

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting and Public Hearing
May 18, 2015
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: May 4, 2015

Approval of Regular Agenda:

3. Public Hearing on the Northshore Road Improvement Project.
 - A. Call to the Public
 - B. Request for approval of Resolution No. 5 [Confirming the Special Assessment Roll] for the Northshore Road Improvement Project
4. Request for approval of PUD agreement amendment, environmental impact assessment, and site plan for the proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building for Panera Bread, located at 3950 E. Grand River Avenue, Howell, Michigan 48843, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc. previously identified as Bennigan's Restaurant.
 - A. Disposition of PUD Agreement Amendment dated March 12, 2015.
 - B. Disposition of Environmental Impact Assessment dated April 28, 2015.
 - C. Disposition of Site Plan dated April, 28, 2015.
5. Consideration of a request to approve a special land use, environmental impact assessment, and site plan for a proposed remote bank ATM in an existing parking lot, located at 3599 E. Grand River Avenue, Howell, Michigan, parcel # ;711-05-400-031. The request is petitioned by Chase Bank.
 - A. Disposition of Special Land Use Permit
 - B. Disposition of Environmental Impact Assessment dated 05-13-15
 - C. Disposition of Site Plan dated 05-13-15

6. Consideration of a request to approve the environmental impact assessment corresponding to a site plan for a 19,202 sq. ft. building addition and 152 new parking spaces, located at 7526 Grand River Avenue, Brighton, Michigan 48116, parcel # 4711-13-400-018. The request is petitioned by 2|42 Community Church.

A. Disposition of Environmental Impact Assessment dated 04-22-15

7. Introduction of a proposed rezoning and authorization of statutory notice for a public hearing on June 1, 2015 for parcels 4711-11-300-021, 4711-11-300-027, and 4711-11-300-028 totaling approximately 4.19 acres located in Section 11 at 6253 Grand River Avenue. The applicant has requested a rezoning to remove the Town Center Overlay District from the property which will change the zoning from General Commercial District/Town Center Overlay (GCD/TC) to General Commercial District (GCD). The request is petitioned by Chestnut Development, LLC.

8. Discussion regarding Election Commission minutes.

9. Request for approval of contracts for the Assessor, Deputy Assessor, Assistant Township Manager/Community Development Director, and Township Manager.

10. Request to enter into a closed session to discuss pending litigation pursuant to MCL 15.268 § 8 (e).

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: May 22, 2015

TOWNSHIP GENERAL EXPENSES: Thru May 22, 2015	\$176,162.05
May 8, 2015 Bi Weekly Payroll	\$80,659.30
OPERATING EXPENSES: May 22, 2015	\$470,970.75
TOTAL:	<u>\$727,792.10</u>

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
31681	AMERAWAR	American Awards & Engraving	04/27/2015	120.84
31682	BUS IMAG	Business Imaging Group	04/29/2015	279.82
31683	EHIM	EHIM, INC	04/29/2015	10,335.45
31684	HUBBELL	Hubbell, Roth, Clark, Inc.	04/29/2015	1,952.50
31685	HWL PARK	Howell Parks And Recreation	04/29/2015	25,000.00
31686	MICHAS	Michigan Assoc. of Planning	04/29/2015	480.00
31687	Sitnar	Susan Sitner	04/29/2015	90.72
31688	Dyk	Dykema Gossett, PLLC	05/01/2015	88.50
31689	ETNA SUP	Etna Supply Company	05/01/2015	21,650.00
31690	KernA	Austin Kern	05/01/2015	50.00
31691	MASTER M	Master Media Supply	05/01/2015	83.84
31692	Perfect	Perfect Maintenance Cleaning	05/01/2015	3,190.00
31693	SOM-TRE	State Of Mich- Dept Of Treasur	05/01/2015	6,337.94
31694	TRI COUN	Tri County Supply, Inc.	05/01/2015	246.38
31695	USBNA	US Bank, N.A.	05/01/2015	1,296.66
31696	BATTIATA	Nancy Battiata	05/05/2015	200.00
31697	BAYLEY R	Rebecca Bayley	05/05/2015	250.00
31698	BENNETTT	Thomas Bennett	05/05/2015	200.00
31699	Bhavsar	Janice Bhavsar	05/05/2015	200.00
31700	Binder	Donald Binder	05/05/2015	250.00
31701	BODALSKI	Mary Lynn Bodalski	05/05/2015	250.00
31702	BodalskR	Richard Bodalski	05/05/2015	200.00
31703	Brender	Karen Brender	05/05/2015	200.00
31704	BRENNAN	Ann Brennan	05/05/2015	250.00
31705	Brenna	Deborah Brennan	05/05/2015	200.00
31706	BROWNT	Tara Brown	05/05/2015	250.00
31707	BURGNER	Mary Burgner	05/05/2015	250.00
31708	COLLINS	Shawn Collins	05/05/2015	250.00
31709	DENNINGM	Mary Denning	05/05/2015	200.00
31710	Doucette	Louis Doucette	05/05/2015	200.00
31711	Dunaski	Jaclyn Dunaski	05/05/2015	225.00
31712	FRASHEC	Cheryl Frasheski	05/05/2015	200.00
31713	FRASHEK	Kenneth Frasheski	05/05/2015	200.00
31714	MateviaG	Gerald Matevia	05/05/2015	200.00
31715	GODWIN	Carol Godwin	05/05/2015	225.00
31716	Gogolin	Michael Gogolin	05/05/2015	250.00
31717	Grochows	Cynthia Grochowski	05/05/2015	250.00
31718	GUERR	Marie Guerriero	05/05/2015	200.00
31719	HOWARDZ	Zena Howard	05/05/2015	200.00
31720	HYSEN	Theodore Hysen	05/05/2015	200.00
31721	JANARELI	Gary Janareli	05/05/2015	200.00
31722	JonesC	Constance Jones	05/05/2015	200.00
31723	MateviaJ	Joyce Matevia	05/05/2015	250.00
31724	Kawula	Nancy Anne Kawula-Demarco	05/05/2015	225.00
31725	Konsitzk	Konrad Konsitzke	05/05/2015	200.00
31726	LarsonR	Richard Larson	05/05/2015	200.00
31727	Larson	Sally Larson	05/05/2015	200.00
31728	LAWRENC	Lynda Lawrence	05/05/2015	200.00
31729	Lewis	Barbara Lewis	05/05/2015	250.00
31730	Lind	Tammy Lindberg	05/05/2015	250.00
31731	Lizak	Jean Lizak	05/05/2015	200.00
31732	LIZAKSTE	Steve Lizak	05/05/2015	200.00
31733	Lollo K	Kelly Lollo	05/05/2015	250.00
31734	LORR	Mary Jo Lorr	05/05/2015	200.00
31735	Mcclure	Cecelia McClure	05/05/2015	250.00
31736	McGrath	Carol McGrath	05/05/2015	200.00
31737	MORRISON	Carolyn Morrison	05/05/2015	200.00
31738	NAGYC	Catherine Nagy	05/05/2015	200.00
31739	Nagy	Joseph Nagy	05/05/2015	250.00
31740	OBrien	Thomas O'Brien	05/05/2015	200.00
31741	PRATTG	Genal Pratt	05/05/2015	250.00
31742	Quattro	Terry Quattro	05/05/2015	200.00

Genoa Charter Township
User: angie

Accounts Payable
Checks by Date - Summary by Check Number

Printed: 05/11/2015 16:47
Summary

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
31743	RAMILLER	Sandra Ramiller	05/05/2015	225.00
31744	Rockwell	William Rockwell	05/05/2015	225.00
31745	RYNICKE	Antoinette Rynicke	05/05/2015	250.00
31746	Sapienza	Kristen Renee Sapienza	05/05/2015	250.00
31747	SapienzP	Paul Sapienza Jr.	05/05/2015	250.00
31748	Saunder	John Saunders	05/05/2015	250.00
31749	Schelosk	Mary Scheloske	05/05/2015	200.00
31750	SCHELOSR	Robert Scheloske	05/05/2015	200.00
31751	Sebastia	Paul Sebastian	05/05/2015	250.00
31752	SLICKER	Victoria Slicker	05/05/2015	250.00
31753	Smyth	Allen Smyth	05/05/2015	200.00
31754	SmythM	Marilynn Smyth	05/05/2015	200.00
31755	StGermaM	Marie St. Germain	05/05/2015	200.00
31756	StGerMau	Maurice St. Germain	05/05/2015	200.00
31757	SwihartE	Eva C. Swihart	05/05/2015	250.00
31758	SwihartW	William D. Swihart	05/05/2015	250.00
31759	Vettrain	John Vettraino	05/05/2015	200.00
31760	Bel	Vonda Belanger	05/05/2015	200.00
31761	WATSON V	Victor Watson	05/05/2015	200.00
31762	DespotW	William Despot	05/05/2015	200.00
31763	Wisser	Kathleen Wisser	05/05/2015	250.00
31764	Woody	Frank Woody	05/05/2015	200.00
31765	WoodyPr	Prudence Woody	05/05/2015	200.00
31766	B S & A	B S & A Software, Inc.	05/05/2015	3,345.00
31767	Clearwat	Clearwater Systems	05/05/2015	110.50
31768	CONTINEN	Continental Linen Service	05/05/2015	102.90
31769	Duncan	Duncan Disposal Systems	05/05/2015	79,266.10
31770	JETS PIZ	Jet's Pizza	05/05/2015	411.21
31771	MASTER M	Master Media Supply	05/05/2015	185.88
31772	MI TW AS	Michigan Township Assoc	05/05/2015	325.00
31773	TRI COUN	Tri County Supply, Inc.	05/05/2015	153.71
31778	2/24	2/24 Community Church	05/06/2015	200.00
31779	BODALSKI	Mary Lynn Bodalski	05/06/2015	21.27
31780	BROWNT	Tara Brown	05/06/2015	12.50
31781	Chilson	Chilson Hills Baptist Church	05/06/2015	200.00
31782	ChurchNa	Church of the Nazarene	05/06/2015	200.00
31783	CLEARYUN	Cleary University	05/06/2015	200.00
31784	COMM BIB	Community Bible Church	05/06/2015	200.00
31785	COOPERST	Cooper's Turf Management LLC	05/06/2015	360.00
31786	Hornung	Hornung Elementary School	05/06/2015	200.00
31787	KernA	Austin Kern	05/06/2015	43.75
31788	KERNE	Erik Kern	05/06/2015	56.25
31789	Lollo K	Kelly Lollo	05/06/2015	31.25
31790	McClure	Cecelia McClure	05/06/2015	12.50
31791	MICHAS	Michigan Assoc. of Planning	05/06/2015	145.00
31792	Nagy	Joseph Nagy	05/06/2015	12.50
31793	Sebastia	Paul Sebastian	05/06/2015	18.75
31794	Sitnar	Susan Sitner	05/06/2015	38.87
31795	SKOLAR P	Paulette Skolarus	05/06/2015	25.30
31796	SLICKER	Victoria Slicker	05/06/2015	18.75
31797	Three Fi	Three Fires Elementary School	05/06/2015	200.00
31798	WILLIAMS	Angela Williams	05/06/2015	146.86
31799	Wisser	Kathleen Wisser	05/06/2015	12.50
31803	COMCAST	Comcast	05/11/2015	324.02
31804	CONSUMER	Consumers Energy	05/11/2015	200.40
31805	DTE LAKE	DTE Energy	05/11/2015	48.60
31806	GORDONFO	Gordon's Food Services	05/11/2015	518.07
31807	HUBBELL	Hubbell, Roth, Clark, Inc.	05/11/2015	1,883.36
31808	PETTYCAS	Petty Cash	05/11/2015	144.23
31809	PRINTING	Printing Systems	05/11/2015	209.37

Check Number Vendor No Vendor Name

Check Date

Check Amount

Report Total:

176,162.05

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cindy

Printed: 04/30/2015 - 14:20

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
13323	EFT-FED	EFT- Federal Payroll Tax	05/08/2015		8,481.56
					4,719.76
					4,719.76
					1,103.83
					1,103.83
					<u>20,128.74</u>
				Check 13323 Total:	20,128.74
13324	EFT-PENS	EFT- Payroll Pens Ln Pyts	05/08/2015		2,904.19
					<u>2,904.19</u>
				Check 13324 Total:	2,904.19
13325	EFT-PRIN	EFT-Principal Retirement 457	05/08/2015		1,095.00
					<u>1,095.00</u>
				Check 13325 Total:	1,095.00
13326	EFT-ROTH	EFT-Principal Roth	05/08/2015		1,115.00
					<u>1,115.00</u>
				Check 13326 Total:	1,115.00
13327	EFT-TASC	EFT-Flex Spending	05/08/2015		1,133.04
					<u>1,133.04</u>
				Check 13327 Total:	1,133.04
13328	FIRST NA	First National Bank	05/08/2015		3,340.00
					<u>50,943.33</u>

Check 13328 Total:

54,283.33

Report Total:

80,659.30

#503 DPW UTILITY FUND

Payment of Bills

April 27 through May 11, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	04/27/2015	3195	Ashley Repke	DPW Shirts	-188.03
Bill Pmt -Check	04/27/2015	3196	HUMPHRISS	MHOG Shirts	-37.88
Bill Pmt -Check	04/28/2015	3197	Greg Tataara	Monthly Car Allowance May 2015	-500.00
Bill Pmt -Check	04/28/2015	3198	HUMPHRISS	Monthly Car Allowance May 2015	-250.00
Bill Pmt -Check	04/28/2015	3199	MWEA		-100.00
Bill Pmt -Check	04/28/2015	3200	NWEA	WRRT Credential Program- Jim Aule	-50.00
Bill Pmt -Check	04/28/2015	3201	U.S. POSTMASTER	Return Addressing Service DPW	-50.00
Bill Pmt -Check	04/30/2015	3202	Belle Tire	Order #25980834	-665.04
Bill Pmt -Check	04/30/2015	3203	Master Media	supplies	-146.57
Bill Pmt -Check	04/30/2015	3204	SENSUS USA	DPW Software	-1,570.34
Bill Pmt -Check	04/30/2015	3205	Victory Lane Quick Oil Change		-164.23
Bill Pmt -Check	04/30/2015	3206	A.I.S. Construction Equipm	VOID: Oil for Load-all-GO	0.00
Check	05/06/2015	3207	Genoa Twp General fund	Reimburse General Fund for payroll :	-389,000.00
Bill Pmt -Check	05/08/2015	3208	Scott Lowe	1 gallon of Trans Oil	-23.26
Total					-392,745.35

#593 LAKE EDGEWOOD W/S FUND

Payment of Bills

April 27 through May 11, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	04/28/2015	2736	Brighton Analytical L.L.C.	Laboratory costs	-77.00
Bill Pmt -Check	04/30/2015	2737	Advance Auto Parts	Body Filler	-11.99
Bill Pmt -Check	04/30/2015	2738	GENOA TWP-OAK POINTE OPERATI	GRINDER PUMP REPAIR Oct1 to De	-3,195.00
Bill Pmt -Check	04/30/2015	2739	GRUNDY ACE OF HOWELL		-7.87
Bill Pmt -Check	04/30/2015	2740	Hubbell, Roth & Clark, Inc	Professional Servies for period ending	-933.51
Bill Pmt -Check	04/30/2015	2741	K & J ELECTRIC, INC.	Work completed 1-16 and 1-20-15	-186.00
Bill Pmt -Check	05/08/2015	2742	Brighton Analytical L.L.C.	Laboratory costs	-154.00
Bill Pmt -Check	05/08/2015	2743	Consumers Energy		-474.70
Bill Pmt -Check	05/08/2015	2744	DTE Energy	Electric Bills	-2,854.94
Total					-7,895.01

4:24 PM
10

#595 PINE CREEK W/S FUND
Payment of Bills
 April 27 through May 11, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	04/29/2015	2143	City of Brighton	Rick and Carla Borsos	-9,500.00
Total					-9,500.00

4:21 PM

#592 OAK POINTE WATER/SEWER FUND
Payment of Bills
 April 27 through May 11, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	04/29/2015	3302	Genoa Township G/O New User Fund	Deposit to 489-000-084-592	-15,300.00
Bill Pmt -Check	04/29/2015	3303	Utilities Instrumentation Service		-6,045.00
Bill Pmt -Check	04/30/2015	3304	DUBOIS COOPER ASSOCIATES INCORPORATED		-17,715.83
Bill Pmt -Check	04/30/2015	3305	EJ USA, Inc.	Supplies	-1,770.88
Bill Pmt -Check	04/30/2015	3306	FASTENAL	SUPPLIES-chemical Repair	-306.37
Bill Pmt -Check	04/30/2015	3307	GRAINGER	SUPPLIES	-728.21
Bill Pmt -Check	04/30/2015	3308	HARTLAND SEPTIC SERVICE, Inc.	Pump Truck service	-230.00
Bill Pmt -Check	04/30/2015	3309	K & J Electric, INC		-1,281.00
Bill Pmt -Check	04/30/2015	3310	TLS Construction LLC	5833 Annetette Lane, Howell	-9,676.84
Bill Pmt -Check	04/30/2015	3311	USA Bluebook	SUPPLIES	-1,116.71
Bill Pmt -Check	04/30/2015	3312	WATER MASTERS LLC		-2,660.53
Bill Pmt -Check	04/30/2015	3313	MICHIGAN PUMP SALES	500 TRAY CABLE	-1,025.00
Bill Pmt -Check	05/07/2015	3314	CONSUMERS ENERGY	4505 Club Dr and 5341 Brighton Rd	-472.41
Bill Pmt -Check	05/07/2015	3315	DTE ENERGY	Electric bill	-338.90
Bill Pmt -Check	05/08/2015	3316	DTE ENERGY	Electric bill	-2,147.71
Bill Pmt -Check	05/08/2015	3317	Duncan Disposal Systems	Rate increase due to dumping cost i	-15.00
Total					-60,830.39

draft

GENOA CHARTER TOWNSHIP BOARD
 Regular Meeting and Public Hearing
 May 4, 2015

MINUTES

Supervisor McCririe called the regular meeting of the Genoa Township Board to order at 6:30 p.m. at the Genoa Township Hall. The Pledge of Allegiance was then said. The following board members were present constituting a quorum for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Jim Mortensen, Todd Smith and Jean Ledford. Also present were: Township Manager Michael Archinal; Township Attorney Frank Mancuso; Township Assistant Manager Kelly VanMarter; and 10 persons in the audience.

A Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Smith and supported by Hunt to approve all items under the consent agenda and move approval of the Minutes to the regular meeting for approval. The motion carried unanimously.

1. Payment of Bills.

Approval of Regular Agenda:

Moved by Ledford and supported by Mortensen to approve for action all items listed under the regular agenda with the addition of Item No. 2 from the consent agenda. Further, adding a request from the Livingston County Road Commission allowing for a limestone improvement to McClements Road. The motion carried unanimously.

2. Request to Approve Minutes: April 20, 2015

Moved by Smith and supported by Ledford, to amend the April 20, 2015 Minutes deleting the note related to the Election Commission and who can vote on that board. The motion carried unanimously.

3. Public hearing on the Northshore Development Road Improvement Project.

A. Call to the Public was made with the following response: Kevin Eves – The road seems to be in good condition, why is this being done. McCririe – We were approached by the homeowners association for this project.

B. Request for approval of Resolution No. 3 [Approving the project, cost estimates, special assessment district and causing the special assessment roll to be prepared.]

Moved by Mortensen and supported by Ledford to approve Resolution No. 3 as requested. The motion carried by roll call vote as follows: Ayes, Ledford, Smith, Hunt, Mortensen, Skolarus and McCririe. Nay – None. Absent – Rowell.

C. Request for approval of Resolution No. 4 [Acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices.]

Moved by Mortensen and supported by Smith to approve Resolution No. 4 as requested. The motion carried by roll call vote as follows: Ayes, Ledford, Smith, Hunt, Mortensen, Skolarus and McCririe. Nay – None. Absent – Rowell.

4. Request for approval of a rezoning (Ordinance Z-15-01), PUD agreement amendment, site plan, and environmental impact assessment for a proposed 3,848 sq. ft. Red Olive Restaurant, located at 3838 E. Grand River Avenue, Howell, Michigan 48443, # 4711-05-400-025. The request is petitioned by PKJJ, LLC.

A. Public hearing and adoption of Ordinance Z-15-01 to rezone parcel 4711-05-400-025 from Regional Commercial District (RCD) to Non-Residential (NR-PUD).

A call to the public was made with no response. Moved by Hunt and supported by Smith to approve the rezoning as requested that is compatible with the PUD of neighboring properties and complies with the criteria stated in Sections 10.02.04 and 22.04 of the Zoning Ordinance. The motion carried by roll call vote as follows: Ayes, Ledford, Smith, Hunt, Mortensen, Skolarus and McCririe. Nay – None. Absent – Rowell.

B. Disposition of PUD Agreement Amendment dated March 12, 2015.

Moved by Smith and supported by Ledford to approve the Planned Unit Development agreement amendment as requested as it relates to the Red Olive project with review by the township attorney. Further, the PUD agreement shall be recorded on the subject parcel at the Livingston County Register of Deeds. The motion carried unanimously.

C. Disposition of Environmental Impact Assessment dated April 25, 2014.

Moved by Smith and supported by Skolarus to approve the impact assessment dated 04/25/2015 as requested. The motion carried unanimously.

D. Disposition of Site Plan dated April 29, 2015.

Moved by Skolarus and supported by Ledford to approve the site plan with the following conditions: 1. the applicant shall endeavor to the best of their abilities to provide written authorization from the property to the east to allow for the trees to be planted within the ingress/egress easement to the east. If unable to secure approval, the applicant will work with Township Staff to locate the proposed plantings elsewhere on the property. 2. The applicant

shall comply with the requirements of the MHOG Utility system prior to the issuance of a Land Use Permit. The motion carried unanimously.

5. Request for approval of PUD agreement amendment, environmental impact assessment, and site plan for the proposed redevelopment of an existing outparcel to create two (2) out-lots and construct a 4,283 sq. ft. restaurant building for Panera Bread, located at 3950 E. Grand River Avenue, Howell, Michigan 48843, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Moved by Smith and supported by Skolarus to table the petition until the next regular meeting of the Board to allow for a modification of the façade without any change to the footprint or interior design of the facility. The motion carried as follows: Ayes – Ledford, Smith, Hunt, Skolarus and McCririe. Nay – Mortensen. Absent - Rowell

6. Request for approval of a special use, environmental impact assessment, and sketch plan for proposed outdoor storage, sales, and display, including mulch, landscape supplies, and brick pavers, located at 7949 W. Grand River, Brighton, Michigan, parcel # 4711-13-400-025. The request is petitioned by Nelligan’s Outdoor Services.

A. Disposition of Special Land Use Permit.

Moved by Smith and supported by Ledford to approve the Special Use Permit dated 04/30/2015 with the following conditions:

- The special use permit will be granted for a period of one-year with the ability for township staff to issue renewals if the site remains in compliance. Further, this will be accomplished without a fee charge.
- The display in front shall be permitted subject to the review and approval of Township staff to ensure that the design doesn’t violate Township ordinances and is small and attractive.
- The applicant shall agree that upon termination of their lease or occupancy of the site, the display must be removed.
- At no time shall any materials located within the rear storage area exceed the height of the brick screen wall.
- The petitioner will ensure that there will be no blowing and/or other dispersing of dust or other materials into neighboring properties.
- Trucks delivering materials to the site will arrive at the Grand River entrance and depart on the Hacker Road entrance.
- Signage will be within Township ordinance and will require Township approval.

The motion carried unanimously.

B. Disposition of Environmental Impact Assessment dated April 09, 2015.

Moved by Smith and supported by Hunt to approve the impact assessment as submitted. The motion carried unanimously.

C. Disposition of Sketch Plan dated April 9, 2015.

Moved by Ledford and supported by Hunt to approve the Sketch Plan as submitted with the following conditions:

- The applicant shall obtain a tenant build-out permit for their occupancy of the site within 7 days of this approval.
- The applicant understands that where authorized by ordinance, a sign permit is required for all signs on the property.
- The applicant will work with Township staff to address the requirements of the Township Engineer in the letter dated April 22, 2015.

The motion carried unanimously.

7. Consideration of a request from the Livingston County Road Commission for financial support for the improvement to McClements Road between Hack Road and the township line for addition of limestone.

Moved by Skolarus and supported by Mortensen to allow an agreement with the L.C.R.C at an estimated cost (estimated at \$17,000.00) not to exceed \$18,000.00 in accordance with correspondence from Steve Wasylk of the road commission dated 04/30/2015. The motion carried unanimously.

Correspondence was reviewed. At the recommendation of Township Attorney Mancuso the township took no formal action with regard to Mr. Bud Clark's submission.

8. Request to enter into a closed session to discuss pending litigation pursuant to MCL 15.268 § 8 (e).

Moved by Skolarus and supported by Ledford, to enter into closed session at 7:20 p.m. to discuss pending litigation. The motion carried by roll call vote as follows: Ayes, Ledford, Smith, Hunt, Mortensen, Skolarus and McCririe. Nay – None. Absent – Rowell.

The regular meeting was re-opened 7:37 p.m. and then adjourned with no further action taken by the board.



Paulette Skolarus, Clerk
Genoa Charter Township

Resolution No. 5 – North Shore Road Improvement Project
Reimbursement Special Assessment Project (Winter 2015 Tax Roll)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at the Township Hall on May 18, 2015, at 6:30 p.m., there were

PRESENT: McCririe, Skolarus, Hunt, Rowell, Mortensen, Smith and Ledford

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

Resolution Confirming Special Assessment Roll

WHEREAS, the Board of Trustees of the Township has determined to proceed with the North Shore Road Improvement Project within the Township as described in Exhibit A (the “Project”) and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled Special Assessment Roll for North Shore Road Improvement Project (2015) (the “Proposed Roll”) and has filed the Proposed Roll with the Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the Proposed Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the Proposed Roll on May 18, 2015.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. **Roll Confirmed.** In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the North Shore Road Improvement Project (Winter 2015 Tax Roll).
2. **Future Installments - Principal.** The Township Board determines that each special assessment may be paid in one installment. The first installment shall be due by February 29, 2015.
3. **Future Installments - Interest.** All unpaid installments shall not bear interest.

4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit B to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this resolution, the Clerk's warrant and the statutes of the State of Michigan.

5. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are repealed to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES: Ledford, Smith, Hunt, Rowell, Mortensen, Skolarus and McCririe.

NO: None.

ABSENT: None.

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A

DESCRIPTION OF PROJECT
A ONE-YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:

The cost for the project will consist of the following:

Approximately 13,000 square feet

- Pulverize existing asphalt
- Fine grade and compact
- Haul away spoils
- Pave with 2 ½ inches compacted bituminous 13-A asphalt
- Pave with 1 ½ inches compacted bituminous 36-A asphalt

The one-year estimated cost is projected to be \$31,728.00 (including publications and mailings for the establishment of the special assessment district)

Total amount per parcel - \$37.65

Exhibit B**Warrant**

WARRANT

TO: Treasurer
Genoa Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the special assessment roll for the Genoa Township North Shore Road Improvement Project (2015) (the "Roll") confirmed by the Township Board on May 18, 2015 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such Roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.


Paulette A. Skolarus,
Genoa Charter Township Clerk



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director 

DATE: May 14, 2015

RE: **LIVINGSTON COMMONS LOT 4 REDEVELOPMENT**
PUD Amendment, Environmental Impact Assessment & Site Plan

MANAGER'S REVIEW: 

Please refer to my memo from April 30th, 2015 in regard to this agenda item. The applicant has been working on revised elevation drawings and it is my understanding they intend to bring 2 revisions to the building façade for your review at Monday's meeting. The conditions contained within my original memorandum are still applicable; however there have been changes to the PUD Agreement Amendment that will need to be discussed.

Since the meeting, the Township Attorney and I have been working with the applicant on the proposed PUD Agreement amendment and revisions regarding the entranceway landmark sign have been requested by the developer. These items will need your consideration on Monday and are summarized below for your reference:

1. Rather than pay the Township, the owner proposes to escrow the \$25,000 for the sign with a title company. Sums may be drawn from the escrow for the payment of the cost of the sign once constructed.
2. This payment would be provided after permits are issued for BOTH lots 4A and 4B.
3. The Township will have 24 months to construct the sign or the sum shall be returned to the owner.
4. Both Township and Owner must agree for sign to be located outside of owners property.
5. Easements for the sign on owners property will be granted once the Township notifies owner that it will be the sign.

The PUD Amendment is attached on the following pages for your review. Should you have any questions concerning this matter, please do not hesitate to contact me.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

COVER SHEET FOR
AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT
FOR PHASE I AND PHASE II LAND
BETWEEN
RLG HOWELL LLC AND GCG HOWELL LLC
AND
PKJJ, LLC
AND
TOWNSHIP OF GENOA
DATED _____, 2015

Prepared By and After Recording
Return To:
April Ann Jordan
Hedrick & Jordan Co., LPA
100 E. Third Street, Suite 500
Dayton, Ohio 45402
937-228-3889

**STATE OF MICHIGAN
COUNTY OF LIVINGSTON
TOWNSHIP OF GENOA**

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT

This Amendment to Planned Unit Development Agreement is made and entered into this ___ day of _____, 2015, by **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company, both of 10050 Innovation Drive, Suite 100, Dayton, Ohio 45342 (collectively, "Owner"); **PKJJ, LLC**, a Michigan limited liability company, of _____ ("PKJJ"); and **GENOA CHARTER TOWNSHIP**, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 ("Township").

RECITATIONS:

Owner possesses fee title to certain real property located in Genoa Charter Township, Livingston County, State of Michigan, described in that certain Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan (the "Phase I PUD").

Subsequent to the Phase I PUD, Owner and Township entered into that certain Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (the "Phase II PUD"). The Phase I PUD applied to Phase I and Phase II land described therein, and the Phase II PUD modified provisions pertaining to Phase II.

In 2011 Owner and Township considered a further Amendment to the Phase I PUD Agreement that contemplated the reconfiguration of Lot #4 into two sub-lots; provided however the amendment was never finalized or executed, and as such is of no force or effect.

Pursuant to Article IV, Internal Road Network, subsection 4.1, the Phase I PUD contemplated that the property formerly owned by the Prairie House Restaurant and now owned by PKJJ (the "Red Olive Parcel") described on Exhibit A attached hereto could benefit from an easement established by Owner over and across the Red Olive Parcel.

Owner and PKJJ have agreed to amend Owner's existing Declaration of Restrictions and Easements for Outlots dated September 2, 1999, recorded September 10, 1999, at Liber 2652, Page 0082 of the records of Livingston County, Michigan (the "Declaration") to provide the Red Olive Parcel with access over the access ways on the adjacent lands of Owner and to subject the Red Olive Parcel to the terms of the Declaration.

Further, Owner and Township have agreed to amend the provisions of the Phase I PUD and Phase II PUD regarding pylon signage and the construction of a Township identification sign.

Further, Owner and Township have now agreed to amend the provisions of the Phase I PUD Agreement to provide for the reconfiguration of Lot #4 into two (2) separate lots, to be known as Lot #4A and Lot #4B.

In connection therewith, Owner and PKJJ wish to amend the Phase I PUD and the Phase II PUD to subject the Red Olive Parcel thereto; to modify the signage provisions; and to reflect the reconfiguration of Lot #4 into two (2) separate lots, all pursuant to the terms contained herein.

NOW, THEREFORE, Owner, PKJJ and the Township, in consideration of the mutual promises contained in this Agreement, hereby agree as follows:

1. Article I, General Terms of Agreement, subsection 1.5 of the Phase I PUD, shall be amended to add the following additional paragraph D:

D. The configuration of Lot #4 shall hereby be modified to divide Lot #4 into two (2) separate parcels for all purposes under the Phase I PUD, which shall be known as Lot #4A and Lot #4B respectively, and depicted on Exhibit B attached hereto. Township acknowledges that this modification does not substantially increase the impact on adjoining properties or facilities and that the Remote Parking Area is not required for the operation of the Wal-Mart on Lot #1. Township hereby agrees that the parking space contained in the Remote Parking Areas shall be counted as parking spaces for the use of Lot #4A and Lot #4B. Township hereby approves the setbacks and configuration of improvements on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Owner acknowledges that Lot #4A and Lot #4B shall remain subject to the terms of the Phase I PUD except as otherwise set forth herein. Owner reserves the right to configure Lot #4A and Lot #4B further to include the Remote Parking Areas adjacent to said Lots. Township acknowledges that if such lots are incorporated into Lot #4A and Lot #4B, same shall not substantially increase the impact upon adjoining properties or facilities.

2. Article I, General Terms of Agreement of the Phase I PUD, shall be amended to add the following additional subsection:

1.7 The Red Olive Parcel shall be subject to the terms and conditions of the Phase I PUD, subject to the provisions of this Amendment.

3. Article II, Land Use Authorization, subsection 2.1 of the Phase I PUD, shall be amended to delete the sentence reading "Further, only one drive through restaurant facility shall be permitted and such use shall only be permitted on Lot #1." The following shall be placed in its stead:

Drive through restaurant facilities may be allowed on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Additional drive through restaurant facilities may be allowed on all parcels within five hundred feet (500') of each other, subject to Special

Land Use approval by Township, including the Special Use Requirements as outlined in the Special Land Use Regulations as they may exist from time to time. Township and Owner agree that this use shall be considered upon providing that the stacking or queuing of such drive through restaurant facilities shall be sufficient to accommodate expected peak volumes and to minimize conflict with the internal road network located on the Property, as well as any public roadways. Provided, however, no drive through shall be permitted on the Red Olive Parcel.

4. Article IV, Internal Road Network Subsection 4.1 of the Phase I PUD, shall be amended to add the following additional sentence:

Access to the outparcels of the PUD shall be limited to internal driveways except as follows: Lot #1, which may be accessed from the main entrance; and lot #2 which may have a “right-in, right-out only” driveway off the entrance. Notwithstanding anything contained in the Phase I PUD to the contrary, the Red Olive Parcel shall be allowed to maintain access to the Grand River Avenue existing curb cut, provide such access shall be limited to “right-in, right-out” movement only.

5. Article VI, Site Improvements, subsection 6.5(a) of the Phase I PUD shall be amended to delete the second sentence reading: No parking in the front yard of Lot #4 shall be permitted except one row or less of “tease” parking, which shall be allowed.

6. Article VI, Site Improvements, subsection 6.5(b) of the Phase I PUD, and subsection 6.4(B) of the Phase II PUD, shall each be deleted, it being acknowledged that Owner shall have no obligation to Township to provide an entranceway landmark pursuant to the Phase I PUD or the Phase II PUD because such location or locations are not available for such signage. The following shall be inserted instead:

The Owner shall escrow with a title company mutually agreeable to Owner and Township the sum of Twenty-Five Thousand and 00/100 Dollars (\$25,000.00) within forty-five (45) days after building permits are issued for the new improvements to be constructed on Lot #4A for the purpose of constructing a Township identification sign. The Township identification sign shall be constructed within twenty-four (24) months after Owner’s deposit of such sum or such sum shall be returned to Owner. In consideration of such payment, Owner shall have no obligation to install a Township identification sign and instead Township may install and maintain the Township identification on Owner’s Lot A or at such other location outside of Owner’s Property as the Township and Owner may mutually agree. Sums may be drawn from the escrow for the payment of the cost of the Township identification sign when constructed. If installed on Owner’s property, the Township identification sign shall be installed within the twenty foot (20’) set back on Owner’s Lot A, shall be constructed as depicted on Exhibit C attached hereto, shall be a maximum of six feet (6’) in height and shall be oriented so as to be most visible from Latson Road. Easements for such construction and maintenance of a Township Identification sign shall be granted and accepted at the time

the Township notifies Owner that it wishes to place the Township identification sign on Lot A as depicted on Exhibit C.

7. Article VI, Design of Building and Signs, subsection 7.2, Signage of the Phase I PUD, shall be amended to add the following additional paragraph:

Lot #4A and Lot #4B shall be treated as separate parcels, and as such Lot #4A and Lot #4B shall each be entitled to separate signage as described herein. Lot #4A shall retain the existing two (2) monument signs. Lot #4B shall be entitled to one (1) additional monument sign for business operations thereon comparable in size to the signs located on Lot #4A.

8. Article VII, Design of Building and Signs, subsection 7.2, Signage of the Phase II PUD, shall be amended to delete the fourth sentence regarding the highway signs and the following sentences shall be placed in its stead:

There shall be permitted one (1) pylon sign of a maximum of three hundred (300) square feet, not to exceed 42' in height, advertising users in both Phase I and Phase II. The pylon sign shall be constructed as depicted on Exhibits C and D attached hereto. Additionally, the owner of the Red Olive Parcel may install a monument sign abutting Grand River Avenue and other signs as may be permitted under the Declaration and the Township's ordinances.

9. In the event of a conflict in terms, the terms of this Amendment shall have priority over the terms of the Phase I PUD agreement and the Phase II PUD agreement.

APPROVED by Owner and PKJJ on this ___ day of _____, 2015.

WITNESSES:

RLG HOWELL LLC, a Michigan limited liability company

By: Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated May 30, 2013, Randall L. Gunlock, Grantor, Managing Member

By: Randall L. Gunlock
Its: Trustee

GCG HOWELL LLC, a Michigan limited liability company

By: Glenn C. Gunlock
Its: Managing Member

STATE OF)
) SS:
COUNTY OF)

The foregoing instrument was acknowledged before me the ____ day of _____, 2015, by _____, the _____ of PKJJ, LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

EXHIBITS

- Exhibit A Legal Description of Red Olive Parcel
- Exhibit B Depiction of Lot #4A and Lot #4B
- Exhibit C Township Identification Sign
- Exhibit D Depiction of Pylon Sign

EXHIBIT A

LEGAL DESCRIPTION OF RED OLIVE PARCEL

PARCEL NO. 2:

Part of the Southeast 1/4 of Section 5, T2N, R5E, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Southeast corner of said Section 5; thence North 02 degrees 11' 26" East 548.49 feet along the East line of said Section and the centerline of Latson Road; thence North 60 degrees 51' 00" West 982.34 feet along the centerline of Grand River Avenue to the Point of Beginning; thence South 01 degree 29' 10" West 456.45 feet; thence North 60 degrees 51' 00" West 120.00 feet; thence North 01 degree 29' 10" East 456.45 feet; thence South 60 degrees 51' 00" East 120.00 feet along said centerline of Grand River Avenue to the Point of Beginning.

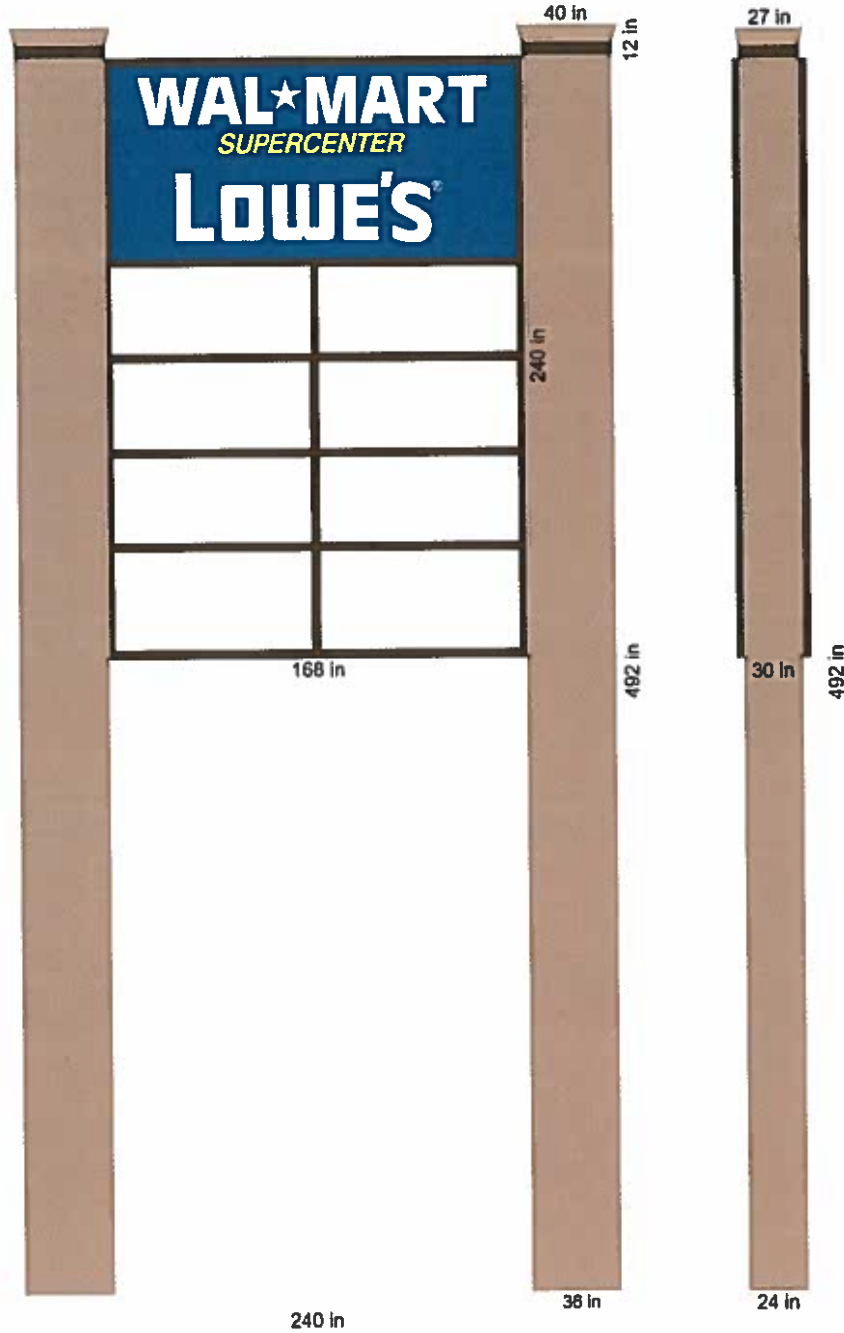
EASEMENT PARCEL:


Together with an easement for ingress and egress over a 50 foot wide strip of land being more particularly described as follows: Commencing at the Southeast corner of Section 5, T2N, R5E, Genoa Township, Livingston County, Michigan; thence North 02 degrees 11' 26" East 548.49 feet along the East line of said Section and the centerline of Latson Road; thence North 60 degrees 51' 00" West 925.89 feet along the centerline of Grand River Avenue to the Point of Beginning; thence South 01 degree 29' 10" West 173.79 feet; thence North 88 degrees 30' 50" West 50.00 feet; thence North 01 degree 29' 10" East 200.00 feet; thence South 60 degrees 51' 00" East 56.45 feet along said centerline of Grand River Avenue to the Point of Beginning.

Commonly known as: 3838 E. Grand River
Tax No. 11-05-400-025



**EXHIBIT D
DEPICTION OF PYLON SIGN**



 THE SIGN GROUP INC. © 2015 5370 WEST 84TH STREET INDIANAPOLIS, IN 46268. PH: (317)875-6969 FAX:(317)875-6644	SIGNATURE FOR APPROVAL		NOTICE: ALL ARTWORK AND DESIGN IS PROPERTY OF THE SIGN GROUP INC. ANY REPRODUCTION IS STRICTLY PROHIBITED, UNLESS AUTHORIZED BY THE SIGN GROUP.
	SALESMAN: _____	DATE: _____	
	CLIENT: _____	DATE: _____	



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director

DATE: April 30, 2015

RE: LIVINGSTON COMMONS LOT 4 REDEVELOPMENT
PUD Amendment, Environmental Impact Assessment & Site Plan

MANAGER'S REVIEW: 

I have reviewed the proposed PUD agreement amendment, revised environmental impact assessment and revised site plan for a proposal to create two outlots and construct a 4,283 sq. ft. restaurant building for Panera Bread, located at 3950 E. Grand River Avenue, Howell, on parcel # 4711-05-400-047.

Please note that the amendments to the PUD Agreement address both this project and the Red Olive project also included on Monday's agenda. The PUD Amendments related to this project are summarized below for your consideration:

- 1.) Amendments to the Phase 1 PUD:
 - a. Reconfigure Lot 4 into 2 lots (4A and 4B) and provide that remote parking area spaces count towards parking requirements.
 - b. Approve configuration of outlots and setbacks as provided on plans.
 - c. Allow drive through restaurants on lots 4A & 4B.
 - d. Remove requirement for 500' spacing and allow drive through restaurants on other parcels with special use approval provided adequate stacking and queuing can be provided without conflicts on road network.
 - e. Delete the requirement for one row or less of parking in the front yard of Lot 4.
 - f. Lot 4A (Panera) to have 2 monument signs.
 - g. Future restaurant outlot 4B to have 1 monument sign.
- 2.) Amendments to the Phase 2 PUD:
 - a. Elimination of the entranceway landmark requirement in Phase 2 with the offer to provide an easement and \$25,000 for the Township to install an identification sign. Township would be responsible for maintenance and sign would be limited to 6 feet height. The easement area is located south of the driveway located south of Comerica Bank.
 - b. Applicant requests one 300 sq. ft. /42' tall highway sign instead of the two – 200 sq. ft./30' tall signs.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Board of Trustees
Lot 4 Redevelopment
April 30, 2015
Page 2 of 2

This project was recommended for approval by the Township Planning Commission on April 27, 2015. My review of the revised submittal was focused on compliance with the outstanding items discussed at the Planning Commission and my recommendation is as follows:

PUD AGREEMENT AMENDMENTS

I recommend **APPROVAL** of the amendments to the PUD Agreement dated March 12, 2015 subject to the following:

1. Review and approval by the Township Attorney.

IMPACT ASSESSMENT

I recommend **APPROVAL** of the environmental impact assessment dated April 28, 2015.

SITE PLAN

I recommend **APPROVAL** of the site plan dated April 28, 2015 with the following conditions:

1. Signage shall not be allowed on the patio tables or umbrellas.
2. The building depicted on lot 4B is regarded as conceptual and will be subject to the site plan approval process.
3. The requirements of the Township Engineer in the letter dated April 24, 2015 will be complied with prior to issuance of a land use permit.
4. The requirements of the Brighton Area Fire Department as stated in their letter dated April 22, 2015 shall be complied with prior to issuance of a land use permit.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter
Assistant Township Manager/Community Development Director



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
DEC 01 2014

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Jim Blair, 10050 Innovation Dr., Suite 100, Dayton, OH 45342
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: GCG Howell, Ltd., 10050 Innovation Dr., Suite 100, Dayton, OH 45342

SITE ADDRESS: 3950 E Grand River Ave, Howell, MI PARCEL #(s): 11-05-400-047

APPLICANT PHONE: 937-424-3904 OWNER PHONE: 937-434-7218

OWNER EMAIL: jblair@rgproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Lot 4 of the Livingston Commons shopping center

BRIEF STATEMENT OF PROPOSED USE: -redevelopment of existing outparcel for a ~~new multi-tenant retail building.~~ NEW FREE STANDING *JMB 11/19/15*
PANERA BREAD

THE FOLLOWING BUILDINGS ARE PROPOSED: ~~12,000 SF of mutli-tenant retail~~
4,386 SF. FREE STANDING PANERA BREAD *JMB 11/19/15*

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *[Signature]*
ADDRESS: 10050 Innovation Dr., Suite 100, Dayton, OH 45342


GENOA TOWNSHIP
DEC 01 2014

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Jim Blair of RG Properties, Inc. at jblair@rgproperties.com
 Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 11/20/14
 PRINT NAME: Jim Blair PHONE: 937-424-3904
 ADDRESS: 10050 Innovation Dr., Suite 100, Dayton, OH 45342

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
SPECIAL MEETING
APRIL 27, 2015
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Township Planning Commission was called to order at 6:33 p.m. Present were Chair Doug Brown, James Mortensen, Barbara Figurski, Eric Rauch, Diana Lowe, John McManus, and Chris Grajek. Also present were Kelly VanMarter, Community Development Director and Assistant Township Manager; Brian Borden of LSL Planning; Gary Markstrom of Tetra Tech Engineering. Approximately 80 people were in audience.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: Upon motion by John McManus and support of James Mortensen, the agenda was approved with the addition of introductions. **Motion carried unanimously.** Planning Commission members, staff, and contractors were introduced.

CALL TO THE PUBLIC: A call to the public was made with no response.

OPEN PUBLIC HEARING #1... Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047, petitioned by RG Properties, Inc.

Mr. Jim Blair was present on behalf of the petitioner. With the project previously tabled, Mr. Blair stated they have worked to accommodate the fire department request for reconfiguration of traffic. A curb was eliminated and the drive thru lane was reduced. This should help keep people from heading in the wrong direction. A redundant parking stall was eliminated. A pedestrian crossing was modified to improve pedestrian access. Landscaping was evaluated along the right away. Additional plantings are planned to bring landscaping into conformance. Concerns were present on rooftop equipment sight lines. This equipment is now concealed and will not be seen. A higher parapet wall is planned. Traditional patio furniture is planned as before.

Chairman Doug Brown indicated that the traffic flow appears to be improved. Planner Brian Borden indicated the petitioner has done a good job. Red Olive inclusion is a plus. Front yard parking concerns were present. If additional parking is permitted, then we want to make sure that landscaping screening is sufficient to mitigate the impact of the parking. Greenbelts are a little shy on tree

plantings. A hedgerow will help to buffer. The petitioner has responded to help screen mechanical equipment. Confusion at the intersection seems resolved.

Mr. Blair indicated that the two additional trees on the site plan brings the trees into compliance.

Engineer Gary Markstrom indicated that the petitioner has taken care of their items of concern. A traffic impact study does not appear to be relevant at this point. Water runoff will be looked at in future submittals for the next door vacant lot.

Mr. Blair indicated that the fire department letter has been complied with. The address will be clearly evident on the building. Chairman Brown and Jim Mortensen indicated that consistency of the parking will be reviewed by the Township attorney. Mr. Rauch indicated that directional signage might help folks understand traffic direction. It was agreed that signage would be seen after the fact and would not change driver behavior.

A call to the public was made with no response.

Planning Commission recommendation of petition

- A. Recommendation regarding PUD Agreement Amendment. (03-12-15)
- B. Recommendation of Environmental Impact Assessment. (03-27-15)
- C. Recommendation of Site Plan. (04-20-15)

Motion by Commissioner Mortensen to recommend approval of the PUD agreement of Livingston Commons, dated March 12, 2015, subject to the following:

1. Approval of the Township attorney as to the language in the PUD agreement.
2. The petitioner will provide the township in recordable form a document regarding the Red Olive site, indicating that no drive thru will be permitted and limiting access to Grand River will be right in, right out.

Motion was supported by Commissioner Figurski. **Motion carried unanimously.**

Motion by Commissioner Figurski to recommend to the Township Board approval of the environmental impact assessment dated March 27, 2015, subject to the following conditions:

1. In 18.07.02 the Shell gas station is now a BP gas station.
2. In 18.07.05 Bennigan's is currently not open for breakfast. The proposed development would be opened for breakfast.
3. Subject to approval of the PUD amendment and site plan by the Township Board.

Support by Commissioner Lowe. **Motion carried unanimously.**

Motion by Commissioner Mortensen to recommend approval of the site plan application, subject to the following conditions:

1. Approval by The township board of the PUD amendment and the environmental impact assessment,
2. Umbrella signs will not be permitted on the tables on the patio.
3. The building colors and materials for the Panera Bread restaurant are approved and the renderings will become Township property.
4. The building depicted on lot 4 is regarded as a conceptual plan and when the details are finalized, it will be subject to further review by the planning commission and the Township board.
5. The requirements of the Township engineer spelled out in his April 24, 2015 letter will be complied with.
6. The requirements of the fire department, spelled out in the April 22, 2015 letter will be complied with.

Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #2... Review of a special use, sketch plan, and environmental impact assessment, for proposed outdoor storage, sales, and display, including mulch, landscape supplies, and brick pavers, located at 7949 W. Grand River, Brighton, Michigan, parcel # 4711-13-400-025. The request is petitioned by Nelligan's Outdoor Services.

Mr. Don Nelligan and Ms. Lisa Nelligan were present on behalf of the petitioner Nelligan's Outdoor Services. The reason for the petition is that they wanted a building which could serve as a landscape display store to ease the process for customers. They sell mulch and pavers and need a location where people can come in and do their designs.

Planner Borden indicated that some existing conditions do not comply; however, the previous use was of greater impact. It is a tough site to work with and this use does improve the site. The site is lined with brick screen wall which limits the property. The ordinance has specific use requirements tied to outdoor mulch and display. There does not appear to be any huge issue. Covers of mulch are recommended to keep debris from blowing around as they are stored. Some of the front area does encroach on the setback. This area may or may not have been used for display. There does appear to be some flexibility here.

Commissioner Mortensen indicated that boats were stored in that area, including one pontoon and 3 or 4 boats in total. Borden indicated that technically this does not meet the requirement of the ordinance but the use existed before.

Mr. Nelligan would like to do a patio with a non-working fireplace and a sheet wall to entice people to want to come in and see the product they offer. They want to

04-13-15 Approved Minutes

Meijers parking lot finished. There is approximately 12 feet unconnected. He feels it would be a better location for the ATM.

Planning Commission disposition of petition

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (03-05-15)
- C. Recommendation of Site Plan (02-20-15)

The petitioner requests to table this review. **Motion** by James Mortensen to table this matter until the 05/11/15 Planning Commission meeting. Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #4... Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Jim Blair of RG Properties, Dan Cook with Panera, and Matthew with Arc Vision addressed the Planning Commission. They are seeking approval for the demolishing of a building and to erect a Panera Bread restaurant building with a drive-thru restaurant building next door.

Panera is undergoing design changes for their standard buildings. A materials board was provided. There is a patio planned at this location, as well.

There are two parking spaces that should be deleted. Additionally, the curb should be mountable in order to escape the drive-thru. Mr. Rauch expressed his concerns about the driving lanes. Bo Gunlock pointed out that the curb cuts are existing. Chairman Brown indicated that's already understood. Mr. Rauch showed the petitioner his suggested changes.

Mr. Borden addressed the unresolved issues in his letter of April 6, 2015. There should be some sort of signage about pedestrians, such as "Ped X'ing" on the pavement. The petitioner is proposing to retain existing landscaping in the green belt. There are no details to determine if ordinance has been met. The lighting plan is not specific as to what lights will be used. More detail is needed. There are three monument signs proposed.

A call to the public was made with no response.

Motion by James Mortensen to table the petition to April 27. Support by Barbara Figurski.

Ayes: Lowe, Mortensen, Figurski, Rauch (4)

Nays: Grajek (1)

Motion carried.

Mr. Mortensen indicated that the request is such a minor change to the property, it seems unnecessary to impose the landscaping requirement. Mr. Rauch indicated that no aesthetic opportunity is being proposed as part of the project. Mr. Stewart indicated that the parking lot is adequately striped. Mr. Mortensen asked about dumpsters. Where is it? Is it enclosed? Mr. Stewart indicated that the dumpster is enclosed on three sides and that it is below the surface of the ground. The dumpster is difficult to see from the north because of a change in elevation and grade.

A call to the public was made with no response.

Planning Commission disposition of petition

- A. Recommendation of Environmental Impact Assessment. (01-09-15)
- B. Disposition of Site Plan. (11-19-14)

Ms. Figurski moved to recommend approval of the environmental impact assessment dated January 9, 2015, saying that a notation about the barrier free parking spot should be added to the impact assessment. Seconded by Mr. McManus. **Motion carried unanimously.**

Mr. Mortensen moved to approve the site plan dated November 19, 2014 for a proposed 4,661 sq. ft. addition for enclosed storage, located at 1275 Grand Oaks Drive, Brighton, Michigan, subject to the following:

1. The building materials of the expansion will match the existing building.
2. One additional barrier free parking space will be provided.
3. The existing dumpster will continue to be in the truck loading dock which is below grade.
4. The requirements of the township engineer as specified in his letter dated January 30, 2015 and the requirements of the fire department in their letter dated February 5, 2015 will be complied with.
5. The landscaping as presently existing will continue, although non-conforming this Commission finds that the changes to the site are minor enough and at the rear of the building thus not requiring a revision to the landscaping.

Supported by Ms. Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #2... Request to table site plan, environmental impact, and PUD amendment for a proposed redevelopment of an existing outparcel to demolish the existing Bennigan's Restaurant and construct a new 12,000 sq. ft. multi-tenant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Planning Commission disposition of petition

- A. Table request to March 9, 2015 meeting.

Mr. McManus moved to table open public hearing item #2 at the request of the petitioner. Supported by Lowe. **Motion carried unanimously.**

OPEN PUBLIC HEARING #2... Review of a site plan, environmental impact, and PUD amendment for a proposed redevelopment of an existing outparcel to demolish the existing Bennigan's Restaurant and construct a new 12,000 sq. ft. multi-tenant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Mr. Jim Blair of RG Properties addressed the Planning Commission on behalf of the petitioner. Bennigan's is closing its doors and as a result RG Properties will be getting the property back, which leads to this evening's proposal. This brings changes to the Phase 1 PUD, including incorporating the new Red Olive restaurant building. RG Properties will also become the sub-lessee of the adjacent Walmart owned parking area, which permits improvements to be made to that area as well.

The proposed building is primarily brick and masonry with some EIFS, which includes wood-grain tile on the front façade to provide for the corporate branding of a Panera Bread Restaurant. Two rows of parking in the front are also part of the PUD amendment. Another change includes an entry feature which acknowledges the Township. RG Properties has worked exhaustively with Township staff to find a location for this feature. MDOT and the Livingston County Road Commission indicate they will not allow the sign within the right of way.

Ms. VanMarter stated that the original PUD called for Latson Road to be shifted to the West. This permitted a gateway entry sign. Then when the Phase 2 PUD came in, the sign was proposed to be included near the I-96 ramp. However, the final grading is much lower than anticipated and the sign could be put there but would be too low to be visible.

Mr. Mortensen indicated that another proposal of equal value might be required of the petitioner. Mr. Blair indicated that no cost estimates were assumed previously.

Mr. Grajek indicated that the Commission is interested in seeing a gateway sign. Ms. VanMarter explained the original proposal in Phase 1 was that the sign would exist on Lot A. Lot A is currently owned by RG Properties. The original Phase 1 rendering of the sign was shown.

Chairman Brown asked about the amount of land the original sign might have required. Mr. Blair indicated that due to the lack of scale, an estimate is difficult. Ms. VanMarter indicated that RG Properties was to build the sign. Genoa Township was to maintain it. Phase 2 moved the sign nearer the ramp. In Phase 1, the sign was in the Lot-A vicinity. Mr. Blair indicated the recently proposed sign could be dressed up with endcaps and landscaping with uplighting to illuminate it in the evenings as shown in the original Phase 1 rendering.

Chairman Brown indicated that it was his belief that both signs would be provided. Mr. Blair indicated that RG Properties is obligated to provide one.

Referring to the building façade, Mr. Borden indicated that the wood grain tiles are a bit unusual and there is a lot of EIFS. The requirement is 80 percent natural materials. The front of the building does not meet 80 percent though the entire building does appear to

meet it. The rear façade will be highly visible. Perhaps wrapping the façade around the building is a possibility. The front of the building should be upgraded to increase appeal.

Mr. Blair indicated that the cornice could be brought to the back of the building to the parapet height. Some shadow lines, a transom window effect could also be included. The building currently meets the natural materials requirement. The overall building exceeds the 80 percent outlined in the agreement.

Mr. Mortensen indicated that at issue is the artistic part of the building. Mr. Blair indicated that material samples were not available for tonight's meeting. Mr. Rauch indicated that the EIFS might mainly be covered by signage and asked about the drive thru. Mr. Blair indicated that the drive thru has been moved to the back of the building to maintain the proper stacking for the drive thru. Mr. Rauch asked whether roof-top units would be hidden. Mr. Blair indicated roof top units would not be visible except one. The one could be concealed. Mr. Rauch indicated that the back of the building is an issue. Mr. Blair indicated that the middle of the parapet in the back could be raised. Mr. Rauch asked if there was consideration for metal canopies instead of cloth. Mr. Grajek indicated that the aesthetic needs of the façade are not satisfied. The parapets certainly help. More architectural character is desirable.

Mr. Borden stated he would like to see both signs, if possible. The Genoa sign feature at the corner of Latson and Grand River would enhance the corridor. There is also a question about proposed drive thru use.

Mr. Mortensen indicated that the amendment for Phase 2 did allow a drive thru as a special use. Isn't that a change in the language for the rest of the PUD? The concern with a drive thru at the neighboring Red Olive location is safe access to Grand River.

Mr. Borden asked whether it is necessary to retain the Grand River curb cut at the Red Olive site. A drive thru might be provided if internal access was provided.

Chairman Brown indicated that the space is not available for a drive thru. It's too close to other driveways. Other Red Olive Restaurants do not have this feature. Why is this right-in, right-out desired?

Mr. Jim Barnwell of Desine, Inc. addressed the Commission on behalf of Red Olive. The original intent was to use the Grand River access point as the main access to the property. The drive way is 50 feet in length. There are mature trees present on the property. Most customer traffic will be coming from Grand River. Mr. Mortensen asked who owns the drive. The driveway is part of an easement on the bank's property which predates the bank ownership. The bank does not utilize the driveway. Chairman Brown indicated that the curb cut may be dangerous.

An aerial of the property was presented and the trees were identified.

Mr. Carl Volmer of the Pucci & Volmer architectural firm addressed the commission on behalf of Red Olive, stating that one of the reasons for the purchase of the property was the curb cut.

Mr. Borden indicated that additional considerations for the Bennigan's Lot 4 re-development include the double row parking at the front of the building. Mr. Blair

indicated that inconvenient parking will turn customers away. People do not want to walk far. They just won't go. Half of one row is patio area for a potential restaurant owner. Chairman Brown asked what happens in off season. Mr. Blair stated that it would be a raised concrete patio. Ms. Figurski asked if Panera Bread was requesting a drive thru. Mr. Blair indicated that Panera Bread is making that request.

Mr. Rauch asked if consideration was given to making the building L-shaped. Mr. Blair indicated that the building was considered and it didn't layout well at that site.

Mr. Borden indicated that there are parking setbacks in the ordinance. However, the ordinance does permit the Commission to waive the setback. It will need authorization by the Commission. Also, the three wall signs being requested for tenants are not permitted by the ordinance. We need to be clear that the Township is not granting a third sign. Further, there are three outdoor patios proposed. This requires additional features such as tables, trash cans, umbrellas, chairs, which might benefit from administrative approval in the future. Ms. VanMarter indicated that this is a requirement in the ordinance.

Mr. Borden cautioned that some consideration might be given for product advertising which could be placed on outdoor umbrellas in the future. Mr. Rauch asked about what flags would fly on the proposed Genoa gateway feature. Mr. Blair indicated that the American flag is flying at all other RG Properties locations and it will be good to add this one.

Discussion took place regarding the Red Olive site. Ms. VanMarter indicated that the original PUD prohibits the use of Grand River access if internal access to the PUD takes place. Chairman Brown asked if there is an economic reason to have the driveway available to Grand River. Mr. Barnwell indicated that the Grand River curb cut is a convenience issue for customers. The Ann Arbor Red Olive access is internal and it is one of the slower selling stores.

Mr. Mortensen asked about the driveway easement for Red Olive. Ms. VanMarter indicated that driveway exists on an exclusive easement on property owned by the bank. An attorney would need to weigh in but it is the property of the bank. Mr. Barnwell indicated that the applicant was originally planning a standalone parcel not an annexation into the PUD.

Mr. Mortensen acknowledged that the Lot 4 multi-tenant building site is an important corner in the Township. And it might be important that building materials match the existing buildings in the PUD.

A call was made to the public with no response.

Planning Commission disposition of petition

- A. Recommendation regarding PUD Agreement Amendment.
- B. Recommendation of Environmental Impact Assessment. (12-01-14)
- C. Recommendation of Site Plan. (12-23-14)

Mr. Mortensen moved to table the site plan dated December 23, 2014 and the environmental impact assessment dated December 1, 2014, for a redevelopment of the

existing Bennigan's Restaurant to construct a new 12,000 sq. ft. multi-tenant building, located at 3950 E. Grand River Avenue, based on the following:

1. Requests by Commission of upgrade of materials and to the building.
2. Revisions to the submitted PUD Agreements to address issues regarding the lack of entrance sign to the Township in the vicinity of the Latson Road interchange crossing
3. Concerns in the PUD Agreement regarding continuation of the access to Grand River for the Red Olive property.
4. Improve the look of the building on this marquee corner and dress up the back of the building.

Supported by Ms. Figurski. **Motion carried unanimously.**

Mr. Grajek indicated that as a marquee location in our community, there are many ways that this corner could be featured. The back of the building is something that could benefit from negotiation. The front façade is a big concern. Mr. Mortensen indicated that a staff meeting might take place with three members of the Planning Commission present.

OPEN PUBLIC HEARING #3... Review of a rezoning, PUD amendment, site plan, and environmental impact assessment for a proposed 3,848 sq. ft. Red Olive Restaurant, located at 3838 E. Grand River Avenue, Howell, # 4711-05-400-025. The request is petitioned by PKJJ, LLC.

Mr. Jim Barnwell of Desine, Inc. addressed the Planning Commission on behalf of the petitioner. The existing building was built in the middle of a farm field in the 1990s. Current conditions were caused by others and not the property owners. The current owner's intent behind the recent purchase was to not become part of the PUD. The petitioner recognizes the desire of the Township and RG Properties to incorporate the parcel into the PUD. The petitioner would like to keep a right-in right-out access to Grand River and join the PUD. The existing building will be removed. The petitioner would like to preserve the existing landscaping as much as possible. The proposed building is approx. 1,000 sq. ft. larger than the existing building, predominantly brick and stone. There is no drive-thru proposed. The petitioner is asking for a sign in the front and in the rear. The engineer and fire department concerns are readily complied with. Proposed parking provides what is required. Larger vehicles are not expected at this sit-down restaurant. Vegetation is grown and substantial on both sides. The intent of the ordinance is met though the landscaping requirement is not quite met.

Mr. Borden indicated that point number one in his letter can be stricken regarding use calculations. Also, there are some parallel parking spaces in the parking lot. Parallel parking is difficult for most people and is somewhat unusual. The southerly space would be difficult to use. Mr. Barnwell indicated that employees would be parking in the parallel spaces. The possibility of angled parking was discussed. Snow storage would be in the corners of the lot.

Mr. Borden indicated that becoming part of the PUD will permit shared parking within the PUD. There are some deficiencies in the landscaping plan but the applicant's intent is to preserve what is there which helps accommodate those deficiencies. New



April 24, 2015

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
Subject:	Redevelopment of Livingston Commons Lot #4 – Site Plan Review #5
Location:	Southwest corner of Grand River Avenue and Latson Road
Zoning:	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan (dated 4/20/15) proposing the construction of a new drive-through restaurant (Panera) for the 2.03-acre site formerly occupied by Bennigan's.

The site is located at the southwest corner of Grand River Avenue and Latson Road within Phase I of the Livingston Commons PUD, which is zoned NR-PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

As a side note, the Planning Commission tabled the request at their April 13, 2015 meeting allowing the applicant to modify the plans. Of specific concern was the potential traffic conflict/congestion in between the two proposed drive-through restaurants.

A. Summary

1. The project proposes several amendments to the PUD Agreement.
2. The Planning Commission has approval authority over the building elevations, including materials and colors.
3. The height of the parapet must be sufficient to screen views of roof-mounted equipment.
4. In our opinion, the revisions to vehicular circulation represent a vast improvement in the proposal.
5. The Commission may wish to require additional greenbelt plantings to improve the appearance of the site and mitigate the proposal for more front yard parking than was originally allowed/expected.
6. We defer to the Township Engineer as to whether a traffic impact study is warranted.



Aerial view of site and surroundings (looking north)

B. Proposal

The applicant requests site plan review/approval for a new drive-through restaurant, which has been identified as Panera Bread. The plans also show a future drive-through restaurant on the west side of Lot #4.

Drive through restaurants would typically require special land use approval; however, proposed amendments to the PUD Agreement would permit 2 drive-through restaurants on Lot #4 (to be divided into 4A and 4B), with future drive-through restaurants allowed in Livingston Commons with special land use approval (regardless of the 500-foot spacing requirement).

C. PUD Agreement

Similar to previous submittals, the applicant proposes amendments to the existing PUD Agreement. Changes proposed include:

- Inclusion of the Red Olive site into the PUD;
- Separation of Lot #4 into two lots – 4A and 4B;
- Allowance for two drive-through restaurants on Lot #4 without the need for special land use approval;
- Allowance for future drive-through restaurants with special land use approval, but removal of the 500-foot spacing requirement; and
- Allowance for two rows of parking in the front yard of Lot #4.

As was previously discussed, inclusion of the Red Olive site is logical and will allow internal cross-access. Additionally, the inclusion of two drive-through restaurants on Lot #4 is not expected to be harmful given the site has no direct access to either main roadway and future drive-through restaurants will require special land use review to determine their potential impacts.

The proposed change allowing an increase in front yard parking can be mitigated by ample greenbelt and parking lot landscaping.

D. Use Conditions (Drive-through Restaurant)

Section 7.02.02(j) provides the following conditions for drive-through restaurants:

- 1. Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.**

This standard is met.

- 2. The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.**

Proposed changes to the PUD Agreement would allow drive-through restaurants regardless of spacing between uses.

- 3. Only one (1) access shall be provided onto any street.**

Lot #4 does not have direct access to either Grand River Avenue or Latson Road. Vehicular access to this part of the development will be via the existing interior service drive, which provides access to both public roadways.

- 4. Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.**

The site plan includes internal access points to the remainder of the Livingston Commons development.

E. Site Plan Review

- 1. Dimensional Requirements.** As described in the table below, the proposed Panera Bread complies with the dimensional standards for this PUD:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
NR-PUD	1	150	70	15	50	20 front 10 side/rear	35'	35% building 75% impervious
Proposal	2.03	270 (Latson)	112 (Grand River) 96 (Latson)	134 (NW) 145 (S)	71 (SW)	20 front 10 side 25 rear	19'-8"	6.6% building 70.2% impervious

- 2. Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

The proposed building is constructed of brick, which is consistent with the requirements in the PUD Agreement. Color renderings presented at the April 13, 2015 Planning Commission meeting demonstrated a well-designed building with architectural interest and high quality materials.

As was discussed at the previous meeting, the applicant must ensure that the height of the parapet wall will fully screen any view of rooftop-mounted equipment.

Livingston Commons Lot #5

Site Plan Review #5

Page 4

- 3. Parking.** As outlined in the table on Sheet C-2.0, 63 spaces are required for the proposed Panera restaurant. Additionally, 2 RV spaces, 3 waiting spaces and 10 stacking spaces are also required.

There are 69 spaces proposed, as well as the required stacking and waiting spaces. A note in the parking table indicates that the longer RV spaces will be provided outside of Lot 4.

The parking spaces and drive aisles meet or exceed the dimensional standards of Section 14.06 and a detail on Sheet C-2.1 identifies the use of looped (double striped) spaces.

- 4. Pedestrian Circulation.** The plan identifies the existing sidewalks along Grand River and Latson with a connection proposed between the public sidewalk and the edge of the parking lot near the intersection. Crosswalk striping has also been added to alert drivers to the potential of pedestrians at entering the site from the public sidewalk. Sidewalks are also proposed along the north and east sides of the building, separating the parking lot from the building.

- 5. Vehicular Circulation.** As previously noted, Lot #4 does not have direct vehicular access to either roadway. Instead, access is provided at 2 points to the existing internal service drive.

The stacking and vehicular circulation pattern west of the proposed building are greatly improved in the current version of the plan. The proposal now entails a larger traffic island between 4A and 4B, as well as a one-way circulation pattern adjacent to the Panera drive-through lane. This will also provide for an escape lane from the drive-through.

The loading area has also been shifted in the current plan to avoid conflicts with refuse removal. In short, we view the proposed changes to circulation as a much needed improvement from the previous version. With that being said, we will defer to the Township Engineer for any comments or concerns they may have.

- 6. Loading.** The plan identifies the required loading space at the rear of the building. As noted above, the space has been shifted to avoid any conflicts with refuse removal.

- 7. Landscaping.** We have reviewed the landscape plan as follows:

Location	Requirements	Proposed	Comments
Front yard greenbelt (Grand River & Latson)	17 canopy trees 17 evergreen trees 67 shrubs 20-foot width	Existing landscaping (noted as 5 canopy trees, 4 ornamental trees, 13 shrubs and a hedgerow) 40 new shrubs 20-foot width (minimum)	The Township may wish to require additional plantings to bring the greenbelt up to standard and to help mitigate the allowance for additional front yard parking proposed via the amended PUD Agreement
Parking lot	7 canopy trees 630 SF landscaped area Hedgerow	7 canopy trees 8,907 SF landscaped area Existing landscaping	Requirement met

As was discussed at the previous meeting, prior submittals for redevelopment of Lot #4 included significantly more landscaping than that currently proposed. However, the revised submittal represents an improvement from the prior version.

- 8. Waste Receptacle and Enclosure.** The project includes new waste receptacle areas south and southwest of the Panera building. Details on Sheet C-2.3 identify the required concrete base pad and a masonry enclosure, which will match materials used on the building.

Livingston Commons Lot #5

Site Plan Review #5

Page 5

- 9. Exterior Lighting.** The submittal includes a lighting plan (Sheet C-6.0), which proposes the installation of 4 new light poles and 7 new light fixtures on existing poles. The table identifies 3 different types (A-1, A-2 and A-3), although there is no indication of any wall mounted fixtures.

The details on Sheets C-6.0 and C-6.1 are compliant with the requirements of Section 12.03. Additionally, the photometric readings on Lot #4 are within that allowed by Ordinance.

- 10. Signs.** In total, the submittal includes 3 monument signs (2 existing structures with new sign faces added and 1 new sign for the future restaurant) and 2 wall signs. Two menu boards and 3 drive-through signs are also shown proposed.

The Ordinance allows up to 2 menu boards with a maximum size of 16 square feet per board and directional signs with no advertising are allowed at driveways. Any proposed signage in excess of current Ordinance standards should be addressed within the PUD Agreement.

A sign permit is required prior to installation of any new signage.

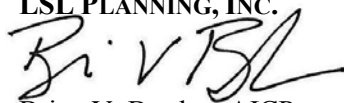
- 11. Impact Assessment.** The previous submittal included an updated Impact Assessment (dated 3/25/14). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic. The revised Assessment includes a trip generation comparison.

As was discussed at the previous meeting, we will defer to the Township Engineer as to whether a more detailed traffic impact study is needed.

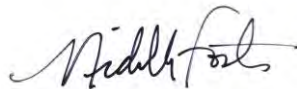
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and foster@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP
Principal Planner



Michelle Foster
Project Planner



April 24, 2015

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Livingston Commons Lot 4 Redevelopment – Panera Bread Site Plan Review #2

Dear Ms. Van Marter:

We have reviewed the response documentation and updated site plan documents for the Livingston Commons Lot #4 redesign prepared by Wade Trim dated April 20, 2015. The site is on the southwest corner of the intersection of Grand River Avenue and Latson Road. The petitioner is planning to demolish the existing Bennigan's Restaurant and develop two lots, one for a 4,383 sft Panera Bread to be constructed under this project, and the second for a future drive thru restaurant facility.

We offer the following comments for consideration by the planning commission:

SUMMARY

1. Indicate location of proposed water service lead for future restaurant.
2. Remove unnecessary notes.

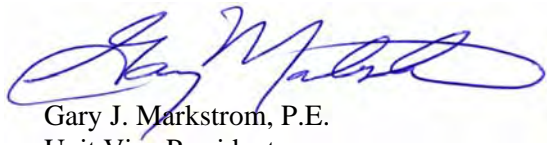
SITE UTILITY PLAN C-3.0

1. The petitioner is showing measures taken to extend a 6-inch sanitary service lateral west of the proposed manhole to accommodate future connection. Please indicate on the drawings the location of where the water service lead for the future restaurant is most likely to be installed.
2. For the construction plans, make sure all old notes that no longer apply are completely removed. A note regarding hydrant construction and pavement restoration is still included near the top of the page on sheet C-3.0.

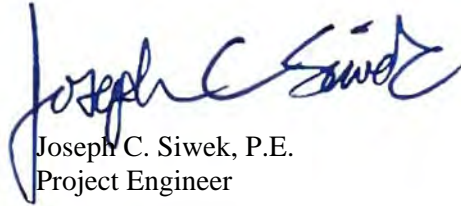
Ms. Kelly Van Marter
Livingston Commons Lot 4 Redevelopment
Panera Bread Site Plan Review #2
April 24, 2015
Page 2

If the petitioner corrects the aforementioned issues, then the site plan is recommended for approval. The construction plans will be required to be submitted to the MHOG Utility Department for the proposed municipal manhole. Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Unit Vice President



Joseph C. Siwek, P.E.
Project Engineer

Copy: Charles Christy, P.E., Wade Trim



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

April 22, 2015

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Panera Bread
Lot 4 Livingston Commons Redevelopment
3950 E. Grand River
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 21, 2015 and the drawings are dated April 20, 2015. The project is based on a new 4,383 square foot assembly-use building. The site is an existing assembly that will be demolished for the construction of the new structure. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. *Previous submittal comments for this site appear to be addressed in this submittal.*

1. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*. **(Noted on Plan)**
IFC 903
2. The fire protection lead must be evaluated and approved for sizing and installation by the Marion, Howell, Oceola, Genoa Water Authority (MHOG). **(Noted on Plan)**
3. Future project submittals shall include the address and street name of the project in the title block. **(Revised on Plan)**
IFC 105.4.2
4. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **(Address shall be on the North Elevation of the building)**
IFC 505.1
5. The access roads into the site shall be a minimum of 26' wide; new cut through from Southern parking area is shown as 24' wide and must be corrected. Access roads to site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Revised on Plan)**
IFC D 102
6. Grassy areas located adjacent to the "Loading Zone" shall be provided with signage identifying them as fire lanes. Signs are to be installed on both sides of the drive. Details must be included in the submittal. **(Revised on Plan)**
IFC D 103
7. Access around building shall provide emergency vehicles with an outside turning radius up to 55' and a minimum vertical clearance of 13 ½ feet. A plan with fire apparatus turning template applied will satisfy this requirement. **(Revised on Plan)**
IFC D 102



8. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box shall be located adjacent to the front door of the structure. **(Knox Box to be installed adjacent to the rear kitchen exit door, no more than 66" above grade.)**
IFC 506.1
9. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Corrected on Plan. Contractor information to be provided at time of construction.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Capt. Rick Boisvert
Fire Inspector

COVER SHEET FOR
AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT
FOR PHASE I AND PHASE II LAND
BETWEEN
RLG HOWELL LLC AND GCG HOWELL LLC
AND
PKJJ, LLC
AND
TOWNSHIP OF GENOA
DATED _____, 2015

Prepared By and After Recording
Return To:
April Ann Jordan
Hedrick & Jordan Co., LPA
100 E. Third Street, Suite 500
Dayton, Ohio 45402
937-228-3889

**STATE OF MICHIGAN
COUNTY OF LIVINGSTON
TOWNSHIP OF GENOA**

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT

This Amendment to Planned Unit Development Agreement is made and entered into this ___ day of _____, 2015, by **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company, both of 10050 Innovation Drive, Suite 100, Dayton, Ohio 45342 (collectively, "Owner"); **PKJJ, LLC**, a Michigan limited liability company, of _____ ("PKJJ"); and **GENOA CHARTER TOWNSHIP**, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 ("Township").

RECITATIONS:

Owner possesses fee title to certain real property located in Genoa Charter Township, Livingston County, State of Michigan, described in that certain Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan (the "Phase I PUD").

Subsequent to the Phase I PUD, Owner and Township entered into that certain Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (the "Phase II PUD"). The Phase I PUD applied to Phase I and Phase II land described therein, and the Phase II PUD modified provisions pertaining to Phase II.

In 2011 Owner and Township considered a further Amendment to the Phase I PUD Agreement that contemplated the reconfiguration of Lot #4 into two sub-lots; provided however the amendment was never finalized or executed, and as such is of no force or effect.

Pursuant to Article IV, Internal Road Network, subsection 4.1, the Phase I PUD contemplated that the property formerly owned by the Prairie House Restaurant and now owned by PKJJ (the "Red Olive Parcel") described on Exhibit A attached hereto could benefit from an easement established by Owner over and across the Red Olive Parcel.

Owner and PKJJ have agreed to amend Owner's existing Declaration of Restrictions and Easements for Outlots dated September 2, 1999, recorded September 10, 1999, at Liber 2652, Page 0082 of the records of Livingston County, Michigan (the "Declaration") to provide the Red Olive Parcel with access over the access ways on the adjacent lands of Owner and to subject the Red Olive Parcel to the terms of the Declaration.

Further, Owner and Township have agreed to amend the provisions of the Phase I PUD and Phase II PUD regarding pylon signage and the construction of a Township identification sign.

