

GENOA CHARTER TOWNSHIP BOARD
June 20, 2016
Regular Meeting and Public Hearing
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: June 6, 2016
3. Request for a fireworks display permit for Oak Pointe Country Club for July 3, 2016 as requested by Michael Freeland of ACE Pyro, LLC.

Approval of Regular Agenda:

4. Consider request to approve a SMART Zone application to the Michigan Economic Development Corporation for the Latson Interchange Area (tabled from 6/6/2016).
5. Public hearing on the Pardee Lake Aquatic Weed Control Project Winter 2016.
 - A. Call to the Property Owners.
 - B. Call to the Public.
6. Request for approval of Resolution No. 3 [approving the project, costs estimates, special assessment district and causing the special assessment roll to be prepared] for Pardee Lake Aquatic Weed Control project [Winter 2016].
7. Request for Approval of Resolution No. 4 [acknowledging the filing of the special assessment roll, scheduling the second hearing and directing the issuance of statutory notices] for Pardee Lake Weed Control project [Winter 2016].
8. Consideration of a request to approve the Environmental Impact Assessment (03-29-16) corresponding to a site plan for a proposed 16,053 sq. ft. addition to an existing industrial building known as Michigan Rod Products, Inc. which is located at 1326 Grand Oaks Drive, Howell. The request is petitioned by Asselin, McLane Architectural Group, LLC.
9. Consider authorization for payment of SELCRA invoice in amount of \$2,790 for FY 2015/2016 Budget shortfall.

Correspondence

Member Discussion

Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.</p>
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CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: June 20, 2016

TOWNSHIP GENERAL EXPENSES: Thru June 20, 2016	\$147,513.58
June 17, 2016 Bi Weekly Payroll	\$82,269.43
OPERATING EXPENSES: June 20, 2016	\$193,611.87
TOTAL:	\$423,394.88

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
32795	COOPERST	Cooper's Turf Management LLC	06/03/2016	2,735.00
32796	Brighton	Brighton Analytical , L.L.C.	06/09/2016	70.00
32797	DTE LAKE	DTE Energy	06/09/2016	926.92
32798	Duncan	Duncan Disposal Systems	06/09/2016	79,299.32
32799	ENVSYSRE	ESRI, INC.	06/09/2016	6,123.97
32800	GORDONFO	Gordon's Food Services	06/09/2016	306.60
32801	Landscap	Landscape Design & Associates	06/09/2016	1,461.50
32802	MAA	Michigan Assessors Association	06/09/2016	500.00
32803	OEX	Office Express Inc.	06/09/2016	119.35
32804	Penchura	Penchura L.L.C.	06/09/2016	34.00
32805	Amer	American Video Transfer Inc	06/20/2016	690.00
32806	AMER IMA	Applied Imaging	06/20/2016	15.32
32807	AmerAqua	American Aqua	06/20/2016	175.50
32808	ATT& IL	AT&T	06/20/2016	178.75
32809	BLUE CRO	Blue Cross & Blue Shield Of Mi	06/20/2016	29,742.79
32810	BRANVAN	Brandon VanMarter	06/20/2016	300.00
32811	BullsEye	BullsEye Telecom	06/20/2016	359.29
32812	COMCAST	Comcast	06/20/2016	324.38
32813	CONSUMER	Consumers Energy	06/20/2016	65.95
32814	CONTINEN	Continental Linen Service	06/20/2016	108.02
32815	EIHM	EIHM, INC	06/20/2016	8,895.00
32816	ETNA SUP	Etna Supply Company	06/20/2016	1,950.00
32817	GrajekC	Christine Grajek	06/20/2016	10.26
32818	LAKESIDE	Lakeside Service Company, Inc.	06/20/2016	1,650.00
32819	LivCTrea	Livingston County Treasurer	06/20/2016	38.65
32820	LSL	LSL Planning, Inc.	06/20/2016	1,533.00
32821	MASTER M	Master Media Supply	06/20/2016	452.82
32822	MER2	Michigan Election Resources	06/20/2016	63.21
32823	MROCZKA	Laura Mroczka	06/20/2016	26.04
32824	PRINTING	Printing Systems	06/20/2016	727.68
32825	Seward	Seward Peck & Henderson PLLC	06/20/2016	8,218.00
32826	TRI COUN	Tri County Supply, Inc.	06/20/2016	78.72
32827	VERIZONW	Verizon Wireless	06/20/2016	333.54

Report Total: 147,513.58

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cindy

Printed: 06/09/2016 - 13:54

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
13638	EFT-FED	EFT- Federal Payroll Tax	06/17/2016		8,502.96 4,812.82 4,812.82 1,125.60 1,125.60
Check 13638 Total:					20,379.80
13639	EFT-PENS	EFT- Payroll Pens Ln Pyts	06/17/2016		2,317.20 72.53
Check 13639 Total:					2,389.73
13640	EFT-PRIN	EFT-Principal Retirement 457	06/17/2016		1,157.00
Check 13640 Total:					1,157.00
13641	EFT-ROTH	EFT-Principal Roth	06/17/2016		555.00
Check 13641 Total:					555.00
13642	EFT-TASC	EFT-Flex Spending	06/17/2016		444.43 646.21
Check 13642 Total:					1,090.64

Report Total:

25,572.17

Account Number	Debit	Credit	Account Description
101-000-002-000	0.00	56,697.26	Cash-checking Account Only
101-000-259-000	56,697.26	0.00	Payroll Direct Deposit
	56,697.26	56,697.26	
Report Totals:	56,697.26	56,697.26	

4:12 PM

#593 LAKE EDGEWOOD W/S FUND

Payment of Bills

June 7 - 20, 2016

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	06/14/2016	2966	Brighton Analytical L.L.C.		-154.00
Bill Pmt -Check	06/14/2016	2967	Consumers Energy		-19.04
Bill Pmt -Check	06/14/2016	2968	Cooper's Turf Management	Lawn Care May 2016	-588.00
Bill Pmt -Check	06/14/2016	2969	DTE Energy	Electric Bills 5-2-16 to 6-3-16	-4,168.79
Bill Pmt -Check	06/20/2016	2970	BullsEye Telecom	4-10-16 TO 5-9-16 &	-687.86
Bill Pmt -Check	06/20/2016	2971	PVS NOLWOOD CHEMICALS, INC	supplies-chemicals	-842.00
Bill Pmt -Check	06/20/2016	2972	Sherwin-Williams	Paint	-17.89
Bill Pmt -Check	06/20/2016	2973	GENOA TWP DPW FUND		-10,468.90
Total					-16,946.48

4:29 PM

#503 DPW UTILITY FUND

Payment of Bills

June 7 - 20, 2016

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	06/09/2016	3617	PAETEC		-33.92
Bill Pmt -Check	06/09/2016	3618	Spirit of Livingston	Embroider Logo on shirts	-103.50
Bill Pmt -Check	06/09/2016	3619	WEX Bank		-2,681.65
Bill Pmt -Check	06/09/2016	3620	State of Michigan	x-plate for New Vector Truck	-13.00
Bill Pmt -Check	06/13/2016	3621	Champion Chevrolet	VOID: Two New Trucks	0.00
Bill Pmt -Check	06/14/2016	3622	LOWE'S	5-2-16 to 6-1-16	-4,287.87
Bill Pmt -Check	06/14/2016	3623	MI. Rural Water Association		-740.00
Bill Pmt -Check	06/14/2016	3624	Michigan Municipal League	VOID: Brian Czuprenski	0.00
Bill Pmt -Check	06/14/2016	3625	Port City Communications, Inc	6-1-16 to 6-30-2016	-294.69
Bill Pmt -Check	06/14/2016	3626	Red Wing Shoe Store	Jacob Mitchell, Jeff Meyers	-195.75
Bill Pmt -Check	06/14/2016	3627	Staples Credit Plan	Office supplies	-847.42
Bill Pmt -Check	06/14/2016	3628	Tractor Supply Co.	Supplies	-621.77
Bill Pmt -Check	06/14/2016	3629	Victory Lane Quick Oil Change		-106.45
Bill Pmt -Check	06/14/2016	3630	MI. Rural Water Association	Brian Czuprenski	-215.00
Bill Pmt -Check	06/14/2016	3631	U.S. POSTMASTER	LK Edge, Pine Creek Mar, Apr, May 2016	-174.61
Bill Pmt -Check	06/20/2016	3632	AK SERVICES	Brian Czuprenski	-150.00
Bill Pmt -Check	06/20/2016	3633	Applied Imaging		-389.35
Bill Pmt -Check	06/20/2016	3634	Blackburn Mfg. Co.		-612.59
Bill Pmt -Check	06/20/2016	3635	NORTHWEST PIPE & SUPPL	supplies	-161.23
Bill Pmt -Check	06/20/2016	3636	USABlueBook		-143.62
Bill Pmt -Check	06/20/2016	3637	AK SERVICES	Scott Lowe	-150.00
Bill Pmt -Check	06/20/2016	3638	AK SERVICES	Chris Lewis	-150.00
Bill Pmt -Check	06/20/2016	3639	AK SERVICES	Brian Hewlett	-150.00
Bill Pmt -Check	06/20/2016	3640	Genoa-Oceola Sewer Authority		-1,520.64
Total					-13,743.06

4:54 PM

#595 PINE CREEK W/S FUND

Payment of Bills

June 7 - 20, 2016

Type	Date	Num	Name	Memo	Amount
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no checks issued

4:57 PM

#592 OAK POINTE WATER/SEWER FUND

Payment of Bills

June 7 - 20, 2016

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	06/09/2016	3649	DTE ENERGY	4-29 to 6-1-16	-818.19
Bill Pmt -Check	06/09/2016	3650	Genoa Twp Oak Pointe Sewer Bond	Payment on Sewer Bond	-103,144.18
Bill Pmt -Check	06/09/2016	3651	CONSUMERS ENERGY	GAS SERVICE	-87.06
Bill Pmt -Check	06/14/2016	3652	Advance Rehabilitation Technology	Installation of the SpectraShield Liner Syst	-2,800.00
Bill Pmt -Check	06/14/2016	3653	AT&T	Monthly service 5-8-16 to 6-7-16	-98.99
Bill Pmt -Check	06/14/2016	3654	COOPERS TURF MANAGEMENT, LLC		-2,486.00
Bill Pmt -Check	06/14/2016	3655	DTE ENERGY	4-30-16 to 6-3-16	-4,284.39
Bill Pmt -Check	06/20/2016	3656	Bullseye Telecom	003CA32, 003CACC	-440.60
Bill Pmt -Check	06/20/2016	3657	FIRST IMPRESSIONS PRINT & MARKETING		-97.75
Bill Pmt -Check	06/20/2016	3658	GENOA TWP DPW FUND	Maintenance Billing Fees	-36,951.03
Bill Pmt -Check	06/20/2016	3659	GRUNDY ACE OF HOWELL	supplies	-4.99
Bill Pmt -Check	06/20/2016	3660	Hubbell, Roth & Clark, Inc.	Project # 20160121 23	-1,925.79
Bill Pmt -Check	06/20/2016	3661	McNaughton-McKay Electric	Plant Equipment	-748.76
Bill Pmt -Check	06/20/2016	3662	Northern Pump & Well	Annual Well Inspection	-600.00
Bill Pmt -Check	06/20/2016	3663	NORTHWEST PIPE AND SUPPLY, I	SUPPLIES	-49.23
Bill Pmt -Check	06/20/2016	3664	Seven Brothers Painting, Inc	Tower Painting-final	-8,367.00
Bill Pmt -Check	06/20/2016	3665	United States Plastic Corp	Customer #297975	-18.37
				Total	-162,922.33

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
June 6, 2016

MINUTES

Supervisor McCririe called the regular meeting of the board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following board members were present constituting a quorum for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Linda Rowell, Jim Mortensen, Todd Smith and Jean Ledford. Also present were: Township Manager Michael Archinal; Township Attorney Joe Seward and approximately five persons in the audience.

Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Smith and supported by Mortensen to approve all items under the consent agenda as requested. The motion carried unanimously.

1. Payment of Bills.

2. Request to Approve Minutes: May 16, 2016

3. Request to approve the Assessor's affidavit of the 2016 Millage levies establishing the millage rate at 0.8121.

Approval of Regular Agenda:

Moved by Smith and supported by Rowell to approve for action all items listed under the regular agenda as requested. The motion carried unanimously.

4. Request for approval of Resolution No. 1 [to proceed with the project and direct preparation of the plans and cost estimates] for the Pardee Lake Aquatic Weed Control Project [Winter 2016].

Moved by Ledford and supported by Smith to approve Resolution No. 1 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

5. Request for approval of Resolution No. 2 [to approve the project, schedule the first hearing and direct the issuance of the statutory notices] for the Pardee Lake Aquatic Weed Control Project [Winter 2016].

Moved by Smith and supported by Hunt to approve Resolution No. 2 as requested setting the first public hearing for June 20, 2016. The motion carried by roll call vote as follows:

Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

6. Consideration of a request to approve the Environmental Impact Assessment (5-19-16) corresponding to a site plan for the proposed Misty Meadows Drive private road located on the west side of S. Latson Road, south of Crooked Lake Road. The private road will serve 9 lots. The request is petitioned by GFG Investments Properties.

Moved by Skolarus and supported by Smith to approve the environmental impact assessment for Misty Meadows Drive private road with the following conditions: The private road maintenance agreement shall be approved by the township attorney; the applicant shall comply with the private road construction process as described in the May 17, 2016 memo from the Township Engineer. The motion carried unanimously.

7. Consider request to approve a Resolution of Intent calling a public hearing regarding the creation of a Local Development Finance Authority in the Latson Interchange area.

Moved by Smith and supported by Ledford to approve the Resolution of Intent setting the public hearing for Monday, July 18, 2016 at 6:30 p.m. at the Genoa Charter Township Hall regarding the creation of a Local Development Finance Authority as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

8. Consider request to approve a SMART Zone application to the Michigan Economic Development Corporation for the Latson Interchange Area.

Moved by Hunt and supported by Skolarus to table until the next regular meeting of the board on June 20, 2016. The motion carried unanimously.

9. Consider going into closed session to discuss pending litigation pursuant to MCL 15.268 § 8 (e).

Moved by Skolarus and supported by Rowell to move to closed session at 7:01 p.m. as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe. Nays – None. Absent – None.

The closed session was adjourned at the board returned to the open meeting at 7:15.

- Correspondence regarding the 97 acre Herbst Farm was discussed with no action taken by the board.
- St. George Lutheran Church approved the sale of cemetery lots to the township

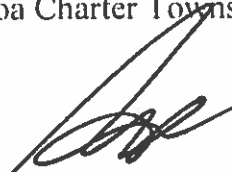
GENOA CHARTER TOWNSHIP BOARD – Regular Meeting – June 6, 2016

- McCririe and Mortensen will not be in attendance at the next regularly scheduled meeting of the board.
- Proposals for the August Primary Election will be placed on the Township website.

The regular meeting of the Genoa Charter Township Board was adjourned at 7:20 p.m.



Paulette A. Skolarus, Clerk
Genoa Charter Township



Gary McCririe, Supervisor
Genoa Charter Township



To Board 06/20/2016

Mr. Gary McCririe

27 May 2016

Chairman

Township Board of Supervisors

Genoa Township

2911 Dorr Road

Brighton, MI 48116

Dear Gary:

This letter serves as my request for a Fireworks Display Permit for Oak Point Country Club's 2016 Independence Day Celebration.

Attached please find the (2016 New Form) Application for Fireworks Display, ATF Letter of Clearance, PGI Certification, Contingent Storage Letter, Certificate of Insurance and Show Plan.

Please contact me with any questions or comments you may have – we hope you come and see the show !

