

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION PUBLIC HEARING  
TUESDAY, OCTOBER 11, 2016  
6:30 P.M.  
AGENDA**

**CALL TO ORDER:**

**PLEDGE OF ALLEGIANCE:**

**APPROVAL OF AGENDA:**

**CALL TO THE PUBLIC:** *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

**OPEN PUBLIC HEARING #1...**Review of environmental impact assessment and site plan for a proposed multi-tenant commercial center to include a 2,117 sq. ft restaurant with drive-thru, a 2,819 sq. ft. restaurant space with an attached 1,501 hair salon located at the northwest corner of the Grand Oaks Drive and Latson Road. The request is petitioned by USA 2 GO.

Planning Commission disposition of petition:

- A. Recommendation of Impact Assessment (9-21-16)
- B. Recommendation of Site Plan (9-21-16)

**ADMINISTRATIVE BUSINESS:**

- *Staff Report*
- *Approval of September 12, 2016 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

**GENOA TOWNSHIP**

**AUG 25 2016**

**RECEIVED**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

APPLICANT NAME & ADDRESS: USA 2 GO, 28265 Beck Road, Suite C-2, wixon, MI 48393  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: RG Properties, 10050 Innovation Dr., Suite 100, Dayton, OH 45342

SITE ADDRESS: Intersection of Latson Rd. and Grand Oaks Dr. PARCEL #(s): 11-08-200-017

APPLICANT PHONE: ( 248 ) 773-7992 OWNER PHONE: ( 937 ) 434-7218

OWNER EMAIL: tgunlock@rgproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: The site is located at the northwest corner of S. Latson Road and Grand Oaks Drive. The property has 380 feet of frontage on Latson Road. The zoning is currently undeveloped, non-residential planned unit development (NRPUD). The total site is approximately 1.43 acres.

BRIEF STATEMENT OF PROPOSED USE: The proposed use for the property is to build a drive-thru coffee shop in the northern building and a second commercial building, with required parking.

THE FOLLOWING BUILDINGS ARE PROPOSED: The northern building is a proposed coffee shop with drive-thru service. The building will be approximately 2,117 s.f. in total area. The second building will be approximately 4,320 s.f. containing two units.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: Thom Dumond w/Boss Engineering


ADDRESS: 3121 E. Grand River Ave., Howell, MI 48843

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) Thom Dumond of Boss Engineering at thom@bosseng.com  
Name Business Affiliation E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 8-22-16  
PRINT NAME: Thom Dumond PHONE: 517-861-9387  
ADDRESS: 3121 E. Grand River Ave., Howell, MI 48843



## RG Properties

**GENOA TOWNSHIP**

**AUG 26 2016**

**RECEIVED**

August 25, 2016

Genoa Township Planning Commission  
Genoa Township Hall  
2911 Dorr Road  
Brighton, MI 48116

RE: Lot A, Livingston Commons PUD, Genoa Township, Livingston County, Michigan

Dear Commission Members,

As owners of the above referenced property, RG Properties hereby authorizes USA 2 GO and its representatives to proceed through Genoa Township and other required governmental agencies having jurisdiction, with the design development and construction of a commercial center on the aforementioned property.

Regards,

Thomas W. Gunlock  
Sr. Property Manager



October 4, 2016

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
<b>Subject:</b>	Genoa Plaza – Site Plan Review #2
<b>Location:</b>	Grand Oaks Drive – vacant parcel at the northwest corner of Grand Oaks and Latson Road
<b>Zoning:</b>	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan (dated 9/21/16) proposing a new multi-tenant commercial center for the vacant 2.31-acre site at the northwest corner of Grand Oaks and Latson Road.

The site, which is immediately east of Lowe’s, is part of the Livingston Commons PUD and is zoned NR-PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance, as well as the PUD Agreement for the subject site.

**A. Summary**

1. The applicable standards for drive-through restaurants are met, although the last stacking space may temporarily block access to some of the parking spaces.
2. Two of the wall faces (south side of north building and north side of south building) slightly exceed the allowable percentage of cement board siding.
3. In our opinion, the PUD Agreement does not allow both the proposed and existing curb cuts along Grand Oaks. This item warrants additional discussion at the upcoming meeting.
4. There are two minor discrepancies on the landscape plan that need to be corrected.
5. Permits will be required prior to installation of any tenant signage.
6. The applicant should be aware that this PUD requires the use of channel lettering for wall signs.
7. The lot area noted on the site plan is different than that referenced in the Impact Assessment.
8. The easement area for the Township entranceway signage needs to be 7’ x 25’.
9. The entranceway signage easement should also be recorded and dedicated to the Township.

**B. Proposal/Process**

The applicant requests site plan review and approval of a multi-tenant commercial center, which includes two buildings – one drive-through restaurant containing 2,117 square feet of floor area and a two tenant building (restaurant and hair salon) containing 4,320 square feet of floor area.

Based on the PUD Agreement, the uses are all permitted by right, although the drive through restaurant must comply with the use conditions outlined in Paragraph C below.

Procedurally, the Planning Commission is to make a recommendation to the Township Board on both the final PUD site plan and Environmental Impact Assessment.



*Aerial view of site and surroundings (looking north)*

**C. Use Conditions (Drive through Restaurant)**

Section 7.02.02(j) provides the following use conditions for drive-through restaurants:

- 1. Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.**

The revised plan has shifted the building containing the drive-through restaurant to provide a 50-foot minimum setback. This standard is met.

- 2. The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.**

The PUD Agreement specifically waives this standard.

- 3. Only one (1) access shall be provided onto any street.**

There is a one-way entrance to the site from Grand Oaks and a connection to an internal service drive from Latson Road; however, there is no direct access to/from Latson. This standard is met.

- 4. Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.**

As noted above, the site has a connection to an internal drive that provides access throughout the development. This standard is met.

**D. Site Plan Review**

- 1. Dimensional Requirements.** As described in the table below, the project complies with the dimensional standards for this PUD:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
NR-PUD	1	120	10	5	10	10 front 5 side/rear	75' / 5 stories	50% building 90% impervious
Proposal	2.31	874	59.5 (Latson) 78.9 (Grand Oaks)	115 (N)	31.67	10 front 10 side/rear	21.7' / 1 story	6.2% building 46% impervious

- 2. Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

Primary materials include brick and cement board siding, with decorative awnings, brick soldier course and a stone block base as accents. The flat roof buildings include parapets to help screen mechanical equipment. A note has also been added stating that all rooftop units will be fully screened by the parapet walls.

The PUD agreement requires that out parcel buildings provide at least 80% natural materials for all wall surfaces. In response, the applicant has added material calculations to the elevation drawings demonstrating that all but two wall faces meet this standard.

More specifically, the south side of the north building (22%) and north side of the south building (23%) provide slightly too much cement board siding.

- 3. Parking.** Based on the specific uses proposed, the development requires a total of 58 spaces, while 62 are provided. This includes the 3 required barrier free spaces. Typical parking details also show the use of looped (double striped) spaces, as required.

Additionally, Section 14.04 requires 10 stacking spaces, 3 short-term waiting spaces and 2 RV/semi-truck spaces. The revised plan provides 10 stacking spaces and 3 parking spaces just past the drive through window that may act as waiting spaces, although the 10<sup>th</sup> stacking space may temporality block some of the parking spaces.

Given the full scope of the Livingston Commons development, the Township has previously allowed the use of other areas within the PUD for the RV/semi-truck parking.

- 4. Pedestrian Circulation.** There is an existing concrete sidewalk in the Latson right-of-way. The plan proposes a connection to this sidewalk, as well as a separate sidewalk along the site's Grand Oaks frontage. Internal connections, crosswalk striping and ramps at driveways are also provided.
- 5. Vehicular Circulation.** Primary vehicular access is via the east/west drive connecting Lowe's to Latson Road. There is also a one-way entrance off of Grand Oaks.

The plan proposes a combination of one-way and two-way drives with sufficient aisle width for each type.

Lastly, paragraph 3.2(M) of the PUD Agreement allows for a right in/right out drive on Grand Oaks; however, this also restricts the Lowe's parcel from having direct access to Grand Oaks. Based on our read of the Agreement, the existing Lowe's curb cut along Grand Oaks would need to be removed in order to accommodate the new one.

Given the applicant's response to this matter in the revised submittal, it seems there is a difference of interpretation. In our opinion, this matter warrants additional discussion at the upcoming meeting.

6. **Loading.** Loading zones are shown on the west side of the single tenant building. Given the proposed design, deliveries will need to occur during off-peak times, as the zones will block traffic in the drive-through and/or bypass lanes. The applicant has indicated that deliveries will be scheduled for off-peak time so as to minimize the disruption.
7. **Landscaping.** We have reviewed the landscape plan based on the conventional standards of Section 12.02 with adjustments made in terms of the PUD Agreement.

Location	Requirements	Proposed	Comments
Front yard greenbelts	Extensive landscaping 10' width	13 trees 2.5' hedgerow 10' width	Requirements met
Parking lot	19 trees	21 trees	Requirement met

Additionally, the project includes outdoor tables/chairs, benches and bike rack in accordance with the PUD Agreement requirement for "pedestrian gathering and seating plazas."

Lastly, there are two minor discrepancies between the landscape plan and table of plantings that need to be corrected for the number of Littleleaf Linden (9 versus 7) and Mount Airy Fothergilla (42 versus 38).

8. **Waste Receptacle and Enclosure.** The project includes a new waste receptacle and enclosure adjacent to the south side of the sit-down restaurant building. Details include the required concrete base pad and enclosure matching the materials used on the building. Placement and design details also comply with Ordinance requirements.
9. **Exterior Lighting.** Sheet C7 includes a detailed lighting plan proposing the use of 8 parking lot light poles, 12 wall-mounted fixtures and 8 ornamental street lights. Except for the ornamental fixtures, details show the use of downward directed LED fixtures and the photometric readings are well within that allowed by Ordinance.
10. **Signs.** The submittal includes a detail for a new monument sign (Sheet C3). The location, size, height and design of the monument sign are compliant.

At such time as tenants are known, the applicant must apply for a sign permit for the monument sign panels and wall signage. Additionally, the applicant should be aware that this PUD requires the use of channel or individual lettering and not panels for wall signage.

11. **Impact Assessment.** The submittal includes a revised Impact Assessment (dated 9/21/16). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

The applicant has confirmed the lot area as 1.43 acres, which is consistent with the Impact Assessment. However, Sheet C3 refers to it as a 2.31-acre site.



**12. Township Entranceway.** Section 6.4B of the PUD Agreement requires a Township entranceway landmark with a depiction included as Exhibit D.

As noted in our first review letter, this feature was envisioned closer to the expressway ramp; however, we believe the southeast corner of the site could be an appropriate location with better visibility.

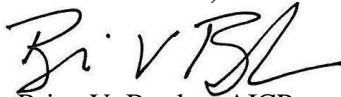
In response to our suggestions, the revised plans provide an area for the entranceway signage along with additional ornamental landscaping to enhance this site as a gateway to the Township. The plan identifies an easement area for the entranceway signage; however, it is noted as a 7-inch easement. The area scales to roughly 7' x 23'. The note should be corrected accordingly.

Additionally, based on renderings prepared by the Township, the area needs to be at least 7' x 25', so we request that the applicant slightly expand the easement area. The easement area will also need to be recorded and dedicated to the Township.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Respectfully,

**LSL PLANNING, A SAFE BUILT COMPANY**

A handwritten signature in black ink, appearing to read "B. V. Borden".

Brian V. Borden, AICP  
Planning Manager



October 4, 2016

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Genoa Plaza  
Site Plan Review**

Dear Ms. Van Marter:

We have reviewed the updated site plan documents from Boss Engineering, Inc. dated September 21, 2016, which were delivered to the Township Engineer on that date. The applicant is proposing a mixed-use development including a 2,117 sft restaurant with drive-thru service, a 2,819 sft restaurant space and an attached 1,501 sft hair salon on the northwest corner of Grand Oaks Drive and Latson Road in an outlot east of Lowe's. Tetra Tech has reviewed the updated documents and site plan and offers the following comments:

**Summary**

1. Sanitary sewer service needed to each building.
2. Revisions to the on-site water main and connection.

**Site Plan**

1. Section 7 of the Genoa-Oceola Sewer Use Ordinance prohibits multiple buildings discharging into one lead. A separate and independent building sewer shall be provided for every building.
2. MHOG Engineering recommends looping the water main to the north based on the length and expected usage. The connection to the existing water main is proposed as a tapping sleeve and valve right at an existing underground fitting, which is not ideal. We recommend the existing fitting be removed and replaced with a tee and valve to the site.

The petitioner should review the above comments, revise the site plan drawings and resubmit the documents for review. The petitioner will be required to submit construction plans of public utilities to MHOG for plan review, permitting and inspection requirements.

Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary J. Markstrom'.

Gary J. Markstrom, P.E.  
Unit Vice President

A handwritten signature in blue ink, appearing to read 'Joseph C. Siwek'.

Joseph C. Siwek, P.E.  
Project Engineer

Copy: Thom Dumond P.E. Boss Engineering Inc.



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

September 29, 2016

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Genoa Plaza  
Latson & Grand Oaks Dr.  
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on September 23, 2016 and the drawings are dated August 22, 2016 with revisions dated September 21, 2016. The project is for a proposed new multi-tenant retail plaza consisting of one mixed-use structure and one single tenant structure. The plan review is based on the requirements of the International Fire Code (IFC) 2015 edition.

1. Based upon building size, proposed occupancy use and potential occupant load; Structure R2 may be required to be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*. Architectural drawings and detail are required to make this determination for both structures. **(Noted that at this time, suppression is not required)**

**IFC 903**

- A. If automatic sprinklers are required, the FDC shall be located on the front of the building (Latson rd.).
- B. If required; the location, size, gate valve and connection of the fire protection lead(s) shall be indicated on the utility site plan.

2. The buildings shall include the address numbers on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street (Latson Rd.). The location and size shall be verified prior to installation. **(Noted to be Provided on Architectural Drawings)**

**IFC 505.1**

3. The one way access road along the rear of the structure along with the one-way entrance onto the site from Grand Oaks Dr. shall be a minimum of 20' wide and be maintained the entire length of the rear of the property. The two-way access drive extending along the east side of the property from the south to the north shall be a minimum of 26' wide. There is no dimension identifying this width on the site plan. With a width of 26' wide, the building side of the drive shall be marked as a fire lane. With a width of 20' both sides of the rear drive shall be marked as a fire lane. Include the location of the proposed fire lane signage and include a detail of the fire lane sign in the submittal. Access roads to site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. **(All items are revised or noted on Drawings)**

**IFC D 102.1**

**IFC D 103.1**

**IFC D 103.6**



**IFC D 103.6.1**

**IFC D 103.6.2**

4. An additional fire hydrant must be installed on the front (Latson Rd.) side of the structure at the drive-thru lane exit between the two buildings, near reference P09. The existing hydrants provided on the Utility plan are located at the rear area not on the property and are not conducive for fire department operations. **(Provided on Utility Plan in appropriate location)**

**IFC C 103**

5. Access onto the site and around building shall provide emergency vehicles with a turning radius of 50' outside and 30' inside up to 55' wall to wall and a minimum vertical clearance of 13½ feet. **(Vehicle Circulation Provided and Radii noted)**

**IFC 503.2.1**

**IFC D 103.3**

6. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box shall be located adjacent to the front door of each occupant space of both structures. **(Noted to be Provided at Time of Construction)**

**IFC 506.1**

7. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Noted on Drawing, Contractor TBD)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Capt. Rick Boisvert, CFPS  
Fire Inspector

## Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575  
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628  
Internet Address: [www.livingstonroads.org](http://www.livingstonroads.org)

September 23, 2016

Thom Dumond, RLA, LEED AP  
Boss Engineering  
3121 E. Grand River Ave  
Howell, MI 48843

Re: Genoa Plaza, Genoa Township, Section 8  
LCRC# C-16-08

Dear Mr. Dumond:

I have completed the review of the revised plans, dated September 21, 2016, for the above-referenced project and have determined the plans to be in substantial compliance with our specifications.

Before a commercial driveway approach permit can be issued, the following items need to be addressed.

1. The selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability."
2. An approval letter for the storm sewer discharge into the existing drainage structures on Latson Road will need to be submitted from either Genoa Township or the Livingston County Drain Commissioner's office prior to the issuance of an approach permit.
3. An approval letter or permit from the MHOG Utility Department for the connection to its water and sewer system will need to be submitted prior to the issuance of an approach permit.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Kim Hiller, P.E.  
Utilities and Permits Engineer

Cc: File  
Kelly VanMarter, Genoa Township (via email)  
Greg Tatara, MHOG (via email)  
Ken Recker, Livingston County Drain Commissioner's office (via email)

**IMPACT ASSESSMENT  
FOR  
SITE PLAN PETITION  
“GENOA PLAZA”  
GENOA TOWNSHIP, LIVINGSTON COUNTY  
MICHIGAN**

Prepared for:

**USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WIXOM, MI 48393  
(248) 773-7992**

Prepared by:

**BOSS ENGINEERING COMPANY  
3121 E. GRAND RIVER  
HOWELL, MI 48843  
(517) 546-4836**

August 22, 2016  
Revised: 09/21/16

**16-243 EIA**

## INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements for Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

## DISCUSSION ITEMS

### **A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.**

Prepared For:  
USA 2 GO  
28265 Beck Road, suite c-2  
Wixom, MI 48393  
(248) 773-7992

Prepared By:  
BOSS ENGINEERING COMPANY  
Civil Engineers, Land Surveyors, Landscape Architects and Planners  
3121 E. Grand River  
Howell, MI 48843  
(517) 546-4836

Boss Engineering has been successfully providing engineering, surveying, planning and landscape architecture services on land development projects since 1969. Since its beginning, Boss Engineering has strived to provide unparalleled professional services with integrity and respect to every client. Today, Boss provides a complete lineup of consulting services for each project, ranging from conceptual design through final construction. The company currently employs a variety of professions including civil engineers, surveyors, landscape architects and sanitarians.

### **B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.**

The site is located on the west side of South Latson Rd, approximately 1500 feet south of the Grand River Ave intersection. The property has 380 feet of frontage along South Latson Rd, the entire width of the site. To the east on the opposite side of South Latson Road is non-residential planned unit development use, planned to have a drive-in bank be built on it. To the north and west is a Lowe's Home Improvement. Further north is a Comerica Bank. South of the property is a Tim Hortons. The subject property is currently undeveloped, non-residential planned unit development (NRPUD).

### **C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.**

The total site area is 1.43 acres. No right away exists on the property, making the total buildable acreage 1.43. There are no wetlands on the property. The site is relatively flat, but with a gradual slope in the southwest corner with an increasing slope at approximately 1.18%. The trees and shrubs/brush on site are minimal and located along the west property line on top of the minor ridge, while the remainder of the

site is open area. The USDA Soil Conservation Service soil classification for the site is Miami-Loam 2-6% slopes.

**D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.**

Surface runoff during periods of construction will be controlled by proper methods set forth by the Livingston County Drain Commissioner, including silt fence, inlet protection devices, and seed and mulch.

At the time of construction, there may be some temporary dust, noise, vibration and smoke, but these conditions will be of relatively short duration and shall be controlled by applying appropriate procedures to minimize the effects, such as watering if necessary for dust control.

The Site Plan documents show the proposed locations of all site improvements along with detailed soil erosion control information. The plans will be reviewed by the Livingston County Drain Commissioner's office for compliance with their regulations prior to issuance of a Soil Erosion Control permit.

**E. Impact on surrounding land use: Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.**

To the north is an existing driveway that connects to both the parking lot for Lowes, and the Comerica Bank. It will connect to the north end of the proposed Genoa Plaza. The proposed drive-in bank construction will take place at the property to the east, on the other side of Latson Rd.

With the proposed use being a coffee shop, sit down restaurant, and hair salon, most of the activity on the property would be weekdays 7 AM to 6 PM. Unlike a commercial use, there would be limited evening or weekend traffic with hours of operation being limited.

The increase in light, noise or air pollution would be far less than what is typically associated with a commercial development. Developing a two smaller buildings on the property will have minimal impact on surrounding properties.

**F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection.**

**Letters from the appropriate agencies may be provided, as appropriate.**

The anticipated occupancy of 18 employees plus the customers, will have very little negative impact to nearby properties, but may even help the neighboring businesses with additional subsidiary patronage.

There is no expected impact on Howell Area Schools and very minimal impact on the police and fire departments.

**G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post development flows shall be provided in equivalents to a**



**single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.**

The development is to be served by both public water and sanitary sewer. The public water is provided by MHOG Sewer and Water Authority, where the sanitary sewer collection is provided by the G-O Sewer Authority.

The development will tap into an 8" existing water main south of the site along the access drive to provide water service. For sanitary, gravity sewer will be used from an existing manhole south of the site, located at the back of curb for Grand Oaks Drive.

The following is the estimated water usage of the proposed development:

- 2,117 SF Coffee Shop – 2.6 REU per premise
- 2,819 SF Sit-Down Restaurant (assume no liquor license) – 2.4 REU per 1,000 SF = 6.76 REU
- 1,501 SF Hair Salon – 0.38 REU per booth, 0.30 REU per mani/pedi/spa station (need more information)

The pre-development sanitary flow from this site is zero. Post-development flows will be calculated during the engineering review of the project.

With regards to storm water management, the project will be required to meet all local, county and state storm water and erosion control requirements. All of the required information is included in the Site Plan documents. Most storm water runoff will be directed to the surrounding existing storm sewer systems, located all around the site.

**H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.**

There will be no hazardous materials used or disposed of on this site, such as gas cans, striping paint, etc.

**I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.**

According to the Institute of Transportation Engineers Trip Generation 6th addition, the number of trips generated by this development would be an average of 1146 trips per day (39.92 trips per unit per 1,000sf) during the week days, or 5732 trips per 5-day work week. This is based on a shopping center.

**J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.**

The site is under 10 acres. Therefore, a detailed traffic impact study is not necessary.

**K. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.**

None at this time.

**L. A list of all sources shall be provided.**

Genoa Township's *Submittal Requirements for Impact Assessment*

Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

Trip Generation manual, 6<sup>th</sup> edition, Institute of Transportation Engineers



2911 Dorr Road  
 Brighton, MI 48116  
 810.227.5225  
 810.227.3420 fax  
 genoa.org

## MEMORANDUM

**TO:** Thom Dumond, Boss Engineering

**FROM:** Kelly VanMarter, Assistant Township Manager/Community Development Director

**DATE:** October 6, 2016

**RE:** **ESTIMATED** Genoa Plaza Sewer and Water Tap Fees

This memo will describe the connection fees required for a new 2,117 sq. ft. Coffee Shop, a 2,819 sq. ft. Restaurant (without liquor license), and a 1,501 sq. ft. Hair Salon located on part of parcel 11-08-200-017 at the northwest corner of Grand Oaks Drive and Latson Road. For the purposes of estimating the potential fees I assume 6 booths for the Hair Salon. *The figures below are subject to change once we have actual tenant data.*

2,117 sq. ft. Coffee Shop @ 2.6 REU per premise =	2.6 REU
2,819 sq. ft. Sit-down Restaurant (no alcohol) @ 2.4 REU per 1,000 sq. ft. =	6.8 REU
1,501 sq. ft. Hair Salon @ 0.38 REU per Booth, assume 6 booths =	2.3 REU
<b>TOTAL REU NEW BUILDINGS =</b>	<b>11.7 REU</b>

**OPTION 1 – PAYMENT:** If the owner is not transferring REU credits to the development the following fees would be applicable:

11.7 REU x \$7,200 per Sewer REU =	\$ 84,240.00
11.7 REU x \$7,900 per Water REU =	\$ 92,430.00
<b>TOTAL DUE =</b>	<b>\$176,670.00</b>

**OPTION 2 – CREDIT TRANSFER:** There is an existing balance of 7 REU's associated with this property. The owner can dedicate the credits for use by the development if so desired. This would have the following effect:

	Water REU	Sewer REU
<b>Credits</b>	7	7
Estimate for 3 uses from above:	11.7	11.7
<b>REMAINING BALANCE</b>	<b>4.7</b>	<b>4.7</b>
Per REU Fee:	x \$7,900	x \$7,200
TOTAL DUE EACH:	<b>\$37,130.00</b>	<b>\$33,840.00</b>
<b>COMBINED TOTAL AMOUNT DUE:</b>		<b>\$70,970.00</b>

**Connection Fees must be paid at time of land use permit issuance.**

A meter package may also need to be purchased including the appropriate sized meter and a MIU (meter interface unit). Should you have any questions please feel free to contact me at 810-227-5225.

**SUPERVISOR**  
 Gary T. McCririe

**CLERK**  
 Paulette A. Skolarus

**TREASURER**  
 Robin L. Hunt

**MANAGER**  
 Michael C. Archinal

**TRUSTEES**  
 H. James Mortensen  
 Jean W. Ledford  
 Todd W. Smith  
 Linda Rowell

# PROPERTY DESCRIPTION:

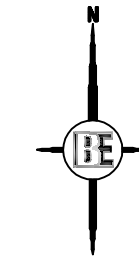
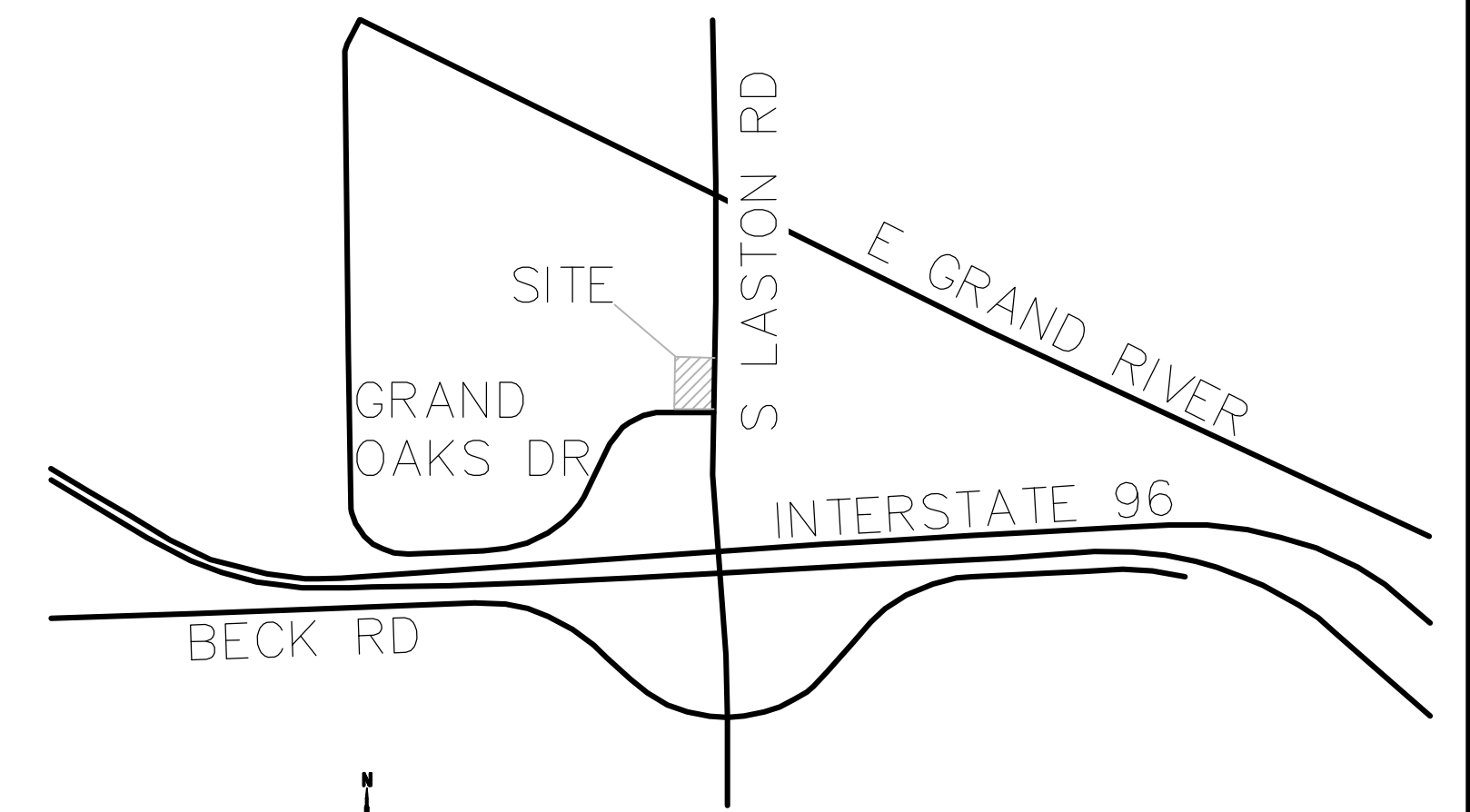
## PROPERTY DESCRIPTION AS SUPPLIED:

### PARCEL 1:

PART OF THE NORTHEAST 1/4 OF SECTION 8, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 8; THENCE ALONG THE NORTH LINE OF SECTION 8, S 87°16'42" W, 3.27 FEET, TO THE CONSTRUCTION CENTERLINE OF LATSON ROAD; THENCE ALONG THE CONSTRUCTION CENTERLINE OF LATSON ROAD, THE FOLLOWING THREE (3) COURSES: 1) SOUTHERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 159.72 FEET, A RADIUS OF 10000.00 FEET, A CENTRAL ANGLE OF 00°54'55", AND A LONG CHORD WHICH BEARS S 00°40'20" W, 159.72 FEET; 2) S 01°07'48" W, 913.15 FEET; 3) SOUTHERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 148.82 FEET, A RADIUS OF 10000.00 FEET, A CENTRAL ANGLE OF 00°51'10", AND A LONG CHORD WHICH BEARS S 00°42'13" W, 148.82 FEET, TO THE POINT OF INTERSECTION OF THE CONSTRUCTION CENTERLINE OF LATSON ROAD AND THE CONSTRUCTION CENTERLINE OF RELOCATED GRAND OAKS DRIVE; THENCE ALONG THE CONSTRUCTION CENTERLINE OF RELOCATED GRAND OAKS DRIVE, S 89°48'26" W, 159.53 FEET; THENCE N 00°15'45" E, 40.00 FEET, TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF RELOCATED GRAND OAKS DRIVE, S 89°48'26" W, 105.82 FEET; THENCE N 10°21'54" E, 317.42 FEET; THENCE N 12°59'10" E, 332.05 FEET; THENCE S 79°09'02" E, 22.66 FEET; THENCE N 11°14'53" E, 360.22 FEET; THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF LATSON ROAD, THE FOLLOWING TWO (2) COURSES: 1) S 01°07'48" W, 874.11 FEET; 2) SOUTHERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 10.59 FEET, A RADIUS OF 10060.00 FEET, A CENTRAL ANGLE OF 00°03'37", AND A LONG CHORD WHICH BEARS S 01°05'59" W, 10.59 FEET; THENCE ALONG A LIMITED ACCESS RIGHT OF WAY LINE, S 45°17'49" W, 142.07 FEET, TO THE POINT OF BEGINNING, CONTAINING 2.31 ACRES, MORE OR LESS, AND INCLUDING THE USE OF LATSON ROAD AND GRAND OAKS DRIVE. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORD.

# SITE PLAN FOR GENOA PLAZA

## PART OF NE QUARTER, OF SECTION 8 GENOA TOWNSHIP, LIVINGSTON COUNTY, MI



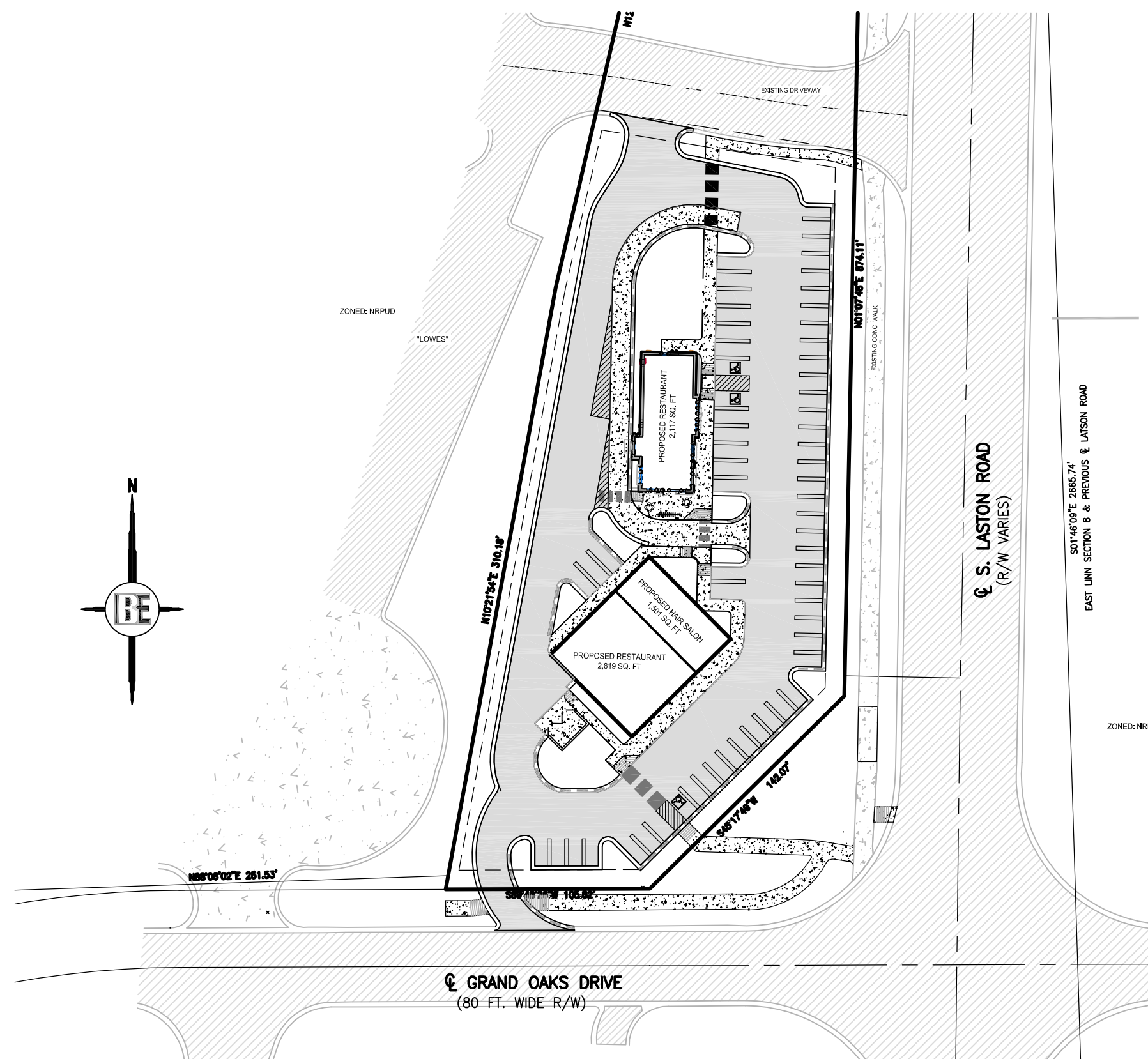
LOCATION MAP

NO SCALE

### CONSTRUCTION NOTES

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

- THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
- DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
- IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
- ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
- ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
- DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
- IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
- NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
- ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
- ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
- TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
- ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
- ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
- NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
- ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.
- ACCESS ROADS TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.