Further, Owner and Township have now agreed to amend the provisions of the Phase I PUD Agreement to provide for the reconfiguration of Lot #4 into two (2) separate lots, to be known as Lot #4A and Lot #4B.

In connection therewith, Owner and PKJJ wish to amend the Phase I PUD and the Phase II PUD to subject the Red Olive Parcel thereto; to modify the signage provisions; and to reflect the reconfiguration of Lot #4 into two (2) separate lots, all pursuant to the terms contained herein.

NOW, THEREFORE, Owner and PKJJ, in consideration of the mutual promises contained in this Agreement, hereby agree as follows:

1. Article 1, General Terms of Agreement, subsection 1.5, shall be amended to add the following additional paragraph D:

D. The configuration of Lot #4 shall hereby be modified to divide Lot #4 into two (2) separate parcels for all purposes under the Phase I PUD, which shall be known as Lot #4A and Lot #4B respectively, and depicted on Exhibit B attached hereto. Township acknowledges that this modification does not substantially increase the impact on adjoining properties or facilities and that the Remote Parking Area is not required for the operation of the Wal-Mart on Lot #1. Township hereby agrees that the parking space contained in the Remote Parking Areas shall be counted as parking spaces for the use of Lot #4A and Lot #4B. Township hereby approves the setbacks and configuration of improvements on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Owner acknowledges that Lot #4A and Lot #4B shall remain subject to the terms of the Phase I PUD except as otherwise set forth herein. Owner reserves the right to configure Lot #4A and Lot #4B further to include the Remote Parking Areas adjacent to said Lots. Township acknowledges that if such lots are incorporated into Lot #4A and Lot #4B, same shall not substantially increase the impact upon adjoining properties or facilities.

2. Article I, General Terms of Agreement of the Phase I PUD, shall be amended to add the following additional subsection:

1.7 The Red Olive Parcel shall be subject to the terms and conditions of the Phase I PUD, subject to the provisions of this Amendment.

3. Article II, Land Use Authorization, subsection 2.1 of the Phase I PUD, shall be amended to delete the sentence reading "Further, only one drive through restaurant facility shall be permitted and such use shall only be permitted on Lot #1." The following shall be placed in its stead:

Drive through restaurant facilities may be allowed on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Additional drive through restaurant facilities may be allowed on all parcels within five hundred feet (500') of each other, subject to Special

Land Use approval by Township, including the Special Use Requirements as outlined in the Special Land Use Regulations as they may exist from time to time. Township and Owner agree that this use shall be considered upon providing that the stacking or queuing of such drive through restaurant facilities shall be sufficient to accommodate expected peak volumes and to minimize conflict with the internal road network located on the Property, as well as any public roadways. Provided, however, no drive through shall be permitted on the Red Olive Parcel.

4. Article IV, Internal Road Network of the Phase I PUD, shall be amended to add the following additional sentence:

Notwithstanding anything contained in the Phase I PUD to the contrary, the Red Olive Parcel shall be allowed to maintain access to the Grand River Avenue existing curb cut, provide such access shall be limited to “right-in, right-out” movement.

5. Article VI, Site Improvements, subsection 6.5(a) shall be amended to delete the following second sentence:

No parking in the front yard of Lot #4 shall be permitted except one row or less of “tease” parking, which shall be allowed.

6. Article VI, Site Improvements, subsection 6.5(b) of the Phase I PUD, and subsection 6.4(B) of the Phase II PUD, shall each be deleted, it being acknowledged that Owner shall have no obligation to Township to provide an entranceway landmark pursuant to the Phase I PUD or the Phase II PUD because such location or locations are not available for such signage. The following shall be inserted instead:

The Owner shall pay to Township the sum of Twenty-Five Thousand and 00/100 Dollars (\$25,000.00) within forty-five (45) days after building permits are issued for the new improvements to be constructed on Lot #4A and Lot #4B. In consideration of such payment, Owner shall have no obligation to install a Township identification sign and instead Township shall install and maintain the Township identification sign at Township’s expense. The Township identification sign shall be installed within the twenty foot (20’) set back on Owner’s Lot A and shall be constructed as depicted on Exhibit C attached hereto. The Township identification sign shall be a maximum of six feet (6’) in height and shall be oriented so as to be most visible from Latson Road. Easements for such construction and maintenance of a Township Identification sign shall be granted and accepted at the time that the Twenty-Five Thousand and 00/100 dollars (\$25,000.00) is paid to Township.

7. Article 7, Design of Building and Signs, subsection 7.2, Signage, shall be amended to add the following additional paragraph:

Lot #4A and Lot #4B shall be treated as separate parcels, and as such Lot #4A and Lot #4B shall each be entitled to separate signage as described herein. Lot #4A shall retain the existing two (2) monument signs. Lot #4B shall be entitled to one (1) additional

monument sign for business operations thereon comparable in size to the signs located on Lot #4A.

8. Article VII, Design of Building and Signs, subsection 7.2, Signage, shall be amended to delete the fourth sentence regarding the highway signs and the following sentences shall be placed in its stead:

There shall be permitted one (1) pylon sign of a maximum of three hundred (300) square feet, not to exceed 42' in height, advertising users in both Phase I and Phase II, as depicted on Exhibit D attached hereto. Additionally, the owner of the Red Olive Parcel may install a monument sign abutting Grand River Avenue and other signs as may be permitted under the Declaration.

APPROVED by Owner and PKJJ on this ____ day of _____, 2015.

WITNESSES:

RLG HOWELL LLC, a Michigan limited liability company

By: Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated May 30, 2013, Randall L. Gunlock, Grantor, Managing Member

By: Randall L. Gunlock
Its: Trustee

GCG HOWELL LLC, a Michigan limited liability company

By: Glenn C. Gunlock
Its: Managing Member

STATE OF)
) SS:
COUNTY OF)

The foregoing instrument was acknowledged before me the ___ day of _____, 2015, by _____, the _____ of PKJJ, LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

EXHIBITS

- Exhibit A Legal Description of Red Olive Parcel
- Exhibit B Depiction of Lot #4A and Lot #4B
- Exhibit C Township Identification Sign
- Exhibit D Depiction of Pylon Sign

EXHIBIT A
LEGAL DESCRIPTION OF RED OLIVE PARCEL

EXHIBIT B
DEPICTION OF LOT #4A AND LOT #4B

EXHIBIT C
TOWNSHIP IDENTIFICATION SIGN

NEW INTERCHANGE WESTBOUND ENTRANCE RAMP

70

DIVIDE

LOT F
2.33 AC.
MOTEL

LOT G
2.29 AC.
MOTEL

LOT H
3.64 AC.
MOTEL

GRAND OAKS

AVAILABLE
20,388 SF

LOWE'S
135,197 SF

WAL-MART
214,172 SF

LOT A
1.42 AC.

LOT A1
.68 AC.

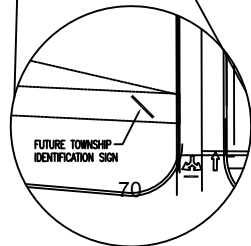
1.0 AC.
LOWE'S
RETAINED LOT

LOT 5
1.87 AC.
CO-AMERICA BANK

LATSON ROAD

FUTURE TRAFFIC SIGNAL

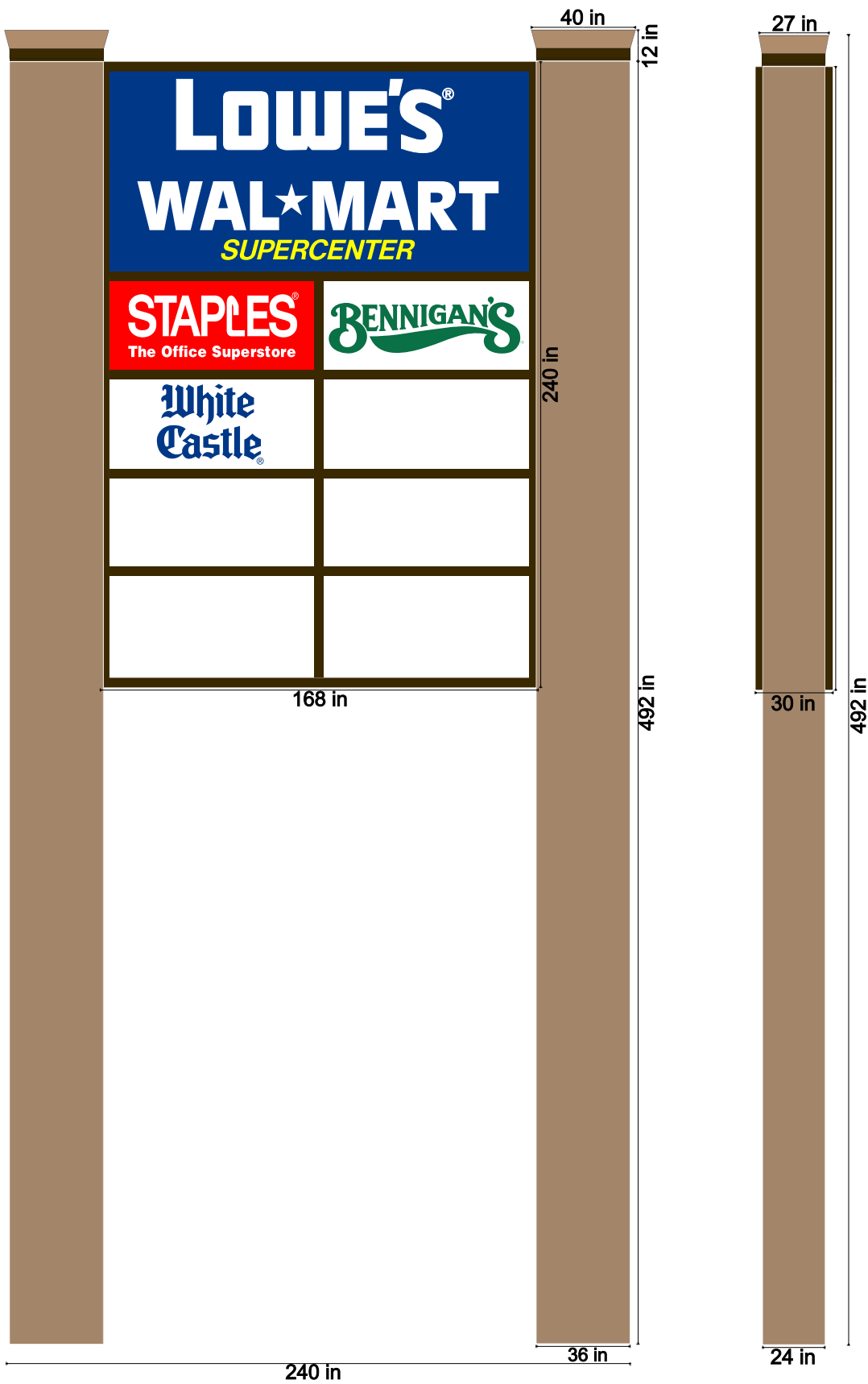
FUTURE TOWNSHIP IDENTIFICATION SIGN



FUTURE TOWNSHIP IDENTIFICATION SIGN

70

EXHIBIT D
DEPICTION OF PYLON SIGN



SGN THE SIGN GROUP INC.
© 2015
5370 WEST 84TH STREET
INDIANAPOLIS, IN 46268.
PH: (317)875-6969
FAX:(317)875-6644

SIGNATURE FOR APPROVAL

SALESMAN: _____ DATE: _____

CLIENT: _____ DATE: _____

NOTICE:
ALL ARTWORK AND DESIGN IS
PROPERTY OF THE SIGN GROUP
INC. ANY REPRODUCTION IS
STRICTLY PROHIBITED, UNLESS
AUTHORIZED BY THE SIGN GROUP.

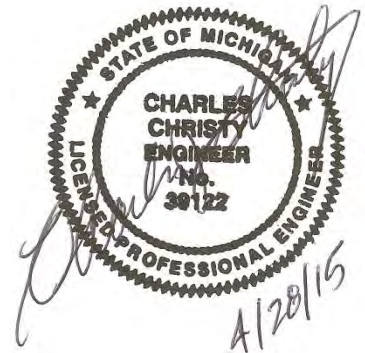
TP-1-22-15-730 c1
LIVINGSTON COMMONS

Impact Assessment
Redevelopment of Lot 4
Panera Bread Bakery Café #1936
Livingston Commons Shopping Center
Genoa Township, Michigan

March 25, 2015
Revised April 28, 2015

Prepared for:
RG Properties
10050 Innovation Drive, Suite 100
Dayton, OH 45342

Prepared by:
Wade Trim, Inc.
555 South Saginaw Street, Suite 201
Flint, MI 48502
Charles J. Christy, PE MI #39122



Written Impact Assessment
For Redevelopment of Lot 4
Livingston Commons

- 18.07.01 **Preparer** - This impact assessment is prepared and assembled by Charles J. Christy, PE. Mr. Christy has been licensed as a professional engineer in the State of Michigan since 1993. During the past 21 years, his experience has primarily focused on land development with commercial, industrial, and residential projects. Mr. Christy has completed numerous site plans, special use permits, and planned unit developments across the State.
- 18.07.02 **Location** - The project is located at Livingston Commons Shopping Center, 3950 East Grand River Avenue, Howell, MI. The site is currently developed with a Bennigan's restaurant on approximately 2.03 acres (88,427sft). The site is located at the southwest corner of the intersection of East Grand River Avenue and South Latson Road and is part of a larger overall development which includes WalMart, Lowes, Staples, and other out parcels.

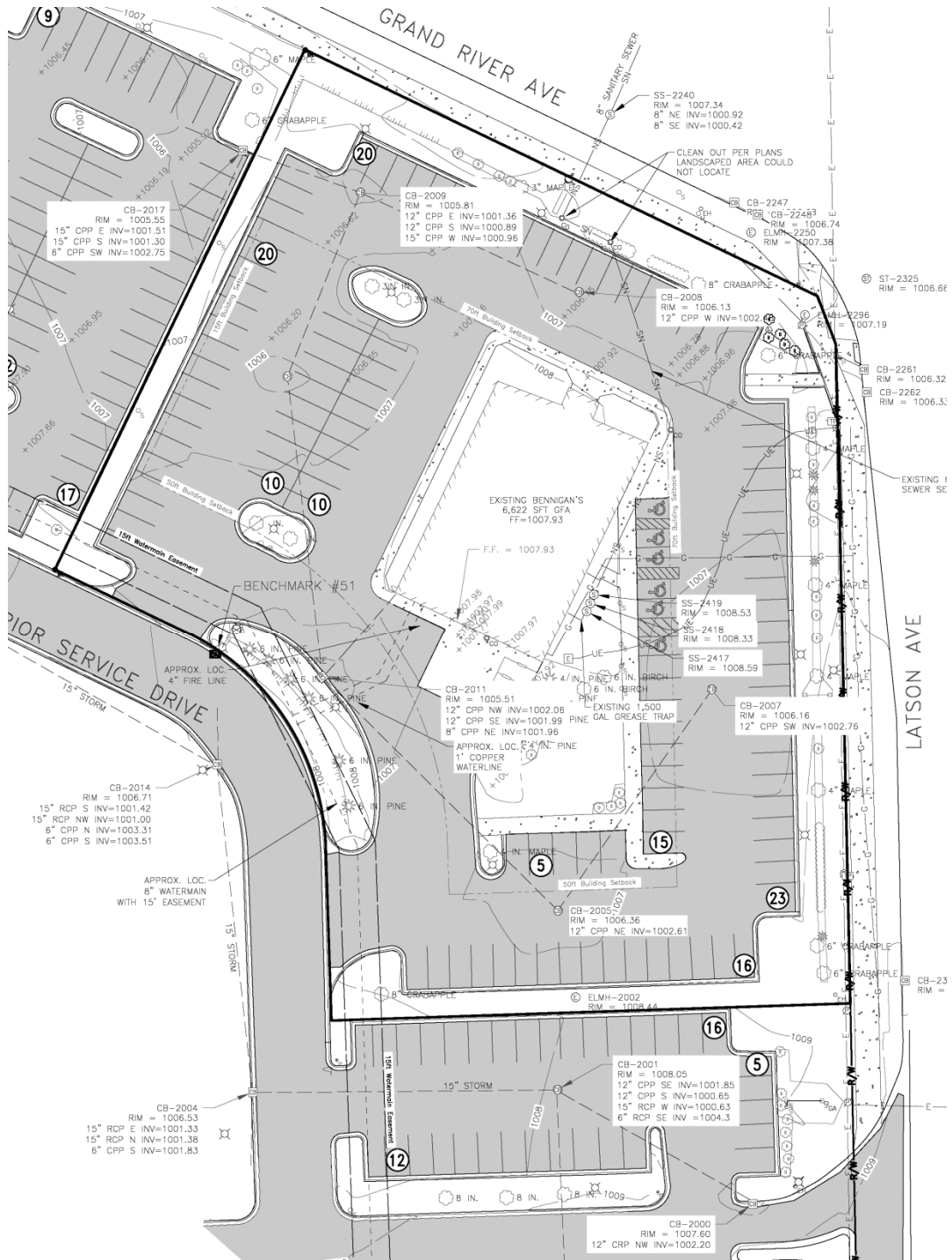
Adjacent properties are occupied by Bob Evans (to the west), O'Reilly Auto Parts (east across Latson), Comerica Bank (to the south), BP Gas Station (north across E. Grand River), Applebee's (across E Grand River to the west), and a small strip center at the north east quadrant of E Grand River and Latson.

An aerial photograph of the project area is included on the following page.



18.07.03

Impact on natural Features – The site is currently developed with an approximately 6,622sft restaurant, 119 parking space parking lot, storm sewer collection system, sanitary and potable water services, franchise utility services, and landscaping. Please refer to plan Sheet C-0.1 for the existing conditions survey for greater detail. No wetlands are on or adjacent to the site. See below for a snap shot of the existing conditions.



18.07.04 Impact on Stormwater Management – The site is currently approximately 76% impervious and has a series of catch basins and storm sewer pipes to collect surface water runoff. The storm system leaves the site at the northwest corner of the parcel and enters the larger storm water management system for the overall PUD. The overall development, when constructed, has a regional storm water management system consisting of several basins which were designed to manage storm water from all parcels in the PUD.

The proposed redevelopment will be approximately 73% impervious after the lot division. A majority of the existing catch basins and storm sewer pipe will be retained and utilized to convey storm water runoff after redevelopment, maintaining the existing discharge point from the site. Since the redeveloped site will contain less impervious surfaces due to an increase in landscaping area, the total volume of storm water runoff will be less and the time of concentration will be greater, resulting in a lower peak discharge rate. This being the case, we have not quantified the decrease in runoff or peak discharge rate. We are not proposing any changes to the regional storm water management system (basins).

The proposed work will entail removing some pavement, demolition of the existing building and utilities, and new landscaping. A majority of the existing pavement will remain, including storm structures and pipes. The existing asphalt that is to remain, will be surface milled and overlaid with a new top course. Grading and earthwork, by design, will be kept to a minimum only as required to maintain/re-establish drainage patterns and to allow for the new landscaping.

Managing soil erosion will be accomplished with silt fences, inlet protection, and construction entrance BMP's. Final restoration will consist of asphalt, concrete, lawn and landscaping. Additional detail on the soil erosion control measures can be found in the plan submittal set, Sheets C-7.0 through C-7.3. A soil erosion and sedimentation control permit will be applied for at the Livingston County Drain Commission office.

18.07.05 Impact on Surrounding Land Uses – The surrounding area is developed into retail uses consisting of restaurants, gas service station, and other commercial retail establishments. Both E. Grand River and S. Latson Road are 4 lane roads with a center turn lane and right turn lanes where appropriate. The intersection of E. Grand River and S. Latson Road is signalized with protected left turn lanes.

The proposed redevelopment is a similar use when compared to the existing Bennigan's and the uses on the surrounding properties. Hours of operation will be similar to the surrounding uses. However, Bennigan's is currently not open for breakfast and the proposed development will be open for breakfast. The existing access to the site will remain as currently configured.

The existing lighting on the site will be reconfigured. Several of the light poles will be removed, several of the existing light fixtures will be replaced with lower wattage, and several new light poles will be strategically located to provide safety and security. Overall, the redevelopment will result in lower lighting intensities.

Dust control will be utilized during the demolition and construction phase to minimize air pollution.

Due to the nature, use, and size of this project, it is not anticipated that the noise levels generated on this site will be greater than the adjacent traffic on E. Grand River and S. Latson Road. Additionally, since this is a retail development, the project will not generate or cause concern with regards to: smoke, airborne solids, odor, vibration, radioactive materials, fire and safety hazards, UST's, or hazardous materials.

18.07.06 Impact on Public Facilities and Services – The proposed building size will be approximately 33% less in size than the existing building.

There are other uses in the immediate area that are larger and more susceptible to police action. Although we have not contacted police, fire, or emergency services regarding this project, we conclude that the respective agencies are prepared to respond to the larger uses adjacent to our site, and therefore, have the ability to respond appropriately to incidents on this site.

18.07.07 Impact on Public Utilities – The site is currently serviced by M.H.O.G. for water and sanitary sewer service. An 8-inch water main and hydrants are located along the existing interior service drive. An 8-inch sanitary sewer lead is extended to the site across E. Grand River. The existing sewer service will be extended to the new building and, due to its size, has the capacity to serve the proposed building (an 8-inch pipe at minimum grade has capacity of over 500,000 GPD or 347gpm. A 6-inch pipe at minimum grade has capacity of approximately 400,000 GPD or 277gpm).

Equivalent User Table for proposed building (to be confirmed at building permit application stage).

User	Unit Factor	Qty	Sub-Total
Restaurants (fast food, including drive thru & primary drink service)	7.5 per premise	1 Ea	7.5

Based on a REU equivalent of 218 gallons per day, the proposed building would generate 1,635 gallons of sewage per day (7.5 x 218).

The existing water service consists of a 2" potable water lead and 4-inch fire protection main. The existing 4-inch fire protection main will be extended to the new building, providing fire protection through a fully automatic sprinkler system. The proposed fire

department connection (FDC) would be located at the southwest corner of the building, 78 feet from the existing fire hydrant. A Knox-box would be located near the rear kitchen exit door.


The existing 2" potable water service connection is suitable for the proposed building.

- 18.07.08 **Storage and Handling of any hazardous Materials** – The proposed use is retail in nature. No hazardous materials will be generated, used, or disposed of on-site.
- 18.07.09 **Traffic Impact Study** – We have completed a Trip Generation Comparison for the redevelopment for Township review. This comparison is included at the end of this Impact Assessment in a Technical Memorandum dated March 24, 2015.
- 18.07.10 **Historic and Cultural Resources** – The existing structure is not more than 50 years old.
- 18.07.11 **Special Provisions** – The Owner of Lot 4 has a REA agreement with the other tenants / Owners of the overall PUD development allowing shared use of the: internal drives, drive access to E. Grand River & S. Latson Road, and storm water management system. A copy of this REA is included at the end of this Impact Assessment.
- 18.07.12 **List of Sources** – Google for image in 18.07.02
- 18.07.13 **Previous Impact Assessments** – An impact assessment was previously completed for the PUD and a previous version of Lot 4 Redevelopment prepared in December of 2014. This impact assessment focuses on the redevelopment of Lot 4.

TECHNICAL MEMORANDUM

Livingston Commons Lot 4 Revised Trip Generation Comparison - Amendment #2

PREPARED FOR: Kelly VanMarter, AICP/ Genoa Township

PREPARED BY: Aimée L. Giacherio, PE/Wade Trim 

DATE: March 24, 2015

PROJECT TASK: RGP1001.01F Phase 1240 Impact Assessment Revision

FILE LOCATION: P:\Aaa1000\Agiacherio\Draft\Projects\Livingston Commons\TechMemoREV.docx

RG Properties is proposing to redevelop the existing Bennigan's Restaurant in the southwest quadrant of Grand River Avenue and Latson Road in Genoa Township. This area is part of the overall Livingston Commons Shopping Center. The redevelopment would consist of two new buildings in place of the existing Bennigan's Restaurant. The overall scope was to determine the difference in trip generation between the existing restaurant use and the proposed redevelopment project to determine the additional trips that would be generated by the two new uses. This memorandum summarizes the expected difference in trip generation.

Existing Trip Generation

Existing trips generated by the Bennigan's Restaurant were estimated based on the Institute of Transportation Engineer's (ITE) report *Trip Generation, Ninth Edition, 2012*. Trip estimates were developed for the existing 6,622 square foot restaurant based on the High Turnover (Sit-Down) Restaurant use, Land Use Code 932. The weekday afternoon peak hour trip generation estimates are shown in Table 1. This Bennigan's Restaurant was not open during the morning peak hour, thus the existing trip generation during the morning peak hour is zero.

Traffic for a restaurant type use consists of new trips, whose sole purpose is the visit to the site, internal or shared trips, and pass-by trips. New Trips are those that are new to the study area and consist of motorists whose primary destination is the restaurant.

A development that contains multiple uses, such as this one, can be expected to have some internal trip sharing. Since this restaurant is part of the Livingston Commons Shopping Center which includes several banks, restaurants, a Wal-Mart Supercenter, a Lowe's, etc., it is expected that some internal trip sharing occurs between uses. A shared trip is one that visits more than one use on the site and thus lessens the overall impact of a multiple use site on the adjacent street system. An internal trip factor of 20% was applied to the site based on ITE's *Trip Generation Handbook*.

Pass-by trips are typically associated with retail uses, as well as gas stations and restaurants. Pass-by trips are comprised of vehicles already traveling on the adjacent roads, which divert from their original path of travel to visit the development. The ultimate destination of a pass-by trip is directed elsewhere. Pass-by trips were also applied to the existing restaurant use on the site. The pass-by rates were based on ITE’s *Trip Generation Handbook*. Based on information provided, a pass-by rate of 43 percent was applied to the restaurant. As a result, the existing restaurant is estimated to generate a total of 30 trips during the during the afternoon peak hour.

Table 1 Existing Bennigan’s Weekday PM Peak Hour Trip Generation Estimate

Land Use	In	Out	Total
Bennigan’s Restaurant	39	26	65
<i>Less Internal Capture (20%)</i>	-8	-5	-13
Net Trips	31	21	52
<i>Less Pass-by Trips (43%)</i>	-13	-9	-22
New Trips	18	12	30

Proposed Trip Generation

Trip estimates were then developed for the proposed redevelopment of the property to two restaurant uses. The redevelopment project is proposed to consist of a 4,386 square foot bread/donut/bagel restaurant with a drive-thru facility and a 3,954 square foot fast-food restaurant with another drive-thru.

Trip estimates were developed for the proposed uses based upon information provided in ITE’s *Trip Generation* and *Trip Generation Handbook*. The trip generation potential for the bread/donut/bagel restaurant was developed based on the Bread/Donut/Bagel Shop with Drive Through, Land Use Code 940. Trip generation estimates were developed for the fast-food restaurant based on Land Use Code 934, Fast-Food Restaurant with Drive-Through. The proposed fast food restaurant is not expected to be open during the morning peak hour.

Traffic for the proposed redevelopment will consist of both new trips, whose sole purpose is the visit to the site, internal or shared trips, and pass-by trips. New trips are those that are new to the study area and consist of motorists whose primary destination is the proposed project.

An area that contains multiple uses, such as this one, can be expected to have some internal trip sharing. A shared trip is one that visits more than one use on the site and thus lessens the overall impact of a multiple use site on the adjacent street system. Since this development is part of the Livingston Commons Shopping Center which includes banks, restaurants, a Wal-Mart Supercenter, a Lowe’s, etc., it is expected that some internal trip sharing will occur between uses. It is expected that the number of trips generated by these uses will be reduced due to their interaction between the other uses in the development. An internal trip factor of 20% was applied to the site based on ITE’s *Trip Generation Handbook*. This is the same factor that was applied to

the existing Bennigan’s restaurant. This factor was only applied to the afternoon peak hour trip estimates, and not the morning peak hour estimates for the bread/donut/bagel restaurant.

Pass-by trips involve motorists who are diverted off of the adjacent street system to visit this development. A portion of the trips generated by the redevelopment were assumed to be pass-by trips. These trips divert from existing travel paths to stop at the site and then resume the original trip path. Thus additional trips are not added to the area road system by these pass-by trips. Surveys conducted by ITE have shown that many trips made to grocery stores, restaurants, and shopping areas are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Pass-by rates were based on information provided in ITE’s *Trip Generation Handbook*. A pass-by rate of 49% was used during both the morning and afternoon peak hours for both uses.

The weekday morning peak hour trip generation estimates are shown in Table 2 and the weekday afternoon peak hour trip generation estimates are provided in Table 3.

Table 2 Proposed Weekday AM Peak Hour Trip Generation Estimate

Land Use	In	Out	Total
Bread/Donut/Bagel Restaurant	85	84	169
<i>Less Pass-by Trips (49%)</i>	<i>-42</i>	<i>-41</i>	<i>-83</i>
New Trips	43	43	86

Table 3 Proposed Weekday PM Peak Hour Trip Generation Estimates

Land Use	LUC	Size (SF)	Total Trips		Internal Trips		Net Trips		Pass-by Trips		New Trips	
			In	Out	In	Out	In	Out	In	Out	In	Out
Bread/Donut/Bagel Restaurant w/Drive-Thru	940	4,386	41	42	8	9	33	33	16	16	17	17
Fast-Food Restaurant w/ Drive-Thru	934	3,954	67	62	13	13	54	49	26	24	28	25
Total			108	104	21	22	87	82	42	40	45	42

No access changes to the overall shopping center are proposed with the redevelopment of the restaurant lots. The existing accesses for the Livingston Commons Shopping Center are to be used to access these new land uses. There are currently two accesses to Grand River Avenue, one of which is signalized, and three accesses to Latson Road, two full movement accesses and one right in/right out only access.

Table 4 shows the difference in overall trips estimated between the existing restaurant and the proposed redevelopment project based on proposed land uses.

Table 4 Trip Generation Difference

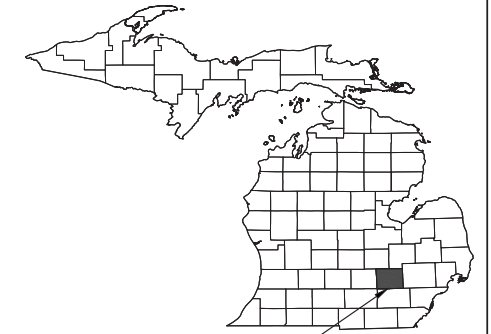
Scenario	AM PEAK HOUR						PM PEAK HOUR					
	Net Trips		Pass-by Trips		New Trips		Net Trips		Pass-by Trips		New Trips	
	In	Out	In	Out	In	Out	In	Out	In	Out	In	Out
Existing Restaurant	0	0	0	0	0	0	31	21	13	9	18	12
Proposed Redevelopment	85	84	42	41	43	43	87	82	42	40	45	42
Difference	+85	+84	+42	+41	+43	+43	+56	+61	+29	+31	+27	+30

As expected, the proposed development will generate more trips than the existing restaurant use during both the morning and afternoon peak hours. However, the net trip difference is less than 100 directional trips under both peak hours and the actual new trip difference is less than 50 directional trips under both peak hours.

The largest difference in trips between the two occurs during the morning peak hour. This is due to the existing Bennigan’s restaurant not being open for breakfast. However, the existing restaurant use approved for this site likely doesn’t restrict a restaurant from being open during the morning peak hour. In fact, if it was open, this same size restaurant would generate 72 net trips and 31 new trips, after pass-by traffic is accounted for, with 17 inbound and 14 outbound trips, thus lessening the morning peak hour trip difference. In addition, morning peak hour traffic volumes for this shopping center are lighter than during the weekday afternoon peak hour. Both the Lowe’s and Wal-Mart Supercenter generate fewer trips during the morning peak hour than during the afternoon peak hour. In addition, the fast-food restaurants and banks that are part of this shopping center are not open during the morning peak hour. Therefore, it is expected that the additional trips generated by the bread/donut/bagel restaurant during the morning peak hour can be accommodated by the existing driveways for the shopping center as there are less overall trips from the shopping center during this same time period.

Please feel free to contact us at any time if you have questions regarding the information provided in this memorandum or if you need any additional information.

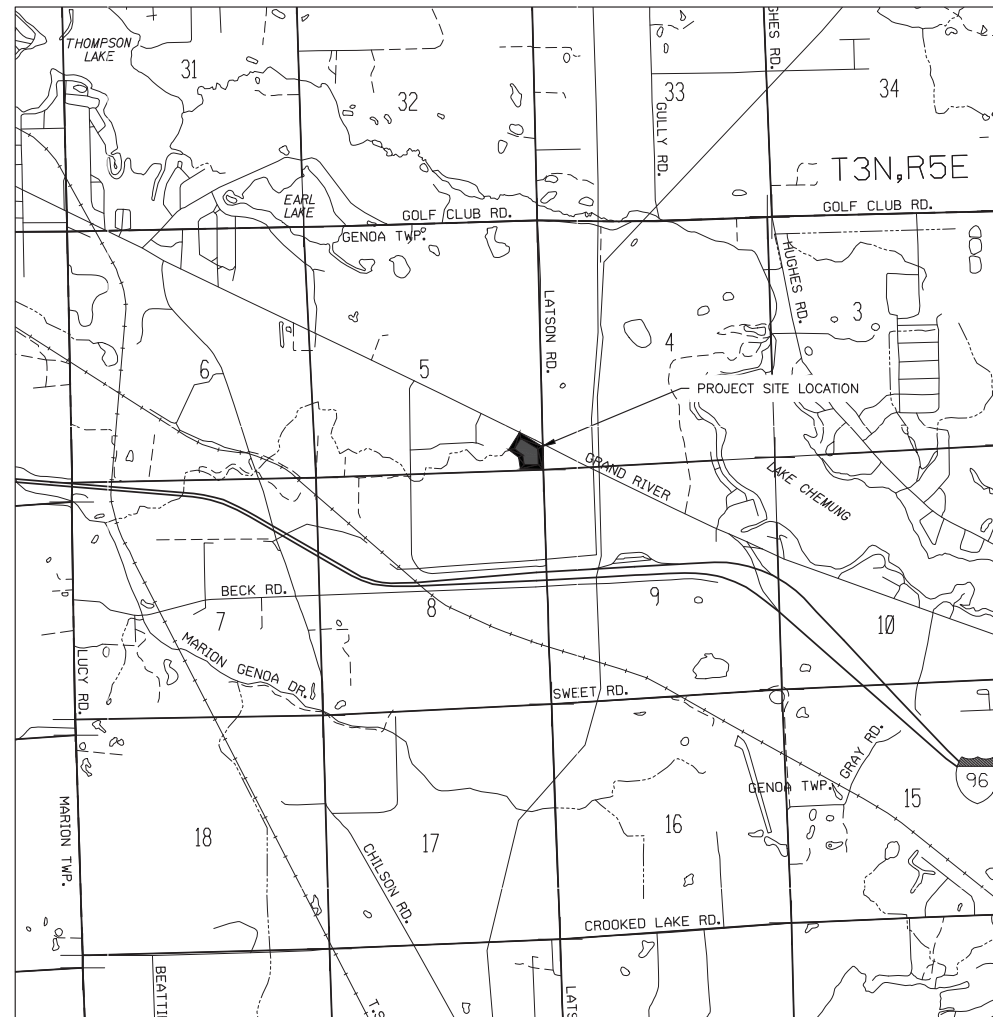
SITE PLANS FOR PANERA BREAD GENOA TOWNSHIP LIVINGSTON COUNTY, MICHIGAN



PROJECT LOCATION:
LIVINGSTON COUNTY, MI

KEY MAP
NOT TO SCALE

UTILITY CONTACTS	
GAS	CONSUMER'S ENERGY 101 S. WASHINGTON SQUARE HOWELL, MI 48843 (517) 545-8722
TELEPHONE	AT&T (800) 464-7929
ELECTRIC	DETROIT EDISON 101 S. WASHINGTON SQUARE LANSING, MI 48933 (517) 485-1939
TRANSPORTATION	MDOT MARK SWEENEY 10321 E. GRAND RIVER, SUITE 500 BRIGHTON, MI 48116 (810) 227-4681
TRANSPORTATION (LATSON RD.)	LIVINGSTON COUNTY ROAD COMMISSION 3535 GRAND OAKS DRIVE HOWELL, MI 48843 (517) 546-4250
WATER SERVICE	M.H.O.G WATER AUTHORITY GREG TATARA 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225
SANITARY SEWER	M.H.O.G WATER AUTHORITY GREG TATARA 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225
STORM SEWER	LIVINGSTON COUNTY DRAIN COMMISSIONER 2300 E GRAND RIVER AVE, SUITE 105 HOWELL, MI 48843 (517) 546-0040
SOIL EROSION	LIVINGSTON COUNTY DRAIN COMMISSIONER 2300 E GRAND RIVER AVE, SUITE 105 HOWELL, MI 48843 (517) 546-0040
PLANNING & ZONING	GENOA TOWNSHIP 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225



SHEET INDEX	
GENERAL SHEETS	SHEET NO.
COVER SHEET	C-0.0
EXISTING CONDITIONS SURVEY	C-0.1
DEMOLITION PLAN	C-1.0
SITE PLAN	C-2.0
SITE DETAILS	C-2.1
SITE DETAILS	C-2.2
SITE DETAILS	C-2.3
UTILITY PLAN	C-3.0
WATER DETAILS	C-3.1
SANITARY DETAILS	C-3.2
STORM & MISCELLANEOUS UTILITY DETAILS	C-3.3
GRADING PLAN	C-4.0
DRAINAGE MAP	C-4.1
LANDSCAPE PLAN	C-5.0
LANDSCAPE DETAILS	C-5.1
SITE LIGHTING PLAN	C-6.0
SITE LIGHTING DETAILS	C-6.1
PLANS PREPARED BY OTHERS	SHEET NO.
EXTERIOR ELEVATIONS	A-5.1
EXTERIOR ELEVATIONS	A-5.2
FLOOR PLAN EQUIPMENT	EQ-2.1

LEGAL DESCRIPTION: (ALSO SEE SHEET C-0.1)

LOT 4
4711-05-400-047

PARCEL OR LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST; THENCE SOUTH 87 DEGREES 37 MINUTES 12 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION, 60.02 FEET TO THE WESTERLY RIGHT OF WAY LINE OF LATSON ROAD; THENCE NORTH 00 DEGREES 54 MINUTES 40 SECONDS WEST, ALONG SAID RIGHT OF WAY LINE, 214.95 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 27 MINUTES 00 SECONDS WEST, 215.08 FEET; THENCE NORTH 01 DEGREES 33 MINUTES 24 SECONDS WEST, 71.01 FEET TO A TANGENTIAL CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG SAID CURVE, R= 102.00, DELTA = 62 DEGREES 27 MINUTES 31 SECONDS, A DISTANCE OF 111.19 FEET; THENCE NORTH 64 DEGREES 00 MINUTES 14 SECONDS WEST, 59.21 FEET; THENCE NORTH 25 DEGREES 59 MINUTES 46 SECONDS EAST, 236.98 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND RIVER ROAD; THENCE SOUTH 63 DEGREES 57 MINUTES 17 SECONDS EAST, ALONG SAID RIGHT OF WAY, 233.50 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF LATSON ROAD; THENCE SOUTH 20 DEGREES 31 MINUTES 52 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, 21.17 FEET; THENCE SOUTH 00 DEGREES 54 MINUTES 40 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, 270.75 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 2.03 ACRES, MORE OR LESS.

THE ABOVE LEGAL DESCRIPTION DOES NOT CONSIDER LAND DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) IN 2012, DEED DOCUMENT #2012R-030745

MDOT STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE MDOT STANDARD PLANS.

GENOA TOWNSHIP STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE GENOA TOWNSHIP STANDARD PLANS.

LIVINGSTON COUNTY STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE LIVINGSTON COUNTY STANDARD PLANS.

VICINITY MAP

1"=2000'
HOWELL, T3N, R5E, SECTION 5

PROJECT SITE ADDRESS

3950 E GRAND RIVER AVE.
HOWELL, MICHIGAN 48843

GENOA TOWNSHIP ZONING DISTRICT

NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT

SITE DEVELOPER

JIM BLAIR
RG PROPERTIES, INC.
10050 INNOVATION DR, SUITE 100
DAYTON, OH 45342
(937) 424-3904
jblair@rgproperties.com

ARCHITECT

MATTHEW HINCHCLIFFE
ARCVISION, INC.
1950 CRAIG ROAD, STE. 300
ST. LOUIS, MI 63146
(314) 415-2368
mhinchcliffe@arcv.com

SITE ENGINEER-SURVEYOR

WADE TRIM
CHARLES J. CHRISTY, PE
555 S. SAGINAW STREET, SUITE 201
FLINT, MI 48502
(810) 235-2555
cchristy@wadetrim.com

CONTRACTOR

NOT KNOWN AT THIS TIME

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED: TWP BOARD: APRIL 28, 2015

JOB NO. RGP1001.01F	SHEET C-0.0
-------------------------------	-----------------------



555 South Saginaw Street, Suite 201
Flint, MI 48502
810.235.2555/800.841.0342
FAX: 810.235.4975
www.wadetrim.com

Building relationships on a foundation of excellence

PREPARED UNDER THE SUPERVISION OF:

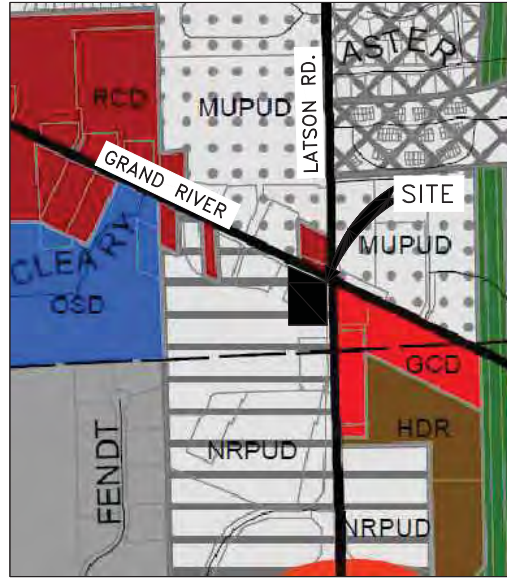


Know what's below.
Call before you dig.

PROJECT MANAGER: C:\PW_WORK\CHRISTY\00564861\GCS-PLTS-COVERSHEET.DWG - C-0.0 - PLOTTED 4/28/2015 12:37 PM BY CHRISTY, CHARLES

© Wade Trim Group, Inc. LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ZONING & LAND USE MAP
NO SCALE



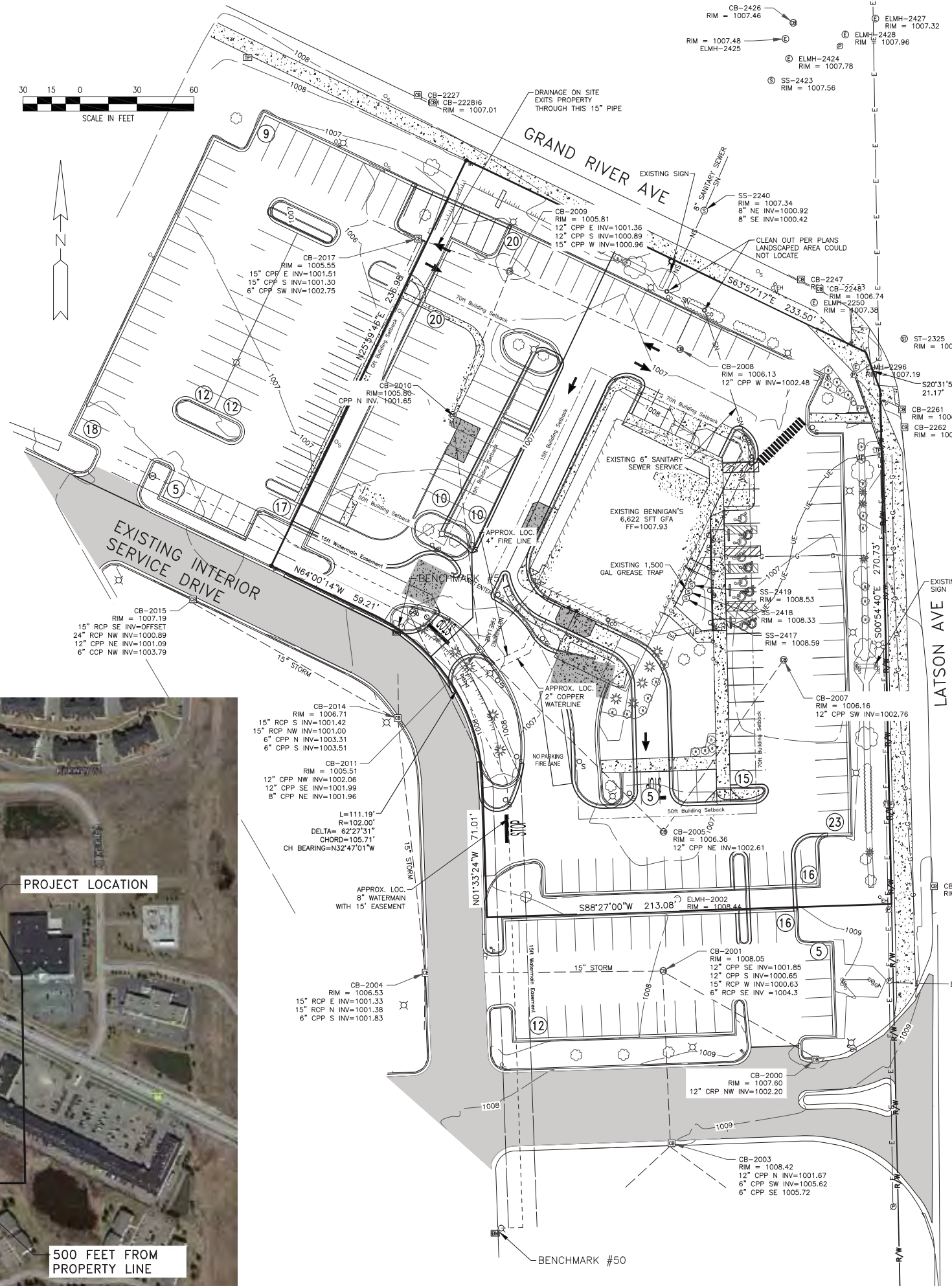
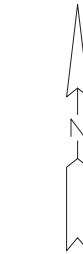
LEGAL DESCRIPTION:

LOT 4
11-05-400-047
SAID PARCEL CONTAIN 2.03 ACRES, MORE OR LESS
(88,427 SFT)
REFER TO PREVIOUS TOPOGRAPHICAL SURVEY COMPLETED FOR
BENNIGAN'S RESTAURANT BY BARTOW & KING ENGINEERS, DATED
JUNE 2003
PARCEL TO BE SPLIT.

SETBACKS:

FRONT 70'
SIDE 15'
REAR 50'

FOR SOILS INFORMATION, REFER TO SHEET C-7.0



EAST 1/4 CORNER
SECTION 5, T2N-R5E
GENOA TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
FOUND IRON IN MON BOX

ELMH-2429
RIM = 1007.03

ST-2325
RIM = 1006.66

ST-2327
RIM = 1007.30

SS-2323
RIM = 1008.70

CB-2315
RIM = 1008.48

ELMH-2002
RIM = 1008.44

CB-2000
RIM = 1007.60

CB-2003
RIM = 1008.42

SOUTHWEST CORNER
SECTION 5, T2N-R5E
GENOA TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN
FOUND IRON IN MON BOX

LEGEND

Table listing symbols for various features: BENCHMARK, LIGHT POLE, UTILITY POLE, GUY ANCHOR, ELECTRIC HANDHOLE, ELECTRIC OUTLET, ELECTRIC MANHOLE, ELECTRIC TRANSFORMER BOX, ELECTRIC METER, TELEPHONE PEDESTAL, MAILBOX, SIGN, POST, GATE VALVE, HYDRANT, STORM MANHOLE, CATCH BASIN, SANITARY MANHOLE, CLEAN OUT, DECIDUOUS TREE, DECIDUOUS BUSH, CONIFEROUS TREE, UNDERGROUND MARKER, OVERHEAD ELECTRIC, BUILDING LINE, FENCE, WALL, PARKING STRIPE, BACK OF CURB, EDGE OF PAVEMENT, GUTTER, TOP OF BANK, EDGE OF LANDSCAPE, STORM LINE, SANITARY SEWER LINE, MINOR CONTOUR, GAS LINE, CONCRETE, ASPHALT.

BENCHMARKS:

BM #50 - 1010.89
ARROW ON TOP OF HYDRANT LOCATED ON THE SOUTHWEST QUADRANT OF THE WAL-MART DRIVE
AND ENTRANCE DRIVE 4500' SOUTH OF THE INTERSECTION OF GRAND RIVER AVE AND LATSON
AVE, ±270 WESTERLY OF LATSON AVE.

BM #51 - 1010.77
ARROW ON TOP OF HYDRANT LOCATED AT THE EASTERLY SIDE OF THE WAL-MART SERVICE DRIVE

SURVEY NOTES

- 1. BEARING ARE BASED ON ALTA SURVEY BY BARTOW & KING ENGINEERS DATED JUNE 2003.
- 2. HORIZONTAL - NAD83 (2011) MICHIGAN STATE PLANE COORDINATES SOUTH ZONE (2113)
VERTICAL - NAVD83 (CORS) GPS DERIVED

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION
AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND
UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR
ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES
SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY
THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE
SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CERTIFICATION

WE, WADE-TRIM, INC., CERTIFY THAT WE PERFORMED THIS SURVEY ON OCTOBER 20, 2014
AND THAT THE DRAWING IS A TRUE AND ACCURATE REPRESENTATION THEREOF.

Kristine N. Saia, PS#58654

AERIAL MAP
NO SCALE



PROJECT LOCATION

500 FEET FROM
PROPERTY LINE

Table with columns: REV#, DATE, DESCRIPTION

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED AND DATED.
WADE-TRIM
10000 W. Grand River Ave., Suite 201
Liveston, MI 48220
810.285.2550 (ext. 1042)
www.wade-trim.com

PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843
EXISTING CONDITIONS SURVEY

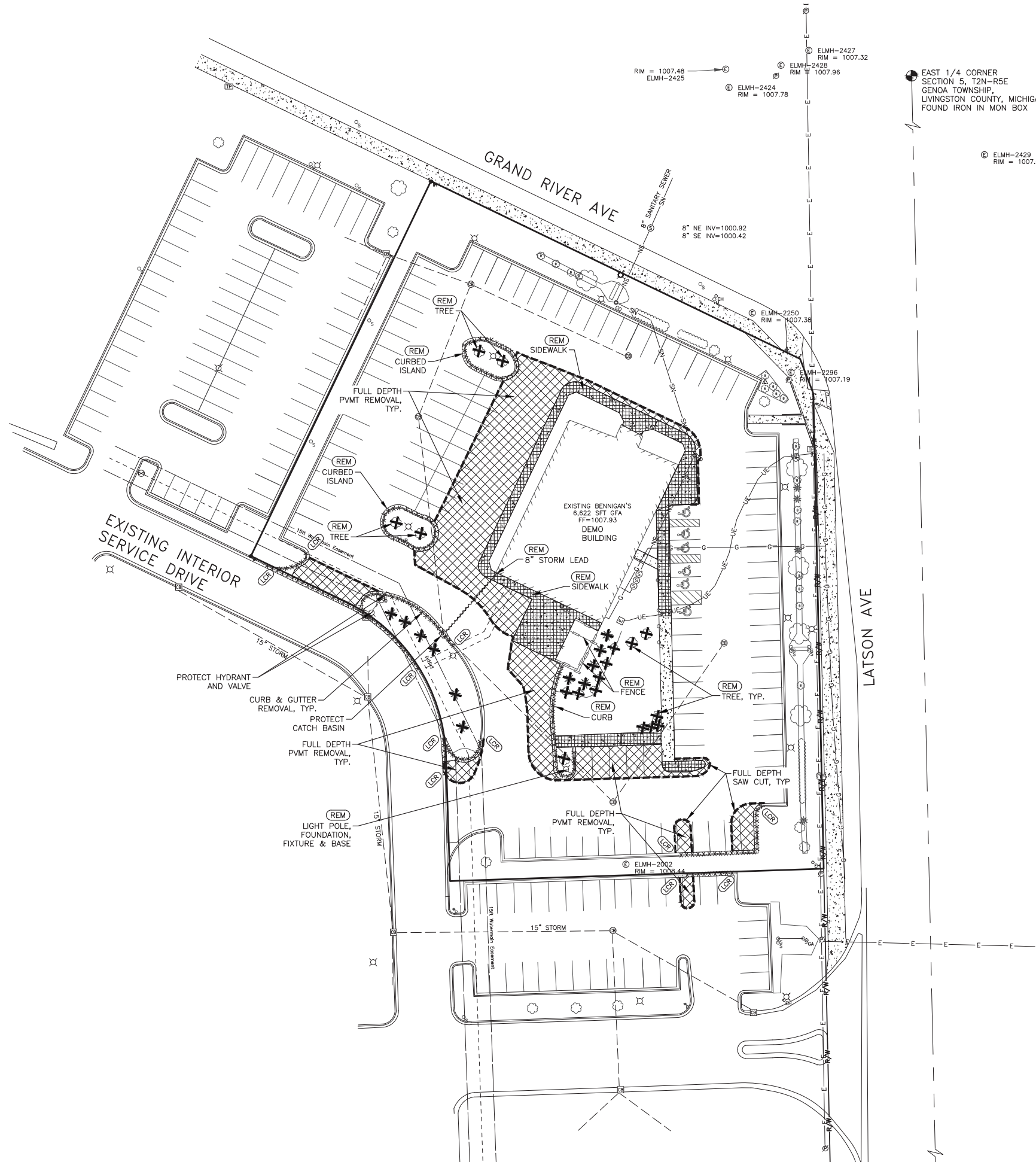
Table with columns: ISSUED FOR, DATE, BY, PC, TWP BOARD

JOB NO.
RGP1001.01F

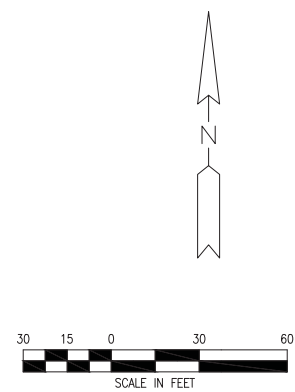
SHEET
C-0.1

PROJECT MANAGER: CHARLES J. CHRISTY, PE
C:\P\WORK\GDAYS\10564861\159-BASE-HOWELL-102414.DWG - C-0.1 - PLOTTED 4/28/2015 4:07 PM BY DAVIS, GREG

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN



EAST 1/4 CORNER
SECTION 5, T2N-R5E
GENOA TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN
FOUND IRON IN MON BOX



LEGEND

- CURB AND GUTTER REMOVAL -XXXXXXXXXXXX-
- LIMITS OF CURB & GUTTER REMOVAL -XXXXXXXXXXXX- (with LCR symbol)
- SAW CUT, FULL DEPTH - - - - -
- FULL-DEPTH ASPHALT REMOVAL [cross-hatched pattern]
- CONCRETE REMOVAL [grid pattern]
- REMOVE ITEM (REM symbol)
- TREE REMOVAL (+ symbol)
- UTILITY REMOVAL [wavy line]

NOTES:

1. CONTRACTOR TO GRIND OFF & REMOVE ALL REMAINING PVMT STRIPING THAT IS NOT PART OF FINAL PLAN
2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR COMPLETENESS OR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO OBTAIN ONSITE LOCATIONS OF EXISTING UTILITIES
3. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER A BUILDING
4. CONTRACTOR TO COORDINATE TEMPORARY DISCONNECTS OF ELECTRIC SERVICE, ELECTRIC TRANSFORMER, COMMUNICATION LINES TO BUILDING, GAS METER & SERVICE, & WATER SERVICES
5. CONTRACTOR SHALL PROTECT IMPROVEMENTS TO REMAIN
6. DAMAGE THAT OCCURS TO ALL EXISTING SITE IMPROVEMENTS INTENDED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. ALL MATERIAL TO BE DISPOSED OF OFF SITE IN ACCORDANCE W/ STATE & FEDERAL REGULATIONS
8. ALL DEMOLISHED MATERIALS ARE PROPERTY OF THE CONTRACTOR
9. EXISTING 2 INCH WATER SERVICE AND 4 INCH FIRE SERVICE TO EXISTING BUILDING SHALL BE PROTECTED.

PROJECT MANAGER: CHARLES J. CHRISTY, PE
C:\PW\WORK\CHRISTY\056486\1\PL-1\SP-DEMOLITION PLAN.DWG - C-1.0 - PLOTTED 4/28/2015 4:41 PM BY CHRISTY, CHARLES

REV#	DATE	DESCRIPTION	BY

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100 South Sibley Street, Suite 201
Howell, MI 48842
810.285.0580/841.0342
www.wadetrिम.com

PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843

DEMOLITION PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR:	DATE:	BY:
PC	3/26/15	C.J.C.
PC	4/20/15	C.J.C.
TWP BOARD	4/28/15	C.J.C.

JOB NO.
RGP1001.01F

SHEET
06-1.0

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PARKING REQUIREMENTS

Table with 3 columns: TYPE, CALCULATION, NO. OF SPACES. Rows include DRIVE THROUGH RESTAURANT, ON-SITE SPACES AVAILABLE, A.D.A SPACES, and ON SITE.

** PER REA AGREEMENT WITH WAL-MART AND HOME DEPOT, OWNER MAY SHARE PARKING BETWEEN USES/LOTS, REFER TO R.E.A.

SITE DATA TABLE

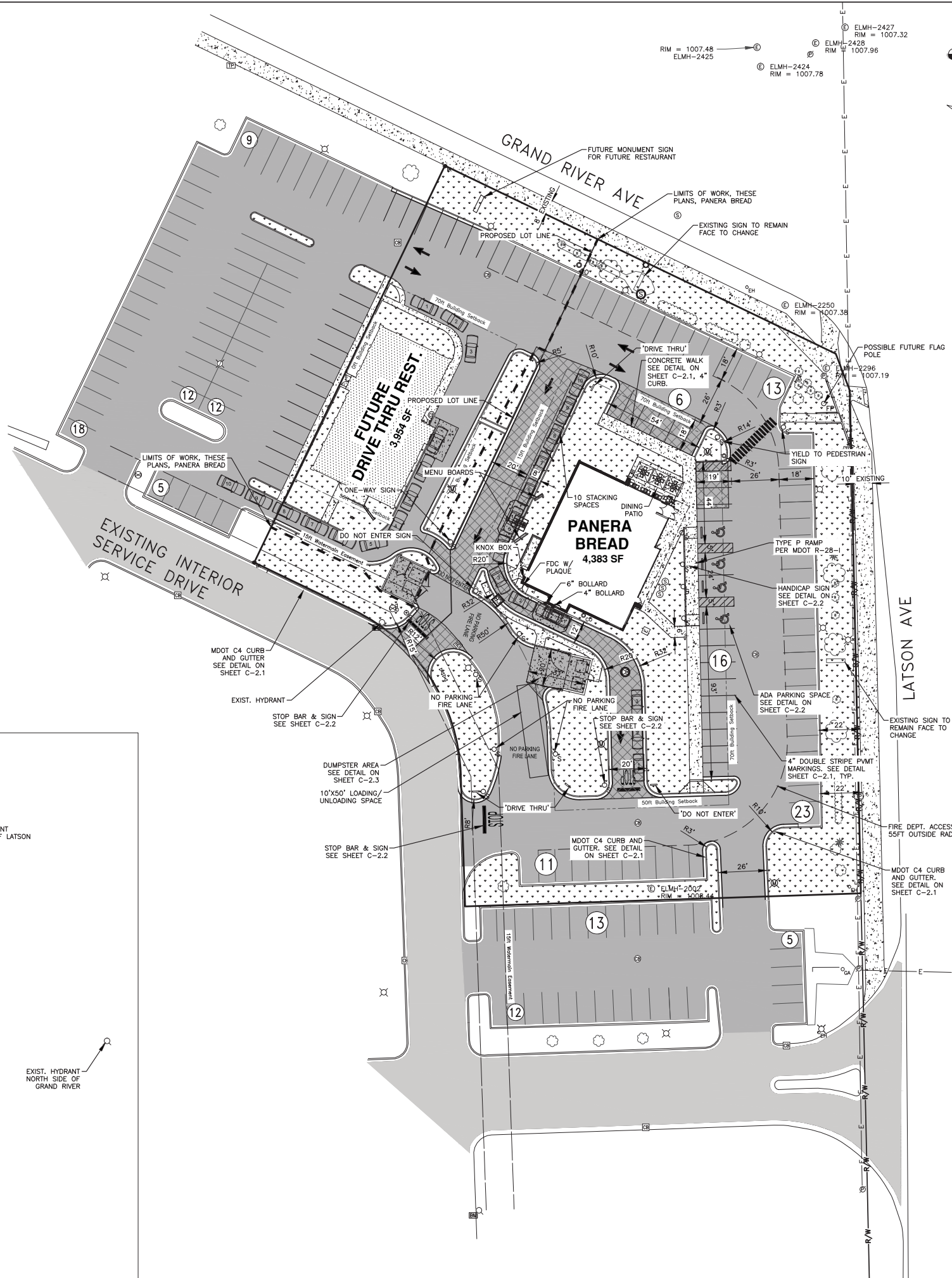
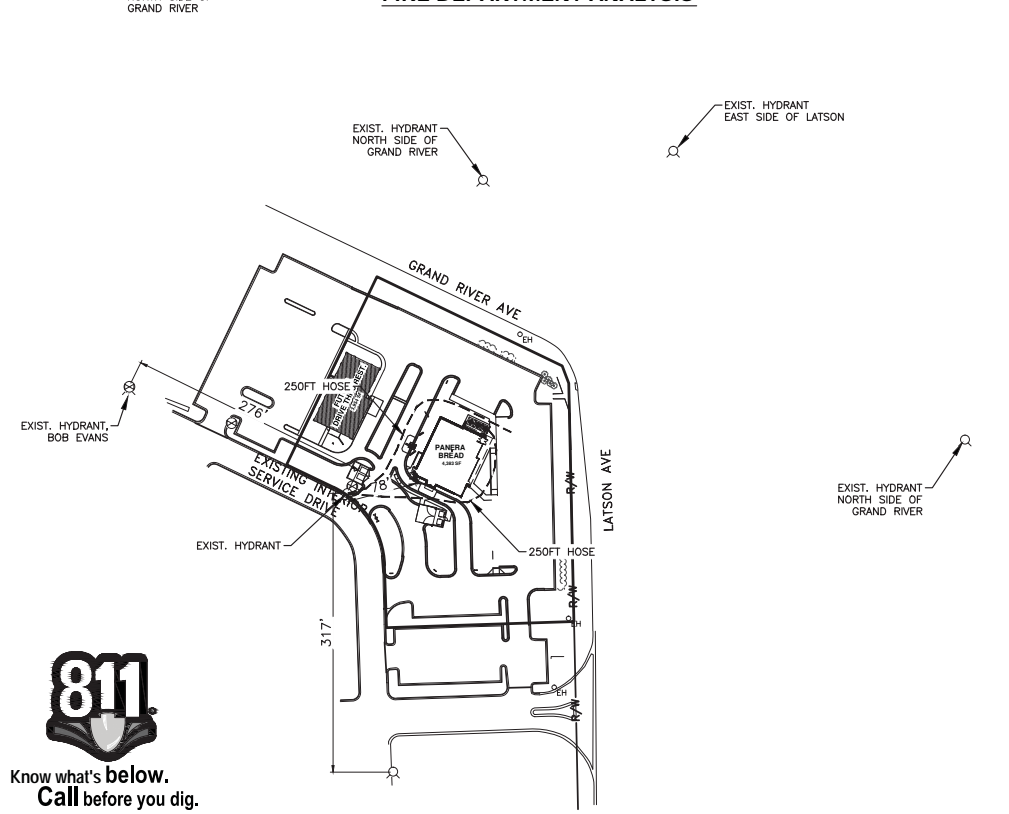
NOTE: INFORMATION BELOW IS PROVIDED FOR THE PROPOSED PROPERTY BOUNDARY AS INDICATED ON THIS PLAN SHEET.

Table with 2 columns: EXISTING ZONING, PROPOSED USE, BUILDING AREA, PROPOSED LOT AREA, BUILDING COVERAGE, PROPOSED IMPERVIOUS COVERAGE.

FIRE FLOW REQUIREMENTS

SPRINKLER DEMAND PER PANERA BREAD FOR SIMILAR BUILDING AND CONSTRUCTION TYPE = 220± GPM. BUILDING TYPE V-B, 4,383 SFT, FULLY AUTOMATIC SPRINKLER SYSTEM, CLASS I RISER.

FIRE DEPARTMENT ANALYSIS



LEGEND

- Legend items: PARKING COUNT, TRAFFIC FLOW ARROW, SIGN AND SIGN POST, ACCESSIBLE SYMBOL, CANOPY LIMITS, CURB AND GUTTER, BUILDING SETBACK, PAVEMENT TYPES, LANDSCAPED AREA, EXISTING ASPHALT SURFACE.

SITE PLAN NOTES

- Notes 1-18 detailing construction requirements, materials, and standards for the project.

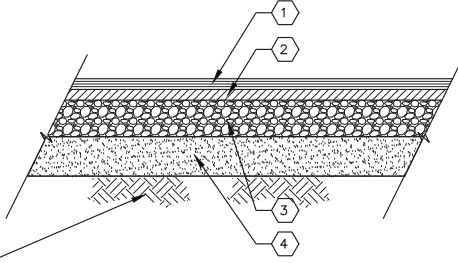
Project information including title 'PANERA BREAD 3950 E. GRAND RIVER HOWELL, MICHIGAN 48843', site plan details, and contact information for WadeTrim.



PROJECT MANAGER: CHARLES J. CHRISTY, PE. CIVIL WORKS CORP. 10546461 VPI-CSP-SITE PLAN-DWG - C-2.0 - PLOTTED 4/28/2015 4:44 PM BY CHRISTY, CHARLES

SPECIFICATIONS		
PAVEMENT SECTION		
ITEM	THICKNESS	MATERIAL
1	2"	MDOT 4C
2	2"	MDOT 3C
3	8"	MDOT 21AA AGGREGATE
4	12"	MDOT CLASS II GRANULAR MATERIAL

PREPARATION, COMPACTION & TESTING OF SUBBASE, BASE, AND HMA SHALL BE PER MDOT SPECIFICATIONS.

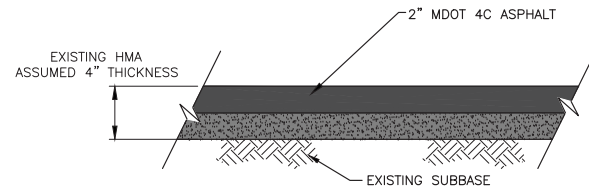


REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL. SHAPE, COMPACT, AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE BASE.

HOT MIX ASPHALT (HMA) APPLICATION TABLE				
ITEM	DEPTH (IN)	RATE (LB/SYD)	PERFORMANCE GRADE	REMARKS
HMA, MDOT 4C	2	220	64-28	PLACED AND ROLLED TO MEET MDOT STANDARDS. SHALL BE INSPECTED AND TESTED PER MDOT STANDARDS
HMA, MDOT 3C	2	220	64-28	PLACED AND ROLLED TO MEET MDOT STANDARDS. SHALL BE INSPECTED AND TESTED PER MDOT STANDARDS

HMA BOND COAT SS-1H, 0.05 TO 0.15 GAL/SYD BETWEEN PROPOSED HMA LIFTS. THE AGGREGATE WEAR INDEX FOR ALL TOP COURSES SHALL BE AWI = 260 MINIMUM.

FULL DEPTH ASPHALT PAVEMENT SECTION FOR PARKING LOT
NO SCALE

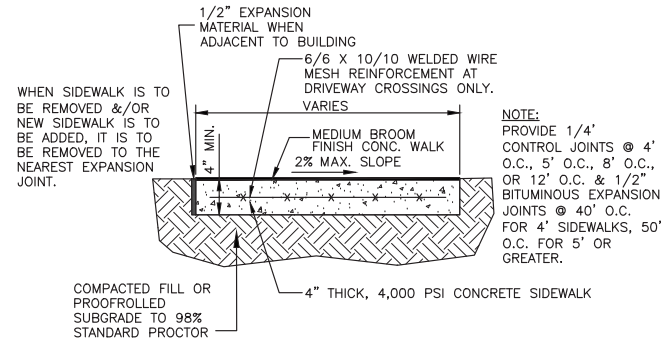


MILL & FILL ASPHALT SECTION
NO SCALE

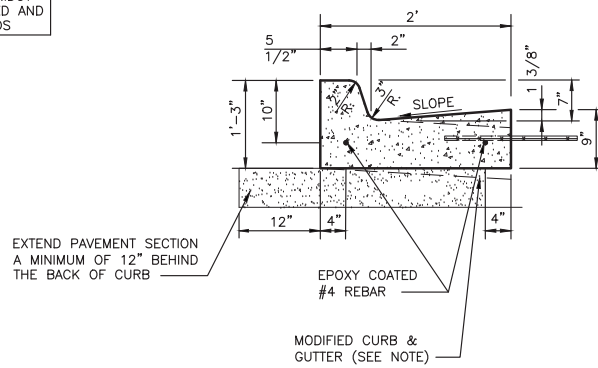
- PAVEMENT SHALL BE MILLED TO THE LINES AND GRADES AS SHOWN ON THE PLANS.
- IMMEDIATELY AFTER MILLING, CONTRACTOR SHALL CLEAN THE MILLED SURFACE.
- CONTRACTOR IS RESPONSIBLE TO DISPOSE OF RESULTING DEBRIS/MILLINGS

BITUMINOUS MIXTURE SPECIFIED ON THE PLANS, WHEN TESTED AT OPTIMUM ASPHALT CONTENT (DETERMINED IN ACCORDANCE WITH MDOT PROCEDURES MANUAL FOR MIX DESIGN PROCESSING), SHALL MEET THE REQUIREMENTS FOR STABILITY, FLOW, VOIDS IN MINERAL AGGREGATE (VMA), AIR VOIDS, FINES/BINDER RATIO, FINE AGGREGATE ANGULARITY, L.A. ABRASION LOSS, AND SOFT PARTICLES AS SPECIFIED IN MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F))

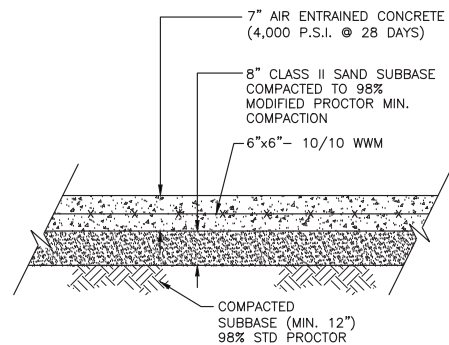
AGGREGATE MIXTURES FAILING TO MEET THE REQUIREMENTS SPECIFIED IN MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F)) WILL BE REJECTED AND THE CONTRACTOR WILL BE REQUIRED TO SUBMIT ADDITIONAL SAMPLES OF BITUMINOUS MIXTURES UNTIL A COMBINATION OF MATERIAL IS FOUND WHICH WILL PRODUCE A MIXTURE MEETING THE REQUIREMENTS OF MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F))



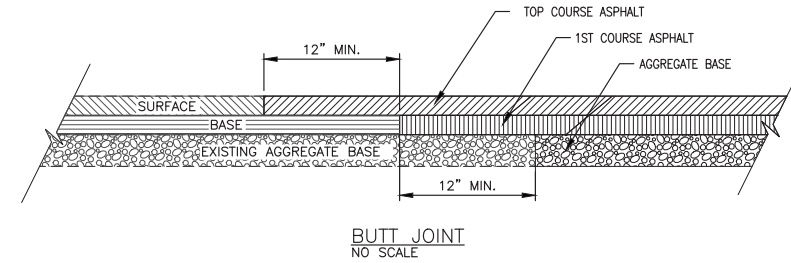
STANDARD SIDEWALK DETAIL
NO SCALE



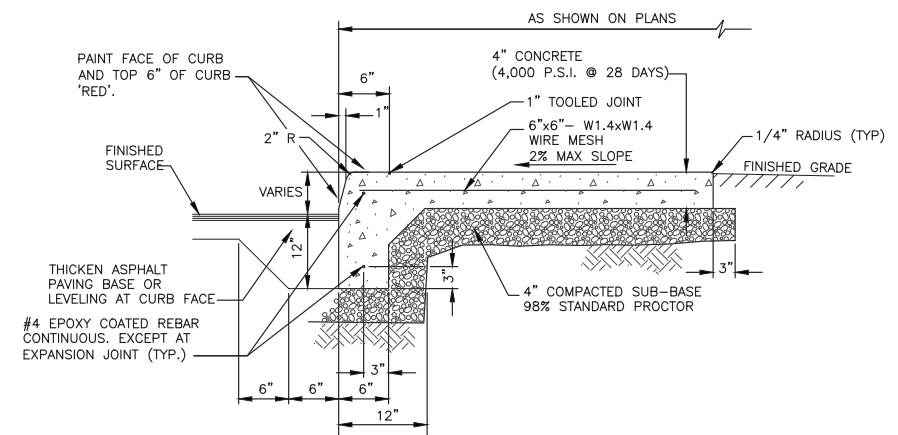
M.D.O.T. C-4 CURB & GUTTER DETAIL
NO SCALE



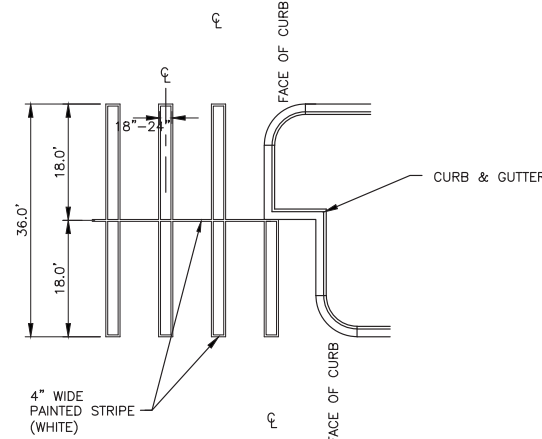
7" - HEAVY DUTY CONCRETE SURFACE @ DUMPSTERS
NO SCALE



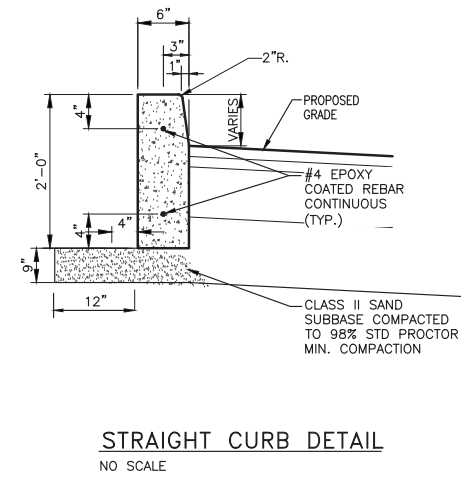
BUTT JOINT
NO SCALE



CONCRETE WALK W/THICKENED EDGE
NO SCALE



90° PARKING STRIPING DETAIL
NO SCALE



STRAIGHT CURB DETAIL
NO SCALE

PROJECT MANAGER: CHARLES J. CHRISTY, PE
CLPW: MORGAN DAVIS, VLS564861, VLS1-CSP-SITE PLANNING - C-2.1 - FIELD BOOK INFORMATION
FIELD BOOK INFORMATION - C-2.1 - PLOTTED 4/28/2015 3:45 PM BY: DAVIS, GREG

REV#	DATE	DESCRIPTION

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED:

WADETRIM
1000 South Willow Street, Suite 201
P.O. Box 48802
Liveston, Michigan 48150
810.285.2550/800.841.0342
www.wadetrिम.com

PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843

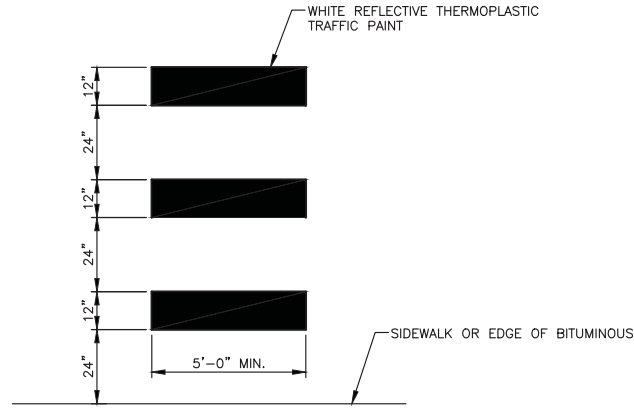
SITE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

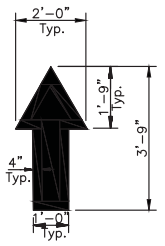
ISSUED FOR: DATE: BY:
PC 3/26/15 C.J.C.
PC 4/20/15 C.J.C.
TWP BOARD 4/28/15 C.J.C.

JOB NO.
RGP1001.01F

SHEET
C-2.1

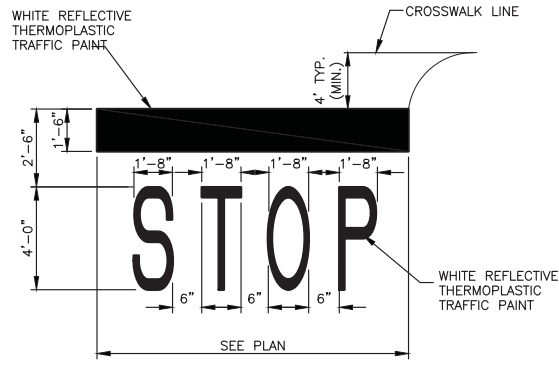


CROSSWALK DETAIL
NO SCALE

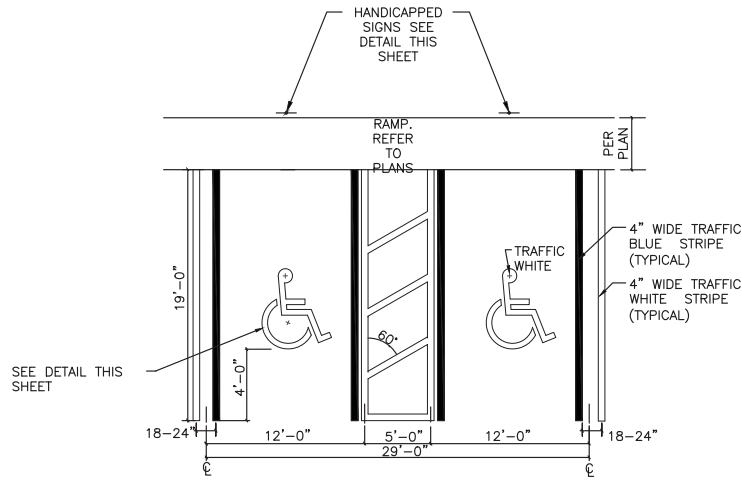


NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER MDOT SPECS.