Regards,

Michael Freeland

ACE Pyro, LLC



Mr. Gary McCririe

27 May 2016

Chairman

Township Board of Supervisors

Genoa Township

2911 Dorr Road

Brighton, MI 48116

Dear Gary:

This letter serves as notice that ACE PYRO LLC will have no contingent or on-site storage of any 1.3g/1.4g Fireworks relating to the proposed display on 03 July 2016 at Oak Pointe Country Club. All Fireworks will be shipped directly to the site on the day of the display, and any unused or non-performing ("Dud") items will return to our ATF approved Type IV magazine(s)

Regards,

Michael Freeland

ACE Pyro, LLC



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

5/11/2016

PRODUCER Phone: 425-455-5640 Fax: 425-455-6727
 The Partners Group Ltd
 11225 SE 6th St., Suite 110
 Bellevue WA 98004

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
 Ace Pyro, LLC
 13001 E. Austin Rd
 Manchester MI 48158

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: T.H.E. Insurance Company	12866
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A	X	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CPP010442901	11/1/2015	11/1/2016	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ N/A PRODUCTS - COM/POP AGG \$ 2,000,000
A		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	CPP010442901	11/1/2015	11/1/2016	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ GARAGE LIABILITY <input type="checkbox"/> ANY AUTO AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC AGG \$
A		EXCESS / UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$	ELP001174701	11/1/2015	11/1/2016	EACH OCCURRENCE \$ 9,000,000 AGGREGATE \$ 9,000,000 \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 The following are Additional Insured on General Liability as their interest may appear as respects operations performed by or on behalf of the Named Insured, as required by written contract.
 Additional Insured: Genoa Township, the Oak Pointe Homeowners Association and Oak Pointe Marina
 Event Location: From floating platform(s) in West Crooked Lake, GPS Coordinates 42.537066, -83.857656
 Event Date: 7/3/2016 RD: 7/4/2016

CERTIFICATE HOLDER	CANCELLATION
Oak Pointe Country Club 4500 Club Drive Brighton MI 48116	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE



U.S. Department of Justice
Bureau of Alcohol, Tobacco, Firearms and Explosives
Federal Explosives Licensing Center
244 Needy Road
Martinsburg, West Virginia 25405

901090: CRR/FLS
5400
File Number: 4MI12625

09/18/2014

SUBJECT: EMPLOYEE POSSESSOR LETTER OF CLEARANCE for:

MICHAEL KENNETH FREELAND 05/14/1961 380743733

GENERAL LABORER
(248)676-2395

MANCHESTER, MI 48381

and is ONLY valid under the following Federal explosive license/permit:

**GENERAL LABORER
380743733
MANCHESTER, MI 48381**

Dear MICHAEL FREELAND:

You have been approved to transport, ship, receive or possess explosive materials as an employee possessor under the Federal explosive license or permit indicated above. This clearance is only valid under the license or permit referenced above.

Sincerely,

Christopher R. Reeves
Chief, Federal Explosives Licensing Center (FELC)

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

Mail: ATF
Chief, FELC
Attn.: LOC Correction
244 Needy Road
Martinsburg, West Virginia 25405

Fax: 1-304-616-4401
Chief, FELC
Attn.: LOC Correction

Call toll-free: 1-877-283-3352

MICHAEL KENNETH FREELAND

Employee Possessor Letter of Clearance for:

Application for Fireworks Other Than Consumer or Low Impact

FOR USE BY LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD ONLY
 DATE PERMIT(S) EXPIRE:

Authority: 2011 PA 256
 Compliance: Voluntary
 Penalty: Permit will not be issued

The LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this Legislative Body of City, Village or Township Board.

TYPE OF PERMIT(S) (Select all applicable boxes)

Agricultural or Wildlife Fireworks Articles Pyrotechnic Display Fireworks

Public Display Private Display

Special Effects Manufactured for Outdoor Pest Control or Agricultural Purposes

NAME OF APPLICANT MICHAEL FREELAND	ADDRESS OF APPLICANT 975 LARIVEE LANE, MILFORD, MI	AGE (18 YEARS OR OLDER) OF APPLICANT 55
---------------------------------------	---	--

NAME OF PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER N/A	ADDRESS PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER N/A
---	---

IF A NON-RESIDENT APPLICANT (LIST NAME OF MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT) N/A	ADDRESS (MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT) N/A	TELEPHONE NUMBER
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NAME OF PYROTECHNIC OPERATOR MICHAEL FREELAND	ADDRESS OF PYROTECHNIC OPERATOR 975 LARIVEE LANE, MILFORD, MI 48361	AGE (18 YEARS OR OLDER) OF PYROTECHNIC OPERATOR
--	--	---

NO. YEARS EXPERIENCE 21	NO. DISPLAYS 150 +	WHERE Michigan, Iowa, Wyoming, North Dakota, Wisconsin, Indiana
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NAME OF ASSISTANT CHRIS RENEMA	ADDRESS OF ASSISTANT 1231 HAWTHORNE MI 48236	AGE OF ASSISTANT (18 YEARS OR OLDER) 30
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NAME OF OTHER ASSISTANT N/A	ADDRESS OF OTHER ASSISTANT N/A	AGE OF OTHER ASSISTANT (18 YEARS OR OLDER) N/A
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EXACT LOCATION OF PROPOSED DISPLAY
 FROM FLOATING PLATFORMS (3) IN WEST CROOKED LAKE, GENOA TWP, MI 605 42.537066, -83.857656
 SEE ATTACHED MAP

DATE OF PROPOSED DISPLAY 03 JULY 2016	TIME OF PROPOSED DISPLAY 0955 PM EST
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MANNER AND PLACE OF STORAGE, SUBJECT TO APPROVAL OF LOCAL FIRE AUTHORITIES, IN ACCORDANCE WITH NFPA 1123, 1124 & 1128 AND OTHER STATE OR FEDERAL REGULATIONS.
 PROVIDE PROOF OF PROPER LICENSING OR PERMITTING BY STATE OR FEDERAL GOVERNMENT
 (NEED NOT BE STORED; DIRECT SHIPMENT FROM MANUFACTURER TO SITE)
 - NO ON SITE STORAGE

AMOUNT OF BOND OR INSURANCE (TO BE SET BY LOCAL GOVERNMENT) \$10,000,000.00 (TEN MILLION DOLLARS)	NAME OF BONDING CORPORATION OR INSURANCE COMPANY THE PASTURES GROUP, LTD.
--	--

ADDRESS OF BONDING CORPORATION OR INSURANCE COMPANY
 11225 S.E. 6TH ST. SUITE 110, BELLEVUE, WA 98004

NUMBER OF FIREWORKS	KIND OF FIREWORKS TO BE DISPLAYED (Please provide additional pages as needed)
4	1.3g 1-2" CAME ITEMS
120+	2.5" AERIAL SHELLS
144+	3.0" AERIAL SHELLS
72+	4.0" AERIAL SHELLS
32+	5.0" AERIAL SHELLS
18+	6.0" AERIAL SHELLS
— NOTHING FOLLOWS —	

SIGNATURE OF APPLICANT 	DATE 26 MAY 2016
----------------------------	---------------------




Google earth



N.F.P.A. 1123 REQUIRES 70' INCH OF DIAMETER
OF LARGEST STEEL TO THE SPECTATOR LINE.
420' IS REQUIRED, 502' IS SHOWN (6" STEEL)

MEMORANDUM

TO: Township Board
FROM: Michael Archinal 
DATE: 6/16/2016
RE: SMART Zone Application

At the 6/6/2016 meeting the Board tabled an application to the MEDC for the establishment of a SMART Zone LDFA. The deadline for submittal is July 1, 2016. For several months our focus has been on the application. Without the TIF capture of a SMART Zone it really makes no sense to establish an LDFA. Because this is a new law MEDC and Department of Treasury rules have been difficult to track down. We have recently been informed that the LDFA needs to be in place prior to application or the application will be rejected as incomplete. Because of statutory notice requirements we will not be able to create the LDFA prior to July 1.

The legislature allowed for the creation of 9 satellite SMART Zones. The economic development people I have spoken to are unaware of any other communities making application for a satellite. This means that it is likely that MEDC will create another application deadline sometime in the future. So there is cause for optimism.

This has been a large effort on the part of staff. This is obviously a major disappointment. I look forward to discussing this with you on Monday to providing more detail what this means and on how we can move forward.

Please consider the following action:

Moved by _____, supported by _____, to table consideration of the SMART Zone application until such time as deemed appropriate by staff.

Resolution No. 3 – Pardee Lake Aquatic Weed Control Project
Reimbursement Special Assessment Project (Winter 2016)

TOWNSHIP OF GENOA

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the “Township”) held at the Township Hall on June 20 , 2016, at 6:30 p.m., there were

PRESENT: Skolarus, Hunt, Ledford, Smith and Rowell

ABSENT: McCririe and Mortensen

The following preamble and resolution were offered by _____ and seconded by _____.

Resolution Approving Project, Cost Estimates, Special Assessment District and Causing the Special Assessment Roll to be Prepared

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township Clerk;

WHEREAS, the Township Board has tentatively determined to proceed with the Project as described in Exhibit A and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, The Board of Trustees of the Township has declared its intention to make the improvement and tentatively designated the special assessment district against which the cost of the improvement is to be assessed is described in Exhibit A.

WHEREAS, on June 20, 2016 a public hearing was held to hear any objections to the petition, to the improvement and to the special assessment district and notice of the hearing was provided pursuant to the requirements of Act No 188, Michigan Public Acts of 1954, as amended;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board approves the completion of the Project and approves the plans and cost estimates for the Project, which are on file with the Township Clerk and which are identified as “Plans and Cost Estimates for the Pardee Lake Aquatic Weed Control Project and Reimbursement Special Assessment Project (Winter 2016).”

2. The Township Board approves the sufficiency of the Petition for the improvement.

3. The Township Board determines that the Special Assessment District for the Project shall consist of the parcels identified in Exhibit B. The term of the Special Assessment District shall be for five-years.

4. The Township Board has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

5. The Township Supervisor is directed to prepare the Special Assessment Roll for the Special Assessment District identified in Exhibit B. The Special Assessment Roll shall describe all the parcels of land to be assessed with the names of the respective record owners of each parcel, if known, and the total amount to be assessed against each parcel of land. When the Township Supervisor completes the Special Assessment Roll, he shall affix his certificate to the roll stating that the roll was made pursuant to a resolution of the Township Board adopted on a specified date, and that in making the assessment roll the supervisor, according to his or her best judgment, has conformed in all respects to the directions contained in the resolution and the statutes of the State of Michigan.

5. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES: Ledford, Smith, Hunt, Rowell and Skolarus.

NO: None.

ABSENT: McCririe and Mortensen.

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Township Clerk

EXHIBIT A

PARDEE LAKE AQUATIC WEED CONTROL PROJECT

DESCRIPTION OF PROJECT
A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

• Annual permits with MDEQ	4,150.00	
• Lake vegetation survey	4,800.00	
• Algaecide and Herbicide Treatments	111,150.00	
• Harvesting	7,500.00	
• Publications and mailings	2,400.00	
	130,000.00	TOTAL

The five year estimated cost from 2016 until 2020 is projected to be \$130,000.00 (including publications and mailings for the establishment of the special assessment district)

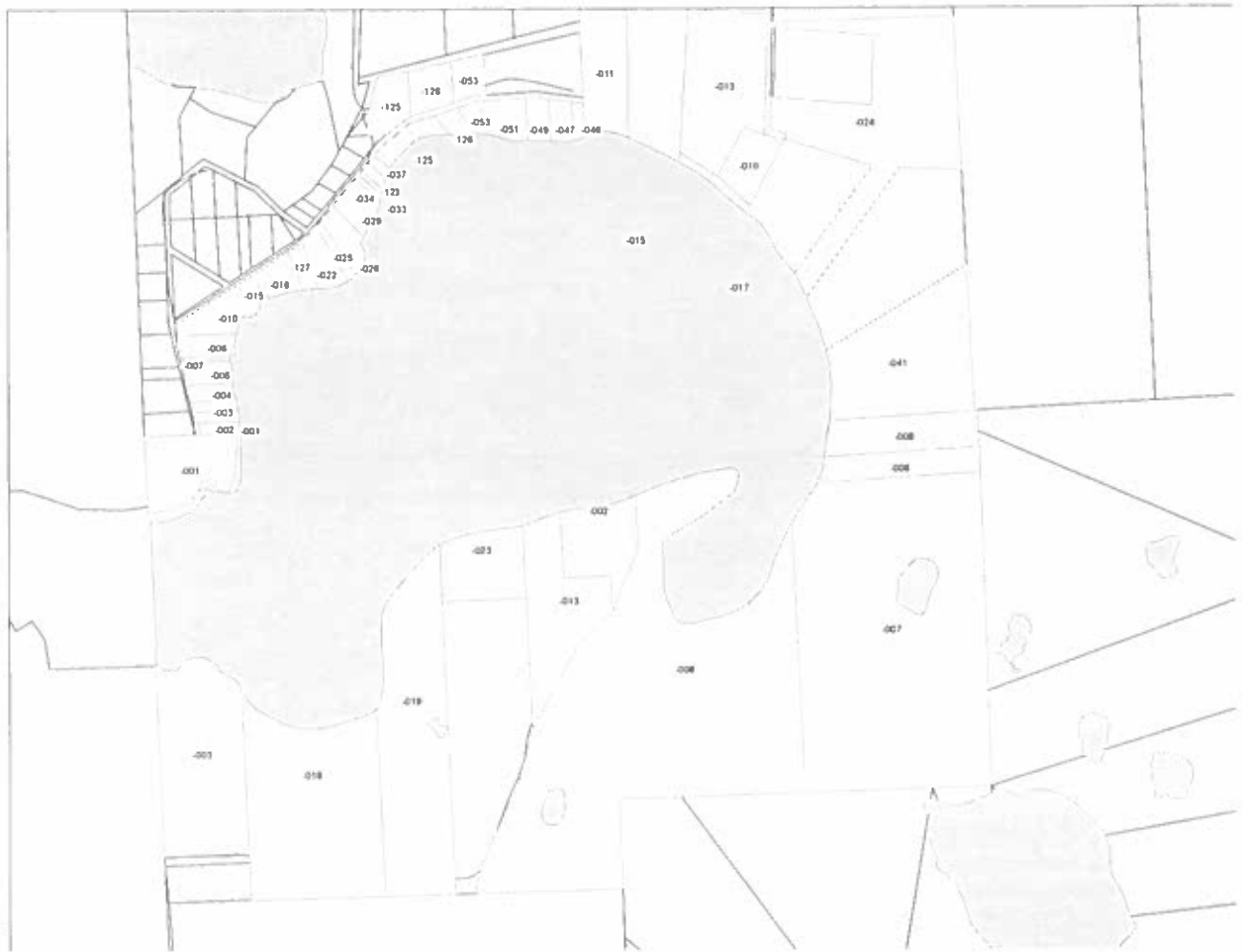
Total amount per parcel - \$3,023.25 - Amount per year for five-years - \$604.65 annually.

EXHIBIT B

PARDEE LAKE AQUATIC WEED CONTROL PROJECT
PARCELS INCLUDED IN THE SPECIAL ASSESSMENT DISTRICT

The Project is being designed to serve the properties in the Special Assessment District, which district includes the specific properties that are identified by the following permanent parcel numbers:

4711-30-100-010	4711-30-100-011	4711-30-100-013	4711-30-100-015
4711-30-100-017	4711-30-100-024	4711-30-100-041	4711-30-101-001
4711-30-101-002	4711-30-101-003	4711-30-101-004	4711-30-101-006
4711-30-101-007	4711-30-101-010	4711-30-101-015	4711-30-101-018
4711-30-101-022	4711-30-101-025	4711-30-101-026	4711-30-101-029
4711-30-101-033	4711-30-101-034	4711-30-101-037	4711-30-101-046
4711-30-101-047	4711-30-101-049	4711-30-101-051	4711-30-101-053
4711-30-101-123	4711-30-101-125	4711-30-101-126	4711-30-101-127
4711-30-300-001	4711-30-300-002	4711-30-300-003	4711-30-300-006
4711-30-300-007	4711-30-300-008	4711-30-300-009	4711-30-300-013
4711-30-300-018	4711-30-300-019	4711-30-300-023	



Resolution No. 4 – Pardee Lake Aquatic Weed Control Project
Reimbursement Special Assessment Project (Winter 2016)

TOWNSHIP OF GENOA

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the “Township”) held at the Township Hall on June 20, 2016, at 6:30 p.m., there were

PRESENT: Skolarus, Hunt, Ledford, Smith and Rowell.

ABSENT: McCririe and Mortensen

The following preamble and resolution were offered by _____ and supported by _____:

Resolution Acknowledging the Filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of Statutory Notices

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Pardee Lake Aquatic Weed Control Improvement project within the Township as described in Exhibit A (the “Project”) and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled “Special Assessment Roll for the Pardee Lake Aquatic Weed Control Improvement Project Reimbursement Special Assessment Project (Winter 2016)”, and has filed the Proposed Roll with the Township Clerk;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Township Board acknowledges that the Township Supervisor has filed the Proposed Roll with the Township Clerk.
2. The Township Board acknowledges that the Township Supervisor has certified that (a) the Proposed Roll was prepared in accordance with the direction of the Township Board and (b) the Proposed Roll was prepared in accordance with the laws of the State of Michigan.
3. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing to review and hear objections on the Proposed Roll.
4. The second public hearing will be held on Monday, July 18, 2016 at 6:30 p.m. at the offices of Genoa Township, Livingston County, Michigan.
5. The Township Clerk is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the

last Township tax assessment records. The last Township tax assessment records means the last assessment roll for ad valorem tax purposes which has been reviewed by the Township board of review, as supplemented by any subsequent changes in the names or addresses of such owners or parties listed thereon. The notice to be mailed by the Township Clerk shall be similar to the notice attached as Exhibit B and shall be mailed by first class mail on or before July 6, 2016. Following the mailing of the notices, the Township Clerk shall complete an affidavit of mailing similar to the affidavit set forth in Exhibit C.

