

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
APRIL 27, 2015  
6:30 P.M.  
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC:

*(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

**OPEN PUBLIC HEARING #1...** Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

**Planning Commission recommendation of petition**

- A. Recommendation regarding PUD Agreement Amendment. (03-12-15)
- B. Recommendation of Environmental Impact Assessment. (03-27-15)
- C. Recommendation of Site Plan. (04-20-15)

**OPEN PUBLIC HEARING #2...** Review of a special use, sketch plan, and environmental impact assessment, for proposed outdoor storage, sales, and display, including mulch, landscape supplies, and brick pavers, located at 7949 W. Grand River, Brighton, Michigan, parcel # 4711-13-400-025. The request is petitioned by Nelligan's Outdoor Services.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (04-09-15)
- C. Recommendation of Sketch Plan (04-09-15)

**OPEN PUBLIC HEARING #3...** Review of a special use, sketch plan, and environmental impact assessment for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene, located at 7669 Brighton Road, Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (03-16-15)
- C. Recommendation of Sketch Plan (05-14-14)

**Administrative Business:**

- *Staff report*
- *Approval of April 15, 2015 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*



**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

GENOA TOWNSHIP  
DEC 01 2014

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

APPLICANT NAME & ADDRESS: Jim Blair, 10050 Innovation Dr., Suite 100, Dayton, OH 45342  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: GCG Howell, Ltd., 10050 Innovation Dr., Suite 100, Dayton, OH 45342

SITE ADDRESS: 3950 E Grand River Ave, Howell, MI PARCEL #(s): 11-05-400-047

APPLICANT PHONE: 937-424-3904 OWNER PHONE: 937-434-7218

OWNER EMAIL: jblair@rgproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Lot 4 of the Livingston Commons shopping center

BRIEF STATEMENT OF PROPOSED USE: ~~redevelopment of existing outparcel for a new multi-tenant retail building.~~ NEW FREE STANDING <sup>JMB 11/19/15</sup>  
PANERA BREAD

THE FOLLOWING BUILDINGS ARE PROPOSED: ~~12,000 SF of mutli-tenant retail~~  
4,386 SF. FREE STANDING PANERA BREAD <sup>JMB 11/19/15</sup>

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: [Signature]  
ADDRESS: 10050 Innovation Dr., Suite 100, Dayton, OH 45342


GENOA TOWNSHIP  
DEC 01 2014

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) <u>Jim Blair</u>	of <u>RG Properties, Inc.</u>	at <u>jblair@rgproperties.com</u>
Name	Business Affiliation	E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 11/20/14

PRINT NAME: Jim Blair PHONE: 937-424-3904

ADDRESS: 10050 Innovation Dr., Suite 100, Dayton, OH 45342

Meijers parking lot finished. There is approximately 12 feet unconnected. He feels it would be a better location for the ATM.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (03-05-15)
- C. Recommendation of Site Plan (02-20-15)

The petitioner requests to table this review. **Motion** by James Mortensen to table this matter until the 05/11/15 Planning Commission meeting. Support by Barbara Figurski. **Motion carried unanimously.**

**OPEN PUBLIC HEARING #4...** Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Jim Blair of RG Properties, Dan Kelp with Panera, and Matthew with Arc Vision addressed the Planning Commission. They are seeking approval for the demolishing of a building and to erect a Panera Bread restaurant building with a drive-thru restaurant building next door.

Panera is undergoing design changes for their standard buildings. A materials board was provided. There is a patio planned at this location, as well.

There are two parking spaces that should be deleted. Additionally, the curb should be mountable in order to escape the drive-thru. Mr. Rauch expressed his concerns about the driving lanes. Bo Gunlock pointed out that the curb cuts are existing. Chairman Brown indicated that's already understood. Mr. Rauch showed the petitioner his suggested changes.

Mr. Borden addressed the unresolved issues in his letter of April 6, 2015. There should be some sort of signage about pedestrians, such as "Ped X'ing" on the pavement. The petitioner is proposing to retain existing landscaping in the green belt. There are no details to determine if ordinance has been met. The lighting plan is not specific as to what lights will be used. More detail is needed. There are three monument signs proposed.

Ayes: Lowe, Mortensen, Figurski, Rauch (4)  
Nays: Grajek (1)

**Motion carried.**

**OPEN PUBLIC HEARING #5...** Review of a sketch plan for a proposed 876 sq. ft. office addition located at 5000 E. Grand River Avenue, Howell, Michigan, parcel # 4711-10-300-007. The request is petitioned by Champion Chevrolet.



April 24, 2015

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
<b>Subject:</b>	Redevelopment of Livingston Commons Lot #4 – Site Plan Review #5
<b>Location:</b>	Southwest corner of Grand River Avenue and Latson Road
<b>Zoning:</b>	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan (dated 4/20/15) proposing the construction of a new drive-through restaurant (Panera) for the 2.03-acre site formerly occupied by Bennigan's.

The site is located at the southwest corner of Grand River Avenue and Latson Road within Phase I of the Livingston Commons PUD, which is zoned NR-PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

As a side note, the Planning Commission tabled the request at their April 13, 2015 meeting allowing the applicant to modify the plans. Of specific concern was the potential traffic conflict/congestion in between the two proposed drive-through restaurants.

**A. Summary**

1. The project proposes several amendments to the PUD Agreement.
2. The Planning Commission has approval authority over the building elevations, including materials and colors.
3. The height of the parapet must be sufficient to screen views of roof-mounted equipment.
4. In our opinion, the revisions to vehicular circulation represent a vast improvement in the proposal.
5. The Commission may wish to require additional greenbelt plantings to improve the appearance of the site and mitigate the proposal for more front yard parking than was originally allowed/expected.
6. We defer to the Township Engineer as to whether a traffic impact study is warranted.



*Aerial view of site and surroundings (looking north)*

## **B. Proposal**

The applicant requests site plan review/approval for a new drive-through restaurant, which has been identified as Panera Bread. The plans also show a future drive-through restaurant on the west side of Lot #4.

Drive through restaurants would typically require special land use approval; however, proposed amendments to the PUD Agreement would permit 2 drive-through restaurants on Lot #4 (to be divided into 4A and 4B), with future drive-through restaurants allowed in Livingston Commons with special land use approval (regardless of the 500-foot spacing requirement).

## **C. PUD Agreement**

Similar to previous submittals, the applicant proposes amendments to the existing PUD Agreement. Changes proposed include:

- Inclusion of the Red Olive site into the PUD;
- Separation of Lot #4 into two lots – 4A and 4B;
- Allowance for two drive-through restaurants on Lot #4 without the need for special land use approval;
- Allowance for future drive-through restaurants with special land use approval, but removal of the 500-foot spacing requirement; and
- Allowance for two rows of parking in the front yard of Lot #4.

As was previously discussed, inclusion of the Red Olive site is logical and will allow internal cross-access. Additionally, the inclusion of two drive-through restaurants on Lot #4 is not expected to be harmful given the site has no direct access to either main roadway and future drive-through restaurants will require special land use review to determine their potential impacts.

The proposed change allowing an increase in front yard parking can be mitigated by ample greenbelt and parking lot landscaping.

**D. Use Conditions (Drive-through Restaurant)**

Section 7.02.02(j) provides the following conditions for drive-through restaurants:

- 1. Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.**

This standard is met.

- 2. The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.**

Proposed changes to the PUD Agreement would allow drive-through restaurants regardless of spacing between uses.

- 3. Only one (1) access shall be provided onto any street.**

Lot #4 does not have direct access to either Grand River Avenue or Latson Road. Vehicular access to this part of the development will be via the existing interior service drive, which provides access to both public roadways.

- 4. Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.**

The site plan includes internal access points to the remainder of the Livingston Commons development.

**E. Site Plan Review**

- 1. Dimensional Requirements.** As described in the table below, the proposed Panera Bread complies with the dimensional standards for this PUD:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
NR-PUD	1	150	70	15	50	20 front 10 side/rear	35'	35% building 75% impervious
Proposal	2.03	270 (Latson)	112 (Grand River) 96 (Latson)	134 (NW) 145 (S)	71 (SW)	20 front 10 side 25 rear	19'-8"	6.6% building 70.2% impervious

- 2. Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

The proposed building is constructed of brick, which is consistent with the requirements in the PUD Agreement. Color renderings presented at the April 13, 2015 Planning Commission meeting demonstrated a well-designed building with architectural interest and high quality materials.

As was discussed at the previous meeting, the applicant must ensure that the height of the parapet wall will fully screen any view of rooftop-mounted equipment.



- 3. Parking.** As outlined in the table on Sheet C-2.0, 63 spaces are required for the proposed Panera restaurant. Additionally, 2 RV spaces, 3 waiting spaces and 10 stacking spaces are also required.

There are 69 spaces proposed, as well as the required stacking and waiting spaces. A note in the parking table indicates that the longer RV spaces will be provided outside of Lot 4.

The parking spaces and drive aisles meet or exceed the dimensional standards of Section 14.06 and a detail on Sheet C-2.1 identifies the use of looped (double striped) spaces.

- 4. Pedestrian Circulation.** The plan identifies the existing sidewalks along Grand River and Latson with a connection proposed between the public sidewalk and the edge of the parking lot near the intersection. Crosswalk striping has also been added to alert drivers to the potential of pedestrians at entering the site from the public sidewalk. Sidewalks are also proposed along the north and east sides of the building, separating the parking lot from the building.

- 5. Vehicular Circulation.** As previously noted, Lot #4 does not have direct vehicular access to either roadway. Instead, access is provided at 2 points to the existing internal service drive.

The stacking and vehicular circulation pattern west of the proposed building are greatly improved in the current version of the plan. The proposal now entails a larger traffic island between 4A and 4B, as well as a one-way circulation pattern adjacent to the Panera drive-through lane. This will also provide for an escape lane from the drive-through.

The loading area has also been shifted in the current plan to avoid conflicts with refuse removal. In short, we view the proposed changes to circulation as a much needed improvement from the previous version. With that being said, we will defer to the Township Engineer for any comments or concerns they may have.

- 6. Loading.** The plan identifies the required loading space at the rear of the building. As noted above, the space has been shifted to avoid any conflicts with refuse removal.

- 7. Landscaping.** We have reviewed the landscape plan as follows:

Location	Requirements	Proposed	Comments
Front yard greenbelt (Grand River & Latson)	17 canopy trees 17 evergreen trees 67 shrubs 20-foot width	Existing landscaping (noted as 5 canopy trees, 4 ornamental trees, 13 shrubs and a hedgerow) 40 new shrubs 20-foot width (minimum)	The Township may wish to require additional plantings to bring the greenbelt up to standard and to help mitigate the allowance for additional front yard parking proposed via the amended PUD Agreement
Parking lot	7 canopy trees 630 SF landscaped area Hedgerow	7 canopy trees 8,907 SF landscaped area Existing landscaping	Requirement met

As was discussed at the previous meeting, prior submittals for redevelopment of Lot #4 included significantly more landscaping than that currently proposed. However, the revised submittal represents an improvement from the prior version.

- 8. Waste Receptacle and Enclosure.** The project includes new waste receptacle areas south and southwest of the Panera building. Details on Sheet C-2.3 identify the required concrete base pad and a masonry enclosure, which will match materials used on the building.

- 9. Exterior Lighting.** The submittal includes a lighting plan (Sheet C-6.0), which proposes the installation of 4 new light poles and 7 new light fixtures on existing poles. The table identifies 3 different types (A-1, A-2 and A-3), although there is no indication of any wall mounted fixtures.

The details on Sheets C-6.0 and C-6.1 are compliant with the requirements of Section 12.03. Additionally, the photometric readings on Lot #4 are within that allowed by Ordinance.

- 10. Signs.** In total, the submittal includes 3 monument signs (2 existing structures with new sign faces added and 1 new sign for the future restaurant) and 2 wall signs. Two menu boards and 3 drive-through signs are also shown proposed.

The Ordinance allows up to 2 menu boards with a maximum size of 16 square feet per board and directional signs with no advertising are allowed at driveways. Any proposed signage in excess of current Ordinance standards should be addressed within the PUD Agreement.

A sign permit is required prior to installation of any new signage.

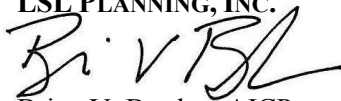
- 11. Impact Assessment.** The previous submittal included an updated Impact Assessment (dated 3/25/14). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic. The revised Assessment includes a trip generation comparison.

As was discussed at the previous meeting, we will defer to the Township Engineer as to whether a more detailed traffic impact study is needed.

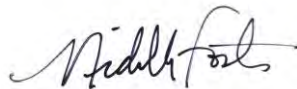
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at [borden@lslplanning.com](mailto:borden@lslplanning.com) and [foster@lslplanning.com](mailto:foster@lslplanning.com).

Sincerely,

**LSL PLANNING, INC.**



Brian V. Borden, AICP  
Principal Planner



Michelle Foster  
Project Planner



April 24, 2015

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Livingston Commons Lot 4 Redevelopment – Panera Bread Site Plan Review #2**

Dear Ms. Van Marter:

We have reviewed the response documentation and updated site plan documents for the Livingston Commons Lot #4 redesign prepared by Wade Trim dated April 20, 2015. The site is on the southwest corner of the intersection of Grand River Avenue and Latson Road. The petitioner is planning to demolish the existing Bennigan's Restaurant and develop two lots, one for a 4,383 sft Panera Bread to be constructed under this project, and the second for a future drive thru restaurant facility.

We offer the following comments for consideration by the planning commission:

**SUMMARY**

1. Indicate location of proposed water service lead for future restaurant.
2. Remove unnecessary notes.

**SITE UTILITY PLAN C-3.0**

1. The petitioner is showing measures taken to extend a 6-inch sanitary service lateral west of the proposed manhole to accommodate future connection. Please indicate on the drawings the location of where the water service lead for the future restaurant is most likely to be installed.
2. For the construction plans, make sure all old notes that no longer apply are completely removed. A note regarding hydrant construction and pavement restoration is still included near the top of the page on sheet C-3.0.

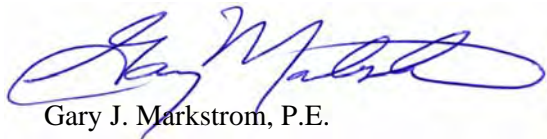
**Tetra Tech**

401 South Washington Square, Suite 100, Lansing, MI 48933  
Tel 517.316.3930 Fax 517.484.8140 [www.tetrattech.com](http://www.tetrattech.com)

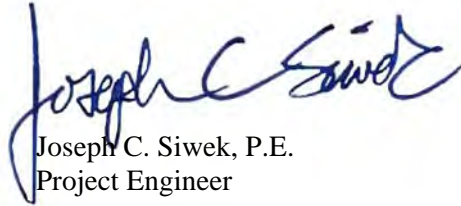
**Ms. Kelly Van Marter**  
**Livingston Commons Lot 4 Redevelopment**  
**Panera Bread Site Plan Review #2**  
**April 24, 2015**  
**Page 2**

If the petitioner corrects the aforementioned issues, then the site plan is recommended for approval. The construction plans will be required to be submitted to the MHOG Utility Department for the proposed municipal manhole. Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.  
Unit Vice President



Joseph C. Siwek, P.E.  
Project Engineer

Copy: Charles Christy, P.E., Wade Trim



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

April 22, 2015

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Panera Bread  
Lot 4 Livingston Commons Redevelopment  
3950 E. Grand River  
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 21, 2015 and the drawings are dated April 20, 2015. The project is based on a new 4,383 square foot assembly-use building. The site is an existing assembly that will be demolished for the construction of the new structure. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. *Previous submittal comments for this site appear to be addressed in this submittal.*

1. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*. **(Noted on Plan)**  
IFC 903
2. The fire protection lead must be evaluated and approved for sizing and installation by the Marion, Howell, Oceola, Genoa Water Authority (MHOG). **(Noted on Plan)**
3. Future project submittals shall include the address and street name of the project in the title block. **(Revised on Plan)**  
IFC 105.4.2
4. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. **(Address shall be on the North Elevation of the building)**  
IFC 505.1
5. The access roads into the site shall be a minimum of 26' wide; new cut through from Southern parking area is shown as 24' wide and must be corrected. Access roads to site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. **(Revised on Plan)**  
IFC D 102
6. Grassy areas located adjacent to the "Loading Zone" shall be provided with signage identifying them as fire lanes. Signs are to be installed on both sides of the drive. Details must be included in the submittal. **(Revised on Plan)**  
IFC D 103
7. Access around building shall provide emergency vehicles with an outside turning radius up to 55' and a minimum vertical clearance of 13 ½ feet. A plan with fire apparatus turning template applied will satisfy this requirement. **(Revised on Plan)**  
IFC D 102



8. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box shall be located adjacent to the front door of the structure. **(Knox Box to be installed adjacent to the rear kitchen exit door, no more than 66" above grade.)**

**IFC 506.1**

9. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Corrected on Plan. Contractor information to be provided at time of construction.)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Capt. Rick Boisvert  
Fire Inspector

COVER SHEET FOR  
AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT  
FOR PHASE I AND PHASE II LAND  
BETWEEN  
RLG HOWELL LLC AND GCG HOWELL LLC  
AND  
PKJJ, LLC  
AND  
TOWNSHIP OF GENOA  
DATED \_\_\_\_\_, 2015

Prepared By and After Recording  
Return To:  
April Ann Jordan  
Hedrick & Jordan Co., LPA  
100 E. Third Street, Suite 500  
Dayton, Ohio 45402  
937-228-3889

**STATE OF MICHIGAN  
COUNTY OF LIVINGSTON  
TOWNSHIP OF GENOA**

**AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT**

This Amendment to Planned Unit Development Agreement is made and entered into this \_\_\_ day of \_\_\_\_\_, 2015, by **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company, both of 10050 Innovation Drive, Suite 100, Dayton, Ohio 45342 (collectively, "Owner"); **PKJJ, LLC**, a Michigan limited liability company, of \_\_\_\_\_ ("PKJJ"); and **GENOA CHARTER TOWNSHIP**, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 ("Township").

**RECITATIONS:**

Owner possesses fee title to certain real property located in Genoa Charter Township, Livingston County, State of Michigan, described in that certain Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan (the "Phase I PUD").

Subsequent to the Phase I PUD, Owner and Township entered into that certain Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (the "Phase II PUD"). The Phase I PUD applied to Phase I and Phase II land described therein, and the Phase II PUD modified provisions pertaining to Phase II.

In 2011 Owner and Township considered a further Amendment to the Phase I PUD Agreement that contemplated the reconfiguration of Lot #4 into two sub-lots; provided however the amendment was never finalized or executed, and as such is of no force or effect.

Pursuant to Article IV, Internal Road Network, subsection 4.1, the Phase I PUD contemplated that the property formerly owned by the Prairie House Restaurant and now owned by PKJJ (the "Red Olive Parcel") described on Exhibit A attached hereto could benefit from an easement established by Owner over and across the Red Olive Parcel.

Owner and PKJJ have agreed to amend Owner's existing Declaration of Restrictions and Easements for Outlots dated September 2, 1999, recorded September 10, 1999, at Liber 2652, Page 0082 of the records of Livingston County, Michigan (the "Declaration") to provide the Red Olive Parcel with access over the access ways on the adjacent lands of Owner and to subject the Red Olive Parcel to the terms of the Declaration.

Further, Owner and Township have agreed to amend the provisions of the Phase I PUD and Phase II PUD regarding pylon signage and the construction of a Township identification sign.



Further, Owner and Township have now agreed to amend the provisions of the Phase I PUD Agreement to provide for the reconfiguration of Lot #4 into two (2) separate lots, to be known as Lot #4A and Lot #4B.

In connection therewith, Owner and PKJJ wish to amend the Phase I PUD and the Phase II PUD to subject the Red Olive Parcel thereto; to modify the signage provisions; and to reflect the reconfiguration of Lot #4 into two (2) separate lots, all pursuant to the terms contained herein.

NOW, THEREFORE, Owner and PKJJ, in consideration of the mutual promises contained in this Agreement, hereby agree as follows:

1. Article 1, General Terms of Agreement, subsection 1.5, shall be amended to add the following additional paragraph D:

D. The configuration of Lot #4 shall hereby be modified to divide Lot #4 into two (2) separate parcels for all purposes under the Phase I PUD, which shall be known as Lot #4A and Lot #4B respectively, and depicted on Exhibit B attached hereto. Township acknowledges that this modification does not substantially increase the impact on adjoining properties or facilities and that the Remote Parking Area is not required for the operation of the Wal-Mart on Lot #1. Township hereby agrees that the parking space contained in the Remote Parking Areas shall be counted as parking spaces for the use of Lot #4A and Lot #4B. Township hereby approves the setbacks and configuration of improvements on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Owner acknowledges that Lot #4A and Lot #4B shall remain subject to the terms of the Phase I PUD except as otherwise set forth herein. Owner reserves the right to configure Lot #4A and Lot #4B further to include the Remote Parking Areas adjacent to said Lots. Township acknowledges that if such lots are incorporated into Lot #4A and Lot #4B, same shall not substantially increase the impact upon adjoining properties or facilities.

2. Article I, General Terms of Agreement of the Phase I PUD, shall be amended to add the following additional subsection:

1.7 The Red Olive Parcel shall be subject to the terms and conditions of the Phase I PUD, subject to the provisions of this Amendment.

3. Article II, Land Use Authorization, subsection 2.1 of the Phase I PUD, shall be amended to delete the sentence reading “Further, only one drive through restaurant facility shall be permitted and such use shall only be permitted on Lot #1.” The following shall be placed in its stead:

Drive through restaurant facilities may be allowed on Lot #4A and Lot #4B as depicted on Exhibit B attached hereto. Additional drive through restaurant facilities may be allowed on all parcels within five hundred feet (500’) of each other, subject to Special

Land Use approval by Township, including the Special Use Requirements as outlined in the Special Land Use Regulations as they may exist from time to time. Township and Owner agree that this use shall be considered upon providing that the stacking or queuing of such drive through restaurant facilities shall be sufficient to accommodate expected peak volumes and to minimize conflict with the internal road network located on the Property, as well as any public roadways. Provided, however, no drive through shall be permitted on the Red Olive Parcel.

4. Article IV, Internal Road Network of the Phase I PUD, shall be amended to add the following additional sentence:

Notwithstanding anything contained in the Phase I PUD to the contrary, the Red Olive Parcel shall be allowed to maintain access to the Grand River Avenue existing curb cut, provide such access shall be limited to “right-in, right-out” movement.

5. Article VI, Site Improvements, subsection 6.5(a) shall be amended to delete the following second sentence:

No parking in the front yard of Lot #4 shall be permitted except one row or less of “tease” parking, which shall be allowed.

6. Article VI, Site Improvements, subsection 6.5(b) of the Phase I PUD, and subsection 6.4(B) of the Phase II PUD, shall each be deleted, it being acknowledged that Owner shall have no obligation to Township to provide an entranceway landmark pursuant to the Phase I PUD or the Phase II PUD because such location or locations are not available for such signage. The following shall be inserted instead:

The Owner shall pay to Township the sum of Twenty-Five Thousand and 00/100 Dollars (\$25,000.00) within forty-five (45) days after building permits are issued for the new improvements to be constructed on Lot #4A and Lot #4B. In consideration of such payment, Owner shall have no obligation to install a Township identification sign and instead Township shall install and maintain the Township identification sign at Township’s expense. The Township identification sign shall be installed within the twenty foot (20’) set back on Owner’s Lot A and shall be constructed as depicted on Exhibit C attached hereto. The Township identification sign shall be a maximum of six feet (6’) in height and shall be oriented so as to be most visible from Latson Road. Easements for such construction and maintenance of a Township Identification sign shall be granted and accepted at the time that the Twenty-Five Thousand and 00/100 dollars (\$25,000.00) is paid to Township.

7. Article 7, Design of Building and Signs, subsection 7.2, Signage, shall be amended to add the following additional paragraph:

Lot #4A and Lot #4B shall be treated as separate parcels, and as such Lot #4A and Lot #4B shall each be entitled to separate signage as described herein. Lot #4A shall retain the existing two (2) monument signs. Lot #4B shall be entitled to one (1) additional

monument sign for business operations thereon comparable in size to the signs located on Lot #4A.

8. Article VII, Design of Building and Signs, subsection 7.2, Signage, shall be amended to delete the fourth sentence regarding the highway signs and the following sentences shall be placed in its stead:

There shall be permitted one (1) pylon sign of a maximum of three hundred (300) square feet, not to exceed 42' in height, advertising users in both Phase I and Phase II, as depicted on Exhibit D attached hereto. Additionally, the owner of the Red Olive Parcel may install a monument sign abutting Grand River Avenue and other signs as may be permitted under the Declaration.

APPROVED by Owner and PKJJ on this \_\_\_\_ day of \_\_\_\_\_, 2015.

WITNESSES:

RLG HOWELL LLC, a Michigan limited liability company

By: Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement  
Dated May 30, 2013, Randall L. Gunlock, Grantor, Managing Member

\_\_\_\_\_  
\_\_\_\_\_

By: Randall L. Gunlock  
Its: Trustee

GCG HOWELL LLC, a Michigan limited liability company

\_\_\_\_\_  
\_\_\_\_\_

By: Glenn C. Gunlock  
Its: Managing Member

PKJJ, LLC, a Michigan limited liability company

\_\_\_\_\_  
\_\_\_\_\_

By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF )  
 ) SS:  
COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated May 30, 2013, Randall L. Gunlock, Grantor, Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public

STATE OF )  
 ) SS:  
COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by Glenn C. Gunlock, Managing Member of GCG Howell LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public

STATE OF )  
 ) SS:  
COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, the \_\_\_\_\_ of PKJJ, LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public

APPROVED by the Township Board for the Township of Genoa on the \_\_\_\_ day of \_\_\_\_\_, 2015, at a meeting duly called and held.

WITNESSES:

TOWNSHIP OF GENOA:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

\_\_\_\_\_  
 By:  
 Its:  
 \_\_\_\_\_  
 By:  
 Its:

STATE OF )  
 ) SS:  
 COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

\_\_\_\_\_  
 Notary Public

STATE OF )  
 ) SS:  
 COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

\_\_\_\_\_  
 Notary Public

**EXHIBITS**

- Exhibit A      Legal Description of Red Olive Parcel
- Exhibit B      Depiction of Lot #4A and Lot #4B
- Exhibit C      Township Identification Sign
- Exhibit D      Depiction of Pylon Sign

**EXHIBIT A**

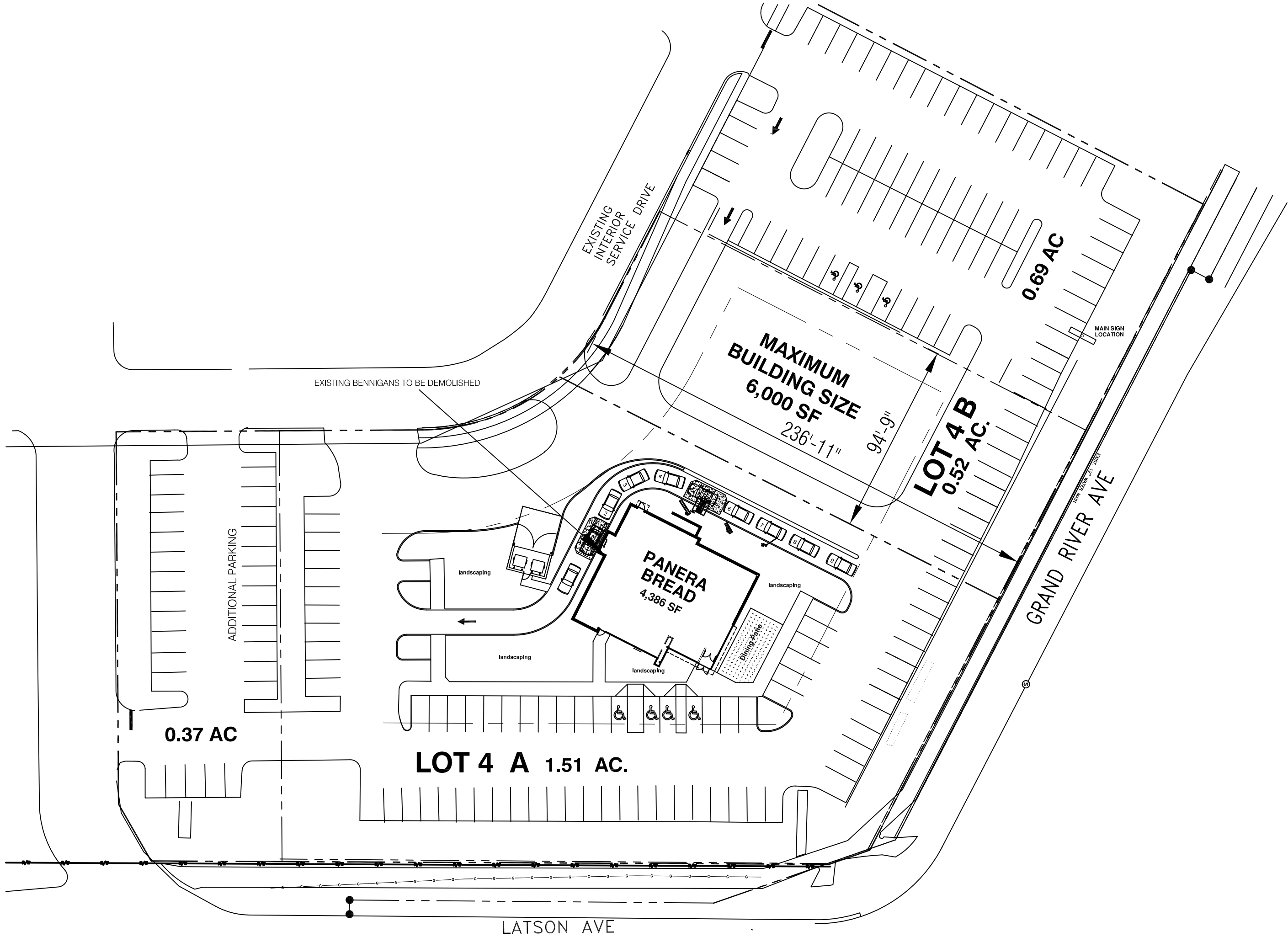
**LEGAL DESCRIPTION OF RED OLIVE PARCEL**





**EXHIBIT B**

**DEPICTION OF LOT #4A AND LOT #4B**



NO.	DATE	REVISION



**SITE PLAN**  
**LIVINGSTON COMMONS**  
 GENOA TOWNSHIP, MICHIGAN

DATE: MAR 5, 2015  
 SCALE: 1"=20'  
 PROJECT No. \_\_\_\_\_  
 FILE No. \_\_\_\_\_

**EXHIBIT C**  
**TOWNSHIP IDENTIFICATION SIGN**

NEW INTERCHANGE WESTBOUND ENTRANCE RAMP

DIVIDE

LOT F  
2.33 AC.  
MOTEL

LOT G  
2.29 AC.  
MOTEL

GRAND OAKS

LOT H  
3.64 AC.  
MOTEL

WAL-MART  
214,172 SF

AVAILABLE  
20,388 SF

LOWE'S  
135,197 SF

LOT A  
1.42 AC.

LOT A1  
.68 AC.

1.0 AC.  
LOWE'S  
RETAINED LOT

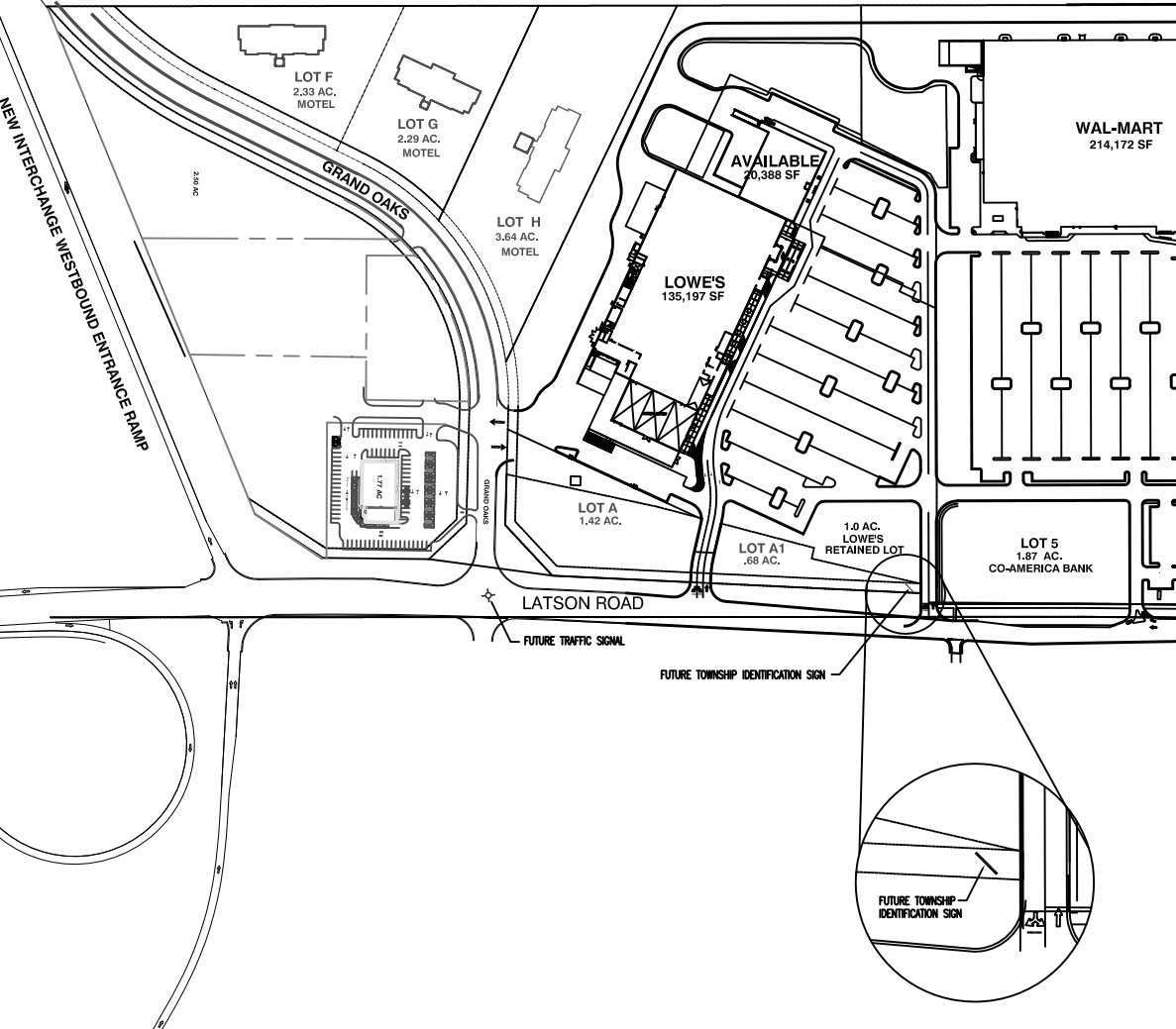
LOT 5  
1.87 AC.  
CO-AMERICA BANK

LATSON ROAD

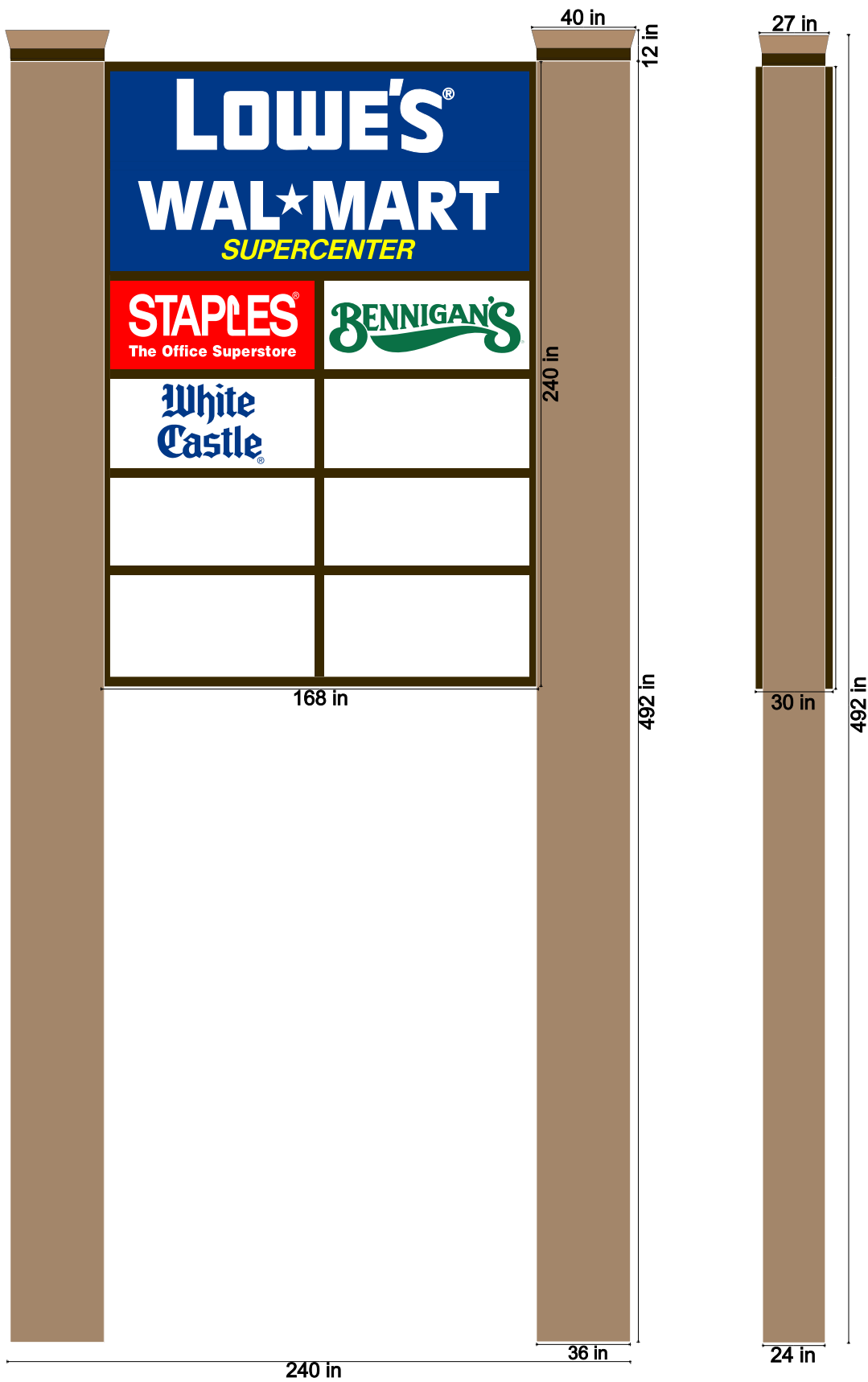
FUTURE TRAFFIC SIGNAL

FUTURE TOWNSHIP IDENTIFICATION SIGN

FUTURE TOWNSHIP  
IDENTIFICATION SIGN



**EXHIBIT D**  
**DEPICTION OF PYLON SIGN**



**SGN** THE SIGN GROUP INC.  
 © 2015  
 5370 WEST 84TH STREET  
 INDIANAPOLIS, IN 46268.  
 PH: (317)875-6969  
 FAX:(317)875-6644

**SIGNATURE FOR APPROVAL**

SALESMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

**NOTICE:**  
 ALL ARTWORK AND DESIGN IS  
 PROPERTY OF THE SIGN GROUP  
 INC. ANY REPRODUCTION IS  
 STRICTLY PROHIBITED, UNLESS  
 AUTHORIZED BY THE SIGN GROUP.

TP-1-22-15-730 c1  
 LIVINGSTON COMMONS

Impact Assessment  
Redevelopment of Lot 4  
Panera Bread Bakery Café #1936  
Livingston Commons Shopping Center  
Genoa Township, Michigan

March 25, 2015

Prepared for:  
RG Properties  
10050 Innovation Drive, Suite 100  
Dayton, OH 45342

Prepared by:  
Wade Trim, Inc.  
555 South Saginaw Street, Suite 201  
Flint, MI 48502  
Charles J. Christy, PE MI #39122





Written Impact Assessment  
for  
Redevelopment of Lot 4  
Livingston Commons

18.07.01      **Preparer** - This impact assessment is prepared and assembled by Charles J. Christy, PE. Mr. Christy has been licensed as a professional engineer in the State of Michigan since 1993. During the past 21 years, his experience has primarily focused on land development with commercial, industrial, and residential projects. Mr. Christy has completed numerous site plans, special use permits, and planned unit developments across the State.

18.07.02      **Location** - The project is located at Livingston Commons Shopping Center, 3950 East Grand River Avenue, Howell, MI. The site is currently developed with a Bennigan's restaurant on approximately 2.03 acres (88,427sft). The site is located at the southwest corner of the intersection of East Grand River Avenue and South Latson Road and is part of a larger overall development which includes WalMart, Lowes, Staples, and other out parcels.

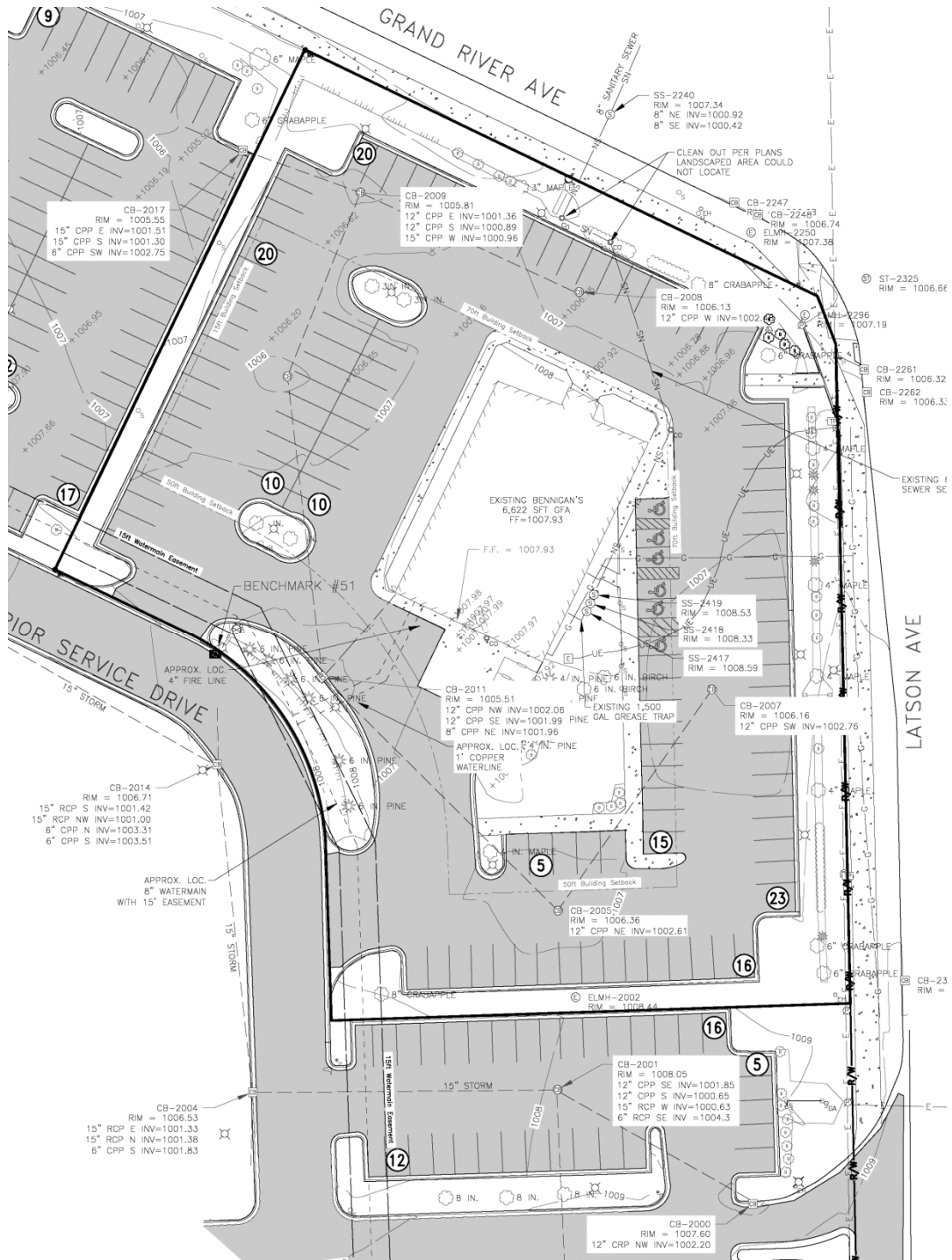
Adjacent properties are occupied by Bob Evans (to the west), O'Reilly Auto Parts (east across Latson), Comerica Bank (to the south), Shell Gas Station (north across E. Grand River), Applebee's (across E Grand River to the west), and a small strip center at the north east quadrant of E Grand River and Latson.

An aerial photograph of the project area is included on the following page.



18.07.03

**Impact on natural Features** – The site is currently developed with an approximately 6,622sft restaurant, 119 parking space parking lot, storm sewer collection system, sanitary and potable water services, franchise utility services, and landscaping. Please refer to plan Sheet C-0.1 for the existing conditions survey for greater detail. No wetlands are on or adjacent to the site. See below for a snap shot of the existing conditions.



18.07.04

**Impact on Stormwater Management** – The site is currently approximately 76% impervious and has a series of catch basins and storm sewer pipes to collect surface water runoff. The storm system leaves the site at the northwest corner of the parcel and enters the larger storm water management system for the overall PUD. The overall development, when constructed, has a regional storm water management system consisting of several basins which were designed to manage storm water from all parcels in the PUD.

The proposed redevelopment will be approximately 70% impervious after the lot division. A majority of the existing catch basins and storm sewer pipe will be retained and utilized to convey storm water runoff after redevelopment, maintaining the existing discharge point from the site. Since the redeveloped site will contain less impervious surfaces due to an increase in landscaping area, the total volume of storm water runoff will be less and the time of concentration will be greater, resulting in a lower peak discharge rate. This being the case, we have not quantified the decrease in runoff or peak discharge rate. We are not proposing any changes to the regional storm water management system (basins).

The proposed work will entail removing some pavement, demolition of the existing building and utilities, and new landscaping. A majority of the existing pavement will remain, including storm structures and pipes. The existing asphalt that is to remain, will be surface milled and overlaid with a new top course. Grading and earthwork, by design, will be kept to a minimum only as required to maintain/re-establish drainage patterns and to allow for the new landscaping.

Managing soil erosion will be accomplished with silt fences, inlet protection, and construction entrance BMP's. Final restoration will consist of asphalt, concrete, lawn and landscaping. Additional detail on the soil erosion control measures can be found in the plan submittal set, Sheets C-7.0 through C-7.3. A soil erosion and sedimentation control permit will be applied for at the Livingston County Drain Commission office.

18.07.05

**Impact on Surrounding Land Uses** – The surrounding area is developed into retail uses consisting of restaurants, gas service station, and other commercial retail establishments. Both E. Grand River and S. Latson Road are 4 lane roads with a center turn lane and right turn lanes where appropriate. The intersection of E. Grand River and S. Latson Road is signalized with protected left turn lanes.

The proposed redevelopment is a similar use when compared to the existing Bennigan's and the uses on the surrounding properties. Hours of operation will be similar to the surrounding uses. However, Bennigan's is currently not open for breakfast and the proposed development will be open for breakfast. The existing access to the site will remain as currently configured.

The existing lighting on the site will be reconfigured. Several of the light poles will be removed, several of the existing light fixtures will be replaced with lower wattage, and several new light poles will be strategically located to provide safety and security. Overall, the redevelopment will result in lower lighting intensities.

Dust control will be utilized during the demolition and construction phase to minimize air pollution.

Due to the nature, use, and size of this project, it is not anticipated that the noise levels generated on this site will be greater than the adjacent traffic on E. Grand River and S. Latson Road. Additionally, since this is a retail development, the project will not generate or cause concern with regards to: smoke, airborne solids, odor, vibration, radioactive materials, fire and safety hazards, UST's, or hazardous materials.

18.07.06 **Impact on Public Facilities and Services** – The proposed building size will be approximately 33% less in size than the existing building.

There are other uses in the immediate area that are larger and more susceptible to police action. Although we have not contacted police, fire, or emergency services regarding this project, we conclude that the respective agencies are prepared to respond to the larger uses adjacent to our site, and therefore, have the ability to respond appropriately to incidents on this site.

18.07.07 **Impact on Public Utilities** – The site is currently serviced by M.H.O.G. for water and sanitary sewer service. An 8-inch water main and hydrants are located along the existing interior service drive. A 12-inch water main is located along Grand River Avenue. An 8-inch sanitary sewer lead is extended to the site across E. Grand River. The existing sewer service will be extended to the new building and, due to its size, has the capacity to serve the proposed building (an 8-inch pipe at minimum grade has capacity of over 500,000 GPD or 347gpm. A 6-inch pipe at minimum grade has capacity of approximately 400,000 GPD or 277gpm).

Equivalent User Table for proposed building (to be confirmed at building permit application stage).

User	Unit Factor	Qty	Sub-Total
Restaurants (fast food, including drive thru & primary drink service)	7.5 per premise	1 Ea	7.5

Based on a REU equivalent of 218 gallons per day, the proposed building would generate 1,635 gallons of sewage per day (7.5 x 218).

The existing water service consists of a potable water lead and 4-inch fire protection main. The existing 4-inch fire protection main will be extended to the new building,

providing fire protection through a fully automatic sprinkler system. A new hydrant will be installed along Grand River Ave. on the existing 12-inch water main. The proposed fire department connection (FDC) would be located on the northwest corner of the building, 110 feet from the fire hydrant. A Knox-box would be located near the main entrance to the building.

The existing potable water service connection will be demolished back to the existing main and replaced with a new 2" service.


- 18.07.08 **Storage and Handling of any hazardous Materials** – The proposed use is retail in nature. No hazardous materials will be generated, used, or disposed of on-site.
- 18.07.09 **Traffic Impact Study** – We have completed a Trip Generation Comparison for the redevelopment for Township review. This comparison is included at the end of this Impact Assessment.
- 18.07.10 **Historic and Cultural Resources** – The existing structure is not more than 50 years old.
- 18.07.11 **Special Provisions** – The Owner of Lot 4 has a REA agreement with the other tenants / Owners of the overall PUD development allowing shared use of the: internal drives, drive access to E. Grand River & S. Latson Road, and storm water management system. A copy of this REA is included at the end of this Impact Assessment.
- 18.07.12 **List of Sources** – Google for image in 18.07.02
- 18.07.13 **Previous Impact Assessments** – An impact assessment was previously completed for the PUD and a previous version of Lot 4 Redevelopment prepared in December of 2014. This impact assessment focuses on the redevelopment of Lot 4.

TECHNICAL MEMORANDUM

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## Livingston Commons Lot 4 Revised Trip Generation Comparison - Amendment #2

**PREPARED FOR:** Kelly VanMarter, AICP/ Genoa Township

**PREPARED BY:** Aimée L. Giacherio, PE/Wade Trim 

**DATE:** March 24, 2015

**PROJECT TASK:** RGP1001.01F Phase 1240 Impact Assessment Revision

**FILE LOCATION:** P:\Aaa1000\Agiacherio\Draft\Projects\Livingston Commons\TechMemoREV.docx

RG Properties is proposing to redevelop the existing Bennigan's Restaurant in the southwest quadrant of Grand River Avenue and Latson Road in Genoa Township. This area is part of the overall Livingston Commons Shopping Center. The redevelopment would consist of two new buildings in place of the existing Bennigan's Restaurant. The overall scope was to determine the difference in trip generation between the existing restaurant use and the proposed redevelopment project to determine the additional trips that would be generated by the two new uses. This memorandum summarizes the expected difference in trip generation.

### Existing Trip Generation

Existing trips generated by the Bennigan's Restaurant were estimated based on the Institute of Transportation Engineer's (ITE) report *Trip Generation, Ninth Edition, 2012*. Trip estimates were developed for the existing 6,622 square foot restaurant based on the High Turnover (Sit-Down) Restaurant use, Land Use Code 932. The weekday afternoon peak hour trip generation estimates are shown in Table 1. This Bennigan's Restaurant was not open during the morning peak hour, thus the existing trip generation during the morning peak hour is zero.

Traffic for a restaurant type use consists of new trips, whose sole purpose is the visit to the site, internal or shared trips, and pass-by trips. New Trips are those that are new to the study area and consist of motorists whose primary destination is the restaurant.

A development that contains multiple uses, such as this one, can be expected to have some internal trip sharing. Since this restaurant is part of the Livingston Commons Shopping Center which includes several banks, restaurants, a Wal-Mart Supercenter, a Lowe's, etc., it is expected that some internal trip sharing occurs between uses. A shared trip is one that visits more than one use on the site and thus lessens the overall impact of a multiple use site on the adjacent street system. An internal trip factor of 20% was applied to the site based on ITE's *Trip Generation Handbook*.

Pass-by trips are typically associated with retail uses, as well as gas stations and restaurants. Pass-by trips are comprised of vehicles already traveling on the adjacent roads, which divert from their original path of travel to visit the development. The ultimate destination of a pass-by trip is directed elsewhere. Pass-by trips were also applied to the existing restaurant use on the site. The pass-by rates were based on ITE’s *Trip Generation Handbook*. Based on information provided, a pass-by rate of 43 percent was applied to the restaurant. As a result, the existing restaurant is estimated to generate a total of 30 trips during the during the afternoon peak hour.

**Table 1 Existing Bennigan’s Weekday PM Peak Hour Trip Generation Estimate**

<b>Land Use</b>	<b>In</b>	<b>Out</b>	<b>Total</b>
Bennigan’s Restaurant	39	26	65
<i>Less Internal Capture (20%)</i>	-8	-5	-13
Net Trips	31	21	52
<i>Less Pass-by Trips (43%)</i>	-13	-9	-22
<b>New Trips</b>	<b>18</b>	<b>12</b>	<b>30</b>

**Proposed Trip Generation**

Trip estimates were then developed for the proposed redevelopment of the property to two restaurant uses. The redevelopment project is proposed to consist of a 4,386 square foot bread/donut/bagel restaurant with a drive-thru facility and a 3,954 square foot fast-food restaurant with another drive-thru.

Trip estimates were developed for the proposed uses based upon information provided in ITE’s *Trip Generation* and *Trip Generation Handbook*. The trip generation potential for the bread/donut/bagel restaurant was developed based on the Bread/Donut/Bagel Shop with Drive Through, Land Use Code 940. Trip generation estimates were developed for the fast-food restaurant based on Land Use Code 934, Fast-Food Restaurant with Drive-Through. The proposed fast food restaurant is not expected to be open during the morning peak hour.

Traffic for the proposed redevelopment will consist of both new trips, whose sole purpose is the visit to the site, internal or shared trips, and pass-by trips. New trips are those that are new to the study area and consist of motorists whose primary destination is the proposed project.

An area that contains multiple uses, such as this one, can be expected to have some internal trip sharing. A shared trip is one that visits more than one use on the site and thus lessens the overall impact of a multiple use site on the adjacent street system. Since this development is part of the Livingston Commons Shopping Center which includes banks, restaurants, a Wal-Mart Supercenter, a Lowe’s, etc., it is expected that some internal trip sharing will occur between uses. It is expected that the number of trips generated by these uses will be reduced due to their interaction between the other uses in the development. An internal trip factor of 20% was applied to the site based on ITE’s *Trip Generation Handbook*. This is the same factor that was applied to



the existing Bennigan’s restaurant. This factor was only applied to the afternoon peak hour trip estimates, and not the morning peak hour estimates for the bread/donut/bagel restaurant.

Pass-by trips involve motorists who are diverted off of the adjacent street system to visit this development. A portion of the trips generated by the redevelopment were assumed to be pass-by trips. These trips divert from existing travel paths to stop at the site and then resume the original trip path. Thus additional trips are not added to the area road system by these pass-by trips. Surveys conducted by ITE have shown that many trips made to grocery stores, restaurants, and shopping areas are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Pass-by rates were based on information provided in ITE’s *Trip Generation Handbook*. A pass-by rate of 49% was used during both the morning and afternoon peak hours for both uses.

The weekday morning peak hour trip generation estimates are shown in Table 2 and the weekday afternoon peak hour trip generation estimates are provided in Table 3.

**Table 2 Proposed Weekday AM Peak Hour Trip Generation Estimate**

Land Use	In	Out	Total
Bread/Donut/Bagel Restaurant	85	84	169
<i>Less Pass-by Trips (49%)</i>	<i>-42</i>	<i>-41</i>	<i>-83</i>
<b>New Trips</b>	<b>43</b>	<b>43</b>	<b>86</b>

**Table 3 Proposed Weekday PM Peak Hour Trip Generation Estimates**

Land Use	LUC	Size (SF)	Total Trips		Internal Trips		Net Trips		Pass-by Trips		New Trips	
			In	Out	In	Out	In	Out	In	Out	In	Out
Bread/Donut/Bagel Restaurant w/Drive-Thru	940	4,386	41	42	8	9	33	33	16	16	17	17
Fast-Food Restaurant w/ Drive-Thru	934	3,954	67	62	13	13	54	49	26	24	28	25
<b>Total</b>			<b>108</b>	<b>104</b>	<b>21</b>	<b>22</b>	<b>87</b>	<b>82</b>	<b>42</b>	<b>40</b>	<b>45</b>	<b>42</b>

No access changes to the overall shopping center are proposed with the redevelopment of the restaurant lots. The existing accesses for the Livingston Commons Shopping Center are to be used to access these new land uses. There are currently two accesses to Grand River Avenue, one of which is signalized, and three accesses to Latson Road, two full movement accesses and one right in/right out only access.

Table 4 shows the difference in overall trips estimated between the existing restaurant and the proposed redevelopment project based on proposed land uses.

**Table 4 Trip Generation Difference**

Scenario	AM PEAK HOUR						PM PEAK HOUR					
	Net Trips		Pass-by Trips		New Trips		Net Trips		Pass-by Trips		New Trips	
	In	Out	In	Out	In	Out	In	Out	In	Out	In	Out
Existing Restaurant	0	0	0	0	0	0	31	21	13	9	18	12
Proposed Redevelopment	85	84	42	41	43	43	87	82	42	40	45	42
<b>Difference</b>	<b>+85</b>	<b>+84</b>	<b>+42</b>	<b>+41</b>	<b>+43</b>	<b>+43</b>	<b>+56</b>	<b>+61</b>	<b>+29</b>	<b>+31</b>	<b>+27</b>	<b>+30</b>

As expected, the proposed development will generate more trips than the existing restaurant use during both the morning and afternoon peak hours. However, the net trip difference is less than 100 directional trips under both peak hours and the actual new trip difference is less than 50 directional trips under both peak hours.

The largest difference in trips between the two occurs during the morning peak hour. This is due to the existing Bennigan’s restaurant not being open for breakfast. However, the existing restaurant use approved for this site likely doesn’t restrict a restaurant from being open during the morning peak hour. In fact, if it was open, this same size restaurant would generate 72 net trips and 31 new trips, after pass-by traffic is accounted for, with 17 inbound and 14 outbound trips, thus lessening the morning peak hour trip difference. In addition, morning peak hour traffic volumes for this shopping center are lighter than during the weekday afternoon peak hour. Both the Lowe’s and Wal-Mart Supercenter generate fewer trips during the morning peak hour than during the afternoon peak hour. In addition, the fast-food restaurants and banks that are part of this shopping center are not open during the morning peak hour. Therefore, it is expected that the additional trips generated by the bread/donut/bagel restaurant during the morning peak hour can be accommodated by the existing driveways for the shopping center as there are less overall trips from the shopping center during this same time period.

Please feel free to contact us at any time if you have questions regarding the information provided in this memorandum or if you need any additional information.

COVER SHEET FOR  
FIRST AMENDMENT TO  
DECLARATION OF RESTRICTIONS AND EASEMENTS FOR OUTLOTS  
BETWEEN  
RLG HOWELL LLC AND GCG HOWELL LLC  
AND  
PKJJ, LLC  
DATED \_\_\_\_\_, 2015

Prepared By and After Recording  
Return To:  
April Ann Jordan  
Hedrick & Jordan Co., LPA  
100 E. Third Street, Suite 500  
Dayton, Ohio 45402  
937-228-3889

**FIRST AMENDMENT TO**  
**DECLARATION OF RESTRICTIONS AND EASEMENTS FOR OUTLOTS**

This First Amendment to Declaration of Restrictions and Easements for Outlots is made this \_\_\_ day of \_\_\_\_\_, 2015, by and between **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company (collectively referred to as “Declarant”); and **PKJJ, LLC**, a Michigan limited liability company (“PKJJ”); with the consent of **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware statutory trust, whose address is 2001 SE 10th Street, Bentonville, Arkansas 72716-0050 (“Wal-Mart”); and **LOWE’S HOME CENTERS, INC.**, a North Carolina corporation, whose address is PO Box 1000, Mooresville, North Carolina 28115 (“Lowe’s”).

**RECITALS**

**WHEREAS**, Declarant’s predecessor in title made that certain Declaration of Restrictions and Easements for Outlots dated September 2, 1999, recorded September 10, 1999, at Liber 2652, Page 0082 of the records of Livingston County, Michigan (the “Declaration”);

**WHEREAS**, Declarant is the owner of the property described on Exhibit A attached hereto located in Genoa Township, Livingston County, Michigan (the “Wal-Mart Parcel”). Wal-Mart is tenant of the Wal-Mart Parcel;

**WHEREAS**, Lowe’s is the owner of the property described on Exhibit B attached hereto located in Genoa Township, Livingston County, Michigan (the “Lowe’s Parcel”);

**WHEREAS**, pursuant to Section 14 of the Declaration, Declarant has the power of amend the Declaration with the consent of Wal-Mart and Lowe’s;

**WHEREAS**, PKJJ owns the property located adjacent to the Wal-Mart Parcel and described on Exhibit C attached hereto (the “Red Olive Parcel”) and wishes to redevelop same;

**WHEREAS**, Declarant also owns the property adjacent to the Wal-Mart Parcel and described on Exhibit D attached hereto (“Lot 4”);

**WHEREAS**, Declarant wishes to reconfigure Lot 4 into two (2) separate lots, to be known as Lot 4A and Lot 4B, and allocate, but not increase the total building area thereon;

**WHEREAS**, the Wal-Mart Parcel, the Lowe’s Parcel, the Red Olive Parcel, and proposed Lot 4A and proposed Lot 4B are depicted on Exhibit E attached hereto;

**WHEREAS**, Declarant and Wal-Mart have entered into that certain License for Reconfiguration and Maintenance of Parking Areas dated August 25, 2011 (the “Parking Reconfiguration License”) attached hereto as Exhibit F;

**WHEREAS**, as contemplated by the Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan; and the Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (collectively, the “PUD Agreement”), PKJJ has agreed to subject the Red Olive Parcel to the terms and conditions of the Declaration in consideration for Red Olive Parcel receiving the benefit of an access easement over the Property Used in Common (as defined in the Declaration); and

**WHEREAS**, Declarant wishes to reflect the inclusion of the Red Olive Parcel; to allocate the permissible building area on Lot 4A and Lot 4B; to reflect the use of the Remote Parking Areas for the benefit of Lot 4A and Lot 4B; and Wal-Mart and Declarant wish to further memorialize and place of record the terms of the Parking Reconfiguration License, all pursuant to the terms and conditions set forth herein.

**NOW, THEREFORE**, Declarant and PKJJ agree that the Declaration shall be amended as follows:

1. Inclusion of Red Olive Parcel. As contemplated by the PUD Agreement, the Red Olive Parcel shall be included within the meaning of “Outlots” for all purposes under the Declaration. Without limiting the generality of the foregoing, the Red Olive Parcel shall be subject to the maintenance standards set forth in the Declaration; shall be subject to Assessments for Common Expenses; and shall benefit from the easements in favor of the Outlots, all as more particularly set forth in the Declaration, subject to the terms set forth herein.

2. Section 3, Outlot Development, subsection (5), shall be amended to delete the reference to Lot 4 - 12,000 square feet and add the following additional provision:

Lot 4A – 6,000 sf. ft.  
Lot 4B – 6,000 sf. ft.  
Red Olive Parcel – 6,000 sq. ft.

3. Section 3, Outlot Development, subsection (4), shall be amended to add the following additional provision:

The Outlots as described herein shall each be permitted to maintain one (1) monument sign and Lot 4B shall be permitted to maintain the existing two (2) monument signs.

4. Section 3, Outlot Development, subsection (6), shall be amended to add the following additional sentence:

Notwithstanding the foregoing, the Owner of Lot 4A shall have the right to include for its required parking the parking spaces in the South Remote Parking Area, and the Owner of Lot 4B shall have the right to include for its required parking the parking spaces in the West Remote Parking Area as defined in the Parking Reconfiguration License. The parties agree and acknowledge that the Remote Parking Areas are seldom, if ever, used and are not necessary for the operation of the Wal-Mart Parcel. The parties further acknowledge that the Parking Reconfiguration License provides for the maintenance of these areas.

5. Section 6, Approval of Plans for Outlots, subsection (a), Declarant's Approval, shall be amended to include the following additional sentence:

Improvements on the Red Olive Parcel shall include parking lot lighting fixtures as utilized throughout the Shopping Center and shall otherwise comply with the requirements of the PUD as it may be amended, including without limitation open space and set back requirements.

6. Section 8, Access Easements for Outlots, shall be amended to add the following additional provision:

The Red Olive Parcel shall have the right to retain its access to Grand River Avenue for ingress and egress. Such ingress and egress however shall be restricted to "right-in, right-out" traffic movement only.

7. Section 9, Parking Easement for Outlots, shall be amended to add the following additional sentences:

Declarant and Wal-Mart agree and acknowledge that they have entered into the Parking Reconfiguration License attached to this Amendment as Exhibit F, which provides that Declarant, as Outparcel Owner (as defined therein) has certain rights to reconfigure the parking improvements within the South Parking Area and the West Parking Area, subject to the obligation to pay a portion of real estate taxes for said areas. The terms of the Parking Reconfiguration License are hereby incorporated by reference as if fully set forth herein.

8. Section 12, Payment of Common Expenses, shall be corrected to refer to Section 13 instead of Section 11.

9. Section 13, Assessments, subsection b., Assessments Pro-Rata, shall be amended to add the following additional provision:

Without limiting the generality of the amendment of the term “Outlots”, said term shall include the Red Olive Parcel. The parties acknowledge that the acreage of the Red Olive Parcel shall be included in the calculation of the pro rata share of Common Expenses, and the Red Olive Parcel shall be subject to the payment of Assessments for same. Assessments shall be due commencing with the year in which this Amendment is made.

10. Section 13, Assessments, subsection (h), shall be corrected to refer to Section 13.b instead of Section 11.b.

11. Defined Terms; No Further Amendment. Except as specifically set forth herein, defined terms shall have the meanings attributed to them in the Declaration. Except as specifically set forth herein, the Declaration shall remain unamended and in full force and effect.

IN WITNESS WHEREOF, Declarant has set its hand as of the date and year first above written.

DECLARANT: RLG HOWELL LLC,  
a Michigan limited liability company

By: Randall L. Gunlock, Trustee under  
the Amended Revocable Trust  
Agreement Dated May 30, 2013, Randall  
L. Gunlock, Grantor, its Managing  
Member

---

By: Randall L. Gunlock  
Its: Trustee

GCG HOWELL LLC, a Michigan  
limited liability company

---

By: Glenn C. Gunlock  
Its: Managing Member

PKJJ, LLC, a Michigan limited liability company

\_\_\_\_\_  
By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF OHIO )  
 ) SS:  
COUNTY OF MONTGOMERY )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by Randall L. Gunlock, the Trustee of Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated May 30, 2013, Randall L. Gunlock, Grantor, the Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public

STATE OF OHIO )  
 ) SS:  
COUNTY OF MONTGOMERY )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by Glenn C. Gunlock, the Managing Member of GCG Howell LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public



STATE OF )  
 ) SS:  
COUNTY OF )

The foregoing instrument was acknowledged before me the \_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, the \_\_\_\_\_ of PKJJ, LLC, a Michigan limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public

**CONSENT OF WAL-MART**

Wal-Mart Real Estate Business Trust, a Delaware statutory trust, hereby consents to the foregoing First Amendment to Declaration of Restrictions and Easements for Outlots.

WAL-MART REAL ESTATE BUSINESS TRUST,  
a Delaware statutory trust

\_\_\_\_\_  
By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
   ) SS:  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me the \_\_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, the \_\_\_\_\_ of Wal-Mart Real Estate Business Trust, a Delaware statutory trust, on behalf of the trust.