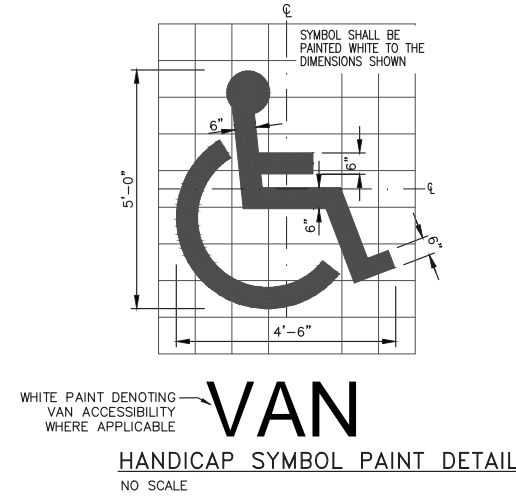
TRAFFIC FLOW ARROW
NO SCALE



STOP & STOP BAR PAINTING DETAIL
NO SCALE

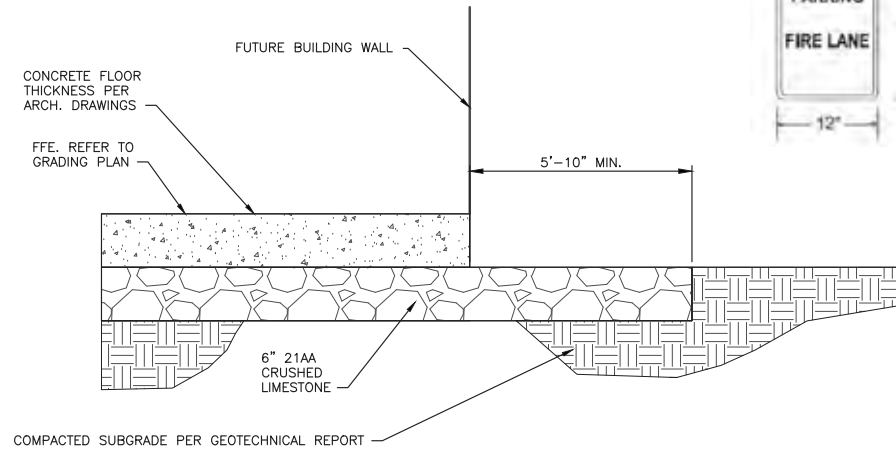


TYPICAL DOUBLE HANDICAPPED STALL
NO SCALE

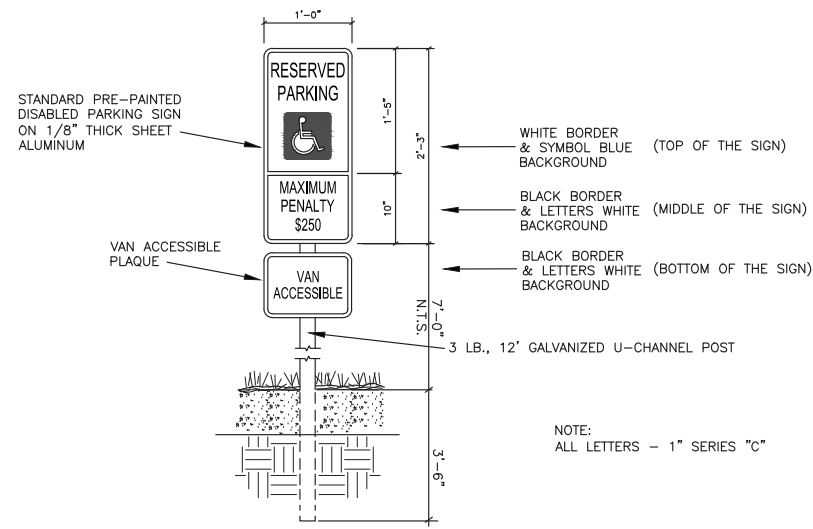


VAN
HANDICAP SYMBOL PAINT DETAIL
NO SCALE

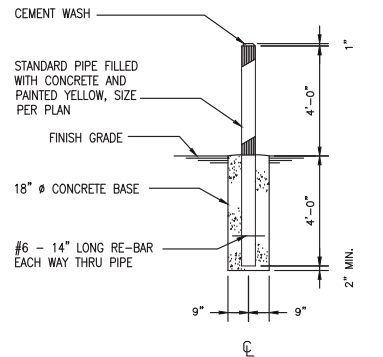
SIGN LEGEND



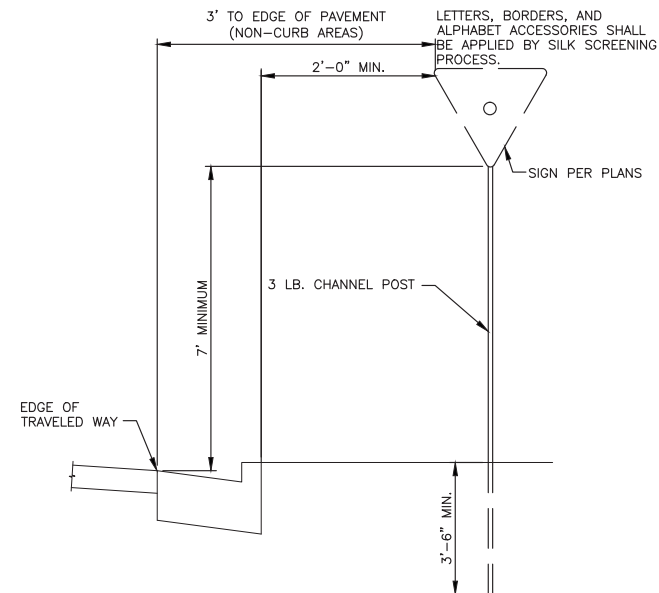
BUILDING PAD PREPARATION DETAIL
NO SCALE



TYPICAL HANDICAPPED USIGN DETAIL
NO SCALE



TYPICAL GUARD POST DETAIL
NO SCALE



TYPICAL CURB & GUTTER SECTION SIGN DETAIL
NO SCALE

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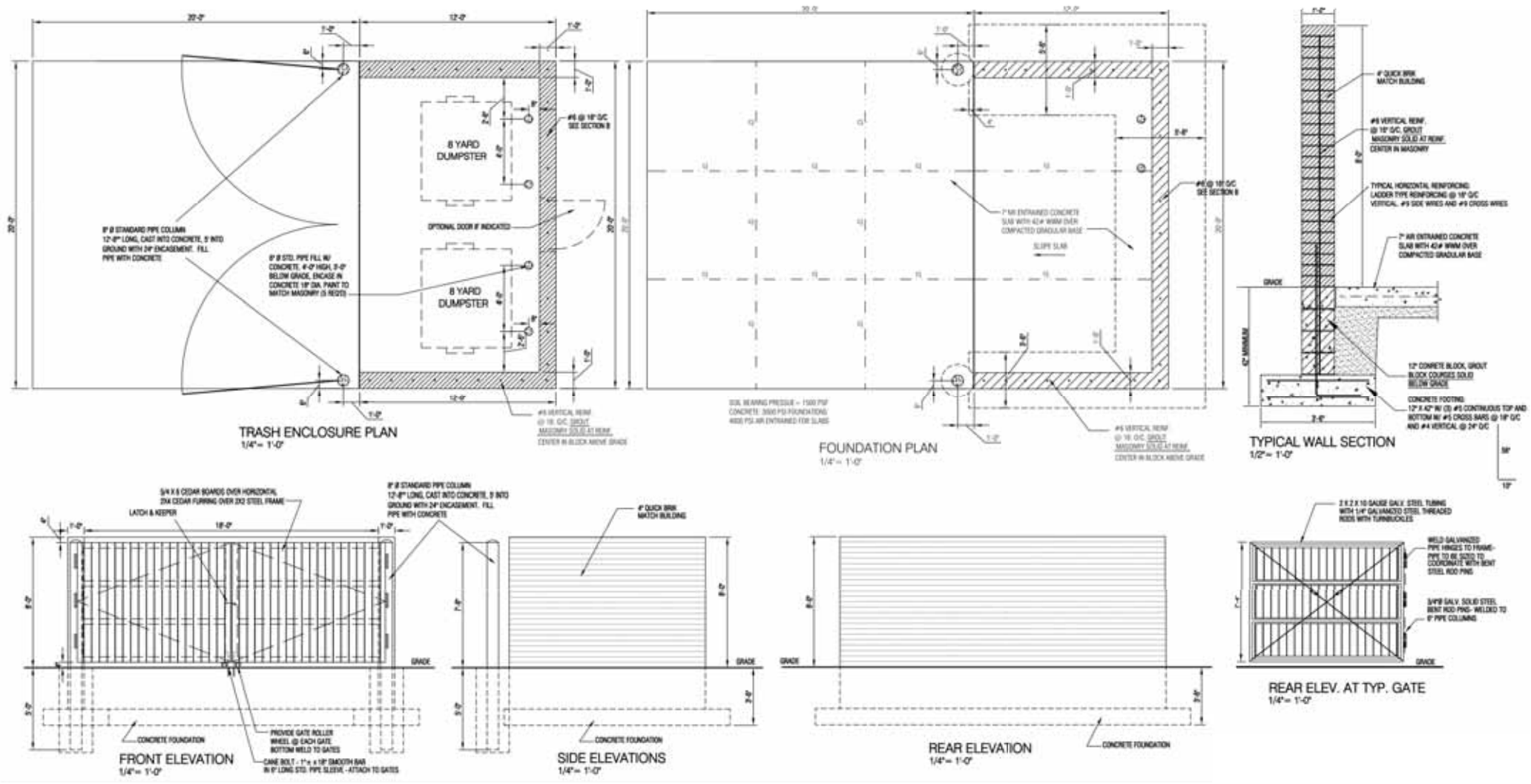
PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843

SITE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR:	DATE:	BY:
PC	3/26/15	C.J.C.
PC	4/20/15	C.J.C.
TWP BOARD	4/28/15	C.J.C.
JOB NO.	RGP1001.01F	
SHEET	2.2	

PROJECT MANAGER: CHARLES J. CHRISTY, P.E. FIELD BOOK INFORMATION: C:\PW_MWORK\GDWIS\10564881\PL-ESP-SITE PLANNING - C-2.3 - PLOTTED 4/28/2015 3:46 PM BY: DAVIS, GREG



DUMPSTER ENCLOSURE DETAILS
NO SCALE

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**PANERA BREAD
 3950 E. GRAND RIVER
 HOWELL, MICHIGAN 48843**

SITE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

REV#	DATE	DESCRIPTION

ISSUED FOR: DATE: BY:

PC 3/26/15 C.J.C.

PC 4/20/15 C.J.C.

TWP BOARD 4/28/15 C.J.C.

JOB NO. RGP1001.01F

SHEET 2.3

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STORM STRUCTURES			
	RIM ELEV.	INV	COVER
CB-2011	1005.67	MATCH EXIST.	FLAT, RADIAL GRATE, EJW #1040 Z / 1040 M3
CB #3	1007.29	1002.24	CURB INLET
CB #4	1006.83	1002.61	FLAT, RADIAL GRATE, EJW #1040 Z / 1040 M3

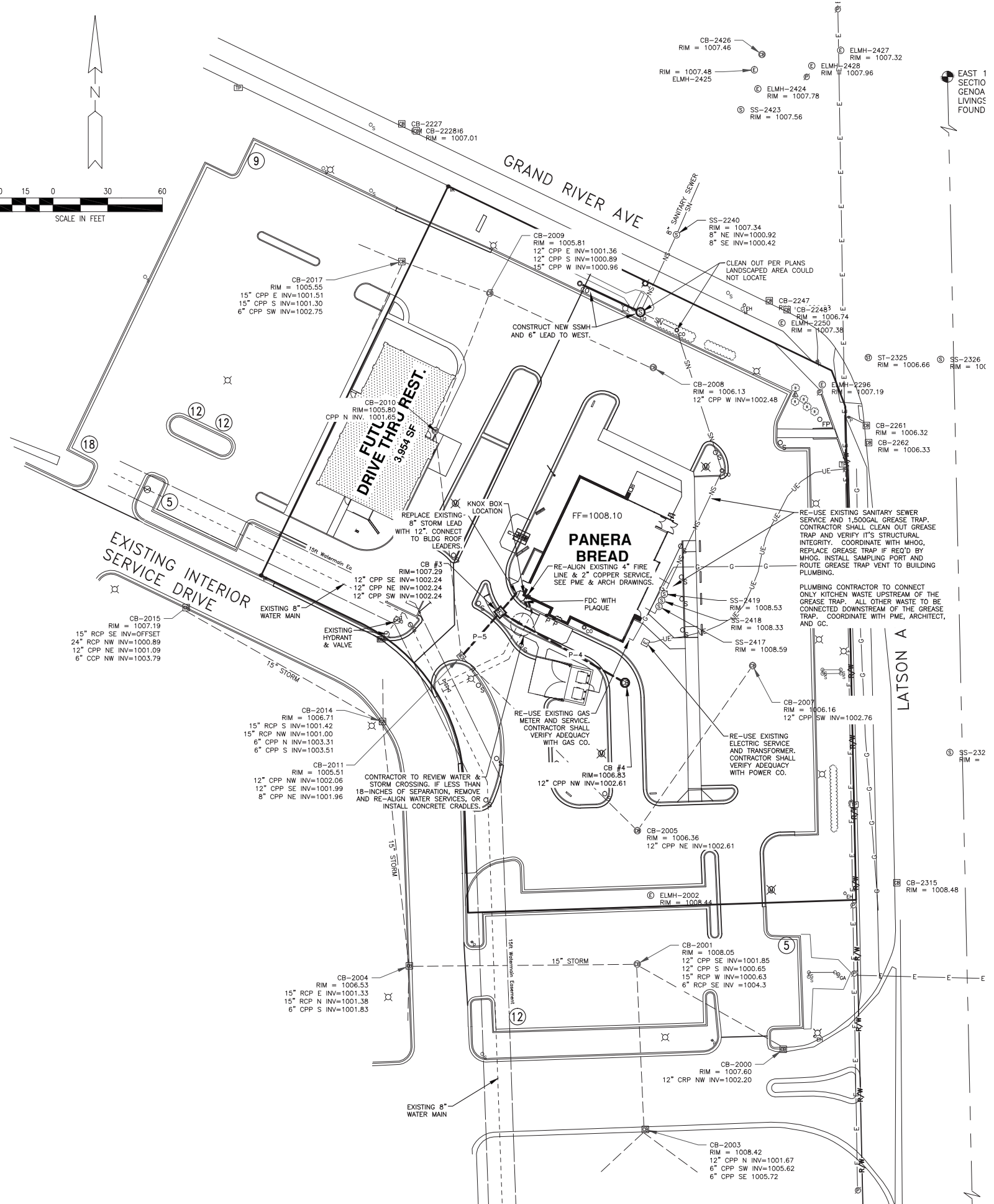
STORM PIPING						
PIPE	FROM	TO	LENGTH	SLOPE	MATERIAL	SIZE
P-4	CB #3	CB #4	74	0.50%	ADS-N12	12"
P-5	CB-2011	BLDG	44	1.00%	ADS-N12	12"

LEGEND

- STORM SEWER
- CATCH BASIN
- STORM SEWER MANHOLE
- SANITARY SEWER
- SANITARY CLEAN OUT
- SANITARY MANHOLE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- FIRE DEPARTMENT CONNECTION
- SHUT OFF VALVE
- EXISTING WATER MAIN
- EXISTING HYDRANT
- EXISTING SHUT OFF VALVE
- EXISTING GATE VALVE & BOX
- EXISTING SANITARY CLEAN OUT
- EXISTING SANITARY SEWER
- EXISTING GAS



- CHECK VALVE SHALL BE INSTALLED ON 2" AND 4" WATER LINES INSIDE BUILDING.
- CONTRACTOR SHALL LOCATE EXISTING 4" GATE VALVE ON EXISTING 4" FIRE LINE AND RAISE TO GRADE. IF 4" GATE VALVE CANNOT BE LOCATED OR IS NOT PRESENT, CONTRACTOR SHALL INSTALL 4" GATE VALVE ON EXISTING 4" FIRE LINE WITHIN THE EXISTING WATER MAIN EASEMENT.
- WHEN AND IF NEW FIRE LINE IS INSTALLED AS PART OF THIS PROJECT, THE FIRE LINE SHALL BE D.I., CL 52 AND WRAPPED WITH POLYETHYLENE.
- CONTRACTOR SHALL RE-USE EXISTING SERVICES FOR NEW BUILDING, UNLESS NOTED OTHERWISE. THIS INCLUDES CAREFUL DEMOLITION AND TEMPORARY 'CAPS', EXTENDING THEM TO WITHIN 5 FEET OF THE BUILDING, AND MAKING MINOR ADJUSTMENTS TO ALIGN THEM WITH PROPOSED BUILDING UTILITIES.
- CONTRACTOR SHALL EXTEND POTABLE AND FIRE WATER SERVICES INTO THE BUILDING FOOT PRINT AS INDICATED ON SHEET C-3.3 AND HYDROSTATICALLY TEST ENTIRE SERVICE AGAINST VALVES AT 8-INCH WATER MAIN ALONG INTERIOR SERVICE DRIVE.



PROJECT MANAGER: CHARLES J. CHRISTY, PE
 CIVIL WORK: CHRISTY00564861\PL1-CJP-UTILITY PLANNING - C-3.0 - PLOTTED 4/28/2015 4:46 PM BY: CHRISTY, CHARLES

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PANERA BREAD
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 HOWELL, MICHIGAN 48843

UTILITY PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:
 PC 3/26/15 C.J.C.
 PC 4/20/15 C.J.C.
 TWP BOARD 4/28/15 C.J.C.

JOB NO. RGP1001.01F
 SHEET 91-3.0

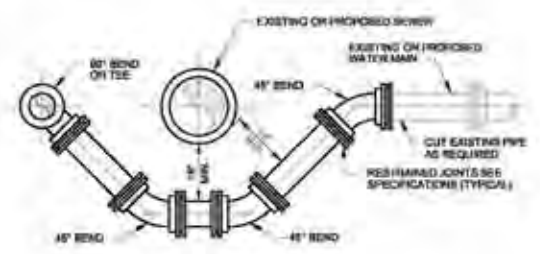
PROJECT MANAGER: CHARLES J. CHRISTY, PE
 CIVIL WORK (DAYS) 05564681 VPL-COP-UTILITY PLANNING - C-3.1 - PLOTTED 4/28/2015 3:48 PM BY DAVIS, DREG

PIPE RESTRAINT SCHEDULE

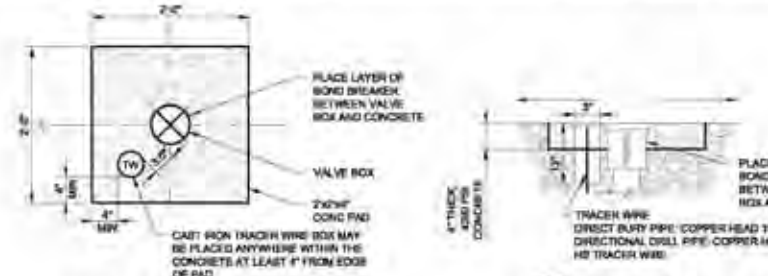
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
6	13	5	3	1	10	-	-
8	18	8	5	2	18	31	-
9	24	10	5	2	25	30	75
12	34	14	7	3	37	37	118
18	43	18	9	4	59	39	137
20	52	22	10	5	69	39	154
24	61	25	12	6	99	40	152
30	73	30	15	7	142	40	168
36	84	35	17	8	201	41	189

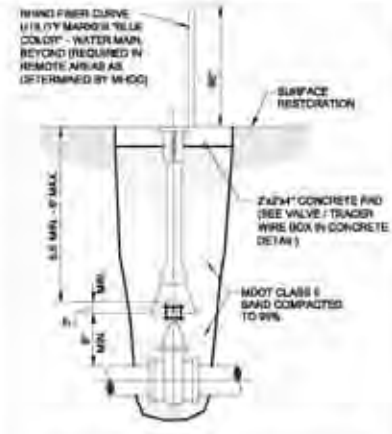
- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER, FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY).
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF THE ROADS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
 - SIZE RESTRAINT IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON:
- INTERNAL PRESSURE: 180
 - PIPE DEPTH: 5'
 - BEDDING CLASS: TYPE 4
 - SOIL TYPE: GOOD SAND
 - SAFETY FACTOR: 2



WATER MAIN UTILITY OFFSET

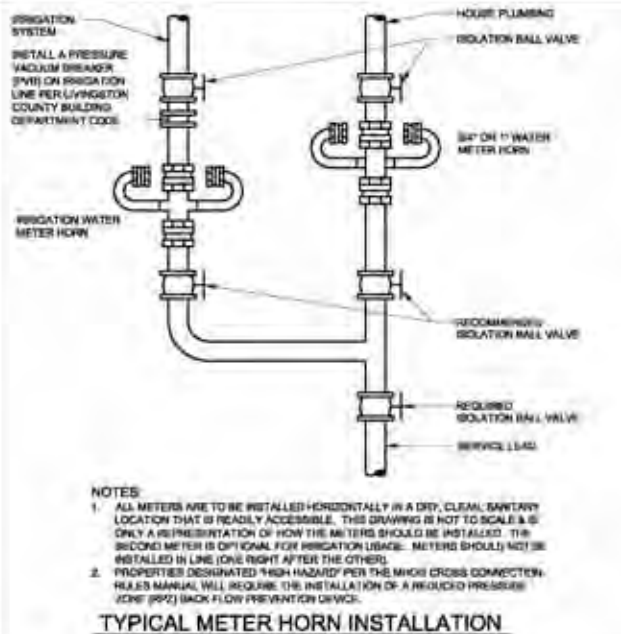
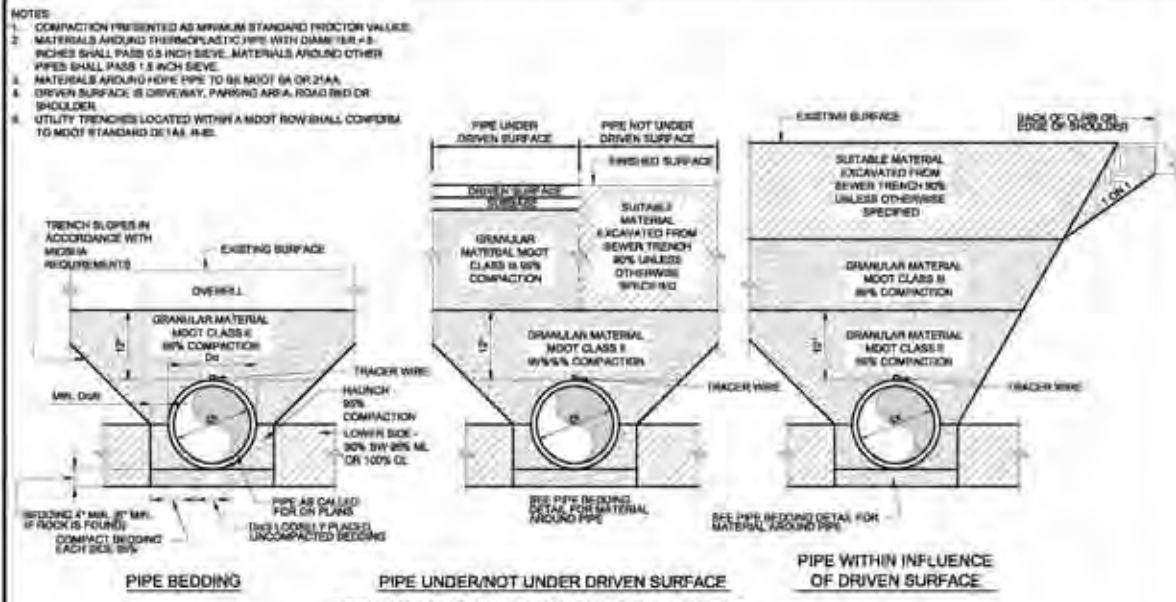


VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE



GATE VALVE AND BOX

NOTES:
 1. VALVE BOX SHALL NOT REST ON VALVE OR MAIN LINE PIPE.
 2. A VALVE STEM EXTENSION WITH CENTERING RING IS REQUIRED FOR VALVES BURIED DEEPER THAN 6'



MARION HOWELL OCEOLA GENOA
 Sewer and Water Authority

Scale: NONE
 Issue Date: JANUARY 2014

WATER MAIN STANDARD DETAILS

PANERA BREAD
 3950 E. GRAND RIVER
 HOWELL, MICHIGAN 48843

WATER DETAILS

ISSUED FOR: DATE: BY:
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 PC 4/20/15 C.C.
 TWP BOARD 4/28/15 C.C.

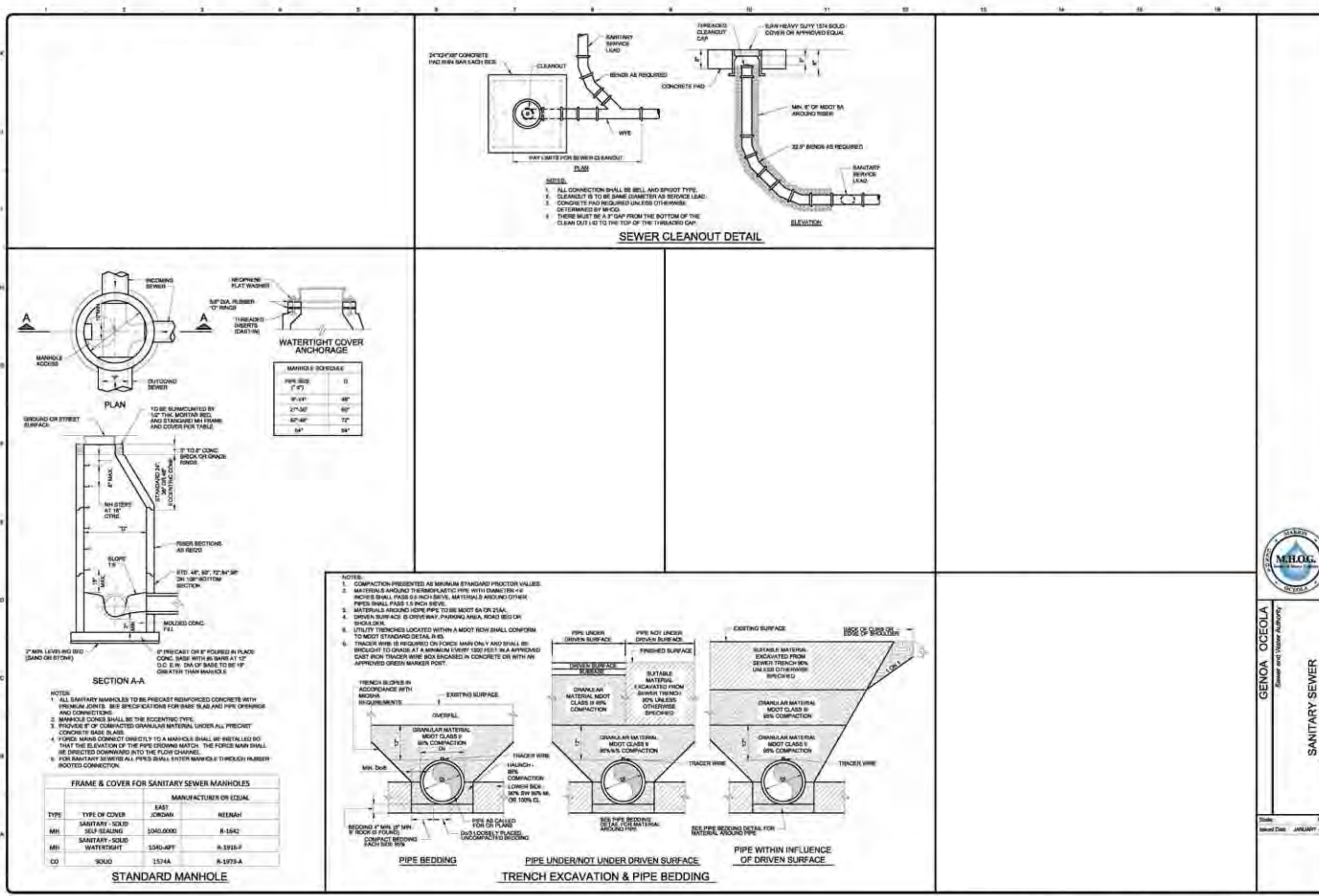
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SHEET 3.1

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PROJECT MANAGER: CHARLES J. CHRISTY, PE
 FIELD BOOK INFORMATION:
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GENOA OCEOLA
 Sewer and Water Authority

M.H.O.G.
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PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843

SANITARY DETAILS

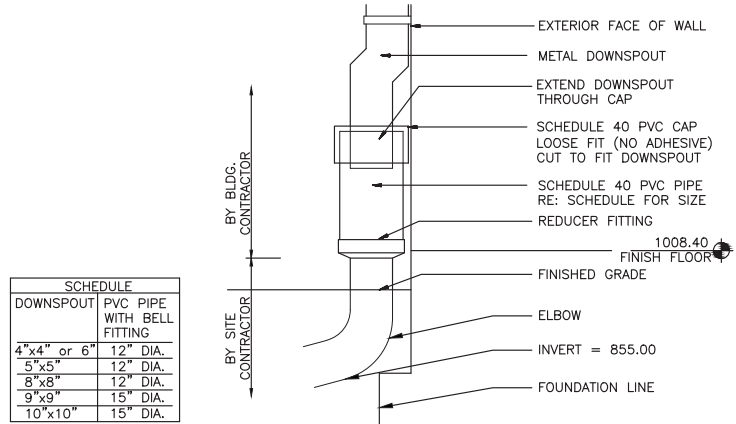
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:
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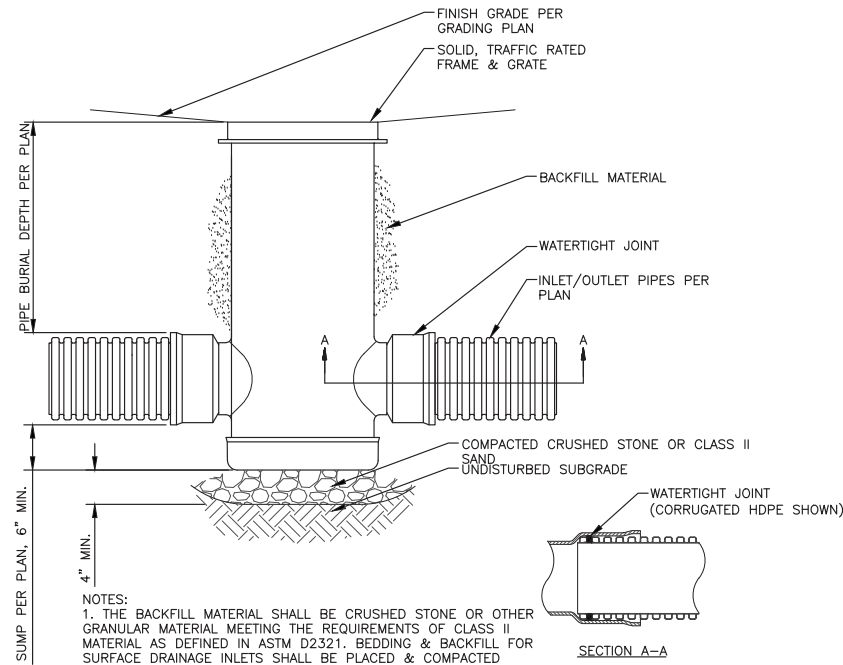
SHEET 03-3.2

REV# DATE DESCRIPTION



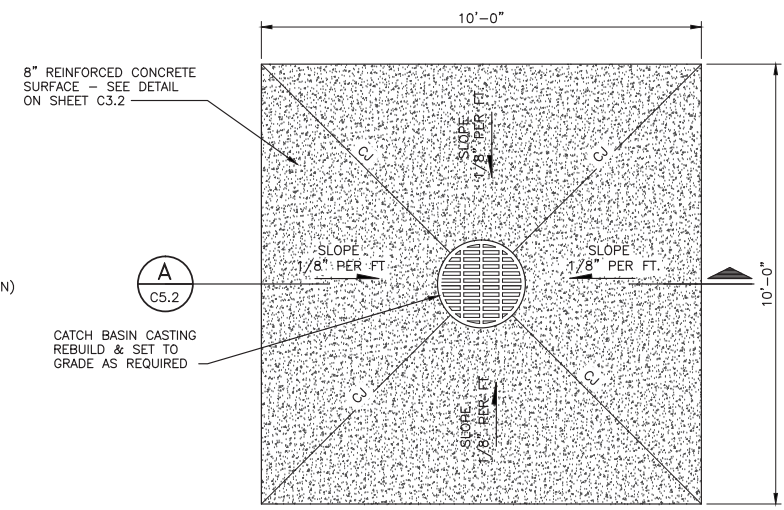
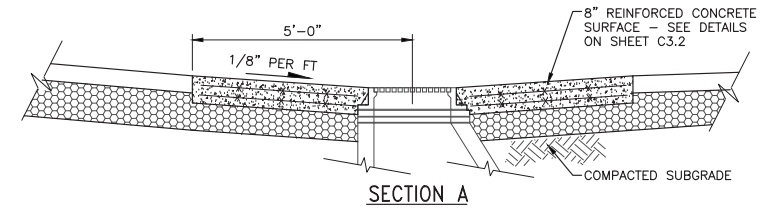
SCHEDULE	PVC PIPE WITH BELL FITTING
4"x4" or 6"	12" DIA.
5"x5"	12" DIA.
8"x8"	12" DIA.
9"x9"	15" DIA.
10"x10"	15" DIA.

DOWNSPOUT CONNECTION DETAIL
NO SCALE



NOTES:
1. THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321. COMPACTED NATIVE MATERIAL MAY BE USED AROUND THE CATCH BASIN ABOVE THE INLET/OUTLET PIPES IF THE MATERIAL IS SUITABLE.
2. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS

18"-24" NYLOPLAST JUNCTION, I.L #1-#4
NO SCALE



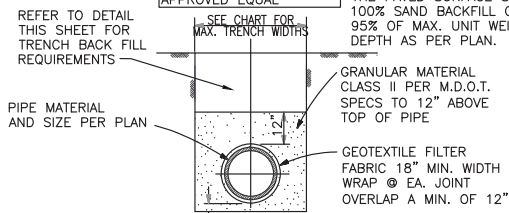
CONCRETE COLLAR DETAIL
NO SCALE

NOTE: CONCRETE COLLAR TO BE PLACED AT ALL INLET CASTINGS WHERE NEW OR OVERLAID ASPHALT IS PLACED.

TRENCH WIDTHS
MAX WIDTH OF TRENCH 12" ABOVE TOP OF PIPE
6" THRU 12" PIPE - 30" WIDE
15" THRU 36" PIPE - O.D. + 16"
42" THRU 60" PIPE - O.D. + 20"
OVER 60" PIPE - O.D. + 24"

NOTE: GEOTEXTILE FILTER FABRIC TO BE MIRAFI "140N" OR APPROVED EQUAL

NOTE: ALL PIPE THAT RUNS BENEATH THE PAVED SURFACE SHALL RECEIVE 100% SAND BACKFILL COMPACTED TO 95% OF MAX. UNIT WEIGHT TO A DEPTH AS PER PLAN.

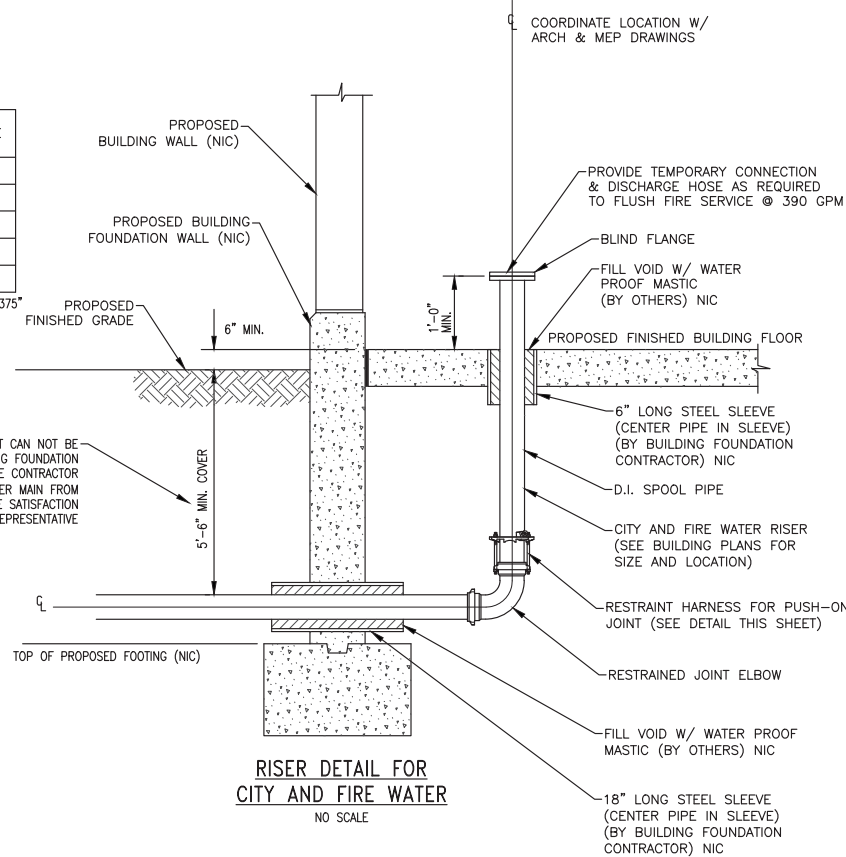


STORM SEWER BEDDING DETAIL
NO SCALE

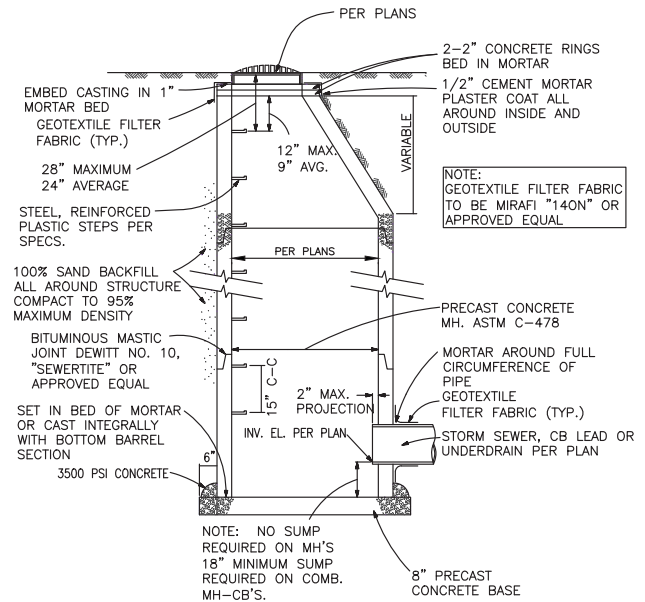
D.I. PIPE (DIA.)	STEEL SLEEVE (DIA.)*
4"	8"
6"	10"
8"	12"
10"	14"
12"	16"

* WALL THICKNESS 0.375"

IF THE MINIMUM COVER OF 5.5 FT CAN NOT BE ATTAINED DUE TO THE BUILDING FOUNDATION DESIGN CONSTRAINTS, THEN THE CONTRACTOR SHALL PROTECT/INSULATE THE WATER MAIN FROM FREEZING. THIS SHALL BE TO THE SATISFACTION OF THE OWNERS CONSTRUCTION REPRESENTATIVE



RISER DETAIL FOR CITY AND FIRE WATER
NO SCALE



STORM MANHOLE AND MANHOLE-CATCHBASIN COMBINATION DETAIL
NO SCALE

PROJECT MANAGER: CHARLES J. CHRISTY, PE
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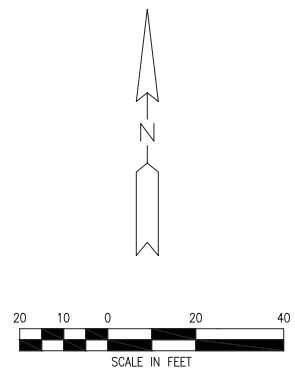
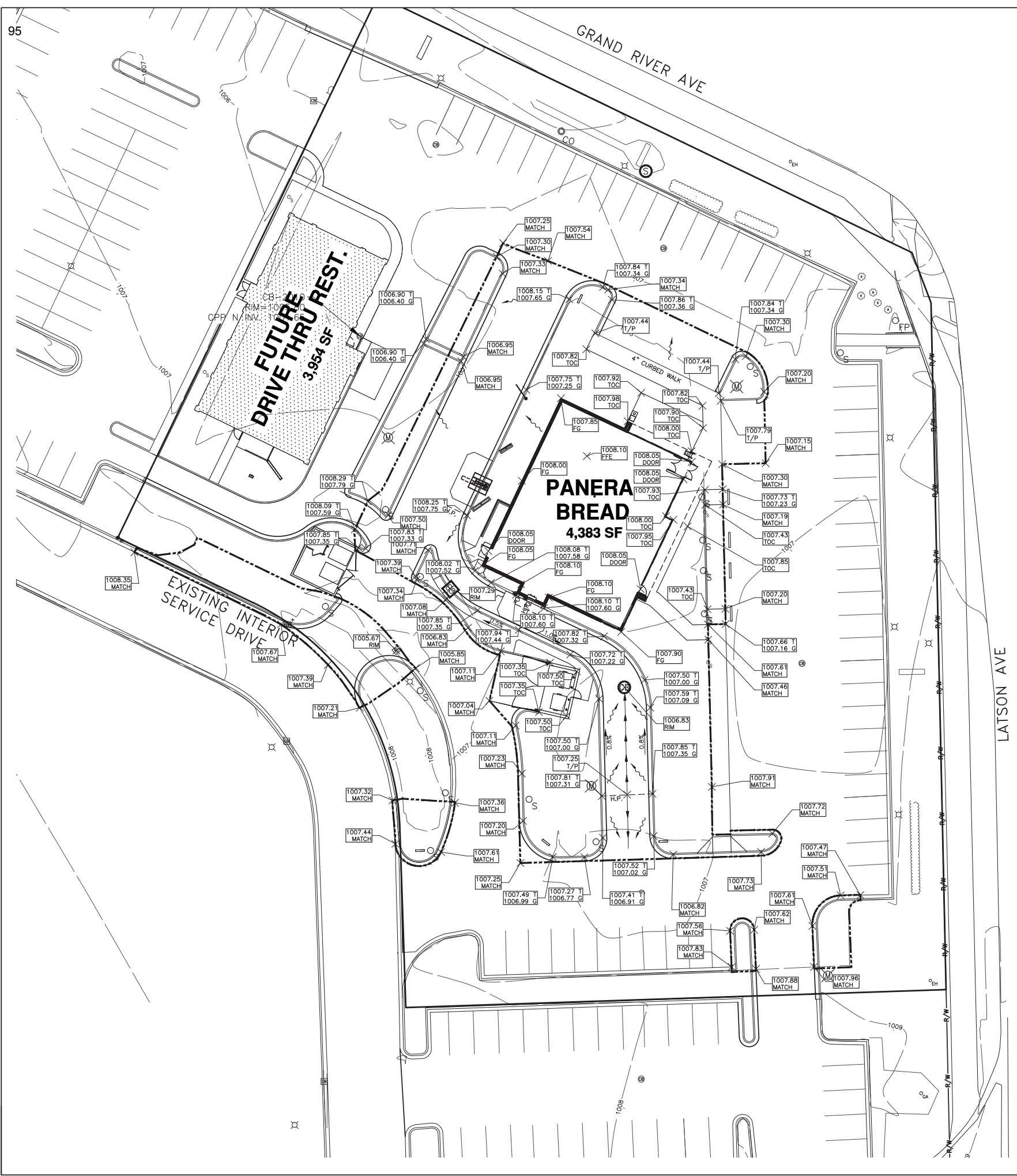
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PANERA BREAD
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HOWELL, MICHIGAN 48843
STORM & MISCELLANEOUS DETAILS
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR:	DATE:	BY:
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PC	4/20/15	C.J.C.
TWP BOARD	4/28/15	C.J.C.

JOB NO. **RGP1001.01F**
SHEET **04-3.3**



LEGEND

- CURB ELEVATION
WHERE: T = TOP OF CURB
G = GUTTER OR PVMT.
- SPOT ELEV.
WHERE XXX IS ONE OF THE FOLLOWING:
- TOP OF CONCRETE ELEV. TOC
 - FINISH GRADE ELEV. FG
 - DOOR ELEV. DOOR
 - RIM ELEV. RIM
 - MATCH EXISTING ELEV. MATCH
 - TOP OF PAVEMENT ELEV. T/P
 - FINISH FLOOR ELEV. FFE
- DRAINAGE FLOW ———>
- DRAINAGE SLOPE 1.0%
- HIGH POINT H.P.
- DRAINAGE SWALE ———>
- STORM CATCH BASIN [Symbol]
- STORM CURB INLET [Symbol]
- STORM MANHOLE [Symbol]
- STORM SEWER LINE - - - - -
- GRADING LIMITS LINE - - - - -
- NOTE: FOR EXISTING FEATURES SEE TOPOGRAPHIC SURVEY OR EXISTING CONDITIONS PLAN.

REV#	DATE	DESCRIPTION	BY

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PANERA BREAD
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HOWELL, MICHIGAN 48843

GRADING PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:
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PC 4/20/15 C.J.C.
TWP BOARD 4/28/15 C.J.C.

JOB NO.
RGP1001.01F

SHEET
95-4.0

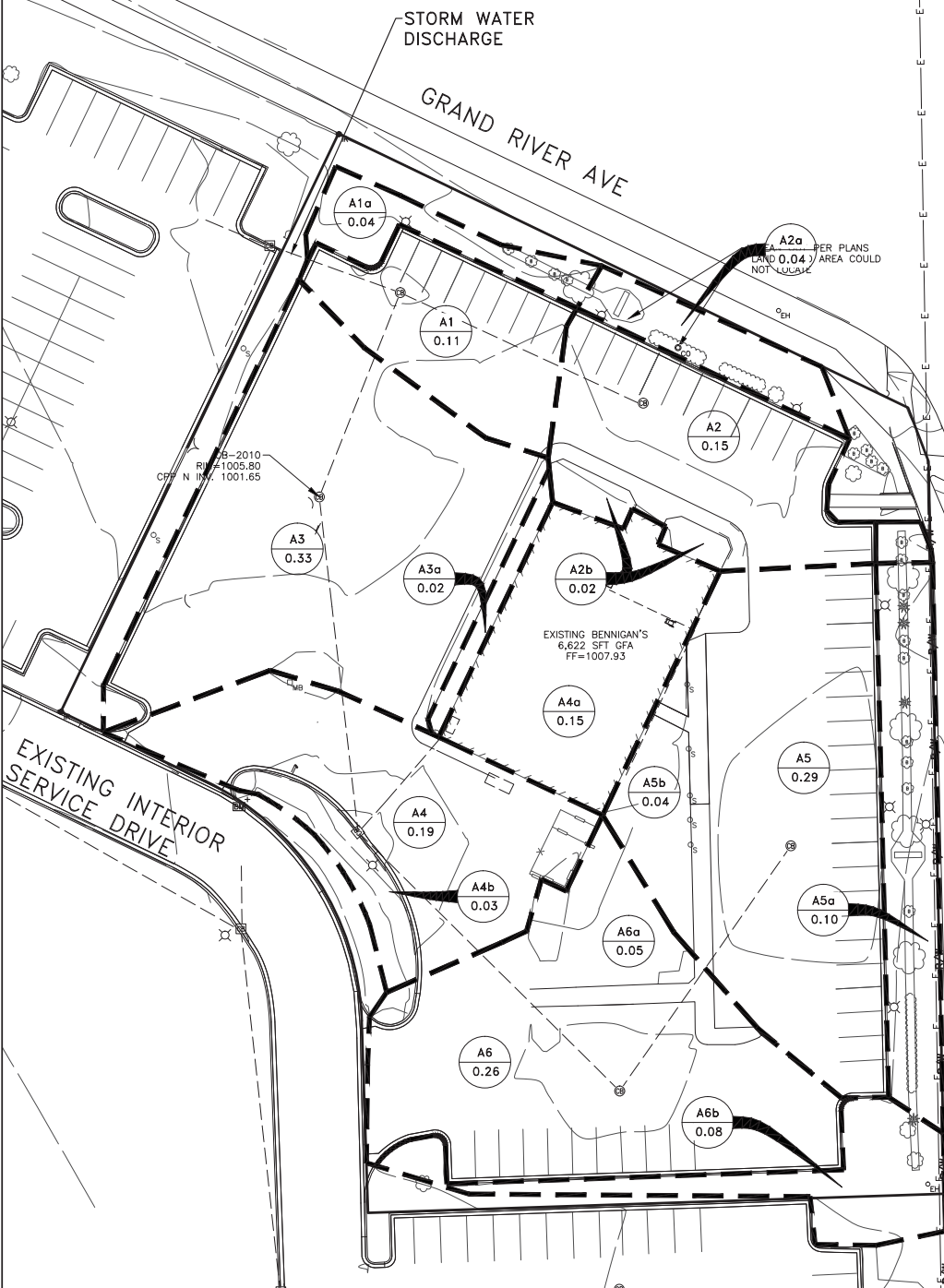
EXISTING DRAINAGE Cw COMPUTATION PROPOSED DRAINAGE Cw COMPUTATION

DRAINAGE AREA	AREA (Ac.)	C	Cw
A1	0.11	0.9	
A1a	0.04	0.2	
	0.15		0.71
A2	0.15	0.9	
A2a	0.04	0.2	
A2b	0.02	0.2	
	0.21		0.70
A3	0.33	0.9	
A3a	0.02	0.2	
	0.35		0.86
A4	0.19	0.9	
A4a	0.15	0.9	
A4b	0.03	0.2	
	0.37		0.84
A5	0.29	0.9	
A5a	0.1	0.2	
A5b	0.04	0.2	
	0.43		0.67
A6	0.26	0.9	
A6a	0.05	0.2	
A6b	0.05	0.2	
	0.36		0.71

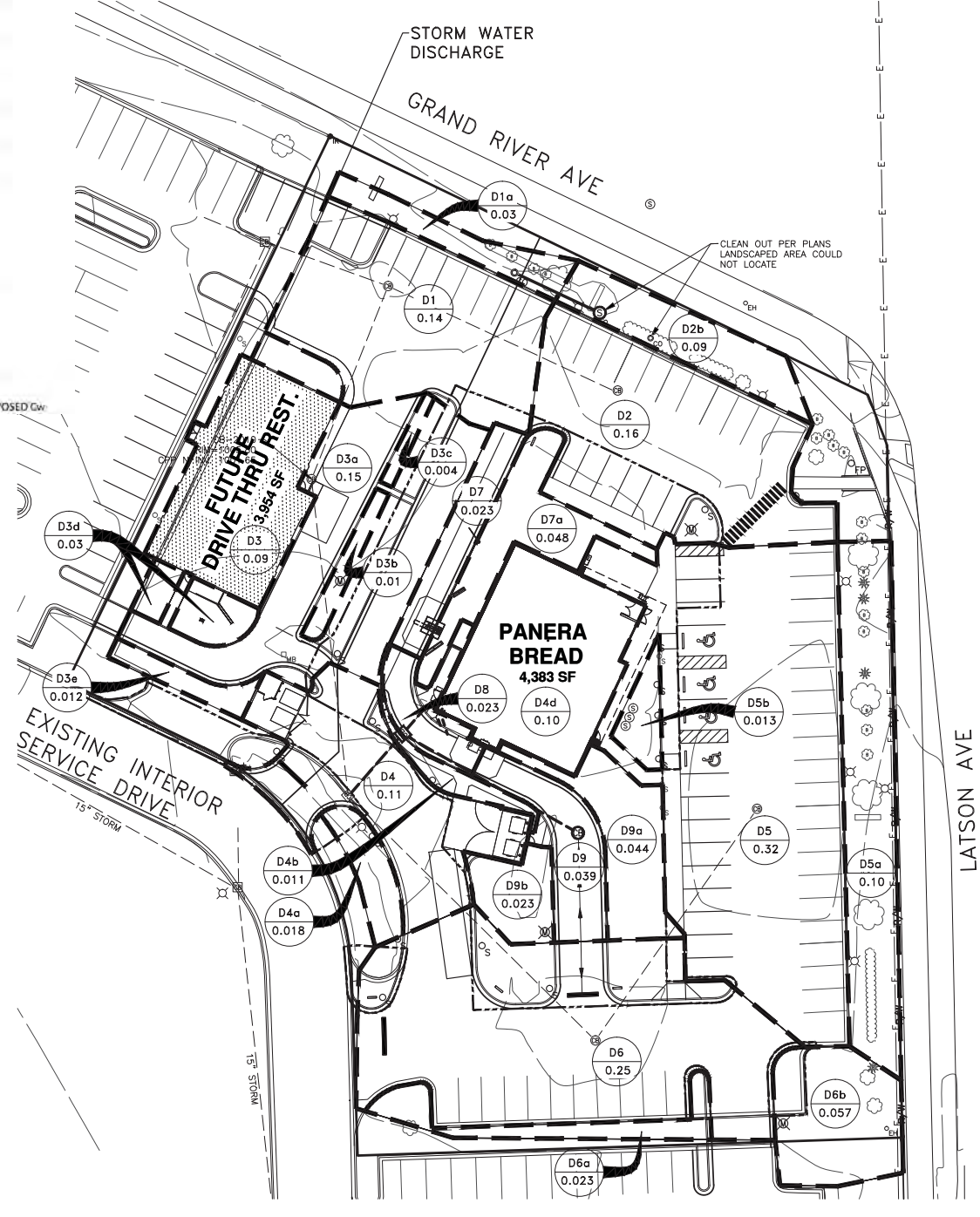
DRAINAGE AREA	AREA (Ac.)	C	Cw
D1	0.14	0.9	
D1a	0.03	0.2	
	0.17		0.78
D2	0.16	0.9	
D2a	0.09	0.2	
	0.25		0.65
D3	0.09	0.9	
D3a	0.15	0.9	
D3b-e	0.056	0.2	
	0.296		0.77
D4	0.11	0.9	
D4a	0.018	0.2	
D4b	0.011	0.2	
D4c	0.023	0.9	
D4d	0.1	0.9	
	0.262		0.82
D5	0.32	0.9	
D5a	0.1	0.2	
	0.42		0.73
D6	0.25	0.9	
D6a	0.023	0.2	
D6b	0.057	0.2	
	0.33		0.73
D7	0.023	0.9	
D7a	0.048	0.2	
	0.071		0.43
D8	0.039	0.9	
D8a	0.044	0.9	
D8b	0.039	0.2	
	0.122		0.68

TOTAL DRAINAGE AREA	EXISTING Cw	PROPOSED DRAINAGE AREA	PROPOSED Cw
1.87	0.75	1.921	0.73

- NOTES:
- SEE SHEET C-1.0 & C-3.0 FOR EXISTING & PROPOSED STORM SEWER PIPE SIZES.
 - STORM WATER DISCHARGE LOCATION WILL NOT CHANGE FROM THE CURRENT LOCATION.
 - A REGIONAL STORM WATER QUALITY & QUANTITY FACILITY HAS BEEN CONSTRUCTED, IN USE & OPERATION FOR THE PARCEL AND PARCELS IN THIS P.U.D.. THE ORIGINAL DESIGN OF THE STORM WATER MANAGEMENT FACILITY WILL NOT CHANGE AS A RESULT OF THE REDEVELOPMENT OF LOT 4.
 - THE REDEVELOPMENT OF LOT 4 WILL CREATE ADDITIONAL PERVIOUS SURFACES, DECREASING THE VOLUME OF RUNOFF AND INCREASING THE TIME OF CONCENTRATION. AS A RESULT NO CALCULATIONS HAVE BEEN PERFORMED.



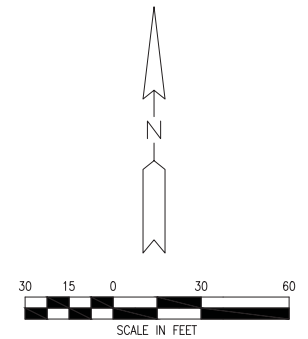
EXISTING SITE	
DRAINAGE AREA	81,457.2 SFT (1.87 AC)
PERVIOUS AREA	16,989.0 SFT (0.39 AC)
IMPERVIOUS AREA	64,468.2 SFT (1.48 AC)
BUILDING COVERAGE	6,622 SFT (7.5%)



PROPOSED SITE	
DRAINAGE AREA	83,678.8 SFT (1.921 AC)
PERVIOUS AREA	22,477.0 SFT (0.516 AC)
IMPERVIOUS AREA	61,201.8 SFT (1.405 AC)
BUILDING COVERAGE	8,337 SFT (10%)

LEGEND

- LOT LINE
- DRAINAGE AREA DESIGNATION
- DRAINAGE AREA IN ACRES
- DRAINAGE BOUNDARY



PROJECT MANAGER: CHARLES J. CHRISTY, PE
 CIVIL WORK: CHRISTY0564861\PLT-CSP-GRADING PLANNING - C-4.1 - PLOTTED 4/28/2015 4:48 PM BY CHRISTY, CHARLES

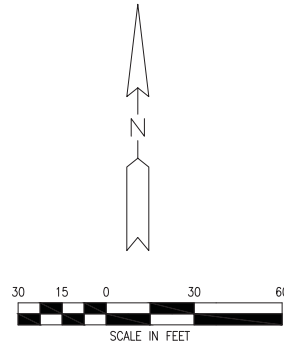
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PANERA BREAD
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 HOWELL, MICHIGAN 48843
 DRAINAGE MAP

ISSUED FOR: DATE: BY:
 PC 3/26/15 C.J.C.
 TWP BOARD 4/28/15 C.J.C.
 JOB NO. RGP1001.01F
 SHEET 4-1



LANDSCAPE REQUIREMENTS

FRONTAGE GREENBELT BUFFER:

REQUIREMENTS -
 20 FOOT WIDE, TYPE B PER P.U.D. ARTICLE VI, SECTION 6.2
 TYPE B BUFFER, PER 30 FOOT OF FRONTAGE:
 1 - CANOPY TREE
 1 - EVERGREEN TREE
 4 - SHRUBS

PROVIDED -
 410 FEET OF FRONTAGE, 20 FEET WIDE
 5 - CANOPY TREES PLUS 4 ORNAMENTAL
 0 - EVERGREEN
 55 - SHRUBS (INCLUDES 13 EXISTING SHRUBS AND HEDGEROW)

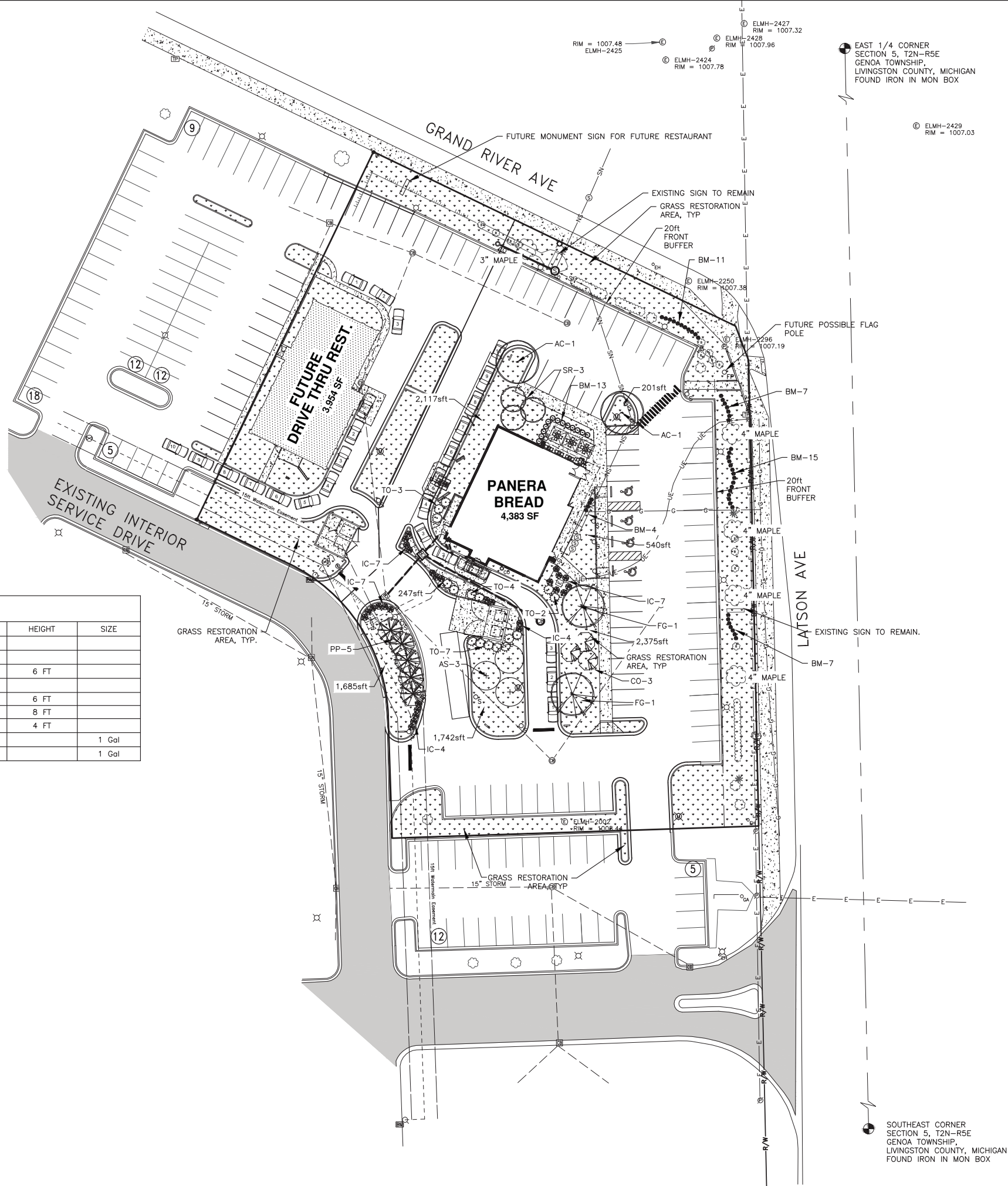
PARKING AREA LANDSCAPING

REQUIREMENTS -
 10-100 PARKING SPACES
 1 - CANOPY TREE & 100sft OF LANDSCAPED AREA PER 10 SPACES
 (Provided parking is 69 spaces, 69/10 = 7 Canopy Trees & 690sft of landscape area)
 1/3rd OF THE TREES PLANTED ON THE INTERIOR OF THE PARKING AREA
 PARKING IN FRONT YARD
 HEDGEROW ALONG PARKING

PROVIDED -
 - CANOPY TREES INTERIOR, 7 EACH
 - 8,907sft LANDSCAPE AREA INTERIOR, AROUND BUILDING
 - DUMPSTER ENCLOSURE SCREENING
 - PROPOSED EVERGREEN PLANTINGS AND SHRUBS REQUIRED AS PART OF THE FRONTAGE GREENBELT REQUIREMENTS, ALONG WITH EXISTING SHRUBS, PROVIDES EQUIVALENT HEDGEROW SCREENING REQUIRED FOR FRONT PARKING.

PLANT LIST

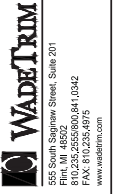
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SIZE
3	AS	<i>Acer saccharum</i>	SUGAR MAPLE	2-1/2"		
2	AC	<i>Acer saccharinum</i>	SILVER MAPLE	2-1/2"		
5	PP	<i>Picea pungens glauca</i>	COLORADO BLUE SPRUCE		6 FT	
2	FG	<i>Fagus grandifolia</i>	AMERICAN BEECH	2-1/2"		
3	SR	<i>Syringa reticulata</i>	JAPANESE TREE LILAC		6 FT	
3	CO	<i>Celtis occidentalis</i>	HACKBERRY		8 FT	
16	TO	<i>Thuja occidentalis 'Smaragd'</i>	EMERALD GREEN ARBOVITAE		4 FT	
57	BM	<i>Buxus microphylla</i> var. 'Eseles'	BOXWOOD - WEDDING RING			1 Gal
29	IC	<i>Ilex x 'Castle Wall'</i>	HOLLY - CASTLE WALL			1 Gal



EAST 1/4 CORNER
 SECTION 5, T2N-R5E
 GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN
 FOUND IRON IN MON BOX

SOUTHEAST CORNER
 SECTION 5, T2N-R5E
 GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN
 FOUND IRON IN MON BOX

NOT VALID FOR CONSTRUCTION
 UNLESS SIGNED AND DATED.



PANERA BREAD
 3950 E. GRAND RIVER
 HOWELL, MICHIGAN 48843

LANDSCAPE PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:
 PC 3/26/15 C.J.C.
 PC 4/20/15 C.J.C.
 TWP BOARD 4/28/15 C.J.C.

JOB NO.
 RGP1001.01F

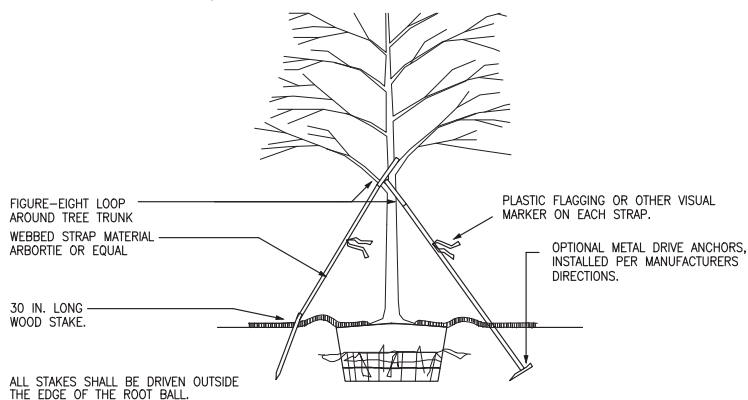
SHEET

97-5.0

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REV#	DATE	DESCRIPTION

TIGHTEN WEBBED STRAP MATERIAL ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. INSTALL THREE STRAPS PER TREE, SPACED EVENLY AROUND THE TRUNK. INSTALL AS LOW ON TRUNK AS POSSIBLE.



ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

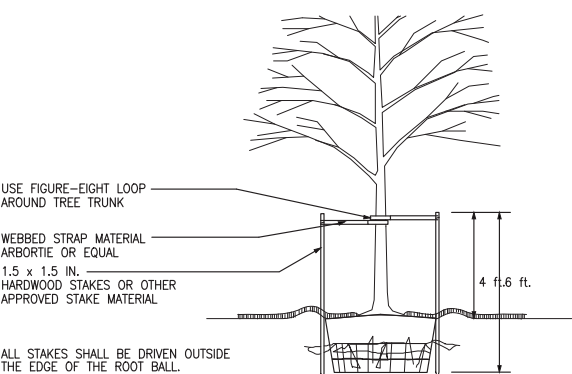
TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

- o TREES WITH POOR-QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

TREE STAKING DETAIL - 1.75 IN. CALIPER OR LARGER

NOT TO SCALE

TIGHTEN WEBBED STRAP MATERIAL ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT.



ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

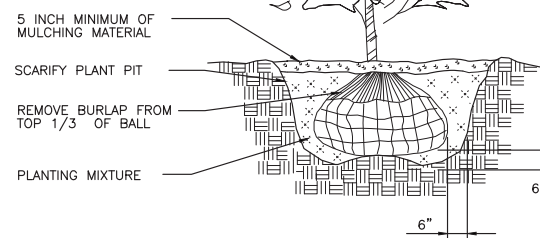
TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

- o TREES WITH POOR - QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

TREE STAKING DETAIL - 1.5 IN. CALIPER OR LESS

NOT TO SCALE

NOTE: SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS TO PREVIOUS EXISTING GRADE



SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

PURCHASE TREE WITH ONE CENTRAL LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT AS DIRECTED BY LANDSCAPE ARCHITECT.

SET TREE PLUMB WITH VERTICAL TRUNK.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT SEE SPECIFICATIONS.

WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

BEFORE PLANTING, ADD 3" TO 4" OF WELL COMPOSTED LEAVES OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF LOOSENESED SOIL.

AMEND EXISTING SOIL PER SOIL PREPARATION PLAN

1:1 SLOPE

DIG WIDE, SHALLOW HOLE WITH TAPERED SIDES

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OR THE CONTAINER.
2. AFTER DIGGING HOLE, FILL WITH WATER TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. IF HOLE DOES NOT PERC, DO NOT PLANT TREE. NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL IMMEDIATELY AFTER PLANTING.
4. THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.

TREE PLANTING DETAIL AND TREE STAKING DETAILS

NOT TO SCALE

NOTE: STAKE ALL EVERGREEN TREES

RUBBER HOSE

TREE 4 INCH CALIPER AND LESS USE NO. 11 GALVANIZED WIRE
TREE OVER 4 INCH CALIPER USE NO. 9 GALVANIZED WIRE

2 INCH x 2 INCH STAKE

5 INCH MINIMUM OF MULCHING MATERIAL

MOUND TO FORM EARTH SAUCER

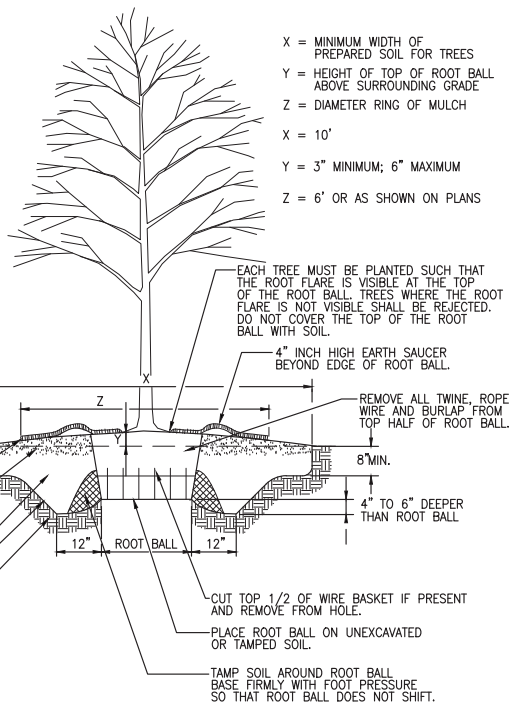
PLANTING MIXTURE

REMOVE BURLAP FROM TOP 1/3 OF BALL

STAKE TO BE 12 INCHES BELOW TREE PIT INTO UNDISTURBED EARTH

PLANTING DETAIL - EVERGREEN

NOT TO SCALE



SOIL PREPARATION, PLANTING, MAINTENANCE AND LANDSCAPE WARRANTY NOTES:

1. Have both sub-grade soils in planting areas and stripped topsoil tested. Determine fertilizer and lime rates from soil test results.
2. Soil Preparation:
 - A. Tree Planting: Prepare soil per "Tree Planting Detail" for individual trees.
 - B. Planting Areas for Trees/Shrubs/Ornamental Grasses:
 - Loosen subgrade to depth of 6 inches with a chisel plow, subsoiler, or other suitable device. Spread triple superphosphate over loosened subgrade at rate of 2 lbs. /1000 SF.
 - Spread existing stockpiled topsoil over loosened subgrade with a minimum depth of 4 inches; 6 inches if sufficient topsoil is available.
 - Spread 4 inches of Grade A quality compost (horticultural grade milled pine bark or commercially-produced compost mixture) and fertilizer, lime and other amendments as indicated by soil test over topsoil. Rototill entire mixture to a depth of 6 inches.
3. All disturbed areas not otherwise planted shall be seeded per sheet C-5.0 at rates recommended by the seed supplier/manufacturer.
4. All plants to be installed in accordance with American Association of Nurserymen landscape standards.
5. Spacing of plant materials shall be as shown on drawing or on plant list. The engineer shall review the placement of plant material prior to and after installation, and reserve the right to adjust layout to accommodate site conditions and design intent.
6. All plant materials shall conform to plant schedules. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N. Standards for Nursery Stock."
7. Planting should not proceed until approximate finish grade has been achieved. Such grades should be reviewed and approved by engineer prior to planting. Final finish grades in immediate proximity around plantings should be hand-shaped to minimize soil compaction and damage to plants.
8. Final plant locations shall be marked by contractor three working days prior to planting for engineer review.
9. Relationship of tree root flare to finish grade:
 - A. Trees shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, except as noted below. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compaction of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later. Determine the elevation of the root flare and ensure that it is planted at the specified height. This may require that the tree be set higher than the grade in the nursery.
 - If the root flare is less than 2 inches below the soil level of the root ball, plant the tree at the appropriate level above the grade to set the flare even with the grade. If the flare is more than 2 inches below the soil level at the center of the root ball, the tree shall be rejected.
 - In poorly drained soil conditions, set the root flare 2-3 inches above grade, or as indicated by drawings or as directed by engineer.
 - B. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 inches caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top half of balls. Do not turn under and bury portions of burlap or wire basket.
 - C. Completely remove any waterproof or water repellent strings or wrappings from the root ball and trunk before backfilling.
 - D. In areas of slowly draining soils, set top of shrub root balls 2-3 inches higher than proposed finish grades and top of root flare of trees 3-6 inches higher than proposed finish grades. Provide sufficient, tamped backfill so that soil does not settle and expose root ball.
 - E. If for any reason any balled and burlapped (B&B) plant materials need to be stored on site longer than a 24-hour period, their root balls shall be shaded, protected from wind and kept well watered. B&B material shall not be stored on site longer than 3 days. Containerized plants may be stored on site for a maximum of two (2) weeks, or 14 days. Any plants allowed to dry out as determined by the engineer will be rejected.
 - F. No container grown stock will be accepted if it is root bound.
10. Topsoil shall consist of friable, shredded, and screened soil reasonably free of grass, roots, weeds, sticks, stones or other foreign materials. The topsoil material shall be approved by the engineer prior to placement.
11. Form saucers around trees per "Tree Planting Detail" and around all small trees and large evergreens. Do not place saucers around shrubs.
12. Contractor shall apply engineer approved pre-emergent herbicide to shrub and ground cover planting areas at the time of planting (if spring planted) or the following spring. Contractor shall ensure the plant materials are resistant to the herbicides properties. Herbicide shall be applied according to manufacturers specifications and in accordance with sound horticultural practices.
13. Thoroughly water all plants immediately after planting.
14. Stake or guy a tree only when necessary for the specific conditions encountered and with the approval of the engineer. Stakes and guys shall be removed at the end of the first full growing season. Any tree that is not stable at the end of this time shall be rejected. Locate stakes and guys within mulched planting areas.
15. Mulch all planting areas with 3 inches of shredded pine bark. Where plant beds meet pavements, lawn or steel edging, cut the grade to allow for mulch and 3-inch drop from adjoining finish grade.
16. Maintenance procedures such as control of invasive weeds, fertilization, animal damage, mulching, restocking, and watering shall be implemented to the extent needed to ensure plant survival for the warranty period.
17. Applications of fertilizer beyond the initial topsoil and seeding shall be based on soil test results and specific plants being fertilized.
18. Performance Standards:
 - A. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of final completion.
 - B. When the work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
 - C. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the engineer to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall:
 - Be free of dead or dying branches and branch tips.
 - Be full, even and well-formed.
 - Bear foliage of normal density, size and color.
 - Demonstrate progressive and normal root and top growth.
 - Demonstrate progressive tolerance to typical environmental stresses commensurate with length of establishment.
 - Show no evidence of significant pests or diseases that would have been present prior to the end of the contractor's maintenance period or that could be a secondary result of such pests or diseases.
 - D. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
 - E. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
19. Maintenance of Exterior Plants:
 - A. Maintenance of exterior plants shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the engineer.
 - B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, tightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting saucer, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases and in vigorous condition.
 - C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the engineer at no additional cost.
 - D. Watering: Contractor shall irrigate as required to maintain vigorous and healthy growth. Overwatering or flooding shall not be allowed. The contractor shall furnish material, equipment, and water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be spot watered using handheld hoses during the first four months after planting, as required to ensure adequate water both within the root ball and within a zone extending 2 ft. beyond the root ball.
 - E. During periods of restricted water usage all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
 - F. Maintenance Period: Until Final Acceptance has been achieved.

PROJECT MANAGER: CHARLES J. CHRISTY, PE FIELD BOOK INFORMATION: C-5.1 - PLOTTED 4/28/2015 3:39 PM BY DAVIS, GREG

REV#	DATE	DESCRIPTION

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WADETRIM

252 S. State, Suite 201
P.O. Box 48802
Liveston, Michigan 48041-0842
www.wadetrिम.com

PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843

LANDSCAPE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

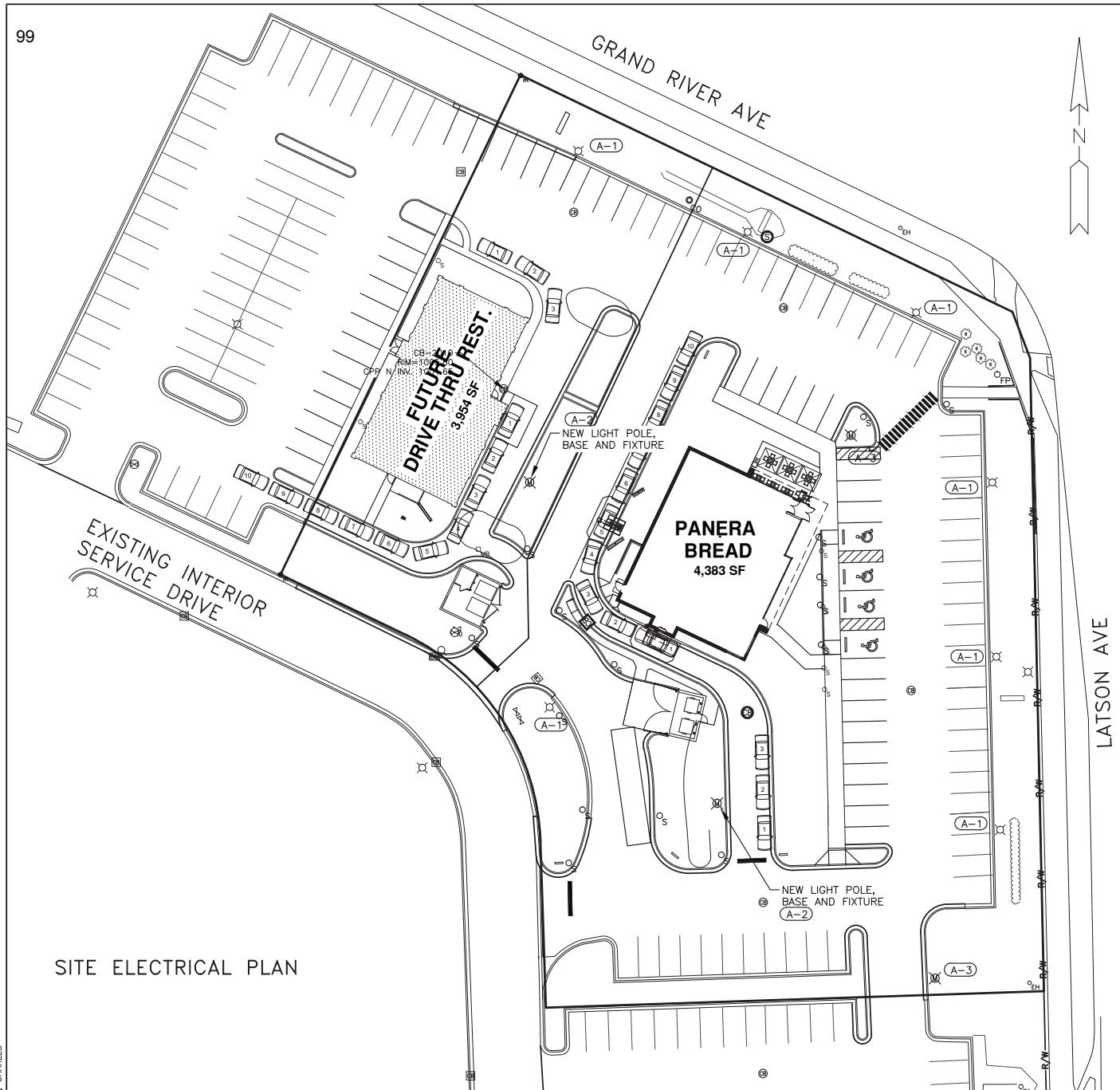
ISSUED FOR:	DATE:	BY:
PC	3/26/15	CJC
PC	4/20/15	CJC
TWP BOARD	4/28/15	CJC

JOB NO. RGP1001.01F

SHEET

5.1

PROJECT MANAGER: CHARLES J. CHRISTY, PE
FIELD BOOK INFORMATION: CL:\PW\WORK\CHRISTY\0564661\PLT-ELP-SITE LIGHTING.DWG - C-6.0 - PLOTTED 4/28/2015 4:52 PM BY CHRISTY, CHARLES

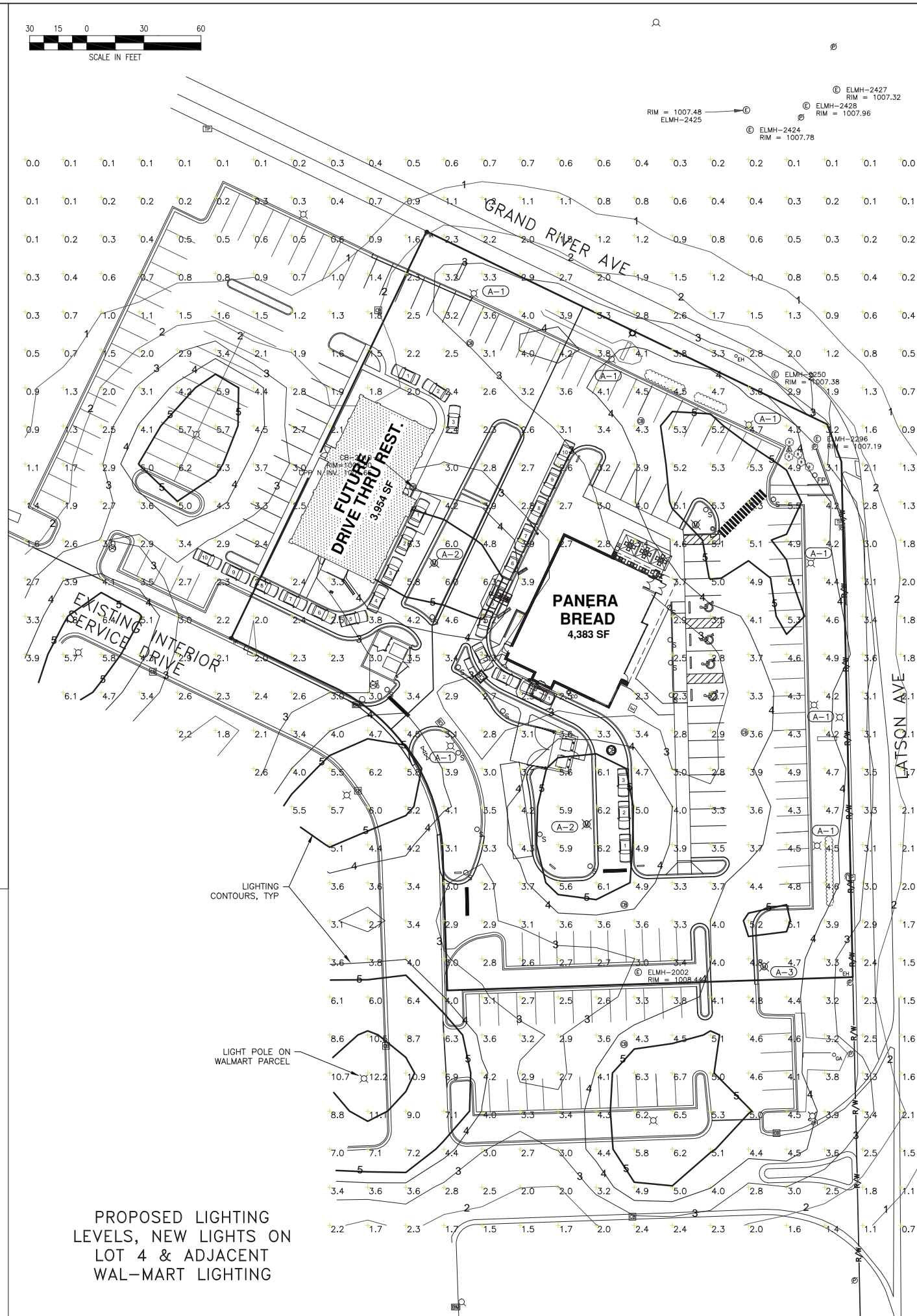


SITE ELECTRICAL PLAN

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	MANUFACTURER	Description	Comment
	7	A-1	SINGLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	Replace existing fixture, use existing 25' pole
	2	A-2	DOUBLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	25ft Pole, Square, painted black
	2	A-3	SINGLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	25ft Pole, Square, painted black

SITE LIGHTING NOTES:

- ALL LIGHTING SHALL BE METAL HALIDE.
- CONTRACTOR SHALL PROTECT AND REUSE CIRCUITS TO THE EXTENT PRACTICAL, SEE ELECTRICAL ENGINEERS DRAWINGS.
- BUILDING MOUNTED FIXTURES ARE SUBJECT TO CHANGE LOCATION, TYPE, AND MANUFACTURER. THE SUBSTITUTION SHALL NOT INCREASE THE LIGHTING LEVELS AND INTENSITIES INDICATED ON THIS PLAN.



