

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
March 17, 2015, 6:30 P.M.
AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 14-25 ... A request by Chilson Pointe LLC, 4666 Brighton Road, for a variance from the maximum allowable size of a detached accessory building to construct a detached accessory structure.
2. 15-03 ... A request by Carol and Jack Gatewood, 1022 S. Hughes Road, a variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.

Administrative Business:

1. Approval of minutes for the February 17, 2015 Zoning Board of Appeals meeting.
2. 2014 Year End Report Executive Summary
3. Correspondence
4. Township Board Representative Report
5. Planning Commission Representative Report
6. Zoning Official Report
7. Member Discussion
8. Adjournment

**GENOA TOWNSHIP
ZONING BOARD OF APPEALS
March 17, 2015
6:30 P.M.**

The Genoa Township Zoning Board of Appeals will hold a public hearing at Genoa Township Hall, 2911 Dorr Road, Brighton, MI, 48116 for the following variance request at the March 17, 2015 regular meeting:

1. 15-03 ... A request by Carol and Jack Gatewood at 1022 S. Hughes Road, for a variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.

Please address any written comments to the Genoa Township Zoning Board of Appeals at, 2911 Dorr Rd, Brighton, MI 48116 or via email at ron@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Genoa Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact the Genoa Township Hall at (810) 227-5225 at least seven (7) days in advance of the meeting if you need assistance.

Published: BA-LCP 3-1-15



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: March 13, 2015
RE: ZBA 14-25

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

On February 20, 2015 I received an e-mail from Joe Perri requesting that the Zoning Board of Appeals postpone decision on his variance request until the April 21, 2015 meeting. The e-mail has been attached to this memo.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Ron Akers

From: jpperri01@gmail.com on behalf of Joe Perri <jpperri@remax.net>
Sent: Friday, February 20, 2015 12:09 PM
To: Ron Akers
Subject: March Meeting

Follow Up Flag: Follow up
Flag Status: Flagged

Please ask the board to postpone or table my motion from the March meeting to the April meeting as I am out of town for the March meeting.

--

Warm Regards,
Joe Perri, Realtor
RE/MAX Platinum
Cell: 517-404-8404
Office: 810-844-2339
Fax: 810-227-4465 (Attn: Joe Perri)
6870 Grand River Ste. 200 Brighton MI 48114

[Member of the RE/MAX Hall of Fame](#)
[Member of the RE/MAX Platinum Club](#)

Please include property addresses and/or MLS# to aid in processing the information contained in this email.

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 15-03

Meeting Date: 3/17/15

PAID Variance Application Fee (\$125.00 for residential - \$300.00 for commercial/industrial)

Copy of Paperwork to Assessing Department

- **Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: CAROL & JACK GATEWOOD

Property Address: 1022 S. HUGHES RD. Phone: 313-363-3000

Present Zoning: LRR Tax Code: 11-10-201-003

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: SEE ATTACHED SHEET

2. Intended property modifications: DEMO EXISTING HOME
CONSTRUCT NEW HOME

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) EXISTING HIGH WATER TABLE/FLOOD PLAIN ELEVATION, WIDTH OF PROPERTY SITE

b. Other (explain) _____

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8½ and 14 in size.
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 2/18/15 Signature: T Maguran
TED MAGURAN, AGENT

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

VARIANCE REQUESTED

1. **HEIGHT VARIANCE** of 4.5' is requested. The proposed new home height of 29.5' exceeds the maximum allowable building height of 25.0'. The finished floor elevation of the new home, with crawl space underneath, has been raised, by design, because of the existing high water table/flood plain elevation conditions of the property site.
2. **SIDE YARD SETBACK VARIANCE** of 2.5' is requested. The proposed new home fireplace chimney will encroach 2.5' into the required side yard setback of 10.0' because of the width of the property site. Porches/HVAC equipment/bay windows/ stair-ways, etc. are permitted projections into the required side yard setback. Fireplace chimneys, similar to permitted projections, are a normal and typical feature on a home. Allowing the fireplace chimney projection into the required side yard setback will ensure fair treatment.
3. **SIDE YARD SETBACK VARIANCE OF A PERMITTED USE** of 1.0' is requested. The proposed new home side porch will project 4.0' into the required side yard setback of 10.0' because of the width of the property site. Porches are a permitted 3.0' projection into the required side yard setback. The existing high water table/flood plain has raised the finished floor elevation, with crawl space underneath, of the proposed new home. The top of the proposed side porch, approximately 3.5' above grade, will require a safety railing around the porch perimeter. The railing will reduce the net useable porch top surface to less than 3.0'. The proper use of the proposed 3.0' wide, out-swing, storm door will require a 4.0' porch top surface to ensure safety of use.

Charter Township of Genoa
ZONING BOARD OF APPEALS
March 17, 2015
CASE #15-03

PROPERTY LOCATION: 1022 S. Hughes

PETITIONER: Carol & Jack Gatewood

ZONING: LRR (Lake Resort Residential District)

WELL AND SEPTIC INFO: Sewer, Well

PETITIONERS REQUEST: A variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.

CODE REFERENCE: Section 3.04.01 (Side yard setback and building height) & Section 11.01.04 (Projections into required yard)

STAFF COMMENTS: See Attached Staff Report

	Front	One Side	Other Side	Shoreline	Height	Permitted Projection into Required Yard for Uncovered Porch
Required Setbacks	35'	5'	10'	116.5'	25'	3'
Setbacks Requested	74.4'	5.2'	7.5'	112'	29.5'	4'
Variance Amount	N/A	N/A	2.5'	4.5'*	4.5'	1'

* Applicant will need a shoreline setback variance, but this was not identified until after the publication deadline. Due to this we cannot consider the shoreline setback variance request until the appropriate notices are published.



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: March 10, 2015
RE: ZBA 15-03

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#15-03

Site Address: 1022 S. Hughes Rd

Parcel Number: 4711-10-201-003

Parcel Size: 0.325 Acres

Applicant: Carol & Jack Gatewood, 1022 S. Hughes Rd, Howell, MI 48843

Property Owner: Same as Applicant

Information Submitted: Application, site plan, building plans

Request: Dimensional Variances

Project Description: Applicant is requesting a variance from the maximum allowable building height, a variance from the required side yard setback and a variance from the maximum permitted projection into a required yard for an unroofed porch, in order to construct a single family dwelling.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 1, 2015 and 300 foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the parcel has an existing single family dwelling (2,754 square feet) built in 1950 and a detached garage (720 square feet).
- The single family dwelling is connected to public sewer and has an existing well.
- There is an existing sewer main easement which bisects the property.
- See Real Estate Summary and Record Card.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

Summary

The proposed project is to demolish the existing house on the property and construct a new single family dwelling. In order to do this the applicant has requested three (3) different variances. These requests are a 4.5' height variance for the proposed house, a side yard setback variance for a chimney which extends into the setback 2.5' and a variance to allow an uncovered porch to extend into the required side yard four 4'. The rationale for these variances will be discussed below. During a preliminary review of the application it was discovered near the publication deadline that there was a sewer main easement which bisected the property between the detached garage and the existing house. The applicant discovered that a portion of the proposed house fell within that easement. In order to maintain the house design the applicant has proposed to move the house closer to the lake, which will require them to obtain a shoreline setback variance. This variance cannot be considered at this meeting due to the request not having been included in the publication. We can, however, consider the original three (3) variance requests which is the wish of the applicant.



Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

Table 3.04.01: Maximum Building Height: 25' Building Height Proposed: 29.5'

Table 3.04.01: Required Side Yard Setback: 10' Proposed Side Yard Setback: 7.5'

Sec. 11.01.04: Permitted Projection for Unroofed Porches into Required Side Yard:

a. Permitted: 3'

b. Proposed: 4'

Standards for Approval

The following are the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Summary of Findings

Please note that in order for a variance to be approved it has to meet all of the standards in 25.05.03.

The following are findings based upon the presented materials.

Practical Difficulty/Substantial Justice:

- A. Height Variance – The applicant has stated that strict compliance with the height requirements in the Zoning Ordinance would unreasonably prevent them from constructing a two story home on the property. The applicant has raised the first floor height of the building to approximately 4'2" to ensure that the finished floor height is far enough above the water table (which according to the applicant is only at 12" in spots) to ensure that the moisture does not rot the floor joists. The presence of the high water table does present a difficulty for the applicant to construct their proposed home because they are unable to construct the home on a lower foundation such as a slab which would conform with the height requirements in the Zoning Ordinance.
- B. Side Yard Setback Variance – Strict compliance with the side yard setback would create difficulties in fully utilizing the available building envelope on the property. As depicted on the site plan, there is a sewer main easement which bisects the property between the detached garage and existing house. Due to the applicants inability to building a structure within that easement the depth aspect of the building envelope is limited which causes the applicant to fully utilize the lot width. The only portion

of the structure that does not comply with the side yard setback requirements for the LRR district is the chimney which extends 2.5' out further than the wall of the building. There are no allowable exceptions in the Zoning Ordinance to allow for this without a variance. The applicants have made an effort to ensure the actual house wall is within the required setbacks.

- C. Permitted Projection into Side Yard - Strict compliance with the permitted projection into the required side yard for an unroofed porch would unreasonably prevent the use of the side door because it would prevent the property owners from having the ability to fully open a three foot door. Building code requires that porches which exceed 31" have railings installed on them and if these railings are installed within the allowable deck footprint it would not leave sufficient space for a three foot door to fully swing open. This is a concern because a three foot door is an ADA standard.

Extraordinary Circumstances:

- A. Height Variance – The extraordinary circumstances are due to the high water table (12" below surface in some locations) on the property which creates a need to construct the home on a crawl space and maintain a higher than normal finished floor height.
- B. Side Yard Setback Variance – The exceptional or extraordinary circumstances that are applicable to this property is the presence of a sewer easement which bisects the property between the house and detached garage. This limits the building envelope on the property and creates the need for the side yard setback variance.
- C. Permitted Projection into Side Yard – As discussed in the previous request, the presence of the sewer main easement is an extraordinary circumstance applicable to the property. The need for this variance is created by the zoning requirement which would prevent the applicant from fully opening a three foot door and the required height of the unroofed porch.

Public Safety and Welfare – The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Impact on Surrounding Neighborhood – The proposed variance would have little impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

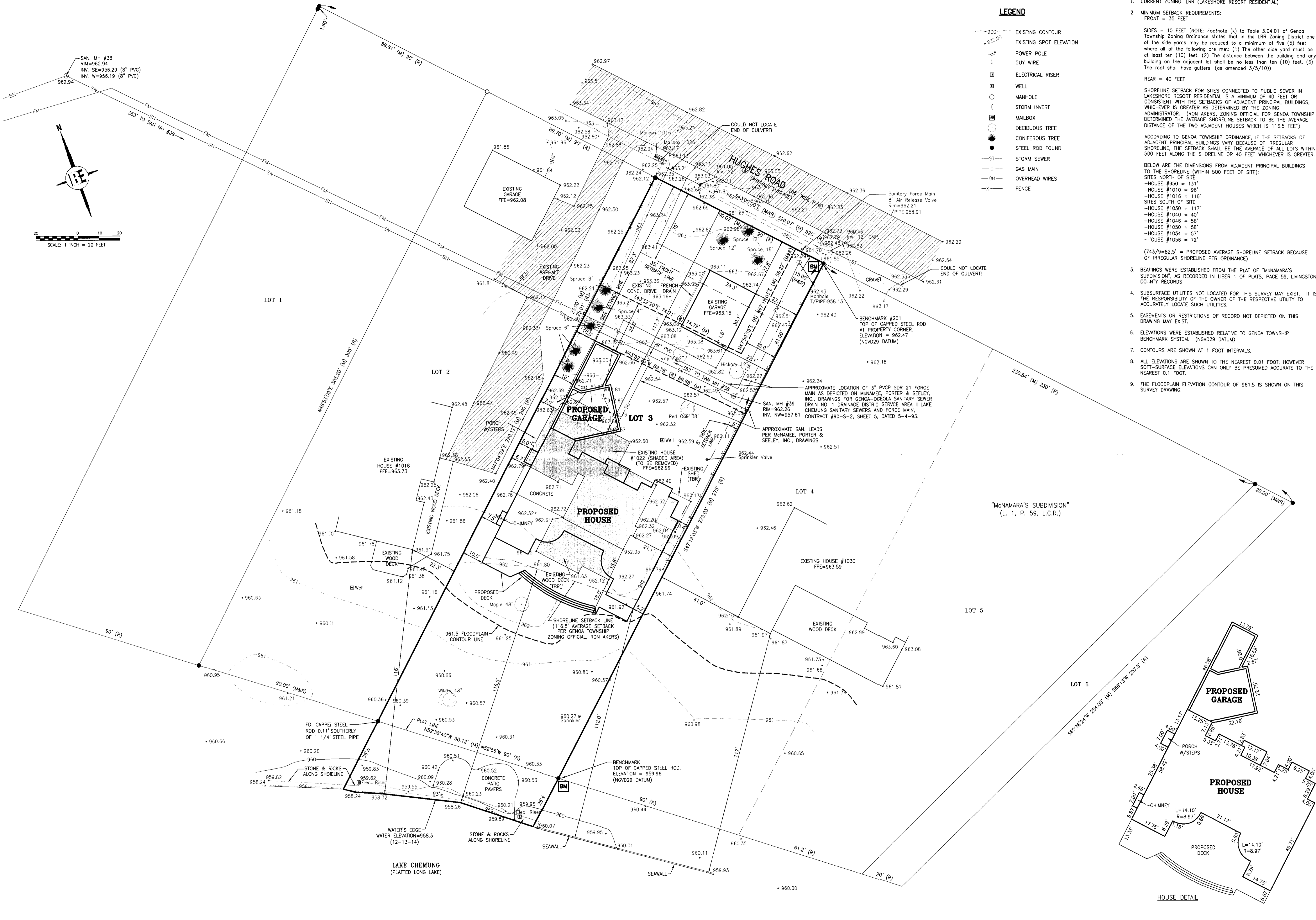
Staff Findings of Fact

1. Strict application of the maximum allowable height would prevent the applicants from constructing their home as they have proposed it due to the presence of a high water table of 12" in some locations.
2. Strict application of the side yard setback requirement would create a difficulty due to the presence of a sewer main easement which bisects the property and limits the building envelope.
3. Strict application of the permitted projection into a required side yard for an unroofed porch would prevent the applicants from being able to fully open a three foot wide door due to the building code requirement that railings be installed.
4. The extraordinary or exceptional circumstances applicable to the property are the presence of a sewer main easement and the high water table.
5. The need for the variances is due to the existing sewer main easement which bisects the property between the detached garage and house and the high water table.
6. Granting of the requested variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or

endanger the public safety, comfort, morals or welfare of the inhabitants of the Township. The majority of the building will meet the required setbacks in the Zoning Ordinance and the encroachments are minor in nature.

7. Granting the requested variances will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The applicant is proposing to construct a single family dwelling which is allowed in the LRR zoning district and the minor encroachments will not have a substantial impact upon properties in the vicinity.

PLOT PLAN

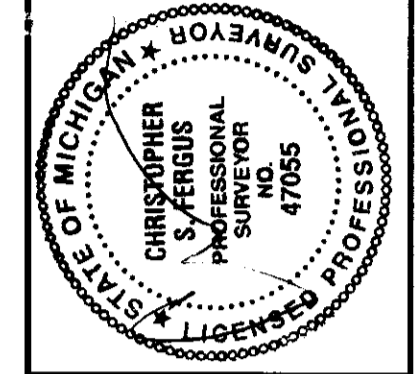


LEGEND

- 900 EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- POWER POLE
- GUY WIRE
- ELECTRICAL RISER
- WELL
- MANHOLE
- STORM INVERT
- MAILBOX
- DECIDUOUS TREE
- CONIFEROUS TREE
- STEEL ROD FOUND
- STORM SEWER
- GAS MAIN
- OVERHEAD WIRES
- FENCE

GENERAL SURVEY NOTES:

1. CURRENT ZONING: LRR (LAKESHORE RESORT RESIDENTIAL)
2. MINIMUM SETBACK REQUIREMENTS:
FRONT = 35 FEET
SIDES = 10 FEET (NOTE: Footnote (k) to Table 3.04.01 of Genoa Township Zoning Ordinance states that in the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met: (1) The other side yard must be at least ten (10) feet. (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet. (3) The roof shall have gutters. (as amended 3/5/10))
REAR = 40 FEET
SHORELINE SETBACK FOR SITES CONNECTED TO PUBLIC SEWER IN LAKESHORE RESORT RESIDENTIAL IS A MINIMUM OF 40 FEET OR CONSISTENT WITH THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS, WHICHEVER IS GREATER AS DETERMINED BY THE ZONING ADMINISTRATOR. (RON AKERS, ZONING OFFICIAL FOR GENOA TOWNSHIP DETERMINED THE AVERAGE SHORELINE SETBACK TO BE THE AVERAGE DISTANCE OF THE TWO ADJACENT HOUSES WHICH IS 116.5 FEET)
REAR = 40 FEET
SHORELINE SETBACK FOR SITES CONNECTED TO PUBLIC SEWER IN LAKESHORE RESORT RESIDENTIAL IS A MINIMUM OF 40 FEET OR CONSISTENT WITH THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS, WHICHEVER IS GREATER AS DETERMINED BY THE ZONING ADMINISTRATOR. (RON AKERS, ZONING OFFICIAL FOR GENOA TOWNSHIP DETERMINED THE AVERAGE SHORELINE SETBACK TO BE THE AVERAGE DISTANCE OF THE TWO ADJACENT HOUSES WHICH IS 116.5 FEET)
ACCORDING TO GENOA TOWNSHIP ORDINANCE, IF THE SETBACKS OF ADJACENT PRINCIPAL BUILDINGS VARY BECAUSE OF IRREGULAR SHORELINE, THE SETBACK SHALL BE THE AVERAGE OF ALL LOTS WITHIN 500 FEET ALONG THE SHORELINE OR 40 FEET WHICHEVER IS GREATER.
BELOW ARE THE DIMENSIONS FROM ADJACENT PRINCIPAL BUILDINGS TO THE SHORELINE (WITHIN 500 FEET OF SITE):
SITES NORTH OF SITE:
-HOUSE #950 = 131'
-HOUSE #1016 = 96'
-HOUSE #1016 = 116'
SITES SOUTH OF SITE:
-HOUSE #1030 = 117'
-HOUSE #1040 = 40'
-HOUSE #1046 = 56'
-HOUSE #1050 = 58'
-HOUSE #1054 = 57'
-HOUSE #1056 = 72'
(743/9-82.5" = PROPOSED AVERAGE SHORELINE SETBACK BECAUSE OF IRREGULAR SHORELINE PER ORDINANCE)
3. BEARINGS WERE ESTABLISHED FROM THE PLAT OF "McNAMARA'S SUBDIVISION", AS RECORDED IN LIBER 1 OF PLATS, PAGE 59, LIVINGSTON COUNTY RECORDS.
4. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
5. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
6. ELEVATIONS WERE ESTABLISHED RELATIVE TO GENOA TOWNSHIP BENCHMARK SYSTEM. (NGVD29 DATUM)
7. CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
8. ALL ELEVATIONS ARE SHOWN TO THE NEAREST 0.01 FOOT; HOWEVER SOFT-SURFACE ELEVATIONS CAN ONLY BE PRESUMED ACCURATE TO THE NEAREST 0.1 FOOT.
9. THE FLOODPLAIN ELEVATION CONTOUR OF 961.5 IS SHOWN ON THIS SURVEY DRAWING.

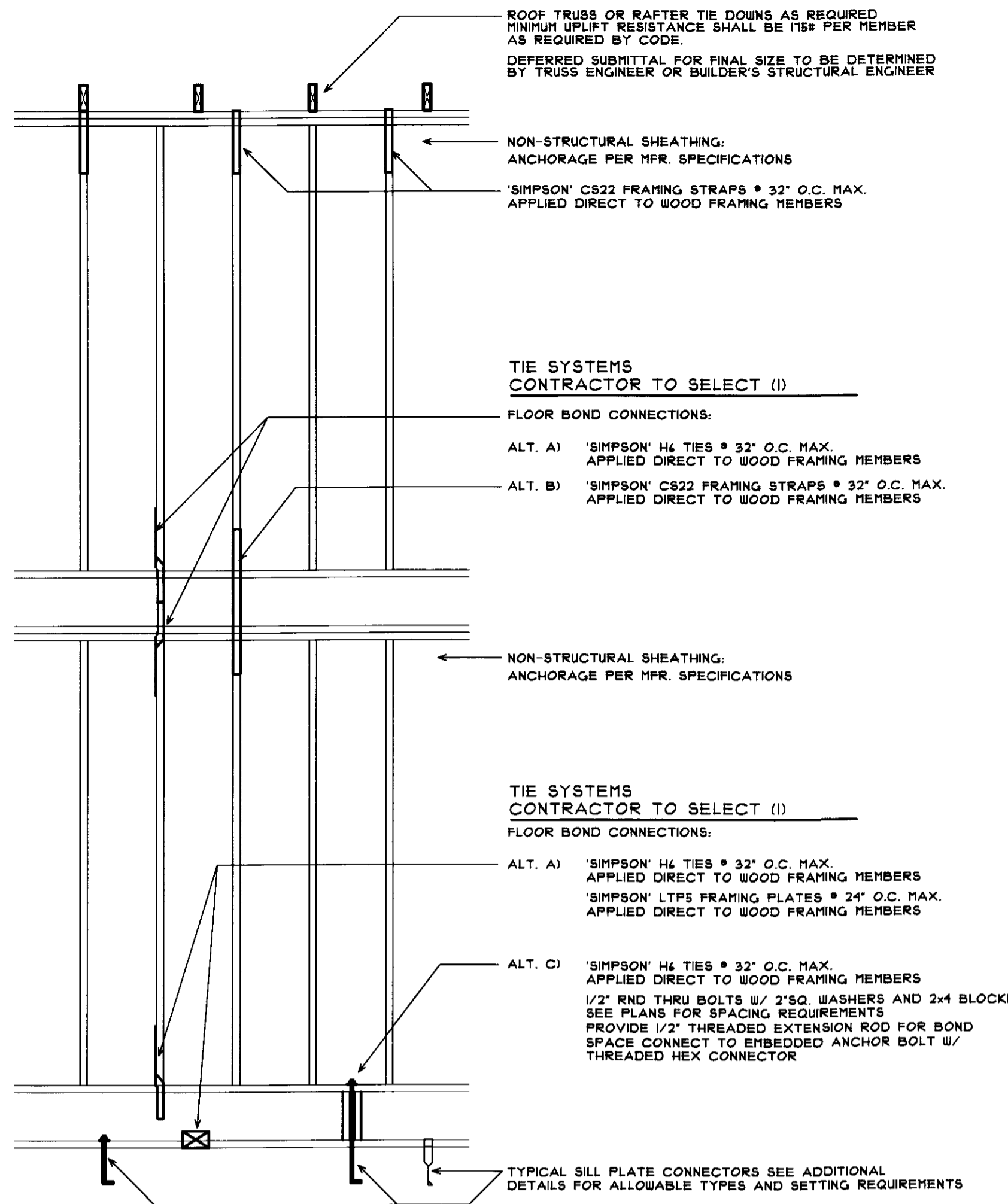


BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

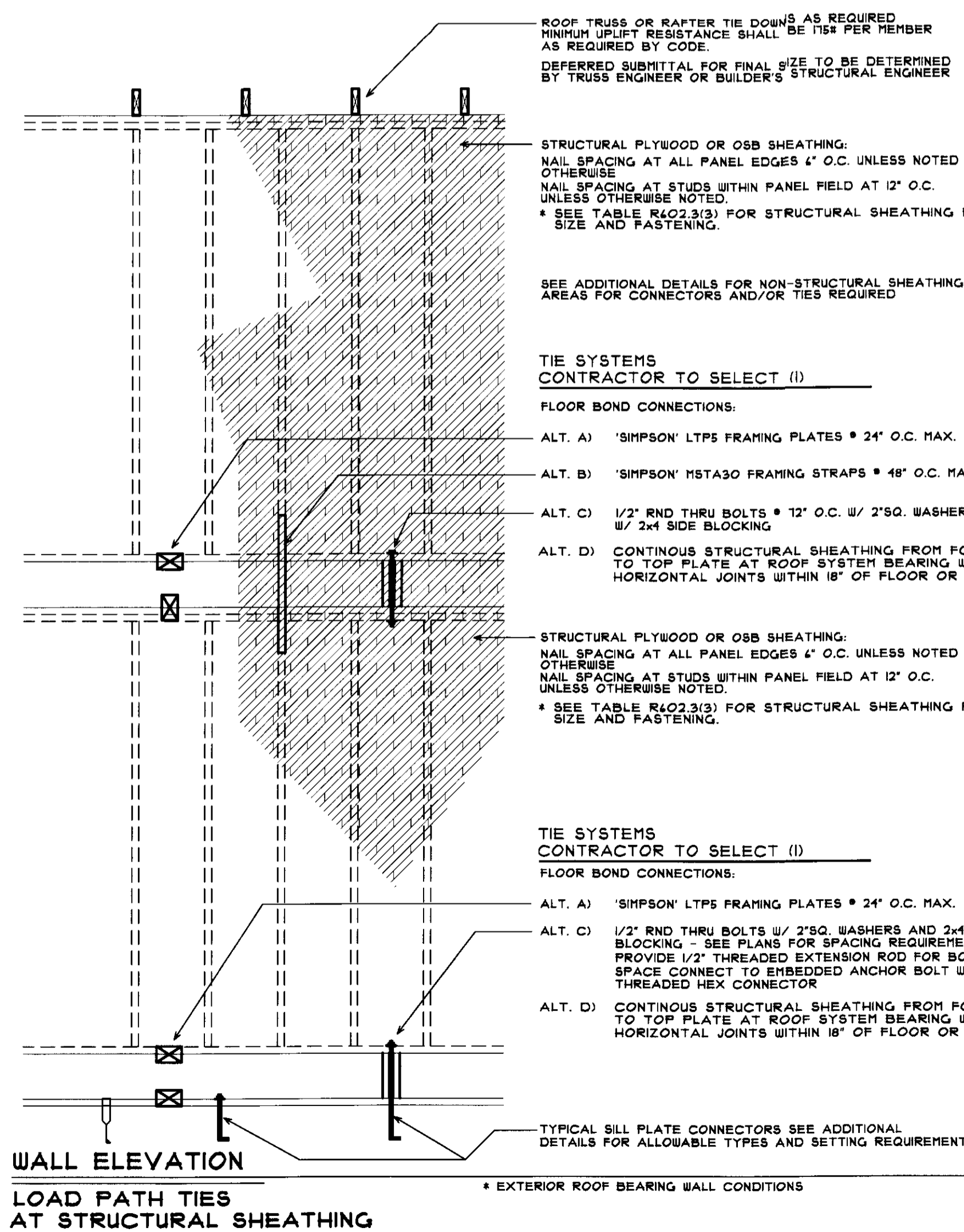
PROJECT: **LOT 3 "McNAMARA'S SUBDIVISION"**
PREPARED FOR: **GATEWOOD**
1022 S. HUGHES ROAD
HOWELL, MI 48843
BUILDER-TEC MACQUIRAN (734)522-2525
TITLE: **PLOT PLAN**

