNOFF AT SYSTEM OUTLETS FOR ALL AREAS.
35	<b>STORM SEWER</b> SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGE.
36	<b>CATCH BASIN, DRAIN INLET</b> COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. USE FILTER FABRIC OVER INLET.
40	<b>WALKWAY</b> EASY TO MAINTAIN. PROTECTS SOIL FROM EROSION. SHOULD BE CLEANED AND EXPANDED AS NEEDED.
54	<b>WALKWAY</b> EASY TO MAINTAIN. PROTECTS SOIL FROM EROSION. SHOULD BE CLEANED AND EXPANDED AS NEEDED.

PROPOSED (PR)		EXISTING (EX)		LEGEND	
900	900	FF	+922.08	CONTOUR	MANHOLE
FG	FG	FC	FC	STORM DRAINAGE FLOW	INLET / CATCHBASIN
T/A	T/A	T/A	T/A	SPOT ELEVATION	FLARED END-SECTION
T/W	T/W	T/C	T/C	FINISHED FLOOR ELEVATION	GATE VALVE
F/L	F/L	T/W	T/W	TOP OF ASPHALT	HYDRANT
T/P	T/P	T/W	T/W	TOP OF CURB / CONCRETE	UTILITY POLE
RIM	RIM	F/L	F/L	TOP OF WALK	FENCE
INV	INV	T/W	T/W	FLOW LINE	SIGN
MH	MH	T/P	T/P	TOP OF PIPE	SANITARY SEWER LABEL
ES	ES	RIM	RIM	RIM ELEVATION	STORM LABEL
GV	GV	INV	INV	INVERT ELEVATION	WATER MAIN LABEL
HY	HY	MH	MH	MANHOLE STRUCTURE	SOIL EROSION CONTROL MEASURE
UP	UP	IN	IN	INLET STRUCTURE	(P=PERMANENT, T=TEMPORARY)
SN	SN	CB	CB	CATCHBASIN STRUCTURE	SILT FENCE
SL	SL	ES	ES	END-SECTION	DRAINAGE DISTRICTS
FM	FM	GV	GV	GATEVALVE STRUCTURE	CONCRETE
ST	ST	HY	HY	HYDRANT	ASPHALT
WM	WM	UP	UP	UTILITY POLE	MODIFIED CURB
WL	WL	SN	SN	SANITARY SEWER	INLET PROTECTION FILTER DEVICE
OH	OH	SL	SL	SANITARY LEAD	
C	C	FM	FM	FORCE MAIN	
C	C	ST	ST	STORM SEWER	
T	T	WM	WM	WATER MAIN	
		WL	WL	WATER LEAD	
		OH	OH	OVERHEAD WIRE	
		C	C	CABLE	
		C	C	ELECTRIC GAS	
		T	T	TELEPHONE	

P = PERMANENT, T = TEMPORARY  
 TOTAL DISTURBED AREA = 2.62 ACRES



NO SCALE

NO SCALE

NO SCALE

NO SCALE

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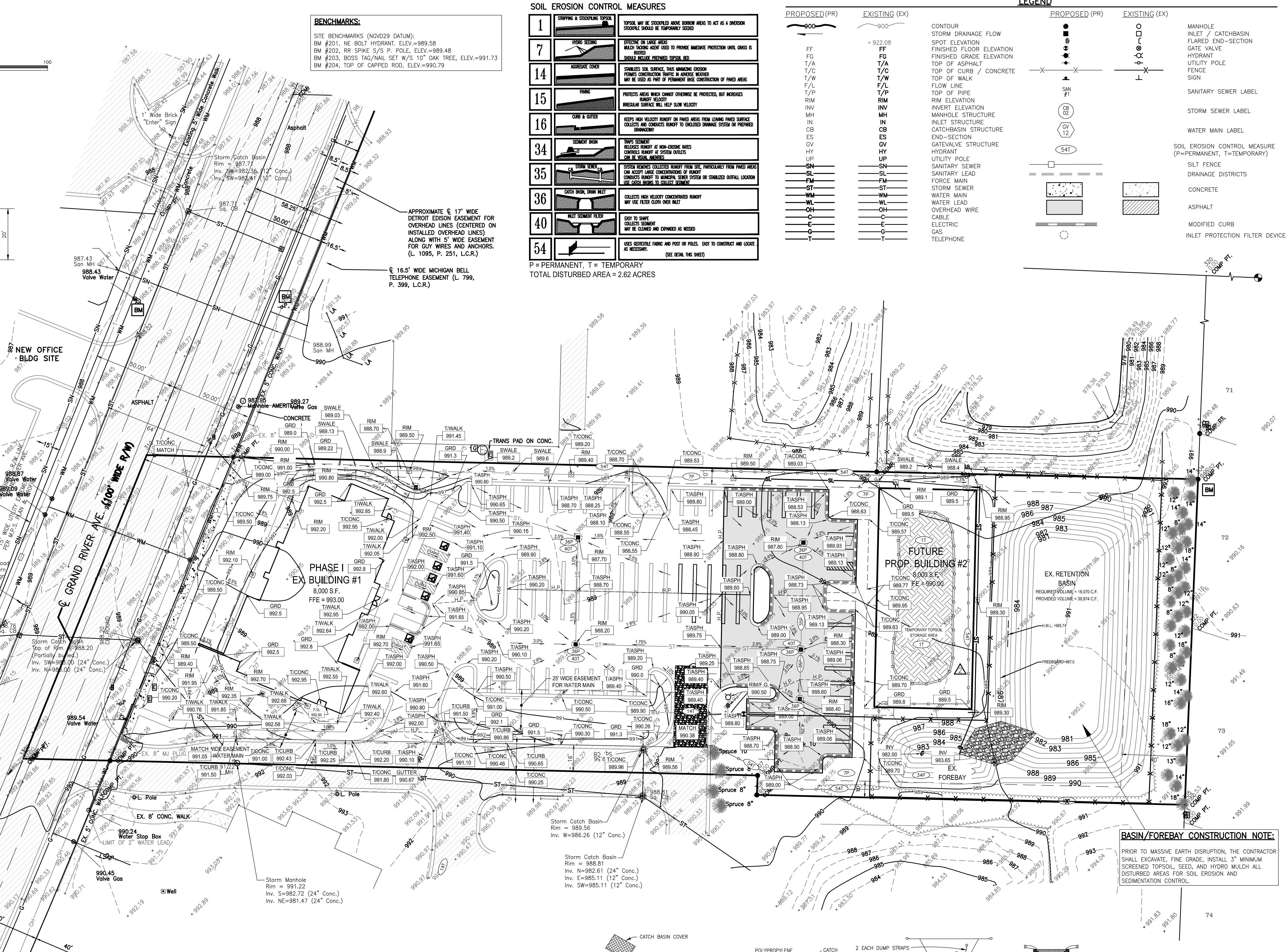
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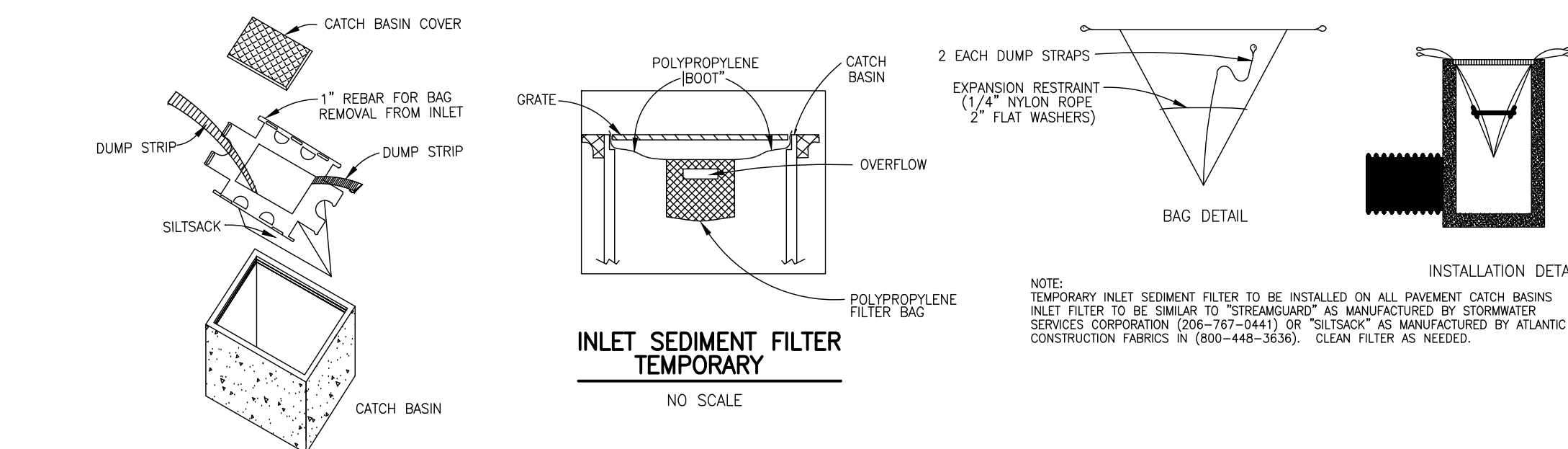
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40' WIDE CONSUMERS POWER COMPANY RIGHT OF WAY EASEMENT FOR GAS MAINS (L. 525, P. 618, L.C.R.)

**CONSTRUCTION SEQUENCE**  
 THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1 DAY	1. INSTALL SILT FENCE & INLET FILTERS AS SHOWN ON PLANS.
5 DAYS	2. SAWCUTTING & REMOVING ASPHALT AS SHOWN ON PLANS.
10 DAYS	3. ROUGH GRADE AND CONSTRUCT RETENTION BASIN.
10 DAYS	4. INSTALL SANITARY SEWERS/LEADS, WATER MAIN, & STORM SEWERS.
180 DAYS	5. START BLDG. CONSTRUCTION
4 DAYS	6. INSTALL CURB & GUTTER
4 DAYS	7. INSTALL PAVEMENT
1 DAY	8. INSTALL SIDEWALKS
1 DAY	9. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
1 DAY	10. REMOVE ALL EROSION CONTROL STRUCTURES.
1 DAY	11. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.



NO SCALE

**BASIN/FOREBAY CONSTRUCTION NOTE:**  
 PRIOR TO MASSIVE EARTH DISRUPTION, THE CONTRACTOR SHALL EXCAVATE, FINE GRADE, INSTALL 3" MINIMUM SCREENED TOPSOIL, SEED, AND HYDRO MULCH ALL DISTURBED AREAS FOR SOIL EROSION AND SEDIMENTATION CONTROL.

**TEMPORARY TOPSOIL AREAS:**  
 THE CONTRACTOR SHALL PROVIDE SEED, AND HYDRO MULCH OR STRAW MULCH ON ALL TEMPORARY TOPSOIL PILES IMMEDIATELY AFTER STRIPPING PROCESS IS COMPLETE FOR SOIL EROSION AND SEDIMENTATION CONTROL.

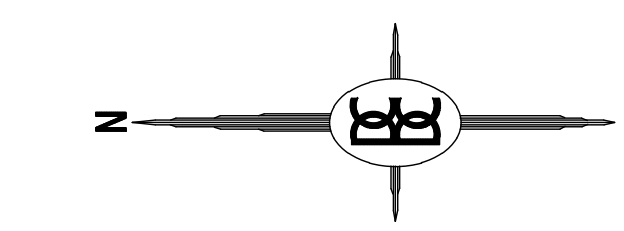
**STAGING AND SESC PLAN:**  
 REFER TO SHEET 14 FOR CONSTRUCTION PHASING AND TEMPORARY STAGING AND STORAGE AREAS.

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 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323  
 (800) 246-6725 FAX (517) 548-1670

PROJECT: **LIPKIN MEDICAL OFFICE BUILDING**  
 PREPARED FOR: **DR. LIPKIN**  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

NO	BY	REVISION PER	DATE
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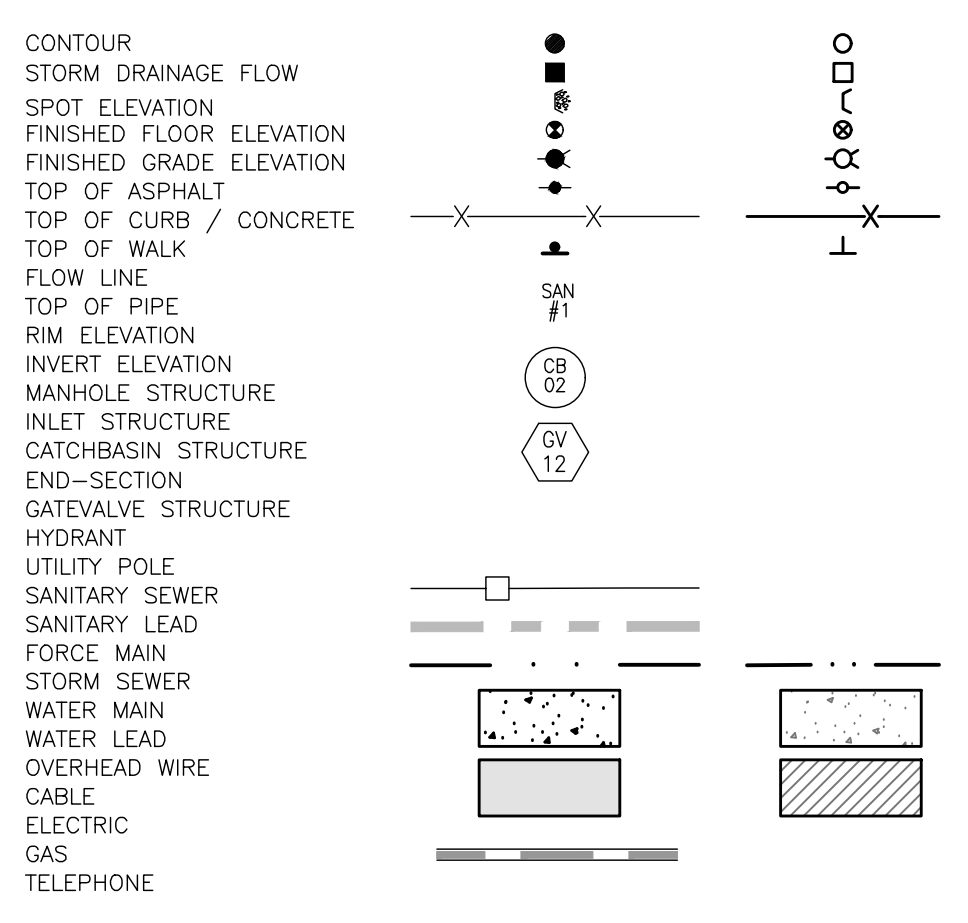
DESIGNED BY: **LM**  
 DRAWN BY: **LM**  
 CHECKED BY:  
 SCALE: 1" = 30'  
 JOB NO.: **13-293**  
 DATE: 4-30-14  
 SHEET NO.: **C3**



**BENCHMARKS:**  
 SITE BENCHMARKS (NGVD29 DATUM):  
 BM #201, NE BOLT HYDRANT, ELEV.=989.58  
 BM #202, RR SPIKE S/S P. POLE, ELEV.=989.48  
 BM #203, BOSS TAG/NAIL SET W/S 10" OAK TREE, ELEV.=991.73  
 BM #204, TOP OF CAPPED ROD, ELEV.=990.79

**LEGEND**

PROPOSED (PR)	EXISTING (EX)
FF	+ 922.08
FG	FF
T/A	FG
T/C	T/A
T/W	T/C
F/L	T/W
T/P	F/L
RIM	T/P
INV	RIM
MH	INV
IN	MH
CB	IN
ES	CB
GV	ES
HY	GV
UP	HY
SN	UP
SL	SN
FM	SL
ST	FM
WM	ST
WL	WM
OH	WL
C	OH
E	C
G	E
T	G



MANHOLE  
 INLET / CATCHBASIN  
 FLARED END-SECTION  
 GATE VALVE  
 HYDRANT  
 UTILITY POLE  
 FENCE  
 SIGN  
 SANITARY SEWER LABEL  
 STORM SEWER LABEL  
 WATER MAIN LABEL  
 SOIL EROSION CONTROL MEASURE  
 (P=PERMANENT, T=TEMPORARY)  
 SILT FENCE  
 LIMITS OF GRADING/CLEARING  
 WETLAND BOUNDARY  
 CONCRETE  
 ASPHALT  
 MODIFIED CURB

BEFORE YOU DIG  
 CALL MISS DIG  
 1-800-487-4772

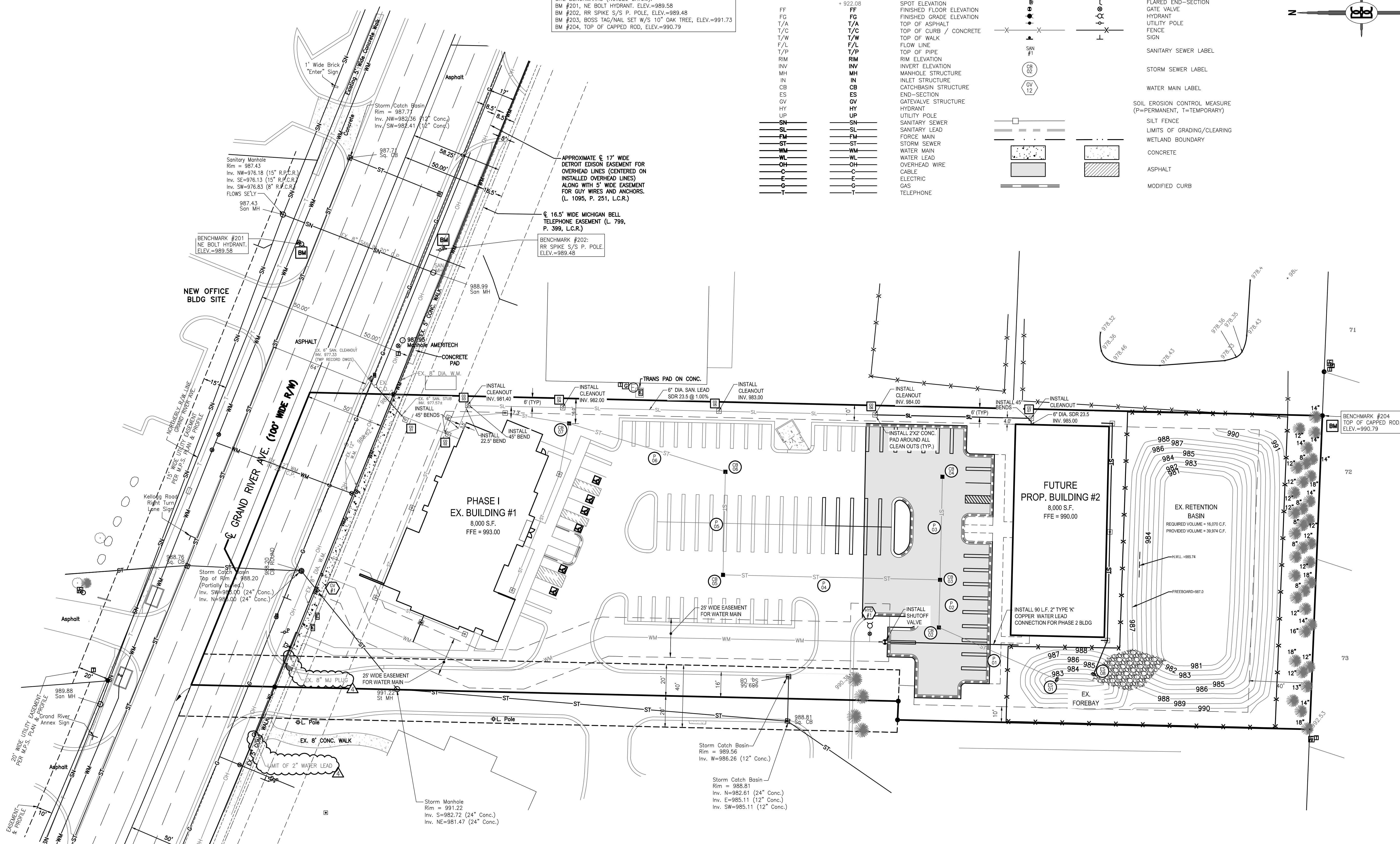
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 HOWELL, MI 48843  
 (800) 246-6725 FAX (517) 548-1670

PROJECT: **LIPKIN MEDICAL OFFICE BUILDING**  
 PREPARED FOR: **DR. LIPKIN**  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

TITLE: **UTILITY PLAN**

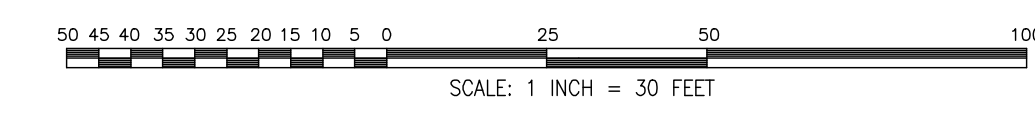
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DESIGNED BY:  
 DRAWN BY: LM  
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 SCALE: 1" = 30'  
 JOB NO. 13-293  
 DATE 4-30-14  
 SHEET NO. **C4**

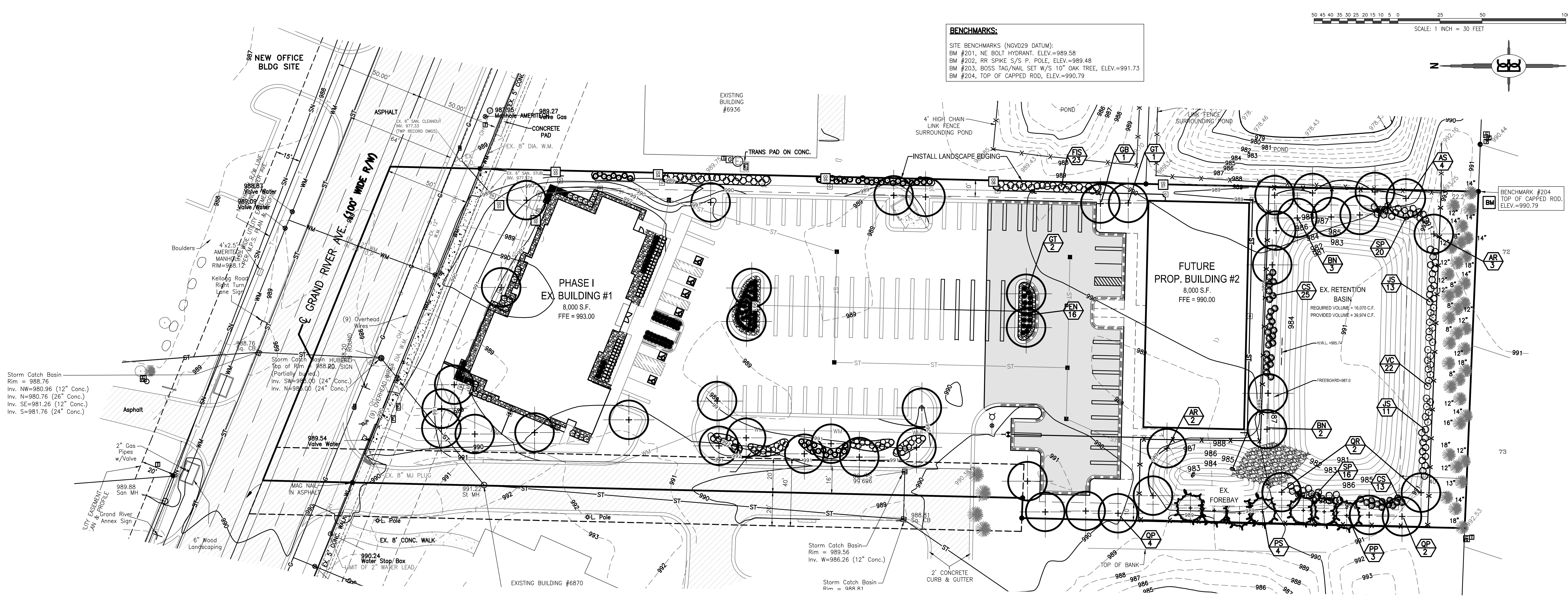


**NOTE:**  
 REFER TO HYDRAULICS PLAN SHEET 7 FOR ALL STORM, SANITARY, AND WATER MAIN STRUCTURE AND PIPE SCHEDULES.

**NOTE:**  
 ALL STORM SEWER HAS BEEN INSTALLED EXCEPT FOR THE ROOF DRAIN CONNECTION FOR THE FUTURE BUILDING.



**BENCHMARKS:**  
 SITE BENCHMARKS (NGVD29 DATUM):  
 BM #201, NE BOLT HYDRANT, ELEV.=989.58  
 BM #202, RR SPIKE S/S P. POLE, ELEV.=989.48  
 BM #203, BOSS TAG/NAIL SET W/S 10" OAK TREE, ELEV.=991.73  
 BM #204, TOP OF CAPPED ROD, ELEV.=990.79



Storm Catch Basin  
 Rim = 988.76  
 Inv. NW=980.96 (12" Conc.)  
 Inv. N=980.76 (26" Conc.)  
 Inv. SE=981.26 (12" Conc.)  
 Inv. S=981.76 (24" Conc.)

BENCHMARK #204  
 TOP OF CAPPED ROD,  
 ELEV.=990.79

- LANDSCAPE REQUIREMENTS**
- STREET FRONTAGE**  
 -REQUIRED - 1 TREE PER 40 L.F. OF FRONTAGE (202 L.F. / 40 = 6 TREES)  
 -PROVIDED - 6 TREES
  - BUFFER ZONES**  
 ADJACENT TO NCS  
 -REQUIRED - 10 FEET WIDE, 1 TREE OR 4 SHRUBS PER 20 L.F. (1,147 L.F. / 20 = 57 TREES)  
 -PROVIDED - 10 FEET WIDE WITH 32 TREES AND 136 SHRUBS  
 ADJACENT TO RESIDENTIAL  
 -REQUIRED - 20 FEET WIDE, 1 CANOPY TREE, 1 EVERGREEN TREE AND 4 SHRUBS PER 30 L.F. (200 L.F. / 30 = 7 CANOPY TREES, 7 EVERGREEN TREES AND 27 SHRUBS)  
 -PROVIDED - 20 FEET WIDE WITH 34 EXISTING PINES 8" TO 18" IN DIA.
  - PARKING AREA LANDSCAPING**  
 -REQUIRED - 1 CANOPY TREE AND 100 S.F. OF LANDSCAPED AREA PER 10 SPACES (95 SPACES / 10 = 1,000 S.F.)  
 -PROVIDED - 10 TREES & 1,224 S.F.
  - DETENTION BASIN LANDSCAPING**  
 -REQUIRED - 1 TREE AND 10 SHRUBS PER 50 L.F. OF BASIN PERIMETER  
 DETENTION BASIN - 598 L.F. = 12 TREES & 120 SHRUBS  
 PROPOSED - 12 TREES & 120 SHRUBS

**PLANT LIST**

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
<b>TREES</b>					
AS	4	Acer saccharum 'Legacy'	Legacy Sugar Maple	2 1/2" cal.	B-B
AR	5	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2" cal.	B-B
BN	5	Betula nigra	River Birch	2 1/2" cal.	B-B
GB	1	Ginkgo biloba	Ginkgo	2 1/2" cal.	B-B, Male Only
GT	3	Gleditsia triacanthos var. inermis	Thornless Honey Locust	6'-8" ht.	B-B
JS	4	Picea pungens var. 'Glauca'	Colorado Blue Spruce	6'-8" ht.	B-B
PS	4	Pinus strobus	Eastern White Pine	6'-8" ht.	B-B
OP	6	Quercus palustris	Pin Oak	2 1/2" cal.	B-B
QR	2	Quercus rubra	Red Oak	2 1/2" cal.	B-B
<b>SHRUBS</b>					
CS	38	Cornus sericea	Redosier Dogwood	24"-36" ht.	B-B
FIS	23	Forsythia x intermedia 'Spring Glory'	Spring Glory Forsythia	24"-36" ht.	B-B
JS	24	Juniperus chinensis var. sargentii	Sargent Juniper	24"-36" sprd.	B-B
SP	36	Salix purpurea	Purpleosier Willow	24"-36" ht.	B-B
VC	22	Viburnum carlesii 'Compactum'	Comp. Koreanspice Vib.	24"-36" ht.	B-B
<b>PERENNIALS</b>					
PEN	16	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass		Cont.

