

GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
June 16, 2015, 6:30 P.M.  
AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 15-08 ... A request by Sonia Wallace, 3040 Brighton Road, for a variance to construct a detached accessory building in the front yard.
2. 15-09 ... A request by Carol and Jack Gatewood, 1022 S. Hughes Road, for a variance from the maximum allowable building height in order to demolish an existing home and construct a new single family home.
3. 15-10 ... A request by Joseph Andrews, 1115 Norfolk, for a front yard setback variance, a rear yard setback variance and a side yard setback variance to remove the existing structure and construct a new single family home.
4. 15-11 ... A request by Christopher J. Chalka, 4405 Filbert Road, for a shoreline setback variance in order to construct a detached accessory building.
5. 15-12 ... A request by James and Connie DeBrincat, 2608 Spring Grove, for a side yard setback variance in order to construct a detached accessory building.
6. 15-13 ... A request by Jess Peak, 3828 Highcrest, for a variance in order to construct a detached accessory building in the front yard.
7. 15-14 ... A request by Tim Chouinard, 1185 Sunrise Park, for a side yard setback variance and a front yard setback variance to construct an attached garage and second story addition on an existing home.

Administrative Business:

1. Approval of minutes for the May 19, 2015 Zoning Board of Appeals meeting.
2. Review of Rules of Procedure
3. Correspondence
4. Township Board Representative Report
5. Planning Commission Representative Report
6. Zoning Official Report
7. Member Discussion
8. Adjournment

**GENOA TOWNSHIP  
ZONING BOARD OF APPEALS  
June 16, 2015  
6:30 P.M.**

The Genoa Township Zoning Board of Appeals will hold a public hearing at Genoa Township Hall, 2911 Dorr Road, Brighton, MI, 48116 for the following variance requests at the June 16, 2015 regular meeting:

1. 15-09 ... A request by Carol and Jack Gatewood, 1022 S. Hughes Road, for a variance from the maximum allowable building height in order to demolish an existing home and construct a new single family home.
2. 15-10 ... A request by Joseph Andrews, 1115 Norfolk, for a front yard setback variance, a rear yard setback variance and a side yard setback variance to remove the existing structure and construct a new single family home.
3. 15-11 ... A request by Christopher J. Chalka, 4405 Filbert Road, for a shoreline setback variance in order to construct a detached accessory building.
4. 15-12 ... A request by James and Connie DeBrincat, 2608 Spring Grove, for a side yard setback variance in order to construct a detached accessory building.
5. 15-13 ... A request by Jess Peak, 3828 Highcrest, for a variance in order to construct a detached accessory building in the front yard.
6. 15-14 ... A request by Tim Chouinard, 1185 Sunrise Park, for a side yard setback variance and a front yard setback variance to construct an attached garage and second story addition on an existing home.

Please address any written comments to the Genoa Township Zoning Board of Appeals at, 2911 Dorr Rd, Brighton, MI 48116 or via email at [ron@genoa.org](mailto:ron@genoa.org). All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Genoa Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact the Genoa Township Hall at (810) 227-5225 at least seven (7) days in advance of the meeting if you need assistance.

Published: BA-LCP 5-31-15



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Ron Akers, Zoning Official  
**DATE:** June 10, 2015

**RE:** ZBA 15-08

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2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

The following is a summary of what was discussed at the previous month's meeting regarding this variance request and what has transpired since:

### May 19, 2015 Meeting

Please see attached minutes. The decision on this application was postponed until the June 16, 2015 meeting due to a concern from the adjacent neighbor regarding the positioning of the accessory building closer to their shared property line. The Zoning Board of Appeals advised the applicant to discuss this and consider moving the building toward the middle of the property.

### Post Meeting

After discussion with the applicant they will not be submitting any additional documentation to the Zoning Board of Appeals. It is my understanding they have had difficulty in the relocation of the building. I advised the applicant to be prepared to discuss this at the meeting.

#### **SUPERVISOR**

Gary T. McCririe

#### **CLERK**

Paulette A. Skolarus

#### **TREASURER**

Robin L. Hunt

#### **MANAGER**

Michael C. Archinal

#### **TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Ms. McCreary asked how this would affect the overhead wiring. The petitioner indicated if it's a problem, it will be relocated.

A call to the public was made. No one wished to address the Zoning Board of Appeals

Motion by Mr. Poissant to approve case 15-07, request for a front yard setback variance. This is based on the following findings of fact:

1. Strict application of the front yard setback variance would prevent the applicant from constructing a second story addition;
2. The addition would not expand the footprint of the structure closer to the front property line than it already is;
3. There are several homes in the vicinity of this property which do not comply with the front yard setback requirements and are of a similar distance to the front property line;
4. The need for the variance is due to the short length of the lot, required shoreline setback and existing location of the home;
5. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township;
6. There is room for sufficient off street parking on the property;
7. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Support by Jean Ledford. **Motion carried.**

**3. 15-08 ... A request by Sonia Wallace, 3040 Brighton Road, for a variance to construct a detached accessory building in the front yard.**

Sonia Wallace addressed the Zoning Board of Appeals. The petitioner would like to clear cut from where the yard is now to the location of the barn. This would be on the other side of the drive next to the petitioner. That private drive goes to the 5 acre parcel behind the petitioner.

The pipeline runs through the property and accommodations must be made for that. The pipeline is approximately 65 feet from the proposed structure. The septic field is in back of the existing home.

The petitioner will be planting more evergreens.

The petitioner needs a garage to accommodate his trucks and hobbies.



A call to the public was made. A neighbor, William Plahta, 3143 Brighton Road addressed the Zoning Board of Appeals. He believes the barn should be built in back since the parcel is five acres. In the wintertime when there are no leaves, the pole barn will be visible. He is also of the opinion that people will drop kittens off at any pole barn near the road. He believes it is not aesthetically pleasing.

Len Hobarger, 3128 Brighton Road addressed the Zoning Board of Appeals. He is opposed to the location and it is close to his property line. He shares the same reasoning as Mr. Plahta. There may also be a possible property value reduction.

The petitioner asked Mr. Hobarger what he could do to assist as far as screening. He advised there will be no noise coming from the barn. The topography of the property create difficulties in alternate locations.

The barn will be prefabricated and he is anticipating buying a kit that is light brown with dark brown trim.

Mr. Plahta inquired who owns the road. It is owned by the neighbor, as an easement from the original property and sold to the new owner. In essence, he seeks to find whether the parcel is truly over five acres. It is 5.06 acres.

Ms. McCreary finds there is a challenge due to topography and the easement, pipeline, and power lines. Mr. Dhaenens encouraged the petitioner to work with his neighbors.

Ms. Ledford believes if evergreens are planted around the building, it will not be visible to the neighbors.

The height of the structure will be 10' walls and 4-12 pitch roof. The structure will be 32' x 48'. The peak will be 15' 4" approximately. The building height would be 12'2" approximately.

Ms. Figurski asked if the petitioner would object to this matter being tabled and attempt to work out a relocation with the neighbors. The petitioner has no objection.

**Motion** by Ms. McCreary to table the variance request to the June 16, 2015 Zoning Board of Appeals meeting. Support by Ms. Ledford. **Motion carried.**

### Administrative Business:

1. Approval of minutes for the April 21, 2015 Zoning Board of Appeals meeting.
2. Review of Rules of Procedure
3. Correspondence
4. Township Board Representative Report
5. Planning Commission Representative Report
6. Zoning Official Report
7. Member Discussion

# GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 15-08 Meeting Date: May 19, 2015

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial  
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Sonia Wallace

Property Address: 3040 Brighton Rd Phone: 734 648 8008

Present Zoning: \_\_\_\_\_ Tax Code: 11-32-100-030

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Build pole barn in front of property, where land is flat.
2. Intended property modifications: Erection of a pole barn.

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) Back of the property has hills both sides with valley in the middle. No access to back of land from driveway.
- b. Other (explain) \_\_\_\_\_

**Variance Application Requires the Following:** (failure to meet these requirements may result in tabling of this petition.)

- **PROPERTY MUST BE STAKED SHOWING ALL** proposed improvements 5 days before the meeting and remain in place until after the meeting
- **Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. NOTE: One paper copy of all drawings is required.**
- **Waterfront properties must indicate setback from water from adjacent homes.**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 04/10/15

Signature: S. Wallace

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Ron Akers at the township office to discuss what your next step is.**

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**May 19, 2015**  
**CASE #15-08**

**PROPERTY LOCATION:** 3040 Brighton Rd. Howell, MI 48843

**PETITIONER:** Sonia Wallace

**ZONING:** CE (Country Estate District)

**WELL AND SEPTIC INFO:** Septic System, Well

**PETITIONERS REQUEST:** Request for a variance to construct a detached accessory building in the front yard.

**CODE REFERENCE:** Section 11.04.01(c)

**STAFF COMMENTS:** See Attached Staff Report

	Front	One Side	Other Side	Rear	Height	-
Required Setbacks	75'	40'	40'	60'	N/A	-
Setbacks Requested	150'	80'	+140'	+400'	N/A	-
Variance Amount	N/A	N/A	N/A	N/A	N/A	-



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Ron Akers, Zoning Official  
**DATE:** May 13, 2015

**RE:** ZBA 15-08

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

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### STAFF REPORT

**File Number:** ZBA#15-08

**Site Address:** 3040 Brighton Rd, Howell, MI 48843

**Parcel Number:** 4711-32-100-030

**Parcel Size:** 5.06 Acres

**Applicant:** Sonia Wallace, 3040 Brighton Rd, Howell, MI 48843

**Property Owner:** Same as applicant

**Information Submitted:** Application, site plan.

**Request:** Dimensional Variance

**Project Description:** Applicant is requesting a variance to construct a detached accessory building in the front yard.

**Zoning and Existing Use:** CE (Country Estate), Single Family Residential.

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 3, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- Per assessing records it is estimated that the existing home on the parcel was constructed in 1987.
- There is a natural gas pipeline which runs through the property which has a 60' wide easement. (30' on either side of the pipeline)
- See Real Estate Summary and Record Card.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



## Summary

The proposed project is to construct a detached accessory building. The reason why this project requires a variance is because the property owners intend to construct the accessory building in the front yard of the property.



## Variance Requests

The following is the section of the Zoning Ordinance that the variances are being requested from:

**Article 11.04.01(c):** Restrictions in Front Yard: Detached accessory buildings shall not be erected in any front yard, except accessory buildings are permitted in the front yards as follows:

- (1) Waterfront lots in the Lakeshore Resort Residential District.
- (2) Lots of at least five (5) acres when the front setback is equal to or greater than the average setback of established buildings on adjoining lots, as determined by the Zoning Administrator. If the adjacent lots are undeveloped, then front yard accessory buildings are permitted with a minimum front yard setback of two hundred (200) feet.
- (3) In the case of attached residential dwelling complexes, detached parking garages or carports may be permitted in the non-required front yard provided that Planning Commission approves the site plan, elevation drawings and construction materials. In reviewing such structures, the Planning Commission shall consider the impact of headlights and views from nearby public streets and adjacent properties.

### **Standards for Approval**

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

**23.05.03 Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) **Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) **Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) **Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) **Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Summary of Findings**

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the regulations that prohibit the placement of a detached accessory building in the front yard would prohibit the applicant from being able to place a detached accessory building on an accessible area of the property. This is due to the difficulty created by the topography behind the house. The proposed location of the detached accessory building is closer to the road due to the presence of a natural gas transmission pipeline easement which runs through the front yard of the property.
- (b) Extraordinary Circumstances** – The extraordinary or exceptional circumstances applicable to the property are the topography in the rear yard of the lot, the existing location of the house on the parcel and the presence of the gas transmission pipeline easement. The need for the variance was created due to the existing location of the house and the topography in the rear yard of the parcel.
- (c) Public Safety and Welfare** – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. The presence of the building in the front yard will have no adverse risk which impacts public safety and welfare.

**(d) Impact on Surrounding Neighborhood** – The proposed variance would have a limited impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The building would be visible from Brighton Road during the winter months and would be closer than other structures in the immediate vicinity. If approval is granted, the Zoning Board of Appeals may wish to add conditions for some screening on the Brighton Road side of the building.

**Staff Findings of Fact**

1. Strict application of the front yard setback variance would prevent the applicant from constructing a detached accessory building.
2. There is a large difference in topography in the rear yard of the parcel which would make the placement of a detached accessory building difficult.
3. The exceptional or extraordinary circumstances on the property are the topography of the parcel, the existing location of the home and the location of a natural gas transmission pipeline in the front yard.
4. The need for the variance is due to the difference in topography on the parcel and the existing location of the house on the parcel.
5. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township.
6. The proposed detached accessory building will be located outside of the natural gas transmission line easement.
7. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.
8. The detached accessory building will be located closer to Brighton Road than any structures in the vicinity.

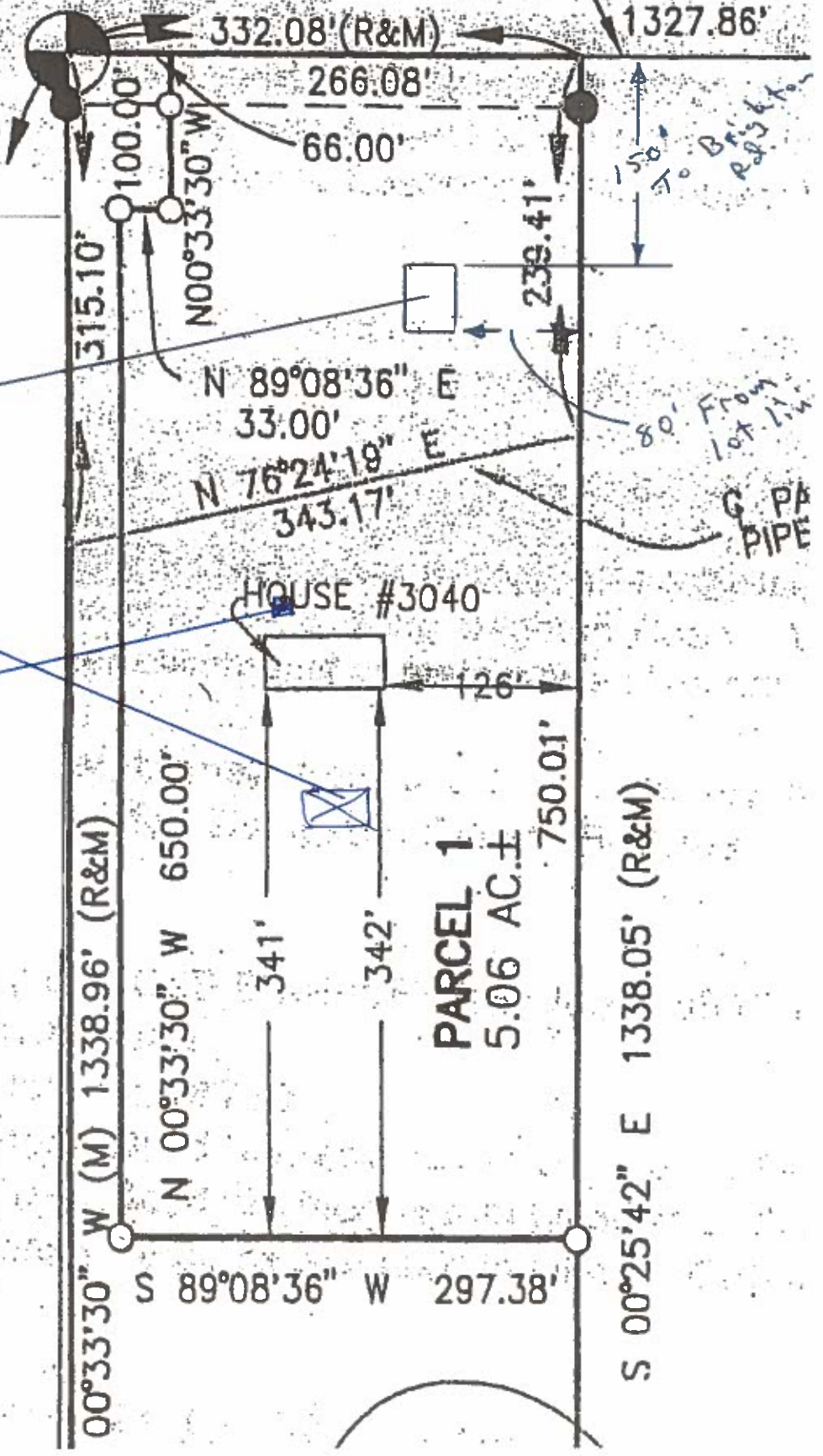
**Conditions of Approval**

1. One (1) 2.5" caliper evergreen tree shall be planted for each 15' of building along Brighton Road.



NW COR.  
SEC. 32  
T2N-R5E

BRICK  
& NORTH  
DUE EAST



30' x 40'  
Barn

- 1) Septic field back of house
- 2) Well front of house

32 (AS MONUMENTED)  
71'(R-REF #1&M)  
E (R)

1326.36'

PARCEL 1  
5.06 AC.±

S 00°25'42" E 1338.05' (R&M)



Case # 15-08 Area Map

TREASURE LAKE

BELLA MA

BRIGHTON

NATURA



1 inch = 200 feet

\* All Measurements are Approximate,  
Parcel Boundaries are Approximate and May be Inaccurate.  
This is not a survey.

Source: Livingston County GIS Department



# Real Estate Summary Sheet

\*\*\*Information herein deemed reliable but not guaranteed\*\*\*

05/12/2015 12:39 PM

<b>Parcel:</b>	4711-32-100-030	<b>Current Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Owner's Name:</b>	WALLACE SONIA	<b>Previous Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Property Address:</b>	3040 BRIGHTON RD HOWELL, MI 48843	<b>Gov. Unit:</b>	4711 GENOA CHARTER TOWNSHIP
		<b>MAP #</b>	V15-08
		<b>School:</b>	47070 HOWELL
		<b>Neighborhood:</b>	47070 47070 HOWELL M & B
<b>Liber/Page:</b>	2015R-000625	<b>Created:</b>	//
<b>Split:</b>	//	<b>Active:</b>	Active
<b>Public Impr.:</b>	None		
<b>Topography:</b>	REFUSE		

## Mailing Address:

WALLACE SONIA  
3040 BRIGHTON RD  
HOWELL MI 48843

## Most Recent Sale Information

Sold on 06/27/2014 for 262,500 by MARTIN, JOHN S. & SHARON.

**Terms of Sale:** ARMS-LENGTH

**Liber/Page:** 2015R-000625

## Most Recent Permit Information

Permit 05-086 on 03/15/2005 for \$0 category FENCE.

## Physical Property Characteristics


<b>2016 S.E.V.:</b>	Tentative	<b>2016 Taxable:</b>	Tentative	<b>Lot Dimensions:</b>	
<b>2015 S.E.V.:</b>	136,600	<b>2015 Taxable:</b>	136,600	<b>Acreage:</b>	5.06
<b>Zoning:</b>	CE	<b>Land Value:</b>	90,150	<b>Frontage:</b>	0.0
<b>PRE:</b>	100.000	<b>Land Impr. Value:</b>	7,191	<b>Average Depth:</b>	0.0

## Improvement Data

# of Residential Buildings: 1  
Year Built: 1987  
Occupancy: Single Family  
Class: C-5  
Style: C  
Exterior: Wood Siding  
% Good (Physical): 73  
Heating System: Forced Heat & Cool  
Electric - Amps Service: 0  
# of Bedrooms: 4  
Full Baths: 3 Half Baths: 1  
Floor Area: 2,448  
Ground Area: 2,448  
Garage Area: 864  
Basement Area: 1,656  
Basement Walls:  
Estimated TCV: 173,368

## Image

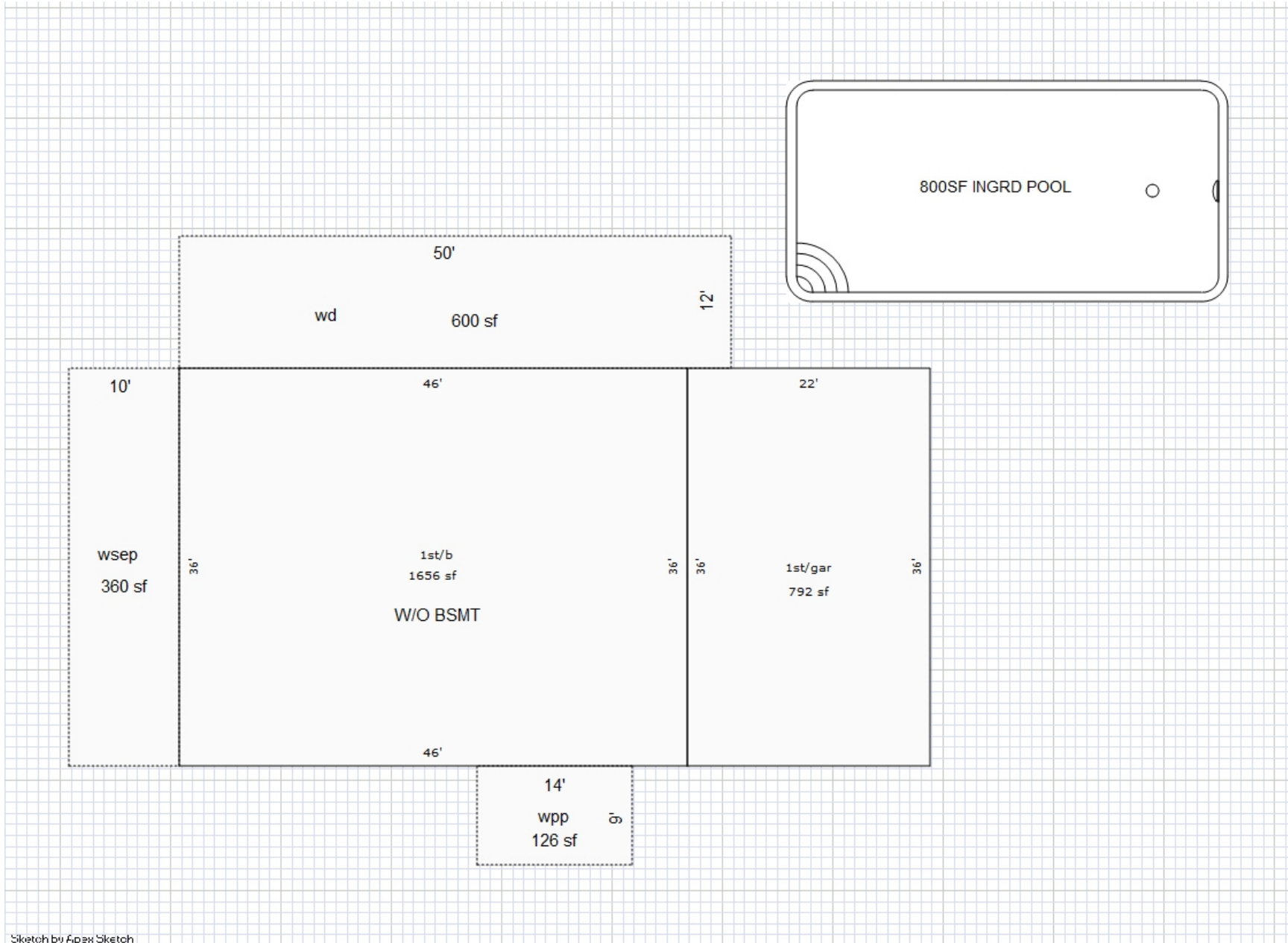


Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.					
MARTIN, JOHN S. & SHARON	WALLACE SONIA	262,500	06/27/2014	WD	ARMS-LENGTH	2015R-000625	BUYER	100.0					
MARTIN, JOHN S. & COLE, SU	MARTIN, JOHN S.	20,000	08/06/2003	QC	QUIT CLAIM	4111-0774	BUYER	0.0					
O'BRIEN	MARTIN	335,000	06/25/2001	WD	ARMS-LENGTH	3055-0499	BUYER	100.0					
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: CE	Building Permit(s)	Date	Number	Status					
3040 BRIGHTON RD		School: HOWELL		FENCE		03/15/2005	05-086	NO START					
Owner's Name/Address		P.R.E. 100% 06/27/2014		MAP #: V15-08									
WALLACE SONIA 3040 BRIGHTON RD HOWELL MI 48843		2016 Est TCV Tentative											
Tax Description		X	Improved	Vacant	Land Value Estimates for Land Table 124.HOWELL M& B								
SEC 32 T2N R5E COMM AT NW COR TH N89*08'36"E 66 FT TO POB TH N89*08'36"E 266.08 FT TH S00*25'42"E 750.01 FT TH S89*08'36"W 297.38 FT TH N00*33'30"W 650 FT TH N89*08'36"E 33 FT TH N00*33'30"W 100 FT TO POB CONT 5.06 AC M/L SPLIT FR 006 7/00 PARCEL # 1		Public Improvements		* Factors *									
Comments/Influences		Dirt Road		Description		Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
		Gravel Road		LAND TABLE A		5.060 Acres		17816	100				90,150
		Paved Road		Land Improvement Cost Estimates		5.06 Total Acres		Total Est. Land Value =					90,150
		Storm Sewer		Description		Rate	County	Mult.	Size	%Good	Cash Value		
		Sidewalk		Pool: Plastic		21.40	1.00	800	42	7,191			
		Water		Total Estimated Land Improvements True Cash Value =					7,191				
		Sewer											
		Electric											
		Gas											
		Curb											
		Street Lights											
		Standard Utilities											
		Underground Utils.											
		Topography of Site											
		Level											
		Rolling											
		Low											
		High											
		Landscaped											
		Swamp											
		Wooded											
		Pond											
		Waterfront											
		Ravine											
		Wetland											
		Flood Plain											
		X REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value			
		Who	When	What	2016	Tentative	Tentative	Tentative			Tentative		
		LM	08/05/2014	REVIEWED R	2015	45,100	91,500	136,600			136,600S		
					2014	45,100	89,100	134,200			128,219C		
					2013	45,100	81,100	126,200			126,200S		

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

The Equalizer. Copyright (c) 1999 - 2009.  
Licensed To: Township of Genoa, County of Livingston, Michigan





Sketch by Apex Sketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

MAY 15 8 40 AM '79

AMENDMENT OF RIGHT-OF-WAY GRANT

THIS AGREEMENT, made as of the 15<sup>th</sup> day of APRIL 1979, by and between Frank G. and Verna M. Burnett, husband and wife, 3160 Brighton Road - Howell, Michigan 48843; Helmut A. and Wanda I. Kaltenbacher, husband and wife, 3161 Brighton Road - Howell, Michigan 48843; and Thomas M. and Diane R. Johnson, husband and wife, 3230 Brighton Road - Howell, Michigan 48843; hereinafter collectively referred to as "Grantors", and Panhandle Eastern Pipe Line Company, 3444 Broadway - Kansas City, MO 64111, a Delaware Corporation, hereinafter referred to as "Grantee".

