

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
JULY 14, 2014  
6:30 P.M.  
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

CALL TO THE PUBLIC: (*Note: The Board reserves the right to not begin new business after 10:00 p.m.*)

**OPEN PUBLIC HEARING #1...** Review of site plan application and impact assessment for a 1,000 square foot addition, located at 900 S. Latson Road, Howell, Parcel #4711-05-400-059. The request is petitioned by Buffalo Wild Wings.

**Planning Commission disposition of petition**

- A. Recommendation of Environmental Impact Assessment.
- B. Disposition of Site Plan. (06-27-14)

**OPEN PUBLIC HEARING #2...** Review of site plan, impact assessment, and special use for a proposed USA2GO gas station and drive thru restaurant, located at a vacant lot on the west side of Latson Road, south of Grand River Avenue on the corner or Grand Oaks Drive, Sec. 8, Howell. The request is petitioned by Karum Bahnam.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use.
- B. Recommendation of Environmental Impact Assessment.
- C. Recommendation Regarding Site Plan. (06-26-14)

**OPEN PUBLIC HEARING #3...** Review of site plan and impact assessment for a 58 space parking lot expansion, located at 2200 Dorr Road, Brighton Parcel #4711-15-200-018. The request is petitioned by Jim Branscum on behalf of Wellbridge of Brighton.

**Planning Commission disposition of petition**

- A. Recommendation of Environmental Impact Assessment.
- B. Disposition of Site Plan. (06-24-14)

*continued*

**OPEN PUBLIC HEARING #4...** Review of sketch plan, impact assessment, and special use for automotive sales, located at 2860 E. Grand River Avenue, Howell, Parcel #4711-06-200-056. The request is petitioned by Joseph Hood.

**Planning Commission disposition of petition**

- A. Recommendation of Special Use.
- B. Recommendation of Environmental Impact Assessment.
- C. Recommendation of Sketch Plan. (06-06-14)

**OPEN PUBLIC HEARING #5...** Review of sketch plan and impact assessment for a 360 square foot second-story addition, located at 7219 W. Grand River, Brighton, Parcel #4711-13-100-013. The request is petitioned by Josh Porta on behalf of Grace & Porta.

**Planning Commission disposition of petition**

- A. Disposition of Sketch Plan. (06-19-14)

**Administrative Business:**

- *Staff report*
- *Approval of June 9, 2014 Planning Commission meeting minutes*
- *Member discussion*
- *Adjournment*





**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

**GENOA TOWNSHIP**

**APR 30 2014**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

APPLICANT NAME & ADDRESS: Buffalo Wild Wings / 900 S. Lutzon Howell, MI 48843  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: Jim Womac

SITE ADDRESS: 900 S. Lutzon PARCEL #(s): 11-05-400-059

APPLICANT PHONE: (734) 635-4071 OWNER PHONE: ( )

OWNER EMAIL: bobby33er@yahoo.com

LOCATION AND BRIEF DESCRIPTION OF SITE: \_\_\_\_\_

New addition to existing building. space will be  
50x20 for an additional 1000 sq ft.

BRIEF STATEMENT OF PROPOSED USE: Used for additional seating  
and large parties.

THE FOLLOWING BUILDINGS ARE PROPOSED: New addition / permanent  
structure.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: Bobby Kramer

ADDRESS: 8664 Hilton, Brighton MI 48114



July 8, 2014 *Community Planning Consultants*

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

<b>Attention:</b>	Mike Archinal, AICP Township Manager
<b>Subject:</b>	Buffalo Wild Wings Addition – Site Plan Review #2
<b>Location:</b>	900 Latson Road – west side of Latson Road, north of Grand River Avenue
<b>Zoning:</b>	MU-PUD Mixed Use Planned Unit Development District (with underlying zoning of GCD General Commercial District)

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan (dated 6/27/14) proposing a 920 square foot addition to the existing Buffalo Wild Wings restaurant on Latson Road. The site is within the Lorentzen PUD and is subject to review under the provisions of the PUD Agreement, as well as applicable regulations in the Township Zoning Ordinance.

**A. Summary**

1. The applicant needs to provide details of the proposed wall mounted light fixtures.
2. The Planning Commission may allow a second wall sign, as proposed.
3. The total size of both wall signs (218 square feet) greatly exceeds that allowed (100 square feet).
4. The PUD Agreement requires the use of channel lettering for wall signs. The main entrance sign does not appear to meet this requirement.

**B. Proposal/Process**

Table 18.2 requires site plan review by the Planning Commission for building expansions of 10% or more. As such, the applicant requests site plan review and approval for a 920 square foot addition to the existing Buffalo Wild Wings restaurant on Latson Road.

**C. Site Plan Review**

1. **Dimensional Requirements.** The proposed impact on dimensional standards is limited to the northerly side yard building setback and the slight increase in lot coverage (both building and impervious).

The proposed building addition provides a northerly side yard setback of 15 feet, which meets the GCD side yard setback requirement. Additionally, the proposed building and impervious surface coverages (6.4% and 63.7%, respectively) are well within that allowed (35% and 75%, respectively).

2. **Building Materials and Design.** Proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The submittal includes color renderings of all elevations, which appear to match the existing building – primary material is brick with a stone base and horizontal accent bands.



*Aerial view of site and surroundings (looking west)*

3. **Parking.** In accordance with Section 14.04, sit down restaurants with a liquor license require 1 parking space for each 70 square feet of gross floor area. As a result of the proposed addition, 99 spaces are required, while 110 are currently provided.
4. **Pedestrian Circulation.** The site plan identifies the existing sidewalk along Latson Road, as well as one along the front of the building. The project includes an extension of the internal sidewalk along the front and side of the building connecting to the proposed building addition.
5. **Vehicular Circulation.** The project does not include any changes to the established vehicular circulation pattern.
6. **Loading.** The site plan identifies the required loading zone (existing) along the west side of the building.
7. **Landscaping.** The submittal does not identify all of the existing landscaping, only that which is affected by the proposed addition. The proposed plan identifies 4 new trees, 41 new shrubs and perennial plantings around the proposed building addition.
8. **Waste Receptacle and Enclosure.** The site plan shows the existing dumpster and enclosure on the west side of the building with no changes proposed.
9. **Exterior Lighting.** The site plan identifies 8 new “up/down” wall scones and up lighting at the sign above the main entrance. The applicant needs to provide details of the proposed fixtures. Additionally, the Township may require a photometric plan; however, given the limited nature of the proposed lighting, this is not likely necessary.
10. **Signs.** The submittal identifies two wall signs (one each on the east and west building facades). Table 16.1 allows one wall sign, but gives the Planning Commission discretion to permit two due to constraints related to visibility or building orientation; however, both signs collectively cannot exceed 100 square feet in area.

Based on our calculations, the total sign area proposed is 218 square feet (140 square feet on the east elevation and 78 on the west).

Lastly, the PUD Agreement requires channel lettering for wall signs. The west elevation appears to comply, but the east entrance does not.

**Buffalo Wild Wings Addition**

Site Plan Review #1

Page 3

**11. Impact Assessment.** The submittal includes an Impact Assessment (dated 5/1/14), which generally indicates that the development is not expected to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Sincerely,

**LSL PLANNING, INC.**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP

Senior Planner



July 3, 2014

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Buffalo Wild Wings Building Expansion  
Site Plan Review #2**

Dear Mr. Archinal:

We have reviewed the resubmitted site plan documents from Mickalich Engineering Inc. and Jeffery Scott Architects dated June 27, 2014, which were delivered to the Township Engineer on that date. Based on our review, we offer the following comments:

**GENERAL NOTES**

1. The proposed grading and curb cuts will adequately address the site drainage concerns; however, routing the flow to the parking lot catch basins will require some additional soil erosion control measures to be installed during construction. A complete soil erosion and sedimentation control plan should be submitted with construction plans.

The petitioner has successfully addressed the previous concern over site grading and drainage, and the site plan is recommended for approval. A soil erosion and sedimentation control plan must be included with the construction drawings.

Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary Markstrom'.

Gary J. Markstrom, P.E.  
Unit Vice President

A handwritten signature in blue ink, appearing to read 'Joseph C. Siwek'.

Joseph C. Siwek, P.E.  
Project Engineer

copy: Jeffery Scott Architects  
Mickalich Engineering Associates Inc.



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

July 7, 2014

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Buffalo Wild Wings  
900 S. Latson  
Site Plan Review of Addition

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on July 2, 2014 and the drawings are dated June 27, 2014. The project is based on a 920 square foot addition to an existing restaurant (A-2 assembly use). The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

This submittal is recommended for approval with the following item being verified.

1. **To Be Field Verified:** The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

**IFC 505.1**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "Michael Evans".

Michael Evans, EFO, CFPS  
Deputy Fire Chief



## MEMORANDUM

**TO:** Buffalo Wild Wings  
**FROM:** Ron Akers, Zoning Official  
**DATE:** 7/9/14  
**RE:** Buffalo Wild Wings Tap Fee Calculation  
(Parcel ID#4711-05-400-059)

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2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

In regards to the proposed project the tap fees will be as follows:

Assuming a 920 square foot addition to a Restaurant (w/liquor license)

- a. Restaurants (w/liquor license) @ 4.0 REU per 1,000 sq. ft.

Previously Paid

Previously Paid 15.05 Water REU's for 6,022 sq. ft. restaurant

Previously Paid 15.05 Sewer REU's for 6,022 sq. ft. restaurant

Tap Fee Calculation

Proposed 920 sq. ft. addition – 920 sq. ft. @ 4.0 REU's per 1,000 sq. ft. = 3.68 REU's

Total REU's Required = 3.68 REU's

REU's Previously Paid = N/A

Total REU's Needed = 3.68 REU's

Water 3.68 REU's @ \$5,000 per REU = \$18,400

Sewer 3.68 REU's @ \$5,500 per REU = \$20,240

Total Amount Due = \$38,640

Connection fees must be paid at time of land use permit issuance and if there are any additional questions please feel free to contact me at 810-227-5225.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell





**jeffery a.  
scott  
architects p.c.**

Impact Assessment  
For the addition to:

**Buffalo Wild Wings**

GENOA TOWNSHIP  
MAY 02 2014

Date: 5-1-2014

- A. Prepared for: RWJW Corporation  
117 S. Biggs  
Belleville, MI 48111
- Prepared by: Jeffery A. Scott Architects and Engineers, PC  
32316 Grand River Ave. Ste. 200  
Farmington, MI 48336

Jeff Scott architects is a full service architectural firm with mechanical, plumbing and electrical engineers on staff. The firm has been providing design and engineering services for over 25 years to thousands of restaurant, hospitality and retail establishments.

**B. Map and written description/analysis of project site:**

The site is located on the west side of Latson Road, north of Grand River in the southeast ¼ of Section 5, T2n-R5E, Genoa Township, Livingston County, Michigan. The existing building is sitting on 2.05 acres of the Meijer outlot, north of an Applebee's and Shell Gas Station.

The site is zoned General Commercial as is the surrounding property.

The addition will be on the North side of the building and be approximately 941 square feet.

**C. Impact on Natural Features:**

The developed site does not contain any regulated wetlands or woodlands nor contain any mature trees. The soil, based on USDA Soil Conservation service indicates that the soils consist of Hillsdale Sandy Loam. The soil is located on till plains and in small areas on moraines.

**D. Impact on Stormwater Management:**

Surface runoff during construction will be controlled by silt fences, stone filters and seed and mulch. After completion, water and storm water will be handled through the existing storm system and the existing landscape absorption.

**E. Impact on surrounding Land Use:**

The addition to this building shall have almost no impact on the surrounding land use beyond what is pre-existing: the site is currently being utilized as a restaurant. Car traffic will be increased insignificantly, any increased parking need is handled by the joint parking agreements already in place with Meijer.



No detectable increase in noise levels will be generated from the already voluminous Latson and Grand River Roads traffic. Additional lighting will be added to the addition but just as decoration. The lights will be up and down lights, wall washing the wall surface only. HVAC equipment will be placed on the existing roof and hidden by the existing parapet.

**F. Impact on Public Facilities and Services:**

A typical Buffalo Wild Wings Restaurant employs approximately 15 people per shift with approximately 50 employees in total. Currently, the hours of operation are from 11am to 1am, Monday through Wednesday. 11am to 2am, Thursday through Saturday and 12pm to 12am on Sunday. There will be no additional impact on public schools, police or fire protection.

**G. Impact on Public Utilities:**

As part of the Meijer development, the on-site underground storm sewer was sized for the development of the existing restaurant. The addition will not impact the storm water drainage from this site or overload the existing system already in place.

As previously indicated, a 24" storm sewer is located near the north-west corner of the site. The site is to be serviced by an 8" water main within the public easement on the Applebee's property. The restaurant and addition will have approximately 185 patrons.

The current toilet room count can handle, per the Michigan Plumbing code, 525 patrons and employees.

**H. Storage and Handling of any Hazardous Materials: n/a**

**I. Impact on Traffic Pedestrians:**

Based on the previous impact statement submitted for the original restaurant, the restaurant will generate on average 419 cars per day. A busier week (football season) will generate approximately 488 cars per day and a slower week (summer months) will generate approximately 349 cars per day. The peak hours of operation are from 11:30am to 1:30pm, lunch and 5:30pm to 9:30pm dinner. With the addition, these traffic counts may be slightly higher.

**J. Special Provisions: n/a**

**K. Description of All Sources:**

General Township Zoning Ordinance

Soil Survey of Livingston County, Michigan, Soil Conservation Service, USDD  
Impact Assessment for Meijer Site Plan Prepared by Boss Engineering Co.

Impact Assessment for Buffalo Wild Wings, prepared by SSOE, Inc.  
Michigan Plumbing Code, 2009

# PROPOSED ADDITION TO:



900 S. LATSON RD. HOWELL, MI 48327

ISSUED FOR:	● = ISSUED DRAWING SHEET	○ = ISSUED FOR REFERENCE ONLY
	<b>LIST OF DRAWINGS</b>	
	<b>GENERAL</b>	
	● G.100	COVER SHEET
	●	CIVIL SITE PLAN
	●	DRAINAGE PLAN
	●	LANDSCAPE PLAN
	<b>ARCHITECTURAL</b>	
	● ASP-100	ARCHITECTURAL SITE PLAN
	● A-100	FLOOR PLAN
	● A-200	EXTERIOR ELEVATIONS
	<b>RENDERINGS</b>	
	●	EXTERIOR ELEVATIONS

LEGEND		
	SECTION NUMBER	
	SHEET NUMBER	
	DETAIL NUMBER	
	DETAIL SHEET NUMBER	
	DOOR MARK	
	DOOR	
	EQUIPMENT TAG	
	FINISH NUMBER	
	ROOM NAME	
	ROOM NUMBER	
	DRAWING NOTE	
	COLUMN REFERENCE GRID	
	INTERIOR ELEVATION INDICATOR	
	PARTITION KEY	

**BUILDING CODE COMPLIANCE:**

**A. ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.**

**B. THE NEW CONSTRUCTION HAS BEEN DESIGNED TO CONFORM TO THE FOLLOWING CODES:**

- 2009 Michigan Building Code
- 2012 Michigan Mechanical
- 2012 Michigan Plumbing Code
- 2009 International Fuel and Gas Code
- 2009 International Fire Code
- Michigan Electrical Code, 2008 NEC w/part 8 state amendments.
- ICC/ANSI A117.1-2003 and Michigan barrier free design law of 1966 as amended.
- Michigan Uniform Energy Code Rules part 10a with ANSI/ASHRAE/IESNA standard 90.1 - 2007
- NFPA 13 - 2007
- NFPA 72 - 2007

**SITE DATA:**

LOT COVERAGE:  
 LOT SIZE: 108,801.52 SQ. FT.  
 BUILDING COVERAGE: 6,942 SQ. FT.  
 PAVEMENT COVERAGE: 82,365 SQ. FT.

**BUILDING DATA:**

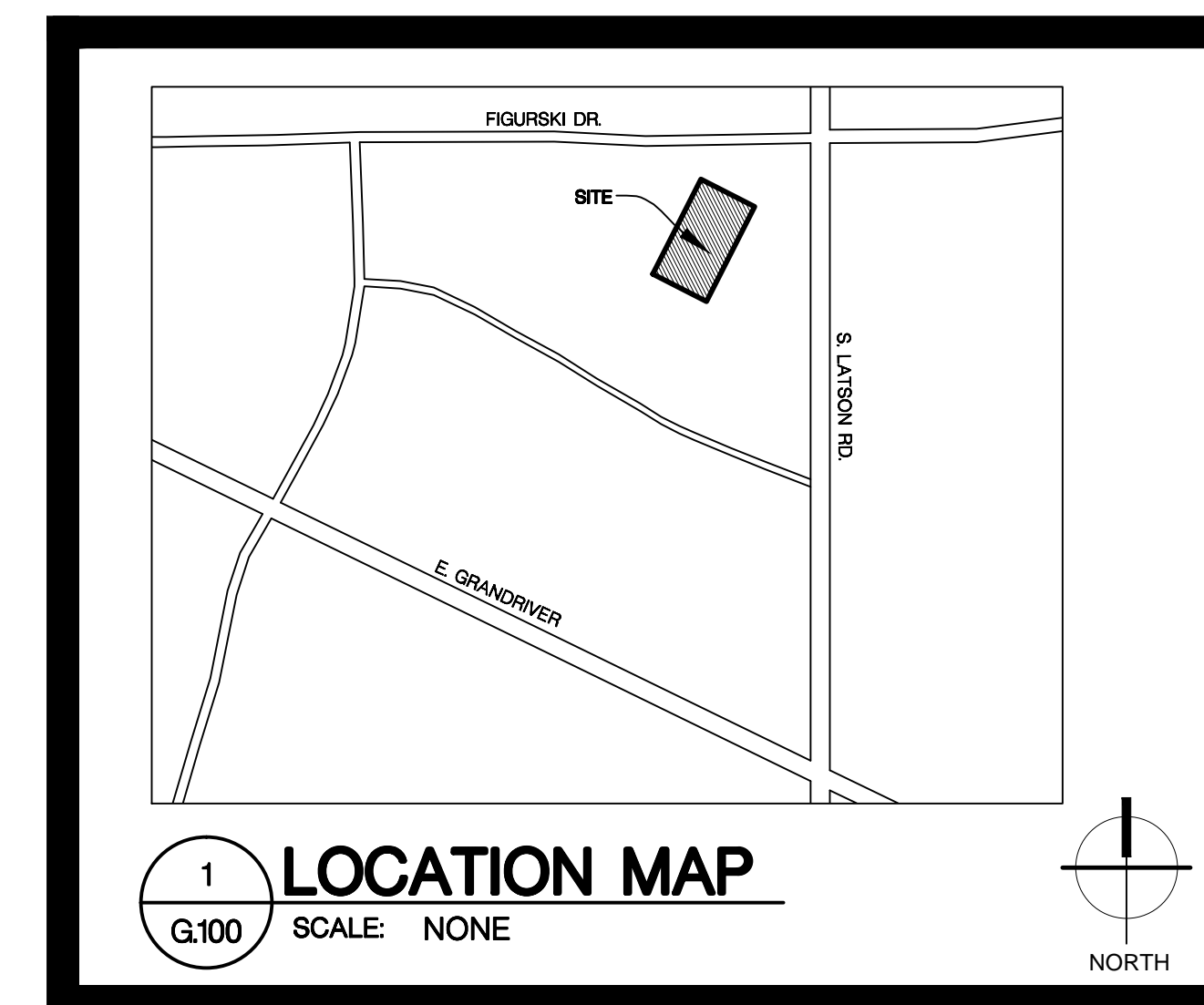
OCCUPANCY: ASSEMBLY GROUP A (A-2)  
 CONSTRUCTION CLASSIFICATION: 2B  
 BUILDING AREA:  
 EXIST: 6,022 SQ. FT.  
 NEW: 920 SQ. FT.  
 TOTAL: 6,942 SQ. FT.

SPRINKLERS: THE BUILDING IS FULLY SPRINKLERED

OCCUPANCY-ALLOWABLE (1004)  
 SEATING AREA = 4,080 SQ. FT./15 = 272 PERSONS  
 STANDING AREA = 583 SQ. FT./7 = 83 PERSONS  
 KITCHEN/STOCK AREA = 1,292 SQ. FT./200 = 7 PERSONS

RESTAURANT      362 + 15 EMPLOYEES = 377

PARKING REQUIREMENTS:  
 REQUIRED SPACES: 6,942 SQ. FT./70 SQ. FT. = 99  
 EXISTING SPACES: 110



**ARCHITECT:**  
  
**jeffery a. scott architects p.c.**  
 32316 GRAND RIVER AVE., STE. 200  
 FARMINGTON, MI 48336  
 248.476.8800  
 CONTACT: STEPHAN HOFFMAN, AIA  
 SHOFFMAN@JSCOTTARCHITECTS.COM

**CIVIL ENGINEERS:**  
 MICKALICH ENGINEERING, INC.  
 15243 HAWLEY ROAD  
 HOLLY, MI 48442  
 248.220.3299  
 ALBERT@MICKALICH.COM

**LANDSCAPE ARCHITECT:**  
 J BRIAN DEVLIN, R.L.A.  
 31736 WEST CHICAGO AVE.  
 LIVONIA, MI 48150  
 734.634.9208

SITE PLAN APPROVAL 06-27-2014 04-28-2014	
<h2>BUFFALO WILD WINGS</h2> <p>900 S. LATSON RD HOWELL, MI 48843</p>	
 <b>jeffery a. scott architects p.c.</b>	
32316 grand river ave.      suite 200 farmington, michigan 48336-3261 (248) 476-8800      fax (248) 476-8833	
<b>COVER SHEET</b>	
project no.	sheet no.
14020	G-100

Engineer's Seal

ORIGINAL SIGNATURE IN BLUE

Project Title

**BUFFALO WILD WINGS GENOA TWP, MI**

Sheet Title

**SITE PLAN FOR NEW ADDITION**

Client

**JEFFERY SCOTT ARCHITECTS**

Date

Issued for

By

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**



**Know what's below Call before you dig.**

1-800-482-7171 www.missdig.net

Scale 1"=10'

Drawn RPP

Checked APM

Approved APM

Date 06/20/14

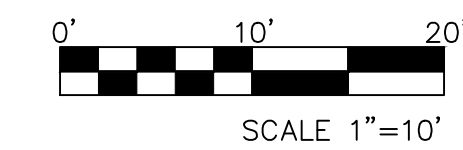
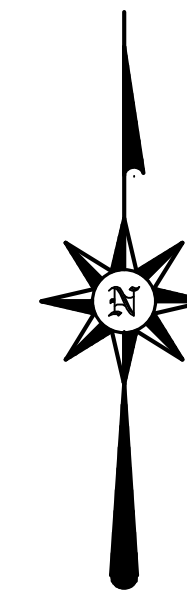
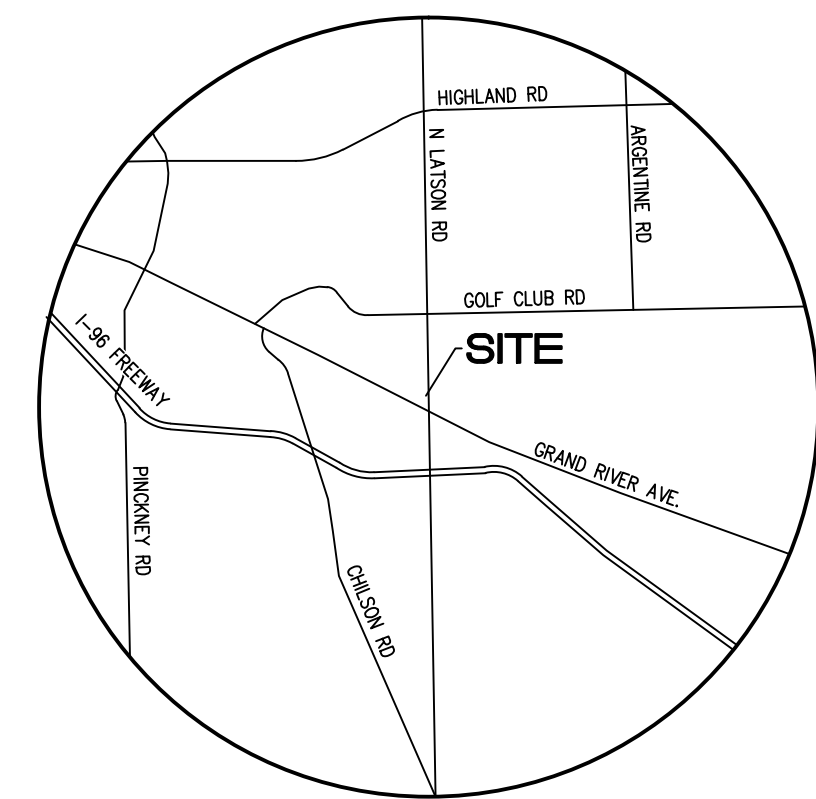
Job no.

**14-022**

Sheet no.

**1 OF 2**

**LOCATION MAP**  
NOT TO SCALE



**LEGEND**

- EX. GRADE
- EX. CONTOUR
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. OVERHEAD
- EX. FENCE
- EX. GAS
- EX. HYDRANT
- EX. CATCH BASIN
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. SIGN
- EX. GATE VALVE
- EX. LIGHT POLE
- EX. UTILITY POLE
- TOP OF CURB ELEV. TC.000.00
- GUTTER PAN ELEV. GU.000.00
- TOP OF WALK ELEV. TW.000.00
- TOP OF CONCRETE ELEV. TC.000.00
- CURB CUT ELEV. cc.000.00
- FOUND CAPPED IRON F.C.I.
- PR. GRADE x FG.0000.00

**PROPERTY DESCRIPTION**

PART OF SEC 5, T2N R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMM AT SE COR TH N02°11'26"E 854.58 FT TO POB TH N60°51'00"W 287.02 FT TH N02°11'26"E 60.59 FT TH N60°51'00"W 294.28 FT TH N02°20'35"E 71.43 FT TH N19°13'51"E 15.68 FT TH S87°39'25"E 325.74 FT TH S81°00'00"E 51.76 FT TH S87°39'25"E 36.22 FT TH S02°20'35"W 21.30 FT TH S87°39'25"E 100.05 FT TH S02°11'26"W 381.89 FT TO POB CONT. 2.871 AC M/L SPLIT FR 058 1/02 CORR LEGAL 1/04.

PROVIDED BY CLIENT

**NOTES**

NO BOUNDARY SURVEY WAS PERFORMED. PROPERTY LINES AS SHOWN ARE APPROXIMATE ONLY. EXISTING BUILDING LOCATION AND DIMENSIONS ARE THE OUTSIDE SPLIT FACE MASONRY BLOCK.

**UTILITY STATEMENT**

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**BENCHMARK**  
CHISELED "X" IN EAST END OF CONCRETE CURB OF FIRST ISLAND WEST OF LATSON AT SOUTHERLY MEIJER DRIVE ELEVATION 1004.19



**S. LATSON ROAD**

PARCEL ID:  
4711-05-400-059

EXISTING BUILDING  
No. 900 S. LATSON RD

FF 1007.50



ORIGINAL SIGNATURE IN BLUE

**BUFFALO WILD WINGS GENOA TWP, MI**

**SITE PLAN FOR NEW ADDITION**

**JEFFERY SCOTT ARCHITECTS**

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**



**Know what's below Call before you dig.**

1-800-482-7171 www.misdig.net

Scale 1" = 20'

Drawn RPP

Checked APM

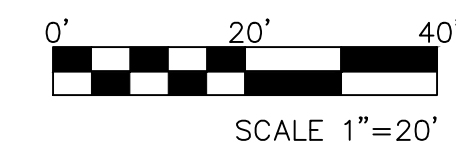
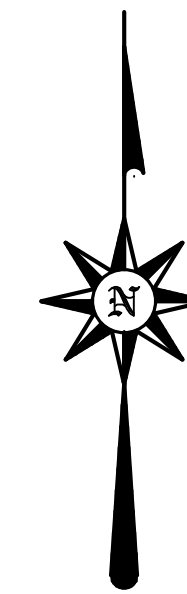
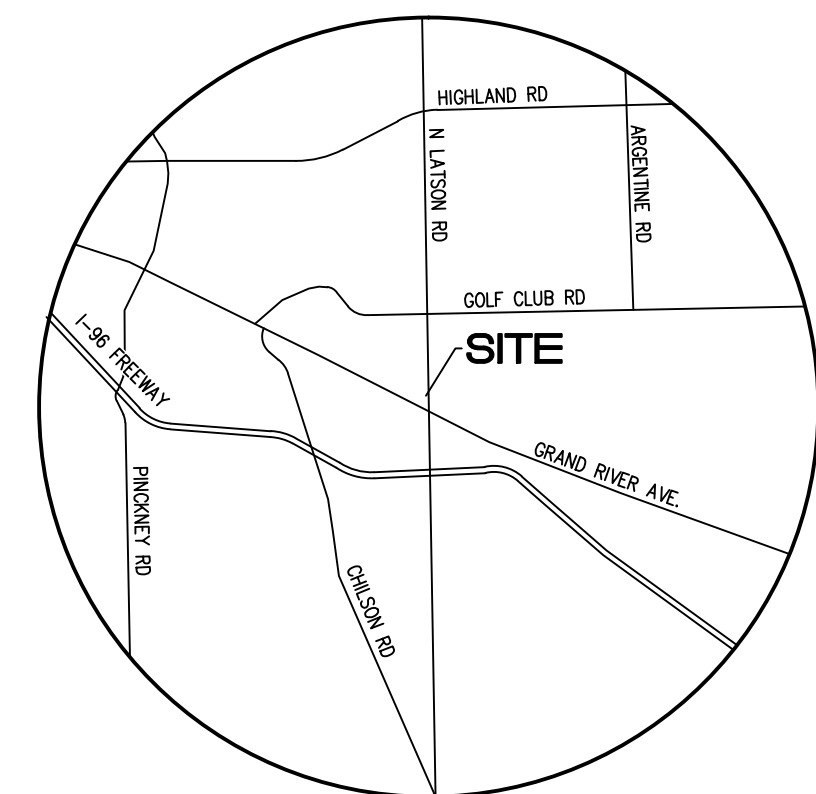
Approved APM

Date 06/20/14

**14-022**

**2 OF 2**

**LOCATION MAP**  
NOT TO SCALE



**LEGEND**

- EX. GRADE
- EX. CONTOUR
- EX. WATER MAIN
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- CURB CUT ELEV. cc.000.00
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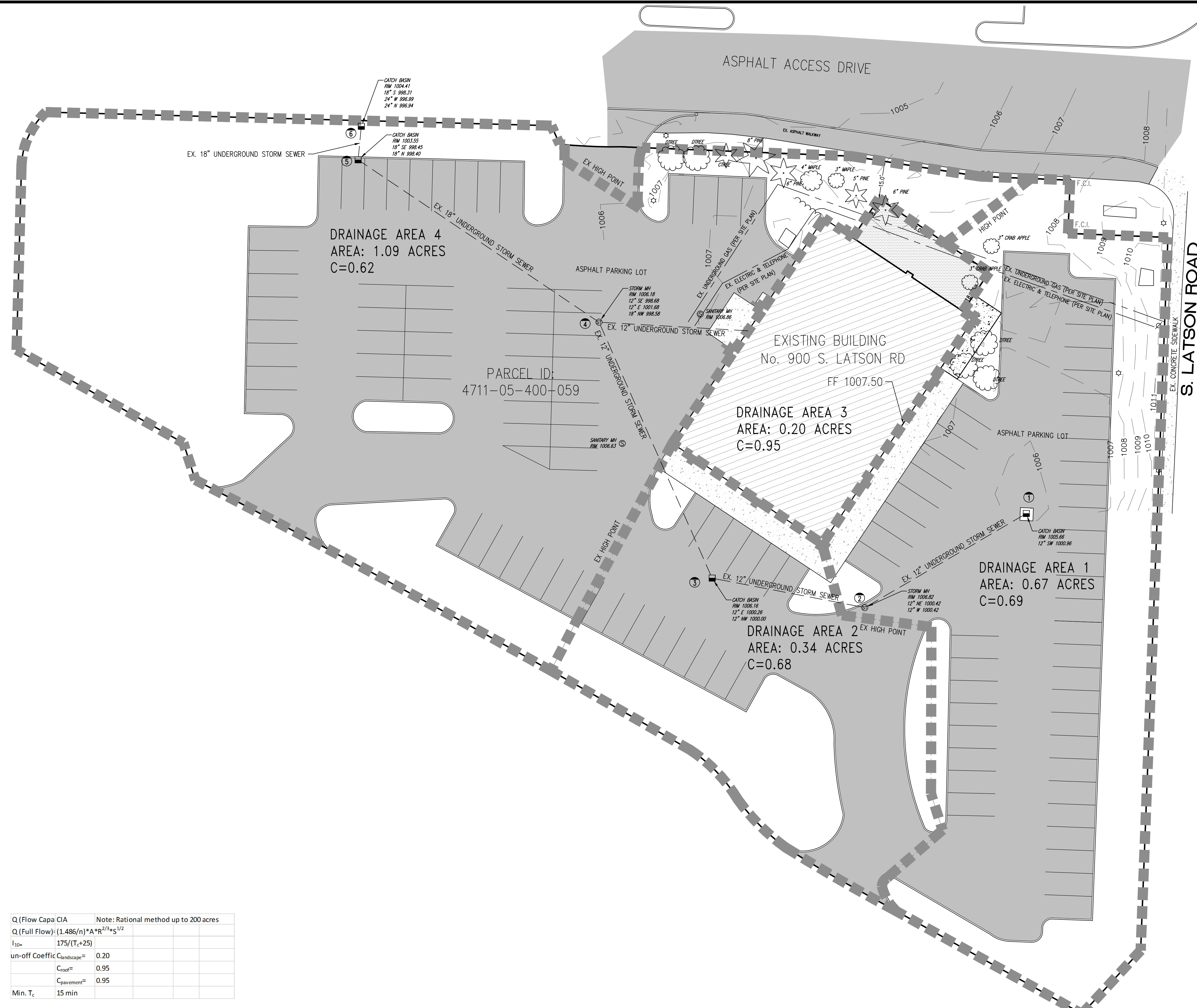
**NOTES**

PROPOSED ADDITION WILL INTERNALLY CONNECT INTO EXISTING BUILDING STORM LEAD

**NOTES**

NO BOUNDARY SURVEY WAS PERFORMED. PROPERTY LINES AS SHOWN ARE APPROXIMATE ONLY.

EXISTING BUILDING LOCATION AND DIMENSIONS ARE THE OUTSIDE SPLIT FACE MASONRY BLOCK.

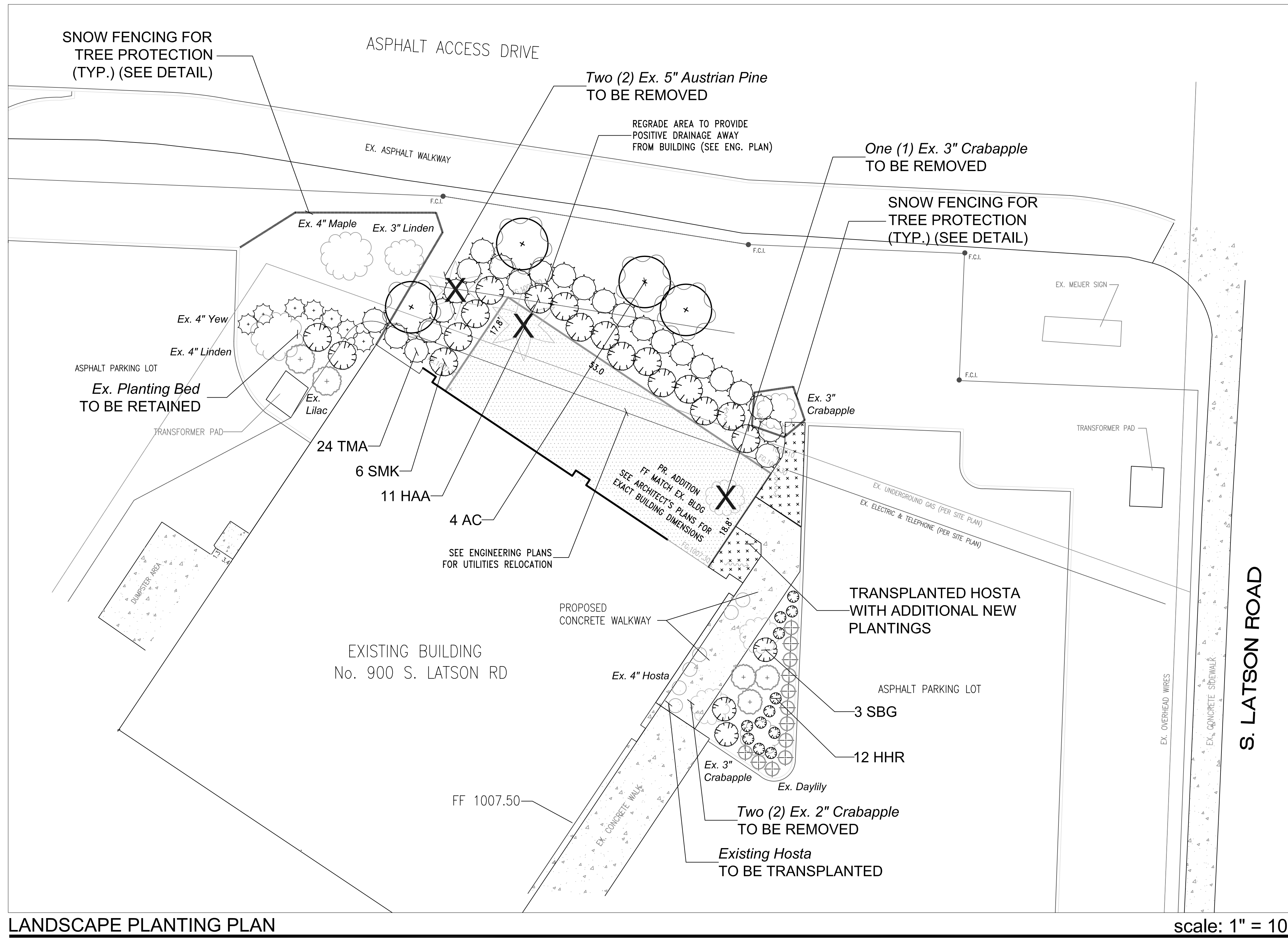


Q (Flow Capa CIA) Note: Rational method up to 200 acres  
 Q (Full Flow):  $(1.486/n) * A * R^{2/3} * S^{1/2}$   
 $I_{10} = 175 / (T_c + 25)$   
 un-off Coefficient  $C_{landscape} = 0.20$   
 $C_{roof} = 0.95$   
 $C_{pavement} = 0.95$   
 Min.  $T_c = 15$  min

From Structure	To Structure	Increment, (A), SF	Increment, (A), Acres	Runoff Coeff, (C)	Equiv. Area, (CA)	Total Area, (CA)	Time of Conc., (T <sub>c</sub> ), min.	Intensity, (I <sub>10</sub> ), in/hr	Flow, (Q), cfs	Pipe Roughness Coeff	Existing Diameter of Pipe, in.	Length of Pipe Run, ft.	Slope of pipe, %	Slope of HG, %	Velocity, (V), ft/sec	Full Flow Capacity of Pipe, (Q), cfs	Full Flow Velocity, (V), ft/sec	Pipe Flow Time, min.	Upper End HG Elev.	Lower End HG Elev.	Upper End Rim Elev.	Lower End Rim Elev.	Upper End Invert Elev.	Lower End Invert Elev.	Upper End Pipe Cover, ft	Lower End Pipe Cover, ft
CB1	MH2	29303	0.67270432	0.69	0.46	0.46	15	4.38	2.03	0.013	12	75	0.72%	0.32%	2.59	3.02	3.85	0.483	1000.94	1000.69	1005.66	1006.82	1000.96	1000.42	3.7	5.4
MH2	CB3	0	0	0	0.00	0.46	15.48	4.32	2.01	0.013	12	62	0.26%	0.32%	2.55	1.81	2.30	0.404	1000.69	1000.50	1006.82	1006.16	1000.42	1000.26	5.4	4.9
CB3	MH4	15005	0.3444674	0.68	0.23	0.70	15.89	4.28	2.99	0.013	12	112	1.18%	0.70%	3.81	3.87	4.92	0.490	1000.50	999.71	1006.16	1006.18	1000.00	998.68	5.16	6.5
							16.38																			
LEAD	MH4	8865	0.2035124	0.95	0.19	0.19	15	4.38	0.85	0.011	12	65	1.00%	0.04%	1.08	4.21	5.36	1.006	999.74	999.71	1007.10	1006.18	1002.33	1001.68	3.77	3.5
							16.01																			
MH4	CB5	0	0	0	0.00	0.89	16.38	4.23	3.77	0.013	18	116	0.11%	0.13%	2.13	3.52	1.99	0.906	999.71	999.56	1006.18	1003.55	998.58	998.45	6.1	3.6
CB5	CB6	47279	1.08537649	0.62	0.67	1.56	17.28	4.14	6.48	0.013	18	13	0.69%	0.38%	3.66	8.74	4.95	0.059	999.56	999.51	1003.55	1004.41	998.40	998.31	3.65	4.6

**UTILITY STATEMENT**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.





LANDSCAPE PLANTING PLAN

scale: 1" = 10'

LANDSCAPE PLANTING NOTES:

- PLANTING**
- Installation of all plant material shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock and with the specifications set forth by Genoa Township, Michigan.
  - The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock.
  - The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
  - Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
  - Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
  - The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
  - When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
  - Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). New shredded bark material to match the color of existing shredded bark mulch.
  - Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
  - All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs, and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
  - Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
  - All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
  - All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanent and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
  - Backfill directly behind all curbs and along sidewalks and compact to the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
  - All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
  - Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
    - Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site;
    - Call the Township prior to backfilling;
    - Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
  - Elevate the rootballs of Yew shrubs to allow for better drainage.

MATERIAL

- Plants shall not be located within two feet (2') of the property line.
- Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be:
  - Nursery grown;
  - State Department of Agriculture inspected;
  - No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted);
  - Staked, wrapped, watered, and mulched according to the details provided; and
  - Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Cheating Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- It is suggested that all landscape areas be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

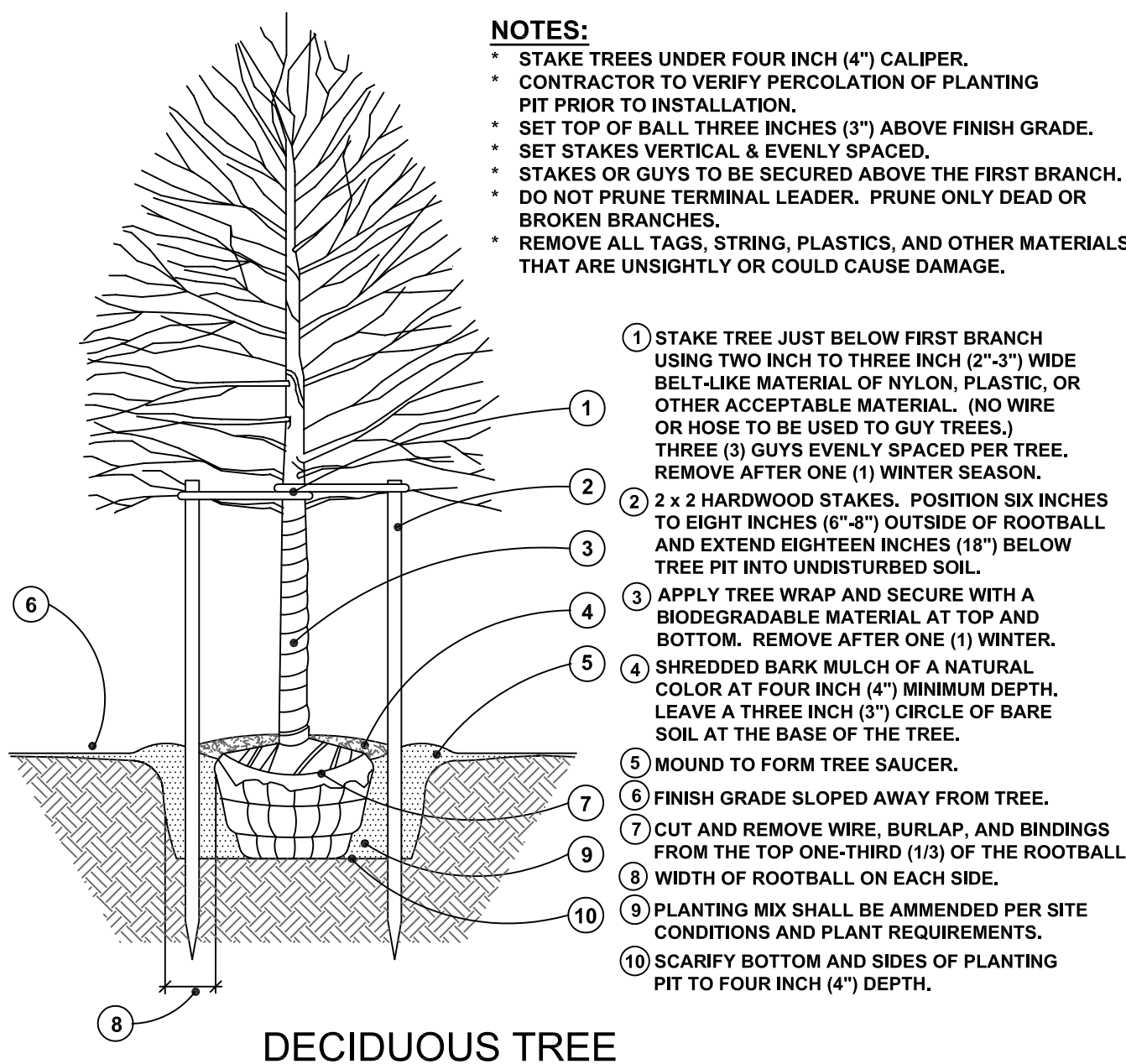
MAINTENANCE

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

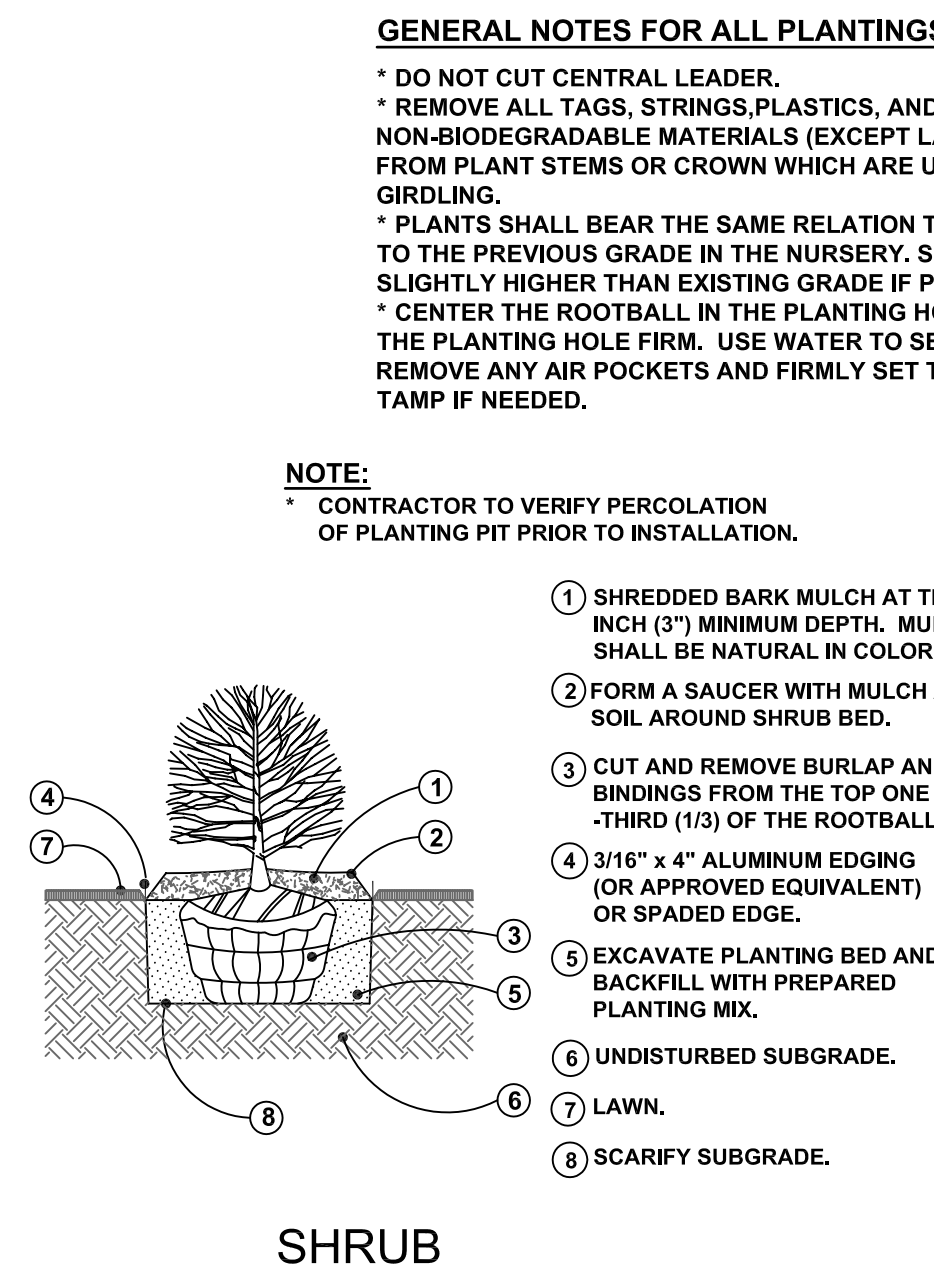
PLANT LIST

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AC 4	<i>Amelanchier canadensis</i>	Serviceberry	2" cal. B&B
HAA 11	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	24" ht., 3 gal. pot
SBG 3	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spirea	24" ht., 3 gal. pot
SMK 6	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	24" ht., 3 gal. pot
TMA 24	<i>Taxus x media</i> 'Angelica'	Angelica Yew	24" ht., 3 gal. pot
HHR 12	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
HSG *	<i>Hosta</i> sp. 'Guacamole'	Guacamole Hosta	1 gal. pot, 24" o.c.

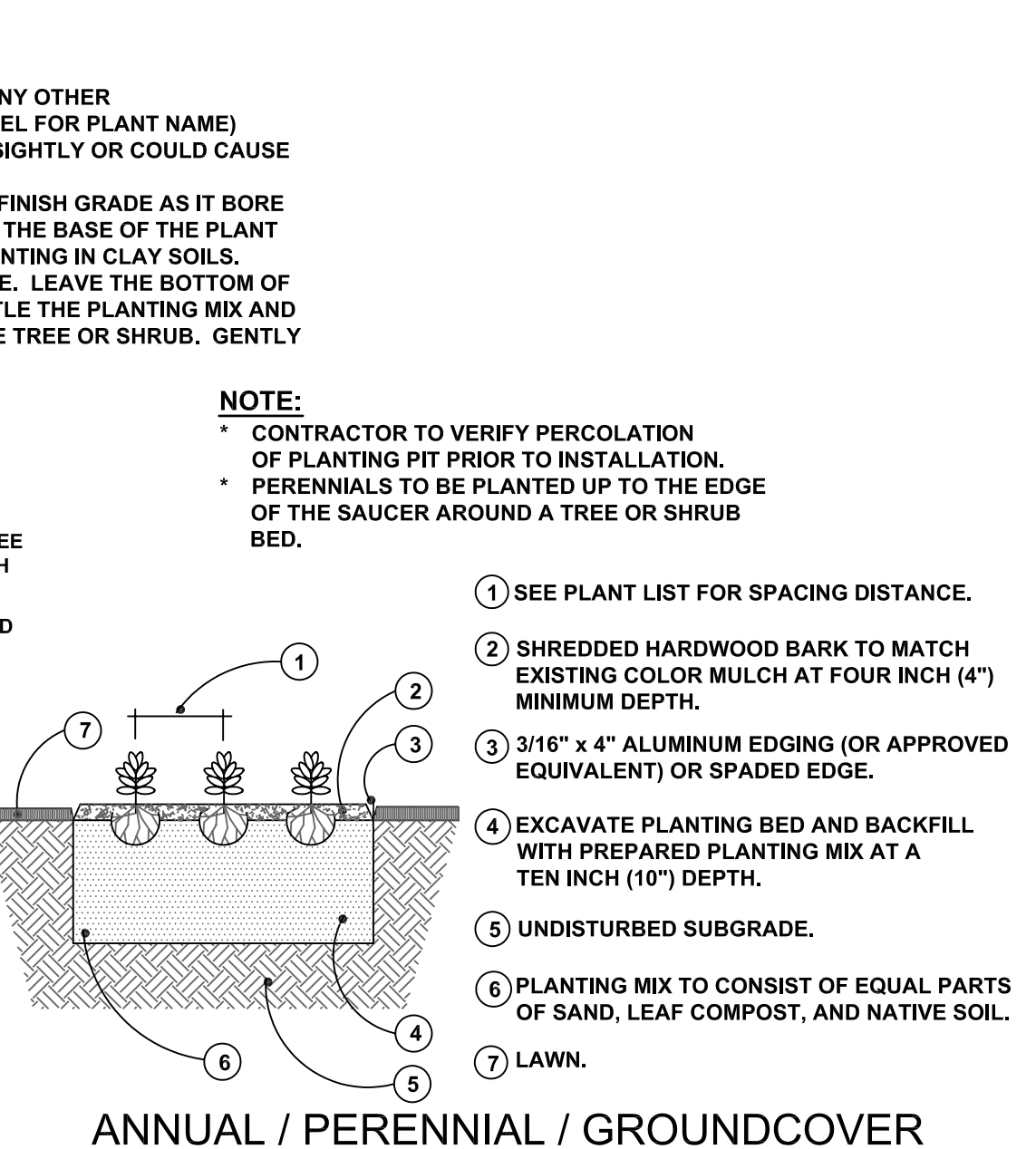
\* Quantity to be determined in the field.



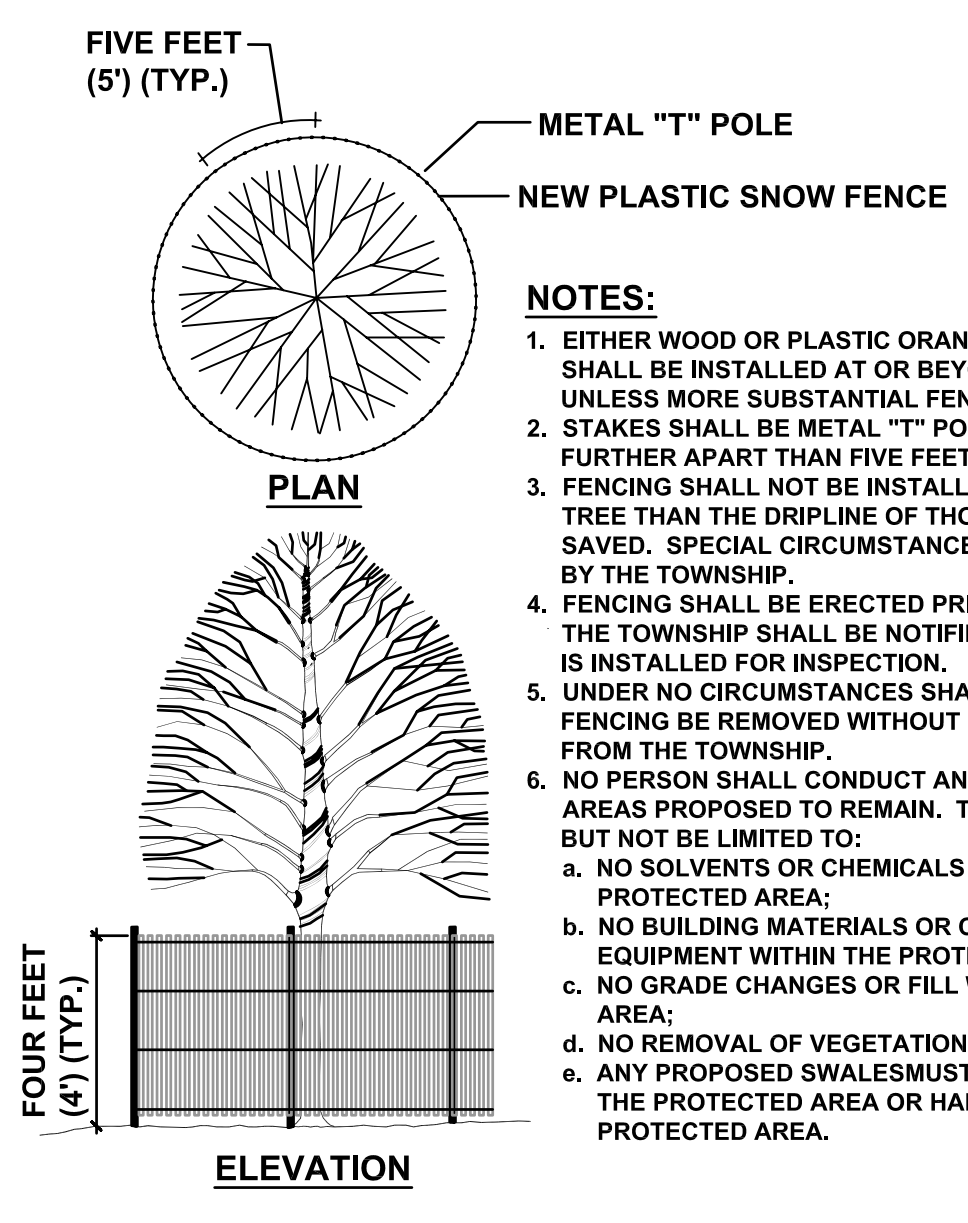
DECIDUOUS TREE PLANTING DETAILS



SHRUB PLANTING DETAILS



ANNUAL / PERENNIAL / GROUNDCOVER PLANTING DETAILS



TREE PROTECTION DETAIL

NOTES:

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

GENERAL NOTES FOR ALL PLANTINGS:

- DO NOT CUT CENTRAL LEADER.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.

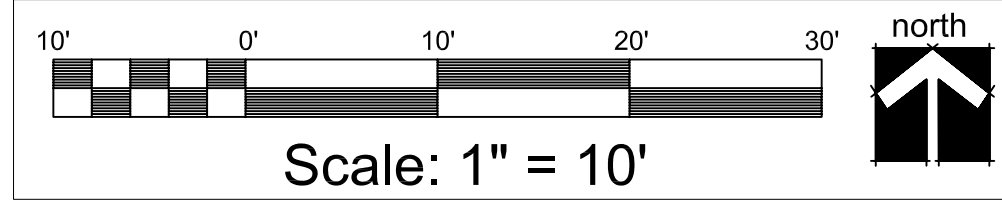
NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.

not to scale

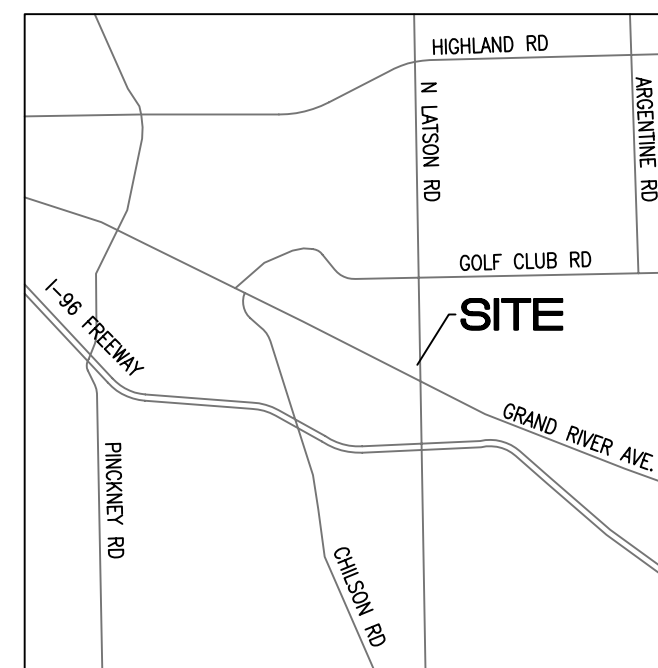
not to scale

not to scale



Scale: 1" = 10'

date: June 19, 2014  
revised:



LANDSCAPE PLAN FOR: PROJECT LOCATION:  
Jeffery A. Scott Architects, P.C. Buffalo Wild Wings Addition  
32316 Grand River Avenue Farmington, Michigan 48336  
(248) 476-8800

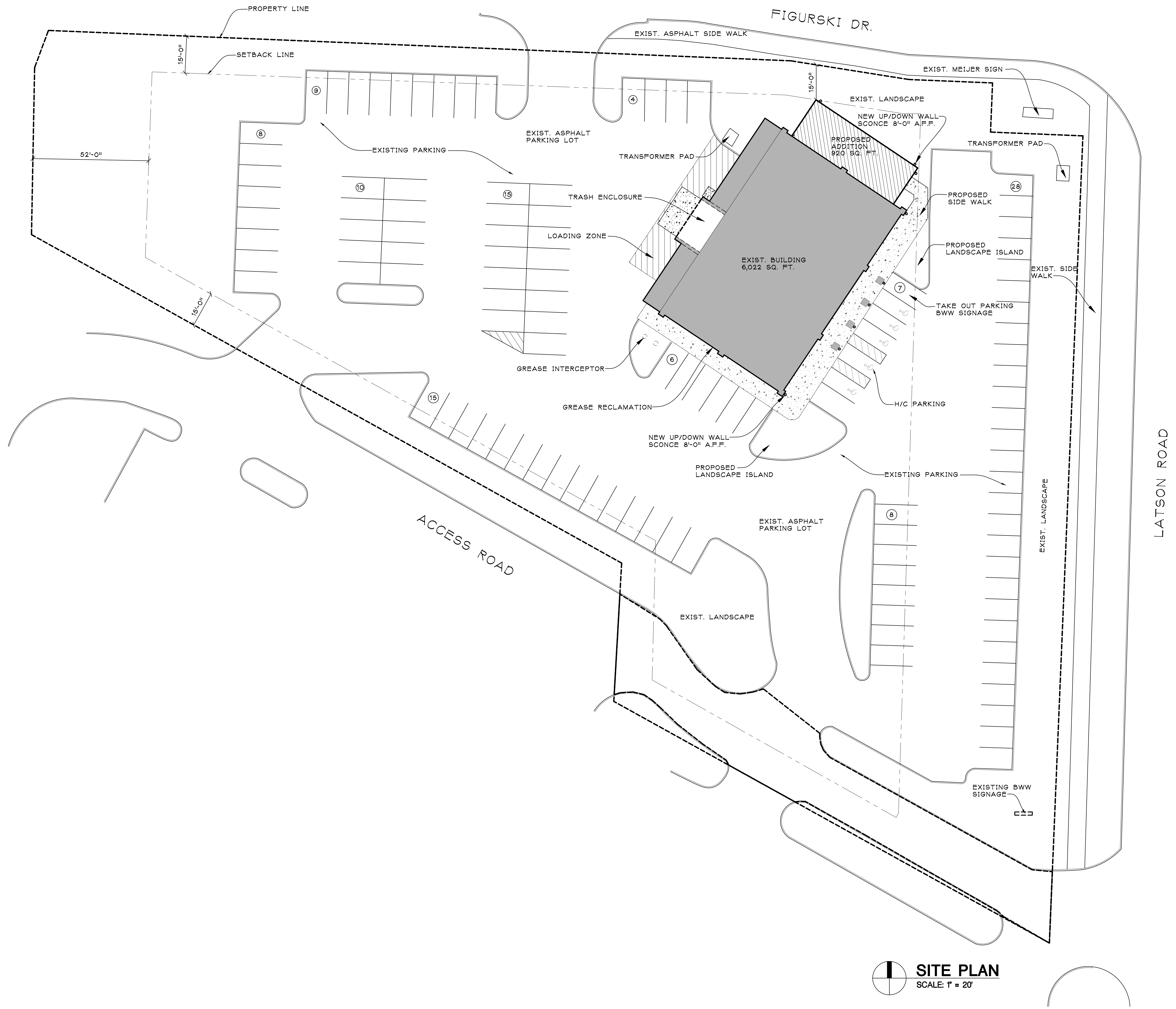
900 S. Latson Road  
Genoa Township, Michigan

LANDSCAPE PLAN BY:  
J. Brian Devlin, R.L.A.  
31736 West Chicago Ave.  
Livonia, Michigan 48150  
(734) 634-9208



L - 1: LANDSCAPE PLANTING PLAN

n.t.s. \* Base data provided by Mickalich Engineering, Inc.