PROPOSED LIGHTING LEVELS, NEW LIGHTS ON LOT 4 & ADJACENT WAL-MART LIGHTING

REV#	DATE	DESCRIPTION	BY

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WADETRIM
 835 South Schwan Street, Suite 201
 Farmington Hills, MI 48332
 810.285.2550 (ext. 1042)
 www.wadetrtrim.com

**PANERA BREAD
 3950 E. GRAND RIVER
 HOWELL, MICHIGAN 48843**

SITE LIGHTING PLAN

ISSUED FOR: DATE: BY:
 PC 3/26/15 C.J.C.
 PC 4/20/15 C.J.C.
 TWP BOARD 4/28/15 C.J.C.

JOB NO. RGP1001.01F
 SHEET 6.0

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN
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E-H-V ARM MOUNT FORM TEN

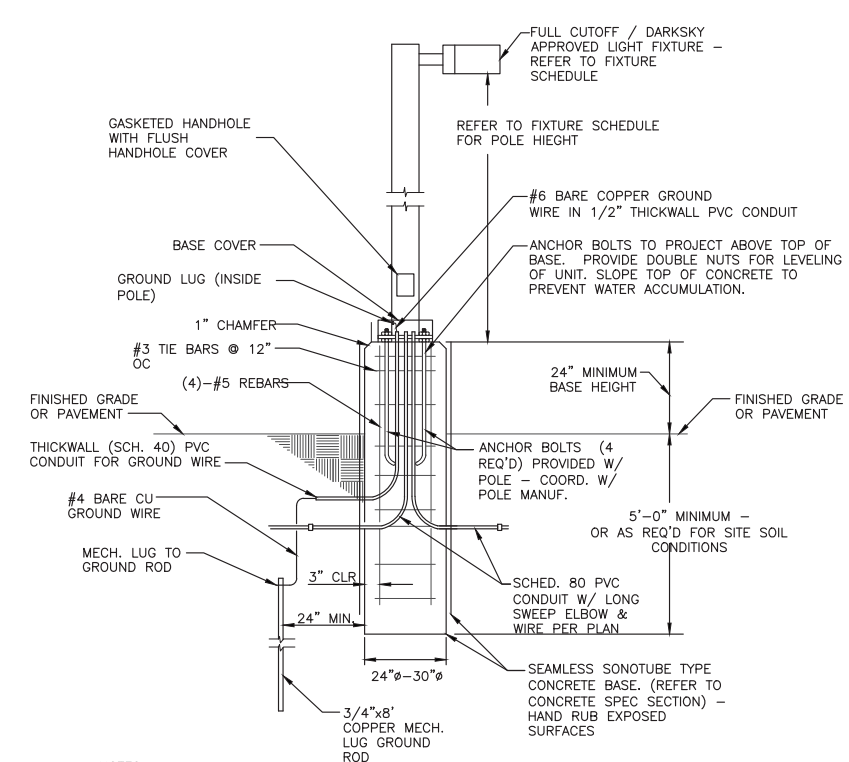
GENERAL DESCRIPTION: The E-H-V arm mounted Form Ten products are outdoor luminaires using high intensity discharge lamps up to 1000 watts. The E-H-Vs are manufactured from untempered extruded aluminum and finished in an Architectural Class 1 coating. The E and H style luminaires are the longest duration with a lifetime of up to 100,000 hours. Both products can accept line of sight (LOS) photostrobe and suitable perimeter regulated optical systems.

ORDERING

PREFIX	SIZE	CONFIGURATION	PHOTOMETRIC DISTRIBUTION	WIRING	VOLTAGE	FINISH	OPTIONS
EM	2000W	14"	3	High Beam	120	SLA	Y, WJ
EM	2000W	14"	3	High Beam	240	SLA	L, R, WJ
EM	2000W	14"	3	High Beam	240	SLA	FC, WJ
EM	2000W	14"	3	High Beam	240	SLA	FC, WJ, AP
EM	2000W	14"	3	High Beam	240	SLA	FC, WJ, AP, PTF
EM	2000W	14"	3	High Beam	240	SLA	FC, WJ, AP, PTF, PTFH
EM	2000W	14"	3	High Beam	240	SLA	FC, WJ, AP, PTF, PTFH, SC

WIRING	VOLTAGE	FINISH	OPTIONS
EM	120	SLA	Y, WJ
EM	240	SLA	L, R, WJ
EM	240	SLA	FC, WJ
EM	240	SLA	FC, WJ, AP
EM	240	SLA	FC, WJ, AP, PTF
EM	240	SLA	FC, WJ, AP, PTF, PTFH
EM	240	SLA	FC, WJ, AP, PTF, PTFH, SC

DIMENSIONS



- NOTES:**
- ANCHOR BOLTS AND TEMPLATES FURNISHED BY ELECTRICAL CONTRACTOR. UNLESS NOTED OTHERWISE, CONCRETE BASE AND ANCHOR BOLTS INSTALLED BY ELECTRICAL CONTRACTOR.
 - CONCRETE BASE SHALL BE PER CONCRETE SPECIFICATION SECTION AND/OR 4000 PSI CONCRETE IF NOT SPECIFIED.
 - LIGHT POLE THICKNESS SHALL BE AS REQUIRED TO WITHSTAND WIND LOADS OF 100 MPH MINIMUM.

SITE LIGHTING POLE DETAIL
NO SCALE

REV#	DATE	DESCRIPTION

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED AND DATED:

WADETRIM
 600 South Schwaner Street, Suite 201
 Flint, MI 48902
 810.285.2658/800.841.0342
 www.wadetrims.com

Building relationships on a foundation of excellence.

PANERA BREAD
3950 E. GRAND RIVER
HOWELL, MICHIGAN 48843
 SITE LIGHTING DETAILS

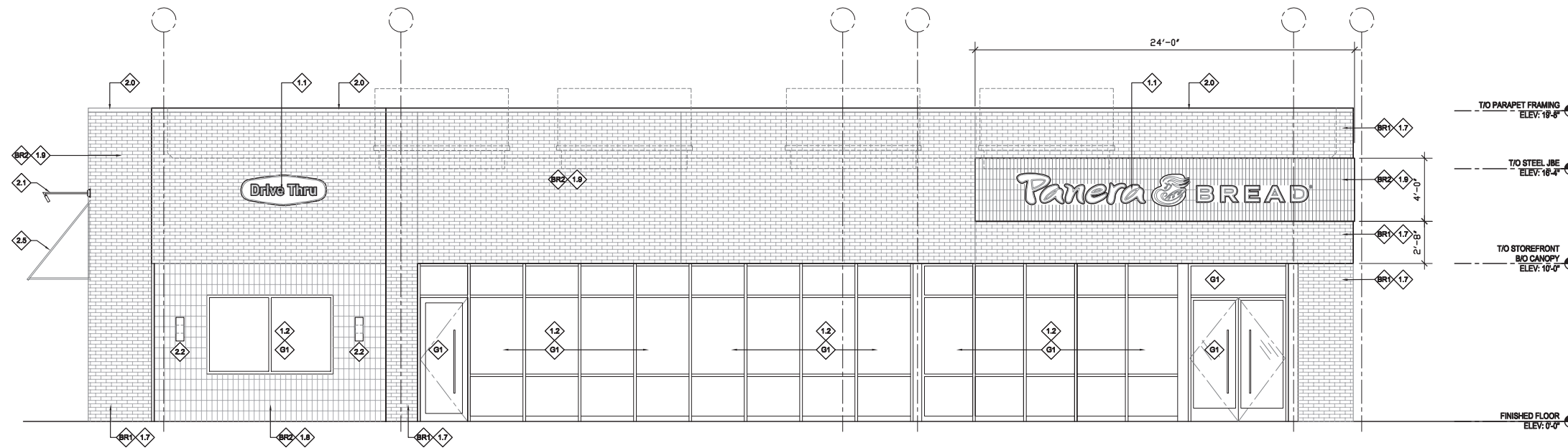
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR:	DATE:	BY:
PC	3/26/15	C.J.C.
PC	4/20/15	C.J.C.
TWP BOARD	4/28/15	C.J.C.

JOB NO. **RGP1001.01F**

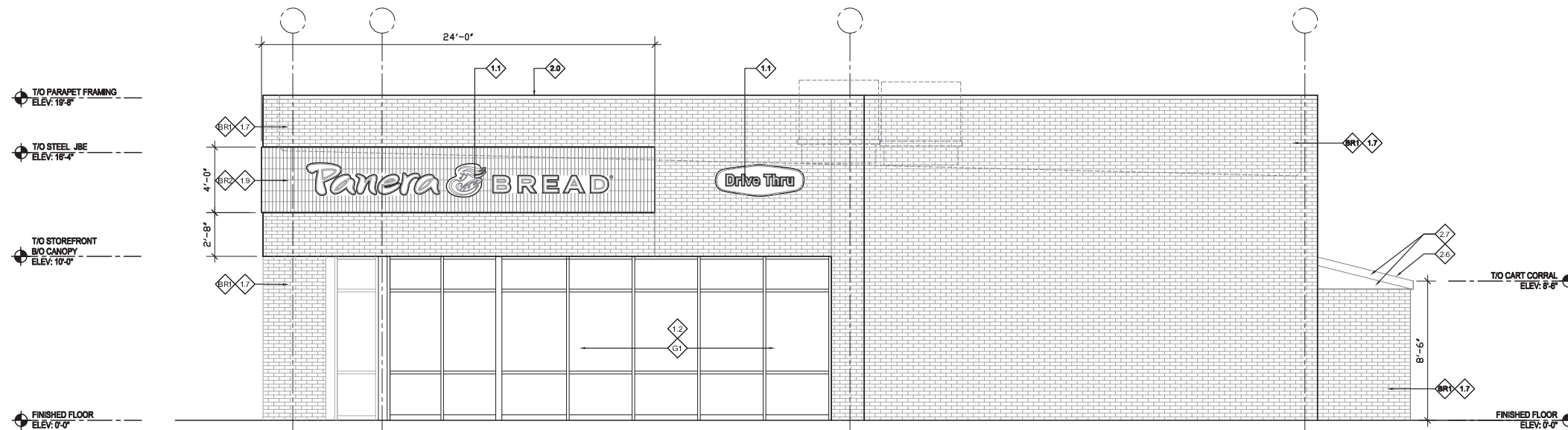
SHEET **10-6.1**

NOTE:
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.



22 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.



24 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. G.C. TO PROVIDE WOOD BLOCKING FOR ALL BUILDING MOUNTED SIGNAGE.
- B. ALL SIGNAGE UNDER SEPARATE PERMIT.

KEYED NOTES: INDICATED BY SYMBOL

- 1.1 INTERNALLY ILLUMINATED SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQ'D. (UNDER SEPARATE SIGNAGE PERMIT)
- 1.2 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING.
- 1.3 4" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.4 6" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.5 NEW 42" EXTERIOR SERVICE DOOR AND FRAME. COLOR TO MATCH ADJACENT WALL FINISH. SEE SHEET A-2.0 FOR EXACT PLACEMENT.
- 1.6 COORDINATE CAMERA ROUGH IN LOCATION(S) & HEIGHTS WITH PANERA REPRESENTATIVE PRIOR TO INSTALLATION.
- 1.7 FACE BRICK INSTALLED WITH RUNNING BOND PATTERN AT MAIN WALL
- 1.8 FACE BRICK INSTALLED SOLDIER COURSE, SET BACK FROM MAIN WALL
- 1.9 FACE BRICK INSTALLED WITH SOLDIER COURSE SET OUT 1" FROM MAIN WALL
- 2.0 PREFINISHED METAL COPING: DARK BRONZE
- 2.1 EXTERIOR LIGHTING FIXTURE PROVIDED AND INSTALLED BY GC; GC TO PROVIDE BLOCKING IN WALL AS REQUIRED (TYP.); G.C. TO PROVIDE POWER AS REQUIRED.
- 2.2 DECORATIVE LIGHT FIXTURE PROVIDED AND INSTALLED BY G.C. / G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED (TYP.); G.C. TO PROVIDE POWER AS REQUIRED
- 2.3 QUICKSERV DRIVE THRU WINDOW ASSEMBLY, MODEL #FM42E
- 2.4 LANDSCAPE TRELLIS; MFR- GREENSCREEN; COLOR — BLACK; GEN- CONTRACTOR; ALT- CONSTRUCTED STEEL SIMILAR TO SHOWN
- 2.5 AWNING PROVIDE AND INSTALLED BY SIGN VENDOR / G.C. SHALL PROVIDE BLOCKING AS REQUIRED. SEE VENDOR SHOP DRAWINGS
- 2.6 STANDING SEAM METAL ROOF, DARK BRONZE
- 2.7 BREAK METAL TO MATCH STANDING SEAM METAL ROOFING, DARK BRONZE
- 2.8
- 3.0 FIRE DEPARTMENT CONNECTION
- 3.0 FIRE DEPARTMENT ACCESS BOX INSTALLED ADJACENT ACCESS DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT

EXTERIOR MATERIALS:

INDICATED BY SYMBOL

- BR1 FACE BRICK- MANUF: ENDICOTT, SIENNA IRONSPOT, MODULAR, RUNNING BOND PATTERN
- BR2 FACE BRICK- MANUF: ENDICOTT, SIENNA IRONSPOT, MODULAR, SOLDIER COURSE PATTERN
- G1 ALUMINUM STOREFRONT - DARK BRONZE W/ 1" INSULATED GLAZING MANUF: API (TYP.)



KEYPLAN
SCALE: NTS

BAKERY CAFE:
#1936
SYSTEM: G3 (CUSTOM)
PROTOTYPE UPDATE: 2018-01

DESIGN CONSULTANT:
ARCVISION
INCORPORATED
1950 ORME ROAD, SUITE 300
ANN ARBOR, MI 48106
PH: (734) 963-1000 FAX: (734) 963-1000
www.arcvision.com

PANERA BREAD
BAKERY CAFE #1936
GRAND RIVER AVE
HOWELL, MI 48843

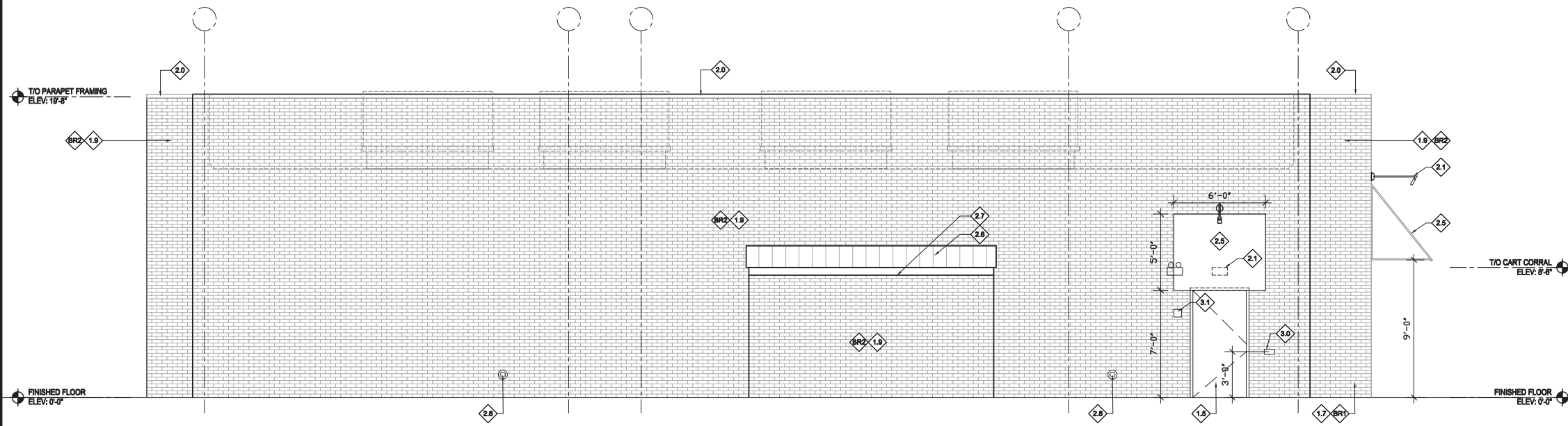


PHASE 1'S
ISSUED: 08/08/2014

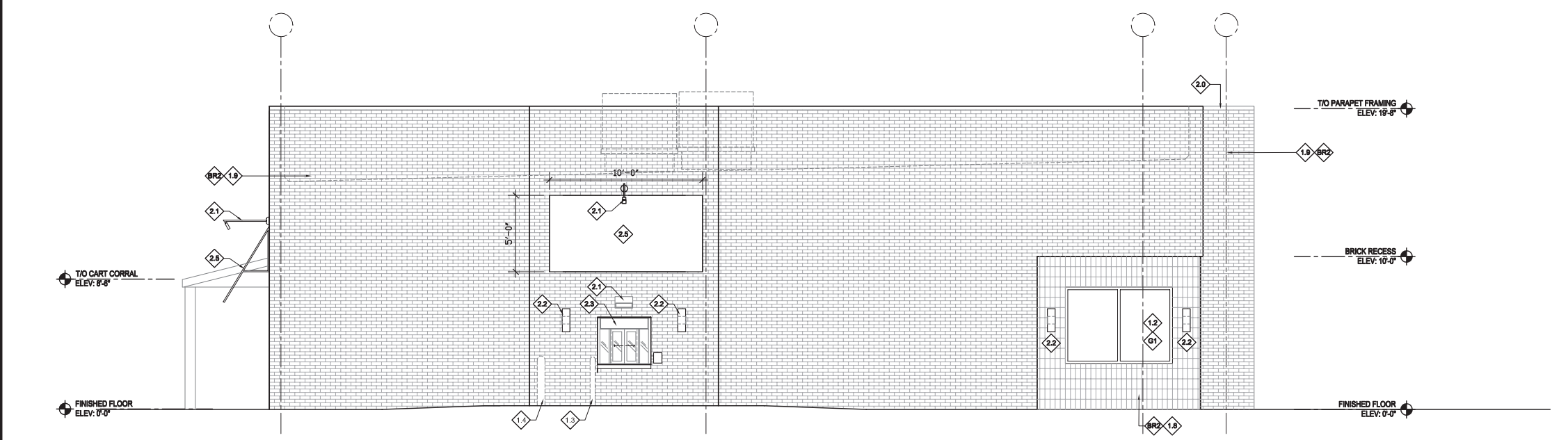
REVISION

ISSUE DATE: 04.04.2015
PROJECT NUMBER: 150319
DRAWN BY: CAO/JMH
CHK: Dan Cook
DPM: BRIAN BARNARD
CPM: MARK ETHERINGTON

SHEET NO:
A-5.1
EXTERIOR ELEVATIONS



22 WEST ELEVATION
SCALE: 1/4" = 1'-0"



24 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

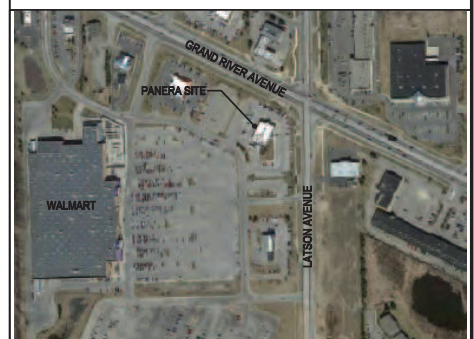
- A. G.C. TO PROVIDE WOOD BLOCKING FOR ALL BUILDING MOUNTED SIGNAGE.
- B. ALL SIGNAGE UNDER SEPARATE PERMIT.

KEYED NOTES: INDICATED BY SYMBOL

- 1.1 INTERNALLY ILLUMINATED SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQ'D. (UNDER SEPARATE SIGNAGE PERMIT)
- 1.2 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING.
- 1.3 4" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.4 6" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.5 NEW 42" EXTERIOR SERVICE DOOR AND FRAME. COLOR TO MATCH ADJACENT WALL FINISH. SEE SHEET A-2.0 FOR EXACT PLACEMENT.
- 1.6 COORDINATE CAMERA ROUGH IN LOCATION(S) & HEIGHTS WITH PANERA REPRESENTATIVE PRIOR TO INSTALLATION.
- 1.7 FACE BRICK INSTALLED WITH RUNNING BOND PATTERN AT MAIN WALL
- 1.8 FACE BRICK INSTALLED SOLDIER COURSE, SET BACK FROM MAIN WALL
- 1.9 FACE BRICK INSTALLED WITH SOLDIER COURSE SET OUT 1" FROM MAIN WALL
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- 2.2 DECORATIVE LIGHT FIXTURE PROVIDED AND INSTALLED BY G.C. / G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED (TYP.); G.C. TO PROVIDE POWER AS REQUIRED
- 2.3 QUICKSERV DRIVE THRU WINDOW ASSEMBLY, MODEL #FM42E
- 2.4 LANDSCAPE TRELLIS; MFR- GREENSCREEN; COLOR — BLACK; GEN- CONTRACTOR-ALT — CONSTRUCTED-STEEL SIMILAR TO SHOWN
- 2.5 AWNING PROVIDE AND INSTALLED BY SIGN VENDOR / G.C. SHALL PROVIDE BLOCKING AS REQUIRED. SEE VENDOR SHOP DRAWINGS
- 2.6 STANDING SEAM METAL ROOF, DARK BRONZE
- 2.7 BREAK METAL TO MATCH STANDING SEAM METAL ROOFING, DARK BRONZE
- 2.8 RWL / OVERFLOW DRAIN NICKLE BRONZE NOZZLE THRU EXTERIOR WALL. MIN 18" ABOVE GRADE. SEE DETAIL 11 SHEET A-1.3.
- 3.0 FIRE DEPARTMENT CONNECTION
- 3.0 FIRE DEPARTMENT ACCESS BOX INSTALLED ADJACENT ACCESS DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT

EXTERIOR MATERIALS:

- INDICATED BY SYMBOL
- BR1 FACE BRICK— MANUF: ENDCOTT, SIENNA IRONSPOT, MODULAR, RUNNING BOND PATTERN
 - BR2 FACE BRICK— MANUF: ENDCOTT, SIENNA IRONSPOT, MODULAR, SOLDIER COURSE PATTERN
 - G1 ALUMINUM STOREFRONT — DARK BRONZE W/ 1" INSULATED GLAZING MANUF: API (TYP.)



BAKERY CAFE:
#1936
SYSTEM: G3 (CUSTOM)
PROTOTYPE UPDATE: 2014-01

DESIGN CONSULTANT:
ARCVISION
INCORPORATED
ARCHITECTS / INTERIORS / LANDSCAPE ARCHITECTS
1910 CHASE ROAD, SUITE 300 | FARMINGTON HILLS, MI 48334
PH: (248) 462-1800 | FAX: (248) 462-2500 | www.arcvision.com

PANERA BREAD
BAKERY CAFE #1936
GRAND RIVER AVE
HOWELL, MI 48843

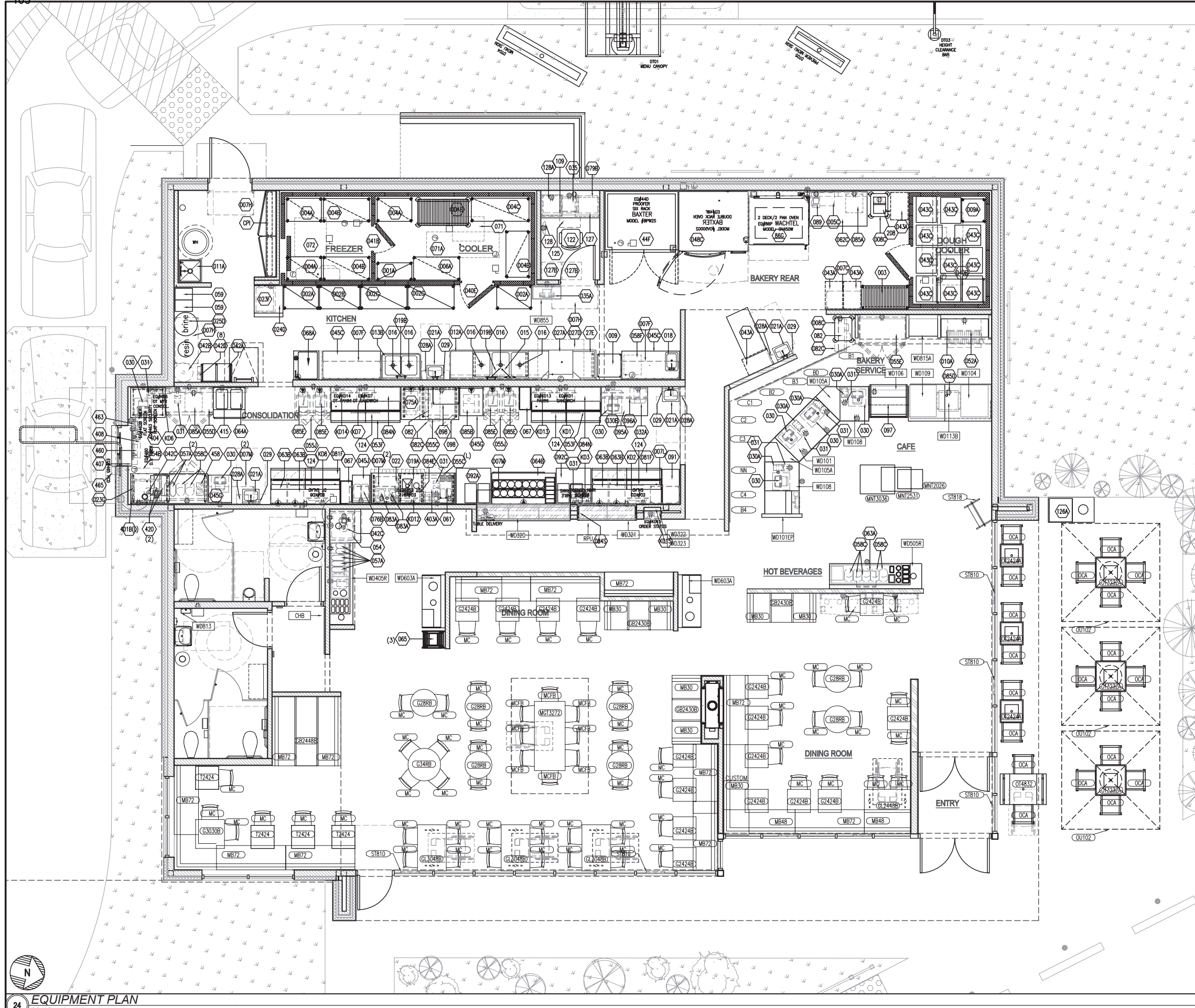


PHASE 1'S
ISSUED: 08/08/2014

NO.	REVISION

ISSUE DATE: 04.04.2015
PROJECT NUMBER: 150319
DRAWN BY: CAO/JMH
DM: Dan Cook
DPM: BRIAN BARNARD
CPM: MARK ETHERINGTON

SHEET NO:
A-5.2
EXTERIOR ELEVATIONS



GENERAL NOTES:

- A. ALL BOOTHS AND BANQUETTES TO BE LIGHT FINISH.
- B. NO CASTORS ON ALL EAGLE FLOOR SHELVES (INCL. COOLER / FREEZER)
- C. COOLER / FREEZER "FASTRAK" BY NORLAK.

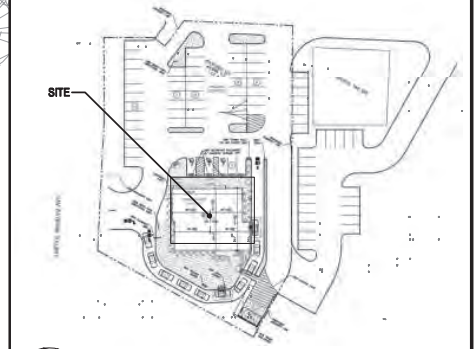
EQUIPMENT PLAN LEGEND:

- XXX — ROOM NUMBER SYMBOL
- EQ-IDENT — SIGNAGE IDENTIFICATION SYMBOL
- EQ — EQUIPMENT IDENTIFICATION SYMBOL
- ST-IDENT — STEEL IDENTIFICATION SYMBOL
- WD-IDENT — WOOD IDENTIFICATION SYMBOL
- REL — RELOCATION INDICATION, ADDED TO SYMBOLS
- FURN-ID — FURNITURE IDENTIFICATION SYMBOL
- DOOR — DOOR NUMBER SYMBOL

KEYED NOTES:

INDICATED BY SYMBOL

- 1.1 OFFICE SAFE TO BE INSTALLED FLUSH WITH THE FRONT OF THE DESK ON THE RIGHT HAND SIDE.
- 1.2 FIRE SPRINKLER RISER
- 1.3 ALUM. ROOF LADDER
- 1.4 CPI PANEL. SEE ELECTRICAL DRAWINGS.
- 1.5 DETEX. SEE ELECTRICAL DRAWINGS.
- 1.6 DIVIDERS BY FURNITURE VENDOR.



BAKERY CAFE:
#1936
 SYSTEM: G3 (CUSTOM)
 PROJECT: PANERA

DESIGN CONSULTANT:

 ARCISION INCORPORATED
 1902 QUAD ROAD, SUITE 300
 SAINT LOUIS, MISSOURI 63103
 TEL: (314) 882-2400 FAX: (314) 882-3300

PANERA BREAD
BAKERY CAFE #1936
 LATSON AVE & GRAND RIVER AVE
 HOWELL, MI

PHASE 1'S
 ISSUED: 08.08.2014

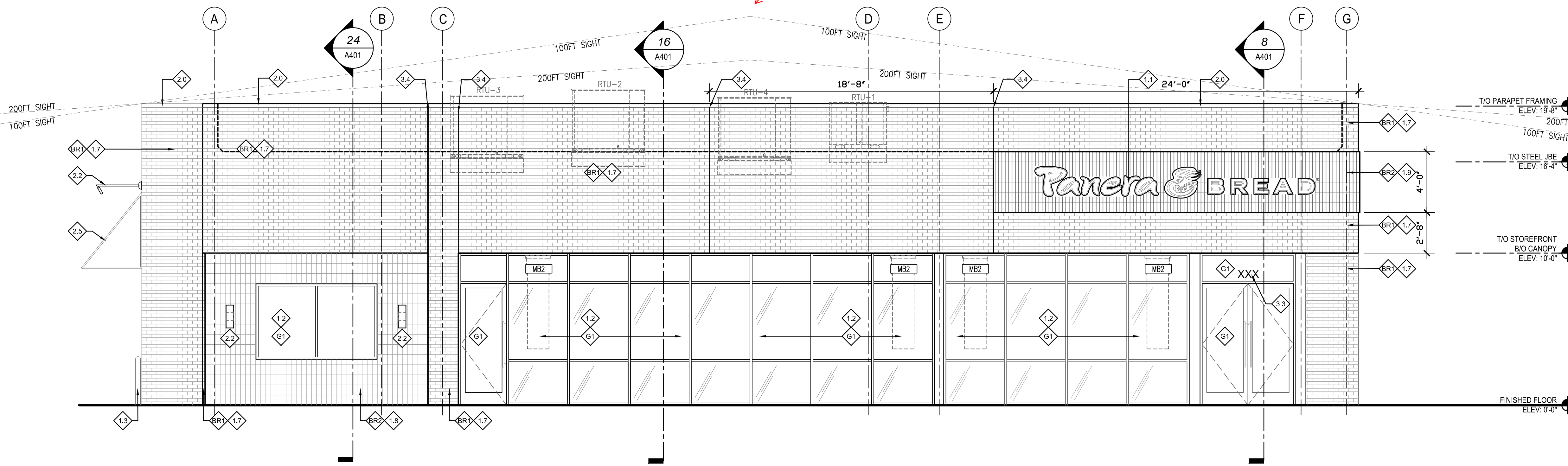
REVISION

ISSUE DATE: 04.04.2015
 PROJECT NUMBER: 150319
 DRAWN BY: MH
 DM: Dan Cook
 DPM: BRIAN BARNARD
 CPM: MARK ETHERINGTON

SHEET NO:
EQ-2.1
 FLOOR PLAN
 EQUIPMENT

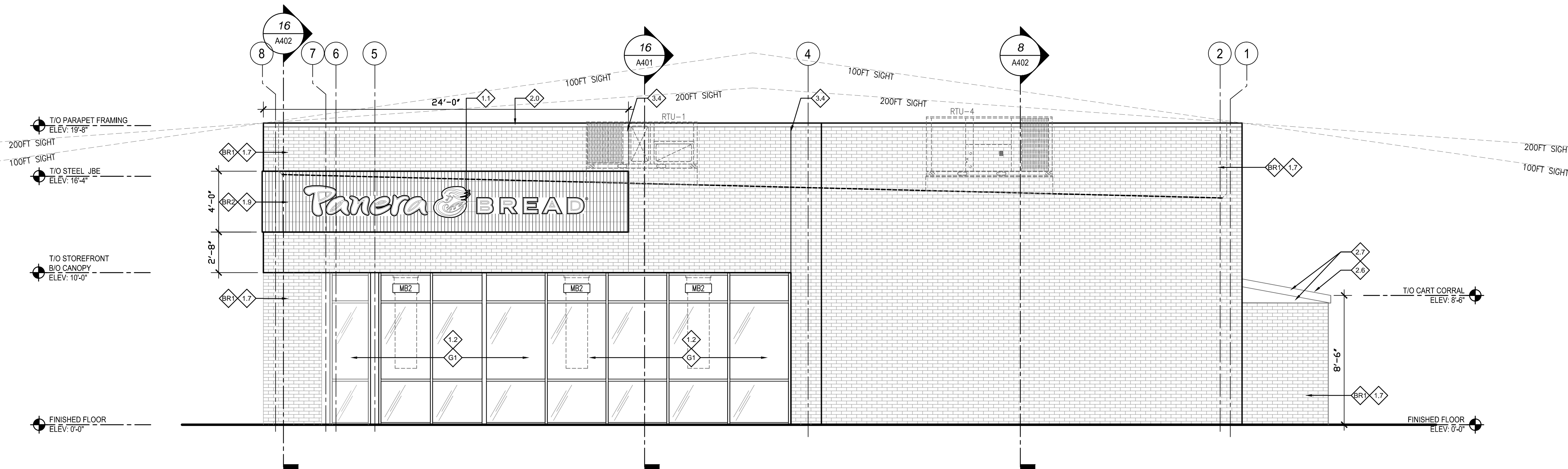
NOTE:
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.

Sight Lines Added to Show Screening of Rooftop Equipment



22 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.



24 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

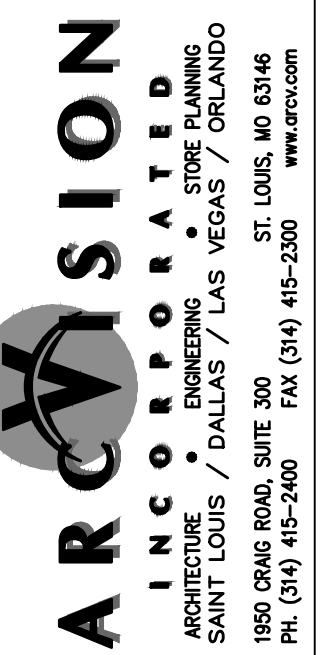
- A. G.C. TO PROVIDE WOOD BLOCKING FOR ALL BUILDING MOUNTED SIGNAGE.
- B. ALL SIGNAGE UNDER SEPARATE PERMIT.
- C. TO COORDINATE LOCATION OF ADDRESS AND KNOX BOX WITH LOCAL FIRE DEPARTMENT.
- D. FDC TO BE REMOTE LOCATION. REFER TO CIVIL DRAWINGS FOR LOCATION.

KEYED NOTES: INDICATED BY SYMBOL

- 1.1 INTERNALLY ILLUMINATED SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQ'D. (UNDER SEPARATE SIGNAGE PERMIT)
- 1.2 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING.
- 1.3 4" DIA. PIPE BOLLARD. SEE DETAIL 5/A005 FOR ADDITIONAL INFORMATION.
- 1.4 6" DIA. PIPE BOLLARD. SEE DETAIL 5/A005 FOR ADDITIONAL INFORMATION.
- 1.5 NEW 42" EXTERIOR SERVICE DOOR AND FRAME. COLOR TO MATCH ADJACENT WALL FINISH. SEE SHEET A101 FOR EXACT PLACEMENT.
- 1.6 COORDINATE CAMERA ROUGH IN LOCATION(S) & HEIGHTS WITH PANERA REPRESENTATIVE PRIOR TO INSTALLATION.
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- 2.8 RWL / OVERFLOW DRAIN NICKLE BRONZE NOZZLE THRU EXTERIOR WALL. MIN 18" ABOVE GRADE. SEE DETAIL 14/A900.
- 2.9 GATE ENCLOSURE AT CART CORRAL. MFR. TREX COMPOSITE PLANK; COLOR: WINCHESTER GREY. SEE PANERA DETAIL 6/A-4.5
- 3.0 FIRE DEPARTMENT CONNECTION
- 3.1 FIRE DEPARTMENT ACCESS BOX INSTALLED ADJACENT ACCESS DOOR; COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT
- 3.2 HOSE BIBB IN STAINLESS STEEL BOX. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
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- 3.4 CONTROL JOINT. PROVIDE SEALANT TO MATCH FACE BRICK

EXTERIOR MATERIALS:

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ArcVision, Inc.
1950 CRAIG ROAD, SUITE 300
ST. LOUIS, MISSOURI 63146
tel. 314.415.2400
fax. 314.415.2300
www.arcv.com

RG Properties - Shell Package
Grand River Ave.
Howell, MI 48843



Revisions:

No.	Date	Description

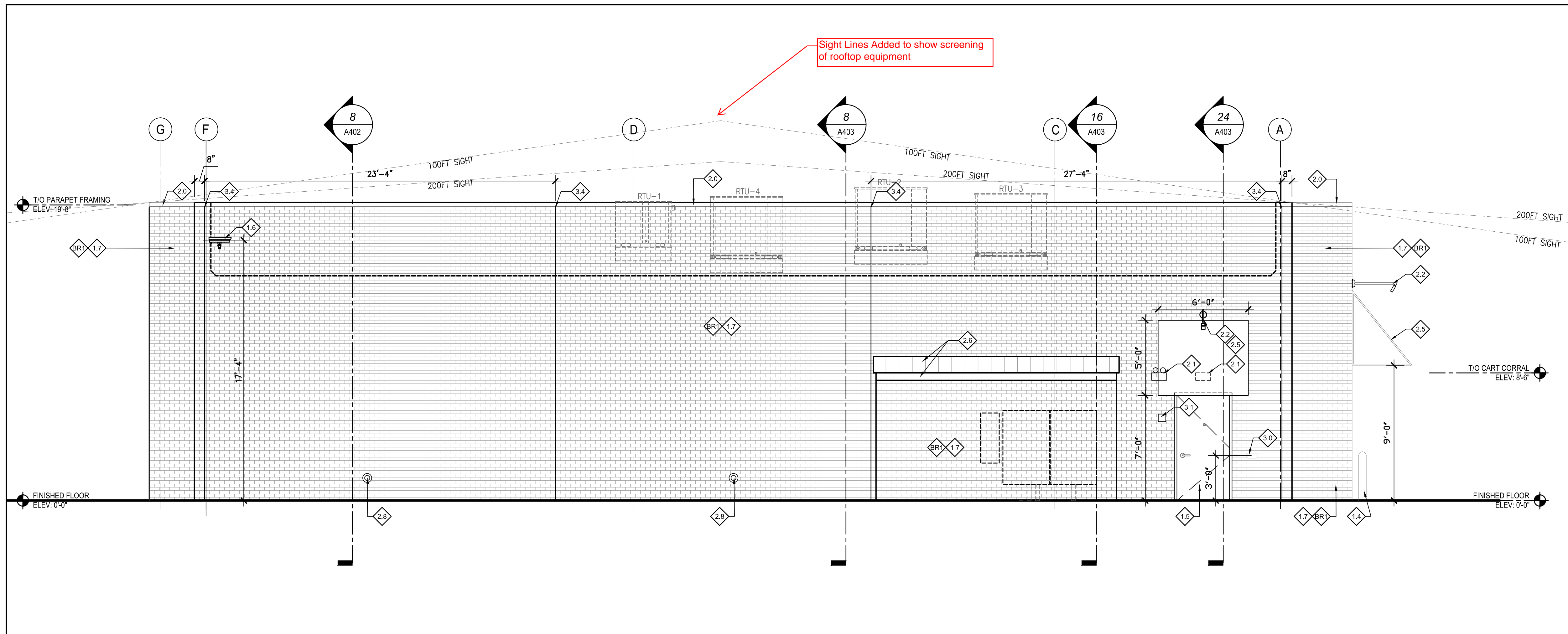
BID/PERMIT

EXTERIOR ELEVATIONS

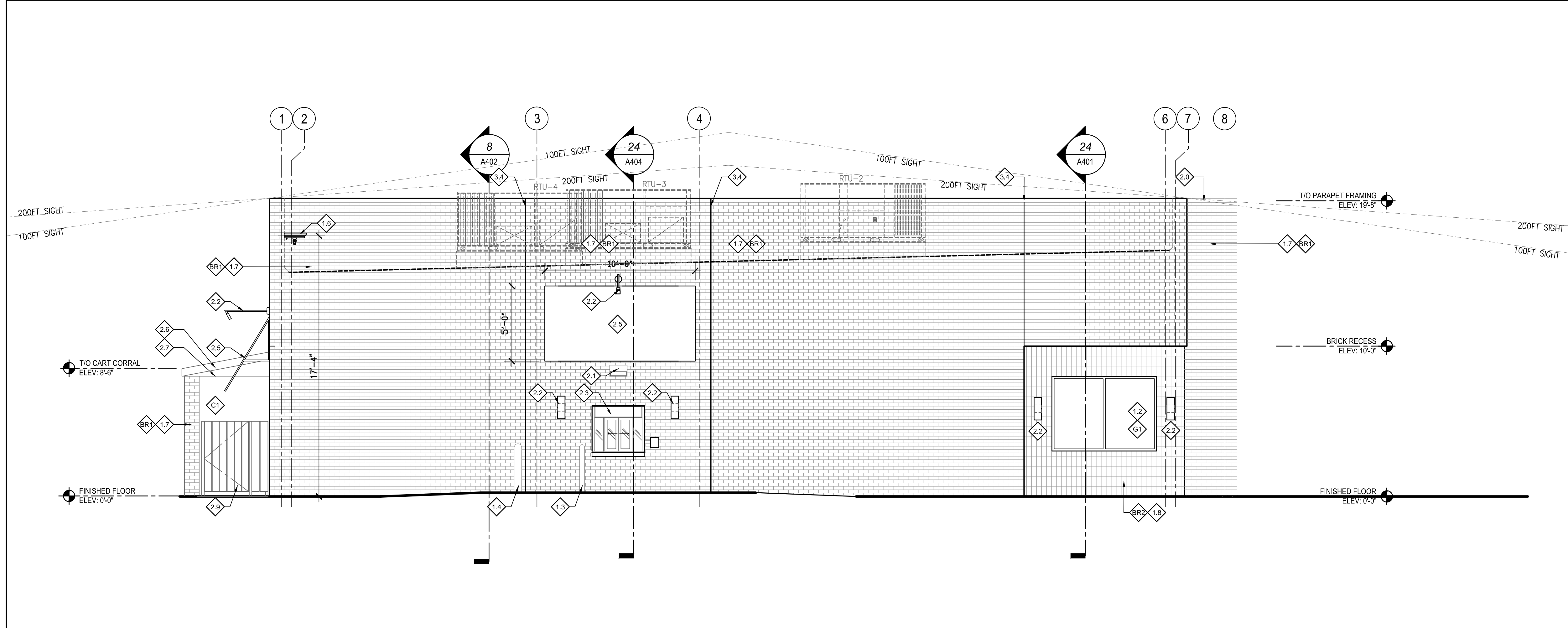
Project # 1936

A300

Date: 4/24/15



22 WEST ELEVATION
SCALE: 1/4" = 1'-0"



24 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. G.C. TO PROVIDE WOOD BLOCKING FOR ALL BUILDING MOUNTED SIGNAGE.
- B. ALL SIGNAGE UNDER SEPARATE PERMIT.
- C. TO COORDINATE LOCATION OF ADDRESS AND KNOX BOX WITH LOCAL FIRE DEPARTMENT.
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KEYED NOTES: INDICATED BY SYMBOL

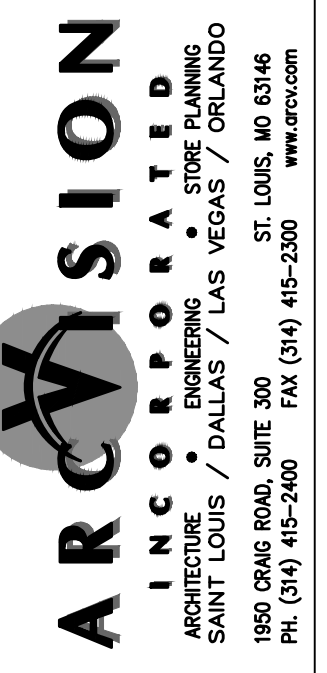
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- G1 ALUMINUM STOREFRONT - DARK BRONZE W/ 1" INSULATED GLAZING MANUF: API (TYP.)

As Presented at
Genoa PC Mtg
04-27-15



ArcVision, Inc.
1950 CRAIG ROAD, SUITE 300
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RG Properties - Shell Package
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Revisions:

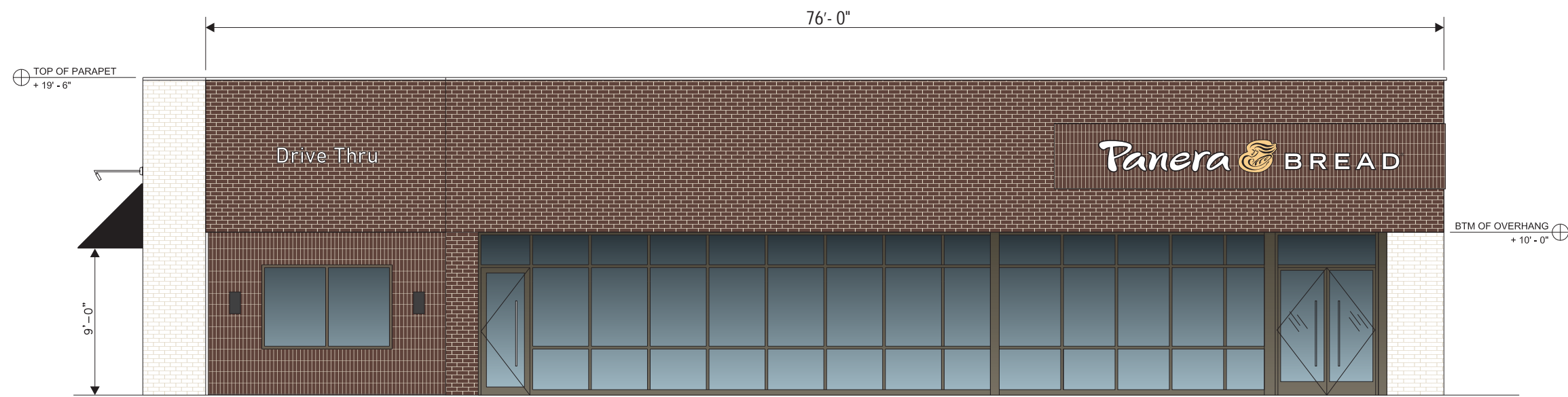
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BID/PERMIT

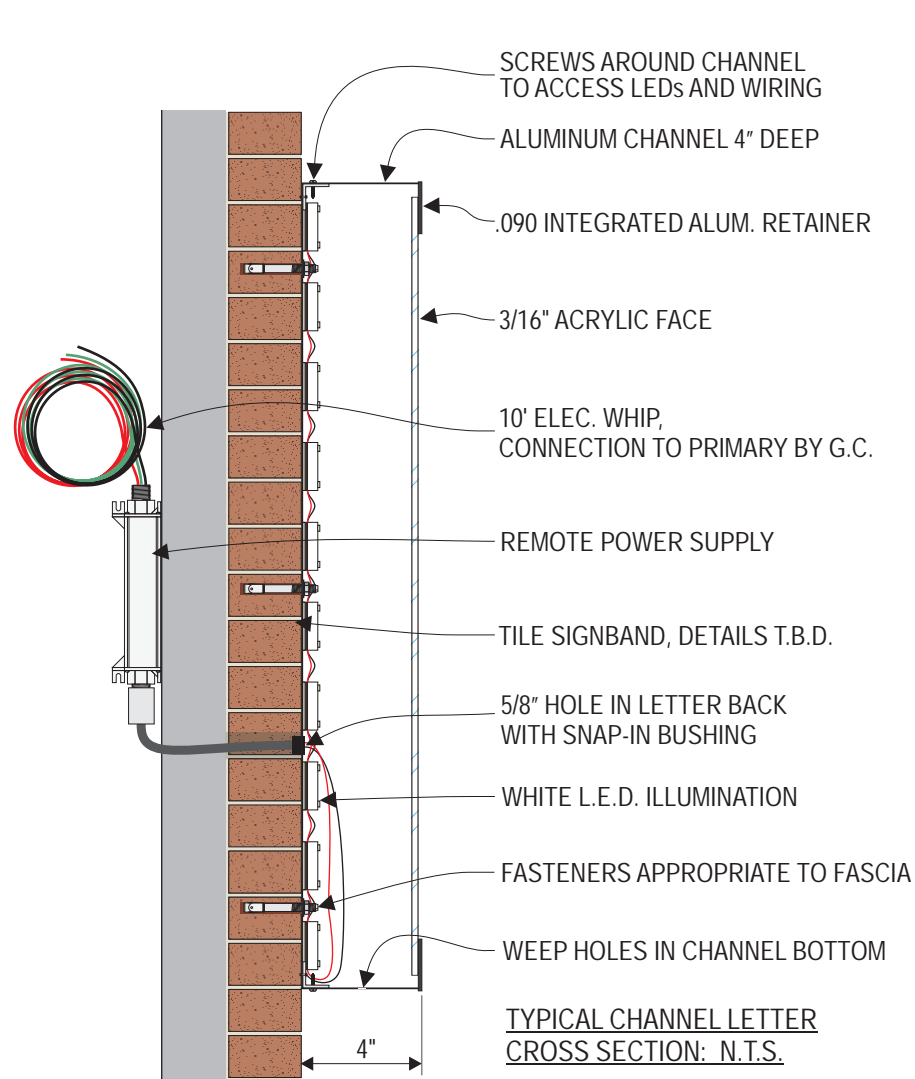
Project # 1936

Date: 4/24/15

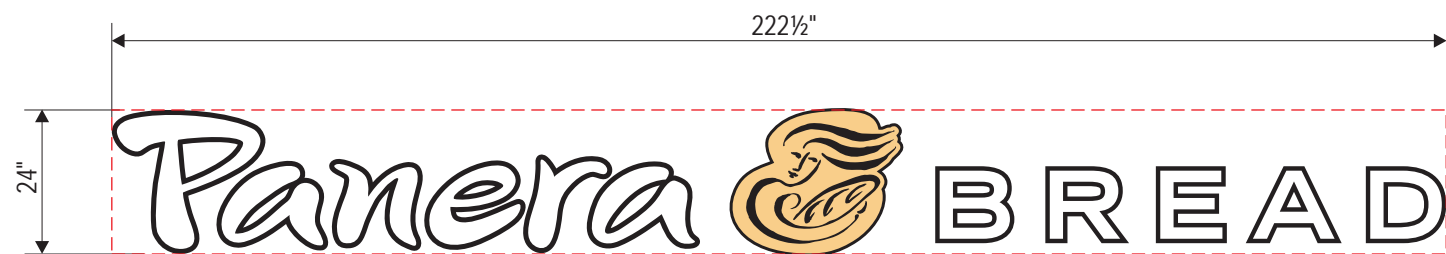




EAST (LATSON ROAD) ELEVATION: 1/8" = 1'-0"



TYPICAL CHANNEL LETTER CROSS SECTION: N.T.S.



SIGN ELEVATION: 3/8" = 1'-0"

37.08 SQ.FT.

NON-COMPLIANT IN # of SIGNS

INTERNALLY ILLUMINATED CHANNEL LETTERS & MOTHER BREAD LOGO AND "Drive Thru" OVAL

- "PANERA BREAD" & "Drive Thru" LETTERS:
 - (#7328 WHITE) 3/16" ACRYLIC FACES
- MOTHER BREAD LOGO:
 - (CLEAR) 3/16" ACRYLIC FACE
 - BACKSPRAYED PMS 1355u
 - (BLACK 230-22) VINYL LOGO DETAIL
- ALL:
 - .090 ALUM. INTEGRATED RETAINERS
 - 4" DEEP ALUM. RETURNS PAINTED BLACK
 - .040 ALUM. LETTER BACKS
 - (WHITE) L.E.D. ILLUMINATION
 - LOW VOLTAGE POWER SUPPLIES
 - U.L. AND MFG. LABELS
 - WEEP HOLES REQUIRED



SIGN ELEVATION: 3/8" = 1'-0"

6.17 SQ.FT.

SIGN CODE ALLOWANCE:

Wall signs: 10% of wall area to which affixed.
 1 per business, 2nd sign allowed for corner lot.
 Individual channel letters only.
 No panels, or cabinet signs.
 Measure with smallest single parallelogram.

19.5 x 76 = 1482 x 10% = 148 sq. ft. allowed.

ARTWORK EXCLUSIVE PROPERTY OF
 SINCE 1917

MANDEVILLE SIGN
making your mark.
 676 GEORGE WASHINGTON HIGHWAY
 LINCOLN, RI 02865-4255
 401-334-9100 PHONE 401-334-7799 FAX
 www.mandevillesign.com WEB

APPROVALS
 Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

1936_Color renderings_04-03-15.pdf

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT

Panera
 BREAD

STORE NUMBER #1936

Grand River Ave.
 & Latson Rd.
 HOWELL, MI

LOCATION

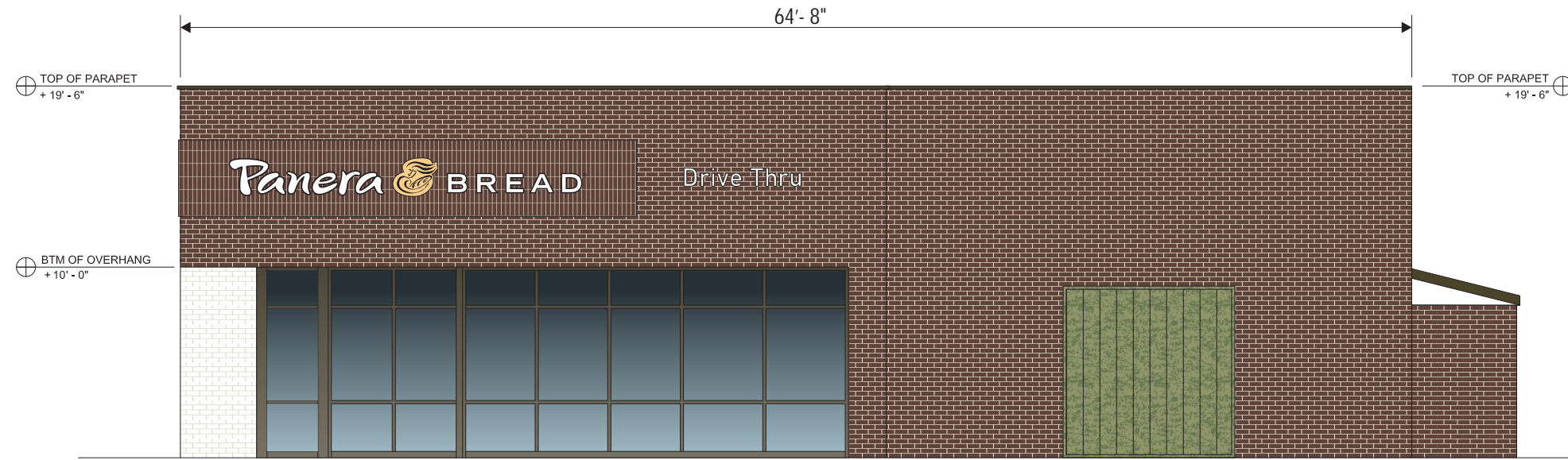
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WORK ORDER NUMBER(S)

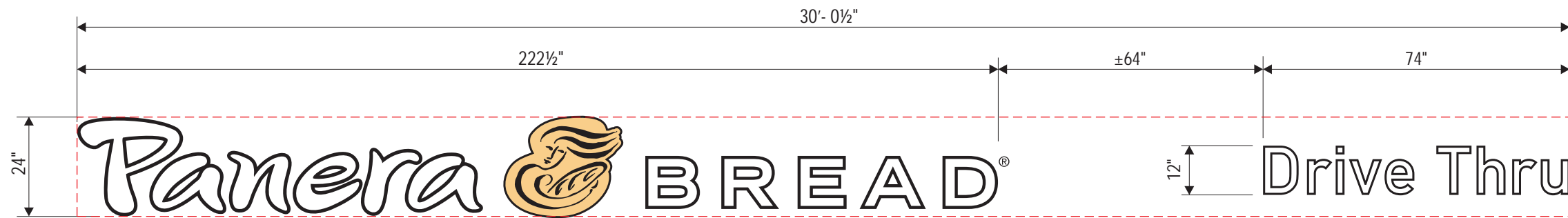
PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

Z-035.1
 107
 DRAWING NAME



NORTH (GRAND RIVER AVE.) ELEVATION: 1/8" = 1'-0"



SIGN ELEVATION: 3/8" = 1'-0"

60.08 SQ.FT.

COMPLIANT

19.5 x 64.66 = 1260 x 10% = 126 sq. ft. allowed.

ARTWORK EXCLUSIVE PROPERTY OF
SINCE 1917

MANDEVILLE SIGN
making your mark.

676 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865-4255

401-334-9100 PHONE 401-334-7799 FAX

WEB www.mandevillesign.com

APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT

Panera BREAD

STORE NUMBER **#1936**

Grand River Ave.
& Latson Rd.
HOWELL, MI

LOCATION

#27065-2

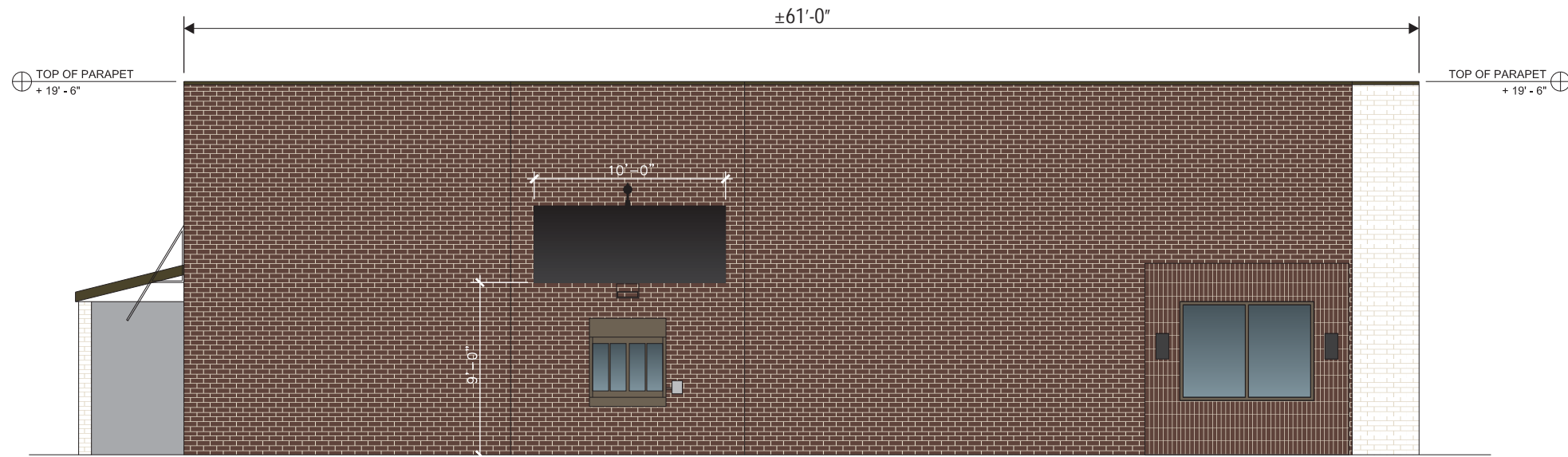
WORK ORDER NUMBER(S)

PROJECT MANAGER **Jim F.**

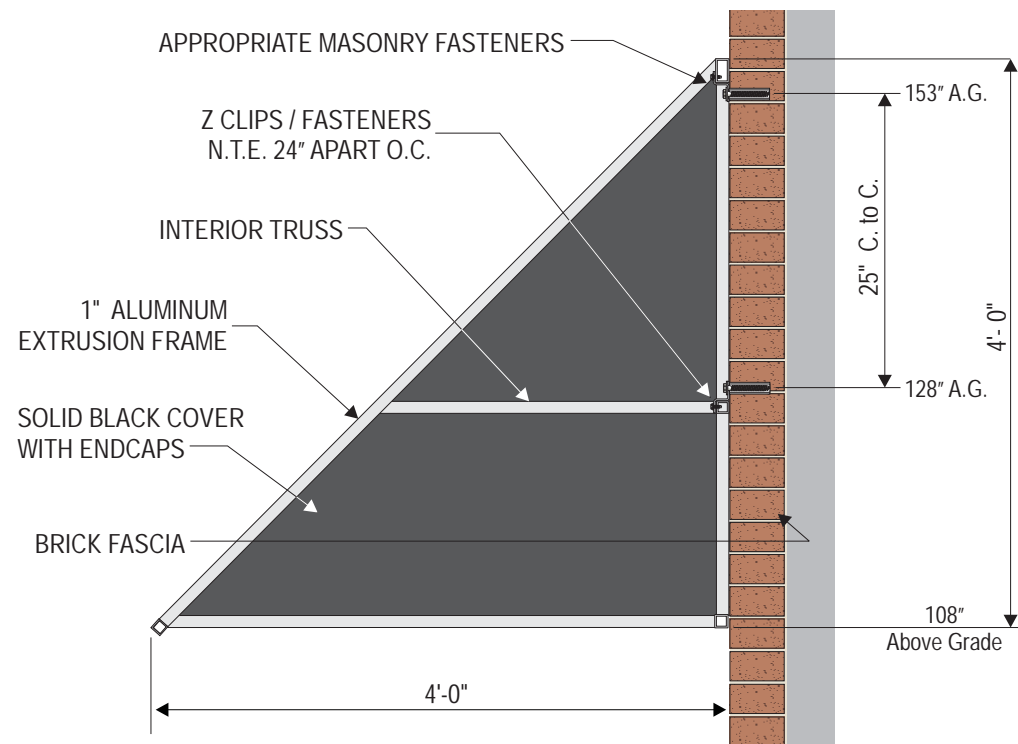
CHECKED BY	DATE	WD ARTIST	DATE
			03/18/15

Z-035.2

DRAWING NAME



SOUTH ELEVATION
1/8" = 1'-0"



DRIVE THRU AWNING SECTION ONLY: 3/4" = 1'-0"

 SUNBRELLA
BLACK
#4608

EXTERNALLY ILLUMINATED DRIVE THRU AWNING:

- ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED BLACK
- TRUSS SPACING N.T.E. 36" APART O.C.
- SUNBRELLA BLACK #4608 FABRIC COVER
- BLACK PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS

ARTWORK EXCLUSIVE PROPERTY OF
SINCE 1917



MANDEVILLE SIGN
making your mark.

676 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
PHONE FAX

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APPROVALS
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BY	DATE
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BY	DATE
Quality Control	
BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
2			
3			
4			
5			
6			
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DO NOT SCALE DRAWING

CLIENT



Panera
BREAD®

STORE NUMBER **#1936**

**Grand River Ave.
& Latson Rd.
HOWELL, MI**

LOCATION

#27065-2

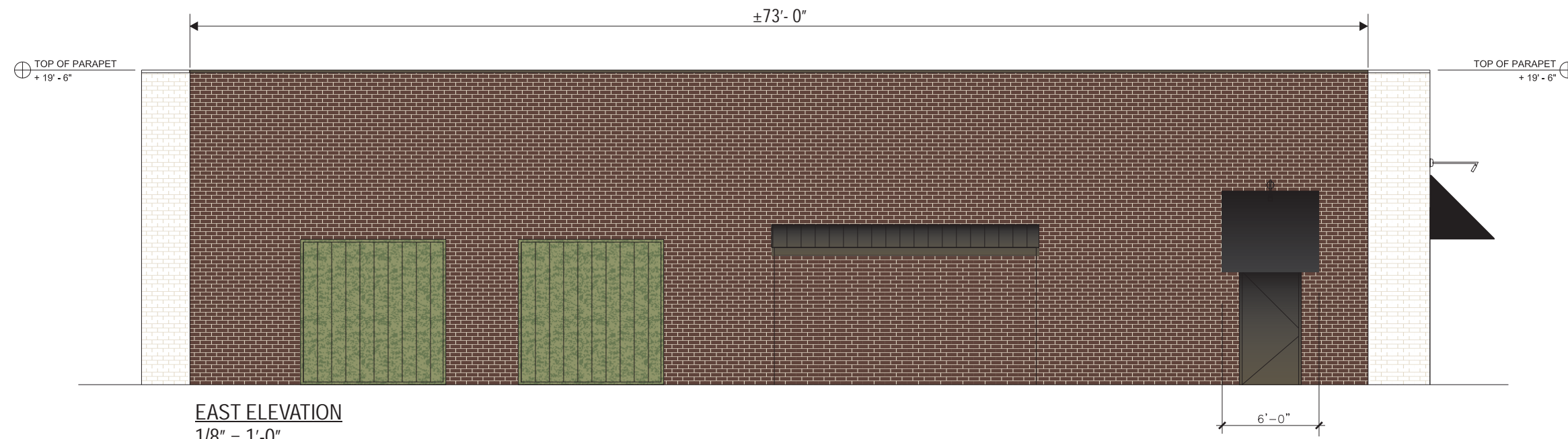
WORK ORDER NUMBER(S)

PROJECT MANAGER **Jim F.**

CHECKED BY	DATE	WD ARTIST	DATE
			03/18/15

Z-035.3

DRAWING NAME

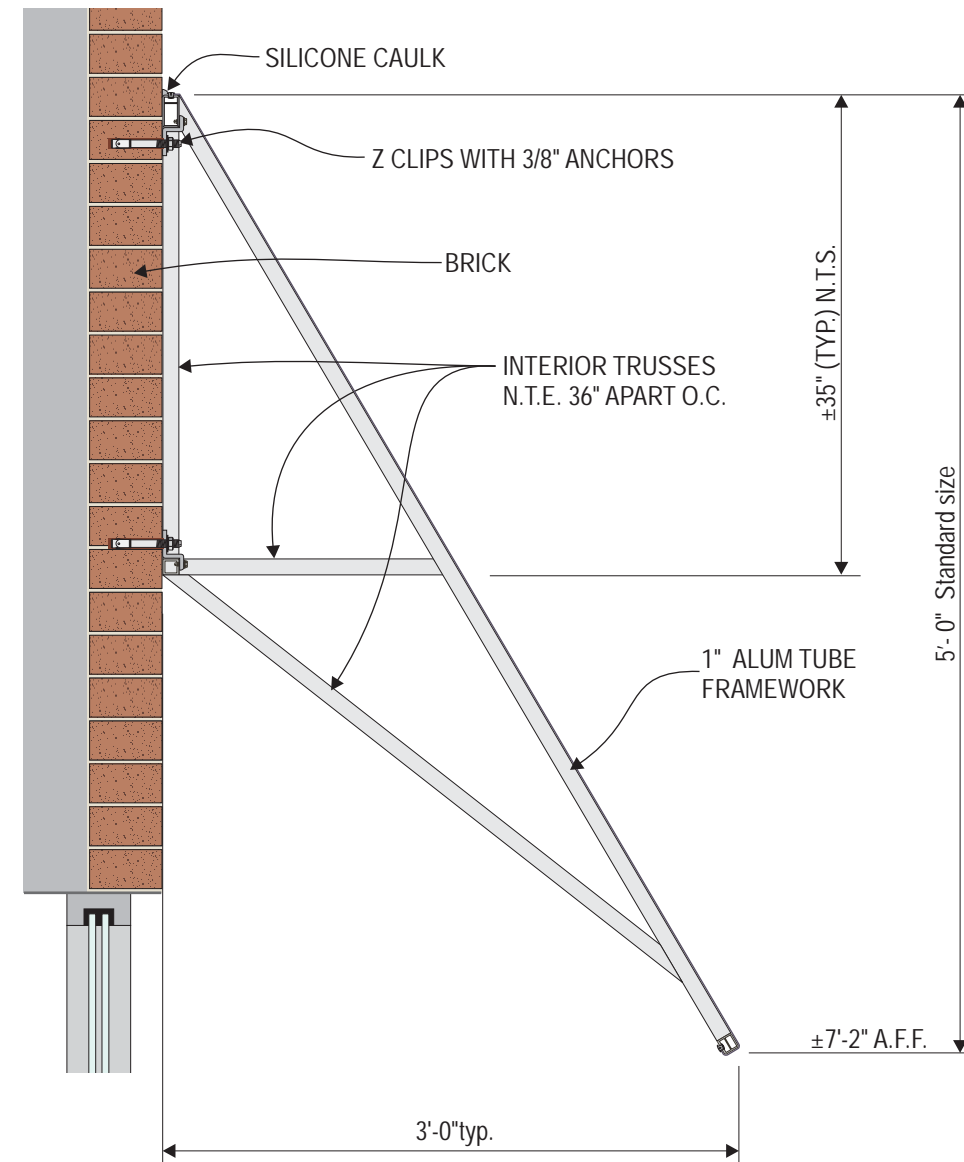


EAST ELEVATION
1/8" = 1'-0"

 SUNBRELLA
BLACK
4608

EXTERNALLY ILLUMINATED SERVICE DOOR AWNING:

- 1" SQ. ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED BLACK
- TRUSS SPACING N.T.E. 36" APART O.C.
- SUNBRELLA BLACK #4608 FABRIC COVER:
- BLACK PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE 2" x 6" BLOCKING AS NECESSARY



AWNING FRAME SECTION: 1" = 1'-0"

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LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
PHONE FAX
www.mandevillesign.com

APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
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DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #1936
Grand River Ave.
& Latson Rd.
HOWELL, MI

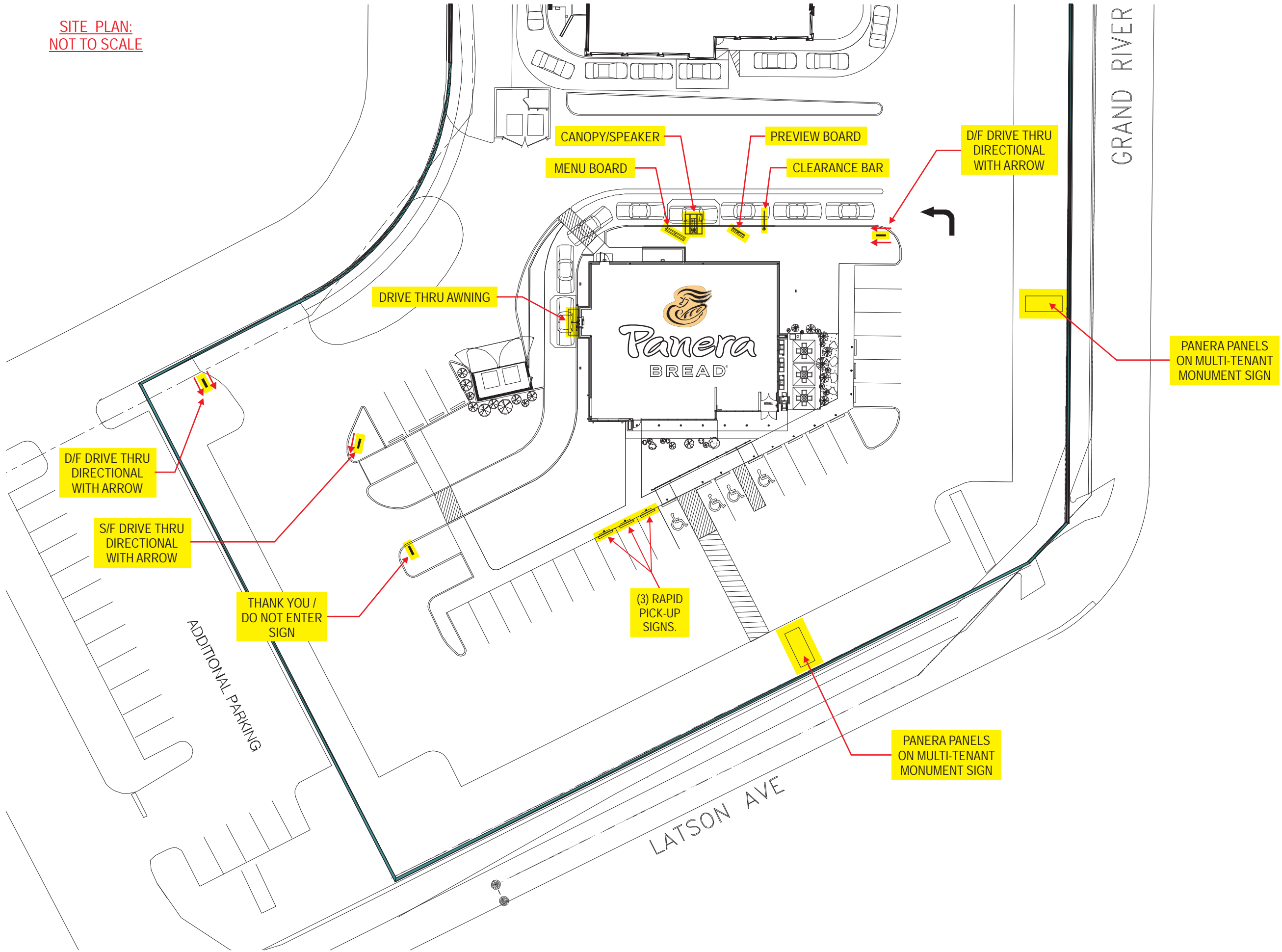
LOCATION
#27065-2
WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST DATE
03/18/15

Z-035.4
110
DRAWING NAME

**SITE PLAN:
NOT TO SCALE**



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VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
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DO NOT SCALE DRAWING

CLIENT



#1936
STORE NUMBER

Grand River Ave.
& Latson Rd.
HOWELL, MI

LOCATION

#27065-2
WORK ORDER NUMBER(S)

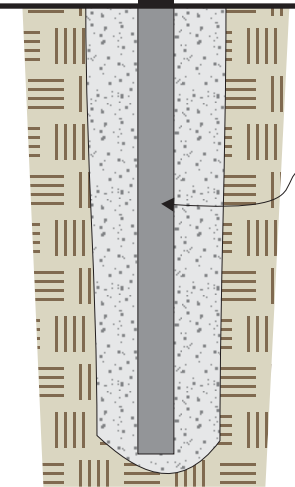
PROJECT MANAGER **Jim F.**

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

Z-035.5
DRAWING NAME



D/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO

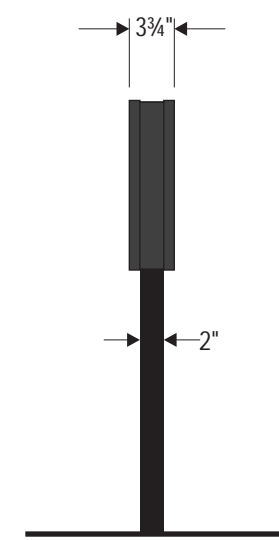


DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING

DIRECTIONAL SIGNS
3/4" = 1'-0"

SIGN CODE ALLOWANCE:

Logos are allowed.
4 sq.ft. max. each.
3 ft. max. height



DIRECTIONAL SIGN
END VIEW
3/4" = 1'-0"

INTERNALLY ILLUMINATED DIRECTIONAL SIGNS:

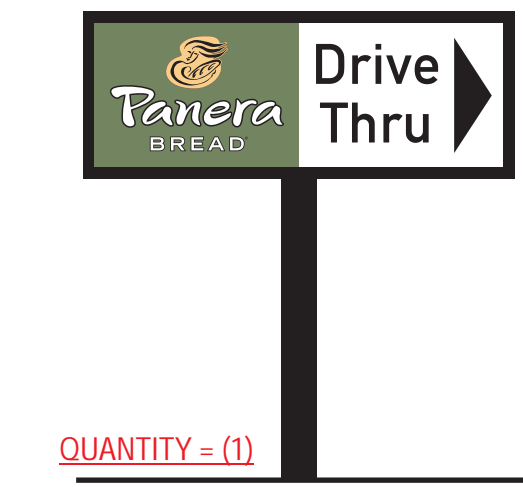
- (BLACK) PAINTED 3/4" DEEP .063 ALUM. RETURNS & 1" ALUM. RETAINERS
- (CLEAR) POLYCARBONATE FACES
- (PANTONE 5757U GREEN) OPAQUE BACKGROUND
- (WHITE) COPY WITH (BLACK) OUTLINES
- (PANTONE 1355 PEACH) ARROWS IF REQUIRED
- (WHITE) L.E.D. ILLUMINATION
- ELECTRICAL REQUIREMENTS: .5 AMPS EACH @ 120 VOLTS
- (BLACK) 2" DEEP X 3" WIDE X 1/4" WALL ALUMINUM TUBE POSTS
- (BLACK) PAINTED FINISHED .080 ALUM. BACKS ON SINGLE FACE SIGNS
- DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING



D/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO



QUANTITY = (2)



QUANTITY = (1)
S/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
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DO NOT SCALE DRAWING