## WITNESSETH:

THAT WHEREAS, Grantors represent that they are the present owners of the following described tract of land, hereinafter referred to as "TRACT A", in the County of Livingston, in the State of Michigan, described as follows, to-wit:

TRACT A The Southwest Quarter of the Southwest Quarter of Section 29 and the Northwest Quarter of the Northwest Quarter of Section 32, Township 2 North, Range 5 East, being eighty (80) acres in all, located in the Township of Genoa,

which said TRACT A is subject to a certain Right-of-Way Grant dated February 8, 1962, made by Anthony O. Dombrowski and Victoria Dombrowski, husband and wife, as grantors, in favor of Panhandle Eastern Pipe Line Company, its successors and assigns, as grantee, recorded in the office of the Register of Deeds in and for Livingston County, Michigan, in Liber 407, pages 232-233, and an Amendment of Right-of-Way Grant dated August 18, 1975, made by Roger J. Sackett, as an individual, as grantor, in favor of Panhandle Eastern Pipe Line Company, its successors and assigns, as grantee, recorded in the office of the Register of Deeds in and for Livingston County, Michigan, in Liber 722, pages 610-612; and

WHEREAS, under and pursuant to the above-described Right-of-Way Grant, there has heretofore been constructed on, over and across TRACT A a high pressure, natural gas transmission pipeline, Line No. 36-08-050-10-20", owned, operated and maintained by Grantee and hereinafter sometimes referred to as Grantee's said line; and

WHEREAS, the above-described Right-of-Way Grant also authorizes Grantee to construct, maintain, and operate additional pipelines on, over and across TRACT A; and

WHEREAS, Grantors have requested Grantee to release, surrender and relinquish the above-described Right-of-Way Grant INSOFAR and INSOFAR ONLY as it covers that portion of the aforesaid TRACT A which lies outside of a certain strip of land hereinafter described.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements herein contained, it is agreed by and between the parties hereto as follows:

(1) The parties hereby convey, surrender, release and relinquish unto each other any and all interest they may have by virtue of the above-described Amendment of Right-of-Way Grant dated August 18, 1975, and recorded in the office of the Register of Deeds in and for Livingston County, Michigan, in Liber 722, pages 610-612, to the end that said instrument is of no further force and effect.

(2) That Grantee shall and by these presents does release, surrender and relinquish unto Grantors, their heirs, successors and assigns, all of Grantee's right, title and interest in, to and under the above-described Right-of-Way Grant dated February 8, 1962, and recorded in the office of the Register of Deeds in and for Livingston County, Michigan, in Liber 407, pages 232-233, INSOFAR and INSOFAR ONLY as it covers that portion of TRACT A which lies OUTSIDE of a certain sixty (60) foot wide strip of land, being thirty (30) feet on either side of a surveyed line, corresponding to the

approximate centerline of the aforesaid Line No. 36-08-050-10-20", which said surveyed line is described as follows, to-wit:

A line lying in the Southwest Quarter of the Southwest Quarter of Section 29, and in the Northwest Quarter of the Northwest Quarter of Section 32, all in Township 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Beginning at a point on the West line of said Section 32, distant South 0 degrees 17 minutes 57 seconds West, 316.1 feet from the Northwest corner of said Section 32; thence North 77 degrees 07 minutes East, 361.76 feet; thence North 51 degrees 01 minutes East, 254.0 feet; thence North 41 degrees 41 minutes East, 101.0 feet to a point on the line between Section 29 and Section 32; thence continuing North 41 degrees 41 minutes East, 1082.1 feet to a point of ending, said point being due East 1328.32 feet and North 0 degrees 28 minutes 54 seconds East, 808.16 feet from the Southwest corner of Section 29 and the Northwest corner of Section 32,

it being the intention of the parties hereto to free all of the above-described TRACT A from and of the lien, encumbrance and burden of the Right-of-Way Grant hereinabove described, SAVE and EXCEPT as to the above-described strip of land, as to which said strip of land said Right-of-Way Grant, as herein modified and amended, SHALL REMAIN IN FULL FORCE AND EFFECT. No release, surrender or relinquishment of any part of the above-described Right-of-Way Grant covering, affecting or pertaining to any lands lying OUTSIDE of the boundaries of the above-described TRACT A is made or is intended to be made hereunder.

(3) No house, garage, building, mobile home, house trailer, septic tank, drain pipes, trees, lake, reservoir, swimming pool or other structure, facility or tree-like growth shall be hereafter placed, erected or planted anywhere on the above-described strip of land reserved, as aforesaid, by Grantee; provided, however, that Grantors shall have the right to install or authorize the installation of utility installations on said strip of land so long as such utility installations are not placed parallel to and within ten (10) feet of Grantee's aforesaid line and such future pipeline as Grantee may hereafter construct, and so long as such utility installations as may cross Grantee's line and such future pipeline as Grantee may hereafter construct do so under said pipeline and at approximate right angles thereto and in such manner as not to interfere with, endanger or damage Grantee's said pipeline.

(4) No portion of the above-described strip of land shall be utilized for the seating or other accommodation of persons in connection with any gathering of any sort, nor shall any portion of the above-described strip of land lying within ten (10) feet of said line or within ten (10) feet of such future pipeline as Grantee may hereafter construct, be utilized for the parking of vehicles, and no impervious type pavement in connection with the establishment or use of any vehicular parking area shall be placed over or within ten (10) feet of said pipeline or such future pipeline as Grantee may hereafter construct.

(5) Grantors shall not remove any cover or overburden from Grantee's line or hereafter constructed pipeline, nor shall any lateral or subjacent support be removed therefrom except temporarily and as an incident to the installation of utility installations hereinabove authorized to be placed across said above-described reserved strip of land, or as an incident to the construction of any railroad track, street, sidewalk, driveway, road, alley or curbing not constructed parallel to and within ten (10) feet of Grantee's said line or hereafter constructed pipeline of Grantee, and Grantee shall, in no event, except upon the conditions herein-after referred to in (5) below, be required to alter or change the level or position of Grantee's line or hereafter constructed pipeline by reasons of the exercise by Grantors of any of the rights

conferred on them under this agreement with respect to the strip of land reserved, as aforesaid, by Grantee.

(6) No railroad track, street, sidewalk, fence, driveway, road, alley or curbing shall be constructed substantially parallel to and within ten (10) feet of Grantee's said line or hereafter constructed pipeline of Grantee. Nothing herein shall preclude Grantors, their heirs, successors or assigns, from constructing any railroad track, street, sidewalk, driveway, road, fence, alley or curbing ACROSS Grantee's said line or hereafter constructed pipeline of Grantee so long as said railroad track, street, sidewalk, fence, driveway, road, alley or curbing shall cross Grantee's said line or hereafter constructed pipeline of Grantee at approximate right angles thereto; provided, however, that if the proposed construction by Grantors, or their heirs, successors or assigns, of any railroad track, street, sidewalk, fence, driveway, road, alley or curbing across the aforesaid reserved strip of land would, in Grantee's opinion, imperil Grantee's said line or hereafter constructed pipeline of Grantee, then Grantors, and their heirs, successors and assigns, shall not proceed with such proposed construction; provided further however, that Grantors, or their heirs, successors or assigns, may proceed with such proposed construction after (A) Grantors, or their heirs, successors or assigns, have entered into an agreement in form satisfactory to Grantee to pay to and reimburse Grantee for all direct and indirect costs and expenses of every sort and character which would have to be incurred or expended by Grantee in connection with whatever protective work, for example, lowering, encasing, adjusting or otherwise altering Grantee's said line or hereafter constructed pipeline of Grantee, might, in Grantee's opinion, be required to protect its said line or hereafter constructed pipeline of Grantee from the consequences of such proposed construction, and (B) Grantee has had such reasonable period of time as might be required by Grantee to complete such protective work as may be covered by the aforesaid reimbursement agreement.

(7) Grantee shall not construct or place any aboveground facilities except pipeline markers on the above-described strip of land reserved.

As hereby modified, amended and restricted, the above-described Right-of-Way Grant, INSOFAR AS said Right-of-Way Grant covers the reserved strip hereinabove described, is hereby confirmed and ratified.

THIS INSTRUMENT shall be binding upon the parties hereto, their heirs, successors and assigns.

EXECUTED as of the day and year first hereinabove written.

Witnesses:

Douglas H. Williams  
Douglas H. Williams

Carol Greer  
Carol Greer

Frank G. Burnett  
Frank G. Burnett

Douglas H. Williams  
Douglas H. Williams  
Carol Greer  
Carol Greer

Verna M. Burnett  
Verna M. Burnett

Douglas H. Williams  
Douglas H. Williams  
Carol Greer  
Carol Greer

Helmut A. Kaltenbacher  
Helmut A. Kaltenbacher

















# GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 15-09 Meeting Date: 6/16/15

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial  
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: CAROL & JACK GATEWOOD  
Property Address: 1022 S. HUGHES RD. Phone: 313-363-3000  
Present Zoning: LRR Tax Code: 11-10-201-003

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: EXCESS BUILDING HEIGHT OF  
3'-6"
2. Intended property modifications: DEMO EXISTING HOME. CONSTRUCT NEW HOME.

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) EXISTING HIGH WATER TABLE /  
FLOOD PLAIN ELEVATION CONDITIONS.
- b. Other (explain) \_\_\_\_\_

**Variance Application Requires the Following:** (failure to meet these requirements may result in tabling of this petition.)

- **PROPERTY MUST BE STAKED SHOWING ALL** proposed improvements 5 days before the meeting and remain in place until after the meeting
- **Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: will need 8 copies of any drawings larger than 11 x 17.**
- Waterfront properties must indicate setback from water from adjacent homes.
- Petitioner (or a Representative) must be present at the meeting

Date: 5/22/15

Signature: T Maguran  
TED MAGURAN, AGENT

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Ron Akers at the township office to discuss what your next step is.

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**Subject:** Subject: 14-396 GATEWOOD

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**From:** ted maguran (tmaguran@att.net)

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**To:** ron@genoa.org;

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**Date:** Friday, May 22, 2015 12:15 PM

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Dear Ron,

Please review the latest developments regarding the proposed new home construction for the applicant, Carol & Jack Gatewood, 1022 S. Hughes Road, Howell, MI 48843.

Note the following revised change(s) regarding variance issues:

1. We confirm the elimination of the fireplace and chimney from the west side of the new home. There will be NO projection into the side yard setback of 10'-0". NO VARIANCE NEEDED.
2. We confirm the reduction of the proposed raised porch, on the west side of the new home, from 4'-0" to 3'-0". There will be NO excess projection of a permitted use into the side yard setback of 10'-0". NO VARIANCE NEEDED.
3. We confirm the reduction of the depth of the one-car attached garage, on the front/north side of the new home. We confirm the new house footprint will start at the south line of the existing sewer easement and will end at the required shoreline setback of 116'-6". There will be NO projection into the shoreline setback of 116'-6". NO VARIANCE NEEDED.
4. We performed a careful and detailed review of the excess building height issue of the proposed new home. We conclude that we must pursue a variance of 3'-6" above the maximum building height of 25'-0". It would be ill-advised to install a crawl space, under the new house and into the existing ground, when the property is subject to an existing high water table and flood plain elevation conditions.  
The revised site plan shows that the existing outside grade, across the front/north side of the new house, will be raised by 1'-0" (12") in the form of a built-up/elevated flower bed/landscaping terrace that will extend across and away from the house to satisfy a complementary entry/landscaping theme installation. The building height of the new house, when measured from the new house front grade, will be 28'-6". This process lowers the building height of the new house from 29'-6" to 28'-6". We still need a 3'-6" HEIGHT VARIANCE.

The existing high water table for our lot, on the south side of S. Hughes Road, is thought to begin at 12" in some spots. Further reports, from the Brown Well Drilling Company, indicate that the water table of lots, on the north side of S. Hughes Road, extend down to 10'-0" to 12'-0". The high water table on our lot is an extraordinary condition applicable to our property or the intended use of our property which is different from other properties in the vicinity. The variance would make our property consistent with the majority

of other properties in the vicinity. The need for the variance is not self-created by the applicant.

Respectfully,

Ted Maguran

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**June 16, 2015**  
**CASE #15-09**

**PROPERTY LOCATION:** 1022 S. Hughes

**PETITIONER:** Carol & Jack Gatewood

**ZONING:** LRR (Lake Resort Residential District)

**WELL AND SEPTIC INFO:** Sewer, Well

**PETITIONERS REQUEST:** A variance from the maximum allowable building height in order to construct a single family dwelling.

**CODE REFERENCE:** Section 3.04.01

**STAFF COMMENTS:** See Attached Staff Report

	Front	One Side	Other Side	Shoreline	Height	-
Required Setbacks	35'	5'	10'	116.5'	25'	-
Setbacks Requested	74.4'	5.2'	10'	116.5'	28.5'	-
Variance Amount	N/A	N/A	N/A	N/A	3.5'	-





## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Ron Akers, Zoning Official  
**DATE:** June 1, 2015  
**RE:** ZBA 15-09

---

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

### STAFF REPORT

**File Number:** ZBA#15-09

**Site Address:** 1022 S. Hughes Rd

**Parcel Number:** 4711-10-201-003

**Parcel Size:** 0.325 Acres

**Applicant:** Carol & Jack Gatewood, 1022 S. Hughes Rd, Howell, MI 48843

**Property Owner:** Same as Applicant

**Information Submitted:** Application, site plan, building plans

**Request:** Dimensional Variances

**Project Description:** Applicant is requesting a variance from the maximum allowable building height in order to demolish the existing single family home and construct a new single family home.

**Zoning and Existing Use:** LRR (Lake Resort Residential), Single Family Residential

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 31, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling (2,754 square feet) built in 1950 and a detached garage (720 square feet).
- The single family dwelling is connected to public sewer and has an existing well.
- There is an existing sewer main easement which bisects the property.
- This project was previously ZBA case # 15-03. The applicant requested to be removed from the agenda due to their ability to comply with the requirements of the Zoning Ordinance. A letter submitted with the application indicates they were unable to do so with the building height.
- See Real Estate Summary and Record Card.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

## Summary

The proposed project is to demolish the existing house on the property and construct a new single family dwelling. In order to do this the applicant has requested a 3.5' height variance. The rationale for this variance will be discussed below. The Zoning Board of Appeals considered a variance request for this property in March which included several other variance requests in addition to a building height variance. At the time the Zoning Board of Appeals postponed their decision to allow the applicant to determine how to make changes in order to comply with the Zoning Ordinance. Initially the applicant believed that they would be able to meet all the requirements of the Zoning Ordinance, but per the letter submitted with the application determined they were unable to do so. Due to this the applicant re-submitted for the height variance request.



## Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

**Table 3.04.01: Maximum Building Height: 25' Building Height Proposed: 28.5'**

### **Standards for Approval**

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

**23.05.03 Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) **Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) **Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) **Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) **Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Summary of Findings**

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

**Practical Difficulty/Substantial Justice:** The applicant has stated that strict compliance with the height requirements in the Zoning Ordinance would unreasonably prevent them from constructing a two story home on the property. The applicant has raised the first floor height of the building to approximately 4'2" to ensure that the finished floor height is far enough above the water table (which according to the applicant is only at 12" in spots) to ensure that the moisture does not rot the floor joists. The presence of the high water table does present a difficulty for the applicant to construct their proposed home because they are unable to construct the home on a lower foundation such as a slab which would allow the applicant to conform to the height requirements in the Zoning Ordinance.

**Extraordinary Circumstances:** The extraordinary circumstances are due to the high water table (12" below surface in some locations) on the property which creates a need to construct the home on a crawl space and maintain a higher finished floor height.

**Public Safety and Welfare** – The granting of this variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the

danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**Impact on Surrounding Neighborhood** – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**Staff Findings of Fact**

1. Strict application of the maximum allowable height would prevent the applicants from constructing their home as proposed, due to the presence of a high water table of 12” in some locations.
2. The extraordinary or exceptional circumstance applicable to the property is the presence of the high water table which requires the applicants to construct a crawl space.
3. The need for the variances is due to the high water table.
4. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township. The majority of the building will meet the required setbacks in the Zoning Ordinance and the encroachments are minor in nature.
5. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The applicant is proposing to construct a single family dwelling which is allowed in the LRR zoning district and a minor encroachment into the maximum allowable building height requirement will not have a substantial impact upon properties in the vicinity.



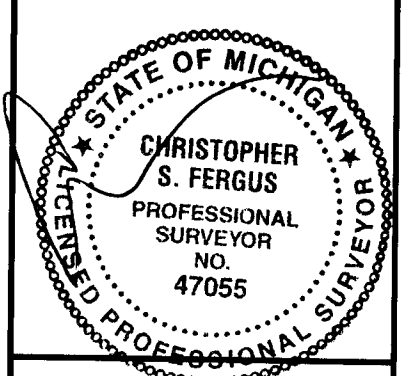
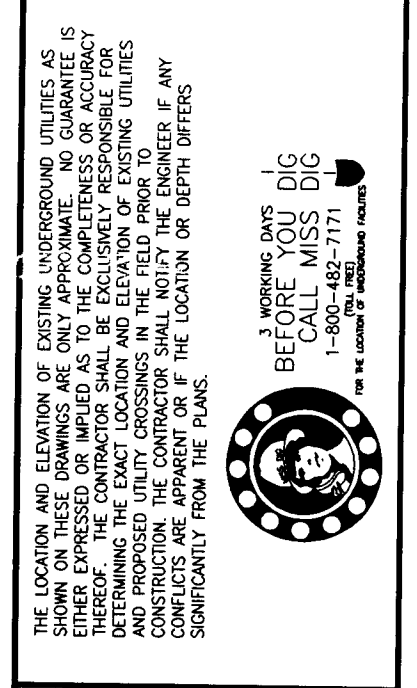
# PLOT PLAN

## LEGEND

- 900 EXISTING CONTOUR
- 971.0 EXISTING SPOT ELEVATION
- P— POWER POLE
- G— GUY WIRE
- ELECTRICAL RISER
- WELL
- MANHOLE
- ( ) STORM INVERT
- MAILBOX
- DECIDUOUS TREE
- CONIFEROUS TREE
- STEEL ROD FOUND
- ST— STORM SEWER
- G— GAS MAIN
- OH— OVERHEAD WIRES
- X— FENCE
- FG 971.0 PROPOSED SPOT ELEVATION

## GENERAL SURVEY NOTES:

- CURRENT ZONING: LRR (LAKESHORE RESORT RESIDENTIAL)
- MINIMUM SETBACK REQUIREMENTS:  
FRONT = 35 FEET  
SIDES = 10 FEET (NOTE: Footnote (k) to Table 3.04.01 of Genoa Township Zoning Ordinance states that in the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met: (1) The other side yard must be at least ten (10) feet. (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet. (3) The roof shall have gutters. (as amended 3/5/10))  
REAR = 40 FEET
- SHORELINE SETBACK FOR SITES CONNECTED TO PUBLIC SEWER IN LAKESHORE RESORT RESIDENTIAL IS A MINIMUM OF 40 FEET OR CONSISTENT WITH THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS, WHICHEVER IS GREATER AS DETERMINED BY THE ZONING ADMINISTRATOR. (RON AKERS, ZONING OFFICIAL FOR GENOA TOWNSHIP DETERMINED THE AVERAGE SHORELINE SETBACK TO BE THE AVERAGE DISTANCE OF THE TWO ADJACENT HOUSES WHICH IS 116.5 FEET)
- ACCORDING TO GENOA TOWNSHIP ORDINANCE, IF THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS VARY BECAUSE OF IRREGULAR SHORELINE, THE SETBACK SHALL BE THE AVERAGE OF ALL LOTS WITHIN 500 FEET ALONG THE SHORELINE OR 40 FEET WHICHEVER IS GREATER.
- BELOW ARE THE DIMENSIONS FOR ADJACENT PRINCIPAL BUILDINGS TO THE SHORELINE (WITHIN 500 FEET OF SITE):  
-HOUSE #950 = 131'  
-HOUSE #1010 = 96'  
-HOUSE #1016 = 116'  
-HOUSE #1030 = 117'  
-HOUSE #1040 = 56'  
-HOUSE #1054 = 57'  
-HOUSE #1056 = 72'  
(743/9=82.5' = PROPOSED AVERAGE SHORELINE SETBACK BECAUSE OF IRREGULAR SHORELINE PER ORDINANCE)
- BEARINGS WERE ESTABLISHED FROM THE PLAT OF "McNAMARA'S SUBDIVISION", AS RECORDED IN LIBER 1 OF PLATS, PAGE 59, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED RELATIVE TO GENOA TOWNSHIP BENCHMARK SYSTEM. (NOV29 DATUM).
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL ELEVATIONS ARE SHOWN TO THE NEAREST 0.01 FOOT; HOWEVER SOFT-SURFACE ELEVATIONS CAN ONLY BE PRESUMED ACCURATE TO THE NEAREST 0.1 FOOT.
- THE FLOODPLAIN ELEVATION CONTOUR OF 961.5 IS SHOWN ON THIS SURVEY DRAWING.

