

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
April 21, 2015, 6:30 P.M.
AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 14-25 ... A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building and a rear yard setback variance to construct a detached accessory structure.
2. 15-03 ... A request by Carol and Jack Gatewood, 1022 S. Hughes Road, a variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.
3. 15-04 ... A request by Stephen Widdick, 1612 S. Hughes Road, for a side yard setback variance in order to construct a three-season room on an existing deck.
4. 15-05 ... A request by Tim Chouinard, at Lot 20 McNamara's Sub, Parcel ID 4711-10-201-023, for a side yard setback variance to construct a single family dwelling.

Administrative Business:

1. Approval of minutes for the March 17, 2015 Zoning Board of Appeals meeting.
2. Correspondence
3. Township Board Representative Report
4. Planning Commission Representative Report
5. Zoning Official Report
6. Member Discussion
7. Adjournment

**GENOA TOWNSHIP
ZONING BOARD OF APPEALS
April 21, 2015
6:30 P.M.**

The Genoa Township Zoning Board of Appeals will hold a public hearing at Genoa Township Hall, 2911 Dorr Road, Brighton, MI, 48116 for the following variance requests at the April 21, 2015 regular meeting:

1. 15-04 ... A request by Stephen Widdick, 1612 S. Hughes Road, for a side yard setback variance in order to construct a three-season room on an existing deck.
2. 15-05 ... A request by Tim Chouinard, at Lot 20 McNamara's Sub, Parcel ID 4711-10-201-023, for a side yard setback variance to construct a single family dwelling.

Please address any written comments to the Genoa Township Zoning Board of Appeals at, 2911 Dorr Rd, Brighton, MI 48116 or via email at ron@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Genoa Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact the Genoa Township Hall at (810) 227-5225 at least seven (7) days in advance of the meeting if you need assistance.

Published: BA-LCP 4-5-15



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: April 6, 2015

RE: ZBA 14-25

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

This memo will serve to summarize the history of this case as it came before the Zoning Board of Appeals. I believe this summary is appropriate due to the lengthy time frame of this request.

The following is a timeline up to the April 21, 2015 ZBA meeting:

1. Initial application request was made for the September 16, 2014 meeting. At that meeting the applicant requested that a decision on the variance be postponed until the next meeting so the full membership of the Zoning Board of Appeals could be present.
2. At the October 21, 2014 Zoning Board of Appeals meeting the applicant requested that a decision on the application be postponed until the next meeting. The Zoning Board of Appeals granted this request.
3. At the December 9, 2014 Zoning Board of Appeals meeting the applicant requested that the decision on the request be postponed until the March 17, 2015 Zoning Board of Appeals meeting due as the full membership of the board was not present and the applicant would be out of town until March. The Zoning Board of Appeals granted the request.
4. Prior to the March 17, 2015 Zoning Board of Appeals meeting the applicant requested via e-mail that a decision on the applicant be postponed as he would not be back in town in time for the meeting. At the March 17, 2015 meeting, the Zoning Board of Appeals granted the request, but indicated that a decision would be made at the next Zoning Board of Appeals meeting and they would not entertain any further requests for postponement.

In review of this case I have provided the information last provided at the October 21, 2014 Zoning Board of Appeals meeting as well as the meeting minutes from the previous meetings this application was considered. Please note that the March 17, 2015 minutes are not a part of this packet, but are located in the administrative business portion of the packet.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 14-25 Meeting Date: 9/16/14
 PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: CHILSON POINTE LLC
Property Address: 4666 BRIGHTON Phone: 810-844-2339
Present Zoning: LDR Tax Code: 4711-33-200-027

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: CONSTRUCTION OF POLE BARN
40' X 50'

2. Intended property modifications: _____

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) _____
- b. Other (explain) _____

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information.
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 8-22-14

Signature: Carl A. Vagitt

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Ron at the township office to discuss what your next step is.

Charter Township of Genoa
ZONING BOARD OF APPEALS
October 21, 2014
CASE #14-25

PROPERTY LOCATION: 4666 Brighton Rd

PETITIONER: Chilson Pointe LLC

ZONING: LDR (Low Density Residential)

WELL AND SEPTIC INFO: Septic, Well

PETITIONERS REQUEST: 1,520 square foot variance from the maximum accessory building size (1,200 square feet), to construct a 40' X 50' (2,000 square foot) accessory building (720 square foot detached accessory building existing). 40' Rear yard setback variance

CODE REFERENCE: Table 3.04.01 (LDR Rear Yard Setback), 11.04.01(h)

STAFF COMMENTS: See Attached Staff Report

	Front	One Side	Other Side	Rear	Height	Maximum Combined Accessory Building Size
Setbacks for Zoning	N/A	N/A	N/A	60'	N/A	1,200 sf
Setbacks Requested	N/A	N/A	N/A	20'	N/A	2,720 sf
Variance Amount	N/A	N/A	N/A	40'	N/A	1,520 sf



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: October 3, 2014
RE: ZBA 14-25

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#14-25

Site Address: 4666 Brighton Rd

Parcel Number: 4711-33-200-027

Parcel Size: 2.358 Acres

Applicant: Chilson Pointe LLC, 6870 Grand River, Brighton, MI 48114

Property Owner: Same as Applicant

Information Submitted: Application, site plan

Request: Dimensional Variance

Project Description: Applicant is requesting a variance from the maximum allowable size of a detached accessory building and a rear yard setback variance.

Zoning and Existing Use: LDR (Low Density Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday October 5, 2014 and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has a 1,566 square foot single family residential home on it with a 720 square foot detached accessory building.
- The property is on septic and well.
- See Real Estate Summary and Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Summary

The applicant is proposing to construct a 2,000 square foot detached accessory building on the property at 4666 Brighton Rd. Section 11.04.01(h) of the Zoning Ordinance requires that the combined total of all accessory buildings in any residential district shall be a maximum of 1,200 for lots equal to or greater than 2 acres. There is an existing detached accessory building located on the property that is 720 square feet per assessing records. The proposed 2,000 square foot detached accessory building combined with the 720 square foot detached accessory building would result in a combined total square footage of 2,720 square feet which is 1,520 square feet larger than the maximum allowable combined total square footage for detached accessory buildings on that parcel. In order to construct this additional pole building the applicant is requesting a rear yard setback variance of 40' due to the location of a septic field on the property.

Variance Requests

The following is the portion of the zoning ordinance that the variance is being requested from:

1. **Article 11.04.01(h) Maximum Size:** The combined total of all accessory buildings in any residential district shall be a maximum of nine hundred (900) square feet in area for lots less than two (2) acres and one thousand two hundred (1,200) square feet in area for lots equal to or greater than two (2) acres. Accessory buildings and structures located on conforming lots in Agricultural and Country Estates Districts shall not be limited by size, provided all required setback are met.

Maximum Allowed: 1,200 square feet Proposed: 2,720 square feet

2. **Table 3.04.01 – LDR Rear Yard Setback:** Required 60', Proposed: 20'

Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Summary of Findings

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

- **Practical Difficulty/Substantial Justice** – Strict compliance with this provision would not unreasonably prevent the use of the property as the applicant has the ability to place detached accessory buildings which comply with the maximum size requirements of the zoning ordinance. This is the same right that is possessed by other properties outside of the Agricultural and Country Estate District. If a variance is granted for the size requirement then strict compliance with the rear yard setback would prevent the placement of this accessory building due to the location of the septic field. (Health Department permit attached).
- **Extraordinary Circumstances** – There are no exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district. The property at 4666 Brighton Rd has no physical constraints which would prohibit the placement of an accessory building which complies with the requirements of the Zoning Ordinance. The majority of the properties in the vicinity of the parcel do not have accessory buildings which exceed the maximum allowable size. The need for the variance is not due to any physical constraint of the property, and thus the need for the variance is likely to be self-created. With regards to the rear yard setback variance, if the size variance is granted then the existing location of the septic field, the presence of trees on the adjacent side of the parcel and a zoning restriction which prohibits the placement of an accessory building in the front yard would limit the applicants ability to place this accessory building on the property.
- **Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase

the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

- **Impact on Surrounding Neighborhood** – I do not believe that the variance will have a substantial negative impact on the surrounding neighborhood. The accessory building will be shielded on three sides by trees limiting any visual impacts. The applicant has proposed to access the accessory building via a shared driveway to the east then south of the parcel. Access to this accessory building for uses such as home occupations where commercial vehicles are stored, could have a negative impact on the adjacent properties.

Staff Findings of Fact

1. Strict compliance with the maximum allowable square footage for detached accessory buildings would not unreasonably prevent the use of the property. The applicant has the ability to place detached accessory buildings on the property which comply with the requirements of the Zoning Ordinance.
2. If a variance is granted for the accessory building size requirement then strict compliance with the rear yard setback would prevent the placement of this accessory building due to the location of the septic field, the presence of trees on the adjacent side of the property and the zoning ordinance provision which prohibits the placement of a detached accessory structure in the front yard.
3. Granting the requested variance would not make the property consistent with the majority of the properties in the vicinity of the parcel. In the prepared study looking at accessory building size in the vicinity only three properties out of eleven had detached accessory buildings which exceeded the maximum allowable square footage. The applicant is requesting accessory building square footage which is 816 sf more than the property with the largest amount of square footage (5209 Chilson -1,904 sf).
4. There are no exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which would prevent the applicant from complying with the Zoning Ordinance.
5. The need for the accessory building size variance is not based on any physical conditions of the property.
6. The granting of the variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
7. Granting the accessory building size variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood,

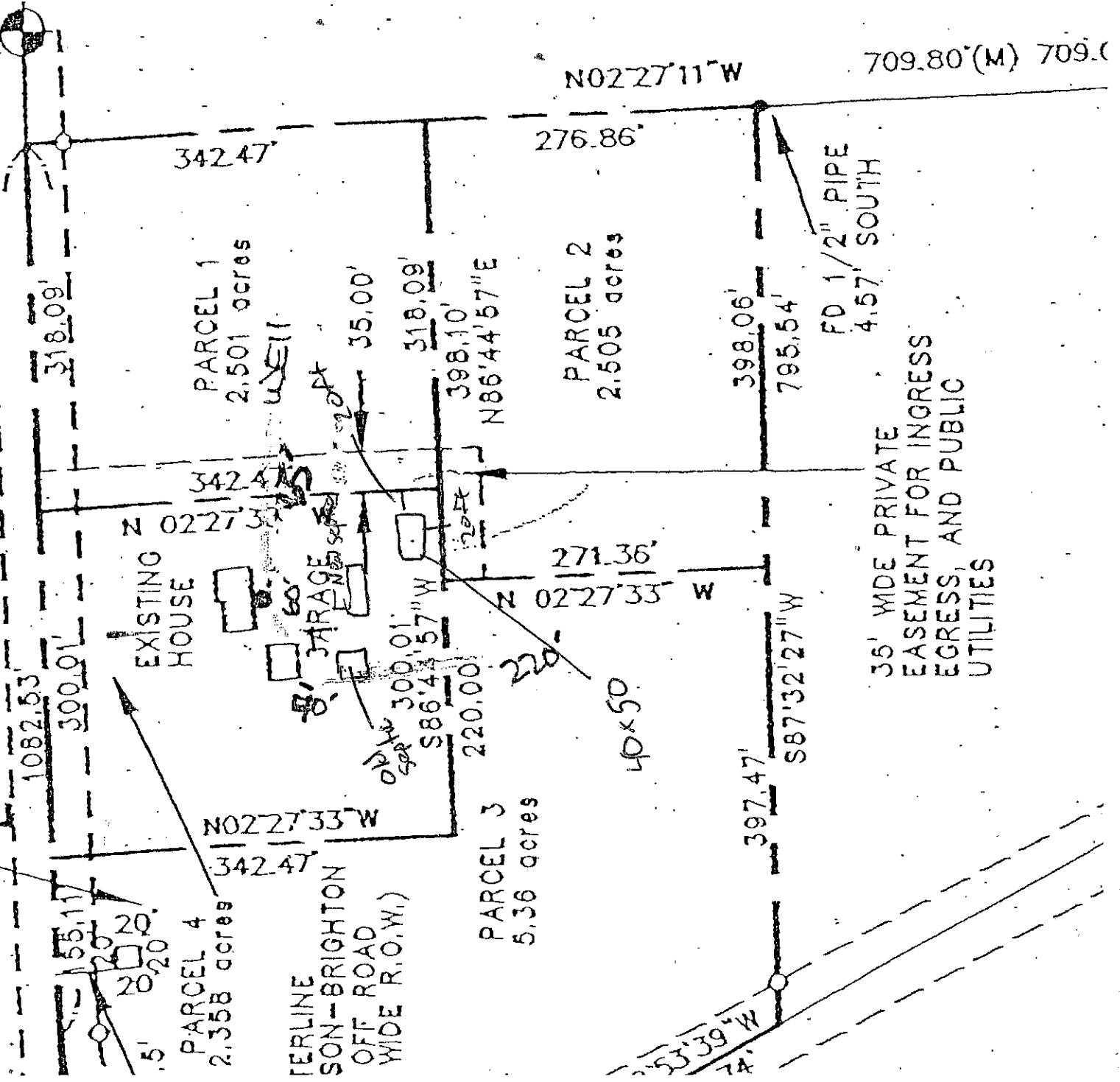
GATE OF SURVEY

Well - 65' from prop line
60' from Septic

20' AMERITECH SEPTIC - 40' from BIA
MENT RECORDED
SER 2208, PG. 220, from RD
L.C.R.

NE COR
SEC. 33
T2N-R5E
FD REMON
CORNER

BRIGHTON ROAD



TERLINE
SON-BRIGHTON
OFF ROAD
WIDE R.O.W.)

35' WIDE PRIVATE
EASEMENT FOR INGRESS
EGRESS, AND PUBLIC
UTILITIES

FD 1/2" PIPE
4.57' SOUTH

40x50

220-

155.17'
20'
20'

EXISTING
HOUSE

JARAGE

WELL

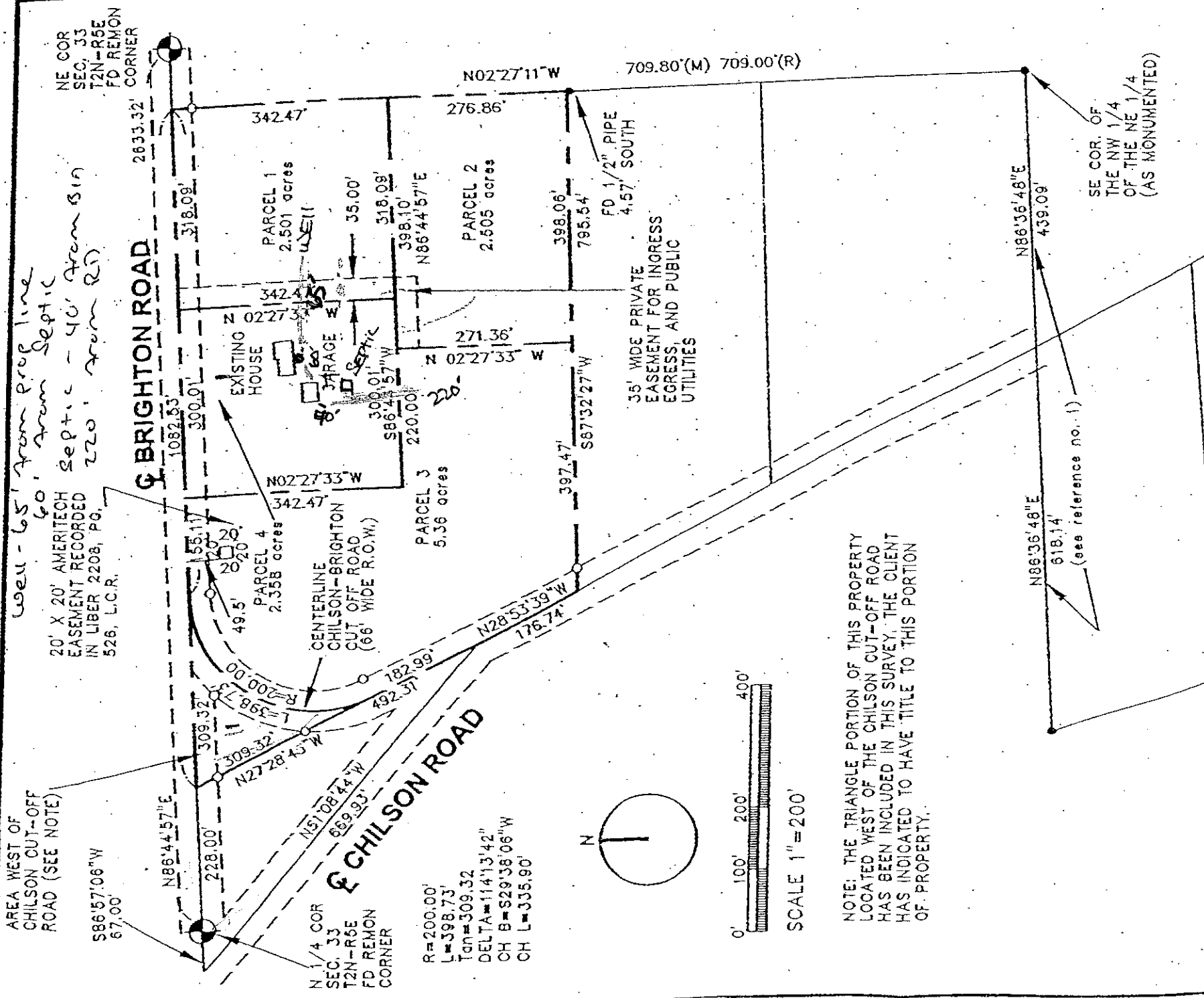
PARCEL 1
2.501 acres

PARCEL 2
2.505 acres

PARCEL 3
5.36 acres

PARCEL 4
2.358 acres

CERTIFICATE OF SURVEY



BEARINGS WERE BASED ON THE NORTH LINE OF SECTION 33 AS SHOWN ON A SURVEY BY NORMAN C. KAPIO, R.L.S. NO. 25861, AS RECORDED IN LIBER 2014, PAGE 513, LIVINGSTON COUNTY RECORDS.

Irons found at all points marked thus "●"
 Irons not at all points marked thus "○"
 The ratio of closures on the unadjusted field observations of this survey was 1/5000

I hereby certify that the requirements of Act 132, P.A. 1970 as amended in Act 24, P.A. 1988, have been met.

CLIENT	VALENTE
DESCRIPTION:	PART OF THE NE 1/4 OF SEC. 33 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

JOB NO.	99042
DATE	5-11-99
REVISED	X
OFFICE	JO
FIELD	RA/TL
SHEET	1 OF 2

ADVANTAGE
CIVIL ENGINEERING

1110 E. Grand River, Howell, MI 48843 517 546-4141 Fax 517 546-4166

MAX A. BALLEW, Authorized Agent
 L.S. No. 59073

Situated in the Township of Genoa, County of Livingston, State of Michigan:

PARCEL 4:

Part of the Northeast 1/4 of Section 33, T2N, R5E, Genoa Township, Livingston County, Michigan being described as follows: Commencing at the North 1/4 corner of said Section 33; thence along the North line of said Section 33 and centerline of Brighton Road, North 86 degrees 44' 57" East, 692.43 feet to the Point of Beginning of the Parcel to be described; thence continuing along the North line of said Section 33 and centerline of Brighton Road, North 86 degrees 44' 57" East, 300.01 feet; thence South 02 degrees 27' 33" East, 342.47 feet; thence South 86 degrees 44' 57" West, 300.01 feet; thence North 02 degrees 27' 33" West, 342.47 feet to the Point of Beginning.

4666 Brighton Rd Area Map



1 inch = 200 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate.
This is not a survey.
Source: Livingston County GIS Department
Selected Parcels Denote Parcels Used in
Accessory Building Comparison



Accessory Building Comparison

List of Properties with Detached Accessory Buildings and Their Size in the Vicinity of 4666 Brighton Rd. The information used in this comparison was acquired from the individual parcels assessing data. Please note the parcels that were not used in the evaluation did not have accessory buildings, or were located in Oak Pointe. The specific parcels used are highlighted on the area map.

5191 Chilson – 576 sf

5209 Chilson – 1200 sf + 704 sf = 1904 sf

5267 Chilson - 744 sf + 500 sf = 1244 sf

5339 Chilson – 360 sf

5281 Chilson – 520 sf

5366 Chilson – 1160 sf

5346 Chilson – 720 sf

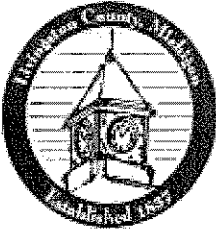
5324 Chilson – 1200 sf + 625 sf = 1825 sf

5290 Chilson – 1200 sf

5202 Chilson – 768 sf

5166 Chilson – 576 sf

4666 Brighton Rd – 720 sf (Existing), 2000 sf (Proposed) = 2720 sf



Livingston County Department of Public Health

Environmental Health Division
2300 E. Grand River Ave.
Howell, MI 48843
517.546.9858 * 517.546.9853 FAX
co.livingston.mi.us/health

PERMIT #: SEP2014-00096
APPLIED: 05/28/2014
ISSUED: 05/29/2014
EXPIRES: 05/29/2015

Sewage Permit

SITE ADDRESS: 4666 BRIGHTON RD BRIGHTON 48116
PARCEL NO.: 11-33-200-027
TOWNSHIP: Genoa Township
SUBDIVISION:
LOT/PARCEL: 1
DIRECTIONS:



OWNER

CHILSON POINTE LLC
6870 GRAND RIVER
BRIGHTON MI 48114

BUILDER



CONTRACTOR

ELDRED & SONS
2025 EULER RD
BRIGHTON MI 48114
PH1 810-229-6857

Environmental Sanitarian: Aaron S. Aumock

Issued Date: May 29, 2014

Project Description:

Information:

Type of Use: RESIDENTIAL
Type of Water: Residential
Type of Work: Replacement
of Tanks/Capacity: 1 / 1,000
Field Size: 300 Lin.Ft.
#Beds/Baths: 3 / 0
Type of Parcel: Metes and Bounds
Bsmt Plumbing:

1000 gal
+ 500 gal existing

Disp.Sys: TRENCH
Pretreatment: None
Type of Flow: Gravity
Effluent Filter: RESIDENTIAL
Sys.Elevation: Below Grade
Max.Est.Flow:

Special Requirements:

- Locate the system in the exact area of the approved soil boring # 1.
Locate and install 300 lineal ft. of trenches in area approved. BUC size 18" to 36"
Verify existing septic tank sizes and condition in writing (Min. 1000 Gal. required) otherwise install a new 1500 gal. septic tank.
Install a septic tank filter on the outlet end of the septic tank.
Install Diverter Valve (if feasible). - No D-Valve
Required inspections: 1) midcut 2) final

OK 6/3/14 AA
OK 6/4/14 AA

Environmental Sanitarian: [Signature]

Date Finalized: 6/5/14

GENOA
33
4666 BRIGHTON
SEP2014-00096

Livingston County Department of Public Health—Environmental Health Services

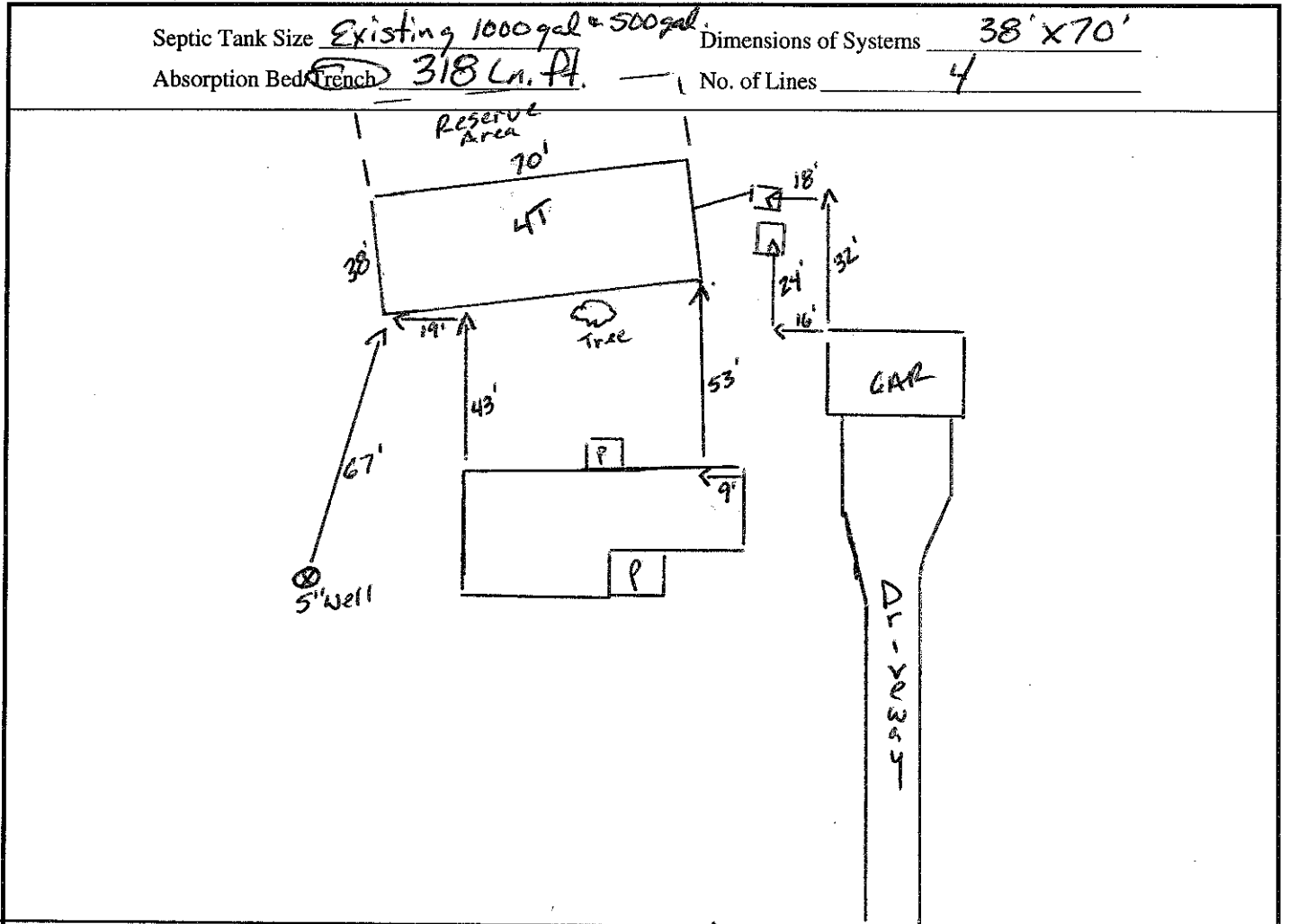
2300 E. Grand River, Suite 102, Howell, Michigan 48843-7578

Fax (517) 546-9853 • Phone (517) 546-9858

**HOMEOWNER INFORMATION SHEET FOR WATER SUPPLY
AND/OR SEWAGE DISPOSAL FACILITIES**

The following sketch represents the location of the on-site sewage disposal system and/or water well supply for the dwelling located at

Address 4666 Brighton Rd. Township Genoa Section No. 33
City Brighton State MI Zip 48116



Brighton Rd.

Well Driller _____ Sewage Disposal Contractor Eldredt Sons
Water Supply Approved _____ Sewage Disposal Facilities Approved 6/5/14
Inspecting Sanitarian [Signature] Date _____ Date _____

Please read the attached information regarding maintenance and care of the on-site sewage disposal facilities. The on-site sewage disposal system was inspected and approved in accordance with the Livingston County Sanitary Code. The water supply system was approved after reviewing the well log submitted by the well driller and receiving acceptable water quality analysis. If you did not receive a copy of your well log from the driller, please contact Environmental Health Services of the Livingston County Department of Public Health.

Since many interrelating factors contribute to the failure of a sewage disposal system and/or changes in water quality, approval cannot be considered as a guarantee by Environmental Health Services that successful operation or quality of drinking water is assured. On-site sewage disposal systems, under the best of installation conditions and practices, are in no way the equivalent of municipal sewer collection and treatment facilities.