**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
900	900	CONTOUR
FF	+ 922.08	STORM ELEVATION
FG	FF	FINISHED FLOOR ELEVATION
T/A	T/A	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF ASPHALT
T/W	T/W	TOP OF CURB / CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
RIM	RIM	TOP OF PIPE
INV	INV	RIM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
ES	ES	CATCHBASIN STRUCTURE
GV	GV	END-SECTION
HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SANITARY SEWER
FM	FM	SANITARY LEAD
ST	ST	FORCE MAIN
WM	WM	STORM MAIN
WL	WL	STORM SEWER
OH	OH	WATER MAIN
C	C	WATER LEAD
E	E	OVERHEAD WIRE
T	T	CABLE
○	○	ELECTRIC
□	□	GAS
○	○	TELEPHONE
○	○	MANHOLE
○	○	INLET / CATCHBASIN
○	○	FLARED END-SECTION
○	○	GATE VALVE
○	○	HYDRANT
○	○	UTILITY POLE
○	○	FENCE
○	○	SIGN
○	○	SANITARY SEWER LABEL
○	○	STORM SEWER LABEL
○	○	WATER MAIN LABEL
○	○	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
○	○	SILT FENCE
○	○	LIMITS OF GRADING/CLEARING
○	○	WETLAND BOUNDARY
○	○	CONCRETE
○	○	ASPHALT
○	○	MODIFIED CURB

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 (800) 246-6725 FAX (517) 548-1670

**PROJECT: LIPKIN MEDICAL OFFICE BUILDING**

**DR. LIPKIN**  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

**TITLE: LANDSCAPE PLAN**

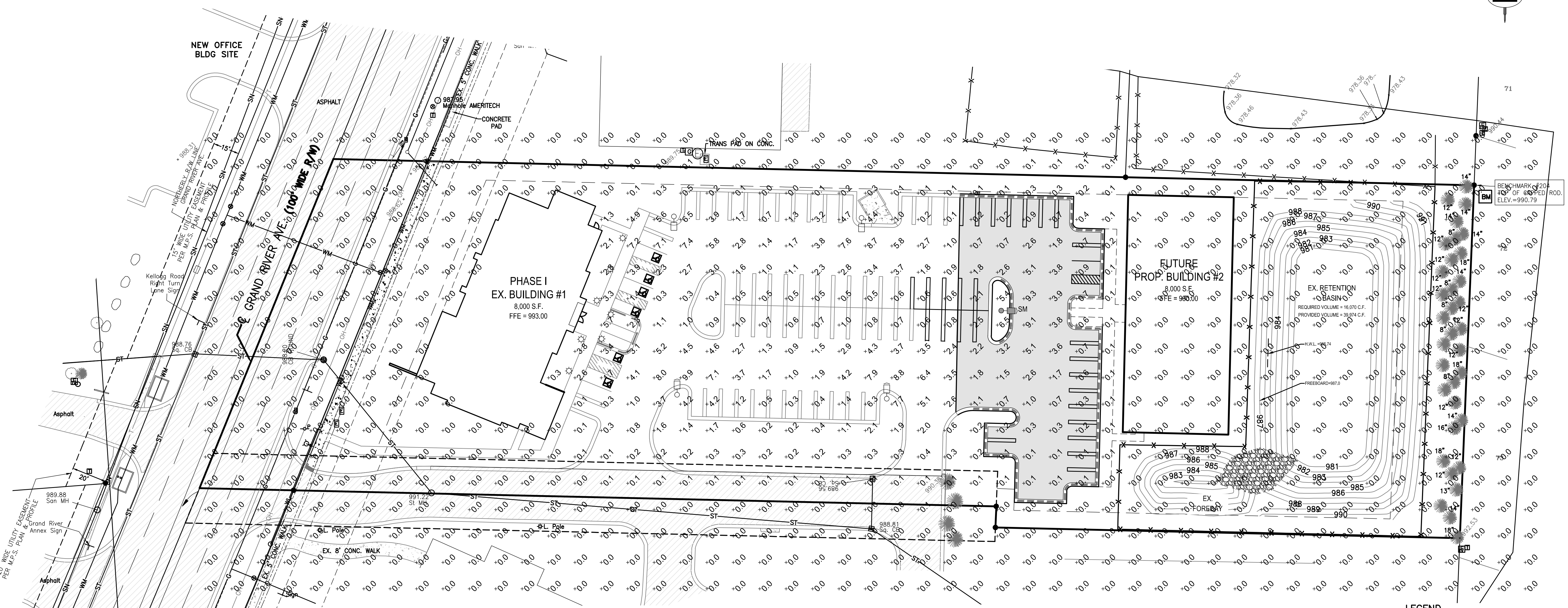
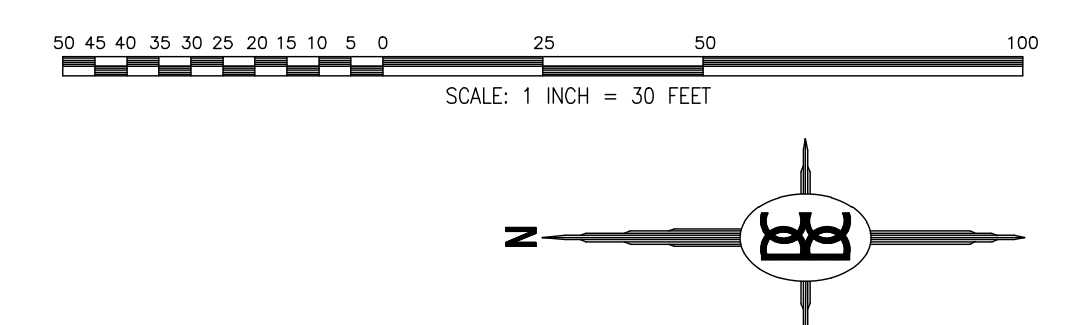
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**DESIGNED BY:** TD  
**DRAWN BY:** TD  
**CHECKED BY:** TD

**SCALE:** 1" = 30'  
**JOB NO.:** 13-293  
**DATE:** 4-30-14  
**SHEET NO.:** C5



**BENCHMARKS:**  
 SITE BENCHMARKS (NGVD29 DATUM):  
 BM #201, NE BOLT HYDRANT, ELEV.=989.58  
 BM #202, RR SPIKE S/S P. POLE, ELEV.=989.48  
 BM #203, BOSS TAG/NAIL SET W/S 10" OAK TREE, ELEV.=991.73  
 BM #204, TOP OF CAPPED ROD, ELEV.=990.79



**SITE LIGHTING SUMMARY**  
 LIGHTING LEVELS ARE SHOWN IN FOOTCANDLES AT 5' ABOVE GRADE

- GENERAL LIGHTING NOTES**
- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
  - ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2' ABOVE GRADE IN PARKING LOTS AS SHOWN IN DETAIL.
  - ALL POLES LOCATED OUTSIDE OF THE PARKING AREA SHALL BE LOCATED 3' FROM BACK OF CURB OR EDGE OF SIDEWALKS.
  - SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE POLES NEED TO BE SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.

**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
900	900	CONTOUR
FF	FF	STORM DRAINAGE FLOW
FG	FG	SPOT ELEVATION
T/A	T/A	FINISHED FLOOR ELEVATION
T/C	T/C	FINISHED GRADE ELEVATION
T/W	T/W	TOP OF ASPHALT
F/L	F/L	TOP OF CURB / CONCRETE
T/P	T/P	TOP OF WALK
RM	RM	FLOW LINE
INV	INV	TOP OF PIPE
MH	MH	RIM ELEVATION
IN	IN	INVERT ELEVATION
CB	CB	MANHOLE STRUCTURE
ES	ES	INLET STRUCTURE
OV	OV	CATCHBASIN STRUCTURE
HY	HY	END-SECTION
UP	UP	GATEVALVE STRUCTURE
SN	SN	HYDRANT
SL	SL	UTILITY POLE
FM	FM	SANITARY SEWER
ST	ST	SANITARY LEAD
WM	WM	FORCE MAIN
WL	WL	STORM SEWER
OH	OH	WATER MAIN
C	C	WATER LEAD
E	E	OVERHEAD WIRE
T	T	CABLE
		ELECTRIC
		GAS
		TELEPHONE
		MANHOLE
		INLET / CATCHBASIN
		FLARED END-SECTION
		GATE VALVE
		HYDRANT
		UTILITY POLE
		FENCE
		SIGN
		SANITARY SEWER LABEL
		STORM SEWER LABEL
		WATER MAIN LABEL
		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
		SILT FENCE
		LIMITS OF GRADING/CLEARING
		WETLAND BOUNDARY
		CONCRETE
		ASPHALT
		MODIFIED CURB

**LUMINAIRE SCHEDULE**

SYMBOL	LABEL	QTY.	DESCRIPTION	CATALOG NUMBER	LAMP	FILE	LUMENS	LLF	POLE DESCRIPTION	POLE HEIGHT	BASE HEIGHT	TOTAL HEIGHT
SM	SM	1	(2) DSX2 LED W/2 LARGE & 2 SMALL LIGHT ENGINES, (2) 1050mA, DRIVERS, 4000K LED, TYPE T3M OPTICS	LITHONIA DSX2 LED 80C 1000 40K T3M MVOLT DNAXD	LED	DSX2_LED_80C_1000_40K_T3_M_MVOLT.JES	ABSOLUTE	0.95	RTA T20 DM19 FBC BA	18'	2'	20'
SH	SH		DSX2 LED W/2 LARGE & 2 SMALL LIGHT ENGINES, (2) 1050mA, DRIVERS, 4000K LED, TYPE T3M OPTICS, WITH HOUSE SIDE SHIELD	LITHONIA DSX2 LED 80C 1000 40K T3M MVOLT HS DNAXD	LED	DSX2_LED_80C_1000_40K_T3_M_MVOLT_HS.IE.S	ABSOLUTE	0.95	RTA T20 DM19 FBC BA	18'	2'	20'
BOL	BOL		D-SERIES BOLLARD WITH 16 3000K LEADS OPERATED AT 530mA AND SYMMETRIC	LITHONIA DSXB LED 16C 530 30K SYM DNAXD	LED	DSXB_LED_16C_530_30K_SYM.JES	ABSOLUTE	0.95		36"	0'	36"

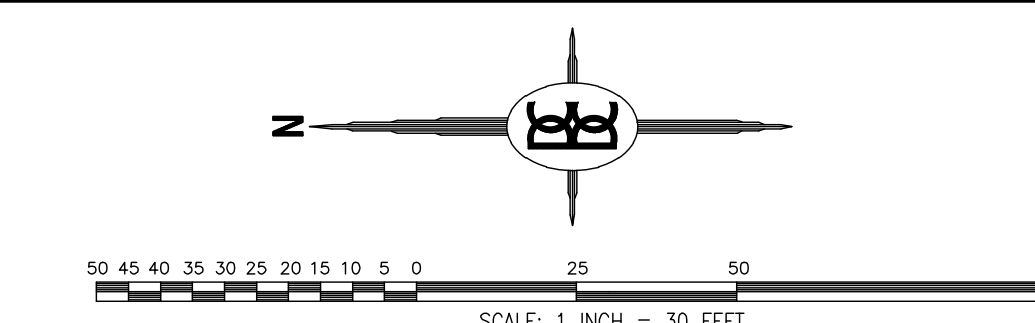
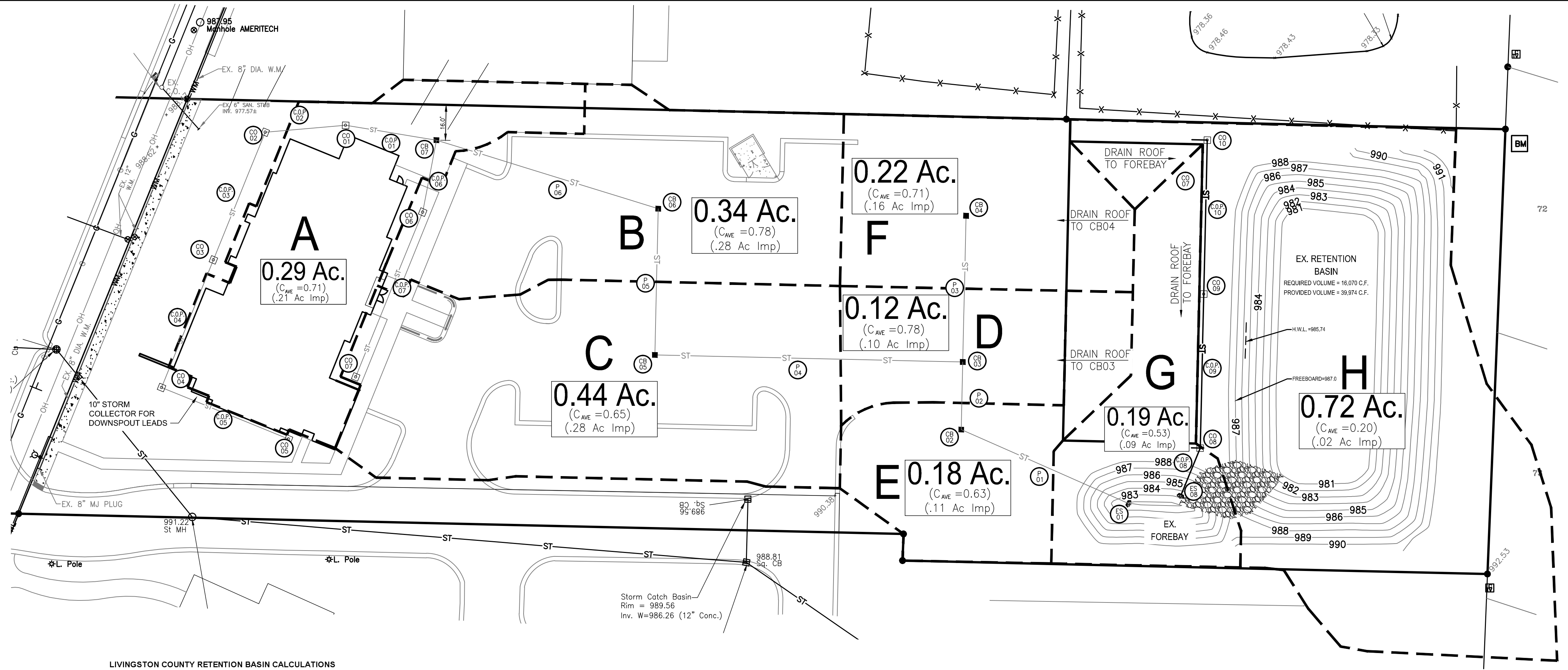
ALL IES FILES PROVIDED BY MANUFACTURER FOR CALCULATION OF LIGHTING LEVEL.

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**LIPKIN MEDICAL OFFICE BUILDING**  
**DR. LIPKIN**  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

PROJECT: LIPKIN MEDICAL OFFICE BUILDING  
 PREPARED FOR: DR. LIPKIN  
 DATE: 11/15/16  
 P.C. COMMENTS: 11-15-16  
 5 TD AMENDED SITE PLAN 10/26/16  
 3 LM PER TOWNSHIP REVIEW 11/11/14  
 3 LM PER COUNTY REVIEW 10/24/14  
 1 LM PER TOWNSHIP REVIEW 6/19/14  
 1 LM PER TOWNSHIP REVIEW 5/21/13

DESIGNED BY: TD  
 DRAWN BY: TD  
 CHECKED BY:  
 SCALE: 1" = 30'  
 JOB NO.: 13-293  
 DATE: 4-30-14  
 SHEET NO.: C6



**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
900	+922.08	CONTOUR
---	---	STORM DRAINAGE FLOW
FF	FF	FINISHED FLOOR ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
◯	◯	MANHOLE / INLET / CATCHBASIN
▢	▢	FLARED END-SECTION
+	+	GATE VALVE
+	+	HYDRANT
+	+	UTILITY POLE
+	+	FENCE
+	+	SIGN
+	+	SANITARY SEWER LABEL
+	+	STORM SEWER LABEL
+	+	WATER MAIN LABEL
+	+	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
+	+	SILT FENCE
+	+	LIMITS OF GRADING/CLEARING
+	+	WETLAND BOUNDARY
+	+	CONCRETE
+	+	ASPHALT
+	+	MODIFIED CURB

**LIVINGSTON COUNTY RETENTION BASIN CALCULATIONS**  
 PROJECT: LIPKIN MEDICAL OFFICE BUILDING  
 Retention Basin # 1 Location: GENOA TOWNSHIP  
 Date: 4/30/2014 Designer: LJM  
 Rev:

**LIVINGSTON COUNTY FOREBAY CALCULATIONS**  
 PROJECT: LIPKIN MEDICAL OFFICE BUILDING  
 Retention Basin # 1 Location: GENOA TOWNSHIP  
 Date: 4/30/2014 Designer: LJM  
 Rev:

RETENTION PONDS ARE TO BE SIZED FOR EITHER 2 CONSECUTIVE 100-YEAR STORMS OR 2" OF RUNOFF OVER THE ENTIRE DRAINAGE AREA

AREA (ACRES)	IMPERVIOUS FACTOR	ACRE IMPERVIOUS	PONDS
0.00	1.0	0.00	Ponds
1.13	1.02	1.14	Impervious Surfaces
1.36	0.2	0.27	Pervious Surfaces

COMPOUND C: 0.52  
 TOTAL DRAINAGE AREA: 2.49 ACRES

K<sub>1</sub> = A<sub>x</sub>C (Design Constant) 1.289  
 Q<sub>1</sub> = OUTFLOW (CFS / ACRE) = 0 FOR RETENTION 0 CFS

DURATION (MINUTES)	DURATION (SECONDS)	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF x A <sub>x</sub> C	OUTFLOW DURATION x Q <sub>1</sub>	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2751	3546	0	3546
10	600	7.86	4716	6079	0	6079
15	900	6.88	6192	7981	0	7981
20	1200	6.11	7332	9451	0	9451
30	1800	5.00	9000	11601	0	11601
60	3600	3.24	11664	15035	0	15035
90	5400	2.39	12906	16636	0	16636
120	7200	1.90	13680	17634	0	17634
180	10800	1.34	14472	18654	0	18654

REQUIRED 100 YEAR DETENTION VOLUME = 18654 CF  
 VOLUME OF TWO CONSECUTIVE 100-YEAR STORMS = 37309 CF

REQUIRED STORAGE VOLUME (2" RUNOFF OVER ENTIRE DRAINAGE AREA):  
 0.99 x 43560 x 2/12 = 18077 CF

USING THE LARGEST OF ABOVE NUMBERS =  
 REQUIRED RETENTION POND VOLUME = 37309 CF

ELEV.	AREA (FT <sup>2</sup> )	DEPTH (FT)	VOLUME (FT <sup>3</sup> )	TOTAL VOLUME (FT <sup>3</sup> )
987	12333	1	11,669	51,643
986	11005	1	10,369	39,974
985	9732	1	9,119	29,606
984	8505	1	7,930	20,487
983	7354	1	6,901	12,558
982	6248	1	5,757	5,757
981	5265	0	0	0

**STORM SEWER DESIGN COMPUTATIONS**

FROM	TO	DRAIN AREA	ACRES	IMPERV	PERV	RUNOFF COEFF C	EQUIV. AREA A * C	INTEN- SITY I	TIME OF CONC. T <sub>c</sub>	ADD'L RUNOFF Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING FLOW CAPACITY	MANNING'S VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RIM ELEV UPPER END	INVERT UPPER END	INVERT LOWER END
CB7	CB6	A	0.29	0.21	0.08	0.71	0.205	4.38	15.00	0.90	104	12	1.14	0.06%	0.32%	2.02	2.57	0.67	985.41	985.34	988.70	983.50	983.17
CB6	CB5	B	0.34	0.28	0.06	0.78	0.264	4.30	15.67	2.03	66	12	2.59	0.32%	0.32%	2.02	2.57	0.43	985.34	985.13	987.70	983.17	982.96
CB5	CB3	C	0.44	0.28	0.16	0.65	0.284	4.26	16.10	3.24	139	15	2.64	0.25%	0.24%	3.17	2.59	0.90	985.13	984.78	988.20	982.76	982.42
CB3	CB2	D	0.12	0.01	0.02	0.78	0.094	4.17	17.00	3.63	30	18	2.06	0.12%	0.20%	4.71	2.67	0.19	984.78	984.74	988.30	982.22	982.16
CB2	ES1	E	0.18	0.11	0.07	0.63	0.113	4.15	17.18	4.10	82	18	2.32	0.15%	0.20%	4.71	2.67	0.51	984.74	984.62	988.40	982.16	982.00
CB4	CB3	F	0.22	0.16	0.06	0.71	0.156	4.38	15.00	0.68	66	12	0.87	0.04%	0.32%	2.02	2.57	0.43	984.80	984.78	987.80	982.64	982.42

DATE: 5/22/2014  
 DESIGNER: LJM

**STRUCTURE SCHEDULE**

<b>ES 01</b>	FLARED END SECTION WRIP RAP	INV. NE 18.00 "	982.00
<b>CB 02</b>	4" DIA. MANHOLE, COVER "A"	RIM 988.40	982.16
	INV. SW 18.00 "	982.16	
	INV. E 18.00 "	982.16	
	2" SUMP		
<b>CB 03</b>	4" DIA. MANHOLE, COVER "A"	RIM 988.30	982.22
	INV. W 18.00 "	982.22	
	INV. N 15.00 "	982.42	
	INV. E 12.00 "	982.42	
	2" SUMP		
<b>CB 04</b>	RIM 987.80	982.64	
	INV. W 12.00 "	982.64	
	2" SUMP		
<b>CB 05</b>	RIM 988.20	982.76	
	INV. S 15.00 "	982.76	
	INV. E 12.00 "	982.96	
	2" SUMP		
<b>CB 06</b>	RIM 987.70	983.17	
	INV. W 12.00 "	983.17	
	INV. NE 12.00 "	983.17	
	2" SUMP		
<b>CB 07</b>	RIM 988.70	983.70	
	INV. NE 10.00 "	983.70	
	INV. SW 12.00 "	983.50	
	INV. W 10.00 "	983.70	
	2" SUMP		
<b>ES 08</b>	END SECTION WRIP RAP	INV. SE 10.00 "	983.65

**STORM CLEANOUT SCHEDULE (FOR DOWNSPOUT COLLECTOR)**

<b>CO 01</b>	10" DIA. CLEAN OUT	RIM 990.80	985.37
	INV. SW 10.00 "	985.37	
	INV. N 10.00 "	985.37	
<b>CO 02</b>	10" DIA. CLEAN OUT	RIM 991.00	985.72
	INV. S 10.00 "	985.72	
	INV. NW 10.00 "	985.72	
<b>CO 03</b>	10" DIA. CLEAN OUT	RIM 992.10	986.34
	INV. SE 10.00 "	986.34	
	INV. NW 10.00 "	986.34	
<b>CO 04</b>	10" DIA. CLEAN OUT	RIM 991.95	986.96
	INV. SE 10.00 "	986.96	
	INV. SW 10.00 "	986.96	
<b>CO 05</b>	10" DIA. CLEAN OUT	RIM 992.70	987.70
	INV. NE 10.00 "	987.70	
<b>CO 06</b>	10" DIA. CLEAN OUT	RIM 992.50	984.04
	INV. E 10.00 "	984.04	
	INV. W 10.00 "	984.04	
<b>CO 07</b>	10" DIA. CLEAN OUT	RIM 992.70	987.70
	INV. E 10.00 "	987.70	
<b>CO 08</b>	10" DIA. CLEAN OUT	RIM 989.30	984.39
	INV. NE 10.00 "	984.39	
	INV. W 10.00 "	984.39	
<b>CO 09</b>	10" DIA. CLEAN OUT	RIM 989.30	984.39
	INV. E 10.00 "	984.39	
	INV. W 10.00 "	984.39	
<b>CO 10</b>	10" DIA. CLEAN OUT	RIM 988.95	984.95
	INV. E 10.00 "	984.95	

**STORM PIPE SCHEDULE**

PIPE	LENGTH	SIZE	TYPE	SLOPE
P1	82	18	RCP C-76 IV	0.20%
P2	30	18	RCP C-76 IV	0.20%
P3	66	12	RCP C-76 IV	0.32%
P4	139	15	RCP C-76 IV	0.24%
P5	66	12	RCP C-76 IV	0.32%
P6	104	12	RCP C-76 IV	0.32%

**CLEAN OUT COLLECTOR PIPE SCHEDULE**

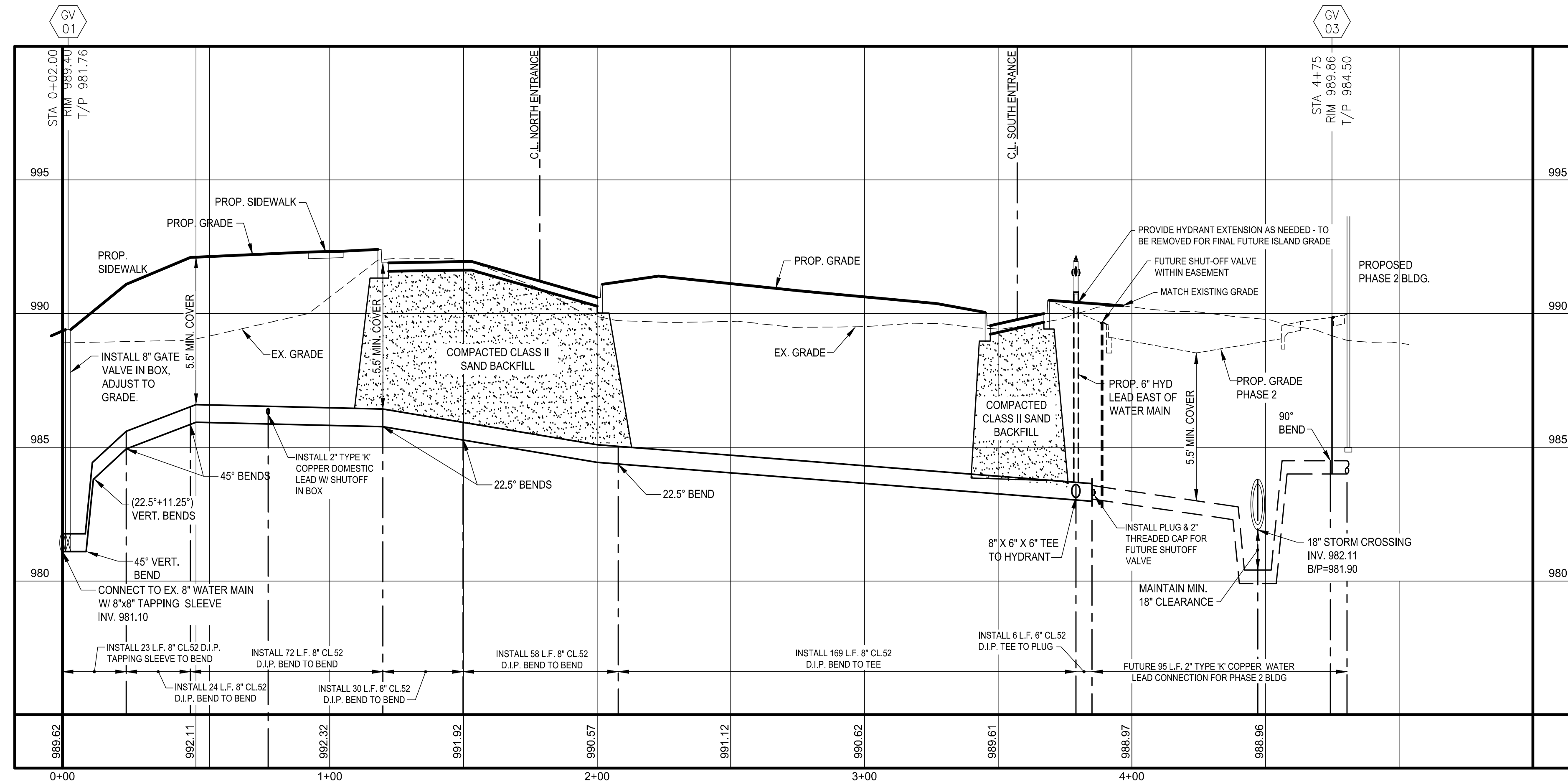
PIPE	LENGTH	SIZE	TYPE	SLOPE
COP-1	41	10	SDR 26	4.06%
COP-2	35	10	SDR 26	1.00%
COP-3	62	10	SDR 26	1.00%
COP-4	62	10	SDR 26	1.00%
COP-5	62	10	SDR 26	1.20%
COP-6	33	10	SDR 26	1.01%
COP-7	80	10	SDR 26	4.58%
COP-8	22	10	SDR 26	0.80%
COP-9	70	10	SDR 26	0.80%
COP-10	70	10	SDR 26	0.80%