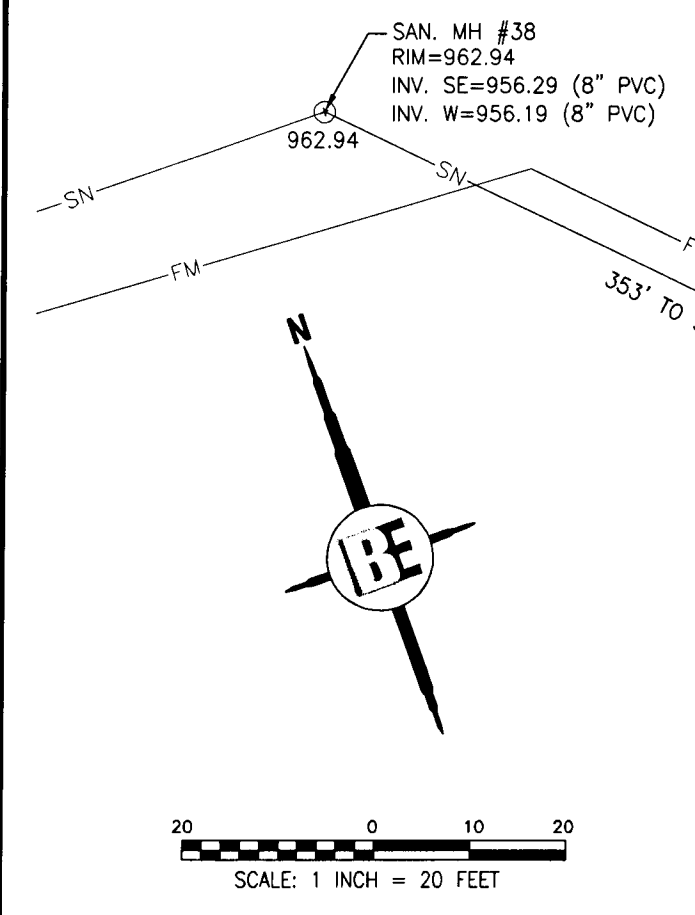
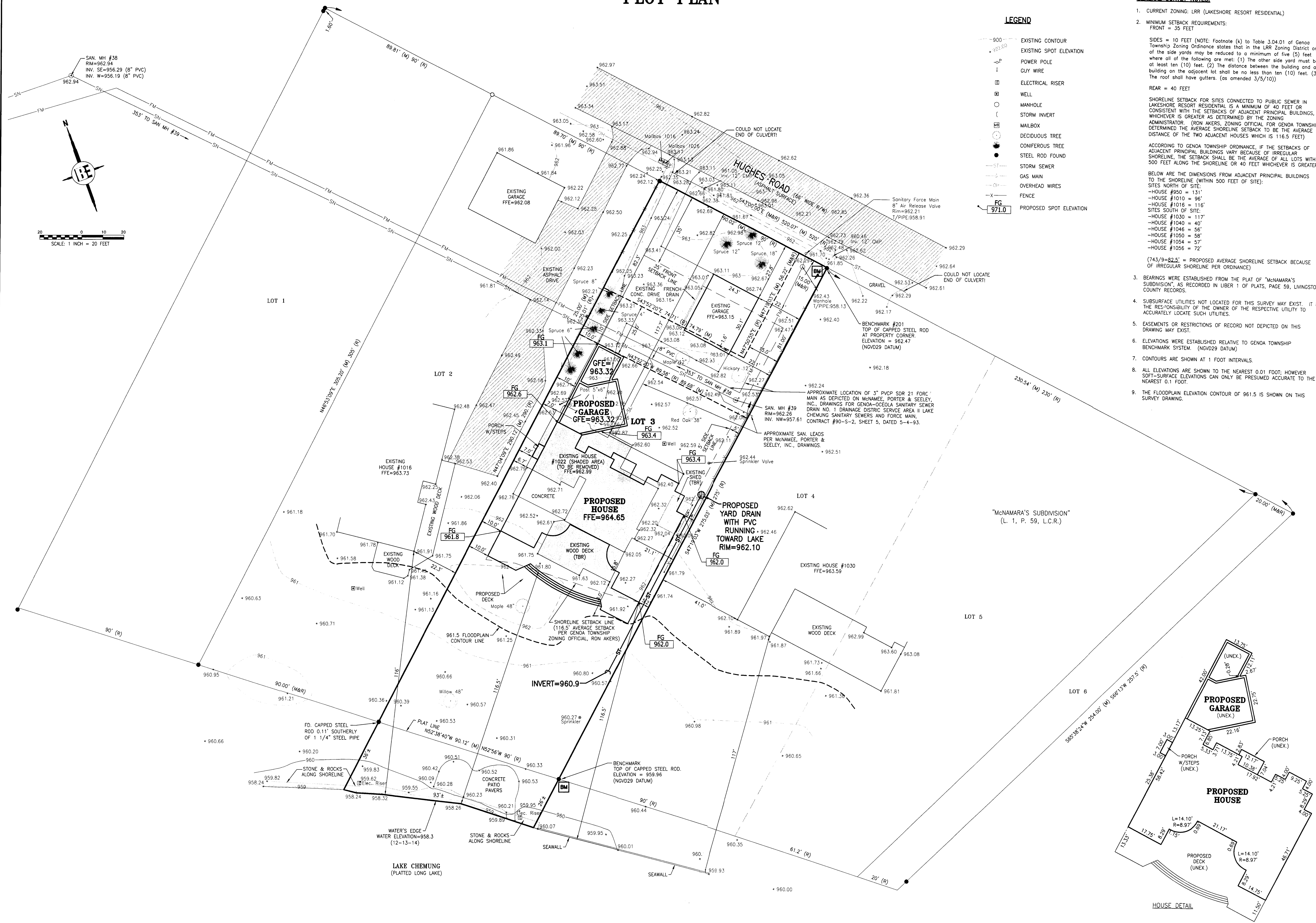


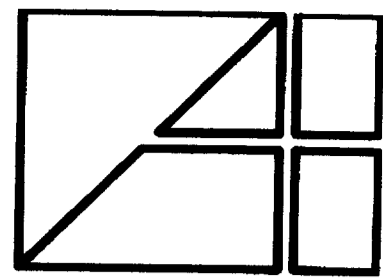
**BOSS Engineering**  
Engineers Surveyors Planners Landscape Architects  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
800.246.6735 FAX 517.548.1670

PROJECT: **LOT 3 "McNAMARA'S SUBDIVISION"**  
PREPARED FOR: **GATEWOOD**  
1022 S. HUGHES ROAD  
HOWELL, MI 48843  
BUILDER-TEG MAGURAN (734)522-2525

NO	BY	REVISION PER	DATE
1	AE	ADDED PROPOSED DECK	12-29-14
2	AE	REVISED SETBACKS	12-29-14
3	AE	ADJUST HOUSE 7.9' SOUTHWESTERLY	3-11-15
4	AE	ADJUST HOUSE AND ADD PROP. GRADING	3-30-15
5	AE	ADJUST HOUSE AND ADD PROP. GRADING	3-30-15

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: **AE**  
CHECKED BY: \_\_\_\_\_  
SCALE: 1" = 20'  
JOB NO. **14-396**  
DATE: 12-22-14  
SHEET NO. **1 OF 1**





Alexander V. Bogart + Associates, P.C. • Interior Design  
 2445 Franklin Road  
 Bloomfield Hills, MI 48302  
 248-334-5000

PROJECT TITLE  
**WALL BRACING DETAILS**

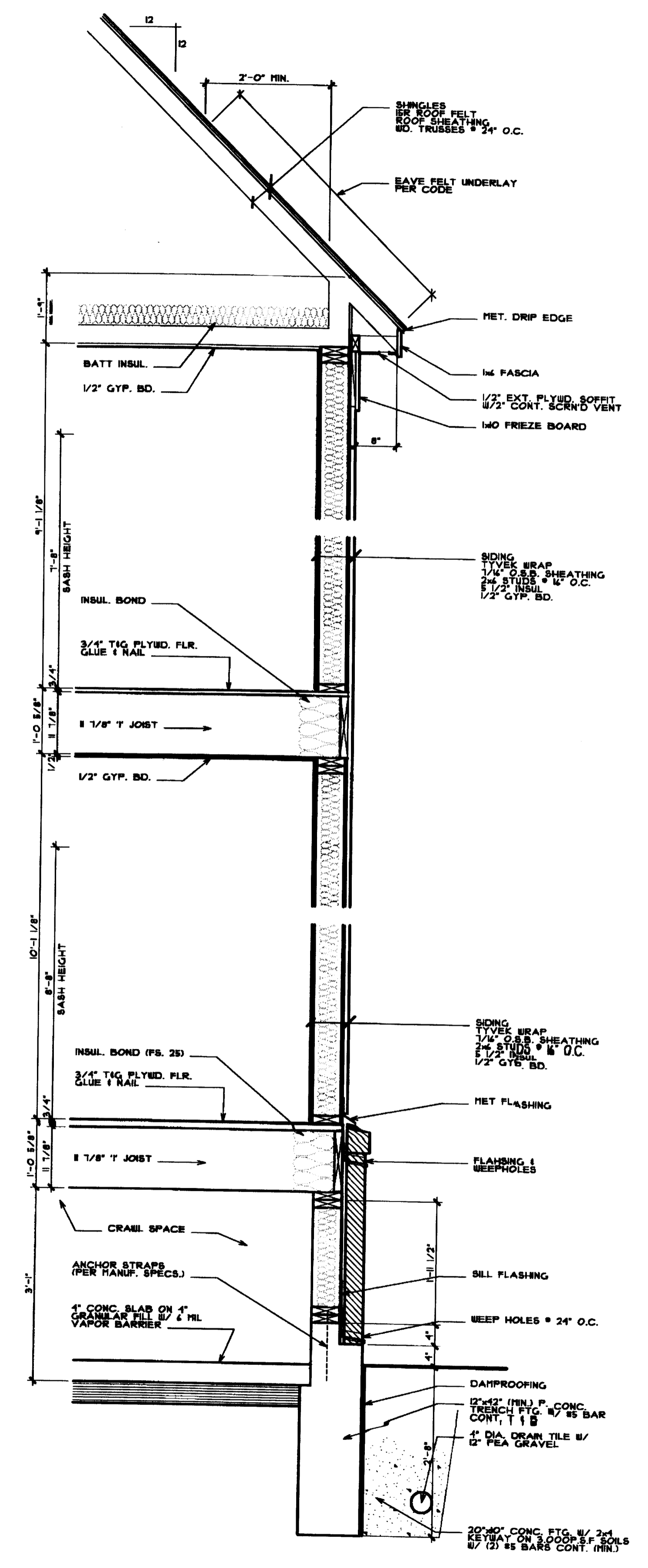
CLIENT/PROJECT  
**GATEWOOD RESIDENCE**  
 T. MAGURAN GENERAL CONTRACTOR  
 MICHIGAN

COPYRIGHT 2014  
 ALEXANDER V. BOGARTS + ASSOC.

PRELIMINARY  
 BIDS  
 PERMITS  
 02-06-15  
 CONSTRUCTION

REVISIONS

DRAWN BY  
 AW  
 CAD FILENAME  
 GATEWOOD.dwg  
 CHECKED BY  
 BN / AM  
 JOB NUMBER  
 4162  
 DATE  
 02-06-15  
 SHEET NUMBER



501

WALL SECTION

SCALE: 3/4" = 1'-0"

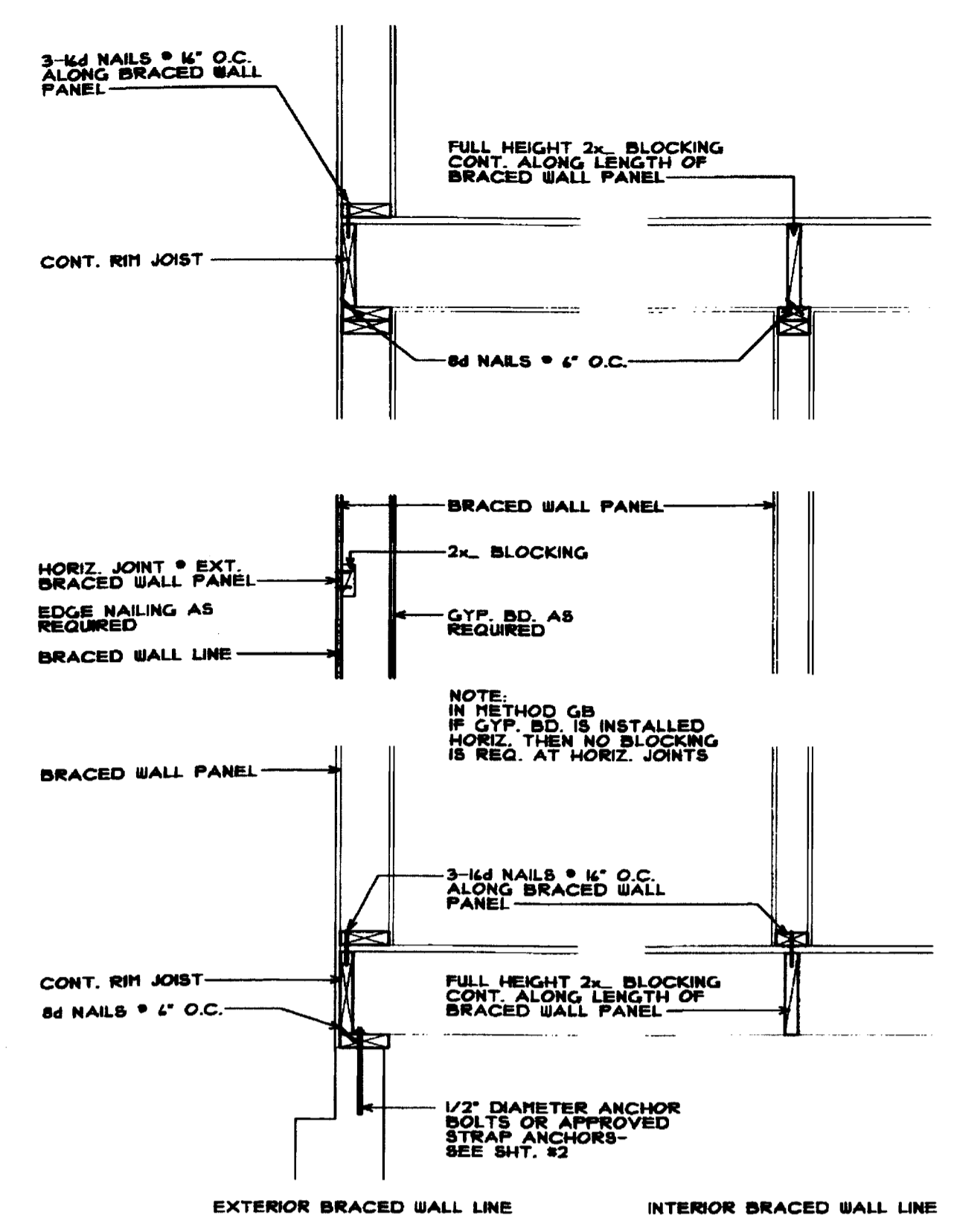
**WALL BRACING**  
 THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2004 MICHIGAN RESIDENTIAL CODE. THIS SHEET REFERENCES FASTENING TABLES AND SPECIFIC CODE SECTIONS. A COPY OF THE CURRENT CODE BOOK IS TO BE RETAINED BY THE BUILDER/ GENERAL CONTRACTOR AND MADE AVAILABLE FOR USE AND REFERENCE BY ALL TRADES WHEN FRAMING THIS BUILDING. ALL CONSTRUCTION SHALL CONFORM TO ALL THE REQUIREMENTS OF THE REFERENCED CODE.

ADDITIONAL SECTIONS AND DETAILS HAVE BEEN PROVIDED IN THIS SET. ANY CONFLICTS BETWEEN THE INFORMATION PROVIDED AND THE CURRENT CODE, THE MOST STRINGENT SHALL APPLY.

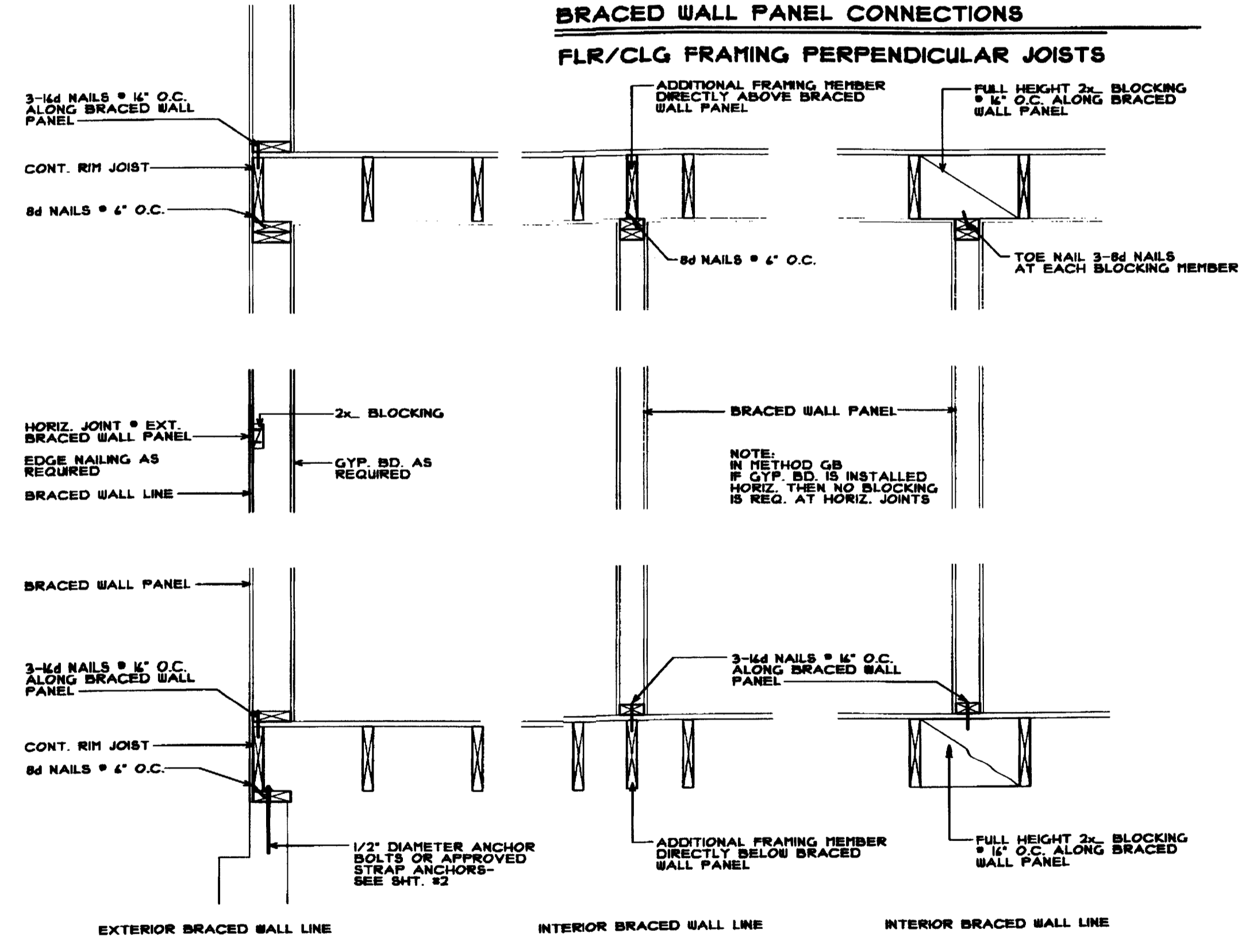
SEE SHEET #1 AND ALL FLOOR PLANS SHEETS FOR ADDITIONAL NOTES, DIRECTIONS AND STRUCTURAL INFORMATION AND REQUIREMENTS.

SEE SHEET #2 FOR LOAD PATH AND THE DOWN REQUIREMENTS TO BE USED IN CONJUNCTION WITH WALL BRACING REQUIREMENTS.

WIND		SEISMIC DESIGN CATEGORY
SPEED	EXPOSURE	
10 MPH	CATEGORY - B	A



SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING  
 BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.  
**BRACED WALL PANEL CONNECTIONS**  
**FLR/CLG FRAMING PERPENDICULAR JOISTS**



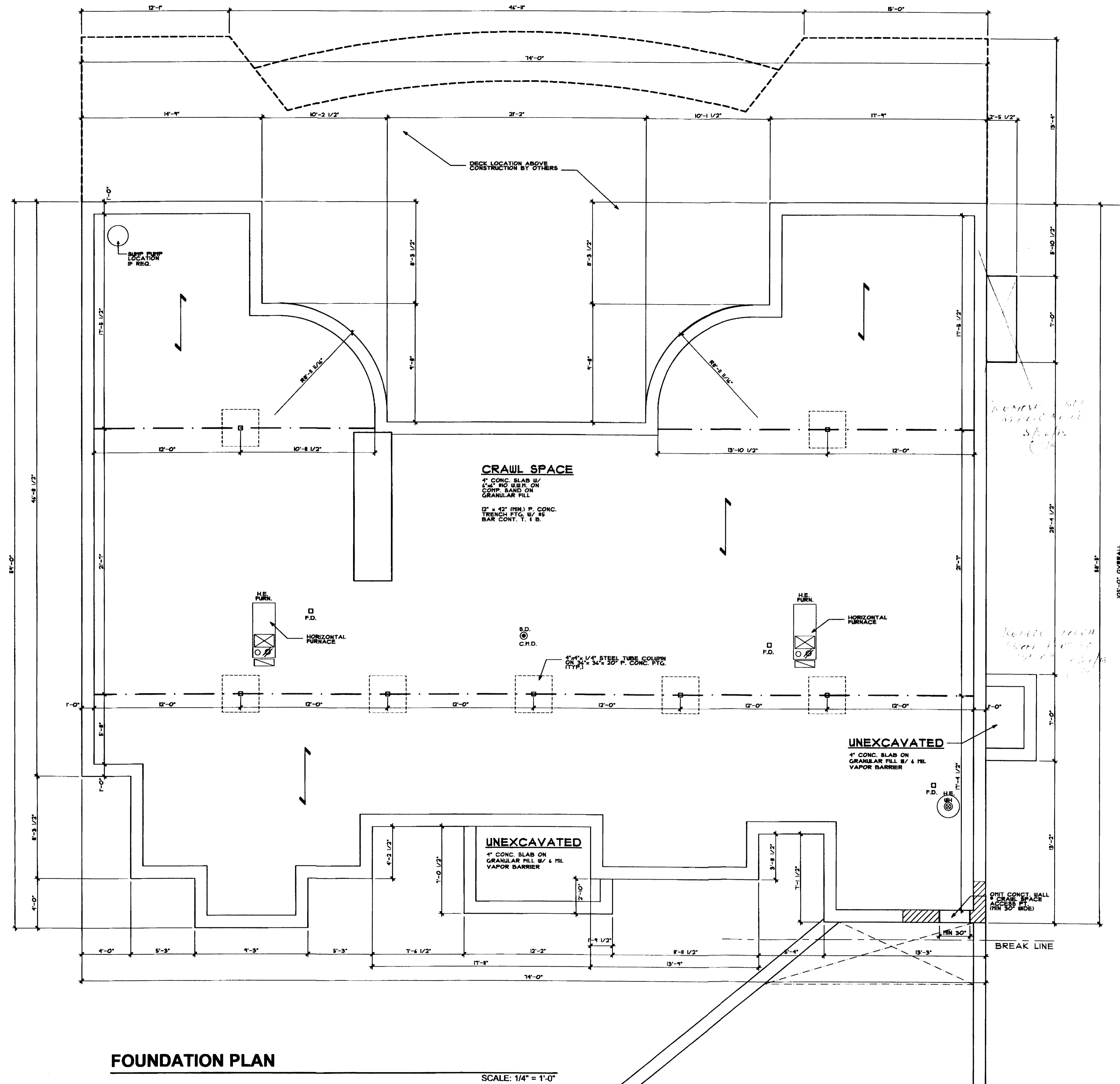
SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING  
 BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.