\_\_\_\_\_  
Notary Public



## **EXHIBITS**

- Exhibit A      Legal Description of Wal-Mart Parcel
- Exhibit B      Legal Description of Lowe's Parcel
- Exhibit C      Legal Description of Red Olive Parcel
- Exhibit D      Legal Description of Lot 4
- Exhibit E      Site Plan
- Exhibit F      Parking Reconfiguration License

## EXHIBIT A

### LEGAL DESCRIPTION OF WAL-MART PARCEL

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;  
Thence South 87 degrees 37 minutes 12 seconds West, along the South line of said section, 60.02 feet to a point on the westerly right-of-way line of Latson Road;  
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 106.85 feet; to the Point of Beginning:

Thence South 88 degrees 27 minutes 17 seconds West, 211.90 feet;  
Thence South 01 degrees 32 minutes 43 seconds East, 109.91 feet to a point on the South line of said Section 5  
Thence continuing South 01 degrees 32 minutes 43 seconds East, 242.09 feet to a tangential curve to the left;  
Thence easterly along said curve, R=43.00 feet, delta=90 degrees 00 minutes 00 seconds, a distance of 67.54 feet;  
Thence South 88 degrees 27 minutes 39 seconds West, 671.73 feet to a tangential curve to the left;  
Thence southerly along said curve, R=58.00 feet, delta=65degrees 00 minutes 39 seconds, a distance of 65.81 feet;  
Thence South 23 degrees 27 minutes 00 seconds West, 131.30 feet;  
Thence South 88 degrees 27 minutes 39 seconds West, 282.84 feet;  
Thence North 01 degrees 27 minutes 28 seconds West, 422.70 feet to a pont on the South line of said Section 5;  
Thence continuing North 01 degrees 37 minutes 12 seconds West, 867.93 feet;  
Thence South 63 degrees 55 minutes 45 seconds East, 151.40 feet;  
Thence North 01 degrees 41 minutes 57 seconds West, 320.72 feet to a point on the southerly right-of-way line of Grand River Road;  
Thence South 63 degrees 56 minutes 04 seconds East, along said right-of-way line, 88.56 feet;  
Thence South 30 degrees 38 minutes 19 seconds West, 65.36 feet;  
Thence South 01 degrees 37 minutes 12 seconds East, 178.33 feet to a tangential curve to the left;  
Thence easterly along said curve, R=250.00 feet, delta=62 degrees 01 minutes 29 seconds, a distance of 270.63 feet;  
Thence South 63 degrees 38 minutes 39 seconds East, 11.65 feet;  
Thence North 01 degrees 39 minutes 45 seconds West, 3.76 feet;  
Thence South 63 degrees 57 minutes 17 seconds East, 120.00 feet;  
Thence South 01 degrees 39 minutes 26 seconds East, 4.59 feet to a tangential curve to the left;  
Thence easterly along said curve, R=112.50 feet, delta=39 degrees 03 minutes 45 seconds, a distance of 76.70 feet to a point of compound curvature;

## EXHIBIT A PAGE TWO

Thence northerly along said curve, R=25.00 feet, delta=60 degrees 06 minutes 10 seconds, a distance of 26.22 feet;  
Thence North 17 degrees 11 minutes 25 seconds East, 138.74 feet;  
Thence North 14 degrees 23 minutes 42 seconds East, 156.54 feet to the southerly right-of-way of Grand River Road;  
Thence South 63 degrees 57 minutes 17 seconds East, 34.72 feet along said right-of-way;  
Thence South 14 degrees 23 minutes 42 seconds West, 150.27 feet;  
Thence South 17 degrees 11 minutes 25 seconds West, 121.51 feet to a tangential curve to the left;  
Thence easterly along said curve, R=33.0 feet, delta=102 degrees 39 minutes 01 seconds, a distance of 59.12 feet;  
Thence South 85 degrees 27 minutes 35 seconds East, 116.92 feet to a tangential curve to the right;  
Thence easterly along said curve, R=182.00 feet, delta=21 degrees 27 minutes 22 seconds, a distance of 68.16 feet;  
Thence South 64 degrees 00 minutes 14 seconds East, 38.24 feet;  
Thence North 25 degrees 59 minutes 46 seconds East, 237.29 feet to the southerly right-of-way of Grand River Road;  
Thence South 63 degrees 57 minutes 17 seconds East, 126.00 feet along said right-of-way;  
Thence South 25 degrees 59 minutes 46 seconds West, 236.98 feet;  
Thence South 64 degrees 00 minutes 14 seconds East, 59.21 feet to a tangential curve to the right;  
Thence southerly along said curve, R=102.00 feet, delta=62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;  
Thence South 01 degrees 33 minutes 24 seconds East, 71.01 feet;  
Thence North 88 degrees 27 minutes 00 seconds East, 213.08 feet to the westerly right-of-way line of Latson road;  
Thence South 00 degrees 54 minutes 40 seconds East, 108.10 feet along said right-of-way line to the Point of Beginning.

Said parcel contains 23.11 acres, more or less.

The intent of this description is to run along the back of curb along a proposed access drive where applicable.

## EXHIBIT B

### LEGAL DESCRIPTION OF LOWE'S PARCEL

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows: Commencing at the Northeast corner of Section 8, Town 2 North, Range 5 East; thence South 87 degrees 37 minutes 12 seconds West, along the North line of said section, 60.02 feet to a point on the Westerly right-of-way line of Latson Road; thence South 01 degrees 25 minutes 15 seconds East, along said right-of-way line 142.85 feet; thence South 11 degrees 34 minutes 25 seconds West 149.21 feet to the Point of Beginning; thence South 11 degrees 34 minutes 25 seconds West, 264.02 feet; thence North 78 degrees 39 minutes 26 seconds West, 22.50 feet; thence South 13 degrees 20 minutes 07 seconds West, 332.05 feet; thence South 10 degrees 46 minutes 30 seconds West, 310.32 feet; thence South 88 degrees 26 minutes 59 seconds West, 251.53 feet; thence North 66 degrees 33 minutes 32 seconds West, 785.43 feet; thence North 01 degrees 27 minutes 28 seconds West, 392.13 feet; thence North 88 degrees 27 minutes 39 seconds East, 266.61 feet; thence South 23 degrees 26 minutes 23 seconds West, 311.84 feet; thence South 66 degrees 30 minutes 58 seconds East, 221.70 feet; thence North 23 degrees 26 minutes 23 seconds East, 331.99 feet; thence South 66 degrees 33 minutes 00 seconds East, 19.05 feet; thence North 23 degrees 26 minutes 23 seconds East, 185.50 feet; thence South 66 degrees 33 minutes 00 seconds East, 17.88 feet; thence North 23 degrees 27 minutes 00 seconds East, 83.20 feet; thence North 88 degrees 27 minutes 39 seconds East, 573.21 feet to the point of beginning, containing 14.97 acres of land, more or less.

**EXHIBIT C**

**LEGAL DESCRIPTION OF RED OLIVE PARCEL**



## **EXHIBIT D**

### **LEGAL DESCRIPTION OF LOT 4**

Lot 4  
11-05-400-047

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;  
Thence South 87 degrees 37 minutes 12 seconds West along the South line of said section, 60.02 feet

to the westerly right-of-way line of Latson Road;

Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 214.95 feet to the Point of Beginning;

Thence South 88 degrees 27 minutes 00 seconds West, 213.08 feet;

Thence North 01 degrees 33 minutes 24 seconds West, 71.01 feet to a tangential curve to the left;  
Thence northwesterly along said curve, R = 102.00, delta = 62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;

Thence North 64 degrees 00 minutes 14 seconds West, 59.21 feet;

Thence North 25 degrees 59 minutes 46 seconds East, 236.98 feet to a point on the southerly right-of-way line of Grand River Road;

Thence South 63 degrees 57 minutes 17 seconds East, along said right-of-way, 233.50 feet to a point on the westerly right-of-way line of Latson Road;

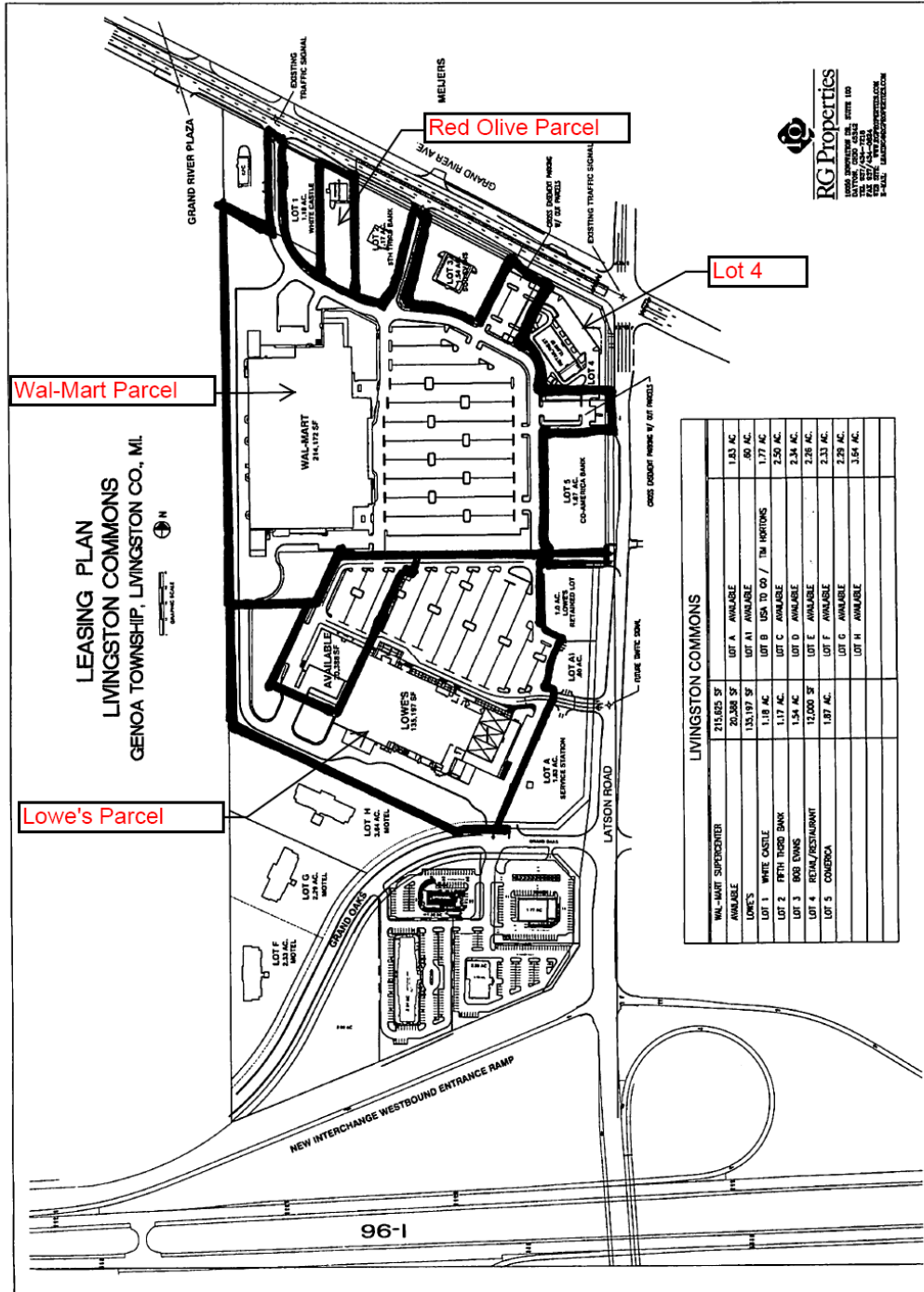
Thence South 20 degrees 31 minutes 52 seconds East, along said right-of-way line, 21.17 feet;

Thence South 00 degrees 54 minutes 40 seconds, East, along said right-of-way line, 270.73 feet to the Point of Beginning.

Said parcel contains 2.03 acres, more or less.

EXHIBIT E

SITE PLAN



## EXHIBIT F

### PARKING RECONFIGURATION LICENSE

#### LICENSE FOR RECONFIGURATION AND MAINTENANCE OF PARKING AREAS

This License for Reconfiguration and Maintenance of Parking Areas is made this 25 day of August, 2011, by and between **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company (collectively, "Outparcel Owner") and **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware business trust ("Wal-Mart").

#### RECITALS

- A. Outparcel Owner owns certain real property located in Genoa Township, Livingston County, Michigan, containing approximately 2.0 acres and described on Exhibit A attached hereto (the "Outparcel") and depicted on Exhibit B attached hereto (the "Site Plan").
- B. The Outparcel Owner's related entity, Livingston Commons Associates, LLC is the owner of certain adjacent real property containing approximately 22.95 acres and described more particularly on Exhibit C attached hereto, which property is leased to Wal-Mart (the "Wal-Mart Parcel"). The Wal-Mart Parcel and the Outparcel are part of a development commonly known as Livingston Commons (the "Shopping Center").
- C. The Wal-Mart Parcel contains two remote parking areas depicted on Exhibit D attached hereto (the "South Remote Parking Area" and the "West Remote Parking Area", respectively, and collectively referred to as the "Remote Parking Areas").
- D. The parties acknowledge that the Remote Parking Areas are seldom, if ever used by Wal-Mart, and its customers and invitees.
- E. The Remote Parking Areas are subject to the Declaration of Restrictions and Easements for Outlots dated July 30, 1999, recorded September 10, 1999, at Liber 2652, page 82 of the records of Livingston County, Michigan (the "Declaration"), which, among other provisions, establishes parking easements on the Remote Parking Areas for the benefit of the Outparcel and other outparcels of the Shopping Center.
- E. The Wal-Mart Parcel is subject to an existing mortgage in favor of New York Life Insurance Company, which prohibits the removal of the Remote Parking Areas from the Wal-Mart Parcel.
- F. If Outparcel Owner obtains all necessary approvals ("Approvals"), Outparcel Owner may construct additional improvements on the Outparcel in compliance with the Declaration, and in such event the reconfiguration of the Remote Parking Areas would be beneficial to the operation of the Outparcel.
- G. Outparcel Owner and Wal-Mart have agreed that in the event Outparcel Owner obtains such Approvals and reconfigures the Remote Parking Areas, then Outparcel Owner may enter

into the Remote Parking Areas for the purpose of reconfiguring and further maintaining the Remote Parking Areas, all pursuant to the terms and conditions contained herein.

**AGREEMENT**

NOW, THEREFORE, in consideration of their mutual covenants and promises, Outparcel Owner and Wal-Mart hereby agree as follows:

1. Effective Date; License. The rights and obligations set forth herein shall be effective only upon the commencement by Outparcel Owner of the reconfiguration of the Remote Parking Areas (the "Effective Date"). Commencing on the Effective Date Wal-Mart hereby grants Outparcel Owner, its successor in title to the Outparcel, and holders of leasehold interests in the Outparcel a perpetual license to enter into the Remote Parking Areas for the purposes of reconfiguring parking stalls, curbs, and drive aisles contained thereon in accordance with the plans attached as Exhibit D hereto (the "Reconfiguration Plans") and for the purpose of maintaining the Remote Parking Areas as set forth herein. Wal-Mart hereby approves the Reconfiguration Plans. Wal-Mart shall have the right to consent to any material modification to the Reconfiguration Plans.

2. Maintenance. As consideration for the agreements contained herein, commencing on the Effective Date Outparcel Owner shall maintain the Remote Parking Areas in good condition and repair pursuant to the provisions of the Declaration. Additionally, Outparcel Owner shall re-wire the existing lights within the Remote Parking Areas to be under the control of and metered to Outparcel Owner. Outparcel Owner may fulfill its obligations hereunder by causing a tenant of the Outparcel or a portion thereof to undertake such obligations. Provided however, Developer shall be responsible for the enforcement of all such obligations and shall remain liable to Wal-Mart for the performance thereof.

Developer shall at all times maintain not less than sixty (60) parking spaces on the South Remote Parking Area and not less than twenty four (24) parking spaces on the West Remote Parking Area.

3. Real Estate Taxes. Commencing on the Effective Date, Outparcel Owner agrees to pay annually an amount equal to one-half (1/2) of the real estate taxes attributable to the land value only of the Remote Parking Areas determined as set forth herein. Land value shall mean the value as determined by the records of the Assessor of Livingston County, Michigan. Real estate taxes attributable to the land value of the Wal-Mart tax parcel shall be a fraction of the total real estate taxes, the numerator of which is the land value only, and the denominator of which is the total value of land and improvements. The real estate taxes attributable to the Remote Parking Areas shall be a fraction of the taxes attributable to the land value of the Wal-Mart Parcel, the numerator of which is the acreage of the Remote Parking Areas (1.08 acres) and the denominator of which is the total acreage of the Wal-Mart Parcel (22.95 acres), or 4.72%. Outparcel Owner's share of real estate taxes due hereunder shall be paid by Outparcel Owner to Wal-Mart annually within thirty (30) days of billing for same by Wal-Mart.

EXHIBIT F PAGE THREE

By way of example and without limitation, if the Outparcel Owner's share of real estate taxes for tax year 2010 were being determined pursuant to the tax bill attached hereto as Exhibit E, then the calculation would be as follows:

Total tax value of Wal-Mart Parcel (land and improvements)	\$6,717,900.00
Land value of Wal-Mart Parcel (shown under "Land Information").	\$4,498,600.00
Total real estate taxes on Wal-Mart Parcel	\$281,705.43
Real estate taxes attributable to land value of Wal-Mart Parcel-- 67% of the total taxes (\$4,498,600 divided by \$6,717,900)	\$188,742.63
Real estate taxes attributable to land value of the Remote Parking Areas (4.72%--1.08 acres divided by 22.95 acres)	\$8,908.65
	X 1/2
	<hr/> \$4,454.33

4. Existing Declaration. Nothing contained herein shall be deemed to amend or modify the Declaration, including without limitation any existing restrictions or easement rights thereunder. This Agreement shall be in addition to and not in replacement of any rights, obligations or agreements under the Declaration. Wal-Mart agrees that the parking spaces contained within the Remote Parking will be counted for the benefit of the Outparcel in the calculation of the parking ratio requirements pursuant to the Declaration.

5. Default. If Outparcel Owner defaults in its obligations hereunder, including without limitation, its obligation to pay its portion of real estate taxes as set forth herein, and such default is not cured within thirty (30) days after written notice from Wal-Mart to Outparcel Owner, then Outparcel Owner's rights under this Agreement may be terminated by written notice from Wal-Mart to Outparcel Owner.

6. Notices. Any and all notices required hereunder shall be deemed to be properly served if delivered in writing personally, or sent by certified mail with return receipt requested, to Wal-Mart or Outparcel Owner at the address below or to any subsequent address which Wal-Mart or Outparcel Owner may designate in writing for such purpose. Date of service of a notice served by mail shall be the date on which such notice is deposited in a Post Office of the United States Postal Service, while notice served by personal delivery or by facsimile shall be effective upon receipt.

EXHIBIT F PAGE FOUR

Wal-Mart: Wal-Mart Real Estate Business Trust  
702 SW Eighth Street  
Bentonville, Arkansas 72716

Outparcel Owner: RLG Howell LLC and GCG Howell LLC  
Attn: Bo Gunlock  
8163 Old Yankee Road  
Dayton, OH 45458

7 Indemnity; Insurance. Outparcel Owner shall indemnify and hold Wal-Mart harmless from any loss, cost, claim or expense arising from or related to Outparcel Owner's exercise of its rights under this Agreement. This indemnity shall survive the termination of this Agreement. Outparcel Owner and any successor in title or holder of a leasehold interest the Outparcel shall carry liability insurance as required by the Declaration and shall provide Wal-Mart a certificate of such insurance evidencing that same is in force, including annual renewals thereof. Such certificate shall name Wal-Mart and Outparcel Owner (if applicable) as additional insureds and shall provide that same may not be cancelled without thirty (30) days prior written notice.

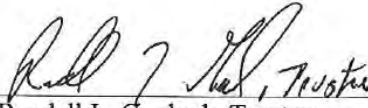
8. Miscellaneous. This Agreement may not be amended except by an agreement in writing signed by both parties. If either party files a lawsuit in connection with this Agreement, the party that prevails in such action shall be entitled to recover from the nonprevailing party, in addition to all other remedies or damages, reasonable attorneys' fees and costs of court incurred in such lawsuit. Time is of the essence with respect to every provision of this Agreement. No waiver by either party of any of its rights or remedies hereunder shall be effective unless such waiver is evidenced in a written instrument executed by the waiving party.

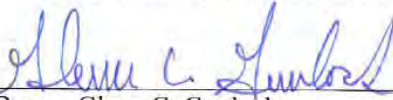
9. Binding Agreement. This Agreement shall be binding upon and inure to the benefit of Wal-Mart, Outparcel Owner, and their successors in leasehold interest in title respectively during the term of the Wal-Mart lease and any renewals thereof.. Outparcel Owner may assign its rights hereunder to any successor in title or holder of a leasehold interest in the Outparcel.

The parties have set their hands as of the date and year first written.

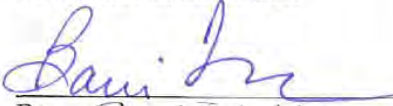

OUTPARCEL OWNER: RLG HOWELL  
LLC,  
A Michigan liability company

By: Randall L. Gunlock, Trustee under the  
Amended Revocable Trust Agreement  
Dated September 18, 2000, Randall L.  
Gunlock, Grantor, Managing Member

  
By: Randall L. Gunlock, Trustee  
GCG HOWELL LLC,  
A Michigan limited liability company

  
By: Glenn C. Gunlock  
Its: Managing Member

WAL-MART: WAL-MART REAL  
ESTATE BUSINESS TRUST,  
a Delaware business trust

  
By: Barri Tulgetke  
Its: Sr. Business Unit Mgr. 

**EXHIBITS**

- Exhibit A Outparcel Legal Description
- Exhibit B Site Plan
- Exhibit C Wal-Mart Parcel Legal Description
- Exhibit D Remote Parking Areas
  - South Remote Parking Area
  - West Remote Parking Area
- Exhibit E Reconfiguration Plans
- Exhibit F 2010 tax bill



EXHIBIT A

OUTPARCEL OWNER PARCEL

Lot 4  
11-05-400-047

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;  
Thence South 87 degrees 37 minutes 12 seconds West along the South line of said section, 60.02 feet  
to the westerly right-of-way line of Latson Road;  
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 214.95 feet to the Point of Beginning;

Thence South 88 degrees 27 minutes 00 seconds West, 213.08 feet;  
Thence North 01 degrees 33 minutes 24 seconds West, 71.01 feet to a tangential curve to the left;  
Thence northwesterly along said curve, R = 102.00, delta = 62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;  
Thence North 64 degrees 00 minutes 14 seconds West, 59.21 feet;  
Thence North 25 degrees 59 minutes 46 seconds East, 236.98 feet to a point on the southerly right-of-way line of Grand River Road;  
Thence South 63 degrees 57 minutes 17 seconds East, along said right-of-way, 233.50 feet to a point on the westerly right-of-way line of Latson Road;  
Thence South 20 degrees 31 minutes 52 seconds East, along said right-of-way line, 21.17 feet;  
Thence South 00 degrees 54 minutes 40 seconds, East, along said right-of-way line, 270.73 feet to the Point of Beginning.

Said parcel contains 2.03 acres, more or less.

EXHIBIT B  
SITE PLAN

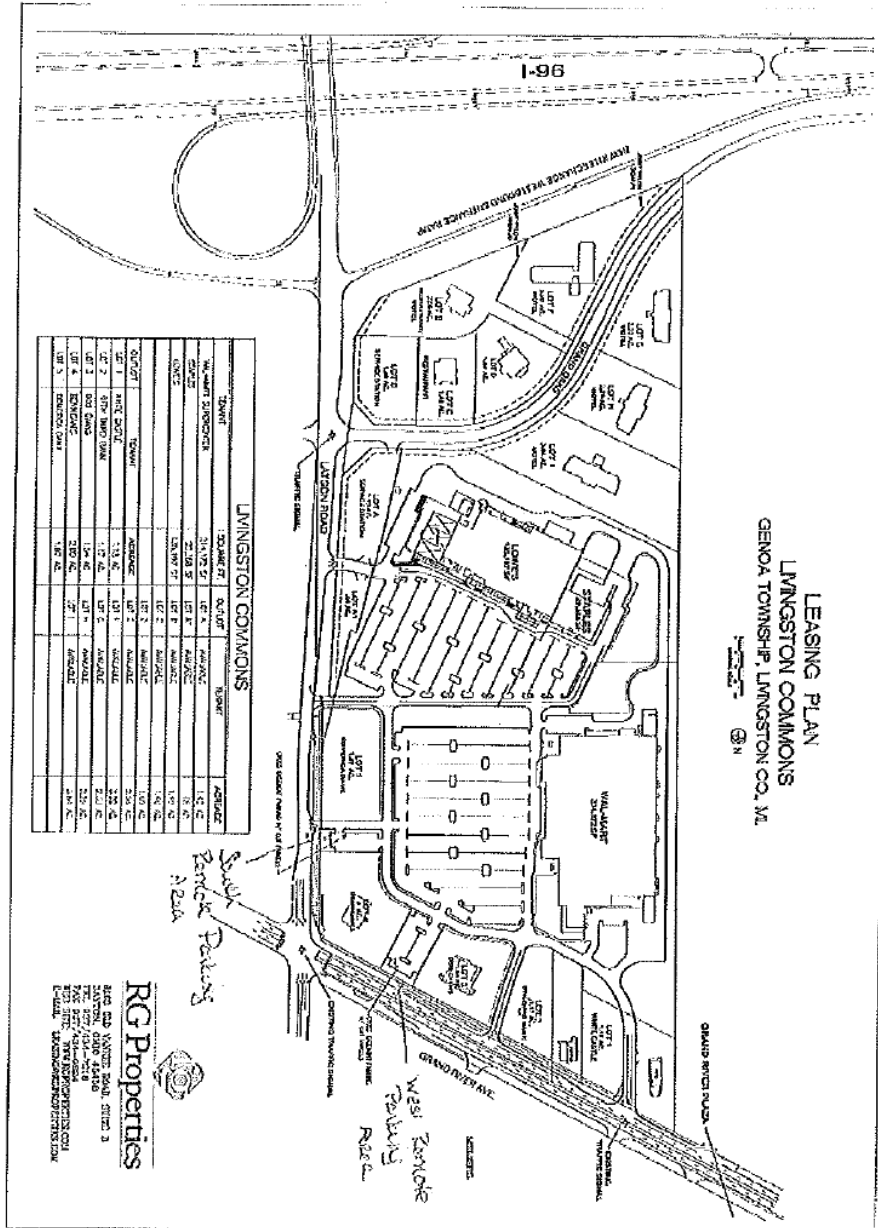


EXHIBIT C  
WAL-MART PARCEL

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;  
Thence South 87 degrees 37 minutes 12 seconds West, along the South line of said section, 60.02 feet to a point on the westerly right-of-way line of Latson Road;  
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 106.85 feet; to the Point of Beginning;

Thence South 88 degrees 27 minutes 17 seconds West, 211.90 feet;  
Thence South 01 degrees 32 minutes 43 seconds East, 109.91 feet to a point on the South line of said Section 5

Thence continuing South 01 degrees 32 minutes 43 seconds East, 242.09 feet to a tangential curve to the left;

Thence easterly along said curve, R=43.00 feet, delta=90 degrees 00 minutes 00 seconds, a distance of 67.54 feet;

Thence South 88 degrees 27 minutes 39 seconds West, 671.73 feet to a tangential curve to the left;

Thence southerly along said curve, R=58.00 feet, delta=65degrees 00 minutes 39 seconds, a distance of 65.81 feet;

Thence South 23 degrees 27 minutes 00 seconds West, 131.30 feet;

Thence South 88 degrees 27 minutes 39 seconds West, 282.84 feet;

Thence North 01 degrees 27 minutes 28 seconds West, 422.70 feet to a point on the South line of said Section 5;

Thence continuing North 01 degrees 37 minutes 12 seconds West, 867.93 feet;

Thence South 63 degrees 55 minutes 45 seconds East, 151.40 feet;

Thence North 01 degrees 41 minutes 57 seconds West, 320.72 feet to a point on the southerly right-of-way line of Grand River Road;

Thence South 63 degrees 56 minutes 04 seconds East, along said right-of-way line, 88.56 feet;

Thence South 30 degrees 38 minutes 19 seconds West, 65.36 feet;

Thence South 01 degrees 37 minutes 12 seconds West, 178.33 feet to a tangential curve to the left;

Thence easterly along said curve, R=250.00 feet, delta=62 degrees 01 minutes 29 seconds, a distance of 270.63 feet;

Thence South 63 degrees 38 minutes 39 seconds East, 11.65 feet;

Thence North 01 degrees 39 minutes 45 seconds West, 3.76 feet;

Thence South 63 degrees 57 minutes 17 seconds East, 120.00 feet;

Thence South 01 degrees 39 minutes 26 seconds East, 4.59 feet to a tangential curve to the left;

Thence easterly along said curve, R=112.50 feet, delta=39 degrees 03 minutes 45 seconds, a distance of 76.70 feet to a point of compound curvature;

EXHIBIT C PAGE TWO

Thence northerly along said curve, R=25.00 feet, delta=60 degrees 06 minutes 10 seconds, a distance of 26.22 feet;  
Thence North 17 degrees 11 minutes 25 seconds East, 138.74 feet;  
Thence North 14 degrees 23 minutes 42 seconds East, 156.54 feet to the southerly right-of-way of Grand River Road;  
Thence South 63 degrees 57 minutes 17 seconds East, 34.72 feet along said right-of-way;  
Thence South 14 degrees 23 minutes 42 seconds West, 150.27 feet;  
Thence South 17 degrees 11 minutes 25 seconds West, 121.51 feet to a tangential curve to the left;  
Thence easterly along said curve, R=33.0 feet, delta=102 degrees 39 minutes 01 seconds, a distance of 59.12 feet;  
Thence South 85 degrees 27 minutes 35 seconds East, 116.92 feet to a tangential curve to the right;  
Thence easterly along said curve, R=182.00 feet, delta=21 degrees 27 minutes 22 seconds, a distance of 68.16 feet;  
Thence South 64 degrees 00 minutes 14 seconds East, 38.24 feet;  
Thence North 25 degrees 59 minutes 46 seconds East, 237.29 feet to the southerly right-of-way of Grand River Road;  
Thence South 63 degrees 57 minutes 17 seconds East, 126.00 feet along said right-of-way;  
Thence South 25 degrees 59 minutes 46 seconds West, 236.98 feet;  
Thence South 64 degrees 00 minutes 14 seconds East, 59.21 feet to a tangential curve to the right;  
Thence southerly along said curve, R=102.00 feet, delta=62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;  
Thence South 01 degrees 33 minutes 24 seconds East, 71.01 feet;  
Thence North 88 degrees 27 minutes 00 seconds East, 213.08 feet to the westerly right-of-way line of Latson road;  
Thence South 00 degrees 54 minutes 40 seconds East, 108.10 feet along said right-of-way line to the Point of Beginning.

Said parcel contains 23.11 acres, more or less.

EXHIBIT D

REMOTE PARKING AREAS

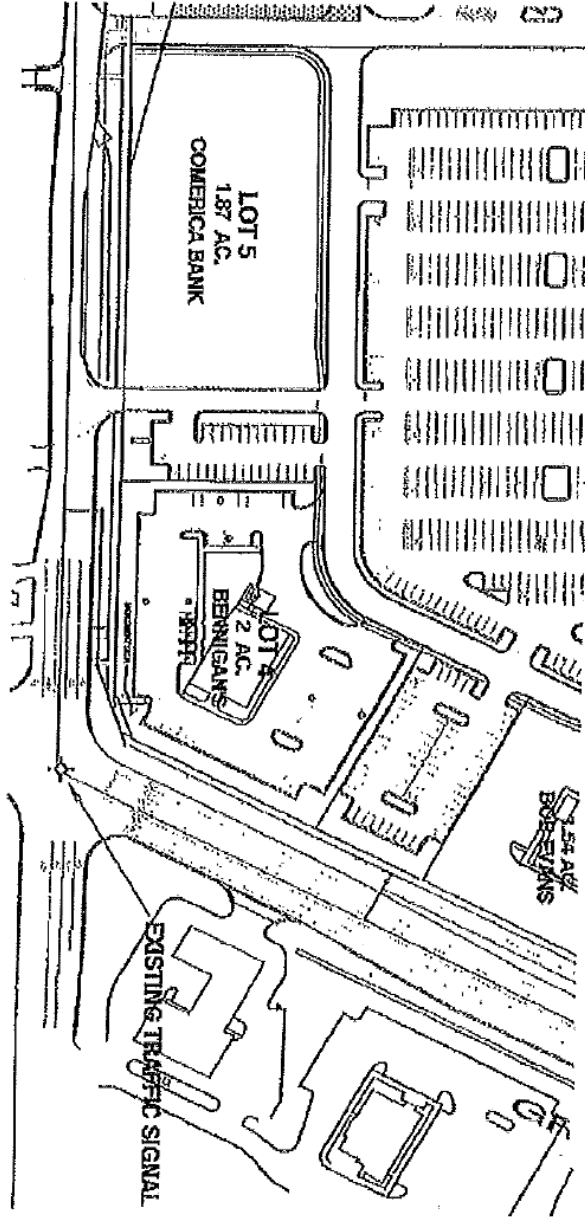


EXHIBIT E

RECONFIGURATION OF REMOTE PARKING AREAS

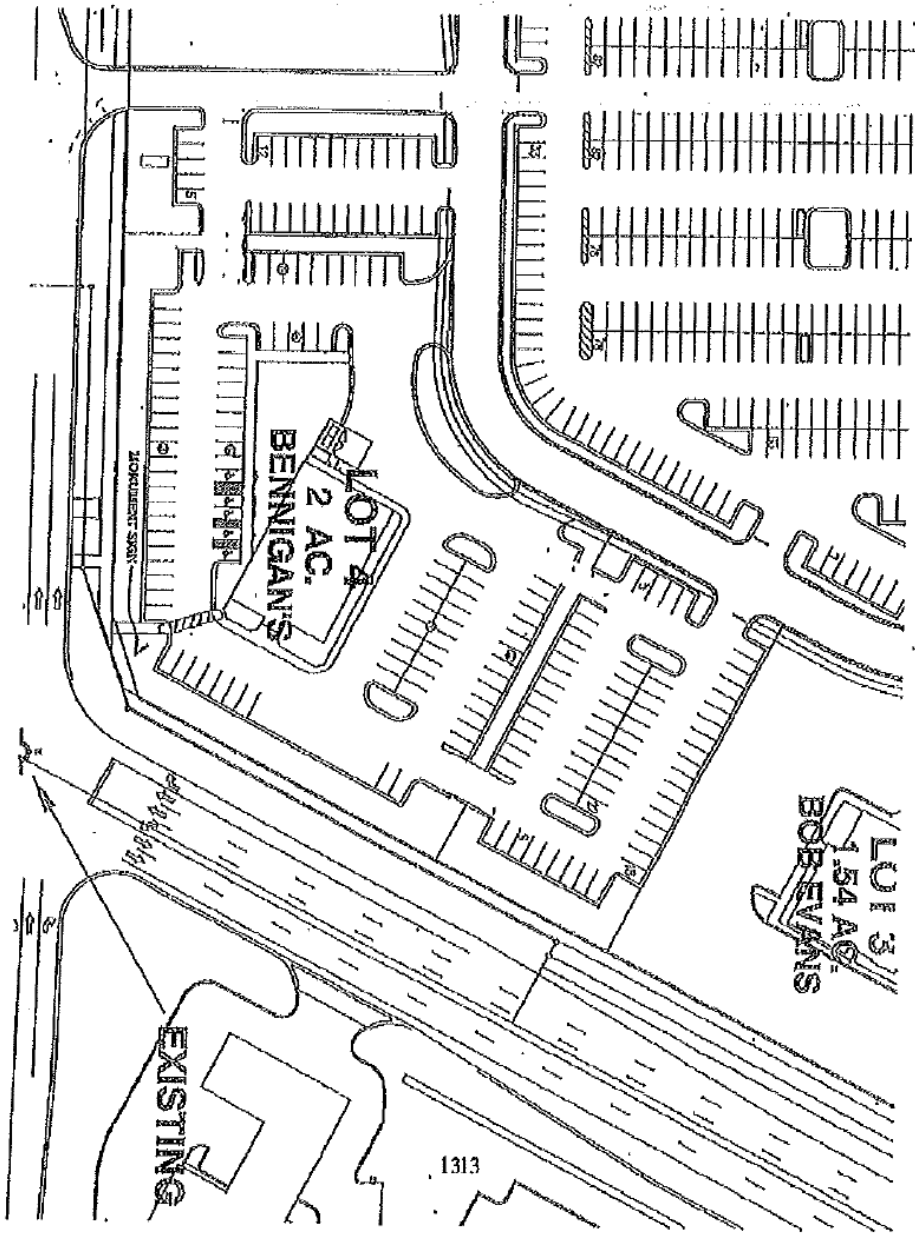


EXHIBIT F  
TAX BILL

[Send To Printer]

Parcel: 4711-05-400-049

<b>Unit Information</b>	[collapse]
Genoa Township	

<b>Property Address</b>	[collapse]
3850 E GRAND RIVER HOWELL, MI 48843	

<b>Owner Information</b>	[collapse]
WAL-MART STORES #DIVISION-STORE STORE # 1754 DEPT 0555 PO BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	Unit: 4711

<b>Taxpayer Information</b>	[collapse]
SEE OWNER INFORMATION	

<b>Legal Information for 4711-05-400-049</b>	[collapse]
<p>SEC 5 &amp; 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12"W 60.02 FT, TH N 106.05 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH ELY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.01 FT, TH S88°27'39"W 671.98 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 178.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'69"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N04°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 33 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RAIDUS IS 102 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 105.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27"E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 08-200-001 5/99 CORR LEGAL 1/01</p>	

EXHIBIT F PAGE FOURTEEN

EXHIBIT E PAGE TWO

General Information for 2010 Summer			
School District:	47070	PRE/MBT %:	0.0000
Taxable Value:	\$6,717,900	State Equalized Value:	\$6,717,900
Property Class:	201	Assessed Value:	\$6,717,900
Tax Bill Number:		Last Receipt Number:	00013880
Last Payment Date:	09/03/2010	Number Of Payments:	1
Base Tax:	\$221,729.65	Base Paid:	\$221,729.65
Admin Fees:	\$2,217.29	Admin Fees Paid:	\$2,217.29
Interest Fees:	\$0.00	Interest Fees Paid:	\$0.00
Total Tax & Fees:	\$223,946.94	Total Paid:	\$223,946.94
Renaissance Zone:	N/A	Mortgage Code:	N/A

Tax Bill Breakdown for 2010 Summer

Taxing Authority	Millage Rate	Amount	Amount Paid
STATE RD TAX	6.000000	\$40,307.40	\$40,307.40
HO SCHOOL OPER	18.000000	\$120,922.20	\$120,922.20
HO SCHOOL DEBT	3.280000	\$22,034.71	\$22,034.71
COUNTY ALLOCATED	3.389700	\$22,771.66	\$22,771.66
LIVINGSTON ISD N	2.336100	\$15,693.68	\$15,693.68
LIVINGSTON ISD P	1.168100	\$0.00	\$0.00
Admin Fees:		\$2,217.29	\$2,217.29
Interest Fees:		\$0.00	\$0.00
<b>Totals:</b>	<b>34.173900</b>	<b>\$223,946.94</b>	<b>\$223,946.94</b>

Parcel: 4711-05-400-049

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EXHIBIT E PAGE THREE

[Send To Printer]

Parcel: 4711-05-400-049

<b>Unit Information</b> [collapse]		
Genoa Township		
<b>Property Address</b> [collapse]		
3850 E GRAND RIVER HOWELL, MI 48843		
<b>Owner Information</b> [collapse]		
WAL-MART STORES #DIVISION-STORE STORE #1754 DEPT 0555 PO BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	<b>Unit:</b>	4711
<b>Taxpayer Information</b> [collapse]		
SEE OWNER INFORMATION		
<b>Legal Information for 4711-05-400-049</b> [collapse]		
<p>SEC 5 &amp; 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12"W 60.02 FT, TH N 106.85 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH ELY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.81 FT, TH S88°27'39"W 671.98 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 178.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'59"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N04°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 93 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RADIUS IS 182 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 105.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27"E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 08-200-001 5/99 CORR LEGAL 1/01</p>		

EXHIBIT F PAGE SIXTEEN

EXHIBIT E PAGE FOUR


General Information for 2010 Winter			
School District:	47070	PRE/MBT %:	0.0000
Taxable Value:	\$6,717,900	State Equalized Value:	\$6,717,900
Property Class:	201	Assessed Value:	\$6,717,900
Tax Bill Number:		Last Receipt Number:	
Last Payment Date:		Number Of Payments:	0
Base Tax:	\$57,186.63	Base Paid:	\$0.00
Admin Fees:	\$571.86	Admin Fees Paid:	\$0.00
Interest Fees:	\$0.00	Interest Fees Paid:	\$0.00
Total Tax & Fees:	\$57,758.49	Total Paid:	\$0.00
Renaissance Zone:	N/A	Mortgage Code:	N/A

Tax Bill Breakdown for 2010 Winter

Taxing Authority	Millage Rate	Amount	Amount Paid
COUNTY AMBULANCE	0.294500	\$1,978.42	\$0.00
HCMA - PARKS	0.214600	\$1,441.66	\$0.00
VETERANS RELIEF	0.050000	\$335.89	\$0.00
GENOA ALLOC	0.814600	\$5,472.40	\$0.00
HO SCHOOL DEBT	3.280000	\$22,034.71	\$0.00
LIVINGSTON ISD	1.168000	\$0.00	\$0.00
HO LIBRARY	0.692000	\$4,648.78	\$0.00
BR FIRE AUTH	1.250000	\$8,397.37	\$0.00
GRAND RIVER WTR	0.000000	\$6,969.85	\$0.00
GR RVR WIDENING	0.000000	\$5,907.55	\$0.00
Admin Fees:		\$571.86	\$0.00
Interest Fees:		\$0.00	\$0.00
<b>Totals:</b>	<b>7.783700</b>	<b>\$57,758.49</b>	<b>\$0.00</b>

Parcel: 4711-05-400-049

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General/Sales

Buildings

Images/Sketches

**Related Details...**

Tax Information

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collapse the menu

Click this button to collapse the above menu to the top of the screen.

### General Property Information

Parcel: 4711-05-400-049 Data Current As Of: 4:27 AM 5/07/2010  Printer friendly version

[View this parcel on a map](#)

\*\*NOTE: There is 1 image and 1 sketch attached to the current property.

**Property Address** [collapse]

3850 E GRAND RIVER  
HOWELL, MI 48843

**Owner Information** [collapse]

WAL-MART STORES #DIVISION-STORE Unit: 4711  
STORE #1754 DEPT 0555  
PO BOX 8050 MS 0555  
BENTONVILLE, AR 72712-8050

**Taxpayer Information** [collapse]

SEE OWNER INFORMATION

**General Information for Tax Year 2010** [collapse]

Property Class:	201	Assessed Value:	\$6,717,900
School District:	47070 - HOWELL	Taxable Value:	\$6,717,900
State Equalized Value:	\$6,717,900	Map #:	AMY123
USER NUM IDX	216	Date of Last Name Chg:	04/30/2007

Date Filed:

Principal Residence Exemption (2010 May 1):	0.0000 %
Principal Residence Exemption (2010 Final):	0.0000 %
Principal Residence Exemption (2011 May 1):	0.0000 %

Previous Year Info	MBOR Assessed	Final S.E.V.	Final Taxable
2009	\$7,328,300	\$7,328,300	\$7,328,300
2008	\$7,828,900	\$7,525,000	\$7,525,000

**Land Information** [collapse]

Acreage: 22.95          Frontage: 0.00 Ft.

34

Zoning Code:	NRPUD	Depth:	0.00 Ft.
Land Value:	\$4,498,600	Mortgage Code:	00000
Land Improvements:	\$797,124	Lot Dimensions/Comments:	
Renaissance Zone:	NO		
ECF Neighborhood Code:	2010 - 2010 BIG BOX		

**Legal Information for 4711-05-400-049** [collapse]

SEC 5 & 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12" W 60.02 FT, TH N 106.85 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH E'LY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.81 FT, TH S88°27'39"W 671.98 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 170.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'59"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N04°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 33 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RAIDUS IS 182 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 106.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27"E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 08-200-001 5/99 CORR LEGAL 1/01

**Sales Information**

1 sale record(s) found.

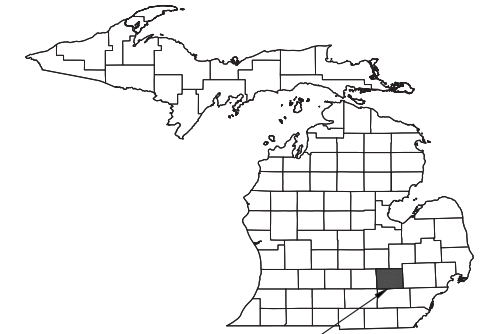
Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms Of Sale	Liber/Page
01/04/2001	\$0.00	WD	WAL-MART STORES #DIVISION-STORE		ARMS-LENGTH	28880902

Load Building Information on this Page.

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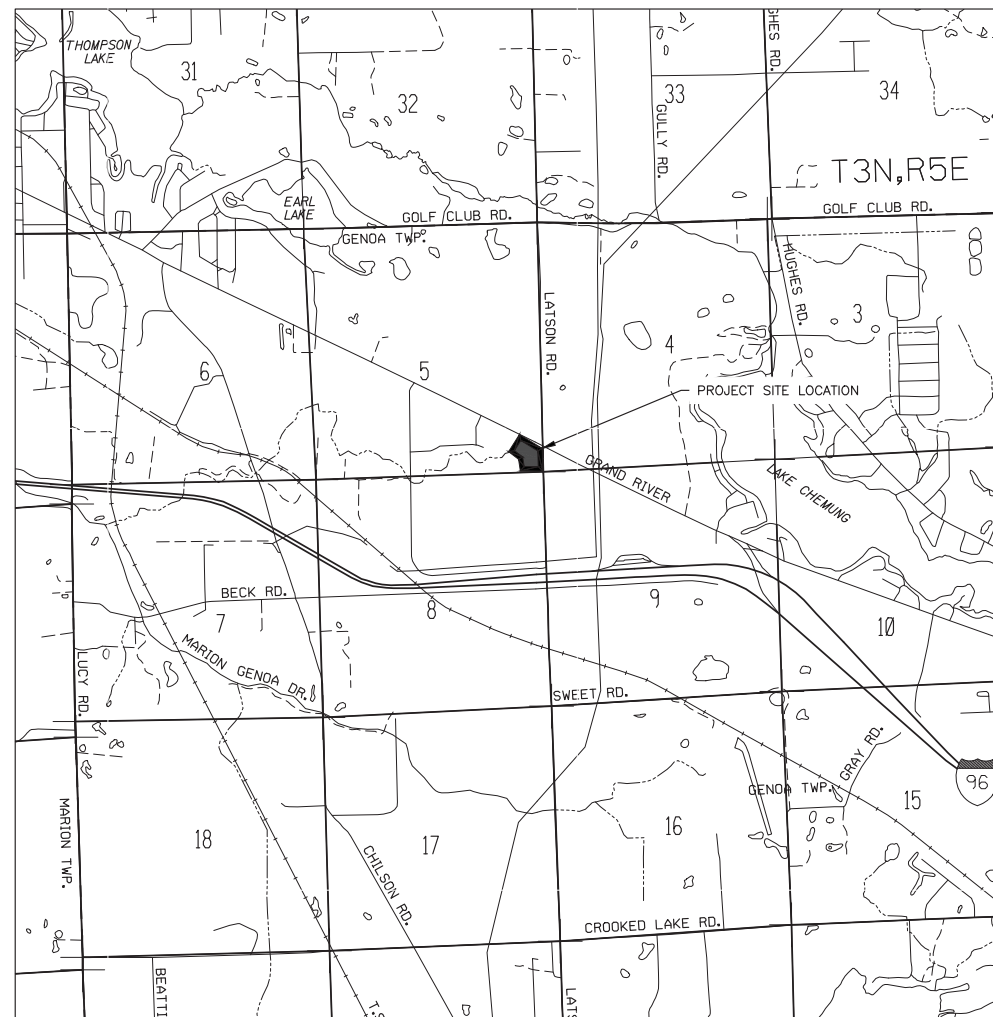
# SITE PLANS FOR PANERA BREAD GENOA TOWNSHIP LIVINGSTON COUNTY, MICHIGAN



PROJECT LOCATION:  
LIVINGSTON COUNTY, MI

**KEY MAP**  
NOT TO SCALE

UTILITY CONTACTS	
GAS	CONSUMER'S ENERGY 101 S. WASHINGTON SQUARE HOWELL, MI 48843 (517) 545-8722
TELEPHONE	AT&T (800) 464-7929
ELECTRIC	DETROIT EDISON 101 S. WASHINGTON SQUARE LANSING, MI 48933 (517) 485-1939
TRANSPORTATION	MDOT MARK SWEENEY 10321 E. GRAND RIVER, SUITE 500 BRIGHTON, MI 48116 (810) 227-4681
TRANSPORTATION (LATSON RD.)	LIVINGSTON COUNTY ROAD COMMISSION 3535 GRAND OAKS DRIVE HOWELL, MI 48843 (517) 546-4250
WATER SERVICE	M.H.O.G WATER AUTHORITY GREG TATARA 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225
SANITARY SEWER	M.H.O.G WATER AUTHORITY GREG TATARA 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225
STORM SEWER	LIVINGSTON COUNTY DRAIN COMMISSIONER 2300 E GRAND RIVER AVE, SUITE 105 HOWELL, MI 48843 (517) 546-0040
SOIL EROSION	LIVINGSTON COUNTY DRAIN COMMISSIONER 2300 E GRAND RIVER AVE, SUITE 105 HOWELL, MI 48843 (517) 546-0040
PLANNING & ZONING	GENOA TOWNSHIP 2911 DORR ROAD BRIGHTON, MI 48116 (810) 227-5225



SHEET INDEX	
<b>GENERAL SHEETS</b>	<b>SHEET NO.</b>
COVER SHEET	C-0.0
EXISTING CONDITIONS SURVEY	C-0.1
DEMOLITION PLAN	C-1.0
SITE PLAN	C-2.0
SITE DETAILS	C-2.1
SITE DETAILS	C-2.2
SITE DETAILS	C-2.3
UTILITY PLAN	C-3.0
WATER DETAILS	C-3.1
SANITARY DETAILS	C-3.2
STORM & MISCELLANEOUS UTILITY DETAILS	C-3.3
GRADING PLAN	C-4.0
DRAINAGE MAP	C-4.1
LANDSCAPE PLAN	C-5.0
LANDSCAPE DETAILS	C-5.1
SITE LIGHTING PLAN	C-6.0
SITE LIGHTING DETAILS	C-6.1
<b>PLANS PREPARED BY OTHERS</b>	<b>SHEET NO.</b>
EXTERIOR ELEVATIONS	A-5.1
EXTERIOR ELEVATIONS	A-5.2
FLOOR PLAN EQUIPMENT	EQ-2.1

### LEGAL DESCRIPTION: (ALSO SEE SHEET C-0.1)

LOT 4  
4711-05-400-047

PARCEL OR LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 5, TOWN 2 NORTH, RANGE 5 EAST; THENCE SOUTH 87 DEGREES 37 MINUTES 12 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION, 60.02 FEET TO THE WESTERLY RIGHT OF WAY LINE OF LATSON ROAD; THENCE NORTH 00 DEGREES 54 MINUTES 40 SECONDS WEST, ALONG SAID RIGHT OF WAY LINE, 214.95 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 27 MINUTES 00 SECONDS WEST, 215.08 FEET; THENCE NORTH 01 DEGREES 33 MINUTES 24 SECONDS WEST, 71.01 FEET TO A TANGENTIAL CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG SAID CURVE, R= 102.00, DELTA = 62 DEGREES 27 MINUTES 31 SECONDS, A DISTANCE OF 111.19 FEET; THENCE NORTH 64 DEGREES 00 MINUTES 14 SECONDS WEST, 59.21 FEET; THENCE NORTH 25 DEGREES 59 MINUTES 46 SECONDS EAST, 236.98 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND RIVER ROAD; THENCE SOUTH 63 DEGREES 57 MINUTES 17 SECONDS EAST, ALONG SAID RIGHT OF WAY, 233.50 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF LATSON ROAD; THENCE SOUTH 20 DEGREES 31 MINUTES 52 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, 21.17 FEET; THENCE SOUTH 00 DEGREES 54 MINUTES 40 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, 270.73 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 2.03 ACRES, MORE OR LESS.

THE ABOVE LEGAL DESCRIPTION DOES NOT CONSIDER LAND DEEDED TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) IN 2012, DEED DOCUMENT #2012R-030745

### MDOT STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE MDOT STANDARD PLANS.

### GENOA TOWNSHIP STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE GENOA TOWNSHIP STANDARD PLANS.

### LIVINGSTON COUNTY STANDARD PLANS

WHERE INDICATED ON THE PLANS, ITEMS ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARDS REFERENCED, UNLESS OTHER NOTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE LIVINGSTON COUNTY STANDARD PLANS.

### VICINITY MAP

1"=2000'  
HOWELL, T3N, R5E, SECTION 5

### PROJECT SITE ADDRESS

3950 E GRAND RIVER AVE.  
HOWELL, MICHIGAN 48843

### GENOA TOWNSHIP ZONING DISTRICT

NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT

### SITE DEVELOPER

JIM BLAIR  
RG PROPERTIES, INC.  
10050 INNOVATION DR, SUITE 100  
DAYTON, OH 45342  
(937) 424-3904  
jblair@rgproperties.com

### ARCHITECT

MATTHEW HINCHCLIFFE  
ARCVISION, INC.  
1950 CRAIG ROAD, STE. 300  
ST. LOUIS, MI 63146  
(314) 415-2368  
mhinchcliffe@arcv.com

### SITE ENGINEER-SURVEYOR

WADE TRIM  
CHARLES J. CHRISTY, PE  
555 S. SAGINAW STREET, SUITE 201  
FLINT, MI 48502  
(810) 235-2555  
christy@wadetrim.com

### CONTRACTOR

NOT KNOWN AT THIS TIME

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED: PC: APRIL 20, 2015

JOB NO. <b>RGP1001.01F</b>	SHEET <b>C-0.0</b>
-------------------------------	-----------------------



555 South Saginaw Street, Suite 201  
Flint, MI 48502  
810.235.2555/800.841.0342  
FAX: 810.235.4975  
www.wadetrim.com

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PREPARED UNDER THE SUPERVISION OF:



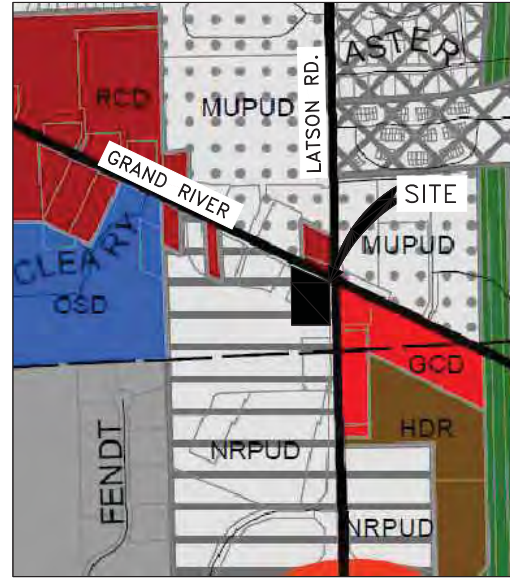
PROJECT MANAGER: C:\PW\_WORK\CHRISTY\00564861\GCS-PLTS-COVERSHEET.DWG - C-0.0 - PLOTTED 4/20/2015 8:49 AM BY CHRISTY, CHARLES



Know what's below.  
Call before you dig.

© Wade Trim Group, Inc. LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ZONING & LAND USE MAP  
NO SCALE



LEGAL DESCRIPTION:

LOT 4  
11-05-400-047  
SAID PARCEL CONTAIN 2.03 ACRES, MORE OR LESS  
(88,427 SFT)  
REFER TO PREVIOUS TOPOGRAPHICAL SURVEY COMPLETED FOR  
BENNIGAN'S RESTAURANT BY BARTOW & KING ENGINEERS, DATED  
JUNE 2003  
PARCEL TO BE SPLIT.

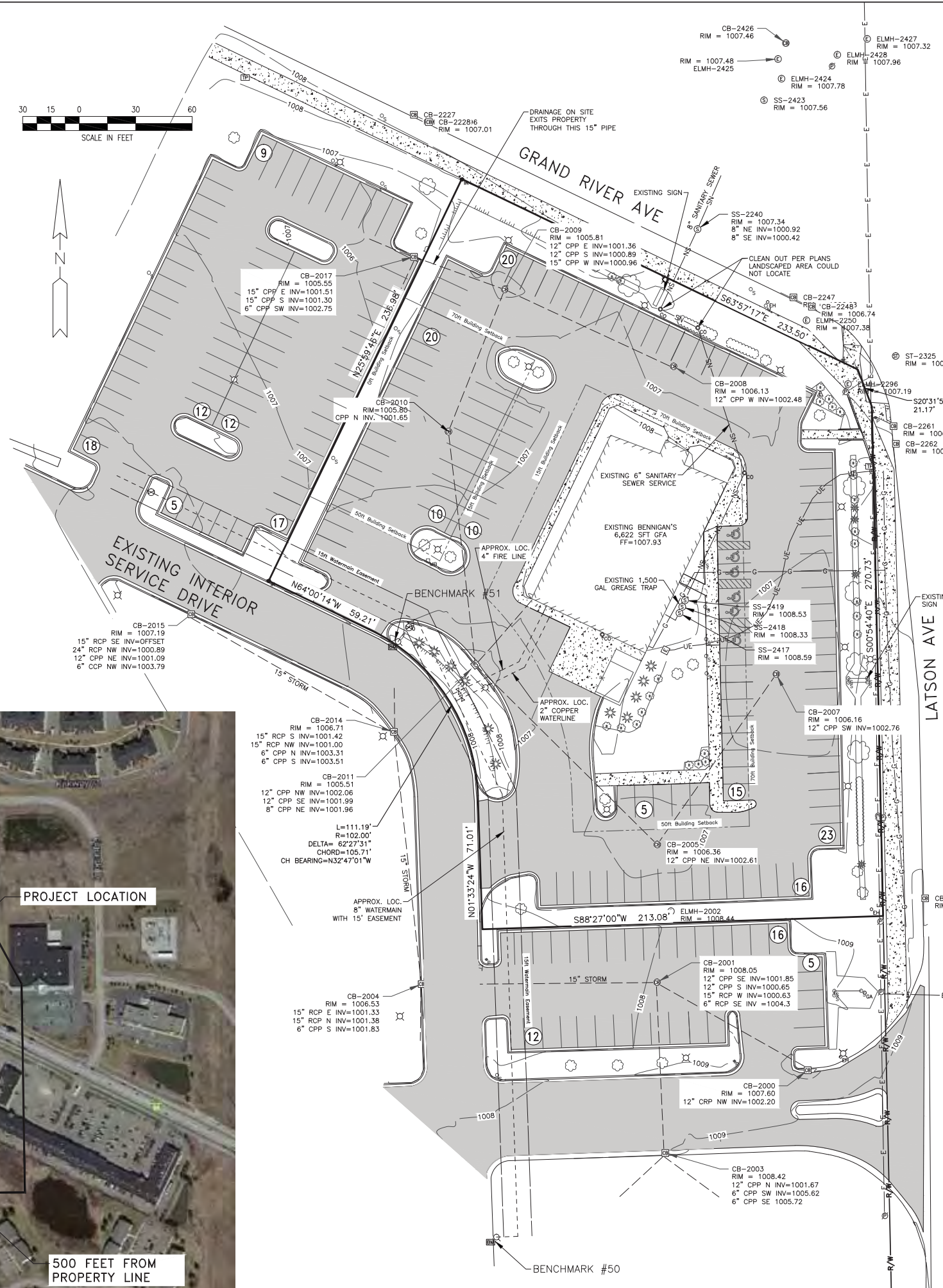
SETBACKS:

FRONT 70'  
SIDE 15'  
REAR 50'

FOR SOILS INFORMATION, REFER TO SHEET C-7.0



AERIAL MAP  
NO SCALE



LEGEND

- BENCHMARK
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- ELECTRIC HANDHOLE
- ELECTRIC OUTLET
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER BOX
- ELECTRIC METER
- TELEPHONE PEDESTAL
- MAILBOX
- SIGN
- POST
- GATE VALVE
- HYDRANT
- STORM MANHOLE
- CATCH BASIN
- SANITARY MANHOLE
- CLEAN OUT
- DECIDUOUS TREE
- DECIDUOUS BUSH
- CONIFEROUS TREE
- UNDERGROUND MARKER
- OVERHEAD ELECTRIC
- BUILDING LINE
- FENCE
- WALL
- PARKING STRIPE
- BACK OF CURB
- EDGE OF PAVEMENT
- GUTTER
- TOP OF BANK
- EDGE OF LANDSCAPE
- STORM LINE
- SANITARY SEWER LINE
- MINOR CONTOUR
- GAS LINE
- CONCRETE
- ASPHALT

BENCHMARKS:

BM #50 - 1010.89  
ARROW ON TOP OF HYDRANT LOCATED ON THE SOUTHWEST QUADRANT OF THE WAL-MART DRIVE AND ENTRANCE DRIVE 450' SOUTH OF THE INTERSECTION OF GRAND RIVER AVE AND LATSON AVE, ±270 WESTERLY OF LATSON AVE.  
BM #51 - 1010.77  
ARROW ON TOP OF HYDRANT LOCATED AT THE EASTERLY SIDE OF THE WAL-MART SERVICE DRIVE

SURVEY NOTES

- BEARING ARE BASED ON ALTA SURVEY BY BARTOW & KING ENGINEERS DATED JUNE 2003.
- HORIZONTAL - NAD83 (2011) MICHIGAN STATE PLANE COORDINATES SOUTH ZONE (2113) VERTICAL - NAVD83 (CORS) GPS DERIVED

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CERTIFICATION

WE, WADE-TRIM, INC., CERTIFY THAT WE PERFORMED THIS SURVEY ON OCTOBER 20, 2014 AND THAT THE DRAWING IS A TRUE AND ACCURATE REPRESENTATION THEREOF.

Kristine N. Saia, PS#58654

REV#	DATE	DESCRIPTION	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED.

Wade-Trim  
1000 S. State Street, Suite 201  
Farmington Hills, MI 48334  
810.285.2550 (toll free)  
www.wadetrim.com

PANERA BREAD  
3950 E. GRAND RIVER  
HOWELL, MICHIGAN 48843  
EXISTING CONDITIONS SURVEY

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

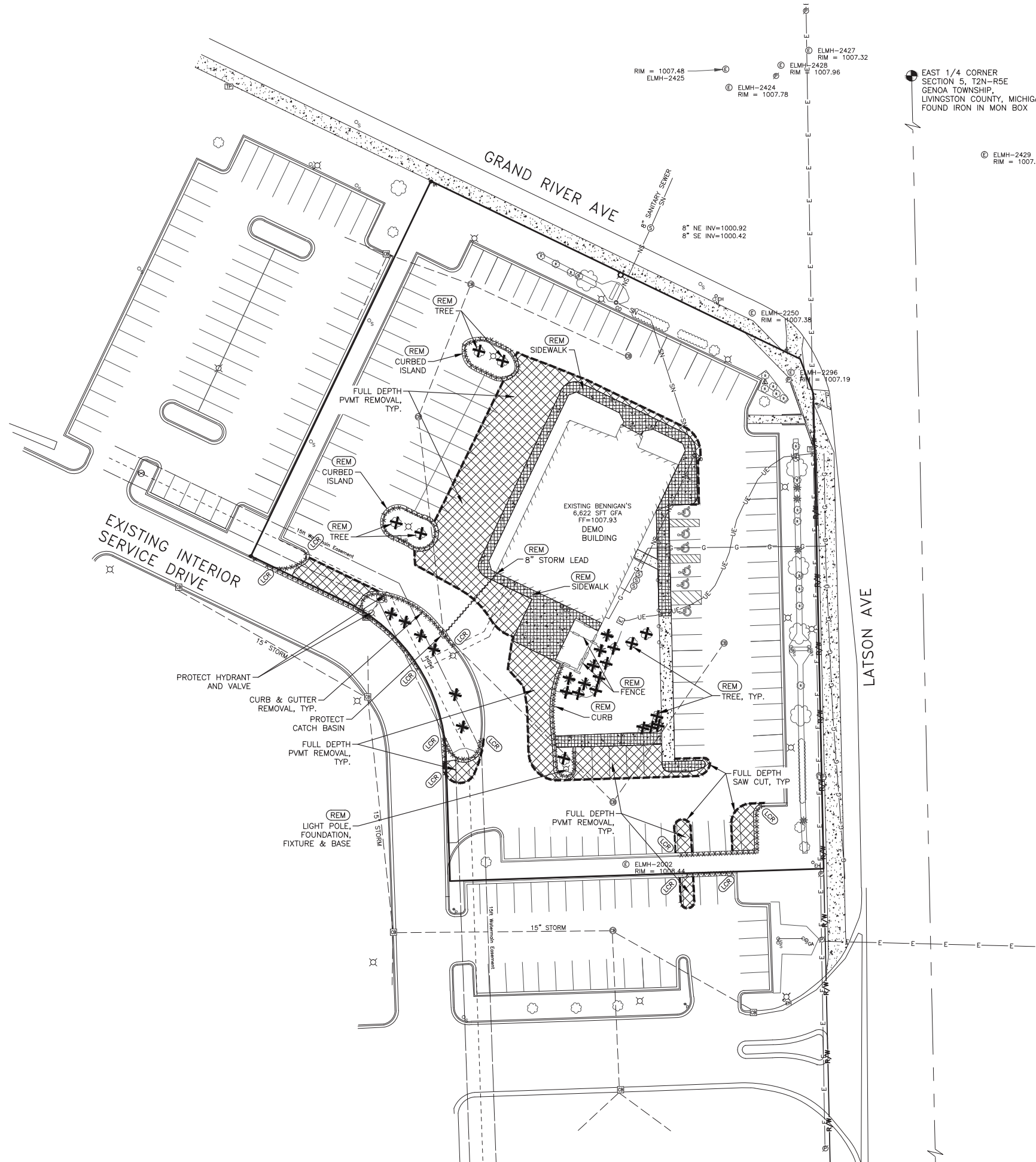
ISSUED FOR:	DATE:	BY:
PC	3/26/15	C.C.
PC	4/20/15	C.C.

JOB NO. RGP1001.01F  
SHEET C-0.1

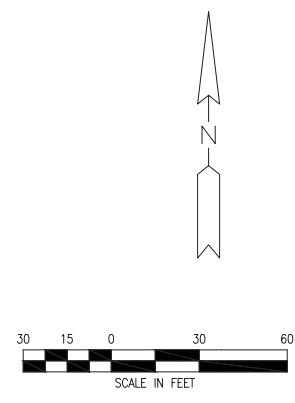
PROJECT MANAGER: CHARLES J. CHRISTY, PE  
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SOUTHWEST CORNER SECTION 5, T2N-R5E GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN FOUND IRON IN MON BOX

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 C:\PW\WORK\CHRISTY\0564861\PL-15P-DEMOLITION PLAN.DWG - C-1.0 - PLOTTED 4/19/2015 2:32 PM BY CHRISTY, CHARLES



EAST 1/4 CORNER  
 SECTION 5, T2N-R5E  
 GENOA TOWNSHIP,  
 LIVINGSTON COUNTY, MICHIGAN  
 FOUND IRON IN MON BOX



CURB AND GUTTER REMOVAL	-XXXXXXXXXX-
LIMITS OF CURB & GUTTER REMOVAL	-XXXXXXXXXX- (with LCR symbol)
SAW CUT, FULL DEPTH	-----
FULL-DEPTH ASPHALT REMOVAL	XXXXXX (cross-hatched)
CONCRETE REMOVAL	XXXXXX (grid pattern)
REMOVE ITEM	(REM)
TREE REMOVAL	+
UTILITY REMOVAL	~~~~~

- NOTES:**
- CONTRACTOR TO GRIND OFF & REMOVE ALL REMAINING PVMT STRIPING THAT IS NOT PART OF FINAL PLAN
  - THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR COMPLETENESS OR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO OBTAIN ONSITE LOCATIONS OF EXISTING UTILITIES
  - ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER A BUILDING
  - CONTRACTOR TO COORDINATE TEMPORARY DISCONNECTS OF ELECTRIC SERVICE, ELECTRIC TRANSFORMER, COMMUNICATION LINES TO BUILDING, GAS METER & SERVICE, & WATER SERVICES
  - CONTRACTOR SHALL PROTECT IMPROVEMENTS TO REMAIN
  - DAMAGE THAT OCCURS TO ALL EXISTING SITE IMPROVEMENTS INTENDED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  - ALL MATERIAL TO BE DISPOSED OF OFF SITE IN ACCORDANCE W/ STATE & FEDERAL REGULATIONS
  - ALL DEMOLISHED MATERIALS ARE PROPERTY OF THE CONTRACTOR
  - EXISTING 2 INCH WATER SERVICE AND 4 INCH FIRE SERVICE TO EXISTING BUILDING SHALL BE PROTECTED.

REV#	DATE	DESCRIPTION	BY

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 UNLESS SIGNED AND DATED:

WadeTrim  
 155 South Sibley Street, Suite 201  
 Flint, MI 48902  
 810.256.8900/841.0342  
 www.wadetrिम.com

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**PANERA BREAD  
 3950 E. GRAND RIVER  
 HOWELL, MICHIGAN 48843**

DEMOLITION PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
 PC 3/26/15 C.J.C.  
 PC 4/20/15 C.J.C.