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**LIPKIN MEDICAL OFFICE BUILDING**  
 DR. LIPKIN  
 3172 INTERLAKEN STREET  
 WEST BLOOMFIELD, MI 48323

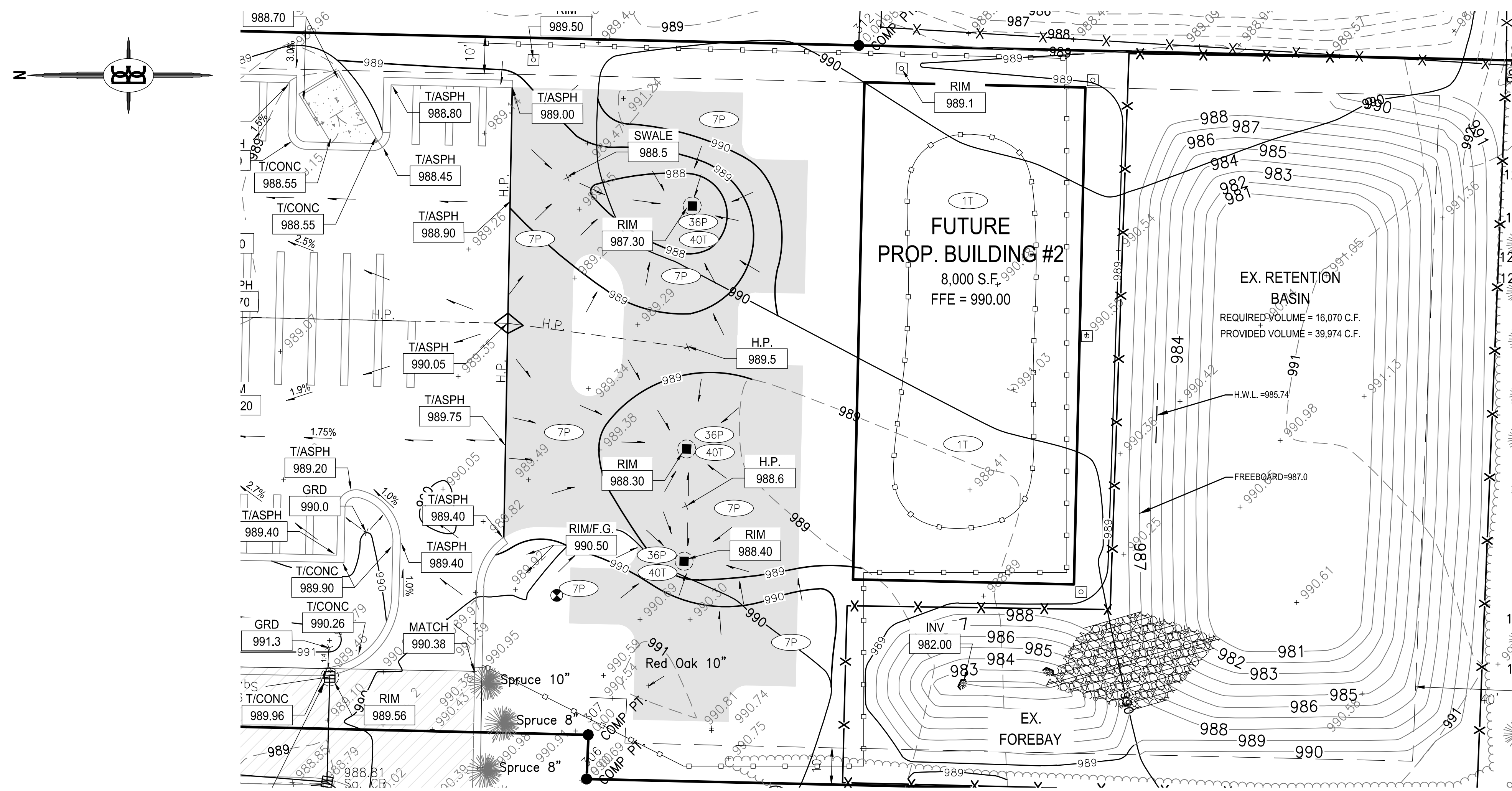
**DESIGNED BY:** LM  
**DRAWN BY:** LM  
**CHECKED BY:**

SCALE: 1" = 30'  
 JOB NO. 13-293  
 DATE 4-30-14  
 SHEET NO. C7



**WATER MAIN PROFILE**

SCALE: 1"=30'



**INTERIM GRADING PLAN**

SCALE: 1"=20'



THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION SHOWN ON THESE DRAWINGS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND STRUCTURES. BEFORE YOU DIG CALL MISS DIG 800-485-5111

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HOWELL, MI 48843  
(800) 246-6725 FAX (517) 548-1670

PROJECT: <b>LIPKIN MEDICAL OFFICE BUILDING</b>				
PREPARED BY: <b>DR. LIPKIN</b>	TITLE: <b>WATER MAIN PROFILE AND INTERIM GRADING PLAN</b>			
FOR: 3172 INTERLAKEN STREET WEST BLOOMFIELD, MI 48323				
NO.	BY	REVISION	PER	DATE
1	LJM	1		11/15/16
2		1		10/26/16
3		1		11/11/14
4		1		10/24/14
5		1		6/19/14
6		1		5/21/14
DESIGNED BY: LJM				
CHECKED BY: LJM				
SCALE: 1" = 30'				
JOB NO. 13-293				
DATE: 4-30-14				
SHEET NO. <b>C8</b>				

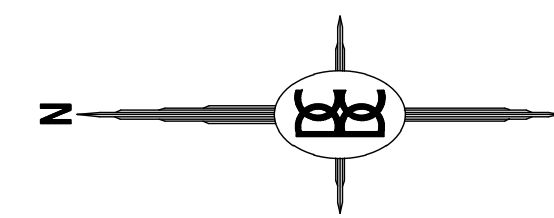
LEGEND

- POWER POLE
HYDRANT
GATE VALVE
MANHOLE
STORM CATCH BASIN (BEEHIVE)
STORM CATCH BASIN (SQUARE)
TELEPHONE RISER
U.G. TELEPHONE MARKER
GAS RISER
U.G. GAS MARKER
ELECTRICAL RISER
U.G. ELECTRIC MARKER
CABLE TV RISER
U.G. CABLE TV MARKER
LIGHT POLE
SIGN
IRON SET
IRON FOUND
SECTION CORNER
WATER MAIN
GAS MAIN
OVERHEAD WIRES
FENCE
SANITARY SEWER
STORM SEWER
ELECTRIC
TELEPHONE
CONCRETE
SAN MH
CENTERLINE
LIBER
PAGE
L.C.R.
R&M
BENCHMARK SYMBOL

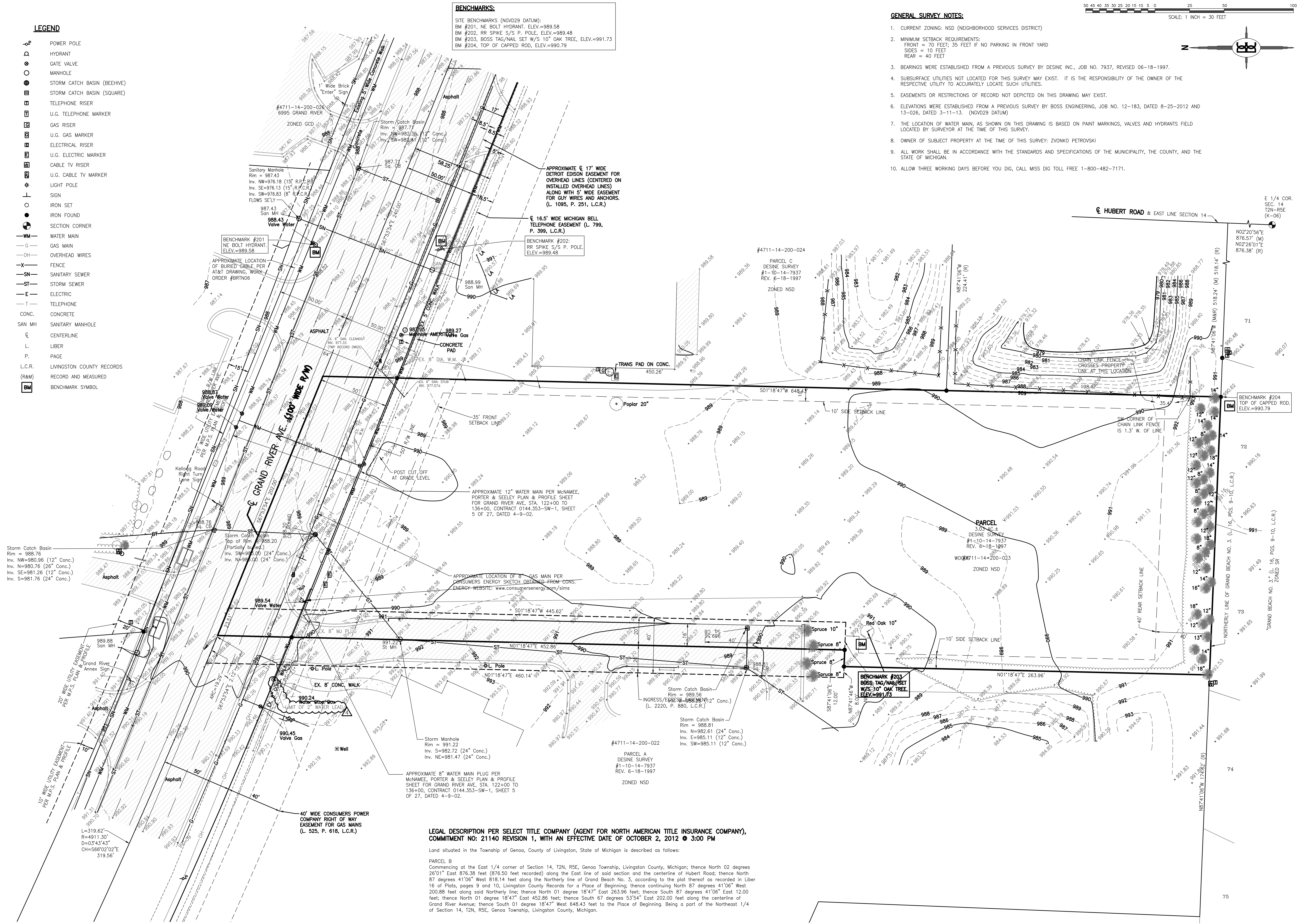
BENCHMARKS:
SITE BENCHMARKS (NGVD29 DATUM):
BM #201, NE BOLT HYDRANT, ELEV.=989.58
BM #202, RR SPIKE S/S P. POLE, ELEV.=989.48
BM #203, BOSS TAG/NAIL SET W/S 10" OAK TREE, ELEV.=991.73
BM #204, TOP OF CAPPED ROD, ELEV.=990.79

GENERAL SURVEY NOTES:

- 1. CURRENT ZONING: NSD (NEIGHBORHOOD SERVICES DISTRICT)
2. MINIMUM SETBACK REQUIREMENTS:
FRONT = 70 FEET; 35 FEET IF NO PARKING IN FRONT YARD
SIDES = 10 FEET
REAR = 40 FEET
3. BEARINGS WERE ESTABLISHED FROM A PREVIOUS SURVEY BY DESINE INC., JOB NO. 7937, REVISED 06-18-1997.
4. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
5. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
6. ELEVATIONS WERE ESTABLISHED FROM A PREVIOUS SURVEY BY BOSS ENGINEERING, JOB NO. 12-183, DATED 8-25-2012 AND 13-026, DATED 3-11-13. (NGVD29 DATUM)
7. THE LOCATION OF WATER MAIN, AS SHOWN ON THIS DRAWING IS BASED ON PAINT MARKINGS, VALVES AND HYDRANTS FIELD LOCATED BY SURVEYOR AT THE TIME OF THIS SURVEY.
8. OWNER OF SUBJECT PROPERTY AT THE TIME OF THIS SURVEY: ZVONKO PETROVSKI
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
10. ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.



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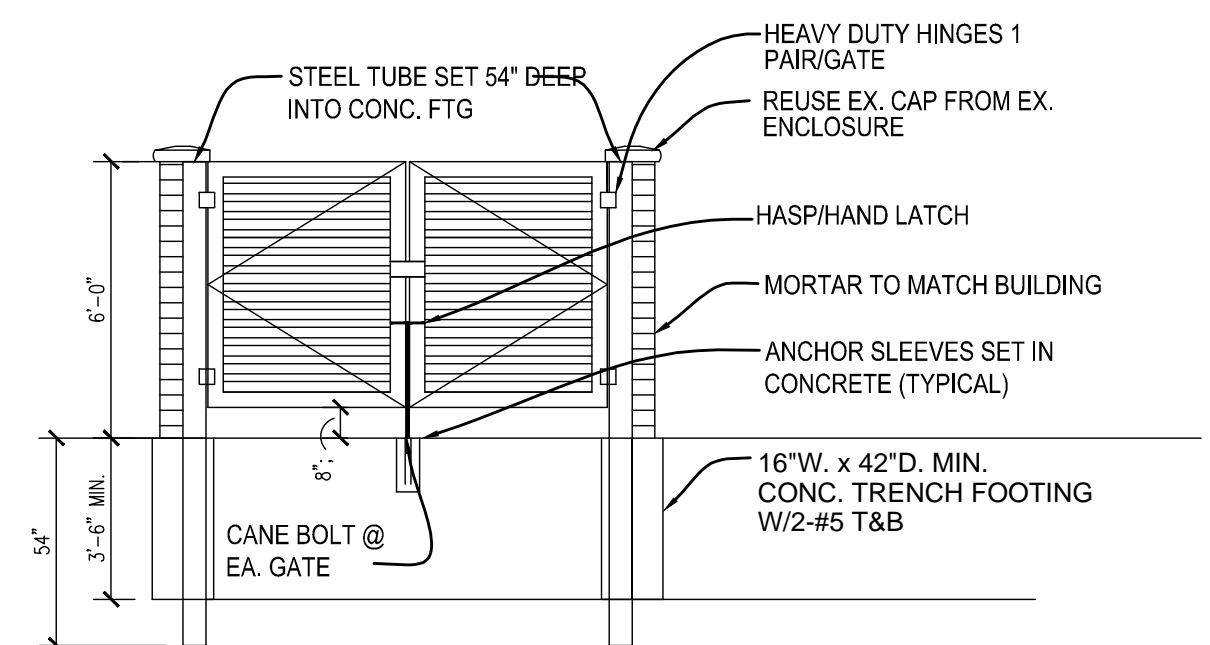


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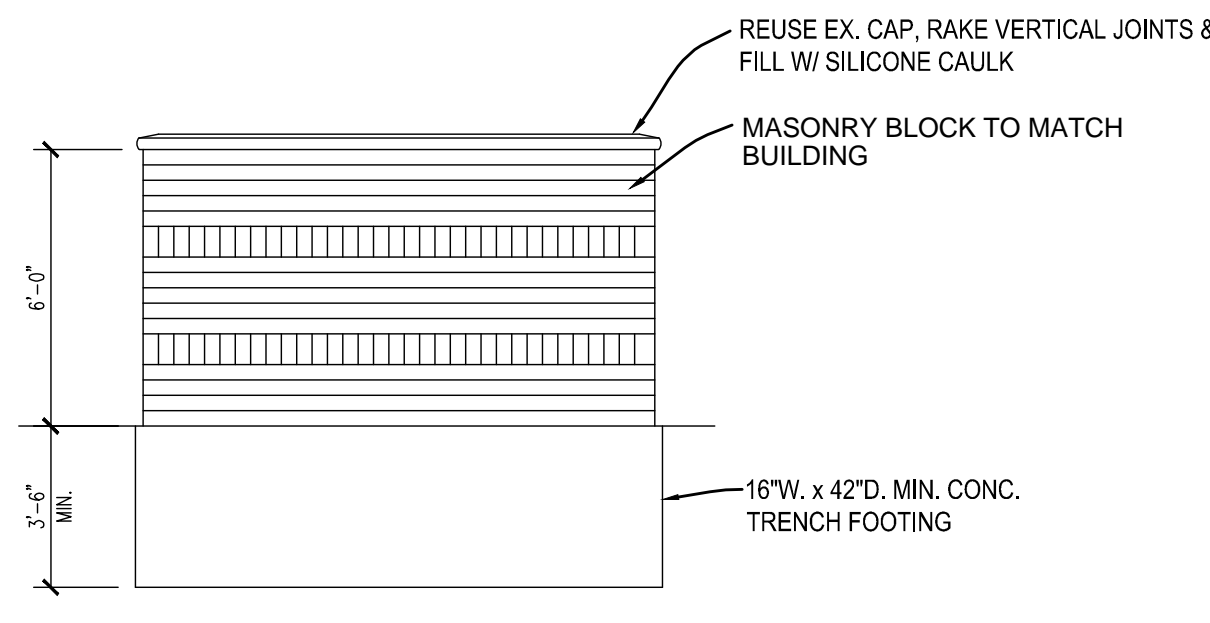
PROJECT: LIPKIN MEDICAL OFFICE BUILDING
PREPARED FOR: DR. LIPKIN
3172 INTERLAKEN STREET
WEST BLOOMFIELD, MI 48323
TITLE: EXIST. CONDITIONS & DEMOLITION

Table with columns for NO, BY, REVISION, PER, DATE. Includes design and review dates for the project.

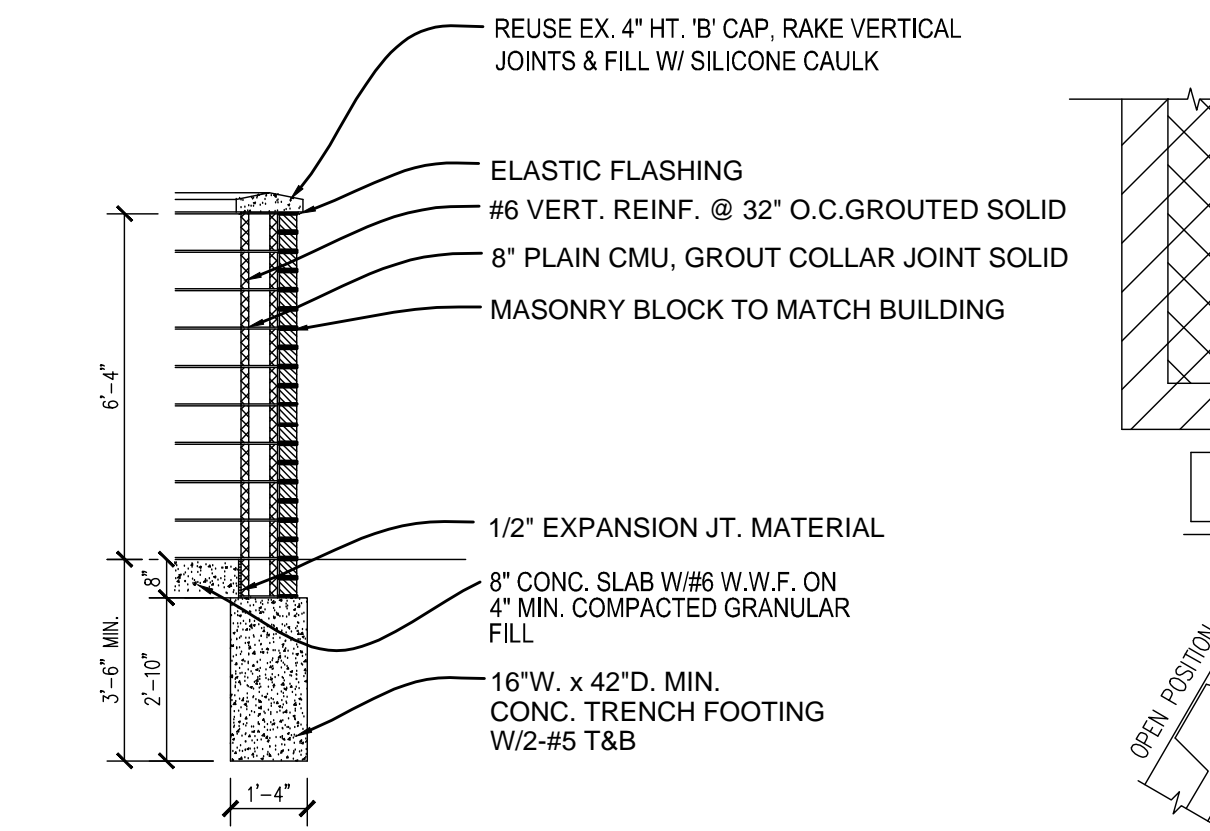
DESIGNED BY:
DRAWN BY: AEB
CHECKED BY:
SCALE: 1" = 30'
JOB NO. 13-293
DATE: 4-30-14
SHEET NO. C9



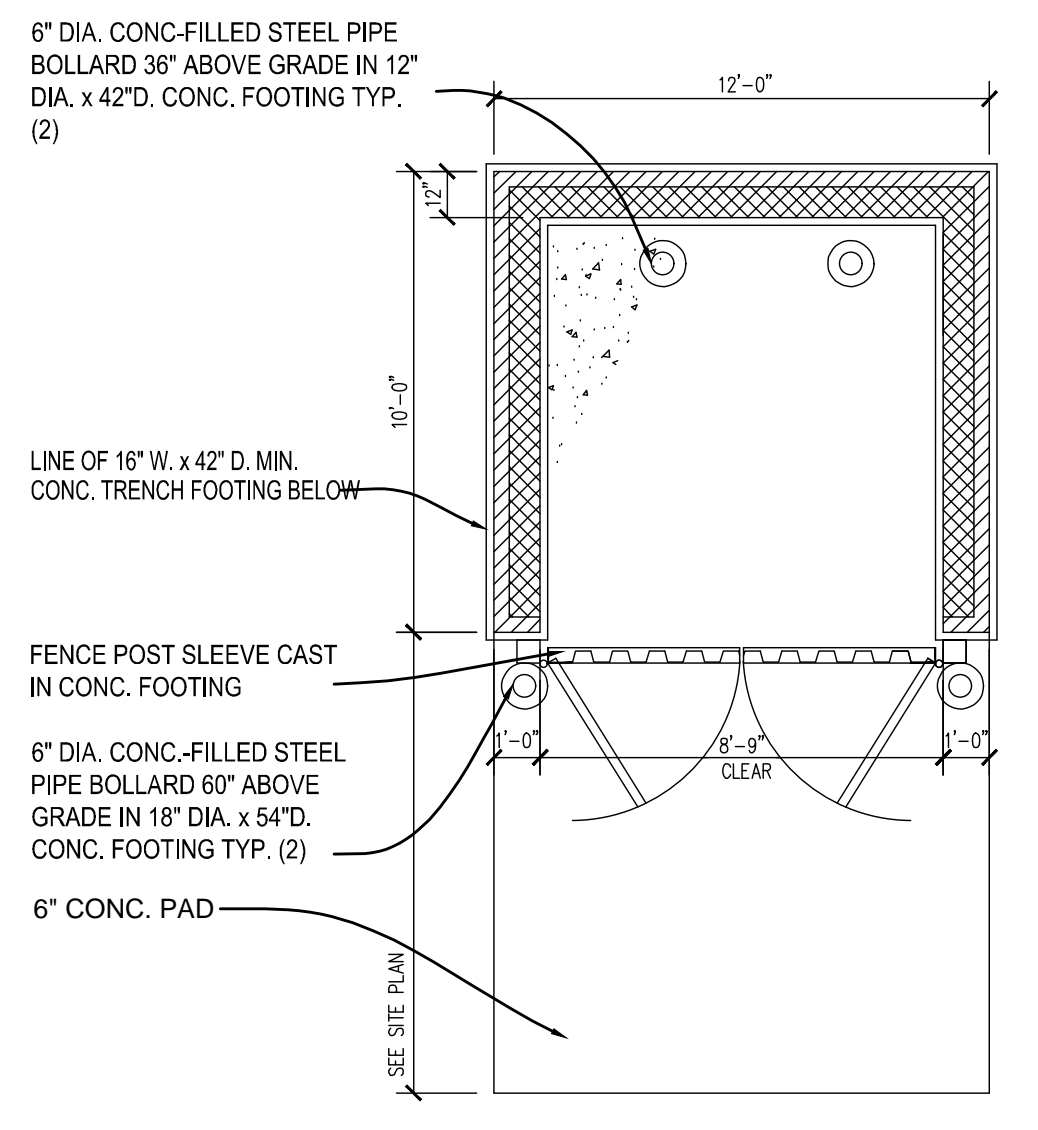
**REFUSE ENCLOSURE FRONT ELEVATION**  
NO SCALE



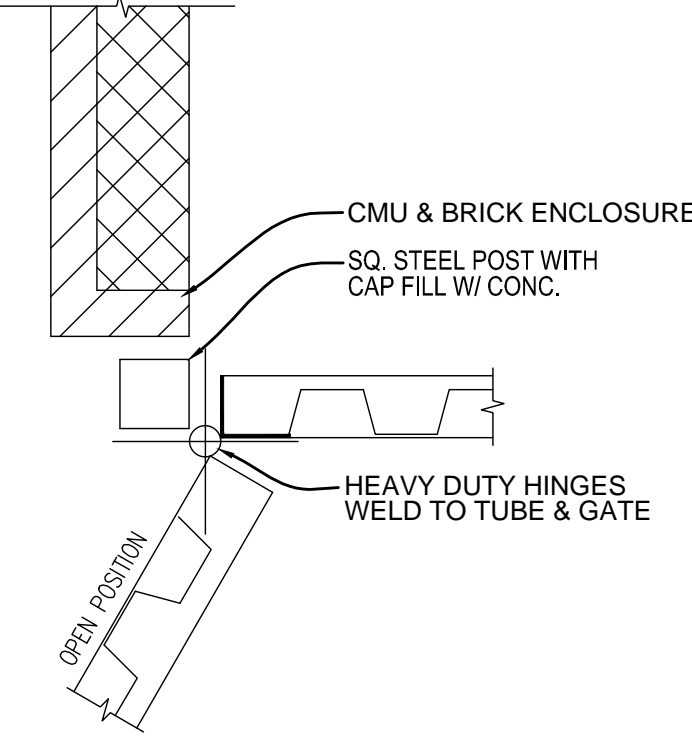
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NO SCALE



