

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting

July 20, 2015

6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: July 6, 2015

Approval of Regular Agenda:

3. Consideration of special land use, environmental impact assessment, and sketch plan for inclusion of the Livingston Christian School as an accessory use for the Brighton Church of the Nazarene, located at 7669 Brighton Rd., Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

- A. Disposition of Special Land Use
- B. Disposition of Environmental Impact Assessment dated 6-15-15
- C. Disposition Sketch Plan dated 5-20-15

4. Consider approval of a request for proposal for 2015 Paving Improvements.
5. Request for approval of budget amendments for the Fiscal Year ending March 31, 2016:
 - a. General Fund 101
 - b. Road Improvement Fund 261
 - c. Road Lake Lighting Reimbursement Fund 264
 - d. Future Development Parks and Recreation Fund 270
 - e. Cemetery/Building Reserve Fund 271

6. Discussion of the Board Meeting Cancellation and Bill Payment Policy.

Correspondence

Member Discussion

Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: July 20, 2015

TOWNSHIP GENERAL EXPENSES: Thru July 20, 2015	\$140,728.92
July 17, 2015 Bi Weekly Payroll	\$80,349.56
OPERATING EXPENSES: Thru July 20, 2016	\$762,498.64
TOTAL:	<u>\$983,577.12</u>

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
31919	ADAMS	Adams Well Drilling, Inc.	07/01/2015	781.00
31920	AT&T Fax	AT&T	07/01/2015	60.27
31921	GENOADI	Genoa Twp-Delinquent Tax Fund	07/01/2015	56.52
31922	LEO'S CU	Leo's Custom Sprinkler Service	07/01/2015	457.60
31923	OEX	Office Express Inc.	07/01/2015	87.79
31924	USBNA	US Bank, N.A.	07/01/2015	1,358.15
31925	Duncan	Duncan Disposal Systems	07/02/2015	78,277.23
31926	Evolving	Evolving Technologies	07/02/2015	1,158.00
31927	Perfect	Perfect Maintenance Cleaning	07/02/2015	3,190.00
31928	LC REG D	Livingston Co. Register Of Dec	07/13/2015	23.00
31934	AmerAqua	American Aqua	07/15/2015	183.80
31935	ATT&IL	AT&T	07/15/2015	161.86
31936	BLUE CRO	Blue Cross & Blue Shield Of Mi	07/15/2015	27,040.22
31937	BullsEye	BullsEye Telecom	07/15/2015	291.80
31938	Clearwat	Clearwater Systems	07/15/2015	84.50
31939	COMCAST	Comcast	07/15/2015	324.11
31940	CONSUMER	Consumers Energy	07/15/2015	19.50
31941	CONTINEN	Continental Linen Service	07/15/2015	102.90
31942	COOPERST	Cooper's Turf Management LLC	07/15/2015	4,555.15
31943	Country	Country Lane Florist	07/15/2015	99.59
31944	CRAMPION	Crampton Electric Co., Inc.	07/15/2015	89.00
31945	DTE LAKE	DTE Energy	07/15/2015	775.24
31946	ETNA SUP	Etna Supply Company	07/15/2015	19,145.00
31947	FED EXPR	Federal Express Corp	07/15/2015	181.39
31948	ICMA	ICMA	07/15/2015	941.60
31949	MASTER M	Master Media Supply	07/15/2015	154.11
31950	MICOM	Michigan.com	07/15/2015	200.00
31951	OEX	Office Express Inc.	07/15/2015	188.43
31952	Pontem	Pontem	07/15/2015	471.00
31953	STMIE&LA	State of Michigan	07/15/2015	180.00
31954	TRI COUN	Tri County Supply, Inc.	07/15/2015	90.16

Report Total: 140,728.92

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: angie

Printed: 07/09/2015 - 12:19

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
13375	EFT-FED	EFT- Federal Payroll Tax	07/17/2015		8,092.47 4,696.31 4,696.31 1,098.34 <u>1,098.34</u>
			Check 13375 Total:		<u>19,681.77</u>
13376	EFT-PENS	EFT- Payroll Pens Ln Pyts	07/17/2015		<u>2,730.69</u>
			Check 13376 Total:		<u>2,730.69</u>
13377	EFT-PRIN	EFT-Principal Retirement 457	07/17/2015		<u>1,095.00</u>
			Check 13377 Total:		<u>1,095.00</u>
13378	EFT-ROTH	EFT-Principal Roth	07/17/2015		<u>615.00</u>
			Check 13378 Total:		<u>615.00</u>
13379	EFT-TASC	EFT-Flex Spending	07/17/2015		<u>1,034.97</u>
			Check 13379 Total:		<u>1,034.97</u>
			Report Total:		25,157.43

7/17 payrol
CK# 12128 + 54,094.45
+ 1,097.68
Page 1
1
\$80,349.56

Account Number	Debit	Credit	Account Description
101-000-002-000	0.00	54,094.45	Cash-checking Account Only
101-000-259-000	54,094.45	0.00	Payroll Direct Deposit
	54,094.45	54,094.45	
Report Totals:	54,094.45	54,094.45	

Genoa Charter Township
User: angie

Payroll
Computer Check Register

Printed: 07/09/15 12:07
Batch: 607-07-2015

<u>Check No</u>	<u>Check Date</u>	<u>Employee Information</u>	<u>Amount</u>
12128	07/17/2015	Czuprenski Brian Czuprenski	1,097.68
Total Number of Employees: 1			Total for Payroll Check Run: 1,097.68

#592 OAK POINTE WATER/SEWER FUND

Payment of Bills

June 30 through July 15, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	07/06/2015	3362	Duncan Disposal Systems	Monthly rate 7/1/15 to 7/31/15 Container ser	-\$40.00
Bill Pmt -Check	07/06/2015	3363	CONSUMERS ENERGY	4505 Club Dr and 5341 Brighton Rd	-\$54.92
Bill Pmt -Check	07/15/2015	3364	AT&T	Telephone Internet Service July 7 to Aug 6-15	-\$88.98
Bill Pmt -Check	07/15/2015	3365	DTE ENERGY	Electric bills 5-30-15 to 6-30-15	-\$8,175.68
Bill Pmt -Check	07/15/2015	3366	Bullseye Telecom	003CA32, 003CACC	-\$374.33
Bill Pmt -Check	07/15/2015	3367	CONCRETE CONSTRUCTION, INC.	DRIVE WAY REPAIRS	-\$1,180.57
Bill Pmt -Check	07/15/2015	3368	COOPERS TURF MANAGEMENT, LLC	LIFT STATION 50,55,58,57,60 WASTWATER I	-\$551.00
Bill Pmt -Check	07/15/2015	3369	ETNA SUPPLY COMPANY	supplies	-\$101.00
Bill Pmt -Check	07/15/2015	3370	FASTENAL		-\$1,110.33
Bill Pmt -Check	07/15/2015	3371	Genoa Township G/O New User Fund	Deposit to 489-000-084-592	-\$15,300.00
Bill Pmt -Check	07/15/2015	3372	GENOA TWP DPW FUND	Maintenance/ Billing July 2015	-\$39,498.66
Bill Pmt -Check	07/15/2015	3373	HACH Company	SUPPLIES	-\$198.38
Bill Pmt -Check	07/15/2015	3374	HOWELL TRUE VALUE HARDWARE	Supplies	-\$7.99
Bill Pmt -Check	07/15/2015	3375	NELSON TANK ENGINEERING & CONSULTI VOID:		\$0.00
Bill Pmt -Check	07/15/2015	3376	NORTHWEST PIPE AND SUPPLY, INC.	SUPPLIES	-\$12.08
Bill Pmt -Check	07/15/2015	3377	Seven Brothers Painting, Inc	Tower Painting	-\$253,983.00
Bill Pmt -Check	07/15/2015	3378	STANDARD ELECTRIC	Oak Pointe	-\$76.88
Bill Pmt -Check	07/15/2015	3379	USA Bluebook		-\$601.67
Bill Pmt -Check	07/15/2015	3380	NELSON TANK ENGINEERING & CONSULTI	Paint Inspection service, issue reports-Tower Pz	-\$6,650.00
TOTAL					-\$328,003.47

#503 DPW UTILITY FUND

Payment of Bills

June 30 through July 15, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	06/30/2015	3271	TalentWise Inc	BACKGROUND CHECK FOR NEW RECRUITE	-\$164.00
Bill Pmt -Check	07/01/2015	3272	State of Michigan (2)	Application for storm water Industrial (A-11) certicati	-\$95.00
Bill Pmt -Check	07/02/2015	3273	Brighton Urgent Care		-\$195.00
Bill Pmt -Check	07/02/2015	3274	Genoa Township	payroll/retirement/taxes	-\$300,000.00
Bill Pmt -Check	07/15/2015	3275	Advantage Marketing	SERVICE ON CDS	-\$479.19
Bill Pmt -Check	07/15/2015	3276	Auto Zone	SUPPLIES	-\$21.36
Bill Pmt -Check	07/15/2015	3277	Blackburn Mfg. Co.		-\$814.04
Bill Pmt -Check	07/15/2015	3278	Chase Card Services	SUPPLIES	-\$983.45
Bill Pmt -Check	07/15/2015	3279	Fastenal Company		-\$308.30
Bill Pmt -Check	07/15/2015	3280	Gordon Food Service		-\$213.72
Bill Pmt -Check	07/15/2015	3281	LOWE'S		-\$1,578.80
Bill Pmt -Check	07/15/2015	3282	Master Media	OFFICE SUPPLIES	-\$103.77
Bill Pmt -Check	07/15/2015	3283	NORTHWEST PIPE & SUPPLY	SUPPLIES	-\$586.92
Bill Pmt -Check	07/15/2015	3284	PAETEC	PHONE SERVICE	-\$33.88
Bill Pmt -Check	07/15/2015	3285	Port City Communications, Inc.	CALL CENTER SERVICE	-\$273.31
Bill Pmt -Check	07/15/2015	3286	TETRA TECH, INC.	PROJECT # 1200-12736-15015	-\$110.00
Bill Pmt -Check	07/15/2015	3287	Tractor Supply Co.	SUPPLIES	-\$149.19
Bill Pmt -Check	07/15/2015	3288	USABlueBook	SUPPLIES	-\$368.04
Bill Pmt -Check	07/15/2015	3289	Victory Lane Quick Oil Change		-\$100.96
Bill Pmt -Check	07/15/2015	3290	WEX Bank	FLEET PURCHASES JUNE	-\$3,515.26
TOTAL					-\$310,094.19

2:51 PM

#595 PINE CREEK W/S FUND

Payment of Bills

June 30 through July 15, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	07/01/2015	2149	City of Brighton, City Hall	SITE ADDRESS 5660 WYNDAM LANE -KIME	-\$9,500.00
Bill Pmt -Check	07/06/2015	2150	City of Brighton	003054-000 Pine Creek-Genoa Twp	-\$43,120.90
Total					-\$52,620.90

2:45 PM

#593 LAKE EDGEWOOD W/S FUND

Payment of Bills

June 30 through July 15, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	06/30/2015	2766	Brighton Analytical L.L.C.		-\$154.00
Bill Pmt -Check	07/06/2015	2767	City Of Brighton		-\$16,598.34
Bill Pmt -Check	07/15/2015	2768	Brighton Analytical L.L.C.		-\$154.00
Bill Pmt -Check	07/15/2015	2769	City Of Brighton	Acct #003053-000 Correction to Bill	-\$89.00
Bill Pmt -Check	07/15/2015	2770	Consumers Energy	Gas bills	-\$6.80
Bill Pmt -Check	07/15/2015	2771	DTE Energy	Electric Bills	-\$3,339.39
Bill Pmt -Check	07/15/2015	2772	BullsEye Telecom	6-10-15 to 7-9-15	-\$292.29
Bill Pmt -Check	07/15/2015	2773	Charter Township of Brighton	Re 7960 Grand River Davita Dialysis	-\$880.00
Bill Pmt -Check	07/15/2015	2774	Cooper's Turf Management	Lawn Care at LE wastewater plant and lift station	-\$438.00
Bill Pmt -Check	07/15/2015	2775	FONSON, INC.	L E Condominium Sewer Relocation	-\$34,074.75
Bill Pmt -Check	07/15/2015	2776	GENOA TWP DPW FUND	July 2015 Maint and Billing	-\$10,453.92
Bill Pmt -Check	07/15/2015	2777	GRUNDY ACE OF HOWELL		-\$77.18
Bill Pmt -Check	07/15/2015	2778	Hubbell, Roth & Clark, Inc		-\$1,837.56
Bill Pmt -Check	07/15/2015	2779	KENNEDY INDUSTRIES, INC.	Station #62-STORM EVENT	-\$260.00
Bill Pmt -Check	07/15/2015	2780	M & K Jetting and Televising		-\$1,110.00
Bill Pmt -Check	07/15/2015	2781	NORTHWEST PIPE AND SUPPLY, INC	SUPPLIES	-\$227.64
Bill Pmt -Check	07/15/2015	2782	TLS CONSTRUCTION LLC		-\$1,387.41
Bill Pmt -Check	07/15/2015	2783	Utilities Instrumentation Service Inc.	Servies at L/E THROUGH 6-9-5	-\$420.00
Total					-\$71,780.08

draft

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting

July 6, 2015

MINUTES

Clerk Skolarus called the regular meeting of the Genoa Charter Township Board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following members were present constituting a quorum for the transaction of business: Paulette Skolarus, Robin Hunt, Linda Rowell, Jim Mortensen and Jean Ledford. Also present were Township Manager Michael Archinal; Township Attorney Frank Mancuso and three persons in the audience.

Skolarus asked that the board appoint Jim Mortensen as Chairman in the absence of Supervisor McCririe. Moved by Ledford and supported by Hunt to appoint Mortensen as Chairman for the regular meeting of the board. The motion carried unanimously.

Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Ledford and supported by Rowell to approve all items listed under the Consent Agenda and moving item 3 to the regular agenda for discussion. The motion carried unanimously.

1. Payment of Bills.

2. Request to Approve Minutes: June 15, 2015

Approval of Regular Agenda:

Moved by Hunt and supported by Skolarus to approve for action all items listed under the regular agenda as requested. The motion carried unanimously.

3. Consider approval of appointments to Boards and Commissions as recommended by Supervisor McCririe.

Moved by Skolarus and supported by Ledford to approve the following appointments: to the ZBA - Marianne McCreary and Barbara Figurski to three year terms ending 06/30/2018; to the Planning Commission – Barbara Figurski and Doug Brown to three year terms ending 06/30/2018. The motion carried unanimously.

4. Request for approval of budget amendments for the Fiscal Year ending March 31, 2016:

Possible bonding was discussed by the board for future special assessment districts. Moved by Skolarus and supported by Rowell to table the request to allow for charting of the transfers. The motion carried unanimously.

- A. General Fund 101
- B. Road Improvement Fund 261
- C. Road Lake Lighting Reimbursement Fund 264
- D. Future Development Parks and Recreation Fund 270
- E. Cemetery/Building Reserve Fund 271

5. Request for approval of a Special Assessment for connections fees for a new Red Olive Restaurant in the amount of \$41,573 with a 5% interest rate on the principal balance.

Moved by Skolarus and supported by Ledford to approve the Agreement for Payment of Connection Fee Charge with PKJJ, LLC to authorize the Township Treasurer to levy a special assessment on parcel 4711-05-400-025 for the payment of connection fees in the amount of \$41,573.00 with a 5% interest rate on the principle balance as provided in the Agreement and with minor corrections to the format of the agreement and changes to Section 4. The motion carried unanimously.

6. Discussion of the Board Meeting Cancellation and Bill Payment Policy.

Moved by Ledford and supported by Rowell to table the policy until the next regular meeting of the board. The motion carried unanimously.

7. Discussion of publications and announcements.

It was the consensus of the board to continue publishing a summary of the minutes.

The regular meeting of the Genoa Charter Township Board was adjourned at 7:40 p.m.



Paulette A. Skolarus, Clerk
Genoa Charter Township

Gary McCririe, Supervisor
Genoa Charter Township



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org


MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director

DATE: July 16, 2015

RE: Brighton Church of the Nazarene - Livingston Christian School
Special Land Use, Environmental Impact Assessment & Sketch Plan

MANAGER'S REVIEW: 

In the following pages please find the information related to the proposed special land use, environmental impact assessment and sketch plan for the inclusion of a private K-12 school within the existing Brighton Nazarene Church facility located at 7669 Brighton Road, Brighton, Michigan, parcel # 4711-25-400-058. After 4 meetings, the project was recommended for approval by the Planning Commission on Monday, July 13th, 2015.

In an effort to move this item forward and allow the church to prepare for the start of school this fall I have authorized the items that were approved by the Planning Commission to be used for review by the Township Board. As a result, the motions below are based on the action taken by the Planning Commission. In addition to the Planning Commission motions, I have suggested a few minor changes for the impact assessment and sketch plan and those items are shown underlined in the following.

Please take note that because of the number of meetings and reviews, the applicant will need to remit payment to cover the cost of site plan review fee exceedances. A breakdown of the fees to date is included in your packet. As a final point, the applicant has submitted a recommendation for a motion on the Special Use Permit which would replace expiration of the permit with an annual review by the Zoning Administrator. This request is included after this memo for your consideration.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

SPECIAL LAND USE PERMIT

I recommend **APPROVAL** of the Special Land Use permit with conditions. This approval is recommended based upon consistency with the standards of section 19.03 of the zoning ordinance. The following conditions were requested in association with this approval:

1. Implementation of the traffic control plan that provides safe and adequate onsite circulation and driveway egress. A written report analyzing traffic shall be provided to the Township annually;
2. The school will have no more than 32 employees and 250 students;

3. The church is responsible for coordination of uses and events to ensure that peak church and school uses do not overlap;
4. The special use permit expires following the 2016-17 school year;
5. The disposition of the driver's training operation shall be handled by Township Administration.

IMPACT ASSESSMENT

I recommend **APPROVAL** of the environmental impact assessment dated June 15, 2015 which includes the Traffic Impact Study dated June 23, 2015, subject to a spelling correction under existing conditions related to the 3 lane road.

SKETCH PLAN

I recommend **APPROVAL** of the sketch/traffic control plan dated May 20, 2015 with the following conditions:

1. A six foot vinyl fence stretching the eastern length of the property for approximately 700 feet will be added. The materials for the fence reviewed this evening will become Township property.
2. The sketch plan will be modified before the land use permit is granted to reflect the extension of the sidewalk from the church to the Brighton Road bike path along the western edge of the church driveway;
3. Re-striping of the parking lot and sidewalk for pedestrian paths will be accomplished with the coordination and approval of the Township Engineer;
4. Any other requirements of the Township Engineer in his letter of 7/7/15 and the Brighton Fire Authority in their letter of 7/2/15 will be complied with.
5. All site plan application fee exceedances shall be paid prior to issuance of the Land Use Permit.
6. Water tap fees due to the City of Brighton shall be paid prior to issuance of a Land Use Permit.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter
Assistant Township Manager/Community Development Director

Project Name: Livingston Christian School at Brighton Nazarene Church

Summary:	Actual	Allocated	Additional payment required for:
Meetings	4 PC & 1 Board	1 PC & 1 Board	3 PC
Number of Consultant Reviews:	9	4	5
Number of Fed-Ex:	2	2	0
Number of Publications:	1	1	0

LSL, Inc.

Invoice Date	Service	Amount
5/30/2015	Reviews and PC Mtg	\$809.75
6/30/2015	Reviews and PC Mtg	\$832.63
pending	Review and PC Mtg	

Tetra Tech MPS

Invoice Date	Service	Amount
7/10/2015	Review 3 & 4 and 2 Meetings	\$1,275.00
pending	Review 5 & Meeting	

PC Meetings

Invoice Date	Service	Amount
5/11/15	PC Meeting	\$334.00
6/8/15	PC Meeting	\$668.00
7/13/15	PC Meeting	\$445.33

Due as of 7/16/15	\$4,364.71
Invoices after 7/16/15	pending
TOTAL DUE	pending

July 16, 2015

Dear Township Board Member,

Thankfully, we are ready to move forward on the Livingston Christian School however there is one potentially important issue that we need to address prior to the Twp Board Meeting on Monday, July 20. The Township PC, Township Staff, Nazarene Church and the Livingston Christian School, have spent many hours getting to the place we are now and I would hope we can correct what I believe could be a this very big problem.

We want to first thank the Township PC for performing a difficult job and I can perhaps uniquely appreciate how good a job they have done as the Genoa Township Planning Comm. The Chairman Mr. Brown was very effective and proficient at, managing a diverse group of PC members, coordinating staff, understanding technical issues, legal responsibilities and legal planning charges, while serving the various interests of fellow citizens of Genoa Township.

My Professional Career has been in the Development and Design/Survey/Engineering Fields. (40 years). During these years I have presented projects to many Townships and Municipalities. This Career included being elected to the Livingston County Home Builders Board of Directors and the Livingston County Realtors Board of Directors, for several years. My Civic Career includes, Church Board Elder, Two Christian School Boards, Two Planning Commissions (Genoa Twp and the City of Howell), and several years as a Public High School Coach.

With our backgrounds I'm sure we share an understanding of how important our words and the decisions we make may impact and affect people/and organizations for the short and long term. I believe that the Motion in the form of a recommendation to the Township Board was thoughtful and serves the interest of the Township, in 5 of the 6 conditions. However, I strongly believe one Condition of the Motion ("**#5 The special use permit expires following the 2016-2017 school year**") was not thoughtfully considered for the short or long term.

Issue

- "Special Use Status extinguished in 2 years" and implications. (07-13-15 minutes Page 3 Item 5)

HISTORICAL REVIEW

During 4 consecutive meetings the Petitioner and the PC:

- Listened to and addressed neighbor's concerns,
 - Before the very first meeting, You asked Kelly to provide the PC and the Petitioner (me), all previous and current comments and letters.

- Note: Not one new concern was raised after this initial meeting.
- Reviewed and Addressed items identified by the Township Consultants

The Significant Items identified and addressed from the First Meeting:

- Screening East Line
 - The original East Line Screen---Many trees were replaced(20 approx.) and 4 are yet to be replaced
 - The NE Corner Area—Dead Trees and underbrush was removed-
 - 15 additional large trees were added to add to buffer(not required)
 - 19 trees planted (required by 2013 Site Plan)
 - 700 feet of 6 foot tall solid fence(approved 7/13/15) installed soon
- Security along AlJoann Drive
 - fence
- Landscaping
 - All trees required from 2013 Site Plan are planted
 - A row of bushes along West Line to be planted
- Traffic Study
 - Brighton Road Study (accepted by TetraTech 6-08-15)
 - Site Traffic Study (accepted by TetraTech 7-13-15)(only outstanding item on 7-13-15 meeting)
- Noise
 - Fence and additional buffer trees
- State of Michigan Test Site
 - Addressed at 2013 meeting and again at 7-15-15 meeting

The PC Meeting ended on 7-13-15 with the following comments from the Township Consultants.

* The TetraTech letter of 7-7-15 stated that all items were addressed to their satisfaction.

*The LSL Planning letter of 7-8-15 restated 7 items from previous letters, 6 items were housekeeping issues and one statement regarding Site Traffic- handled by Tetrattech.

*The PC did a very thorough review of the project and was very gracious, perhaps to a fault, in listening and addressing the concerns of the neighbors and residents of Genoa Township.

I have been on the Township side of the table and on the Petitioner's side for many years. They are sometimes different. I ask now ask that you consider the Conditions from the Petitioner's side.

I am very disappointed that the Planning Commission made a recommendation to the Township Board that the Special Use Permit be extinguished after 2 years. It became quickly obvious to me, of the potential problems this issue would raise and I responded immediately at the PC meeting.

I asked the PC 3 times to provide "specificity" to that portion of the recommendation. (sadly, these three interruptions are not reflected in the minutes), Jim Mortensen responded that he wanted the "Site traffic flow" to be "reviewed annually", when asked the 2nd time, he also stated he wanted the "landscaping reviewed".

Note: Mr. Mortensen made the Site traffic review an annual requirement in a separate Motion regarding the Sketch Plan.

The third and final interruption was again a request for "listing the specific items". I stated that perhaps the conditions would include 1) Annual Site Traffic review, 2) Landscape Review, and anything else? I suggested that by should the Motion be made with these "specific Conditions", there is no need to extinguish and then restart the entire process in two years. No one made a comment or had an addition to this suggestion. After 5 of the 6 members had already stated they were prepared to recommend approval of the Special Use Permit, I believe they did not long at the impact of Condition #5, and did not want to further any discussion. I ask that you consider the following:

1. Every Special Use Permit has conditions and can be extinguished if the Petitioner does not execute correctly.
 - a. Home Depot may be in this condition currently
2. This is a permitted use in the Zoning Ordinance. The PC met all of their Planning Charges, thus they recommend approval.
3. This type of Condition (automatic expiration) may be unprecedented. There were 5 additional Conditions in the Motion. If the Church and School meets all of those conditions completely, the School will still be forced to leave. (This School is a permanent use and not temporary, the same as every "special use permit: for any Church in Genoa Township.)

I ask you to consider, what the Petitioner, the Church and School, should do if the Twp. Board approves the PC Recommendation as written. That approval will create a situation for the Livingston Christian School that I believe is "unduly harmful and burdensome". Should the School look for a new facility immediately? They have no assurance that the School can continue at this site. How much lead time will be required to find and receive approval at a new site?

After 4 consecutive meetings, hours of consideration, and competent Consultants it is nearly impossible to believe that the PC did not consider any and all reasonable conditions that should be placed on the Special Use Permit.

My request is that Township Board keep the same Conditions, 1,2,3,4,and 6 as recommended by the PC and modify Condition #5. The revised Motion would read as follows:

Grant an amendment to the existing special use of the Brighton Church of the Nazarene to include a Private Christian School, n/k/a, Livingston Christian School, as an accessory use for the Church's property at 7669 Brighton Road, based upon consistency with the standards of section 19.02 of the zoning ordinance. Furthermore, this recommendation is made conditioned upon the following:

1. That the applicant obtains Board approval of the sketch plan and environmental impact assessment;
2. Implementation of the Site traffic control plan, approved by TetraTech, that provides safe and adequate onsite circulation and driveway egress;
3. The school will have no more than 32 employees and 250 students;
4. The Church is responsible for coordination of uses and events to ensure that peak church and peak school uses do not unduly overlap.
5. This accessory use permit will require an **annual review** by the Zoning Administrator:
 - a. condition and maintenance of the Landscaping Plan of September, 2013.
 - b. Condition and maintenance of the existing Screening along the West Line of AlJoann Drive.
 - c. The Nazarene Church will provide an invitation to the President or designated Representative of the Worden Lake Woods HOA, and copy the Township Zoning Administrator, to attend a Special Church Board Meeting to present and discuss mutual concerns. A copy of the minutes of this Special Board Meeting will be provided to the Zoning Administrator. The Zoning Administrator may, at the Sole Discretion of the Zoning Administrator, implement additional Conditions or require the Nazarene Church and Christian School to reapply to the Township PC and Board for a review of the "Amended Special Use Permit".
 - d. A written report of the implementation of the Site Traffic Control shall be provided to the Zoning Administrator.
6. The disposition of the driver's training operation shall be handled by Township Administration.

My thoughts as to the next step for the Church and the Livingston Christian School, should the Board approve this "unduly harmful and burdensome" portion of the recommendation:

--Immediately reapply to the Planning Comm., pay reapplication fee, and seek a Special Use permit that has specific requirements for Condition #5. The Special Use Permit would not expire, and has "Specific" requirements that are reviewed by the Zoning Administrator on an annual or regular basis.

--Seek all available options to require to Township to revisit the Permit Conditions.

Thank you for your consideration,

Respectfully,

Steve Morgan 586-942-9751



GENOA CHARTER TOWNSHIP

Special Land Use Application

Amendment to Existing

GENOA TOWNSHIP

MAR 18 2015

Special Use Permit for

Brighton Nazarene Church

This application must be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Brighton Nazarene Church, 7669 Brighton Rd. Brighton, MI 48116

APPLICANT PHONE: 810 229-6600 EMAIL:

OWNER NAME & ADDRESS: Same

SITE ADDRESS: Same PARCEL #(s): 11-25-400-058

OWNER PHONE: () Same EMAIL: 7679 Brighton Rd

Location and brief description of site and surroundings:

N/S Brighton Rd. between Jehovah's Witness church (West) & Worden Lake Woods Subdivision (East) 360 FT. West of Traffic Light @ Westerly Entrance to Brighton High School.

Proposed Use: Livingston Christian Day School. Monday-Friday 8:00 AM - 3:00 PM

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Zoning is SR (Suburban Residential) Most Schools & Churches are sited in Residential zoning to accommodate residents. (requires Special Use Permit - Sec. 3.03.02(L)). Churches and Schools are allowed, by Ordinance, in Genoa Township.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The School will not require any "change" to the existing Church facility - nor will any change to the vicinity be made. (see "Impact Assessment" for traffic data to site.)

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

(see "Impact Assessment - Amendment") Item F. & Item G.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

see "Impact Assessment - Amendment"
Item E

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02 - Brighton Road is a "hard-surface" Road
7.02.02 & 8.02.02 - none known

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

- Brighton Nazarene Church

THE UNDERSIGNED Pastor Ben Walls STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Brighton Nazarene Church

ADDRESS: 7669 Brighton Road, Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Steve Morgan of Church at Smorgan4432@gmail.com
Name Business Affiliation Email
586-942-9751 member gmail.com

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Pastor Ben Walls DATE: 3/19/15

PRINT NAME: Pastor BEN WALLS PHONE: 810-599-0941



GENOA CHARTER TOWNSHIP APPLICATION
Sketch Plan Review

GENOA TOWNSHIP
MAR 18 2015

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

Church

Representative
APPLICANT NAME & ADDRESS: Steve Morgan 586-942-9751
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Brighton Nazarene Church

SITE ADDRESS: 7669 Brighton Rd, Brighton, Mi. 48116 PARCEL #(s):

APPLICANT PHONE: () OWNER PHONE: 810 229-4600

LOCATION AND BRIEF DESCRIPTION OF SITE: Existing Brighton Nazarene Church facility - open Church Building w/ asphalt parking lot. - fully treed screening on West-East-North property lines.

BRIEF STATEMENT OF PROPOSED USE: A Christian Day School will use existing facility

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: *non-proposed*
- The approved "Site Plan" dated 5-31-13 is provided without change - to represent this "Sketch Plan"

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Brighton Nazarene Church
ADDRESS: 7669 Brighton Road, Brighton Mi. 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:
1.) Steve Morgan of Church Member at smorgan4832@gmail.com
Name 586-1942-9751 Business Affiliation Email/Address

FEE EXCEEDANCE AGREEMENT
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.
SIGNATURE: Pastor Ben Walls DATE: 3/17/15
PRINT NAME: PASTOR BEN WALLS PHONE: 810-599-0941

REQUIRED SKETCH PLAN CONTENTS

Each sketch plan submitted to the Township Planning Commission shall be in accordance with the provisions of the Zoning Ordinance. No sketch plan shall be considered until reviewed by the Zoning Administrator. The following information shall be included in the sketch plan submittal packet:

<u>SUBMITTED</u>	<u>NOT APPLICABLE</u>	<u>ITEM</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	¹⁷⁰⁰ Application form and fee: A completed application form and payment of a \$1,200.00 non-refundable application fee.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scale: The sketch plan should be drawn at an engineers scale ^{\$3,275.00}
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proof of ownership.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Legal description of the property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Property lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed ⁱⁿ buildings and parking lots with dimensions and setbacks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed ⁱⁿ parking calculations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed ⁱⁿ driveways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing and proposed signs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed landscaping illustrated on a plan and described in a plant list.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Layout of proposed changes to utilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any proposed changes to grading, lighting, dumpsters, protected or landmark trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Architectural perspective or elevations of proposed ⁱⁿ changes to buildings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any other items requested by Township staff or the Planning Commission to assist in the review. ¹ IMPACT ASSESSMENT Amendment

Revised 04-07-14, kasp

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
JULY 13, 2015
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Township Planning Commission was called to order at 6:31 p.m. Present were Barbara Figurski, James Mortensen, Chairman Brown, Chris Grajek, Diana Lowe, Eric Rauch, and John McManus. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Gary Markstrom of Tetra Tech; and Brian Borden of LSL.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: Upon motion by Diana Lowe and support by Barbara Figurski, the agenda was approved as submitted. **Motion carried unanimously.**

CALL TO THE PUBLIC:

(Note: The Board reserves the right to not begin new business after 10:00 p.m.)

OPEN PUBLIC HEARING #1... Review of a special use, sketch plan, and environmental impact assessment for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene, located at 7669 Brighton Rd., Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

Motion by Diana Lowe to recuse Eric Rauch from the open public hearing. Support by Barbara Figurski. **Motion carried unanimously.**

Steve Morgan addressed the Planning Commission on behalf of the petitioner. He referred the Planning Commission to Brian Borden's letter outlining the outstanding issues. The issue regarding landscaping was discussed. The required landscaping from the 2013 project has been placed with the exception of the arbor vitae on the west side of the property. The petitioner has filed a petition with the Township for permission to install a fence on the east property line. A sample of the proposed fencing was shown to the Planning Commission.

The vehicular and pedestrian concerns were addressed. The traffic study was reviewed. Mr. Morgan explained how the traffic patterns would flow through the parking lot for the morning drop-off and afternoon pick-up of the children. Mr. Labadie discussed his report.

Mr. Borden addressed the Planning Commission. He believes the petitioner has addressed the major concerns that he had with the prior plans. Mr. Markstrom addressed the Planning Commission, as well. He suggested that the petitioner blatantly designate the drop off and pick up zones. The sidewalk could possibly be widened in the wider drop off/pick up zones. Striping should be redone, as well. It is currently a mess. The concept, he believes, is acceptable. He believes the concerns about traffic on Brighton Road have been adequately addressed. The petitioner will ask Boss Engineering to update the plan to reflect proper striping, etc.

Mr. Borden addressed extending the pedestrian connection to the bike path. He believes it may assist those who walk and/or bike to the site. The petitioner suggested that this be made a part of the motion as it has already been discussed and approved by the church.

Pastor Ben Walls addressed the Planning Commission. He indicated that Steve Morgan has been asked to address the Planning Commission on behalf of the whole of the congregation and/or school.

Chairman Brown inquired as to the ownership of the school. Ted Nast, superintendent of the school, addressed the Planning Commission. It is a Michigan corporation with a 503-C exception.

Chairman Brown indicated it has been an onerous petition. The Township Attorney has indicated that the testing facility is not legal and should not be permitted to continue on the property. The letter from Charles Robert Hensley was discussed. Chairman Brown explained the delay was not a tactic, but rather the requirements of the ordinance had not been met.

James Mortensen indicated that his concern has been traffic and he feels ready to support the petition at this point. John McManus expressed his concern about the lack of follow-through on the part of the church. Barbara Figurski expressed her disappointment in the manner this has transpired. She read the following statement:

I cannot in good conscience vote to approve this proposal as submitted. I feel it is not the right place for a school of this size off of Brighton Road. The increase in traffic will become a detriment to the area and a hardship on all adjacent residents. I also am very much afraid this approval will come back to the Township as a problem in the future.

Also, may I add that I was disappointed with the church going ahead with the school and architectural changes prior to being fully approved.

I feel the Township has been very patient with the petitioner throughout this procedure.

Chris Grajek also expressed concern about the lack of follow-through. He thinks a time frame should be required if there is an approval. Diana Lowe feels that the petitioner has met the criteria and her own life experience shows her that this traffic queue works.

Planning Commission recommendation of petition

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (06-15-15)
- C. Recommendation of Sketch Plan (05-20-15)

After the following motion was brought, but prior to support, Chairman Brown allowed Andy Koch to address the Planning Commission. He asked for a year to relocate from the site.

Brian Borden addressed the Planning Commission and indicated that the Planning Commission does not have the authority to grant an extension because it's a violation of the ordinance.

Chris Grajek addressed the Planning Commission.

Amended motion by James Mortensen, supported by Diana Lowe, that the Planning Commission recommends that the Township Board approve the special land use request for inclusion of the Livingston Christian School as an accessory use for the church's property at 7669 Brighton Road, based upon consistency with the standards of section 19.02 of the zoning ordinance. Furthermore, this recommendation is made conditioned upon the following:

1. That the applicant obtains Board approval of the sketch plan and environmental impact assessment;
2. Implementation of an annual traffic control plan that provides safe and adequate onsite circulation and driveway egress. A written report shall be provided to the Township annually;
3. The school will have no more than 32 employees and 250 students;
4. The church is responsible for coordination of uses and events to ensure that peak church and school uses do not overlap;
5. The special use permit expires following the 2016-17 school year;
6. The disposition of the driver's training operation shall be handled by Township Administration.

Ayes: Lowe, Mortensen, Grajek, Brown, McManus

Nays: Figurski

Motion carried.

Motion by James Mortensen to approve the environmental impact assessment dated 6/15/15, subject to:

1. Approval of the Township Board of the sketch plan and special use permit and a correction to 3 lane road in existing conditions.

Support by John McManus.

Ayes: Lowe, Mortensen, Grajek, Brown, McManus

Nays: Figurski

Motion carried.

Motion by James Mortensen to approve the sketch plan, subject to:

1. Approval by the Township Board of the special use permit and environmental impact assessment;
2. A six foot vinyl fence stretching the eastern length of the property for approximately 700 feet will be added. The materials for the fence reviewed this evening will become Township property.
3. The sketch plan will be modified before the land use permit is granted and prior to the board meeting reflecting the extension of the sidewalk from the church to the Brighton Road bike path along the western edge of the church driveway;
4. Re-striping of the parking lot and sidewalk for pedestrian paths will be accomplished and coordinated with and approved by the Township Engineer;

5. Any other requirements of the Township Engineer in his letter of 7/7/15 and the Brighton Fire Authority in their letter of 7/2/15 will be complied with.

Support by Diana Lowe.

Ayes: Lowe, Mortensen, Grajek, Brown, McManus

Nays: Figurski

Motion carried.

OPEN PUBLIC HEARING #2... Review of a sketch plan application for an amendment to the approved building elevations for Brighton Church of the Nazarene, located at 7669 Brighton Rd., Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

Gary Anscombe addressed the Planning Commission. There is no sample of the proposed brick because it has yet to be made. So essentially, the brick on the existing building is the sample.