NO	BY	DATE
4	AEB	3-11-15
3	AEB	3-2-15
2	AEB	2-16-15
1	AEB	12-29-14

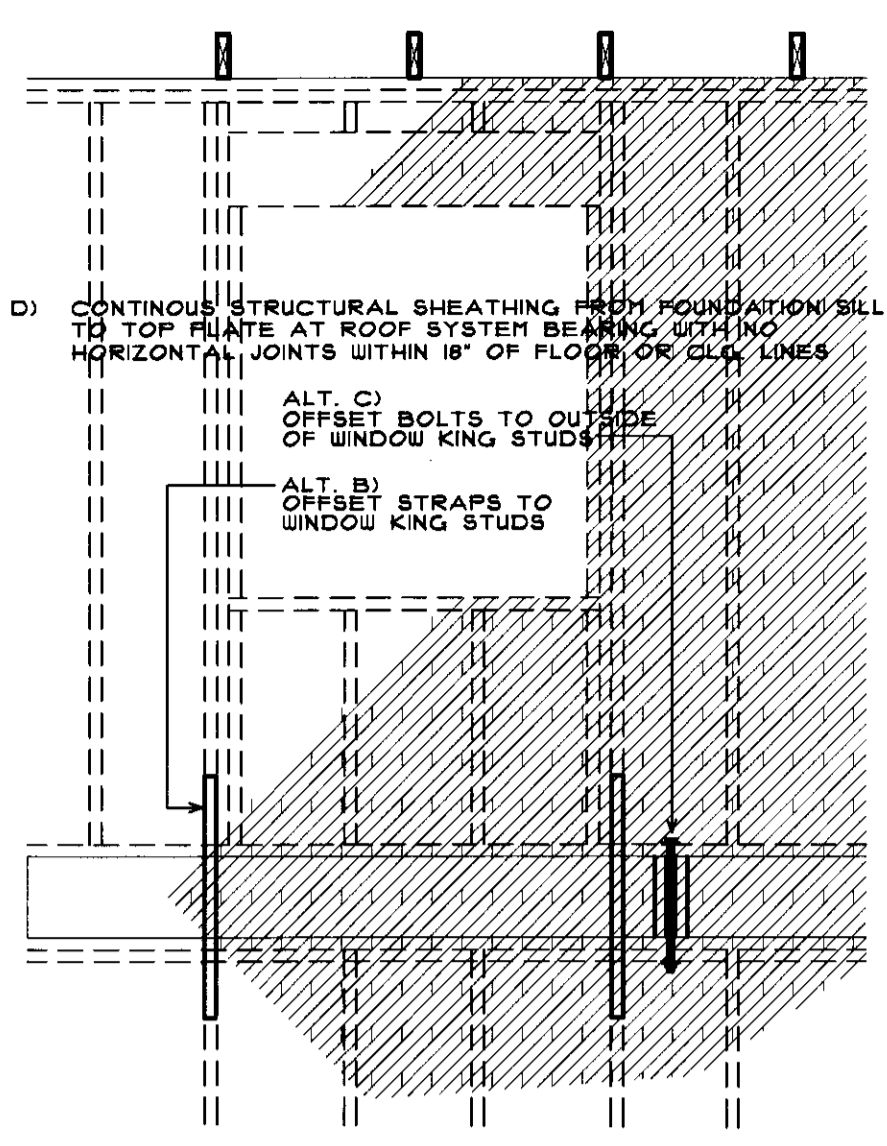
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: 1" = 20'
JOB NO. 14-396
DATE 12-22-14
SHEET NO. 1 OF 1



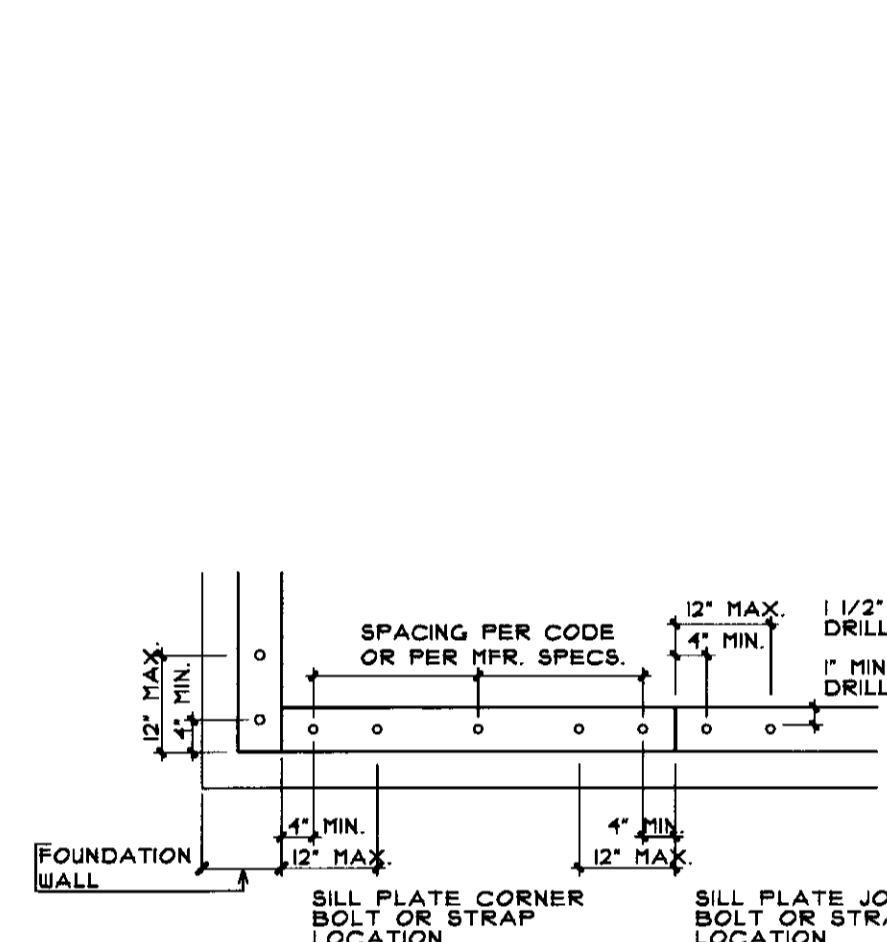
WALL ELEVATION
LOAD PATH TIES AT NON-STRUCTURAL SHEATHING



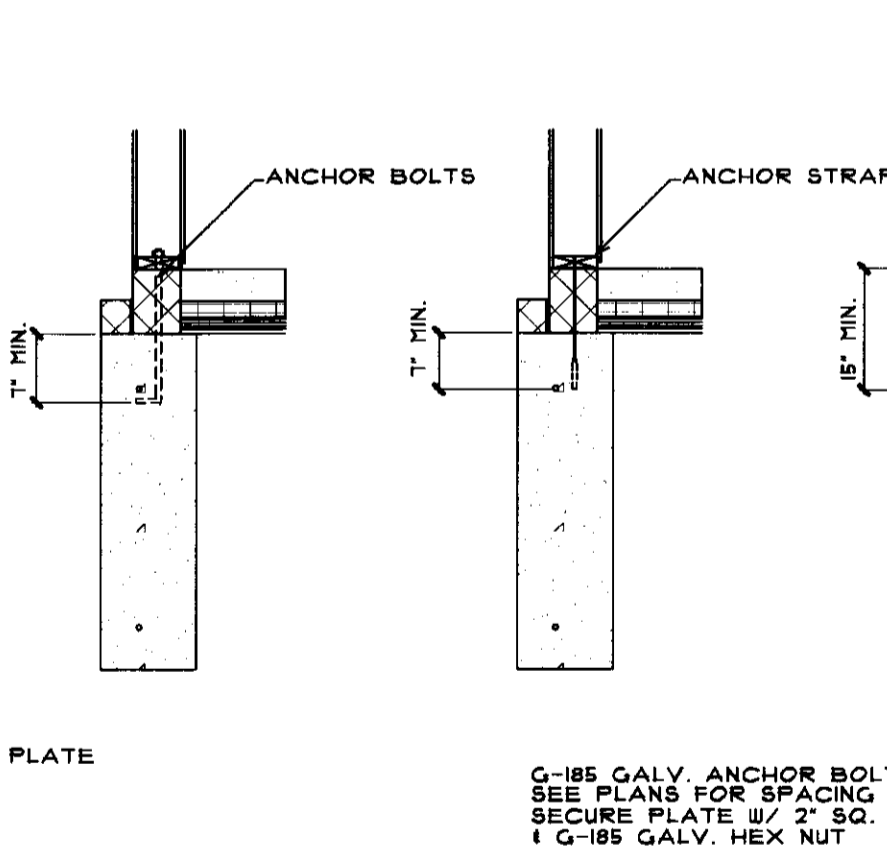
WALL ELEVATION
LOAD PATH TIES AT STRUCTURAL SHEATHING



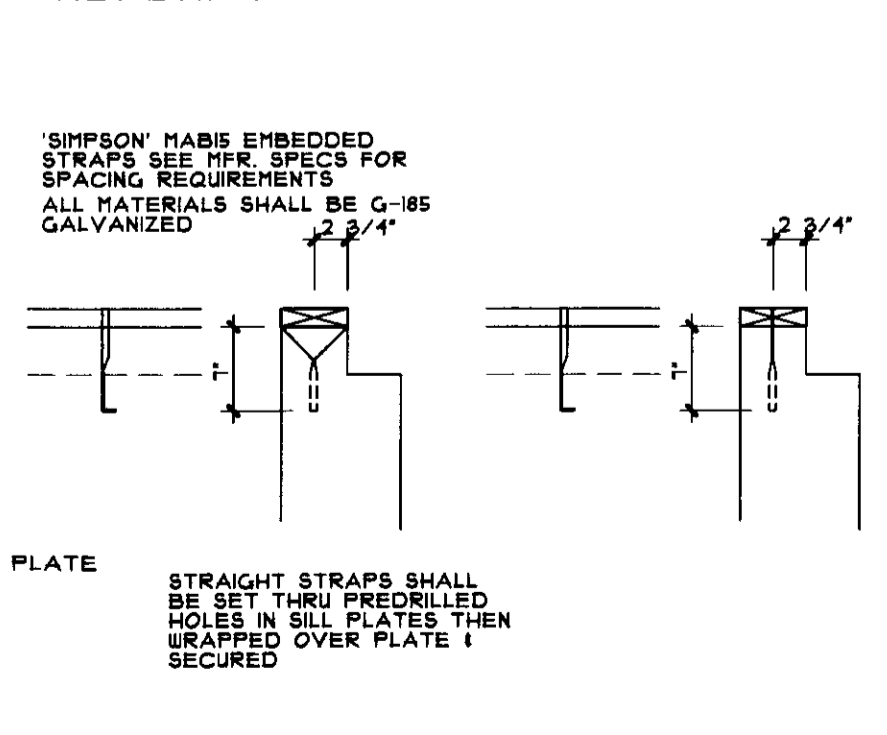
WALL/WINDOW ELEVATION
LOAD PATH TIES



CORNER ANCHOR LOCATION
PLATE JOINT DETAILS



SINGLE BLOCK COURSE
EMBEDMENT



STRAP ANCHORS
STANDARD CONCRETE
ANCHOR EMBEDMENT

GENERAL CONTRACTOR SHALL DETERMINE FOUNDATION ANCHOR SYSTEM.

FOUNDATION CONTRACTOR SHALL INSTALL SILL PLATE ANCHORS OF TYPE CHOSEN WITH CORRECT SPACING AND EMBEDMENT DEPTH AS REQUIRED BY CODE OR MANUFACTURER'S WRITTEN SPECIFICATIONS.

CORNER SILL PLATE ANCHORS SHALL BE INSTALLED AS DIMENSIONED ON DETAIL FOR SILL ANCHORS.

GENERAL CONTRACTOR SHALL INSTALL SILL PLATES AS DETAILED FOR ANCHOR BOLTS OR FOR STRAPS AS SPECIFIED BY STRAP MANUF'R.

WHERE ANCHOR SYSTEM DOES NOT MEET CODE FOR MIN. 4 MAX. DIMENSIONS ADDITIONAL BOLTS SHALL BE INSTALLED FOR CORRECTIONS.

ALTERNATE FOR G-185 GALVANIZED MATERIALS SHALL BE STAINLESS STEEL OF GAUGES AS SPECIFIED BY MANUFACTURER.

NOTE TO PLAN REVIEWER:
TRUSS TIEDOWN SIZES AND TYPES ARE A DEFERRED SUBMITTAL ITEM TO BE PROVIDED WITH TRUSS SHOP DRAWINGS BY OTHERS.

FINAL SIZE OF TRUSS TIES TO BE DETERMINED BY TRUSS ENGINEER OR BUILDER'S STRUCTURAL ENGINEER.

FLOOR 1 ROOF TRUSSES:
THE TRUSS DESIGNER IS TO PROVIDE A DESIGN FOR AN ENTIRE ROOF OR FLOOR SYSTEM, AND NOT FOR INDIVIDUAL COMPONENTS. THE TRUSS DESIGNER MUST ASCERTAIN THAT THE LOADS UTILIZED MEET OR EXCEED THE LOAD VALUES REQUIRED BY THE MICHIGAN BUILDING CODE OR THE MICHIGAN RESIDENTIAL CODE.

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSSES INCLUDING GIRDERS, HANGERS, BEARING SEATS, AND ANCHORS FOR TRUSSES.

TRUSS FRAMING SHOWN ON PLANS IS FOR GENERAL REFERENCE AND TO INDICATE BEARING LOCATIONS. TRUSS MANUFACTURER SHALL NOTIFY ARCHITECT IF ADDITIONAL BEARING POINTS AND/OR WALLS ARE NEEDED PRIOR TO FABRICATION AND ERECTION.

ALL ROOF TRUSSING SHALL BE BRACED PER THE TRUSS DESIGNER/FABRICATOR'S REQUIREMENTS, BCSE I-03 AND AS REQUIRED ON DRAWINGS.

TRUSS DESIGN DRAWINGS, PREPARED IN COMPLIANCE WITH SECTION R-02101, SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION. TRUSS DESIGN DRAWING SHALL BE PROVIDED WITH THE SHIPMENT OF TRUSSES DELIVERED TO THE JOBSITE. TRUSS DESIGN DRAWINGS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING INFORMATION SPECIFIED BELOW:

1. SLOPE OR DEPTH, SPAN, AND SPACING.
2. LOCATION OF ALL JOINTS.
3. REQUIRED BEARING WIDTHS.
4. DESIGN LOADS AS APPLICABLE.
 - 4.1. TOP CHORD LIVE LOAD INCLUDING NORMAL SNOW LOADS (DRIFTING LOADS)
 - 4.2. TOP CHORD DEAD LOAD.
 - 4.3. BOTTOM CHORD LIVE LOAD.
 - 4.4. BOTTOM CHORD DEAD LOAD.
 - 4.5. CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION.
 - 4.6. CONTROLLING WIND AND/OR EARTHQUAKE LOADS.
5. ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE.
6. EACH REACTION FORCE AND DIRECTION.

7. JOINT CONNECTOR TYPE AND DESCRIPTION (E.G., SIZE, THICKNESS OR GAUGE), AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFACE.
8. LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER.

9. CONNECTION REQUIREMENTS FOR:
 - 9.1. TRUSS-TO-TRUSS GIRDER
 - 9.2. TRUSS PLY-TO-PLY.
 - 9.3. FIELD SPLICES.
10. CALCULATED DEFLECTION RATIO AND OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
11. MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS AND ANY REINFORCING REQUIRED FOR OVERSTRESSED MEMBERS. CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING, FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS.
12. REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

1. TRUSS TYPE INDICATORS CLEARLY MARKED.
2. END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

SINGLE BLOCK COURSE
EMBEDMENT

STRAP ANCHORS
STANDARD CONCRETE
ANCHOR EMBEDMENT

TWO OR MORE BLOCK COURSE
EMBEDMENT

STRAP ANCHORS
STANDARD CONCRETE
ANCHOR EMBEDMENT

STRAP ANCHORS
STANDARD CONCRETE
ANCHOR EMBEDMENT

SILL ANCHOR BOLT

THRU ANCHOR BOLT

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

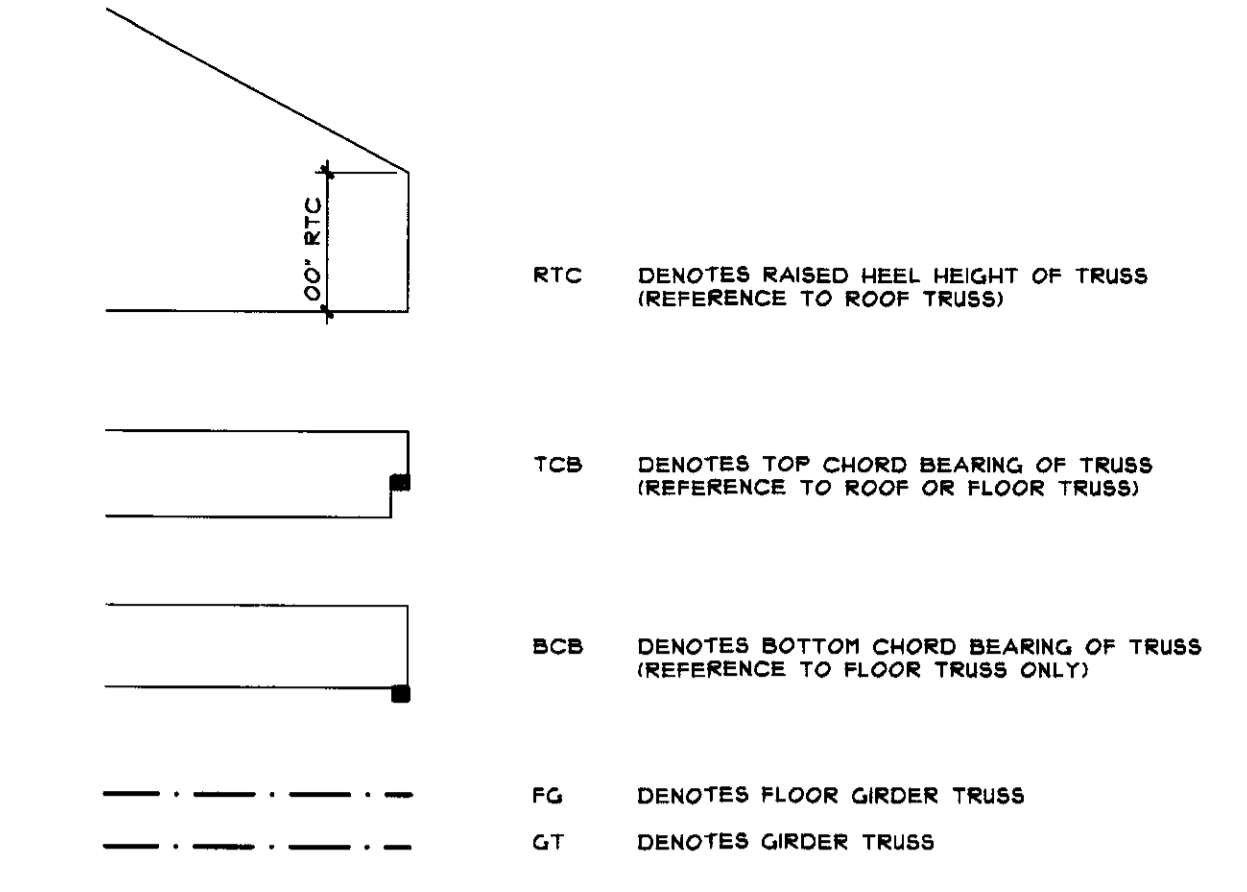
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION.

SEE SHEET #3 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

SEE SHEET #1 FOR ADDITIONAL NOTES & DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT _____



TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

1. TRUSS TYPE INDICATORS CLEARLY MARKED.
2. END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

1. TRUSS TYPE INDICATORS CLEARLY MARKED.
2. END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

1. TRUSS TYPE INDICATORS CLEARLY MARKED.
2. END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

1. TRUSS TYPE INDICATORS CLEARLY MARKED.
2. END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

BUILDING DESIGNER'S ASSUMPTION:

1. ROOF TRUSSES TO CLEARSPAN UNLESS NOTED OTHERWISE.
2. FLOOR TRUSSES TO CLEARSPAN BETWEEN BEARING WALLS AS SHOWN. ONE PIECE MULTIPLE SPANS TRUSSES ARE ALLOWED WITH APPROVAL OF BUILDING DESIGNER. DETAILS INDICATING AIR SPACES FOR SOUND CONTROL SHALL NOT BE VIOLATED WITH TRUSS MEMBERS.
3. ROOF AND FLOOR TRUSSES IN FIRERATED SYSTEMS SHALL MEET OR BE LESS THAN THE MAXIMUM SPACING AND MEET OR EXCEED MINIMUM DEPTH REQUIREMENTS AS LISTED IN THE TEST REPORTS. TRUSS PLATES SHALL MEET CRITERIA LISTED IN TEST REPORTS.
4. WIND LOADS ARE BEING TRANSFERRED THROUGH EXTERIOR WALLS WITH TRUSS CONNECTION POINTS AND THROUGH INTERIOR SHEAR WALLS WHERE INDICATED ON PLANS. WHERE ROOF SHEATHING IS INDICATED TO TRANSFER TO INTERIOR SHEAR WALL TRUSS CHORDS SHALL BE SIZED FOR HAULING PATTERNS AS INDICATED TO DIAPHRAGM TRUSS AND TRANSFER LOADS.
5. GABLE-END TRUSSES: ALL GABLE TRUSSES TO BE SHEATHED WITH 1/4" OSB MATERIAL. VERTICAL REINFORCING OF WEB MEMBERS TO BE DESIGNED BY TRUSS DESIGNER TO PREVENT DIAPHRAGM LOADS OCCURRING IN TRUSS PLATES. LATERAL BRACING OF TOP AND BOTTOM TRUSS CHORDS TO BE TRANSFERRED THROUGH ROOF AND CEILING SHEATHINGS. DIAGONAL BRACING IS DESIGNED BY TRUSS DESIGNER AND SHALL REMAIN INFLEXIBLE TO PREVENT RACKING OF TRUSS UNDER LATERAL LOADING.
6. SEE SHEET N-1 FOR REQUIRED LIVE AND DEAD LOADS.
7. BUILDING DESIGNER IS NOT RESPONSIBLE FOR TRUSS CHORD MEMBERS SUBJECT TO DESIGN DEFICIENCIES. REINFORCING IF REQUIRED IS THE RESPONSIBILITY OF TRUSS DESIGNER.
8. ANY DIFFERENCES BETWEEN CODE REQUIREMENTS AND TRUSS INDUSTRIES STANDARDS THE MORE STRINGENT SHALL APPLY.
9. IT IS IMPORTANT FOR THE TRUSS DESIGNER/FABRICATOR TO TAKE CARE IN ORDERING, SHIPPING, AND DELIVERY PROCESS TO INSURE THE TRUSSES ARE NOT DAMAGED. IF DAMAGE IS NOTED SEE SHEET N-1 PROVIDED BY TRUSS DESIGNER/FABRICATOR FOR PROPER STORAGE METHODS FOR TRUSSES PRIOR TO DELIVERY AND ERECTION.

ROOF TRUSSES:

1. TRUSS SPACING SHALL BE DETERMINED BY THE TRUSS DESIGNER AND NOT EXCEED 24" O.C. AS REQUIRED FOR ROOF SHEATHING.
2. PIGGY-BACK TRUSSES SHALL BEAR ON PERPENDICULAR BRACING INSTALLED ON TOP CHORD OF LOWER TRUSS TRAIN TRUSS DESIGNER SHALL BE DESIGNED AS REQUIRED WHERE TRUSS WEBS EXCEED ALLOWABLE AXIAL LOADS TRUSS DESIGNER SHALL SPECIFY REQUIRED STIFFENERS OR BRACING.
3. THE 1/2" STRUCTURAL ROOF SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD.
4. THE 5/8" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD.
5. TRUSS DESIGNER SHALL DESIGN ALL TRUSSES FOR LOADS AND SPANS AS REQUIRED TO COMPLY WITH THE INTENT OF THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE TRUSS DESIGNER TO SIZE WEBS TO BE STRENGTHED TO ACCOMMODATE EXCEEDING LOADS. OVER STRESSED MEMBERS SHALL HAVE NECESSARY REINFORCEMENT DESIGNED BY TRUSS DESIGNER.
6. GABLE END TRUSSES SHALL BE DESIGNED TO RECEIVE WALL SHEATHING. BRACING FOR LATERAL LOADS SHALL BE DESIGNED BY TRUSS DESIGNER TO ELIMINATE OUT-OF-PLANE LOADS ON TRUSS PLATES.
7. GABLE END TRUSSES SHALL BE DESIGNED TO MATCH THE CEILING PROFILE OF ROOM ADJACENT TO END WALL.
8. TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR PERMANENT LATERAL BRACING TO FUNCTION WITH THE PROPOSED TRUSS SYSTEM. TRUSS CHORDS RECEIVING LOADS FROM BRACING SHALL ACCORDINGLY.
9. TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR LATERAL BRACING TO RUN CONTINUOUS ALONG TRUSS CHORDS WHERE PRACTICAL TO MAINTAIN LONGEST POSSIBLE BRACING LINE THROUGH TRUSS SYSTEM. WHERE BRACING LINE CANNOT BE MAINTAINED TRUSS DESIGNER IS TO PROVIDE DETAILS FOR TRANSFER OF LOADS IN BRACE LINE OR TERMINATION USING DIAGONAL BRACES.
10. TRUSS DESIGNER SHALL DESIGN DIAGONAL BRACING AT TERMINATION POINTS OF TEMPORARY AND PERMANENT DIAGONAL BRACING SHALL BE INDICATED ON THE ROOF FRAMING LAYOUT PLANS, INCLUDING MEMBER SIZES.
11. TRUSS DESIGNER SHALL PROVIDE WOOD GRADE QUALITY OF ALL BRACING MEMBERS TO ELIMINATE SPLITTING AND CRACKING DURING INSTALLATION BY CARPENTER.
12. THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THIS BUILDING. THEREFORE, TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

FLOOR TRUSSES:

1. THE TRUSS DESIGNER SHALL PROVIDE SIZE AND LOCATION OF STIFF BACK BRACING IN FLOOR TRUSSES TO COMPLY WITH DEFLECTION CRITERIA INDICATED ON DRAWINGS. SEE SHEET N-1 FOR LOADS AND DEFLECTION CRITERIA.
2. THE 23/32" STRUCTURAL FLOOR SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD.
3. THE 1/2" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD.
4. ALL TEMPORARY BRACING REQUIRED BY THE TRUSS DESIGNER SHALL REMAIN AS PART OF THE PERMANENT BRACING SYSTEM.
5. POINT LOADS FROM ABOVE REQUIRING SOLID BLOCKING SHALL BE DESIGNED WITH VERTICAL BLOCKS FABRICATED INFLEXIBLE TO ALLOW LOAD TO CONTINUE THROUGH TO BEARING BELOW.
6. BOND FLOOR TRUSSES SHALL BE DESIGNED TO TRANSFER LATERAL WALL LOADS TO BEARING BELOW.
7. TRUSS SPACING SHALL BE DETERMINED BY TRUSS DESIGNER FOR LOAD AND DEFLECTION CRITERIA INDICATED ON DRAWINGS.
8. FLOOR TRUSSES IN AREAS RECEIVING CERAMIC TILE OR OTHER SIMILAR MATERIAL SHALL SPACING AT 16" O.C. MAX. FOR TILE OR OTHER MATERIAL. TILE SHALL BE INSTALLED AT 16" O.C. BETWEEN TRUSSES (TRUSS DESIGNER'S OPTION). SEE CONSTRUCTION DRAWINGS FOR BRACING CONNECTIONS. MAXIMUM DEFLECTION CRITERIA FOR SUCH MATERIALS SHALL BE AS SPECIFIED BY THE PRODUCT MANUFACTURER OR INDUSTRY STANDARDS.
9. THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THIS BUILDING. THEREFORE, TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

NOTES TO TRUSS DESIGNER, TRUSS FABRICATOR, AND CARPENTER/TRUSS INSTALLER:

1. LATERAL BRACING SHALL BE AS SHOWN IN DIAGRAMS OF "HIB-N" PUBLICATION PROVIDED BY TRUSS FABRICATOR.
 - A. SEE TABLE, HIB-N SUPPLY SHEET FRAME 3, "PITCHED TRUSS TOP CHORD TEMPORARY BRACING" FOR MAXIMUM SPACING.
 - B. BRACING MEMBER SHALL BE A MINIMUM OF 10'-0" LONG W/ A LAP OF ONE TRUSS BAY EACH END.
 - C. TEMPORARY BRACING SIZES FOR ROOF TRUSSES SHALL BE SPECIFIED BY TRUSS DESIGNER TO INSTALLATION TO INTERIOR CHORD FACE OF TRUSSES.
 - D. SEE TABLE, HIB-N SUPPLY SHEET FRAME 3, "PITCHED TRUSS TOP CHORD TEMPORARY BRACING" FOR MAXIMUM SPACING OF DIAGONAL BRACING.
 - E. SEE TABLE, HIB-N SUPPLY SHEET FRAME 4, "BOTTOM TRUSS CHORD TEMPORARY BRACING" FOR MAXIMUM SPACING OF DIAGONAL BRACING.
 - F. SEE TABLE, HIB-N SUPPLY SHEET FRAME 1 FOR DIAGONAL BRACING AT LATERAL BRACE LINES AND MAXIMUM SPACING.
2. TRUSS DESIGNER SHALL PROVIDE COPIES OF ALL FIELD CORRECTIONS AND/OR REPAIR DIAGRAMS AND WRITTEN DIRECTIONS MADE DURING FIELD CONSTRUCTION.

DRAFTSTOPPING

DRAFTSTOPPING SHALL BE PROVIDED IN CONCEALED SPACES OF OPEN WEB TRUSS FLOOR/CEILING ASSEMBLIES WHICH HAVE USABLE SPACE ABOVE AND BELOW. THE CONCEALED SPACE MAY NOT EXCEED 1,000 SQUARE FEET.