JOB NO.  
**RGP1001.01F**

SHEET  
**C-1.0**

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PARKING REQUIREMENTS		
TYPE	CALCULATION	NO. OF SPACES
REQUIRED		
DRIVE THROUGH RESTAURANT 1 SPACE PER 70 SQ. FT + 3 WAITING SPACES + 10 STACKING SPACES + 2 LONG SPACES	4,383 SFT GFA / 70 SFT = 62.6 = 63 SPACES + 3 WAITING SPACES + 10 STACKING SPACES + 2 LONG SPACES	63 SPACES 2 LONG SPACES 10 STACKING 3 WAITING
PROVIDED		
ON-SITE SPACES AVAILABLE	INCLUDES ADA SPACES	69
LONG SPACES	PROVIDED ON PARKING LOT TO EAST, WEST, OR ON WAL-MART PARCEL **	2
STACKING SPACES		10
WAITING SPACES		3
A.D.A SPACES		
REQUIRED		
51 TO 75 TOTAL PARKING IN LOT (PER A.D.A. ACCESSIBILITY GUIDELINES)		3
PROVIDED		
ON SITE	3 PLUS ONE VAN	4

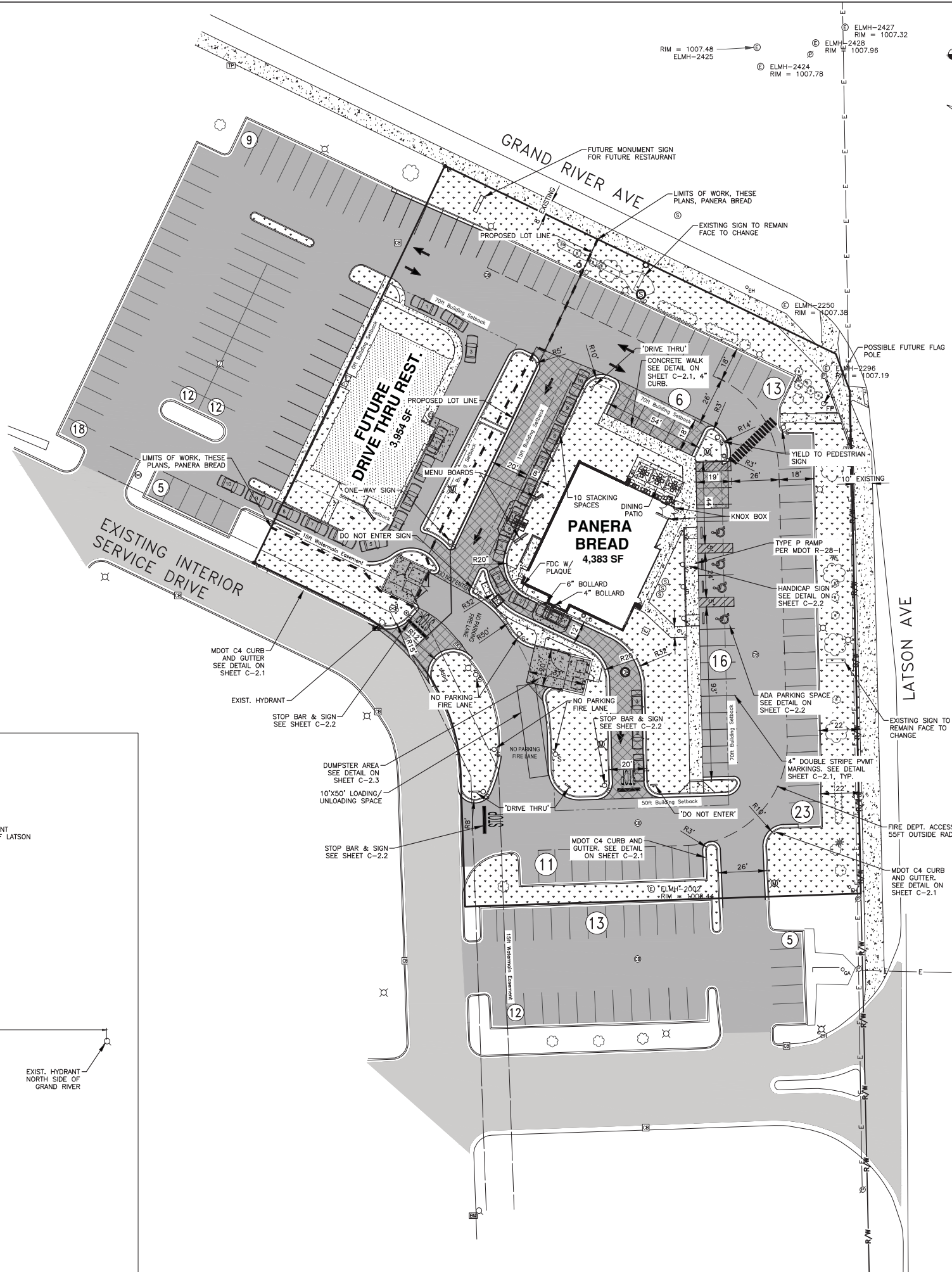
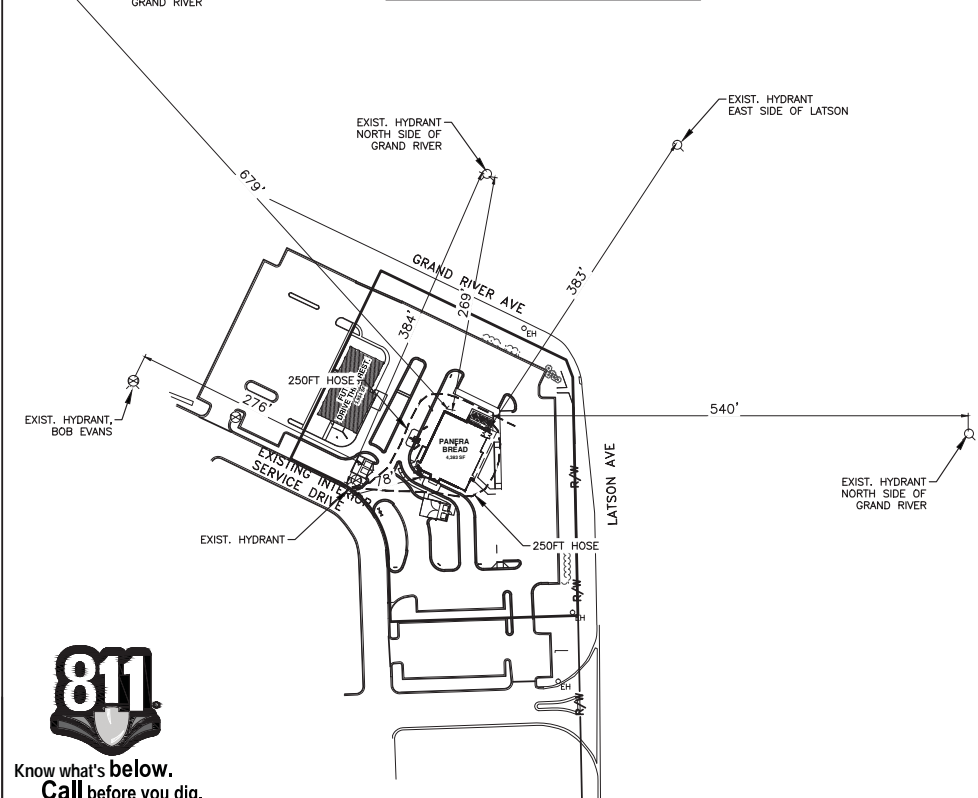
\*\* PER REA AGREEMENT WITH WAL-MART AND HOME DEPOT, OWNER MAY SHARE PARKING BETWEEN USES/LOTS, REFER TO R.E.A.

SITE DATA TABLE	
NOTE: INFORMATION BELOW IS PROVIDED FOR THE PROPOSED PROPERTY BOUNDARY AS INDICATED ON THIS PLAN SHEET.	
EXISTING ZONING	NRPUD (NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT)
EXISTING USE	SIT-DOWN RESTAURANT
PROPOSED USE	DRIVE THROUGH RESTAURANT
BUILDING AREA	4,383 SFT. GFA/GLA/USABLE
PROPOSED LOT AREA	66,135 SFT (1.52± Ac.)
BUILDING COVERAGE	6.60± %
PROPOSED IMPERVIOUS COVERAGE	46,142 SFT, 70.2%

**FIRE FLOW REQUIREMENTS**

SPRINKLER DEMAND PER PANERA BREAD FOR SIMILAR BUILDING AND CONSTRUCTION TYPE = 220± GPM  
 BUILDING TYPE V-B, 4,383 SFT, FULLY AUTOMATIC SPRINKLER SYSTEM, CLASS I RISER.  
 APPROXIMATE AVAILABLE WATER FLOW IN GENERAL VICINITY PER DISCUSSIONS WITH M.H.O.G. = 2,000-3,000 GPM.  
 PER TABLE B105.1, 2012 IFC, REQUIRED FIRE FLOW IS 1,750 GPM FOR 2 HOURS, WHICH CAN BE REDUCED 75% FOR AN APPROVED, FULLY AUTOMATIC SPRINKLER SYSTEM, BUT NOT LESS THAN 1,500 GPM. THEREFORE, REQUIRED FIRE FLOW IS 1,500 GPM.  
 PER TABLE C105.1, 2012 IFC, MINIMUM NUMBER OF HYDRANTS FOR A REQUIRED FIRE FLOW OF 1,500 GPM IS ONE (1) HYDRANT. ONE HYDRANT IS AVAILABLE TO THE SITE, LESS THAN 100 FEET FROM THE FDC. ADDITIONAL HYDRANTS ARE LOCATED NORTH AND WEST OF THE SITE, LESS THAN 500 FEET AWAY (4 HYDRANTS WITHIN 500 FEET OF BUILDING).  
 250 FT LONG HOSE CAN REACH AROUND BOTH SIDES OF BUILDING FROM EXISTING HYDRANT.

**FIRE DEPARTMENT ANALYSIS**

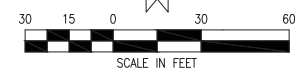


**LEGEND**

- PARKING COUNT
- TRAFFIC FLOW ARROW (PAINTED ONLY WHERE INDICATED)
- SIGN AND SIGN POST
- ACCESSIBLE SYMBOL, REFER TO SHEET C-3.2
- CANOPY LIMITS
- CURB AND GUTTER
- BUILDING SETBACK
- 1.5" MILL & FILL ASPHALT SURFACE. SEE DETAIL ON SHEET C-2.1
- FULL DEPTH STANDARD DUTY ASPHALT. SEE DETAIL ON SHEET C-2.1
- 4-INCH CONCRETE SEE DETAIL ON SHEET C-2.1
- 7" HEAVY DUTY CONCRETE. SEE DETAIL ON SHEET C-2.1
- LANDSCAPED AREA
- EXISTING ASPHALT SURFACE

**SITE PLAN NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWNSHIP/CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CURRENT MDOT STANDARD PLANS AS IDENTIFIED ON THE PLANS.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS AND SIGN POSTS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN THE BASE BID.
5. SITE TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY WADE TRIM.
6. SITE LIGHTING SHALL BE DEFLECTED AS NOT TO BE DIRECTED ON ADJACENT PROPERTY. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
7. ALL CURB AND GUTTER SHALL BE MDOT C4 UNLESS OTHERWISE NOTED.
8. ALL RADII SPECIFIED AT CURB AND GUTTER LOCATIONS ARE ALONG THE FACE OF THE CURB AND GUTTER.
9. THE SITE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE BUILDING CONTRACTOR AND THE SITE CONTRACTOR RESPONSIBLE FOR ALL OTHER WORK ON THIS PROPERTY.
10. ALL PARKING LOT STRIPING SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STRIPING, WITH THE EXCEPTION OF BARRIER FREE, SHALL BE WATERBORNE AND SHALL BE 4" WHITE UNLESS OTHERWISE NOTED. DIAGONAL STRIPING SHALL BE 4" WHITE AT 2 FT ON CENTER AT A 45° ANGLE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY 2 COATS OF PAINT, 14 DAYS BETWEEN APPLICATIONS.
11. ALL BARRIER FREE WALKS, RAMPS, PARKING, SIGNAGE & STRIPING SHALL BE IN ACCORDANCE WITH MICHIGAN BARRIER FREE STANDARDS. DETECTABLE WARNING SURFACE SHALL BE INSTALLED AS REQUIRED BY MICHIGAN BARRIER FREE STANDARDS AT ALL RAMPS AND OTHER LOCATIONS AS PROVIDED IN MICHIGAN BARRIER FREE STANDARDS. STRIPING SHALL BE WATERBORNE PAVEMENT MARKING PER MDOT SPECIFICATIONS, COLOR BLUE UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". THE CONTRACTOR SHALL PROVIDE SIGNAGE AND ALTERNATIVE ROUTES FOR ALL PEDESTRIAN TRAFFIC IMPACTED BY CONSTRUCTION. ALL COSTS SHALL BE INCLUDED IN THE BASE BID.
13. PLACEMENT OF SLEEVES FOR ANY ELECTRIC OR IRRIGATION SYSTEM SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
14. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-28-I.
15. ALL CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED PER MDOT STANDARD PLAN R-30-F.
16. A 1" THICK (MIN.) ISOLATION JOINT SHALL ALSO BE PLACED AT ALL LOCATIONS WHERE NEW CONCRETE MEETS ANY FIXED OBJECT SUCH AS CONCRETE WALKS, WALLS, BUILDINGS, CONCRETE FOUNDATIONS, CURBS, AND ETC.
17. THE CONTRACTOR IS RESPONSIBLE FOR SITE CONSTRUCTION STAKING AND MATERIAL TESTING.
18. CONCRETE CURB ADJACENT TO THE FIRE LANE SHALL BE PAINTED RED.



EAST 1/4 CORNER SECTION 5, T2N-R5E GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN FOUND IRON IN MON BOX

SOUTHEAST CORNER SECTION 5, T2N-R5E GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN FOUND IRON IN MON BOX

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY CONSULTANTS, INC.  
 FIELD BOOK INFORMATION: C-2.0 - PLOTTED 4/19/2015 2:58 PM BY CHRISTY, CHARLES



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 800 South Schwanen Street, Suite 201  
 Flint, MI 48902  
 810.285.2558/810.411.0342  
 www.wadetrिम.com

**PANERA BREAD**  
**3950 E. GRAND RIVER**  
**HOWELL, MICHIGAN 48843**

SITE PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
 PC 3/26/15 CJC  
 PC 4/20/15 CJC

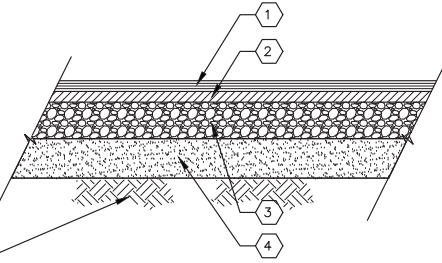
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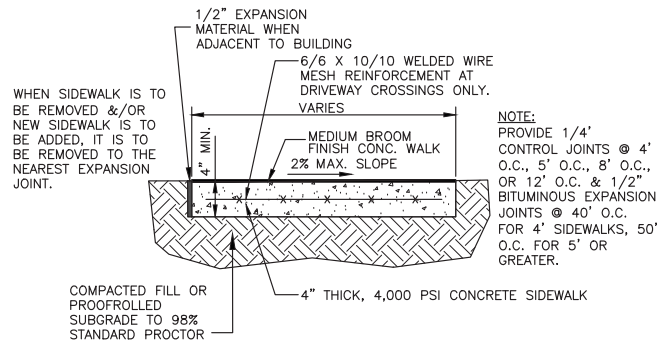


SPECIFICATIONS		
ITEM	THICKNESS	MATERIAL
1	2"	MDOT 4C
2	2"	MDOT 3C
3	8"	MDOT 21AA AGGREGATE
4	12"	MDOT CLASS II GRANULAR MATERIAL

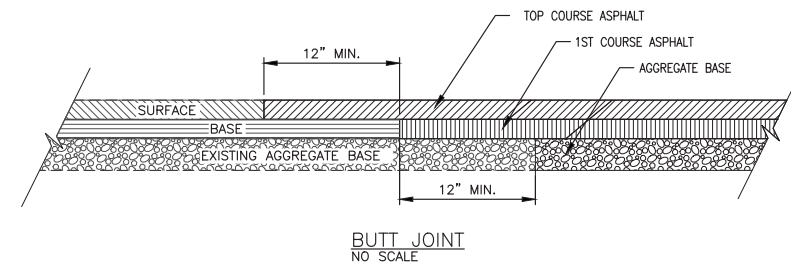
PREPARATION, COMPACTION & TESTING OF SUBBASE, BASE, AND HMA SHALL BE PER MDOT SPECIFICATIONS.



REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL. SHAPE, COMPACT, AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE BASE.



STANDARD SIDEWALK DETAIL  
NO SCALE

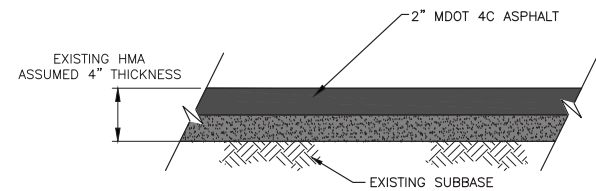


BUTT JOINT  
NO SCALE

HOT MIX ASPHALT (HMA) APPLICATION TABLE				
ITEM	DEPTH (IN)	RATE (LB/SYD)	PERFORMANCE GRADE	REMARKS
HMA, MDOT 4C	2	220	64-28	PLACED AND ROLLED TO MEET MDOT STANDARDS. SHALL BE INSPECTED AND TESTED PER MDOT STANDARDS
HMA, MDOT 3C	2	220	64-28	PLACED AND ROLLED TO MEET MDOT STANDARDS. SHALL BE INSPECTED AND TESTED PER MDOT STANDARDS

HMA BOND COAT SS-1H, 0.05 TO 0.15 GAL/SYD BETWEEN PROPOSED HMA LIFTS. THE AGGREGATE WEAR INDEX FOR ALL TOP COURSES SHALL BE AWI = 260 MINIMUM.

FULL DEPTH ASPHALT PAVEMENT SECTION FOR PARKING LOT  
NO SCALE

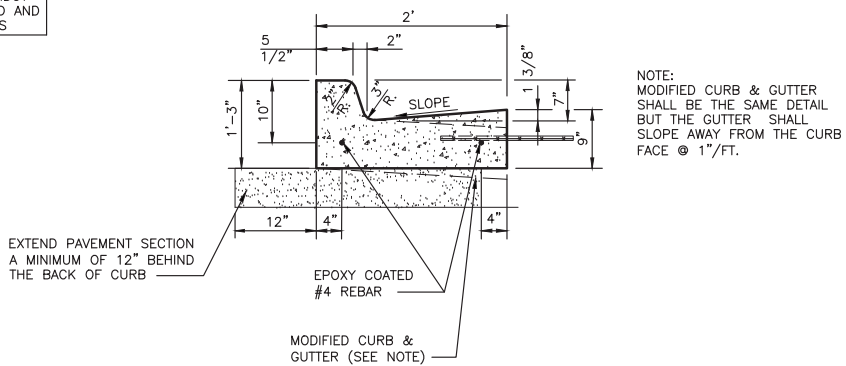


MILL & FILL ASPHALT SECTION  
NO SCALE

- PAVEMENT SHALL BE MILLED TO THE LINES AND GRADES AS SHOWN ON THE PLANS.
- IMMEDIATELY AFTER MILLING, CONTRACTOR SHALL CLEAN THE MILLED SURFACE.
- CONTRACTOR IS RESPONSIBLE TO DISPOSE OF RESULTING DEBRIS/MILLINGS

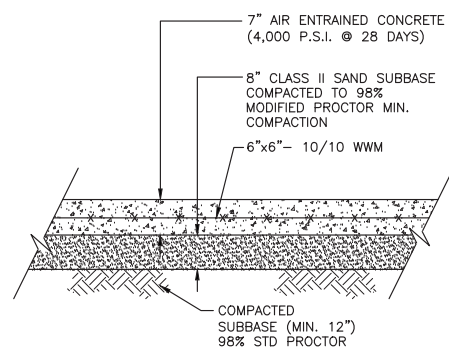
BITUMINOUS MIXTURE SPECIFIED ON THE PLANS, WHEN TESTED AT OPTIMUM ASPHALT CONTENT (DETERMINED IN ACCORDANCE WITH MDOT PROCEDURES MANUAL FOR MIX DESIGN PROCESSING), SHALL MEET THE REQUIREMENTS FOR STABILITY, FLOW, VOIDS IN MINERAL AGGREGATE (VMA), AIR VOIDS, FINES/BINDER RATIO, FINE AGGREGATE ANGULARITY, L.A. ABRASION LOSS, AND SOFT PARTICLES AS SPECIFIED IN MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F))

AGGREGATE MIXTURES FAILING TO MEET THE REQUIREMENTS SPECIFIED IN MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F)) WILL BE REJECTED AND THE CONTRACTOR WILL BE REQUIRED TO SUBMIT ADDITIONAL SAMPLES OF BITUMINOUS MIXTURES UNTIL A COMBINATION OF MATERIAL IS FOUND WHICH WILL PRODUCE A MIXTURE MEETING THE REQUIREMENTS OF MDOT SPECIAL PROVISION FOR MARSHALL HOT MIX ASPHALT MIXTURE (DOCUMENT 12SP501(F))

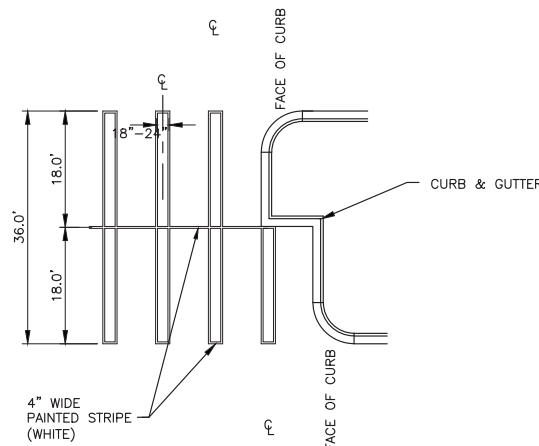


M.D.O.T. C-4 CURB & GUTTER DETAIL  
NO SCALE

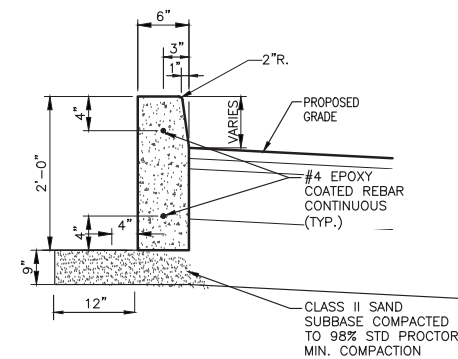
NOTE: MODIFIED CURB & GUTTER SHALL BE THE SAME DETAIL BUT THE GUTTER SHALL SLOPE AWAY FROM THE CURB FACE @ 1"/FT.



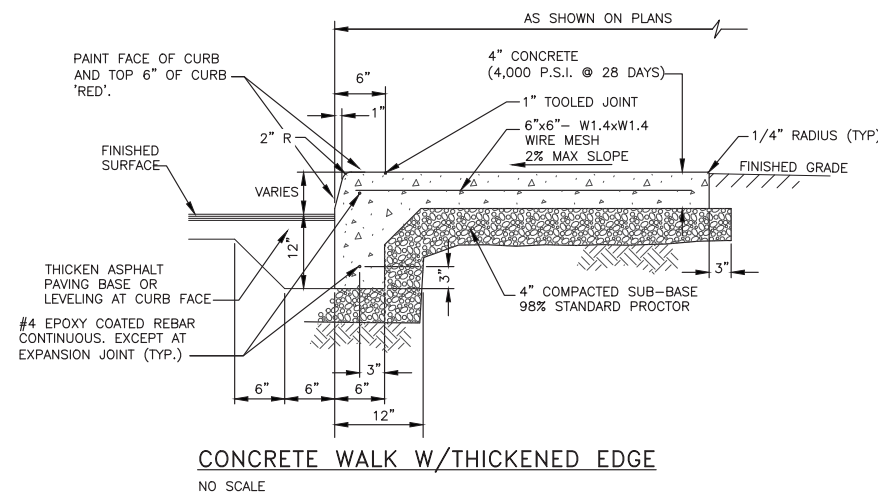
7" - HEAVY DUTY CONCRETE SURFACE @ DUMPSTERS  
NO SCALE



90° PARKING STRIPING DETAIL  
NO SCALE



STRAIGHT CURB DETAIL  
NO SCALE



CONCRETE WALK W/THICKENED EDGE  
NO SCALE

REV#	DATE	DESCRIPTION

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PANERA BREAD  
3950 E. GRAND RIVER  
HOWELL, MICHIGAN 48843

SITE DETAILS

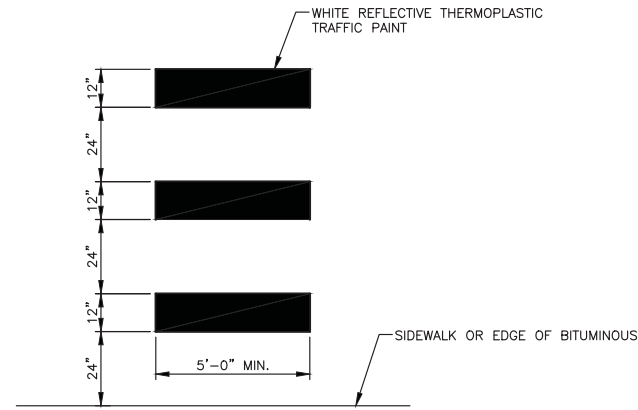
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ISSUED FOR: DATE: BY:  
PC 3/26/15 C.J.C.  
PC 4/20/15 C.J.C.

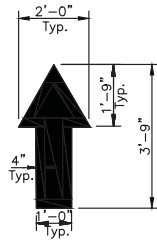
JOB NO.  
RGP1001.01F

SHEET  
C-2.1

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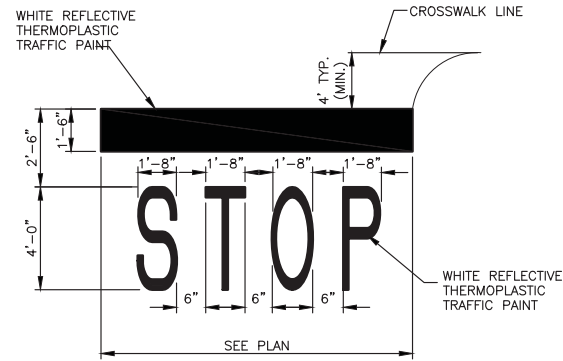


CROSSWALK DETAIL  
NO SCALE

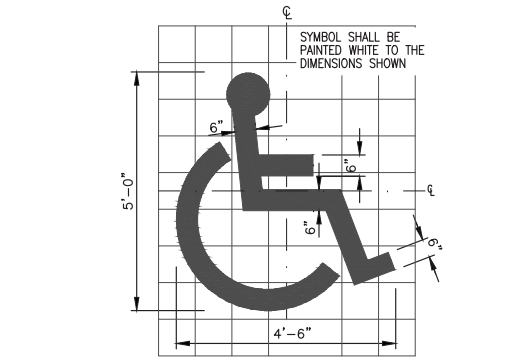


NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER MDOT SPECS.

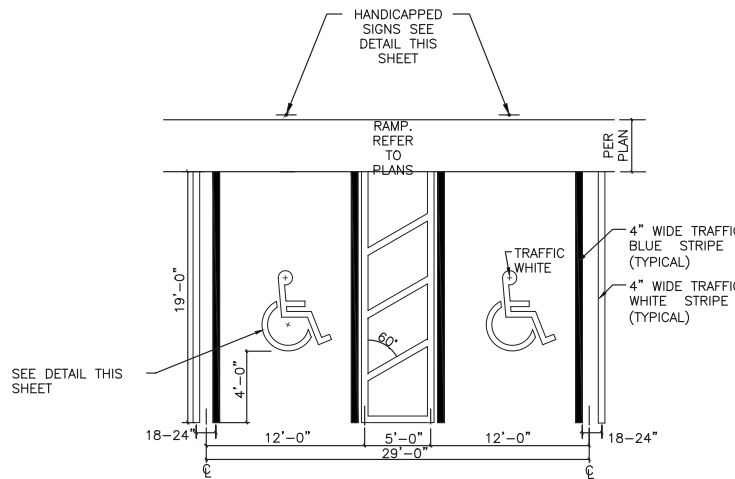
TRAFFIC FLOW ARROW  
NO SCALE



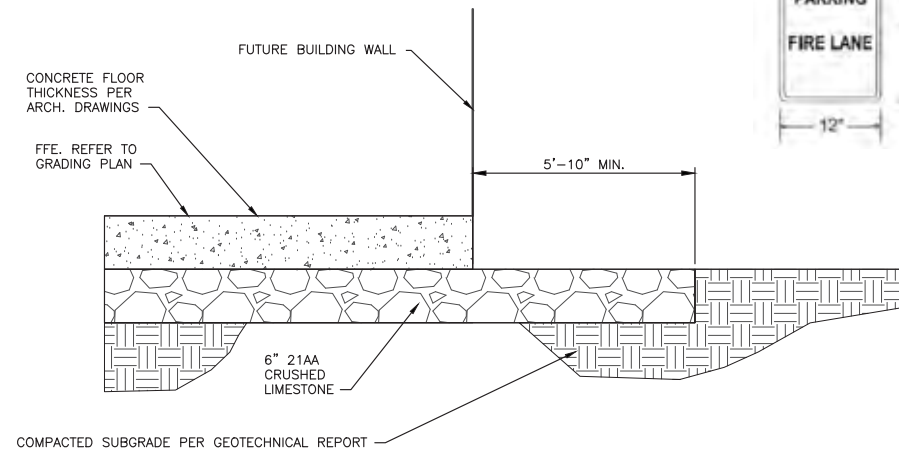
STOP & STOP BAR PAINTING DETAIL  
NO SCALE



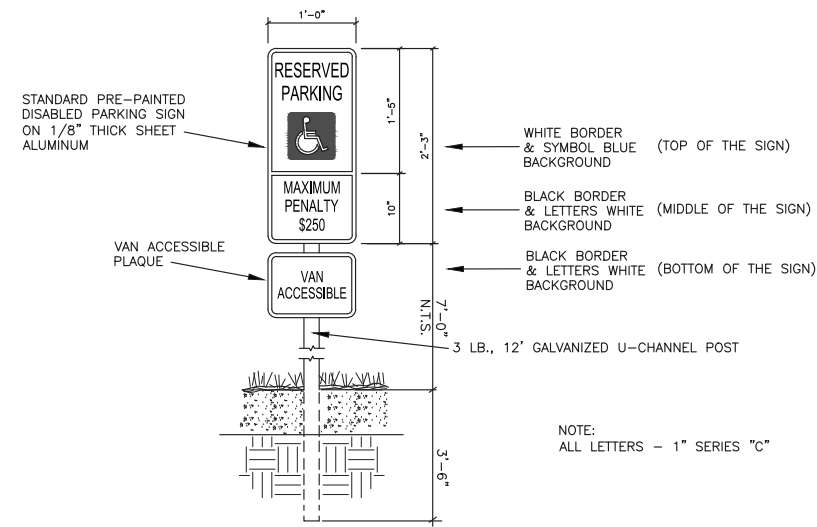
WHITE PAINT DENOTING VAN ACCESSIBILITY WHERE APPLICABLE  
**VAN**  
HANDICAP SYMBOL PAINT DETAIL  
NO SCALE



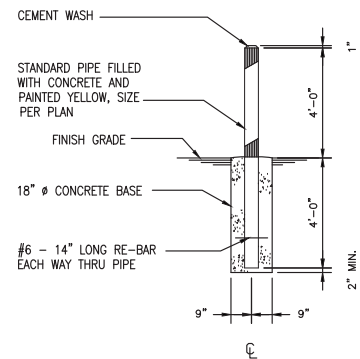
TYPICAL DOUBLE HANDICAPPED STALL  
NO SCALE



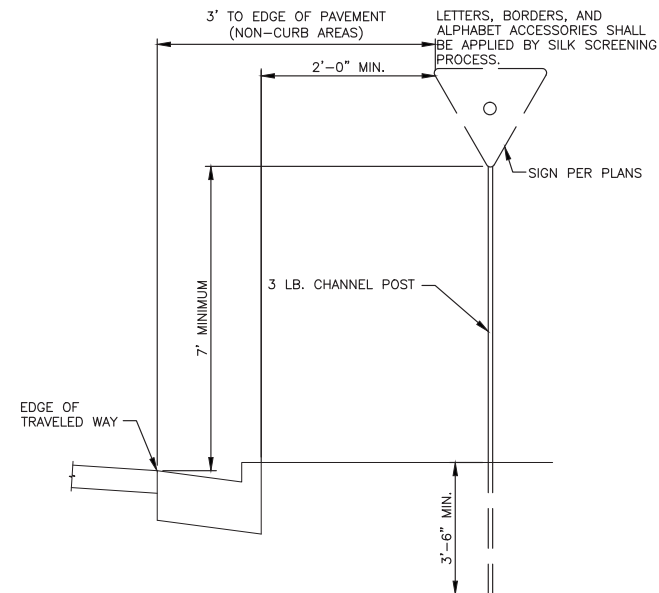
BUILDING PAD PREPARATION DETAIL  
NO SCALE



TYPICAL HANDICAPPED USIGN DETAIL  
NO SCALE



TYPICAL GUARD POST DETAIL  
NO SCALE



TYPICAL CURB & GUTTER SECTION SIGN DETAIL  
NO SCALE

SIGN LEGEND



R5-1 - "DO NOT ENTER" SIGN  
30"x30"



R1-1 - "STOP" SIGN  
36"x36"



FIRE LANE SIGN

REV#	DATE	DESCRIPTION	BY

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PANERA BREAD  
3950 E. GRAND RIVER  
HOWELL, MICHIGAN 48843

SITE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
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PC 4/20/15 C.J.C.

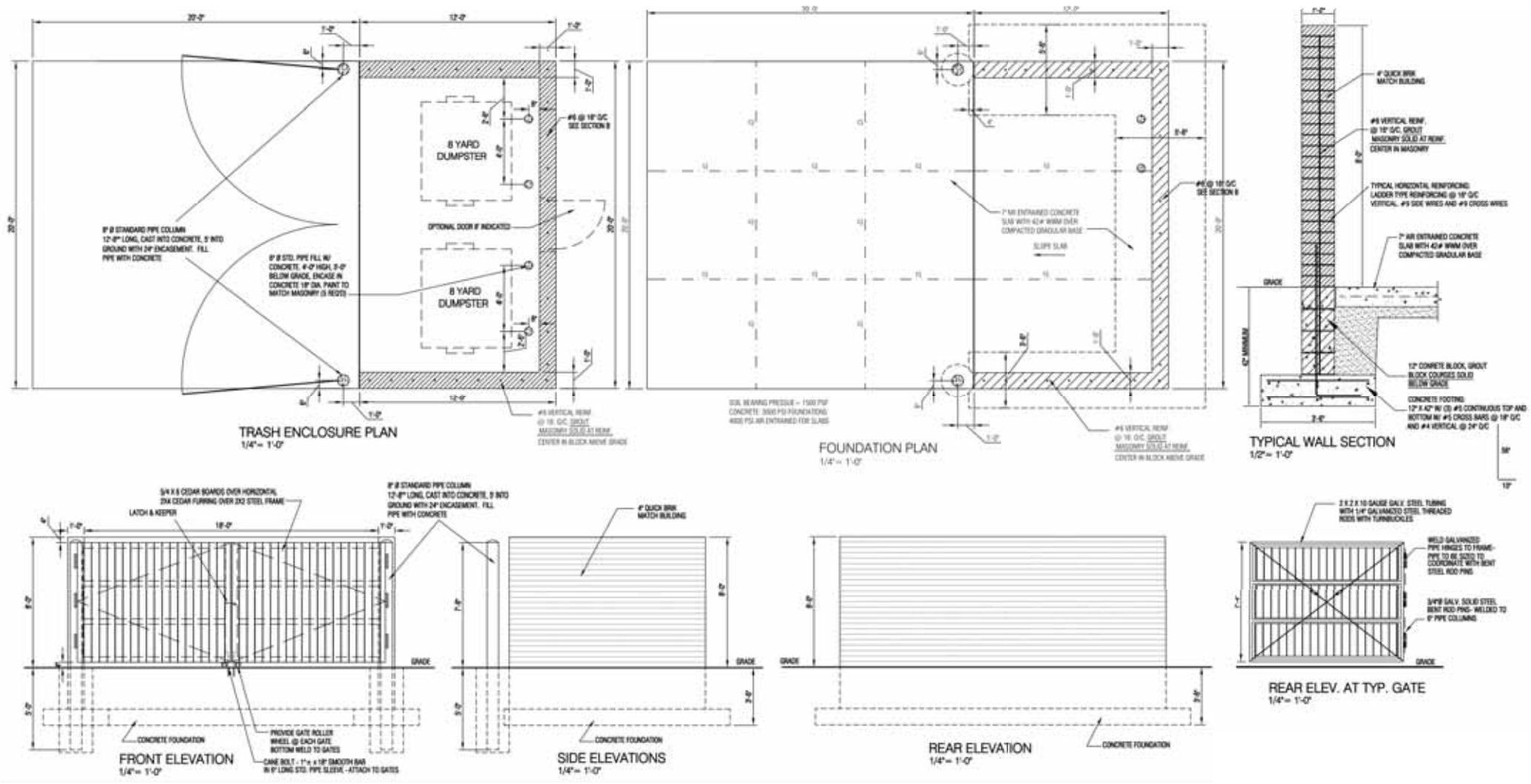
JOB NO. RGP1001.01F

SHEET C-2.2

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PROJECT MANAGER: CHARLES J. CHRISTY, PE  
C:\PW\MWORK\CHRISTY\0564661\PL1-CSP-SITE PLANNING - C-2.2 - PLOTTED 4/19/2015 2:39 PM BY: CHRISTY, CHARLES

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY00564861\PL1-CSP-SITE PLANNING - C-2.3 - PLOTTED 4/19/2015 2:40 PM BY: CHRISTY, CHARLES



DUMPSTER ENCLOSURE DETAILS  
 NO SCALE

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SITE DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
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 PC 4/20/15 C.C.

JOB NO.  
 RGP1001.01F

SHEET  
**C-2.3**

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**STORM STRUCTURES**

	RIM ELEV.	INV	COVER
CB-2011	1005.67	MATCH EXIST.	FLAT, RADIAL GRATE, EJIW #1040 Z / 1040 M3
CB #3	1007.29	1002.24	CURB INLET
CB #4	1006.83	1002.61	FLAT, RADIAL GRATE, EJIW #1040 Z / 1040 M3

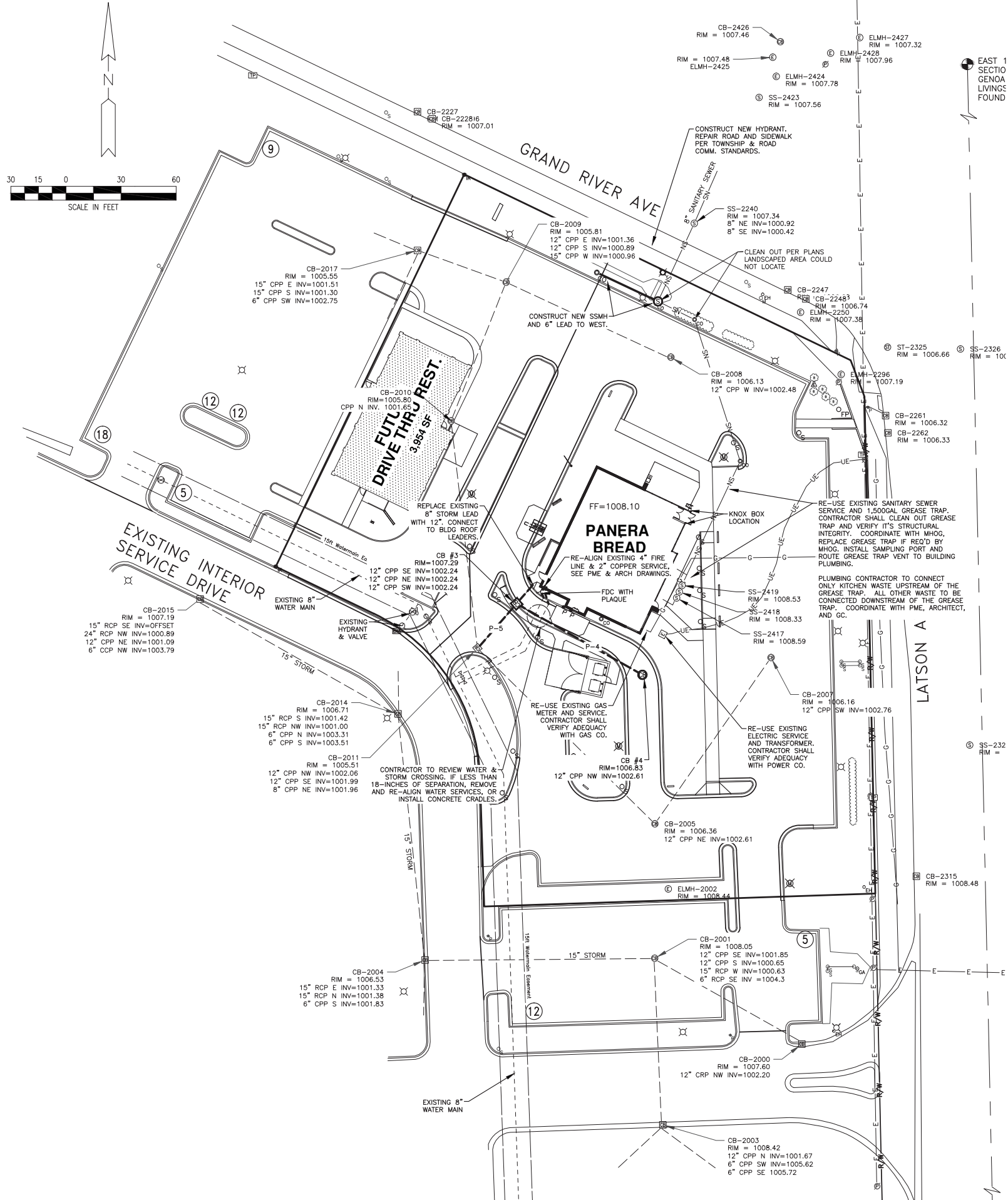
**STORM PIPING**

PIPE	FROM	TO	LENGTH	SLOPE	MATERIAL	SIZE
P-4	CB #3	CB #4	74	0.50%	ADS-N12	12"
P-5	CB-2011	BLDG	44	1.00%	ADS-N12	12"

**LEGEND**

STORM SEWER	
CATCH BASIN	
STORM SEWER MANHOLE	
SANITARY SEWER	
SANITARY CLEAN OUT	
SANITARY MANHOLE	
UNDERGROUND ELECTRIC	
TELEPHONE LINE	
GAS LINE	
WATER LINE	
FIRE DEPARTMENT CONNECTION	
SHUT OFF VALVE	
EXISTING WATER MAIN	
EXISTING HYDRANT	
EXISTING SHUT OFF VALVE	
EXISTING GATE VALVE & BOX	
EXISTING SANITARY CLEAN OUT	
EXISTING SANITARY SEWER	
EXISTING GAS	

- CHECK VALVE SHALL BE INSTALLED ON 2" AND 4" WATER LINES INSIDE BUILDING.
- CONTRACTOR SHALL LOCATE EXISTING 4" GATE VALVE ON EXISTING 4" FIRE LINE AND RAISE TO GRADE. IF 4" GATE VALVE CANNOT BE LOCATED OR IS NOT PRESENT, CONTRACTOR SHALL INSTALL 4" GATE VALVE ON EXISTING 4" FIRE LINE WITHIN THE EXISTING WATER MAIN EASEMENT.
- WHEN AND IF NEW FIRE LINE IS INSTALLED AS PART OF THIS PROJECT, THE FIRE LINE SHALL BE D.I., CL 52 AND WRAPPED WITH POLYETHYLENE.
- CONTRACTOR SHALL RE-USE EXISTING SERVICES FOR NEW BUILDING, UNLESS NOTED OTHERWISE. THIS INCLUDES CAREFUL DEMOLITION AND TEMPORARY 'CAPS', EXTENDING THEM TO WITHIN 5 FEET OF THE BUILDING, AND MAKING MINOR ADJUSTMENTS TO ALIGN THEM WITH PROPOSED BUILDING UTILITIES.
- CONTRACTOR SHALL EXTEND POTABLE AND FIRE WATER SERVICES INTO THE BUILDING FOOT PRINT AS INDICATED ON SHEET C-3.3 AND HYDROSTATICALLY TEST ENTIRE SERVICE AGAINST VALVES AT 8-INCH WATER MAIN ALONG INTERIOR SERVICE DRIVE.



PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY020504861\PL1-CJP-UTILITY PLANNING - C-3.0 - PLOTTED 4/19/2015 2:42 PM BY CHRISTY, CHARLES

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PANERA BREAD  
 3950 E. GRAND RIVER  
 HOWELL, MICHIGAN 48843

UTILITY PLAN

ISSUED FOR:	DATE:	BY:
PC	3/26/15	CJC
PC	4/20/15	CJC

JOB NO. RGP1001.01F

SHEET C-3.0

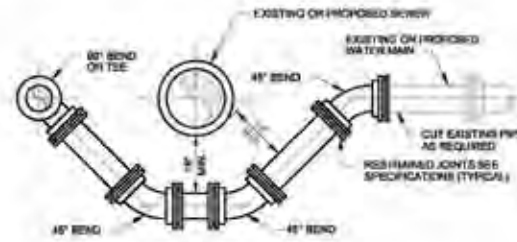
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

### PIPE RESTRAINT SCHEDULE

GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	-	-
6	18	8	5	2	58	31	-
8	24	10	6	3	75	30	75
12	34	14	7	4	107	57	118
18	43	18	9	5	139	59	137
24	52	22	10	6	189	68	154
30	61	25	12	8	199	93	152
36	73	30	15	7	242	86	168
36	84	35	17	8	261	84	199

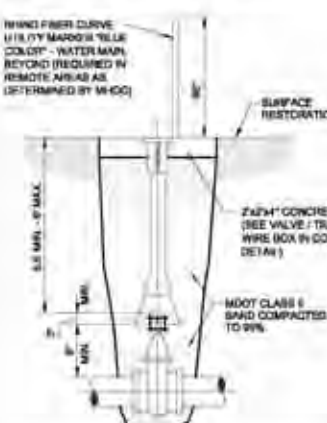
- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
  - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGER PIPE DIAMETER SHALL BE USED.
  - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER, FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY).
  - THE VALUES PROVIDED FOR RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
  - IF THE ROADS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
  - SIZE RESTRAINT IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON: INTERNAL PRESSURE: 180  
PIPE DEPTH: 5'  
BEDDING CLASS: TYPE 4  
SOIL TYPE: GOOD SAND  
SAFETY FACTOR: 2



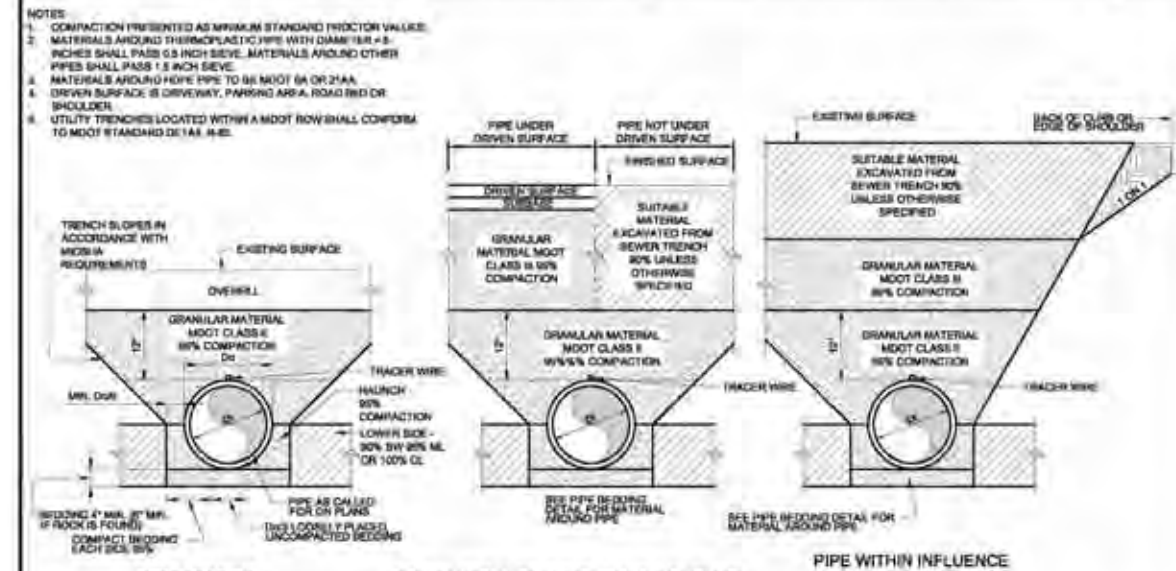
WATER MAIN UTILITY OFFSET



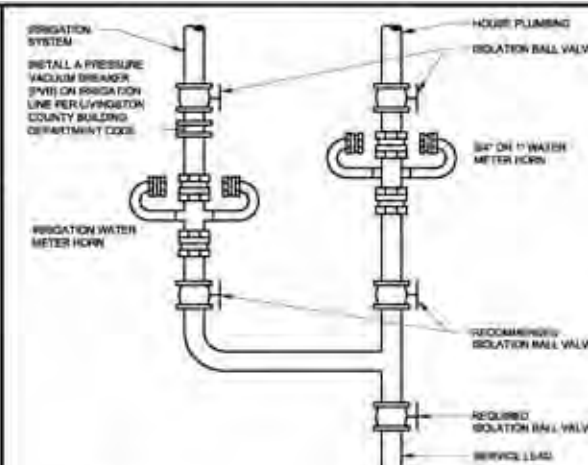
PLAN VALVE/TRACER WIRE BOX IN CONCRETE DETAIL  
NO SCALE



GATE VALVE AND BOX



PIPE BEDDING  
PIPE UNDER/NOT UNDER DRIVEN SURFACE  
TRENCH EXCAVATION & PIPE BEDDING



TYPICAL METER HORN INSTALLATION



MARION HOWELL OCEOLA GENOA  
Sewer and Water Authority

Scale: HOWE  
Issue Date: JANUARY 2014

PANERA BREAD  
3950 E. GRAND RIVER  
HOWELL, MICHIGAN 48843

WATER DETAILS

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SHEET C-3.1

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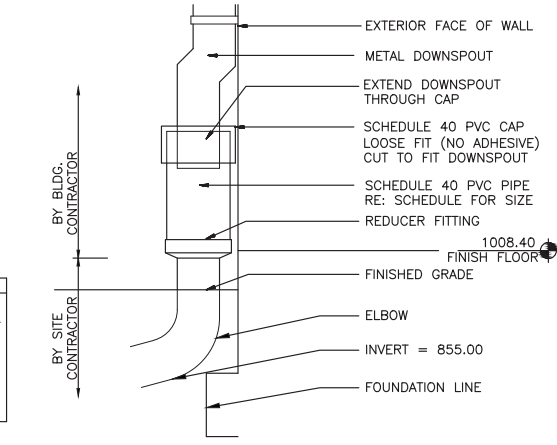
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LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
C:\P\WORK\CHRISTY\050486\TPI-CUP-UTILITY PLANS.DWG - C-3.1 - PLOTTED 4/19/2015 2:45 PM BY: CHRISTY, CHARLES

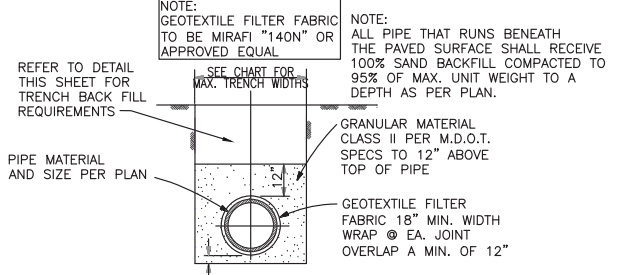


SCHEDULE	
DNOWNSPOUT	PVC PIPE WITH BELL FITTING
4"x4" or 6"	12" DIA.
5"x5"	12" DIA.
8"x8"	12" DIA.
9"x9"	15" DIA.
10"x10"	15" DIA.



**DOWNSPOUT CONNECTION DETAIL**  
NO SCALE

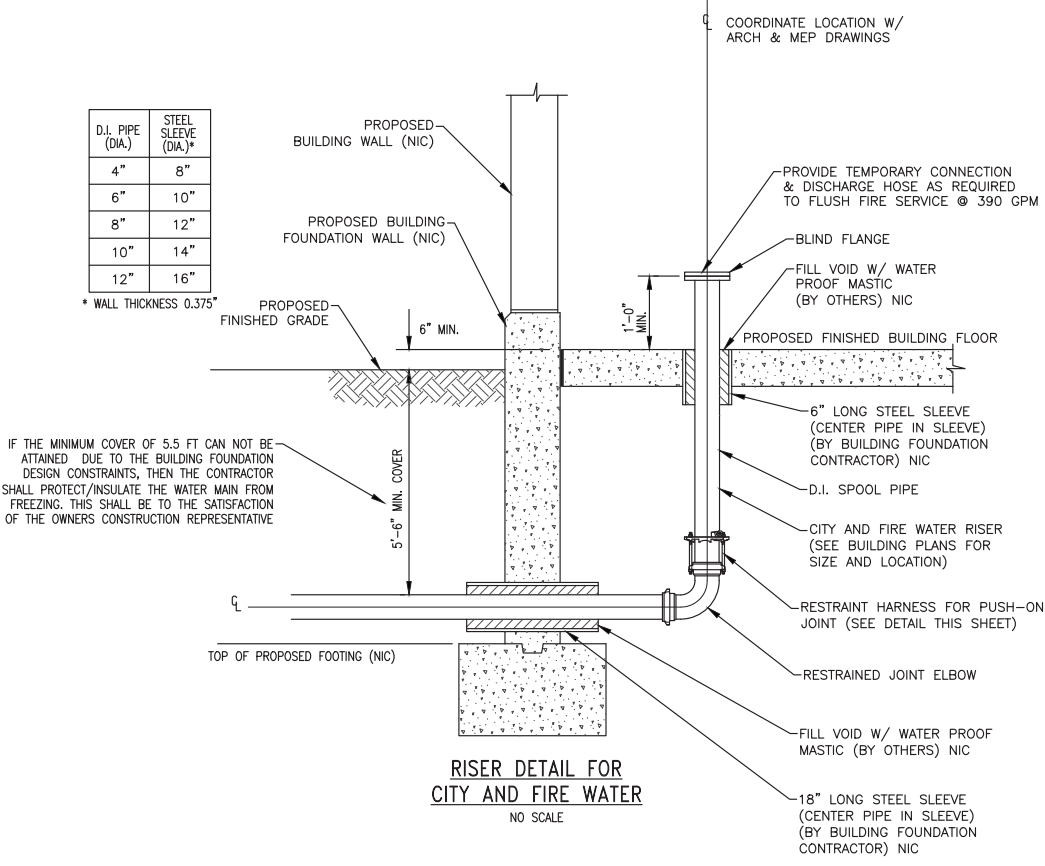
TRENCH WIDTHS	
MAX WIDTH OF TRENCH 12" ABOVE TOP OF PIPE	
6" THRU 12" PIPE - 30" WIDE	
15" THRU 36" PIPE - O.D. + 16"	
42" THRU 60" PIPE - O.D. + 20"	
OVER 60" PIPE - O.D. + 24"	



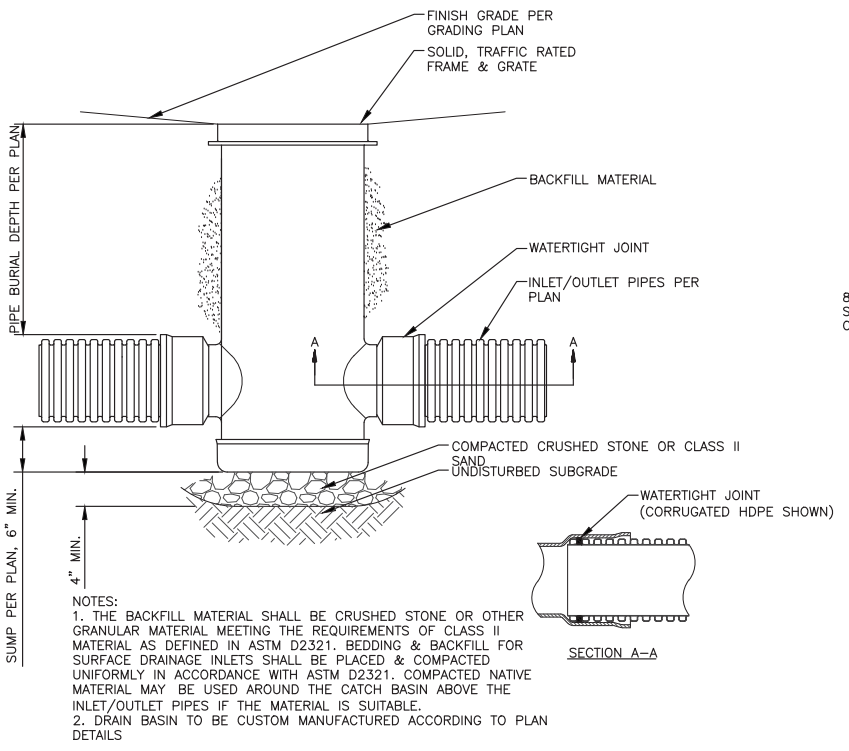
**STORM SEWER BEDDING DETAIL**  
NO SCALE

D.I. PIPE (DIA.)	STEEL SLEEVE (DIA.)*
4"	8"
6"	10"
8"	12"
10"	14"
12"	16"

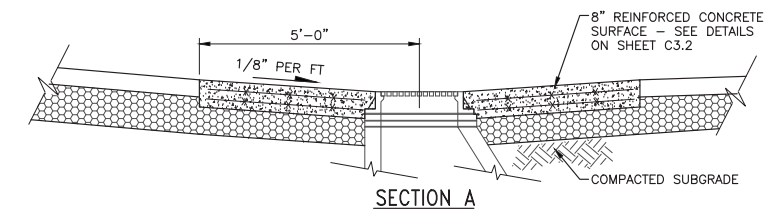
\* WALL THICKNESS 0.375"



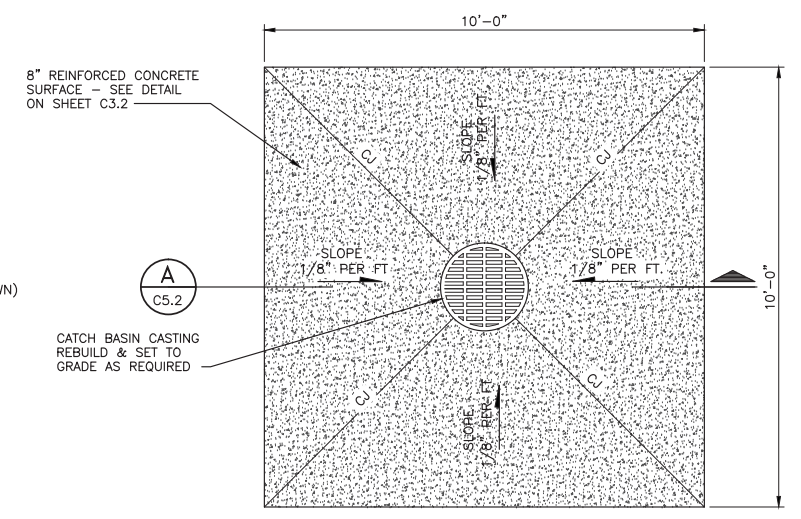
**RISER DETAIL FOR CITY AND FIRE WATER**  
NO SCALE



**18"-24" NYLOPLAST JUNCTION, I.L #1-#4**  
NO SCALE

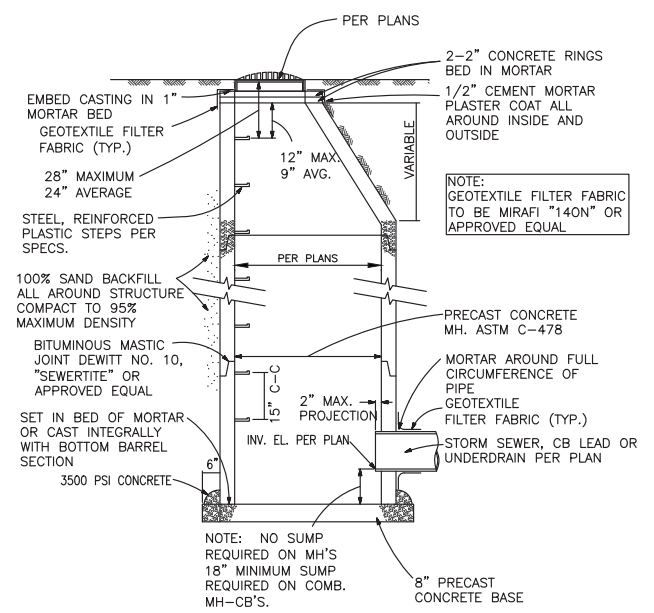


**SECTION A**



**CONCRETE COLLAR DETAIL**  
NO SCALE

NOTE: CONCRETE COLLAR TO BE PLACED AT ALL INLET CASTINGS WHERE NEW OR OVERLAID ASPHALT IS PLACED.



**STORM MANHOLE AND MANHOLE-CATCHBASIN COMBINATION DETAIL**  
NO SCALE

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
C:\PW\WORK\CHRISTY\056486\PL1-CJP-UTILITY PLAN.DWG - C-3.3 - PLOTTED 4/19/2015 2:46 PM BY CHRISTY, CHARLES

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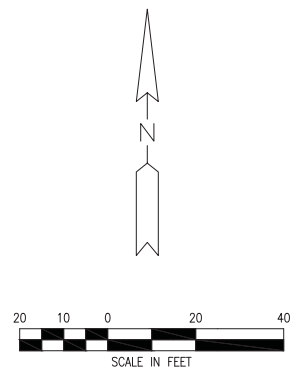
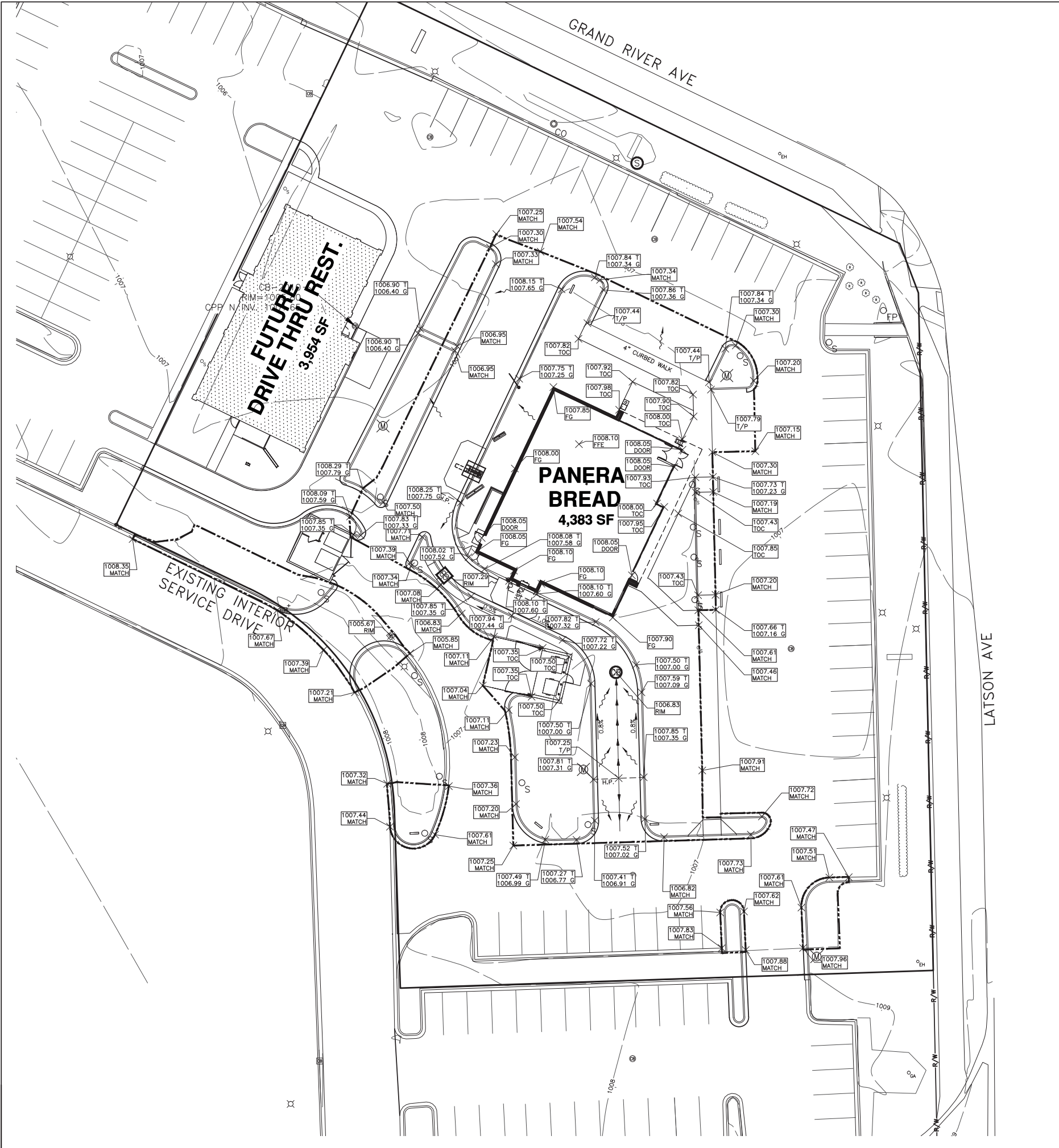
PANERA BREAD  
3950 E. GRAND RIVER  
HOWELL, MICHIGAN 48843  
STORM & MISCELLANEOUS DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
PC 3/26/15 C.J.C.  
PC 4/20/15 C.J.C.

JOB NO. RGP1001.01F  
SHEET  
**C-3.3**

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY0564661\PL1-CGP-GRADING PLANDWG - C-4.0 - PLOTTED 4/19/2015 2:48 PM BY CHRISTY, CHARLES



**LEGEND**

- CURB ELEVATION  
 WHERE: T = TOP OF CURB  
 G = GUTTER OR PVMT.
  - SPOT ELEV.  
 WHERE XXX IS ONE OF THE FOLLOWING:  
 TOP OF CONCRETE ELEV.    TOC  
 FINISH GRADE ELEV.        FG  
 DOOR ELEV.                  DOOR  
 RIM ELEV.                    RIM  
 MATCH EXISTING ELEV.     MATCH  
 TOP OF PAVEMENT ELEV.    T/P  
 FINISH FLOOR ELEV.        FFE
  - DRAINAGE FLOW
  - DRAINAGE SLOPE
  - HIGH POINT
  - DRAINAGE SWALE
  - STORM CATCH BASIN
  - STORM CURB INLET
  - STORM MANHOLE
  - STORM SEWER LINE
  - GRADING LIMITS LINE
- NOTE: FOR EXISTING FEATURES SEE TOPOGRAPHIC SURVEY OR EXISTING CONDITIONS PLAN.

REV#	DATE	DESCRIPTION	BY

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**PANERA BREAD**  
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GRADING PLAN

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
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 PC 4/20/15 C.J.C.