The blue siding will be changed to the same color as the color on the roof and eaves trim that currently exists.

Brian Borden indicated he's comfortable now that he knows the materials and colors will match the rendering. Also, he is pleased with the contrast of the entrance canopy color. The petitioner requests that the canopy say "children's entrance." Mr. Markstrom inquired about the handrail in the front as shown in the rendering and how it conflicts with the school loading zone. Stairs could be utilized.

Eric Rauch inquired if the petitioner considered a metal canopy rather than the cloth canopy. The petitioner felt the texture added an architectural feel to it, but could put a metal one on.

Barbara Figurski inquired as to the height of the cross on the front of the building. It's 32' according to the petitioner.

Planning Commission disposition of petition

- A. Disposition of Amended Site Plan Building Elevations (06-23-15)

Motion by James Mortensen to approve the site plan, subject to:

1. The pictures and renderings reviewed this evening will become Township property;
2. Prior to completion, the applicant will work with the Township Engineer to coordinate the re-stripping of the pedestrian area in view of the installation of handrails.

Support by John McManus. **Motion carried unanimously.**

OPEN PUBLIC HEARING #3... Review of a site plan and environmental impact assessment for a proposed 3,954 sq ft restaurant building, located on a vacant lot south of Grand River Avenue and west of Latson Rd., Howell, Michigan, parcel # 4711-05-400-066. The request is petitioned by Metro Design & Build, Inc.



July 8, 2015

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
Subject:	Brighton Nazarene Church – Special Land Use and Sketch Plan Review #4
Location:	7669 Brighton Road – northwest corner of Brighton and Aljoann Roads
Zoning:	SR Suburban Residential

Dear Commissioners:

As requested, we have reviewed the revised submittal requesting inclusion of the Livingston Christian Day School within the existing Brighton Nazarene Church facility at 7669 Brighton Road.

Specifically, the applicant proposes to incorporate a private school with 32 employees and up to 250 students to the existing church building(s). The school would operate from 8AM to 3PM Monday through Friday, although the submittal also notes the potential for other activities outside of these hours.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and provide the following comments for your consideration based on the issues raised at the 6/8/15 Planning Commission meeting.

A. Summary

1. The outstanding issues from the 2013 project approval, including landscaping and the drivers training operation, are being addressed by the applicant and staff.
2. Vehicular and pedestrian circulation concerns during school drop-off and pick-up times, as stated in our last review and at the 6/8/15 Planning Commission meeting, remain. The revised submittal includes a traffic management plan attempting to mitigate these concerns.
3. We defer to the Township Engineer for comment on the traffic study.
4. Any additional issues raised by the Township Engineer or Fire Department must be addressed.
5. The church is responsible for coordinating a schedule of activities such that peak usage of both the church and school will not overlap.
6. The elevation changes to the plans approved in 2013 are being addressed and are pending approval through a separate review.
7. New signage is not proposed at this time. Approval and a permit will be required if/when new signage is proposed.



Aerial view of site and surroundings (looking west)

B. Proposal/Process

The applicant requests special land use and sketch plan review/approval for the inclusion of a private school within the existing Brighton Nazarene Church facility. The submittal notes that the school will house up to 32 employees and 250 students.

Table 3.03 of the Township Zoning Ordinance lists churches as special land uses in the SR District, with private schools allowed as accessory to a church per Section 3.03.02(1). In accordance with Section 19.06, the proposal is viewed as a major amendment to an existing special land use. Therefore, a new application for special land use approval is required in addition to the need for sketch plan review/approval.

In 2013, the Township granted special land use and site plan approval for an addition to the church facility. Following that approval, the applicant modified the request such that the addition would be handled in two phases. Accordingly, only a portion of what was originally approved has been built.

The outstanding issues of landscaping, buffering between uses, and continuation of the drivers training program have been resolved or are in the process of being resolved.

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Master Plan and Future Land Use Map identify the site and adjacent properties to the east and west as Low Density Residential. This classification is generally intended for single-family development on lots of at least 1-acre in area.

While the land use description in the Plan does not reference institutional uses specifically, there is an overall goal to “accommodate a variety of land uses that are located in a logical pattern and complement community goals, the surrounding land uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.”

Similar to our findings in the 2013 project review, we believe the proposal is consistent with this goal as a further expansion of an existing institutional use in an area containing a mix of residential and other non-residential uses.

- 2. Compatibility.** The site is located on the north side of Brighton Road in an area already developed with a mix of institutional and single-family residential land uses, including Brighton High School southeast of the subject site. The submittal indicates that the school’s start/end times were chosen so as to not coincide with the hours for the other two nearby schools.

As referenced above, concerns were previously raised by residents in the adjacent neighborhood regarding landscaping and use of the parking lot. Per the applicant, the landscape improvements are well underway and they recently added a 6-foot tall screen fence to proposal, which is along the east side of the parking lot to help improve buffering between uses. As for the drivers training program, we remain of the opinion that it is not permitted and should be discontinued; however, the ultimate determination will be up to the Township.

- 3. Public Facilities and Services.** The physical features of the site are to remain as they currently exist; however, use of the facility will increase by approximately 226 people per weekday (employees and students) with the potential for more in the future.

The revised submittal includes additional details and a traffic study, as was discussed at the previous Planning Commission meeting. We defer to the Township Engineer for a detailed review of this information; however, inclusion of the school still appears to create severe on-site congestion in the form of stacking/traffic back-up during student drop-off (morning) and pick-up (afternoon).

Any other comments/concerns raised by the Township Engineer and/or Brighton Area Fire Department must be addressed under this criterion.

- 4. Impacts.** Aside from an increase in traffic, the most likely impact will be the increased use of the site in general. The applicant has indicated that school use(s) will not coincide with church use(s) and the current submittal includes a more detailed breakdown of activities by day/time.

It is our understanding that the church will be responsible for coordinating and maintaining the proposed schedule of activities. If the request is granted, the church must ensure that the proposed schedule is adhered to.

- 5. Mitigation.** If any additional concerns arise as part of this review, the Township may require efforts necessary to limit or alleviate any potential adverse impacts as a result of the proposal.

D. Use Conditions

Section 3.03.02(l) provides the following use conditions related to churches:

- 1. Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.**

The submittal notes a capacity of 520 seats in the worship area, which results in the need for approximately 5 acres of lot area. The site provides 15.86 net acres of lot area. This standard is met.

- 2. Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.**

Since no exterior building modifications are proposed, the submittal does not include elevation drawings. However, based on information contained in our 2013 review letter, this standard is met.

- 3. Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.**

The site is adjacent to residential zoning on each side. The entire row of parking along the east side of the site encroaches into the 50-foot setback, although there is existing landscaping between the parking lot and neighborhood.

As referenced throughout this letter, the applicant is implementing the landscape improvements required as part of the 2013 approval. Additionally, a long length of 6-foot tall screen fencing has been added to the plans along the east side of the parking.

- 4. Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.**

The site has access to a paved public roadway. This standard is met.

E. Sketch Plan Review

- 1. Dimensional Requirements.** As previously noted, the project entails a new use for the existing facility, though no exterior changes are proposed.
- 2. Building Materials and Design.** Similar to the statement above, no exterior building changes are proposed. However, as a side note, the applicant has requested sketch plan approval to modify the previously approved building elevations.
- 3. Parking.** Based on the information provided, as an individual use the church requires a greater amount of parking than the private school. As previously described, peak use of the church and school will not occur at the same time.

New parking calculations have not been provided; however, based on our 2013 review, the site provides more than enough parking for the church use. In fact, the Township granted an increase in the amount of parking provided as part of that project approval.

- 4. Pedestrian and Vehicular Circulation.** No changes are proposed to the existing/previously approved circulation patterns. However, the updated traffic impact study indicates that on-site circulation is projected to be highly congested during school drop-off and pick-up times. The applicant provided a traffic control plan, including traffic directors and a pedestrian crosswalk, based on traffic projections to facilitate smoother circulation and safe student access.

We will defer to the Township Engineer for any technical comments on the updated study, but remain concerned about the projected congestion.

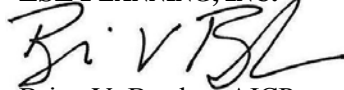
- 5. Landscaping.** The submittal does not propose additional landscaping.

6. **Waste Receptacle and Enclosure.** The waste receptacle and enclosure approved as part of the 2013 project were compliant with current standards. The current submittal does not identify any changes.
7. **Exterior Lighting.** The applicant is not proposing any changes to exterior lighting.
8. **Signs.** The applicant is not proposing any new signage at this time. If proposed, the applicant should submit details for the Commission's consideration. A sign permit is required prior to the installation of any new signage.
9. **Impact Assessment.** In summary, the amended Impact Assessment (6/15/15) notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic. It also indicates that the City of Brighton has been notified of the additional public water supply and that they existing septic system is private and currently being reviewed by the County.
10. **Traffic Study.** The applicant has prepared an updated traffic impact study update (6/23/15) to forecast trip generation for potential growth up to 250 students. We will defer to the Township Engineer for any technical comments on the updated study. As already mentioned, we are concerned about the on-site congestion during peak school times.

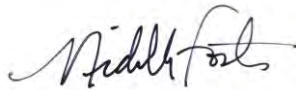
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and foster@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP
Principal Planner



Michelle Foster
Project Planner



July 7, 2015

Ms. Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Livingston Christian School
Special Land Use Permit Application and Sketch Plan Review #4
Traffic Study and Site Circulation Plan Review #3**

Dear Ms. VanMarter:

The petitioner for the proposed Livingston Christian School was asked to provide a traffic study in accordance with the Township's ordinance. The initial submittal was reviewed by Tetra Tech on April 21, 2015. In late May, the petitioner provided a second response letter and a copy of a revised Traffic Study completed by the petitioner's traffic engineering firm, Boss Engineering. Review comments were provided in our June 3, 2015, letter. The petitioner received additional instructions from the planning commission and has submitted a revised traffic study for review and approval. Tetra Tech has completed a review of this latest study and offers the following comments for Township consideration in approving the site plan:

SUMMARY

- The revised study and accompanying memo from Fleis & Vandenbrink provides the requested analysis of the onsite traffic flow and level of service analysis for the existing driveway. The memo dated June 23, 2015, from Fleis & Vandenbrink projects 127 pick-ups for the future student enrollment of 250. From this basis and a target average of 5.5 minutes per pick-up, a minimum of at least 325 feet of sidewalk would need to be available for the pick-up zone. The traffic plan indicates an area of 325 feet in front of the building for this zone, however, there is some concern that due to the irregular alignment of the sidewalk along the building that vehicles will disrupt the plan by pulling up close to the building and out of the pick-up line. The petitioner should add additional traffic management provisions for keeping vehicles in the proposed 24-foot-wide space for stacking in order to maintain effective circulation. It is also a concern that the entire zone does not have a continuous sidewalk to accommodate the students. Again, temporary measures will need to be made to separate the students waiting for parent pick up from the parking lot traffic.
- It is imperative that the school provide proper instruction to the traffic management volunteer to keep the flow of traffic on site moving according to the plan presented. At this time, we do not see an impact to Brighton Road as long as parents are directed to either a traffic queue or one of the many on-site parking spots.

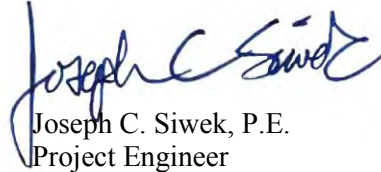
Mr. Kelly VanMarter
Livingston Christian School
Special Land Use Permit Application and Sketch Plan Review #4
July 7, 2015
Page 2

It appears the petitioner has performed the analysis and provided the supporting data requested for managing the traffic for the proposed use. Based on the revised documents, we have no further objections to approval of the site plan for approval contingent on the comments above being addressed. If you have any questions regarding this review, please call.

Sincerely,



Gary J. Markstrom, P.E.
Unit Vice President



Joseph C. Siwek, P.E.
Project Engineer

Copy: Steve Morgan



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

July 2, 2015

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Brighton Nazarene Church Expansion
for Livingston Christian School
7669 Brighton Rd.
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the comments regarding the sketch plan for the Nazarene Church use as Livingston Christian School. The original plan was reviewed on June 24, 2013 and again on July 15, 2013. The current plans were received for review on June 29, 2015 and the drawings are dated May 31, 2013 with a letter dated May 20, 2015. The project is based on building a 16,120 S.F. expansion to the existing church building (size of existing building not provided). The new addition is being requested for approval as an educational use. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

Previously, the applicant has attempted to address the fire department's concerns by submitting a letter from a Mr. Steven Morgan identifying that the fire authority concerns are noted and under evaluation by an engineer and that other items were existing and previously approved.

The following item has yet to be addressed and parking configuration and planning is ongoing without this consideration.

1. Access to and from the building shall provide emergency vehicles with an outside turning radius of 50' and a minimum vertical clearance of 13½ feet. **(Provide a plan with a truck turning template applied would satisfy the turning radius requirement.)**

IFC 503.2.4

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "RBF", is written over a light blue horizontal line.

Capt. Rick Boisvert
Fire Inspector

LAW OFFICES OF
MANCUSO & CAMERON, P.C.
ATTORNEYS AND COUNSELORS

FRANK J. MANCUSO, JR.
DOUGLAS D. CAMERON

VICTORIA L. LESNER
BRUCE A. MAYRAND, JR., of Counsel

June 12, 2015

Kelly VanMarter
Assistant Township Manager/Community Development Director
Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116

Re: Brighton Nazarene Church
Parcel No. 4711-25-400-058
Drivers Testing

Dear Ms. VanMarter:

I am advised that the Brighton Nazarene Church is currently being used as a drivers' education testing facility and has been used for this purpose for several years. The Zoning Administrator has determined that this is an illegal non-conforming use under Section 24.07.05 of the Township's Zoning Ordinance. As an illegal non-conforming Use, Section 24.07.05 of the Ordinance requires that the use be discontinued.

The question has been raised: "does the Planning Commission [and the Township Board] have the ability to require the discontinuance of the illegal non-conforming use as part of the Special Use Application process?"¹

First, nowhere in the Township Ordinance is "drivers' education testing" listed as a "use." Section 11.02.02, entitled "Determination of 'Similar Uses'" provides in part: All applications for a use not specifically addressed in any zoning district shall be submitted to the Planning Commission for review at a public hearing, based on the following standards:

- (a) A finding that the proposed use is not listed as a Permitted or Special Land Use in any zoning district.
- (b) If the use is not addressed in the Zoning Ordinance, the Planning Commission shall select the use listed in the zoning ordinance which most closely resembles the proposed use . . .

¹ The Brighton Nazarene Church has submitted an Application for Sketch Plan Review for a Christian Day Care School in the facility and the Application is will be considered for approval at the July 13, 2015 meeting.

- (c) Once a similar use is determined, the proposed use shall comply with any conditional use standards that apply to the similar use.

The only use in the Ordinance that comes close to “drivers’ education testing” is “vocational and technical training facilities.” Vocational and technical training facilities are only permitted in the OSD, GCD, RCD and IND zoning districts. The subject property is zoned SR and vocational and technical training facilities are not permitted in the SR zoning district.

Brighton Nazarene’s Sketch Plan Review is being considered as a Special Use under Section 3.03.02.² Article 19 entitled “Special Land Uses” provides in part:

19.02.04 **Review.** The request for special land use approval shall be reviewed as follows:

- (a) The special land use request and related documents shall be forwarded to the Planning Commission.
 - (b) The Planning Commission shall review the Special Land Use application, the Impact Assessment, and the Site or Sketch Plan in terms of the requirements of the Special Land Use General Review Standards Section 19.03, any specific conditions required for the use and the site plan review standards of Section 18.08.
...
 - (d) The Planning Commission shall recommend approval, approval with conditions or denial of the Special Land Use Request, Site/Sketch Plan and Impact Assessment to the Township Board.
...
 - (e) For any use requiring special land use approval, the site or sketch plan for such use shall require Township Board approval, based upon a recommendation of the Planning Commission.
 - (f) Township Board Action: Following receipt of the Planning Commission's recommendation, the Township Board shall take one of the following actions on the Special Land Use, Site/Sketch Plan and Impact Assessment:
...
- (4) Conditional Approval: **The Township Board may impose reasonable conditions with the approval of a special land use**, to mitigate impacts associated with the

² The issue of whether the use of the Church property as a K-12 school was addressed in my May 7, 2015 letter to you where I concluded that such use may be permitted as a Special Land Use under Article 19 of the Zoning Ordinance.

Ms. Kelly Van Marter
June 12, 2015
Page 3

MANCUSO & CAMERON, PC

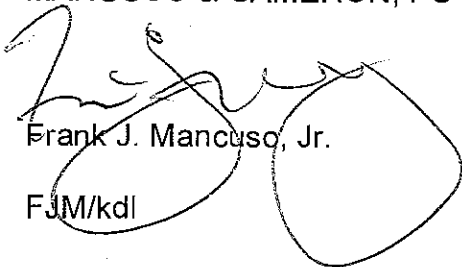
proposed use or activity to ensure that public services and facilities affected by a proposed special land use or activity will be capable of accommodating increased service and facility loads generated by the new development; protect the natural environment; ensure reasonable compatibility with adjacent uses of land and the overall character of the Township, to the extent practical for the use; **ensure the standards of this Article and the Zoning Ordinance are met.** (emphasis added).

Based on the above, It is my opinion that the Planning Commission has the ability to recommend to the Township Board that the illegal non-conforming use of the subject property as a "drivers' education testing" facility be eliminated as a condition to the approval of the Special Land Use Permit. Likewise, under the Ordinance, the Township Board may require as a condition to the approval of a Special Land Use Permit that Brighton Nazarene Church discontinue the use of the subject property as a "drivers' education testing" facility.

If you have any questions, please let me know.

Sincerely,

MANCUSO & CAMERON, PC



Frank J. Mancuso, Jr.
FJM/kdl



CITY OF BRIGHTON

"Providing quality service"

April 27, 2015

City Hall

200 N. First St.
Brighton, MI 48116-1593
(810) 227-1911
Fax# 227-6420
TDD Phone: (810) 227-8357

City Manager

225-8022
City Clerk
227-0463

Human Resources Director

225-9251
Cemetery/ Voter
Registration
227-0463

Community Development

Building
227-9005
Building Inspection Line
227-0419
Planning / Zoning
225-9257
**Community Development/
DDA**
225-8025

Finance

Accounts Payable
225-8019
Assessing Assistant
227-9006
City Assessor
225-8024
City Treasurer
225-8023
Finance Director
225-9283
Assistant Finance Director
227-7738
Property Taxes
227-0179
Utility Billing
225-8041

Police Department

440 S. Third St.
(810) 227-2700
Fax# 227-2063

Department of Public Services

420 S. Third St.
(810) 225-8001
Fax# 225-9249
DPS Director
225-9284
Assistant DPS Director
225-9282
Water Plant
227-2968
Wastewater Plant
227-9479

Kelly VanMarter, AICP

Genoa Township Assistant Township Manager/Community Development Director
2911 Dorr Road
Brighton, MI 48116

RE: REU's for Brighton Church of the Nazarene Change of Use - **REVISED**

Dear Ms. VanMarter:

It has been brought to the City of Brighton's attention that the Brighton Church of the Nazarene located at 7669 Brighton Road is requesting to convert roughly 37,620 square feet of existing church use to a K-12 school use. **Per the Livingston Christian Schools paperwork submittal there will be 18 classrooms.** The Brighton Church of the Nazarene is connected to the City's water supply system.

The proposed change of use will result in the following REU payment requirement prior to the issuance of a building permit for the change in use:

Use	Location	Square Footage	REU's Credit
Church	7669 Brighton Road	37,620*	9.41
Based on .25 REU per 1,000 sq ft of floor area			

*square footage must be confirmed with a detailed, dimensioned architectural drawing that is sealed and signed by a registered architect.

Below is the calculation for the change of use:

Use	Location	Classrooms	Total REU's
K-12 School	7669 Brighton Road	18	18
REU Credit for church use detailed above			9.41
TOTAL REU's DUE			8.59
Based on 1 REU per classroom			

Below is the calculation for the required payment:

REU's Owed	Cost per REU	Required Payment
8.59	\$2,662	\$22,866.58

** payment subject to increase on July 1, 2015

Should you have any questions, please feel free to contact me at 810-225-9257.



CITY OF BRIGHTON

"Providing quality service"

City Hall
200 N. First St.
Brighton, MI 48116-1593
(810) 227-1911
Fax# 227-6420
TDD Phone: (810) 227-8357

City Manager
225-8022
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Registration**
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Building
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Fax# 227-2063

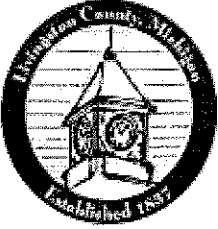
**Department of Public
Services**
420 S. Third St.
(810) 225-8001
Fax# 225-9249
DPS Director
225-9284
Assistant DPS Director
225-9282
Water Plant
227-2968
Wastewater Plant
227-9479

Sincerely,

Amy Cyphert
Planning & Zoning Director

CC: Address file

Jim Rowell, Livingston County Building Department
Kelly Hanna, City of Brighton, Finance Director
Dana Foster, City of Brighton, City Manager
Mike Archinal, Genoa Charter Township, Township Manager



Livingston County Department of Public Health

Environmental Health Division
2300 E. Grand River Ave.
Howell, MI 48843
517.546.9858 * 517.546.9853 FAX
co.livingston.mi.us/health

PERMIT #: SEP2015-00180
APPLIED: 06/24/2015
ISSUED: 06/26/2015
EXPIRES: 06/26/2016

Sewage Permit

SITE ADDRESS: 7679 BRIGHTON RD BRIGHTON 48116
PARCEL NO.: 11-25-400-058
TOWNSHIP: Genoa Township
SUBDIVISION:
LOT/PARCEL: /
DIRECTIONS: ACROSS FROM BRIGHTON HIGHSCHOOL



OWNER

BRIGHTON CHURCH OF THE NAZAR
7679 BRIGHTON RD
BRIGHTON MI 48116
PH1 810-227-6600

BUILDER

KINGSLAND BUILDING SYSTEMS
1767 ARGENTINE
HOWELL MI 48843
PH1 517-420-8105

CONTRACTOR

BOWMAN EXCAVATING INC
920 W MARR RD
HOWELL MI 48855-8319
PH1 517-546-2117

Environmental Sanitarian: Aaron S. Aumock

Issued Date: June 26, 2015

Project Description:

CHURCH ADDITION

Information:

Type of Use: COMMERCIAL/MIXED USE
Type of Water: Municipal
Type of Work: New
of Tanks/Capacity: 4 / 11,920
Field Size: 4,800 Sq.Ft.
#Beds/Baths: 0 / 0
Type of Parcel: Metes and Bounds
Bsmt Plumbing:

Disp.Sys: STANDARD FIELD
Pretreatment: None
Type of Flow: Pressure
Effluent Filter: COMMERCIAL
Sys.Elevation: Below Grade
Max.Est.Flow: 2,400

Special Requirements:

- Locate the system in the exact area as per Boss Engineering plans job # 13-100, dated 6/5/15.
100% Cutdown to sand at +/- 2 ft., then backfill with a clean sharp sand as needed, then lay stone and tile, 24" max., 12" min. cover. Adding 1200 sq. ft (zone 4) to existing 3600 sq. ft. system (zones 1 thru 3).
Install a septic tank filter on the outlet end of the septic tank.
Tank installation required. Sanitarian must witness excavation and tank placement. Contact Sanitarian to set up inspection.
Required inspections: 1) cutdown 2) final + pressure test.
The designing Engineer must supervise all phases of the construction work and shall certify in writing upon the completion of the system.

Environmental Sanitarian:

Date Finaled:

Handwritten notes: GENOA 25 7679 BRIGHTON RD SEP2015-00180

May 19,2015

Kelly VanMarter AICP
Genoa Township Asst. Township Manager
2911 Dorr Road
Brighton Michigan 48116

RE: Brighton Naz Amendment to Special Use Permit to add LCS–
Planning Commission Meeting 6-8-15

Please place the Brighton Nazarene Church (Naz) on the agenda for the Planning Commission meeting on June 8, 2015.

The Naz would like to again highlight the purpose and reason we are requesting this Amendment to the existing Land Use Permit. The Genoa Township Zoning Ordinance Section 3.03.02(l)(4):

“Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.”

It appears to be clear why the Township allows Schools in Worship facilities. In general, most Worship facilities are used very sparingly during the weekdays and evenings, and this is the same situation at the Brighton Naz facility.

The Facility addition approved October, 2013, was necessary to meet the existing ministries of the Church on Saturday, Sunday, Monday Nights and Wednesday Nights. The new Addition would have had minimal use from early morning until after 6:00 pm on Monday- Friday, however. When the Livingston Christian School, (LCS) approached the Brighton Naz in the fall of 2014, the use as a school was obvious for several reasons.

- The use as a Private Christian School is an extension of the Ministries at the Naz
- The Facility was not being used at the times required for a School
- The design of the classrooms, both size and function, fit the demographics for LCS.
- LCS is a small school. Although this facility will allow modest growth, a large growth is not possible

It is important to note the impact that the LCS will have on the Facility.

- Class size—Average class size is 15/grade level. The upper grades 9-12 total 40 -50 children.
- Sports---Due to the class size, basketball, volleyball, and golf are the only sports offered. Boys basketball has been able to field a partial JV team the past couple of years but generally, there is one team for each sport, no JV or freshmen teams, thus sporting events are generally just one game/evening. The new Gymnasium has very limited seating available (on one side only, 3 level bleachers) which limits the spectators/ participants to less than 100, in total.

- Awards Ceremonies, Graduations, etc.---30 years of historical records indicate that attendance at these functions is less than 100.

The Brighton Nazarene Church understands that there are 3 issues that the Planning Commission requested be addressed at the meeting of June 8, 2015.

1. Traffic Study
 - a. Traffic Assessment of Brighton Road
 - b. On-Site traffic flow of Naz. Church Parking Lot for LCS
2. Screening/Landscaping along Aljoann Drive
3. Existing Facility Use by Naz Church and Proposed Use by LCS

TRAFFIC STUDY

The Traffic Engineering firm, Boss Engineering, has addressed the comments and has included additional data as requested by the Township Engineer. The written portion of the Traffic Study has been submitted to the Township. This same Traffic Study, along with additional electronic software data, has been sent directly to the Township Engineer, Tetrattech, for their review.

LANDSCAPING

The Landscaping required by the approved Site Plan of October 2013 has progressed and is estimated that it will be 90% complete by the June 8, 2015 meeting.

- Traffic Islands –installed with Landscaping
- Trees along East Line (Aljoann Drive) and along West Line complete
- (10% remaining) Plantings along West Line fence will be installed soon and is awaiting installation of new Gas Line

SCREENING

A new Land Owner in the Worden Lake Woods Subdivision, meet with representatives of the Naz and proposed that the Church construct a 6 foot tall Privacy, Security Fence (total length of 700 feet) along the East Line of Church Property (Aljoann Drive) . This fence would serve three purposes:

- Provide a consistent screen and eliminate the concern of future screening issues
- Permanent security fence will be established along the entire length of Aljoann Drive
- Noise barrier from existing Parking Lot

The Church agreed to construct this fence based on this suggestion and the suggestion of the members of the Planning Commission. The Church has also cleared the underbrush, nuisance trees, dead trees, and removed stumps along the Northerly 300 feet of Aljoann Drive, to allow for the installation of the required Landscaping and the proposed Fence. The clearing of this area also creates a 300 feet x 40 feet Park Area. The Church offered the Park Area for the use of the Worden Lake Woods Property Owners

Association. The President of the Association has informed the Church that they would like the proposed Fence located to the West to create the Park on this portion of the Church Property. The Association will maintain the Park, and maintain the existing Landscaping and add additional Landscaping, at the Association's pleasure and at their expense.

Attached is a sketch of the proposed **Fence Location** and a picture of the proposed Fence. Please use this cover letter as an official request on behalf of the Brighton Nazarene Church for a permit to install this 700 lineal foot Fence. (Installation for the fence has been contracted to be installed within 30 days of receipt of Permit)

FACILITY USE

The Planning Commission requested information on the existing and proposed Facility Use. Attached are several sketches that show the existing use by the Naz and the proposed use of LCS. The sketches present the Facility based upon: 1) Time/Day Use 2) existing and proposed Use

Please Note:

- The existing Naz Use is highlighted in Blue. The existing State Test Area Use in Yellow. The proposed LCS Use in Green.
- The Day and Time, on the Sketches indicate the times that restrict Facility Use by LCS, and also indicate times of minimal Facility Use.

Prepared for Brighton Nazarene Church by:

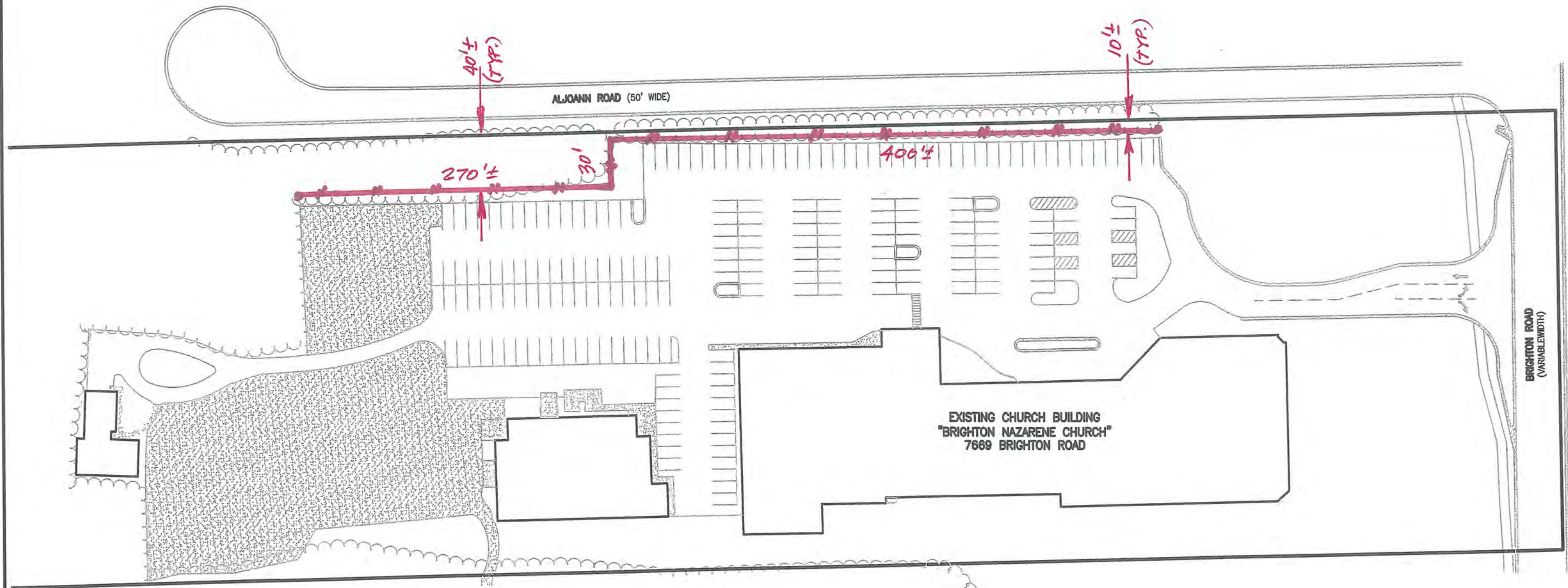
Steve Morgan

4432 Glen Eagles Court

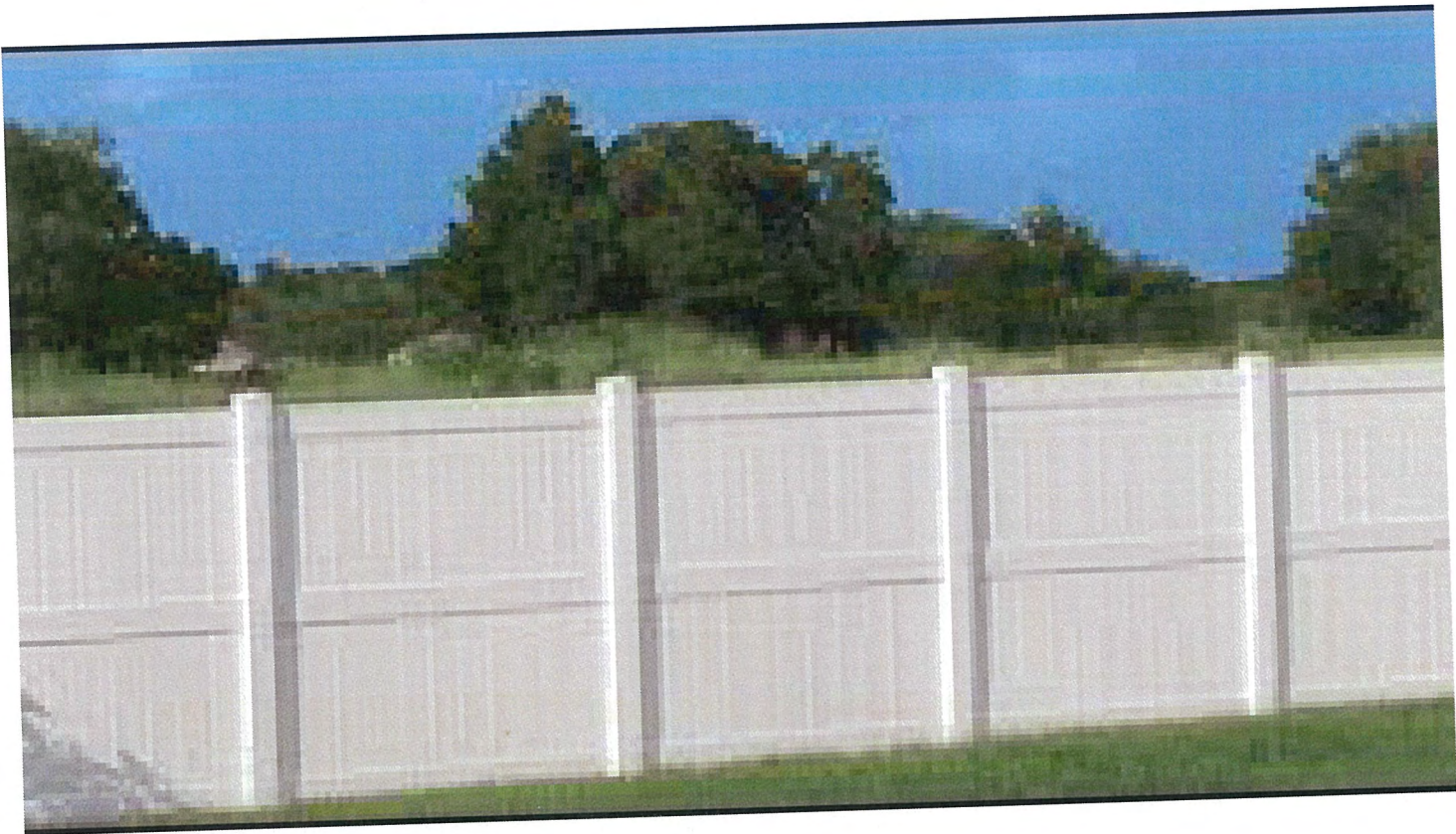
Brighton, Michigan 48116

586-942-9751

FENCE proposed









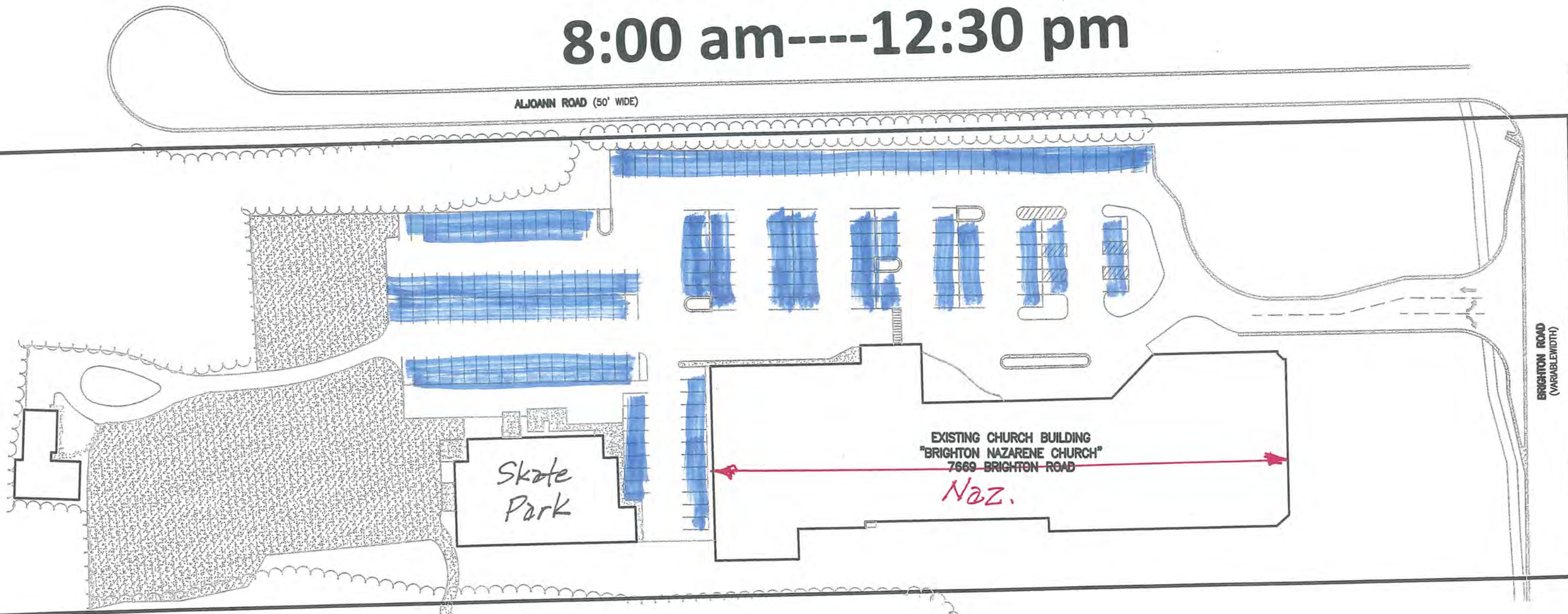
SUNDAY

3 SERVICES

Naz Use Only

8:00 am----12:30 pm

ALJOANN ROAD (50' WIDE)