OVERALL SITE MAP

NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	EXISTING CONDITIONS/DEMOLITION PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	UTILITY PLAN
C6	LANDSCAPE PLAN
C7	LIGHTING PLAN
C8	SOIL EROSION CONTROL PLAN
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS & STORM CALCS
DRAWINGS PREPARED BY ARCHITECT	
A2-01	BUILDING 'A' - FLOOR PLAN
A2-02	BUILDING 'B' - FLOOR PLAN
A1	BUILDING 'A' EXTERIOR ELEVATIONS
A2	BUILDING 'B' EXTERIOR ELEVATIONS

## GENOA PLAZA

PREPARED FOR:

USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WIXOM, MI 48393  
CONTACT: KEVIN BAHNAM  
248.773.7992

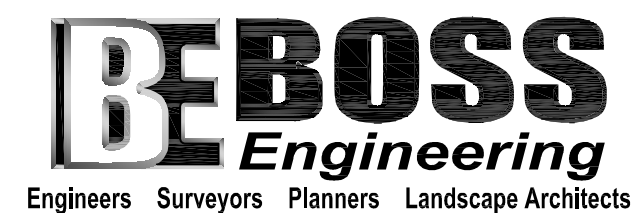


ARCHITECT:



NORR  
150 W. JEFFERSON AVE., SUITE 1300  
DETROIT, MI 48226  
CONTACT: BRIAN COBURN  
PHONE: 313.324.3140  
EMAIL: BRIAN.COLBURN@NORR.COM

PREPARED BY:



3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
800.246.6735 FAX 517.548.1670  
CONTACT: THOM DUMOND

### INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

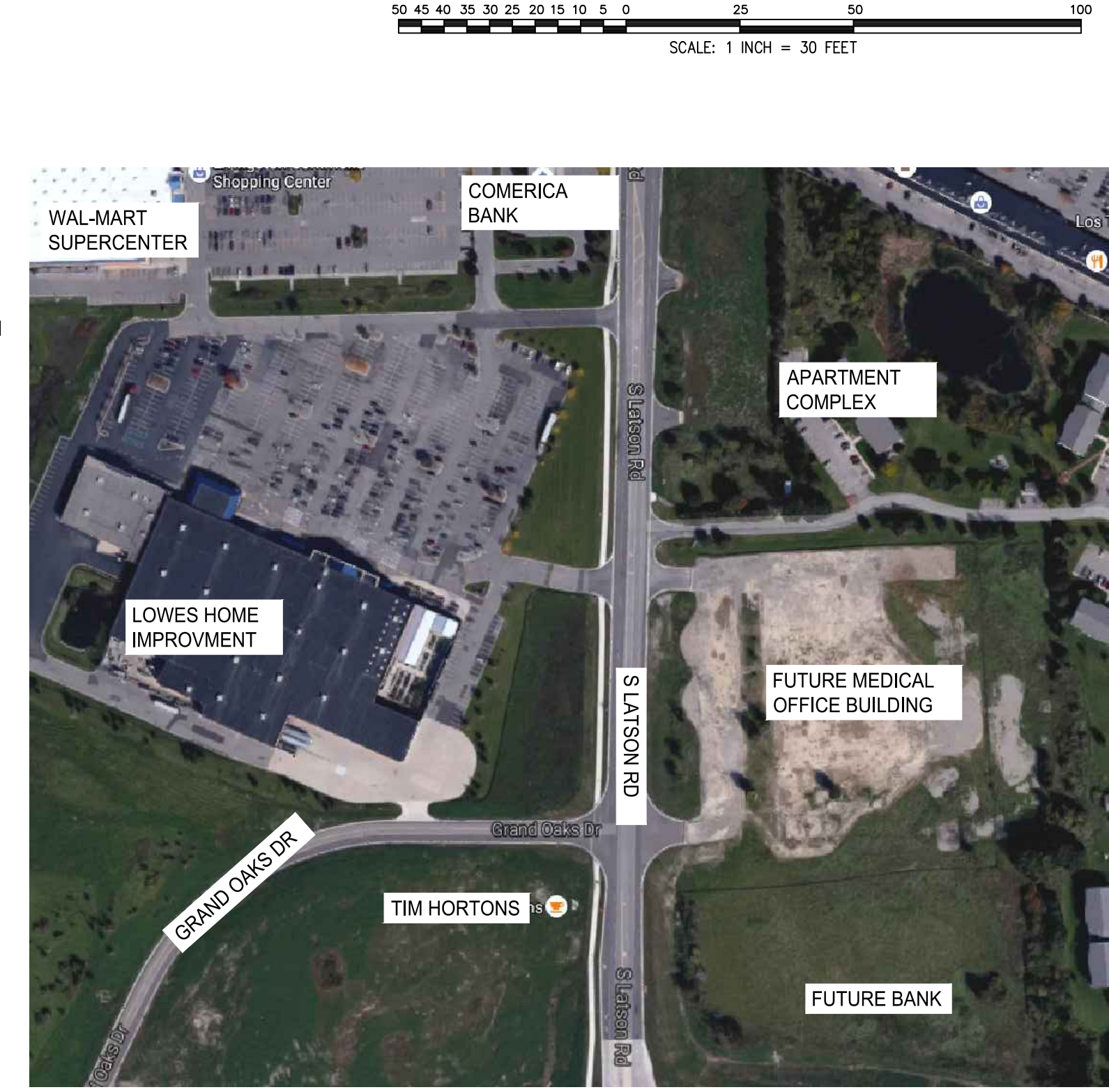
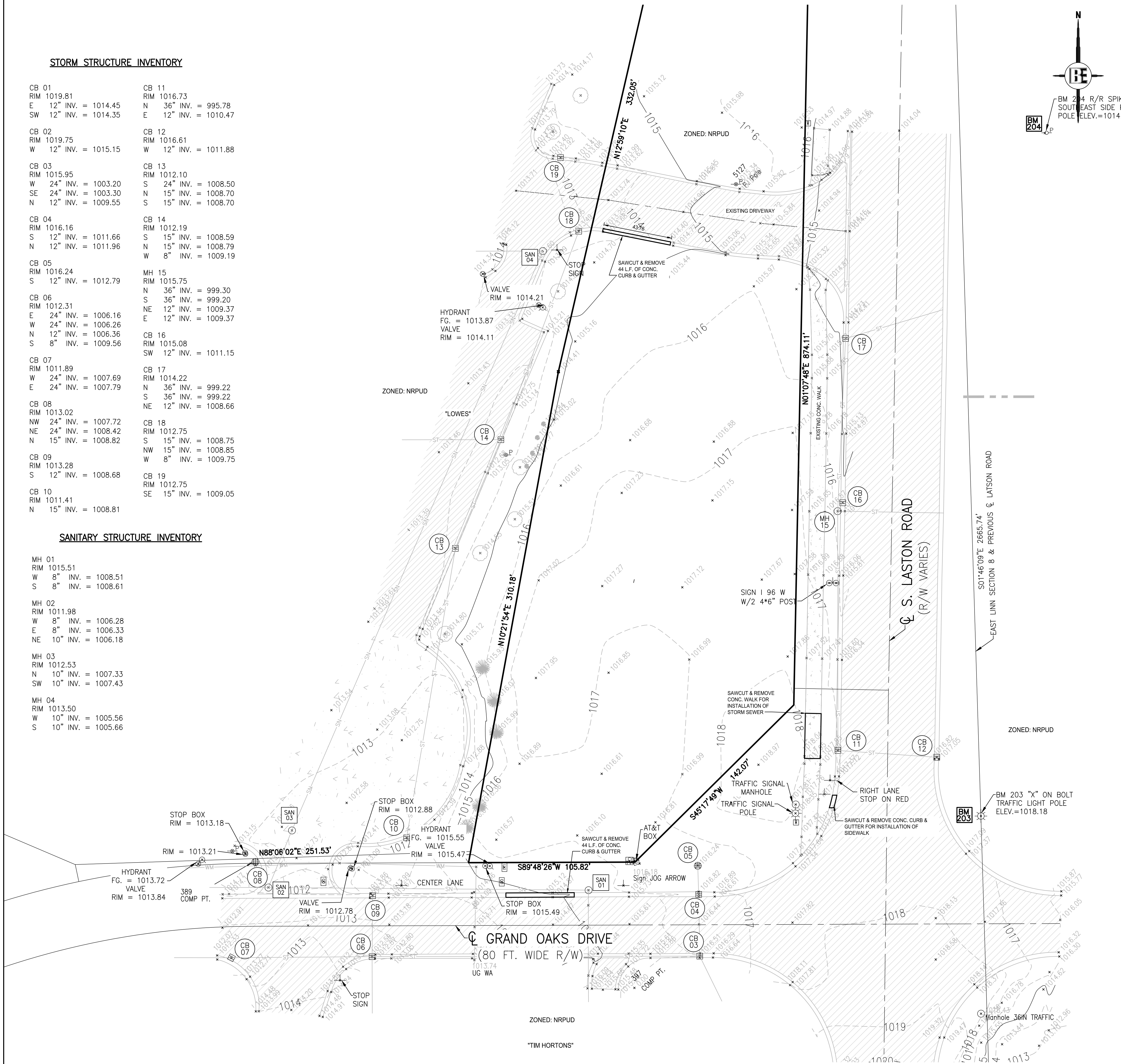
1	CD	TOWNSHIP REVIEW	9-21-16	ISSUE DATE: 8/22/16	C1
	NO	BY CK	REVISION	DATE	

**STORM STRUCTURE INVENTORY**

CB 01 RIM 1019.81 E 12" INV. = 1014.45 SW 12" INV. = 1014.35	CB 11 RIM 1016.73 N 36" INV. = 995.78 E 12" INV. = 1010.47
CB 02 RIM 1019.75 W 12" INV. = 1015.15	CB 12 RIM 1016.61 W 12" INV. = 1011.88
CB 03 RIM 1015.95 W 24" INV. = 1003.20 SE 24" INV. = 1003.30 N 12" INV. = 1009.55	CB 13 RIM 1012.10 S 24" INV. = 1008.50 N 15" INV. = 1008.70 S 15" INV. = 1008.70
CB 04 RIM 1016.16 S 12" INV. = 1011.66 N 12" INV. = 1011.96	CB 14 RIM 1012.19 S 15" INV. = 1008.59 N 15" INV. = 1008.79 W 8" INV. = 1009.19
CB 05 RIM 1016.24 S 12" INV. = 1012.79	MH 15 RIM 1015.75 N 36" INV. = 999.30 S 36" INV. = 999.20 NE 12" INV. = 1009.37 E 12" INV. = 1009.37
CB 06 RIM 1012.31 E 24" INV. = 1006.16 W 24" INV. = 1006.26 N 12" INV. = 1006.36 S 8" INV. = 1009.56	CB 16 RIM 1015.08 SW 12" INV. = 1011.15
CB 07 RIM 1011.89 W 24" INV. = 1007.69 E 24" INV. = 1007.79	CB 17 RIM 1014.22 N 36" INV. = 999.22 S 36" INV. = 999.22 NE 12" INV. = 1008.66
CB 08 RIM 1013.02 NW 24" INV. = 1007.72 NE 24" INV. = 1008.42 N 15" INV. = 1008.82	CB 18 RIM 1012.75 S 15" INV. = 1008.75 NW 15" INV. = 1008.85 W 8" INV. = 1009.75
CB 09 RIM 1013.28 S 12" INV. = 1008.68	CB 19 RIM 1012.75 SE 15" INV. = 1009.05
CB 10 RIM 1011.41 N 15" INV. = 1008.81	

**SANITARY STRUCTURE INVENTORY**

MH 01 RIM 1015.51 W 8" INV. = 1008.51 S 8" INV. = 1008.61
MH 02 RIM 1011.98 W 8" INV. = 1006.28 E 8" INV. = 1006.33 NE 10" INV. = 1006.18
MH 03 RIM 1012.53 N 10" INV. = 1007.33 SW 10" INV. = 1007.43
MH 04 RIM 1013.50 W 10" INV. = 1005.56 S 10" INV. = 1005.66



**SURROUNDING SITE INFO**  
NO SCALE

**LEGEND**

- 900 --- EXISTING CONTOUR
- 922.00 --- EXISTING SPOT ELEVATION
- STORM DRAINAGE FLOW
- POWER POLE
- GUY WIRE
- HYDRANT
- GATE VALVE
- WATER MANHOLE
- MANHOLE
- STORM CATCH BASIN (BEEHIVE)
- STORM CATCH BASIN (SQUARE)
- STORM INVERT
- WELL
- TRANSFORMER PAD
- TELEPHONE RISER
- U.G. TELEPHONE MARKER
- GAS METER
- GAS RISER
- U.G. GAS MARKER
- ELECTRICAL RISER
- U.G. ELECTRICAL MARKER
- CABLE TV RISER
- U.G. CABLE TV MARKER
- MAILBOX
- AIR CONDITIONING UNIT
- LIGHT POLE
- ORNAMENTAL LIGHT
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SOIL BORING
- STEEL ROD SET
- STEEL ROD/PIPE FOUND
- MONUMENT
- SECTION CORNER
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- GAS MAIN
- ELECTRIC
- TELEPHONE
- OVERHEAD WIRES
- FENCE
- GAS PUMP
- ANTENNA
- SATELLITE DISH
- NEWSPAPER BOX
- PARKING METER
- PHONE BOOTH

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE FOUND. THE LOCATION OR DEPTH OFFERS SOLELY FOR INFORMATIONAL PURPOSES.

**BE**  
BEFORE YOU DIG  
1-800-487-2171

**BEBOSS**  
Engineering  
Engineers Planners Landscape Architects  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
800.246.6735 FAX 517.548.1670

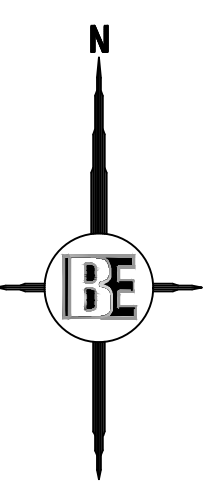
**GENOA PLAZA**

USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WILSON, MI 48393  
248.773.7992

**EXISTING CONDITIONS/DEMOLITION PLAN**

PROJECT	DATE
PREPARED FOR	9-21-16
TOWNSHIP REVIEW PER	NO BY
DESIGNED BY: TD	
DRAWN BY: CD	
CHECKED BY:	
SCALE 1" = 30'	
JOB NO. 16-243	
DATE 08/22/16	
SHEET NO.	

**C2**

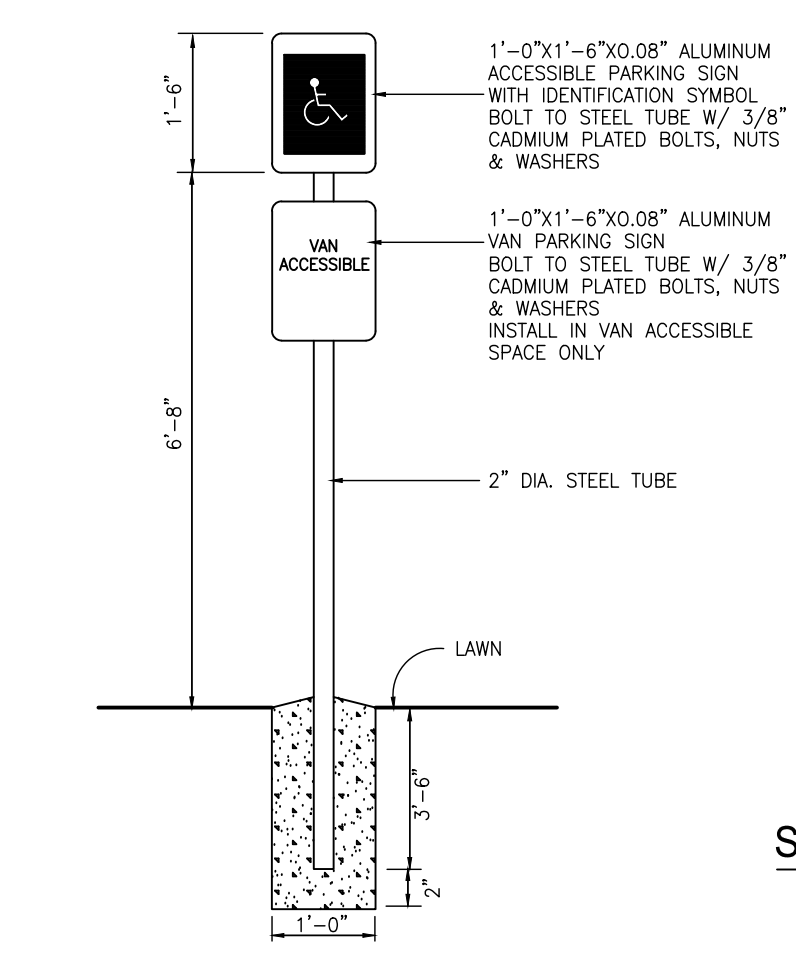
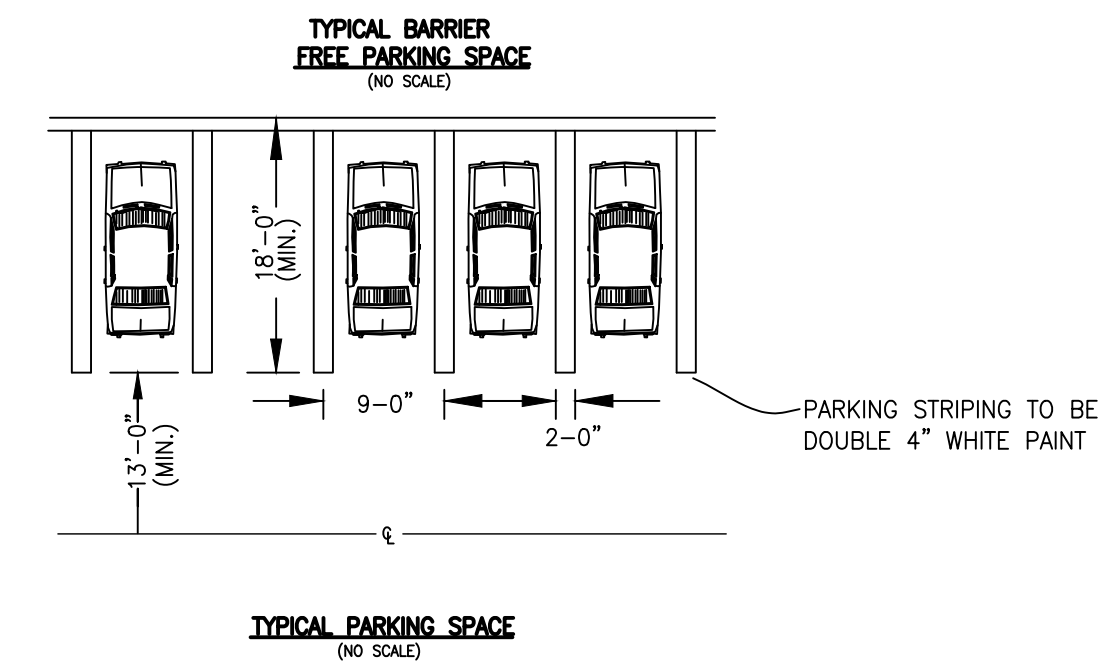
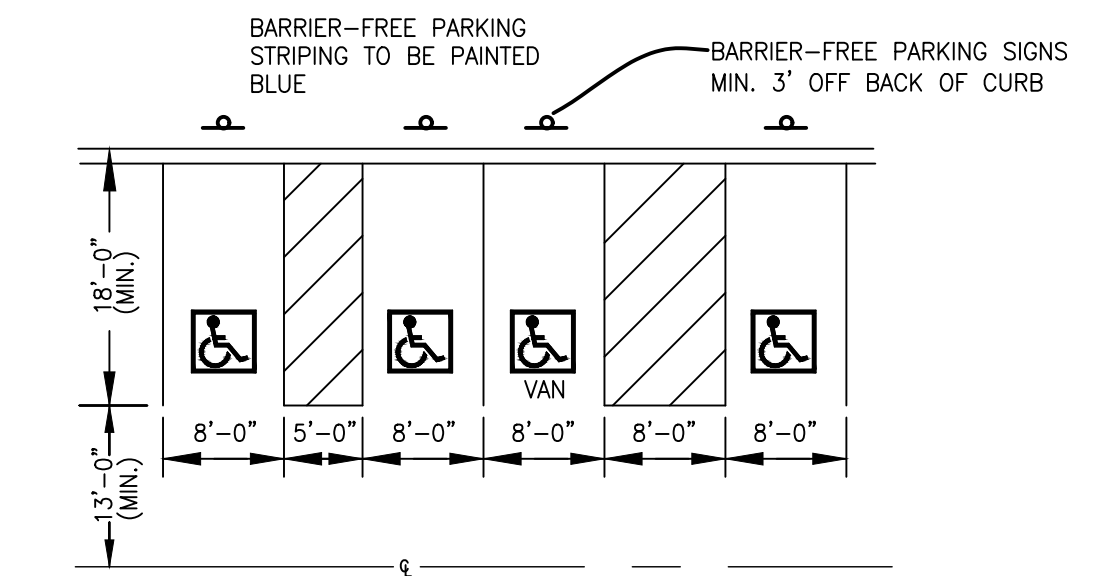
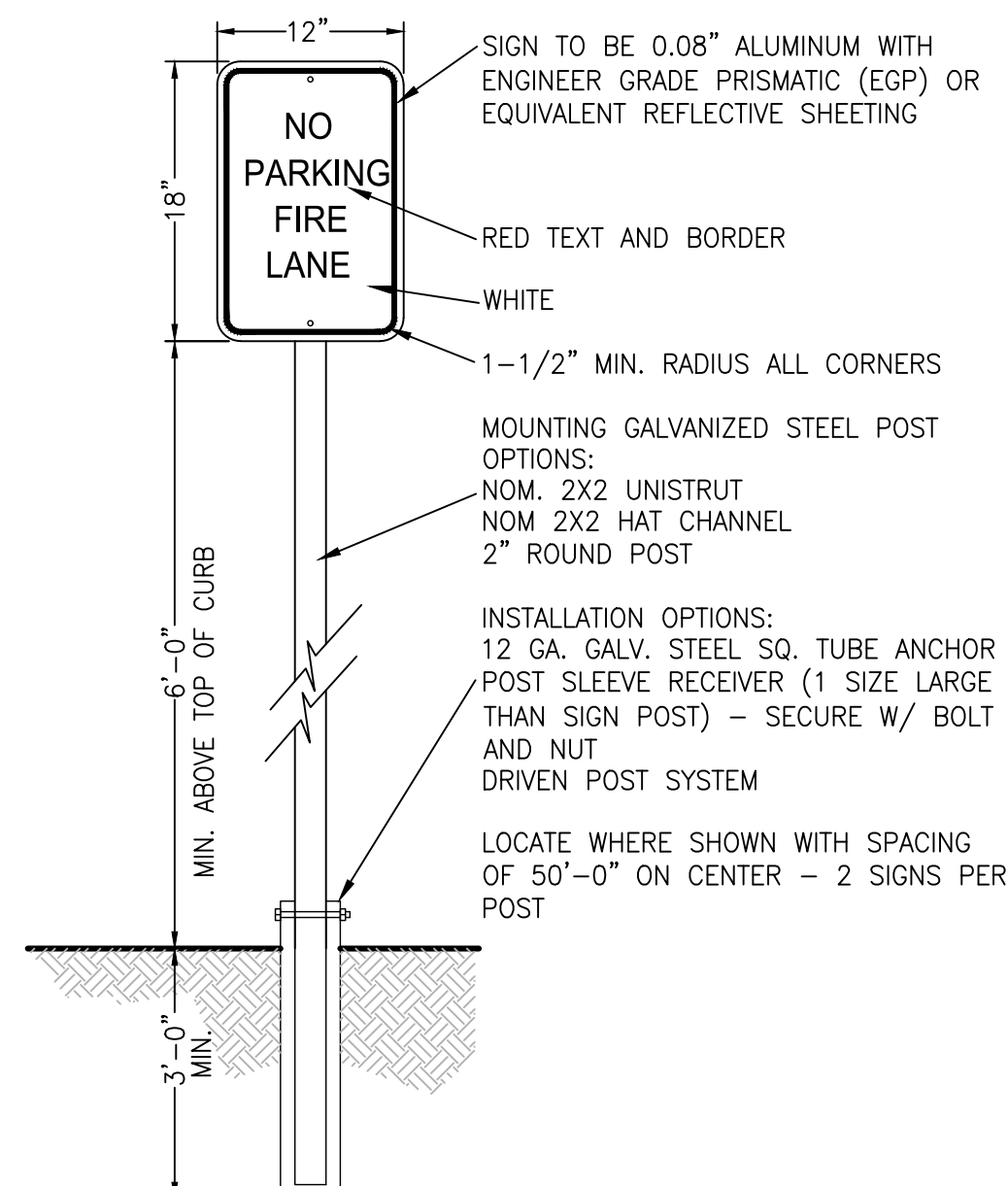
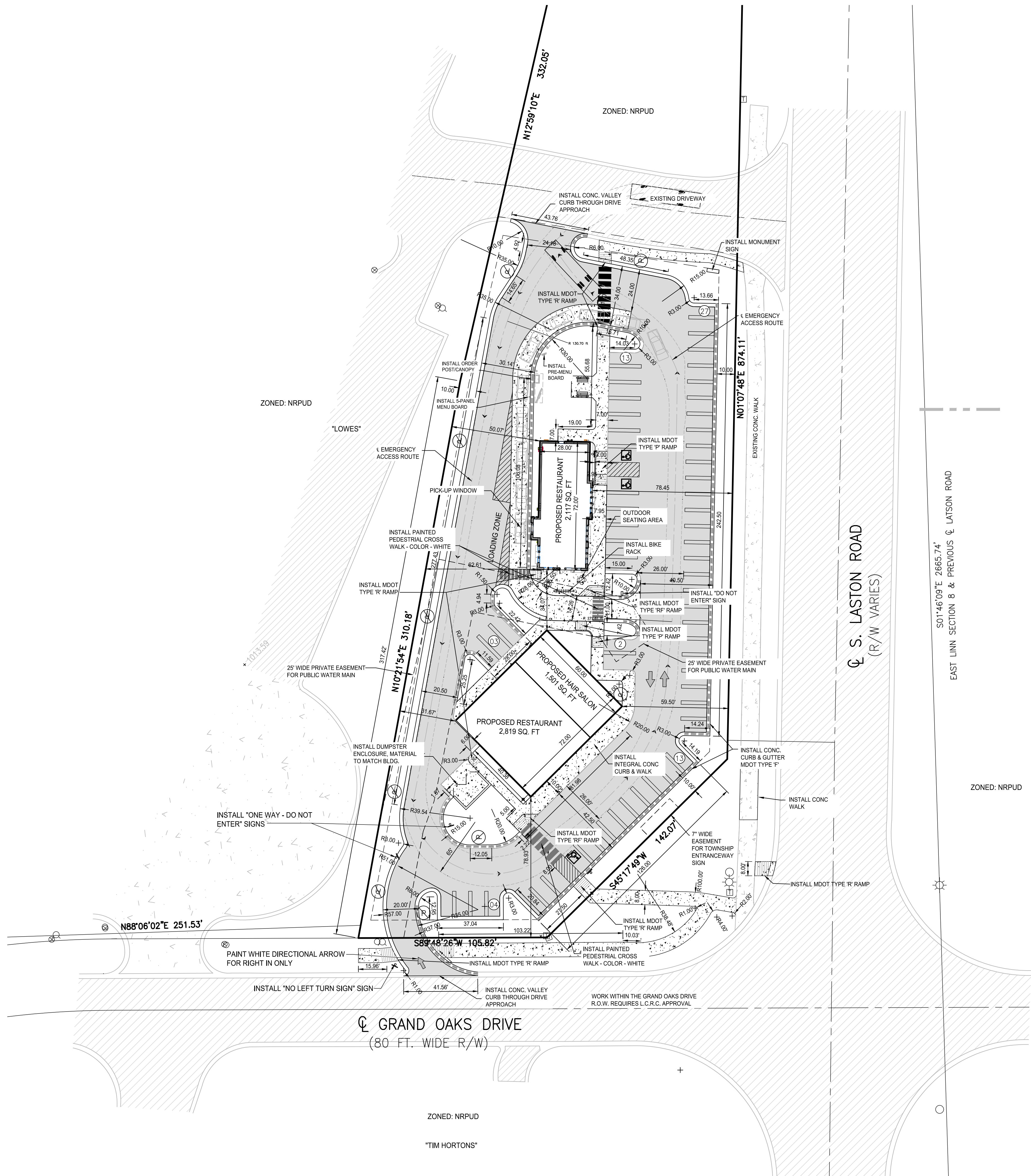


**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
		MANHOLE
		INLET / CATCHBASIN
		FLARED END-SECTION
		GATE VALVE
		HYDRANT
		UTILITY POLE
		FENCE
		SIGN
		LIMITS OF GRADING/CLEARING
		CONCRETE
		ASPHALT
		MODIFIED CURB
		NO PARKING - FIRE LANE SIGNS

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE FOUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**BE**  
BEFORE YOU DIG  
1-800-487-2171



**SITE DATA**

- NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT (NRPUD), ZONE 1
- SITE AREA - 100,606 SQ. FT. (2.31 AC)
- MAX. BLDG. HT. ALLOWED - 75 FT. 5 STORIES PROVIDED 21'-8" FT.
- MAX LOT COVERAGE - 50% BUILDING, 90% IMPERVIOUS PROVIDED 6.2% BUILDING, 46% IMPERVIOUS
- SETBACKS PROVIDED  
FRONT - 10 FT. 59.50 FT.  
SIDE - 10 FT. 113.00 FT.  
REAR - 5 FT. 31.67 FT.
- PARKING:  
COFFEE HOUSE - 1 SPACE PER 70 SQ. FT. GROSS LEASABLE FLOOR AREA.  
SPACE REQUIRED = 1,583 SQ. FT. = 23 SPACES  
STANDARD SIT-DOWN RESTAURANTS WITHOUT LIQUOR LICENSE - 1 SPACE FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA OR ONE FOR EACH TWO SEATS, WHICHEVER IS GREATER.  
SPACE REQUIRED = 2,025 SQ. FT. = 20 SPACES  
BARBER SHOP - 2.5 SPACES PER EACH BARBER OR BEAUTICIAN'S CHAIR/STATION  
SPACES REQUIRED = 15 SPACES  
TOTAL SPACES REQUIRED = 58 SPACES  
TOTAL SPACE PROVIDED = 62 SPACES (INCLUDES 3 BARRIER-FREE SPACES)

EMERGENCY ACCESS ROUTE NOTE:  
THE EMERGENCY ACCESS ROUTE AROUND THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO MAINTAIN A MINIMUM TURNING RADIUS OF 30' INSIDE AND 50' OUTSIDE AND SHALL ALLOW A MINIMUM VERTICAL CLEARANCE OF 13.5 FT.