**BRACED WALL PANEL CONNECTIONS**

**FLOOR/CEILING FRAMING PARALLEL JOISTS**

**WALL BRACING METHODS**

METHOD	MATERIAL	MINIMUM THICKNESS	CONNECTION CRITERIA
** ALL EXTERIOR WALLS			
C5-WSP	WOOD STRUCTURAL PANEL	3/8"	4d COMMON (2") NAILS AT 4" SPACING (PANEL EDGES) 12" SPACING (INTERMEDIATE)  16 GA. x 1 3/4 STAPLES AT 3" SPACING (PANEL EDGES) 4" SPACING (INTERMEDIATE)
** ADJACENT TO GARAGE DOORS AS INDICATED ON PLAN.			
C5-PF	CONTINUOUS PORTAL FRAME	SEE SECTION R602.10.4.1.1	SEE SECTION R602.10.4.1.1



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

- ALL INTERIOR PARTITION DIMENSIONS ARE 3/2" UNLESS NOTED OTHERWISE.
- BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.
- TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION
- SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION
- SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.
- DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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**GATEWOOD RESIDENCE**  
 T. MAGURAN GENERAL CONTRACTOR  
 MICHIGAN

FOUNDATION PLAN

CLIENT/PROJECT: GATEWOOD RESIDENCE  
 T. MAGURAN GENERAL CONTRACTOR  
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CAD FILENAME  
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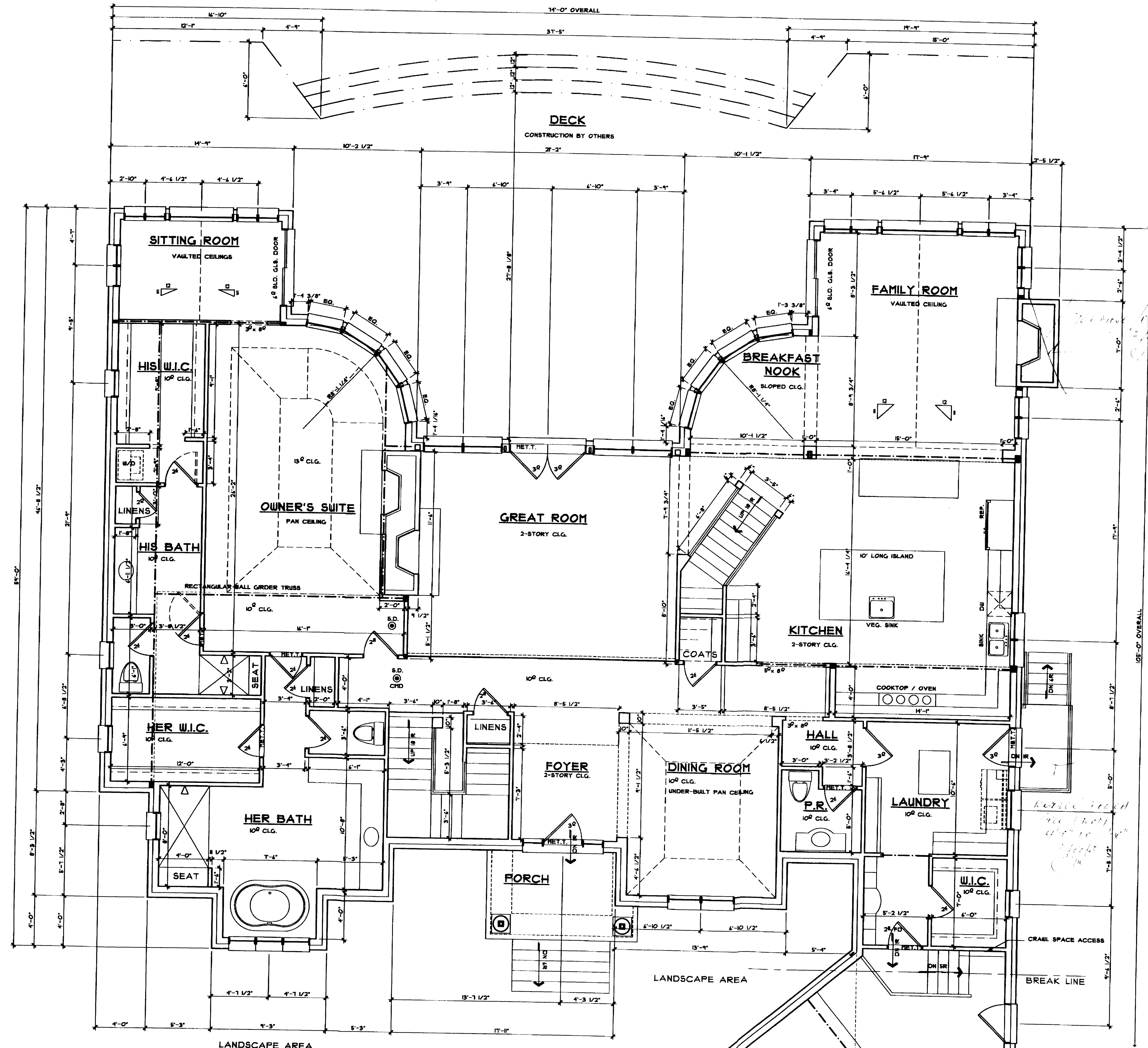
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 BN / AM

JOB NUMBER  
 4162

DATE  
 02-06-15

SHEET NUMBER





SQUARE FOOTAGE	
1ST FLOOR	3435 SQ FT
2ND FLOOR	1344 SQ FT
TOTAL	4779 SQ FT

**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/2" UNLESS NOTED OTHERWISE.

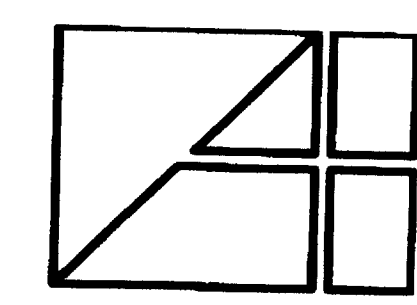
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SHEET TITLE  
**FIRST FLOOR PLAN**

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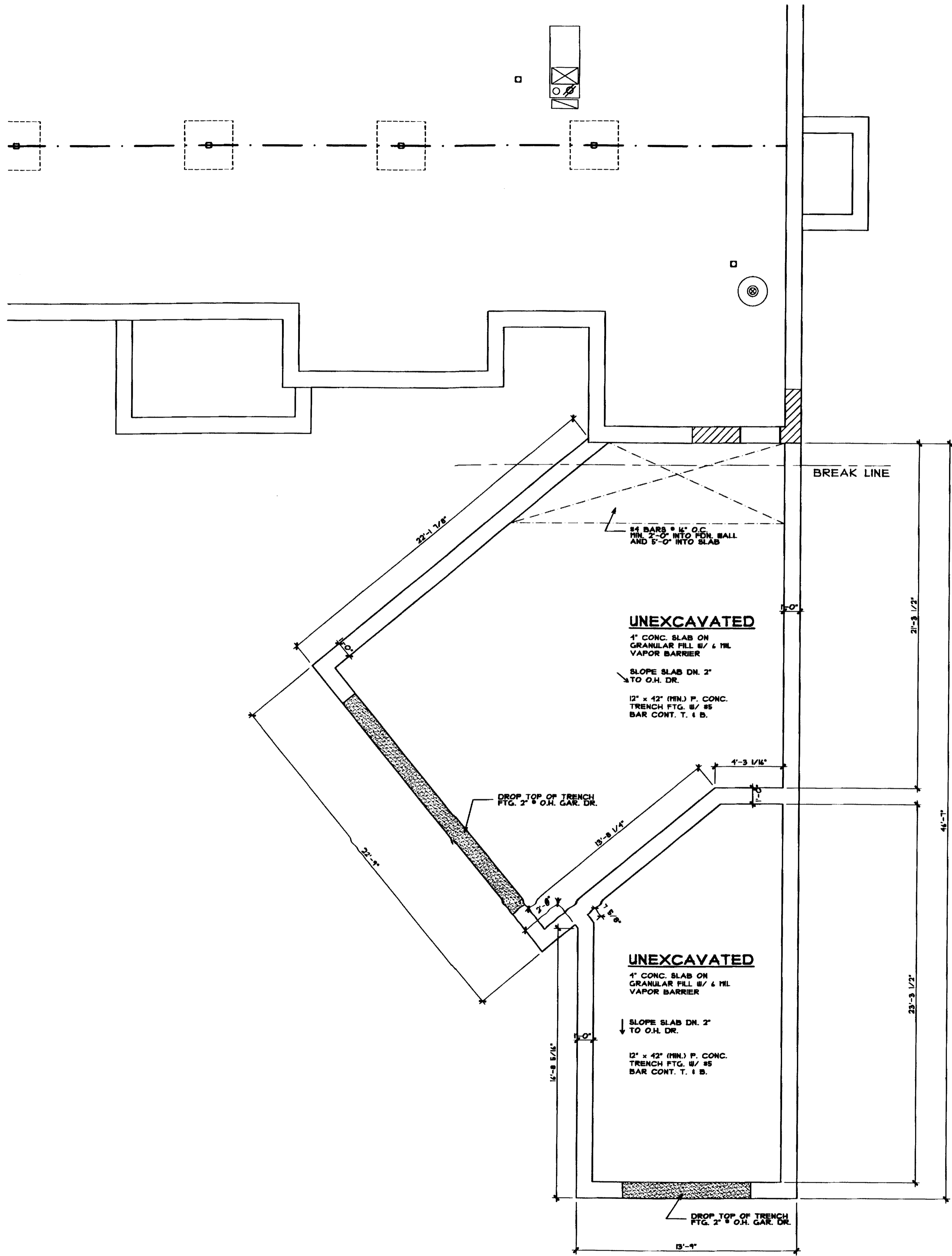
CRANFL SPACE ACCESS

BREAK LINE

DATE  
 02-06-15

SHEET NUMBER  
**7**





**GARAGE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/4" UNLESS NOTED OTHERWISE.

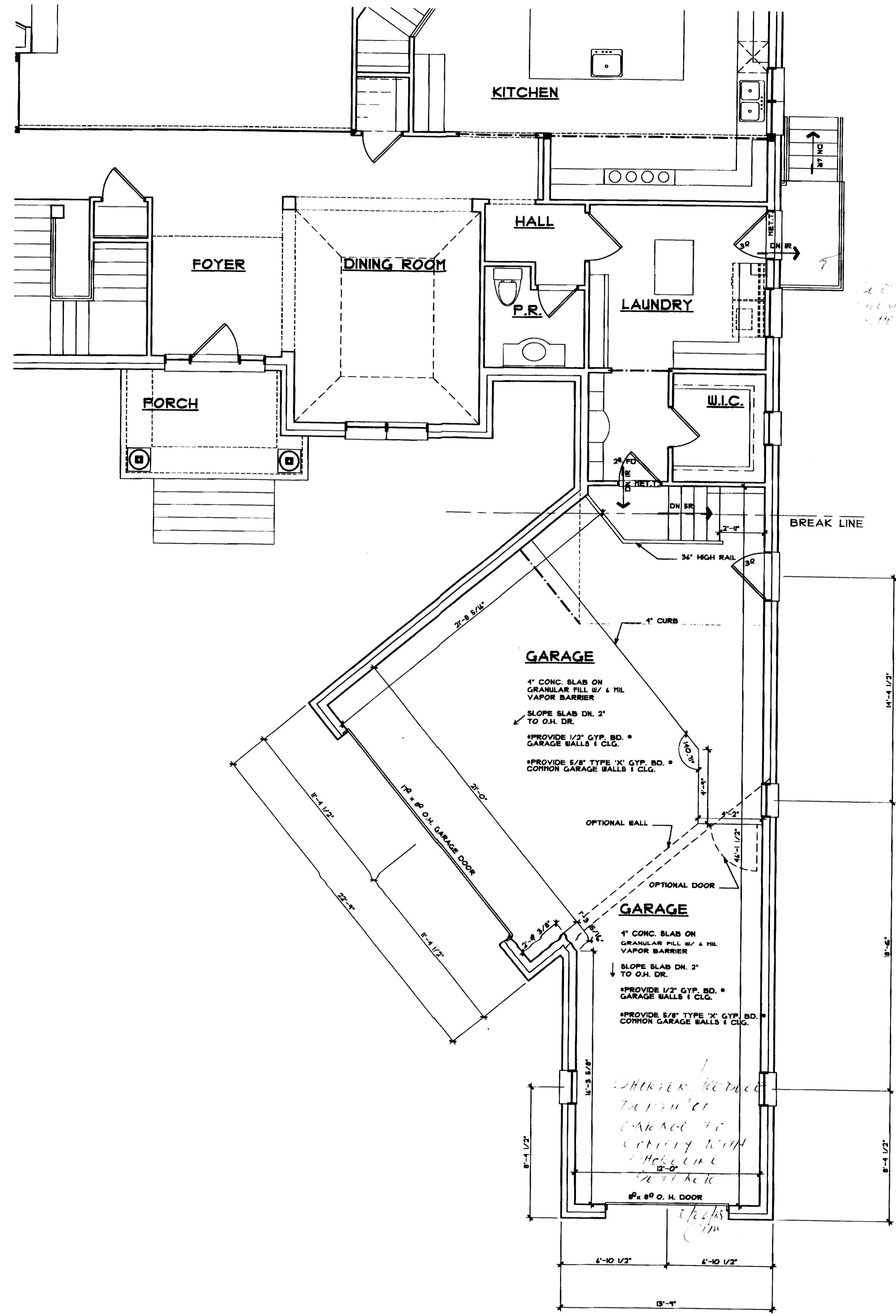
BEFORE CONSTRUCTION OBTAIN WINDOWS & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.



**GARAGE FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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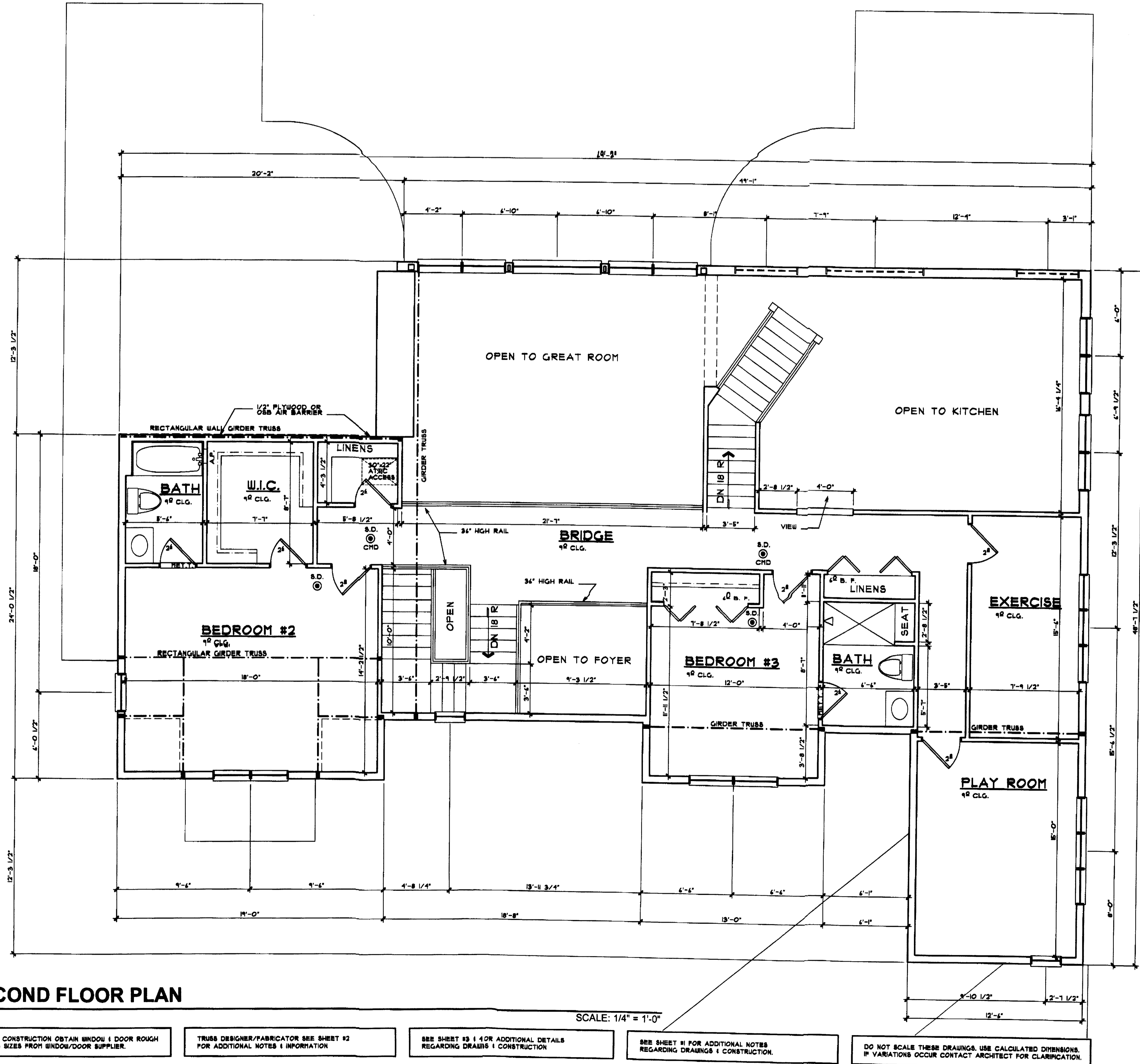
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 MICHIGAN

CLIENT PROJECT: GATEWOOD RESIDENCE  
 SHEET TITLE: GARAGE PLANS

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**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION.

SEE SHEET #3 FOR ADDITIONAL DETAILS REGARDING DRAINS & CONSTRUCTION.

SEE SHEET #4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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SHEET TITLE: SECOND FLOOR PLAN

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**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2010.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

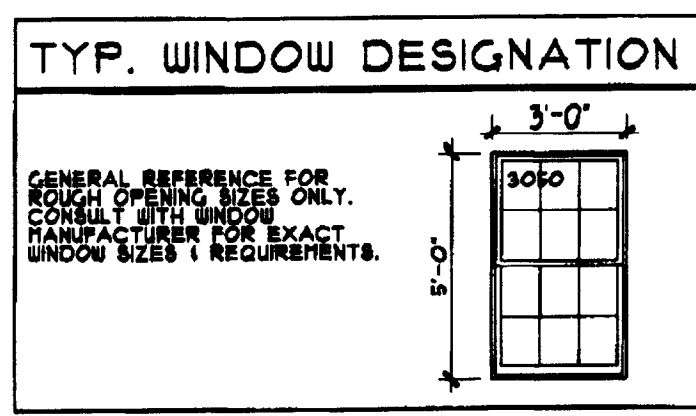
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM BRAKE. BRAKE DIMENSIONS ARE 4" AT BRICK AND 1" AT SIDING.

**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

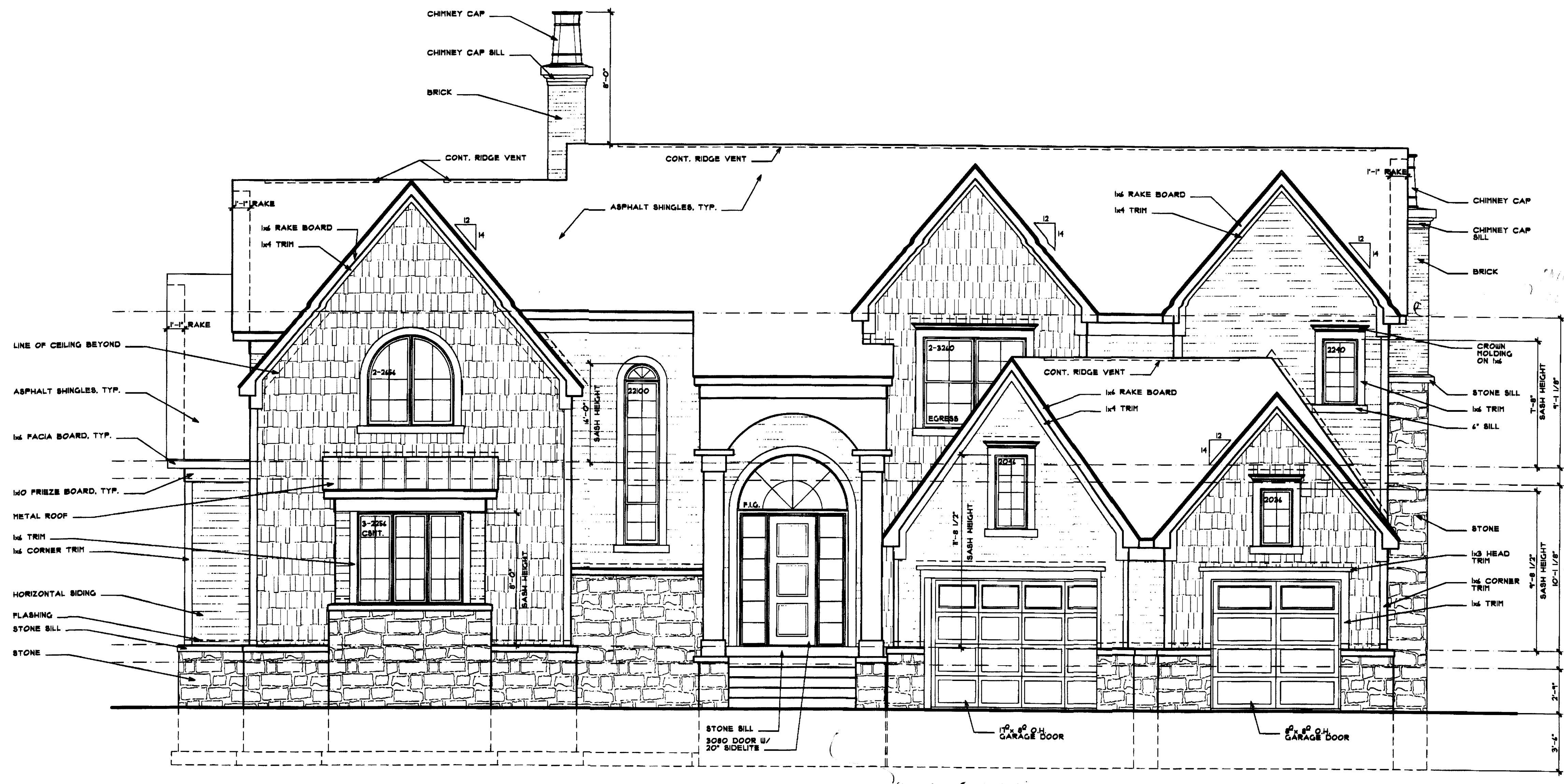
MAX SPAN (FEET)	LINTEL SIZE
3'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
3'-0" OR LESS	4" x 3 1/2" x 5/16"
3'-0" OR LESS	5" x 3 1/2" x 5/16"
3'-0" OR LESS	5" x 3 1/2" x 3/8"
3'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.  
NOTE: STEEL ANGLE LINTELS REQUIRE A SHARP COAT OF ROOF-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.