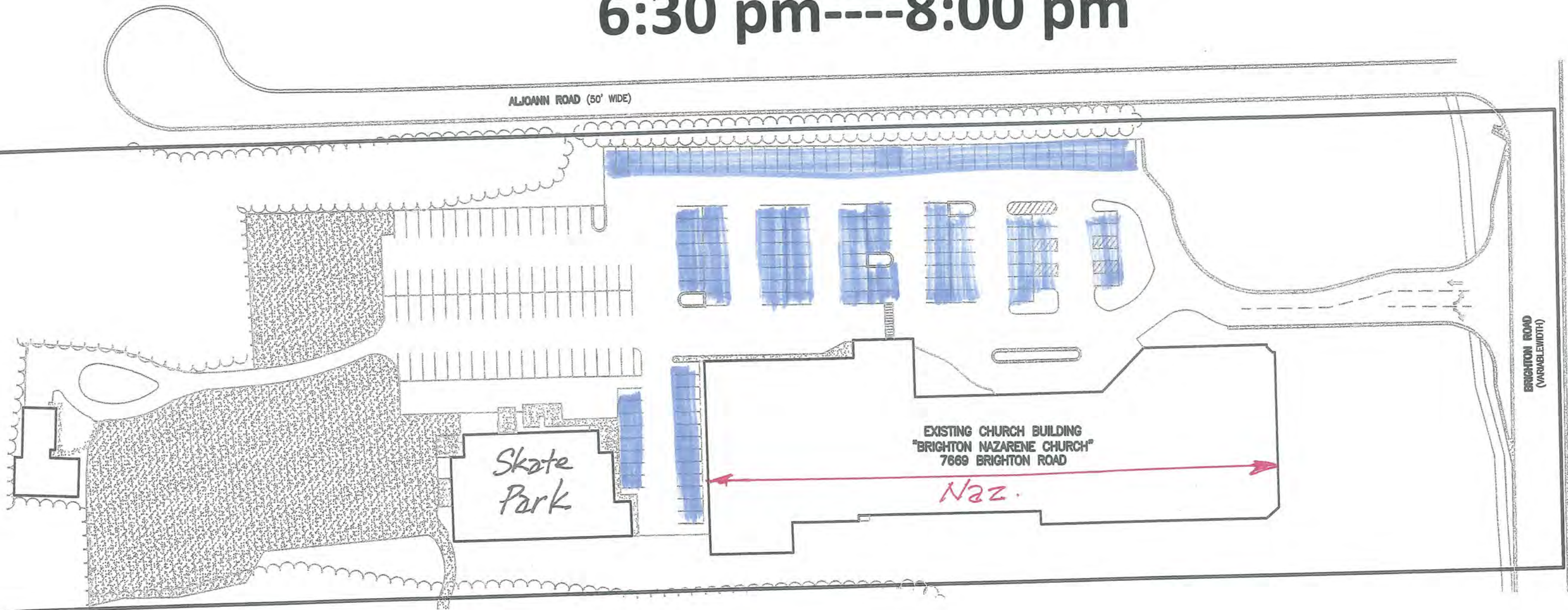


Naz Church Parking (Full)

MONDAY, WEDNESDAY

Naz Use Only

6:30 pm----8:00 pm



Naz Church Parking (140)

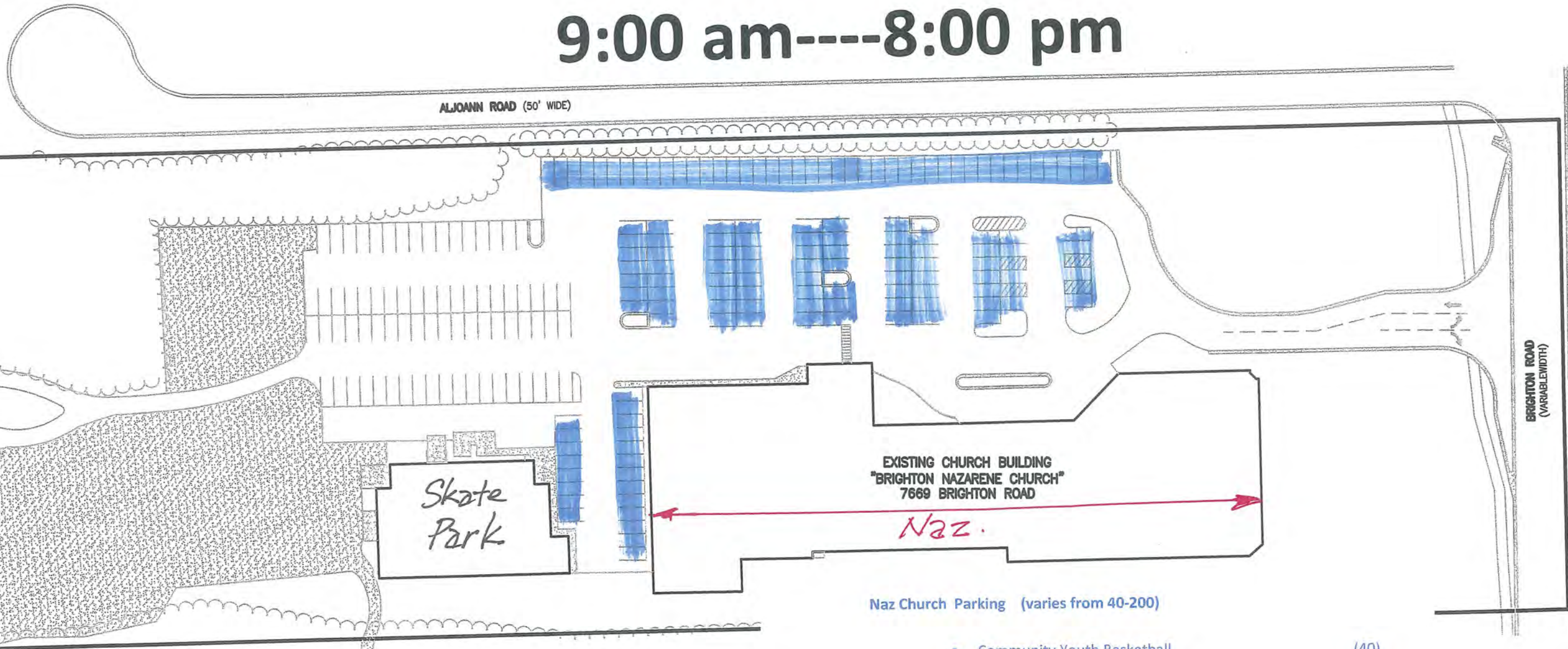
- Monday Night- Celebrate Recovery
- Wednesday Night- Bible Study and Children's Program
- Christmas Celebrations and Services
- Sportsmen's Banquet

SATURDAY

Naz Use Only

Community Outreach Day

9:00 am----8:00 pm



EXISTING CHURCH BUILDING
"BRIGHTON NAZARENE CHURCH"
7669 BRIGHTON ROAD

Skate
Park

Naz.

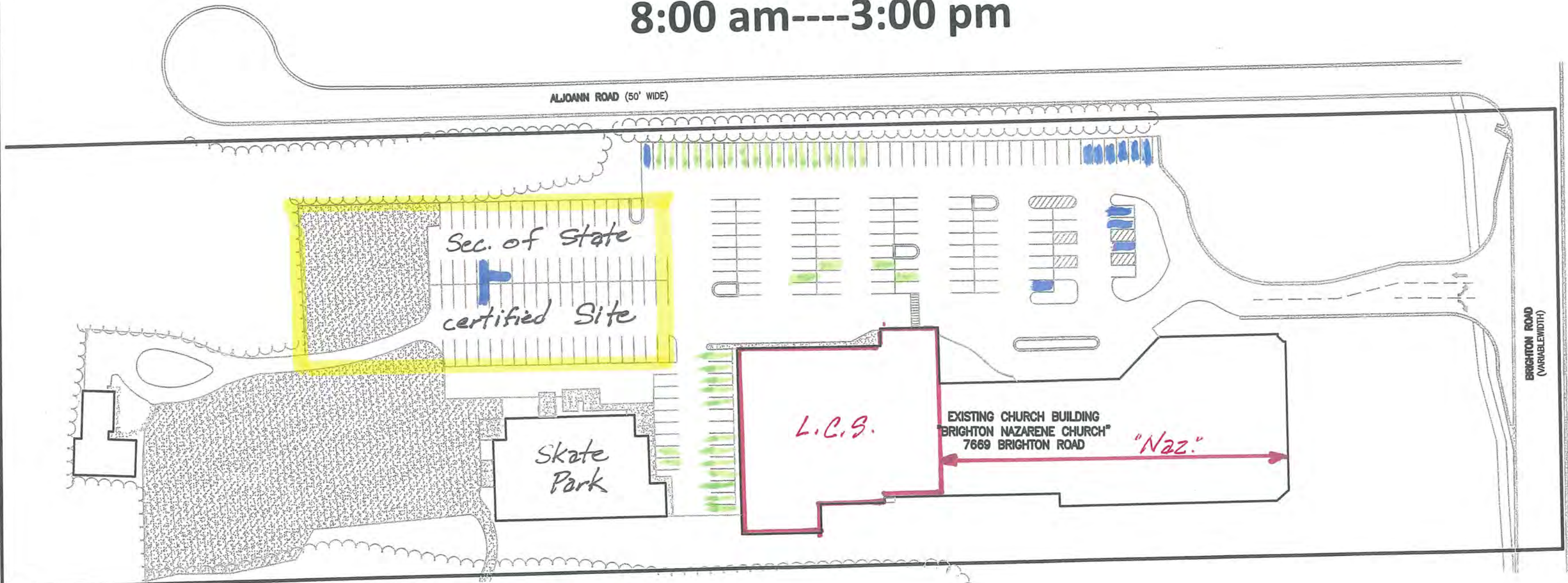
Naz Church Parking (varies from 40-200)

- Community Youth Basketball (40)
- Livingston Symphony Orchestra (100)
- Food Drop for Gleaners (100)
- Pregnancy Hotline Fund Raiser 1 time/year (140)
- Fall Fun Fest (200)
- Wild Game Dinner for LCS (100)
- Craft Show Fund Raiser for LCS (100)
- District Bible Quizzing (140)

MONDAY - thru - FRIDAY

Naz Church and LCS use

8:00 am----3:00 pm



Church Staff Parking (10)

School Staff Parking (18)

Student Parking (12)

Michigan Secretary of State Certified Test Facility

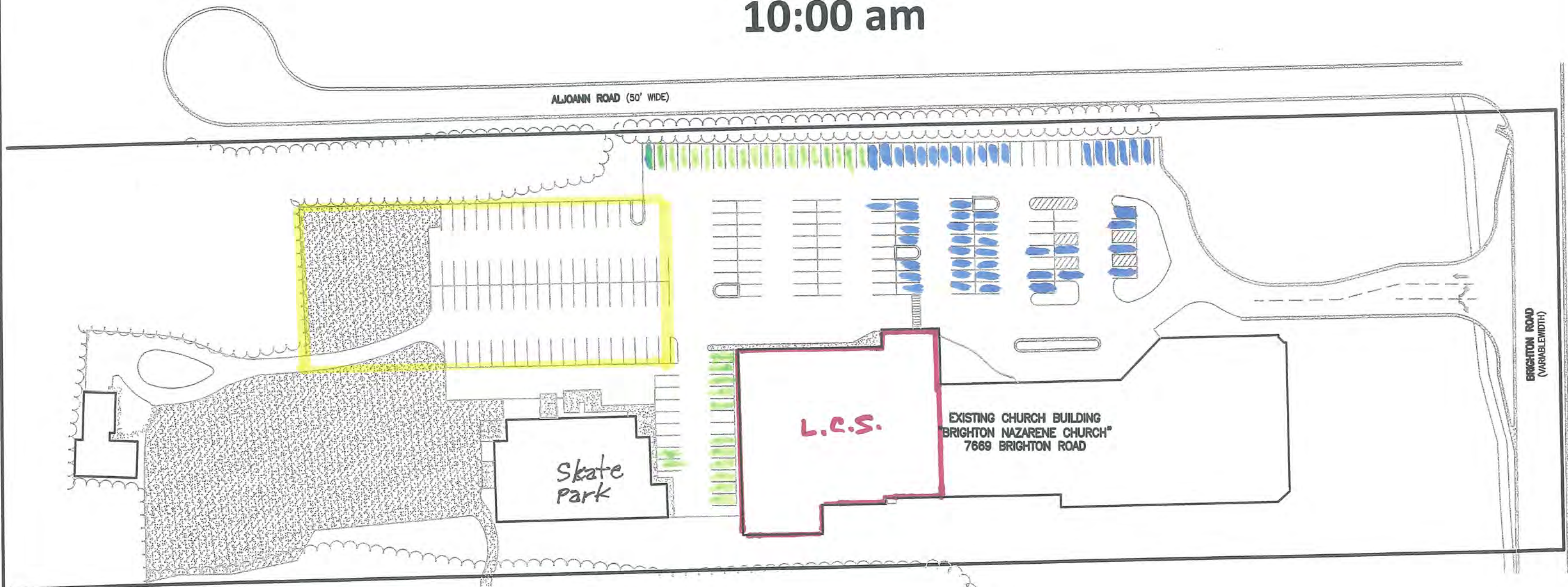
Driver Test--- avg. per week (16)

Commercial - avg. per week (3)

TUESDAY

Naz Church and LCS

10:00 am



Naz Staff Parking (10)

Naz Church Function (50)

- Tuesday Women's Bible Study
- Genoa Voting Precinct -2 times/year
- Other Days of week
 - Funeral, Wedding Shower, Music recitals -20 times/year

LCS Senior

Staff

LCS Student

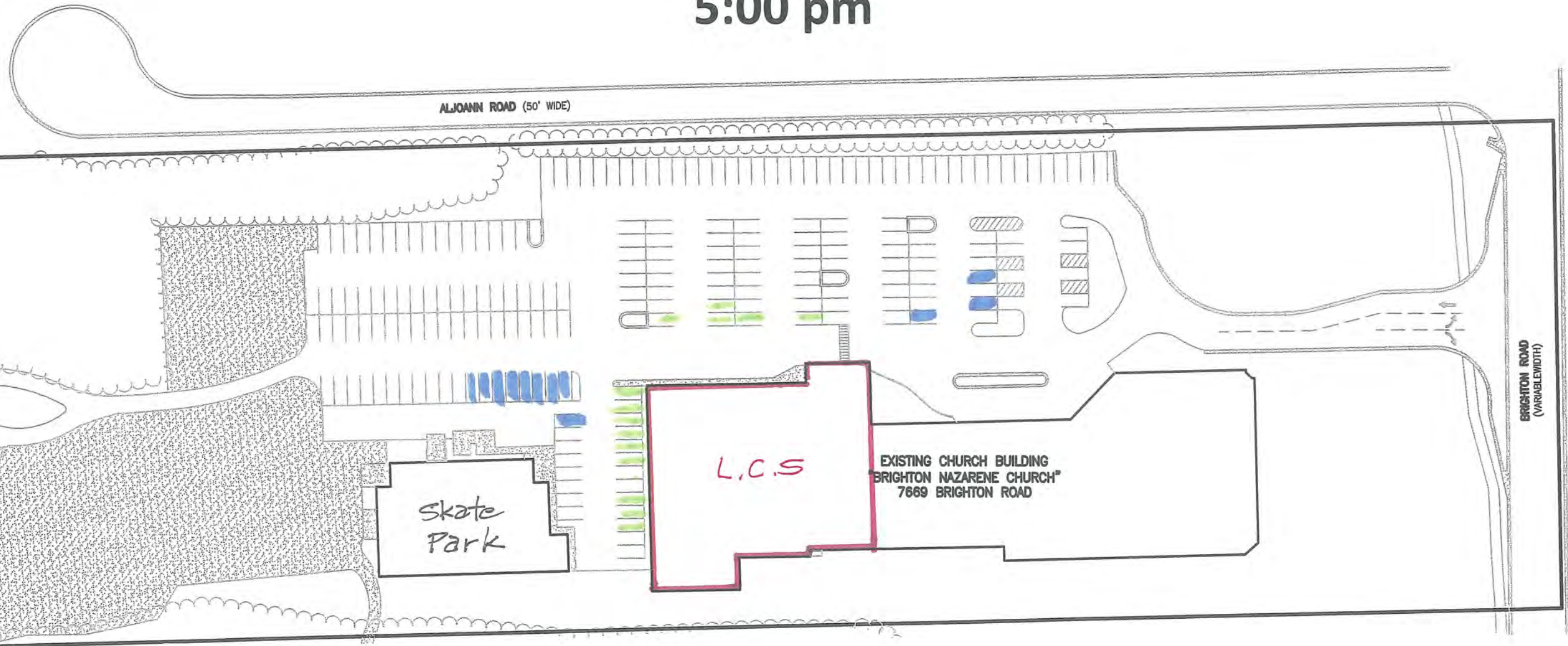
(10)

(10)

MONDAY - thru - FRIDAY

Naz Church and LCS use

5:00 pm



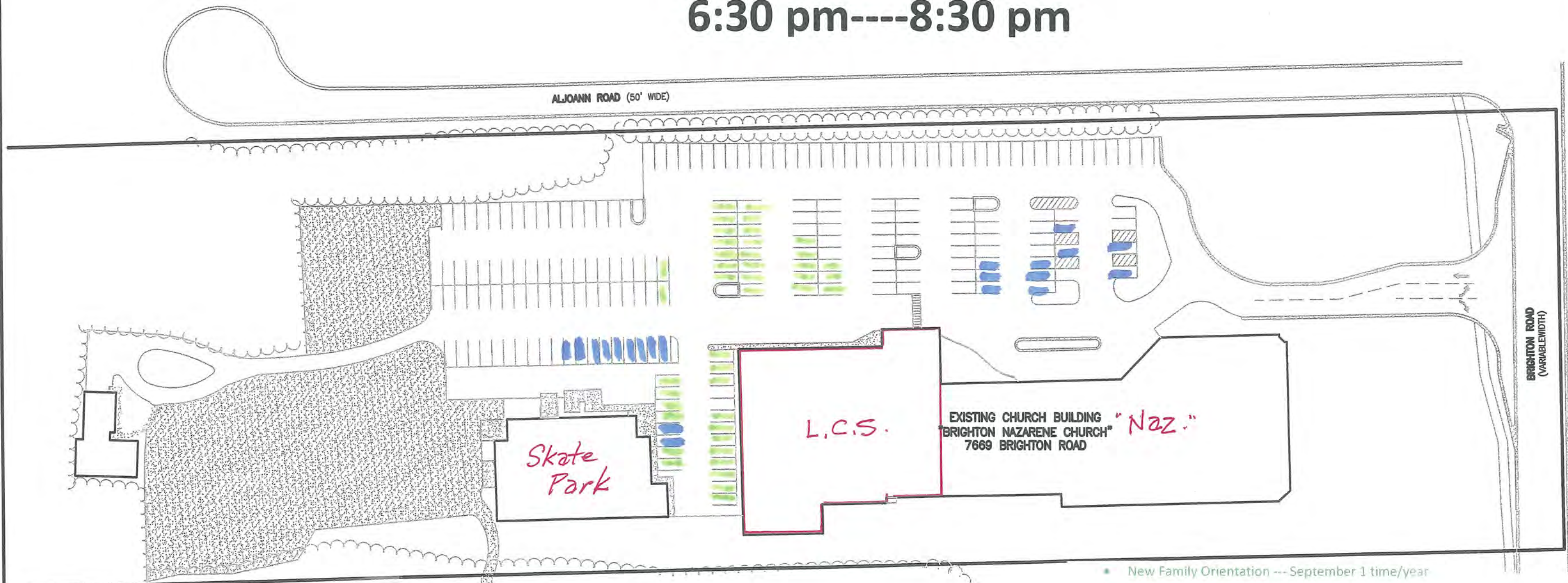
Church Parking (12)

LCS School Parking (14)

TUESDAY, THURSDAY, FRIDAY

Available for LCS use

6:30 pm----8:30 pm



Naz. Church Parking (20)

LCS School Parking (42)

Note: LCS will use the Facility for 25% of available time on Tues., Thurs., and Friday

- New Family Orientation --- September 1 time/year
- Parent Night- September 2 times/year
- Volleyball- 1 day/week- Sept.-October
- Basketball- 1 day/week- December- March
- Christmas Musical
- Easter Musical
- Band Concert- 2 times year
- Graduation- Sunday afternoon
- Kindergarten Celebration
- Other---2 times/year

AMENDMENT
TO
IMPACT ASSESSMENT
"BRIGHTON NAZARENE CHURCH FACILITY EXPANSION"
Dated: May 31, 2013
*(see Attachment A for copy)

Prepared for:

BRIGHTON NAZARENE CHURCH
7669 BRIGHTON ROAD
BRIGHTON, MICHIGAN 48116
(810) 227-6600

GENOA TOWNSHIP

JUN 23 2015

 Rec'd

Prepared by:

STEVEN R. MORGAN
4432 GLEN EAGLES COURT
BRIGHTON, MI 48116
(586) 942-9751

March 16, 2015
(revised June 15, 2015)

INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the Submittal Requirements For Impact Assessment guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

DISCUSSION ITEMS

- A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and brief statement of their qualifications.

Prepared By:

Brent W. LaVanway, P.E.,
BOSS ENGINEERING COMPANY
3121 E. Grand River
Howell, Michigan 48843
517-546-4836

The Amendment was Prepared By:
Steven R. Morgan, RLS Tenn.
4432 Glen Eagles Ct.
Brighton, Michigan 48116
586-942-9751

Prepared For:

Brighton Nazarene Church
Owner of Property
7669 Brighton Road
Brighton, MI 48116
(810) 227-6600

- B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

-No Change from 2013 Impact Assessment-

The site is located on the north side of Brighton Road immediately west of the Worden Lake Woods development and slightly west of the entrance to Brighton High School. The subject property is currently the Brighton Nazarene Church Facility. There is the existing church building, parking lot, detention basin and parsonage. The north end of the property is heavily wooded. There are established tree row buffers on the east and west property lines. The subject property and both adjacent properties are zoned Suburban Residential (SR). The Brighton Nazarene Church also owns the contiguous parcel to the north.

- C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

-No Change from 2013 Impact Assessment-

The total site area is 16.43 acres. The front (south) portion of the site is the existing Church facility, associated parking lot, detention basin and parsonage. The developed site slopes south toward Brighton Road and the remainder of the site slopes north toward Worden Lake. The undeveloped portion of the site is predominantly wooded with the north end of the parcel terminating at Worden Lake. The USDA Soil Conservation Service soil classification for the site is Boyer-Oshtemo Loamy Sand.

- D. **Impact on storm water management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.

-No Change from 2013 Impact Assessment-

Surface runoff during periods of construction will be controlled by proper methods set forth by the Livingston County Drain Commissioner, including silt fence, pea stone filters, and seed and mulch. A meeting was held with the Livingston County Drain Commissioner to address stormwater management. Their primary recommendation is to maintain the existing drainage patterns as closely as possible.

At the time of construction, there may be some temporary dust., noise, vibration and smoke, but these conditions will be of relatively short duration and shall be controlled by applying appropriate procedures to minimize the effects, such as watering if necessary for dust control.

The Site Plan documents show the proposed locations of all site improvements along with detailed soil erosion control information. The plans will be reviewed by the Livingston County Drain Commissioner's office for compliance with their regulations prior to issuance of a Soil Erosion Control permit.

- E. **Impact on surrounding land use:** Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

As previously stated the site is the current home of the Brighton Nazarene Church. This facility expansion project will provide a larger gymnasium and additional Sunday School classrooms. The classrooms are only for Sunday School and are not for a 5 day per week school. The existing gymnasium will be converted to additional Sunday School classrooms. All other uses at the Church will remain as they are now. The parking that is displaced with the building addition will be added toward the north end of the site and an underground detention system will be constructed under the new parking lot to address stormwater management.

-(Add to existing comments from 2013)-

-The site is and will remain the home of the Brighton Nazarene Church. The classrooms, as noted, will also be used Monday thru Friday, from September thru May, as School classrooms for Livingston Christian Schools. The School will add an increase of approximately 50 cars using the existing parking facilities on Monday thru Friday.

-There will be, on occasion, late afternoon or early evening activities, I.E., Parent/Teacher conferences, and athletic events within the facility.

-The existing playground on the western side of the existing facility will be used by the Christian School on Monday-Friday during the mid-day.

-The existing parking lot will be used, on occasion, by the Christian School, for daytime activities.

- F. **Impact on public facilities and services:** Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The primary use of the facility is for Sunday Church services however additional activities take place throughout the week. These activities vary from small group meetings to additional worship services. Typically these occur during off peak traffic hours thus do not significantly impact the traffic on Brighton Road. The site is serviced by public water and a septic system. The public water is provided by the City of Brighton. The septic system review is under the jurisdiction of the Livingston County Health Department.

There is not expected impact on Brighton Area Schools and very minimal impact on the police and fire departments.

-(Add to existing comments from 2013)-

The Livingston Christian School will increase the number of employees at the facility by approx. 25 people. The student population will increase the use of the facility by approx. 150-250 students.

- G. Impact on public facilities and services:** Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The development is currently served by both public water and septic system. With regards to storm water management, the project would be required to meet all local, county and state storm water and erosion control requirements. All of the required information is included in the Site Plan documents.

-(Add to existing comments from 2013)-

-The City of Brighton has been notified of the additional public water supply.

-The existing septic system is private and has no impact on public sewer facilities.

The private septic system has been designed and installed to the requirements of the Livingston County Health Department and will accommodate the additional usage. The Livingston County Health is currently reviewing an addition to the existing storage capacity of effluent and an additional disposal field to provide additional capacity for school growth. These additions will be installed after required permitting by the Livingston County Health Department.

- H. Storage or handling of any hazardous materials:** Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and Pollution Incident Prevention Plan (PIPP) shall be submitted, and appropriate.

-No Change from 2013 Impact Assessment-

There will be no hazardous materials used or disposed of on this site.

- I. Impact on traffic and pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

-No Change from 2013 Impact Assessment-

The Church expansion project will generate a negligible number of trips during the AM and PM peak hours Monday through Friday. Most of the traffic will be generated on Sunday mornings for worship services. Some traffic will occur during the week for various activities that take place. Little of this traffic will occur during peak traffic hours.

- J. Impact on traffic and pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

The facility is primarily used on Sunday mornings therefore a detailed traffic impact study is not necessary.

-(Add to existing comments from 2013)-

-The existing Brighton High School, to the east, starts at 7:35 am and ends at 2:35 pm. The existing Maltby School, to the west, starts at 8:30 am and ends at 3:31 pm.

-The Livingston Christian School will start/end at a median time between Brighton High School and Maltby Middle School times.

-The Christian School is expected to generate 75 ingress/egress trips from the west and 50 ingress/egress trips from the east prior/after these start times. (Survey of current school staff and students) Little of this traffic will occur during "peak" traffic hours.

-The Livingston County Road Commission (LCRC) reviewed the potential traffic impact of these start/end times at the Nazarene Church facility, in a meeting on 3/17/2015, and have determined that the traffic at the Brighton Road and the Church driveway intersection is defined as "Minor Impact". (per LCRC data, see Attachment B)

-Livingston Christian School will not operate during the "peak hour" morning nor afternoon.

-A traffic count and traffic model of the Nazarene Church entrance was made by the LCRC in 2010. (see Attachment C)

- K. Special Provisions: General description of any deed restrictions, protective covenants, master deed pr association bylaws.

-No Change from 2013 Impact Assessment-

The Church requires a Special Use Permit to operate in a residentially zoned district.

- L. A list of all sources shall be provided.

-No Change from 2013 Impact Assessment-

Genoa Township's Submittal Requirements For Impact Assessment

Genoa Township Zoning Ordnances

Soil Survey of Livingston County, Michigan USDA Soil Conservation Service

National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

TRAFFIC IMPACT STUDY
FOR
LIVINGSTON CHRISTIAN SCHOOL

MAY 1, 2015
REVISED MAY 20, 2015
REVISED JUNE 23, 2015

PREPARED FOR:

LIVINGSTON CHRISTIAN SCHOOL/BRIGHTON NAZARENE CHURCH
7669 BRIGHTON RD
BRIGHTON, MI

PREPARED BY:

BRENT LAVANWAY, P.E.
BOSS ENGINEERING
3121 EAST GRAND RIVER
HOWELL, MI

BACKGROUND

The Livingston Christian School (LCS) intends to move to the Brighton Nazarene Church for the fall semester 2015. The LCS has been located in Pinckney, Michigan for a number of years and currently has 134 students and 18 staff. It is expected for the 2015/2016 school year that approximately the same number of students and staff will be housed in the new location. This information provided by LCS is included in Appendix A.

Potential growth of the school in its new location could bring the student population to 250 students and 32 staff. The horizon year for the purpose of this study is three years (2018-2019 school year).

The Brighton Nazarene Church is located on Brighton Road in Genoa Township. The Church is on the north side of Brighton Road. The driveway is approximately 300 feet west of the intersection of the Brighton High School driveway which is a signalized three way intersection. Aljoann Drive is a public road located on the north side of Brighton Road between the Brighton High School driveway and the Church driveway. The nearest signalized intersection to the west is the Brighton Road/Bauer Road intersection which is approximately ½ mile west of the Church.

The purpose of this study is to evaluate potential traffic impacts associated with the LCS occupying a portion of the Brighton Nazarene Church. The focus of the study is the anticipated impact of the School on the public road network in immediate proximity to the LCS. Additionally a discussion regarding internal circulation during dropoff and pick up times is included. A supplemental memorandum prepared by Fleis and Vandenbrink, Traffic Consultants, is also included in Appendix C.

EXISTING CONDITIONS

Brighton Road is a three lane road in proximity to the proposed LCS. It consists of eastbound, westbound and center turn lanes through the LCS drive and extending east and west from the drive. The Church driveway consists of one inbound lane and two exiting lanes designated as right and left turn lanes. There is a deceleration lane for the Church driveway on Brighton Road.

The most current available traffic counts from SEMCOG for Brighton Road were taken on May 19 and 20 of 2014. The counts were initiated at 11:00 a.m. on May 19, 2014 and were completed at 11:00 a.m. on May 20, 2014. The results indicate a 24 hour traffic volume of 16,881 vehicles. The a.m. peak hour occurred between 7:00 a.m. and 8:00 a.m. with 1432 vehicles being recorded and the p.m. peak occurred between 5:00 p.m. and 6:00 p.m. with 1484 vehicles being recorded. For additional accuracy of the peak

hours of traffic, Boss Engineering performed traffic counts on May 13, 2015 between the hours of 7:00-8:30 a.m. and 2:00-4:00 p.m. The results are included in Appendix B.

The Brighton Road traffic counts in this location are heavily influenced by Brighton High School and Maltby Middle School traffic, in particular the a.m. peak traffic counts. Brighton High School classes begin at 7:25 a.m. and end at 2:25 p.m. Maltby Middle School classes begin at 8:30 a.m. and end at 3:30 p.m. According to Mike Goryl at the Livingston County Road Commission the schools typically experience a 20 minute "peak".

According to the Highway Capacity Manual (HCM) the Level of Service for a roadway is categorized on a scale from A to F. Descriptions and definitions of the Level of Service are discussed in the Fleis and Vandenbrink memorandum.

PROPOSED CONDITIONS

As previously indicated Livingston Christian School intends to occupy a portion of the Brighton Nazarene Church. The School will be in operation Monday through Friday from September to June. The School is anticipating an initial occupancy of approximately 140 students and 18 staff which is the same as their current school located in Pinckney, Michigan. This study also projects a student population of 250 and a staff count of 32 in the horizon year of 2018-2019.

The recommended start time to avoid overlapping peaks with the Brighton High School and Maltby Middle School is 8:00 a.m. The recommended school completion time is 3:00 p.m. to avoid the overlapping peaks. These times aim to split the difference in start and finish times between the High School and Middle School.

According to an LCS survey approximately 2/3 of the student and staff traffic will be arriving from the west and 1/3 from the east on Brighton Road. Similarly it is anticipated that 2/3 of the student and staff traffic will exit to the west and 1/3 to the east. (25% of total traffic will exit to a destination south and east of the school.)

The detailed information indicated above was provided to the Livingston County Road Commission. Based on delays calculated in the LCRC Synchro computer model and confirmed in the Fleis and Vandenbrink memorandum the Level of Service on Brighton Road is at Level of Service A. The LCRC Synchro model also analyzed the Brighton High School intersection and found it to be operating at an acceptable level. The High School traffic has already cleared at the time of the LCS traffic being generated. As noted in the Fleis and Vandenbrink memorandum the school parking lot left turns operate at Level of Service F with the overall egress driveway approach operating at Level of Service E in both the a.m. and p.m. peaks.

The nearest intersection west is at Bauer Road and is approximately ½ mile from the Church entrance. The Bauer Road signal is far enough from the Church that no impact is anticipated. The Livingston County Road Commission has jurisdiction over the two signals and has the ability to modify signal timing should the need arise although this is not anticipated.

CONCLUSIONS AND RECOMMENDATIONS

- The Livingston Christian School will have minimal impact on Brighton Road in the a.m. and p.m. peak traffic hours for the school. The Brighton Road Level of Service will remain at A.
- The Livingston Christian School will have no impact on the traffic signals located at Brighton High School based on the Livingston County Road Commission Synchro model and Bauer Road based on the distance from the Livingston Christian School to the intersection..
- There will be a significant impact on the Monday through Friday use of the Church parking lot during the September to June time period when the school is in session.
- Information shall be provided to students, parents and staff during orientation that recommends right turns out of the parking lot after drop off and pick up to limit delays within the parking lot. The Traffic Control Director will direct left turn drivers into the left turn lane of the driveway at their discretion. The Traffic Director Roles and Responsibilities are defined in Appendix D. The traffic pick up and drop off Parent and Student Orientation Material is presented in Appendix E.
- Due to potentially long delays within the parking lot and at the driveway exit to Brighton Road school staff must be posted at critical locations to monitor the delays and to direct left turns out of the parking lot.

APPENDIX A



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LCS Students Per Family

2014-15 School Year

1 Child	2 Children	3 Children	4 Children	5 Children	6 Children
42	24	10	2	0	1

2015-16 School Year (estimate based on enrollment as of 5/7/15)

1 Child	2 Children	3 Children	4 Children	5 Children	6 Children
47	23	9	3	0	1

LCS Drop-Off/Pick-Up Traffic

2014-15 School Year (count done in May 2015)

Parent/Carpool (some remain during day)	60-71
Student Drivers (remain during day)	12
Staff (remain during day)	18
Totals	90-101

APPENDIX B

Traffic Counts Taken Wednesday, May 13, 2015
Brighton Road/High School

	<u>Westbound</u>	<u>Eastbound</u>	<u>Brighton Rd Right Turn</u>	<u>Brighton Rd Left Turn</u>
7:00-7:15	26	159	112	175
7:15-7:30	49	117	75	47
7:30-7:45	52	109	2	2
7:45-8:00	68	142	0	2
8:00-8:15	91	143	3	6
8:15-8:30	64	219	7	7

	<u>High School Right Turn</u>	<u>High School Left Turn</u>
7:00-7:15	9	8
7:15-7:30	2	16
7:30-7:45	2	0
7:45-8:00	0	1
8:00-8:15	0	0
8:15-8:30	2	3

Traffic Counts Taken Wednesday, May 13, 2015
Brighton Road/High School

	<u>Westbound</u>	<u>Eastbound</u>	<u>Brighton Rd Right Turn</u>	<u>Brighton Rd Left Turn</u>
2:00-2:15	93	78	5	5
2:15-2:30	65	84	6	84
2:30-2:45	167	73	11	13
2:45-3:00	127	85	8	7
3:00-3:15	138	100	10	10
3:15-3:30	162	86	4	6
3:30-3:45	152	124	3	6
3:45-4:00	183	137	6	7
			<u>High School Right Turn</u>	<u>High School Left Turn</u>
2:00-2:15			3	5
2:15-2:30			20	3
2:30-2:45			168	124
2:45-3:00			19	15
3:00-3:15			8	12
3:15-3:30			9	6
3:30-3:45			10	4
3:45-4:00			3	1

Traffic Counts Taken Wednesday, May 13, 2015
Brighton Road/Nazarene Church

	<u>Westbound</u>	<u>Eastbound</u>	<u>Right Turn</u>	<u>Left Turn</u>
7:00-7:15	45	333	1	
7:15-7:30	62	193		
7:30-7:45	67	110	1	2
7:45-8:00	73	137	3	
8:00-8:15	101	151	1	
8:15-8:30	67	247	1	1

Traffic Counts Taken Wednesday, May 13, 2015
Brighton Road/Nazarene Church

	<u>Westbound</u>	<u>Eastbound</u>	<u>Right Turn</u>	<u>Left Turn</u>
2:00-2:15	55	68	3	1
2:15-2:30	92	85	4	5
2:30-2:45	238	75	3	2
2:45-3:00	130	104	3	3
3:00-3:15	124	104	2	2
3:15-3:30	153	79	0	0
3:30-3:45	167	148	0	1
3:45-4:00	150	116	0	1

APPENDIX C

MEMO

DRAFT VIA EMAIL

To: Mr. Steve Morgan

From: Michael J. Labadie, PE
Steven J. Russo, E.I.T.
Fleis & VandenBrink

CC: Mr. Brent LaVanway, PE
Boss Engineering

Date: June 23, 2015

Re: Livingston Christian School
Genoa Township, Michigan
School Operations Evaluation

Introduction

This memorandum presents a summary of findings related to on-site parking and student pick-up / drop-off operations at the proposed Livingston Christian School. The School is planning to relocate from its existing location in Pinckney to the existing Brighton Nazarene Church located on the north side of Brighton Road approximately 300 feet west of the signalized Brighton High School Drive in Genoa Township, Michigan. Site access is provided via one driveway to Brighton Road. The school currently has an enrollment of 134 students with potential growth to 250 students.