6. The Township Clerk is directed to publish a notice of the public hearing in the Livingston County Daily Press & Argus, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before July 8, 2016 and July 15, 2016. The notice shall be in a form substantially similar to the notice attached as Exhibit B.

7. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES: Ledford, Smith, Hunt, Rowell and Skolarus.

NO: None.

ABSENT. McCririe and Mortensen.

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A

PARDEE LAKE AQUATIC WEED CONTROL IMPROVEMENT PROJECT

DESCRIPTION OF PROJECT
A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

The project (the "Project") will consist of:

• Annual permits with MDEQ	4,150.00	
• Lake vegetation survey	4,800.00	
• Algacide and Herbicide Treatments	111,150.00	
• Harvesting	7,500.00	
• Publications and mailings	2,400.00	
	130,000.00	TOTAL

The five year estimated cost from 2016 until 2020 is projected to be \$130,000.00 (including publications and mailings for the establishment of the special assessment district)

Total amount per parcel - \$3,095.24 - Amount per year for five-years - \$619.05 annually.

EXHIBIT B

Genoa Charter Township
Livingston County, Michigan

NOTICE OF PUBLIC HEARING
ON THE SPECIAL ASSESSMENT ROLL FOR THE
PARDEE LAKE AQUATIC WEED CONTROL IMPROVEMENT PROJECT

NOTICE IS HEREBY GIVEN:

(1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on July 18, 2016, at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review said assessment roll for the Pardee Lake Aquatic Weed Control Improvement Project, to hear any objections thereto and to confirm the roll as submitted, revised or amended. The Township Board may also consider objections to the petition, to the improvement and to the special assessment district.

The project (the "Project") will consist of:

The project (the "Project") will consist of:

• Annual permits with MDEQ	4,150.00	
• Lake vegetation survey	4,800.00	
• Algacide and Herbicide Treatments	111,150.00	
• Harvesting	7,500.00	
• Publications and mailings	2,400.00	
	130,000.00	TOTAL

The five year estimated cost from 2016 until 2020 is projected to be \$130,000.00 (including publications and mailings for the establishment of the special assessment district)

Total amount per parcel - \$3,095.24 - Amount per year for five-years - \$619.05 annually.

(2) The Project is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included) and includes the specific properties that are identified by the following permanent parcel numbers:

4711-30-100-010	4711-30-100-011	4711-30-100-013	4711-30-100-015
4711-30-100-017	4711-30-100-024	4711-30-100-041	4711-30-101-001
4711-30-101-002	4711-30-101-003	4711-30-101-004	
4711-30-101-010	4711-30-101-015	4711-30-101-018	
4711-30-101-022	4711-30-101-025	4711-30-101-026	4711-30-101-029
4711-30-101-033	4711-30-101-034	4711-30-101-037	4711-30-101-046
4711-30-101-047	4711-30-101-049	4711-30-101-051	4711-30-101-053
4711-30-101-123	4711-30-101-125	4711-30-101-126	4711-30-101-127
4711-30-300-001	4711-30-300-002	4711-30-300-003	4711-30-300-006
4711-30-300-007	4711-30-300-008	4711-30-300-009	4711-30-300-013
4711-30-300-018	4711-30-300-019	4711-30-300-023	4711-30-101-130



(3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.

(4) The preliminary plans and cost estimates for the proposed Project and the boundaries of the Special Assessment District are now on file in the office of the Township Clerk for public examination.

(5) The Township has received petitions signed by owners of more than fifty percent (50%) of the total frontage within the Pardee Lake Aquatic Weed Control Improvement Project within the Township in accordance with Act No. 188, Michigan Public Acts of 1954, as amended.

(6) The Supervisor of the Township has reported to the Township Board of Trustees and filed in the office of the Township Clerk for public examination a special assessment roll prepared by him covering all properties within the Special Assessment District benefited by the proposed Pardee Lake Aquatic Weed Control Improvement Project (the "Project"). Said assessment roll has been prepared for the purpose of assessing a portion of the costs of the construction of the Project and work incidental thereto within the aforesaid Pardee Lake Aquatic Weed Control Improvement assessment district as more particularly shown on the plans on file with the Township Clerk at 2911 Dorr Road, Brighton, Michigan 48116 which assessment is in the total amount of \$130,000.00. Said roll may be examined at the office of the Township Clerk during regular business hours until the time of said hearing and may further be examined at the hearing.

(7) The assessing officer has further reported that the assessment against each parcel of land within said district is such relative portion of the whole sum levied against all parcels of land in said district as the benefit to such parcels bears to the total benefit to all parcels of land in said district.

(8) Record owners and any party in interest of land have the right to object in person or to file written objections to the special assessment roll, to the petition, to the improvement and to the special assessment district. Any person objecting in writing to the special assessment roll, the petition, the improvement, or the proposed special assessment district shall file the objection with the Township Clerk before the close of the July 18, 2016 hearing or within such further time as the Township Board may grant. Appearance and protest at the hearing is required in order to appeal the amount of the special assessment to the state tax tribunal.

(9) The owner or any person having an interest in the real property who protests in person or in writing at the hearing may file a written appeal of the special assessment with the State Tax Tribunal within 30 days after the special assessment roll is confirmed.

This notice is given by order of the Genoa Township Board

Dated: June 20, 2016

Paulette A. Skolarus
Genoa Township Clerk

(Press/Argus 07/08/2016 & 07/15/2016)

GENOA CHARTER TOWNSHIP
Livingston County, Michigan

NOTICE OF PUBLIC HEARING
FOR THE PROPOSED PARDEE LAKE AQUATIC WEED CONTROL
IMPROVEMENT PROJECT
AND SPECIAL ASSESSMENT DISTRICT FOR THE PROJECT

(1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on July 18, 2016, at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review the following proposed special assessment district:

GENOA CHARTER TOWNSHIP – PARDEE LAKE AQUATIC WEED CONTROL
IMPROVEMENT PROJECT
AND SPECIAL ASSESSMENT DISTRICT (Winter 2016)

and to hear any objections to the petition, to the improvement and to the special assessment district. The Township Board may revise, correct, amend or change the plans, estimate of cost, or special assessment district.

The Pardee Lake Aquatic Weed Control Improvement Project is a five-year program at a cost of \$130,000.00 for improvement to Pardee Lake. The total amount per parcel is \$3,095.38; the amount per parcel per year is \$619.04.

(2) The Project is being designed to serve the properties in the Special Assessment District, described above.

(3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.

(4) The preliminary plans and cost estimates for the proposed Project and the boundaries of the Special Assessment District are now on file in the office of the Township Clerk for public examination from the date of this notice until and including the date of the public hearing and may be examined at the hearing.

(5) The Township has received petitions signed by owners of more than fifty percent (50%) of the total frontage within the Pardee Lake Aquatic Weed Control Improvement Project within the Township in accordance with Act No. 188, Michigan Public Acts of 1954, as amended.

(6) Record owners and any party in interest of land have the right to object in person or to file written objections to the petition, to the improvement, to the special assessment district and to the roll. Any person objecting in writing to the petition, the improvement, or the proposed special assessment district shall file the objection with the Township Clerk before the close of the July 18, 2016 hearing or within such further time as the Township Board may grant. Appearance and protest at the hearing is required in order to appeal the amount of the special assessment to the state tax tribunal.

This notice is given by order of the Genoa Township Board.

Dated: June 20, 2016

Paulette A. Skolarus
Genoa Township Clerk

(Press/Argus 07/08/2016 &07/15/2016)

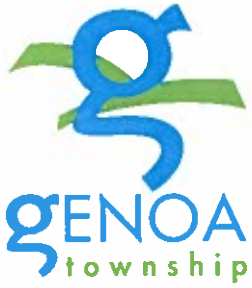
EXHIBIT C

AFFIDAVIT OF MAILING

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

PAULETTE A. SKOLARUS, being first duly sworn, deposes and says that she personally prepared for mailing, and did on July 6, 2016, send by first-class mail, the notice of hearing, a true copy of which is attached hereto, to each record owner of or party in interest in all property to be assessed for the improvement described therein, as shown on the last local tax assessment records of the Township of Genoa; that she personally compared the address on each envelope against the list of property owners as shown on the current tax assessment rolls of the Township; that each envelope contained therein such notice and was securely sealed with postage fully prepaid for first-class mail delivery and plainly addressed; and that she personally placed all of such envelopes in a United States Post Office receptacle on the above date.

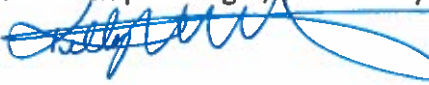
Paulette A. Skolarus, Clerk
Genoa Charter Township



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org


MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community
Development Director 

DATE: June 13, 2016

RE: Michigan Rod Products Addition

MANAGER'S REVIEW: 

Attached please find the project case file for the Michigan Rod Products expansion project. The applicant requests site plan review and approval for a 16,053 square foot addition to an existing industrial building on the west side of Grand Oaks Drive. The application indicates that the business manufactures steel components for the automotive industry.

General manufacturing uses are permitted by-right in the Industrial zoning district that the project is located within. As required, the project site plan was reviewed and approved by the Planning Commission on Monday, June 13, 2016. At that same meeting, the Planning Commission recommended approval to the Township Board regarding the Environmental Impact Assessment.

The applicant and their design team have been exceptional to work with and have made every effort to accommodate the Township's comments and requirements throughout the process. Based on the Planning Commission's recommendation I am pleased to request the Board consider **approval** of the Impact Assessment dated March 29, 2016 with the incorporation of the comments and conditions requested by the Planning Commission.

Should you have any questions concerning this matter, please do not hesitate to contact me.

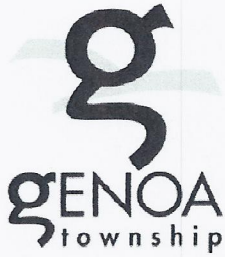
SUPERVISOR
Gary T. McCrie

CLERK
Paulette A. Skolarus

TREASURER
Robin L. Hunt

TRUSTEES
H. James Mortensen
Jean W. Ledford
Todd W. Smith
Linda Rowell

MANAGER
Michael C. Archinal



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:
Asselin, McLane Architectural Group, LLC

APPLICANT NAME & ADDRESS: 4488 W. Bristol Rd., Flint, MI 48507

If applicant is not the owner, a letter of Authorization from Property Owner is needed.
Michigan Rod Products, Inc

OWNER'S NAME & ADDRESS: 1326 Grand Oaks Dr., Howell, MI 48843

SITE ADDRESS: 1326 Grand Oaks Dr., Howell, MI 48843 PARCEL #(s): 4711-08-100-011

APPLICANT PHONE: (810) 230-9311 OWNER PHONE: (517) 552-9812

OWNER EMAIL: _____

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

West side of Grand Oaks Drive wooded 20 acre parcel with existing building, between Grand River Avenue and I-96.

BRIEF STATEMENT OF PROPOSED USE: _____

Fabrication of steel components for automotive industry (manufacturing)

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

16,053 sq ft addition

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____


ADDRESS: 4488 W. Bristol Rd., Flint, MI 48507

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) John L. Asselin, Jr. of Asselin, McLane Arcitectoral Group, LLC at jasselin@amarchitecturalgroup.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 5-2-16
PRINT NAME: Raymond Embach IV PHONE: 810.230.9311
ADDRESS: 4488 W. Bristol Road, Flint, MI 48507

Moved by Commission Lowe, seconded by Commissioner Mortensen, to table Agenda Item #1 until the July 11, 2016 Planning Commission meeting. **The motion carried unanimously.**

OPEN PUBLIC HEARING #2...Review of site plan and impact assessment for a proposed 16,053 sq. ft. addition to an existing industrial building known as Michigan Rod Products, Inc., which is located at 1326 Grand Oaks Drive, Howell. The request is petitioned by Asselin, McLane Architectural Group, LLC.

Planning Commission disposition of petition:

- A. Recommendation of Impact Assessment (3-29-16)
- B. Disposition of Site Plan (5-25-16)

Mr. John Asselin of Asselin, McLane Architectural Group, LLC, gave a brief description of the proposed project and showed the proposed building materials.

Mr. Borden stated that the applicant has addressed all of the concerns in his original review letter. He noted that the applicant is proposing less parking that is required; however, they will be providing a land bank in the case additional parking is needed in the future. They are required to provide 143 spaces. They are proposing 131 spaces and land bank 143 spaces. They have three shifts with a total of 75 employees so he believes this proposal is sufficient.

The call to the public was made at 7:50 pm with no response.

Moved by Commissioner McManus, seconded by Commissioner Lowe, to recommend to the Township Board approval of the Impact Assessment for Michigan Rod Products, Inc. dated March 29, 2016. **The motion carried unanimously.**

Moved by Commissioner Mortensen, seconded by Commissioner Grajek, to approve the Site Plan dated May 25, 2016 for a 16,053 sq. ft. factory expansion for Michigan Rod Products, Inc., subject to the following:

- The conditions spelled out in the Township Engineer's letter dated June 8, 2016 must be met.
- The conditions spelled out in the Brighton Area Fire Authority's letter of June 3, 2016 must be met.

The motion carried unanimously.

Administrative Business:

- Staff Report

Mr. VanMarter stated there will be five items on next month's agenda, plus the item that was tabled this evening.

- Approval of the May 9, 2016 Planning Commission meeting minutes

Ms. Lowe asked that “for Misty Meadows” be added to the motion to recommend approval of their Environmental Impact Assessment. She also asked that the statement, “Commissioner Lowe feels all Commissioners are able to make the motions” be changed to “Commissioner Lowe believes all Commissioners have the ability to make motions”.

Moved by Commissioner Lowe, seconded by Commissioner Mortensen, to approve the minutes of the May 9, 2016 Planning Commission Meeting with the proposed changes. **The motion carried unanimously.**

- Member Discussion:

Commissioner Grajek questioned if Ms. VanMarter met with the BAFA regarding their requirements for cisterns. Ms. VanMarter stated she has spoken to them and expressed the Township’s concerns and they have agreed to no longer require cisterns in their review letters when homes are over a certain size.

- Adjournment

Moved by Commissioner McManus, seconded by Commissioner Mortensen, to adjourn the meeting at 8:00 pm. **The motion carried unanimously.**

DRAFT



June 1, 2016

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director and Assistant Township Manager
Subject:	Michigan Rod Products – Site Plan Review #2
Location:	1326 Grand Oaks Drive – west side of Grand Oaks Drive, south of Cleary Drive
Zoning:	IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan (dated 5/25/16) proposing expansion of the existing industrial building at 1326 Grand Oaks Drive. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

A. Summary

1. The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. We request the applicant present a material and color sample board at the upcoming meeting.
2. The applicant proposes to land-bank 143 parking spaces based on the fact that they have only 75 employees across 3 shifts.
3. The Township may wish to require a written agreement to land-bank parking. Alternatively, they may attach a condition to site plan approval (if granted).
4. If there are deficiencies in existing landscaping, the Commission may wish to require additional plantings.

B. Proposal

The applicant requests site plan review and approval for a 16,053 square foot addition to an existing industrial building. The application indicates that the business manufactures steel components for the automotive industry. General manufacturing uses are permitted by right in the IND; therefore, the applicant only needs site plan review/approval.

Procedurally, the Planning Commission has approval authority over the site plan; however, the Township Board has approval authority over the Impact Assessment (with a recommendation provided by the Planning Commission).



Aerial view of site and surroundings (looking north)

C. Site Plan Review

1. Dimensional Requirements. As described in the table below, the project complies with the dimensional standards of the IND District:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
IND	1	150	85	25	40	20 front 10 side/rear	30' / 2 stories	40% building 85% impervious
Proposal	20	650	195 (existing)	320 (N)(existing) 50 (S)	90	105 front 45 side/rear	22' / 1 story	19% building 31% impervious

2. Building Materials and Design. The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

The proposed addition will match the existing building in terms of materials and design. We request the applicant present the Commission with material and color samples at the upcoming meeting.