JOB NO.  
**RGP1001.01F**

SHEET  
**C-4.0**



PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY00564861\PL1-C3P-GRADING PLANNING - C-4.1 - PLOTTED 4/19/2015 2:49 PM BY CHRISTY, CHARLES

EXISTING DRAINAGE Cw COMPUTATION

DRAINAGE AREA	AREA (Ac.)	C	Cw
A1	0.11	0.9	
A1a	0.04	0.2	
	0.15		0.71
A2	0.15	0.9	
A2a	0.04	0.2	
A2b	0.02	0.2	
	0.21		0.70
A3	0.33	0.9	
A3a	0.02	0.2	
	0.35		0.86
A4	0.19	0.9	
A4a	0.15	0.9	
A4b	0.03	0.2	
	0.37		0.84
A5	0.29	0.9	
A5a	0.1	0.2	
A5b	0.04	0.2	
	0.43		0.67
A6	0.26	0.9	
A6a	0.05	0.2	
A6b	0.05	0.2	
	0.36		0.71

PROPOSED DRAINAGE Cw COMPUTATION

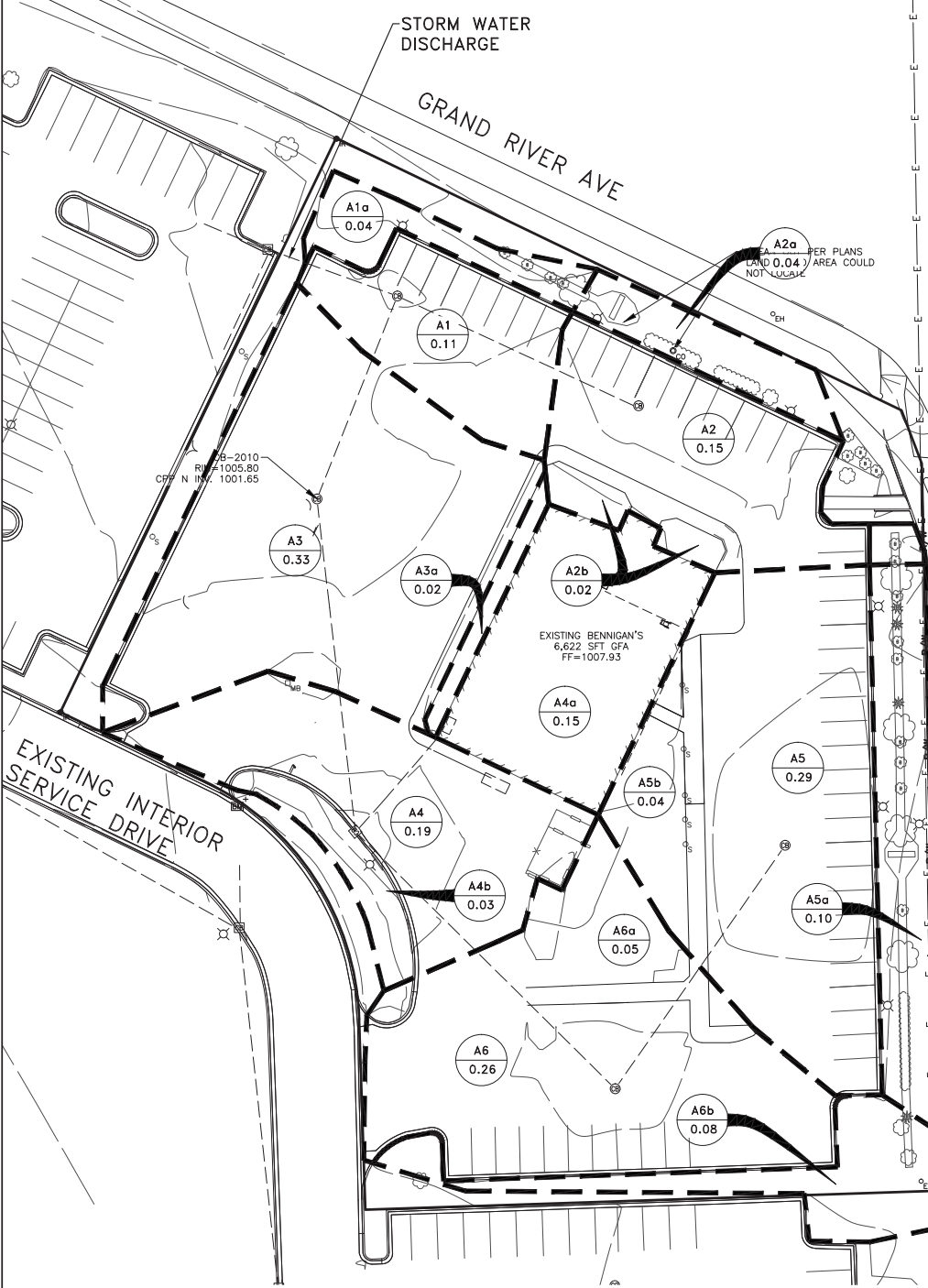
DRAINAGE AREA	AREA (Ac.)	C	Cw
D1	0.14	0.9	
D1a	0.03	0.2	
	0.17		0.78
D2	0.16	0.9	
D2a	0.09	0.2	
	0.25		0.65
D3	0.09	0.9	
D3a	0.15	0.9	
D3b-e	0.056	0.2	
	0.296		0.77
D4	0.11	0.9	
D4a	0.018	0.2	
D4b	0.011	0.2	
D4c	0.023	0.9	
D4d	0.1	0.9	
	0.262		0.82
D5	0.32	0.9	
D5a	0.1	0.2	
	0.42		0.73
D6	0.25	0.9	
D6a	0.023	0.2	
D6b	0.057	0.2	
	0.33		0.73
D7	0.023	0.9	
D7a	0.048	0.2	
	0.071		0.43
D8	0.039	0.9	
D8a	0.044	0.9	
D8b	0.039	0.2	
	0.122		0.68

TOTAL DRAINAGE AREA	EXISTING Cw	PROPOSED DRAINAGE AREA	PROPOSED Cw
1.87	0.75	1.921	0.73

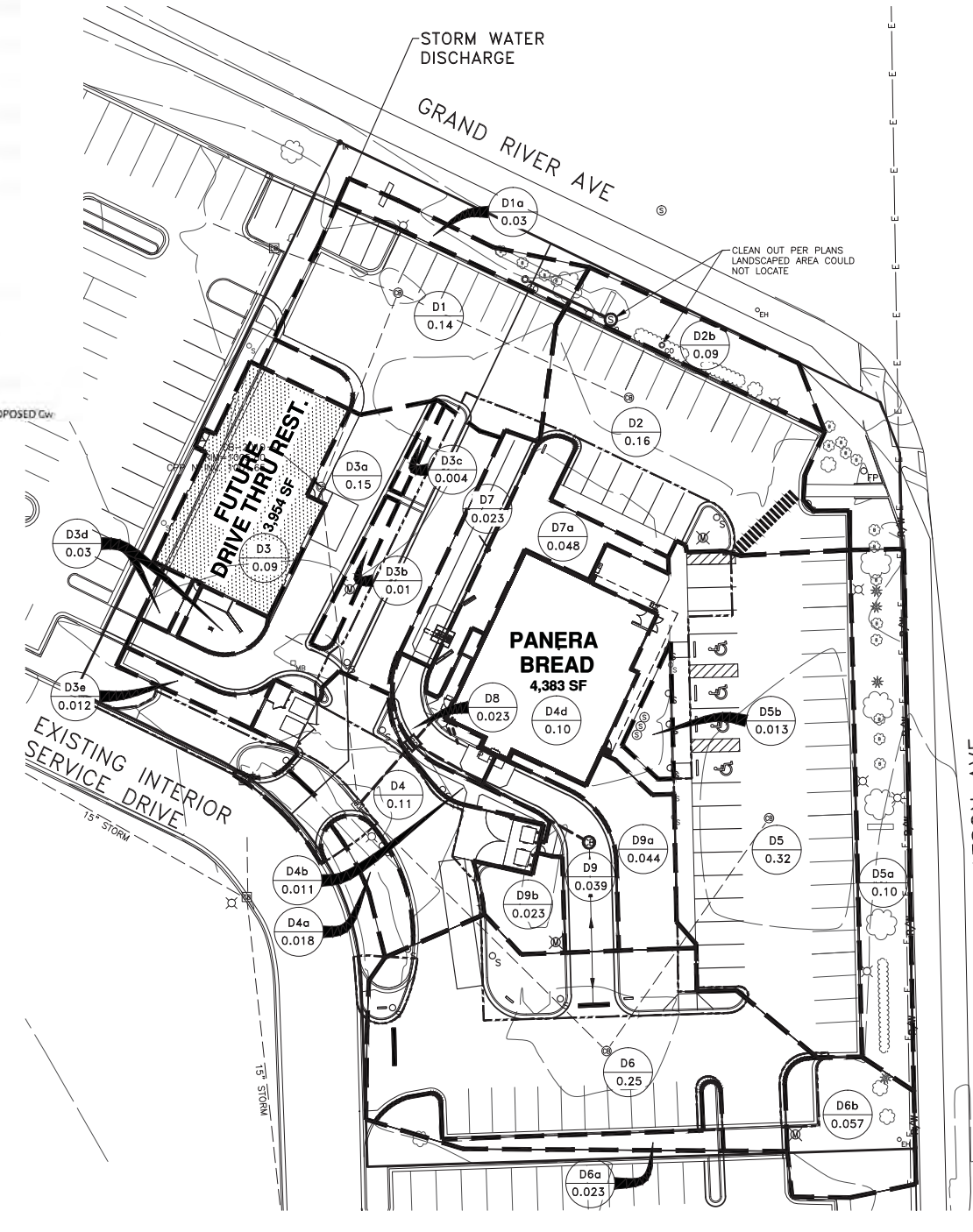
- NOTES:
- SEE SHEET C-1.0 & C-3.0 FOR EXISTING & PROPOSED STORM SEWER PIPE SIZES.
  - STORM WATER DISCHARGE LOCATION WILL NOT CHANGE FROM THE CURRENT LOCATION.
  - A REGIONAL STORM WATER QUALITY & QUANTITY FACILITY HAS BEEN CONSTRUCTED, IN USE & OPERATION FOR THE PARCEL AND PARCELS IN THIS P.U.D.. THE ORIGINAL DESIGN OF THE STORM WATER MANAGEMENT FACILITY WILL NOT CHANGE AS A RESULT OF THE REDEVELOPMENT OF LOT 4.
  - THE REDEVELOPMENT OF LOT 4 WILL CREATE ADDITIONAL PERVIOUS SURFACES, DECREASING THE VOLUME OF RUNOFF AND INCREASING THE TIME OF CONCENTRATION. AS A RESULT NO CALCULATIONS HAVE BEEN PERFORMED.

LEGEND

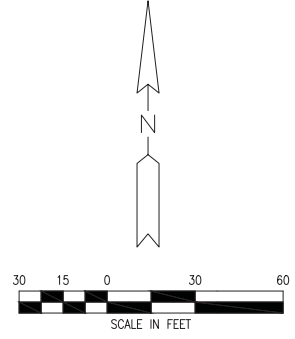
- LOT LINE
- DRAINAGE AREA DESIGNATION  
DRAINAGE AREA IN ACRES
- DRAINAGE BOUNDARY



EXISTING SITE	
DRAINAGE AREA	81,457.2 SFT (1.87 AC)
PERVIOUS AREA	16,989.0 SFT (0.39 AC)
IMPERVIOUS AREA	64,468.2 SFT (1.48 AC)
BUILDING COVERAGE	6,622 SFT (7.5%)



PROPOSED SITE	
DRAINAGE AREA	83,678.8 SFT (1.921 AC)
PERVIOUS AREA	22,477.0 SFT (0.516 AC)
IMPERVIOUS AREA	61,201.8 SFT (1.405 AC)
BUILDING COVERAGE	8,337 SFT (10%)



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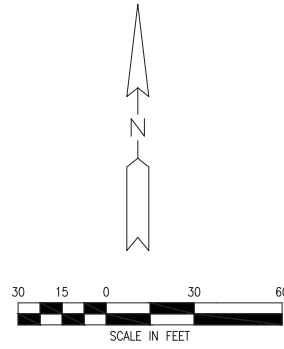
DRAINAGE MAP

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

REV#	DATE	DESCRIPTION	BY

ISSUED FOR: DATE: BY:  
 PC 3/26/15 CJC  
 PC 4/20/15 CJC

JOB NO. RGP1001.01F  
 SHEET C-4.1



**LANDSCAPE REQUIREMENTS**

**FRONTAGE GREENBELT BUFFER:**

REQUIREMENTS -  
 20 FOOT WIDE, TYPE B PER P.U.D. ARTICLE VI, SECTION 6.2  
 TYPE B BUFFER, PER 30 FOOT OF FRONTAGE:  
 1 - CANOPY TREE  
 1 - EVERGREEN TREE  
 4 - SHRUBS

PROVIDED -  
 410 FEET OF FRONTAGE, 20 FEET WIDE  
 5 - CANOPY TREES PLUS 4 ORNAMENTAL  
 0 - EVERGREEN  
 55 - SHRUBS (INCLUDES 13 EXISTING SHRUBS AND HEDGEROW)

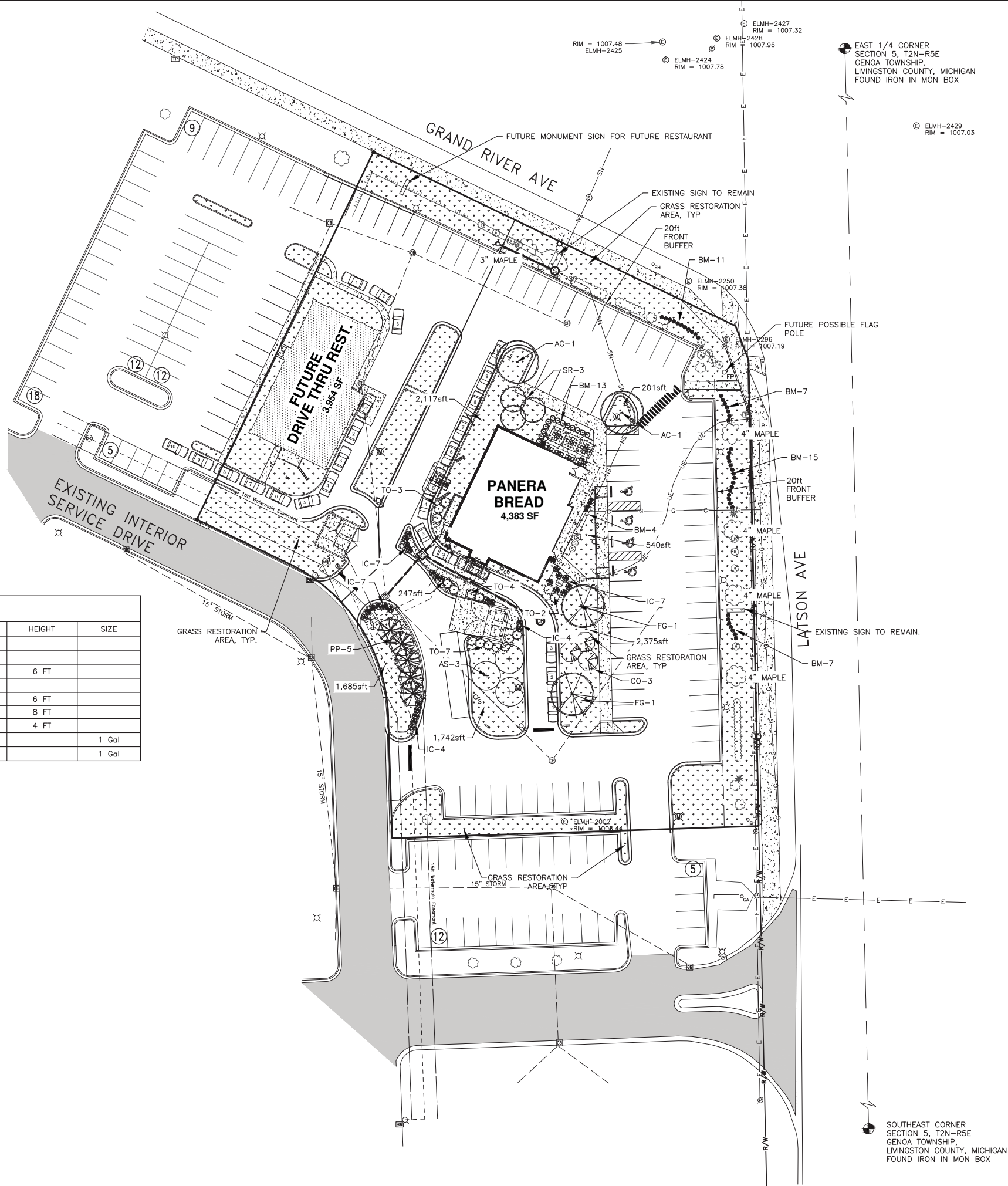
**PARKING AREA LANDSCAPING**

REQUIREMENTS -  
 10-100 PARKING SPACES  
 1 - CANOPY TREE & 100sft OF LANDSCAPED AREA PER 10 SPACES  
 (Provided parking is 69 spaces, 69/10 = 7 Canopy Trees & 690sft of landscape area)  
 1/3rd OF THE TREES PLANTED ON THE INTERIOR OF THE PARKING AREA

PARKING IN FRONT YARD  
 HEDGEROW ALONG PARKING  
 PROVIDED -  
 - CANOPY TREES INTERIOR, 7 EACH  
 - 8,907sft LANDSCAPE AREA INTERIOR, AROUND BUILDING  
 - DUMPSTER ENCLOSURE SCREENING  
 - PROPOSED EVERGREEN PLANTINGS AND SHRUBS REQUIRED AS PART OF THE FRONTAGE GREENBELT REQUIREMENTS, ALONG WITH EXISTING SHRUBS, PROVIDES EQUIVALENT HEDGEROW SCREENING REQUIRED FOR FRONT PARKING.

**PLANT LIST**

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SIZE
3	AS	<i>Acer saccharum</i>	SUGAR MAPLE	2-1/2"		
2	AC	<i>Acer saccharinum</i>	SILVER MAPLE	2-1/2"		
5	PP	<i>Picea pungens glauca</i>	COLORADO BLUE SPRUCE		6 FT	
2	FG	<i>Fagus grandifolia</i>	AMERICAN BEECH	2-1/2"		
3	SR	<i>Syringa reticulata</i>	JAPANESE TREE LILAC		6 FT	
3	CO	<i>Celtis occidentalis</i>	HACKBERRY		8 FT	
16	TO	<i>Thuja occidentalis 'Smaragd'</i>	EMERALD GREEN ARBOVITAE		4 FT	
57	BM	<i>Buxus microphylla var. 'Eseles'</i>	BOXWOOD - WEDDING RING			1 Gal
29	IC	<i>Ilex x 'Castle Wall'</i>	HOLLY - CASTLE WALL			1 Gal



EAST 1/4 CORNER SECTION 5, T2N-R5E GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN FOUND IRON IN MON BOX

SOUTHEAST CORNER SECTION 5, T2N-R5E GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN FOUND IRON IN MON BOX

PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 CIVIL WORK: CHRISTY05044661\PLT-LSP-LANDSCAPE PLAN.DWG - C-5.0 - PLOTTED 4/19/2015 3:12 PM BY: CHRISTY, CHARLES

REV#	DATE	DESCRIPTION	BY

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 LANDSCAPE PLAN

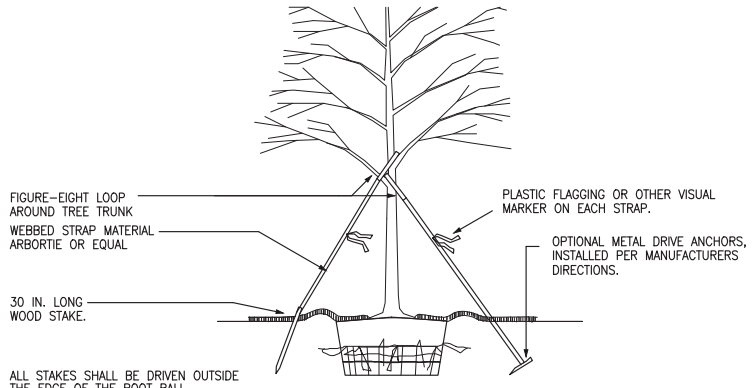
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR: DATE: BY:  
 PC 3/26/15 C.J.C.  
 PC 4/20/15 C.J.C.

JOB NO.  
 RGP1001.01F

SHEET  
 C-5.0

TIGHTEN WEBBED STRAP MATERIAL ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. INSTALL THREE STRAPS PER TREE, SPACED EVENLY AROUND THE TRUNK. INSTALL AS LOW ON TRUNK AS POSSIBLE.



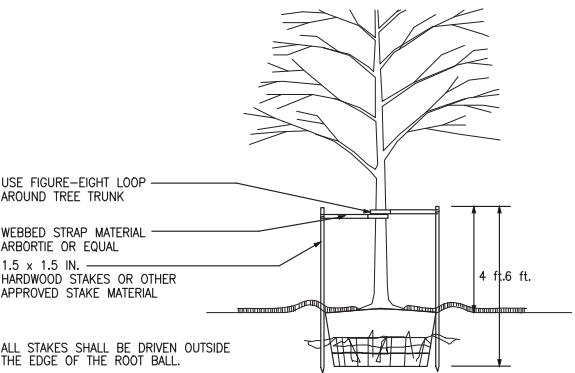
ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT.

### TREE STAKING DETAIL - 1.75 IN. CALIPER OR LARGER

TIGHTEN WEBBED STRAP MATERIAL ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT.



ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

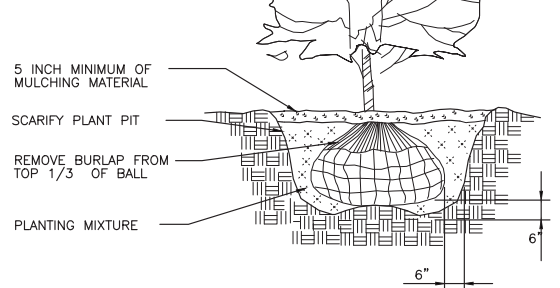
REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT.

### TREE STAKING DETAIL - 1.5 IN. CALIPER OR LESS

NOT TO SCALE

NOTE: SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS TO PREVIOUS EXISTING GRADE



### SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES: PURCHASE TREE WITH ONE CENTRAL LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT AS DIRECTED BY LANDSCAPE ARCHITECT.

SET TREE PLUMB WITH VERTICAL TRUNK.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT SEE SPECIFICATIONS.

WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

3 INCHES MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

BEFORE PLANTING, ADD 3" TO 4" OF WELL COMPOSTED LEAVES OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF LOOSENED SOIL.

AMEND EXISTING SOIL PER SOIL PREPARATION PLAN

1:1 SLOPE DIG WIDE, SHALLOW HOLE WITH TAPERED SIDES

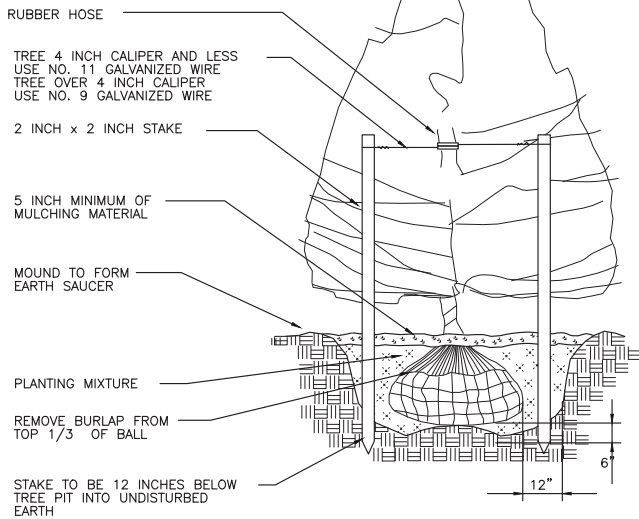
NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OR THE CONTAINER.
- 2. AFTER DIGGING HOLE, FILL WITH WATER TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. IF HOLE DOES NOT PERC, DO NOT PLANT TREE. NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.
- 3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL IMMEDIATELY AFTER PLANTING.
- 4. THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.

### TREE PLANTING DETAIL AND TREE STAKING DETAILS

NOT TO SCALE

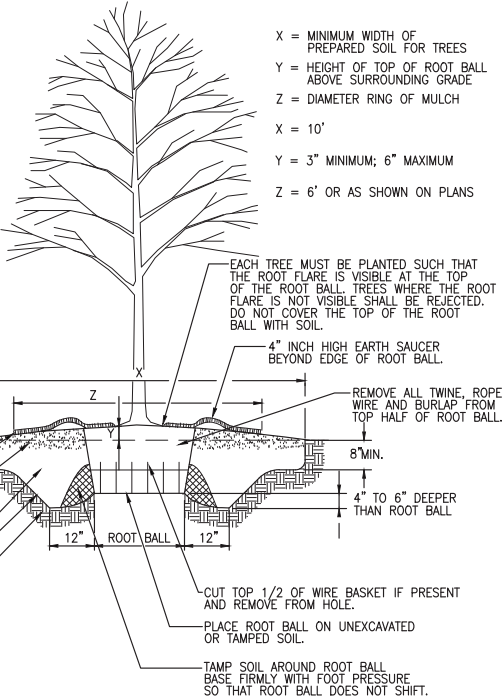
NOTE: STAKE ALL EVERGREEN TREES



### PLANTING DETAIL - EVERGREEN

NOT TO SCALE

- X = MINIMUM WIDTH OF PREPARED SOIL FOR TREES
- Y = HEIGHT OF TOP OF ROOT BALL ABOVE SURROUNDING GRADE
- Z = DIAMETER RING OF MULCH
- X = 10'
- Y = 3" MINIMUM; 6" MAXIMUM
- Z = 6' OR AS SHOWN ON PLANS



### SOIL PREPARATION, PLANTING, MAINTENANCE AND LANDSCAPE WARRANTY NOTES:

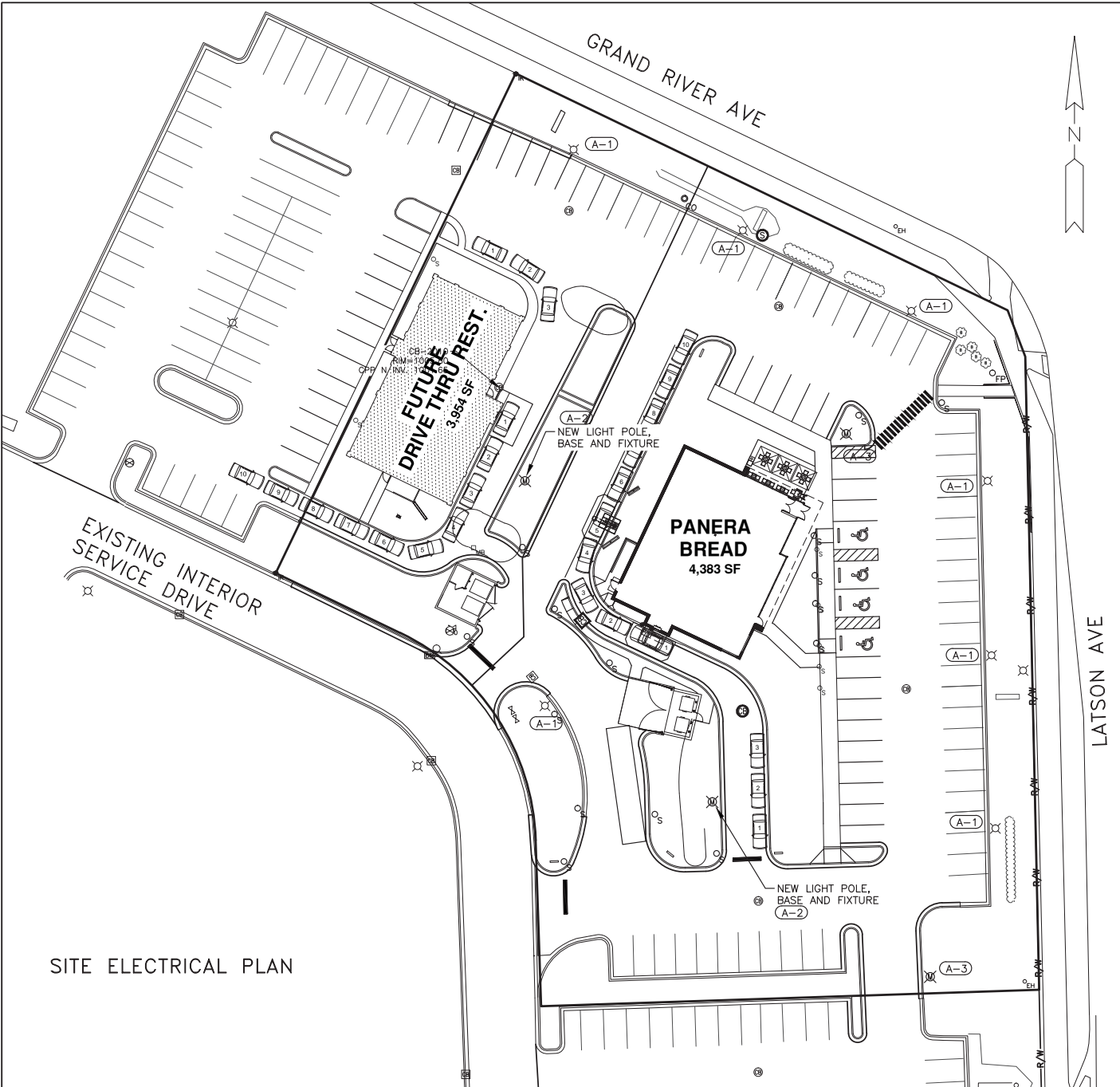
- 1. Have both sub-grade soils in planting areas and stripped topsoil tested. Determine fertilizer and lime rates from soil test results.
- 2. Soil Preparation:
  - A. Tree Planting: Prepare soil per "Tree Planting Detail" for individual trees.
  - B. Planting Areas for Trees/Shrubs/Ornamental Grasses:
    - Loosen subgrade to depth of 6 inches with a chisel plow, subsoiler, or other suitable device. Spread triple superphosphate over loosened subgrade at rate of 2 lbs. /1000 SF.
    - Spread existing stockpiled topsoil over loosened subgrade with a minimum depth of 4 inches; 6 inches if sufficient topsoil is available.
    - Spread 4 inches of Grade A quality compost (horticultural grade milled pine bark or commercially-produced compost mixture) and fertilizer, lime and other amendments as indicated by soil test over topsoil. Rototill entire mixture to a depth of 6 inches.
- 4. All disturbed areas not otherwise planted shall be seeded per sheet C-5.0 at rates recommended by the seed supplier/manufacturer.
- 6. Spacing of plant materials shall be as shown on drawing or on plant list. The engineer shall review the placement of plant material prior to and after installation, and reserve the right to adjust layout to accommodate site conditions and design intent.
- 7. All plant materials shall conform to plant schedules. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N. Standards for Nursery Stock."
- 8. Planting should not proceed until approximate finish grade has been achieved. Such grades should be reviewed and approved by engineer prior to planting. Final finish grades in immediate proximity around plantings should be hand-shaped to minimize soil compaction and damage to plants.
- 9. Final plant locations shall be marked by contractor three working days prior to planting for engineer review.
- 10. Relationship of tree root flare to finish grade:
  - A. Trees shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, except as noted below. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compaction of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later. Determine the elevation of the root flare and ensure that it is planted at the specified height. This may require that the tree be set higher than the grade in the nursery.
    - If the root flare is less than 2 inches below the soil level of the root ball, plant the tree at the appropriate level above the grade to set the flare even with the grade. If the flare is more than 2 inches below the soil level at the center of the root ball, the tree shall be rejected.
    - In poorly drained soil conditions, set the root flare 2-3 inches above grade, or as indicated by drawings or as directed by engineer.
  - B. In areas of slowly draining soils, set top of shrub root balls 2-3 inches higher than proposed finish grades and top of root flare of trees 3-6 inches higher than proposed finish grades. Provide sufficient, tamped backfill so that soil does not settle and expose root ball.
  - C. In areas of slowly draining soils, set top of shrub root balls 2-3 inches higher than proposed finish grades and top of root flare of trees 3-6 inches higher than proposed finish grades. Provide sufficient, tamped backfill so that soil does not settle and expose root ball.
- 13. If for any reason any balled and burlapped (B&B) plant materials need to be stored on site longer than a 24-hour period, their root balls shall be shaded, protected from wind and kept well watered. B&B material shall not be stored on site longer than 3 days. Containerized plants may be stored on site for a maximum of two (2) weeks, or 14 days. Any plants allowed to dry out as determined by the engineer will be rejected.
- 14. No container grown stock will be accepted if it is root bound.
- 15. Topsoil shall consist of friable, shredded, and screened soil reasonably free of grass, roots, weeds, sticks, stones or other foreign materials. The topsoil material shall be approved by the engineer prior to placement.
- 16. Form saucers around trees per "Tree Planting Detail" and around all small trees and large evergreens. Do not place saucers around shrubs.
- 17. Contractor shall apply engineer approved pre-emergent herbicide to shrub and ground cover planting areas at the time of planting (if spring planted) or the following spring. Contractor shall ensure the plant materials are resistant to the herbicides properties. Herbicide shall be applied according to manufacturers specifications and in accordance with sound horticultural practices.
- 18. Thoroughly water all plants immediately after planting.
- 19. Stake or guy a tree only when necessary for the specific conditions encountered and with the approval of the engineer. Stakes and guys shall be removed at the end of the first full growing season. Any tree that is not stable at the end of this time shall be rejected. Locate stakes and guys within mulched planting areas.
- 20. Mulch all planting areas with 3 inches of shredded pine bark. Where plant beds meet pavements, lawn or steel edging, cut the grade to allow for mulch and 3-inch drop from adjoining finish grade.
- 21. Maintenance procedures such as control of invasive weeds, fertilization, animal damage, mulching, restocking, and watering shall be implemented to the extent needed to ensure plant survival for the warranty period.
- 22. Applications of fertilizer beyond the initial topsoil and seeding shall be based on soil test results and specific plants being fertilized.
- 23. Performance Standards:
  - A. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of final completion.
  - B. When the work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
  - C. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the engineer to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall:
    - Be free of dead or dying branches and branch tips.
    - Be full, even and well-formed.
    - Bear foliage of normal density, size and color.
    - Demonstrate progressive and normal root and top growth.
    - Demonstrate progressive tolerance to typical environmental stresses commensurate with length of establishment.
    - Show no evidence of significant pests or diseases that would have been present prior to the end of the contractor's maintenance period or that could be a secondary result of such pests or diseases.
  - D. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
  - E. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
- 24. Maintenance of Exterior Plants:
  - A. Maintenance of exterior plants shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the engineer.
  - B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, tightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting saucer, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases and in vigorous condition.
  - C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the engineer at no additional cost.
  - D. Watering: Contractor shall irrigate as required to maintain vigorous and healthy growth. Overwatering or flooding shall not be allowed. The contractor shall furnish material, equipment, and water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be spot watered using handheld hoses during the first four months after planting, as required to ensure adequate water both within the root ball and within a zone extending 2 ft. beyond the root ball.
  - E. During periods of restricted water usage all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
    - Maintenance Period: Until Final Acceptance has been achieved.

REV.#	DATE	DESCRIPTION

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HOWELL, MICHIGAN 48843  
LANDSCAPE DETAILS  
LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN  
ISSUED FOR: DATE: BY: PC 3/26/15 CJC PC 4/20/15 CJC  
JOB NO. RGP1001.01F  
SHEET C-5.1

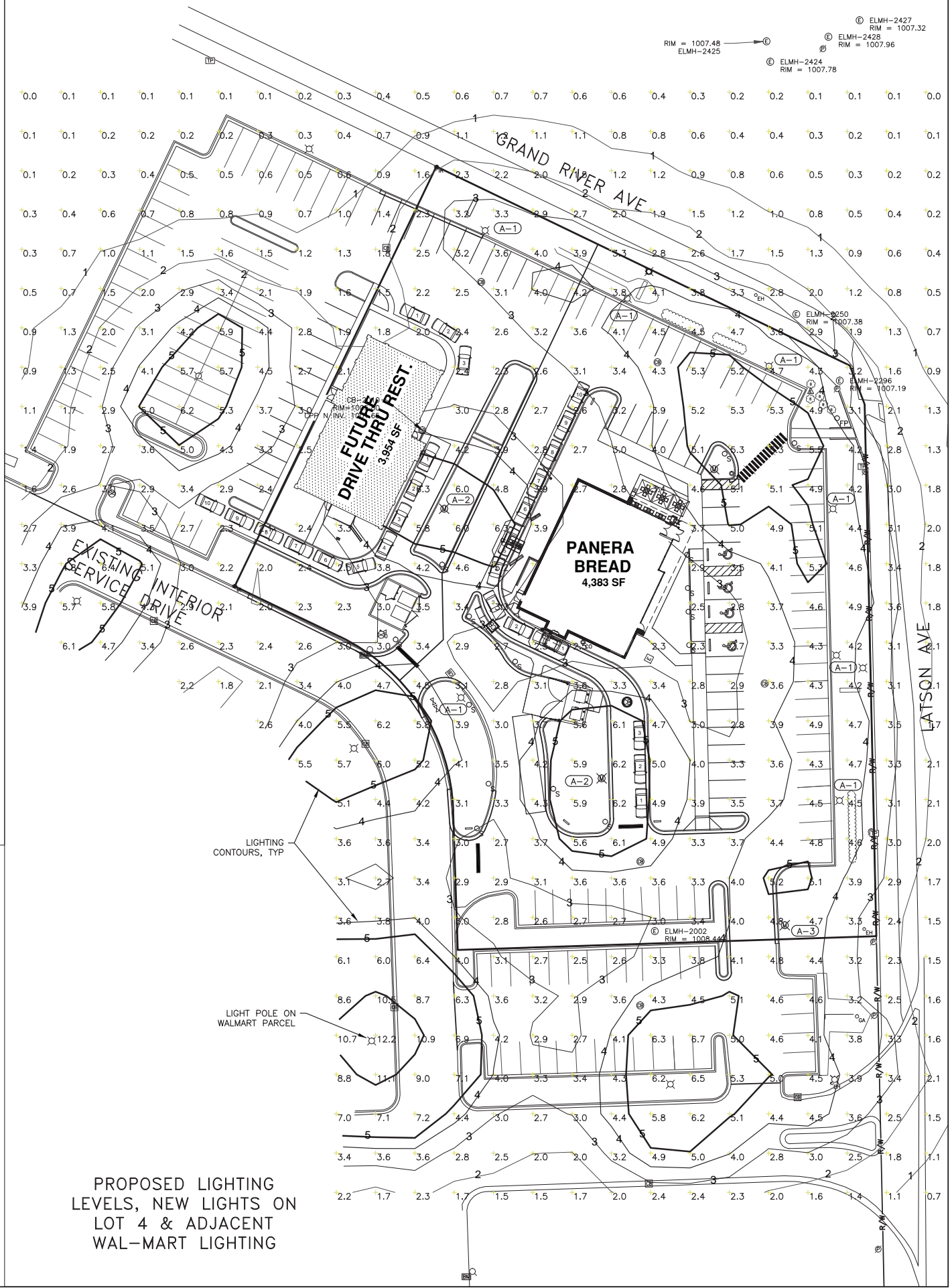
PROJECT MANAGER: CHARLES J. CHRISTY, PE  
 FIELD BOOK INFORMATION: C:\PW\WORK\CHRISTY\0564861\PLT-ELP-SITE LIGHTING.DWG - C-6.0 - PLOTTED 4/19/2015 2:53 PM BY CHRISTY, CHARLES



SITE ELECTRICAL PLAN

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	MANUFACTURER	Description	Comment
	7	A-1	SINGLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	Replace existing fixture, use existing 25' pole
	2	A-2	DOUBLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	25ft Pole, Square, painted black
	2	A-3	SINGLE	GARDCO LIGHTING	EH-19-1-VS-450PSMH-208-BLP	25ft Pole, Square, painted black

- SITE LIGHTING NOTES:
- ALL LIGHTING SHALL BE METAL HALIDE.
  - CONTRACTOR SHALL PROTECT AND REUSE CIRCUITS TO THE EXTENT PRACTICAL, SEE ELECTRICAL ENGINEERS DRAWINGS.
  - BUILDING MOUNTED FIXTURES ARE SUBJECT TO CHANGE LOCATION, TYPE, AND MANUFACTURER. THE SUBSTITUTION SHALL NOT INCREASE THE LIGHTING LEVELS AND INTENSITIES INDICATED ON THIS PLAN.



PROPOSED LIGHTING LEVELS, NEW LIGHTS ON LOT 4 & ADJACENT WAL-MART LIGHTING

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LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

PANERA BREAD  
 3950 E. GRAND RIVER  
 HOWELL, MICHIGAN 48843

SITE LIGHTING PLAN

REV#	DATE	DESCRIPTION	BY

# EH/H ARM MOUNT FORM TEN

**GENERAL DESCRIPTION:** The Gardner uses mounted square fixture products on cut-off luminaires using high intensity discharge lamps up to 1000 watts. The FH units are manufactured from anodized aluminum and finished in an Architectural Class V coating. The FH and FH style luminaires are the lowest silhouette with a finished polyester finish. Both products can accept one of six (6) mounting options and suitable permits regulated optical systems.

## ORDERING

MODEL	SIZE	CONFIGURATION	PHOTOMETRIC DISTRIBUTION	MOUNTING	VOLTAGE	FINISH	OPTIONS
FH 100W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 150W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 200W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 300W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 400W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 500W	14"	3	High Beam	See Table	120	SLA	F, W1
FH 700W	18"	3	High Beam	See Table	120	SLA	F, W1
FH 1000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 1500W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 2000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 3000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 4000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 5000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 7000W	24"	3	High Beam	See Table	120	SLA	F, W1
FH 10000W	24"	3	High Beam	See Table	120	SLA	F, W1

**NOTES:**


1. This unit is intended for use as an outdoor luminaire.
2. All wiring shall be in accordance with NEC requirements.
3. All wiring shall be in accordance with local code requirements.
4. All wiring shall be in accordance with manufacturer's instructions.
5. All wiring shall be in accordance with applicable codes.
6. All wiring shall be in accordance with applicable codes.
7. All wiring shall be in accordance with applicable codes.
8. All wiring shall be in accordance with applicable codes.
9. All wiring shall be in accordance with applicable codes.
10. All wiring shall be in accordance with applicable codes.

## DIMENSIONS

Model	Height	Width	Depth	Weight
FH 100W	14"	14"	4"	1.5 lbs
FH 150W	14"	14"	4"	1.8 lbs
FH 200W	14"	14"	4"	2.1 lbs
FH 300W	14"	14"	4"	2.4 lbs
FH 400W	14"	14"	4"	2.7 lbs
FH 500W	14"	14"	4"	3.0 lbs
FH 700W	18"	18"	4"	3.3 lbs
FH 1000W	24"	24"	4"	3.6 lbs
FH 1500W	24"	24"	4"	3.9 lbs
FH 2000W	24"	24"	4"	4.2 lbs
FH 3000W	24"	24"	4"	4.5 lbs
FH 4000W	24"	24"	4"	4.8 lbs
FH 5000W	24"	24"	4"	5.1 lbs
FH 7000W	24"	24"	4"	5.4 lbs
FH 10000W	24"	24"	4"	5.7 lbs

REV#	DATE	DESCRIPTION

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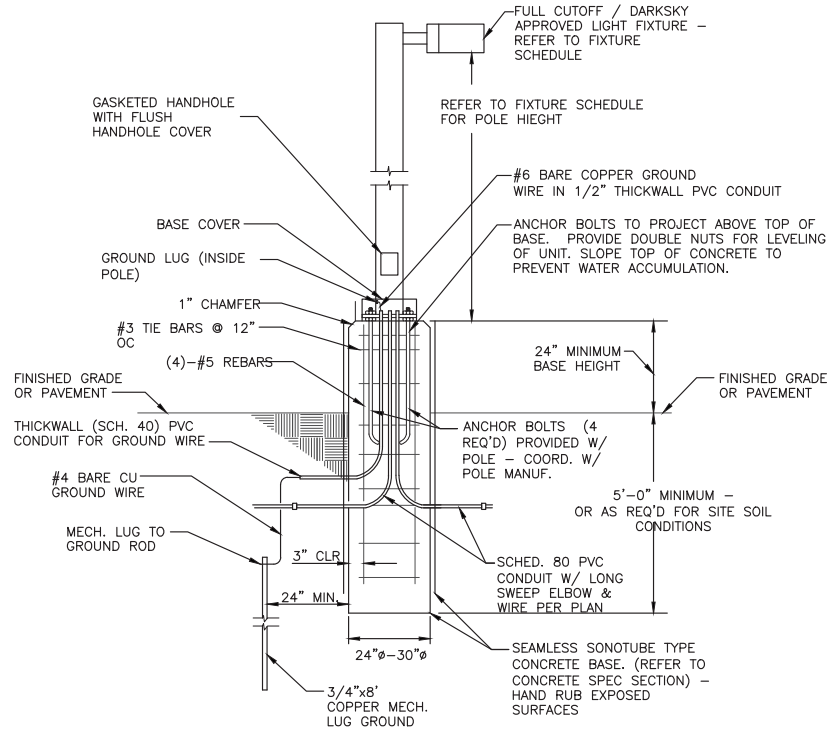
SITE LIGHTING DETAILS

LIVINGSTON COMMONS, PANERA BREAD, GENOA TOWNSHIP, HOWELL, MICHIGAN

ISSUED FOR:	DATE:	BY:
PC	3/26/15	C.J.C.
PC	4/20/15	C.J.C.

JOB NO. RGP1001.01F

SHEET C-6.1

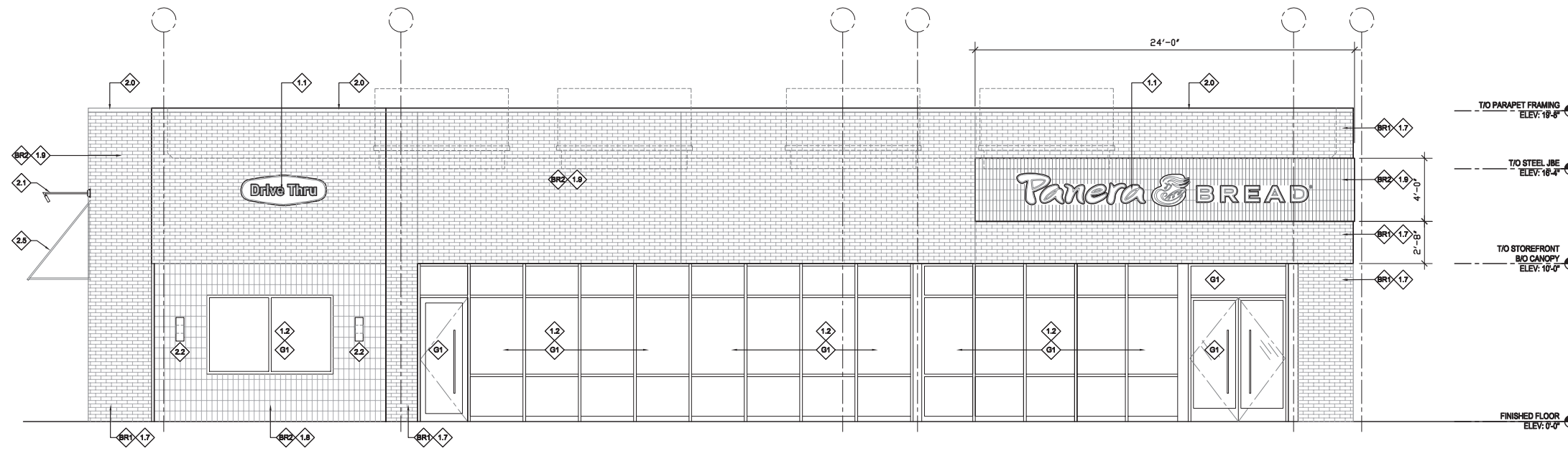


- NOTES:**
1. ANCHOR BOLTS AND TEMPLATES FURNISHED BY ELECTRICAL CONTRACTOR. UNLESS NOTED OTHERWISE, CONCRETE BASE AND ANCHOR BOLTS INSTALLED BY ELECTRICAL CONTRACTOR.
  2. CONCRETE BASE SHALL BE PER CONCRETE SPECIFICATION SECTION AND/OR 4000 PSI CONCRETE IF NOT SPECIFIED.
  3. LIGHT POLE THICKNESS SHALL BE AS REQUIRED TO WITHSTAND WIND LOADS OF 100 MPH MINIMUM.

### SITE LIGHTING POLE DETAIL

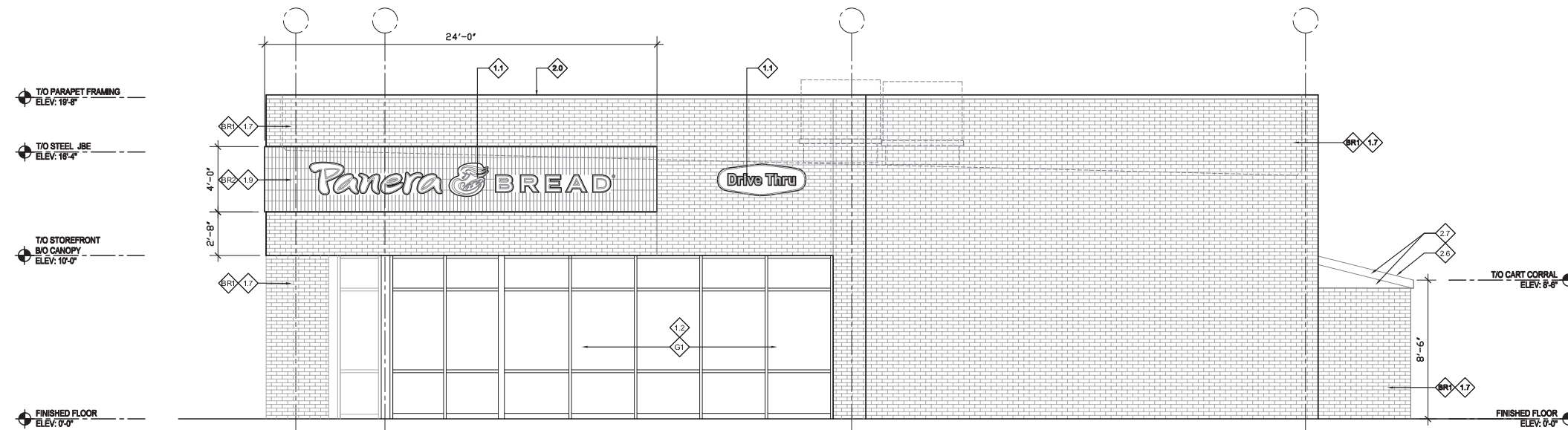
NO SCALE

NOTE:  
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.



22 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL SIGNAGE AND FABRIC AWNINGS ARE UNDER SEPARATE PERMIT.



24 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. G.C. TO PROVIDE WOOD BLOCKING FOR ALL BUILDING MOUNTED SIGNAGE.
- B. ALL SIGNAGE UNDER SEPARATE PERMIT.

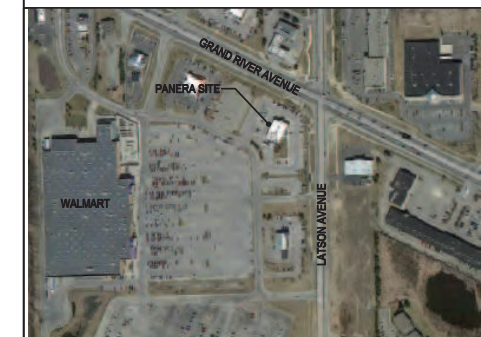
KEYED NOTES: INDICATED BY SYMBOL

- 1.1 INTERNALLY ILLUMINATED SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQ'D. (UNDER SEPARATE SIGNAGE PERMIT)
- 1.2 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING.
- 1.3 4" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.4 6" DIA. PIPE BOLLARD. SEE DETAIL 5/A-0.45 FOR ADDITIONAL INFORMATION.
- 1.5 NEW 42" EXTERIOR SERVICE DOOR AND FRAME. COLOR TO MATCH ADJACENT WALL FINISH. SEE SHEET A-2.0 FOR EXACT PLACEMENT.
- 1.6 COORDINATE CAMERA ROUGH IN LOCATION(S) & HEIGHTS WITH PANERA REPRESENTATIVE PRIOR TO INSTALLATION.
- 1.7 FACE BRICK INSTALLED WITH RUNNING BOND PATTERN AT MAIN WALL
- 1.8 FACE BRICK INSTALLED SOLDIER COURSE, SET BACK FROM MAIN WALL
- 1.9 FACE BRICK INSTALLED WITH SOLDIER COURSE SET OUT 1" FROM MAIN WALL
- 2.0 PREFINISHED METAL COPING: DARK BRONZE
- 2.1 EXTERIOR LIGHTING FIXTURE PROVIDED AND INSTALLED BY GC; GC TO PROVIDE BLOCKING IN WALL AS REQUIRED (TYP.); G.C. TO PROVIDE POWER AS REQ'D.
- 2.2 DECORATIVE LIGHT FIXTURE PROVIDED AND INSTALLED BY G.C. / G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED (TYP.); G.C. TO PROVIDE POWER AS REQUIRED
- 2.3 QUICKSERV DRIVE THRU WINDOW ASSEMBLY, MODEL #FM42E
- 2.4 LANDSCAPE TRELLIS, MFR: GREENSCREEN, COLOR: BLACK; GEN: CONTRACTOR; ALT: CONSTRUCTED STEEL SIMILAR TO SHOWN
- 2.5 AWNING PROVIDE AND INSTALLED BY SIGN VENDOR / G.C. SHALL PROVIDE BLOCKING AS REQUIRED. SEE VENDOR SHOP DRAWINGS
- 2.6 STANDING SEAM METAL ROOF, DARK BRONZE
- 2.7 BREAK METAL TO MATCH STANDING SEAM METAL ROOFING, DARK BRONZE
- 2.8
- 3.0 FIRE DEPARTMENT CONNECTION
- 3.0 FIRE DEPARTMENT ACCESS BOX INSTALLED ADJACENT ACCESS DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT

EXTERIOR MATERIALS:

INDICATED BY SYMBOL

- BR1 FACE BRICK- MANUF: ENDICOTT, SIENNA IRONSPOT, MODULAR, RUNNING BOND PATTERN
- BR2 FACE BRICK- MANUF: ENDICOTT, SIENNA IRONSPOT, MODULAR, SOLDIER COURSE PATTERN
- G1 ALUMINUM STOREFRONT - DARK BRONZE W/ 1" INSULATED GLAZING MANUF: API (TYP.)



BAKERY CAFE:

#1936  
SYSTEM: G3 (CUSTOM)  
PROTOTYPE UPDATE: 2018-01

DESIGN CONSULTANT:  
**ARCVISION**  
INCORPORATED  
1800 CHASE ROAD, SUITE 300  
ANN ARBOR, MI 48106  
PH: (734) 963-1800 FAX: (734) 963-2000  
www.arcvision.com

PANERA BREAD  
BAKERY CAFE #1936  
GRAND RIVER AVE  
HOWELL, MI 48843



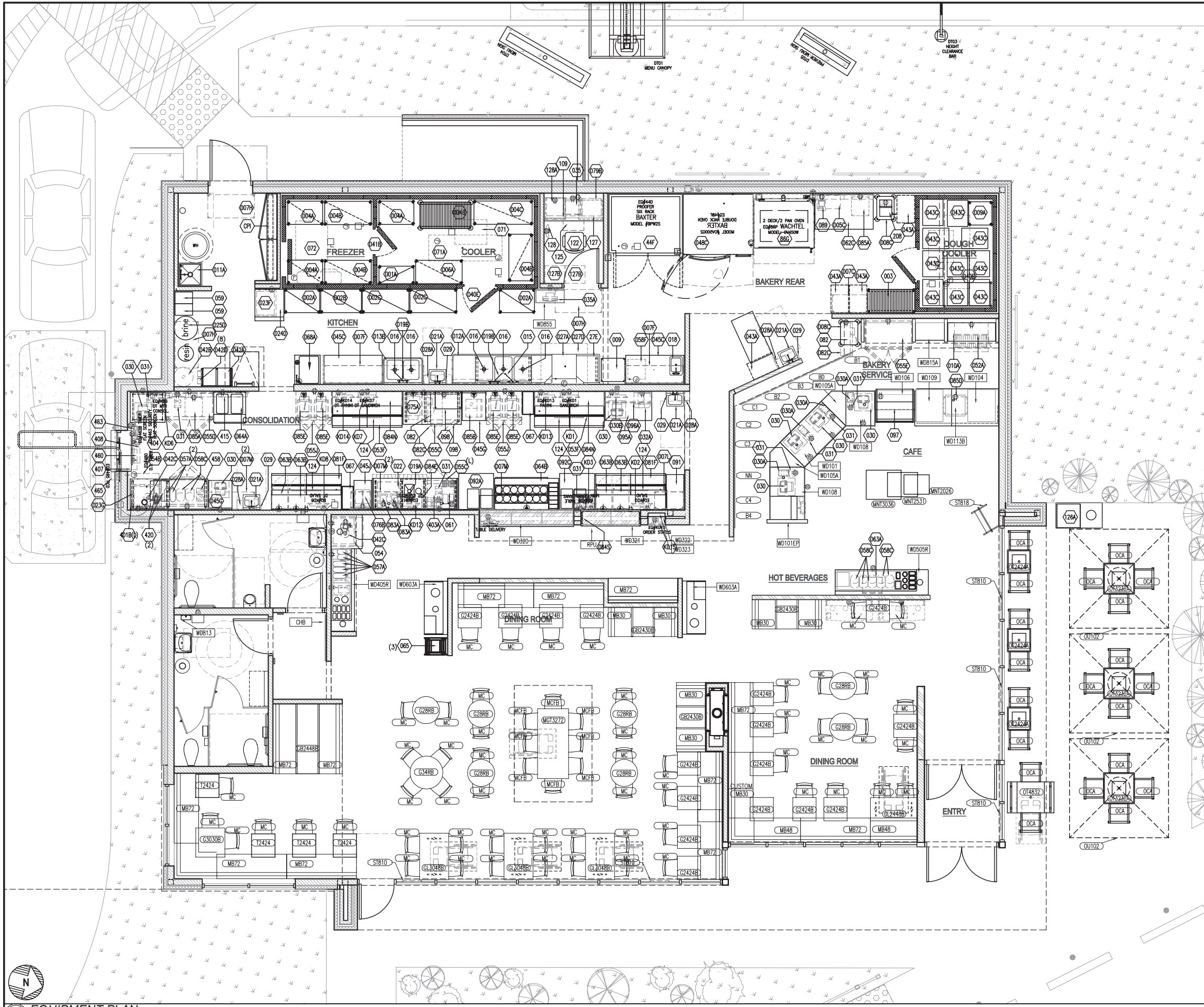
PHASE 1'S  
ISSUED: 08/08/2014

NO.	REVISION	DATE

ISSUE DATE: 04.04.2015  
PROJECT NUMBER: 150319  
DRAWN BY: CAO/JMH  
CHK: Dan Cook  
DPM: BRIAN BARNARD  
CPM: MARK ETHERINGTON

SHEET NO:  
**A-5.1**  
EXTERIOR ELEVATIONS





### GENERAL NOTES:

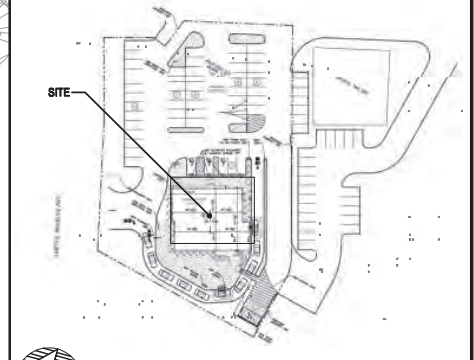
- A. ALL BOOTHS AND BANQUETTES TO BE LIGHT FINISH.
- B. NO CASTORS ON ALL EAGLE FLOOR SHELVES (INCL. COOLER / FREEZER)
- C. COOLER / FREEZER "FASTRAK" BY NORLAKE.

### EQUIPMENT PLAN LEGEND:

- XXX — ROOM NUMBER SYMBOL
- SC-10EN — SIGNAGE IDENTIFICATION SYMBOL
- EQ — EQUIPMENT IDENTIFICATION SYMBOL
- ST-10EN — STEEL IDENTIFICATION SYMBOL
- WD-10EN — WOOD IDENTIFICATION SYMBOL
- REL — RELOCATION INDICATION, ADDED TO SYMBOLS
- FURN-10 — FURNITURE IDENTIFICATION SYMBOL
- DOOR — DOOR NUMBER SYMBOL

### KEYED NOTES:

- INDICATED BY ◊ SYMBOL
- 1.1 OFFICE SAFE TO BE INSTALLED FLUSH WITH THE FRONT OF THE DESK ON THE RIGHT HAND SIDE.
- 1.2 FIRE SPRINKLER RISER
- 1.3 ALUM. ROOF LADDER
- 1.4 CPI PANEL. SEE ELECTRICAL DRAWINGS.
- 1.5 DETEX. SEE ELECTRICAL DRAWINGS.
- 1.6 DIVIDERS BY FURNITURE VENDOR.




**BAKERY CAFE:  
#1936**  
SYSTEM: G3 (CUSTOM)  
PROJECT: PANERA, 2014

DESIGN CONSULTANT:  
**ARCISION**  
INCORPORATED  
1000 S.W. 10TH AVE., SUITE 300  
MIAMI, FL 33135  
PH: (305) 442-1000 FAX: (305) 442-1001



PANERA BREAD  
BAKERY CAFE #1936  
LATSON AVE & GRAND RIVER AVE  
HOWELL, MI



**PHASE 1'S**  
ISSUED: 08.08.2014

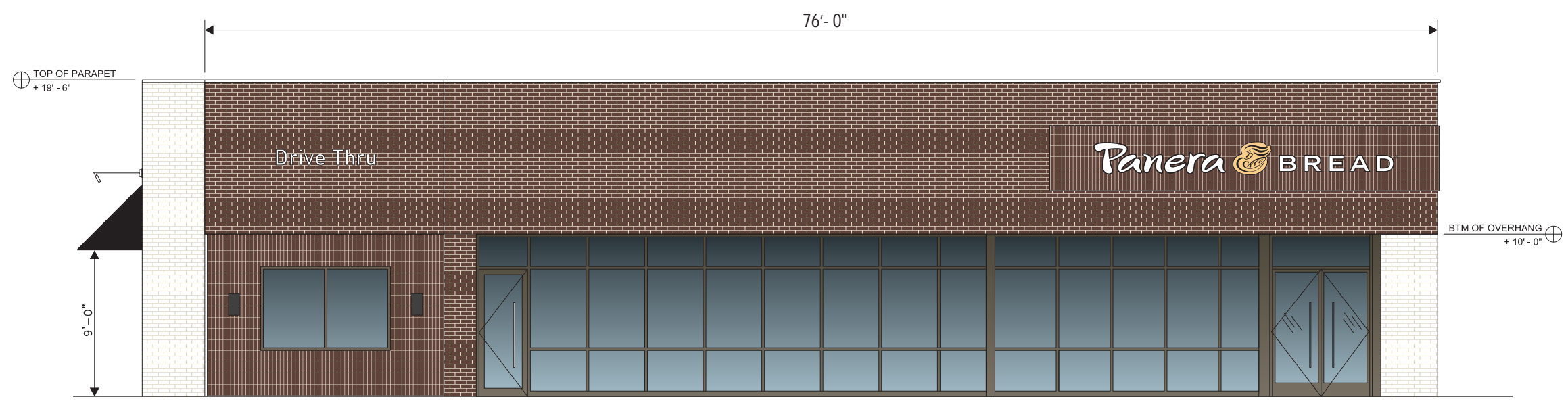
NO.	REVISION

ISSUE DATE: 04.04.2015  
PROJECT NUMBER: 150319  
DRAWN BY: MH  
DM: Dan Cook  
DPM: BRIAN BARNARD  
CPM: MARK ETHERINGTON

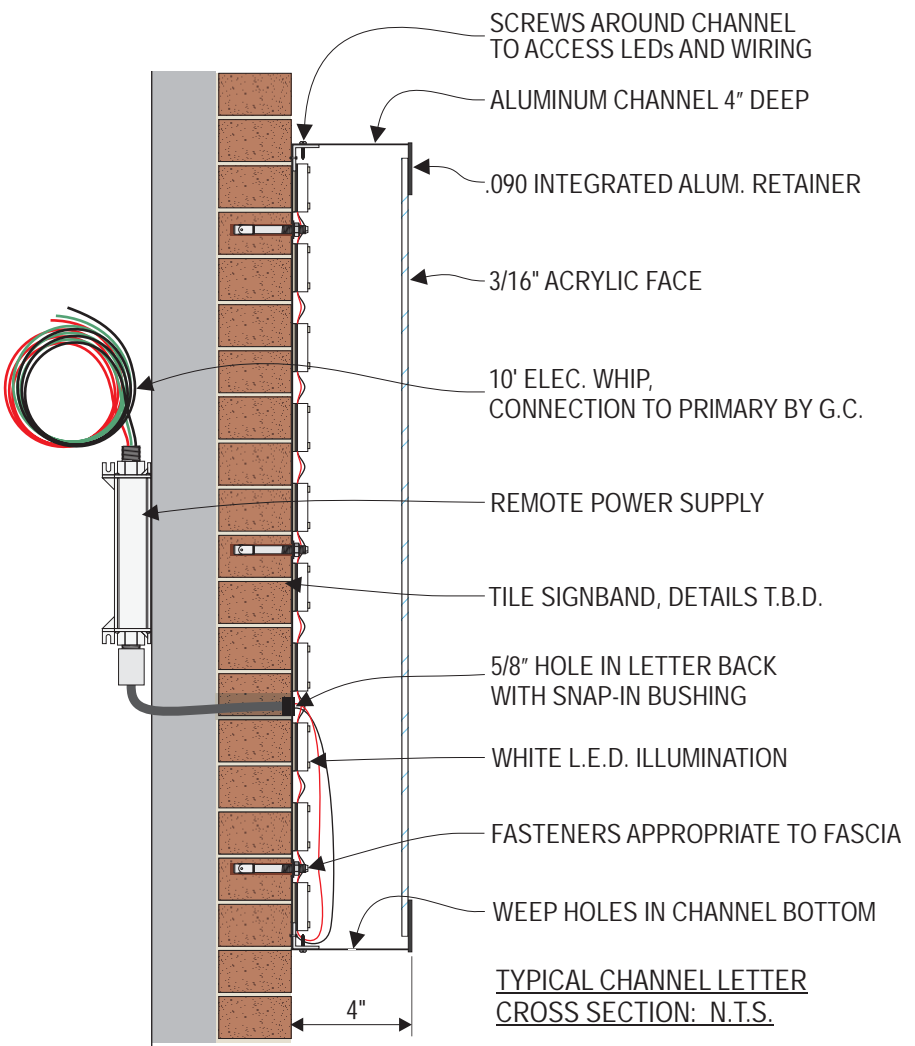
SHEET NO:  
**EQ-2.1**  
FLOOR PLAN  
EQUIPMENT



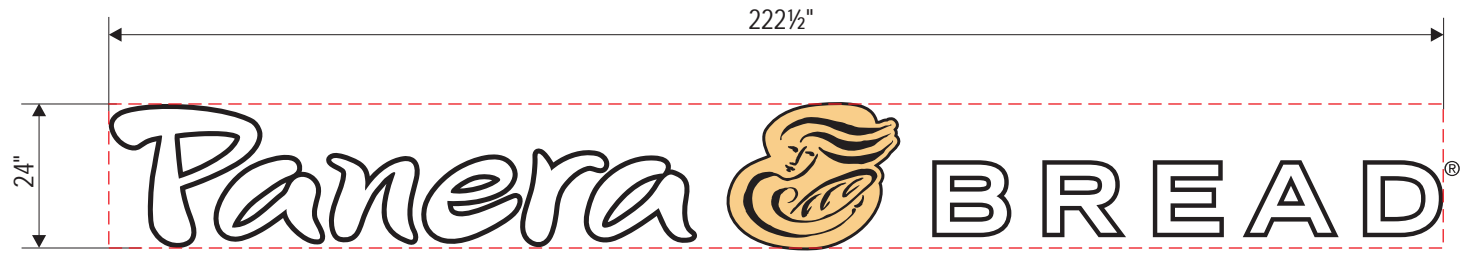




EAST (LATSON ROAD) ELEVATION: 1/8" = 1'-0"



TYPICAL CHANNEL LETTER CROSS SECTION: N.T.S.



SIGN ELEVATION: 3/8" = 1'-0"  
37.08 SQ.FT.

NON-COMPLIANT IN # of SIGNS

INTERNALLY ILLUMINATED CHANNEL LETTERS & MOTHER BREAD LOGO AND "Drive Thru" OVAL

- "PANERA BREAD" & "Drive Thru" LETTERS:
  - (#7328 WHITE) 3/16" ACRYLIC FACES
- MOTHER BREAD LOGO:
  - (CLEAR) 3/16" ACRYLIC FACE
  - BACKSPRAYED PMS 1355u
  - (BLACK 230-22) VINYL LOGO DETAIL
- ALL:
  - .090 ALUM. INTEGRATED RETAINERS
  - 4" DEEP ALUM. RETURNS PAINTED BLACK
  - .040 ALUM. LETTER BACKS
  - (WHITE) L.E.D. ILLUMINATION
  - LOW VOLTAGE POWER SUPPLIES
  - U.L. AND MFG. LABELS
  - WEEP HOLES REQUIRED



SIGN ELEVATION: 3/8" = 1'-0"  
6.17 SQ.FT.

SIGN CODE ALLOWANCE:  
 Wall signs: 10% of wall area to which affixed.  
 1 per business, 2nd sign allowed for corner lot.  
 Individual channel letters only.  
 No panels, or cabinet signs.  
 Measure with smallest single parallelogram.

19.5 x 76 = 1482 x 10% = 148 sq. ft. allowed.