In order to accommodate school traffic volumes on-site, proper vehicle facilities must be provided for parking and pick-up / drop-off activities. Without proper on-site facilities, off-site traffic operations may be interrupted. The purpose of this study is to determine the necessary design of on-site facilities to accommodate school traffic volumes and pick-up / drop-off activities. The scope of the study was developed based on F&V's knowledge of the study area, understanding of the school operations, and accepted traffic engineering practice.

Pick-Up / Drop-Off Area

Data collected for previous school studies in the Detroit Metro area indicate that 80% of AM peak hour traffic typically arrives in a peak 20 minute period and 70% of PM peak hour traffic typically arrives in a peak 30 minute period. Therefore, for the purposes of this study, it is assumed that the peak 80% of AM traffic will arrive in a 20 minute period and the peak 70% of PM traffic will arrive in a 30 minute period.

Based on data provided by the Livingston Christian School, the school currently experiences 71 pick-ups in the morning and drop-offs in the afternoon with an enrollment of 134 students. In order to determine the future number of pick-ups / drop-offs the existing ratio of pick-ups / drop-offs to students was extrapolated to a future enrollment of 250 students. The results of this examination indicate that the school will experience 127 future parent pick-ups / drop-offs.

In order to further validate the number of pick-ups / drop-offs, a trip generation forecast was completed for the proposed school based on the rates and equations published by the Institute of Transportation Engineers (ITE) in *Trip Generation, 9th Edition*. The ITE trip generation forecast shown in Table 1 predicts that a school

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with an enrollment of 250 students would experience 79 pick-ups / drop-offs. Therefore, the use of 127 pick-ups / drop-offs based on existing school data was determined to be appropriate for use in this study.

Table 1
Site Trip Generation

Land Use	ITE Code	Amount	Units	Average Daily Traffic	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
Private School (K-12)	536	250	Students		124	79	203	79	108	187
Livingston Christian School		250	Students		180	127	307	127	180	307
DIFFERENCE					56	48	104	48	72	120

Based on 127 pick-ups / drop-offs, and an average drop-off rate of 45 seconds per vehicle, at least 75 feet of sidewalk loading space should be provided. Based on an average pick-up rate of 5.5 minutes per vehicle, at least 325 feet of sidewalk loading space should be provided. Therefore, in order to accommodate both pick-up and drop-off activities, at least 325 feet of sidewalk loading space should be provided.

The pick-up / drop-off loading area should be designed with one-way counterclockwise circulation with a width of 24 feet. This design will provide for student loading and unloading on the passenger side of the vehicle and allow for vehicle passing on the left in the loading zone with minimal vehicle-pedestrian conflicts. Additionally, the pick-up / drop-off zone should be physically separated from the adjacent parking lot to prevent vehicles from entering or exiting the loading zone early.

Driveway Operations

Future peak hour vehicle delays and Levels of Service (LOS) were also calculated for the site driveway to Brighton Road using Synchro (Version 9) traffic analysis software for a future enrollment of 250 students. The results of the analysis were based on the methodologies presented in the Highway Capacity Manual 2010 (HCM). Descriptions of LOS "A" through "F" as defined in the HCM are attached for unsignalized intersections. Typically, LOS D is considered acceptable, with LOS A representing minimal delay, and LOS F indicating failing conditions.

The Livingston Christian School site-generated trips shown in Table 1 were assigned to the site driveway based on data provided by Livingston Christian School which indicates that approximately 67% and 33% of site traffic will arrive and depart to the west and east, respectively. The results of the future conditions driveway analysis are attached and are summarized in Table 2.

Table 2
Future Intersection Operations - 250 Students

Intersection	Control	Approach	AM Peak		PM Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS
1. Brighton Road & Site Drive	STOP (Minor)	EB LT	9.4	A	9.6	A
		WB	Free	Free		
		SB	39.0	E	35.5	E

The results of the future conditions analysis indicate that the egress site driveway approach would operate at a LOS E with the egress left turn movement operating at a LOS F during both peak periods. Based on field observations there is only stacking space for 4 left turning vehicles on the driveway approach. Left turn queues longer than 4 vehicles will restrict egress right turning vehicles from exiting the site and could cause

the driveway queue to spill back into the pick-up / drop-off zone. Therefore, a flagger should be located at the site driveway to direct vehicles to turn right when left turn storage is not available to ensure traffic flow within the pick-up / drop-off zone is not restricted.

Recommendations

Based on these findings, F&V recommends the following modifications to the existing site configuration:

1. Create a one-way counter-clockwise circulation with 325 feet of sidewalk loading space for student drop-off / pick-up activities.
2. Physically, separate the loading zone from the adjacent parking lot.
3. Add signage and pavement markings to indicate "Student Loading Zone".

Additionally, the following should be completed to encourage improved use of the student loading facilities:

1. Allocate staff to direct vehicles into the loading zones and restrict students from crossing into the parking lot.
2. Students should enter their parent's vehicles on the passenger side. If a parent wishes to park in a parking space and escort their child to their car that is acceptable.
3. Host an informational meeting and distribute a pamphlet to parents and staff outlining the curb loading zones, circulation pattern, and proposed traffic operations.
4. Instruct parents that all students must be accompanied by an adult between the parking lot and the school building. Similarly, instruct staff that no student should enter the parking lot without an accompanying adult.

Any questions related to this memorandum, study, analyses, and results should be addressed to Fleis & VandenBrink.

Attachments: Synchro Results

SJR:mjl

Level of Service Criteria for Stop Sign Controlled Intersections

The level of service criteria are given in Table 17-2. As used here, control delay is defined as the total elapsed time from the time a vehicle stops at the end of the queue until the vehicle departs from the stop line; this time includes the time required for the vehicle to travel from the last-in-queue position to the first-in-queue position, including deceleration of vehicles from free-flow speed to the speed of vehicles in queue.

The average total delay for any particular minor movement is a function of the service rate or capacity of the approach and the degree of saturation. . . .

Exhibit 17-2. Level of Service Criteria for TWSC Intersections

LEVEL OF SERVICE	AVERAGE CONTROL DELAY (sec/veh)
A	≤ 10
B	> 10 and ≤ 15
C	> 15 and ≤ 25
D	> 25 and ≤ 35
E	> 35 and ≤ 50
F	> 50

Average total delay less than 10 sec/veh is defined as Level of Service (LOS) A. Follow-up times of less than 5 sec have been measured when there is no conflicting traffic for a minor street movement, so control delays of less than 10 sec/veh are appropriate for low flow conditions. To remain consistent with the AWSC intersection analysis procedure described later in this chapter, a total delay of 50 sec/veh is assumed as the break point between LOS E and F.

The proposed level of service criteria for TWSC intersections are somewhat different from the criteria used in Chapter 16 for signalized intersections. The primary reason for this difference is that drivers expect different levels of performance from different kinds of transportation facilities. The expectation is that a signalized intersection is designed to carry higher traffic volumes than an unsignalized intersection. Additionally, several driver behavior considerations combine to make delays at signalized intersections less onerous than at unsignalized intersections. For example, drivers at signalized intersections are able to relax during the red interval, where drivers on the minor approaches to unsignalized intersections must remain attentive to the task of identifying acceptable gaps and vehicle conflicts. Also, there is often much more variability in the amount of delay experienced by individual drivers at unsignalized than signalized intersections. For these reasons, it is considered that the total delay threshold for any given level of service is less for an unsignalized intersection than for a signalized intersection. . . .

LOS F exists when there are insufficient gaps of suitable size to allow a side street demand to cross safely through a major street traffic stream. This level of service is generally evident from extremely long total delays experienced by side street traffic and by queueing on the minor approaches. The method, however, is based on a constant critical gap size - that is, the critical gap remains constant, no matter how long the side street motorist waits. LOS F may also appear in the form of side street vehicles' selecting smaller-than-usual gaps. In such cases, safety may be a problem and some disruption to the major traffic stream may result. It is important to note that LOS F may not always result in long queues but may result in adjustments to normal gap acceptance behavior. The latter is more difficult to observe on the field than queueing, which is more obvious.

Source: Highway Capacity Manual, 2000. Transportation Research Board, National Research Council

Intersection	
Int Delay, s/veh	9.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Traffic Vol, veh/h	121	575	350	59	42	85
Future Vol, veh/h	121	575	350	59	42	85
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	25	60	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	35	92	86	35	35	35
Heavy Vehicles, %	0	0	2	2	0	0
Mvmt Flow	346	625	407	169	120	243

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	407	0	407
Stage 1	-	-	407
Stage 2	-	-	1316
Critical Hdwy	4.1	-	6.4
Critical Hdwy Stg 1	-	-	5.4
Critical Hdwy Stg 2	-	-	5.4
Follow-up Hdwy	2.2	-	3.5
Pot Cap-1 Maneuver	1163	-	~ 99
Stage 1	-	-	676
Stage 2	-	-	253
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1163	-	~ 70
Mov Cap-2 Maneuver	-	-	148
Stage 1	-	-	676
Stage 2	-	-	178

Approach	EB	WB	SB
HCM Control Delay, s	3.3	0	39
HCM LOS			E

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	1163	-	-	-	148	648
HCM Lane V/C Ratio	0.297	-	-	-	0.811	0.375
HCM Control Delay (s)	9.4	-	-	-	90.1	13.8
HCM Lane LOS	A	-	-	-	F	B
HCM 95th %tile Q(veh)	1.3	-	-	-	5.2	1.7

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection	
Int Delay, s/veh	10.9

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Traffic Vol, veh/h	85	416	508	42	59	121
Future Vol, veh/h	85	416	508	42	59	121
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	25	60	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	35	92	92	35	35	35
Heavy Vehicles, %	0	0	2	2	0	0
Mvmt Flow	243	452	552	120	169	346

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	552	0	552
Stage 1	-	-	552
Stage 2	-	-	938
Critical Hdwy	4.1	-	6.2
Critical Hdwy Stg 1	-	-	5.4
Critical Hdwy Stg 2	-	-	5.4
Follow-up Hdwy	2.2	-	3.3
Pot Cap-1 Maneuver	1028	-	537
Stage 1	-	-	581
Stage 2	-	-	384
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1028	-	537
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	581
Stage 2	-	-	293

Approach	EB	WB	SB
HCM Control Delay, s	3.3	0	35.5
HCM LOS			E

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	1028	-	-	-	219	537
HCM Lane V/C Ratio	0.236	-	-	-	0.77	0.644
HCM Control Delay (s)	9.6	-	-	-	61.2	23
HCM Lane LOS	A	-	-	-	F	C
HCM 95th %tile Q(veh)	0.9	-	-	-	5.4	4.6

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

APPENDIX D

Roles and Responsibilities of Traffic Directors

Traffic Director 1

- Shall arrive a minimum of 30 minutes prior to a.m. School start time and 30 minutes prior to p.m. dismissal time.
- Shall place all orange traffic control cones at designated locations indicated on the Boss Engineering Traffic Control Plan.
- Shall place the sandwich board signs at the beginning and ending of the "Student Loading Zone"
- Shall be at designated post location at least 20 minutes prior to a.m. drop off and p.m. pick up times.
- Responsible for release of students to queuing vehicles in designated pick up zone at p.m. dismissal.
- Responsible for controlling crosswalk pedestrian traffic to/from main entrance to parent parking lot. **No Students shall cross the crosswalk without being accompanied by a parent. The Director will assure safe passage by halting all vehicle traffic during crosswalk use by pedestrians.**
- Shall pick up and store all cones at the conclusion of school pick up so the parking lot is available for full use by the Church.

Traffic Director 2

- Shall arrive a minimum of 30 minutes prior to a.m. School start time and 30 minutes prior to p.m. dismissal time.
- Shall be at designated post location at least 20 minutes prior to a.m. drop off and p.m. pick up times.
- Responsible for assuring queuing doesn't extend into the "driveway" area by directing vehicles to an alternative area if this is going to occur.
- Responsible for directing vehicles into the left turn lane if this doesn't create back up into the Student Loading Zone. If a backup occurs the Director must require vehicles to turn right onto Brighton Road.

cc: g:\13-100\docs\appendixd.doc

APPENDIX E

Student/Parent Orientation –Traffic Control & Pedestrian Safety

For the safety of all students, parents, staff and visitors of the Livingston Christian School strict adherence to the following guidelines is required. Please remember: "Safety First"

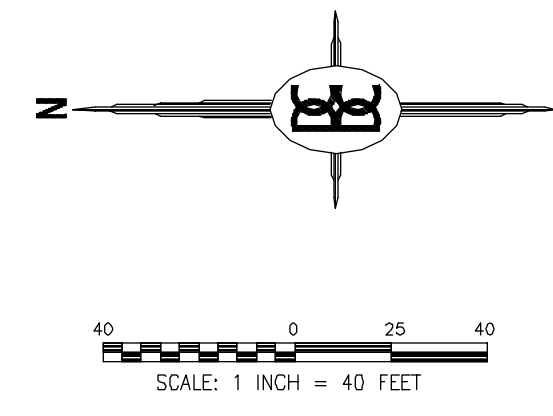
A.M. Drop Off

- All students shall remain in vehicles until the vehicle has safely stopped in the "Student Loading Zone" as indicated by beginning and ending sandwich boards and as represented on the Boss Engineering Traffic Control Plan.
- All students shall exit the vehicles on the passenger side only. No exceptions.
- If parents choose to park to drop off their children they must escort them into the School using the designated crosswalk location and only crossing the crosswalk when instructed to do so by the Traffic Director posted at the main entrance to the School.
- When leaving the parking lot it is preferred that parents turn right onto Brighton Road. If desiring to turn left onto Brighton Road the parents will only be allowed to do so if permitted to enter the Left Turn queuing lane by the Traffic Director posted at the exit.
- If the queuing line becomes excessively long or they are instructed by the Traffic Director the parents shall park and escort their children into the School using the route designated above.

P.M. Pick Up

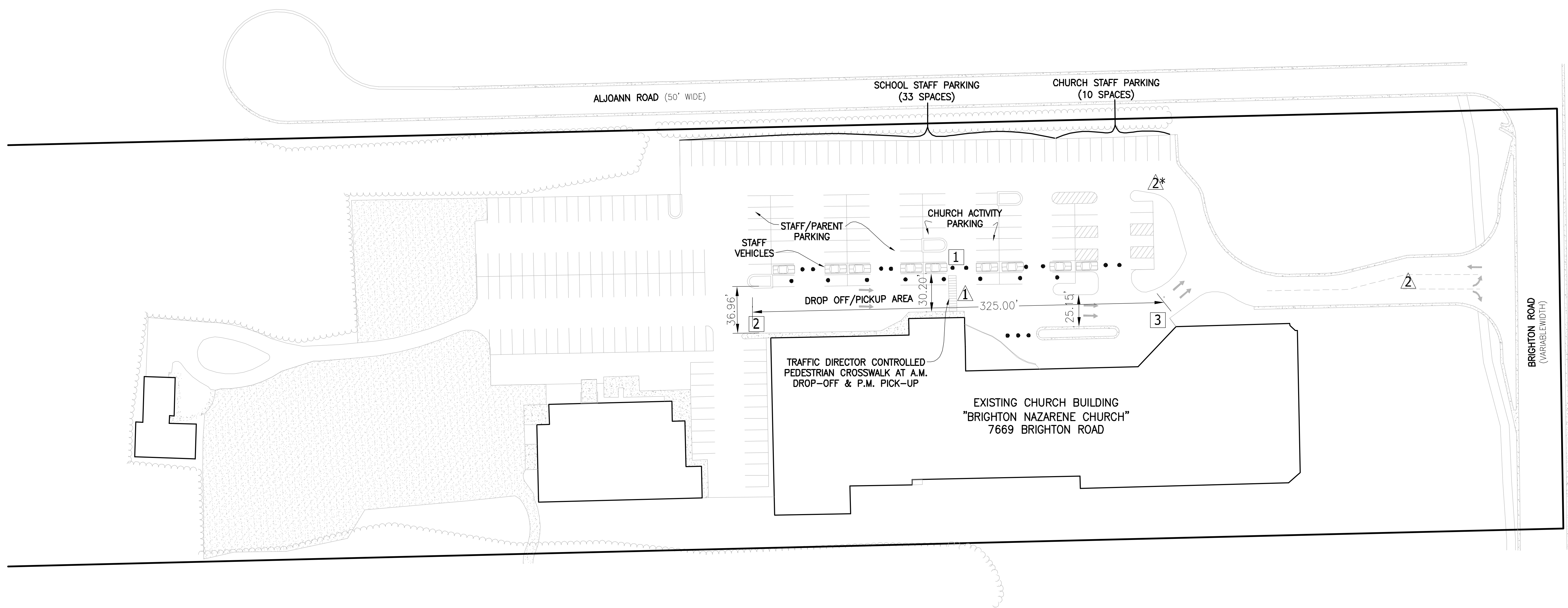
- All students shall be dismissed to their parents' vehicles in the "Student Loading Zone" by the Traffic Director posted at the main entrance to the School.
- All students shall enter the vehicles on the passenger side only. No exceptions.
- If parents choose to park they must enter the school and escort their children back to their vehicle using the pedestrian route indicated above.
- When leaving the parking lot it is preferred that parents turn right onto Brighton Road. If desiring to turn left onto Brighton Road the parents will only be allowed to do so if permitted to enter the Left Turn queuing lane by the Traffic Director posted at the exit.
- If the queuing line becomes excessively long or they are instructed by the Traffic Director the parents shall park and pick up their children in the School and escort them back to the vehicle using the route designated above.

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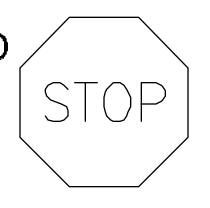


THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE NOT TO BE CONSIDERED AS GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

BEFORE YOU DIG
CALL 811
1-800-485-7171
FOR THE STATE OF MICHIGAN



- SIGN KEY:**
- STOP UNTIL DIRECTED TO CROSS
 - BEGIN STUDENT LOADING ZONE
 - END STUDENT LOADING ZONE



- = ORANGE CONE LOCATION
- = SANDWICH BOARD SIGN LOCATION
- △ = TRAFFIC DIRECTOR LOCATION

- NOTES:**
- ALL ORANGE CONES TO BE PLACED 10' ON CENTER
 - THERE WILL BE A MINIMUM OF 2 TRAFFIC CONTROL DIRECTORS FOR A.M. DROPOFF AND 2 TRAFFIC CONTROL DIRECTORS FOR P.M. PICKUP
 - CONES IN THE PARKING SPACES SHALL REMAIN DURING THE SCHOOL DAY. CONES IN DRIVE AISLES SHALL BE REMOVED BETWEEN DROP OFF AND PICK UP TIMES.

* MONITOR LOCATION FROM 20 MINUTES PRIOR TO P.M. DISMISSAL TO P.M. DISMISSAL

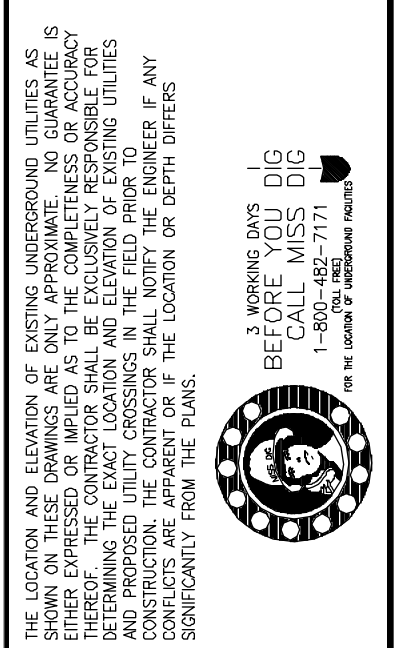
PROJECT: **B.N.C./L.C.S. FACILITY EXPANSION**
 PREPARED FOR: **BRIGHTON NAZARENE CHURCH**
 7669 BRIGHTON ROAD
 BRIGHTON, MI 48116
 810-227-6600
 TITLE: **TRAFFIC CONTROL PLAN**

NO.	BY	REVISION PER	DATE
2	ST	PER TMP REVIEW	5-20-15
1	TD	SCHOOL	5-1-15
1	TD	REVISION PER	

DESIGNED BY: ST
 DRAWN BY: AEB
 CHECKED BY:
 SCALE: 1" = 40'
 JOB NO. 13-100
 DATE 5-31-13
 SHEET NO. **1**

BOSS ENGINEERING
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS

3171 E. GRAND RIVER AVE.
 BRIGHTON, MI 48116
 (800) 246-6735 FAX (517) 548-1670
 (E-MAIL: bosseng.com)

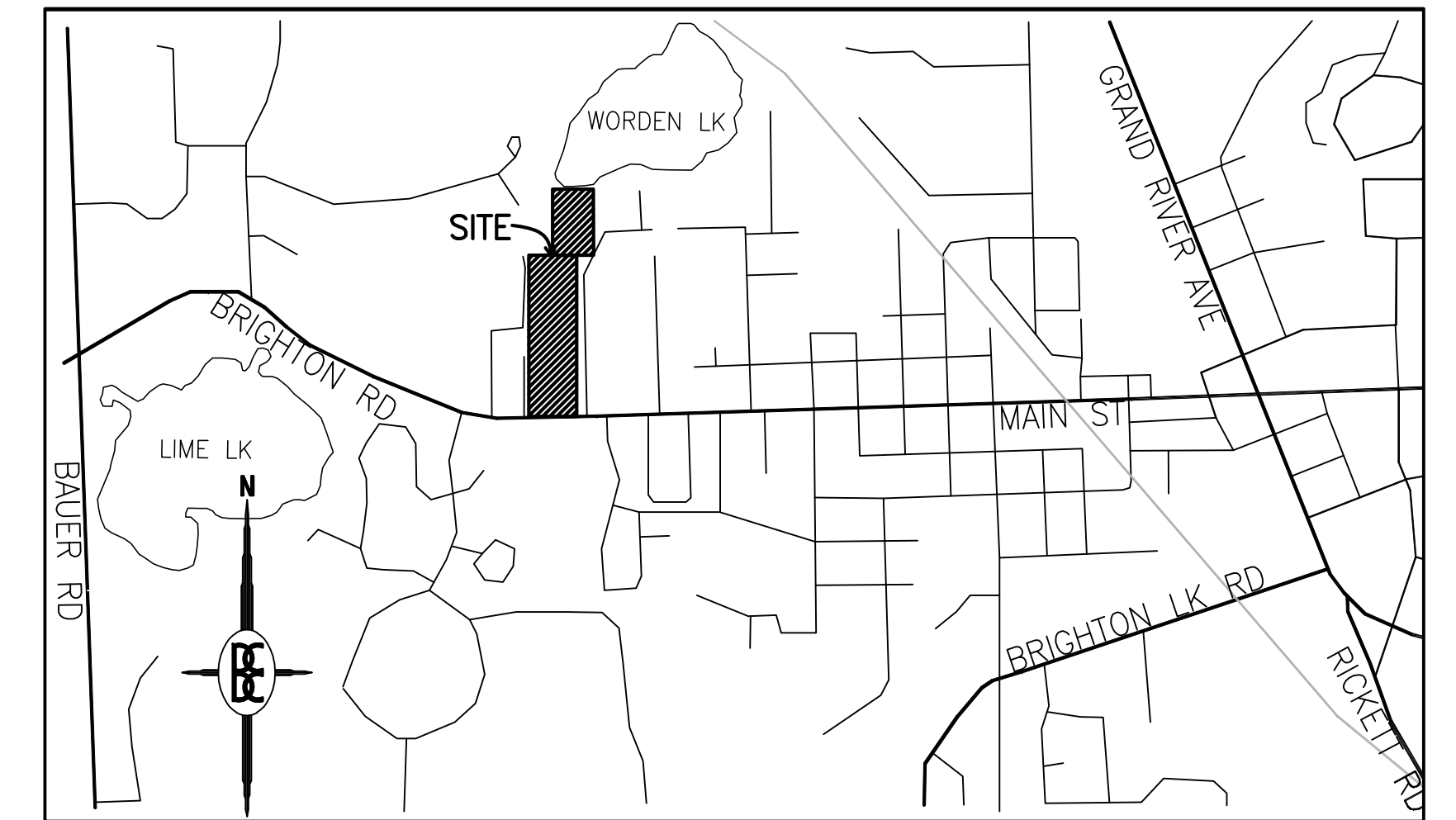


SITE PLAN FOR BRIGHTON NAZARENE CHURCH FACILITY EXPANSION

PART OF SE 1/4 SEC. 25, T.2N., R.5E. GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

PROPERTY DESCRIPTION:

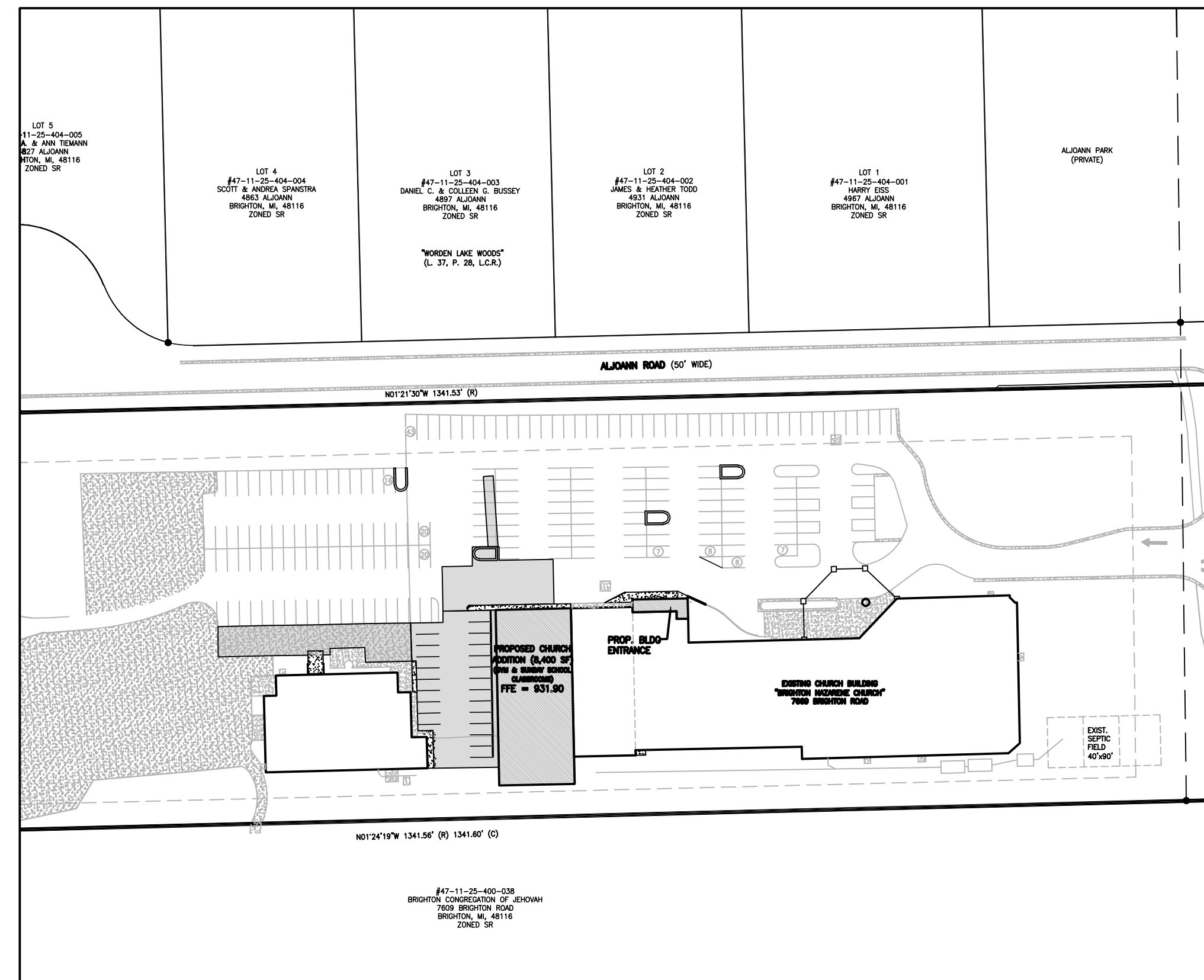
A part of the SE 1/4 of Section 25, T2N-R5E thence N 89°08'13" E 663.28 feet to Point of Beginning, thence continue E 331.64 feet, thence N 01°21'30" W 1341.53 feet, thence S 89°03'20" E 332.74 feet, thence S 01°24'19" E 1341.56 feet to Point of Beginning and also Section 25, T2N-R5E Beginning at the SE 1/4 corner, thence N 01° W 1340.63 feet thence N 89° E 823.63 feet to Point of Beginning, thence N 01° W 891.73 feet, thence N 88° E 400.81 feet, thence S 01° E 893.61 feet, thence S 89° W 400.83 feet to Point of Beginning, containing 16.43 acres, more or less split on 01/23/2012 with 4711-25-400-027 into 4711-25-400-058



LOCATION MAP
NO SCALE

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
1. THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
 2. DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 3. A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
 4. IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
 5. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
 6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
 7. PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
 8. ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
 9. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
 10. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
 11. THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
 12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
 13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 14. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
 15. THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 16. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
 17. ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 19. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
 20. DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
 21. IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
 22. NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
 24. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
 25. ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
 26. TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
 27. ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 28. AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
 29. ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
 30. NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
 31. ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
 32. SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
 33. ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



OVERALL SITE MAP
NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	GRADING, DRAINAGE & SOIL EROSION CONTROL PLAN
5	UTILITY PLAN
6	LANDSCAPE & LIGHTING PLAN
7	CONSTRUCTION NOTES & DETAILS
8	CONSTRUCTION NOTES & DETAILS
9	WATERMAIN PLAN & PROFILE
10	FLOOR PLAN
11	ELEVATION VIEWS

BRIGHTON NAZARENE CHURCH FACILITY EXPANSION

PREPARED FOR:

BRIGHTON NAZARENE CHURCH
7669 BRIGHTON ROAD
BRIGHTON, MI 48116
CONTACT: PASTOR BEN WALLS
810.227.6600

ARCHITECT

SAHBA LA'AL, ARCHITECT
MACMULLAN ARCHITECTS
308 NORTH RIVER STREET
YPSILANTI, MICHIGAN 48198

PREPARED BY:

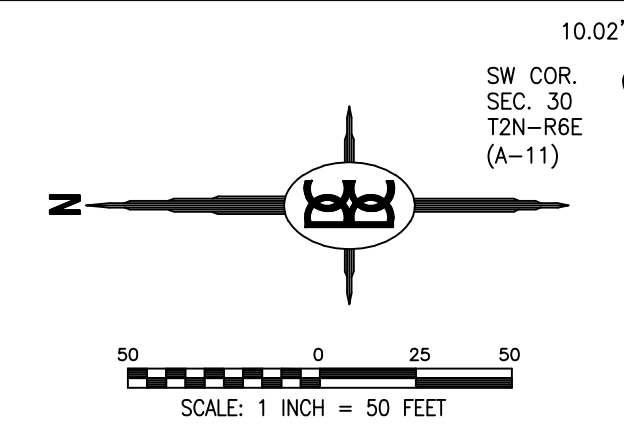
BOSS ENGINEERING
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS
(E-MAIL: be@bosseng.com)
3121 E. GRAND RIVER AVE.
HOWELL, MI 48845
(800) 246-6735 FAX (517) 548-1670

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

5	ST	PER CLIENT REVIEW	5/14/14	1
4	ST	PER TWP. REVIEW	10/2/13	
3	ST	PER TWP. REVIEW	8/26/13	
2	ST	PER PLANNING COM.	7/30/13	
1	ST	TWP. REVIEW	7/2/13	
NO	BY	CK	REVISION	

ISSUE DATE: 5/31/13
JOB NO. 13-100



THE INFORMATION CONTAINED HEREON IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE ENGINEER'S RESPONSIBILITY IS TO DESIGN AND CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ENGINEERING PROFESSION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION. THE CLIENT SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE PROJECT BEFORE THE WORK BEGINS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT EXTEND TO ANY OTHER MATTERS. BOSS ENGINEERING ARCHITECTS, P.C. 3121 E. GRAND RIVER AVE. HONOLULU, HI 96843 (808) 246-6735 FAX (808) 548-1670

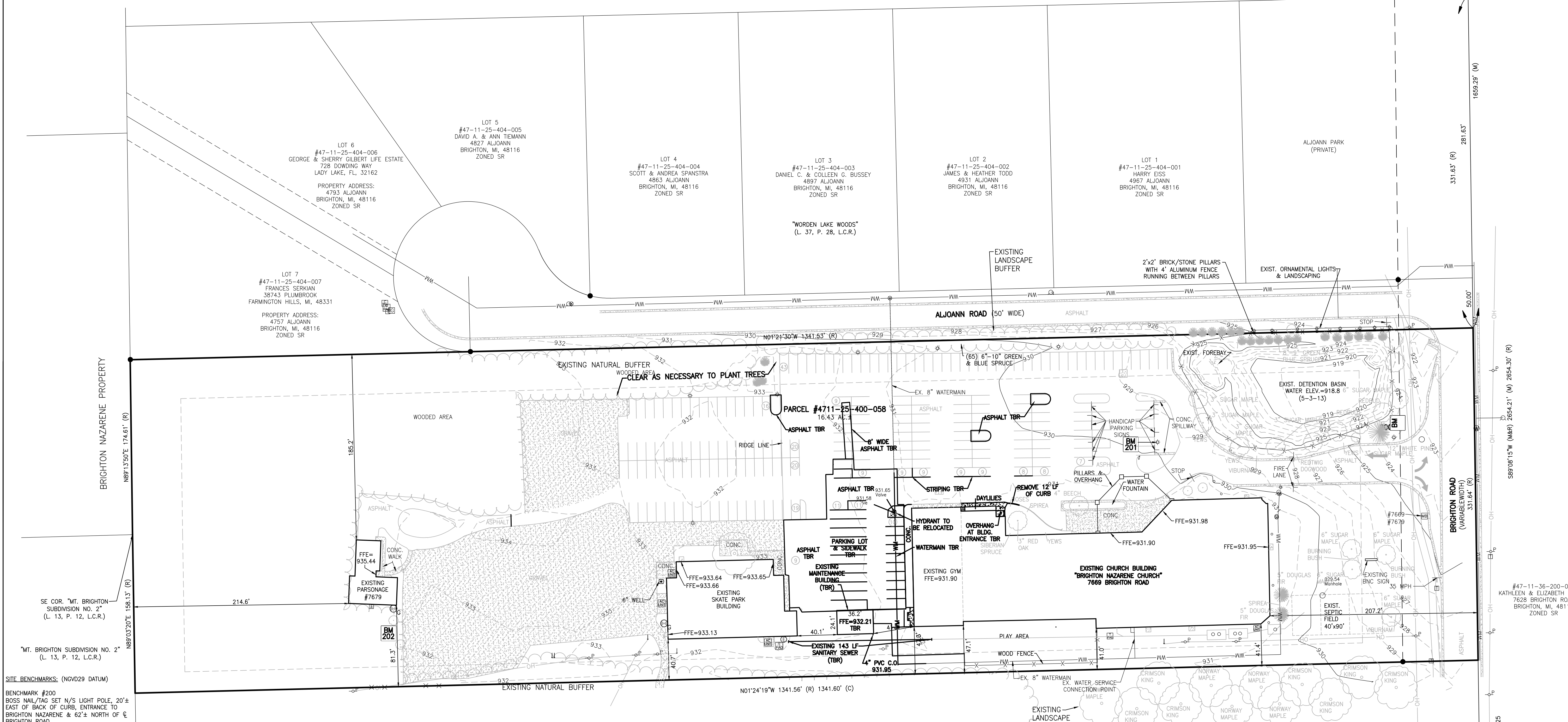
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3121 E. GRAND RIVER AVE.
HONOLULU, HI 96843
(808) 246-6735 FAX (808) 548-1670

B.N.C. FACILITY EXPANSION
BRIGHTON NAZARENE CHURCH
7669 BRIGHTON ROAD
BRIGHTON, MI 48116
810-227-6600

PROJECT: B.N.C. FACILITY EXPANSION
PREPARED FOR: BRIGHTON NAZARENE CHURCH
DATE: 5/14/14

NO	BY	REVISION	DATE
1	ST	PER CLIENT REVIEW	5/14/14
2	ST	PER CITY REVIEW	10/21/13
3	ST	PER PLANNING COM.	7/25/13
4	ST	TWP. REVIEW	6/26/13
5	ST	REVISION PER	

DESIGNED BY: ST
DRAWN BY: AEB
CHECKED BY:
SCALE: 1" = 50'
JOB NO.: 13-100
DATE: 5-31-13
SHEET NO.: 2



GENERAL SURVEY NOTES:

- BEARINGS WERE ESTABLISHED FROM THE PLAT OF "MT. BRIGHTON SUBDIVISION NO. 2", AS RECORDED IN LIBER 13 OF PLATS, PAGE 12, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED FROM BENCHMARK INFORMATION AS SHOWN ON BOSS ENGINEERING AS-BUILT PLANS FOR WORDEN LAKE WOODS UNDER JOB NO. 98011, AS-BUILT DATE OF 4-6-2000. (NGVD29 DATUM)
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL ELEVATIONS ARE SHOWN TO THE NEAREST 0.01 FOOT; HOWEVER SOFT-SURFACE ELEVATIONS CAN ONLY BE PRESUMED ACCURATE TO THE NEAREST 0.1 FOOT.
- THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH RECORD DRAWINGS. SEPTIC TANKS, PUMP CHAMBER & FIELD AS SHOWN ON THIS SURVEY ARE DEPICTED FROM A PREVIOUS SITE PLAN BY BOSS ENGINEERING, JOB NO. 88603, DATED 10-25-89. LOCATIONS AS SHOWN ARE APPROXIMATE AND WILL NEED FIELD VERIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

DESCRIPTION OF PARCEL #4711-25-400-058:

A part of the SE 1/4 of Section 25, T2N-R5E thence N 89°08'13" E 663.28 feet to Point of Beginning, thence continue E 331.64 feet, thence N 01°21'30" W 1341.53 feet, thence S 89°03'20" E 332.74 feet, thence S 01°24'19" E 1341.56 feet to Point of Beginning and also Section 25, T2N-R5E Beginning at the SE 1/4 corner, thence N 01° W 1340.63 feet thence N 89° E 823.63 feet to Point of Beginning, thence N 01° W 891.73 feet, thence N 88° E 400.81 feet, thence S 01° E 893.61 feet, thence S 89° W 400.83 feet to Point of Beginning, containing 16.43 acres, more or less split on 01/23/2012 with 4711-25-400-027 into 4711-25-400-058