3. Parking. In accordance with Section 14.04, the proposed site plan results in the need for 265 parking spaces. The applicant proposes to utilize the 131 existing parking spaces and to land-bank an additional 143 spaces.

Section 14.02.05 allows the Planning Commission to grant banked parking where an applicant demonstrates that the minimum requirement is excessive. In this instance, the applicant has indicated they have a total of 75 employees across 3 shifts.

The plan includes a layout for the banked parking as an extension west of the existing parking lot. The applicant should be aware that the Township may require the construction of additional parking based on observed usage. The Township may wish to require an agreement documenting such, or simply attach a condition to site plan approval (should it be granted).

4. **Pedestrian Circulation.** No changes are proposed to existing pedestrian circulation.
5. **Vehicular Circulation.** With the exception of a new fire lane near the proposed building addition, no changes are proposed to existing vehicular circulation.
6. **Landscaping.** The applicant does not propose any new landscaping as part of this project. If there are deficiencies in existing plantings, the Commission may wish to require improvements.
7. **Waste Receptacle and Enclosure.** There are existing waste receptacles east and west of the office building and no changes are proposed as part of this project.
8. **Exterior Lighting.** The submittal includes a lighting plan showing existing site lighting and 3 new wall mounted fixtures for the proposed addition. The light intensities noted comply with Ordinance limitations and the proposed fixtures are downward directed, as required.
9. **Signs.** The submittal indicates that no new signage is proposed as part of this project.
10. **Impact Assessment.** The submittal includes an Impact Assessment (March 29, 2016). In summary, the Assessment notes that the proposed building addition is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and penn@lslplanning.com.

Respectfully,
LSL PLANNING, A SAFE BUILT LLC COMPANY


Brian V. Borden, AICP
Planning Manager


Josh Penn
Project Planner I

June 8, 2016

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Michigan Rod Addition Site Plan Review #2

Dear Ms. Van Marter:

We have reviewed the resubmitted impact assessment and site plan documents prepared by Asselin, McLane Architectural Group LLC. for an approximate 16,053 square-foot addition to an existing manufacturing building located on west side of Grand Oaks Drive, south of Grand River Avenue. Tetra Tech has reviewed the updated documents and site plan and found that the petitioner has satisfied all of the previous comments and recommend approval.

Additionally, in their response letter the petitioner has indicated they will pay any updated tap fee as necessary due to the expansion of their facility, which was estimated to be approximately 2 REUs.

Please call if you have any questions.

Sincerely,

Gary J. Markstrom, P.E.
Unit Vice President

Joseph C. Siwek, P.E.
Project Engineer

copy: John Asselin Jr., Asselin, McLane Architectural Group



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

June 3, 2016

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Michigan Rod Products Addition
1326 Grand Oaks Drive
Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on May 26, 2016 and the drawings are dated May 25, 2016. The project is for a 16,053 square foot addition to an existing 128,000 square foot manufacturing/storage facility. The plan review is based on the requirements of the International Fire Code (IFC) 2015 edition.

1. The existing building is provided with and automatic fire suppression system. The system shall be evaluated by a fire suppression designer for compliance with NFPA 13 as it relates to square footage and design density. **(Noted to be evaluated prior to construction)**
IFC 903
2. The 20' secondary access road to West end of the building shall be constructed of a maintainable surface and be installed prior to construction. Access roads shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. **(Noted to be compliant when constructed)**
3. Egress door location and configuration along the exterior walls shall be revised to meet the High Pile Storage requirements of Chapter 32. Three additional doors need to be added and the two existing proposed doors relocated to meet the spacing requirement of 100 lineal feet between. Door locations shall be measured from the nearest existing doors. **(Locations revised and additional doors added on floor plan drawings)**
4. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Provided on response sheet)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Capt. Rick Boisvert, CFPS
Fire Inspector

**IMPACT ASSESSMENT
MICHIGAN ROD PRODUCTS
MARCH 29, 2016**

INTRODUCTION

The proposed development is a 16,053 sq. ft. addition to the West side of the existing manufacturing facility of Michigan Rod Products at 1326 Grand Oaks Drive. Potential areas of concern are noted along with the proposed methods of addressing each tem. The format conforms to the impact assessment requirements as outlined in Section 18.07 of the published Zoning Ordinance for Genoa Township.

A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.

Prepared by:
Asselin, McLane Architectural Group, LLC
Commercial/Industrial Architecture
4488 West Bristol Road
Flint, Michigan 48507
(810) 230-9311
(810) 230-2831 Fax

Prepared for:
Michigan Rod Products
1326 Grand Oaks Drive
Howell, Michigan 48843

B. Map(s) and written description/analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also included information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

The site is located on the west side of Grand Oaks Drive (2100 feet R.O.W.) approximately 2,000 feet south of Grand River Avenue, in the Southwest ¼ of Section 5, T2N-R5E, Genoa Township, Livingston County, Michigan. The approximate gross area of the parcel is 20 acres. The site slopes generally from the Southeast toward the Northwest. The site ultimately drains toward the Northwest and thence West into an unnamed drain that flows to the West for approximately 1.5 miles into the Marion and Genoa drain. An existing detention basin was designed in a previous project in the northwest corner of the site. A site plan has been prepared which provides a more detailed description of the site. There is significant existing vegetation on the site and is shown on the Site Plan. All significant vegetation lies outside the construction boundary. It is

intended to have little grading done on the site except in the building footprint and a fire land extension to serve the addition. All of the surrounding property is part of the Grand Oaks Industrial Park and is zoned Industrial (IND).

- C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.**

As shown on the Site Plan, there will be little or no impact on the vegetation. The topography will be raised at the footprint of the building. After a short, smooth transition from the building, the existing topography will remain as presently existing.

- D. Impact on stormwater management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.**

There will be a minimal increase of impervious surface of 16,053 square feet for this addition which will result in a increase of the weighted runoff coefficient (Cw) from 0.39 to 0.42. The existing detention basin enlarged during the last construction project (2013/2015) to accommodate the site.

Surface runoff during periods of construction will be controlled by proper methods set by the Livingston County Soil Erosion Control and Drain Commissioner, including silt fence, pea stone filters, seed, and mulch.

E. Impact on surrounding land used: Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The applicant is proposing to construct a 16,053 square foot building addition. The site is located in the Industrial District (IND). The proposed use is compatible with surrounding zonings, as the site is located in an industrial part and is surrounded by Industrial zoning and uses. The expected impact due to construction of the building will be minimized because of the following:

1. There are no woodlands or other significant features on the site to be disturbed to facilitate construction of the site improvements. The existing detention basin was enlarged during the last construction project and approved by the Livingston County Drain Commission.
2. The site plan was prepared taking into account existing topography to minimize the amount of earthwork required for the building and parking areas. Current, well-developed landscaping to remain and is in accordance with Genoa Township standards.
3. Soil erosion control measures such as silt fence, straw bale filters, and pea stone filters at catch basins will be utilized during construction to control siltation and sedimentation from entering the detention areas.
4. An existing dumpster is on the site that is screened using an eight (8) foot masonry enclosure.
5. Existing Outdoor storage of steel coils screened by existing, well-developed vegetation.

There is no significant noise or air pollutant increases anticipated for the proposed use on this site. The only pollution and noise will come from car and truck traffic into and out of the site, which will be minimal for an industrial storage use such as this. No additional site lighting is proposed.

- F. Impact on public facilities and services: Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.**

The facility is anticipated to employ the same number of people as existing.

- G. Impact on public utilities: Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.**

No additional service requirements are proposed for this parcel. Water service is provided via connection to a 12" DI extension of the water main currently within the Grand Oaks Drive right-of-way. Sanitary sewer will not be used in the proposed addition. Storm water runoff from the proposed onsite detention basin will be restricted to an agricultural runoff rate from all developed areas. Underground gas, electric, and telephone are also available.

- H. Storage and handling of any hazardous materials: A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.**

No hazardous materials will be used, stored, or disposed of on-site.

- I. Impact on Traffic and Pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets. The contents of the detailed study shall include:**

The impact on traffic and pedestrians from this use will be minimal due to the location and nature of the use. The site is located within an industrial park, which will not be a primary location for pedestrian traffic. The use of automobile storage will constitute a minimal amount of additional vehicular traffic for the area on a daily basis.

No new access to Grand Oaks Drive is needed.

- J. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.**

None. Current easements for a gas well on the Northwest side of the property will remain.

- K. A list of all sources shall be provided.**

A list of all sources will be provided.

Proposed Addition for:

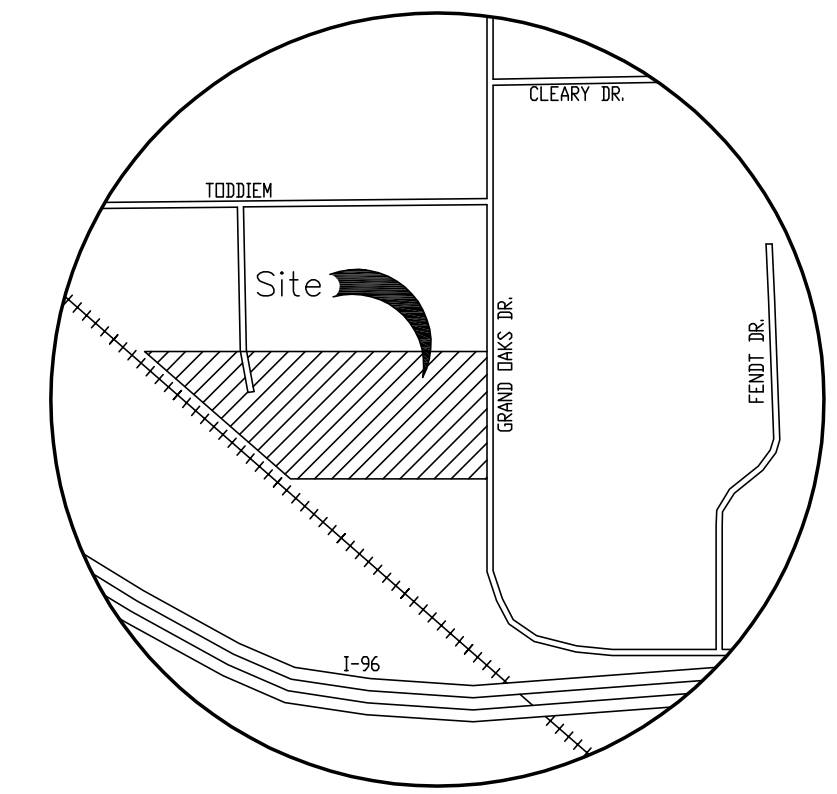
Michigan Rod Products

1326 Grand Oaks Drive, Genoa Township, Livingston Co. MI

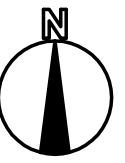


ASSELIN | MCLANE ARCHITECTURAL GROUP

4498 West Bristol Road | Flint | MI | 48507 | PHONE: (810) 230-9311 | FAX: (230)-2831
WWW.AMARCHITECTURALGROUP.COM



LOCATION MAP
SCALE: N.T.S.



LEGAL DESCRIPTION

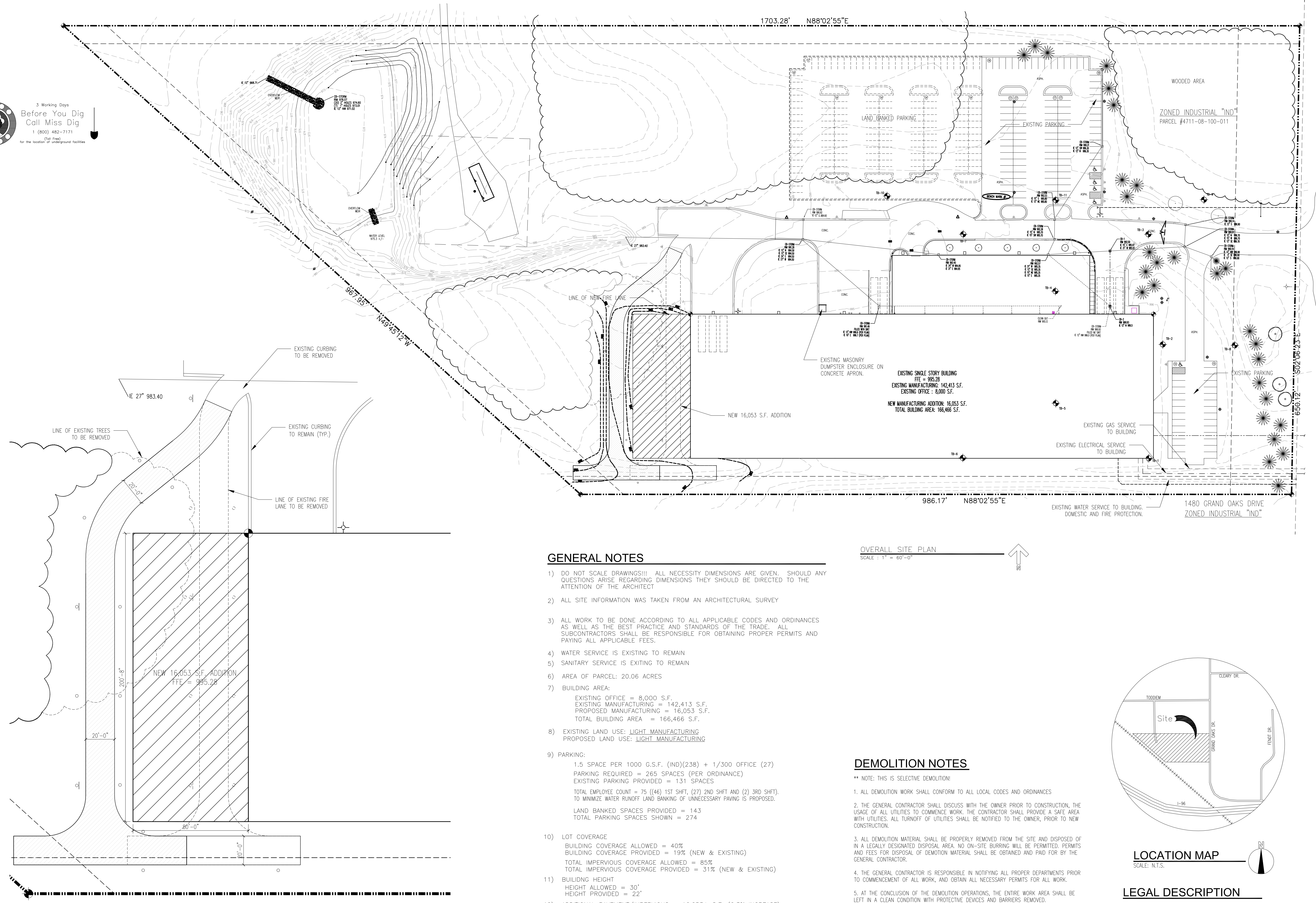
SEC 8 T2N R5E, COMM N 1/4 COR, TH S 87°12'58"W 496.99 FT, TH S 02° 06'23"E 739.81 FT TO POB, TH S 02°06'23"E 650.12 FT, TH S 88°02' 55"W 989 FT, TH N 49°45'12"W 967.88 FT, TH N 89°08'E 1702.61 FT TO POB 20 AC M/L 1984 SPLIT FR 001



Issued For Revised Site Plan Approval 05-25-16

Schedule of Drawings

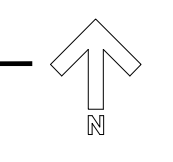
	Sheet Name	Revision Date
	COVER SHEET	05-25-16
C1.1	OVERALL & ENLARGED SITE PLAN	05-25-16
C1.2	ENLARGED GRADING PLAN	05-25-16
C1.3	FIRE SAFETY SITE PLAN	05-25-16
C1.4	SOIL EROSION PLAN	05-25-16
CE1.1	PHOTOMETRIC LAYOUT	05-25-16
A1.1	FLOOR PLAN & ELEVATIONS	05-25-16