LIVINGSTON COUNTY DEPARTMENT OF PUBLIC HEALTH

ENVIRONMENTAL HEALTH DIVISION

2300 E. Grand River, Suite 102 • Howell, Michigan 48843-7578

(517) 546-9858 • FAX (517) 546-9853

www.lchd.org

Application for Sewage Disposal and/or Water Supply Facilities For Single, Two Family, Industrial, Commercial & Multiple Family Dwellings

Commercial New Construction
 Residential Replacement

Septic Permit # SEP2014-00096
 Well Permit # _____

I. LOCATION OF BUILDING Please Print or Type

Address <u>4666 BRIGHTON RD</u>	City/Village <u>BRIGHTON</u>	Zip Code
Township <u>GENOA</u>	Tax Code # <u>11-33-20027</u>	Section# <u>28</u>
Subdivision	Lot(s) #	Parcel#
Acreage		

Directions

Residential only:

Geo Thermal Heating/Cooling: yes no Type: _____ If yes, must be included on site plan

of bedrooms 3 Den/Office proposed yes no

Is plumbing elevation lower than the septic tank making it necessary to install a sewage lift pump? yes no

Commercial only:

Business Name _____

Premise Usage _____ # of Employees/Occupants _____

Max. Est. Daily Wastewater Flow _____ How determined _____

A. OWNER

Name CARL VAGNETTI / CALSON POINT LLC Phone: () _____

Address 6870 GRAND RIVER

City/State BRIGHTON MI Zip Code 48114

B. CONTRACTOR for Sewage Disposal System

Name _____ Phone: () _____

Address FLORES + SONS

City/State _____ Zip Code _____

C. CONTRACTOR for Water Supply

Name _____ Phone: () _____

Address _____

City/State _____ Zip Code _____

D. BUILDER

Name _____ Phone: () _____

Address _____

City/State _____ Zip Code _____

I hereby apply for this permit and have authorization to do so. I understand this is a construction permit only and the sewage disposal system and/or well is not to be put into service until final written approval has been granted. I further state the information given herein is accurate and complete.

_____ Applicant's Signature _____ Date

*****For Office Use Only*****

Receipt# 322014-477 Amount \$ 291.00 Payer ETDRED
CK 8819

Livingston County Department of Public Health

SEV2014-00107

Receipt Number

Environmental Health Division

Case No.

2300 E. Grand River * Suite 102 * Howell, MI 48843

11-33-200-027

Fax (517) 546.9853 * Phone (517) 546.9858

Current Desc. #

http://co.livingston.mi.us/health

SOILS EVALUATION FOR SUB-SURFACE SEWAGE DISPOSAL SYSTEMS

Location and Directions: 4666 BRIGHTON RD BRIGHTON 48116

Applicant

CARL VAGNETTI
6870 GRAND RIVER
BRIGHTON MI 48114

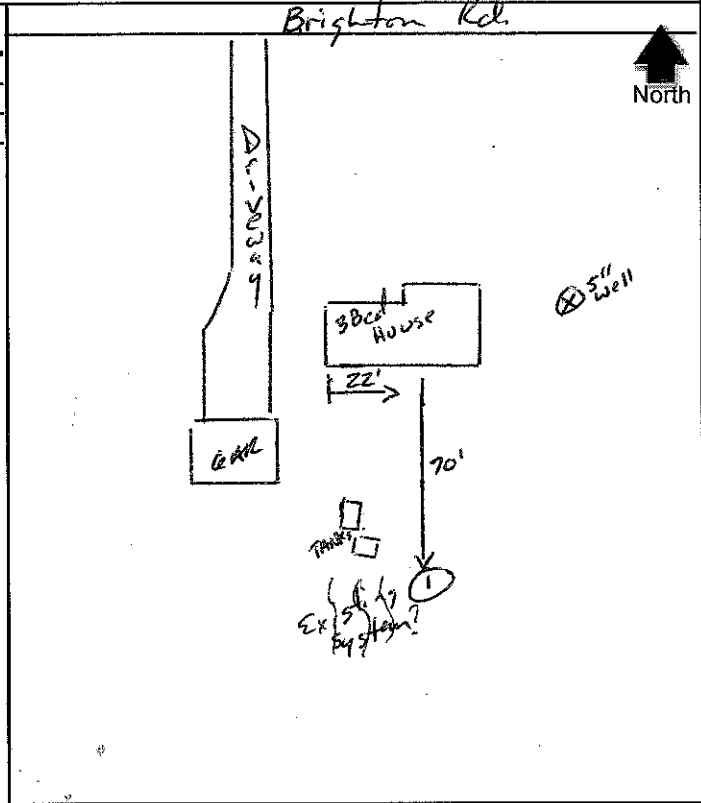
Owner

CHILSON POINTE LLC
6870 GRAND RIVER
BRIGHTON MI 48114

SOIL DESCRIPTION

Boring #	Soil Type	Desc	Beg Depth	End Depth	SWT	WT Depth
5/27/14	1 Fine Sand/Loamy Ss	TS	0.00	1.00	NONE	
	1 Fine Sand/Loamy Ss	HEA	1.00	5.00		
	1 Coarse Sand, Mediu	DRY	5.00	8.00		

SKETCH



Suitable with Special Restrictions

Within 800 feet of a potential or known source of contamination **No**

Oversize: N

Alternative Review: **No**

Comments:

Conditions

- Locate the system in the exact area of the approved soil boring # 1.
- Locate and install 300 lineal ft. of trenches in area approved. BUC size 18" to 36"
- Verify existing septic tank sizes and condition in writing (Min. 1000 Gal. required) otherwise install a new 1500 gal. septic tank.
- Install a septic tank filter on the outlet end of the septic tank.
- Install Diverter Valve (if feasible).

Met?	Date
N	5/27/14
N	5/27/14
N	5/27/14
N	5/27/14
N	5/27/14

ASA

Aaron S. Aumock

Environmental Health Representative

May 27, 2014

Date

Soils evaluation based on criteria stated in Livingston County Sanitary Code, effective January 4, 1993.

This is NOT a permit. A suitable soils rating is NOT a guarantee that a permit to construct an on-site subsurface sewage disposal system will be granted. Changing conditions that might result in permit denial are explained in more detail on the reverse side.

Location

Township

Section No.

Subdivision/Acreage

Lot, Parcel

4666 BRIGHTON RD BRIGHTON 48116

Genoa

33

1

Page 2 of 2

LIVINGSTON COUNTY DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH DIVISION
2300 E. GRAND RIVER, SUITE 102, HOWELL, MICHIGAN 48843-7578
(517) 546-9858

Open Well -
Permit
WEI 2007-
00444
Bad Beat

REQUEST FOR SOILS EVALUATION -
SUBSURFACE SEWAGE DISPOSAL SYSTEMS

Please print or type - See reverse side for directions and explanations.

Applicant

Property Owner

Name CARL Vaymetti
Address 6870 Grand River

Name Chilson Pt.
Address _____

City BRE State _____ Zip 48114
Telephone No. 810-499-7370

City _____ State _____ Zip _____
Telephone No. _____

Location of Property

Road 4666 Brighton Rd Township Genoa Sect. No. 33
Directions _____

Subdivision/Acreage _____

Parcel No. _____ Lot No. _____ Tax ID# 11-33-200-027

Nature of Intended Use

Single Family Multi-Family Residence Commercial
 Two-Family Dwelling Other (Specify) _____
Person or Firm conducting excavation Eldred
Telephone No. _____

Available Water Supply Private (Individual Wells) Public (Municipal Water)
Utilities County Drains Yes No

Attachments

Certificate of Survey _____ or Legal Description and Preliminary Sketch _____

The undersigned being duly authorized certifies the statements herein contained are true and correct and further acknowledges he/she is the property owner or is acting as an authorized representative on behalf of the property owner.

Signature tele Date 5/20/14

If mailing, allow adequate time before calling for an appointment.

FOR LIVINGSTON COUNTY DEPARTMENT OF PUBLIC HEALTH USE ONLY

Appointment (date & time) Tues. MAY 27 @ 1:30 w/ARON
Soil Evaluation I.D. No. SEV2014-107 Receipt No. N/A
Comments _____

NOTE: APPLICANT SUBJECT TO ADDITIONAL FEE FOR FAILING TO KEEP APPOINTMENT

Repair



Livingston County, Michigan
 Information Technology Department
 G.I.S. Division
 304 E. Grand River Ave., Howell, MI 48843
 517.546.3230
 co.livingston.mi.us or livingstonlive.org

Printed: 5/27/2014
 Aerial Year: 2010

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for a professional survey. This map is based on the most recent available National Map Accuracy Standards and use the most recent accurate sources available to the people of Livingston County. Boundary measurements and area calculations are approximate and should not be construed as survey measurements.

30 15 0 30 60 Feet
1 inch = 50 feet

County of Livingston

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

09/11/2014 3:50 PM

Parcel:	4711-33-200-027	Current Class:	401.401 RESIDENTIAL-IMPROVED
Owner's Name:	CHILSON POINTE LLC	Previous Class:	401.401 RESIDENTIAL-IMPROVED
Property Address:	4666 BRIGHTON RD BRIGHTON, MI 48116	Gov. Unit:	4711 GENOA CHARTER TOWNSHIP
		MAP #	V14-25
		School:	47010 BRIGHTON
		Neighborhood:	47010 47010 BRIGHTON M & B
Liber/Page:	2012R-038119	Created:	//
Split:	//	Active:	Active
Public Impr.:	None		
Topography:	REFUSE		

Mailing Address:

CHILSON POINTE LLC
6870 GRAND RIVER
BRIGHTON MI 48114

Most Recent Sale Information

Sold on 10/23/2012 for 0 by VAGNETTI CARL.

Terms of Sale: INVALID SALE

Liber/Page: 2012R-038119

Most Recent Permit Information

None Found

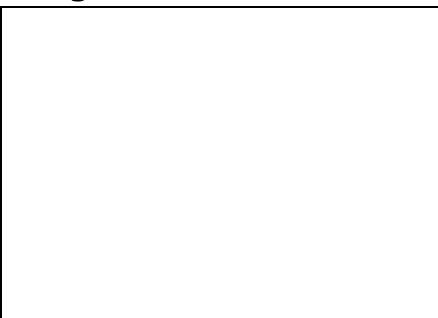
Physical Property Characteristics

2015 S.E.V.:	Tentative	2015 Taxable:	Tentative	Lot Dimensions:	
2014 S.E.V.:	69,700	2014 Taxable:	66,649	Acres:	2.36
Zoning:	LDR	Land Value:	62,160	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

of Residential Buildings: 1
Year Built: 1955
Occupancy: Single Family
Class: C+15
Style: C
Exterior: Wood Siding
% Good (Physical): 45
Heating System: Forced Air w/ Ducts
Electric - Amps Service: 0
of Bedrooms: -15
Full Baths: 1 Half Baths: 0
Floor Area: 1,566
Ground Area: 1,566
Garage Area: 720
Basement Area: 1,566
Basement Walls:
Estimated TCV: 83,487

Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
VAGNETTI CARL	CHILSON POINTE LLC	0	10/23/2012	QC	INVALID SALE	2012R-038119	BUYER	100.0		
FIRST NATIONAL BANK OF HOW	VAGNETTI CARL	110,000	12/16/2011	WD	FORECLOSURE	2011R-036315	BUYER	100.0		
PERRI, JOE JR.	FIRST NATIONAL BANK OF HOW	0	10/03/2011	QC	FORECLOSURE	2011R-028402	BUYER	0.0		
NATIONAL DEVELOPMENT CORP.	PERRI, JOE JR.	0	04/10/2000	WD	MEMO L/C	27500613	BUYER	100.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LDR	Building Permit(s)	Date	Number	Status		
4666 BRIGHTON RD		School: BRIGHTON								
		P.R.E. 0%								
Owner's Name/Address		MAP #: V14-25								
CHILSON POINTE LLC 6870 GRAND RIVER BRIGHTON MI 48114		2015 Est TCV Tentative								
		X	Improved	Vacant	Land Value Estimates for Land Table 122.BRIGHTON M & B					
Tax Description		Public Improvements		* Factors *				Value		
SEC 33 T2N R5E COMM AT N 1/4 COR TH N86*E 692.43 FT TO POB TH N86*E 300.01 FT TH S02*E 342.47 FT TH S86*W 300.01 FT TH N02*W 342.47 FT TO POB CONT. 2.358 AC M/L SPLIT FR 004 8/99 PARCEL # 4		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.		TABLE A	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value
Comments/Influences		Topography of Site		2.36 Total Acres				Total Est. Land Value =	62,160	
		Level		26361 100				62,160		
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2015	Tentative	Tentative	Tentative		Tentative
					2014	31,100	38,600	69,700		66,649C
					2013	31,100	34,500	65,600		65,600S
					2012	31,100	33,000	64,100		64,100S

The Equalizer. Copyright (c) 1999 - 2009.
Licensed To: Township of Genoa, County of Livingston, Michigan

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage									
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided 1 Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	Year Built: 0 Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 720 % Good: 0 Storage Area: 0 No Conc. Floor: 0										
X	Wood Frame		Drywall Paneled		Plaster Wood T&G																			
Building Style: C		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Class: C +15 Effec. Age: 59 Floor Area: 1566			CntyMult X 1.470		Bsmnt Garage:									
Yr Built 1955	Remodeled 0	Ex	X	Ord		Min	0 Amps Service			Total Base Cost: 136,737			X 1.470		Carport Area: Roof:									
Condition for Age: Good		Lg	X	Ord		Small	No Heating/Cooling			Total Base New : 201,004			E.C.F.											
Room List		Doors:		Solid	X	H.C.	No Heating/Cooling			Total Depr Cost: 90,452			X 0.923											
Basement 1st Floor 2nd Floor -16 Bedrooms		(5) Floors		Kitchen: Other: Other:			No./Qual. of Fixtures			Stories Exterior 1 Story Siding			Foundation Basement		Rate 71.75		Bsmnt-Adj 0.00		Heat-Adj 0.00		Size 1566		Cost 112,361	
(1) Exterior		(6) Ceilings		No. of Elec. Outlets			Ex. X Ord. Min			Other Additions/Adjustments			Rate		Size		Cost							
X	Wood/Shingle Aluminum/Vinyl Brick	(7) Excavation		Many X Ave. Few			(13) Plumbing			(14) Water/Sewer			Well, 200 Feet 1000 Gal Septic		4975.00 3085.00		1 1		4,975 3,085					
Insulation		Basement: 1566 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		(8) Basement			Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(15) Built-Ins & Fireplaces			Fireplace: Exterior 1 Story		3875.00		1		3,875					
(2) Windows		Many Avg. X Large Avg. Small		(9) Basement Finish			Recreation SF Living SF Walkout Doors No Floor SF			(16) Garages			Class:C Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 17.28		720		12,442							
X	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(10) Floor Support			Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic			Phy/Ab.Phy/Func/Econ/Comb.%Good= 45/100/100/100/45.0, ECF (47010 BRIGHTON M & B)			Depr.Cost = 0.923 => TCV of Bldg: 1 =		90,452		83,487							
(3) Roof		Gable X Gambrel Hip Mansard Flat Shed		Joists: Unsupported Len: Cntr.Sup:			Lump Sum Items:																	
Chimney: Brick																								

*** Information herein deemed reliable but not guaranteed***

Ron Akers

From: Stacey Kroeyr <skroeyr@yahoo.com>
Sent: Tuesday, September 16, 2014 3:22 PM
To: Ron Akers
Subject: Zoning Board of Appeals - September 16, 2014 14-25 4666 Brighton Rd., variance

We the homeowners at 4688 and 4700 are going to be expressing some concerns at tonight's meeting. Per my phone conversation with you on August 27, 2014, I expressed the concern of the homeowners (renters) at 4666 Brighton Rd., Brighton, MI

The man and his wife were cutting down our trees.

They have been discreetly cutting down trees and burning since last fall, every day, including if it were raining or snowing. The man had trespassed in front of our house, shooting his gun into the wooded area to the west of our property. My granddaughter and I observed him and we were scared. We should have called the sheriff, but didn't want any revenge circumstances.

The property lines and private road will be addressed.

The building or pole barn and use of the private road will be addressed.

The building has to be so many feet away from our property lines.

What is outlined in pink tape is on our property line.

Constructing a pole barn would be infringing on the sale or possible sales of the existing homes on 4688 and 4700 Brighton Rd.

Why don't they build where the existing garage is?

Mr. Perri has called Mr. LeFevere several times to get him to sign off on the road usage.

We feel Mr. Perri's plans and Mr. Vagnetti's plans for Chilson Point LLC, will be for usage of the road and construction of other properties.

Besides, the place of construction is a rental. Neither one of the property owners resides there.

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
SEPTEMBER 16, 2014**

MINUTES

Call to Order: Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals present were as follows: Barbara Figurski, Jean Ledford, Jerry Poissant, and Chairman Dhaenens. Absent was Marianne McCreary. Also present was Township staff member, Ron Akers. There were 7 members of the public present.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: **Moved** by Figurski, supported by Poissant to remove case #14-15 and #14-22 at the request of the applicants and add the addition of election of a Vice-Chairman as Item #8 under Administrative business. **Motion carried.**

Call to the Public: (Please note: the Board will not begin any new business after 10:00 p.m.)

14-24...A request by Rod and Tamara Evans, 4174 Highcrest Drive, for a shoreline setback variance and front yard setback variance for the construction of a new home.

Mr. Rod Evans was present for the petitioner. Mr. Evans demonstrated that by placing his home closer to the road would maintain his neighbor's views. It is a 3 bedroom 2 story home with an attached garage and the setback from the front would allow for ample parking on the lot.

Ledford questioned if gutters and downspouts were included on the drawing.

A call to the public was made with no response.

Moved by Ledford, supported by Figurski to approve case #14-24 for a 4174 Highcrest for a 7.25 shoreline setback variance and a 16.25 front yard setback variance to construct a single family home with attached garage.

The practical difficulty and the extraordinary circumstances are the building envelope is limited due to the typography of the lot, narrowness of the lot and the placement of the well and sewer. The shoreline setback limits the available building envelope. According to the site plan the location of the house will be consistent with the site lines of the adjacent properties. Conditioned upon the structure being guttered with downspouts and the water runoff to be directed to the lake. **Motion carried.**

14-25...A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building.

Joe Perri and Carl Vagnetti, Chilson Pointe LLC., was present for the petitioner. Mr. Perri stated that the substantial justice to the property is due to the fact that other properties in the Low Density Residential Zoning District have detached accessory structures which exceed the maximum allowable size also Mr. Perri provided pictures of detached accessory structures that exceeded the allowance within Low Density Residential District in the Township including structures along Kellogg and Chilson Road.

The Board had concerns about the variance request being self-created. The Board also questioned if emergency vehicles could access the parcel and if there will be any storage of hazardous materials in the proposed accessory building.

Ledford asked if the title works states that the parcel has access off of the easement to the east and south of the parcel.

A call to the public was made with the following response:

Mark LeFevere- 4700 Brighton Road, his property is adjacent to 4666 Brighton Road and that Mr. Perri does not have access to the easement between their properties. He originally had intended on building homes back on that lot and did not start the project.

Don Kroeyer- 4688 Brighton Road stated that he had a few concerns which were as follows: the easement was never put in for the 5.26 acres. The property at 4666 Brighton does not have access to the easement. He also stated that Mr. Perri does not live at the property. They have had problems with the renters by not taking care of the place. There is already a detached garage on the site, he could add to that. The L-shaped part of the easement is on my property. The tenant is tearing down trees on my property despite the property line being surveyed twice. The easement was dropped when the subdivision could not use the easement. He

showed photos to the board of the staked area for the proposed structure and where his property line is.

Stacy Kroeyer- 4688 Brighton Road- stated that she has an issue with the tenant that has been burning and cutting down trees. They have trespassed with a gun on her property. The petitioner wants to build a Wal-Greens or whatever.

Mr. Perri requested that the decision on the variance request be postponed until the full membership of the Board can be present.

Moved by Figurski, supported by Ledford, to table until the October 21, 2014 Zoning Board of Appeals meeting per the petitioner's request. **Motion carried.**

Administrative Business:

1. **Approval of Minutes:** **Moved** by Figurski, supported by Ledford, to approve the minutes with typographical corrections. **Motion carried.**
2. **2013 Annual Report Executive Summary:** The Board members stated that maybe the fee for residents for the Zoning Board of Appeals meeting needs to be reviewed.
3. **Correspondence:** There was no correspondence to report.
4. **Township Board Representative Report:** There was no report given.
5. **Planning Commission Representative Report:** At the last Planning Commission meeting, Timbergreen Subdivision was approved an amendment to their PUD.
6. **Zoning Official Report:** Akers reported that he is busy with code enforcement.
7. **Member Discussion:** The Board Members stated that they would like to have I.D. tags for visiting applicant's sites.
8. **Election of Vice-President:** It was decided to postpone election until there is a full quorum.
9. **Adjournment:** **Moved** by Ledford, supported Poissant to adjourn the Zoning Board of Appeals meeting at 7:45 p.m. **Motion carried.**

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
OCTOBER 21, 2014**

MINUTES

Call to Order: Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals present were as follows: Barbara Figurski, Jean Ledford, Jerry Poissant, Marianne McCreary and Chairman Dhaenens. Also present was Township staff member, Ron Akers. There were 12 members of the public present.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: **Moved** by McCreary, supported by Poissant to approve the agenda as submitted. **Motion carried.**

Call to the Public: (Please note: the Board will not begin any new business after 10:00 p.m.) with no response.

14-25...A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building.

A call to the public was made with no response.

Moved by Figurski, supported by Ledford, to table until the November 11th, 2014 Zoning Board of Appeals meeting and if the meeting is canceled then the December 9th, 2014 meeting per the petitioner's request. **Motion carried.**

14-26...A request by Donald Davis, 3907 Homestead, for a front yard setback variance to construct a second story addition on a single family home.

Dennis Dinser from Arcadian Design, was present for the petitioner. They are proposing to turn a one bedroom home into a three bedroom by constructing a second story on the existing home which would be consistent with the neighboring properties. It was stated that the existing detached accessory structure will remain on the property.

A call to the public was made with an email that was received from Ron and Anna Rea of 3925 Homestead stating that they are in agreement for the proposed front yard setback variance.

Michael McLean, 3913 Homestead, stated that he is the next door neighbor and they are in full agreement with what Mr. Davis has planned for the addition.

Moved by Ledford, supported by Figurski to approve case #14-26, 3907 Homestead, and a 10'2" front yard variance to construct a second floor addition on the existing single family home. The practical difficulty is the small building envelope created by the existing placement of the home, it is legally non-conforming and the need is not self-created. Granting the variance will make it consistent with the neighboring properties. **Motion carried.**

14-27...A request by Todd and Julie Hutchins, 3350 S. Latson Road, for a variance to allow an accessory building to be located on a parcel without a principal building.

Todd and Julie Hutchins were present for the petitioner. They would like to rezone their property for a split and they spoke with staff in regards to applying for a variance to have the pole barn on a separate lot. They would like to build another house on the back part of the property. Along the south end of the property they have been approved for a driveway permit by the Livingston County Road Commission. A perk test has not been conducted.

The adjacent parcels located on the same side of the road in the surrounding area are zoned Rural Residential which allows 2 acre lots. They are looking to start within one year. McCreary stated that the petitioner should look into the lien holder conditions.

The Board is concerned about the number of outstanding issues that the owner has to address in regards to the property prior to splitting property

A call to the public was made with Charlie Comer, owner of the 40 acre property to the west and that property does perk. He would like to make sure that the new home would be set back from his property.

Moved by Ledford, supported by Poissant, to approve case# 14-27, 3350 S. Latson Road for a variance to allow for an accessory building to be located on a parcel with a principal building. Conditioned upon the rezoning of the 4.42 acres from Country Estates to Rural Residential to be approved by the Township Board and if the building of the single family home does not take place within a year of the property being split the applicant must demolish the accessory structures at the owner's expense. **Motion carried as follows: Ayes- Poissant, Figurski, Dhaenens and Ledford. Nays-McCreary.**

14-28...A request by Scott and Marilyn Kiefer, 3695 Highcrest, for a front yard setback variance and a side yard setback variance to building an addition to an existing home.

Dennis Dinser, Arcadian Design was present for the petitioner. This parcel was brought before the board in August and there was an error on the drawing. A front yard variance is needed of 5 feet and the side yard variance has been reduced from 3 feet to 11 inches.

The Board stated that they have concerns about the drainage on the property.

A call to the public was made by Al Sharp-3665 Highcrest stated the he has lived here since 1965. This variance will improve the neighborhood and the parking on Highcrest. The applicant is looking for an 11" variance not a 3' variance that was previously requested. It will be a benefit having the garage setback and the drainage taken care of. The Zoning Board of Appeals has approved side yard variances of 3 feet or less. Mr. Sharp is in support of this petition.

Moved by McCreary, supported by Poissant, to approve case #14-28, 3695 Highcrest, for a 5 foot front yard variance with a 30 foot setback and an 11" side yard variance with a 9'1" setback to build an addition to an existing single family home. The finding of fact of practical difficulty is the current location of the home itself and the grade of the lot. The grade and typography of the lot does not allow the addition to take place any other place on the lot. This does not impede on public safety and welfare. This is improving the surrounding neighborhood. The drain runoff will a high priority and address any drainage issues properly. The addition is to be guttered and with appropriate downspouts. **Motion carried.**

14-29...A request by Steven C. Liedel and Janine K. Fogg, Parcel ID 4711-28-401-023, Oak Tree Court, Lot 23, for a rear yard setback variance to build a new home.

Ron Godair, Godair Builders and Steven Liedel, homeowner, were present for the petitioner. The house has been gifted back and the lot is irregular. It is consistent with the houses in the area. The houses adjacent to the north and to the south-east will benefit by moving the house toward the rear of the property. The rear yard also backs up to Brighton Road.

A call to the public was made with no response.

Moved by Ledford, supported by Figurski, to approve case #14-29, lot 23 Oak Tree Court located in Oak Pointe for a rear yard setback variance of 9'9" to construct a single family home. The practical difficulty is the location of the tree to the east and the utility easement to the north. Granting of this variance will make the property consistent with the surrounding area and consistent with Oak Tree Court. **Motion carried.**

Administrative Business:

1. **Approval of Minutes:** **Moved** by Figurski, supported by Poissant, to approve the September 16, 2014 Zoning Board of Appeals minutes. **Motion carried with McCreary abstaining.**
2. **2013 Annual Report Executive Summary:** Akers stated that he addressed what was discussed at the last meeting and the next step would be placing the Summary in correspondence for the Planning Commission and Township Board. **Moved** by McCreary, supported by Figurski to approve the Executive Summary and to forward it to the appropriate committees for review. **Motion carried.**

3. **Election of Vice-Chairperson: Moved** by Figurski, supported by Ledford to appoint McCreary as Vice-Chairperson until January. **Motion carried.**
4. **Correspondence:** There was no correspondence to report.
5. **Township Board Representative Report:** Ledford reported that the Township Board had its first reading of the Noxious Weed Ordinance.
6. **Planning Commission Representative Report:** Figurski reported that Chem-Trend was approved to allow them to improve their façade on the property located on Grand River at the October Planning Commission meeting.
7. **Zoning Official Report:** Akers reported that LSL Consultants were chosen to update the Township Zoning Ordinance. They are looking at making the ordinance more user friendly with GIS links and web links. One of the changes that they are looking at changing is the front yard setback in the LRR district. There was discussion of reducing the side yard setback on LRR properties. Akers will be keeping the Zoning Board of Appeals in the loop on the discussion. Akers stated that the Township has advertised for a part-time Ordinance Enforcement Officer.
8. **Member Discussion:** The November 11, 2014 Zoning Board of Appeals meeting has been canceled due to lack of agenda items.
9. **Adjournment: Moved** by Ledford, supported by Figurski to adjourn the Zoning Board of Appeals meeting at 8:24 p.m. **Motion carried.**

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
DECEMBER 9, 2014
6:30 P.M.

MINUTES

Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:32 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were as follows: Jerry Poissant, Marianne McCreary and Barbara Figurski. Also present was Township staff member Ron Akers. There were 12 persons in the audience.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: **Moved** by Poissant, seconded by Figurski to approve the agenda as presented. **Motion passed.**

Call to the Public: was made with no response. (*Please Note: The Board will not begin any new business after 10:00 p.m.*)

14-25 ... A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building to construct a detached accessory structure.

Mr. Joe Perri, Co-owner of Chilson Pointe LLC., was present for the petitioner. Mr. Perri informed the Board that he does have access to the parcel from a shared driveway according to the survey and title work. Mr. Perri also stated that due to the missing board members he would like to postpone the Board's decision until the March Zoning Board of Appeals meeting.

A call to the public was made with the following responses: Don Kroeyer, 4688 Brighton Road, stated that he is upset about the last minute tabling of this item. The access that Mr. Perri is referring to is for parcels 3 and 4. Mr. Perri is requesting the variance on parcel 1.