**BEBOSS**  
Engineering  
Engineers Planners Landscape Architects  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
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**GENOA PLAZA**  
USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WILSON, WI 53393  
248.773.7992

PROJECT	PREPARED FOR	TITLE
GENOA PLAZA	USA 2 GO	SITE PLAN
DATE	9-21-16	
REVISION PER		
NO	CH	BY
1	CH	CD
DESIGNED BY: TD		
DRAWN BY: CD		
CHECKED BY:		
SCALE 1" = 30'		
JOB NO. 16-243		
DATE 08/22/16		
SHEET NO.		
C3		

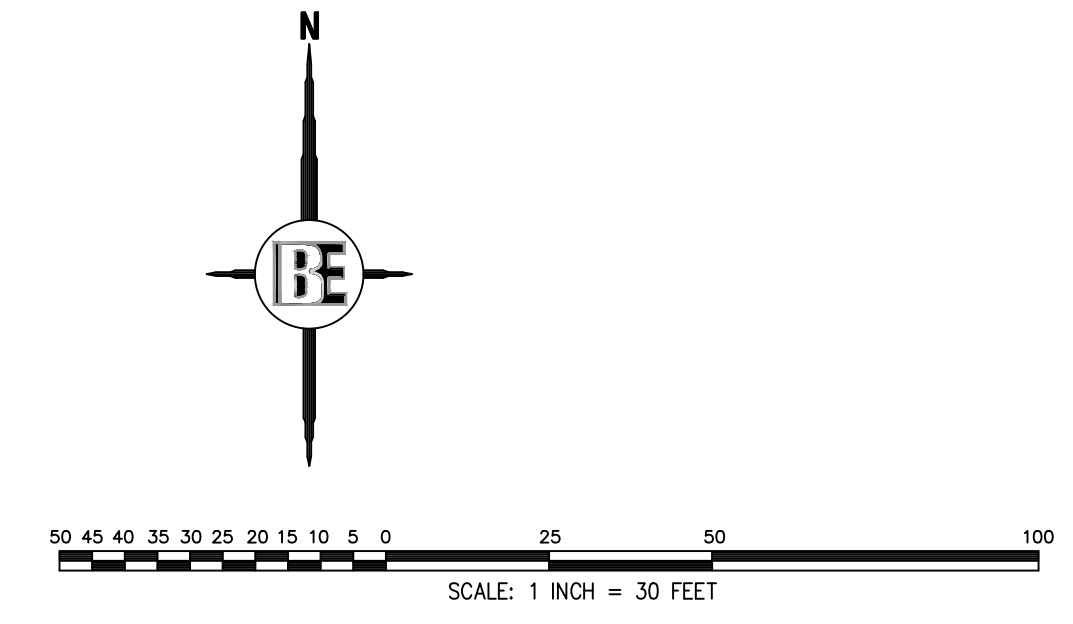
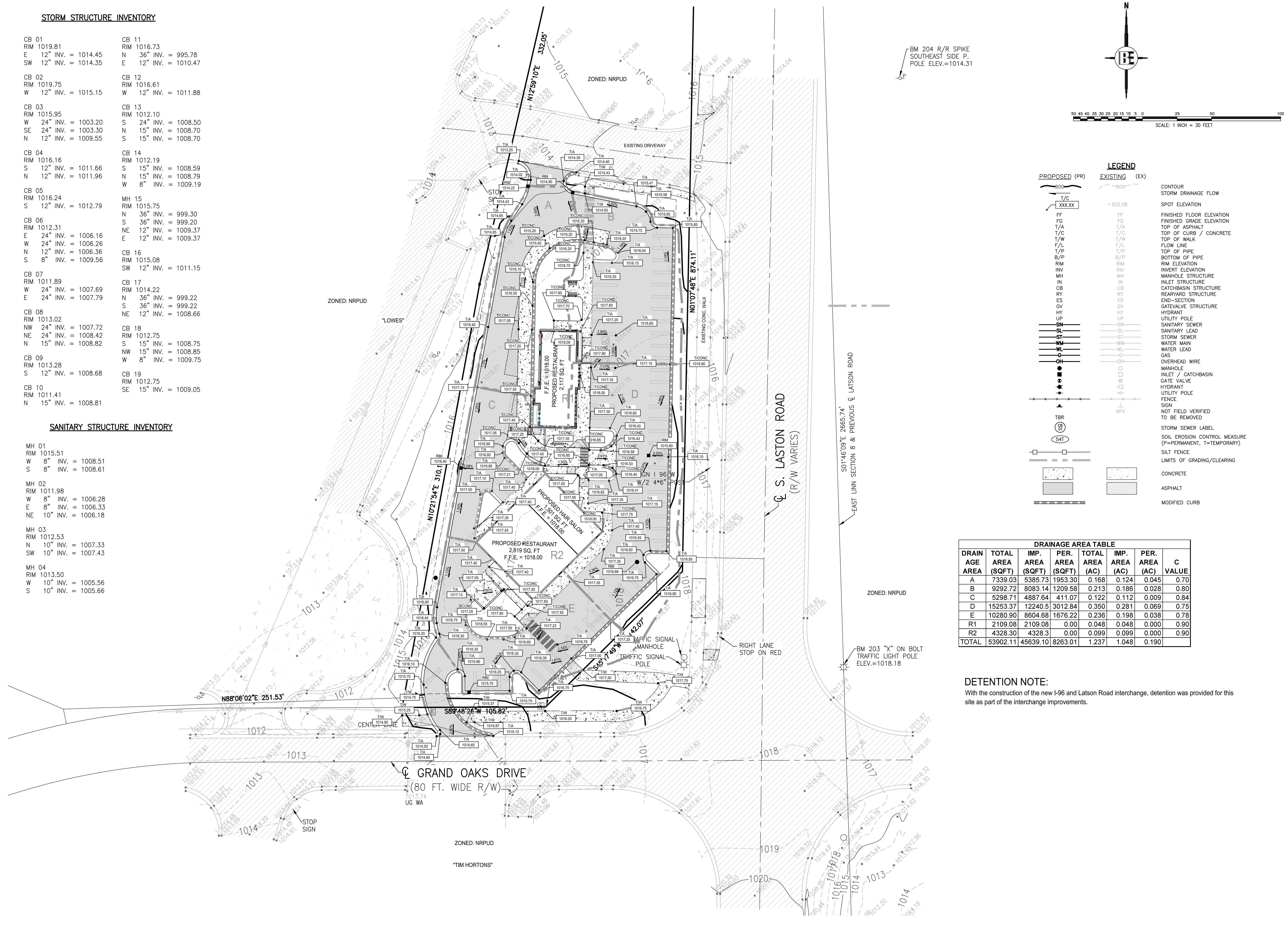


**STORM STRUCTURE INVENTORY**

CB 01 RIM 1019.81 E 12" INV. = 1014.45 SW 12" INV. = 1014.35	CB 11 RIM 1016.73 N 36" INV. = 995.78 E 12" INV. = 1010.47
CB 02 RIM 1019.75 W 12" INV. = 1015.15	CB 12 RIM 1016.61 W 12" INV. = 1011.88
CB 03 RIM 1015.95 W 24" INV. = 1003.20 SE 24" INV. = 1003.30 N 12" INV. = 1009.55	CB 13 RIM 1012.10 S 24" INV. = 1008.50 N 15" INV. = 1008.70 S 15" INV. = 1008.70
CB 04 RIM 1016.16 S 12" INV. = 1011.66 N 12" INV. = 1011.96	CB 14 RIM 1012.19 S 15" INV. = 1008.59 N 15" INV. = 1008.79 W 8" INV. = 1009.19
CB 05 RIM 1016.24 S 12" INV. = 1012.79	MH 15 RIM 1015.75 N 36" INV. = 999.30 S 36" INV. = 999.20 NE 12" INV. = 1009.37 E 12" INV. = 1009.37
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CB 07 RIM 1011.89 W 24" INV. = 1007.69 E 24" INV. = 1007.79	CB 17 RIM 1014.22 N 36" INV. = 999.22 S 36" INV. = 999.22 NE 12" INV. = 1008.66
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CB 10 RIM 1011.41 N 15" INV. = 1008.81	

**SANITARY STRUCTURE INVENTORY**

MH 01 RIM 1015.51 W 8" INV. = 1008.51 S 8" INV. = 1008.61
MH 02 RIM 1011.98 W 8" INV. = 1006.28 E 8" INV. = 1006.33 NE 10" INV. = 1006.18
MH 03 RIM 1012.53 N 10" INV. = 1007.33 SW 10" INV. = 1007.43
MH 04 RIM 1013.50 W 10" INV. = 1005.56 S 10" INV. = 1005.66



**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
900	900	CONTOUR
T/C	XXX.XX	STORM DRAINAGE FLOW
FF	FF	SPOT ELEVATION
FC	FC	FINISHED FLOOR ELEVATION
T/A	T/A	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF ASPHALT
T/W	T/W	TOP OF CURB / CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
B/P	B/P	TOP OF PIPE
RIM	RIM	BOTTOM OF PIPE
INV	INV	RIM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHBASIN STRUCTURE
ES	ES	REARYARD STRUCTURE
GV	GV	END-SECTION
HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SANITARY SEWER
ST	ST	SANITARY LEAD
WM	WM	STORM SEWER
WL	WL	WATER MAIN
GC	GC	WATER LEAD
OH	OH	GAS
TBR	TBR	OVERHEAD WIRE
54T	54T	MANHOLE
		INLET / CATCHBASIN
		GATE VALVE
		HYDRANT
		UTILITY POLE
		FENCE
		SIGN
		NOT FIELD VERIFIED TO BE REMOVED
		STORM SEWER LABEL
		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
		SILT FENCE
		LIMITS OF GRADING/CLEARING
		CONCRETE
		ASPHALT
		MODIFIED CURB

**DRAINAGE AREA TABLE**

DRAIN AGE AREA	TOTAL AREA (SQFT)	IMP. AREA (SQFT)	PER. AREA (SQFT)	TOTAL AREA (AC)	IMP. AREA (AC)	PER. AREA (AC)	C VALUE
A	7339.03	5385.73	1953.30	0.168	0.124	0.045	0.70
B	9292.72	8083.14	1209.58	0.213	0.186	0.028	0.80
C	5298.71	4887.64	411.07	0.122	0.112	0.009	0.84
D	15253.37	12240.5	3012.84	0.350	0.281	0.069	0.75
E	10280.90	8604.68	1676.22	0.236	0.198	0.038	0.78
R1	2109.08	2109.08	0.00	0.048	0.048	0.000	0.90
R2	4328.30	4328.30	0.00	0.099	0.099	0.000	0.90
TOTAL	53902.11	45639.10	8263.01	1.237	1.048	0.190	

**DETENTION NOTE:**  
With the construction of the new I-96 and Latson Road interchange, detention was provided for this site as part of the interchange improvements.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONTACTS WITH UTILITIES PRIOR TO THE LOCATION OR DEPTH OFFERS SUBMITTALS FROM THE PLANS.

BEFORE YOU DIG  
1-800-487-2171

**BEBOSS**  
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**GENOA PLAZA**

USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WILSON, MI 48393  
248.773.7952

**GRADING & DETAIL PLAN**

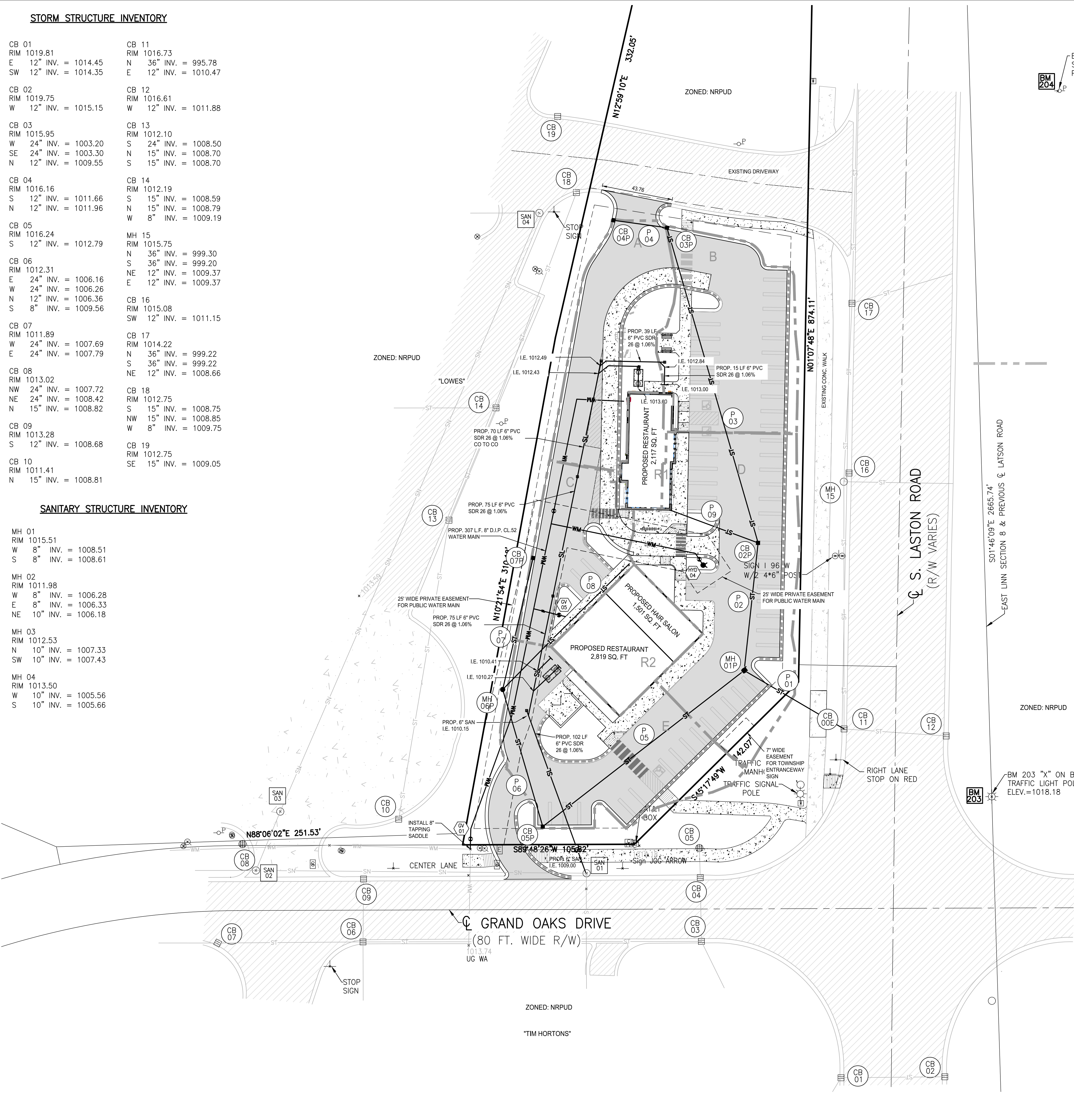
DESIGNED BY:	TD
DRAWN BY:	CD
CHECKED BY:	
SCALE:	1" = 30'
JOB NO.:	16-243
DATE:	08/22/16
SHEET NO.:	C4

**STORM STRUCTURE INVENTORY**

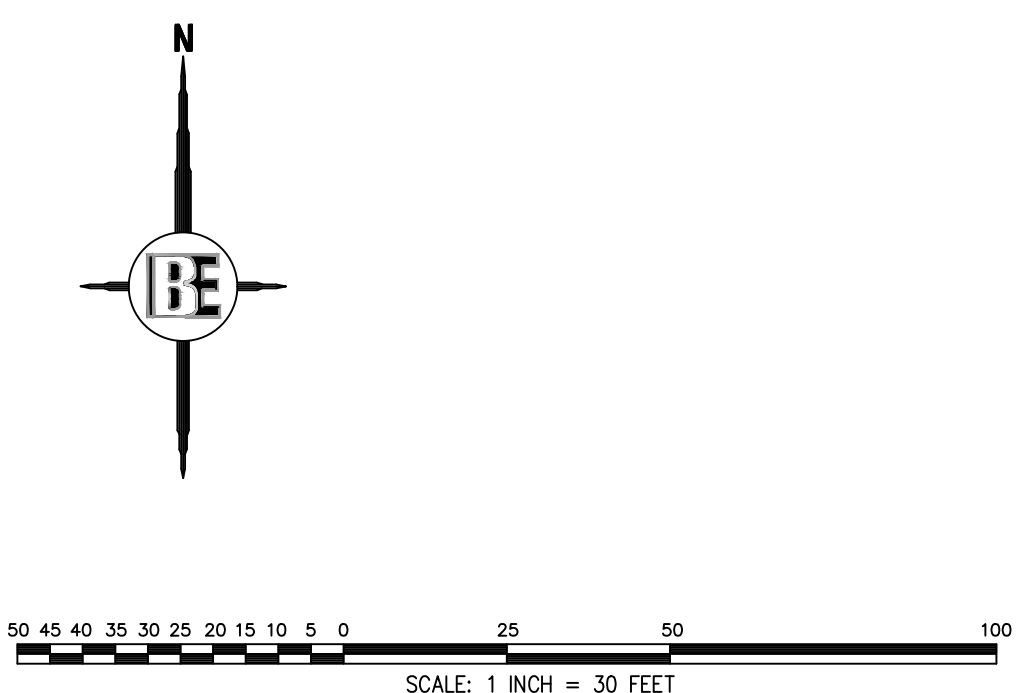
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BM 204 R/R SPIKE  
SOUTHEAST SIDE P.  
POLE ELEV.=1014.31



**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
~900~	~900~	CONTOUR
T/C	T/C	STORM DRAINAGE FLOW
XXXXXX	+ 922.08	SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
GAS	GAS	GAS
OH	OH	OVERHEAD WIRE
○	○	MANHOLE
○	○	INLET / CATCHBASIN
○	○	GATE VALVE
○	○	HYDRANT
○	○	UTILITY POLE
○	○	CLEANOUT
○	○	FENCE
○	○	SIGN
○	○	STORM SEWER LABEL
○	○	WATER MAIN LABEL
○	○	DRAINAGE AREA
○	○	CONCRETE
○	○	ASPHALT
○	○	MODIFIED CURB

**DETENTION NOTE:**  
With the construction of the new I-96 and Latson Road interchange, detention was provided for this site as part of the interchange improvements.

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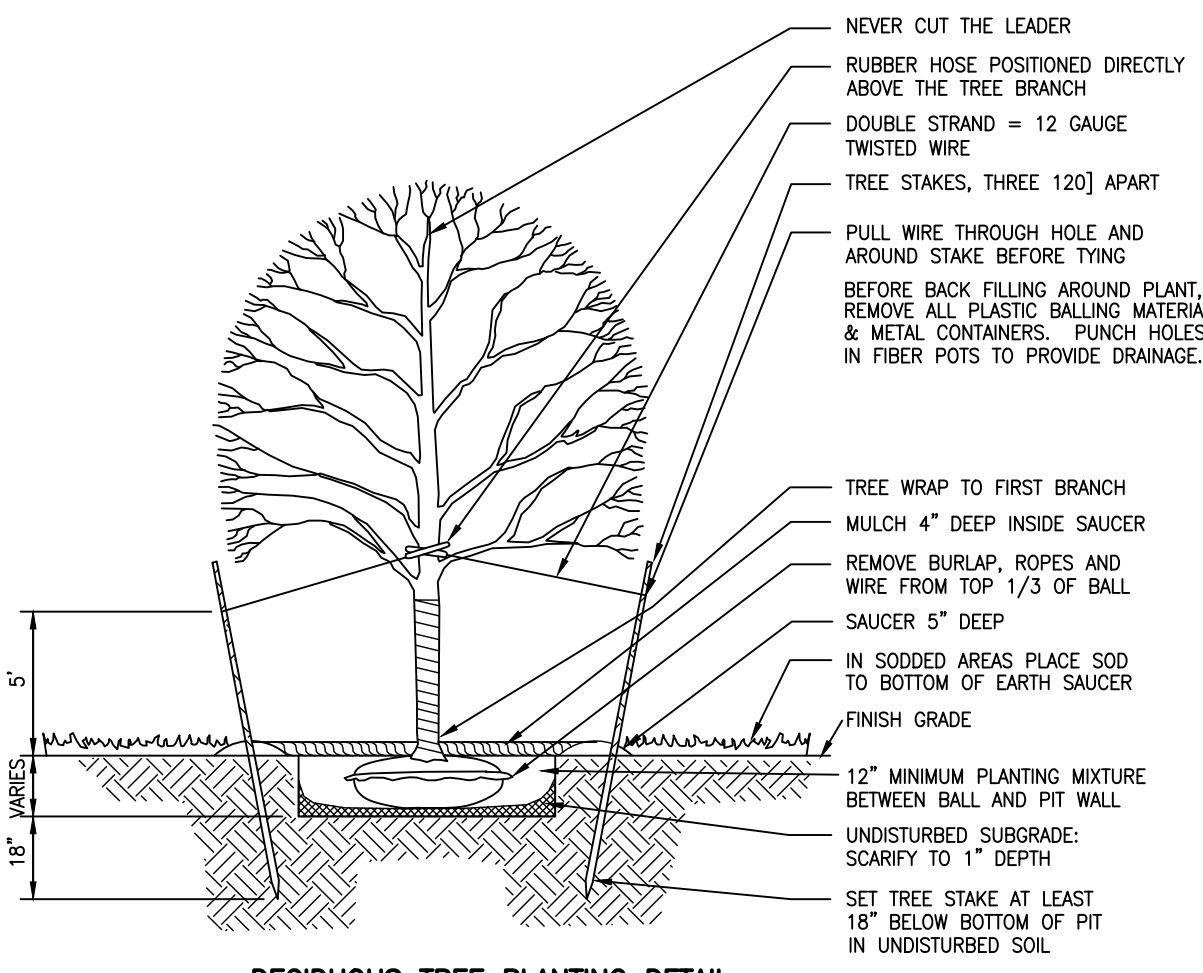
**GENOA PLAZA**  
USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WYOM, MI 48393  
248.773.7952

**UTILITY PLAN**

DESIGNED BY: TD	DATE: 9-21-16
DRAWN BY: CD	TOWNSHIP REVIEW PER: [ ]
CHECKED BY: [ ]	REVISION PER: [ ]
SCALE: 1" = 30'	NO BY: [ ]
JOB NO. 16-243	DATE: 08/22/16
DATE: 08/22/16	SHEET NO. C5

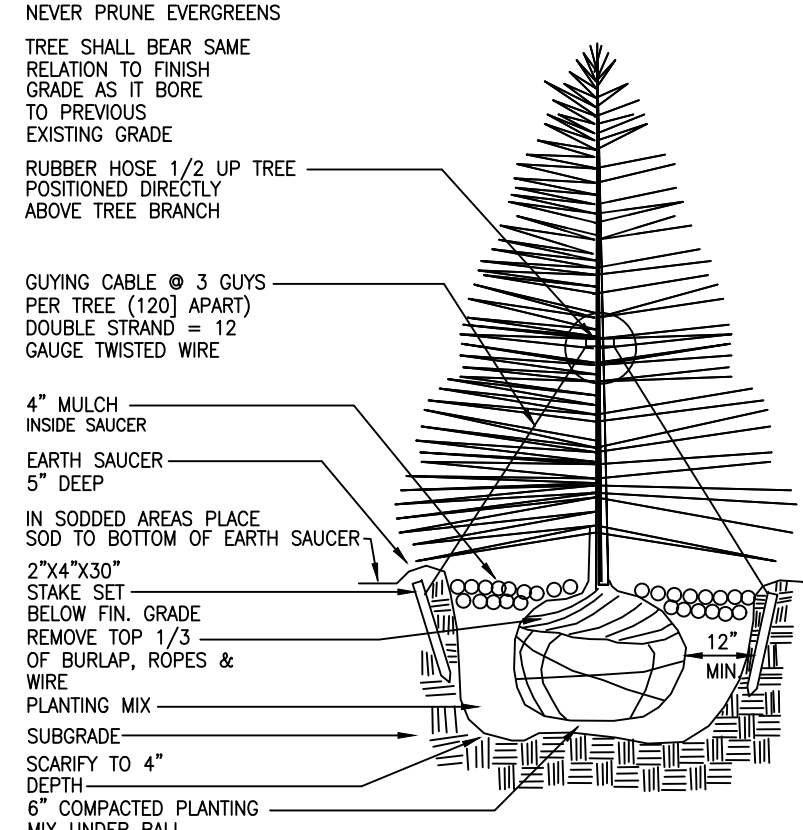
**BEBOSS Engineering**





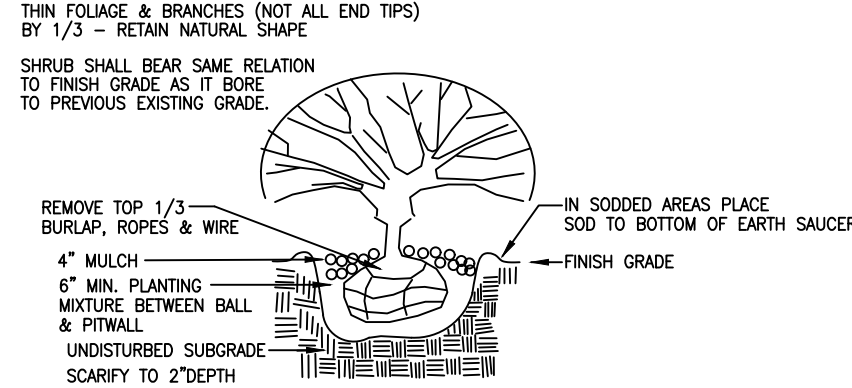
**DECIDUOUS TREE PLANTING DETAIL**  
(NO SCALE)

BEFORE BACK FILLING AROUND PLANT, REMOVE ALL PLASTIC BALLING MATERIAL & METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE. NEVER PRUNE EVERGREENS. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



**EVERGREEN TREE PLANTING DETAIL**  
(NO SCALE)

BEFORE BACK FILLING AROUND PLANT, REMOVE ALL PLASTIC BALLING MATERIAL & METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE. THIN FOLIAGE & BRANCHES (NOT ALL END TIPS) BY 1/3 - RETAIN NATURAL SHAPE. SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



**SHRUB PLANTING DETAIL**  
(NO SCALE)

**NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.
- ALL LANDSCAPE AREAS ARE TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

**PLANT LIST**

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
<b>TREES</b>					
MS	1	Magnolia x soulangeana	Saucer Magnolia	2\"/>	

**(NRPU) NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT LANDSCAPE REQUIREMENTS**

- ONE PARKING LOT TREE SHALL BE PROVIDED FOR EACH 2000 SQFT OF PAVED PARKING, INCLUDING AISLES, SERVICE AREAS, DRIVEWAYS, AND DRIVES.
- TREES REQUIRED: 37,000 SQFT OF PAVED SURFACE / 2000 SQFT = 19 TREES
- TREES PROVIDED: 20 TREES
- AN EXTENSIVELY LANDSCAPED GREENBELT SHALL BE PROVIDED ALONG EXISTING PUBLIC STREETS. SAID GREEN BELT SHALL INCLUDE CLOSELY SPACED STREET TREES AND HEDGE ROWS TO SCREEN THE PARKING LOT.
- PEDESTRIAN GATHERING AND SEATING PLAZAS, GREENWAYS, AND TREE LINED DRIVES SHALL BE WITHIN PARKING LOTS AND THROUGHOUT THE SITE TO PROVIDE AN INVITING PEDESTRIAN ENVIRONMENT, PROTECTION OF THE PEDESTRIAN FROM VEHICULAR CIRCULATION, FOR IMPROVED TRAFFIC OPERATION, AND VIEWS.

**NOTES**

- TOWNSHIP ENTRANCEWAY SIGN SHALL BE LOCATED WITHIN PROPERTY LINES OF THE SITE. PLANTINGS MAY EXTEND INTO ROAD COMMISSION RIGHT OF WAY AS SHOWN AS LONG AS LINE OF SIGHT IS MAINTAINED AND PLANTS DO NOT EXCEED 2 FT. IN HEIGHT.
- TOWNSHIP TO INSTALL AND MAINTAIN ENTRANCEWAY SIGN.
- DUE TO UNKNOWN SIZE OF TOWNSHIP ENTRANCEWAY SIGN DIMENSIONS HAVE BEEN ASSUMED AT THE SIZE SHOWN. PLANTING ARRANGEMENTS ARE ALSO BASED UPON ASSUMED SIZE SO, ONCE SIGN IS DIMENSIONED THE PLANTING ARRANGEMENT MAY NEED TO BE ALTERED.
- ALL LANDSCAPING SHALL BE WATERED BY AN UNDERGROUND IRRIGATION SYSTEM.
- WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BED AREAS.

**PLANT LIST- TOWNSHIP ENTRANCEWAY SIGN**

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
<b>SHRUBS</b>					
TOD	11	Thuja occidentalis 'Danica'	Danica Arborvitae	24\"/>	

**GENERAL LANDSCAPE NOTES:**

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY AND SHALL BE NURSERY GROWN. ALL SIZES AND MEASUREMENTS SHALL CONFORM TO ANSI Z60 STANDARDS. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF 12 INCHES AND BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL FROM ON SITE, 1 PART PEAT, AND 5 POUNDS OF SUPERPHOSPHATE PER CUBIC YARD OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED TO A UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A 3 INCH LAYER OF SHREDDED BARK MULCH.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED. IN WRITING, BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD TIME, ALL DEAD PLANTS AND PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
- ALL LANDSCAPE BEDS SHALL BE EDGED WITH BLACK ALUMINUM EDGING, 1/8" X 4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUEGRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4 INCH, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10 INCHES BY 18 INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36 HOURS AFTER CUTTING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF ONE MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED. SEED MIXTURE SHALL BE AS FOLLOWS:
 

KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES):	30%
ADELPHI, RUGBY, CLADE OR PARADE:	30%
RUBY RED OR DAWSON RED FINE FESCUE	20%
ATLANTA RED FESCUE	20%
PENNFINE PERENNIAL RYE	20%

 THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 POUNDS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL LAYER SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:
  - 10% NITROGEN: A MINIMUM OF 25% FROM A UREA-FORMALDEHYDE SOURCE
  - 0% PHOSPHATE
  - 10% POTASH: SOURCE TO BE POTASSIUM SULFATE OR POTASSIUM NITRATE.
 THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 POUNDS OF BULK FERTILIZER PER 1000 SQUARE FEET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE LAWN THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEDED AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDING AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL PLANT MATERIALS SHALL BE FREE OF WEEDS, INSECTS AND DISEASE.