GENERAL NOTES

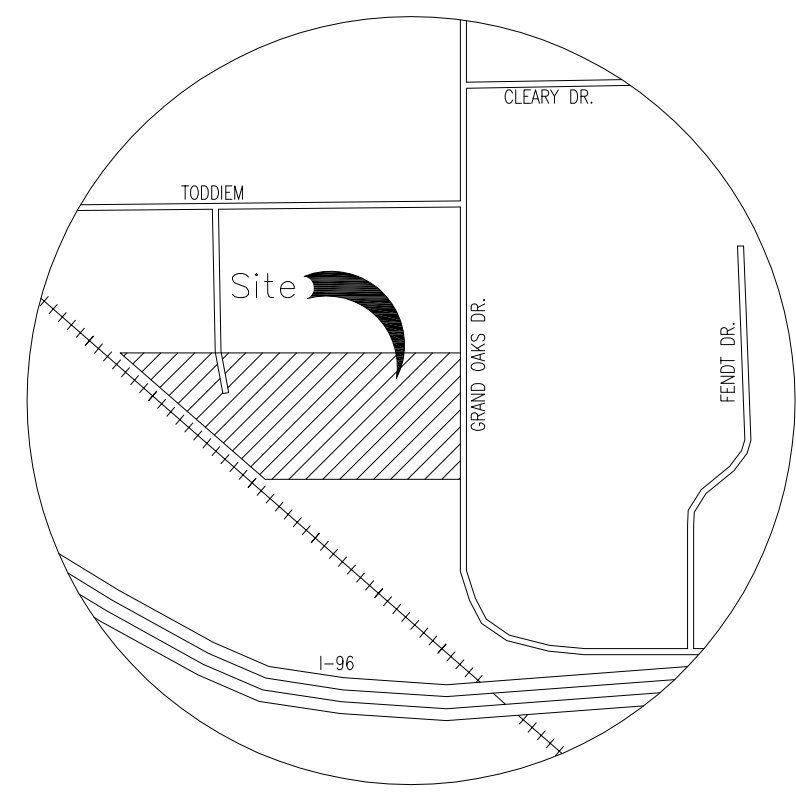
- DO NOT SCALE DRAWINGS!!! ALL NECESSITY DIMENSIONS ARE GIVEN. SHOULD ANY QUESTIONS ARISE REGARDING DIMENSIONS THEY SHOULD BE DIRECTED TO THE ATTENTION OF THE ARCHITECT
- ALL SITE INFORMATION WAS TAKEN FROM AN ARCHITECTURAL SURVEY
- ALL WORK TO BE DONE ACCORDING TO ALL APPLICABLE CODES AND ORDINANCES AS WELL AS THE BEST PRACTICE AND STANDARDS OF THE TRADE. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING PROPER PERMITS AND PAYING ALL APPLICABLE FEES.
- WATER SERVICE IS EXISTING TO REMAIN
- SANITARY SERVICE IS EXISTING TO REMAIN
- AREA OF PARCEL: 20.06 ACRES
- BUILDING AREA:
 EXISTING OFFICE = 8,000 S.F.
 EXISTING MANUFACTURING = 142,413 S.F.
 PROPOSED MANUFACTURING = 16,053 S.F.
 TOTAL BUILDING AREA = 166,466 S.F.
- EXISTING LAND USE: LIGHT MANUFACTURING
 PROPOSED LAND USE: LIGHT MANUFACTURING
- PARKING:
 1.5 SPACE PER 1000 G.S.F. (IND)(238) + 1/300 OFFICE (27)
 PARKING REQUIRED = 265 SPACES (PER ORDINANCE)
 EXISTING PARKING PROVIDED = 131 SPACES
 TOTAL EMPLOYEE COUNT = 75 ((46) 1ST SHT, (27) 2ND SHT AND (2) 3RD SHT). TO MINIMIZE WATER RUNOFF LAND BANKING OF UNNECESSARY PAVING IS PROPOSED.
 LAND BANKED SPACES PROVIDED = 143
 TOTAL PARKING SPACES SHOWN = 274
- LOT COVERAGE
 BUILDING COVERAGE ALLOWED = 40%
 BUILDING COVERAGE PROVIDED = 19% (NEW & EXISTING)
 TOTAL IMPERVIOUS COVERAGE ALLOWED = 85%
 TOTAL IMPERVIOUS COVERAGE PROVIDED = 31% (NEW & EXISTING)
- BUILDING HEIGHT
 HEIGHT ALLOWED = 30'
 HEIGHT PROVIDED = 22'
- ADDITIONAL PAVEMENT/IMPERVIOUS = 16,053± S.F. (6.3% INCREASE)
- SITE IS ZONED: INDUSTRIAL "IND"
- ALL LANDSCAPE AND GREEN BELTS ARE EXISTING TO REMAIN
- NO NEW SIGNAGE OTHER THAN THE REQUIRED BUILDING ADDRESS AND FIRE LANE SIGNS ARE PROPOSED AS PART OF THIS PROJECT

OVERALL SITE PLAN
SCALE: 1" = 60'-0"



DEMOLITION NOTES

- ** NOTE: THIS IS SELECTIVE DEMOLITION!
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES
 - THE GENERAL CONTRACTOR SHALL DISCUSS WITH THE OWNER PRIOR TO CONSTRUCTION, THE USAGE OF ALL UTILITIES TO COMMENCE WORK. THE CONTRACTOR SHALL PROVIDE A SAFE AREA WITH UTILITIES. ALL TURN-OFF OF UTILITIES SHALL BE NOTIFIED TO THE OWNER, PRIOR TO NEW CONSTRUCTION.
 - ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURRING WILL BE PERMITTED. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE IN NOTIFYING ALL PROPER DEPARTMENTS PRIOR TO COMMENCEMENT OF ALL WORK, AND OBTAIN ALL NECESSARY PERMITS FOR ALL WORK.
 - AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH PROTECTIVE DEVICES AND BARRIERS REMOVED.

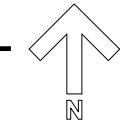


LOCATION MAP
SCALE: N.T.S.

LEGAL DESCRIPTION

SEC 8 T2N R5E, COMM N 1/4 COR, TH S 87°12'58"W 496.99 FT, TH S 02° 06'23"E 739.81 FT TO POB, TH S 02°06'23"E 650.12 FT, TH S 88°02' 55"W 989 FT, TH N 49°45'12"W 967.88 FT, TH N 89°08'E 1702.61 FT TO POB 20 AC M/L 1984 SPLIT FR 001

ENLARGED SITE PLAN
SCALE: 1" = 30'-0"



ASSELIN | MCLANE
ARCHITECTURAL GROUP
4488 WEST BAYVIEW (SUITE 101) LANSING, MI 48202-3031 FAX: (313) 200-2831
WWW.ASSELINMCLANE.COM

Rhoads & Johnson
ARCHITECTS
WWW.RHOADSJOHNSON.COM

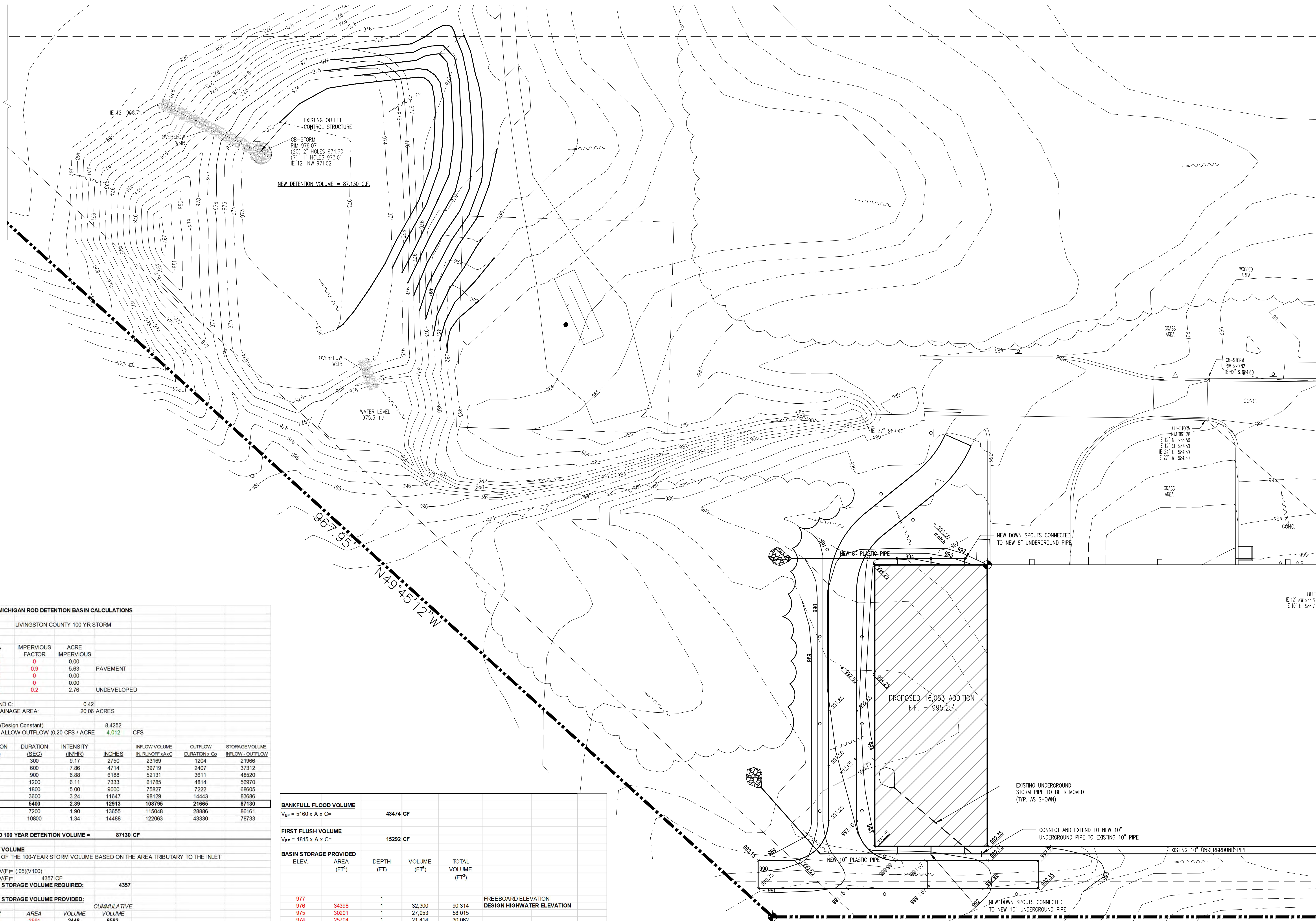
Proposed Addition for:
Michigan Rod Products
1326 Grand Oaks drive, Genoa Township,
Livingston Co. MI

No.	Description	Date
1	REVISED FOR PRICING	04-18-16
2	SITE PLAN REVIEW	05-02-16
3	REV. FOR SITE PLAN REVIEW	05-25-16

SITE PLAN

Project number 16031

C1.1
Scale 1" = 60'



MICHIGAN ROD DETENTION BASIN CALCULATIONS

LIVINGSTON COUNTY 100 YR STORM

AREA (AC)	IMPERVIOUS FACTOR	ACRE IMPERVIOUS	
0.00	0	0.00	
6.25	0.9	5.63	PAVEMENT
0.00	0	0.00	
0.00	0	0.00	
13.81	0.2	2.76	UNDEVELOPED

COMPOUND C: 0.42
 TOTAL DRAINAGE AREA: 20.06 ACRES

K1 = AxC (Design Constant) 8.4252
 Qa = MAX ALLOW OUTFLOW (0.20 CFS / ACRE) 4.012 CFS

DURATION (MIN)	DURATION (SEC)	INTENSITY (IN/HR)	INCHES	INFLOW VOLUME IN RUNOFF X A X C	OUTFLOW DURATION x Qa	STORAGE VOLUME INFLOW - OUTFLOW
5	300	9.17	2750	23199	1204	21996
10	600	7.86	4714	39719	2407	37312
15	900	6.88	6188	52131	3611	48520
20	1200	6.11	7333	61785	4814	56970
30	1800	5.00	9000	75827	7222	68605
60	3600	3.24	11647	98129	14443	83686
90	5400	2.39	12913	108795	21665	87130
120	7200	1.90	13655	115048	28886	86161
180	10800	1.34	14488	122063	43330	78733

REQUIRED 100 YEAR DETENTION VOLUME = 87130 CF

FOREBAY VOLUME
 V(F) = 5% OF THE 100-YEAR STORM VOLUME BASED ON THE AREA TRIBUTARY TO THE INLET

V(F) = (0.05)(V100)
 V(F) = 4357 CF
FOREBAY STORAGE VOLUME REQUIRED: 4357

FOREBAY STORAGE VOLUME PROVIDED:

ELEV	AREA	VOLUME	CUMMULATIVE VOLUME
977	2591	2448	6582
976.5	2304	1080	4135
976	2016	1765	3055
975	1514	1290	1290
974	1085		

BANKFULL FLOOD VOLUME
 $V_{BF} = 5160 \times A \times C = 43474 \text{ CF}$

FIRST FLUSH VOLUME
 $V_{FF} = 1815 \times A \times C = 15292 \text{ CF}$

BASIN STORAGE PROVIDED

ELEV.	AREA (FT ²)	DEPTH (FT)	VOLUME (FT ³)	TOTAL VOLUME (FT ³)
977		1	32,300	90,314
976	34398	1	27,953	58,015
975	30201	1	21,414	30,062
974	25704	1	8,605	8,648
973	17124	1	43	43
972	86	1	0	0
971	0	1	0	0

FREEBOARD ELEVATION DESIGN HIGHWATER ELEVATION

Proposed Addition for:
Michigan Rod Products
 1326 Grand Oaks drive, Genoa Township,
 Livingston Co. MI

No.	Description	Date
1	REVISED FOR PRICING	04-18-16
2	SITE PLAN REVIEW	05-02-16
3	REV. FOR SITE PLAN REVIEW	05-25-16

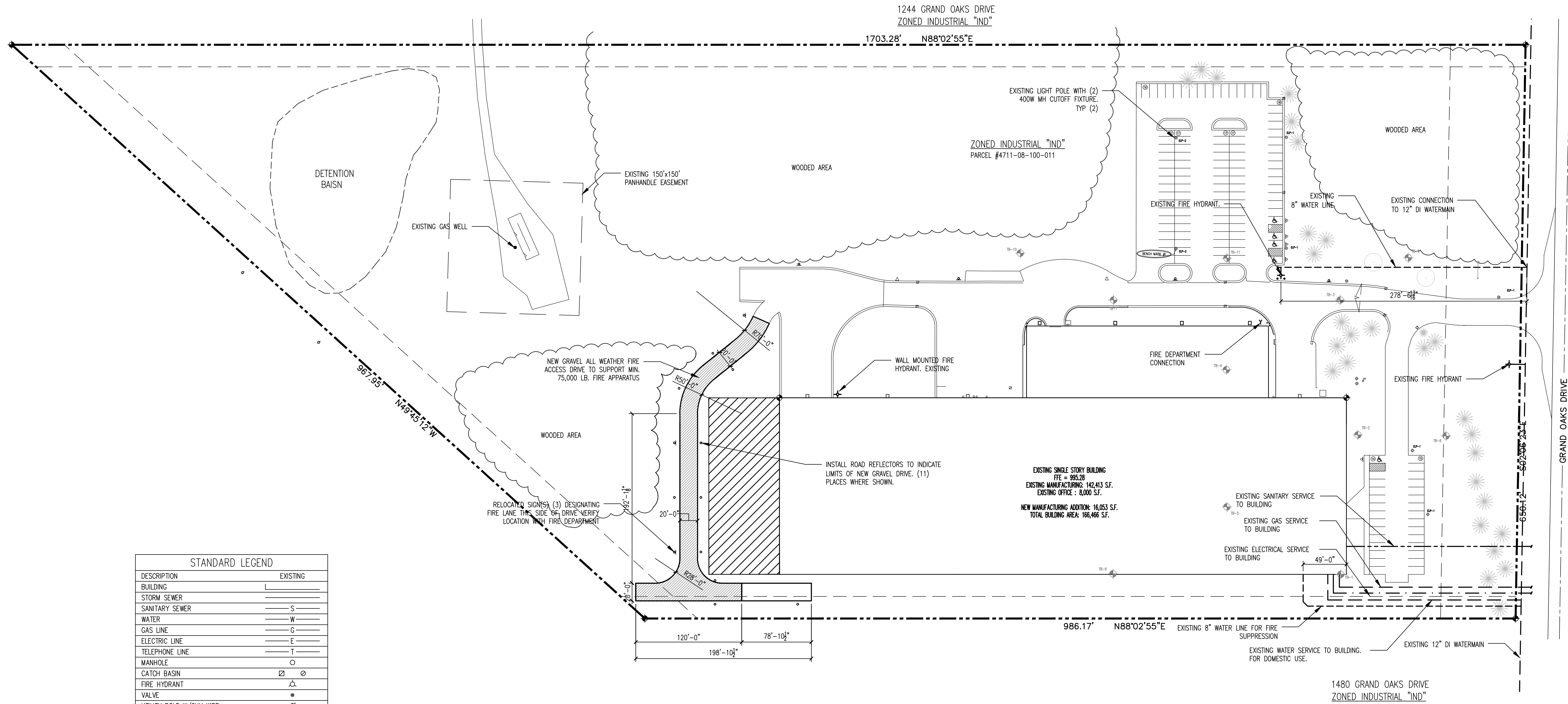
ENLARGED SITE GRADING PLAN

Project number 16031

C1.2

Scale 1" = 30'