FIRERATED TRUSS SYSTEMS

TRUSS DESIGNER IS TO REVIEW ALL FIRERATED ASSEMBLIES INDICATED ON THE DRAWINGS. THE TRUSS DESIGNER SHALL PROVIDE CHORD MEMBERS AND INDICATE WHETHER BRIDGING, BLOCKING OR STIFFENERS ARE TO BE INSTALLED AS REQUIRED BY THE TESTED ASSEMBLY.

ALL METAL TRUSS PLATES USED IN THE FABRICATION OF THE TRUSSES SHALL BE AS SPECIFIED IN THE TESTED ASSEMBLY. ANY LOAD REDUCTION IN CAPACITY OF PLATES SHALL BE COMPLIED WITH.

WHERE PROPRIETARY PLATES, MATERIALS OR PROCESSES ARE LISTED AS A PART OF THE FIRERATED ASSEMBLY THE TRUSS FABRICATOR SHALL OBTAIN MATERIALS OR CERTIFICATION OF COMPLIANCE WITH THE SYSTEM FROM THE PROPRIETARY HOLDER.

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION.

SEE SHEET #3 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

SEE SHEET #1 FOR ADDITIONAL NOTES & DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT _____

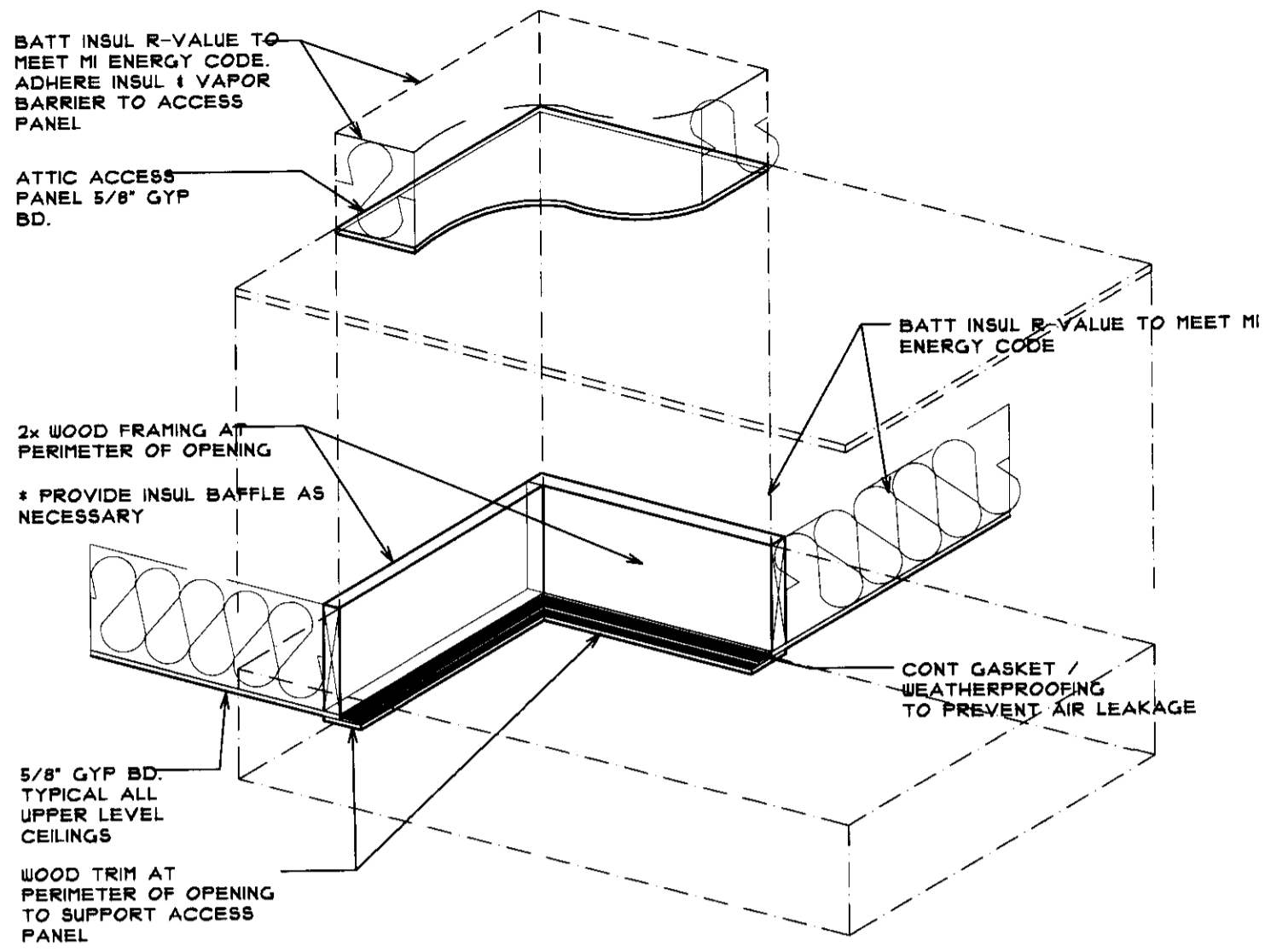
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2445 Franklin Road
Bloomfield Hills, MI 48302
248 • 334 • 5000

CLIENT/PROJECT: GATEWOOD RESIDENCE
T. MAGURAN GENERAL CONTRACTOR
MICHIGAN

DATE: 02-06-15
JOB NUMBER: 4162
SHEET NUMBER: _____

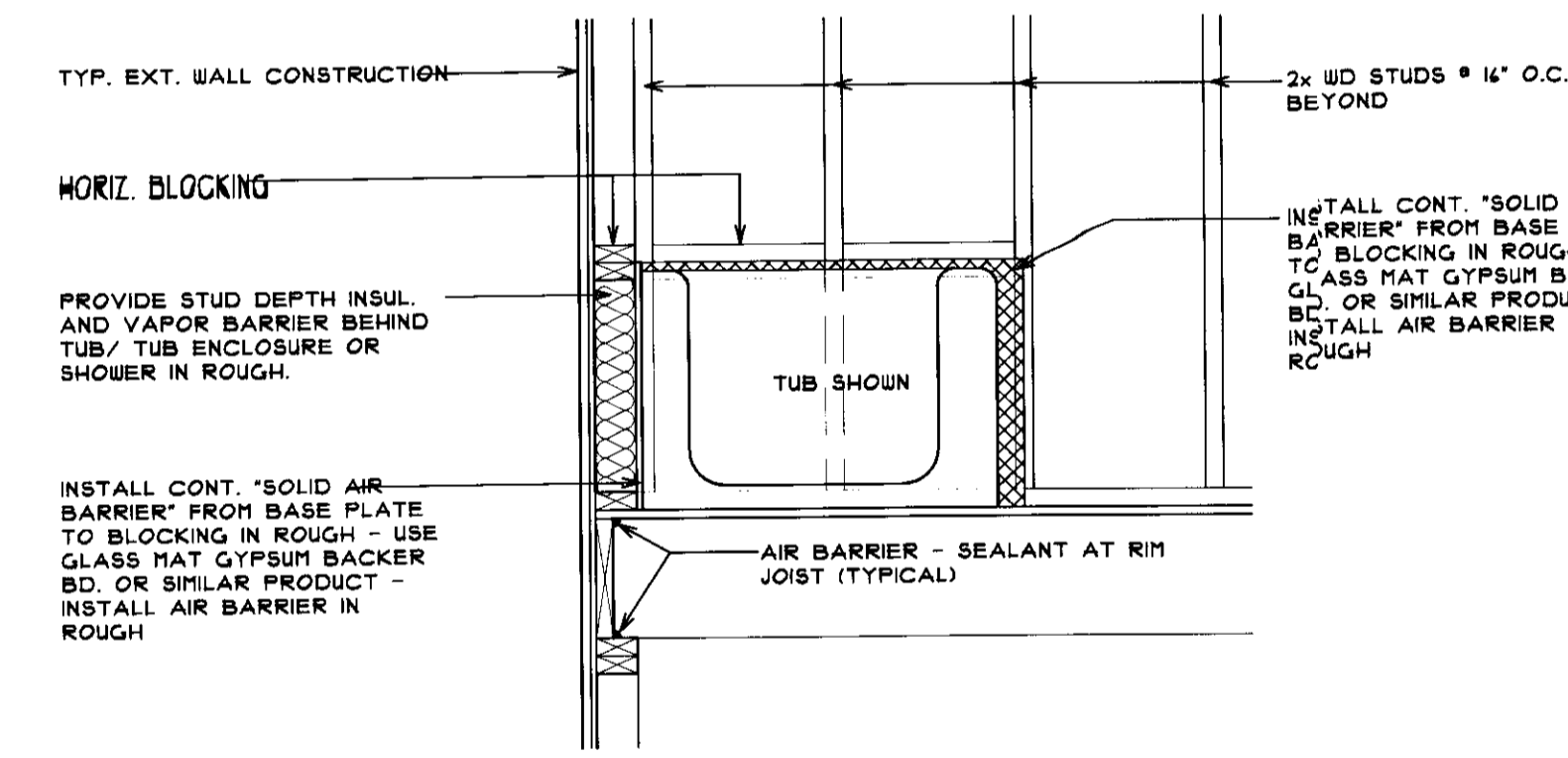
PRELIMINARY
BIDS
PERMITS
CONSTRUCTION
REVISIONS

AW
GATEWOOD.dwg
BN / AM
DATE: 02-06-15



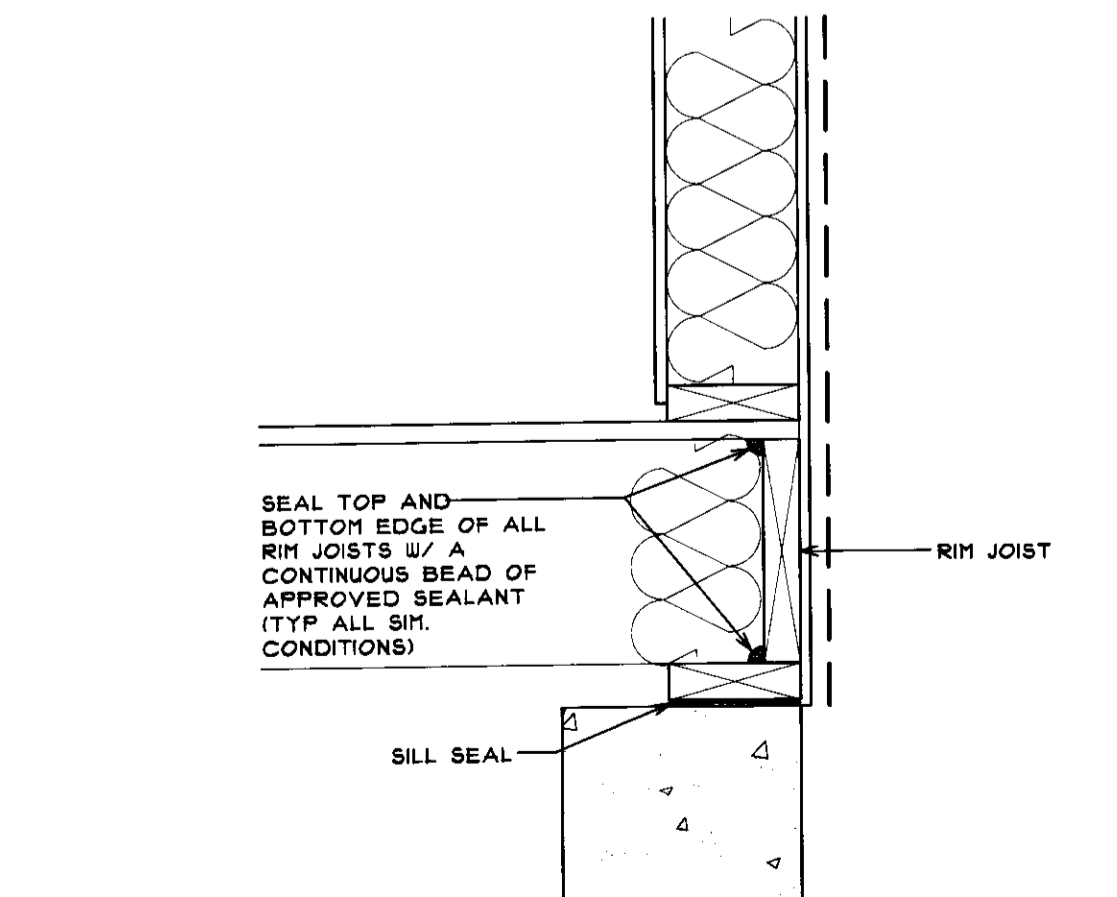
309 AIR BARRIER - ATTIC ACCESS PANEL

SCALE: NTS



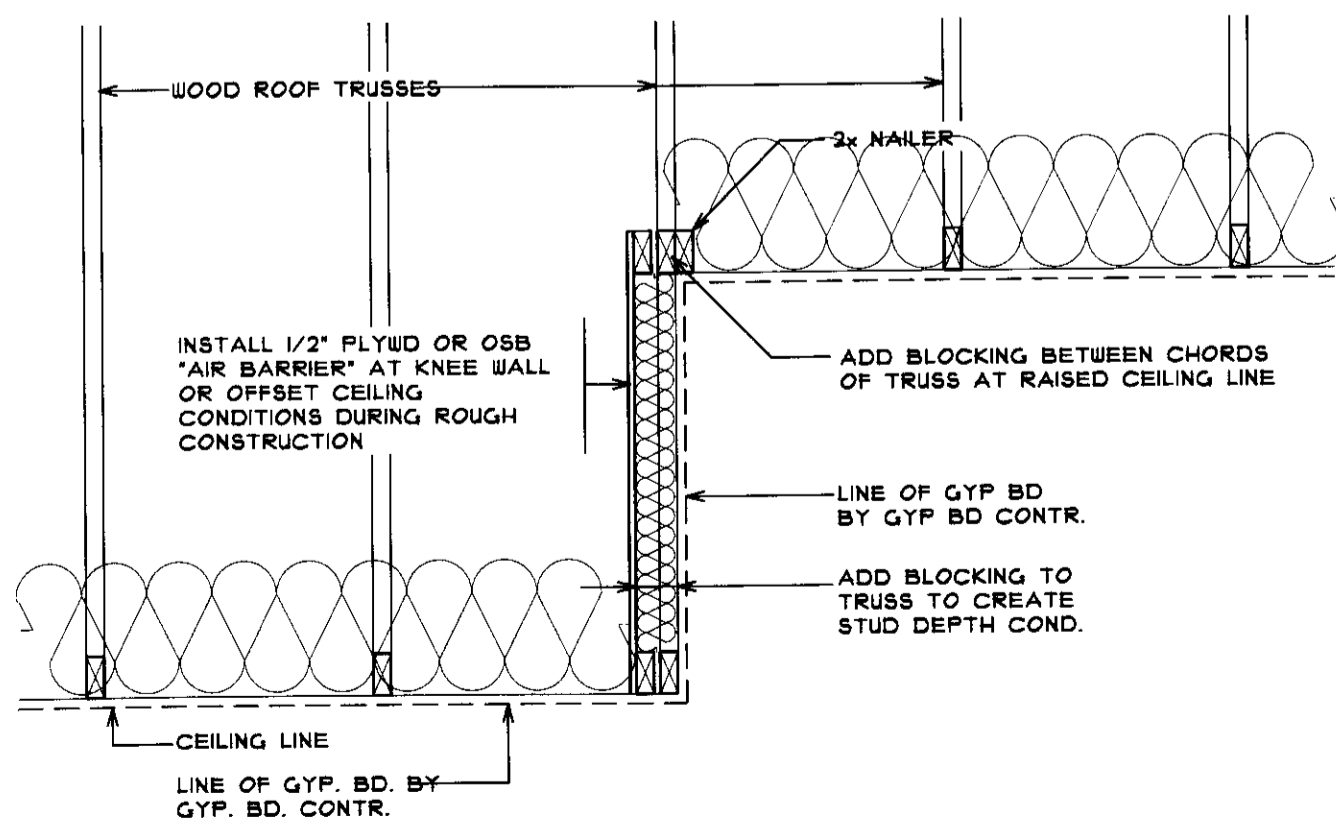
308 AIR BARRIER - WALL BEHIND TUB/SHOWER

SCALE: 3/4" = 1'-0"



307 AIR BARRIER - THERMAL ENVELOPE RIMJOIST CONDITION

SCALE: 1/2" = 1'-0"



305 AIR BARRIER - AT STEPPED CEILING KNEEWALL CONDITION

SCALE: 3/4" = 1'-0"

MICHIGAN UNIFORM ENERGY CODE

BUILDER'S OPTIONS FOR COMPLIANCE CLIMATE ZONE 5A

A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION 402 (PRESCRIBED) 2001 MUEC PLUS ALL MANDATORY PROVISIONS LISTED IN SECTION 4012

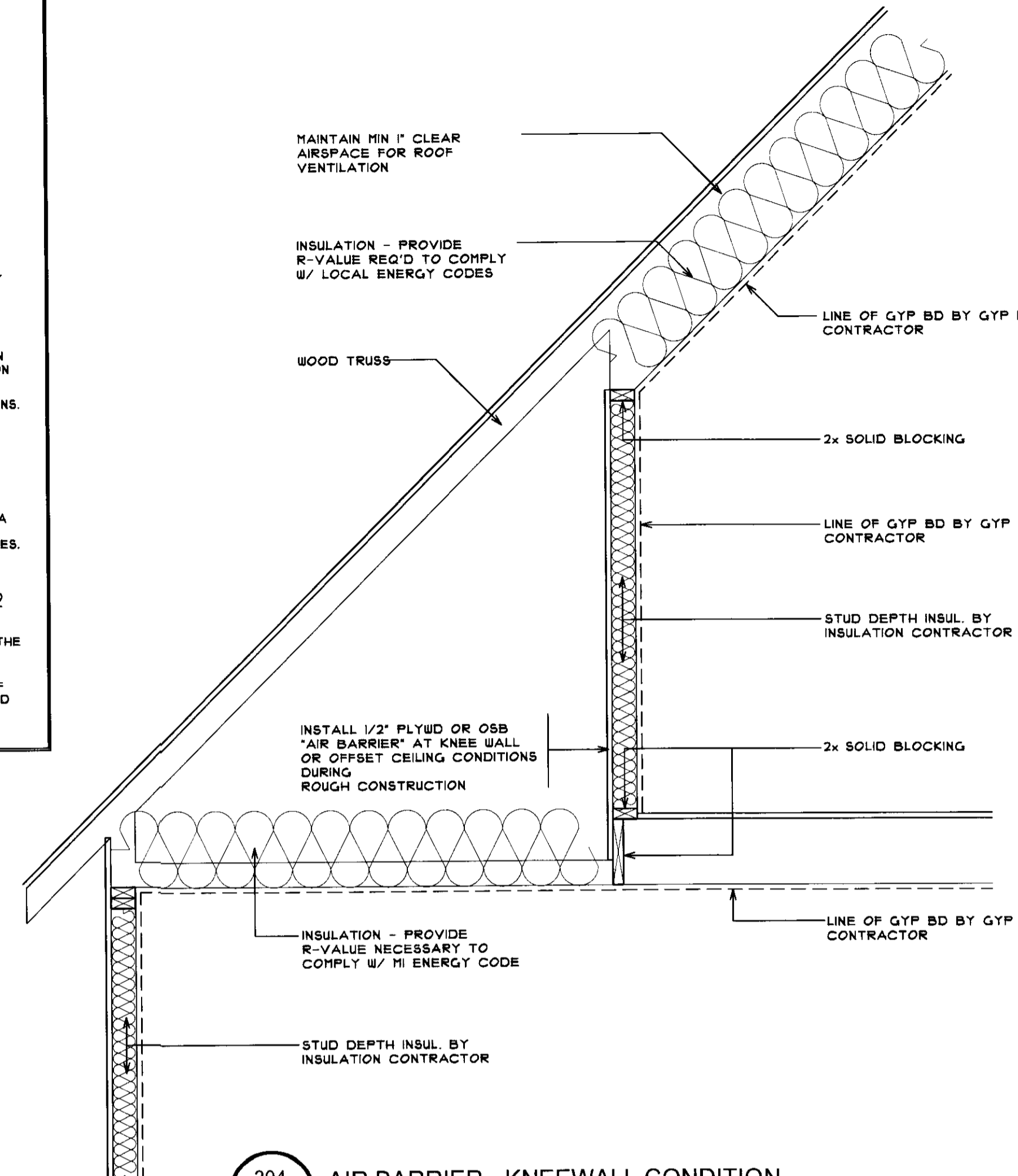
EXTERIOR ENCLOSURE	VALUE
WALL ASSEMBLIES	R-20
ROOF / CEILING	R-38
SLAB ON GRADE	R-10, 2 FT.
CRAWL SPACE WALL (CONT.)	R-10
CRAWL SPACE WALL (CAVITY)	R-13
BASEMENT WALL (CONTINUOUS)	R-10
BASEMENT WALL (CAVITY)	R-13
FENESTRATION / OPENINGS (AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF FENESTRATION UNITS)	U-0.35 R-2.85

* SEE TABLE 402.1 FOR FOOTNOTES

B) PROVIDE A SIMULATED ENERGY PERFORMANCE ANALYSIS (BY OTHERS) AS PRESCRIBED IN SECTION 405 (PERFORMANCE), PLUS ALL MANDATORY PROVISIONS LISTED IN SECTION 402. INSULATION VALUES WILL BE DETERMINED AS PART OF THIS PERFORMANCE METHOD OF COMPLIANCE.

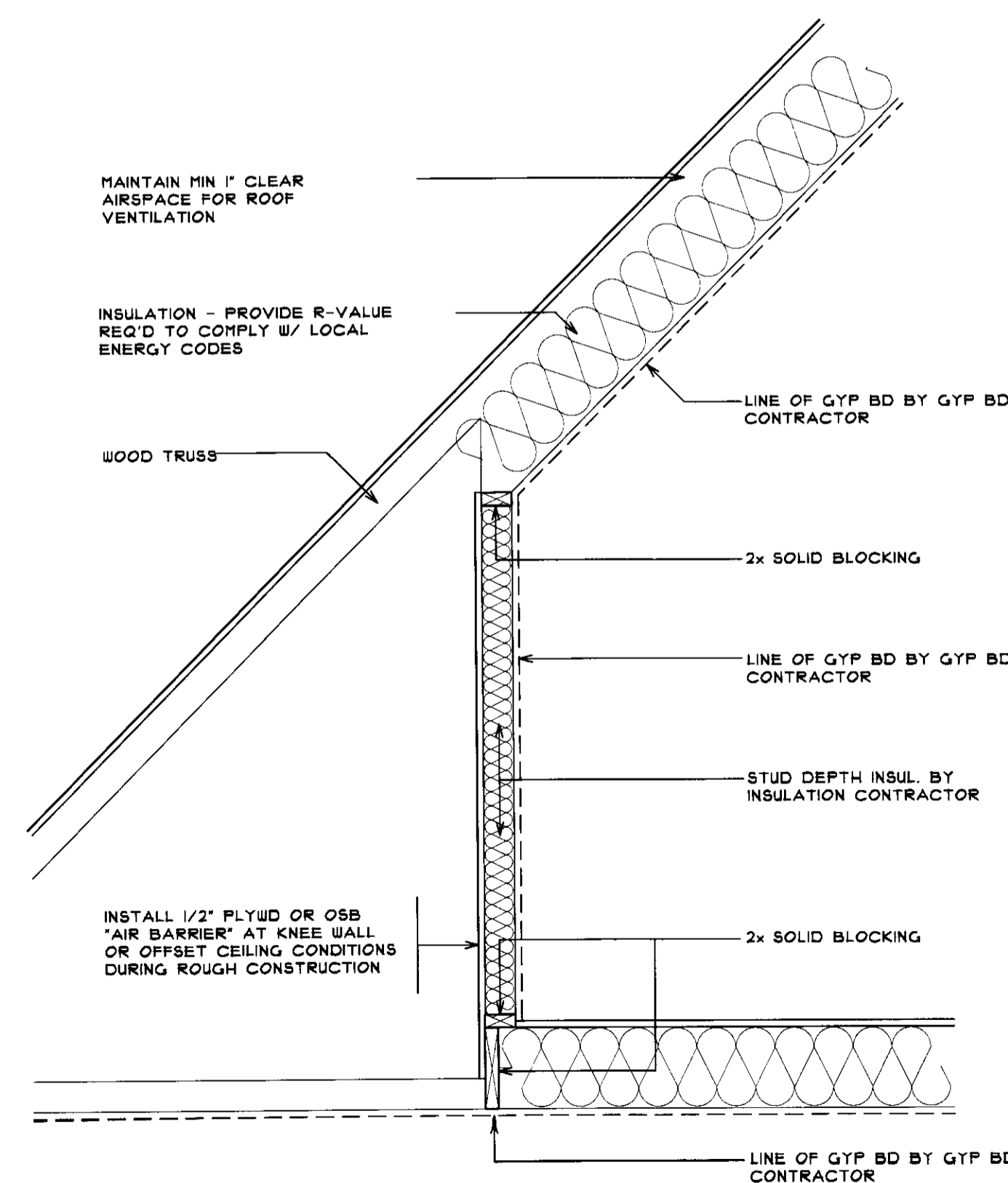
NOTES:

- THE BUILDER/GC SHALL HAVE A COPY OF THE CURRENT MUEC-2001 ON SITE FOR REFERENCE BY STAFF AND TRADES FOR THE ENTIRE DURATION OF CONSTRUCTION.
- REFER TO THE MUEC-2001 FOR ALL MANDATORY COMPLIANCE PROVISIONS.
- A MINIMUM OF 50% OF PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS. THE BUILDER/GC, ELECTRICAL CONTR. OR INTERIOR DESIGNER SHALL PROVIDE A LIGHT FIXTURE SCHEDULE DEMONSTRATING COMPLIANCE.
- ALL DUCTS TO BE SEALED BY THE MECH CONTRACTOR
- THE BUILDER/GC TO PERMANENTLY AFFIX AN ENERGY FEATURES CERTIFICATE ON THE ELECTRIC PANEL. THE CERTIFICATE TO INCLUDE A LIST OF THE PREDOMINANT R-VALUES INSTALLED, U-FACTORS FOR FENESTRATION ITEMS, HVAC AND WATER HEATER TYPES AND EFFICIENCIES.
- ALL WOOD BURNING FIREPLACES TO HAVE GASGETED DOORS AND OUTSIDE COMB. AIR
- MEP CONSTRUCTION DOCUMENTS ARE BY OTHERS - MEP DOCUMENTS TO INCLUDE ALL MEP DESIGN CRITERIA AND CONTROLS ALONG W/ ALL DUCT AND PIPE INSULATION LOC'S DETAILS AND R-VALUES
- ALL BALANCING AND COMMISSIONING OF MECH. EQUIP. IS NOT PART OF THE ARCHITECT'S SCOPE AND IS BY OTHERS
- R-10 INSUL. IS REQ'D AT EDGE OF ALL PERIMETER CONC. SLABS. SEE SHEET 14 FOR TYPICAL INSUL DETAIL AT SLAB EDGE. INSTALLATION OF CARPET USING A TACK STRIP AT THE SLAB EDGE MUST USE A GLUED DOWN TACK STRIP - DO NOT RAH SET TACK STRIP