Stacy Kroeyer, 4688 Brighton Road, stated that Mr. Perri is selling the property for a strip mall. They have been taking care of the road for 15 years and plowing it. Mr. Perri has heavy equipment and she has young children. The tenants have been cutting and burning wood all year.

Moved by Poissant, supported by Figurski, to table case #14-25 until March 17th, 2015 Zoning Board of Appeals meeting at the petitioner's request. **Motion carried.**

14-30 ... A request by James Harmon, 4289 Sweet Road, for a variance from the maximum allowable size of a detached accessory building.

Mr. James Harmon was present for the petitioner. Mr. Harmon stated that he would like to construct an addition to store equipment and camper. He stated that the current size of his existing detached structure is 1200 sq.ft.

A call to the public was made with the following response: Ben Marhofer, 4179 Sweet Road, he is in support of this variance. He stated that it would make the neighborhood look better with the equipment stored in the structure.

Moved by Figurski, supported by Poissant to table case #14-30 until the January 13th, 2015 Zoning Board of Appeals meeting at the petitioner's request. **Motion carried.**

14-31 ... A request by Steve Schenck, Section 4, 4072 E. Grand River, for a variance to permit a temporary sign, which exceeds the allowable period of time. A temporary sign is allowed to be permitted and to exceed the number of times a business is allowed to use a temporary sign during its stay at the same location. Other street addresses at this parcel include: 4050, 4072, 4080, 4084, 4092, 4096, 4104, 4116, 4128, 4132, 4140, 4144, 4148, and 4160.

Mr. Steve Schenck, Owner of Liberty Tax Service was present for the petitioner. Mr. Schenck stated that 56% of their business is seen by the end of February. They are limited by signage at their location.

Moved by Poissant, supported by Figurski, to approve case# 14-31 for a temporary signage variance due to the unique nature of the business's seasonal period and the need to be more visible. Starting January 16th, 2015 thru February 8th, 2015 and resuming April 6th, 2015 thru April 15th, 2015 for a total of 35 days. **Motion carried.**

14-32 ... A request by Christian and Damian Karch, 5400 Brady Road, for a side yard setback variance to construct an addition onto an existing detached accessory building.

Mr. Christian and Mr. Damian Karch were present for the petitioner. Mr. Karch stated that they would like to construct an addition on to their existing detached accessory building. They would like to preserve the mature trees that are located on the lot. The property had been surveyed for easements.

Moved by Poissant, supported by Figurski, to approve case# 14-32 for a 13.5 foot side yard setback with a 26.5 foot variance to construct a 2100 sq. ft. addition due to the limitations on the property to building in a different location. **Motion carried.**

Administrative Business:

1. **Approval of minutes: moved** by Poissant, supported by Figurski, to approve the Oct. 21, 2014 Zoning Board of Appeals meeting minutes with typographical corrections. **Motion carried.**
2. **Correspondence:** Akers stated that the Board received information regarding ZBA training in their packets and to let him know if they are interested in attending.
3. **Township Board Representative Report:** Ledford was absent.
4. **Planning Commission Representative Report:** Figurski gave an overview of the November and December Planning Commission meetings.
5. **Zoning Official Report:** Akers stated that code enforcement is up to date and the Township has hired a part-time code enforcement officer who will start in January.
6. **Member Discussion:** Discussion was held regarding responsibility to making decisions in the public interest.
7. **Adjournment: moved** by Figurski, supported by Poissant, to adjourn the Zoning Board of Appeals meeting at 7:54 p.m. **Motion carried.**



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: April 6, 2015
RE: ZBA 15-03

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Please find attached e-mail correspondence with the applicant's representative Mr. Manguran which confirms the elimination of the need for the four (4) requested variances. As the Zoning Board of Appeals postponed decision on the application until this meeting the application will need to be formally removed from the agenda.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Ron Akers

From: ted maguran <tmaguran@att.net>
Sent: Monday, March 30, 2015 12:36 PM
To: Ron Akers
Subject: Fw: 14-396 GATEWOOD
Attachments: 14-396_PPLAN.pdf

Hi Ron,

Please review the attached revised site plan for the proposed new home construction for the applicant, Carol & Jack Gatewood, 1022 S. Hughes Road, Howell, MI 48843.

Note the following changes regarding variance issues:

1. Eliminate fireplace and chimney from west side of new house. NO VARIANCE NEEDED.
2. Reduce projection of raised porch, on west side of new house, to 3'-0". NO VARIANCE NEEDED.
3. Reduce depth of one-car attached garage, on front/north side of new house. New house footprint to start at south line of sewer easement and end at the required shoreline setback of 116'-6". NO VARIANCE NEEDED.
4. Reduce overall building height with roof pitch, second floor ceiling height, crawl space height/excavation and house front/north grade revisions to satisfy the maximum building height requirement of 25'-0". NO VARIANCE NEEDED.

The site plan shows that the existing outside grade, across the front/north side of the new house, will be raised by 1'-0" (12") in the form of a built-up/elevated flower bed/landscaping terrace that will extend across and away from the house to satisfy a complementary entry/landscaping theme installation. The building height of the new house, when measured from the new house front grade, will be 25'-0". NO VARIANCE NEEDED.

Please call me at (313) 363-3000 so that we can discuss your response to the above changes.

Thanks,

Ted

On Monday, March 30, 2015 10:15 AM, Chris Fergus <chrisf@bosseng.com> wrote:

Good morning Ted,

Attached is the revised plot plan for the Gatewood project based on our conversation last week. Once you have had an opportunity to review, let me know how many hard copies you want and when you would like to pick them up.

Chris

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 15-04 Meeting Date: April 21, 2018

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: STEPHEN RAYMOND WOODICK
Property Address: 1612 S. HUGHES Phone: 734-664-3023
Present Zoning: LRR Tax Code: 11-11-302-003

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: SIDE YARD SET BACK
2. Intended property modifications: ADD 3 SEASON ROOM TO EXISTING DECK

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) NARROW OF LOT

b. Other (explain) _____

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information.
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 2-24-15

Signature: Stephen Raymond Woodick

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Ron at the township office to discuss what your next step is.

Charter Township of Genoa
ZONING BOARD OF APPEALS
April 21, 2015
CASE #15-04

PROPERTY LOCATION: 1612 S. Hughes

PETITIONER: Stephen Raymond Widdick, 1612 S. Hughes, Brighton, MI 48114

ZONING: LRR (Lake Resort Residential District)

WELL AND SEPTIC INFO: Sewer, Well

PETITIONERS REQUEST: Request for a side yard setback variance in order to construct a three-season room on an existing deck.

CODE REFERENCE: Section 3.04.01 (Side yard setback)

STAFF COMMENTS: See Attached Staff Report

	Front	One Side	Other Side	Shoreline	Height	-
Required Setbacks	35'	10'	10'	160'	25'	-
Setbacks Requested	N/A	2'	+20'	165'	11'	-
Variance Amount	N/A	8'	N/A	N/A	N/A	-



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: April 6, 2015
RE: ZBA 15-04

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#15-04

Site Address: 1612 S. Hughes Rd

Parcel Number: 4711-11-302-003

Parcel Size: 0.15 Acres

Applicant: Stephen Raymond Widdick, 1612 S. Hughes Rd, Brighton, MI 48114

Property Owner: Same as Applicant

Information Submitted: Application, site plan, building plans

Request: Dimensional Variances

Project Description: Applicant is requesting a side yard setback variance in order to construct a three-season room on an existing deck.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday April 5, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling (1,356 square feet) built in 1962 and a garage/shed (216 square feet).
- The single family dwelling is connected to public sewer and has an existing well.
- The property is adjacent to an access lot which provides lake access to non-riparian property owners.
- The owner has previously been granted two (2) variances to construct additions onto the existing house. (Cases #12-15 & #11-16)
- See Real Estate Summary and Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Summary

The proposed project is to construct a three season room (7' X 11', 77 square feet) on an existing deck. The existing deck is located 2' from the east property line and this addition would expand the area of the house within the required side yard setback. Due to this the applicant has requested a side yard setback variance. The applicant has previously requested and obtained variances in the past for additions to the existing building. In 2011 he received a side yard setback variance from the east property line to construct an addition and in 2012 he received a side yard setback variance from the west property line to also construct an addition. The proposed three season room would maintain the same setback as the 2011 variance approval, but it would extend further toward the shoreline.



Variance Requests

The following is the section of the zoning ordinance that the variance are being requested from:

Table 3.04.01: Required Side Yard Setback: 10' Proposed Side Yard Setback: 2'

Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) **Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) **Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) **Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) **Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Summary of Findings

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

(a) Practical Difficulty/Substantial Justice – Strict compliance with the side yard setback requirements would prevent the applicant from constructing the requested addition due to the existing location of the home on the parcel. The existing home is located 2' from the east property line and previous variances have been granted to expand this home within the east side yard setback (#11-16). The previous requests cited narrow lot size as a reason for granting the variance request. The lot is 52' wide.

(b) Extraordinary Circumstances – It does not appear lots within the general vicinity conform to the required side yard setback requirements. Several of these "cottages" were built prior to the enactment of zoning regulations within the Township. There are many lots that have homes which are closer than 5' to the property line. Using the same logic as previous variance approvals for this property, the need for the variance was due to the narrowness of the lot.

(c) Public Safety and Welfare – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the

inhabitants of the Township of Genoa. The east property line is adjacent to an access lot which is 10' wide. Due to the lots nature as an access lot, there will likely be no construction. This should ensure a sufficient distance between buildings on adjacent parcels is maintained.

(d) Impact on Surrounding Neighborhood – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Staff Findings of Fact

1. Strict application of the side yard setback variance would prevent the applicant from constructing an addition to the existing building.
2. The extraordinary or exceptional circumstances applicable to the property, based on prior variance approvals, are the narrowness of the parcel and the existing location of the house which was constructed prior to the enactment of a Zoning Ordinance in Genoa Township.
3. Based on prior variance approvals, the need for the variance is due to the narrowness of the parcel and the location of the existing house on the property.
4. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township. The east property line is adjacent to a 10' access lot which will provide sufficient separation between residential buildings.
5. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. Three season rooms are a common element of homes within the LRR zoning district.

MORTGAGE SURVEY

APPROXIMATE LOCATION OF EXISTING WATER'S EDGE.

LAKE CHEMUNG

APPROXIMATE LOCATION OF WOOD DECK

Certified to: MICHIGAN UNITED MORTGAGE, LLC

Applicant: STEPHEN RAYMOND WIDDICK

Property Description:

Lot 15; SUPERVISOR'S PLAT OF BEACON SHORES NO. 2, part of the N.W. 1/4 of the S.W. 1/4 of Section 11, T.2 N., R.5 E., Genoa Township, Livingston County, Michigan, as recorded in Liber 4 of Plats, Page 29 of Livingston County Records

GRADER PUMP

45.0
PLATTED LOT LINE



LOT 16

LOT 15

LOT 14

NOTE: THIS PROPERTY MAY BE SUBJECT TO AND/OR INCLUDE THE RIPARIAN RIGHTS ASSOCIATED WITH LAKE CHEMUNG.

NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE THE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, TO DETERMINE THE EXACT AMOUNT OF ENCRoACHMENT AND/OR TO DETERMINE THE EXACT LOCATION OF FENCES.

NOTE: CONC. ENCR. FROM SUBJECT PROPERTY INTO S. HUGES ROAD AS SHOWN

ASPH.PAVT

S. HUGHES ROAD 66' WD.

CERTIFICATE: We hereby certify that we have surveyed the above-described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned applicants, mortgagor, and that the buildings located thereon do not encroach on the adjoining property, nor do the buildings on the adjoining property encroach upon the property heretofore described, except as shown. This survey is not to be used for the purpose of establishing property lines, nor for construction purposes, no stakes having been set at any of the boundary corners.

GENOA TOWNSHIP

JUN 11 2012

THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.

Stephen Raymond Widdick

JOB NO: 11-02420

SCALE: 1"=30'

DATE: 07/25/11

DR BY: J.P.

KEM-TEC Professional Engineers & Surveyors

Eastpointe (800) 295.7222 Detroit (313) 758.0677 Ann Arbor (734) 994.0800 Grand Blanc (888) 694.0001
 FAX: (586) 772.4048 FAX: (586) 772.4048 FAX: (734) 994.0667 FAX: (810) 694.9955

www.kemtecsurvey.com

MORTGAGE SURVEY

APPROXIMATE LOCATION OF EXISTING WATER'S EDGE.

LAKE CHEMUNG

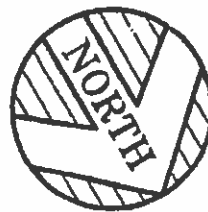
APPROXIMATE LOCATION OF WOOD DECK

Certified to: MICHIGAN UNITED MORTGAGE, LLC

Applicant: STEPHEN RAYMOND WIDDICK

Property Description:

Lot 15: SUPERVISOR'S PLAT OF BEACON SHORES NO. 2, part of the N.W. 1/4 of the S.W. 1/4 of Section 11, T.2 N., R.5 E., Genoa Township, Livingston County, Michigan, as recorded in Liber 4 of Plats, Page 29 of Livingston County Records.

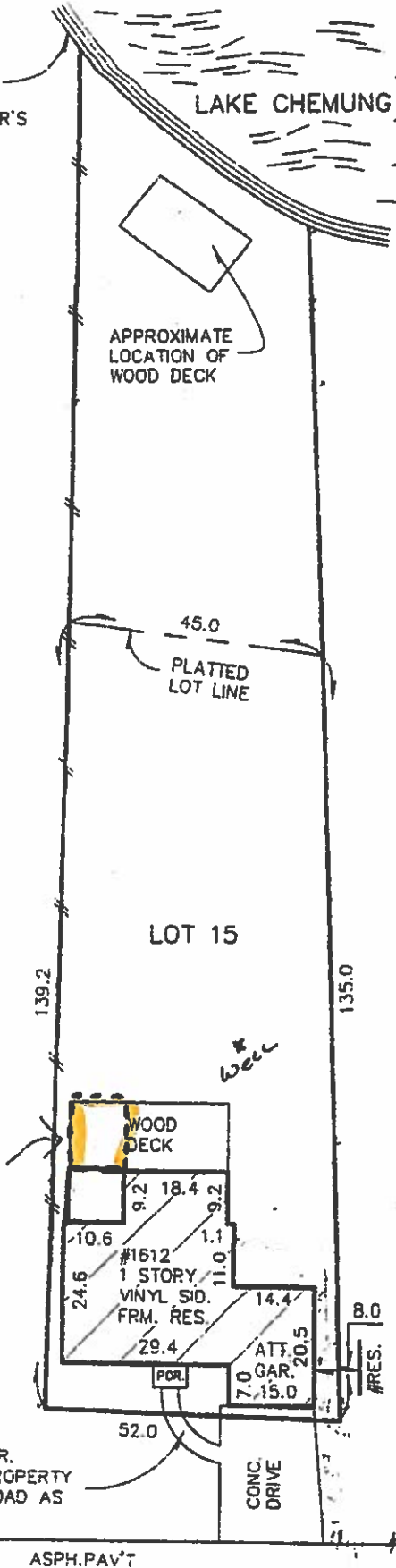


LOT 16

LOT 15

LOT 14

2' Setback



NOTE: THIS PROPERTY MAY BE SUBJECT TO AND/OR INCLUDE THE RIPARIAN RIGHTS ASSOCIATED WITH LAKE CHEMUNG

NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE THE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, TO DETERMINE THE EXACT AMOUNT OF ENCROACHMENT AND/OR TO DETERMINE THE EXACT LOCATION OF FENCES.

NOTE: CONC. ENCR. FROM SUBJECT PROPERTY INTO S. HUGHES ROAD AS SHOWN

S. HUGHES ROAD 66' WD.

CERTIFICATE: We hereby certify that we have surveyed the above-described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned



not encroach on the adjoining property, nor do the buildings on the adjoining property encroach upon the property heretofore described, except as shown. This survey is not to be used for the purpose of establishing property lines, nor for construction purposes, no stakes having been set at any of the boundary corners.

THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.



JOB NO: 11-02420 SCALE: 1"=30'
DATE: 07/25/11 DR BY: J.P.

 **KEM-TEC** Professional Engineers & Surveyors

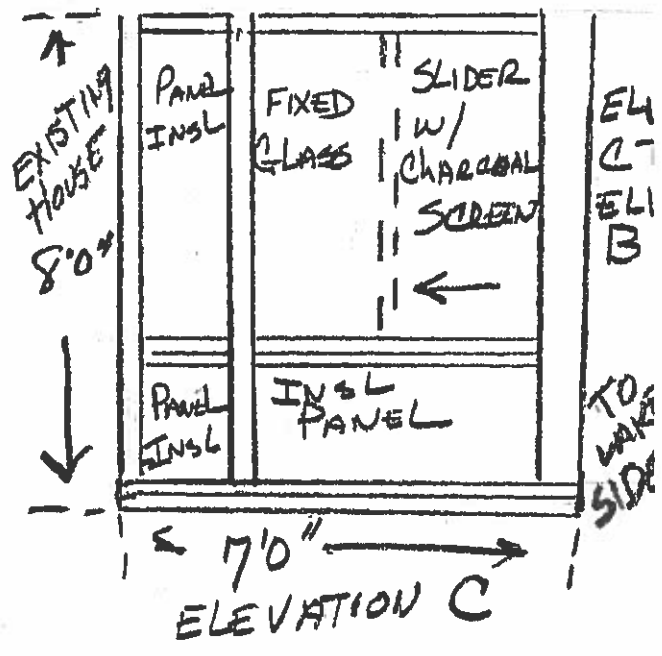
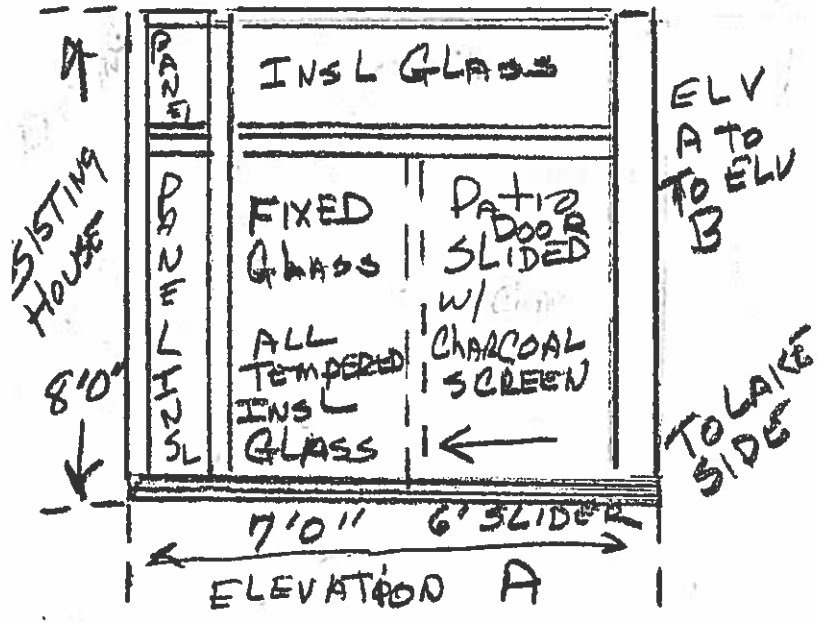
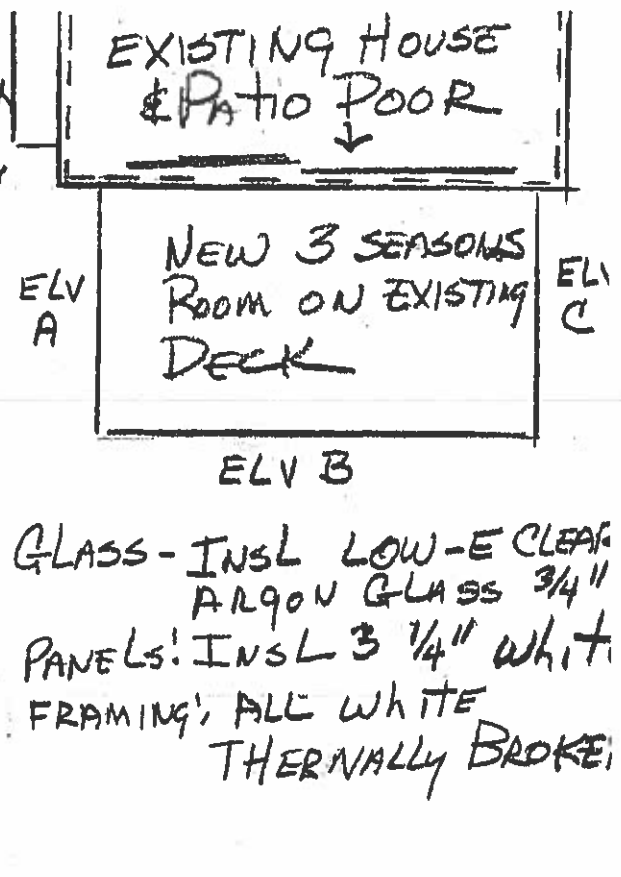
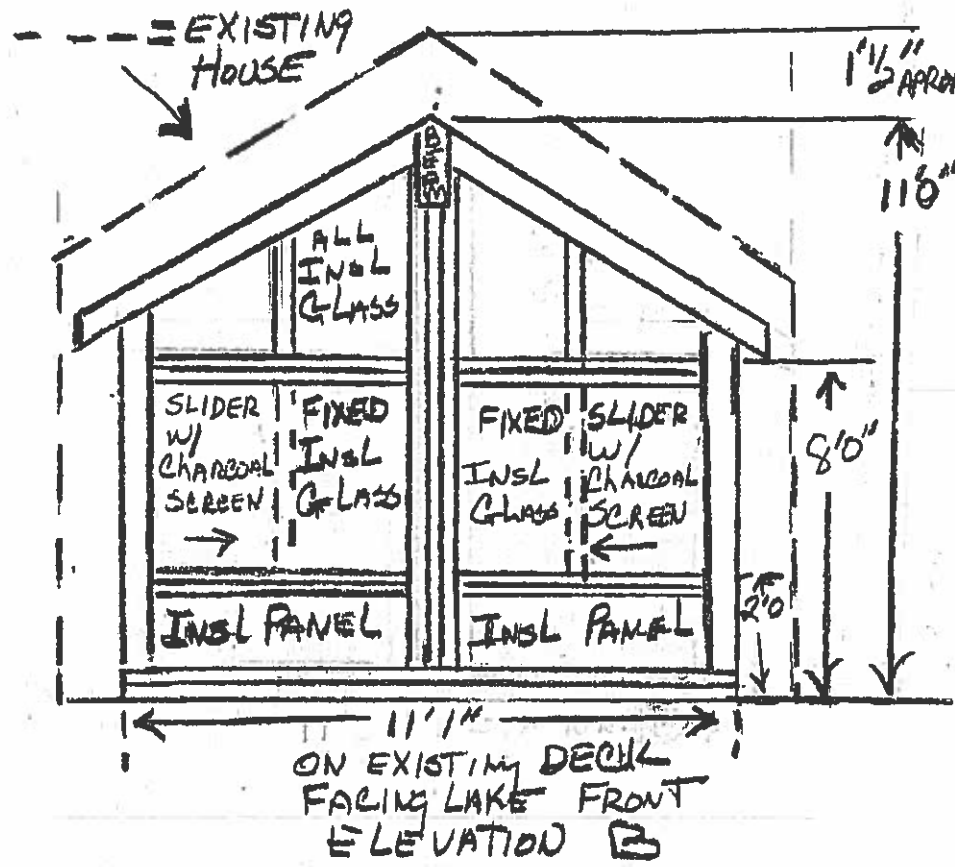
Eastpointe (800) 295.7222	Detroit (313) 758.0677	Ann Arbor (734) 994.0888	Grand Blanc (810) 694.0001
FAX: (586) 772.4048	FAX: (586) 772.4048	FAX: (734) 994.0667	FAX: (810) 694.9955

www.kemtecsurvey.com

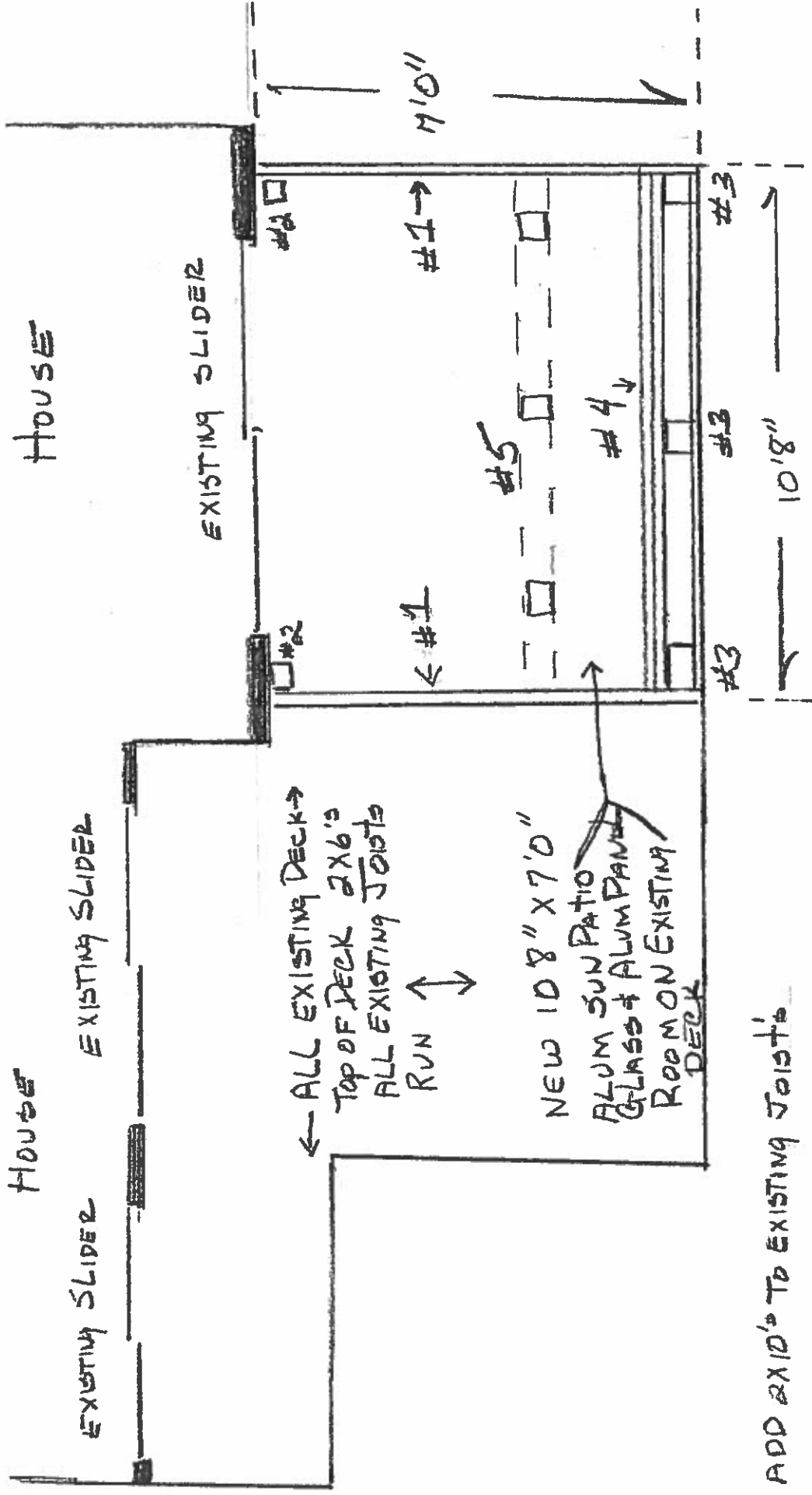
— no fence within
163' waterfront setback.

— 3' fence - not exceeding 49% solid
from front of garage to
front lot line.

— for side yard (front of house to
163' water setback) can build
up to 6' privacy fence.