**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
-900	-900	CONTOUR
T/C	+922.08	STORM DRAINAGE FLOW
XXX.XX		SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
GAS	GAS	GAS
TELEPHONE	TELEPHONE	TELEPHONE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE	FENCE	FENCE
SIGN	SIGN	SIGN
SAN 1	SAN 1	SANITARY SEWER LABEL
SS 1	SS 1	STORM SEWER LABEL
WATER MAIN LABEL		WATER MAIN LABEL
SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)		SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
SILT FENCE		SILT FENCE
LIMITS OF GRADING/CLEARING		LIMITS OF GRADING/CLEARING
SEED		SEED
GROUND COVER		GROUND COVER

**GENOA PLAZA**

USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WILKON, MI 48393  
248.773.7992

PROJECT PREPARED FOR

TITLE

NO.	BY	DATE
1	TD	9-21-16

DESIGNED BY: TD

DRAWN BY: CD

CHECKED BY:

SCALE 1" = 30'  
JOB NO. 16-243

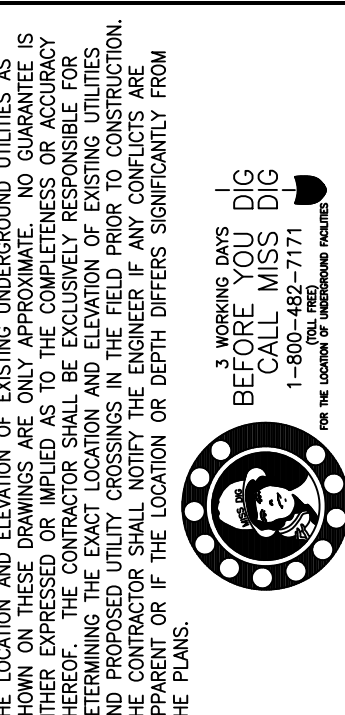
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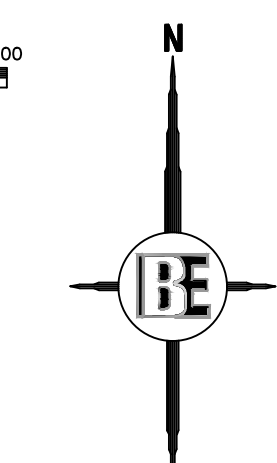
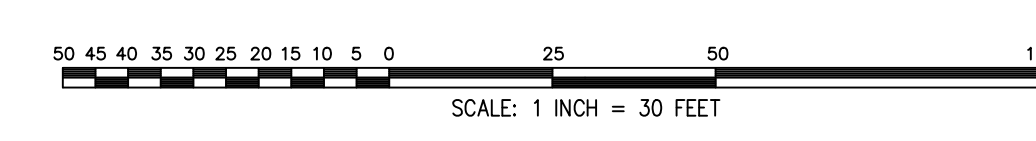
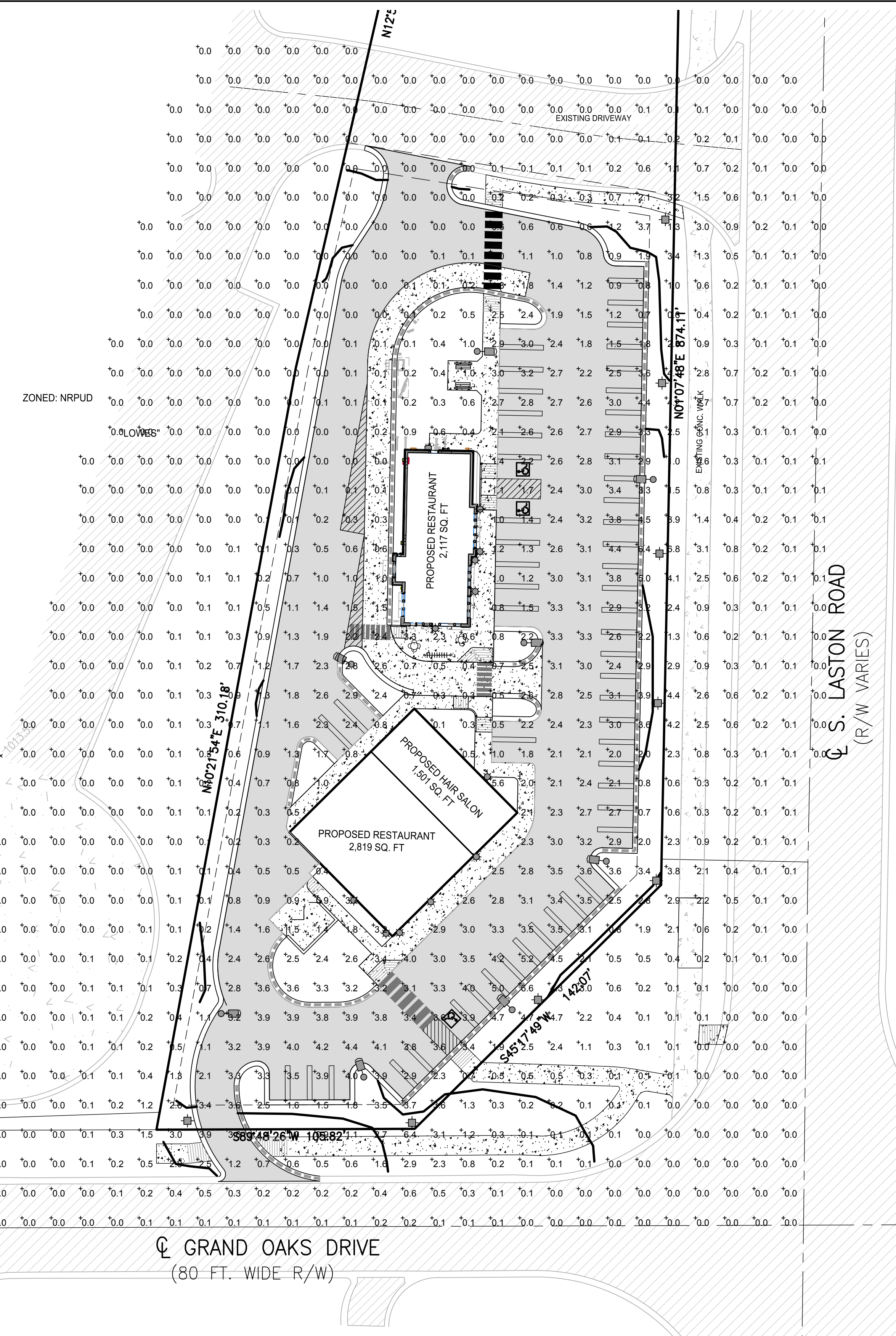
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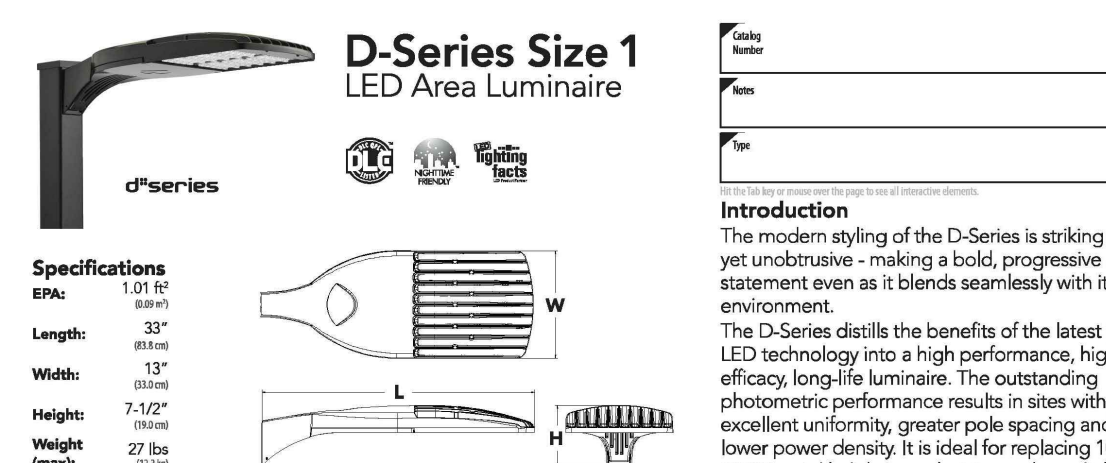
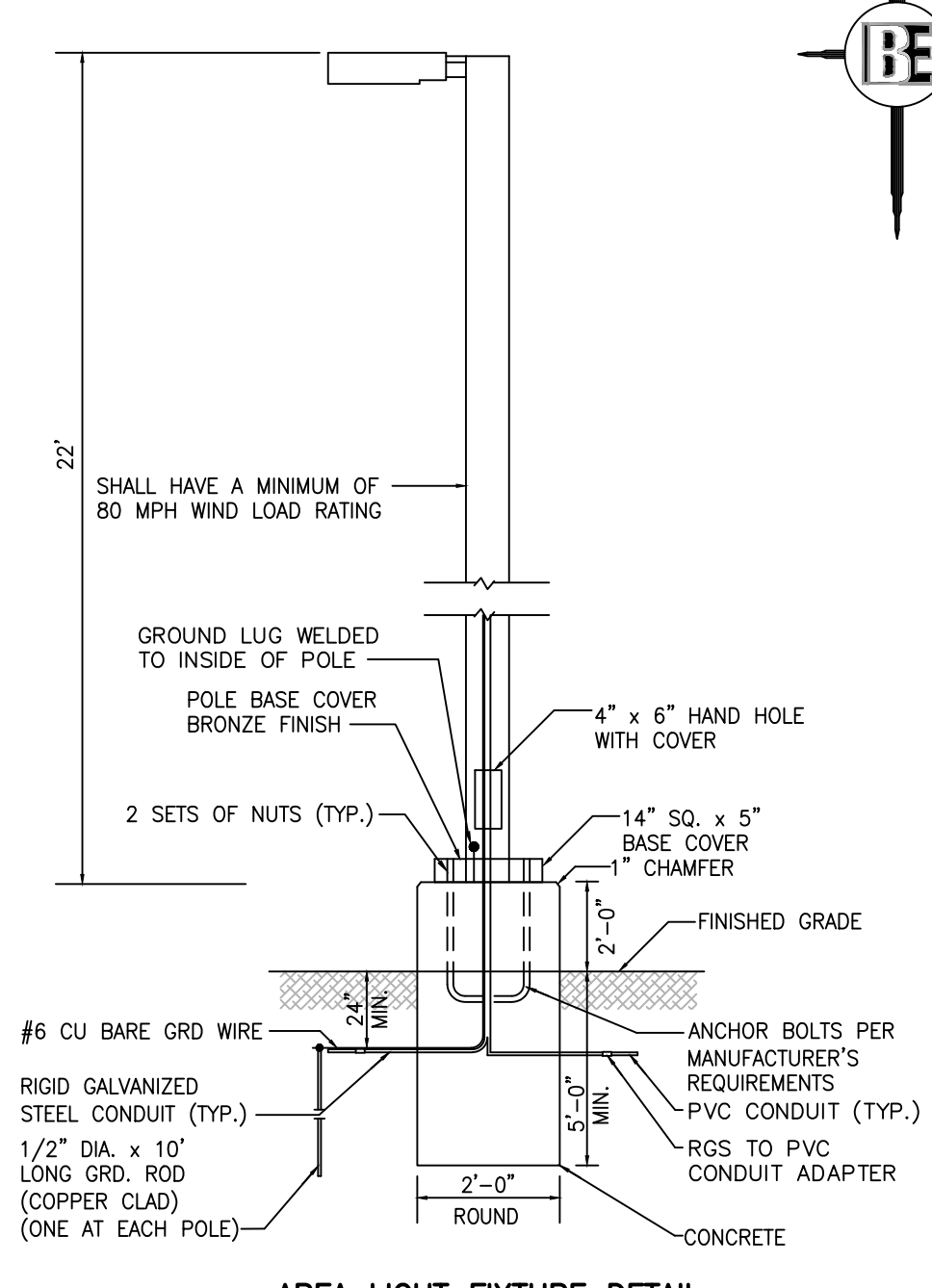
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE LOCATION OR DEPTH OFFERS SUBMITTANT FROM THE PLANS. BEFORE YOU DIG CALL 1-800-487-7171





LEGEND		
PROPOSED (PR)	EXISTING (EX)	
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE	FENCE	FENCE
SIGN	SIGN	LIMITS OF GRADING/CLEARING
DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE
SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE
WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE
GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE
FOOT CANDLES ON SITE	FOOT CANDLES ON SITE	FOOT CANDLES ON SITE

- ### GENERAL LIGHTING NOTES
- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
  - ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2' ABOVE GRADE IN PARKING LOTS AS SHOWN IN DETAIL.
  - ALL POLES LOCATED OUTSIDE OF THE PARKING AREA SHALL BE LOCATED 3' FROM BACK OF CURB OR EDGE OF SIDEWALKS.
  - SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE POLES NEED TO BE SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.



**D-Series Size 1 LED Area Luminaire**

**Specifications**  
 EPA: 1.01 ft  
 Length: 33"  
 Width: 13"  
 Height: 7.52"  
 Weight: 27 lbs  
 (max)

**Introduction**  
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100-400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Series	LEDs	Drive current	Color Temperature	Distribution	Input	Mounting
DSX1 LED	Forward optics	150 1.0A	3000K	175 Type I/Short	175 Type I/Short	MS121
DSX1 LED	DSX1 (200mA)	150 2.00A	4000K	175 Type I/Short	175 Type I/Short	DS1
DSX1 LED	DSX1 (200mA)	150 3.00A	5000K	175 Type I/Short	175 Type I/Short	DS1
DSX1 LED	DSX1 (200mA)	150 4.00A	6000K	175 Type I/Short	175 Type I/Short	DS1
DSX1 LED	DSX1 (200mA)	150 5.00A	7000K	175 Type I/Short	175 Type I/Short	DS1

### Product Bulletin

#### SMAL-LED Memphis Luminaire

The SMAL-LED Memphis luminaire evokes the traditional decorative post-top theme of many North American landmark parks and cities while delivering the benefits associated with solid state lighting technology. Most notably, users will realize a reduction in energy consumption, maintenance, down time, and various costs associated with today's sustainable initiatives.

At the heart of SMAL-LED is Sentry's optical system, which works in tandem with the LED module to provide comfortable, pleasing, indirect light. Several light distribution choices, system wattages and color temperatures satisfy a multitude of application needs.

**Features**

- Choices of lumen output, color temperature, and light distributions to suit multiple applications.
- Driver and light engine are backed by 5-year system warranty.
- Built-In Category C3 surge protection to help ensure long-term reliability.
- High gloss Super Durable polyester powder coat paint enhances the aesthetic appearance and provides a long-lasting, protective finish.
- Lightweight, impact-resistant globe for ease of installation, reduced shipping costs, and repelling of would-be vandals.
- Corrosion resistant stainless steel mounting hardware.
- Made in USA.

<b>Ambient Temperature</b>	-40° C minimum to 35° C maximum (Luminaire not to operate at maximum temperature for a period of time longer than 15% of total operating hours.)
<b>CRF</b>	80
<b>Color Temperature</b>	2700K, 3000K, 3500K, 4000K
<b>Rated Life (L70B50) @ 25° C Ambient Temperature</b>	50,000 Hours at 70% lumen maintenance
<b>Surge Protection</b>	Surge current rating of 20 kA using standard 8/20 µsec wave. Protected line-neutral, line-ground, and neutral-ground in accordance with ANSI/IEEE 62.41, Category C3.
<b>Driver Specifications</b>	<ul style="list-style-type: none"> <li>120-277V power supply</li> <li>Compatible with 0-10V and step dimming lighting control systems</li> <li>Complies with the requirements of UL and CSA</li> </ul>

**Sentry ELECTRIC**

**SMAL-LED**

Sentry Electric LLC  
 185 Buffalo Avenue, Freeport, New York 11520  
 Telephone: 516.378.4660 Fax: 516.378.0624  
[www.sentrylighting.com](http://www.sentrylighting.com) info@sentrylighting.com

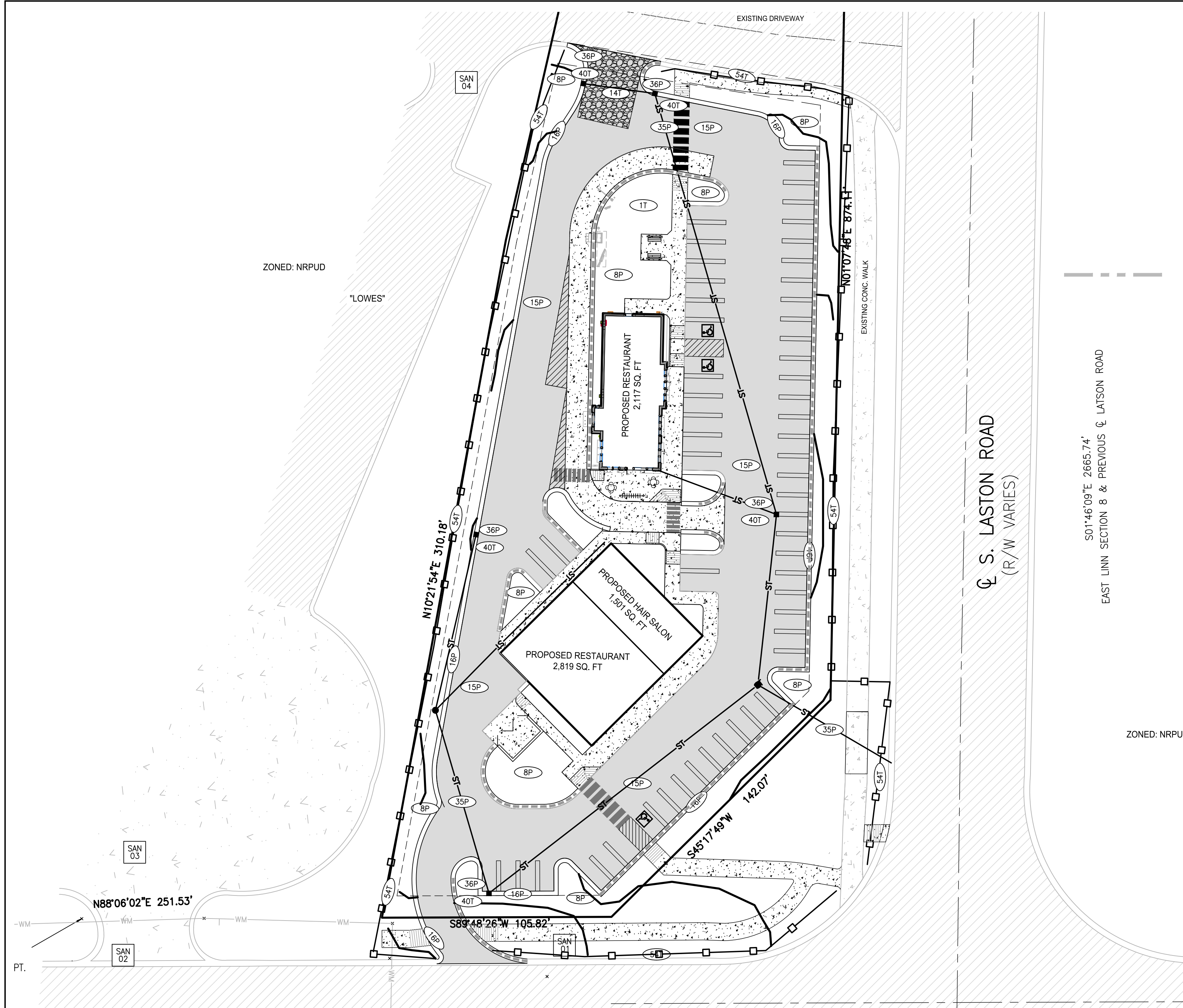
SYMBOL	LABEL	QTY.	DESCRIPTION	CATALOG NUMBER	LAMP	LUMENS	LLF	POLE HEIGHT	BASE HEIGHT	TOTAL HEIGHT
☀	LA	11	LSI GREENLEE LED LEXINGTON DECORATIVE FIXTURE	XLXM3-PT-5-LED-63-450-CW-UE-MSV-PC1120	LED	ABSOLUTE	.95	8'	0'	8'
☀	LB	8	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T5M OPTIC, 4000K, @ 1050mA WITH HOUSE SIDE SHIELD	DSX1 LED 60C 1000 40K T5M MVOLT HS	LED	ABSOLUTE	.95	22'	2'	24'
☀	LC	1	GENERAL PURPOSE LED CAST FLUSH MOUNT	OLCFM 15D	LED	ABSOLUTE	.95	12'		12'
☀	LD	8	SENTRY ELECTRIC SMAL-LED MEMPHIS LUMINAIRE	SMAL-50LEDV29-1.4A-840-SPRS-BPC120V-BK	LED	ABSOLUTE	.95	12'		12'

PROJECT: GENOA PLAZA  
 PREPARED FOR: USA 2 GO  
 28265 BECK ROAD, SUITE C-2  
 WILKON, WI 48393  
 248.773.7952  
 TITLE: LIGHTING PLAN  
 DATE: 9-22-16  
 SHEET NO. C7

BEBOSS Engineering  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI 48843  
 800.246.6735 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING LOCATION AND ELEVATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONTACTS ARE ENCOUNTERED OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

3 WORKING DAYS BEFORE YOU DIG 1-800-487-7171



### CONSTRUCTION SEQUENCE

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1 DAY	1. INSTALL SILT FENCE AND STORM DRAINAGE PROTECTION.
5 DAYS	2. SITE DEMOLITION
10 DAYS	3. INSTALL STORM SEWER, & INLET PROTECTION
120 DAYS	4. BEGIN BUILDING CONSTRUCTION
5 DAYS	5. ROUGH GRADE
10 DAYS	6. INSTALL PAVEMENT AND WALKS
3 DAY	7. FINE GRADE, SPREAD TOPSOIL AND SEED.
1 DAY	8. REMOVE ALL EROSION CONTROL STRUCTURES.
1 DAY	9. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

### CONTROLS & MEASURES NARRATIVE

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING
DUST CONTROL	SPRINKLE WATER AS NEEDED.

### CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE

ACTIVITY	DAILY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH		X	X	X
CLEAN INLETS		X	X	X
COLLECT LITTER		X	X	X
SWEEP PAVED AREAS		X	X	X
SCRAPED PAVED AREAS	X			

### SOILS INFORMATION:

- MIAMI LOAM 2-6% SLOPES

### LEGEND

PROPOSED (PR)	EXISTING (EX)	
900	900	CONTOUR
T/C	+ 922.08	SPOT ELEVATION
xxx.xx		FINISHED FLOOR ELEVATION
FF	FF	FINISHED GRADE ELEVATION
FG	FG	TOP OF ASPHALT
T/A	T/A	TOP OF WALK / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWARD STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
G	G	GAS
OH	OH	OVERHEAD WIRE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE	FENCE	FENCE
SIGN	SIGN	SIGN
NOT FIELD VERIFIED TO BE REMOVED	NOT FIELD VERIFIED TO BE REMOVED	NOT FIELD VERIFIED TO BE REMOVED
STORM SEWER LABEL	STORM SEWER LABEL	STORM SEWER LABEL
SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
SILT FENCE	SILT FENCE	SILT FENCE
LIMITS OF GRADING/CLEARING	LIMITS OF GRADING/CLEARING	LIMITS OF GRADING/CLEARING
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
MODIFIED CURB	MODIFIED CURB	MODIFIED CURB

## SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED, OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

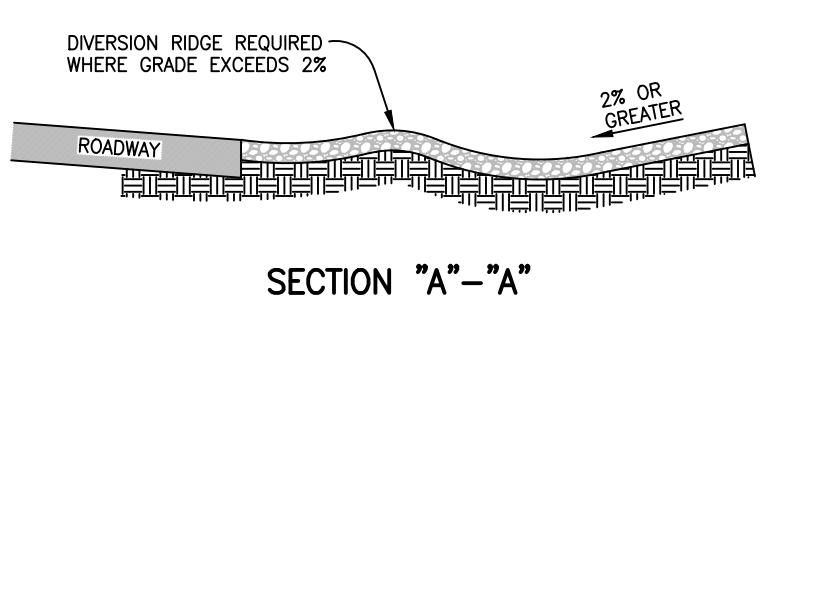
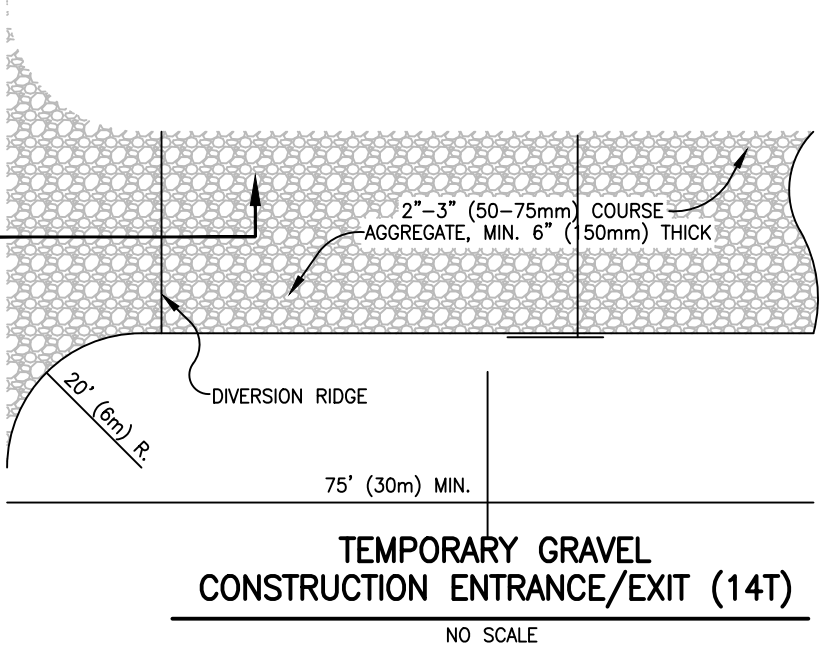
VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

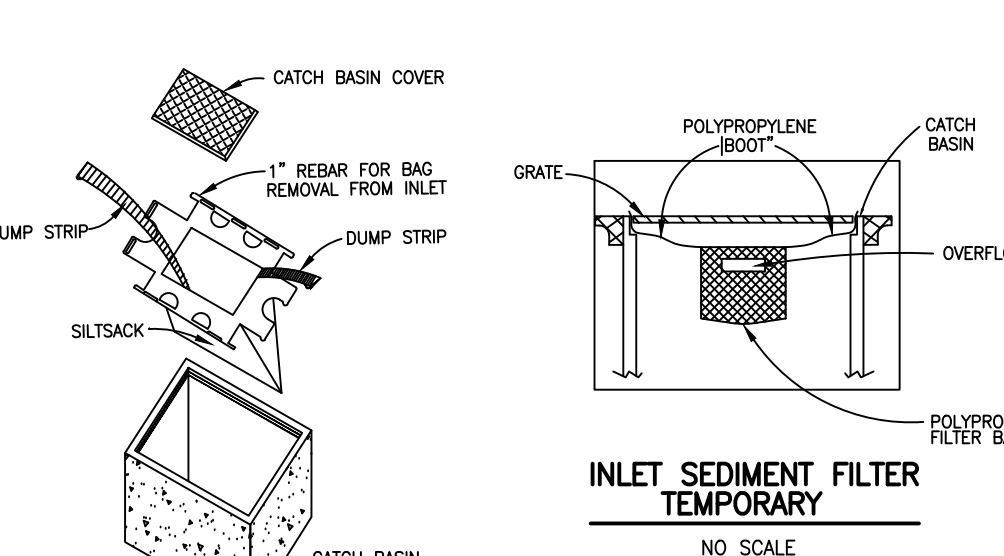
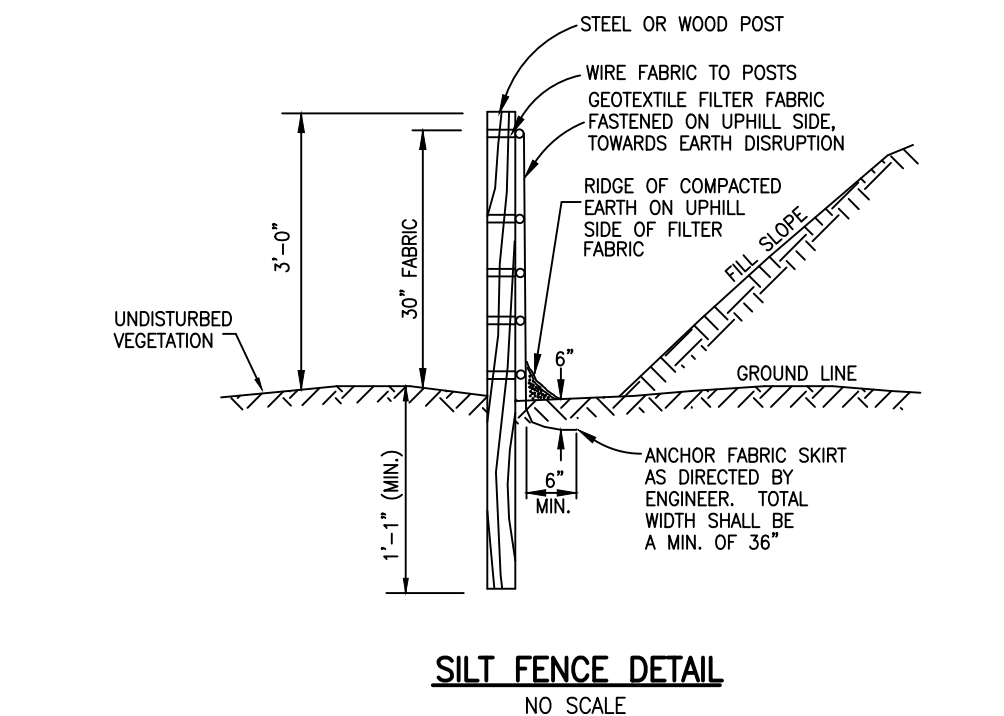
THE PERMANENT SOIL EROSION CONTROLS WILL BE MAINTAINED BY USA 2 GO.

## SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION)

- INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS. (ONE DAY)
- INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS. (ONE DAY)
- IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.
- STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES. (TWO DAYS)
- EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES. (FOUR DAYS)
- COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT. (TWO DAYS)
- SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING. (ONE DAY)
- REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY. (TWO DAYS)
- REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED. (ONE DAY)
- WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.
- STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- THE TEMPORARY SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY RSP CONSTRUCTION AT PHONE NUMBER (248) 747-3773.



**NOTE:**  
A SILT FENCE WITH AT LEAST ONE SECTION OF THE FENCE (6-8 FT) TURNED UPSLOPE AT EACH END TO FORM A "RETURN" IS NEEDED.



T= TEMPORARY, P= PERMANENT  
TOTAL AREA TO BE DISTURBED = 57,287 S.F. (1.25 AC.)