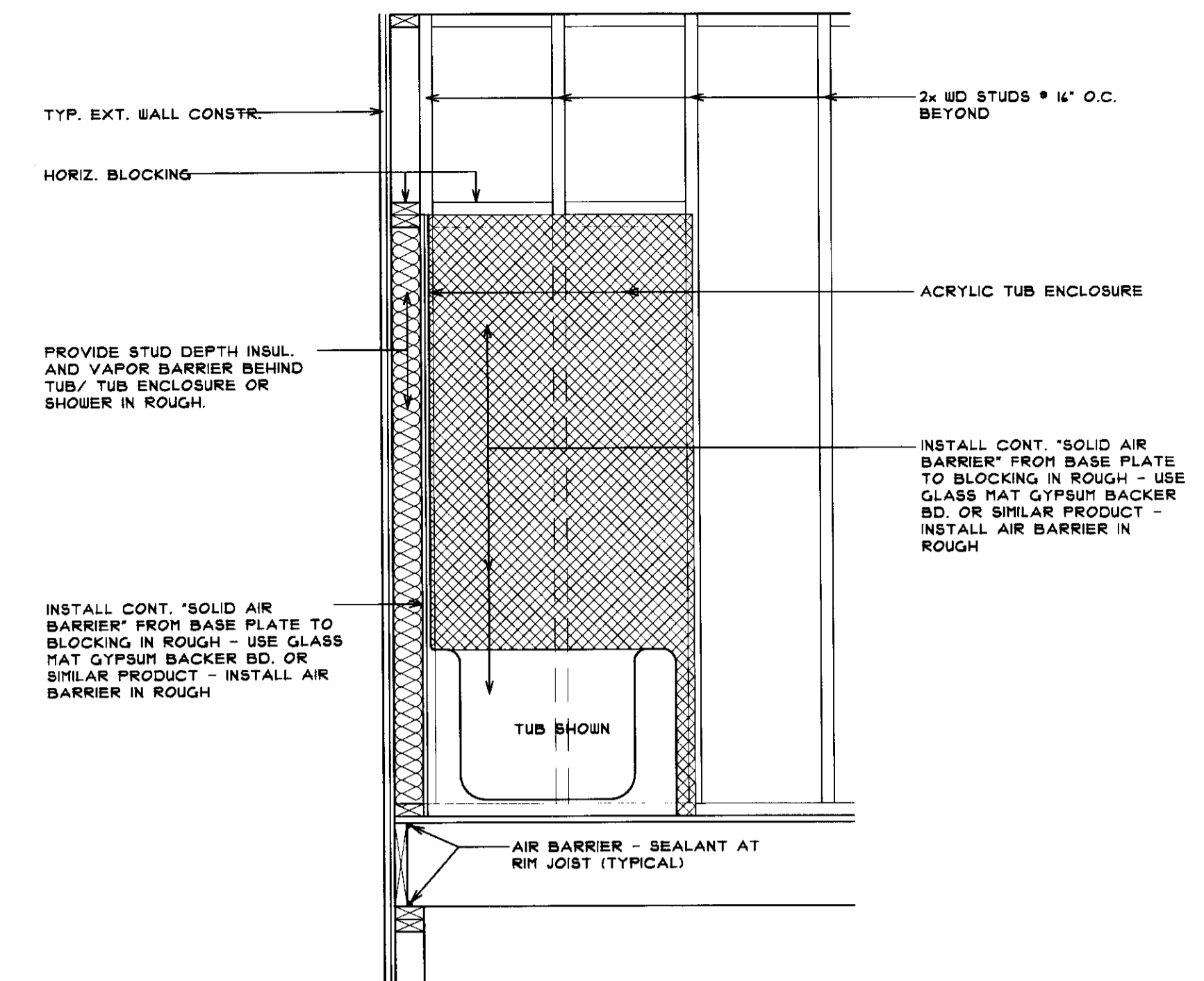
304 AIR BARRIER - KNEEWALL CONDITION HEATED SPACE BELOW

SCALE: 3/4" = 1'-0"



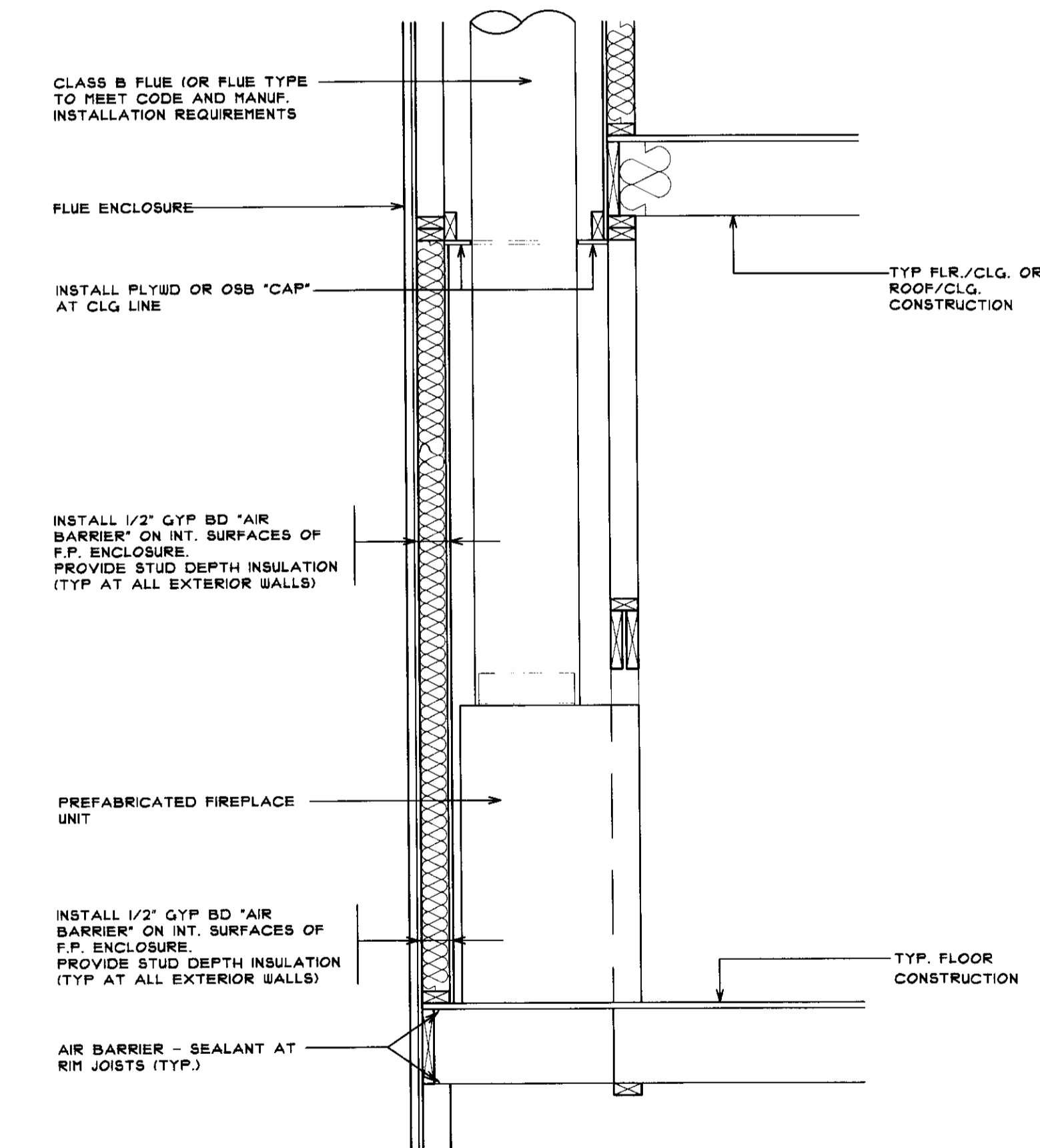
303 AIR BARRIER - KNEEWALL CONDITION UNHEATED SPACE BELOW

SCALE: 3/4" = 1'-0"



302 AIR BARRIER - WALL TUB/SHOWER

SCALE: 3/4" = 1'-0"



301 AIR BARRIER - WALL BEHIND FIREPLACE

SCALE: 3/4" = 1'-0"

NOTE:

INSULATION MUST BE CUT AROUND PIPES AND WIRES. THE INSULATION SHOULD NOT BE COMPRESSED OR HAVE GAPS / VOIDS. INSULATION SHOULD BE FULLY ALIGNED WITH THE INTERIOR FACE OF THE STUDS.

THE INSULATION SHOULD NEVER BE COMPRESSED TO FIT BEHIND PIPES OR WIRES AND MUST FILL ALL VOIDS.

PROPER INSTALLATION (shows insulation cut around pipes/wires)

IMPROPER INSTALLATION (shows insulation compressed around pipes/wires)

BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL COMPLY WITH MUEC 402.4.2 TESTS AND INSPECTIONS PER BUILDING OFFICIAL

NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED SEALED TO LIMIT AIR INFILTRATION. SEE CURRENT MICHIGAN MICHIGAN UNIFORM ENERGY CODE SECTION 402.4.

Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000

SHEET TITLE: AIR BARRIER DETAILS

CLIENT/PROJECT: GATEWOOD RESIDENCE
T. MAGURAN GENERAL CONTRACTOR
MICHIGAN

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PRELIMINARY

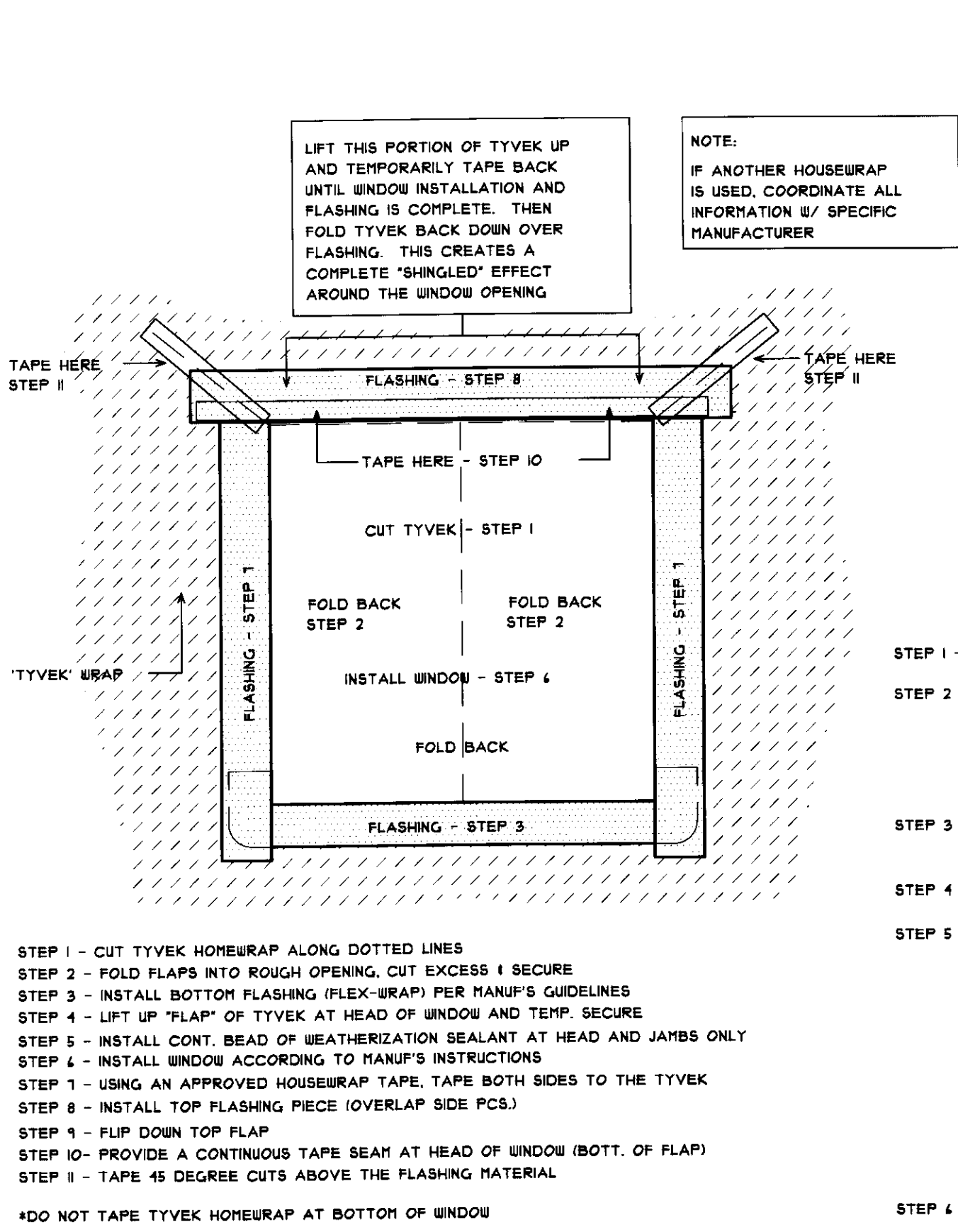
BIDS

PERMITS 02-06-15

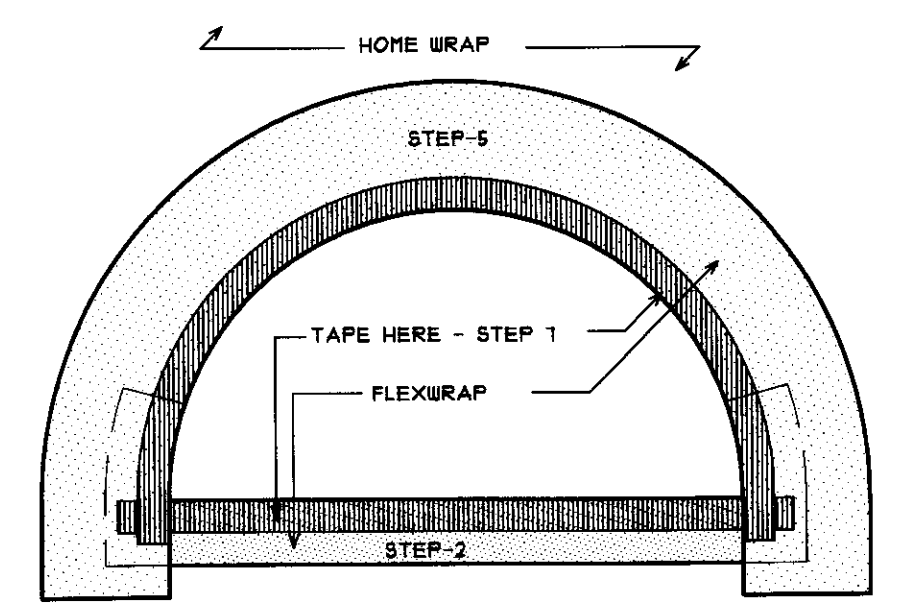
CONSTRUCTION

REVISIONS

DRAWN BY: AW
CAD FILENAME: GATEWOOD.dwg
CHECKED BY: BN / AM
JOB NUMBER: 4162
DATE: 02-06-15
SHEET NUMBER: 10



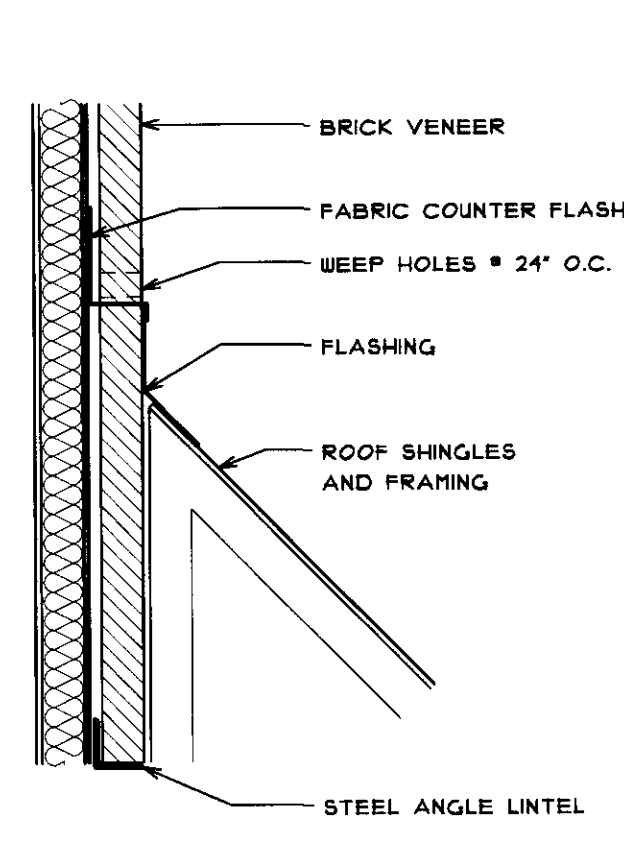
410 HOMEWRAP WINDOW DETAIL BY TYVEK
RECTANGULAR WINDOW SCALE: NTS



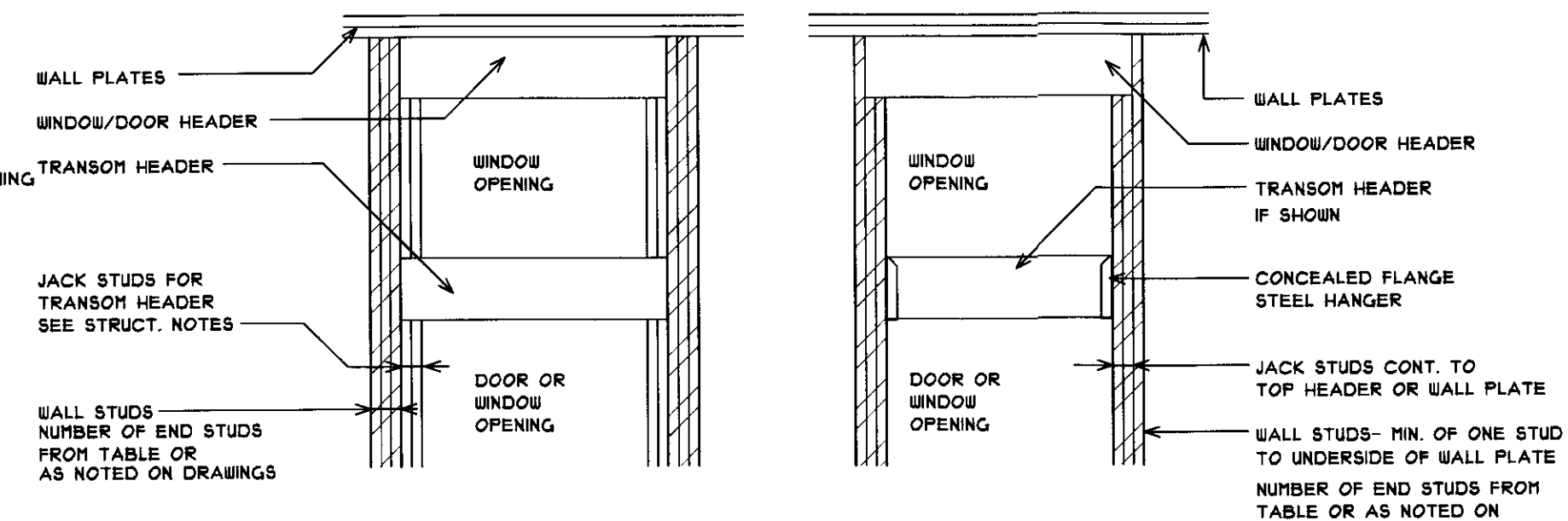
FOR ROUND-TOP WINDOW HEAD FLASHING
FOLLOWING RECTANGLE WINDOW INSTRUCTIONS FOR PROPER INSTALLATION PRIOR TO HEAD FLASHING INSTALLATION. INSTALL ROUND-TOP WINDOWS AS DESCRIBED BY WINDOW MANUFACTURER'S INSTALLATIONS. THEN FOLLOW INSTRUCTIONS BELOW TO COMPLETE ROUND-TOP WINDOW INSTALLATION.

- STEP 1 - MEASURE SILL PORTION OF WINDOW THEN ADD 12" TO THIS LENGTH
 - STEP 2 - REMOVE APPROXIMATELY 20" OF BOTH RELEASE PAPERS, POSITION TYVEK FLEXWRAP 4" ABOVE SILL AND TIGHTLY BEGIN ADHERING THE FLEXWRAP DOWN AND ALONG THE SILL. CONTINUE UNTIL THE FLEXWRAP IS FULLY POSITIONED ACROSS THE ENTIRE SILL AND 4" UP THE OPPOSITE SIDE.
 - STEP 3 - MEASURE THE ROUND PORTION OF WINDOW THEN ADD 12" TO THIS LENGTH.
 - STEP 4 - CUT TYVEK FLEXWRAP TO THIS LENGTH FOR HEAD FLASHING.
 - STEP 5 - REMOVE APPROXIMATELY 20" OF BOTH RELEASE PAPERS, POSITION TYVEK FLEXWRAP TIGHTLY ALONG THE FIRST EDGE OF THE ROUND WINDOW. THEN PRESS FIRMLY INTO PLACE. CONTINUE REMOVING RELEASE PAPER AND CONFORM TYVEK FLEXWRAP ALONG ENTIRE ROUND PORTION OF WINDOW.
 - STEP 6 - USE DUPONT CONTRACTOR TAPE OR MECHANICAL FASTENERS (I.E. NAILS, STRAPS OR SCREWS), TO TEMPORARILY HOLD TOP EDGE OF HEAD FLASHING TO WALL.
 - STEP 7 - ADHESIVE BOND WILL STRENGTHEN OVER TIME. BOTH ENDS OF HEAD FLASHING SHOULD OVERLAP JAMB FLASHING BY AT LEAST 4"
 - STEP 8 - FLIP DOWN UPPER FLAP OF WEATHER RESISTIVE BARRIER SO IT LAYS FLAT ACROSS HEAD FLASHING.
 - STEP 9 - TAPE ALONG ALL CUTS IN WEATHER BARRIER AND HEAD OF THE WINDOW WITH DUPONT CONTRACTOR TAPE.
- NOTE:** FOR ADDED INFORMATION CONTACT THE LOCAL "TYVEK" SPECIALIST.

407 FLASHING DETAIL
SCALE: 3/4" = 1'-0"



409 FLASHING DETAIL
SCALE: 3/4" = 1'-0"



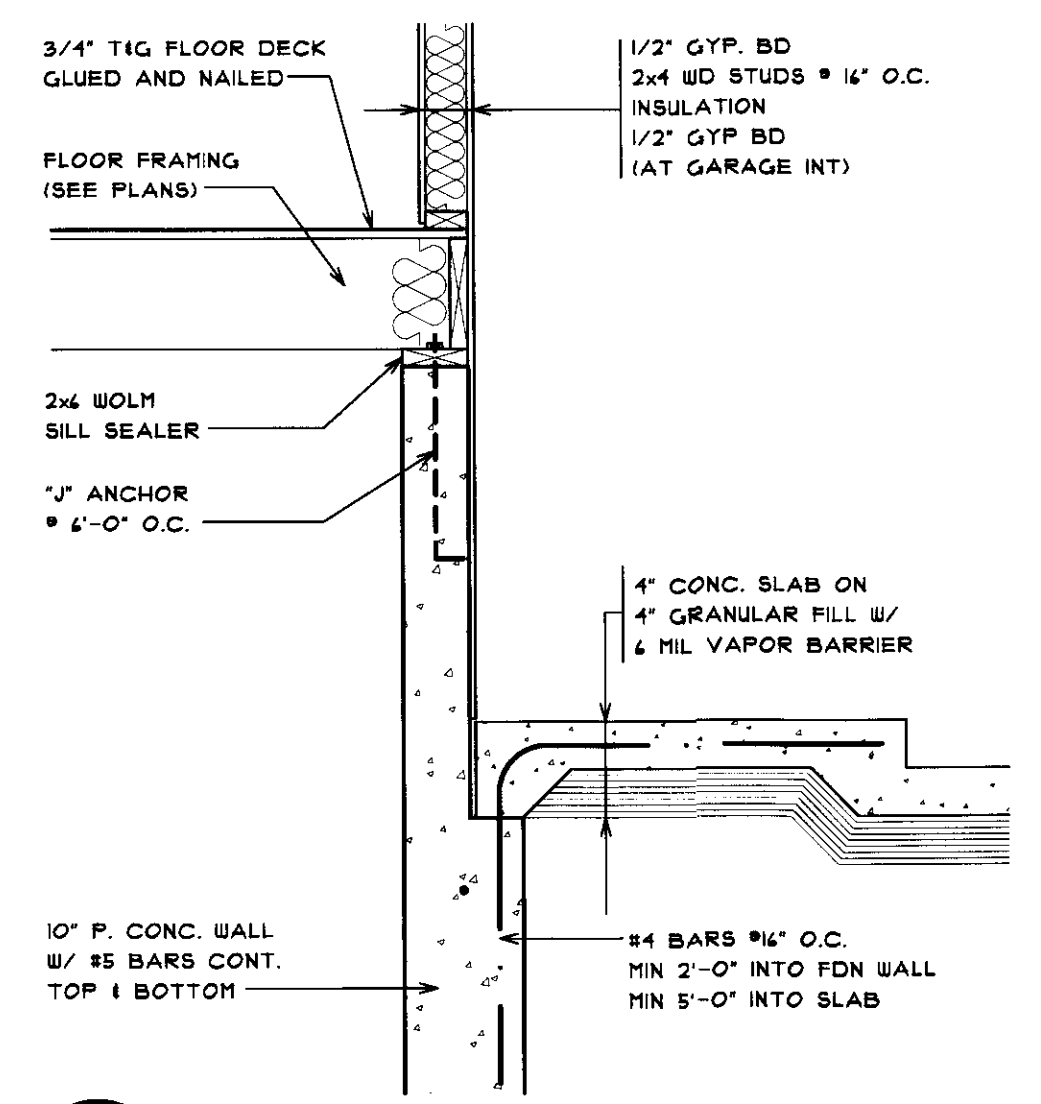
WALL STUDS AT OPENING JAMB

OPENING WIDTH	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"
NUMBER OF STUDS EACH SIDE	1	2	2	3	3	4

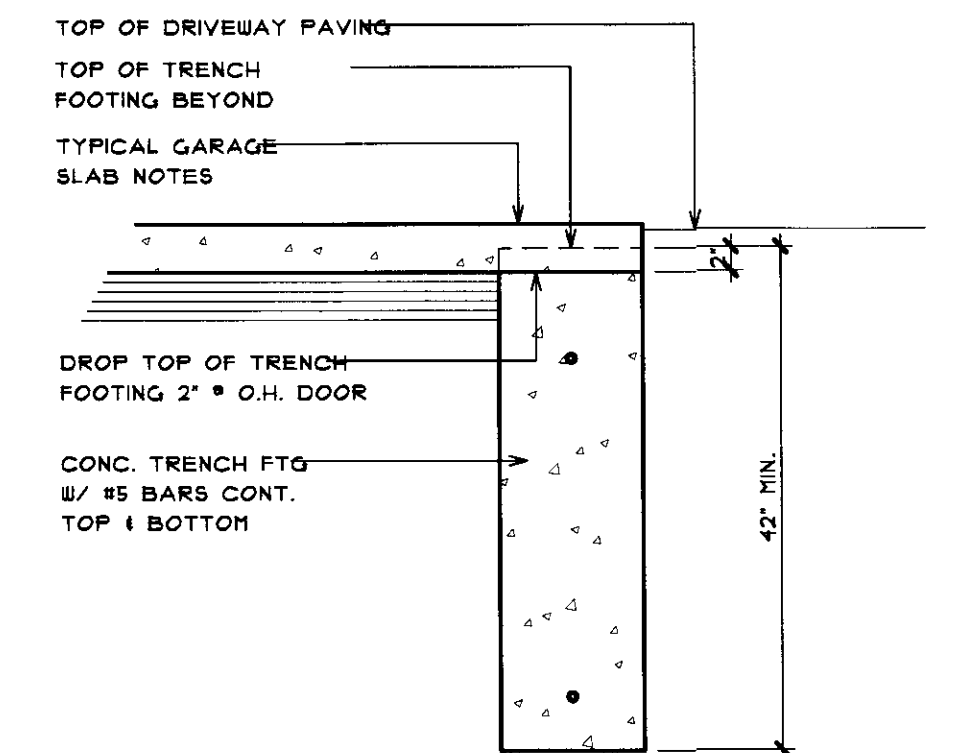
*FOR WALL HEIGHTS 10'-0" TO 11'-0"

WINDOW / DOOR END STUD DETAIL

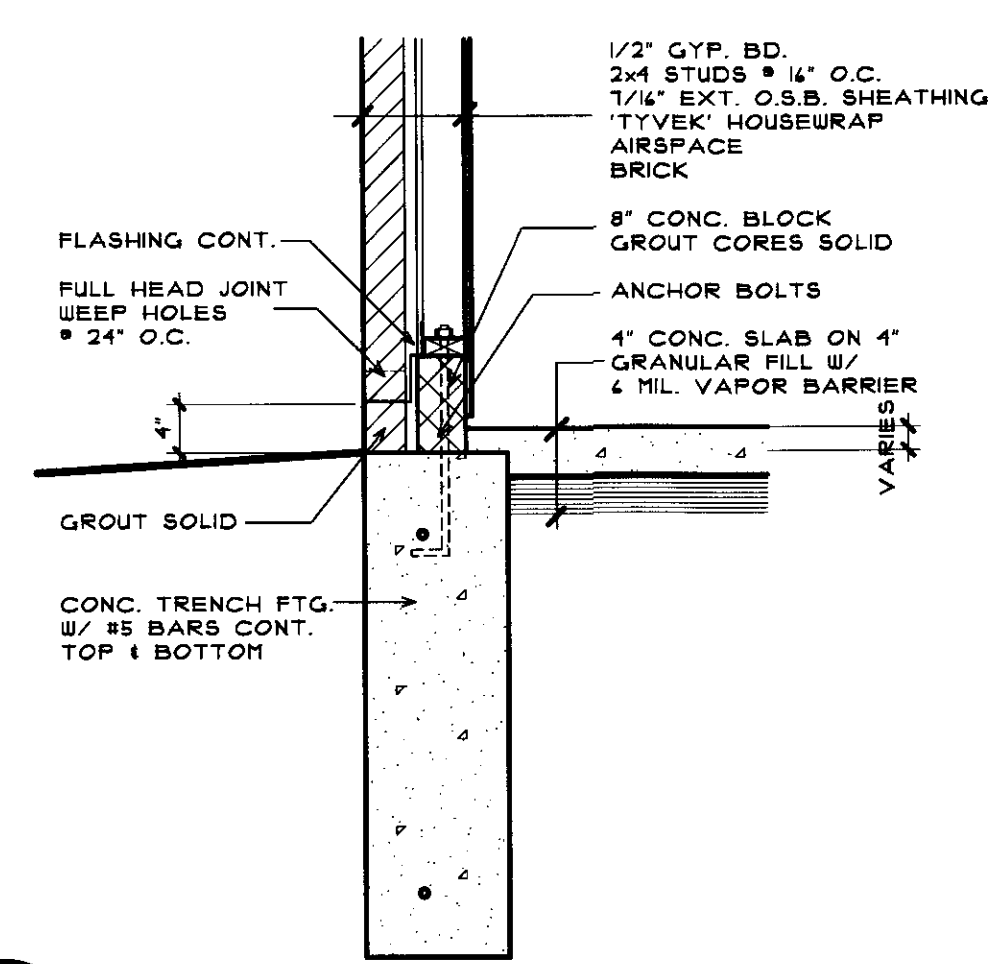
A MINIMUM OF ONE WALL STUD SHALL BE CONTINUOUS TO WALL PLATE AT EACH SIDE OF OPENING