CASE # 15-04
 MEETING DATE
 APRIL 21-2115
 TUESDAY 6:30PM
 STEPHEN RAYMOND WIDDKK
 1612 S. Hughes RD



#1 ADD 2X10'S TO EXISTING JOISTS

#2 ADD 4X4 POST TO EXISTING HOUSE AND EXISTING FOUNDATION

#3 ADD 6X6 POST UNDER EXISTING JOIST NOTCH TO RECEIVE 2-2X10'S 4X4 FOUNDATION

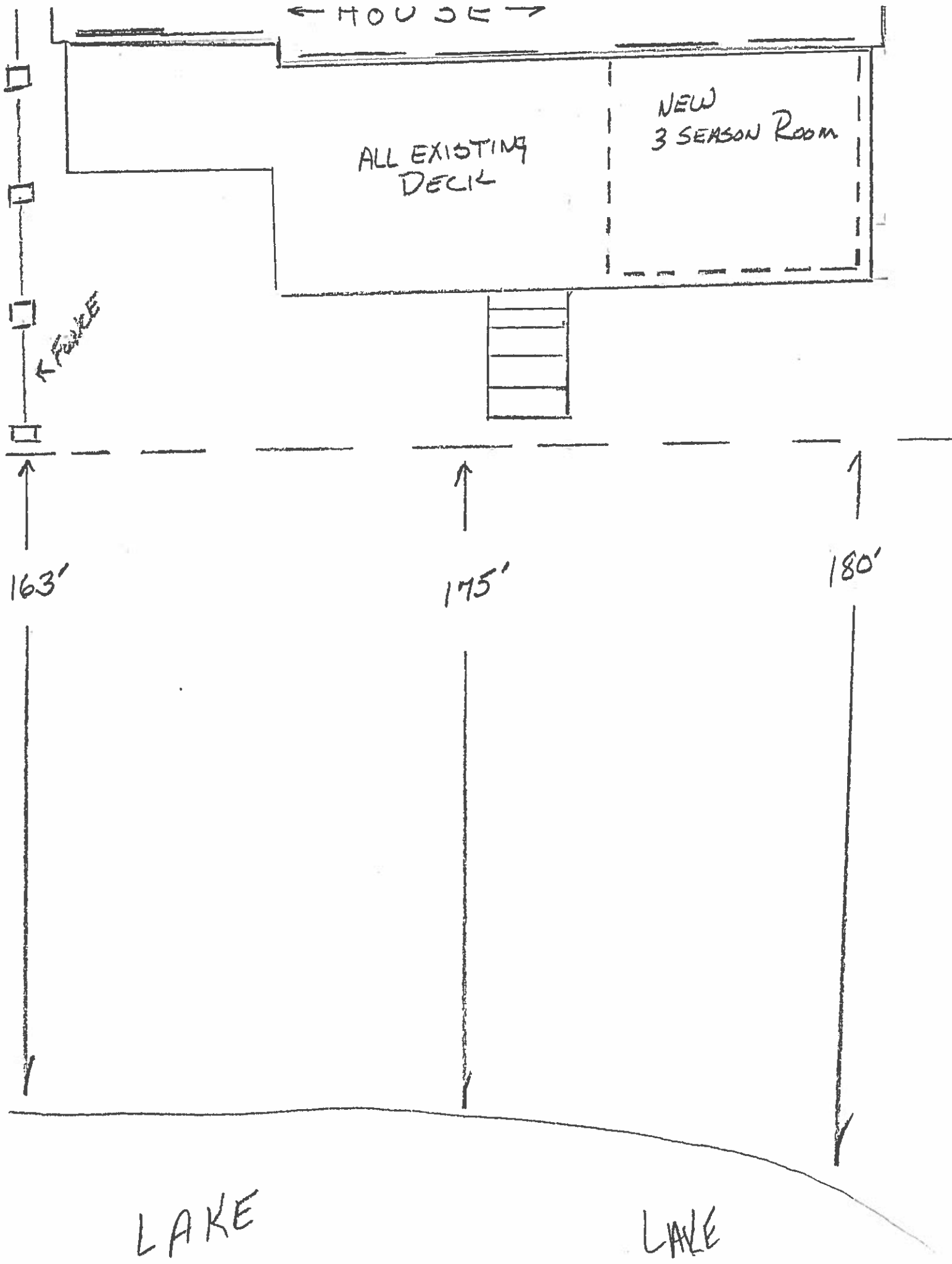
#4 ADD 2-2X10'S TO NEW 6X6 NOTCHED POST

#5 EXISTING 4X4 POST + 2-2X10 BEAMS

USE JOIST ANGLES, JOIST HANGER BOLTS SCREWS WHERE REQUIRED BY CODE

ALL NEW WORK REQUIRED TO MEET CODE PER MY CONVERSION AT YOUR OFFICE

ANY QUESTIONS PLEASE CALL RAY 734.664.3023



← HOUSE →

NEW
3 SEASON ROOM

ALL EXISTING
DECK

FENCE

163'

175'

180'

LAKE

LAKE

VINYL SASH OF FLINT, INC. VINYL SASH OF TRI-CITIES, INC.

CUSTOMER Ray Wisnick COLOR white
 JOB ADDRESS 1612 S. Hughes JOB NUMBER _____
 CITY Brighton

ESTIMATOR Ray CHECKER _____ PHONE (734) 664-3023 ORDER DATE 1-27-15
 WINDOWS _____ SCREENS _____ SILLS _____ CAPPING _____ ETC. _____

No.	Code	Glass Size	Pricing-Overall	SCR.	SILL	STOPS	CAP.	LOC.
			CUT 4x4 Posts					
			Install ② 2x4 Under water's					
			FLASH IN & OUT					Sewer Well
			11 x 7 Insulated A-Frame					
	A.)	7 x 8' ①	Window Door					
	B.)	11 x 11' ②	Windows					24" Solid
	C.)	7 x 8' ①	Window					Kneecap
			6'5" x 8' x 2 Shingled Roof					
			Follow Existing Roof Line					
			B.) WALL TRAPS - only					
			No Electric					
			No PTAC					

TOTAL

Genoa Township
Livingston County

Remarks:

Build 11'x7' Seasonal
GABIE PATIO ROOM

A. WALL ① 6' PATIO DOOR

B. WALL ② 5' WINDOWS

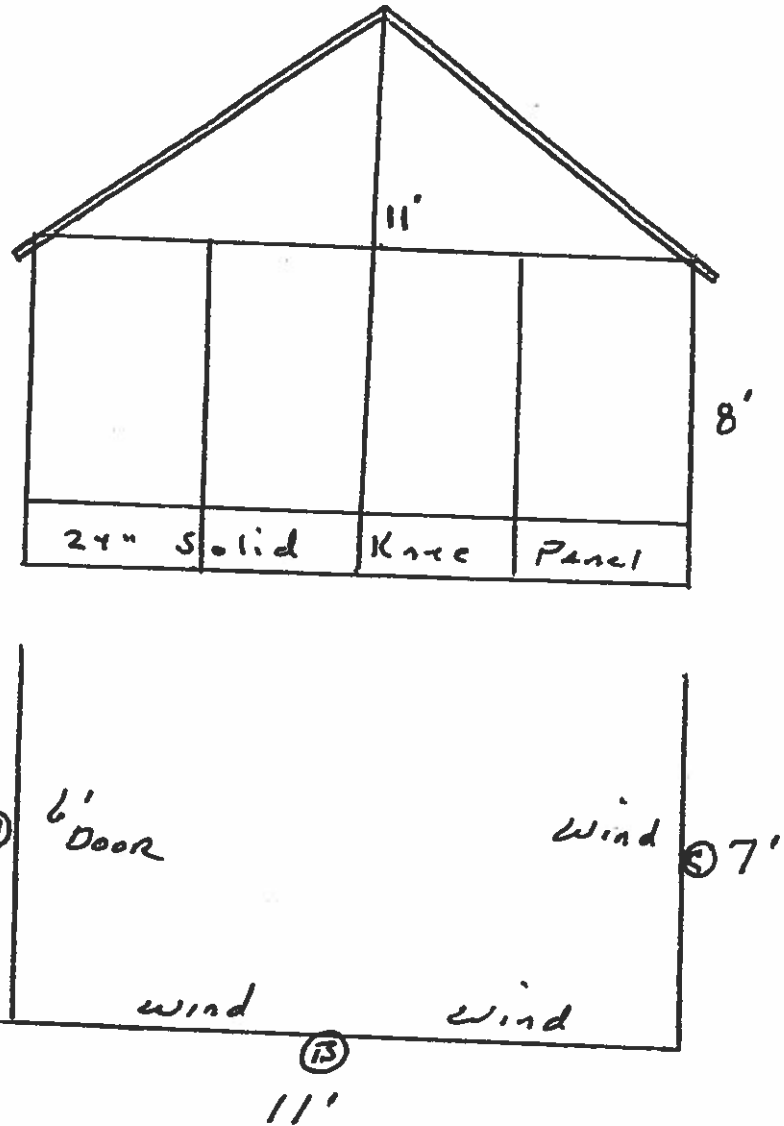
C. WALL ① 6' WINDOWS

TRANSOM GLASS 8)

WALL

Roof System

12' x 8'



RAY WIDDICK

1612 S. Hughes

Brighton

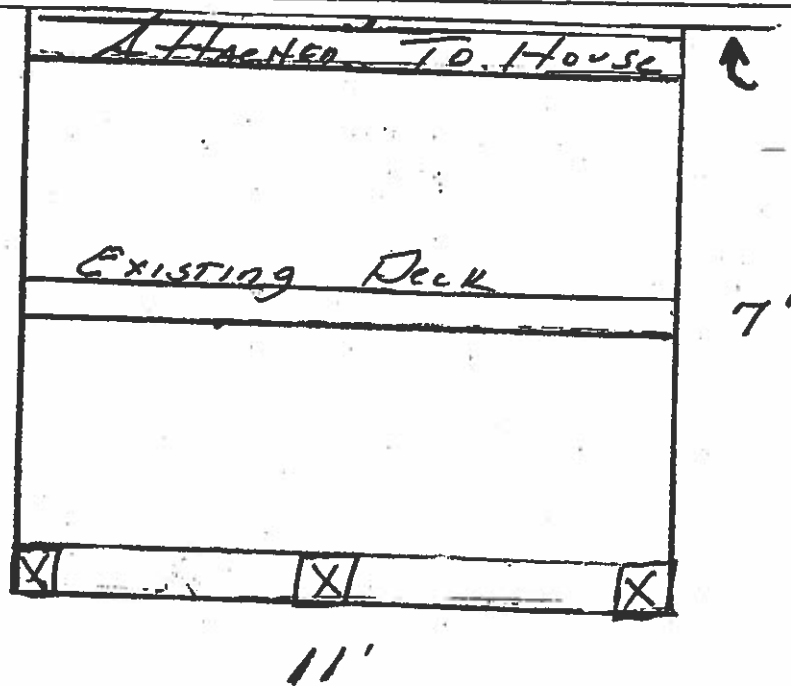
Remove Railing Existing Deck

2 x 4 Deck Top

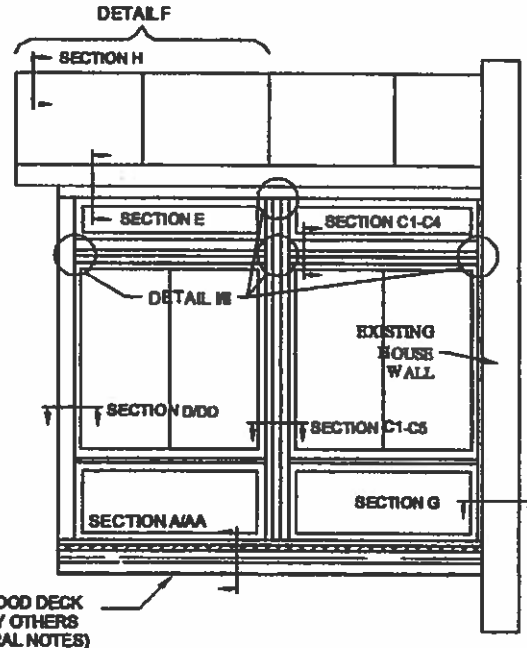
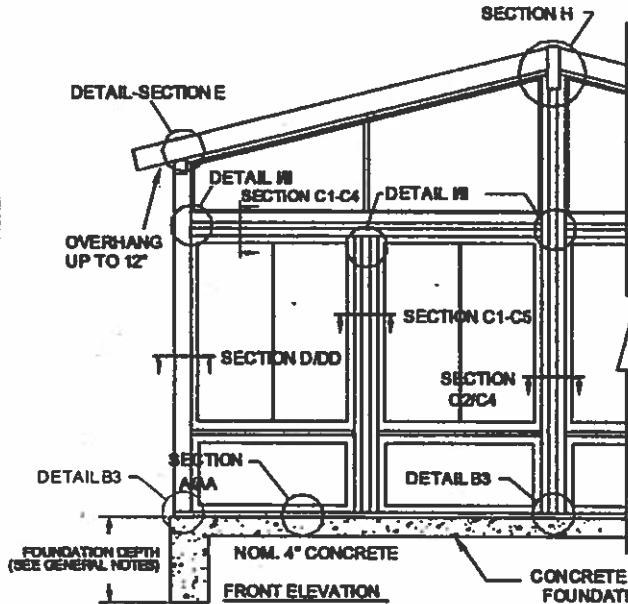
2 x 8 Floor Joists 16" On Center

4 x 4 Posts 42" Deep On Concrete

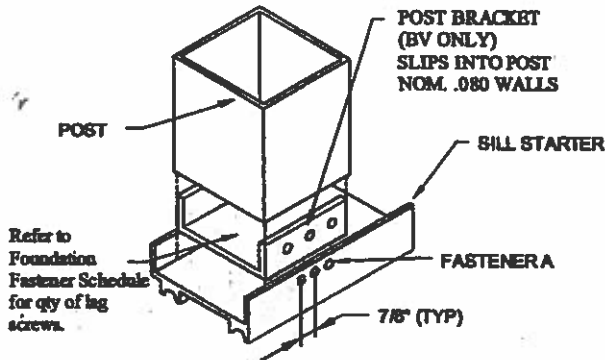
2 x 8 Beam System



GRANDVIEW/ BETTERTVIEW PATIO ROOMS: GABLE STYLE

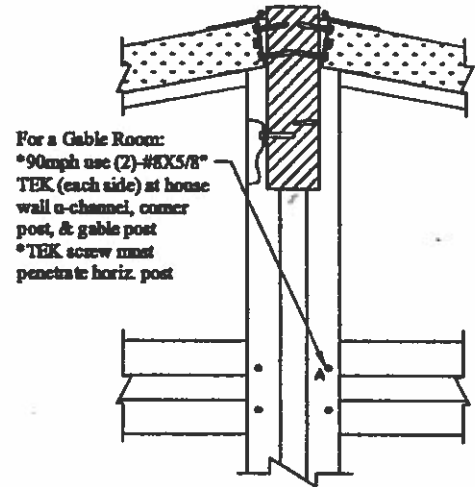


DETAIL B3: HORIZ & VERT. POST CONNECTION



- GV Gable Post @ 90mph: use (3)-#8x5/8" at sill, each side (Fastener A)
- GV Corner Post @ 90mph: use (2)-#8x5/8" at sill & header, each side (Fastener A)
- BV Gable Post @ 90mph: use internal post bracket, (3)-#8x5/8" at sill, each side (Fastener A)
- BV Corner Post @ 90mph: use internal post bracket, (2)-#8x5/8" at sill & header, each side (Fastener A). Use (9) screws to attach post bracket to underside of 2pc header.
- Use post bracket at each end of at Vert. or Horiz. post (BV only)
- For other wind speeds, see General Notes

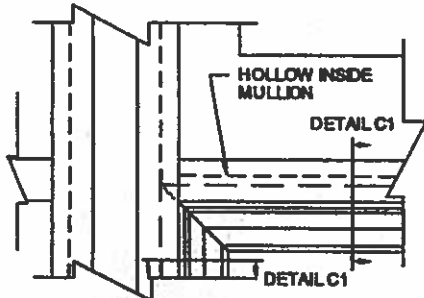
DETAIL I: POST HEADER CONNECTION



- Use Post Bracket at each vertical post intersection for BV post headers. Similar to Detail B3.
- Use similar connection for studio room headers.
- Refer to General Notes, Detail I, for fastener qty.

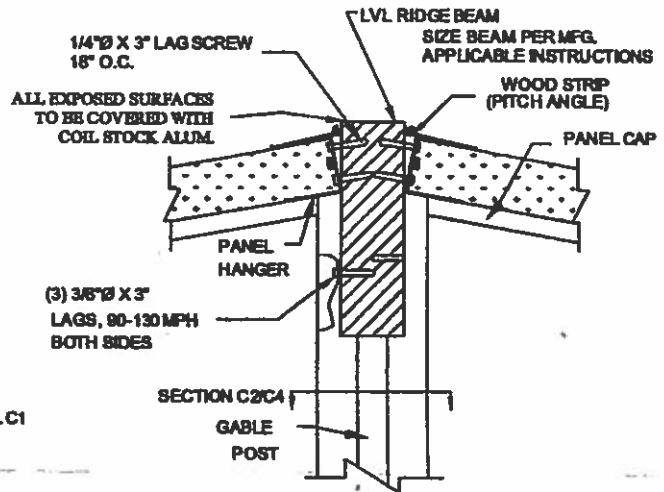
DETAIL II: H-MULLION HEADER CONNECTION

- SINGLE H-MULLION CONSTRUCTION ONLY; 90MPH
- GRANDVIEW ONLY
- 20' X 18' MAX. ROOM SIZE



- WINDOW FRAME IS SILICONED AROUND PERIMETER, SEE DETAIL C1
- USE NOVAFLEX 100 SILICONE
- REFER TO REPORT-SEAWAY001.SILICONE BOND

SECTION H: RIDGE BEAM CONNECTION



Seaway Mfg. Corp: Sunroom Engineering Code Compliance Packet

How to Use the Engineering Code Packet:

This packet is designed to provide basic construction details & design criteria for both the gable & studio style roofs for Seaway's Grandview & Betterview sunroom systems. Final unroom design & construction will be based on the limiting constraints from each of the five tables (Racking Table, Post Spacing, Wind Speed Matrix, General Notes, & Load Span Tables) that meet the environmental design loads. Sunroom design is relatively easy, but is an iterative process.

Start by obtaining the environmental design loads through the permit process for your area from your local building authority (wind speed & ground snow load).

Review the Racking Table based on your wind speed and proposed room projection. The tabulated value is the minimum width required to structurally resist the lateral wind loads. Determine if the proposed sunroom width is greater than the "Min Bldg Width" listed in the table. If not, either increase sunroom width and/or decrease sunroom projection.

Review the Wind Speed Matrix to determine if the tabulated wind speed based on the proposed sunroom size is greater than or equal to the design wind speed. If the tabulated wind speed is less than the design wind speed, then the proposed sunroom size must be reduced, and step #2 must be repeated for the smaller sunroom size. Tables are dynamic, based on sunroom width & projection, and are separated by roof type, post spacing, and header & mullion configuration. In general, locations in wind zones >90mph require Gable/Raceway Post headers & mullions.

Review the Post Spacing Table to determine if proposed header and mullion configuration can resist the design ground snow load. Allowable loads for post spacings are based on roof type, two standard post spacings (72.25" & 96.375"), and header & mullion configuration. Load carrying capability can be increased by decreasing the post spacing and/or using a "heavier" header & mullion configuration. If post spacing and/or header & mullion configuration changes, repeat steps #2 through #4. In general, locations with a ground snow load >65psf require Gable/Raceway Post headers & mullions.

Review the Load Span Tables to determine if the roof panel, based on roof style, panel length, and panel thickness, can resist both the design wind & snow loads. The loads tabulated account for max bending stress, max shear stress, & deflection loads. Use deflection limit of L/120 for snow load. Load carrying capability can be increased by increasing panel thickness and/or decreasing panel length. If proposed sunroom size is reduced due to a load-span requirement of the panel, repeat steps #2 through #5.

Review the General Notes for further instructions or fastener schedules on critical connections to determine what additional fasteners are required for different loading conditions.

Review the Foundation Fastener Schedule for qty of lag screws or Tapcons required under each vertical post. Also, this schedule serves as a basic visual representation of what sunroom sizes are available based on wind speed & roof style.

Post Spacing

Ground Snow Load Requirements

Mullions / Headers	Studio Style			
	6' span 2-pc roof	8' span 2-pc roof	8' span 2-pc roof	8' span 2-pc roof
Betterview post w/ mullions (8083-T8)	57psf	57psf	38psf	38psf
Betterview post (8085-T8)	57psf	57psf	38psf	38psf
Internal Jamb Support w/ mullions (8083-T8)	57psf	57psf	38psf	38psf
BV H-mullions (Panel Kneewall) (8083-T8)	32psf*	N/A	N/A	N/A
BV H-mullions (Glass Kneewall) (8083-T8)	57psf	57psf	38psf	38psf
GV H-Mullion/Chaseaway Mullion (8085-T8)	57psf	57psf	38psf	38psf
2pc Clamp Chaseaway (8083-T8)	57psf	57psf	38psf	38psf
Grandview post w/ mullions (8085-T8)	57psf	57psf	38psf	38psf
	Upto 12" Transoms	Upto 16" Transoms	Upto 12" Transoms	Upto 16" Transoms

Gable Style			
6' span 2-pc roof	8' span 2-pc roof	8' span 2-pc roof	8' span 2-pc roof
88psf	88psf	53psf	53psf
88psf	88psf	53psf	53psf
88psf	88psf	53psf	53psf
81psf*	N/A	N/A	N/A
88psf	88psf	53psf	53psf
88psf	88psf	53psf	53psf
88psf	88psf	53psf	53psf
88psf	88psf	53psf	53psf
Upto 12" Transoms	Upto 16" Transoms	Upto 12" Transoms	Upto 16" Transoms

* Assumes a single span 16' projection, 12" overhang, & no transom on studio style roof; and a 20' width, 12" overhang, & no transom on gable style roof.

Mullions / Headers (2pc header plus)	Post	Post	Post	Post
Betterview Gable post w/ mullions (8085-T8)	+100psf	+100psf	+100psf	+100psf
Betterview Gable post (8085-T8)	+100psf	+100psf	+100psf	+100psf
GV Gable/Raceway post w/ mullions (8085-T8)	+100psf	+100psf	+100psf	+100psf
	Upto 12" Transoms	Upto 16" Transoms	Upto 12" Transoms	Upto 16" Transoms

Post	Post	Post	Post
+100psf	+100psf	+100psf	+100psf
+100psf	+100psf	+100psf	+100psf
+100psf	+100psf	+100psf	+100psf
Upto 12" Transoms	Upto 16" Transoms	Upto 12" Transoms	Upto 16" Transoms

- * Assumes a single span 17' projection & 12" overhang on studio style roof, and a 24' width & 12" overhang on gable style roof. Greater loads may be possible, but would need review by licensed design professional.
- * Structurally the GV gable post, GV raceway post, BV Gable post are comparable in strength.
- * 6' spans are 72.25", 8' spans are 96.375".
- * Allowable ground snow loads for both spans and both transom heights are dictated by the allowable load on the header.
- * The above data does not include loading from unbalanced, drifting, or sliding snow.
- * The above data includes a dead load of 5psf; 2.5psf for roof panels & 2.2psf for slights.
- * Snow loads have a reduction factor of 0.7 for low slope roofs per Section 7.4 of ASCE 7-05; assumes a "cold" and non-slippery roof surface. F_w=0.7C_wC_eC_p.
- * F_w= roof snow load, C_w=1.0, C_e=0.9, C_t=1.1, I=1.0, F_s= ground snow load
- * This table only applies to the roof supporting structure. Roof panel loads evaluated separately.
- * Based on 1.65 safety factor for column buckling & bending per Aluminum Design Manual, and 160.6' & 106.6' wall height for 12" & 16" transoms, respectively.
- * Above data can be used to size Endcots or Open structures.

Wind Borne Debris Protection:

For sunrooms in wind borne debris prone areas, use 1/2" thick wood structural panels as prescribed in R301.2.1.2 of the 2009 IRC. Attach to the sunroom as follows:

1. Attach continuous wood strips (pine or equivalent) at least 1" wide by 2.5" deep around the perimeter of each wood sheet so that the assembly fits over the fastener. Attach these wood strips with #8x2.5" wood screws on 12" centers for horizontal & vertical spacing, as listed in Table R301.2.1.2 of IRC.
2. Attach this assembly to the aluminum framing of the sunroom with a total of four (4) #8x3.5" TEK screws per side of the wood sheet one at each end, and the other two evenly spaced. Panels should extend so that the #8x3.5" TEK screws penetrate into the aluminum post that comprises the vertical mullions and horizontal header, & into the sill channel.
3. Adequate for wind speeds up to 130mph, and for wood structural sheets up to 8' long.

Use of Structural Adhesive (Novaflex 100)

As with all adhesives, surface preparation is imperative to achieve optimal performance. It is recommended that all surfaces that the adhesive will come into contact with (ie window frames & slant channels) be wiped down with paint thinner, mineral spirits or rubbing alcohol to ensure these mating surfaces are free from dirt, debris, and/or oily films. Likewise, follow all application instructions and cure times specific to the adhesive.

GENERAL NOTES

Seaway Mfg's Engineering Code Packet does not make any claims about the structural capacity of the existing structure the sunroom is being attached to. Therefore, structural capacity of the foundation (concrete slab or deck), existing house wall to resist superimposed loads from the sunroom, and/or existing roof overhang to resist superimposed loads from the sunroom were not considered in the engineering evaluation herein.

Section A/AA:

- *All lags screws must have full thread embedment into joist or band board per 4th ed. Timber Construction Manual.
- *All Tapcons must have full thread embedment into concrete.
- *All fasteners into treated lumber to be hot dipped galvanized (or equivalent), & use standard 1/4"Ø galvanized washer.

Section B1:

For Grandview rooms only; use steel plates under gable post & corner post if windspeed is >100mph. Otherwise, use standard 1/4"Ø steel washer with fasteners into slab or deck.

Section B2 & D/DD:

Fasten maximum 6 lags directly under the post.

Section C4/C5: Clamp Raceway, Raceway Post, Chaseway Header & Mullion
Per NEC 2002, no objects that could chafe a wire, such as screws, nails, or abrasive objects, can protrude into the raceway cavity. Must use plastic or rubber grommets for each hole thru the alum.

Section E:

GV Gable post, GV Raceway, or BV snow load post can be used with the 2pc head support for longer spans or greater roof loads. Raceway and 2pc Gable post are structurally interchangeable.

- * 90mph, Fastener B not required for single span, use Novaflex 100
- * 90mph, Fastener B, 24" O.C. for double spans
- * 100mph, Fastener B, 24" O.C. (single & double spans)
- * 110mph, Fastener B, 18" O.C. (single & double spans)
- * 120mph, Fastener B, 16" O.C. (single & double spans)
- * 130mph, Fastener B, 12" O.C. (single & double spans) "Studio Only"

Section H & J:

Size LVL beams per manufacturer's instructions using 1.9E or better.

Detail F Studio Room:

For studio room using 3" or 6" panels, use the following number of 1/2"Øx4" or 6" screws to attach each roof panel. Each I-beam/Batten has (2)-#8x5/8" screws connecting it to the header or beam. Overhang is 12".

Single Span: Header;	Double Span: Header;	Double Span: Intermediate Beam;
90mph-1/panel	90mph-1/panel	90mph-1/panel
100mph-1/panel	100mph-1/panel	100mph-1/panel
110mph-2/panel	110mph-1/panel	110mph-2/panel
120mph-2/panel	120mph-1/panel	120mph-2/panel
130mph-3/panel	130mph-2/panel	130mph-3/panel

Detail F Gable Room:

For gable room using 3" or 6" panels, use the following number of 1/2"Øx4" or 6" screws to attach each roof panel to header. Each I-beam/Batten has (2)-#8x5/8" screws connecting it to the header. Overhang is 12".

90mph-1/panel
100mph-1/panel
110mph-1/panel
120mph-2/panel

Section B3 Studio Room: Using Post/Raceway Mullions

For GV Studio: Mullions

- *90-120mph, use (2) #8x5/8" screws (each side), at sill & 2pc header (Fastener A), for up to 96.375" spacings.
- *130mph, use (3) #8x5/8" screws (each side), at sill & 2pc header (Fastener A), for up to 96.375" spacings.

GV Studio Corner Post:

- *For GV, 90-110mph, use (3) #8x5/8" screws, each side (Fastener A), at sill & 2pc header 8' fenestration flanking the corner post
- *For GV, 120-130mph, use (4) #8x5/8" screws, each side (Fastener A), at sill & 2pc header for 8' fenestration flanking the corner post.

For BV Studio Mullions:

- *90-110mph, use (3) #8x5/8" screws (each side) & post bracket, at sill & 2pc header (Fastener A), for up to 96.375" spacings. Use (9) screws to attach post bracket to underside of 2pc header.
- *120-130mph, use (4) #8x5/8" screws (each side) & post bracket, at sill & 2pc header (Fastener A), for up to 96.375" spacings. Use (12) screws to attach post bracket to underside of 2pc header.