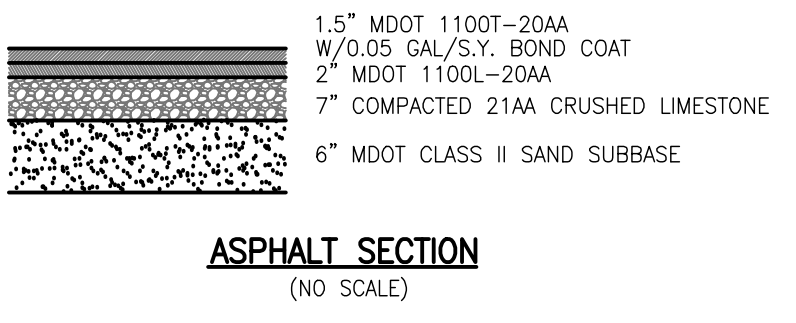
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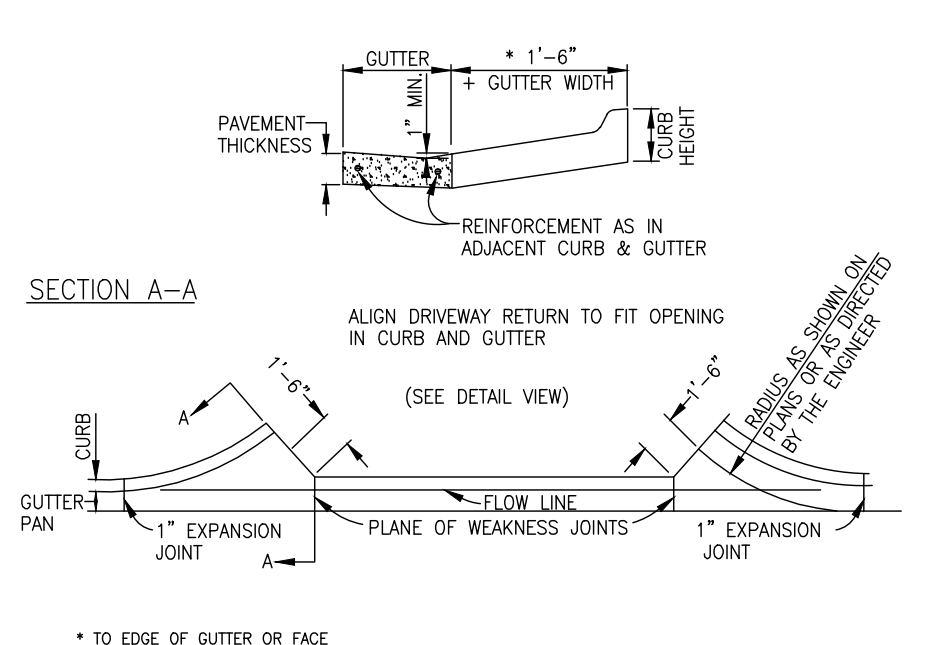
**REFUSE ENCLOSURE PLAN**  
NO SCALE



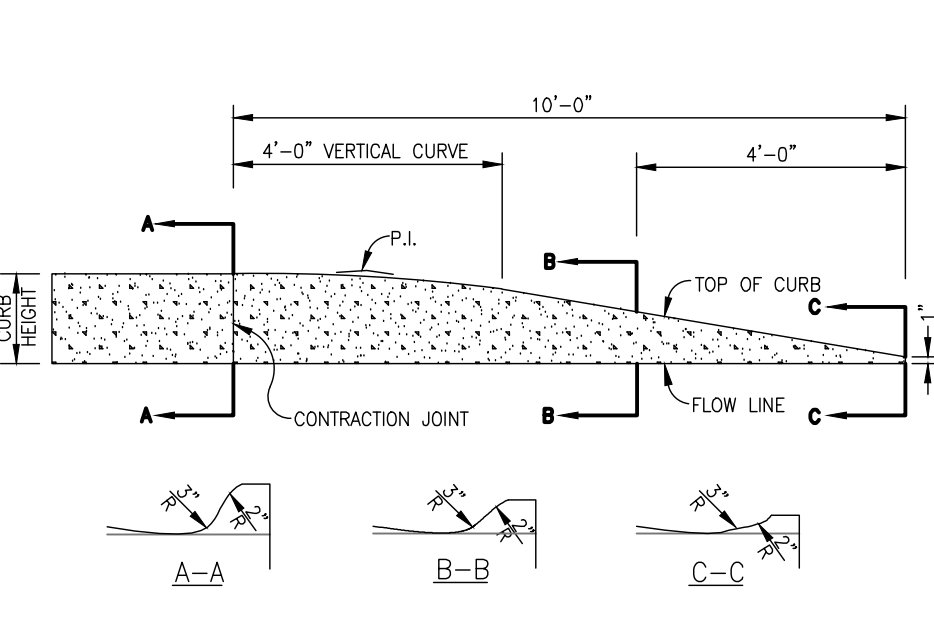
**GATE POST DETAIL**  
NO SCALE



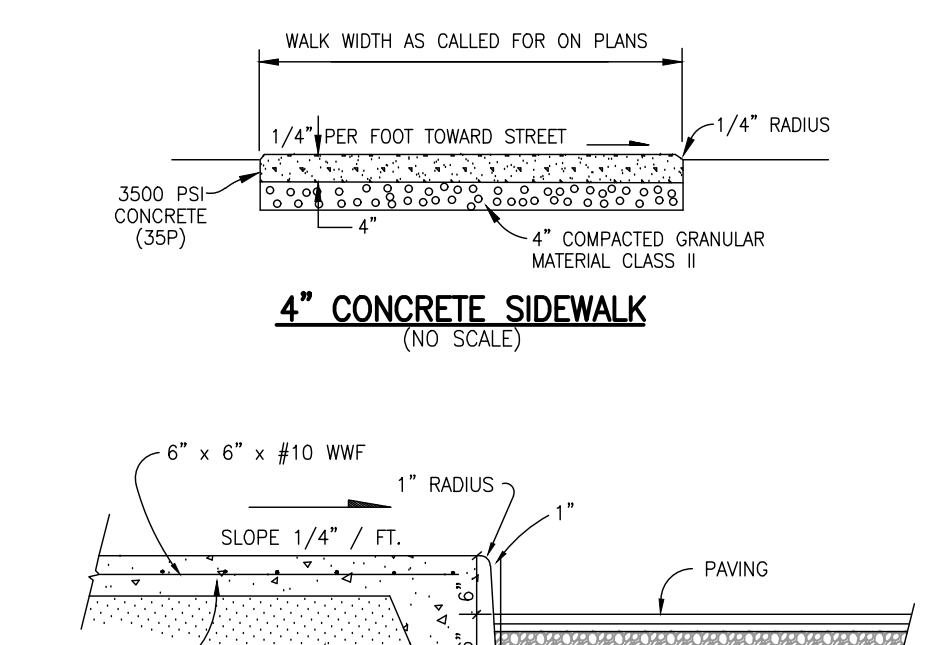
**ASPHALT SECTION**  
(NO SCALE)



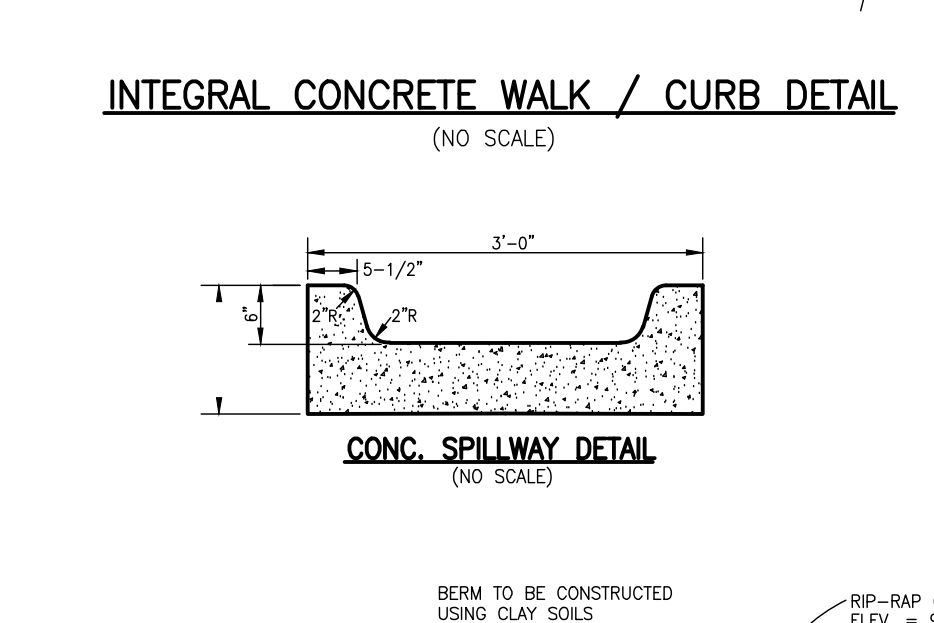
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(NO SCALE)



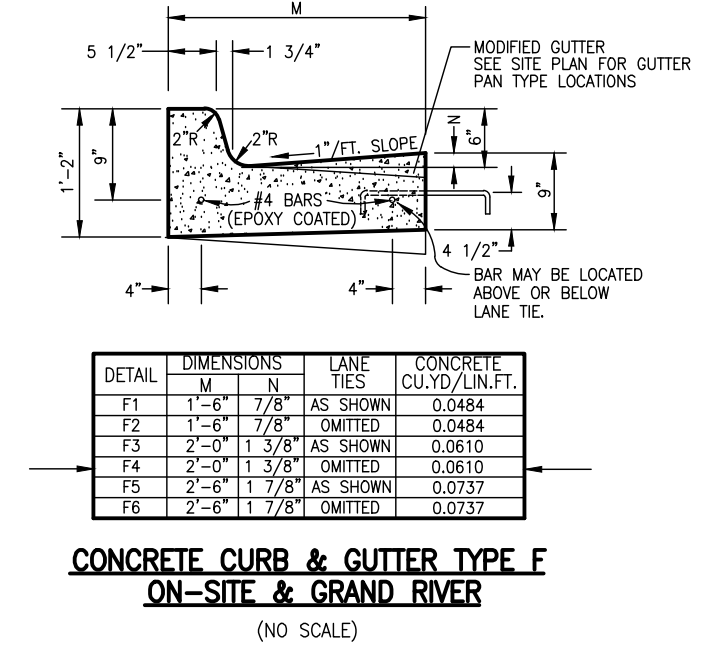
**CONCRETE CURB AND GUTTER ENDINGS**  
(NO SCALE)



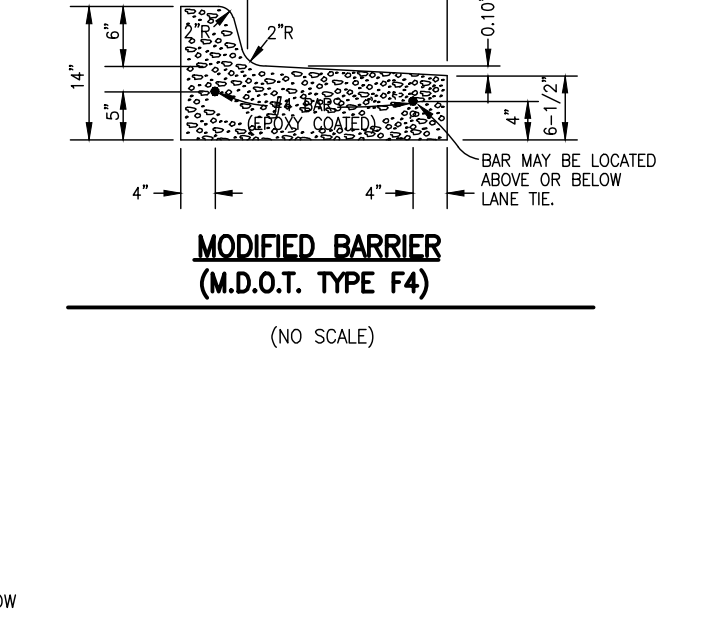
**4\"/>**



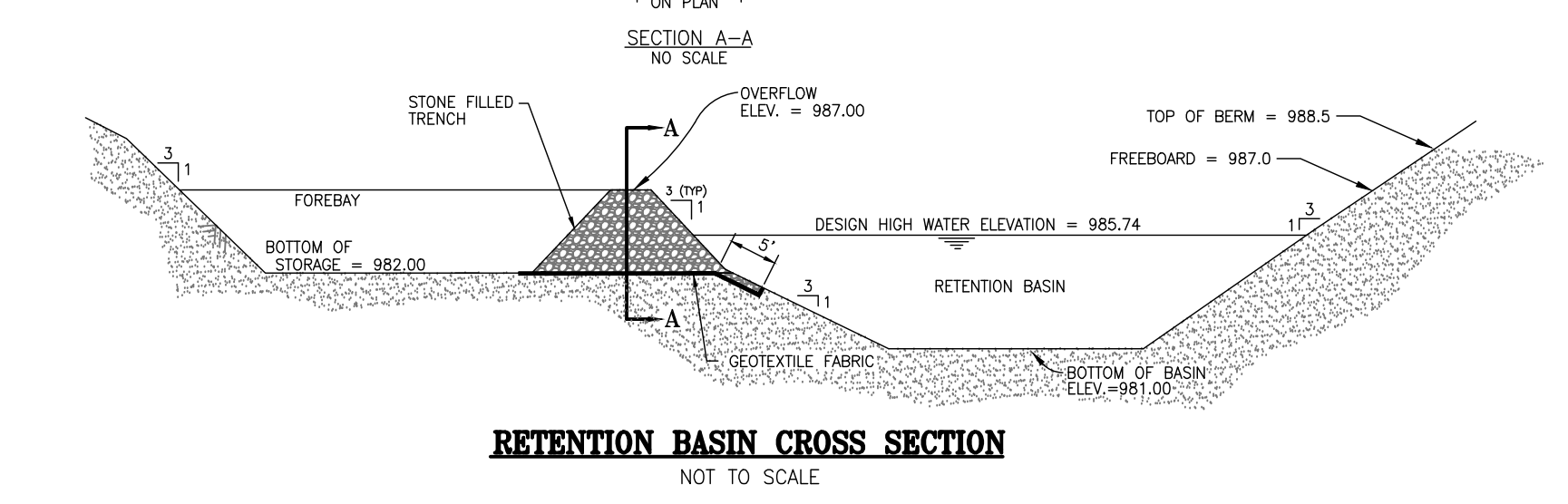
**INTEGRAL CONCRETE WALK / CURB DETAIL**  
(NO SCALE)



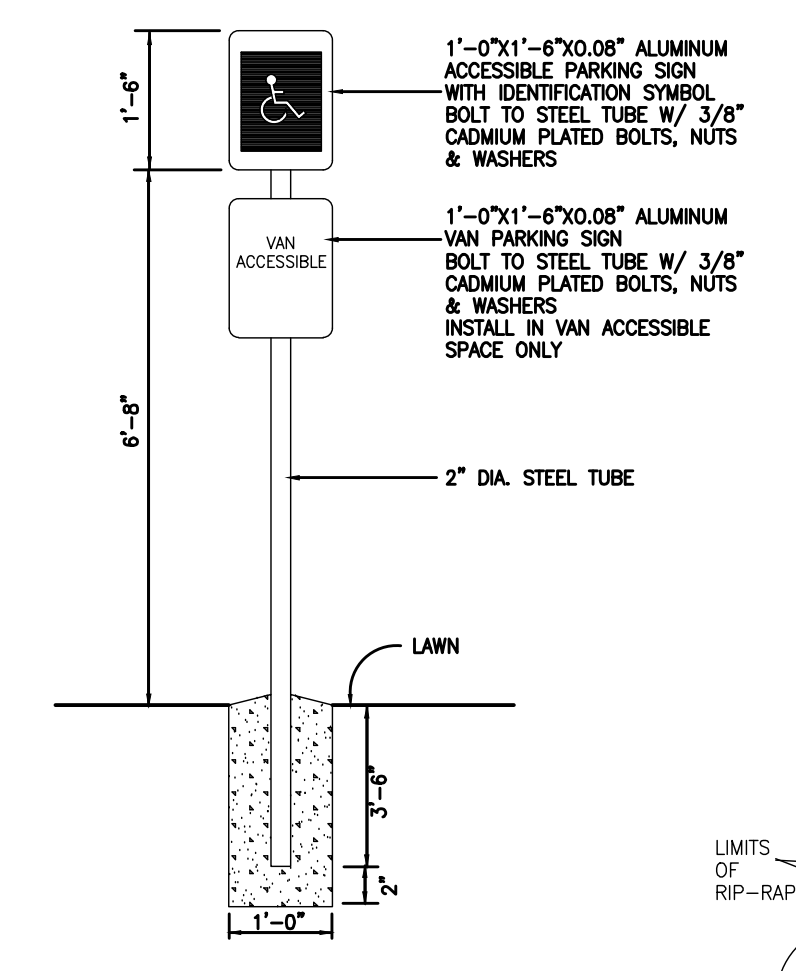
**CONCRETE CURB & GUTTER TYPE F ON-SITE & GRAND RIVER**  
(NO SCALE)



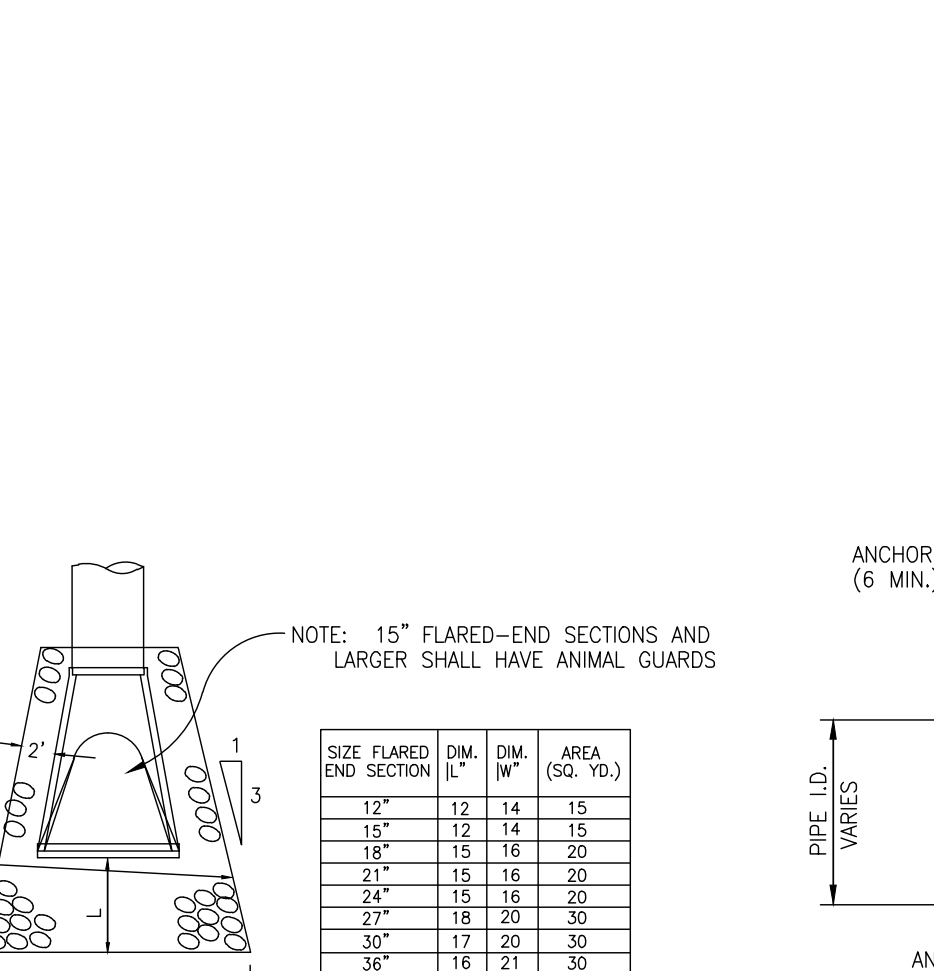
**MODIFIED BARRIER (M.D.O.T. TYPE F4)**  
(NO SCALE)



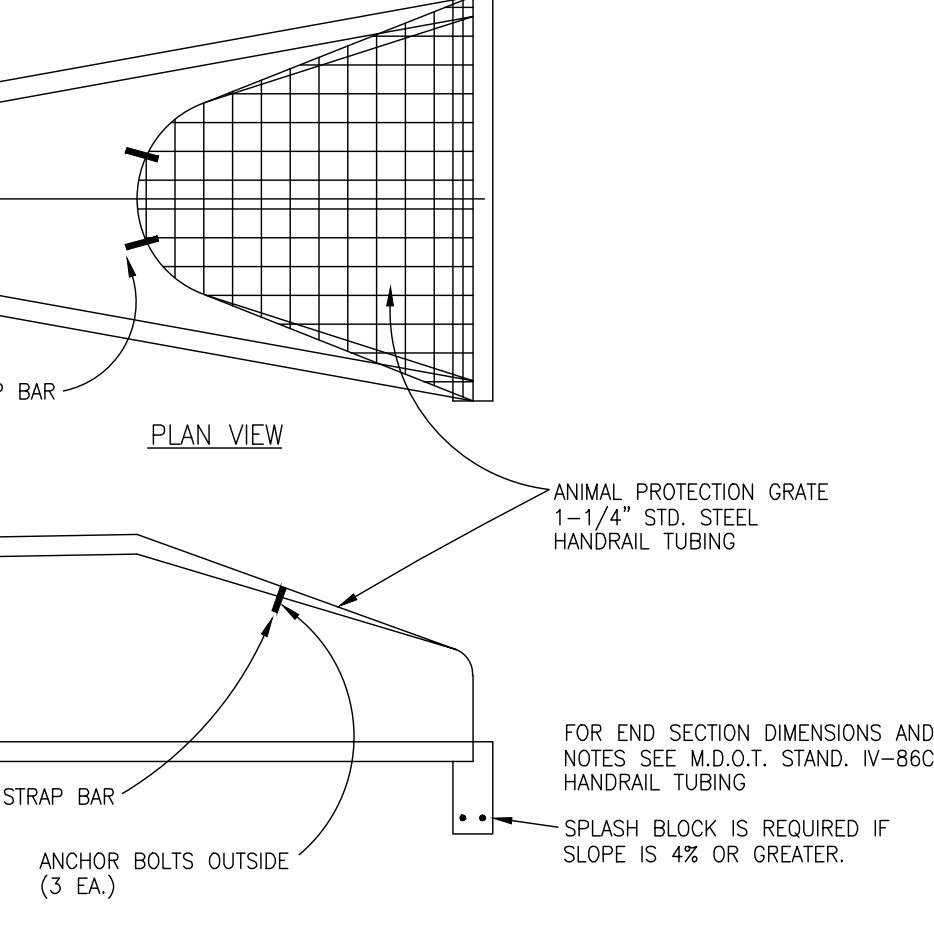
**RETENTION BASIN CROSS SECTION**  
NOT TO SCALE



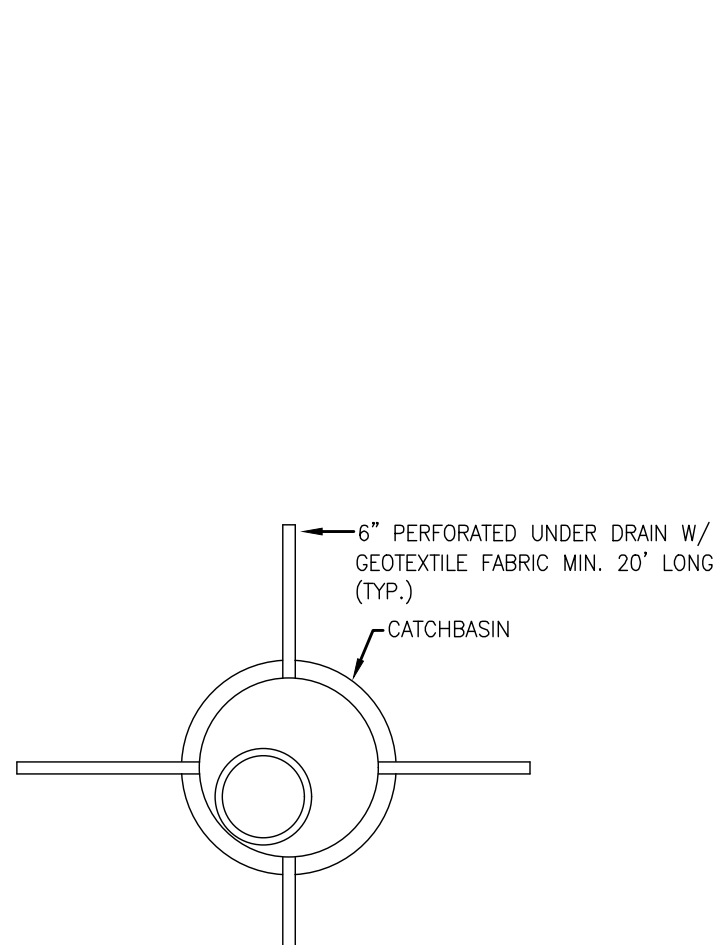
**HANDICAP PARKING SIGN DETAIL**  
(NO SCALE)



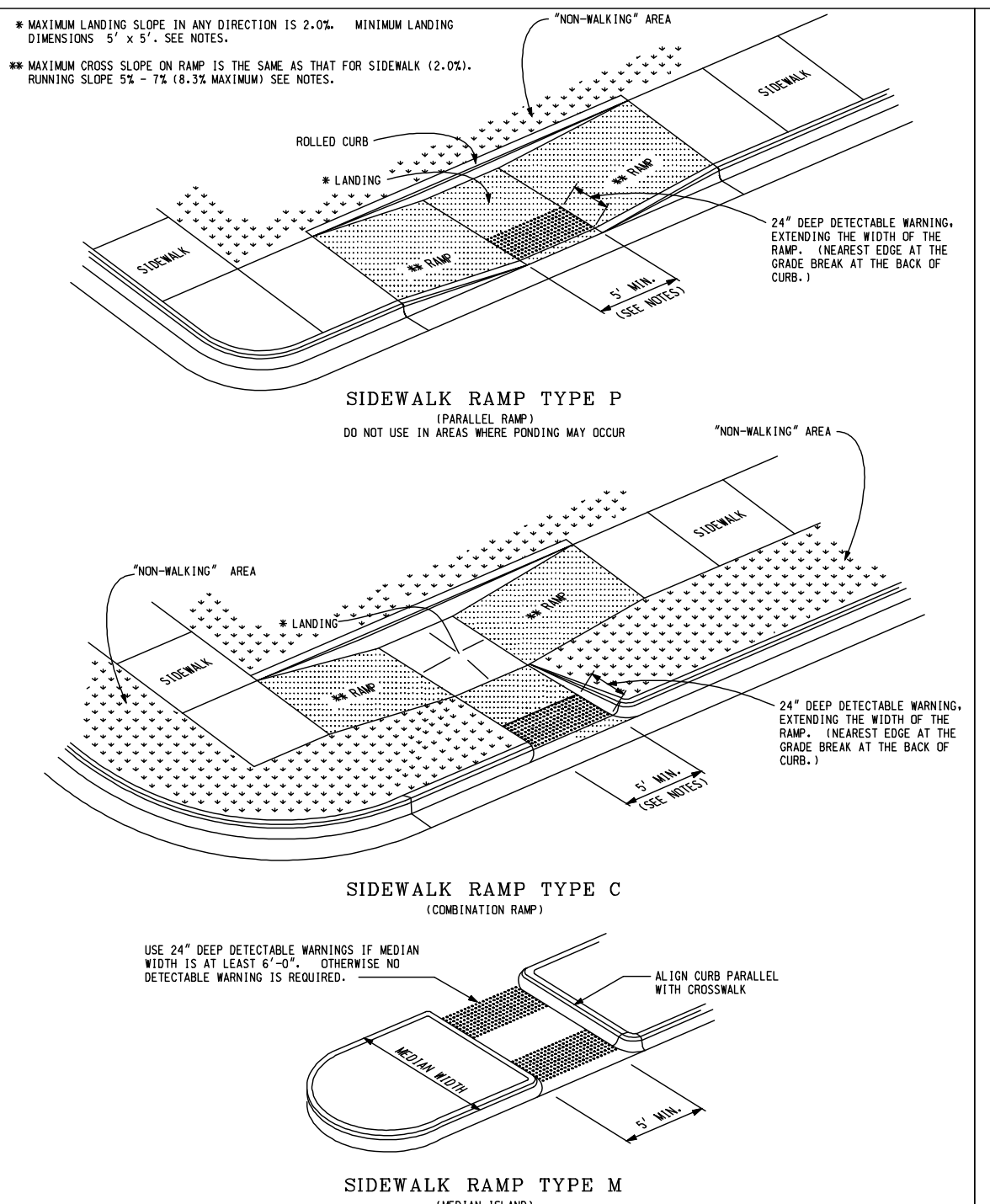
**TYPICAL RIP-RAP DETAIL**  
(SCALE: NONE)