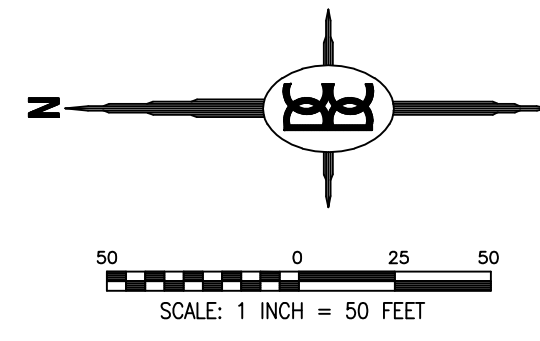
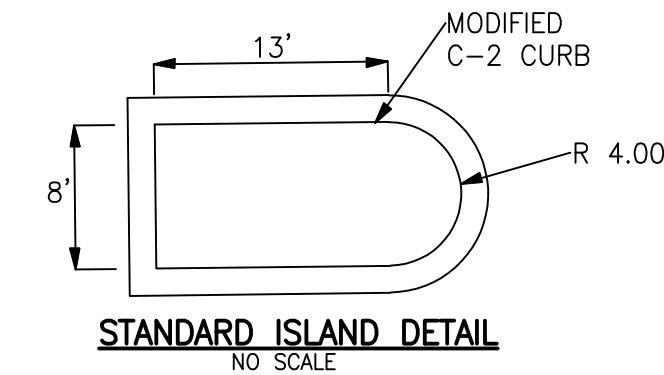
LEGEND

PROPOSED (PR)	EXISTING (EX)	
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RI	RI	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARYARD STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
TEL	TEL	TELEPHONE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE	FENCE	FENCE
SIGN	SIGN	SIGN
WETLAND BOUNDARY	WETLAND BOUNDARY	WETLAND BOUNDARY
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
MODIFIED CURB	MODIFIED CURB	MODIFIED CURB
'NO PARKING FIRE LANE' SIGN	'NO PARKING FIRE LANE' SIGN	'NO PARKING FIRE LANE' SIGN

SITE DATA

	EXISTING/REQUIRED	PROPOSED
ZONING	SUBURBAN RESIDENTIAL(SR)	SUBURBAN RESIDENTIAL(SR)
AREA (GROSS)	3 ACRES (+15000SQFT PER 100 PERSON SEATING CAPACITY) 16.43 ACRES	16.43 ACRES
AREA (NET)	3 ACRES (+15000SQFT PER 100 PERSON SEATING CAPACITY) 15.86 ACRES	15.86 ACRES
LOT WIDTH	100 FT	331.64 FT
USE	CHURCH	CHURCH
SETBACKS		
FRONT	40 FT	207.2 FT
SIDE	20 FT	26.83 FT
REAR	50 FT	214.6 FT
PARKING	50 FT	50.05 FT
MAX. LOT COVERAGE	20% BUILDING (6.99%)	8.19%
	35% IMPERVIOUS (23.07%)	23.95%
PARKING - 1 SPACE PER 3 SEATS IN WORSHIP AREA (520 SEATS/3 = 174 SPACES)	174 SPACES	201 SPACES
	8 BARRIER FREE SPACES	8 BARRIER FREE SPACES
(FOR MAX CAPACITY SERVICES ARRANGEMENTS ARE MADE TO UTILIZE BRIGHTON HIGH SCHOOLS PARKING LOT)		
SOILS (PER U.S.D.A. SOIL SURVEY)	BOYER-OSITEMO LOAMY SANDS, 0 TO 2 PERCENT SLOPES	
NO NEW SIGNAGE PROPOSED		

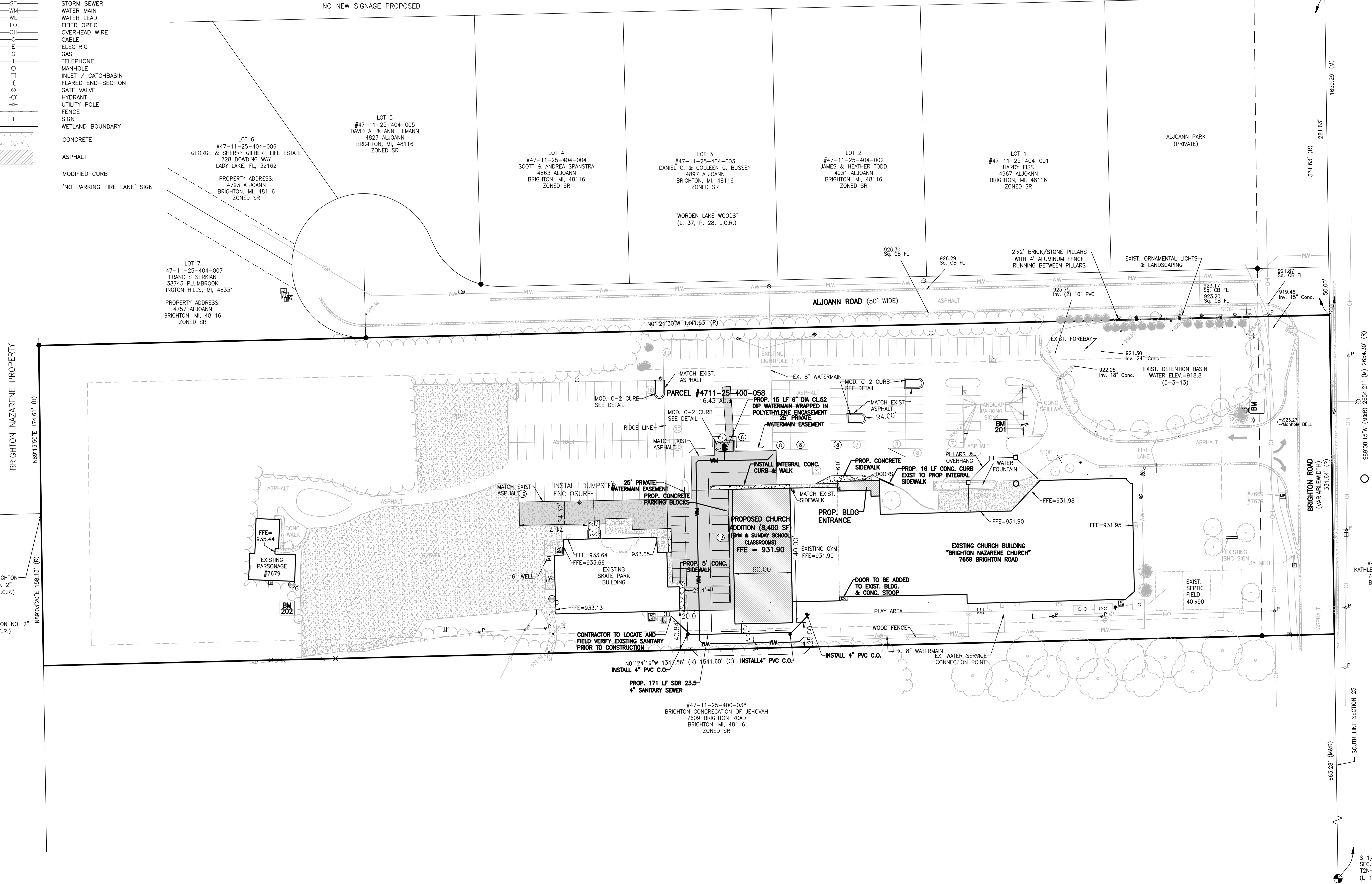
NOTE: ACTIVITIES WILL NOT TAKE PLACE IN THE GYM CONCURRENT WITH WORSHIP SERVICES IN THE SANCTUARY



SW COR. SEC. 30 T2N-R5E (A-11) SE COR. SEC. 25 T2N-R5E (M-11)

BEFORE ANY CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE CITY OF BRIGHTON, MI. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES ASSOCIATED THEREWITH. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THESE DRAWINGS AS ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES ASSOCIATED THEREWITH. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THESE DRAWINGS AS ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES.

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B.N.C. FACILITY EXPANSION
BRIGHTON NAZARENE CHURCH
7669 BRIGHTON ROAD
BRIGHTON, MI 48116
810-227-6600

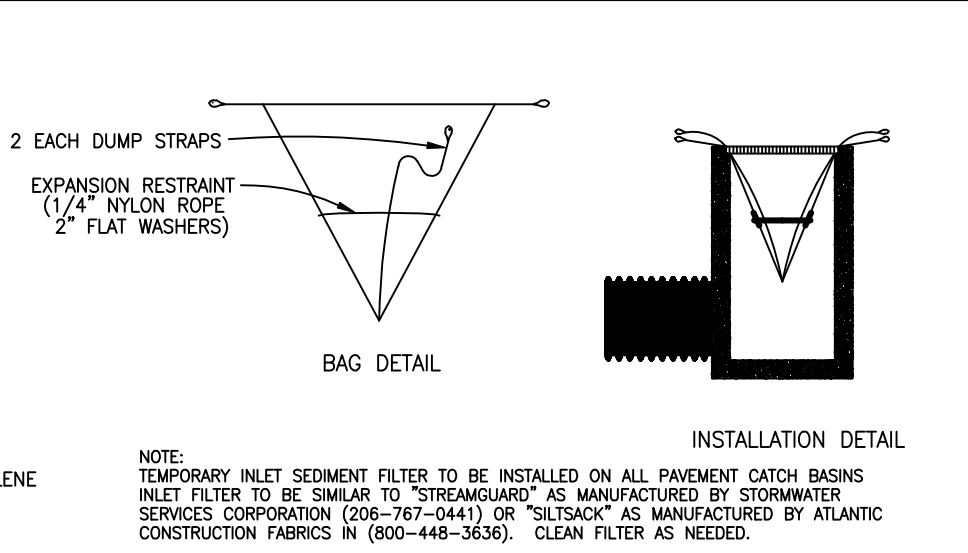
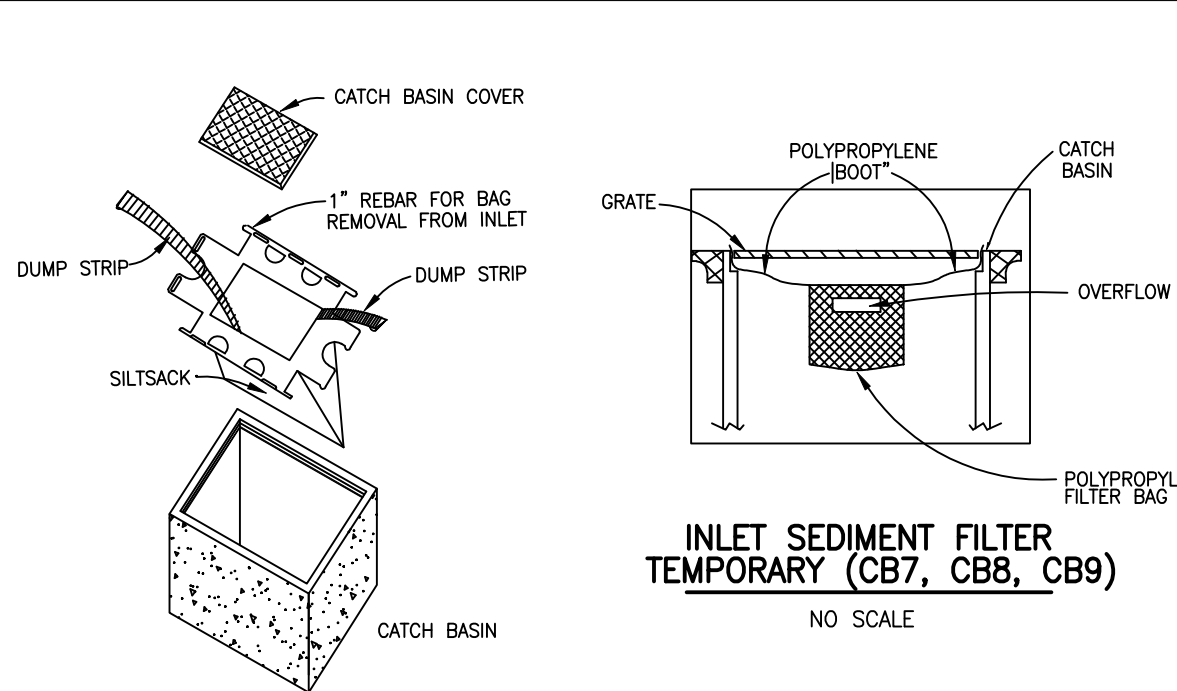
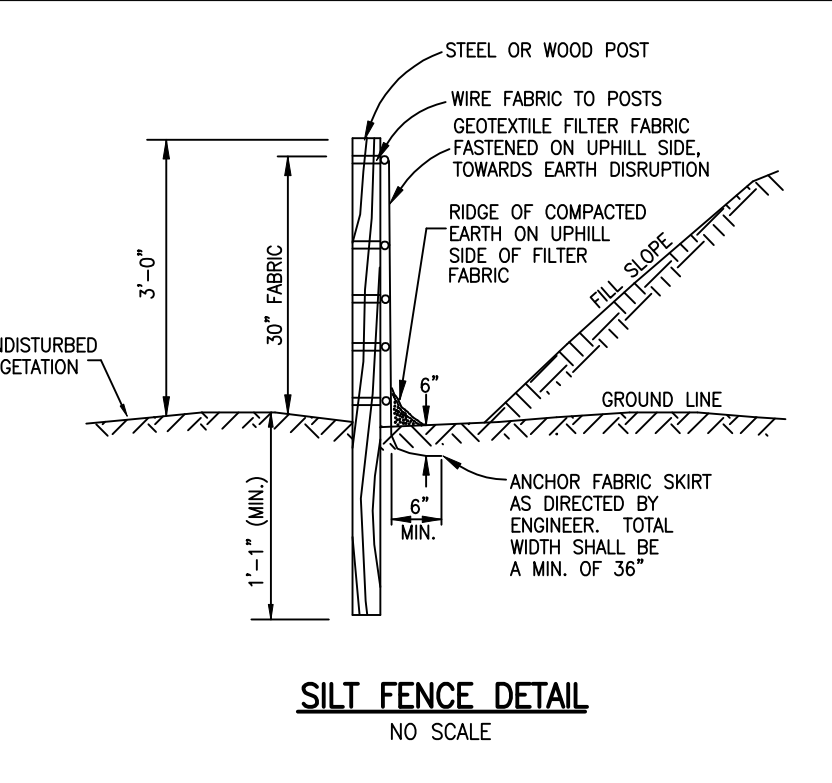
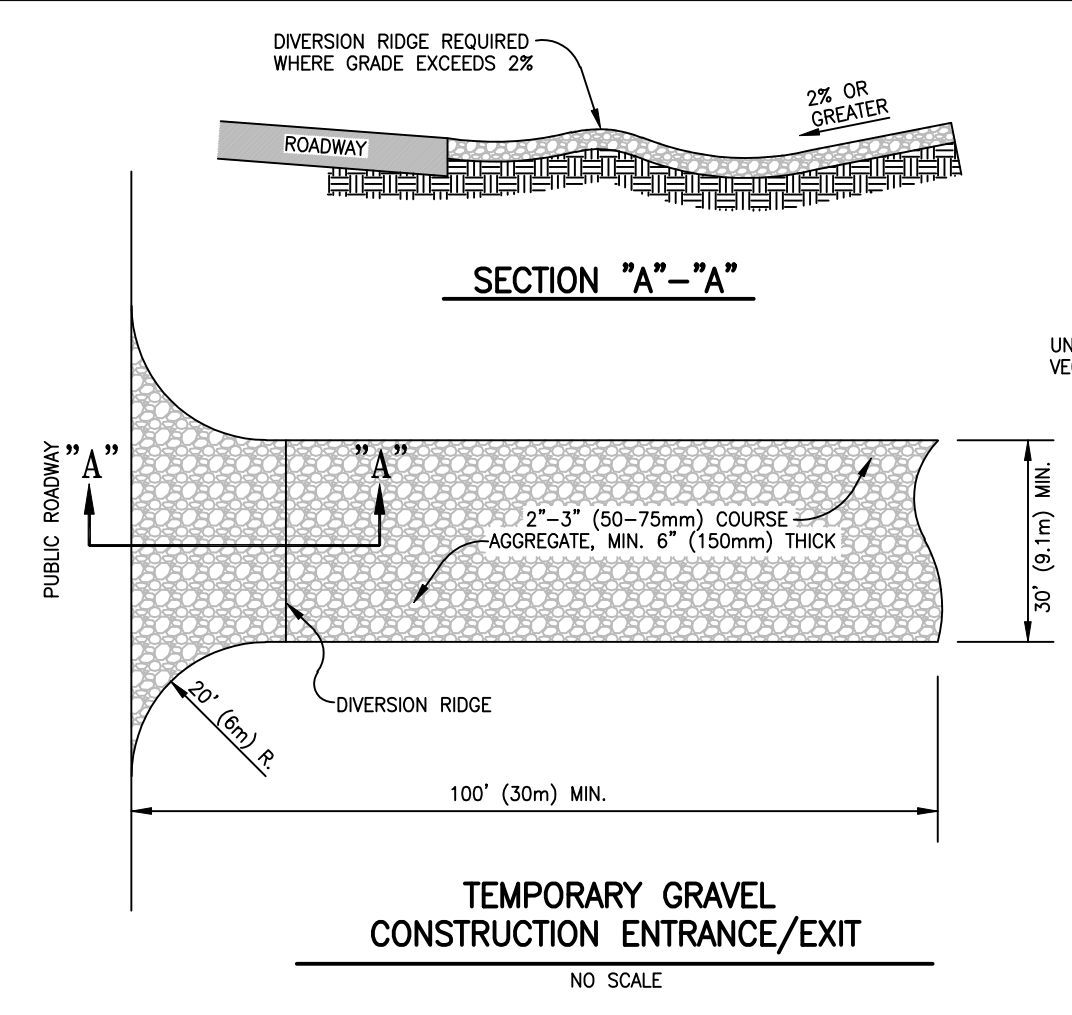
SITE PLAN

PROJECT: B.N.C. FACILITY EXPANSION
FOR: BRIGHTON NAZARENE CHURCH

NO	BY	DATE	REVISION PER
1	ST	7/25/13	TWP. REVIEW
2	ST	7/25/13	PER PLANNING COM.
3	ST	8/26/13	TWP. REVIEW
4	ST	10/2/13	PER CITY REVIEW
5	ST	5/14/14	PER CLIENT REVIEW

DESIGNED BY: ST
DRAWN BY: AEB
CHECKED BY:
SCALE: 1" = 50'
JOB NO.: 13-100
DATE: 5-31-13
SHEET NO.: 3

LEGEND		LEGEND	
PROPOSED (PR)	EXISTING (EX)	PROPOSED (PR)	EXISTING (EX)
900	+922.08	CONTOUR	SPOT ELEVATION
T/C	FF	FINISHED FLOOR ELEVATION	FINISHED GRADE ELEVATION
FF	FG	TOP OF ASPHALT	TOP OF ASPHALT / CONCRETE
T/A	T/W	TOP OF WALK	FLOW LINE
T/W	F/L	FLOW LINE	TOP OF PIPE
F/L	T/P	BOTTOM OF PIPE	RIM ELEVATION
T/P	B/P	RIM ELEVATION	INVERT ELEVATION
B/P	RIM	MANHOLE STRUCTURE	CATCHBASIN STRUCTURE
RIM	INV	REARWARD STRUCTURE	END-SECTION GATEVALVE STRUCTURE
INV	MH	HYDRANT	UTILITY POLE
MH	IN	SANITARY SEWER	SANITARY LEAD
IN	CB	FORCE MAIN	STORM SEWER
CB	RY	WATER MAIN	WATER LEAD
RY	ES	OVERHEAD WIRE	CABLE
ES	GV	ELECTRIC	GAS
GV	UP	TELEPHONE	MANHOLE
UP	SN	INLET / CATCHBASIN	FLARED END-SECTION
SN	SL	GATE VALVE	HYDRANT
SL	FM	UTILITY POLE	UTILITY POLE
FM	ST		
ST	WM		
WM	WL		
WL	OH		
OH	C		
C	E		
E	G		
G	T		
T			

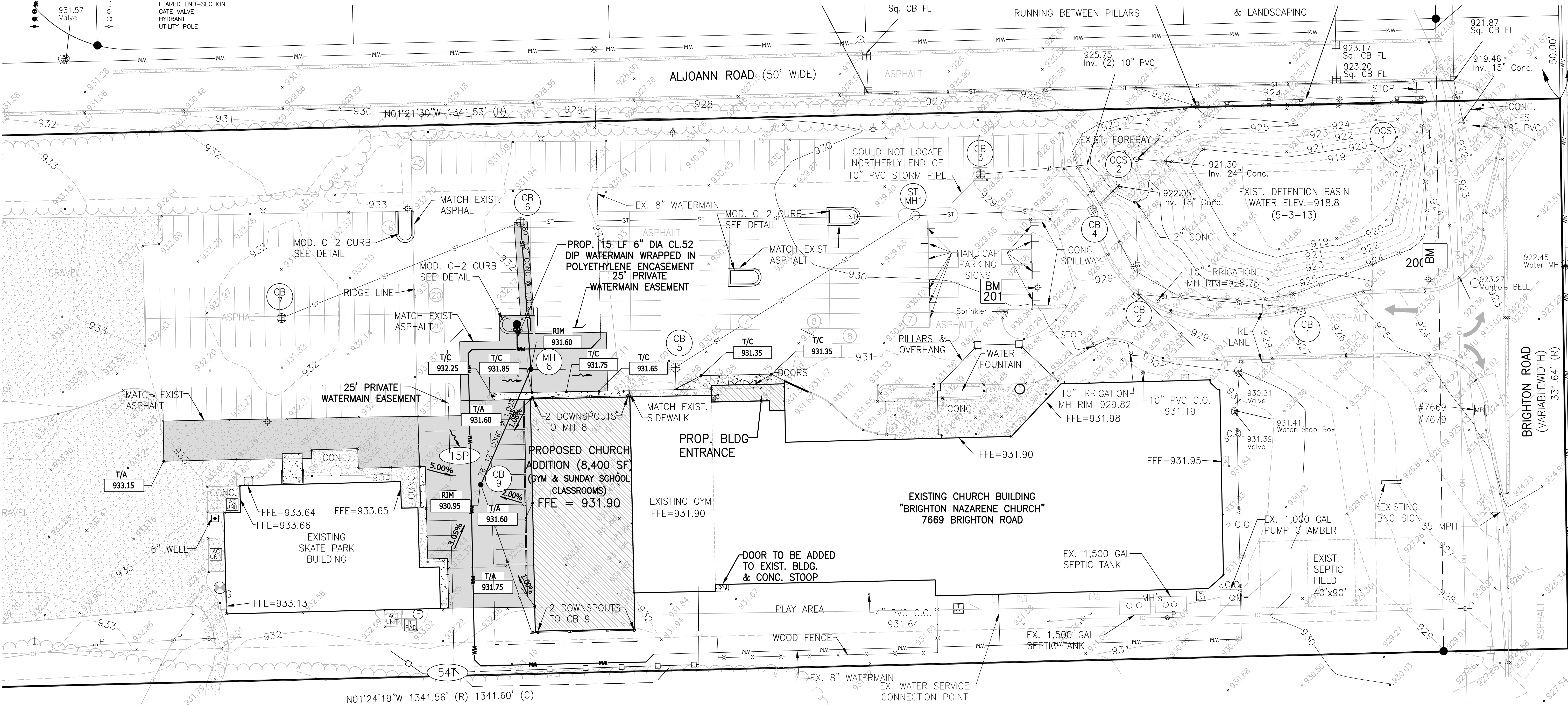


STORMWATER MANAGEMENT NARRATIVE

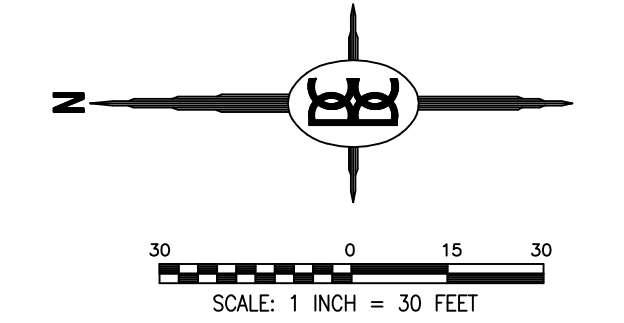
THE ROOF DRAINAGE FOR THE PROPOSED BUILDING WILL BE PIPED INTO MANHOLE 8 & CATCH BASIN 9 VIA 4 DOWNSPOUTS (2 IN FRONT, 2 IN BACK).

CONSTRUCT LANDSCAPE ISLANDS TO MAINTAIN EXISTING DRAINAGE AND TO DRAIN AWAY FROM ISLANDS.

ASPHALT AROUND MANHOLE 8 IS TO MATCH EXISTING ASPHALT LIMITS AS WELL AS MAINTAIN DRAINAGE PATTERN TO CATCH BASINS 5 AND 6. PROPOSED ASPHALT NORTH OF THE PROPOSED BUILDING ADDITION WILL DRAIN TO CATCH BASIN 9.



#47-11-25-400-038
BRIGHTON CONGREGATION OF JEHOVAH
7609 BRIGHTON ROAD
BRIGHTON, MI 48116
ZONED SR



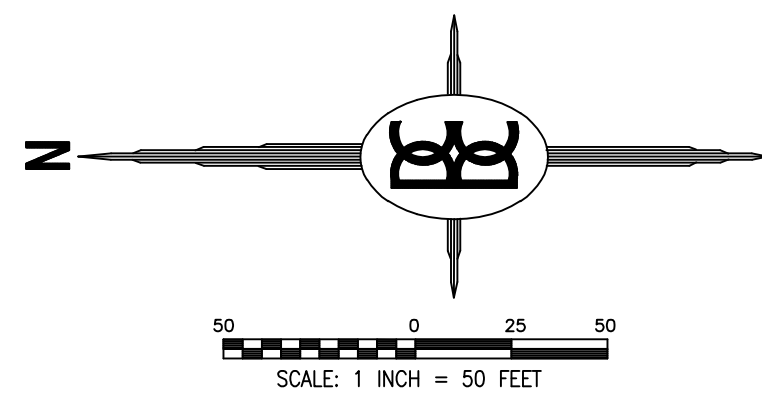
BEFORE YOU BEGIN ANY CONSTRUCTION, YOU MUST OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT. THESE PERMITS ARE REQUIRED TO PROTECT THE PUBLIC SAFETY AND THE ENVIRONMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THESE DRAWINGS AS ONLY APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THESE DRAWINGS AS ONLY APPROVED BY THE ENGINEER.

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PROJECT: **B.N.C. FACILITY EXPANSION**
PREPARED FOR: **BRIGHTON NAZARENE CHURCH**
7669 BRIGHTON ROAD
BRIGHTON, MI 48116
810-227-6600

NO	BY	DATE	REVISION PER
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4	ST	7/27/13	TWP. REVIEW
5	ST		PER REVIEW

DESIGNED BY: ST
DRAWN BY: AEB
CHECKED BY:
SCALE: 1" = 40'
JOB NO. 13-100
DATE 5-31-13
SHEET NO. 4



CONTROLS & MEASURES NARRATIVE	
ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED.

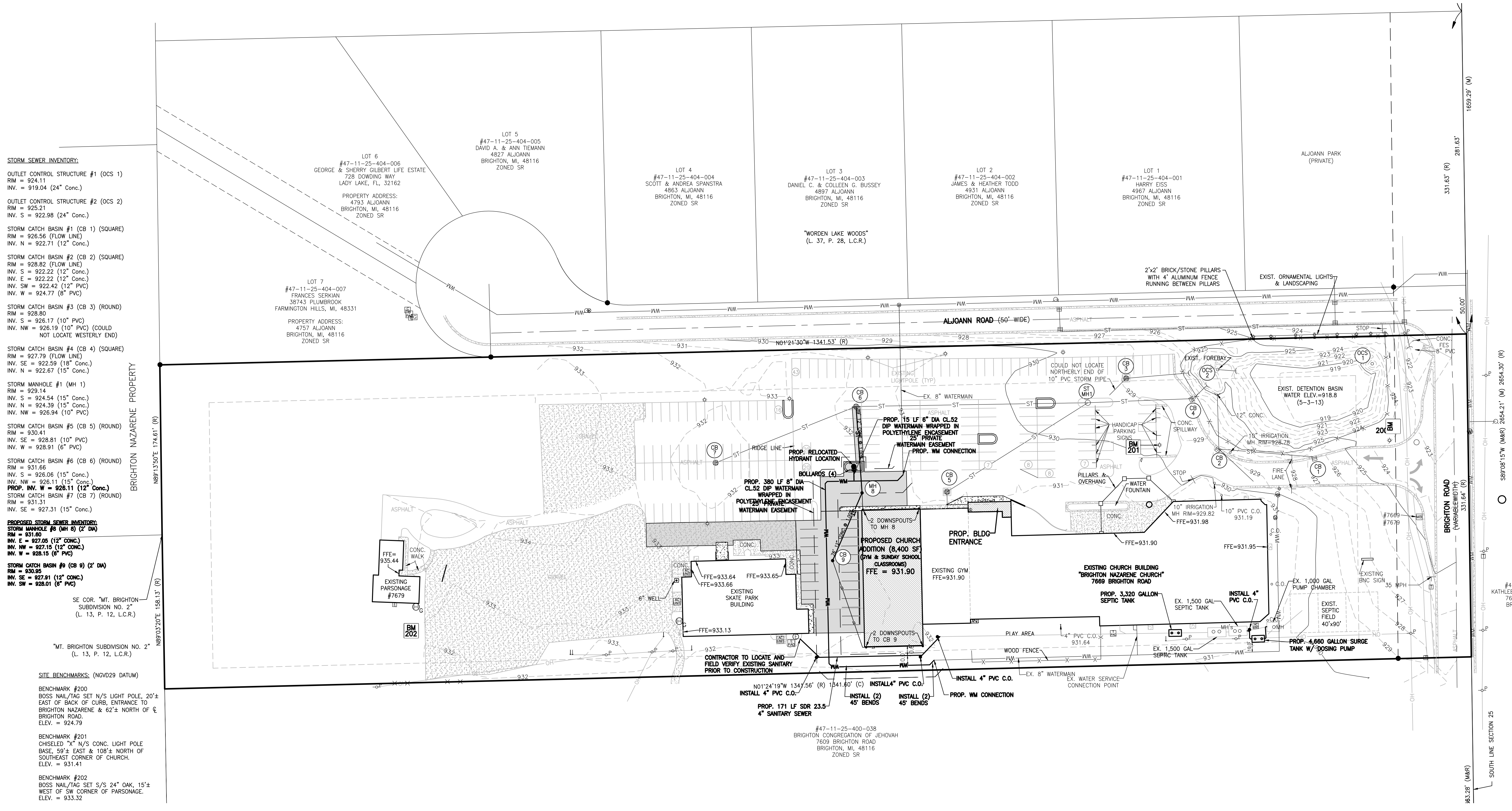
CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE			
ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X		X
SWEEP PARKING LOT		X	X

CONSTRUCTION SEQUENCE	
1 DAY	1. INSTALL SILT FENCE & INLET FILTERS AS SHOWN ON PLANS.
4 DAYS	2. SAWCUTTING & REMOVING ASPHALT AS SHOWN ON PLANS.
6 DAYS	3. ROUGH GRADE AND INSTALL STORM DRAINAGE AND WATERMAIN.
1 DAY	4. INSTALL INLET PROTECTION ON STORM INLETS.
180 DAYS	5. START BLDG. CONSTRUCTION.
4 DAYS	6. INSTALL PAVEMENT.
2 DAYS	7. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
1 DAY	8. REMOVE ALL EROSION CONTROL STRUCTURES.
1 DAY	9. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

- NOTES:
- EXISTING WATERMAIN TO BE CUT AND REMOVED AT POINTS INDICATED ON PLANS. PROPOSED WATERMAINS TO BE CONNECTED TO CUT-ENDS OF EXISTING WATERMAIN. CONNECT PROPOSED WATERMAIN TO NEAREST JOINT OF EXISTING WATERMAIN.
 - EXISTING WATERMAIN IS TO BE TEMPORARILY CAPPED AT CONNECTION LOCATIONS WHILE EXTENDED LOOP IS BEING CONSTRUCTED.
 - FIRE SUPPRESSION LINE AND DOMESTIC SUPPLY FOR PROPOSED ADDITION TO BE INTERNALLY SUPPLIED FROM EXISTING BUILDING.
 - EXISTING 6" WELL ON NORTH SIDE OF EXISTING SKATE PARK IS SOLELY USED FOR IRRIGATION.
 - THERE ARE NO SERVICE CONNECTIONS OR BUILDING FIRE SUPPRESSION SYSTEMS TO BE REPLACED ALONG THE PORTION OF RELOCATED WATER MAIN.