**SITE PLAN**  
SCALE: 1" = 20'

SITE PLAN APPROVAL 06-27-2014  
SITE PLAN APPROVAL 4-29-2014

# BUFFALO WILD WINGS

900 S. LATSON RD  
HOWELL, MI 48843

**jeffery a. scott architects p.c.**

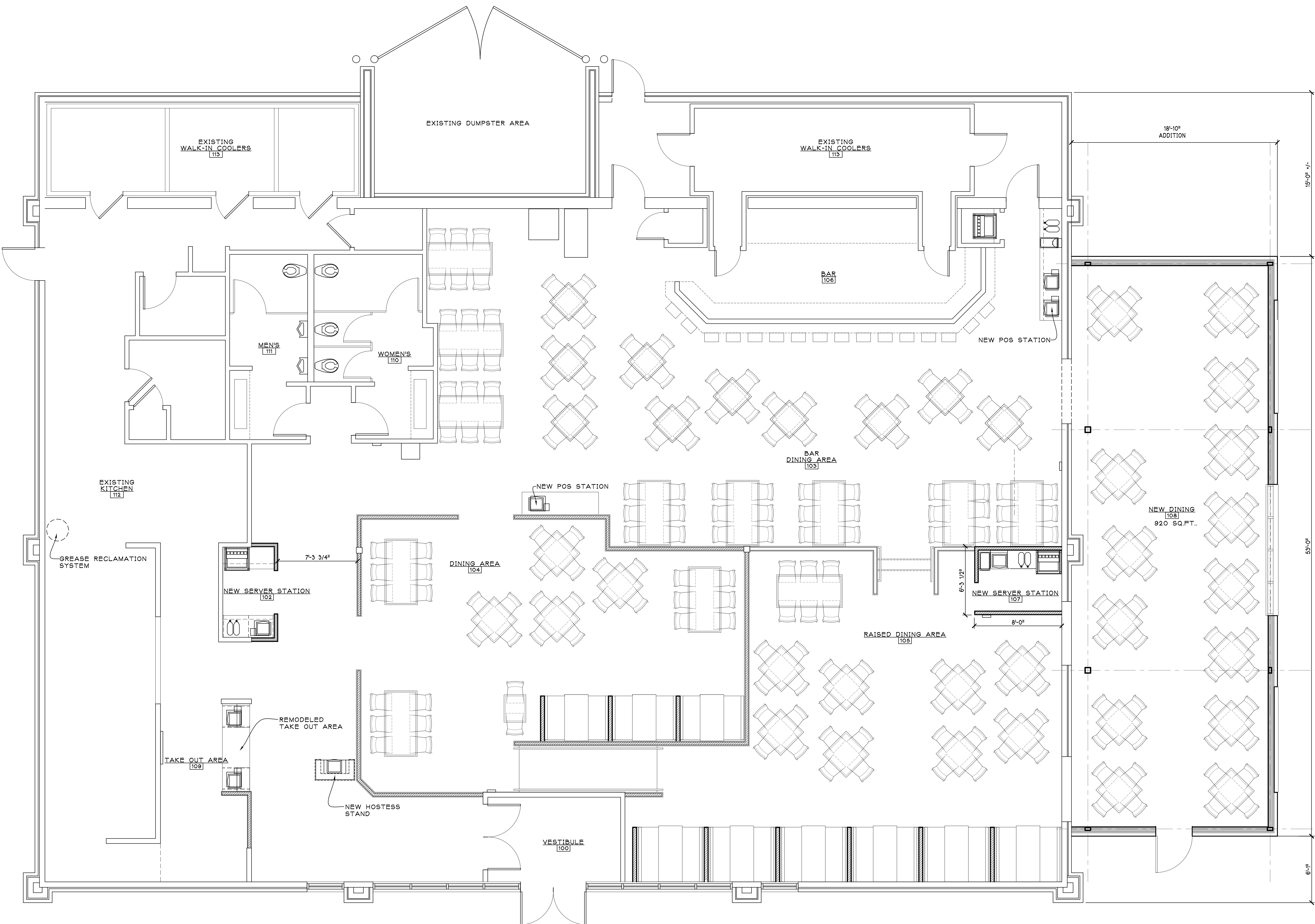
32316 grand river ave. suite 200  
farmington, michigan 48336-3261  
(248) 476-8800 fax (248) 476-8833

**ARCHITECTURAL SITE PLAN**

project no.	sheet no.
<b>14020</b>	<b>ASP-100</b>

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**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SITE PLAN APPROVAL 06-27-2014  
 SITE PLAN APPROVAL 4-29-2014

# BUFFALO WILD WINGS

900 S. LATSON RD  
 HOWELL, MI 48843

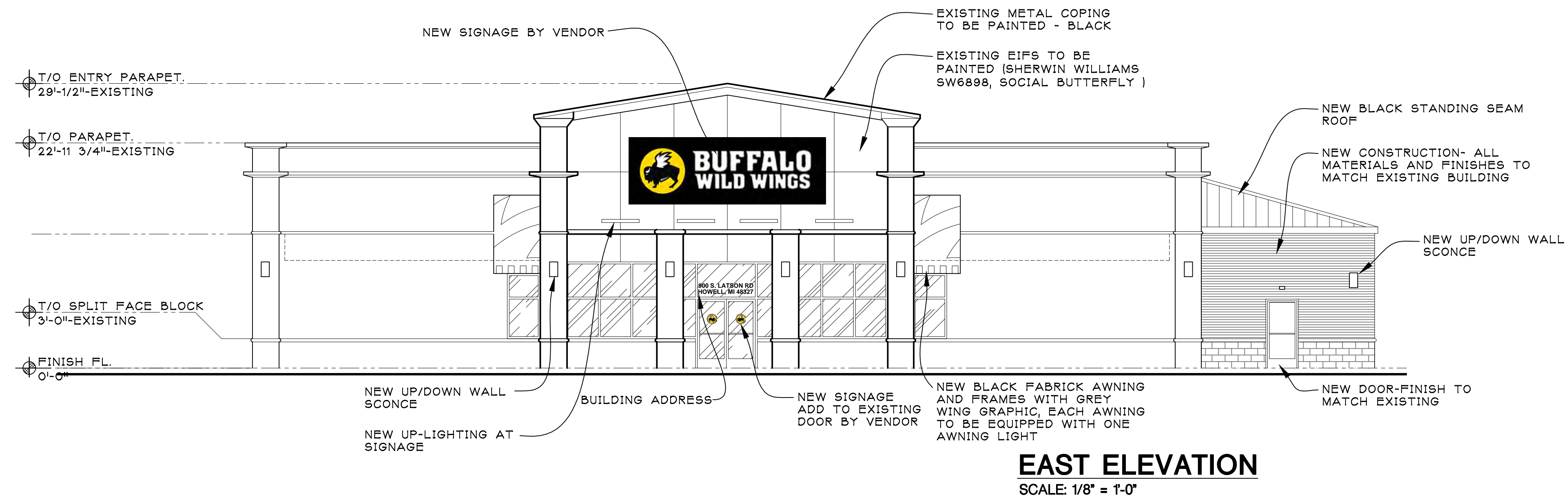
**jeffery a. scott architects p.c.**

32316 grand river ave. suite 200  
 farmington, michigan 48336-3261  
 (248) 476-8800 fax (248) 476-8833

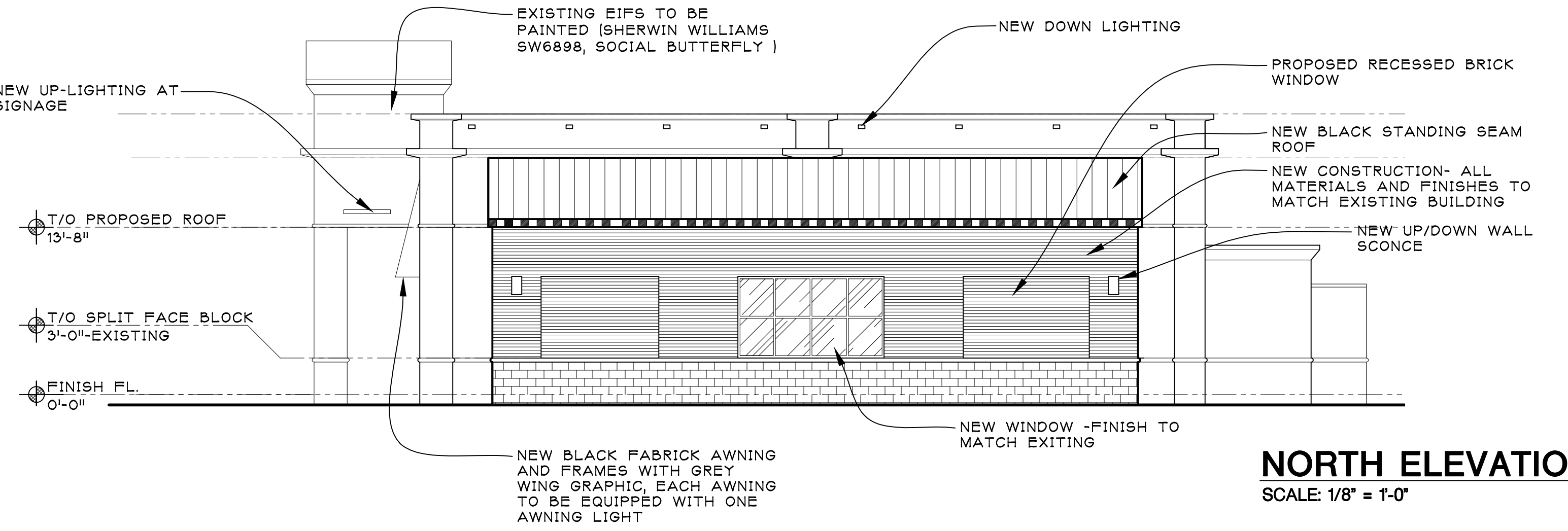
**FLOOR PLAN**

project no.	sheet no.
<b>14020</b>	<b>A-100</b>

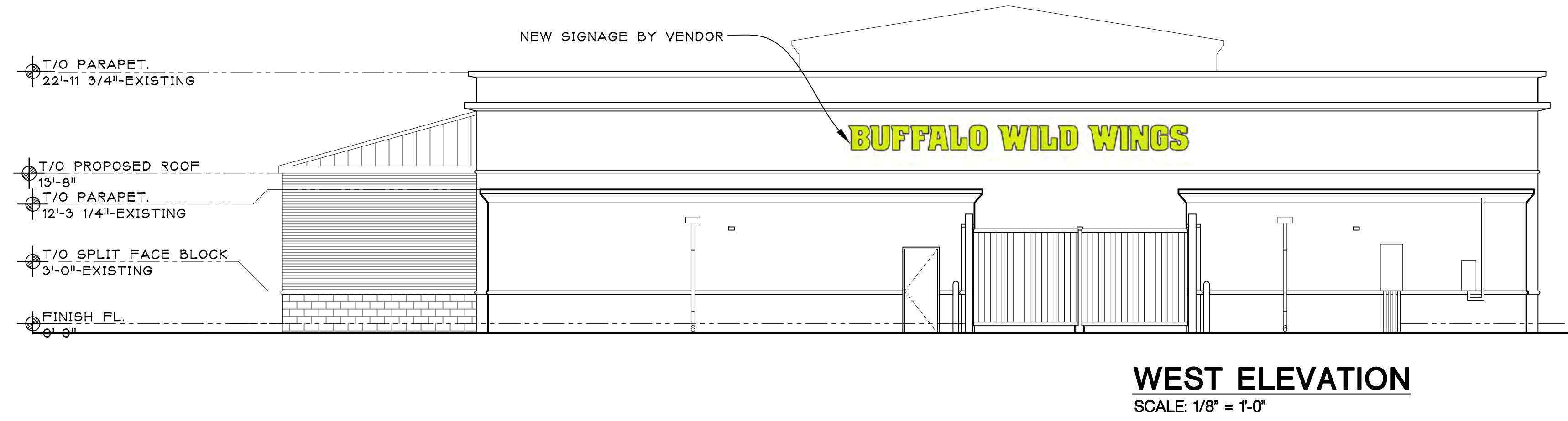
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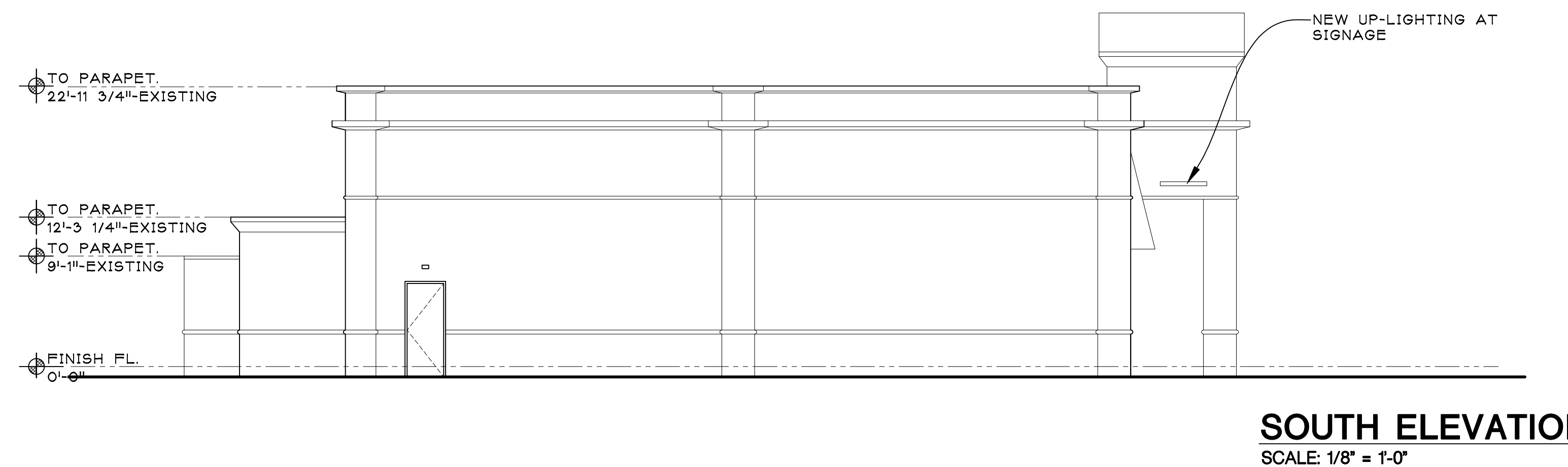
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

SITE PLAN APPROVAL 6-27-2014  
SITE PLAN APPROVAL 4-29-2014

**BUFFALO WILD WINGS**

900 S. LATSON RD  
HOWELL, MI 48843

**jeffery a. scott architects p.c.**

32316 grand river ave. suite 200  
farmington, michigan 48336-3261  
(248) 476-8800 fax (248) 476-8833

**EXTERIOR ELEVATIONS**

project no.	sheet no.
<b>14020</b>	<b>A-200</b>

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**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"





GENOA CHARTER TOWNSHIP  
Application for Site Plan Review

GENOA TOWNSHIP  
JUN 04 2014

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Karam Bahnam  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: USA 2GO  
Karam Bahnam / 28265 Beck Rd, Ste C 2  
Wixom, MI 48393

SITE ADDRESS: \_\_\_\_\_ PARCEL #(s): \_\_\_\_\_

APPLICANT PHONE: (248) 773-7992 OWNER PHONE: ( ) same

OWNER EMAIL: \_\_\_\_\_

LOCATION AND BRIEF DESCRIPTION OF SITE: UNDEVELOPED PROPERTY @  
CORNER OF GRAND OAKS & LATSON RD (SOUTHSIDE OF GRAND OAKS).  
NORTHEAST 1/4 OF SECTION 9, T.2N., R.5E., GENOA TWP

BRIEF STATEMENT OF PROPOSED USE: GAS STATION / CONVENIENCE STORE  
& ATTACHED TIM HORTON'S

THE FOLLOWING BUILDINGS ARE PROPOSED: BRICK & STONE FACILITY  
TO HOUSE A CONVENIENCE STORE & DRIVE-THRU TIM  
HORTON'S AS WELL AS A CANOPY OVER FUELING  
STATIONS

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: KB

ADDRESS: 28265 Beck Rd, ste C 2, Wixom, MI 48393

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) ROBERT BUDZEIKA of GAY ASSOCIATES, LLC at ROB@GAYASSOCIATES.COM  
Name Business Affiliation E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_



**GENOA CHARTER TOWNSHIP**  
**Special Land Use Application**

GENOA TOWNSHIP  
JUN 04 2014

This application must be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Karam Bahnam  
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (248) 773-7992 EMAIL: \_\_\_\_\_

OWNER NAME & ADDRESS: USA 2GO, 28265 Beck Rd, Ste C7  
Wixom, MI 48399

SITE ADDRESS: \_\_\_\_\_ PARCEL #(s): \_\_\_\_\_

OWNER PHONE: (248) 773-7992 EMAIL: \_\_\_\_\_

Location and brief description of site and surroundings:  
UNDEVELOPED PROPERTY @ NORTHEAST 1/4 OF SECTION 8, T. 2N., R. 5E., GENOA TWP  
(CORNER OF GRAND OAKS & LATSON RD)

Proposed Use:  
GAS STATION/CONVENIENCE STORE & ATTACHED TIM HORTON'S

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

USE IS PART OF PUD AGREEMENT

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

EXISTING GENERAL VICINITY IS UNDEVELOPED AND THIS USE IS PART OF THE PUD AGREEMENT FOR THE DEVELOPMENT OF THIS AREA

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

USE WILL ADEQUATELY BE SERVED AS PART OF THE DEVELOPMENT OF THE AREA AND NEW HIGHWAY INTERCHANGE

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

USE WILL NOT BE DISRUPTIVE

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

YES, 7.02.02 (AUTO SERVICE USE), CRITERIA SHALL BE MET PER PUD AGREEMENT. IN LIEU OF INFORMATION NOT IN P.U.D., TWP ORDINANCES SHALL BE FOLLOWED. I.E. SETBACKS, USES, MATERIALS, ETC.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED \_\_\_\_\_ STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: KB

ADDRESS: 28265 Bode Rd. Ste C2, Wixom MI 48393

<b>Contact Information</b> - Review Letters and Correspondence shall be forwarded to the following:		
<u>ROBERT BUDZEIKA</u>	of <u>GAY ASSOCIATES, LLC</u>	at <u>ROB@GAYASSOCIATES.COM</u>
Name	Business Affiliation	Email

<b>FEE EXCEEDANCE AGREEMENT</b>	
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: <u>KB</u>	DATE: <u>6/4/14</u>
PRINT NAME: <u>Karam Bahnam</u>	PHONE: <u>(248) 773-7992</u>



## PERMIT INFORMATION

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what departmental permits, licenses, or approvals of a permit-like nature may be needed for a project. By contacting the appropriate offices listed below, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities (i.e. planning requirements and chemical storage regulations may apply). A useful way to learn whether any other requirements will apply is to go through the Self Environmental Assessment in the Michigan Manufacturers Guide, online at: [http://www.michigan.gov/deq/0,1607,7-135-3310\\_4148-15820--,00.html](http://www.michigan.gov/deq/0,1607,7-135-3310_4148-15820--,00.html)

KEY QUESTIONS: (DEQ Permit and Licensing Guidebook Chapter)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If "Yes," refer to the DEQ Permit and Licensing Guidebook Section(s), the Web Page, or Call the Program:
<b>CONSTRUCTION PERMITS</b>			
<b>Permit to Install:</b> Does the project involve installation, construction, reconstruction, relocation, or alteration of any process equipment (including <b>air pollution control equipment</b> ) which has the potential to emit air contaminants? (Permit Guidebook Chapter <u>5.1.3</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , AQD, Permit Section, 517-373-7023
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? (Notification is required for all renovations and demolitions, even if the structure never contained asbestos.)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , AQD Asbestos NESHAP Program 517-373-7064
<b>Soil Erosion and Sedimentation Control (SESC):</b> Does the project involve an earth change activity within 500 feet of a lake or stream, or will the project disturb an area greater than one acre in size? (Permit Guidebook Chapter <u>5.3.5</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact Your Local SESC Agency: <a href="http://www.deq.state.mi.us/sesca/">http://www.deq.state.mi.us/sesca/</a> <u>Web</u> , WB, SESC Program, 517-335-3178
Does the project involve <b>construction</b> which will disturb one or more acre that comes into contact with <b>storm water</b> that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <u>5.2.1</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office
Does the project involve <b>construction</b> or alteration of any <b>sewage collection or treatment</b> facility? (Permit Guidebook Chapter <u>5.3.1</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate District Office, WB, Part 41 Construction Permit Program
Does the project involve <b>construction</b> of a <b>community water supply</b> well or the extension of a water supply from an existing water system? (Permit Guidebook Chapter <u>5.3.2</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WB, Community Water Supply Program
Does the project involve <b>construction</b> of a <b>water supply well</b> (a private, irrigation, process, or public water well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact a <u>Registered Well Driller</u> , <u>Web</u> , <u>Local Health Department Contacts</u> , Non Community Water Supply, <u>Web</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <b>solid non-hazardous waste</b> on-site, or places <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter <u>5.4.1</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <b>hazardous waste</b> ? (Permit Guidebook Chapter <u>5.4.2</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> <u>5.4.2</u> , WHMD, Hazardous Waste Section, 517-373-9875
<b>CONSTRUCTION PERMITS (LAND/WATER FEATURE)</b>			
Does the project involve filling, dredging, placement of structures, draining, or use of a <b>wetland</b> ? (Permit Guidebook Chapter <u>5.5.6</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <u>Web</u> ), <u>Web</u> Land & Water Management Division (LWMD), Permit Consolidation Unit, 517-373-9244
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development? (Permit Guidebook Chapter <u>5.5.6</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <u>Web</u> ), <u>Web</u> LWMD, Permit Consolidation Unit, 517-373-9244

Great Lakes: Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes? (Permit Guidebook Chapter 5.5.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Inland Lakes and Streams: Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody? (Permit Guidebook Chapter 5.5.7)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes: Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody? (Permit Guidebook Chapters 5.5.7 & 5.5.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.1</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse? (Permit Guidebook Chapter 5.5.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area? (Permit Guidebook Chapter 5.5.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area? (Permit Guidebook Chapter 5.5.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.1</a> , <a href="#">Web5.5.4</a> , <a href="#">Web5.5.6</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area? (Permit Guidebook Chapter 5.5.5)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a dam, weir or other structure to impound flow? (Permit Guidebook Chapters 5.5.7) & 5.5.8)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.8</a> , LWMD, Dam Safety Program, 517-241-9862
<b>CONSTRUCTION PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells? (Permit Guidebook Chapter 5.3.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1345
Does the project involve the construction or modification of a campground? (Permit Guidebook Chapter 5.3.6)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Does the project involve the construction or modification of a public swimming pool? (Permit Guidebook Chapter 5.3.3)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
<b>OPERATIONAL PERMITS</b>		
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? (Permit Guidebook Chapter 5.1.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter 5.2.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Appropriate District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program 517-241-1346
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter 5.2.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office

Does the project involve the <b>discharge of wastewaters</b> into or onto the <b>ground</b> (e.g. subsurface disposal or irrigation)? (Permit Guidebook Chapter <u>5.2.2</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, Groundwater Permits Program, 517-373-8148
Does the project involve the drilling or deepening of <b>wells for waste disposal</b> ? (Permit Guidebook Chapter <u>5.7.8</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve landfilling, transferring, or processing of any type of <b>solid non-hazardous waste</b> on-site, or placing <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter <u>4.4.2</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the on-site treatment, storage, or disposal of <b>hazardous waste</b> ? (Permit Guidebook Chapters <u>4.4.3</u> , & <u>4.4.4</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Hazardous Waste Section, 517-373-9875
Does the project require a <b>site identification number</b> (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	WHMD, Appropriate DEQ District Office
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of <b>radioactive material</b> in any form?	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Radioactive Material and Standards Unit, 517-241-1275
Do you desire to develop a <b>withdrawal</b> of over 2,000,000 gallons of <b>water</b> per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a <b>withdrawal</b> of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways? (Permit Guidebook Chapter <u>5.2.6</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, DWEHS, Source Water Protection Unit, 517-241-1318
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using <b>chemicals</b> or materials in, or in contact with, <b>drinking water</b> at any point in the <b>water works system</b> ? (Permit Guidebook Chapter <u>5.2.3</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, Appropriate District Office, Public Water Supply Program 517-241-1318
Are you applying a chemical treatment for the purpose of <b>aquatic nuisance control</b> (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (Permit Guidebook Chapter <u>5.2.4</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, Aquatic Nuisance Control and Remedial Action Unit 517-241-7734
Are you applying materials to a water body for a <b>water resource management project</b> (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? (Permit Guidebook Chapter <u>5.2.5</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, Surface Water Assessment Section 517-373-2190
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the <b>transport</b> of some other facility's non-hazardous <b>liquid waste</b> ? (Permit Guidebook Chapter <u>4.2.4</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does the project involve the <b>transport hazardous waste</b> ? (Permit Guidebook Chapter <u>4.2.3</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does your facility have an <b>electric generating unit</b> that sells electricity to the grid and burns a fossil fuel? (Permit Guidebook Chapter <u>5.1.1</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , AQD, Acid Rain Permit Program, 517-373-7023
Is the project a <b>dry cleaning establishment</b> utilizing perchloroethylene or a flammable solvent in the cleaning process? (Permit Guidebook Chapter <u>4.1.2</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , DEQ, Air Quality Division (AQD), 517-241-1324
Does your <b>laboratory test potable water</b> as required for compliance and monitoring purposes of the Safe Drinking Water Act? (Permit Guidebook Chapter <u>4.1.4</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , ESSD, Laboratory Services Section 517-335-9800



Does the project involve the generation of <b>medical waste</b> or a facility that treats medical waste prior to its disposal? (Permit Guidebook Chapter <u>4.1.5</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , Waste and Hazardous Materials Division (WHMD), Medical Waste Regulatory Program 517-241-1320
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of <b>septage</b> or sewage sludge into or onto the ground? (Permit Guidebook Chapter <u>4.2.1</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, DWEHS, Septage Program 517-241-1318
Do you store, haul, shred or process <b>scrap tires</b> ? (Permit Guidebook Chapters <u>4.2.2</u> or <u>4.4.1</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
Does the project involve the operation of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <u>4.1.3</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
Does the project involve the operation of a <b>campground</b> ? (Permit Guidebook Chapter <u>4.1.6</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, DWEHS, 517-241-1340
Do you engage in the business of <b>hauling bulk water</b> for drinking or household purposes (except for your own household use)? (Permit Guidebook Chapter <u>4.2.5</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, DWEHS, Noncommunity Unit, 517-241-1370
Does the project involve composting over 200 cubic yards of yard clippings? (Permit Guidebook Chapter <u>4.4.5</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an <b>aboveground storage tank</b> for a flammable or combustible liquid (under 200 degrees Fahrenheit)? (Permit Guidebook Chapter <u>4.3.1</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section (STSWs), 517-335-7211
Does the project involve the installation of a <b>compressed natural gas dispensing station</b> with storage? (Permit Guidebook Chapter <u>4.3.2</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>liquefied petroleum gas</b> container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons? (Permit Guidebook Chapter <u>4.3.3</u> )	<del>Y <input checked="" type="checkbox"/></del> N <input type="checkbox"/>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the installation, removal, or upgrade of an <b>underground storage tank</b> containing a petroleum product or a hazardous substance? (Permit Guidebook Chapter <u>4.3.4</u> )	<del>Y <input checked="" type="checkbox"/></del> N <input type="checkbox"/>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>hydrogen system</b> ?	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	WHMD STSWs, 517-335-7211
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the <b>Certified Operator</b> to fulfill the requirements of a wastewater discharge permit (NPDES including Storm Water or Groundwater)? (Permit Guidebook Chapters <u>3.1</u> , <u>3.2</u> , & <u>3.5</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	Hollink to Program Web Page (Web) <u>Web3.1</u> , <u>Web3.2</u> , Environmental Science and Services Division (ESSD), Operator Training 517-373-4755 and, <u>Web3.5</u> Water Bureau (WB), Storm Water Program 517-241-8993
Are you a <b>drinking water operator</b> in charge of a water treatment or water distribution system, back-up operator, or shift operator? (Permit Guidebook Chapter <u>3.3</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , ESSD, Operator Training 517-241-7199
Are you a <b>water well drilling contractor</b> , pump installer, <b>dewatering well contractor</b> or dewatering well pump installer? (Permit Guidebook Chapter <u>3.4</u> )	Y <input type="checkbox"/> <del>N <input checked="" type="checkbox"/></del>	<u>Web</u> , WB, Well Construction Unit 517-241-1377

<b>OIL, GAS AND MINING</b>		
Do you want to operate a <b>central production facility</b> (applies to oil and gas production facilities where products of diverse ownership are commingled)? (Permit Guidebook Chapter <u>4.1.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Office of Geological Survey (OGS), Petroleum Geology and Production Unit 517-241-1515
Does the project involve the removal of sand from a <b>sand dune area</b> within two (2) miles of a Great Lakes shoreline? (Permit Guidebook Chapter <u>5.6.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Office of Geological Survey (OGS), Minerals and Mapping Unit, 517-241-1542
Does the project involve the diversion and control of water for the mining and processing of <b>low-grade iron ore</b> ? (Permit Guidebook Chapter <u>5.6.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the surface or open-pit mining of <b>metallic mineral deposits</b> ? (Permit Guidebook Chapter <u>5.6.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the mining of <b>nonferrous mineral deposits</b> at the surface or in underground mines? (Permit Guidebook Chapter <u>5.6.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve mining <b>coal</b> ? (Permit Guidebook Chapter <u>5.6.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Do you want to change the status of an <b>oil or gas well</b> (i.e. plug the well)? (Permit Guidebook Chapter <u>5.7.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve drilling of <b>oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells</b> ? (Permit Guidebook Chapter <u>5.7.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve plugging or deepening of an <b>oil or gas well</b> , or conveying rights in the well as an owner to another person? (Permit Guidebook Chapter <u>5.7.3, 5.7.4 &amp; 5.7.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve changing the status or plugging of a <b>mineral well</b> ? (Permit Guidebook Chapter <u>5.7.6 &amp; 5.7.7</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve the drilling or deepening of <b>wells for brine production, solution mining, storage, or as test wells</b> ? ( <u>5.7.8</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD Radioactive Material and Standards Unit, 517-241-1275

ENVIRONMENTAL ASSISTANCE CENTER: 1-800-662-9278



July 9, 2014

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Mike Archinal, AICP Township Manager
<b>Subject:</b>	USA2GO/Tim Horton's – Special Land Use and Site Plan Review #2
<b>Location:</b>	Vacant property at the southwest corner of Grand Oaks Drive and Latson Road
<b>Zoning:</b>	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan (dated 6/27/14) proposing a new gasoline service station and convenience store with an attached drive-through restaurant for the vacant 1.77-acre site at the southwest corner of Grand Oaks Drive and Latson Road.

The site is part of the Livingston Commons PUD and is zoned NR-PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

**A. Summary**

1. In our opinion, the general special land use standards of Article 19 are met; however, any issues raised by the Township Engineer or Brighton Fire Authority must be addressed and/or mitigated.
2. The applicant must obtain necessary permits from the MDEQ.
3. The applicant must confirm compliance with the spacing requirements for gas stations and drive-through restaurants.
4. The Planning Commission has approval authority over the building elevations, including materials and colors. We suggest additional accents be provided to break up relatively blank wall facades on the south, east and west sides.
5. We suggest the Commission discuss whether sidewalks may be warranted along Grand Oaks and the internal access drive.
6. Given the layout of the site, fuel delivery trucks may block parking spaces.
7. Lighting intensity underneath the canopy exceeds the 10-footcandle maximum. The Commission will need to determine whether the higher intensity proposed is justifiable.
8. The gooseneck fixtures on the building do not provide cut-off fixtures.

**B. Proposal**

The applicant requests approval of two special land uses and site plan review for a new 8,187 square foot commercial building along with a gasoline service station. The building includes a 6,000 square foot convenience store and a 2,187 square foot leasable space that is proposed as a Tim Horton's drive-through restaurant.

The gasoline service station includes 5 pumps with space for up to 10 vehicles at any given time. Gasoline service stations and drive-through restaurants are allowed with special land use approval and each is subject to a set of specific use conditions outlined below in Sections D and E of this review letter.



*Aerial view of site and surroundings (looking north)*

### C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Township Master Plan and Future Land Use map identify the site as Regional Commercial, which is described as follows:

*Land uses within this category include higher intensity commercial uses that serve the comparison shopping needs of the entire community and the regional market. Uses include big-box retail, large shopping centers, restaurants (including fast-food) and automobile service centers. Such land uses rely on higher traffic volumes and easy access via a major arterial or highway. Development within such areas should occur within a planned, integrated commercial setting.*

Given the site is part of a PUD and the proposed special land uses are specifically mentioned as uses intended for the classification, we are of the opinion that the proposed project is consistent with the Township Master Plan for this site and area.

2. **Compatibility.** The Latson Road corridor north of I-96 is generally zoned and planned for higher intensity commercial uses. This intended development pattern is further demonstrated by the recently approved NR-PUD for the former school site across Latson Road from the subject site.

As such, we are of the opinion that the proposed project will be compatible with the established and planned character of the area.

3. **Public Facilities and Services.** Given the site's location along two recently redesigned roadways, we anticipate that necessary facilities and services are in place for the proposed development. However, we defer to the Township Engineer for specific comments under this criterion.
4. **Impacts.** Given the allowable and planned uses for the area, we do not foresee that the proposal will create any adverse impacts on surrounding properties or roadways.

The plan was designed to exclude direct vehicular access to/from Latson Road and allow only exiting traffic directly onto Grand Oaks, both of which are expected to reduce potential vehicular conflicts and congestion.

5. **Mitigation.** The Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposal.

Any comments provided from an engineering or public safety perspective should be addressed as part of this criterion. Lastly, given the inclusion of a gasoline service station, the applicant must obtain necessary permits from the MDEQ.

#### **D. Use Conditions (Gasoline Service Stations)**

Section 7.02.02(k) provides the following use conditions for gasoline service stations:

1. **There shall be a minimum lot area of one (1) acre and minimum lot frontage of two hundred fifty (250) feet.**

This standard is met.

2. **Pump islands shall be a minimum of twenty (20) feet from any public right of way or lot line, and at least forty (40) feet from any residential lot line.**

This standard is met.

3. **Access driveways shall meet the standards of Article 15; turning movements may be restricted in consideration of traffic conditions. Only one driveway shall be permitted from each street unless the Planning Commission determines additional driveways will be consistent with the purpose of Article 15.**

This standard is met.

4. **Where adjoining residentially zoned or used property, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may approve a landscaped berm as an alternative.**

This standard does not apply to the request.

5. **All repair work shall be conducted completely within an enclosed building. Garage doors shall not face any public roadway except as approved by the Planning Commission under the following circumstances:**

- a. **For through garages where doors are provided on the front and rear of the building;**
- b. **Garages located on corner or through lots; and**
- c. **Were the Planning Commission determines that a rear garage would have a negative impact on an abutting residential district.**

**Under these circumstances the Planning Commission may require additional landscape screening above and beyond what is required for street frontage landscaping.**

The submittal does not identify any proposed repair work as part of the gasoline service station, nor do we expect such activity to occur given the design the site.

- 6. There shall be no outdoor storage or display of vehicle components and parts, supplies, or equipment or other merchandise, except within an area defined on the site plan approved by the Planning Commission and which extends no more than ten (10) feet beyond the building.**

A note on Sheet SP.101 states that there will be no outdoor storage.

- 7. Storage of wrecked, partially dismantled, or other derelict vehicles is prohibited, unless such storage is required under police or court order. Vehicles shall not be stored outdoors for more than seven (7) days in any thirty (30) day period.**

Similar to the statement under criterion 5 above, we do not believe vehicle repair is part of the proposed project.

- 8. Storage of gasoline shall be at least four hundred (400) feet from churches, schools or similar public/quasi-public places of assembly.**

Given the redevelopment proposed for the former school site on the east side of Latson Road, we believe this standard is met; however, we request the applicant provide confirmation.

- 9. Below ground fuel storage tanks shall be at least two thousand (2000) feet from any drinking water well serving two or more residential units.**

The applicant must confirm that this standard is met.

- 10. The design and materials of the canopy shall be compatible with the main building. The proposed clearance of any canopy shall be noted on the site plan. Any signs, logo or identifying paint scheme on the canopy shall be reviewed by the Planning Commission and considered part of the maximum wall sign permitted. Details on the canopy lighting shall be provided to ensure there is no glare on the public streets or adjacent property, and that lighting levels are in accordance with Section 12.03. Canopy lighting shall be recessed such that the light source cannot be seen from off site.**

Canopy details on Sheet SP.103 note the use of cast stone pillars and an EIFS canopy that is designed to match the proposed building.

Lighting and sign details are described in the site plan review component of this letter below.

- 11. The applicant shall submit a Pollution Incidence Protection Plan (PIPP) as part of the Impact Assessment. The PIPP shall describe measures to prevent groundwater contamination caused by accidental gasoline spills or leakage, such as: special check valves, drain back catch basins and automatic shut off valves.**

The applicant provided a PIPP as required by Section 13.07.04 of the Township Zoning Ordinance.

- 12. In the event that an automobile service station use has been abandoned or terminated for a period of more than one (1) year, all underground gasoline storage tanks shall be removed from the premises.**

The applicant notes compliance with this requirement on page SP.101.

**13. The establishment of a new automobile service station shall require the lot to be separated a minimum of five hundred (500) feet from any other lot containing an existing automobile service station.**

The nearest gasoline service station is at the northwest corner of Latson and Grand River, which is more than 500 feet from the subject site.

**E. Use Conditions (Drive-through Restaurant)**

Section 7.02.02(j) provides the following use conditions for drive-through restaurants:

**1. Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.**

This standard is met.

**2. The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.**

We believe this standard is met; however, we request the applicant provide confirmation.

**3. Only one (1) access shall be provided onto any street.**

This standard is met.

**4. Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.**

The site plan includes internal access points to the remainder of the Livingston Commons development.

**F. Site Plan Review**

**1. Dimensional Requirements.** As described in the table below, the project complies with the dimensional standards for this PUD:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
NR-PUD	1	150	70	15	50	20 front 10 side/rear	75	35% building 85% impervious
Proposal	1.77	281	141.75 (Grand Oaks) 89.9 (Latson)	77.5 (W)	71 (S)	20 front 10.5 side/rear	24.3	10.6% building 77.5% impervious

**2. Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

Primary materials include brick veneer, limestone veneer, cultured stone and cast stone. Accent materials include a cast stone base and horizontal bands, vertical cultured stone elements and an EIFS cornice.

Pending further discussion with the Commission, we suggest the applicant include some additional vertical accents along the south, east and west facades to help break up some of the long blank wall faces.

- 3. Parking.** As outlined in the table below, 52 spaces are required and 56 are proposed. Appropriate stacking, waiting and RV spaces are also provided. The parking spaces and drive aisles meet or exceed the dimensional standards of Section 14.06 and the plan has been revised to show looped (double striped) spaces.

		Required
Fuel Station w/convenience mart	2 spaces per employee 1 space for each 500 sq. ft. sales/convenience	8 12
Drive-Through Restaurant	1 per 70 sq. ft. gross leasable 3 designated drive-through short-term waiting spaces 10 stacking spaces 2 longer spaces designated for recreational vehicles and semi-trucks	32 ✓ ✓ ✓

- 4. Pedestrian Circulation.** The site plan identifies an existing sidewalk along Latson Road and an internal sidewalk around three sides of the building. A sidewalk is also shown on the north side of Grand Oaks, across the street from the subject site.

The Master Plan does not identify a pathway along Grand Oaks; however, the Commission may require a sidewalk as part of site plan review in accordance with Section 12.05.01(c) if deemed necessary. We also suggest the Commission discuss whether a sidewalk along the internal access drive on the west side of the site is warranted.

- 5. Vehicular Circulation.** Primary vehicular access is proposed via an internal shared driveway connecting to Grand Oaks Drive and the remainder of the Livingston Commons development. There is also a single egress drive (right turn only) for access onto Grand Oaks; however, as previously noted, direct access to/from Latson Road is not proposed.
- 6. Loading.** A designated loading zone for the convenience store and restaurant is provided along the south side of the building. Our only additional comment under this standard is that the fuel delivery truck has the potential to block parking spaces when filling the storage tanks. In response, the applicant has indicated that the “owner shall try to schedule delivery outside of peak traffic times.”
- 7. Landscaping.** We have reviewed the landscape plan based on the conventional standards of Section 12.02, as noted below.

Location	Requirements	Proposed	Comments
Front yard greenbelt (Grand Oaks)	5 canopy trees 20-foot width Hedgerow or masonry wall	5 canopy trees 20-foot width Hedgerow	Requirements met
Front yard greenbelt (Latson Rd.)	8 canopy trees 20-foot width Hedgerow or masonry wall	8 canopy trees 20-foot width Hedgerow	Requirements met
Buffer zone “C” (W)	14 canopy trees OR 14 evergreens OR 56 shrubs (OR combination thereof) 10-foot width	10-foot width 3 canopy trees 68 shrubs	Requirements met
Buffer zone “C” (S)	14 canopy trees OR 14 evergreens OR 56 shrubs (OR combination thereof) 10-foot width	10-foot width 57 shrubs	Requirements met
Parking lot	7 canopy trees 650 s.f. of landscaped area	7 canopy trees 700 sq. ft.	Requirements met



- 8. Waste Receptacle and Enclosure.** The project includes a new waste receptacle and enclosure in the southwest corner of the property. Section 12.04 requires a rear yard or non-required side yard location, unless otherwise approved by the Planning Commission. The proposed placement complies with these standards.

Details on Sheet SP.103 identify the required concrete base pad and a masonry enclosure, which is to match materials used on the building.

- 9. Exterior Lighting.** The submittal includes a lighting plan (Sheet SP.102), which proposes the installation of 12 light poles around the perimeter of the parking lot, 32 wall mounted fixtures and 10 canopy fixtures.

The primary concern with the lighting plan is the high footcandle readings underneath the canopy – a maximum of 27.9 footcandles. The Ordinance sets the maximum level at 10 footcandles. In our experience some communities allow readings of 20-25 footcandles for gas station canopies. The Commission will need to determine if these readings are acceptable.

Lastly, while the canopy fixtures are recessed as required, the gooseneck fixtures on the front of the building do not provide cut-off fixtures.

- 10. Signs.** In total the submittal proposes 2 monument signs, 3 gas station canopy signs and 4 wall signs (2 for each business). A menu board is also shown on the site plan, but no details are provided. For the applicant's information, up to 2 menu boards are allowed with a maximum size of 16 square feet per board.

Given the site's presence as a corner lot, 2 wall signs are permitted for each business and the Planning Commission may permit 2 monument signs. The sign areas proposed for Tim Horton's and the monument signs are compliant, while the Commission may allow an increase in the wall/canopy signage for USA2GO (118 square feet total).

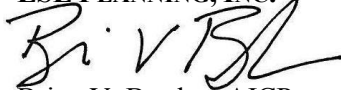
As a side note, the monument signs include compliant electronic changeable message signs for fuel prices, although the owner will need to comply with the requirements of Section 16.07.02 with respect to illumination and providing a static message.

- 11. Impact Assessment.** The submittal includes an Impact Assessment (dated 6/27/14). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsiplanning.com](mailto:borden@lsiplanning.com).

Sincerely,

**LSL PLANNING, INC.**



Brian V. Borden, AICP  
Senior Planner



July 3, 2014

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: USA2GO Building  
Site Plan Review #2**

Dear Mr. Archinal:

We have reviewed the resubmitted site plan documents from GAV Associates Inc., dated June 27, 2014, which were delivered to the Township Engineer that date. The petitioner is proposing to construct a new building, which will be a gas station and Tim Horton's Restaurant, on the northwest corner of Latson and I-96. Tetra Tech has reviewed the documents and site plan and offers the following comments:

#### **SITE PLAN**

1. An 8-inch proposed water main has been added to the plans to accommodate a fire hydrant on the west side of the property, with an 8-inch stub extended west across the proposed common driveway. The following notes apply directly to this water main:
  - The 8-inch portion of the main will be considered public and will be maintained and operated by the Marion, Howell, Oceola and Genoa Sewer and Water Authority (MHOG SWATH) and will need to be constructed in accordance with their specifications and details which can be found here:  
<http://www.genoa.org/articles/article/watersewerdesignstandards>  
Please pull the applicable water main construction details directly into the drawing set.
  - A minimum 25-foot-wide permanent easement needs to be shown and granted for all public water main found on the development limits.
  - Water main should be DIP CI 52 or PC 350.
  - A profile of the proposed public water main shall be provided, including the same information as shown on the storm sewer profiles including the finish grade of any valves or hydrants.
  - Water main crossing Grand Oaks Drive will likely need to be jacked and bored beneath the roadway inside a steel casing pipe, per Livingston County Road Commission standards, and should be shown clearly on the plans complete with proposed bore pit locations.

**Tetra Tech**

401 South Washington Square, Suite 100, Lansing, MI 48933  
Tel 517.316.3930 Fax 517.484.8140 [www.tetrattech.com](http://www.tetrattech.com)

- Provide a note or detail for how the proposed 1-inch water service will be connected to the existing 4-inch service lead
2. Existing sanitary sewer leads as shown do not include the existing assumed elevation. This information should be available from the Township and can be included on the drawings. The 6-inch service lateral that has been extended across the property has an upstream elevation shown. This should be noted as approximate with the end capped and a marker post installed so that the stub can be located in the future. The petitioner will need to provide an easement for the private service lateral for the future property owner to the south. MHOG sewer easements are based on depth of bury with easement sizes listed in the engineering standards referenced above.

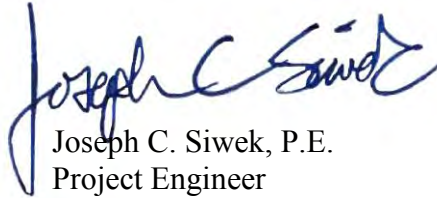
The petitioner has adequately addressed all comments regarding the on-site drainage conditions, but must respond to the above water main and sanitary service concerns prior to being recommended for approval.

Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.  
Unit Vice President



Joseph C. Siwek, P.E.  
Project Engineer

copy: Robert Budzeika, GAV Associates, LLC



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

July 7, 2014

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: USA2GO/Tim Hortons Building  
Corner of Grand Oaks & Latson  
Revised Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on July 2, 2014 and the revised drawings are dated June 26, 2014. The project is based on a multi-tenant occupancy totaling 8,187 square feet. The structure will house a mercantile convenience store and operate additionally as a fueling station. In addition, to the east, there will be a 2,187 sq. foot business occupancy. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

This plan is recommended for approval with item #1 below being a condition of this recommendation.

1. As an item of the PUD agreement, it is recommended that the building will be protected with an approved automatic sprinkler system in accordance with NFPA 13 *Standard for the Installation of Automatic Sprinkler Systems*. ***The applicant has indicated their objection to this since it is not a requirement of the Building Code. However, as a Planned Unit Development, additional safety requirements can be made to allow flexibility in the project development.***
  - A. The fire department connection shall be located on the front of the building (Grand Oaks) or an approved location. This shall be within 100' of a fire hydrant.
  - B. The location, size, gate valve, and connection of the fire protection lead shall be indicated on the utility site plan.
2. Future project submittals shall include the address and street name of the project in the title block. *An address has not yet been issued to this site. (The applicant has indicated that they will comply with this requirement when address is assigned.)*

**IFC 105.4.2**
3. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. ***(The location and size shall be verified prior to installation. Sheet A.201 now indicates where the address will be located.)***



July 7, 2014

Page 2

USA2GO/Tim Hortons Bldg.  
Corner of Grand River & Latson  
Revised Site Plan Review

**IFC 505.1**

4. Access Comments: Access, drive aisle widths, and turning radii all appear to be compliant on this revised plan.
5. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box will be located adjacent to the front door of the structure. **(The KNOX box is now indicated on Sheet A.101)**

**IFC 506.1**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "Michael Evans".

Michael Evans, EFO, CFPS  
Deputy Fire Chief

cc: GAV Associates



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

June 20, 2014

To Whom It May Concern:

There will be a hearing for a Special Land Use Permit in your general vicinity on Monday, July 14 at 6:30 p.m. at Genoa Township Hall, located at 2911 Dorr Road, Brighton, Michigan.

The property in question is located at a vacant lot, located on the west side of Latson Road, south of Grand River Avenue on the corner of Grand Oaks Drive, Sec. 8, Howell, Michigan 48443. The Special Land Use has been requested for a proposed gas station and drive thru restaurant. The request is petitioned by Karum Bahnam.

Materials relating to this request are available for public inspection at the Genoa Township Hall during regular business hours. If you have any questions or objections in this regard, please be present at the public hearing noted above. Written comments may be addressed to the Planning Commission.

Sincerely,

Michael C. Archinal  
Township Manager  
MCA/kp

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

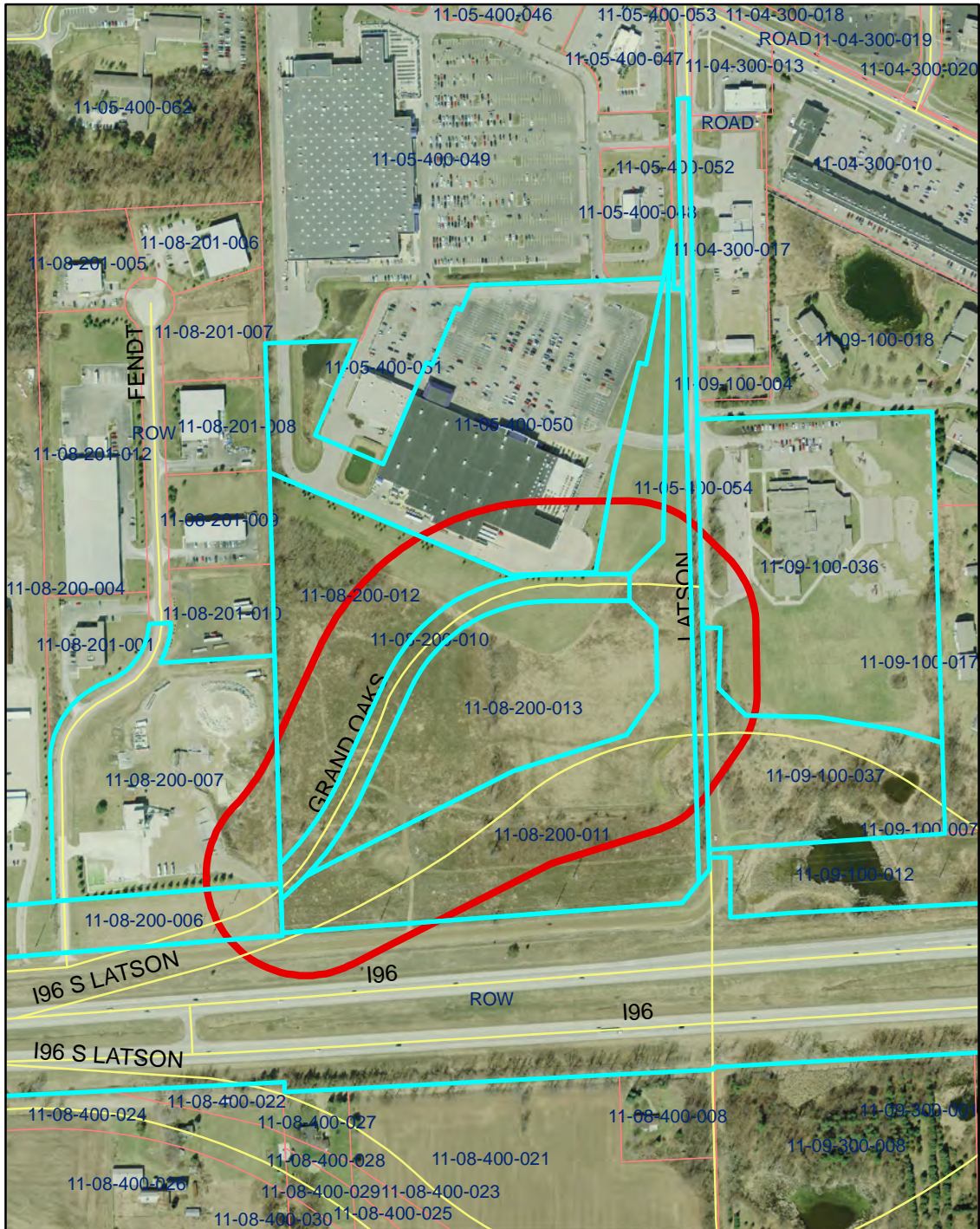
Jean W. Ledford

Todd W. Smith

Linda Rowell



# 300 Ft Buffer for Noticing



Planning Commission Case #14-08

Applicant: Karum Bahnam

Parcel: Vacant Lot

Meeting Date: July 14, 2014



June 20, 2014

LOWES HOME CENTERS INC  
1100 S LATSON RD  
HOWELL, MI 48843

LOWES HOME CENTERS INC, TAX DEPT  
1ETA  
P O BOX 1000  
MOORESVILLE, NC 28115

LIVINGSTON COUNTY ROAD COMM.  
3535 GRAND OAKS DR  
HOWELL, MI 48843

GENOA CHARTER TOWNSHIP  
2911 DORR RD  
BRIGHTON, MI 48116

HOWELL PUBLIC SCHOOLS  
411 N HIGHLANDER WAY  
HOWELL, MI 48843

ITC TRANSMISSION, TAX DEPT  
27175 ENERGY WAY  
NOVI, MI 48377

MICHIGAN DEPARTMENT OF  
TRANSPORTATION  
4701 WEST MICHIGAN AVE  
JACKSON, MI 49201

HUNTER DEVELOPMENT  
3655 GRAND OAKS DR  
HOWELL, MI 48843

HUNTER DEVELOPMENT  
PO BOX 930129  
WIXOM, MI 48393-0129

RLG HOWELL LLC/GCG HOWELL LLC  
10050 INNOVATION DR. STE 100  
MIAMISBURG, OH 45342

RLG HOWELL LLC/GCG HOWELL LLC  
10050 INNOVATION DR. STE 100  
MIAMISBURG, OH 45342

LIVINGSTON COUNTY ROAD  
COMMISSION  
3535 GRAND OAKS DR  
HOWELL, MI 48843



**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
NOTICE OF PUBLIC HEARING  
July 14, 2014  
6:30 P.M.**

The Genoa Township Planning Commission will hold a public hearing at 6:30 p.m. on July 14, 2014 requesting recommendation of the following:

**OPEN PUBLIC HEARING #1...** Review of a special use application, impact assessment and site plan for a proposed gas station and drive thru restaurant, located on the west side of Latson Road, south of Grand River Avenue on the corner of Grand Oaks Drive, Sec. 8, Howell, Michigan 48443, petitioned by Karum Bahnam.

**OPEN PUBLIC HEARING #2...** Review of a special use application, impact assessment, and sketch plan for automotive sales, located at 2860 E. Grand River Avenue, Howell, Michigan 48443, petitioned by Joseph Hood.

Please address any written comments to the Genoa Township Planning Commission at, 2911 Dorr Rd, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org). All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Genoa Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact the Genoa Township Hall at (810) 227-5225 in advance of the meeting if you need assistance.

(06-27-2014 DAILY 200061)



## MEMORANDUM

**TO:** USA To Go/Tim Hortons  
**FROM:** Ron Akers, Zoning Official  
**DATE:** 6/26/14  
**RE:** USA To GO/Tim Hortons Tap Fee Calculation

---

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

In regards to the proposed project the tap fees will be as follows:

Assuming a gas station with a 5,981 square foot mini mart and a drive through fast food restaurant.

- a. Service Station – with mini mart @ 1.0 per premise plus 0.5 per 1000 square feet of building
- b. Restaurant (fast food) @ 10.00 per restaurant

Previously Paid

0 Water REU's  
0 Sewer REU's

Tap Fee Calculation

Proposed Service Station with mini mart – 5,981 sf @ 1.0 per premise plus 0.5 per 1000 square feet of building = 3.99 REU's

Proposed Restaurant (fast food) @ 10.0 per restaurant = 10 REU's

Total REU's Required = 13.99 REU's  
REU's Previously Paid = 0 REU's

Total REU's Needed = 13.99

Water 13.99 REU's @ \$5,000 per REU = \$69,950  
Sewer 13.99 REU's @ \$5,500 per REU = \$76,945

Total Amount Due = \$146,895

Connection fees must be paid at time of land use permit issuance and if there are any additional questions please feel free to contact me at 810-227-5225.

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



Residential  
Commercial  
Industrial

*Architectural Design / Planners*

IMPACT ASSESSMENT for SITE PLAN APPROVAL

USA 2 GO gas station/convenience mart and Tim Horton's mini fast food facility & drive-thru.  
Genoa Twp, Livingston County, Michigan

June 30, 2014

Prepared for:  
Kevin Bahnam  
USA 2 GO  
28265 Beck Rd.  
Wixom, MI 48393  
(248) 773-7992

GENOA TOWNSHIP

JUN 27 2014

A. Names and address of persons responsible for preparation of impact assessment and brief statement of qualifications.

Prepared by:  
GAV & Associates, Inc  
Architectural Design / Planners  
24001 Orchard Lake Rd.  
Farmington, MI 48336  
(248) 985-9101

Mickalich Engineering, Inc  
15243 Hawley Rd  
Holly, MI 48442  
(248) 220-3299

RSP Construction, Inc  
995 N. Pontiac Trail, Suite 814  
Walled Lake, MI 48390  
(248) 747-3773

B. Map & written description of project site:

- 1) See drawings in SPA application and submission for property description and location.
  - a) Site is located in the PUD development at Grand Oaks & Latson Rd.

C. Impact on natural features:

The property size is 1.77 acres which was recently split off of the parent parcel. The site is vacant with no trees. There are no apparent wetlands on the property.

The existing topography on the site has the ground elevation ranging from 3'-5' higher than Grand Oaks in the first 50' south of the roadway. From this point the site slopes to the south to southeast with the storm water sheet flowing overland. The ultimate outlet

GAV Associates, Inc 24001 Orchard Lake Rd., Ste. 180A, Farmington, MI 48336  
PH: (248)985-9101 / [www.gavassociates.com](http://www.gavassociates.com)

for the storm water is an existing 30" storm pipe located in the MDOT right of way approximately 110' south of the south property line. Storm detention for property shall be provided through an agreement with MDOT. USDA Soil Conservation Service soil classification for this site is Miami-Loam 2-6% slopes.

D. Impact on storm water management:

Surface runoff during periods of construction will be controlled by property methods set forth by the Livingston County Drain Commissioner, including silt fences pea stone filters inlet protections devices, and seed and mulch.

This property is a portion of a watershed that has been master planned and agreed to by MDOT to except and provide an outlet and detention for storm water. The detention area is east of Latson road where the former rest area was located.

The proposed site will have an enclosed storm system that shall extend done to the MDOT 30" storm pipe.

E. Impact on surrounding land use:

The applicant is proposing a gas station/convenience mart as well as a leasable space for a fast food facility, which at this time is planned to be a Tim Horton's w/ drive-thru. The development shall have the required parking, lighting, storm water management, environmental impact management associated with this type of development. Applicant with have 2 entrances to the property, none of which shall be off of Latson Rd., reducing possible congestion. Both entrances shall be on an access road off of Grand Oaks, with (1) one way exit onto Grand Oaks. The objective is to reduce the congestion on Grand Oaks and the intersection of Grand Oaks & Latson Rd.

This type of facility is the type of facility that was included in the development of the approved PUD agreement for this area, thus all impacts to the area have been previously thought out and the surrounding area is anticipated to develop according to what has been established in the PUD agreement. Thus, there shall be no significant impact on the surrounding land use.

Construction shall be done in a single phase.

F. Impact of public facilities and services:

There is no expect impact on public facilities or services. This project is part of the overall development of the immediate and surrounding area and has been anticipated with regards to public services.

G. Impact on public utilities:

The development will be serviced by both public water and sanitary sewer that have been stubbed are located at the north property (Grand Oaks) for this developments use.

The predevelopment sanitary and water flows are zero. Post development flows based on MHOG sewer standards for Service Station-with mini mart and Restaurant (fast food, including drive thru & primary drink service) is equivalent to 19.5 REU's

Service Station mini mart	6000 sf x 2 per 1000sf	= 12
Restaurant (fast food, drive thru & primary drink)	7.5 per premise	= 7.5

H. Storage and handling of any hazardous material:

Description of hazardous substances to be used: regular unleaded gasoline, premium unleaded gasoline, and diesel fuel.

Type of materials: Fiberglass tanks and fiberglass product lines.

Location: See site plan for location of underground storage tanks being installed. One 30,000 gallon size 10' diameter x 56' length for regular unleaded gasoline and one 10,000 gallon size 8' diameter x 32' length (split 5000 for premium and 5000 for diesel).

Method of containment: The system is designed for total containment using double wall tanks, piping, containment sumps at tanks for piping, containment sumps under each dispenser, overfill prevention devices for filling the tanks, spill prevention on fill areas. Electronic management and environmental compliance console capable of monitoring double wall tanks, double wall lines, and dispenser containment sumps 24 hours a day.

All underground tank systems (USTs) shall be reviewed and approved by the Department of Environmental Quality for exact specifications before any petroleum equipment is installed in the ground.

A PIPP will be submitted at a latter date and within a reasonable time table per conversation with a Genoa Twp representative.

I. Impact on traffic and pedestrians:

As this particular site is part of the overall development of PUD agreement and the anticipated facilities associated with such, traffic impacts have been anticipated and planned for.

J. Special Provisions: General description of any deed restrictions, protective covenants, master deed or association bylaws.

None at this time

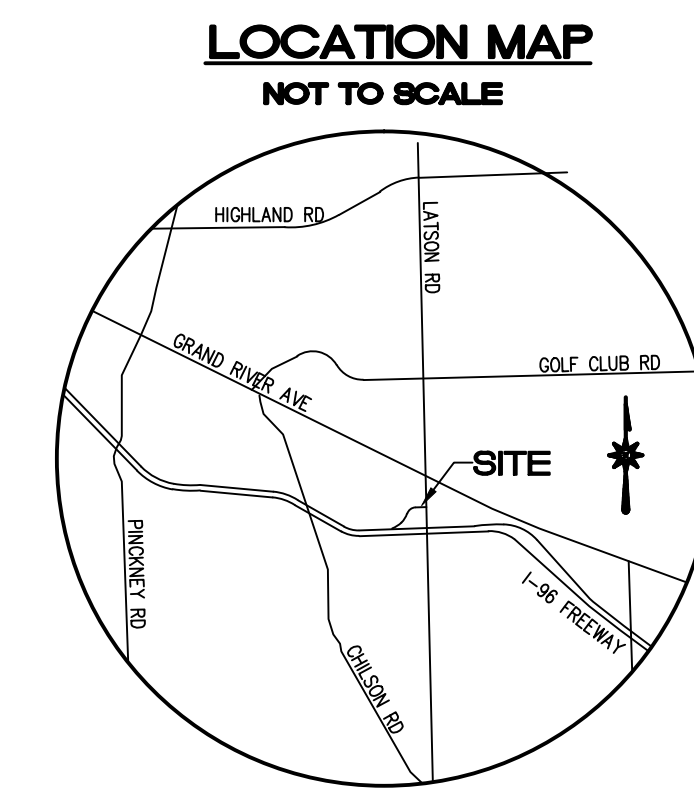
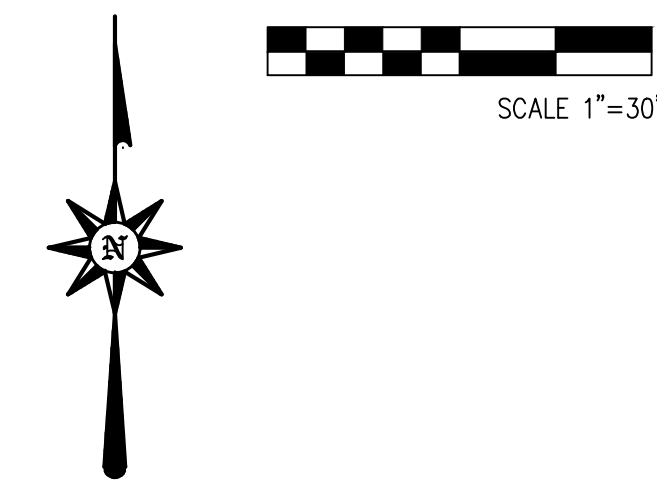
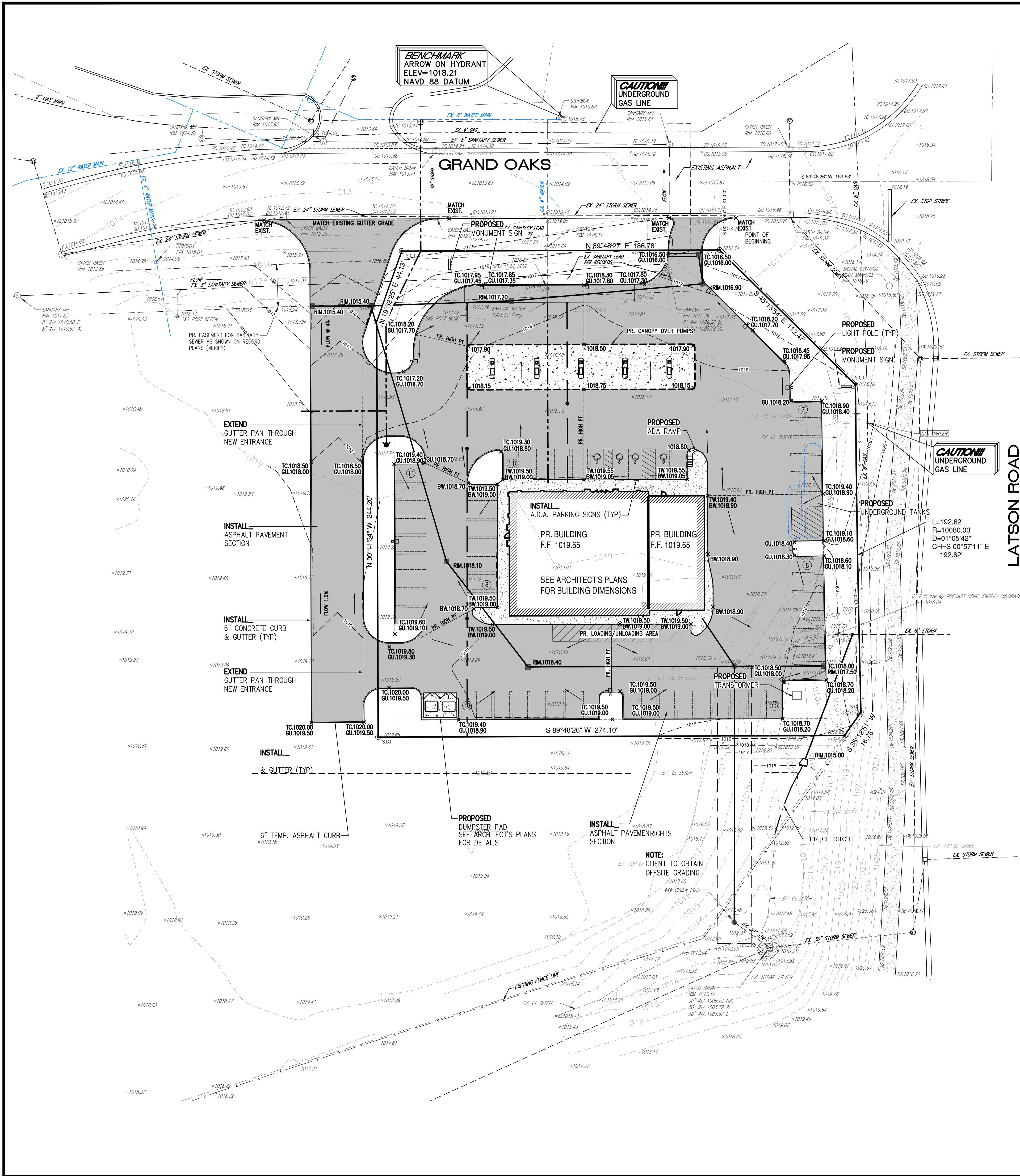
K. List of sources:

Genoa Twp submittal requirements for impact study  
Genoa Twp zoning ordinance









**LEGEND**

EX. GRADE	---	× 80.00
EX. CONTOUR	- - - -	
EX. WATER MAIN	—○—	
EX. STORM SEWER	—□—	
EX. SANITARY SEWER	—●—	
EX. OVERHEAD	—○—	
EX. FENCE	—■—	
EX. GAS	—○—	
EX. HYDRANT	—○—	
EX. CATCH BASIN	—○—	
EX. SANITARY MANHOLE	—○—	
EX. STORM MANHOLE	—○—	
EX. SIGN	—○—	
EX. GATE VALVE	—○—	
EX. LIGHT POLE	—○—	
EX. UTILITY POLE	—○—	
PR. GRADE	---	× 870.00
PR. CONTOUR	- - - -	
PR. WATER MAIN	—○—	
PR. STORM SW.	—□—	
PR. SANITARY SW.	—●—	
PR. COMPACTED SAND BACKFILL	—■—	
PR. HYDRANT	—○—	
PR. GATE VALVE	—○—	
PR. CATCH BASIN	—○—	
PR. MANHOLE	—○—	
PR. R.Y.C.B.	—○—	
PR. REVERSE CURB	—○—	
PR. SILT FENCE	—○—	
PR. ASPHALT	—■—	
PR. CONCRETE	—■—	
PR. SILT SACK / INLET FILTER	—○—	
DRAINAGE ARROW	—>—	
VERIFY IN FIELD	V.I.F.	
TOP OF CURB ELEV.	TC.000.00	
GUTTER PAN ELEV.	GU.000.00	
TOP OF WALK ELEV.	TW.000.00	
GROUND ELEVATION AT WALL	BW.000.00	
EDGE OF SHOULDER ELEV.	ES.000.00	
EDGE OF ROAD ELEV.	EM.000.00	

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Engineer's Seal

**PROPOSED**  
**USA2GO/TIM HORTONS**  
**GENOA TWP, MI**

**GRADING PLAN**

**RSP CONSTRUCTION**

Date	Issued for	By
06/26/14	TOWNSHIP REVISIONS	

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Scale	1"=30'
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Checked	APM
Approved	APM
Date	06/01/14
Job no.	<b>14-026</b>
Sheet no.	<b>2 OF 8</b>

**UTILITY STATEMENT**  
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Project Title  
**PROPOSED  
 USA2GO/TIM HORTONS  
 GENOA TWP., MI**

Sheet Title  
**STORM PROFILES**

Client  
**RSP CONSTRUCTION**

Date	Issued for	By

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Drawn RPP

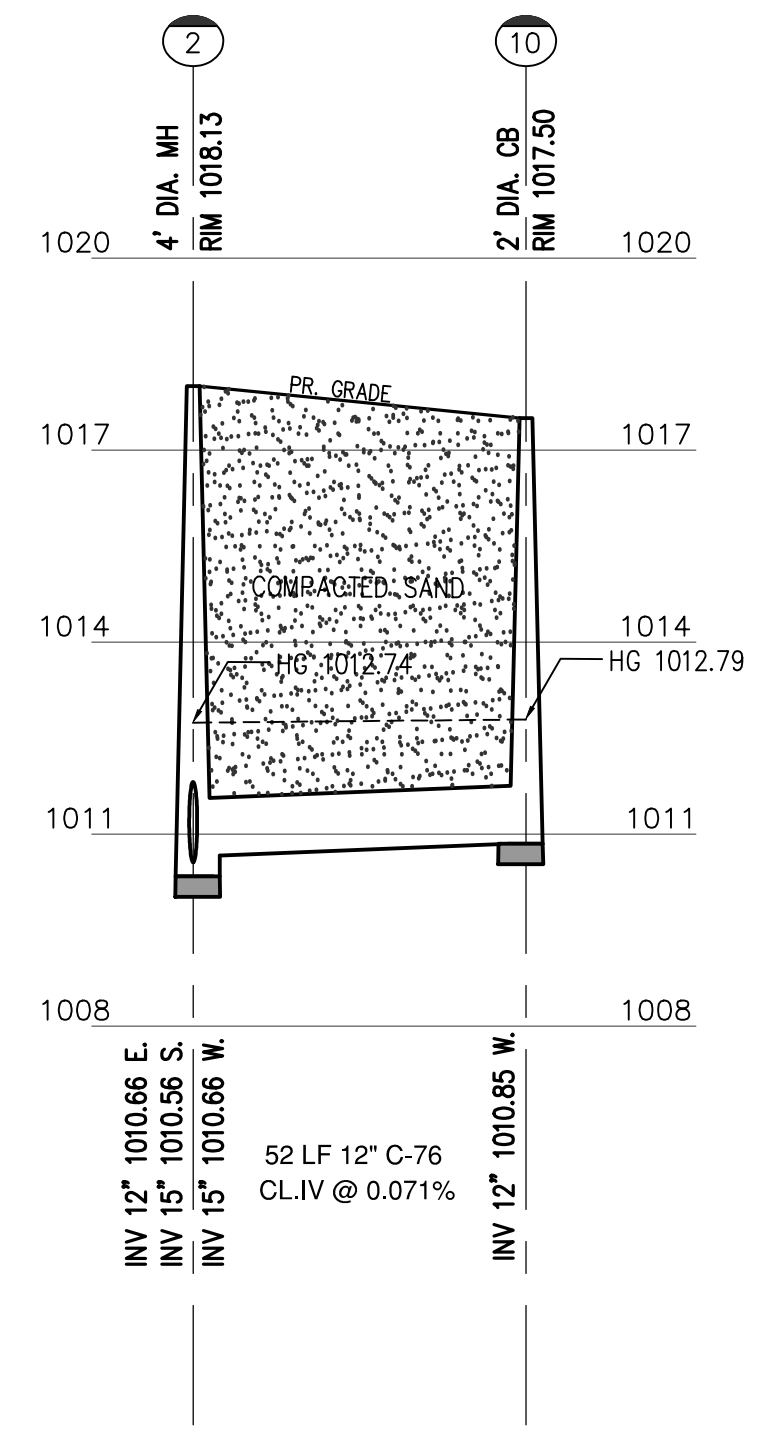
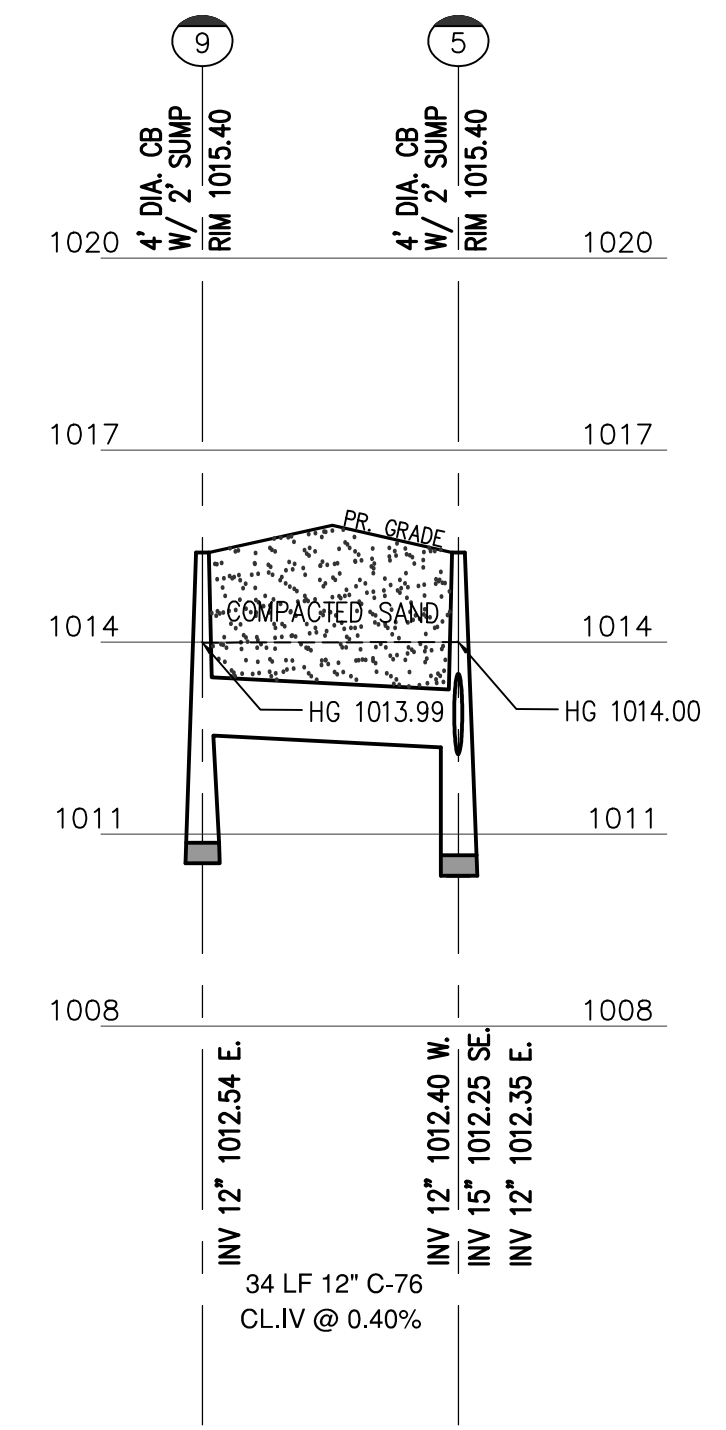
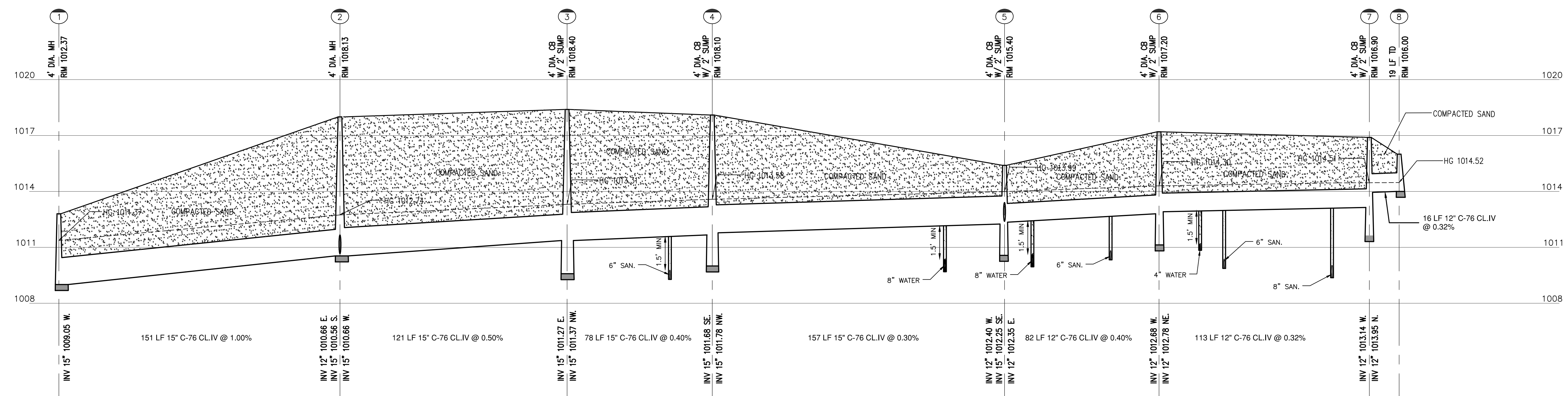
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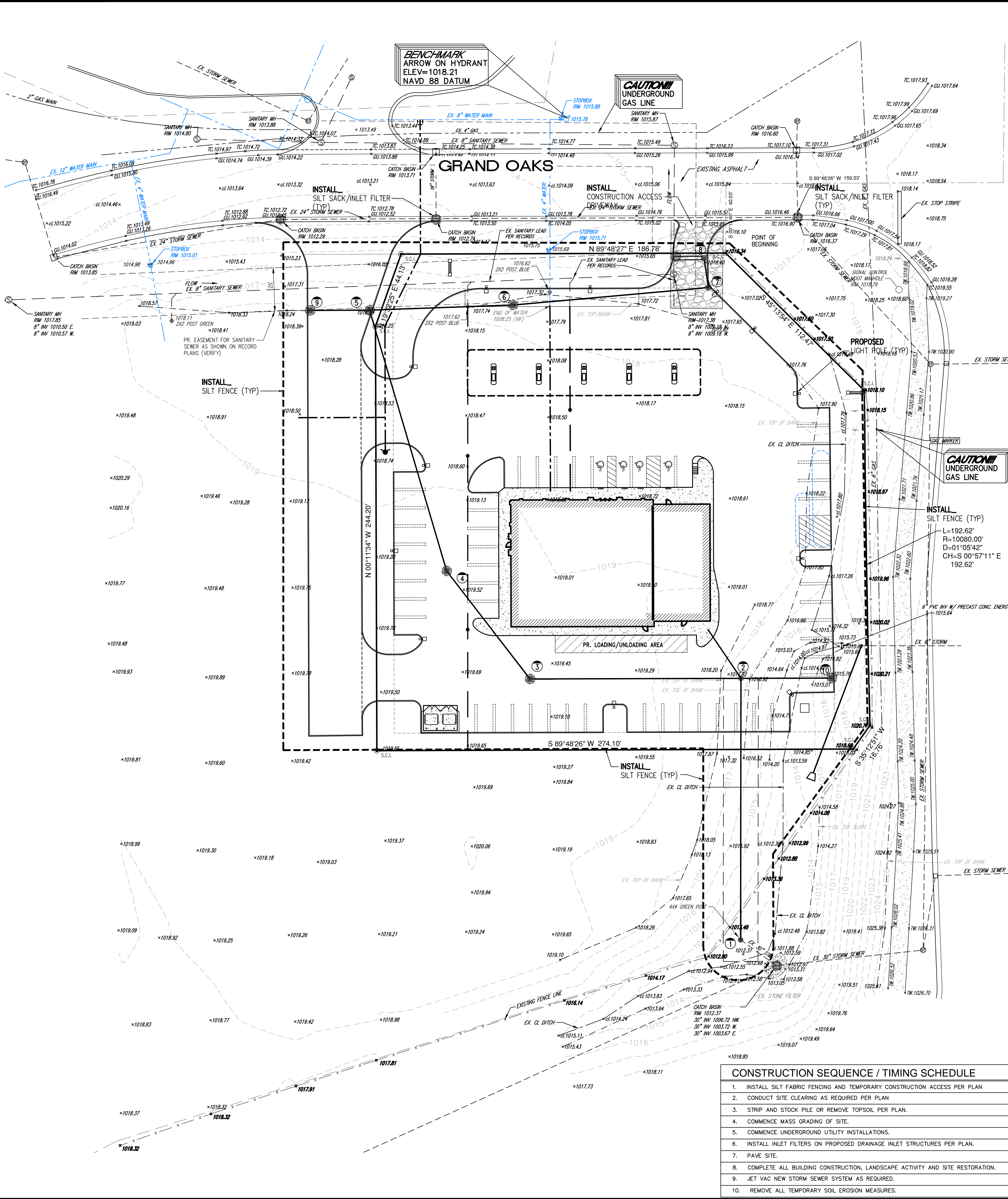
Date 06/24/14

Job No.  
**14-026**

Sheet No.  
**4 OF 8**







**SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION)**

INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS. (ONE DAY)

INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS. (ONE DAY)

EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE. GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES. (ONE DAY)

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.

STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER.

STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES. (TWO DAYS)

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES. (FOUR DAYS)

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT. (TWO DAYS)

SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING. (ONE DAY)

REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY. (TWO DAYS)

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED. (ONE DAY)

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.

STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

THE SOIL EROSION CONTROL WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY RSP CONSTRUCTION AT PHONE NUMBER (248) 747-3773.

**SOIL EROSION CONTROL**

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES, WETLANDS, OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

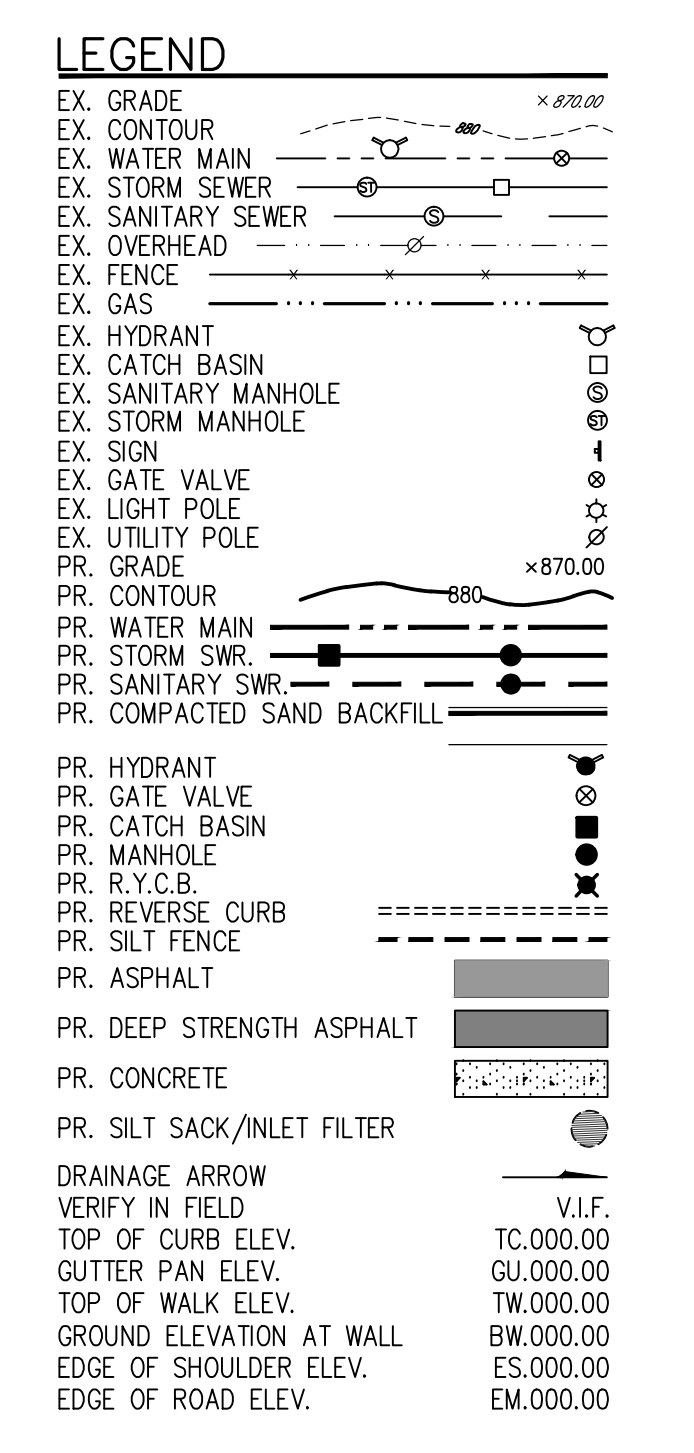
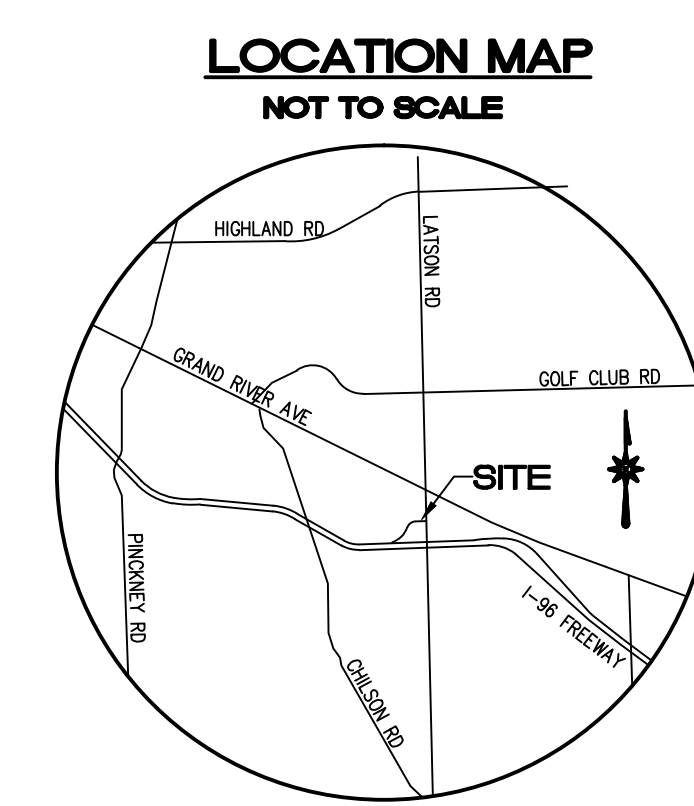
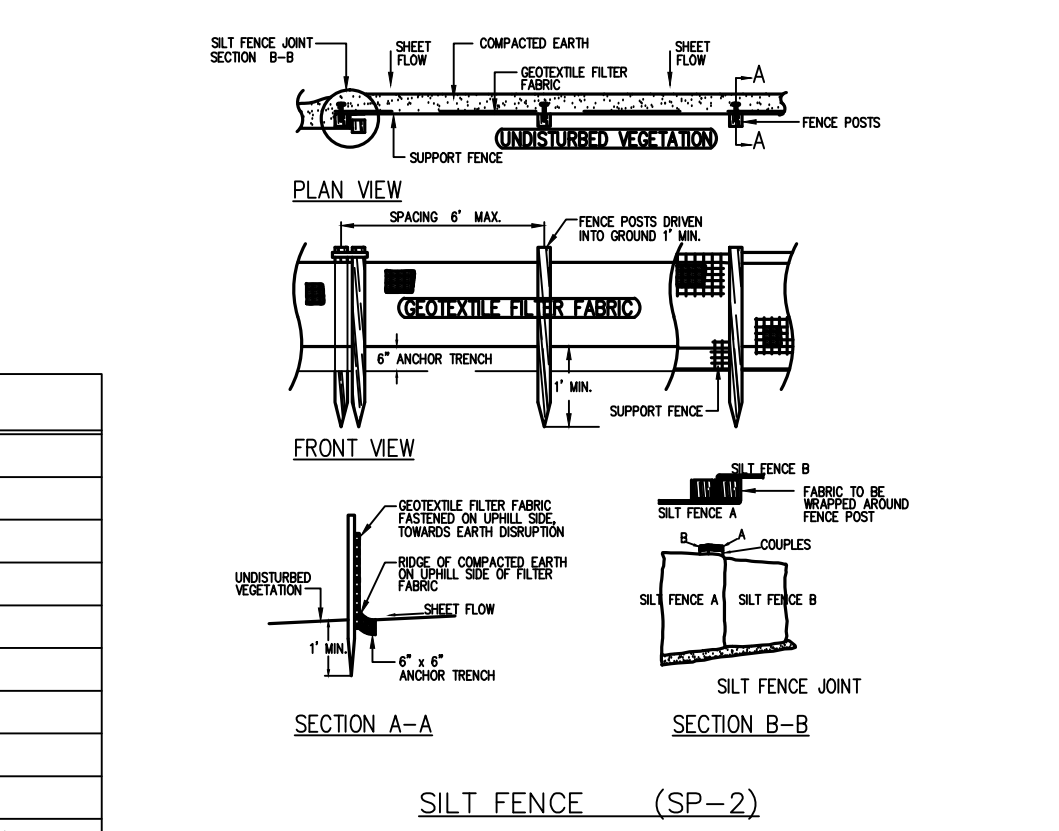
IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

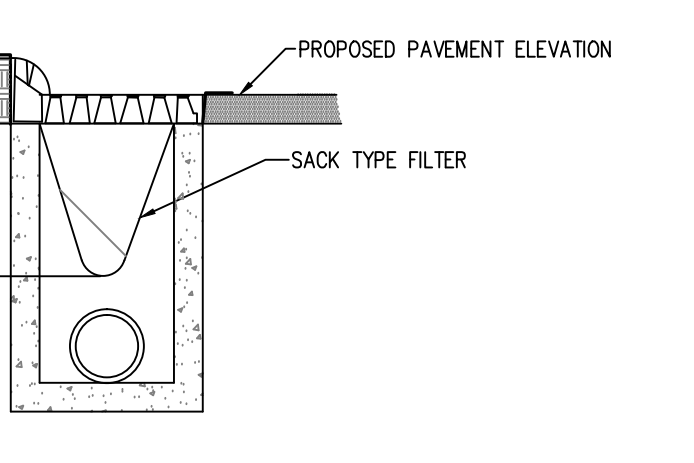
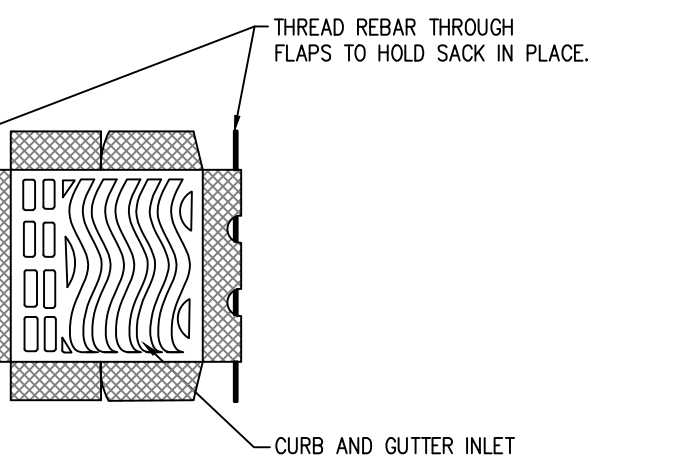
EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.



**CONSTRUCTION SEQUENCE / TIMING SCHEDULE**

1. INSTALL SILT FABRIC FENCING AND TEMPORARY CONSTRUCTION ACCESS PER PLAN	JULY 2014
2. CONDUCT SITE CLEARING AS REQUIRED PER PLAN	JULY 2014
3. STRIP AND STOCK PILE OR REMOVE TOPSOIL PER PLAN.	JULY 2014
4. COMMENCE MASS GRADING OF SITE.	JULY 2014
5. COMMENCE UNDERGROUND UTILITY INSTALLATIONS.	AUGUST 2014
6. INSTALL INLET FILTERS ON PROPOSED DRAINAGE INLET STRUCTURES PER PLAN.	AUGUST 2014
7. PAVE SITE.	OCTOBER 2014
8. COMPLETE ALL BUILDING CONSTRUCTION, LANDSCAPE ACTIVITY AND SITE RESTORATION.	OCTOBER 2014
9. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	OCTOBER 2014
10. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	NOVEMBER 2014

**FLOOD ZONE**  
SITE IS LOCATED IN A NON PRINTED FLOOD MAP AREA, COMMUNITY PANEL No. 26093C0039D.



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Project Title  
**PROPOSED USA2GO/TIM HORTONS GENOA TWP, MI**

Sheet Title  
**SOIL EROSION PLAN**

Client  
**RSP CONSTRUCTION**

Date	Issued for	By

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Drawn RPP

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Approved APM

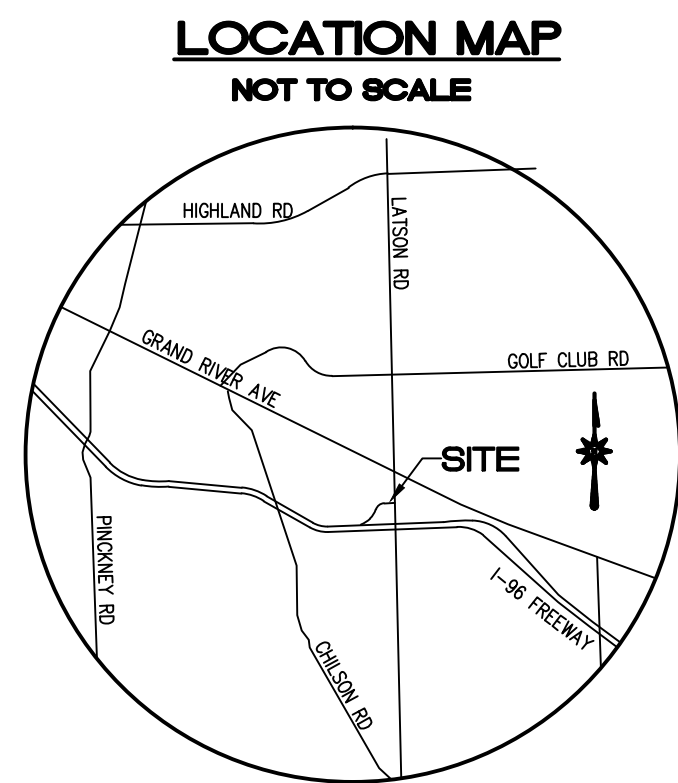
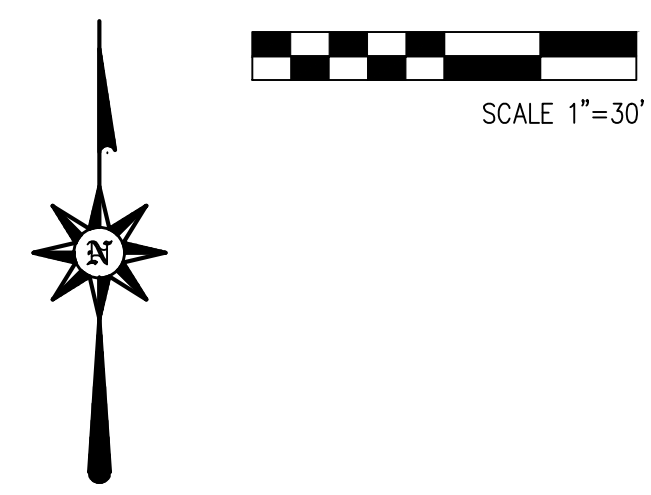
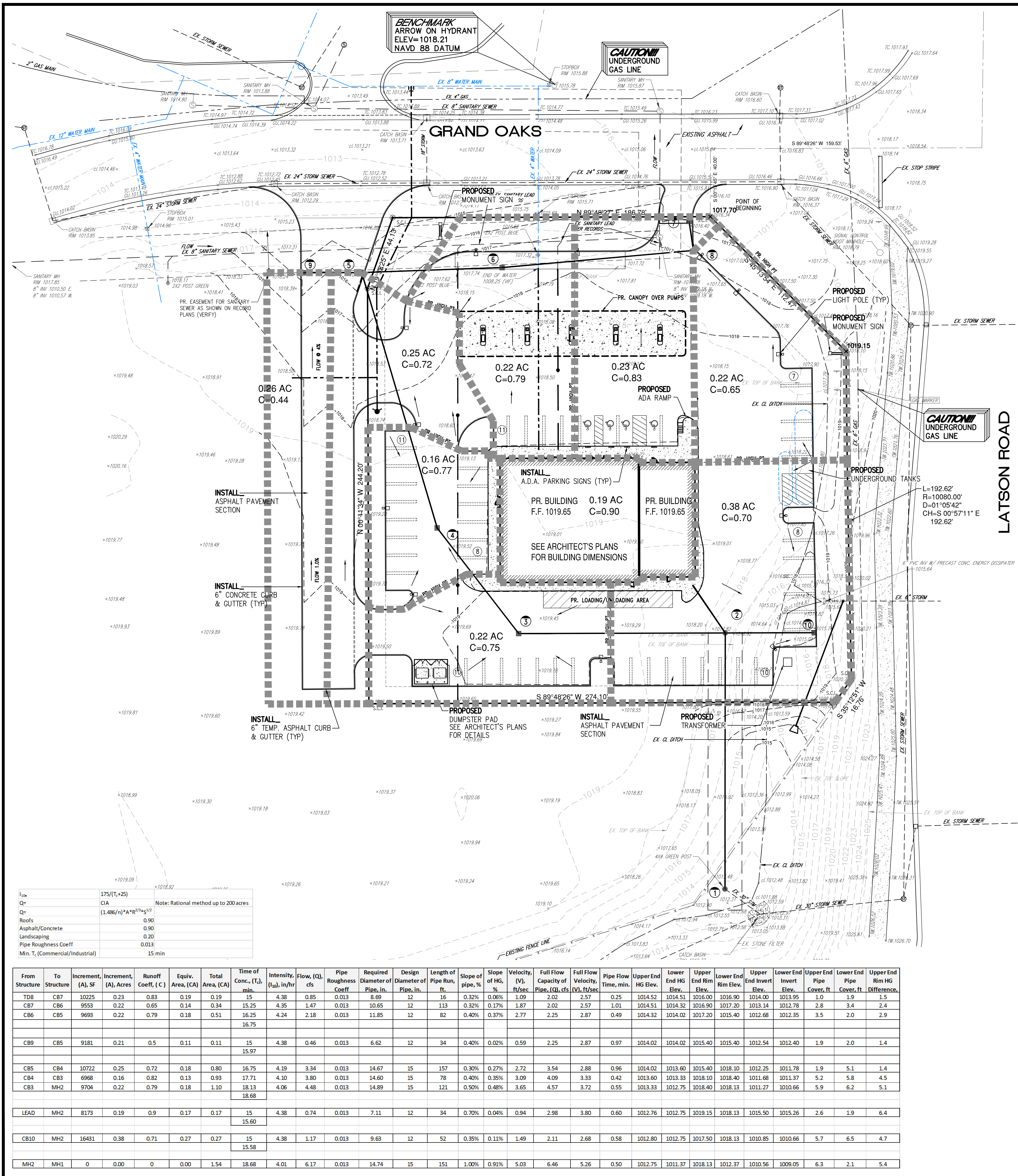
Date 08/26/14

Job no. **14-026**

Sheet no. **5 OF 8**

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**LEGEND**

EX. GRADE	---x0.2000
EX. CONTOUR	---x0.2000
EX. WATER MAIN	---x0.2000
EX. STORM SEWER	---x0.2000
EX. SANITARY SEWER	---x0.2000
EX. OVERHEAD	---x0.2000
EX. FENCE	---x0.2000
EX. GAS	---x0.2000
EX. HYDRANT	---x0.2000
EX. CATCH BASIN	---x0.2000
EX. SANITARY MANHOLE	---x0.2000
EX. STORM MANHOLE	---x0.2000
EX. SIGN	---x0.2000
EX. GATE VALVE	---x0.2000
EX. LIGHT POLE	---x0.2000
EX. UTILITY POLE	---x0.2000
PR. GRADE	---x0.2000
PR. CONTOUR	---x0.2000
PR. WATER MAIN	---x0.2000
PR. STORM SWR.	---x0.2000
PR. SANITARY SWR.	---x0.2000
PR. COMPACTED SAND BACKFILL	---x0.2000
PR. HYDRANT	---x0.2000
PR. GATE VALVE	---x0.2000
PR. CATCH BASIN	---x0.2000
PR. MANHOLE	---x0.2000
PR. R.Y.C.B.	---x0.2000
PR. REVERSE CURB	---x0.2000
PR. SILT FENCE	---x0.2000
PR. ASPHALT	---x0.2000
PR. DEEP STRENGTH ASPHALT	---x0.2000
PR. CONCRETE	---x0.2000
PR. SILT SACK/INLET FILTER	---x0.2000
DRAINAGE ARROW	---x0.2000
VERIFY IN FIELD	V.I.F.
TOP OF CURB ELEV.	TC.000.00
GUTTER PAN ELEV.	GU.000.00
TOP OF WALK ELEV.	TW.000.00
GROUND ELEVATION AT WALL	BW.000.00
EDGE OF SHOULDER ELEV.	ES.000.00
EDGE OF ROAD ELEV.	EM.000.00

**STORM WATER MANAGEMENT**  
 STORM WATER DETENTION HAS BEEN PROVIDED FOR A 100 YR STORM FOR A RUNOFF COEFFICIENT OF 0.77 FOR THIS PROPERTY TO THE EAST OFF-SITE AS A PART OF THIS PUD DEVELOPMENT

**RUNOFF COEFFICIENT CALCULATIONS**  
 BUILDING: 0.19 AC  
 HARD SURFACE: 1.39AC  
 LANDSCAPE: 0.51AC

$$C = \frac{(0.20)(0.56AC) + (0.90)(1.39AC + 0.19AC)}{2.08AC}$$

$$C = 0.73 < 0.77$$

THEREFORE NO ADDITIONAL STORM DETENTION SHALL BE REQUIRED

Roofs	0.90
Asphalt/Concrete	0.90
Landscaping	0.20
Pipe Roughness Coeff	0.015
Min. T <sub>c</sub> (Commercial/Industrial)	15 min

From Structure	To Structure	Increment (A), SF	Increment (A), Acres	Runoff Coeff (C)	Equiv. Area (CA)	Total Area (CA)	Time of Conc. (T <sub>c</sub> ), min.	Intensity (I <sub>10</sub> ), in/hr	Flow (Q), cfs	Pipe Roughness Coeff	Required Diameter of Pipe, in.	Design Diameter of Pipe, in.	Length of Pipe Run, ft.	Slope of pipe, %	Slope of HG, %	Velocity (V), ft/sec	Full Flow Capacity of Pipe (Q <sub>1</sub> ), cfs	Full Flow Velocity (V <sub>1</sub> ), ft/sec	Pipe Flow Time, min.	Upper End HG Elev.	Lower End HG Elev.	Upper End Rim Elev.	Lower End Rim Elev.	Upper End Invert Elev.	Lower End Invert Elev.	Upper End Pipe Cover, ft.	Lower End Pipe Cover, ft.	Upper End Rim HG Difference
TDB	CB7	10225	0.23	0.83	0.19	0.19	15	4.38	0.85	0.013	8.69	12	16	0.32%	0.06%	1.09	2.02	2.57	0.25	1014.52	1014.51	1016.00	1016.90	1014.00	1013.95	1.0	1.9	1.5
CB7	CB6	9553	0.22	0.65	0.14	0.34	15.25	4.35	1.47	0.013	10.65	12	113	0.32%	0.17%	1.87	2.02	2.57	1.01	1014.51	1014.32	1016.90	1017.20	1013.14	1012.78	2.8	3.4	2.4
CB6	CB5	9699	0.22	0.79	0.18	0.51	16.25	4.24	2.18	0.013	11.85	12	82	0.40%	0.37%	2.77	2.25	2.87	0.49	1014.32	1014.02	1017.20	1015.40	1012.68	1012.35	3.5	2.0	2.9
CB9	CB5	9181	0.21	0.5	0.11	0.11	15	4.38	0.46	0.013	6.62	12	34	0.40%	0.02%	0.59	2.25	2.87	0.97	1014.02	1014.02	1015.40	1015.40	1012.54	1012.40	1.9	2.0	1.4
CB5	CB4	10722	0.25	0.72	0.18	0.80	16.75	4.19	3.34	0.013	14.67	15	157	0.30%	0.27%	2.72	3.54	2.88	0.96	1014.02	1013.60	1015.40	1018.10	1012.25	1011.78	1.9	5.1	1.4
CB4	CB3	6968	0.16	0.82	0.13	0.93	17.71	4.10	3.80	0.013	14.60	15	78	0.40%	0.35%	3.09	4.09	3.33	0.42	1013.60	1013.33	1018.10	1018.40	1011.68	1011.37	5.2	5.8	4.5
CB3	MH2	9704	0.22	0.79	0.18	1.10	18.13	4.06	4.48	0.013	14.89	15	121	0.50%	0.48%	3.65	4.57	3.72	0.55	1013.33	1012.75	1018.40	1018.13	1011.27	1010.66	5.9	6.2	5.1
LEAD	MH2	8173	0.19	0.9	0.17	0.17	15	4.38	0.74	0.013	7.11	12	34	0.70%	0.04%	0.94	2.98	3.80	0.60	1012.75	1012.75	1019.15	1018.13	1015.50	1015.26	2.6	1.9	6.4
CB10	MH2	16431	0.38	0.71	0.27	0.27	15	4.38	1.17	0.013	9.63	12	52	0.35%	0.11%	1.49	2.11	2.68	0.58	1012.80	1012.75	1017.50	1018.13	1010.85	1010.66	5.7	6.5	4.7
MH2	MH1	0	0.00	0	0.00	1.54	18.68	4.01	6.17	0.013	14.74	15	151	1.00%	0.91%	5.03	6.46	5.26	0.50	1012.75	1011.37	1018.13	1012.37	1010.56	1009.05	6.3	2.1	5.4

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 Clarkston, MI 48346  
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**PROPOSED USA2GO/TIM HORTONS GENOA TWP, MI**

**DRAINAGE AREA MAP**

**RSP CONSTRUCTION**

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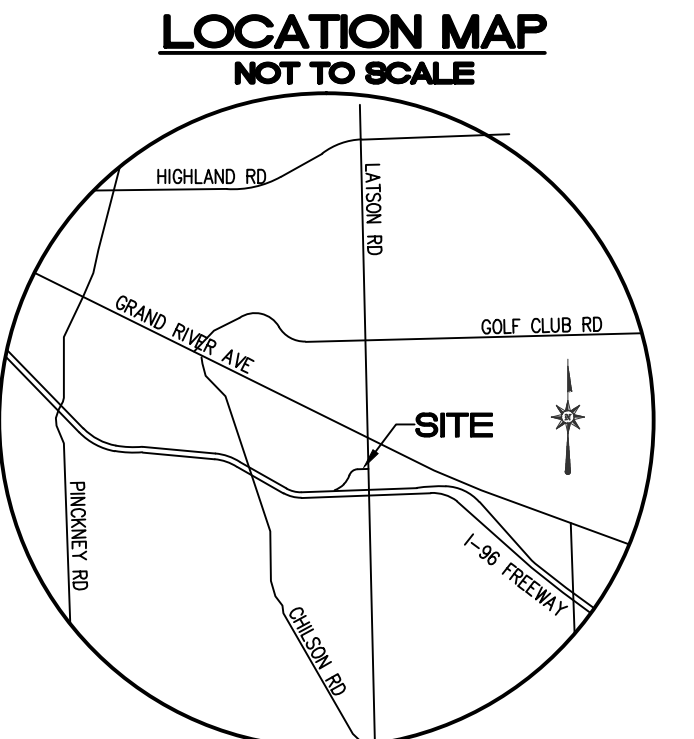
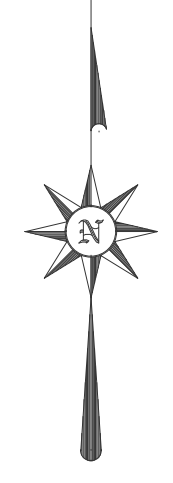
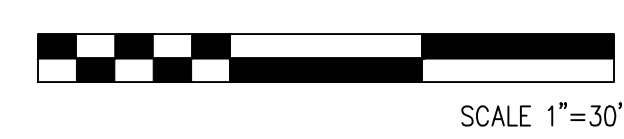
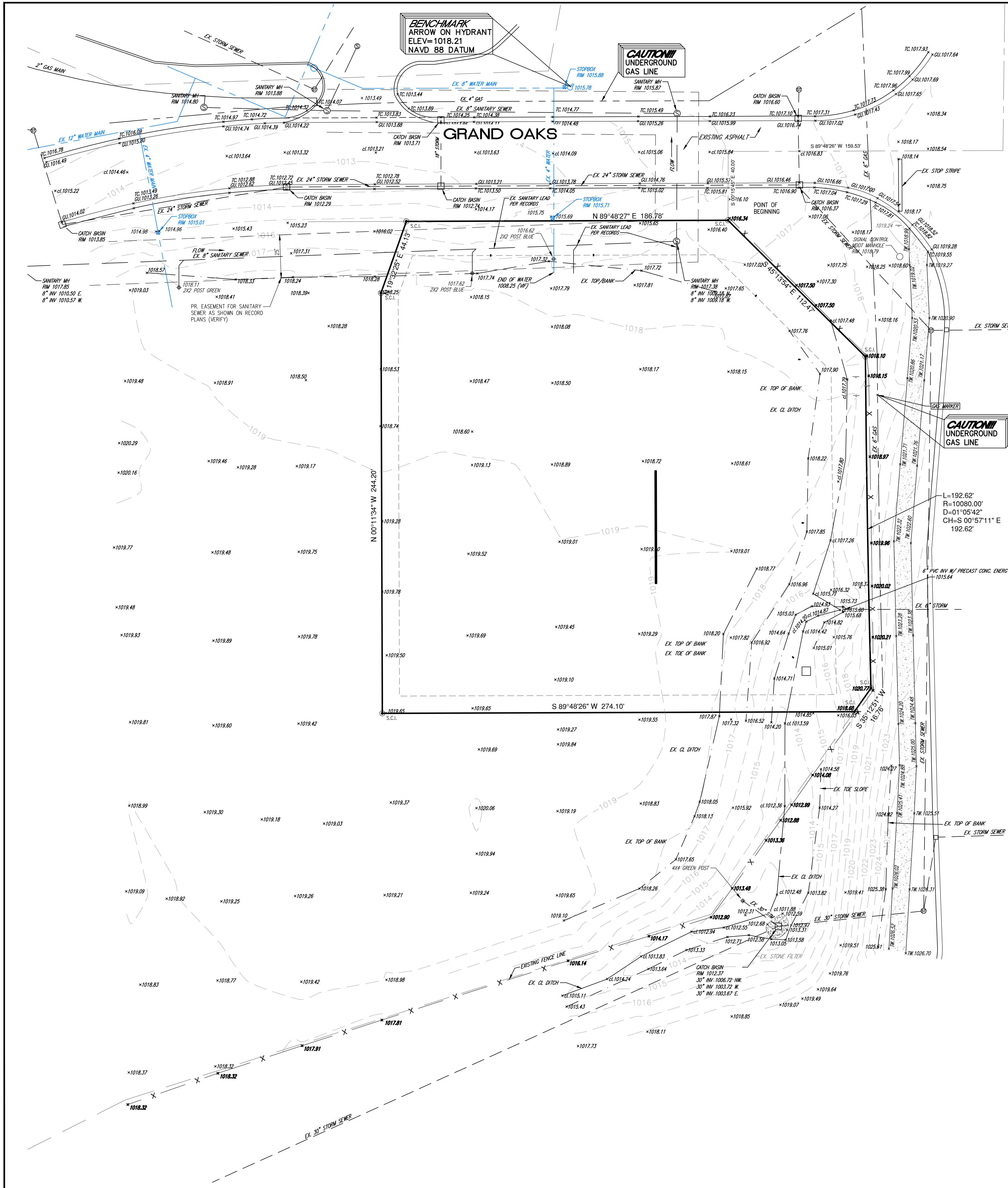
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 Job no. 14-026  
 Sheet no. 6 OF 8

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- LEGEND**
- EX. GRADE
  - EX. CONTOUR
  - EX. WATER MAIN
  - EX. STORM SEWER
  - EX. SANITARY SEWER
  - EX. OVERHEAD
  - EX. FENCE
  - EX. GAS
  - EX. HYDRANT
  - EX. CATCH BASIN
  - EX. SANITARY MANHOLE
  - EX. STORM MANHOLE
  - EX. SIGN
  - EX. GATE VALVE
  - EX. LIGHT POLE
  - EX. UTILITY POLE
  - DRAINAGE ARROW
  - VERIFY IN FIELD
  - TOP OF CURB ELEV.
  - GUTTER PAN ELEV.
  - TOP OF WALK ELEV.
  - GROUND ELEVATION AT WALL
  - EDGE OF SHOULDER ELEV.
  - EDGE OF ROAD ELEV.
  - SET CAPPED IRON

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Clarkston, MI 48346

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ORIGINAL SIGNATURE IN BLUE

Project Title  
**PROPOSED USA2GO/TIM HORTONS GENOA TWP, MI**

Sheet Title  
**BOUNDARY & TOPOGRAPHICAL SURVEY**

Client  
**RSP CONSTRUCTION**

Date	Issued for	By

**PROPERTY DESCRIPTION**

Part of the Northeast 1/4 of Section 8, T.2N., R.5E., Genoa Township, Livingston County, Michigan, more particularly described as follows: Commencing at the Northeast Corner of Section 8; thence along the North line of Section 8, S 87°16'42" W (recorded as S87°15'42" W), 3.27 feet, to the proposed construction centerline of Latson Road; thence along the proposed construction centerline of Latson Road, the following three courses: 1) southerly along an arc right, having a length of 159.72 feet, a radius of 10000.00 feet, a central angle of 00°54'55", and a long chord which bears S 00°40'20" W, 159.72 feet; 2) S 01°07'48" W 913.15 feet; 3) southerly along an arc left having a length of 148.82 feet, a radius of 10000.00 feet, a central angle of 00°51'10", and a chord which bears S00°42'13" W, 148.82 feet, to the Point of Intersection of the proposed construction centerline of Latson Road and the proposed construction centerline of Relocated Grand Oaks Road; thence along the proposed centerline of Relocated Grand Oaks Road, S 89°48'26" W, 159.53 feet (recorded as 159.22 feet); thence S 00°15'45" W, 40.00 feet, to the POINT OF BEGINNING of the parcel described as; thence along a proposed limited access right of way line, the following three (3) courses: 1) S 45°13'54" E, 112.47 feet; 2) southeasterly along an arc left, having a length of 192.62 feet, a radius of 10080.00 feet, a central angle of 01°05'42", and chord that bears S 00°57'11" E, 192.62 feet; 3) S 35°12'51" W, 16.76 feet; thence S 89°48'26" W, 274.10 feet; thence N 00°11'34" W, 244.20 feet; thence N 19°32'25" E, 44.13 feet, thence N 89°48'27" E along the southerly line of Relocated Grand Oaks Road, 186.78 feet, to the POINT OF BEGINNING, containing 1.77 acres, more or less and including the use of Latson Road and Grand Oaks Road. Also subject to any other easements or restrictions of record.

NOTE: No titlework was supplied. Therefore, no easements of record, if any exist, could be shown.

**CERTIFICATION**

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, THAT THE PROPERTY LINES ARE AS SHOWN, AND THAT ENCROACHMENTS, IF ANY, ARE AS NOTED.

STEPHEN R. JACOBI  
PROFESSIONAL SURVEYOR No. 43057

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**



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1-800-482-7171 www.missdig.net

Scale	1"=30'
Drawn	RPP
Checked	APM
Approved	APM
Date	06/01/14
Job no.	

14-026

Sheet no. 7 OF 8

**UTILITY STATEMENT**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

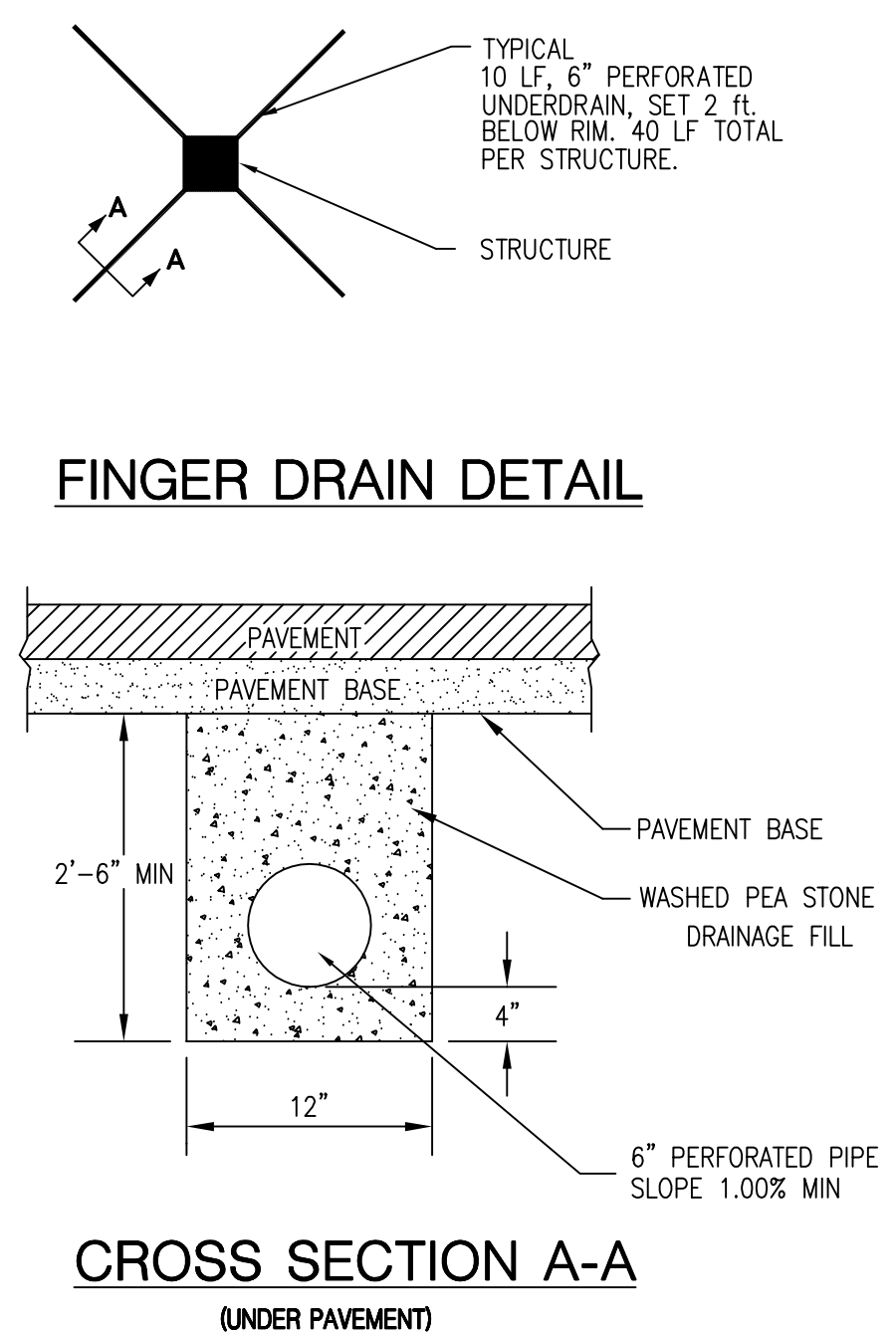
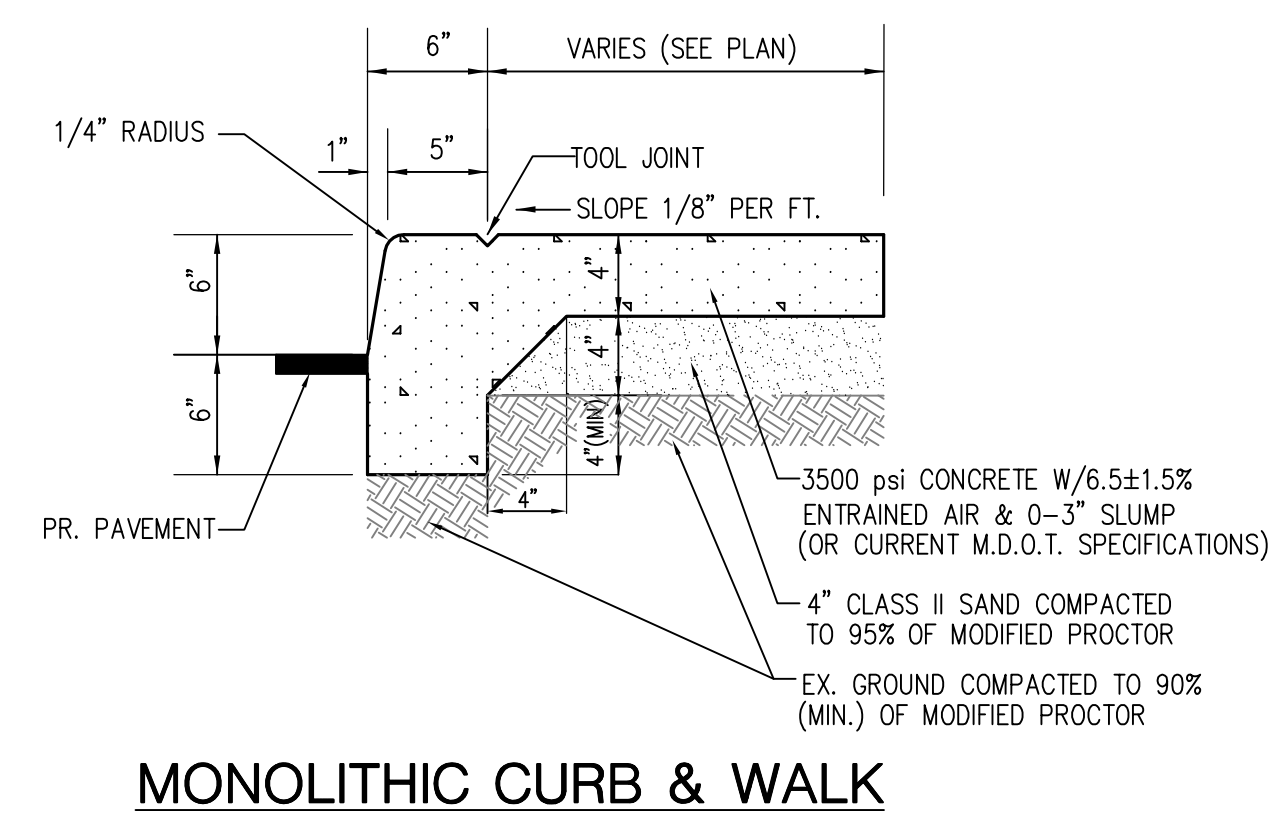
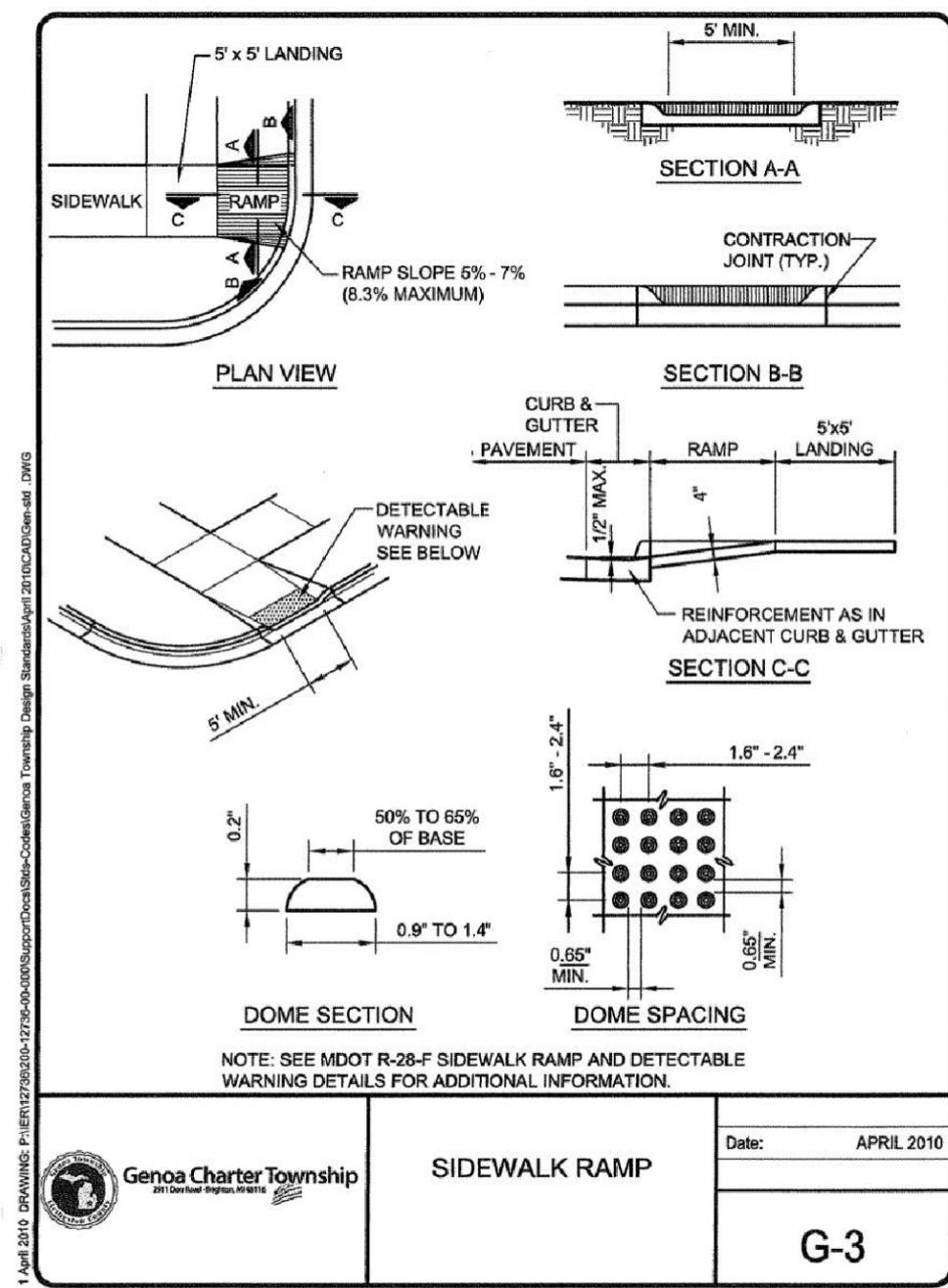
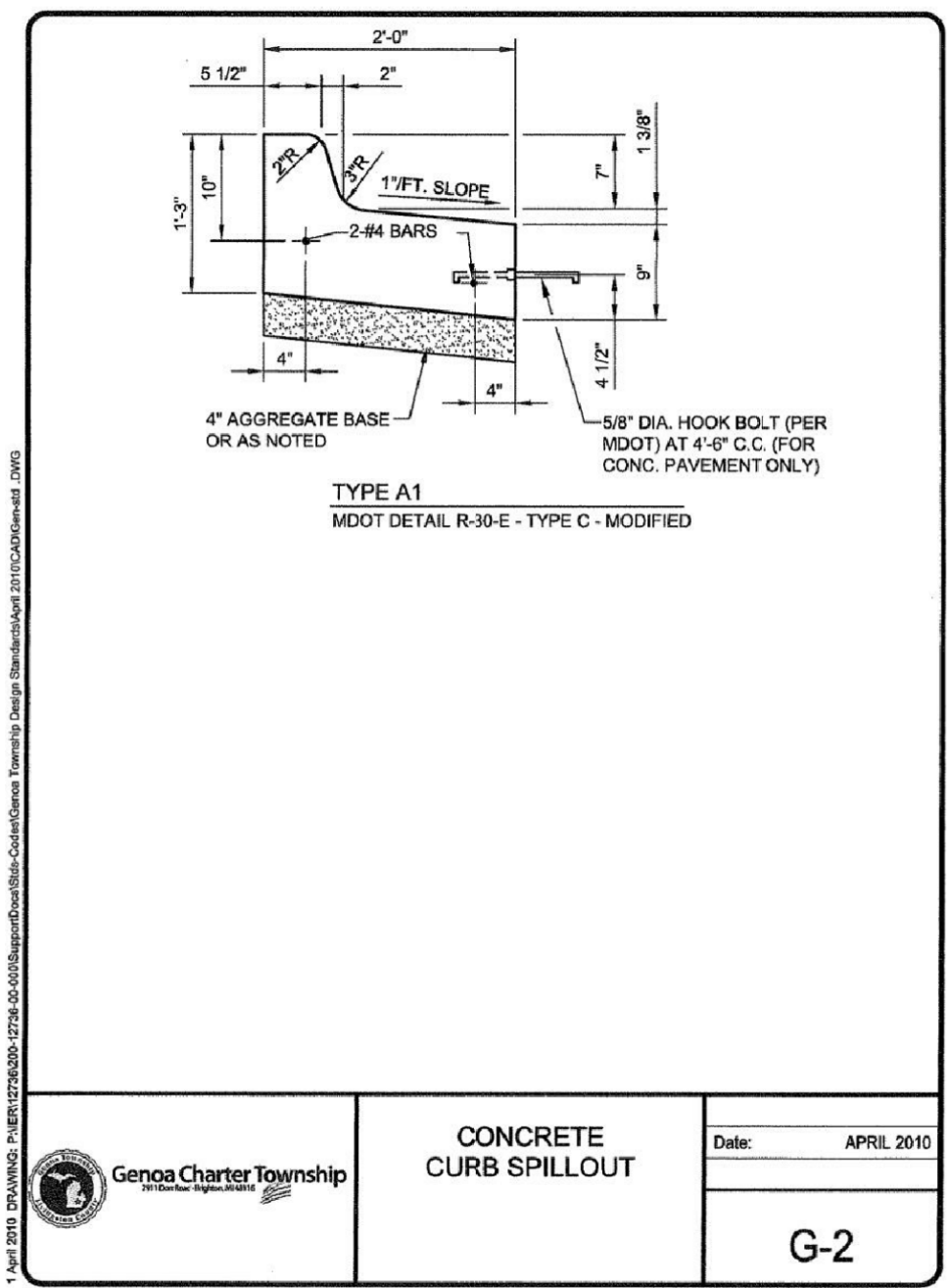
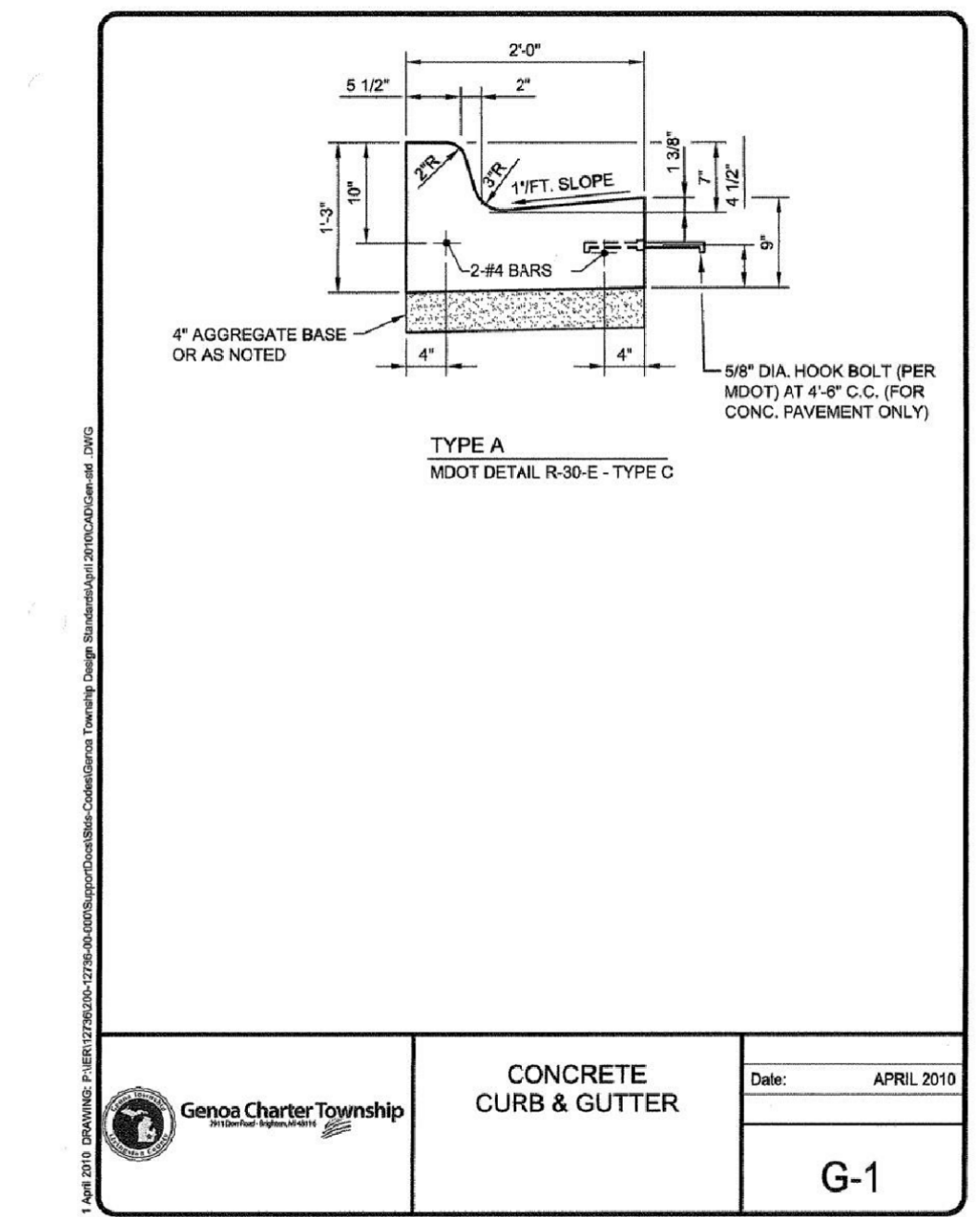
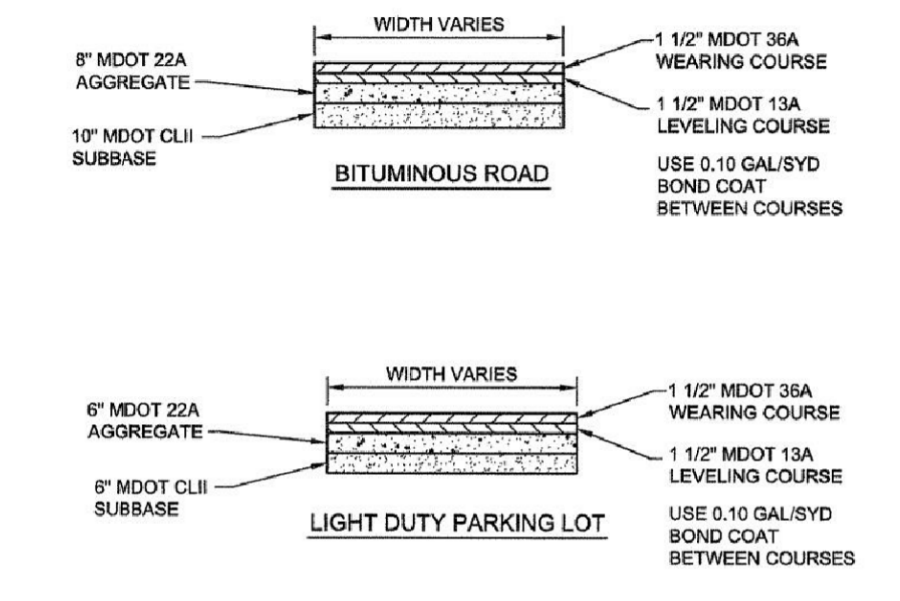
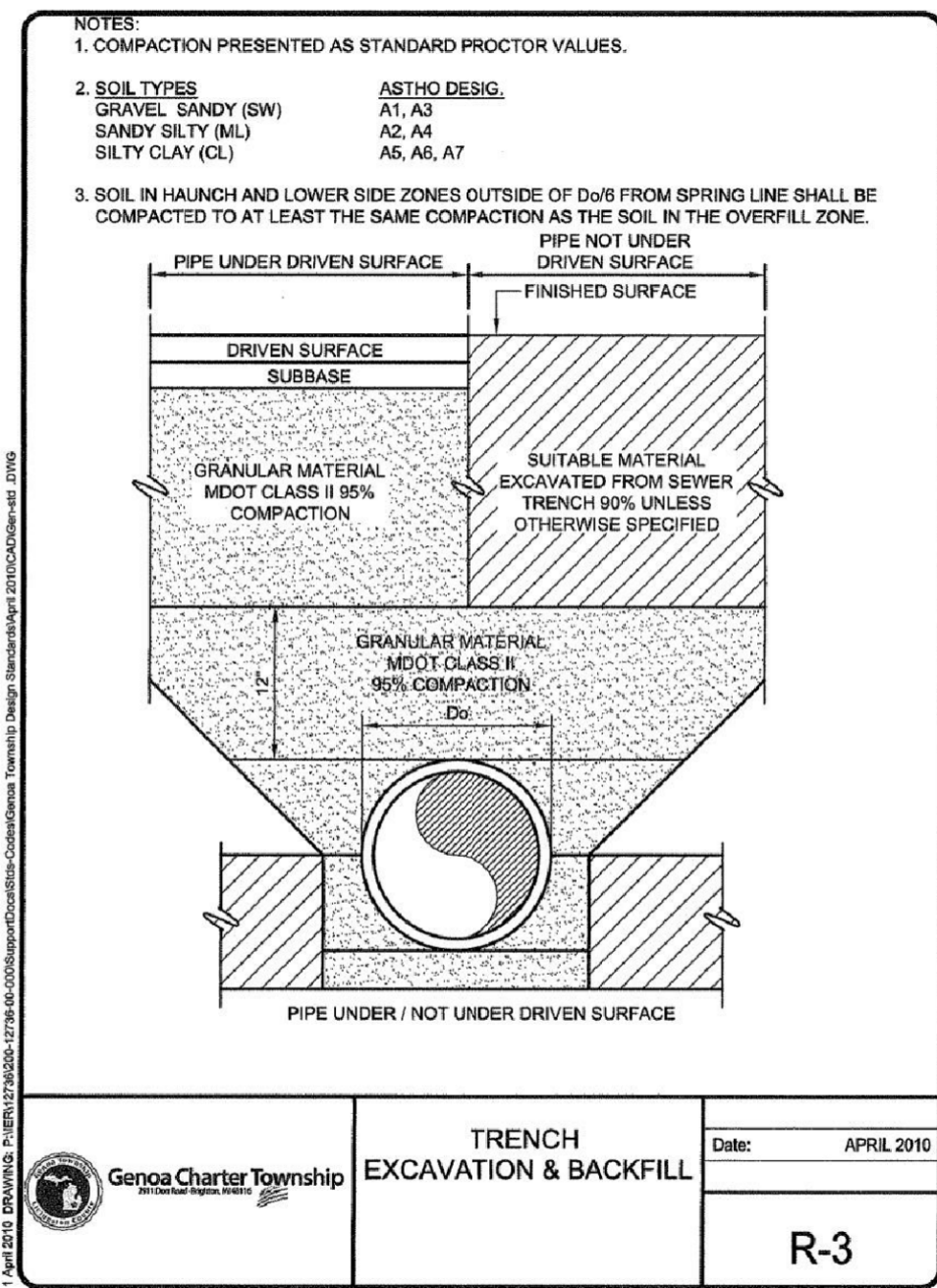
© 2014



MANHOLE FRAME & COVER & CATCH BASIN INLETS					
TYPE	LOCATION	MANUFACTURER OR EQUAL		TYPE OF COVER OR INLET	MAXIMUM DRAINAGE AREA (ACRES)
		EAST JORDAN	MEENAH		
MH	ALL	1040	R-1918-F1	SANITARY-SOLID SELF-SEALING STORM-VENTED	N/A
CB	TYPE A CURB	7000-T1-M1	R-3070	FLAT GRATE WITH VERT. OPEN BACK	0.71
CB	TYPE B CURB	7005-T1-M1	R-3034-B	FLAT GRATE WITH BOLL BACK	0.87
CB	PAVEMENT SHOULDER	1020-M1	R-209C-D	FLAT GRATE	0.66
CB	OPEN AREA	1020-01	R-259C-D	BEEHIVE GRATE 4" HIGH	0.63
CB	GUTTER	5100	R-3228	CONCAVE INLET	0.96

**NOTE:**  
 TYPE A-1 EQUAL TO TYPE "A" EXCLUDING 24" SUMP BUT ADD ON BOTTOM CONC. FILLET.  
 TYPE B-1 EQUAL TO TYPE "B" EXCLUDING 24" SUMP BUT ADD ON BOTTOM CONC. FILLET.