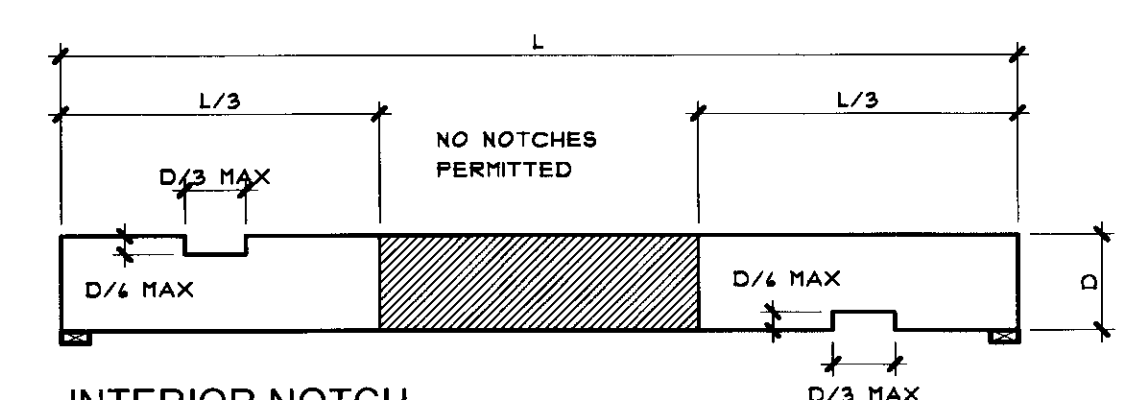
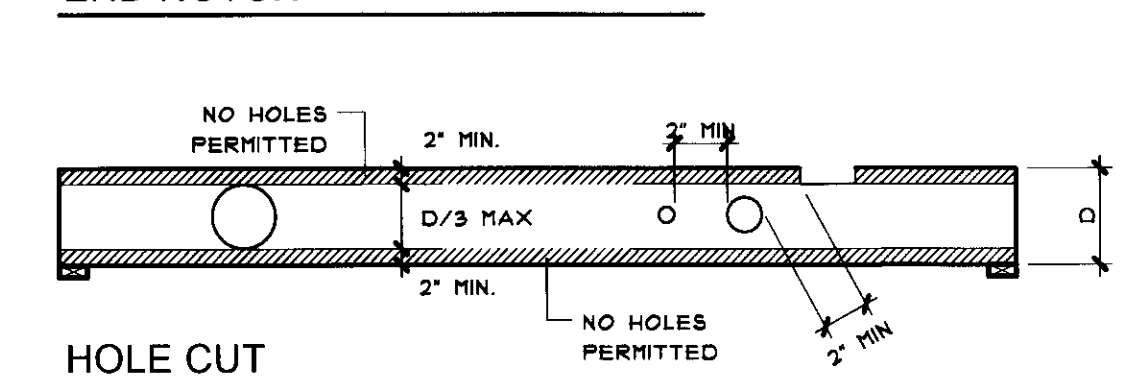
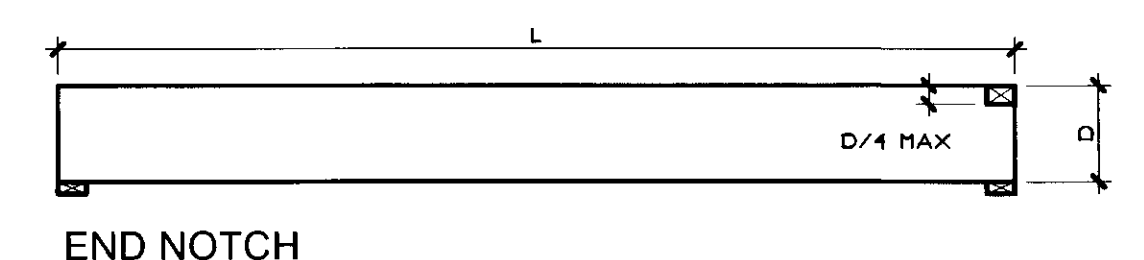
404 DETAIL @ GARAGE AND HOUSE
SCALE: 3/4" = 1'-0"



403 DETAIL @ O.H. DOOR
SCALE: 3/4" = 1'-0"



402 DETAIL BETWEEN EXTERIOR AND GARAGE
SCALE: 3/4" = 1'-0"

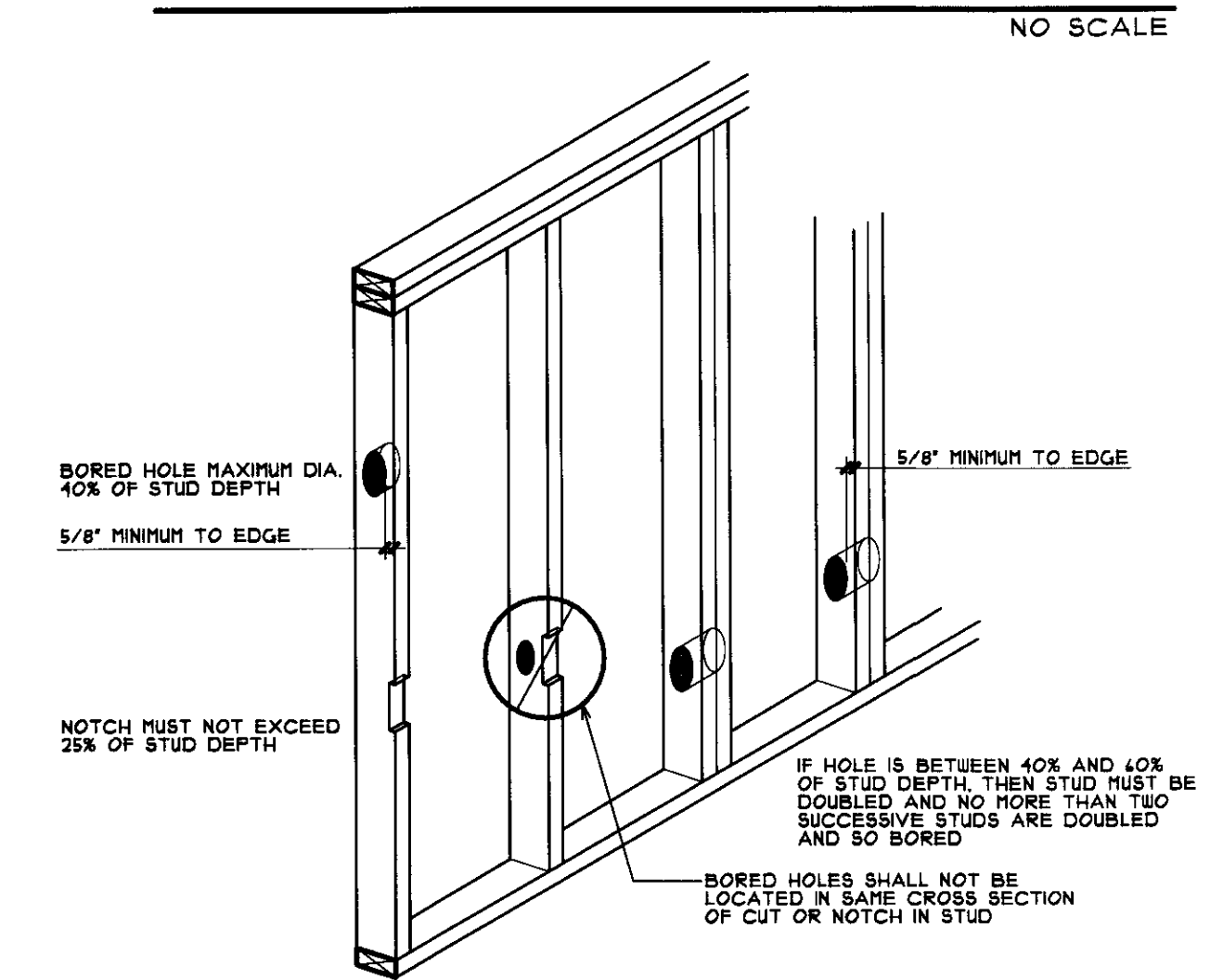


INTERIOR NOTCH

JOIST SIZE	NOTCH (W x D)	HOLE DIAMETER (D/3)
2x8	2 3/8" x 1 1/8"	2 3/8"
2x10	3" x 1 1/2"	3"
2x12	3 3/4" x 1 7/8"	3 3/4"

ALL SIZES INDICATED ARE MAXIMUM AND INCLUDE ANY OVER-CUT BEYOND OPENING

JOIST CUTTING DETAILS



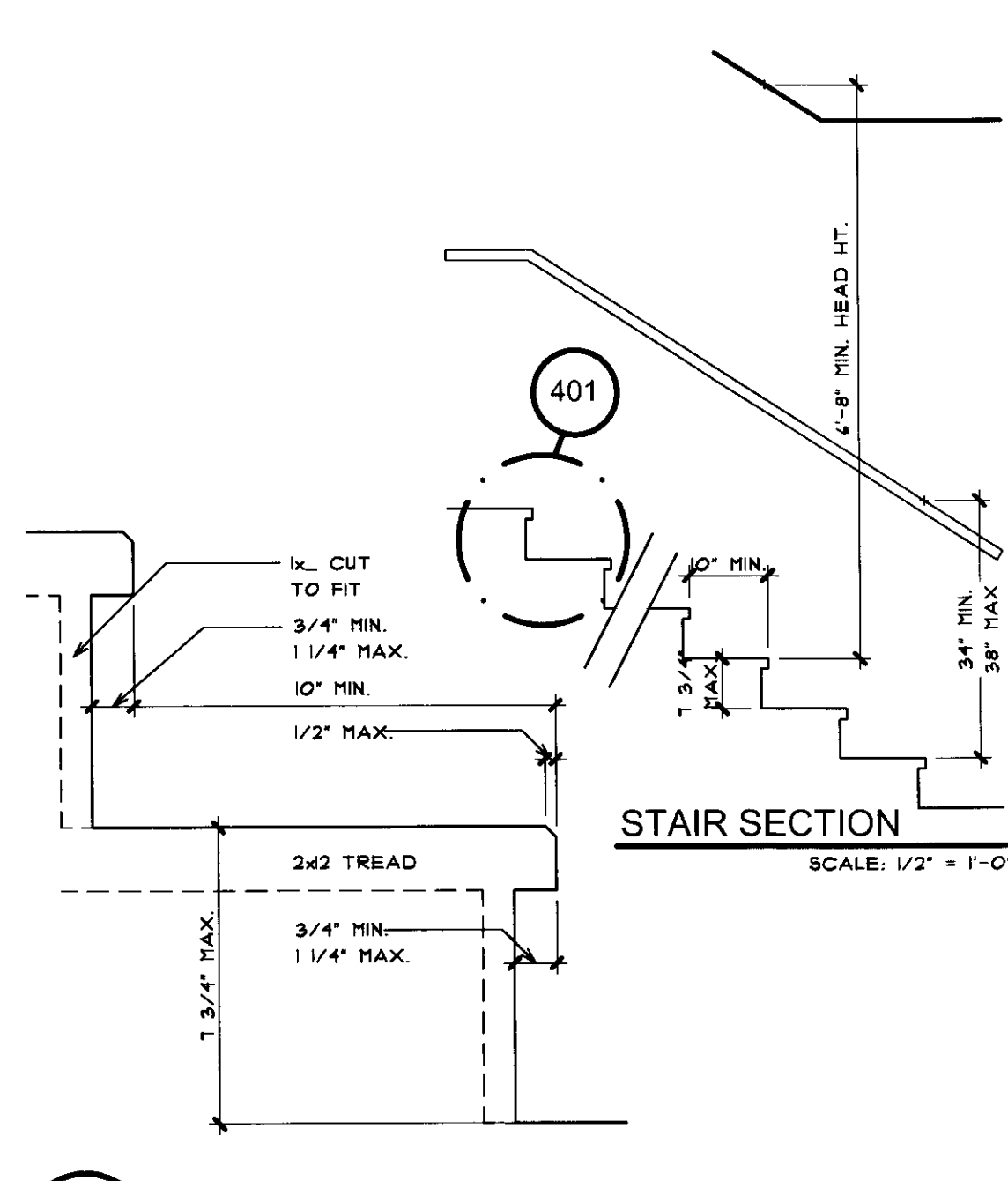
STUD SIZE	NOTCH	HOLE DIAMETER (40%)	(40%)
2x4	1/8"	2"	1 3/8"
2x6	1 3/8"	3"	2 3/16"
2x8	1 3/4"	4 1/4"	2 1/8"

ALL SIZES INDICATED ARE MAXIMUM AND INCLUDE ANY OVER-CUT BEYOND OPENING

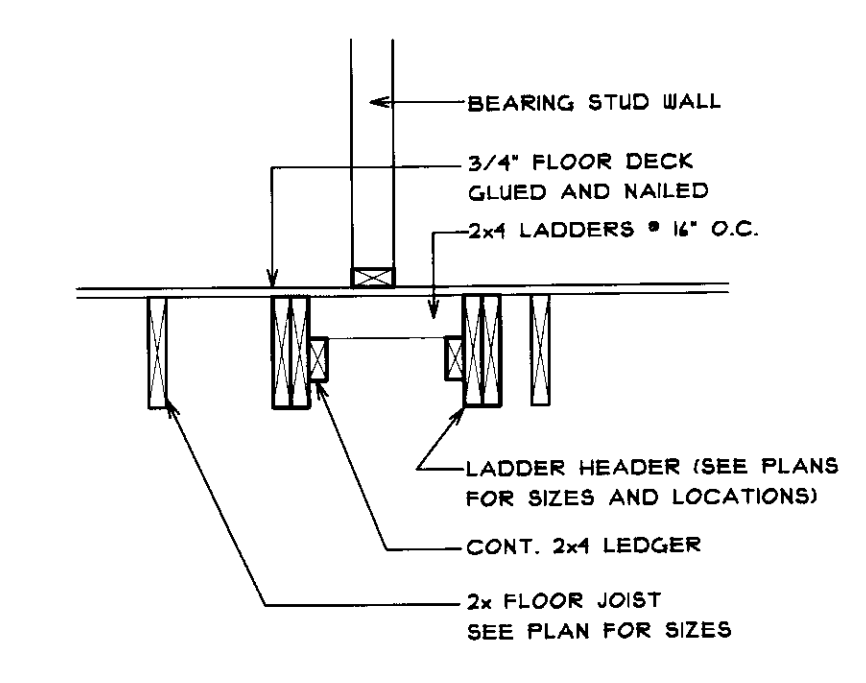
*** SEE CURRENT CODE FOR COMPLETE WRITTEN DESCRIPTION OF ALLOWABLE CUTTING & BORING.

STUD BORING & CUTTING DETAILS

BEARING WALLS



401 TYPICAL STAIR DETAIL
SCALE: 1/2" = 1'-0"



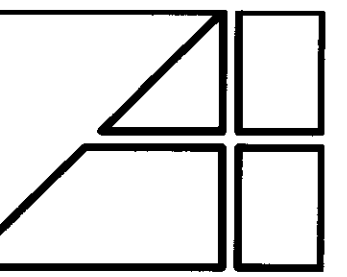
400 LADDER DETAIL
SCALE: 3/4" = 1'-0"

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SHEET TITLE: TYPICAL DETAILS
 SHEET NUMBER: 4

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WALL BRACING DETAILS

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WALL BRACING

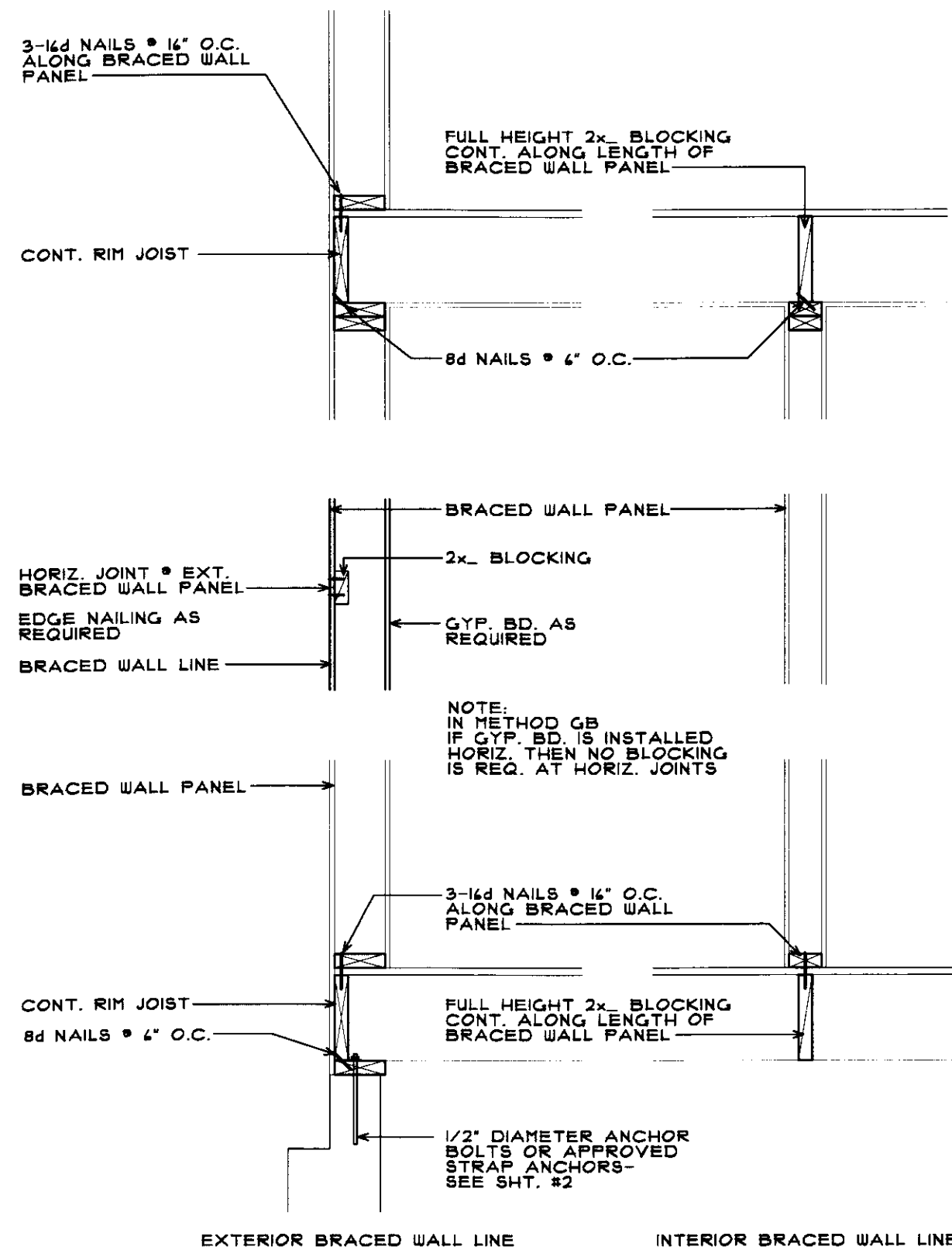
THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2009 MICHIGAN RESIDENTIAL CODE. THIS SHEET REFERENCES FASTENING TABLES AND SPECIFIC CODE SECTIONS. A COPY OF THE CURRENT CODE BOOK IS TO BE RETAINED BY THE BUILDER/ GENERAL CONTRACTOR AND MADE AVAILABLE FOR USE AND REFERENCE BY ALL TRADES WHEN FRAMING THIS BUILDING. ALL CONSTRUCTION SHALL CONFORM TO ALL THE REQUIREMENTS OF THE REFERENCED CODE.

ADDITIONAL SECTIONS AND DETAILS HAVE BEEN PROVIDED IN THIS SET. ANY CONFLICTS BETWEEN THE INFORMATION PROVIDED AND THE CURRENT CODE, THE MOST STRINGENT SHALL APPLY.

SEE SHEET #1 AND ALL FLOOR PLANS SHEETS FOR ADDITIONAL NOTES, DIMENSIONS AND STRUCTURAL INFORMATION AND REQUIREMENTS.

SEE SHEET #2 FOR LOAD PATH AND THE DOWN REQUIREMENTS TO BE USED IN CONJUNCTION WITH WALL BRACING REQUIREMENTS.

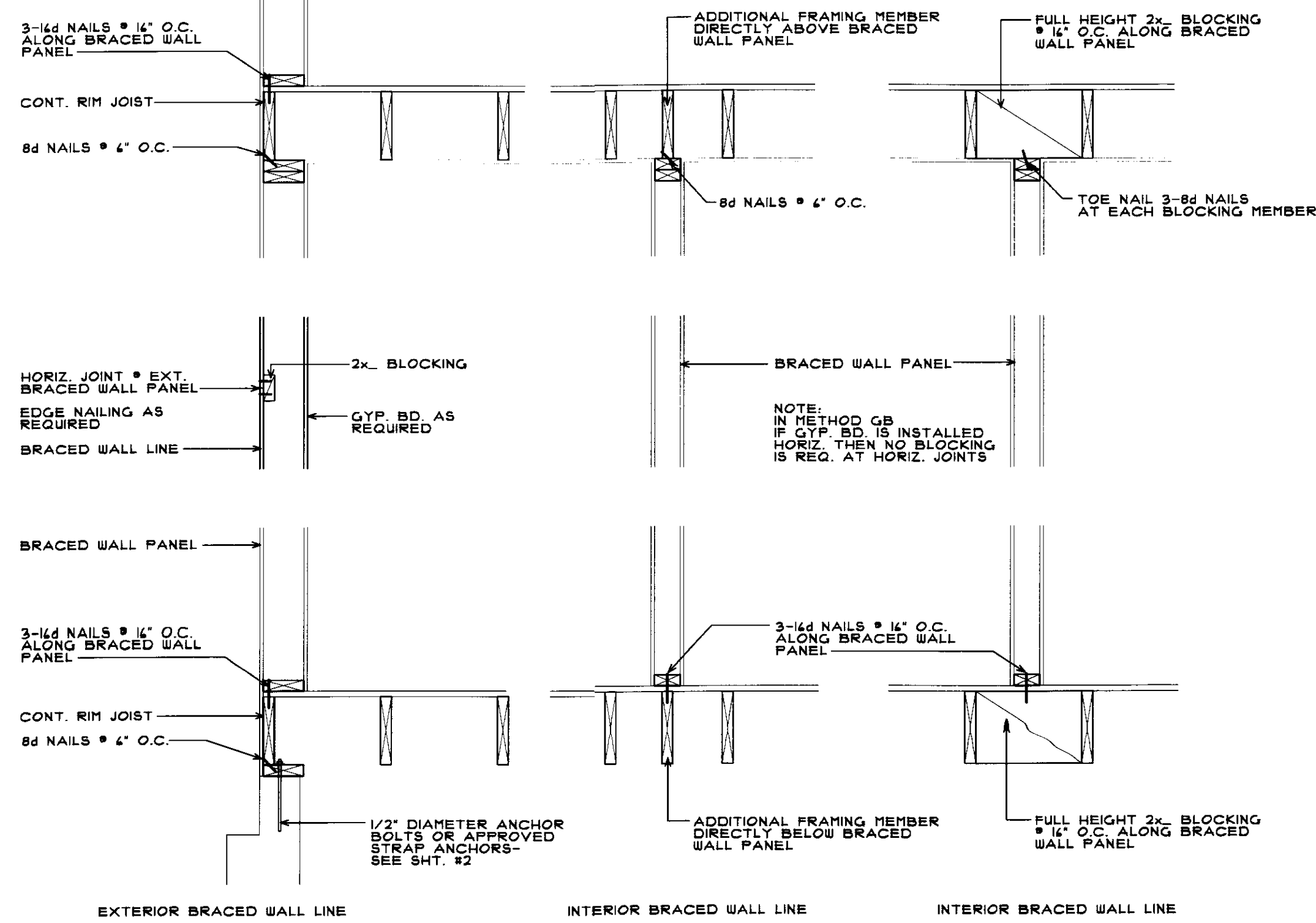
WIND		SEISMIC DESIGN CATEGORY
SPEED	EXPOSURE	
10 MPH	CATEGORY- B	A



* SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING
 * BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.

BRACED WALL PANEL CONNECTIONS

FLR/CLG FRAMING PERPENDICULAR JOISTS



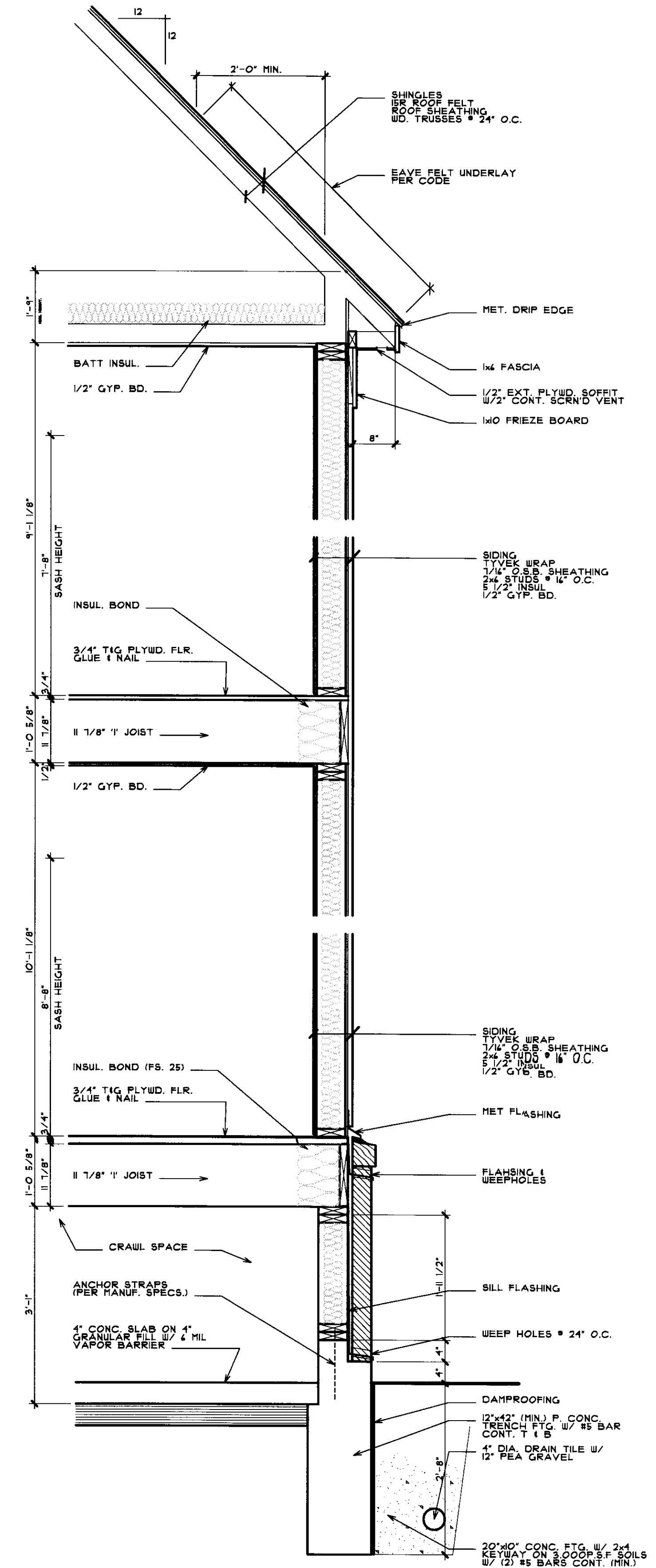
* SEE TABLE R602.3(1) FASTENER SCHEDULE FOR NAILING
 * BRACED WALL PANELS TO MEET ALL REQUIREMENTS OF CURRENT RESIDENTIAL CODE CHAPTER 4.