LEGEND		LEGEND	
PROPOSED (PR)	EXISTING (EX)	PROPOSED (PR)	EXISTING (EX)
900	900	CONTOUR	SILT FENCE
T/C		STORM DRAINAGE FLOW	LIMITS OF GRADING/CLEARING
XXXXXX		SPOT ELEVATION	CONCRETE
FF	FF	FINISHED FLOOR ELEVATION	ASPHALT
FG	FG	FINISHED GRADE ELEVATION	GRAVEL
T/A	T/A	TOP OF ASPHALT	
T/C	T/C	TOP OF CURB / CONCRETE	
T/W	T/W	TOP OF WALK	
F/L	F/L	FLOW LINE	
T/P	T/P	TOP OF PIPE	
B/P	B/P	BOTTOM OF PIPE	
RM	RM	RM ELEVATION	
INV	INV	INVERT ELEVATION	
MH	MH	MANHOLE STRUCTURE	
IN	IN	INLET STRUCTURE	
CB	CB	CATCHBASIN STRUCTURE	
RY	RY	REARWARD STRUCTURE	
ES	ES	END-SECTION	
GV	GV	GATEVALVE STRUCTURE	
HY	HY	HYDRANT	
UP	UP	UTILITY POLE	
SN	SN	SANITARY SEWER	
SL	SL	SANITARY LEAD	
FM	FM	FORCE MAIN	
ST	ST	STORM SEWER	
WM	WM	WATER MAIN	
WL	WL	WATER LEAD	
OH	OH	OVERHEAD WIRE	

STRUCTURE FRAMES & COVERS				
COVER	TYPE	USE	MANUFACTURER OR EQ. NO.	TYPE OF COVER OR GRATE
A	MH	ALL	1120 R-1415	SANITARY-SELF SEALING STORM-VENTED
B	CB & INLET	TYPE B2 CURB	7085 R-3038-A	
K	CB & INLET	TYPE C & F CURB	7045 R-3031-B	FLAT GRATE WITH VERT. 4" OPEN THROAT
C	CB & INLET	VALLEY CURB	7065 R-3034-B	
D	CB & INLET	PARKING LOTS	1020-MI R-2560-D	FLAT GRATE
E	CB & INLET	LAWN AREA OR BIGH	1020-01	BEEHIVE GRATE 4" HIGH



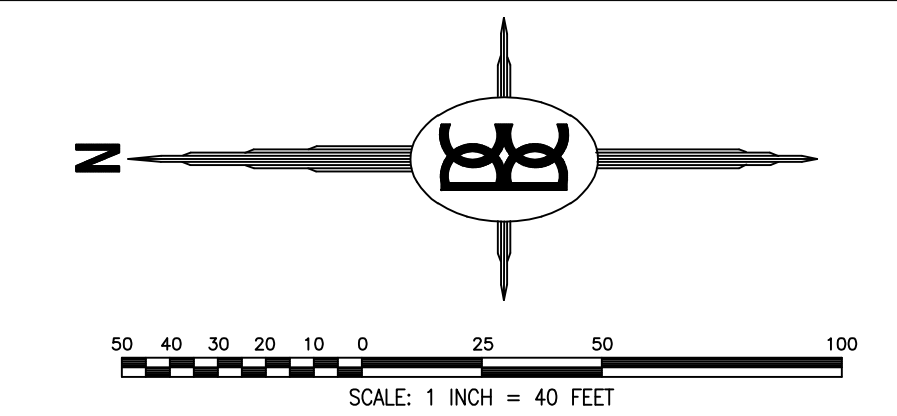
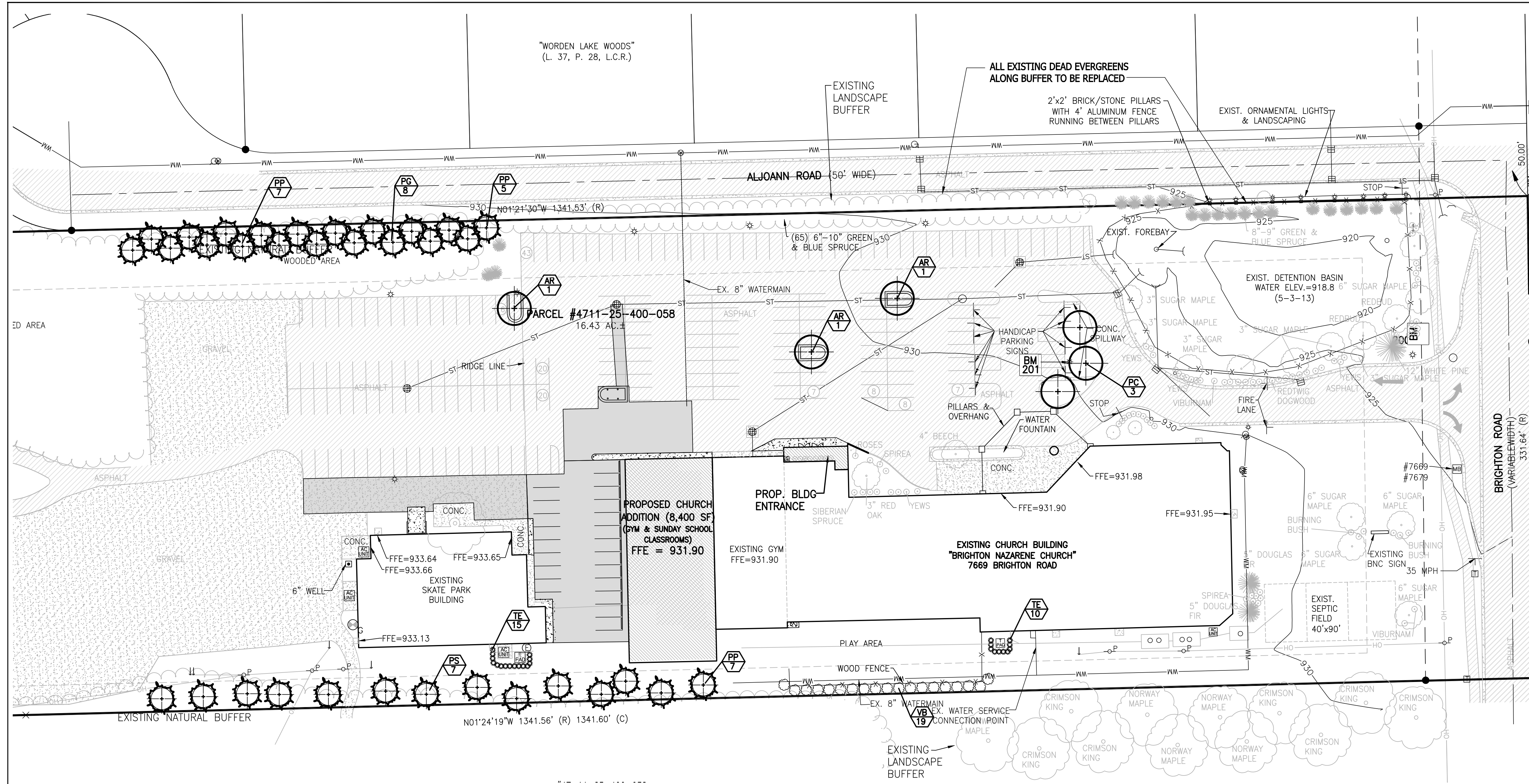
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BRIGHTON NAZARENE CHURCH
7669 BRIGHTON ROAD
BRIGHTON, MI 48116
810-227-6600

PROJECT PREPARED FOR
TITLE
DATE

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CHECKED BY:
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JOB NO. 13-100
DATE: 5-31-13
SHEET NO. 5



LEGEND

PROPOSED (PR)	EXISTING (EX)	CONTOUR
900	900	STORM DRAINAGE FLOW
T/C	+ 922.08	SPOT ELEVATION
XXXXXX		FINISHED FLOOR ELEVATION
FF	FF	FINISHED GRADE ELEVATION
FG	FG	TOP OF ASPHALT
T/A	T/A	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWAY STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE SIGN	FENCE SIGN	FENCE SIGN
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE
SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE
WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE
GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE
FOOT CANDLES ON SITE	FOOT CANDLES ON SITE	FOOT CANDLES ON SITE
FOOT CANDLES OFF SITE	FOOT CANDLES OFF SITE	FOOT CANDLES OFF SITE
FOOT CANDLES CONTOURS	FOOT CANDLES CONTOURS	FOOT CANDLES CONTOURS

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
AR	3	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2" cal.	B-B
PC	3	Pyrus calleryana 'Bradford'	Bradford Callery Pear	2 1/2" cal.	B-B
PG	8	Picea glauca	White Spruce	6'-8" ht.	B-B
PP	19	Picea pungens var. 'Glauca'	Colorado Blue Spruce	6'-8" ht.	B-B
PS	7	Pinus strobus	Eastern White Pine	6'-8" ht.	B-B
SHRUBS					
TE	25	Thuja occidentalis 'Emerald'	Emerald Arborvitae	24"-36" ht.	B-B
VB	19	Viburnum x burkwoodii	Burkwood Viburnum	36" ht.	B-B

THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE RESPONSIBILITY OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE UTILITIES AND THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES NOT TO BE DISTURBED. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE DESIGNER. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE UTILITIES AND THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES NOT TO BE DISTURBED. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

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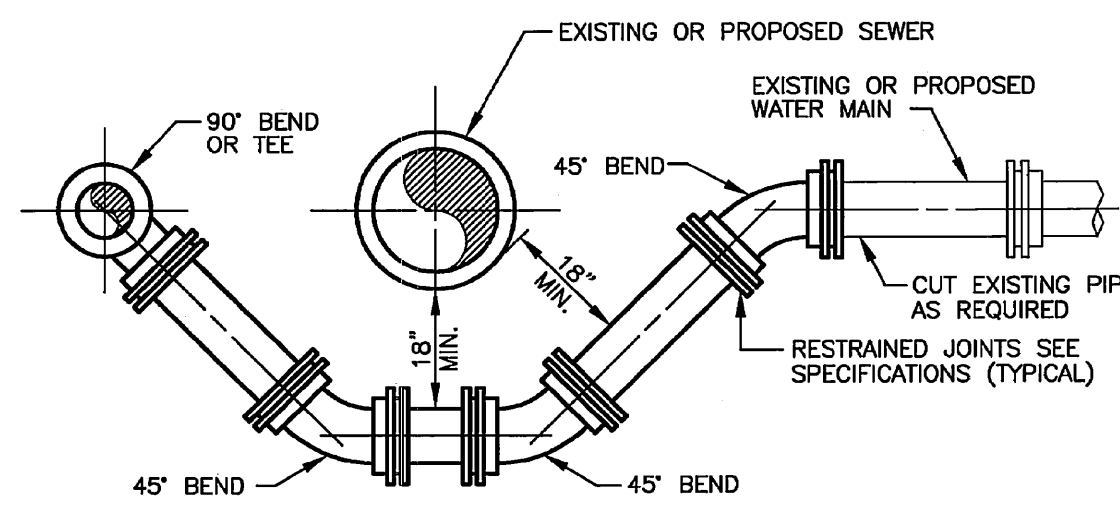
LANDSCAPE & LIGHTING PLAN

PROJECT	B.N.C. FACILITY EXPANSION
PREPARED FOR	BRIGHTON NAZARENE CHURCH
DATE	5/14/14
DESIGNED BY	TD
DRAWN BY	TD
CHECKED BY	
SCALE	1" = 40'
JOB NO.	13-100
DATE	5-31-13
SHEET NO.	6

PIPE RESTRAINT SCHEDULE
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

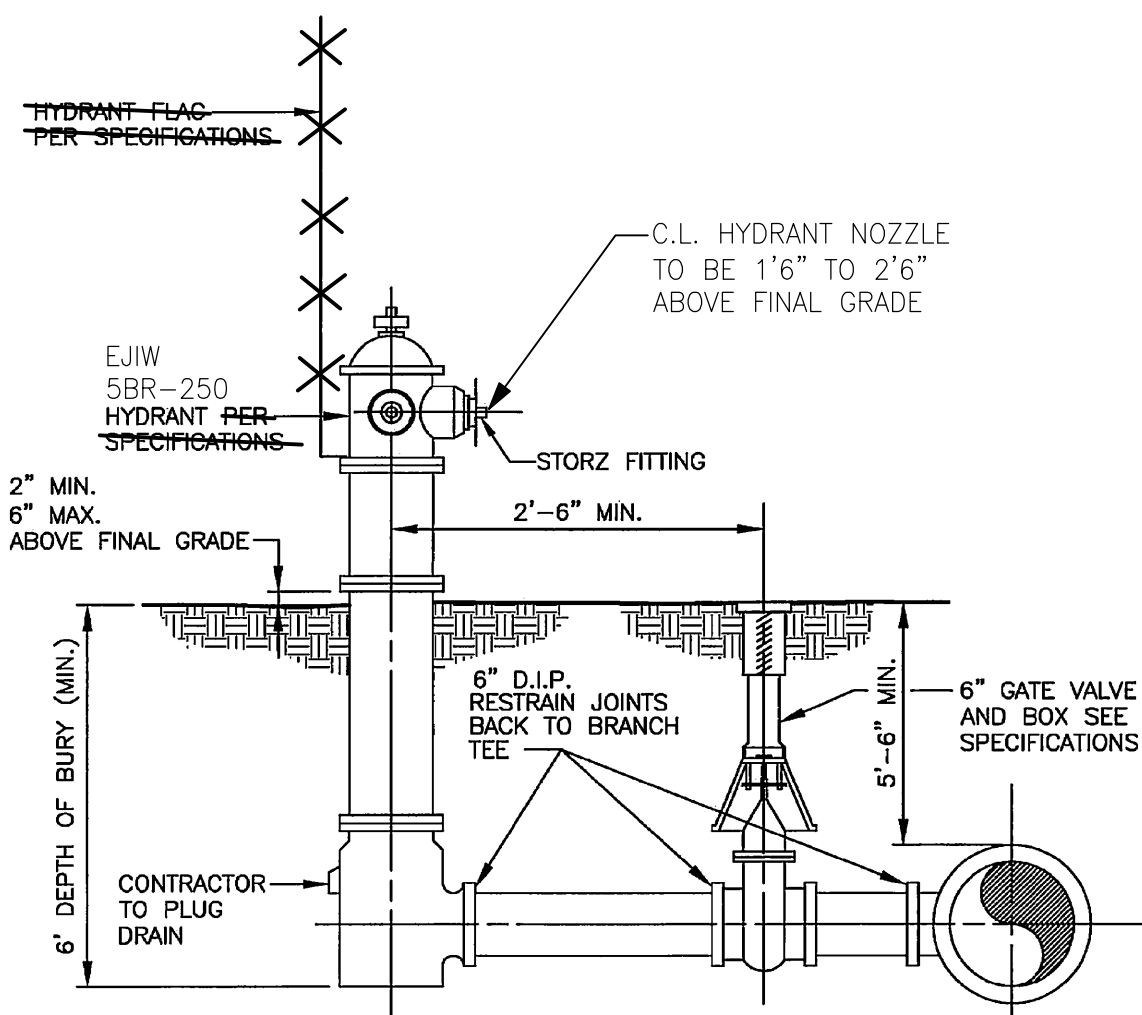
PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	---	---
6	19	8	4	2	58	31	---
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	188

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER). FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF THE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- * SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
BASED UPON: INTERNAL PRESSURE: 180
PIPE DEPTH: TYPE 5
BEDDING CLASS: SOIL TYPE: GOOD SAND
SAFETY FACTOR: 2

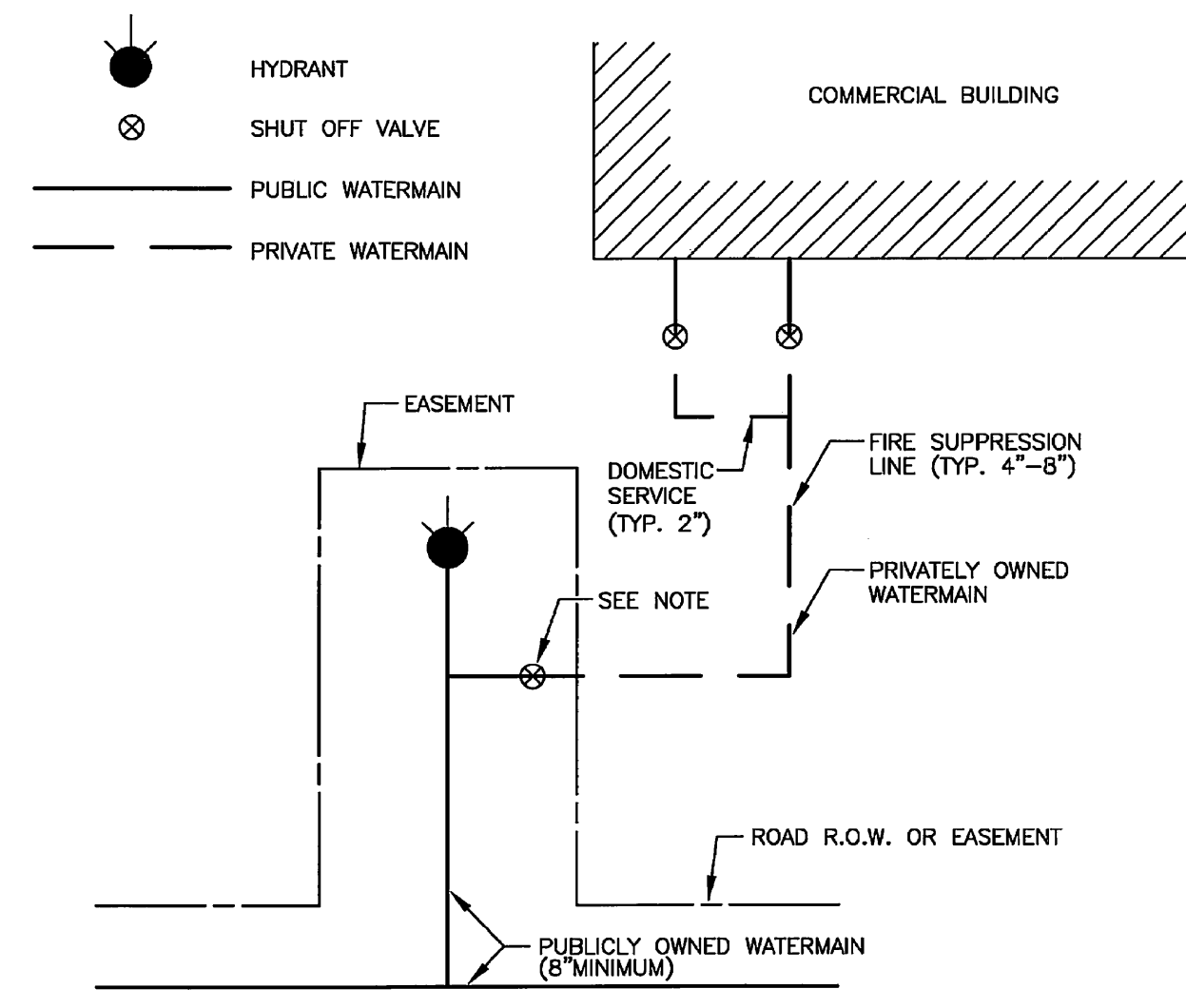


WATER MAIN RELOCATION

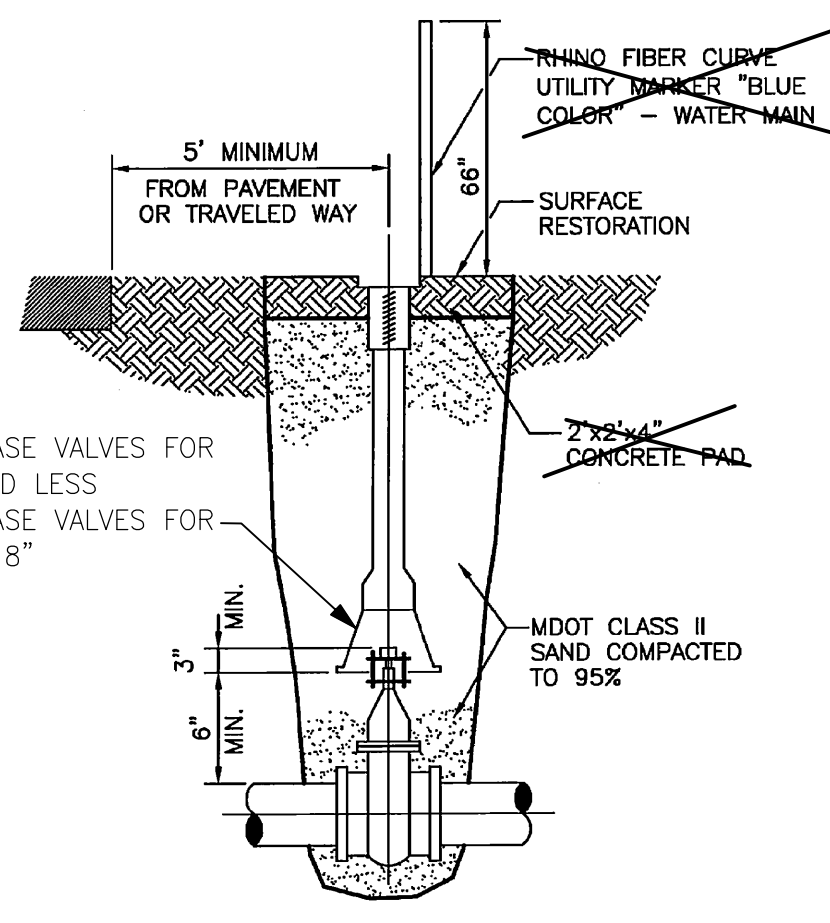
NOTE:
EXISTING WATERMAIN TO BE CUT AND REMOVED AT POINTS INDICATED ON PLANS. PROPOSED WATERMAINS TO BE CONNECTED TO CUT-ENDS OF EXISTING WATERMAIN. CONNECT PROPOSED WATERMAIN TO NEAREST JOINT OF EXISTING WATERMAIN. TEMPORARILY CAP THE EXISTING MAIN WHILE THE EXTENDED LOOP IS BEING CONSTRUCTED.



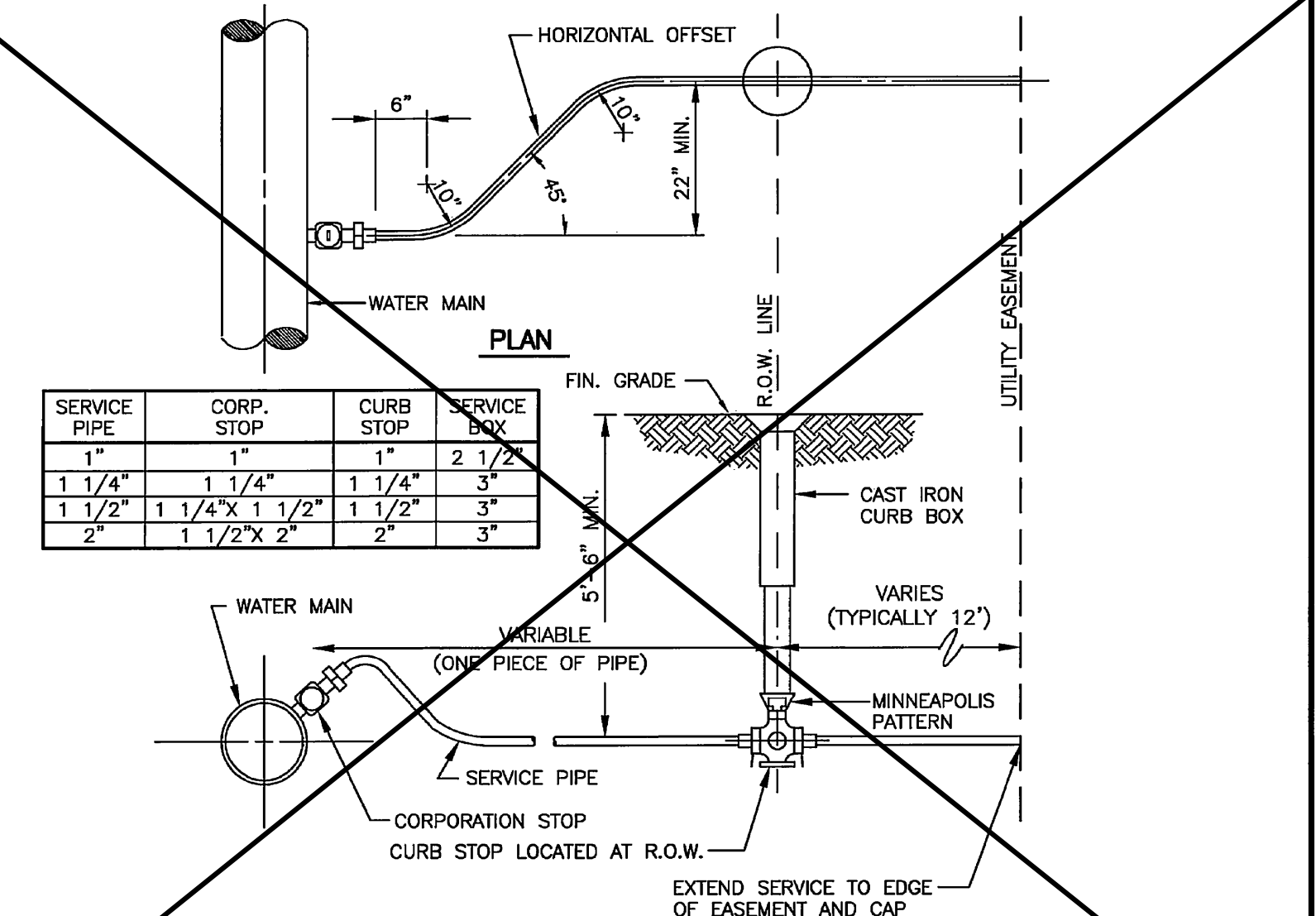
FIRE HYDRANT ASSEMBLY



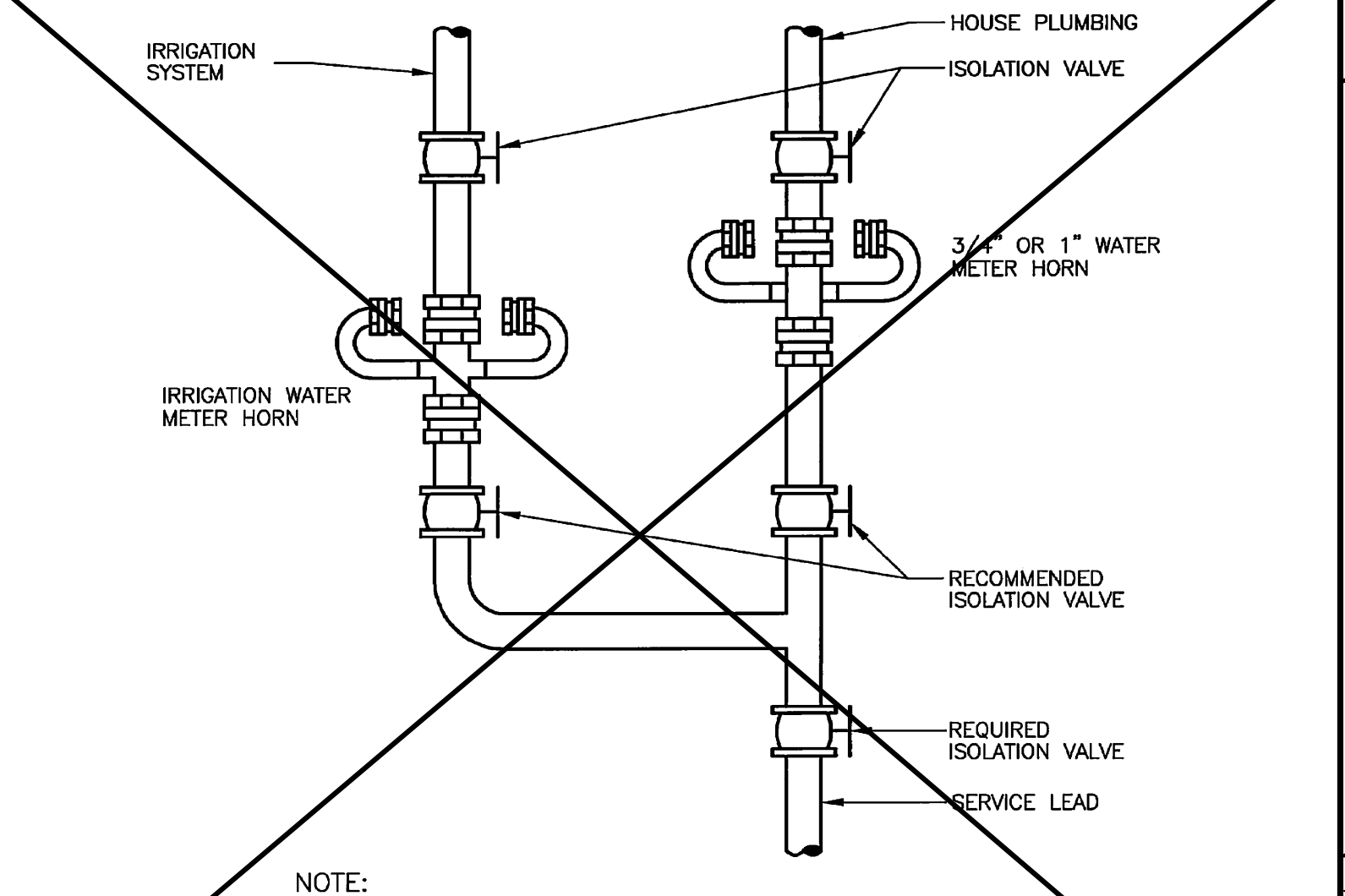
COMMERCIAL BUILDING WATER SERVICE LAYOUT



GATE VALVE AND BOX

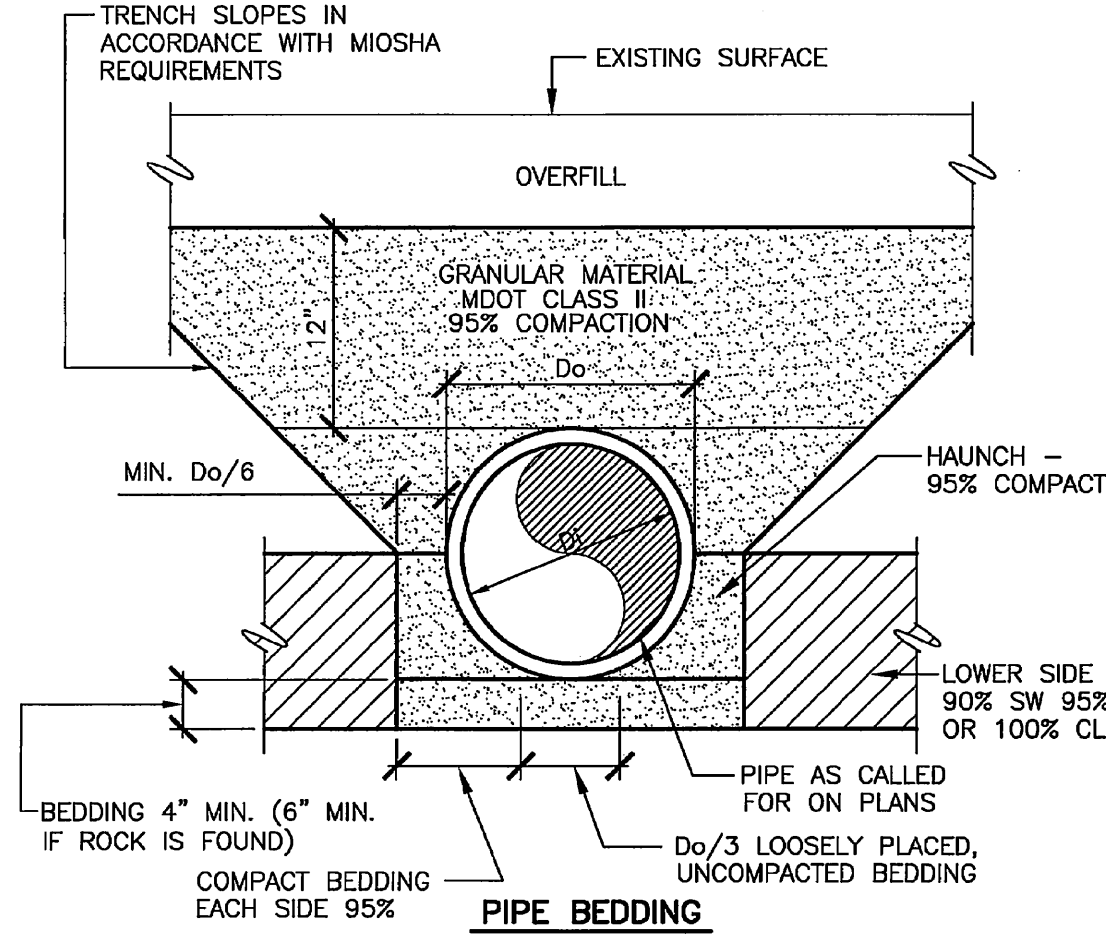


SECTION WATER SERVICE LATERAL

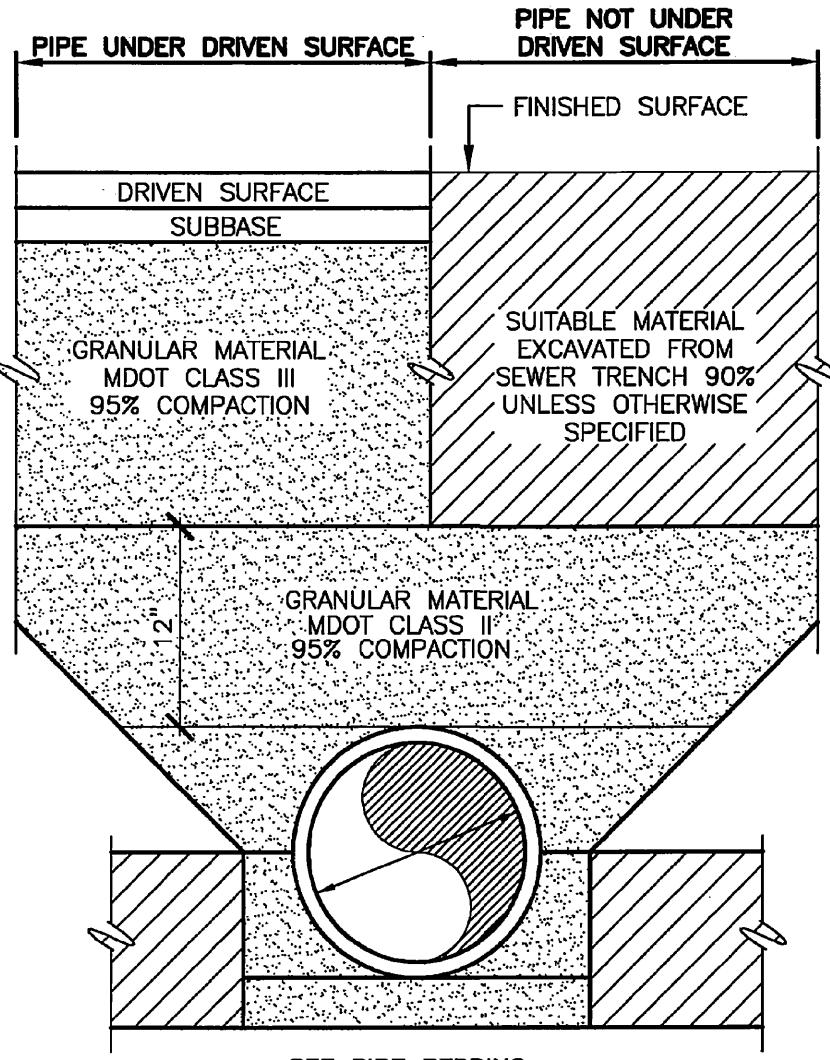


TYPICAL METER HORN INSTALLATION

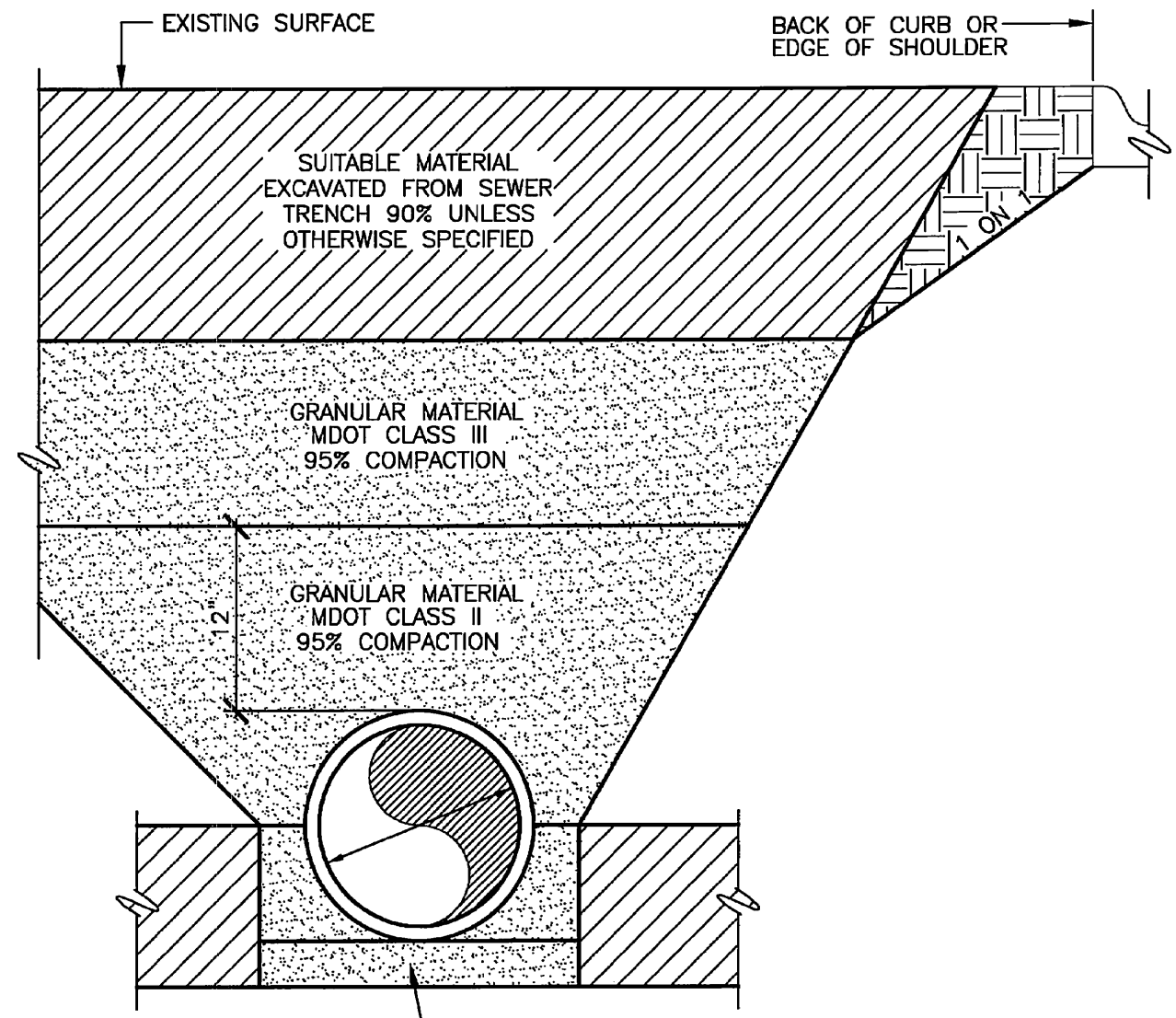
- NOTES:
- COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 - MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 - MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
 - DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.