**MEI**

Mickalich Engineering, Inc.  
 Civil Engineering | Land Surveying | Planning

8405 Andersonville Rd (248) 220-3299  
 Suite F albert@mickalich.com  
 Clarkston, MI 48346

Engineer's Seal

ORIGINAL SIGNATURE IN BLUE

Project Title

**PROPOSED USA2GO/TIM HORTONS GENOA TWP, MI**

Sheet Title

**NOTES AND DETAILS**

Client

**RSP CONSTRUCTION**

Date Issued for By

3 FULL WORKING DAYS BEFORE YOU DIG CALL



Know what's below Call before you dig.

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Scale 1" = 30'

Drawn RPP

Checked APM

Approved APM

Date 06/26/14

Job. no.

14-026

Sheet no.

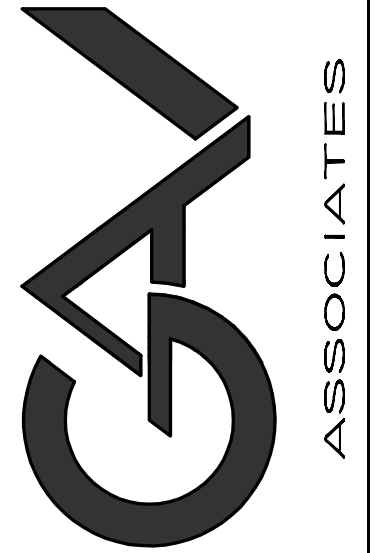
8 OF 8

ISSUED FOR	DATE
SPA	6.4.2014
CITY COMMENTS	6.21.2014

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. & ASSOCIATES, INC.  
31471 NORTHWESTERN HWY., SUITE #2  
FARMINGTON HILLS, MI. 48334  
(248) 985-9101  
FAX (248) 985-9105  
EMAIL: GAV@GAVASSOCIATES.COM



PROPOSED USA260 / TIM HORTON'S  
LIVINGSTON COMMONS  
GENOA TWP, MICHIGAN

DRAWN: DESIGNED: CHECKED:

RB . . .

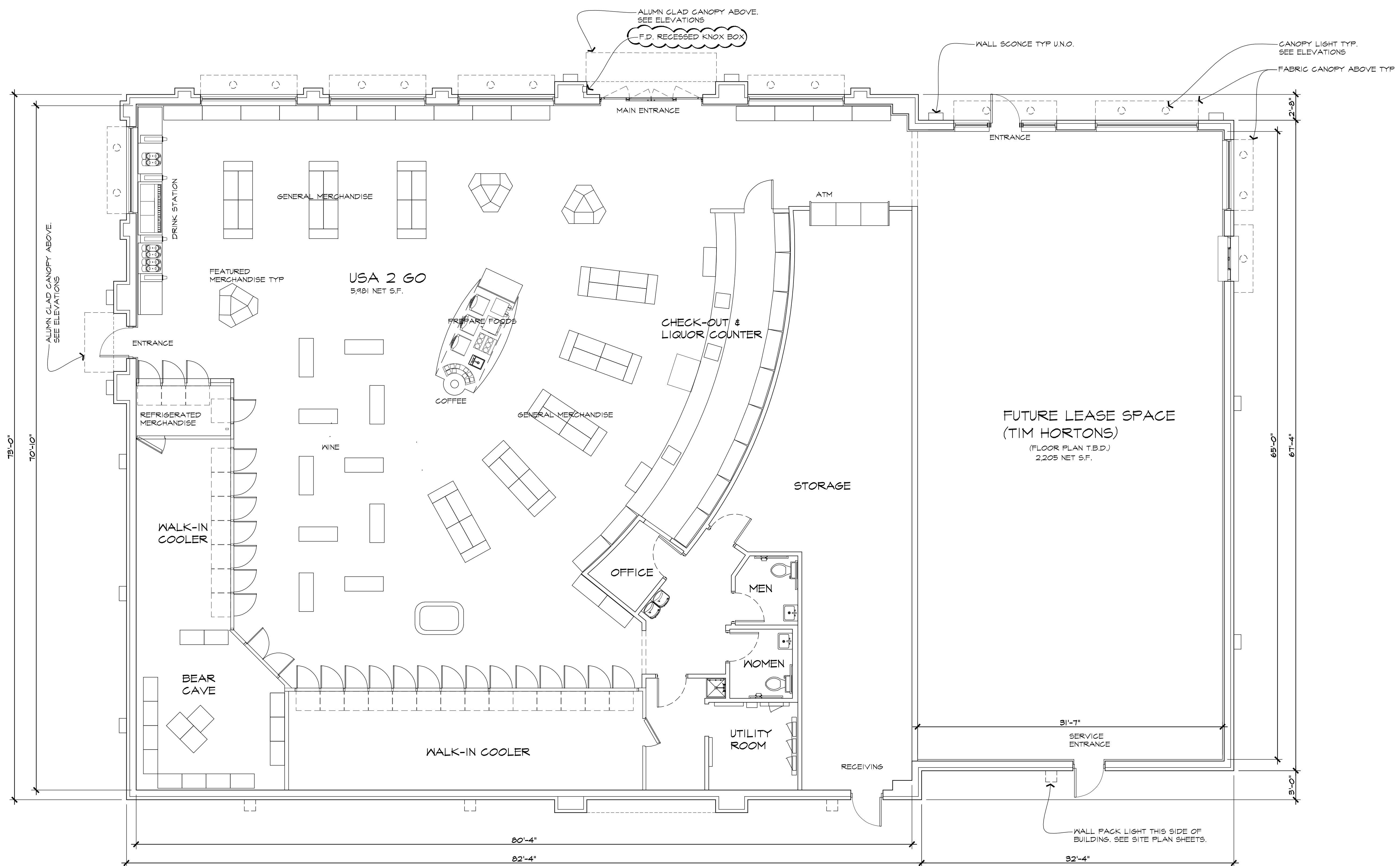
SCALE : 3/16" = 1'-0"

FILE NAME : .

JOB # : 13076

SHEET TITLE  
PROPOSED  
FLOOR PLAN

SHEET #  
A.101



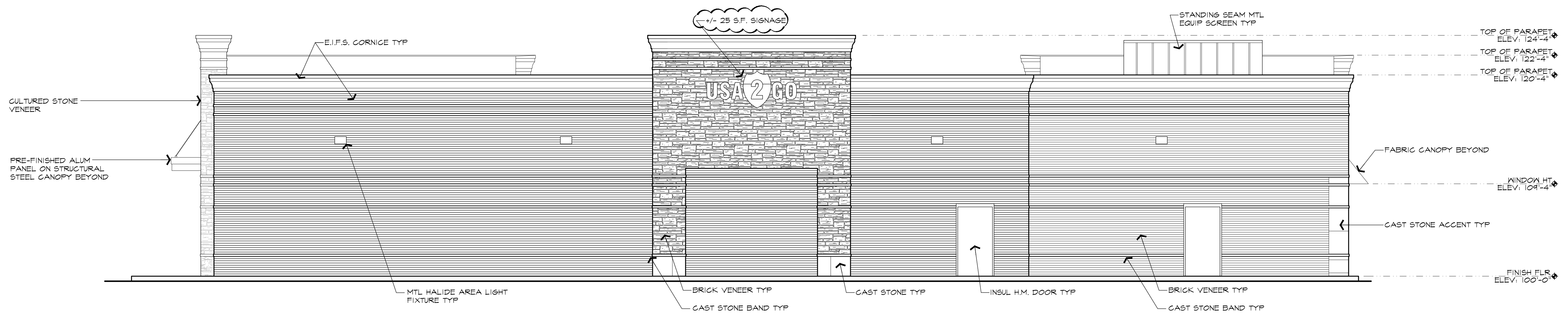
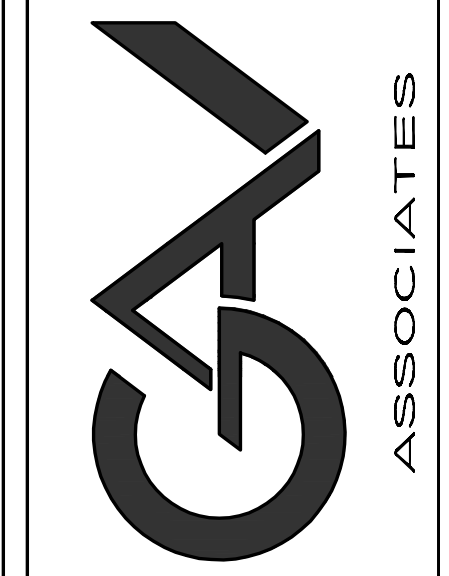
NORTH PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

ISSUED FOR	DATE
SPA	6.4.2014
CITY COMMENTS	6.21.2014

**ARCHITECTURAL DESIGN**  
 RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL

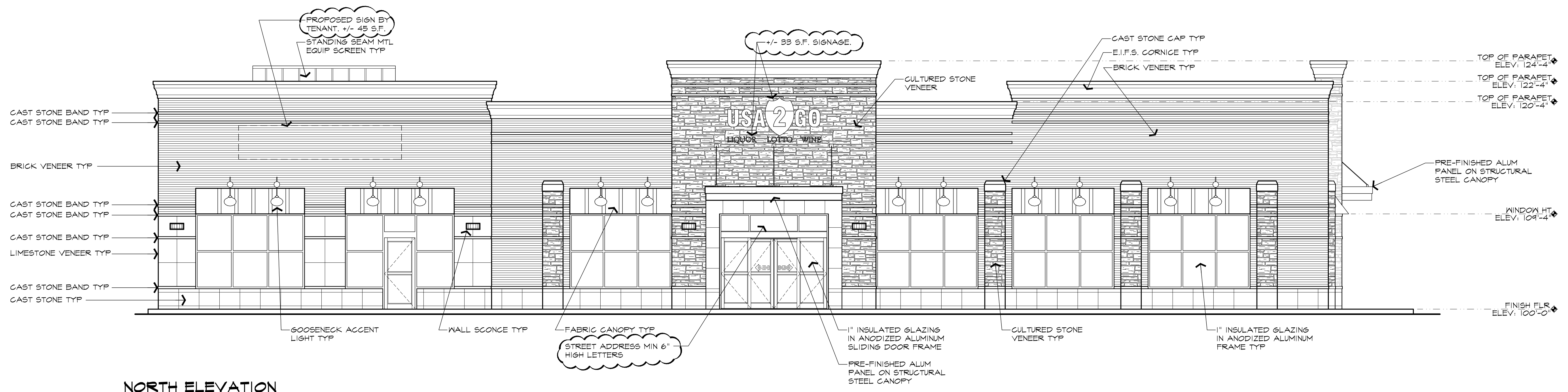
G.A.V. & ASSOCIATES, INC.  
 31471 NORTHWESTERN HWY., SUITE #2  
 FARMINGTON HILLS, MI. 48334  
 (248) 985-9101  
 FAX (248) 985-9105  
 EMAIL: GAV@GAVASSOCIATES.COM



**SOUTH ELEVATION**

SCALE: 3/16"=1'-0"

SIGNAGE NOTE:  
 TOTAL SIGNAGE SHALL NOT  
 BE MORE THAN 10% OF  
 TOTAL ELEV FACADE S.F.



**NORTH ELEVATION**

SCALE: 3/16"=1'-0"

PROPOSED USA260 / TIM HORTON'S  
 LIVINGSTON COMMONS  
 GENOA TWP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
RB		

SCALE : 3/16"=1'-0"

FILE NAME : .

JOB # : 13076

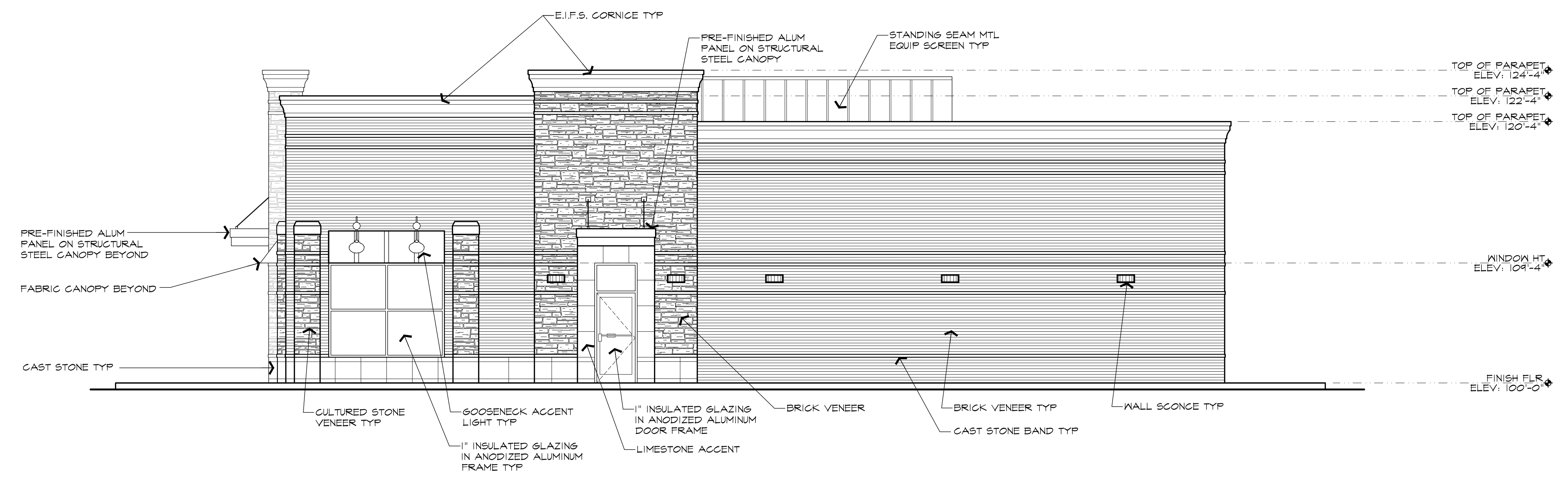
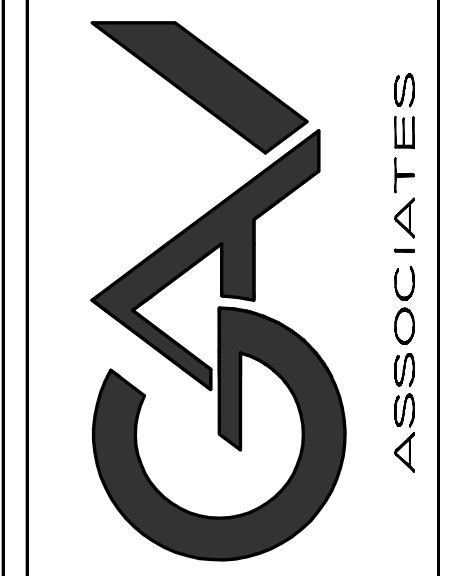
SHEET TITLE  
 PROPOSED  
 ELEVATIONS

SHEET #  
**A.201**



ISSUED FOR	DATE
SPA	6.4.2014
CITY COMMENTS	6.21.2014

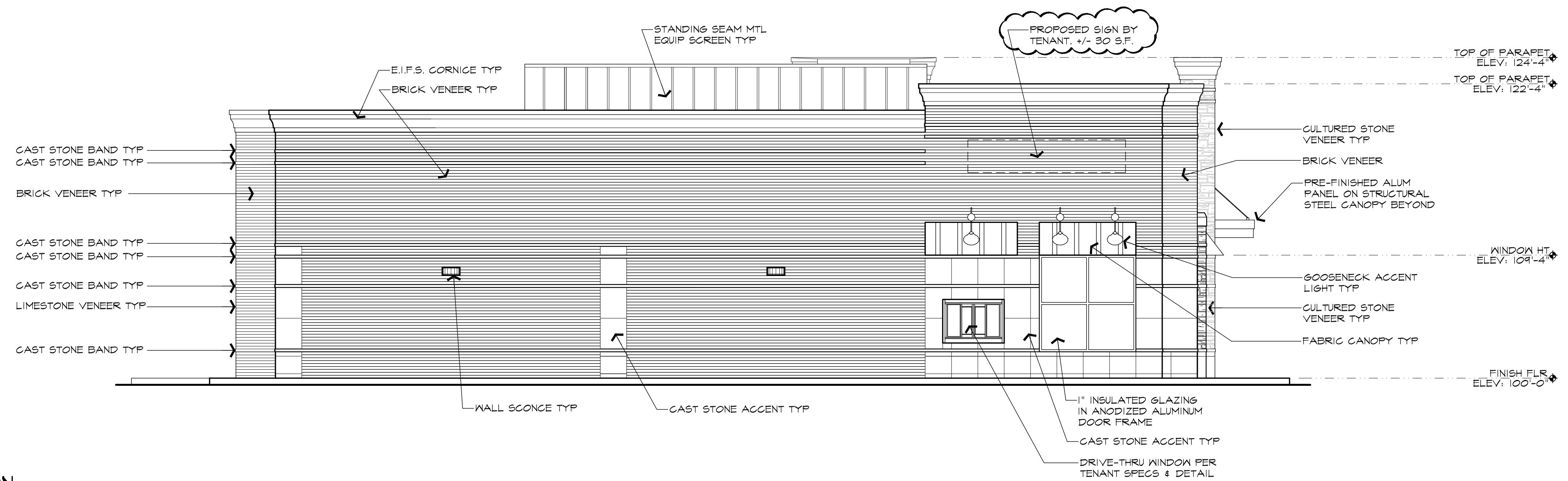
**ARCHITECTURAL DESIGN**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL  
 G.A.V. & ASSOCIATES, INC.  
 31471 NORTHWESTERN HWY., SUITE #2  
 FARMINGTON HILLS, MI. 48334  
 (248) 985-9101  
 FAX (248) 985-9105  
 EMAIL: GAV@GAVASSOCIATES.COM



**WEST ELEVATION**

SCALE: 3/16"=1'-0"

SIGNAGE NOTE:  
 TOTAL SIGNAGE SHALL NOT  
 BE MORE THAN 10% OF  
 TOTAL ELEV FACADE S.F.



**EAST ELEVATION**

SCALE: 3/16"=1'-0"

PROPOSED USA260 / TIM HORTON'S  
 LIVINGSTON COMMONS  
 GENOA TWP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
RB		
SCALE : 3/16"=1'-0"		
FILE NAME :		
JOB # : 13076		
SHEET TITLE PROPOSED ELEVATIONS		
SHEET # <b>A.202</b>		

**PROJECT DATA:**

ZONING: NRPUD / GCD (PHASE II; ZONE 2, LOT B)  
 TOTAL SITE AREA: 1.77 ACRES  
 USE GROUP: M / B  
 CONSTRUCTION TYPE: IIB; UN-SPRINKLERED

**SITE REQUIREMENTS:**

MINIMUM LOT: 1.0 ACRES  
 MINIMUM WIDTH: 250 FT.  
 MAXIMUM BUILDING HEIGHT: 75'-0" FIVE-STORY  
 MIN. YARD SETBACKS (BUILDING): 50'-0" FROM PROP. LINE  
 MIN. SETBACK TO FUEL PUMP ISLAND: 20'-0" FROM PROP. LINE

MINIMUM YARD SETBACKS (PARKING):  
 FRONT: 20'-0" FROM PROPERTY LINE  
 SIDE: 10'-0" FROM PROPERTY LINE  
 REAR: 10'-0" FROM PROPERTY LINE

**SITE DATA**

AREA	VALUE
NEW BUILDING AREA	8,181 S.F.
CONVENIENCE/SERVICE AREA	6,000 GROSS S.F.
LEASABLE SPACE	2,181 GROSS S.F.
LOT COVERAGE	54,984/77,404 = 71.5%
ALLOWABLE COVERAGE	85%
BUILDING HEIGHT	24'-4"
NEW PAVED AREA	51,747 S.F.
LANDSCAPE/OPEN AREA	17,420 S.F.

**PARKING REQUIREMENTS**

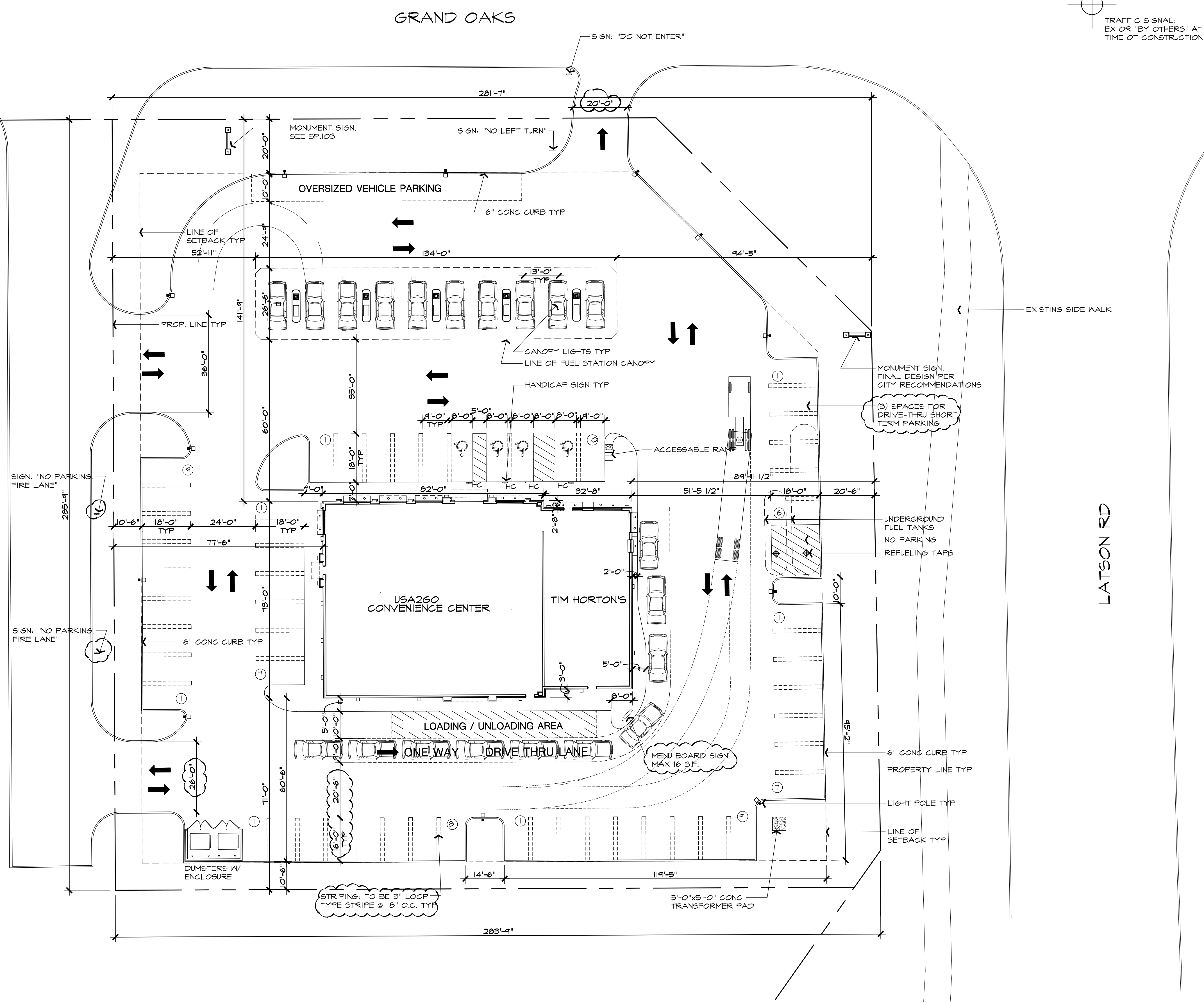
TOTAL PARKING REQUIRED FOR NEW BUILDING:  
 FUEL STATION W/ CONVENIENCE MART=1 PER 500 G.S.F. + 2 PER EMPLOYEE.  
 a. 4 EMPLOYEES EXPECTED  
 b. REQUIRED = 20 SPACES  
 DRIVE-THROUGH RESTAURANT=1 PER 10 OF LEASABLE AREA  
 a. REQUIRED = 3  
 TOTAL PARKING REQUIRED = 51 SPACES  
 PROVIDED: 56 TOTAL SPACES PROVIDED

**WORK SEQUENCE -**

- SILT FENCE SHALL BE INSTALLED PRIOR TO EXCAVATION
- EXCAVATED MATERIALS WILL BE STOCKPILED BETWEEN THE EXCAVATING AND SILT FENCE
- THE SEDIMENT CONTROL MEASURES WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE & THE DISTURBED AREAS ARE STABILIZED WITH VEGETATION

**GENERAL NOTES**

- OWNER AGREES TO SEASONAL MAINTENANCE PROGRAM AND WILL REPLACE ALL DISEASED, DEAD OR DAMAGED PLANTS, REPLENISH MULCH, CONTROL WEEDS, FERTILIZE AND PRUNE, BEGINNING UPON COMPLETION OF CONSTRUCTION OF LANDSCAPING.
- "ANY HAZARDOUS MATERIALS PRODUCED, STORED OR OTHERWISE ON PREMISE WILL BE HANDLED PER APPLICABLE RULES AND REGULATIONS.
- OWNER AGREES TO PICK-UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- PAVED SURFACES, WALK WAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL BE MAINTAINED IN A CLEARLY VISIBLE MANNER.
- THERE WILL BE NO OUTDOOR STORAGE.
- NO OVERNIGHT PARKINGS WILL BE ALLOWED.
- THERE ARE NO EXISTING WETLANDS ON-SITE.
- ALL LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES AND RIGHTS-OF-WAY. WALL MOUNTED LIGHTING TO BE SELECTED BY OWNER / ARCHITECT 175 W FIXTURE MAX. MOUNTED 8'-8" ABOVE FINISHED GRADE.
- SOILS - TOPSOIL TO A DEPTH OF 4" - 10" OR ASPHALT AND/OR CRUSHED STONE TO A DEPTH OF 4" - 4". GRANULAR SOILS WERE ENCOUNTERED TO DEPTHS RANGING TO 6.5 FEET TO 14.5 FEET, TYPICALLY TO DEPTHS GREATER THAN 10 FEET. THE GRANULAR SOILS CONSISTED OF LOOSE TO MEDIUM DENSE POORLY GRADED SAND, SAND AND GRAVEL, AND SILTY SAND. UNDERLYING THE GRANULAR MATERIAL SOILS, MEDIUM STIFF TO VERY STIFF TO GRAY LEAN AND SANDY LEAN GRAY WERE ENCOUNTERED.
- DEVELOPMENT TO BE SINGLE PHASE CONSTRUCTION.
- FIRE ACCESS TO BE MAINTAINED DURING CONSTRUCTION.
- ON-SITE HYDRANT LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHALL PRIOR TO ENGINEERING APPROVAL. ON-SITE HYDRANTS MAY BE REQUIRED.
- PROPOSED BUILDING TO COMPLY WITH MBC 2009 TABLE 307.1 (1) & SECTION 406.6.
- IN THE EVENT OF THE GAS STATION USE IS ABANDONED OR TERMINATED FOR A PERIOD OF MORE THAN ONE YEAR, ALL UNDERGROUND GASOLINE STORAGE TANKS SHALL BE REMOVED FROM THE PROPERTY.



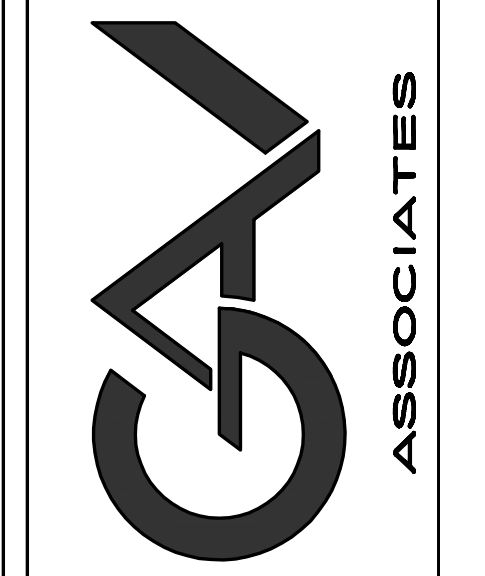
**PROPOSED SITE PLAN**

SCALE: 1"=20'-0"

ISSUED FOR	DATE
SFA	6.4.2014
CITY COMMENTS	6.21.2014

**ARCHITECTURAL DESIGN**

RESIDENTIAL COMMERCIAL INDUSTRIAL



G.A. ASSOCIATES  
 RESIDENTIAL COMMERCIAL INDUSTRIAL  
 G.A.V. ASSOCIATES, INC.  
 24001 ORCHARD LAKE RD., STE. 180A  
 FARMINGTON, MICHIGAN 48336  
 PH: (248) 988-9101  
 WEB: WWW.GAVASSOCIATES.COM


PROPOSED USA260 / TIM HORTON'S  
 LIVINGSTON COMMONS  
 GENOA TWP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
RB		
SCALE: 1"=20'-0"		
FILE NAME: .		
JOB #: 13076		
SHEET TITLE		
PROPOSED SITE PLAN		
SHEET #		
SP.101		

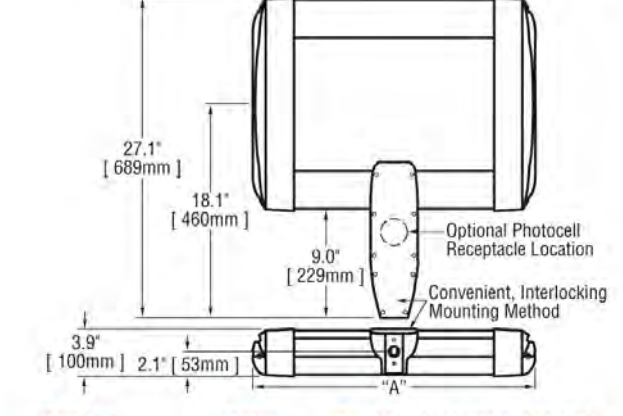


**ARE-EDG-3M-DA THE EDGE™ LED Area Light – Type III Medium** Rev. Date: 12/11/09

BetaLED Catalog #: ARE - EDG - - DA - - C - - - -



Notes:




# of LEDs	Dim. "A"
20	11.75"
40	11.75"
60	13.75"
80	15.75"
100	17.75"
120	19.75"
140	21.75"
160	23.75"
180	25.75"
200	27.75"
220	29.75"
240	31.75"

Product	Family	Optic	Mounting	# of LEDs (x 10)	LED Series	Voltage	Color Options	Factory-Installed Options
ARE	EDG	3M	DA	02	C	UL Universal 120-277V	SV Silver	43K 4300K Color Temperature <sup>1</sup>
		3MB		04		UH Universal 347-480V	BK Black	525 525mA Drive Current <sup>2</sup>
				06			HL Hi/Low (175/350/525, dual circuit input) <sup>3,11</sup>	DIM 0-10V Dimming <sup>3, 5, 11</sup>
				08			F Fuse <sup>4</sup>	
				10			HL Hi/Low (175/350/525, dual circuit input) <sup>3,11</sup>	
				12			P Photocell <sup>12-15</sup>	
				14			R NEMA Photocell Receptacle <sup>16-18</sup>	
				16			TL Two-Level (175/525 w/ integrated sensor control) <sup>19,12</sup>	
				18			TL2 Two-Level (0/350 w/ integrated sensor control) <sup>4</sup>	
				20			TL3 Two-Level (0/525 w/ integrated sensor control) <sup>12,12</sup>	
				22				
				24				

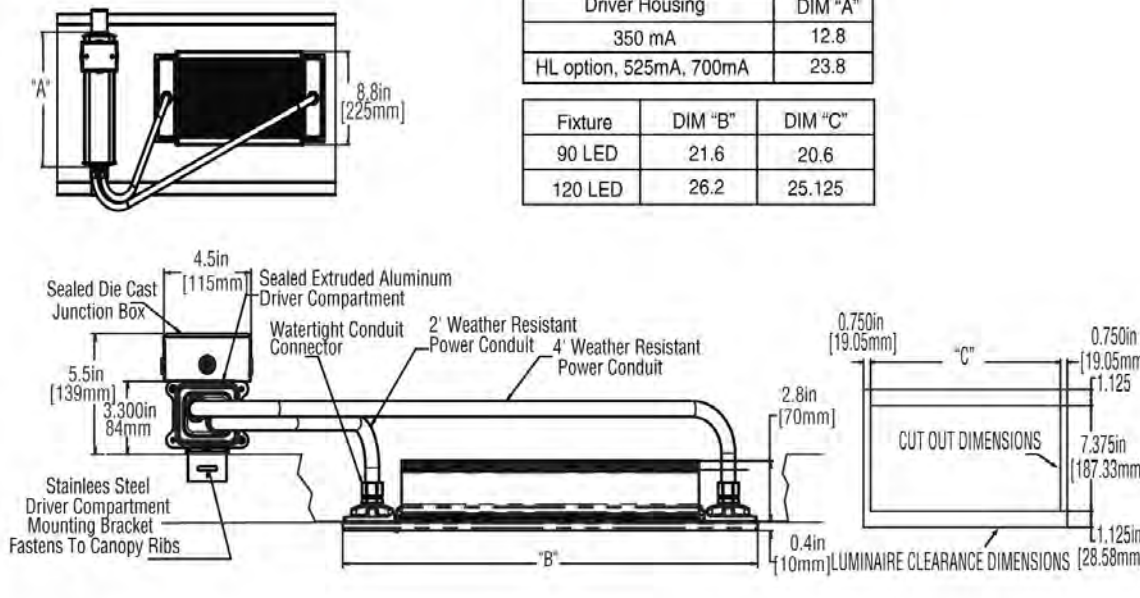
**PARKING AREA LIGHTS @ 20'-0" ABOVE GRADE**

**CAN-227-PS-RM BetaLED® Recessed Canopy Luminaires** Rev. Date: 6/30/11

BetaLED Catalog #: CAN - 227 - PS - RM - - D - - - -



Notes:



Driver Housing	Dim. "A"
350 mA	12.8
HL option, 525mA, 700mA	23.8

Fixture	Dim. "B"	Dim. "C"
90 LED	21.6	20.6
120 LED	26.2	25.125

Product	Family	Optic	Mounting	# of LEDs (x 10)	LED Series	Voltage	Color Options	Drive Current	Factory-Installed Options
CAN	227	PS	RM	09	D	UL Universal 120-277V	SV Silver	700 <sup>3</sup> 700mA	43K Color temperature <sup>1</sup>
				12		UH Universal 347-480V	BK Black	525 525mA	F Fuse <sup>4</sup>
							HL Hi/Low (175/350/525, dual circuit input) <sup>3, 11</sup>	DIM 0-10V Dimming <sup>3, 5, 11</sup>	
							WH White	350 350mA	
							PB Platinum		
							BZ Bronze		

**FUELING STATION CANOPY LIGHTS @ 16'-0" ABOVE GRADE**

**LURALINE LIGHTING** MANUFACTURERS OF QUALITY PRODUCTS SINCE 1957

**SPECIFICATION SUBMITTAL SHEET**

JOB NAME:

FIXTURE TYPE:

CATALOG NUMBER:

RA1132 GNL I BBZ

Diffuser: 32 Clear Prismatic Glass cylinder

Lamp Type: Incandescent

Light Source: i Accepts 100 Watt Maximum A19 medium base lamp (by others).

Finish: BBZ - Brown Bronze

DIMENSIONS:

Width: 11.50" Height: 18"

Extension: 18.50" Mounting Ctr.: 2.75"

Mounts over 4" recessed outlet box.

Manufactured in accordance with U.L. standard 1598 for Luminaires



**LIGHT FIXTURE ABOVE FABRIC CANOPY @ 12'-0" ABOVE GRADE**

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
○	A	17	AD100-100-INC-WHT	GOOSENECK BLDG MNTD: RLM ANGLED REFLECTOR SERIES	1- 100W FROSTED INC BU (620)	1710	1.00	100
□	B	11	WSR 36S MDUS	ARCHITECTURAL SCOSCE WITH MEDIUM THROW DISTRIBUTION WITH 50% UPLIGHT, CLEAR FLAT GLASS BOTTOM LENS, PRISMATIC FLAT GLASS TOP LENS.	ONE 35-WATT CLEAR ED-17 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	2250	1.00	46
□	C	4	TWR1S 100M TB LPI	GENERAL PURPOSE BUILDING MOUNTED LUMINAIRE, FULL CUTOFF, 100W MH/W CLEAR LAMP. MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 100-WATT CLEAR ED17 METAL HALIDE, HORIZONTAL POS.	8500	1.00	140
□	D	10	CAN-227-PS-09-D-JL-700-43K (700mA)	FUELING STATION CANOPY: CONFIGURED FROM 120 LED 227 SERIES PETROLEUM SYMMETRIC RECESSED CANOPY 700mA	CONFIGURED FROM ONE HUNDRED TWENTY WHITE LIGHT EMITTING DIODES (LEDS),	Absolute	1.00	210
□	E	12	ARE-EDG-3MB-12-C-12 (350mA)	POLE LIGHT: SCALED FROM 120 LED TYPE III MEDIUM EDGE WITH BACKLIGHT SHIELD 350mA	CONFIGURED FROM ONE HUNDRED TWENTY WHITE LIGHT EMITTING DIODES (LEDS),	Absolute	1.00	137

**STATISTICS**

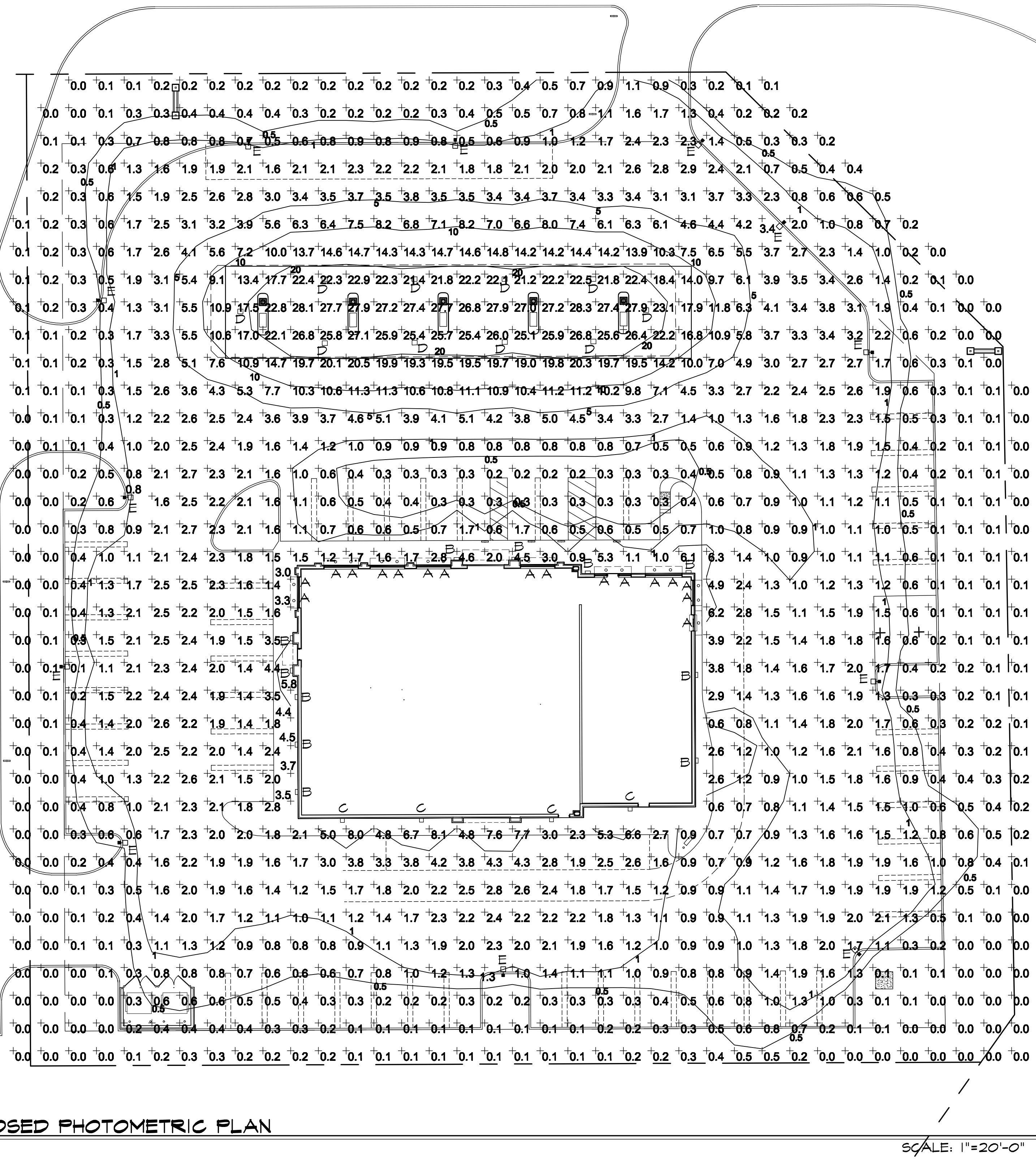
Description	Symbol	Avg	Max	Max Avg	Min
Calc Zone W/O Fueling Station Lights	+	1.2 fc	8.1 fc	6.7 fc	0.0 fc
Calc Zone W/ Fueling Station Lights	+	3.0 fc	27.9 fc	9.6 fc	0.0 fc

ISSUED FOR: SPA  
DATE: 6.4.2014  
CITY COMMENTS: 6.21.2014

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD., STE. 180A  
FARMINGTON, MICHIGAN 48336  
PH: (248) 985-9101  
WEB: WWW.GAVASSOCIATES.COM

**PROPOSED PHOTOMETRIC PLAN**

SCALE: 1"=20'-0"

PROPOSED USA260 / TIM HORTON'S  
LIVINGSTON COMMONS  
GENOA TWP, MICHIGAN

DRAWN: RB  
DESIGNED:  
CHECKED:

SCALE: 1"=20'-0"

FILE NAME: .

JOB #: 13076

SHEET TITLE  
PROPOSED PHOTOMETRIC PLAN  
SHEET #  
**SP.102**







PROPOSED NEW FACILITY FOR:  
**USA2GO / TIM HORTONS**  
 GRAND OAKS RD (PHASE II: ZONE 2, LOT B OF PUD DEVELOPMENT)  
 GENOA TWP., MICHIGAN

SITE PLAN APPROVAL

ARCHITECTURAL



ARCHITECTURAL  
 DESIGN  
 RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL

**G.A.V. & ASSOCIATES, INC.**

24001 ORCHARD LAKE RD, SUITE #180A  
 FARMINGTON, MICHIGAN 48336  
 PHONE (248) 985-9101

PROJECT INFORMATION	LOCATION MAP	SHEET INDEX	NOT USED	NOT USED	ABBREVIATIONS/NOTES	ISSUED FOR																																																																						
<p>PROJECT NUMBER: 13076                      PROJECT LOCATION: GRAND OAKS DR BRIGHTON, MI</p> <p>ARCHITECT: GAV &amp; ASSOCIATES, INC.                      24001 ORCHARD LK. RD STE #180A                      FARMINGTON, MI 48336                      PHONE: (248) 985-9101</p> <p>1. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, LUAY ESHO, MI P.E. LIC.# 6201054568</p> <p>2. THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY OF AUBURN HILLS CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.</p>		<p>T.001 TITLE SHEET &amp; PROJECT INFORMATION</p> <p>CIVIL</p> <p>1 of 3 TOPOGRAPHICAL SURVEY &amp; PROPERTY DESC.                      2 of 3 DIMENSIONAL SITE PLAN                      3 of 3 GRADING &amp; UTILITY PLAN</p> <p>ARCHITECTURAL</p> <p>SP.101 SITE PLAN                      SP.102 PHOTOMETRIC PLAN                      SP.103 SITE PLAN DETAILS</p> <p>L-01 LANDSCAPE PLAN &amp; DETAILS</p> <p>A.101 FLOOR PLAN                      A.201 EXTERIOR ELEVATIONS                      A.202 EXTERIOR ELEVATIONS</p>			<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">AFF - ABOVE FINISH FLOOR</td> <td style="width: 50%;">F.D. - FLOOR DRAIN</td> </tr> <tr> <td>ALUM - ALUMINUM</td> <td>FF. - FINISHED FLOOR</td> </tr> <tr> <td>AT - ACoustICAL TILE</td> <td>FND. - FOUNDATION</td> </tr> <tr> <td>BRD - BOARD</td> <td>FTS - FOOTINGS</td> </tr> <tr> <td>BFF - BELOW FINISH FLOOR</td> <td>GALV - GALVANIZED</td> </tr> <tr> <td>BLK - BLOCK</td> <td>GC. - GENERAL CONTRACTOR</td> </tr> <tr> <td>BM - BEAM</td> <td>GL - GLASS</td> </tr> <tr> <td>B.O. - BY OWNER</td> <td>G.B. - GRAB BAR</td> </tr> <tr> <td>BU. - BUILT UP</td> <td>GYP - GYPSUM</td> </tr> <tr> <td>CAB - CABINET</td> <td>H.M. - HOLLOWED METAL</td> </tr> <tr> <td>C.B. - CATCH BASINS</td> <td>HVAC - HEATING &amp; VENT.</td> </tr> <tr> <td>C - COLD</td> <td>INSUL. - INSULATION</td> </tr> <tr> <td>CER - CERAMIC</td> <td>LL. - LIVE LOAD</td> </tr> <tr> <td>C.J. - CONTROL JOINT</td> <td>MECH. - MECHANICAL</td> </tr> <tr> <td>C.L. - CENTER LINE</td> <td>MTL. - METAL</td> </tr> <tr> <td>C.LG. - CEILING</td> <td>O.C. - ON CENTER</td> </tr> <tr> <td>CLOS. - CLOSET</td> <td>PT - PAINT</td> </tr> <tr> <td>C.O. - CLEAN OUT</td> <td>RA - RETURN AIR</td> </tr> <tr> <td>COL. - COLUMN</td> <td>RD - ROOF DRAIN</td> </tr> <tr> <td>CONC. - CONCRETE</td> <td>REIN. - REINFORCING</td> </tr> <tr> <td>CONT. - CONTINUOUS</td> <td>REQ. - REQUIRED</td> </tr> <tr> <td>DET - DETAIL</td> <td>SA - SUPPLY AIR</td> </tr> <tr> <td>DIM - DIMENSION</td> <td>SIM - SIMILAR</td> </tr> <tr> <td>DL - DEAD LOAD</td> <td>STOR. - STORAGE</td> </tr> <tr> <td>DN - DOWN</td> <td>TB - TOVELL BAR</td> </tr> <tr> <td>DS - DOWN SPOUT</td> <td>T.O.F. - TOP OF FOOTING</td> </tr> <tr> <td>EA - EACH</td> <td>T.O.S. - TOP OF TOP OF STEEL</td> </tr> <tr> <td>E.C. - ELEC. 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NORTH ELEVATION



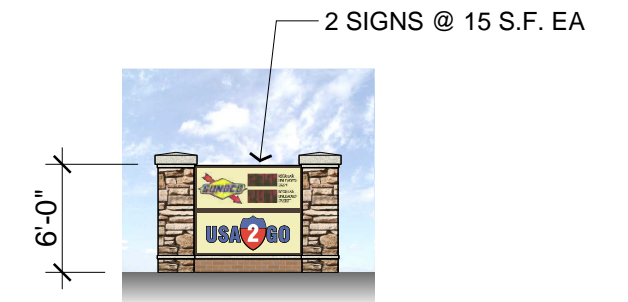
ASSOCIATES, INC.  
ARCHITECTURAL DESIGN  
24001 ORCHARD LAKE RD, STE. 180A  
FARMINGTON, MI 48336  
PHONE: (248)-985-9101

## PROPOSED GAS STATION - USA 2 GO

GENOA TWP., MICHIGAN



SOUTH ELEVATION



SIGN ELEVATION



WEST ELEVATION



EAST ELEVATION

**GA** ASSOCIATES, INC.  
 ARCHITECTURAL DESIGN  
 24001 ORCHARD LAKE RD, STE. 180A  
 FARMINGTON, MI 48336  
 PHONE: (248)-985-9101

# PROPOSED GAS STATION - USA 2 GO

GENOA TWP., MICHIGAN



Environmental & Engineering Services Nationwide

ENVIRONMENTAL SERVICES

BUILDING ARCHITECTURE,  
ENGINEERING & SCIENCE

INDUSTRIAL HYGIENE SERVICES

BROWNFIELDS & ECONOMIC  
INCENTIVES CONSULTING

## POLLUTION INCIDENT PREVENTION PLAN (PIPP)

Corner of Grand Oaks, and Latson Road | Genoa Township, Michigan  
PM Project Number 01-4806-0

*Prepared for:*

**USA 2 Go**  
28265 Beck Road, C-2  
Wixom, Michigan 48393

*Prepared by:*

**PM Environmental, Inc.**  
3340 Ranger Road  
Lansing, Michigan 48906

Know Your Risk.  
Take Control.  
Work with the Experts.

[www.pmenv.com](http://www.pmenv.com)



## **TABLE OF CONTENTS**

1.0 INTRODUCTION and Site Background .....	1
1.1 Introduction .....	1
1.2 Site Background.....	1
1.3 Geology and Hydrogeology.....	1
2.0 Pollution Incident Prevention Plan .....	2
2.1 Surface Water Discharge .....	2
2.2 Hazardous Materials Storage.....	2
2.3 Hazardous Waste.....	3
2.4 Secondary Containment Measures .....	3
2.5 Responsible Parties .....	3
3.0 CONCLUSIONS.....	3

## **FIGURES**

- Figure 1: Property Vicinity Map  
Figure 2: Generalized Diagram of the Subject Property

## **APPENDICES**

- Appendix A: Material Safety Data Sheets

## **1.0 INTRODUCTION AND SITE BACKGROUND**

### **1.1 Introduction**

PM Environmental, Inc. (PM), completed this pollution incident prevention plan (PIPP) for the planned retail gasoline station to be located at the corner of Grand Oaks Avenue and Latson Road in Genoa Township, Livingston County, Michigan, hereafter referred to as the “subject property” (Figure 1), in general accordance with Genoa Township zoning Ordinance Article 13 – Environmental Protection Regulations.

### **1.2 Site Background**

The subject property size is approximately 1.77 acres in size and located at the southwest corner of Grand Oaks and Latson Road. The subject property is located within a commercial area bordered by Grand Oaks to the north, Latson Road to the east, Interstate 96 to the south, and vacant land to the west. The subject property was recently split from a larger parent parcel. The subject property is vacant with no trees.

The planned subject property building is to be located in south central portion of the subject property (Figure 2). Five gasoline and/or diesel fuel dispensers, will be located north of the building beneath a canopy. The proposed underground storage tank (UST) basin, containing one 30,000 gallon UST and one 10,000 gallon UST, will be located east of the subject property building near the eastern property boundary along Latson Road.

The subject property will operate as a retail gasoline dispensing station.

### **1.3 Geology and Hydrogeology**

A review of the 7.5 Minute, Mt. Clemens West Quadrangle, Map (Figure 1) prepared by the USGS, dated 1968, photorevised 1973 and 1980, indicates that the subject property is approximately 740 feet elevation relative to the NGVD. The immediate subject property area appears to slope slightly to the southeast towards Latson Road.

According to the Quaternary Geology of Southern Michigan Map (Farrand et. al., University of Michigan and United States Geological Survey, 1982), the regional geology for the subject property generally consists of end moraines of fine textured till: characterized by a gray, grayish brown or reddish brown, non-sorted glacial debris; matrix is dominantly clay, clay loam, or silty clay loam texture, variable amounts of cobbles and boulders. This soil type occurs in narrow linear belts of hummocky relief marking former still stands of ice-sheet margin and includes small areas of ground moraine as well as outwash. The thickness of this soil type tends to be somewhat greater than adjacent ground moraine areas.

The nearest surface water body is the north branch of the Marion and Genoa Drain located approximately 0.25 miles north of the subject property (Figure 1). The north branch of the Marion and Genoa Drain drains to the west to the south Branch of the Shiawassee River.

## **2.0 POLLUTION INCIDENT PREVENTION PLAN**

### **2.1 Surface Water Discharge**

The planned activities for the subject property will not include discharge of any type of wastewater to a storm sewer, drain, lake, stream, wetland, other surface water body, or into groundwater.

### **2.2 Hazardous Materials Storage**

The planned activities for the subject property will include the storage and retail sale of three hazardous substances including regular unleaded gasoline, premium unleaded gasoline, and diesel fuel (gasoline and diesel fuel). Material safety Data Sheets (MSDSs) for these hazardous substances is included in Appendix A.

The gasoline and diesel fuel will be stored in either of two USTs located on the east side of the subject property as shown on Figure 2. The USTs and associated product lines will be constructed of Fiberglass.

UST information based on the MDEQ files and site information are summarized below:

<b>Tank No.</b>	<b>Tank Location</b>	<b>Capacity (Gallons)</b>	<b>Contents</b>	<b>Material</b>
1	Easter Portion of Property	30,000	Regular Gasoline	Double Wall Fiberglass
2	Easter Portion of Property	10,000 with two 5,000 compartments	Premium Gasoline and Diesel	Double Wall Fiberglass

The UST system is designed for total containment of UST contents using double wall tanks, piping, containment sumps at tanks for piping, containment sumps under each dispenser, overfill prevention devices for filling the tanks, spill prevention on fill areas. Electronic management and environmental compliance console capable of monitoring double wall tanks, double wall lines, and dispenser containment sumps 24 hours a day.

All underground tank systems (USTs) shall be operated and maintained in general accordance with Part 211, Underground Storage Tanks of the Natural Resource and Environmental Protection Act (NREPA) Act 451 of 1994, as Amended (Part 211). Part 211 requires that USTs of this size (10,000 to 30,000 gallons) that are used for storage of regulated substances be registered with the Michigan Department of Environmental Quality (MDEQ) prior to use.

UST unloading/loading will be limited to the transfer of a gasoline or diesel fuel from a tanker truck to the individual compartments of the proposed 10,000 gallon and 30,000 gallon USTs. The tanker truck will park adjacent to the USTs outside of typical onsite traffic pathways with cones staged around the tanker and loading area to establish a loading area exclusion zone. A hose will then be run from the tanker truck and connected to the appropriate fill ports located on each UST. The tanker truck tires will be chocked and the tanker grounded prior to engaging in fuel delivery operations. Personnel will be present during fuel delivery operations to ensure no



leakage or spillage. If a leak or spill is observed, fuel delivery operations will be stopped immediately. The source of the leak or spill will be identified and repaired/remedied prior to engaging in additional fuel delivery operations. Any hazardous materials that are spilled will be contained and recovered with appropriate absorbent materials and disposed of in accordance to Federal, State, and local regulations.

### **2.3 Hazardous Waste**

The planned activities for the subject property will not include any transportation, on-site treatment, storage or disposal of hazardous waste.

### **2.4 Secondary Containment Measures**

The UST system is designed for total containment of UST contents using double wall tanks, piping, containment sumps at tanks for piping, containment sumps under each dispenser, overfill prevention devices for filling the tanks, spill prevention on fill areas.

### **2.5 Responsible Parties**

The following party will be responsible for the development of the planned retail gasoline dispensing station:

Kevin Bahnam  
USA 2 GO  
28265 Beck Rd.  
Wixom, MI 48393  
(248) 773-7992

Operation of the planned retail gasoline dispensing station may be contracted to another party after installation, permitting, and construction of all aspects of the planned development. The PIPP will be updated and submitted to Genoa Township if/when an operational agreement is implemented.

### **3.0 CONCLUSIONS**

This PIPP was prepared in general accordance with Genoa Township Regulations and contains all of the necessary documentation for the planned subject property development to be located at the corner the corner of Grand Oaks Avenue and Latson Road in Genoa Township, Livingston County, Michigan.

Please contact PM at (517) 321-3331 if you have any questions or comments regarding this PIPP.

Sincerely,  
**PM Environmental, Inc.**  
**REPORT WRITTEN BY:**



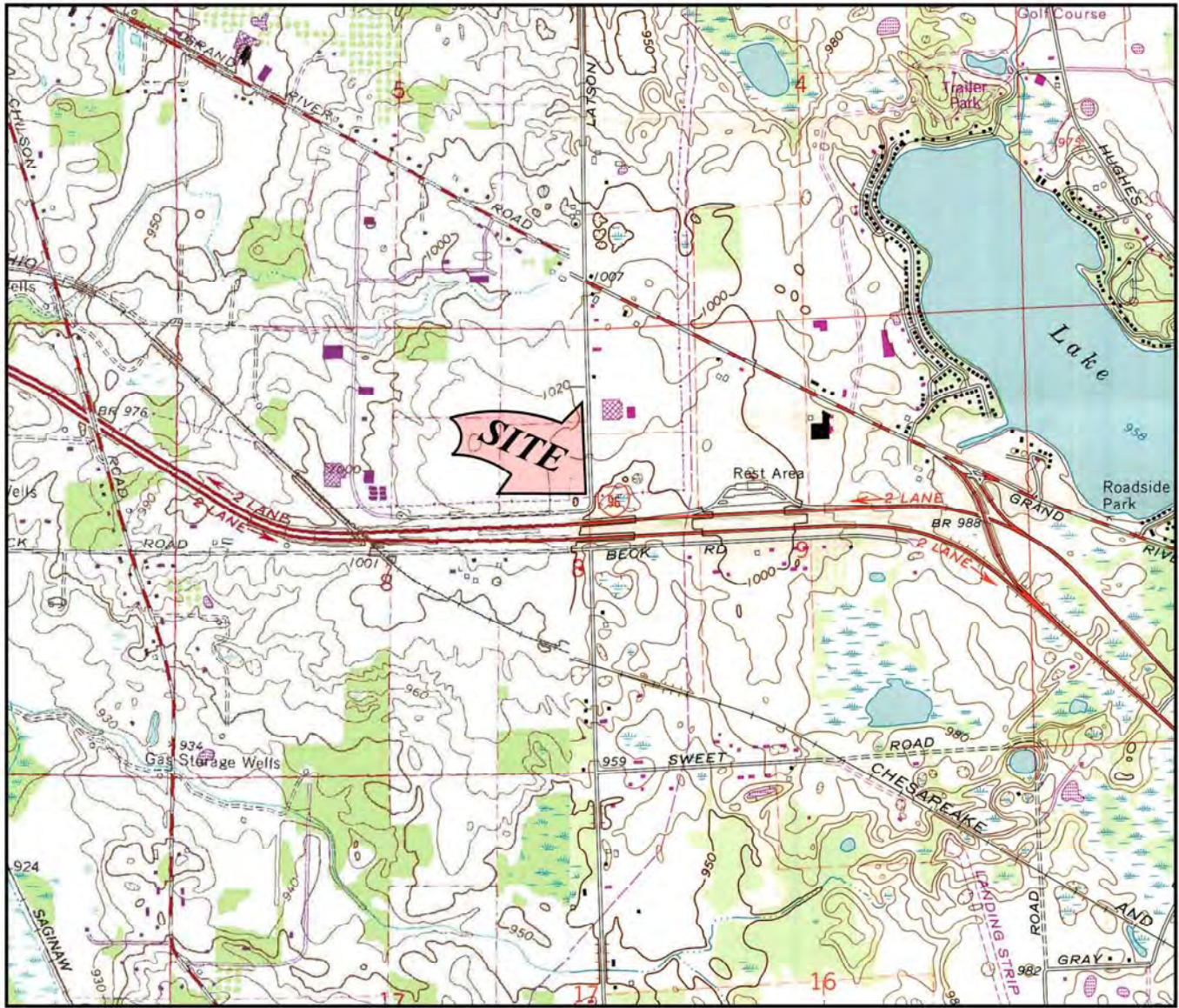
Stephen R. Zayko, P.E., C.P.G.  
Senior Engineer

**REPORT REVIEWED BY:**



J. Adam Patton, C.H.M.M.  
Manager of Site Investigation Services

# Figures



# LIVINGSTON COUNTY

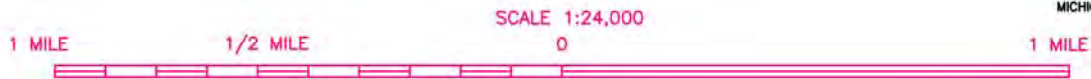
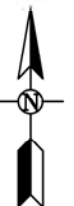


FIGURE 1  
 PROPERTY VICINITY MAP  
 USGS, 7.5 MINUTE SERIES  
 HOWELL, MI QUADRANGLE, 1968. PHOTO REVISED 1983.



**Environmental & Engineering Services**

PROJ:  
 PROPOSED GASOLINE DISPENSING STATION  
 CORNER OF LATSON ROAD AND GRAND  
 OAKS  
 BRIGHTON, MI

THIS IS NOT A LEGAL SURVEY

VERIFY SCALE

0 2,000'

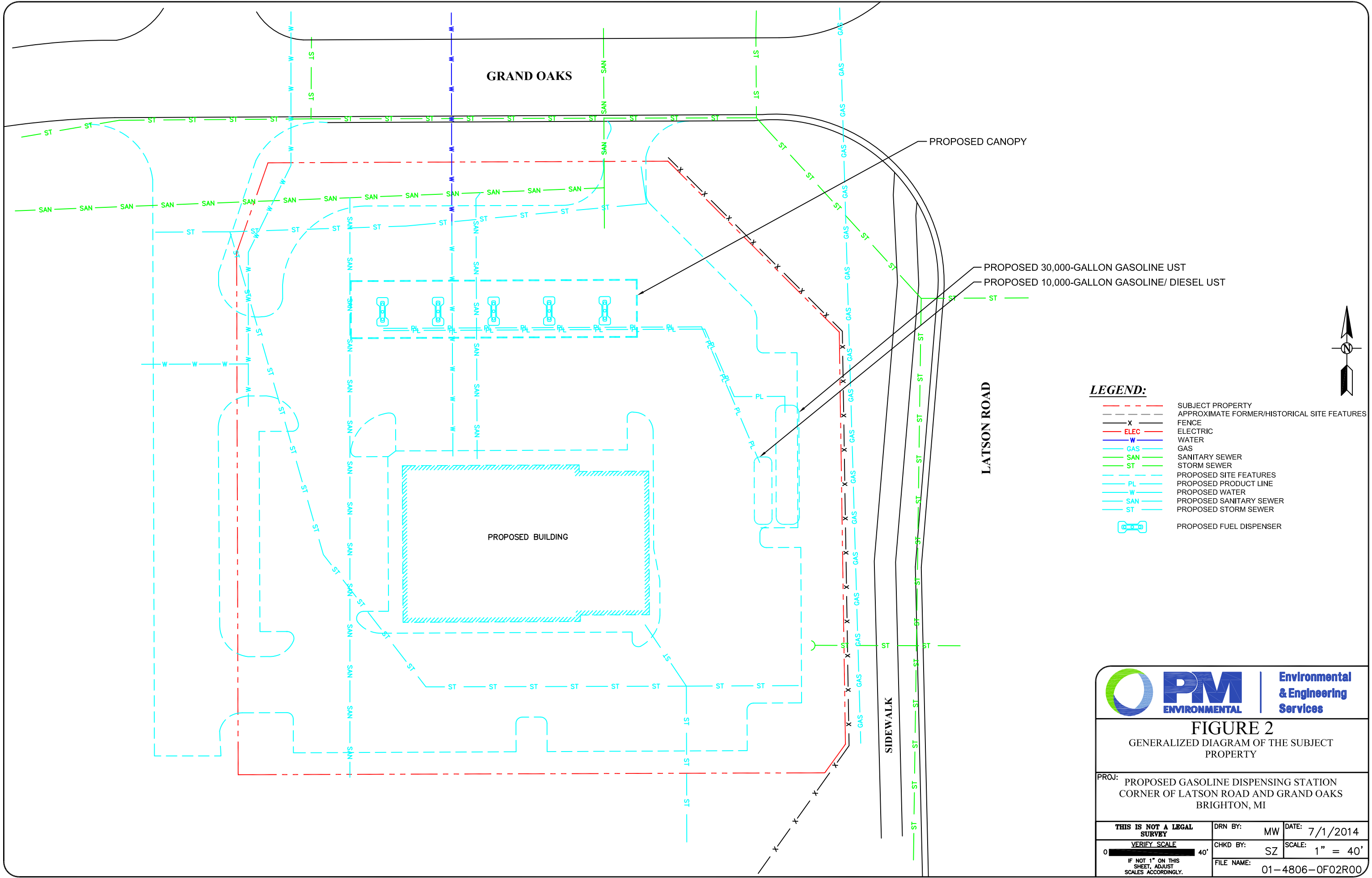
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY: MW DATE: 6/30/2014

CHKD BY: SZ SCALE: 1" = 2,000'

FILE NAME: 01-4806-0F01R00





**LEGEND:**

- SUBJECT PROPERTY
- APPROXIMATE FORMER/HISTORICAL SITE FEATURES
- X FENCE
- ELEC ELECTRIC
- W WATER
- GAS GAS
- SAN SANITARY SEWER
- ST STORM SEWER
- PL PROPOSED SITE FEATURES
- W PROPOSED PRODUCT LINE
- SAN PROPOSED SANITARY SEWER
- ST PROPOSED STORM SEWER
- PROPOSED FUEL DISPENSER



**FIGURE 2**  
GENERALIZED DIAGRAM OF THE SUBJECT PROPERTY

PROJ: PROPOSED GASOLINE DISPENSING STATION  
CORNER OF LATSON ROAD AND GRAND OAKS  
BRIGHTON, MI

<p><b>THIS IS NOT A LEGAL SURVEY</b></p> <p>VERIFY SCALE</p> <p>0  40'</p> <p>IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.</p>	DRN BY: MW	DATE: 7/1/2014
	CHKD BY: SZ	SCALE: 1" = 40'
FILE NAME: 01-4806-0F02R00		

# Appendix A





## MATERIAL SAFETY DATA SHEET

### 1. CHEMICAL PRODUCT AND COMPANY INFORMATION

**Product Name:** SUN SUPER93 10% ETH 6.8

**Manufacturer Information:**

Sunoco, Inc. (R&M)  
1735 Market Street LL  
  
Philadelphia, Pennsylvania, 19103-7583

**Product Use:**

Motor Fuel

**Emergency Phone Numbers:**

Chemtrec (800) 424-9300  
Sunoco Inc. (800) 964-8861

**Information:**

Product Safety Information (888) 567-3066

### 2. COMPOSITION/INFORMATION ON INGREDIENTS

Component	CAS No.	Amount (Vol%)
LIGHT PETROLEUM DISTILLATE	8006-61-9	99.9 - 99.9
TOLUENE	108-88-3	0 - 30
XYLENE	1330-20-7	0 - 25
ETHYL ALCOHOL	64-17-5	10 - 10
CYCLOHEXANE	110-82-7	0 - 9
ETHYL BENZENE	100-41-4	0 - 5
N-HEXANE	110-54-3	0 - 5
NAPHTHALENE	91-20-3	0 - 5
1,2,4-TRIMETHYLBENZENE	95-63-6	0 - 5
BENZENE	71-43-2	0.1 - 4.9
CUMENE	98-82-8	0 - 1

#### EXPOSURE GUIDELINES (SEE SECTION 15 FOR ADDITIONAL EXPOSURE LIMITS)

	CAS No.	Governing Body	Exposure Limits		
BENZENE	71-43-2	ACGIH	STEL	2.5	ppm
BENZENE	71-43-2	OSHA	STEL	5	ppm
BENZENE	71-43-2	ACGIH	TWA	0.5	ppm
BENZENE	71-43-2	OSHA	TWA	1	ppm
CUMENE	98-82-8	ACGIH	TWA	50	ppm
CUMENE	98-82-8	OSHA	TWA	50	ppm
CYCLOHEXANE	110-82-7	ACGIH	TWA	100	ppm
CYCLOHEXANE	110-82-7	OSHA	TWA	300	ppm
ETHYL ALCOHOL	64-17-5	ACGIH	TWA	1000	ppm



ETHYL ALCOHOL	64-17-5	OSHA	TWA	1000	ppm
ETHYL BENZENE	100-41-4	ACGIH	STEL	125	ppm
ETHYL BENZENE	100-41-4	ACGIH	TWA	100	ppm
ETHYL BENZENE	100-41-4	OSHA	TWA	100	ppm
N-HEXANE	110-54-3	ACGIH	TWA	50	ppm
N-HEXANE	110-54-3	OSHA	TWA	500	ppm
NAPHTHALENE	91-20-3	ACGIH	STEL	15	ppm
NAPHTHALENE	91-20-3	ACGIH	TWA	10	ppm
NAPHTHALENE	91-20-3	OSHA	TWA	10	ppm
TOLUENE	108-88-3	NIOSH	STEL	150	ppm
TOLUENE	108-88-3	ACGIH	TWA	20	ppm
TOLUENE	108-88-3	OSHA	TWA	200	ppm
XYLENE	1330-20-7	ACGIH	STEL	150	ppm
XYLENE	1330-20-7	ACGIH	TWA	100	ppm
XYLENE	1330-20-7	OSHA	TWA	100	ppm
LIGHT PETROLEUM DISTILLATE	8006-61-9	ACGIH	STEL	500	ppm
LIGHT PETROLEUM DISTILLATE	8006-61-9	ACGIH	TWA	300	ppm

### 3. HAZARDS IDENTIFICATION

- EMERGENCY OVERVIEW**

Danger! Extremely flammable liquid and vapor. Static accumulator. May form an ignitable vapor/air mixture. Vapors may cause flash fire or explosion. Excessive exposure to mists or vapors generated by heat may cause irritation to eyes, nose, throat, lungs and respiratory tract. Harmful or fatal if swallowed. Pulmonary aspiration hazard. While ingesting or vomiting, may enter lungs and produce damage. Harmful if inhaled. Overexposure may lead to serious disturbances of heart rhythm and nervous system effects, including drowsiness, dizziness, nausea, headaches, paralysis, loss of consciousness and even death. May cause skin irritation. May cause eye irritation. Contains material or materials that can cause cancer. Contains material or materials that may cause birth defects. May cause target organ or system damage to the following: central nervous system, eye, kidney, liver, respiratory system, skin, blood, cardiovascular system, heart, peripheral nervous system, bone marrow,

**Hazards Ratings:**

Key: 0 = least, 1 = slight, 2 = moderate, 3 = high, 4 = extreme

	<u>Health</u>	<u>Fire</u>	<u>Reactivity</u>	<u>PPI</u>
NFPA	1	3	0	
HMIS	2	3	0	X

- POTENTIAL HEALTH EFFECTS**

- PRE-EXISTING MEDICAL CONDITIONS AGGRAVATED BY EXPOSURE**

The following diseases or disorders may be aggravated by exposure to this product: skin, eye, blood forming organs, nervous system, respiratory system, lung (asthma-like conditions), cardiovascular system, liver, kidney,

- INHALATION**

High concentrations may lead to central nervous system effects (drowsiness, dizziness, nausea, headaches, paralysis and loss of consciousness and even death). May cause serious disturbances of heart rhythm. Excessive exposure to mists or vapors generated by heat may cause irritation to eyes, nose, throat, lungs and respiratory tract. Solvent "huffing/sniffing" (abuse) or intentional prolonged overexposure to high levels of vapors can produce abnormal behavior, convulsions, hallucinations, delirium, nervous system damage, serious disturbances of heart rhythm and sudden death. Repeated excessive exposures may cause blood disorders such as anemia and leukemia. Contains a material that has been related to cancer in humans. See Section 15 for additional information.