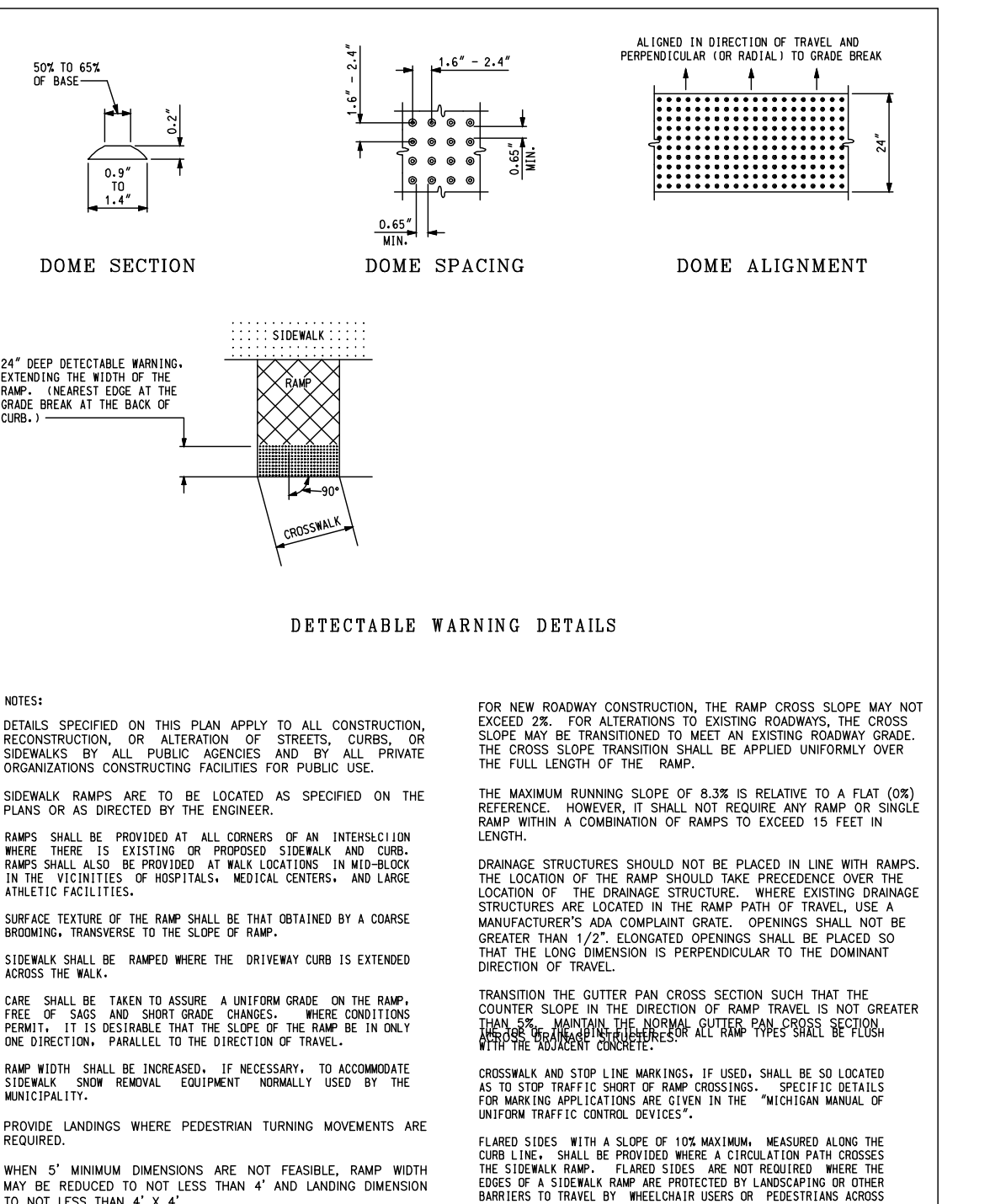
**PRECAST CONCRETE END SECTION FOR PIPE CULVERT W/ ANIMAL GRATE**  
(NO SCALE)



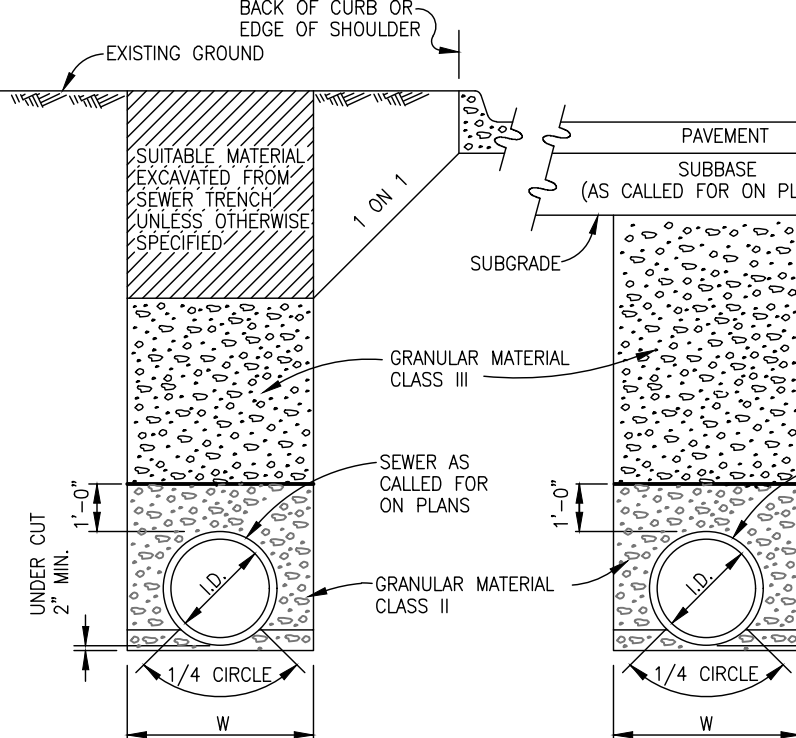
**STORM STRUCTURE UNDER DRAIN DETAIL**  
NO SCALE



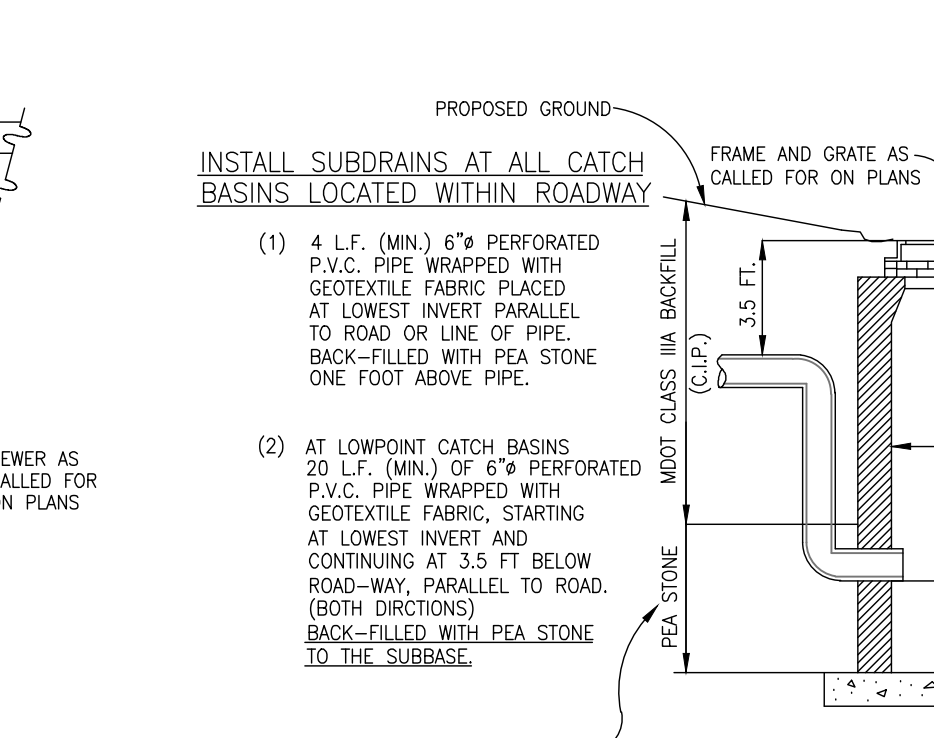
**SIDEWALK RAMP TYPE P (PARALLEL RAMP)**  
DO NOT USE IN AREAS WHERE PARKING MAY OCCUR



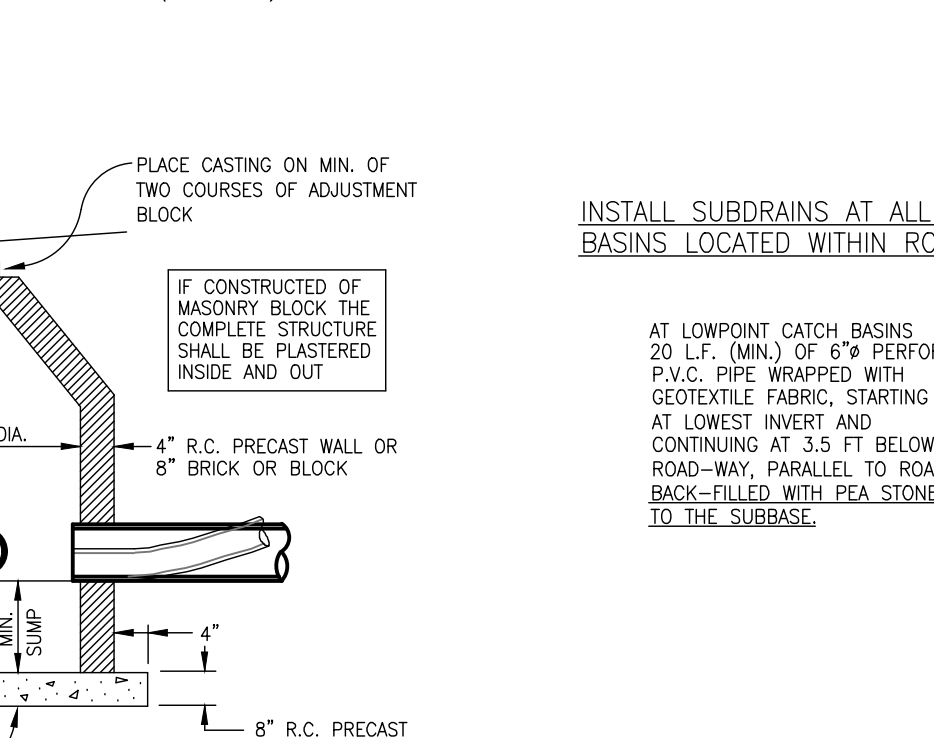
**SIDEWALK RAMP TYPE C (COMBINATION RAMP)**



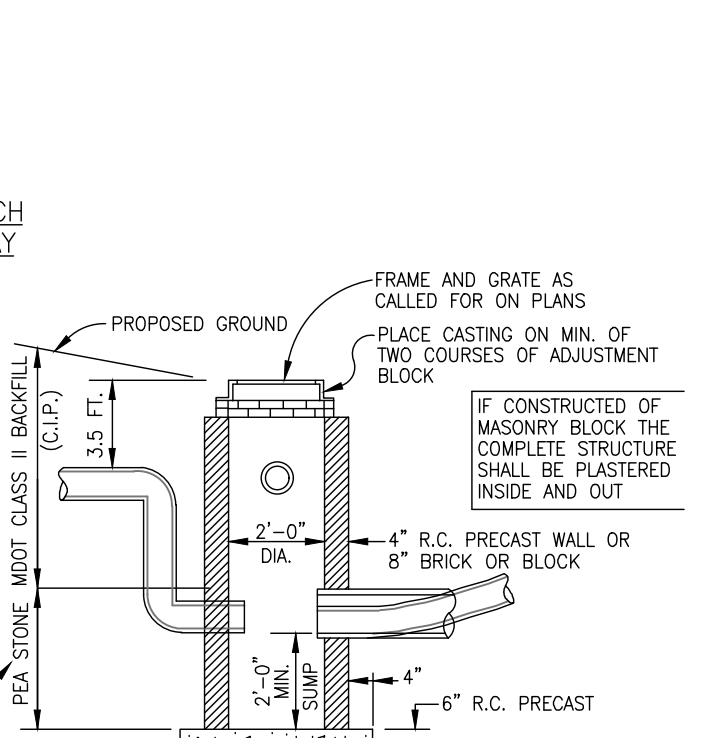
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**



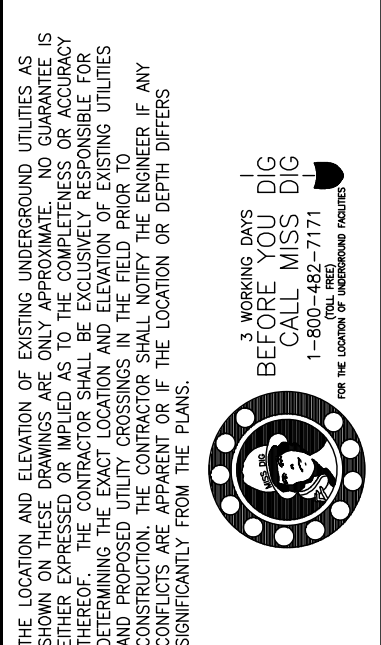
**SEWER UNDER ROADBED OR WITHIN INFLUENCE OF ROADBED**  
(REF. MDOT DETAIL IV-83D)  
NO SCALE



**4 FT. DIA. CATCH BASIN W/SUMP**  
NO SCALE



**2 FT. DIA. CATCH BASIN W/SUMP**  
NO SCALE



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PROJECT:	LIPKIN MEDICAL OFFICE BUILDING		
DESIGNED BY:	DR. LIPKIN		
PREPARED FOR:	3172 INTERLAKEN STREET WEST BLOOMFIELD, MI 48323		
TITLE:	CONSTRUCTION NOTES & DETAILS		
NO	BY	DATE	REVISION PER
1	LM	PER TOWNSHIP REVIEW	5/21/14
2	LM	PER COUNTY REVIEW	6/19/14
3	LM	PER TOWNSHIP REVIEW	10/24/14
4	LM	PER TOWNSHIP REVIEW	11/11/14
5	TD	AMENDED SITE PLAN	10/26/16
6	TD	P.C. COMMENTS	11-15-16

DESIGNED BY: TO  
CHECKED BY:  
SCALE: 1" = 30'  
JOB NO. 13-293  
DATE 4-30-14  
SHEET NO. C10

LIVINGSTON COUNTY SOIL EROSION PERMIT TEMPLATE TEMPORARY CONTROLS AND SEQUENCE

- 1. NOTIFY LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO START OF GRADE WORK.
2. IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974 THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE START OF ANY WORK.

- 3. (IMPORTANT NOTICE) RETENTION/DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUST HAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
4. A .36" M.D.O.T SPECIFICATION TYPE SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED AND MAINTAINED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITE.

- 5. ALL TEMPORARY EROSION CONTROL DEVICES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISTRIBUTION.
6. PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 100' LINEAL FEET.
7. RETENTION/DETENTION/SEDIMENTATION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
8. DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND/PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD. AN EMERGENCY SPILLWAY SHALL BE CONSTRUCTED WITHIN THE FREEBOARD LEVEL.

- 9. THE EMERGENCY SPILLWAY FROM THE DETENTION POND SHALL BE SODDED AND PEGGED, OR RIP RAPPED, 15 FEET PAST THE TOE OF THE SLOPE OF THE BERM.
10. DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER.
11. RETENTION/DETENTION PONDS SHALL BE FENCED WITH 4' CHAIN LINK FENCE, INCLUDING A 12' ACCESS GATE FOR MAINTENANCE UNLESS MINIMUM 3 FT. HORIZONTAL TO 1 FT. VERTICAL, SIDE SLOPES ARE PROVIDED. THE FENCE SHALL BE INSTALLED AT THE OUTER PORTION OF THE BERM, TO ALLOW FOR MAINTENANCE WORK TO BE DONE INSIDE THE FENCE.
12. ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE DURING THE EXCAVATING STAGE. TOPSOIL PILES SHALL BE SEEDED AND MULCHED, OR MATTED WITH STRAW IN THE NON-GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.
13. SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.

- 14. ON SITE DITCHES SHALL BE OF THE FLAT BOTTOM TYPE, MINIMUM WIDTH OF 2' WITH A MINIMUM OF 3' HORIZONTAL TO 1' VERTICAL SIDE SLOPES, 3:1.
15. DITCHES WITH STEEP SLOPES WILL NEED FLOW CHECKS TO PREVENT SCOURING OF THE DITCH BOTTOM. THESE SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR INSPECTOR.
16. SLOPES IN EXCESS OF 3' HORIZONTAL TO 1' VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PRIOR APPROVED DEVICE.
17. ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BLOCK SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE.

- 18. STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BALE BARRIER AND STONE FILTER INSTALLED AROUND THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BALE BARRIER, A BURLAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURLAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. IN DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURLAP FILTER THE MINIMUM OF 1 FT. OF STONE IS VERY IMPORTANT. THE CONTROL SHALL BE INSTALLED AS SOON AS THE STRUCTURE IS BUILT AND INSPECTED DAILY.
19. BURLAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL.
20. COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12" CAN BE BAFFLED TO THE CORRECT SIZE. ALL PIPE SHALL MEET THE 12"

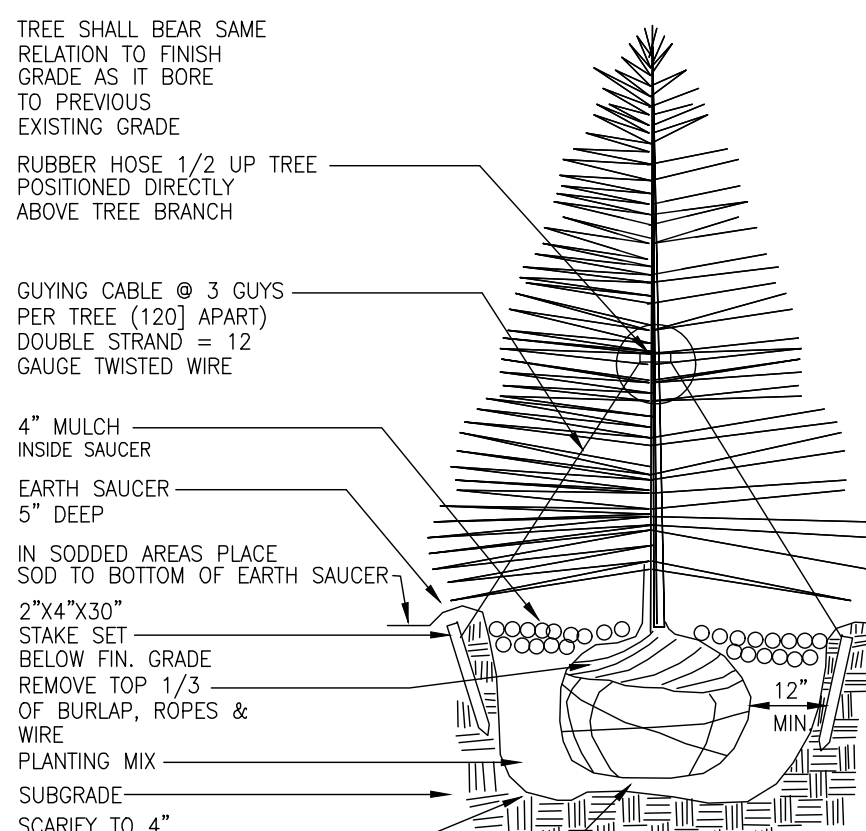
- 21. ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.
22. ALL STORM DRAINAGE PIPE 30" IN DIAMETER OR LARGER SHALL BE POINTED, AT THE JOINTS ON THE INSIDE WITH MORTAR, AFTER BACKFILLING.
23. ALL STORM DRAIN OUTLETS THAT DO NOT EMPTY INTO THE RETENTION/DETENTION POND SHALL HAVE A TEMPORARY 5'X10'X3' SUMP INSTALLED AT THE TERMINATION OF THE STORM SEWER. UPON COMPLETION OF THE STABILIZATION WORK THE SUMP AREA SHALL BE FILLED AND RIP RAPPED WITH COBBLE STONE. SILT TRAPS SHALL BE INSPECTED AFTER EACH STORM.
24. STORM WATER OUTLETS DO DENOTE RIP RAP. ALL OUTLETS SHALL BE RIP RAPPED OVER KEYED FILTER FABRIC WITH A MINIMUM OF 15 SQ. YARDS OF 6" OR LARGER COBBLE STONE.
25. RIP RAP AS NOTED ON THE PLAN SHALL BE OF A FUNNEL SHAPE CONSTRUCTION, WIDTH SHALL INCREASE AS DISTANCE FROM THE OUTLET POINT INCREASES AT A 3:1 RATIO.
26. RIP RAP SHALL BE OF COBBLE STONE, 6" IN DIAMETER OR LARGER. GROUTING MAY BE NECESSARY, AND SHALL BE A MINIMUM OF 6" IN DEPTH WITH THE COBBLE SET IN THE CEMENT SLURRY.
27. STORM WATER OUTLET IS IN NEED OF A SPLASH BLOCK WHICH IS NOT NOTED ON THE PLAN. INSTALL SPLASH BLOCK IF SLOPE OF THE PIPE IS 4% OR GREATER.
28. IT WILL BE NECESSARY FOR THE DEVELOPER TO HAVE THE STORM DRAINAGE LINES CLEANED PRIOR TO FINAL INSPECTION BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE. IF REQUIRED, THIS WORK SHALL BE DONE BY A PROFESSIONAL SEWER CLEANING FIRM AND CERTIFIED IN WRITING BY THE PROJECT ENGINEER. ALL SUMPS AND TEMPORARY SILT TRAPS SHALL ALSO BE CLEANED AT THIS TIME.

- 29. ALL UNIMPROVED DISTURBED AREAS SHALL BE RE-TOP SOILED, WITH A MINIMUM OF 3" OF MATERIAL, SEEDED, MULCHED AND TACKED WITHIN 15 DAYS OF THE COMPLETION OF THE MASONRY CONSTRUCTION. IN THE NON-GROWING SEASON STRAW MATTING WILL SUFFICE. HYDROSEEDING WILL BE AN ACCEPTABLE ALTERNATE FOR MULCHING. EXTREME CARE SHOULD BE EXERCISED IN SPRING AND FALL PERIODS AS A FROST WILL BREAK THE BOND OF THE HYDROSEEDING, WHICH WILL AFFECT THE EFFECTIVENESS OF THIS PROCEDURE.
30. IN THE NON-GROWING SEASON, TEMPORARY STABILIZATION OF MASSIVELY EXPOSED AREAS FOR WINTER STABILIZATION SHALL BE DONE WITH STRAW MATTING.
31. PERMIT FEES DURING THE WINTER PERIOD OF NON-CONSTRUCTION, (DECEMBER 1 THROUGH MARCH 31), SHALL NOT BE IMPOSED IF THE PERMIT HOLDER TEMPORARILY STABILIZES THE EXPOSED AREAS WITH STRAW MATTING, AND OTHER APPROVED CONTROLS, AND OBTAINS A WINTER STABILIZATION CERTIFICATE FROM THIS OFFICE.
32. PERIODIC INSPECTIONS WILL BE MADE THROUGHOUT THE COURSE OF THE PROJECT. IT WILL BE THE RESPONSIBILITY OF THE MANAGERS OF THE PROJECT TO CONTACT THIS OFFICE FOR THE FINAL INSPECTION AT THE END OF THE PROJECT.
33. THIS COMMERCIAL PERMIT IS VALID FOR THE MASS EARTH MOVEMENT, THE INSTALLATION OF ROADS, DRAINS, AND UTILITIES AND IS NOT FOR ANY SINGLE FAMILY RESIDENCE. ALL RESIDENTIAL BUILDERS WILL NEED TO SECURE MANAGERS AND OR PERMITS AS NECESSARY FOR EACH LOT IN THIS DEVELOPMENT AT THE TIME APPLICATION FOR SINGLE FAMILY RESIDENCE IS MADE.
34. THE ISSUING BUILDING DEPARTMENT SHALL NOT ISSUE THE CERTIFICATE OF OCCUPANCY UNTIL THE FINAL INSPECTION LETTER FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE HAS BEEN OBTAINED.
35. PER THE LIVINGSTON COUNTY DRAIN COMMISSIONER THE SEEDING, FERTILIZER AND MULCH MINIMUM QUANTITIES SHALL BE AS FOLLOWS:
TOP-SOIL 3" IN DEPTH
GRASS SEED 218 LBS. PER ACRE
FERTILIZER 150 LBS. PER ACRE
STRAW MULCH 3" IN DEPTH 1.5 TO 2 TONS PER ACRE (ALL MULCHING MUST HAVE A TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.)

- HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% IN SUCH CASES STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.

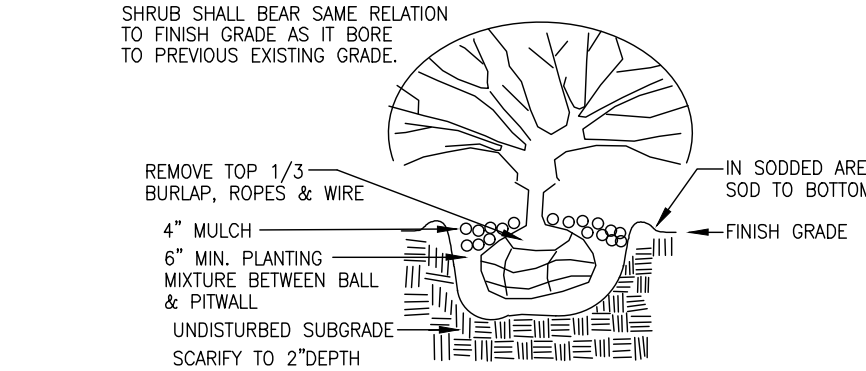
- MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROLS
1. SILT FENCE SHALL BE INSPECTED WEEKLY AND AFTER EACH MAJOR STORM EVENT. MAINTENANCE SHALL INCLUDE REMOVAL OF ACCUMULATED SILT AND REPLACEMENT OF TORN SECTIONS. SILT FENCE SHALL BE REMOVED WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED.
2. TRACKING PAD SHALL BE INSPECTED MONTHLY FOR ACCUMULATED DIRT. TRACKING PAD SHALL BE REPLACED WHEN THE STONES ARE CHOKED WITH DIRT. TRACKING PAD SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FIRST COURSE OF ASPHALT BEING LAID.
3. DETENTION/RETENTION POND SHALL BE INSPECTED QUARTERLY ON A PERMANENT BASIS. MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL, EMBANKMENT STABILIZATION AND MAINTAINING THE OUTLET STRUCTURE IN GOOD CONDITION. NO TREES SHALL BE ALLOWED TO GROW ON THE EMBANKMENT.
4. CATCH BASINS SHALL BE INSPECTED ANNUALLY FOR ACCUMULATION OF SEDIMENT. ALL SEDIMENT MUST BE REMOVED AND DISPOSED OF PROPERLY WHEN THE SUMP IS FULL.
5. COMMON AREAS SHALL BE STABILIZED NO LATER THAN 15 DAYS AFTER GRADE WORK, PURSUANT TO RULE 1709 (5).