ENLARGED GRADING PLAN
 SCALE: 1" = 30'-0"

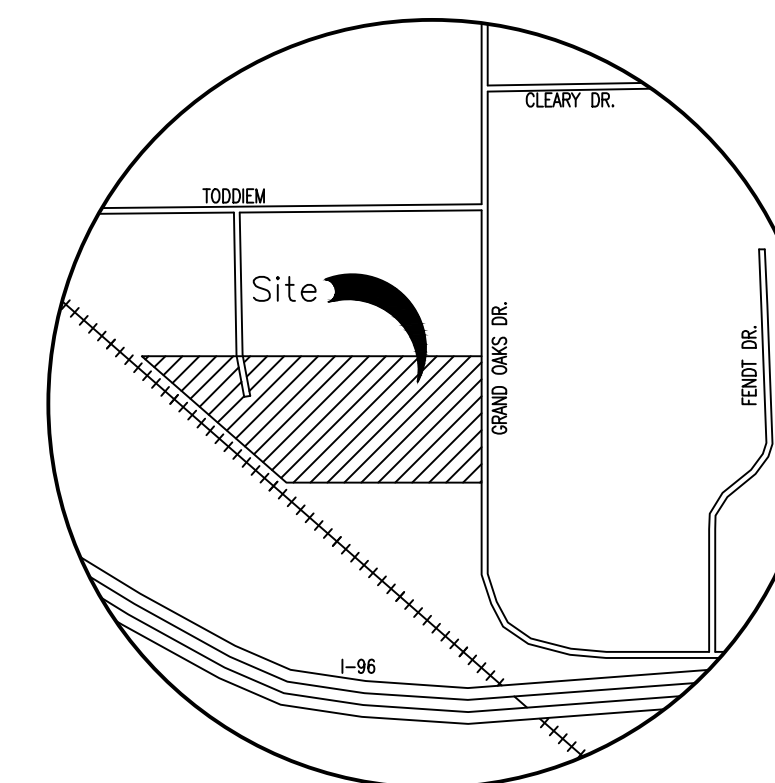
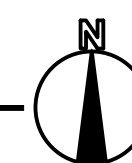


STANDARD LEGEND	
DESCRIPTION	EXISTING
BUILDING	—
STORM SEWER	—S
SANITARY SEWER	—S
WATER	—W
GAS LINE	—G
ELECTRIC LINE	—E
TELEPHONE LINE	—T
MANHOLE	○
CATCH BASIN	⊗
FIRE HYDRANT	△
VALVE	•
UTILITY POLE W/GUY WIRE	⊕
UTILITY RISER	⊞
LIGHT POLE	⊛
SIGN	△
CURB & GUTTER	—
FENCE	—x—x—
GUARD RAIL	—x—x—
INVERT ELEVATION	IE 6" 750.00
CONTOUR	—750
SPOT ELEVATION	+750.00
ASPHALT SURFACE	—
CONCRETE SURFACE	—
GRAVEL SURFACE	—
TREE LINE	—
TREE	⊕

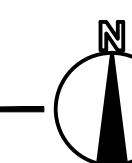
LEGAL DESCRIPTION

SEC 8 T2N R5E, COMM N 1/4 COR, TH S 87°12'58"W 496.99 FT, TH S 02° 06'23"E 739.81 FT TO POB, TH S 02°06'23"E 650.12 FT, TH S 88°02' 55"W 989 FT, TH N 49°45'12"W 967.88 FT, TH N 89°08'E 1702.61 FT TO POB 20 AC M/L 1984 SPLIT FR 001

FIRE SITE PLAN
SCALE: 1" = 60'-0"



LOCATION MAP
SCALE: N.T.S.



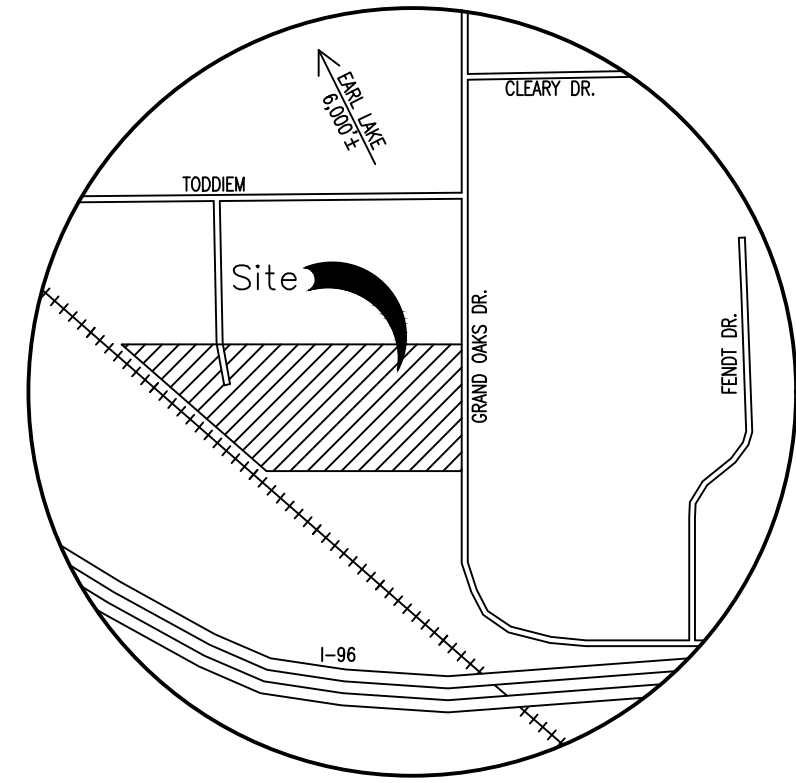
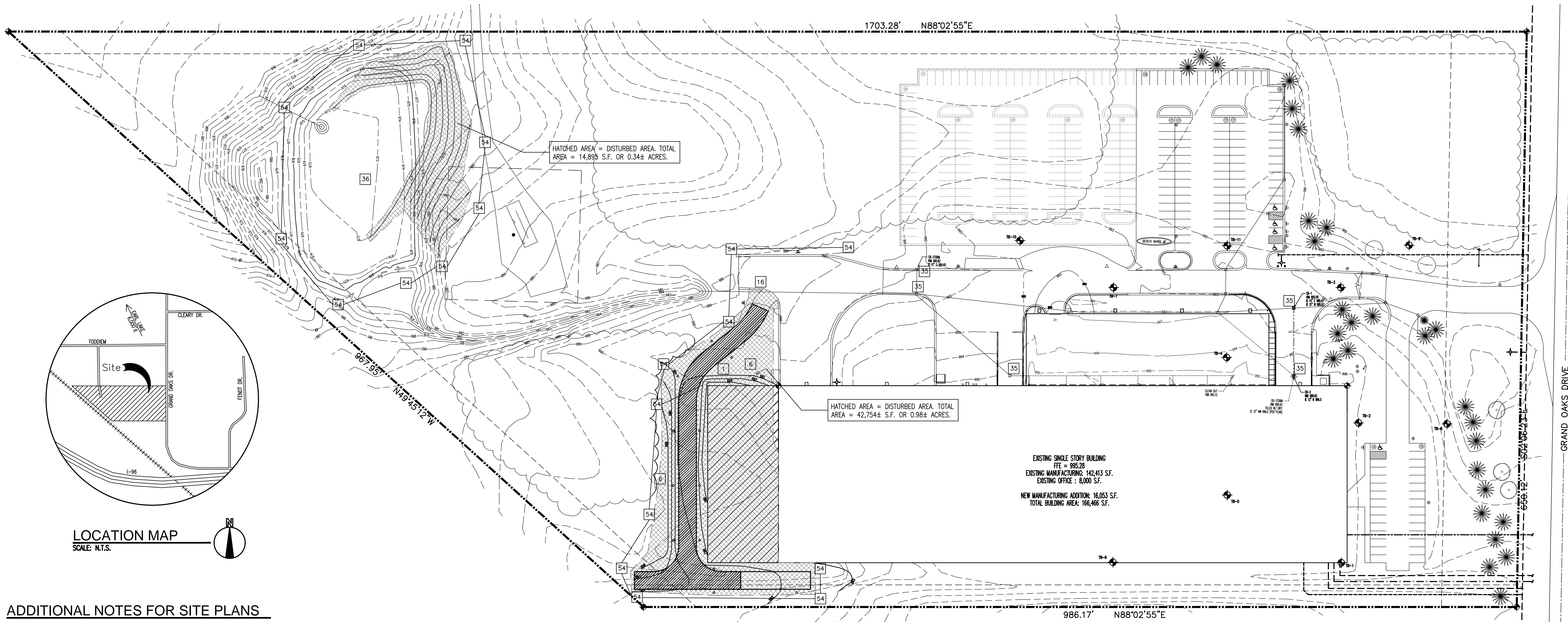
No.	Description	Date
1	REVISED FOR PRICING	04-18-16
2	SITE PLAN REVIEW	05-02-16
3	REV. FOR SITE PLAN REVIEW	05-25-16

SITE FIRE PLAN

Project number 16031

C1.3

Scale 1" = 60'



SOIL EROSION PLAN
SCALE: 1" = 60'-0"

ADDITIONAL NOTES FOR SITE PLANS

- THE FOLLOWING NOTES ARE TO BE USED AS APPLICABLE WHEN SUBMITTING PLANS FOR REVIEW BY LCDC-WWS. USE ONLY THOSE APPLICABLE AND ADAPT THEM FOR THE SPECIFIC PROJECT.
- A. SANITARY SEWER SADDLE TAPS SHALL BE MADE BY LCDC-WWS PERSONNEL. THE DEVELOPER SHALL OBTAIN THE REQUIRED FEE FOR A SADDLE TAP.
 - B. THE CONTRACTOR SHALL VERIFY THE SANITARY SWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF SEWER TOWARD THE MAINLINE SEWER IN STRICT ACCORDANCE WITH LCDC-WWS STANDARD DETAILS AND SPECIFICATIONS.
 - C. SANITARY SERVICE LEADS SHALL BE ENCASED IN 6AA CRUSHED LIMESTONE (A1) IN ACCORDANCE WITH LCDC-WWS STANDARD DETAILS AND SPECIFICATIONS.
 - D. WATER SERVICE CONNECTION AND CURB BOX SHALL BE INSTALLED IN ACCORDANCE WITH LCDC-WWS STANDARD DETAILS AND SPECIFICATIONS.
 - E. ALL WATER SERVICE LEADS SHALL BE "K" COPPER. THE MINIMUM SIZE SHALL BE 3/4".
 - F. ALL WATERMAIN PRESSURE TAPS AND CUT IN VALVES 4" AND LARGER SHALL BE CONSTRUCTED WITH A CAST IRON OR STAINLESS STEEL TAPPING SLEEVES AND WITHIN A MANHOLE PER LCDC-WWS STANDARD DETAILS AND SPECIFICATIONS.
 - G. SAND FILL UNDER ANY FLOOR SLAB, WALKS, PAVED AREAS, ETC. SHALL BE A MINIMUM MDOT CLASS II SAND BACKFILL (A5). THE SAND SHALL BE COMPACTED 95% OF MATERIAL THE UNIT WEIGHT BY MODIFIED PROCTOR.
 - H. ALL EXISTING UTILITIES SERVING THE PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH LOCAL AND/OR COUNTY REGULATIONS. REMOVE ALL TREES, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER AND THE LANDSCAPING PLAN TO DETERMINE WHICH TREES ARE TO REMAIN.
 - I. FOR ANY DEMOLITION WORK, PLEASE SEE DEMOLITION NOTES ATTACHED HERewith.
 - J. VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - K. CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANS TO FLUSH WITH GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE.
 - L. THE WATER SUPPLY FOR ALL COMMERCIAL AND INDUSTRIAL BUILDINGS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE IN ACCORDANCE WITH BUILDING CODES.
 - M. ALL ON SITE WATER SERVICE SHALL MEET THE REQUIREMENT OF LCDC-WWS STANDARD DETAILS AND SPECIFICATIONS.
 - N. THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WITH POWER EQUIPMENT.
 - O. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY, AND STATE REGULATIONS FOR ALL WORK THAT TAKES PLACE ON THE SITE.
 - P. THE CONTRACTOR/DEVELOPER SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL, OR PRIVATE AGENCIES AND PAY ALL CHARGES FOR INSPECTION AND TESTING.
 - Q. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION LINES AND GRADE FOR THEIR WORK.
 - R. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY LCDC-WWS.
 - S. COMMERCIAL BUILDINGS SHALL USE A 6" SANITARY RISER FROM THE MAIN TO THE STRUCTURE. THE SERVICE RISER SHALL CONNECT TO THE MAINLINE AND NOT AT A MANHOLE.
 - T. FOR COMMERCIAL ESTABLISHMENTS THAT GENERATE GRIT OR GREASE, AN EXTERNAL GREASE/GRIT TRAP SHALL BE PROVIDED. SHOW THE DETAIL ON THE PLANS WITH APPROPRIATE NOTES. THE DOMESTIC SEWAGE SHALL BE DESIGNED TO BYPASS THE GREASE/GRIT TRAP.
 - U. THE MINIMUM SLOPE FOR A COMMERCIAL LEAD IS 1" OF FALL PER 100 FEET OF PIPE. SHOW THE INVERT AT THE STRUCTURE AND THE SLOPE TO THE PROPERTY LINE.
 - V. ALL SANITARY SEWER RISERS SHALL BE SDR-26 PVC.
 - W. EACH PARCEL OF LAND SHALL HAVE AN INDIVIDUAL RISER.