BV Studio Corner Post:

- *For BV, 90-110mph, use internal post bracket, use (3) #8x5/8" screws (each side), at sill & 2pc header (Fastener A), for up to 8' fenestration flanking the corner post. Attach post bracket to underside of 2pc header using (9) #8x5/8" screws.
- *For BV, 120-130mph, use internal post bracket, use (4) #8x5/8" screws (each side), at sill & 2pc header (Fastener A), for up to 8' fenestration flanking the corner post. Attach post bracket to underside of 2pc header using (12) #8x5/8" screws.

Section B3 Gable Room:

For BV @ 100-120mph: Use post header & post mullions

- Gable Post: Use internal post bracket, (3) #8x5/8" each side (fastener A)
- Corner Post: Use internal post bracket, (3) #8x5/8" each side (fastener A). Attach post bracket to underside of 2pc header using (9) #8x5/8" screws. Use (3) #8x5/8" each side (Fastener A) to connect post header to u-channel at corner post.
- Mullions: 90-120mph, use internal post bracket & (2) #8x5/8" each side (Fastener A) at sill header. Attach post bracket to underside of 2pc header using (6) #8x5/8" screws. Adequate for up to 96.375" spacing.

For GV @ 100-120mph: Use raceway/post header & mullions

- Gable Post: at sill (4) #8x5/8", each side (Fastener A)
- Corner post: at sill & header (3) #8x5/8", each side (Fastener A).
- Mullions: for post spacings up to 72.25" btwn 90-120mph, use (3) #8x5/8" each side (Fastener A) at sill & 2pc header. For post spacings up to 96.375" btwn 90-120mph, use (4) #8x5/8" each side (Fastener A) at sill & 2pc header.

Detail I: Post header connections

- *GV/BV Gable @ 100-120mph: use (3) #8x5/8", each side (Fastener A) to connect post/raceway header to u-channel at corner post & house wall. For BV gable use (6) #8x5/8" screws (Fastener B) to attach post bracket at each end of header to vertical extrusion.
- *GV/BV Studio @ 100-130mph: use (3) #8x5/8", each side (Fastener A) to connect post/raceway header to u-channel at corner post & house wall. For BV studio use (6) #8x5/8" screws (Fastener B) to attach post bracket at each end of header to vertical extrusion.

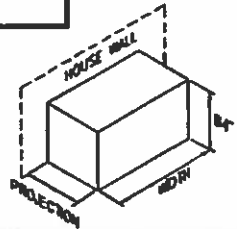
GRANDVIEW / BETTERVIEW PATIO ROOM STRUCTURAL STABILITY FROM RACKING

	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.	Proj.
Wind Speed	10 FT	11 FT	12 FT	13 FT	14 FT	15 FT	16 FT	17 FT	18 FT	19 FT	20 FT
90 MPH	9'-0"	9'-0"	9'-0"	9'-5"	9'-10"	10'-3"	10'-9"	11'-2"	11'-7"	12'-0"	12'-5"
100 MPH	11'-1"	11'-1"	11'-1"	11'-7"	12'-2"	12'-8"	13'-3"	13'-9"	14'-3"	14'-10"	15'-4"
110 MPH	13'-5"	13'-5"	13'-5"	14'-0"	14'-8"	15'-4"	16'-0"	16'-8"	17'-3"	17'-11"	18'-7"
120 MPH	15'-11"	15'-11"	15'-11"	16'-8"	17'-6"	18'-3"	19'-0"	19'-9"	20'-7"	21'-4"	22'-1"
130 MPH	18'-8"	18'-8"	18'-8"	19'-7"	20'-6"	21'-5"	22'-4"	23'-3"	24'-1"	25'-0"	25'-11"

Minimum Building Width

NOTE:

- *Testing is based on shear diaphragm testing of a wall assembly for wind load only (See FET test report T227-99 for materials and setup requirements). Wall height of 7'.
- *Assumes summation of windward & leeward pressures, MWFRS, Exposure C.
- *To account for use of transoms, use the following transom factor: For 12" transom (wall height upto 100.6"), multiply Min Bldg Width by 1.185, and for transoms greater than 12" and upto 18" (wall height upto 106.6"), multiply Min Bldg Width by 1.25. The product will be the new Min Bldg Width.
- *Linear interpolation is allowable for Min Bldg Width at other projections & for the transom factor for other transom heights.



Wind Speed Matrix

GABLE

Maximum wind speeds for GV/BV gable style room using simple mullion construction (72.25" spacing)

Proj/Width	14'	15'	16'	17'	18'	19'	20'	21'	22'	23'	24'
0" Transom	100/100	100/100	100/100	100/100	100/100	100/100	100/90	100/90	90/NA	90/NA	NA
12" Transom	90/NA	90/NA	90/NA	90/NA	90/NA	90/NA	90/NA	90/NA	NA	NA	NA
18" Transom	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

*All projections upto 20', assumes no header splices. Refer to Detail 11 and C1 for any further size restrictions when applicable.

Maximum wind speeds for GV/BV gable style room using GV-Raceway/GV-Gable/BV-Gable post mullions & headers (72.25" spacing)

Proj/Width	14'	15'	16'	17'	18'	19'	20'	21'	22'	23'	24'
0" Transom	140/120	140/110	130/110	130/110	120/110	120/100	120/100	120/100	110/100	110/90	110/90
12" Transom	130/100	120/100	120/100	120/90	110/90	110/90	110/90	110/NA	100/NA	100/NA	100/NA
18" Transom	110/90	110/90	100/90	100/90	100/NA	100/NA	90/NA	90/NA	90/NA	90/NA	90/NA

*All projections upto 20'

Maximum wind speeds for GV gable style room only using 2pc Clamp Raceway mullions & Raceway/Gable post headers (72.25" spacing)

Proj/Width	14'	15'	16'	17'	18'	19'	20'	21'	22'	23'	24'
0" Transom	120	120	120	120	120	120	120	120	110	110	110
12" Transom	110	110	110	110	110	110	110	110	100	100	100
18" Transom	100	100	100	100	100	100	100	90	90	90	90

*Speeds >90mph require notching of 2pc Clamp Raceway & fasteners. See Section C3.

*All projections upto 20'

Maximum wind speeds for GV/BV gable style room using GV-Raceway/GV-Gable/BV-Gable post mullions & headers (96.375" spacing)

Proj/Width	14'	15'	16'	17'	18'	19'	20'	21'	22'	23'	24'
0" Transom	120/100	120/100	110/100	110/90	110/90	110/90	100/90	100/NA	100/NA	100/NA	90/NA
12" Transom	110/90	110/NA	100/NA	100/NA	100/NA	100/NA	90/NA	90/NA	90/NA	90/NA	90/NA
18" Transom	90/NA	90/NA	90/NA	90/NA	90/NA	NA	NA	NA	NA	NA	NA

*All projections upto 20'

* The Wind Speed Matrix charts tabulate the safe windspeed (mph) for the aluminum frame based on its construction. Assumes Components & Cladding (Exp C). The indicated values are to be read: Grandview wind speed/Betterview wind speed.

* Maximum wind speed for a studio style sunroom is dictated by room projection, and is unchanged by room width. Sunroom widths larger than the 24' maximum are allowable, provided that there is no requirement for an intermediate beam, and gable/raceway post header & mullion construction is used. Use the Studio tables based on projection to extrapolate wind speed for the proposed room width.

*The above tabulated wind speeds are based on a combined lateral wind load & vertical load of 5psf dead load + 35psf ground snow load (Dead load is 2.8psf for panel weight and 2.2psf for asphalt shingles)

* Above data can be used to size Enclosed or Open structures.

* Max. deck length for 2pc header is 21'. For header spans >21', 2pc Header must be used in conjunction with GV-Raceway/GV-Gable/BV-Gable pos.

STUDIO

Maximum wind speeds for GV/BV studio style room using simple mullion construction (72.25" spacing)

Proj/Width	0" Transom	12" Transom	18" Transom
12"	100/100	90/NA	NA
13"	100/100	90/NA	NA
14"	100/100	90/NA	NA
15"	100/100	NA	NA
18"	90/90	NA	NA

*All widths upto 24', assumes no header splices. Refer to Detail 11 and C1 for any further size restrictions when applicable.

Maximum wind speeds for GV/BV studio style room using GV-Raceway/GV-Gable/BV-Gable post mullions & headers (72.25" spacing)

Proj/Width	0" Transom	12" Transom	18" Transom
12"	170/150	150/130	140/120
13"	170/150	130/120	120/110
14"	150/130	110/100	100/90
18"	130/120	100/90	90/NA
18"	110/100	90/NA	NA

Maximum wind speeds for GV studio style room only using 2pc Clamp Raceway mullions & Raceway/Gable post headers (72.25" spacing)

Proj/Width	0" Transom	12" Transom	18" Transom
12"	120	110	100
13"	120	110	100
14"	120	110	100
18"	120	100	90
18"	110	90	NA

*Speeds >90mph require notching of 2pc Clamp Raceway & fasteners. See Section C3.

Maximum wind speeds for GV/BV studio style room using GV-Raceway/GV-Gable/BV-Gable post mullions & headers (96.375" spacing)

Proj/Width	0" Transom	12" Transom	18" Transom
12"	170/140	140/110	130/100
13"	170/140	130/110	120/100
14"	150/130	110/100	100/90
18"	130/120	100/90	90/NA
18"	110/100	90/NA	NA

LOAD SPAN TABLES: 3" & 6" ROOF SYSTEM

Single Span Design : 3" Alum/Alum Panel with I-beams

Span Length	Allowable Ground Snow Load (PSF)			Wind Uplift Loads		
	L/120	L/180	L/240	Pressure	Gable	Studio
7'	173	120	90	121	+120mph	+120mph
8'	126	90	67	95	+120mph	+120mph
9'	93	70	52	74	+120mph	+120mph
10'	72	56	42	59	+120mph	+120mph
11'	57	45	34	48	+120mph	+120mph
12'	46	38	27	40	+120mph	+120mph
13'	38	31	23	33	+120mph	+120mph
14'	32	26	20	28	120mph	+120mph
15'	28	23	17	24	110mph	120mph
16'	24	20	15	21	100mph	100mph

*Safety Factors: Shear=3.0 (Wind & Snow), Bending=2.5 (Snow), 2.0 (Wind)

Single Span Design : 6" Alum/OSB/Alum Panel w/ Battens

Span Length	Allowable Ground Snow Load (PSF)			Wind Uplift Loads		
	L/120	L/180	L/240	Pressure	Gable	Studio
8'	203	157	119	83	+120mph	+120mph
9'	183	135	102	66	+120mph	+120mph
10'	163	114	86	53	+120mph	+120mph
11'	147	99	74	44	+120mph	+120mph
12'	129	86	64	38	+120mph	+120mph
13'	113	76	56	32	+120mph	+120mph
14'	99	66	50	28	120mph	+120mph
15'	87	59	44	25	110mph	120mph
16'	77	51	39	22	100mph	110mph
17'	69	46	34	20	Dbl Span	100mph

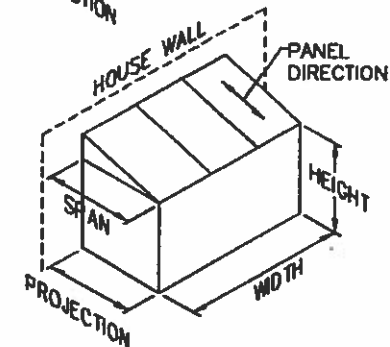
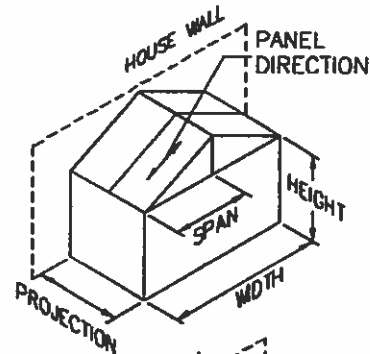
*Safety Factors: Shear=3.0 (Wind & Snow), Bending=3.0 (Wind & Snow)

Double Span Design

Span Length	Gr. Snow Loads		Wind Uplift Loads			Wind Uplift Loads		
	3"	6"	3" Alum/Alum w/ I-beams			6" Alum/OSB/Alum w/ Battens		
	L/120	L/120	Pressure	Gable	Studio	Pressure	Gable	Studio
12'	93	216	65	+120mph	+120mph	74	+120mph	+120mph
13'	78	200	54	+120mph	+120mph	64	+120mph	+120mph
14'	66	185	46	+120mph	+120mph	55	+120mph	+120mph
15'	56	173	39	+120mph	+120mph	48	+120mph	+120mph
16'	49	162	34	+120mph	120mph	43	+120mph	+120mph
17'	43	146	30	+120mph	110mph	38	+120mph	+120mph

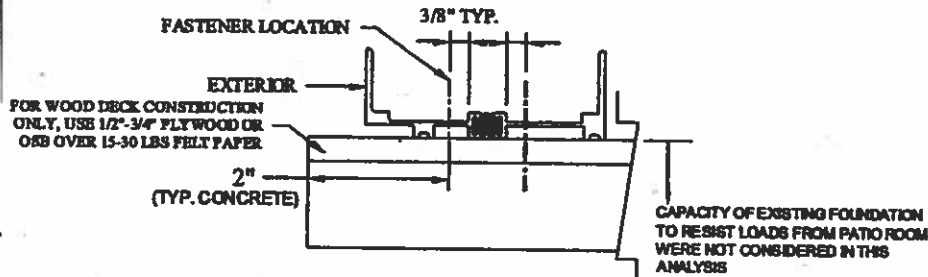
NOTES:

- * All loads in pounds per square foot.
- * Use deflection limit of L/120 per 2009 IBC, Table 1604.3, footnote H. Other deflection limits are for reference only.
- * The above data for 3" & 6" panels considers shear deflection, but does not consider shear creep due to long term loading.
- * Span Length does not include overhang.
- * For double span conditions: double the L/120 snow load as tabulated in single span table for the longest span bisected by the intermediate beam (ie: if a 20' span consists of an 8' and 12' section, double the snow load for the 12' section from the Single Span table). Wind uplift loads are as listed. Refer to "Detail J" for connection details. Size LVL per mfg. instructions.
- * Allowable ground snow loads have a reduction factor of 0.7 for low slope roofs per Section 7.4 of ASCE 7-05; assumes a "cold" and non-slippery roof surface. $P_s = 0.7 C_s C_e I P_g$
- * P_s =roof snow load, $C_s=1.0$, $C_e=0.9$, $C_t=1.1$, $I=1.0$, P_g =ground snow load
- * The above data does not include loading from unbalanced, drifting, or sliding snow for the sunroom or from the existing house roof.
- * For external roof coverings such as asphalt shingles, subtract 3psf from allowable ground snow loads.
- * Allowable ground snow loads controlled by either shear, bending or deflection.
- * Asphalt shingles shall only be used on roof slopes of 2:12 or greater per R905.2.2 of 2009 IRC. Serway Mfg. recommends a minimum slope 3:12 for application of asphalt shingles.
- * Above data can be used for a gable roof system of Enclosed or Open structures, and for Enclosed structures with monoslope roofs. For Open structures with monoslope roofs, the maximum wind speed & spans for 3" & 6" panels are: 90mph at 14', 100mph at 13', & 110mph at 12'.



- REVISION NOTES:**
- REV A-C: WORK PRIOR TO ENGINEERING APPROVAL
 - REV D: SECTION B2, REDUCED SIZE OF STEEL PLATES POST SPACING, REVISED TABLE FOR STUDIO 6' SPAN
 - REV E: SECTION H, CORRECTED QTY. TYPO FOR LAGS; 3 INSTEAD OF 6, POST SPACING COMMENTS, REMOVED 65 PSF SNOW LOAD LIMITATION
 - REV F: IN GENERAL NOTES, CORRECTED TYPO IN DETAIL F-STUDIO, DBL SPAN; 90 TO 130, REFLECT RESULTS FROM SUPPLEMENTARY TESTING THAT ALLOW REMOVAL OF GVL-BRACKETS (DETAIL II & DETAIL C1)
 - REV G: ADDED WIND UPLIFT TO PANEL SPAN TABLES, MODIFIED WIND SPEED MATRIX
 - REV H: UPDATED RACKING TABLE
 - REV I: MODIFIED RACKING TABLE, ADDED TRANSOMS TO POST SPACING, CHANGED LAYOUT OF ENTIRE SHEET, MODIFIED SPAN TABLE LAYOUT, ADDED CLAMP RACEWAY, ADDED PROVISIONS FOR OPEN STRUCTURES.

SECTION A/AA: FOUNDATION CONNECTION

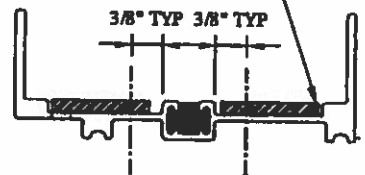


MUST HAVE FULL EMBEDMENT OF ALL LAGS INTO JOISTS OR BAND BOARD, AND MUST HAVE FULL EMBEDMENT OF ALL TAPCONS INTO CONCRETE

- * TYP. FASTENERS: TAPCONS INTO CONCRETE OR LAGS INTO WOOD
- * INTO CONCRETE: 90-130 MPH USE 1/4" X 2" TAPCONS @ 24" O.C.
- * INTO WOOD: 90-130 MPH USE 1/4" X 4" LAGS @ 24" O.C.

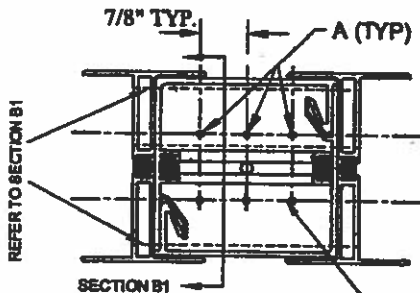
SECTION B1: GV SILL STARTER

USE FOR WIND SPEEDS > 100 MPH ON GABLE ROOMS ONLY
1 1/2" X 1" X 3/8" STEEL "WASHER PLATE"



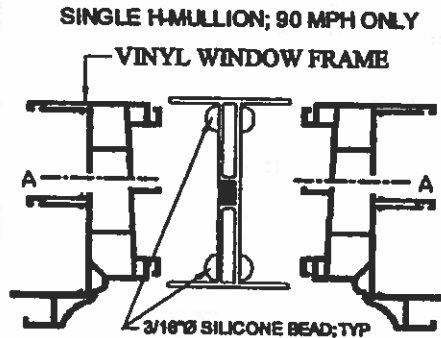
* TO BE USED UNDER GABLE & CORNER POST ON GRANDVIEW ONLY

SECTION B2: STEEL PLATES & LAGS UNDER GV GABLE POST



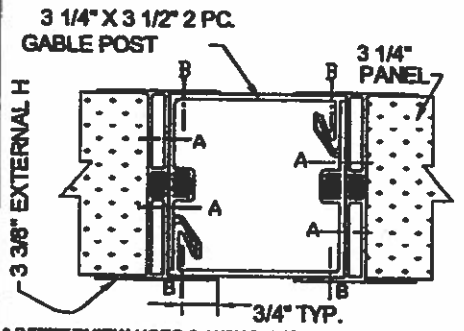
- * REFER TO FASTENER SCHEDULE FOR NO. OF REQUIRED FASTENERS FOR WIND SPEED AND ROOM SIZE
- * ONLY (6) LAGS CAN BE INSERTED WITHIN THE CROSS-SECTION OF THE POST USE 1/4" STEEL WASHERS UP TO 100 MPH
- * PRE-DRILL LAG HOLES USING 11/64" BIT

DETAIL C1: GV VERTICAL MULLION



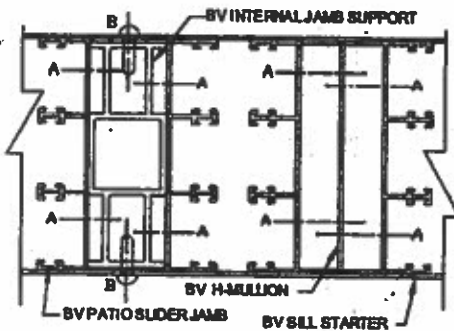
- * 20' X 18' MAX. ROOM SIZE
- * FASTENER A, USE #8X1-1/4" AT TOP, MIDDLE & BOTTOM OF FRAME
- * PRE-DRILL HOLES
- * SILICONE ENTIRE PERIMETER OF FRAME AS SHOWN
- * USE NOVAFLEX 100 SILICONE
- * ALL VINYL WINDOWS TO BE SILICONED SIMILARLY
- * REFER TO REPORT - SEAWAY001: SILICONE BOND

SECTION C2: GABLE POST MULLION



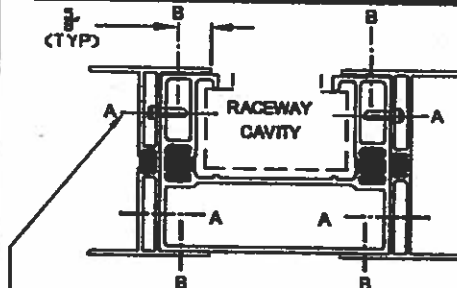
- * BETTERVIEW USES 3 1/4" X 3 1/4" POST FLANKED W/ NON-THERMALLY BROKEN H-MULLIONS.
- * USE CONNECTION OPTION A FOR INTERNAL CONNECTIONS OR B FOR EXTERNAL CONNECTIONS.
- * (A) PRE DRILL, USE #8X1-1/4" W/ LOW-PROFILE (PANCAKE) HEAD @ 24" OC
- * (B) USE #8X5/8"-24" O.C.

SECTION C3: BV VERTICAL MULLION



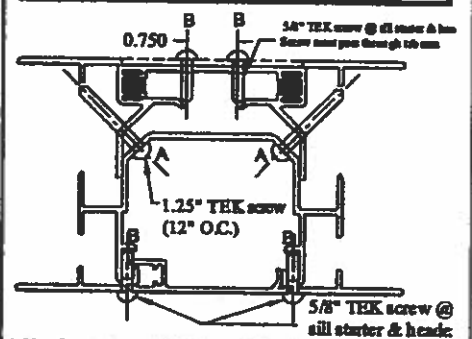
- * Use #8 X 1-1/4"-18" O.C. (Fastener A), pre-drill holes
- * Use #8x5/8" TEK screw (Fastener B) to attach to sill & header.
- * Internal jamb support used for making adjacent Patio Slider Doors.
- * Internal jamb support/H-mullion must open from sill to header.
- * Use of Internal Jamb support in lieu of H-mullion is optional.

SECTION C4: GV RACEWAY MULLION



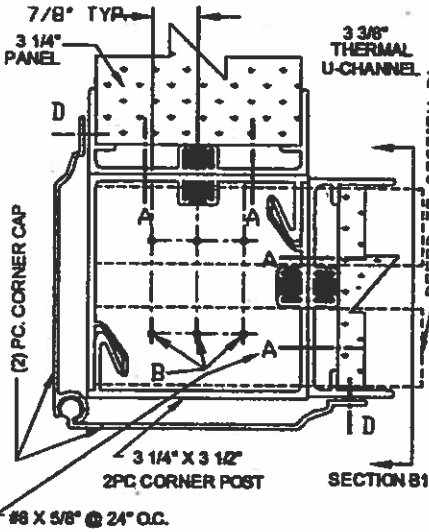
- * #8 X 5/8" - 24" O.C. CAN'T EXCEED 34" IN LENGTH PRE-DRILL OUTER MULLION WALL WITH 7/16" HOLE.
- * Use fasteners A for internal connection or fasteners B for external connection
- * No screws or sharp projections can penetrate into the raceway cavity.

SECTION C5: GV CLAMP RACEWAY



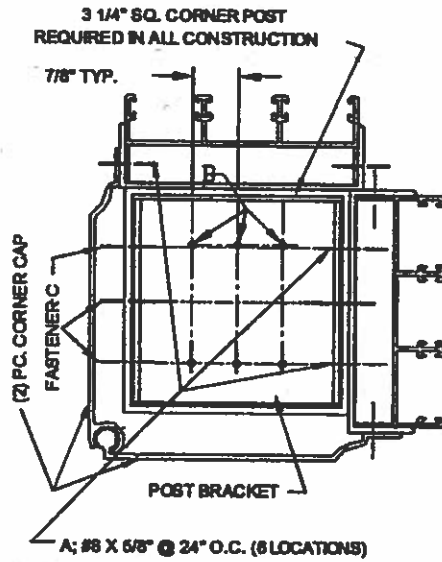
- * Use for vertical mullion or fin-beam only! Cannot be used horizontally or as support post for an LVL.
- * Always use Fastener A.
- * For 90mph, attach using Novaflex 100 (Similar to C1).
- * For >90mph, notch back 7/8" on all flanges (both ends) so that mullion can be seated into sill & header, and fastened using fasteners B.

SECTION D: GY CORNER POST



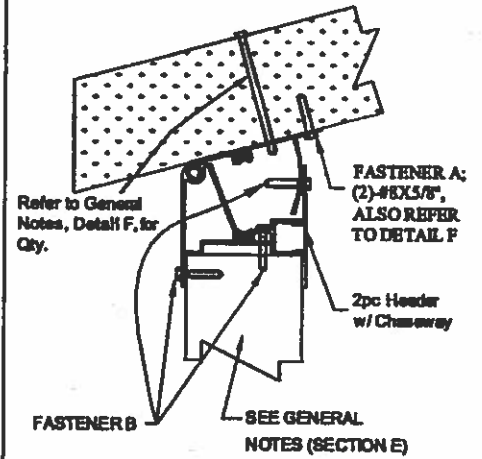
- * FASTENER B, REFER TO FASTENER SCHEDULE FOR NO. OF REQUIRED LAGS FOR WIND SPEED AND ROOM SIZE.
- * FASTENER B INTO CONCRETE, REFER TO FASTENER SCHEDULE FOR NO. OF REQUIRED TAPCONS FOR WIND SPEED AND ROOM SIZE.
- * ONLY (6) LAGS CAN BE INSERTED WITHIN THE CROSS SECTION OF THE POST USE 1/4" STEEL WASHERS UP TO 100MPH
- * PRE-DRILL LAG HOLES USING 11/64" BIT.
- * >100MPH USE STEEL PLATES
- * REFER TO DETAIL B3 FOR CONNECTION TO HEADER & SILL

SECTION DD: BV CORNER POST



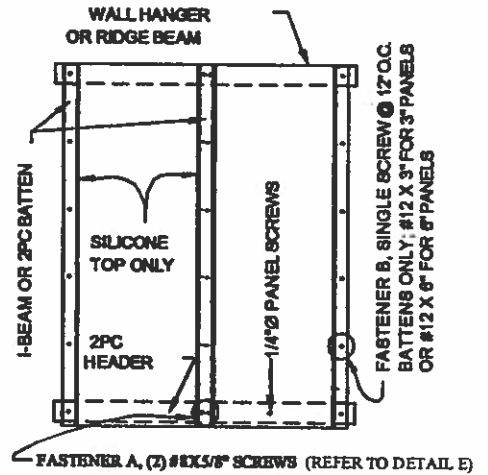
- * FASTENER B, REFER TO FASTENER SCHEDULES FOR NO. OF REQUIRED LAGS FOR WIND SPEED AND ROOM SIZE.
- * FASTENER B INTO CONCRETE, REFER TO FASTENER SCHEDULE FOR NO. OF REQUIRED TAPCONS FOR WIND SPEED AND ROOM SIZE.
- * ONLY (6) LAGS CAN BE INSERTED WITHIN THE CROSS SECTION OF THE POST
- * FOR BV ONLY, INSERT FASTENER B INTO THE POST BRACKET 1/4" FROM INNER WALL USING A STEEL WASHER
- * ATTACH POST BRACKET TO CORNER POST: FASTENER C, 90MPH USE (3)-#8X1-1/4 EACH SIDE FOR 100-110MPH, USE (4)-#8X1-1/4 EACH SIDE
- * PRE-DRILL LAG HOLES USING 11/64" BIT.
- * CORNER POST SETS DIRECTLY IN SILL STARTER
- * REFER TO DETAIL B3 FOR CONNECTION TO HEADER & SILL

SECTION E: 2PC HEAD SUPPORT



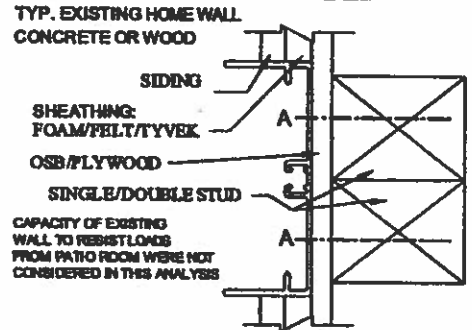
- * FASTENER B: SINGLE SPAN, 80 MPH-Not Required, Use Header 100
- * FASTENER B: DOUBLE SPAN, 80-110 MPH USE #8X5/8 @ 12" O.C.
- * FASTENER B: DOUBLE SPAN, 120-130 MPH USE #8X5/8 @ 12" O.C.