BRACED WALL PANEL CONNECTIONS

FLOOR/CEILING FRAMING PARALLEL JOISTS

WALL BRACING METHODS

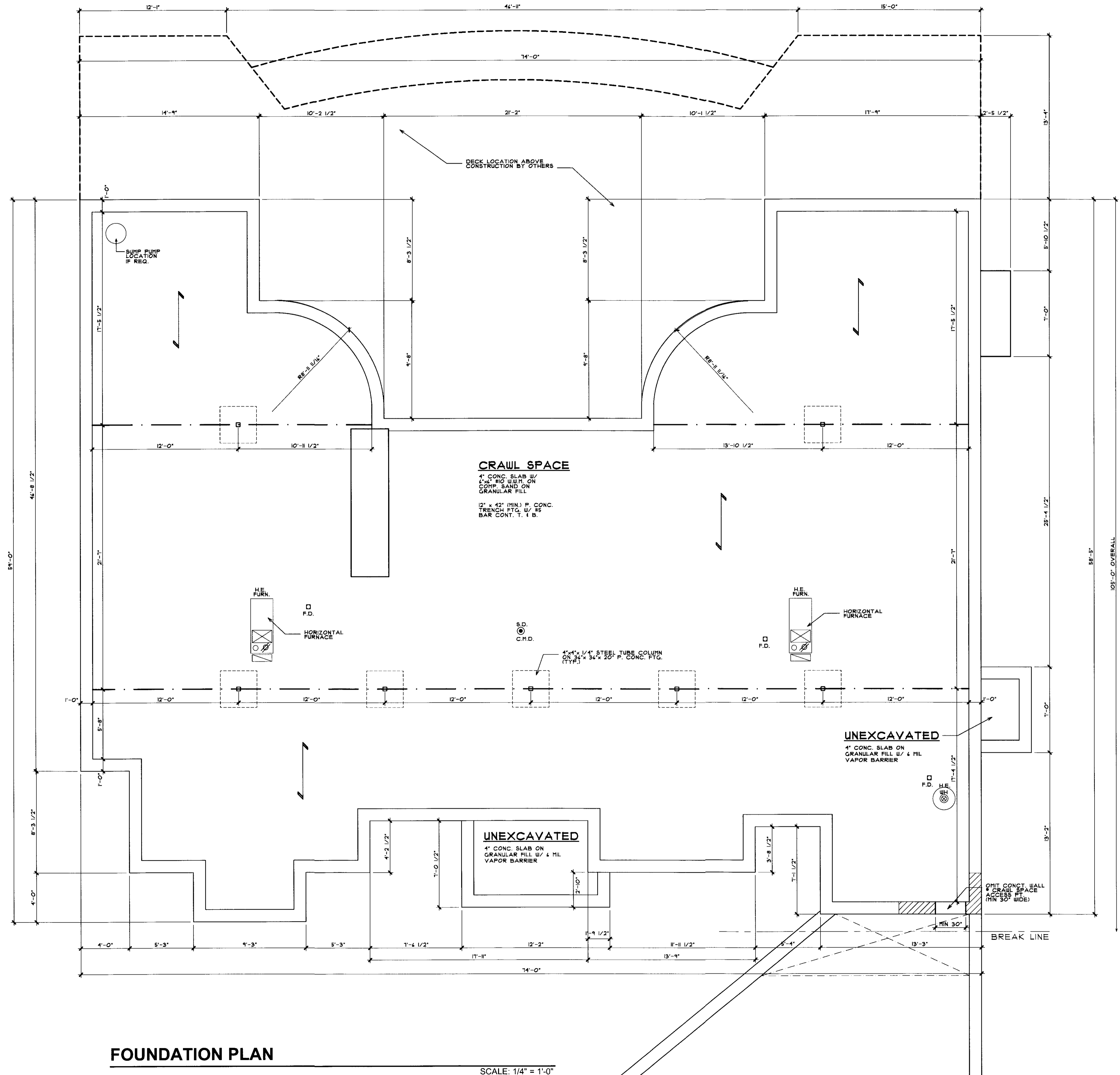
METHOD	MATERIAL	MINIMUM THICKNESS	CONNECTION CRITERIA
** ALL EXTERIOR WALLS			
CS-WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON (2") NAILS AT 4" SPACING (PANEL EDGES) 12" SPACING (INTERMEDIATE) 16 GA. x 1 3/4 STAPLES AT 3" SPACING (PANEL EDGES) 4" SPACING (INTERMEDIATE)
** ADJACENT TO GARAGE DOORS AS INDICATED ON PLAN.			
CS-PF	CONTINUOUS PORTAL FRAME	SEE SECTION R402.10.4.1.1	SEE SECTION R402.10.4.1.1



501

WALL SECTION

SCALE: 3/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE. BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER. TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION. SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION. SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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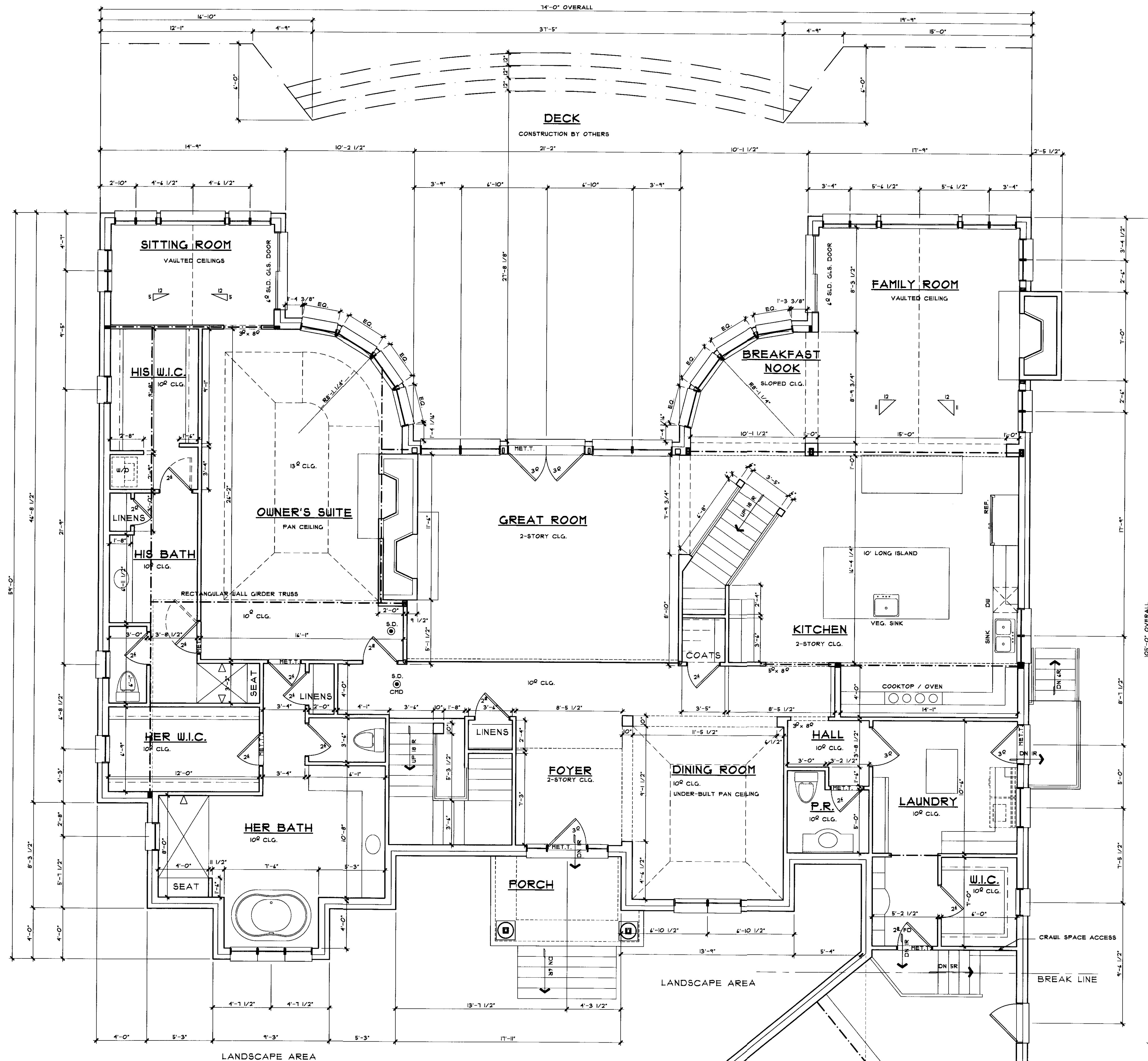
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SHEET TITLE: FOUNDATION PLAN

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SQUARE FOOTAGE	
1ST FLOOR	3435 SQ FT
2ND FLOOR	1344 SQ FT
TOTAL	4779 SQ FT

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

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FIRST FLOOR PLAN

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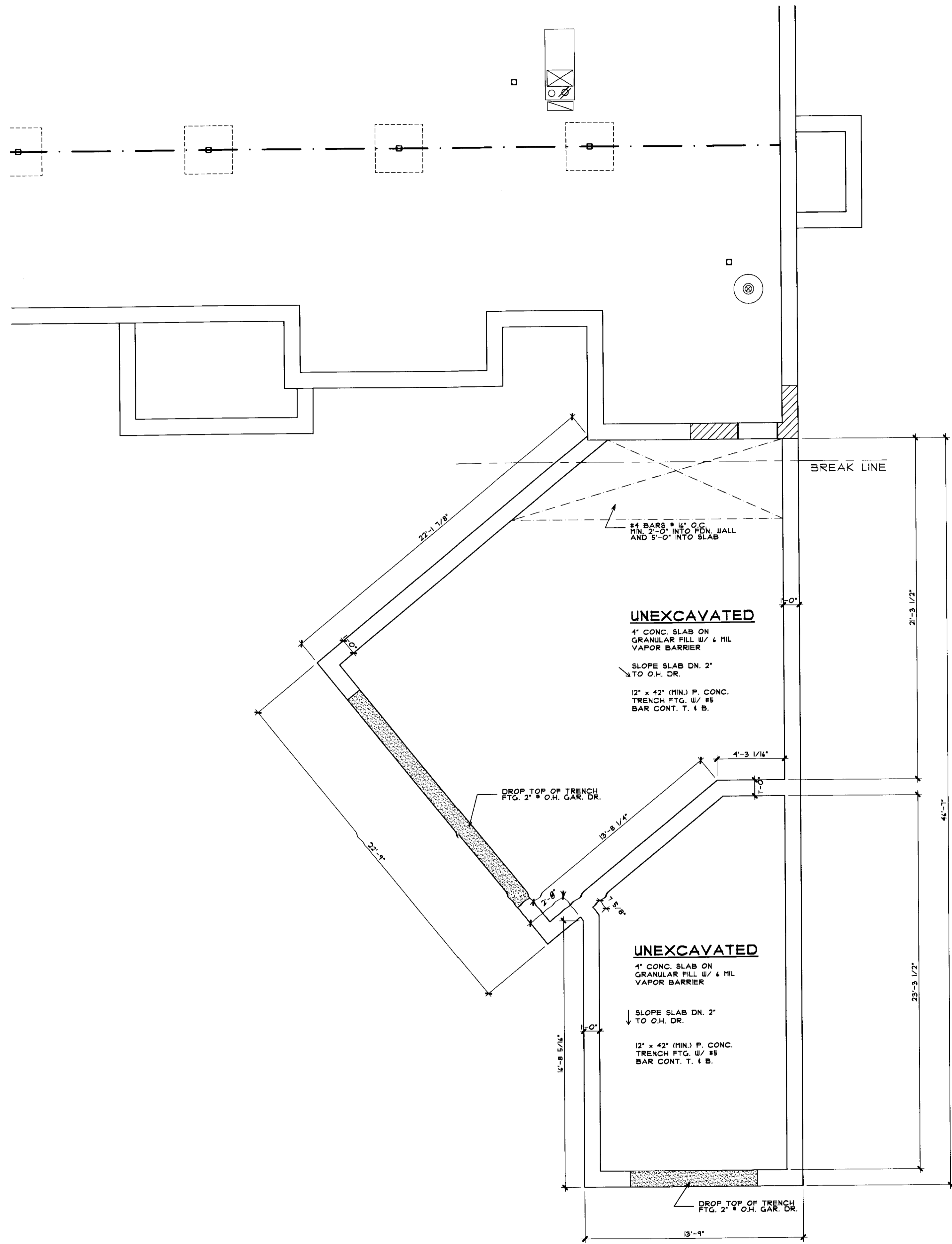
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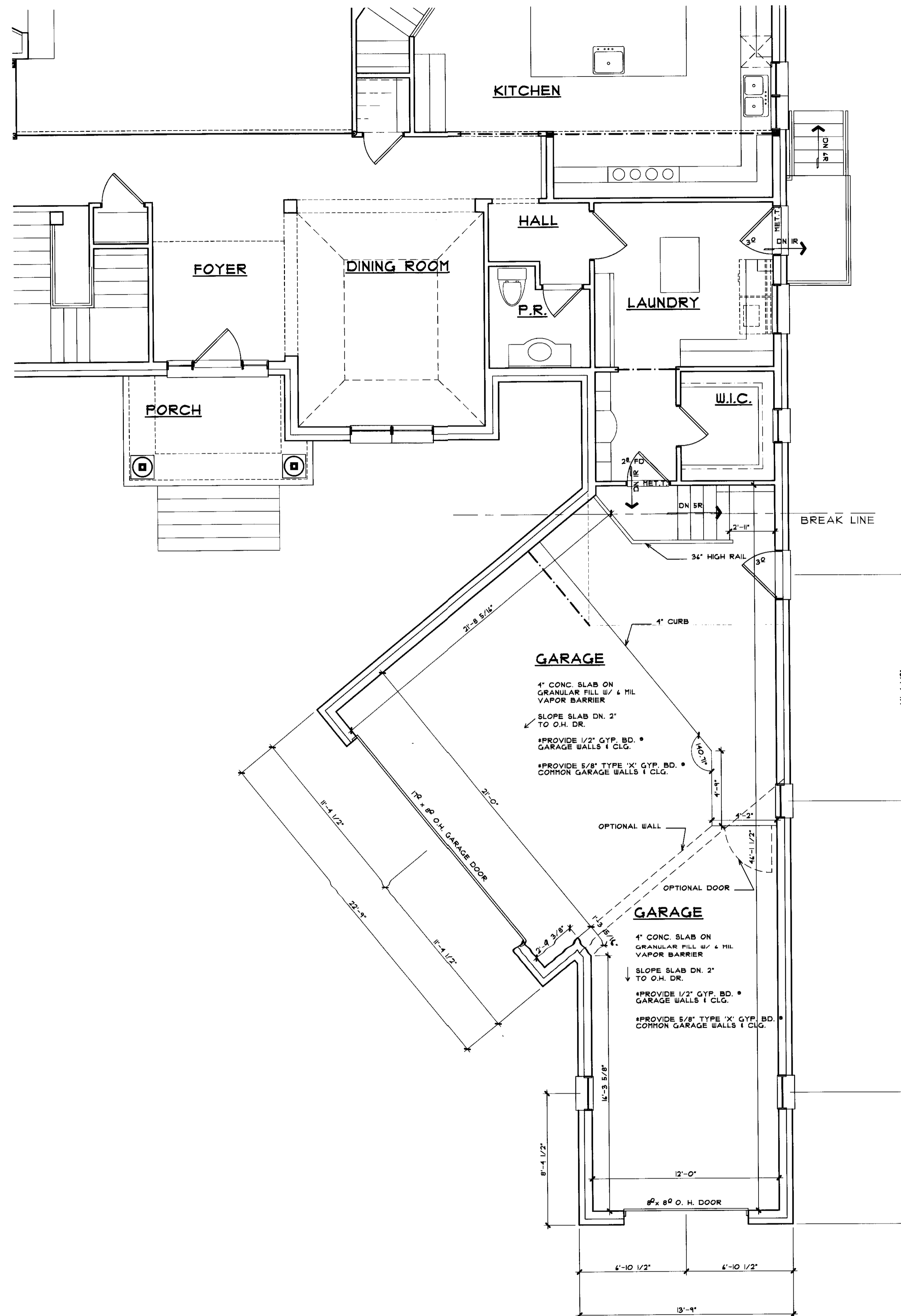
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GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



GARAGE FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET # FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

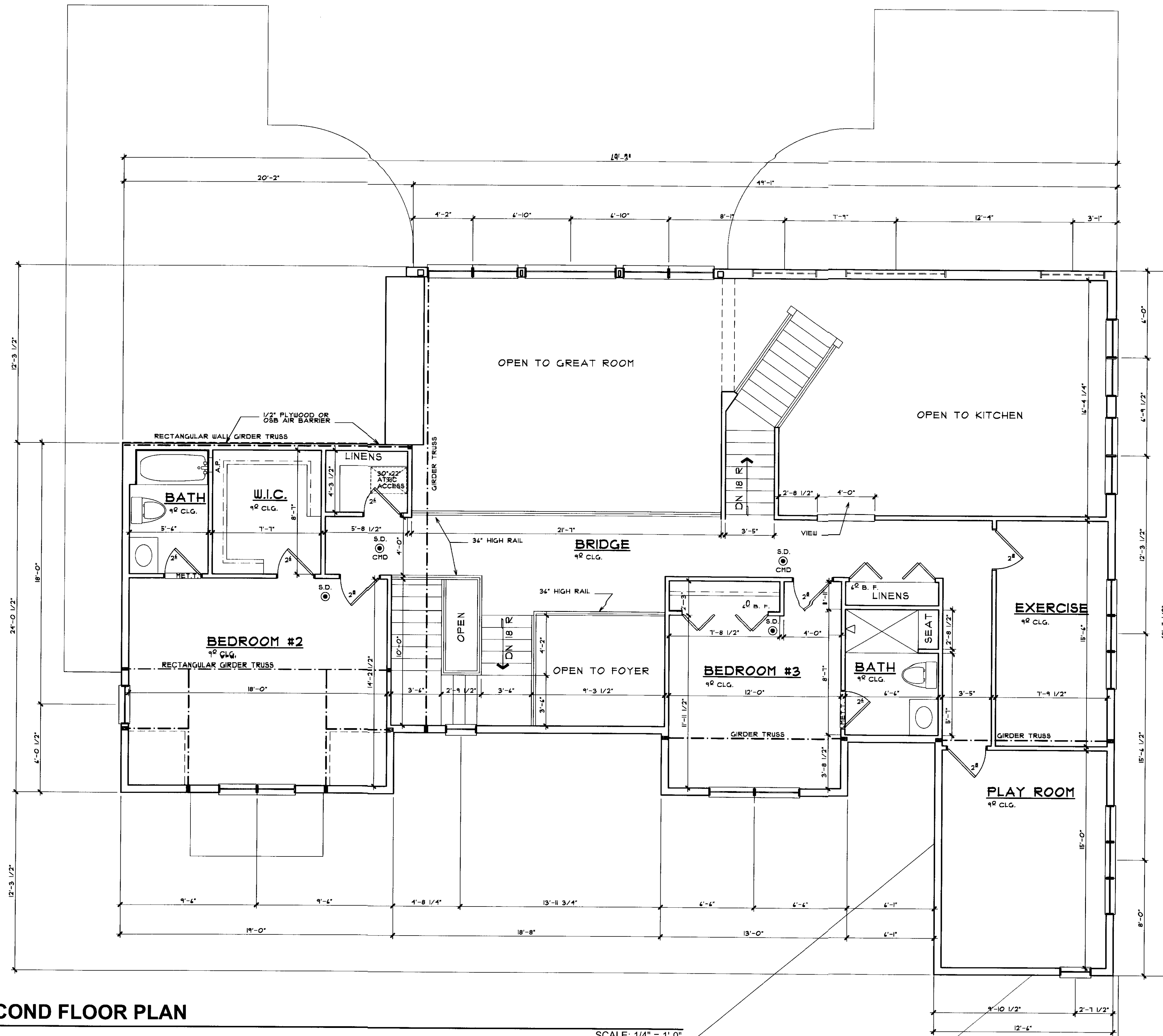
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GARAGE PLANS

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

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SECOND FLOOR PLAN

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WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 7" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2040.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

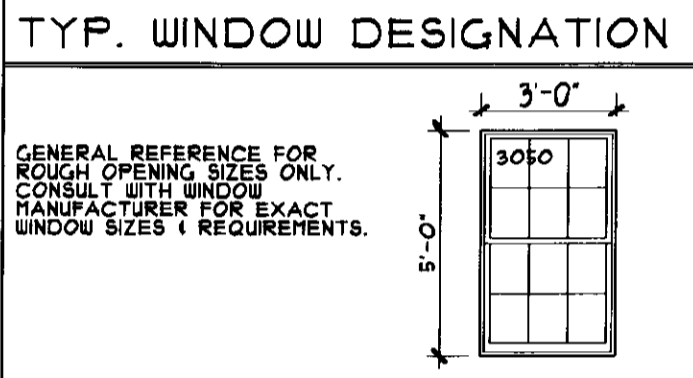
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

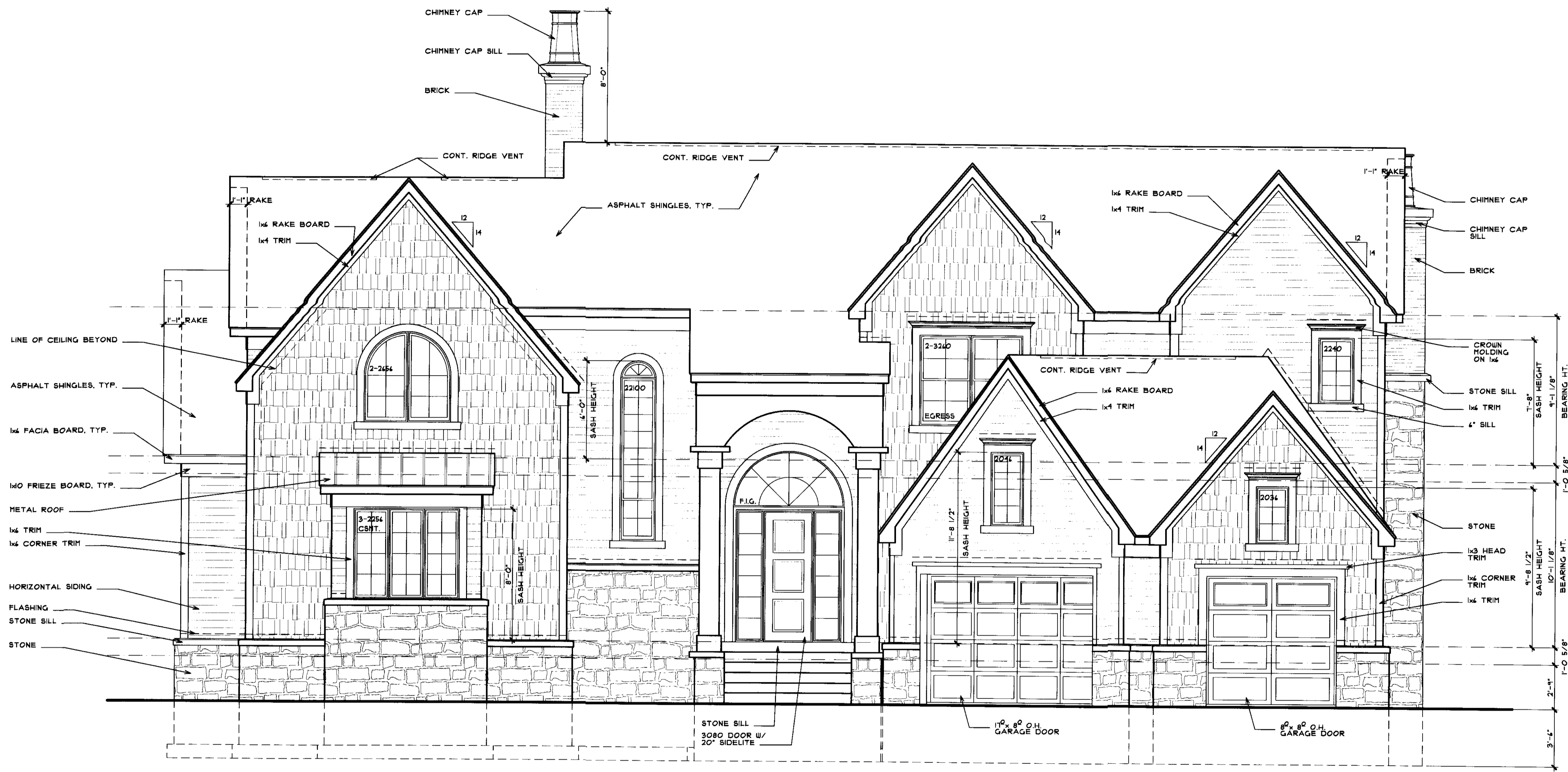
MAX. CLEAR SPAN	LINTEL SIZE
7'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.



EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2040.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

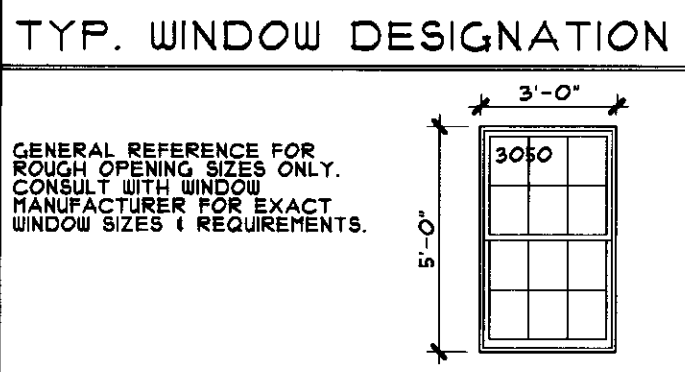
STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
6'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

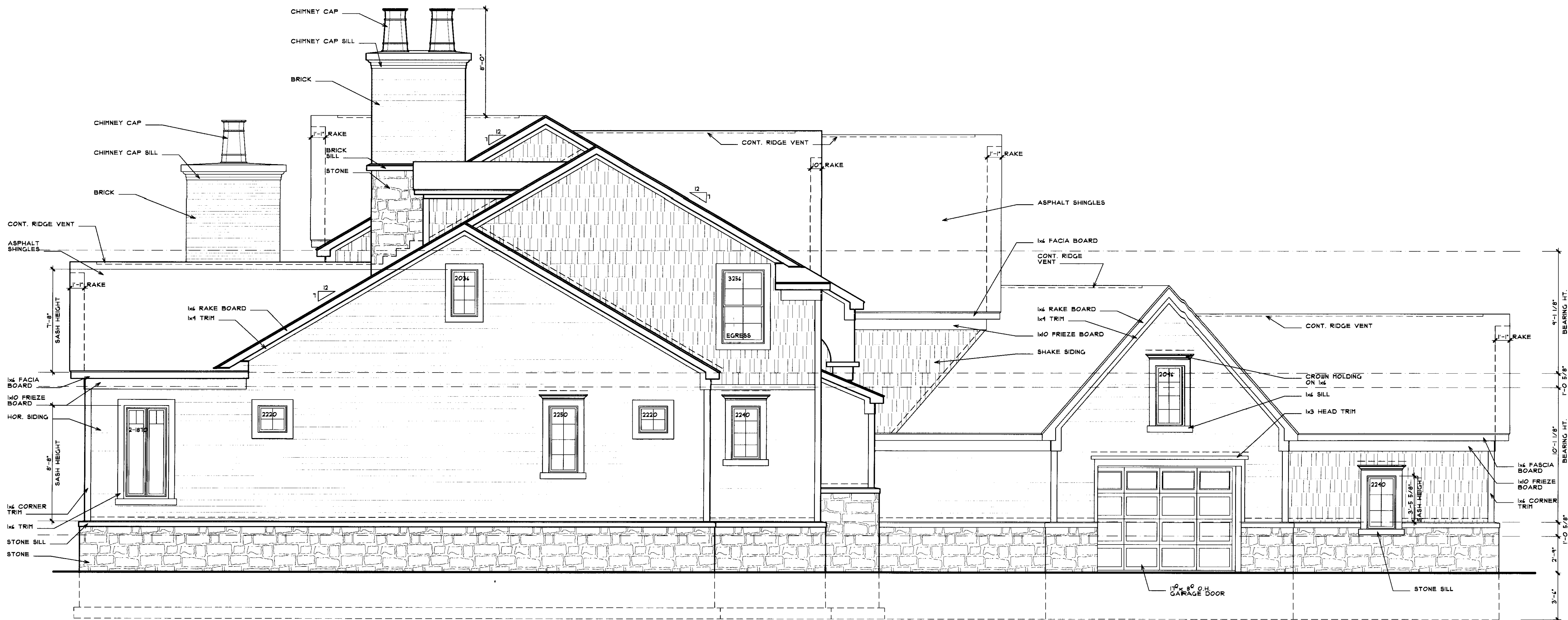
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OR RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.