**EGRESS WINDOW**

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A NET CLEAR HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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**GATEWOOD RESIDENCE**  
T. MAGURAN GENERAL CONTRACTOR  
MICHIGAN

SHEET TITLE: **FRONT ELEVATION**

PROJECT: GATEWOOD RESIDENCE  
CONTRACTOR: T. MAGURAN GENERAL CONTRACTOR  
MICHIGAN

DATE: 02-06-15

SCALE: 1/4" = 1'-0"

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12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

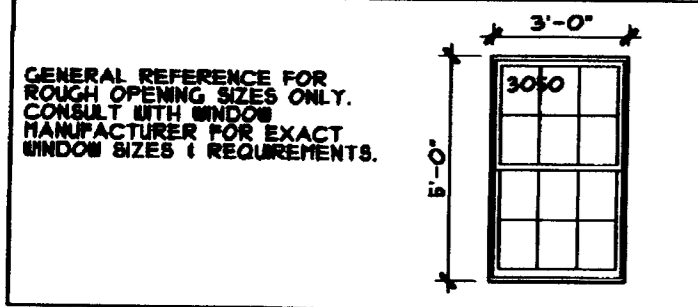
**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX. CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	4" x 3 1/2" x 3/8"

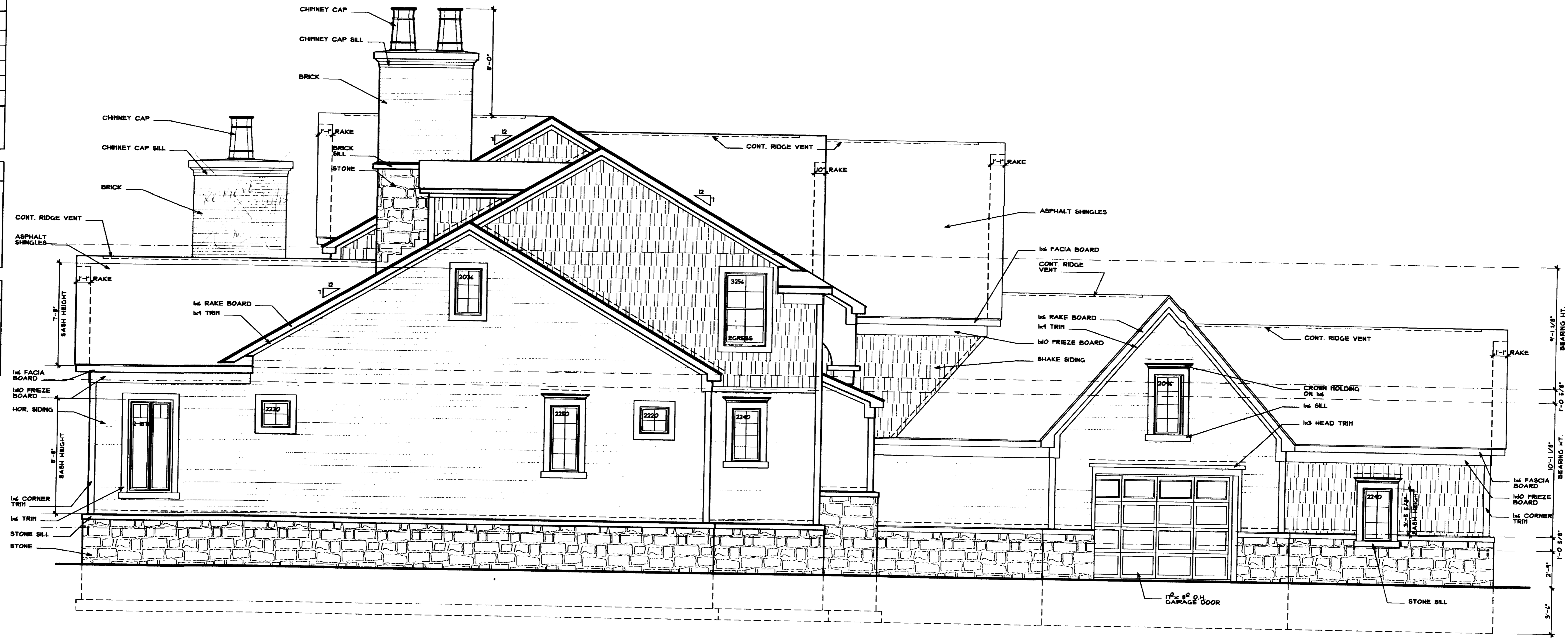
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.  
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

**TYP. WINDOW DESIGNATION**



**EGRESS WINDOW**

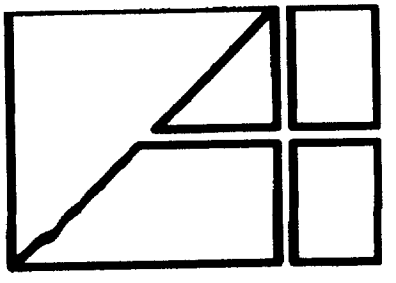
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND BIRTH OF 20 INCHES.



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"





SHEET TITLE  
**REAR ELEVATION**

CLIENT/PROJECT  
**GATEWOOD RESIDENCE**  
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 MICHIGAN

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**WINDOW SILLS**  
 IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 24" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS.  
 EXCEPTIONS:  
 1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2040.

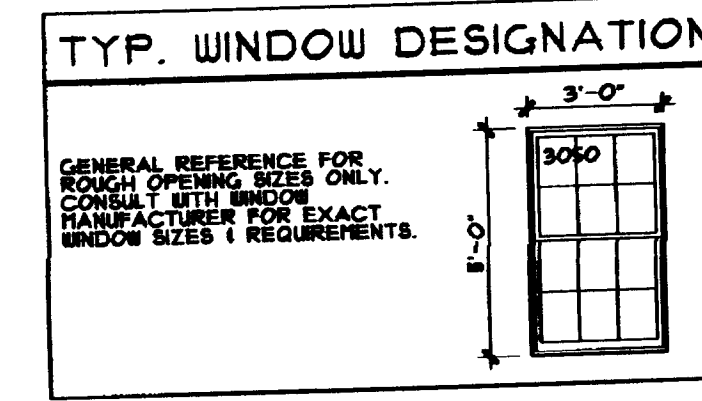
**OVERHANGS & DRAINAGE**  
 PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVEWAYS.  
 UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRONTS. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX. CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.  
 NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.



**EGRESS WINDOW**

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**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS. EXCEPTIONS:

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2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2010.

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UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME, RAKE DIMENSIONS ARE 4" AT BRICK AND 5" AT SIDING.

**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
0'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
1'-0" OR LESS	4" x 3 1/2" x 5/16"
2'-0" OR LESS	5" x 3 1/2" x 5/16"
3'-0" OR LESS	6" x 3 1/2" x 3/8"
4'-0" OR LESS	8" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

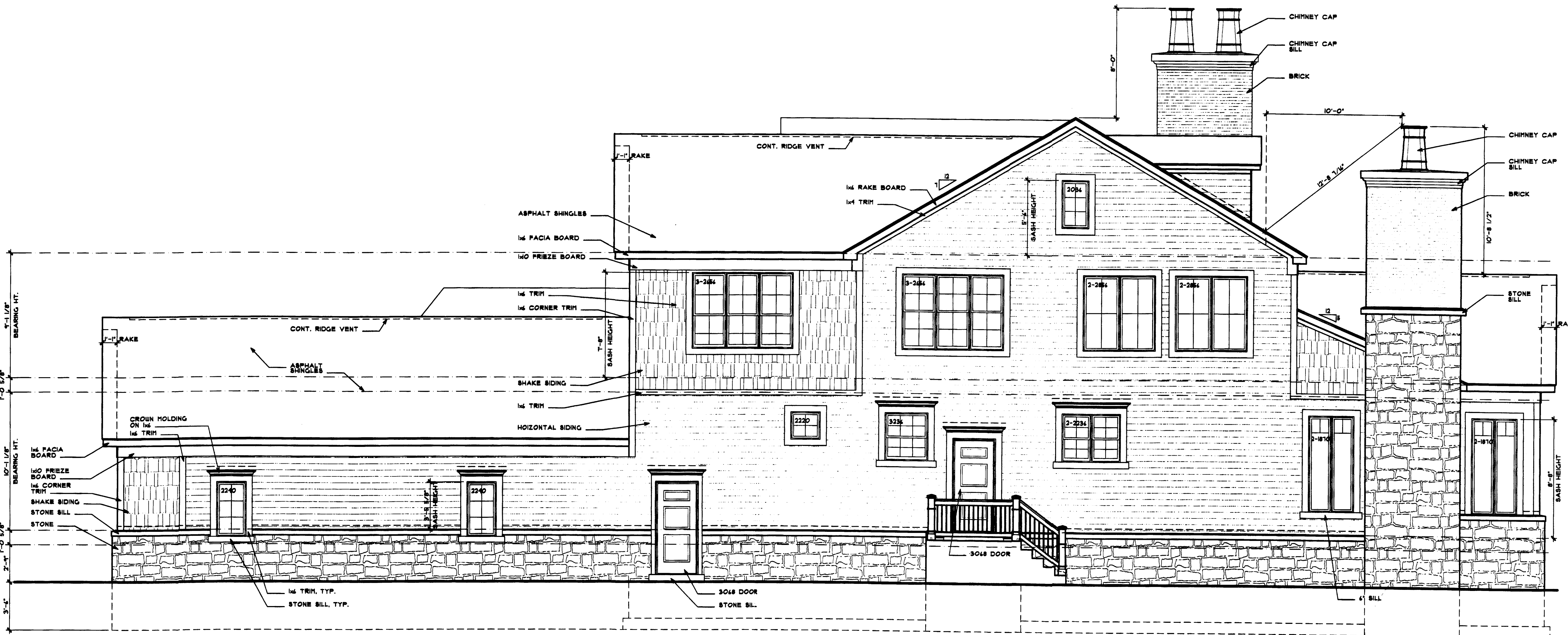
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

**TYP. WINDOW DESIGNATION**

GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

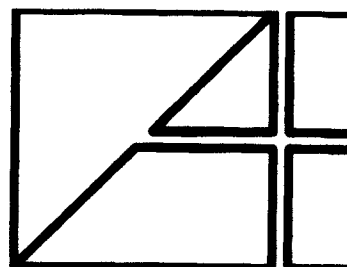
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**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



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 MICHIGAN

SHEET TITLE:  
**RIGHT SIDE ELEVATION**

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# ZBA 15-03 Area Map



WATER WILLOW

PATHWAY

WHITE WILLOW

Text

HUGHES

RED OAKS



1 inch = 150 feet

\* All Measurements are Approximate,  
Parcel Boundaries are Approximate and May be Inaccurate.

This is not a survey.

Source: Livingston County GIS Department



# Real Estate Summary Sheet

\*\*\*Information herein deemed reliable but not guaranteed\*\*\*

02/23/2015 12:33 PM

<b>Parcel:</b>	4711-10-201-003	<b>Current Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Owner's Name:</b>	GATEWOOD JACK & CAROL	<b>Previous Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Property Address:</b>	1022 S HUGHES RD HOWELL, MI 48843	<b>Gov. Unit:</b>	4711 GENOA CHARTER TOWNSHIP
		<b>MAP #</b>	V15-03
		<b>School:</b>	47070 HOWELL
		<b>Neighborhood:</b>	4309 4309 LK CHEMUNG LAKEFRONT
<b>Liber/Page:</b>	4834/0020	<b>Created:</b>	//
<b>Split:</b>	//	<b>Active:</b>	Active
<b>Public Impr.:</b>	None		
<b>Topography:</b>	REFUSE		

## Mailing Address:

GATEWOOD JACK & CAROL  
1022 S HUGHES RD  
HOWELL MI 48843

## Most Recent Sale Information

Sold on 05/16/2005 for 420,000 by LYNCH, RUTH A..

**Terms of Sale:** ARMS-LENGTH

**Liber/Page:** 4834/0020

## Most Recent Permit Information

Permit 10-107 on 08/27/2010 for \$0 category ADDITION.

## Physical Property Characteristics

<b>2015 S.E.V.:</b>	Tentative	<b>2015 Taxable:</b>	Tentative	<b>Lot Dimensions:</b>	
<b>2014 S.E.V.:</b>	157,800	<b>2014 Taxable:</b>	146,812	<b>Acres:</b>	0.33
<b>Zoning:</b>	LRR	<b>Land Value:</b>	147,000	<b>Frontage:</b>	90.0
<b>PRE:</b>	100.000	<b>Land Impr. Value:</b>	1,575	<b>Average Depth:</b>	157.2

## Improvement Data

# of Residential Buildings: 1  
Year Built: 1950  
Occupancy: Single Family  
Class: CD  
Style: CD  
Exterior: Wood Siding  
% Good (Physical): 52  
Heating System: Forced Air w/ Ducts  
Electric - Amps Service: 0  
# of Bedrooms: 3  
Full Baths: 2 Half Baths: 0  
Floor Area: 2,754  
Ground Area: 2,032  
Garage Area: 720  
Basement Area: 0  
Basement Walls:  
Estimated TCV: 191,061

## Image





Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
LYNCH, RUTH A.	GATEWOOD JACK & CAROL	420,000	05/16/2005	WD	ARMS-LENGTH	4834/0020	BUYER	100.0		
LYNCH, RUTH A. REPRESENTAT	LYNCH, RUTH A.	0	08/07/2003	IV	INVALID SALE	4078-0298	BUYER	0.0		
LYNCH, RUTH		198,000	07/11/1994	WD	ARMS-LENGTH	1849-0605	BUYER	0.0		
		0	09/30/1993	LC	MEMO L/C	17730937	BUYER	0.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status		
1022 S HUGHES RD		School: HOWELL			ADDITION	08/27/2010	10-107	NO START		
Owner's Name/Address		P.R.E. 100% 10/25/2007								
GATEWOOD JACK & CAROL 1022 S HUGHES RD HOWELL MI 48843		MAP #: V15-03								
Tax Description		2015 Est TCV Tentative		Land Value Estimates for Land Table 00004.LAKE CHEMUNG						
SEC. 10 T2N, R5E, MC NAMARA'S SUB LOT 3		X	Improved	Vacant	* Factors *					
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value						
		Dirt Road		LAKE FRONT 50.00 283.00 1.0000 1.0000 2300 100 115,000						
		Gravel Road		NON LAKE FRONT 40.00 0.00 1.0000 1.0000 800 100 32,000						
		Paved Road		90 Actual Front Feet, 0.33 Total Acres Total Est. Land Value = 147,000						
		Storm Sewer		Land Improvement Cost Estimates						
		Sidewalk		Description Rate CountyMult. Size %Good Cash Value						
		Water		D/W/P: 3.5 Concrete 3.20 1.00 192 46 283						
		Sewer		D/W/P: 3.5 Concrete 3.20 1.00 416 46 612						
		Electric		Shed: Wood Frame 9.24 1.00 160 46 680						
		Gas		Total Estimated Land Improvements True Cash Value = 1,575						
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2015	Tentative	Tentative	Tentative		Tentative
		LM	10/24/2011	INSPECTED	2014	73,500	84,300	157,800		146,812C
		LLM	11/02/2010	INSPECTED	2013	69,000	75,500	144,500		144,500S
					2012	69,000	74,000	143,000		143,000S

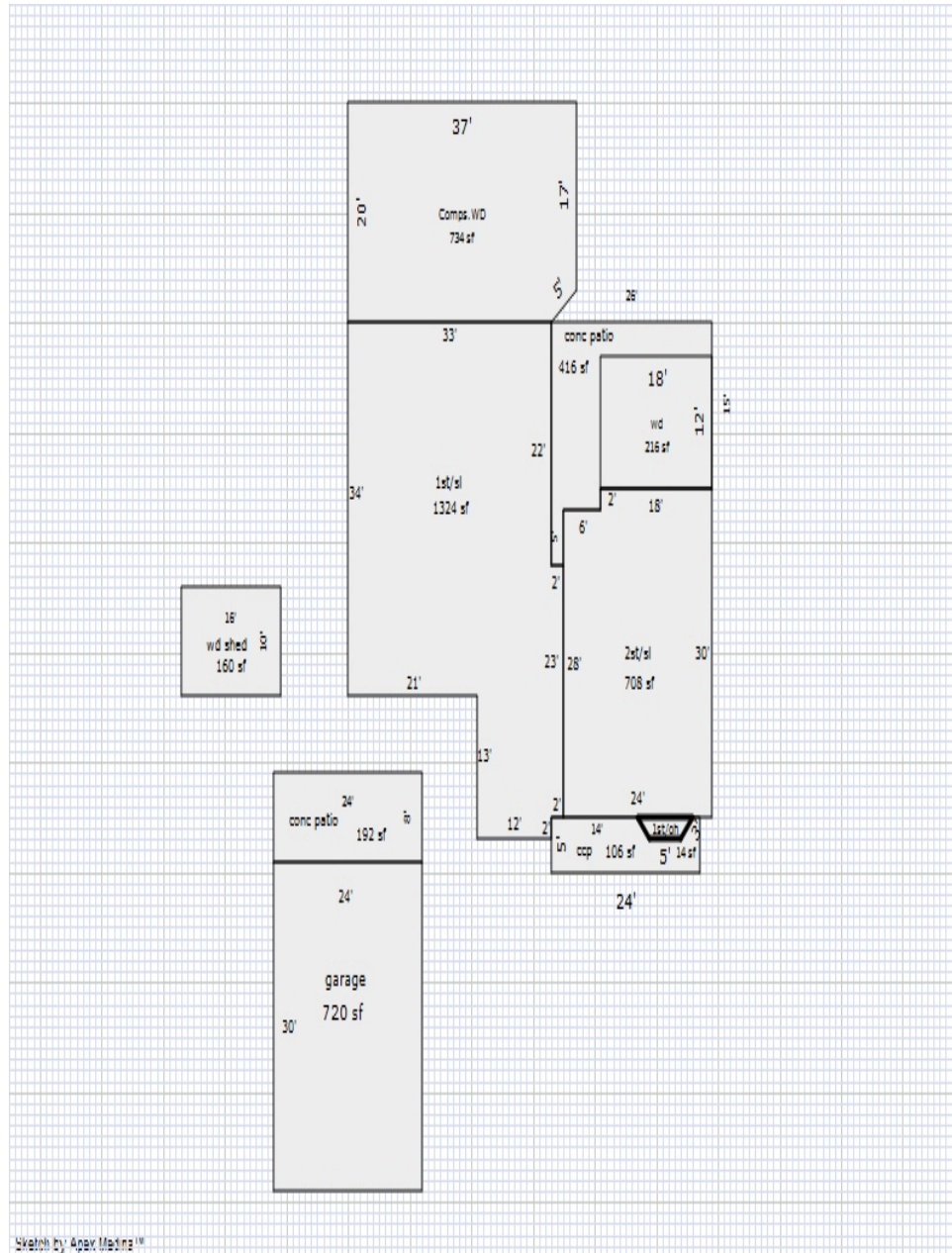


The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System	1	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 106 216 734	Type CCP (1 Story) Treated Wood Composite	Year Built: Car Capacity: Class: CD Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 720 % Good: 0 Storage Area: 0 No Conc. Floor: 0	
X	Wood Frame		Drywall Paneled		Plaster Wood T&G		Trim & Decoration Ex X Ord Min		Size of Closets Lg X Ord Small		Doors: Solid X H.C.		Class: CD Effec. Age: 48 Floor Area: 2754 Total Base Cost: 144,814 Total Base New : 212,877 Total Depr Cost: 110,696 Estimated T.C.V: 191,061		CntyMult X 1.470 E.C.F. X 1.726	Bsmnt Garage: Carport Area: Roof:	
Building Style: CD		Trim & Decoration		Central Air Wood Furnace			(12) Electric 0 Amps Service			Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj			Size Cost				
Yr Built 1950	Remodeled 1981	Size of Closets		No./Qual. of Fixtures Ex. X Ord. Min			1 Story Siding Slab 52.83 -8.80 0.00 1324 58,296			2 Story Siding Slab 82.83 -8.80 0.00 708 52,413			14 420				
Condition for Age: Good		Doors: Solid X H.C.		(13) Plumbing Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
Room List		(5) Floors		Kitchen: Other: Other:			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
Basement 1st Floor 2nd Floor 3 Bedrooms		Kitchen: Other: Other:		No. of Elec. Outlets Many X Ave. Few			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
(1) Exterior		(7) Excavation		(13) Plumbing			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
X	Wood/Shingle Aluminum/Vinyl Brick	Basement: 0 S.F. Crawl: 0 S.F. Slab: 2032 S.F. Height to Joists: 0.0		Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
(2) Windows		(8) Basement		(14) Water/Sewer			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
X	Many Avg. Few	X	Large Avg. Small	Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
(3) Roof		(9) Basement Finish		Lump Sum Items:			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
X	Gable Hip Flat		Gambrel Mansard Shed	Lump Sum Items:			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
X	Asphalt Shingle	Recreation SF Living SF Walkout Doors No Floor SF		Lump Sum Items:			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					
Chimney: Brick		Recreation SF Living SF Walkout Doors No Floor SF		Lump Sum Items:			Other Additions/Adjustments (13) Plumbing 3 Fixture Bath 1975.00 1 1,975 (14) Water/Sewer Public Sewer 1025.00 1 1,025 Well, 200 Feet 4675.00 1 4,675 (15) Built-Ins & Fireplaces Fireplace: Interior 2 Story 3425.00 1 3,425 Fireplace: Prefab 1 Story 1710.00 1 1,710 (16) Porches CCP (1 Story), Standard 27.89 106 2,956 (16) Deck/Balcony Treated Wood,Standard 6.69 216 1,445 Composite,Standard 6.18 734 4,536 (17) Garages Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 16.58 720 11,938 Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = 110,696 ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 = 191,061			Rate		Size Cost					

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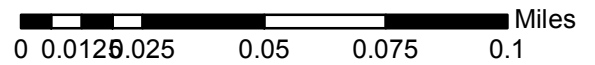
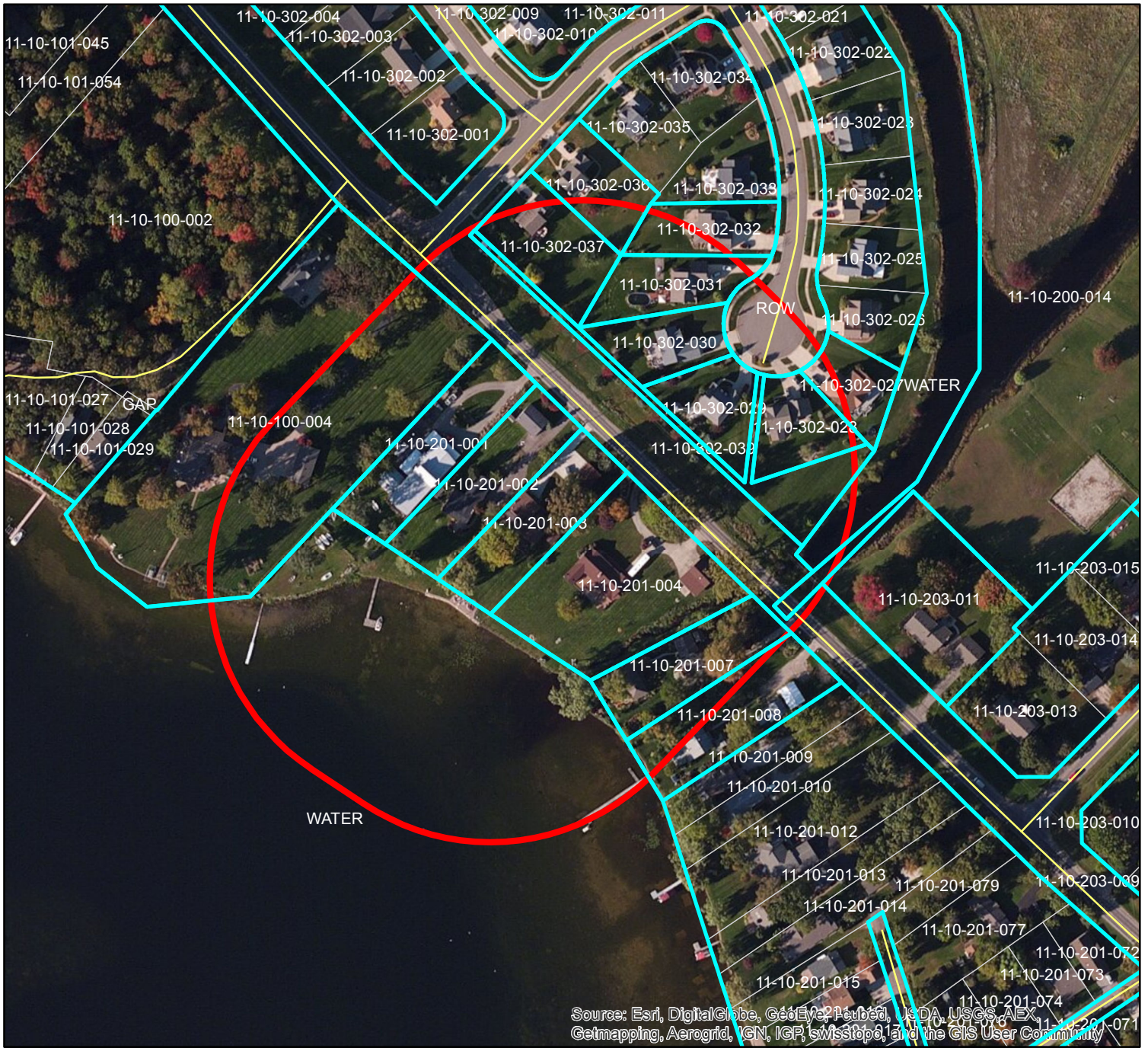


Drawn by Apex Mapping LLC

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



# 300 Foot Buffer for Noticing



Variance Case #15-09

Applicant: Carol and Jack Gatewood

Parcel: 4711-10-201-003

Meeting Date: June 16, 2015



May 26, 2015



# GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 15-10 Meeting Date: 6-16-15

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial  
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Joseph Andrews  
Property Address: 1115 norfolk- howell Phone: 248-672-4007  
Present Zoning: LRR Tax Code: 4711-10-201-068

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: setback variance on front, back and one side to be able to build on an existing foundation
2. Intended property modifications: remove existing structure & rebuild

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land it is long and skinny  
(explain) \_\_\_\_\_  
\_\_\_\_\_
- b. Other  
(explain) \_\_\_\_\_  
\_\_\_\_\_

**Variance Application Requires the Following:** (failure to meet these requirements may result in tabling of this petition.)