CLIENT

Panera BREAD

STORE NUMBER #1936

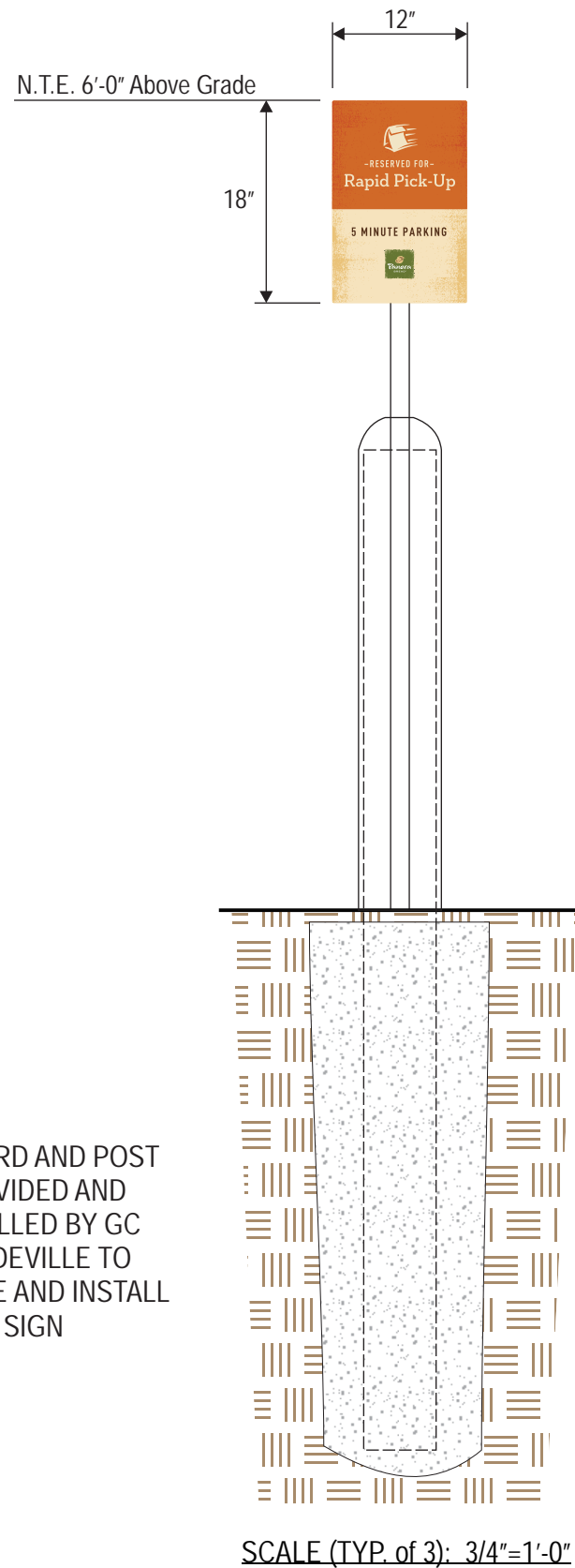
LOCATION
Grand River Ave.
& Latson Rd.
HOWELL, MI

WORK ORDER NUMBER(S) #27065-2

PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST DATE 03/18/15

DRAWING NAME Z-035.6
112



BOLLARD AND POST PROVIDED AND INSTALLED BY GC MANDEVILLE TO PROVIDE AND INSTALL SIGN



SCALE: 1 1/2" = 1'-0"

(3) REQUIRED - S/F PARKING SIGNS

SINGLE-SIDED TRAFFIC CONTROL SIGNS:

- WHITE .080 ALUMINUM PANELS (DO NOT PRE-DRILL HOLES)
- REFLECTIVE, DIGITALLY PRINTED VINYL GRAPHICS WITH CLEAR OVERLAMINATE
- POST & BOLLARD INSTALLATION AS SHOWN
- FREE FORMED CONCRETE FOOTINGS

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APPROVALS
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Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
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DO NOT SCALE DRAWING

CLIENT

Panera
BREAD®

STORE NUMBER **#1936**

Grand River Ave.
& Latson Rd.
HOWELL, MI

LOCATION

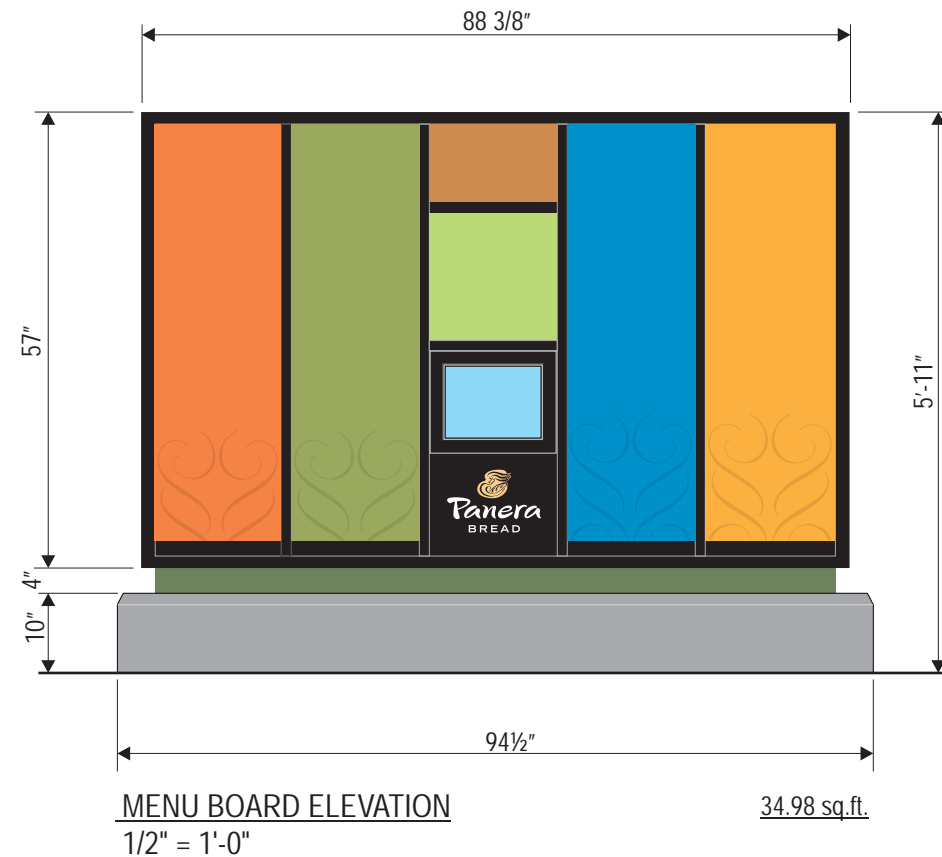
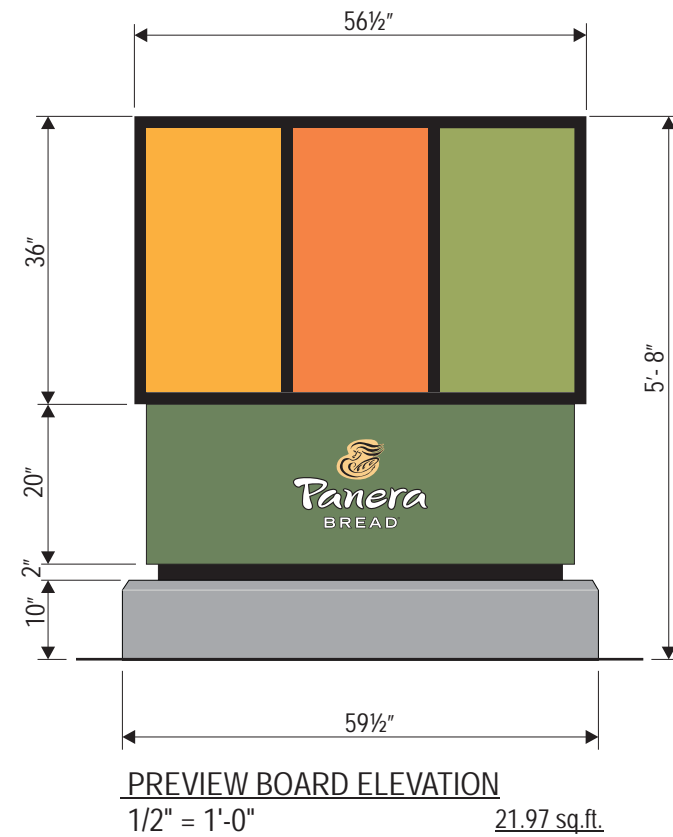
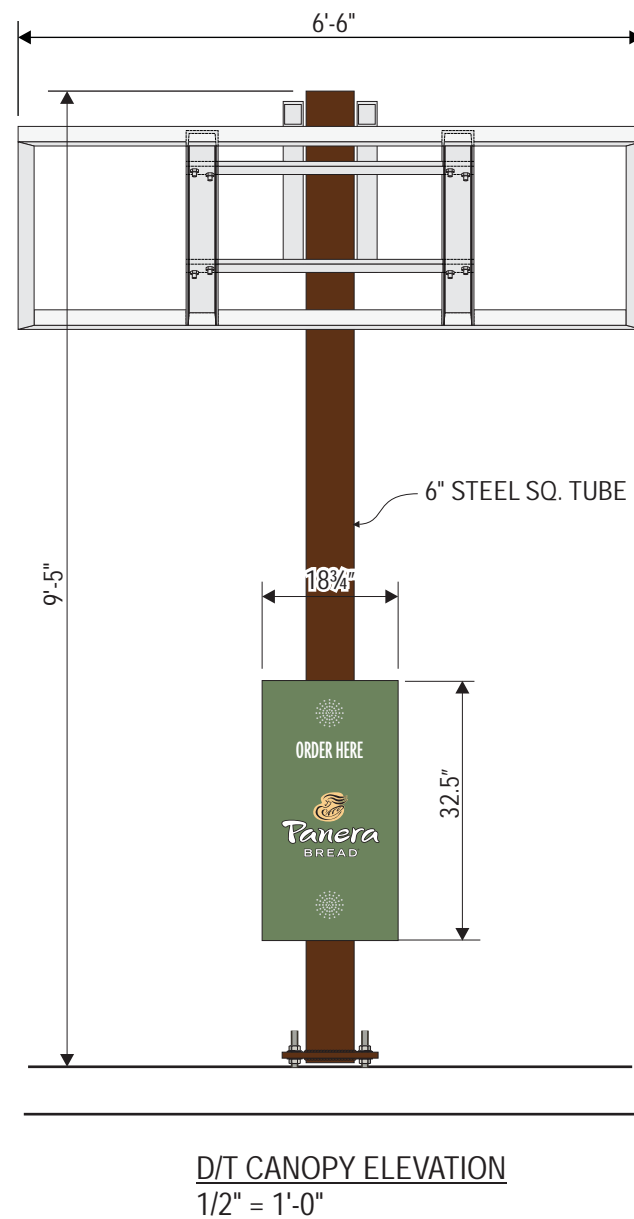
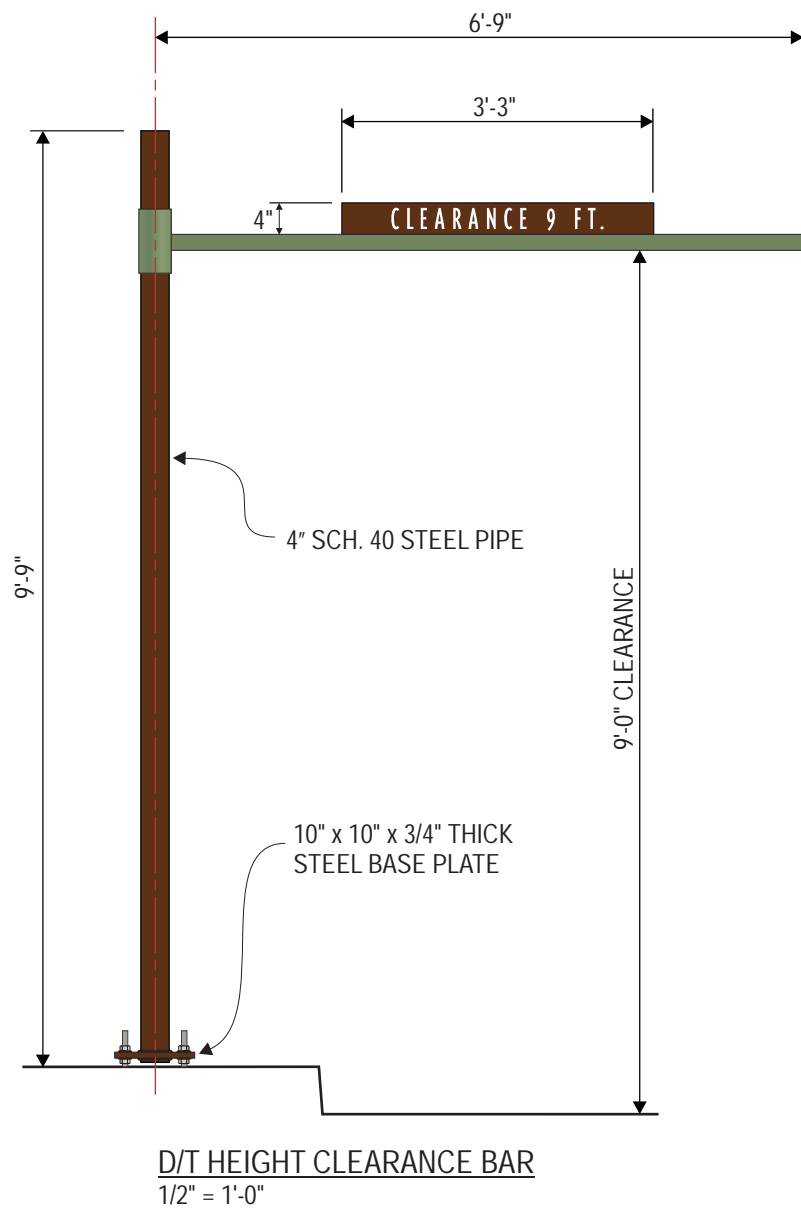
WORK ORDER NUMBER(S) **#27065-2**

PROJECT MANAGER **Jim F.**

CHECKED BY	DATE	WD ARTIST	03/18/15
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Z-035.7
113

DRAWING NAME



PREVIEW BOARD & MENU BOARD SIGN ALLOWANCE = 16.0 SQ.FT. EA. NON-COMPLIANT

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

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DO NOT SCALE DRAWING

CLIENT

Panera BREAD

STORE NUMBER #1936

Grand River Ave.
& Latson Rd.
HOWELL, MI

LOCATION

#27065-2

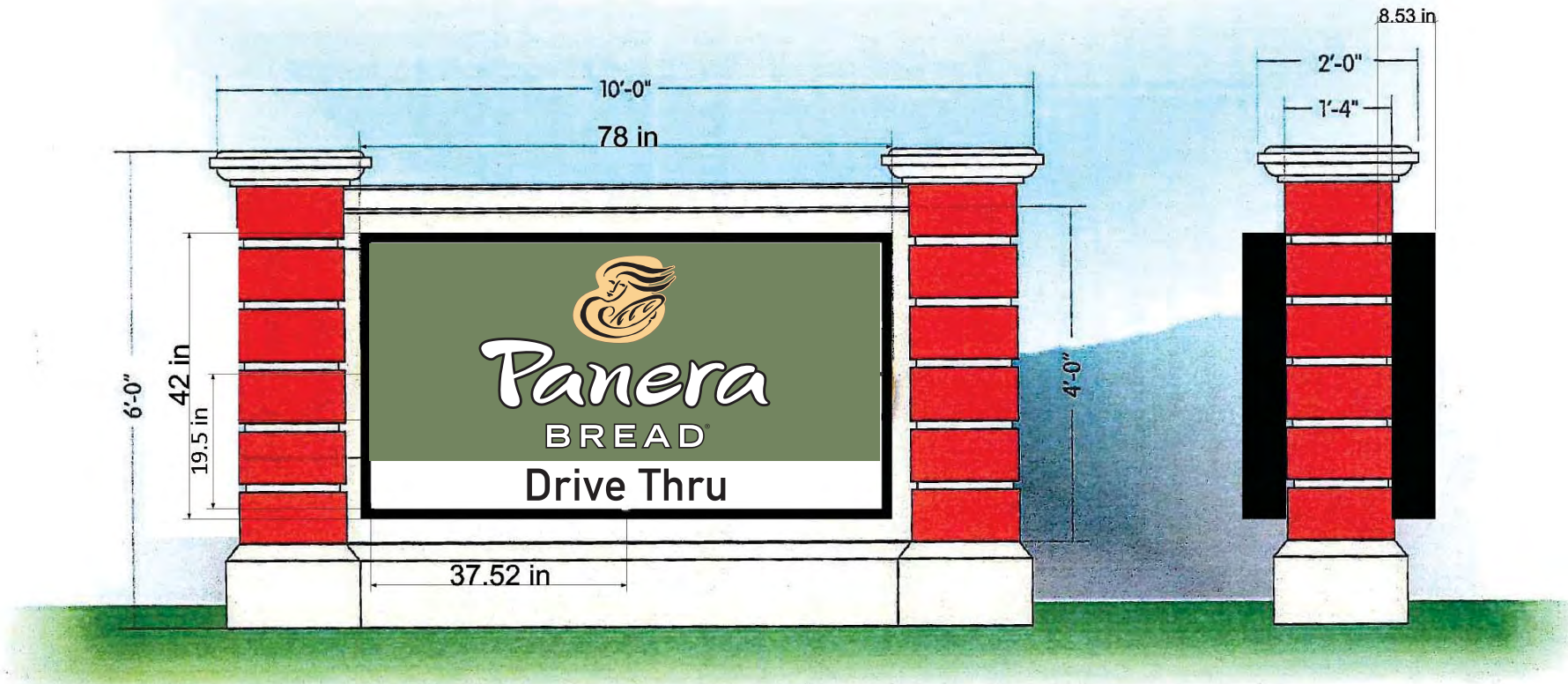
WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

Z-035.8
114

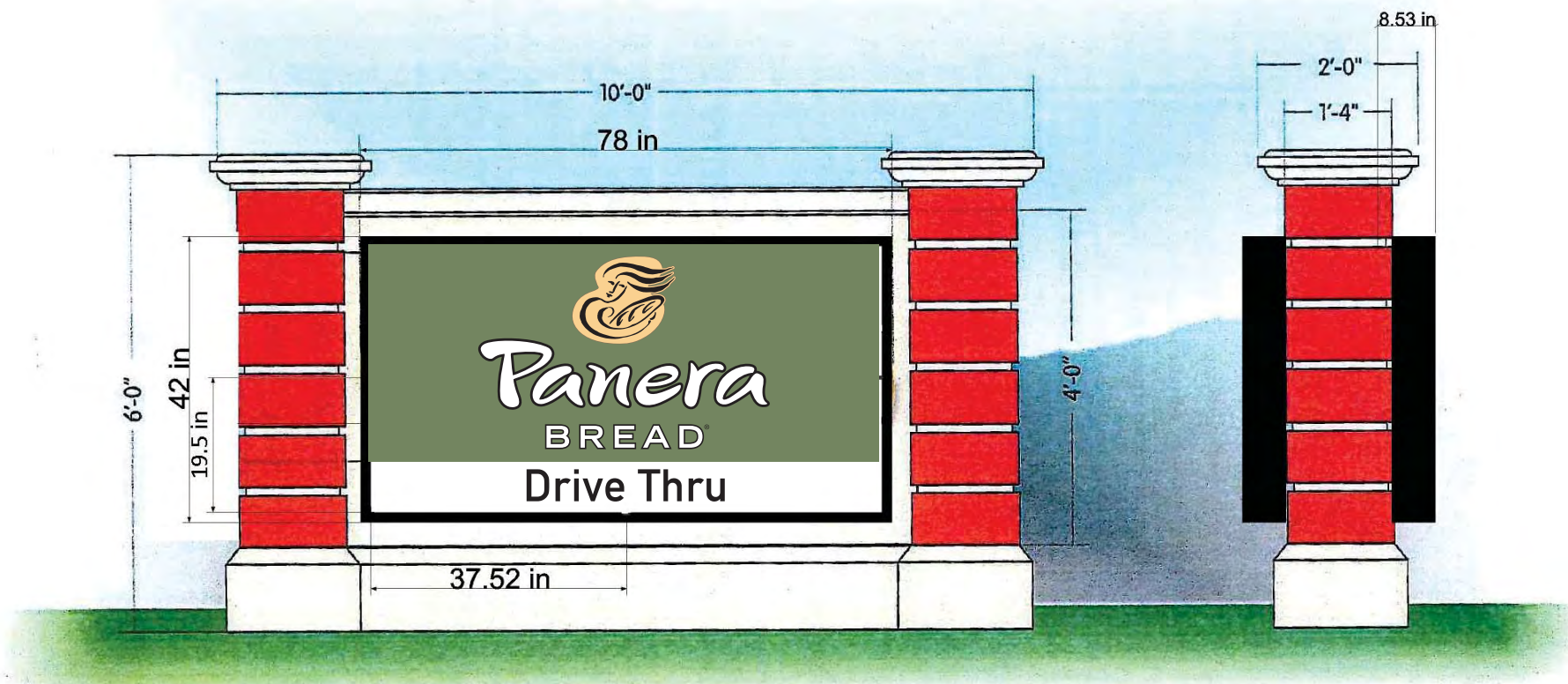
DRAWING NAME



PANERA BREAD PANELS (4) ON LANDLORD MONUMENT SIGNS (2):

- FACE MATERIAL PER LANDLORD SPECIFICATIONS
- FACE BACKGROUND COLOR: MATCH PANTONE #5757u GREEN (OPAQUE)
- (WHITE) "PANERA BREAD" w/ (BLACK) OUTLINES
- (PMS-1355u PEACH) MOTHER BREAD w/ (BLACK) LOGO DETAILS
- (WHITE) "®" REGISTERED SYMBOL
- (BLACK) "DRIVE-THRU" LETTERS ON (WHITE) BACKGROUND

NOTE: PANERA BREAD TO HAVE TOP PANEL ON ONE MONUMENT SIGN AND BOTTOM PANEL ON THE OTHER. BOTH SIGNS ARE 2 SIDED



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APPROVALS
 Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	GL	rev. monument sign layout	04/03/15
2			
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DO NOT SCALE DRAWING

CLIENT

Panera BREAD

STORE NUMBER #1936

Grand River Ave.
 & Latson Rd.
 HOWELL, MI

LOCATION

#27065-2

WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

Z-035.9
 115

DRAWING NAME

2" SSL WALL-MOUNT ACCENT

The 2" SSL Wall-mount Accent luminaire employs solid state technology to provide small scale LED solutions for canopy and sign lighting. All components are encapsulated inside a single small and attractive enclosure designed for superior thermal performance in weather resistant applications. Offered in a choice of light output levels, finishes, and color temperatures with a range of mounting and light control accessories, 2" SSL Accent will perform as specified. It's aluminum construction and solid-state light source will provide years of efficient service.

Construction:

- Separately sealed optical chamber and integral driver chamber IP67
- Easy "two-screw" integral driver access, does not disturb optical chamber seal
- Epoxy encapsulated electrical wire pass-through anti-wicking barrier
- Flush lens prevents puddles/water deposits in upward facing applications
- Yoke mount provides 360° horizontal, 200° vertical adjustment
- Locking horizontal pivot system to yoke features all stainless steel construction for exceptional strength
- Knurled knob tool-less vertical aiming lock, with tamper-resistant tooled locking after final aiming
- Black satin polyester powder paint is standard, Type 3 marine-grade anodized finish optional
- Finned heat-sink housing provides exceptional thermal management

Optics:

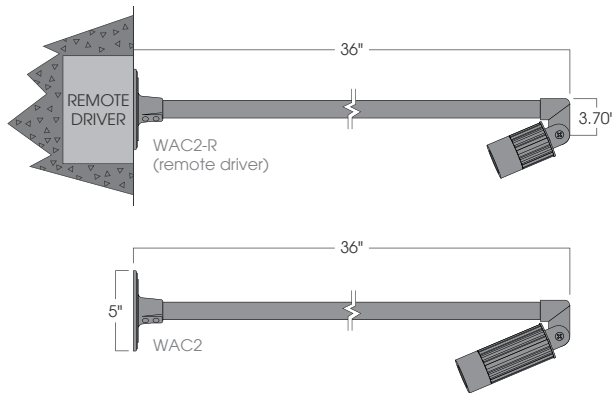
Lumen maintenance: 70% @ 50,000 hours
 Available in a variety of axial beams in combination with light shaping filters

HGS - Half external glare-shield field installable, 360° adjustable/lockable

Electrical:

Input voltage 120v-277v auto-sensing
 Dimmable at 120v only
 Reverse phase ELV
 Power consumption 10w

Labeling:



Ordering Information

Model #	CCT	Beam Spread	Finish	Accessories
WMA2 WMA2-R	27 (2700) 30 (3000) 35 (3500)	Symmetric Filter 15°, 20° 30°, 40° 60° Asymmetric Filter 60x10 60x30 90x60	BK - Black BA - Black Anodized	HGS2 Half Glare Shield

WMA2 LED



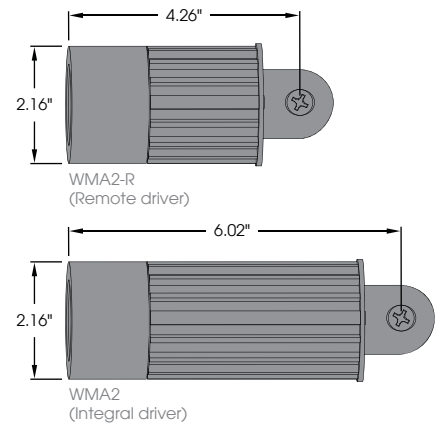
PROJECT:

TYPE:

10 year limited warranty
 AMERLUX LED



Electrostatic sensitive device. observe precautions for handling



Part String

Example: **WMA2 / 32 / 15 / BK**

2" SSL WALL-MOUNT ACCENT

WMA2
LED

amerlux
GLOBAL LIGHTING SOLUTIONS
exterior

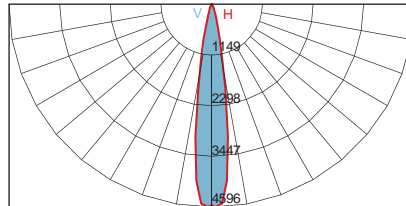
TYPE:



Data represents the use of light shaping filters
Complete photometric data (ies format) available upon request

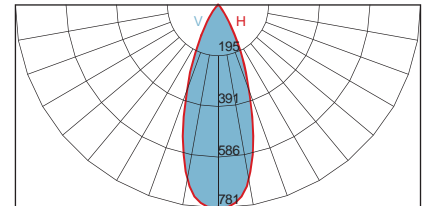
LUMINAIRE	LUMENS
WMA2-30-15	498
WMA2-30-30	378
WMA2-30-40	337
WMA2-30-60	328
WMA2-30-60X10	385
WMA2-30-60X30	345
WMA2-30-90X60	375

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-15.IES
AXIAL CANDELA DISPLAY



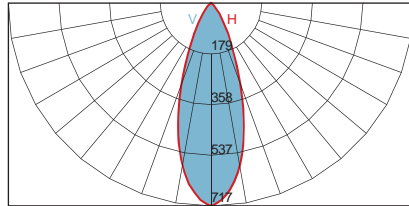
Maximum Candela=4596.332 Located At Horizontal Angle=-1, Vertical Angle=0
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-30 FIXED.IES
AXIAL CANDELA DISPLAY



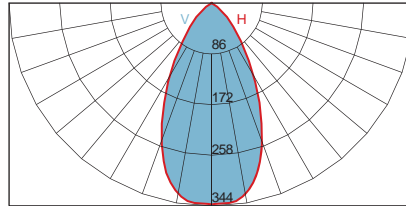
Maximum Candela=781.19 Located At Horizontal Angle=-1, Vertical Angle=-1
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-40 FIXED.IES
AXIAL CANDELA DISPLAY



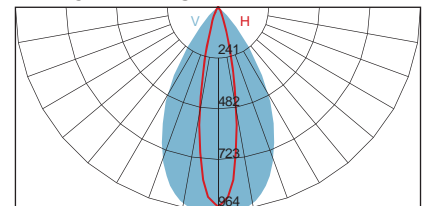
Maximum Candela=716.649 Located At Horizontal Angle=0, Vertical Angle=0
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-60 FIXED.IES
AXIAL CANDELA DISPLAY



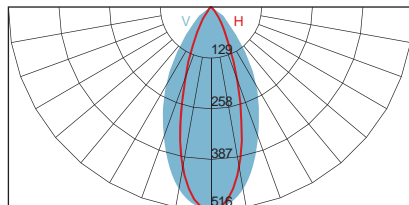
Maximum Candela=344.443 Located At Horizontal Angle=-3, Vertical Angle=3
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-60X10 FIXED.IES
AXIAL CANDELA DISPLAY



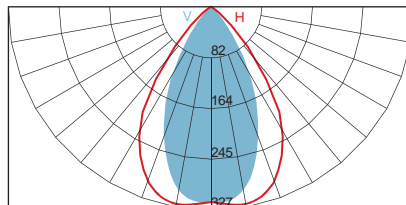
Maximum Candela=964.386 Located At Horizontal Angle=-7, Vertical Angle=0
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-60X30.IES
AXIAL CANDELA DISPLAY



Maximum Candela=515.806 Located At Horizontal Angle=0, Vertical Angle=0
H - Horizontal Axial Candela
V - Vertical Axial Candela

IES FLOOD REPORT
PHOTOMETRIC FILENAME: AC2-30-90X60.IES
AXIAL CANDELA DISPLAY



Maximum Candela=327.191 Located At Horizontal Angle=-11, Vertical Angle=5
H - Horizontal Axial Candela
V - Vertical Axial Candela

Notes:

Type:
Job:
Fixture Catalog number:

____ / ____ / ____
Fixture Electrical Module Finish

See page 2

Fixture Options:

Ordered Separately from Fixture
See pages 3

Mounting Options:

Ordered Separately from Fixture
See pages 4-6

Approvals:

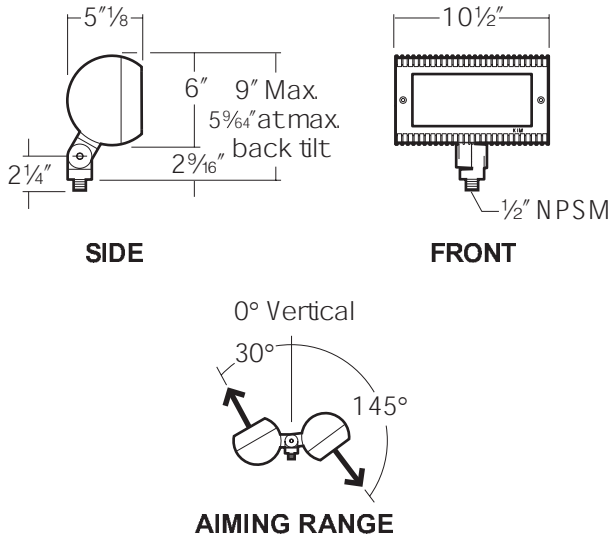
Date:
Page: 1 of 6

Specifications

Dimensions

CFL Models
50 to 70 watt H.I.D.
Medium Base Lamps
13 to 42 watt Compact Fluorescent
60 watt Incandescent
150 watt Halogen

Maximum weight 13 lb



Housing: One piece die-cast low copper aluminum in a cylindrical shape with integral cooling fins over the entire length, and .100" minimum wall thickness. One piece silicone gasket between housing and lens frame.

Lens Frame: One piece die-cast low copper aluminum with integral cooling fins, .100" minimum wall thickness, mates with housing to create a continuous cylindrical shape. 5/32" thick clear tempered glass lens is sealed to the lens frame by a one piece stamped silicone gasket. Lens frame secures to housing by two stainless steel recessed captive allen-head screws.

Swivel: Die-cast aluminum with integral locking teeth providing 6" adjustment intervals and 1/2" NPSM plus solid brass locknut for mounting. Clear anodized prior to chromate conversion coating for added corrosion resistance.

Fasteners: Stainless steel, recessed captive allen-head screws.

Reflector: Specular Alzak® aluminum optical components mounted to aluminum frame.

Socket: 4KV porcelain medium base (T-10 Incandescent and H.I.D.); T-4 Mni-can (Halogen); 13w GX23-2 2-pin base, 42w GX24q-3 4-pin base (Fluorescent).

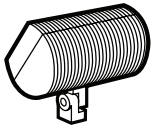
Ballast: All electrical components are UL and CSA recognized with leads extending out of the swivel splice compartment. Normal power factor ballast rated -32°F starting (13 watt Twin Tube Fluorescent); High power factor ballast rated 0°F starting (42 watt Triple Tube Fluorescent); Reactor - High power factor with starting temperatures of -40°F for HPS and -20°F for MH lamp modes. For MH/120 volt, a step-up transformer is provided. For HPS/277 volt, a step-down transformer is provided (H.I.D.).

Finish: Super TGIC thermoset polyester powder coat paint; 25 mil nominal thickness, applied over a chromate conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, Verde Green or White. Custom colors are available and subject to additional charges, minimum quantities and longer lead times. Consult representative.

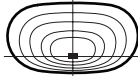
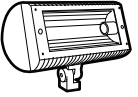

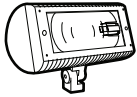
Certification: UL Listed to U.S and Canadian safety standards for wet locations. Fixture manufacturer shall employ a quality program that is registered to ISO 9001 standard.

CAUTION: Fixtures must be grounded in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury

Type:
 Job:



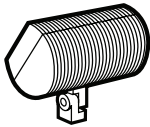
Standard Features

<p>Fixture Cat. No. designates CFL fixture and beam pattern.</p> <p>Single fixture EPA: 0.3 (45° tilt) 0.5 (Face on)</p>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Beam Pattern: Wide Flood Cat. No.: <input type="checkbox"/> CFL1 </div> <div style="text-align: center;">   Beam Pattern: Narrow Spot Cat. No.: <input type="checkbox"/> CFL6 </div> </div>																																																					
<p>Electrical Module</p> <p>HPS = High Pressure Sodium MH = Metal Halide PL = Compact Fluorescent INC = Incandescent HAL = Halogen</p> <table border="1" style="margin-top: 20px;"> <thead> <tr> <th>Lamp Watts</th> <th>Lamp Type</th> <th>Line Volts</th> </tr> </thead> <tbody> <tr> <td>50</td> <td>HPS</td> <td>277</td> </tr> </tbody> </table>	Lamp Watts	Lamp Type	Line Volts	50	HPS	277	<p>Cat. Nos. for Electrical Modules available:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th><input type="checkbox"/> 50HPS120 <input type="checkbox"/> 50HPS277</th> <th><input type="checkbox"/> 70HPS120 <input type="checkbox"/> 70HPS277</th> <th><input type="checkbox"/> 50MH120 <input type="checkbox"/> 50MH277</th> <th><input type="checkbox"/> 70MH120 <input type="checkbox"/> 70MH277</th> </tr> </thead> <tbody> <tr> <td>Lamp</td> <td>E-17, Clear</td> <td>E-17, Clear</td> <td>E-17, Clear</td> <td>E-17, Clear</td> </tr> <tr> <td>Socket</td> <td>Medium Base</td> <td>Medium Base</td> <td>Medium Base</td> <td>Medium Base</td> </tr> <tr> <td>ANSI Ballast Type</td> <td>S-68</td> <td>S-62</td> <td>M-110</td> <td>M-98</td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th><input type="checkbox"/> 13PL120 <input type="checkbox"/> 13PL277</th> <th></th> </tr> </thead> <tbody> <tr> <td>Lamp</td> <td>Twin Tube, Coated</td> <td>NOTE: For CFL1 only.</td> </tr> <tr> <td>Socket</td> <td>Gx23-2 2-pin Base</td> <td></td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th><input type="checkbox"/> 42PL120 <input type="checkbox"/> 42PL277</th> <th></th> </tr> </thead> <tbody> <tr> <td>Lamp</td> <td>Triple Tube, Coated</td> <td>NOTE: For CFL1 only. 42PL operates 26, 32, and 42 watt lamps at 120 thru 277 volts (50-60 Hz).</td> </tr> <tr> <td>Socket</td> <td>Gx24q-3 4-pin Base</td> <td></td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th><input type="checkbox"/> 60INC120</th> <th><input type="checkbox"/> 150HAL120</th> </tr> </thead> <tbody> <tr> <td>Lamp</td> <td>T-10, Coated</td> <td>T-4, Clear</td> </tr> <tr> <td>Socket</td> <td>Medium Base</td> <td>Mini-can Base</td> </tr> </tbody> </table>		<input type="checkbox"/> 50HPS120 <input type="checkbox"/> 50HPS277	<input type="checkbox"/> 70HPS120 <input type="checkbox"/> 70HPS277	<input type="checkbox"/> 50MH120 <input type="checkbox"/> 50MH277	<input type="checkbox"/> 70MH120 <input type="checkbox"/> 70MH277	Lamp	E-17, Clear	E-17, Clear	E-17, Clear	E-17, Clear	Socket	Medium Base	Medium Base	Medium Base	Medium Base	ANSI Ballast Type	S-68	S-62	M-110	M-98		<input type="checkbox"/> 13PL120 <input type="checkbox"/> 13PL277		Lamp	Twin Tube, Coated	NOTE: For CFL1 only.	Socket	Gx23-2 2-pin Base			<input type="checkbox"/> 42PL120 <input type="checkbox"/> 42PL277		Lamp	Triple Tube, Coated	NOTE: For CFL1 only. 42PL operates 26, 32, and 42 watt lamps at 120 thru 277 volts (50-60 Hz).	Socket	Gx24q-3 4-pin Base			<input type="checkbox"/> 60INC120	<input type="checkbox"/> 150HAL120	Lamp	T-10, Coated	T-4, Clear	Socket	Medium Base	Mini-can Base
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<p>Finish Super TGIC powder coat paint over a chromate conversion coating.</p>	<p>Color: Black Dark Bronze Light Gray Platinum Silver White ¹Custom Color</p> <p>Cat. No.: <input type="checkbox"/> BL-P <input type="checkbox"/> DB-P <input type="checkbox"/> LG-P <input type="checkbox"/> PS-P <input type="checkbox"/> WH-P <input type="checkbox"/> CC-P</p> <p>¹ Custom colors subject to additional charges, minimum quantities and extended lead times. Consult representative. Custom color description:</p>																																																					

Type:

Job:

Page: 3 of 6



Fixture Options

Ordered Separately from Fixture

Barn Doors

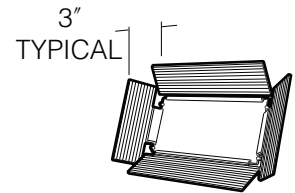
Cat. No. (see right)
 No Option

Extruded aluminum, fully adjustable doors with anti-reflection baffles. Individually swiveled and secured on a stainless steel frame. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides beam and glare control.

CAUTION: Not recommended for ground mounted fixtures in vandal prone areas.

Cat. No.

- BD-CFL/BL-P** Black
- BD-CFL/DB-P** Dark Bronze
- BD-CFL/LG-P** Light Gray
- BD-CFL/PS-P** Platinum Silver
- BD-CFL/WH-P** White



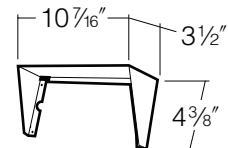
Fixed Hood

Cat. No. (see right)
 No Option

Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides moderate shielding for glare control.

Cat. No.

- FH-CFL/BL-P** Black
- FH-CFL/DB-P** Dark Bronze
- FH-CFL/LG-P** Light Gray
- FH-CFL/PS-P** Platinum Silver
- FH-CFL/WH-P** White



Full Shield

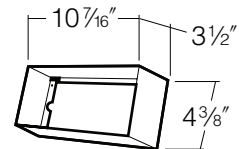
Cat. No. (see right)
 No Option

Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides moderate shielding for glare control.

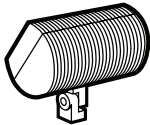
CAUTION: Do not use in locations where leaves and trash can collect inside shield.

Cat. No.

- FS-CFL/BL-P** Black
- FS-CFL/DB-P** Dark Bronze
- FS-CFL/LG-P** Light Gray
- FS-CFL/PS-P** Platinum Silver
- FS-CFL/WH-P** White



Type:
 Job:



Mounting Options

Ordered Separately from Fixture

Brass In-Grade Architectural Junction Box

Cat. No. (see right)
 No Option

Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume.

- JBR-2** (2) 1/2" NPT in bottom
- JBR-3** (2) 3/4" NPT in bottom
- JBR-21** (2) 1/2" NPT in sides, (2) 1/2" NPT in bottom
- JBR-24** (4) 1/2" NPT in sides, (2) 1/2" NPT in bottom

NOTE: All side taps provided with plugs.

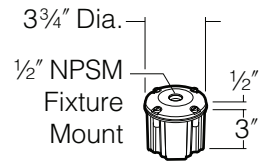
25 Year Limited Warranty:

Solid brass Junction Boxes are warranted for 25 years, from date of sale, against manufacturing defects and failure due to corrosion.

Application Notes

- Creates a flush-mounted appearance.
- May be cast in concrete for increased stability.

CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from Junction Box.



Brass In-Grade Staked Junction Box

Cat. No. (see right)
 No Option

Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume.

- JBR30** (2) 1/2" NPT in bottom, (2) 19" long stakes
- JBR32** (2) 1/2" NPT in bottom, 9' (SJTW-A) 3 wire cord and plug.

NOTE: **JBR32** for use with incandescent, halogen, and fluorescent fixtures only.

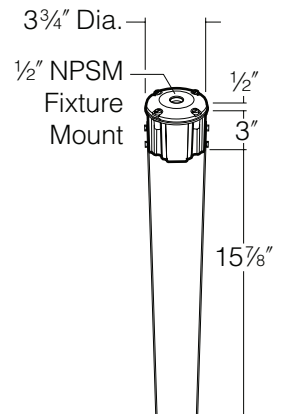
25 Year Limited Warranty:

Solid brass Junction Boxes are warranted for 25 years, from date of sale, against manufacturing defects and failure due to corrosion.

Application Notes

- Creates a flush-mounted appearance.
- May be cast in concrete for increased stability.

CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from Junction Box.



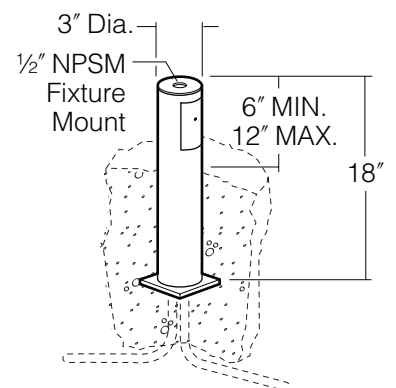
Stanchion Mount

Cat. No. (see right)
 No Option

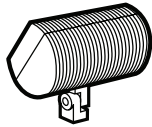
3" O.D. by .188" wall cast low copper aluminum with 1/2" NPSM fixture mount and hand hole with flush cover. Internal set screw fixture lock accessible through hand hole. Internal ground lug supplied with installed lead.

Cat. No.

- SM18/BL-P** Black
- SM18/DB-P** Dark Bronze
- SM18/LG-P** Light Gray
- SM18/PS-P** Platinum Silver
- SM18/WH-P** White



Type:
 Job:



Mounting Options

Ordered Separately from Fixture

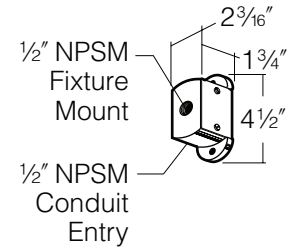
Surface Mount

Cat. No. (see right)
 No Option

Cast low copper aluminum with mounting ears for wood screw attachment to tree or wood structure. 5.5 cu in. splice area with gasketed cover. 1/2" NPSM fixture mount and 1/2" NPSM conduit or cord seal entry.

NOTE: Surface mount can be connected to conduit or outdoor cord with a waterproof cord seal (by others).

- Cat. No.
- J-27N/BL-P** Black
 - J-27N/DB-P** Dark Bronze
 - J-27N/LG-P** Light Gray
 - J-27N/PS-P** Platinum Silver
 - J-27N/WH-P** White

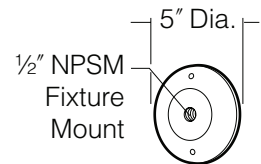


Architectural Wall Mount

Cat. No. (see right)
 No Option

Die-cast low copper aluminum with 1/2" NPSM fixture mount. Internal set screw provided for locking position. Canopy attaches to stainless steel wall plate for mounting to any standard electrical outlet box.

- Cat. No.
- JW/BL-P** Black
 - JW/DB-P** Dark Bronze
 - JW/LG-P** Light Gray
 - JW/PS-P** Platinum Silver
 - JW/WH-P** White

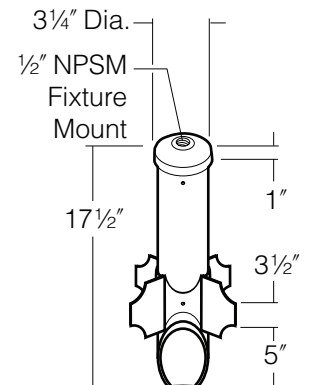


PowerPost™ by Engineered Products Co.

Cat. No. **EP17**
 No Option

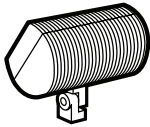
PVC fixture molded in black with 1/2" NPT mount is corrosion free and UV resistant. Replaces EMT, conduit connectors and weatherproof boxes. 100% shatter resistant against denting and cracking. Angled bottom to eliminate cable congestion.

NOTE: Should be used with a UL listed fixture and grounding means (i.e., third wire) suitable for use in wet locations.



Type:

Job:



Mounting Options

Ordered Separately from Fixture

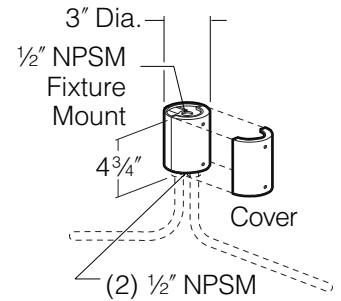
Architectural Junction Box

Cat. No. (see right)
 No Option

Die-cast low copper anodized aluminum cylindrical body and matching cover with 1/2" NPSM fixture mount. One piece molded silicone cover gasket. Captive countersunk cover screws. Internal set screw provided for locking position. Two 1/2" NPSM in bottom, 17 cu in. internal volume.

CAUTION: Junction Box must be installed high enough to avoid contact with soil or standing water.

- Cat. No.
- JB1/BL-P** Black
 - JB1/DB-P** Dark Bronze
 - JB1/LG-P** Light Gray
 - JB1/PS-P** Platinum Silver
 - JB1/WH-P** White

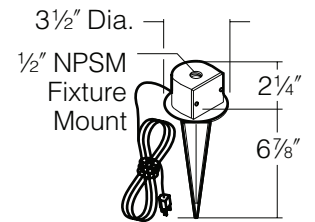


Portable Spear Mount

Cat. No. **J-25N**
 No Option

Cast iron with 1/2" NPSM fixture mount. Hot dip galvanized finish. 5.5 cu in. splice compartment. 9' (SJTW-A) 3 wire cord and plug.

NOTE: For use with incandescent, halogen, and fluorescent fixtures only.





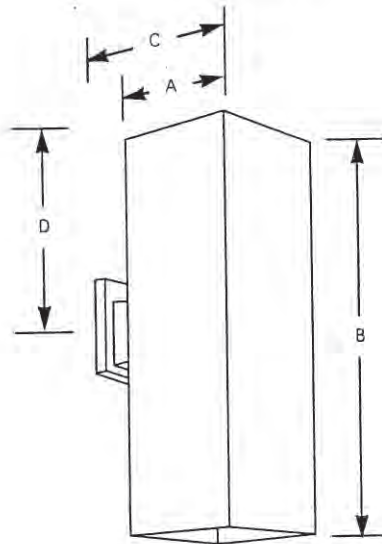
Incandescent

6" Square
Wall

Outdoor

 -20 -30 -31
 P5644

Catalog No.	Finish			Lamping	Dimensions (Inches)			
	Bronze	White	Black		A	B	C	D
P5644	-20	-30	-31	2-250w QPAR38, 150w BR40	6	18	8-7/8	8

**Specifications:**General

- Extruded aluminum .125" wall thickness one piece square cylinder
- Top open for up down lighting. P8797-31 top cover lens recommended when unit is used outdoors

Mounting

- Wall mounted
- Covers any standard outlet box
- Cast mounting bracket supplied attachment of unit to wall with one almost invisible set screw

Electrical

- Medium base porcelain nickel plated brass screw shell socket

Labeling

- UL-CUL Wet location listed only when P8797-31 top cover is used
- UL-CUL listed for indoor use without cover

Type: EXT1

Cat.No.: P5644-31

Lamp(s): (2) 75PAR30/CAP/NFL-130V

Progress Lighting
 Post Office Box 5704
 Spartanburg, South Carolina
 29304-5704

www.progresslighting.com

Rev. 8/99

Panera Bread
Outdoor Conceptual Review
2-20-07



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copyright 2007



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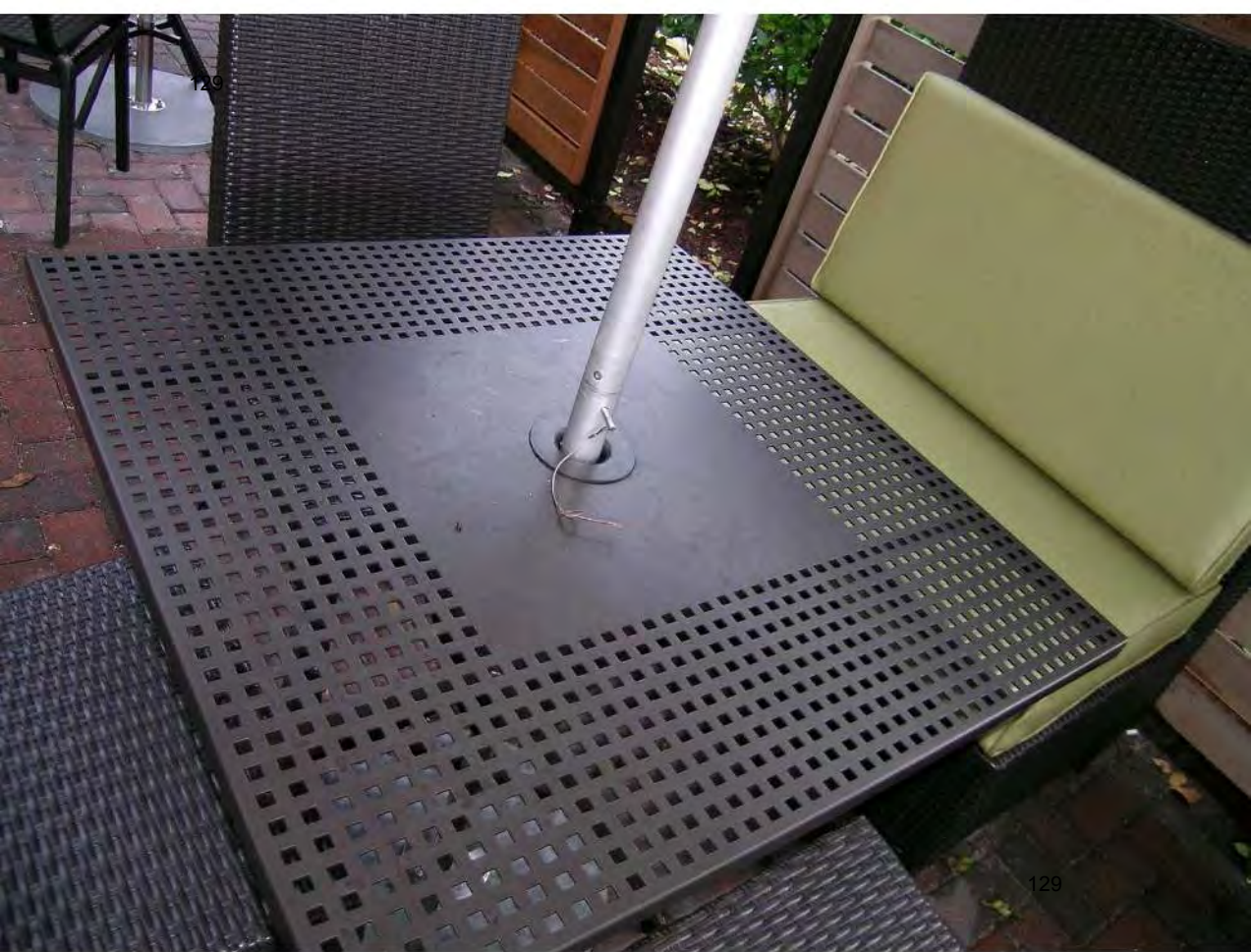


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As Presented
at PC Meeting
04/27/15

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bay master™ aluminum classic

promotional parasols

The Bay Master series of parasols with marine grade aluminum struts is our most durable promotional parasol collection. Intended for most commercial settings, this parasol features an extremely durable and rigid aluminum strut system. Proven in high traffic areas, ocean-front installations and exposed street-side locations, the Bay Master Classic with Aluminum Struts is guaranteed to endure most types of weather conditions.



TUUCI™



Features:

- a. Triton Polymer Finial
- b. Silver Delrin™ Hub System
- c. Manual Lift w/ Stainless Steel Security Pin
- d. Reinforced Pocket Construction
- e. Reinforced Strut Joints
- f. Marine Salt™ Anodized Mesh
- g. Easily Replaceable Parts

shapes & sizes



hexagon

3' / 0.91 m
7'0" / 2.13 m
8'2" / 2.50 m
10'0" / 3.05 m
11'0" / 3.35 m



octagon

4' / 1.22 m
7'6" / 2.29 m
9'0" / 2.74 m
10'6" / 3.20 m
12'0" / 3.66 m



square

5' / 1.52 m
10' / 3.05 m
12' / 3.66 m
15' / 4.57 m



rectangle

6' x 6' / 1.83 x 1.83 m
8' x 8' / 2.44 x 2.44 m
10' x 8' / 3.05 x 2.44 m

global headquarters

2003 NW 35th Street, Miami, FL 33142, USA | 305.674.6178 | info@tuuci.com

european office


Boele van der Heide 10, 3009 JP Oostvoort, The Netherlands | +31.73.532.0471 | info@tuuci.eu



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director 

DATE: May 14, 2015

RE: Chase Bank – Remote ATM
Special Land Use, Environmental Impact Assessment & Site Plan

MANAGER'S REVIEW: 

I have reviewed the revised proposed special land use, environmental impact assessment and site plan for a remote bank ATM located within the parking lot at 3663 Grand River Avenue, parcel # 4711-05-400-032. This project was recommended for approval by the Planning Commission on Monday, May 11, 2015. My review of the revised submittal was focused on compliance with the outstanding items discussed at the Planning Commission and my recommendation is as follows:

Special Land Use Permit: The Planning Commission recommends approval because they found the request to comply with the standards provided in Section 19.03 and because the use is consistent with the services provided on neighboring properties in the Regional Commercial District.

Environmental Impact Assessment: I recommend approval of the revised impact assessment dated May 13, 2015 as submitted.

Site Plan: I recommend approval of the site plan dated May 13, 2015 with the following conditions:

1. Two small signs on the ATM will be permitted: one on the east and one on the west. No roof canopy signs shall be allowed.
2. The proposed concrete curb shall be extended 2 feet to the east to prevent cars from hitting the ATM structure. This change in the site plan will be subject to review by Township Staff;
3. The requirements of the Brighton Area Fire Authority in their letter of 4/29/15 shall be complied with;

Should you have any questions concerning this matter, please do not hesitate to contact me.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



GENOA CHARTER TOWNSHIP Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Andy Andre, PE - Bud Design & Engineering Services, Inc.

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

Address: 10775 S. Saginaw St, Grand Blanc, MI 48439

APPLICANT PHONE: 810) 695-0793 EMAIL: andy@buddesign.com

OWNER NAME & ADDRESS: Madison Properties Attn: Sam Rapp, 3611 14th Ave., #552, Brooklyn, NY 11218

SITE ADDRESS: 3669 E. Grand River Ave, Howell, MI 48843 PARCEL #(s): 4711-05-400-032

OWNER PHONE: 212) 596-8200 x2014 EMAIL: sam@madisonprop.com

Location and brief description of site and surroundings:

Grand River Plaza on the north side of Grand River Avenue approximately 1/3 mile west of Latson Road. The project location is within the southern end of the existing parking lot.

Proposed Use:

Inclusion of a remote bank ATM in the existing parking lot of the shopping center.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The proposed remote ATM would be consistent with the business uses of the area and would provide a convenient banking opportunity for customers and residents alike. The property is zoned RCD, which was established to accommodate retail services for the Township and surrounding communities.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The proposed remote ATM is situated within the existing parking lot of the retail center, therefore vehicular circulation has been considered within the proposed layout. No increase in impervious surface or storm runoff will occur with the proposed project since the existing conditions are asphalt pavement.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

No public utilities are required for the remote ATM. Direct access to the proposed project location is provided for any emergency response required.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

No increase in any activities is anticipated with the proposed remote ATM. No increase in the impervious surface or storm runoff will occur with the proposed project since the existing conditions are asphalt pavement.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

The proposed use is considered an accessory drive-through service according to Table 7.02 and 7.02.02

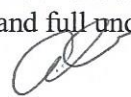
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Andrew Andre STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: 

ADDRESS: 10775 S. Saginaw St., Suite B, Grand Blanc, MI 48439

Contact Information - Review Letters and Correspondence shall be forwarded to the following:		
Andy Andre	of Bud Design & Engineering Services, Inc.	at andy@buddesign.com
Name	Business Affiliation	Email

FEE EXCEEDANCE AGREEMENT	
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: 	DATE: <u>03/05/2015</u>
PRINT NAME: <u>Andrew Andre</u>	PHONE: <u>810-695-0793</u>



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Andy Andre, PE - Bud Design & Engineering Services, Inc.
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Madison Properties Attn: Sam Rapp, 3611 14th Ave, Brooklyn, NY 11218

SITE ADDRESS: 3669 E. Grand River Ave, Howell, MI 48843 PARCEL #(s): 4711-05-400-032

APPLICANT PHONE: (810) 695-0793 OWNER PHONE: (212) 596-8200 x2014

OWNER EMAIL: sam@madisonprop.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Grand River Plaza on the north side of Grand River Avenue approximately 1/3 mile west of Latson Road. The project location is within the southern end of the existing parking lot.

BRIEF STATEMENT OF PROPOSED USE: Inclusion of a remote bank ATM in the existing parking lot of the shopping center.

THE FOLLOWING BUILDINGS ARE PROPOSED: No building structures are proposed.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Andrew Andre, PE - Bud Design & Engineering Services, Inc.


ADDRESS: 10775 S. Saginaw St., Suite B, Grand Blanc, MI 48439

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Andrew Andre, PE of Bud Design & Engineering Services, Inc. at andy@buddesign.com
 Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 03/05/15
 PRINT NAME: Andrew Andre PHONE: 810-695-0793
 ADDRESS: 10775 S. Saginaw St., Suite B, Grand Blanc, MI 48439

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
MAY 11, 2015
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, James Mortensen, Barbara Figurski, Eric Rauch, Diana Lowe, Chris Grajek, and John McManus. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Brian Borden of LSL, and Gary Markstrom of Tetra Tech Engineering.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: Upon motion by Barbara Figurski and support by James Mortensen, the agenda was approved as submitted. **Motion carried unanimously.**

WORK SESSION: Chairman Brown suggested that discussion be held regarding “no” votes in the future and that the person voting “no” should outline their reasoning for the Board.

Work session closed at 6:39 p.m.

CALL TO THE PUBLIC: A call to the public was made with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING #1... Review of a special use, environmental impact assessment, and site plan for a proposed remote bank ATM in an existing parking lot, located at 3599 E. Grand River Avenue, Howell, Michigan, parcel # 4711-05-400-031. The request is petitioned by Chase Bank.

Andy Andre from Bud Design and Engineering and Johnathan Krissof from Chase Bank were present and addressed the Planning Commission. They believe their updated plan is superior to the one that they previously submitted. They are requesting two signs, on the east and west side of the ATM. Material samples were provided to the Planning Commission. Vehicular circulation and stacking was addressed.

Brian Borden addressed the Planning Commission. He believes the new plan is an improvement from the last plan. He believes the materials are sufficient, but do not blend well with the existing site. The wheel stops were addressed. He is concerned that the wheel stops are too close to the canopy. The updated sign proposal does conform to the ordinance.

05-11-15 Unapproved Minutes

Gary Markstrom indicated the wheel stops will not be sufficient in the winter. He recommended a large slab extended two feet to the east with a raised curb. There are no utility impacts. The updated circulation pattern was handled well in his opinion.

Eric Rauch agreed with the consultants as it relates to the wheel stops. The petitioner agreed with the proposed solution, as well.

James Mortensen asked if it met the ordinance in terms of the length. Brian Borden indicated it does.

Eric Rauch asked if there is a clearance bar. The petitioner indicated there is.

Chris Grajek believes this is a small and unattractive island in a large sea of asphalt. He will be voting no. James Mortensen indicated ATM's are a permitted use. Therefore, he does not believe it's appropriate to deny the petition. Discussion was held regarding whether the Planning Commission has the right to deny it. Brian Borden reminded the Planning Commission that they are making a recommendation only.

Planning Commission recommendation of petition

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (04-23-15)
- C. Disposition of Site Plan (04-22-15)

Motion by James Mortensen to recommend to the Township Board the approval of the special use permit because it meets the general conditions of the Township ordinance and is consistent with the services provided on neighboring properties in the regional commercial zoning. Support by Barbara Figurski.

Ayes: Lowe, Mortensen, Figurski, McManus, Rauch
Nays: Grajek

Motion by Barbara Figurski to recommend to the Township Board approval of the environmental impact assessment dated 4/23/15 with the addition of dust control measures and approval of the special use and site plan. Support by Diana Lowe.

Ayes: Lowe, Mortensen, Figurski, McManus, Rausch
Nays: Grajek

Motion by James Mortensen to recommend to the Township Board approval of the site plan dated 4/22/15 subject to the following:

1. Two small signs on the structure will be permitted: one on the east and one on the west;
2. The proposed wheel stops will be replaced by a concrete curb to prevent cars from hitting the ATM structure. This change in the site plan will be subject to review by Township Staff;
3. No roof canopy sign will be permitted;

05-11-15 Unapproved Minutes

4. The requirements of the Brighton Area Fire Authority in their letter of 4/29/15 will be complied with;
5. The requirements of the Township Engineer in his letter of 5/5/15 relative to the curbing has already been addressed in this motion.

Support by Barbara Figurski.

Ayes: Lowe, Mortensen, Figurski, McManus, Rauch

Nays: Grajek

OPEN PUBLIC HEARING #2... Review of a special use, sketch plan, and environmental impact assessment for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene, located at 7669 Brighton Road, Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

Motion by Diana Lowe with support by Barbara Figurski to permit Eric Rauch to be recused from this hearing due to a conflict. **Motion carried unanimously.**

Steve Morgan addressed the Planning Commission on behalf of the petitioner. He advised the Planning Commission that there is no basketball court on the property.

He admits that the traffic study previously requested by the Planning Commission was not provided. He reviewed some information regarding traffic that he had in his possession, although a traffic study was not submitted. He believes the traffic study will show a continuation of a level C road. He indicated the traffic study will be submitted to Gary Markstrom.

Brian Borden had no additional comments at this time. Gary Markstrom indicated it is an improvement in circulation. He has some concerns, but he had only just received the proposed changes. Gary Markstrom would like to see the traffic patterns at the end of the proposed school day. For pedestrian traffic, he thinks a sidewalk going from the bike path to the building should be considered.

James Mortensen wants to know what can be done to mitigate effect on neighbors, etc. Diana Lowe asked if there will be day care before or after school. Ted Daskin, principal of the school, indicated there is not a planned day care at this time. James Mortensen expressed concerns about the traffic testing conducted on that site. School will be closed on days there are elections. James Mortensen requested a list of carefully thought out conditions, such as these. He believes this site is being overused. He would like a bullet point list to indicate what actions will be taken to mitigate traffic issues.

Chris Grajek expressed concern over pedestrian traffic. He is also concerned about traffic turning west for the sole purpose of changing direction in another business or on another street to head east towards the downtown area.

10. Further, this recommendation is conditioned upon the petitioner obtaining the easement to the property to the immediate west and the residential properties to the north;
11. The petitioner will comply with the requirements of the Township Engineer in his letter of 04/2/15. These requirements will be accomplished prior to the submission of the packet to the Board;
12. The requirements of the Livingston County Drain Commissioner in his letter of 03/25/15 will be complied with;
13. The requirements of the Brighton Area Fire Authority in their letter of 03/16/15 shall be complied with. It is understood that the petitioner will be discussing the requirements of a sprinkler system with the fire chief and that item may change.

Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #3... Review of a special use, environmental impact assessment, and site plan for a proposed remote bank ATM in an existing parking lot, located at 3599 E. Grand River Avenue, Howell, Michigan, parcel # 4711-05-400-031. The request is petitioned by Chase Bank.

Andy Andre from Bud Design and John Krissoff from Chase Bank addressed the Planning Commission. They are hoping to install a remote ATM within the Grand River Plaza. The proposed light is smaller than the existing poles in the parking lot. There are three branch offices within 10 miles. They previously had a branch within Meijers, but no longer do.

Mr. Borden addressed the Planning Commission. Because it is a stand-alone ATM, it requires special scrutiny and a special use permit. The general special use standards have been met. The number of stacking spaces caused him concern. He believes a summary of the queuing study should be provided to the Township Board. It would be preferable to have a branch at this site, but the Township cannot require that. Mr. Mortensen inquired as to whether this site interfered with traffic. Mr. Rauch agreed.

Mr. Borden addressed the potential of a blind spot and traffic conflict. He believes it to be the most important consideration. The petitioner will install a "No Right Turn" sign. He believes this is an underutilized portion of the property and therefore, it should not be an issue. Mr. Mortensen disagrees. Moving it down a few traffic spots was discussed. The petitioner indicated that their margin for profit may not allow it.

Mr. Grajek inquired as to whether petitioner would be amenable to adding brick or another material to dress it up. Mr. Rauch asked about the six signs that are currently proposed. Mr. Rauch suggested moving the angle of the drive thru and ATM.

The construction would take approximately three weeks.

A call was made to the public. Rob Vedro from Blue Frog Books addressed the Planning Commission. He would like to see the road between the parking lot and the

04-13-15 Approved Minutes

Meijers parking lot finished. There is approximately 12 feet unconnected. He feels it would be a better location for the ATM.

Planning Commission disposition of petition

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (03-05-15)
- C. Recommendation of Site Plan (02-20-15)

The petitioner requests to table this review. **Motion** by James Mortensen to table this matter until the 05/11/15 Planning Commission meeting. Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #4... Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Jim Blair of RG Properties, Dan Cook with Panera, and Matthew with Arc Vision addressed the Planning Commission. They are seeking approval for the demolishing of a building and to erect a Panera Bread restaurant building with a drive-thru restaurant building next door.

Panera is undergoing design changes for their standard buildings. A materials board was provided. There is a patio planned at this location, as well.

There are two parking spaces that should be deleted. Additionally, the curb should be mountable in order to escape the drive-thru. Mr. Rauch expressed his concerns about the driving lanes. Bo Gunlock pointed out that the curb cuts are existing. Chairman Brown indicated that's already understood. Mr. Rauch showed the petitioner his suggested changes.

Mr. Borden addressed the unresolved issues in his letter of April 6, 2015. There should be some sort of signage about pedestrians, such as "Ped X'ing" on the pavement. The petitioner is proposing to retain existing landscaping in the green belt. There are no details to determine if ordinance has been met. The lighting plan is not specific as to what lights will be used. More detail is needed. There are three monument signs proposed.

A call to the public was made with no response.

Motion by James Mortensen to table the petition to April 27. Support by Barbara Figurski.

Ayes: Lowe, Mortensen, Figurski, Rauch (4)

Nays: Grajek (1)

Motion carried.



May 5, 2015

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Community Development Director
Subject:	Stand-alone ATM at Grand River Plaza – Special Land Use and Site Plan Review #2
Location:	3669 E. Grand River Avenue – north side of E. Grand River, west of Latson Road
Zoning:	RCD Regional Commercial District

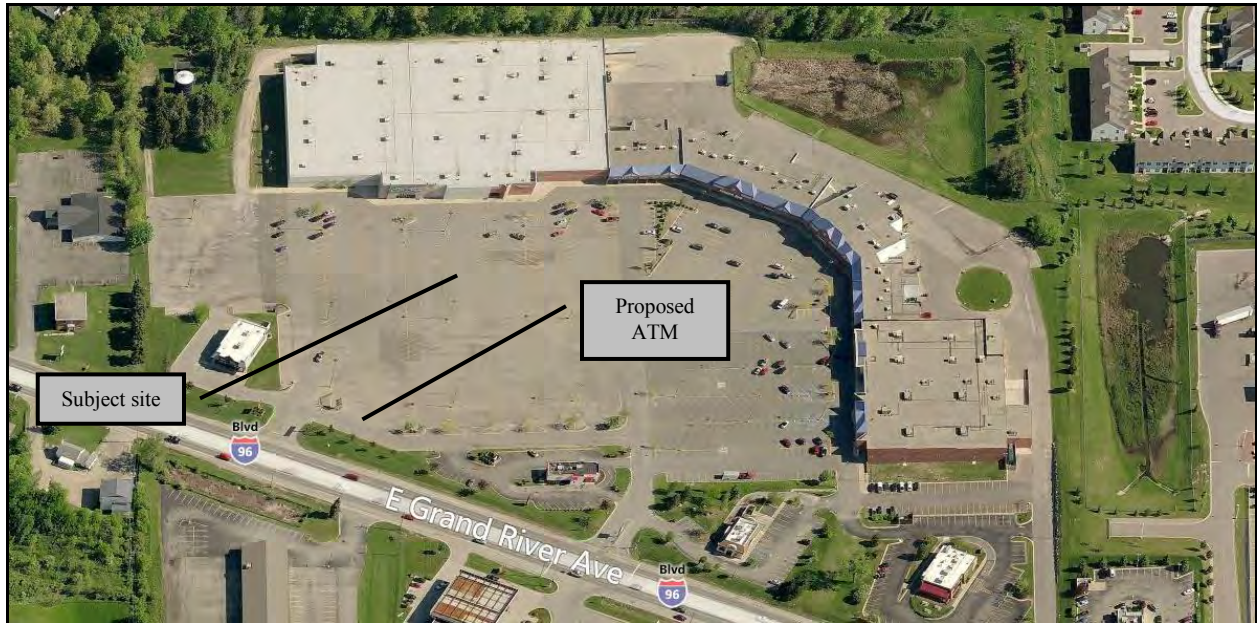
Dear Commissioners:

At the Township's request, we have reviewed the revised submittal, including the application for special land use and site plan (dated 4/23/15) proposing a new stand-alone ATM at the Grand River Plaza. The site is located on the north side of E. Grand River Avenue, west of Latson Road, and is within the RCD Regional Commercial District.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and Master Plan.

A. Summary

1. From a planning and zoning perspective, the special land use standards are generally met, although we believe the project could be improved by use of an outlot for an actual bank or relocation of the ATM such that it is not so visible from Grand River Avenue.
2. Any comments/concerns raised by the Township Engineer or Fire Department must be addressed as part of this project.
3. Requests for a new special land use on a developed site provide the opportunity for improvements to any existing site design deficiencies. The Commission may wish to request details of existing site design features to ensure compliance with current standards and require upgrades where appropriate.
4. It would be preferable if the machine/canopy structure was built of materials compatible with the existing development, although there is no specific requirement.
5. The proposed wheel stops must be placed properly to account for vehicle overhang.
6. We believe the proposed vehicular circulation pattern is an improvement to the original design, but will defer to the Township Engineer for any remaining concerns they may have.
7. In our opinion, the proposed sign package does not meet Ordinance standards (4 or 5 provided, while 1 is permitted and a 2nd may be allowed by the Planning Commission; although the roof sign is prohibited).



Aerial view of site and surroundings (looking north)

B. Proposal

The applicant proposes to install a stand-alone ATM within the parking lot of the existing shopping center. Table 7.02 lists stand-alone automatic drive-up teller machines as a special land use in the RCD. As shown on the revised plan, the drive-up ATM would replace 7 existing parking spaces in the Grand River front yard near the westernmost driveway to the site.

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan and Future Land Use map identify the site as Regional Commercial, which is planned for higher intensity commercial uses that rely on higher traffic volumes and easy access.

Given the use is part of an existing shopping center and within the most intensive commercial land use classification, we are of the opinion that the proposed project is consistent with the Township Master Plan for this site and area.

With that being said, as was discussed at the April 13, 2015 Planning Commission meeting, based on goals and objectives in the Plan, we are of the opinion that this shopping center could benefit from the creation of an outlet and the proposed ATM location appears to be an appropriate area for such an outlet. In our opinion, the establishment of an actual bank (with an ATM) would be preferable to a stand-alone ATM, especially given the highly visible nature of this site.

- 2. Compatibility.** The project is located within an existing shopping center and is minimally invasive to the existing site layout – it replaces 7 parking spaces in a rather large parking lot. Surrounding uses along Grand River are developed with, zoned and planned for commercial uses, including several existing drive-through facilities.

As was discussed at the April 13, 2015 Planning Commission meeting, our primary concern under this criterion is the highly visible nature of the proposed machine. We are unaware of any other stand-alone ATMs in this corridor that are located so near the property's frontage; particularly along the Township's most highly traveled commercial corridor. The vast parking lot has ample room to consider alternate locations.

3. **Public Facilities and Services.** Given the site's location and the nature of the proposed use, we do not expect any concerns with public facilities and services. However, we defer to the Township Engineer and Fire Department for any specific comments/concerns they may have.
4. **Impacts.** The proposed ATM will replace 7 existing parking spaces in a relatively large parking lot. The amount of impervious surface will not be increased and the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.
5. **Mitigation.** The Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposed project.

D. Site Plan Review

1. **Building Materials and Design.** The revised submittal does not identify the materials used for the ATM/canopy. Per the discussion at the April 13, 2015 Planning Commission meeting, we believe the structure is to be constructed of metal and plastic materials. While there are no specific requirements, it would be preferable if the project incorporated materials consistent with the existing development.
2. **Parking.** The proposed project will result in the removal of 7 existing parking spaces. Although parking calculations are not provided, the site appears to provide more than sufficient parking and the loss of 7 spaces is not expected to have an impact on the site.

Wheel stops are proposed for the 7 spaces adjacent to the back side of the proposed machine/canopy structure to keep vehicles from hitting the structure; however, their placement does not appear to account for vehicle overhang. As such, there appears to be potential for vehicles to hit the back side of the structure from these spaces.

Based on Ordinance standards, 76-90 degree parking spaces are to be at least 18 feet deep. These spaces appear to be within this range, in which case, the wheel stops should be shifted back to better accommodate vehicle overhang.

3. **Pedestrian Circulation.** There is an existing public sidewalk along Grand River. The proposed ATM placement is not expected to impact established pedestrian circulation, although we do request confirmation that walk-up use of the machine is prohibited.
4. **Vehicular Circulation.** No changes are proposed to the existing driveways or traffic circulation pattern. Access to/from the machine will follow the established one-way circulation pattern of the parking lot. In short, we view the proposed layout as an improvement to the original design, but will defer to the Township Engineer for any remaining concerns they may have.
5. **Stacking Spaces.** As was discussed at the April 13, 2015 Planning Commission meeting, stacking spaces are necessary to prevent vehicles from backing up and interfering with traffic circulation and/or parking spaces. The revised plan provides space for two vehicles (one active, one waiting) with more length than the original submittal (36' deep vs. 40').

Additionally, the revised submittal includes a queuing study that indicates the average queue length is less than 1 car. Based on the study, there is a “maximum theoretical” queue of 6 vehicles, though the study states the probability of this occurrence is very unlikely.

6. **Landscaping.** The revised plan identifies 4 existing trees in the greenbelt between Grand River Avenue and the project area. The new plan also includes a 2’ tall hedgerow within that same greenbelt.
7. **Exterior Lighting.** The revised plan identifies a proposed light pole with 2 fixtures. Details submitted show the use of downward directed LED fixtures mounted at a height of 16.5’.
8. **Signs.** Article 16 does not specifically address signage for this particular use. In our opinion, the best fit is to utilize conventional wall sign standards which would restrict the applicant to 1 sign of not more than 10% of the canopy/machine area. A 2nd sign may be permitted by the Planning Commission per Footnote 2(b) of Table 16.1.

Based on the submittal there are at least 4 signs and likely a 5th on the south side (a south side rendering was provided at the April 13, 2015 Planning Commission meeting, but was not included in the revised submittal).

Additionally, as was previously discussed, we are of the opinion that the sign mounted atop the canopy structure is not permitted (closest fit is a roof sign, which is a prohibited sign).

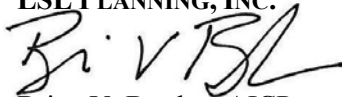
The applicant needs to provide details in terms of the number and size of each sign proposed for the Commission’s consideration.

9. **Impact Assessment.** The submittal includes a revised Impact Assessment (dated April 23, 2015). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

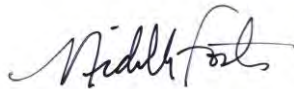
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and foster@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP
Principal Planner



Michelle Foster
Project Planner



May 5, 2015

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Chase ATM
Site Plan and Impact Assessment Review**

Dear Ms. Van Marter:


We have reviewed the sketch plan submittal from Bud Design and Engineering Services, Inc. dated April 23, 2015. The petitioner is proposing to construct a remote drive-up bank ATM in the parking lot of the existing Grand River Plaza, 3669 E. Grand River Avenue, and has provided additional documentation including a rendered elevation, traffic queuing study, environmental impact study and lighting plan for the Township's review.


The facility is being proposed in the outer extant of the existing parking lot and will replace several existing parking spaces. There are no proposed sewer or water service needs for this development and there will be no negative impacts to the existing site drainage patterns. We recommend that a concrete curb be installed along the east side of the concrete island as a more permanent solution in lieu of the concrete bumper blocks.

Our review found no engineering-related impacts to the existing site from the proposed changes indicated on the site plan and, aside from the comments above, we have no objections to approval.

Please call if you have any questions.

Sincerely,


Gary J. Markstrom, P.E.
Unit Vice President


Joseph C. Siwek, P.E.
Project Engineer

Copy: Andrew Andre, PE – Bud Design & Engineering Services Inc.



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

April 29, 2015

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Chase Remote ATM – (in Grand River Plaza parking lot)
3669 E. Grand River
Site Plan & Special Use Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on March 11, 2015 and the drawings are dated February 13, 2015 with latest revisions dated February 20, 2015. The project is based on a new remote ATM located in the parking lot of the Grand River plaza. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. Previous comments appear to be addressed by the applicant in the revised submittal.

1. If the structure is provided with an address it must be provided to the fire department, and shall be included on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street (Grand River). The location and size shall be verified prior to installation. **(Corrected on Plan)**
2. Provide names, addresses, phone numbers, emails of contractor, architect, on-site project supervisor during construction. The owner and owner's agent contact information must be provided to the fire authority following construction; in the event of an emergency. **(Corrected on Plan)**

IFC 505.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink that reads "D Bunge".

Derrick Bunge
Lieutenant-Fire Inspector



Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com

ENVIRONMENTAL IMPACT ASSESSMENT

CHASE BANK REMOTE ATM

A. NAME AND ADDRESS OF PERSON RESPONSIBLE FOR PREPARATION

ANDREW ANDRE, PE

BUD DESIGN & ENGINEERING SERVICES, INC.

10775 S. SAGINAW ST, SUITE B

GRAND BLANC, MI 48439

MR. ANDRE IS A PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN AND HAS 19-YEARS OF EXPERIENCE WITH SITE DEVELOPMENT PROJECTS. SEVERAL PROJECTS HAVE BEEN WITHIN GENOA TOWNSHIP.

B. MAP AND WRITTEN DESCRIPTION/ANALYSIS OF THE PROJECT SITE

THE PROPOSED PROJECT IS A REMOTE BANK ATM THAT WOULD BE PLACED WITHIN THE EXISTING PARKING LOT OF THE GRAND RIVER PLAZA. SEVERAL PARKING SPACES WOULD BE REMOVED FOR THE PROPOSED REMOTE ATM, WITH THOSE PARKING SPACES BEING SOME OF THE FURTHEST REMOVED FROM THE RETAIL CENTER AND RARELY USED. THE PROPOSED PROJECT WOULD BE CONSISTENT WITH THE BUSINESS USES OF THE AREA AND WOULD PROVIDE A CONVENIENT BANKING OPPORTUNITY FOR CUSTOMERS. THE PROPERTY IS ZONED RCD, WHICH WAS ESTABLISHED TO ACCOMMODATE RETAIL SERVICES FOR THE TOWNSHIP AND SURROUNDING COMMUNITIES.





Bud Design & Engineering Services, Inc.

10775 S. Saginaw St. Suite B | Grand Blanc, MI 48439 | Ph: 810.695.0793 | Fax: 810.695.0569 | www.buddesign.com

C. IMPACT ON NATURAL FEATURES

THE LOCATION OF THE PROPOSED PROJECT DOES NOT IMPACT ANY NATURAL FEATURES. THE REMOVAL OF ASPHALT PAVING IS PROPOSED FOR THE INSTALLATION OF THE REMOTE ATM.