<b>LC50 (mg/l):</b>	no data
<b>LC50 (mg/m3):</b>	no data
<b>LC50 (ppm):</b>	no data

- **SKIN**  
Moderately irritating to the skin. Prolonged or repeated contact can result in defatting and drying of the skin which may result in skin irritation and dermatitis (rash).  
**Draize Skin Score:** 4.8 Out of 8.0  
**LD50 (mg/kg):** no data
- **EYES**  
Moderately irritating to the eyes. Contact with the eye may cause redness, burning, tearing and/or blurred vision.
- **INGESTION**  
Harmful or fatal if swallowed. Pulmonary aspiration hazard. While ingesting or vomiting, may enter lungs and produce damage. Irritating to mouth, throat, and stomach. May produce central nervous system effects, which includes dizziness, loss of balance and coordination, unconsciousness, coma and even death. Contains material or materials that can cause birth defects.  
**LD50 (g/kg):** no data

#### 4. FIRST AID MEASURES

- **INHALATION**  
Remove to fresh air. If not breathing, give artificial respiration. If breathing is difficult, give oxygen and continue to monitor. Get immediate medical attention.
- **SKIN**  
Immediately flush with large amounts of water for 20 minutes, use soap if available. Remove contaminated clothing, including shoes, after flushing has begun. Get prompt medical attention. Injection injuries may not appear serious at first but within a few hours, without proper treatment, the area will become swollen, discolored and extremely painful. Wash clothing before reuse.
- **EYES**  
Flush eye with water for 20 minutes. Get medical attention.
- **INGESTION**  
If swallowed, immediately contact a physician or Poison Control Center. Never give anything by mouth to an intoxicated, unconscious or convulsing person. Get immediate medical attention. Do not induce vomiting!

#### 5. FIRE FIGHTING MEASURES

- **EXTINGUISHING MEDIA**  
The following media may be used to extinguish a fire involving this material: Water spray; Regular foam; Dry chemical; Carbon dioxide;
- **FIRE FIGHTING INSTRUCTIONS**  
Use water spray to cool fire exposed tanks and containers. Wear structural fire fighting gear. The use of fresh air equipment such as Self Contained Breathing Apparatus (SCBA) or Supplied Air Respirators should be worn for fire fighting if exposure or potential exposure to products of combustion is expected.
- **FLAMMABLE PROPERTIES**  
STATIC ACCUMULATOR. This liquid may form an ignitable vapor-air mixture in closed tanks or containers.

	Typical	Minimum	Maximum	Text Result	Units	Method
Flash Point				MINUS 40 EST'D	F	N/A
Autoignition Temperature				750 ESTIMATED	F	N/A
Lower Explosion Limit	1.5				%	N/A
Upper Explosion Limit	7.6				%	N/A

#### 6. ACCIDENTAL RELEASE MEASURES

Prevent ignition, stop leak and ventilate the area. Contain spilled liquid with sand or earth. DO NOT use combustible materials such as sawdust. Absorb spill with inert material (e.g., dry sand or earth), then place in a chemical waste

container. Do not use spark-generating metals for sweeping up spilled material. Avoid runoff into storm sewers and ditches which lead to waterways. Vapor can be controlled using a water fog. Water streams should not be directed to the liquid as this will cause the liquid to boil and generate more vapor. Keep personnel upwind from leak. Use appropriate personal protective equipment as stated in Section 8 of this MSDS. Advise the Environmental Protection Agency (EPA) and appropriate state agencies, if required.

## **7. HANDLING AND STORAGE**

### **• HANDLING**

Follow all MSDS/label precautions even after container is emptied because it may retain product residue. Use only in a well-ventilated area. **STATIC ACCUMULATOR.** This liquid may form an ignitable vapor-air mixture in closed tanks or containers. This liquid may accumulate static electricity even when transferred into properly grounded containers. Bonding and grounding may be insufficient to remove static electricity. Static electricity accumulation may be significantly increased by the presence of small quantities of water. Always bond receiving container to the fill pipe before and during loading, following NFPA-77 and/or API RP 2003 requirements. Automatic gauging devices and other floats in vessels or tanks which contain static accumulating liquids should be electrically bonded to the shell. Bonding and grounding alone may be inadequate to eliminate fire and explosion hazards associated with electrostatic charges. In addition to bonding and grounding, efforts to mitigate the hazards of an electrostatic discharge may include, but are not limited to, ventilation, inerting and/or reduction of transfer velocities. Always keep the nozzle in contact with the container throughout the loading process. Do not fill any portable containers in or on a vehicle. Special precautions, such as reduced loading rates and increased monitoring, must be observed during "switch loading" operations (i.e. loading this material in tanks or shipping compartments that previously contained middle distillates or similar products). Non-equilibrium conditions may increase the risks associated with static electricity such as tank and container filling, tank cleaning, sampling, gauging, loading, filtering, mixing, agitation, etc. Dissipation of electrostatic charges may be improved with the use of conductivity additives when used with other mitigating efforts, including bonding and grounding. Avoid breathing (dust, vapor, mist, gas). Avoid contact with eyes, skin, and clothing. Wash thoroughly after handling. Never siphon by mouth. "Empty" containers retain product residue (liquid and/or vapor) and can be dangerous. **DO NOT PRESSURIZE, CUT, WELD, BRAZE, SOLDER, DRILL, GRIND, OR EXPOSE SUCH CONTAINERS TO HEAT, FLAME, SPARKS, STATIC ELECTRICITY, OR OTHER SOURCES OF IGNITION. THEY MAY EXPLODE AND CAUSE INJURY OR DEATH.** Empty drums should be completely drained, properly bunged, and promptly returned to a drum reconditioned, or properly disposed of. A static electrical discharge can accumulate when this material is flowing through pipes, nozzles or filters or when it is agitated. A static spark discharge can ignite accumulated vapors particularly during dry weather. Always bond receiving containers to the fill pipe before and during loading. Always keep nozzle in contact with the container throughout the loading process. Do not fill any portable container in or on the vehicle.

### **• STORAGE**

Keep away from heat, sparks, and flame. Keep container closed when not in use. Store in a cool dry place. Consult NFPA and / or OSHA codes for additional information. NFPA class IB storage. Flash point is less than 73 degrees F and boiling point is greater than or equal to 100 degrees F. Outside or detached storage is preferred.

## **8. EXPOSURE CONTROLS/PERSONAL PROTECTION**

Consult With a Health and Safety Professional for Specific Selections

### **• ENGINEERING CONTROLS**

Use process enclosures, local exhaust ventilation, or other engineering controls to control airborne levels below recommended exposure limits. Use with adequate ventilation. Local exhaust ventilation may be necessary to control any air contaminants to within their TLVs during the use of this product. Use explosion-proof ventilation equipment. Facilities storing or utilizing this material should be equipped with an eyewash facility and a safety shower.

### **• PERSONAL PROTECTION**

#### **▪ EYE PROTECTION**

Use chemical splash goggles and face shield (ANSI Z87.1 or approved equivalent).

#### **▪ GLOVES or HAND PROTECTION**

The glove(s) listed below may provide protection against permeation. Gloves of other chemically resistant materials may not provide adequate protection. Protective gloves are recommended to protect against contact with product. Nitrile; Viton; Teflon;



▪ **RESPIRATORY PROTECTION**

Concentration in air determines the level of respiratory protection needed. Use only NIOSH certified respiratory equipment. Half-mask air purifying respirator with organic vapor cartridges is acceptable for exposures to ten (10) times the exposure limit. Full-face air purifying respirator with organic vapor cartridges is acceptable for exposures to fifty (50) times the exposure limit. Exposure should not exceed the cartridge limit of 1000 ppm. Protection by air purifying respirators is limited. Use a positive pressure-demand full-face supplied air respirator or SCBA for exposures greater than fifty (50) times the exposure limit. If exposure is above the IDLH (Immediately Dangerous to Life and Health) or there is the possibility of an uncontrolled release, or exposure levels are unknown, then use a positive pressure-demand full-face supplied air respirator with escape bottle or SCBA. Wear a NIOSH-approved (or equivalent) full-facepiece airline respirator in the positive pressure mode with emergency escape provisions.

▪ **OTHER**

Where splashing is possible, full chemically resistant protective clothing and boots are required. The following materials are acceptable for use as protective clothing: Nitrile; Viton; Teflon; Facilities storing or utilizing this material should be equipped with an eyewash facility and a safety shower. Remove contaminated clothing and wash before reuse. For non-fire emergencies, positive pressure SCBA and structural firefighter's protective clothing will provide only limited protection.

**9. PHYSICAL AND CHEMICAL PROPERTIES**

Physical Property	Typical	Units	Text Result	Reference
Appearance		N/A	CLEAR LIQUID.	
Boiling Point		F	100 - 430	
Bulk Density		lb/gal	no data	
Liquid Conductivity		pS/m	< 50 (varies)	
Melting Point		F	no data	
Molecular Weight		g/mole	no data	
Octanol/Water Coefficient		N/A	no data	
pH		N/A	no data	
Specific Gravity	0.74	N/A		
Solubility In Water		wt %	NIL TO 15%	
Odor		N/A	GASOLINE ODOR.	
Odor Threshold		ppm	< 1	
Vapor Pressure		mmHg	325 - 525	@ 20 C
Viscosity (F)		SUS	no data	
Viscosity (C)		CsT	no data	
% Volatile	100	wt %		

**10. STABILITY AND REACTIVITY**

• **STABILITY**

Stable

• **CONDITIONS TO AVOID**

Avoid heat, sparks and open flame. Avoid static discharge.

• **INCOMPATIBILITY**

The following materials are incompatible with this product: Strong oxidizers Alkaline materials; Acids; Chlorine; Concentrated oxygen; Halogens and halogenated compounds; Hydrogen peroxide;

• **HAZARDOUS DECOMPOSITION PRODUCTS**

Combustion may produce carbon monoxide, carbon dioxide and other asphyxiants.

• **HAZARDOUS POLYMERIZATION**

Will not polymerize.

## 11. ECOLOGICAL INFORMATION

Gasoline spills are toxic to fish and aquatic flora.

## 12. DISPOSAL CONSIDERATIONS

Follow federal, state and local regulations. This material is a RCRA hazardous waste. Do not flush material to drain or storm sewer. Contract to authorized disposal service.

## 13. TRANSPORT INFORMATION

<u>Governing Body</u>	<u>Mode</u>	<u>Proper Shipping Name</u>
DOT	Ground	Gasohol

<u>Governing Body</u>	<u>Mode</u>	<u>Hazard Class</u>	<u>UN/NA No.</u>	<u>Label</u>
DOT	Ground	3 (Flammable liquid)	NA1203	

## 14. REGULATORY INFORMATION

This product contains the following EPCRA section 313 chemicals subject to the reporting requirements of the Emergency Planning and Community Right-To-Know Act of 1986 (40 CFR 372): Maximum Wt%: Toulene- CAS Number 108-88-3, 35%; Xylene- CAS Number 1330-20-7, 29%; Cyclohexane- CAS Number 110-82-7, 9.5%; Ethyl benzene- CAS Number 100-41-4, 6%; N-Hexane- CAS Number 110-54-3, 4.5%; Naphthalene- CAS Number 91-20-3, 8%; 1,2,4-Trimethylbenzene- CAS Number 95-63-6, 6%; Benzene- CAS Number 71-43-2, 5.8%. The remaining Sara 313 components listed in Section 14 of the MSDS are less than the reported de minimis levels. This information must be included in all MSDSs that are copied and distributed for this material.

<u>Regulatory List</u>	<u>Component</u>	<u>CAS No.</u>
ACGIH - Occupational Exposure Limits - Carcinogens	BENZENE	71-43-2
ACGIH - Occupational Exposure Limits - Carcinogens	ETHYL ALCOHOL	64-17-5
ACGIH - Occupational Exposure Limits - Carcinogens	ETHYL BENZENE	100-41-4
ACGIH - Occupational Exposure Limits - Carcinogens	NAPHTHALENE	91-20-3
ACGIH - Occupational Exposure Limits - Carcinogens	TOLUENE	108-88-3
ACGIH - Occupational Exposure Limits - Carcinogens	XYLENE	1330-20-7
ACGIH - Occupational Exposure Limits - TWAs	BENZENE	71-43-2
ACGIH - Occupational Exposure Limits - TWAs	CUMENE	98-82-8
ACGIH - Occupational Exposure Limits - TWAs	CYCLOHEXANE	110-82-7
ACGIH - Occupational Exposure Limits - TWAs	ETHYL ALCOHOL	64-17-5
ACGIH - Occupational Exposure Limits - TWAs	ETHYL BENZENE	100-41-4
ACGIH - Occupational Exposure Limits - TWAs	N-HEXANE	110-54-3
ACGIH - Occupational Exposure Limits - TWAs	NAPHTHALENE	91-20-3
ACGIH - Occupational Exposure Limits - TWAs	TOLUENE	108-88-3
ACGIH - Occupational Exposure Limits - TWAs	XYLENE	1330-20-7
ACGIH - Short Term Exposure Limits	BENZENE	71-43-2
ACGIH - Short Term Exposure Limits	ETHYL BENZENE	100-41-4
ACGIH - Short Term Exposure Limits	LIGHT PETROLEUM DISTILLATE	8006-61-9
ACGIH - Short Term Exposure Limits	NAPHTHALENE	91-20-3
ACGIH - Short Term Exposure Limits	XYLENE	1330-20-7
ACGIH - Skin Absorption Designation	BENZENE	71-43-2
ACGIH - Skin Absorption Designation	N-HEXANE	110-54-3
ACGIH - Skin Absorption Designation	NAPHTHALENE	91-20-3
ACGIH - Skin Absorption Designation	TOLUENE	108-88-3
CAA (Clean Air Act) - High Risk Haz Air Pollutants	BENZENE	71-43-2
CAA (Clean Air Act) - HON Rule - Organic HAPs	BENZENE	71-43-2
CAA (Clean Air Act) - HON Rule - Organic HAPs	CUMENE	98-82-8
CAA (Clean Air Act) - HON Rule - Organic HAPs	ETHYL BENZENE	100-41-4
CAA (Clean Air Act) - HON Rule - Organic HAPs	N-HEXANE	110-54-3

CAA (Clean Air Act) - HON Rule - Organic HAPs  
 CAA (Clean Air Act) - HON Rule - Organic HAPs  
 CAA (Clean Air Act) - HON Rule - Organic HAPs  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - HON Rule - SOCM Chemicals  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA (Clean Air Act) - VOCs in SOCM  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 CAA - 1990 Hazardous Air Pollutants  
 California - Prop. 65 - Developmental Toxicity  
 California - Prop. 65 - Developmental Toxicity  
 California - Prop. 65 - Developmental Toxicity  
 California - Prop. 65 - Reproductive - Male  
 California - Proposition 65 - Carcinogens List  
 California - Proposition 65 - Carcinogens List  
 California - Proposition 65 - Carcinogens List  
 Canada - CEPA - Sch. I - List of Toxic Substances  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
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 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 Canada - WHMIS - Ingredient Disclosure  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Haz Substances and their RQs  
 CERCLA/SARA - Section 313 - Emission Reporting  
 CERCLA/SARA - Section 313 - Emission Reporting  
 CERCLA/SARA - Section 313 - Emission Reporting  
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 CERCLA/SARA - Section 313 - Emission Reporting  
 CERCLA/SARA - Section 313 - Emission Reporting  
 CERCLA/SARA - Section 313 - Emission Reporting  
 CWA (Clean Water Act) - Hazardous Substances

NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 CYCLOHEXANE 110-82-7  
 ETHYL BENZENE 100-41-4  
 N-HEXANE 110-54-3  
 NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 CYCLOHEXANE 110-82-7  
 ETHYL ALCOHOL 64-17-5  
 ETHYL BENZENE 100-41-4  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 ETHYL BENZENE 100-41-4  
 N-HEXANE 110-54-3  
 NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 BENZENE 71-43-2  
 ETHYL ALCOHOL 64-17-5  
 TOLUENE 108-88-3  
 BENZENE 71-43-2  
 BENZENE 71-43-2  
 ETHYL BENZENE 100-41-4  
 NAPHTHALENE 91-20-3  
 BENZENE 71-43-2  
 1,2,4-TRIMETHYLBENZENE 95-63-6  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 CYCLOHEXANE 110-82-7  
 ETHYL ALCOHOL 64-17-5  
 ETHYL BENZENE 100-41-4  
 LIGHT PETROLEUM 8006-61-9  
 DISTILLATE  
 N-HEXANE 110-54-3  
 NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 CYCLOHEXANE 110-82-7  
 ETHYL BENZENE 100-41-4  
 N-HEXANE 110-54-3  
 NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 1,2,4-TRIMETHYLBENZENE 95-63-6  
 BENZENE 71-43-2  
 CUMENE 98-82-8  
 CYCLOHEXANE 110-82-7  
 ETHYL BENZENE 100-41-4  
 N-HEXANE 110-54-3  
 NAPHTHALENE 91-20-3  
 TOLUENE 108-88-3  
 XYLENE 1330-20-7  
 BENZENE 71-43-2



CWA (Clean Water Act) - Hazardous Substances	CYCLOHEXANE	110-82-7
CWA (Clean Water Act) - Hazardous Substances	ETHYL BENZENE	100-41-4
CWA (Clean Water Act) - Hazardous Substances	NAPHTHALENE	91-20-3
CWA (Clean Water Act) - Hazardous Substances	TOLUENE	108-88-3
CWA (Clean Water Act) - Hazardous Substances	XYLENE	1330-20-7
CWA (Clean Water Act) - Priority Pollutants	BENZENE	71-43-2
CWA (Clean Water Act) - Priority Pollutants	ETHYL BENZENE	100-41-4
CWA (Clean Water Act) - Priority Pollutants	NAPHTHALENE	91-20-3
CWA (Clean Water Act) - Priority Pollutants	TOLUENE	108-88-3
CWA (Clean Water Act) - Toxic Pollutants	BENZENE	71-43-2
CWA (Clean Water Act) - Toxic Pollutants	ETHYL BENZENE	100-41-4
CWA (Clean Water Act) - Toxic Pollutants	NAPHTHALENE	91-20-3
CWA (Clean Water Act) - Toxic Pollutants	TOLUENE	108-88-3
DEA - List II Essential Chemicals	TOLUENE	108-88-3
IARC - Group 1 (carcinogenic to humans)	BENZENE	71-43-2
IARC - Group 2B (Possibly carcinogenic to humans)	ETHYL BENZENE	100-41-4
IARC - Group 2B (Possibly carcinogenic to humans)	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
IARC - Group 2B (Possibly carcinogenic to humans)	NAPHTHALENE	91-20-3
IARC - Group 3 (not classifiable)	TOLUENE	108-88-3
IARC - Group 3 (not classifiable)	XYLENE	1330-20-7
Inventory - Australia (AICS)	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - Australia (AICS)	BENZENE	71-43-2
Inventory - Australia (AICS)	CUMENE	98-82-8
Inventory - Australia (AICS)	CYCLOHEXANE	110-82-7
Inventory - Australia (AICS)	ETHYL ALCOHOL	64-17-5
Inventory - Australia (AICS)	ETHYL BENZENE	100-41-4
Inventory - Australia (AICS)	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
Inventory - Australia (AICS)	N-HEXANE	110-54-3
Inventory - Australia (AICS)	NAPHTHALENE	91-20-3
Inventory - Australia (AICS)	TOLUENE	108-88-3
Inventory - Australia (AICS)	XYLENE	1330-20-7
Inventory - Canada - Domestic Substances List	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - Canada - Domestic Substances List	BENZENE	71-43-2
Inventory - Canada - Domestic Substances List	CUMENE	98-82-8
Inventory - Canada - Domestic Substances List	CYCLOHEXANE	110-82-7
Inventory - Canada - Domestic Substances List	ETHYL ALCOHOL	64-17-5
Inventory - Canada - Domestic Substances List	ETHYL BENZENE	100-41-4
Inventory - Canada - Domestic Substances List	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
Inventory - Canada - Domestic Substances List	N-HEXANE	110-54-3
Inventory - Canada - Domestic Substances List	NAPHTHALENE	91-20-3
Inventory - Canada - Domestic Substances List	TOLUENE	108-88-3
Inventory - Canada - Domestic Substances List	XYLENE	1330-20-7
Inventory - China	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - China	BENZENE	71-43-2
Inventory - China	CUMENE	98-82-8
Inventory - China	CYCLOHEXANE	110-82-7
Inventory - China	ETHYL ALCOHOL	64-17-5
Inventory - China	ETHYL BENZENE	100-41-4
Inventory - China	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
Inventory - China	N-HEXANE	110-54-3
Inventory - China	NAPHTHALENE	91-20-3
Inventory - China	TOLUENE	108-88-3
Inventory - China	XYLENE	1330-20-7
Inventory - European EINECS Inventory	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - European EINECS Inventory	BENZENE	71-43-2
Inventory - European EINECS Inventory	CUMENE	98-82-8
Inventory - European EINECS Inventory	CYCLOHEXANE	110-82-7
Inventory - European EINECS Inventory	ETHYL ALCOHOL	64-17-5

Inventory - European EINECS Inventory	ETHYL BENZENE	100-41-4
Inventory - European EINECS Inventory	LIGHT PETROLEUM DISTILLATE	8006-61-9
Inventory - European EINECS Inventory	N-HEXANE	110-54-3
Inventory - European EINECS Inventory	NAPHTHALENE	91-20-3
Inventory - European EINECS Inventory	TOLUENE	108-88-3
Inventory - European EINECS Inventory	XYLENE	1330-20-7
Inventory - Japan - (ENCS)	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - Japan - (ENCS)	BENZENE	71-43-2
Inventory - Japan - (ENCS)	CUMENE	98-82-8
Inventory - Japan - (ENCS)	CYCLOHEXANE	110-82-7
Inventory - Japan - (ENCS)	ETHYL ALCOHOL	64-17-5
Inventory - Japan - (ENCS)	ETHYL BENZENE	100-41-4
Inventory - Japan - (ENCS)	N-HEXANE	110-54-3
Inventory - Japan - (ENCS)	NAPHTHALENE	91-20-3
Inventory - Japan - (ENCS)	TOLUENE	108-88-3
Inventory - Japan - (ENCS)	XYLENE	1330-20-7
Inventory - Korea - Existing and Evaluated	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - Korea - Existing and Evaluated	BENZENE	71-43-2
Inventory - Korea - Existing and Evaluated	CUMENE	98-82-8
Inventory - Korea - Existing and Evaluated	CYCLOHEXANE	110-82-7
Inventory - Korea - Existing and Evaluated	ETHYL ALCOHOL	64-17-5
Inventory - Korea - Existing and Evaluated	ETHYL BENZENE	100-41-4
Inventory - Korea - Existing and Evaluated	LIGHT PETROLEUM DISTILLATE	8006-61-9
Inventory - Korea - Existing and Evaluated	N-HEXANE	110-54-3
Inventory - Korea - Existing and Evaluated	NAPHTHALENE	91-20-3
Inventory - Korea - Existing and Evaluated	TOLUENE	108-88-3
Inventory - Korea - Existing and Evaluated	XYLENE	1330-20-7
Inventory - New Zealand	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - New Zealand	BENZENE	71-43-2
Inventory - New Zealand	CUMENE	98-82-8
Inventory - New Zealand	CYCLOHEXANE	110-82-7
Inventory - New Zealand	ETHYL ALCOHOL	64-17-5
Inventory - New Zealand	ETHYL BENZENE	100-41-4
Inventory - New Zealand	LIGHT PETROLEUM DISTILLATE	8006-61-9
Inventory - New Zealand	N-HEXANE	110-54-3
Inventory - New Zealand	NAPHTHALENE	91-20-3
Inventory - New Zealand	TOLUENE	108-88-3
Inventory - New Zealand	XYLENE	1330-20-7
Inventory - Philippines Inventory (PICCS)	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - Philippines Inventory (PICCS)	BENZENE	71-43-2
Inventory - Philippines Inventory (PICCS)	CUMENE	98-82-8
Inventory - Philippines Inventory (PICCS)	CYCLOHEXANE	110-82-7
Inventory - Philippines Inventory (PICCS)	ETHYL ALCOHOL	64-17-5
Inventory - Philippines Inventory (PICCS)	ETHYL BENZENE	100-41-4
Inventory - Philippines Inventory (PICCS)	LIGHT PETROLEUM DISTILLATE	8006-61-9
Inventory - Philippines Inventory (PICCS)	N-HEXANE	110-54-3
Inventory - Philippines Inventory (PICCS)	NAPHTHALENE	91-20-3
Inventory - Philippines Inventory (PICCS)	TOLUENE	108-88-3
Inventory - Philippines Inventory (PICCS)	XYLENE	1330-20-7
Inventory - TSCA - Sect. 8(b) Inventory	1,2,4-TRIMETHYLBENZENE	95-63-6
Inventory - TSCA - Sect. 8(b) Inventory	BENZENE	71-43-2
Inventory - TSCA - Sect. 8(b) Inventory	CUMENE	98-82-8
Inventory - TSCA - Sect. 8(b) Inventory	CYCLOHEXANE	110-82-7
Inventory - TSCA - Sect. 8(b) Inventory	ETHYL ALCOHOL	64-17-5
Inventory - TSCA - Sect. 8(b) Inventory	ETHYL BENZENE	100-41-4
Inventory - TSCA - Sect. 8(b) Inventory	LIGHT PETROLEUM DISTILLATE	8006-61-9
Inventory - TSCA - Sect. 8(b) Inventory	N-HEXANE	110-54-3

Inventory - TSCA - Sect. 8(b) Inventory	NAPHTHALENE	91-20-3
Inventory - TSCA - Sect. 8(b) Inventory	TOLUENE	108-88-3
Inventory - TSCA - Sect. 8(b) Inventory	XYLENE	1330-20-7
Massachusetts - Right To Know List	1,2,4-TRIMETHYLBENZENE	95-63-6
Massachusetts - Right To Know List	BENZENE	71-43-2
Massachusetts - Right To Know List	CUMENE	98-82-8
Massachusetts - Right To Know List	CYCLOHEXANE	110-82-7
Massachusetts - Right To Know List	ETHYL ALCOHOL	64-17-5
Massachusetts - Right To Know List	ETHYL BENZENE	100-41-4
Massachusetts - Right To Know List	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
Massachusetts - Right To Know List	N-HEXANE	110-54-3
Massachusetts - Right To Know List	NAPHTHALENE	91-20-3
Massachusetts - Right To Know List	TOLUENE	108-88-3
Massachusetts - Right To Know List	XYLENE	1330-20-7
New Jersey - Department of Health RTK List	1,2,4-TRIMETHYLBENZENE	95-63-6
New Jersey - Department of Health RTK List	BENZENE	71-43-2
New Jersey - Department of Health RTK List	CUMENE	98-82-8
New Jersey - Department of Health RTK List	CYCLOHEXANE	110-82-7
New Jersey - Department of Health RTK List	ETHYL ALCOHOL	64-17-5
New Jersey - Department of Health RTK List	ETHYL BENZENE	100-41-4
New Jersey - Department of Health RTK List	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
New Jersey - Department of Health RTK List	N-HEXANE	110-54-3
New Jersey - Department of Health RTK List	NAPHTHALENE	91-20-3
New Jersey - Department of Health RTK List	TOLUENE	108-88-3
New Jersey - Department of Health RTK List	XYLENE	1330-20-7
New Jersey - Env Hazardous Substances List	1,2,4-TRIMETHYLBENZENE	95-63-6
New Jersey - Env Hazardous Substances List	BENZENE	71-43-2
New Jersey - Env Hazardous Substances List	CUMENE	98-82-8
New Jersey - Env Hazardous Substances List	CYCLOHEXANE	110-82-7
New Jersey - Env Hazardous Substances List	ETHYL BENZENE	100-41-4
New Jersey - Env Hazardous Substances List	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
New Jersey - Env Hazardous Substances List	N-HEXANE	110-54-3
New Jersey - Env Hazardous Substances List	NAPHTHALENE	91-20-3
New Jersey - Env Hazardous Substances List	TOLUENE	108-88-3
New Jersey - Env Hazardous Substances List	XYLENE	1330-20-7
New Jersey - Special Hazardous Substances	BENZENE	71-43-2
New Jersey - Special Hazardous Substances	CUMENE	98-82-8
New Jersey - Special Hazardous Substances	CYCLOHEXANE	110-82-7
New Jersey - Special Hazardous Substances	ETHYL ALCOHOL	64-17-5
New Jersey - Special Hazardous Substances	ETHYL BENZENE	100-41-4
New Jersey - Special Hazardous Substances	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	
New Jersey - Special Hazardous Substances	N-HEXANE	110-54-3
New Jersey - Special Hazardous Substances	TOLUENE	108-88-3
New Jersey - Special Hazardous Substances	XYLENE	1330-20-7
NTP - Report on Carcinogens - Known Carcinogens	BENZENE	71-43-2
NTP - Report on Carcinogens - Suspect Carcinogens	NAPHTHALENE	91-20-3
OSHA - Final PELs - Ceiling Limits	BENZENE	71-43-2
OSHA - Final PELs - Ceiling Limits	TOLUENE	108-88-3
OSHA - Final PELs - Short Term Exposure Limits	BENZENE	71-43-2
OSHA - Final PELs - Skin Notations	CUMENE	98-82-8
OSHA - Final PELs - Time Weighted Averages	BENZENE	71-43-2
OSHA - Final PELs - Time Weighted Averages	CUMENE	98-82-8
OSHA - Final PELs - Time Weighted Averages	CYCLOHEXANE	110-82-7
OSHA - Final PELs - Time Weighted Averages	ETHYL ALCOHOL	64-17-5
OSHA - Final PELs - Time Weighted Averages	ETHYL BENZENE	100-41-4
OSHA - Final PELs - Time Weighted Averages	N-HEXANE	110-54-3
OSHA - Final PELs - Time Weighted Averages	NAPHTHALENE	91-20-3
OSHA - Final PELs - Time Weighted Averages	TOLUENE	108-88-3



OSHA - Final PELs - Time Weighted Averages	XYLENE	1330-20-7
OSHA - Hazard Communication Carcinogens	BENZENE	71-43-2
OSHA - Specifically Regulated Carcinogens	BENZENE	71-43-2
Pennsylvania - RTK (Right to Know) List	1,2,4-TRIMETHYLBENZENE	95-63-6
Pennsylvania - RTK (Right to Know) List	BENZENE	71-43-2
Pennsylvania - RTK (Right to Know) List	CUMENE	98-82-8
Pennsylvania - RTK (Right to Know) List	CYCLOHEXANE	110-82-7
Pennsylvania - RTK (Right to Know) List	ETHYL ALCOHOL	64-17-5
Pennsylvania - RTK (Right to Know) List	ETHYL BENZENE	100-41-4
Pennsylvania - RTK (Right to Know) List	N-HEXANE	110-54-3
Pennsylvania - RTK (Right to Know) List	NAPHTHALENE	91-20-3
Pennsylvania - RTK (Right to Know) List	TOLUENE	108-88-3
Pennsylvania - RTK (Right to Know) List	XYLENE	1330-20-7
Pennsylvania - RTK - Environmental Hazard List	1,2,4-TRIMETHYLBENZENE	95-63-6
Pennsylvania - RTK - Environmental Hazard List	BENZENE	71-43-2
Pennsylvania - RTK - Environmental Hazard List	CUMENE	98-82-8
Pennsylvania - RTK - Environmental Hazard List	CYCLOHEXANE	110-82-7
Pennsylvania - RTK - Environmental Hazard List	ETHYL BENZENE	100-41-4
Pennsylvania - RTK - Environmental Hazard List	NAPHTHALENE	91-20-3
Pennsylvania - RTK - Environmental Hazard List	TOLUENE	108-88-3
Pennsylvania - RTK - Environmental Hazard List	XYLENE	1330-20-7
Pennsylvania - RTK - Special Hazardous Substances	BENZENE	71-43-2
TSCA - Sect. 12(b) - Export Notification	CYCLOHEXANE	110-82-7
TSCA - Sect. 12(b) - Export Notification	N-HEXANE	110-54-3
TSCA - Sect. 12(b) - Export Notification	NAPHTHALENE	91-20-3
TSCA - Section 4 - Chemical Test Rules	CYCLOHEXANE	110-82-7
TSCA - Section 4 - Chemical Test Rules	NAPHTHALENE	91-20-3
U.S. - DOT - Hazardous Substances and RQs (App A)	BENZENE	71-43-2
U.S. - DOT - Hazardous Substances and RQs (App A)	CUMENE	98-82-8
U.S. - DOT - Hazardous Substances and RQs (App A)	CYCLOHEXANE	110-82-7
U.S. - DOT - Hazardous Substances and RQs (App A)	ETHYL BENZENE	100-41-4
U.S. - DOT - Hazardous Substances and RQs (App A)	N-HEXANE	110-54-3
U.S. - DOT - Hazardous Substances and RQs (App A)	NAPHTHALENE	91-20-3
U.S. - DOT - Hazardous Substances and RQs (App A)	TOLUENE	108-88-3
U.S. - DOT - Hazardous Substances and RQs (App A)	XYLENE	1330-20-7
U.S. - DOT - Marine Pollutants - (App B)	LIGHT PETROLEUM	8006-61-9
	DISTILLATE	

### Title III Classifications Sections 311,312:

- Acute: **YES**
- Chronic: **YES**
- Fire: **YES**
- Reactivity: **NO**
- Sudden Release of Pressure: **NO**

### 15. OTHER INFORMATION

Follow all MSDS/label precautions even after container is emptied because it may retain product residue. Keep out of reach of children. Precautionary labeling for pumps, portable containers, and drums is required. A "hazardous when empty" pictogram and D.O.T. flammable liquid label are also required for drums. Details available upon request. Because benzene is present in this product above 0.1%, the Osha Standard for benzene is applicable to work locations upstream of final discharge from terminals. Consult 29CFR1910.1028 for details. Prolonged and repeated excessive exposures to benzene can result in blood disorders ranging from anemia to leukemia. Sun recommends that exposures to benzene be kept below 0.5 ppm for 8-hours; 2.5 ppm for 15-min. Normal service station operations are below these values. For use as motor fuel only. Do not use for any other purpose. **NOTE TO PHYSICIAN:** Catecholamines and similar adrenergic drugs are generally contraindicated because of potential for increased sensitivity of the heart from hydrocarbon overexposure and subsequent ventricular fibrillation. EKG monitoring may be indicated and bronchodilators should be selected with care. Following injection, prompt debridement of the wound is necessary to minimize necrosis and tissue loss. **COMPONENT TOXICITY:** Cumene may be harmful or fatal if

swallowed. Pulmonary aspiration hazard. After ingestion, may enter lungs and cause damage. May cause respiratory irritation, fluid in the lungs and lung damage. May be irritating to the skin and eyes. May cause nervous system effects, including drowsiness, dizziness, coma and even death. Overexposure has caused kidney, nose, and liver damage in laboratory animals. Following inhalation exposure, an increased tumor incidence has been observed in experimental animals. The significance of this finding to human health is presently unknown. Ethylbenzene, a component of this product, has been designated by the International Agency for Research on Cancer as "possibly carcinogenic to humans", based on increased tumor incidence in laboratory animals. Overexposure may lead to nervous system effects, including drowsiness, dizziness, nausea, headaches, paralysis, loss of consciousness and even death. Repeated overexposure has caused a hearing loss in laboratory animals. Hours of exposure to high airborne concentrations of xylene, a minor component of this product, has caused a hearing loss in laboratory animals.

July 1, 2010

Enclosed are Material Safety Data Sheets (MSDSs) for products purchased by your company. The information contained on the MSDS is designed to meet requirements under the OSHA Hazard Communication Standard (29 CFR 1910.1200).

**Sunoco, Inc. is able to provide electronic copies of our MSDSs to your company. If you would prefer to receive future copies of MSDSs electronically, please provide your email address or fax number in the space provided below.**

If you are not directly responsible for the distribution of MSDSs or the information on them, please forward them to the appropriate person. If your company is a distributor of this product, please forward this MSDS to your customer(s). If you wish to change your company's contact information, please provide the updated information below.

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**Change of Address Information**

Email Address: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
Contact Name and Title: \_\_\_\_\_  
Company Name: \_\_\_\_\_  
Street Address 1: \_\_\_\_\_  
Street Address 2: \_\_\_\_\_  
City, State, Zip, and Country: \_\_\_\_\_

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**Please return this form to the address listed below:**

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Sunoco, Inc.  
Product Safety Department  
10 Industrial Highway MS4  
Lester, PA 19113  
Fax: (866)-914-8171  
Phone: (888)-567-3066  
E-Mail: sunocomsds@sunocoinc.com

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MSDS Coordinator HIGH POINTE OIL COMPANY, IN R00493250501  
HIGH POINTE OIL COMPANY, INC. R00493250501  
31492 GLENDALE AVENUE  
LIVONIA, Michigan 48150 USA

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**GENOA CHARTER TOWNSHIP**  
**Application for Site Plan Review**

**GENOA TOWNSHIP**  
**JUN 04 2014**

**TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:**

**APPLICANT NAME & ADDRESS:** Jim Branscum, 10503 Citation Dr., Brighton, Mi., 48116  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

**OWNER'S NAME & ADDRESS:** Genoa Real Estate, L.L.C., 10503 Citation Dr., Brighton, Mi. 48116

**SITE ADDRESS:** 2200 Dorr Rd., Howell, Mi. 48843 **PARCEL #(s):** 11-15-200-018

**APPLICANT PHONE:** ( 810 ) 534-0150 **OWNER PHONE:** ( 810 ) 534-0150


**OWNER EMAIL:** jimbranscum@providersgroup.com

**LOCATION AND BRIEF DESCRIPTION OF SITE:** The site is located at the corner of Dorr Rd. & Sterling Dr. It is the site of the existing Wellbridge of Brighton Skilled Nursing Facility and adjacent parking.

**BRIEF STATEMENT OF PROPOSED USE:** This submission is solely for additional parking and minor landscape at the Northeast corner of the site

**THE FOLLOWING BUILDINGS ARE PROPOSED:** There are no additional buildings proposed, this submission is solely for additional parking.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

**BY:**  Jim Branscum  
**ADDRESS:** 10503 Citation Drive, Brighton, MI 48116


DDEREMERE  
JUDSTUDIO.COM

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

1.) DANIEL F DEREMER of ILLUSION at DDEREMERE@JUDSTUDIO.COM  
Name Business Affiliation E-mail Address

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 6/4/14  
PRINT NAME: DANIEL F. DEREMER PHONE: 248-336-2501  
ADDRESS: 412 S. WASHINGTON AVE, BTE. 100, ROYAL OAK, MI. 48067



July 8, 2014

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Mike Archinal, AICP Township Manager
<b>Subject:</b>	Wellbridge of Brighton parking lot expansion – Amendment to Approved PUD Plan (2 <sup>nd</sup> Review)
<b>Location:</b>	2200 Dorr Road – southwest corner of Dorr Road and Sterling Drive
<b>Zoning:</b>	MUPUD Mixed Use Planned Unit Development and TCOOD Town Center Overlay District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan (dated 6/24/14) proposing to amend the previously approved PUD Plan for the Wellbridge of Brighton skilled nursing facility, which is located at 2200 Dorr Road. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

**A. Summary**

1. If the proposed PUD amendment is approved, an amendment to the PUD Agreement must be executed between the owner and Township Board.
2. Because the future retail building is no longer part of the project, the Township will need to determine if the amendment alters the intent of the approved Conceptual PUD Plan.
3. The proposal results in the need for greater deviation from the building and parking frontage standards of the TCOOD than was originally allowed.
4. The amount of parking proposed exceeds the 120% limitation; therefore, Planning Commission approval is needed for the excess parking.
5. The applicant could reduce the amount of impervious surface by reducing the dimensions of proposed parking spaces that abut wide sidewalks, which are larger than required.
6. The landscape plan is deficient in greenbelt plantings along Dorr Road (8 canopy trees).
7. The Planning Commission may require a photometric plan to ensure current lighting requirements are met.

**B. Proposal/Process**

The applicant requests review and approval of an amendment to the approved PUD Plan for an expansion of their existing parking lot. Specifically, 58 new parking spaces are proposed as an extension of the existing parking lot along the site’s Dorr Road frontage and a portion of its Sterling Drive frontage.

The project also includes landscape islands within the new parking lot, as well as an extension of the bike path along Dorr Road and Sterling Drive. Additionally, 5 existing parking spaces are to be converted into 4 barrier free spaces immediately north of the existing building.

Section 10.11.04 requires Planning Commission review of amendments to an approved Final PUD Plan that are considered “major.” If the Commission determines that the proposed amendment significantly alters the intent of the approved Conceptual PUD Plan, then they may require submittal of a new concept plan. If the proposal is approved, the PUD Agreement must also be amended.





*Aerial view of site and surroundings (looking north)*

### C. Review

1. **Approved PUD Plan.** The approved PUD Plan for this development shows a future retail building and parking spaces in the northeast corner of the property. The intent for a future retail development is also noted in the PUD Agreement. The proposed amendment generally matches the parking layout shown on the approved plan, except the future retail building is replaced with 22 additional parking spaces.

The removal of a building for additional surface parking could be viewed as a significant change from the approved plan, particularly since the site is within the TCOD. If the Township finds this to be the case, they can require a new concept plan for the project.

2. **Dimensional Deviations.** As part of the original PUD approval for the Intech project, the Township granted several dimensional deviations for development of the site. Section 2.6 of the original PUD Agreement specifically notes dimensional deviations for reduced building setbacks, reduced building frontage and increased parking frontage. (As a side note, the PUD Plan and Agreement were amended in 2009 under the name Senior Care Equities allowing the development as it exists today.) The proposed amendment further reduces the building frontage and increases the parking frontage along both Dorr Road and Sterling Drive from that originally approved. As such, the proposal results in the need for greater deviation from the building and parking frontage standards of the TCOD.
3. **Open Space/MUPUD Acreage.** Given that the approved plan called for a retail building and parking in the area of the proposed parking lot, we do not believe the proposed amendment has any effect on the minimum open space or maximum non-residential/non-open space requirements of the MUPUD.
4. **Parking.** Per Section 14.04, nursing homes require 1 parking space for each 3 beds or 2 rooms, whichever is less, plus 1 space per employee during the peak shift. The submittal notes 88 beds, requiring 30 spaces and 86 employees totaling 116 required spaces.

As a result of the proposed expansion, the parking lot will provide 156 spaces, which is above the 120% threshold. Therefore, Planning Commission approval is required for the excess parking per Section 14.02.06.

In the letter dated 6-24-14 from the architect, it is noted that “During the initial project conception, a much lower number of employees required to efficiently run the facility was anticipated. This has resulted in a major parking deficiency that currently exists.”

The parking spaces, drive aisles and number of barrier free spaces all meet or exceed the requirements of Article 14. The drive aisles are 2 feet wider than required by the Zoning Ordinance but the applicant indicates the 26’ width was requested by the Fire Department. Additionally, the depth of spaces abutting a curb or the bike path may be reduced by 2 feet per Section 14.06.06. As such, there appears to be an opportunity to reduce the amount of impervious surface.

5. **Pedestrian Circulation.** As part of the original approval, an 8-foot concrete pathway was constructed along the developed portion of Dorr Road. The current project includes an extension of that pathway to the end of the site’s frontage on Dorr Road, as well as along the proposed developed portion of Sterling Drive.
6. **Vehicular Circulation.** Primary access to the site will remain to/from Dorr Road. Based on aerial photos, it appears as though there is an unimproved access point to Sterling Drive, which will be improved as part of this project. The driveway placement complies with the spacing requirement from the intersection.
7. **Landscaping.** The site plan identifies landscape islands within the expanded parking lot that meet the required width of 10’. Parking spaces are not drawn on sheet LS-1, but it appears that the islands are the same length as the parking spaces. Section 12.02.04 (g) requires that the length be 2’ shorter than adjacent spaces to improve maneuvering.

Section 12.02.03(a) requires 6 parking lot trees and 600 square feet of internal landscaped area. The proposal includes 11 new trees and more than 600 square feet of landscaped area.

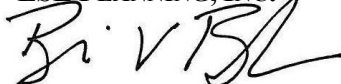
Section 12.02.01 requires a 20 foot wide greenbelt and 1 canopy tree for every 40 feet of frontage along Dorr Road. For this approximately 320 feet of frontage, eight canopy trees are required, but are not provided.

8. **Exterior Lighting.** Section 9.06 requires pedestrian scale ornamental lighting along streets and within parking lots. The lighting plan included identifies 7 parking lot light fixtures and two along Dorr Road. The Planning Commission may require a photometric plan be provided to ensure the proposed light levels comply with Section 12.03.
9. **Signs.** The submittal does not identify any proposed signage.
10. **Impact Assessment.** The submittal includes an Impact Assessment (dated 6/4/14), which notes that the proposed project is not expected to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Sincerely,

**LSL PLANNING, INC.**



Brian V. Borden, AICP  
Senior Planner



July 3, 2014

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Wellbridge Parking Expansion  
Site Plan Review #2**

Dear Mr. Archinal:

We have reviewed the resubmitted site plan documents from Design Services Company dated June 24, 2014, which were delivered to the Township Engineer on June 27, 2014. The petitioner is proposing to construct a net total of 57 additional parking spaces in a lot adjacent to the existing parking lot on the site.

Tetra Tech has reviewed the documents and determined that the petitioner has sufficiently addressed all previous comments. However, over the last several months a concern has arisen regarding the sanitary sewer discharge from the Wellbridge facility. Operators have seen a significant increase in maintenance of the pump station serving the Wellbridge facility and other neighboring parcels due to wipes being discharged to the sanitary system. This debris collects on the pumps and necessitates frequent cleaning. The discharge of wipes and rags into the sanitary sewer system is a violation of the sewer use ordinance. As part of the currently proposed site improvements, it is requested that the facility address the discharge issue either through the installation of a privately maintained septic tank to collect the debris prior to it reaching the public system or through the installation of a grinder on the discharge line to break down the debris being discharged. The proposed sanitary sewer improvement should be included on the current site plan being considered for approval.

Please call if you have any questions.

Sincerely,

A blue ink signature of Gary J. Markstrom.

Gary J. Markstrom, P.E.  
Unit Vice President

A blue ink signature of Joseph C. Siwek.

Joseph C. Siwek, P.E.  
Project Engineer

copy: Daniel F. Deremer, JW Design Architectural Studio





# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

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July 7, 2014

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Wellbridge of Brighton  
2200 Dorr Rd.  
Site Plan Review – Parking Lot Expansion

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on June 27, 2014 and the drawings are dated June 24, 2014. The project is based on an expansion of the parking lot. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. Previous comments appear to be addressed by the applicant in the revised submittal.

This proposed parking lot expansion will provide an additional access drive off of Sterling Dr. which will enhance the fire department's access to the site if the primary drive is not usable.

This site plan is recommended for approval without any further comments from the fire department.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "Michael Evans".

Michael Evans, EFP, CFPS  
Deputy Fire Chief

June 4<sup>th</sup>, 2014

# Environmental Impact Assessment Report

Site Plan Submittal

## **Project:**

Additional Parking Installation at the Wellbridge of Brighton

2200 Dorr Rd.

Howell, Mi. 48843

## **Table of Contents**

Project Introduction

Criteria:

- Location
- Impact on Natural Features
- Impact on Stormwater Management
- Impact on Surrounding Land Uses
- Impact on public facilities and services
- Impact on public utilities
- Storage and handling of hazardous materials
- Traffic Impact Study
- Historic and Cultural References
- Special Provisions
- Building Relationships
- Impact on Surrounding Land Uses and Zoning

Attachments

- Aerial Photo of Project Site (Exhibit 1)
- Original Civil Site plan illustrating approved additional parking during facility site plan approval (Exhibit 2)



## **Project Introduction**

This project consists solely of the addition of added parking at the Northeast corner of the project site. The parking was previously approved for this site, and will have minimal impact on the surrounding uses.

## **Location**

The project is located at Northeast corner of the existing site for the Wellbridge of Brighton Skilled Nursing Facility (refer to Exhibit 1)

## **Impact on Natural Features**

The proposed parking will have minimal impact on the existing natural features. The parking will not impede on the 25' wetlands buffer boundary, as indicated in the original site plan approval documents. There are no other natural features of this site being impacted (refer to Exhibit 2)

## **Impact on Storm Water management**

There will be minimal impact on Storm Water management with this additional parking. The storm water will be directed into the adjacent sedimentation basin No. 3. Refer to submitted plans for further information.

## **Impact on Surrounded Land Uses**

There will be little to no impact on the surrounding land uses for this additional parking. The parking was initially approved with the original site plan approval documents, and the impact on the surrounding land uses was taken into account at this time.

## **Impact on Public Facilities and Services**

There will be little to no impact on public facilities and services

## **Impact on Public Utilities**

There will be little to no impact on public utilities. As mentioned previously, this project was approved with the additional parking, and the impact on the public facilities and utilities was taken into account with the approval.

## **Storage and handling of hazardous materials**

There will be no hazardous materials stored on site.



### **Traffic Impact Study**

The traffic impact of this additional parking was studied during the initial site plan approval process, and determined to be acceptable for this site (refer to exhibit 2). This was approved with additional retail that is not being utilized, and the parking is solely to support the existing facility. The traffic impact of this parking addition will be minimal.

### **Historical and Cultural References**

This does not apply, as the project is solely for additional parking for the existing facility.

### **Special Provisions**

There are no special provisions for this project.

### **Building Relationships**

This project solely relates to the exiting Wellbridge of Brighton Facility, and has no connection to any other adjacent structures.

### **Impact on Surrounding land uses and Zoning**

As this parking was previously approved during the initial site plan approval process, the impact on surrounding land uses was studied, and is minimal.

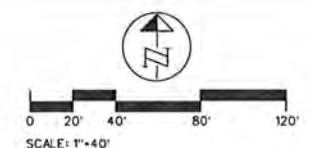
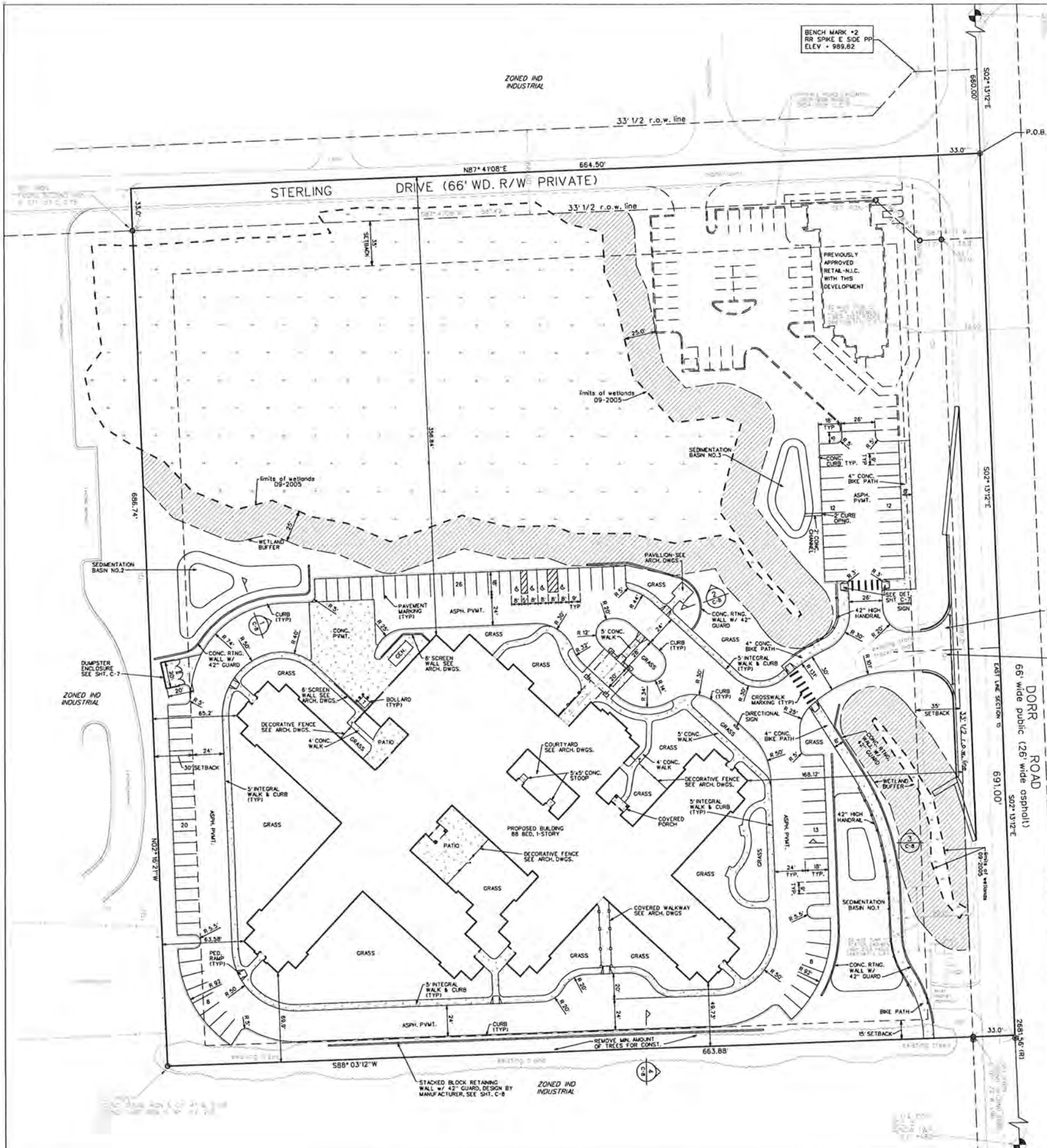




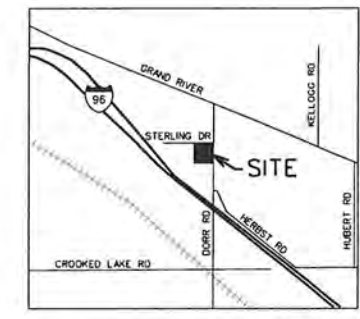
PROPOSED  
ADDITIONAL PARKING  
LOCATION

EXISTING  
WELLBRIDGE OF  
BRIGHTON FACILITY





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**LEGAL DESCRIPTION**

PART OF THE NE 1/4 OF SECTION 15, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15, THENCE ALONG THE EAST LINE OF SAID SECTION 15, S02°13'12"E, 660.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID EAST LINE OF SECTION 15, S02°13'12"E, 691.00 FEET; THENCE S88°03'12"W, 663.88 FEET; THENCE N02°16'21"W, 686.74 FEET; THENCE ALONG THE CENTERLINE OF STERLING DRIVE (66 FOOT WIDE) N87°41'08"E, 664.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.50 ACRES, MORE OR LESS SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EXISTING STERLING DRIVE (66' WIDE) AND DORR ROAD (66 FOOT WIDE) AND ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

**FLOODPLAIN**

THIS PROPERTY IS NOT WITHIN THE ZONE "A" 100-YEAR FLOODPLAIN AS SHOWN ACCORDING TO COMMUNITY-PANEL NUMBER 26093C0330 D OF THE FLOOD INSURANCE RATE MAP FOR LIVINGSTON COUNTY, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 17, 2008.

**SURVEYOR'S NOTE**

TOPOGRAPHIC AND BOUNDARY INFORMATION IS TAKEN FROM A SURVEY PREPARED BY ADVANTAGE CIVIL ENGINEERS, 5040 QUEENSWAY, HOWELL, MI, 517-545-4141, DATED JULY 18, 2011.

LEGEND		
DESCRIPTION	NEW	EXISTING
BUILDING	[Symbol]	[Symbol]
PAVEMENT	[Symbol]	[Symbol]
PAVEMENT	[Symbol]	[Symbol]
STORM SEWER	[Symbol]	[Symbol]
STORM SEWER	[Symbol]	[Symbol]
GRAVITY SANITARY SEWER	[Symbol]	[Symbol]
SANITARY SEWER FORCE MAIN	[Symbol]	[Symbol]
WATER	[Symbol]	[Symbol]
DOMESTIC WATER SERVICE	[Symbol]	[Symbol]
FIRE PROTECTION WATERLINE	[Symbol]	[Symbol]
NATURAL GAS	[Symbol]	[Symbol]
UNDERGROUND ELECTRICAL LINE	[Symbol]	[Symbol]
OVERHEAD ELECT.	[Symbol]	[Symbol]
TELEPHONE LINE	[Symbol]	[Symbol]
UNDERGROUND CABLE TV	[Symbol]	[Symbol]
SANITARY SEWER EASEMENT	[Symbol]	[Symbol]
WATER MAIN EASEMENT	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
YARD DRAIN	[Symbol]	[Symbol]
OUTLET STRUCTURE	[Symbol]	[Symbol]
SANITARY MANHOLE	[Symbol]	[Symbol]
CLEANOUT	[Symbol]	[Symbol]
FIRE HYDRANT & VALVE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
POWER POLE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
TREE	[Symbol]	[Symbol]
ELEVATION	(982.00)	[Symbol]
PROPERTY LINE	[Symbol]	[Symbol]
RIGHT-OF-WAY	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
DITCH OR SWALE	[Symbol]	[Symbol]
CONTOUR LINE	[Symbol]	[Symbol]
TELEPHONE PEDESTAL	[Symbol]	[Symbol]
ELECTRIC TRANSFORMER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]

**SITE DATA**

**ZONING**  
EXISTING: MIXED USE PUD w/ TOWN CENTER OVERLAY (COMMERCIAL/INDUSTRIAL)  
PROPOSED: MIXED USE PUD w/ TOWN CENTER OVERLAY (COMMERCIAL/RESIDENTIAL)

**SITE AREA**  
UPLAND AREA - 8.29 ACRES  
WETLAND AREA - 2.21 ACRES  
TOTAL AREA - 10.50 ACRES

**BUILDING**  
PROPOSED BUILDING: 1-STORY, 88 BEDS, 54,880 SF

**PARKING**  
PARKING REQUIRED - 1 SPACE/3 BEDS + 1 SPACE PER EMPLOYEE + 88/3 + 44 EMPLOY. + 74 SPACES

**PARKING PROPOSED**  
STANDARD - 95 SPACES  
ACCESSIBLE - 4 SPACES  
TOTAL PROVIDED - 99 SPACES

**SETBACKS**  
FRONT (DORR RD. & STERLING DR.) - 35'  
SIDE - 15'  
REAR - 30'

**INDEX OF SHEETS**

- C-1 SITE PLAN
  - C-2 GRADING PLAN
  - C-3 UTILITY PLAN
  - C-4 DRIVE APPROACH PLAN AND DETAILS
  - C-5 EROSION CONTROL PLAN
  - C-6 EROSION CONTROL DETAILS
  - C-7 GENERAL NOTES AND DETAILS
  - C-8 DETAILS
  - C-9 UTILITY PROFILES
  - C-10 STORM SEWER PROFILES
  - C-11 SEDIMENTATION BASIN CALCULATIONS
- GENOA TOWNSHIP STANDARD SHEETS  
SANITARY SEWER STANDARD DETAILS  
WATER MAIN STANDARD DETAILS

**OWNER/DEVELOPER**  
GENOA REAL ESTATE, LLC  
10503 CITATION DR.  
BRIGHTON, MI 48116  
JAMES BRANSCUM

REVISED PER AGENCIES REVIEW COMMENTS	DS	9-27-11
APPROVAL	DS	8-24-11
ISSUED FOR	BY	DATE
design services company 1716 Perrysburg-Holland Rd. Holland, Ohio 43528 (419)-865-8600		
<b>BRIGHTON SKILLED NURSING FACILITY</b> GENOA TOWNSHIP, LIVINGSTON CO., MI		PROJ# 09030 SHEET C-1
TITLE SITE PLAN		



# PARKING EXPANSION AT THE WELLBRIDGE OF BRIGHTON SKILLED NURSING FACILITY



**OWNER**  
GENOA REAL ESTATE, LLC.  
10503 CITATION DR.  
STE. 100  
BRIGHTON, MI 48116  
P: (810) 534-0150

**PROJECT ADDRESS:**  
THE WELLBRIDGE OF BRIGHTON  
2200 DORR RD.  
HOWELL, MI. 48843

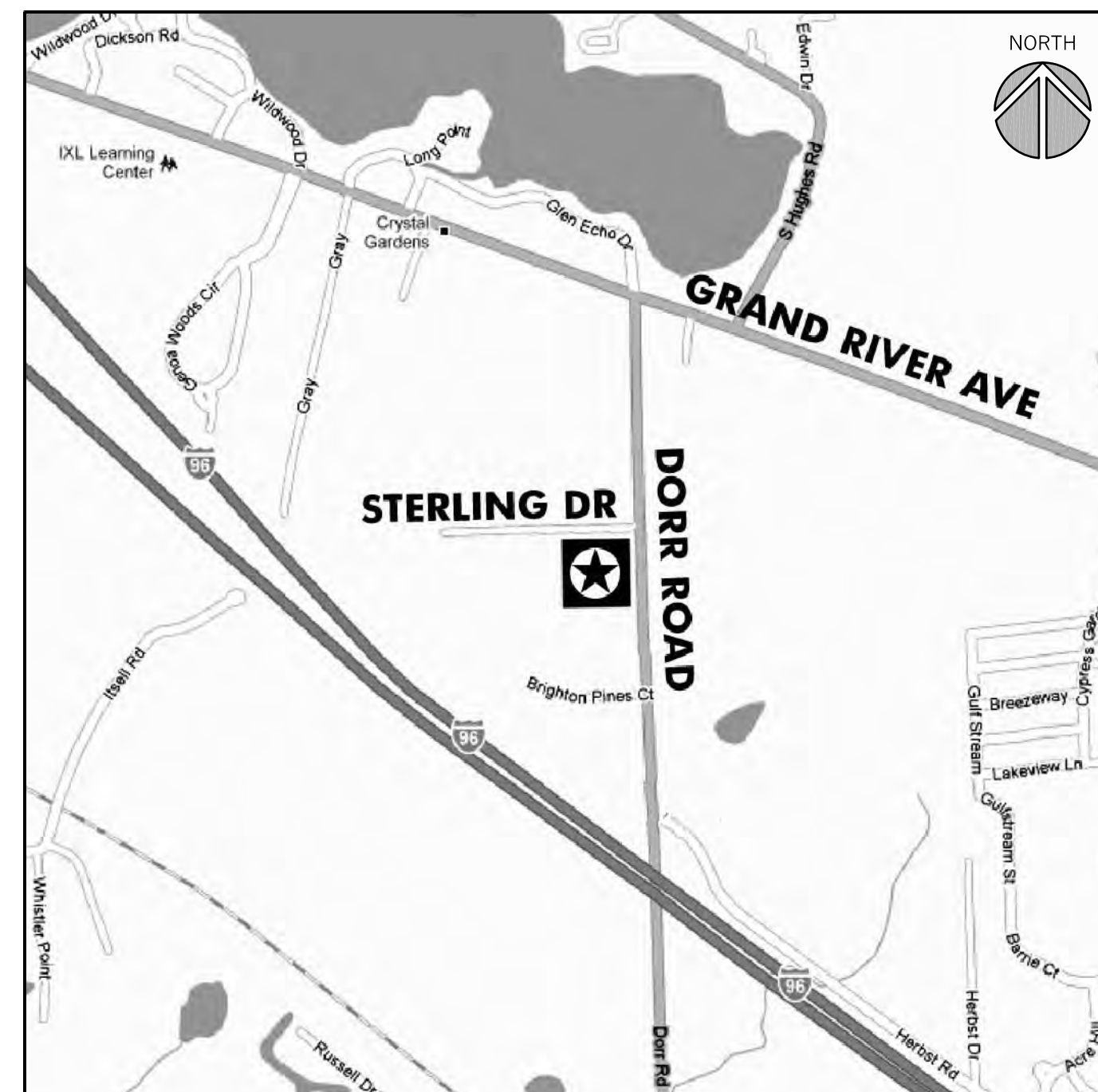
412 S. WASHINGTON ST, SUITE 100  
ROYAL OAK, MICHIGAN 48067  
PHONE: (248) 336-2501  
FAX: (248) 336-2107  
EMAIL: INFO@JWDSTUDIO.COM  
WEBSITE: WWW.JWDSTUDIO.COM

## PROJECT SCOPE

THIS PROJECT IS THE ADDITION OF 58 NEW PARKING SPOTS, ADJACENT LANDSCAPING, SITE LIGHTING, BIKE PATH EXTENSION, AND LANDSCAPE ISLANDS AT THE NORTH END OF THE EXISTING WELLBRIDGE OF BRIGHTON SKILLED NURSING FACILITY. THIS PARKING IS BEING IMPLEMENTED TO ALLEVIATE A DEFICIENCY IN PARKING THAT CURRENTLY EXISTS AT THE FACILITY, AND WILL TAKE ADVANTAGE OF PREVIOUSLY PROPOSED PARKING SPACE THAT WAS NOT IMPLEMENTED IN THE ORIGINAL CONSTRUCTION PROJECT.

## LOCATION MAP

SCALE: NOT TO SCALE



## LEGAL DESCRIPTION

PART OF THE NE 1/4 OF SECTION 15, T2N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15, THENCE ALONG THE EAST LINE OF SAID SECTION 15, S02°13'12"E, 691.00 FEET; THENCE S88°03'12"W, 663.88 FEET; THENCE N02°16'21"W 686.74 FEET; THENCE ALONG THE CENTERLINE OF STERLING DRIVE (66 FOOT WIDE) N87°41'08"E, 664.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.50 ACRES, MORE OR LESS SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EXISTING STERLING DRIVE (66 FOOT WIDE) AND DORR ROAD (66 FOOT WIDE) AND ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

**FLOODPLAIN:**  
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**SURVEYOR'S NOTE:**  
TOPOGRAPHIC AND BOUNDARY INFORMATION IS TAKEN FROM A SURVEY PREPARED BY ADVANTAGE CIVIL ENGINEERS, 5040 QUEENSWAY, HOWELL, MI, (517) 545-4141, DATED JULY 18, 2011.