PIPE BEDDING



PIPE UNDER/NOT UNDER DRIVEN SURFACE



PIPE WITHIN INFLUENCE OF DRIVEN SURFACE

TRENCH EXCAVATION & PIPE BEDDING

MARION HOWELL GENOA OCEOLA
Sewer and Water Authority

WATER MAIN STANDARD DETAILS

Scale: NONE
Issued Date: 10-22-2007

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BRIGHTON, MI 48116
810-227-6600

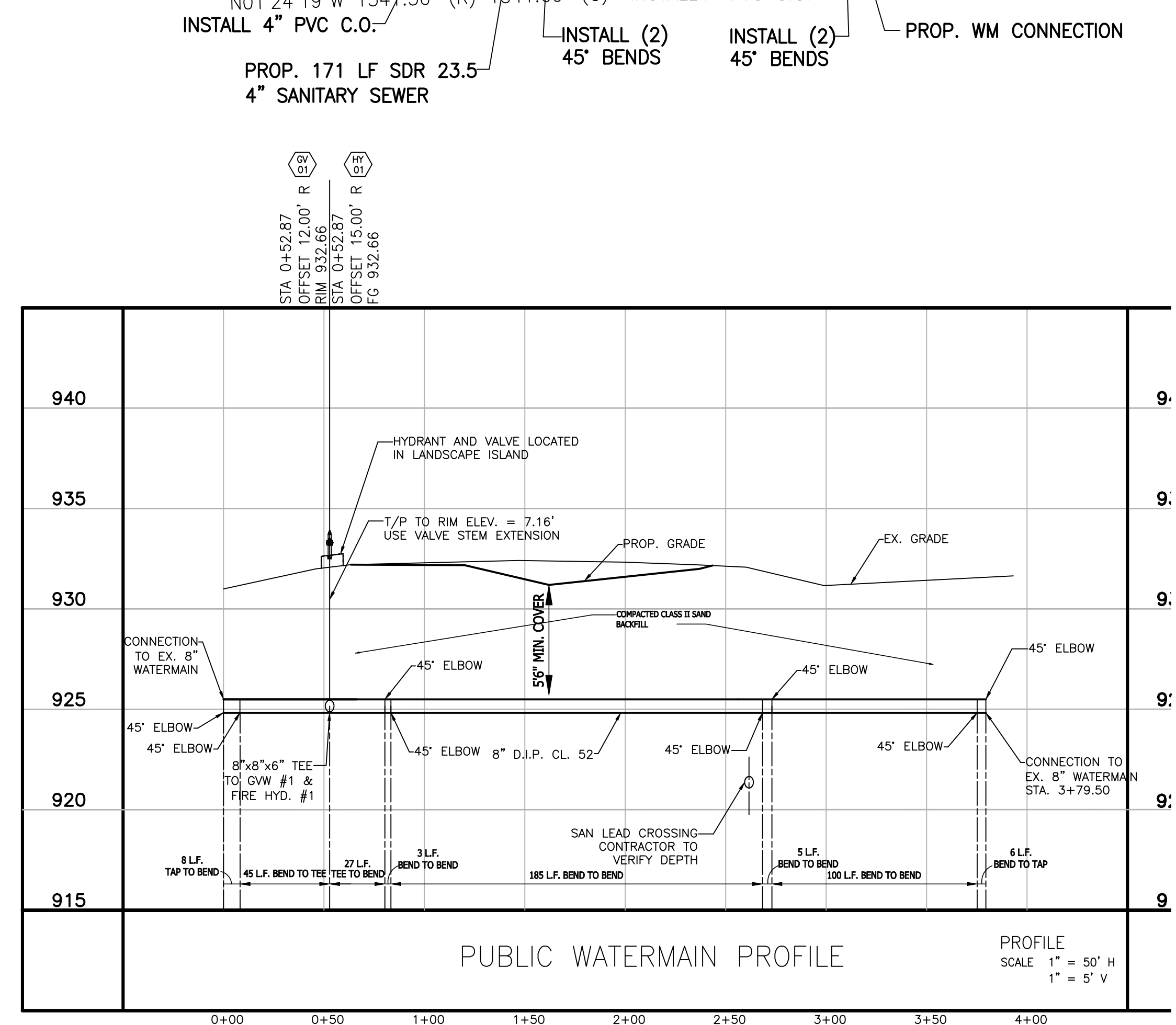
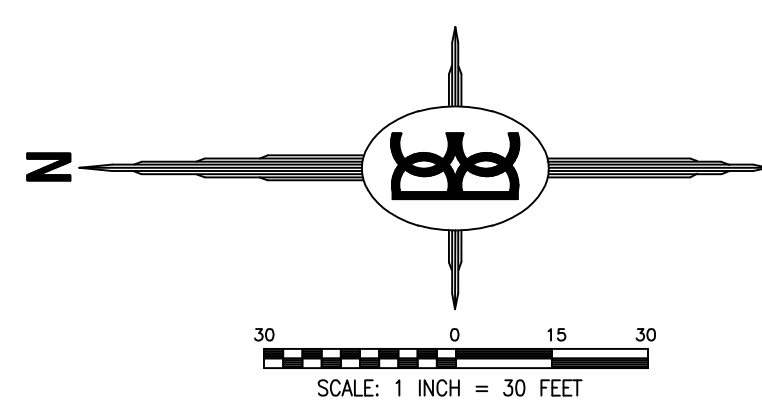
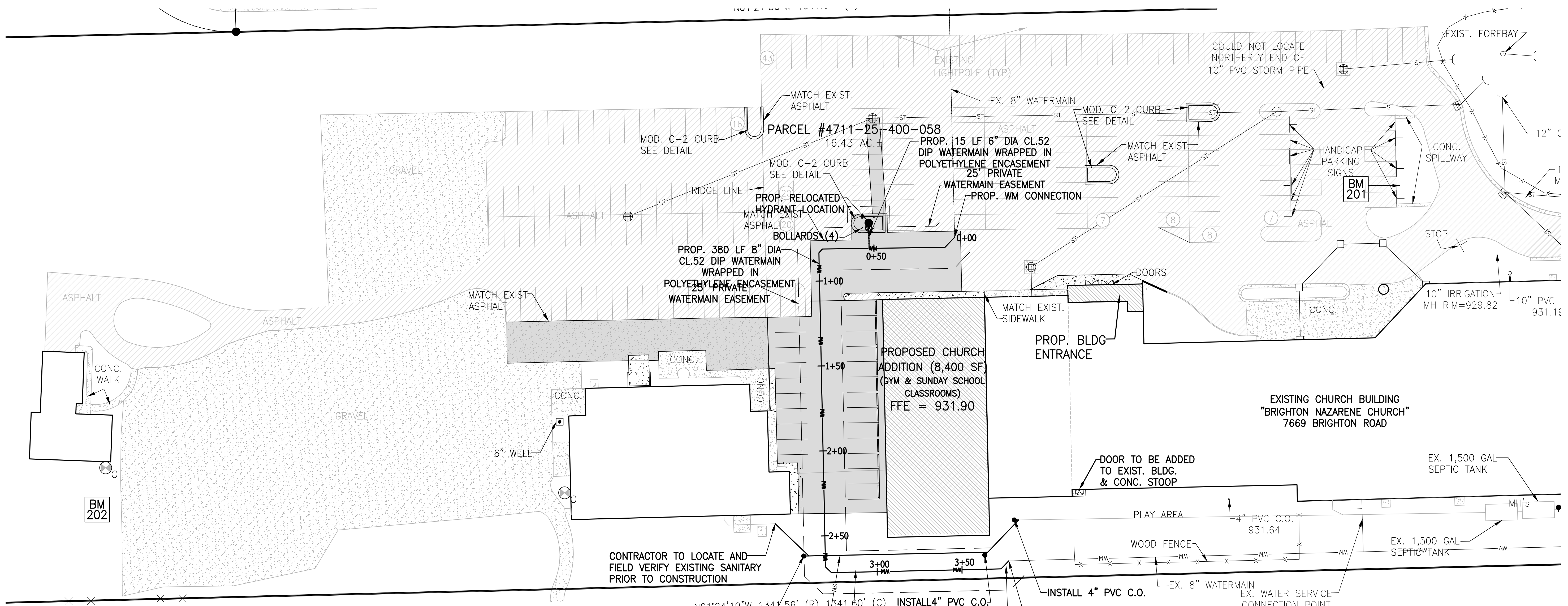
PROJECT: B.N.C. FACILITY EXPANSION
PREPARED FOR: BRIGHTON NAZARENE CHURCH

NO.	BY	REVISION PER	DATE

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SCALE: NO SCALE
JOB NO. 13-100
DATE: 6/27/13
SHEET NO. 8



BEFORE YOU DIG
CALL MISS DIG
1-800-368-3673



LEGEND

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
OH	OH	OVERHEAD WIRE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
○	○	MANHOLE
□	□	INLET / CATCHBASIN
⊂	⊂	FLARED END-SECTION
⊙	⊙	GATE VALVE
⊕	⊕	HYDRANT
⊖	⊖	UTILITY POLE
⊗	⊗	FENCE SIGN
⊘	⊘	WETLAND BOUNDARY
▒	▒	CONCRETE
▓	▓	ASPHALT
⊞	⊞	MODIFIED CURB
⊟	⊟	'NO PARKING FIRE LANE' SIGN

BOSS ENGINEERING
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS

3121 E. GRAND RIVER AVE.
 HOWELL, MI 48843
 (800) 246-6135 FAX (517) 948-1670

B.N.C. FACILITY EXPANSION
 BRIGHTON NAZARENE CHURCH
 7669 BRIGHTON ROAD
 BRIGHTON, MI 48116
 810-227-6600

PROJECT: B.N.C. FACILITY EXPANSION
 PREPARED FOR: BRIGHTON NAZARENE CHURCH
 TITLE: WATERMAIN PLAN & PROFILE

NO.	DATE	REVISION PER
5	5/14/14	ST
1	10/2/13	ST

DESIGNED BY: ST
 DRAWN BY: ST
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO. 13-100
 DATE: 9/12/13
 SHEET NO. 9

MEMORANDUM

TO: Township Board
FROM: Michael Archinal
DATE: 7/16/15
RE: 2015 Paving Projects

Attached you will find a bid package for two paving projects:

The Township Hall parking lot is 18 years old. The rear employee lot is in particularly bad shape and heaves several inches each winter creating a dangerous condition. The proposed fix in the rear parking lot is to remove and replace the existing asphalt install underdrains and install new aggregate base and asphalt. The upper lot will receive spot base repair and crack sealing and the remainder will be overbanded. Expected costs are \$81,000

We have approximately \$105,000 left over from the Tri-Lakes paving special assessment district. We are required to either spend or refund this money to the properties in the district. The roads are over 20 years old and are in relatively good shape. The proposed fix is to do spot base repair and treat with a slurry coat. I have spoken with the Livingston County Road Commission and they recommended that we pursue this as a permit job since the roads are a mixture of public and private.

HRC has developed this bid package for delivery to four different pre-selected contractors. We will have a bid opening on August 11, 2015.

Please consider the following action:

Moved by _____, supported by _____, to authorize a request for proposals for paving improvements to the Township Hall parking lot and Tri-Lakes roads as presented.

PROPOSAL
FOR
2015 PAVING IMPROVEMENT PROJECTS
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116

Bids Due: Tuesday, August 11, 2015
On or Before 3:00 PM, Local Time
HRC Job No. 20150455

To Prospective Bidders:

Name of Bidder: _____

Address: _____

Date: _____ Telephone: _____ Fax: _____

The above, as Bidder, hereby declares this bid is made in good faith without fraud or collusion with any persons bidding, and that the Drawings, Specifications, and all other information referenced in the Instructions to Bidders have been examined. Further, the Bidder is familiar with the location of the work described herein and is fully informed as to the nature of the work and the conditions relating to the performance of the Contract.

The Bidder acknowledges that no representations or warranties of any nature whatsoever have been received, or are relied upon from the Township, its agents or employees, as to any conditions to be encountered in accomplishing the work and that the bid is based solely upon the Bidder's own independent judgment.

The above, as Bidder, hereby certifies that the Drawings, Specifications, and other data provided by the Owner for bidding purposes have been examined. Further, the undersigned certifies that the proposed construction methods have been reviewed and found acceptable for the conditions which can be anticipated from the information provided for bidding.

The Bidder hereby affirms that the site of work has been inspected and further declares that no charges in addition to the Individual Unit Prices shall be made on account of any job circumstances or field conditions which were present and/or ascertainable prior to the bidding. In addition, The Contractor, as such and as Bidder, shall make the determination as to existing soil conditions and shall also complete the work under whatever conditions created by the Contractor/Bidder's sequence of construction, construction methods, or other conditions the Contractor/Bidder may create, at no additional cost to the Owner.

The above, as Bidder, confirms knowledge of the location of the proposed 2015 Paving Improvement Projects and appurtenant construction in the Township of Genoa, Livingston County, Michigan, and the conditions under which it must be constructed; and also declares to have carefully examined the Drawings, Specifications, and Contract Documents which the Bidder understands and accepts as sufficient for the purpose of constructing said 2015 Paving Improvement Projects, and appurtenant work, and agrees to contract with Township of Genoa to furnish all labor, materials, tools, equipment, facilities and supervision necessary to do all the work specified and prescribed for the Township of Genoa, in strict accordance with the Owner's

General Conditions, and with the full intent of the Drawings and Specifications, prepared by Hubbell, Roth & Clark, Consulting Engineers, and will accept in full payment therefore the sum of:

DIVISION A – TRI-LAKES SLURRY SEAL

<u>Item</u>	<u>Quantity</u>	<u>Unit Price</u>	<u>Total Cost</u>
1. Overbanding		@ Lump Sum	= \$ _____
2. Slurry Seal, Type II		@ Lump Sum	= \$ _____
3. Maintaining Traffic		@ Lump Sum	= \$ _____
4. Mobilization		@ Lump Sum	= \$ _____
Total Amount of Bid – Division A			\$ _____

DIVISION B – TOWN HALL PARKING LOT REHABILITATION

<u>Item</u>	<u>Quantity</u>	<u>Unit Price</u>	<u>Total Cost</u>
1. Pavement Removal	950 syd	@ _____	= \$ _____
2. Sub-grade Undercutting, 1x3	50 cyd	@ _____	= \$ _____
3. Edge Drain, 6"	300 lft	@ _____	= \$ _____
4. Geogrid, BX1100	950 syd	@ _____	= \$ _____
5. Aggregate Base, 21AA Crushed Concrete	400 ton	@ _____	= \$ _____
6. HMA, 13A MOD	300 ton	@ _____	= \$ _____
7. Pavement Repair	150 syd	@ _____	= \$ _____
8. Overbanding		@ Lump Sum	= \$ _____
9. Pavement Marking		@ Lump Sum	= \$ _____
10. Maintaining Traffic		@ Lump Sum	= \$ _____
11. Mobilization		@ Lump Sum	= \$ _____
Total Amount of Bid – Division B			\$ _____
Total Amount of Bid – Division A & B			\$ _____

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The Owner reserves the right to award the bid depending upon the availability of funds.

The Owner, at its sole discretion, reserves the right to award to the Bidder who, in the sole determination of the Owner, will best serve the interest of the Owner. The Owner reserves the right to accept any bid, to reject any or all bids, to waive any and all informalities involving price, time, or changes in the work, and to negotiate contract terms with the successful Bidder, and the right to disregard all nonconforming, nonresponsive, unbalanced or conditional bids. However, it is the intention of the Owner to award to the low total bid to one bidder. Also, the Owner reserves the right to reject the bid of any Bidder if the Owner believes that it would not be in the best interest of the Project to make an award to that Bidder, whether because the bid is not responsive or the Bidder is unqualified, of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by the Owner.

Each bidder agrees to waive any claim it has or may have against the Owner, the Architect/Engineer, and their respective employees, arising out of or in connection with the administration, evaluation, or recommendation of any bid.

TAXES

The Bidder affirms that all applicable Federal, State and Local taxes of whatever character and description are included in all prices stated in this Form of Proposal.

ADDENDA

The Bidder acknowledges the following Addenda, covering revisions to the drawings or specifications and the cost, if any, of such revision has been included in the quoted proposal:

Addendum No. _____ Dated _____
Addendum No. _____ Dated _____

FEES

The Bidder shall refer to the General Conditions for allowable Fees for additional work performed, upon Owner's written authorization, by Bidder's own forces and/or for additional work, upon Owner's written authorization, by Bidder's subcontractors.

TIME OF COMPLETION

If awarded the Contract for the 2015 Paving Improvement Projects, we agree to have all work, including final clean up, completed by October 15, 2015.

The Bidder hereby agrees to furnish the required Bonds, Insurance Certificates, and Policies within ten (10) days after acceptance of this Proposal.

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LIQUIDATED DAMAGES

Time is of the essence for completion of this project in order to have the Project ready for the Township of Genoa. The Bidder guarantees that the work will be completed within the time limit stated herein before or within the time as extended as provided elsewhere in the Specifications. Inasmuch as the damage and loss to the Owner which will result from the failure of the Bidder to complete the work within the stipulated time, will be most difficult or impossible to accurately determine, it is mutually agreed that the damages to the Owner for such delay and failure on the part of the Bidder shall be liquidated in the amount of five hundred dollars (\$500), for each and every calendar day by which the Bidder shall fail to complete the work or any part thereof within the provisions hereof, and such liquidated damages shall not be considered as a penalty.

The Owner will deduct and retain out of any money due or to become due hereunder the amount of the liquidated damages, and in case those amounts are less than the amount of actual liquidated damages, the Bidder shall pay the difference upon demand of the Owner.

We understand that liquidated damages may be assessed should we fail to meet the stipulated completion dates. Specifically, liquidated damages will be assessed daily beginning October 15, 2015 until such a time that Completion is achieved.

BIDS TO REMAIN FIRM

The price stated in this Proposal shall be guaranteed for a period of not less than 90 days from the bid due date and if authorized to proceed within that period, the bidder agrees to complete the work covered by the Proposal at said price.

If the undersigned enters into the contract in accordance with their proposal, or if their proposal is not accepted, then the accompanying bid guarantee shall be returned to the undersigned.

Company Name: _____

Signature: _____

Printed Name: _____ Title: _____

Address: _____

County: _____ State: _____

Telephone No.: _____ Fax No.: _____

Email Address: _____

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LEGAL STATUS OF BIDDER

This Bid is submittal in the name of:

(Print) _____

The undersigned hereby designates below the business address to which all notices, directions or other communications may be served or mailed:

Street _____

City _____

State _____ Zip Code _____

The undersigned hereby declares the legal status checked below:

- INDIVIDUAL
- INDIVIDUAL DOING BUSINESS UNDER AN ASSUMED NAME
The Assumed Name of the Co-Partnership is registered in the County of _____, Michigan
- CO-PARTNERSHIP
The Assumed Name of the Co-Partnership is registered in the County of _____, Michigan
- CORPORATION INCORPORATED UNDER THE LAWS OF THE STATE OF _____
_____. The Corporation is
- LICENSED TO DO BUSINESS IN MICHIGAN
- NOT NOW LICENSED TO DO BUSINESS IN MICHIGAN

The name, titles, and home addresses of all persons who are officers or partners in the organization are as follows:

A corporation duly organized and doing business under the laws of the State of _____

NAME AND TITLE	ADDRESS
_____	_____
_____	_____

Signed and Sealed this _____ day of _____, 20__.

By (Signature) _____

Printed Name of Signer _____

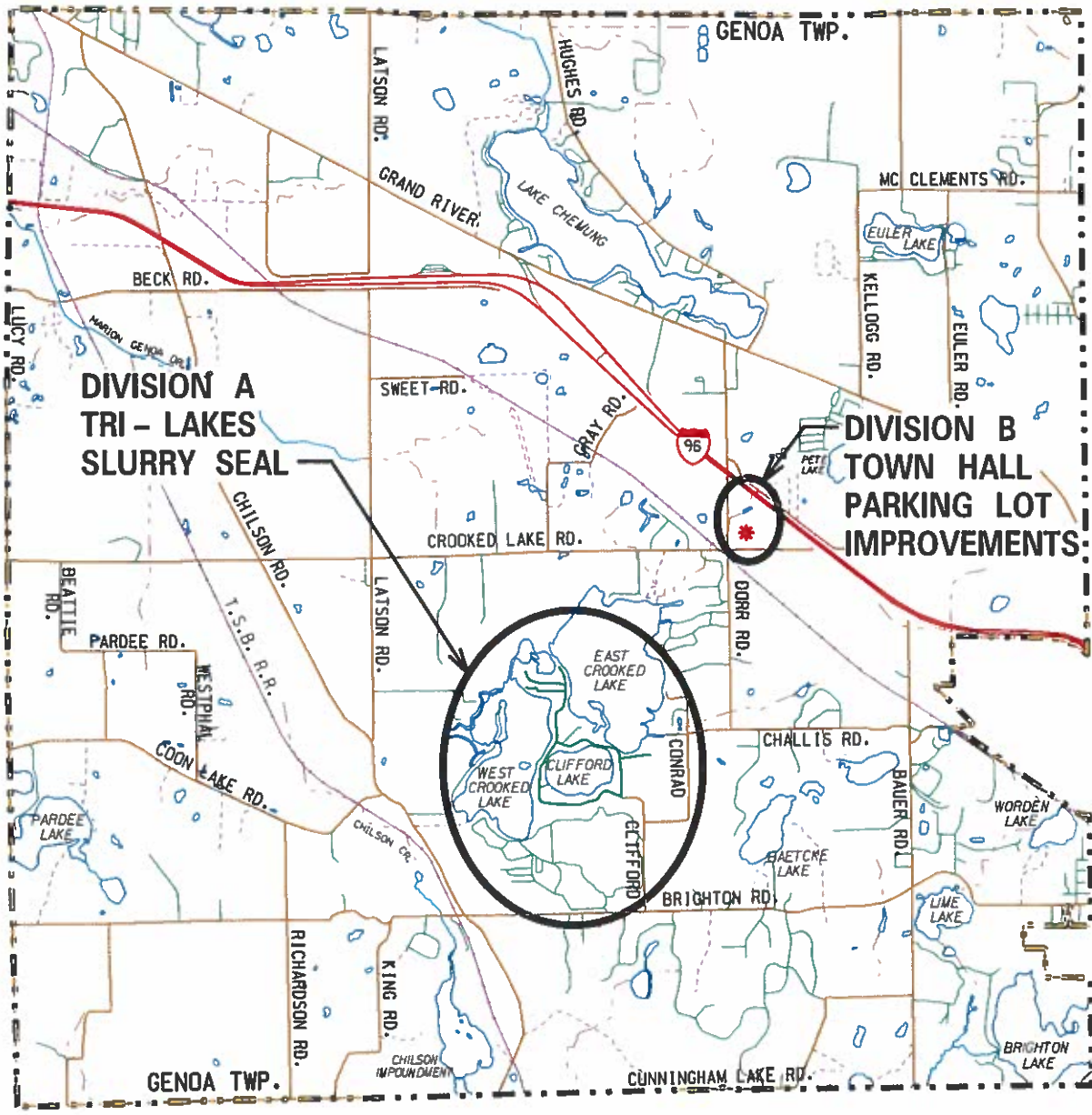
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*** GENOA TOWNSHIP HALL
 2911 DORR ROAD**



**LOCATION MAP
 GENOA CHARTER TOWNSHIP, LIVINGSTON COUNTY
 2015 PAVEMENT IMPROVEMENT PROJECTS**

JOB NO. 20150455	 CONSULTING ENGINEERS SINCE 1915	SHEET NO. 1
DATE JULY 2015		OF 7

105 W. GRAND RIVER AVE.
 HOWELL, MICH. 48843
 PHONE: (517) 552-9199
 FAX: (517) 552-6090
 WEB SITE: <http://www.hrc-engr.com>



LEGEND:

— STREETS TO BE OVERBANDED & SLURRY SEALED

- +/- 15,000 LFT



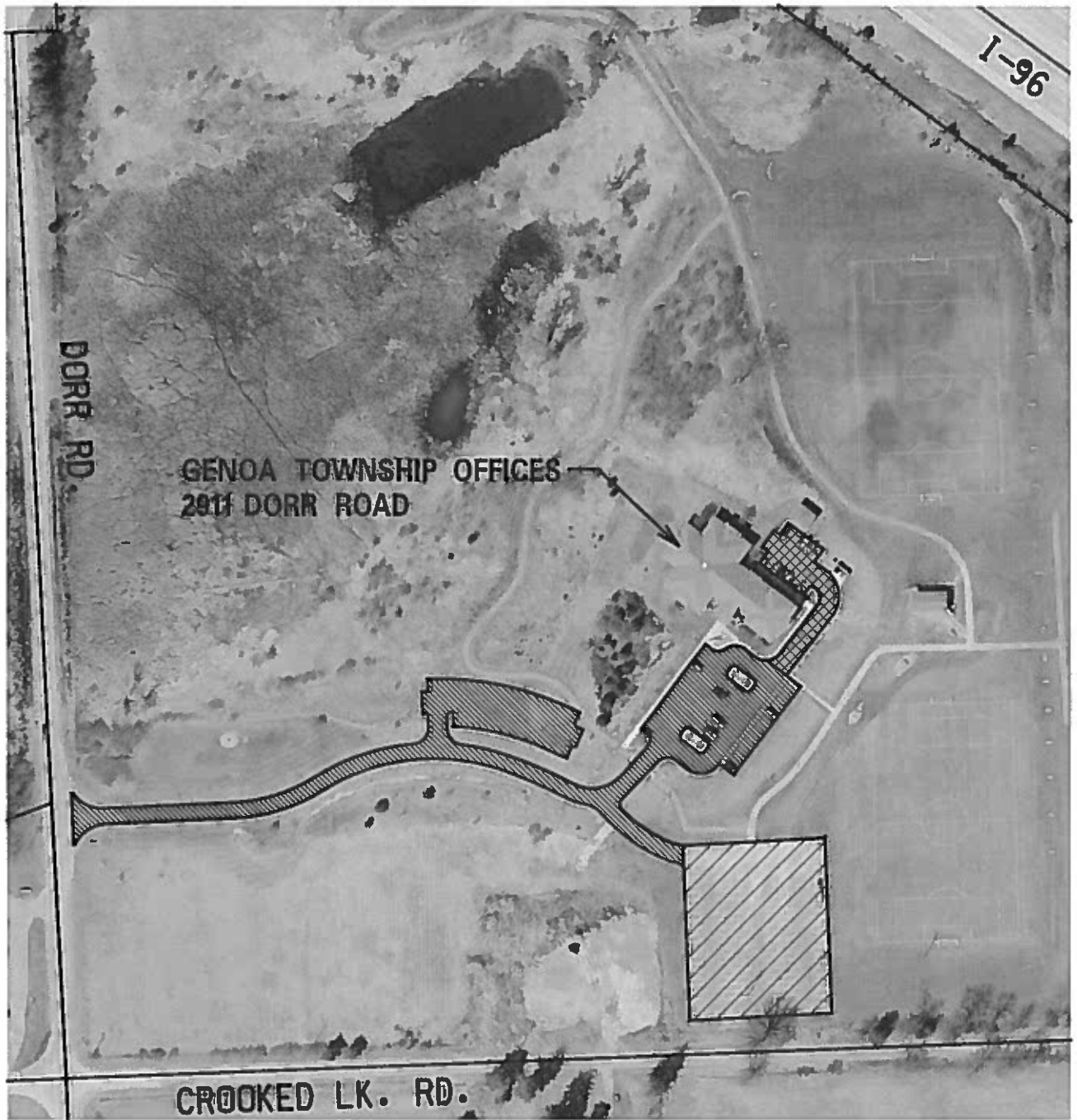
**TRI-LAKES SLURRY SEAL
 2015 PAVEMENT IMPROVEMENT PROJECTS**

JOB NO. 20150455
DATE JULY 2015

	105 W. GRAND RIVER AVE. HOWELL, MICH. 48843
	PHONE: (517) 552-9199 FAX: (517) 552-6099 WEB SITE: http://www.hrc-engr.com

SHEET NO. 2
OF 7

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GENOA TOWNSHIP OFFICES
 2011 DORR ROAD

DORR RD.

CROOKED LK. RD.

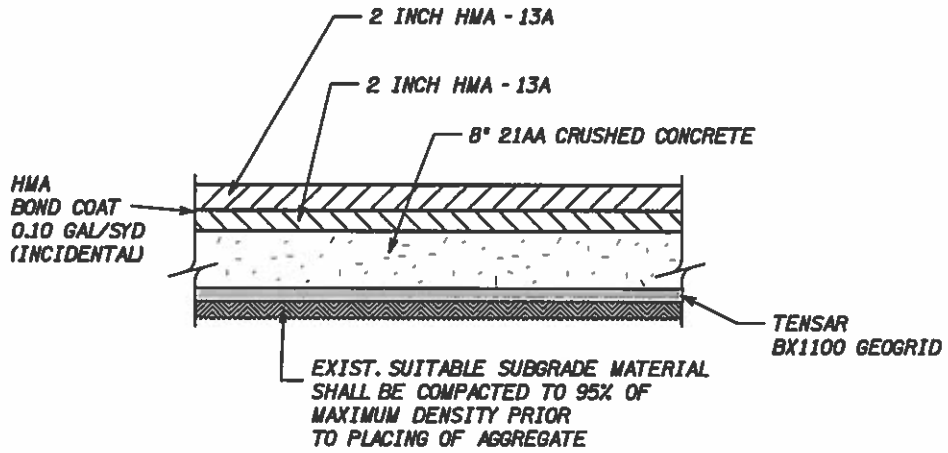
LEGEND:

-  - REMOVE & REPLACE EXISTING HMA AND AGGREGATE BASE
-  - PAVEMENT REPAIRS & OVERBANDING
-  - OVERBANDING



**TOWN HALL PARKING LOT IMPROVEMENTS
 2015 PAVEMENT IMPROVEMENT PROJECTS**

JOB NO. 20150455	 HRC 100 YEARS CONSULTING ENGINEERS SINCE 1915	105 W. GRAND RIVER AVE. HOWELL, MICH. 48843	SHEET NO.
DATE JULY 2015		PHONE: (517) 552-0189 FAX: (517) 552-6099 WEB SITE: http://www.hrc-engr.com	3 OF 7



HMA PAVEMENT SECTION

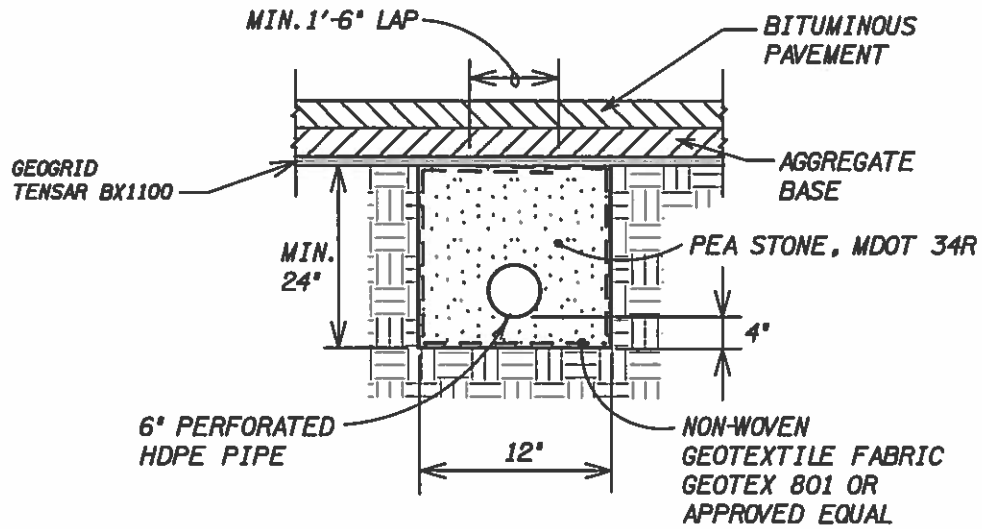
NO SCALE

TOWN HALL PARKING LOT IMPROVEMENTS 2015 PAVEMENT IMPROVEMENT PROJECTS

JOB NO. 20150455	 CONSULTING ENGINEERS SINCE 1915	SHEET NO. 4
DATE JULY 2015		OF 17

105 W. GRAND RIVER AVE.
HOWELL, MICH. 48843

PHONE: (517) 552-9199
FAX: (517) 552-6099
WEB SITE: [http:// www.hrc-engr.com](http://www.hrc-engr.com)




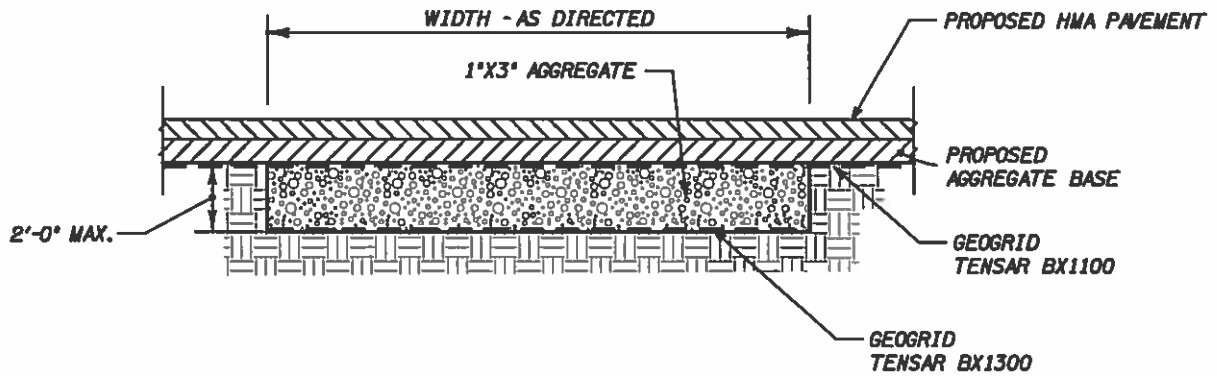
EDGE DRAIN DETAIL

NO SCALE

NOTE:

1. EXCAVATION, PEASTONE AND GEOTEXTILE SHALL BE INCLUDED IN THE UNIT COST FOR EDGE DRAIN, 6" - FT.
2. GEOGRID TO BE PAID FOR SEPARATELY.
3. LOCATION OF UNDERDRAIN TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
4. TAPPING THE EXISTING CATCH BASIN TO BE INCLUDED IN THE UNIT PRICE BID FOR EDGE DRAIN, 6"

TOWN HALL PARKING LOT IMPROVEMENTS 2015 PAVEMENT IMPROVEMENT PROJECTS		
JOB NO. 20150455	 <small>105 W. GRAND RIVER AVE. HOWELL, MICH. 48843</small> <small>PHONE: (517) 552-6199 FAX: (517) 552-6099 WEB SITE: http:// www.hrc-engr.com</small>	SHEET NO. 5
DATE JULY 2015		OF 1 7



SUBGRADE UNDERCUTTING DETAIL

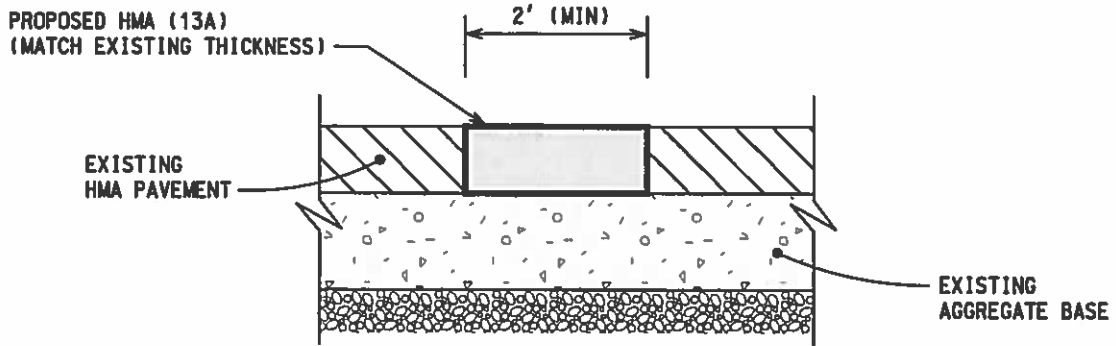
NO SCALE

NOTE:

1. EXCAVATION BEYOND THE BOTTOM OF THE PROPOSED AGGREGATE LAYER AND PLACEMENT OF THE 1"X3" AGGREGATE SHALL BE INCLUDED IN SUBGRADE UNDERCUTTING. - CYD.
2. BX1300 GEOGRID TO BE INCLUDED IN UNIT PRICE BID FOR SUBGRADE UNDERCUTTING.
3. BX1100 GEOGRID TO BE PAID FOR SEPARATELY.

TOWN HALL PARKING LOT IMPROVEMENTS 2015 PAVEMENT IMPROVEMENT PROJECTS

JOB NO. 20150455	105 W. GRAND RIVER AVE. HOWELL, MICH. 48843 PHONE: (517) 532-0199 FAX: (517) 532-6099 WEB SITE: http://www.hrc-engr.com	SHEET NO. 6
DATE JULY 2015	CONSULTING ENGINEERS SINCE 1915	OF 1 7




PAVEMENT REPAIR DETAIL

NO SCALE

NOTES:

1. LIMITS OF PAVEMENT REPAIR TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
2. SAWCUT & REMOVE PAVEMENT TO BE INCLUDED IN UNIT PRICE FOR PAVEMENT REPAIR -Syd.
3. CLEANING & PREPPING THE AGGREGATE BASE TO BE INCLUDED IN THE UNIT PRICE FOR PAVEMENT REPAIR -Syd.

TOWN HALL PARKING LOT IMPROVEMENTS 2015 PAVEMENT IMPROVEMENT PROJECTS		
JOB NO. 20150455		SHEET NO. 7
DATE JULY 2015		105 W. GRAND RIVER AVE. HOWELL, MICH. 48843 PHONE: (517) 552-0199 FAX: (517) 552-6098 WEB SITE: http:// www.hrc-engr.com
		OF 1 7

July 11, 2015

To: Genoa Township Board

From: Polly Skolarus, Clerk

Subject: Budget Amendments for July 20, 2015

At the regular meeting of the board on July 6, 2015 we reviewed budget amendments that were requested by my office. The board asked for further clarification and I am hopeful that his memo will provide insight into the budget transfers and amendments related to the individual funds. I have also included a summary of revenues and expenditures for all funds.

General Fund Budget 101:

The following expenditures will be deleted from Fund #101 and transferred to Fund #261 along with additional cash to pay for them out of the new fund:

Road Improvement	\$101,000.00
Dust Control	\$75,000.00

The transfer will be raised from \$250,000.00 to \$426,000.00 to allow for payment.

Road Fund 261:

The Road Improvement Fund #261 will receive \$426,000.00 from the General Fund #101 to allow for payment of Chloride and Road Improvements to Golf Club, Mt. Brighton, and Red Oaks that were previously paid from the General Fund #101.

The amendment to Fund #261 will also allow for expenditures as follows:

North Shore -	\$14,000.00 -	25% funding
Grand Oaks -	\$200,000.00 -	Contribution
Golf Club -	\$50,500.00 -	Contract with LCRC
McClements -	\$18,000.00 -	Contract with LCRC
Timberview -	\$48,000.00 -	25% funding
Chloride -	\$75,000.00 -	Regular business
Mt. Brighton -	\$5,000.00 -	Crack sealing
Red Oaks -	\$10,000.00 -	Crack sealing & ditching

Road/Lake/Lighting Reimbursement Fund 264:

I am asking for an increase from \$250,000.00 to \$350,000.00 to allow for three tentative road improvement projects within this fund. The Road/Lake/Lighting Reimbursement Fund #264 will finance Timberview, Grand Oaks Drive and Homestead Drive. Sunrise Park will be included in next year's budget. The budget for Fund #264 also provides for revenue reimbursement related to the S.A.D.'s should the projects move forward.

Tentative Expenditures for Fund #264 are as follows:

Grand Oaks Drive	\$700,000.00 (L.C.R.C. donation additional)
Timberview	\$260,000.00
Homestead Drive	\$200,000.00

Parks and Recreation fund #270:

The recreation line item will be deleted from General Fund #101 and the expenditure and cash will be transferred to Fund #270 to allow for payment to SELCRA and Howell Area Parks and Recreation. There is a slight increase from the original budget of \$135,000.00 to \$142,500.00 to allow for the additional money the Township approved for SELCRA to allow SELCRA to continue servicing recreation needs in the Brighton area.

Cemetery/Building Reserve fund #271:

The General Fund Budget #101 that was approved in March allowed for a \$50,000.00 transfer to Building and Grounds Fund #271. I am asking for an increase of \$25,000.00 in this transfer to allow for payment of a parking improvement of \$85,000.00 at the township hall (previously approved by the board).