NO.	DESCRIPTION	DETAIL
1	STROPPING & STROPPING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION STOCKPILE SHOULD BE TEMPORARILY SEED.
8	SEEDING	PROVIDES IMMEDIATE PROTECTION CAN BE USED ON STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH. EASY TO PLACE, NOT BE DAMAGED, SHOULD INCLUDE PREPARED TOPSOIL BED.
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THIS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGE.
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS (ON ACCEPT USE CONDUITS OR PIPE) CONDUITS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION USE SAND BASINS TO COLLECT SEDIMENT.
36	CATCH BASIN, STRAIN FILTER	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
40	TRIPLE SEDIMENT FILTER	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED
54		USES GEOTEXTILE FABRIC AND POSTS OR PILES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

GENOA PLAZA

USA 2 GO

28265 BECK ROAD, SUITE C-2  
WILKON, MI 48393  
248.773.7952

SOIL EROSION CONTROL PLAN

DESIGNED BY: TD

DRAWN BY: CD

CHECKED BY:

SCALE 1" = 30'

JOB NO. 16-243

DATE 08/22/16

SHEET NO. C8

PROJECT: GENOA PLAZA

PREPARED FOR: USA 2 GO

TITLE: SOIL EROSION CONTROL PLAN

DATE: 9-21-16

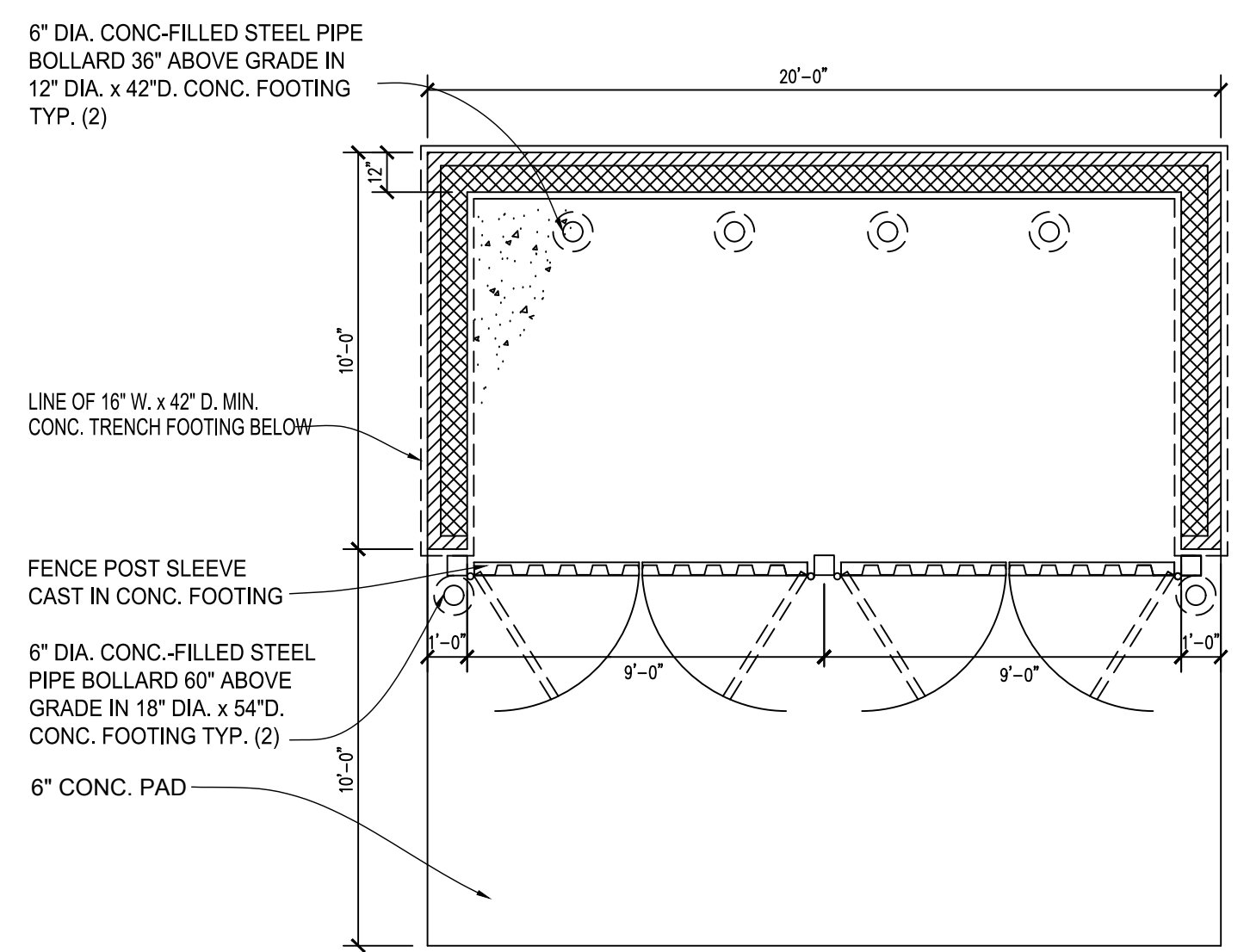
REVISION PER: TD

NO. BY: CD

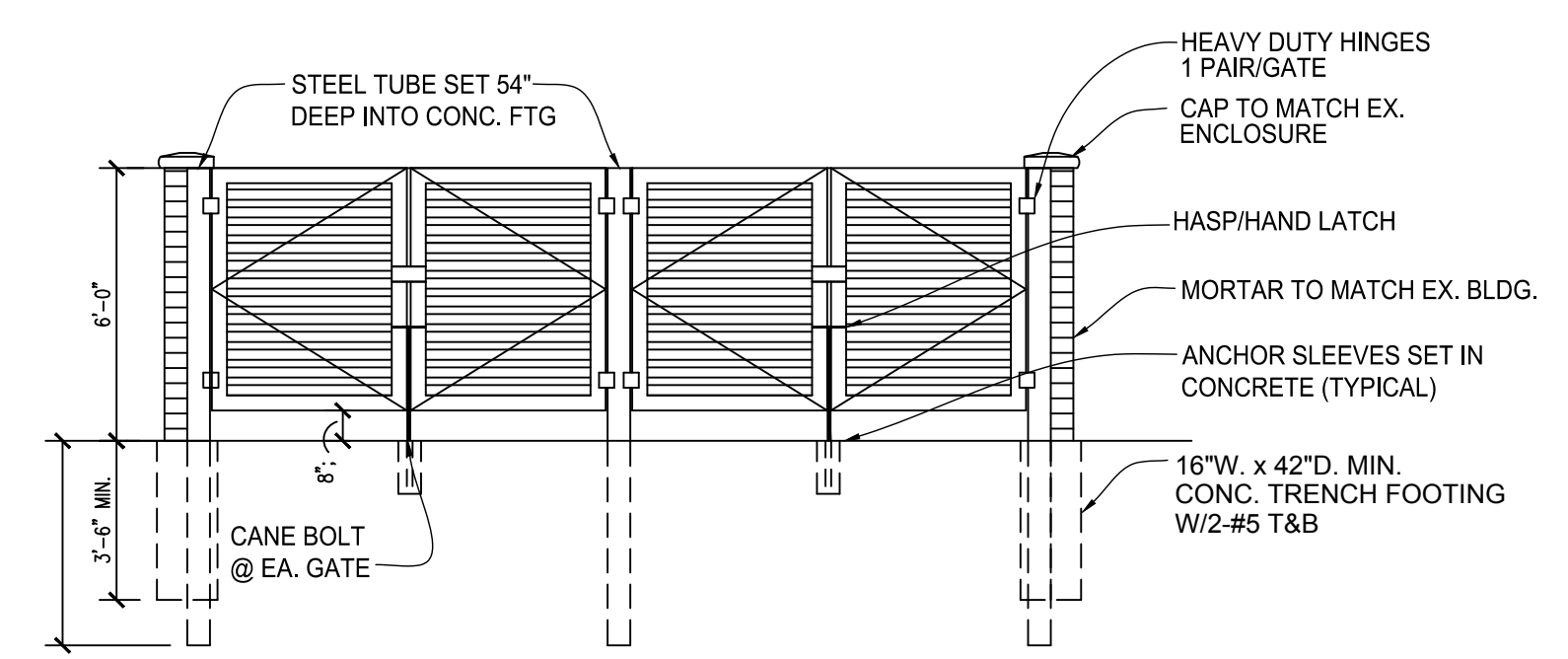
BOSS Engineering

Engineers Surveyors Planners Landscape Architects

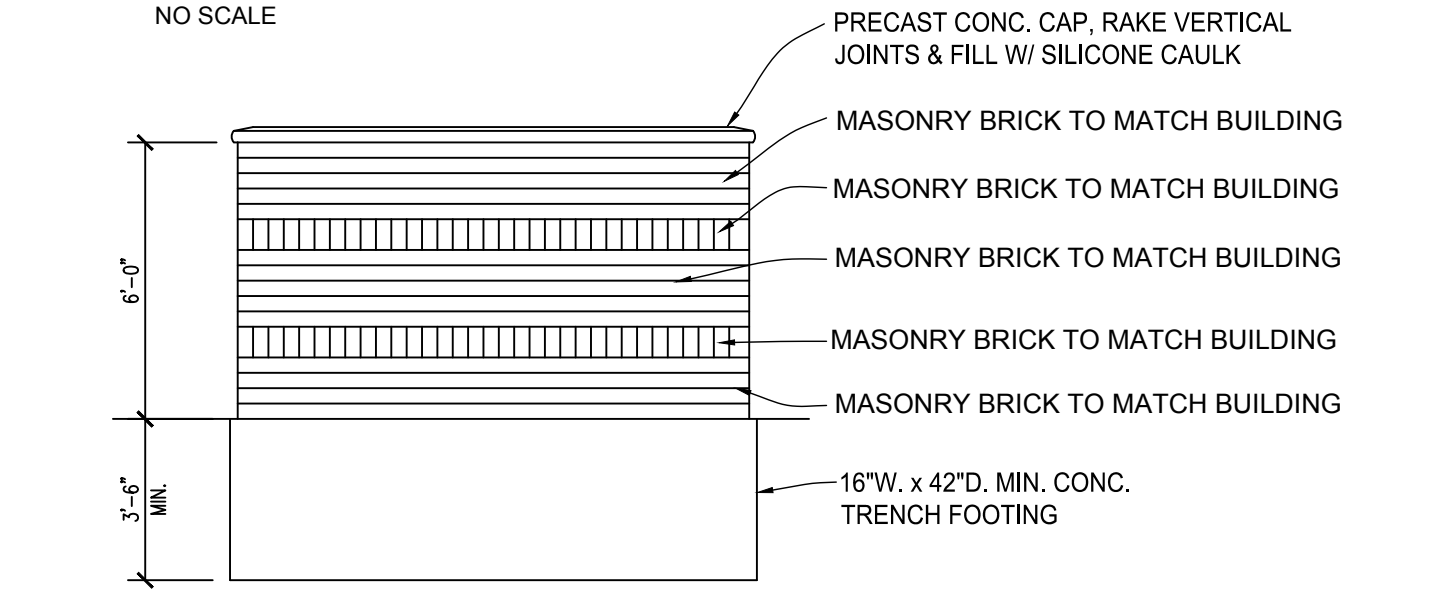
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
800.246.6735 FAX 517.548.1670



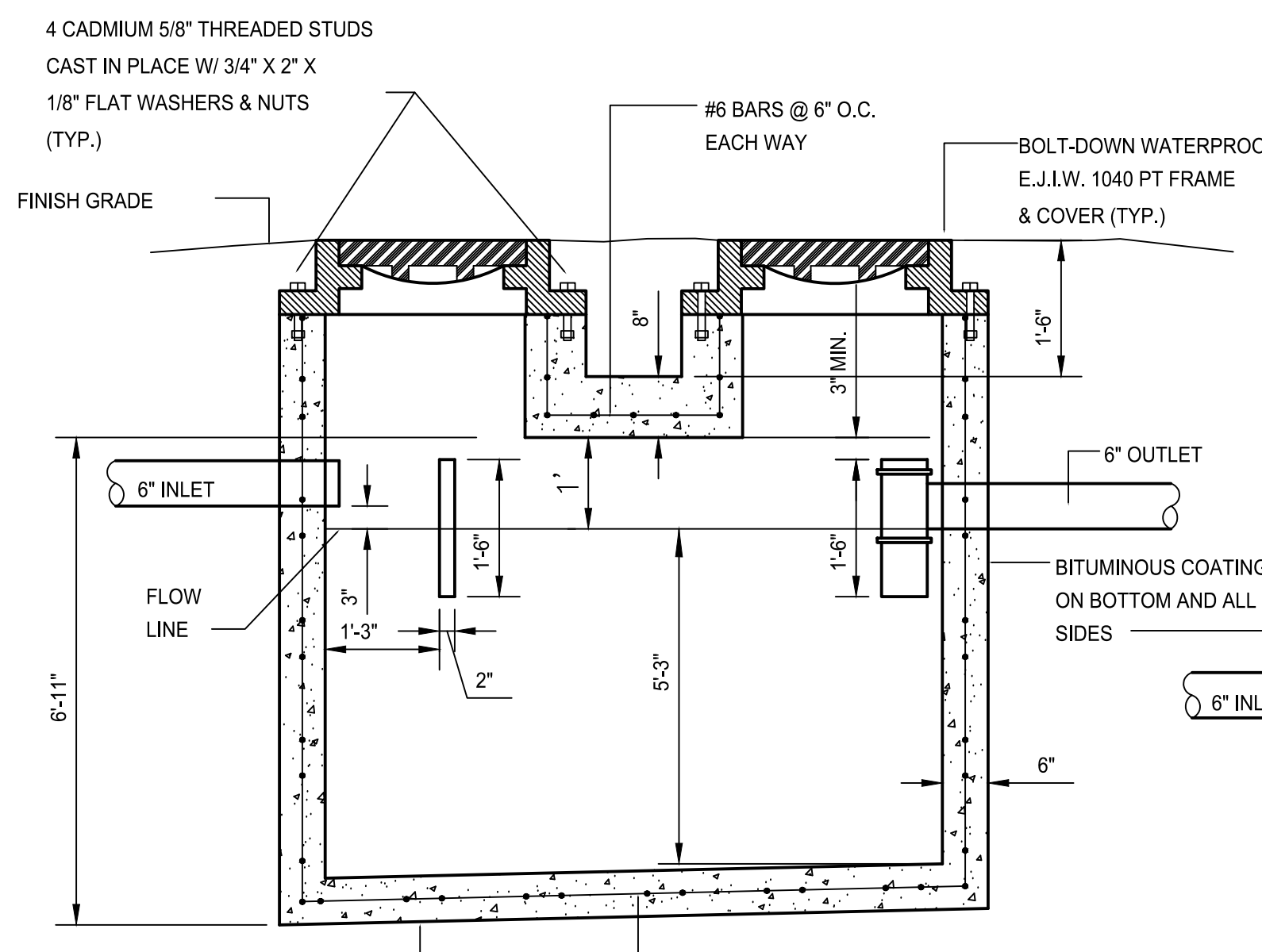
**REFUSE ENCLOSURE PLAN**  
NO SCALE



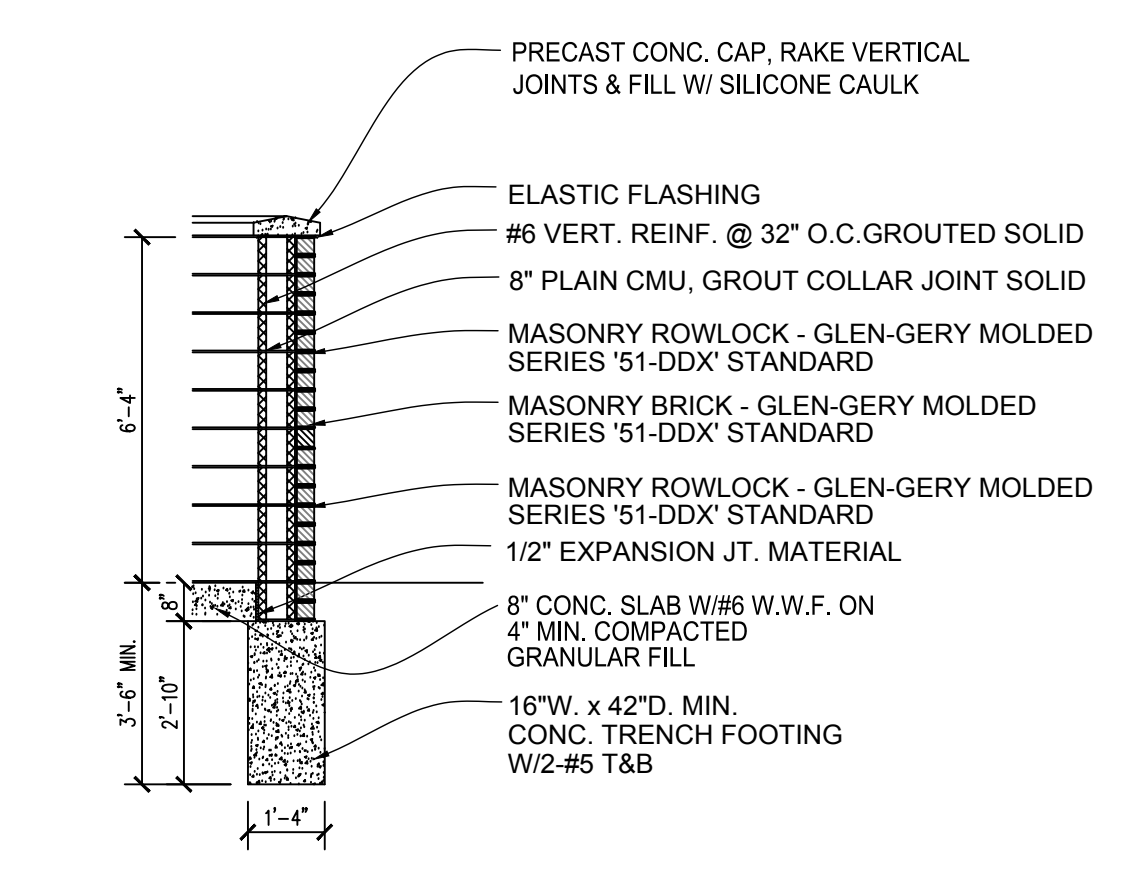
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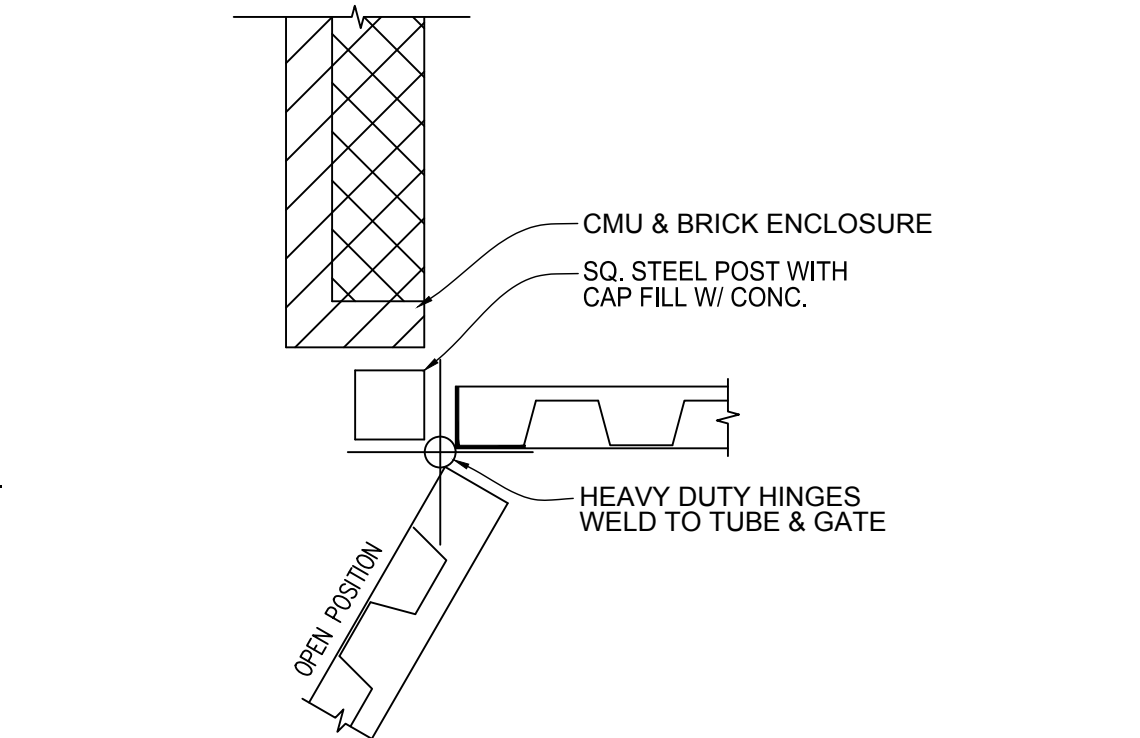
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NO SCALE



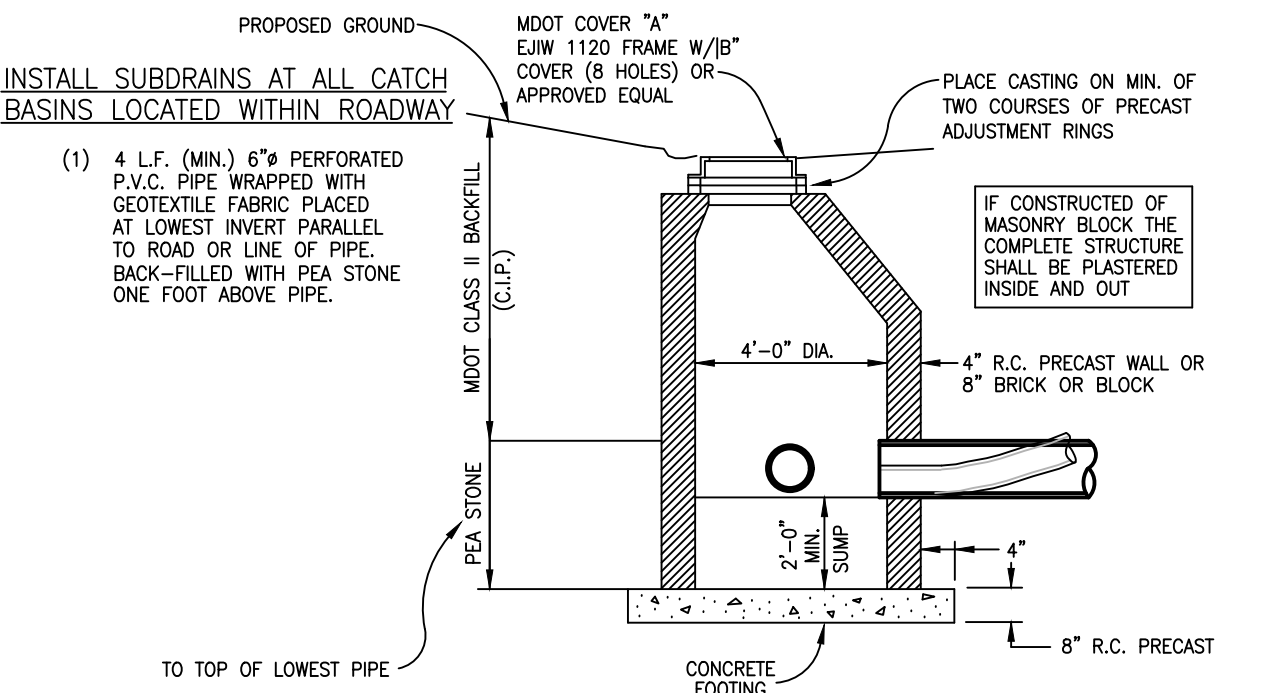
**1500 GALLON GREASE INTERCEPTOR (EXTERIOR)**  
NO SCALE



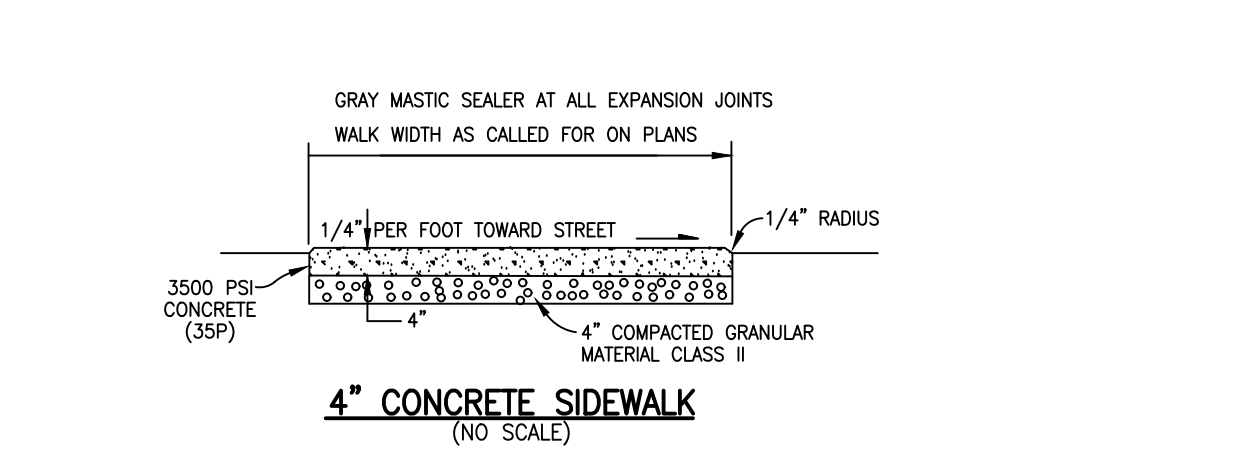
**REFUSE ENCLOSURE WALL SECTION**  
NO SCALE



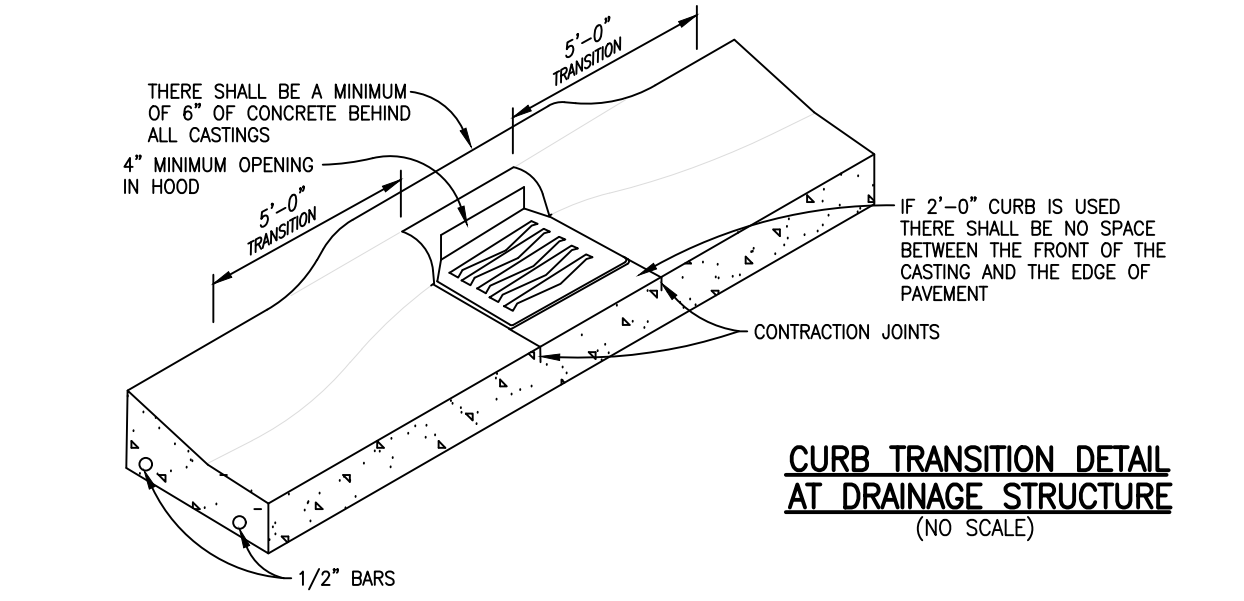
**GATE POST DETAIL**  
NO SCALE



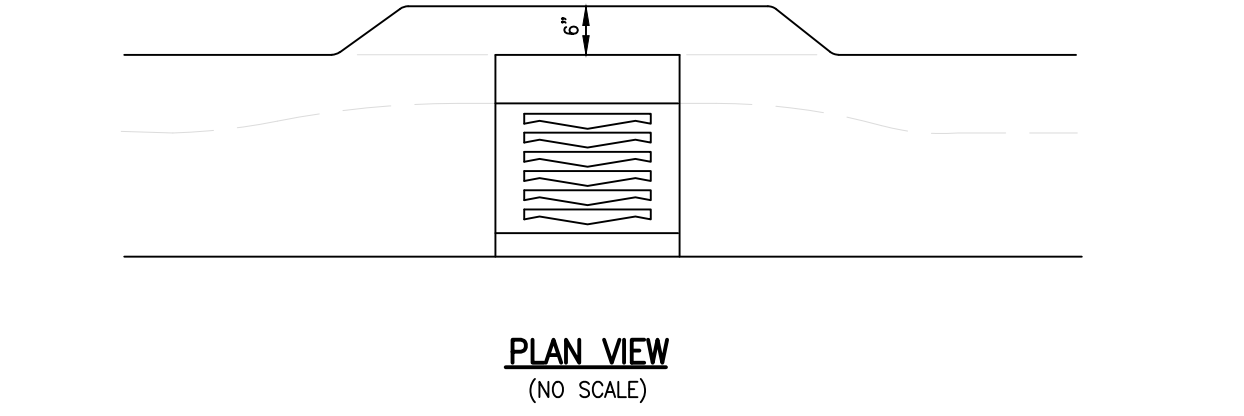
**4 FT. DIA. STORM MANHOLE W/SUMP**  
NO SCALE



**4" CONCRETE SIDEWALK**  
NO SCALE

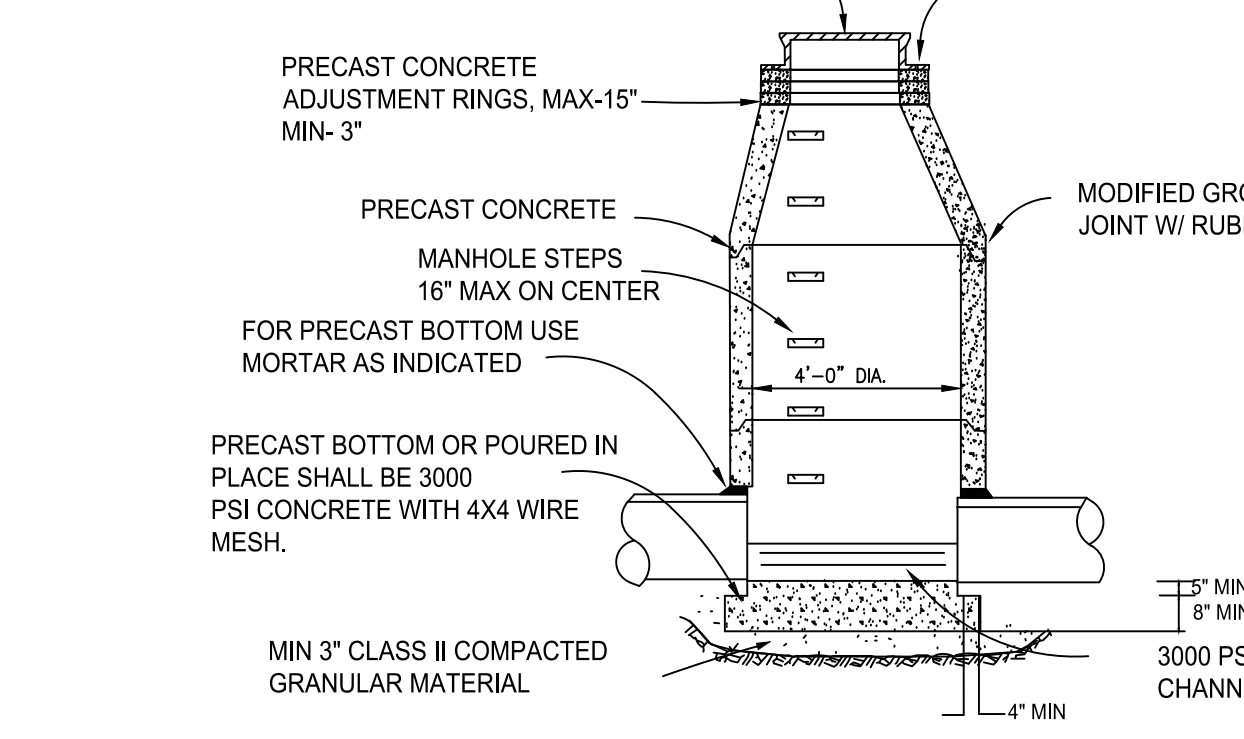


**CURB TRANSITION DETAIL AT DRAINAGE STRUCTURE**  
NO SCALE

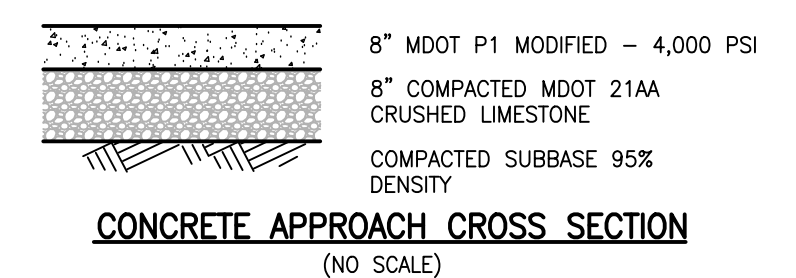


**PLAN VIEW**  
NO SCALE

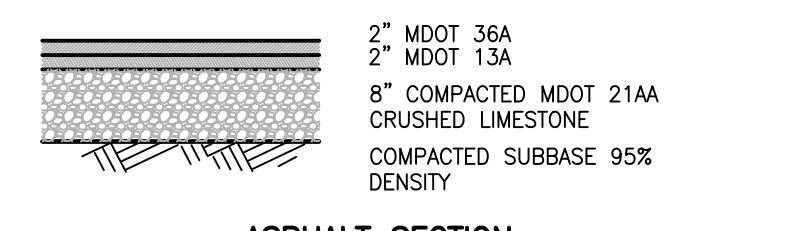
EJMW 1040 AGS WITH GASKET SEAL SOLID COVER WITH CASTING READING "DELHI TOWNSHIP MONITORING MANHOLE"



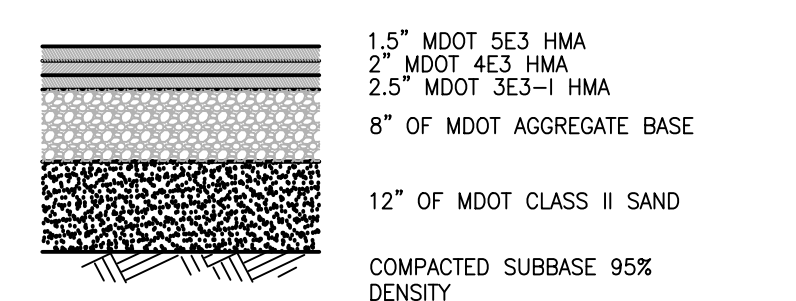
**4" DIA. SANITARY SERVICE MONITORING MANHOLE DETAIL**  
NO SCALE



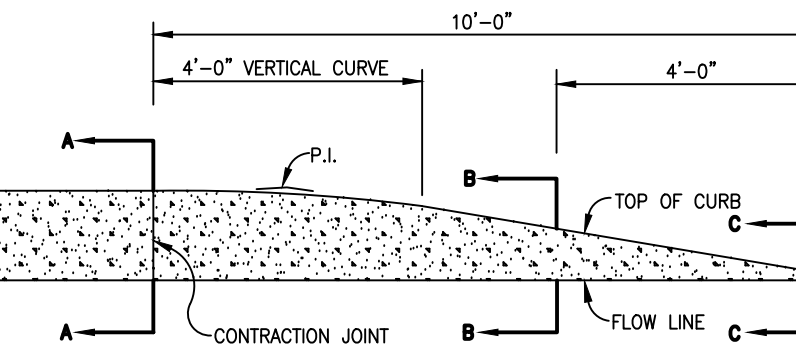
**CONCRETE APPROACH CROSS SECTION**  
NO SCALE