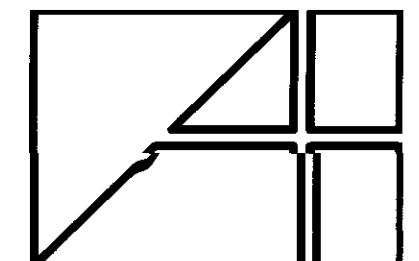
EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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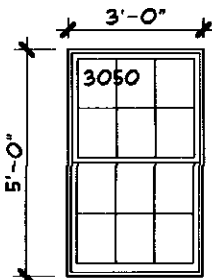
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WINDOW SILLS	
IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:	
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.	
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2010.	

OVERHANGS & DRAINAGE	
PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.	
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 2" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.	

STEEL LINTEL SCHEDULE	
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)	
MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.	
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.	

TYP. WINDOW DESIGNATION	
GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.	
	

EGRESS WINDOW	
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.	



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2090.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

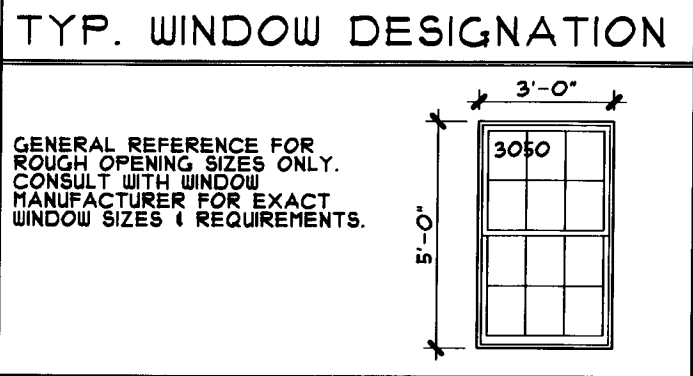
STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX. CLEAR SPAN	LINTEL SIZE
3'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
4'-0" OR LESS	4" x 3 1/2" x 5/16"
5'-0" OR LESS	5" x 3 1/2" x 5/16"
6'-0" OR LESS	5" x 3 1/2" x 3/8"
7'-0" OR LESS	4" x 3 1/2" x 3/8"

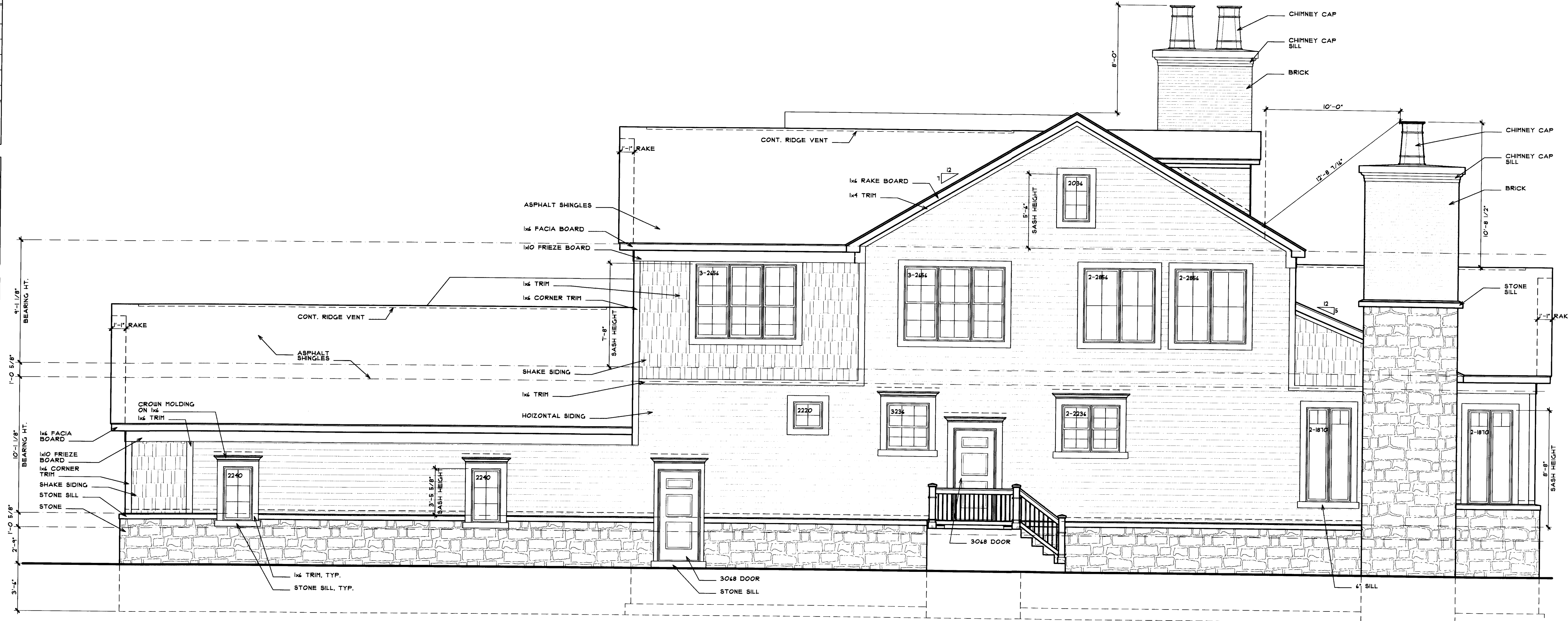
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.



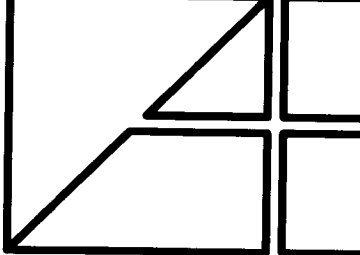
EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248-334-5000

SHEET TITLE: **RIGHT SIDE ELEVATION**
 CLIENT/PROJECT: **GATEWOOD RESIDENCE**
 T. MAGURAN GENERAL CONTRACTOR
 MICHIGAN

COPYRIGHT 2014
 ALEXANDER V. BOGAERTS + ASSOC.
 PRELIMINARY
 BIDS
 PERMITS 02-06-15
 CONSTRUCTION
 REVISIONS:

DRAWN BY: AW
 CAD FILENAME: GATEWOOD.dwg
 CHECKED BY: BN / AM
 JOB NUMBER: 4162
 DATE: 02-06-15
 SHEET NUMBER:

ZBA 15-03 Area Map



PATHWAY

WATER WILLOW

WHITE WILLOW

Text

HUGHES

RED OAKS

1 inch = 150 feet

* All Measurements are Approximate,
Parcel Boundaries are Approximate and May be Inaccurate.

This is not a survey.

Source: Livingston County GIS Department

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

02/23/2015 12:33 PM

Parcel:	4711-10-201-003	Current Class:	401.401 RESIDENTIAL-IMPROVED
Owner's Name:	GATEWOOD JACK & CAROL	Previous Class:	401.401 RESIDENTIAL-IMPROVED
Property Address:	1022 S HUGHES RD HOWELL, MI 48843	Gov. Unit:	4711 GENOA CHARTER TOWNSHIP
		MAP #	V15-03
		School:	47070 HOWELL
		Neighborhood:	4309 4309 LK CHEMUNG LAKEFRONT
Liber/Page:	4834/0020	Created:	//
Split:	//	Active:	Active
Public Impr.:	None		
Topography:	REFUSE		

Mailing Address:

GATEWOOD JACK & CAROL
1022 S HUGHES RD
HOWELL MI 48843

Most Recent Sale Information

Sold on 05/16/2005 for 420,000 by LYNCH, RUTH A..

Terms of Sale: ARMS-LENGTH

Liber/Page: 4834/0020

Most Recent Permit Information

Permit 10-107 on 08/27/2010 for \$0 category ADDITION.

Physical Property Characteristics

2015 S.E.V.:	Tentative	2015 Taxable:	Tentative	Lot Dimensions:	
2014 S.E.V.:	157,800	2014 Taxable:	146,812	Acres:	0.33
Zoning:	LRR	Land Value:	147,000	Frontage:	90.0
PRE:	100.000	Land Impr. Value:	1,575	Average Depth:	157.2

Improvement Data

of Residential Buildings: 1
Year Built: 1950
Occupancy: Single Family
Class: CD
Style: CD
Exterior: Wood Siding
% Good (Physical): 52
Heating System: Forced Air w/ Ducts
Electric - Amps Service: 0
of Bedrooms: 3
Full Baths: 2 Half Baths: 0
Floor Area: 2,754
Ground Area: 2,032
Garage Area: 720
Basement Area: 0
Basement Walls:
Estimated TCV: 191,061

Image



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
LYNCH, RUTH A.	GATEWOOD JACK & CAROL	420,000	05/16/2005	WD	ARMS-LENGTH	4834/0020	BUYER	100.0		
LYNCH, RUTH A. REPRESENTAT	LYNCH, RUTH A.	0	08/07/2003	IV	INVALID SALE	4078-0298	BUYER	0.0		
LYNCH, RUTH		198,000	07/11/1994	WD	ARMS-LENGTH	1849-0605	BUYER	0.0		
		0	09/30/1993	LC	MEMO L/C	17730937	BUYER	0.0		
Property Address		Class: 401 RESIDENTIAL-IM		Zoning: LRR	Building Permit(s)	Date	Number	Status		
1022 S HUGHES RD		School: HOWELL			ADDITION	08/27/2010	10-107	NO START		
Owner's Name/Address		P.R.E. 100% 10/25/2007								
GATEWOOD JACK & CAROL 1022 S HUGHES RD HOWELL MI 48843		MAP #: V15-03								
Tax Description		2015 Est TCV Tentative		Land Value Estimates for Land Table 00004.LAKE CHEMUNG						
SEC. 10 T2N, R5E, MC NAMARA'S SUB LOT 3		X	Improved	Vacant	* Factors *					
Comments/Influences		Public Improvements		Description Frontage Depth Front Depth Rate %Adj. Reason Value						
		Dirt Road		LAKE FRONT 50.00 283.00 1.0000 1.0000 2300 100 115,000						
		Gravel Road		NON LAKE FRONT 40.00 0.00 1.0000 1.0000 800 100 32,000						
		Paved Road		90 Actual Front Feet, 0.33 Total Acres Total Est. Land Value = 147,000						
		Storm Sewer		Land Improvement Cost Estimates						
		Sidewalk		Description Rate CountyMult. Size %Good Cash Value						
		Water		D/W/P: 3.5 Concrete 3.20 1.00 192 46 283						
		Sewer		D/W/P: 3.5 Concrete 3.20 1.00 416 46 612						
		Electric		Shed: Wood Frame 9.24 1.00 160 46 680						
		Gas		Total Estimated Land Improvements True Cash Value = 1,575						
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X	REFUSE	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Who	When	What	2015	Tentative	Tentative	Tentative		Tentative
		LM	10/24/2011	INSPECTED	2014	73,500	84,300	157,800		146,812C
		LLM	11/02/2010	INSPECTED	2013	69,000	75,500	144,500		144,500S
					2012	69,000	74,000	143,000		143,000S

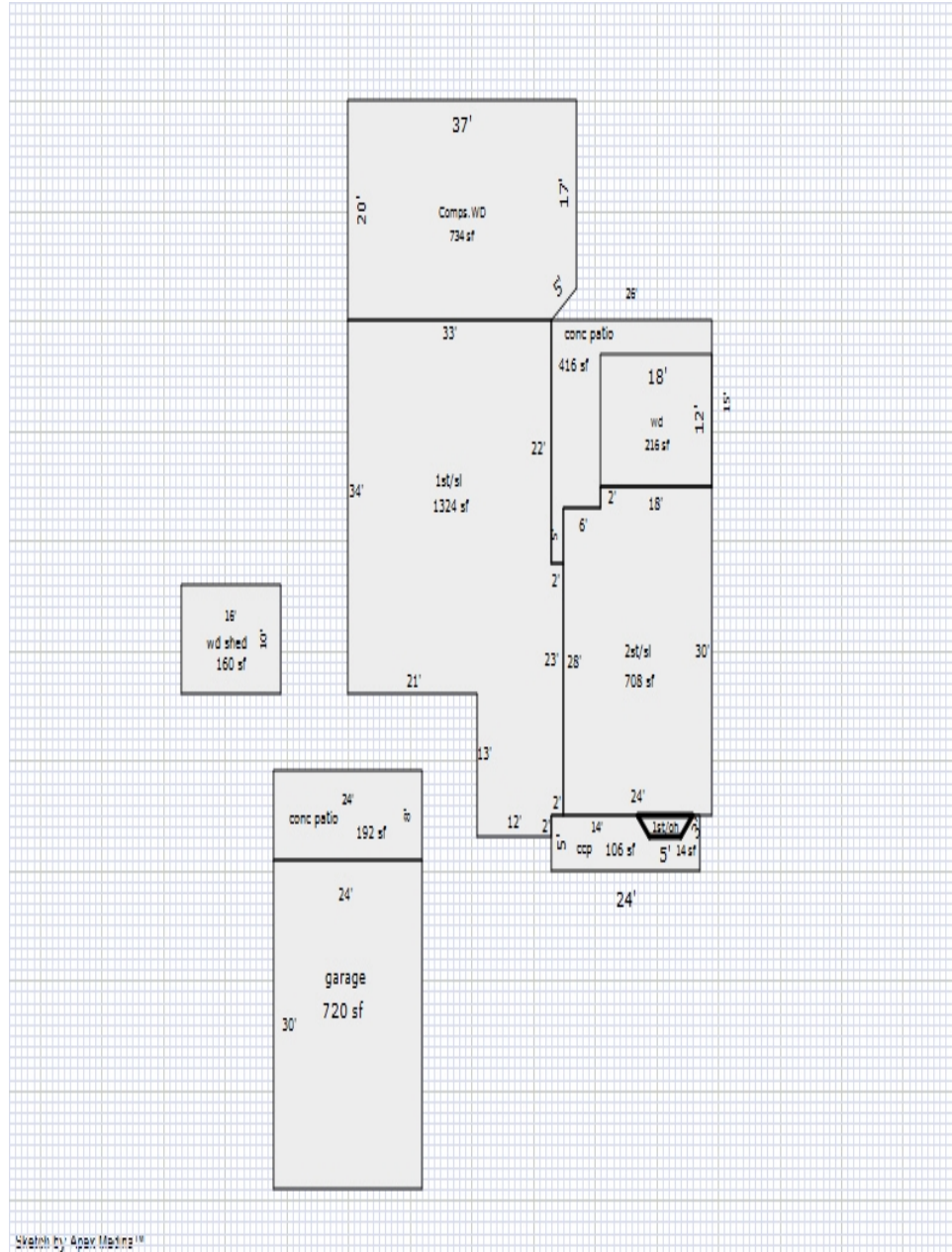


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*** Information herein deemed reliable but not guaranteed***

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage			
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System	1	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 106 216 734	Type CCP (1 Story) Treated Wood Composite	Year Built: Car Capacity: Class: CD Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 720 % Good: 0 Storage Area: 0 No Conc. Floor: 0			
X	Wood Frame		Drywall Paneled		Plaster Wood T&G														
Building Style: CD		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Class: CD Effec. Age: 48 Floor Area: 2754 Total Base Cost: 144,814 Total Base New : 212,877 Total Depr Cost: 110,696 Estimated T.C.V: 191,061			CntyMult X 1.470 E.C.F. X 1.726			Bsmnt Garage: Carport Area: Roof:			
Yr Built 1950	Remodeled 1981	Size of Closets		0 Amps Service			No./Qual. of Fixtures			Stories Exterior Foundation Rate Bsmnt-Adj Heat-Adj			Size Cost						
Condition for Age: Good		Lg	X	Ord		Small	Ex.	X	Ord.	Min	1	Story Siding	Slab	52.83	-8.80	0.00	1324	58,296	
Room List		(5) Floors		Kitchen: Other: Other:			No. of Elec. Outlets			Other Additions/Adjustments			Rate		Size Cost				
	Basement 1st Floor 2nd Floor 3 Bedrooms	(6) Ceilings		(13) Plumbing			Many			X	Ave.	Few	3 Fixture Bath			1975.00		1 1,975	
(1) Exterior		(7) Excavation		Average Fixture(s)			2			3 Fixture Bath			Public Sewer			1025.00		1 1,025	
X	Wood/Shingle Aluminum/Vinyl Brick	Basement: 0 S.F. Crawl: 0 S.F. Slab: 2032 S.F. Height to Joists: 0.0		2			2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Well, 200 Feet			(15) Built-Ins & Fireplaces			4675.00		1 4,675	
(2) Windows		(8) Basement		(14) Water/Sewer			1			Fireplace: Interior 2 Story Fireplace: Prefab 1 Story			3425.00 1710.00		1 1		3,425 1,710		
X	Many Avg. Few	X	Large Avg. Small	(9) Basement Finish			1			(16) Porches			27.89		106		2,956		
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(10) Floor Support			1			(16) Deck/Balcony			6.69 6.18		216 734		1,445 4,536		
(3) Roof		Recreation SF Living SF Walkout Doors No Floor SF		Joists: Unsupported Len: Cntr.Sup:			1			Treated Wood,Standard Composite,Standard			6.69 6.18		216 734		1,445 4,536		
X	Gable Hip Flat	Gambrel Mansard Shed		Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic			1			Class:CD Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost Phy/Ab.Phy/Func/Econ/Comb.%Good= 52/100/100/100/52.0, Depr.Cost = ECF (4309 LK CHEMUNG LAKEFRONT) 1.726 => TCV of Bldg: 1 =			16.58 110,696 191,061		720 11,938		11,938 110,696 191,061		
X	Asphalt Shingle	Lump Sum Items:																	
Chimney: Brick																			

*** Information herein deemed reliable but not guaranteed***



*** Information herein deemed reliable but not guaranteed***

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
FEBRUARY 17, 2015
6:30 P.M.**

MINUTES

Chairperson Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The members and staff of the Zoning Board of Appeals were as follows: Marianne McCreary, Jean Ledford, Barbara Figurski and Jeff Dhaenens. Also present was Township staff member Ron Akers. There was 1 person in the audience. Board of Appeals member Jerry Poissant was excused.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introduction: The members of the Board introduced themselves.

Approval of Agenda: Moved by Figurski, seconded by Ledford to approve the agenda as presented. **Motion passed.**

Call to the Public: was made with no response. (*Please Note: The Board will not begin any new business after 10:00 p.m.*)

15-02 ... A request by Allied Signs, Inc., at 3652 E. Grand River, for a variance to allow a wall sign which exceeds the maximum allowable size for a wall sign.

Patrick Stieber, Allied Signs, Inc., was present for the petitioner. He is also representing Harbor Freight. They are asking for a variance for a larger wall sign on the building due to the location of the setback of the building from the road. They do not feel what they are asking for is excessive or a detriment to the area. The building is setback further from the road than the other businesses in the area.

The Board members stated that they are concerned about the signage on the building being larger due to there is a monument sign on the road.

A call to the public was made with no response.

Moved by McCreary supported by Figurski to deny case#15-02, 3652 E. Grand River, for a variance to allow a wall sign which exceeds the maximum allowable size for a wall sign due to no substantial difficulty with the property and monument sign being located on the property and in compliance with the Zoning Ordinance. Additionally the application does not meet standards a and b in section 23.05.03 of the Genoa Township Zoning Ordinance. **Motion passed unanimously.**

Administrative Business:

1. **Approval of minutes: moved** by Figurski, supported by Ledford to approve the January 13th, 2015 Zoning Board of Appeals meeting minutes with typographical corrections. **Motion carried.**
2. **2014 Year End Report:** Akers stated that at the last board meeting the members wanted to wait a month so they could have time to review it. Dhaenens stated that he has noticed the number of variances in the Country Estates zoning district. The Board complimented Akers on the report.
3. **Correspondence:** Akers shared information to the Board from the MSU Extension in regards to court decisions that have occurred in regards to zoning issues and there is a Place Making Training course that would be available for the members to attend if they would like to attend with no cost to the Township.
4. **Township Board Representative Report:** Ledford stated at the last three meetings, the Board had to reestablish 3 polling places, reviewed and made amendments to the budgets, approved LSL Planning and discussed how the minutes would be published in the paper as a summary. The February 2 Board meeting was postponed until February 4th due to the weather. At that meeting they updated the FOIA policy, rerouted the Lake Edgewood Sanitary sewer around the pond, approval was granted for a company to paint the Oak Pointe Water Tower with no logo. At the February 16th meeting, the budget was reviewed again, Impact Assessment for Dewitt Radiators for a storage addition was approved, adopted an amendment to the zoning map per the Appeals court decision.
Planning Commission Representative Report: Figurski stated that at the last Planning Commission meeting Dewitt radiator was approved for a storage addition. Battery Solutions was withdrawn by the petitioner and the Bennigan's building was postponed until the next Planning Commission meeting.
5. **Zoning Official Report:** Akers stated Mr. Harmon who was denied at the last meeting with be removing the construction of the addition that was started in the spring. The Township is having more people coming in to inquire about starting projects; a permit was approved for Genoa Woods which is detached condos.
6. **Member Discussion:** McCreary stated that she is on the Public Policy Committee and at their meeting there was discussion regarding newspaper coverage of foreclosures and tax sales is going to be sent to a central location and that there is a movement to put all of the tax records online so that it can become universal all over the state.
7. **Adjournment: moved** by Figurski, supported by Ledford to adjourn the February 17th, 2015 Zoning Board of Appeals meeting at 7:30 p.m. **Motion carried**



MEMORANDUM

TO: Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: March 13, 2015
RE: 2014 Zoning Board of Appeals Year End Report

Please find information for the 2014 ZBA year-end report & Executive Summary. I look forward to your discussion and comments.

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



2014 Zoning Board of Appeals Annual Report

Executive Summary

2911 Dorr Road
 Brighton, MI 48116
 810.227.5225
 810.227.3420 fax
 genoa.org

Summary:

This Executive Summary of the 2014 Zoning Board of Appeals Annual Report is separated into two (2) parts. These parts are the analysis of the report and recommendations based on the analysis. The analysis section of the Executive Summary evaluates the nature of the variance requests and trends that exist in those requests. The recommendations section is based upon the analysis section and board discussion.

Analysis:

The following are trends noticed in 2014 for variance requests:

1. 30 of 31 variance cases (96.8%) were for dimensional variances.
 - a. 66.7% were approved or partially approved (20 cases)
 - b. 20% were denied (6 cases)
 - c. 10% were removed at applicant's request (3 cases)
 - d. 3.3% are pending decision in 2015 (1 case)
2. 1 of 31 variance cases (3.2%) were for a use variance.
 - a. 100% were denied (1 case)
3. 58% of the variance cases (18 cases) were on properties in the Lake Resort Residential (LRR) Zoning District.
 - a. 77.8 % were approved or partially approved (14 cases)
 - b. 5.5% were denied (1 case)
 - c. 16.7% were removed at applicant's request (3 cases)
4. 58% of the variance cases (18 cases) were for single family additions (including attached garages & sunrooms) or new house construction.
 - a. 89.0 % were approved or partially approved (15 cases)
 - b. 5.5% were denied (1 case)
 - c. 5.5% were removed at applicant's request (1 case)
5. 25.8% of the variance cases (8 cases) were for detached accessory buildings.
 - a. 37.5 % were approved or partially approved (3 cases)
 - b. 25% were denied (2 cases)
 - c. 25% were removed at applicant's request (2 cases)
 - d. 12.5% are pending decision in 2015 (1 case)
6. 6.5% of the variance cases (2) were for signs.
 - a. 50% of the variance cases (1 case) were approved.
 - b. 50% of the variance cases (1 case) were denied.
7. The number of variance requests were consistent with 2012 and slightly above the five (5) year average, but down overall in the past ten (10) years and below the ten (10) year average:

<u>2014</u>	<u>2013</u>	<u>2012</u>	<u>2011</u>	<u>2010</u>	<u>2009</u>	<u>2008</u>	<u>2007</u>	<u>2006</u>	<u>2005</u>
31	28	29	25	28	20	21	39	39	48

Five (5) Year Average: 28.2
Ten (10) Year Average: 30.8

SUPERVISOR

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Recommendations:

The following are recommendations by the Zoning Board of Appeals based upon analysis and board discussion: (Please note that number 1 and number 2 were copied from the 2014 ZBA annual report. The reason for this is the late start to the 2014 report and we are still finding that these issues are presenting challenges to the community.)

1. Reduce the Required Front Yard Setback in the Lake Resort Residential (LRR) District Several variance requests are considered by the Zoning Board of Appeals due to a reduced building envelope caused by the varying nature of the required shoreline setback and smaller lot sizes. The current front yard setback in the LRR district is 35' despite there being a vast number of properties which do not conform to this requirement. The main concerns the Board of Appeals considers when addressing these types of requests are the ability of the applicant to provide sufficient off street parking in the front yard. This is determined by ensuring the applicant has enough space for two parking spaces (90 Degree parking 9' x 18'). Due to this we believe that allowing for a smaller front yard setback requirement of 18', or allowing for some variation between the front and side yard setback to allow side entry garages (i.e. 10' front yard setback if the applicant provides a side entry garage and can maintain an 18' side yard setback to allow for sufficient off street vehicle parking.) would sufficiently increase the building envelope for parcels in the LRR district and reduce the number of variances which are granted.

2. Use a Single Lot Size for Exceptions from Maximum Size and Height Requirements for Detached Accessory Buildings

The Zoning Ordinance in section 11.04.01(h) & (j) has requirements for maximum size and height of detached accessory buildings. These sections of the Zoning Ordinance also have exceptions for these requirements for conforming lots in the Country Estate (CE), Rural Residential (RR) and Agricultural (AG) zoning districts. The language is as follows:

- a. 11.04.01(h): Maximum Size: The combined total of all accessory buildings in any residential district shall be a maximum of nine hundred (900) square feet in area for lots less than two (2) acres and one thousand two hundred (1200) square feet in area for lots equal to or greater than two (2) acres. **Accessory buildings and structures located on conforming lots in Agricultural and Country Estates Districts shall not be limited by size, provided all required setback are met.**
- b. 11.04.01(j): Maximum, Height: The maximum building height of any detached accessory building shall be fourteen (14) feet (see Article 25 for calculation of building height), except as follows:
 - (1) Antenna heights may be as noted in Section 11.04.06
 - (2) Accessory buildings on conforming lots in the Agricultural, Country Estate Districts and Rural Residential districts may exceed the maximum height restrictions for principal buildings by up to fifteen (15) feet.**

In these provisions the requirement that the parcel be a "conforming lot" creates a situation where there can be inconsistencies. For example a property owner could have a five (5) acre parcel zoned CE (5 acre minimum lot size) and take advantage of the height and size exceptions, but if an adjacent property owner had a five (5) acre parcel zoned AG (10 acre minimum lot size) they would not be able to take advantage of height and size exceptions. The same example could be used for parcels less than five (5) acres in the CE district when height exceptions are allowed in the RR district (2 acre

minimum lot size). This provision allows for a zoning district which is smaller and intended to be less rural to take advantage of size bonuses which are more characteristic of larger more rural uses, but due to a non-conforming parcel size (which may be the same as the less rural) the larger, more rural zoning districts are prohibited from taking advantage of the exception.

In order to remedy this we propose the following:

- a. In 11.04.01(h), change the exception to, "Accessory buildings and structures located in Agricultural and Country Estate Districts on lots of five (5) acres or greater shall not be limited by size provided all required setbacks are met." This maintains the intended requirement that in order to take advantage of the exception you need to have at least five (5) acres (minimum parcel size in the CE district) and would allow for non-conforming lots in the AG district which are five (5) acres or greater to take advantage of the exception.
- b. In 11.04.01(j), change the exception to, "Accessory buildings on lots of two (2) acres or greater within the Agricultural, Country Estate Districts and Rural Residential districts may exceed the maximum height restrictions for principal buildings by up to fifteen (15) feet." This change would maintain the intended requirement that in order to take advantage of the height exception you need to have at least two (2) acres (minimum parcel size in the RR district) and would allow for non-conforming lots in the AG and CE district which are two (2) acres or greater to take advantage of the exception.