DETAIL F: ROOF PANELS

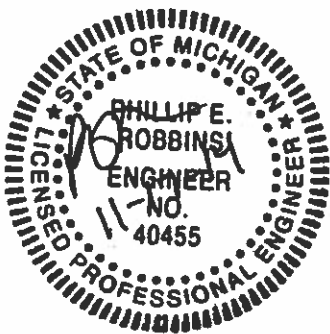


FASTENER A, (2) #8X5/8 SCREWS (REFER TO DETAIL E)

SECTION G: HOUSE U-CHANNEL



- TYPICAL CONNECTIONS (FASTENER A):
- * SHEATHING NOT PERMITTED BTWN CHANNEL AND STUD
 - * TWO ROWS OF 1 1/2" X 2.5" LAGS @ 12" O.C. INTO DOUBLE WALL STUD. IF ONLY ONE WALL STUD IS AVAILABLE DO SINGLE ROW @ 8" O.C.
 - * TWO ROWS OF 1 1/2" X 1.5" TAPCONS @ 12" O.C. INTO CONCRETE OR BRICK WALL



P.E. Robbins
1777 State Route 167
Victoria, IL 61485
PER14978

Code Compliance Packet		Item: Sunrooms	Classification: Alum/Vinyl	Model: GrandView BetterView	Sheet 1 of 1
Revisions:	5/29/13; Rev 1				
Drawn by:	CADZ DRAFTING SERVICE				
Scale:	N.T.S.				
References:	2009 IRC/IBC References ASCE 7-05				



2250 East 33rd Street
Erie, Pennsylvania 16510
Phone: (814) 898-2255
Fax: (814) 898-5558
www.seawaymfg.com

ZBA 15-04 Area Map



1 inch = 100 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate.
This is not a survey.

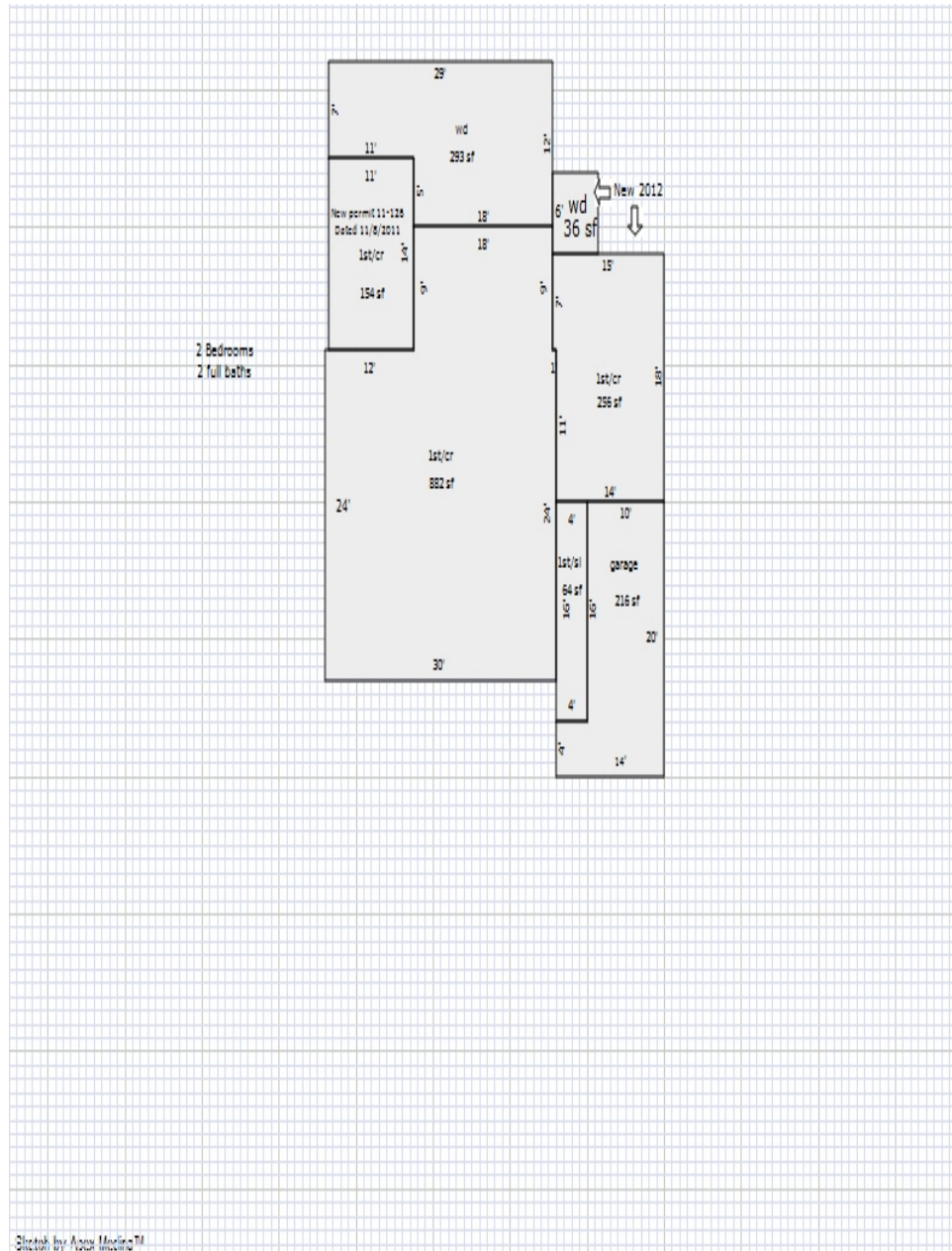
Source: Livingston County GIS Department

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
MC COLL, VIRGINIA M.	WIDDICK STEPHEN RAYMOND	130,000	08/03/2011	WD	ARMS-LENGTH	2011R-023855	BUYER	100.0			
		98,500	04/01/1991	WD	ARMS-LENGTH		BUYER	0.0			
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)		Date	Number	Status		
1612 S HUGHES RD		School: HOWELL			FENCE		12/04/2012	P12-144	NO START		
Owner's Name/Address		P.R.E. 100% 04/02/2012			ADDITION		07/11/2012	P12-083	NO START		
WIDDICK STEPHEN RAYMOND 1612 S HUGHES RD BRIGHTON MI 48114		MAP #: V15-04			ADDITION		11/08/2011	P11-126	100%		
		2015 Est TCV 282,568 TCV/TFA: 208.38			WOOD DECK		01/01/1993	93-056	NO START		
Tax Description		X	Improved	Vacant	Land Value Estimates for Land Table 00004.LAKE CHEMUNG						
SEC 11 T2N R5E SUPERVISOR'S PLAT OF BEACON SHORES NO. 2, LOT 15		Public Improvements		* Factors *							
Comments/Influences		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
		Gravel Road		LAKE FRONT	45.00	137.00	1.0000	1.0000	2300	100	103,500
		Paved Road		45 Actual Front Feet, 0.14 Total Acres Total Est. Land Value = 103,500							
		Storm Sewer									
		Sidewalk									
		Water									
		Sewer									
		Electric									
		Gas									
		Curb									
		Street Lights									
		Standard Utilities									
		Underground Utils.									
		Topography of Site									
		Level									
		Rolling									
		Low									
		High									
		Landscaped									
		Swamp									
		Wooded									
		Pond									
		Waterfront									
		Ravine									
		Wetland									
		Flood Plain									
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value	
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		Who	When	What	2015	51,800	89,500	141,300		99,096C	
					2014	51,800	77,800	129,600		97,536C	
					2013	49,500	69,200	118,700	96,000M	96,000C	
					2012	49,500	48,100	97,600		97,600S	



Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage																											
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided 1 Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 20 293 36	Type CCP (1 Story) Treated Wood Treated Wood	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1/2 Wal Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 216 % Good: 0 Storage Area: 0 No Conc. Floor: 0																											
X	Wood Frame		Drywall Paneled		Plaster Wood T&G		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling		Central Air Wood Furnace		(12) Electric 0 Amps Service		Class: C Effec. Age: 36 Floor Area: 1356 Total Base Cost: 98,433 Total Base New : 144,696 Total Depr Cost: 103,748 Estimated T.C.V: 179,068		CntyMult X 1.470 E.C.F. X 1.726	Bsmnt Garage: Carport Area: Roof:																											
Building Style: C		Trim & Decoration		Ex X Ord Min			Size of Closets			Lg X Ord Small			Doors: Solid X H.C.			Room List																											
Yr Built 1962		Remodeled 2012		Kitchen: Other: Other:			(6) Ceilings			No./Qual. of Fixtures			Stories Exterior			Foundation Rate Bsmnt-Adj Heat-Adj			Size Cost																								
Condition for Age: Good		(5) Floors		No. of Elec. Outlets			Many X Ave. Few			(7) Excavation			Basement: 0 S.F. Crawl: 1292 S.F. Slab: 64 S.F. Height to Joists: 0.0			(8) Basement			Conc. Block Poured Conc. Stone Treated Wood Concrete Floor			(9) Basement Finish			Recreation SF Living SF Walkout Doors No Floor SF			(10) Floor Support			Public Water Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic			Lump Sum Items:			Phy/Ab.Phy/Func/Econ/Comb.%Good= 64/100/100/100/64.0, Depr.Cost =			Separately Depreciated Items: Square footage # 2 is depreciated at 96 %Good... Base Cost Was = 8,729 County Multiplier = 1.47 => Cost New = 12,831 Phy/Ab.+hy/Func/Econ/Comb.%Good= 32/100/100/100/32.0, Depr.Cost = 4,106 Square footage # 3 is depreciated at 96 %Good... Base Cost Was = 14,510 County Multiplier = 1.47 => Cost New = 21,330 Phy/Ab.+hy/Func/Econ/Comb.%Good= 32/100/100/100/32.0, Depr.Cost = 6,826		<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>	
Basement 1st Floor 2nd Floor 2 Bedrooms		(1) Exterior		Ex. X Ord. Min			Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			(13) Plumbing			3 Fixture Bath (14) Water/Sewer Public Sewer Well, 200 Feet (15) Built-Ins & Fireplaces Fireplace: Exterior 1 Story (16) Porches CCP (1 Story), Standard (16) Deck/Balcony Treated Wood,Standard (17) Garages Class:C Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 29.25 Common Wall: 1/2 Wall -650.00			2400.00 1162.00 4975.00 3875.00 61.14 6.67			1 1 1 64 1 1 216 1			2,400 1,162 4,975 3,875 1,223 1,954 6,318 -650		92,185		92,185																	
Wood/Shingle Aluminum/Vinyl Brick		(2) Windows		Many Avg. Few X Large Avg. Small			(14) Water/Sewer			Phy/Ab.+hy/Func/Econ/Comb.%Good= 32/100/100/100/32.0, Depr.Cost =			2400.00 1162.00 4975.00 3875.00 61.14 6.67			1 1 1 64 1 1 216 1			2,400 1,162 4,975 3,875 1,223 1,954 6,318 -650		92,185		92,185																				
Insulation		(3) Roof		Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens			(14) Water/Sewer			Phy/Ab.+hy/Func/Econ/Comb.%Good= 32/100/100/100/32.0, Depr.Cost =			2400.00 1162.00 4975.00 3875.00 61.14 6.67			1 1 1 64 1 1 216 1			2,400 1,162 4,975 3,875 1,223 1,954 6,318 -650		92,185		92,185																				
Gable Hip Flat		Gambrel Mansard Shed		X Asphalt Shingle			(14) Water/Sewer			Phy/Ab.+hy/Func/Econ/Comb.%Good= 32/100/100/100/32.0, Depr.Cost =			2400.00 1162.00 4975.00 3875.00 61.14 6.67			1 1 1 64 1 1 216 1			2,400 1,162 4,975 3,875 1,223 1,954 6,318 -650		92,185		92,185																				
Chimney: Brick																																											

*** Information herein deemed reliable but not guaranteed***



Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

04/06/2015 2:59 PM

Parcel: 4711-11-302-003
Owner's Name: WIDDICK STEPHEN RAYMOND
Property Address: 1612 S HUGHES RD
BRIGHTON, MI 48114

Current Class: 401.401 RESIDENTIAL-IMPROVED
Previous Class: 401.401 RESIDENTIAL-IMPROVED
Gov. Unit: 4711 GENOA CHARTER TOWNSHIP
MAP # V15-04
School: 47070 HOWELL
Neighborhood: 4309 4309 LK CHEMUNG LAKEFRONT

Liber/Page: 2011R-023855 **Created:** / /
Split: / / **Active:** Active

Public Impr.: None
Topography: REFUSE

Mailing Address:

WIDDICK STEPHEN RAYMOND
1612 S HUGHES RD
BRIGHTON MI 48114

Most Recent Sale Information

Sold on 08/03/2011 for 130,000 by MC COLL, VIRGINIA M..

Terms of Sale: ARMS-LENGTH

Liber/Page: 2011R-023855

Most Recent Permit Information

Permit 93-056 on 01/01/1993 for \$0 category WOOD DECK.

Physical Property Characteristics

2015 S.E.V.: 141,300

2015 Taxable: 99,096

Lot Dimensions:

2014 S.E.V.: 129,600

2014 Taxable: 97,536

Acreage: 0.14

Zoning: LRR

Land Value: 103,500

Frontage: 45.0

PRE: 100.000

Land Impr. Value: 0

Average Depth: 137.0

Improvement Data

of Residential Buildings: 1

Year Built: 1962

Occupancy: Single Family

Class: C

Style: C

Exterior: Wood Siding

% Good (Physical): 64

Heating System: Forced Heat & Cool

Electric - Amps Service: 0

of Bedrooms: 2

Full Baths: 2 Half Baths: 0

Floor Area: 1,356

Ground Area: 1,356

Garage Area: 216

Basement Area: 0

Basement Walls:

Estimated TCV: 179,068

Image



**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
OCTOBER 18th, 2011
6:30 p.m.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. The Board members in attendance were as follows: Jeff Dhaenens, Marianne McCreary, Chris Grajek, Steve Wildman and Barbara Figurski. The Pledge of Allegiance was then said. Chairman Dhaenens then gave a brief introduction of the ZBA. There were six people in the audience.

Moved by Figurski, supported by McCreary, to approve the agenda with the deletion of case#11-13.
Motion carried unanimously.

11-16... A request by Raymond Widdick, Sec. 11, 1612 Hughes Road, for a side yard and waterfront variance to construct an addition.

Tim Chouinard, 422 E. Grand River Howell, was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by Figurski, to approve case #11-16, 1612 Hughes Road, for a 8 foot variance with a 2 foot setback to construct an addition. Conditioned upon the addition being guttered. The practical difficulty is narrowness of the lot. **Motion carried unanimously.**

11-17...A request by Ann Schultheis, Sec. 28, 4896 Oak Tree Court, for a rear yard variance to construct an addition.

A call to the public was made with no response.

Moved by Grajek, supported by Wildman, to approve case #11-17, 4896 Oak Tree Court, for a rear yard setback of 26 feet with a 24 foot variance to construct a three season room elevated to the grade level of the house. The practical difficulty is the positioning of the house on the lot. **Motion carried unanimously.**

11-18...A request by Genoa Charter Township, Sec. 3950 E. Grand River, for a sign variance.

Ms. Kelly VanMarter, Planning Director for Genoa Township was present for the petitioner.

A call to the public was made with no response.

Moved by Wildman, supported by McCreary, to approve case #11-18, 3950 Grand River, for a 6 foot right-of-way setback with a 4 foot variance to install 2 signs conditioned upon the Right-of-way being granted. The practical difficulty is based on the expanded right-of-way for Latson Road due to the Latson Interchange. **Motion carried unanimously.**

Moved by Figurski, supported by McCreary, to approve the September 13th, 2011 Zoning Board of Appeals minutes with corrections. Motion carried unanimously.

Moved by Figurski, supported by Wildman, to adjourn the Zoning Board of Appeals meeting at 7:10 p.m. **Motion carried unanimously.**

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JUNE 19, 2012
6:30 P.M.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Barbara Figurski, Steve Wildman, Chris Grajek and Jeff Dhaenens. Also present was Township staff member Adam VanTassell and 14 persons in the audience.

Moved by Figurski, supported by Grajek, to approve the agenda. **Motion carried unanimously.**

A call to the public was made with no response.

12-09...A request by Douglas Milne, 6501 Forest Beach, for a height variance to allow an 8' fence.

Moved by Figurski, supported by Grajek, to table case#12-09, 6501 Forest Beach Drive, until the next Zoning Board of Appeals meeting. **Motion carried unanimously.**

12-12...A request by International Society, 4925 Grand River, for a variance to construct an addition for an existing nonconforming use.

A call to the public was made with no response.

Moved by Figurski, supported by Wildman, for case #12-12, 4925 E. Grand River, for an open air pavilion on existing concrete pad which is now a non-conforming use with a setback of 50 feet from waters edge. The following finding of fact is the existing non-conforming use and the fact that the proposed structure enhances but does not expand the non-conforming use. **Motion carried as follows: Ayes: Dhaenens, Grajek, Figurski and Wildman. Nays: McCreary.**

12-13...A request by Glen and Sally Hope, 1253 Sunrise Park Drive, for a waterfront and side yard variance to construct an enclosed deck.

A call to the public was made with no response.

Moved by Grajek, supported by Wildman, to approve case #12-13 for Glen and Sally Hope for a north side variance of 6' with a 4' setback. The following finding of fact is the narrowness of the lot and the placement of the existing home. **Motion carried unanimously.**

12-14...A request by James and Emma Seger, 5715 Cherokee Bend, for a front yard variance to construct an addition.

A call to the public was made with the following responses: Michael and Debbie Mcknight of 5731 Cherokee Bend stated that they are in favor of the variance as long as the Board is also. A letter was received from a Ms. Ida Caldwell of 5776 Chippewa stating that she has no objection to their request for a front yard variance to construct an addition.

Moved by McCreary, supported by Figurski, to table case #12-14 located at 5715 Cherokee Bend until a lot line survey can be done by a licensed surveyor showing the home imposed on the survey also showing a setback from the front porch. **Motion carried unanimously.**

12-15...A request by Raymond Widdick, 1612 Hughes, for a side yard variance to construct an addition.

A call to the public was no response.

Moved by Figurski, supported by Wildman, to approve case# 12-15, 1612 Hughes Road, for a west side variance of 6' with a setback of 4' for a 15'5" x 18'2" addition. The following finding of fact is the narrowness of the lot. **Motion carried unanimously.**

Moved by Figurski, supported McCreary to approve the May 15th, 2012 Zoning Board of Appeals minutes as submitted. **Motion carried unanimously.**

Moved by Figurski, supported by Wildman to adjourn the Zoning Board of Appeals meeting at 7:23 p.m. **Motion carried unanimously.**

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 15-05 Meeting Date: 4/21/15

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: BARBARA ROSE owner APPLICANT TIM CHOUINARD

Property Address: LOT 20 CHEMUNG DRIVE Phone: 810-599-3188

Present Zoning: _____ Tax Code: 11-10-201-023

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: 3' SIDE SETBACK

2. Intended property modifications: REMOVE EXISTING GARAGE BUID 1360 SQUARE FOOT RANXN WITH ATTACHED GARAGE

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) THE LOT IS ONLY 46.7 FOOT AT THE ROAD MAKING THE BUILDING ENVELOPE 28.4"

b. Other (explain) _____

Variance Application Requires the Following: (failure to meet these requirements may result in tabling of this petition.)

- **PROPERTY MUST BE STAKED SHOWING ALL** proposed improvements 5 days before the meeting and remain in place until after the meeting
- **Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. NOTE: One paper copy of all drawings is required.**
- **Waterfront properties must indicate setback from water from adjacent homes.**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 3-27-15

Signature: [Signature]

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Ron Akers at the township office to discuss what your next step is.

Charter Township of Genoa
ZONING BOARD OF APPEALS
April 21, 2015
CASE #15-05

PROPERTY LOCATION: McNamara's Sub Lot 20, Parcel I.D. #4711-10-201-023, Located on Chemung Dr.

PETITIONER: Tim Chouinard

ZONING: LRR (Lake Resort Residential District)

WELL AND SEPTIC INFO: Sewer Available, Well

PETITIONERS REQUEST: Request for side yard setback variances in order to construct a single family dwelling.

CODE REFERENCE: Section 3.04.01 (Side yard setbacks)

STAFF COMMENTS: See Attached Staff Report

	Front	One Side	Other Side	Shoreline	Height	-
Required Setbacks	35'	10'	10'	81'	25'	-
Setbacks Requested	~40'	4'	9'	81'	~22'	-
Variance Amount	N/A	6'	1'	N/A	N/A	-



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: April 15, 2015
RE: ZBA 15-05

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#15-05

Site Address: No Address for Parcel

Parcel Number: 4711-10-201-023

Parcel Size: 0.254 Acres

Applicant: Tim Chouinard

Property Owner: Barbara Rose, 3786 Noble Ave. Brighton, MI 48116

Information Submitted: Application, site plan, building plans

Request: Dimensional Variances

Project Description: Applicant is requesting side yard setback variances in order to construct a single family home.

Zoning and Existing Use: LRR (Lake Resort Residential), Accessory building located on property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday April 5, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing detached accessory building (576 square feet) and no principal building.
- The parcel is 46.7' wide at the road.
- The property has access to sewer and will be required to have a well.
- See Real Estate Summary and Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Summary

The proposed project is to remove the existing detached accessory building on the property and construct an approximately 2,600 square foot single family dwelling. Due to narrow lot width (46.7') the applicant has requested two (2) side yard setback variances to construct the home. The average home width for lakefront parcels on Chemung Drive, based on the available assessing information, is 34.7' and the proposed single family dwelling is consistent with this.



Variance Requests

The following is the section of the Zoning Ordinance that the variances are being requested from:

Table 3.04.01: Required Side Yard Setback: 10' Proposed Side Yard Setback: 9'
Variance Amount 1'

Table 3.04.01: Required Side Yard Setback: 10' Proposed Side Yard Setback: 4'
Variance Amount 6'

Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Summary of Findings

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

(a) Practical Difficulty/Substantial Justice – Strict compliance with the side yard setback requirements would prevent the applicant from constructing a single family home with a width that is similar to the average width for the neighboring properties. Per assessing records the following are the widths of homes on Chemung Drive near the subject parcel:

1120 Chemung Drive – 38'	1126 Chemung Drive – No Information Available
1112 Chemung Drive – 45'	1138 Chemung Drive – No Information Available
1132 Chemung Drive - 35'	4711-10-201-026 – Vacant Parcel
1142 Chemung Drive – 28'	1094 Chemung Drive – 36'
1150 Chemung Drive – 37'	1106 Chemung Drive – 28'
1166 Chemung Drive – 34'	1170 Chemung Drive – 39'
1084 Chemung Drive – 34'	1080 Chemung Drive – 28'
1180 Chemung Drive – No Information Available	1176 Chemung Drive – No Information Available
1162 Chemung Drive – No Information Available	1158 Chemung Drive – No Information Available
1154 Chemung Drive – No Information Available	1146 Chemung Drive – No Information Available

Average Home Width for Lake Front Home on Chemung Drive: 34.7'

- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the narrowness of the lot at the road. The 46’ lot width is less than what is typical for a lot in the LRR district and granting the variance would, based on available information, make the property consistent with the house width of the majority of other properties in the vicinity.
- (c) Public Safety and Welfare** – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. The proposed dwelling is of a sufficient distance from adjacent buildings to remain consistent with the surrounding area and provide adequate separation between buildings.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have no negative impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. Additionally by constructing a single family home on the parcel and removing the garage the applicant would remove an existing non-conformity and construct a home on a vacant parcel which was being used for boat and dock storage. This should have a positive impact on property values in the vicinity.

Staff Findings of Fact

1. Strict application of the side yard setback variance would prevent the applicant from constructing a single family home of a width similar to the neighbors in the vicinity of the parcel.
2. The extraordinary or exceptional circumstance applicable to the property is the narrowness of the parcel.
3. Granting this variance would make the property consistent with the width of the majority of the other lakefront homes in the vicinity.
4. The need for the variance is due to the narrow parcel width.
5. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township. The proposed home will maintain at least a 10’ separation from neighboring homes.
6. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. Granting the proposed variance will eliminate an existing non-conformity and building a single family home on this vacant parcel is an improvement to the surrounding area.



SCALE: 1" = 10'-0"

LEGEND

- DASHED CONTOUR
- DASHED SPOT ELEVATION
- POWER POLE
- GUY WIRE
- ELECTRICAL METER
- ELECTRICAL RISER
- WELL
- MANHOLE
- STORM MANHOLE
- MANHOLE
- REDUNDANT TREE
- CONTIGUOUS TREE
- STEEL ROD FOUND
- STEEL ROD SET
- SANITARY SIGN
- GAS MAIN
- OVERHEAD WIRE
- FENCE

LAKE CHERRYING
(PAINTED DASH LINE)

GENERAL SURVEY NOTES

1. CORNER ZONING: LDR (LAKESHORE RESORT RESIDENTIAL)
2. MANUAL SURVEY REQUIREMENTS:
 - Since 1/2" (12" FEET) SPACING (N) IS TO BE 3/8" (9.0") OF DASHED LINE, THE SPACING OF THE DASHED LINE SHOULD BE 3/8" (9.0") OF DASHED LINE. THE SPACING OF THE DASHED LINE SHOULD BE 3/8" (9.0") OF DASHED LINE. THE SPACING OF THE DASHED LINE SHOULD BE 3/8" (9.0") OF DASHED LINE.
3. BRAKES WERE ESTABLISHED FROM THE PLAT OF "McNAMARA'S SUBDIVISION" (PLATTED LAKE VIEW DRIVE) (ASPHALT SURFACE) RECORD NO. 15-04-1.
4. SIGNATURE PLATES NOT LOCATED FOR THIS SURVEY. LAW ENFORCEMENT OFFICERS SHOULD BE CONTACTED FOR THE LOCATION OF THE SIGNATURE PLATES.
5. ELEVATIONS ON RESURFACING OF RECORD NOT EXPLODED ON THIS SURVEY. ELEVATIONS WERE ESTABLISHED RELATIVE TO DENVA TOWNSHIP BENCHMARK STATION (INVESTIGATOR DETERMINE).
6. ALL ELEVATIONS ARE SHOWN TO THE NEAREST 0.01 FEET. HOWEVER, THE NEAREST 0.1 FEET SHOULD BE MEASURED ACCORDANT TO THE STANDARD ELEVATION CONTROL OF 911.5 IS SHOWN ON THIS SURVEY DRAWING.