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 SINCE 1917  
  
**MANDEVILLE SIGN**  
*making your mark.*  
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 LINCOLN, RI 02865-4255  
 401-334-9100 PHONE 401-334-7799 FAX  
 www.mandevillesign.com WEB

**APPROVALS**  
 Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

1936\_Color renderings\_04-03-15.pdf

**REVISIONS**

NO.	BY	DESCRIPTION	DATE
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DO NOT SCALE DRAWING

CLIENT  
  
**Panera**  
 BREAD

STORE NUMBER #1936

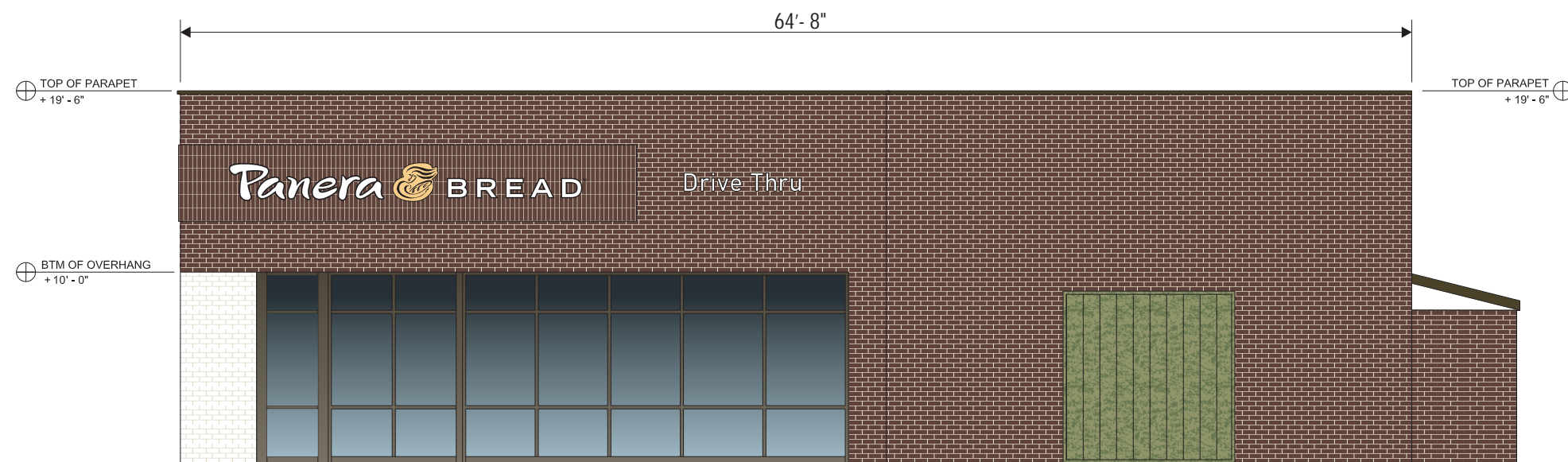
Grand River Ave.  
 & Latson Rd.  
 HOWELL, MI

#27065-2

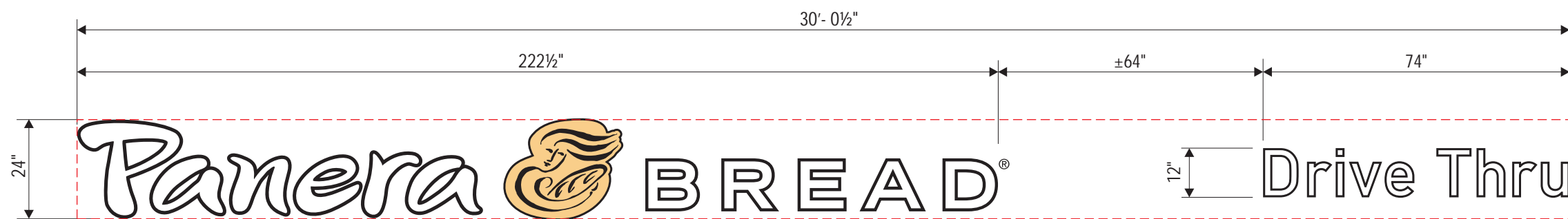
PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
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Z-035.1  
 DRAWING NAME



NORTH (GRAND RIVER AVE.) ELEVATION: 1/8" = 1'-0"



SIGN ELEVATION: 3/8" = 1'-0"

60.08 SQ.FT.

COMPLIANT

19.5 x 64.66 = 1260 x 10% = 126 sq. ft. allowed.

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APPROVALS

Signatures Required Before Release to Production

Engineering	
BY	DATE
Sales	
BY	DATE
Estimating	
BY	DATE
Production	
BY	DATE
Quality Control	
BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

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DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #1936

Grand River Ave.  
& Latson Rd.  
HOWELL, MI

LOCATION

#27065-2

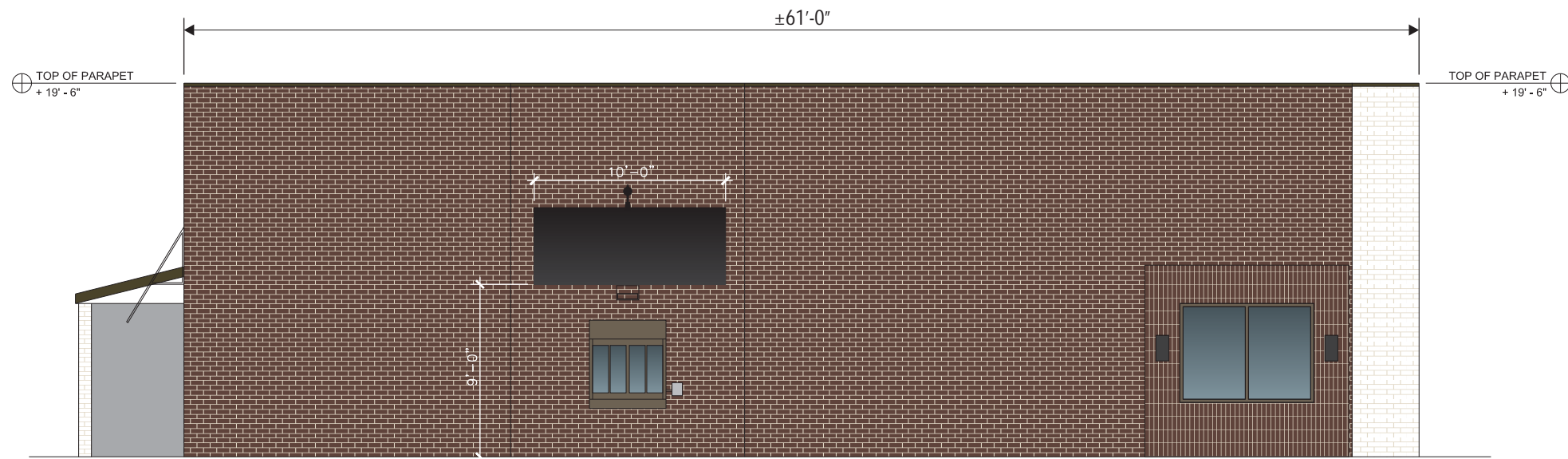
WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

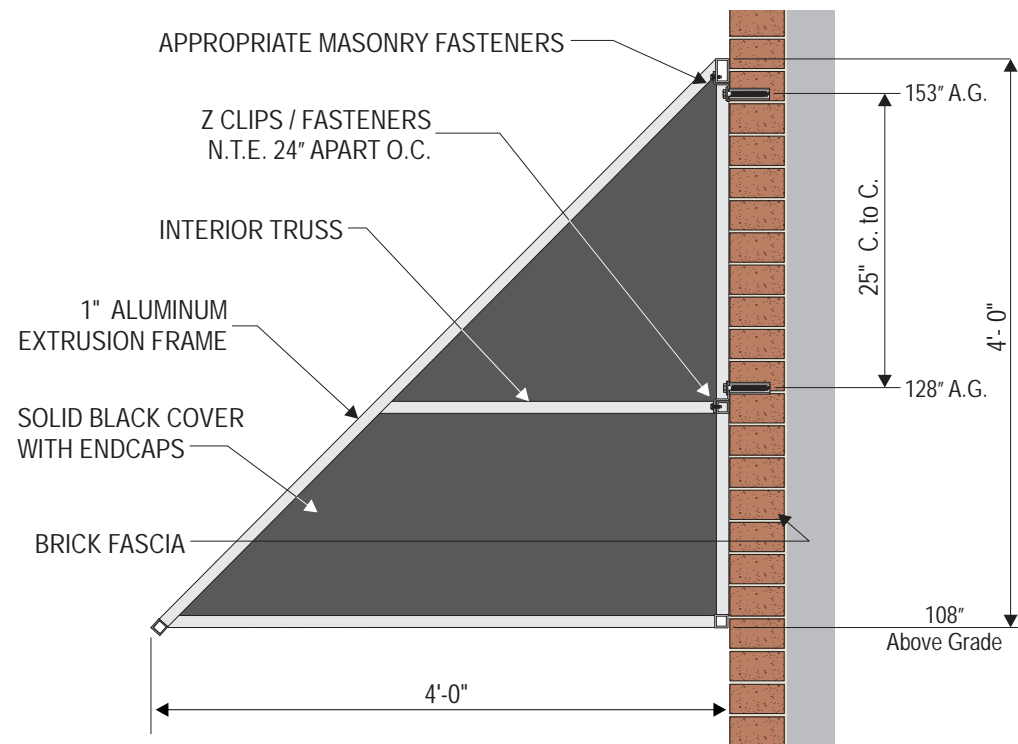
CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

Z-035.2

DRAWING NAME



**SOUTH ELEVATION**  
1/8" = 1'-0"



**DRIVE THRU AWNING SECTION ONLY: 3/4" = 1'-0"**

 SUNBRELLA  
BLACK  
#4608

**EXTERNALLY ILLUMINATED DRIVE THRU AWNING:**

- ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED BLACK
- TRUSS SPACING N.T.E. 36" APART O.C.
- SUNBRELLA BLACK #4608 FABRIC COVER
- BLACK PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS



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**APPROVALS**

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Engineering	
BY	DATE
Sales	
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VM PRODUCT NUMBER(S)

**REVISIONS**

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DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #1936

Grand River Ave.  
& Latson Rd.  
HOWELL, MI

LOCATION

#27065-2

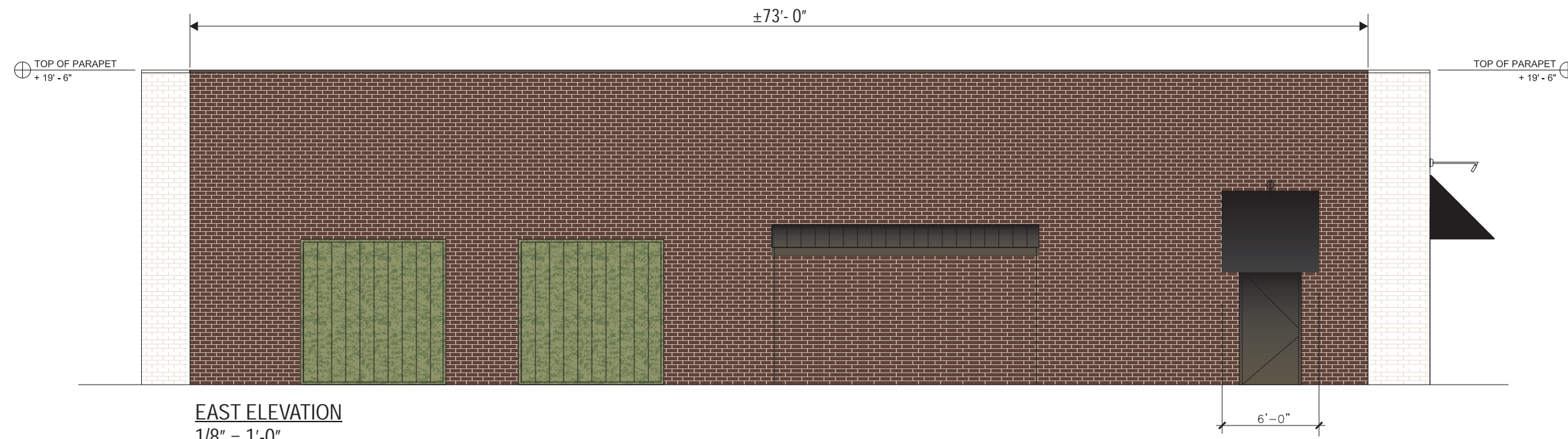
WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST DATE  
03/18/15

Z-035.3

DRAWING NAME

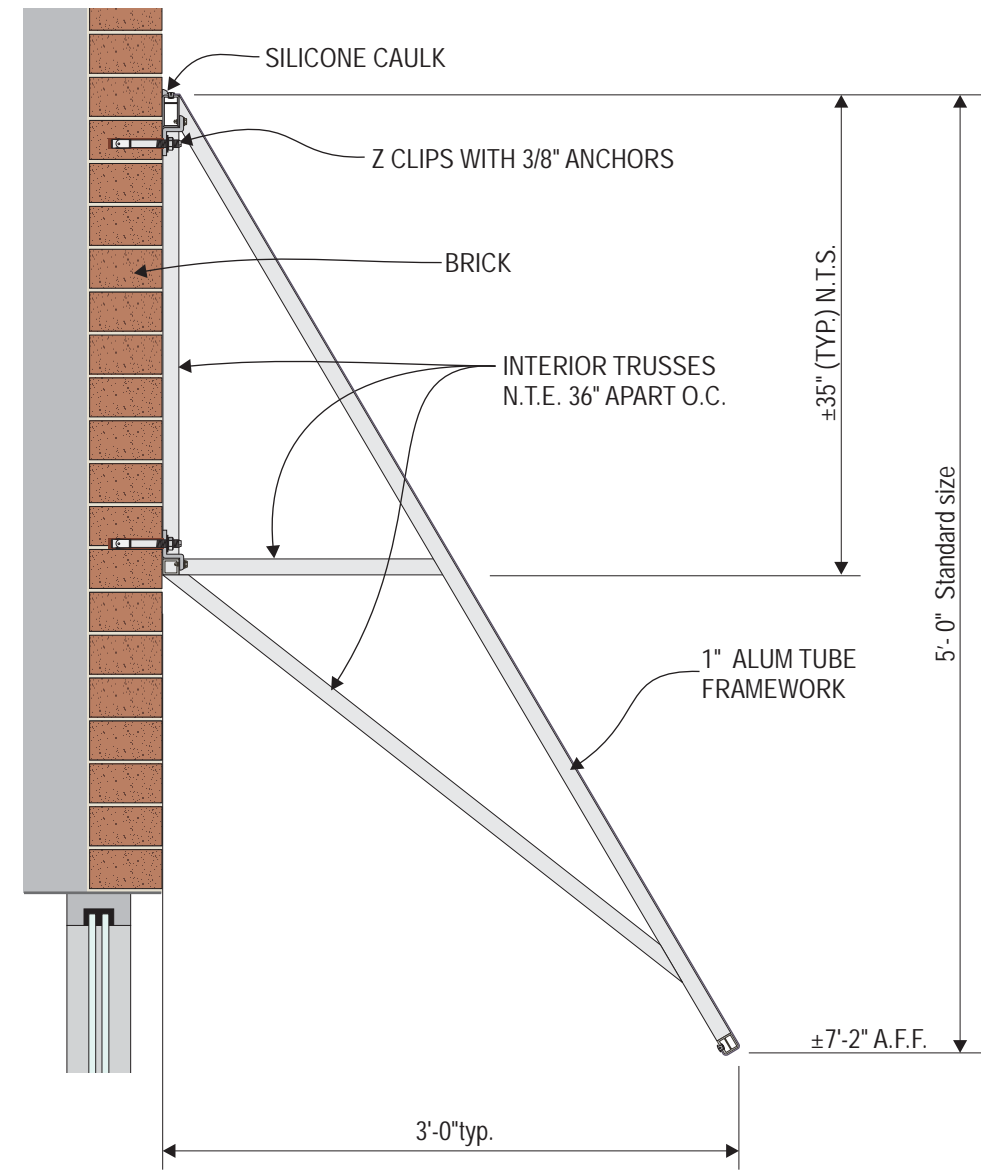


**EAST ELEVATION**  
1/8" = 1'-0"

■ SUNBRELLA  
BLACK  
4608

**EXTERNALLY ILLUMINATED SERVICE DOOR AWNING:**

- 1" SQ. ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED BLACK
- TRUSS SPACING N.T.E. 36" APART O.C.
- SUNBRELLA BLACK #4608 FABRIC COVER:
- BLACK PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE 2" x 6" BLOCKING AS NECESSARY



**AWNING FRAME SECTION: 1" = 1'-0"**

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Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

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DO NOT SCALE DRAWING

CLIENT

**Panera BREAD**

STORE NUMBER #1936

Grand River Ave.  
& Latson Rd.  
HOWELL, MI

LOCATION

#27065-2

WORK ORDER NUMBER(S)

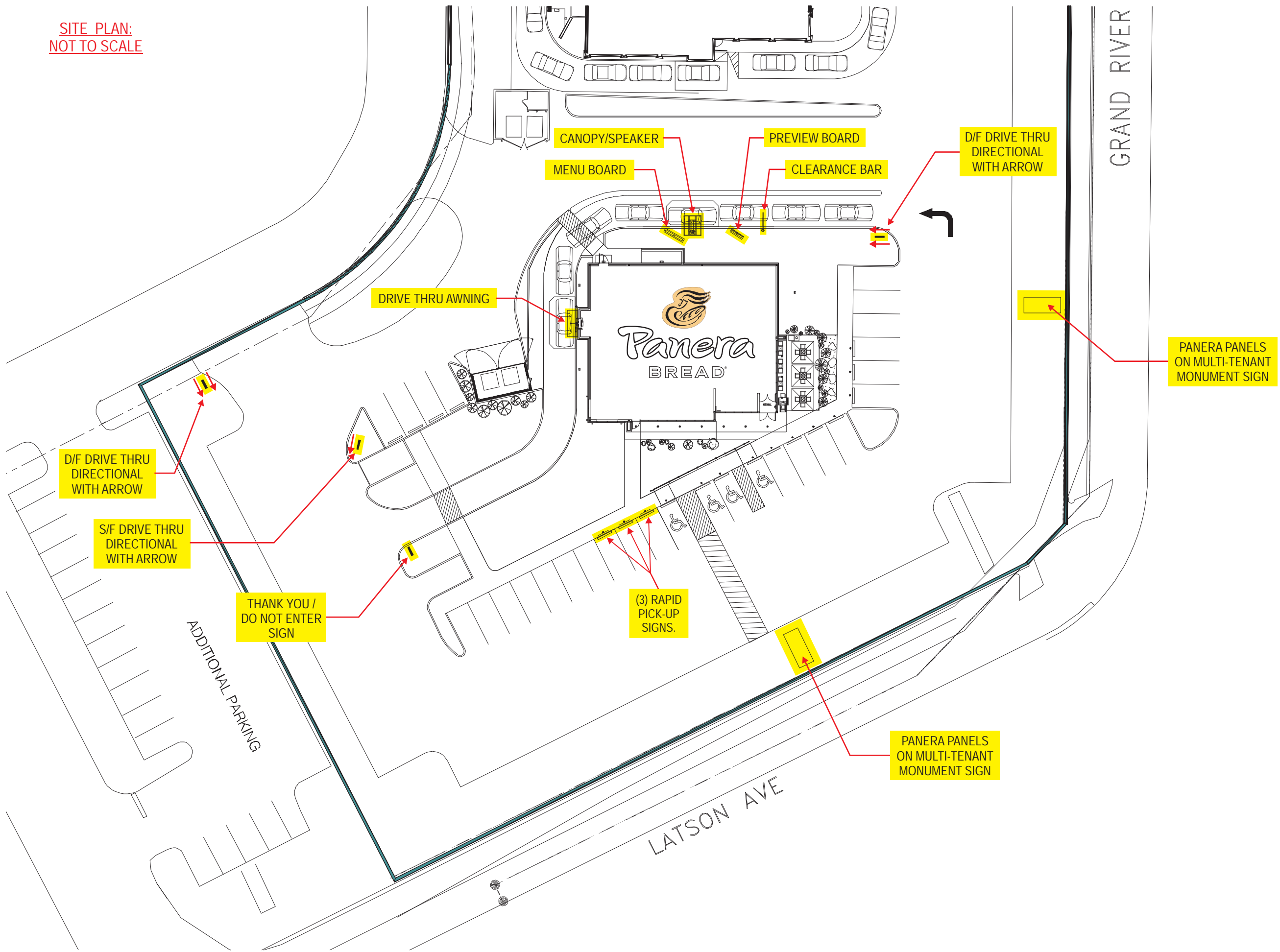
PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

**Z-035.4**

DRAWING NAME

SITE PLAN:  
NOT TO SCALE



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**APPROVALS**  
*Signatures Required Before Release to Production*

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

**REVISIONS**

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DO NOT SCALE DRAWING

CLIENT

**Panera BREAD**

STORE NUMBER **#1936**

LOCATION **Grand River Ave. & Latson Rd. HOWELL, MI**

WORK ORDER NUMBER(S) **#27065-2**

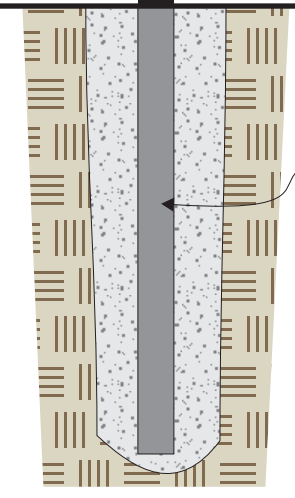
PROJECT MANAGER **Jim F.**

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

DRAWING NAME **Z-035.5**



D/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO

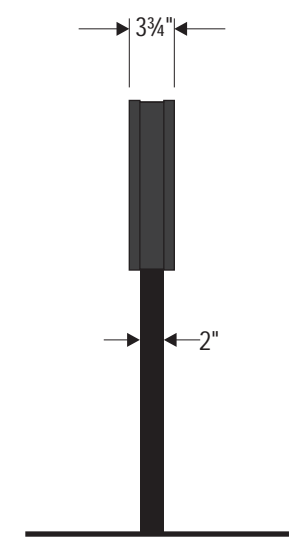


DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING

DIRECTIONAL SIGNS  
3/4" = 1'-0"

**SIGN CODE ALLOWANCE:**

Logos are allowed.  
4 sq.ft. max. each.  
3 ft. max. height



DIRECTIONAL SIGN  
END VIEW  
3/4" = 1'-0"

**INTERNALLY ILLUMINATED DIRECTIONAL SIGNS:**

- (BLACK) PAINTED 3/4" DEEP .063 ALUM. RETURNS & 1" ALUM. RETAINERS
- (CLEAR) POLYCARBONATE FACES
- (PANTONE 5757U GREEN) OPAQUE BACKGROUND
- (WHITE) COPY WITH (BLACK) OUTLINES
- (PANTONE 1355 PEACH) ARROWS IF REQUIRED
- (WHITE) L.E.D. ILLUMINATION
- ELECTRICAL REQUIREMENTS: .5 AMPS EACH @ 120 VOLTS
- (BLACK) 2" DEEP X 3" WIDE X 1/4" WALL ALUMINUM TUBE POSTS
- (BLACK) PAINTED FINISHED .080 ALUM. BACKS ON SINGLE FACE SIGNS
- DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING



D/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO



QUANTITY = (2)



QUANTITY = (1)

S/F SPLIT-FACE DIRECTIONAL SIGN w/ LOGO

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

www.mandevillesign.com  
WEB

**APPROVALS**  
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

**REVISIONS**

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DO NOT SCALE DRAWING

CLIENT

STORE NUMBER #1936

Grand River Ave.  
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HOWELL, MI

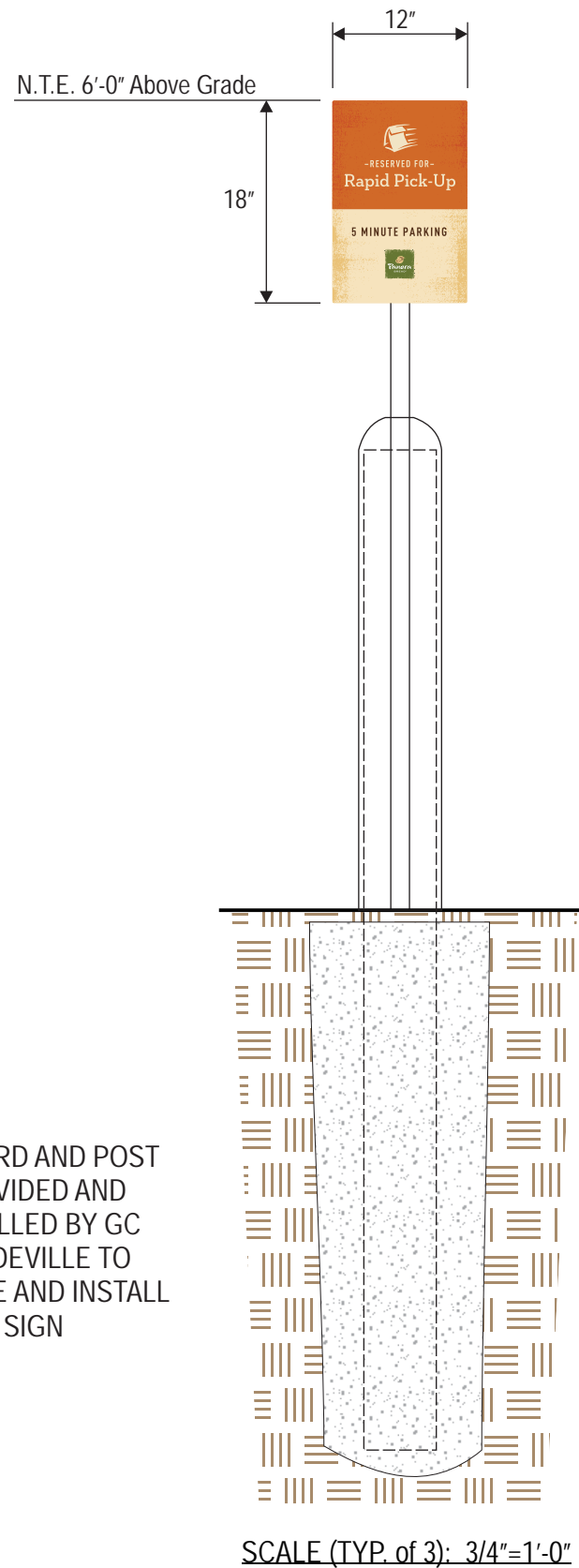
LOCATION  
#27065-2

WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST DATE 03/18/15

DRAWING NAME  
**Z-035.6**



BOLLARD AND POST PROVIDED AND INSTALLED BY GC MANDEVILLE TO PROVIDE AND INSTALL SIGN



SCALE: 1 1/2" = 1'-0"

(3) REQUIRED - S/F PARKING SIGNS

SINGLE-SIDED TRAFFIC CONTROL SIGNS:

- WHITE .080 ALUMINUM PANELS (DO NOT PRE-DRILL HOLES)
- REFLECTIVE, DIGITALLY PRINTED VINYL GRAPHICS WITH CLEAR OVERLAMINATE
- POST & BOLLARD INSTALLATION AS SHOWN
- FREE FORMED CONCRETE FOOTINGS



**MANDEVILLE SIGN**  
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**APPROVALS**

*Signatures Required Before Release to Production*

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

**REVISIONS**

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DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #1936

Grand River Ave.  
& Latson Rd.  
HOWELL, MI

LOCATION

WORK ORDER NUMBER(S) #27065-2

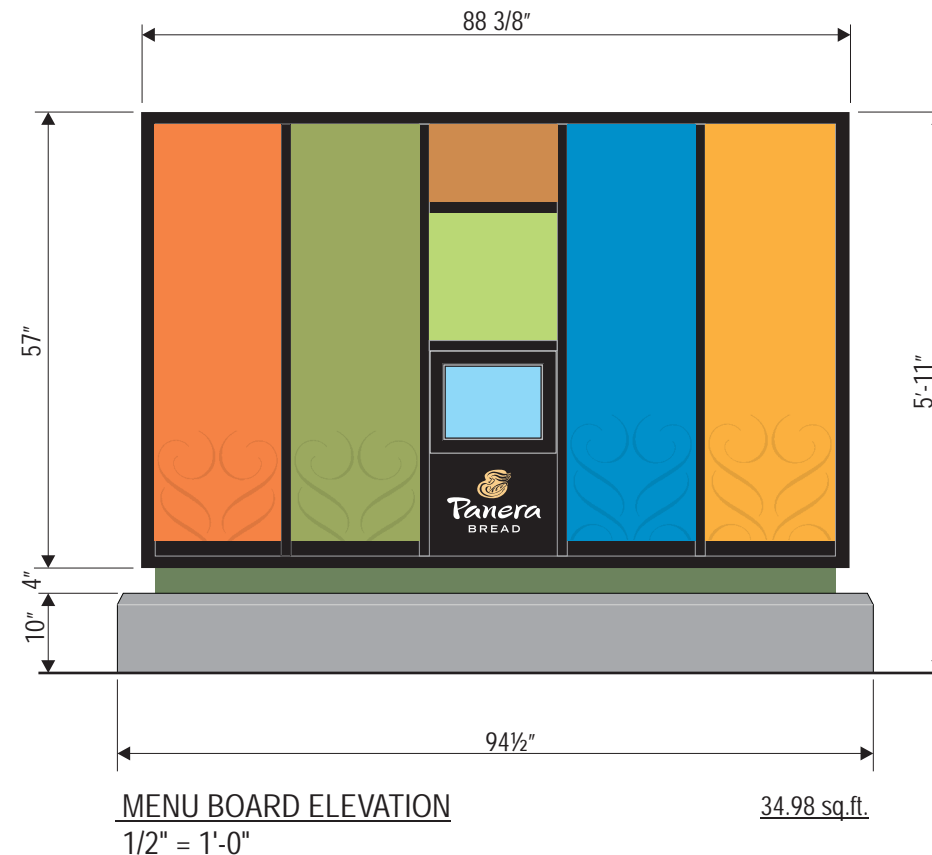
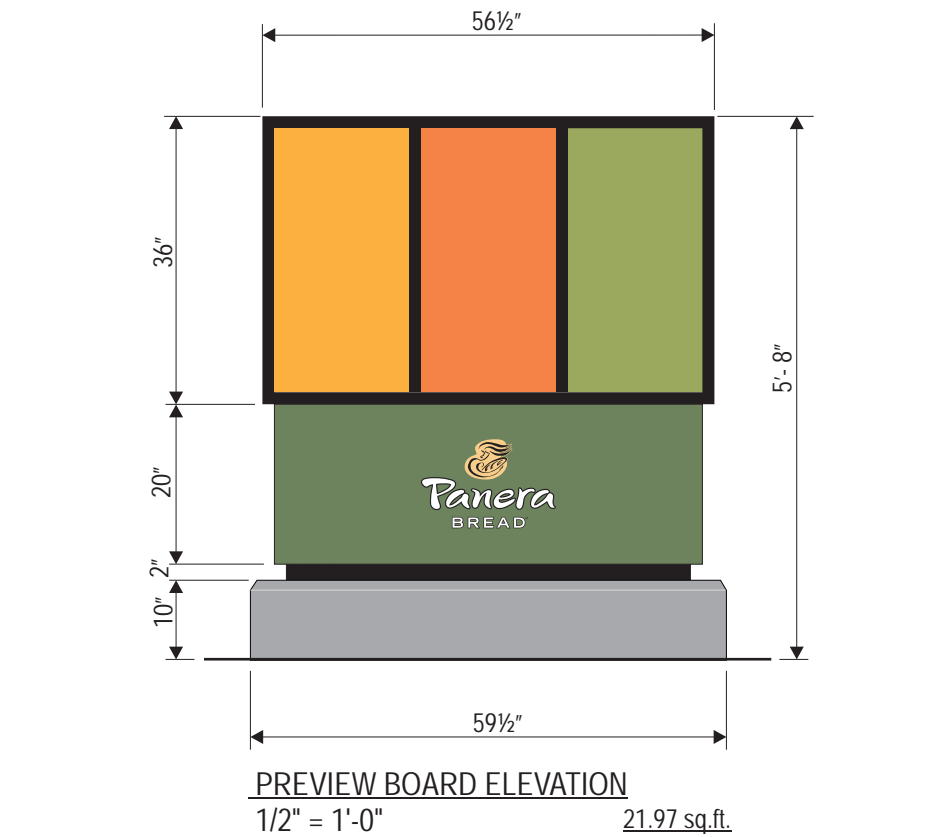
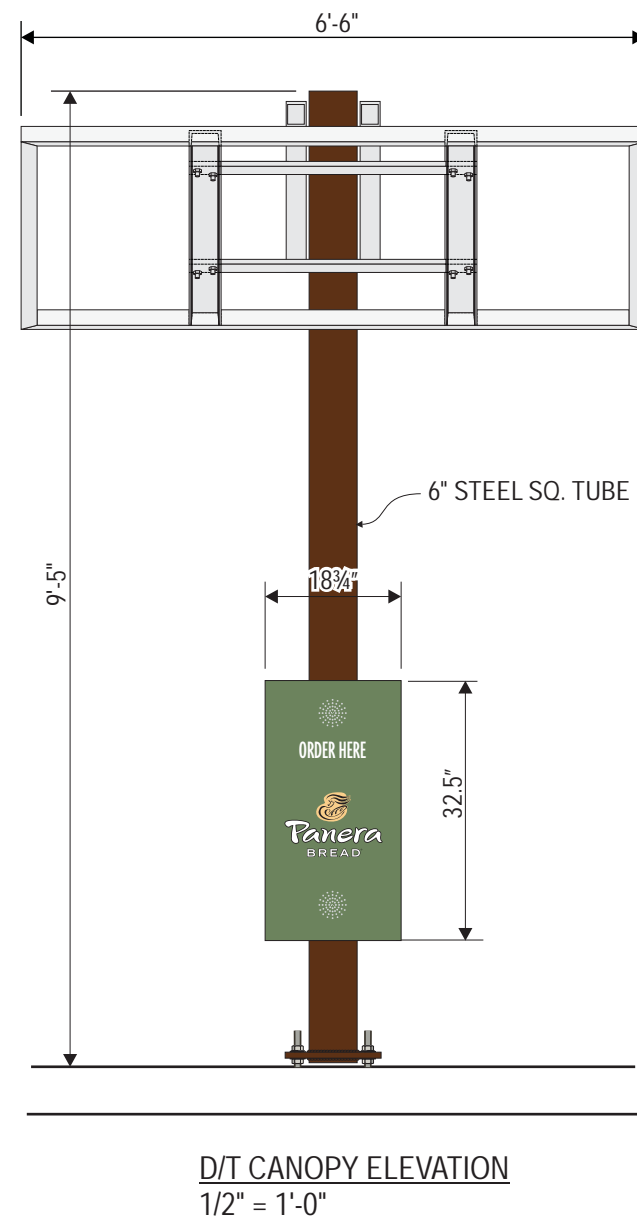
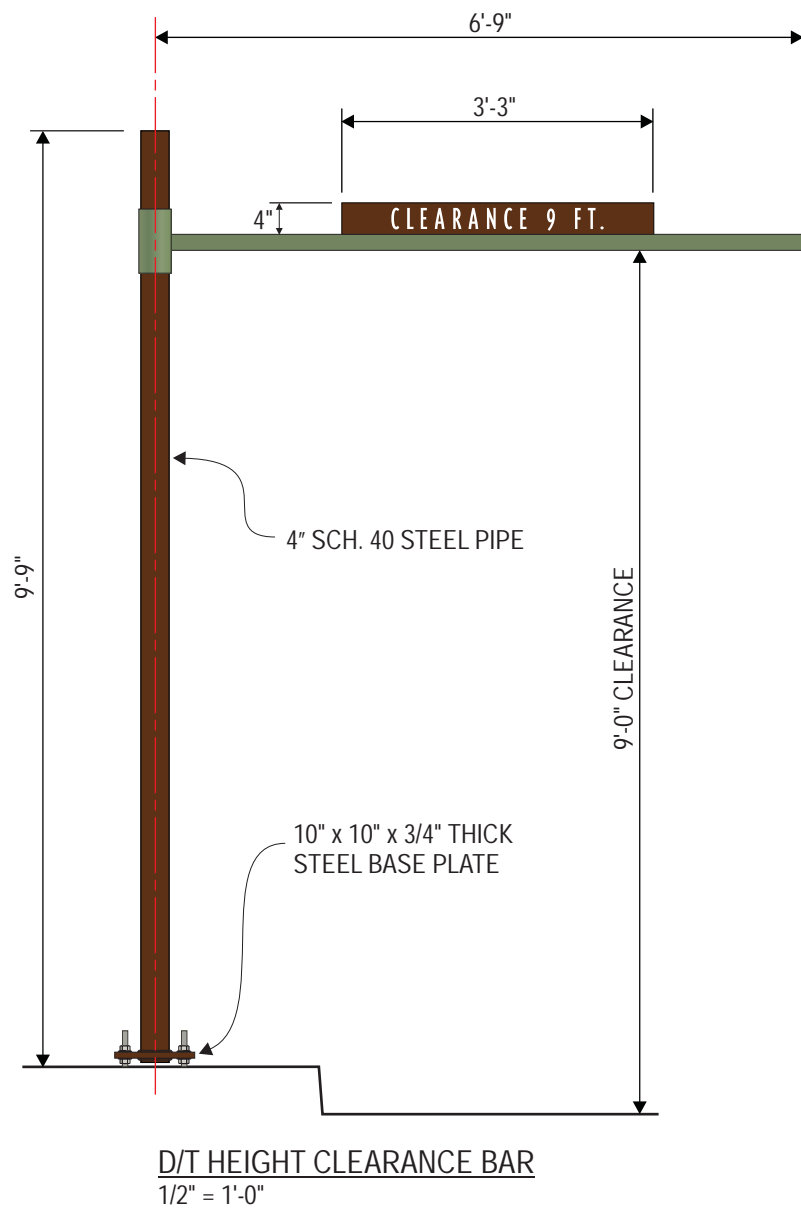
PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST DATE 03/18/15

DRAWING NAME Z-035.7

DRAWING NAME





PREVIEW BOARD & MENU BOARD SIGN ALLOWANCE = 16.0 SQ.FT. EA. NON-COMPLIANT



MANDEVILLE SIGN  
making your mark.

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LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

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APPROVALS

Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #1936

Grand River Ave.  
& Latson Rd.  
HOWELL, MI

LOCATION

#27065-2

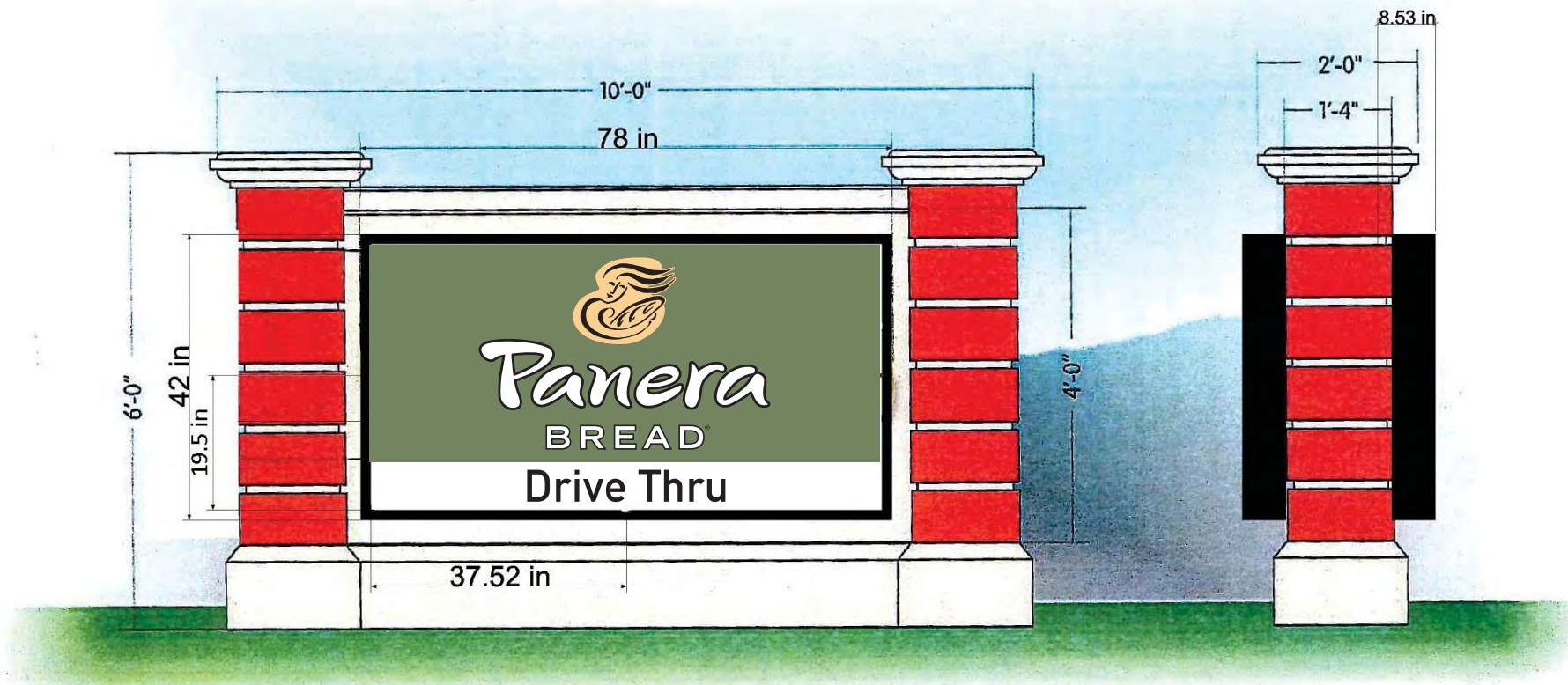
WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY DATE WD ARTIST 03/18/15 DATE

Z-035.8

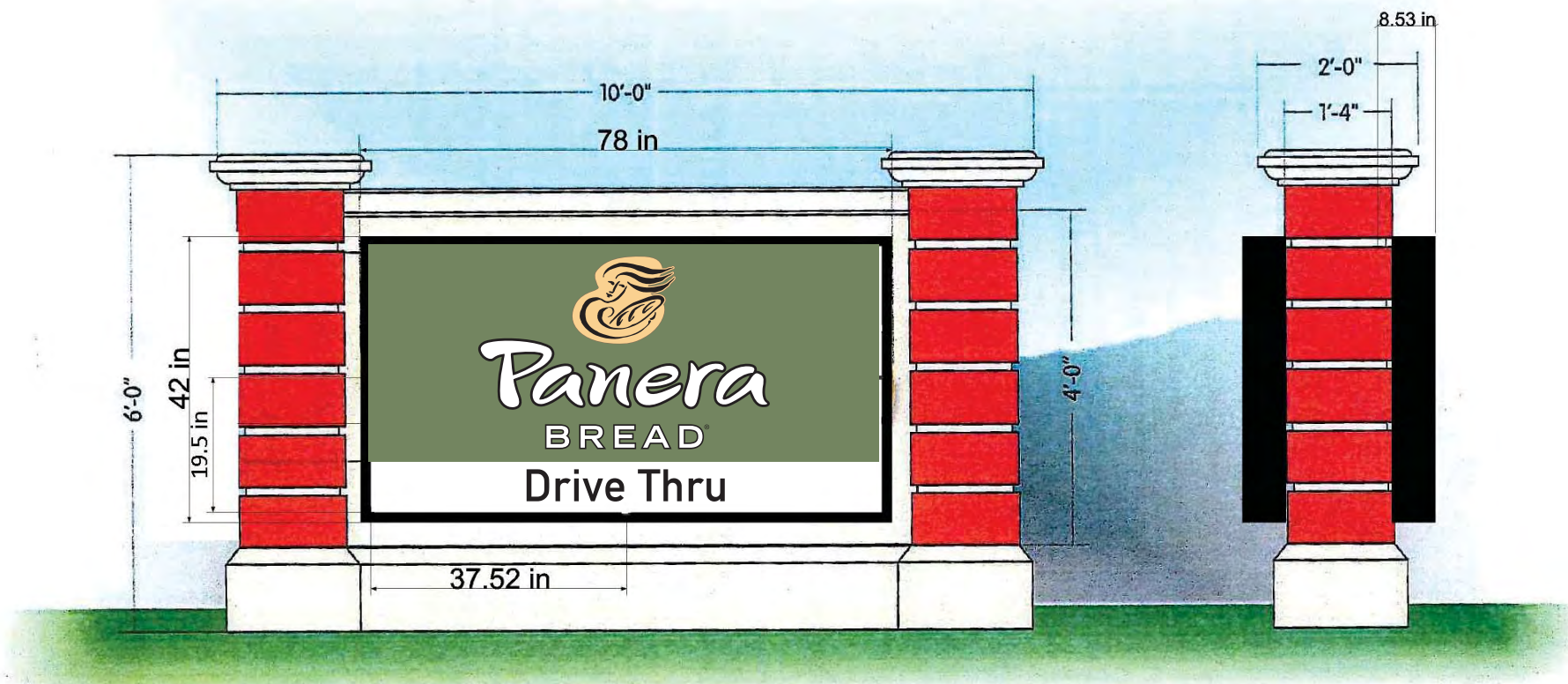
DRAWING NAME



**PANERA BREAD PANELS (4) ON LANDLORD MONUMENT SIGNS (2):**

- FACE MATERIAL PER LANDLORD SPECIFICATIONS
- FACE BACKGROUND COLOR: MATCH PANTONE #5757u GREEN (OPAQUE)
- (WHITE) "PANERA BREAD" w/ (BLACK) OUTLINES
- (PMS-1355u PEACH) MOTHER BREAD w/ (BLACK) LOGO DETAILS
- (WHITE) "®" REGISTERED SYMBOL
- (BLACK) "DRIVE-THRU" LETTERS ON (WHITE) BACKGROUND

**NOTE: PANERA BREAD TO HAVE TOP PANEL ON ONE MONUMENT SIGN AND BOTTOM PANEL ON THE OTHER. BOTH SIGNS ARE 2 SIDED**



ARTWORK EXCLUSIVE PROPERTY OF  
 SINCE 1917

**MANDEVILLE SIGN**  
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
 LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
 PHONE FAX

www.mandevillesign.com  
 WEB

**APPROVALS**  
*Signatures Required Before Release to Production*

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

**REVISIONS**

NO.	BY	DESCRIPTION	DATE
1	GL	rev. monument sign layout	04/03/15
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT

**Panera BREAD**

STORE NUMBER #1936

Grand River Ave.  
 & Latson Rd.  
 HOWELL, MI

LOCATION

#27065-2

WORK ORDER NUMBER(S)

PROJECT MANAGER Jim F.

CHECKED BY	DATE	WD ARTIST	03/18/15
		DATE	

**Z-035.9**

DRAWING NAME

# 2" SSL WALL-MOUNT ACCENT

The 2" SSL Wall-mount Accent luminaire employs solid state technology to provide small scale LED solutions for canopy and sign lighting. All components are encapsulated inside a single small and attractive enclosure designed for superior thermal performance in weather resistant applications. Offered in a choice of light output levels, finishes, and color temperatures with a range of mounting and light control accessories, 2" SSL Accent will perform as specified. It's aluminum construction and solid-state light source will provide years of efficient service.

### Construction:

- Separately sealed optical chamber and integral driver chamber IP67
- Easy "two-screw" integral driver access, does not disturb optical chamber seal
- Epoxy encapsulated electrical wire pass-through anti-wicking barrier
- Flush lens prevents puddles/water deposits in upward facing applications
- Yoke mount provides 360° horizontal, 200° vertical adjustment
- Locking horizontal pivot system to yoke features all stainless steel construction for exceptional strength
- Knurled knob tool-less vertical aiming lock, with tamper-resistant tooled locking after final aiming
- Black satin polyester powder paint is standard, Type 3 marine-grade anodized finish optional
- Finned heat-sink housing provides exceptional thermal management

### Optics:

Lumen maintenance: 70% @ 50,000 hours

Available in a variety of axial beams in combination with light shaping filters

**HGS** - Half external glare-shield field installable, 360° adjustable/lockable

### Electrical:

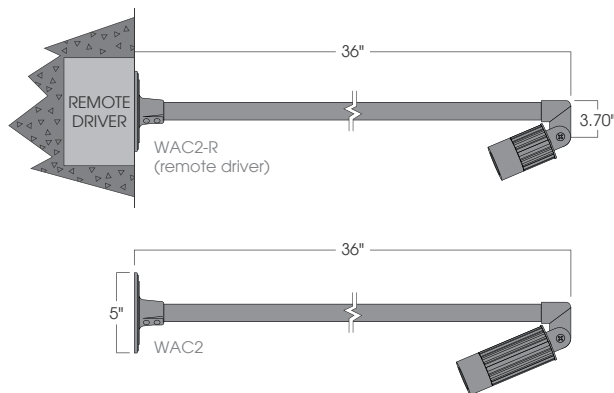
Input voltage 120v-277v auto-sensing

Dimmable at 120v only

Reverse phase ELV

Power consumption 10w

### Labeling:



### Ordering Information

Model #	CCT	Beam Spread	Finish	Accessories	
WMA2 WMA2-R	27 (2700) 30 (3000) 35 (3500)	Symmetric Filter 15°, 20° 30°, 40° 60°	Asymmetric Filter 60x10 60x30 90x60	BK - Black BA - Black Anodized	HGS2 Half Glare Shield

## WMA2 LED



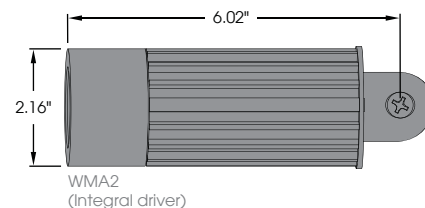
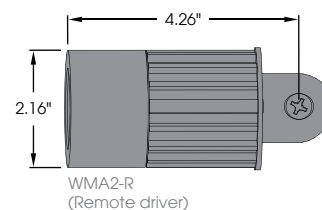
PROJECT:

TYPE:

**10** year limited warranty  
AMERLUX LED



Electrostatic sensitive device.  
observe precautions for handling



### Part String

Example: **WMA2 / 32 / 15 / BK**

# 2" SSL WALL-MOUNT ACCENT

WMA2  
LED

amerlux  
GLOBAL LIGHTING SOLUTIONS  
exterior

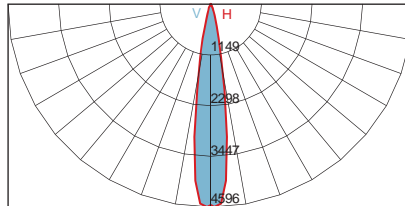
TYPE:



Data represents the use of light shaping filters  
Complete photometric data (ies format) available upon request

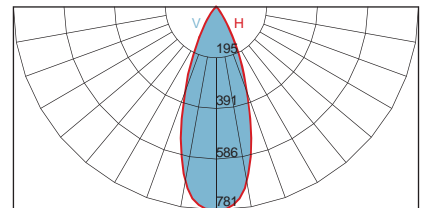
LUMINAIRE	LUMENS
WMA2-30-15	498
WMA2-30-30	378
WMA2-30-40	337
WMA2-30-60	328
WMA2-30-60X10	385
WMA2-30-60X30	345
WMA2-30-90X60	375

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-15.IES  
AXIAL CANDELA DISPLAY



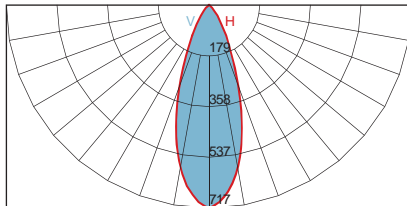
Maximum Candela=4596.332 Located At Horizontal Angle=-1, Vertical Angle=0  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-30 FIXED.IES  
AXIAL CANDELA DISPLAY



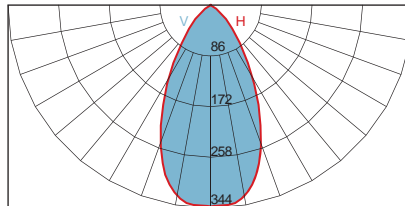
Maximum Candela=781.19 Located At Horizontal Angle=-1, Vertical Angle=-1  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-40 FIXED.IES  
AXIAL CANDELA DISPLAY



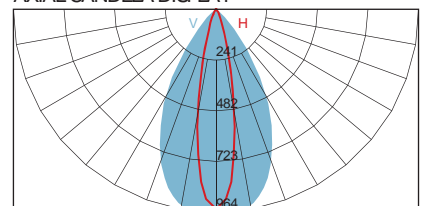
Maximum Candela=716.649 Located At Horizontal Angle=0, Vertical Angle=0  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-60 FIXED.IES  
AXIAL CANDELA DISPLAY



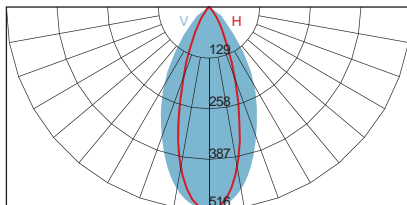
Maximum Candela=344.443 Located At Horizontal Angle=-3, Vertical Angle=3  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-60X10 FIXED.IES  
AXIAL CANDELA DISPLAY



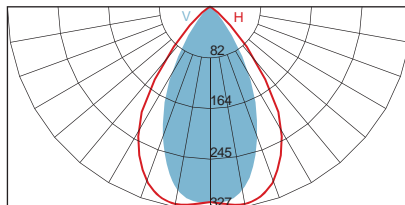
Maximum Candela=964.386 Located At Horizontal Angle=-7, Vertical Angle=0  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-60X30.IES  
AXIAL CANDELA DISPLAY



Maximum Candela=515.806 Located At Horizontal Angle=0, Vertical Angle=0  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

IES FLOOD REPORT  
PHOTOMETRIC FILENAME: AC2-30-90X60.IES  
AXIAL CANDELA DISPLAY



Maximum Candela=327.191 Located At Horizontal Angle=-11, Vertical Angle=-5  
H - Horizontal Axial Candela  
V - Vertical Axial Candela

Notes:

<b>Type:</b> <b>Job:</b> <b>Fixture Catalog number:</b>  _____ / _____ / _____ Fixture    Electrical Module    Finish  _____ See page 2	<b>Fixture Options:</b> <hr/> Ordered Separately from Fixture See pages 3	<b>Approvals:</b>          <b>Date:</b> <b>Page: 1 of 6</b>
	<b>Mounting Options:</b> <hr/> Ordered Separately from Fixture See pages 4-6	

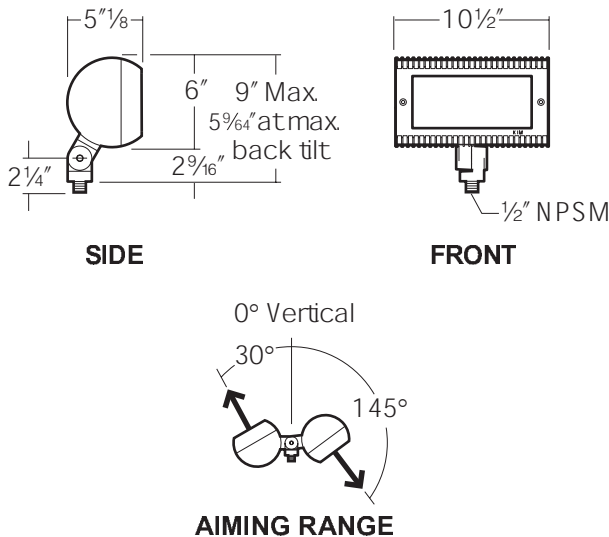
## Specifications

### Dimensions

#### CFL Models

50 to 70 watt H.I.D.  
 Medium Base Lamps  
 13 to 42 watt Compact Fluorescent  
 60 watt Incandescent  
 150 watt Halogen

Maximum weight 13 lb



**Housing:** One piece die-cast low copper aluminum in a cylindrical shape with integral cooling fins over the entire length, and .100" minimum wall thickness. One piece silicone gasket between housing and lens frame.

**Lens Frame:** One piece die-cast low copper aluminum with integral cooling fins, .100" minimum wall thickness, mates with housing to create a continuous cylindrical shape. 5/32" thick clear tempered glass lens is sealed to the lens frame by a one piece stamped silicone gasket. Lens frame secures to housing by two stainless steel recessed captive allen-head screws.

**Swivel:** Die-cast aluminum with integral locking teeth providing 6" adjustment intervals and 1/2" NPSM plus solid brass locknut for mounting. Clear anodized prior to chromate conversion coating for added corrosion resistance.

**Fasteners:** Stainless steel, recessed captive allen-head screws.

**Reflector:** Specular Alzak® aluminum optical components mounted to aluminum frame.

**Socket:** 4KV porcelain medium base (T-10 Incandescent and H.I.D.); T-4 Mni-can (Halogen); 13w GX23-2 2-pin base, 42w GX24q-3 4-pin base (Fluorescent).

**Ballast:** All electrical components are UL and CSA recognized with leads extending out of the swivel splice compartment. Normal power factor ballast rated -32°F starting (13 watt Twin Tube Fluorescent); High power factor ballast rated 0°F starting (42 watt Triple Tube Fluorescent); Reactor - High power factor with starting temperatures of -40°F for HPS and -20°F for MH lamp modes. For MH/120 volt, a step-up transformer is provided. For HPS/277 volt, a step-down transformer is provided (H.I.D.).

**Finish:** Super TGIC thermoset polyester powder coat paint; 25 mil nominal thickness, applied over a chromate conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, Verde Green or White. Custom colors are available and subject to additional charges, minimum quantities and longer lead times. Consult representative.

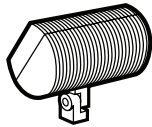
**Certification:** UL Listed to U.S and Canadian safety standards for wet locations. Fixture manufacturer shall employ a quality program that is registered to ISO 9001 standard.

**CAUTION:** Fixtures must be grounded in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury

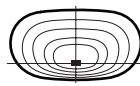
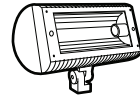

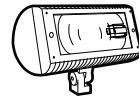
Type:

Job:

Page: 2 of 6



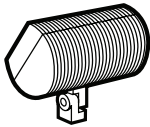
## Standard Features

<p><b>Fixture</b> Cat. No. designates <b>CFL</b> fixture and beam pattern.</p> <p>Single fixture EPA: 0.3 (45° tilt) 0.5 (Face on)</p>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">                 Beam Pattern: Wide Flood              Cat. No.: <input type="checkbox"/> <b>CFL1</b> </div> <div style="text-align: center;">                 Beam Pattern: Narrow Spot              Cat. No.: <input type="checkbox"/> <b>CFL6</b> </div> </div>																																																							
<p><b>Electrical Module</b></p> <p><b>HPS</b> = High Pressure Sodium <b>MH</b> = Metal Halide <b>PL</b> = Compact Fluorescent <b>INC</b> = Incandescent <b>HAL</b> = Halogen</p> <table style="margin-top: 20px; width: 100%; border-collapse: collapse;"> <tr> <td style="border-right: 1px solid black; padding: 2px;">Lamp</td> <td style="padding: 2px;">Watts</td> <td style="border-right: 1px solid black; padding: 2px;">Type</td> <td style="padding: 2px;">Line Volts</td> </tr> <tr> <td style="border-right: 1px solid black; padding: 2px;">50</td> <td style="padding: 2px;">HPS</td> <td style="border-right: 1px solid black; padding: 2px;">277</td> <td style="padding: 2px;"></td> </tr> </table>	Lamp	Watts	Type	Line Volts	50	HPS	277		<p>Cat. Nos. for Electrical Modules available:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-right: 1px solid black;"></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>50HPS120</b> <input type="checkbox"/> <b>50HPS277</b></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>70HPS120</b> <input type="checkbox"/> <b>70HPS277</b></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>50MH120</b> <input type="checkbox"/> <b>50MH277</b></td> <td><input type="checkbox"/> <b>70MH120</b> <input type="checkbox"/> <b>70MH277</b></td> </tr> <tr> <td style="border-right: 1px solid black;">Lamp</td> <td style="border-right: 1px solid black;">E-17, Clear</td> <td style="border-right: 1px solid black;">E-17, Clear</td> <td style="border-right: 1px solid black;">E-17, Clear</td> <td>E-17, Clear</td> </tr> <tr> <td style="border-right: 1px solid black;">Socket</td> <td style="border-right: 1px solid black;">Medium Base</td> <td style="border-right: 1px solid black;">Medium Base</td> <td style="border-right: 1px solid black;">Medium Base</td> <td>Medium Base</td> </tr> <tr> <td style="border-right: 1px solid black;">ANSI Ballast Type</td> <td style="border-right: 1px solid black;">S-68</td> <td style="border-right: 1px solid black;">S-62</td> <td style="border-right: 1px solid black;">M-110</td> <td>M-98</td> </tr> </table> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-right: 1px solid black;"></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>13PL120</b> <input type="checkbox"/> <b>13PL277</b></td> <td></td> </tr> <tr> <td style="border-right: 1px solid black;">Lamp</td> <td style="border-right: 1px solid black;">Twin Tube, Coated</td> <td><b>NOTE:</b> For CFL1 only.</td> </tr> <tr> <td style="border-right: 1px solid black;">Socket</td> <td style="border-right: 1px solid black;">Gx23-2 2-pin Base</td> <td></td> </tr> </table> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-right: 1px solid black;"></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>42PL120</b> <input type="checkbox"/> <b>42PL277</b></td> <td></td> </tr> <tr> <td style="border-right: 1px solid black;">Lamp</td> <td style="border-right: 1px solid black;">Triple Tube, Coated</td> <td><b>NOTE:</b> For CFL1 only. <b>42PL</b> operates 26, 32, and 42 watt lamps at 120 thru 277 volts (50-60 Hz).</td> </tr> <tr> <td style="border-right: 1px solid black;">Socket</td> <td style="border-right: 1px solid black;">Gx24q-3 4-pin Base</td> <td></td> </tr> </table> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-right: 1px solid black;"></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>60INC120</b></td> <td style="border-right: 1px solid black;"><input type="checkbox"/> <b>150HAL120</b></td> </tr> <tr> <td style="border-right: 1px solid black;">Lamp</td> <td style="border-right: 1px solid black;">T-10, Coated</td> <td style="border-right: 1px solid black;">T-4, Clear</td> </tr> <tr> <td style="border-right: 1px solid black;">Socket</td> <td style="border-right: 1px solid black;">Medium Base</td> <td style="border-right: 1px solid black;">Mini-can Base</td> </tr> </table>		<input type="checkbox"/> <b>50HPS120</b> <input type="checkbox"/> <b>50HPS277</b>	<input type="checkbox"/> <b>70HPS120</b> <input type="checkbox"/> <b>70HPS277</b>	<input type="checkbox"/> <b>50MH120</b> <input type="checkbox"/> <b>50MH277</b>	<input type="checkbox"/> <b>70MH120</b> <input type="checkbox"/> <b>70MH277</b>	Lamp	E-17, Clear	E-17, Clear	E-17, Clear	E-17, Clear	Socket	Medium Base	Medium Base	Medium Base	Medium Base	ANSI Ballast Type	S-68	S-62	M-110	M-98		<input type="checkbox"/> <b>13PL120</b> <input type="checkbox"/> <b>13PL277</b>		Lamp	Twin Tube, Coated	<b>NOTE:</b> For CFL1 only.	Socket	Gx23-2 2-pin Base			<input type="checkbox"/> <b>42PL120</b> <input type="checkbox"/> <b>42PL277</b>		Lamp	Triple Tube, Coated	<b>NOTE:</b> For CFL1 only. <b>42PL</b> operates 26, 32, and 42 watt lamps at 120 thru 277 volts (50-60 Hz).	Socket	Gx24q-3 4-pin Base			<input type="checkbox"/> <b>60INC120</b>	<input type="checkbox"/> <b>150HAL120</b>	Lamp	T-10, Coated	T-4, Clear	Socket	Medium Base	Mini-can Base
Lamp	Watts	Type	Line Volts																																																					
50	HPS	277																																																						
	<input type="checkbox"/> <b>50HPS120</b> <input type="checkbox"/> <b>50HPS277</b>	<input type="checkbox"/> <b>70HPS120</b> <input type="checkbox"/> <b>70HPS277</b>	<input type="checkbox"/> <b>50MH120</b> <input type="checkbox"/> <b>50MH277</b>	<input type="checkbox"/> <b>70MH120</b> <input type="checkbox"/> <b>70MH277</b>																																																				
Lamp	E-17, Clear	E-17, Clear	E-17, Clear	E-17, Clear																																																				
Socket	Medium Base	Medium Base	Medium Base	Medium Base																																																				
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Lamp	T-10, Coated	T-4, Clear																																																						
Socket	Medium Base	Mini-can Base																																																						
<p><b>Finish</b> Super TGIC powder coat paint over a chromate conversion coating.</p>	<p>Color:    Black    Dark Bronze    Light Gray    Platinum Silver    White    <sup>1</sup>Custom Color</p> <p>Cat. No.:   <input type="checkbox"/> <b>BL-P</b>   <input type="checkbox"/> <b>DB-P</b>   <input type="checkbox"/> <b>LG-P</b>   <input type="checkbox"/> <b>PS-P</b>   <input type="checkbox"/> <b>WH-P</b>   <input type="checkbox"/> <b>CC-P</b></p> <p><sup>1</sup> Custom colors subject to additional charges, minimum quantities and extended lead times. Consult representative. Custom color description:</p>																																																							

Type:

Job:

Page: 3 of 6



## Fixture Options

Ordered Separately from Fixture

### Barn Doors

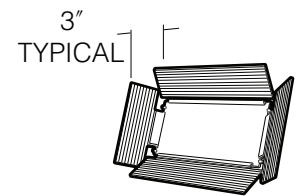
Cat. No. (see right)  
 No Option

Extruded aluminum, fully adjustable doors with anti-reflection baffles. Individually swiveled and secured on a stainless steel frame. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides beam and glare control.

**CAUTION:** Not recommended for ground mounted fixtures in vandal prone areas.

Cat. No.

- BD-CFL/BL-P** Black
- BD-CFL/DB-P** Dark Bronze
- BD-CFL/LG-P** Light Gray
- BD-CFL/PS-P** Platinum Silver
- BD-CFL/WH-P** White



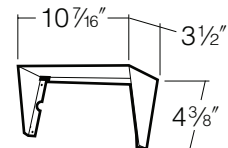
### Fixed Hood

Cat. No. (see right)  
 No Option

Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides moderate shielding for glare control.

Cat. No.

- FH-CFL/BL-P** Black
- FH-CFL/DB-P** Dark Bronze
- FH-CFL/LG-P** Light Gray
- FH-CFL/PS-P** Platinum Silver
- FH-CFL/WH-P** White



### Full Shield

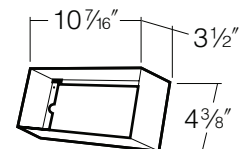
Cat. No. (see right)  
 No Option

Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides moderate shielding for glare control.

**CAUTION:** Do not use in locations where leaves and trash can collect inside shield.

Cat. No.

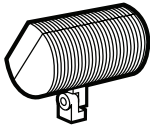
- FS-CFL/BL-P** Black
- FS-CFL/DB-P** Dark Bronze
- FS-CFL/LG-P** Light Gray
- FS-CFL/PS-P** Platinum Silver
- FS-CFL/WH-P** White



Type:

Job:

Page: 4 of 6



## Mounting Options

Ordered Separately from Fixture

### Brass In-Grade Architectural Junction Box

Cat. No. (see right)  
 No Option

Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume.

- JBR-2** (2) 1/2" NPT in bottom
- JBR-3** (2) 3/4" NPT in bottom
- JBR-21** (2) 1/2" NPT in sides, (2) 1/2" NPT in bottom
- JBR-24** (4) 1/2" NPT in sides, (2) 1/2" NPT in bottom

**NOTE:** All side taps provided with plugs.

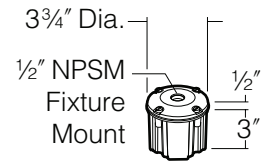
#### 25 Year Limited Warranty:

Solid brass Junction Boxes are warranted for 25 years, from date of sale, against manufacturing defects and failure due to corrosion.

#### Application Notes

- Creates a flush-mounted appearance.
- May be cast in concrete for increased stability.

**CAUTION:** Fixture stem and swivel must not contact soil or standing water. Provide drainage away from Junction Box.



### Brass In-Grade Staked Junction Box

Cat. No. (see right)  
 No Option

Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume.

- JBR30** (2) 1/2" NPT in bottom, (2) 19" long stakes
- JBR32** (2) 1/2" NPT in bottom, 9' (SJTW-A) 3 wire cord and plug.

**NOTE:** **JBR32** for use with incandescent, halogen, and fluorescent fixtures only.

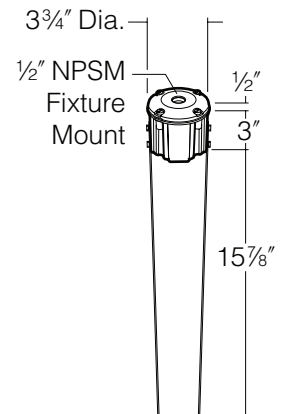
#### 25 Year Limited Warranty:

Solid brass Junction Boxes are warranted for 25 years, from date of sale, against manufacturing defects and failure due to corrosion.

#### Application Notes

- Creates a flush-mounted appearance.
- May be cast in concrete for increased stability.

**CAUTION:** Fixture stem and swivel must not contact soil or standing water. Provide drainage away from Junction Box.



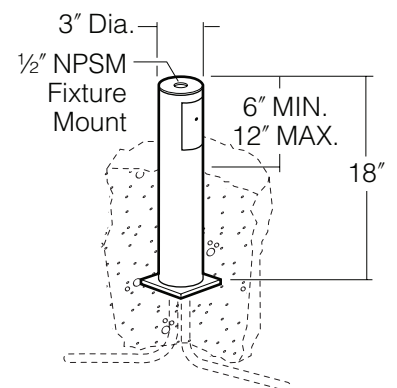
### Stanchion Mount

Cat. No. (see right)  
 No Option

3" O.D. by .188" wall cast low copper aluminum with 1/2" NPSM fixture mount and hand hole with flush cover. Internal set screw fixture lock accessible through hand hole. Internal ground lug supplied with installed lead.

Cat. No.