BEFORE BACK FILLING AROUND PLANT, REMOVE ALL PLASTIC BAILING MATERIAL & METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE. NEVER PRUNE EVERGREENS

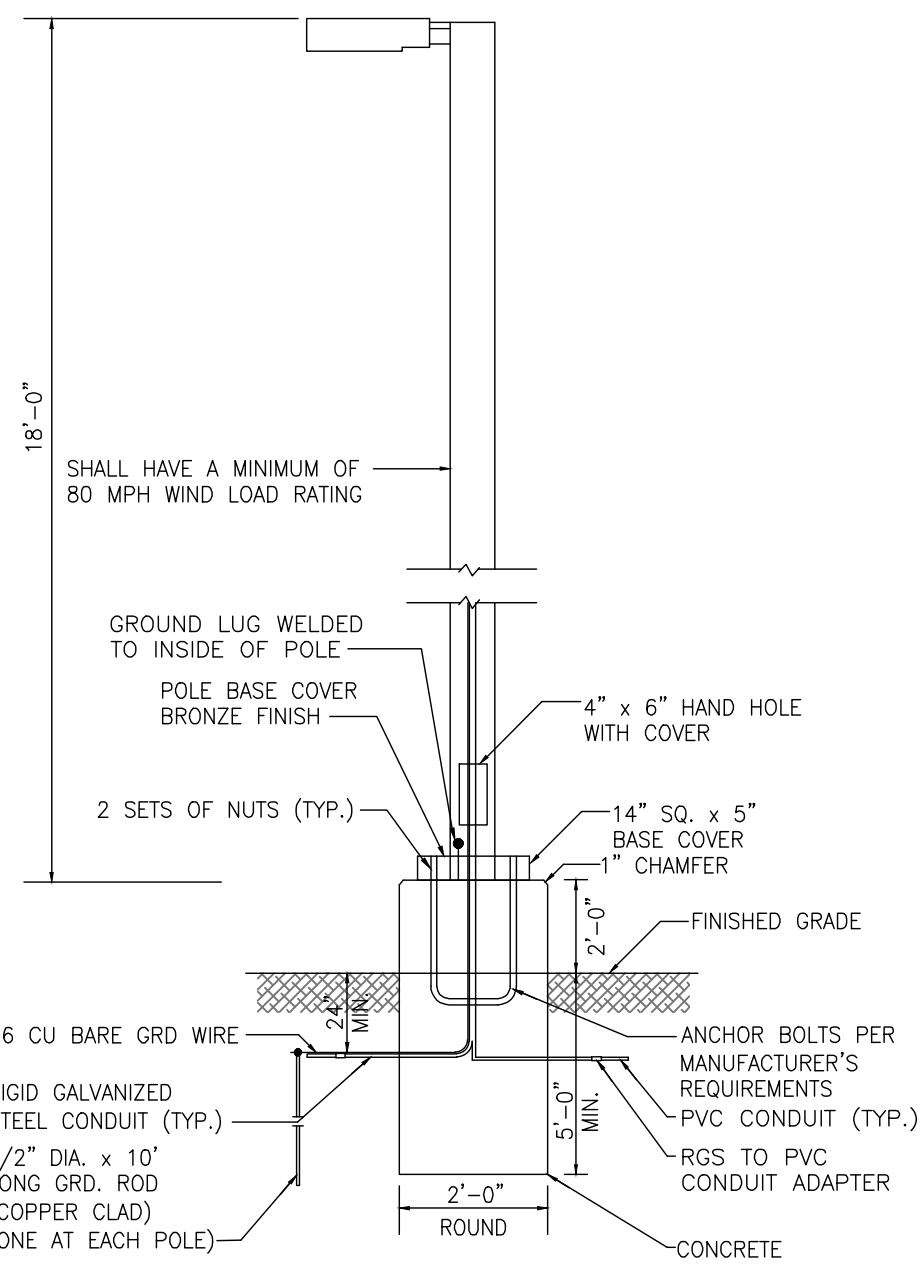


EVERGREEN TREE PLANTING DETAIL (NO SCALE)

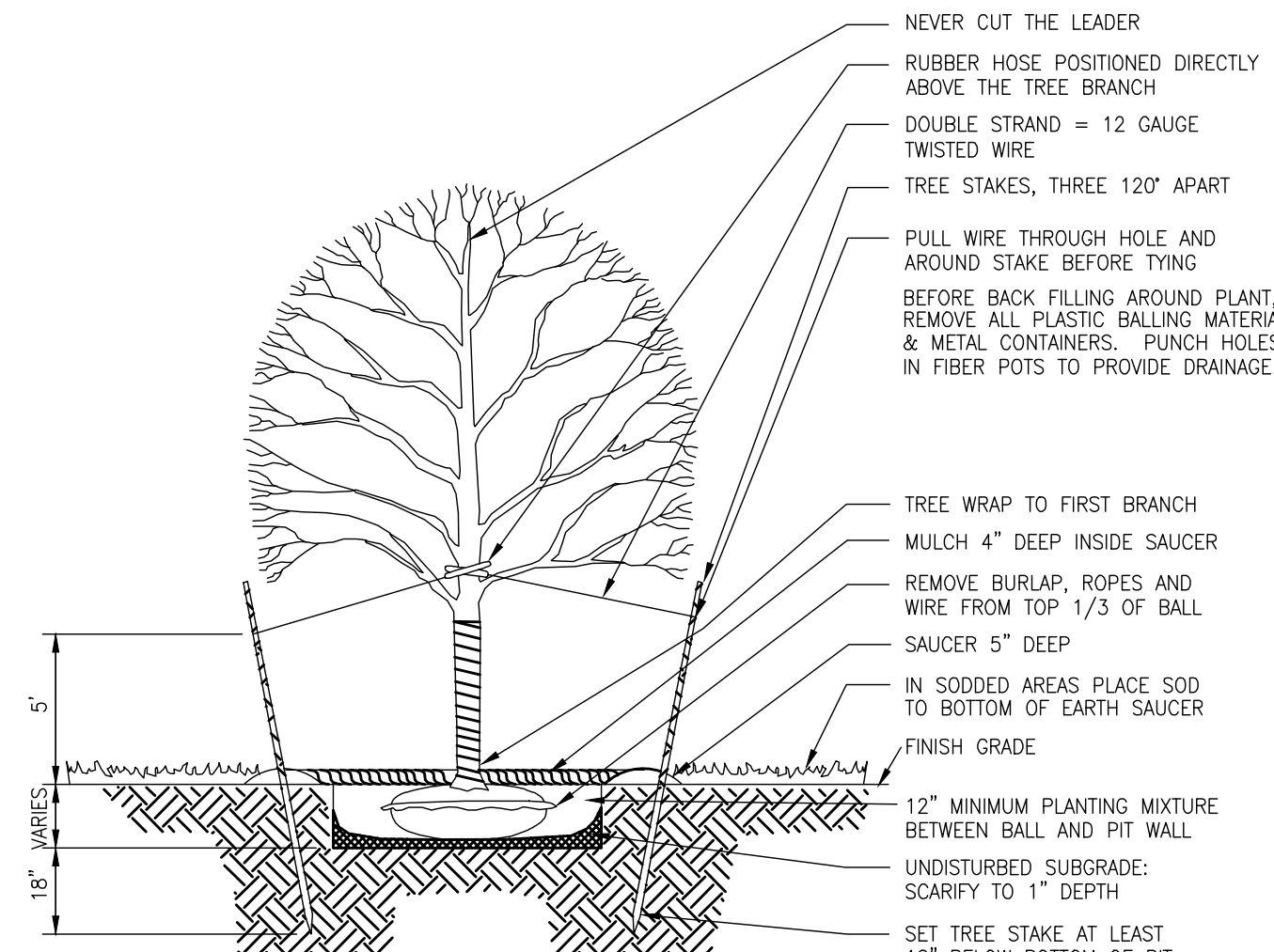
BEFORE BACK FILLING AROUND PLANT, REMOVE ALL PLASTIC BAILING MATERIAL & METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE. THIN FOLIAGE & BRANCHES (NOT ALL END TIPS) BY 1/3 - RETAIN NATURAL SHAPE. SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



SHRUB PLANTING DETAIL (NO SCALE)



BOX LIGHT FIXTURE DETAIL (TYP.) (NO SCALE)



DECIDUOUS TREE PLANTING DETAIL (NO SCALE)

TREE PROTECTION NOTES:

- 1. THE LANDSCAPE ARCHITECT SHALL SUPERVISE THE TAGGING OF TREES TO BE TRANSPLANTED, TREES TO REMAIN, AND TREES TO BE REMOVED. FOR IDENTIFICATION OF PROPOSED ACTION FOR EXISTING TREES, THE FOLLOWING METHODS WILL BE USED: AN ORANGE PAINTED 'X' FOR TREES TO BE REMOVED; YELLOW FLAGGING FOR TREES TO BE TRANSPLANTED; AND SNOW FENCE PROTECTION AS SHOWN IN THE DETAIL FOR TREES TO REMAIN.
2. EXISTING TREES WITHIN FIFTEEN FEET (15') OF BUILDINGS ARE TO BE PRUNED AFTER CONSTRUCTION BY A PROFESSIONAL TREE CONTRACTOR AS SPECIFIED BY THE LANDSCAPE ARCHITECT.
3. NO DAMAGING ATTACHMENTS SUCH AS WIRES (OTHER THAN CABLE WIRES FOR TREES) SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THE ORDINANCE.
4. FOR TREES TO BE SAVED, A FOUR FOOT (4') HIGH SNOW FENCE SHALL BE ERRECTED AROUND THE TREE DRIP LINE PRIOR TO LAND CLEARING AND CONSTRUCTION AND MAINTAINED THROUGHOUT SITE DEVELOPMENT. NO CUTTING, FILLING, OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREA WITH OUT APPROVAL OF THE CITY/TOWNSHIP. THE SNOW FENCING SHALL REMAIN IN ITS APPROVED LOCATION UNTIL SUCH TIME AS IT IS AUTHORIZED TO BE REMOVED BY THE CITY OR ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
5. NO ACTIVITY SHALL BE CONDUCTED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO BE RETAINED, INCLUDING BUT NOT LIMITED TO THE PLACING OF ANY SOLVENTS, MATERIAL, CONSTRUCTION MACHINERY, OR SOIL WITHIN SUCH DRIP LINE.
6. THE DEVELOPER AND/OR THE BUILDER SHALL ERECT SIGNS THROUGHOUT THE PROJECT THAT ARE CLEARLY VISIBLE STATING WORDS TO THE EFFECT THAT ALL SUBCONTRACTORS, SUPPLIERS AND TRADESMEN ARE TO HELP MAINTAIN THE TREES AND WILL BE HELD RESPONSIBLE FOR ANY UNAUTHORIZED DAMAGE TO TREES AND WOODLANDS.
7. ALL PURCHASED REPLACEMENT TREES SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS, SUCH AS:
A. NURSERY GROWN;
B. STATE DEPARTMENT OF AGRICULTURE INSPECTED;
C. NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN (PARK GRADE TREES WILL NOT BE ACCEPTED);
D. STAKED, WRAPPED, WATERED AND MULCHED IN ACCORDANCE WITH STANDARD PLANTING PRACTICES;
E. GUARANTEED FOR ONE (1) YEAR, INCLUDING LABOR, TO REMOVE AND DISPOSE OF DEAD MATERIALS.

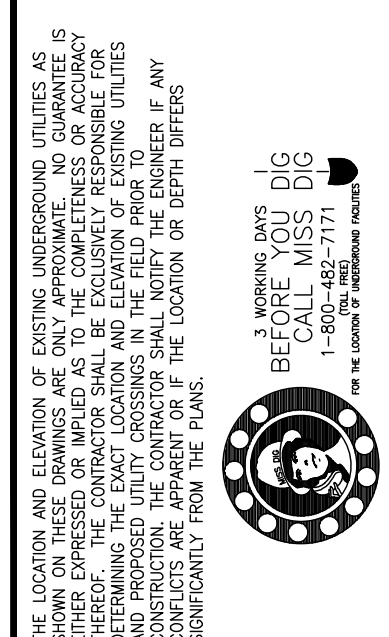
GENERAL LANDSCAPE NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY AND SHALL BE NURSERY GROWN. ALL SIZES AND MEASUREMENTS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
3. ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF 12 INCHES AND BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
4. PLANTING MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL FROM ON SITE, 1 PART PEAT, AND 5 POUNDS OF SUPERPHOSPHATE PER CUBIC YARD OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED TO A UNIFORM CONSISTENCY.
5. ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A 4 INCH LAYER OF SHREDDED BARK MULCH.
6. ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
7. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
8. EDGING, WHERE NOTED ON THE PLANS, SHALL BE BLACK ALUMINUM EDGING, 3/16" X 4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
9. SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUEGRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4 INCH, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10 INCHES BY 18 INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36 HOURS AFTER CUTTING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BARE WITHIN A PERIOD OF ONE MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.
10. ALL AREAS OF THE SITE THAT BECAME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.
SEED MIXTURE SHALL BE AS FOLLOWS:
KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES: ADELPHI, RUGBY, GLADE OR PARADE) 30%
RUBY RED OR DAMSON RED FINE FESCUE 30%
ATLANTA RED FESCUE 20%
PENNFINE PERENNIAL RYE 20%

THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 POUNDS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL LAYER SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS.
10% NITROGEN: A MINIMUM OF 25% FROM A UREA/FORMALDEHYDE SOURCE
0% PHOSPHATE
10% POTASH: SOURCE TO BE POTASSIUM SULFATE OR POTASSIUM NITRATE.
THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 POUNDS OF BULK FERTILIZER PER 1000 SQUARE FEET.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDED AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

- 11. ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 4 INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THIS SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.
13. ALL PLANT MATERIALS SHALL BE FREE OF WEEDS, INSECTS AND DISEASE.

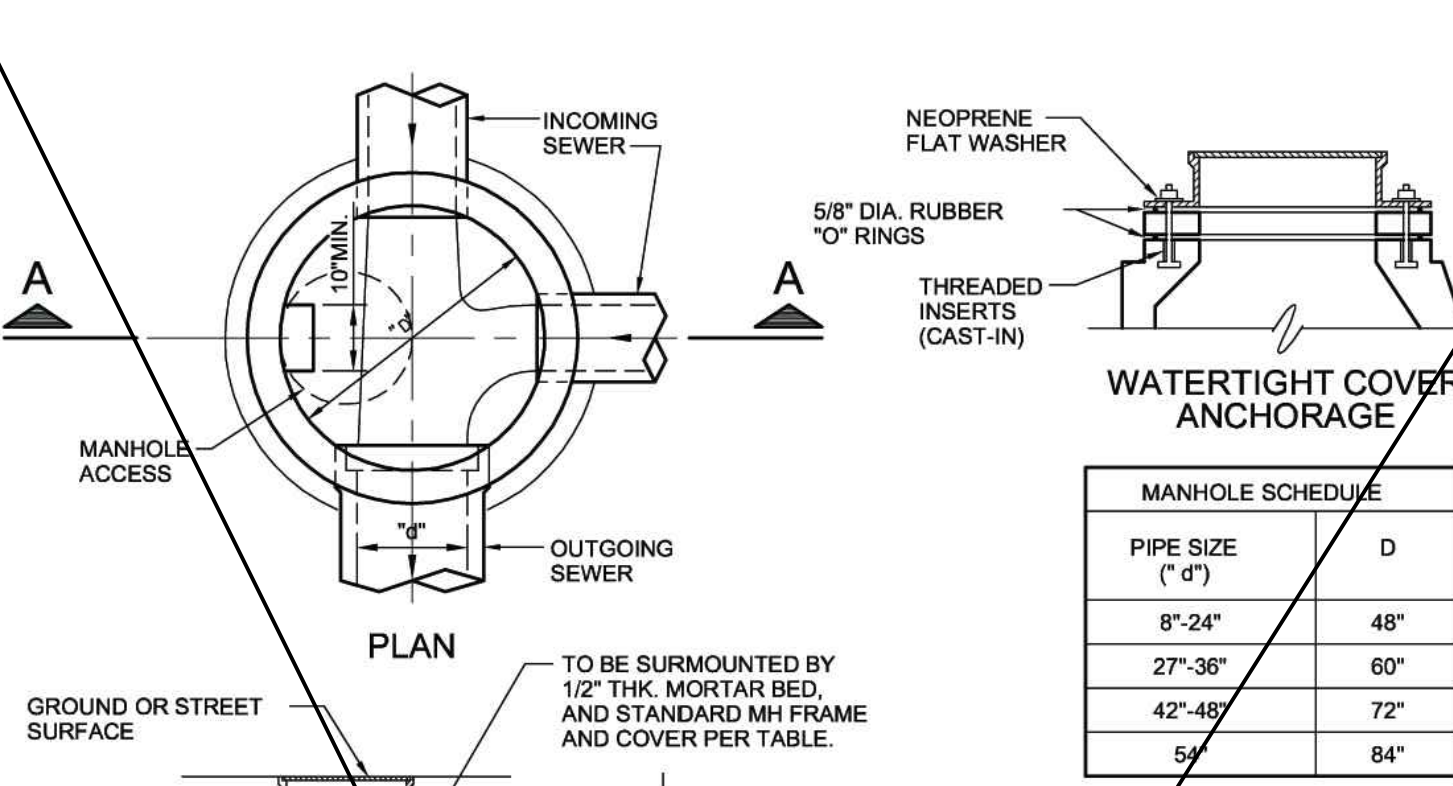
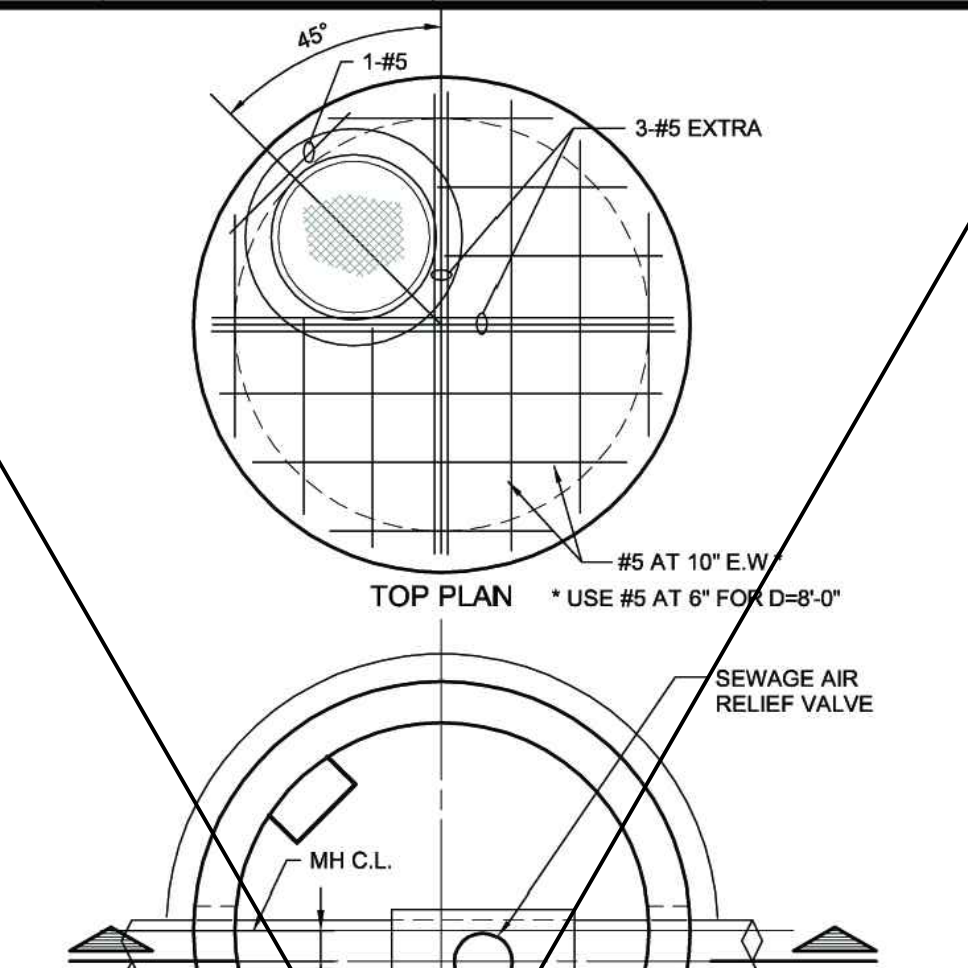
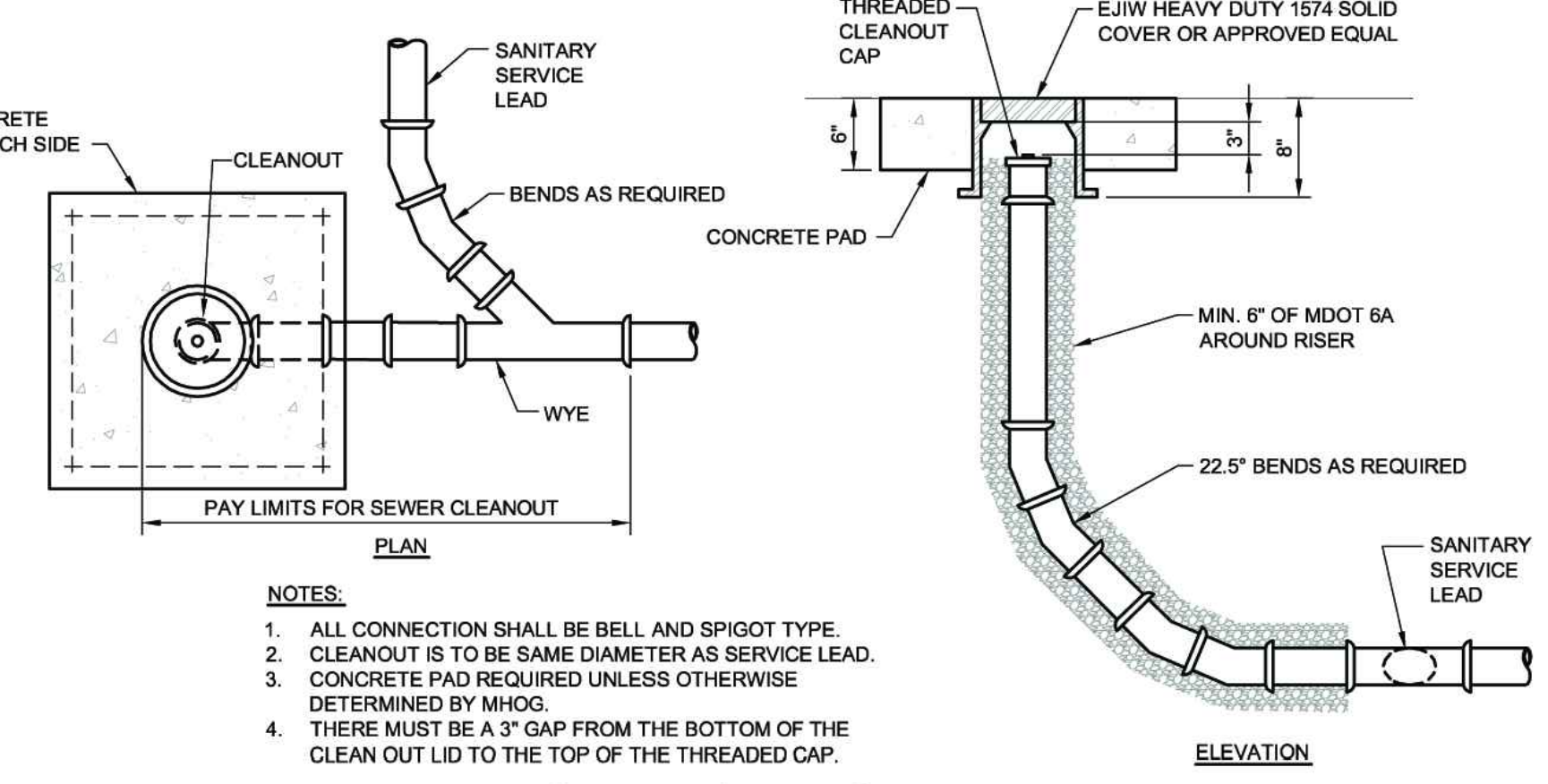
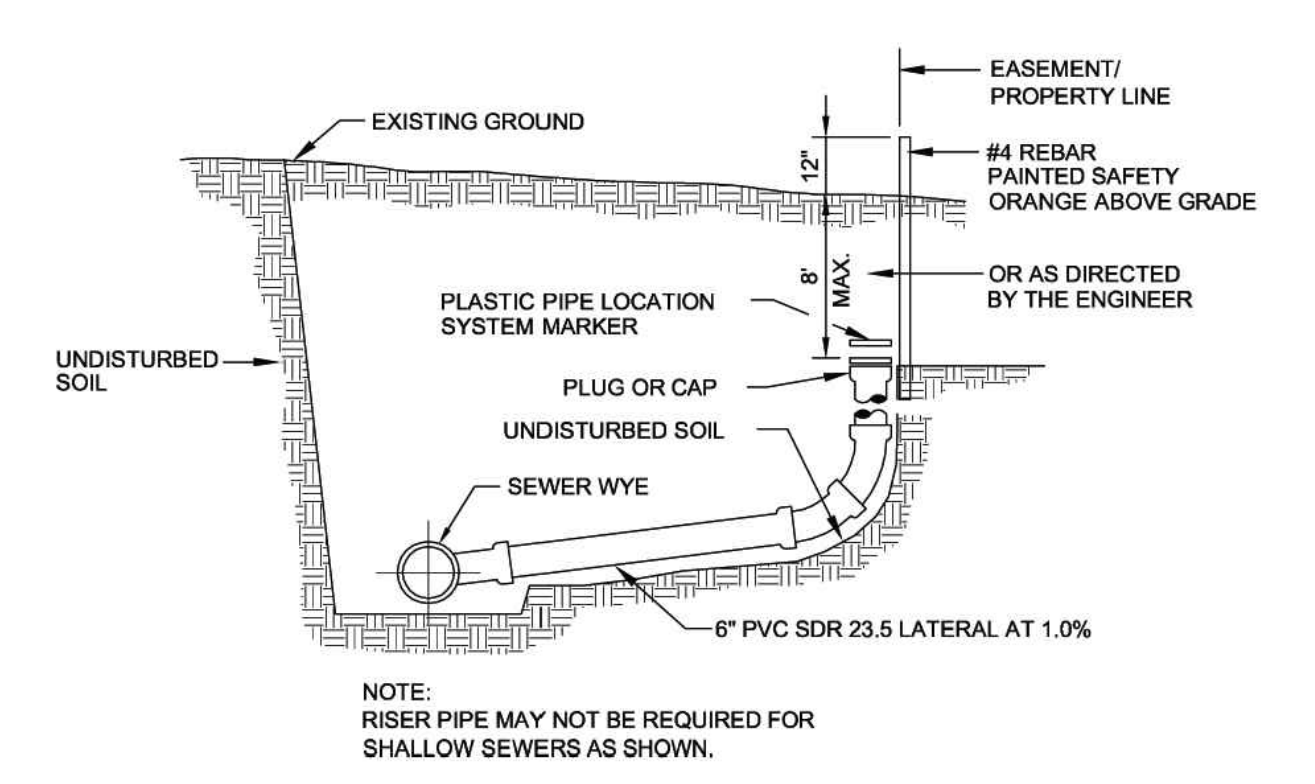
Product page for D-Series Size 2 LED Area Luminaire by Lithonia Lighting. Includes technical specifications, ordering information table, and installation notes.