## DRAWING INDEX

COVER	COVER SHEET	X			
C-1	SITE PLAN	X			
C-2	GRADING PLAN	X			
C-3	UTILITY PLAN	X			
C-4	EROSION CONTROL PLAN	X			
C-5	GENERAL NOTES AND DETAILS	X			
DA-1	DRAINAGE AREA PLAN	X			
LS-1	SITE LANDSCAPE PLAN	X			
LS-2	LANDSCAPE DETAILS	X			
E01.01	SITE LIGHTING PLAN	X			
E01.02	LUMINAIRE CUT SHEETS	X			

## PROJECT # 14005 ISSUE: SITE PLAN APPROVAL ISSUED: 06/24/2014

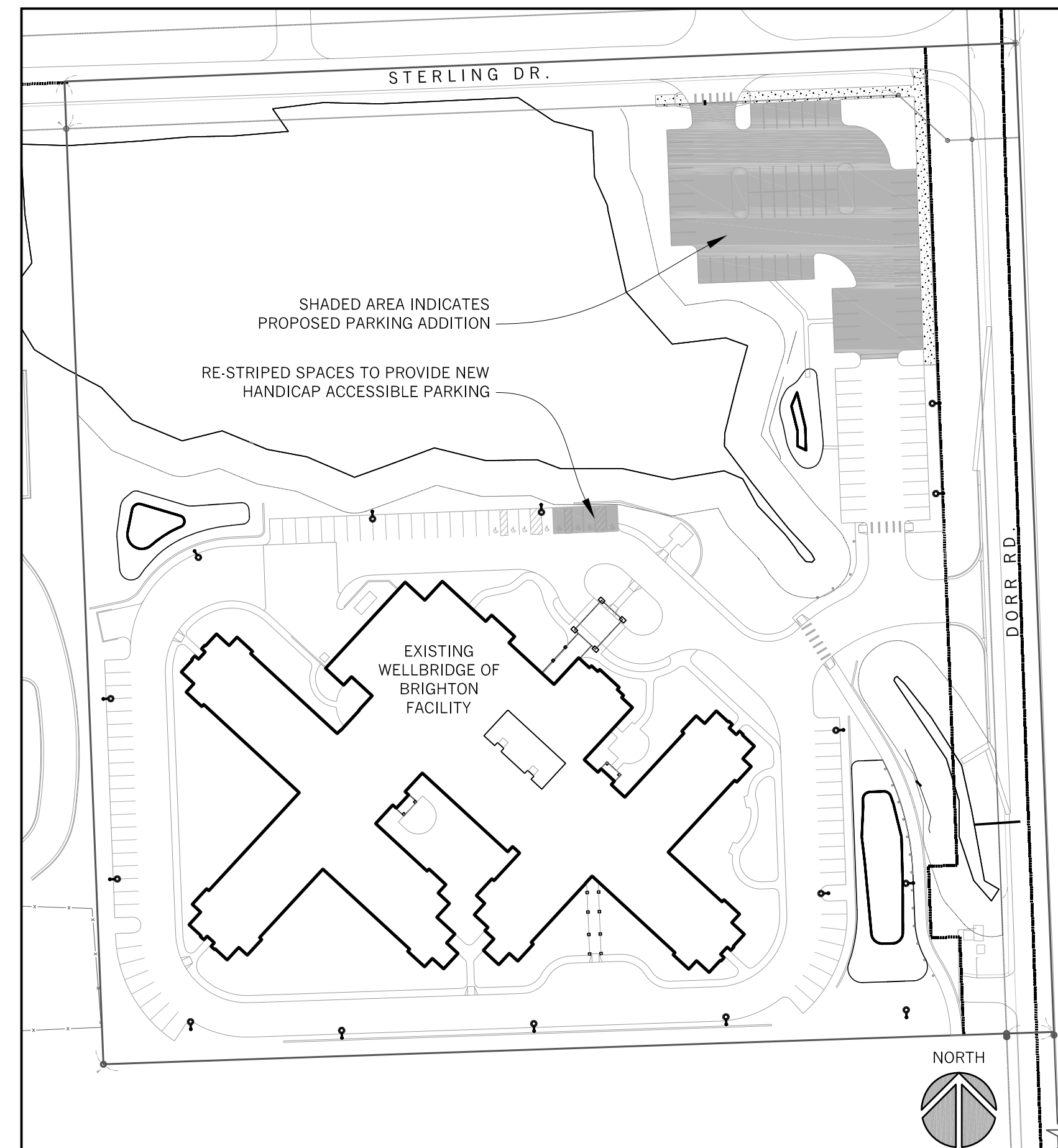
## CONSULTANTS

**CIVIL ENGINEER**  
DESIGN SERVICES CO.  
1716 PERRYSBURG-HOLLAND RD.  
HOLLAND, OH. 43528  
(419) 865-8600

**LANDSCAPE ARCHITECT**  
KENNETH WEIKAL  
LANDSCAPE ARCHITECTURE  
33203 BIDDESTONE LANE  
FARMINGTON HILLS, MI. 48334  
(248) 477-3600

## SITE MAP

SCALE: 1" = 1000'



## PARKING REVIEW

<b>PARKING REQUIRED</b>		
1 SPACE PER 3 BEDS OR	88 BEDS/3	30 SPACES
2 ROOMS WHICHEVER IS LESS	72 ROOMS/2	36 SPACES
1 SPACE PER EACH EMPLOYEE	86 EMPLOYEES (PEAK SHIFT)	86 SPACES
<b>TOTAL REQUIRED</b>		<b>116 SPACES</b>
<b>EXISTING SPACES</b>		<b>99 SPACES</b>
HANDICAP ACCESSIBLE SPACES		4 (EXISTING)
<b>PROPOSED SPACES</b>		<b>58 NEW SPACES</b>
HANDICAP ACCESSIBLE SPACES		4 NEW SPACES
<b>NOTE: ONE EXISTING SPACE RESTRIPTED TO CREATE 4- NEW ACCESSIBLE SPACES</b>		
<b>PROJECT TOTAL AFTER EXPANSION:</b>		
REQUIRED SPACES		116 SPACES
PROPOSED NEW SPACES		58 SPACES
EXISTING SPACES		98 SPACES
<b>TOTAL SPACES</b>		<b>156 SPACES</b>
REQUIRED HANDICAP ACCESSIBLE SPACES =	ADA REQUIREMENTS =	
	151 TO 200 SPACES = 6 SPACES	
<b>PROVIDED HANDICAP ACCESSIBLE SPACES</b>		<b>8 SPACES</b>

SHEET CONTENTS:

**COVER SHEET**

DATE: DESCRIPTION: DRAWN BY:

**RECEIVED**  
By GENOA TOWNSHIP PLANNING DEPT at 10:45 am, Jun 27, 2014

06/24/14 SITE PLAN APPROVAL JS, RS  
DATE: DESCRIPTION: DRAWN BY:

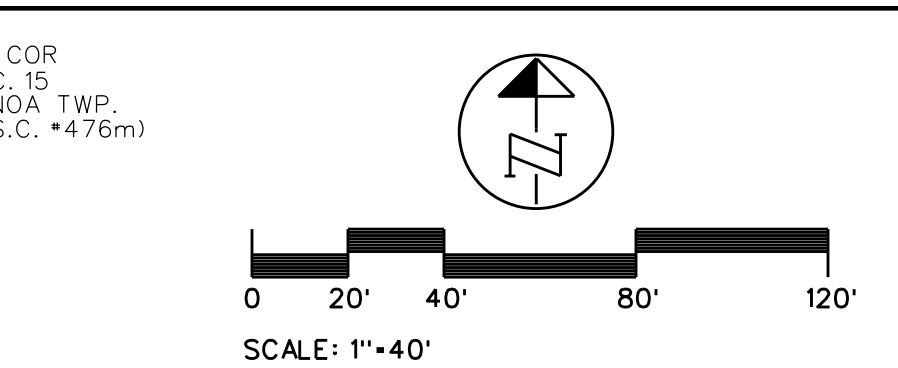
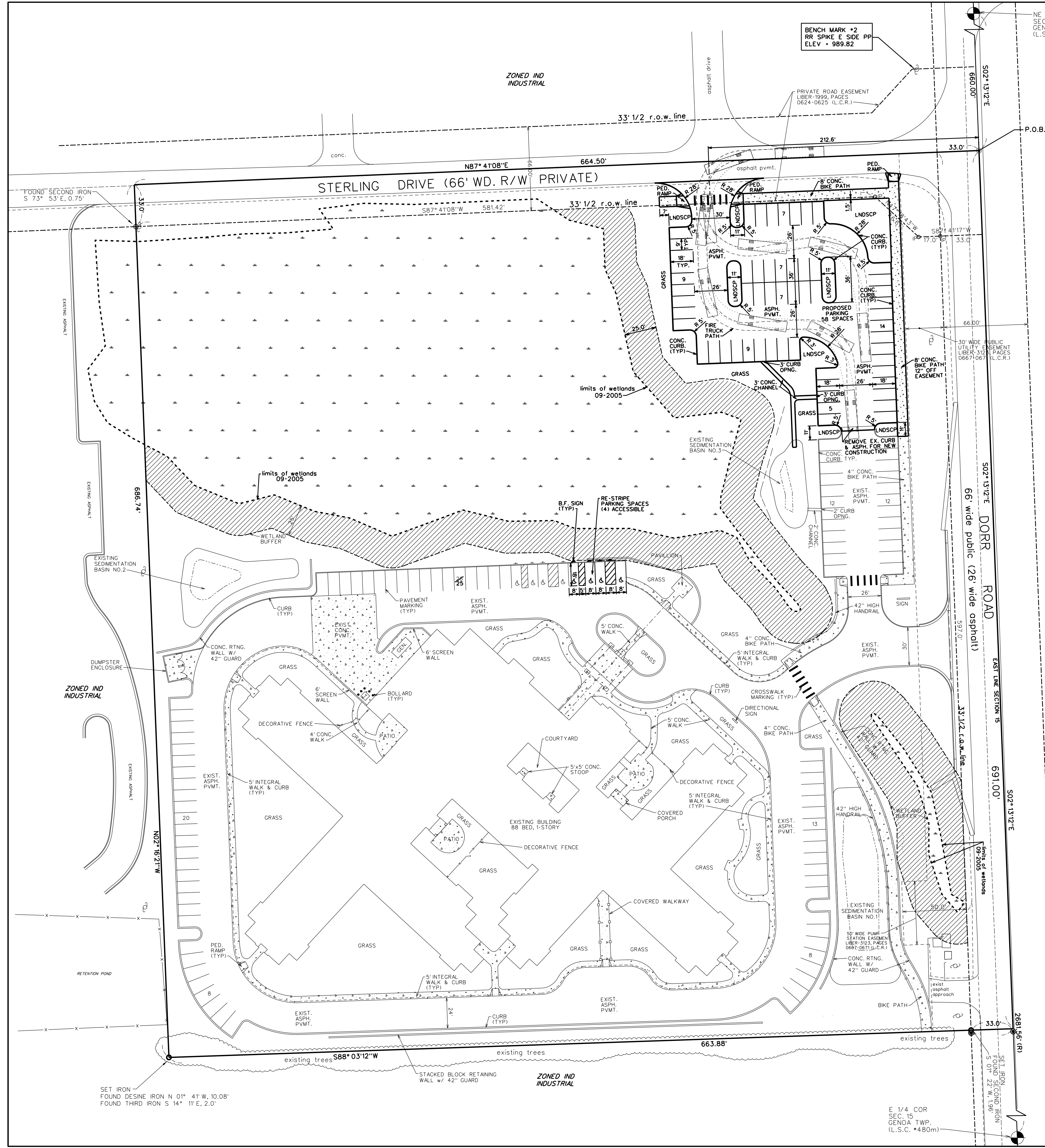
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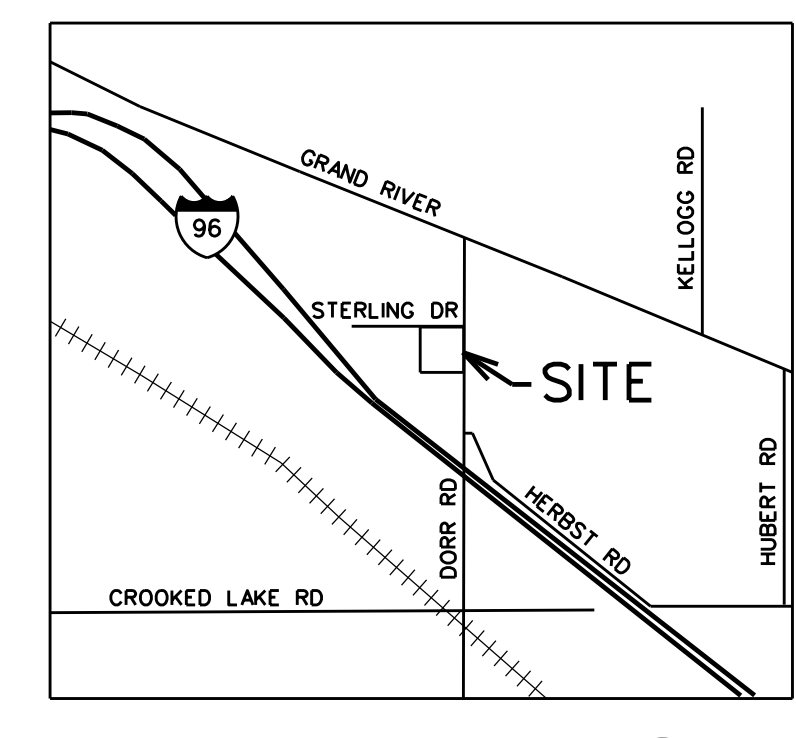
JWD PROJECT NUMBER: SHEET NUMBER:

14005 **COVER**





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ZONED MDR  
MEDIUM DENSITY  
RESIDENTIAL

LEGEND		
DESCRIPTION	NEW	EXISTING
BUILDING		
PAVEMENT	CONCRETE	CONCRETE
PAVEMENT	ASPHALT	ASPHALT
STORM SEWER	---	---
SANITARY SEWER	---	---
FORCE MAIN	---	---
WATER	---	---
DOMESTIC WATER SERVICE	---	---
FIRE PROTECTION WATERLINE	---	---
NATURAL GAS UNDERGROUND ELECTRICAL LINE	---	---
OVERHEAD ELECT.	---	---
TELEPHONE LINE	---	---
UNDERGROUND CABLE TV	---	---
SANITARY SEWER EASEMENT	---	---
WATER MAIN EASEMENT	---	---
MANHOLE	○	○
CATCH BASIN	□	□
YARD DRAIN	□	□
OUTLET STRUCTURE	○	○
SANITARY MANHOLE	○	○
CLEANOUT	○	○
FIRE HYDRANT & VALVE	Y	Y
WATER VALVE	⊗	⊗
POWER POLE	⊕	⊕
LIGHT POLE	⊕	⊕
OVERHEAD WIRES	—OH—	—OH—
TREE	⊙	⊙
ELEVATION	(982.00)	
PROPERTY LINE	—P—	—P—
RIGHT-OF-WAY	---R/W---	---R/W---
FENCE	-x-x-x-	-x-x-x-
DITCH OR SWALE	—(900)—	—(900)—
CONTOUR LINE	—(900)—	—(900)—
TELEPHONE	⊕	⊕
PEDESTAL ELECTRIC TRANSFORMER	⊕	⊕
SIGN	⊕	⊕

**SITE DATA**

**ZONING**  
MIXED USE PUD w/ TOWN CENTER OVERLAY (COMMERCIAL/RESIDENTIAL)

**SITE AREA**  
UPLAND AREA • 8.29 ACRES  
WETLAND AREA • 2.21 ACRES  
TOTAL AREA • 10.50 ACRES

**BUILDING**  
EXISTING BUILDING: 1-STORY, 88 BEDS, 54,880 SF

**BUILDING SETBACKS**  
FRONT (DORR RD. & STERLING DR.) • 35'  
SIDE • 15'  
REAR • 30'

**PARKING**  
EXISTING PARKING:  
STANDARD • 95 SPACES  
ACCESSIBLE • 4 SPACES  
TOTAL PROVIDED • 99 SPACES  
REWORK EXISTING PARKING:  
STANDARD • 90 SPACES  
ACCESSIBLE • 8 SPACES  
TOTAL AFTER REWORK • 98 SPACES  
PROPOSED PARKING:  
STANDARD • 58 SPACES  
TOTAL ONSITE PARKING • 156 SPACES  
PARKING RATIO • 156 SPACES/88 BEDS • 1.77 SPA/ PER BED

**INDEX OF SHEETS**

- C-1 SITE PLAN
- C-2 GRADING PLAN
- C-3 UTILITY PLAN
- C-4 EROSION CONTROL PLAN
- C-5 GENERAL NOTES AND DETAILS
- DA-1 DRAINAGE AREA PLAN

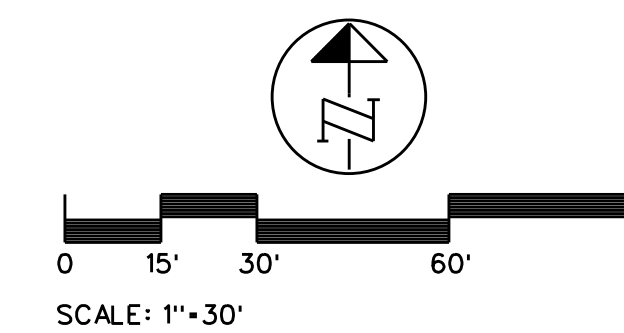
SITE PLAN APPROVAL	DS	6-24-14
ISSUED FOR	BY	DATE

**design services company**  
1716 Perrysburg-Holland Rd.  
Holland, Ohio 43528  
(419)-865-8600

**WELLBRIDGE OF BRIGHTON  
SKILLED NURSING FACILITY  
PARKING EXPANSION**  
2200 DORR RD., HOWELL, MI 48843

OWNER/DEVELOPER  
GENOA REAL ESTATE, LLC  
10503 CITATION DR.  
BRIGHTON, MI 48116  
JAMES BRANSCUM

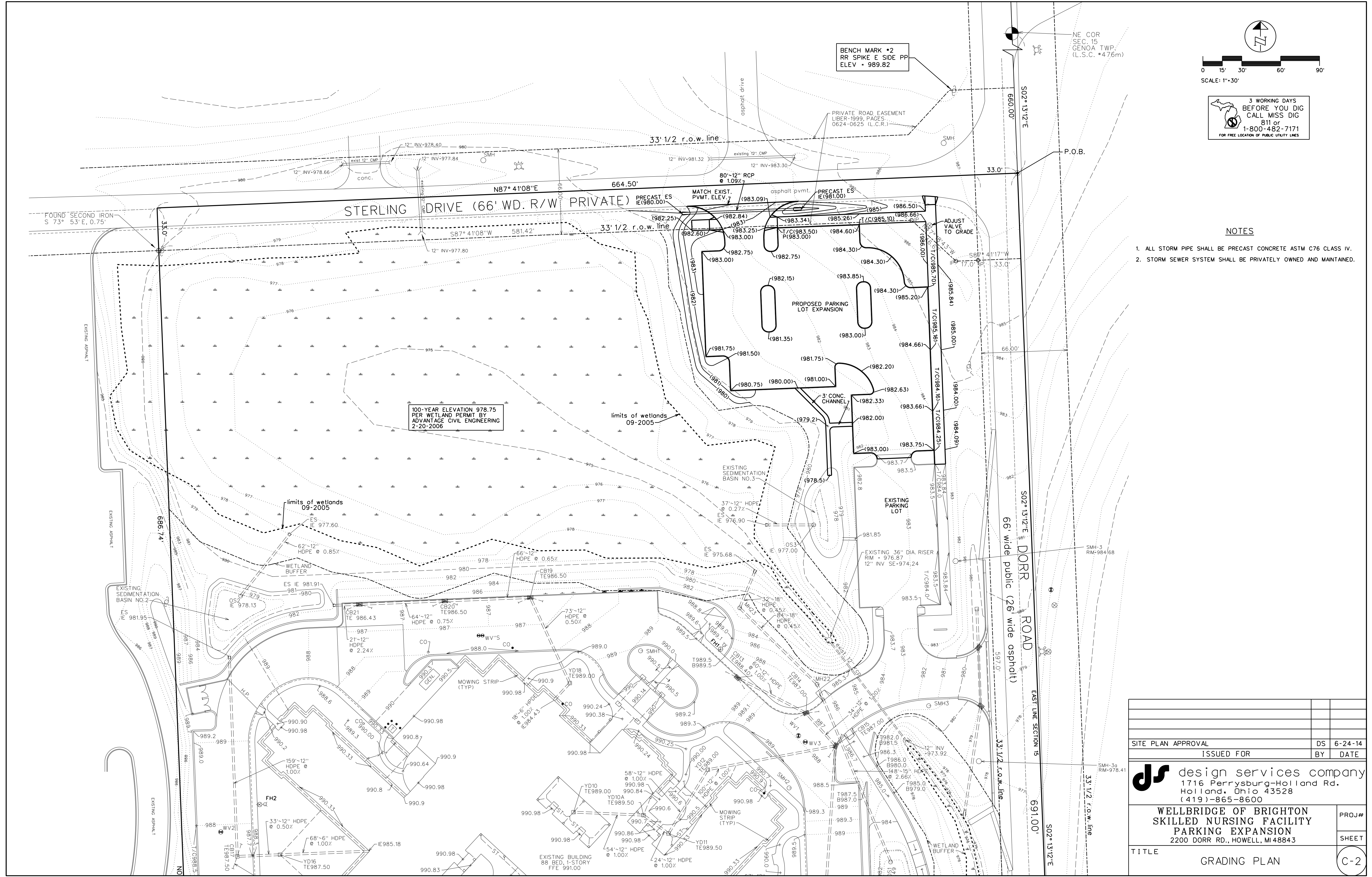
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SHEET  
TITLE  
SITE PLAN  
C-1

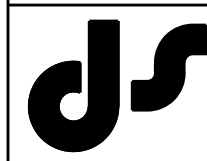


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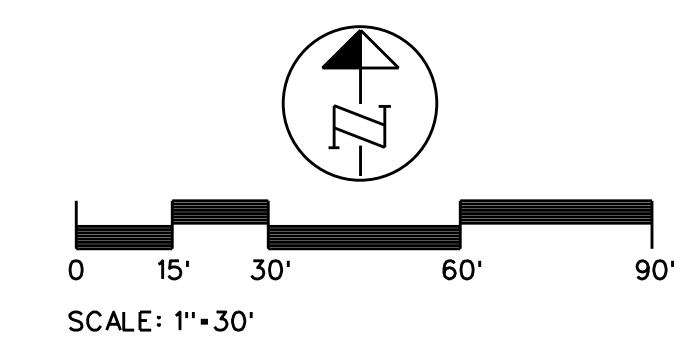
**NOTES**

1. ALL STORM PIPE SHALL BE PRECAST CONCRETE ASTM C76 CLASS IV.
2. STORM SEWER SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED.



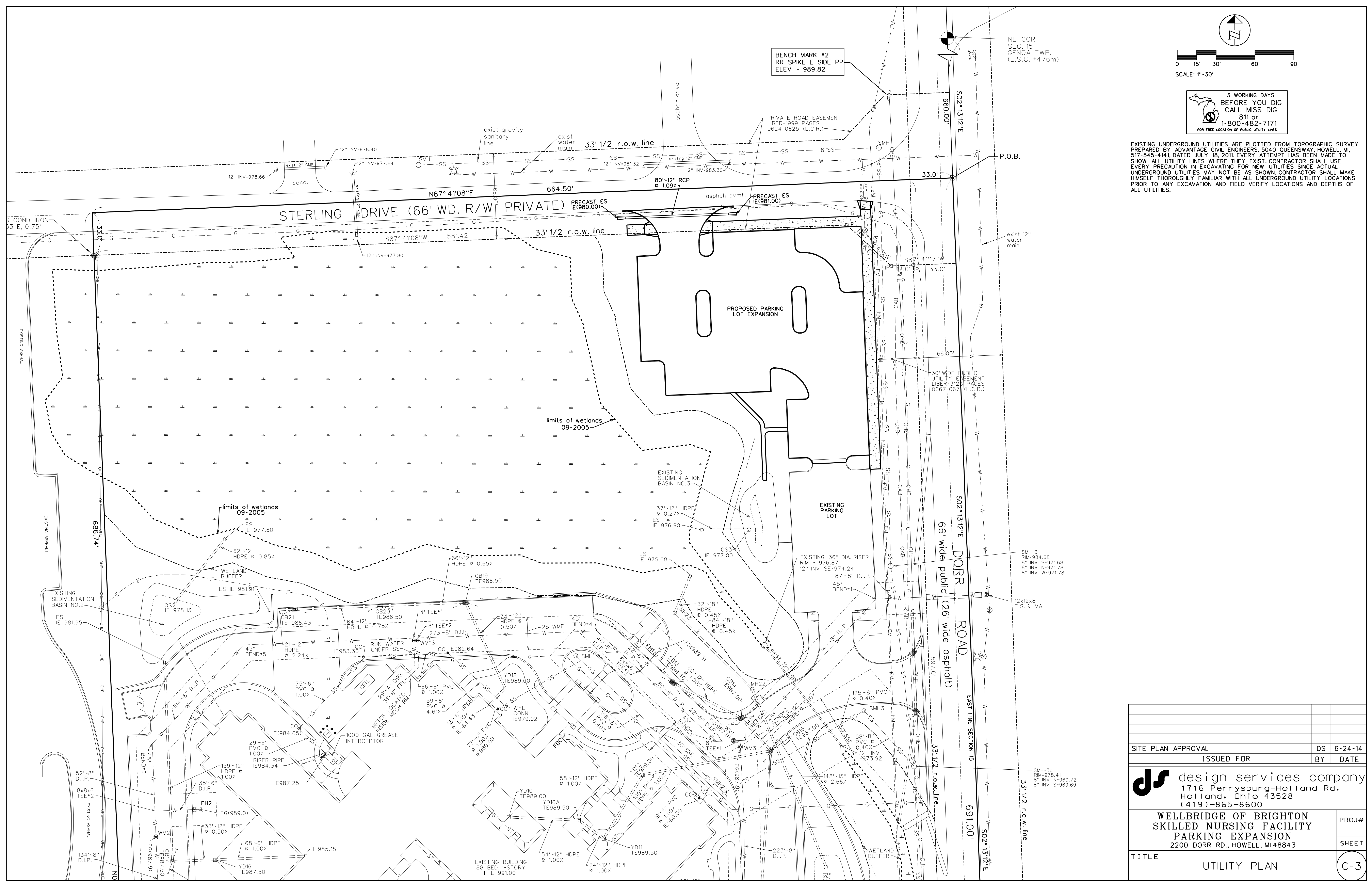
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ISSUED FOR		BY	DATE
 <b>design services company</b> 1716 Perrysburg-Holland Rd. Holland, Ohio 43528 (419)-865-8600		PROJ#	
		SHEET	C-2
TITLE		GRADING PLAN	

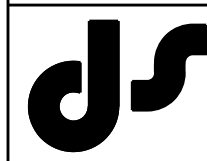


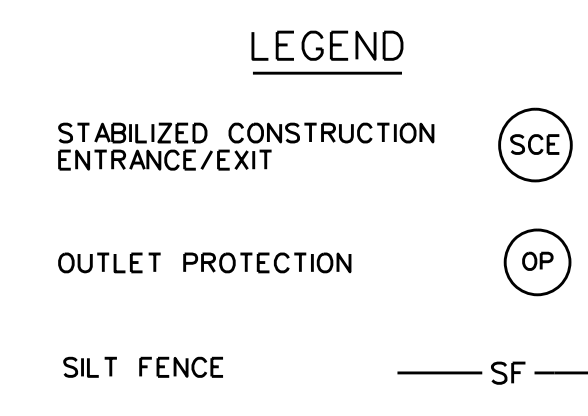
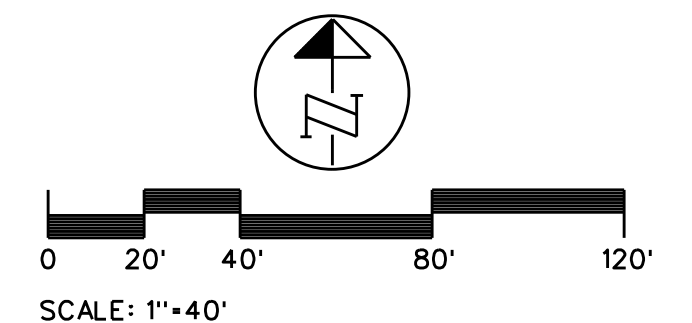
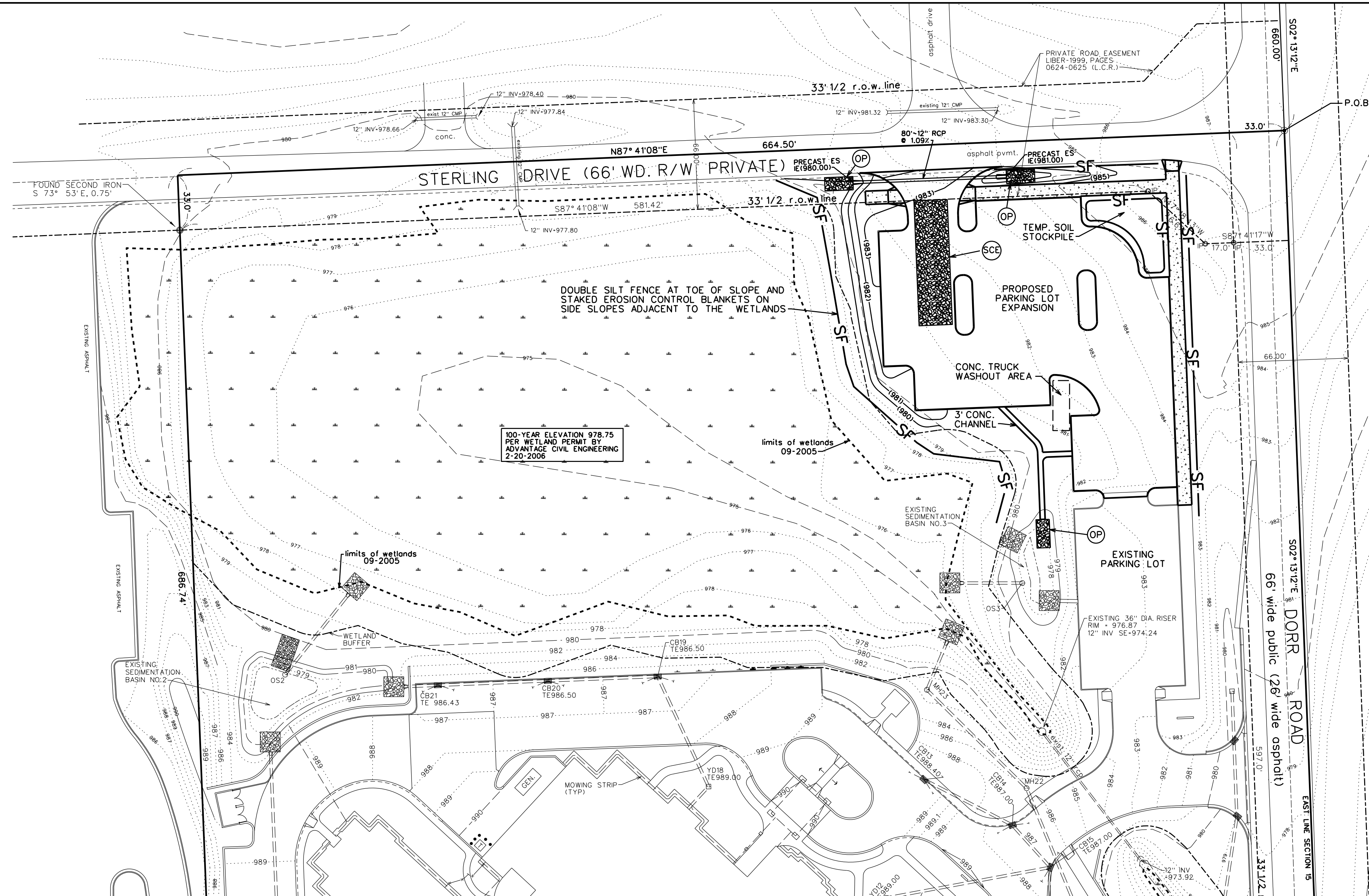


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FOR FREE LOCATION OF PUBLIC UTILITY LINES

EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM TOPOGRAPHIC SURVEY PREPARED BY ADVANTAGE CIVIL ENGINEERS, 5040 QUEENSWAY, HOWELL, MI, 517-545-4141, DATED JULY 18, 2011. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND FIELD VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.



SITE PLAN APPROVAL		DS	6-24-14
ISSUED FOR		BY	DATE
 <b>design services company</b> 1716 Perrysburg-Holland Rd. Holland, Ohio 43528 (419)-865-8600		PROJ#	
		SHEET	C-3
TITLE		UTILITY PLAN	



**Soil & Erosion Control**

- Sequence of Operations
1. Install silt fence prior to earth moving activities for parking lot.
  2. Strip and stock pile topsoil.
  3. Grade site, maintaining vegetated buffer zone and/or "silt fence" barriers (where designated) around site.
  4. Begin parking lot construction.
  5. Install concrete channel and outlet protection.
  6. Install concrete bike path.
  7. Complete pavement installation.
  8. Redistribute topsoil and vegetatively stabilize or landscape all disturbed areas not paved.
  9. Clean existing sedimentation basin and pavement of all accumulated sediment.
  10. Complete construction.
  11. Remove remaining temporary erosion control devices.

**SOIL EROSION CONTROL NOTES**

SILT FENCE SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. THE SEED MIXTURE TO BE USED ON ALL AREAS OF DISTURBED SOIL ON THIS PROJECT SHALL BE CLASS A AS FOLLOWS: 3" MINIMUM DEPTH TOPSOIL, HYDROSEED WITH A TACKIFIER

KIND	SEEDING		MIXTURES	
	MIN PURITY	MINIMUM GERMINATION	ROADSIDE	CLASS A
PERENNIAL RYE GRASS	98%	90%	50%	30%
KENTUCKY BLUE GRASS	90%	75%	15%	30%
CREeping RED FESCUE	98%	80%	35%	40%

INTENDED USE (FOR THE GUIDANCE OF THE USER AND NOT A PART OF THE SPECIFICATIONS)

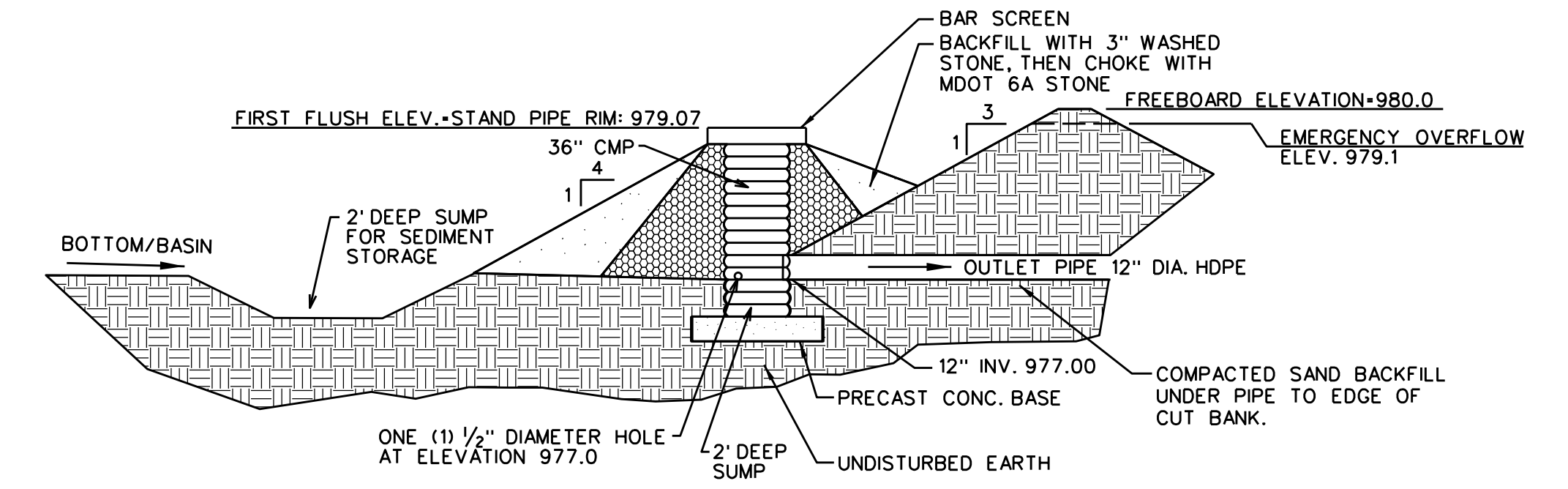
SEEDING	MIXTURES
PERENNIAL RYE GRASS	ROADSIDE
KENTUCKY BLUE GRASS	ROADSIDE
CREeping RED FESCUE	ROADSIDE
PERENNIAL RYE GRASS	SLOPES, DITCHES, SHOULDERS, BORROW AREAS
KENTUCKY BLUE GRASS	SLOPES, DITCHES, SHOULDERS, BORROW AREAS
CREeping RED FESCUE	SLOPES, DITCHES, SHOULDERS, BORROW AREAS

SEED SHALL BE APPLIED AT THE RATE OF 210 POUNDS PER ACRE. COMMERCIAL FERTILIZER (12-12-12) SHALL BE APPLIED AT THE RATE OF 150 POUNDS PER ACRE. ALL CONSTRUCTION TRAFFIC SHALL USE THE CLEAN STONE EXITS. SHOULD THE STONE BECOME LESS EFFICIENT, IT SHALL BE REPLACED. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO THE EXISTING OR PROPOSED ROADS FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER. DUST SHALL BE CONTROLLED IN ACCORDANCE WITH MDOT SECTION 107.15. SILT FENCE SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.

**SOIL CHARACTERISTICS**

AS DEFINED BY THE SOIL SURVEY OF LIVINGSTON COUNTY MICHIGAN, THE SOILS ON SITE ARE CLASSIFIED AS MIAMI LOAM, MoB, HYDROLOGIC SOIL GROUP "B".

**NOTE**  
EXTREME CARE MUST BE EXERCISED TO INSURE THAT THE OUTLET HOLES IN THE STAND PIPE DO NOT BECOME CLOGGED WITH SEDIMENT.

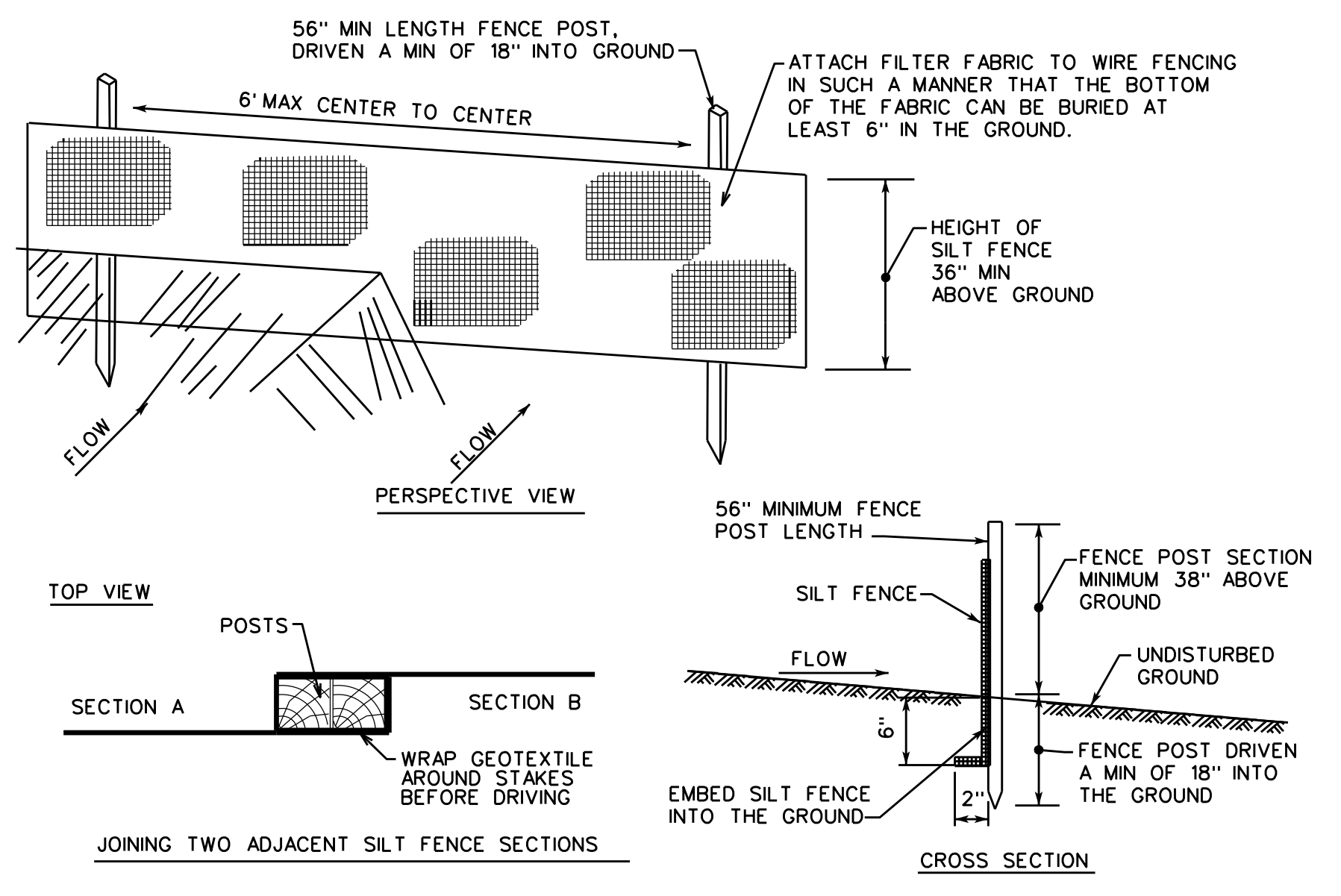


NOTE: ELEVATIONS ARE TAKEN FROM AS-BUILT SURVEY, FEBRUARY 2013. EXISTING OUTLET STRUCTURE TO REMAIN UNDISTURBED.

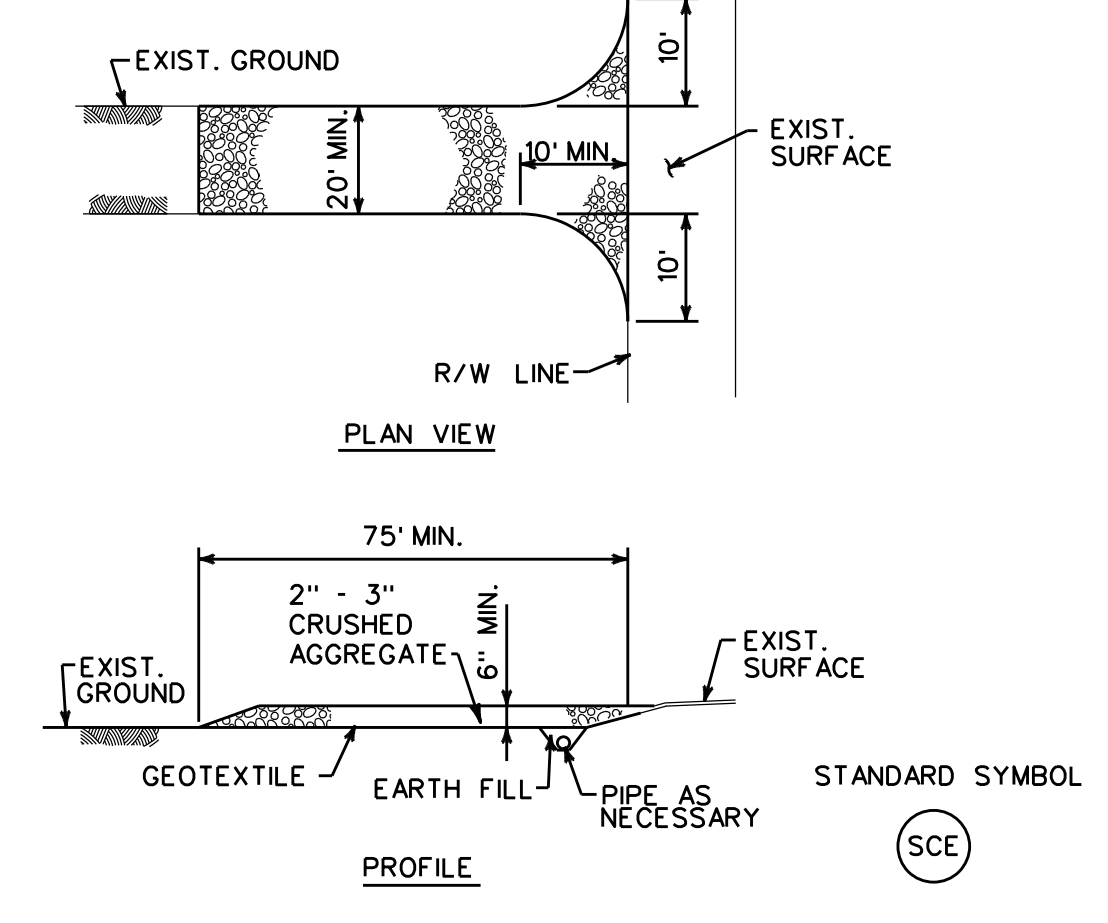
EXISTING STORMWATER OUTLET STRUCTURE NO.3 DETAIL (OS3)  
NO SCALE PERMANENT E.C. DEVICE

**SILT FENCE NOTES**

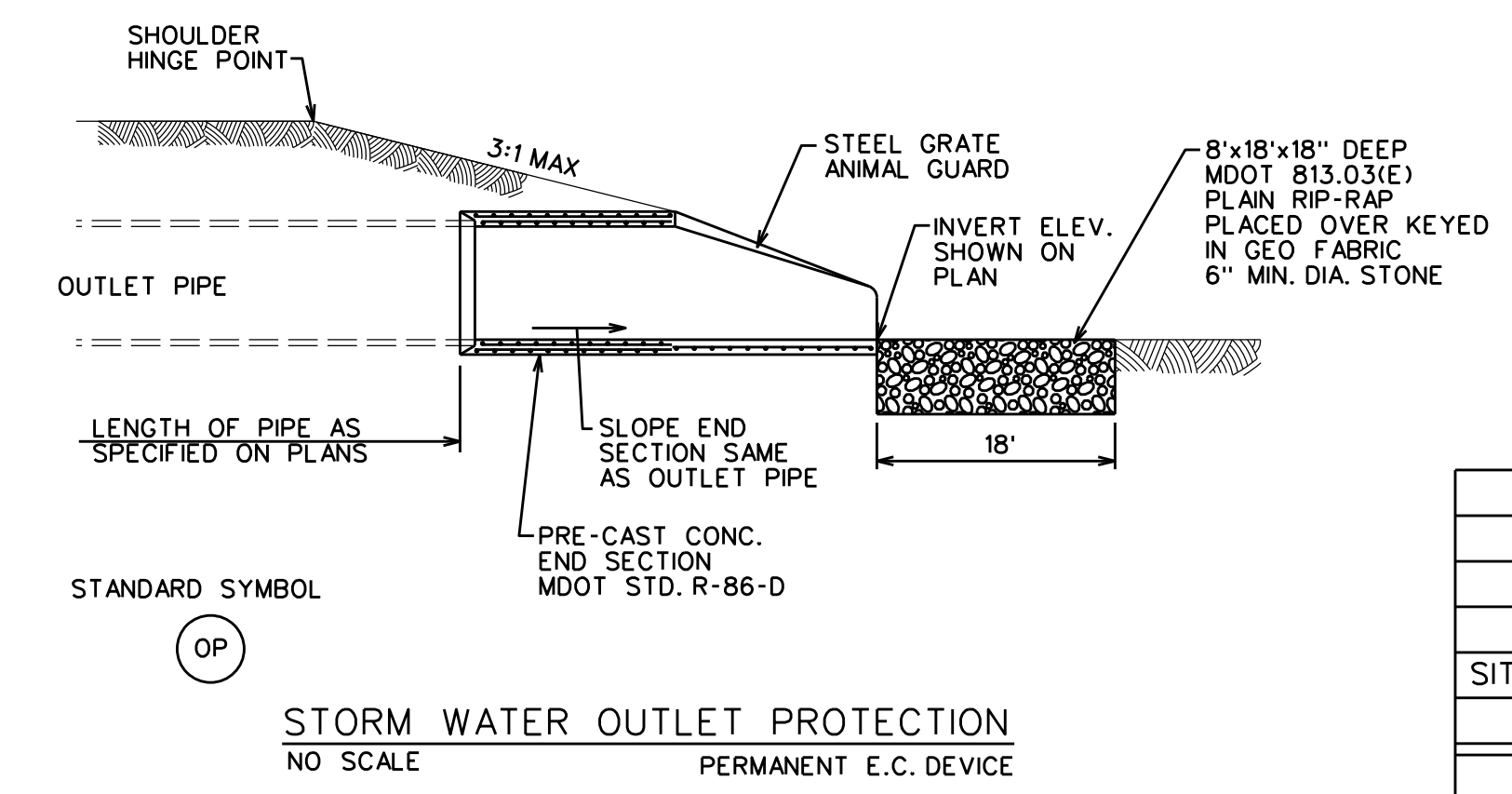
1. WHEN TWO SECTIONS OF SILT FENCE ARE JOINED TOGETHER, THE GEOTEXTILE SHALL BE WRAPPED AROUND THE STAKES BEFORE DRIVING.
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN IT REACHES 50% OF THE HEIGHT OF THE FABRIC.
3. WOOD POSTS: 2"x2" HARDWOOD WITH MIN CROSS SECTIONAL AREA OF 3 IN
4. STEEL POST: EITHER T OR U TYPE NOT WEIGHING LESS THAN 1 LB/LIN FT
5. SILT FENCE: TREVIRA SPUNBOND 1112 OR EQUAL.
6. LOCATE SILT FENCE TO INTERCEPT SHEET FLOW RUN-OFF AND AROUND SOIL STOCKPILE AREAS.
7. INSPECT SILT FENCE AFTER EVERY RAINFALL AND REPAIR AS REQUIRED.



STANDARD SYMBOL SILT FENCE DETAIL  
NO SCALE TEMPORARY DEVICE



STABILIZED CONSTRUCTION ENTRANCE/EXIT  
NO SCALE TEMPORARY E.C. DEVICE



STORM WATER OUTLET PROTECTION  
NO SCALE PERMANENT E.C. DEVICE

SITE PLAN APPROVAL	DS	6-24-14
ISSUED FOR	BY	DATE

**design services company**  
1716 Perrysburg-Holland Rd.  
Holland, Ohio 43528  
(419)-865-8600

WELLBRIDGE OF BRIGHTON  
SKILLED NURSING FACILITY  
PARKING EXPANSION  
2200 DORR RD., HOWELL, MI 48843

TITLE EROSION CONTROL PLAN  
PROJ# SHEET C-4





# GENERAL NOTES

## Restoration of Existing Utilities:

Wherever existing power, telephone, gas or other utilities require relocation, the work shall be done by others. The Contractor shall be responsible for repairing any damage to existing storm sewers, sanitary sewers or waterline that are damaged during construction.

## Underground Utilities:

The location of the underground utilities shown on the plan are approximate. The exact location shall be verified by the Contractor. Should a discrepancy between the plans and actual field conditions occur the contractor shall notify the engineer prior to commencement of work.

## Utilities Notification:

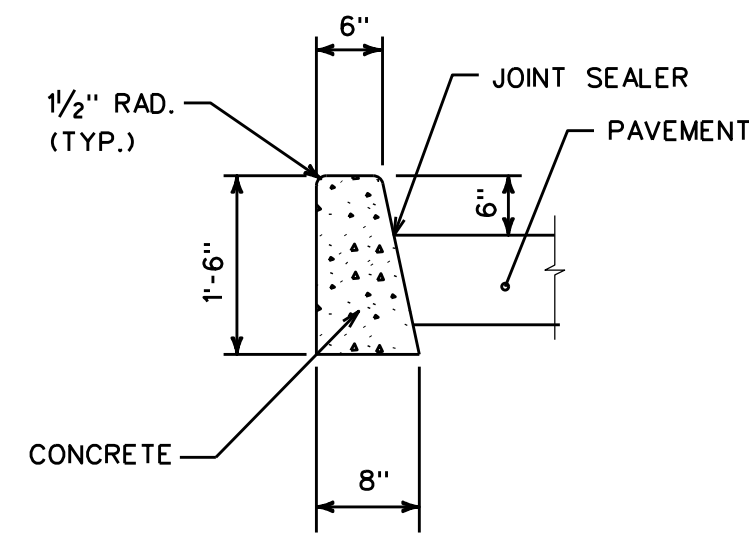
At least three (3) working days prior to commencing construction operations in an area which may involve underground utility facilities, the Contractor shall notify the Project Engineer, and Miss Dig ☎ 1-800-482-7171.

The Owner of the underground utility shall, within 72 hours, excluding Saturday, Sunday and Legal Holidays, after notice is received, stake, mark or otherwise designate the location of the underground utility facilities in the construction area in such a manner as to indicate their course together with the approximate depth at which they were installed.

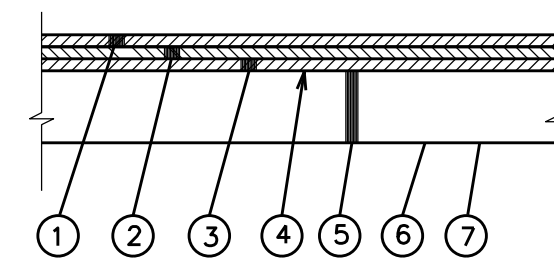
## Pavement:

All work shall be in complete accordance with applicable portions of Michigan Department of Transportation Standard Specifications for Construction Latest Edition and these plans. Pavement sections as indicated on plans.

The surface of the finished pavement shall be free of valleys or low spots which would impede the flow of the surface drainage.



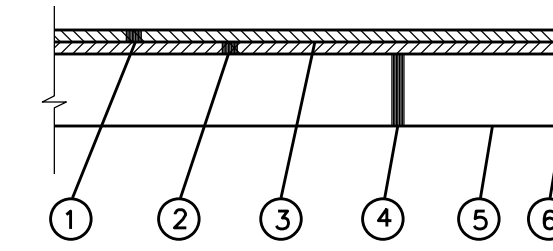
TYPE "A" CONCRETE CURB DETAIL  
NO SCALE



- ① MDOT 501 1/2" HMA MIX NO. 36A, TOP COURSE
- ② MDOT 501 2" HMA MIX 3C, LEVELING COURSE
- ③ MDOT 501 2" HMA MIX 3C, BASE COURSE
- ④ MDOT 502 BOND COAT (0.05 GAL./SQ. YD.)
- ⑤ MDOT 302 7" LIMESTONE AGGREGATE BASE COURSE, 21AA (2 EQUAL LAYERS)
- ⑥ MDOT 205.03(E) SUBGRADE UNDERCUTTING
- ⑦ MDOT 205.03(F) SUBGRADE MANIPULATION

THIS SECTION IS TO BE USED WITHIN THE R/W FOR ENTRANCE DRIVE APPROACH

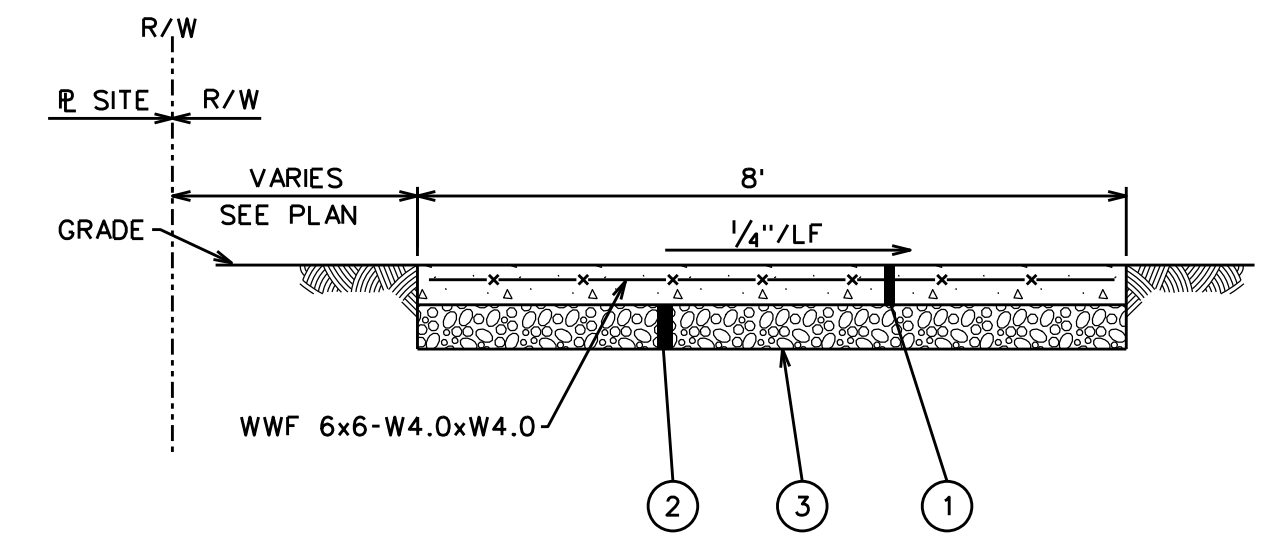
TYPE 2 ASPHALT PAVEMENT SECTION  
NO SCALE



- ① MDOT 501 1/2" HMA MIX NO. 36A, TOP COURSE
- ② MDOT 501 1/2" HMA MIX NO. 3C, LEVELING COURSE
- ③ MDOT 502 BOND COAT (0.05 GAL./SQ. YD.)
- ④ MDOT 302 8" LIMESTONE AGGREGATE BASE COURSE, 21AA (2 EQUAL LAYERS)
- ⑤ MDOT 205.03(E) SUBGRADE UNDERCUTTING
- ⑥ MDOT 205.03(F) SUBGRADE MANIPULATION

THIS SECTION TO BE USED ON SITE FOR PARKING LOT EXPANSION

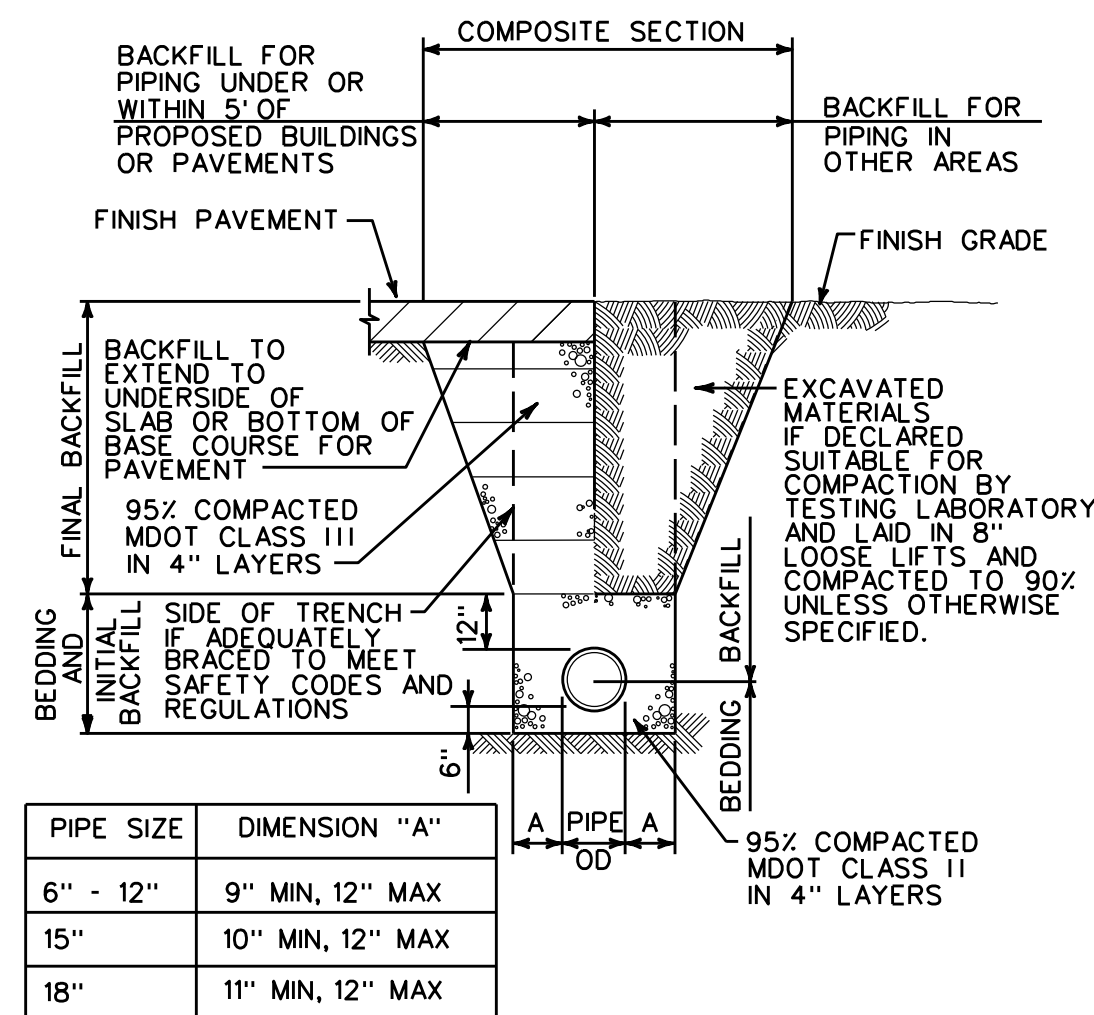
TYPE 1 ASPHALT PAVEMENT SECTION  
NO SCALE



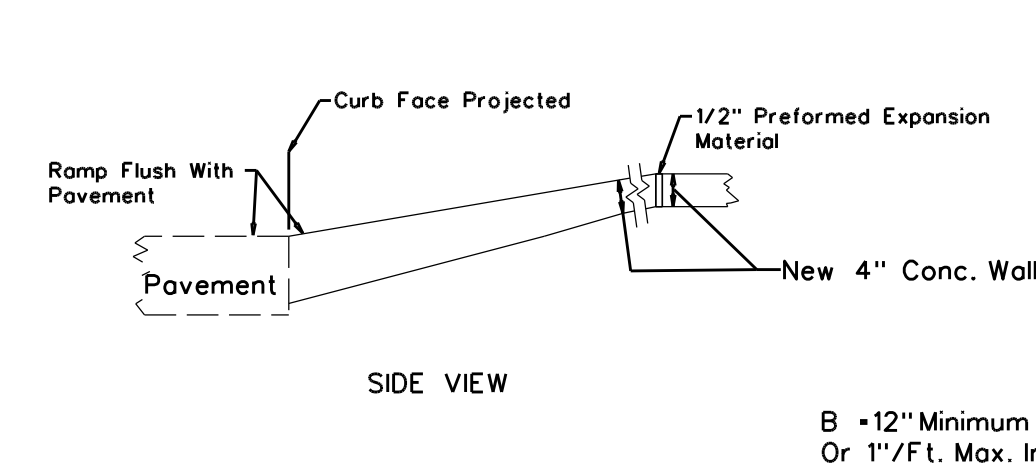
- ① 4" CONCRETE PAVEMENT, GRADE P1
- ② 4" AGGREGATE BASE, MDOT 22AA CRUSHED LIMESTONE COMPACTED TO 95% MODIFIED PROCTOR
- ③ SUBGRADE COMPACTION COMPACTED TO 95% MODIFIED PROCTOR & SOIL STERILANT

NOTE: ALL TREES AND BUSHES SHALL BE REMOVED OR TRIMMED WITHIN 3' OF THE SIDE OF THE PATH AND 8.5' ABOVE THE PATH. NO OBJECTS SHALL BE WITHIN 3' OF THE SIDE OR 8.5' ABOVE THE PATH.