- SM18/BL-P** Black
- SM18/DB-P** Dark Bronze
- SM18/LG-P** Light Gray
- SM18/PS-P** Platinum Silver
- SM18/WH-P** White

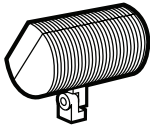




Type:

Job:

Page: 5 of 6



## Mounting Options

Ordered Separately from Fixture

### Surface Mount

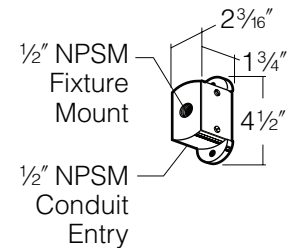
Cat. No. (see right)  
 No Option

Cast low copper aluminum with mounting ears for wood screw attachment to tree or wood structure. 5.5 cu in. splice area with gasketed cover. 1/2" NPSM fixture mount and 1/2" NPSM conduit or cord seal entry.

**NOTE:** Surface mount can be connected to conduit or outdoor cord with a waterproof cord seal (by others).

Cat. No.

- J-27N/BL-P** Black
- J-27N/DB-P** Dark Bronze
- J-27N/LG-P** Light Gray
- J-27N/PS-P** Platinum Silver
- J-27N/WH-P** White



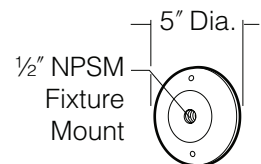
### Architectural Wall Mount

Cat. No. (see right)  
 No Option

Die-cast low copper aluminum with 1/2" NPSM fixture mount. Internal set screw provided for locking position. Canopy attaches to stainless steel wall plate for mounting to any standard electrical outlet box.

Cat. No.

- JW/BL-P** Black
- JW/DB-P** Dark Bronze
- JW/LG-P** Light Gray
- JW/PS-P** Platinum Silver
- JW/WH-P** White

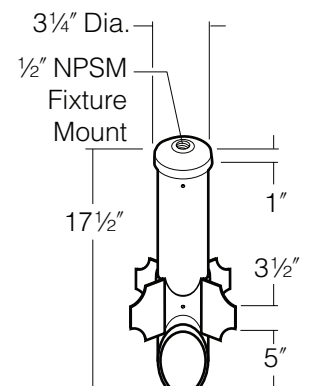


### PowerPost™ by Engineered Products Co.

Cat. No.  **EP17**  
 No Option

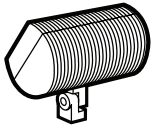
PVC fixture molded in black with 1/2" NPT mount is corrosion free and UV resistant. Replaces EMT, conduit connectors and weatherproof boxes. 100% shatter resistant against denting and cracking. Angled bottom to eliminate cable congestion.

**NOTE:** Should be used with a UL listed fixture and grounding means (i.e., third wire) suitable for use in wet locations.



Type:

Job:



## Mounting Options

Ordered Separately from Fixture

### Architectural Junction Box

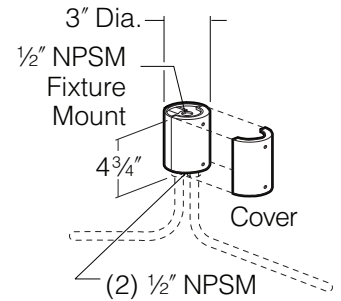
Cat. No. (see right)  
 No Option

Die-cast low copper anodized aluminum cylindrical body and matching cover with 1/2" NPSM fixture mount. One piece molded silicone cover gasket. Captive countersunk cover screws. Internal set screw provided for locking position. Two 1/2" NPSM in bottom, 17 cu in. internal volume.

**CAUTION:** Junction Box must be installed high enough to avoid contact with soil or standing water.

Cat. No.

- JB1/BL-P** Black
- JB1/DB-P** Dark Bronze
- JB1/LG-P** Light Gray
- JB1/PS-P** Platinum Silver
- JB1/WH-P** White

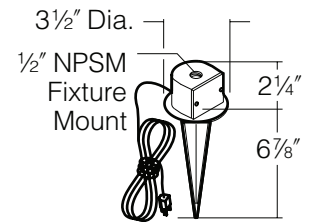


### Portable Spear Mount

Cat. No.  **J-25N**  
 No Option

Cast iron with 1/2" NPSM fixture mount. Hot dip galvanized finish. 5.5 cu in. splice compartment. 9' (SJTW-A) 3 wire cord and plug.

**NOTE:** For use with incandescent, halogen, and fluorescent fixtures only.





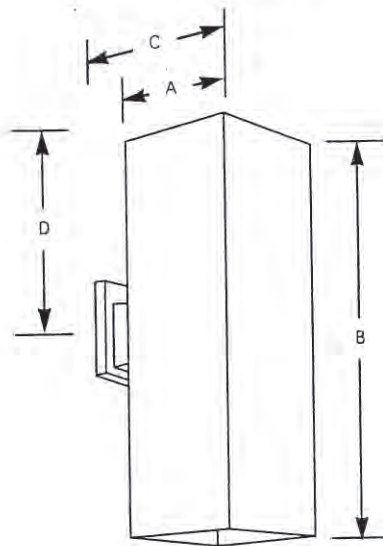
Incandescent

6" Square  
Wall

Outdoor

-20 -30 -31  
P5644

Catalog No.	Finish			Lamping	Dimensions (Inches)			
	Bronze	White	Black		A	B	C	D
P5644	-20	-30	-31	2-250w QPAR38, 150w BR40	6	18	8-7/8	8



**Specifications:**

General

- Extruded aluminum .125" wall thickness one piece square cylinder
- Top open for up down lighting. P8797-31 top cover lens recommended when unit is used outdoors

Mounting

- Wall mounted
- Covers any standard outlet box
- Cast mounting bracket supplied attachment of unit to wall with one almost invisible set screw

Electrical

- Medium base porcelain nickel plated brass screw shell socket

Labeling

- UL-CUL Wet location listed only when P8797-31 top cover is used
- UL-CUL listed for indoor use without cover

Type: EXT1  
Cat.No.: P5644-31  
Lamp(s): (2) 75PAR30/CAP/NFL-130V

Progress Lighting  
Post Office Box 5704  
Spartanburg, South Carolina  
29304-5704

www.progresslighting.com

Rev. 8/99

Panera Bread  
Outdoor Conceptual Review  
2-20-07



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# bay master™ aluminum classic

promotional parasols

The Bay Master series of parasols with marine grade aluminum struts is our most durable promotional parasol collection. Intended for most commercial settings, this parasol features an extremely durable and rigid aluminum strut system. Proven in high traffic areas, ocean-front installations and exposed street-side locations, the Bay Master Classic with Aluminum Struts is guaranteed to endure most types of weather conditions.



TUUCI™



### Features:

- a. Triton Polymer Finial
- b. Silver Delrin™ Hub System
- c. Manual Lift w/ Stainless Steel Security Pin
- d. Reinforced Pocket Construction
- e. Reinforced Strut Joints
- f. Marine Salt™ Anodized Mast
- g. Easily Replaceable Parts

### shapes & sizes



#### hexagon

3' / 1 m  
7'0" / 2.1  
8'2" / 2.5  
10'0" / 3.0  
11'0" / 3.4



#### octagon

4' / 1.2 m  
7'6" / 2.3  
8'10" / 2.5  
10'6" / 3.2  
12'2" / 3.8



#### square

5' / 1.5 m  
10' / 3.0  
12' / 3.7  
15' / 4.6



#### rectangle

6' x 6' / 1.8 x 1.8 m  
8' x 8' / 2.4 x 2.4 m  
10' x 8' / 3.0 x 2.4 m

global headquarters

2003 NW 35th Street, Miami, FL 33142, USA | 305.674.6718 | info@tuuci.com

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Boele van der Heide 10, 3009 JP Ommoord, The Netherlands | +31.73.332.0471 | info@tuuci.eu

www.tuuci.com



GENOA CHARTER TOWNSHIP APPLICATION  
Sketch Plan Review

GENOA TOWNSHIP  
PAID  
APR - 9 2015  
By Cash (initials)

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: NELIGANS OUTDOOR SERVICES  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: \_\_\_\_\_

SITE ADDRESS: 7949 W. GRAND RIVER BRIGHTON 48114  
PARCEL #(s): \_\_\_\_\_

APPLICANT PHONE: (313) 622 7988 OWNER PHONE: ( ) \_\_\_\_\_

LOCATION AND BRIEF DESCRIPTION OF SITE: BRICK BUILDING WITH SEVERAL PARKING SPACES IN FRONT. LARGE GATED AREA IN REAR WITH SMALL GARAGE.

BRIEF STATEMENT OF PROPOSED USE: BRICK PAVEMENT INSIDE DISPLAY SHOWROOM. ADDITION STORAGE NEATLY STACKED WITHIN YARD.

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: 4 ADDITIONS PARKING SPACES, AN OUTDOOR DISPLAY MADE OF PAVERS AND MULCH FOR PERSONAL USE AND POSSIBLY SALES. STORAGE OF PAVEMENT PALLETS INSIDE YARD

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: (Signature)


ADDRESS: 7949 W. GRAND RIVER BRIGHTON 48114

<b>Contact Information</b> - Review Letters and Correspondence shall be forwarded to the following:		
<u>1. Don Nelligan</u>	of <u>NELIGANS OUTDOOR SERV.</u>	at <u>don@neligansoutdoorservices.com</u>
Name	Business Affiliation	Email Address

<b>FEE EXCEEDANCE AGREEMENT</b>	
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: <u>(Signature)</u>	DATE: <u>4-9-15</u>
PRINT NAME: <u>Don Nelligan</u>	PHONE: <u>313 622 7988</u>



**GENOA CHARTER TOWNSHIP  
Special Land Use Application**

GENOA TOWNSHIP  
**PAID**  
APR - 9 2015  
By Cash 

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: NELLIGANS OUTDOOR SERVICES  
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (313) 622-7988 EMAIL: DON@NelligansOutdoorServices.com

OWNER NAME & ADDRESS: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_ PARCEL #(s): \_\_\_\_\_

OWNER PHONE: (\_\_\_\_) \_\_\_\_\_ EMAIL: \_\_\_\_\_

Location and brief description of site and surroundings:

BRICK BUILDING WITH SEVERAL PARKING SPACES IN FRONT.  
LARGE GATED AREA IN REAR

Proposed Use:

BRICK PAVER & LANDSCAPE DESIGN CENTER. ADDITIONAL  
DISPLAY AND STORAGE OUTSIDE FOR MATERIALS.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

AS A RETAIL BUSINESS WE WILL OFFER ASSISTANCE  
TO HOMEOWNERS WITH REGARDS TO DESIGNING LANDSCAPE  
PROJECTS TO CUSTOM FIT THEIR NEEDS.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

THE OUTSIDE STORAGE WILL CONSIST OF NEATLY STACKED  
BRICK PAVER PALETS - NO MORE THAN 2 HIGH - AND MULCH PILES  
NEATLY STORED ON CEMENT PAD. BUILDINGS WILL REMAIN UNTOUCHED.

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

SIMILAR TO EXISTING PROPERTIES + BUSINESSES

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

NONE AT ALL

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

OPEN AIR BUSINESS - OUTDOOR DISPLAY AND STORAGE OF BRICK PAVER MATERIALS

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Don Nelligan STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: [Signature]

ADDRESS: 7549 GRAND RIVER BRIGHTON 48114

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Don Nelligan of Nelligans Outdoor Serv. at Don@NelligansOutdoorServices.ca  
Name Business Affiliation Email

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 4-9-15

PRINT NAME: Don Nelligan PHONE: 313 622 7988



April 24, 2015

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
<b>Subject:</b>	Nelligan's Outdoor Services – Special Land Use and Sketch Plan Review #1
<b>Location:</b>	7949 Grand River Avenue – just north of the intersection of Grand River Avenue and Hacker Road
<b>Zoning:</b>	GCD General Commercial District

Dear Commissioners:

As requested, we have reviewed the sketch plan (which is a hand-marked version of a site plan most recently dated 2/14/12) proposing additional parking, a new sign and outdoor storage and display areas for the developed site at 7949 Grand River Avenue. Specifically, the applicant seeks special land use and sketch plan review/approval for the proposed project.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and provide the following comments for your consideration.

**A. Summary**

1. The request for a new special land use on a developed property provides the Township with an opportunity to seek improvement to any existing site design deficiencies. With that being said, the site has previously been occupied by a similar use, the scope of the project is relatively limited, and there are a number of existing conditions that make full compliance difficult, at best.
2. Additional information and details are needed to ensure the general special land use standards. This generally revolves around the need to demonstrate compliance with the specific use requirements of Section 7.02.02(d).
3. The buffer zone and setback requirements of Section 7.02.02(d) are not met.
4. One of the proposed parking spaces may be difficult to exit.
5. The applicant needs to confirm that the sidewalk shown on the plan has been constructed.
6. If the site could function properly with only use of the Grand River access, consideration should be given to removing the 2<sup>nd</sup> drive.
7. The Commission may wish to require further details of existing site features and require improvements to deficiencies as deemed necessary.
8. The plan identifies a proposed sign; however, no details are provided.

**B. Proposal/Process**

The applicant requests special land use and sketch plan review/approval for a new project on a developed site. The submittal identifies 4 new parking spaces in front of the building, a new sign in the Hacker Road front yard, a new mulch storage area in the Hacker Road front yard and a new patio/display area in the Grand River front yard.

Table 7.02 of the Township Zoning Ordinance lists outdoor commercial display, sales or storage as a special land use in the GCD. Given the limited scope of the project, it is eligible for sketch plan review (as opposed to full site plan review) in accordance with Article 18 of the Township Zoning Ordinance.



*Aerial view of site and surroundings (looking north)*

### C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Township Master Plan and Future Land Use map identify the site as General Commercial, which is intended “to serve the requirements of the community at large... and pass-by traffic along Grand River Avenue.” The location and nature of the site as a developed commercial property are generally consistent with this category.
2. **Compatibility.** Based on the submittal, it is our understanding that the site was previously used for boat sales, which likely included outdoor storage/display. It is unclear whether Nelligan’s is a current or proposed user of the property, although the landscape supply business could reasonably be viewed as similar to the prior use.

Surrounding uses to the west, north, and south are developed with, zoned and planned for commercial uses. Properties to the east are within Brighton Township, but are zoned for and developed with single-family residences.

The submittal does not include detail sufficient to verify compliance with the use requirements of Section 7.02.02(d), which are intended to protect surrounding land uses from any potential impacts of outdoor sales, display and/or storage activities. A finding under this criterion should not be made until compliance is demonstrated.

3. **Public Facilities and Services.** Given the site’s location and the nature of the proposed use, we do not anticipate issues with the capacity of public facilities and services. However, we defer to the Township Engineer and Fire Department for any specific comments/concerns they may have.
4. **Impacts.** As a previously developed site, adverse impacts upon the natural environment are not anticipated.
5. **Mitigation.** The Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposed project.

#### **D. Use Requirements**

Section 07.02.02(d) identifies the specific requirements for commercial outdoor display sales or storage as follows:

**1. Minimum lot area shall be one (1) acre.**

The submittal does not identify the size of the property. Based on the dimensions shown on the plan, the full site contains just over 1 acre; however, this appears to include right-of-way area(s). The applicant needs to identify the lot area.

**2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.**

The plan shows 3 mulch piles to be stored on an existing concrete slab in the Hacker Road front yard. This area backs up to the existing brick screen wall along the east side of the property and a note states that the 3 piles will be separated by "cement bin blocks," though no details are provided.

Additionally, there is no indication that this area will be covered and/or fully contained. The applicant must provide additional details and/or a description of how these materials will be contained.

**3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

A note on the original plan states that the land east of the building is a gravel storage area. The Impact Assessment states that dust control measures will be implemented as needed.

We defer to the Township Engineer for any technical comments; however, it appears that the site has been maintained with gravel for an extended period of time and we are unaware of any issues resulting from this condition.

**4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the commercial outdoor display, sales or storage use is located. Any approved outdoor sales or display within a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.**

The plan identifies property lines to the centerline of each road frontage. Based upon our best guess as to the actual front lot lines, neither the mulch storage nor the patio/display area meet the required front yard setback from Hacker and Grand River, respectively. Additionally, the patio/display area does not meet the minimum side yard setback from the northerly side lot line. This standard is not met.

**5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

Per the Impact Assessment, the existing building contains 1,120 square feet. This standard is met.

**6. All loading and truck maneuvering shall be accommodated on-site.**

The site has existing vehicular access from both Grand River and Hacker. We anticipate that larger delivery trucks would utilize the Hacker Road driveway to gain direct access to the storage area; however, the applicant should provide a description of delivery types and demonstrate that this standard will be met.

**7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

There is an existing brick screen wall surrounding much of the outdoor storage area; however, its height is not identified. Additionally, much of the northerly side contains an existing chain link fence. Lastly, the plan shows 6 existing trees along Hacker Road, but no other landscaping is apparent.

Given the depth, screening and landscaping requirements, a Buffer Zone B is not fully provided. The Commission may allow the existing brick screen wall in lieu of the Buffer Zone B; however, the applicant must demonstrate that it is 6-foot tall. Additionally, consideration needs to be given to replacing the chain link fence with a screen wall/fence.

**8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the GENOA TOWNSHIP ZONING ORDINANCE Commercial Districts 7-8 adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district, will not be visible from an expressway and such storage is confined to within twenty (20) feet of the building.**

There is no indication as to the height of the screening or the materials to be stored. The applicant must provide this information to verify compliance.

**E. Sketch Plan Review**

- 1. Dimensional Requirements.** As noted above, the outdoor storage and display areas do not comply with the front or side yard setback requirements of the GCD.
- 2. Building Materials and Design.** No changes are proposed to the existing building.
- 3. Parking.** The proposal includes 4 new parking spaces in the Grand River front yard. The parking spaces themselves appear to comply with the required setback, although the drive aisle does not.

The proposed spaces meet the dimensional standards of Section 14.06.04, although the applicant should be aware that spaces are required to be looped (or double striped). Additionally, the southernmost parking space may be difficult to exit given the angled side lot line and presence of a screen wall. The applicant should demonstrate that this space can function properly without harming vehicles or the screen wall.

- 4. Pedestrian Circulation.** The site plan identifies an existing sidewalk along Grand River Avenue, although it not present in the aerial photo on Page 2 above. The applicant needs to confirm that the sidewalk is in place.



- 5. Vehicular Circulation.** The site currently has one driveway on Grand River Avenue and one on Hacker Drive. The plan does not identify any changes to the existing vehicular circulation pattern as part of this project. The Grand River drive is identified as asphalt. The Hacker drive appears to be gravel. The driveway should be hard-surfaced with asphalt or concrete per Section 14.06.01. Furthermore, the need for the Hacker Road driveway is unclear. If the site could function properly with only use of the Grand River access, consideration should be given to removing the 2<sup>nd</sup> drive.
- 6. Landscaping.** The plan identifies existing landscaping. The table below notes greenbelt planting requirements; however, the remaining landscape standards are addressed under the Use Requirements section of this review letter.

Location	Requirements	Existing	Comments
Front yard greenbelt (Grand River)	3 canopy trees 20' width	3 canopy trees 10-15' width	Plantings provided; width is an existing condition
Front yard greenbelt (Hacker)	6 canopy trees 20' width	6 canopy trees 25' width	Requirements met

- 7. Exterior Lighting.** The plan does not identify details of existing exterior site lighting. If existing light fixtures are not up to current Ordinance standards, the Commission may wish to require improvements as part of this project.
- 8. Waste Receptacles.** The plan identifies one existing receptacle/enclosure along the south side of the site, although no details are provided. If the existing receptacles/enclosures are not up to current standards, the Commission may wish to require improvements as part of this project.
- 9. Signage.** The submittal identifies a new sign in the Hacker Road front yard; however, no details are provided. If new signage is proposed, the applicant should provide details for the Commission's consideration.
- 10. Impact Assessment.** The submittal includes a brief Impact Assessment (dated April 9, 2015). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.
- 11. Additional Considerations.** As is often noted, the request for a new special land use on a developed site provides the Township and applicant with an opportunity to improve established site design deficiencies. In this particular instance, there are some existing conditions that make full compliance difficult – established lot shape/size, presence of a large brick screen wall and previously-used gravel outdoor storage area.

The extent of any improvements to be required should be in keeping with the nature/character of the project. Given the relatively limited scope of the proposal, in conjunction with existing site limitations, we do not believe full compliance is necessarily warranted/achievable in this instance.

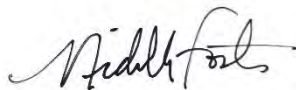
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at [borden@lslplanning.com](mailto:borden@lslplanning.com) and [foster@lslplanning.com](mailto:foster@lslplanning.com).

Sincerely,

**LSL PLANNING, INC.**



Brian V. Borden, AICP  
Principal Planner



Michelle Foster  
Project Planner



April 22, 2015

Ms. Kelly Van Marter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Nelligan's Outdoor Services - Site Plan Review**

Dear Ms. Van Marter:

We have reviewed the site plan submittal from Nelligan's Outdoor Services, dated April 9, 2015. The petitioner is proposing to establish a brick paver sales and design center at the former Hide-Away Boat Sales property, located at 7949 W. Grand River Avenue. There are no planned changes to the site grading, drainage or sewer and water service for this property. Tetra Tech has reviewed the documents and offers the following comments for consideration by the planning commission:

**SUMMARY**

1. All existing public and private utilities must be shown on the site plan.


**SITE PLAN**

1. The petitioner submitted a hand-marked site plan from the previous development at this address, Hide-Away Boat Sales. While there isn't much to depict in the way of actual site improvements, the petitioner must at least clearly show the locations of the public sewer adjacent to the site so any potential impacts can be evaluated. The petitioner should also review the site plan requirements to make sure that any resubmitted site plan drawings and documents include all of the mandatory information on the drawings.


Once the information has been included on the site plan we will confirm that there is no impact to the existing public and private utilities on or near the site or drainage patterns due to the proposed construction. The petitioner should revise and resubmit the site plan to address the above comment prior to approval.

Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.  
Unit Vice President



Joseph C. Siwek, P.E.  
Project Engineer

Copy: Don Nelligan



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

---

April 16, 2015

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Nelligan's Outdoor Services  
7949 W. Grand River  
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 15, 2015 and the drawings are not dated. The project is based on an existing 1200 square foot building. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

Based on the information provided the Brighton Area Fire Department has no objections to the proposed site plan.

Cordially,

A handwritten signature in black ink that reads "D Bunge".

Derrick Bunge  
Lieutenant - Fire Inspector



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

April 9, 2015

To Whom It May Concern:

There will be a public hearing on Monday, April 27 at 6:30 p.m. at Genoa Township Hall, located at 2911 Dorr Road, Brighton, Michigan, for a Special Land Use Permit in your general vicinity.

The property in question is located at 7949 W. Grand River, Brighton, being Parcel No. 4711-13-400-025. The Special Use is requested for proposed outdoor storage, sales and display, including mulch, landscape supplies, and brick pavers. The request is petitioned by Nelligan's Outdoor Services.

You are invited to attend this hearing. If you are unable to attend, written comments may be submitted by writing to the Planning Commission at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org) up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Township Hall during normal business hours.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) day notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Kelly VanMarter  
Assistant Township Manager / Community Development Director  
KKV/kp

**SUPERVISOR**  
Gary T. McCrie

**CLERK**  
Paulette A. Skolarus

**TREASURER**  
Robin L. Hunt

**MANAGER**  
Michael C. Archinal

**TRUSTEES**  
H. James Mortensen  
Jean W. Ledford  
Todd W. Smith  
Linda Rowell

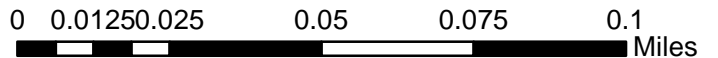


# 300' Buffer for Noticing

Blue outline identifies affected parcel.  
Red outline indicates area within 300 feet of affected parcel.



Planning Commission Case #15-12  
Applicant: Nelligans Outdoor Services  
Address: 7949 W. Grand River  
Parcels: 4711-13-400-025  
Meeting Date: April 27, 2013



OWNER OR OCCUPANT  
1 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
2 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
3 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
4 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
5 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
6 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
7 BLUEGILL  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
8 BLUEGILL  
BRIGHTON MI 48114

LON SEXTON  
11025 ROBERTS RD  
STOCKBRIDGE MI 49285

DIVERSIFIED GLASS SERVICES INC  
21401 WIDGEON TERRACE  
FORT MYERS FL 33931

MONTGOMERY CELESTE LIVING TRUST  
8804 MARIA CT.  
HOWELL MI 48855

BRIGHTON LAND LLC  
5000 E. GRAND RIVER  
HOWELL MI 48843

LIVINGSTON REAL PROPERTIES  
PO BOX 1168  
BRIGHTON MI 48116

PATRICE STARKWEATHER  
RICHARD MORSE  
2831 STANWOOD PL  
BRIGHTON MI 48114

DJM OFFICE PARK LLC  
DON MCCLUSKEY  
419 FIELDSTONE DR  
VENICE FL 34292

DJM OFFICE PARK LLC  
DON MCCLUSKEY  
419 FIELDSTONE DR  
VENICE FL 34292

OWNER OR OCCUPANT  
7982 W. GRAND RIVER  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
7991 W. GRAND RIVER  
BRIGHTON MI 48116

OWNER OR OCCUPANT  
7979 W. GRAND RIVER  
BRIGHTON MI 48116

OWNER OR OCCUPANT  
7949 W. GRAND RIVER  
BRIGHTON MI 48116

OWNER OR OCCUPANT  
7885 W. GRAND RIVER  
BRIGHTON MI 48116

OWNER OR OCCUPANT  
7960 W. GRAND RIVER  
BRIGHTON MI 48114

OWNER OR OCCUPANT  
7900 W. GRAND RIVER  
BRIGHTON MI 48116

GREG SONNANSTINE  
7993 GRAND RIVER  
BRIGHTON MI 48114

JEAN WIGGINS  
2867 HACKER RD  
BRIGHTON MI 48114

JASON & LAURA HUCK  
2873 HACKER RD  
BRIGHTON MI 48114

CHAD & LINDA KAY TURNBLOM  
2879 HACKER RD  
BRIGHTON MI 48114

BARRY & SHIRLEY FREEMAN  
6592 COWELL RD  
BRIGHTON MI 48116

STEPHANIE SCHULER  
BONNIE BARNES  
2891 HACKER RD  
BRIGHTON MI 48114

ERIC EYESTONE  
8043 WOODLAND SHORE DR  
BRIGHTON MI 48114

PETREA WILLARD  
8049 WOODLAND SHORE DR  
BRIGHTON MI 48114

OWNER OF OCCUPANT  
2885 HACKER RD  
BRIGHTON MI 48114

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
NOTICE OF PUBLIC HEARING  
MONDAY, APRIL 27, 2015  
6:30 P.M.**

**PLEASE TAKE NOTICE** that the Planning Commission of Genoa Charter Township will conduct a public hearing on Monday, April 27, 2015, commencing at 6:30 p.m. at the Genoa Charter Township Hall, 2911 Dorr Road, Brighton, Michigan, as required under the provisions of the Michigan Zoning Enabling Act.

**PLEASE TAKE FURTHER NOTICE** that the items to be considered at said public hearing include, in brief, the following:

**OPEN PUBLIC HEARING #1...** Review of a special use, sketch plan, and environmental impact assessment for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene. The property in question is located at 7669 Brighton Road, Brighton, Michigan, being Parcel No. 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

**OPEN PUBLIC HEARING #2...** Review of a special use, sketch plan, and environmental impact assessment for proposed outdoor storage, sales and display, including mulch, landscape supplies, and brick pavers. The property in question is located at 7949 W. Grand River, Brighton, being Parcel No. 4711-13-400-025. The request is petitioned by Nelligan's Outdoor Services.

You are invited to attend this hearing. If you are unable to attend, written comments may be submitted by writing to the Planning Commission at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org) up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Township Hall during normal business hours.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Signed:

**KELLY VANMARTER  
ASSISTANT TOWNSHIP MANAGER/COMMUNITY  
DEVELOPMENT DIRECTOR**

(04-10-2015 DAILY 236548)



April 9, 2015

Ms. Kelly VanMarter, AICP  
Planning Director  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**RE: Impact Assessment**

Nelligan's Outdoor Services  
7949 W. Grand River Ave.  
Genoa Twp., Michigan

**a. Name and address of person responsible for preparation**

Nelligan's Outdoor Services  
7949 W. Grand River Ave.

**b. Maps and written description/analysis of the project site.**

Most of the existing site features will be used "as-is". A portion of the brick paver area in front of the 40' x 28' brick sales office will be used for parking and an outdoor paver patio display. The existing brick walls and chain link fences will remain. The 20' gate will remain open during normal business hours. Patrons will be able to park in the storage yard if necessary. The existing concrete apron will remain. In the gravel yard, the 20' x 54' concrete slab and the existing 12' x 17' shed will remain. The existing gate on Hacker Road will also remain. The existing monument sign will be reused. A separate signage permit will be obtained per township guidelines prior to reuse.

**c. Impact on natural features**

The grass area on the northwest part of the site will become a stone berm approximately 2' high to display paver patio display. The existing planters will be cleaned and new annuals may be added. The 20' stretch of gravel along the north side of the site will be removed and a grass buffer will be installed. The existing gravel areas will be cleaned and regraded. Dust control measures will be implemented as necessary and carried out in a timely manner.

**d. Impact on stormwater management.**

Current drainage patterns are established and to remain.

**e. Impact on surrounding land use.**

Site will be used to sell brick pavers and landscape materials. Currently there are commercial businesses to the north and south of the property, office/research to the west, and the residential use to the east. Proposed use is consistent with previous and potential development patterns currently in place. There will be no anticipated increase in light, noise or air pollution generated.

Ms. VanMarter

April 9, 2015

Page 2 of 2

f. **Impact on public facilities.**

Hours of operation will be approximately 8 a.m. to 6 p.m. a week and 10 a.m. to 4 p.m. on Saturday and Sunday. There will be an estimated 4 employees during the busiest times and an estimated maximum of 25 customers per day. No further impact on any public facility is anticipated.

g. **Impact on public utilities**

Building uses an existing well for fresh water and existing sanitary sewers for waste water. No changes to these systems are anticipated. Drainage control has been established and is to remain. The majority of the site is grass, gravel, and stone pavers (all permeable surfaces) and is to remain. No new impact to these facilities is anticipated.

f. **Storage and handling of any hazardous materials.**

No hazardous materials will be placed on the site at any time. Daily trash will be removed and placed in small dumpster to be removed at a predetermined interval by a waste management company.

i. **Impact on traffic and pedestrians.**

Display areas will be placed on existing hard surface areas described on the drawings.

Required parking areas have been established on the plan to conform to local ordinances.

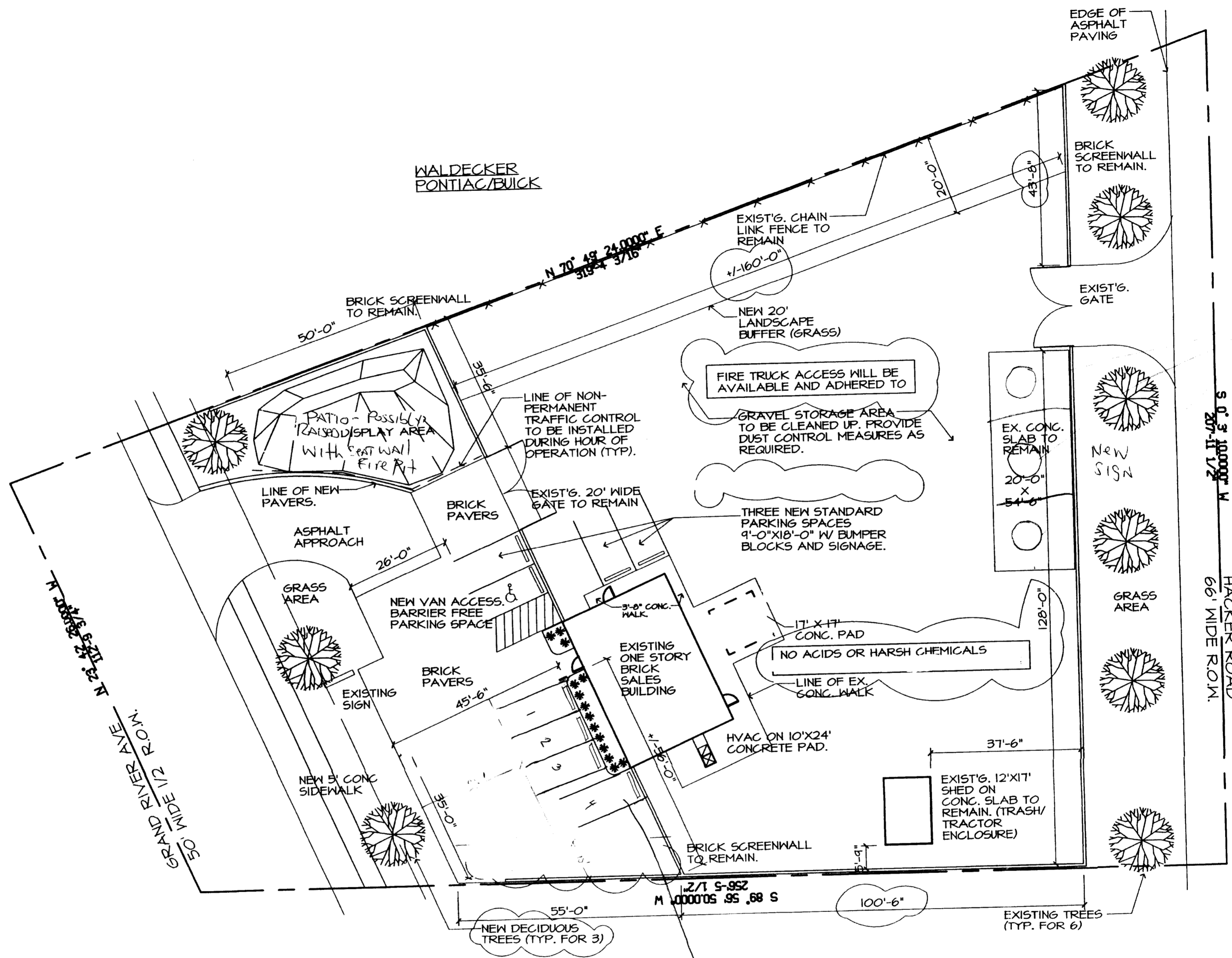
Parking signage will be placed to assist motorist. Four parking spaces and 1 barrier-free space have been added to the plan. During hours of operation, additional parking can be provided on the gravel surface in storage area. The gates will remain open during business hours. Employee and customer traffic will be allowed to enter from Hacker Road. Deliveries will be instructed to use the Hacker Road entrance so as not to cause any issues on Grand River Avenue.

j. **Special provisions:** not applicable

If you have any questions, please don't hesitate to call me (313) 622-7988.

Sincerely,

Don Nelligan



3 mulch piles separated by cement bin blocks

RESIDENTIAL

Add 4 9'x18' parking spaces



# SITE PLAN

SCALE: 1" = 20'

GENOA TOWNSHIP  
APR 09 2005



GENOA CHARTER TOWNSHIP APPLICATION  
Sketch Plan Review

GENOA TOWNSHIP  
MAR 18 2015

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

Church

Representative  
APPLICANT NAME & ADDRESS: Steve Morgan 586-942-9751  
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Brighton Nazarene Church

SITE ADDRESS: 7669 Brighton Rd, Brighton, Mi. 48116 PARCEL #(s):

APPLICANT PHONE: ( ) OWNER PHONE: 810 229-4600

LOCATION AND BRIEF DESCRIPTION OF SITE: Existing Brighton Nazarene Church facility - open Church Building w/ asphalt parking lot. - fully treed screening on West-East-North property lines.

BRIEF STATEMENT OF PROPOSED USE: A Christian Day School will use existing facility

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: \*non-proposed\*  
- The approved "Site Plan" dated 5-31-13 is provided without change - to represent this "Sketch Plan"

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Brighton Nazarene Church  
ADDRESS: 7669 Brighton Road, Brighton Mi. 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:  
1.) Steve Morgan of Church Member at smorgan4832@gmail.com  
Name 586-1942-9751 Business Affiliation Email/Address

FEE EXCEEDANCE AGREEMENT  
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.  
SIGNATURE: Pastor Ben Walls DATE: 3/17/15  
PRINT NAME: PASTOR BEN WALLS PHONE: 810-599-0941



GENOA CHARTER TOWNSHIP

Special Land Use Application

Amendment to Existing

GENOA TOWNSHIP

MAR 18 2015

Special Use Permit for

Brighton Nazarene Church

This application must be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Brighton Nazarene Church, 7669 Brighton Rd. Brighton, MI 48116

APPLICANT PHONE: 810 229-6600 EMAIL:

OWNER NAME & ADDRESS: Same

SITE ADDRESS: Same PARCEL #(s): 11-25-400-058

OWNER PHONE: ( ) Same EMAIL: 7679 Brighton Rd

Location and brief description of site and surroundings:

N/S Brighton Rd. between Jehovah's Witness church (West) & Worden Lake Woods Subdivision (East) 360 FT. West of Traffic Light @ Westerly Entrance to Brighton High School.

Proposed Use: Livingston Christian Day School. Monday-Friday 8:00 AM - 3:00 PM

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

Zoning is SR (Suburban Residential) Most Schools & Churches are sited in Residential zoning to accommodate residents. (requires Special Use Permit - Sec. 3.03.02(L)). Churches and Schools are allowed, by Ordinance, in Genoa Township.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The School will not require any "change" to the existing Church facility - nor will any change to the vicinity be made. (see "Impact Assessment" for traffic data to site.)

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

(see "Impact Assessment - Amendment") Item F. & Item G.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

see "Impact Assessment - Amendment"  
Item E

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

3.03.02 - Brighton Road is a "hard-surface" Road  
7.02.02 & 8.02.02 - none known

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

- Brighton Nazarene Church

THE UNDERSIGNED Pastor Ben Walls STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Brighton Nazarene Church

ADDRESS: 7669 Brighton Road, Brighton, MI 48116

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Steve Morgan of Church at Smorgan4432@gmail.com  
Name Business Affiliation Email  
586-942-9751 member gmail.com

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Pastor Ben Walls DATE: 3/19/15

PRINT NAME: Pastor BEN WALLS PHONE: 810-599-0941

April 13, 2015

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

Re: The request by the Brighton Nazarene Church, 7669 Brighton Road for a Special Land Use Permit for a K-12 Livingston Christian School located within the Brighton Church of the Nazarene.

Dear Commission:

I just received the latest mailing on this, which includes an invitation to submit written comments, and I've decided to do that.

This is much the same as a request from them in 2013, and I sent a written response to that one indicating my concerns at that time. They remain and are stronger this time because they were ignored, demonstrating what the Church has demonstrated all along, a complete lack of concern for others and even for the safety of their own children. The impression they give is that all they are concerned with is glorifying themselves. I don't know how conscious they are of this, but if they want to be the good-hearted, caring church they are trying to project, then they need to get outside of themselves and be more honest about what they're doing.

Their church is not built in a place conducive to the expansions they want, and they are not willing to take the necessary actions to compensate for this.

I suspect you know a bit about the history and ongoing conflict between the church and the surrounding properties, especially the Worden Lake Woods Homeowners Association located across the street, and I don't wish to take up your time with a detailed review of it. Nevertheless, I do want to offer a few highlights that I know about and, if nothing else, give you my thoughts and concerns.

I live right across from the church. When I purchased my house in 2004, the dispute had been ongoing for at least four years, and I got a few scattered comments about the situation, but others who were here during that time can and I believe have fleshed out that time better than I am in position to do. Briefly, I was told there was an agreement where the church was expected to maintain two rows of fir trees on the small bank of land that divided them from the association and the association was expected to maintain the grass growing down the bank to the street. However, those two rows of fir trees were and remain barely one row. So that has caused contention. More on this later.

Also, I was told that the church youth center meant that a number of children of various ages were often doing things in the parking lot, in the row of trees along the street, often onto the street, and at times even across the street onto our property (occasionally doing some damage) Furthermore, these children (mostly these teenagers) were often making a lot of noise, especially

annoying in the middle of the night. Other concerns were expressed, but I think it a waste of your time to continue, as, again, others can and have expressed these with more knowledge than I can bring to the discussion.

Once I moved in, this is what I found. It is very common for people, especially teenagers to be doing things in the parking lot at any time during the day, evening, and most annoying, the night.

When I first moved in, it worried me, especially at night, because I would see the shadowed figures of two or three or more sitting or standing in the row of trees directly across from my house, looking straight at me (usually but not always teens). Believe me, it was strange, as if I were being watched (in truth, I was, intentional or not). It was common for them to be smoking (don't know if it was cigarettes, pot, or what, though I have found injection needles that at least might be for harder drugs discarded on the bank and even on my lawn through the years, so someone is shooting up something).

It is also not at all uncommon to experience loud noises from the parking lot. Sometimes it's the result of an activity going on at the church, something I can live with on occasion, though I wish they would not hold outdoor events there, as happens throughout the summer, usually on a Saturday or Sunday. What is more bothersome is the noise during the middle of the night when young adults are racing their car engines (why I have no idea, though I suppose that's what teens do), turning up their radios or doing other things that literally wake me up from my sleep. The Church has said at times that it has stopped these activities and has adults on the premises to make sure they no longer happen. Not true. There has been no change.

A more serious concern is that children of various ages (and some are very young) occasionally come running down the small bank, emerging suddenly from the trees and out onto the street. Sometimes they come down on bicycles and even skateboards. This is a serious danger. If something is not done to prevent this, there will be a child run over by an automobile. I'm not saying maybe here. I'm saying it will happen. The only question is when. I am not looking forward to the day I have to say I told you so. (And believe me, I will contact Argus and other newspapers with copies of these letters when it happens, so be ready to defend your decisions.)

Others in the association have mentioned problems with trespassing, but I have not knowingly had those, though I do get annoyed when members of the church park on the street and leave behind one kind of garbage or another. As I understand it, they are told not to park there, but it does happen, and I've picked up more than one church publication blown over from their parking lot.

So now, after years of problems with the church as it is, it wants to push the envelope even more. This most certainly increases the friction and dangers. I am not at all against whatever good-hearted intentions the church has for all of its youth activities, but it is not being good-hearted if it assumes those of us living near it should be willing to suffer because it already has outgrown its location and now wants to outgrow it even more. If something isn't put in place to placate those living near the church property, we're heading for a mess. And, by the way, I'm an easy-going person not at all prone to complaining, so imagine what others are thinking.



Here is a good beginning solution (certainly would make me feel better). Put up a wood, a brick or some other kind of ten foot solid fence down the side of the parking lot to the road between the church and the association. Whatever the cost, it can't be near the kind of money getting spent on this latest construction. In other words, the church can afford it. This probably won't solve all of the problems, but it will go a long way to making me and I assume the rest of the association happy. Another row of fir trees, while two rows block off things better than one, will not solve the problems and might even cause more by providing better privacy for those looking for a place to do whatever. Some kind of wire or see through fence is a pretend solution and will not end the problems. It needs to be done right.

This does not solve all of the problems. For example, there are serious traffic jams whenever the church has services or other events. Nevertheless, it would be a beginning to establishing co-operation with the Church and the neighborhood that surrounds it.

I emphasize these are my views. They do represent the rest of the association well in terms of the general situation, though each of the members will offer his or her own spin on the situation.

Take care,  
Harry Eiss

**From:** [Laura Martin](#)  
**To:** [Kathryn Poppy](#)  
**Subject:** Naz Church K-12  
**Date:** Thursday, April 16, 2015 9:59:52 AM

---

Kathryn,

I am a homeowner right next to the Naz Church and I have many concerns regarding the school that they plan on having in the fall.

First of all not long ago coming home from work a child ran out from the bushes which is supposed to divide the church and my street, Aljoann. I barely missed him as he did not see me and I did not see him. There MUST be a wall there to protect this from happening again.

Also with all the extra traffic that will be coming in and out of the church we will need to put some kind of traffic light there. With the high school there it is already difficult getting out of my subdivision and a having another school there will make a dangerous situation worse.

The roads are horribly torn up in that area and again with the extra traffic will make it even worse. With the closure of the ramp on Spencer road, traffic in our area has become extremely heavy and unsafe. Adding kids crossing the street and additional cars in and out of the church will make for again a dangerous situation.

I foresee this school as a nightmare for the community and the homeowners in and around the area.

Please look into this COMPLETELY before we proceed on allowing this school to move forward.

Best,

Laura Martin  
4931 Aljoann  
Brighton, Mich. 48116



**From:** [Jay Johnston](#)  
**To:** [Kathryn Poppy](#)  
**Cc:** [Jay Johnston](#)  
**Subject:** Nazarene church school plan  
**Date:** Thursday, April 16, 2015 9:19:15 AM

---

I live at 4931 Aljoann rd and would like to give my input for the planned Naz Church Land Use request. There are several points as a neighbor that should be considered before approval.

1. The church has not completed the updates that were supposed to happen after the 2013 expansion plan. I don't believe they feel compelled to do what was agreed to. Specifically, there have been no parking island to prevent the car racing.

The use of the parking lot for commercial purpose does not seem appropriate for this zoning. There are still drivers testing, motorcycle testing and CDL testing occurring. Just last weekend to be specific. The lot is still a hangout spot for kids late at night so there has not been an improvement to their security patrol. The improvements were supposed to be a part of the 2013 plan, not yet accomplished.

There has been no repair, improvement or attempt to limit foot traffic between their parking lot and our road. Mr Morgan claims it will be completed within 90 days. It was supposed to be completed after the 2013 study. Shrubs are not enough. My fiancé almost hit a child that ran through the shrub line. Neither the child or my fiancé had a chance to see each other due to the shrubs. Parishioners walk on our street and smoke during service hours on Sunday, again, just this past week. There now needs to be a more significant barrier since there will be an increased chance of safety issues with a school being in place at this location. Kids will be kids and we as neighbors should not be put in harms way (hurting someone who comes through the shrubs). There will be evening sports events during the winter when visibility is low. I suggest a privacy wall to be built on their side of the shrubs. At least 6-8 feet to keep the noise and lights blocked as well as limiting the chances of people climbing over the wall.

2. Mr Morgan misstates the vehicle traffic changes. On his Mar 16, 2015 Amendment he states 50 cars using the parking facility and only 125 ingress/egress. That may be true for the number parked but there could be as many as 175 (25 staff and 150 students, assuming there is no growth) cars in and out twice a day as well as when there are school events. This, despite trying to deconflict timing with the Brighton high school and Maltby schedule, will be an issue for every township resident who lives along main street. The last traffic study was done in 2010. There have been many new residents (you know the numbers better than I) added to the Brighton Road area in the last 5 years. Pine creek growth and student population at the Brighton High School to be two. The reopening of the church (now Northridge) has added to the Sunday traffic level also. There is a shuttle running from the High school to that church already due to the increased traffic flow. The traffic flow as well as additional wear and tear on the road needs to be considered. This is a non-profit that does not help the tax base, thus no funds to the township for road repair. If you drive this road with an additional 175 cars there will be more wear and tear. The safety of pedestrians along this stretch of road will be greatly impacted with additional traffic now turning into the North side of the road. An additional stoplight/crosswalk or traffic circle may be needed. There needs to be an updated study. 5 year old data is not acceptable when you consider the reopening of the Northridge facility. The improving county economy has increased the traffic along this road as more kids take cars to the high school and more residents go to town for meals and shopping (have you tried to eat out in Brighton without a reservation?). The thought that the scheduling of the school dropoff and pick up will be able to be deconflicted is wrong. There is an hour between the High School and Maltby start times, the traffic barely clears from High School traffic when the Maltby lines begin. This additional 150-175 cars will not be cleared prior to the Maltby crowd starting. The LCRC study attachments submitted were partially from a 2007 analysis. The additional ingress/egress (75 from west and 50 from east) as per Mr Morgans notice account for a 14-25% increase in traffic for the morning /afternoon window of time. Page three of Attach B (0700-0855 total 208 from the east and 0700-0855 total 520 from the west).

3. The plan states the existing playground will be used. Despite what is said, this playground will need expansion once a full time school is using the facility. There is no doubt there will be use of the parking lot for recreational use during the school year.

I would like the Planning Commission to consider having the church build a privacy wall/fence in addition to the already agreed upon landscape upgrades as well as make the agreed to parking lot improvements. These two items should be completed before considering any future changes to the land use. The church has been less than forthright in completing the already agreed to provisions.

I would also like the Commission to consider the need for a newer traffic study considering the changes in township population in the 5 year timeframe since the last study. Maybe the church could help fund said study. As Scranton had to put in a traffic circle, there may need to be a more complete analysis since it will dramatically impact traffic flow at the entrance to the church on the North side. It will drastically impact our ability to exit our neighborhood. The High school was in place when we bought, this is a new obstacle to our ability to get to work and town was not here when we chose to buy at this site. The road repair along the west approach is already very needed. Adding additional traffic flow of any kind will deteriorate this road even more.

Respectfully Yours,  
Walter (Jay) Johnston  
4931 Aljoann Rd  
810 772 1128

## Kathryn Poppy

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**From:** Jay Johnston <hnljay@gmail.com>  
**Sent:** Thursday, April 16, 2015 4:44 PM  
**To:** Kathryn Poppy; Jay Johnston  
**Cc:** Harry Eiss  
**Subject:** Naz petition follow on

I happened to look at the LCS website after I wrote my first note to you (4 pm 16 Apr 2015). It appears there is an open house planned at the Naz on the 23rd and 30th to show the current and future students their new facility. I then called the school and was told they will be expanding their student body size when they move into their new facility. There was no "if we move in or if we get approval to move in". It appears as if the Naz church petition was a well thought out and planned process to circumvent the normal legal process for getting the school expansion onto the building. There is obviously a plan to expand the student body count which again will have a far different traffic and environmental impact. On the LCS website there is a link to show "the drywall and insulation going up on our new facility" with photos and drawings of the Naz church building. When exactly did this plan for the school get approved? So, aside from the safety and security and traffic issues that LSL planning has looked at there's the question about how is this cart before the horse? It seems like there was a plan in place for the NAZ and LCS to work this out prior to the plan submission for the expansion. This from the LCS website.

*After nine years of God's provision in Pinckney, Livingston Christian Schools is moving to Brighton for the next school year. Early enrollment period for current LCS families: December 1-31; Enrollment for Brighton Nazarene attenders not currently enrolled: January 1-February 1; Open enrollment begins February 2, 2015.*

So Naz church members get early acceptance for the school and this plan isn't yet approved?? Am I missing something or has the planning and approval process been done in a less than legitimate manner. Really January of 2015 the Naz members could register for the next school year at the Naz?? Dec 2014 for current LCS students.

One of my biggest concerns now is that no matter what the township decides must be done prior to occupancy, the track record shows they are both acting above the law and legal process required of TAX PAYING members of the community. There was a requirement from 2013 to improve the landscaping prior to the new facility, not yet done, two years later. Now they claim it will be done within 90. Old saying os fool me once shame on you, fool me twice shame on me. Do not approve this petition without first having the privacy wall built. Safety is the most important thing and it would be a shame if a child or adult gets hurt after concerned citizens gave there concerns to the township. As I said earlier, a child ran out in front of my fiancé as she drove into the sub. Neither the child or my fiancé saw each other due to the siteline restriction of the shrubs. A full wall needs to be built to keep this from happening.

Walter (Jay) Johnston



April 22, 2015

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
<b>Subject:</b>	Brighton Nazarene Church – Special Land Use and Sketch Plan Review #2
<b>Location:</b>	7669 Brighton Road – northwest corner of Brighton and Aljoann Roads
<b>Zoning:</b>	SR Suburban Residential

Dear Commissioners:

As requested, we have reviewed the submittal, including a 4/9/15 response letter, requesting inclusion of the Livingston Christian Day School within the existing Brighton Nazarene Church facility at 7669 Brighton Road.

Specifically, the applicant proposes to incorporate a private school with 25 employees and 150 students to the existing church building(s). The school would operate from 8AM to 3PM Monday through Friday, although the submittal also notes the potential for other activities outside of these hours.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and provide the following comments for your consideration.

**A. Summary**

1. The applicant should be clear in their intent with the size of the school. Expansion beyond that proposed will likely result in the need for additional approvals.
2. There appears to be outstanding issues remaining that were to be addressed as part of the project approval/discussion for this site in 2013. Although, the applicant has indicated they are in the process of implementing the approved landscape plan.
3. From a planning and zoning perspective, the special land use standards are generally met; however:
  - The quality/quantity of buffering between the site and adjacent neighborhood must be planted/maintained to ensure compatibility of land uses;
  - We request a more detailed description of the primary uses (school and church) to ensure each will occur at different peak times; and
  - Any issues raised by the Township Engineer or Fire Department must be addressed.
4. The project does not include any exterior changes to the plans approved in 2013.
5. The Township may wish to request details of existing light fixtures to ensure compliance with current standards.
6. New signage is not proposed at this time. Approval and a permit will be required if new signage is proposed at a later date.
7. We defer to the Township Engineer for their input as to whether a traffic impact study is needed/warranted.



*Aerial view of site and surroundings (looking west)*

## **B. Proposal/Process**

The applicant requests special land use and sketch plan review/approval for the inclusion of a private school within the existing Brighton Nazarene Church facility. The submittal notes that the school will house 25 employees and 150 students. The applicant should be aware of this limitation as an increase in the school population (planned or otherwise) will likely result in the need for re-review of the special land use and/or site plan.

Table 3.03 of the Township Zoning Ordinance lists churches as special land uses in the SR District, with private schools allowed as accessory to the church. In accordance with Section 19.06, the proposed use has been deemed a major amendment to an existing special land use. Therefore, a new application for special land use approval is required in addition to the need for sketch plan review/approval.

In 2013, the Township granted special land use and site plan approval for an addition. Subsequent to approval, the applicant modified the request such that the addition would be handled in two phases. Accordingly, only a portion of what was originally approved has been built.

Furthermore, during the 2013 project review process, several concerns were raised by residents of the adjacent neighborhood. The primary issues were tied to use of the parking lot for drivers training/education and the quality/quantity of landscaping intended to buffer the church site from the residential neighborhood.

At that time it was suggested to the applicant that the drivers training program was not a permitted use in the SR District and that its operation should cease. However, it is our understanding that this use has continued, if not expanded. The applicant should be prepared to discuss this with the Commission.

Furthermore, additional landscape islands in the parking lot and additional/replacement plantings in the east buffer zone were required. In their response letter, the applicant indicates that:

- The required landscaping from the 2013 project has been started;
- The majority of the dead trees in the screening/buffer have been removed;
- The replacement trees are scheduled to be installed within the next 90 days; and
- The remainder of the new traffic islands and required landscaping will be installed within the same 90-day timeframe.

### C. **Special Land Use Review**

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Master Plan and Future Land Use Map identify the site and adjacent properties to the east and west as Low Density Residential. This classification is generally intended for single-family development on lots of at least 1-acre in area.

While the land use description in the Plan does not reference institutional uses specifically, there is an overall goal to “accommodate a variety of land uses that are located in a logical pattern and complement community goals, the surrounding land uses, environment, capacity of roads and the sanitary sewer, and public water system capabilities.”

Similar to our findings in the 2013 project review, we believe the proposal is consistent with this goal as a further expansion of an existing institutional use in an area containing a mix of residential and other non-residential uses.

2. **Compatibility.** The site is located on the north side of Brighton Road in an area already developed with a mix of institutional and single-family residential land uses, including Brighton High School southeast of the subject site. The submittal indicates that the school’s start/end time were chosen such that it would not coincide with the hours for the other two nearby schools.

As referenced above, concerns were previously raised by residents in the adjacent neighborhood regarding landscaping and use of the parking lot. If these concerns were not mitigated, the Township may wish to apply conditions and/or enforce conditions of the previous approval.

3. **Public Facilities and Services.** The physical features of the site are to remain as they currently exist; however, use of the facility will increase by approximately 175 people per week day.

The applicant has stated that the Livingston County Road Commission indicated that the additional traffic generated by the proposed use will be in “off peak” time and is of “minimal impact.” We defer to the Township Engineer for a more detailed review of this information and confirmation as to whether a more detailed traffic study is necessary or warranted.

The applicant must also address any other comments/concerns raised by the Township Engineer and Brighton Area Fire Department under this criterion.

4. **Impacts.** Aside from an increase in traffic, the most likely impact will be the increased use of the site in general. The submittal indicates that school use(s) will not coincide with church use(s); however, we believe a more detailed plan/description of uses is necessary to ensure the two will not be at peak usage at the same time.

Similar to comments above, a buffer zone on the east side of the property is required to help protect the adjacent neighborhood from impacts of activities occurring on-site. This is particularly important given the request to further increase/intensify use of the site.



Additionally, use of the outdoor play area is expected to increase. The applicant has indicated that the play area will remain in its current location, but has not provided information of the timing of its use and how many children will occupy the space at any given time. The Commission may also wish to request additional details of the outdoor play area, if deemed necessary.

5. **Mitigation.** If any additional concerns arise as part of this review, the Township may require efforts necessary to limit or alleviate any potential adverse impacts as a result of the proposal.

#### **D. Use Conditions**

Section 3.03.02(1) provides the following use conditions related to churches:

1. **Minimum lot area shall be three (3) acres plus an additional fifteen thousand (15,000) square feet for each one hundred (100) persons of seating capacity.**

The submittal notes a capacity of 520 seats in the worship area, which results in the need for approximately 5 acres of lot area. The site provides 15.86 net acres of lot area. This standard is met.

2. **Buildings of greater than the maximum height allowed in Section 3.04, Dimensional Standards, may be allowed provided front, side and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed. The maximum height of a steeple shall be sixty (60) feet.**

Since no exterior building modifications are proposed, the submittal does not include elevation drawings. However, based on information contained in our 2013 review letter, this standard is met.

3. **Wherever an off-street parking area is adjacent to a residential district, there shall be a minimum parking lot setback of fifty (50) feet with a continuous obscuring wall, fence and/or landscaped area at least four (4) feet in height shall be provided. The Township Board may reduce this buffer based on the provision of landscaping, the presence of existing trees or in consideration of topographic conditions.**

The site is adjacent to residential zoning on each side. The entire row of parking along the east side of the site encroaches into the 50-foot setback, although there is existing landscaping between the parking lot and neighborhood. However, similar to comments above, residents in the adjacent neighborhood previously voiced concerns over the condition of the landscape screen/buffer. Project approval in 2013 included additional plantings and maintenance/replacement of existing landscaping.

As noted above, the applicant has indicated that they have begun implementation of the previously approved landscape plan. If issues still remain, the Commission may wish to request additional details, further update on planting status and/or require additional plantings.

4. **Private schools and child day care centers may be allowed as an accessory use to churches, temples and similar places of worship where the site has access to a paved public roadway.**

The site has access to a paved public roadway. This standard is met.

#### **E. Sketch Plan Review**

1. **Dimensional Requirements.** As previously noted, the project entails a new use for the existing facility, though no exterior changes are proposed.
2. **Building Materials and Design.** Similar to the statement above, no exterior building changes are proposed.

- 3. Parking.** Based on the information provided, as an individual use the church requires a greater amount of parking than the private school. It is our understanding that peak use of the church and school will not occur at the same time, though additional detail/description has been requested (as noted above).

New parking calculations have not been provided; however, based on our 2013 review, the site provides more than enough parking for the church use. In fact, the Township granted an increase in the amount of parking provided as part of that project approval.

No further changes are proposed as part of this project. The 2013 project approval included the need to install landscape islands within the parking lot to help break up the large expanse of pavement. As noted above, the applicant has stated that the landscape islands and plantings are expected to be completed in the next 90 days.


- 4. Pedestrian and Vehicular Circulation.** No changes are proposed to the existing/previously approved circulation patterns.
- 5. Landscaping.** As previously mentioned, landscaping was an important discussion item during the 2013 project. The current submittal does not propose additional landscaping; however, should the Commission find there are outstanding issues, they may require additional plantings (either new or replacement).
- 6. Waste Receptacle and Enclosure.** The waste receptacle and enclosure approved as part of the 2013 project were compliant with current standards. The current submittal does not identify any changes.
- 7. Exterior Lighting.** The applicant is not proposing any changes to exterior lighting. Similar to our 2013 review, the Township may wish to request details and/or a photometric plan to ensure that existing lighting complies with current requirements.
- 8. Signs.** The applicant is not proposing any new signage at this time. If proposed, the applicant should submit details for the Commission's consideration. A sign permit is required prior to the installation of any new signage.
- 9. Impact Assessment.** In summary, the amended Impact Assessment (3/16/15) notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

As noted above, the applicant has stated that the Livingston County Road Commission considers the additional traffic generation to be in "off peak" and of "minimal impact." However, the applicant should provide additional detail in terms of maintaining different peak periods for the main uses (church and school) and input should be sought from the Township Engineer regarding the need for further traffic analysis.

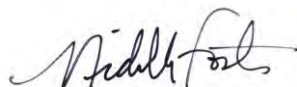
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at [borden@lslplanning.com](mailto:borden@lslplanning.com) and [foster@lslplanning.com](mailto:foster@lslplanning.com).

Sincerely,

**LSL PLANNING, INC.**



Brian V. Borden, AICP  
Principal Planner



Michelle Foster  
Project Planner



April 23, 2015

Ms. Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Livingston Christian School  
Special Land Use Permit Application and Sketch Plan Review #2**

Dear Ms. VanMarter:

We have reviewed the response letter from Brighton Nazarene Church dated April 9, 2015, and delivered to the Township that day. The petitioner is proposing to utilize the existing Brighton Nazarene Church Facility, located at 7669 Brighton Road, as a Christian Day School during weekdays, while maintaining all typical church functions.

According to the letter, in response to comments from Tetra Tech regarding concerns about additional traffic generated on Brighton Road, the petitioner references a meeting with the Livingston County Road Commission Traffic Engineer, Mike Gorel during which Mr. Gorel considered the additional traffic to be in "off peak" times and of minimal impact to Brighton Road. Although this information appears to indicate a minimal impact from the change in use on existing transportation systems it doesn't satisfy the requirements for a traffic study as stated in the Township's ordinance.

The Township ordinance (reprinted below) requires a traffic study if one of the conditions described below are met.

*(1) A Traffic Impact Assessment that evaluates current and future traffic operations at site access points shall be required for projects which could generate 50-99 directional trips during a peak hour.*

*(2) A traffic Impact Statement that evaluates current and future traffic operations at site access points and major signalized or non-signalized intersections in proximity to the site shall be required for any proposed development which would be expected to generate over one hundred (100) directional trips during the peak hour of the traffic generator or the peak hour on the adjacent streets, or over seven hundred fifty (750) trips in an average day. The exact study area of a Traffic Impact Statement shall be established by the Township Engineer.*

*(b) Traffic Impact Statement or Assessment shall also be required for new phases or changes to a development where a traffic study is more than two (2) years old and roadway conditions have changed significantly (volumes increasing more than 2 percent annually); or for a change or expansion at an existing site where the increased land use intensity is expected to increase traffic by at least fifty (50) directional trips in a peak hour or result in at least 750 vehicle trips per day for the entire project.*

**Tetra Tech**

401 South Washington Square, Suite 100, Lansing, MI 48933  
Tel 517.316.3930 Fax 517.484.8140 [www.tetrattech.com](http://www.tetrattech.com)

**Mr. Kelly VanMarter**  
**Livingston Christian School**  
**Special Land Use Permit Application and Sketch Plan Review**  
**April 23, 2015**  
**Page 2**

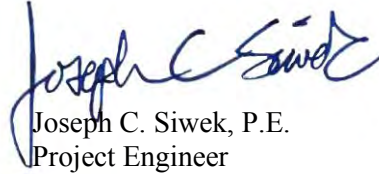
Since the proposed development is projecting 125 directional trips accessing and leaving the site within an hour time frame it meets the condition of requiring a traffic study as stated in paragraph 2 above where the development will *generate over one hundred (100) directional trips during the peak hour of the traffic generator*. The scope of the traffic assessment should include, but not be limited to, the queuing of vehicles along Brighton Road, the impact of this queuing on adjacent drives and signals plus the plan for on-site circulation of traffic to manage drop offs and pick-ups and identify and mitigate any impacts to site and public road systems. Prior to initiating the study we recommend the petitioner's consultant discuss their proposed scope with the Township to confirm the requirements of the Ordinance are being met.

We recommend the petitioner prepare and submit the traffic study prior to approval. If you have any questions regarding this recommendation please call.

Sincerely,



Gary J. Markstrom, P.E.  
Unit Vice President



Joseph C. Siwek, P.E.  
Project Engineer

Copy: Steve Morgan



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

April 22, 2015

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Brighton Nazarene Church Expansion  
for Livingston Christian School  
7669 Brighton Rd.  
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the comments regarding the sketch plan for the Nazarene Church use as Livingston Christian School. The original plan was reviewed on June 24, 2013 and again on July 15, 2013. The current plans were received for review on March 20, 2015 and the revised drawings are dated July 2, 2013. The project is based on building a 16,120 S.F. expansion to the existing church building (size of existing building not provided). The new addition is being requested for approval as an educational use. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

The applicant has attempted to address the fire department's concerns by submitting a letter from a Mr. Steven Morgan identifying that the fire authority concerns are noted and under evaluation by an engineer and that other items were existing and previously approved.

1. The access to the building appears to be limited by an overhang that may not meet the minimum standard of 13.5'. Additional details of this canopy/overhang shall be provided. **(Noted, not to be used by emergency vehicles. Previously approved in 2001)**  
IFC 503.2.1
2. Access to and from the building shall provide emergency vehicles with an outside turning radius of 50' and a minimum vertical clearance of 13½ feet. **(Provide a plan with a truck turning template applied would satisfy the turning radius requirement.)**  
IFC 503.2.4
3. Fire apparatus roads shall be provided to extend to within 150' of all portions of the facility's outer walls. The entire west perimeter wall does not meet this standard. The fire code allows an exception where the entire building is protected with an automatic sprinkler system. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems* in order to have relief from the access requirement. **(Sprinkler plans have been submitted for the addition, and are under review locally until the State of Michigan Bureau of Fire Services and Bureau of OCnstruction Codes formally obtain jurisdiction.)**  
IFC 503.1.1, 903
4. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(No information has been received to date with the exception of fire system trades.)**



*Page 2*  
*Brighton Nazarene Church Expansion*  
*Livingston Christian School*  
*7669 Brighton Rd.*  
*Site Plan Review*

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Capt. Rick Boisvert  
Fire Inspector



# CITY OF BRIGHTON

"Providing quality service"

April 16, 2015

**City Hall**  
200 N. First St.  
Brighton, MI 48116-1593  
(810) 227-1911  
Fax# 227-6420  
TDD Phone: (810) 227-8357

**City Manager**  
225-8022  
**City Clerk**  
227-0463  
**Human Resources Director**  
225-9251  
**Cemetery/ Voter**  
**Registration**  
227-0463

**Community Development**  
**Building**  
227-9005  
**Building Inspection Line**  
227-0419  
**Planning / Zoning**  
225-9257  
**Community Development/**  
**DDA**  
225-8025

**Finance**  
**Accounts Payable**  
225-8019  
**Assessing Assistant**  
227-9006  
**City Assessor**  
225-8024  
**City Treasurer**  
225-8023  
**Finance Director**  
225-9283  
**Assistant Finance Director**  
227-7738  
**Property Taxes**  
227-0179  
**Utility Billing**  
225-8041

**Police Department**  
440 S. Third St.  
(810) 227-2700  
Fax# 227-2063

**Department of Public**  
**Services**  
420 S. Third St.  
(810) 225-8001  
Fax# 225-9249  
**DPS Director**  
225-9284  
**Assistant DPS Director**  
225-9282  
**Water Plant**  
227-2968  
**Wastewater Plant**  
227-9479

Kelly VanMarter, AICP  
Genoa Township Assistant Township Manager/Community Development Director  
2911 Dorr Road  
Brighton, MI 48116

RE: REU's for Brighton Church of the Nazarene Change of Use

Dear Ms. VanMarter:

It has been brought to the City of Brighton's attention that the Brighton Church of the Nazarene located at 7669 Brighton Road is requesting to convert roughly 37,620 square feet of existing church use to a K-12 school use. The Brighton Church of the Nazarene is connected to the City's water supply system.

**The proposed change of use will result in the following REU payment requirement prior to the issuance of a building permit for the change in use:**

Use	Location	Square Footage	REU's Credit
Church	7669 Brighton Road	37,620*	9.41
Based on .25 REU per 1,000 sq ft of floor area			

\*square footage must be confirmed with a detailed, dimensioned architectural drawing that is sealed and signed by a registered architect.

Below is the calculation for the change of use:

Use	Location	Classrooms	Total REU's
K-12 School	7669 Brighton Road	18	18
REU Credit for church use detailed above			9.41
TOTAL REU's DUE			8.59
Based on 1 REU per classroom			

Below is the calculation for the required payment:

REU's Owed	Cost per REU	Required Payment
8.59	\$9,500**	\$81,605

\*\* payment subject to increase on July 1, 2015



# CITY OF BRIGHTON

*"Providing quality service"*

**City Hall**  
200 N. First St.  
Brighton, MI 48116-1593  
(810) 227-1911  
Fax# 227-6420  
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**City Manager**  
225-8022  
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227-0463  
**Human Resources Director**  
225-9251  
**Cemetery/ Voter  
Registration**  
227-0463

**Community Development  
Building**  
227-9005  
**Building Inspection Line**  
227-0419  
**Planning / Zoning**  
225-9257  
**Community Development/  
DDA**  
225-8025

**Finance**  
**Accounts Payable**  
225-8019  
**Assessing Assistant**  
227-9006  
**City Assessor**  
225-8024  
**City Treasurer**  
225-8023  
**Finance Director**  
225-9283  
**Assistant Finance Director**  
227-7738  
**Property Taxes**  
227-0179  
**Utility Billing**  
225-8041

**Police Department**  
440 S. Third St.  
(810) 227-2700  
Fax# 227-2063

**Department of Public  
Services**  
420 S. Third St.  
(810) 225-8001  
Fax# 225-9249  
**DPS Director**  
225-9284  
**Assistant DPS Director**  
225-9282  
**Water Plant**  
227-2968  
**Wastewater Plant**  
227-9479

Should you have any questions, please feel free to contact me at 810-225-9257.