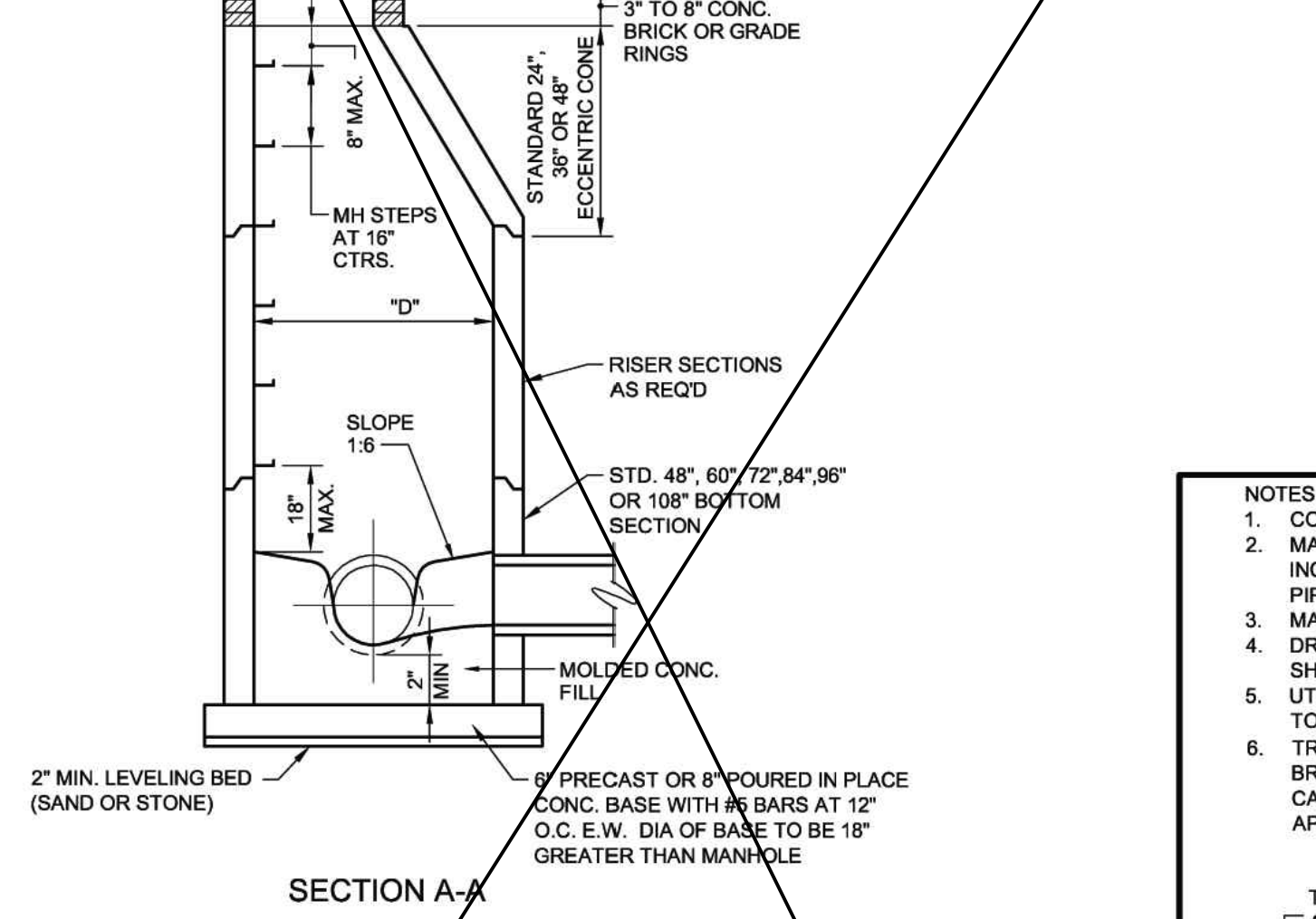
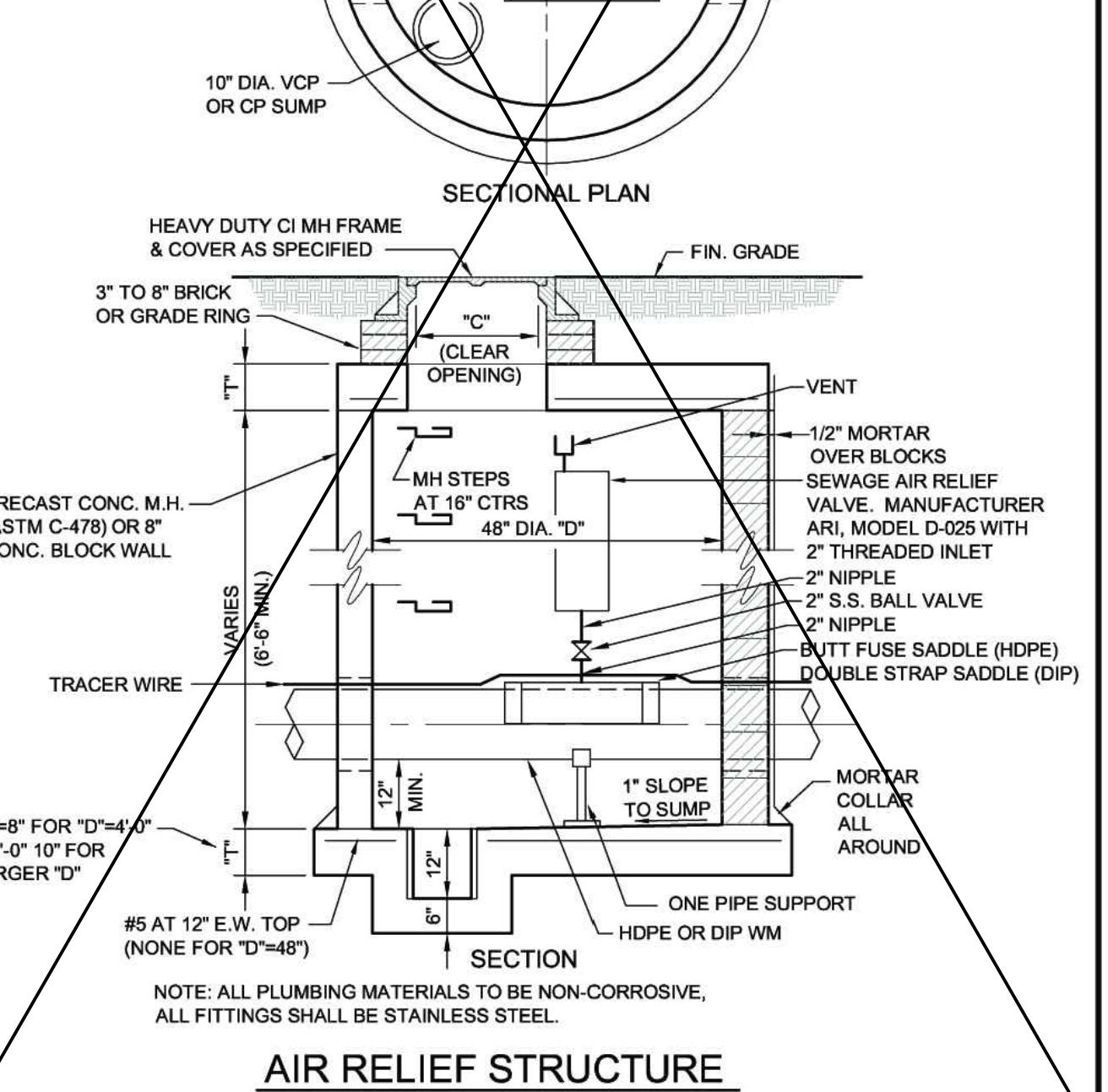
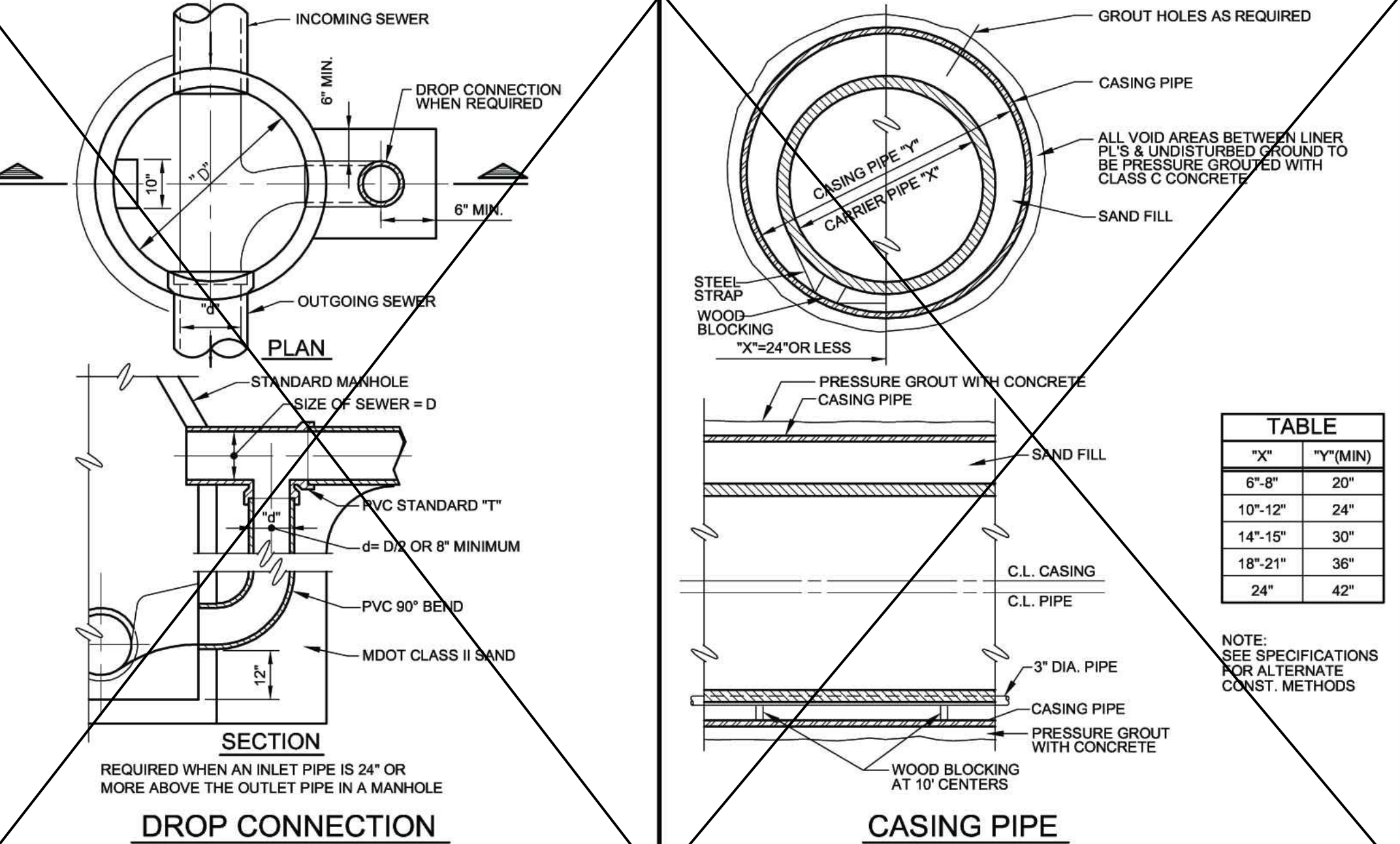
BOSS ENGINEERING logo and contact information: 3171 E GRAND RIVER AVE, HOWELL, MI 48843, (517) 548-1670.

PROJECT: LIPKIN MEDICAL OFFICE BUILDING, PREPARED FOR: DR. LIPKIN, 3172 INTERLAKEN STREET, WEST BLOOMFIELD, MI 48323. CONSTRUCTION NOTES & DETAILS table with revision history and project information.

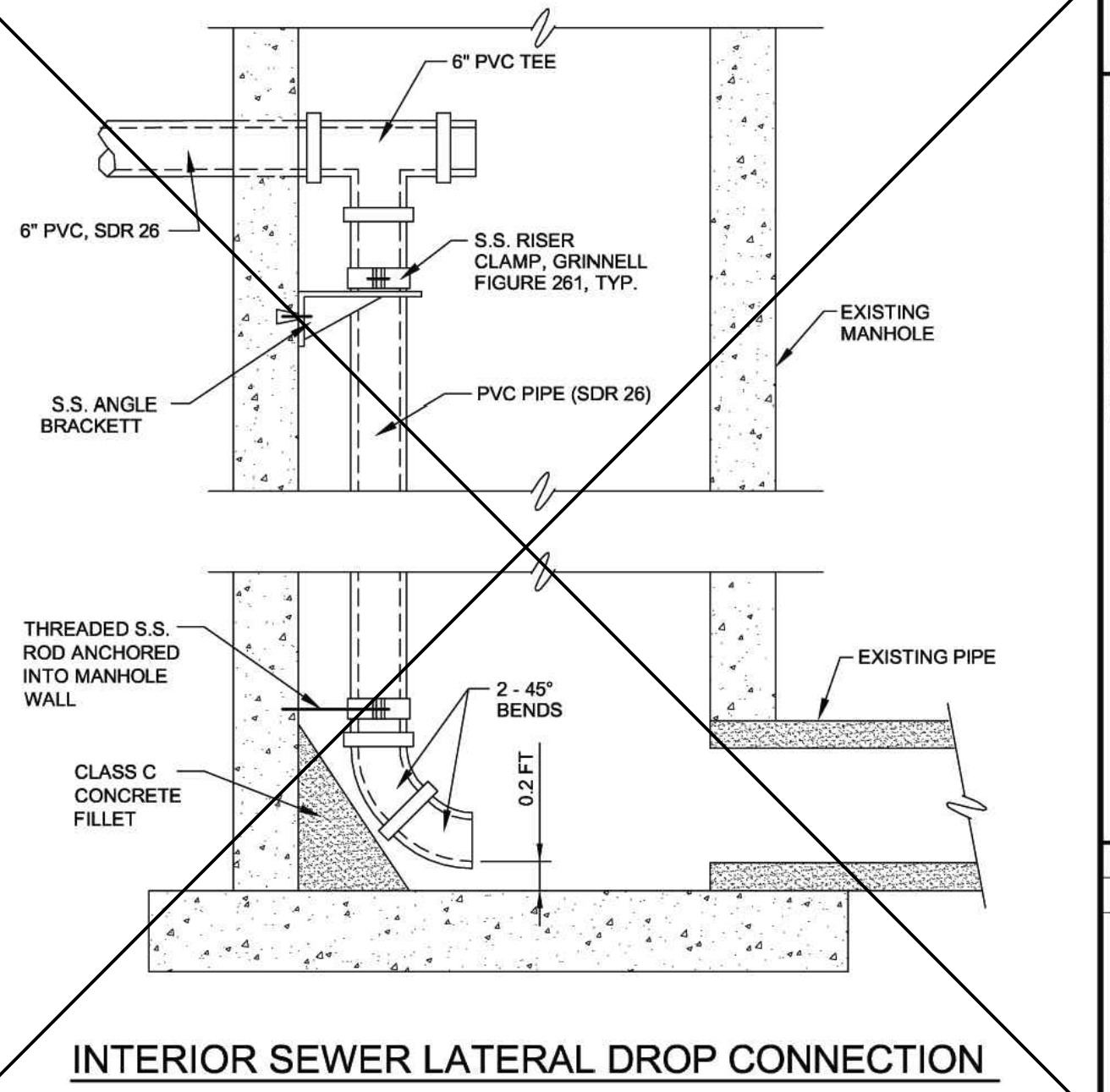
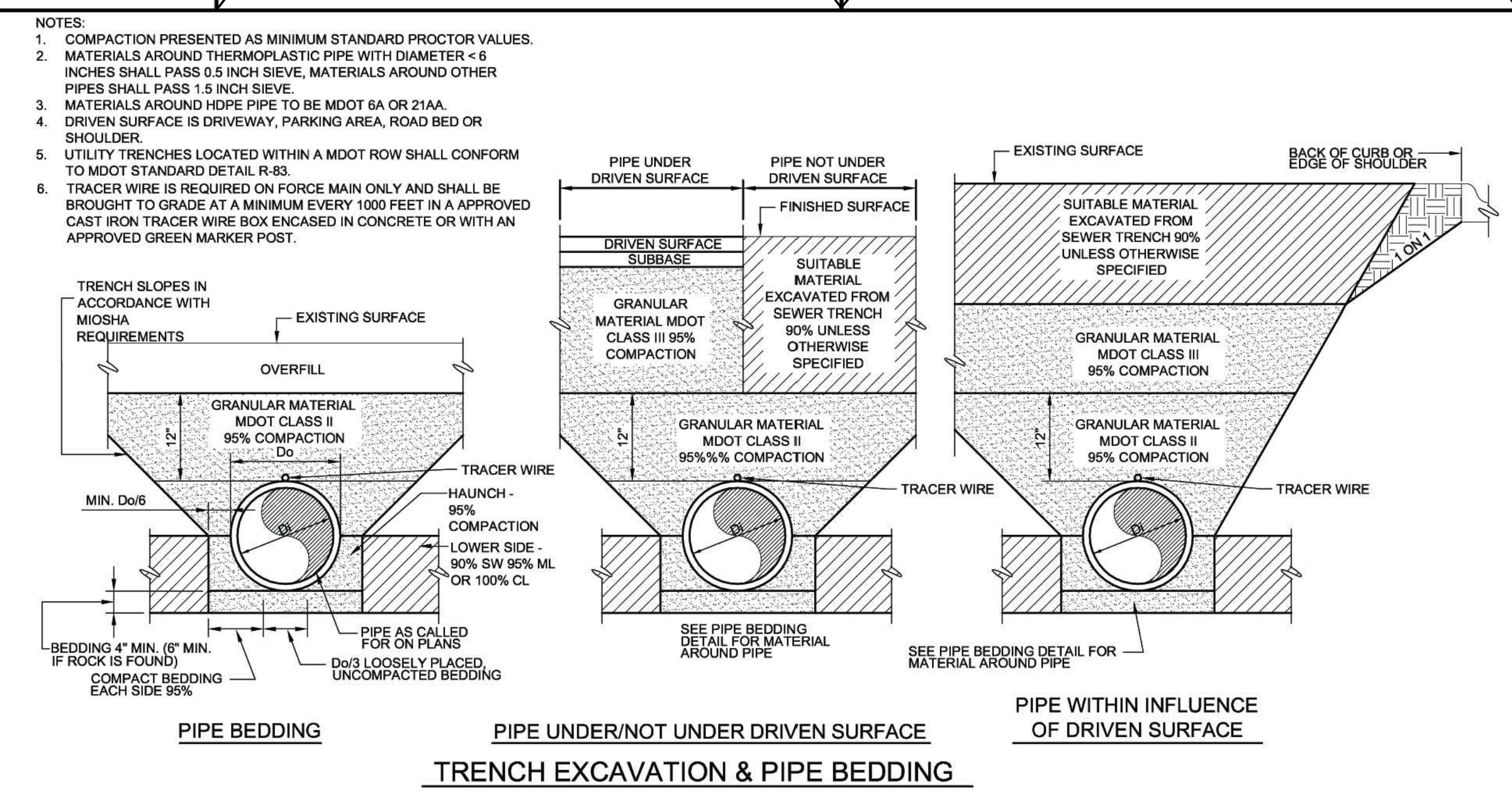
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16



MANHOLE SCHEDULE	
PIPE SIZE ("d")	D
8"-24"	48"
27"-36"	60"
42"-48"	72"
54"	84"



FRAME & COVER FOR SANITARY SEWER MANHOLES			
		MANUFACTURER OR EQUAL	
TYPE	TYPE OF COVER	EAST JORDAN	NEENAH
MH	SANITARY - SOLID SELF-SEALING	1040.0000	R-1642
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F
CO	SOLID	1574A	R-1973-A



GENOA OCEOLA  
Sewer and Water Authority

**SANITARY SEWER STANDARD DETAILS**

Scale: NONE  
Issued Date: JANUARY - 2014

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS, FIELD SURVEY, AND/OR AS SHOWN ON THE GROUND. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND SURVEYS TO DETERMINE THE EXISTING UTILITIES AND HAS MADE A REASONABLE ATTEMPT TO LOCATE AND IDENTIFY ALL UTILITIES. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLAN.

REGISTERED PROFESSIONAL ENGINEER  
BOSS ENGINEERS  
1-800-482-7171  
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3172 E. GRAND RIVER AVE.  
HOWELL, MI 48843  
(800) 246-6735 (MI) 517-548-1670

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PREPARED FOR: **DR. LIPKIN**  
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WEST BLOOMFIELD, MI 48323

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DATE 4-30-14  
SHEET NO.

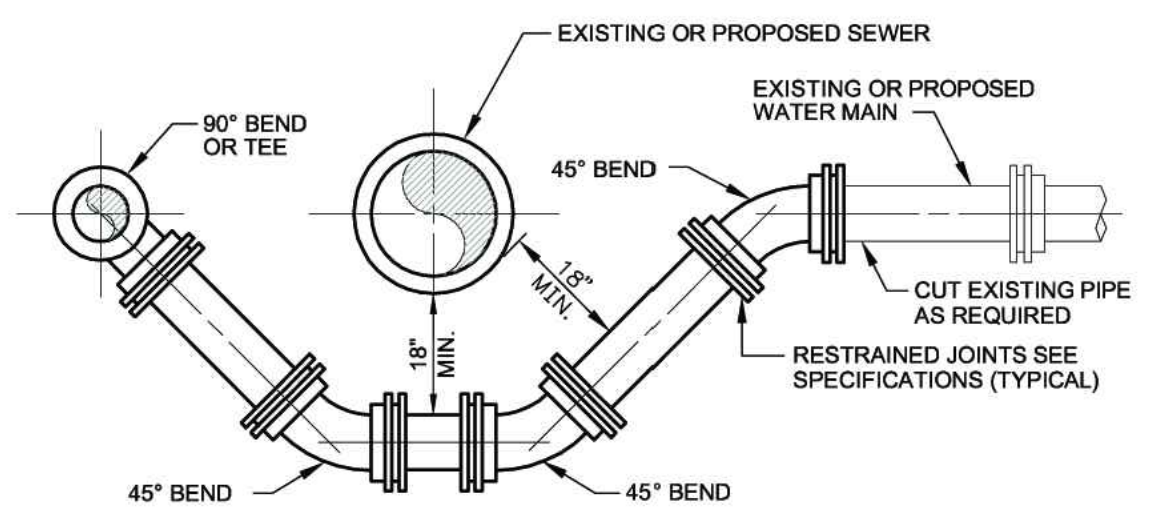
**C12**

**PIPE RESTRAINT SCHEDULE**

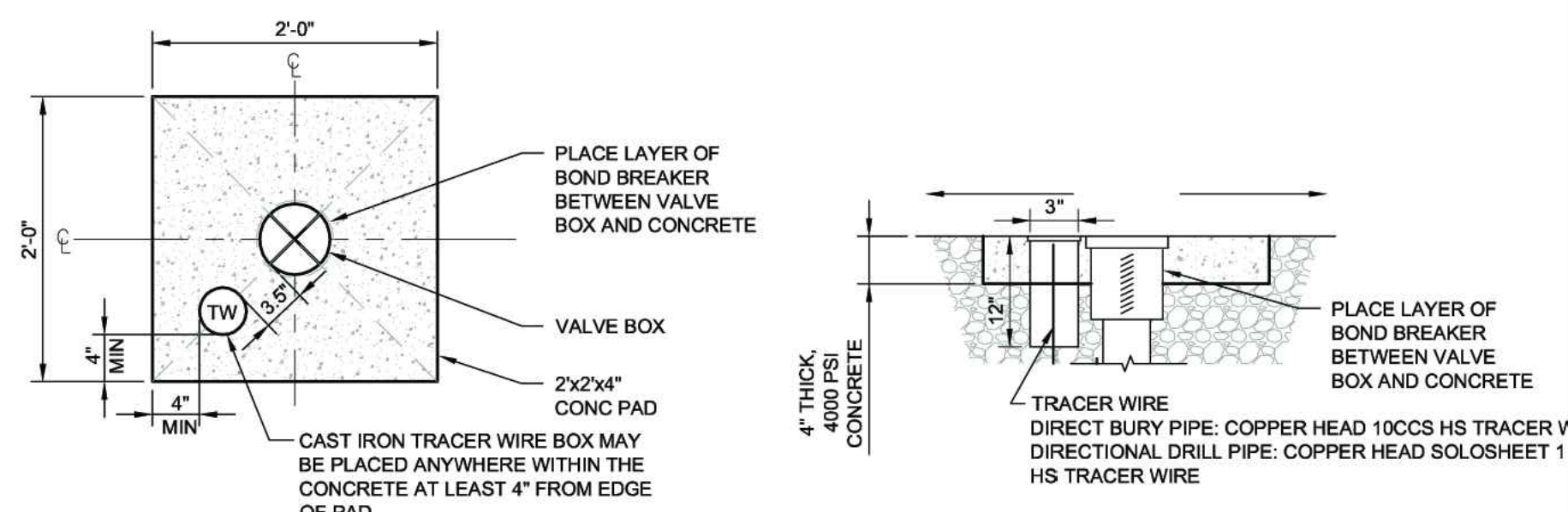
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	--	--
6	19	8	4	2	58	31	--
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	65	168
36	84	35	17	8	281	84	168