The Chilson Hills Cemetery is nearly depleted. We have maybe four more full grave sites and a few cremains sites available. The board has acknowledged this need and property was purchased to accommodate a new cemetery within the township. We were recently contacted by St. George Lutheran Church to perhaps do a joint effort with them. Gary and I met with their representatives and it appears that we may be able to accomplish our goal in a much more economical fashion than to start from scratch to create a new cemetery. We had one meeting with them and many issues were raised as to access and a name addition. The second meeting was cancelled and has not as yet been re-scheduled. I am asking that \$45,000.00 be added to the budget for fund #271 should this project move forward. *(Please know that no money will be expended without full board approval of all plans and conditions.)*

GENOA TOWNSHIP
 GENERAL & SPECIAL REVENUE FUNDS
 SUMMARY OF REVENUES/EXPENDITURES - BUDGETED FOR FYE 3/31/2016

	#101 GENERAL FUND	#212 LIQUOR LAW FUND	#261 FUTURE RD IMPROVEMENT	#264 RD/LK IMPR ADV. FUND	#270 PARKS/REC. FUND	#271 BLDG/GROUND RES. FUND	TOTAL ALL FUNDS
REVENUES	4,303,500	13,000	427,000	888,300	606,400	75,300	6,313,500
EXPENDITURES	4,746,700	13,504	422,500	1,327,800	1,091,000	131,000	7,732,504
NET REVENUES/EXPENDITURES	(443,200)	(504)	4,500	(439,500)	(484,600)	(55,700)	(1,419,004)
BEGINNING FUND BALANCE 04/01/2015	1,994,320	414	1,188,091	974,677	582,395	271,645	5,011,542 ***
ENDING FUND BALANCE 3/31/2016	1,551,120	(90)	1,192,591	535,177	97,795	215,945	3,592,538

***Estimates pending audit adjustments

BUDGET FOR FISCAL YEAR ENDING 03/31/2016 G.F. 101

APPROVED: 03/16/2015

1st amendment 07/06/2015

ACCT #	ACCOUNT DESCRIPTION						7/20/2015
		ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016	1st AMENDMENT BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016
REVENUES							
000-403-000	CURRENT REAL PROP TAXES	821,190.00	834,055	814,616	797,446	845,000	845,000
000-423-000	COLLECT FEES/EXCESS OF ROLL/SCHOOLS	318,946.00	315,451	323,767	313,093	350,000	350,000
000-476-100	LINCESSES AND PERMITS/CABLE FRANCHISE FEES	318,111.00	338,143	351,874	371,686	380,000	380,000
000-477-000	METRO ACT FEES	13,500.00	12,268	11,212	13,500	13,000	13,000
000-480-000	TRAILER FEES	3,301.00	3,307	3,310	2,707	3,500	3,500
000-574-000	STATE SHARED REVENUES	1,630,181.00	1,441,910	1,477,501	1,540,618	1,650,000	1,650,000
000-608-000	CHARGES FOR SERVICES - APPLICA. FEES	28,575.00	34,667	28,732	60,727	50,000	50,000
000-631-000	REFUSE COLLECTION FEES	731,289.00	761,543	762,623	767,616	800,000	800,000
000-664-000	INTEREST INCOME	17,353.00	10,984	7,083	2,933	6,000	6,000
000-676-000	ADMIN FEE/DPW FUND	50,000.00	50,000	50,000	51,500	52,500	52,500
000-676-100	ADMIN FEE/LIQUOR LAW FUND	3,500.00	3,500	3,500	3,500	3,500	3,500
000-678-300	TAXES ON LAND TRANSFER - BRIGHTON/HOWELL	138,732.00	140,755	122,869	127,904	140,000	140,000
000-699-001	CEMETERY, SCHOOLS, ELECTIONS, MISC.	15,251.00	4,221	25,004	4,073	10,000	10,000
000-699-002	TRANSFER IN FROM OTHER FUNDS	79,000.00		1,862			
	TOTAL REVENUES	4,168,929	3,950,804	3,983,953	4,057,303	4,303,500	4,303,500
EXPENDITURES & TRANSFERS OUT TO OTHER FUNDS							
101-703-000	TRUSTEES - SALARIES	20,655.00	23,593	27,705	27,730	35,000	35,000
171-703-000	SUPERVISOR - SALARY	49,980.00	49,980	51,479	52,500	53,400	53,400
191-703-000	ELECTION - SUPPLIES/SALARIES	20,526.00	67,216	25,046	50,356	30,000	30,000
209-703-000	CONTRACTUAL - SALARIES	300,696.00	323,366	337,860	337,298	345,000	345,000
210-801-000	PROFESSIONAL - LEGAL	88,883.00	128,713	107,757	68,375	100,000	100,000
215-703-000	CLERK - SALARY	48,980.00	48,980	50,500	51,500	52,400	52,400
223-801-000	PROFESSIONAL - AUDITOR	16,850.00	16,800	17,600	21,100	22,500	22,500
241-801-000	PROFESSIONAL - ENGR./PLANNING	48,645.00	43,954	42,272	12,985	80,000	80,000
247-703-000	BOARD OF REVIEW - SALARIES	4,877.00	2,875	2,675	2,250	10,000	10,000
247-964-000	TAX CHARGEBACKS	20,848.00	19,023	15,682	5,774	20,000	20,000
253-703-000	TREASURER - SALARY	48,980.00	48,980	50,500	51,500	52,400	52,400
265-775-000	REPAIRS AND MAINTENANCE	83,665.00	93,676	146,599	83,571	125,000	125,000
265-910-000	INSURANCE	236,566.00	219,201	259,377	254,340	300,000	300,000
265-920-000	UTILITIES - ELECTRIC/GAS	19,356.00	20,425	22,719	19,983	20,000	20,000
284-703-000	SALARIES - OTHER	250,861.00	271,043	308,655	311,975	355,000	355,000
284-704-000	RETIREMENT	90,162.00	85,069	95,298	87,070	105,000	105,000

ACCT #	ACCOUNT DESCRIPTION	ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016	7/20/2015 1st AMENDMENT BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016
284-715-000	PAYROLL TAXES - FICA/MEDICARE	62,557.00	56,806	67,604	62,046	75,000	75,000
284-720-000	MESC - UNEMPLOYMENT TAXES					20,000	20,000
284-727-000	PRTG., POSTAGE, OFFICE SUPPLIES	72,499.00	74,889	86,219	92,493	85,000	85,000
284-728-000	ECONOMIC DEVELOPMENT		20,000	20,000	20,000	21,500	21,500
284-850-000	TELEPHONE	20,791.00	23,105	21,775	18,056	25,000	25,000
284-861-000	MILEAGE & TRAVEL EXPENSES	12,202.00	12,312	17,996	14,435	20,000	20,000
284-957-000	DUES	17,726.00	18,855	17,622	19,702	25,000	25,000
284-958-000	MTG. FEES & MISC EXPENSES	12,011.00	19,311	13,194	17,791	25,000	25,000
284-959-000	APPLICATION FEES EXPENSES	12,275.00	21,227	28,800	42,233	35,000	35,000
284-959-001	SALARIES - PLANNING COMMISSION/ZBA	27,344.00	27,491	29,754	18,787	32,000	32,000
301-703-000	ORDINANCE OFFICER - SALARY	44,710.00	46,035	44,105	46,365	50,000	50,000
336-999-001	FIRE SUB STATION EXPENSES	6,861.00	991	359		2,000	2,000
441-801-010	ROAD IMPROVEMENT	226,182.00	116,695	194,572	224,361	101,000	x
441-803-000	REFUSE COLLECTION	902,699.00	923,332	931,751	970,891	962,000	962,000
441-804-000	DUST CONTROL/CHLORIDE	48,806.00	66,307	55,621	55,861	75,000	x
441-971-000	WHITE PINES ST. LIGHTING	746.00	751				
751-881-000	RECREATION	68,698.00	64,453	128,324	131,426	135,000	x
916-962-000	DRAINS AT LARGE	28,799.00	23,201	24,908	25,911	30,000	30,000
929-977-000	CAPITAL OUTLAY	27,515.00	64,210	88,266	28,079	90,000	90,000
966-999-010	TRANS - OUT FUTURE RD IMPROVEMENT #261	90,031.00	200,000	250,000	250,000	250,000	X 426,000
966-999-011	TRANS - OUT SELCRA REIMB. FUND		10,000				
966-999-013	TRANS - OUT ROAD PROJECTS FUND #264	10,000.00	350,000	500,000	250,000	250,000	x 450,000
966-999-027	TRANS - OUT PARKS & RECREATION #270	200,000.00	379,000	250,000	350,000	450,000	x 592,500
966-999-028	TRANS - OUT BLDG. & GR. CEMETERY #271	725,000.00	-	200,000		50,000	x 75,000
966-999-110	CONTINGENCIES	60,000.00				50,000	x
	TOTAL EXPENDITURES/TRANSFERS OUT	4,027,982	3,981,865	4,532,594	4,076,744	4,564,200	4,746,700
	REVENUES OVER (UNDER) EXPENDITURES						
	& TRANSFERS OUT	140,947	(31,061)	(548,641)	(19,441)	(260,700)	(443,200)
	BEGINNING FUND BALANCE	2,452,516	2,593,463	2,562,402	2,013,761	1,867,661	1,994,320
	ENDING FUND BALANCE	2,593,463	2,562,402	2,013,761	1,994,320	1,606,961	1,551,120

GENOA TOWNSHIP - LIQUOR LAW FUND #212
 BUDGET TO ACTUAL REPORT
 BUDGETS FOR THE YEARS ENDING 3/31/2014 & 3/31/2015
 APPROVED 03/16/2015

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR YEAR ENDING 3/31/2012	ACTUAL FOR YEAR ENDING 3/31/2013	ACTUAL FOR YEAR ENDING 03/31/2014.	APPROVED BUDGET FOR THE YEAR ENDING 3/31/2015	ACTUAL AS OF 3/2/2015	PROJECTED BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES							
000-570-000	STATE SHARED REVENUE	13,018	12,871	12,328	12,000	13,034	13,000
000-664-000	INTEREST INCOME						
000-695-000	OTHER INCOME						
	TOTAL REVENUES	13,018	12,871	12,328	12,000	13,034	13,000
EXPENDITURES							
000-956-000	MISC. EXPENSE/AUDIT	500	350	300	300	300	300
330-702-000	LIQUOR LAW ENFORCEMENT WAGES	8,000	8,000	8,240	8,240	6,180	8,240
330-704-000	RETIREMENT	800	800	824	824	618	824
330-715-000	PAYROLL TAXES	640	640	700	700	525	640
330-716-000	LIQ. LAW ADMIN FEES - GENOA	3,500	3,500	3,500	3,500	2,625	3,500
	TOTAL EXPENDITURES	13,440	13,290	13,564	13,564	10,248	13,504
	NET REVENUES/EXPENDITURES	(422)	(419)	(1,236)	(1,564)	2,786	(504)
	BEGINNING FUND BALANCE	3,021	2,599	2,180	944	944	414
	ENDING FUND BALANCE	2,599	2,180 0	944 0	(620)	3,730	(90)

GENOA TOWNSHIP - ROAD IMPROVEMENT FUND #261
 BUDGET TO ACTUAL REPORT
 APPROVED 03/16/2015
 AMENDED 07/06/2015

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR YEAR ENDING 12/31/2012	ACTUAL FOR YEAR ENDING 3/31/2013	ACTUAL FOR YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE YEAR ENDING 3/31/2016	7/20/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES							
000-664-000	INTEREST INCOME	0	900	520	800	1,000	1,000
000-699-000	OPERATING TRANSFER IN (G/F)	200,000	200,000	389,416	250,000	250,000	426,000
	TOTAL REVENUES	200,000	200,900	389,936	250,800	251,000	427,000
EXPENDITURES							
441-968-000	I/96 LATSON INTERCHANGE	277,239	537,703				
906-968-001	COON LAKE OVELAY			283,763			
470-802-000	NORTH SHORE ROAD IMPROVEMENT					X	14,000 North Shore
471-803-000	GRAND OAKS ROAD IMPROVEMENT					X	200,000 Grand Oaks
472-804-000	GOLF CLUB					X	50,500 Golf Club
473-805-000	MCCLEMENTS					X	18,000 McClements
467-801-000	TIMBERVIEW					X	48,000 Timberview
441-804-000	DUST CONTROL					X	75,000
476-808-000	MT. BRIGHTON					X	5,000 Mt. Brighton
476-808-000	RED OAKS					X	10,000 Red Oaks
906-956-000	MISC/AUDIT	535	657	718	1,985	2,000	2,000
	TOTAL EXPENDITURES	277,774	538,360	284,481	1,985	2,000	422,500
	NET REVENUES/EXPENDITURES	(77,774)	(337,460)	105,455	248,815	249,000	4,500
	BEGINNING FUND BALANCE	1,249,055	1,171,281	833,821	939,276	1,187,776	1,188,091
	ENDING FUND BALANCE	1,171,281	833,821	939,276	1,188,091	1,436,776	1,192,591

xx 5/3 BANK CHARGING \$24.00 A MONTH FOR STATEMENT

GENOA TOWNSHIP - ROAD/LAKE/LIGHTING REIMBURSEMENT FUND #264
 BUDGETS FOR THE YEARS ENDING 3/31/2015 & 2016
 APPROVED 03/16/2015
 AMENDED 07/06/2015

ACCOUNT NO.	ACCOUNT DESCRIPTION	Expiration	ACTUAL FOR THE YEAR THRU 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	PROJECTED BUDGET FOR THE YEAR ENDING 3/31/2016	7/20/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUE								
000-664-000	INTEREST INCOME		913	558	918	811	1,000	1,000
453-672-000	ASSESSMENTS - CHEMUNG WEED	Jul-17	32,614	31,813	58,649	52,408	51,000	51,000
460-672-100	ASSESSMENTS - PARDEE LAKE 2	Dec-15	25,200	28,636	24,055	19,775	24,000	24,000
465-672-000	ASSESSMENTS - CROOKED LAKE WEED	Jul-17		0	21,272	22,510	22,000	22,000
464-672-000	ASSESSMENTS - FENDT DRIVE	Dec-12	37,962	35,463				
468-676-000	GLENWAY	Dec-16		16,186	17,861	15,628	16,000	16,000
467-675-000	TIMBERVIEW	Dec-20					55,000	61,000
465-673-000	RED OAKS	Dec-23		2,469	69,149	60,267	58,500	58,500
469-677-000	WHITE PINES	N/A			758	849	800	800
470-678-000	NORTH SHORE ROADS	Dec-15					X	12,000
470-682-000	NORTH SHORE ROADS ASSOCIATIONS	Jul-15					X	12,000
471-679-000	GRAND OAKS	Dec-20					X	140,000
474-682-000	SUNRISE PARK	Dec-21						
475-683-000	HOMESTEAD DRIVE	Dec-20					X	40,000
000-699-000	OPERATING TRANS IN FROM GF			350,000	500,000	250,000	250,000	X 450,000
000-695-000	Other/Misc.			3,500				
	TOTAL REVENUES		<u>96,689</u>	<u>468,625</u>	<u>692,662</u>	<u>422,248</u>	<u>478,300</u>	<u>888,300</u>
EXPENDITURES								
453-801-000	LAKE CHEMUNG WEEDS		52,818	46,616	48,222	43,727	60,000	60,000
460-801-000	PARDEE LAKE WEEDS		19,260	26,360	25,095	30,071	30,000	30,000
465-801-000	EAST AND WEST CROOKED LAKE WEEDS			4,673	47,226	8,906	50,000	50,000
465-802-000	RED OAKS			25,194	740,703			
468-801-000	GLENWAY			107,904				
466-801-000	MOUNTAIN/MYSTIC/MILROY			3,362				
467-801-000	TIMBERVIEW					6,170	305,000	260,000 tentative
469-801-000	WHITE PINES				700	824	800	800
470-802-000	NORTH SHORE ROADS						X	24,000
471-803-000	GRAND OAKS DRIVE						X	700,000 tentative
474-806-000	SUNRISE PARK/private 2016 project							
475-807-000	HOMESTEAD DRIVE/private						X	200,000 tentative
451-695-000	MISC./AUDIT		1,700	2,559	2,638	2,599	3,000	3,000
	TOTAL EXPENDITURES		<u>73,778</u>	<u>216,668</u>	<u>864,584</u>	<u>92,297</u>	<u>448,800</u>	<u>1,327,800</u>
	NET REVENUES/EXPENDITURES		22,911	251,957	(171,922)	329,951	29,500	(439,500)
	BEGINNING FUND BALANCE		<u>541,780</u>	<u>564,691</u>	<u>816,648</u>	<u>644,726</u>	<u>919,326</u>	<u>974,677</u>
	ENDING FUND BALANCE		<u>564,691</u>	<u>816,648</u>	<u>644,726</u>	<u>974,677</u>	<u>948,826</u>	<u>535,177</u>

GENOA TOWNSHIP-FUTURE DEV. PARKS & REC. FUND #270
 BUDGET TO ACTUAL REPORT
 BUDGETS FOR THE YEARS ENDING 3/31/2015 & 3/31/2016
 AMENDED 07/06/2015

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR THE YEAR ENDING 3/31/2011	ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR BUDGET ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	APPROVED BUDGET FOR THE YEAR ENDING 3/31/2016	7/20/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES								
000-664-000	INTEREST INCOME	1,409	2,152	2,561	1,219	1,862	2,000	2,000
000-699-000	OPERATING TRANS IN FROM GF	350,000	725,000	379,000	250,000	350,000	450,000 X	592,500
000-680-000	RENT			9,200	12,750	10,450	11,400	11,400
000-699-001	MISC REVENUE			30,851			500	500
	TOTAL REVENUES	351,409	727,152	421,612	263,969	362,312	463,900	606,400
EXPENDITURES								
330-696-000	ATHLETIC FIELD - LIGHTING, PLAY GR EQ	200,470		62,570	91,569	17,000	70,000	70,000
330-697-000	BIKE PATH ADDITIONS	146,426		49,392	1,573	168,258	500,000	500,000
536-972-200	I-96 INTERCHANGE WALK/CROSSWALK SIGNAL			80,392	391,232	10,000	0	0
536-972-100	LAND PURCHASE			206,223			250,000	250,000
330-694-000	HOUSE EXPENSES/TAXES			6,173		1,391	2,000	2,000
265-775-000	MAINTENANCE/SNOW REMOVAL/GRASS/RESTROOMS					48,605	50,000	50,000
241-801-000	ATTORNEY/ENGINEERING					30,000	75,000	75,000
330-701-000	SELGRA/HOWELL PARKS AND REC						X	142,500
330-695-000	MISC/AUDIT	790	1,090	2,047	800	1,500	1,500	1,500
	TOTAL EXPENDITURES	347,686	1,090	406,797	485,174	276,754	948,500	1,091,000
	NET REVENUES/EXPENDITURES	3,723	726,062	14,815	(221,205)	85,558	(484,600)	(484,600)
	BEGINNING FUND BALANCE	385,687	389,410	703,227	718,042	496,837	557,237	582,395
	ENDING FUND BALANCE	389,410	703,227	718,042	496,837	582,395	72,637	97,795

parks and rec 270/excel

Previous Budget

ACCT #	ACCOUNT DESCRIPTION	ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016	7/6/2015 1st AMENDMENT BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016
REVENUES							
000-403-000	CURRENT REAL PROP TAXES	821,190.00	834,055	814,616	797,446	845,000	845,000
000-423-000	COLLECT FEES/EXCESS OF ROLL/SCHOOLS	318,946.00	315,451	323,767	313,093	350,000	350,000
000-476-100	LINCESES AND PERMITS/CABLE FRANCHISE FEES	318,111.00	338,143	351,874	371,686	380,000	380,000
000-477-000	METRO ACT FEES	13,500.00	12,268	11,212	13,500	13,000	13,000
000-480-000	TRAILER FEES	3,301.00	3,307	3,310	2,707	3,500	3,500
000-574-000	STATE SHARED REVENUES	1,630,181.00	1,441,910	1,477,501	1,540,618	1,650,000	1,650,000
000-608-000	CHARGES FOR SERVICES - APPLICA. FEES	28,575.00	34,667	28,732	60,727	50,000	50,000
000-631-000	REFUSE COLLECTION FEES	731,289.00	761,543	762,623	767,616	800,000	800,000
000-664-000	INTEREST INCOME	17,353.00	10,984	7,083	2,933	6,000	6,000
000-676-000	ADMIN FEE/DPW FUND	50,000.00	50,000	50,000	51,500	52,500	52,500
000-676-100	ADMIN FEE/LIQUOR LAW FUND	3,500.00	3,500	3,500	3,500	3,500	3,500
000-678-300	TAXES ON LAND TRANSFER - BRIGHTON/HOWELL	138,732.00	140,755	122,869	127,904	140,000	140,000
000-699-001	CEMETERY, SCHOOLS, ELECTIONS, MISC.	15,251.00	4,221	25,004	4,073	10,000	10,000
000-699-002	TRANSFER IN FROM OTHER FUNDS	79,000.00		1,862			
	TOTAL REVENUES	4,168,929	3,950,804	3,983,953	4,057,303	4,303,500	4,303,500
EXPENDITURES & TRANSFERS OUT TO OTHER FUNDS							
101-703-000	TRUSTEES - SALARIES	20,655.00	23,593	27,705	27,730	35,000	35,000
171-703-000	SUPERVISOR - SALARY	49,980.00	49,980	51,479	52,500	53,400	53,400
191-703-000	ELECTION - SUPPLIES/SALARIES	20,526.00	67,216	25,046	50,356	30,000	30,000
209-703-000	CONTRACTUAL - SALARIES	300,696.00	323,366	337,860	337,298	345,000	345,000
210-801-000	PROFESSIONAL - LEGAL	88,883.00	128,713	107,757	68,375	100,000	100,000
215-703-000	CLERK - SALARY	48,980.00	48,980	50,500	51,500	52,400	52,400
223-801-000	PROFESSIONAL - AUDITOR	16,850.00	16,800	17,600	21,100	22,500	22,500
241-801-000	PROFESSIONAL - ENGR./PLANNING	48,645.00	43,954	42,272	12,985	80,000	80,000
247-703-000	BOARD OF REVIEW - SALARIES	4,877.00	2,875	2,675	2,250	10,000	10,000
247-964-000	TAX CHARGEBACKS	20,848.00	19,023	15,682	5,774	20,000	20,000
253-703-000	TREASURER - SALARY	48,980.00	48,980	50,500	51,500	52,400	52,400
265-775-000	REPAIRS AND MAINTENANCE	83,665.00	93,676	146,599	83,571	125,000	125,000
265-910-000	INSURANCE	236,566.00	219,201	259,377	254,340	300,000	300,000
265-920-000	UTILITIES - ELECTRIC/GAS	19,356.00	20,425	22,719	19,983	20,000	20,000
284-703-000	SALARIES - OTHER	250,861.00	271,043	308,655	311,975	355,000	355,000
284-704-000	RETIREMENT	90,162.00	85,069	95,298	87,070	105,000	105,000

ACCT #	ACCOUNT DESCRIPTION	ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016	7/6/2015 1st AMENDMENT BUDGET FOR THE FISCAL YEAR ENDING 3/31/2016
284-715-000	PAYROLL TAXES - FICA/MEDICARE	62,557.00	56,806	67,604	62,046	75,000	75,000
284-720-000	MESC - UNEMPLOYMENT TAXES					20,000	20,000
284-727-000	PRTG., POSTAGE, OFFICE SUPPLIES	72,499.00	74,889	86,219	92,493	85,000	85,000
284-728-000	ECONOMIC DEVELOPMENT		20,000	20,000	20,000	21,500	21,500
284-850-000	TELEPHONE	20,791.00	23,105	21,775	18,056	25,000	25,000
284-861-000	MILEAGE & TRAVEL EXPENSES	12,202.00	12,312	17,996	14,435	20,000	20,000
284-957-000	DUES	17,726.00	18,855	17,622	19,702	25,000	25,000
284-958-000	MTG. FEES & MISC EXPENSES	12,011.00	19,311	13,194	17,791	25,000	25,000
284-959-000	APPLICATION FEES EXPENSES	12,275.00	21,227	28,800	42,233	35,000	35,000
284-959-001	SALARIES - PLANNING COMMISSION/ZBA	27,344.00	27,491	29,754	18,787	32,000	32,000
301-703-000	ORDINANCE OFFICER - SALARY	44,710.00	46,035	44,105	46,365	50,000	50,000
336-999-001	FIRE SUB STATION EXPENSES	6,861.00	991	359		2,000	2,000
441-801-010	ROAD IMPROVEMENT	226,182.00	116,695	194,572	224,361	101,000	x
441-803-000	REFUSE COLLECTION	902,699.00	923,332	931,751	970,891	962,000	962,000
441-804-000	DUST CONTROL/CHLORIDE	48,806.00	66,307	55,621	55,861	75,000	x
441-971-000	WHITE PINES ST. LIGHTING	746.00	751				
751-881-000	RECREATION	68,698.00	64,453	128,324	131,426	135,000	x
916-962-000	DRAINS AT LARGE	28,799.00	23,201	24,908	25,911	30,000	30,000
929-977-000	CAPITAL OUTLAY	27,515.00	64,210	88,266	28,079	90,000	90,000
966-999-010	TRANS - OUT FUTURE RD IMPROVEMENT #261	90,031.00	200,000	250,000	250,000	250,000	x
966-999-011	TRANS - OUT SELCRA REIMB. FUND		10,000				
966-999-013	TRANS - OUT ROAD PROJECTS FUND #264	10,000.00	350,000	500,000	250,000	250,000	x
966-999-027	TRANS - OUT PARKS & RECREATION #270	200,000.00	379,000	250,000	350,000	450,000	x
966-999-028	TRANS - OUT BLDG. & GR. CEMETERY #271	725,000.00	-	200,000		50,000	x
966-999-110	CONTINGENCIES	60,000.00				50,000	x
	TOTAL EXPENDITURES/TRANSFERS OUT	4,027,982	3,981,865	4,532,594	4,076,744	4,564,200	4,650,700
	REVENUES OVER (UNDER) EXPENDITURES						
	& TRANSFERS OUT	140,947	(31,061)	(548,641)	(19,441)	(260,700)	(347,200)
	BEGINNING FUND BALANCE	2,452,516	2,593,463	2,562,402	2,013,761	1,867,661	1,994,320
	ENDING FUND BALANCE	2,593,463	2,562,402	2,013,761	1,994,320	1,606,961	1,647,120

GENDA TOWNSHIP - ROAD IMPROVEMENT FUND #261
 BUDGET TO ACTUAL REPORT
 APPROVED 03/16/2015
 AMENDED 07/06/2015

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR YEAR ENDING 12/31/2012	ACTUAL FOR YEAR ENDING 3/31/2013	ACTUAL FOR YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	BUDGET FOR THE YEAR ENDING 3/31/2016	7/6/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES							
000-664-000	INTEREST INCOME	0	900	520	800	1,000	1,000
000-699-000	OPERATING TRANSFER IN (G/F)	200,000	200,000	389,416	250,000	250,000	X 400,000
	TOTAL REVENUES	<u>200,000</u>	<u>200,900</u>	<u>389,936</u>	<u>250,800</u>	<u>251,000</u>	<u>401,000</u>
EXPENDITURES							
441-968-000	1/96 LATSON INTERCHANGE	277,239	537,703				
906-968-001	COON LAKE OVELAY			283,763			X 14,000 North Shore
470-802-000	NORTH SHORE ROAD IMPROVEMENT						X 200,000 Grand Oaks
471-803-000	GRAND OAKS ROAD IMPROVEMENT						X 50,500 Golf Club
472-804-000	GOLF CLUB						X 18,000 McClements
473-805-000	MCCLEMENTS						X 48,000 Timberview
467-801-000	TIMBERVIEW						X 75,000
441-804-000	DUST CONTROL						X 2,000
906-956-000	MISC/AUDIT	535	657	718	1,985	2,000	2,000
	TOTAL EXPENDITURES	<u>277,774</u>	<u>538,360</u>	<u>284,481</u>	<u>1,985</u>	<u>2,000</u>	<u>407,500</u>
	NET REVENUES/EXPENDITURES	<u>(77,774)</u>	<u>(337,460)</u>	<u>105,455</u>	<u>248,815</u>	<u>249,000</u>	<u>(6,500)</u>
	BEGINNING FUND BALANCE	<u>1,249,055</u>	<u>1,171,281</u>	<u>833,821</u>	<u>939,276</u>	<u>1,187,776</u>	<u>1,188,091</u>
	ENDING FUND BALANCE	<u>1,171,281</u>	<u>833,821</u>	<u>939,276</u>	<u>1,188,091</u>	<u>1,436,776</u>	<u>1,181,591</u>

xx 5/3 BANK CHARGING \$24.00 A MONTH FOR STATEMENT

GENOA TOWNSHIP - ROAD/LAKE/LIGHTING REIMBURSEMENT FUND #264
 BUDGETS FOR THE YEARS ENDING 3/31/2015 & 2016
 APPROVED 03/16/2015
 AMENDED 07/06/2015

ACCOUNT NO.	ACCOUNT DESCRIPTION	Expiration	ACTUAL FOR THE YEAR THRU 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	PROJECTED BUDGET FOR THE YEAR ENDING 3/31/2016	7/6/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUE								
000-664-000	INTEREST INCOME		913	558	918	811	1,000	1,000
453-672-000	ASSESSMENTS - CHEMUNG WEED	Jul-17	32,614	31,813	58,649	52,408	51,000	51,000
460-672-100	ASSESSMENTS - PARDEE LAKE 2	Dec-15	25,200	28,636	24,055	19,775	24,000	24,000
465-672-000	ASSESSMENTS - CROOKED LAKE WEED	Jul-17		0	21,272	22,510	22,000	22,000
464-672-000	ASSESSMENTS - FENDT DRIVE	Dec-12	37,962	35,463				
468-676-000	GLENWAY	Dec-16		16,186	17,861	15,628	16,000	16,000
467-675-000	TIMBERVIEW	Dec-18					55,000	55,000
465-673-000	RED OAKS	Dec-23		2,469	69,149	60,267	58,500	58,500
469-677-000	WHITE PINES	N/A			758	849	800	800
470-678-000	NORTH SHORE ROADS	Dec-15					x	12,000
470-682-000	NORTH SHORE ROADS ASSOCIATIONS	Jul-15					x	12,000
471-679-000	GRAND OAKS	Dec-20					x	110,000
474-682-000	SUNRISE PARK	Dec-20					x	92,000
000-699-000	OPERATING TRANS IN FROM GF			350,000	500,000	250,000	250,000	x 350,000
000-695-000	Other/Misc.			3,500				
	TOTAL REVENUES		<u>96,689</u>	<u>468,625</u>	<u>692,662</u>	<u>422,248</u>	<u>478,300</u>	<u>804,300</u>
EXPENDITURES								
453-801-000	LAKE CHEMUNG WEEDS		52,818	46,616	48,222	43,727	60,000	60,000
460-801-000	PARDEE LAKE WEEDS		19,260	26,360	25,095	30,071	30,000	30,000
465-801-000	EAST AND WEST CROOKED LAKE WEEDS			4,673	47,226	8,906	50,000	50,000
465-802-000	RED OAKS			25,194	740,703			
468-801-000	GLENWAY			107,904				
466-801-000	MOUNTAIN/MYSTIC/MILROY			3,362				
467-801-000	TIMBERVIEW					6,170	305,000	305,000 tentative
469-801-000	WHITE PINES				700	824	800	800
470-802-000	NORTH SHORE ROADS						x	24,000
471-803-000	GRAND OAKS DRIVE						x	650,000 tentative
474-806-000	SUNRISE PARK						x	550,000 tentative
451-695-000	MISC./AUDIT		1,700	2,559	2,638	2,599	3,000	3,000
	TOTAL EXPENDITURES		<u>73,778</u>	<u>216,668</u>	<u>864,584</u>	<u>92,297</u>	<u>448,800</u>	<u>1,672,800</u>
	NET REVENUES/EXPENDITURES		22,911	251,957	(171,922)	329,951	29,500	(868,500)
	BEGINNING FUND BALANCE		<u>541,780</u>	<u>564,691</u>	<u>816,648</u>	<u>644,726</u>	<u>919,326</u>	<u>974,677</u>
	ENDING FUND BALANCE		<u>564,691</u>	<u>816,648</u>	<u>644,726</u>	<u>974,677</u>	<u>948,826</u>	<u>106,177</u>

GENOA TOWNSHIP-FUTURE DEV. PARKS & REC. FUND #270
 BUDGET TO ACTUAL REPORT
 BUDGETS FOR THE YEARS ENDING 3/31/2015 & 3/31/2016
 AMENDED 07/06/2015

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR THE YEAR ENDING 3/31/2011	ACTUAL FOR THE YEAR ENDING 3/31/2012	ACTUAL FOR THE YEAR ENDING 3/31/2013	ACTUAL FOR BUDGET ENDING 3/31/2014	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	APPROVED BUDGET FOR THE YEAR ENDING 3/31/2016	7/6/2015 1ST AMENDMENT BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES								
000-664-000	INTEREST INCOME	1,409	2,152	2,561	1,219	1,862	2,000	2,000
000-699-000	OPERATING TRANS IN FROM GF	350,000	725,000	379,000	250,000	350,000	450,000 X	592,500
000-680-000	RENT			9,200	12,750	10,450	11,400	11,400
000-699-001	MISC REVENUE			30,851			500	500
	TOTAL REVENUES	351,409	727,152	421,612	263,969	362,312	463,900	606,400
EXPENDITURES								
330-696-000	ATHLETIC FIELD - LIGHTING, PLAY GR EQ	200,470		62,570	91,569	17,000	70,000	70,000
330-697-000	BIKE PATH ADDITIONS	146,426		49,392	1,573	168,258	500,000	500,000
536-972-200	I-96 INTERCHANGE WALK/CROSSWALK SIGNAL			80,392	391,232	10,000	0	0
536-972-100	LAND PURCHASE			206,223			250,000	250,000
330-694-000	HOUSE EXPENSES/TAXES			6,173		1,391	2,000	2,000
265-775-000	MAINTENANCE/SNOW REMOVAL/GRASS/RESTROOMS					48,605	50,000	50,000
241-801-000	ATTORNEY/ENGINEERING					30,000	75,000	75,000
330-701-000	SELCRA/HOWELL PARKS AND REC							142,500 X
330-695-000	MISC/AUDIT	790	1,090	2,047	800	1,500	1,500	1,500
	TOTAL EXPENDITURES	347,686	1,090	406,797	485,174	276,754	948,500	1,091,000
	NET REVENUES/EXPENDITURES	3,723	726,062	14,815	(221,205)	85,558	(484,600)	(484,600)
	BEGINNING FUND BALANCE	385,687	389,410	703,227	718,042	496,837	557,237	582,395
	ENDING FUND BALANCE	389,410	703,227	718,042	496,837	582,395	72,637	97,795

parks and rec 270/excel

GENOA TOWNSHIP - CEMETERY/BLDG RESERVE FUND #271
 BUDGET TO ACTUAL REPORT
 APPROVED 03/16/2015
 AMENDED 07/06/2016

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR TJ YEAR ENDING 3/31/2013	ACTUAL FOR THE YEAR ENDING 3/31/2014	APPROVED BUDGET FOR THE YEAR ENDING 3/31/2015	ESTIMATE OF ACTUAL FOR THE YEAR ENDING 3/31/2015	PROJECTED BUDGET FOR THE YEAR ENDING 3/31/2016
REVENUES						
000-664-000	INTEREST INCOME	400	275	400	84	300
000-699-000	OPERATING TRANS IN FROM GF - RESERVES		200,000			75,000
	TOTAL REVENUE	<u>400</u>	<u>200,275</u>	<u>400</u>	<u>84</u>	<u>75,300</u>
EXPENDITURES						
929-977-000	CAPITAL OUTLAY/PAVEMENT/PARKING		118,622	50,000	10,882	X 85,000
906-957-000	CEMETERY PURCHASE					X 45,000
906-956-000	MISC/AUDIT/MAINTENANCE		31	250	100	1,000
	TOTAL EXPENDITURES		<u>118,653</u>	<u>50,250</u>	<u>10,982</u>	<u>131,000</u>
	NET REVENUES/EXPENDITURES	400	81,622	(49,850)	(10,898)	(55,700)
	BEGINNING FUND BALANCE	<u>200,521</u>	<u>200,921</u>	<u>282,543</u>	<u>282,543</u>	<u>271,645</u>
	ENDING FUND BALANCE	<u>200,921</u>	<u>282,543</u>	<u>232,693</u>	<u>271,645</u>	<u>215,945</u>

Genoa Charter Township Michigan Board Meeting Cancellation and Bill Payment Policy

1. Introduction:

Pursuant to MCL 41.72a(1), annually, the Township Board provides by resolution the time and place of its regular meetings. If a time set for a regular meeting of the Township Board is a holiday, as designated by the township Board, the regular meeting shall be held at the same time and place on the next secular day that is not a holiday.

MCL 41.75 provides in part that the Township Board shall approve claims against the Township and authorize payment of allowed claims.

2. Purpose:

Genoa Charter Township is committed to the highest standards of Michigan Townships in the payment of bills and invoices.

3. Policy Statement:

(a) Once the schedule of the time and place of the Township Board meetings is established, meetings will not be cancelled without Board approval except in the case of adverse weather, lack of a quorum, or in the event of an emergency such as a fire, tornado, flood, etc.

(b) Board approval is required in advance before payment of bills, except in the following circumstances:

(i) Only one Board meeting is scheduled in a particular month and/or the Board approves a scheduling change; or

(ii) A meeting is cancelled because of weather, lack of quorum or emergency and cannot be rescheduled and held within three (3) business days;

(c) Upon the happening of an event listed in paragraph (b)(i) or (b)(ii) above, recurring bills that may incur a late charge if not paid by the due date must be promptly paid to avoid any late charge or fee.

(d) Bills paid under this Policy shall be paid with the signatures of two (2) Board members. Bills so paid will be identified with an asterisk in the Board Packet for the following Board meeting. These bills shall be post-audited at the next board meeting following payment.

Regina Brodersen, Managing Partner

Fleur De Lys Apartments

887 Grand Oaks Drive

7/9/15

Michael ~

Thank you for everything
that you and your staff
do. Your efforts are
greatly appreciated.
Good + safe roads are
very important to us.

Reggie Brodersen

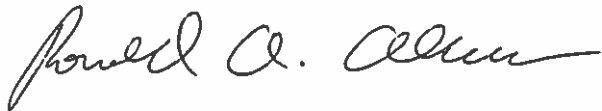
7/16/2015

Kelly VanMarter
2911 Dorr Rd
Brighton, MI 48116

Kelly,

I am writing this letter to inform you that I am resigning from my position as Zoning Official effective August 15, 2015 in order to accept the position of Planning and Economic Development Director with Van Buren Charter Township in Wayne County. I want to thank you and all of the Genoa Township officials for the opportunities you have provided me over the past two (2) years. I greatly appreciate the support Genoa Township has provided me and if I can provide any assistance with the transition please let me know.

Sincerely,

A handwritten signature in cursive script that reads "Ronald A. Akers". The signature is written in black ink and is positioned above the printed name.

Ronald A. Akers