Sincerely,

Amy Cyphert  
Planning & Zoning Director

CC: Address file

Mike Archinal, Township Manager, Genoa Charter Township  
Dana Foster, City Manager, City of Brighton  
Jim Rowell, Livingston County Building Department  
Kelly Hanna, City of Brighton Finance Director





2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

March 25, 2015

To Whom It May Concern:

There will be a public hearing on Monday, April 27 at 6:30 p.m. at Genoa Township Hall, located at 2911 Dorr Road, Brighton, Michigan, for a Special Land Use Permit in your general vicinity.

The property in question is located at 7669 Brighton Road, Brighton, Michigan, being Parcel No. 4711-25-400-058. The Special Use, is requested for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene. The request is petitioned by Brighton Nazarene Church.

You are invited to attend this hearing. If you are unable to attend, written comments may be submitted by writing to the Planning Commission at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org) up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Township Hall during normal business hours.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Sincerely,

Kelly VanMarter  
Assistant Township Manager / Community Development Director  
KKV/kp

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



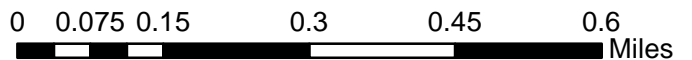
# 300' Buffer for Noticing

Blue outline identifies parcels which are within 300 feet.  
Red outline indicates area within 300 feet of affected parcel.

Applicant Site



Planning Commission Case #15-08  
Applicant: Brighton Nazarene Church  
Address: 7669 Brighton Rd  
Parcels: 4711-25-400-058  
Meeting Date: April 27, 2015



FRANCES SERKIAN  
38743 PLUMBROOK  
FARMINGTON HILLS, MI 48331

VR US HOLDINGS, INC - MT BRIGHTON  
390 INTERLOCKEN CRESCENT  
BROOMFIELD, CO 80021

OWNER OR OCCUPANT  
4141 BAUER RD  
BRIGHTON, MI 48116

BRIGHTON AREA SCHOOLS  
4740 BAUER RD  
BRIGHTON, MI 48116

OWNER OR OCCUPANT  
4757 ALJOANN  
BRIGHTON, MI 48116

MICHAEL & LINDA BARRETT  
4763 ALJOANN  
BRIGHTON, MI 48116

LIVINGSTON DEV. GROUP  
4763 OLD US 23, STE A  
BRIGHTON, MI 48114

KEVIN & CLARE DORAN  
4769 ALJOANN  
BRIGHTON, MI 48116

ADAM & MICHELLE HARRIS  
4775 ALJOANN  
BRIGHTON, MI 48116

CRAIG CHAMPAGNE  
4781 ALJOANN  
BRIGHTON, MI 48114

CHARLES ROBERT HENSLEY  
4793 ALJOANN  
BRIGHTON, MI 48116

DAVID & ANN TIEMANN  
4827 ALJOANN  
BRIGHTON, MI 48116

SCOTT & ANDREA SPANSTRA  
4863 ALJOANN  
BRIGHTON, MI 48116

DANIEL & COLLEEN BUSSEY  
4897 ALJOANN  
BRIGHTON, MI 48116

JOHNSTON WALTER H JR.  
4931 ALJOANN  
BRIGHTON, MI 48116

EISS HARRY  
4967 ALJOANN  
BRIGHTON, MI 48116

BRIGHTON AREA SCHOOLS  
7500 BRIGHTON  
BRIGHTON, MI 48116

FRANK & BARBARA DES CHAMPS  
7567 BRIGHTON RD  
BRIGHTON, MI 48116

LAWRENCE & JULIE MCCORMICK  
7579 BRIGHTON RD  
BRIGHTON, MI 48116

TIMOTHY & GINA WESSEL  
7591 BRIGHTON RD  
BRIGHTON, MI 48116

PETER & TERRI KINNEY  
7592 BROOKVIEW CT  
BRIGHTON, MI 48116

CLAUDIA SINTA  
7600 BROOKVIEW CT  
BRIGHTON, MI 48116

ELIZABETH JOAN WITTE  
7601 BROOKVIEW DR  
BRIGHTON, MI 48116

FIRST UNITED METHODIST CHURCH  
7608 BROOKVIEW CT  
BRIGHTON, MI 48116

BRIGHTON CONGREGATION OF  
JEHOVAH  
7609 BRIGHTON RD  
BRIGHTON, MI 48116

THADDEUS & DOROTHY RODZIK  
7609 BROOKVIEW DR  
BRIGHTON, MI 48116

NORMA HERBST  
7610 BRIGHTON RD  
BRIGHTON, MI 48116

LINDSLEY, M. A.  
7616 BROOKVIEW CT  
BRIGHTON, MI 48116

RONALD J CZAJKA  
7617 BROOKVIEW DR  
BRIGHTON, MI 48116

ROGER & CHERYL HERBST  
7618 BRIGHTON RD  
BRIGHTON, MI 48116

TROY & LINDA PRATT  
7624 BROOKVIEW CT  
BRIGHTON, MI 48116

KATHLEEN & ELIZABETH HERBST  
7628 BRIGHTON RD  
BRIGHTON, MI 48116

ERIC & SHERYL VIGMOSTAD  
7632 BROOKVIEW CT  
BRIGHTON, MI 48116

BRIGHTON CHURCH OF THE NAZARENE  
7679 BRIGHTON RD  
BRIGHTON, MI 48116

DENISE & ASSUNTA ERCOLANI  
7766 BRIGHTON RD  
BRIGHTON, MI 48116

JOHN & BONNIE FIELD  
7781 BRIGHTON RD  
BRIGHTON, MI 48116

OWNER OR OCCUPANT  
7878 BRIGHTON RD  
BRIGHTON, MI 48116

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
NOTICE OF PUBLIC HEARING  
MONDAY, APRIL 27, 2015  
6:30 P.M.**

**PLEASE TAKE NOTICE** that the Planning Commission of Genoa Charter Township will conduct a public hearing on Monday, April 27, 2015, commencing at 6:30 p.m. at the Genoa Charter Township Hall, 2911 Dorr Road, Brighton, Michigan, as required under the provisions of the Michigan Zoning Enabling Act.

**PLEASE TAKE FURTHER NOTICE** that the items to be considered at said public hearing include, in brief, the following:

**OPEN PUBLIC HEARING #1...** Review of a special use, sketch plan, and environmental impact assessment for a proposed K-12 Livingston Christian School to be located within the Brighton Church of the Nazarene. The property in question is located at 7669 Brighton Road, Brighton, Michigan, being Parcel No. 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

**OPEN PUBLIC HEARING #2...** Review of a special use, sketch plan, and environmental impact assessment for proposed outdoor storage, sales and display, including mulch, landscape supplies, and brick pavers. The property in question is located at 7949 W. Grand River, Brighton, being Parcel No. 4711-13-400-025. The request is petitioned by Nelligan's Outdoor Services.

You are invited to attend this hearing. If you are unable to attend, written comments may be submitted by writing to the Planning Commission at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org) up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Township Hall during normal business hours.

Genoa Charter Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Township. Individuals with disabilities requiring auxiliary aids or services should contact the Township in writing or by calling at (810) 227-5225.

Signed:

**KELLY VANMARTER  
ASSISTANT TOWNSHIP MANAGER/COMMUNITY  
DEVELOPMENT DIRECTOR**

(04-10-2015 DAILY 236548)

GENOA TOWNSHIP  
MAR 18 2015

AMENDMENT  
TO  
IMPACT ASSESSMENT  
"BRIGHTON NAZARENE CHURCH FACILITY EXPANSION"

Dated: May 31, 2013

\*(see Attachment A for copy)

Prepared for:

BRIGHTON NAZARENE CHURCH  
7669 BRIGHTON ROAD  
BRIGHTON, MICHIGAN 48116  
(810) 227-6600

Prepared by:

STEVEN R. MORGAN  
4432 GLEN EAGLES COURT  
BRIGHTON, MI 48116  
(586) 942-9751

March 16, 2015

- A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and brief statement of their qualifications.

The Amendment was Prepared By:  
Steven R. Morgan, RLS Tenn.  
4432 Glen Eagles Ct.  
Brighton, Michigan 48116  
586-942-9751

B. No Change

C. No Change

D. No Change

- E. Impact on surrounding land use: Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

(Add to existing comment)

- The site is and will remain the home of the Brighton Nazarene Church. The classrooms, as noted, will also be used Monday thru Friday, from September thru May, as School classrooms for Livingston Christian Schools. The School will add an increase of approximately 50 cars using the existing parking facilities on Monday thru Friday.
- There will be, on occasion, late afternoon or early evening activities, I.E., Parent/Teacher conferences, and athletic events within the facility.
- The existing playground on the western side of the existing facility will be used by the Christian School on Monday-Friday during the mid-day.
- The existing parking lot will be used, on occasion, by the Christian School, for daytime activities.

- F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

(Add to existing comment)

- The Livingston Christian School will increase the number of employees at the facility by approx. 25 people. The student population will increase the use of the facility by approx. 150 people.

- G. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

(Add to existing comment)

- The City of Brighton has been notified of the additional public water supply.
- The existing septic system is private and has no impact on public sewer facilities.  
The private septic system has been designed and installed to the requirements of the Livingston County Health Department and will accommodate the additional usage.

H. No Change

I. No Change

- J. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.

(Add to existing comment)

-The existing Brighton High School, to the east, starts at 7:35 am and ends at 2:35 pm. The existing Maltby School, to the west, starts at 8:30 am and ends at 3:31 pm.

-The Livingston Christian School will start/end at a median time between Brighton High School and Maltby Middle School times.

-The Christian School is expected to generate 75 ingress/egress trips from the west and 50 ingress/egress trips from the east prior/after these start times. ( Survey of current school staff and students) Little of this traffic will occur during "peak" traffic hours.

-The Livingston County Road Commission (LCRC) reviewed the potential traffic impact of these start/end times at the Nazarene Church facility, in a meeting on 3/17/2015, and have determined that the traffic at the Brighton Road and the Church driveway intersection is defined as "Minor Impact". (per LCRC data, see Attachment B)

-Livingston Christian School will not operate during the "peak hour" morning nor afternoon.

-A traffic count and traffic model of the Nazarene Church entrance was made by the LCRC in 2010. (see Attachment C)

- K. No Change

- L. No Change



GENOA TOWNSHIP

MAR 18 2015

# Brighton High School Entrance

Default Titles

Change These in The Preferences Window  
Select File/Preference in the Main Scree  
Then Click the Titles Tab

(morning)

File Name : BRIGHT~2  
Site Code : 11111111  
Start Date : 11/27/2007  
Page No : 1

Groups Printed- CAR - TRUCK BUS

Start Time Factor	BRIGHTON From East		HIGH SCHOOL 1 From South		BRIGHTON From West		Int. Total
	Thru	Left	Right	Left	Right	Thru	
	1.0	1.0	1.0	1.0	1.0	1.0	
06:30 AM	5	0	0	0	0	28	33
06:35 AM	4	2	1	0	0	37	44
06:40 AM	5	2	0	0	1	43	51
06:45 AM	6	3	0	0	0	47	56
06:50 AM	15	1	1	0	3	47	67
06:55 AM	7	9	0	1	5	54	76
Total	42	17	2	1	9	256	327
07:00 AM	7	15	0	1	10	53	86
07:05 AM	9	36	0	2	10	46	103
07:10 AM	10	37	0	6	39	47	139
07:15 AM	25	30	2	11	67	32	167
07:20 AM	31	25	0	12	74	27	169
07:25 AM	28	40	1	6	62	44	181
07:30 AM	32	20	1	4	19	64	140
07:35 AM	20	4	1	4	1	40	70
07:40 AM	28	3	0	1	1	55	88
Grand Total	232	227	7	48	292	664	1470
Apprch %	50.5	49.5	12.7	87.3	30.5	69.5	
Total %	15.8	15.4	0.5	3.3	19.9	45.2	

Attachment  
"B"  
No. 1 of 4

# Brighton High School Entrance

Default Titles

Change These in The Preferences Window  
 Select File/Preference in the Main Scee  
 Then Click the Titles Tab

(afternoon)

File Name : BRIGHT~3  
 Site Code : 11111111  
 Start Date : 11/26/2007  
 Page No : 1

Groups Printed- CAR - TRUCK BUS

Start Time Factor	BRIGHTON From East		<del>HIGH SCHOOL</del> From South		BRIGHTON From West		Int. Total
	Thru	Left	Right	Left	Right	Thru	
	1.0	1.0	1.0	1.0	1.0	1.0	
01:45 PM	90	0	2	0	1	80	173
02:00 PM	84	7	0	0	4	64	159
02:15 PM	84	17	47	30	13	79	270
02:30 PM	119	8	107	118	8	64	424
02:45 PM	122	11	10	12	4	87	246
03:00 PM	101	13	10	10	12	101	247
Grand Total	600	56	176	170	42	475	1519
Apprch %	91.5	8.5	50.9	49.1	8.1	91.9	
Total %	39.5	3.7	11.6	11.2	2.8	31.3	

Page 2 of 4

"B"  
 Attachment

# Brighton Rd. / Bauer Rd. (morning)

Default Titles

Change These in The Preferences Window  
 Select File/Preference in the Main Scree  
 Then Click the Titles Tab

File Name : BAUERB~1  
 Site Code : 11111111  
 Start Date : 05/25/2011  
 Page No : 1

Groups Printed- CAR - TRUCK BUS

Start Time	BAUER From North				BRIGHTON From East				BAUER From South				BRIGHTON From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
Factor	1.0	1.0	1.0		1.0	1.0	1.0		1.0	1.0	1.0		1.0	1.0	1.0		
07:00 AM	0	0	6	6	4	8	0	12	4	1	0	5	1	51	13	65	88
07:05 AM	6	3	21	30	3	4	0	7	4	7	0	11	0	56	11	67	115
07:10 AM	1	3	16	20	5	5	0	10	2	4	0	6	2	59	19	80	116
07:15 AM	3	2	3	8	4	14	2	20	4	5	1	10	5	61	23	89	127
07:20 AM	3	1	2	6	5	10	1	16	2	1	0	3	3	39	14	56	81
07:25 AM	4	3	4	11	5	7	0	12	0	4	2	6	3	36	23	62	91
07:30 AM	4	0	3	7	4	4	1	9	1	4	5	10	3	35	18	56	82
07:35 AM	7	0	5	12	6	6	0	12	1	2	1	4	2	37	13	52	80
07:40 AM	3	1	4	8	6	11	0	17	1	4	1	6	0	41	20	61	92
07:45 AM	9	0	2	11	6	12	0	18	1	6	4	11	0	45	24	69	109
07:50 AM	4	2	7	13	10	4	1	15	1	2	1	4	1	48	22	71	103
07:55 AM	8	1	8	17	11	10	0	21	3	14	2	19	1	41	30	72	129
Total	52	16	81	149	69	95	5	169	24	54	17	95	21	549	230	800	1213
08:00 AM	4	6	10	20	19	10	0	29	0	7	0	7	1	42	27	70	126
08:05 AM	8	6	23	37	22	9	0	31	0	8	2	10	0	35	16	51	129
08:10 AM	6	4	25	35	32	6	0	38	0	12	1	13	2	30	19	51	137
08:15 AM	6	4	18	28	18	7	0	25	2	9	1	12	0	39	12	51	116
08:20 AM	14	8	32	54	11	12	0	23	1	15	0	16	1	30	24	55	148
08:25 AM	9	3	34	46	8	10	0	18	1	7	3	11	0	33	29	62	137
08:30 AM	11	0	9	20	9	4	0	13	0	3	0	3	2	27	25	54	90
08:35 AM	12	5	10	27	14	8	0	22	1	10	1	12	0	28	35	63	124
08:40 AM	17	3	18	38	11	9	1	21	1	16	0	17	3	27	33	63	139
08:45 AM	16	7	17	40	7	22	1	30	1	10	1	12	2	42	28	72	154
08:50 AM	15	3	18	36	5	5	0	10	3	4	0	7	0	30	24	54	107
08:55 AM	15	1	6	22	6	11	2	19	1	4	0	5	0	27	18	45	91
Total	133	50	220	403	162	113	4	279	11	105	9	125	11	390	290	691	1498

Attachment B  
 page 3 of 4

# Brighton Rd / Bauer Rd (Afternoon)

Default Titles

Change These in The Preferences Window  
 Select File/Preference in the Main Scree  
 Then Click the Titles Tab

File Name : BAUERB~3  
 Site Code : 11111111  
 Start Date : 05/25/2011  
 Page No : 1

Groups Printed- CAR - TRUCK BUS

Start Time	BAUER From North				BRIGHTON From East				BAUER From South				BRIGHTON From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
Factor	1.0	1.0	1.0		1.0	1.0	1.0		1.0	1.0	1.0		1.0	1.0	1.0		
02:30 PM	12	5	2	19	9	28	0	37	1	2	0	3	1	18	7	26	85
02:35 PM	11	6	3	20	11	44	3	58	1	1	0	2	1	25	10	36	116
02:40 PM	14	1	5	20	8	56	14	78	0	4	1	5	2	13	12	27	130
02:45 PM	21	2	3	26	13	38	3	54	0	3	1	4	1	28	12	41	125
02:50 PM	18	2	3	23	8	28	0	36	0	5	1	6	0	16	11	27	92
02:55 PM	20	2	7	29	5	32	0	37	0	1	1	2	0	18	12	30	98
Total	96	18	23	137	54	<u>226</u>	20	300	2	16	4	22	5	<u>118</u>	64	187	646
03:00 PM	14	3	5	22	9	22	0	31	1	4	3	8	0	10	11	21	82
03:05 PM	25	3	1	29	6	26	1	33	1	6	3	10	3	17	13	33	105
03:10 PM	18	0	9	27	10	25	3	38	3	9	2	14	0	24	10	34	113
03:15 PM	16	2	6	24	11	22	1	34	0	4	3	7	0	20	27	47	112
03:20 PM	11	2	2	15	18	29	1	48	0	6	1	7	0	17	20	37	107
03:25 PM	22	1	7	30	24	40	0	64	0	10	1	11	1	21	19	41	146
03:30 PM	14	2	7	23	20	32	0	52	3	5	0	8	0	23	22	45	128
03:35 PM	17	5	12	34	16	37	0	53	1	10	0	11	5	36	14	55	153
03:40 PM	21	9	32	62	13	38	0	51	1	5	0	6	3	17	14	34	153
03:45 PM	24	7	22	53	9	34	0	43	0	11	2	13	2	20	16	38	147
03:50 PM	26	10	24	60	15	30	0	45	0	10	1	11	1	16	18	35	151
03:55 PM	21	5	16	42	7	26	2	35	0	2	2	4	0	15	18	33	114
Total	229	49	143	421	158	<u>361</u>	8	527	10	82	18	110	15	<u>236</u>	202	453	1511
04:00 PM	42	11	20	73	7	36	1	44	0	5	1	6	1	22	13	36	159
04:05 PM	34	11	17	62	8	33	1	42	0	4	1	5	1	15	13	29	138
04:10 PM	25	10	9	44	9	32	2	43	0	1	2	3	0	29	12	41	131
04:15 PM	28	2	15	45	7	46	1	54	3	3	1	7	0	20	15	35	141
04:20 PM	17	1	6	24	4	32	2	38	0	1	0	1	1	31	20	52	115
04:25 PM	19	3	6	28	9	32	1	42	0	3	0	3	0	21	16	37	110
04:30 PM	15	1	2	18	5	27	1	33	3	2	1	6	6	24	13	43	100
04:35 PM	15	4	3	22	8	42	1	51	1	4	1	6	1	22	14	37	116
04:40 PM	18	6	7	31	6	51	0	57	0	4	3	7	0	28	7	35	130
04:45 PM	14	9	9	32	4	45	0	49	0	3	2	5	0	31	10	41	127
04:50 PM	26	9	9	44	7	34	0	41	2	3	0	5	1	19	8	28	118
04:55 PM	19	1	4	24	6	38	0	44	3	6	5	14	3	26	10	39	121
Total	272	68	107	447	80	<u>448</u>	10	538	12	39	17	68	14	<u>288</u>	151	453	1506

Attachment B Page 4 of 4

Default Titles  
 Change These in The Preferences Window  
 Select File/Preference in the Main Scree  
 Then Click the Titles Tab

File Name : BRIGHT~4  
 Site Code : 22222222  
 Start Date : 05/16/2010  
 Page No : 1

Start Time	Naz Church From North			Brighton From East			Brighton From West			Int. Total
	Right	Left	App. Total	Right	Thru	App. Total	Thru	Left	App. Total	
Factor	1.0	1.0		1.0	1.0		1.0	1.0		
12:05 PM	0	2	2	1	37	38	29	1	30	70
12:10 PM	25	21	46	0	32	32	40	2	42	120
12:15 PM	18	27	45	2	45	47	33	0	33	125
12:20 PM	24	25	49	0	48	48	49	1	50	147
12:25 PM	14	23	37	0	61	61	33	1	34	132
12:30 PM	9	14	23	2	42	44	38	0	38	105
Grand Total	90	112	202	5	265	270	222	5	227	699
Apprch %	44.6	55.4		1.9	98.1		97.8	2.2		
Total %	12.9	16.0	28.9	0.7	37.9	38.6	31.8	0.7	32.5	

*Page 1 of 1*  
*Attachment "C"*

GENOA TOWNSHIP  
MAR 18 2013

**IMPACT ASSESSMENT  
FOR  
SITE PLAN PETITION  
"BRIGHTON NAZARENE CHURCH FACILITY EXPANSION"  
GENOA TOWNSHIP, LIVINGSTON COUNTY  
MICHIGAN**

Prepared for:

**BRIGHTON NAZARENE CHURCH  
7669 BRIGHTON ROAD  
BRIGHTON, MICHIGAN 48116  
(810) 227-6600**

Prepared by:

**BOSS ENGINEERING COMPANY  
3121 E. GRAND RIVER  
HOWELL, MI 48843  
(517) 546-4836**

May 31, 2013

13-100EIA

## INTRODUCTION

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed development may have on various factors in the general vicinity of the project. The format used for presentation of this report conforms to the *Submittal Requirements For Impact Assessment* guidelines in accordance with Section 18.07 of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

## DISCUSSION ITEMS

### **A. Name(s) and address(es) of person(s) responsible for preparation of the impact assessment and a brief statement of their qualifications.**

Prepared By :  
Brent W. LaVanway, P.E.  
BOSS ENGINEERING COMPANY  
Civil Engineers, Land Surveyors, Landscape Architects and Planners  
3121 E. Grand River  
Howell, MI 48843  
(517) 546-4836

Prepared For :  
Brighton Nazarene Church  
Owner of property  
7669 Brighton Road  
Brighton, MI 48116  
(810) 227-6600

### **B. Map(s) and written description / analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.**

The site is located on the north side of Brighton Road immediately west of the Worden Lake Woods development and slightly west of the entrance to Brighton High School. The subject property is currently the Brighton Nazarene Church Facility. There is the existing church building, parking lot, detention basin and parsonage. The north end of the property is heavily wooded. There are established tree row buffers on the east and west property lines. The subject property and both adjacent properties are zoned Suburban Residential (SR). The Brighton Nazarene Church also owns the contiguous parcel to the north.

### **C. Impact on natural features: A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.**

The total site area is 16.43 acres. The front (south) portion of the site is the existing Church facility, associated parking lot, detention basin and parsonage. The developed site slopes south toward Brighton Road and the remainder of the site slopes north toward Worden Lake. The undeveloped portion of the site is predominantly wooded with the north end of the parcel terminating at Worden Lake. The USDA Soil Conservation Service soil classification for the site is Boyer-Oshtemo Loamy Sand.

The proposed building addition is located in an existing parking lot which will be relocated as part of the project. No tree removal is anticipated during construction of this expansion.

**D. Impact on storm water management: Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from County Soil Conservation Service.**

Surface runoff during periods of construction will be controlled by proper methods set forth by the Livingston County Drain Commissioner, including silt fence, pea stone filters, and seed and mulch. A meeting was held with the Livingston County Drain Commissioner to address stormwater management. Their primary recommendation is to maintain the existing drainage patterns as closely as possible.

At the time of construction, there may be some temporary dust, noise, vibration and smoke, but these conditions will be of relatively short duration and shall be controlled by applying appropriate procedures to minimize the effects, such as watering if necessary for dust control.

The Site Plan documents show the proposed locations of all site improvements along with detailed soil erosion control information. The plans will be reviewed by the Livingston County Drain Commissioner's office for compliance with their regulations prior to issuance of a Soil Erosion Control permit.

**E. Impact on surrounding land use: Description of the types of proposed uses and other man made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.**

As previously stated the site is the current home of the Brighton Nazarene Church. This facility expansion project will provide a larger gymnasium and additional Sunday School classrooms. The classrooms are only for Sunday School and are not for a 5 day per week school. The existing gymnasium will be converted to additional Sunday School classrooms. All other uses at the Church will remain as they are now. The parking that is displaced with the building addition will be added toward the north end of the site and an underground detention system will be constructed under the new parking lot to address stormwater management.

The increase in light, noise or air pollution would be negligible given the site is already developed.

**F. Impact on public facilities and services: Description of number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.**

The primary use of the facility is for Sunday Church services however additional activities take place throughout the week. These activities vary from small group meetings to additional worship services. Typically these occur during off peak traffic hours thus do not significantly impact the traffic on Brighton Road. The site is serviced by public water and a septic system. The public water is provided by the City of Brighton. The septic system review is under the jurisdiction of the Livingston County Health Department. There is no expected impact on Brighton Area Schools and very minimal impact on the police and fire departments.

**G. Impact on public utilities: Description of the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites service with sanitary sewer, calculations for pre- and post development flows shall be provided in equivalents to a**



**single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.**

The development is currently served by both public water and septic system. With regards to storm water management, the project would be required to meet all local, county and state storm water and erosion control requirements. All of the required information is included in the Site Plan documents.

**H. Storage or handling of any hazardous materials: Description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.**

There will be no hazardous materials used or disposed of on this site.

**I. Impact on traffic and pedestrians: A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, other published studies or actual counts of similar uses in Michigan.**

The Church expansion project will generate a negligible number of trips during the AM and PM peak hours Monday through Friday. Most of the traffic will be generated on Sunday mornings for worship services. Some traffic will occur during the week for various activities that take place. Little of this traffic will occur during peak traffic hours.

**J. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets.**

The facility is primarily used on Sunday mornings therefore a detailed traffic impact study is not necessary.

**K. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.**

The Church requires a Special Use Permit to operate in a residentially zoned district.

**L. A list of all sources shall be provided.**

Genoa Township's *Submittal Requirements For Impact Assessment*

Genoa Township Zoning Ordinances

Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service

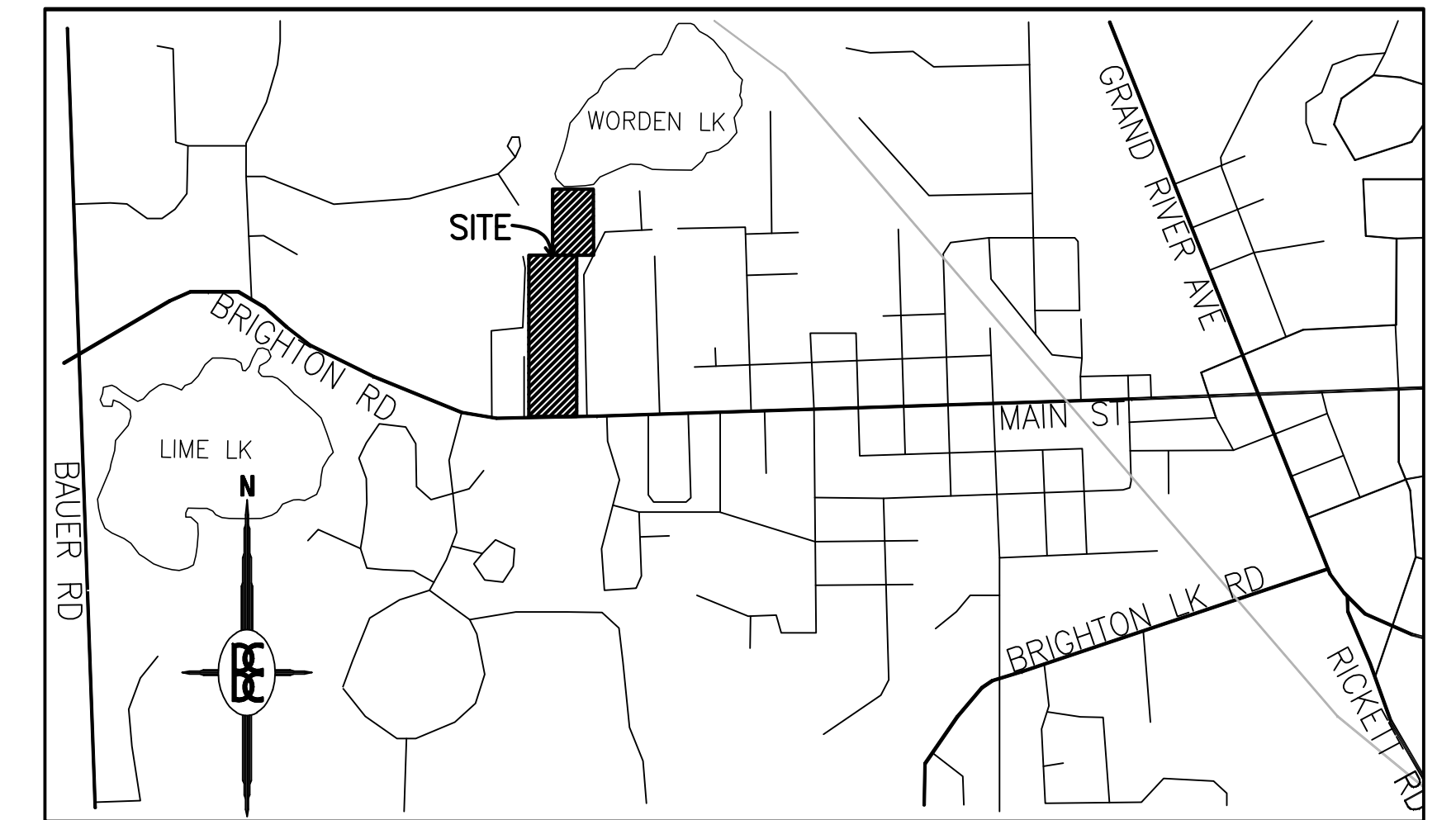
National Wetland Inventory Plan, United States Department of the Interior, Fish and Wildlife Service

# SITE PLAN FOR BRIGHTON NAZARENE CHURCH FACILITY EXPANSION

## PART OF SE 1/4 SEC. 25, T.2N., R.5E. GENOA TOWNSHIP, LIVINGSTON COUNTY, MI

### PROPERTY DESCRIPTION:

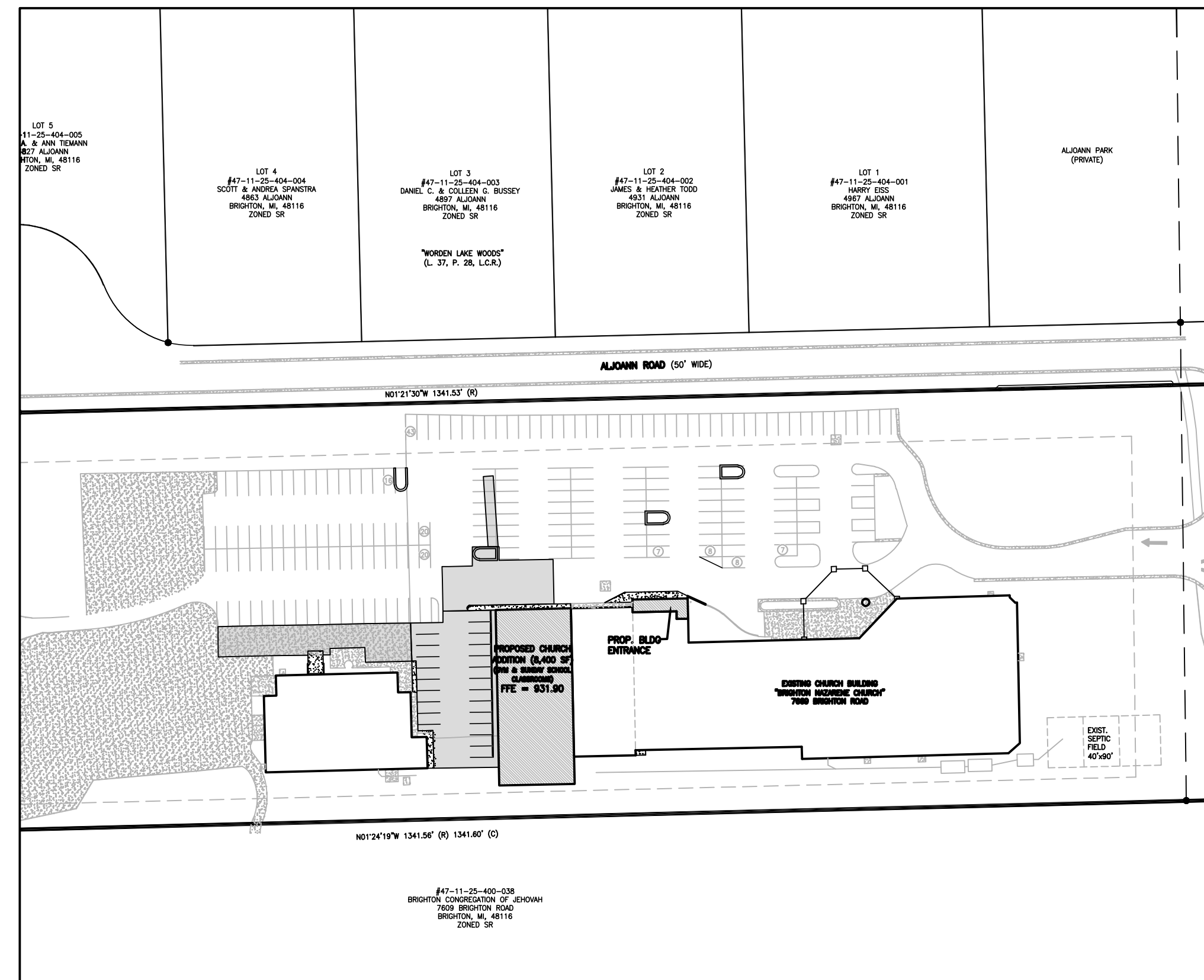
A part of the SE 1/4 of Section 25, T2N-R5E thence N 89°08'13" E 663.28 feet to Point of Beginning, thence continue E 331.64 feet, thence N 01°21'30" W 1341.53 feet, thence S 89°03'20" E 332.74 feet, thence S 01°24'19" E 1341.56 feet to Point of Beginning and also Section 25, T2N-R5E Beginning at the SE 1/4 corner, thence N 01° W 1340.63 feet thence N 89° E 823.63 feet to Point of Beginning, thence N 01° W 891.73 feet, thence N 88° E 400.81 feet, thence S 01° E 893.61 feet, thence S 89° W 400.83 feet to Point of Beginning, containing 16.43 acres, more or less split on 01/23/2012 with 4711-25-400-027 into 4711-25-400-058



**LOCATION MAP**  
NO SCALE

### CONSTRUCTION NOTES

- THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING NOTES AND ANY WORK INVOLVED SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.
  - DO NOT SCALE THESE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
  - IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
  - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
  - PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
  - ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS.
  - ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHTS-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
  - THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
  - THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  - THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II).
  - ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
  - NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
  - DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
  - IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
  - NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
  - ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SODDED OR SEEDDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
  - ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
  - TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
  - ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
  - AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
  - ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
  - NO SEEDING SHALL BE DONE AFTER OCTOBER 15 WITHOUT APPROVAL OF THE ENGINEER.
  - ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
  - SOIL EROSION MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
  - ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.



**OVERALL SITE MAP**  
NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	GRADING, DRAINAGE & SOIL EROSION CONTROL PLAN
5	UTILITY PLAN
6	LANDSCAPE & LIGHTING PLAN
7	CONSTRUCTION NOTES & DETAILS
8	CONSTRUCTION NOTES & DETAILS
9	WATERMAIN PLAN & PROFILE
10	FLOOR PLAN
11	ELEVATION VIEWS

## BRIGHTON NAZARENE CHURCH FACILITY EXPANSION

PREPARED FOR:

BRIGHTON NAZARENE CHURCH  
7669 BRIGHTON ROAD  
BRIGHTON, MI 48116  
CONTACT: PASTOR BEN WALLS  
810.227.6600

### ARCHITECT

SAHBA LA'AL, ARCHITECT  
MACMULLAN ARCHITECTS  
308 NORTH RIVER STREET  
YPSILANTI, MICHIGAN 48198

PREPARED BY:

**BOSS ENGINEERING**  
ENGINEERS • SURVEYORS • PLANNERS  
LANDSCAPE ARCHITECTS

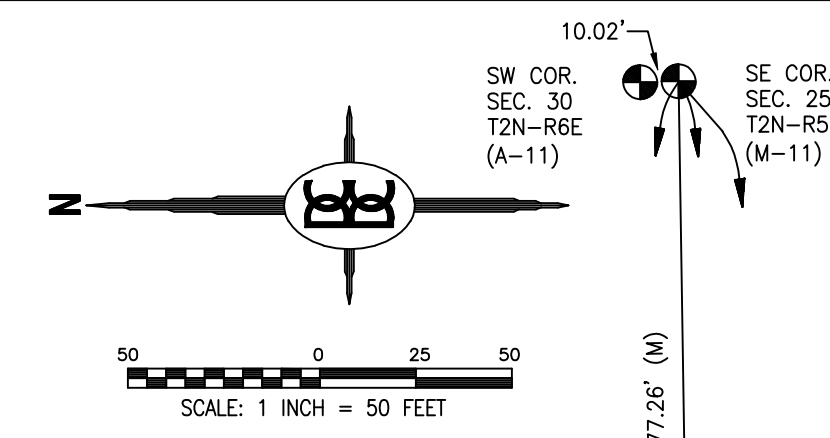
(E-MAIL: [be@bosseng.com](mailto:be@bosseng.com))  
3121 E. GRAND RIVER AVE.  
HOWELL, MI 48845  
(800) 246-6735 FAX (517) 548-1670

### INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

5	ST	PER CLIENT REVIEW	5/14/14	<b>1</b>
4	ST	PER TWP. REVIEW	10/2/13	
3	ST	PER TWP. REVIEW	8/26/13	
2	ST	PER PLANNING COM.	7/30/13	
1	ST	TWP. REVIEW	7/2/13	
NO	BY	CK	REVISION	

ISSUE DATE: 5/31/13  
JOB NO. 13-100



THE INFORMATION CONTAINED HEREON IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER'S RESPONSIBILITY IS TO DESIGN AND CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE CLIENT'S REQUIREMENTS AND THE PROFESSIONAL STANDARDS OF THE ENGINEERING PROFESSION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING THE COURSE OF THE PROJECT. THE CLIENT SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE PROJECT BEFORE THE WORK BEGINS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER'S RESPONSIBILITY IS TO DESIGN AND CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE CLIENT'S REQUIREMENTS AND THE PROFESSIONAL STANDARDS OF THE ENGINEERING PROFESSION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING THE COURSE OF THE PROJECT. THE CLIENT SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE PROJECT BEFORE THE WORK BEGINS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

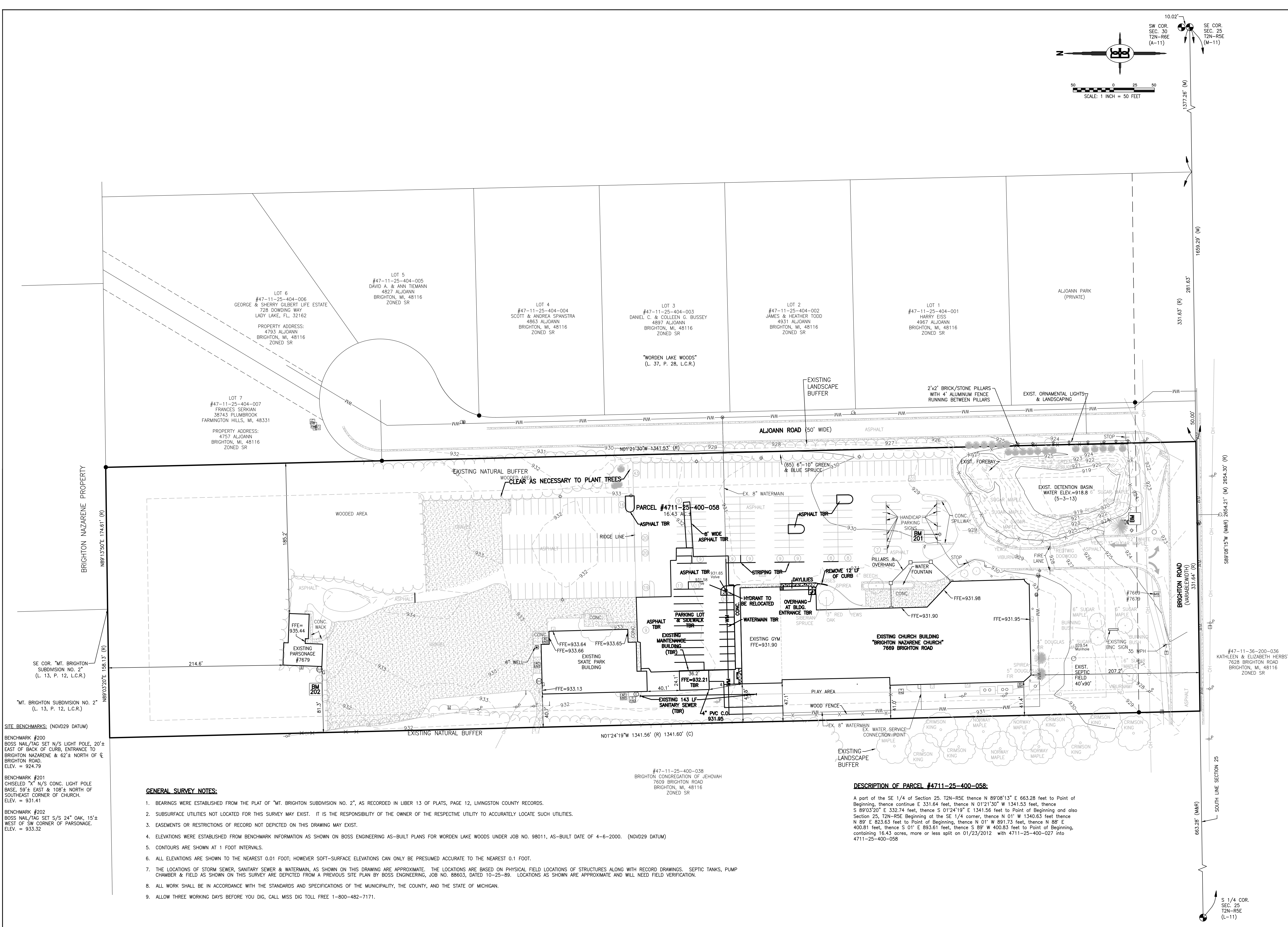
**BOSS ENGINEERING**  
ENGINEERS • SURVEYORS • PLANNERS  
LANDSCAPE ARCHITECTS  
(E-Mail: [boss@bosseng.com](mailto:boss@bosseng.com))  
3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
(800) 246-6735 FAX (517) 548-1670

**B.N.C. FACILITY EXPANSION**  
**BRIGHTON NAZARENE CHURCH**  
7669 BRIGHTON ROAD  
BRIGHTON, MI 48116  
810-227-6600

PROJECT: B.N.C. FACILITY EXPANSION  
PREPARED FOR: BRIGHTON NAZARENE CHURCH  
TITLE: EXISTING CONDITIONS & DEMOLITION

NO	BY	REVISION PER	DATE
1	ST	TWP. REVIEW	6/26/13
2	ST	PER PLANNING COM.	7/30/13
3	ST	PER CITY REVIEW	10/21/13
4	ST	PER CLIENT REVIEW	5/14/14

DESIGNED BY: ST  
DRAWN BY: AEB  
CHECKED BY:  
SCALE: 1" = 50'  
JOB NO. 13-100  
DATE 5-31-13  
SHEET NO. 2



**GENERAL SURVEY NOTES:**

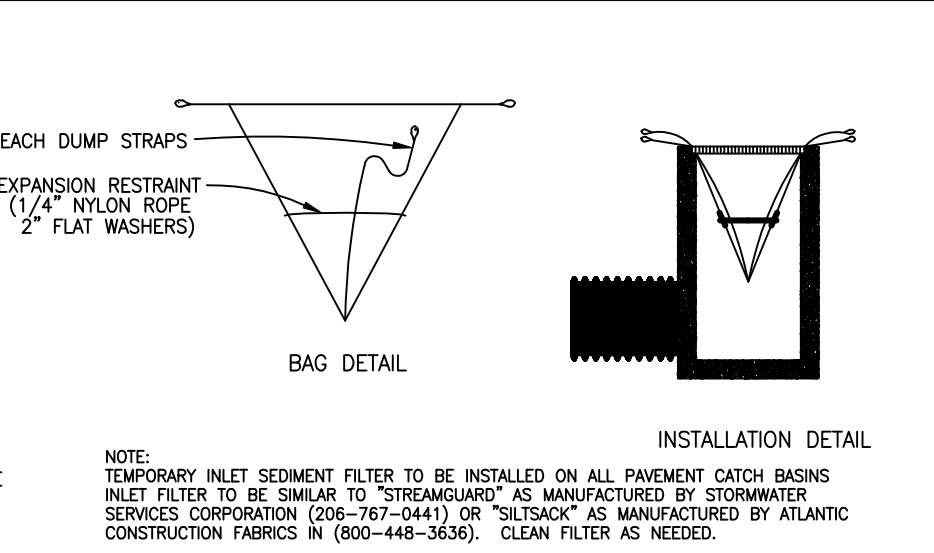
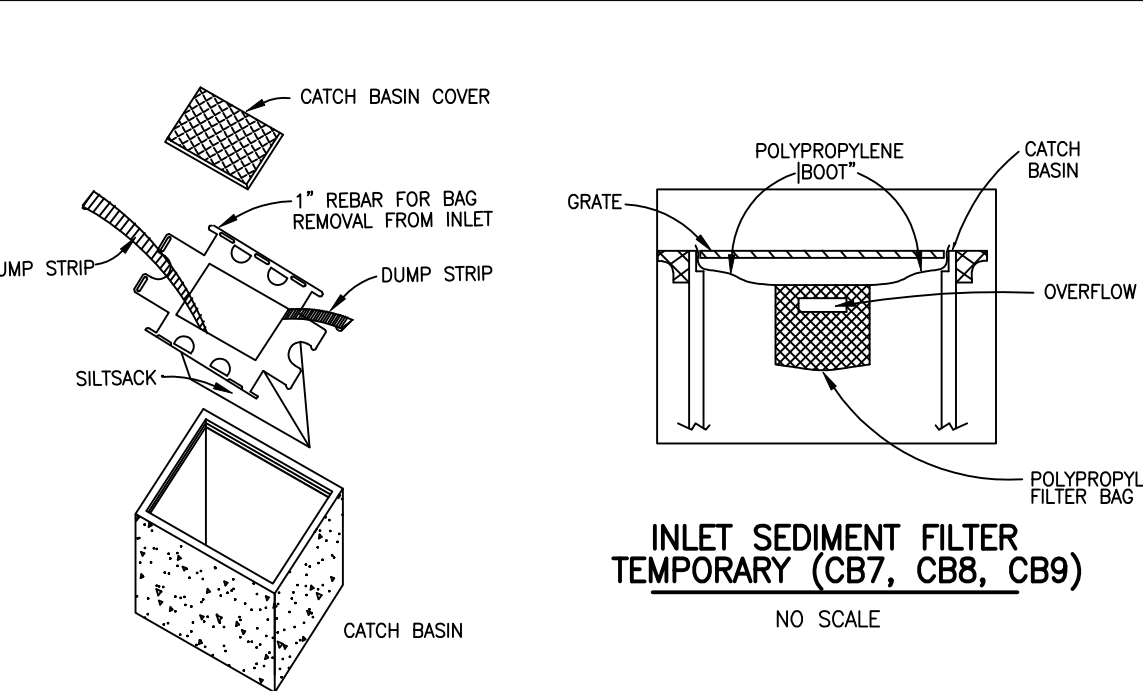
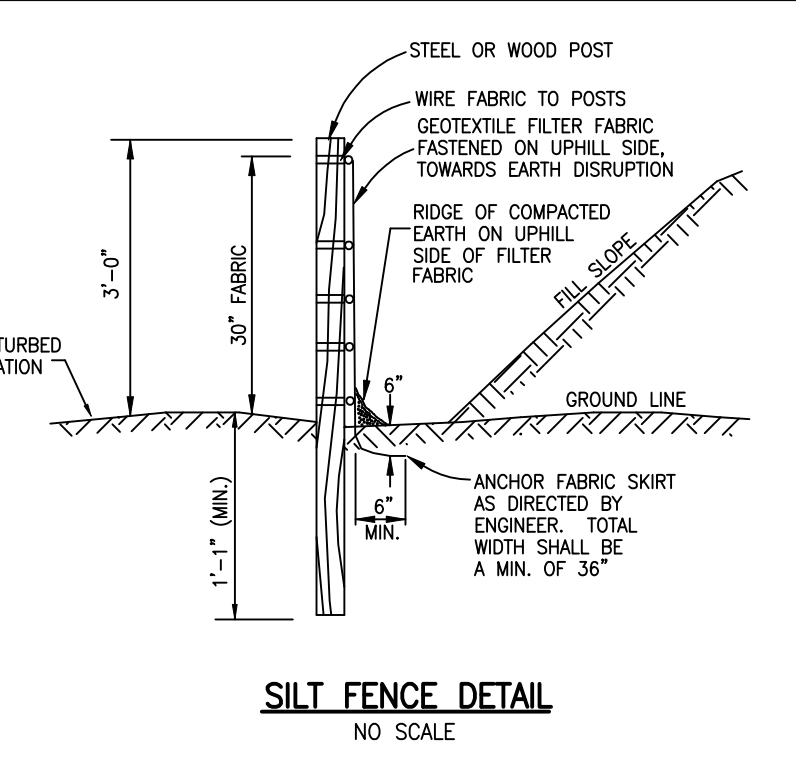
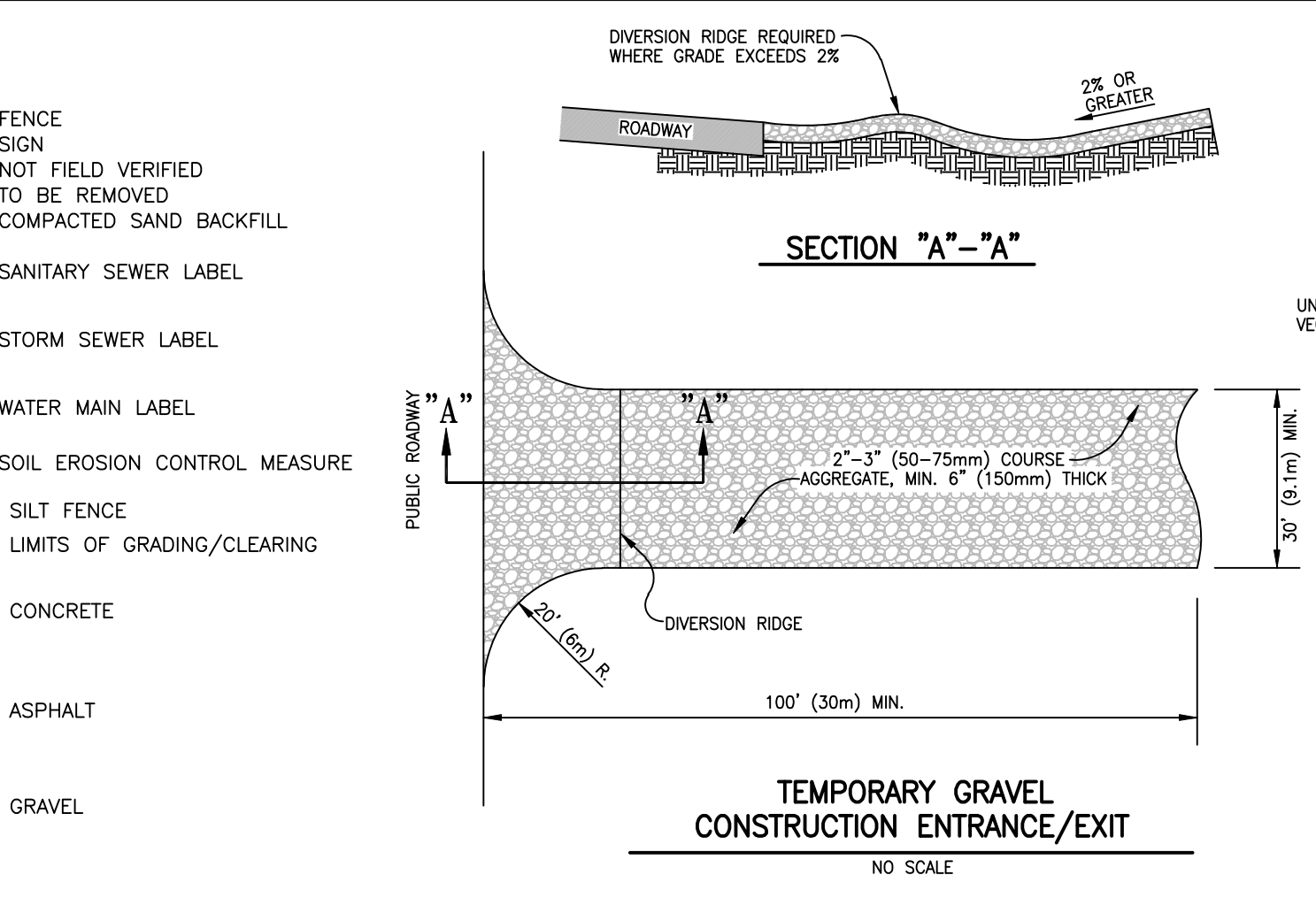
- BEARINGS WERE ESTABLISHED FROM THE PLAT OF "MT. BRIGHTON SUBDIVISION NO. 2", AS RECORDED IN LIBER 13 OF PLATS, PAGE 12, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED FROM BENCHMARK INFORMATION AS SHOWN ON BOSS ENGINEERING AS-BUILT PLANS FOR WORDEN LAKE WOODS UNDER JOB NO. 98011, AS-BUILT DATE OF 4-6-2000. (NGVD29 DATUM)
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL ELEVATIONS ARE SHOWN TO THE NEAREST 0.01 FOOT; HOWEVER SOFT-SURFACE ELEVATIONS CAN ONLY BE PRESUMED ACCURATE TO THE NEAREST 0.1 FOOT.
- THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH RECORD DRAWINGS. SEPTIC TANKS, PUMP CHAMBER & FIELD AS SHOWN ON THIS SURVEY ARE DEPICTED FROM A PREVIOUS SITE PLAN BY BOSS ENGINEERING, JOB NO. 88603, DATED 10-25-89. LOCATIONS AS SHOWN ARE APPROXIMATE AND WILL NEED FIELD VERIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

**DESCRIPTION OF PARCEL #4711-25-400-058:**

A part of the SE 1/4 of Section 25, T2N-R5E thence N 89°08'13" E 663.28 feet to Point of Beginning, thence continue E 331.64 feet, thence N 01°21'30" W 1341.53 feet, thence S 89°03'20" E 332.74 feet, thence S 01°24'19" E 1341.56 feet to Point of Beginning and also Section 25, T2N-R5E Beginning at the SE 1/4 corner, thence N 01° W 1340.63 feet thence N 89° E 823.63 feet to Point of Beginning, thence N 01° W 891.73 feet, thence N 88° E 400.81 feet, thence S 01° E 893.61 feet, thence S 89° W 400.83 feet to Point of Beginning, containing 16.43 acres, more or less split on 01/23/2012 with 4711-25-400-027 into 4711-25-400-058



LEGEND		LEGEND	
PROPOSED (PR)	EXISTING (EX)	PROPOSED (PR)	EXISTING (EX)
900	+922.08	CONTOUR	SPOT ELEVATION
T/C	FF	FINISHED FLOOR ELEVATION	FINISHED GRADE ELEVATION
FF	FG	TOP OF ASPHALT	TOP OF ASPHALT / CONCRETE
T/A	T/W	TOP OF WALK	FLOW LINE
T/W	F/L	TOP OF PIPE	BOTTOM OF PIPE
B/P	B/P	RIM ELEVATION	INVERT ELEVATION
RIM	INV	MANHOLE STRUCTURE	CATCHBASIN STRUCTURE
INV	IN	REARWARD STRUCTURE	END-SECTION GATEVALVE STRUCTURE
MH	CB	HYDRANT	UTILITY POLE
IN	ES	UTILITY POLE	SANITARY SEWER
CB	GV	SANITARY LEAD	FORCE MAIN
ES	UP	STORM SEWER	WATER MAIN
GV	SN	WATER LEAD	OVERHEAD WIRE
UP	SL	CABLE	ELECTRIC
SN	FM	GAS	TELEPHONE
SL	ST	MANHOLE	INLET / CATCHBASIN
FM	WM	FLARED END-SECTION	GATE VALVE
ST	WL	HYDRANT	UTILITY POLE
WM	OH		
WL	C		
OH	E		
C	T		
E			
T			



### STORMWATER MANAGEMENT NARRATIVE

THE ROOF DRAINAGE FOR THE PROPOSED BUILDING WILL BE PIPED INTO MANHOLE 8 & CATCH BASIN 9 VIA 4 DOWNSPOUTS (2 IN FRONT, 2 IN BACK).

CONSTRUCT LANDSCAPE ISLANDS TO MAINTAIN EXISTING DRAINAGE AND TO DRAIN AWAY FROM ISLANDS.

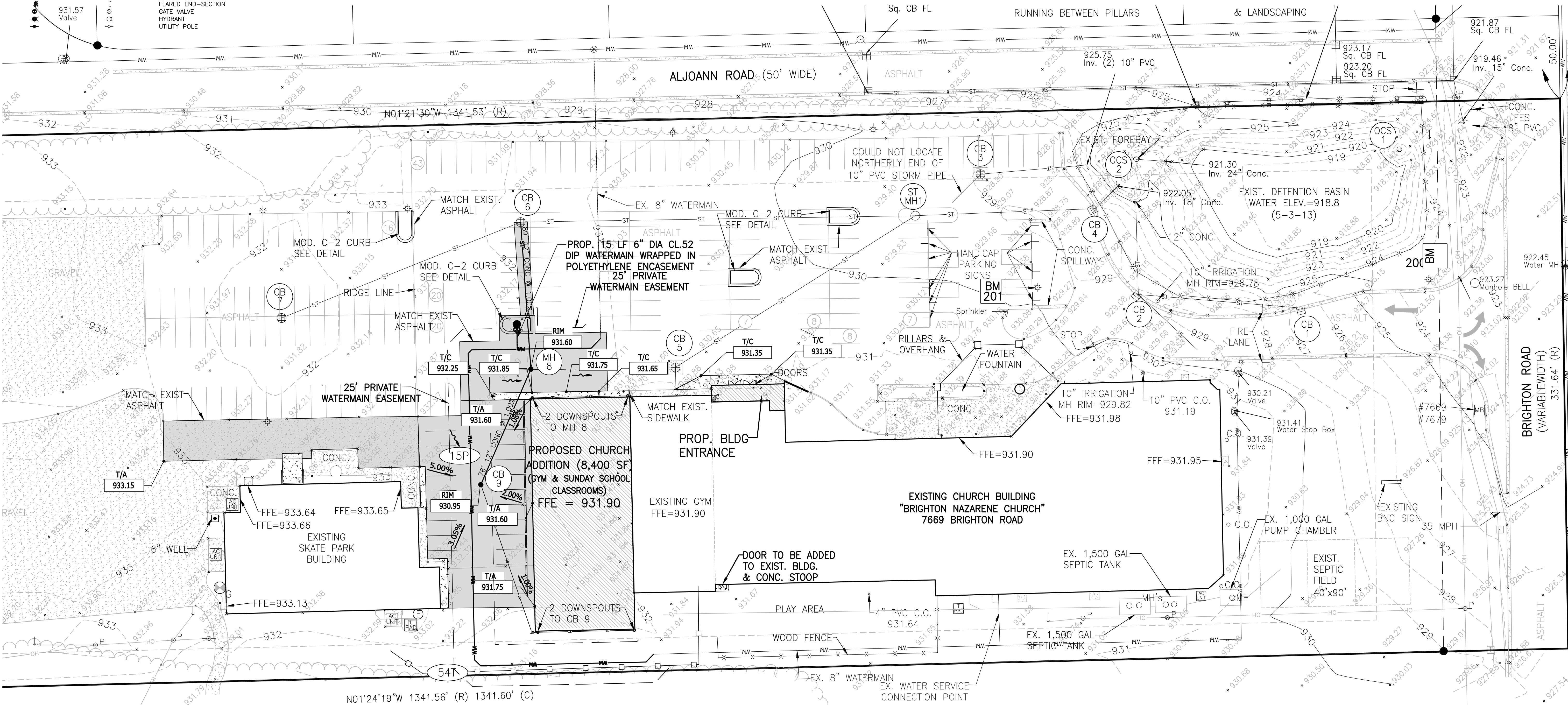
ASPHALT AROUND MANHOLE 8 IS TO MATCH EXISTING ASPHALT LIMITS AS WELL AS MAINTAIN DRAINAGE PATTERN TO CATCH BASINS 5 AND 6. PROPOSED ASPHALT NORTH OF THE PROPOSED BUILDING ADDITION WILL DRAIN TO CATCH BASIN 9.

### SOIL EROSION CONTROL MEASURES

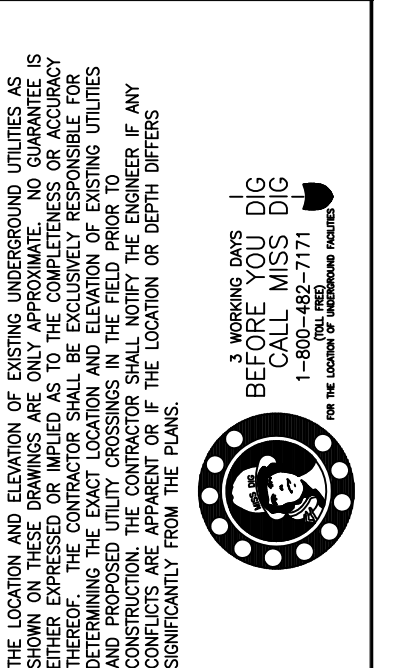
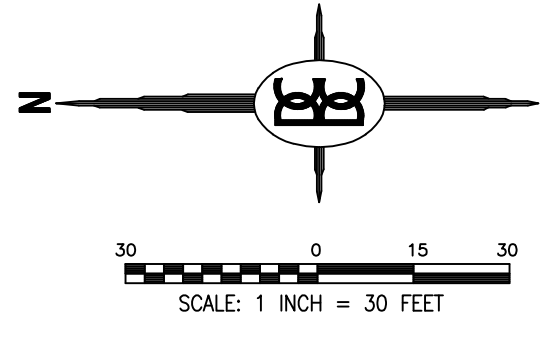
PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VELOCITY. REGULAR SURFACE, WILL HELP SLOW VELOCITY.

USES GEOTEXTILE FABRIC AND POST OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

P=PERMANENT T=TEMPORARY  
TOTAL DISTURBED AREA = 0.19 AC



#47-11-25-400-038  
BRIGHTON CONGREGATION OF JEHOVAH  
7609 BRIGHTON ROAD  
BRIGHTON, MI 48116  
ZONED SR

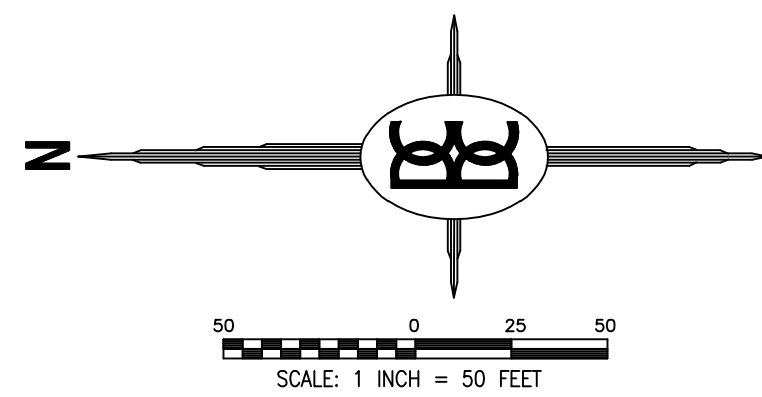


**PROJECT:** B.N.C. FACILITY EXPANSION  
**PREPARED FOR:** BRIGHTON NAZARENE CHURCH  
7669 BRIGHTON ROAD  
BRIGHTON, MI 48116  
810-227-6600

**TITLE:** GRADING, DRAINAGE, & SEC PLAN

NO	BY	DATE	REVISION PER
1	ST	5/14/14	PER CLIENT REVIEW
2	ST	10/27/13	PER CITY REVIEW
3	ST	7/20/13	PER PLANNING COM.
4	ST	7/27/13	TWP. REVIEW
5	ST		

DESIGNED BY: ST  
DRAWN BY: AEB  
CHECKED BY:  
SCALE: 1" = 40'  
JOB NO. 13-100  
DATE 5-31-13  
SHEET NO. 4



CONTROLS & MEASURES NARRATIVE	
ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED.

CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE			
ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X		X
SWEEP PARKING LOT		X	X

CONSTRUCTION SEQUENCE	
1 DAY	1. INSTALL SILT FENCE & INLET FILTERS AS SHOWN ON PLANS.
4 DAYS	2. SAWCUTTING & REMOVING ASPHALT AS SHOWN ON PLANS.
6 DAYS	3. ROUGH GRADE AND INSTALL STORM DRAINAGE AND WATERMAIN.
1 DAY	4. INSTALL INLET PROTECTION ON STORM INLETS.
180 DAYS	5. START BLDG. CONSTRUCTION.
4 DAYS	6. INSTALL PAVEMENT.
2 DAYS	7. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.
1 DAY	8. REMOVE ALL EROSION CONTROL STRUCTURES.
1 DAY	9. REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.

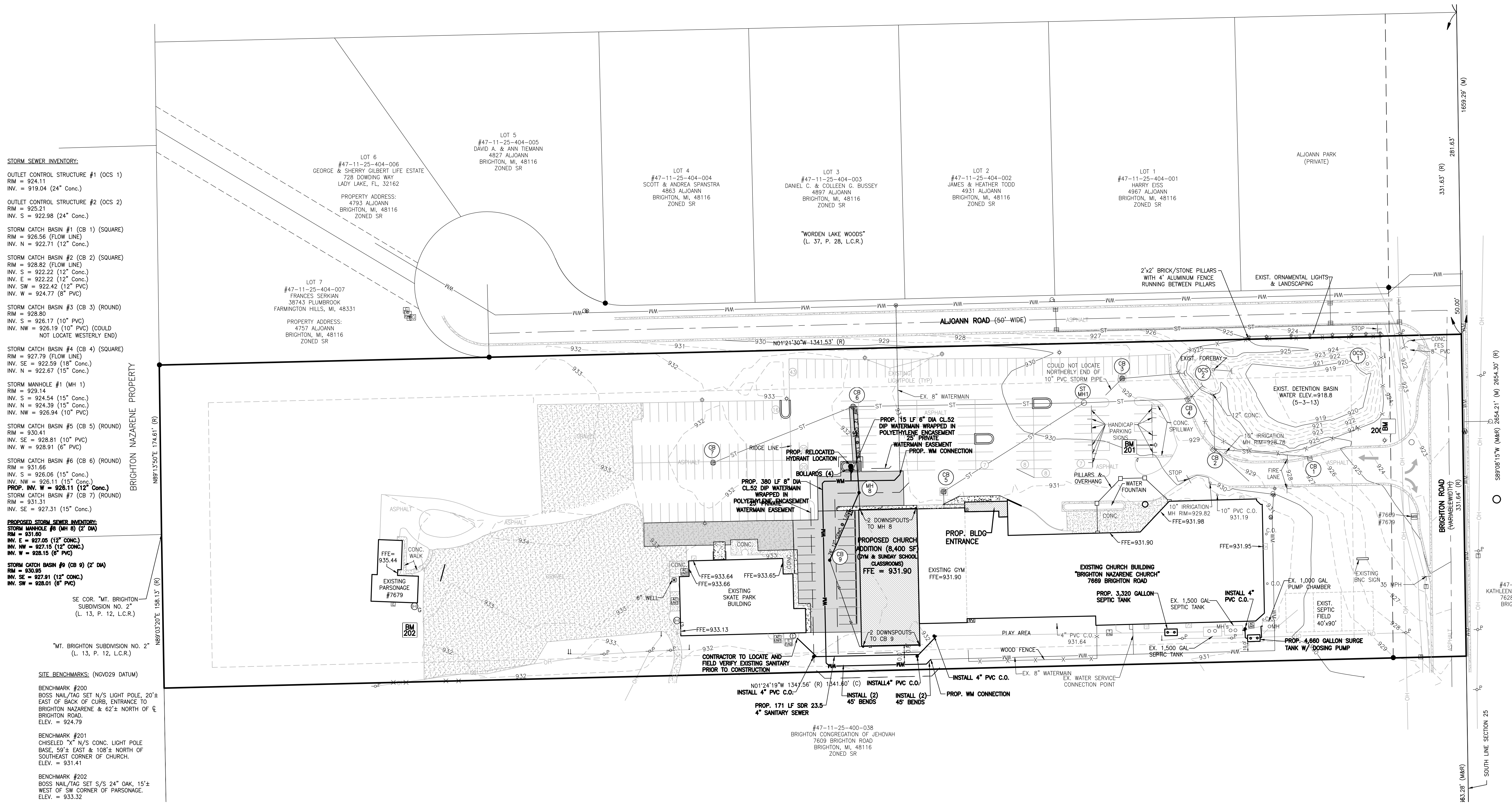
NOTES:

- EXISTING WATERMAIN TO BE CUT AND REMOVED AT POINTS INDICATED ON PLANS. PROPOSED WATERMAINS TO BE CONNECTED TO CUT-ENDS OF EXISTING WATERMAIN. CONNECT PROPOSED WATERMAIN TO NEAREST JOINT OF EXISTING WATERMAIN.
- EXISTING WATERMAIN IS TO BE TEMPORARILY CAPPED AT CONNECTION LOCATIONS WHILE EXTENDED LOOP IS BEING CONSTRUCTED.
- FIRE SUPPRESSION LINE AND DOMESTIC SUPPLY FOR PROPOSED ADDITION TO BE INTERNALLY SUPPLIED FROM EXISTING BUILDING.
- EXISTING 6" WELL ON NORTH SIDE OF EXISTING SKATE PARK IS SOLELY USED FOR IRRIGATION.
- THERE ARE NO SERVICE CONNECTIONS OR BUILDING FIRE SUPPRESSION SYSTEMS TO BE REPLACED ALONG THE PORTION OF RELOCATED WATER MAIN.