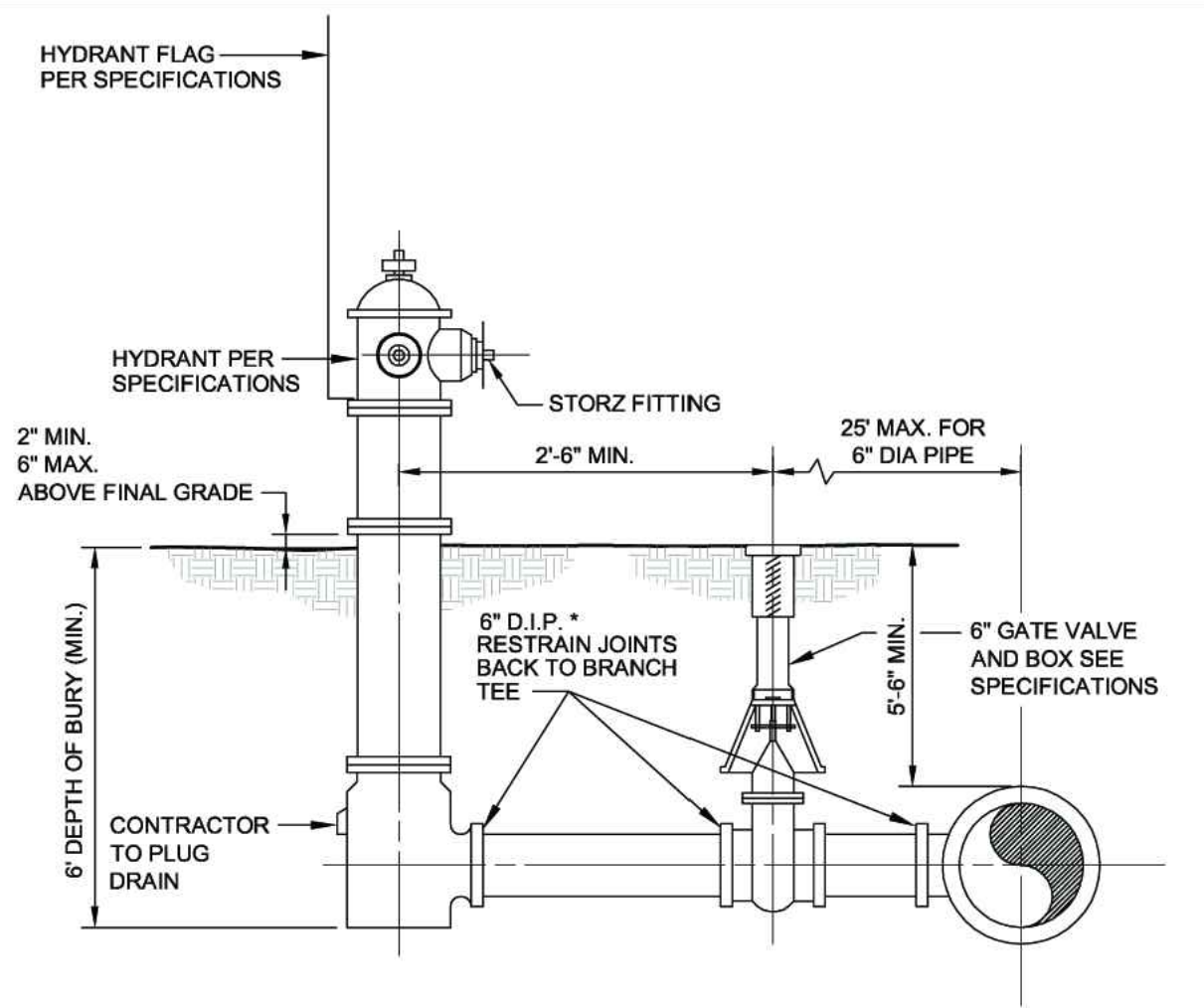
- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
  - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
  - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
  - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
  - IF TIE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- \* SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON:
- |                    |           |
|--------------------|-----------|
| INTERNAL PRESSURE: | 180       |
| PIPE DEPTH:        | 5         |
| BEDDING CLASS:     | TYPE 4    |
| SOIL TYPE:         | GOOD SAND |
| SAFETY FACTOR:     | 2         |



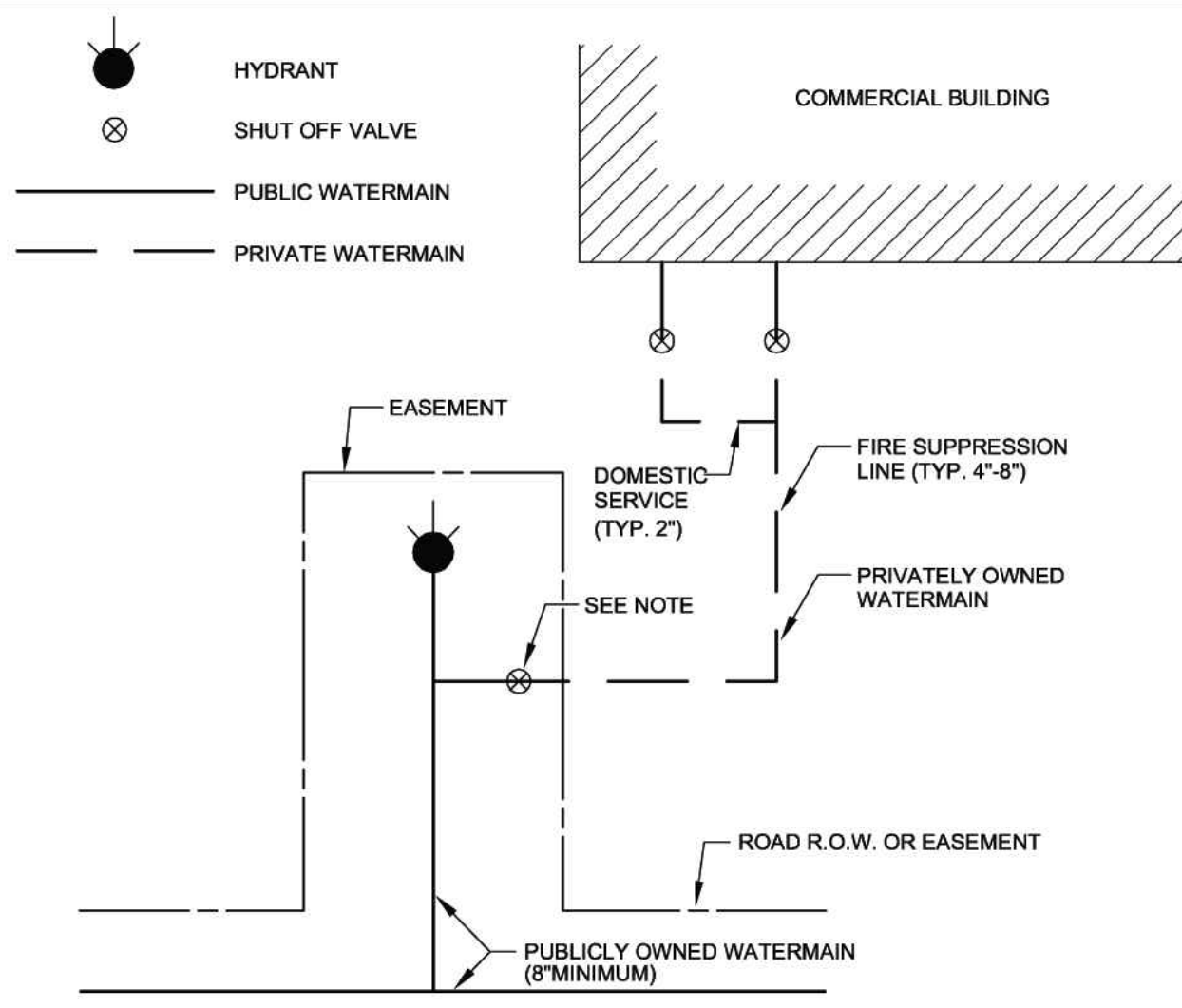
**WATER MAIN UTILITY OFFSET**



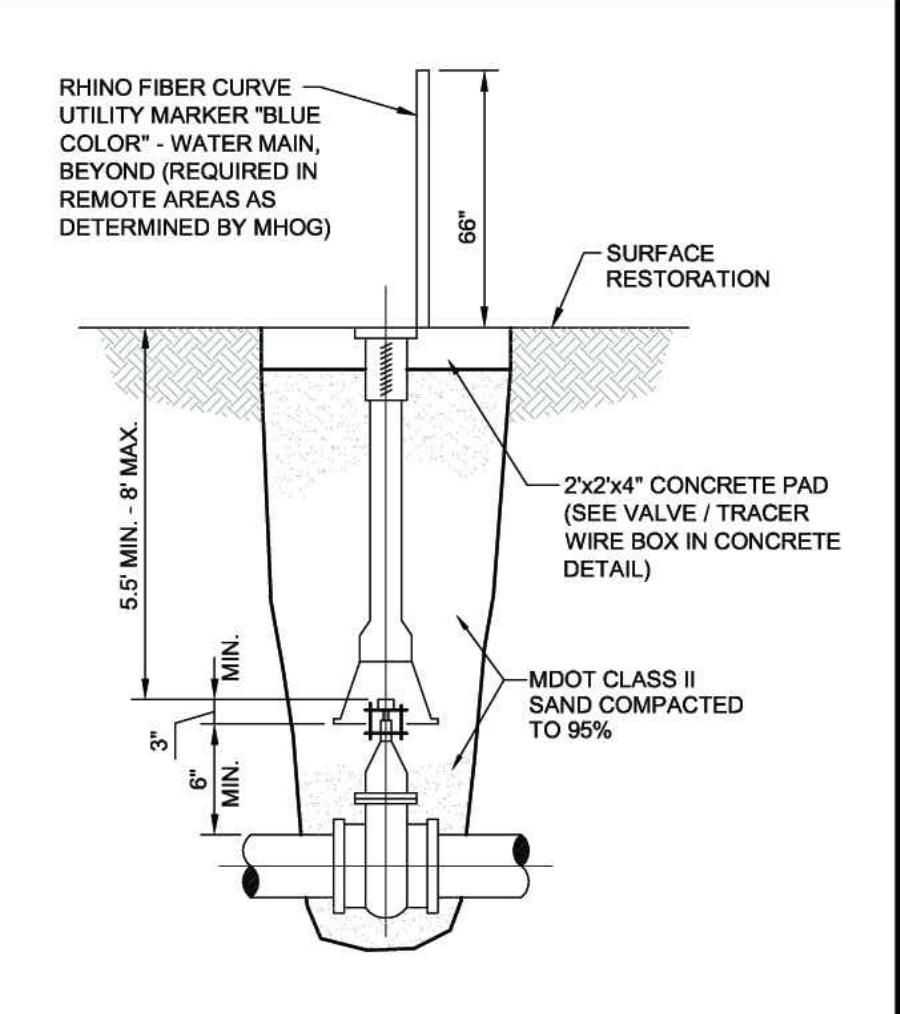
**PLAN SECTION**  
**VALVE/TRACER WIRE BOX IN CONCRETE DETAIL**  
NO SCALE



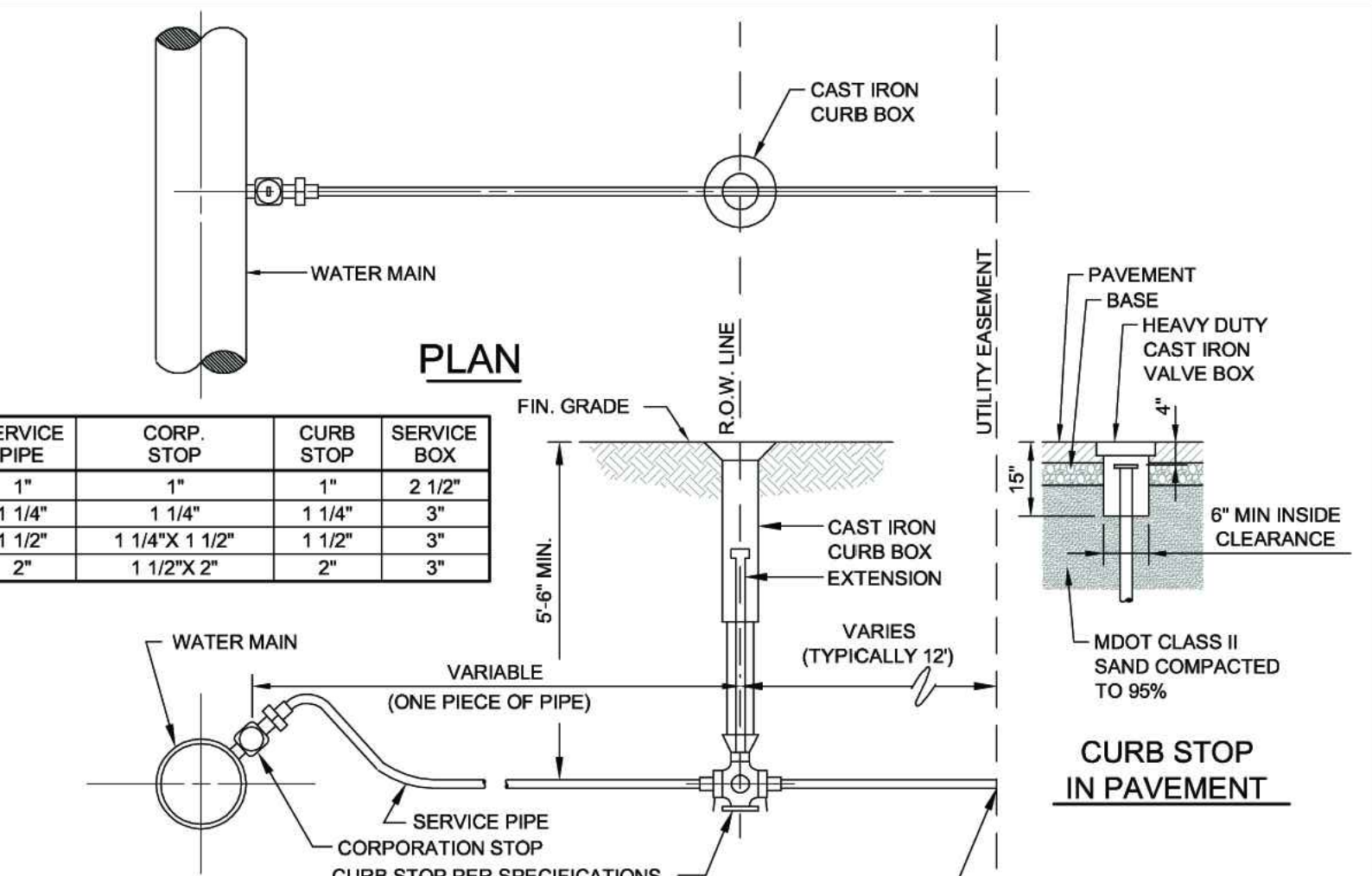
**FIRE HYDRANT ASSEMBLY**



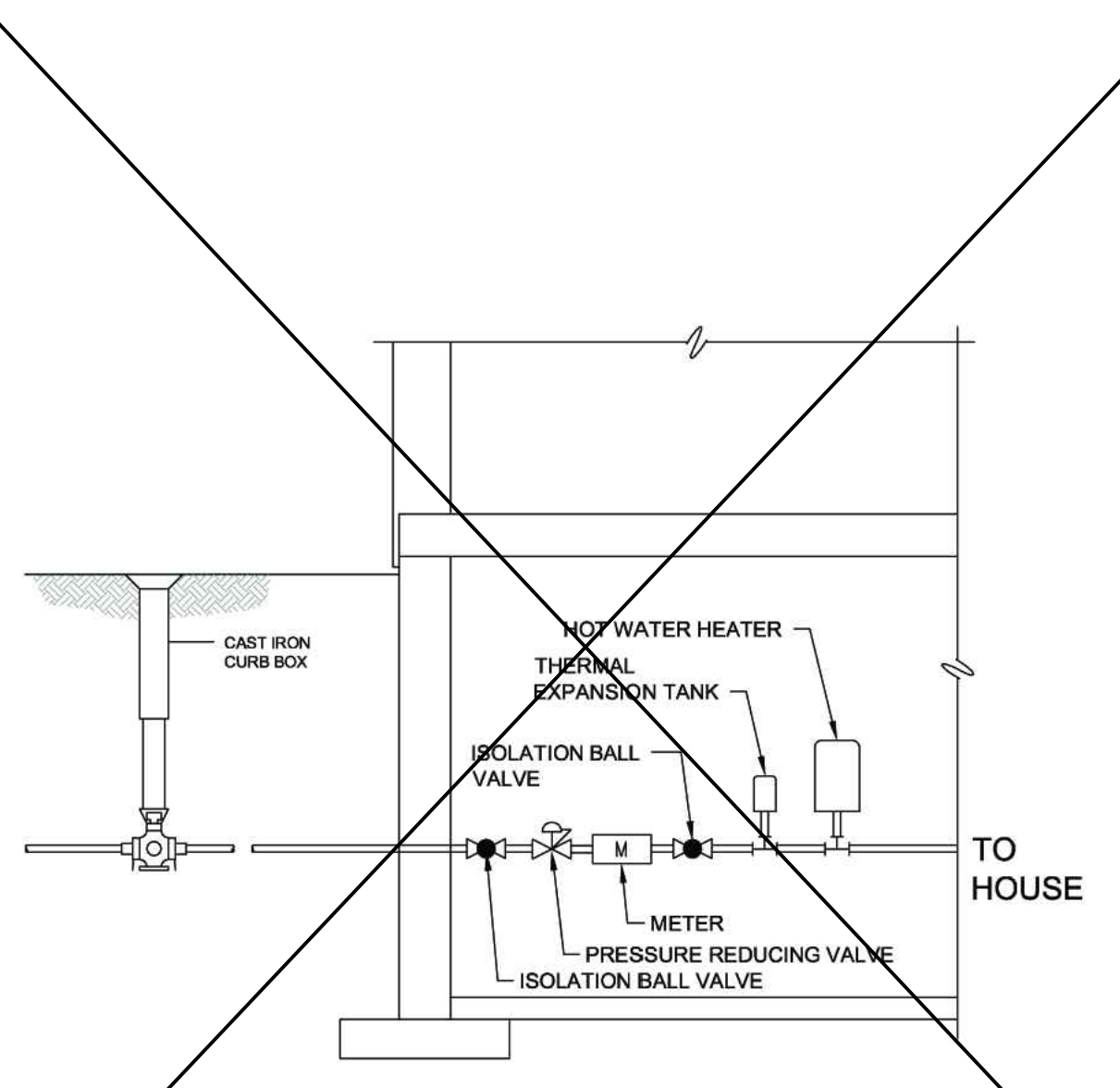
**COMMERCIAL BUILDING WATER SERVICE LAYOUT**



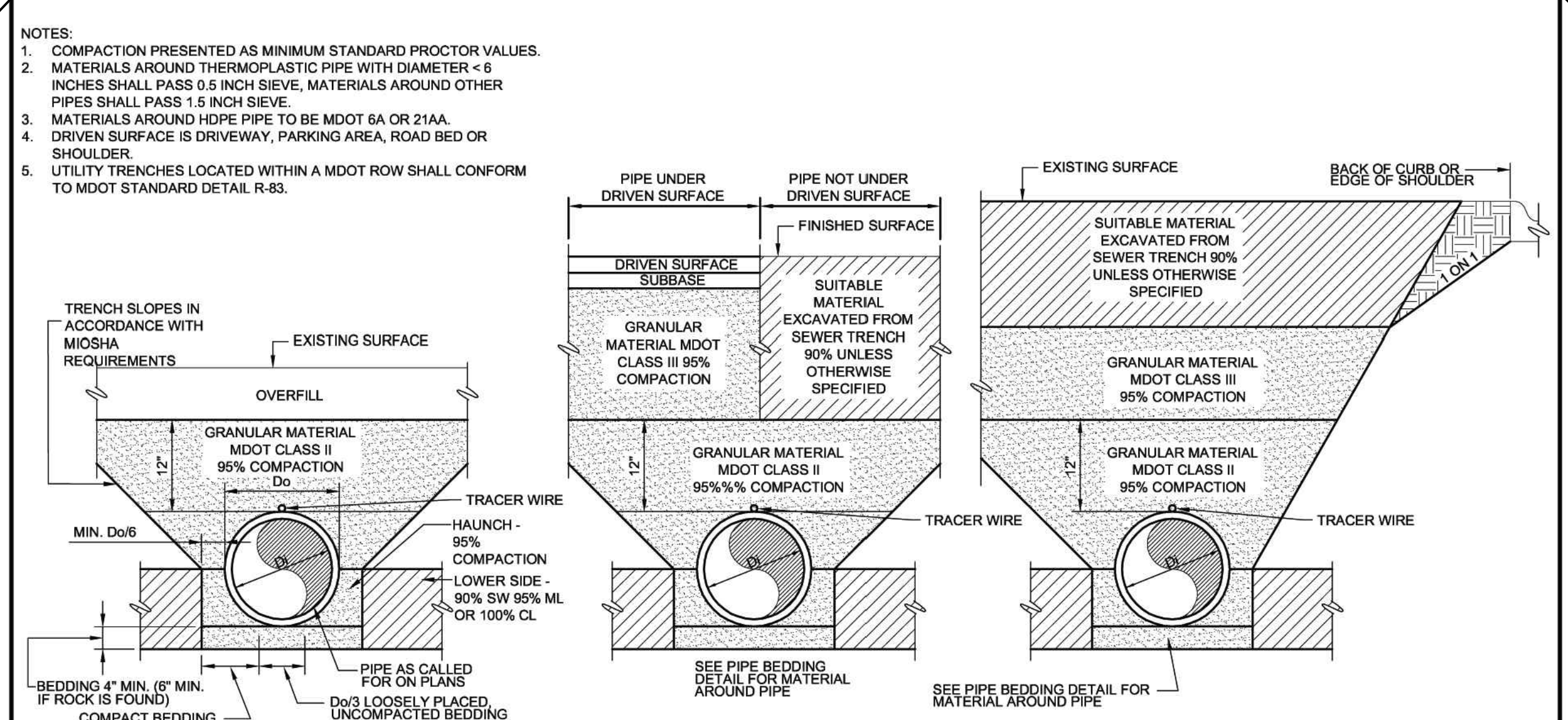
**GATE VALVE AND BOX**



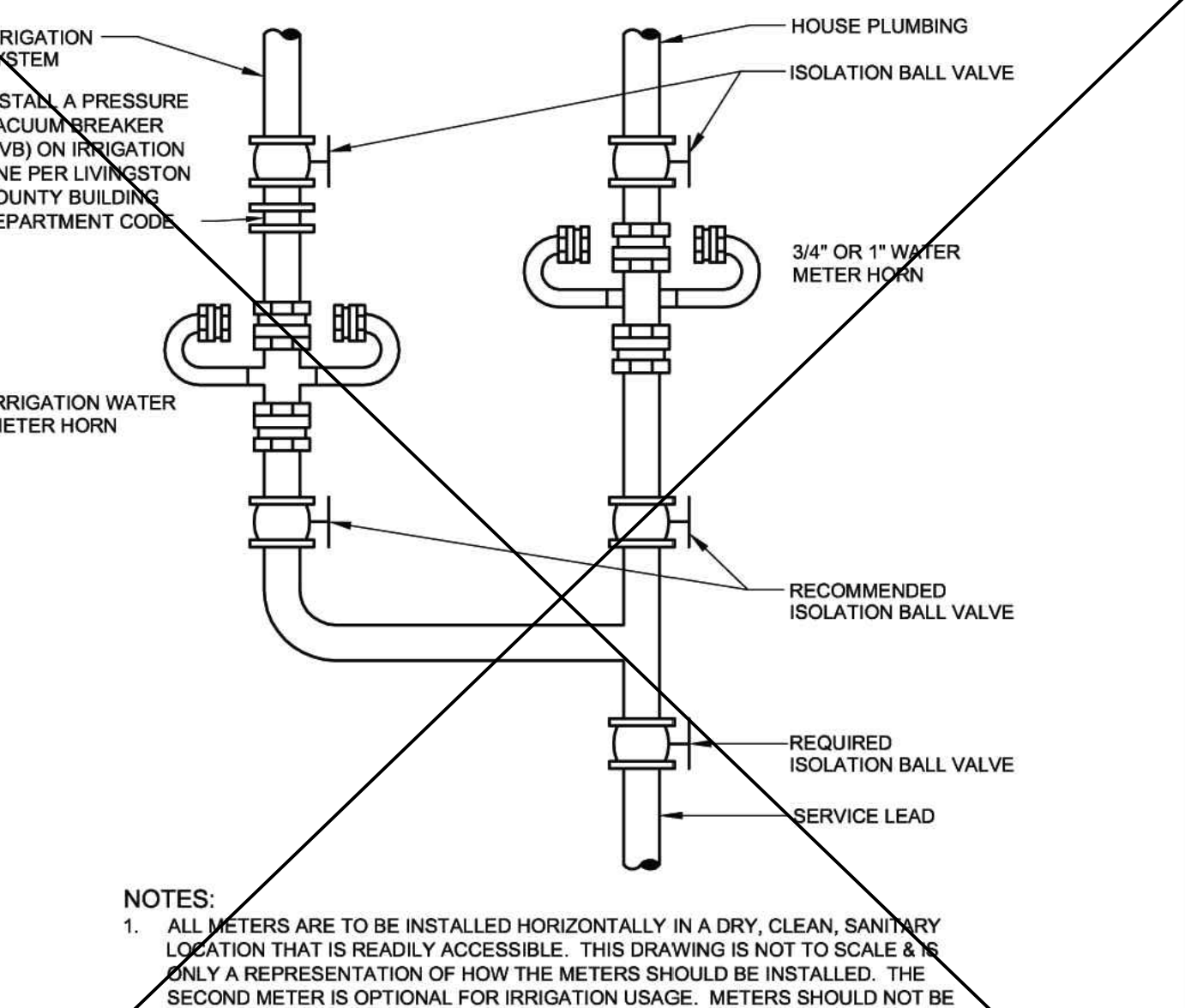
**SECTION**  
**WATER SERVICE LATERAL**



**PRIVATE RESIDENCE PRESSURE REDUCING VALVE (PRV)**



**PIPE BEDDING TRENCH EXCAVATION & PIPE BEDDING**



**TYPICAL METER HORN INSTALLATION**



**MARION HOWELL OCEOLA GENOA**  
Sewer and Water Authority

Scale: NONE  
Issued Date: JANUARY - 2014

PROJECT:	<b>LIPKIN MEDICAL OFFICE BUILDING</b>
DESIGNED BY:	<b>DR. LIPKIN</b>
DRAWN BY:	TD
CHECKED BY:	
SCALE:	1" = 30'
JOB NO.:	13-293
DATE:	4-30-14
SHEET NO.:	<b>C13</b>

**WATER MAIN STANDARD DETAILS**

PRIOR TO CURB BOX INSTALLATION, CONTACT GENOA TOWNSHIP DPW FOR CURB BOX INSTALLATION REQUIREMENTS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND ELEVATION OF EXISTING UTILITIES DETERMINED BY THE CONTRACTOR SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY UTILITIES ARE FOUND AT A LOCATION OR DEPTH DIFFERENT FROM THE RECORD DRAWINGS.

**BOSS ENGINEERS**  
 ENGINEERS • SURVEYORS • PLANNERS  
 LANDSCAPE ARCHITECTS  
 3171 E. GRAND RIVER AVE.  
 HOWELL, MI 48843  
 (800) 246-6735 FAX (517) 548-1670





October 25, 2016

Genoa Charter Township Board of Trustees  
2911 Dorr Road  
Brighton, MI 48116

RE: Appeal of Grand Oaks Paving Assessment

Dear Genoa Charter Township Board Members:

Cleary University is requesting that the Genoa Charter Township Board consider a reduction in the Grand Oaks Drive Repaving assessment levied on Cleary University.

Although the primary vehicle access point to campus is from Grand River, it appears that two entrances to the property was not considered in the assessment formula. The majority of vehicle traffic enters and leaves campus via the Grand River entrance but the assessment was applied in the same manner as the properties with access only from Grand Oaks Dr.

During the time Cleary was going through the PUD application process, an inquiry was made about combining parcels into a single tax ID. The response was that there was no real need to do that. It was not an official inquiry or an official response but obviously Cleary should have requested to combine 6 parcels into a single parcel during the PUD application process. This would have decreased the paving assessment by \$33,000, the difference between being assessed on 4 parcels or being assessed on 1 parcel.

At the time that the Johnson Center was constructed, the land for that project included two tax parcels and we were required to combine them into one parcel to build the Johnson Center. But, when Cleary purchased the building at 955 Grand Oaks, the purchase required the acquisition of two parcels because the detention pond for the building and parking lot was built on the second parcel. But the original owner of that building was not required to combine parcels at the time of construction.

800.686.1883 [CLEARY.EDU](http://CLEARY.EDU)

LIVINGSTON CAMPUS 3750 Cleary Drive Howell, MI 48843  
WASHTENAW OFFICE 2793 Plymouth Road Ann Arbor, MI 48105

Cleary University is not opposed to being assessed the per acre amount for all acres included in the PUD. It believes it should be assessed for one parcel, not 4. One parcel would include all the acreage included in the 6 parcels that were a part of the PUD application.

Cleary University also believes that some consideration should be made for the fact that the Grand Oaks access point to all the acreage is a secondary access point and the benefit is not equal to all the properties with access only from Grand Oaks Drive.

Sincerely,

A handwritten signature in black ink, appearing to read "Jayson Boyers", with a long horizontal flourish extending to the right.

Jayson Boyers  
President and CEO  
Cleary University