**ASPHALT SECTION**  
NO SCALE

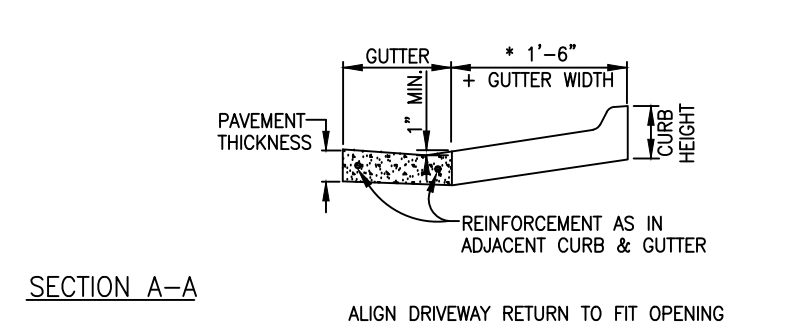


**GRAND OAKS R.O.W. ASPHALT SECTION**  
NO SCALE

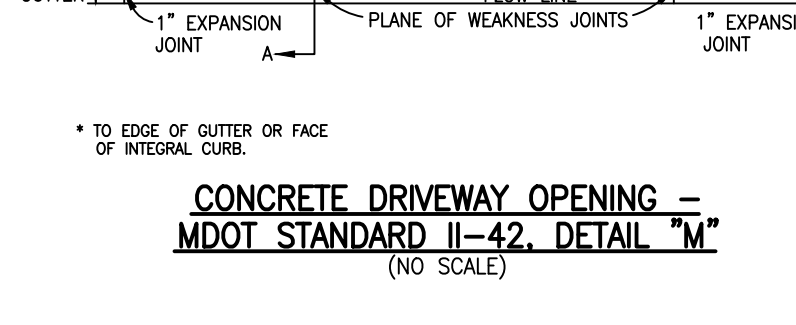


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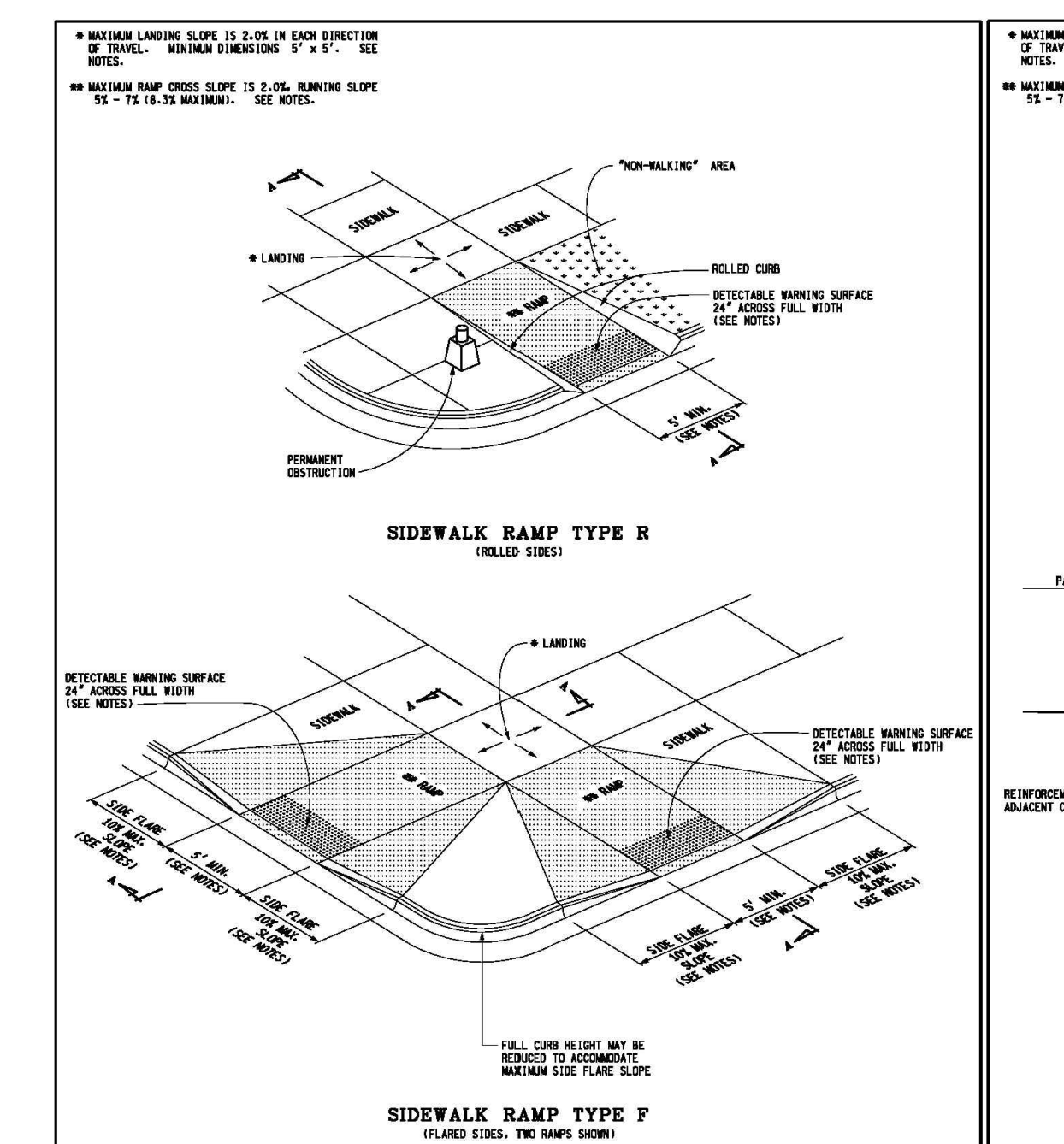
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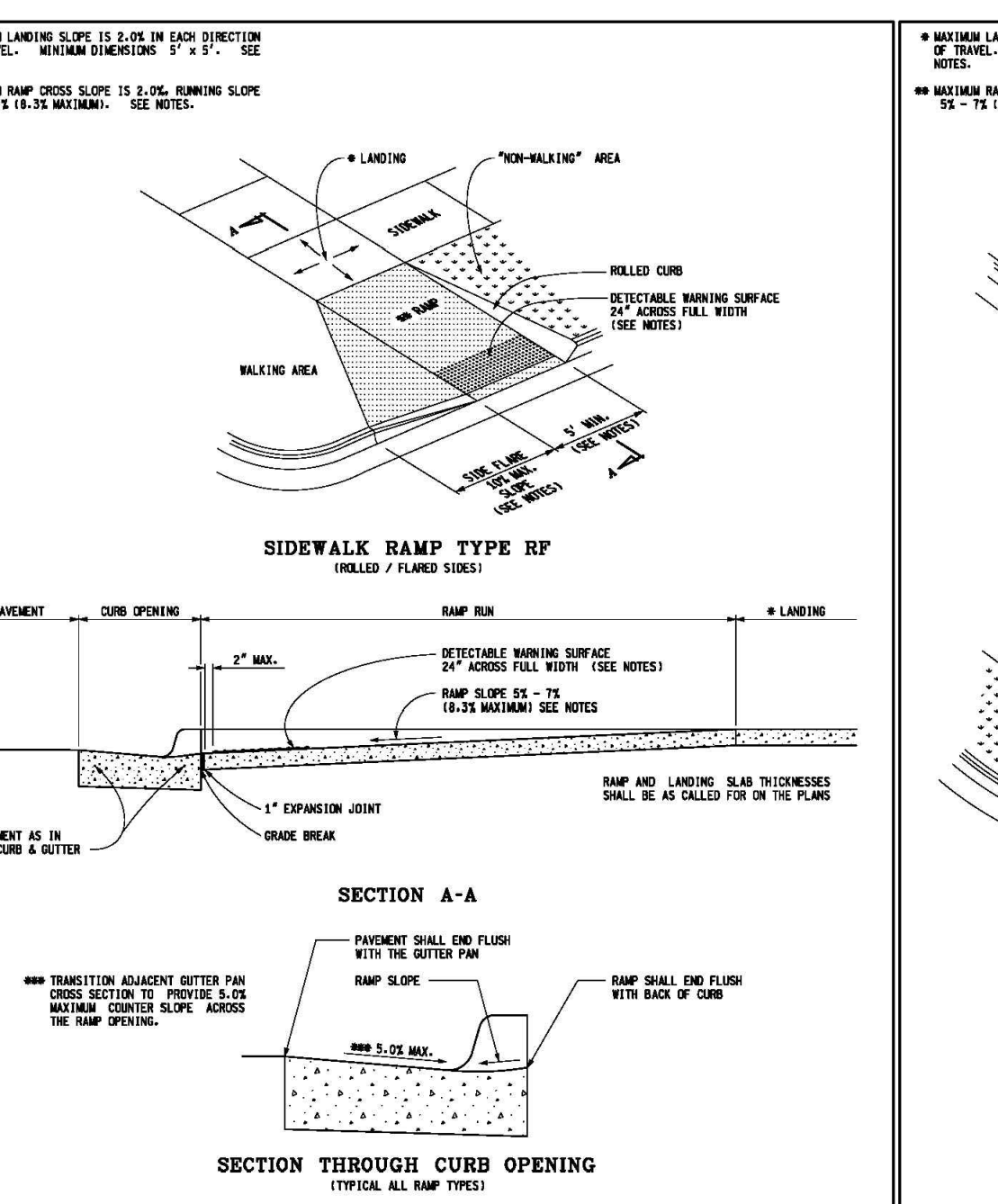
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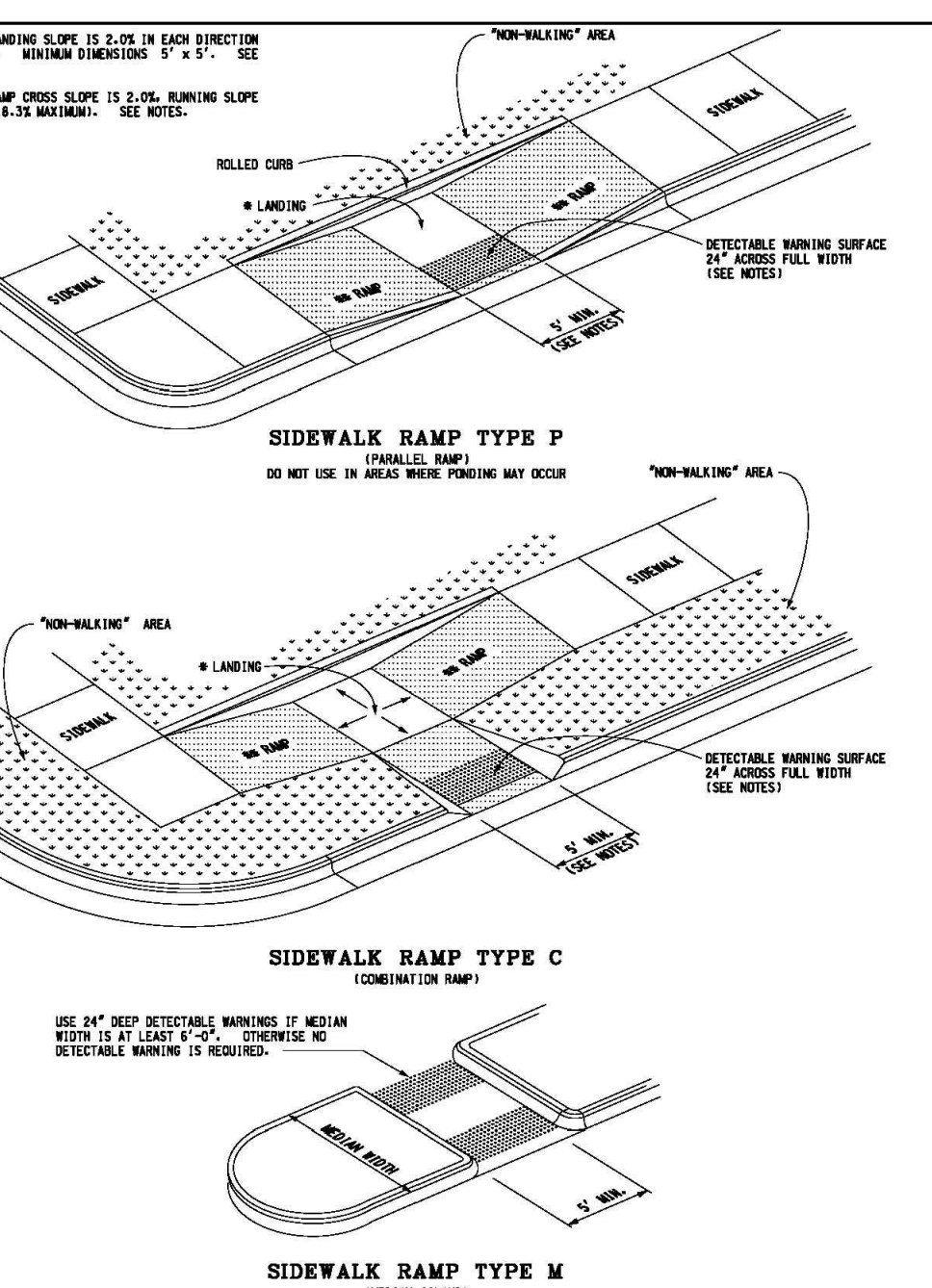
**CONCRETE DRIVEWAY OPENING - MDOT STANDARD II-42, DETAIL 'M'**  
NO SCALE



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
NO SCALE



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
NO SCALE



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
NO SCALE

BEBOSS Engineering  
Engineers Planners Landscape Architects  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
800.246.6735 FAX 517.548.1670

GENOA PLAZA  
USA 2 GO  
28265 BECK ROAD, SUITE C-2  
WILKON, MI 48393  
248.773.7952

NO.	BY	REVISION PER	DATE
1	TD	TOWNSHIP REVIEW PER	9-21-16
DESIGNED BY: TD			
DRAWN BY: CD			
CHECKED BY:			
SCALE: NO SCALE			
JOB NO. 16-243			
DATE: 08/22/16			
SHEET NO. C9			



CONSULTANT:

SEAL:

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DATE	ISSUED FOR	REV

<b>Project Manager</b> B. COLBURN	<b>Drawn</b> J. BROCK
<b>Project Leader</b> B. COLBURN	<b>Checked</b>
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b>
<b>Client</b>	

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
  
**BUILDING 'A'  
- FLOOR PLAN**

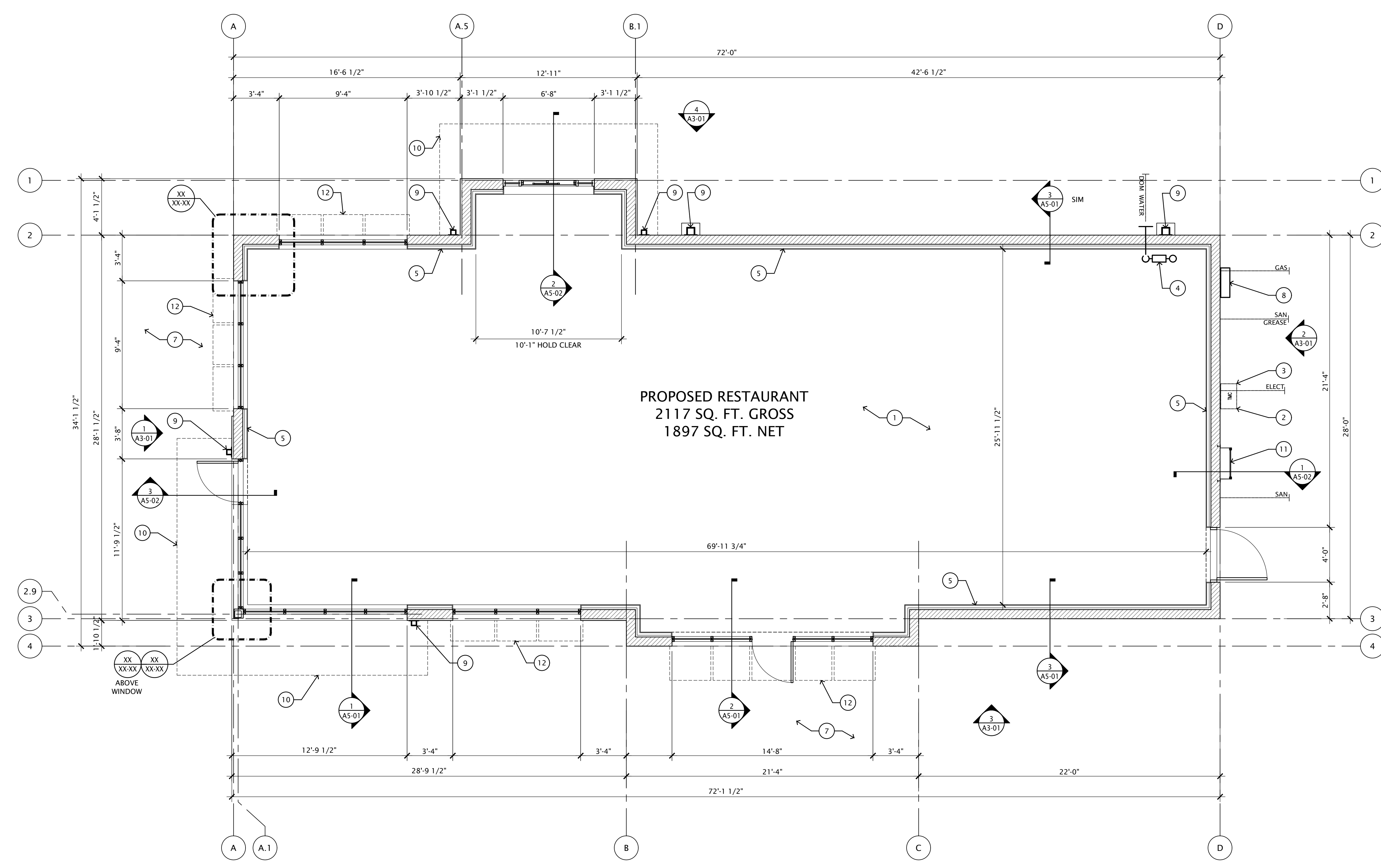
DO NOT SCALE DRAWING

<b>Project No.</b> JCDT.16.0195	<b>Drawing No.</b> A2-01
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**Floor Plan Key Notes**

- 1 CONCRETE FLOOR SLAB (REF FOUNDATION PLAN)
- 2 TENANT ELECTRICAL SERVICE METERS / SWITCH GEAR (REF ELECT SHEET E1-01)
- 3 TELEPHONE SERVICE CAB (REF ELECT SHEET E1-01)
- 4 TENANT DOMESTIC WATER MAIN AND METER (REF SHEET M1-01)
- 5 INTERIOR GYP BOARD SHEATHING TO U/S OF STRUCTURE
- 6 LINE OF FUTURE TENANT PARTITION (BY OTHERS)
- 7 CONCRETE WALK - SLOPE AWAY FROM BUILDING AT 1/4" PER LF (MAX) AND 1/8" PER LF (MIN) - REF CIVIL
- 8 GAS METER BANK (REF SHEET M1-01)
- 9 CONNECT DOWNSPOUT TO STORM - COORDINATE STORM WITH CIVIL PLANS (REF SHEET M1-01)
- 10 EXTERIOR METAL CHANNEL CANOPY (REF EXTERIOR ELEVATIONS AND SHT A5-11)
- 11 ROOF ACCESS LADDER (REF EXTERIOR ELEVATIONS AND 1/A5-03)
- 12 EXTERIOR FABRIC AWINGS (REF EXTERIOR ELEVATIONS AND SHT A5-11)

**OCCUPANT LOAD & EGRESS REQUIREMENTS**  
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**1 FLOOR PLAN - BUILDING 'A'**  
Scale: 1/4" = 1'-0"

CONSULTANT:

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<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b> 

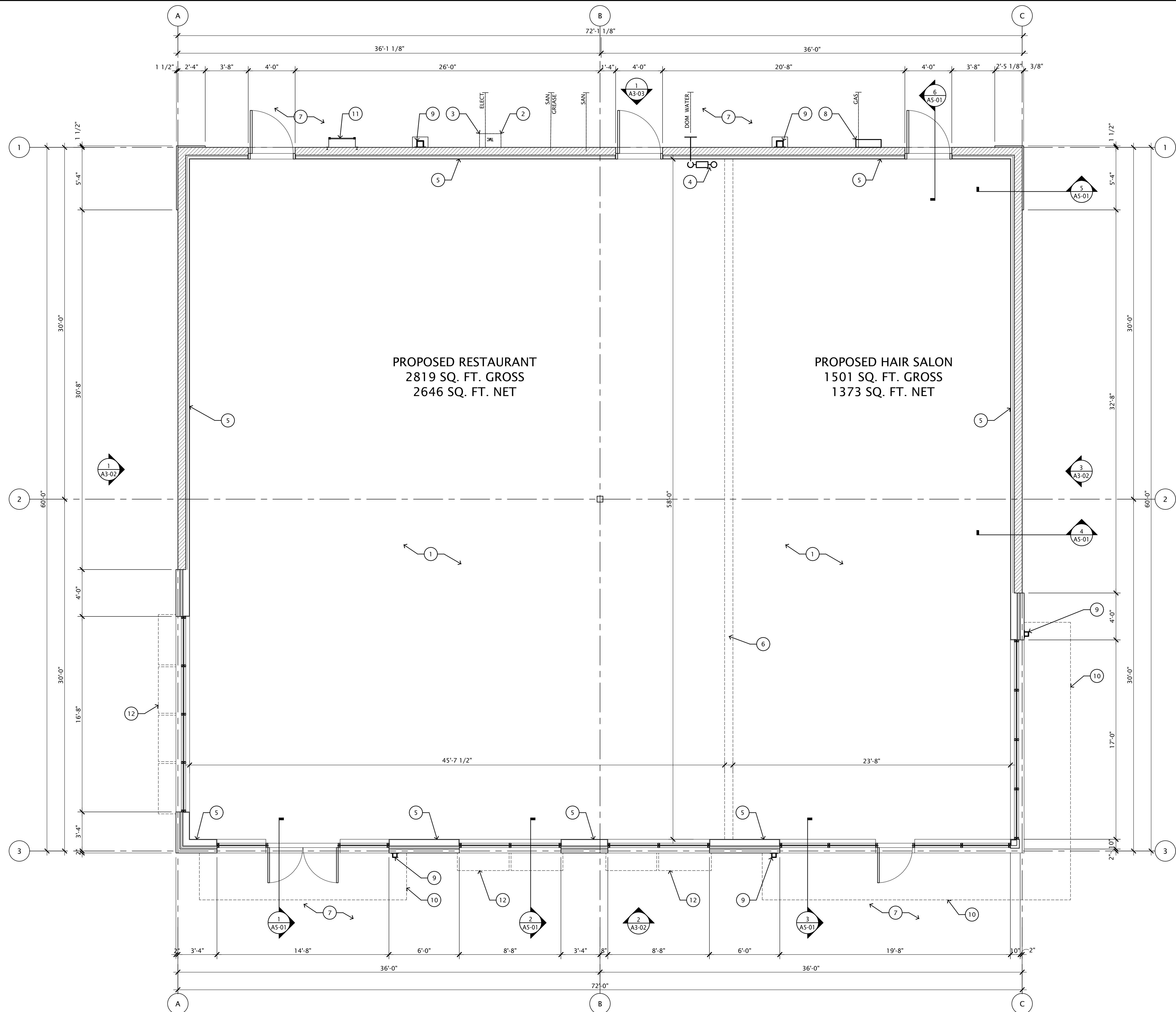
**Client**

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
  
**BUILDING 'B'  
- FLOOR PLAN**

DO NOT SCALE DRAWING

<b>Project No.</b> JCDT.16.0195	<b>Drawing No.</b> A2-02
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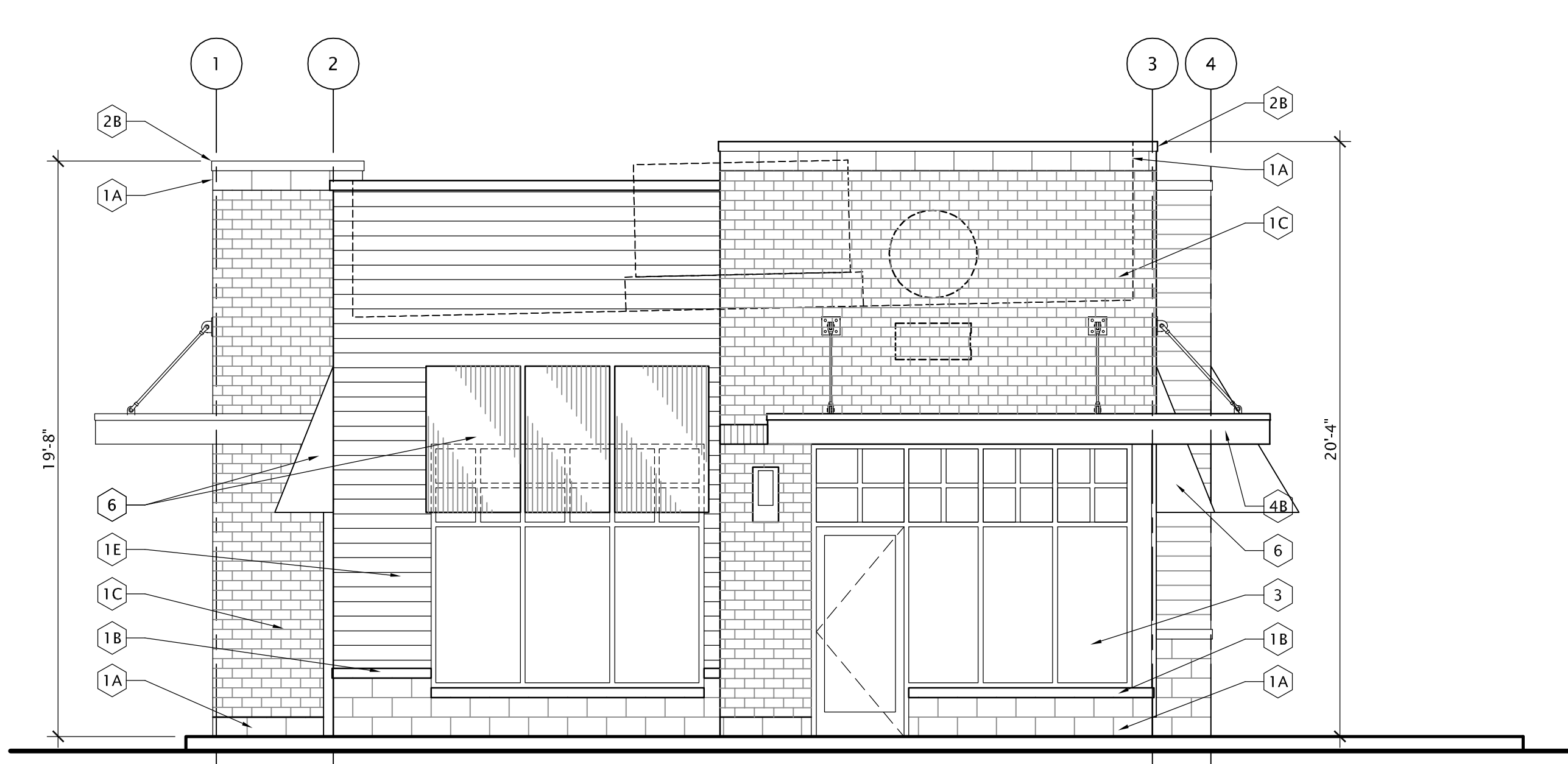


**Floor Plan Key Notes**

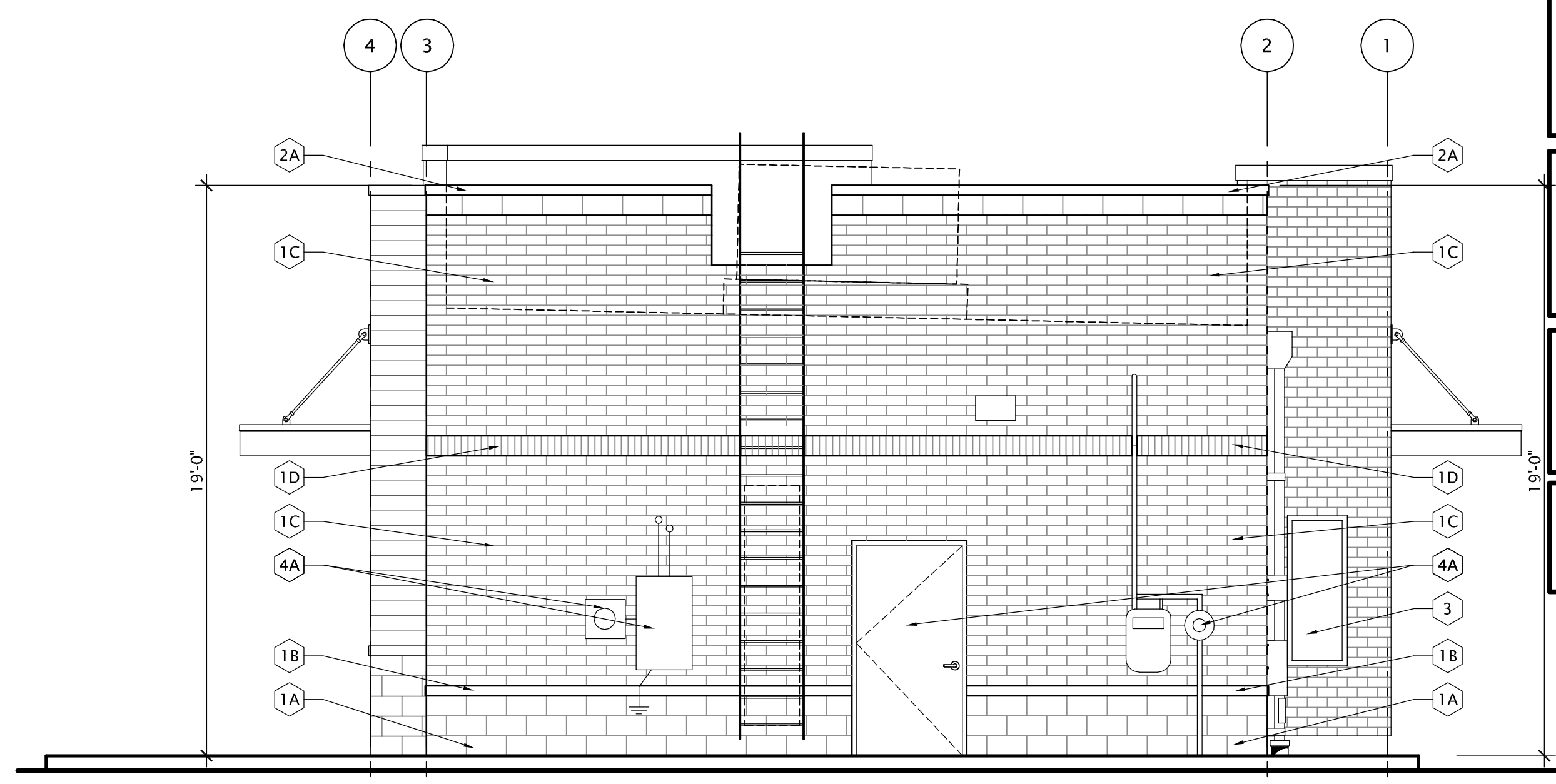
- ① CONCRETE FLOOR SLAB (REF FOUNDATION PLAN)
- ② TENANT ELECTRICAL SERVICE METERS / SWITCH GEAR (REF ELECT SHEET E1-01)
- ③ TELEPHONE SERVICE CAB (REF ELECT SHEET E1-01)
- ④ TENANT DOMESTIC WATER MAIN AND METER (REF SHEET M1-01)
- ⑤ INTERIOR GYP BOARD SHEATHING TO U/S OF STRUCTURE
- ⑥ LINE OF FUTURE TENANT PARTITION (BY OTHERS)
- ⑦ CONCRETE WALK - SLOPE AWAY FROM BUILDING AT 1/4" PER LF (MAX) AND 1/8" PER LF (MIN) - REF CIVIL
- ⑧ GAS METER BANK (REF SHEET M1-01)
- ⑨ CONNECT DOWNSPOUT TO STORM - COORDINATE STORM WITH CIVIL PLANS (REF SHEET M1-01)
- ⑩ EXTERIOR METAL CHANNEL CANOPY (REF EXTERIOR ELEVATIONS AND SHT A5-11)
- ⑪ ROOF ACCESS LADDER (REF EXTERIOR ELEVATIONS AND 1/A5-03)
- ⑫ EXTERIOR FABRIC AWINGS (REF EXTERIOR ELEVATIONS AND SHT A5-11)

**OCCUPANT LOAD & EGRESS REQUIREMENTS**  
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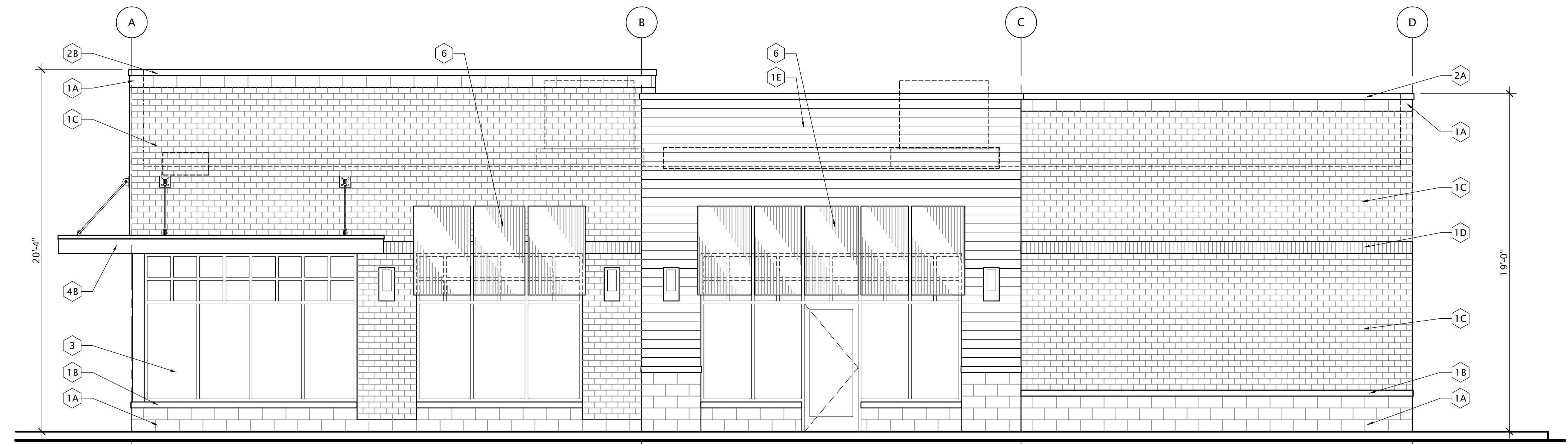
**FLOOR PLAN - BUILDING 'B'**  
Scale: 1/4" = 1'-0"