D. IMPACT ON STORMWATER MANAGEMENT

A SMALL AREA OF ASPHALT PAVEMENT WILL BE SAWCUT AND REMOVED FOR INSTALLATION OF THE REMOTE ATM. A SMALL AMOUNT OF SOIL WILL BE REMOVED AND REPLACED DURING CONSTRUCTION, SO BEST-MANAGEMENT-PRACTICES SUCH AS NOT LEAVING THE REMOVAL AREA EXPOSED FOR ANY SIGNIFICANT PERIOD WILL BE EMPLOYED. THE EXISTING AREA IS COVERED WITH ASPHALT PAVEMENT AND NO ADDITIONAL IMPERVIOUS SURFACE IS PROPOSED, THEREFORE SURFACE WATER RUNOFF WILL NOT INCREASE AS A RESULT OF THIS PROJECT.

E. IMPACT ON SURROUNDING LAND USE

THE PROPOSED PROJECT WOULD BE CONSISTENT WITH THE SURROUNDING COMMERCIAL AND RETAIL DEVELOPMENTS WITHIN THE AREA. NO INCREASE IN LIGHT, NOISE, OR AIR POLLUTION IS ANTICIPATED WITH THE PROPOSED REMOTE ATM. DUST CONTROL MEASURES WILL BE UTILIZED DURING CONSTRUCTION, AS NEEDED.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

PUBLIC SERVICES SUCH AS FIRE AND POLICE WILL HAVE DIRECT ACCESS TO THE PROPOSED PROJECT AREA. BEING SITUATED WITHIN AN EXISTING PARKING AREA PROVIDES VISIBILITY TO PUBLIC SERVICE AGENCIES AND THE ABILITY TO GAIN ACCESS IF REQUIRED.

G. IMPACT ON PUBLIC UTILITIES

NO PUBLIC UTILITIES ARE PROPOSED AS PART OF THIS PROJECT.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

NO HAZARDOUS MATERIALS WILL BE HANDLED OR STORED AS PART OF THIS PROJECT.

I. IMPACT ON TRAFFIC AND PEDESTRIANS

THE PROPOSED PROJECT IS LOCATED WITHIN THE EXISTING PARKING AREA OF THE GRAND RIVER PLAZA, WHICH IS LOCATED NORTH OF GRAND RIVER AVENUE. THERE IS AN EXISTING COMMERCIAL DRIVEWAY TO GRAND RIVER AVENUE LOCATED WITHIN APPROXIMATELY 150-FEET OF THE PROPOSED PROJECT. THE REMOTE ATM LOCATION HAS BEEN LOCATED SUCH THAT VEHICULAR ACCESS IS EASILY PROVIDED FOR INGRESS AND EGRESS. THE REMOTE ATM IS A SERVICE LOCATION THAT WILL NOT HAVE ANY EMPLOYEES. NO ADDITIONAL TRAFFIC GENERATION IS ANTICIPATED ON THE PUBLIC STREETS AS A RESULT OF THE PROPOSED PROJECT.

ATM Queuing Study

Site Under Study

JPMC Remote Drive-up ATM
3663 E. Grand River Rd.
Howell, Michigan

Intended Use

Drive Up ATM

Primary ATM Contact

Jon Krissoff
Market Director of Real Estate
312.325.3393

Overview

■ Purpose of Study

- Understand the average queue length and wait times experienced by Chase customers at remote drive-up ATMs
- Using advanced queuing simulation, to project the expected queue length and stacking requirement for Grand River Plaza, and to demonstrate that there will not be an adverse impact to traffic flow in the parking lot.

Overview

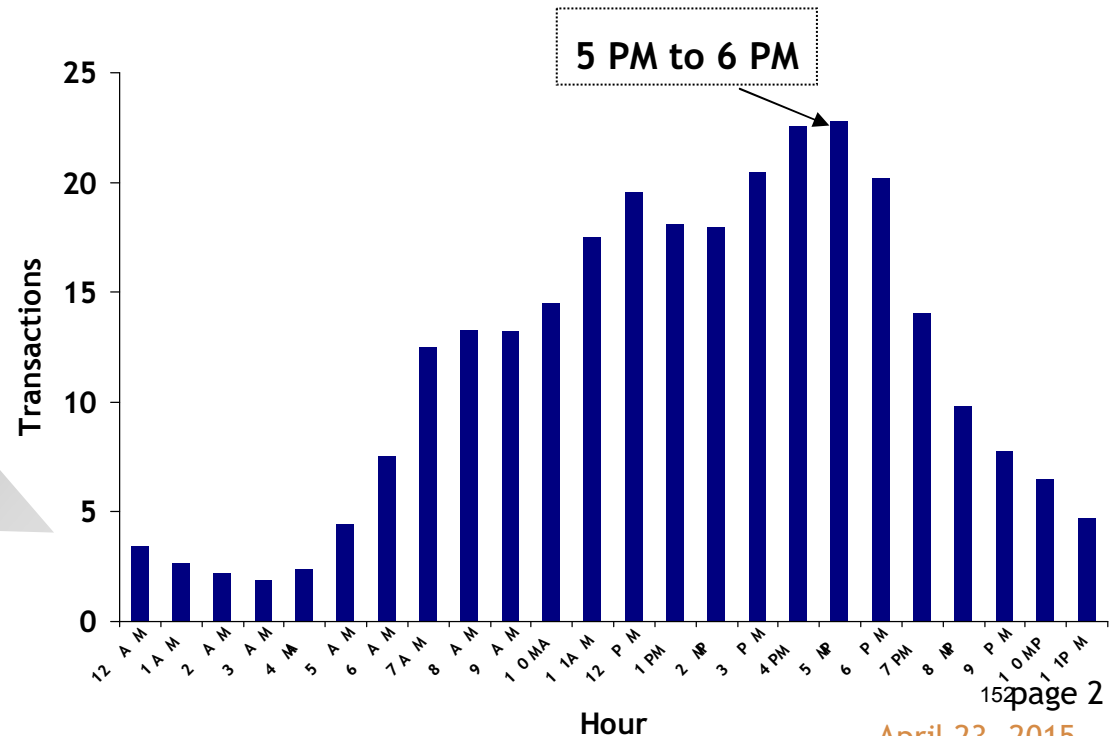
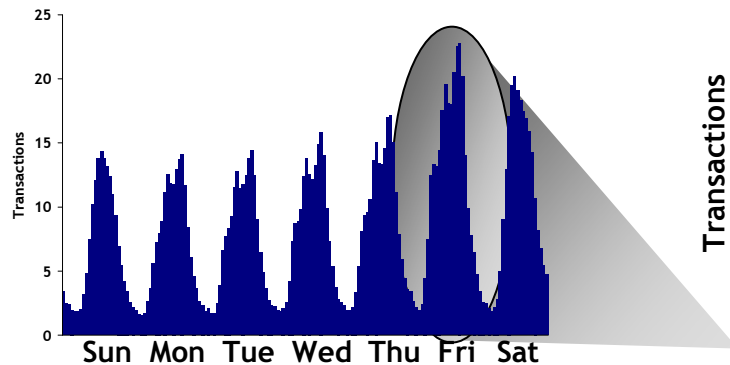
Methodology

- A study of 118 off-premise, drive-up ATMs accounting for 4.8mm annual transactions - majority are in parking lots

- ATMs split into 6 tiers:

Tier	Transactions per Month
1	less than 2,000
2	2,000 to 2,999
3	3,000 to 3,999
4	4,000 to 4,999
5	5,000 to 6,999
6	7,000+

- Determine the peak hour as basis for maximum queue experienced



Queuing Simulation

- Uses peak hour in each tier for the interarrival times (Friday, 5 p.m.)
- Service times based on time-in-motion studies of Chase ATM transactions - actual experience is 45 seconds; conservatively assume 1 minute
- Does not assume that transactions are evenly distributed, but are random events, which is a more accurate reflection of stacking requirements
- Simulation Model to determines:
 - Expected queue length
 - Maximum queue length
 - Expected time in queue
 - Expected time in system
 - ATM utilization
 - Probability of various queue lengths
- Model Validity
 - Simulates historical transactions from 3 pm to 5 pm as a “warm-up”
 - Then simulates the peak hour from 5 pm to 6 pm

■ Model Inputs >>

Tier	Transactions per Month	Peak		
		Arrivals Per Hr	Interarrival Time	Service Time
1	less than 2,000	7.89	7.61 min	1 min
2	2,000 to 2,999	10.93	5.49 min	1 min
3	3,000 to 3,999	14.91	4.03 min	1 min
4	4,000 to 4,999	19.64	3.05 min	1 min
5	5,000 to 6,999	23.43	2.56 min	1 min
6	7,000+	32.03	1.87 min	1 min

Simulation Results and Recommendation

- The table below displays the overall results:

Tier	Avg Q Length (Cars)	Max Q Length (Cars)*	Avg Time in Queue (min)	Avg Time in System (min)	ATM Utilization
1	0.02	2	0.11	1.15	13%
2	0.04	4	0.17	1.16	18%
3	0.07	5	0.25	1.25	24%
4	0.14	6	0.40	1.41	33%
5	0.26	10	0.59	1.56	38%
6	0.63	10	1.11	2.10	53%

* Maximum observed over 100 simulated hours of activity.

- The table below displays the probability of observing a certain # of cars in queue by tier.

Tier	Cars in Queue									
	1	2	3	4	5	6	7	8	9	10
1	1.50%	0.20%	0.03%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
2	2.72%	0.49%	0.09%	0.02%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
3	4.64%	1.15%	0.29%	0.07%	0.02%	0.00%	0.00%	0.00%	0.00%	0.00%
4	7.21%	2.36%	0.77%	0.25%	0.08%	0.03%	0.01%	0.00%	0.00%	0.00%
5	9.29%	3.63%	1.42%	0.55%	0.22%	0.08%	0.03%	0.01%	0.01%	0.00%
6	13.29%	7.09%	3.79%	2.02%	1.08%	0.58%	0.31%	0.16%	0.09%	0.05%

- This ATM is projected to perform 4k monthly transactions, which places it in Tier 4.
- The maximum theoretical queue that *could* result is 6 cars, although with a statistical probability of less than 0.03%, it is highly unlikely (bottom chart). The average expected queue length is actually less than 1 car (top chart).
- Conservative recommendation at this location is stacking capability of 1-2 cars which would easily handle the peak periods.

Chase – Remote ATM
EXAMPLE

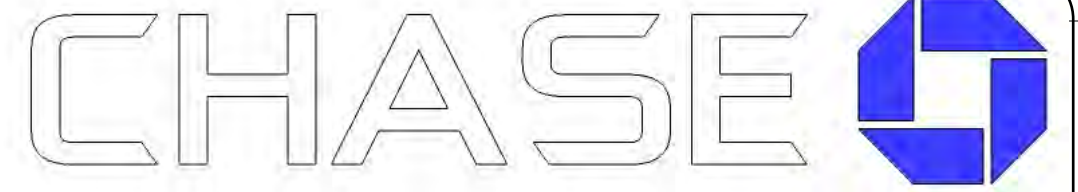


Received at 05-11-15 Planning Commission Meeting





**PROJECT OVERVIEW:
NEW CHASE ATM - WEST FACING
RENDERED ELEVATION**



**GRAND RIVER AND LATSON
3663 E Grand River Ave
Howell, MI 48843**



A	:: NEW CHASE ATM - WEST ELEVATION / RENDERING
01	NO SCALE

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can

be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 0-10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for

easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



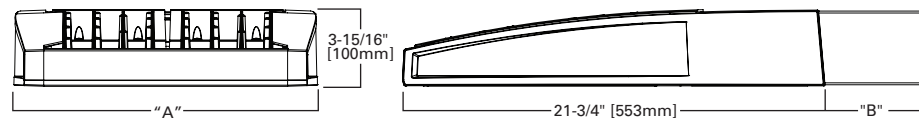
**GLEON
GALLEON LED**

**1-10 Light Squares
Solid State LED**

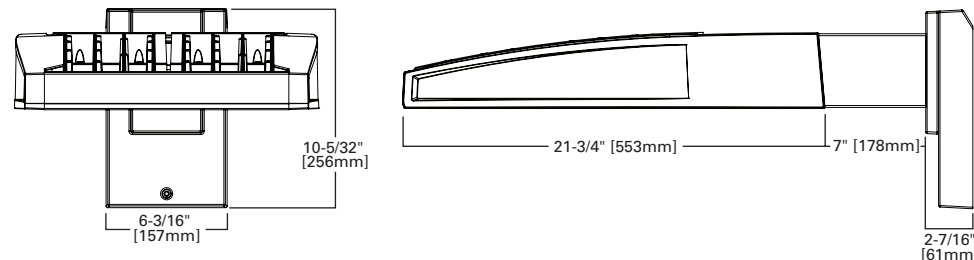
AREA/SITE LUMINAIRE

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1 Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2 EPA calculated with optional arm length.



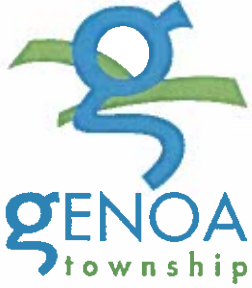
CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)






2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager 

DATE: May 14, 2015

RE: 2|42 Community Church – Building Addition and Parking Expansion

MANAGER'S REVIEW: 

In the following pages please find an environmental impact assessment and site plan for a proposed 19,202 sq. ft. building addition with 152 new parking spaces for the 2|42 Community Church located at 7526 Grand River Avenue on parcel # 4711-13-400-018. This project was recommended for approval by the Planning Commission on Monday, May 11, 2015 and my recommendation is as follows:

Environmental Impact Assessment: I recommend approval of the impact assessment corresponding to the site plan dated April 22, 2015 as submitted.

Site Plan: I recommend approval of the site plan dated April 22, 2015 with the following conditions:

1. The building additions will match the existing materials and the display board presented will become Township property.
2. The applicant will work with Township staff and the neighbors to the west to refresh or reinstate the plantings in the buffer zone.
3. The traffic management plan developed in the original project will be continued and enhanced as recommended by the March 24, 2015 traffic engineer's memo.
4. The Township is aware that the underground retention system in the site plan might be eliminated which would increase the timing of the flow to Morse Lake. This deviation shall be approved by the County, the property owners on Morse Lake, and Genoa Township, as well as any other necessary governmental unit.
5. The requirements of the Township Engineer in their letter dated 5/5/15 and the Brighton Fire Authority in their letter of 4/29/15 will be complied with.

The applicant and property owner should be commended for the excellent plan preparation and cooperation throughout the approval process. Both Township consultants for this project remarked on the excellent response to comments and flawless plan design.

Should you have any questions concerning this matter, please do not hesitate to contact me.

SUPERVISOR

Gary T. McCrie

CLERK

Paulette A. Sklorus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen
Jean W. Ledford
Todd W. Smith
Linda Rowell



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
APR 01 2015

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: 2142 Community Church

If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: 2142 Community Church

SITE ADDRESS: 7526 Grand River **PARCEL #(s):** 13-400-018

APPLICANT PHONE: (810) 231-0190 **OWNER PHONE:** (734) 652-8086

OWNER EMAIL: eric@242community.com

LOCATION AND BRIEF DESCRIPTION OF SITE: South side of Grand River between Bendix and Euler Roads. Building and Parking lot expansion to the existing 2142 Community Church facility.

BRIEF STATEMENT OF PROPOSED USE: The proposed expansion would add 152 new parking spaces to the facility and build an addition of a new youth facility and other interior modifications.

THE FOLLOWING BUILDINGS ARE PROPOSED: Expansion of the existing building with additions that total 19,202 square feet.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____

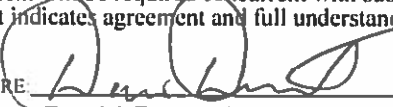
ADDRESS: 7526 Grand River, Brighton, MI 48114

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Eric Rauch of 2142 Community Church at eric@242community.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: March 26th, 2015
 PRINT NAME: David Dummitt PHONE: 734-652-8086
 ADDRESS: 7526 Grand River, Brighton, MI 48114

8. A curb will be added to the north side of the east/west pedestrian pavement. The north/south pedestrian pavement will be striped and delineated with signage;
9. Minor corrections will be made to the site plan for consistency reasons as it relates to landscaping and lighting. This will be resolved with Township Staff prior to submission to the Township Board;
10. The requirements of the Township Engineer in his letter of 5/6/15 and the Brighton Area Fire Authority in their letter of 4/28/15 will be complied with;
11. The Planning Commission recognizes that this effectively is a corner lot and approves two signs as depicted in the site plan.

Support by John McManus. **Motion carried unanimously.**

OPEN PUBLIC HEARING #4... Review of a site plan and environmental impact assessment proposing a 19,202 sq. ft. building addition and 152 new parking spaces, located at 7526 Grand River Avenue, Brighton, Michigan 48116, parcel # 4711-13-400-018. The request is petitioned by 2|42 Community Church.

Eric Rauch indicated he has a conflict in this matter as he is employed by 2|42 and is a part of the design team. **Motion** by John McManus to recuse him from this hearing. Support by Barbara Figurski. **Motion carried unanimously.**

Dave Dummit addressed the Planning Commission on behalf of the petitioner. Wayne Perry of Desine Engineering addressed the Planning Commission. There will be changes in the parking lot and storm water detention system which will be expanded under the parking lot. The sanitary sewer and handicapped parking will be relocated.

The architect addressed the Planning Commission. They proposed increasing the auditorium by 30 percent. A rendering and material board were provided.

Brian Borden addressed the Planning Commission. The materials match the existing building. The buffer zone requirement on the west side of the site was addressed. The traffic impact study was provided.

Gary Markstrom addressed the Planning Commission. He reviewed his concerns about water mains and storm sewers. The main are being relocated, so a permitting process will be necessary. The traffic study was provided to him and he has reviewed it.

The traffic study said there are 12.09 acres. A portion of it, however, is in Morse Lake.

Barbara Figurski asked what the percentage is between the building and the pavement. They are both compliant. It is 19% building and 67% impervious surface.

A call to the public was made with the following response:

Kurt Scordrewn (phonetic) addressed the Planning Commission. He is concerned about the lake water levels. He is hoping to see an environmental study to reflect what changes there will be. He has been told it would be a one inch difference. Mr. Perry

05-11-15 Unapproved Minutes

demonstrated to the Planning Commission that there would be no change to the lake level whatsoever and this was approved by the Drain Commission. A 100 year storm would increase the lake level by one inch.

John Franklin and Cheryl Cunningham addressed the Planning Commission. He would like to see the water level rising, but wants to make sure the water will be pure.

Kristi Cox addressed the Planning Commission. She thanked Eric Rauch for working with her and the sound issues. She asked about sound remediation measures because of the increase in the audience. The remediation measures were explained to her satisfaction.

She also addressed the deterioration and cutting back of the buffer on the west side. She asked that the Township look at it. Kristi wants to take a minute to thank them for their help in the Brighton Village. She encouraged support.

Planning Commission recommendation of petition

- A. Recommendation of Environmental Impact Assessment. (04-22-15)
- B. Disposition of Site Plan. (04-22-15)

Motion by Barbara Figurski to recommend to the Township Board approval of the environmental impact assessment dated 4/22/15 for the additions to the building and parking, subject to approval of the site plan. Support by Chris Grajek.

Motion by James Mortensen to recommend to the Township Board approval of the site plan dated 4/22/15 for the expansion of the 2/42 church subject to:

1. The building additions will match the existing materials and the display board presented will become Township property;
2. The applicant will work with Township staff and the neighbors to the west to refresh or reinstate the plantings in the buffer zone;
3. The traffic management plan developed in the original project will be continued and enhanced as recommended by the traffic engineer;
4. The Planning Commission is aware that the underground retention system in the site plan may be modified to increase the timing of the flow to Morse Lake in lieu of underground retention if approved by the County, the residents, and Genoa Township, as well as any other necessary governmental unit;
5. The requirements of the Township Engineer in his letter of 5/5/15 and the Brighton Fire Authority in their letter of 4/29/15 will be complied with.

Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING #5...Request for review of amendments to the Genoa Charter Township Capital Improvement Plan.

Planning Commission disposition of petition

- A. Disposition of Capital Improvement Plan



May 4, 2015

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Community Development Director
Subject:	2142 Community Church –Site Plan Review #2
Location:	7526 W. Grand River – south side of Grand River, between Hacker and Euler Roads
Zoning:	GCD General Commercial District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan (dated 4/22/15) proposing expansion of the existing 2 | 42 Community Church facility. The site is located on the south side of Grand River, between Hacker and Euler Roads, and is zoned GCD General Commercial District. Surrounding zoning includes MHP Manufactured Housing Park to the west, GCD to the east, and NRPUD Nonresidential PUD to the north. The request has been reviewed in accordance with the Genoa Township Zoning Ordinance.

A. Summary

1. The proposed building additions will match the existing building in terms of materials, colors and design.
2. Building elevations are subject to Planning Commission review and approval.
3. The applicant proposes to preserve an existing wooded area with a steep slope in lieu of new plantings for the west buffer zone. The Planning Commission has the discretion to permit this under the Zoning Ordinance.
4. The Traffic Impact Study recommends continuation of and enhancement to the traffic management plan developed for the original project. If favorable action is considered on the site plan, these recommendations should be included as a condition to approval.

B. Proposal

The applicant requests site plan review/approval of building and parking lot additions for the 2|42 Community Church. The project includes 19,258 square feet of building expansion and an increase of 182 parking spaces, as well as interior modifications. The overall project will increase seating capacity in the main auditorium to 1,656 people.

Section 7.02 lists churches, temples and similar places of worship and related facilities as permitted uses in the GCD. Accordingly, the project requires only site plan review and approval by the Planning Commission, although the Township Board has final approval authority over the Impact Assessment.



Aerial view of site and surroundings (looking east)

C. Site Plan Review

1. **Dimensional Requirements.** As shown in the table below, the proposed site plan complies with the dimensional standards of the Zoning Ordinance for the GCD.

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
GCD	1	150	70	15	50	20 front 10 side/rear	35'	35% building 75% impervious
Proposed	11.3 (net)	683	95	295 (E) 33.8 (W)	285.4	21.5 front 20 side 114 rear	34' 8"	19% building 67% impervious

2. **Building Elevations.** The proposed elevations, including colors and materials are subject to review and approval by the Planning Commission. Since this is an existing building, the provisions of Section 12.01.08 apply to the request. More specifically, this section states that “the Planning Commission may allow the use of existing wall materials for the addition provided that the design of the alteration is consistent with the existing building wall design.”

The proposed additions include a variety of unique materials (burnished concrete block, corrugated and weathered metal siding, and wood siding) and colors intended to match the existing building.

3. **Pedestrian Circulation.** The site plan shows the existing 5-foot wide concrete sidewalk along the site’s frontage, with a connection aligned with the Woodland Health sidewalk across Grand River.

Additional walkways, ranging in width from 7 to 11 feet, are provided along the front, east, and south sides of the building, as well as around and within the large landscape island in the middle of the parking lot. Crosswalk connections are also provided between the public and private sidewalks.

4. Landscaping. The table below is a summary of the landscaping required by Section 12.02:

Location	Requirements	Proposed	Comments
Front yard greenbelt (N)	17 canopy trees 20-foot width 2-foot tall hedgerow	17 canopy trees 20-foot width 2-foot tall hedgerow (174 shrubs)	Requirement met
Buffer zone "B" (W)	21 canopy trees 21 evergreens 83 shrubs 20-foot width Wall or berm	Existing wooded area and steep slope to be preserved	PC may allow preservation of existing landscaping in lieu of new plantings (Sec. 12.02.13)
Buffer zone "C" (E)	19 canopy trees OR 19 evergreens OR 74 shrubs 10-foot width	9 existing canopy trees 10 proposed canopy trees 20-foot width	Requirement met
Detention pond	9 canopy OR evergreen trees 86 shrubs	9 evergreens 86 shrubs Existing wooded area to be preserved where possible	Requirement met
Parking	37 trees 3,680 s.f. of landscaped area	13 existing; 24 proposed trees 163 existing; 29 proposed shrubs 4,422 s.f. of existing landscaped area	Requirement met

5. Parking and Circulation. The church component requires 552 spaces based on the number of seats in the main auditorium. While there are other components to the facility, such as a community center and recreational facility, they were not accounted for in the parking calculations. Based on previous reviews and discussions, it is our understanding that peak usage of the different components will not occur at the same time. The applicant has confirmed this to be the case in the revised submittal.

The plan identifies 552 spaces, although 3 spaces are in front of the rear yard waste receptacle. The applicant has acknowledged this situation; noting that refuse removal will occur during the week, while use of these spaces is only needed for peak use on Sundays.

The total number of spaces includes 17 barrier free spaces, which exceeds the number required (14). Spaces and drive aisles meet the dimensional requirements for perpendicular parking and two-way traffic. Additionally, the Traffic Impact Study includes recommendations to enhance the Traffic Management Plan approved as part of the 2011 project.

6. Loading. Given the size of the building, Section 14.08.08 requires 3 loading spaces, which are to be located in a rear or side yard not directly visible to a public street. The table and notes on Sheet C2.0 state the required spaces are provided; however, they are not shown on the plan. To help avoid any conflicts, the notes indicate that no deliveries will be provided during peak Sunday worship services.

There appears to be ample space at the rear of the building to accommodate loading/unloading during off-peak hours.

7. Waste Receptacle and Enclosure. The site plan identifies two primary trash areas – a smaller one on the west side of the building and a larger one at the rear of the building. The former will house smaller push carts that will be transferred on a regular basis to the dumpster at the rear of the building. Both are screened with 6-foot tall screen walls. The screening for the smaller area will utilize siding that matches the building, while the larger area will be enclosed with cedar fencing. Both areas provide a concrete base as required.

Genoa Township Planning Commission
2142 Community Church
Site Plan Review #2
Page 4

8. Exterior Lighting. The site plan identifies 11 new pole mounted light fixtures; 7 of which are standard parking lot lights and the remainder are a more decorative style. Details and cut sheets provided show that all proposed fixtures are downward directed metal halide, as required. There are also 14 illuminated bollards along the east side of the proposed addition that are indicated on the site plan, but not the lighting plan.

The maximum on-site intensity is 9.6 foot-candles, which is within the maximum allowed (10). Readings along property lines are also within acceptable limits.

The majority of the fixtures are mounted at a height of 30 feet (8), while the remainder (6) are at 20 feet. Fixtures nearer the west lot line, adjacent to residential, are mounted at 20 feet per Ordinance requirements.

9. Signs. The submittal indicates that existing signage is to remain and no additional signage is proposed as part of this project with the exception of permitted directional signage.

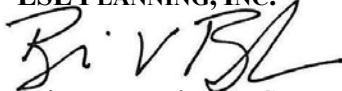
10. Impact Assessment. An updated Impact Assessment (4/22/15) is included with the submittal. In summary, the Assessment notes that the project is not anticipated to create any adverse impacts upon natural features, public services/utilities, surrounding land uses or traffic.

11. Traffic Study. Given the anticipated increase in traffic generation, the applicant has prepared an updated traffic impact study update (3/24/15), which includes recommendations to enhance the traffic management plan implemented with the 2011 project. We will defer to the Township Engineer for any additional comments.

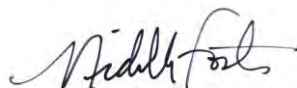
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and foster@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP
Principal Planner



Michelle Foster
Project Planner



May 5, 2015

Ms. Kelly Van Marter
 Genoa Township
 2911 Dorr Road
 Brighton, MI 48116

**Re: 242 Church Site Additions
 Site Plan Review #2**

Dear Ms. Van Marter:

We have reviewed the updated site plan documents from Desine Inc. dated April 22, 2015, which were provided by the Township April 23, 2015. The petitioner is planning to construct three building additions totaling 19,258 sft, a parking lot expansion, and significant modifications to the existing stormwater management system at the existing 242 Church. Tetra Tech has reviewed the documents and we offer the following additional comments:

SUMMARY

1. Review vertical clearances for utility crossings.

SITE PLAN

1. The water main crossing of the storm sewer is less than 18 inches of clearance and should be revised for the construction plan review. With water main going beneath the storm sewer it would be nearly 10 feet deep, which is not desirable. The petitioner can achieve approximately 0.5 feet of clearance if the water main is routed above the storm sewer with 5.5 feet of cover. We suggest exploring this option in conjunction with a concrete collar between the pipes.

The petitioner addressed all other previous comments to our satisfaction. The drawings will require a MHOG construction plan review, at which time the comment above must be addressed. Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary J. Markstrom'.

Gary J. Markstrom, P.E.
 Unit Vice President

A handwritten signature in blue ink, appearing to read 'Joseph C. Siwek'.

Joseph C. Siwek, P.E.
 Project Engineer

Copy: Eric Rauch, 242 Church
 Wayne Perry, P.E., Desine Inc.



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

April 29, 2015

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: 2/42 Community Church Addition & Parking Lot Expansion
7526 Grand River
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 1, 2015 and the drawings are dated April 1, 2015. The project is based on numerous additions amounting to 19,202 square feet. The building will also undergo a large interior alteration of previous unfinished space. The building parking will undergo a large expansion. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. Previous comments appear to be addressed by the applicant in the revised submittal.

1. The new building additions shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*.
IFC 903
2. The new access drive/aisles into the new southern parking area shall be a minimum 26' wide to accommodate emergency vehicles. This width must be maintained through the parking area. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. Special attention shall be for area of parking areas constructed over underground storm water management system. (Corrected on Plan)
IFC D 103
3. Access around building shall provide emergency vehicles with an outside turning radius up to 55' and an inside radius of at least 30'. A minimum vertical clearance of 13 ½ feet shall also be maintained. (Corrected on Plan)

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.



Page 2
2/42 Community Church
Addition & Parking Lot Expansion
7526 Grand River
Site Plan Review

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink that reads "D Bunge".

Derrick Bunge
Lieutenant-Fire Inspector

**2|42 Community Church
Genoa Township, Michigan
Site Plan Application**

**IMPACT ASSESSMENT
TRAFFIC IMPACT STUDY**

GENOA TOWNSHIP

APR 23 2015

Owner:
2|42 Community Church
7526 Grand River
Brighton, Michigan 48114

Prepared by:
DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed building additions and parking expansion on the surrounding community and the economic condition and social environment of the Township. The site consists of 12.09 acres of property, currently zoned General Commercial (GCD) district, and located on the South side of Grand River, West of Bendix Road, across from the Woodland Medical Center in Section 13, as shown on Figure 1.

The site plan as submitted presents the proposed additions and improvements to the existing 2|42 Community Church site. Additions and improvements consist of two additions on the East side of the existing facility and one addition on the South side of the building, new drives, an expanded parking area East and South of the building, an underground storm detention system and related site improvements. The existing building has an area of 73,859 square feet. Proposed building additions provide an additional 19,258 square feet containing an additional entry, community areas, meeting rooms, performance spaces, recreation areas and storage. The Northerly addition on the East side of the building will contain a new child care area. The Southerly addition on the East side will contain a small performance auditorium, meeting room, recreation area and related improvements. The addition on the South side of the building will provide additional enclosed storage. Building floor plans included as a part of the site plan submittal, depict interior building spaces and uses in greater detail.

Parking areas and access drives are located on the East and South side of the building, and cafe parking is located to the North. The site currently contains 370 paved parking spaces. An additional 182 spaces will be constructed on the site providing a total of 552 on-site parking spaces. Appurtenant features including commercial access drives, drive aisles/drop-off lanes, unloading/loading area, patios, sidewalks and landscaping are also presented in the site plan. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The site is 12.09 acres in area, currently zoned General Commercial (GCD), contains a 73,859 square foot commercial building, parking lot and storm water detention basin, as shown on Figure 1. A portion of Morse Lake is included within the property, at the South side of the site. The Existing Conditions Plan provides a detailed overview of the existing site features.

Adjacent uses within 100-feet of the property include a three-story office building to the East, the Woodland Health Center to the North, a manufactured home community to the West and Morse Lake to the South. An aerial photograph depicting the proposed site improvements is provided in Figure 2.

C. IMPACT ON NATURAL FEATURES

Natural features on the subject parcel consist of re-established field grasses and shrub/scrub brush in the Southerly portion of the parcel, adjacent to Morse Lake and along the East and West property boundaries. Existing topography of the site is generally flat to gently sloping terrain in the North 2/3 of the property. The South 1/3 of the site consists of rolling terrain characteristic to the existing storm water detention basin and Morse Lake shoreline. The elevation of the property varies from 972.00 adjacent to Grand River on the North, to a water elevation of approximately 949.50 at Morse Lake at the South end of the parcel. Surface water drainage on the property generally flows to the South, toward Morse Lake.

The soils on the upland portions of the property are primarily Boyer-Oshtemo loamy sands. These soils are generally well-drained, moderately permeable, loamy sands. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and "Soil Survey of Livingston County". The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed additions to the building and expansion to the parking areas will require filling and grading on the South side of the existing parking lot to fill a large portion of the existing detention basin. Excavation will be required to construct the proposed underground storm water detention system.

The limits of disturbance have been depicted on the grading plan. Grading for this project will maintain the general character of the existing site. Development of this project will result in an overall balancing of the useable materials available on the site, requiring the exporting of excess topsoil and importing of additional structural fill material. The proposed elevations and grading of the site mesh with the existing grades at the property lines and adjacent to Morse Lake.

Landscaping is proposed for the developed portion of the site to reduce the visual impact of the proposed project. The existing vegetative buffer along Morse Lake will be preserved to minimize the impact on the surrounding properties. All proposed landscaping areas meet or exceed the planting requirements of Genoa Township's current Zoning Ordinance and have been designed to improve the aesthetics of the property. Within the developed portion of the site, areas not otherwise covered, shall have lawn or other vegetative surface cover established. A wetland area is located adjacent to Morse Lake. No work is proposed within the existing wetland on the property.

Surface drainage characteristics on the property will be affected by the construction of

the proposed building expansions and parking lots. Construction of the proposed improvements will reduce the permeable area of the property resulting in an increase in the surface water runoff generated. An underground storm water management system has been designed to collect and control the surface water runoff, reducing the discharge rate from the property to that of the pre-development condition. Use of StormTech storm water storage chambers will allow for the infiltration of surface water runoff beneath the proposed parking lot surface.

The proposed changes and modifications to the surface drainage conditions will not significantly impact local aquifer characteristics or groundwater recharge capacity. Surface water runoff from the site will be directed into the proposed underground detention system, with all runoff ultimately being discharged into Morse Lake. Changes in the surface permeability will affect onsite infiltration, surface water flow path and duration. No significant impact to offsite surface water flow or area aquifer changes are anticipated from the proposed construction and re-development of the site.

Upland wildlife habitats on the property include primarily field grass and shrub/scrub brush areas adjacent to Morse Lake. Wildlife supported in this area is generally smaller woodland creatures, field animals, and birds. Larger animals, such as deer, may traverse the site. Previous development and the existing use of the property, the adjoining developments and the proximity of Grand River, limits the quality of the upland habitats available. Additionally, the parcel includes a portion of Morse Lake and the adjacent wetland area. The open water and wetland habitats support a variety of wildlife, including fish, waterfowl and various wetland animals. The lowland and water habitats will remain undisturbed during construction and re-development of the property.

The project site does not currently support significant wildlife habitats and the proposed expansion will not have a significant impact on the overall habitat quality. No significant adverse impact to existing natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

Excavation and grading will be undertaken to construct the additions and expanded parking areas proposed. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed sedimentation basin and underground detention. Grading on the site will mesh with existing grades on adjoining properties. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

Surface water runoff generated from all improved areas of the site will be collected by catch basins, conveyed through a storm sewer system, and discharged to the sedimentation basin located at the South end of the property. The discharge control structure located within the basin restricts the rate storm water is discharged from the basin into Morse Lake. Storm water generated from the site that exceeds the discharge

rate allowed by the control structure, will be detained within the sedimentation basin and interconnected underground storm water detention chamber system. Multiple equalization pipes connect the underground detention chambers to the sedimentation basin allowing detained storm water to flow into the storage system during a storm event. Storm water will be stored within the detention system during a storm event and then released through the control structure following the storm event.

The proposed underground detention system will provide adequate detention of surface water runoff with the installation of a new discharge control structure and modifications to the basin embankment elevation adjacent to Morse Lake. The storm water outlet is designed to discharge storm water at a rate equal to the pre-development discharge rate in accordance with the Livingston County Drain Commissioner's standards and regulations.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fencing will be required around the majority of the site. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties due to the construction of this site will be minimized by implementing soil erosion control methods. No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

The property to the North of this site is zoned Non-residential Planned Unit Development (NR-PUD) and is occupied by the Woodland Health Center. To the East is an Office Service District (OSD) and contains a multi-tenant office building. Property to the West is used for a Mobile Home Park (MHP) district and to the South is Morse Lake with a Medium Density Residential (MDR) district on the other side being utilized as attached condominiums.

The Genoa Township Future Land Use Plan designates this property for General Commercial uses. The surrounding property is designated for a mix of Office, Private Recreational and Medium Density Residential uses.

The existing use is consistent with the development occurring in the area and is consistent with the long term planning within the Township. The community center provides recreational activities for use by the public, including sports courts, gym, teen center and an indoor children's playscape. The café, classrooms, auditoriums, teaching rooms and meeting spaces are also available for use by the public. The community center is available for the public to use Monday through Saturday 7:00 am to 11:00 pm. The facility is used by 2|42 Community Church on Sunday's from 7:00 am to 2:00 pm for services and return for use as a community center from 2:00 pm to 10:00 pm. On Sundays, the main auditorium is utilized for the adult church services, the small auditoriums / teaching rooms utilized by the children and youth ministries, and the

activity spaces for the attendees before and after services.

The landscaping and architecture proposed will allow this site to be developed to compliment the surrounding areas and provide unique and inspiring spaces to the community. The impact of the improvements to the surrounding area has been minimized.

Outdoor spaces have been designed to allow for events when permitted by Genoa Township. Activities may include outdoor services, picnics, children's events (I.E. egg hunts, etc.). The site layout has been created to provide adequate access, parking and buffering for these events. The creation of two large parking areas with a pocket park feature between them allows for the back parking area to provide activities that are sufficiently screened from the neighbors and for the front parking areas to be utilized for vehicular traffic. Outdoor activities and events shall obtain a permit from Genoa Township where required by ordinance.

Ambient noise levels on and around the property are largely generated by Grand River vehicle traffic. The daily activities within the proposed building expansion are not anticipated to create an increase in the sound level generated by the community center. Relocation of some uses from the existing building into the proposed additions on the East side of the community center will help to reduce the sound levels at the West wall of the building. Outdoor activities and events shall obtain a permit from Genoa Township where required by ordinance.

The location of the existing building provides a significant buffer between site activities and the mobile home park to the West. Preservation of the existing vegetative buffer along the property line provides additional protection from activities on the property.

All site lighting shall meet the requirements of the Genoa Township Zoning Ordinance. Existing exterior building mounted site lighting is shielded and down directed. Pole mounted site lighting is proposed for this project. All pole mounted lighting will be shielded and down directed on the site. Pedestrian bollard lighting will be located near the building entrance to enhance the aesthetics and provide a safer pedestrian walkway. General site lighting, excluding safety and emergency lighting, shall be used between the times from dusk to 12:01 a.m. and from 5:00 a.m. to dawn.

Interior building lighting that may be visible from the exterior is limited to the North and East Elevations of the building. The West and South elevations, adjacent to residential uses, do not have any large glass areas. Light from the building interior is seen from the building frontage, but does not provide any adverse glare or light pollution to the area. General interior lighting, excluding safety and emergency lighting is used during the regular building hours.

The existing building façade along the building front (North side) and the East side elevations are most visible from Grand River. The East side of the building provides a main entrance feature and an inviting façade. A two-story glass corridor is located from

the East entry to the front of the building, allowing both light into the building and the ability for people to see activity inside of the building from the outside. An indoor children's playscape is adjacent to this glass corridor and was constructed using re-conditioned steel shipping containers for a portion of the structure. Use of the containers as part of the structure provides the basis for the theme of the children's play area. Moving West through the corridor is the café' and general gathering spaces including an outdoor patio area. These two features were placed next to each other with the intentions to provide a place where parents could gather in the café and allow children to play throughout the week. The building interior flows with the additions and allows for the different features and spaces to be used efficiently. The proposed location and additions to the existing building, will follow the high quality aesthetics, character and inspiration from the existing structure. The locations and adjacencies of the different building addition features have been carefully thought through and allow for a unique place for community activities. The floor plans and elevations submitted provide detail of these areas.

The use of the property as a church and community center does not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials. The site will comply with the performance standards contained in Section 13.05 of the Township Zoning Ordinance.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department as a part of an existing governmental agreement will provide fire protection service. A fire hydrant exists on the property within the Grand River Avenue Right-of-way and two additional hydrants are located within the subject property to provide adequate fire protection capabilities. The relocation of Hydrant "B" with its 6 inch valve in box will be performed per the new proposed site plan. The building is provided with an internal fire suppression system. A Fire Department Connection is located near the front of the building along with a Knox box and required address labeling to meet the Fire Departments requirements. No significant increase in fire protection services are anticipated as a result of the additions to the building.

The property is accessed from Grand River at two locations, the existing traffic signal and near the East property line, providing adequate access for emergency vehicles. A wide drive aisle adjacent to the building serves as a fire lane.

The proposed additions to this building will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is presently within municipal sewer and water districts and is connected to the municipal utilities.

Water service to the building is provided from a water main along the East side of the building. A water service lead is connected to this main to supply the building and a fire suppression line is also provided from this main. A portion of the existing water main providing service to the southerly fire hydrant will be removed and replaced to accommodate the proposed building addition. An easement for repair, maintenance and access are provided for this connecting water main. Capacity is available within the existing water system to provide adequate service to this site.

A section of the existing sanitary service located on the East side of the main building will be removed and replaced to accommodate the proposed addition. Construction will include a new sanitary manhole, extension of the six inch sanitary lead and additional 8-inch diameter sanitary sewer. Capacity is available within the existing sanitary sewer system to provide adequate service for the site.

The site is currently serviced by electric, gas, phone and cable systems located along Grand River Avenue.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. A dumpster enclosure and screen wall is located South of the building. A pull-cart screen wall is located West of the café that provides an area for solid waste to be disposed of adjacent to that use. The pull-carts are then be emptied either by the refuse company or into the dumpster in back when needed. This screening area has been designed to utilize the same building materials and compliments the adjacent architecture as to provide pull-cart screening that looks like part of the building. Additional landscaping is provided in this area to further enhance its aesthetics.

Delivery services are generally limited to parcel trucks, such as UPS, and similar single axle vehicles. These delivery service providers use available parking and drop off areas during their deliveries. Use of the site as a community center and church necessitates a very limited need for loading / unloading of semi trucks and large, multi axle delivery vehicles. Any large vehicle accessing the site will be capable of maneuvering on the proposed parking area located at the rear of the building and will utilize the proposed storage building for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

The proposed church and community center uses within the building will not use, store,

generate and/or discharge potentially polluting materials. Small quantities of hazardous material such as cleaning products and lawn care chemicals may be stored on-site.

I. TRAFFIC IMPACT STUDY

A traffic impact study for the development has been prepared by Fleis & Vandenbrink and is submitted with the Site Plan packet.

Pedestrian access to the property is provided by a sidewalk constructed along Grand River. This sidewalk is connected to the front of the building with a designated sidewalk and crosswalk to the patio area. Sidewalks throughout the property provide safe and efficient means for pedestrians to access the church and community center. The pocket park feature located between the two large parking areas provides a safe way for pedestrian traffic to funnel through the parking lot and into the main entrance. A raised pedestrian crosswalk provides a visual barrier and a safer traversing directly in front of the side entry. Lighted bollards in this location add to the safety at night. No adverse impact on pedestrian traffic in the area is anticipated as a result of developing the proposed project.

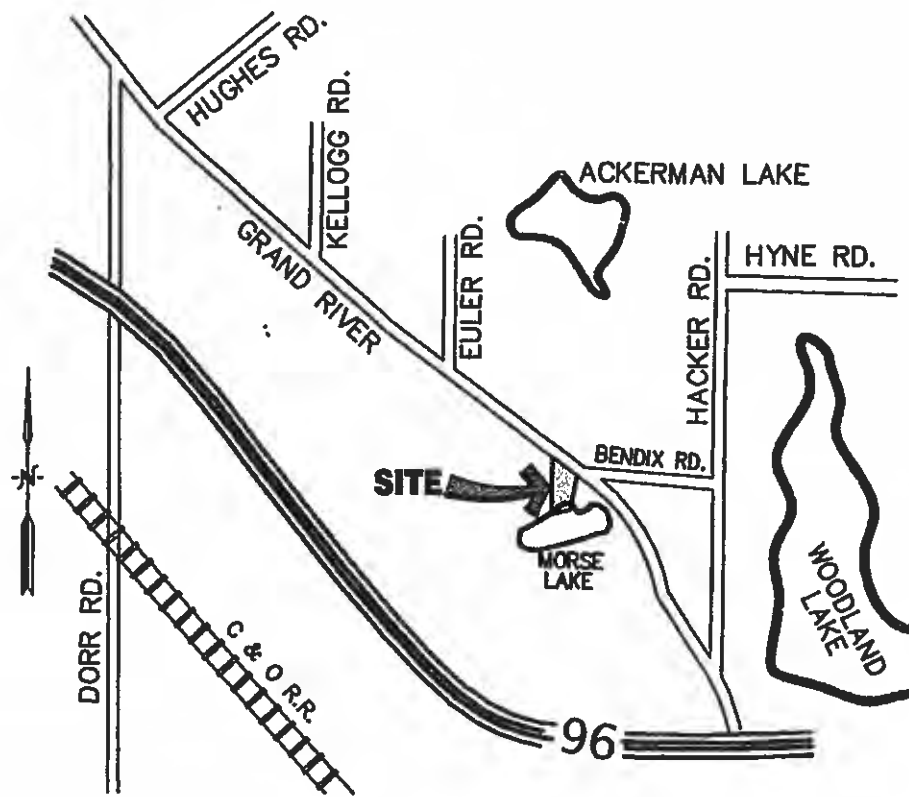
J. HISTORIC AND CULTURAL RESOURCES

The existing facility was constructed in the late 1970's and does not have any major historic significance on a local, regional or state level.

K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

FIGURE 1



LOCATION MAP
NOT TO SCALE

FIGURE 2

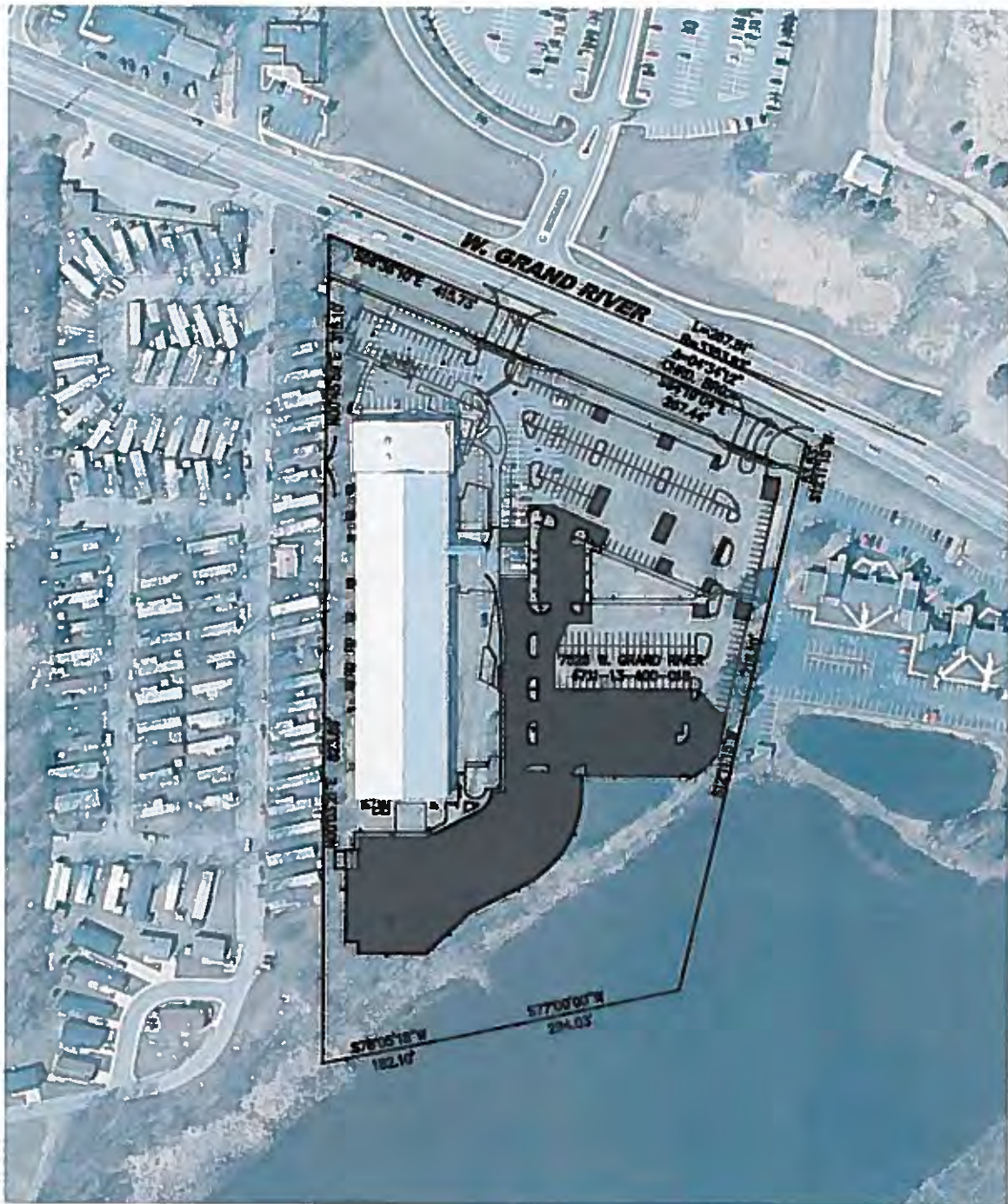


PHOTO DEPICTING SITE IMPROVEMENTS

NOT TO SCALE

FIGURE 3



Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshtemo loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshtemo loamy sands, 16 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water

SOILS MAP

NOT TO SCALE

MEMO

VIA EMAIL

To: Mr. Eric Rauch
2 | 42 Community Church

From: Michael J. Labadie, PE
Steven J. Russo, E.I.T.
Fleis & VandenBrink

Date: March 24, 2015

Re: 2 | 42 Community Church Expansion
Genoa Township, Michigan
Traffic Impact Study (TIS) Update

Introduction

This memorandum presents the results of a Traffic Impact Study (TIS) update for the 2 | 42 Community Church in Genoa Township, Michigan. The project site is located on the south side of Grand River Avenue approximately 1 ½ miles northwest of the I-96 interchange. The Church is currently operating with a 1208 seat worship space and is proposing to expand the seating capacity to 1,656 seats. Saturday services currently begin at 4:30 PM and 6:00 PM and Sunday services currently begin at 8:45 AM, 10:15 AM, and 11:45 AM.

In 2011, Fleis & VandenBrink (F&V) staff completed (with Wilcox) a TIS which evaluated the potential traffic-related impacts for the proposed full buildout of the Church including a 1,200 seat capacity. Additionally, site access operations were analyzed for the initial 800 seat phase. The results of the TIS indicated that traffic operations with full buildout of the Church would be acceptable with implementation of 1) a traffic signal timing plan to operate during service times and 2) a Traffic Management Plan (TMP).

In 2013, F&V completed an update to the 2011 study and evaluated existing 2013 conditions, validated the original study assumptions and recommendations, and recommended further improvements / modifications to the original TMP. The Township is requiring an update to the 2013 study in order to evaluate current conditions, and ensure that acceptable traffic operations will be maintained with the proposed 448 seat expansion. The study scope includes the existing signalized and unsignalized Church driveways on Grand River Avenue, as well as the adjacent office driveway. Traffic operations, parking, and the TMP were also again evaluated with this update.

Data Collection

On Saturday February 28th and Sunday March 1st, 2015 F&V and F&V subconsultant Traffic Data Collection, Inc. (TDC) collected traffic volume data at the study intersections. Data were collected in 15-minute intervals on Saturday between 4:00 PM and 7:15 PM and on Sunday between 8:15 AM and 1:15 PM. The data collected were used to establish the existing 2015 peak hour traffic volumes. F&V also collected an inventory of existing lane use and traffic control at the study intersections and obtained existing traffic signal timing information from the Livingston County Road Commission (LCRC).

Peak Hour Factors (PHFs) at the study intersections were also calculated at the study intersections. Typically PHFs are calculated by approach and PHFs less than 0.60 and greater than 0.95 should not be utilized; however, given the subject site is a Church with strong peaking characteristics, PHFs were calculated by

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movement at the study intersections and PHFs less than 0.6 were determined to be appropriate for use in this study.

Existing Conditions

The existing Saturday and Sunday peak hour traffic volumes were identified based on the data collected. For the original 2011 study, Sunday Church traffic generation was conservatively assumed to occur during the same hour that traffic volumes on Grand River Avenue peak. Review of existing 2015 volumes indicates that the Church traffic volumes on Saturday peak between 5:15 PM and 6:15 PM (between services) and Grand River Avenue traffic peaks between 4:00 PM and 5:00 PM. Additionally, Church traffic volumes on Sunday peak between 11:15 AM to 12:15 PM (between 2nd and 3rd service) while Grand River Avenue traffic peaks between 12:15 PM and 1:15 PM. Therefore, both Church and Grand River Avenue peak periods for both Saturday and Sunday were analyzed for this update.

Existing peak hour vehicle delays and Levels of Service (LOS) were calculated at the study intersections using Synchro (Version 9) traffic analysis software. This analysis was based on the existing land use and traffic control shown on the attached Figure 1, the 2015 peak hour traffic volumes shown on the attached Figures 2 and 3, and the methodologies presented in the *Highway Capacity Manual 2010* (HCM). Typically, LOS D is considered acceptable, with LOS A representing minimal delay, and LOS F indicating failing conditions. Additionally, SimTraffic simulations were utilized to evaluate network operations and vehicle queues. The existing conditions results are attached and summarized in Table 1.

Table 1

Existing Intersection Operations

Intersection	Control	Approach	SAT Church Peak		SAT GR Peak		SUN Church Peak		SUN GR Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
1. Grand River Avenue & 2-42 Church Drive / St. Joe Drive	Signalized	EB	9.9	A	6.3	A	13.0	B	13.3	B
		WB	9.0	A	5.5	A	11.1	B	12.3	B
		NB	36.8	D	37.6	D	30.4	C	31.5	C
		SB	<u>39.8</u>	<u>D</u>	<u>40.0</u>	<u>D</u>	<u>38.3</u>	<u>D</u>	<u>37.6</u>	<u>D</u>
		Overall	15.6	B	7.3	A	16.1	B	17.6	B
2. Grand River Avenue & 2-42 Church Drive	STOP (Minor)	EB	Free		Free		Free		Free	
		WB LT	9.9	A	10.6	B	10.3	B	9.0	A
		NB	17.2	C	10.4	B	13.6	B	17.6	C
3. Grand River Avenue & Office Drive	STOP (Minor)	EB	Free		Free		Free		Free	
		WB LT	0.0*	A	0.0*	A	10.0	B	0.0*	A
		NB	14.0	B	11.8	B	17.3	C	20.1	C

* - No Demand traffic demand present.

The results of the existing 2015 conditions analysis indicate that during the Saturday and Sunday peak periods, the Grand River Avenue approaches at the signalized driveway will operate at a LOS B or better. All minor approaches and unsignalized movements will operate at a LOS D or better during all peak periods. Review of network simulations also indicates acceptable traffic operations during all study periods. During the Church peak periods, brief periods of vehicle queues are observed for the Church driveways egress approaches; however, these queues dissipate and are not present throughout the duration of the peak periods.

Background Conditions

As this expansion is proposed to be constructed within the next year, and based on stagnant traffic growth patterns in Southeast Michigan, the future background traffic growth rate is assumed to be zero percent for this study. Additionally, no approved development projects yet to be constructed were identified within the

vicinity of the study area. Therefore, the background conditions *without the proposed Church expansion* are assumed equal to existing conditions.

Note: The Community Bible Church located on Grand River Avenue approximately ¼ mile west of the 2-42 Church is also currently planning an expansion; however, at this time they have not made a formal submission to the Township and their schedule / timing is unknown. Therefore, they were not included as a background development.

Site Trip Generation & Assignment

The number of peak hour vehicle trips that are generated by the existing Church were compared with the trip generation forecasts outlined in the original TIS and 2013 update. The numerical comparisons are outlined in Table 2.

Table 2
2015 Trip Generation Comparison

		<u>Saturday</u>			<u>Sunday</u>		
		IN	OUT	TOTAL	IN	OUT	TOTAL
2015 Existing Data							
	Signalized	100	156	256	215	196	411
	STOP	91	158	249	172	201	373
	Office	2	9	11	50	67	117
	TOTAL	193	323	516	437	464	901
	% IN / OUT	37%	63%		49%	51%	
2015 Forecast (1208 seats)							
	Difference				480	344	824
	% IN / OUT				58%	42%	

The results of this comparison indicate that the Church is currently generating a higher amount of Sunday trips than was originally forecast. The trip generation rate applied for the original TIS was equal to 0.69 vehicle trips per seat; however, existing 2015 data indicates the Church is currently generating 0.75 vehicle trips per seat. Furthermore, the Sunday peak directional distribution of vehicle trips has shifted to a more even distribution of 49% inbound versus 51% outbound. As a result, the site trip generation forecast for the proposed 448 seat expansion was calculated based on the existing 2015 data and is shown in Table 3.

Table 3
Site Trip Generation ¹

Land Use	Amount	Units	<u>SAT Peak Hour</u>			<u>SUN Peak Hour</u>		
			In	Out	Total	In	Out	Total
Church	448	Seats	71	122	193	165	171	336

1. Trip generation based on 2015 Church data.

The 2015 peak hour vehicle trips generated by the existing Church were also compared with the traffic assignment outlined in the original TIS. The traffic assignment outlined in the original TIS was calculated based on demographic information from the Church and indicated 65% of the membership will travel to / from the Brighton area and I-96 to the east and 35% will travel to / from the Howell area to the west. Existing 2015 Church counts indicate slight shifts in distribution as currently 62% of trips are to / from the east and 38% of trips are to / from the west as shown in Table 4. Therefore, the peak hour site trips shown in Table 3 were assigned to the study road network based on existing peak hour traffic patterns with 62% of trips forecast to travel to / from the east.

Table 4
2015 Trip Distribution

	Saturday				Sunday				AVG %
	TO	%	FROM	%	TO	%	FROM	%	
East	401	67%	343	61%	751	66%	677	56%	62%
West	197	33%	222	39%	379	34%	530	44%	38%
Total	598		565		1,130		1,207		

The site-generated traffic volumes were then assigned to the on-site driveways based on existing turning movement percentages and the proposed increase in on-site parking. Currently, parking for the Church is accommodated via 370 on-site paved parking spaces, 50 parking spaces in the gravel lot behind the church, and 150 parking spaces in the adjacent office building lot to the east which the Church has a shared parking agreement with. The proposed seating expansion plans also include expansion of existing on-site parking from the current 420 spaces to 549 spaces resulting in a 31% increase in on-site parking.

Therefore, the number of vehicle trips in and out of the Church driveways was also assumed to increase in the future by 31%. Based on an existing total of 784 vehicle trips at the Church driveways during the Sunday peak hour, 242 of the future Sunday site-generated trips were assigned to the Church driveways based on the trip distribution shown on Table 4, and a weighted average of turning movements at the signalized and unsignalized Church driveways. The remaining future site-generated trips were assigned to the adjacent office building driveway. For the Saturday analysis, all trips were assigned to the Church driveways as the total number of future Saturday peak hour vehicle trips indicates all vehicles can park on-site. The site-generated vehicle trips are shown on the attached Figure 4. The site-generated trips were added to the existing traffic volumes to calculate the future traffic volumes shown on the attached Figure 5.

Future Conditions

Traffic operations with the proposed expansion to 1,656 seats were evaluated based on the findings outlined above. This analysis focuses on the Saturday (5:15 PM to 6:15 PM) and Sunday (11:15 AM to 12:15 PM) peak hour between services (11:15 AM to 12:15 PM) when the site is generating both inbound and outbound traffic volumes. The future conditions results are attached and summarized in Table 5.

The future conditions results indicate that all study intersection approaches and movements would continue to operate acceptably at a LOS D or better during both peak periods except the northbound Office driveway approach which would operate at a LOS E during the Sunday peak period. Review of network simulations also indicates acceptable traffic operations during the Saturday peak period. During the Sunday peak period, vehicle queues on the Church driveways are observed to be processed acceptably while a long vehicle queue is observed for the egress Office driveway approach during the peak 10-minute period.

The poor traffic operations and vehicle queues experienced at the office driveway egress approach are due to low PHFs. The PHF represents the traffic volume flow variation during the peak hour, with a higher PHF indicating a more uniform traffic flow and lower PHF indicating a more concentrated traffic flow. Consistent with Church uses, the low PHFs are attributed to the large amount of traffic that enters and exits the site in a short duration of time. Therefore, poor traffic operations and brief periods of vehicle queues are not uncommon for these types of development. Should the poor traffic operations and vehicle queues be experienced in the future, the Church should consider a shared parking agreement with St. Joseph Mercy hospital across the street to allow more vehicles to utilize the traffic signal at Grand River Avenue & St. Joseph / 2-42 Drive.

Table 5
Future Intersection Operations

Intersection	Control	Approach	SAT Church Peak		SUN Church Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS
1. Grand River Avenue & 2-42 Church Drive / St. Joe Drive	Signalized	EB	12.2	B	15.9	B
		WB	11.1	B	13.7	B
		NB	39.1	D	30.0	C
		SB	<u>39.8</u>	<u>D</u>	<u>38.3</u>	<u>D</u>
		Overaff	18.4	B	18.6	B
2. Grand River Avenue & 2-42 Church Drive	STOP (Minor)	EB	Free		Free	
		WB LT	11.1	B	11.8	B
		NB	22.1	C	16.6	C
3. Grand River Avenue & Office Drive	STOP (Minor)	EB	Free		Free	
		WB LT	0.0*	A	11.4	B
		NB	14.6	B	39.7	E

* - No Demand traffic demand present.

Traffic Management Plan

The Church should continue to follow the previous TIS update TMP enhancements as outlined below and currently implemented. In addition to these enhancements, the hospital lot should be utilized for workers and late arrivals if the other lots are filled.

- Continue to fill the on-site lot front to back, but do not delay inbound vehicles to fill 1 or 2 spaces in the northern portion as first service patrons exit. These spaces can be filled after second service begins and peak traffic calms.
- Currently, flaggers are working in the on-site lot to direct traffic. As the lot begins to fill, station flaggers at Grand River Avenue to direct traffic to the office lot.
- Station a flagger at the office driveway and Grand River Avenue to flag westbound traffic into the office lot.
- Implement "Lot Full" and "Overflow Parking" signs that are visible to traffic on Grand River Avenue that can be placed as the on-site lot fills.
- Distribute the TMP information to the Church membership and post the 2 | 42 website.

Conclusions

Based on the results of this TIS update, the trip generation and assignment assumptions of the original TIS have changed slightly. The study intersections currently operate acceptably, and will continue to operate acceptably with full buildout to 1,656 seats except the office driveway approach which will operate at a LOS E during the Sunday peak period. This approach will experience a long vehicle queue during the peak 10 minute period; however, the queue dissipates and is not present throughout the duration of the peak period.

The Church is currently implementing the TMP outlined in the previous TIS update. With implementation of the enhanced TMP items outlined above, the proposed project will not have an adverse impact on the adjacent road and intersection network.

Any questions related to this study and memorandum should be directed to Fleis & VandenBrink.



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KID
COMMUNITY

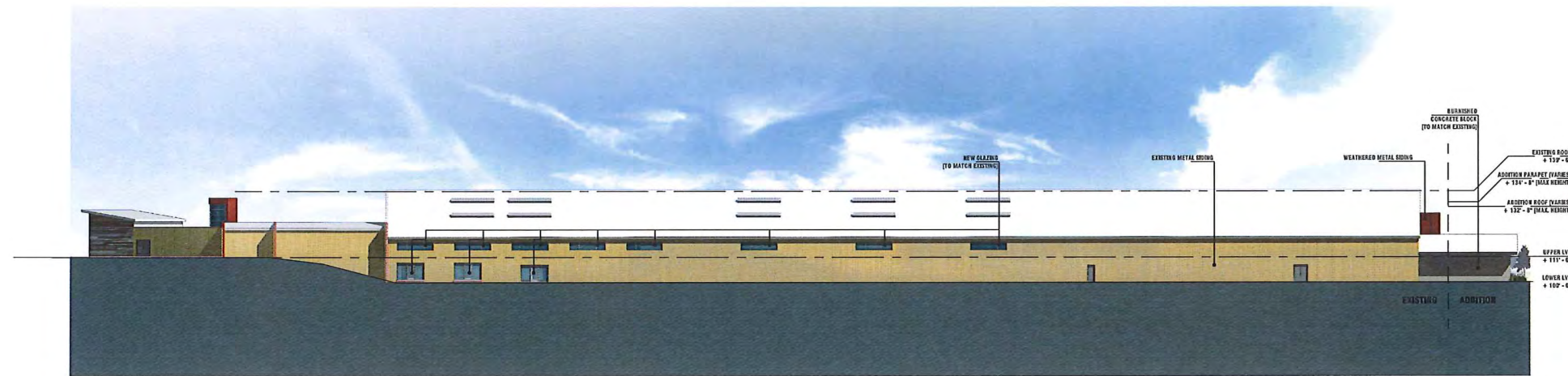
FAMILY
ENTRANCE

2142
SPORTS

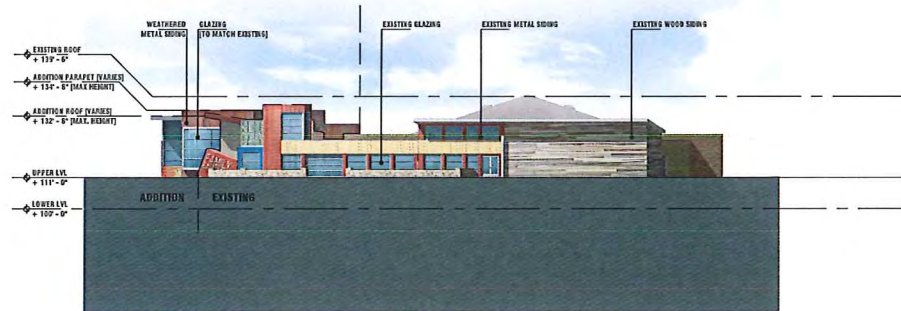
2142
COMMUNITY
CENTER



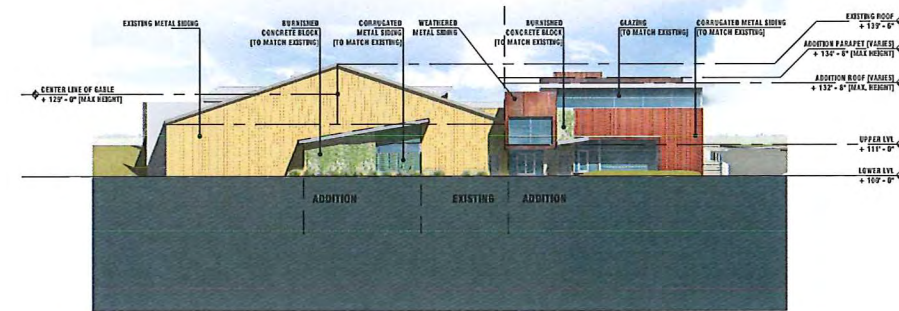
EAST ELEVATION
SCALE: 1" = 30'



WEST ELEVATION
SCALE: 1" = 30'



NORTH ELEVATION
SCALE: 1" = 30'



SOUTH ELEVATION
SCALE: 1" = 30'

Drawings: P:\2014\149060\Drawings\150330 - elevations\150330 - elevations.dwg
Date: Mar 31, 2015, 3:16pm Layer: Layout1 Plotted by: dms

DATE ISSUED
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2|42 COMMUNITY CHURCH
BRIGHTON CAMPUS
7526 GRAND RIVER
BRIGHTON 48114
P.810.251.0190

PROJECT

CONSULTANT

SHEET TITLE

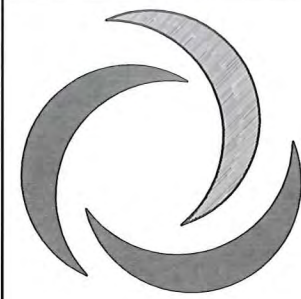
14-906

PROJECT NUMBER

A-200

SHEET NUMBER

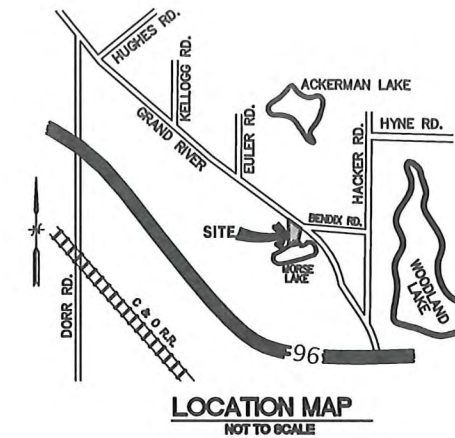
PROPOSED SITE PLAN FOR



2|42 COMMUNITY CHURCH

helping.people.take.next.steps.with.God

GENOA CAMPUS - 7526 GRAND RIVER
PART OF THE NORTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4
OF SECTION 13, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LEGAL DESCRIPTION

Part of the Northwest 1/4 and part of the Southeast 1/4 of Section 13, T2N-R5E, Genoa Township, Livingston County, Michigan more particularly described as follows:
 Commencing at the East 1/4 Corner of Section 13; thence along the East-West 1/4 line of Section 13, N88°18'07" W, 2058.55 feet, to the POINT OF BEGINNING of the Parcel to be described, said point being S 12°11'15" W, 105.46 feet from a point previously described as the point of beginning, (said point having been previously described as bearing the following three (3) courses from the East 1/4 Corner of Section 13: 1) S 01°07'10" W, 474.50 feet; 2) N 76°44'40" W, 1543.60 feet; 3) N 63°15'40" W, 584.62 feet); thence S 12°11'15" W, 718.10 feet; thence S 77°00'00" W, 294.03 feet; thence along the North line of "Lake Edgewood Townhomes", Replat No. 3 of Livingston County Condominium Subdivision Plan No. 11, as recorded in Liber 2069, Page 989, Livingston County Records, S 78°05'18" W, 182.10 feet; thence N 00°03'21" E (recorded as due North), 823.89 feet the Center of Section 13, as recorded in L.S.C. #1299, Livingston County Records; thence along the North-South 1/4 line of Section 13, as monumented, N 00°45'59" E 315.10 feet; thence in Grand River Avenue, along the South Line of the area conveyed in fee to the County of Livingston, as recorded in Liber 153, Page 81, Livingston County Records, on the following two (2) courses: 1) S 66°36'10" E, 415.73 feet; 2) southeasterly on an arc right, having a length of 267.51 feet, a radius of 3353.83 feet, a central angle of 04°34'12", and a long chord which bears S 64°19'04" E, 267.44 feet; thence S 12°11'15" W, 53.53 feet, to the POINT OF BEGINNING.

TAX I.D. 4711-13-400-018

SITE AREA - 12.09 ACRES
AREA OF DISTURBANCE - 3.54 AC.



SHEET INDEX

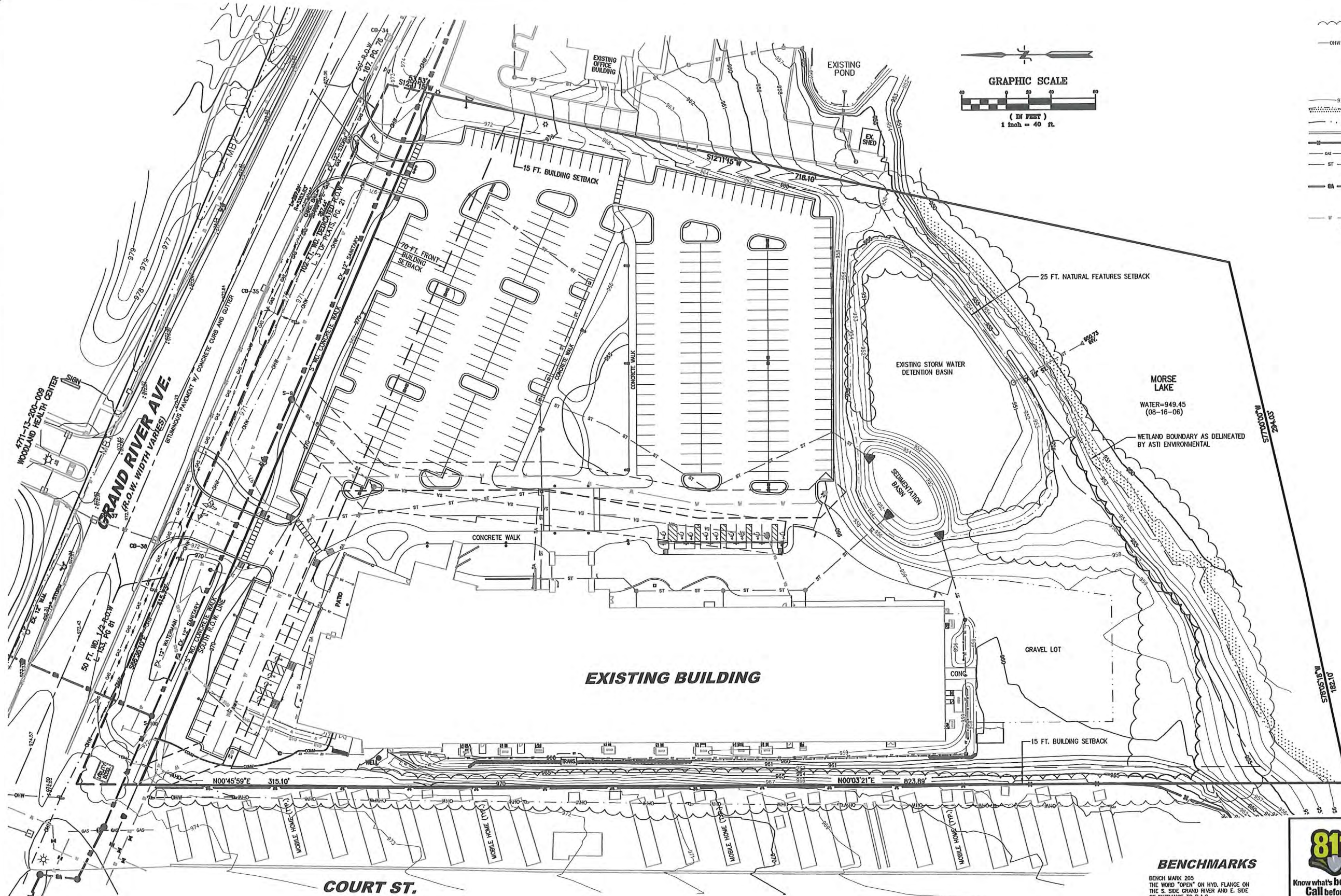
- C10 EXISTING CONDITIONS PLAN
- C11 DEMOLITION PLAN AND NOTES
- C20 SITE DEVELOPMENT PLAN
- C3.0 GRADING AND PAVING PLAN (NORTH)
- C3.1 GRADING AND PAVING PLAN (SOUTH)
- C4.0 UTILITY PLAN (NORTH)
- C4.1 UTILITY PLAN (SOUTH)
- C4.2 UNDERGROUND STORMWATER STORAGE PLAN
- C4.3 STORM SEWER CALCULATIONS
- C5.0 SOIL EROSION AND WATERSHED PLAN
- C5.1 SOIL EROSION NOTES AND DETAILS
- C6.0 LANDSCAPE PLAN
- C6.1 LANDSCAPE NOTES AND DETAILS
- C7.0 LIGHTING PLAN
- C7.1 LIGHTING DETAILS
- C10.0 SITE DEVELOPMENT NOTES AND DETAILS
- C10.1 STORM SEWER NOTES AND DETAILS
- C10.2 SANITARY SEWER STANDARD DETAILS
- C10.3 WATER MAIN STANDARD DETAILS
- A100 FLOOR PLANS
- A200 ELEVATIONS

OWNER/DEVELOPER
2142 COMMUNITY CHURCH
7526 GRAND RIVER
BRIGHTON, MI. 48114
(810) 231-0190

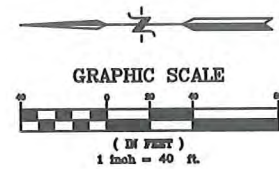
ARCHITECT
HOBBS + BLACK ARCHITECTS
100 N. STATE STREET
ANN ARBOR, MI. 48104
(734) 663-4189

CIVIL ENGINEER/LAND SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MI. 48114
(810) 227-9533

REVISED	SCALE: N/A
04-22-15	PROJECT No.: 9152540
	DWG NAME: 2540-COV
	PRINT: APR. 22, 2015



- LEGEND**
- EXISTING BRUSH/TREE LINE
 - EXISTING TREE
 - EXISTING OVERHEAD WIRES
 - EXISTING POLE AND GUY
 - EXISTING POWER POLE
 - EXISTING AMERITECH RISER
 - EXISTING LIGHT POLE
 - EXISTING SIGNS
 - EXISTING CONTOURS
 - EXISTING EDGE OF WETLAND
 - EXISTING EDGE OF WATER
 - EXISTING CURB AND GUTTER
 - EXISTING FENCE LINE
 - EXISTING GAS LINE
 - EXISTING STORM SEWER
 - EXISTING STORM STRUCTURES
 - EXISTING SANITARY SEWER
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY CLEANOUT
 - EXISTING WATER MAIN
 - EXISTING WATER MAIN STRUCTURES



BENCHMARKS
 BENCH MARK 205
 THE WORD "OPEN" ON HYD. FLANGE ON
 THE S. SIDE GRAND RIVER AND E. SIDE
 OF ENTRANCE TO S.A.C.
 ELEVATION=968.19 (NGVD 29 DATUM)
 BENCH MARK 208
 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE
 E. SIDE OF PARKING AREA
 ELEVATION=965.55 (NGVD 29 DATUM)

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DRAFT: L.F.						
CHECK: WMP						
	04-22-15		REVISED PER REVIEW COMMENTS			

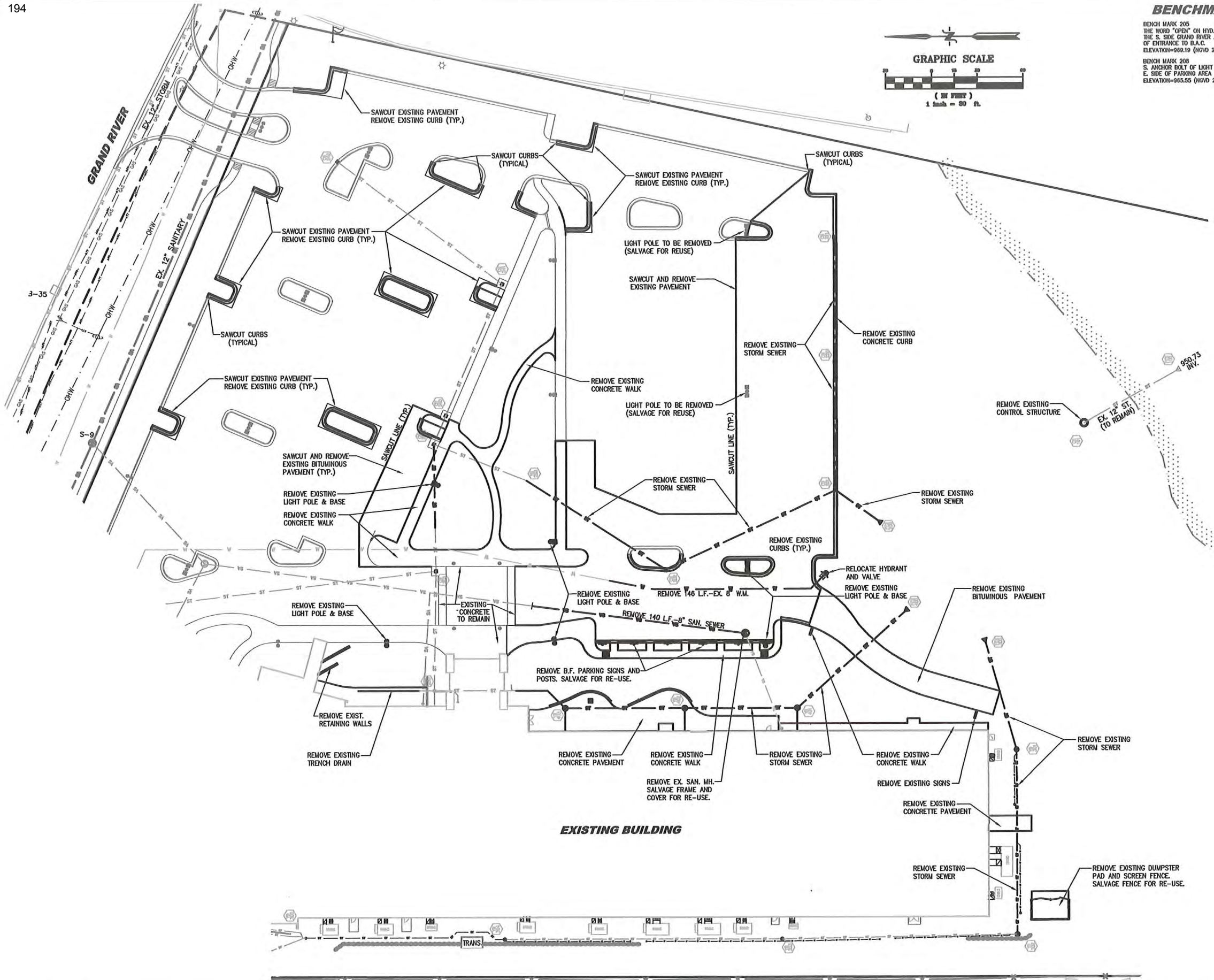
242 COMMUNITY CHURCH

EXISTING CONDITIONS PLAN

CLIENT:
 242 COMMUNITY CHURCH
 7526 GRAND RIVER
 BRIGHTON, MI 48114
 (810) 231-0190

SCALE: 1"=40'
 PROJECT No.: 9152540
 DWG NAME: 2540-EX
 ISSUED: APR. 22, 2015

C1.0



BENCHMARKS

BENCH MARK 205
THE WORD "OPEN" ON HYD. FLANGE ON
THE S. SIDE GRAND RIVER AND E. SIDE
OF ENTRANCE TO B.A.C.
ELEVATION=999.19 (NOV 29 DATUM)

BENCH MARK 208
S. ANCHOR BOLT OF LIGHT POLE BASE ON THE
E. SIDE OF PARKING AREA
ELEVATION=965.55 (NOV 29 DATUM)

LEGEND

- CHW — CHW — EXISTING OVERHEAD WIRES
- (O2-33) — EXISTING POLE AND GUY
- (P) — EXISTING POWER POLE
- (A) — EXISTING AMERITECH RISER
- (L) — EXISTING LIGHT POLE
- (S) — EXISTING SIGNS
- — EXISTING EDGE OF WETLAND
- — EXISTING EDGE OF WATER
- — EXISTING CURB AND GUTTER
- — EXISTING FENCE LINE
- — EXISTING GAS LINE
- — EXISTING STORM SEWER
- (S) — EXISTING STORM STRUCTURES
- (S) — EXISTING SANITARY SEWER
- (S) — EXISTING SANITARY MANHOLE
- (S) — EXISTING SANITARY CLEANOUT
- (S) — EXISTING WATER MAIN
- (S) — EXISTING WATER MAIN STRUCTURES
- — EXISTING CURB TO BE REMOVED

DEMOLITION NOTES:

1. The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
2. Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
3. Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
4. Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
5. Contractor shall recycle and/or dispose of all demolition debris in accordance with the appropriate Local, County, State and Federal regulations.
6. All bituminous and concrete pavement to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
7. All existing irrigation lines to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
8. All existing water main and sanitary sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
9. All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
10. All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
11. All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
12. All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor).