- **PROPERTY MUST BE STAKED SHOWING ALL** proposed improvements 5 days before the meeting and remain in place until after the meeting
- **Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. NOTE: One paper copy of all drawings is required.**
- **Waterfront properties must indicate setback from water from adjacent homes.**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 5-22-15

Signature: Joseph Andrews  
Digitally signed by Joseph Andrews  
DN: cn=Joseph Andrews, c=us, email=droptop426r@gmail.com, c=US  
Date: 2015.05.22 12:21:53 -0400

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Ron Akers at the township office to discuss what your next step is.**

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**June 16, 2015**  
**CASE #15-10**

**PROPERTY LOCATION:** 1115 Norfolk

**PETITIONER:** Joseph Andrews

**ZONING:** LRR (Lake Resort Residential District)

**WELL AND SEPTIC INFO:** Sewer, Well

**PETITIONERS REQUEST:** Rear yard setback variance and a front yard setback variance.

**CODE REFERENCE:** Section 3.04.01

**STAFF COMMENTS:** See Attached Staff Report

	Front	Other Front	Side	Rear	Height	-
Required Setbacks	35'	35'	10'	40'	25'	-
Setbacks Requested	24'	58'	19'	5'	N/A	-
Variance Amount	11'	N/A	N/A	35'	N/A	-



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Ron Akers, Zoning Official  
**DATE:** June 10, 2015  
**RE:** ZBA 15-10

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2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

### STAFF REPORT

**File Number:** ZBA#15-10

**Site Address:** 1115 Norfolk

**Parcel Number:** 4711-10-201-068

**Parcel Size:** 0.086 Acres

**Applicant:** Joseph Andrews, 21728 Colgate, Farmington, MI 48336

**Property Owner:** Same as Applicant

**Information Submitted:** Application, site plan

**Request:** Dimensional Variances

**Project Description:** Applicant is requesting a front yard setback variance and a rear yard setback variance in order to demolish the existing structure and construct a new single family dwelling on the same footprint.

**Zoning and Existing Use:** LRR (Lake Resort Residential), Single Family Residential

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 31, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- A variance request at 1115 Norfolk to use the building as a duplex was denied in April 2014. Since this denial the building has remained vacant.
- The owner was issued a permit on October 22, 2014 to convert the home to a single family dwelling.
- The Livingston County Building Department inspected the property on May 6, 2015 and made several findings which indicated the structure was unsafe and in danger of collapsing.
- A land use waiver was issued on 5/22/15 for the demolition of the existing structure.
- See Real Estate Summary and Record Card.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

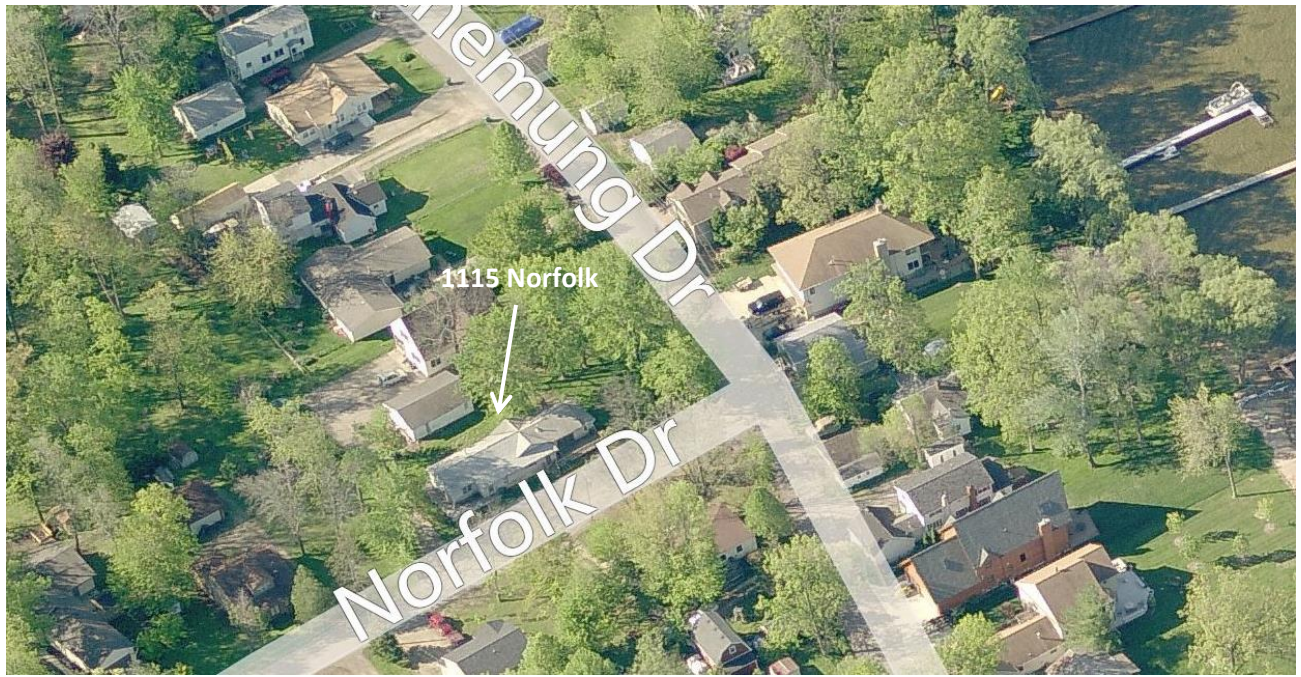
Todd W. Smith

Linda Rowell



## Summary

Due to the recent inspection by the Livingston County Building Department the owner of this property has proposed to demolish the existing structure on the property and is proposing to construct a new single family dwelling. In order to construct a single family dwelling on the property the applicant will need to obtain a rear yard setback and front yard setback variance.



## Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

<b>Table 3.04.01: Front Yard Setback Required:</b>	<b>35'</b>	<b>Front Yard Setback Proposed:</b>	<b>24'</b>
<b>Rear Yard Setback Required:</b>	<b>40'</b>	<b>Rear Yard Setback Proposed:</b>	<b>5'</b>

## Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

**23.05.03 Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Summary of Findings**

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

**Practical Difficulty/Substantial Justice:** Strict compliance with the setback standards for the LRR district would limit the applicant's ability to construct a single family dwelling on the lot due to the small, narrow lot size. Both setbacks will be needed to construct a home which is of a consistent size with the homes in the vicinity.

**Extraordinary Circumstances:** The extraordinary circumstance applicable to this property is the small lot size of the property. The small lot size limits the ability of the applicant to place a single family dwelling on the property. Additionally granting this variance would allow the applicant to remain in line with the houses to the east. The need for the variance is due to the small, narrow lot size and is not self-created.

**Public Safety and Welfare** – The granting of this variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. The granting of this variance would promote public health, safety, and welfare because the result of the granting of this variance would be the removal of an unsafe and dilapidated structure.

**Impact on Surrounding Neighborhood** – The removal of the unsafe, dilapidated structure and construction of a new single family dwelling would have a positive impact on values of adjacent properties.

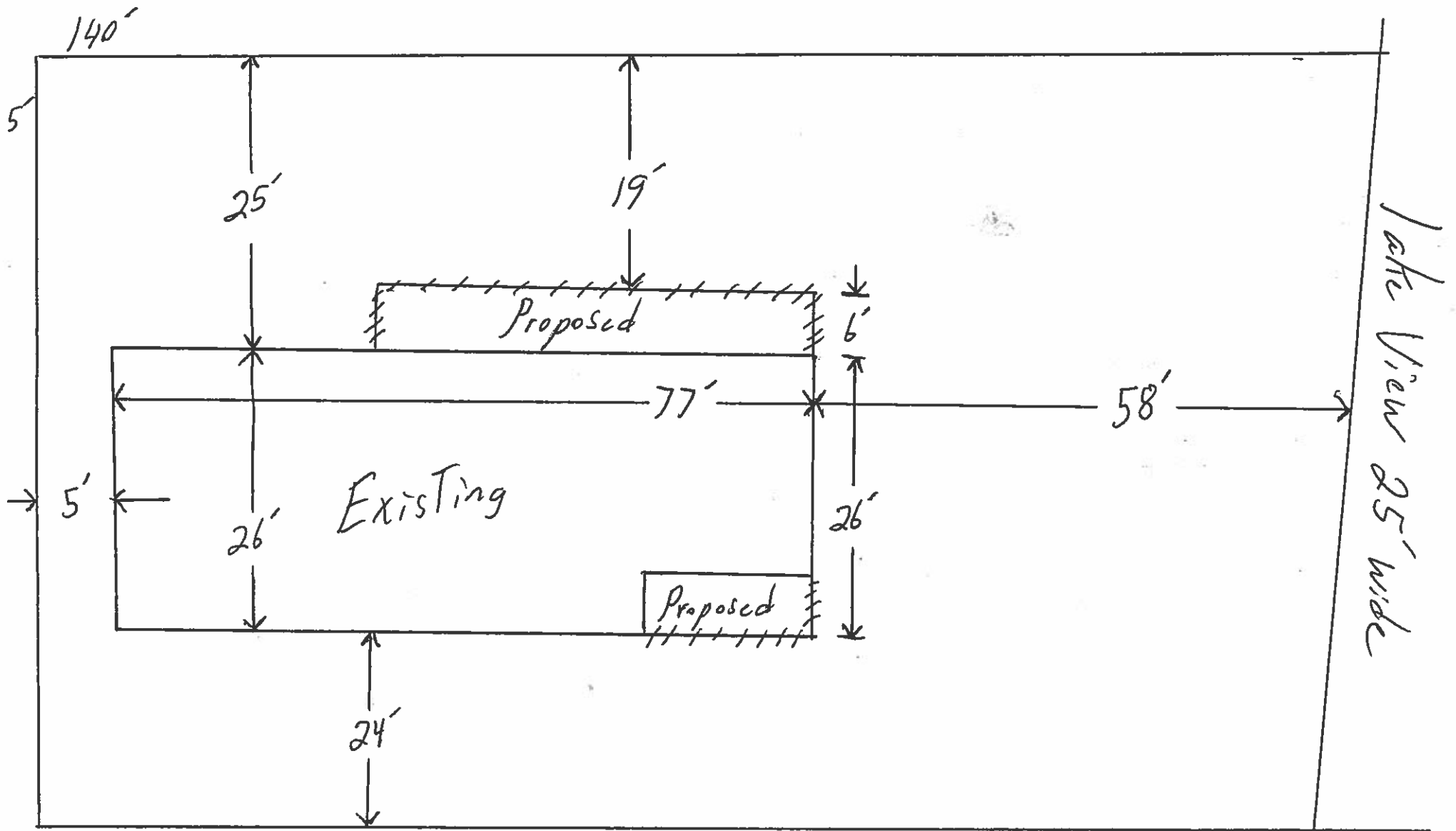
### **Staff Findings of Fact**

1. Strict application of the required front yard setback and rear yard setback would unreasonably limit the applicant's ability to construct a single family dwelling on the property.
2. The extraordinary or exceptional circumstance applicable to the property is the small, narrow lot size.
3. Granting these variances would make the property consistent with adjacent homes through keeping the houses "in line." Other homes in the vicinity do not comply with the front and rear yard setbacks.

4. The need for the variances is due to the small, narrow lot size.
5. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township. The removal of the unsafe, dilapidated structure promotes the public health, safety, welfare.
6. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The removal of the unsafe, dilapidated structure and the construction of a new single family dwelling would increase values in the area.

**Recommended Condition of Approval**

1. Approval is conditioned upon the removal of the existing unsafe, dilapidated structure within thirty (30) days or by July 16, 2015.
2. If the structure is not removed by the July 16, 2015 deadline, the Township shall initiate the process to remove the structure as outlined in the Abandoned and Dangerous Buildings Ordinance.



1115 Norfolk dr. 25' wide



# ZBA 15-10 Area Map



RED OAKS

APPLE BLOSSOM

NORFOLK

HUGHES

JAMES R

CHEMUNG



1 inch = 150 feet

\* All Measurements are Approximate,  
Parcel Boundaries are Approximate and May be Inaccurate.  
This is not a survey.

Source: Livingston County GIS Department



# Real Estate Summary Sheet

\*\*\*Information herein deemed reliable but not guaranteed\*\*\*

06/10/2015 12:01 PM

<b>Parcel:</b>	4711-10-201-068	<b>Current Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Owner's Name:</b>	ANDREWS JOSEPH	<b>Previous Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Property Address:</b>	1115 NORFOLK HOWELL, MI 48843	<b>Gov. Unit:</b>	4711 GENOA CHARTER TOWNSHIP
		<b>MAP #</b>	V15-10
		<b>School:</b>	47070 HOWELL
		<b>Neighborhood:</b>	4300 4300 LK CHEMUNG NON WATERFRONT
<b>Liber/Page:</b>	2014R-000775	<b>Created:</b>	//
<b>Split:</b>	//	<b>Active:</b>	Active
<b>Public Impr.:</b>	None		
<b>Topography:</b>	REFUSE		

## Mailing Address:

ANDREWS JOSEPH  
21728 COLGATE  
FARMINGTON MI 48336

## Most Recent Sale Information

Sold on 12/20/2013 for 20,100 by NATIONSTAR MORTGAGE.

**Terms of Sale:** FORECLOSURE

**Liber/Page:** 2014R-000775

## Most Recent Permit Information

Permit P14-188 on 10/22/2013 for \$15,000 category REMODEL.

## Physical Property Characteristics

<b>2016 S.E.V.:</b>	Tentative	<b>2016 Taxable:</b>	Tentative	<b>Lot Dimensions:</b>	
<b>2015 S.E.V.:</b>	55,400	<b>2015 Taxable:</b>	55,400	<b>Acres:</b>	0.09
<b>Zoning:</b>	LRR	<b>Land Value:</b>	79,200	<b>Frontage:</b>	148.0
<b>PRE:</b>	0.000	<b>Land Impr. Value:</b>	0	<b>Average Depth:</b>	25.3

## Improvement Data

# of Residential Buildings: 1  
Year Built: 1925  
Occupancy: Single Family  
Class: D  
Style: D  
Exterior: Wood Siding  
% Good (Physical): 45  
Heating System: Forced Air w/ Ducts  
Electric - Amps Service: 0  
# of Bedrooms: 5  
Full Baths: 2 Half Baths: 0  
Floor Area: 1,176  
Ground Area: 1,176  
Garage Area: 0  
Basement Area: 0  
Basement Walls:  
Estimated TCV: 31,676

## Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
NATIONSTAR MORTGAGE	ANDREWS JOSEPH	20,100	12/20/2013	WD	FORECLOSURE	2014R-000775	BUYER	100.0
ANEED, SALEEM & SHEREEN	NATIONSTAR MORTGAGE	74,385	04/17/2013	IV	FORECLOSURE	2013R-018374	BUYER	0.0
FREDENBURG, ELLEN G.	ANEED, SALEEM JR., & SHEREEN	131,900	11/21/2003	WD	ARMS-LENGTH	4312/0670	BUYER	100.0

Property Address	Class: 401 RESIDENTIAL-IM	Zoning: LRR	Building Permit(s)	Date	Number	Status
1115 NORFOLK	School: HOWELL		DEMO	05/22/2015	W15-070	NO START
	P.R.E. 0%		REMODEL	10/22/2013	P14-188	NO START
Owner's Name/Address	MAP #: V15-10					
ANDREWS JOSEPH 21728 COLGATE FARMINGTON MI 48336	2016 Est TCV Tentative					

Tax Description	X	Improved	Vacant	Land Value Estimates for Land Table 00004.LAKE CHEMUNG								
				Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value	
SEC. 10 T2N, R5E, MC NAMARA'S SUBDIVISION LOT 64 AND N 1/2 OF LOT 63				NON LAKE FRONT	50.00	75.00	1.0000	1.0000	800	100		40,000
				NON LAKE FRONT	98.00	0.00	1.0000	1.0000	800	50		39,200
				148 Actual Front Feet, 0.09 Total Acres Total Est. Land Value =							79,200	

Comments/Influences	Public Improvements	* Factors *
	Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.	



Topography of Site	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain							
X REFUSE	2016	Tentative	Tentative	Tentative			Tentative
LM 10/24/2014 REVIEWED R	2015	39,600	15,800	55,400			55,400S
LM 07/24/2013 REVIEWED R	2014	39,600	20,900	60,500			60,500S
	2013	34,700	17,900	52,600			52,600S

The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan

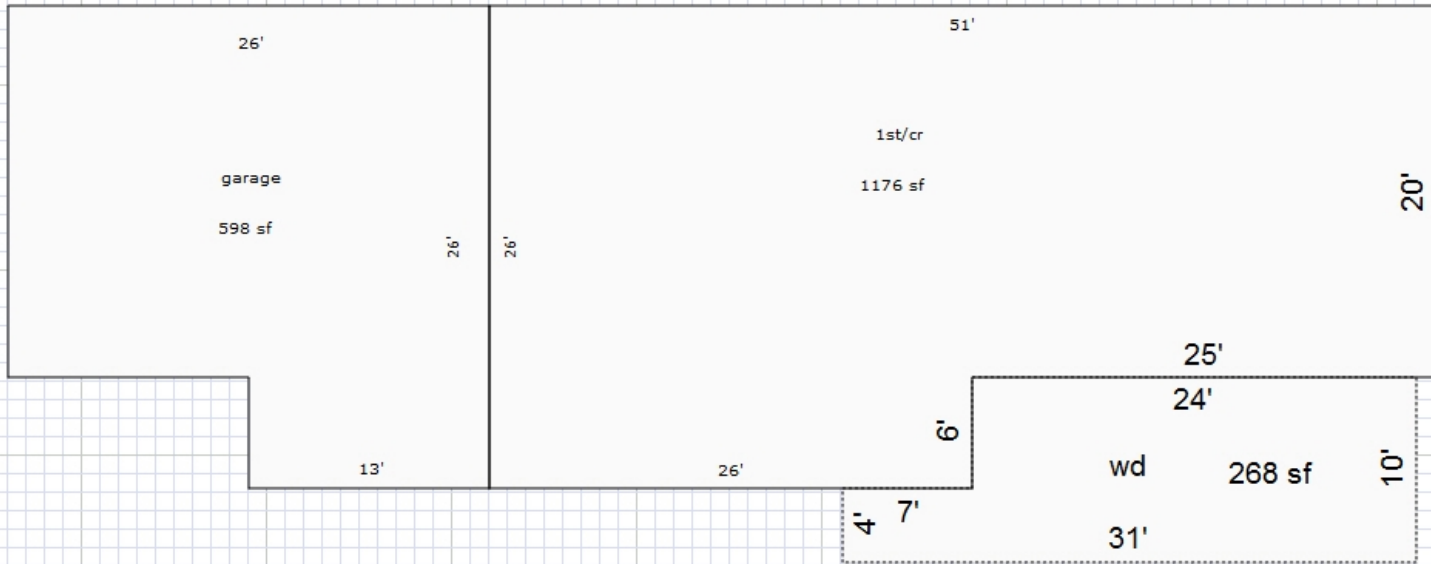
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 268	Type Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	
X	Wood Frame		Drywall Paneled		Plaster Wood T&G	X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling										
Building Style: D		Trim & Decoration															
Yr Built 1925	Remodeled 0	Ex	X	Ord		Min											
Condition for Age: Good		Size of Closets															
		Lg	X	Ord		Small											
Room List		Doors:		Solid	X	H.C.											
Basement 1st Floor 2nd Floor 5 Bedrooms		Kitchen: Other: Other:															
(1) Exterior		(5) Floors															
Wood/Shingle Aluminum/Vinyl Brick		(6) Ceilings															
Insulation		Basement: 0 S.F. Crawl: 1176 S.F. Slab: 0 S.F. Height to Joists: 0.0															
(2) Windows		(7) Excavation															
Many Avg. Few	X	Large Avg. Small															
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement															
(3) Roof		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor															
Gable Hip Flat		Gambrel Mansard Shed															
Asphalt Shingle		(9) Basement Finish															
Chimney: Brick		Recreation SF Living SF Walkout Doors No Floor SF															
		(10) Floor Support															
		Joists: Unsupported Len: Cntr.Sup:															
		Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic															
		Lump Sum Items:															
		Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj Size Cost															
		1 Story Siding Crawl Space 46.87 -8.06 0.66 1176 46,417															
		Other Additions/Adjustments Rate Size Cost															
		(13) Plumbing 3 Fixture Bath 1650.00 1 1,650															
		(14) Water/Sewer Public Sewer 912.00 1 912															
		Well, 200 Feet 4400.00 1 4,400															
		(16) Deck/Balcony Treated Wood,Standard 6.20 268 1,662															
		Phy/Ab.Phy/Func/Econ/Comb.%Good= 45/100/100/100/45.0, Depr.Cost = 36,409															
		ECF (4300 LK CHEMUNG NON WATERFRONT) 0.870 => TCV of Bldg: 1 = 31,676															