CONCRETE BIKE PATH DETAIL  
NO SCALE



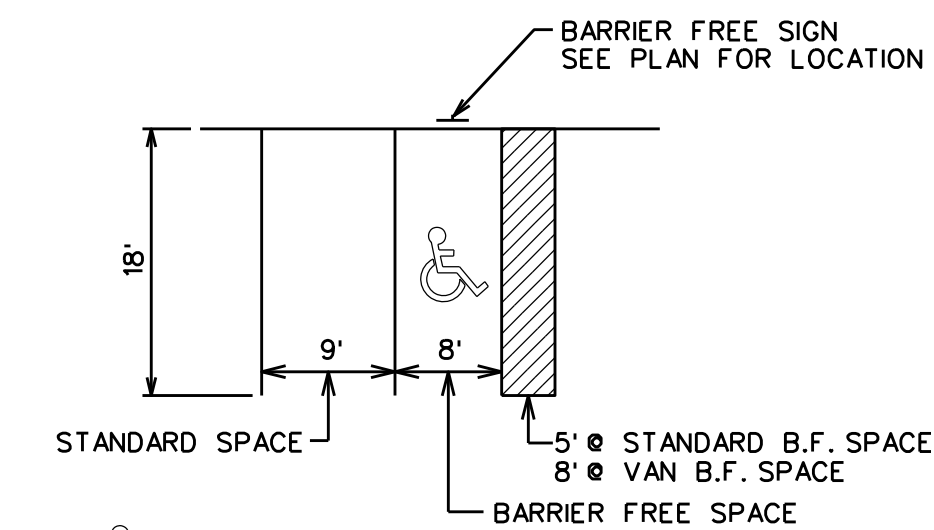
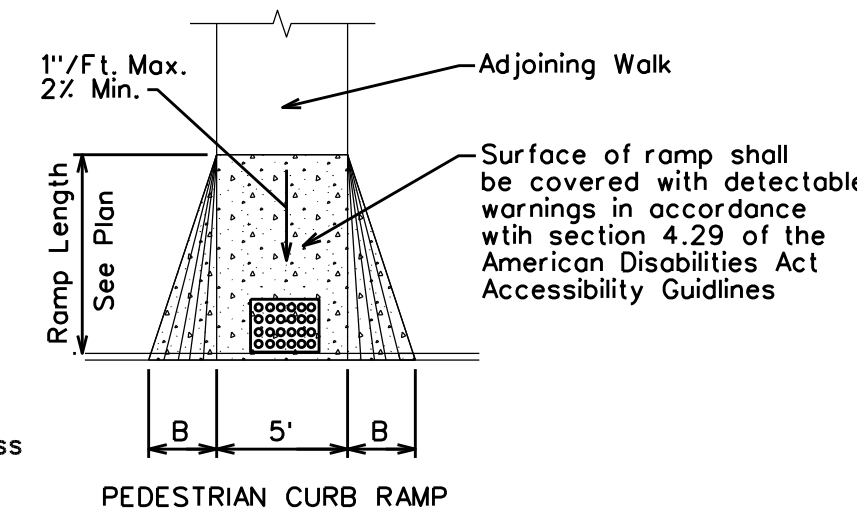
STORM SEWER PIPE BEDDING & BACKFILL DETAIL  
NO SCALE



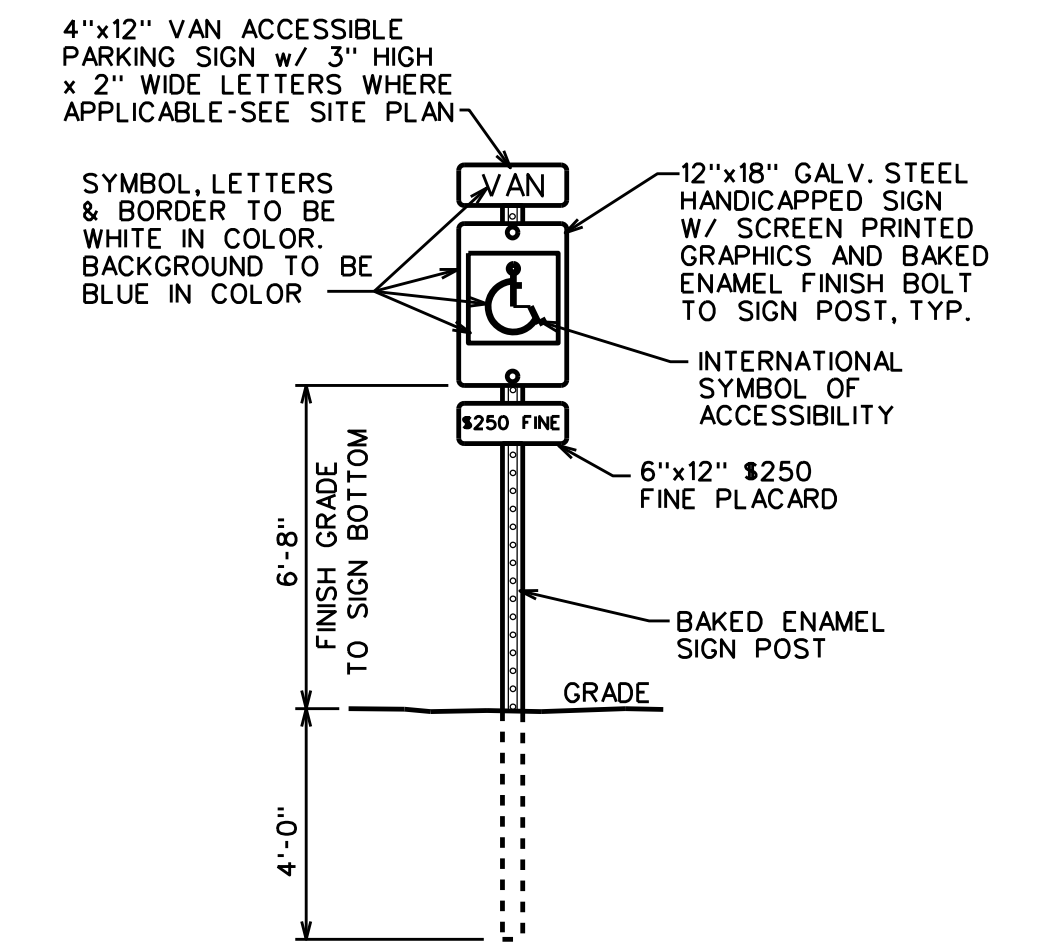
## NOTES:

- 1/2" Preformed Expansion Material Shall Be Used Between Concrete And Brick On One Long Face And One Short Face In Brick Field Away From Curb.
- Ramps Adjacent To Grass Must Have Minimum Of 12" Flares.
- Ramps Adjacent To Sidewalks Must Have Minimum Of 1 1/2 Ft. Flares.
- Walk Adjacent To Flat Area May Have 1 1/2 Ft. Longitudinal Slope With Another Flat Area To Rest Up To 30'.
- Surface Texture For Ramps And Flares Shall Be Rough Broom Finish

PEDESTRIAN CURB RAMP DETAIL  
NO SCALE



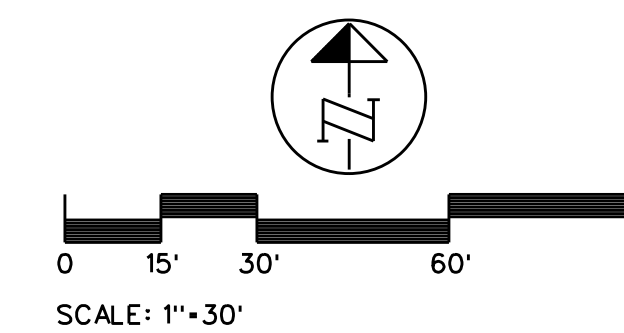
TYP. PARKING SPACE LAYOUT  
NO SCALE



BARRIER FREE (B.F.) PARKING SIGN  
NO SCALE

SITE PLAN APPROVAL	DS	6-24-14
ISSUED FOR	BY	DATE
1716 Perrysburg-Holland Rd. Holland, Ohio 43528 (419)-865-8600		
WELLBRIDGE OF BRIGHTON SKILLED NURSING FACILITY PARKING EXPANSION 2200 DORR RD., HOWELL, MI 48843		PROJ# SHEET
TITLE GENERAL NOTES AND DETAILS		C-5





**LEGEND**

- DRAINAGE AREA 3
- DRAINAGE DIVIDE

**Sedimentation Basin No.3**

Elevation	Area (s.f.)	Depth (ft.)	Volume (cf)	Total Vol. (cf)
979.30	1,778	0.30	494	2,091
979.00	1,517	1.00	1,178	1,597
978.00	838	1.00	419	419
977.00	0	0.00	0	0

LCDC Standard Design - First Flush  
 Vff = 1815 x A x C  
 Vff = 1,272 cf

MDEQ Standard Design - First Flush  
 1/2" runoff discharged ov 24 hours.  
 Rainfall, P = 0.50 inches  
 Area, A = 0.836 acres

Required Volume, Vff =  $\frac{(P \times A) \times 43560}{12}$   
 $\frac{0.50 \times 0.836 \times 43560}{12}$   
 Vff = 1,518 cf

Use the higher volume

Storage Elevation

Elevation	Area (s.f.)	Volume (cf)
979.0	1,597	419
978.0	838	419
977.0	0	0

Required Storage Elevation, x = 978.93  
 As-Built Storage Elevation, xab = 979.07  
 As-Built Volume at xab = 1,632 cf

**Discharge**

Orifice Calculation  $Q = 0.62A\sqrt{2gh}$   
 $A = Q/0.62\sqrt{2gh}$   
 $Q = Vff/24 \text{ hrs} = \frac{1,518 \text{ cf}}{86,400 \text{ sec}} = 0.018 \text{ cfs}$

Q = 0.018 cfs  
 h = 978.93 - 977.00 = 1.93 ft  
 g = 32.20 ft/sec  
 Discharge Area, A = 0.0025 sf

Area of a 1/2" diameter hole = 0.0014 sf  
 Required number of holes =  $\frac{0.0025}{0.0014} = 1.81$  hole  
 (1) 1/2" diameter hole used

**SEDIMENTATION BASIN NO.3**

AREA	IMPERVIOUS SF	PERVIOUS SF	WATER SF	TOTAL SF	Acres	Cw
22	7,095	0	0	7,095	0.16	0.950
22A	0	1,486	1,604	3,090	0.07	0.639
23	21,788	4,462	0	26,250	0.60	0.831
<b>TOTALS</b>	<b>28,883</b>	<b>5,948</b>	<b>1,604</b>	<b>36,435</b>	<b>0.836</b>	<b>0.838</b>

**Site Total**

Category	Value
ImperVIOUS	162,889
Pervious	63,346
Water	8,631
<b>TOTAL</b>	<b>234,866</b>

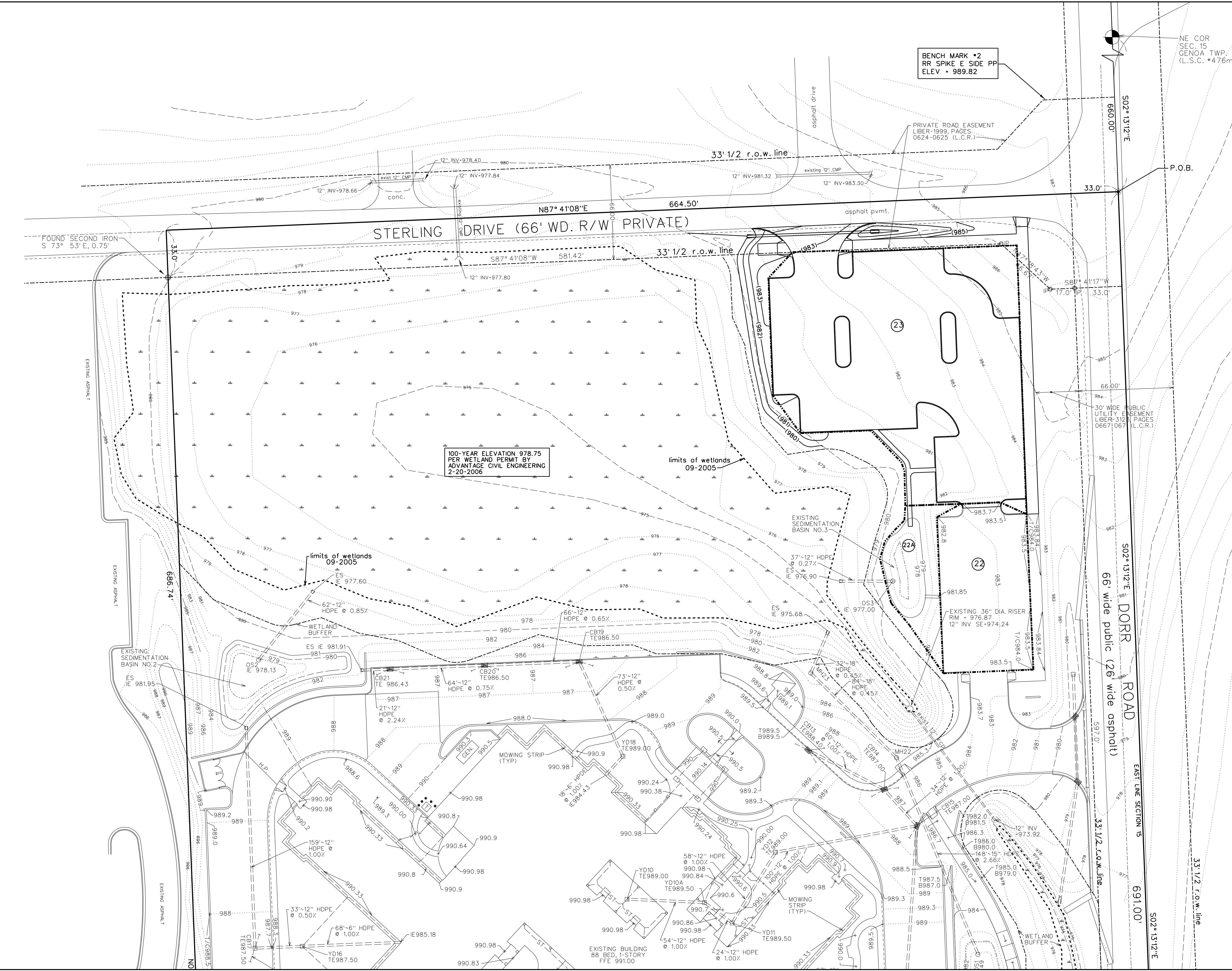
C values  
 pervious 0.25  
 bldg./p.vmt. 0.95  
 water 1.00

SITE PLAN APPROVAL	DS	6-24-14
ISSUED FOR	BY	DATE

**design services company**  
 1716 Perrysburg-Holland Rd.  
 Holland, Ohio 43528  
 (419)-865-8600

**WELLBRIDGE OF BRIGHTON  
 SKILLED NURSING FACILITY  
 PARKING EXPANSION**  
 2200 DORR RD., HOWELL, MI 48843

TITLE **DRAINAGE AREA PLAN** PROJ#  
SHEET **DA-1**



BENCH MARK #2  
 RR SPIKE E SIDE PP  
 ELEV. 989.82

NE COR  
 SEC. 15  
 GENOA TWP.  
 (L.S.C. #476m)

100-YEAR ELEVATION 978.75  
 PER WETLAND PERMIT BY  
 ADVANTAGE CIVIL ENGINEERING  
 2-20-2006

limits of wetlands  
 09-2005

limits of wetlands  
 09-2005

EXISTING  
 SEDIMENTATION  
 BASIN NO.3

EXISTING 36" DIA RISER  
 RIM - 976.87  
 12" INV SE-974.24

EXISTING  
 SEDIMENTATION  
 BASIN NO.2

EXISTING BUILDING  
 88 BED, 1-STORY  
 FFE 991.00





www.jwdstudio.com

412 S. WASHINGTON ST. SUITE 100  
ROYAL OAK, MICHIGAN 48067  
PHONE: (248) 336-2501  
FAX: (248) 336-2107  
EMAIL: INFO@JWDSTUDIO.COM

CONSULTANTS:

CIVIL ENGINEER  
**DESIGN SERVICES CO.**  
1716 PERRYBURG-HOLLAND RD.  
HOLLAND, OH 43528  
(419) 865-8600

LANDSCAPE ARCHITECT  
**KENNETH WEIKAL**  
LANDSCAPE ARCHITECTURE  
33203 BIDDESTONE LANE  
FARMINGTON HILLS, MI 48334  
(248) 477-3600

**LANDSCAPE DATA**

PARKING LOT  
TOTAL SPACES: 80 SPACES  
TREES REQ. (1/10 SPACES): 8 TREES  
TREES PROVIDED: 11 TREES

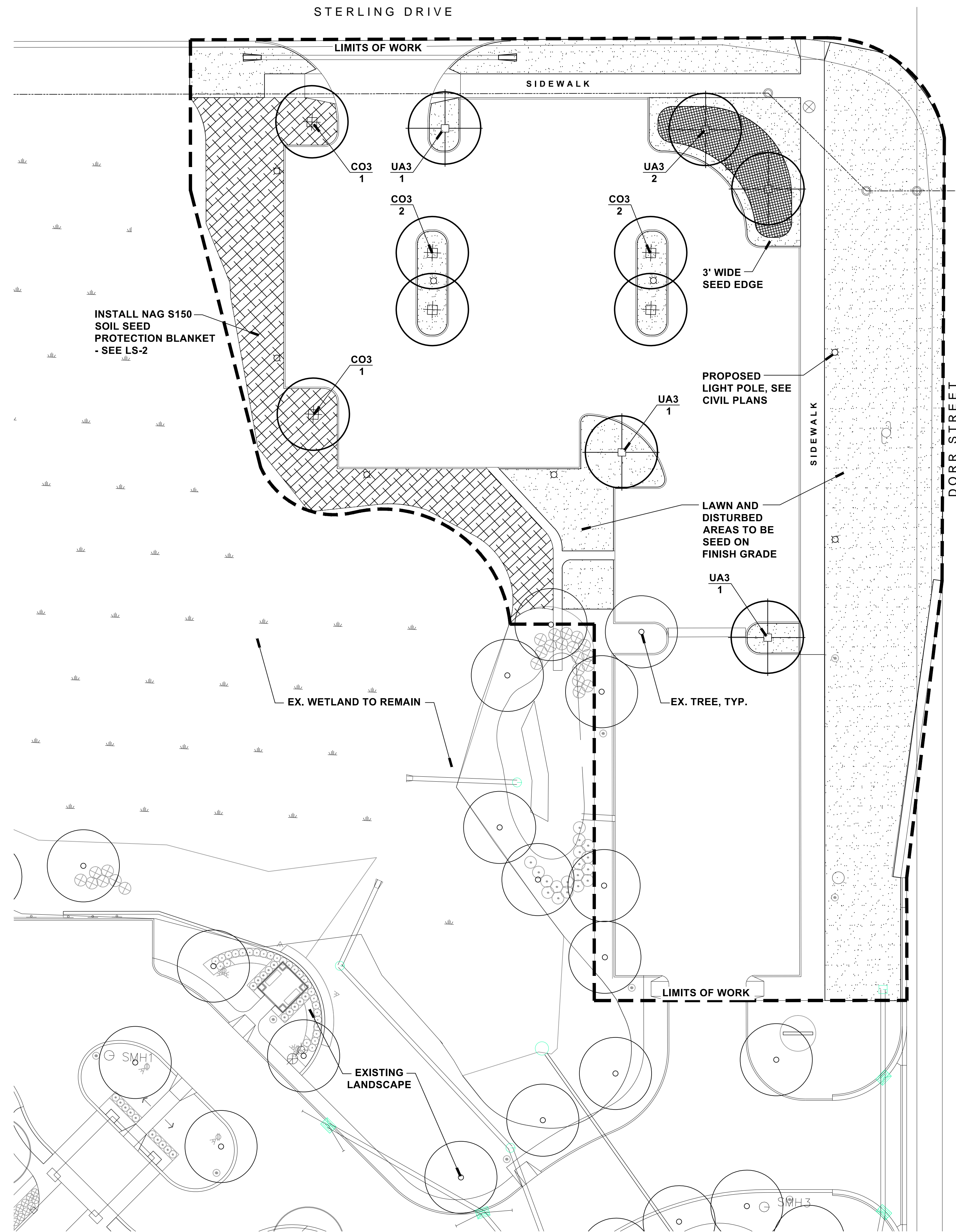
**PLANT LIST**

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
6	CO	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B
5	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal	B&B
400	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 Gal.	Cont.

**FESCUE LAWN SEED MIX**

SEED TYPE	PROPORTION	PURITY	GERMINATION
Pennfine Perennial Rye	20%	90%	90%
Kentucky 28# Common Bluegrass	20%	90%	90%
Penn Lawn Fescue	60%	90%	85%

SEED AT 300 LBS PER ACRE, NO NOXIOUS WEED SEEDS PERMITTED  
FERTILIZE FOR LAWN 10-10-10



**GENERAL PLANTING NOTES:**

- (A) ALL TREES TO HAVE CLAY OR LOAM BALLS. TREES WITH SAND BALLS **WILL BE REJECTED.**
- (B) ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- (C) ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS **WILL NOT BE ACCEPTED.**
- (D) ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL **NOT BE ACCEPTED.**
- (E) ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- (F) NO MACHINERY IS TO BE USED WITHIN THE DRIPLINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIPLINE OF EXISTING TREES.
- (G) ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- (H) IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- (I) ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- (J) SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- (K) SOD LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DISK SOIL TO 6" DEEP BEFORE TOPSOIL PLACEMENT

**PLANT MIX**

PLANTING BEDS TO RECEIVE 70% LOAM TOPSOIL, 10% COMPOST, 20% SAND; EXCAVATE PLANT BED, DISPOSE OF SPOILS OFF SITE, INSTALL PLANT MIX

HAND TILL INTO PLACED PLANT MIX:

- (1) 6 CU. FT. BALE CANADIAN PEAT
- (1) 40LB BAG DRIMANURE
- (1) 40 LB BAG SHERMINS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.

HAND TILL INTO PROVIDED PLANT MIX TO A DEPTH OF 12" MINIMUM

**PLANT BEDS**

ALL PLANT BEDS TO BE FULLY EXCAVATED TO DEPTH SHOWN ON DETAILS AND AREAS SHOWN ON PLANS, AND TO RECEIVE CONTINUOUS PLANT MIX AS SPECIFIED

**MULCH**

MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

NO GROUND WOOD PALETTE MULCH PERMITTED

**LANDSCAPE EDGING**

ALL LANDSCAPE EDGES ARE SHOVEL CUT

**LAWNS:**

ALL PROPOSED LAWN AREAS TO BE FESCUE SEED.

**WATERING**

CONTRACTOR RESPONSIBLE FOR HAND WATERING ALL PLANTINGS FOR TWO YEARS FROM THE START OF THE WARRANTY PERIOD IF NEEDED.

PLANTINGS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE ONE REQUIRED REPLACEMENT PLANT AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.

CONTRACTOR IS ALSO RESPONSIBLE FOR WATERING ALL NEWLY PLANTED LAWN AREAS FOR TWO YEARS FROM THE START OF THE WARRANTY PERIOD. NEWLY PLANTED LAWN AREAS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE REQUIRED REPLACEMENT TO ESTABLISH A HEALTHY FULL DENSE LAWN AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.

**PLANTING KEY:**

- TREE SYMBOL
- TREE TYPE KEY
- FAS 3
- PLANT LIST-SEE SHEET LS-1
- PLANTING DETAILS-SEE SHEET LS-2
- QUANTITY

**SITE PLANTING PLAN**

SCALE 1" = 20'



CLIENT:

**GENOA REAL ESTATE, LLC.**  
10503 CITATION DR.  
STE. 100  
BRIGHTON, MI. 48116

PROJECT:

**THE WELLBRIDGE OF BRIGHTON - PARKING EXPANSION**  
2200 DORR RD.  
HOWELL, MI. 48843

SHEET CONTENTS:

**SITE PLANTING PLAN**

DATE: DESCRIPTION: DRAWN BY:



06/24/14 SITE PLAN APPROVAL JS  
DATE: DESCRIPTION: DRAWN BY:

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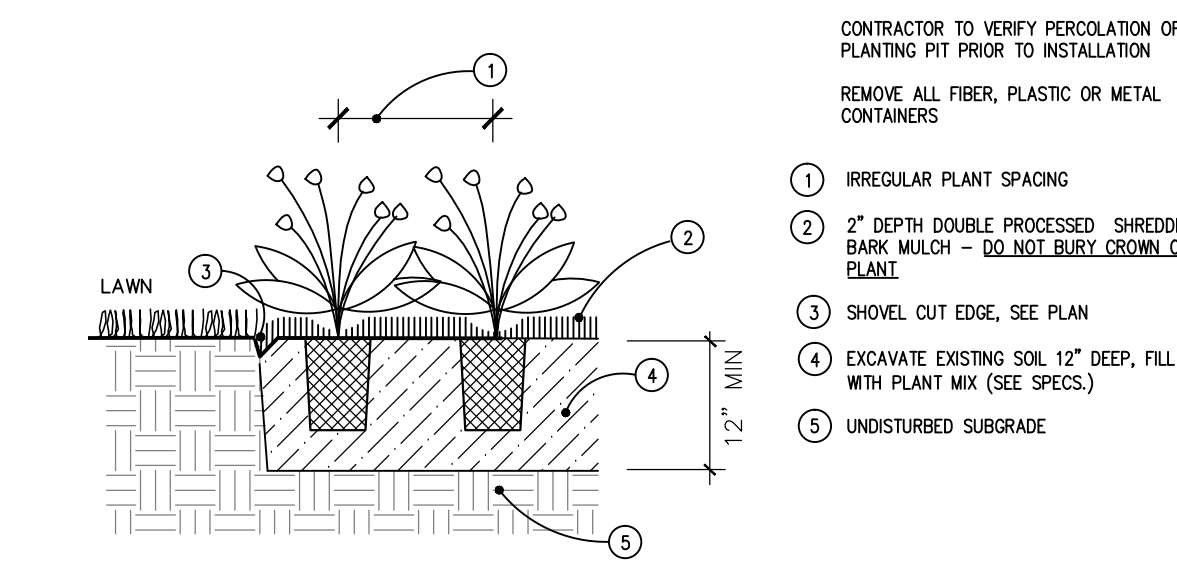
14005 **LS-1**



CONSULTANTS:

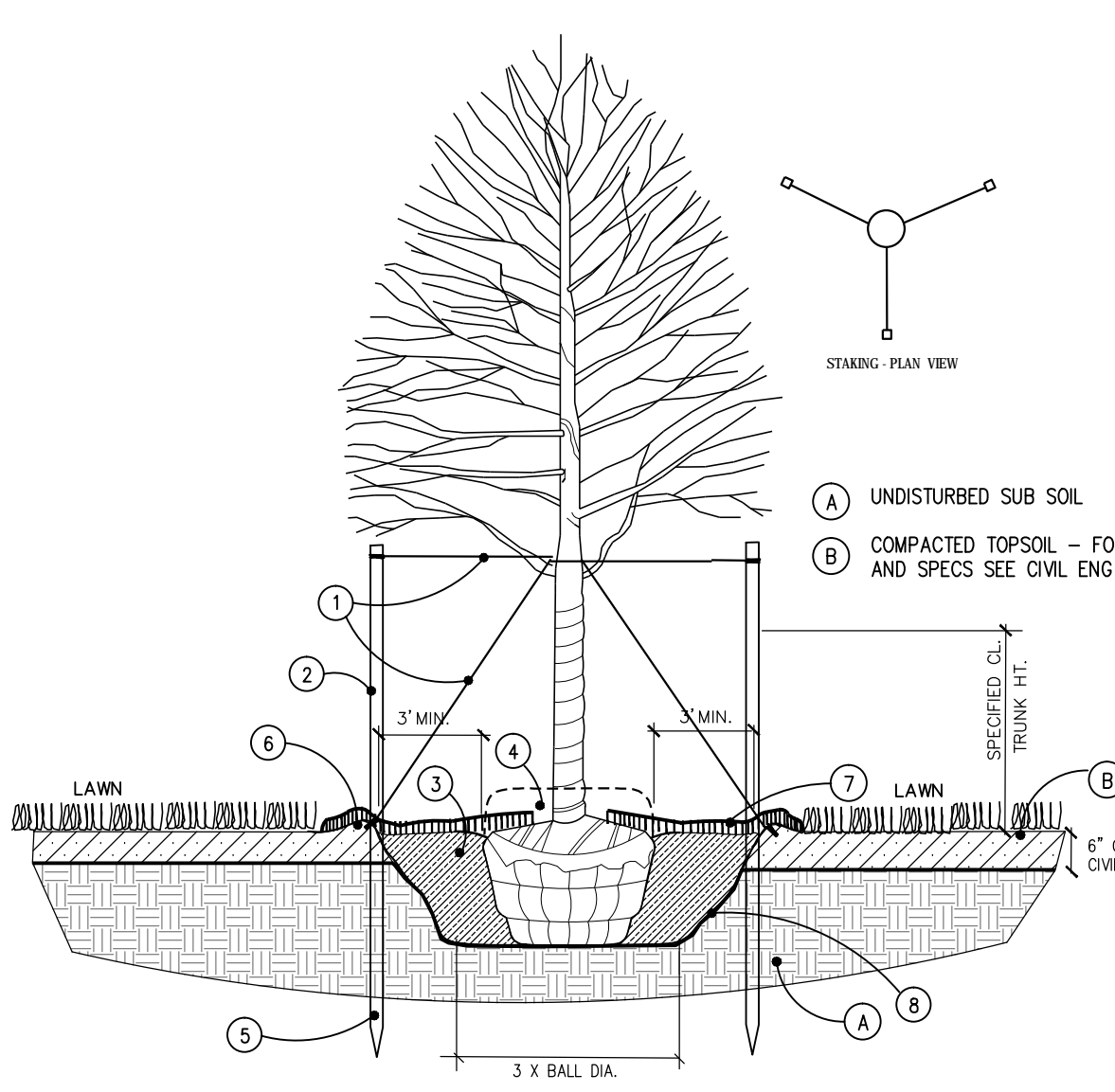
CIVIL ENGINEER  
**DESIGN SERVICES CO.**  
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HOLLAND, OH, 43528  
(419) 865-8600

LANDSCAPE ARCHITECT  
**KENNETH WEIKAL**  
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33203 BIDDESTONE LANE  
FARMINGTON HILLS, MI, 48334  
(248) 477-3600



- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION  
REMOVE ALL FIBER, PLASTIC OR METAL CONTAINERS
- 1 IRREGULAR PLANT SPACING
  - 2 2" DEPTH DOUBLE PROCESSED SHREDDED BARK MULCH - DO NOT BURY CROWN OF PLANT
  - 3 SHOVEL CUT EDGE, SEE PLAN
  - 4 EXCAVATE EXISTING SOIL 12" DEEP, FILL WITH PLANT MIX (SEE SPECS.)
  - 5 UNDISTURBED SUBGRADE

1 PERENNIAL/ GROUND COVER PLANTING DETAIL  
LS-2 NOT TO SCALE



- REMOVE ALL TAGS, STRINGS, PLASTICS AND OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING  
STAKE ALL TREES UNDER 4" GUY ALL TREES 4" AND OVER  
PRUNE ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES  
PLANT SO THAT TOP OF ROOT FLARE IS EVEN WITH THE FINISHED GRADE  
NEVER CUT LEADER
- 1 GUYING STRAPS - 'ARBORITE' NYLON STRAPS
  - 2 STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT
  - 3 AMEND SOIL PER SPECIFICATION REQUIREMENTS WATER AND TAMP TO REMOVE AIR POCKETS
  - 4 REMOVE 4"-6" OF SOIL FROM TOP OF ROOT BALL TO EXPOSE ROOT FLARE. SOIL CAN BE USED IN PLANT MIX. REMOVE TOP 3/4 OF BASKET AND BURLAP. PLANT TREE SO THAT TOP OF ROOT FLARE IS EVEN WITH THE FINISHED GRADE
  - 5 (3) WOOD STAKES STAKES 2"x2" DRIVEN (MIN. 18") FIRMLY INTO SUB-GRADE PRIOR TO BACKFILLING. REMOVE AFTER 1 YEAR
  - 6 FORM SAUCER 6" BEYOND EDGE OF PLANT PIT - CONTINUOUS RIM
  - 7 4" DEEP SHREDDED DARK MULCH LEAVE 6" ORLE OF BARE SOIL AT TRUNK - DO NOT BURY TRUNK BASE
  - 8 SLOPE SIDES OF PIT 60 DEGREES MIN.

2 SHADE TREE PLANTING DETAIL  
LS-2 NOT TO SCALE

**ELM TREE HYBRIDS**

Elm Summary

The Elms specified are not American elm trees, which we all know have been decimated over the past 100 years in the American landscape, but special hybrids developed to replace the American Elm.

**The Regal Elm** - is a hybrid elm cultivar developed by the University of Wisconsin at Madison and released in 1983. 'Regal' was derived from seeds arising from the crossing of the Dutch hybrid clones of the Siberian elm and European smooth leaved elm (*Ulmus pumila* x 'Hoersholmensis'), sent in 1960 by the De Dorschkamp Research Institute in the Netherlands.

The Regal elm casts a honeylocust-like light shade that makes possible the successful culture of turf grass in the vicinity of the tree

**The 'Accolade' Elm** - is a cross of the Japanese elm and Chinese elm, (*Ulmus japonica* x *Ulmus wilsoniana*) - and was developed by the Morton Arboretum in Chicago

It is an elm cultivar derived from an elm hybrid planted at the Morton Arboretum in 1924, which itself originated as seed collected from a tree at the Arnold Arboretum in Massachusetts.

Accolade Elm is a cross of Japanese and Chinese species selected for its vase shape, vigorous growth, excellent drought tolerance and good strong yellow fall color. It has excellent disease resistance to both Elm Yellows and to the dreaded Dutch Elm Disease. Mayor Daley of Chicago chose the Accolade Elm to bring elms back to Chicago's Grant Park in 2002.

The original tree at the Morton Arboretum is noted for its resemblance to the American Elm (*Ulmus americana*), its upright-arching branches creating the familiar vase-shape. Moreover, in its 80+ years it has survived three epidemics of Dutch Elm Disease there unscathed.

**The Triumph Elm** - is another elm developed at the Morton Arboretum

It is Asian hybrid - a cross between the 'Vanguard Elm' and 'Accolade Elm' (parentage - Japanese, Chinese and Siberian elms)

All three of these elms have been selected for their fast growth and environmental tolerance.

All three of these elms have been specified by our office and are awaiting planting or have been specified and planted in Canton, Novi, Northville, West Bloomfield, Waterford, Shelby Township, Grand Blanc, the city of Detroit and projects in Illinois and Ohio.

**Material and Performance Specification Sheet**

North American Green  
14640 Highway 41 North  
Evanston, IL 47725  
800-772-2040  
FAX: 812-867-0247  
www.nagreen.com

**S150 Erosion Control Blanket**

The short-term double net erosion control blanket shall be a machine-produced mat of 100% agricultural straw with a functional longevity of up to 12 months. (NOTE: functional longevity may vary depending upon climatic conditions, soil, geographical location, and elevation). The blanket shall be of consistent thickness with the straw evenly distributed over the entire area of the mat. The blanket shall be covered on the top and bottom sides with a lightweight photodegradable polypropylene netting having an approximate 0.50 x 0.50 (1.27 x 1.27 cm) mesh. The blanket shall be sewn together on 1.50 inch (3.81 cm) centers with degradable thread.

The S150 shall meet requirements established by the Erosion Control Technology Council (ECTC) Specification and the US Department of Transportation, Federal Highway Administration's (FHWA) Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects, FP-Q3 Section 713.17 as a type 2.D Short-term Double Net Erosion Control Blanket.

The blanket shall be manufactured with a colored thread stitched along both outer edges (approximately 2-5 inches [5-12.5 cm] from the edge) as an overlap guide for adjacent mats.

Material Content		
Matrix:	100% Straw Fiber	0.5 lbs/yd <sup>2</sup> (0.27 kg/m <sup>2</sup> )
Nettings:	Top and Bottom nets, lightweight photodegradable	1.5 lb/1000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. weight
Thread:	Degradable	

S150 is available in the following standard roll sizes:

Width	4.0 ft (1.2 m)	6.67 ft (2.03 m)	18 ft (4.87 m)
Length	135 ft (41.14 m)	108 ft (32.92 m)	108 ft (32.92 m)
Weight ± 10%	30 lbs (13.6 kg)	40 lbs (18.14 kg)	96 lbs (43.54 kg)
Area	60 yd <sup>2</sup> (50.16 m <sup>2</sup> )	80.0 yd <sup>2</sup> (66.9 m <sup>2</sup> )	192 yd <sup>2</sup> (165.5 m <sup>2</sup> )

**Index Value Properties:**

Property	Test Method	Typical
Thickness	ASTM D6525	0.36 in (9.14 mm)
Resiliency	ECTC Guidelines	80.5%
Water Absorbency	ASTM D1117	514%
Mass/Unit Area	ASTM 6475	10.52 oz/yd <sup>2</sup> (357.7 g/m <sup>2</sup> )
Swell	ECTC Guidelines	15%
Smolder Resistance	ECTC Guidelines	Yes
Stiffness	ASTM D1398	0.08 oz-in
Light Penetration	ECTC Guidelines	9.9%
Tensile Strength - MD	ASTM D8818	199.2 lbs/ft (2.51 kN/m)
Elongation - MD	ASTM D8818	17.2%
Tensile Strength - TD	ASTM D8818	164.4 lbs/ft (2.44 kN/m)
Elongation - TD	ASTM D8818	33.1%

**Performance Design Values:**

Maximum Permissible Shear Stress		
Unvegetated Shear Stress	1.75 lbs/ft <sup>2</sup> (84 Pa)	
Unvegetated Velocity	6.00 ft/s (1.83 m/s)	

**Slope Design Data: C Factors**

Slope Length (L)	Slope Gradient (G)	
	≤ 3:1	≥ 2:1
≤ 20 ft (6 m)	0.004	0.106
20-50 ft	0.062	0.118
≥ 50 ft (15.2 m)	0.12	0.180

**Roughness Coefficients: Unveg.**

Flow Depth	Manning's n
≤ 0.50 ft (0.15 m)	0.055
0.50 - 2.0 ft	0.055 - 0.021
≥ 2.0 ft (0.60 m)	0.021

**Bench Scale Testing\* (NITEP):**

Test Method	Parameters	Results
ECT Method 2	50 mm (2 in)/hr for 30 min	SLR** = 8.04
Rainfall	100mm (4 in)/hr for 30 min	SLR** = 10.46
	150 mm (6 in)/hr for 30 min	SLR** = 13.67
ECT Method 3	Shear at 0.58 inch soil loss	2.1 lbs/ft <sup>2</sup>
ECT Method 4	Top Soil, Fescue, 21 day incubation	484% improvement of biomass

\* Bench Scale Tests should not be used for design purposes.  
\*\* Soil Loss Ratio = Soil loss with Bare Soil/Soil Loss with RECP (Soil loss is based on regression analysis)

Updated 3/08

Product Participant of:

CLIENT:

**GENOA REAL ESTATE, LLC.**  
10503 CITATION DR.  
STE. 100  
BRIGHTON, MI, 48116

PROJECT:

**THE WELLBRIDGE OF BRIGHTON - PARKING EXPANSION**  
2200 DORR RD.  
HOWELL, MI, 48843

SHEET CONTENTS:

DETAILS

DATE: DESCRIPTION: DRAWN BY:



06/24/14 SITE PLAN APPROVAL JS  
DATE: DESCRIPTION: DRAWN BY:

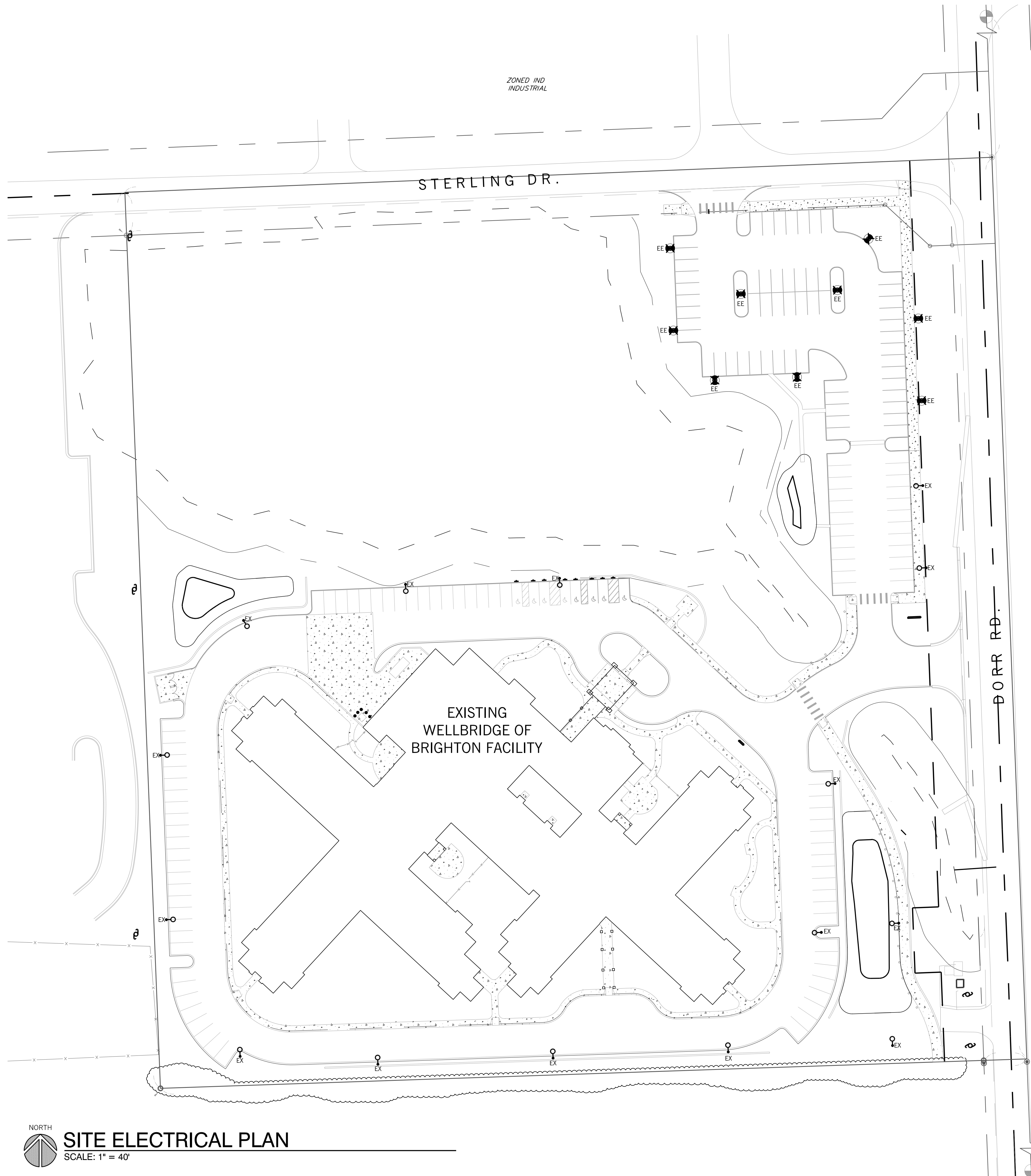
THIS DRAWING IS DIAGNOSTIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL VERIFY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY FOR DISCREPANCIES IN ANY FIELD DRAWINGS, SEE RELATED DRAWINGS.

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JWD PROJECT NUMBER: SHEET NUMBER:

14005 LS-2



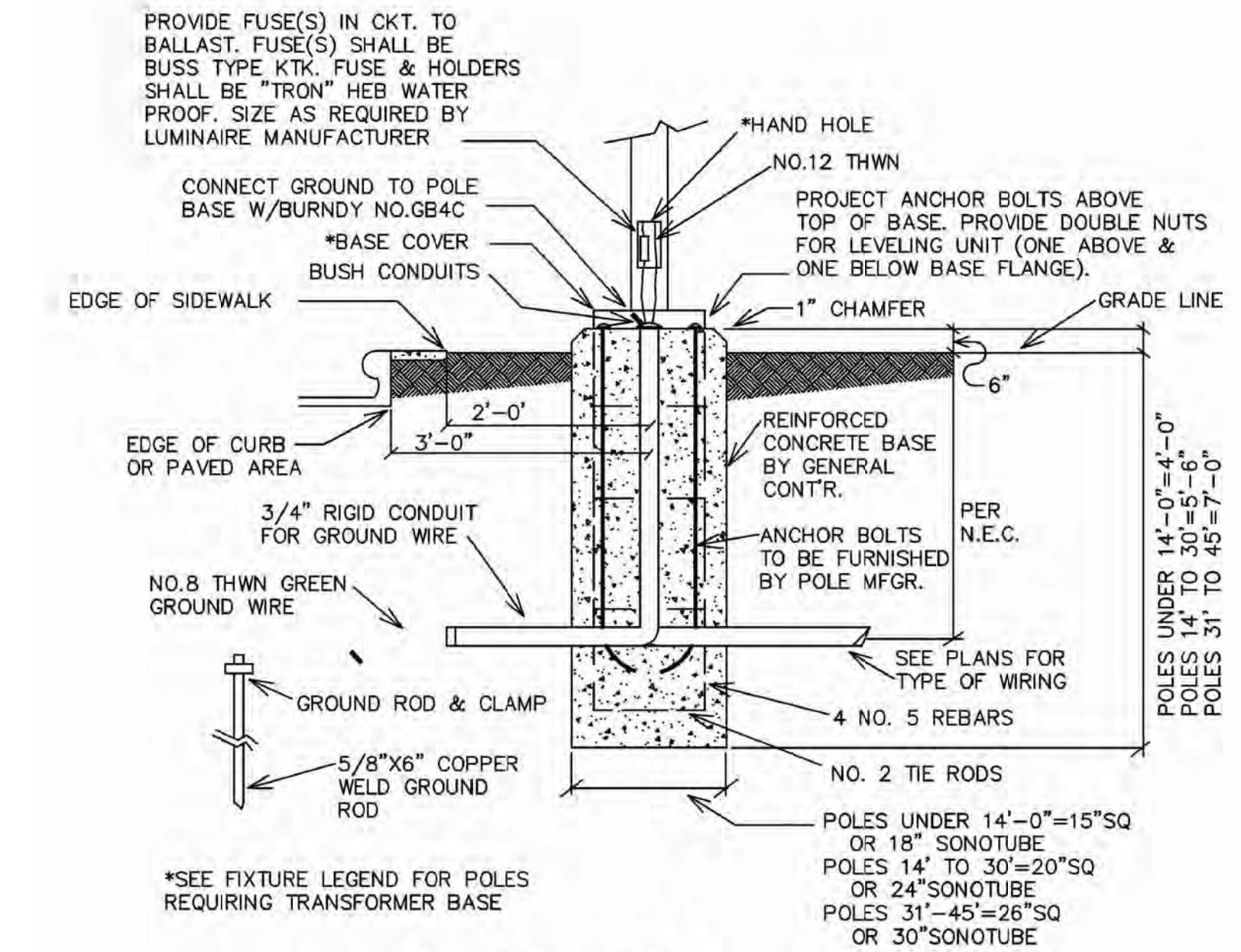


**GENERAL SITE LIGHTING NOTES**

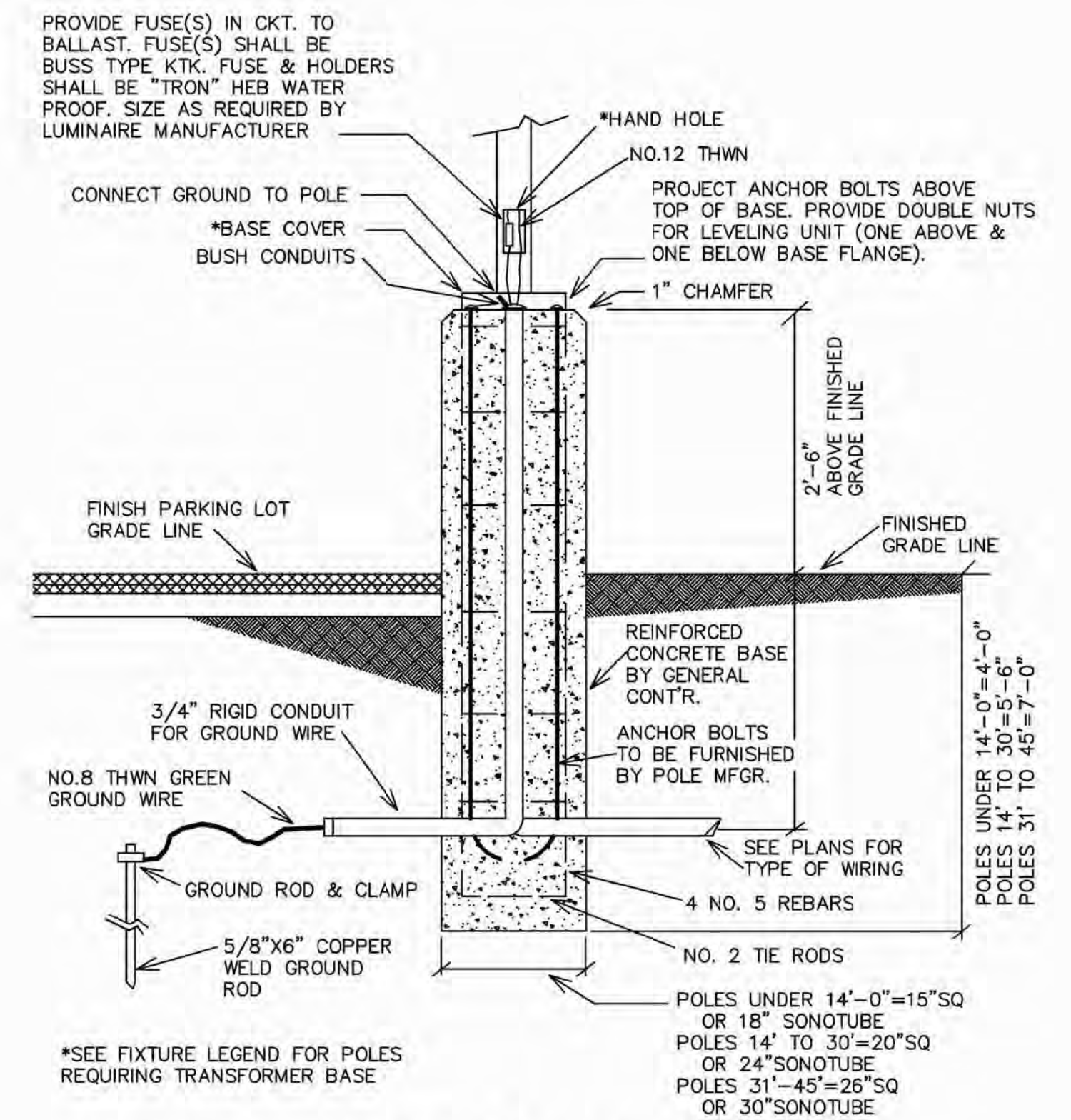
1. THE ELECTRICAL CONTRACTOR SHALL CONTACT THE LOCAL UTILITY AND SUBMIT REQUIRED INFORMATION FOR PERMANENT ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. ALL UTILITY ARRANGEMENTS SHALL BE CONFIRMED BY THE LOCAL UTILITY PRIOR TO ORDERING EQUIPMENT.
2. ALL UTILITY EQUIPMENT LOCATIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED WITH THE LOCAL UTILITY PRIOR TO INSTALLATION.
3. ALL DISCREPANCIES WITH THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. IN OTHERWISE DOING SO, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR REQUIRED REVISIONS.
4. ALL ITEMS SHOWN ON PLAN ARE NEW UNLESS MARKED AS (EX) FOR EXISTING.

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EXISTING POLE MOUNTED FIXTURE TO REMAIN
	NEW POLE MOUNTED FIXTURE (REF. TO SCHEDULE)

WELLBRIDGE OF BRIGHTON FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MOUNTING	LAMPS	MANUF. & CATALOG NUMBER
EE	POST TOP METAL HALIDE "PERIOD" LUMINAIRES	12" PERIOD POLES	175W MH	AMERILUX D131/A021 CL 175 MH



**BASE DETAIL -  
OUTDOOR LIGHTING STANDARDS**  
NOT TO SCALE



**BASE DETAIL -  
OUTDOOR LIGHTING STANDARDS**  
NOT TO SCALE



www.jwdstudio.com  
412 S. WASHINGTON ST, SUITE 100  
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FAX: (248) 336-2107  
EMAIL: INFO@JWDSTUDIO.COM

CONSULTANTS:  
**CIVIL ENGINEER**  
DESIGN SERVICES CO.  
1716 PERRYBURG-HOLLAND RD.  
HOLLAND, OH, 43528  
(419) 865-8600  
**LANDSCAPE ARCHITECT**  
KENNETH WEIKAL  
LANDSCAPE ARCHITECTURE  
33203 BIDDLESTONE LANE  
FARMINGTON HILLS, MI, 48334  
(248) 477-3600

CLIENT:  
**GENOA REAL ESTATE, LLC.**  
10503 CITATION DR.  
STE. 100  
BRIGHTON, MI, 48116

PROJECT:  
**THE WELLBRIDGE OF BRIGHTON - PARKING EXPANSION**  
2200 DORR RD.  
HOWELL, MI, 48843

SHEET CONTENTS:  
**SITE LIGHTING PLAN**

DATE: DESCRIPTION: DRAWN BY:

06/24/14 SITE PLAN APPROVAL JS, RS  
DATE: DESCRIPTION: DRAWN BY:

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JWD PROJECT NUMBER: SHEET NUMBER:

14005 **E01.01**



amerlux exterior  
800.364.0098 • Fax: 281.997.5441 • www.amerluxexterior.com

A021 Series

**Description**  
The A021 Series consists of a decorative acorn combined with one of several styles of cast aluminum filters.

**Installation**  
The luminaire will mount to a 3" OD post or tenon with 5/16" black oxide coated stainless steel set screws to ensure a solid connection. The diffuser will be held to the filter by (4) 5/16" black oxide coated stainless steel captive set screws.


**Electrical**

- High power factor ballast (HPF), core and coil type, pre-wired and tested
- Easy ballast pod access
- 4KV pulse rated porcelain socket
- Suitable for wet location

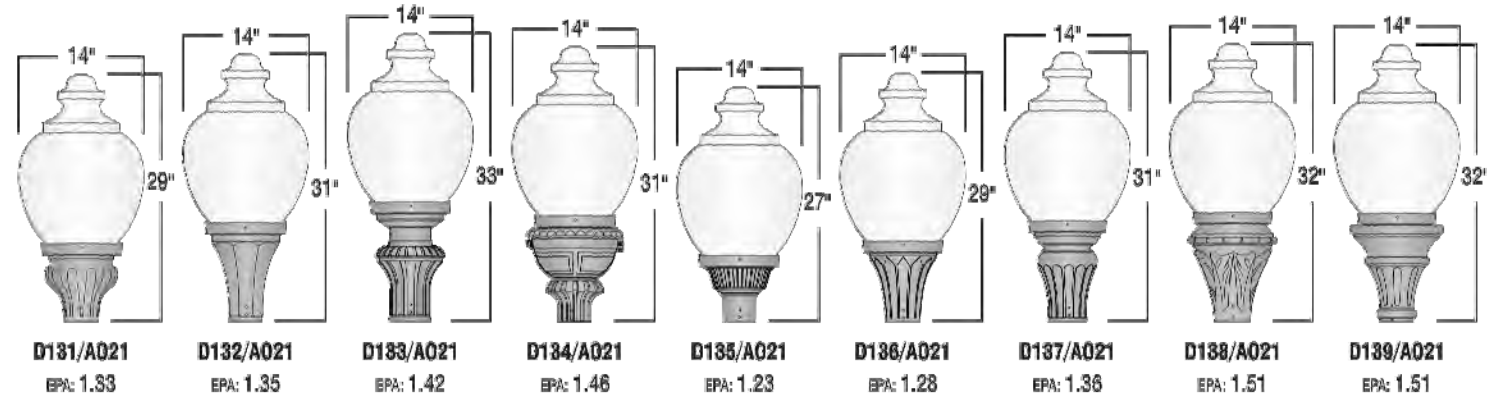
**Diffuser choices**

- Clear Textured Polycarbonate (PC-CL)
- White Textured Polycarbonate (PC-WH)
- Clear Textured DR Acrylic (DR-CL)

**Finish**  
Premium quality thermoset polyester powdercoat (see Finish Selection)



D131/A021 PC-CL



**Ordering Guide**

Filter	Diffuser	Material-Color	Light Source	Voltage	Finish	Options
D131/A021	PC-CL		100HPS	120v	BLK	L3 / CFIN
	PC-WH		100MH, 100MM, 150HPS	208v	CLB, GRN	L5, LVR
	DR-CL		150HPS	240v	WHT, TDK	FDR, HSS
				277v	ATC, GTD	BB, BB-FW, SR

Additional light sources, voltages, and custom colors are available. Contact factory for details.

**Light Sources**

Wattage	Socket Type
50MH, 70MH, 100MH, 150MH	Medium
50HPS, 70HPS, 100HPS	Medium
150HPS	Medium
PL-13	2-pin
CFL 26, 32, or 42	4-pin

NOTE: POLE MOUNTED FIXTURES TO BE SHIELDED TO MATCH EXISTING POLE MOUNTED FIXTURES

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A021 Series

**Fixture Accessories**

**Reflectors and Shields**

**FBR** (Faceted Downlight Reflector)

**LL** (Light Lid)  
Perforated aluminum reflector minimizes light to the upper hemisphere, while providing an aesthetically pleasing glow to the top of the diffuser.

**SLL or LL**

**SLL** (Solid Light Lid)  
Solid aluminum reflector. Both models are limited to use on the fixture series below:  
A028, ARP23, D736AO, D736ARP

**HSS90**

**HSS180**

**HSS-90** (90 degree cutoff)  
**HSS-180** (180 degree cutoff)  
House side shields are available to cutoff all direct light through certain horizontal angles. Both models clamp around the socket and are designed to be positioned in the field after installation of the fixture. If ordering for a retrofit application, the socket type must be specified.

**Light Control Options**

**L3 or L5**  
Borosilicate glass refractor with IES Type III (L3) or Type V (L5) light distribution can be specified in most fixtures that don't have an integral refractive lens. The refractor can be retrofit in existing fixtures without tools or electrical modifications.

**LVR**  
Lower  
This 4 tier specular aluminum lower is used to control glare and greatly decrease the amount of light emitted above 90 degrees vertical. It can be added to most fixtures that don't include an integral refractive lens. The top ring is open to allow easy lamp access, but can be specified as closed to further decrease light in the upper hemisphere. LVR1 or LVR2 will depend on socket size.

**AD Series Solid Top**  
Spun aluminum roof will be painted to match fixture unless otherwise indicated. Available with A016, A021, and A028.  
When ordering add SR to end of item number.  
A020PC-CL(SR)

**PCL**  
Dusk to dawn photocell. Available for 120v (PCL) or 208-277v (PCL mut).

**Decorative Chimney**

**Functional Chimney HG**

**Decorative Chimney CHM**

A decorative frosted glass chimney can be specified for two different optical applications.

**HG** - is specified for a vertical lamp (100w max HID) within the decorative chimney. The HG acts to diffuse the light source and add an aesthetic element, both day and night.

**CHM** - is a non-functional decorative chimney used when the light source is placed horizontally in the top of the fixture.

**Options**

- HSS** House Side Shield for use with Optical Systems
- FDR** Faceted Downlight Reflector
- LVR** 4 Tier Anodized Aluminum Lower
- L3 or L5** Type III (L3) or Type V (L5) Glass Refractor

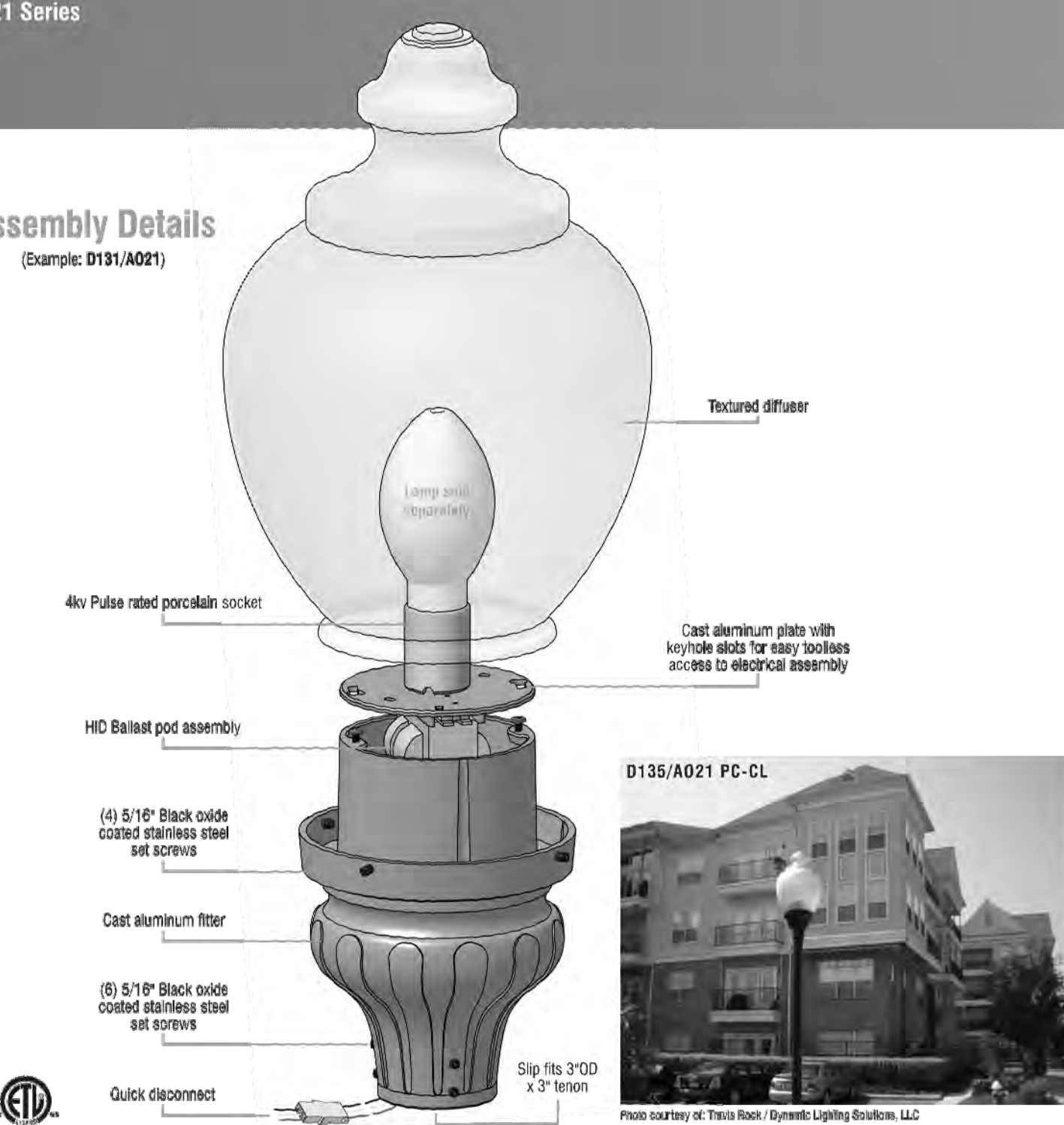
**Standard Photometry**

A021-CL Assembly  
Typical HID light source  
14,000 Lumens  
12" Mounting Height  
Grid Spacing is 12"

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A021 Series

**Assembly Details**  
(Example: D131/A021)



4kv Pulse rated porcelain socket

HID Ballast pod assembly

(4) 5/16" Black oxide coated stainless steel set screws

Cast aluminum plate with keyhole slots for easy toolless access to electrical assembly

Cast aluminum filter

(6) 5/16" Black oxide coated stainless steel set screws

Quick disconnect

Slip fits 3"OD x 3" tenon

Photo courtesy of: Travis Beck / Dynamic Lighting Solutions, LLC

**Options**

- HSS** House Side Shield for use with Optical Systems
- FDR** Faceted Downlight Reflector
- LVR** 4 Tier Anodized Aluminum Lower
- L3 or L5** Type III (L3) or Type V (L5) Glass Refractor

**Standard Photometry**

A021-CL Assembly  
Typical HID light source  
14,000 Lumens  
12" Mounting Height  
Grid Spacing is 12"



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33203 BIDDESTONE LANE  
FARMINGTON HILLS, MI, 48334  
(248) 477-3600

CLIENT:

**GENOA REAL ESTATE, LLC.**  
10503 CITATION DR.  
STE. 100  
BRIGHTON, MI, 48116

PROJECT:

**THE WELLBRIDGE OF BRIGHTON - PARKING EXPANSION**  
2200 DORR RD.  
HOWELL, MI, 48843

SHEET CONTENTS:

**LUMINAIRE CUT SHEETS**

DATE: DESCRIPTION: DRAWN BY:

06/24/14 SITE PLAN APPROVAL JS  
DATE: DESCRIPTION: DRAWN BY:

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JWD PROJECT NUMBER: SHEET NUMBER:

14005 **E01.02**



GENOA CHARTER TOWNSHIP  
Special Land Use Application

BENOA TOWNSHIP  
JUN 19 2014

This application must be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: Joseph Auto Sales & Service, Inc.  
*Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.*

APPLICANT PHONE: (810 )750-4700 EMAIL: wedeal@charter.net

OWNER NAME & ADDRESS: J&B Pizza, LLC

SITE ADDRESS: 2860 E. Grand River Ave PARCEL #(s): 11-06-200-056

OWNER PHONE: 248-454-1010 EMAIL: \_\_\_\_\_

Location and brief description of site and surroundings:  
Known as "the old Pizza Hut" location located at E. Grand River Ave. and Tahoe Street  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Use:  
Automobile Dealership for the Sale of Used Vehicles. This location will be for Sales only, no Mechanical or Body Repair will be done at this location.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The Genoa Township Comprehensive Plan will be promoted by the improvement of the subject property which will enhance the immediate adjacent properties. It will also blend well with existing adjacent businesses and properties as many of those are also automotive related.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The existing structure will be changed to remove the "peak" on the roofline, the front trapazoid windows will be replaced with relangle shape and a front door, the front will have a combo of a "brick/stone" look material on the bottom half, the paint colors will be done in natural/earthtones

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

The current public facilities and services of roadways, police/fire protection services, water & sewage in place will be very adequate for this use. There will not be any increase in use of these facilities by allowing this project to move forward



d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

No. None of the above mentioned uses, or activities will be involved at this facility

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

The above mentioned Zoning Ordinances have all of the minimum requirements and in most cases, if not all exceed the minimum requirements of lot size, square footage, buffer zone for residential, traffic patterns for external and internal flow, vehicle display, and landscaping.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Joseph W. Hood STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: 


ADDRESS: 16525 Silver Parkway, Fenton, MI 48430

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Joseph W. Hood of Joseph Auto Sales & Services, Inc. at wedeal@charter.net  
Name Business Affiliation Email

**FEE EXCEEDANCE AGREEMENT**

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 6-17-2014

PRINT NAME: Joe W. Hood PHONE: 810-625-7193/810-750-4700



## PERMIT INFORMATION

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what departmental permits, licenses, or approvals of a permit-like nature may be needed for a project. By contacting the appropriate offices listed below, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities (i.e. planning requirements and chemical storage regulations may apply). A useful way to learn whether any other requirements will apply is to go through the Self Environmental Assessment in the Michigan Manufacturers Guide, online at: [http://www.michigan.gov/deq/0,1607,7-135-3310\\_4148-15820--,00.html](http://www.michigan.gov/deq/0,1607,7-135-3310_4148-15820--,00.html).

KEY QUESTIONS: (DEQ Permit and Licensing Guidebook Chapter)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	If "Yes," refer to the DEQ Permit and Licensing Guidebook Section(s), the Web Page, or Call the Program:
<b>CONSTRUCTION PERMITS</b>			
<b>Permit to Install:</b> Does the project involve installation, construction, reconstruction, relocation, or alteration of any process equipment (including air pollution control equipment) which has the potential to emit air contaminants? (Permit Guidebook Chapter <a href="#">5.1.3</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? (Notification is required for all renovations and demolitions, even if the structure never contained asbestos.)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD Asbestos NESHAP Program 517-373-7064
<b>Soil Erosion and Sedimentation Control (SESC):</b> Does the project involve an earth change activity within 500 feet of a lake or stream, or will the project disturb an area greater than one acre in size? (Permit Guidebook Chapter <a href="#">5.3.5</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact Your Local SESC Agency: <a href="http://www.deq.state.mi.us/sesca/">http://www.deq.state.mi.us/sesca/</a> <a href="#">Web</a> , WB, SESC Program, 517-335-3178
Does the project involve construction which will disturb one or more acres that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <a href="#">5.2.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office
Does the project involve construction or alteration of any sewage collection or treatment facility? (Permit Guidebook Chapter <a href="#">5.3.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate District Office, WB, Part 41 Construction Permit Program
Does the project involve construction of a community water supply well or the extension of a water supply from an existing water system? (Permit Guidebook Chapter <a href="#">5.3.2</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate DEQ District Office, WB, Community Water Supply Program
Does the project involve construction of a water supply well (a private, irrigation, process, or public water well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact a <a href="#">Registered Well Driller</a> , <a href="#">Web</a> , <a href="#">Local Health Department Contacts</a> , Non Community Water Supply, <a href="#">Web</a>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? (Permit Guidebook Chapter <a href="#">5.4.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? (Permit Guidebook Chapter <a href="#">5.4.2</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> <a href="#">5.4.2</a> , WHMD, Hazardous Waste Section, 517-373-9875
<b>CONSTRUCTION PERMITS (LAND/WATER FEATURE)</b>			
Does the project involve filling, dredging, placement of structures, draining, or use of a wetland? (Permit Guidebook Chapter <a href="#">5.5.6</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <a href="#">Web</a> ), <a href="#">Web</a> Land & Water Management Division (LWMD), Permit Consolidation Unit, 517-373-9244
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development? (Permit Guidebook Chapter <a href="#">5.5.6</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244

<b>Great Lakes:</b> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes? (Permit Guidebook Chapter <a href="#">5.5.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Inland Lakes and Streams:</b> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody? (Permit Guidebook Chapter <a href="#">5.5.7</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</b> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody? (Permit Guidebook Chapters <a href="#">5.5.7</a> & <a href="#">5.5.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.1</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse? (Permit Guidebook Chapter <a href="#">5.5.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area? (Permit Guidebook Chapter <a href="#">5.5.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <b>environmental area</b> ? (Permit Guidebook Chapter <a href="#">5.5.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.1</a> , <a href="#">Web5.5.4</a> , <a href="#">Web5.5.6</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <b>critical dune area</b> ? (Permit Guidebook Chapter <a href="#">5.5.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a <b>dam, weir or other structure to impound flow</b> ? (Permit Guidebook Chapters <a href="#">5.5.7</a> & <a href="#">5.5.8</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.8</a> , LWMD, Dam Safety Program, 517-241-9862
<b>CONSTRUCTION PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve a <b>subdivision or site condominium</b> project utilizing individual on-site subsurface disposal systems or individual wells? (Permit Guidebook Chapter <a href="#">5.3.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1345
Does the project involve the construction or modification of a <b>campground</b> ? (Permit Guidebook Chapter <a href="#">5.3.6</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Does the project involve the construction or modification of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <a href="#">5.3.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
<b>OPERATIONAL PERMITS</b>		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous <b>air pollutant</b> ; or 25 tons per year or more of any combination of hazardous <b>air pollutants</b> ? (Permit Guidebook Chapter <a href="#">5.1.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
<b>NPDES:</b> Does the project involve the <b>discharge of any type of wastewater</b> to a storm sewer, drain, lake, stream, or other <b>surface water</b> ? (Permit Guidebook Chapter <a href="#">5.2.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Appropriate District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program 517-241-1346
Does the facility have <b>industrial activity</b> that comes into contact with <b>storm water</b> that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <a href="#">5.2.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office



Does the project involve the <b>discharge of wastewaters</b> into or onto the <b>ground</b> (e.g. subsurface disposal or irrigation)? (Permit Guidebook Chapter <u>5.2.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Groundwater Permits Program, 517-373-8148
Does the project involve the drilling or deepening of <b>wells for waste disposal</b> ? (Permit Guidebook Chapter <u>5.7.8</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve landfilling, transferring, or processing of any type of <b>solid non-hazardous waste</b> on-site, or placing <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter <u>4.4.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the on-site treatment, storage, or disposal of <b>hazardous waste</b> ? (Permit Guidebook Chapters <u>4.4.3</u> , & <u>4.4.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Hazardous Waste Section, 517-373-9875
Does the project require a <b>site identification number</b> (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD, Appropriate DEQ District Office
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of <b>radioactive material</b> in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Radioactive Material and Standards Unit, 517-241-1275
Do you desire to develop a <b>withdrawal</b> of over 2,000,000 gallons of <b>water</b> per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways? (Permit Guidebook Chapter <u>5.2.6</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, DWEHS, Source Water Protection Unit, 517-241-1318
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using <b>chemicals</b> or materials in, or in contact with, <b>drinking water</b> at any point in the <b>water works system</b> ? (Permit Guidebook Chapter <u>5.2.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Appropriate District Office, Public Water Supply Program 517-241-1318
Are you applying a chemical treatment for the purpose of <b>aquatic nuisance control</b> (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (Permit Guidebook Chapter <u>5.2.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Aquatic Nuisance Control and Remedial Action Unit 517-241-7734
Are you applying materials to a water body for a <b>water resource management project</b> (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? (Permit Guidebook Chapter <u>5.2.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Surface Water Assessment Section 517-373-2190
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the <b>transport</b> of some other facility's non-hazardous <b>liquid waste</b> ? (Permit Guidebook Chapter <u>4.2.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does the project involve the <b>transport hazardous waste</b> ? (Permit Guidebook Chapter <u>4.2.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does your facility have an <b>electric generating unit</b> that sells electricity to the grid and burns a fossil fuel? (Permit Guidebook Chapter <u>5.1.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , AQD, Acid Rain Permit Program, 517-373-7023
Is the project a <b>dry cleaning establishment</b> utilizing perchloroethylene or a flammable solvent in the cleaning process? (Permit Guidebook Chapter <u>4.1.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , DEQ, Air Quality Division (AQD), 517-241-1324
Does your <b>laboratory test potable water</b> as required for compliance and monitoring purposes of the Safe Drinking Water Act? (Permit Guidebook Chapter <u>4.1.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , ESSD, Laboratory Services Section 517-335-9800

Does the project involve the generation of <b>medical waste</b> or a facility that treats medical waste prior to its disposal? (Permit Guidebook Chapter <a href="#">4.1.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Waste and Hazardous Materials Division (WHMD), Medical Waste Regulatory Program 517-241-1320
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of <b>septage</b> or sewage sludge into or onto the ground? (Permit Guidebook Chapter <a href="#">4.2.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, Septage Program 517-241-1318
Do you store, haul, shred or process <b>scrap tires</b> ? (Permit Guidebook Chapters <a href="#">4.2.2</a> or <a href="#">4.4.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
Does the project involve the operation of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <a href="#">4.1.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
Does the project involve the operation of a <b>campground</b> ? (Permit Guidebook Chapter <a href="#">4.1.6</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Do you engage in the business of <b>hauling bulk water</b> for drinking or household purposes (except for your own household use)? (Permit Guidebook Chapter <a href="#">4.2.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, Noncommunity Unit, 517-241-1370
Does the project involve composting over 200 cubic yards of yard clippings? (Permit Guidebook Chapter <a href="#">4.4.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an <b>aboveground storage tank</b> for a flammable or combustible liquid (under 200 degrees Fahrenheit)? (Permit Guidebook Chapter <a href="#">4.3.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section (STSWs), 517-335-7211
Does the project involve the installation of a <b>compressed natural gas dispensing station</b> with storage? (Permit Guidebook Chapter <a href="#">4.3.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>liquefied petroleum gas</b> container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons? (Permit Guidebook Chapter <a href="#">4.3.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the installation, removal, or upgrade of an <b>underground storage tank</b> containing a petroleum product or a hazardous substance? (Permit Guidebook Chapter <a href="#">4.3.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the <b>installation of a hydrogen system</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD STSWs, 517-335-7211
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the <b>Certified Operator</b> to fulfill the requirements of a wastewater discharge permit (NPDES including Storm Water or Groundwater)? (Permit Guidebook Chapters <a href="#">3.1</a> , <a href="#">3.2</a> , & <a href="#">3.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Hollink to Program Web Page ( <a href="#">Web</a> ) <a href="#">Web3.1</a> , <a href="#">Web3.2</a> , Environmental Science and Services Division (ESSD), Operator Training 517-373-4755 and, <a href="#">Web3.5</a> Water Bureau (WB), Storm Water Program 517-241-8993
Are you a <b>drinking water operator</b> in charge of a water treatment or water distribution system, back-up operator, or shift operator? (Permit Guidebook Chapter <a href="#">3.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , ESSD, Operator Training 517-241-7199
Are you a <b>water well</b> drilling contractor, pump installer, <b>dewatering well</b> contractor or dewatering well pump installer? (Permit Guidebook Chapter <a href="#">3.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Well Construction Unit 517-241-1377

**OIL, GAS AND MINING**

Do you want to operate a <b>central production facility</b> (applies to oil and gas production facilities where products of diverse ownership are commingled)? (Permit Guidebook Chapter <a href="#">4.1.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Office of Geological Survey (OGS), Petroleum Geology and Production Unit 517-241-1515
Does the project involve the removal of sand from a <b>sand dune area</b> within two (2) miles of a Great Lakes shoreline? (Permit Guidebook Chapter <a href="#">5.6.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Office of Geological Survey (OGS), Minerals and Mapping Unit, 517-241-1542
Does the project involve the diversion and control of water for the mining and processing of <b>low-grade iron ore</b> ? (Permit Guidebook Chapter <a href="#">5.6.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the surface or open-pit mining of <b>metallic mineral deposits</b> ? (Permit Guidebook Chapter <a href="#">5.6.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the mining of <b>nonferrous mineral deposits</b> at the surface or in underground mines? (Permit Guidebook Chapter <a href="#">5.6.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve mining <b>coal</b> ? (Permit Guidebook Chapter <a href="#">5.6.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Do you want to change the status of an <b>oil or gas well</b> (i.e. plug the well)? (Permit Guidebook Chapter <a href="#">5.7.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve drilling of <b>oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells</b> ? (Permit Guidebook Chapter <a href="#">5.7.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve plugging or deepening of an <b>oil or gas well</b> , or conveying rights in the well as an owner to another person? (Permit Guidebook Chapter <a href="#">5.7.3</a> , <a href="#">5.7.4</a> & <a href="#">5.7.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve changing the status or plugging of a <b>mineral well</b> ? (Permit Guidebook Chapter <a href="#">5.7.6</a> & <a href="#">5.7.7</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve the drilling or deepening of <b>wells for brine production, solution mining, storage, or as test wells</b> ? ( <a href="#">5.7.8</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD Radioactive Material and Standards Unit, 517-241-1275

ENVIRONMENTAL ASSISTANCE CENTER: 1-800-662-9278





**GENOA CHARTER TOWNSHIP APPLICATION**  
**Sketch Plan Review**

**GENOA TOWNSHIP**  
**JUN 19 2014**

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: Joseph Auto Sales & Service, Inc.  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed*

OWNER'S NAME & ADDRESS: J&B Pizza, LLC

SITE ADDRESS: 2860 E. Grand River Ave PARCEL #(s): 11-06-200-056

APPLICANT PHONE: 810 750-4700 OWNER PHONE: 810 454-1010

LOCATION AND BRIEF DESCRIPTION OF SITE: Known as "the old Pizza Hut"  
location at E. Grand River Ave and Tahoe St.