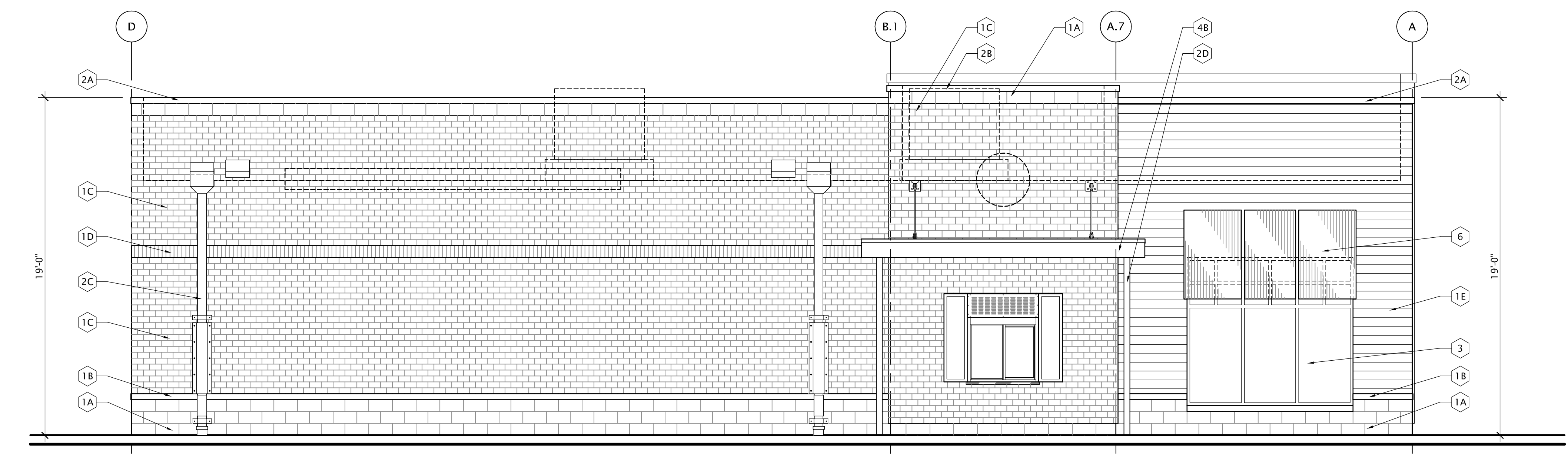
**1 SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



**3 EAST ELEVATION**  
Scale: 1/4" = 1'-0"



**4 WEST ELEVATION**  
Scale: 1/4" = 1'-0"

- GENERAL NOTES:**
- ALL RTU TO BE FULLY SCREENED BY PARAPET
  - PROVIDE 3/4" FRT PLYWD BEHIND SIGN AREAS ONLY
- FABRIC AWNING**
- ALL FABRIC AWNINGS SHALL BE UNDER SEPARATE PERMIT. ATTACHMENTS, MATERIALS, AND STRUCTURAL FRAMES, AND FLAME SPREAD RATINGS SHALL BE DESIGNED IN ACCORDANCE WITH THE 2012 MBC. AWNINGS ARE SHOWN FOR COORDINATION OF TENANT LAYOUT AND FINAL BUILDING DESIGN INTENT ONLY.
- OCCUPANT LOAD & EGRESS REQUIREMENTS**
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- NOTE:**
- T DENOTES CLEAR TEMPERED GLASS IN ANODIZED ALUM FRAME (REF DOOR AND STOREFRONT NOTES SHEET A8-01)



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DATE	ISSUED FOR	REV
9/21/2016	TOWNSHIP REVIEW	

EXTERIOR WALL	GROSS WALL AREA	GENOA TOWNSHIP EXTERIOR WALL NATURAL MATERIAL MATRIX	
		FIBER CEMENT SIDING PROVIDED	NATURAL MATERIAL PROVIDED (MIN 80% REQUIRED)
SOUTH WALL	672 SF	148 SF = 22%	524 SF = 78%
NORTH WALL	646 SF	32 SF = 5%	614 SF = 95%
EAST WALL	1480 SF	235 SF = 17%	1173 SF = 83%
WEST WALL	1370 SF	204 SF = 15%	116 SF = 85%
TOTAL WALL AREA		= 4,096 SF	
TOTAL FIBER CEMENT SIDING PROVIDED		= 619 SF	
% OF FIBER CEMENT SIDING OF TOTAL WALL AREA		= 15%	

	MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	DECORATIVE CMU (GROUND FACE)	-	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	-	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1C	STRUCTURAL BRICK	-	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	-	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	-	LAP SIDING / WOOD LOOK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C	
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E	
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1" INSULATED CLEAR GLASS	LOW-E / U=0.37 / SHGC=0.55
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK	
4B	PAINT	BENJAMIN MOORE or EQUAL	-	FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCENCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED	REF SHEET E1-01 FOR ADDITIONAL INFORMATION
6	FABRIC AWING	SUNBRELLA	BLACK	FINAL SELECTION TO BE APPROVED BY ARCHITECT

**Project Manager**  
B.COLBURN

**Project Leader**  
B.COLBURN

**Date**  
08/01/2016

**Client**

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

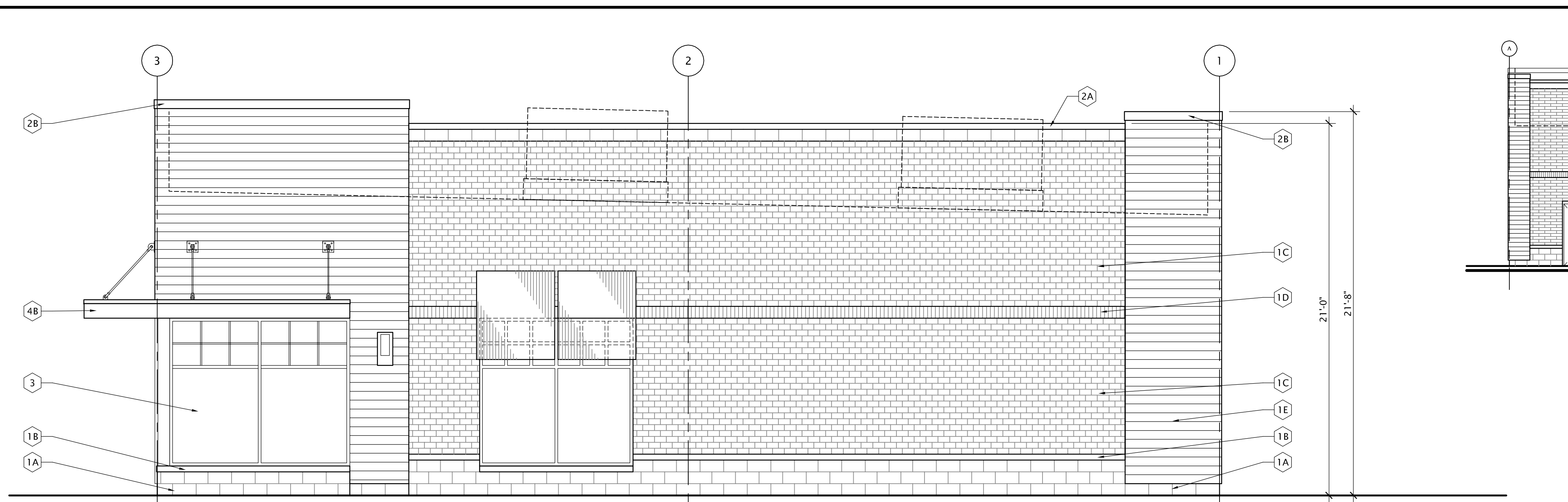
**Drawing Title**  
PROPOSED BUILDING ONE

DO NOT SCALE DRAWING

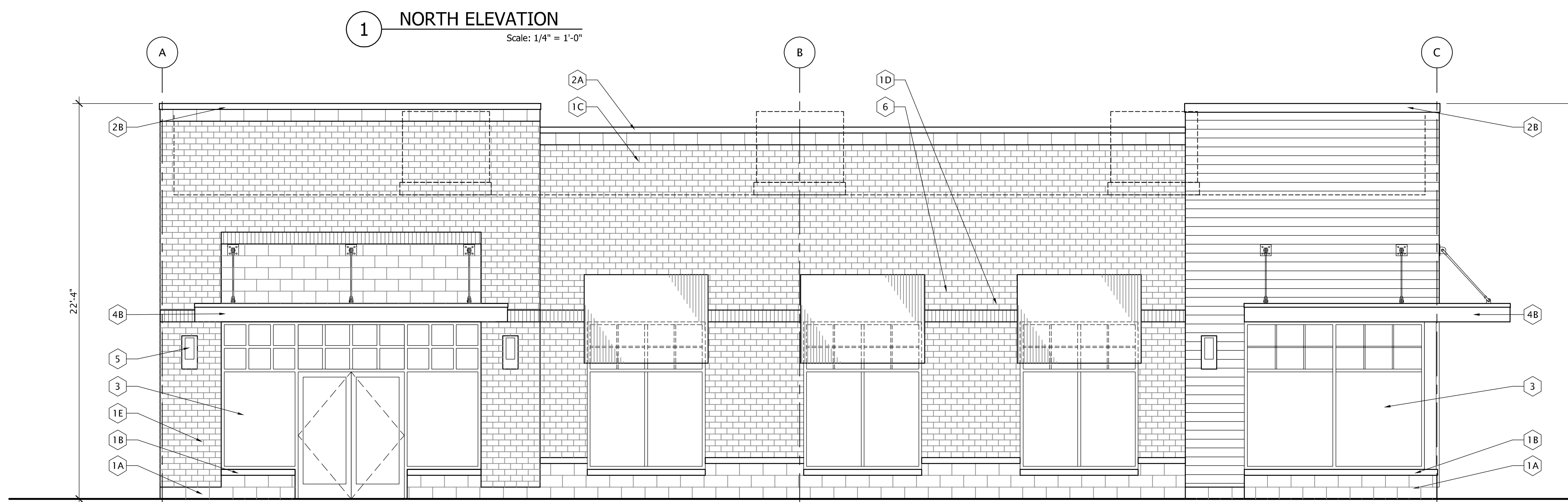
**Project No.**  
JCDT.16.0195

**Drawing No.**  
A1

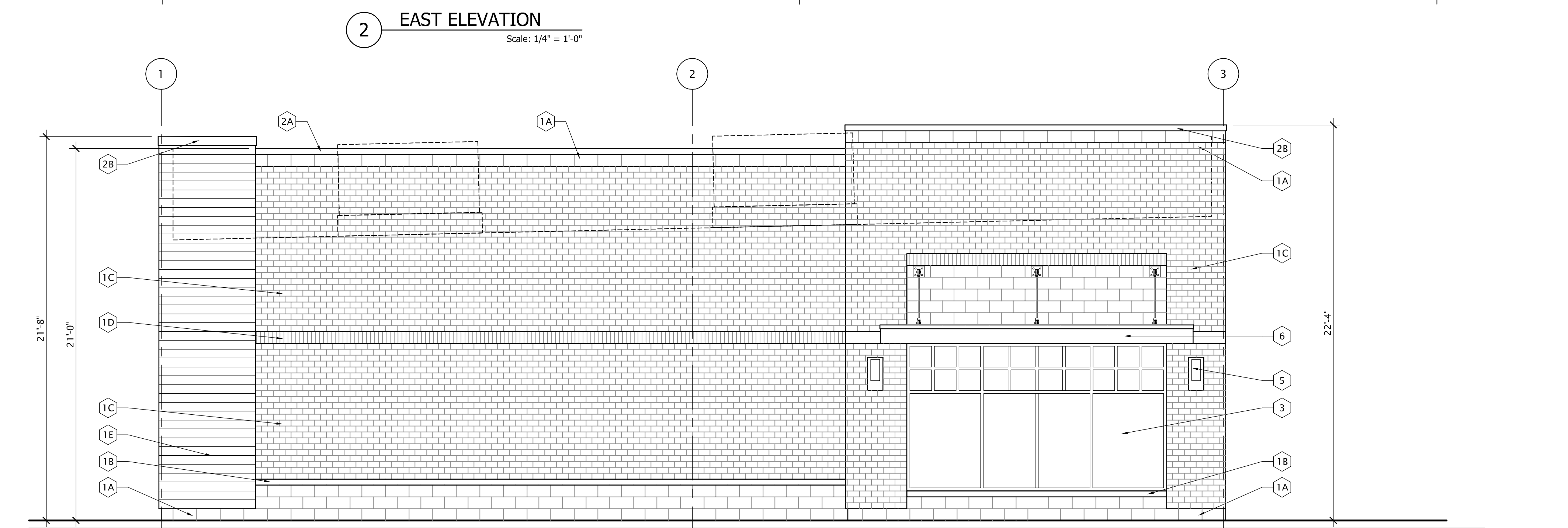




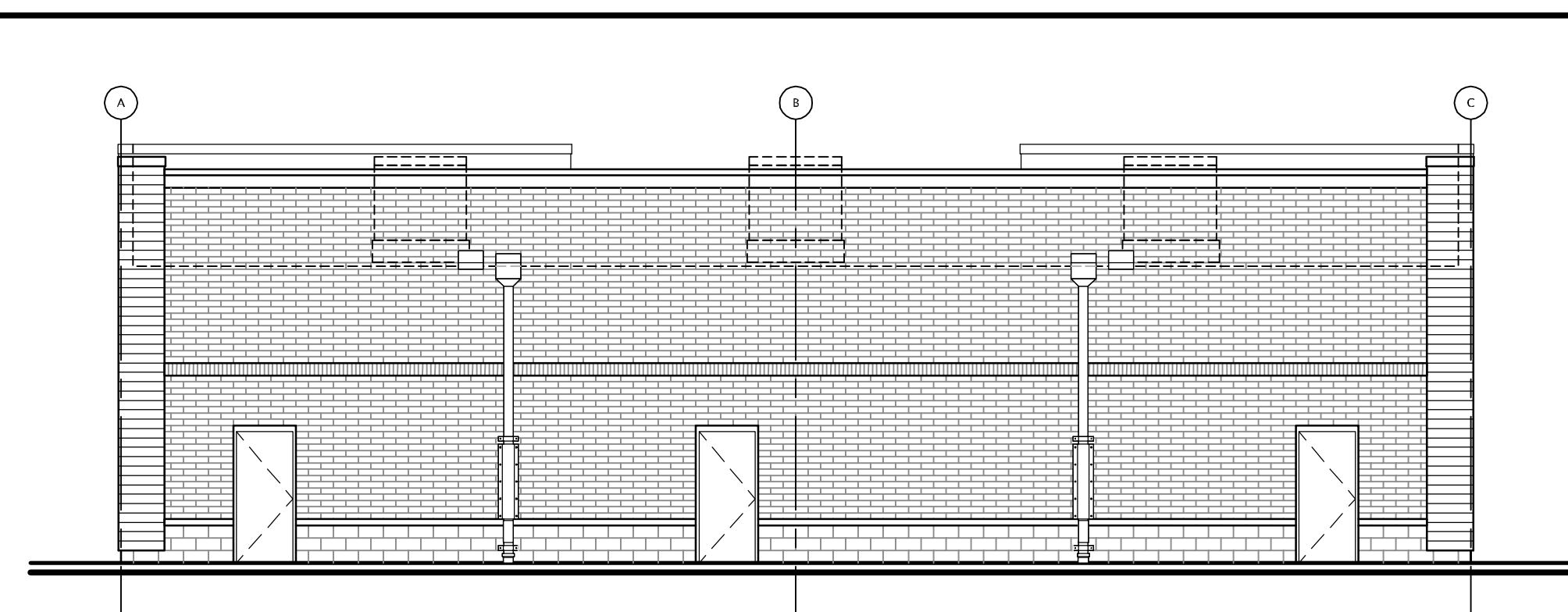
**1 NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



**2 EAST ELEVATION**  
Scale: 1/4" = 1'-0"



**3 WEST ELEVATION**  
Scale: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"

EXTERIOR FINISH AREAS - BLDG # 2			
EXTERIOR WALL	GROSS WALL AREA	GENOA TOWNSHIP EXTERIOR WALL NATURAL MATERIAL MATRIX	
		FIBER CEMENT SIDING PROVIDED	NATURAL MATERIAL PROVIDED (MIN 80% REQUIRED)
NORTH WALL	1287 SF	301 SF = 23%	986 SF = 77%
EAST WALL	1565 SF	196 SF = 13%	1368 SF = 87%
WEST WALL	1298 SF	115 SF = 9%	1183 SF = 91%
SOUTH WALL	1520 SF	100 SF = 7%	1420 SF = 93%
TOTAL WALL AREA		= 5,670 SF	
TOTAL FIBER CEMENT SIDING PROVIDED		= 712 SF	
% OF FIBER CEMENT SIDING OF TOTAL WALL AREA		= 13%	

- GENERAL NOTES:**
- ALL RTU TO BE FULLY SCREENED BY PARAPET
  - PROVIDE 3/4" FRT PLYWD BEHIND SIGN AREAS ONLY

**FABRIC AWNING:**  
ALL FABRIC AWNINGS SHALL BE UNDER SEPARATE PERMIT. ATTACHMENTS, MATERIALS, AND STRUCTURAL FRAMES, AND FLAME SPREAD RATINGS SHALL BE DESIGNED IN ACCORDANCE WITH THE 2012 MBC. AWNINGS ARE SHOWN FOR COORDINATION OF TENANT LAYOUT AND FINAL BUILDING DESIGN INTENT ONLY.

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**NOTE:**  
T DENOTES CLEAR TEMPERED GLASS IN ANODIZED ALUM FRAME (REF DOOR AND STOREFRONT NOTES SHEET A8-01)

Exterior Material Finishes				
	MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	DECORATIVE CMU (GROUND FACE)	-	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	-	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1C	STRUCTURAL BRICK	-	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	-	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	-	LAP SIDING / WOOD LOOK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C	
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E	
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1" INSULATED CLEAR GLASS	LOW-E / U=0.37 / SHGC=0.55
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK	
4B	PAINT	BENJAMIN MOORE or EQUAL		FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCENCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED	REF SHEET E1-01 FOR ADDITIONAL INFORMATION
6	FABRIC AWING	SUNBRELLA	BLACK	FINAL SELECTION TO BE APPROVED BY ARCHITECT

**NORR**

CONSULTANT:

SEAL:

DATE	ISSUED FOR	REV
9/21/2016	TOWNSHIP REVIEW	

**Project Manager**  
B.COLBURN

**Project Leader**  
B.COLBURN

**Date**  
08/01/2016

**Client**

**Project**

Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
PROPOSED BUILDING TWO

DO NOT SCALE DRAWING

**Project No.**  
JCDT.16.0195

**Drawing No.**  
A2

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<b>Project Leader</b> B. COLBURN	<b>Checked</b>
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b>

**Client**

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
**BUILDING 'A'**  
**- FLOOR PLAN**

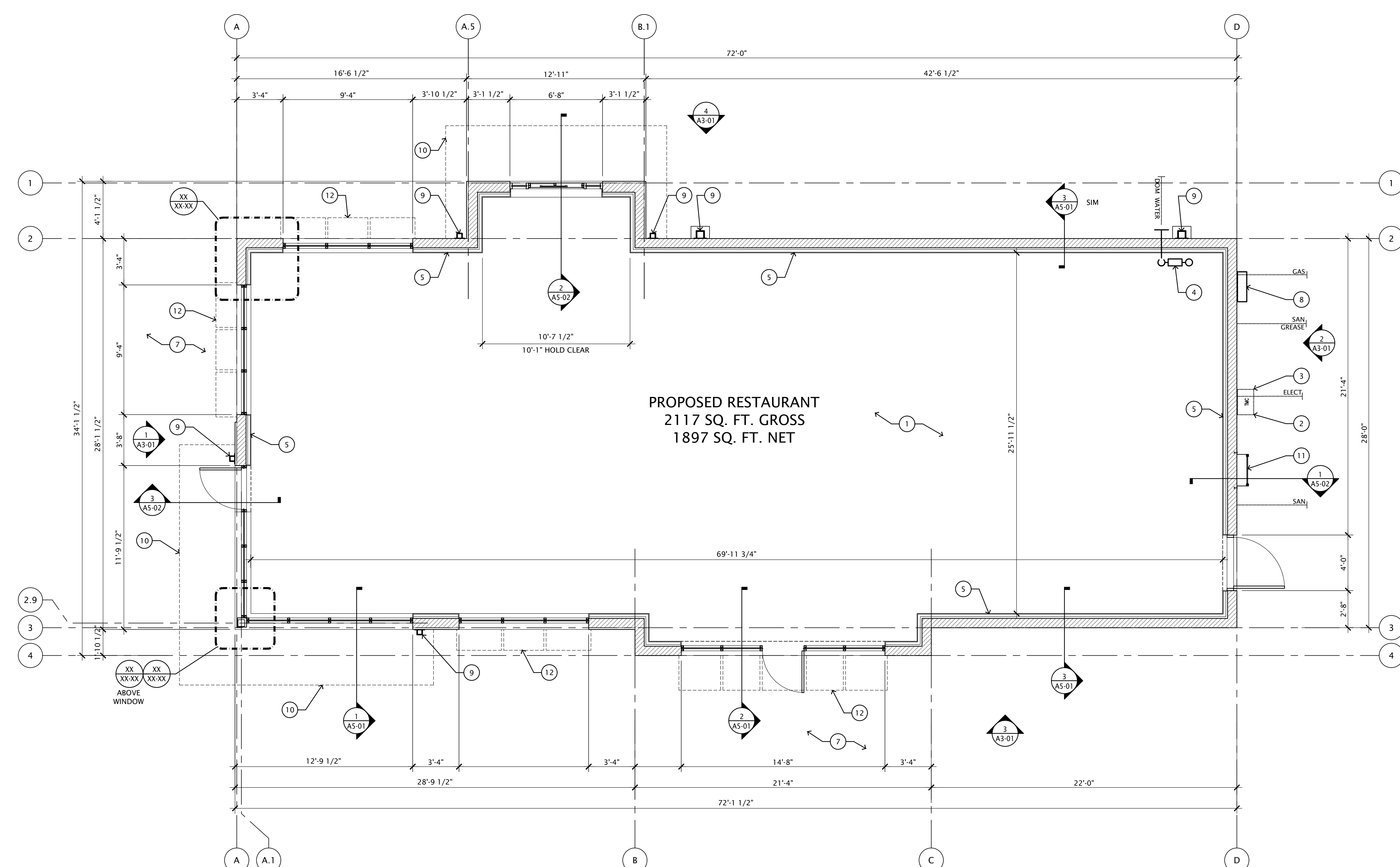
DO NOT SCALE DRAWING

<b>Project No.</b> JCDT.16.0195	<b>Drawing No.</b> A2-01
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**Floor Plan Key Notes**

- 1 CONCRETE FLOOR SLAB (REF FOUNDATION PLAN)
- 2 TENANT ELECTRICAL SERVICE METERS / SWITCH GEAR (REF ELECT SHEET E1-01)
- 3 TELEPHONE SERVICE CAB (REF ELECT SHEET E1-01)
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**1 FLOOR PLAN - BUILDING 'A'**  
Scale: 1/4" = 1'-0"

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<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b>

**Client**

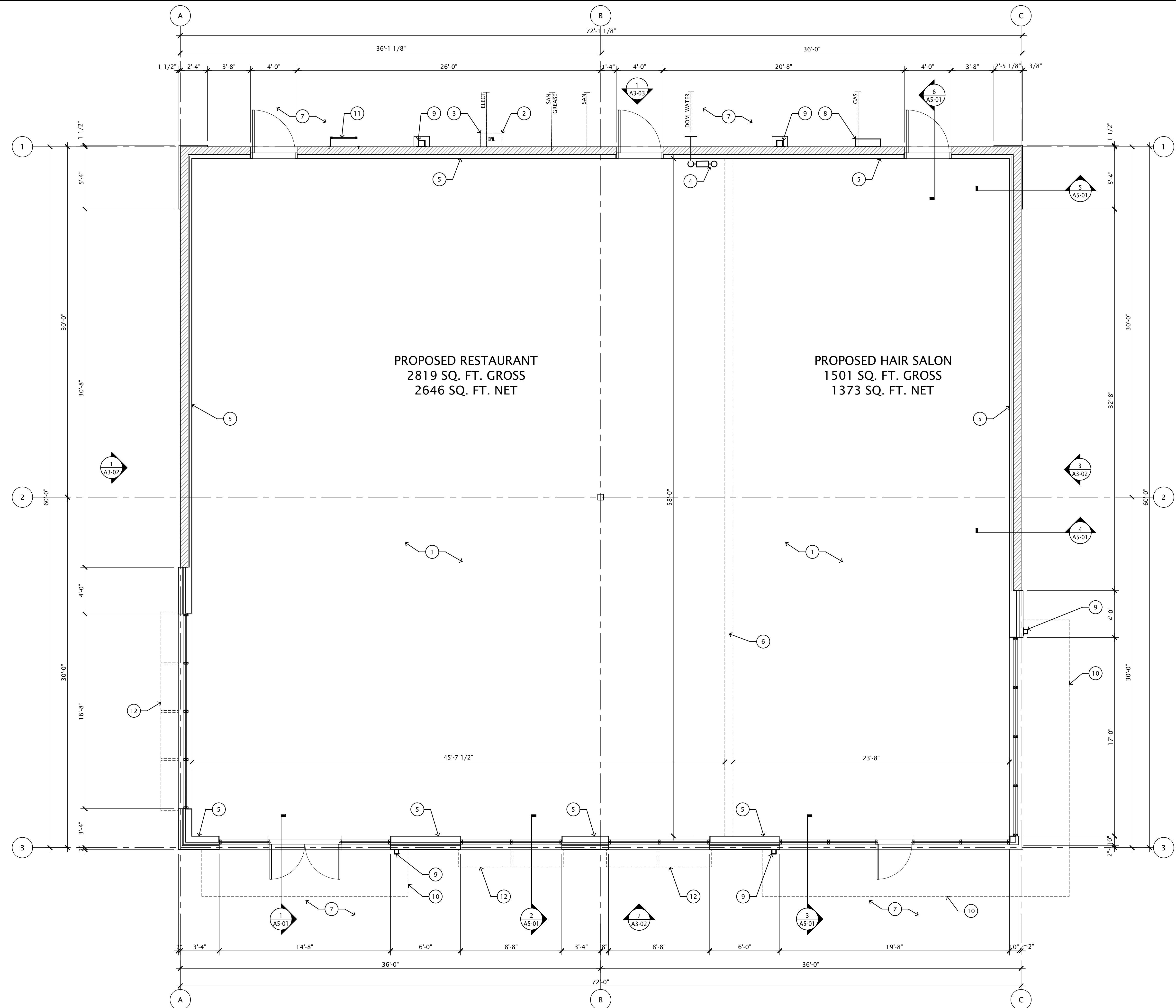
**Project**  
Two Landlord Shell Building  
Development  
Genoa Township, Michigan