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



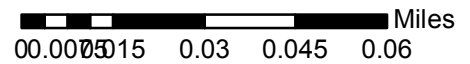
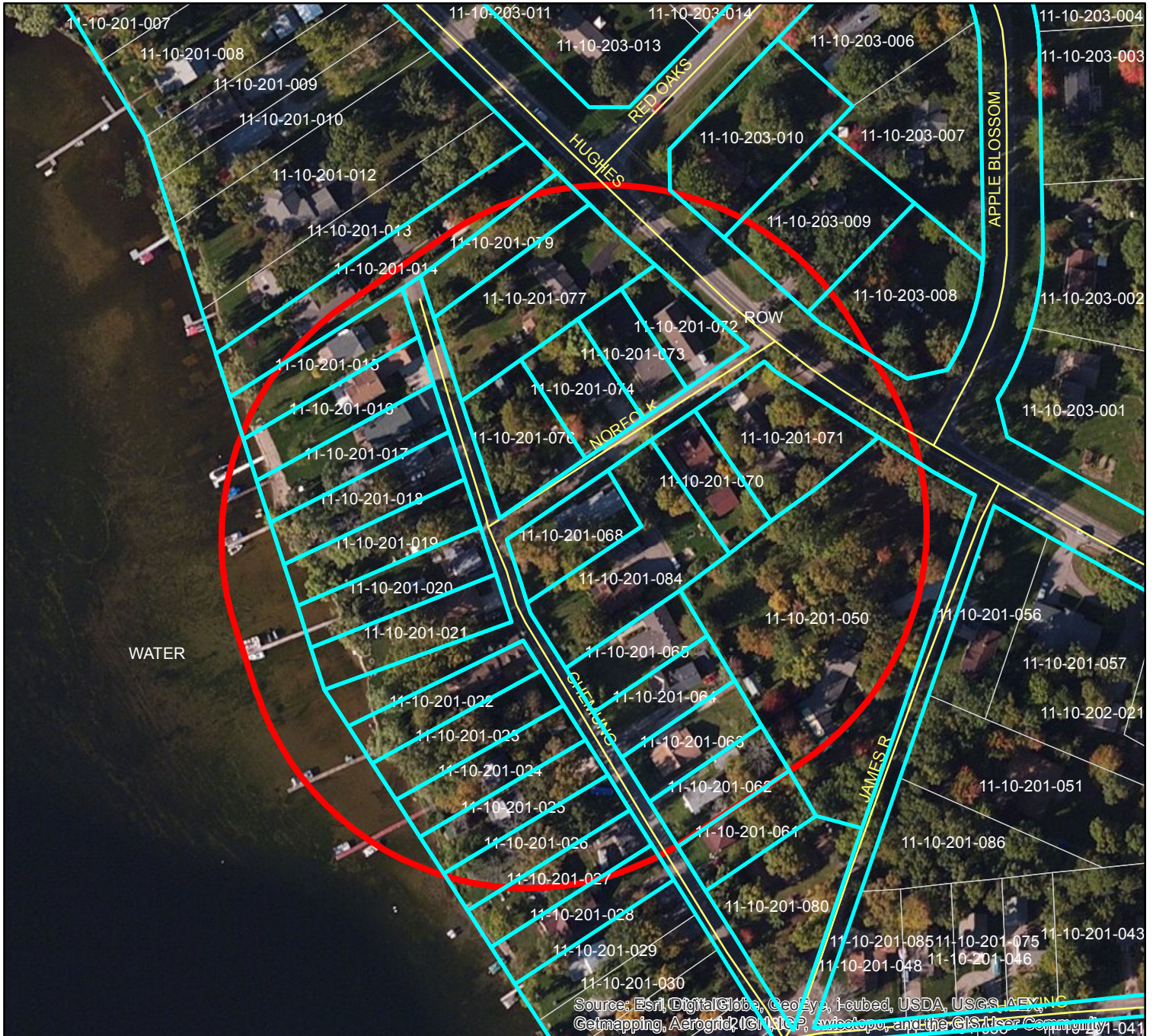
3 Bedrooms  
2 Full Baths  
Central Air  
Concrete Driveway



Sketch by Apex Sketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

# 300 Foot Buffer for Noticing



Variance Case #15-10

Applicant: Joseph Andrews

Parcel: 4711-10-201-068

Meeting Date: June 16, 2015



May 26, 2015



**GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE**

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 15-11 Meeting Date: 6-16-15

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: Christopher J Chaka

Property Address: 4405 Filbert Dr Phone: 734.260.7883

Present Zoning: LRR Tax Code: 4711-27-105-040

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Build a new shed in back yard, would like to deviate from normal setbacks from lake shoreline. Would like to move the shed further away from hose.
2. Intended property modifications: Build a new shed 25' from lake shoreline

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land Steep grade in back yard. Yard flattens out near the back of the property. (explain)  
it is impractical to have a shed located at the normal setback, the hill in the yard is too steep
- b. Other I would like to build the shed closer to the lake shoreline where it is flatter and in alignment with shed locations of my neighbors and many other residents on Round Lake. (explain)

**Variance Application Requires the Following: (failure to meet these requirements may result in tabling of this petition.**

- **PROPERTY MUST BE STAKED SHOWING ALL proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. NOTE: One paper copy of all drawings is required.**
- **Waterfront properties must indicate setback from water from adjacent homes.**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 5/22/2015

Signature: \_\_\_\_\_

***Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.***

***After the decision is made regarding your variance approval contact Ron Akers at the township office to discuss what your next step is.***



**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**June 16, 2015**  
**CASE #15-11**

**PROPERTY LOCATION:** 4405 Filbert Dr

**PETITIONER:** Christopher J. Chaka

**ZONING:** LRR (Lake Resort Residential District)

**WELL AND SEPTIC INFO:** Sewer, Well

**PETITIONERS REQUEST:** Shoreline Setback Variance

**CODE REFERENCE:** Section 3.04.01

**STAFF COMMENTS:** See Attached Staff Report

	Front	One Side	Other Side	Shoreline	Height	-
Required Setbacks	N/A	5'	10'	147'	14'	-
Setbacks Requested	N/A	5'	39'	25'	11.5'	-
Variance Amount	N/A	N/A	N/A	122'	N/A	-



## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Ron Akers, Zoning Official  
**DATE:** June 11, 2015  
**RE:** ZBA 15-11

---

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

### STAFF REPORT

**File Number:** ZBA#15-11

**Site Address:** 4405 Filbert Dr.

**Parcel Number:** 4711-27-105-040

**Parcel Size:** 0.332 Acres

**Applicant:** Christopher J. Chaka, 4405 Filbert Dr. Brighton, MI 48116

**Property Owner:** Same as Applicant

**Information Submitted:** Application, site plan, elevation drawing

**Request:** Dimensional Variance

**Project Description:** Applicant is requesting a shoreline setback variance in order to construct a small detached accessory building.

**Zoning and Existing Use:** LRR (Lake Resort Residential), Single Family Residential

**Other:**

Public hearing was published in the Livingston County Press and Argus on Sunday May 31, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

**Background**

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling (2,808 square feet) built in 2003 with an attached garage (572 square feet).
- The single family dwelling is connected to public sewer and has an existing well.
- See Real Estate Summary and Record Card.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

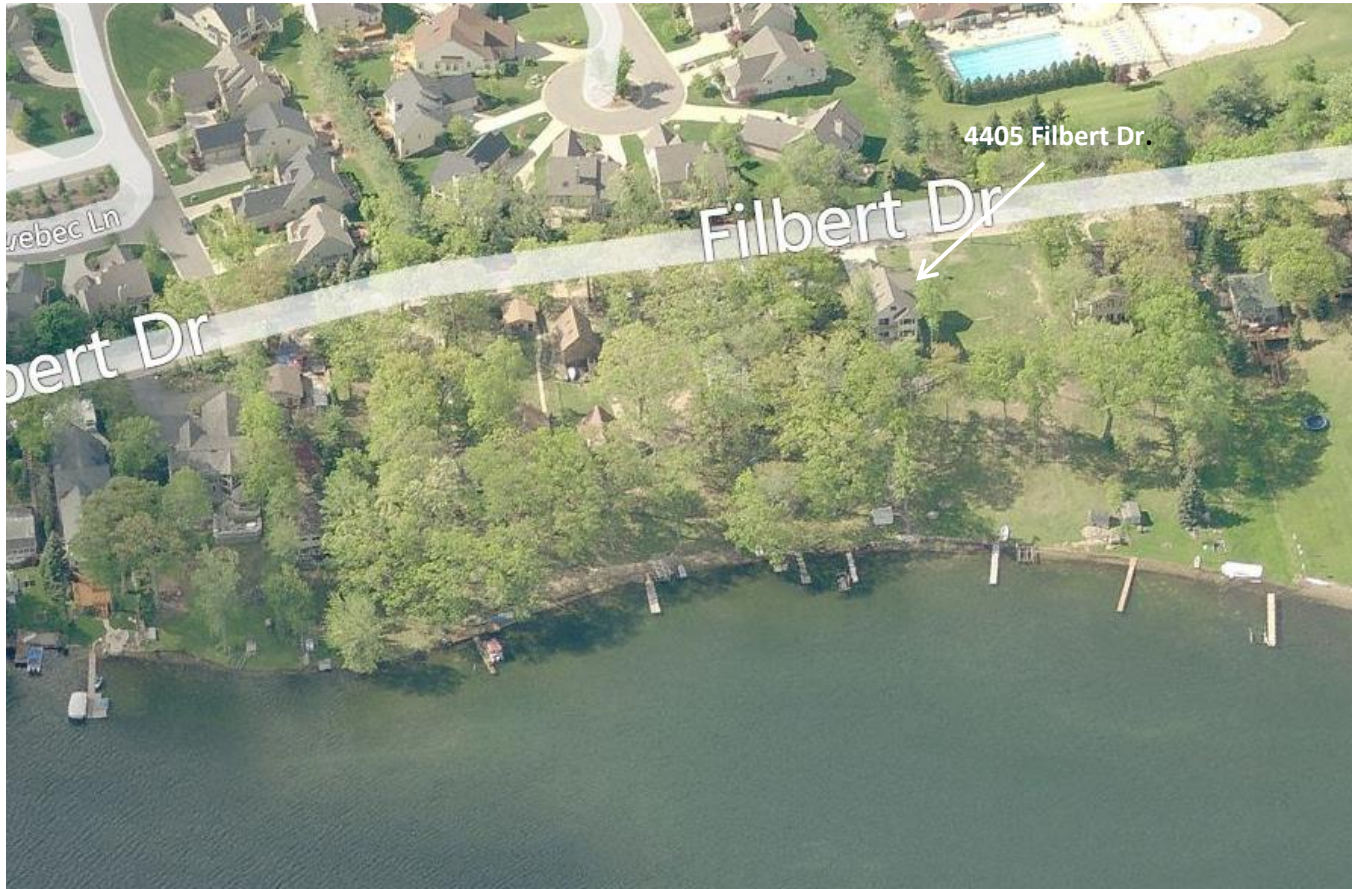
Jean W. Ledford

Todd W. Smith

Linda Rowell

## Summary

The applicant has proposed to construct a shed within the shoreline setback in the water front yard of the property. There are several other properties with sheds located in the required waterfront yard.



## Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

**Table 3.04.02: Require Shoreline Setback: 147' Proposed Shoreline Setback: 25'**

## Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

**23.05.03 Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.



(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Summary of Findings**

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

**Practical Difficulty/Substantial Justice:** Strict compliance with the required shoreline setback would prevent the applicant from constructing a small detached accessory building in the waterfront yard. There is the presence of a substantial difference in elevation between the house and the shoreline which would limit the ability of the applicant to place and use a shed within the required shoreline setback.

**Extraordinary Circumstances:** The extraordinary circumstances are due to the large elevation changes in the waterfront yard. Additionally there are several other properties in the vicinity, which have small accessory buildings close to the shoreline. The need for the variance does not appear to be self-created by the applicant, but created due to the elevation difference on the parcel and the existence of small accessory buildings on adjacent parcels.

**Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

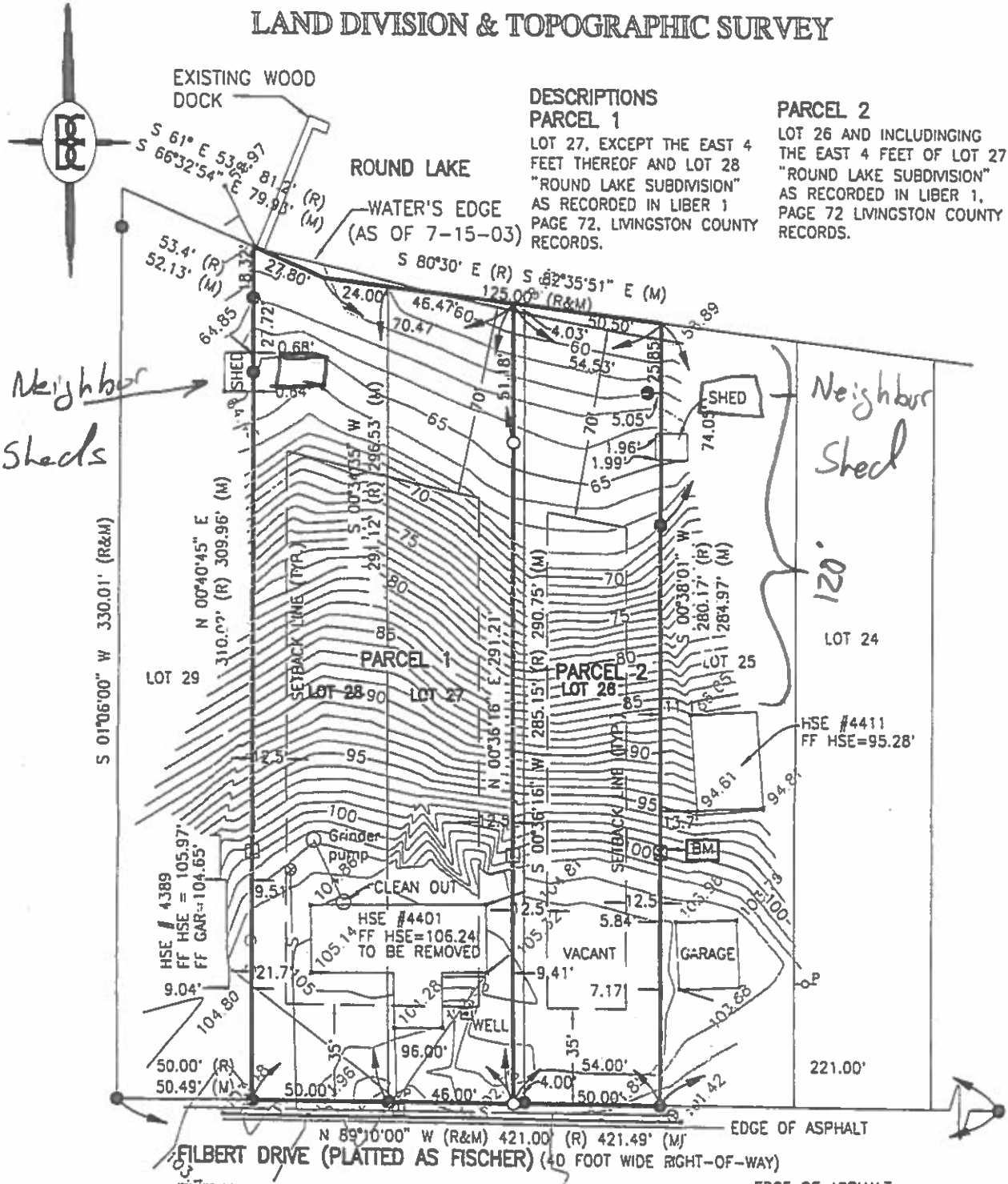
**Impact on Surrounding Neighborhood** – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. There are several existing sheds on the adjacent properties, but their presence at the bottom of the hill will not impact any views of the water nor have adverse impact on adjacent properties.

### **Staff Findings of Fact**

1. Strict application of the shoreline setback would make the placement and use of a small accessory building difficult.
2. The extraordinary or exceptional circumstance applicable to this property is the large change in elevation in the waterfront yard of the property.
3. There are several properties in the vicinity that have small accessory buildings within the required shoreline setback.

4. The need for the variance is due to the large difference in elevation in the waterfront yard.
5. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township.
6. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

# LAND DIVISION & TOPOGRAPHIC SURVEY



<p><b>LEGEND</b></p> <p>--- 900 --- CONTOUR          X SPOT ELEVATION          -o-p- POWER POLE          ☐ TELEPHONE BOX          ⊗ GATE VALVE          -S- SANITARY          □ LATHE SET</p>	<p><b>ZONING: LRR</b>  <b>SETBACKS:</b>          FRONT 35'          SIDE 10', TOTAL 2 5'DES -25'          REAR 40'          WATER 70'</p>	<p><b>SITE BENCHMARK (BM):</b>          Hub set at the approx. line between Lots 26 and 25. Located 110 feet north of the existing centerline of Filbert drive, and 20 feet southwest of the southwest corner of house #4411. ELEVATION: 100.00 FEET (ASSUMED)</p>
---	---	--

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS 1/10,000 AND THAT SAID SURVEY FULLY COMPLIES WITH THE REQUIREMENTS OF PUBLIC ACT NUMBER 132-10.

**DESCRIPTION:**  
 LOTS 26-28 "ROUND LAKE SUBDIVISION" AS RECORDED IN L.I.P.72, L.C.R. PART OF THE NW 1/4, SEC.27 T2N-R5E, GENOA TWP. LIVINGSTON CO., MICHIGAN

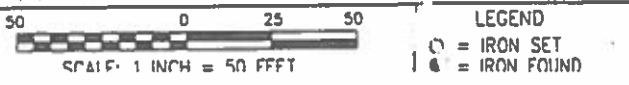
**CLIENT:**  
 GONTARSKI

## BOSS ENGINEERING

ENGINEERS • SURVEYORS • PLANNERS  
 LANDSCAPE ARCHITECTS  
 (E-MAIL: info@bosseng.com)

LIVINGSTON COUNTY: 3121 E. GRAND AVENUE, HOWELL, MI 48843 (800) 246-8722; FAX (517) 548-1670	SHERBORN COUNTY: 174 W. GATES ST. STE 40 HOWELL, MI 48843 (800) 376-8181; FAX (517) 548-4473	OAKLAND COUNTY: 777 ORCHARD LAKE BL. SUITE 108 EAST BLOOMFIELD, MI 48302 (734) 763-0390; FAX (734) 628-9480
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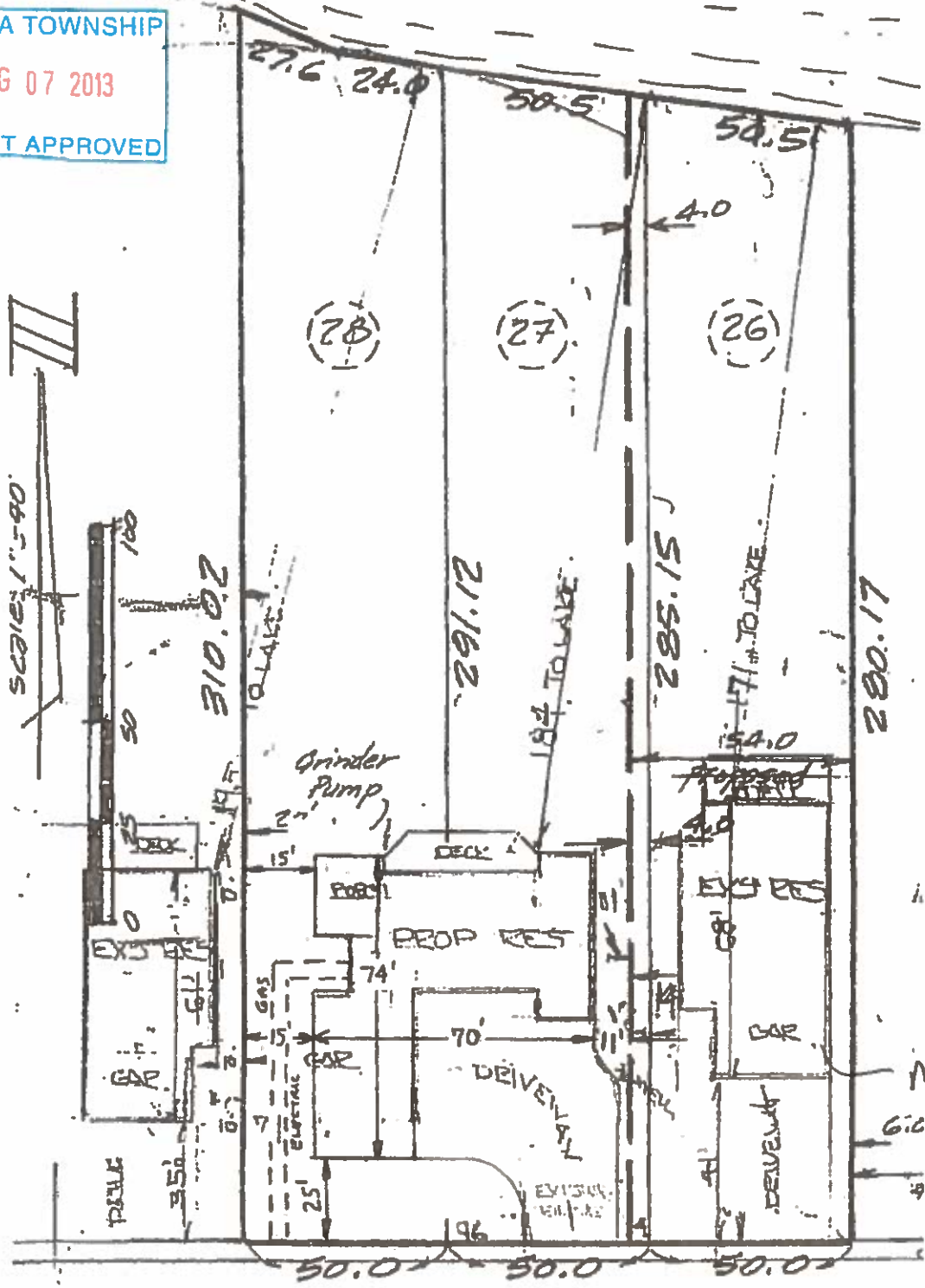
**WENDY S. PARSONS**  
 PROFESSIONAL SURVEYOR  
 No. 47969





# ROUND Lake

GENOA TOWNSHIP  
AUG 07 2013  
PERMIT APPROVED



Filbert Drive  
(20' wide)

Gontarski

MORTGAGE SURVEY

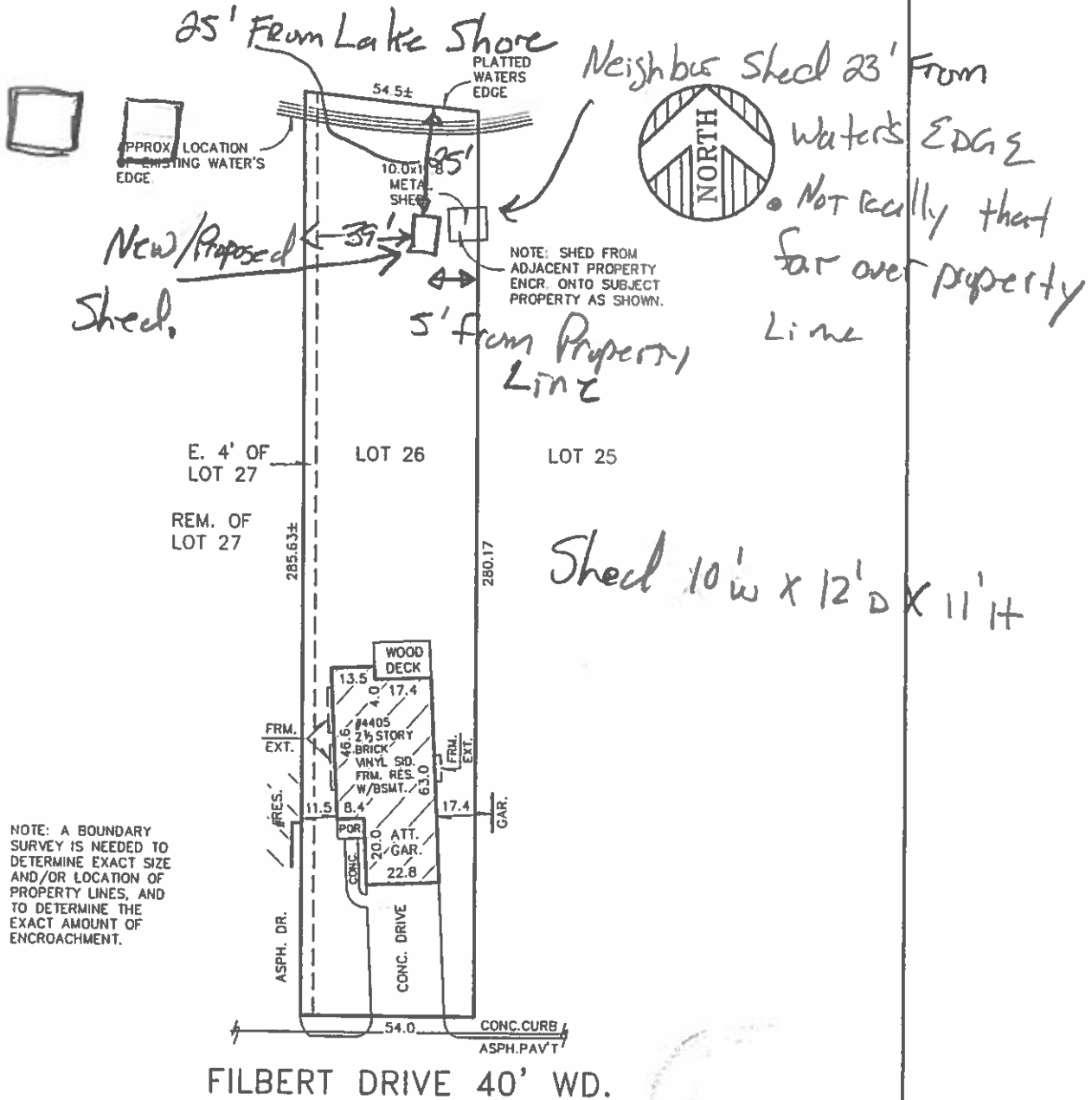
Plot Plan

Certified to: UNITED BANK AND TRUST

Applicant: CHRISTOPHER CHAKA

Property Description:

Lot 26 and the East 4 feet of Lot 27: ROUND LAKE SUBDIVISION, of part of the S. 1/2 of the N.W. 1/4 of Section 27, T.2 N., R.6 E., Genoa Township, Livingston County, Michigan, as recorded in Liber 1 of Plats, Page 72 of Livingston County Records.



NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, AND TO DETERMINE THE EXACT AMOUNT OF ENCROACHMENT.

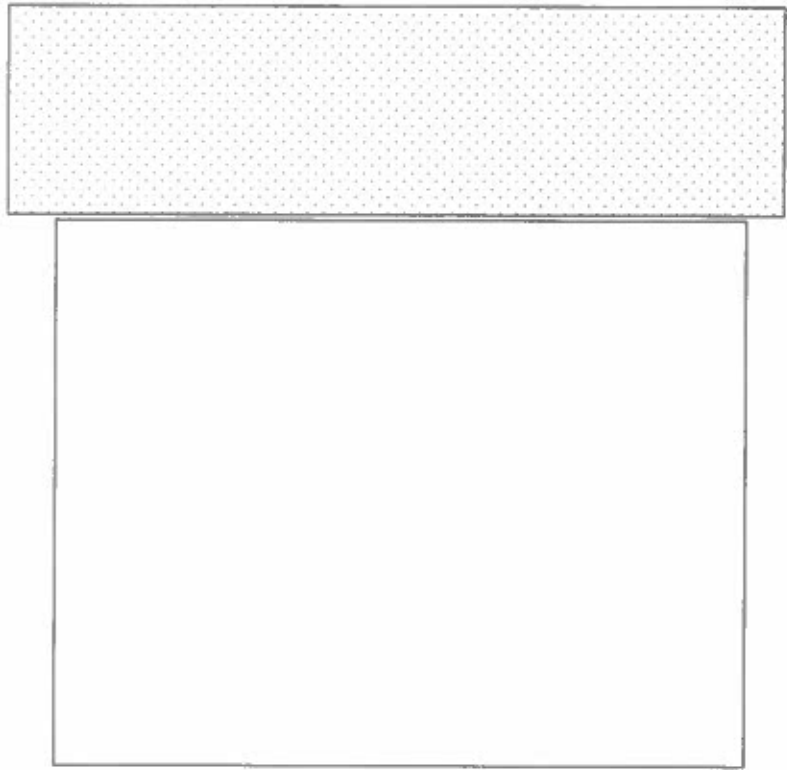
CERTIFICATE: We hereby certify that we have surveyed the above-described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned applicants, mortgagor, and that the buildings located thereon do not encroach on the adjoining property, nor do the buildings on the adjoining property encroach upon the property heretofore described, except as shown. This survey is not to be used for the purpose of establishing property lines, nor for construction purposes, no stakes having been set at any of the boundary corners.

THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.

*[Signature]*

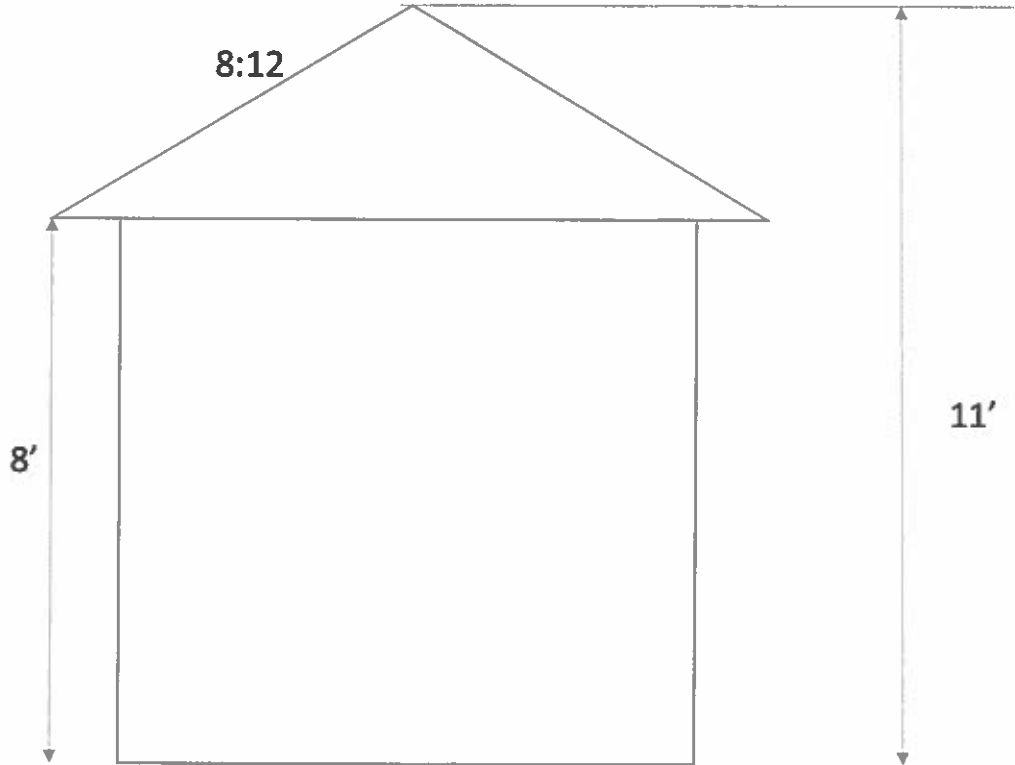
JOB NO: 10-04170 SCALE: 1"=40'  
DATE: 11/10/10 DR BY: LAO

**KEM-TEC** Professional Engineers & Surveyors  
 Eastpointe (800) 295.7222    Detroit (313) 758.0677    Ann Arbor (734) 994.0888    Grand Blanc (888) 694.0001  
 FAX: (586) 772.4048    FAX: (586) 772.4048    FAX: (734) 994.0667    FAX: (810) 694.9955  
[www.kemtecsurvey.com](http://www.kemtecsurvey.com)



12'

Side View



10'

8'

8:12

11'

Front/Back View

*Shed Dimensions*



# ZBA 15-11 Area Map



WILDBERRY

FILBERT

HIGHCREST



VILLA FRANCE

QUEBEC

1 inch = 150 feet

\* All Measurements are Approximate,  
Parcel Boundaries are Approximate and May be Inaccurate.  
This is not a survey.

Source: Livingston County GIS Department

VERSAILLES



# Real Estate Summary Sheet

\*\*\*Information herein deemed reliable but not guaranteed\*\*\*

06/10/2015 12:04 PM

<b>Parcel:</b>	4711-27-105-040	<b>Current Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Owner's Name:</b>	CHAKA CHRISTOPHER J & MICHELLE	<b>Previous Class:</b>	401.401 RESIDENTIAL-IMPROVED
<b>Property Address:</b>	4405 FILBERT DR BRIGHTON, MI 48116	<b>Gov. Unit:</b>	4711 GENOA CHARTER TOWNSHIP
		<b>MAP #</b>	V15-11
		<b>School:</b>	47010 BRIGHTON
		<b>Neighborhood:</b>	4310 4310 NEW HOMES AROUND TRI-LAKES
<b>Liber/Page:</b>	2010R-033745	<b>Created:</b>	//
<b>Split:</b>	//	<b>Active:</b>	Active
<b>Public Impr.:</b>	None		
<b>Topography:</b>	REFUSE		

## Mailing Address:

CHAKA CHRISTOPHER J & MICHELLE  
4405 FILBERT DR  
BRIGHTON MI 48116

## Most Recent Sale Information

Sold on 11/12/2010 for 362,000 by GONTARSKI JEFFREY.

**Terms of Sale:** ARMS-LENGTH

**Liber/Page:** 2010R-033745

## Most Recent Permit Information

Permit 03-443 on 08/18/2003 for \$0 category HOME.

## Physical Property Characteristics

<b>2016 S.E.V.:</b>	Tentative	<b>2016 Taxable:</b>	Tentative	<b>Lot Dimensions:</b>	
<b>2015 S.E.V.:</b>	216,700	<b>2015 Taxable:</b>	212,747	<b>Acres:</b>	0.33
<b>Zoning:</b>	LRR	<b>Land Value:</b>	166,012	<b>Frontage:</b>	50.5
<b>PRE:</b>	100.000	<b>Land Impr. Value:</b>	0	<b>Average Depth:</b>	286.0

## Improvement Data

# of Residential Buildings: 1  
Year Built: 2003  
Occupancy: Single Family  
Class: C  
Style: C  
Exterior: Wood Siding  
% Good (Physical): 88  
Heating System: Forced Heat & Cool  
Electric - Amps Service: 0  
# of Bedrooms: 4  
Full Baths: 3 Half Baths: 0  
Floor Area: 2,808  
Ground Area: 1,180  
Garage Area: 572  
Basement Area: 1,136  
Basement Walls:  
Estimated TCV: 264,400

## Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
GONTARSKI JEFFREY	CHAKA CHRISTOPHER J & MICHELE	362,000	11/12/2010	WD	ARMS-LENGTH	2010R-033745	BUYER	100.0
GONTARSKI, ROBERT & ROSEMARIE	GONTARSKI JEFFREY	0	09/03/2004	WD	INVALID SALE	4570/0250	BUYER	100.0

Property Address	Class: 401 RESIDENTIAL-IM	Zoning: LRR	Building Permit(s)	Date	Number	Status
4405 FILBERT DR	School: BRIGHTON		HOME	08/18/2003	03-443	100%
	P.R.E. 100% 11/12/2010					
Owner's Name/Address	MAP #: V15-11					
CHAKA CHRISTOPHER J & MICHELLE 4405 FILBERT DR BRIGHTON MI 48116	2016 Est TCV Tentative					

Tax Description	X	Improved	Vacant	Land Value Estimates for Land Table 00083.TRI LAKES LAKE FRONT								
				Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
SEC 27 T2N R5E ROUND LAKE SUB, LOT 26 AND THE EAST 4 FT OF LOT 27 SPLIT FR 026 8/03 PARCEL #2				LAKE FRONT	50.50	286.00	1.0000	1.4293	2300	100		166,012
				0	0.00	286.00	1.0000	1.4293	1100	100		0
				'C' FRONTAGE	0.00	286.00	1.0000	1.4293	800	100		0
				51 Actual Front Feet, 0.33 Total Acres Total Est. Land Value =							166,012	

Comments/Influences	Public Improvements
	Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.



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Topography of Site	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain X REFUSE	2016	Tentative	Tentative	Tentative			Tentative
	2015	83,000	133,700	216,700			212,747C
	2014	79,400	136,400	215,800			209,397C
	2013	72,200	133,900	206,100			206,100S

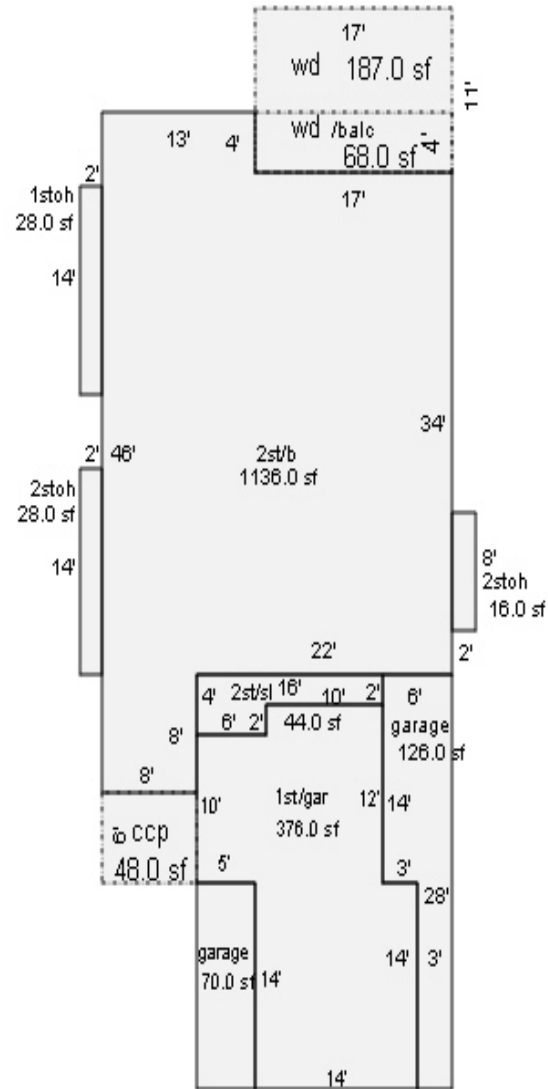
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 1 Direct-Vented Gas	Area 48 187 68	Type CCP (1 Story) Treated Wood Wood Balcony	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1.5 Wal Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 572 % Good: 0 Storage Area: 0 No Conc. Floor: 0									
X	Wood Frame		Drywall Paneled		Plaster Wood T&G		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling		Central Air Wood Furnace		(12) Electric 0 Amps Service		Class: C Effec. Age: 12 Floor Area: 2808 Total Base Cost: 170,326 Total Base New : 250,379 Total Depr Cost: 220,334 Estimated T.C.V: 264,400		CntyMult X 1.470 E.C.F. X 1.200	Bsmnt Garage: Carport Area: Roof:									
Building Style: C		Trim & Decoration		No./Qual. of Fixtures			Stories Exterior			Foundation			Rate			Bsmnt-Adj			Heat-Adj			Size		Cost	
Yr Built Remodeled 2003 0		Ex X Ord Min		Ex. X Ord. Min			2 Story Siding			Basement			103.11			0.00			3.83			1136		121,484	
Condition for Age: Good		Lg X Ord Small		No. of Elec. Outlets			1 Story Siding			Overhang			37.88			0.00			0.00			376		14,243	
Room List		Doors: Solid X H.C.		(7) Excavation			1 Story Siding			Overhang			37.88			0.00			0.00			72		2,727	
Basement 1st Floor 2nd Floor 4 Bedrooms		Kitchen: Other: Other:		Basement: 1136 S.F. Crawl: 0 S.F. Slab: 44 S.F. Height to Joists: 0.0			(13) Plumbing			Other Additions/Adjustments			Rate			Size			Cost						
(1) Exterior		(8) Basement		Average Fixture(s)			(13) Plumbing			Walk out Basement Door(s)			775.00			1			775						
X Wood/Shingle Aluminum/Vinyl Brick		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		3 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink 1 Separate Shower			3 Fixture Bath 2 Fixture Bath Separate Shower			2400.00 480.00 775.00			2 1 1			4,800 480									
(2) Windows		Many Avg. Few X Avg. X Avg. Small		(9) Basement Finish			(14) Water/Sewer			(14) Water/Sewer			1162.00 4975.00			1 1			1,162 4,975						
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		Recreation SF Living SF 1 Walkout Doors No Floor SF		Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(15) Built-Ins & Fireplaces			Fireplace: Direct-Vented Gas			1200.00			1			1,200						
(3) Roof		Gable Hip Flat		Gambrel Mansard Shed		1 Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic			(16) Porches			CCP (1 Story), Standard			38.96			48			1,870				
X Asphalt Shingle		Chimney: Brick		Lump Sum Items:			(16) Deck/Balcony			Treated Wood, Standard Wood Balcony			7.18 17.50			187 68			1,343 1,190						
							(17) Garages			Class:C Exterior: Siding Foundation: 42 Inch (Unfinished)			Base Cost Common Wall: 1.5 Wall			19.27 -1925.00			572 1			11,022 -1,925			
										Phy/Ab.Phy/Func/Econ/Comb.%Good= 88/100/100/100/88.0, Depr.Cost = 220,334 ECF (4310 NEW HOMES AROUND TRI-LAKES) 1.200 => TCV of Bldg: 1 = 264,400															

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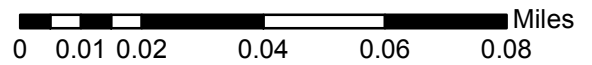
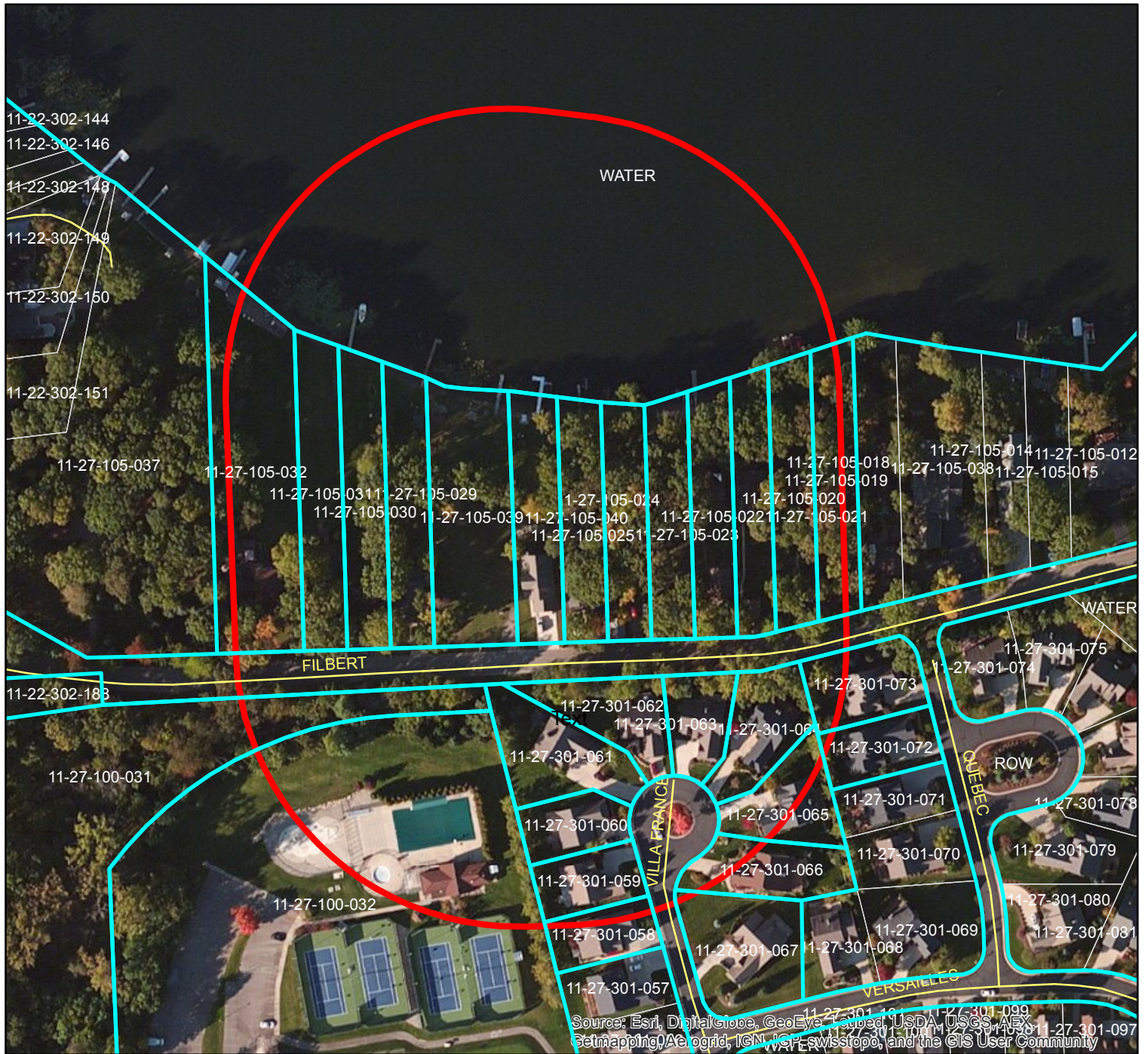
- 3 Bedrooms
- 2 Full Baths
- 1 Sep. Shower
- 1 Extra Sink
- 1 1/2 Bath
- 1 Pre. Fab. F.P.



Sketch by Apex Medina™

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

# 300 Foot Buffer for Noticing



Variance Case #15-11

Applicant: Christopher J. Chalka

Parcel: 4711-27-105-040

Meeting Date: June 16, 2015



May 26, 2015



## Ron Akers

---

**From:** Jeff Smith <jsmith@peainc.com>  
**Sent:** Friday, June 05, 2015 4:07 PM  
**To:** Ron Akers  
**Subject:** Case 15-11 variance

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Ron,

I'm writing in response to the notice for Case 15-11 – variance for a shoreline setback to construct a detached accessory building at 4405 Filbert Drive. I reside at 4389 Filbert Drive, which is two doors west of the subject residence. I'm very familiar with their property and support the variance for the reason that they are faced with a hardship due to topography. All of the lots along this corner of the lake have very steep slopes in the mid yard areas. The only flat grades on these lots are along the lake shore. It is not feasible to build a shed in the middle of the lot where the setback currently dictates. The location where the resident is proposing their shed will be consistent with five neighboring lots that all have sheds in similar locations.

I would go a step further with their variance and request that they construct their shed immediately adjacent to or within 5 feet of the east neighbors shed that currently encroaches on their side lot line so their new shed does not occupy the center of their yard. The properties look best when the lake side sheds are place closest to the side lot lines and don't monopolize the open views of the lake.

Feel free to contact me if you have any questions regarding my families position on the variance.

Kind Regards,

**Jeffrey T. Smith, LLA, LEED AP**  
*Branch Manager | Landscape Architect*

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Website: [www.peainc.com](http://www.peainc.com)

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