NOTE:
ALL CONTRACTORS SHALL CONTACT CHURCH REPRESENTATIVE TO COORDINATE SCHEDULING OF ANY PLANNED UTILITY SERVICE INTERRUPTIONS.

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DESIGN: WMP	04-22-15	REVISED PER REVIEW COMMENTS			
DRAFT: L.F.					
CHECK: WMP					



DEMOLITION PLAN & NOTES

CLIENT:
242 COMMUNITY CHURCH

7526 GRAND RIVER
BRIGHTON, MI 48114
(810) 231-0190

SCALE: 1"=30'

PROJECT No.: 9152540

DWG NAME: 2540-DEMO

ISSUED: APR. 22, 2015

C11

LEGEND

- EXISTING BRUSH/TREE LINE
- EXISTING TREE
- EXISTING OVERHEAD WIRES
- EXISTING POLE AND GUY
- EXISTING POWER POLE
- EXISTING AMERITECH RISER
- EXISTING LIGHT POLE
- EXISTING SIGNS
- EXISTING CONTOURS
- EXISTING EDGE OF WETLAND
- EXISTING EDGE OF WATER
- EXISTING CURB AND CUTTER
- EXISTING FENCE LINE
- EXISTING GAS LINE
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURES
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING WATER MAIN
- EXISTING WATER MAIN STRUCTURES
- EXISTING CONC. CURB AND CUTTER
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER MAIN
- PROPOSED WATER MAIN STRUCTURES
- PROPOSED CONC. CURB AND CUTTER
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONTOURS
- PARKING SPACE COUNT

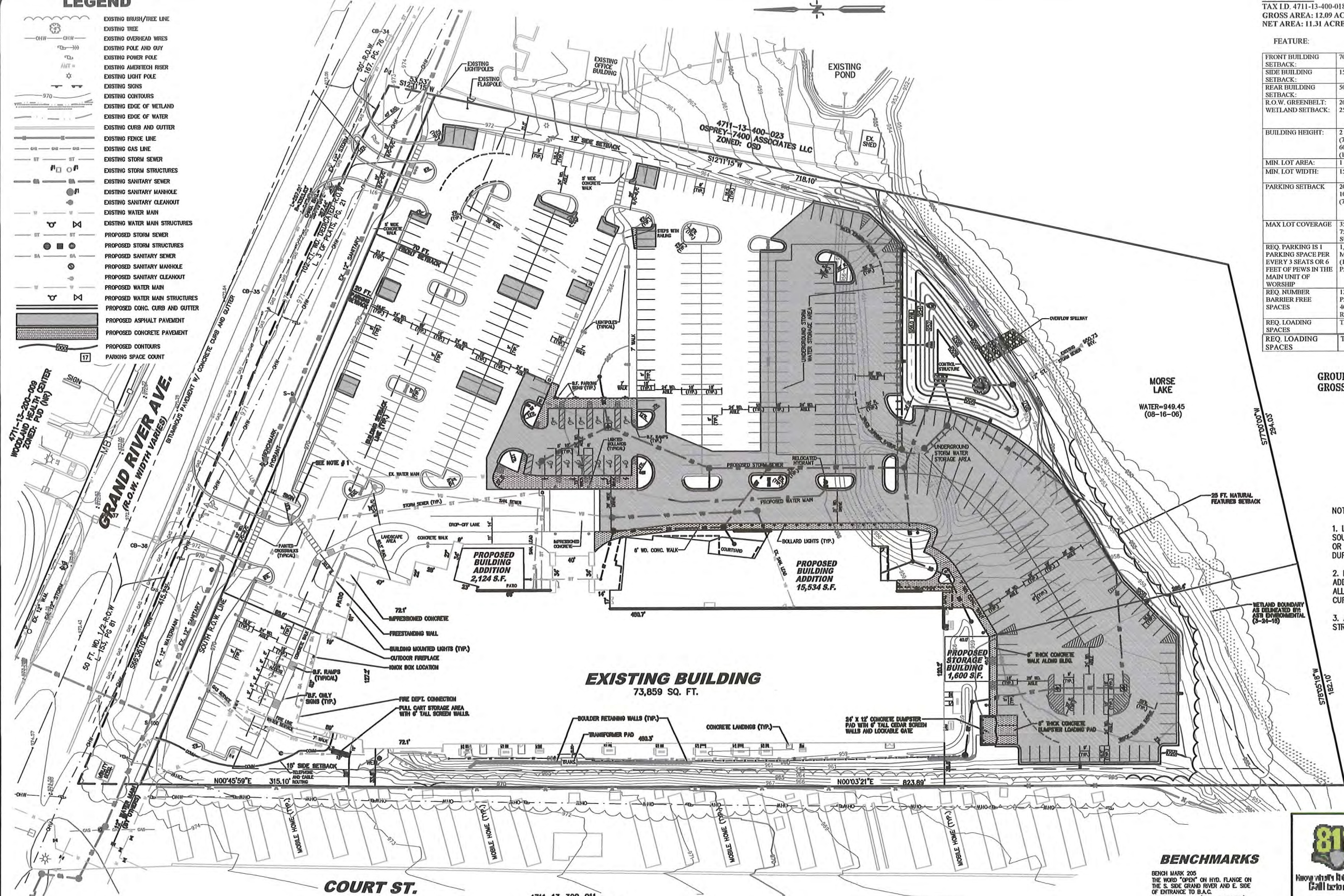
SITE DATA
 TAX I.D. 4711-13-400-018
 GROSS AREA: 12.09 ACRES
 NET AREA: 11.31 ACRES (EXCLUDES R.O.W.)

FEATURE:	REQUIRED:	PROVIDED:
FRONT BUILDING SETBACK:	70-FEET (7.03.01)	95.0 FEET
SIDE BUILDING SETBACK:	15-FEET (7.03.01)	33.8 FEET
REAR BUILDING SETBACK:	50-FEET (7.03.01)	285.4 FEET
R.O.W. GREENBELT:	20-FOOT WIDE (12.02.01)	21.5-FOOT R.O.W. GREENBELT
WETLAND SETBACK:	25-FEET (13.02.04.d)	25-FOOT WETLAND SETBACK
BUILDING HEIGHT:	2 STORIES, 35- FEET (7.03.01) 60- FEET FOR CHURCHES (11.01.05)	2 STORIES
MIN. LOT AREA:	1 ACRE (7.03.01)	12.09 ACRES
MIN. LOT WIDTH:	150- FEET (7.03.01)	669.48- FEET (A RIGHT-OF-WAY LINE)
PARKING SETBACK:	20- FOOT FRONT (7.03.01) 10- FOOT SIDE & REAR (7.03.01)	21.5- FOOT FRONT SETBACK (FROM R.O.W.) 20- FOOT SIDE AND 114.78- FEET REAR
MAX LOT COVERAGE:	35% BUILDING (7.03.01) 75% IMPERVIOUS SURFACE (7.03.01)	19% BUILDING 67 % IMPERVIOUS SURFACE
REQ. PARKING IS 1 PARKING SPACE PER EVERY 3 SEATS OR 6 FEET OF PEWS IN THE MAIN UNIT OF WORSHIP	1,656 SEATS IN THE MAIN AUDITORIUM / 3 (14.04) = 552 REQUIRED PARKING SPACES	552 (INCLUDING 17 B.F. SPACES)
REQ. NUMBER BARRIER FREE SPACES	12 + 2 FOR EVERY 250 PARKING SPACES OVER 400 (14.05.01) = 14	17
REQ. LOADING SPACES	THREE (14.08.08)	THREE
REQ. LOADING SPACES	THREE (14.08.08)	THREE

GROUND FLOOR AREA = 93,117 SF
GROSS FLOOR AREA = 112,480 SF

NOTES:

1. LOADING AREA IS PROVIDED AT THE SOUTH END OF THE SITE. NO DELIVERIES OR TRUCK PARKING WILL BE NECESSARY DURING SUNDAY WORSHIP SERVICES.
2. EXISTING SIGNAGE TO REMAIN. NO ADDITIONAL SITE SIGNAGE IS PROPOSED. ALL SIGNAGE SHALL CONFORM TO THE CURRENT GENOA TOWNSHIP ORDINANCES.
3. ALL PARKING SPACES SHALL BE DOUBLE STRIPED PER DETAIL ON SHEET C10.0.



BENCHMARKS

BENCH MARK 205
 THE WORD "OPEN" ON HND. FLANGE ON THE S. SIDE GRAND RIVER AND E. SIDE OF ENTRANCE TO B.A.C.
 ELEVATION=969.19 (NGVD 29 DATUM)

BENCH MARK 208
 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE E. SIDE OF PARKING AREA
 ELEVATION=965.55 (NGVD 29 DATUM)

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REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DESIGN: WMP	04-22-15	REVISED PER REVIEW COMMENTS			
DRAFT: L.F.					
CHECK: WMP					

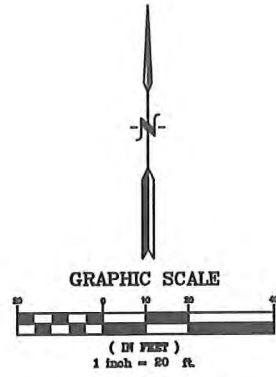
242 COMMUNITY CHURCH

SITE PLAN

CLIENT:
 242 COMMUNITY CHURCH
 7526 W. GRAND RIVER
 BRIGHTON, MI. 48114
 (810) 231-0190

SCALE: 1"=40'
 PROJECT No.: 9152540
 DWG NAME: 2540-SP
 ISSUED: APR. 22, 2015

C2.0



LEGEND

- EXISTING BRUSH/TREE LINE
- EXISTING TREE
- EXISTING OVERHEAD WIRES
- EXISTING POLE AND GUY
- EXISTING POWER POLE
- EXISTING AMERITECH RISER
- EXISTING LIGHT POLE
- EXISTING SIGNS
- EXISTING CONTOURS
- EXISTING EDGE OF WETLAND
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- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING WATER MAIN
- EXISTING WATER MAIN STRUCTURES
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURES
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING WATER MAIN
- EXISTING WATER MAIN STRUCTURES
- PROPOSED CURB & GUTTER W/STD. PITCH
- PROPOSED CURB & GUTTER W/REV. PITCH
- PROPOSED PARKING AREA PAVEMENT
- PROPOSED MAIN AISLE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATIONS
- PROPOSED DRAINAGE FLOW ARROWS

EXISTING BUILDING

PROPOSED BUILDING ADDITION

PROPOSED BUILDING ADDITION

F.F. - 965.82

THICKENED EDGE CONCRETE WALK (SEE DETAIL ON SHEET C10.1)

CONCRETE CURB AND GUTTER WITH REVERSE PITCH (TYP.) (SEE DETAIL ON SHEET C10.0)

BARRIER FREE RAMPS (TYP.) (SEE DETAIL ON SHEET C10.0)

MATCH EXISTING PAVEMENT ELEVATION AT SAWCUT LINE (TYPICAL)

PROPOSED ASPHALT PAVEMENT (TYPICAL)

CONCRETE CURB AND GUTTER WITH STANDARD PITCH (TYP.) (SEE DETAIL ON SHEET C10.0)

MATCH EXISTING PAVEMENT ELEVATION AT SAWCUT LINE (TYPICAL)

MATCH EXISTING PAVEMENT ELEVATION AT SAWCUT LINE (TYPICAL)

MATCH EXISTING PAVEMENT ELEVATION AT SAWCUT LINE (TYPICAL)

PROPOSED ASPHALT PAVEMENT (TYPICAL)

MATCH EXISTING PAVEMENT ELEVATION AT SAWCUT LINE (TYPICAL)

MATCH LINE - SEE SHEET C3.1 FOR CONTINUATION

BENCHMARKS

BENCH MARK 205
THE WORD "OPEN" ON HYD. FLANGE ON THE S. SIDE GRAND RIVER AND E. SIDE OF ENTRANCE TO B.A.C. ELEVATION=969.19 (NGVD 29 DATUM)

BENCH MARK 208
S. ANCHOR BOLT OF LIGHT POLE BASE ON THE E. SIDE OF PARKING AREA ELEVATION=965.55 (NGVD 29 DATUM)



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CHECK: WMP						

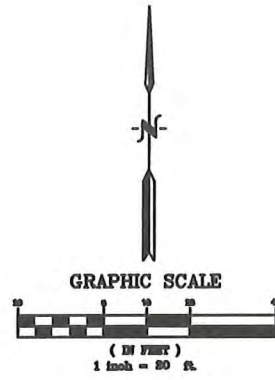


GRADING AND PAVING PLAN (NORTH)

CLIENT:
242 COMMUNITY CHURCH
7526 GRAND RIVER
BRIGHTON, MI. 48114
(810) 231-0190

SCALE: 1"=20'
PROJECT No.: 9152540
DWG NAME: 2540-GR
ISSUED APR. 22, 2015

C3.0



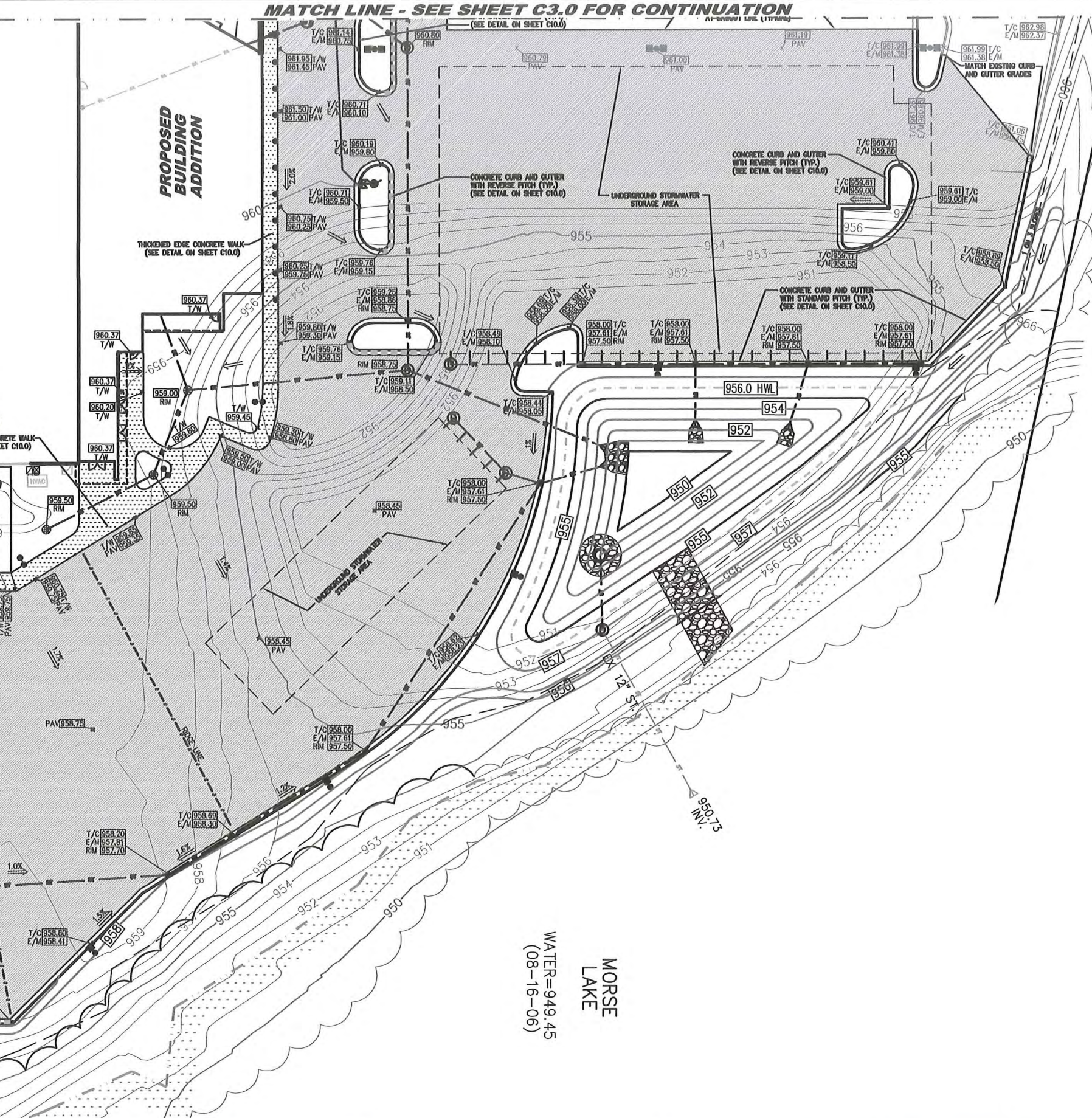
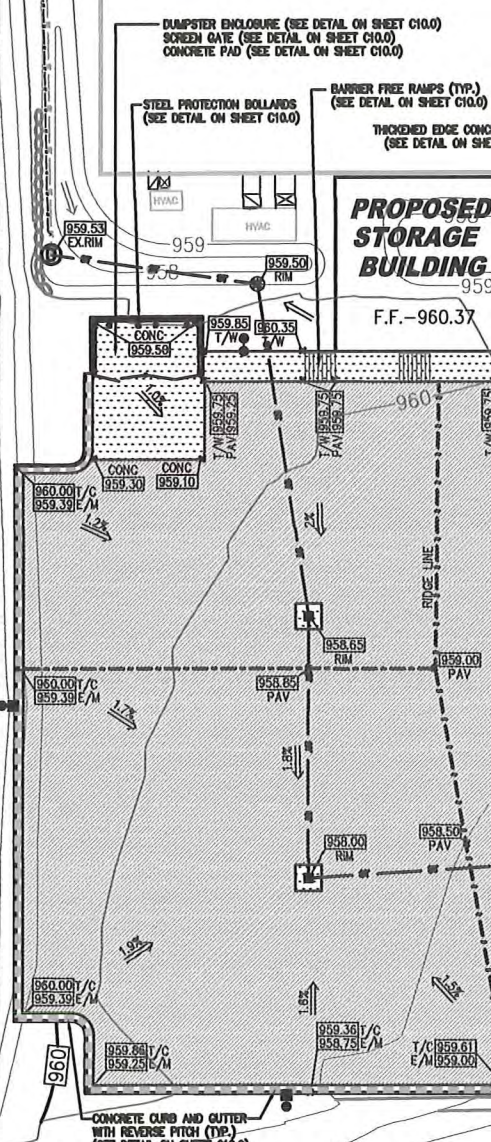
LEGEND

- Legend items: EXISTING BRUSH/TREE LINE, EXISTING TREE, EXISTING OVERHEAD WIRES, EXISTING POLE AND GUY, EXISTING POWER POLE, EXISTING AMERITECH RISER, EXISTING LIGHT POLE, EXISTING SIGNS, EXISTING CONTOURS, EXISTING EDGE OF WETLAND, EXISTING EDGE OF WATER, EXISTING CURB AND GUTTER, EXISTING FENCE LINE, EXISTING GAS LINE, EXISTING STORM SEWER, EXISTING STORM STRUCTURES, EXISTING SANITARY SEWER, EXISTING SANITARY MANHOLE, EXISTING SANITARY CLEANOUT, EXISTING WATER MAIN, EXISTING WATER MAIN STRUCTURES, PROPOSED STORM SEWER, PROPOSED STORM STRUCTURES, PROPOSED SANITARY SEWER, PROPOSED SANITARY MANHOLE, PROPOSED SANITARY CLEANOUT, PROPOSED WATER MAIN, PROPOSED WATER MAIN STRUCTURES, PROPOSED CURB & GUTTER W/STD. PITCH, PROPOSED CURB & GUTTER W/REV. PITCH, PROPOSED PARKING AREA PAVEMENT, PROPOSED MAIN AISLE PAVEMENT, PROPOSED CONCRETE PAVEMENT, PROPOSED CONTOURS, PROPOSED SPOT ELEVATIONS, PROPOSED DRAINAGE FLOW ARROWS.

BENCHMARKS

BENCH MARK 205 THE WORD "OPEN" ON HYD. FLANGE ON THE S. SIDE GRAND RIVER AND E. SIDE OF ENTRANCE TO B.A.C. ELEVATION=959.19 (NGVD 23 DATUM) BENCH MARK 208 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE E. SIDE OF PARKING AREA ELEVATION=955.55 (NGVD 29 DATUM)

Vertical text on the left side of the plan, possibly a sheet number or reference.

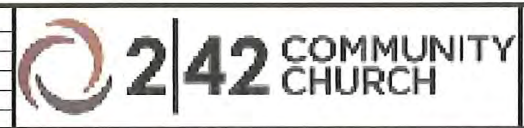


MORSE LAKE WATER=949.45 (08-16-06)

811 logo with text: 3 WORKING DAYS BEFORE YOU DIG CALL 811 OR 1-800-482-7171 (TOLL FREE) OR VISIT CALL811.COM

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Table with columns: REVISION #, DATE, REVISION-DESCRIPTION, REVISION #, DATE, REVISION-DESCRIPTION. Includes a row for 'REVISED PER REVIEW COMMENTS'.



GRADING AND PAVING PLAN (SOUTH)

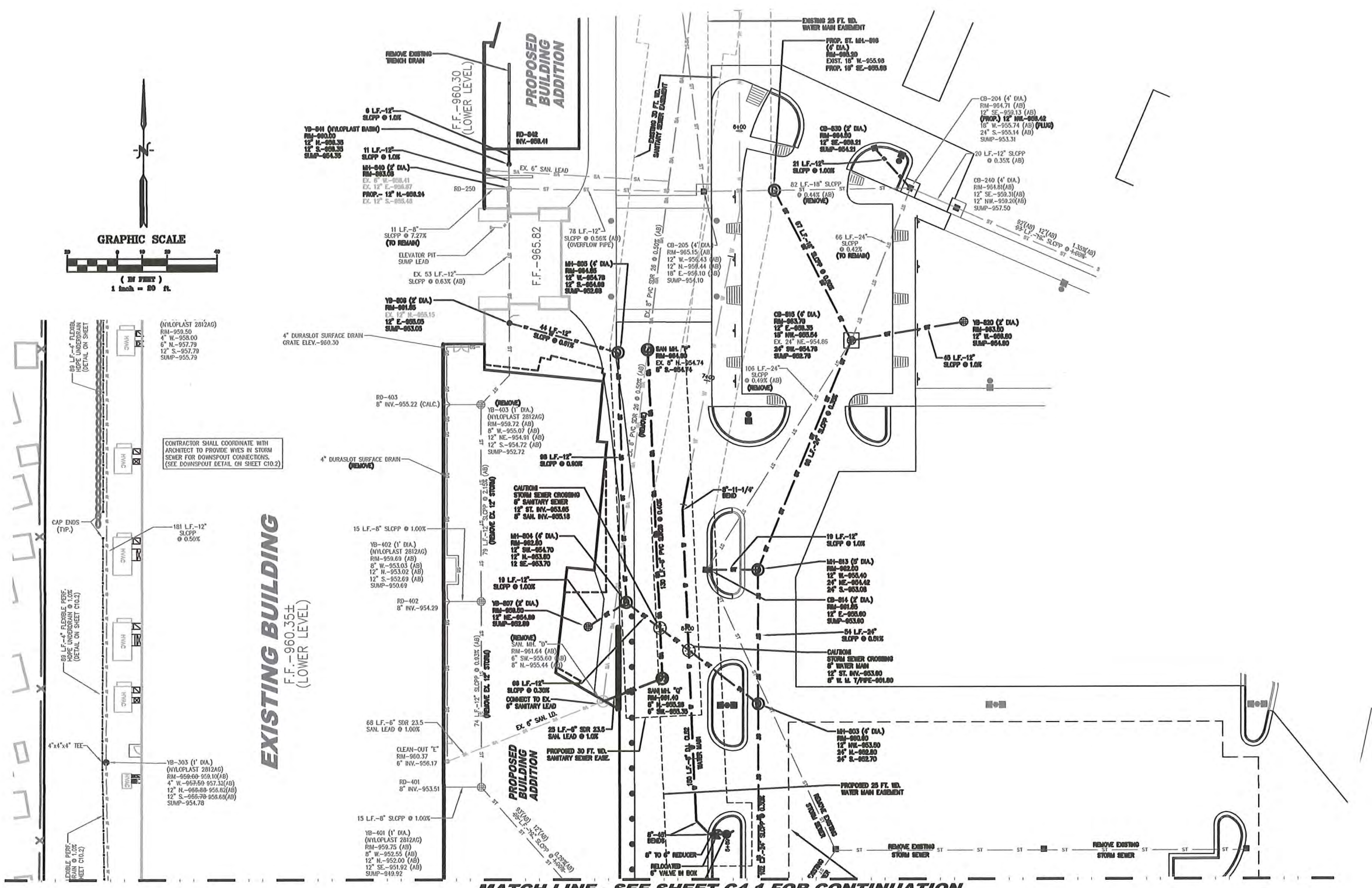
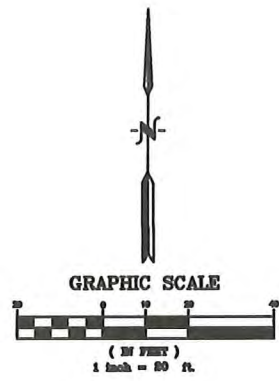
CLIENT: 242 COMMUNITY CHURCH 7526 GRAND RIVER BRIGHTON, MI. 48114 (810) 231-0190

SCALE: 1"=20' PROJECT No.: 9152540 DWG NAME: 2540-GR ISSUED: APR. 22, 2015

C3.1

LEGEND

- EXISTING OVERHEAD WIRES
- EXISTING POLE AND GUY
- EXISTING POWER POLE
- EXISTING AMERITECH RISER
- EXISTING LIGHT POLE
- EXISTING SIGNS
- EXISTING EDGE OF WETLAND
- EXISTING EDGE OF WATER
- EXISTING CURB AND GUTTER
- EXISTING FENCE LINE
- EXISTING GAS LINE
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURES
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING WATER MAIN
- EXISTING WATER MAIN STRUCTURES
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER MAIN
- PROPOSED WATER MAIN STRUCTURES
- PROPOSED CURB & GUTTER



CONTRACTOR SHALL COORDINATE WITH ARCHITECT TO PROVIDE WIRES IN STORM SEWER FOR DOWNSPOUT CONNECTIONS. (SEE DOWNSPOUT DETAIL ON SHEET C10.2)

BENCHMARKS
 BENCH MARK 205
 THE WORD "OPEN" ON HYD. FLANGE ON THE S. SIDE GRAND RIVER AND E. SIDE OF ENTRANCE TO B.L.C. ELEVATION=959.19 (NOVO 29 DATUM)
 BENCH MARK 208
 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE E. SIDE OF PARKING AREA ELEVATION=955.55 (NOVO 29 DATUM)

REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DESIGN: WMP	04-22-15	REVISED PER REVIEW COMMENTS			
DRAFT: L.F.					
CHECK: WMP					

UTILITY PLAN (NORTH)

CLIENT:
242 COMMUNITY CHURCH
7526 GRAND RIVER
BRIGHTON, MI. 48114
(810) 231-0190

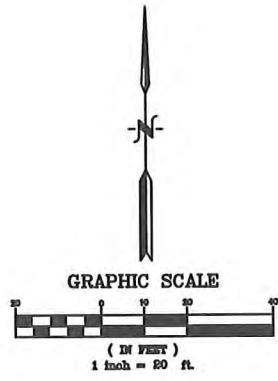
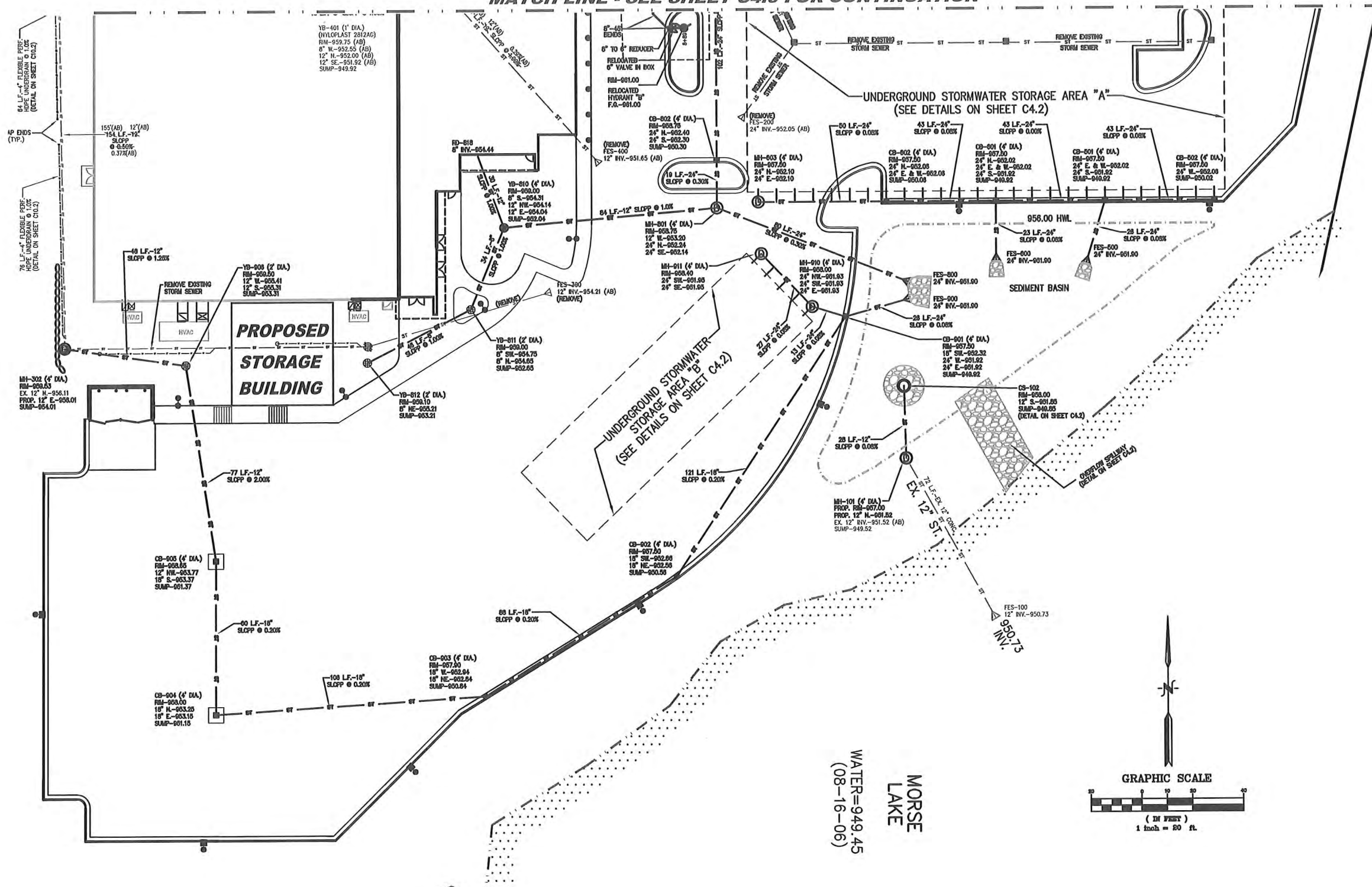
SCALE: 1"=20'
PROJECT No.: 9152540
DWG NAME: 2540-UT
ISSUED: APR. 22, 2015

C4.0

MATCH LINE - SEE SHEET C4.0 FOR CONTINUATION

LEGEND

- OHW — OHW — EXISTING OVERHEAD WIRES
- (C) — (C) — EXISTING POLE AND GUY
- (P) — (P) — EXISTING POWER POLE
- (F) — (F) — EXISTING AMERTECH FIBER
- (L) — (L) — EXISTING LIGHT POLE
- (S) — (S) — EXISTING SIGNS
- (W) — (W) — EXISTING EDGE OF WETLAND
- (C) — (C) — EXISTING CURB AND GUTTER
- (F) — (F) — EXISTING FENCE LINE
- (G) — (G) — EXISTING GAS LINE
- (S) — (S) — EXISTING STORM SEWER
- (S) — (S) — EXISTING STORM STRUCTURES
- (S) — (S) — EXISTING SANITARY SEWER
- (S) — (S) — EXISTING SANITARY MANHOLE
- (S) — (S) — EXISTING SANITARY CLEANOUT
- (W) — (W) — EXISTING WATER MAIN
- (W) — (W) — EXISTING WATER MAIN STRUCTURES
- (S) — (S) — PROPOSED STORM SEWER
- (S) — (S) — PROPOSED STORM STRUCTURES
- (S) — (S) — PROPOSED SANITARY SEWER
- (S) — (S) — PROPOSED SANITARY MANHOLE
- (S) — (S) — PROPOSED SANITARY CLEANOUT
- (W) — (W) — PROPOSED WATER MAIN
- (W) — (W) — PROPOSED WATER MAIN STRUCTURES
- (C) — (C) — PROPOSED CURB & GUTTER



BENCHMARKS

BENCH MARK 205
 THE WORD "OPEN" ON HYD. FLANGE ON
 THE S. SIDE GRAND RIVER AND E. SIDE
 OF ENTRANCE TO B.A.C.
 ELEVATION=869.19 (NGVD 29 DATUM)

BENCH MARK 208
 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE
 E. SIDE OF PARKING AREA
 ELEVATION=865.55 (NGVD 29 DATUM)

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DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						
	01-22-15		REVISED PER REVIEW COMMENTS			

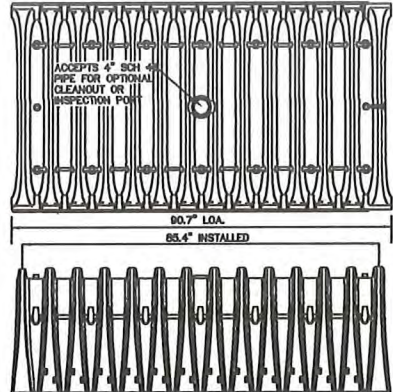
242 COMMUNITY CHURCH

UTILITY PLAN (SOUTH)

CLIENT:
 242 COMMUNITY CHURCH
 7526 GRAND RIVER
 BRIGHTON, MI 48114
 (810) 231-0190

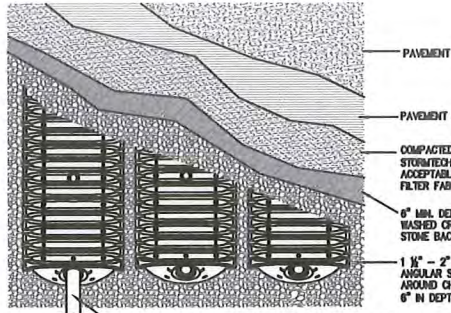
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 ISSUED: APR. 22, 2015

C4.1



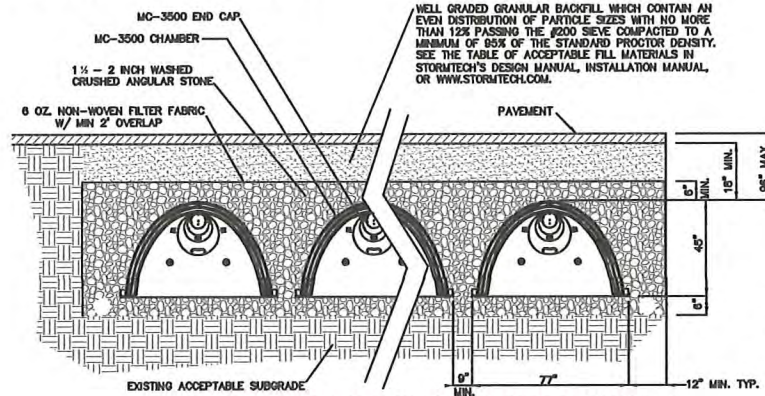
STORMTECH MC-3500 CHAMBER

NOT TO SCALE
 NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W x H x INSTALLED LENGTH) 77" x 45.0" x 65.4"

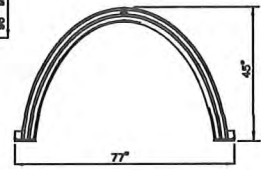


STORMTECH MC-3500 CHAMBER SYSTEM PLAN VIEW DETAIL

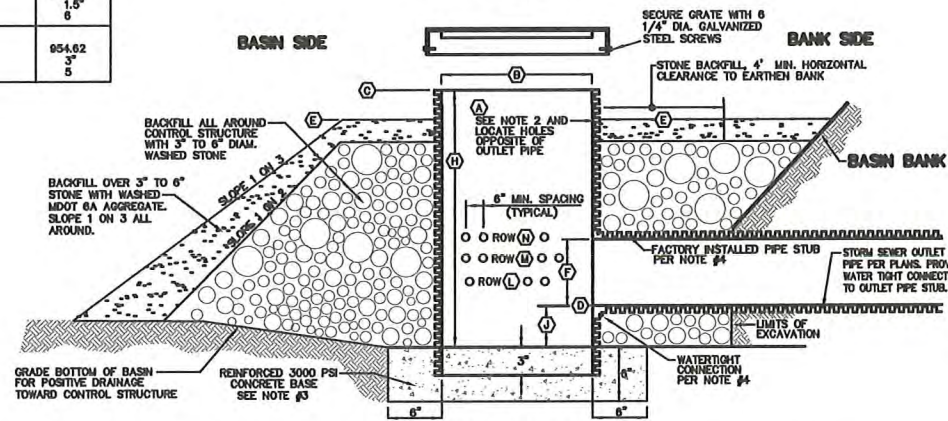
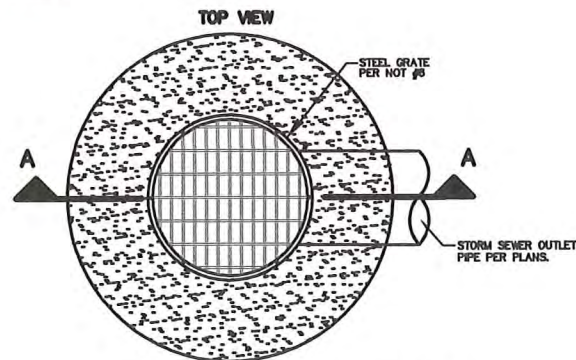
- STORMTECH GENERAL NOTES:**
1. STORMTECH LLC (STORMTECH) RECOMMENDS INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
 2. STORMTECH LLC TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-892-2884 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
 3. STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVING, ETC.) MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT. MAXIMUM COVER IS 36 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE HITTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 36 INCHES.
 4. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEING SUPPLIED TO THE DESIGN ENGINEER.
 5. ASHITO MESH CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
 6. STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
 7. BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.



STORMTECH MC-3500 CHAMBER SYSTEM TYPICAL CROSS SECTION DETAIL

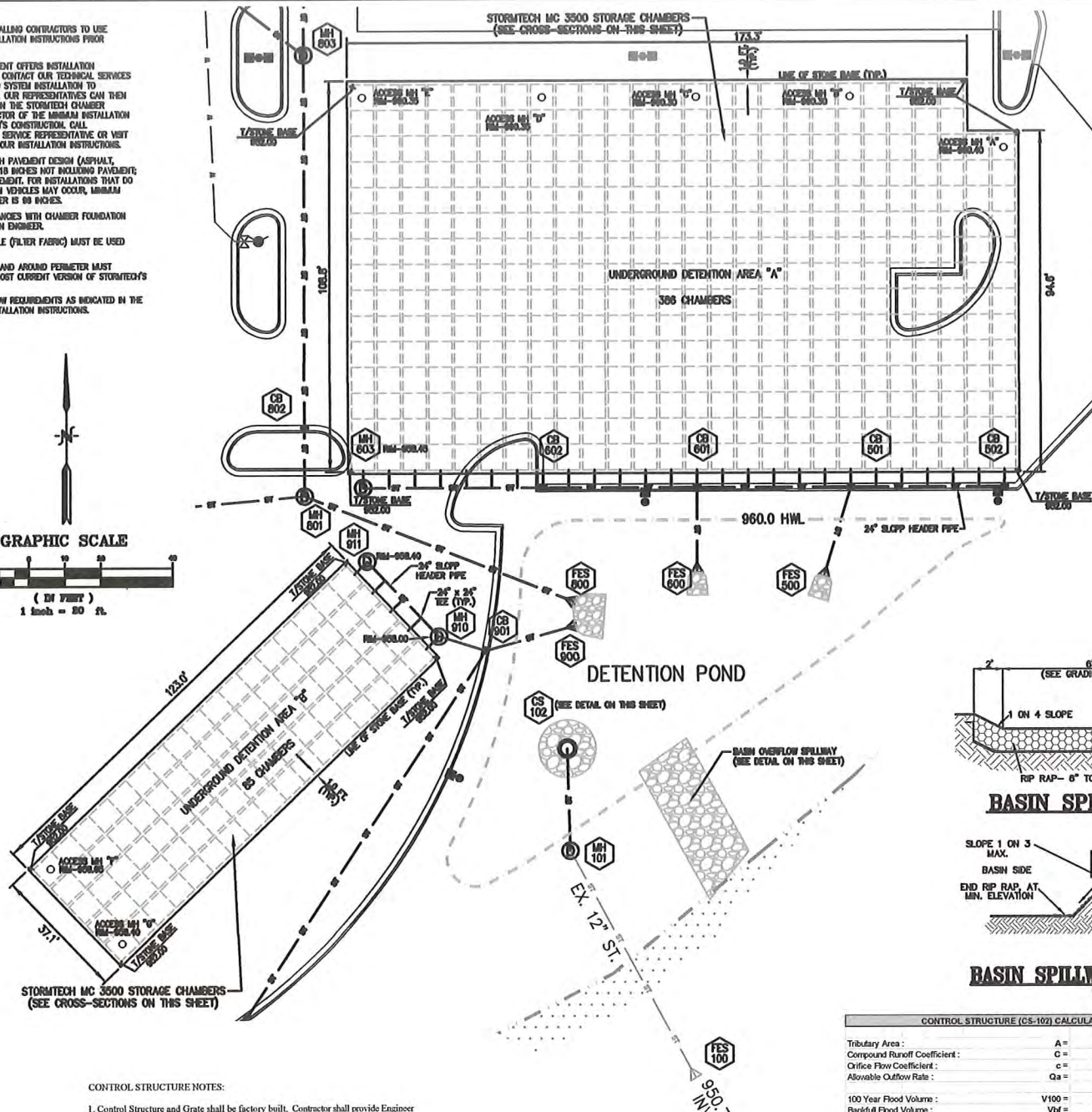


KEY	
CONTROL STRUCTURE DESIGNATION	CS-102
A MATERIAL TYPE, SEE NOTE 2	HDPE
B STRUCTURE INSIDE DIAMETER	4'
C RIM ELEVATION WITHOUT GRATE	958.00
D INVERT ELEVATION OUTLET PIPE	951.85
E TOP OF STONE ELEVATION	955.00
F OUTLET PIPE DIAMETER	12"
G OUTLET PIPE MATERIAL	RCP
H STRUCTURE HEIGHT WITHOUT GRATE	4.15'
J SUMP HEIGHT	2'
K RESTRICTOR OPENING DIA. IN OUTLET PIPE	N/A
L FIRST ROW OF HOLES	
CENTERLINE ELEVATION	952.00
HOLE DIAMETER	1.5"
NUMBER OF HOLES IN ROW	4
M SECOND ROW OF HOLES	
CENTERLINE ELEVATION	952.57
HOLE DIAMETER	1.5"
NUMBER OF HOLES IN ROW	6
N THIRD ROW OF HOLES	
CENTERLINE ELEVATION	954.62
HOLE DIAMETER	1.5"
NUMBER OF HOLES IN ROW	5



CROSS-SECTION A-A BASIN CONTROL STRUCTURE DETAIL (CS)

- CONTROL STRUCTURE NOTES:**
1. Control Structure and Grate shall be factory built. Contractor shall provide Engineer with Shop Drawings for Control Structure and Grate. Contractor shall obtain Engineer's Approval of Shop Drawings prior to Control Structure installation.
 2. Control Structure shall be constructed of material noted in Item A of KEY. CMP shall be corrugated metal pipe with corrosion resistant coating and shall conform to the specifications for corrugated metal pipe per AASHTO Designation M36. HDPE shall be high density polyethylene pipe with a smooth interior and shall conform to the specifications for high density polyethylene pipe per AASHTO Designation M294 Type S.
 3. Control Structure Base shall be a reinforced 3000 PSI air entrained concrete base. Control Structure shall be embedded into the concrete base providing a full strength water tight connection as illustrated in the Basin Control Structure Detail.
 4. Provide a watertight connection between the Control Structure and Outlet Pipe as follows:
 For a CMP Outlet Pipe from a CMP Control Structure: Factory weld a CMP Pipe Stub to the Control Structure with full strength PE weld all around pipe both inside and outside of Control Structure. OR Provide a bolted HDPE saddle with watertight gasket.
 For an HDPE Outlet Pipe from an HDPE Control Structure: Factory weld an HDPE pipe stub to the Control Structure with full strength PE weld all around pipe both inside and outside of Control Structure. OR Provide a bolted HDPE saddle with watertight gasket.
 For an RCP Outlet Pipe from a CMP or HDPE Control Structure: Seal Outlet Pipe to outside of Control Structure with an 18" minimum thickness 2500 PSI cast in place concrete donut all around Outlet Pipe. AND Seal Outlet Pipe to inside of Control Structure with a 2" minimum thickness lead of bitumastic tar all around Outlet Pipe.
 5. Construct berm over Outlet Pipe as necessary to provide 12" minimum cover.
 6. Grate shall be built to fit over the outside edge of the Control Structure and to be secured to the Control Structure with six (6) 1/4" minimum diameter removable galvanized screws. All joints shall be welded full strength per current AWS code. Grate shall be factory coated with bitumastic or corrosion resistant paint. Grate shall be constructed of 1/2" minimum diameter round or square steel bar creating a square grid pattern with a maximum 3" x 3" opening size. Outside of Grate shall be wrapped with a 1/4" minimum x 3" minimum flat stock steel.



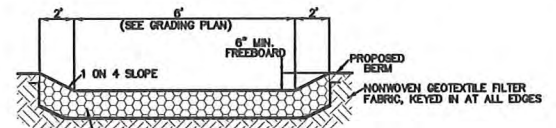
LEGEND

- EXISTING OVERHEAD WIRES
- EXISTING POWER POLE
- EXISTING AMERITECH RISER
- EXISTING LIGHT POLE
- EXISTING SIGNS
- EXISTING EDGE OF WETLAND
- EXISTING EDGE OF WATER
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- EXISTING FENCE LINE
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- EXISTING STORM STRUCTURES
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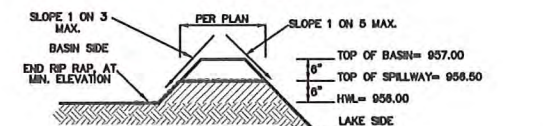
BENCHMARKS

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 S. ANCHOR BOLT OF LIGHT POLE BASE ON THE E. SIDE OF PARKING AREA ELEVATION=955.55 (NGVD 29 DATUM)



BASIN SPILLWAY ELEVATION



BASIN SPILLWAY CROSS SECTION

CONTROL STRUCTURE (CS-102) CALCULATIONS

Tributary Area:	A =	10.94 Acres
Compound Runoff Coefficient:	C =	0.66
Orifice Flow Coefficient:	c =	0.60
Allowable Outflow Rate:	Qa =	2.19 CFS
100 Year Flood Volume:	V100 =	85226 CF
Bankfull Flood Volume:	Vbf =	60778 CF
First Flush Volume:	Vff =	13502 CF
Low Water Level:	LWL =	952.00
First Flush Elevation:	Xff =	952.57
Bankfull Flood Elevation:	Xbf =	954.62
100 Year Flood Elevation:	X100 =	955.97
(Use available high water elevation for X100)	HWL =	956.00
FIRST FLUSH:		
Qff =	Vff / (1/24 hrs) * (1/3600 sec) =	0.1963 CFS
Hff =	(2/3) * (Xff - LWL) =	0.38 FT
Aff =	Qff / (c * SQRT(2 * 32.2 * Hff)) =	0.0527 SF
Nff =	Aff / 0.0123 =	4.28 1.5" Holes
Use Nff =	4 1.5" Holes at Elevation =	952.00
BANKFULL FLOOD:		
H =	(2/3) * (Xbf - LWL) =	1.7486667 FT
Qbf =	c * Nff * 0.0123 * SQRT(2 * 32.2 * H) =	1.0291 CFS
Vbf =	Qbf * 24 hrs * (3600 sec / 1 hr) =	27050.67 CF
Vffed =	Vbf - Vff =	33727.59 CF
Qbf =	Vffed * (1/24 hrs) * (1/3600 sec) =	0.3904 CFS
Hbf =	(2/3) * (Xbf - LWL) =	1.37 FT
Abf =	Qbf / (c * SQRT(2 * 32.2 * Hbf)) =	0.0693 SF
Nbf =	Abf / 0.0123 =	5.64 1.5" Holes
Use Nbf =	6 1.5" Holes at Elevation =	952.57
100 YEAR FLOOD:		
Qff + Qbf =	(c * Nff * 0.0123 * SQRT(2 * 32.2 * (X100 - LWL))) + (c * Nbf * 0.0123 * SQRT(2 * 32.2 * (X100 - Xff))) =	1.1319 CFS
Q100 =	Ca * (Qff + Qbf) =	0.7511 CFS
H100 =	(2/3) * (X100 - LWL) =	0.92 FT
A100 =	Q100 / (c * SQRT(2 * 32.2 * H100)) =	0.2287 SF
N100 =	A100 / 0.0491 =	4.66 3" Holes
Use N100 =	5 3" Holes at Elevation =	954.62

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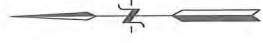
242 COMMUNITY CHURCH

UNDERGROUND DETENTION PLAN, NOTES & DETAILS

CLIENT:
 242 COMMUNITY CHURCH
 7526 GRAND RIVER
 BRIGHTON, MI 48114
 (810) 231-0190

SCALE: 1"=20'
 PROJECT No.: 9152540
 DWG NAME: 2540.CH
 ISSUED: APR. 22, 2015

C4.2



LEGEND

- EXISTING CONTOURS
- EXISTING EDGE OF WETLAND
- EXISTING EDGE OF WATER
- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER
- EXISTING STORM STRUCTURES
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES
- PROPOSED CONTOURS

SOIL EROSION MEASURES

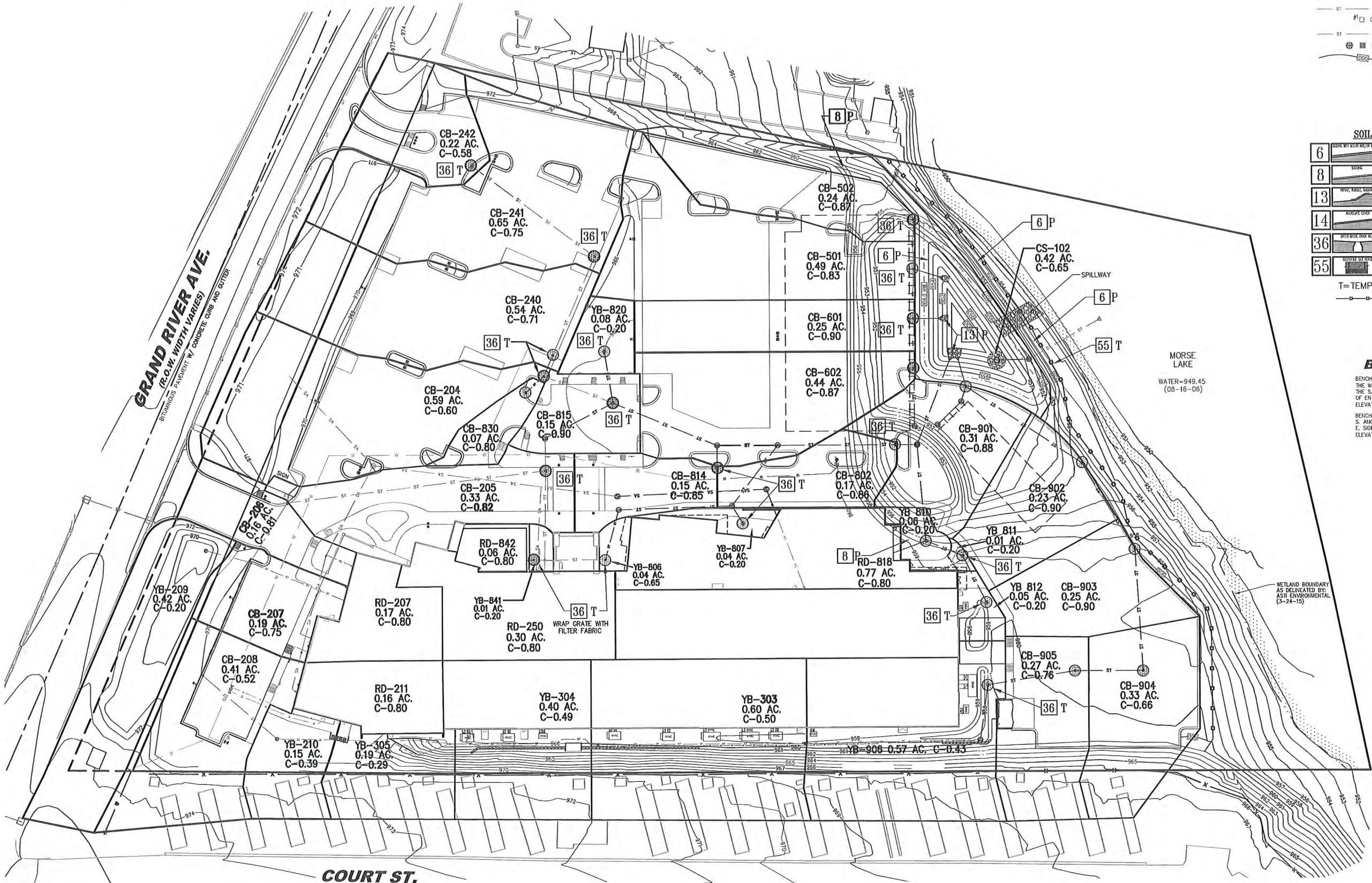
6	ROCK WITH WOOD AND WIRE	INSTALLING EDGEWORK OF BEST PRACTICE FOR EROSION CONTROL WITH WOOD AND WIRE SHALL BE USED IN SLOPE AREAS WHERE SOILS ARE HIGHLY ERODIBLE.
8	SLOPE	PROTECT SLOPE FROM EROSION BY INSTALLING BEST PRACTICE EROSION CONTROL MEASURES. SOILS SHALL BE PROTECTED FROM EROSION.
13	TRIP, BRUSH, BARK	TRIP, BRUSH, BARK IS NOT USED FOR EROSION CONTROL. IT IS USED FOR EROSION CONTROL ONLY. IT IS NOT USED FOR EROSION CONTROL.
14	ROCK COVER	ROCK COVER IS USED FOR EROSION CONTROL. IT IS USED FOR EROSION CONTROL ONLY. IT IS NOT USED FOR EROSION CONTROL.
36	SPILLWAY, OVER FILL	SPILLWAY, OVER FILL IS USED FOR EROSION CONTROL. IT IS USED FOR EROSION CONTROL ONLY. IT IS NOT USED FOR EROSION CONTROL.
55	CONCRETE CURB	CONCRETE CURB IS USED FOR EROSION CONTROL. IT IS USED FOR EROSION CONTROL ONLY. IT IS NOT USED FOR EROSION CONTROL.

T=TEMPORARY P=PERMANENT
 36" SILT FENCE

BENCHMARKS

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DRAFT: L.F.		04-22-15	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

242 COMMUNITY CHURCH

SOIL EROSION AND WATERSHED PLAN

CLIENT:
 242 COMMUNITY CHURCH
 7526 GRAND RIVER
 BRIGHTON, MI. 48114
 (810) 231-0190

SCALE: 1"=40'
 PROJECT No.: 9152540
 DWG NAME: 2540-EROSION
 ISSUED: APR. 22, 2015

C5.0
 201

LEGEND

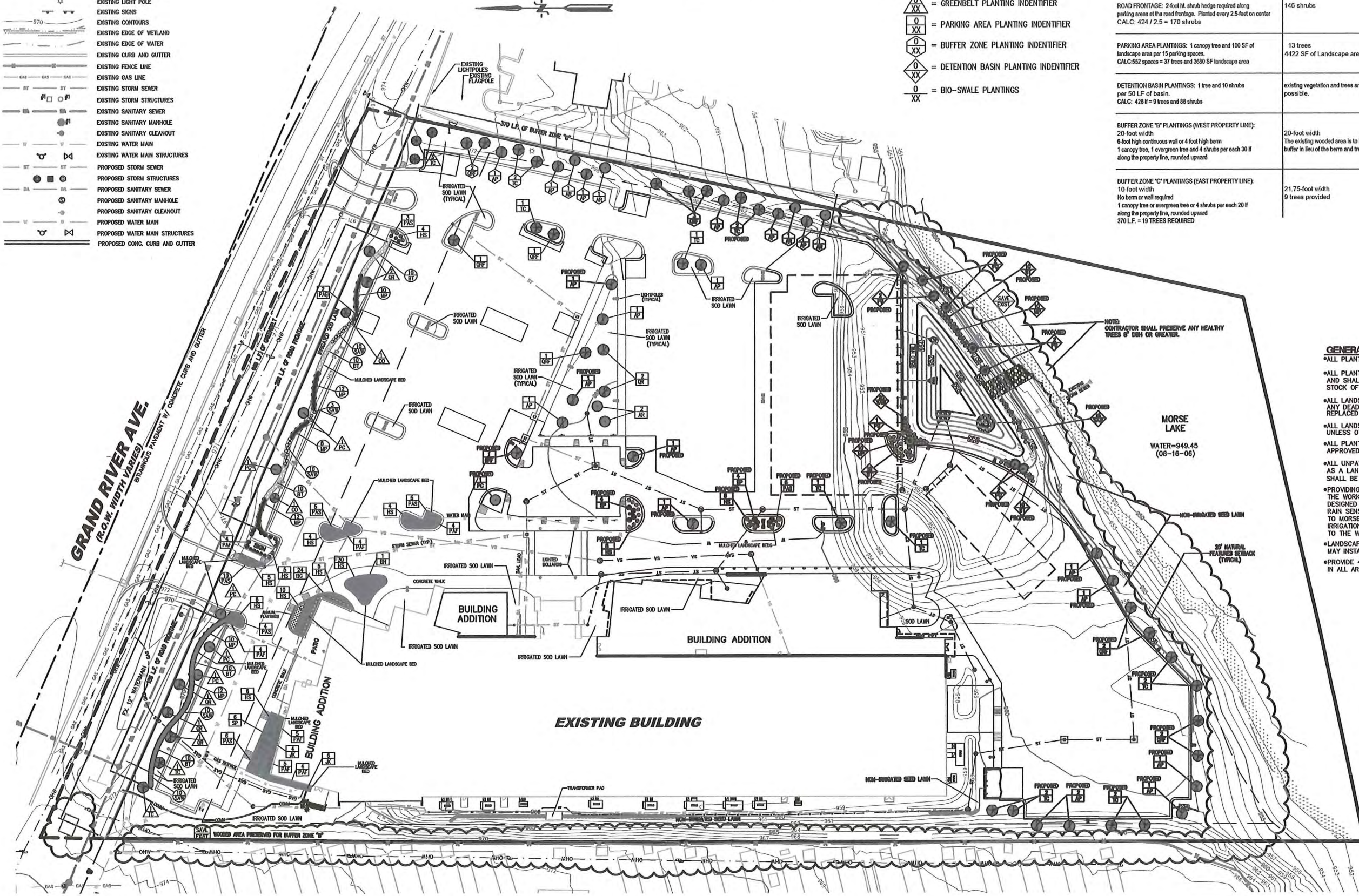
— OHW —	EXISTING OVERHEAD WIRES
— P —	EXISTING POLE AND GUY
— A —	EXISTING AMERITECH RISER
— L —	EXISTING LIGHT POLE
— S —	EXISTING SIGNS
— 970 —	EXISTING CONTOURS
— W —	EXISTING EDGE OF WETLAND
— W —	EXISTING EDGE OF WATER
— C —	EXISTING CURB AND GUTTER
— F —	EXISTING FENCE LINE
— G —	EXISTING GAS LINE
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— S —	EXISTING STORM STRUCTURES
— S —	EXISTING SANITARY SEWER
— S —	EXISTING SANITARY MANHOLE
— S —	EXISTING SANITARY CLEANOUT
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— S —	PROPOSED SANITARY MANHOLE
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— S —	PROPOSED WATER MAIN
— S —	PROPOSED WATER MAIN STRUCTURES
— S —	PROPOSED CONC. CURB AND GUTTER

SEE SHEET C6.1 FOR
PLANT MATERIAL LIST

PLANTING KEY

- = ROAD FRONTAGE PLANTING IDENTIFIER
- = GREENBELT PLANTING IDENTIFIER
- = PARKING AREA PLANTING IDENTIFIER
- = BUFFER ZONE PLANTING IDENTIFIER
- = DETENTION BASIN PLANTING IDENTIFIER
- = BIO-SWALE PLANTINGS

REQUIRED:	EXISTING:	PROPOSED:
GREENBELT: 20-foot wide and 1 tree per 40 LF CALC. 660 / 40 = 17 trees required	20-foot wide greenbelt 17 trees provided	
ROAD FRONTAGE: 2-foot H.L. shrub hedge required along parking areas of the road frontage. Planted every 2.5-feet on center CALC. 424 / 2.5 = 170 shrubs	146 shrubs	28 SHRUBS PROPOSED
PARKING AREA PLANTINGS: 1 canopy tree and 100 SF of landscape area per 15 parking spaces. CALC. 552 spaces = 37 trees and 3680 SF landscape area	13 trees 4422 SF of Landscape area	24 TREES PROPOSED
DETENTION BASIN PLANTINGS: 1 tree and 10 shrubs per 50 LF of basin. CALC. 428 lf = 9 trees and 88 shrubs	existing vegetation and trees are to be preserved where possible.	9 TREES PROPOSED 86 SHRUBS PROPOSED
BUFFER ZONE 'B' PLANTINGS (WEST PROPERTY LINE): 20-foot width 6-foot high continuous wall or 4 foot high berm 1 canopy tree, 1 evergreen tree and 4 shrubs per each 30 lf along the property line, rounded upward	20-foot width The existing wooded area is to be preserved to provide a vegetated buffer in lieu of the berm and tree requirements.	
BUFFER ZONE 'C' PLANTINGS (EAST PROPERTY LINE): 10-foot width No berm or wall required 1 canopy tree or evergreen tree or 4 shrubs per each 20 lf along the property line, rounded upward 370 LF = 19 TREES REQUIRED	21.75-foot width 9 trees provided	10 TREES PROPOSED



NOTES:
CONTRACTOR SHALL PRESERVE ANY HEALTHY TREES 6" DBH OR GREATER.

- GENERAL NOTES:**
- ALL PLANTING SIZES SHOWN SHALL BE AT TIME OF PLANTING.
 - ALL PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL LANDSCAPING SHALL BE MAINTAINED A HEALTHY CONDITION, ANY DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED WITHIN 1 YEAR.
 - ALL LANDSCAPE BEDS TO BE MULCHED WILL HAVE CYPRESS MULCH UNLESS OTHERWISE NOTED OR APPROVED BY OWNER.
 - ALL PLANT MATERIAL TO BE USED SHALL BE AS SPECIFIED OR APPROVED EQUAL.
 - ALL UNPAVED AREAS AND AREAS NOT OTHERWISE PROPOSED AS A LANDSCAPE BED OR AN AREA TO BE CYPRESS MULCHED SHALL BE SEEDED TO ESTABLISH A VEGETATIVE LAWN COVER.
 - PROVIDING IRRIGATION SYSTEM IN AREAS NOTED IS A PART OF THE WORK. LANDSCAPE CONTRACTOR SHALL PROVIDE SYSTEM DESIGNED TO MEET THE OWNER'S NEEDS AND PROVIDE EXTERNAL RAIN SENSORS. IRRIGATION CONTRACTOR SHALL PROVIDE A PUMP TO MORSE LAKE THAT MEETS THE SUPPLY REQUIREMENTS OF THE IRRIGATION SYSTEM. POWER SUPPLY LINE TO PUMP IS INCIDENTAL TO THE WORK.
 - LANDSCAPING SHOWN IS MINIMUM PLANTING REQUIRED. OWNER MAY INSTALL MORE PLANTINGS MEETING ALL MUNICIPAL STANDARDS.
 - PROVIDE 4" OF SCREENED TOPSOIL ON TOP OF SUITABLE SOILS IN ALL AREAS SPECIFIED FOR SOO OR SEED LAWN.

811
Michigan's National Call to Action

3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-482-7171 (TOLL FREE)
OR VISIT CALL811.COM

DRIVING INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DESIGN: WMP	04-22-15	REVISED PER REVIEW COMMENTS			
DRAFT: L.F.					
CHECK: WMP					

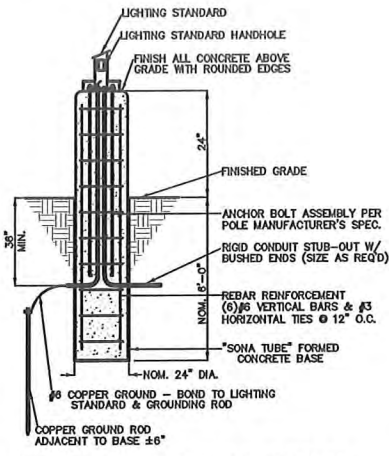
242 COMMUNITY CHURCH

LANDSCAPE PLAN

CLIENT:
242 COMMUNITY CHURCH
7526 GRAND RIVER
BRIGHTON, MI. 48114
(810) 231-0190

SCALE: 1"=40'
PROJECT No.: 9152540
DWG NAME: 2540-LA
ISSUED: APR. 22, 2015

C6.0



LIGHT BASE STANDARD DETAIL
NOT TO SCALE

- NOTES
1. FOUNDATION SHOWN IS A TYPICAL DESIGN. WIND LOADS MORE THAN 100 MPH AND UNSTABLE SOIL CONDITIONS MAY REQUIRE AN ALTERNATE DESIGN. VERIFY CONDITION OF SOILS WITH SOILS REPORT.
 2. FOUNDATIONS SHALL EXTEND BELOW FROST DEPTH PER LOCAL CODES.
 3. CONCRETE SHALL HAVE MIN 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.

Note

1. SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES GRADE.

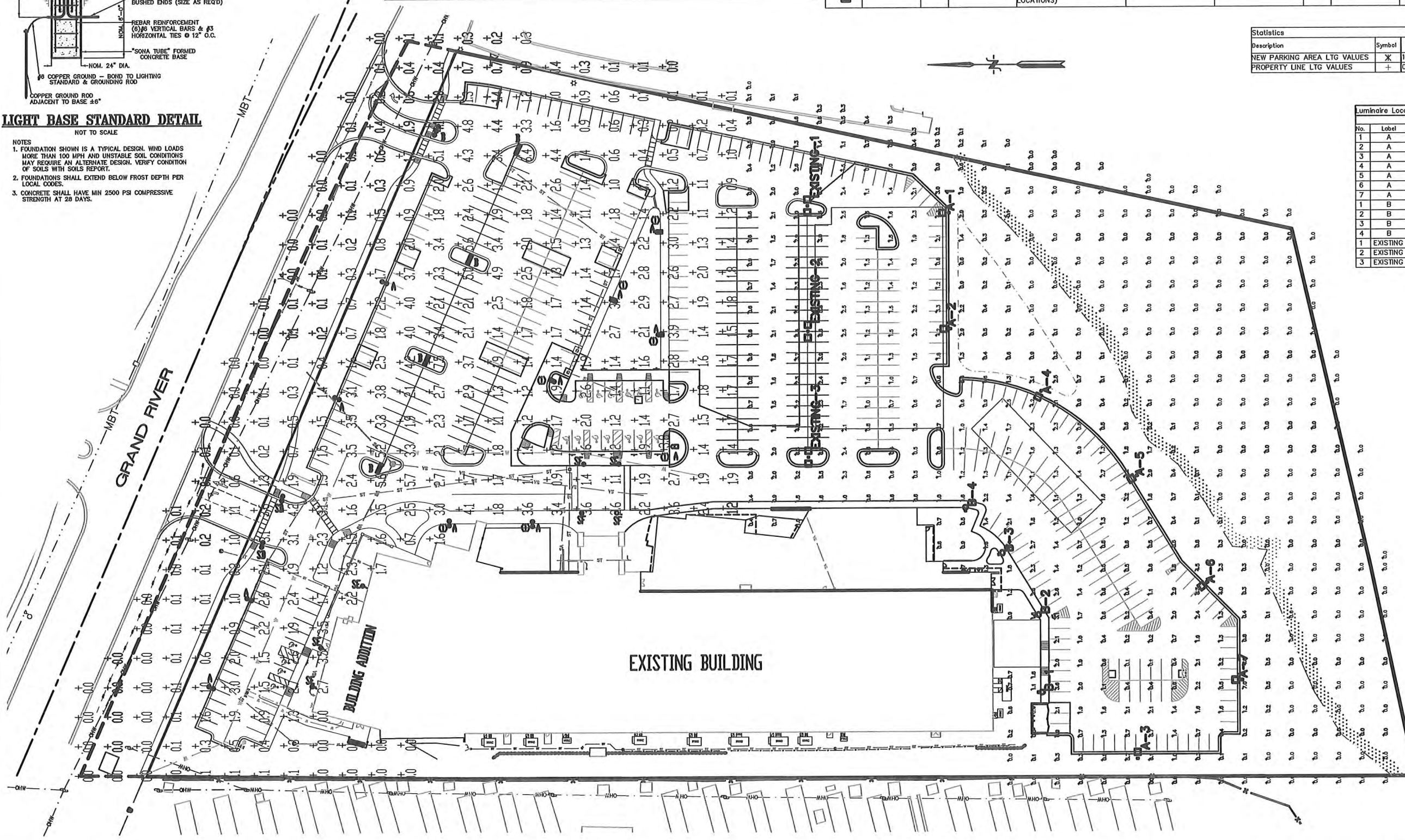
THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	7	Lithonia Lighting	Area Luminaire, 400W MH, R4 Reflector, Full Cutoff MEETS NIGHTTIME FRIENDLY CRITERIA	KAD 400M R4 (PULSE START) (T5ART)	ONE 400-WATT CLEAR 37 PULSE START METAL HALIDE, HORIZONTAL POSITION.	1	KAD_400M_R4_(PULSE_START).ies	38000	0.7	456
	B	4	VISIONAIRE LIGHTING, LLC	ODEN SIZE 2 T4 250PS	ODN-2 T4-250PS-SEG	VERTICAL POSITION ED28 CLEAR	1	bdn-2_T4_250_p.ies	25000	0.7	291
	EXISTING	3	Lithonia	Area Luminaire, 400W MH, R4 Reflector, Full Cutoff MEETS NIGHTTIME FRIENDLY CRITERIA (EXISTING LOCATIONS)	KAD 400M R4 (PULSE START) (T5ART)	ONE 400-WATT CLEAR 37 PULSE START METAL HALIDE, HORIZONTAL POSITION.	1	KAD_400M_R4_(PULSE_START).ies	38000	0.7	912

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
NEW PARKING AREA LTG VALUES	*	1.6 fc	9.6 fc	0.1 fc	96.0:1	16.0:1	0.2:1
PROPERTY LINE LTG VALUES	+	0.1 fc	1.4 fc	0.0 fc	N/A	N/A	0.1:1

No.	Label	Location		MH	Orientation	TILT
		X	Y			
1	A	3137.90	3976.80	30.00	0.00	0.00
2	A	3039.90	3976.00	30.00	0.00	0.00
3	A	2675.45	3817.55	20.00	90.76	0.00
4	A	2986.90	3898.60	30.00	296.02	0.00
5	A	2915.10	3817.30	30.00	328.69	0.00
6	A	2824.60	3757.80	20.00	322.00	0.00
7	A	2741.70	3728.20	20.00	0.00	0.00
1	B	2731.98	3901.75	20.00	180.00	0.00
2	B	2796.65	3904.41	20.00	159.44	0.00
3	B	2848.88	3934.98	20.00	155.18	0.03
4	B	2885.79	3963.76	30.00	90.00	0.00
1	EXISTING	3144.20	4096.90	30.00	90.00	0.00
2	EXISTING	3038.30	4096.90	30.00	90.00	0.00
3	EXISTING	2931.70	4096.90	30.00	90.00	0.00



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		04-22-15	REVISED PER REVIEW COMMENTS			
CHECK: WMP						

242 COMMUNITY CHURCH

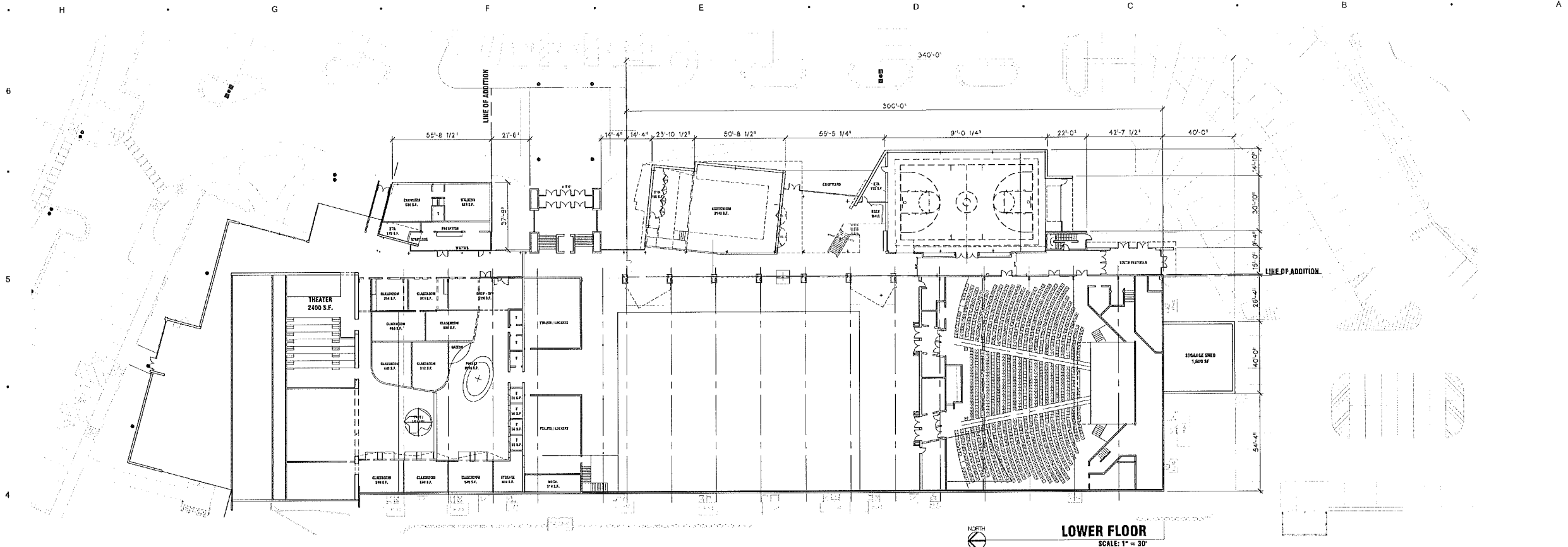
LIGHTING PLAN

CLIENT:
242 COMMUNITY CHURCH
7526 W. GRAND RIVER
BRIGHTON, MI. 48114
(810) 231-0190

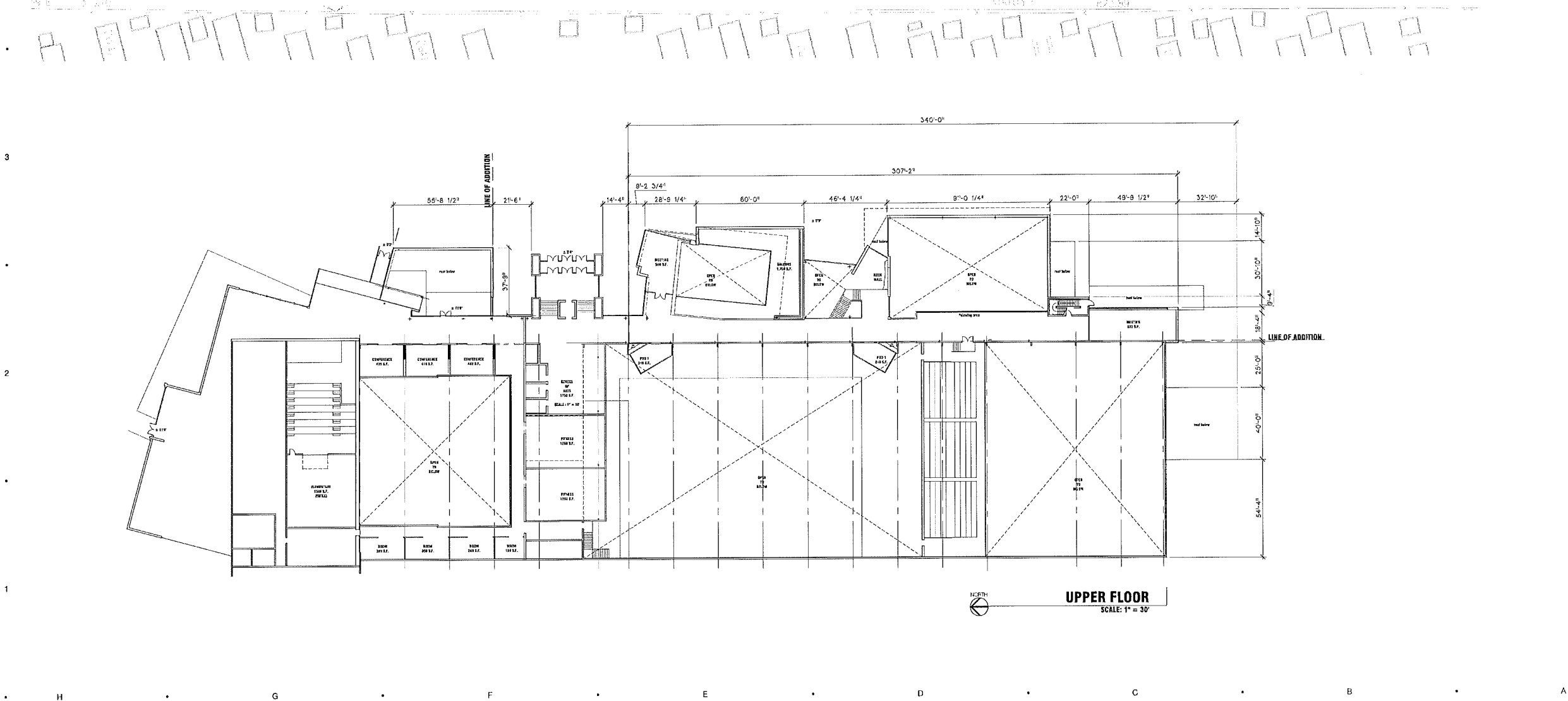
SCALE: 1"=40'
PROJECT No.: 9152540
DWG NAME: 2540-LIGHT
ISSUED: APR. 22, 2015

DESIGN INC
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

C7.0



LOWER FLOOR
SCALE: 1" = 30'



UPPER FLOOR
SCALE: 1" = 30'

Drawn: P:\320141\4900\Draw\34461610\150327 - BRIGHTON CHURCH\DWG\030 - 03P\ASB\01-imp-rt.dwg
Date: Mar 31, 2015, 3:19pm Layout: Layout1 Plotter: pldm

DATE ISSUED
DRAWN BY
CHECKED BY

HOBBS + BLACK
ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P. 734.463.4189
www.hobbs-black.com

2|42 COMMUNITY CHURCH
BRIGHTON CAMPUS
7536 GRAND RIVER
BRIGHTON 48114
PB020310150

PROJECT

CONSULTANT

SHEET TITLE

14-906

PROJECT NUMBER

A-100


SHEET NUMBER



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director 

DATE: May 14, 2015

RE: Chestnut Rezoning
Ordinance No. Z-15-02

MANAGERS REVIEW: 

In consideration of the recommendations by the Township Planning Commission (4/13/15) and the Livingston County Planning Commission (scheduled 5/20/15) please find the attached proposed Ordinance Number Z-15-02 for your review. The proposed ordinance involves a rezoning to remove the Town Center Overlay from the former Crest Housing property located at 6253 Grand River.