**Drawing Title**  
  
**BUILDING 'B'**  
**- FLOOR PLAN**

DO NOT SCALE DRAWING

**Project No.**  
JCDT.16.0195

**Drawing No.**  
A2-02



**Floor Plan Key Notes**

- 1 CONCRETE FLOOR SLAB (REF FOUNDATION PLAN)
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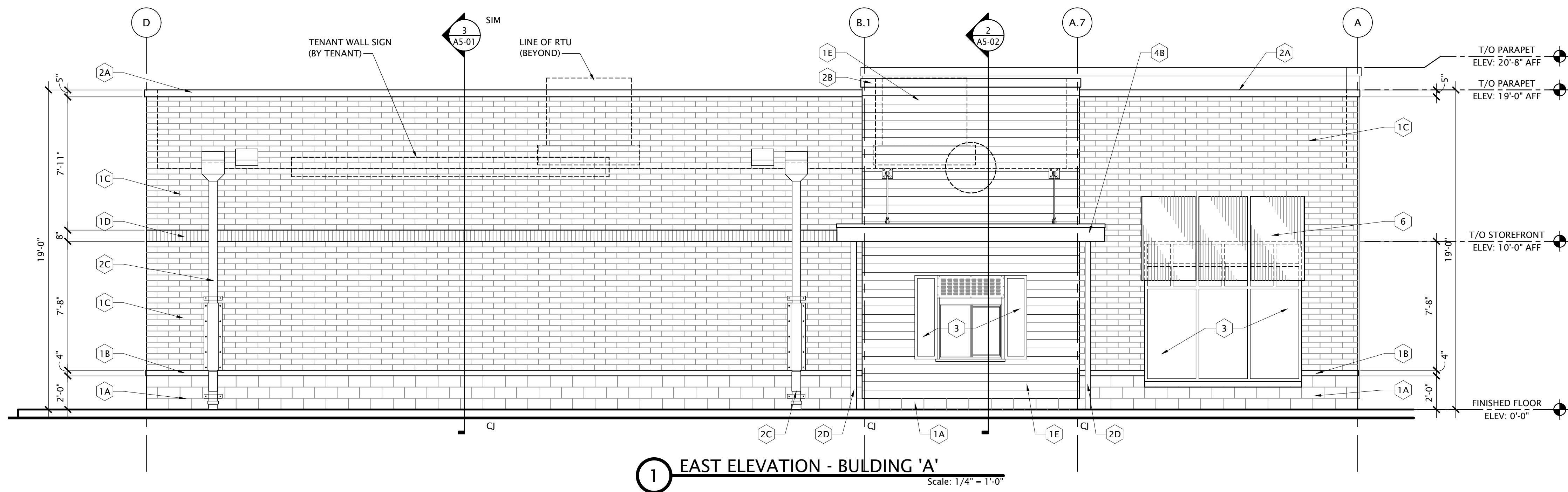
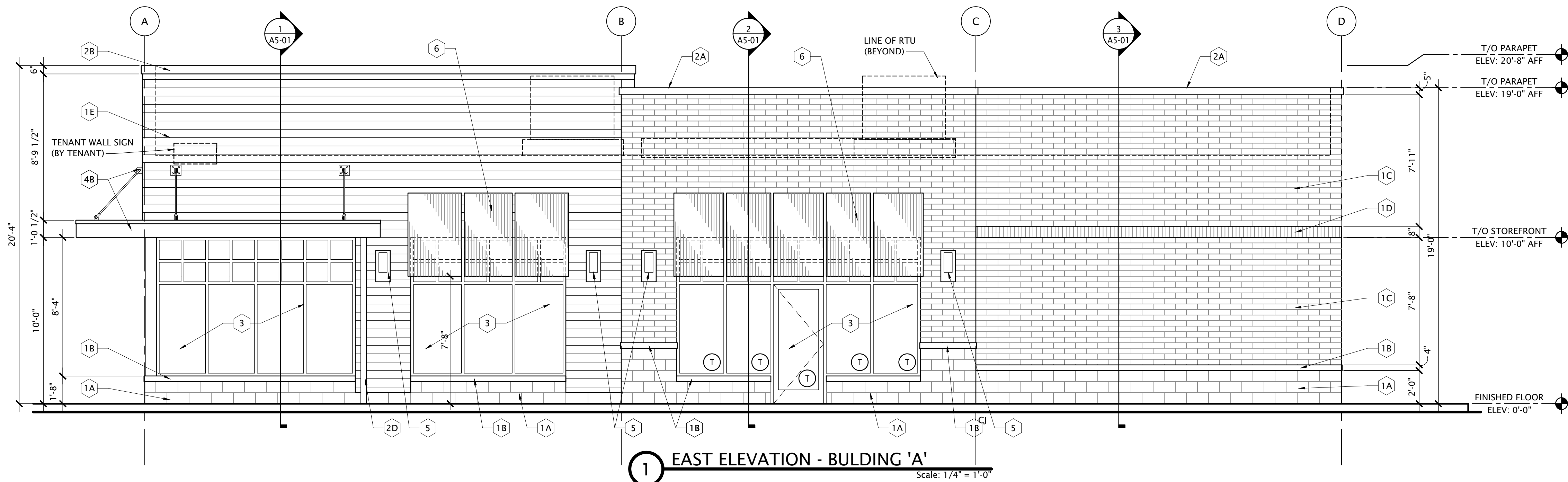
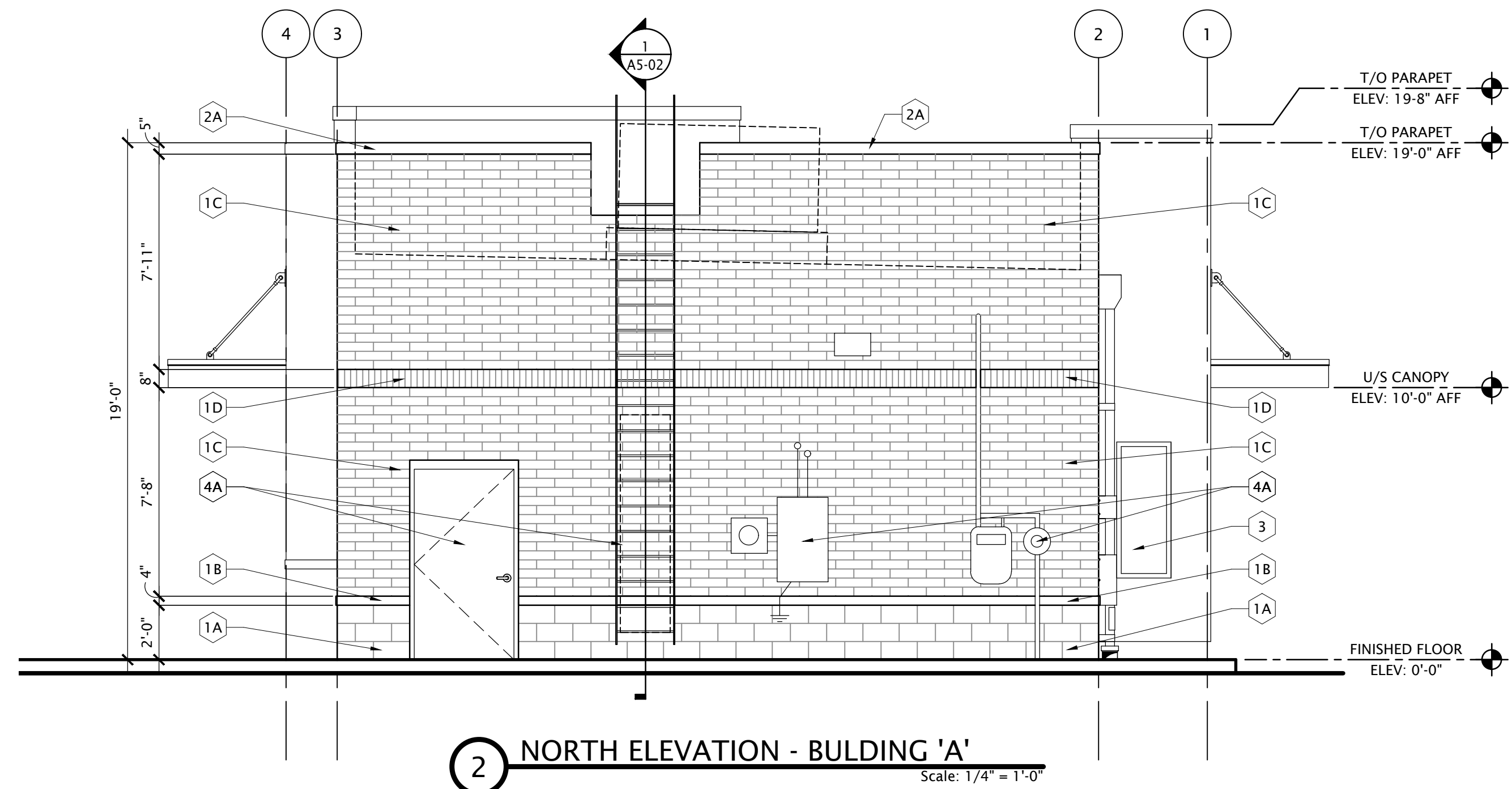
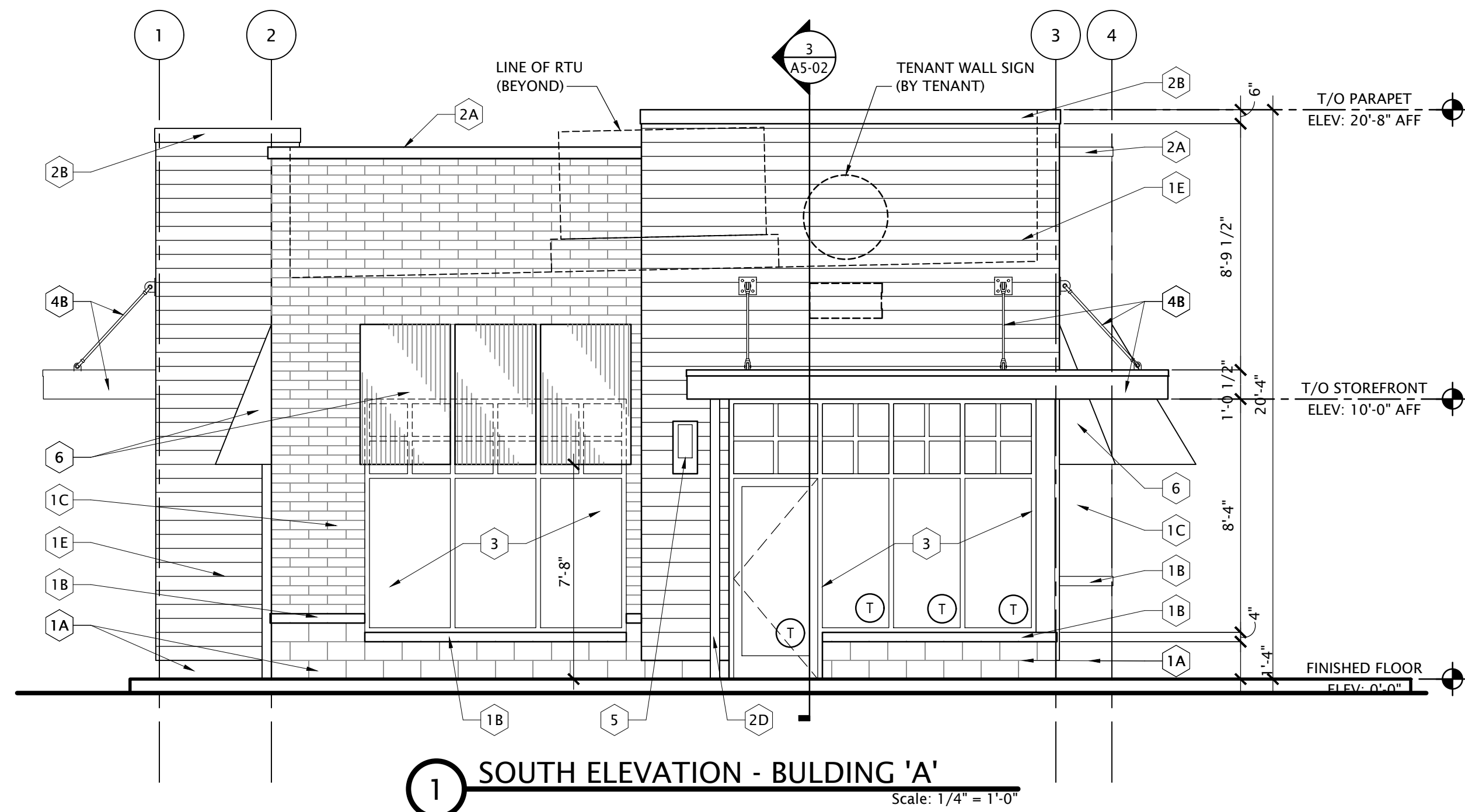
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<b>Project Leader</b> B. COLBURN	<b>Checked</b>
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b>
<b>Client</b>	
Two Landlord Shell Building Development Genoa Township, Michigan	
<b>Drawing Title</b>	
BUILDING 'A' EXTERIOR ELEVATIONS	
DO NOT SCALE DRAWING	
<b>Project No.</b> JC.DT.16.0195	<b>Drawing No.</b> A3-01



**EIFS CONTROL JOINTS NOTE:**  
ALIGN EIFS CONTROL JOINTS WITH MASONRY WALL CONTROL JOINTS WHERE APPLICABLE

**BRICK EXPANSION JOINTS NOTE (MWCI):**  
PROVIDE BRICK EXPANSION JOINTS AT 20'-0\"/>

**FABRIC AWNING:**  
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**NOTE:**  
DENOTES CLEAR TEMPERED GLASS IN ANODIZED ALUM FRAME (REF DOOR AND STOREFRONT NOTES SHEET A8-01)

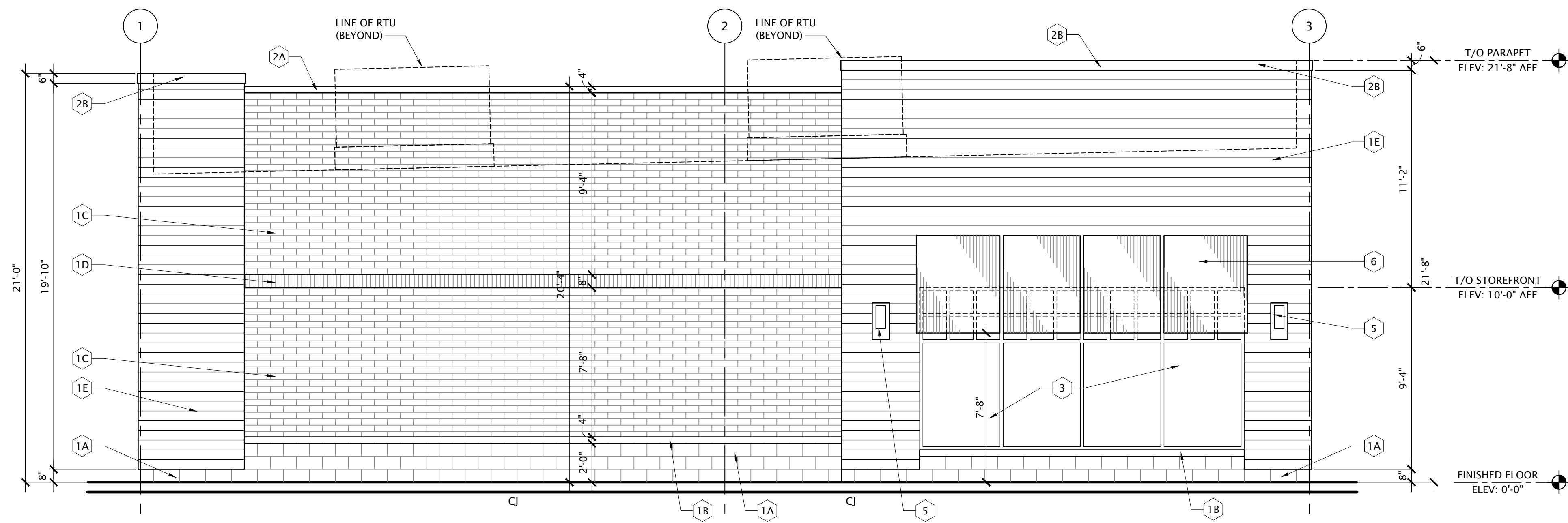
Exterior Material Finishes			
MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	CONCRETE BASE BLOCK	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2\"/>	
1C	STRUCTURAL BRICK	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	JAMES HARDIE	LAP SIDING / WOOD LOOK
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1\"/>
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK
4B	PAINT	BENJAMIN MOORE or EQUAL	FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCENCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED
6	FABRIC AWNING	SUNBRELLA	BLACK

CONSULTANT:

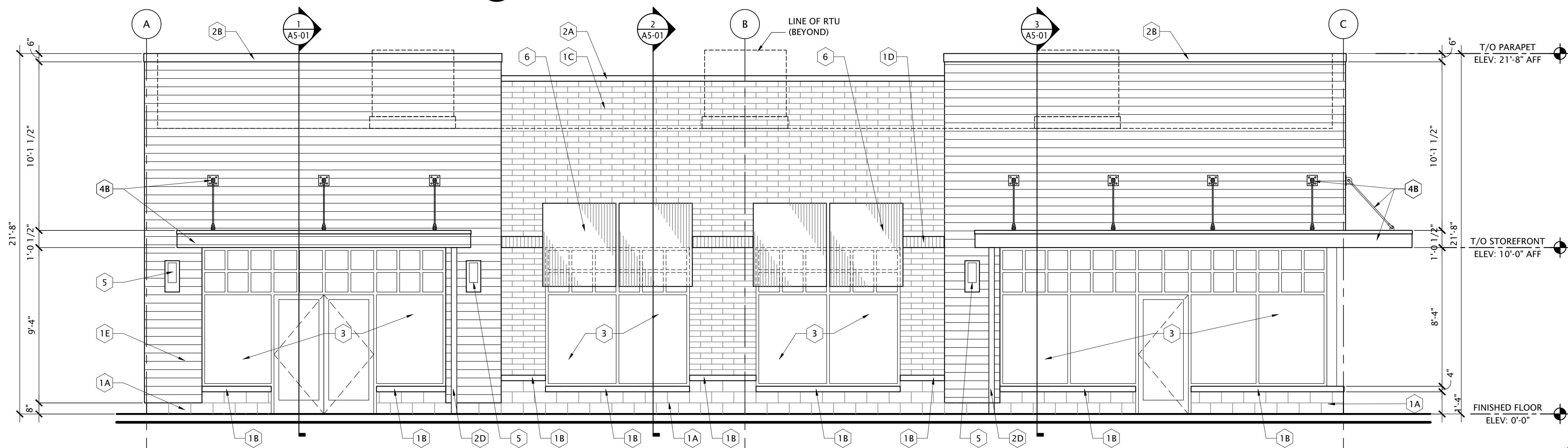
SEAL:

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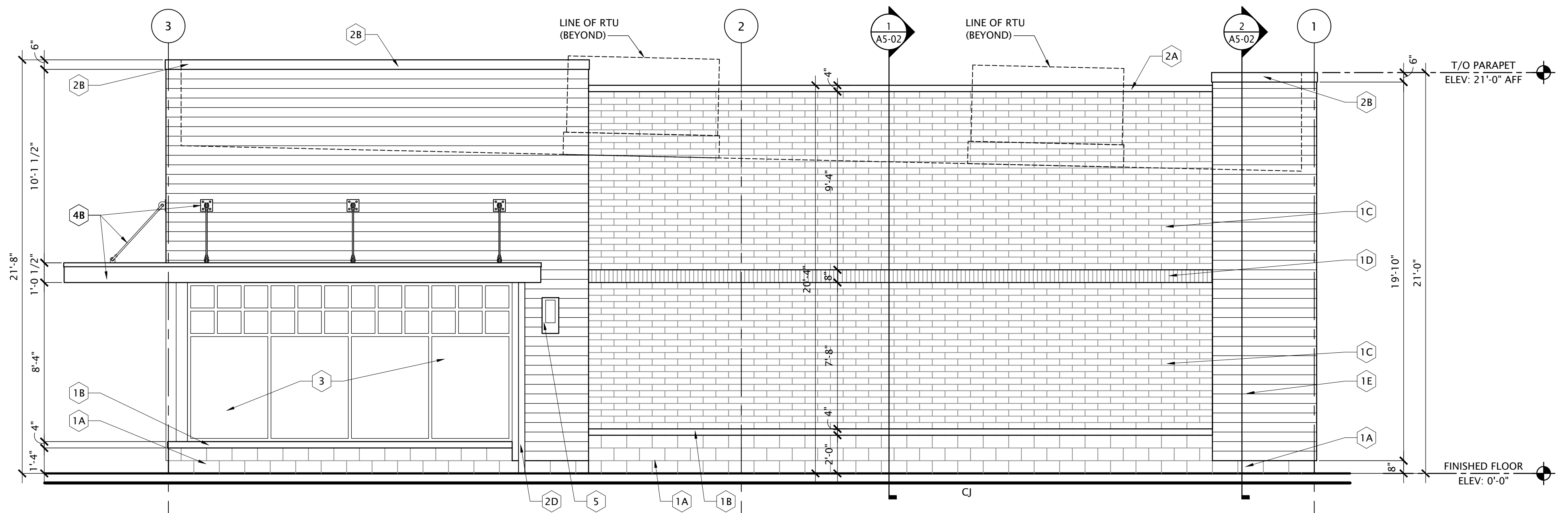
DATE	ISSUED FOR	REV



**1 SOUTH-WEST ELEVATION - BUILDING 'B'**  
Scale: 1/4" = 1'-0"



**2 SOUTH-EAST ELEVATION - BUILDING 'B'**  
Scale: 1/4" = 1'-0"

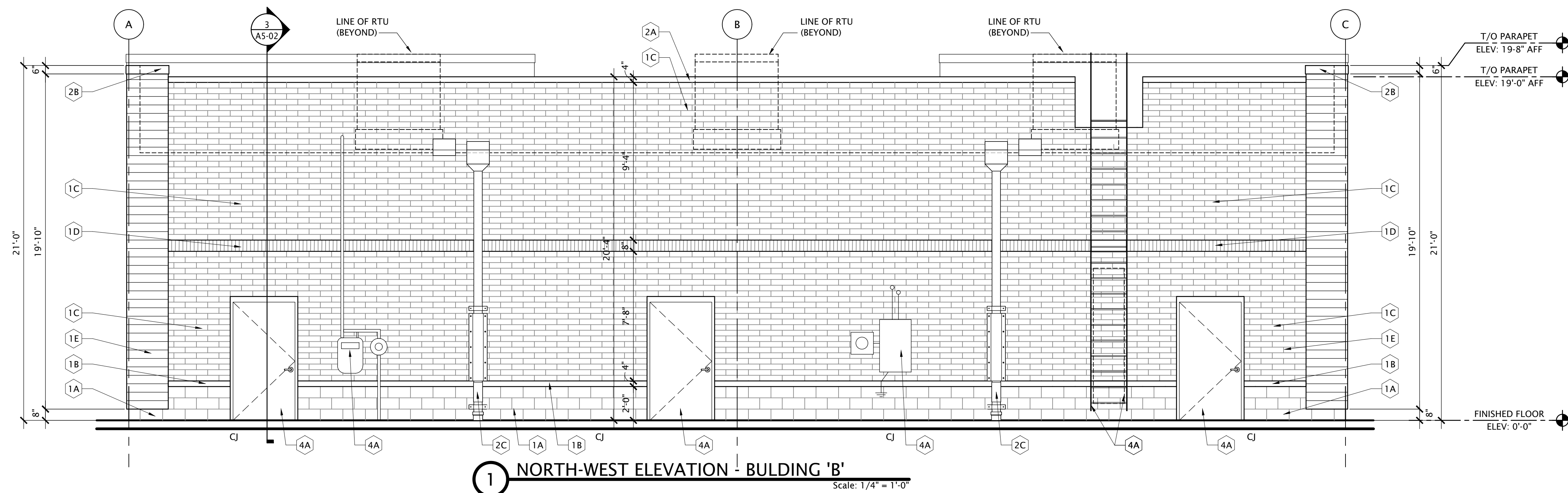


**3 NORTH-EAST ELEVATION - BUILDING 'B'**  
Scale: 1/4" = 1'-0"

- EIFS CONTROL JOINTS NOTE:**  
ALIGN EIFS CONTROL JOINTS WITH MASONRY WALL CONTROL JOINTS WHERE APPLICABLE
- BRICK EXPANSION JOINTS NOTE (MWCI):**  
PROVIDE BRICK EXPANSION JOINTS AT 20'-0" O.C. SPACING MAX
- FABRIC AWNING:**  
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- NOTE:**  
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Exterior Material Finishes			
MATERIAL	MFR.	COLOR / STYLE	REMARKS/ NOTES
1A	CONCRETE BASE BLOCK	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1C	STRUCTURAL BRICK	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	JAMES HARDIE	LAP SIDING / WOOD LOOK
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1" INSULATED CLEAR GLASS
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK
4B	PAINT	BENJAMIN MOORE or EQUAL	FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCENCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED
6	FABRIC AWING	SUNBRELLA	BLACK

<b>Project Manager</b> B.COLBURN	<b>Drawn</b> J. BROCK
<b>Project Leader</b> B.COLBURN	<b>Checked</b>
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b>
<b>Client</b>	
Two Landlord Shell Building Development Genoa Township, Michigan	
<b>Drawing Title</b>	
BUILDING 'B' EXTERIOR ELEVATIONS	
DO NOT SCALE DRAWING	
<b>Project No.</b> JCDT.16.0195	<b>Drawing No.</b> A3-02



**1 NORTH-WEST ELEVATION - BUILDING 'B'**  
Scale: 1/4" = 1'-0"

**EIFS CONTROL JOINTS NOTE:**  
ALIGN EIFS CONTROL JOINTS WITH MASONRY WALL CONTROL JOINTS WHERE APPLICABLE

**BRICK EXPANSION JOINTS NOTE (MWGI):**  
PROVIDE BRICK EXPANSION JOINTS AT 20'-0" O.C. SPACING MAX

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**Exterior Material Finishes**

	MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	CONCRETE BASE BLOCK	-	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	-	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1C	STRUCTURAL BRICK	-	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	-	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	JAMES HARDIE	LAP SIDING / WOOD LOOK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C	
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E	
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1" INSULATED CLEAR GLASS	LOW-E / U=0.37 / SHGC=0.55
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK	
4B	PAINT	BENJAMIN MOORE or EQUAL		FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCONCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED	REF ELECTRICAL DRAWINGS FOR INFORMATION
6	FABRIC AWNING	SUNBRELLA	BLACK	FINAL SELECTION TO BE APPROVED BY ARCHITECT

**NORR**

CONSULTANT:

SEAL:

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DATE	ISSUED FOR	REV

**Project Manager**  
B. COLBURN

**Project Leader**  
B. COLBURN

**Date**  
08/01/2016

**Client**

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
**BUILDING 'B'**  
**EXTERIOR ELEVATIONS**

DO NOT SCALE DRAWING

**Project No.**  
JCDT.16.0195

**Drawing No.**  
A3-03



1 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



3 EAST ELEVATION  
Scale: 1/4" = 1'-0"



4 WEST ELEVATION  
Scale: 1/4" = 1'-0"

**GENERAL NOTES:**

1. ALL RTU TO BE FULLY SCREENED BY PARAPET
2. PROVIDE 3/4" FRT PLYWD BEHIND SIGN AREAS ONLY

**FABRIC AWNING**

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DATE	ISSUED FOR	REV
9/21/2016	TOWNSHIP REVIEW	

**EXTERIOR FINISH AREAS - BLDG # 1**

EXTERIOR WALL	GROSS WALL AREA	GENOA TOWNSHIP EXTERIOR WALL NATURAL MATERIAL MATRIX	
		FIBER CEMENT SIDING PROVIDED	NATURAL MATERIAL PROVIDED (MIN 80% REQUIRED)
SOUTH WALL	672 SF	148 SF = 22 %	524 SF = 78 %
NORTH WALL	646 SF	32 SF = 5 %	614 SF = 95 %
EAST WALL	1480 SF	235 SF = 17 %	1173 SF = 83 %
WEST WALL	1370 SF	204 SF = 15 %	116 SF = 85 %
TOTAL WALL AREA		= 4,096 SF	
TOTAL FIBER CEMENT SIDING PROVIDED		= 619 SF	
% OF FIBER CEMENT SIDING OF TOTAL WALL AREA		= 15%	

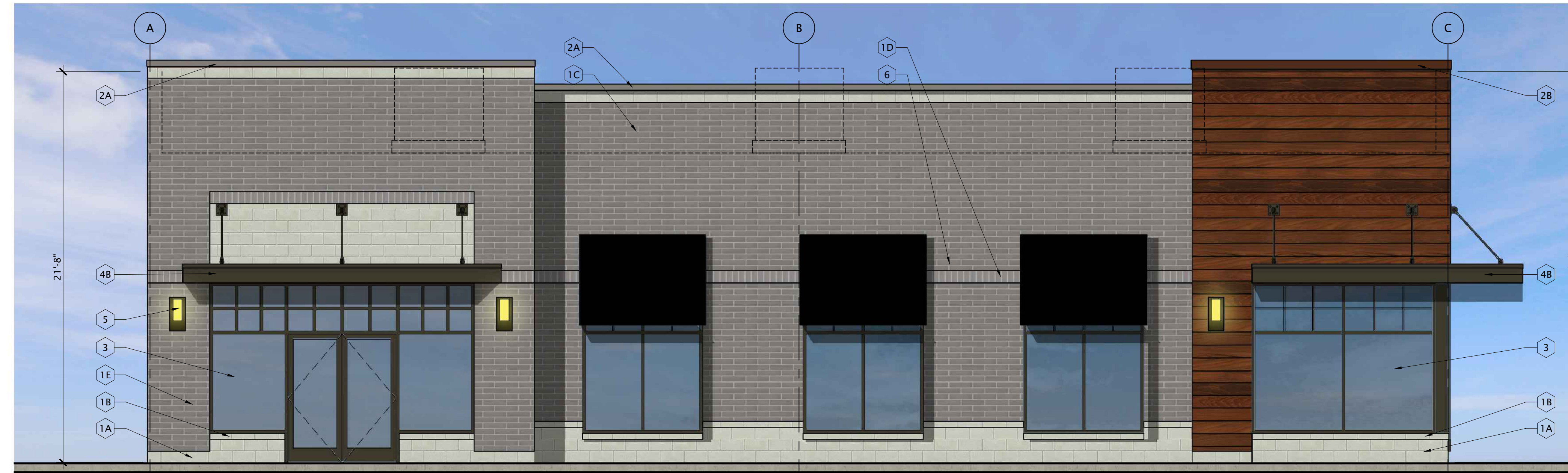
**Exterior Material Finishes**

	MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	DECORATIVE CMU (GROUND FACE)	-	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	-	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1C	STRUCTURAL BRICK	-	8x4x16	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1D	SCORED FACE BLOCK (SOLDIER)	-	8x8x16 / SCORED FACE / MATCH STRUCTURAL BRICK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1E	CEMENT BOARD RAINSCREEN	-	LAP SIDING / WOOD LOOK	FINAL SELECTION TO BE APPROVED BY ARCHITECT
2A	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1C	
2B	PRE-FIN MTL COPING	UNICLAD or APPROVED EQUAL	COLOR TO MATCH 1E	
2C	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS
2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
3	STOREFRONT SYSTEM	KAWNEER or APPROVED EQUAL	DARK BRONZE ALUM FRAME W/ 1" INSULATED CLEAR GLASS	LOW-E / U=0.37 / SHGC=0.55
4A	PAINT	BENJAMIN MOORE or EQUAL	MATCH STRUCTURAL BRICK	
4B	PAINT	BENJAMIN MOORE or EQUAL		FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCNCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED	REF SHEET E1-01 FOR ADDITIONAL INFORMATION
6	FABRIC AWING	SUNBRELLA	BLACK	FINAL SELECTION TO BE APPROVED BY ARCHITECT

<b>Project Manager</b> B.COLBURN	<b>Drawn</b> -
<b>Project Leader</b> B.COLBURN	<b>Checked</b> -
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b> -
<b>Client</b>	
<b>Project</b>	Two Landlord Shell Building Development Genoa Township, Michigan
<b>Drawing Title</b>	PROPOSED BUILDING ONE
DO NOT SCALE DRAWING	
<b>Project No.</b> JC.DT.16.0195	<b>Drawing No.</b> A1



1 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
Scale: 1/4" = 1'-0"



3 WEST ELEVATION  
Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"

EXTERIOR FINISH AREAS - BLDG # 2

EXTERIOR WALL	GROSS WALL AREA	GENOA TOWNSHIP EXTERIOR WALL NATURAL MATERIAL MATRIX	
		FIBER CEMENT SIDING PROVIDED	NATURAL MATERIAL PROVIDED (MIN 80% REQUIRED)
NORTH WALL	1287 SF	301 SF = 23 %	986 SF = 77 %
EAST WALL	1565 SF	196 SF = 13 %	1368 SF = 87 %
WEST WALL	1298 SF	115 SF = 9 %	1183 SF = 91 %
SOUTH WALL	1520 SF	100 SF = 7 %	1420 SF = 93 %
TOTAL WALL AREA		= 5,670 SF	
TOTAL FIBER CEMENT SIDING PROVIDED		= 712 SF	
% OF FIBER CEMENT SIDING OF TOTAL WALL AREA		=13%	

GENERAL NOTES:

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- PROVIDE 3/4" FRT PLYWD BEHIND SIGN AREAS ONLY

FABRIC AWNING

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NOTE:

Ⓣ DENOTES CLEAR TEMPERED GLASS IN ANODIZED ALUM FRAME (REF DOOR AND STOREFRONT NOTES SHEET A8-01)

Exterior Material Finishes

	MATERIAL	MFGR.	COLOR / STYLE	REMARKS/ NOTES
1A	DECORATIVE CMU (GROUND FACE)	-	8x8x16 / STONE LOOK BLOCK / NATURAL MORTAR	FINAL SELECTION TO BE APPROVED BY ARCHITECT
1B	BLOCK SILL	-	8x4x16 / TO MATCH CONCRETE BASE BLOCK W/ 1/2" PULL	FINAL SELECTION TO BE APPROVED BY ARCHITECT
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2D	PRE-FIN MTL DOWNSPOUTS	UNICLAD or APPROVED EQUAL	-	GUTTER & DOWNSPOUTS FOR ENTRANCE CANOPIES
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4B	PAINT	BENJAMIN MOORE or EQUAL		FOR ENTRANCE CANOPIES
5	DECORATIVE WALL SCENCE	VISTA LIGHTING or EQUAL	COLOR AS SCHEDULED	REF SHEET E1-01 FOR ADDITIONAL INFORMATION
6	FABRIC AWING	SUNBRELLA	BLACK	FINAL SELECTION TO BE APPROVED BY ARCHITECT

NORR

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DATE	ISSUED FOR	REV
9/21/2016	TOWNSHIP REVIEW	

<b>Project Manager</b> B.COLBURN	<b>Drawn</b> -
<b>Project Leader</b> B.COLBURN	<b>Checked</b> -
<b>Date</b> 08/01/2016	<b>Dept Mgr Approval</b> -
<b>Client</b>	

**Project**  
Two Landlord Shell Building Development  
Genoa Township, Michigan

**Drawing Title**  
PROPOSED BUILDING TWO

DO NOT SCALE DRAWING

<b>Project No.</b> JCDT.16.0195	<b>Drawing No.</b> A2
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**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
SEPTEMBER 12, 2016  
6:30 P.M.  
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Barbara Figurski, James Mortensen, Eric Rauch, John McManus, and Diana Lowe. Absent was Chris Grajek. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Gary Markstrom of Tetra Tech, and an audience of 0.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA: **Moved** by Commissioner Figurski, seconded by Commissioner Rauch, to approve the agenda as presented. **The motion carried unanimously.**

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

**OPEN PUBLIC HEARING #1...**Review of Environmental Impact Assessment and Site Plan for proposed site grading on the balance of the land located south of the Providence Medical Center Project at the southeast corner of the Latson Road and Grand Oaks Drive intersection. The request is petitioned by Ascension Health for the purpose of raising grade to provide gravity fed sanitary sewer for future development.

- A. Recommendation of Impact Assessment (8-23-16)
- B. Disposition of Site Plant (8-24-16)

Mr. Markstrom reviewed his letter of August 29, 2016. He feels the plan has merit. He would like to ensure that the grading takes into consideration the water main that is going to be extended in this area. Also, if all of the out lots are going to be developed, then the grading should be adjusted so they can be serviced by the gravity-fed sanitary sewer.

The Environmental Impact Assessment should say "MDOT" instead of "MOOT".

Mr. Mark Yagerleander, the Regional Director of Real Estate for Ascension Health, stated they are raising the grade to allow for a gravity-fed sanitary sewer system. With regard to Mr. Markstrom's comments regarding the out lots, they are not sure if they are going to sell the one on the southeast corner as they are still working on the scope of the medical office building.

Mr. Gary Tressel of Hubble, Roth & Clark, Inc. stated they will be bringing in 60,000 tons of dirt fill for the site and are planning to bring the entire site up to the same grade. They will also ensure that the grade accommodates the future water main.

The call to the public was made at 6:51 pm with no response.

**Moved** by Commissioner McManus, seconded by Commissioner Mortensen, to recommend to the Township Board approval of the Impact Assessment dated 8-23-16 for grading at 1205 Latson Road, conditioned upon the following:

- “MOOT” shall be changed to “MDOT” anywhere it appears in the document.
- Any further approvals, beyond the Flagstar Bank, will require review of the master deed, if applicable. **The motion carried unanimously.**

**Moved** by Mortensen, seconded by McManus, to approve the Site Plan for grading at 1205 Latson Road conditioned upon the following:

- The requirements stated in the Township Engineer’s letter of August 29, 2016 shall be met.
- The requirements stated in the Brighton Area Fire Authority’s letter of September 1, 2016 shall be met.
- Approval of the Impact Assessment by the Township Board.

**The motion carried unanimously.**

**Administrative Business:**

- Staff Report

Ms. VanMarter stated that the developer of Lake Shore Village Place Phase III contacted her and stated that MSHDA, who is funding this project, has an issue with the natural gas pipeline and access road. They would like to see an Environmental Study. The developer would like to remove this area from the project by a land transfer. She feels this is an amendment to the approved site plan and it should be reviewed by the Planning Commission. The area in question was to be open space.

Commissioner Rauch stated this will change the density of the project.

All Commissioners agreed that if the plan is changed, it must come before the Planning Commission for review and approval.

- Approval of the August 8, 2016 Planning Commission meeting minutes

**Moved** by Commissioner Figurski, seconded by Commissioner Lowe, to approve the minutes of the August 8, 2016 Planning Commission Meeting as presented. **The motion carried unanimously.**

- Member Discussion

Commissioner Mortensen stated that when the two properties from developer Harvey Weiss were presented to the Township Board, they had some changes that were different than what was approved by the Planning Commission. The Board reached an agreement with Mr. Weiss; however, Mr. Mortensen feels these changes should have been reviewed by the Planning Commission.

Commissioner Figurski gave a review of the August Zoning Board of Appeals meeting.

- Adjournment

**Moved** by Commissioner Figurski, seconded by Commissioner Lowe, to adjourn the meeting at 7:10 pm. **The motion carried unanimously.**

DRAFT