LIVINGSTON COUNTY STANDARD NOTES FOR SITE PLAN REVIEW

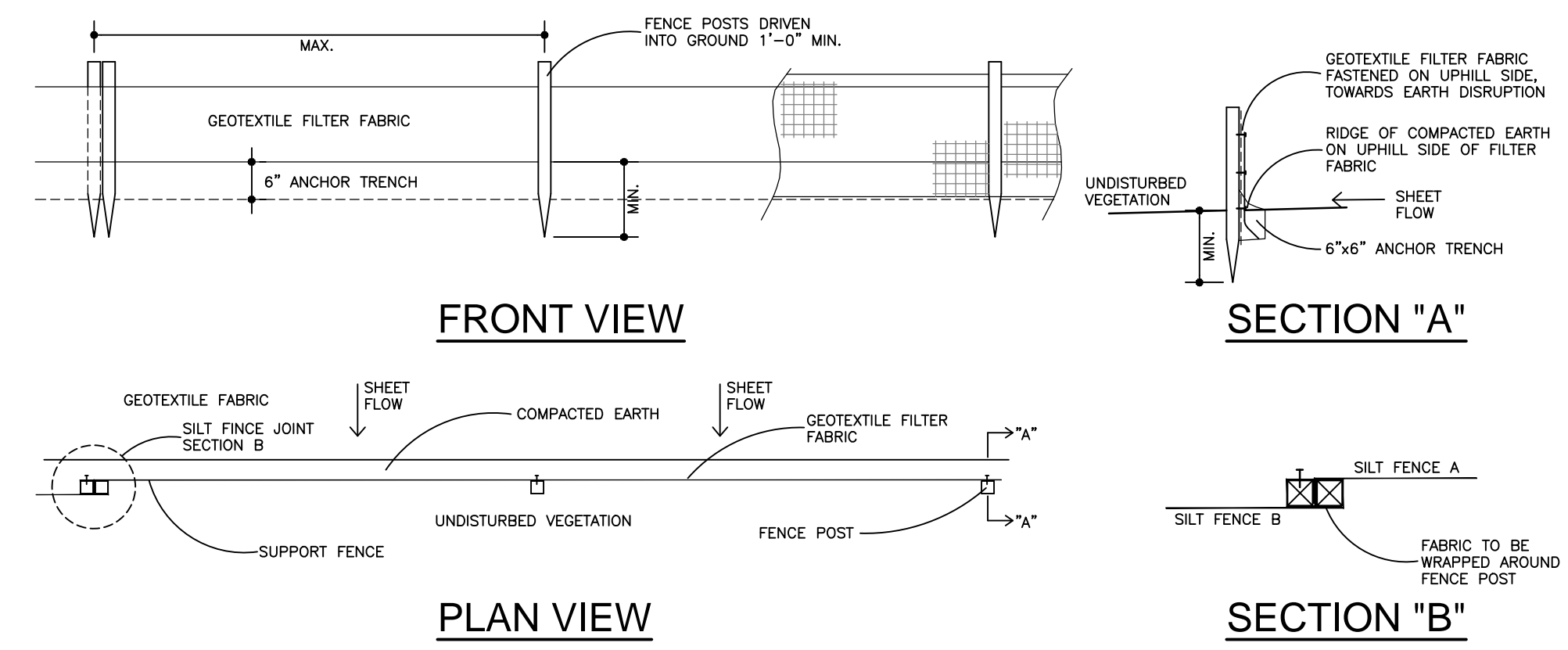
1. ALL PUBLIC SANITARY SEWER AND/OR WATER MAIN SHALL BE EXTENDED TO THE FURTHEST LIMITS OF THE PROPERTY, INCLUDING CORNER LOTS, WITH THE PIPE SIZE AND MATERIAL APPROVED BY LCDC-WWS. THIS IS NECESSARY FOR PLAN APPROVAL. FOR WATER SERVICE OF 1" OR LESS OR A BUILDING ON A CORNER LOT, THE REQUIREMENTS TO EXTEND THE PUBLIC WATER MAIN AND/OR SANITARY SEWER ALONG BOTH PROPERTY LINES WILL BE REVIEWED. FINAL DETERMINATION SHALL BE MADE BY LIVINGSTON COUNTY.
2. ALL PUBLIC WATER MAINS SHALL BE LOOPED WHENEVER POSSIBLE. THE PIPE SIZING SHALL BE APPROVED BY LIVINGSTON COUNTY.
3. A INDUSTRIAL PRETREATMENT PERMIT PERMIT IS REQUIRED FOR ALL COMMERCIAL AND INDUSTRIAL DISCHARGES. THE OWNER SHALL OBTAIN AN INDUSTRIAL PRETREATMENT DISCHARGE PERMIT PRIOR TO THE ISSUANCE OF A SEWER CONNECTION PERMIT. INDUSTRIAL DISCHARGE PERMITS ARE NON-TRANSFERABLE. CHANGES IN FACILITY USE WILL REQUIRE A NEW INDUSTRIAL DISCHARGE PERMIT.
4. THE DEVELOPER SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DEVELOPER SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE DEVELOPER AT THE COST OF THE DEVELOPER.
5. THE DEVELOPER SHALL APPLY TO THE STATE OF MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY FOR A PERMIT FOR THE ALTERATION AND/OR OCCUPATION OF A FLOOD PLAIN OR FLOOD WAY, AS REQUIRED UNDER PA 451. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY LIVINGSTON COUNTY.
6. THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM MDEQ AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE FORM SHALL BE SUBMITTED THROUGH LIVINGSTON COUNTY WITH THE SOIL EROSION CONTROL PERMIT APPLICATION. ALL MDEQ FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY LIVINGSTON COUNTY.
7. AFTER THE APPROVAL OF THIS PRELIMINARY PLAN OR SITE PLAN, THE DEVELOPER SHALL SUBMIT A DETAILED PLAN FOR CONSTRUCTION OF ALL PUBLIC SANITARY SEWER AND WATERMAIN. THE PLANS MUST HAVE LIVINGSTON COUNTY APPROVAL, A S-PERMIT ISSUED, AND APPROVAL FROM THE MDEQ PRIOR TO BEGINNING CONSTRUCTION.
8. THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE LIVINGSTON COUNTY ROAD COMMISSION TO PERFORM WORK WITHIN THE LIVINGSTON COUNTY ROAD COMMISSION RIGHT-OF-WAY. ALL FEES FOR THE PERMIT, BONDS AND INSURANCE ARE THE RESPONSIBILITY OF THE DEVELOPER.
9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE LOCAL MUNICIPALITY, THE DEVELOPER SHALL BE REQUIRED TO OBTAIN A SANITARY SEWER AND/OR WATER TAP-IN PERMIT FROM THE LOCAL MUNICIPALITY, IF AUTHORIZED, OR LIVINGSTON COUNTY.
10. THE SANITARY SEWER AND WATERMAIN CONSTRUCTION PERMIT APPLICATION FROM THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) SHALL BE SUBMITTED TO THE MDEQ AFTER RECEIVING APPROVAL FROM LIVINGSTON COUNTY. CONSTRUCTION SHALL NOT BEGIN UNTIL THESE STATE PERMITS ARE ISSUED.

TOTAL DISTURBED AREA = 57,649 S.F. OR 1.32± ACRES

MICHIGAN UNIFIED KEYING SYSTEM

- 1 STRIPPING AND STOCKPILEING TOPSOIL
- 2 GRADING & SHAPING (TYP. ENTIRE SITE)
- 6 SEED & MULCH
- 8 SOD (TYP. ALL EXPOSED AREAS)
- 13 RIP-RAP
- 14 STONE CONSTRUCTION ACCESS 20'x50' MIN. OVER GEOTEXTILE
- 15 HARD SURFACE PAVING
- 16 CURB & GUTTER
- 35 CATCH BASIN W/ FILTER
- 36 STORMWATER COLLECTION SYSTEM
- 54 SILT FENCE

NOTE
CONTRACTOR SHALL CHECK AND MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING INSPECTING SILT FENCE DAILY AND REPAIRING AND RIPS AND TEARS, CHECKING STRAW BAIL FILTERS AND REPLACING IF NECESSARY. ALSO AFTER A HARD RAIN ALL CONTROL MEASURES WILL BE CHECKED AND REPAIRED IF NECESSARY INCLUDING ALL SLOPES ON SITE



SILT FENCE DETAILS
SCALE: 1/2" = 1'-0"

SOIL EROSION IMPLEMENTATION SCHEDULE

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO TAKE PLACE IN THE FOLLOWING ORDER

A) INSTALLATION OF SILT FENCE	07-15 THRU 07-16
B) ROUGH GRADE / SEDIMENTATION CONTROL	07-16 THRU 07-22
C) TEMP. CONSTRUCTION ROADS	N/A
D) STRIP AND STOCKPILE TOPSOIL	07-16 THRU 07-22
E) STORM FACILITIES	N/A
F) TEMP. CONTROL MEASURES	07-22 THRU 08-8
G) FOUNDATION / BUILDING RENOVATION	07-15 THRU 09-21
H) SITE IMPROVEMENTS	07-16 THRU 09-22
I) FINISH GRADING	08-15 THRU 09-21
J) PERMANENT CONTROL MEASURES	09-10 THRU 09-25
K) LANDSCAPING	09-1 THRU 09-15

Date	Description
04-18-16	REVISED FOR PRICING
05-02-16	SITE PLAN REVIEW
05-25-16	REV. FOR SITE PLAN REVIEW



FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for parking areas, street lighting, walkways and car lifts.

CONSTRUCTION – Rugged, die cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die cast door frame has impact resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone. Finish: Standard finish is dark bronze (DBZ) system powder finish, with other finishes and colors available.

OPTICS – Anodized, aluminum reflectors: ES full cutoff/beam tubes R2 (symmetric), R3 (asymmetric), R4 (forward throw) and RS (square) are interchangeable. High performance anodized, segmented aluminum reflectors ES full cutoff distribution SR2 (symmetric), SR3 (asymmetric) and SR4C (forward throw, sharp cutoff). High performance reflectors attach with tool-free fasteners and are replaceable and interchangeable.

ELECTRICAL – Ballast: High pressure sodium: 70-150W is high reactance, high power factor, constant voltage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. SCWV not required. Constant voltage autotransformer for 175-400W. Super DIMM (pulse start ballast), 80% efficient and EISA regulator compliant, is required for metal halide. 151-400W (SCWA option) for US shipments only. CSA, NOM or IML required for probe start shipments outside of the US. Pulse start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory tested.

Sockets: Porcelain, horizontally oriented medium base socket for 70-150W. Mogul base socket for 175W and above, and 70-400W, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

LISTINGS – UL Listed (standard), CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 used in accordance with standard IEC 60529.

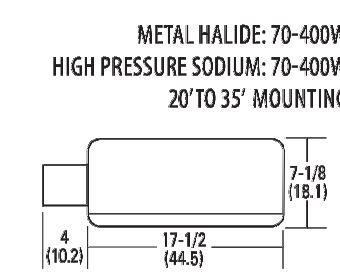
WARRANTY – 1-year limited warranty. Complete warranty terms located at www.lithonia.com/CustomerResources/Terms_and_conditions.aspx

See Specifications subject to change without notice.



CONTOUR
Soft Square Lighting

KAD
METAL HALIDE: 70-400W
HIGH PRESSURE SODIUM: 70-400W
20 TO 35° MOUNTING

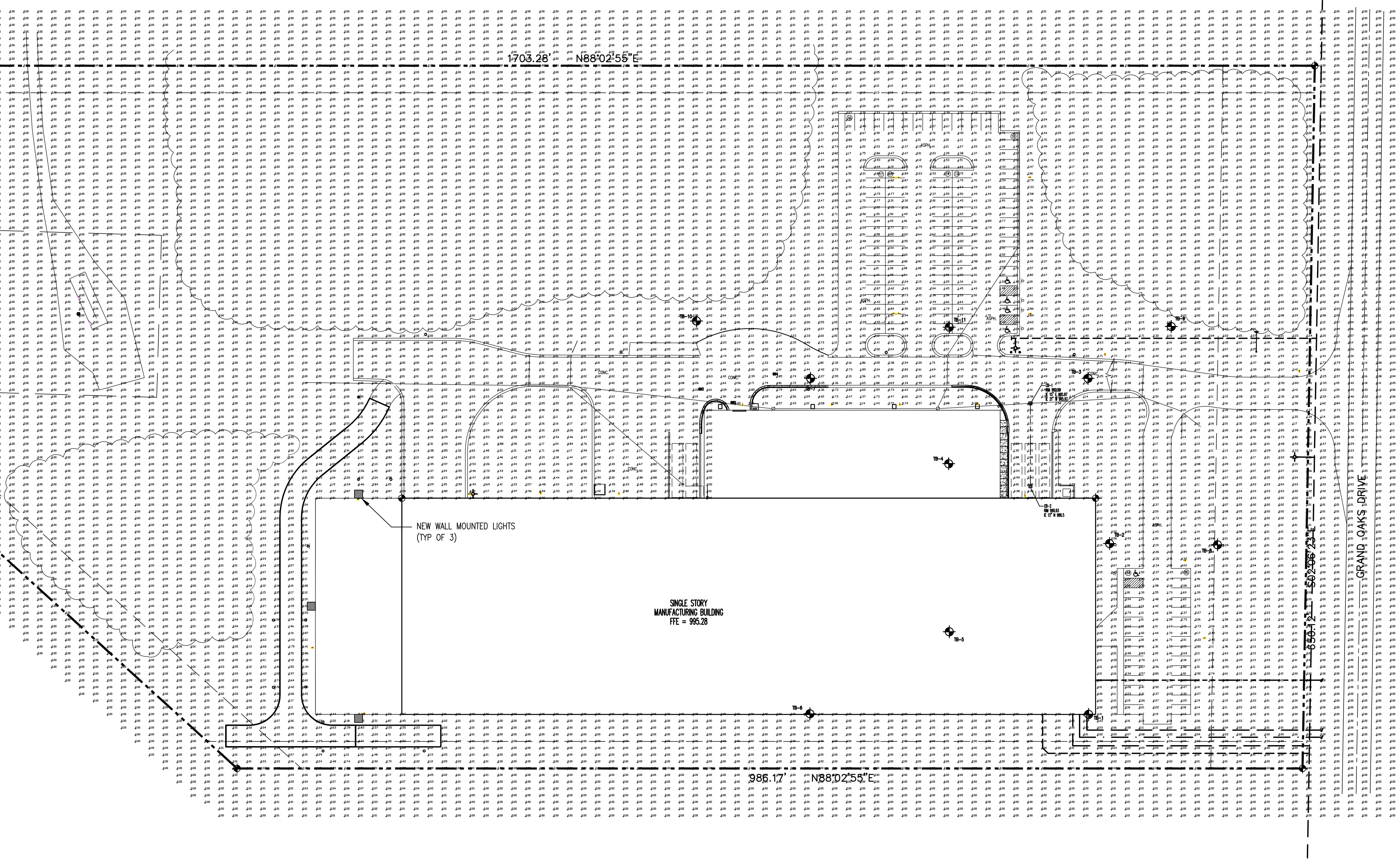


ORDERING INFORMATION For shortest lead times, configure product using **bolded options**. Example: **KAD 400M R3 TB SCWA SPD4-LPI**

Series	Wattage	High pressure sodium	Ceramic metal halide	Distribution	High performance reflectors	Voltage	Ballast	Mounting	Arm length
KAD	70W ¹ 250W ²	100W ³ 320W ⁴	150W 175W 200W ⁵	R2 R3 R4 R5	SR2 SR3 SR4C	120 208 ⁶ 240 ⁷ 277 347 480 ⁸ TB ⁹ 230/242 ¹⁰	DIMK ¹¹ CWI ¹² ProStart SCWA ¹³	SPD ¹⁴ RPD ¹⁵ WPD ¹⁶ WPD ¹⁷ Ship assembly ¹⁸ DAD12P ¹⁹ DAD12WB ²⁰	04 4' arm 06 6' arm 09 9' arm 12 12' arm

Options	CSA	CSA Certified	PE3	PE4	PE5	PE6	PE7	PE8	PE9	PE10	PE11	PE12	PE13	PE14	PE15	PE16	PE17	PE18	PE19	PE20	PE21	PE22
Shipped installed in fixture	INTL	Single fuse (120, 277, 347V) ²¹	DF	Double fuse (208, 240, 480V) ²²	PER	Power tray ²³	PDR	MEMA twist-lock receptacle only (no probe start)	QRS	Quartz resist/ie system ²⁴	QRSD	QIS time delay ²⁵	WTB	Terminal wiring block ²⁶								

Accessories: Tenon Mounting Slipfitter (RPOs required.)	Notes
Tenon O.D. One Two#180° Two#90° Three#120° Four#90°	1 Not available with SCWA.
2-1/8" T20-190 T20-280 T20-290 ²⁷ T20-320 ²⁸ T20-390 ²⁹ T20-490 ³⁰	2 Not available with DBZ.
2-7/8" T25-190 T25-280 T25-290 ³¹ T25-320 T25-390 ³² T25-490 ³³	3 These wattages do not comply with California 1609 requirements.
4 T35-190 T35-280 T35-290 ³⁴ T35-320 T35-390 ³⁵ T35-490 ³⁶	4 Must be ordered with SCWA.
	5 These wattages require the HSCA option to be chosen for shipment into California for this 20 compliance.
	6 Recessed jacket LED required for SR2, SR3 and SR4C options.
	7 House-size shield available.
	8 High performance reflectors not available with DBZ.
	9 Must specify CWI for use in Canada.
	10 Contact factory for outside wattages: 240, 277V in Canada; 120, 277, 347V.
	11 Contact factory for outside wattages.
	12 1" arm is required when two or more luminaires are ordered as a 90° lighting pattern.
	13 May be ordered as an accessory.
	14 Must specify finish when ordered as an accessory.
	15 Available with SP04 and SP05.
	16 Must specify voltage, 18V with TB.
	17 Only available with SR2, SR3 and SR4C optics.
	18 Non-allowable wattage lamp included as accessory.
	19 See www.lithonia.com for location for additional order options.
	20 Must be specified. LAMP not available with DIM.
	22 Must use #9000.