PLOT PLAN



CHEMUNG DRIVE (PLATTED LAKE VIEW DRIVE - 25' WIDE)
(ASPHALT SURFACE)

DESIGNED BY:	ASB
CHECKED BY:	ASB
SCALE:	1" = 10'
JOB NO.:	15-04-1
DATE:	3-20-15
SHEET NO.:	1 OF 1

PROJECT:
LOTS 21 & 22 "McNAMARA'S SUBDIVISION"

ROSE
3786 NOBLE DRIVE
BRIGHTON, MI 48116
810-599-3188

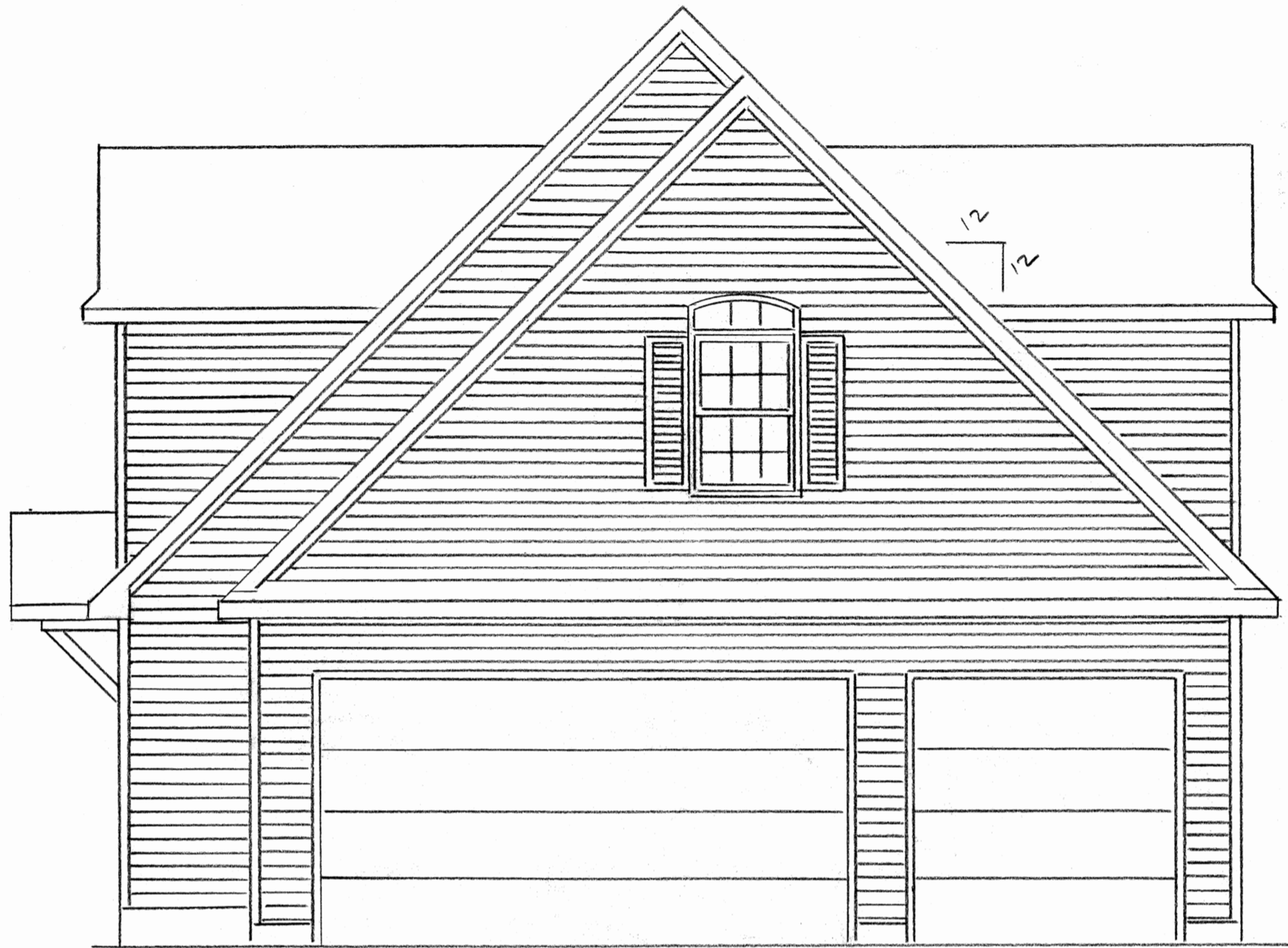
TITLE:
PLOT PLAN

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES IS BASED ON THESE DRAWINGS AND ONLY APPROXIMATE. NO WARRANTIES OR GUARANTEES ARE MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COLLISIONS OR DAMAGE TO UTILITIES OR TO THE LOCATION OF ASPHALT SURFACES OCCURRING FROM THE WORK.

3 WORKING DAYS BEFORE YOU DIG
CALL MISSISSIPPI
1-800-882-7171



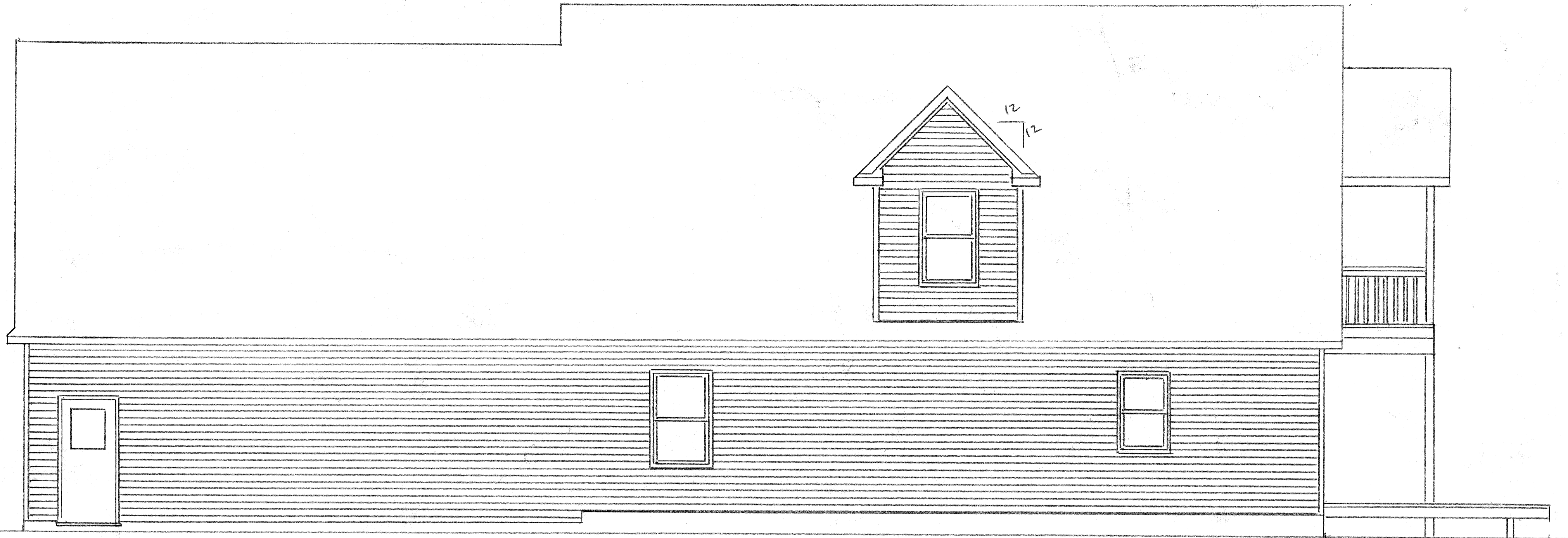
FRONT (STREET) ELEVATION
SCALE: 1/4" = 1'0"



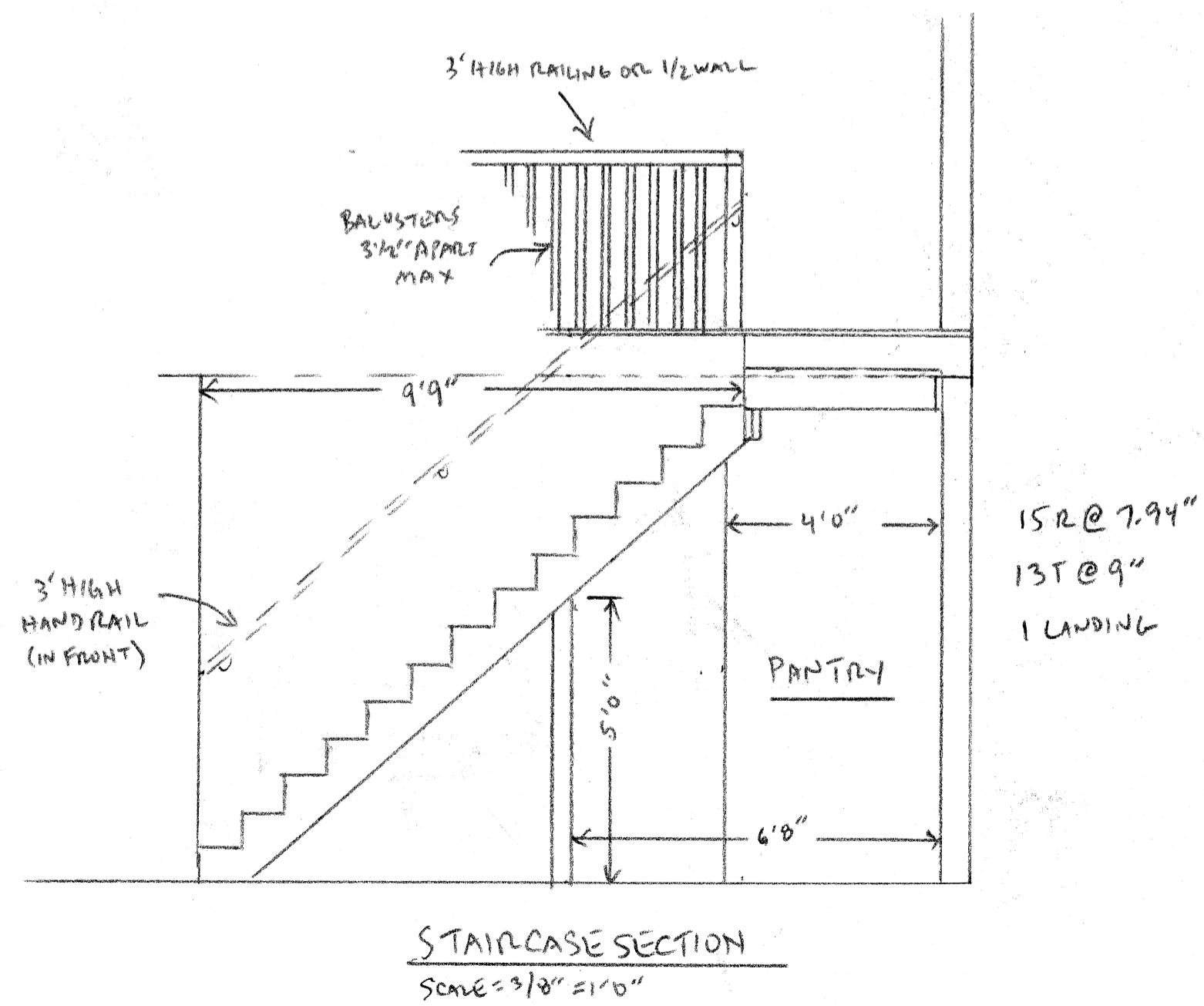
REAR (LAKE) ELEVATION
SCALE: 1/4" = 1'0"



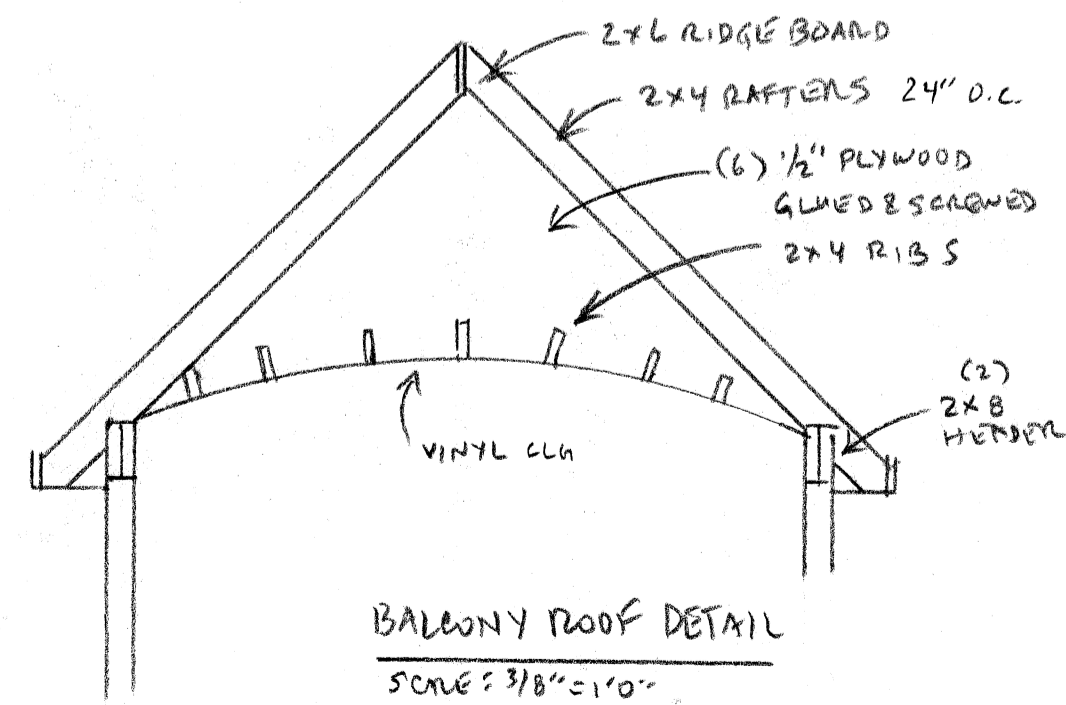
LEFT
ELEVATION
SCALE: 1/4" = 1'0"



RIGHT ELEVATION
SCALE = 1/4" = 1'0"



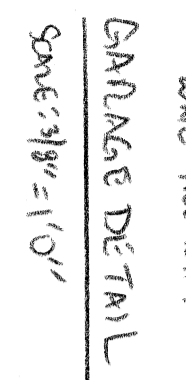
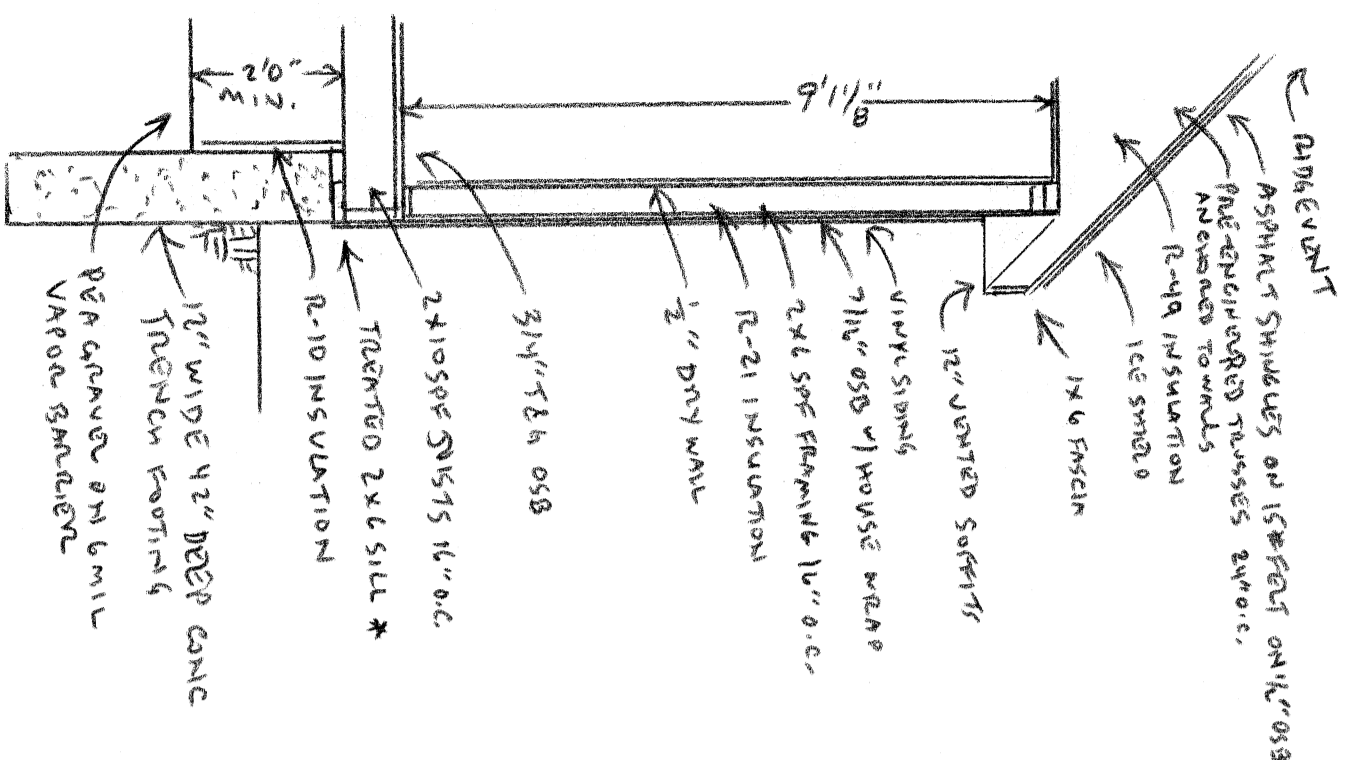
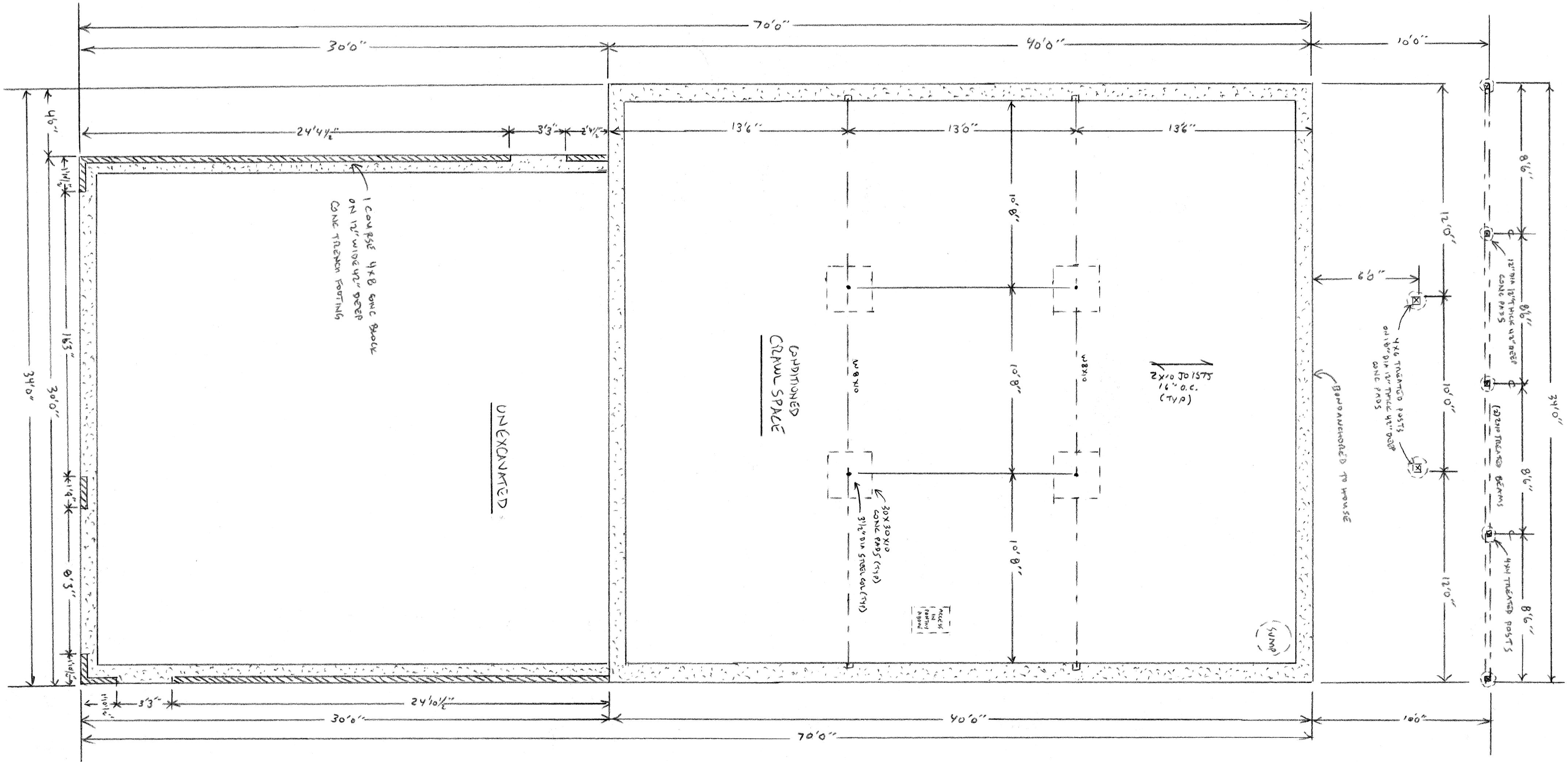
STAIRCASE SECTION
SCALE = 3/8" = 1'0"



BALCONY ROOF DETAIL
SCALE = 3/8" = 1'0"

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



* MEMBERS 12" FROM CORNERS 6 7/2" O.C.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'0" 1340

NOTE: EXT 2X6 WALLS DRAWN 6 1/2" THICK
INT 2X4 WALLS DRAWN 4 1/2" THICK

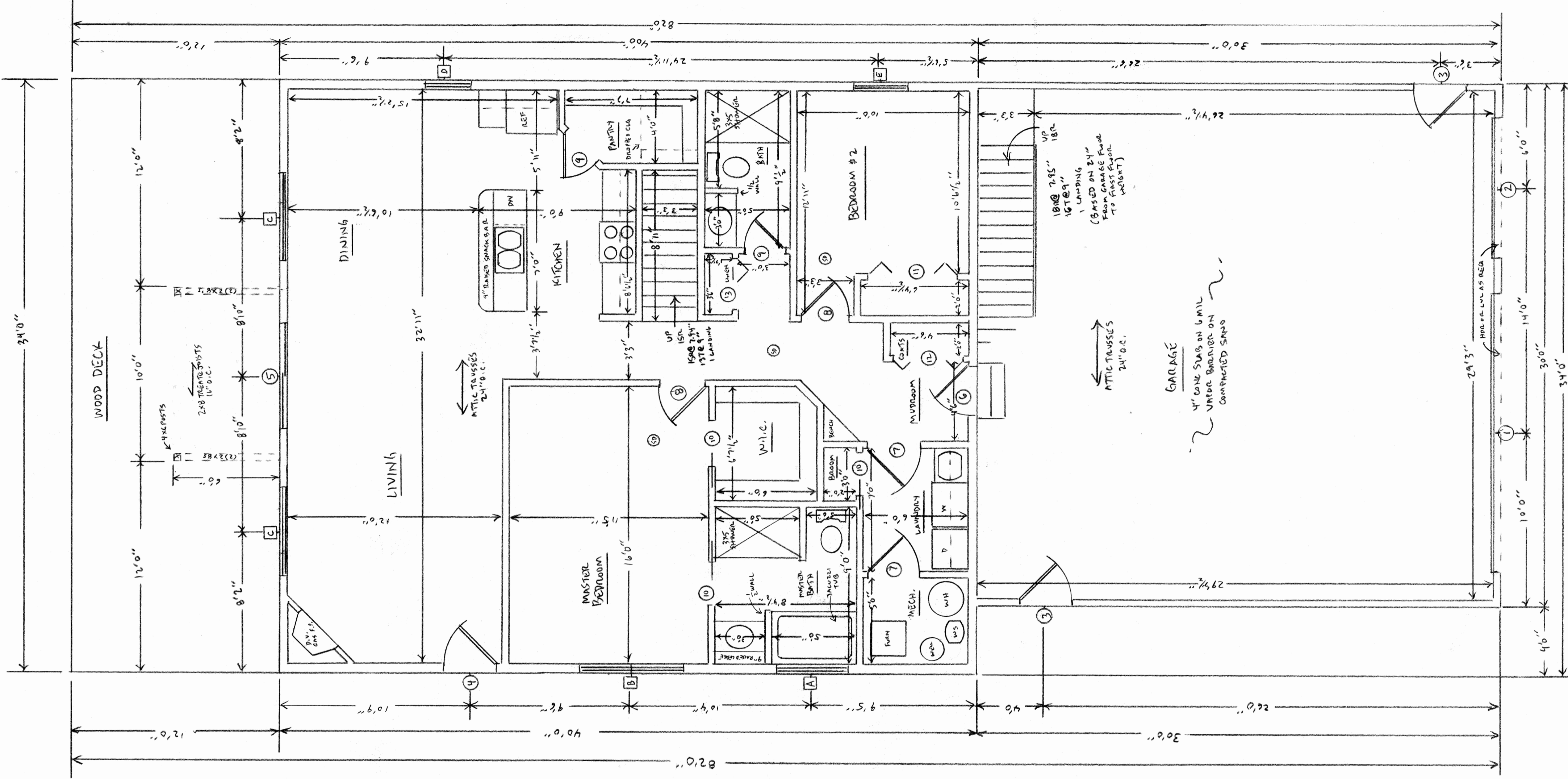
NOTE: 2x12 HORS OVER EXT DOORS & WINDOWS
NOTE: SMOKE DETECTORS W/ALARM SERIES
WITH BATTERY BACKUP

NOTE: BUILDER TO DETERMINE FURN. LOC.

DOOR SCHEDULE	
KEY	DESC
1	OVERHEAD GARAGE
2	OVERHEAD GARAGE
3	1/2 GLASS EXT
4	DECORATIVE GLASS EXT
5	SLIDING GLASS
6	FIRE-RATED
7	INT. SWING
8	INT. SWING
9	INT. SWING
10	POCKET
11	BIFOLD
12	BIFOLD
13	BIFOLD

WINDOW SCHEDULE	
KEY	DESC
A	TWIN CASEMENT
B	(2) 3'4" DH MOLDED
C	TWIN CASEMENT
D	D.H.
E	D.H.

NOTE: SIZES VARY BY MFR.