As required pursuant to the Charter Township Act (Act 359 of 1947) the Board is being asked to introduce the proposed rezoning and to set a hearing for deliberation of the ordinance. Staff is requesting the official hearing in this regard be set for the Monday, June 1, 2015 regular scheduled meeting. A draft publication in regard to this hearing is also attached.

As such please consider the following action:

Moved by _____, supported by _____ to introduce the proposed ordinance number Z-15-02 and to set a public hearing before the Township Board on Monday, June 1st, 2015 for the purpose of considering the proposed zoning map amendment.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

**BOARD OF TRUSTEES
GENOA CHARTER TOWNSHIP,
LIVINGSTON COUNTY, MICHIGAN**

**NOTICE OF PROPOSED ZONING MAP AMENDMENT
JUNE 1, 2015**

Pursuant to Michigan Public Act 359 of 1947, (the Charter Township Act), notice is hereby given that the Genoa Charter Township Board will be considering ordinance number Z-15-02 to amend the zoning map at 6:30 p.m. on Monday, June 1st, 2015. The property proposed for rezoning is located at 6253 Grand River Avenue and involves approximately 4.19 acres on parcels 4711-11-300-021, 4711-11-300-027, and 4711-11-300-028. The applicant has requested a rezoning to remove the Town Center Overlay District from the property which will change the zoning from General Commercial District/Town Center Overlay (GCD/TC) to General Commercial District (GCD). The complete text of the proposed ordinance is available for public inspection at the Township Hall located at 2911 Dorr Road, Brighton, Michigan 48116, Monday through Friday from 9:00a.m. to 5:00p.m.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Kelly VanMarter
Assistant Township Manager/Community Development Director

(Press/Argus 05-29-15)

ORDINANCE NO. Z-15-02

AN ORDINANCE ENTITLED "AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY REZONING APPROXIMATELY 4.19 ACRES LOCATED AT 6253 GRAND RIVER AVENUE (PARCELS 4711-11-300-021, 4711-11-300-027, and 4711-11-300-028) FROM GENERAL COMMERCIAL DISTRICT/TOWN CENTER OVERLAY (GCD/TC) TO GENERAL COMMERCIAL DISTRICT (GCD)".

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map, as incorporated by reference in the Charter Township of Genoa's Zoning Ordinance, is hereby amended as follows:

Real property situated on the north side of Grand River Avenue, east of Hughes Road and west of Kellogg Road is part of the Southwest 1/4 of Section 11, T2N-R5E, Genoa Charter Township, Livingston County, Michigan, more particularly described as follows:

(COMBINED TAX IDS: 11-11-300-027, 11-11-300-028, 11-11-300-021) Part of the Southwest 1/4 of Section 11, Town 1 North, Range 5 East, Genoa Township, Livingston County, Michigan, more particularly described as follows: Commencing at the Southwest Corner of said Section 11; thence along the South line of Section 11, N 87°46'30"E (Previously recorded as N 87°56'50"E), 1338.82 feet; thence N 02°03'40"W (Previously recorded as N 00°13'00"E), 328.24 feet to a point on the centerline of Grand River Avenue; Thence continuing N 02°03'40"W (Previously recorded as N 00°13'00"E), 300.00 feet to the POINT OF BEGINNING OF THE Parcel to be described; thence continuing N 02°03'40"W (Previously recorded as N 00°13'00"E), 262.51 feet; thence S 70°37'36"E (Previously recorded as S 68°20'56"E), 449.05 feet; thence S 02°41'13"E (Previously recorded as S 00°24'33"E), 564.96 feet to a point of the centerline of Grand River Avenue; thence continuing along the centerline of Grand River Ave., N 70°37'36"W (Previously recorded as N 68°20'56"W), 260.68 feet; thence N 02°03'40"W (Previously recorded as N 00°13'00"E), 300.00 feet; thence N 70°37'36"W (Previously recorded as N 68°20'56"W), 195.00 feet to the POINT OF BEGINNING; Containing 4.19 acres, more or less, and subject to the rights of the public over existing Grand River Ave. Also subject to any other easements and restrictions of record.

Shall be rezoned from General Commercial District/Town Center Overlay (GCD/TC) to General Commercial District (GCD) Classification.

Severability If any provision of this Ordinance is found to be invalid, than the remaining portions of this Ordinance shall remain enforceable.

Effective Date This Ordinance shall be effective upon publication in a newspaper of general circulation as required by law.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas: _____
Nays: _____
Absent: _____

I hereby approve the adoption of the foregoing Ordinance this ___ day of _____, 2015.


Paulette Skolarus
Township Clerk

Gary McCririe
Township Supervisor

Township Board First Reading: May 18, 2015
Date of Publication of Proposed Ordinance: proposed May 29, 2015
Township Board Second Reading and Public Hearing: proposed June 1, 2015
Township Board Adoption:
Date of Publication of Ordinance Adoption:
Effective Date:

MEMORANDUM

TO: Township Board

FROM: Michael Archinal 

DATE: 5/13/2015

RE: Employment Contracts

For your consideration are contracts for the Assessor, Deputy Assessor, Assistant Township Manager/Community Development Director and the Township Manager. The contracts were distributed to you previously. There is one change from the copies you received. The severance section has been clarified to *not* include pension, health insurance or other benefits.

Revised contracts will be distributed on Monday.

Please consider the following action:

Moved by _____, supported by _____, to approve employment contracts for the Assessor, Deputy Assessor, Assistant Township Manager/Community Development Director and the Township Manager as presented.



MRPA

WALK MICHIGAN



Enjoy dinner each Wednesday at Salsarita's!
\$2.99 Salsarita's Kids Meals All Day
(Dine-in only, kids 10 & under)
\$22.99 Family Fiesta Packs

Join us for the MRPA WALK MICHIGAN Program!
-Register at the SELGRA tent
-Walk around the mall and enter to win a trip to the 2015 Jazzy Weekend Labor Day Mackinaw Bridge Walk
-Walk for free on Wednesdays 5/27 through 8/19 from 4:30 pm - 8:30 pm
-No walks on 7/1
-Visit www.selgra.com for the details of the prize package worth over \$1,500

ACTIVITIES

- 5/27 SELGRA Fitness Series Kick-Off
- 6/3 Summer Reading Extravaganza
- 6/10 Walk Michigan Kick-Off Splash Party
- 6/17 Summertime Family Fun
- 6/24 First Responders Night
- 7/8 Express Yourself Arts & Crafts
- 7/15 Salsarita's Kids Iron Chef Competition
- 7/22 Pet Parade
- 7/29 Family Bingo Night
- 8/5 Super Heroes Scavenger Hunt
- 8/12 Back to School Science Explorations
- 8/19 Walk Michigan Awards Celebration

SELGRA: Creating community through people, parks and programs! For more information, email info@selgra.com



GREEN OAK VILLAGE PLACE
US-23 & Lee Road, Exit 58, 1 mile south of I-96

SALSARITA'S BRIGHTON
810.227.2572
<http://salsaritas.com/brighton-mi-green-oak-village-place>
facebook.com/salsaritas

Walk Michigan & Fun & Fit Series

May 27—August 1

Kick-Off!

May 27

Kick start a new you with the Fun and Fit Summer Series Kickoff, held at the Green Oak Village Place Mall. Learn more information about the fun activities we have planned to make summer 2015 the best one yet! Run, Jump, Skip, or Bike on over to Salsarita's and join SELCRA for some free fun, including inflatables, games, and small giveaways! You don't have to attend the kickoff event, to participate in the rest of the summer series and be eligible for the prize giveaways. This event is FREE; however pre-registration is appreciated. Selcra.com / SEARCH KEYWORD: Kickoff



Family Bike-A-Thon

June 20

Bring your family out to the Green Oak Village Place Mall for a day of biking fun! We'll start with a Bike Rodeo to get your kids some safety pointers. Next, we will use those pointers on a bike ride from the Green Oak Mall to the Green Oak Township offices on the new paved trail. Test your skills with our silly games including Bike Tire Toss, Tug-A-War with a Twist, and the slowest bike race! Bring your own bike and helmet to ride along, as well as receive free bicycle/tricycle support and tire air-up services, provided by Hometown Bicycles.



Paddles, Pedals and Pedestrians

August 1

Can your family and friends conquer the ultimate challenge? Teams will canoe out to a check point, collect a flag and return to shore. Afterward, you will travel around the park, riding bicycles and walking to collect more flags. Once enough flags are collected, you and your teammates can redeem them for a special treat! You must complete the challenge within the time limit. Participants can be in teams of 2-6 (based on family size), and must provide their own bicycles. All ages and abilities welcome! This event is FREE; pre-registration is appreciated. LOCATION: Brighton State Recreation Area SEARCH KEYWORD: Paddles

After all your hard work keeping active in the Fun and Fit Summer Series, come celebrate with SELCRA and Salsarita's at the end of the summer party! We will be announcing the winners of the Walk MI Grand Hotel Weekend Trip giveaway, and raffling off a pair of running shoes, a bicycle, gym memberships, gift cards, and other door prizes to continue staying fit! Inflatables, games and other activities, as well as complimentary refreshments, will be available to enjoy! All are welcome to come and play! This event is FREE; however pre-registration is appreciated. Selcra.com / SEARCH KEYWORD: Celebration



10:10 AM
05/08/15
Accrual Basis

SELCRA
Profit & Loss Prev Year Comparison
July 2014 through April 2015

	Jul '14 - Apr 15	Jul '13 - Apr 14	\$ Change	% Change
Ordinary Income/Expense				
Income				
4400 · YOUTH LEAGUES REVENUE	138,759.53	184,432.28	-45,672.75	-24.8%
4410 · YOUTH PROGRAMS REVENUE	29,394.14	35,486.44	-6,092.30	-17.2%
4420 · ADULT LEAGUES REVENUE	30,751.00	37,024.28	-6,273.28	-16.9%
4430 · ADULT PROGRAMS REVENUE	1,000.00	2,233.00	-1,233.00	-55.2%
4440 · SPECIAL EVENTS REVENUE	27,342.37	22,772.60	4,569.77	20.1%
4443 · COMMUNITY EVENTS REVENUE	4,500.00	7,895.05	-3,395.05	-43.0%
4444 · AMUSEMENT TICKETS REVENUE	930.00	2,054.50	-1,124.50	-54.7%
4450 · AFTER SCHOOL PROGRAM REVENUE	11,264.00	18,207.51	-6,943.51	-38.1%
4470 · UMPIRE/REF TRAINING REVENUE	370.00	370.00	0.00	0.0%
4490 · REFUND REVENUE - ACTIVE.NET	0.00	338.00	-338.00	-100.0%
5500 · SKATEPARK REVENUE	0.00	1,184.08	-1,184.08	-100.0%
5520 · MANAGEMENT REVENUE BCC	18,382.50	15,100.00	3,282.50	21.7%
5530 · CONTRACTED SERVICES-REVENUE	33,687.71	26,245.16	7,442.55	28.4%
6610.1 · CONTRIBUTION - CITY BRIGHTON	36,072.00	30,199.00	5,873.00	19.5%
6620 · CONTRIBUTION - BRIGHTON TWP	65,016.00	56,166.00	8,850.00	15.8%
6625 · CONTRIBUTION - GENOA TOWNSHIP	31,077.00	27,899.00	3,178.00	11.4%
6630 · CONTRIBUTION - GREEN OAK TWP	50,610.00	37,789.00	12,821.00	33.9%
6675 · GRANT REVENUE	0.00	1,775.20	-1,775.20	-100.0%
6676 · ADVERTISING REVENUE	2,800.00	1,000.00	1,800.00	180.0%
6677 · SPONSORSHIP REVENUE	10,489.38	12,084.00	-1,594.62	-13.2%
6678 · CONCESSIONS REVENUE	127.00	259.00	-132.00	-51.0%
6691.1 · INTEREST INCOME	60.42	115.07	-54.65	-47.5%
6700 · ACTIVE.NET REVENUE	943.55	0.00	943.55	100.0%
6710 · SELCRA FOUNDATION REIMBURSEMENT	150.00	0.00	150.00	100.0%
6720 · INSURANCE REIMBURSEMENT	2,749.00	1,408.00	1,341.00	95.2%
Total Income	496,475.60	522,037.17	-25,561.57	-4.9%
Expense				
7700 · PAYROLL - MANAGEMENT	95,928.70	124,752.70	-28,824.00	-23.1%
7710 · PAYROLL - ADMINISTRATIVE	11,163.13	7,434.00	3,729.13	50.2%
7720 · PAYROLL - REC MANAGEMENT	55,428.58	35,581.85	19,846.73	55.8%
7730 · COMMUNITY EVENTS MGR PAYROLL	24,431.81	22,768.30	1,663.51	7.3%
7740 · PART-TIME STAFF PAYROLL	19,022.39	12,496.53	6,525.86	52.2%
7750 · PAYROLL - AFTERSCHOOL PROGRAM	9,027.77	7,989.00	1,038.77	13.0%
7760 · PAYROLL- BCC	2,100.00	2,839.60	-739.60	-26.1%
7770 · PAYROLL - SKATE PARK	0.00	1,914.00	-1,914.00	-100.0%
7780 · PAYROLL - YOUTH REFEREES	8,654.09	9,473.42	-819.33	-8.7%
7781 · PAYROLL - ADULT REFEREE	9,449.00	5,193.00	4,256.00	82.0%
7785 · EMPLOYER FICA EXPENSE	16,536.30	16,294.52	241.78	1.5%
7790 · MESC EXPENSE	8,053.83	0.00	8,053.83	100.0%
7800 · RETIREMENT MANAGEMENT	500.00	0.00	500.00	100.0%
7803 · HEALTH INSURANCE EXPENSE	46,462.07	41,915.38	4,546.69	10.9%
7810 · WORKERS COMP EXPENSE	2,089.25	2,729.00	-639.75	-23.4%
7813 · DUES & SUBSCRIPTIONS	1,040.00	1,753.00	-713.00	-40.7%
7817 · EDUCATION AND TRAINING	1,985.54	3,994.48	-2,008.94	-50.3%
7820 · MILEAGE EXPENSE	3,119.06	3,335.44	-216.38	-6.5%
7823 · TELEPHONE EXPENSE	1,470.00	1,140.00	330.00	29.0%
7827 · OFFICE SUPPLIES	4,291.75	4,125.49	166.26	4.0%
7830 · POSTAGE EXPENSE	14,594.39	14,681.46	-87.07	-0.6%
7833 · ACTIVE.NET EXPENSE	7,187.83	6,165.92	1,021.91	16.6%
7837 · LIABILITY INSURANCE EXPENSE	7,015.00	9,167.00	-2,152.00	-23.5%
7840 · SPECIAL ACTIVITIES EXPENSE	21,895.67	16,463.56	5,432.11	33.0%
7843 · COMMUNITY EVENTS EXPENSE	5,601.02	5,122.48	478.54	9.3%
7844 · AMUSEMENT TICKETS EXPENSE	1,898.65	2,982.00	-1,083.35	-36.3%
7847 · YOUTH LEAGUES EXPENSE	21,901.66	15,708.84	6,192.82	39.4%
7850 · YOUTH UNIFORMS EXPENSE	0.00	4,127.30	-4,127.30	-100.0%
7853 · YOUTH PROGRAMS EXPENSE	1,021.36	2,973.19	-1,951.83	-65.7%
7855 · UMPIRE TRAINING EXPENSE	0.00	160.00	-160.00	-100.0%
7857 · ADULT LEAGUES EXPENSE	3,565.70	3,247.00	318.70	9.8%
7860 · ADULT PROGRAMS EXPENSE	140.00	0.00	140.00	100.0%
7863 · AFTERSCHOOL PROGRAM EXPENSE	1,345.30	3,509.49	-2,164.19	-61.7%
7867 · SKATE PARK EXPENSE	2,246.97	5,336.20	-3,089.23	-57.9%
7873 · MANAGEMENT EXPENSE BCC	9,655.80	5,683.50	3,972.30	69.9%
7877 · OFFICE MACHINE RENTALS	4,780.60	5,046.13	-265.53	-5.3%

10:10 AM
05/08/15
Accrual Basis

SEL CRA
Profit & Loss Prev Year Comparison
July 2014 through April 2015

	Jul '14 - Apr 15	Jul '13 - Apr 14	\$ Change	% Change
7880 · AUTO REPAIR & MAINTENANCE	2,114.57	0.00	2,114.57	100.0%
8801 · CS - INSTRUCTION	25,176.50	54,623.76	-29,447.26	-53.9%
8805 · CS- CUSTODIAL OVERTIME	0.00	606.37	-606.37	-100.0%
8808 · CS - FIELD MAINTENANCE EXP BAS	0.00	0.00	0.00	0.0%
8810 · JUA RENTAL EXPENSE	25,000.00	22,552.00	2,448.00	10.9%
8815 · PRINTING & PUBLISHING	19,009.00	20,292.67	-1,283.67	-6.3%
8825 · ADVERTISING EXPENSE	0.00	1,324.80	-1,324.80	-100.0%
8826 · MARKETING EXPENSE	3,397.53	1,360.28	2,037.25	149.8%
8828 · PROFESSIONAL SVS - AUDIT	5,500.00	5,500.00	0.00	0.0%
8830 · CONCESSIONS EXPENSE	26.75	0.00	26.75	100.0%
8835 · WEBSITE MAINTENANCE EXPENSE	2,784.84	2,760.00	24.84	0.9%
8840 · TECHNOLOGY EXPENSE	8,195.56	4,754.17	3,441.39	72.4%
8845 · PAYROLL EXPENSE	1,904.50	2,161.57	-257.07	-11.9%
8848 · BANK CHARGES	-183.04	80.00	-263.04	-328.8%
Total Expense	516,529.43	522,119.40	-5,589.97	-1.1%
Net Ordinary Income	-20,053.83	-82.23	-19,971.60	-24,287.5%
Other Income/Expense				
Other Expense				
80000 · Ask My Accountant	0.00	0.00	0.00	0.0%
Total Other Expense	0.00	0.00	0.00	0.0%
Net Other Income	0.00	0.00	0.00	0.0%
Net Income	-20,053.83	-82.23	-19,971.60	-24,287.5%



Proposed Amended Budget 2014-15 & Proposed 2015-16 Budget

		Approved 2014/15	Proposed amended 2014-15	Proposed 2015-16	
	REVENUE				
4400	Youth Leagues Revenue	\$ 221,000.00	\$ 185,000.00	\$ 197,000.00	add 12k soccer uniforms
4410	Youth Programs Revenue	\$ 37,000.00	\$ 35,000.00	\$ 37,000.00	add tennis aug 2015
4420	Adult Leagues Revenue	\$ 37,000.00	\$ 35,000.00	\$ 35,000.00	
4430	Adult Programs Revenue	\$ 2,000.00	\$ 1,000.00	\$ 1,000.00	
4440	Special Events Revenue	\$ 33,000.00	\$ 37,000.00	\$ 37,000.00	add programs
4443	Community Events Revenue	\$ 6,000.00	\$ 4,500.00	\$ 4,500.00	
4444	Amusement Ticket Revenue	\$ 3,600.00	\$ 2,000.00	\$ 2,000.00	
4450	Maltby Dog Pound Revenue	\$ 20,000.00	\$ 11,300.00	\$ -	
4470	Umpire Training	\$ 400.00	\$ 500.00	\$ 500.00	
4490	Refund Revenue (Admin)	\$ 500.00	\$ 1,100.00	\$ 500.00	
5500	Skatepark Revenue Daily	\$ 1,000.00		\$ -	
5520	BCC Revenue	\$ 20,000.00	\$ 22,500.00	\$ 22,500.00	
5530	Contracted Services Revenue	\$ 65,000.00	\$ 40,000.00	\$ 40,000.00	
6610	City of Brighton	\$ 30,728.00	\$ 44,772.00	\$ 51,908.00	
6620	Brighton Township	\$ 55,384.00	\$ 80,716.00	\$ 96,824.00	
6630	Green Oak Township	\$ 34,730.00	\$ 50,610.00	\$ 56,810.00	
6640	Genoa Twp	\$ 26,473.00	\$ 38,577.00	\$ 45,752.00	
6675	Grant Revenue	\$ -		\$ -	
6676	Advertising Revenue	\$ 4,000.00	\$ 2,800.00	\$ 3,500.00	
6677	Sponsorship Revenue	\$ 20,000.00	\$ 15,000.00	\$ 15,000.00	
6678	Concession Revenue	\$ 500.00	\$ 100.00	\$ -	
6691	Interest Revenue	\$ 100.00	\$ 100.00	\$ 100.00	
6710	Foundation Reimbursement	\$ 1,000.00	\$ 150.00	\$ 500.00	
6720	Insurance Reimbursement	\$ -	\$ 2,749.00	\$ -	
		\$619,415.00	\$610,474.00	\$ 647,394.00	

	EXPENSES	Approved 2014-15	Proposed amended 2014-15	Proposed 2015-16	
7710	Management Payroll	\$ 136,500.00	\$ 136,500.00	\$ 140,500.00	2k increase-salaried +4k
7720	Rec Manager(s) Payroll	\$ 57,800.00	\$ 71,500.00	\$ 78,000.00	2k increase-salaried +2k
7721	Youth Sports Programmer Payroll	\$ 16,500.00	\$ -	\$ -	add skilled PT help
7730	Community/Special Events Payroll	\$ 33,000.00	\$ 24,500.00	\$ 38,000.00	NEW HIRE
7740	PartTime Site Super Payroll	\$ 15,000.00	\$ 25,000.00	\$ 18,000.00	Sports Site supervise
7745	PartTime Special Events Payroll			\$ 7,000.00	Special Events help
7750	Maltby Dog Pound Payroll	\$ 10,000.00	\$ 9,000.00	\$ -	
7760	BCCPayroll	\$ 2,600.00	\$ 2,600.00	\$ 2,600.00	
7780	Youth Referees Expense	\$ 15,500.00	\$ 15,500.00	\$ 15,500.00	
7781	Adult Referees Expense	\$ 7,000.00	\$ 10,000.00	\$ 10,000.00	
7785	FICA/MESC	\$ 18,500.00	\$ 28,500.00	\$ 20,000.00	
7800	Retirement Expense	\$ 1,800.00	\$ 500.00	\$ -	
7803	Benefits Expense	\$ 60,000.00	\$ 56,000.00	\$ 60,000.00	
7810	Workers Comp Expense	\$ 5,000.00	\$ 3,000.00	\$ 3,000.00	
7813	Dues & Subscriptions	\$ 1,500.00	\$ 1,100.00	\$ 1,100.00	
7817	Education & Training	\$ 3,000.00	\$ 2,000.00	\$ 3,000.00	
7820	Mileage Expense	\$ 3,500.00	\$ 3,500.00	\$ 3,500.00	
7823	Telephone Expense	\$ 1,500.00	\$ 1,600.00	\$ 1,600.00	
7827	Office Supplies Expense	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	
7830	Postage Expense	\$ 15,000.00	\$ 14,700.00	\$ 15,000.00	
7833	Active.net Expense	\$ 8,000.00	\$ 8,000.00	\$ 8,000.00	
7837	Liability Insurance Expense	\$ 12,000.00	\$ 10,000.00	\$ 10,000.00	
7840	Special Events Expense	\$ 15,000.00	\$ 25,000.00	\$ 25,000.00	
7843	Community Events	\$ 6,000.00	\$ 5,600.00	\$ 4,500.00	
7844	Amusement Ticket Expense	\$ 3,500.00	\$ 2,500.00	\$ 2,500.00	
7847	Youth Leagues Expense	\$ 11,000.00	\$ 25,000.00	\$ 25,000.00	field lining
7850	Youth Lgs Uniform Expense	\$ 9,000.00	\$ 9,000.00	\$ 19,000.00	
7853	Youth Programs Expense	\$ 3,000.00	\$ 1,200.00	\$ 1,200.00	
7855	Umpire Training Expense	\$ 500.00	\$ 500.00	\$ 500.00	
7857	Adult Leagues Expense	\$ 3,000.00	\$ 4,000.00	\$ 3,000.00	
7860	Adult Program Expense	\$ 500.00	\$ 250.00	\$ 500.00	
7863	Maltby Dog Pound Expense	\$ 3,500.00	\$ 1,400.00	\$ -	
7867	Skatepark - Expense	\$ 6,000.00	\$ 3,500.00	\$ 3,500.00	
7873	BCC Expense	\$ 10,000.00	\$ 12,000.00	\$ 12,000.00	
7877	Office Machine Rentals	\$ 5,000.00	\$ 5,500.00	\$ 5,500.00	
7880	Auto Maintenance & Repairs	\$ 500.00	\$ 2,100.00	\$ 1,500.00	
8801	Contracted Services Instruction	\$ 60,000.00	\$ 30,000.00	\$ 30,000.00	
8810	JUA - Facility Rental Expense	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	
8815	Printing & Publishing	\$ 18,000.00	\$ 19,000.00	\$ 21,000.00	Master Plan publish
8825	Advertising Expense	\$ 5,000.00	\$ -	\$ -	
8826	Marketing Expense	\$ 5,000.00	\$ 4,000.00	\$ 4,000.00	
8830	Concessions Expense	\$ 500.00	\$ 100.00	\$ -	
8835	PS-Website Expense	\$ 2,800.00	\$ 2,800.00	\$ 2,800.00	
8840	PS-Technology Expense	\$ 5,100.00	\$ 10,100.00	\$ 10,100.00	
8845	PS-Payroll Expense	\$ 2,500.00	\$ 2,500.00	\$ 2,500.00	
8848	Bank Charges	\$ 100.00	\$ 100.00	\$ 100.00	
8850	PS-Audit Expense	\$ 5,500.00	\$ 5,500.00	\$ 3,000.00	
		\$ 639,700.00	\$ 630,150.00	\$ 647,000.00	
		-20285	-19676	394	

LAW OFFICES OF
MANCUSO & CAMERON, P.C.
ATTORNEYS AND COUNSELORS

FRANK J. MANCUSO, JR.
DOUGLAS D. CAMERON

VICTORIA L. LESNER
BRUCE A. MAYRAND, JR., of Counsel

May 13, 2015

Mr. Bud Clark
4111 Homestead
Howell, MI 48843

Re: 3750 Noble Avenue/3746 Noble Avenue
Alleged Zoning Ordinance Violations

Dear Mr. Clark:

This office serves as legal counsel for Genoa Township. I am responding to the various e-mail messages that you have sent to the Township Clerk, Polly Skolarus, and the Township's Zoning Official, Ron Akers regarding the alleged zoning violation of Mr. William Wernet's deck. While the Township personnel are sympathetic to your father's dispute with Mr. Wernet, after review of the file, we have determined that the Township is unable to assist your father in this matter. This does not preclude your father from pursuing his own cause of action against Mr. Wernet in the Livingston County Circuit Court.

Sincerely,

MANCUSO & CAMERON, PC



Frank J. Mancuso, Jr.

FJM/kdl

Ron Akers

From: Bud Clark <bclark@verimation.com>
Sent: Thursday, May 14, 2015 1:57 PM
To: Ron Akers
Subject: FW:

Mr. Akers,

I still have received no response from you, which prompted me to re-read your last email to my dad. I am quite frankly astounded at the level to which you just flat out refuse to recognize/acknowledge the truth when it is so available to you, and the double-speak you employed in said email. Let's evaluate what YOU put in writing:

The deck is a legal non-conforming structure, which gives Mr. Wernette the ability to make improvements, repairs, or modernization which do not exceed (1/2) of the value of the structure during a 12 month period. He was issued a land use waiver to remove deck boards to do foundation repairs. Inspection indicated he removed the existing deck boards. There are no improvements, repairs or modernization being made to the deck if he uses the same deck boards.

AND THEN THERE IS THIS

Additionally you make reference that the deck was built in 1988 without a valid land use permit and thus is not a legal non-conforming structure. The issue with this approach is that I have no way to verify this and if it is true, it is difficult to compel someone to remove a deck they failed to get a land use permit for 27 years ago.

Tell me Mr. Akers, how is it that you can in one breath say that the deck is a "legal non-conforming structure", then in the next breath say you have "no way to verify" if my dad is correct and it is not? Please tell me – how is that even possible is it Mr. Akers?!!! Most importantly, since you made this declaration - how exactly did you determine this structure to be "lawfully existing" per our township ordinance?

Note also that the Wernette's predecessor failed to secure the permit and variance, the problem was bestowed upon them because rules are rules. I know several people who purchased homes only to learn afterward that they had to remove structures because they unlawfully existed, and the length of time they existed was and is completely irrelevant.

Derelict of duty with regard to our township zoning ordinance is what this all adds up to on your part, plain and simple.

Bud Clark Jr.

Best regards,

Peyton (Bud) C. Clark III
 Proposal Engineer
 Verimation Technology, Inc
 800.521.5245 PH Extension #204
 248.471.0055 FAX

From: bud clark [mailto:lncbud3@gmail.com]
 Sent: Monday, May 11, 2015 9:40 AM
 To: bclark@verimation.com
 Subject: Fwd:

----- Forwarded message -----

From: bud clark <lncbud3@gmail.com>
 Date: Thu, May 7, 2015 at 4:48 PM
 Subject: Re:
 To: Ron Akers <Ron@genoa.org>, Jim Rowell <JRowell@livgov.com>

Mr. Akers,

Allow to address your response referencing your numerical list:

1. The zoning ordinance records going back to at least 1987 are housed in the facility where you work. If you are incapable of finding them, I suggest you ask one of your coworkers who is knowledgeable and capable. I have the records for my variance and plan approval from Genoa Township, dating back prior to 1987, recently furnished by your coworkers at your facility. My predecessors COA was issued August 5, 1987. I have photographs documenting that the deck at 3746 Noble did not exist when the COA was issued. Let me be very specific. The following clarifies and supersedes any and all prior communications: The deck at 3746 Noble was built after August 5, 1987, and prior to the residence at 3746 Noble being listed for sale in the summer of 1993. The documentation shows the deck could be as old as 27 years, or only 22 years old; that is academic. The point is in either case, **Township Plan Approval and Livingston County Building Permits WERE REQUIRED.** Again Mr. Akers, the records are housed in the building where you work. Accordingly, **THE DECK DOES NOT HAVE A LEGAL NON-CONFORMING STATUS!** I have already checked the building permit history for 3746 Noble; permits are on file for activity prior to 1987 and after, thru 2001. *There are no permits on file for the deck!*
2. Your understanding that the County is on record saying that building permits are not required is incorrect. In my conversation with Mr. Rowell he informed me that the County does not take action unless they are requested to. **You issued a wavier in error without properly assessing the situation, precluding any action by the County. I suggest you quit kicking the can down the road and walk the property. You can then evaluate the status of the illegal non-conforming deck at 3746 Noble first hand. Subsequently you can do your job as your findings and your conscious dictates. An alternative would be to specifically issue a recommendation to me from your office, stating I should contact the County Build Department and request a review of the deck at 3746 Noble for Code Violations. If so directed, I will handle the issue.**
3. You are in error again! First as outlined above, *the deck IS NOT a legal non-conforming structure*; I remind you again the records are housed in the building where you work. You are correct that the issues is covered in the last paragraph of 24.04.06, and needs the County or Fire Department to determine if it is, "...unsafe or unlawful...". However *you stepped in add issued a wavier without proper review! It is my position you should have properly*

²¹⁹
reviewed the structure and subsequently asked for a declaration from the County Building Department.

Mr. Akers, I was an Engineering Manager and worked in different facets of the business for 34 years. There is no shame in mistakes and/or oversights when a person is doing a conscientious job, and I believe you do. However, if one is reluctant to recognize and correct an error or oversight, than it is time to question their motivation. You have spent an inordinate amount of time beating around the bush and trying to justify the fact that, *by your own admission*, you did not properly review the deck at 3746 Noble as requested.

In your closing remarks you state you "...have no way of verifying..."; I will tell you again, the records and documents are housed in your building! Are you telling me you are not willing to look for them? Please clarify this question. In addition, you have an interesting rationale that equates to: "If a person violates the law for 27 years then it is OK to keep violating the law."

It is painfully obvious you want this issue to go away, but I can assure you it will not. However I will gladly take it on. Would you please issue me a direction from your office stating I should contact the Building Department and ask them to review the structure at 3746 Noble for violations that require a permit. If such violations exist, Wernette will be required to get a plan approval from the Township, including setbacks, and subsequently obtain the required permits, as his predecessor should have done.

I am weary of all these EMAILS that are a testimony to indecision and procrastination. Please issue me the direction I requested and I will handle this. You have only to call me and I will pickup your note on Genoa Township Stationary at the Twp Hall.

It would behoove us all to read 24.01.06 and make a concerted effort to improve the community, rather than spend hours and hours searching for reasons why we can not.

We are approaching 3 weeks now; I would appreciate your prompt attention to this issue and I will take over.

Regards,

Peyton Clark
cell: 313 410 1794

On Thu, May 7, 2015 at 11:03 AM, Ron Akers <Ron@genoa.org> wrote:

Mr. Clark,

I apologize regarding the delay in my response. Regarding your request I please review the following:

1. I do not have knowledge of what the standards of the Zoning Ordinance nor the policies and procedures of the Zoning department 27 years ago when (according to you) the deck was built. I cannot verify this. I can tell you that currently, if the deck is closer than 4' to the side property boundary (as you have indicated previously) it does not comply with the current requirements of the Genoa Township Zoning Ordinance which allow uncovered decks without roofs to be 4' from the side property boundary. Due to the deck being built prior to the adoption of our current Zoning Ordinance, the deck has a legal non-conforming status.

2. It is my understanding that the Livingston County Building Department has already looked at this issue and had already made a determination that improvements to the deck were not required. I have not contacted the Brighton Area Fire Authority to review the deck, although it is certainly allowable for you to contact them.

3. Let me review article 24.04.06 for you. The article states, "**Repairs, Improvements and Modernization: Repairs, improvements, or modernization of non-conforming buildings or structures shall be permitted provided such repairs or improvements do not exceed one-half (1/2) of the value of the building or structure during any period of twelve (12) consecutive months. This cost/value calculation shall not include any costs associated with modernization of electrical, plumbing, heating or cooling systems to meet Building Code requirements. However, if a non-conforming structure or a structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of maintenance and repairs and is declared as such by the Building and Fire Departments, it shall not thereafter be restored, repaired, or rebuilt except in full conformity with the regulations in the district in which it is located.**"

Let's evaluate this section by section:

"Repairs, improvements, or modernization of non-conforming buildings or structures shall be permitted provided such repairs or improvements do not exceed one-half (1/2) of the value of the building or structure during any period of twelve (12) consecutive months..."

The deck is a legal non-conforming structure, which gives Mr. Wernette the ability to make improvements, repairs, or modernization which do not exceed (1/2) of the value of the structure during a 12 month period. He was issued a land use waiver to remove deck boards to do foundation repairs. Inspection indicated he removed the existing deck boards. There are no improvements, repairs or modernization being made to the deck if he uses the same deck boards.

"This cost/value calculation shall not include any costs associated with modernization of electrical, plumbing, heating or cooling systems to meet Building Code requirements..."

This section is not applicable. Decks do not have electrical, plumbing, heating or cooling systems.

"However, if a non-conforming structure or a structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of maintenance and repairs and is declared as such by the Building and Fire

²²¹ Departments, it shall not thereafter be restored, repaired, or rebuilt except in full conformity with the regulations in the district in which it is located.”

This section requires that if the legal non-conforming deck, becomes physically unsafe or unlawful due to lack of maintenance or repairs AND is declared as such by the Building and Fire Departments, it cannot be improved upon and can only be restored, repaired and rebuilt in compliance with the Zoning regulations. This is where our disagreement lies, as I have previous indicated the legal non-conforming deck has not been declared unsafe by the Building and Fire Departments and thus is not subject to the requirement, “it shall not thereafter be restored, repaired, or rebuilt except in full conformity with the regulations in the district in which it is located.”

Additionally you make reference that the deck was built in 1988 without a valid land use permit and thus is not a legal non-conforming structure. The issue with this approach is that I have no way to verify this and if it is true, it is difficult to compel someone to remove a deck they failed to get a land use permit for 27 years ago.

Mr. Clark, with regards to your request, our Zoning Ordinance does not provide any ability for me to compel Mr. Wernette to remove his existing deck. I understand you will not be satisfied with this response, but it represents the regulations in our Zoning Ordinance.



Ron Akers
Zoning Official
Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: N/A, Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: ron@genoa.org, Url: www.genoa.org



From: bud_clark [mailto:Incbud3@gmail.com]
Sent: Tuesday, April 28, 2015 1:20 PM
To: Ron Akers; JRowell@livgov.com
Subject:

Mr. Akers,

My comment on the photo "Major deck rebuild" refers to the fact that the entire section of deck planking and rails are removed; not just the necessary planks to gain access to the foundation. This is a subjective evaluation; I apologize if my nomenclature differs from yours.

In any case, we are getting away from the key issue at hand, section 24.04.06, which reads: **"However, if a non-conforming structure or a structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of maintenance and repairs and is declared as such by the Building and Fire Departments, it shall not thereafter be restored, repaired, or rebuilt except in full conformity with the regulations in the district in which it is located."**

The Wernette deck was built without any permits and in total disregard of all Township and County Ordinance and Codes and has always been unlawful and unsafe!

In addition, Wernette had an opportunity to address safety codes when he rebuilt his railings in 2011 (photos and documentation available). Wernette chose to ignore the mandatory safety and construction code and reconstruct an unsafe structure. In addition, how can the Township and the County ignore the stairway photos I provided? How can you ignore the removal of all the planks from the deck section 12' away from the foundation? With the deck open, how can you ignore the construction spans are not to code? I pointed out the railing is loose, unsafe and does not meet code for maximum deflection; does that matter?

Please also note Article 24, 24.01 Statement of Purpose speaks to construction "...which was lawful prior to the enactment of this ordinance, or amendment thereto..."; the *Wernette deck was unlawfully built in 1988 or later, (after my property addition was complete) with total disregard for Township and County Rules and Codes.*

In addition, Article 24, 24.01.04 states: **"Encourage the upgrade of residential neighborhoods through bringing non-conforming residential structures more into compliance with the Zoning Ordinance."** In all due respect, I implore you to stop looking for reason not to comply with the "Laws on the Books", and make an effort to enforce the "Laws" on the books.

Mr. Akers, the last thing I want is this issue to become confrontational; that will serve no purpose for you or I. I am acutely aware you do not enforce building codes. Accordingly, in recognition of all of the above, and

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so there is no misunderstanding, I am respectfully and very specifically going on record with the following request to you as Code Enforcement Officer:

1. Acknowledge that the deck at 3747 Noble was illegally built in violation of Township Ordinance and Livingston County Building Codes. (If you require additional documentation, I will be happy to provide it.)
2. Request the Livingston County Building Department and the Fire Marshall to review the deck at 3747 Noble for all Code and Safety Issue and go on record with their position.
3. Provide a note back to me as a law-abiding resident, who along with my predecessors, has always abided by the Township and County rules. Your feedback will allow myself and my fellow citizens to understand "the letter of the law" and how Article 24 applies to 25 year old illegally built, non-conforming structures.

I sincerely hope we can move forward toward a resolution to this issue; you may be assured I will respect the findings of the proper authorities.

I respectfully remain, your fellow citizen,

Peyton Clark

Ron Akers

②

From: bud clark <Incbud3@gmail.com>
Sent: Wednesday, May 13, 2015 7:46 PM
To: Ron Akers
Subject: Illegal Nonconforming Deck, 3746 Noble

Mr. Akers,

I trust by now you have had time to recognize that Genoa Township required Plan Approval, and subsequently, the County required Building Permits and inspections long before the subject deck was built.. Accordingly, have you reconsidered your position? What is your intention regarding Wernette's illegal nonconforming structure?

I hope you will revisit Township Article 24 and take the appropriate action. May 14, marks 3 weeks since I dropped the package of information at your office.

Please send me a note informing me of your current position, or contact me to pickup the letter I requested from your office as an alternative course of action.

Respectfully,

Peyton Clark.

cell: 313 410 1794

3

Ron Akers

From: Bud Clark <hclark@verimation.com>
 Sent: Monday, May 11, 2015 3:31 PM
 To: Ron Akers
 Subject: 3746 Noble - deck does not "lawfully exist" per the township ordinance and never has
 Attachments: w14-208.pdf

Mr. Akers,

I have been watching the recent exchanges between yourself and my father (Peyton Clark).

You are now essentially saying you have no way of knowing whether a permit and variance were required when the structure that is now Wernette's deck was built at 3746 Noble. REALLY?

The structure on my dad's property required a permit, variance, and COO in 1986 and we have all of the records for this, so obviously this WAS a requirement for new structures as of 1986.

**Since you made of point of saying "according to you" to my dad regarding when that deck was built - are you saying you need to see the proof of when that deck was built? We have photographs and court transcripts that prove this - why not ask to see this stuff instead of giving my dad the runaround?!! Sorry, but I believe if you are not interested in this proof, and what you are really saying is you just don't care and have no intention of playing by the rules established per the ordinance - just going by what I see as you certainly didn't ask for the proof!!

**Are you saying that the building permit and variance requirements that clearly existed in 1986 for newly built structures somehow didn't apply between August of 1997 and whatever the effective date of the current ordinance and/or amendments?

Here is the only section of Article 24 anyone needs to consider:
Sec. 24.02 NONCONFORMING BUILDINGS, STRUCTURES, LOTS, USES AND SITES
 Buildings, structures, lots and uses of land which were lawfully in existence at the time or enactment of amendment of this ordinance and which have been prohibited, regulated or restricted under the terms of this Ordinance are hereby recognized as nonconforming buildings, structures, lots, uses and sites.

The structure that is Wernette's deck was built without the permit and variance that were lawfully required when it was built, therefore has never been "lawfully in existence" at any point in time.

The proof is there, and the truth is that you approved a waiver that perpetuates the existence of a 100% unlawfully existing structure in our township. This is the truth and we can easily prove this. Perhaps you were misled by Wernette on the waiver application, I can't be certain, but it certainly appears to me that you refuse to acknowledge what I know 100% the truth.

Before signing the attached waiver, did you even bother to verify whether the structure "lawfully existed" (meaning that the permit and variance required were properly obtained)?? No, you obviously did not, and now that it is brought to your attention I believe it your job to understand the concern, nullify the waiver you signed to act in compliance to the ordinance, and inform the Wernettes that their deck is not a lawfully existing non-conforming structure and therefore cannot be reconstructed or repaired - such privileges only exist for "lawfully existing non-conforming structures" and for good reason!

This deck is very easily proven as unlawfully existing, it does not qualify as a legal non-conforming structure under the ordinance, and it truly is a nuisance that degrades my father's property value immensely, but also many others in the neighborhood. So, if it is not your job to enforce our township zoning ordinance, then please direct me and my father to the responsible authority.

Best regards,

Peyton (Bud) C. Clark III
Proposal Engineer
Verimation Technology, Inc
800.521.5245 PH Extension #204
248.471.0055 FAX

To Board 5/4/2015

Polly

From: Bud Clark <bclark@verimation.com>
Sent: Thursday, April 30, 2015 9:44 AM
To: Polly
Subject: RE: package for submission to township board

Thank you Polly. I don't really plan to address the Board other than to introduce myself and family, my hope is more that the Board or the attorney might ask questions that my write up and the exhibits I provided might prompt them to ask. Please advise as to the date and time for this meeting.

Thanks again,
 Bud Clark

From: Polly [mailto:pskolarus@genoa.org]
Sent: Wednesday, April 29, 2015 7:26 PM
To: Bud Clark
Subject: RE: package for submission to township board

Hi Bud, I will be glad to copy all of the attachments that you sent and provide them for the board you can address the board at the call to the public which is the first thing on the agenda and our township attorney will be there and he will be able to respond. Polly

Sent from my Verizon Wireless 4G LTE smartphone

----- Original message -----

From: Bud Clark
Date: 04/28/2015 3:36 PM (GMT-05:00)
To: Polly
Cc: 'lisa clark'
Subject: package for submission to township board

Polly,

My dad asked that I hold off on sending something to the Twp. Board while he investigated other possible options, this is why you did not hear back from me sooner.

Please submit the (5) PDF files contained in the attached Zip folder to the Genoa Township Board for review and discussion at their next public hearing. I am happy to provide as many color hard copies of all of these documents should this make it easier for you.

Please advise when this meeting will take place as our family wishes to attend and voice our concerns on this matter.

Thank you,
 Bud Clark Jr.

From: Polly [mailto:pskolarus@genoa.org]
Sent: Thursday, October 16, 2014 8:19 PM

228
To: Bud Clark

Subject: Re: Thank you / ***procedures for filing a petition?***

Bud, I will copy your correspondence for the next board meeting. You would be welcome to attend that meeting and make your feelings known to the board and make your request. However, I do not think our attorney will change his opinion. Polly

Sent from my iPad

On Oct 14, 2014, at 11:18 PM, Bud Clark <bclark@verimation.com> wrote:

Thank you Polly,

Does presenting the concerns and requesting official Township action to the board for their review/consideration require a petition effort at this point? Is there no other way for me to make this sort of appeal to the board? ...or perhaps on behalf of a smaller group of concerned Genoa property owners? Is there a form we need to complete for this?

THE ABOVE QUESTIONS ARE WHAT IS MOST IMPORTANT TO ME, HOWEVER I GOT ON A ROLL AND WROTE THE FOLLOWING FOR YOU TO CONSIDER IF YOU HAVE TIME. THANK YOU!!

I do appreciate that you feel bad for my dad, and I would ask you to help right this wrong and convince all involved at the Twp to do the right thing in disputing this ruling as a matter of Township business. This is the only thing that could help my dad as he has been diagnosed and now takes meds for clinical depression – 100% because of this situation. As it stands, there is not a buyer in existence willing to purchase my father's property at a fair market price once they've observed Wernette's intentional defacing and storing of household junk on the property he stole in court, and the devaluing effect it unquestionably has on my dad's remaining property. Not to mention the ingress/egress safety concerns Wernette is now intentionally causing. All because this ruling allows it. Doesn't the Township have rules to prevent someone from taking actions that devalue and/or cause other peoples' property to be unsafe? ...oh that's right, we do have the land use variance process and resulting public records that existed and pertain to the exact same property line, but couldn't be found for my dad's benefit. The reality now is that the 1986 official township business for which you sent records to me, per this ruling just simply never happened – this is what the ruling is asking you personally to accept, as well as any other Genoa resident. I tried very hard to convey this to Gary, and find it appalling that anyone in an official capacity at the township can consider this then shrug their shoulders and look the other way when it is so painfully clear that something so wrong happened as a result of the township's poor keeping of these public records.

I'm sorry to lay this on you, I hope to not offend you (not at all the intent), and I realize the repetitive nature of my communications, but the truth is the truth, this ruling is wrong as can be, and the township is now morally culpable and should do the right thing to fix it. In the meantime I will not stop advocating for my father and plan to become more vocal and more public with what I know is the truth as time goes on. So if a petition is the only way to get the truth recognized, then so be it.

Thanks,
Bud Clark

From: Polly (<mailto:pskojarus@genoa.org>)
Sent: Tuesday, October 14, 2014 11:06 AM
To: Bud Clark
Cc: Gary McCririe; Frank Mancuso (frank@mancusocameronlaw.com)
Subject: RE: Thank you / ***procedures for filing a petition?***

Bud, You may prepare the petition. There are no filing fees. Our township attorney would then review the request and make a recommendation to the board. I again spoke with our attorney Frank Mancuso and he again said that we will cooperate with your attorney in this matter. I do feel sympathetic toward your father and am very sad that this happened to him. Polly

From: Bud Clark (<mailto:bclark@verimation.com>)
Sent: Monday, October 13, 2014 5:25 PM
To: Polly
Cc: Gary McCririe
Subject: Thank you / ***procedures for filing a petition?***

Polly,

Thank you for the records of the variance, it is really appreciated. I believe that at least you are sympathetic to my dad's position and recognize how wrong this ruling was for my dad and our township - I only wish I could say the same for Gary.

It might interest you to know that in addition to storing junk on his new property as we had showed you, now Mr. Wernette has painted yellow over the paver bricks my dad installed in the area that was my dad's property according to the public records you've sent to me. It looks absolutely hideous, but that is exactly what Wernette wants. It has been Wernette's mission to harass my father at every turn, and it has worked out beyond his wildest dreams largely because the township could not locate these public records for my dad and sister upon their 2 separate requests, which in turn allowed for Wernette to steal my dad's property in court – this is the plain truth of the matter.

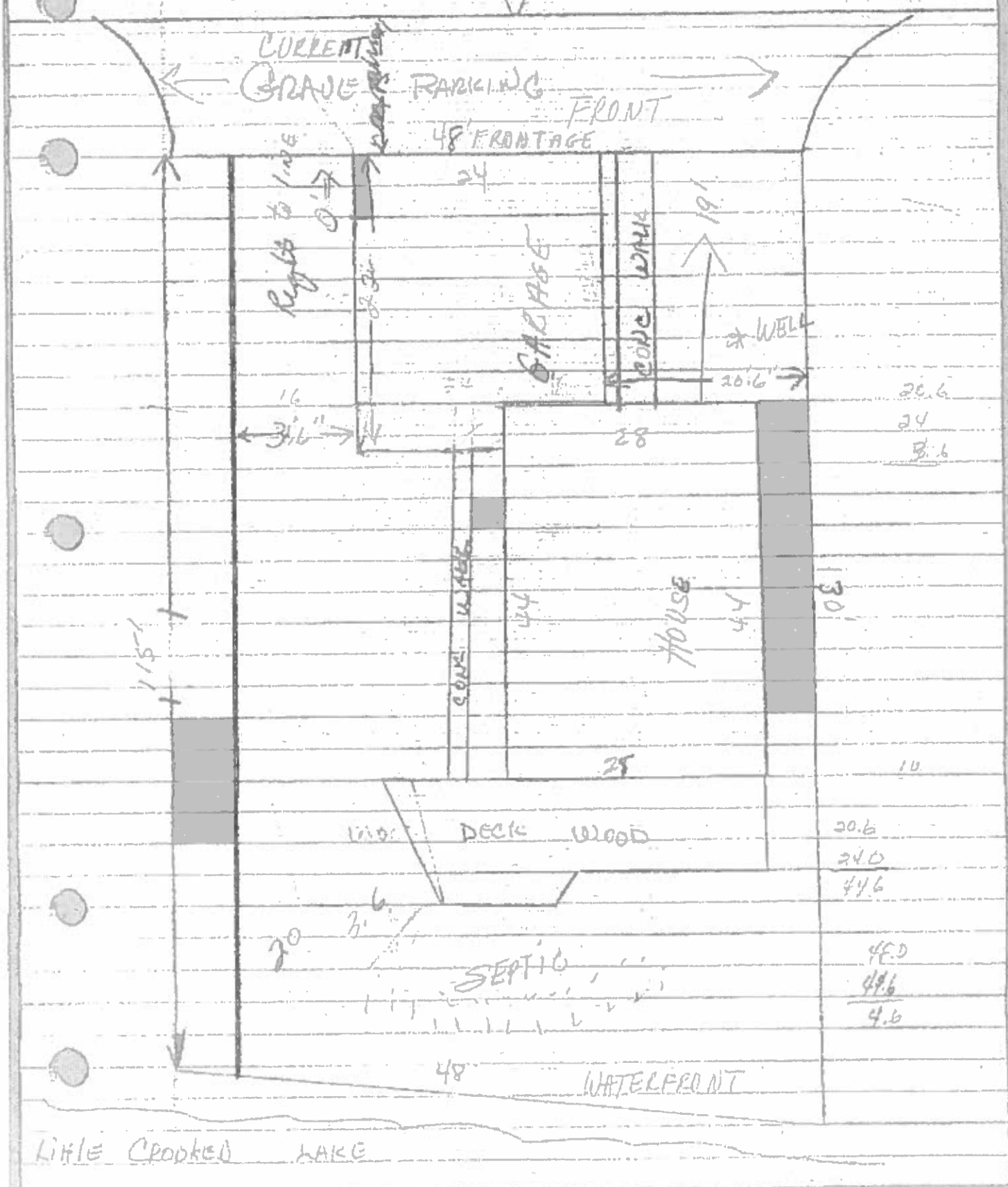
My sister and I plan to petition the Township Board to take action on this. We plan to seek signatures from the majority of Crooked Lake residents because this occurred in our lake community. Our plan is to be matter of fact (as opposed to a "bad-mouthing" of the township) with regard to these once missing public records which pertain to the same lot line, and the ingress/egress safety related concerns that have certainly resulted from this ruling. I would also point out that in the meeting minutes of 7/8/1986, Mr. Staley expressed the exact same concern for emergency personnel being able access the waterfront - this was a problem that my dad's improvements to the property were finally addressing before this ruling. So while Gary can pass this off as a non-concern on the part of the Township (which he did when we met to discuss this), it is a concern our Board members not only would, but factually did address - it is a matter of public record.

Are there specific forms we need to use for settling up a petition? Is there a filing fee? Note that I could not find this on the township website.

I am also wondering if there is a way we can present these concerns to the board and ask for them to consider taking action without doing a petition?

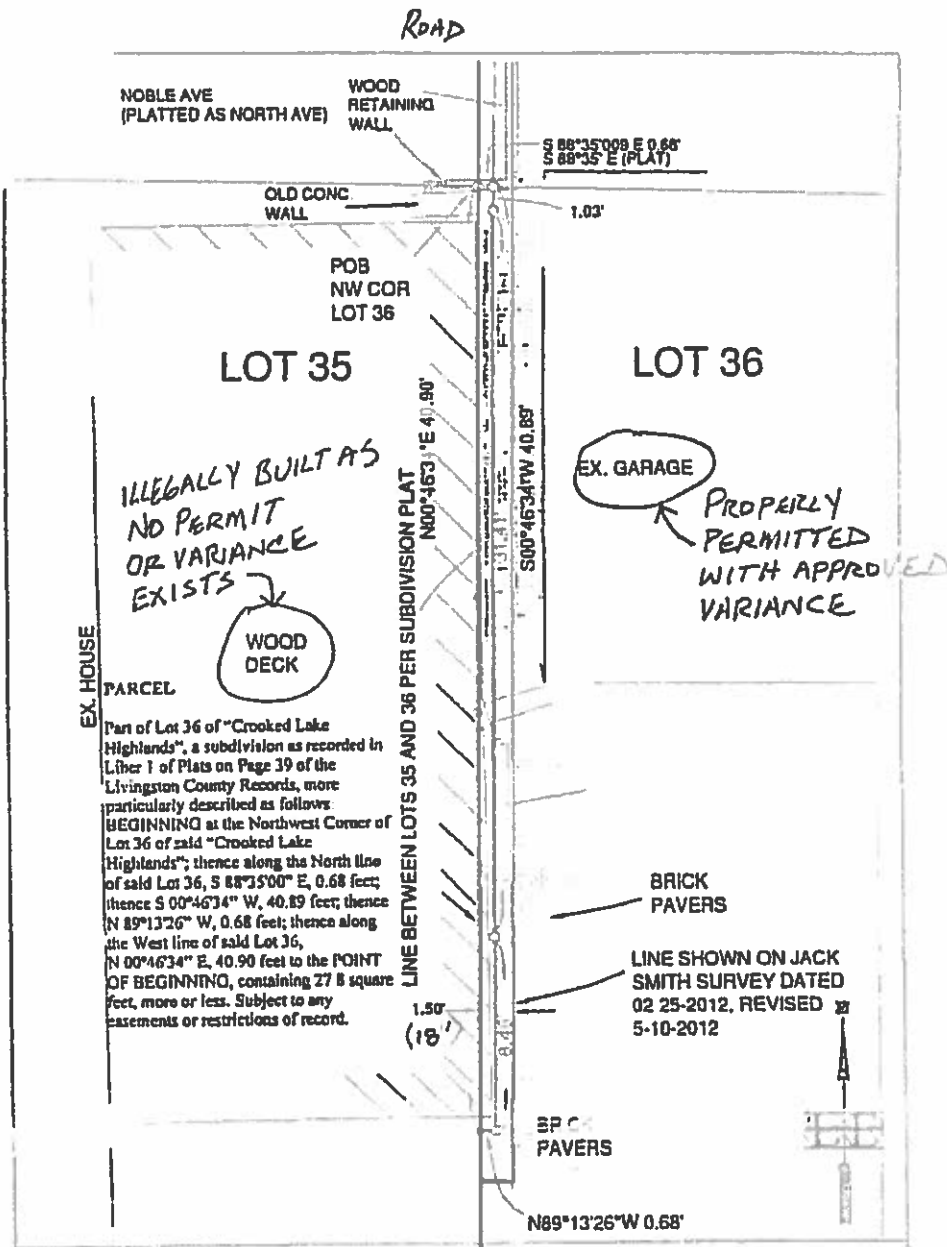
Thank you,

Noble DR EXHIBIT B' N



LITTLE CROOKED LAKE

EXHIBIT C



LEGEND

- SECTION CORNER
- SET IRON ROD
- FOUND IRON ROD/PIP
- FOUND MONUMENT
- SOIL BORING
- POB - POINT OF BEGINNING
- "MAG" NAIL ET IN WALL

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS 1/10,000 AND THAT SAID SURVEY FULLY COMPLIES WITH THE REQUIREMENTS OF PUBLIC ACT 132-10

LIVINGSTON ENGINEERING
 CIVIL ENGINEERING SURVEYING PLANNING
 5800 S. OLD LEB. RD., BRIGHTON, MICHIGAN 48114
 INTERNET: WWW.LIVINGSTONEMI.COM PHONE (248) 225-7500 FAX (248) 225-7888

DRAFT

CLIENT CLARK
 DESCRIPTION SECTION 22
 T24-N5C, GENOA TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN

DATE 05-14 2014
 REL
 CREW DL
 CHECK

SCALE 1"=5'
 SHEET No. 1 of 1
 JOB No. 11184-
 DRAWN 5

EXHIBIT
 3

LAKE

EXHIBIT D

Genoa Township Zoning Board of Appeals
Regular Meeting, July 8, 1986

Page 5

requirement for construction of a pole barn. Case #86-40.

Mr. Allen stated he would like the variance due to the large garden he maintains. He has spoken with his neighbors and none seem to object.

Motion by Santo, supported by Risdon, to deny the request due to lack of hardship according to the township ordinances.

Voice vote: Motion carried unanimously.

7. A request by David Hartman, 3750 Noble, Brighton, section 22, for a variance to the front/road and side yard setback requirements to construct an attached garage. Case #86-41.

Mr. Staley expressed concern, if the proposed structure is built, of getting any emergency or necessary equipment to the front (water side) of the property, but that due to the topography of the lot the front is already inaccessible.

Mr. Santo asked about the possibility of moving the proposed garage to the side and covering the front door of the house.

Mr. Hartman explained that he will be filling the area on which the garage will be built and if he moved it to the side there would be no access to his house. The septic is now serviced by means of a hose from the road to the water side of the property.

Motion by Santo, supported by Risdon, to grant the requested variance due to the serious topographical area of the lot with the contingency that plans be submitted prior to the start of construction and that Jim Stornant checks the road side lot line.

Voice vote: Motion carried unanimously.

8. A request by Joseph and Irene Mike, 5460 Brighton Road, Brighton, section 34, for a variance to the six (6) foot minimum fence requirement around a swimming pool. Case #86-43.

Mr. Mike presented pictures of the pool area which is

To: Genoa Township Board
 From: The family of Peyton C. Clark Jr.
 RE: Request for Township Board action as is necessary to honor a variance it granted.

Due to Genoa Township record keeping practices, which caused public records of an approved 1986 variance to be unavailable for use as evidence at trial in a property line dispute, we respectfully request that the Genoa Township Board consider the following:

- The historical occupation ruling in *Wernette versus Clark*, which Judge Latreille stated on record went back to “1974” “and quite possibly earlier than that”, is factually incorrect because public records from 1986 were not available for the judge to consider. The reason for this is that weeks before and even during the trial, in separate visits to Township Hall, Genoa Township personnel informed Mr. Clark and his daughter that these public records “could not be found”, and “nothing could be done to find them”. Note that after Judge Latreille made this ruling, Polly at Genoa Township Hall was able to locate these records (see Exhibit “A”). Also of note is that the legal system prevents Mr. Clark from now presenting these legitimate public records as evidence.
- This same ruling is now a published legal precedent that was established in our community, it defeats factual matters of 1986 public record as documented through the official activity of the Genoa Township Board - information that is specific to the disputed property line. Please review the following attachments: Exhibit “B” – Sketch submitted by David Hartman with his variance application in 1986. Note that the west property line (shown in green) was defined as a STRAIGHT LINE that ran from the road to the lake, this line was identified with visible stakes as required during the variance review process, and the iron rod survey markers for this line are still present in the ground. Note also that not one affected property owner is on record in 1986 to contest the location of this property line, as this would be documented in Exhibit “A”. Exhibit “C” – A recently drawn survey. Note that the green line represents the same STRAIGHT LINE between lots 35 and 36 that was depicted in Mr. Hartman’s 1986 sketch. The line shown in red is the revised property line resulting from Judge Latreille’s ruling - this 18” section of property was awarded to the Wernettes, property that Mr. Clark rightfully owned per Exhibit “A”. Also worth note is that there is no building permit or variance granted for the wooden deck on lot 35, which was proven to have been built *after* Mr. Clark’s garage on lot 36.
- This ruling/legal precedent has also resulted in safety concerns for ingress and egress at 3750 Noble, particularly for emergency personnel and equipment. It eliminated Mr. Clark’s safe passage (3-foot walkway) as the Wernettes have since blocked his access to it. Note that this same concern for emergency access was addressed by Mr. Staley as noted in the Board meeting minutes when the variance was granted (see Exhibit “D” attached).
- This is a legal precedent that should be contested by Genoa Township to honor a variance it granted, but also to address the resulting safety concerns that the Township Board tried to prevent in 1986. Allowing these public records to remain unrecognized by the court defeats the purpose of official Township Board activity intended to protect property interests, promote safety in our Township, and prevent what happened to Mr. Clark.

Due to the poor keeping of public records in this instance, we ask that the Township take the legal action now necessary to honor the variance it granted in 1986 per Exhibit “A”. We request that Genoa Township Board should “do the right thing” and present before Judge Latreille and/or any applicable court that:

- Genoa Township could not locate what are truthfully relevant 1986 public records in time for the *Wernette versus Clark* trial, and request that the court:
 - a) Reconsider the ruling in *Wernette vs. Clark* based upon the public records from the 1986 variance, which document the subject property line - a still properly marked STRAIGHT LINE.
 - b) Consider the ingress/egress safety concerns addressed by the Township Board in 1986, but are now being imposed as a direct result of the Judge Latreille’s ruling.
 - c) Allow Mr. Clark a new trial for a proper review of the aforementioned concerns.

Thank you for your time and consideration.

11-22-302-040 Appeal # 86-41
Date 7/8/86

EXHIBIT 'A'
1 OF 10

NOTICE OF APPEAL
GENOA TOWNSHIP
ZONING BOARD OF APPEALS

*Appellant DAVID R. HARTMAN Address 3750 NOBLE
City BRIGHTON State MICHIGAN Zip 48116
Phone 229-7307

*Owner DAVID R. HARTMAN Address 3750 NOBLE
City BRIGHTON State MICHIGAN Zip 48116
Phone 229-7307

Location of Property _____

Present Zoning R-1-C

Action requested:
_____ Administrative review _____ Interpretation
_____ Variance _____ Special Exception

Supporting documents check list:

- 1) Copy of Appeals Order _____
- 2) Statement of description or use _____
- 3) Statement of position of Appellant _____
- 4) Site plan _____

Petitioner must be present at the Public Hearing

TAX CODE #: 11-22-302-040

EXHIBIT 'A' 2 OF 10

Instruction to Appellant: Fill in appropriate Section 1, 2, 3 or 4. This application is not acceptable unless all required statements have been made. Additional information may be supplied on separate sheets if the space provided on this form is inadequate.

The following is an appeal from a determination made by the zoning ordinance enforcing officer on the following date:

_____ Date _____

Section 1. INTERPRETATION

The appellant respectfully requests that an interpretation be made by the Board of Appeals of Article _____ Section _____ of the township zoning ordinance.

_____ An appeal is made for an interpretation of the zoning map.

An interpretation is requested for the following reason:

Section 2 VARIANCE

The appellant respectfully requests that an adjustment of the terms of the zoning ordinance be made in the case of his property because the following peculiar or unusual conditions are present which justify an adjustment:

PROPERTY IS NOT ^{LARGE} ~~WIDE~~ ENOUGH FOR GARAGE BUILT PER TOWNSHIP ZONING

* The following unnecessary hardship will result if the adjustment is not made:

WE HAVE CARS, RECREATIONAL VEHICLES AND LAWN EQUIPMENT TO STORE. IF WE DIDNT GET GARAGE WE WOULD HAVE TO RENT STORAGE AREA.

EXHIBIT A 3 OF 10

Section 3. SPECIAL EXCEPTION

The appellant respectfully requests that the following special exception be made to enable him to use his property in the following manner:

Article _____ Section _____ of the zoning ordinance authorizes the Board of Appeals to make the special exception requested.

Section 4. ADMINISTRATIVE REVIEW

The appellant respectfully petitions that the following request be approved:

Authorization for the above request is found in Article _____ Section _____ of the zoning ordinance.

David R. [Signature]
Signature of Applicant
6-25-86
Date

DECISION The appeal was granted/denied for the following reasons:

by the GENOA TOWNSHIP ZONING BOARD OF APPEALS and that the previous decision of the enforcing officer be confirmed/reversed.

Township Zoning Board of Appeals Michigan

By _____
Secretary

Date

EXHIBIT A 4 OF 10

Appeal # 86-41

Date 7/8/86

ZONING BOARD OF APPEALS

Property Owner David R Hartman

Site Address 3750 Noble, Brighton

Zoning of Property R-1-C Tax Code #11-22-302-040

Setbacks of Zoning: Road/
Front 40 Rear 50 Waterfront _____
Side 20 Side 20

Comments: Mr. Hartman is seeking a zero (0) setback on Noble street
to build a new garage.

Setbacks Requested: Road/
Front 0 Rear n/a Waterfront _____
Side 3.6 west _____ Side n/a

Amount of Variance: Front 40' Rear n/a Waterfront _____
Side 16.4' Side n/a

Well & Septic Information: _____

Additional Comments: _____

approved by 7/8/86

Variance Approved: Front _____ Rear _____ Waterfront _____
Side _____ Side _____

Variance Not Approved: _____ Date _____

EXHIBIT A 5 OF 10

Genoa Township Zoning Board of Appeals
Regular Meeting, July 8, 1986

Page 5

requirement for construction of a pole barn. Case #86-40.

Mr. Allen stated he would like the variance due to the large garden he maintains. He has spoken with his neighbors and none seem to object.

Motion by Santo, supported by Risdon, to deny the request due to lack of hardship according to the township ordinances.

Voice vote: Motion carried unanimously.

7. A request by David Hartman, 3750 Noble, Brighton, section 22, for a variance to the front/road and side yard setback requirements to construct an attached garage. Case #86-41.

Mr. Staley expressed concern, if the proposed structure is built, of getting any emergency or necessary equipment to the front (water side) of the property, but that due to the topography of the lot the front is already inaccessible.

Mr. Santo asked about the possibility of moving the proposed garage to the side and covering the front door of the house.

Mr. Hartman explained that he will be filling the area on which the garage will be built and if he moved it to the side there would be no access to his house. The septic is now serviced by means of a hose from the road to the water side of the property.

~~Motion by Santo, supported by Risdon, to grant the requested variance due to the serious topographical area of the lot with the contingency that plans be submitted prior to the start of construction and that Jim Stornant checks the road side lot line.~~

Voice Vote: Motion carried unanimously.

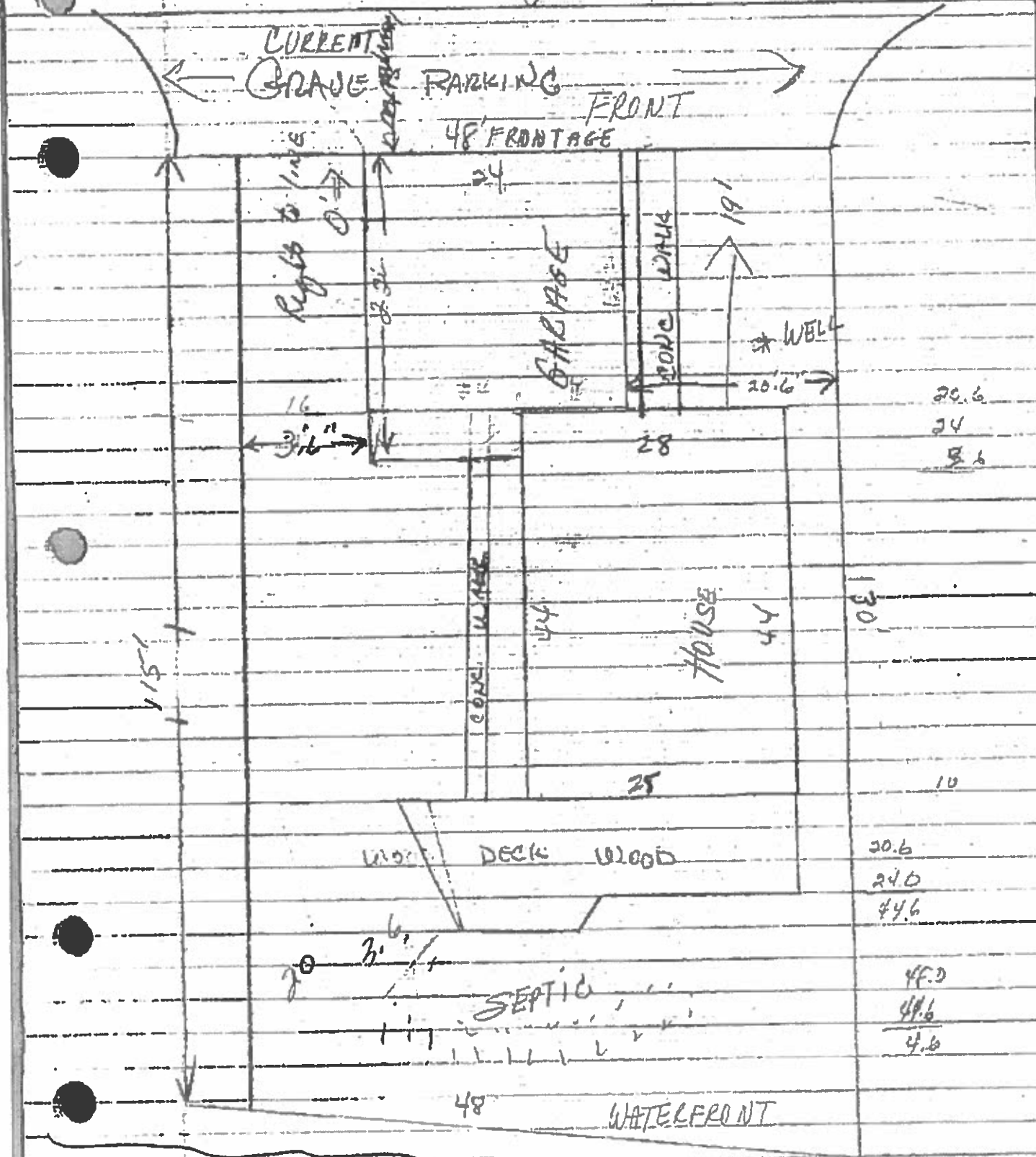
8. A request by Joseph and Irene Mike, 5460 Brighton Road, Brighton, section 34, for a variance to the six (6) foot minimum fence requirement around a swimming pool. Case #86-43.

Mr. Mike presented pictures of the pool area which is

EXHIBIT A 6 OF 10 N

Noble Dr
V

N



Little Crooked Lake



BOSS ENGINEERING COMPANY
CIVIL ENGINEERS & LAND SURVEYORS

MORTGAGE REPORT

Certified To: Old Kent Bank of Brighton

Applicant: David R. Hartman and Caryn J. Hartman

I hereby certify that this inspection report shows the improvement or improvements as located on the premises described, that the improvement or improvements are entirely within lot lines, and that there are no encroachments upon the premises described by the improvement or improvements of any adjoining premises, except as indicated.

I further certify that this Mortgagee's Inspection was prepared for identification purposes only for the Mortgagee in connection with a new mortgage and is not intended or represented to be a land or property line survey; that no property corners were set; and is not to be used, or relied upon, for the establishment of any fence, building, or other improvement lines.

Property Address: 3750 Noble

Description:

Lot 36 of "Crooked Lake Highlands Sub", a subdivision of part of Sections 21, 22, 27 and 28, T2N-R5E, Genoa Township, Livingston County, Michigan, as recorded in Liber 1 of Plats, pages 39-40, Livingston County Records.

Gary R. Boss
GARY R. BOSS R.L.S.

Date: May 16, 1996

Job Number: M16568



BOSS ENGINEERING COMPANY
CIVIL ENGINEERS & LAND SURVEYORS

MAIN OFFICE: 3121 E. GRAND RIVER • HOWELL, MICHIGAN 48843 • (517) 848-4838 • BRIGHTON 313 728-4773
CHARLEVOIX OFFICE: BOX 28A • PORTAIR PLAZA • CHARLEVOIX, MICHIGAN 49720 • (616) 547 2872

EXHIBIT A Box 10

Genoa Township

2980 Dorr Road • Brighton, Michigan 48116 • (313) 227-5225

June 26, 1986

TO WHOM IT MAY CONCERN:

RE: Zoning Board of Appeal

Notice is hereby given of an appeal brought by David R. Hartman, 3750 Noble, Brighton, Section 22, before the Zoning Board of Appeals, Genoa Township, Livingston County, Michigan. Said appeal is for a variance to the front, road and side yard setback requirements to construct an attached garage.

As a land owner of property within a 300-foot radius of the affected premises, you are entitled to give testimony before the Board on matters pertaining to the above mentioned appeal.

The Zoning Board will meet to hear said case on Tuesday, July 8, 1986 at 7:30 p.m. at the Genoa Township Hall, corner of Dorr and Crooked Lake roads.

Sincerely yours,

FOR THE ZONING BOARD



James A. Stornant
Genoa Township Manager

JAS:ew

Supervisor
Robert R. Murry

Clerk
Pauline A. Skolins

Treasurer
Lucille A. Givan

Manager
James A. Stornant

Trustees
Marlene Crandall • Charles Kull • Gerald Gracie • Douglas Brown

EXHIBIT A 9 OF 10

11-22-302-045
Keller, David & Christine
3786 Noble Dr.
Brighton, MI 48116

11-22-302-050
Bozyk, James D.
3850 Highcrest Dr.
Brighton, MI 48116

11-22-302-070
Linahan, John & Jeanette
125 Brighton Lake Rd.
Brighton, MI 48116

11-22-302-071
Ussery, Virginia Hooper
10221 SW 124th St.
Miami, FL 33176

11-22-301-025
Zoziebko, Robert & Carol
6071 Berwyn St.
Dearborn Heights, MI
48127

11-21-400-002
Bloomingburg, Clare & Ruby
15119 Salem Ct.
Detroit, MI 48239

11-21-400-003
Bozyk, Jos
5000 Grover Dr.
Brighton, MI 48116

11-21-400-004
McCulloch, A C & Elaine
5151 McDowell St.
Muskegon, MI 49441

11-21-400-005
Sienicki, Leo
11351 Saint Aubin St.
Hamtramck, MI 48212

11-21-400-006
Budnick, Daniel & Janice
33046 Shrewsbury
Sterling Heights, MI
48077

11-21-400-013
Larson, Gerald
29960 Old Bedford St.
Farmington, MI 48018

DAVID HACTMAN
11-22-302-040
MACDONALD, HECTOR
3750 Noble Dr.
Brighton, MI 48116

11-22-302-002
Lackner, Harry & Ann
3824 Highcrest Dr.
Brighton, MI 48116

11-22-302-003
Williams, Laura
3836 Highcrest
Brighton, MI 48116

11-22-302-004
Gustin, Lillian
3844 Highcrest
Brighton, MI 48116

11-22-302-026
Stouffer, C P
240 Hazelhurst St. E.
Ferndale, MI 48220

11-22-302-027
Gaffka, Arnold & Julia
3762 Noble Dr.
Brighton, MI 48116

11-22-302-028
Gaffka, Arnold & Julia

11-22-302-029
Lesiw, Mykola & Natalie
12267 Moran St.
Detroit, MI 48212

11-22-302-030
Raasch, Gary
3754 Noble Dr.
Brighton, MI 48116

11-22-302-031
Macdonald, Hector
3750 Noble
Brighton MI 48116
PLEASE FORWARD

11-22-302-032
Elliot, James R.
17623 Fairway St.
Livonia, MI 48152

11-22-302-033
Ffeifer, Henry
3742 Noble Dr.
Brighton, MI 48116

11-22-302-034
McDiarmid, Donald & Mary
3738 Noble Dr.
Brighton, MI 48116

11-22-302-035
Wilk, Robert
24124 S. Duncan Dr.
Farmington Hills, MI
48024

11-22-302-036
Wilk, Robert

11-22-302-037
McDiarmid, Donald & Mary

11-22-302-038
Ffeifer, Henry

11-22-302-039
Elliot, James R.

11-22-302-041
Raasch, Gary

11-22-302-042
Lesiw, Mykola & Natalie

11-22-302-043
Gaffka, Arnold & Julia

11-22-302-044
Stouffer, C P

EXHIBIT A

10 OF 10

925 W. Grand River Ave.
 Howell, Michigan 48843
 517.546.0693
 517.546.6018 Fax
www.howellrecreation.org



GENOA TOWNSHIP STAFF & BOARD
 SORRY THAT IT HAS TAKEN
 A BIT FOR ME TO THANK
 YOU FOR YOUR ASSISTANCE
 & APPROVAL TO HOST ANOTHER
 GREAT MARSHMALLOW DROP &
 MOON GLOW EVENT AT THE
 TOWNSHIP COMPLEX. WE
 TRULY APPRECIATE YOUR
 PATIENCE AS WE HAD TO
 CANCEL, CANCEL & THEN
 RUN THE EVENT DUE TO
 WEATHER.

Paul R. [Signature]