LEGEND	
PROPOSED (PR)	EXISTING (EX)
900	900
T/C	FF
XXXXXX	FG
FF	T/A
FG	T/C
T/A	T/W
T/C	F/L
T/W	T/P
F/L	B/P
T/P	RM
B/P	INV
RM	MH
INV	IN
MH	CB
IN	RY
CB	ES
RY	GV
ES	HY
GV	UP
HY	SN
UP	SL
SN	FM
SL	ST
FM	WM
ST	WL
WM	OH
WL	
OH	

LEGEND	
PROPOSED (PR)	EXISTING (EX)
CONTOUR	SILT FENCE
STORM DRAINAGE FLOW	LIMITS OF GRADING/CLEARING
SPOT ELEVATION	CONCRETE
FINISHED FLOOR ELEVATION	ASPHALT
FINISHED GRADE ELEVATION	GRAVEL
TOP OF ASPHALT	
TOP OF CURB / CONCRETE	
TOP OF WALK	
FLOW LINE	
TOP OF PIPE	
BOTTOM OF PIPE	
RM ELEVATION	
INVERT ELEVATION	
MANHOLE STRUCTURE	
INLET STRUCTURE	
CATCHBASIN STRUCTURE	
REARWARD STRUCTURE	
END-SECTION	
GATEVALVE STRUCTURE	
HYDRANT	
UTILITY POLE	
SANITARY SEWER	
SANITARY LEAD	
FORCE MAIN	
STORM SEWER	
WATER MAIN	
WATER LEAD	
OVERHEAD WIRE	

STRUCTURE FRAMES & COVERS				
COVER	TYPE	USE	MANUFACTURER OR EQ. NO.	TYPE OF COVER OR GRATE
A	MH	ALL	1120 R-1415	SANITARY-SELF SEALING STORM-VENTED
B	CB & INLET	TYPE B2 CURB	7085 R-3038-A	
K	CB & INLET	TYPE C & F CURB	7045 R-3031-B	FLAT GRATE WITH VERT. 4" OPEN THROAT
C	CB & INLET	VALLEY CURB	7065 R-3034-B	
D	CB & INLET	PARKING LOTS	1020-MI R-2560-D	FLAT GRATE
E	CB & INLET	LAWN AREA OR BENCH	1020-01	BEEHIVE GRATE 4" HIGH

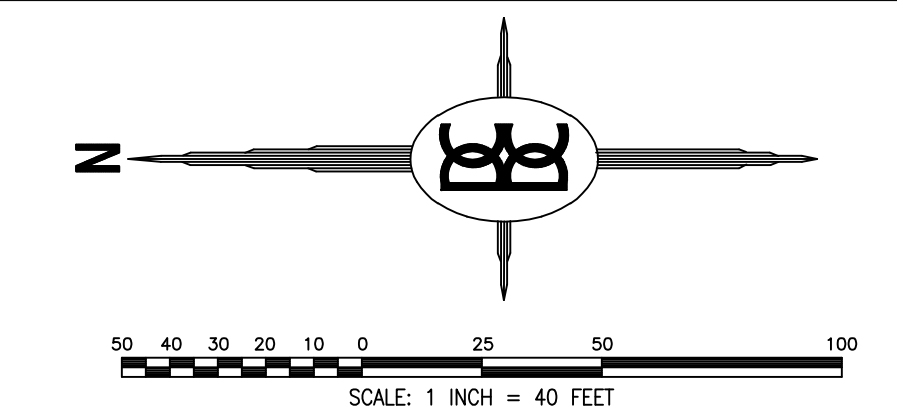
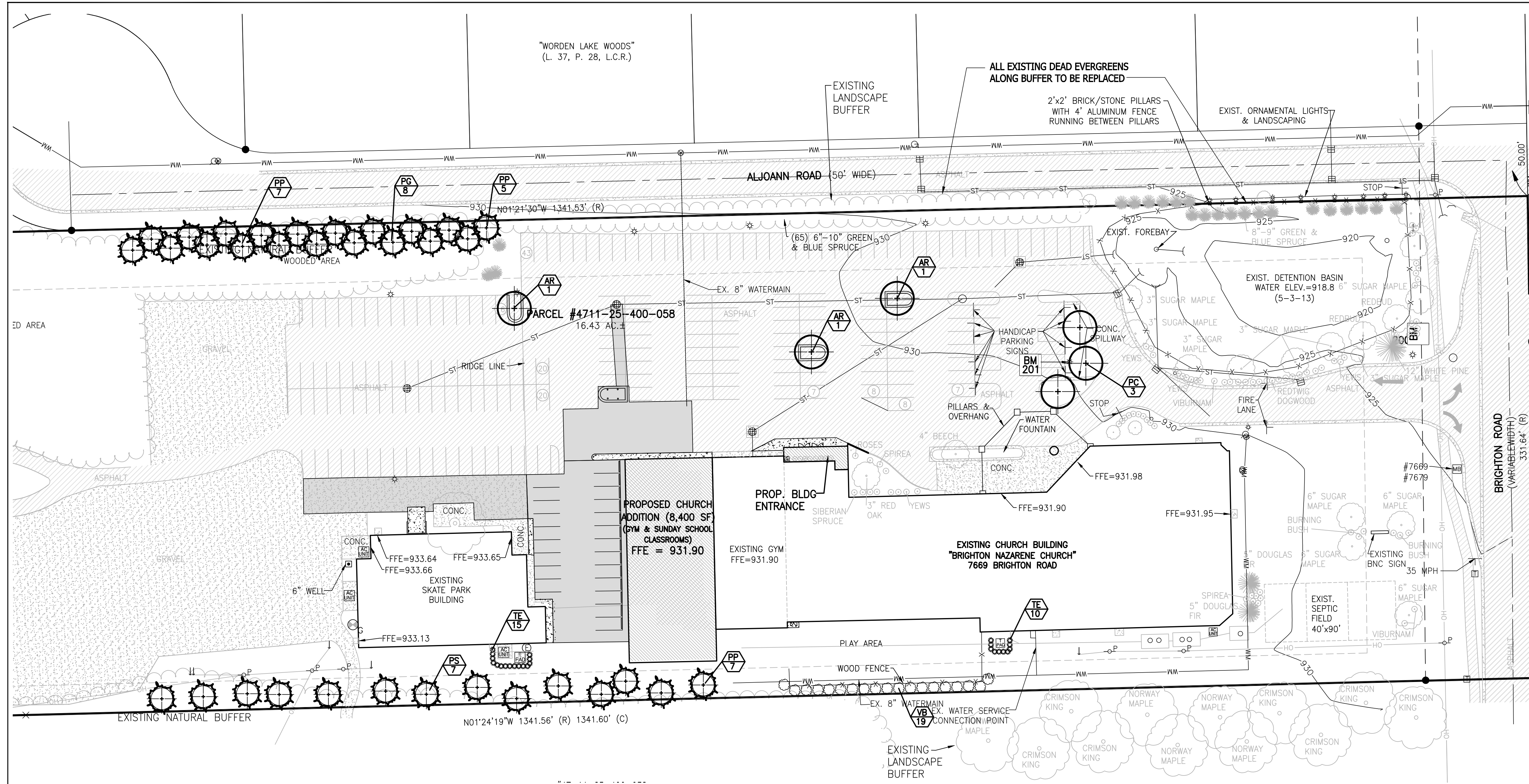


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810-227-6600

NO	BY	DATE	REVISION PER
1	ST	5/14/14	DESIGNED BY
2	ST	10/2/13	PER CITY REVIEW
3	ST	8/26/13	TWP. REVIEW
4	ST	7/20/13	TWP. PLANNING COM.
5	ST	7/2/13	TWP. REVIEW

DESIGNED BY: ST  
DRAWN BY: AEB  
CHECKED BY:  
SCALE: 1" = 50'  
JOB NO. 13-100  
DATE: 5-31-13  
SHEET NO. 5



PROPOSED (PR)	EXISTING (EX)	CONTOUR
900	900	STORM DRAINAGE FLOW
T/C	+ 922.08	SPOT ELEVATION
XXXXXX		FINISHED FLOOR ELEVATION
FF	FF	FINISHED GRADE ELEVATION
FG	FG	TOP OF ASPHALT
T/A	T/A	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARWAY STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
MANHOLE	MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE	GATE VALVE
HYDRANT	HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE	UTILITY POLE
FENCE SIGN	FENCE SIGN	FENCE SIGN
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE	DOUBLE FIXTURE LIGHT POLE
SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE	SINGLE FIXTURE LIGHT FIXTURE
WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE
GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE	GROUND LIGHT FIXTURE
FOOT CANDLES ON SITE	FOOT CANDLES ON SITE	FOOT CANDLES ON SITE
FOOT CANDLES OFF SITE	FOOT CANDLES OFF SITE	FOOT CANDLES OFF SITE
FOOT CANDLES CONTOURS	FOOT CANDLES CONTOURS	FOOT CANDLES CONTOURS

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
<b>TREES</b>					
AR	3	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2" cal.	B-B
PC	3	Pyrus calleryana 'Bradford'	Bradford Callery Pear	2 1/2" cal.	B-B
PG	8	Picea glauca	White Spruce	6'-8" ht.	B-B
PP	19	Picea pungens var. 'Glauca'	Colorado Blue Spruce	6'-8" ht.	B-B
PS	7	Pinus strobus	Eastern White Pine	6'-8" ht.	B-B
<b>SHRUBS</b>					
TE	25	Thuja occidentalis 'Emerald'	Emerald Arborvitae	24"-36" ht.	B-B
VB	19	Viburnum x burkwoodii	Burkwood Viburnum	36" ht.	B-B

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**LANDSCAPE & LIGHTING PLAN**

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NO	BY	DATE	REVISION PER
5	ST	5/14/14	PER CLIENT REVIEW
1	TD	7/20/13	PC MEETING

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DESIGNED BY: TD  
 DRAWN BY: TD  
 CHECKED BY:  
 SCALE: 1" = 40'  
 JOB NO. 13-100  
 DATE: 5-31-13  
 SHEET NO. 6

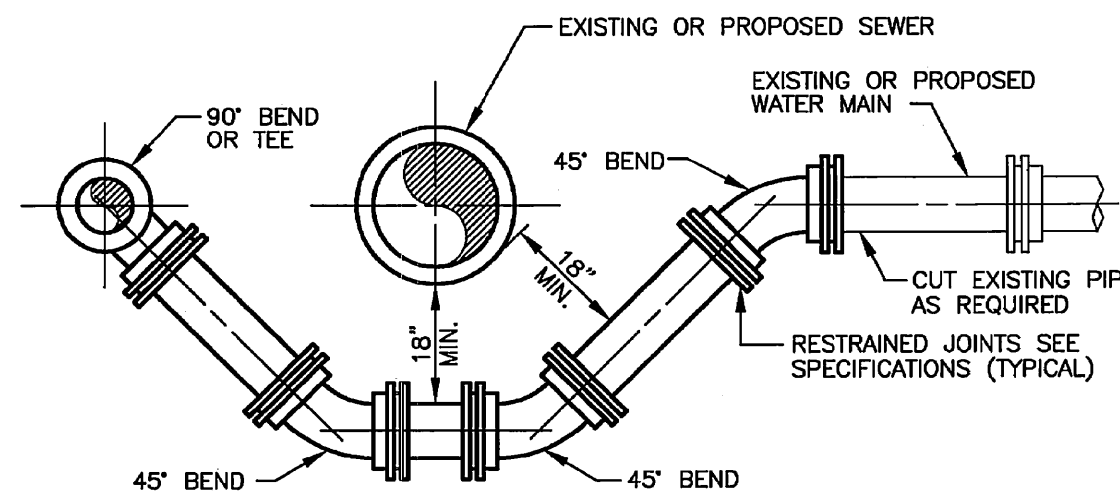




**PIPE RESTRAINT SCHEDULE**  
GROUND BURIED PRESSURE PIPE — POLYETHYLENE ENCASED DUCTILE IRON PIPE

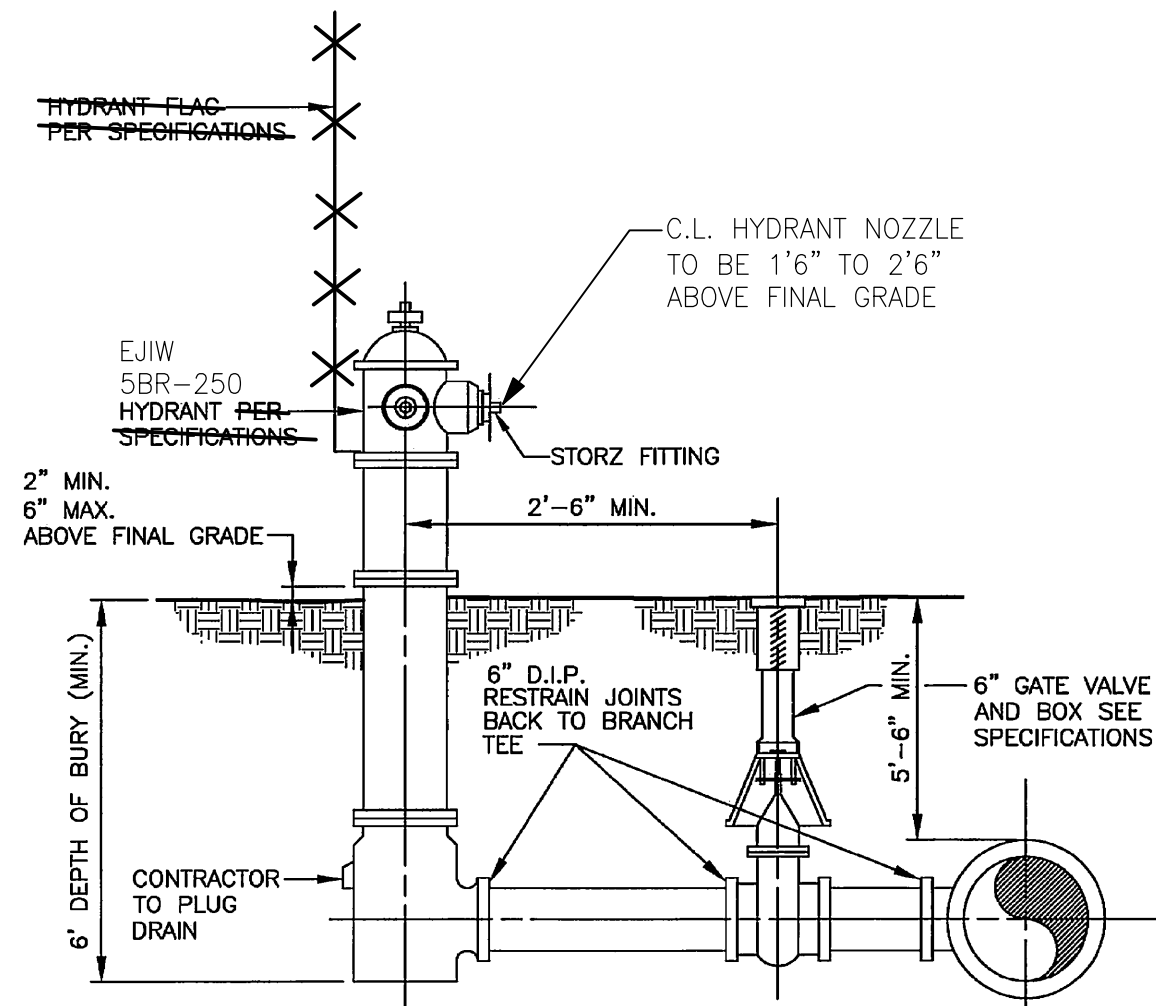
PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	---	---
6	19	8	4	2	58	31	---
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	188

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
  - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
  - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER). FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
  - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
  - IF THE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- \* SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.  
BASED UPON: INTERNAL PRESSURE: 180  
PIPE DEPTH: TYPE 5  
BEDDING CLASS: SOIL TYPE: GOOD SAND  
SAFETY FACTOR: 2

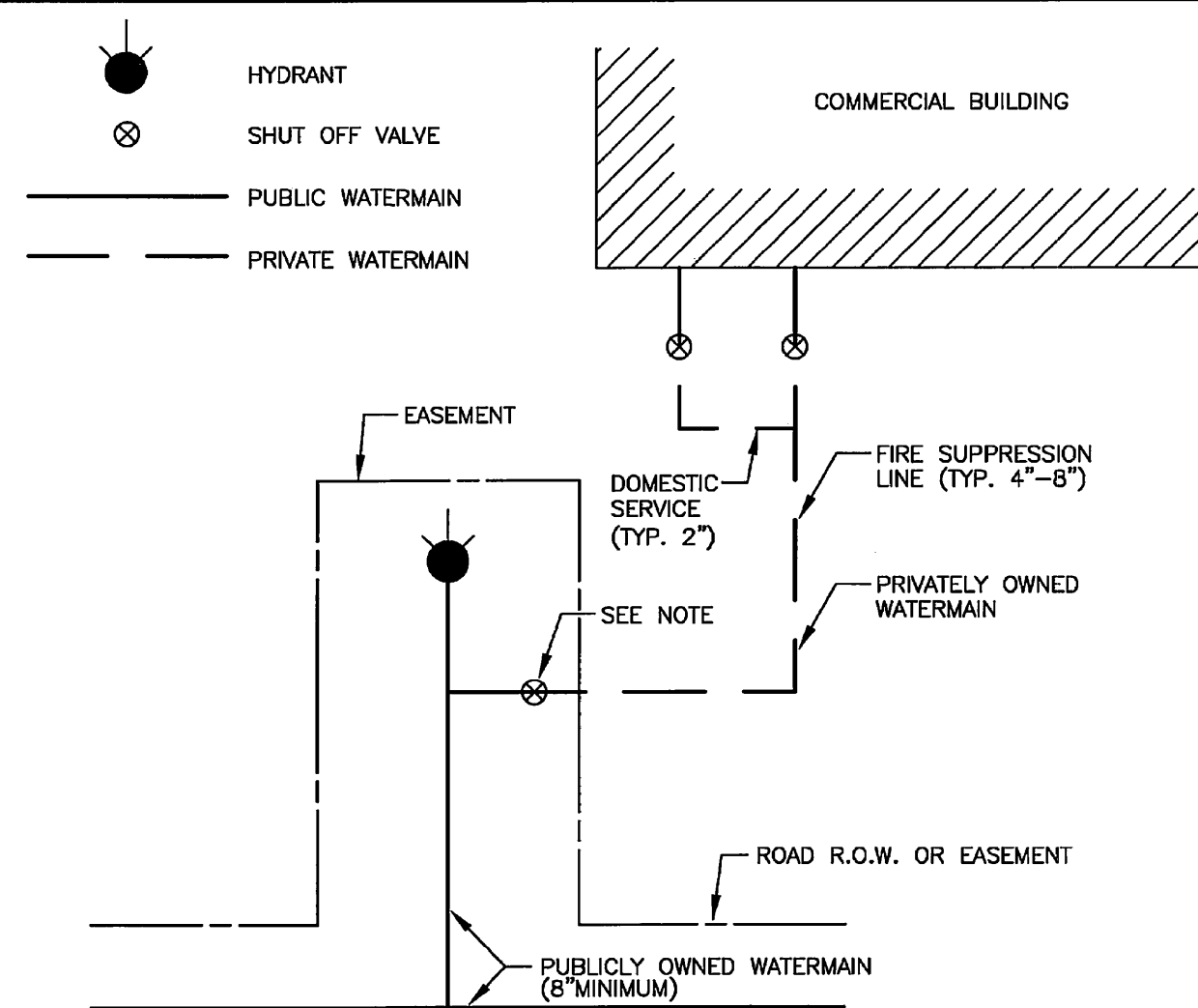


**WATER MAIN RELOCATION**

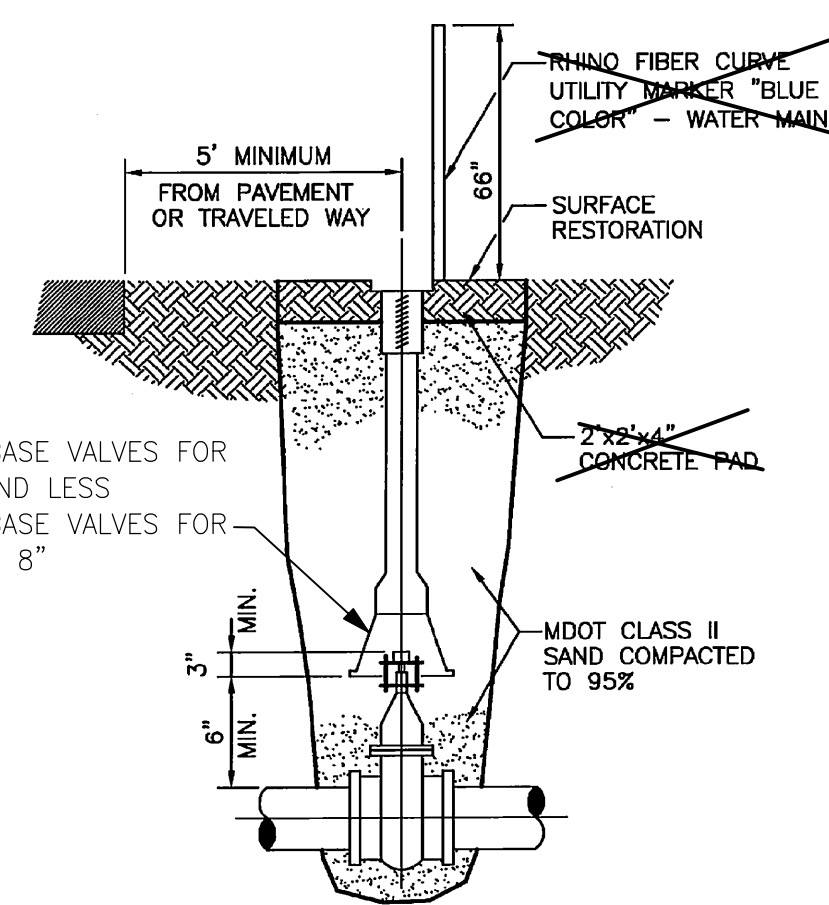
NOTE:  
EXISTING WATERMAIN TO BE CUT AND REMOVED AT POINTS INDICATED ON PLANS. PROPOSED WATERMANS TO BE CONNECTED TO CUT-ENDS OF EXISTING WATERMAIN. CONNECT PROPOSED WATERMAIN TO NEAREST JOINT OF EXISTING WATERMAIN. TEMPORARILY CAP THE EXISTING MAIN WHILE THE EXTENDED LOOP IS BEING CONSTRUCTED.



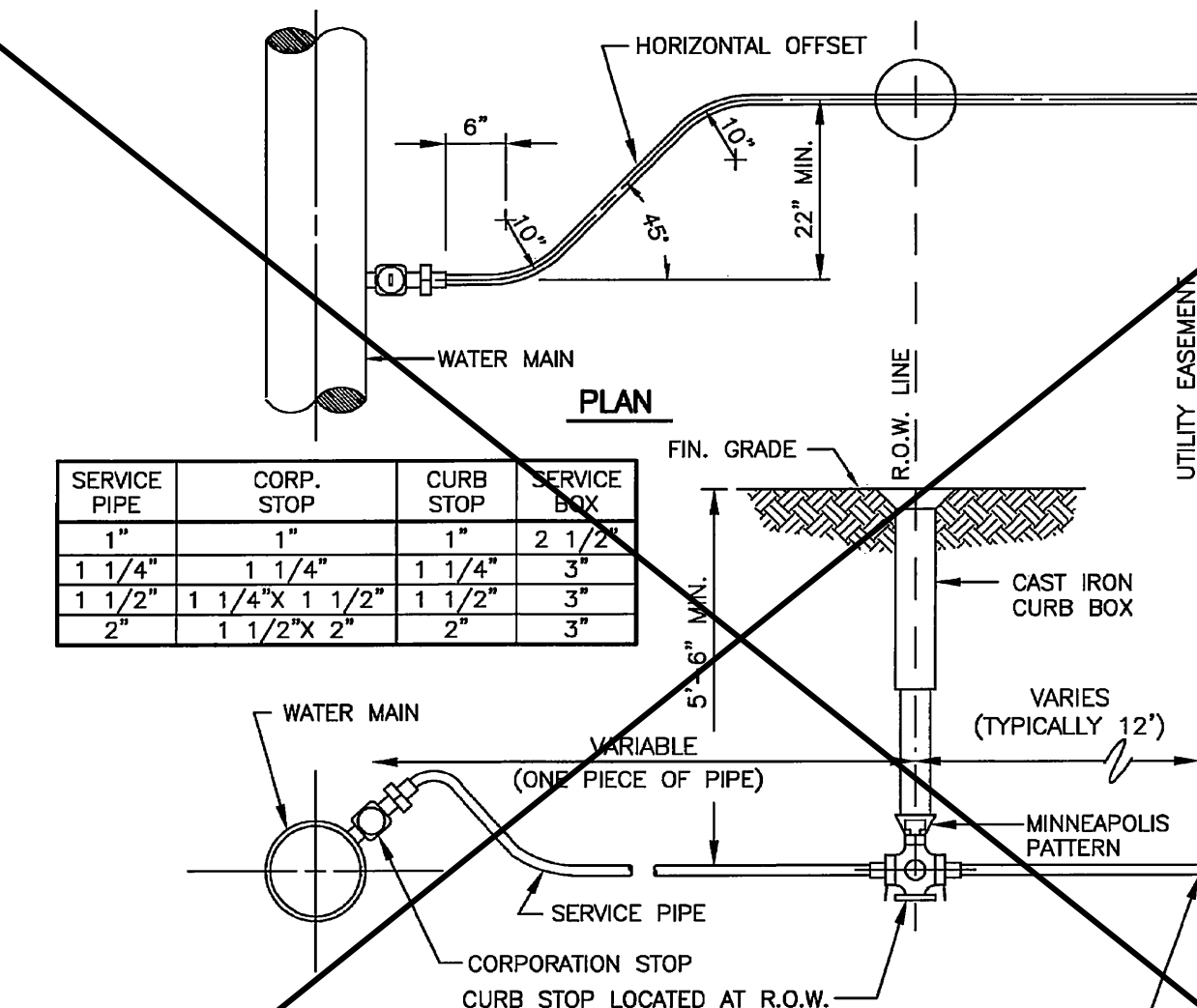
**FIRE HYDRANT ASSEMBLY**



**COMMERCIAL BUILDING WATER SERVICE LAYOUT**

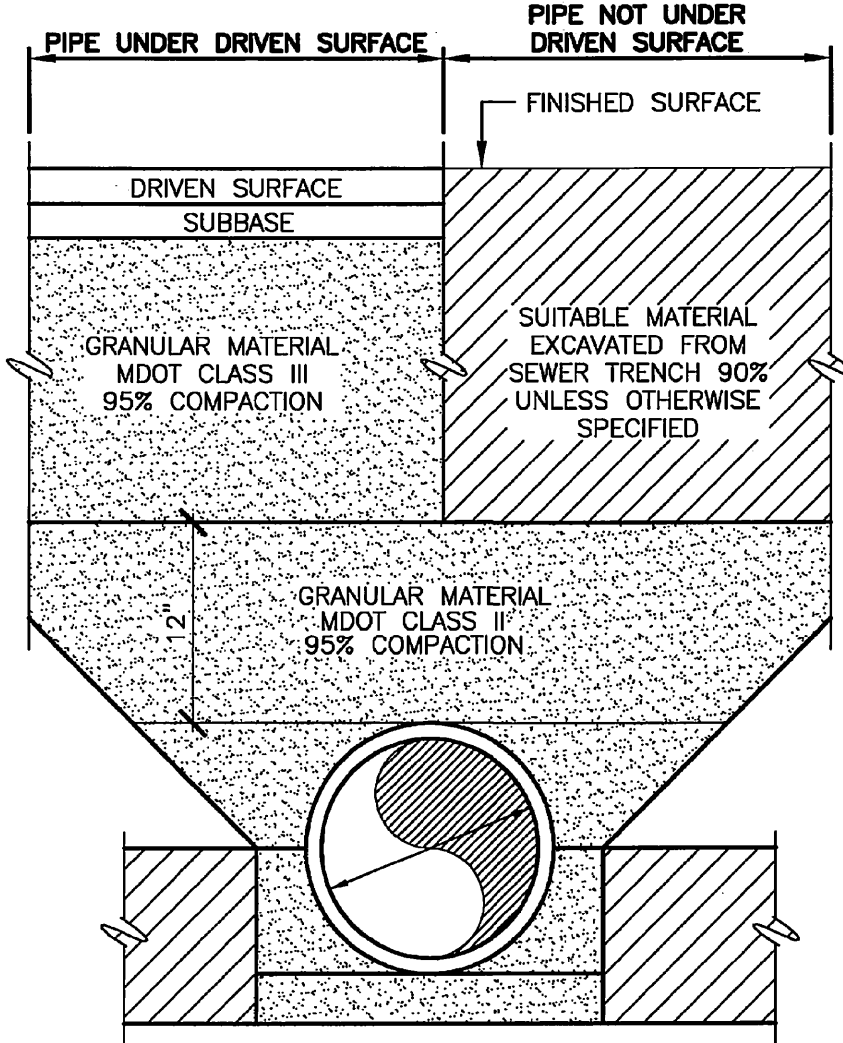
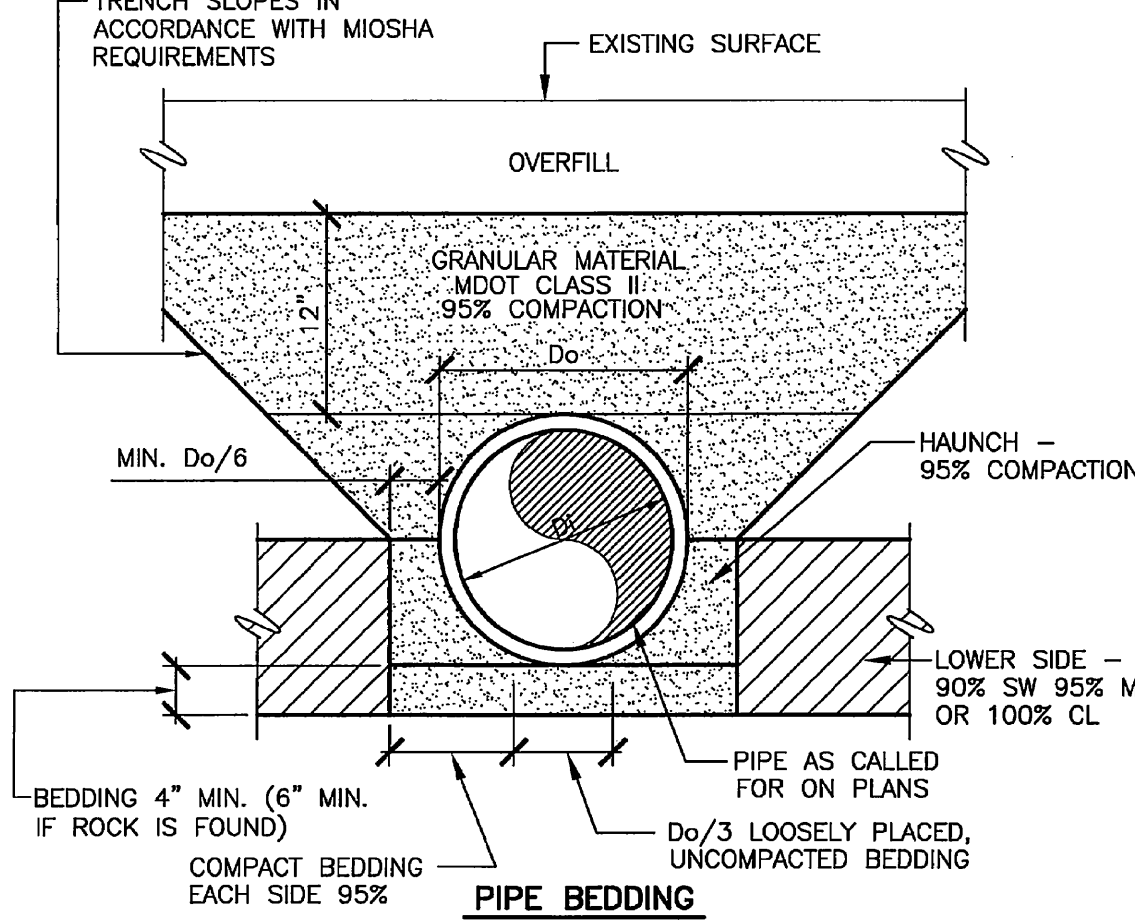


**GATE VALVE AND BOX**

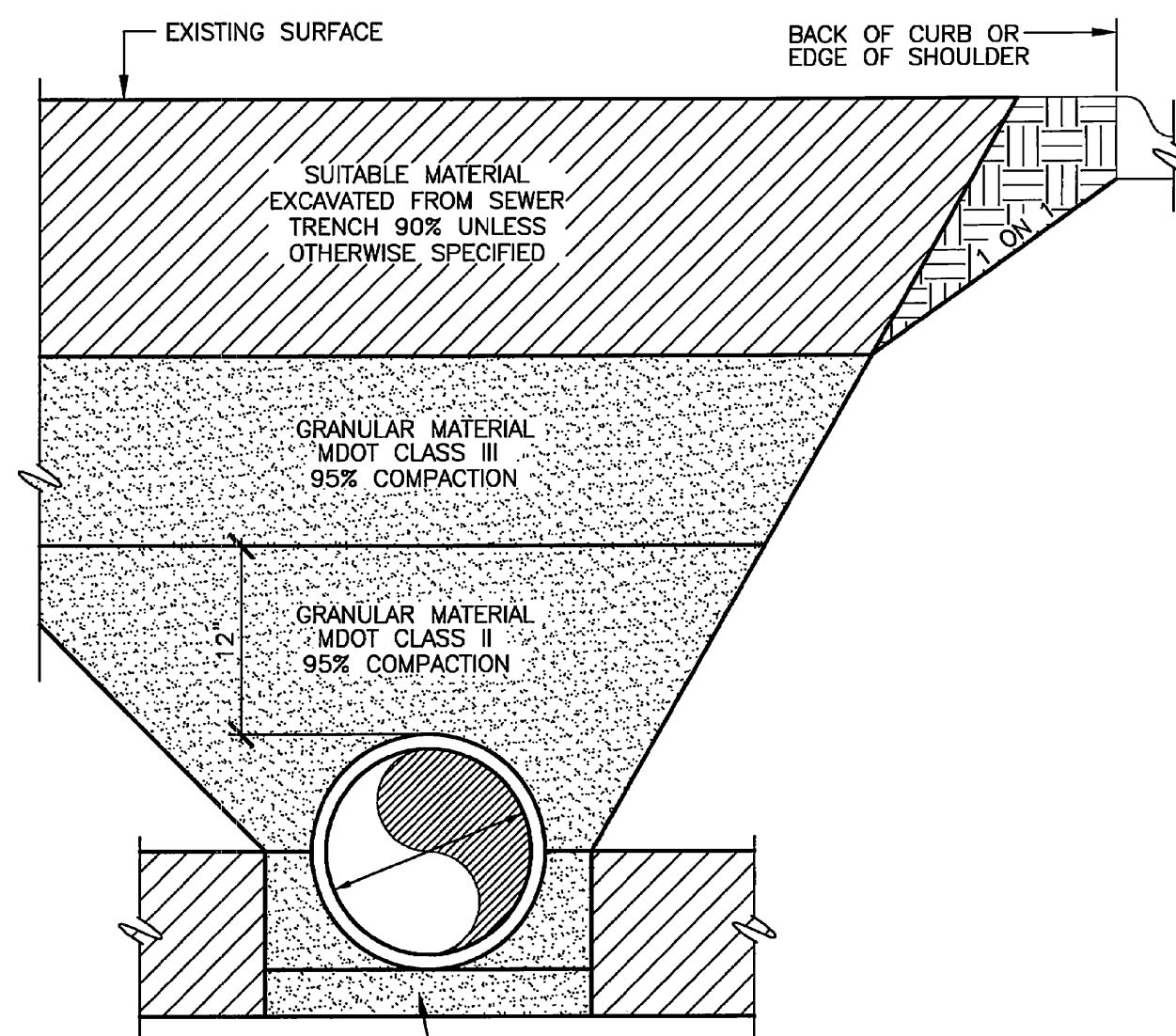


**SECTION WATER SERVICE LATERAL**

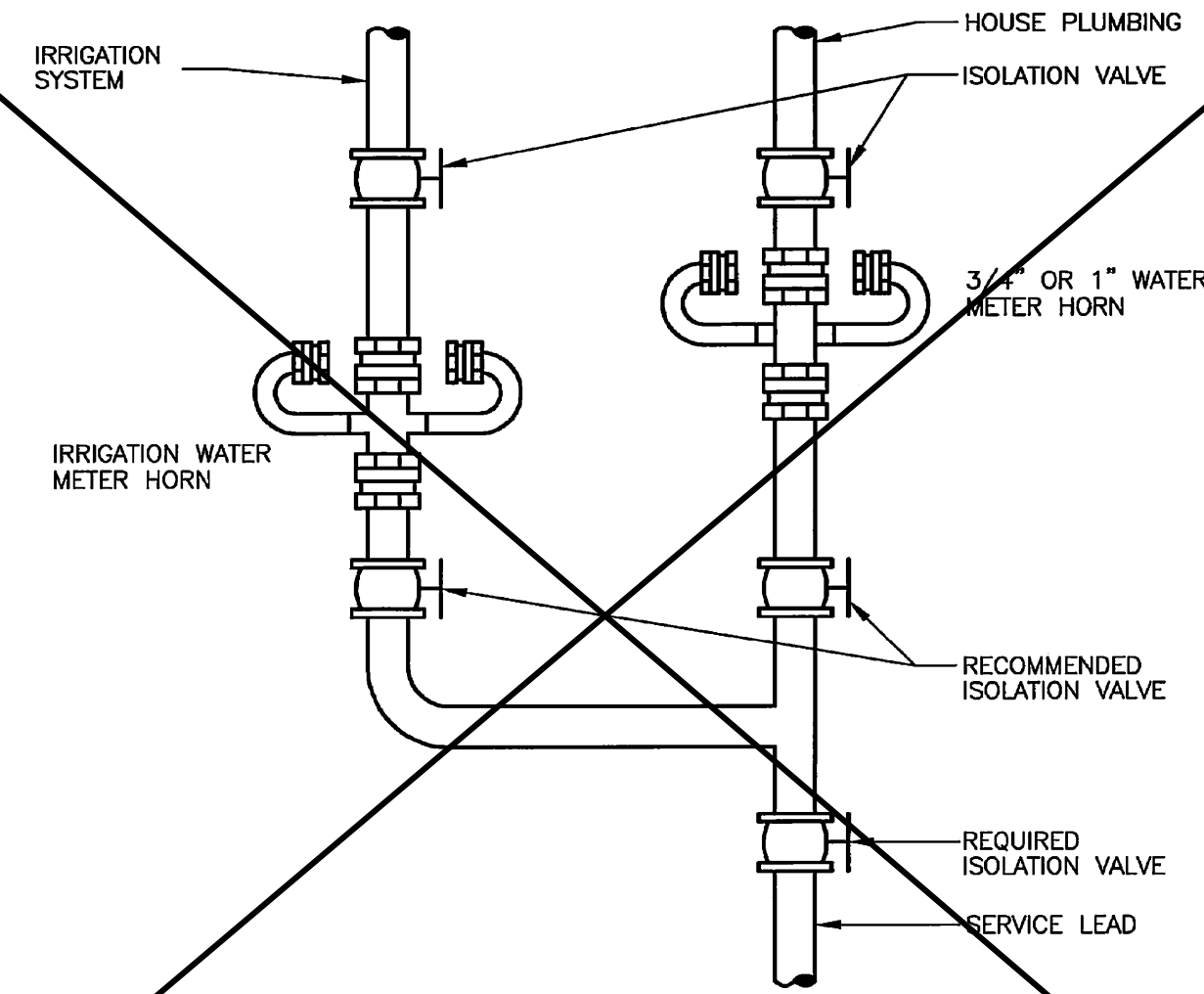
- NOTES:
- COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
  - MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
  - MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
  - DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.



**TRENCH EXCAVATION & PIPE BEDDING**



**PIPE WITHIN INFLUENCE OF DRIVEN SURFACE**



NOTE:  
ALL METERS ARE TO BE INSTALLED HORIZONTALLY IN A DRY, CLEAN, SANITARY LOCATION THAT IS READILY ACCESSIBLE. THIS DRAWING IS NOT TO SCALE & IS ONLY A REPRESENTATION OF HOW THE METERS SHOULD BE INSTALLED. THE SECOND METER IS OPTIONAL FOR IRRIGATION USAGE. METERS SHOULD NOT BE INSTALLED IN LINE (ONE RIGHT AFTER THE OTHER).

**TYPICAL METER HORN INSTALLATION**

**MARION HOWELL GENOA OCEOLA**  
Sewer and Water Authority

**WATER MAIN STANDARD DETAILS**

Scale: NONE  
Issued Date: 10-22-2007

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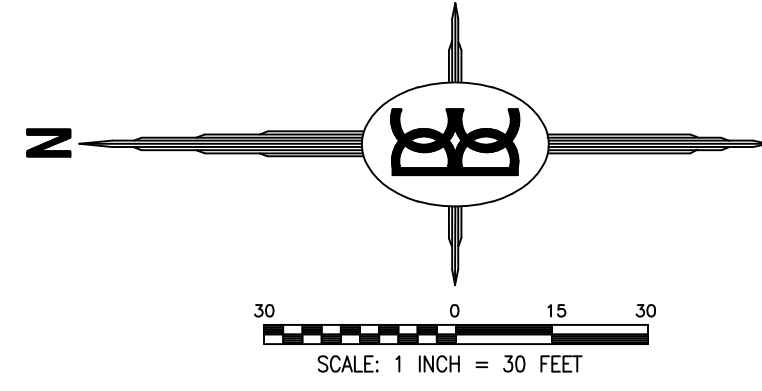
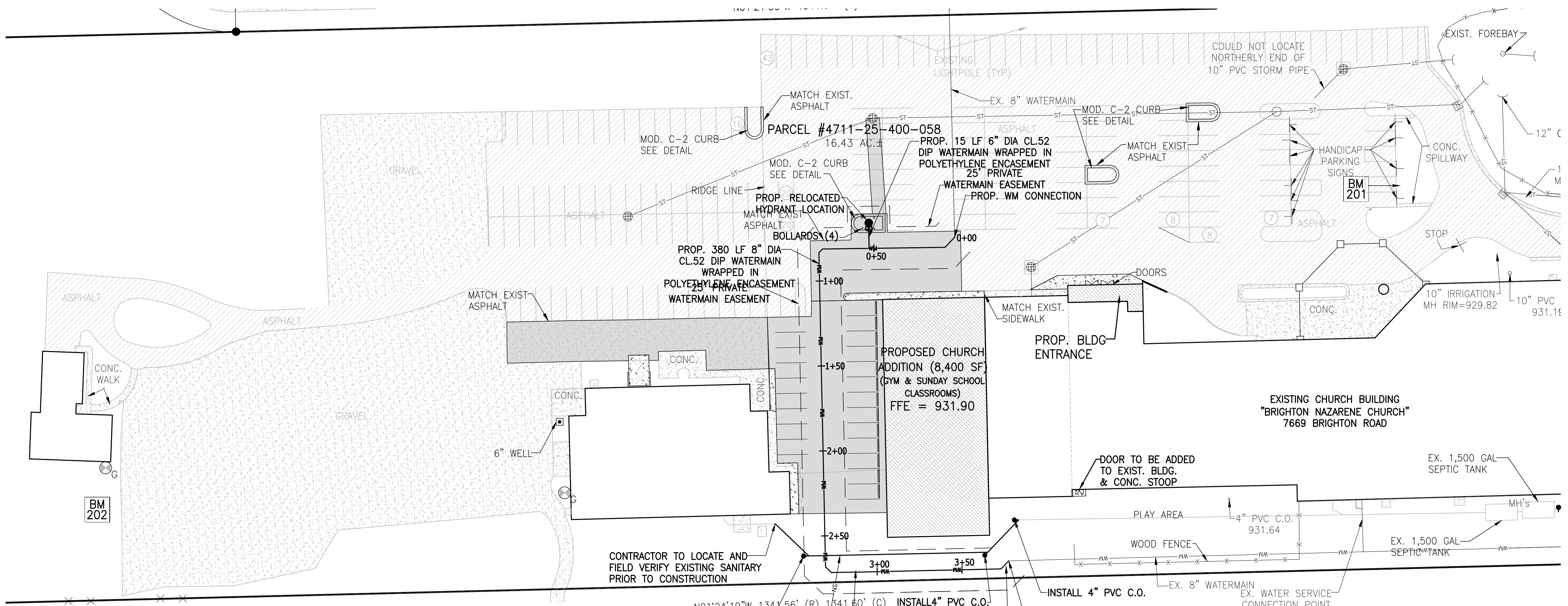
**CONSTRUCTION NOTES & DETAILS**

NO.	BY	REVISION	PER	DATE

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
SCALE: NO SCALE  
JOB NO. 13-100  
DATE: 6/27/13  
SHEET NO.

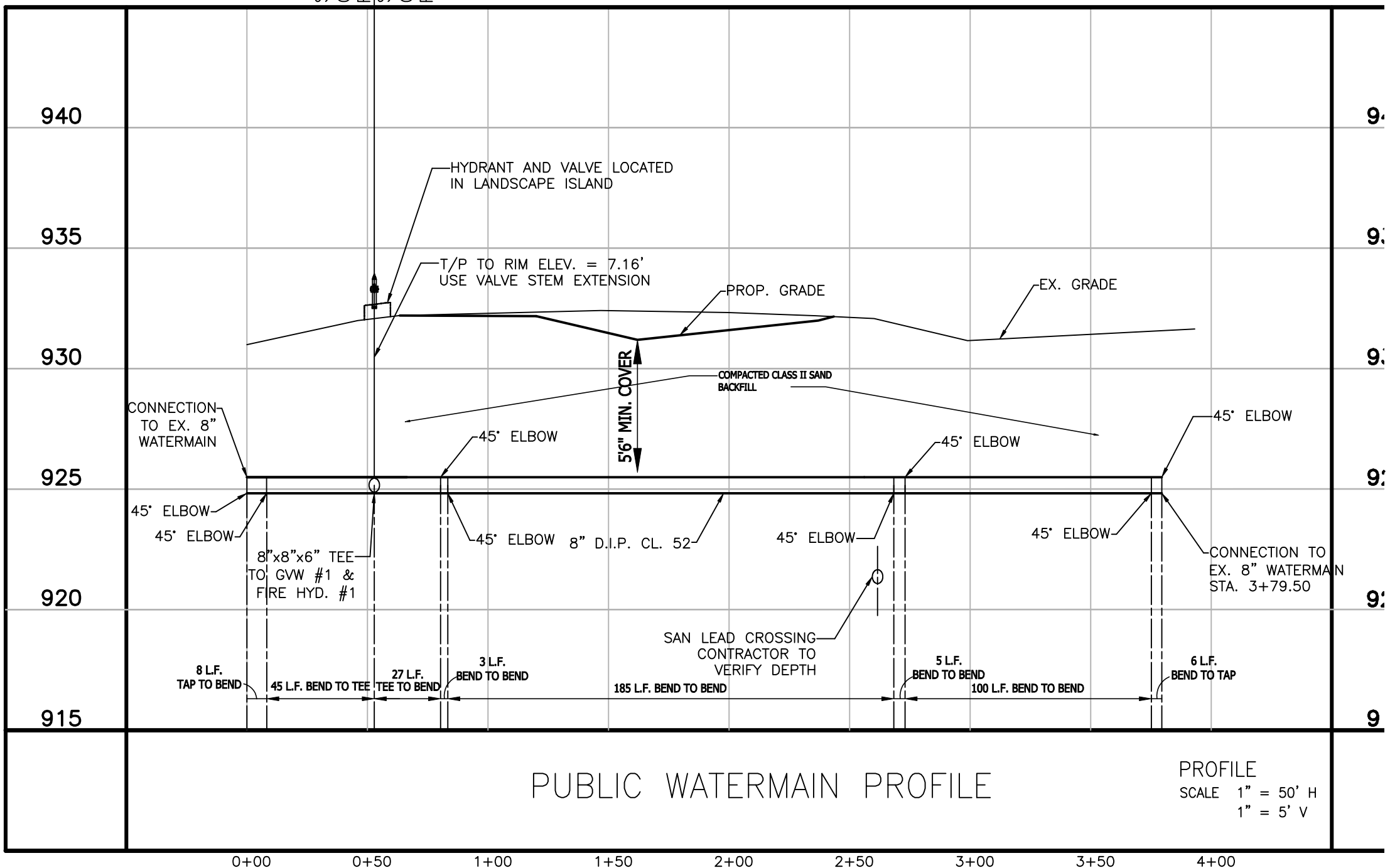


THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE NUMBER OF ANY CONDUITS, APPURTENANCES OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.  
BEFORE YOU DIG CALL MISS DIG  
1-800-4-A-DIG  
THE MISSISSIPPI VALLEY AREA



N01°24'19"W 1347.56' (R) 1541.60' (C) INSTALL 4" PVC C.O.  
 INSTALL 4" PVC C.O.  
 PROP. 171 LF SDR 23.5 4" SANITARY SEWER  
 INSTALL (2) 45° BENDS  
 INSTALL (2) 45° BENDS  
 PROP. WM CONNECTION  
 EX. WATER SERVICE CONNECTION POINT  
 EX. 8" WATERMAIN

STA 0+52.87  
 OFFSET 12.00 R  
 RIM 932.66  
 STA 0+52.87  
 OFFSET 15.00 R  
 RIM 932.86



PROPOSED (PR)	EXISTING (EX)	LEGEND
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
OH	OH	OVERHEAD WIRE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
○	○	MANHOLE
□	□	INLET / CATCHBASIN
⊂	⊂	FLARED END-SECTION
⊙	⊙	GATE VALVE
⊕	⊕	HYDRANT
⊖	⊖	UTILITY POLE
⊗	⊗	FENCE SIGN
⊘	⊘	WETLAND BOUNDARY
▒	▒	CONCRETE
▓	▓	ASPHALT
⊖	⊖	MODIFIED CURB
⊖	⊖	'NO PARKING FIRE LANE' SIGN

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 810-227-6600

NO.	DATE	REVISION PER
5	5/14/14	ST
1	10/2/13	ST

DESIGNED BY: ST  
 DRAWN BY: ST  
 CHECKED BY:  
 SCALE: 1" = 30'  
 JOB NO. 13-100  
 DATE: 9/12/13  
 SHEET NO. 9



**HOWELL  
MICHIGAN**

Community Development

611 E. Grand River • Howell, MI 48843

(517) 546-3861 • Fax: (517) 546-6030

## **City of Howell, Master Plan Revision Draft for Public Review**

April 16, 2015

To Whom It May Concern:

On behalf of the City of Howell Planning Commission, I am sending this letter to inform you that the City of Howell has approved the new City of Howell Master Plan for distribution. The approval, granted on April 15, 2015, begins the state-mandated 63-day review period. The scope of this update includes creating a completely new, city-wide Master Plan document.

In accordance with the Michigan Planning Enabling Act (Act 33 of 2008, as amended), this letter is to notify our neighboring local governments, county and regional governments, utilities, public transportation authorities and any other related entity that has requested this notification that the Plan is now available for your review and comment.

The City of Howell welcomes your cooperation and comments on the proposed plan. As mentioned in the Letter of Intent to Plan, the Plan is available in electronic format for review, and hard copies are available by request. The plan is available on the City website at [http://www.cityofhowell.org/CityofHowellMasterPlanDraft4\\_9\\_15.pdf](http://www.cityofhowell.org/CityofHowellMasterPlanDraft4_9_15.pdf)

Please forward your comments, questions or concerns to the City of Howell Community Development Department on or before June 17, 2015. Community Development staff are available at (517) 546-3861 for more information.

Sincerely,

Timothy R. Schmitt, *AICP*  
Community Development Director

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
APRIL 13, 2015  
6:30 P.M.  
MINUTES**

CALL TO ORDER: The meeting of the Genoa Township Planning Commission was called to order at 6:31 p.m. Present were Chairman Doug Brown, James Mortensen, Barbara Figurski, Eric Rauch, Diana Lowe, and Chris Grajek. Also present were Kelly VanMarter, Township Community Development Director and Assistant Township Manager; Brian Borden of LSL; Gary Markstrom of Tetra Tech.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: Upon motion of Barbara Figurski and support of James Mortensen, the agenda was approved as submitted. **Motion carried unanimously.**

CALL TO THE PUBLIC: No one wished to address the Planning Commission.  
*(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

**OPEN PUBLIC HEARING #1...** Review of a rezoning application, environmental impact assessment, and site plan for approximately 4.19 acres in Section 11, located at 6253 Grand River Avenue between Hughes Rd and Kellogg Rd, Howell, Michigan (Parcels 4711-11-300-021, 27, 28). The applicant has requested a rezoning to remove the Town Center Overlay District from the property (GCD/TC to GCD). The request is petitioned by Chestnut Development, LLC.

David LeClair of Livingston Architects and Heather Brandenburg of Lindhout Associates addressed the Planning Commission. The proposed site plan is for professional and medical offices. The project would be built in two phases. Each building is 14,500 square feet approximately. Each building would be split into two or four tenants. The existing drive would be reconfigured to align with the new development. The homes in back of the property have an easement currently and they would receive an easement for a new drive.

The materials are brick with stone banding above and below windows. There is a metal fascia, asphalt shingles and a similar style to the office buildings built at a later time. Photographs of the proposed materials were shown to the Planning Commission.

The petitioner is requesting the Town Center overlay designation be removed. The pond is not a wetland per the DEQ. The petitioner has obtained a permit for the portion of the wetland that will be interrupted. The outlet is to a county drain. The parking calculations reflect an abundance of parking. The petitioner is willing to do banked parking on the property along the back of the building. The front of the site appears to be sufficiently set up for parking. The petitioner believes the proposed plan is in line with what is currently along Grand River.

Mr. Borden reviewed his letter of March 17, 2015. Currently, the zoning and master plan are consistent. If changes are made to the zoning, then it's conceivable other changes may be needed. The two residences to the north are not part of the town center zoning, so they will not need to be considered.

Ms. VanMarter discussed expanding the area. The ordinance does not allow for staff to initiate rezoning. Mr. Mortensen discussed the history of the town center overlay briefly. He is of the opinion that it's time to address the overlay district as a whole. Ms. VanMarter indicated that there have been no inquiries about development in the overlay district in the last year. Chairman Brown expressed concern that the overlay district is proper.

Mr. Grajek discussed the fact that while this parcel is not developed and could be removed from the district easily, the neighboring parcels would not be since they were previously developed. He feels there's a reason that the district was established as it was, but at this point there is no need for a downtown area.

Mr. Rauch is in favor of removing this parcel, but would prefer to protect the areas at Hughes Road and Grand River as well as Dorr Road and Grand River. Ms. Figurski expressed agreement.

A call to the public was made. No one wished to address the Planning Commission regarding this agenda item.

**Planning Commission disposition of petition**

- A. Recommendation regarding Environmental Impact Assessment
- B. Recommendation regarding Rezoning from GCD/TC to GCD.

**Motion** by Barbara Figurski to recommend to the Township Board adoption of the environmental impact assessment dated March 4, 2015. Support by Diana Lowe.  
**Motion carried unanimously.**

**Motion** by James Mortensen to recommend to the Township Board approval of the rezoning of the property at 6253 Grand River Avenue from town center overlay district to its original underlying zoning of general commercial district. This recommendation is made because the use is consistent with the existing properties immediately to the east and west. Further, the Planning Commission is of the opinion that a township overlay type of building on this site in the absence of development of township overlay characteristics in the neighboring properties would be inappropriate. Further, the Planning Commission as part of this recommendation encourages Township Staff to commence an investigation and study of the township overlay zoning on all properties in the district for subsequent review by the Planning Commission and possible eventual recommendation to the township board. Support by Barbara Figurski.

Ayes: Lowe, Mortensen, Figurski, Rauch (4)

Nays: Grajek (1)

**Motion carried.**

**OPEN PUBLIC HEARING #2...** Review of a site plan and impact assessment for a proposed 15,480 sq. ft. office building, located at 6253 Grand River Avenue between Hughes Rd and Kellogg Rd, Howell, Michigan (Parcels 4711-11-300-021, 27, 28). The request is petitioned by Chestnut Development, LLC.

Mr. Borden addressed his letter of March 17, 2015 as it relates to this parcel. Approval of this site plan is inherently tied to the requested rezoning. The building will be 100% brick. The petitioner will submit a new drawing. The petitioner is requesting approval of phase one and phase two. Ms. VanMarter believes approval should be sought separately for phase two. Mr. Borden indicated phase one does not have sufficient parking for full occupancy. An area should be set aside for deliveries to occur without disrupting traffic around the site. Mr. LeClair anticipates UPS type deliveries but no other trucks. He will add that to the environmental impact assessment. They are deficient on the parking lot landscaping plan by one tree. Mr. LeClair agreed to add the tree. There is no anticipated outdoor lighting except wall packs on the building. Ms. VanMarter does want to see lighting plans and a photo metric.

Mr. Markstrom of Tetra Tech addressed his letter of April 2, 2015 with the Planning Commission. If a pump station is needed to service the lower building, it can be inside the building and maintained privately. The water main may need to be moved to prevent overlapping on the neighboring property. A lot of the storm water drainage is addressed in phase two, which caused concern. He has requested more information from the petitioner. The sewer line near Bordine's is shallow and this must be taken into consideration when grading. The plans should be re-submitted, splitting up what's done in each phase. Once usage is known, staff will make the final calculations for REU. The rates are \$15,100.00 per REU. (They have been increased).

The letters from the Livingston County Drain Commission and Brighton Area Fire Authority were reviewed. The requirements of the Brighton Area Fire Authority will be met, subject to further conversations regarding fire suppression systems.

Ms. VanMarter indicated that banked parking for phase two should be permitted.

Mr. Rauch inquired about the property immediately west of the phase one building. The parking for phase one encroaches onto that parcel of property. Mr. LeClair indicated that there is reciprocal parking with that neighbor. Mr. Borden reviewed ordinance section 14.06.11 and it indicates the Planning Commission may reduce setbacks where there is shared parking.

A call to the public was made. David Kerry of Hughes Road addressed the Planning Commission. His property abuts phase two. His property is also adjacent to the drain for the swamp. He is concerned about runoff. The drain on the west side of Hughes Road is choked with weeds and is working poorly. He is concerned about the flooding risk to his property.

The Drain Commission has met with Tetra Tech and the petitioner regarding the drainage issue and the petitioner has addressed those concerns.

Carol Kerry of Hughes Road addressed the Planning Commission, as well. She would like to see mature trees planted in the back corner. She is also concerned about the lighting plan.

**Planning Commission disposition of petition**

- A. Recommendation of Environmental Impact Assessment. (12-01-14)
- B. Disposition of Site Plan. (02-27-15)

**Motion** by Barbara Figurski to recommend to the Township Board adoption of the Environmental Impact Assessment dated 12/01/14, subject to them addressing the following additions:

1. REU's to be noted on the plans;
2. Banked parking;
3. No large trucks using the site;
4. DEQ permit will be provided.

This recommendation is subject to approval by the Township Board of the rezoning request. Support by Diana Lowe. **Motion carried unanimously.**

**Motion** by James Mortensen to recommend to the Township Board adoption of the site plan subject to:

1. Approval by the Township Board of the rezoning of this property from Township overlay district back to its original zoning of general commercial;
2. The Planning Commission recommends approval of the building elevations. The materials will be 100% brick rather than the block shown on the lower portion of the building. Petitioner will supply the materials board to the Township and it will become Township property;
3. The parking will be phased-in in such a way as to not be insufficient if sizeable medical use occurs in phase one. Consideration will be given to banking some of the parking in phase two if possible;
4. The petitioner understands that the granting of approval by the Township Board site plan is approved for one year with a potential of renewal each year for the next two years by Township staff;
5. The proposed spacing requirements between the two commercial driveways is recommended for approval in that it's indicated there's compliance with site distance standards;
6. Loading space will be provided at the northeast corner of the building in phase one;
7. One canopy tree will be added to the landscape plan on the west side of the property;
8. The petitioner understands that the lighting must comply with the Township standard in the ordinance. Further, the site plan includes no overhead lighting fixtures and is limited to wall packs on the building;
9. The Planning Commission recommends approval of the removal of the parking setback because of the presence of a shared driveway;

10. Further, this recommendation is conditioned upon the petitioner obtaining the easement to the property to the immediate west and the residential properties to the north;
11. The petitioner will comply with the requirements of the Township Engineer in his letter of 04/2/15. These requirements will be accomplished prior to the submission of the packet to the Board;
12. The requirements of the Livingston County Drain Commissioner in his letter of 03/25/15 will be complied with;
13. The requirements of the Brighton Area Fire Authority in their letter of 03/16/15 shall be complied with. It is understood that the petitioner will be discussing the requirements of a sprinkler system with the fire chief and that item may change.

Support by Barbara Figurski. **Motion carried unanimously.**

**OPEN PUBLIC HEARING #3...** Review of a special use, environmental impact assessment, and site plan for a proposed remote bank ATM in an existing parking lot, located at 3599 E. Grand River Avenue, Howell, Michigan, parcel # 4711-05-400-031. The request is petitioned by Chase Bank.

Andy Andre from Bud Design and John Krissoff from Chase Bank addressed the Planning Commission. They are hoping to install a remote ATM within the Grand River Plaza. The proposed light is smaller than the existing poles in the parking lot. There are three branch offices within 10 miles. They previously had a branch within Meijers, but no longer do.

Mr. Borden addressed the Planning Commission. Because it is a stand-alone ATM, it requires special scrutiny and a special use permit. The general special use standards have been met. The number of stacking spaces caused him concern. He believes a summary of the queuing study should be provided to the Township Board. It would be preferable to have a branch at this site, but the Township cannot require that. Mr. Mortensen inquired as to whether this site interfered with traffic. Mr. Rauch agreed.

Mr. Borden addressed the potential of a blind spot and traffic conflict. He believes it to be the most important consideration. The petitioner will install a "No Right Turn" sign. He believes this is an underutilized portion of the property and therefore, it should not be an issue. Mr. Mortensen disagrees. Moving it down a few traffic spots was discussed. The petitioner indicated that their margin for profit may not allow it.

Mr. Grajek inquired as to whether petitioner would be amenable to adding brick or another material to dress it up. Mr. Rauch asked about the six signs that are currently proposed. Mr. Rauch suggested moving the angle of the drive thru and ATM.

The construction would take approximately three weeks.

A call was made to the public. Rob Vedro from Blue Frog Books addressed the Planning Commission. He would like to see the road between the parking lot and the



Meijers parking lot finished. There is approximately 12 feet unconnected. He feels it would be a better location for the ATM.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use
- B. Recommendation of Environmental Impact Assessment (03-05-15)
- C. Recommendation of Site Plan (02-20-15)

The petitioner requests to table this review. **Motion** by James Mortensen to table this matter until the 05/11/15 Planning Commission meeting. Support by Barbara Figurski. **Motion carried unanimously.**

**OPEN PUBLIC HEARING #4...** Review of a site plan, environmental impact assessment, and PUD amendment for a proposed redevelopment of an existing outparcel to create two (2) outlots and construct a 4,283 sq. ft. restaurant building, located at 3950 E. Grand River Avenue, Howell, Michigan 48443, parcel # 4711-05-400-047. The request is petitioned by RG Properties, Inc.

Jim Blair of RG Properties, Dan Kelp with Panera, and Matthew with Arc Vision addressed the Planning Commission. They are seeking approval for the demolishing of a building and to erect a Panera Bread restaurant building with a drive-thru restaurant building next door.

Panera is undergoing design changes for their standard buildings. A materials board was provided. There is a patio planned at this location, as well.

There are two parking spaces that should be deleted. Additionally, the curb should be mountable in order to escape the drive-thru. Mr. Rauch expressed his concerns about the driving lanes. Bo Gunlock pointed out that the curb cuts are existing. Chairman Brown indicated that's already understood. Mr. Rauch showed the petitioner his suggested changes.

Mr. Borden addressed the unresolved issues in his letter of April 6, 2015. There should be some sort of signage about pedestrians, such as "Ped X'ing" on the pavement. The petitioner is proposing to retain existing landscaping in the green belt. There are no details to determine if ordinance has been met. The lighting plan is not specific as to what lights will be used. More detail is needed. There are three monument signs proposed.

Ayes: Lowe, Mortensen, Figurski, Rauch (4)  
Nays: Grajek (1)

**Motion carried.**

**OPEN PUBLIC HEARING #5...** Review of a sketch plan for a proposed 876 sq. ft. office addition located at 5000 E. Grand River Avenue, Howell, Michigan, parcel # 4711-10-300-007. The request is petitioned by Champion Chevrolet.

Kathy Kaminski addressed the Planning Commission on behalf of Champion Chevrolet. Stan Schafer had to leave the meeting earlier this evening and so she will answer any questions the Planning Commission has.

Brian Borden reviewed his letter of April 2, 2015 with the Planning Commission. Chairman Brown asked Kelly VanMarter to put together a report of how many smaller projects have been requested/performed by the petitioner in the last few years.

Mr. Markstrom discussed his letter of April 7, 2015. He does not have any issues with this proposal except the size of the building is being increased, so there will be a change in REU's.

A call was made to the public. No one was present to address the Planning Commission.

**Planning Commission disposition of petition**

A. Disposition of Sketch Plan. (03-26-15)

**Motion** by James Mortensen to approve the sketch plan subject to:

1. The building materials and colors will match the existing building;
2. Any future modification to the site requiring review and/or approval by the Township Planning Commission will require full site plan review plus a review of whether parking and vehicle storage are consistent with past reviews;
3. Review the possible combination of the three parcels;
4. The requirements of the Township Engineer in his letter of 04/27/15 will be complied with;
5. The requirements of the Brighton Fire Authority in their letter of 04/06/15 will be complied with.

Support by Barbara Figurski. **Motion carried unanimously.**

**OPEN PUBLIC HEARING #6**...Request for review of amendments to the Genoa Charter Township Planning Commission Bylaws.

Kelly VanMarter indicated the only change was that a person abstaining from a vote is not required to leave the room.

**Planning Commission disposition of petition**

A. Disposition of Bylaws

**Motion** by Diana Lowe to approve the amendments to the Bylaws. Support by James Mortensen. **Motion carried unanimously.**

**Administrative Business:**

- *Staff report. Kelly VanMarter made a staff report on the upcoming meeting agenda.*
- *ZBA Annual Report 2014.*

04-13-15 Unapproved Minutes

- *Approval of February 9, 2015 Planning Commission meeting minutes. **Motion** by Barbara Figurski to approve the minutes as correct. Support by Chris Grajek. **Motion carried unanimously.***
- *Member discussion*
- *Adjournment. **Motion** by Barbara Figurski to adjourn this meeting. Support by Chris Grajek. **Motion carried unanimously. Meeting adjourned at 10:45 p.m.***