3. Allowable Accessory Building Size

In the past year we have seen an increase in the number of requests to allow larger than permitted detached accessory sizes nearly double. There seems to be an interest from the community to allow larger than 1,200 square foot detached accessory buildings in the Rural Residential district, Low Density Residential district and non-conforming lots in the Country Estate district specifically. The existing standards in the Zoning Ordinance are intended to ensure that accessory building size remains relational to house size, but due to resident interest the Planning Commission/Township Board should take a look at these standards to ensure they are still consistent with the Township Master Plan and the needs of our residents.



2014 Zoning Board of Appeals Annual Report

Summary:

The purpose of the Zoning Board of Appeals (ZBA) Annual report is to summarize and identify the activities completed by the ZBA over the calendar year. Identifying the number and types of variances that were granted over the year can provide guidance to the Planning Commission and Township Board of Trustees when making future land use decisions. The primary activities that were handled by the Zoning Board of Appeals in 2014 were hearing variance requests, the election of officers, and the creation of the 2013 Annual Report and Executive Summary.

Variations

During 2014 the Zoning Board of Appeals heard thirty-one (31) variance cases. They are broken down as follows:

- **31 Total Cases**
 - 20 Approved, 6 Denied, 3 Removed from Agenda at Applicants Request, 2 Pending Decision in 2015
- **16 Variance Cases on Properties with Lake Frontage**
 - 13 Approved, 1 Denied, 2 Removed from Agenda at Applicants Request
- **Breakdown by Project Type**
 - 8: New Single Family Homes
 - 7 Approved, 1 Denied
 - 6 Lake Front
 - 11: Residential Additions
 - 9 Approved. 0 Denied, 1 Removed from Agenda at Applicants Request, 1 Pending Decision in 2015
 - 9 Lake Front
 - 8: Detached Accessory Buildings
 - 3 Approved, 2 Denied, 2 Removed from Agenda at Applicants Request, 1 Pending Decision in 2015
 - 1 Lake Front
 - 2: Sign
 - 1 Approved, 1 Denied
 - 1: Use of a non-conforming duplex which was vacant for more than twelve (12) months.
 - 0 Approved, 1 Denied
 - 1: Patio installation in the required wetland buffer.
 - 0 Approved, 1 Denied
- **Breakdown by Zoning District & Variance Type**
 - Lake Resort Residential (LRR): (18 Cases)
 - Building Height (2 Requests)
 - 1 Approved, 1 Removed at Applicants Request
 - Use Variance (1 Request)
 - 1 Denied
 - Separation Between Principal and Accessory Building (1 Request)
 - 1 Approved
 - Front Yard Setback (11 Requests)
 - 10 Approved, 1 Removed at Applicants Request
 - Shoreline Setback (6 Requests)
 - 6 Approved

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MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

- Side Yard Setback (9 Requests)
 - 6 Approved, 3 Removed at Applicants Request
 - Rear Yard Setback (1 Request)
 - 1 Approved
- Country Estate (CE): (5 Cases)
 - Detached Accessory Building Size (2 Requests)
 - 1 Denied, 1 Pending Decision in 2015
 - Detached Accessory Building Without a Principal Building (1 Request)
 - 1 Approved
 - Front Yard Setback (1 Request)
 - 1 Approved
 - Side Yard Setback (3 Requests)
 - 3 Approved
- Suburban Residential (SR): (3 Cases)
 - Building Height (1 Request)
 - 1 Denied
 - Wall Sign (1 Request)
 - 1 Denied
 - Side Yard Setback (1 Request)
 - 1 Denied
- Low Density Residential (LDR): (1 Case)
 - Detached Accessory Building Size (1 Request)
 - 1 Pending Decision in 2015
 - Rear Yard Setback (1 Request)
 - 1 Pending Decision in 2015
- Rural Residential (RR): (1 Case)
 - Detached Accessory Building Size (1 Request)
 - 1 Denied
- Office Service (OSD): (1 Case)
 - Wetland Buffer Setback (1 Request)
 - 1 Denied
- General Commercial (GC): (1 Case)
 - Temporary Sign (1 Request)
 - 1 Approved
- Mixed Use Planned Unit Development (MUPUD): (1 Case)
 - Rear Yard Setback (1 Request)
 - 1 Approved

Please see attached case summaries for more information about specific cases.

2014 ZBA Case Summaries

JANUARY

Variance: 1

Case: 14-01

Applicant Name: Ben Marhofer

Address: 4179 Sweet Road

Type of Variance: Side yard setback variance of 31.5 feet to build an attached garage.

Lakefront: No

Decision: Approved

Why? Conditions? Approval conditioned upon the garage being guttered with downspouts.

FEBRUARY

Variance: 2

Case: 14-02

Applicant Name: Larry and Christa White

Address: 4489 Oak Pointe Drive

Type of Variance: Height variance of 5 feet to build a new single family residence.

Lakefront: Yes

Decision: Approved

Why? Conditions? The Board approved a 5-foot roof height variance with 30 feet of allowed height. They said the owners must get an easement with the golf course to cross that property for installation of sewer line. House must have gutters and downspouts.

Variance: 3

Case: 14-03

Applicant Name: Michael and Gail McLean

Address: Homestead Drive (no address)

Type of Variance: Front yard setback of 8 feet and 5-foot side yard setback variance to build a new single family home.

Lakefront: Yes

Decision: Approved

Why? Conditions? Board allowed an 8-foot variance with resulting setback of 27 feet. They must remove a landscaping trellis before land use permit will be issued and the new structure must have gutters and downspouts.

MARCH

Meeting Cancelled

April

Variance: 4

Case: 14-04

Applicant Name: Patricia Crane and Ronald Cyr

Address: 4283 Clifford Road

Type of Variance: 5-foot shoreline setback variance

Lakefront: Yes

Decision: Approved

Why? Conditions? Board approved a 5-foot shoreline setback due to practical difficulty. No conditions.

Variance: 5

Case: 14-05

Applicant Name: Joseph Andrews

Address: 1115 Norfolk

Type of Variance: Use variance to use existing building as a duplex

Lakefront: No

Decision: Denied

Why? Board denied request because home was vacant for 12 months and reverted to single family residential. All neighboring properties are single family.

Variance: 6

Case: 14-06

Applicant Name: Ronald Stotler

Address: 4337 Richardson Road

Type of Variance: 65-foot front yard setback, 15-foot side yard setback, 60-square-foot variance from the maximum allowable size of a detached accessory building, and a variance to allow a detached accessory building in the front yard.

Lakefront: No

Decision: Approved (Front and Side Yard Setback), Denied (Accessory Building Size)

Why? Conditions? Board approved the 65-foot front yard setback, the side yard setback and the detached accessory building in the front yard due to practical difficulty. They denied the variance from the maximum allowable size of a detached accessory building.

Variance: 7

Case: 14-07

Applicant Name: PB Development LLC

Address: 4252, 4260 Highcrest

Type of Variance: 2-foot shoreline setback, 10-foot front yard setback (was granted in January 2013)

Lakefront: Yes

Decision: Approved

Why? Conditions? Board approved a 10-foot front yard and 2-foot shoreline setback for the construction of a new home. The house must be guttered. Also, a variance granted at the Jan. 15, 2013 meeting, Case 13-04, is null and void.

MAY

Variance: 8

Case: 14-08

Applicant Name: EBI Inc.

Address: 5411 Ridgemont St.

Type of Variance: 30-foot rear yard setback, 5-foot variance from the minimum separation distance between the principal and accessory building.

Lakefront: No

Decision: Approved

Why? Conditions? Board granted variances for 30 feet in rear yard and 5 feet for separation between the principal structure and the accessory structure. Conditions placed were gutters and downspouts on the new home, and homeowner obtaining a staked survey.

Variance: 9

Case: 14-09

Applicant Name: Kelly Cadegan

Address: 652 S. Hughes

Type of Variance: 2-foot side yard setback

Lakefront: No

Decision: Tabled in May at the request of the petitioner. Case removed from June agenda.

Why? Cadegan met the terms of the ordinance.

Variance: 10

Case: 14-10

Applicant Name: Jan and Anne Pitzer

Address: 3680 Dorr Road

Type of Variance: 10-foot side yard setback to construct a new single family home

Lakefront: Yes

Decision: Denied

Why? Conditions? Request was denied due to no existing hardship with the land.

Variance: 11

Case: 14-11

Applicant Name: Charles E. Horan

Address: 1828 S. Hughes

Type of Variance: 11-foot front yard setback, 6.6-foot side yard setback, 1-foot maximum building height, 12-foot shoreline setback

Lakefront: Yes

Decision: Approved(Front, Side Yard & Shoreline Setbacks); Applicant requested height request be removed.

Why? Conditions? Approval was given for an addition which maintains the current setbacks of the existing footprint because the property is nonconforming and there are not safety or welfare issues for the neighborhood. The board said the new home must have gutters and downspouts.

Variance: 12

Case: 14-12

Applicant Name: Todd Hurley

Address: 3292 Beck

Type of Variance: 1,200-square-foot variance from the maximum accessory building size of 1,200 square feet

Lakefront: No

Decision: Denied

Why? Conditions? Board members denied the request because there was no practical difficulty.

Variance: 13

Case: 14-14

Applicant Name: Tom Secrest

Address: 4089 Homestead

Type of Variance: 9-foot side yard setback variance and 24-foot front yard setback variance

Lakefront: Yes

Decision: Tabled in May to allow Secrest to stake the property so the board can see if drivers can safely back out of the garage. Secrest came back to the ZBA in June and received approval.

Why? Conditions? He received approval for a 9-foot side yard setback and a 22-foot front yard setback to build an attached garage and second story to an existing home. The conditions are that he put in gutters and downspouts.

JUNE

Variance: 14

Case: 14-15

Applicant Name: Kristinne Horvath

Address: 3682 Beattie Road

Type of Variance: 4.5 feet from the maximum allowable height for a detached accessory building

Lakefront: No

Decision: Tabled in June for further discussion at July meeting; petitioner then asked for a delay until August. Request was denied at August meeting.

Why? Conditions? Board denied case because there was a lack of hardship, extraordinary circumstances or practical difficulty.

Variance: 15

Case: 14-16

Applicant Name: NorthRidge Church

Address: 7555 Brighton Road

Type of Variance: 54.67 square feet to place a wall sign on the church building

Lakefront: No

Decision: Tabled in June at petitioner's request; denied at July meeting.

Why? Conditions? The request was denied because it was based on the philosophy of the church, not on extraordinary circumstances applicable to the property or use. Zoning prohibits use of more than one sign.

Variance: 16

Case: 14-17

Applicant Name: Tim Chouinard

Address: 824 Pathway

Type of Variance: Shoreline, front yard and side yard setbacks to build an addition onto a single family home.

Lakefront: Yes

Decision: Tabled in June; approved at July meeting.

Why? Conditions? The Board granted a 27.5-foot variance from the front yard setback, 1.34 feet from the side yard and 6 feet from the shoreline setback. The Board cited the practical difficulty of the lakefront lot and the topography. Gutters and downspouts are required.

Variance: 17

Case: 14-18

Applicant Name: Brad Rondeau

Address: 6919 W. Grand River

Type of Variance: 14 feet from the required wetland setback to build a patio.

Lakefront: No

Decision: Denied

Why? Conditions? The request was denied because of the adjacent wetlands and the practical difficulty was self-created.

JULY

Variance: 18

Case: 14-19

Applicant Name: John Smarch

Address: 715 Pathway

Type of Variance: Side yard setback to build an addition above the attached garage.

Lakefront: Yes

Decision: Approved

Why? Conditions? Smarch was granted a side yard setback variance of 10 feet to build an addition to the attached garage and resolve a drainage issue on the property. Because of proximity to the neighboring house, he must construct a firewall. He must also install gutters and downspouts.

Variance: 19

Case: 14-20

Applicant Name: Poloski Construction Inc.

Address: 3758 Noble St.

Type of Variance: Shoreline and front yard setbacks to build a new single family home.

Lakefront: Yes

Decision: Approved

Why? Conditions? Poloski was given a 32-foot front yard variance and a 4-foot shoreline variance as the Board cited the narrowness of the land and the topography. Gutters and downspouts required.

Variance: 20

Case: 14-21

Applicant Name: Dolores Malysz

Address: 1330 Clark Lake Road

Type of Variance: Front yard setback to build an addition and raise the foundation.

Lakefront: Yes

Decision: Approved

Why? Conditions? Front yard setback approved based on the topography of the lot. The approval was conditioned upon certified drawings stamped and signed by an engineer, necessary approvals from the

Health and Building departments being supplied to the Township. Applicant will also agree to have Akers review little ordinance with him.

AUGUST

Variance: 21

Case: 14-22

Applicant Name: Paul and Joy Corneliussen

Address: 3880 Highcrest Drive

Type of Variance: Side yard setback to build a detached accessory building

Lakefront: Yes

Decision: Tabled in August at request of petitioners. Case removed from the September agenda at request of the applicant. It has not come back to Board.

Variance: 22

Case: 14-23

Applicant Name: Scott and Maureen Kiefer

Address: 3695 Highcrest Drive

Type of Variance: Front and side yard setbacks to build an addition to the existing single family home.

Lakefront: Yes

Decision: Tabled in August. Request then dropped at request of petitioner.

Why? Conditions? Applicant wanted time to revisit both 3-foot setbacks and address the drainage. They then dropped the request and came back with different plans as Case #14-28.

SEPTEMBER

Variance: 23

Case: 14-24

Applicant Name: Rod and Tamara Evans

Address: 4147 Highcrest Drive

Type of Variance: 7.25-shoreline setback and 16.25-front yard setback to build a new single family home.

Lakefront: Yes

Decision: Approved

Why? Conditions? Board cited the practical difficulty and extraordinary circumstances with limited building envelope due to shoreline setback, topography and narrowness of lot, and placement of well and sewer. House must be guttered with downspouts and water runoff toward the lake.

Variance: 24

Case: 14-01

Applicant Name: Chilson Pointe LLC

Address: 4666 Brighton Road

Type of Variance: 1,520-square-foot variance from the maximum accessory building size of 1,200 feet to build a 40-foot-by-50-foot accessory building, Rear Yard Setback Variance.

Lakefront: No

Decision: Tabled in September and October at request of petitioner. Tabled again in December until March 17, 2015 meeting at the request of the petitioner.

OCTOBER

Variance: 25

Case: 14-26

Applicant Name: Donald Davis

Address: 3907 Homestead

Type of Variance: 10.2-foot front yard setback to build a second floor addition on a single family home.

Lakefront: Yes

Decision: Approved

Why? Conditions? The board cited the practical difficulty of the small building envelope created by the existing placement of the home, it is legally non-conforming and the need is not self-created. Variance will make it consistent with the neighboring properties.

Variance: 26

Case: 14-27

Applicant Name: Todd Hutchins

Address: 3350 S. Latson

Type of Variance: Variance to allow and accessory building on a parcel without a principal building.

Lakefront: No.

Decision: Approved

Why? Conditions? Condition placed to allow the accessory building as long as the 4.42 acres are rezoned from Country Estates to Rural Residential. Also, if the home is not built within a year of the property being split, the owner must demolish the accessory structures at their expense.

Variance: 27

Case: 14-28

Applicant Name: Scott and Maureen Kiefer

Address: 3695 Highcrest

Type of Variance: Front and side yard variances to build an addition to an existing single family home.

Lakefront: Yes

Decision: **Approved**

Why? Conditions? Board approved 5-foot front yard variances with a 30-foot setback and a 11-foot side yard variance with a 9.1-foot setback to build an addition. Board cited practical difficulty of the current home location and grade. Home must be guttered with downspouts. (See case #14-23)

Variance: 28

Case: 14-29

Applicant Name: Steven C. Liedel and Janine K. Fogg

Address: Lot 23, Oak Tree Court, 4711-28-401-023

Type of Variance: Rear yard setback of 9.9 feet to build a new single family home.

Lakefront: No

Decision: Approved

Why? Conditions? Board cited the practical difficulty of the tree location to the east and the utility easement to the north.

NOVEMBER

Meeting Cancelled

DECEMBER

Variance: 29

Case: 14-30

Applicant Name: James Harmon

Address: 4289 Sweet Road

Type of Variance: 1,200-square-foot variance from the maximum accessory building size (1,200 square feet) to build a 1,200-square-foot addition to an existing detached accessory building

Lakefront: No

Decision: Denied at the January 13, 2015 meeting.

Variance: 30

Case: 14-31

Applicant Name: Steve Schenck (Liberty Tax Service)

Address: 4072 E. Grand River

Type of Variance: Relief from zoning ordinance that prohibits temporary signs to 14 days or once during the stay of the business at same location or if the business has new owners.

Lakefront: No

Decision: Approved

Why? Conditions? Board said approval was given because of seasonal nature of the business and the need for it to be more visible: Jan. 16 through Feb. 8, 2015 and again April 6-15, 2015.

Variance: 31

Case: 14-32

Applicant Name: Christian and Damian Karch

Address: 5400 Brady Road

Type of Variance: 26.5-foot side yard variance for a 2,100-square-foot addition onto an existing detached accessory building.

Lakefront: No

Decision: Approved

Why? Conditions? Board cited the limitations on the property when approving the request.

Ron Akers

From: Schindler, Kurt <schindl9@anr.msu.edu>
Sent: Friday, February 20, 2015 2:33 PM
To: Schindler, Kurt
Subject: OMA must be present, Med marihuana provisioning centers, Shoreline Zoning, Civil Society in Era of Incivility

Dear everyone:

There are four items in this (February 20, 2015) email:

1. Legislation: OMA, must be physically present to vote, and to be a public meeting.
2. Legislation: Local regulation of medical marihuana provisioning centers.
3. Training: Introduction to Shoreline Zoning:
4. Training: Cultivating a Civil Society in an Era of Incivility

Follow this link for news articles on various land use/planning topics, with new postings every week:

<http://msue.anr.msu.edu/topic/info/planning>.

In democracy its your vote that counts. In feudalism its your count that votes.

-----kurt

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1. House Bill 4182 (2015): A bill to amend the Open Meeting Act to clarify that a member person must be physically present. This is viewed as a clarification, not a change. Amends sec. 3 of 1976 PA 267 (MCL 15.263). The bill reads “A meeting is not open to the public if a member of the public body casts his or her vote on a decision of the public body without being physically present at the meeting.” The bill was referred to House Committee on Oversight and Ethics.

Copy of introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4182.pdf>

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2. HB 4209 of 2015 and SB 0142 of 2015: Two bills about the same thing, both appear identical. The bill would create a new act to provide for state and local regulation of marihuana provisioning centers. The bill defines “municipality” (city, village, township, but not county) and enables municipalities to adopt ordinances (including part of zoning) for such regulation: “A municipality may enact and enforce an ordinance to impose additional local requirements on provisioning centers or safety compliance facilities, including, but not limited to, zoning restrictions and caps on the number of provisioning centers in the municipality.”

The house bill 4209 was referred to the House committee on Judiciary. The Senate bill 0142 was referred to the Senate committee on judiciary.

Copy of the introduced house bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4209.pdf>

Copy of the introduced senate bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/Senate/pdf/2015-SIB-0142.pdf>

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3. Introduction to Shoreline Zoning: Northwest Michigan is blessed with outstanding water resources that

draw people to our part of the state. Protecting inland lake shorelines is vital to economic development and environmental protection. This program is designed to introduce planning and zoning officials to the tools, techniques and challenges associated with shoreline protection zoning standards. Registration is \$55 (\$70 within one week of the class). The workshop is in:

- Traverse City Michigan Works! Center, 1209 S. Garfield Avenue (enter from the south side), March 19, 2015, 5:30pm.
- Manistee Michigan, Manistee City Hall (3rd floor), 70 Maple Street, March 30, 2015, 5:30pm.

For more information: <http://www.networksnorthwest.org/planning/news/news-article.html/449/>

To register for the Traverse City location:

<https://events.r20.constantcontact.com/register/eventReg?oeidk=a07eajpnzkt0bc0bfca&oseq=&c=&ch=>

To register for the Manistee location:

<https://events.r20.constantcontact.com/register/eventReg?oeidk=a07eajpnzkt0bc0bfca&oseq=&c=&ch=>

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4. Cultivating a Civil Society in an Era of Incivility

We certainly live in an interesting time. You may have observed a change in what we might call our civic demeanor, folks just seem stressed, edgy, and in some cases just outright rude. If you haven't experienced it firsthand you most certainly have seen it in the media. You and others like you may be asking what is going on and what can I do about it? These questions are the focal point of our 2015 MSU Community and Economic Development Contemporary Issues Institute. This year's half day Institute will provide us an opportunity to explore the roots of incivility, learn about possible strategies that might lead us to a more civil society and connect us with others who may share this interest.

The Cultivating a Civil Society in an Era of Incivility will be Friday March 6, 2015, 8:30am to 12:30pm, State Capital Building, Lansing, MI. There is no cost for this event. Pre-registration is required

To register: <http://goo.gl/eL7X2t>

For more information: <http://ced.msu.edu/upload/Flyer%20with%20co-sponsors%20%2010%2015.pdf>

Draft agenda: <http://ced.msu.edu/upload/Working%20Agenda%202.pdf>

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To search for and find land use (planning and zoning) training: Visit this [link](#), or build your own search parameters by bookmarking/favorites: <http://msue.anr.msu.edu/events> or an advanced search system at: http://msue.anr.msu.edu/events/advanced_search and then do anyone or combination of the following:

- Under *Topic Areas* expand "community" and check "planning for all planning and zoning related training.
- Under *Programs* check "Michigan Citizen Planner" to find the 7 core classes offered.
- Under *Certifications Available* check "Master Citizen Planner" for master citizen planner credit offerings.
- Under *Counties* select those counties you would be willing to travel to, for the class.

For topical news articles on community development (civic engagement, conflict resolution, facilitation, economic development, government, fiscal management, visit: <http://msue.anr.msu.edu/topic/info/community>.

To find an MSU Extension Educator with land use expertize visit: http://msue.anr.msu.edu/program/info/land_use_education_services (scroll to the bottom of the page).

Schindler's Land Use Page: www.msue.msu.edu/lu

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Ron Akers

From: Schindler, Kurt <schindl9@anr.msu.edu>
Sent: Monday, March 02, 2015 3:11 PM
To: Schindler, Kurt
Subject: Oil and Gas, Land Patents, MAP spring Institute

Dear everyone:

There are four items in this (March 2, 2015) email:

1. Legislation: Township and county oil and gas well jurisdiction
2. Legislation: Different setbacks for oil and gas wells from residential buildings
3. Court: Patented land still subject to Wetland Protection Act
4. Training: MAP Spring Institute

Follow this link for news articles on various land use/planning topics, with new postings every week:
<http://msue.anr.msu.edu/topic/info/planning>.

Why was the car embarrassed? Because it had gas!

-----kurt

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1. HB 4237 of 2015: A bill to delete the part of the Michigan Zoning Enabling Act that prohibits zoning from regulating oil and gas drilling. The result would allow township and county zoning regulation of drilling of oil or gas wells. (But it does not change the exclusive jurisdiction over oil and gas wells by the state’s supervisor of wells found in the Natural Resources and Environmental Protection Act (MCL 324.61501 *et seq.*.) Amends sec. 205 of 2006 PA 110 (MCL 125.3205) by deleting MCL 125.3205(2). The bill was referred to the House Committee on Energy Policy.

Copy of the introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4237.pdf>

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2. HB 4260 of 2015: A bill to require a 1,000 foot setback from residential building in counties with a population of 750,000 or more in order for the Department of Environmental Quality (DEQ) to issue a permit for oil or gas wells. (The law currently requires a 450 foot setback from residential building in order for the DEQ to issue a permit for oil or gas wells. Presumably the 450 foot setback would no longer be required in counties less than 750,000 population.) Exceptions to the setback are possible. The bill Amends sec. 61506b of 1994 PA 451 (MCL 324.61506b). The bill was referred to House Committee on Energy Policy.

Copy of introduced bill: <http://www.legislature.mi.gov/documents/2015-2016/billintroduced/House/pdf/2015-HIB-4260.pdf>

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3. Court: Michigan Court of Appeals (Unpublished No. 318380, January 29, 2015)

Case Name: *Groninger v. Department of Envntl. Quality*

Holding that plaintiffs-Dunn and Thompson lacked standing, that the Wetlands Protection Act (WPA) (MCL 324.30301 *et seq.*) applied to plaintiffs-Groningers’ land, and that there was no violation of the Contract Clause, the court affirmed the trial court’s order granting the defendant-Department of Environmental

Quality (DEQ) summary disposition in this action for declaratory relief seeking to prevent the DEQ from entering the property to inspect for wetlands.

The Groningers' chain of title goes back to a federal patent granted in 1855.

When the DEQ was prevented from entering the property, "apparently to inspect a driveway that was being built, it sought a warrant to conduct a wetlands inspection." Plaintiffs filed this suit seeking declaratory relief that the DEQ did not have authority to enter their private land. The court noted that while Dunn and Thompson alleged they have an oral lease to hunt on the Groninger property, they "made no showing that their hunting interest would be affected" by the DEQ entering the property to determine its wetland status. Further, they did not plead facts establishing that the construction of a driveway in any way affected their hunting interest. "Their injury, as presented to the trial court and on appeal, is merely hypothetical and they have not established an actual controversy." Thus, the trial court correctly ruled that they lacked standing.

The Groningers argued that the federal patent removed the property from the DEQ's authority, and that any regulation of their land impairs their patent, which violates the U.S. and Michigan Constitutions. The court noted that the definition of a "wetland" in the WPA "makes clear that the statute applies to any 'land' bearing certain characteristics of water or aquatic life. There is no limitation on the types of land affected by the WPA, nor is there any distinction made between private, public, or federal lands." The court concluded that the broad definitions in the WPA evidence "the intent for the WPA to apply to any land under the authority of the executive department, which would be any land in Michigan, whether it is federal, state, public, or private land."

Further, there was no unconstitutional impairment of contract. "Foremost, any impairment by the WPA is minimal." The Groningers "hold their land in fee simple and the permit requirement that may be necessary does not divest plaintiffs of any ownership interest in their land - they still hold title against all comers." If a permit were required for driveway construction, they "could show a particularized injury sufficient to confer standing, but the permitting process is not a 'substantial impairment' of plaintiffs' ownership interest, which is the foundational contractual relationship." (Source: State Bar of Michigan *e-Journal* Number: 59202, February 27, 2015.)

Full Text Opinion: <http://www.michbar.org/opinions/appeals/2015/012915/59202.pdf>

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4. Michigan Association of Planning's Spring Institute | Equity Summit II, April 9, 2015 in Lansing, 8:30am-4:30pm.

This Spring Institute delivers national equity visionaries, state agency solution finders and municipal innovators to an audience of community planners, non-profit professionals, workforce developers and elected and appointed local leaders to inspire, catalyze and push the envelope of change.

Thoughtful solutions and inspired action are found at MAP's Equity Summit II as we build on lessons learned from our 2013 inaugural equity event, and integrate knowledge acquired over the last two years, to create a comprehensive agenda for those who understand and value equity and fairness and for those who want to learn more.

There will be national success stories, real life case-studies and focused implementation translate to programs and policies that are scalable to YOUR community or organization. Take what you learn and return to the office inspired to make a difference where it matters.

More information: http://www.planningmi.org/downloads/si_2015_registration_form_final.pdf

To register: <http://www.planningmi.org/si.asp>

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To search for and find land use (planning and zoning) training: Visit this [link](#), or build your own search parameters by bookmarking/favorites: <http://msue.anr.msu.edu/events> or an advanced search system at: http://msue.anr.msu.edu/events/advanced_search and then do anyone or combination of the following:

Under *Topic Areas* expand "community" and check "planning for all planning and zoning related training.

Under *Programs* check "Michigan Citizen Planner" to find the 7 core classes offered.

Under *Certifications Available* check “Master Citizen Planner” for master citizen planner credit offerings.
Under *Counties* select those counties you would be willing to travel to, for the class.

For topical news articles on community development (civic engagement, conflict resolution, facilitation, economic development, government, fiscal management, visit: <http://msue.anr.msu.edu/topic/info/community>.

To find an MSU Extension Educator with land use expertise visit:
http://msue.anr.msu.edu/program/info/land_use_education_services (scroll to the bottom of the page).

Schindler’s Land Use Page: www.msue.msu.edu/lu

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Schindler's Land Use Page: www.msue.msu.edu/lu

Facebook page on Land Use:

<http://www.facebook.com/pages/Cadillac-MI/MSU-Extension-Schindlers-Land-Use-Networking-Page/462862190006>

MSUE Land Use <http://tinyurl.com/msuelanduse>

MSU Extension: <http://www.msue.msu.edu/>

eXtension (national web page): <http://www.extension.org/community%20planning%20and%20zoning>