ASSELIN | MCLANE
ARCHITECTURAL GROUP
4488 West Belden Road (Hwy) MI 48007 Phone: (810) 200-9311 Fax: (202) 2631
www.asselinmclane.com

Rhoads & Johnson
www.rhoadsjohnson.com

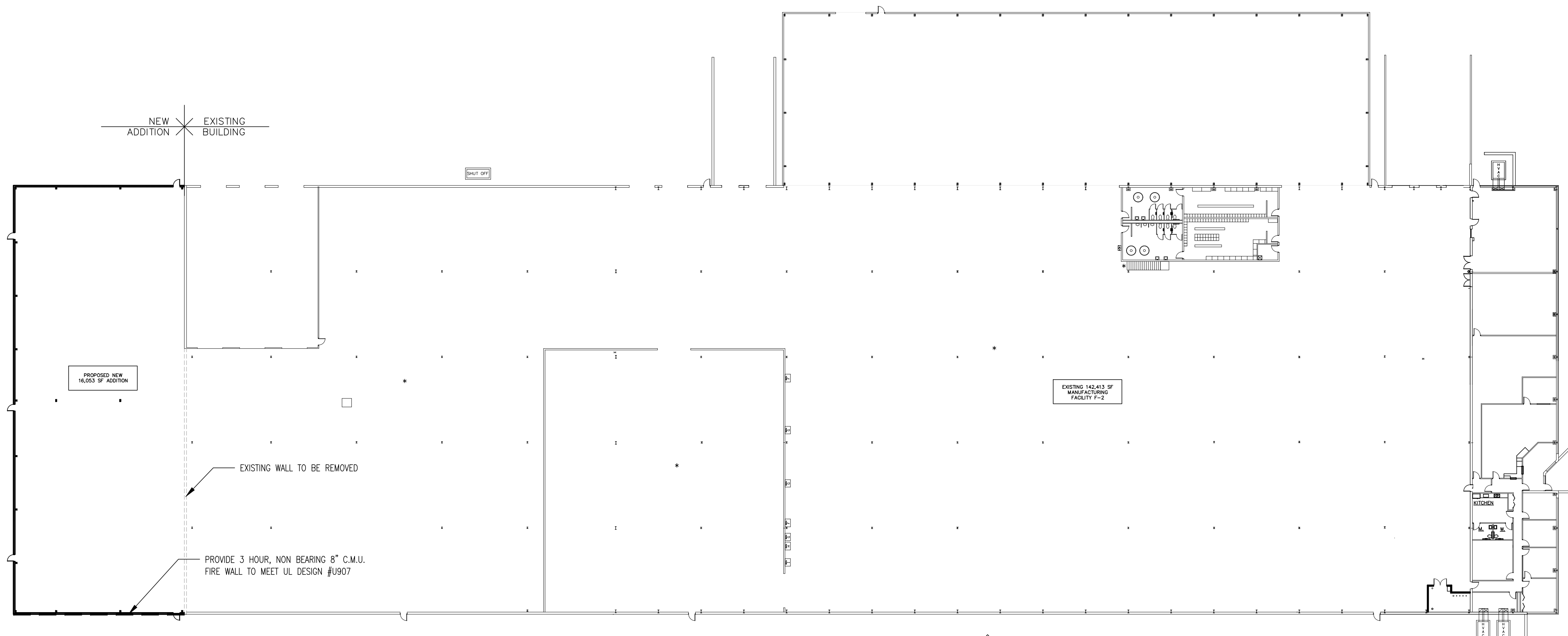
Proposed Addition for:
Michigan Rod Products
1326 Grand Oaks drive, Genoa Township,
Livingston Co. MI

No.	Description	Date
1	SITE PLAN REVIEW	05/25/16
2	REV. FOR SITE PLAN REVIEW	05/25/16

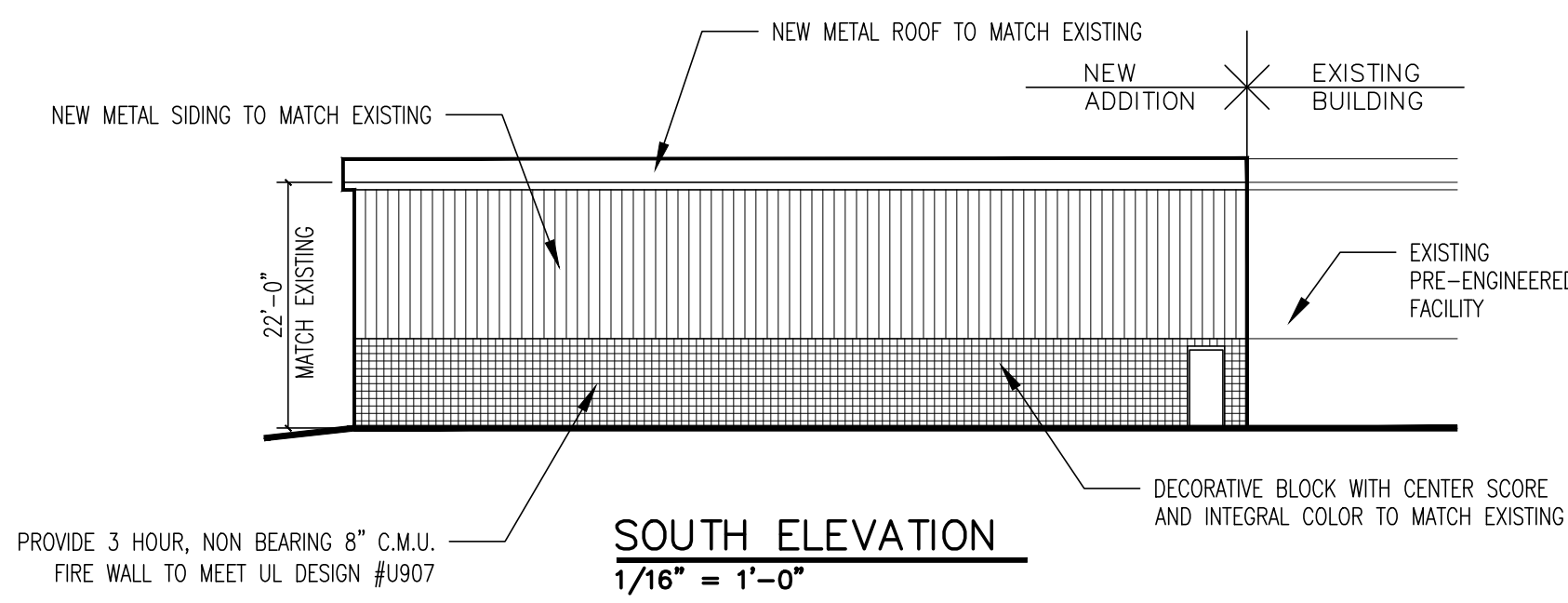
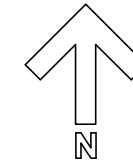
PHOTOMETRIC PLAN

Project number 16031

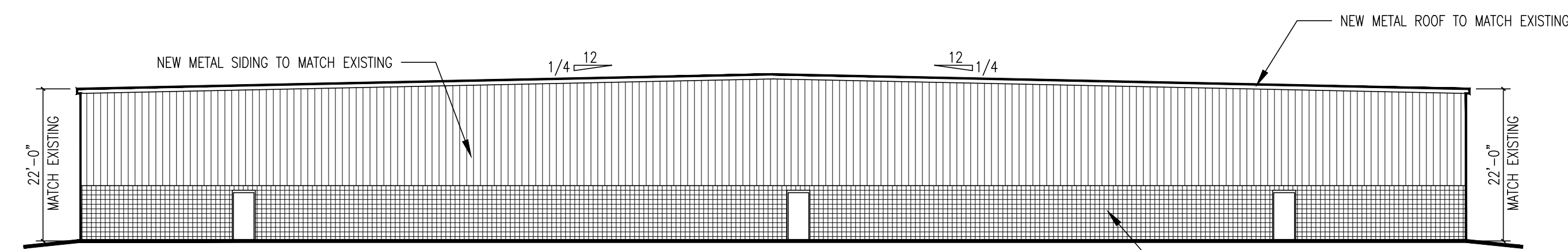
CE1.1
Scale 1" = 60'



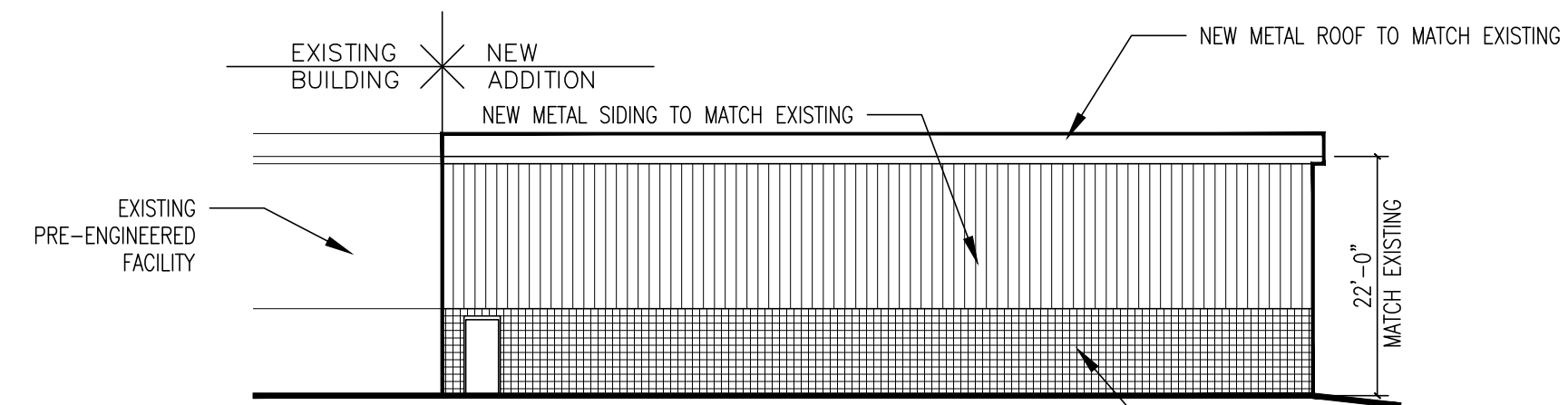
OVERALL FLOOR PLAN
1/32" = 1'-0"



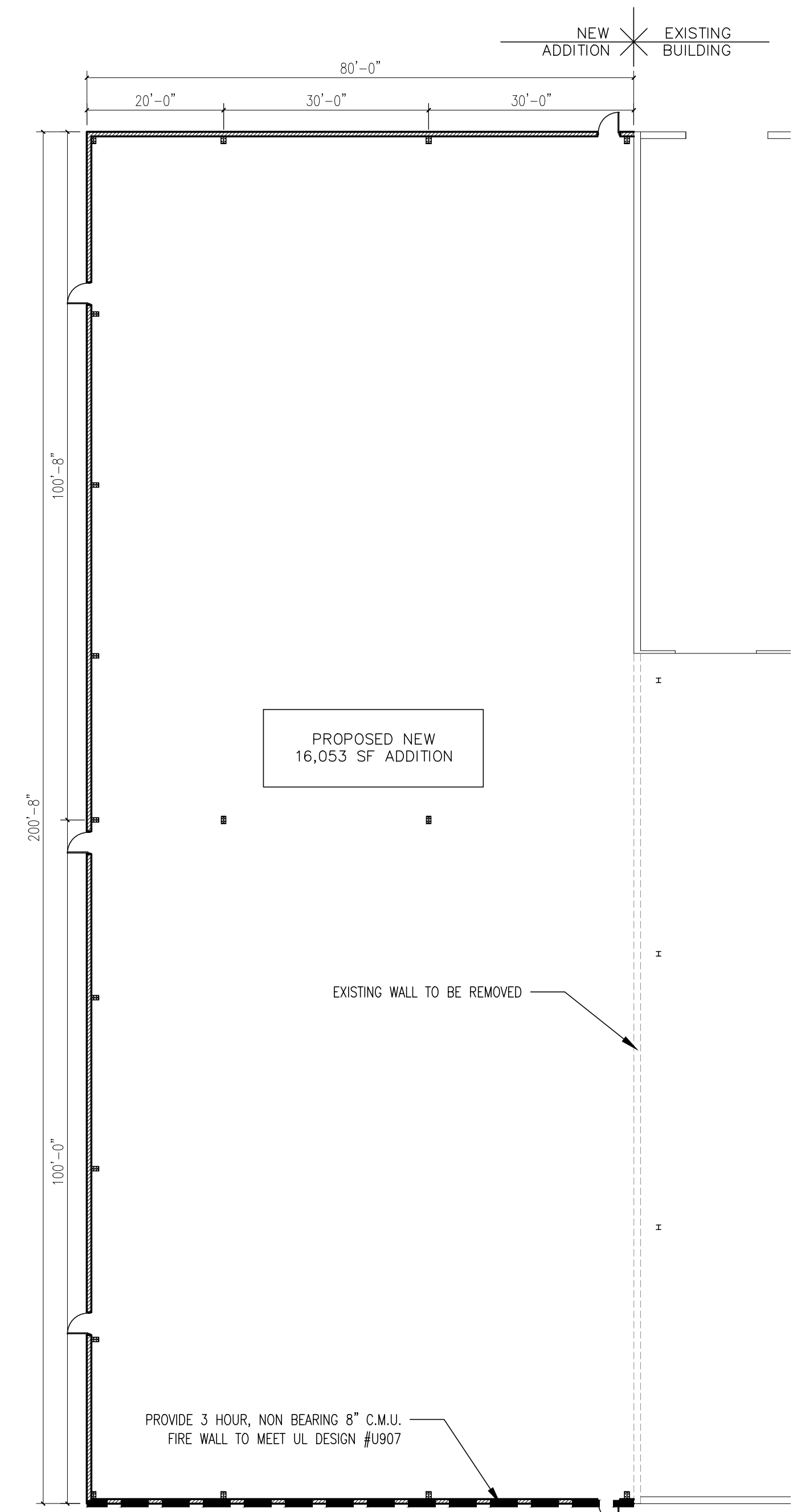
SOUTH ELEVATION
1/16" = 1'-0"



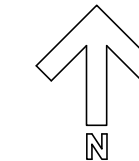
WEST ELEVATION
1/16" = 1'-0"



NORTH ELEVATION
1/16" = 1'-0"




ENLARGED FLOOR PLAN
1/16" = 1'-0"



No.	Description	Date
1	REVISED FOR PRICING	04-18-16
2	SITE PLAN REVIEW	05-02-16
3	REV. FOR SITE PLAN REVIEW	05-25-16

MEMORANDUM

TO: Township Board
FROM: Michael Archinal 
DATE: 6/16/2016
RE: SELCRA Invoice

SELCRA has sent an invoice for \$2,790 for our share of a \$15,000 FY 2015/2016 budget shortfall. Last year the SELCRA Board asked each member municipality to contribute towards the FY 2014/2015 budget shortfall. The charge was based on relative participation levels and was approved by the Township Board.

The SELCRA Board took no action relative to the current request and frankly I was surprised to receive it. Our membership in SELCRA ends at the end of June. We are under no obligation to underwrite their budget shortfall. I recommend that the Board deny the request.

Please consider the following action:

Moved by _____, supported by _____, to deny the request for payment.

To Board 06/22/2016

Livingston County Democratic Executive Committee

8028 Grand River Road, Suite 7
Brighton, MI 48116

810-229-4212

livcodems@gmail.com

GENOA TOWNSHIP
JUN 08 2015
RECEIVED

June 2, 2016

Genoa Township Board
2911 Dorr Road
Brighton, MI 48116

Dear Members of the Genoa Township Board:

Earlier this year, Michigan's legislature voted to ban straight-ticket voting. In our county, approximately 44,000 of the 99,130 people who voted in 2012 voted straight ticket. Because it will now take much longer to go through the entire ballot and vote for each candidate *one at a time*, we can only expect most precincts to have substantially longer waiting times than in the past.

That's why I am writing to urge you to reach out by mail to all Genoa Township voters and urge them to vote absentee this November, if they are in any way eligible to do so. This will allow our citizens to fill out the lengthy ballot without having to wait in a potentially long line, and to take the time to weigh their selections carefully.

I recognize that doing a mailing to every registered voter will require both time and money. But making it practical for our voters to continue to vote in large numbers is more than worth it. I urge you to find and appropriate the funding to reach out to the voters. I look forward to the Legislature reaching an agreement soon to permit early voting as 34 other states have already done. Until then, maximizing the use of absentee ballots is our best tool for achieving the high turnout that our political process requires to win and maintain citizens' trust.

Thank you, and I look forward to your decision in this matter.

Cordially,



Judy Daubenmier, chair
Livingston County Democratic Party

Paid for by Livingston County Democratic Committee, 8028 Grand River,
Suite 7, Brighton, MI 48114



To Board 04/23/2016

June 1, 2016

Ms. Polly Skolarus, Clerk
Township of Genoa
2911 Dorr Rd.
Brighton, MI 48116

Dear Ms. Skolarus:

As part of Comcast's commitment to keep you informed about important developments that affect our customers in your community, I am writing to notify you some changes to the channel lineup. Customers are being notified of these changes via bill messages.

Effective June 21, 2016, the following channels will move from Digital Preferred service to Digital Starter service: NFL Network, NFL Network HD, TV One and TV One HD.

Also, effective July 28, 2016, Centric (channel 174) will no longer be available in the Sports and Entertainment Package. Centric will continue to be available on the Digital Preferred service.

As always, feel free to contact me directly at 734-254-1557 with any questions you may have

Sincerely,

A handwritten signature in black ink, appearing to read "K. Mazurek".

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170