SECOND FLOOR PLAN

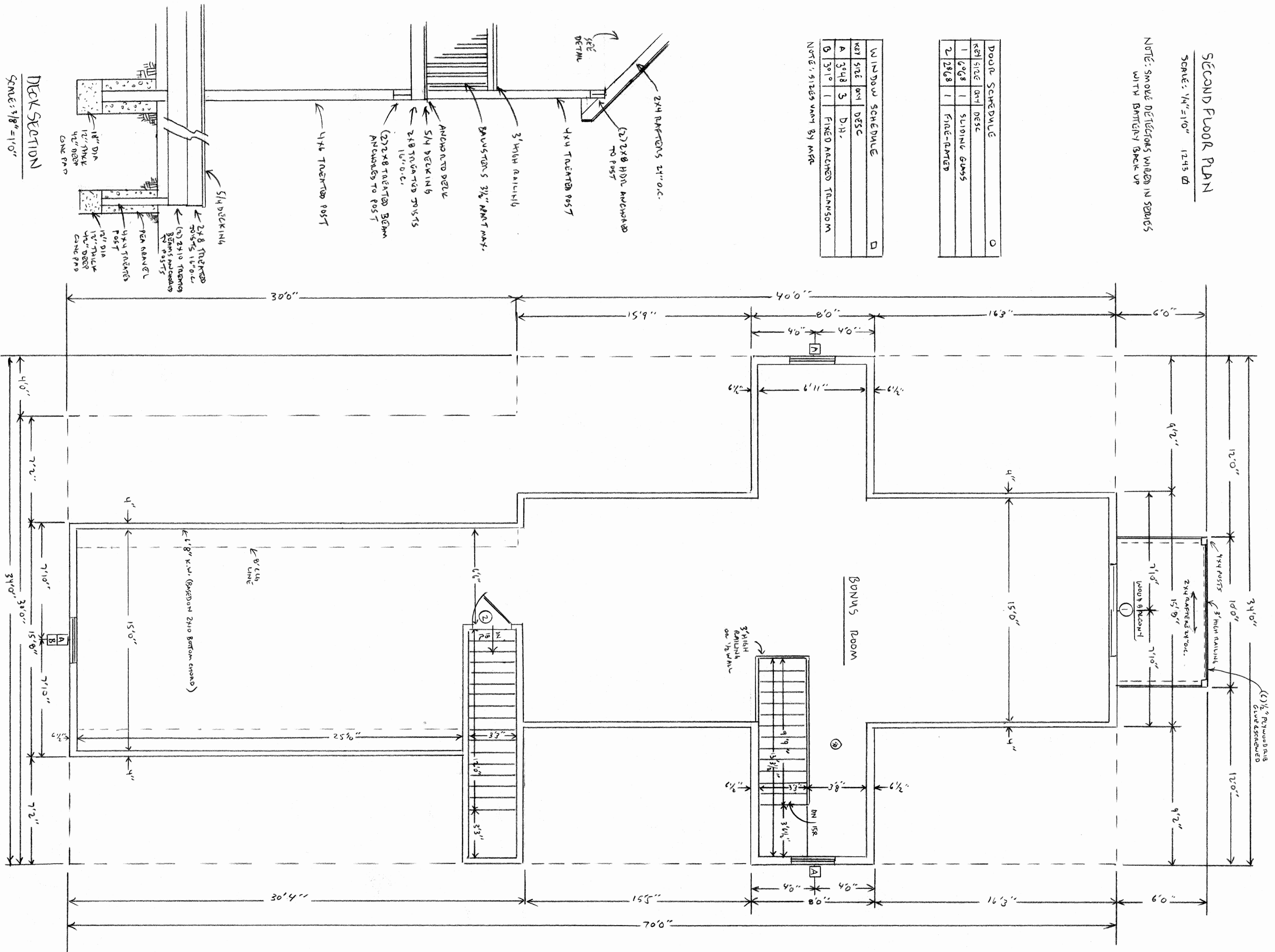
SCALE: 1/4" = 1'-0" 1243 07

NOTE: SMOKE DETECTORS W/IN IN SERIES WITH BATTERY BACK UP

DOOR SCHEDULE	
KEY	DESC
1	6'0" x 8'0" SLIDING GLASS
2	2'8" x 8'0" 1" FRAME-RATED

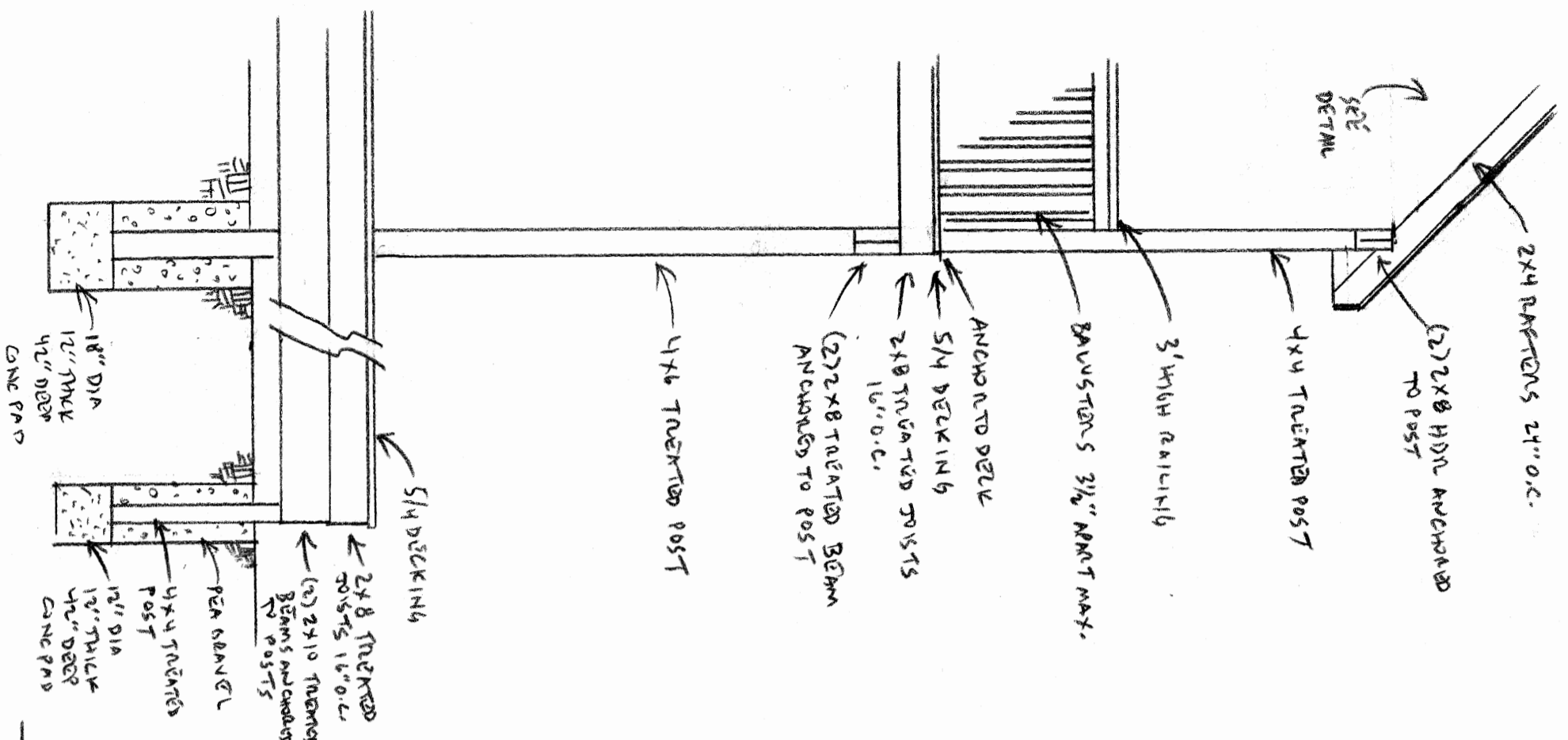
WINDOW SCHEDULE			
KEY	SIZE	QTY	DESC
A	3'0" x 3'0"	3	D.H.
B	3'0" x 1'0"	1	FIXED RATCHED TRANSOM

NOTE: 912ES VANT BY MFR



DECK SECTION

SCALE: 3/8" = 1'-0"



15-05 Area Map



1 inch = 150 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate.
This is not a survey.

Source: Livingston County GIS Department

15-05 House Width Study Area



1 inch = 150 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate.
This is not a survey.

Source: Livingston County GIS Department

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

04/13/2015 2:24 PM

Parcel:	4711-10-201-023	Current Class:	401.401 RESIDENTIAL-IMPROVED
Owner's Name:	ROSE BARBARA J	Previous Class:	401.401 RESIDENTIAL-IMPROVED
Property Address:	GARAGE ONLY	Gov. Unit:	4711 GENOA CHARTER TOWNSHIP
		MAP #	V15-05
		School:	47070 HOWELL
		Neighborhood:	4309 4309 LK CHEMUNG LAKEFRONT
Liber/Page:	/	Created:	//
Split:	//	Active:	Active
Public Impr.:	None		
Topography:	None		

Mailing Address:

ROSE BARBARA J
3786 NOBLE AVE.
BRIGHTON MI 48116

Most Recent Sale Information

Sold on 02/26/2015 for 110,000 by TASIC, DANIEL ESTATE OF.

Terms of Sale: ARMS-LENGTH

Liber/Page:

Most Recent Permit Information

None Found

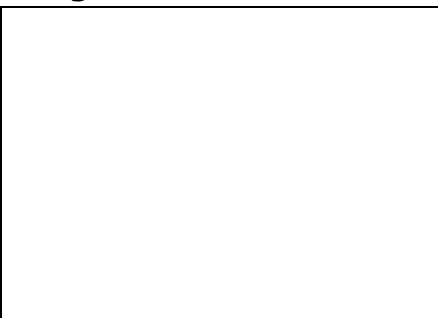
Physical Property Characteristics

2015 S.E.V.:	63,500	2015 Taxable:	27,187	Lot Dimensions:	
2014 S.E.V.:	62,800	2014 Taxable:	26,759	Acres:	0.25
Zoning:	LRR	Land Value:	115,000	Frontage:	50.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	221.0

Improvement Data

of Residential Buildings: 1
Year Built: 0
Occupancy: Single Family
Class: CD
Style: CD
Exterior: Wood Siding
% Good (Physical): 93
Heating System: Forced Air w/ Ducts
Electric - Amps Service: 0
of Bedrooms: 0
Full Baths: 1 Half Baths: 0
Floor Area: 0
Ground Area: 0
Garage Area: 576
Basement Area: 0
Basement Walls:
Estimated TCV: 12,066

Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
TASIC, DANIEL ESTATE OF	ROSE BARBARA J	110,000	02/26/2015	TA	ARMS-LENGTH		BUYER	100.0			
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status			
GARAGE ONLY		School: HOWELL									
Owner's Name/Address		P.R.E. 0%									
ROSE BARBARA J 3786 NOBLE AVE. BRIGHTON MI 48116		MAP #: V15-05		2015 Est TCV 127,066 TCV/TFA: 0.00							
Tax Description		X	Improved	Vacant	Land Value Estimates for Land Table 00004.LAKE CHEMUNG						
SEC. 10 T2N, R5E, MC NAMARA'S SUB LOT 20		Public Improvements		* Factors *				Value			
Comments/Influences		Dirt Road		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
		Gravel Road		LAKE FRONT	50.00	221.00	1.0000	1.0000	2300	100	115,000
		Paved Road		50 Actual Front Feet, 0.25 Total Acres Total Est. Land Value = 115,000							
		Storm Sewer									
		Sidewalk									
		Water									
		Sewer									
		Electric									
		Gas									
		Curb									
		Street Lights									
		Standard Utilities									
		Underground Utils.									
		Topography of Site									
		Level									
		Rolling									
		Low									
		High									
		Landscaped									
		Swamp									
		Wooded									
		Pond									
		Waterfront									
		Ravine									
		Wetland									
		Flood Plain									
		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value			
Who	When	What	2015	57,500	6,000	63,500		27,187C			
			2014	57,500	5,300	62,800		26,759C			
			2013	55,000	4,700	59,700		26,338C			
			2012	55,000	4,700	59,700		25,721C			

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Licensed To: Township of Genoa, County of Livingston, Michigan

*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 576 % Good: 43 Storage Area: 0 No Conc. Floor: 0
X	Wood Frame		Drywall Paneled		Plaster Wood T&G											
Building Style: CD		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj			CntyMult		Size Cost	
Yr Built 0	Remodeled 0	Ex	X	Ord		Min	0 Amps Service			Rate			Rate		Size Cost	
Condition for Age: Good		Lg	X	Ord		Small	No Heating/Cooling			Phy/Ab.Phy/Func/Econ/Comb.%Good= 93/100/100/100/93.0,			E.C.F.		Depr.Cost = 0	
Room List		(5) Floors		Kitchen: Other: Other:			No./Qual. of Fixtures			Separately Depreciated Items:			(17) Garages		Class:C Exterior: Siding Foundation: 42 Inch (Unfinished)	
	Basement 1st Floor 2nd Floor Bedrooms	Kitchen: Other: Other:		(6) Ceilings			No. of Elec. Outlets			Base Cost			19.20		576 11,059	
(1) Exterior				Ex. X Ord. Min			Average Fixture(s)			County Multiplier = 1.47 =>			Cost New =		16,257	
X	Wood/Shingle Aluminum/Vinyl Brick			Many X Ave. Few			1 3 Fixture Bath			Phy/Ab.Phy/Func/Econ/Comb.%Good= 43/100/100/100/43.0,			Depr.Cost =		6,991	
	Insulation	(7) Excavation		Basement: 0 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0			2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Total Depreciated Cost =			6,991		Total Depreciated Cost =	
(2) Windows		Many Avg. Few		X Avg. Small		(8) Basement			ECF (4309 LK CHEMUNG LAKEFRONT)			1.726 => TCV of Bldg: 1 =			12,066	
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(9) Basement Finish			(13) Plumbing			Total Depreciated Cost =			6,991		Total Depreciated Cost =	
(3) Roof		Recreation SF Living SF Walkout Doors No Floor SF		(14) Water/Sewer			Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic			Total Depreciated Cost =			6,991		Total Depreciated Cost =	
X	Gable Hip Flat	Gambrel Mansard Shed		(10) Floor Support			Lump Sum Items:			Total Depreciated Cost =			6,991		Total Depreciated Cost =	
X	Asphalt Shingle	Joists: Unsupported Len: Cntr.Sup:								Total Depreciated Cost =			6,991		Total Depreciated Cost =	
Chimney: Brick										Total Depreciated Cost =			6,991		Total Depreciated Cost =	

*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
MARCH 17, 2015
6:30 P.M.**

MINUTES

Chairperson Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were as follows: Marianne McCreary, Jean Ledford, Jerry Poissant and Jeff Dhaenens. Also present was Township staff member Ron Akers. Figurski was absent. There were 2 people in the audience.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: **Moved** by McCreary, seconded by Ledford to approve the agenda with placing item #1 at the end of the agenda for discussion. **Motion passed.**

Call to the Public: was made with no response. (*Please Note: The Board will not begin any new business after 10:00 p.m.*)

15-03 ... A request by Carol and Jack Gatewood, 1022 S. Hughes Road, a variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.

Ted Maguran, 11037 Auburndale Street, Livonia, MI 48150, was present for the petitioner. Mr. Maguran has represented the petitioner in various construction projects for 25 years. He gave a brief overview of the requests that they are seeking. He stated that the parcel is 90 foot wide and it has a high water table. The petitioner is trying to achieve a beautifully aesthetic house.

Dhaenens stated that he is looking for a hardship with the land and the zoning as to why they cannot conform. Mr. Maguran stated that the petitioners are choosing to construct a home that would not create water problems since the water table is high by constructing a crawl space. McCreary questioned if the petitioners tried to conform within the setbacks when designing the structure and stay within the building envelope. Mr. Maguran stated that the home would have to be built on a slab if he tried to stay within the height requirements.

Dhaenens and Ledford recommended that the petitioner request to be table until next meeting to give the owners time to take into consideration of the Board's recommendations due to the Board struggling to find a hardship with the property also due to the petitioner has to come back to the next meeting for the waterfront variance.

A call to the public was made with the follow response: 2650 Springhill Drive, stated that they are an elderly couple building on a slab and that would be out of the question for someone with arthritis.

Moved by Ledford, supported by McCreary to table case# 15-03, 1022 Hughes Road, until the next regularly scheduled meeting which is April 21, 2015 per petitioner's request. **Motion passed.**

14-25 ... A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building to construct a detached accessory structure.

Akers stated that he had a discussion with the Planning Director to find if there were any time stipulations on the variance requests with regards to postponing and Akers recommended postponing decision on the case with an end date for when a decision will be made.

Moved by Poissant, supported McCreary to table case #14-25, until the April 21st, 2015 meeting with the condition that a decision will be made at that meeting regardless if the applicant is present or not. **Motion passed**

Administrative Business:

1. **Approval of Minutes:** **Moved** by McCreary, supported by Ledford to approve the February 17, 2015 Zoning Board of Appeals meeting minutes with typographical corrections.
2. **2014 Year End Report Executive Summary:** Akers stated that he compiled the Executive Summary after the comments from the last meeting. Askers gave a brief overview of the 2014 Year End Executive Summary. **Moved** by Ledford, supported by McCreary to accept the 2014 Year End Executive Summary with minor corrections. **Motion passed.**
3. **Correspondence:** Akers stated that included in the packet is information from Mr. Schindler that will keep the members apprised of zoning and planning issues.
4. **Township Board Representative Report:** Ledford stated at the March 2, 2015 Board meeting, the budget was reviewed and March 16, 2015 Board meeting, several changes were approved to the budget including salary increases, and a cable franchise agreement with Comcast was approved.
5. **Planning Commission Representative Report:** The March Planning Commission meeting was canceled due to lack of agenda items.
6. **Zoning Official Report:** Akers stated that as soon as the weather turned warmer the permits and calls have picked up. The new ordinance officer has been doing a great job with ordinance violation and signs. Akers is finalizing the CIP and they are looking at doing a joint meeting on March 30, 2015. Akers and Poissant attended a meeting regarding the legal views for the Zoning Board of Appeals and on Finding of Fact included in the decisions and motions.

7. **Member Discussion:** McCreary questioned if anything could be added to our policy and procedures in regards to postponing variance requests. Akers stated that there has not been many instances that it has occurred.
8. **Adjournment: Moved** by Ledford, supported by McCreary to adjourn the March 17th, 2015 Zoning Board of Appeals meeting at 7:30 p.m. **Motion passed.**

Ron Akers

From: Schindler, Kurt <schindl9@anr.msu.edu>
Sent: Monday, March 16, 2015 11:14 AM
To: Schindler, Kurt
Subject: Urban Livestock Report, Citizen Planner, FOIA, Foster Care facilities

Dear everyone:

There are four items in this (March 15, 2015) email:

1. Report: Urban agriculture/livestock report released
2. Training: Citizen Planner at four locations around Michigan
3. Legislation: Freedom of Information Act
4. Legislation: Adult foster care facilities.

Follow this link for news articles on various land use/planning topics, with new postings every week:
<http://msue.anr.msu.edu/topic/info/planning>.

Even the smallest egg farms are multi-layer organisations.

-----kurt

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1. The Michigan Department of Agriculture and Rural Development released, today, the *Urban Livestock Workgroup - Recommendations Report To Director Jamie Clover Adams and State Senator Joe Hune*. This report includes recommendations for handling agricultural activities in urban and urban-like locations (e.g., content of local zoning regulation, if any). The report reflects both majority and minority positions of the workgroup on the topic.

Included in "Appendix A" of the report is the *Urban Livestock Technical Group Report; Urban Livestock Technical Workgroup Guidelines* which covers recommendations for practices (and zoning ordinance content) concerning urban agriculture soils; livestock health, housing, nutrition/feeding/forage, feed storage, slaughter, euthanasia; waste and manure management; runoff; fencing and trees; pest control (pesticide and other chemical drift). The report reflects the thinking of faculty at Michigan State University and MSU Extension, specialists with the Michigan Department of Agriculture and Rural Development and the Detroit City Planner.

Coming soon will be an MSU Extension Land Use Series sample zoning text for urban livestock. The sample will also be written to cover more than just urban livestock. It will also cover an approach to drafting zoning on agriculture that is structured so it does not have to be updated (when Generally Accepted Agricultural and Management Practices (GAAMPs) are annually updated), and:

- Regulation of agricultural activities not covered by the Right to Farm Act (RTFA) and GAAMPs (remember the RTFA says local government cannot regulate anything already covered in RTFA or GAAMPs. But that also means local government can regulate things not in RTFA or GAAMPs).
- Municipalities with a population of 100,000 or more in which a zoning ordinance has been enacted to allow for urban agriculture (that designates existing agricultural operations present as non-conforming uses).
- Category 4 sites for livestock operations (in the GAAMP for Site Selection and Odor Control for New and Expanding Livestock Facilities)

- Vehicle access and egress, building setbacks, parking (but not the surface of the parking lot), signs for Farm Markets (in the GAAMP for Farm Markets)
- Beer breweries, bonfires, camping, carnival rides, concerts, corn mazes, distilleries, fishing pond, haunted barns/trails, mud runs, play-scapes, riding stables, and winery/hard cider associated with Farm Markets (in the GAAMP for Farm Markets)

We do not have a timeline for completion of this work, but the goal is to be done this spring. Many local governments have been wishing to amend zoning to try to find a compromise to accommodate various forms of urban agriculture, and have been trying to have those amendments in place for this coming season. We have been advising local governments to wait until this sample zoning is done and the MDARD *Urban Livestock* report is done. The first of the two is now completed.

For a simple review of RTFA and GAAMPs limitations on what can be regulated locally see *Right to Farm Act can preempt local regulation authority, but not all local regulations:*

http://msue.anr.msu.edu/news/right_to_farm_act_can_preempt_local_regulation_authority_but_not_all_local

For a more detailed review of RTFA and GAAMPs limitations on what can be regulated locally see *What sorts of local regulations are preempted by the Right to Farm Act (RTFA):*

<http://lu.msue.msu.edu/pamphlet/Blaw/RightToFarmAct%20LocalRegulationPreemptionTable.pdf>

Copy of the report released

today: http://www.michigan.gov/documents/mdard/Urban_Livestock_Workgroup_Report_w_Technical_Workgroup_Guidelines_031315_484099_7.pdf and also at <http://lu.msue.msu.edu/pamphlet/Blaw/UrbanLivestockWorkgroupReportTechnicalWorkgroupGuidelines20150313.pdf> (at web page <http://lu.msue.msu.edu/pamphlets.htm#UrbLivestockMDARD>.)

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2. Michigan State University Extension is offering its premiere Michigan Citizen Planner program at several locations this fall and winter: Ogemaw County, Wednesdays April 8 to May 27, 2015; Genesee County, Wednesdays April 15 to June 3, 2015; Chippewa County, Thursdays April 23 to June 4, 2015; and Antrim County April 30 to June 25, 2015.

Of the participants in 2012 Citizen Planner programs, 91% rated the instructors as ‘very good’ or ‘excellent’ and 94% of participants rated the level of knowledge after attending the sessions as ‘good’ to ‘excellent’.

“Provides such high-quality, proactive information; I can’t imagine getting anything better from any other source” said one student about the course. “Presenter was very nice, genuine and authentic” and “good material – great innovative possibilities” are other typical comments from those who have taken Citizen Planner.

The course fee is \$295 per participant for the complete core program. Group discounts are available. Cost is \$275 per participant for groups of three or more from the same municipality, and a larger discount if a planning commission quorum or more attends. The fee covers registration, course materials and refreshments. Participants that complete all seven sessions will receive a certificate of completion and may continue on to become Master Citizen Planners.

Scholarships for attending Citizen Planner may be available from a government’s liability insurance provider, such as the Michigan Municipal Risk Management Authority, Michigan Township Participating Plan, and others. The scholarships are offered because this training is viewed as an important strategy to avoid liability risk and associated costs to local taxpayers. The training includes proper procedure for planning and zoning, and knowledge to avoid compromising people’s due process and private property rights, as well as much more.

Instructors for the training program include MSU Extension educators who specialize in land use planning, law and zoning; planning professionals; and attorneys. The course includes multiple instructors so participants receive different perspectives. The seven-class series includes:

1. Introduction to Planning and Zoning: Smart Growth and the New Economy, Conflict of Interest and Planning Resources
2. Legal Foundations of Planning and Zoning: Cases, Statutes and other Planning Authority
3. Roles and Responsibilities, Part I: Master Plan and Planning Process, Sub-Area Plans, and Working with the Public

4. Roles and Responsibilities, Part II: Zoning, Site Plans and Zoning Board of Appeals Process
5. Plan Implementation and Development Controls: Subdividing Land, Zoning Controls and Non-Regulatory Techniques
6. Best Practices for Innovative Planning and Zoning: Green Development, Form-Based Code, Traditional Neighborhood Design and Conservation Design
7. The Art of Community Planning: Participation, Effective Meetings and Managing Conflict

Citizen Planner is being offered at the following locations with links to registration for each. Anyone from anywhere can attend whichever class series they wish.

- **Ogemaw County:** Wednesdays April 8, 15, 22, 29, May 6, 20, 27, 2015. At West Branch City Hall chambers, 121 N. Fourth Street, West Branch Michigan. (Registration deadline is April 1, 2015.) For more information and registration: <http://events.anr.msu.edu/CPOgemaw>
- **Genesee County:** Wednesdays April 15, 2, 29, May 6, 20, 27, June 3, 2015. At Clayton Charter Township Hall, 2011 South Morrish Road, Swartz Creek, Michigan. (Registration deadline is April 8, 2015.) For more information and registration: <http://events.anr.msu.edu/CPGenesee>
- **Chippewa County:** Thursdays April 23, 30, May 7, 14, 21, 28, June 4, 2015. At Eastern U.P. Intermediate School District, 315 Armory Place, Sault Ste. Marie, Michigan 49022. (Registration deadline is April 16, 2015.) For more information and registration: <http://events.anr.msu.edu/CPSSM15/>
- **Antrim County:** Thursdays April 30, May 7, 21, 28, June 4, 18, 25, 2015. At Torch Lake Township Hall, 2356 N. U.S.-31, Kewadin, Michigan. (Registration deadline is April 23, 2015.) For more information and registration: <http://events.anr.msu.edu/CPAntrim/>

If you need assistance registering contact Janean Danca at (269) 657-8213. Payment can be made by credit card, check, or invoiced for payment.

For information on Citizen Planner see: http://msue.anr.msu.edu/program/info/michigan_citizen_planner

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3. HB 4283 of 2015 and SB 0181 of 2015: A bill to include as “public bodies” the Michigan Legislature and governor’s office. The bill amends section 2 of the Freedom of Information Act (1976 PA 442 (MCL 15.232)). The House bill was referred to the House Committee on Government Operations. The Senate bill was referred to the Senate Committee on Government Operations.

Copy of the House introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4283.pdf>

Copy of the Senate introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/Senate/pdf/2015-SIB-0181.pdf>

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4. SB 0203 of 2015: A bill to allow local government to require obtaining special use permit(s) for certain adult foster care facilities. Amends the Michigan Zoning Enabling Act, sec. 206 of 2006 PA 110 (MCL 125.3206). The bill was referred to the Senate Committee on Local Government.

Copy of the introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/Senate/pdf/2015-SIB-0203.pdf>

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To search for and find land use (planning and zoning) training: Visit this [link](#), or build your own search parameters by bookmarking/favorites: <http://msue.anr.msu.edu/events> or an advanced search system at: http://msue.anr.msu.edu/events/advanced_search and then do anyone or combination of the following:

- Under *Topic Areas* expand “community” and check “planning for all planning and zoning related training.
- Under *Programs* check “Michigan Citizen Planner” to find the 7 core classes offered.
- Under *Certifications Available* check “Master Citizen Planner” for master citizen planner credit offerings.
- Under *Counties* select those counties you would be willing to travel to, for the class.

For topical news articles on community development (civic engagement, conflict resolution, facilitation, economic development, government, fiscal management, visit: <http://msue.anr.msu.edu/topic/info/community>.

To find an MSU Extension Educator with land use expertise visit:
http://msue.anr.msu.edu/program/info/land_use_education_services (scroll to the bottom of the page).

Schindler's Land Use Page: www.msue.msu.edu/lu

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Ron Akers

From: Schindler, Kurt <schindl9@anr.msu.edu>
Sent: Wednesday, April 01, 2015 10:26 AM
To: Schindler, Kurt
Subject: FOIA, Citizen Planner Advanced Academy, Fireworks, OMA, Wireless communication

Dear everyone:

There are five items in this (April 1, 2015) email:

1. Legislation: Update for FOIA; local government must act on a policy before July 1, 2015
2. Training: Citizen Planner Advanced Academy
3. Legislation: Fireworks local regulation
4. Legislation: Open meeting act
5. Update: Materials on wireless communication and zoning jurisdiction

Follow this link for news articles on various land use/planning topics, with new postings every week:

<http://msue.anr.msu.edu/topic/info/planning>.

No pun today. Instead read

this: http://msue.anr.msu.edu/news/growing_utility_poles_is_forestry_not_farming_appeals_court_rules

(You will need to read it before Friday April 3, 2015, as it will disappear then.)

-----kurt

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1. A FOIA update: There has been significant and important amendments to the Michigan Freedom of Information Act. These require immediate attention by all public bodies/local governments to avoid rather significant consequences for the public body/local government. For more on this read this article: http://msue.anr.msu.edu/news/major_amendments_to_the_freedom_of_information_act_require_local_government

Also, MSU Extension is offering training on this topic. See the end of the article for more information about that.

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2. 2015 Citizen Planner Advanced Academy: At the Okemos Conference Center on June 11, 2015, 9am-4pm. Check-in starts at 8am.

The 2015 Advanced Academy will look at development and redevelopment through the lens of Partnerships and Practice.

Partnerships are critical for taking projects from conception to construction, whether they include public, private, institutional, and/or non-profit partners. Hear from a panel including development, planning and zoning department, and state agency interests on what makes an effective partnership and what it takes to get through the development planning, review, and approval process successfully. Morning break-out sessions on case studies from urban, small town, and rural jurisdictions will also provide insights into development and redevelopment process, including lessons learned.

Practice consists of the skills and knowledge needed to review a project in light of the applicable standards at the local government level. Hone your working knowledge of site plan review and making determinations on variance requests—knowledge that is critical to seeing many (re)development projects

through. The catch is doing so in a timely fashion while ensuring all standards of the project are met. Also learn techniques for streamlining the zoning ordinance, both in terms of readability and policy changes.

Whether it's Partnership or Practice, the 2015 Advanced Academy will provide valuable, research-based information for you as a local leader.

Cost: \$110 on or before May 15; \$130 after May 15. Master Citizen Planners register for \$90 on or before May 15; \$110 after May 15.

If you would like more information: <http://events.anr.msu.edu/event.cfm?folder=CPAA15>

To register: <http://events.anr.msu.edu/CPAA15>

and download the attached flyer. If you have current mailing lists for potential participants please send them to me.

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3. HB 4367 of 2015: A bill that would allow local unit of government's regulation of the ignition, discharge, and use of consumer fireworks other than the day preceding, day of, or day after Independence Day. The bill would amend sections . 7 & 12 of 2011 PA 256 (MCL 28.457 & 28.462). The bill was referred to the House Committee on Regulatory Reform.

Copy of the introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4367.pdf>

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4. HB 4387 of 2015: A bill that would add the catastrophic claims association subject to open meetings act. The bill would amend sections 2 & 3 of 1976 PA 267 (MCL 15.262 & 15.263). TIE BAR WITH: HB 4386'15. The bill was referred to the House Committee on Insurance.

Copy of the introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4387.pdf>

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5. Updated material on wireless communications, to add discussion about the 60 versus 90 day deadline potential confusion and a new sample zoning text for wireless communications.

See: <http://lu.msue.msu.edu/pamphlets.htm#Wireless>

Updated *Land Use Series* "Limits and parameters on local and state regulation of wireless communication": <http://lu.msue.msu.edu/pamphlet/Blaw/Pamphlet%20BroadbandAndWireless.pdf>

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