BRIEF STATEMENT OF PROPOSED USE: Automobile Dealership for the Sale of Used Vehicles.

This will be a Sales Location only, no Mechanical or Body repair will be done at this location.

THE FOLLOWING IMPROVEMENTS ARE PROPOSED: As per the renderings, the roof line will  
be revised, new front windows will be installed, landscape will be updated, and  
the asphalt will be repaired and seal coated. Please refer to the booklets for pictures.

**I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

BY: 

ADDRESS: 16525 Silver Parkway, Fenton, MI 48430

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following:

Joseph W. Hood of Joseph Auto Sales & Service, Inc. at wedeal@charter.net  
Name Business Affiliation Email Address

**FEE EXCEEDANCE AGREEMENT**

All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE

DATE: June 18, 2014

PRINT NAME: Joseph W. Hood

PHONE: 810-625-7193/810-750-4700



## PERMIT INFORMATION

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what departmental permits, licenses, or approvals of a permit-like nature may be needed for a project. By contacting the appropriate offices listed below, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities (i.e. planning requirements and chemical storage regulations may apply). A useful way to learn whether any other requirements will apply is to go through the Self Environmental Assessment in the Michigan Manufacturers Guide, online at: [http://www.michigan.gov/deq/0,1607,7-135-3310\\_4148-15820--,00.html](http://www.michigan.gov/deq/0,1607,7-135-3310_4148-15820--,00.html).

KEY QUESTIONS: (DEQ Permit and Licensing Guidebook Chapter)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	If "Yes," refer to the DEQ Permit and Licensing Guidebook Section(s), the Web Page, or Call the Program:
<b>CONSTRUCTION PERMITS</b>			
<b>Permit to Install:</b> Does the project involve installation, construction, reconstruction, relocation, or alteration of any process equipment (including air pollution control equipment) which has the potential to emit air contaminants? (Permit Guidebook Chapter <a href="#">5.1.3</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? (Notification is required for all renovations and demolitions, even if the structure never contained asbestos.)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD Asbestos NESHAP Program 517-373-7064
<b>Soil Erosion and Sedimentation Control (SESC):</b> Does the project involve an earth change activity within 500 feet of a lake or stream, or will the project disturb an area greater than one acre in size? (Permit Guidebook Chapter <a href="#">5.3.5</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact Your Local SESC Agency: <a href="http://www.deq.state.mi.us/sesca/">http://www.deq.state.mi.us/sesca/</a> <a href="#">Web</a> , WB, SESC Program, 517-335-3178
Does the project involve <b>construction</b> which will disturb one or more acre that comes into contact with <b>storm water</b> that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <a href="#">5.2.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office
Does the project involve <b>construction</b> or alteration of any <b>sewage collection or treatment facility</b> ? (Permit Guidebook Chapter <a href="#">5.3.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate District Office, WB, Part 41 Construction Permit Program
Does the project involve <b>construction</b> of a <b>community water supply well</b> or the extension of a water supply from an existing water system? (Permit Guidebook Chapter <a href="#">5.3.2</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate DEQ District Office, WB, Community Water Supply Program
Does the project involve <b>construction</b> of a <b>water supply well</b> (a private, irrigation, process, or public water well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact a <a href="#">Registered Well Driller</a> , <a href="#">Web</a> , <a href="#">Local Health Department Contacts</a> , Non Community Water Supply, <a href="#">Web</a>
Does the project involve construction of a facility that <b>landfills, transfers, or processes</b> of any type of <b>solid non-hazardous waste on-site</b> , or places <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter <a href="#">5.4.1</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <b>hazardous waste</b> ? (Permit Guidebook Chapter <a href="#">5.4.2</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Web 5.4.2</a> , WHMD, Hazardous Waste Section, 517-373-9875
<b>CONSTRUCTION PERMITS (LAND/WATER FEATURE)</b>			
Does the project involve filling, dredging, placement of structures, draining, or use of a wetland? (Permit Guidebook Chapter <a href="#">5.5.6</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <a href="#">Web</a> ), <a href="#">Web</a> Land & Water Management Division (LWMD), Permit Consolidation Unit, 517-373-9244
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development? (Permit Guidebook Chapter <a href="#">5.5.6</a> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244

<b>Great Lakes:</b> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes? (Permit Guidebook Chapter <u>5.5.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Inland Lakes and Streams:</b> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody? (Permit Guidebook Chapter <u>5.5.7</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</b> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody? (Permit Guidebook Chapters <u>5.5.7</u> & <u>5.5.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.1</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse? (Permit Guidebook Chapter <u>5.5.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area? (Permit Guidebook Chapter <u>5.5.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area? (Permit Guidebook Chapter <u>5.5.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.1</a> , <a href="#">Web5.5.4</a> , <a href="#">Web5.5.6</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area? (Permit Guidebook Chapter <u>5.5.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a dam, weir or other structure to impound flow? (Permit Guidebook Chapters <u>5.5.7</u> ) & <u>5.5.8</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.8</a> , LWMD, Dam Safety Program, 517-241-9862
<b>CONSTRUCTION PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells? (Permit Guidebook Chapter <u>5.3.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1345
Does the project involve the construction or modification of a campground? (Permit Guidebook Chapter <u>5.3.6</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Does the project involve the construction or modification of a public swimming pool? (Permit Guidebook Chapter <u>5.3.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
<b>OPERATIONAL PERMITS</b>		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? (Permit Guidebook Chapter <u>5.1.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <u>5.2.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Appropriate District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program 517-241-1346
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <u>5.2.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office



Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? (Permit Guidebook Chapter 5.2.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WB, Groundwater Permits Program, 517-373-8148
Does the project involve the drilling or deepening of wells for waste disposal? (Permit Guidebook Chapter 5.7.8)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? (Permit Guidebook Chapter 4.4.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the on-site treatment, storage, or disposal of hazardous waste? (Permit Guidebook Chapters 4.4.3, & 4.4.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WHMD, Hazardous Waste Section, 517-373-9875
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Web Site)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD, Appropriate DEQ District Office
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WHMD, Radioactive Material and Standards Unit, 517-241-1275
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways? (Permit Guidebook Chapter 5.2.6)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WB, DWEHS, Source Water Protection Unit, 517-241-1318
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system? (Permit Guidebook Chapter 5.2.3)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WB, Appropriate District Office, Public Water Supply Program 517-241-1318
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (Permit Guidebook Chapter 5.2.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WB, Aquatic Nuisance Control and Remedial Action Unit 517-241-7734
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? (Permit Guidebook Chapter 5.2.5)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WB, Surface Water Assessment Section 517-373-2190
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the transport of some other facility's non-hazardous liquid waste? (Permit Guidebook Chapter 4.2.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WHMD, Transporter Program, 586-753-3850
Does the project involve the transport hazardous waste? (Permit Guidebook Chapter 4.2.3)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, WHMD, Transporter Program, 586-753-3850
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? (Permit Guidebook Chapter 5.1.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, AQD, Acid Rain Permit Program, 517-373-7023
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? (Permit Guidebook Chapter 4.1.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, DEQ, Air Quality Division (AQD), 517-241-1324
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? (Permit Guidebook Chapter 4.1.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Web, ESSD, Laboratory Services Section 517-335-9800

Does the project involve the generation of <b>medical waste</b> or a facility that treats medical waste prior to its disposal? (Permit Guidebook Chapter <a href="#">4.1.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Waste and Hazardous Materials Division (WHMD), Medical Waste Regulatory Program 517-241-1320
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of <b>septage</b> or sewage sludge into or onto the ground? (Permit Guidebook Chapter <a href="#">4.2.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, Seplage Program 517-241-1318
Do you store, haul, shred or process <b>scrap tires</b> ? (Permit Guidebook Chapters <a href="#">4.2.2</a> or <a href="#">4.4.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
Does the project involve the operation of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <a href="#">4.1.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
Does the project involve the operation of a <b>campground</b> ? (Permit Guidebook Chapter <a href="#">4.1.6</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Do you engage in the business of <b>hauling bulk water</b> for drinking or household purposes (except for your own household use)? (Permit Guidebook Chapter <a href="#">4.2.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, Noncommunity Unit, 517-241-1370
Does the project involve composting over 200 cubic yards of yard clippings? (Permit Guidebook Chapter <a href="#">4.4.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an <b>aboveground storage tank</b> for a flammable or combustible liquid (under 200 degrees Fahrenheit)? (Permit Guidebook Chapter <a href="#">4.3.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, Storage Tank and Solid Waste Section (STSWs), 517-335-7211
Does the project involve the installation of a <b>compressed natural gas dispensing station</b> with storage? (Permit Guidebook Chapter <a href="#">4.3.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>liquefied petroleum gas</b> container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons? (Permit Guidebook Chapter <a href="#">4.3.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the installation, removal, or upgrade of an <b>underground storage tank</b> containing a petroleum product or a hazardous substance? (Permit Guidebook Chapter <a href="#">4.3.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>hydrogen system</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD STSWs, 517-335-7211
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the <b>Certified Operator</b> to fulfill the requirements of a wastewater discharge permit (NPDES including <b>Storm Water</b> or <b>Groundwater</b> )? (Permit Guidebook Chapters <a href="#">3.1</a> , <a href="#">3.2</a> , & <a href="#">3.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Hotlink to Program Web Page ( <a href="#">Web</a> ) <a href="#">Web3.1</a> , <a href="#">Web3.2</a> , Environmental Science and Services Division (ESSD), Operator Training 517-373-4755 and, <a href="#">Web3.5</a> Water Bureau (WB), Storm Water Program 517-241-8993
Are you a <b>drinking water operator</b> in charge of a water treatment or water distribution system, back-up operator, or shift operator? (Permit Guidebook Chapter <a href="#">3.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , ESSD, Operator Training 517-241-7199
Are you a <b>water well drilling contractor</b> , pump installer, dewatering well contractor or dewatering well pump installer? (Permit Guidebook Chapter <a href="#">3.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Well Construction Unit 517-241-1377

<b>OIL, GAS AND MINING</b>		
Do you want to operate a <b>central production facility</b> (applies to oil and gas production facilities where products of diverse ownership are commingled)? (Permit Guidebook Chapter <a href="#">4.1.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Office of Geological Survey (OGS), Petroleum Geology and Production Unit 517-241-1515
Does the project involve the removal of sand from a <b>sand dune area</b> within two (2) miles of a Great Lakes shoreline? (Permit Guidebook Chapter <a href="#">5.6.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , Office of Geological Survey (OGS), Minerals and Mapping Unit, 517-241-1542
Does the project involve the diversion and control of water for the mining and processing of <b>low-grade iron ore</b> ? (Permit Guidebook Chapter <a href="#">5.6.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the surface or open-pit mining of <b>metallic mineral deposits</b> ? (Permit Guidebook Chapter <a href="#">5.6.3</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the mining of <b>nonferrous mineral deposits</b> at the surface or in underground mines? (Permit Guidebook Chapter <a href="#">5.6.4</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve mining <b>coal</b> ? (Permit Guidebook Chapter <a href="#">5.6.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1542
Do you want to change the status of an <b>oil or gas well</b> (i.e. plug the well)? (Permit Guidebook Chapter <a href="#">5.7.1</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve drilling of <b>oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells</b> ? (Permit Guidebook Chapter <a href="#">5.7.2</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve <b>plugging or deepening of an oil or gas well</b> , or conveying rights in the well as an owner to another person? (Permit Guidebook Chapter <a href="#">5.7.3</a> , <a href="#">5.7.4</a> & <a href="#">5.7.5</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve changing the status or plugging of a <b>mineral well</b> ? (Permit Guidebook Chapter <a href="#">5.7.6</a> & <a href="#">5.7.7</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve the drilling or deepening of <b>wells for brine production, solution mining, storage, or as test wells</b> ? ( <a href="#">5.7.8</a> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD Radioactive Material and Standards Unit, 517-241-1275

**ENVIRONMENTAL ASSISTANCE CENTER: 1-800-662-9278**



## Memo

TO: Planning Commission  
Genoa Township, Michigan

FROM: Joe Hood and Cheryl Luttmann

***Subject: Special Land Use Permit***

Joe Hood and Cheryl Luttmann owners of Joseph Auto Sales and Service, Inc. currently located in Fenton, Michigan are requesting a Special Land Use Permit to be issued for the purpose of relocating a used car facility to Genoa Township. The location is 2860 E. Grand River Ave., the currently vacant Pizza Hut.

The intended use for this building will be for sales and office space associated with Joseph Auto Sales dba Uncle Joe's Used Cars. This dealership will be "sales only". Any and all service work, car detail work will be performed off site at 3260 W. Grand River Ave. in Howell Township.

The dealership will maintain an inventory of 50 to 65 cars most times. Each car will be fully reconditioned ready for customer delivery when placed on the lot. The vehicles displayed will be cars with values under \$10,000.00 and most of which will be sold for under \$5000.00. The market will cater to the first time driver "Cars4Kids™". This sales operation will market to the beginning drivers with safe, dependable affordable cars and trucks. Massive school support will be the focus point in marketing.

Unlike most car dealers, Joseph will not market automobiles with balloons, flags, open hoods, and moving blow up creatures. Only during a grand opening event with permission from the township will balloons

be used. If they are it would be for the promotion only and for a very short period of time. Each car will be clean and neatly displayed on the lot in a professional manner.

No outside paging will be used due to proximity of residential area behind the building. Silent pagers will be used.

It is the intentions of Joseph to remove the “Pizza Hut” hat on the top of the building and remove and replace the trapezoid windows in the front of the building in an effort to give the building a more modern and updated look. Please see the attached rendering and drawings. Due to the fact the building is being rented, the side windows at this time will not be changed.

Once the special land use permit is issued and the license is issued, work on this will begin after proper permits are also issued. It is the intentions of using Castle Brothers Construction and local trades to do the work.

The outside rear of the building is in need of “clean up” as the old “add on” coolers are in undesirable condition. These “boxes” so to speak will be framed out and attractive Dryvit wall covering will be applied.

The asphalt lot is in unacceptable condition and will be repaired and sealed prior to displaying any cars on the lot.

Each inside corner of the main entrance off E. Grand River has landscaping that is in need of repair. The updated landscaping will be done as per the attached site plan. From time to time there will be “perennials” and “annuals” flowers added to bring color to the lot. This will also be applied to the landscaping display around the sign pole in the front. One additional tree will be planted on the west side of the lot per the attached site plan.

Signage request is to use the current sign with new logo as previously used by Pizza Hut along with attractive channel letter sign on the front of the building as shown on the rendering drawing. Proper sign permits will be requested by the sign company prior to any installation. It would be the request of the commission to have a 32 square foot “temporary” sign placed in the front while construction is being done prior to the certificate of occupancy being issued. This will then be removed.

The building will be repainted in an earth tone color to better present to the public.

The inside of the building will consist of minor restoration. The removal of the heated and cooled buffet bars along with the addition of modular modern sales stations will be installed. Interior lighting will be updated. The “restaurant” portion of the building will be divided into walled (drywall) partitions for office space. The building will be cleaned and properly lighted for the comfort of the public and the employees of the dealership.



## Kathryn Poppy

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**From:** Mike Archinal  
**Sent:** Monday, May 19, 2014 12:49 PM  
**To:** Joe Hood  
**Cc:** Ron Akers; Kathleen Murphy; Kathryn Poppy  
**Subject:** Re: 2860 E. Grand River

Joe,

I went out this morning and looked at the site. I offer the following:

I agree. The lot is in bad shape and will need some attention.

The entire building has a tired look especially with regard to the roof line and the trapezoid windows.

There are a couple of decent trees in front that look pretty good. One is a crabapple and the other is an apple. It would be good if you could use those in future plans.

The back does look pretty bad. Some demolition/removal will be needed.

I really hope you can find the budget to change the roof line. It will be hard to make the building look like anything but a re-used Pizza Hut with the roof intact as is. Signage will be per ordinance. We do not allow roof mounted signs if the strange looking peak is going to stay.

Your other comments related to the building are fine. We prefer earth tones and natural materials. (Stone, block etc.).

I understand the need for security lighting. Section 12.3 lists the requirements for exterior lighting.

I think the white fence belongs to the apartment complex.

Christmas lights are o.k. so long as they don't become permanent.

I think I would have preferred the ACO site but I look forward to working with you on a successful project.

Mike Archinal

Sent from my iPad

On May 19, 2014, at 12:01 PM, "Joe Hood" <[wedeal@charter.net](mailto:wedeal@charter.net)> wrote:

Mike: Please tell Kelly we all "CONGRATULATE" her.....hope she and the baby are doing well.....if you need me to do anything for you just let me know.....as you know, the state will require you to sign off so we can get a license for that location.....I promise you it will look great and be kept neat.....we have another location down near the airport for our cleanups and restoration.....no junk cars on the lot at all....call or txt me if you need anything.... 810-625-7193

Joe

On Mon, May 19, 2014 at 9:58 AM, Mike Archinal wrote:

Joe,

Sorry for the delayed response. Kelly had a little girl last Friday so I am wearing a couple of different hats. I will try to get out to the site today and respond to your inquiries.

Mike

**From:** Joe Hood [<mailto:wedeal@charter.net>]

**Sent:** Tuesday, May 13, 2014 4:36 PM

**To:** Mike Archinal

**Subject:** 2860 E. Grand River

Memo to Michael C. Archinal

From Joe Hood, Joseph Auto Sales

Subject: 2860 E. Grand River

Date: 5/13/2014 2:58 PM reading time four minutes....

We are still working on the ACO building but Mr. Kline is moving very slow....but we have a tentative agreement on the Pizza Hut property. I want to get a jump on the due diligence part so I thought I would send you my list of "I wants" and then schedule an appointment to see you so we can discuss this in preparation for the meeting. Speaking of the meeting, I will take your recommendations on when to send in the fees and get on the agenda.

These are not in any particular order and just my thoughts right now....

1. The asphalt has to be repaired "badly" and I would want to double seal the lot leaving it the size it currently is.

2. I would like to bring in Castle Brothers Construction and do something with the windows and put a new door way in the front of the building.

3. I would like to have a professional landscaper completely re-do the front making it "striking" in appearance for a small display of cars. Kelly and I had talked about something elevated in a landscape design. There is not much front line so it would be only the cars lit from around the car with very directional lighting. I would have a complete landscape plan drawn up for final after you and I talk about what can be done.

4. I want to do something with the back of the building on the exterior. Those old coolers look really trashy. I will most likely ask for some help from Castle Brothers to do something unique. We need the coolers for inside storage.

5. WoW...the biggie....the roof....looks like Pizza Hut had a sign on the Peak or Hat or whatever you call it....I really don't want that look, but might have to keep it price depending on taking it off.....you need to tell me if there are any objections to making it look different and if I can put a sign on the front of the building as well as out front....

6. We would use the sign out front and maybe....maybe...channel letters on the front with the name Joseph or Used Cars....all within the limits of the sign ordinance...we don't want any more signs than what we are allowed...

7. Color on the building....we think we need to do something with the outside of the building...Most likely we would be changing the front windows only....square not funny shape...

8. Inside the building I want to simply wall off the back and make them offices...CLEAN AND NEAT'N UP the bathrooms...I have to assume they are handicapped suitable...if not I need to know asap....

9. Going to add some lights on the inside of the showroom...

10. Let's talk about outside lighting....I don't know what the rear of the lot is like at night....for security reasons we are going to want to have some lighting....if we do light the lot, I will ask that you help me determine the amount of lights....we turn off all lights at 9pm except for the security lights and possibly the front lights. Lighting can be offensive at times and we do have neighbors.....so I will take whatever recommendations you have in this regard...

11. There will be no outside paging....we will do silent pagers....unless we can control it to really only be heard on our lot...I have not looked into this but would prefer to do silent pagers....

12. NO FLAGS, NO BALLOONS, NO HOODS OPEN, NO DUMB SIGNS...just neat and clean look with well displayed cars....

13. Customer parking will be in the direct front and side. We feel we would need six spaces for customers....we generally are not jammed at one time....but we will make sure there are plenty of parking....need to know how many handicapped spots....

14. We want to leave and landscape around the white fence..

15. Eventually we will want to expand to the rear...budget pending, but not now...

16. I am going to ask to be allowed to put up Christmas lights at Christmas time....down by the 10th of Jan.



The list looks long but it really is not....just some direction and a high sign if I have anything that might throw up red flags... I really appreciate your willingness to help me....If I am on the right track I will begin with drawings from my architect and begin to put things in a final stage for the meetings....email me back and let me know your thoughts.....thanks....Joe



July 9, 2014

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Mike Archinal, AICP Township Manager
<b>Subject:</b>	Uncle Joe's Used Cars – Special Land Use and Site Plan Review #1
<b>Location:</b>	2860 E. Grand River Ave (Former Pizza Hut location at E. Grand River Ave. and Tahoe Blvd.)
<b>Zoning:</b>	GCD General Commercial District

Dear Commissioners:

At the Township's request, we have reviewed the site plan (dated 6/6/14) proposing a new used car dealership at the former Pizza Hut location at the southwest corner of E. Grand River Avenue and Tahoe Boulevard. The site is zoned GCD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

**A. Summary**

1. In our opinion, the general special land use standards of Article 19 are met; however, any issues raised by the Township Engineer or Brighton Fire Authority must be addressed and/or mitigated.
2. The applicant needs to confirm that truck maneuvering can occur on-site and outside of the roadway.
3. The site plan lacks an accurate scale.
4. Building design and materials are subject to Planning Commission review and approval.
5. Modifications to the roof of the building may increase visibility of roof-mounted equipment.
6. The applicant needs to distinguish areas of dedicated parking from for-sale vehicle storage spaces.
7. Additional discussion is needed with respect to the amount of parking provided in relation to the potential vehicle inventory of the business.
8. An 8-foot wide pathway is required along this portion of Grand River.
9. Due to the lack of an accurate scale on the site plan, we are unable to accurately enumerate the required landscaping for the project.
10. The submittal does not identify an existing or proposed waste receptacle/enclosure.
11. The submittal does not identify existing or proposed site lighting.
12. Details of the existing monument sign are needed.
13. The proposed roof sign is prohibited.



*Aerial view of site and surroundings (looking south)*

## **B. Proposal**

The applicant requests approval of a special land use and site plan to convert a 2,603 square foot restaurant building into dealership for the sale of used automotive vehicles. Used auto dealerships are allowed with special land use approval and are subject to a set of specific use conditions outlined below.

## **C. Special Land Use Review**

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Township Master Plan and Future Land Use map identify the site as General Commercial, which is described as follows:

*Businesses which serve the requirements of the community at large including Genoa Township, Howell, Brighton, and pass-by traffic along Grand River Avenue are designated by this category. The large size and variety of permitted commercial uses generate significant volumes of vehicular and pedestrian traffic. There may be some outdoor sales or display areas. These districts are intended to be clustered, rather than allowed to create an undesirable commercial strip pattern of development, and buffered from nearby residential area. Appropriate uses include larger grocery stores, restaurants and retail shopping centers.*

Given the above description, we are of the opinion that the proposed project is consistent with the Township Master Plan for this site and area.

- 2. Compatibility.** The Grand River corridor west of the site is generally zoned and planned for general commercial uses including a Ford dealership several parcels to the west. Furthermore, the redevelopment of a closed commercial site is expected to be an improvement to the area. As such, we are of the opinion that the proposed project will be compatible with the established and planned character of the area.
- 3. Public Facilities and Services.** Given the site's location along a major roadway, we anticipate that necessary facilities and services are in place for the proposed development. With that being said, we defer to the Township Engineer for specific comments under this criterion.



4. **Impacts.** Given the allowable and planned uses for the area, we do not expect the proposal to adversely impact surrounding properties or roadways.
5. **Mitigation.** The Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposal. Additionally, any comments provided from an engineering or public safety perspective should be addressed as part of this criterion.

**D. Use Conditions (Used Automobile Sales)**

Section 7.02.02(c) provides the following use conditions for automobile sales, new and used:

1. **Sale space for used mobile homes, recreational vehicles and boats may only be carried on in conjunction with a regularly authorized new mobile home, recreational vehicle or boat sales dealership on the same parcel of land.**

The applicant is only proposing sale of used vehicles.

2. **All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose storm water without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

There are no proposed changes to the impervious surfaces of the site. The applicant will be repairing and sealing the existing asphalt parking lot prior to displaying any cars on the lot.

3. **No storage or display of vehicles shall be permitted in any landscape greenbelt area, provided the Township may permit a display pod for an automobile within the greenbelt area where it is integrated into the landscape design.**

No display areas are shown within the greenbelt area.

4. **The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

The existing building is 2,603 square feet.

5. **All loading and truck maneuvering shall be accommodated on-site.**

The submittal does not show truck turning movements. Given the building's previous use and parking lot configuration, it appears that this standard will be met; however, the applicant should provide the Commission with confirmation.

6. **All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

The site plan does not distinguish between outdoor vehicle storage and conventional parking spaces. This information is needed to determine the required buffer zones.

**E. Site Plan Review**

- 1. Dimensional Requirements.** The identified scale on the plan (1:20) does not appear to be accurate. (We tested it on the parking spaces, which scale to 26 feet deep – a conventional parking space is 18 to 20 feet deep.) As such we cannot determine building and parking setbacks. However, the project does not include any changes to established setbacks. It is worth noting that the north side yard parking setback is deficient, although this would appear to be a nonconforming situation that is not being altered.
- 2. Building Materials and Design.** Proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The submittal includes elevation views of each side of the building showing slight modifications to the existing building. Specifically, existing wood siding is being replaced with brick and EIFS.

The top of the Pizza Hut design is also being removed from the roof. While aesthetically this will be an improvement to the building, it has the potential to increase visibility of the roof-mounted mechanical equipment. The Commission may wish to require improved screening of this equipment.

- 3. Parking.** In accordance with Section 14.04, automobile sales require 1 parking space for each 200 square feet of gross floor area. Based upon the size of the existing building, 11 spaces are required, while the existing site provides 67. As indicated in our review of the specific use standards, the applicant needs to distinguish between dedicated parking spaces and those spaces to be used for vehicle sales display.

The submittal notes that the business will maintain an inventory of 50 to 65 vehicles. Given the amount of parking provided, the low end of this estimate seems to work; however, there may not be sufficient space at the high end. We suggest that this element of the request warrants additional discussion with the Commission.

- 4. Pedestrian Circulation.** Section 12.05 requires an 8-foot wide bike path for properties along Grand River west of the 141 interchange. The submittal does not identify an existing or proposed sidewalk/pathway.
- 5. Vehicular Circulation.** No changes are proposed to existing driveway accessing Grand River.
- 6. Landscaping.** Section 12.02 requires plantings for the front yard greenbelt, within the parking lot and buffer zones along the rear and south side lot lines. The site plan shows existing vegetation at the rear of the site and along the south side line, which may suffice for the required buffer zones. Additionally, new plantings are proposed in the Grand River front yard; however due to the lack of an accurate scale we are unable to accurately enumerate the amount of landscaping required for the project. Lastly, plantings are shown along Tahoe Boulevard, but those appear to be located within the roadway right-of-way or easement and not on the property itself.
- 7. Waste Receptacle and Enclosure.** The submittal does not identify an existing or proposed waste receptacle and enclosure. If one exists, the Commission may wish to request details. If one is proposed, details must be provided in accordance with Section 12.04.
- 8. Exterior Lighting.** The submittal does not identify any existing or proposed site lighting. The Commission may wish to request details of existing lighting to determine compliance with current standards. If new lighting is proposed, details must be provided in accordance with Section 12.03.

9. **Signs.** The site plan identifies an existing monument sign in the Grand River front yard; however, no details are provided. Additionally, the elevation drawings identify a new sign on the front side of the building, as well as 4 window signs.

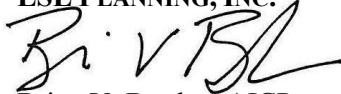
Based on our calculations, these signs are compliant with the area limitations of Article 16; however, the main sign is a "roof sign," which is prohibited.

10. **Impact Assessment.** The submittal includes an Impact Assessment (dated 6/12/14), which generally states that the proposed redevelopment is not expected to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Sincerely,

**LSL PLANNING, INC.**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and written over the printed name below.

Brian V. Borden, AICP  
Senior Planner





July 9, 2014

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Joseph Auto Sales & Service, Inc.  
Special Land Use Permit Application and Sketch Plan Review**

Dear Mr. Archinal:

We have reviewed the sketch plan submittal from Roark Galt Architects, LLC, dated June 6, 2014, and delivered to the Township June 19, 2014. The petitioner is proposing to convert the existing old Pizza Hut building at 2860 E. Grand River Avenue into a used automobile sales and service facility and has applied for a Special Land Use Permit.

According to the Impact Statement, the petitioner proposes no changes to the site impervious area, and the site currently has no outstanding erosion issues.


The site use conversion from a restaurant facility to an auto sales facility will result in a net water and sewer usage reduction, and the petitioner states that no automobile fluids will be stored on site.

An existing fire hydrant is located on the 12-inch water main in the south right-of-way of Grand River Avenue; however, there is no 8-inch public water main running through the site as stated in the Impact Statement. The building currently falls within the 250-foot radius of the fire hydrant; however, the rear of the parking lot is approximately 320 feet away, and any potential plans for a future structure or auto storage towards the rear of the site may necessitate the construction of a water main extension to provide additional fire protection. This must be determined prior to submittal of a site plan for approval.


Our review found no engineering-related impacts to the existing site from the proposed changes indicated on the sketch plan. Aside from the possible water main extension, we have no objections to the proposed Special Land Use request.

Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.  
Unit Vice President



Joseph C. Siwek, P.E.  
Project Engineer

copy: Joseph W. Wood, Joseph Auto Sales & Services



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

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June 30, 2014

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Uncle Joe's Used Cars  
2860 E. Grand River  
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on June 19, 2014 and the drawings are dated June 6, 2014. The project is based on an existing 2,603 square foot building that was previously used as a restaurant and is proposed to be reused as a business office for a used car sales business. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

This project is recommended for approval with the following condition that will be verified in the field at the time of final approval.

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

**IFC 505.1**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "Michael Evans".

Michael Evans, EFO, CFPS  
Deputy Fire Chief



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

June 25, 2014

To Whom It May Concern:

There will be a hearing for a Special Land Use Permit in your general vicinity on Monday, July 14 at 6:30 p.m. at Genoa Township Hall, located at 2911 Dorr Road, Brighton, Michigan.

The property in question is located at 2860 E. Grand River Avenue, Howell, Michigan 48443. The Special Land Use has been requested for automotive sales. The request is petitioned by Joseph Hood.

Materials relating to this request are available for public inspection at the Genoa Township Hall during regular business hours. If you have any questions or objections in this regard, please be present at the public hearing noted above. Written comments may be addressed to the Planning Commission.

Sincerely,

Ron Akers  
Zoning Official  
RA/kp

**SUPERVISOR**  
Gary T. McCririe

**CLERK**  
Paulette A. Skolarus

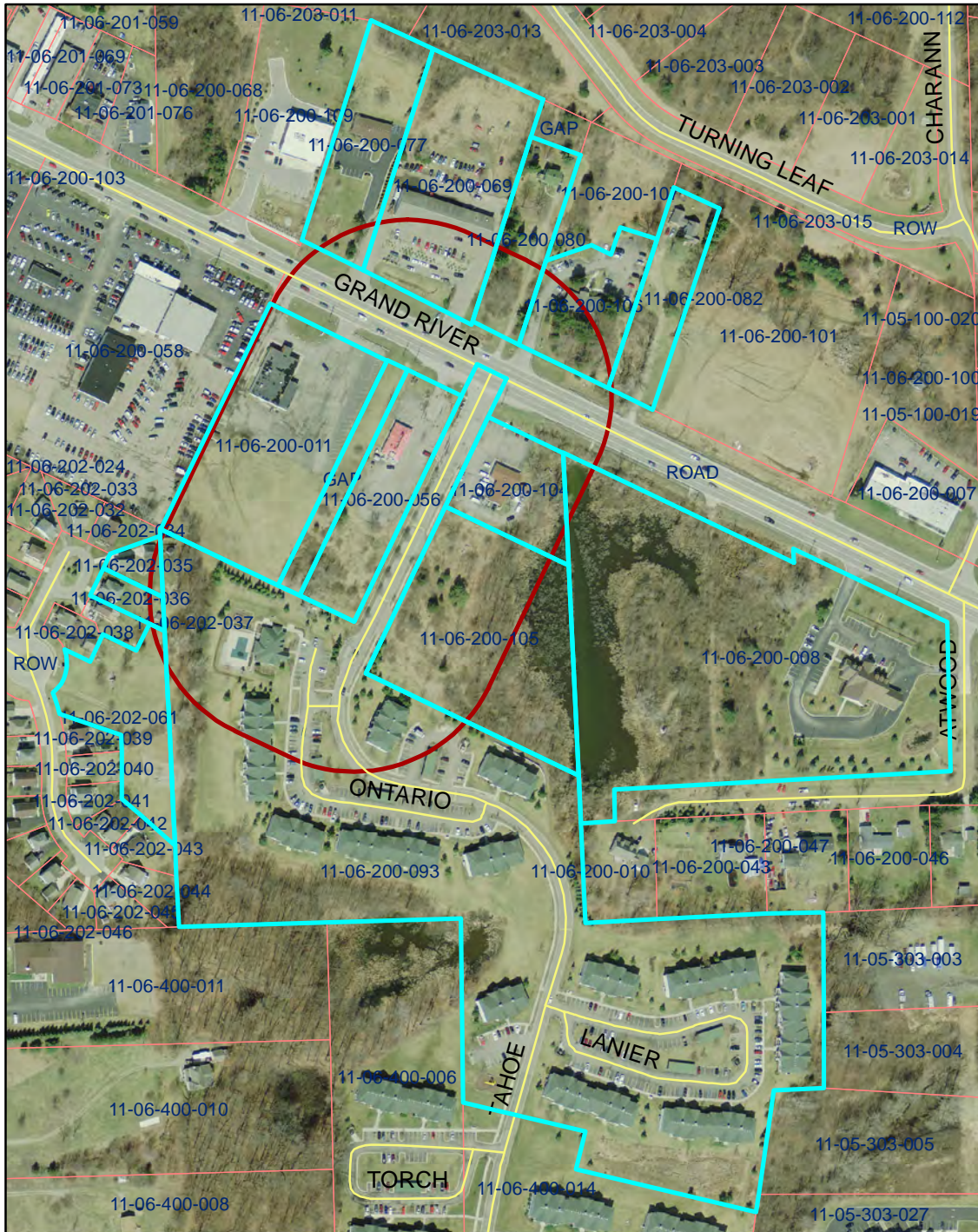
**TREASURER**  
Robin L. Hunt

**MANAGER**  
Michael C. Archinal

**TRUSTEES**  
H. James Mortensen  
Jean W. Ledford  
Todd W. Smith  
Linda Rowell



# 300 Ft Buffer for Noticing



Planning Commission Case #14-10

Applicant: Joseph Hood

Parcel: 11-06-200-056

Meeting Date: July 14, 2014



June 20, 2014

LEE KENNETH F & DEBRA M  
5550 7 MILE RD  
SOUTH LYON, MI 48178

OWNER OR OCCUPANT  
401 VENTNOR COMMONS  
HOWELL, MI 48843

ROOT, RONALD & MARLENE  
2895 E GRAND RIVER  
HOWELL, MI 48843

MATOSSIAN PROPERTIES LLC  
2901 E GRAND RIVER  
HOWELL, MI 48843

OWNER OR OCCUPANT  
2905 E GRAND RIVER  
HOWELL, MI 48843

DISPLAYMAX, INC.  
2829 GRAND RIVER  
HOWELL, MI 48843

J & B PIZZA LLC - COMMERCIAL  
PROPERTIES  
42690 WOODWARD AVENUE STE 225  
BLOOMFIELD HILLS, MI 48304

JOSEPH HOOD - emailed

LOC FEDERAL CREDIT UNION  
22981 FARMINGTON RD.  
FARMINGTON, MI 48336

OWNER OR OCCUPANT  
3020 E GRAND RIVER  
HOWELL, MI 48843

PROFESSIONAL ENGINEERING ASSOC  
2430 ROCHESTER - SUITE 100  
TROY, MI 48083

OWNER OR OCCUPANT  
2900 E GRAND RIVER  
HOWELL, MI 48843

MANAGEMENT RESOURCES DEV.  
604-03-R  
P.O. BOX 537980  
LIVONIA, MI 48153-7980

OWNER OR OCCUPANT  
2837 E GRAND RIVER  
HOWELL, MI 48843

THOMAS, TONEY E.  
10533 CEDAR RIVER ESTATES  
FOWLerville, MI 48836

OWNER OR OCCUPANT  
2915 E GRAND RIVER  
HOWELL, MI 48843

VANDERHOVEL JASON D  
409 VENTNOR COMMONS  
HOWELL, MI 48843

PROFESSIONAL ENGINEERING ASSOC.  
2430 ROCHESTER COURT, STE #100  
TROY, MI 48083

HOWELL ELKS LODGE #2168  
2830 E GRAND RIVER  
HOWELL, MI 48844

JOHN HANCOCK REAL ESTATE - MORTG  
200 BLOOR STREET EAST, NT-5  
TORONTO, ONTARIO  
CANADA M4W 1E5

OWNER OR OCCUPANT  
2812 ONTARIO CT  
HOWELL, MI 48843

ARTISAN BUILDING COMPANY  
PO BOX G  
LAKELAND, MI 48143

**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
NOTICE OF PUBLIC HEARING  
July 14, 2014  
6:30 P.M.**

The Genoa Township Planning Commission will hold a public hearing at 6:30 p.m. on July 14, 2014 requesting recommendation of the following:

**OPEN PUBLIC HEARING #1...** Review of a special use application, impact assessment and site plan for a proposed gas station and drive thru restaurant, located on the west side of Latson Road, south of Grand River Avenue on the corner of Grand Oaks Drive, Sec. 8, Howell, Michigan 48443, petitioned by Karum Bahnam.

**OPEN PUBLIC HEARING #2...** Review of a special use application, impact assessment, and sketch plan for automotive sales, located at 2860 E. Grand River Avenue, Howell, Michigan 48443, petitioned by Joseph Hood.

Please address any written comments to the Genoa Township Planning Commission at, 2911 Dorr Rd, Brighton, MI 48116 or via email at [kathryn@genoa.org](mailto:kathryn@genoa.org). All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Genoa Township will provide necessary reasonable auxiliary aides and services to individuals with disabilities who are planning to attend. Please contact the Genoa Township Hall at (810) 227-5225 in advance of the meeting if you need assistance.

(06-27-2014 DAILY 200061)





## MEMORANDUM

**TO:** Joseph's Auto Sales  
**FROM:** Ron Akers, Zoning Official  
**DATE:** 6/25/14  
**RE:** Joseph's Auto Sales Tap Fee Calculation for Proposed Addition

---

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

In regards to the proposed project the tap fees will be as follows:

Assuming a 2,340 square feet

- a. Auto Dealers @ 0.20 per 1000 square feet.

Previously Paid  
10 Water REU's  
10 Sewer REU's

Tap Fee Calculation  
Proposed Auto Dealer - 2,340 sf @ 0.20 per 1000 sf = 0.468 REU's

Total REU's Required = 0.468 REU's  
REU's Previously Paid = 10 REU's

Total REU's Needed = 0  
Total Amount Due = \$0

### **SUPERVISOR**

Gary T. McCririe

### **CLERK**

Paulette A. Skolarus

### **TREASURER**

Robin L. Hunt

### **MANAGER**

Michael C. Archinal

### **TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

**IMPACT ASSESSMENT & OPINION  
FOR**

**\*\*Special Land Use Permit\*\***

**Joseph Auto Sales dba Uncle Joe's Used Cars**

**GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN**

Prepared for:

**Joseph Auto Sales  
2860 E. Grand River  
Howell, Michigan 48843  
810-750-4700**

Prepared by:

**Gerald Luttmann, PE  
JerryLuttmann@outlook.com**

**June 12, 2014**

## Introduction

The purpose of this Impact Assessment (IA) report is to show the effect that this proposed change in site use has on various factors in the general vicinity of the site. The format used for presentation of this report conforms to the *Written Impact Assessment Requirements* guidelines in accordance with *Section 18.07* of the published Zoning Ordinance for Genoa Township, Livingston County, Michigan.

## DISCUSSION ITEMS

**A: Name (s) and address (es) of person (s) responsible for preparation of the impact assessment and a brief statement of their qualifications.**

Prepared By:

Gerald E. Luttman  
State of Michigan Professional Engineer  
21126 Centerfarm Lane  
Northville, Michigan 48167

Prepared For:

Joseph Auto Sales and Service, Inc.  
Dbu Uncle Joe's Used Cars  
2860 E. Grand River  
Howell, MI 48843

**B: Description of the site, including existing structures, manmade facilities and natural features, all inclusive to within 100 feet of the property boundary.**

The proposed site for Uncle Joe's Used Cars is located on 1.37 acres on the south side of Grand River Avenue between Howell Elks Lodge to the West and Pro Engineering Associates to the East separated by Tahoe Street. Approximately 1 acre is developed by what appears to be an old Pizza Hut Restaurant. The remainder of the site .37 acres is wooded with heavy natural vegetation in its natural state and is undeveloped.

The property is at the bottom of a high point along Grand River Avenue with a majority of it sloping south and east to the existing municipal storm sewer drains in the road. A portion of the property sheet flows to the south. The total elevation change across the property is approximately 1.1 feet. The undeveloped portion of the property is covered with scattered trees, brush and native grasses.

Based on the renter's review of utility plans and existing building conditions, existing utilities abutting the site include a 12" watermain along the south side of Grand River Ave., and a 8" water main running through the center of the property. The sanitary sewer service is provided to



the current building through a sanitary lead which connects to the public sewer located near the southwest corner of the property. The storm sewer system is provided by the municipality as the site is minimal in size and would not require such a system to contain water storm run off.

Grand River Avenue is a five (5) lane roadway under the jurisdiction of the Michigan Department of Transportation (M.D.O.T.) with curb and gutter, and a center left turn lane. Also, a small portion of the existing parking lot currently extends into the Grand River Avenue Right-of-way by 4 feet. Section 24.10 of the Genoa Township Ordinance states "Where a non-conforming front setback, parking lot setback or green belt is created as a result of additional deceleration lane acquired by a road agency, the building or parking lot are within the proper set backs as mandated by the township and without the need to obtain a variance from the ZBA, providing the following conditions are met:"

1. Currently there are no conditions to be met by the proposed user of the property.
2. All set back, and original conditions of the property are to remain the same.
3. All current ordinances to the subject property are to remain and or updated if required for any special land use permit or zoning change.

The site contains no streams, creeks, lakes or regulated wetlands per the National Wetland Inventory Plan prepared by the United States Department of Interior and based on a review of aerial photographs of the lot.

The undeveloped portion of the site contains a mix of trees, brush and grasses.

**C. Impact on storm water management: Description of Soil Erosion control measures.**

Due to the fact there are no proposed changes in the impervious surface of the proposed site, there is no need for any additional storm drainage for runoff other than what has been previously used and engineered. The storm runoff appears to be well controlled and drains naturally into the municipal storm sewer system off site. There are no signs of erosion of any type on any part of the property from water run off.

**D. Impact on natural features: A written description of the environmental characteristics of the site prior to development, ie., topography, soils, vegetative cover, drainage, streams, creeks or ponds.**

As previously mentioned, the subject site slopes gradually to the east towards Tahoe St. from the west. The U.S.D.A. Soil Conservation Service "Soil Survey of Livingston County" indicates the soils to be as follows:

Percent of Site: 100% Miami Loam

Percent Slopes: 2-6%

The site contains no streams, creeks, lakes or regulated wetlands per the National Wetland Inventory Plan prepared by the United States Department of the Interior and based on a review of aerial photographs of the lot.

The undeveloped portion of the site contains a mix of trees, brush and grasses.

**E. Impact on storm water management: description of soil erosion control measures during any construction or modification of the front of building.**

Most of the existing storm drainage runoff drains off the site to the developed storm sewer system developed by the municipality at the current time. At this time only minor restoration on the front of the building and the roof line is planned and no soil erosion causing activities are planned. Therefore, there will be no impact on any erosion control system.

**F. Impact on surrounding land use: Description of proposed usage and other man made facilities; how it conforms to existing and potential development patterns. Effects of added lighting, noise or air pollution which could negatively impact adjacent properties.**

Based on information provided by the renter, the proposed use of the property should have no impact to adjacent properties due to the fact the renter intends to use silent paging systems versus outdoor paging speakers. The lighting impact is the same and will remain the same until such time the renter would submit proper application and impact studies to the Genoa Township in order to install any additional lighting. The impact of the air pollution is reduced simply because the ventilation system of the restaurant will not be in use, therefore, no air quality standards will be impacted. The vision impact is the same as the neighbor dealership with displayed cars. In proximity of fifty feet, in the south west corner of the property the parking of other displayed cars by the Ford dealership is visible from Tahoe, and E. Grand River as well. The large 30,000 square foot parking facility of the Elks building to the west has parking for at least 100 cars as well for patrons. The impact of an additional 50 to 65 cars on the proposed lot should have no impact to the adjacent properties any more than what is currently present.

**G: Impact on public facilities and services: Descriptions of number of residents, employees, patrons and impact on general services, i.e. Schools, police, fire.**

There is one change anticipated in the impact on public facilities. This is the impact on the current sanitary sewer system. The current building has eight to nine units of which most are in the food preparation area. There are two restrooms. The change from a restaurant to a small used car sales facility housing only four employees will anticipate the closing or not using most of the units in the food preparation area. This will have a positive effect on the sanitary sewer system. Less people overall using the toilets, sinks and the elimination of the food preparation area will drastically reduce the amount of impact on the sanitary sewer system. The traffic count will drastically be reduced from the former restaurant facility inasmuch as the projected sales at the proposed dealership are 30 vehicles per month. According to NADA (National Automobile Dealers Association) statistics with 20% of the public actually buying a car from a dealer, it is projected to have 150 patrons visit the store in a given month. This will have a positive impact

as it most likely much less than a standard typical restaurant. Schools, police fire and general services should have no impact from the proposed use of the building or business.

**H: Impact on public utilities: description of public utilities serving the proposed building, i.e. water, sanitary sewer, storm drainage system and expected flows projected in residential units.**

The site is located within the Genoa-Oceola Sanitary Sewer District. The applicant will work with Township staff to determine the number of Residential Equivalent Units (R.E.U.) for the proposed use. At this time, there is only a positive change in the R.E.U. where by less people and fewer units will be used. No additional units are required or will be used.

Because the storm sewer system is municipality controlled and no change is made on the location for impervious material there will be no additional impact anticipated from storm events. The current developed system created by the Livingston County Drain Commissioner and used in the past will remain the same.

All other utilities, including gas, electric, and telephone are available at the site and are not expected to increase in size or capacity. All proposed dry utilities will be underground.

**I: Storage of handling of any hazardous materials: Description of any hazardous material used, stored or disposed of on the site.**

There are no automobile fluids to be kept on the site.

**J: Impact on traffic and pedestrians: Description of traffic volumes to be generated and their effect on the area.**

***Traffic Impact Statement***

The proposed site is located on Grand River Avenue which is under the jurisdiction of the Michigan Department of Transportation. The five lane road has two west and two east bound lanes with a center turn. Michigan Department of Transportation has no plans to make any modifications to the current configuration of the road.

There is one drive approaches onto the site from E. Grand River. There is one drive approach to the site from Tahoe, on the east side of the site. No improvements or changes are proposed for the two approaches.

With the use change for the site from restaurant to used car sales lot, it is anticipated there will be a reduction in traffic on both E. Grand River and Tahoe. The anticipated volume of patrons visiting the used car facility verses a typical restaurant is less. As stated in Section E above, the anticipated traffic volumes are less than the number of trips cited in Section 18.07.09 of the Zoning Ordinance for Genoa Township. The actual number or reduction is not available at this time. The change in the impact based on traffic count and flow will be positive in nature for this change in site use.



Due to the fact the site is not under any alteration, the impact to pedestrians will not change. The minor repairs to holes in the lot will act as a positive change for any pedestrian walking on the lot to move east or west on the south side of E. Grand River or visit the facility.

The change in use from restaurant to used car sales lot should have a positive impact on traffic and pedestrians.

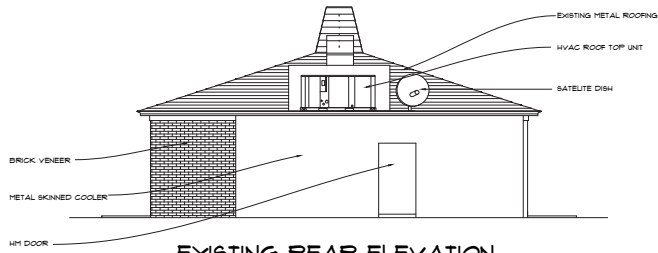
**K: Special provisions: Deed restrictions, protective covenants of the site, etc.**

None

**L. Description of all sources:**

- Genoa Township's Submittal Requirements for Impact Assessment/Impact Statement
- Genoa Township Zoning Ordinances
- Soil Survey of Livingston County, Michigan, U.S.D.A. Soil Conservation Service
- National Automobile Dealers Association

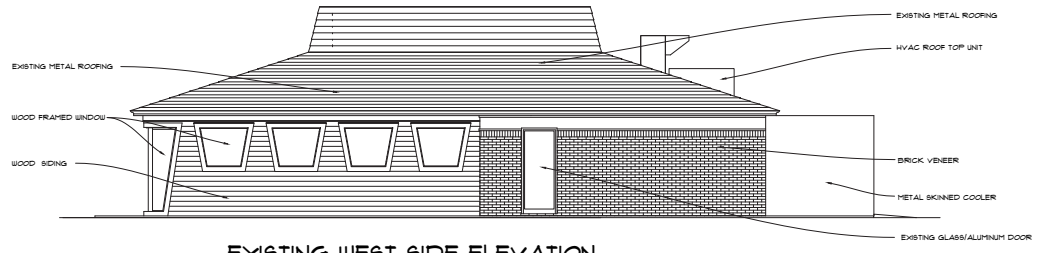




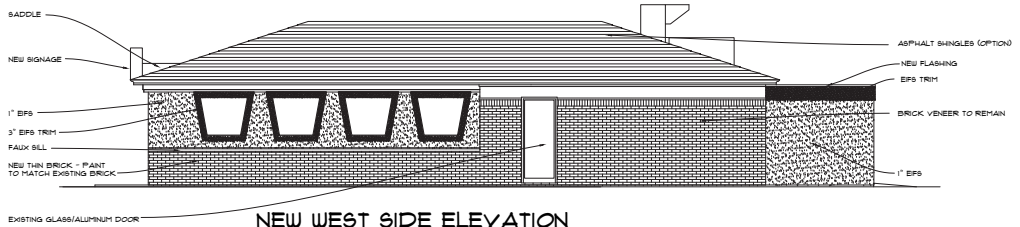
**EXISTING REAR ELEVATION**



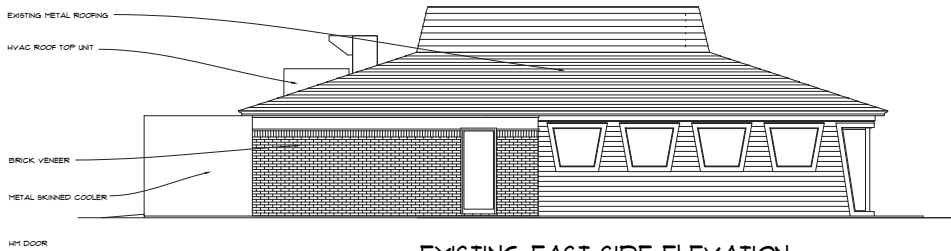
**NEW REAR ELEVATION**



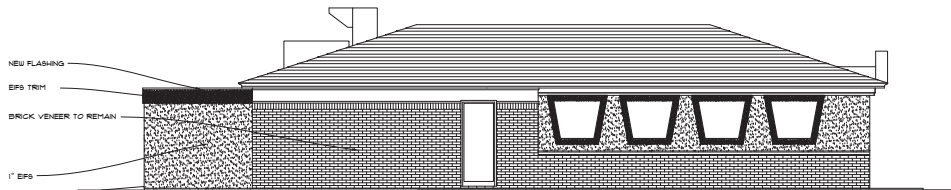
**EXISTING WEST SIDE ELEVATION**



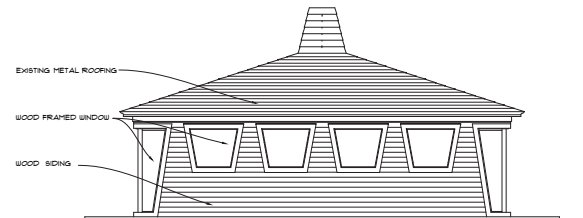
**NEW WEST SIDE ELEVATION**



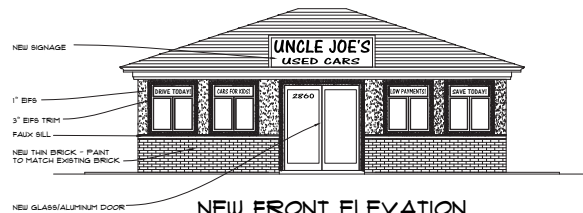
**EXISTING EAST SIDE ELEVATION**



**NEW EAST SIDE ELEVATION**



**EXISTING FRONT ELEVATION**



**NEW FRONT ELEVATION**

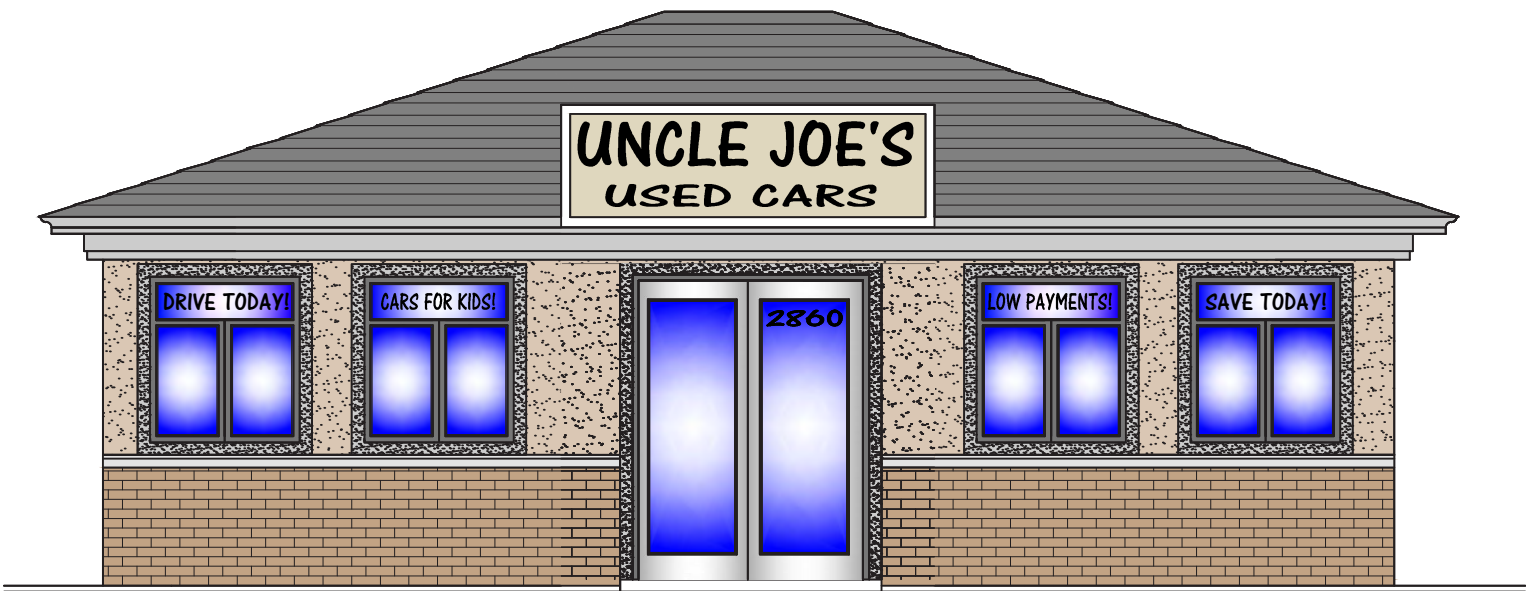
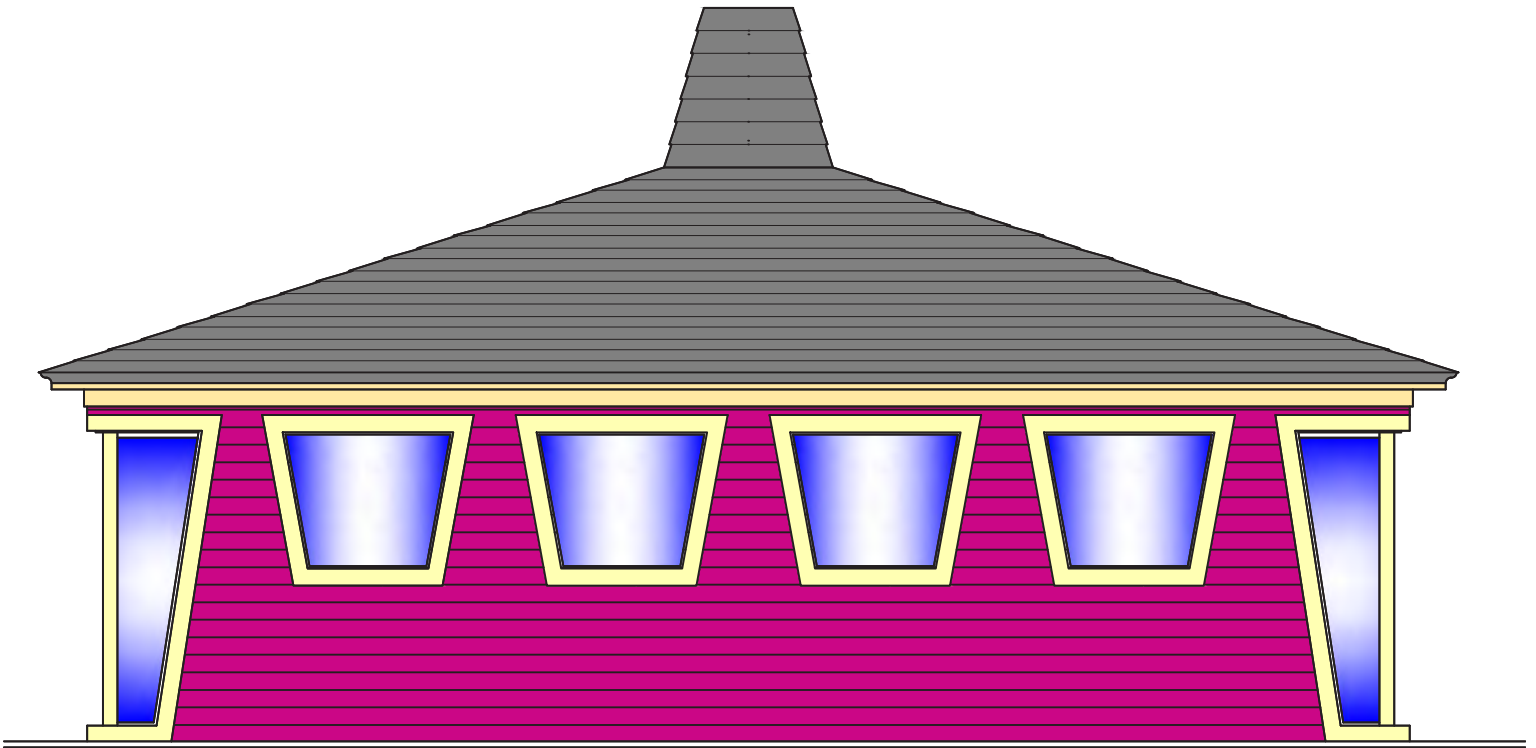
ISSUED FOR	DATE
PRELIM	6&14


A CORPORATION OF THE STATE OF MICHIGAN  
 1000 WEST WASHINGTON AVENUE, SUITE 200  
 ANN ARBOR, MICHIGAN 48106-1500  
 TEL: 734.769.1200 FAX: 734.769.1201  
 WWW.ROARKGALT.COM  
 PROJECT NO. 20140018  
 SHEET NO. 1 OF 1  
 ARCHITECT  
 ROARK GALT ARCHITECTS/LLC  
 A MICHIGAN CORPORATION  
 1000 WEST WASHINGTON AVENUE, SUITE 200  
 ANN ARBOR, MICHIGAN 48106-1500  
 TEL: 734.769.1200 FAX: 734.769.1201  
 WWW.ROARKGALT.COM

PROJECT DESCRIPTION  
**TENANT IMPROVEMENTS FOR:  
 UNCLE JOE'S USED CARS**  
 ADDRESS  
 2860 E. GRAND RIVER  
 HOWELL, MICHIGAN

DRAWN BY:  
 DJM  
 CHECKED:  
 DJM  
 SCALE  
 3/16" = 1'-0"  
 DATE  
 6.6.14  
 JOB NUMBER  
 20140018  
 TITLE  
 ELEVATIONS  
 SHEET NUMBER







GENOA CHARTER TOWNSHIP APPLICATION  
Sketch Plan Review

GENOA TOWNSHIP  
JUN 19 2014

TO THE GENOA TOWNSHIP PLANNING COMMISSION:

APPLICANT NAME & ADDRESS: JOSH PORTA 7219 GRAND RIVER BRIGHTON 48114  
*If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

OWNER'S NAME & ADDRESS: JOSH PORTA 7219 GRAND RIVER BRIGHTON 48114

SITE ADDRESS: 7219 GRAND RIVER PARCEL #(s): 4711-13-100-013

APPLICANT PHONE: (810) 227 7540 OWNER PHONE: (810) 227 7540

X LOCATION AND BRIEF DESCRIPTION OF SITE: GRAND RIVER AVENUE  
NORTH SIDE JUST WEST OF EULER ROAD; EXISTING  
DEVELOPED SITE WITH TWO OFFICE BUILDINGS.

X BRIEF STATEMENT OF PROPOSED USE: SECOND FLOOR OFFICE  
EXPANSION TO EXISTING OFFICE USE

X THE FOLLOWING IMPROVEMENTS ARE PROPOSED: \_\_\_\_\_  
360 SQ. FT. OFFICE ADDITION/EXPANSION OVER  
EXISTING FIRST FLOOR FOOTPRINT.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: JOSH PORTA [Signature]

ADDRESS: 7219 GRAND RIVER BRIGHTON MI 48114

**Contact Information** - Review Letters and Correspondence shall be forwarded to the following: .  
1.) JOSH PORTA of GRACE'S PORTA BENEFITS at josh@graceandporta.com  
Name Business Affiliation FRANCHISE/PRINCIPAL Email Address

**FEE EXCEEDANCE AGREEMENT**  
All sketch plans are allocated one (1) consultant review and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal for a Land Use Permit. By signing below, applicant indicates agreement and full understanding of this policy.  
SIGNATURE: [Signature] DATE: 6-12-14  
PRINT NAME: JOSH PORTA PHONE: 810 227 7540



## PERMIT INFORMATION

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what departmental permits, licenses, or approvals of a permit-like nature may be needed for a project. By contacting the appropriate offices listed below, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities (i.e. planning requirements and chemical storage regulations may apply). A useful way to learn whether any other requirements will apply is to go through the Self Environmental Assessment in the Michigan Manufacturers Guide, online at: [http://www.michigan.gov/deq/0,1607,7-135-3310\\_4148-15820--,00.html](http://www.michigan.gov/deq/0,1607,7-135-3310_4148-15820--,00.html).

KEY QUESTIONS: (DEQ Permit and Licensing Guidebook Chapter)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	If "Yes," refer to the DEQ Permit and Licensing Guidebook Section(s), the Web Page, or Call the Program:
<b>CONSTRUCTION PERMITS</b>			
<b>Permit to Install:</b> Does the project involve installation, construction, reconstruction, relocation, or alteration of any process equipment (including air pollution control equipment) which has the potential to emit air contaminants? (Permit Guidebook Chapter 5.1.3)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , AQD, Permit Section, 517-373-7023
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? (Notification is required for all renovations and demolitions, even if the structure never contained asbestos.)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Web</u> , AQD Asbestos NESHAP Program 517-373-7064
<b>Soil Erosion and Sedimentation Control (SESC):</b> Does the project involve an earth change activity within 500 feet of a lake or stream, or will the project disturb an area greater than one acre in size? (Permit Guidebook Chapter 5.3.5)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact Your Local SESC Agency: <a href="http://www.deq.state.mi.us/sesca/">http://www.deq.state.mi.us/sesca/</a> <u>Web</u> , WB, SESC Program, 517-335-3178
Does the project involve <b>construction</b> which will disturb one or more acre that comes into contact with <b>storm water</b> that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter 5.2.1)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office
Does the project involve <b>construction</b> or alteration of any <b>sewage collection or treatment</b> facility? (Permit Guidebook Chapter 5.3.1)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate District Office, WB, Part 41 Construction Permit Program
Does the project involve <b>construction</b> of a <b>community water supply well</b> or the extension of a water supply from an existing water system? (Permit Guidebook Chapter 5.3.2)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WB, Community Water Supply Program
Does the project involve <b>construction</b> of a <b>water supply well</b> (a private, irrigation, process, or public water well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact a <u>Registered Well Driller</u> , <u>Web</u> , <u>Local Health Department Contacts</u> , Non Community Water Supply, <u>Web</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <b>solid non-hazardous waste</b> on-site, or places <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter 5.4.1)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <b>hazardous waste</b> ? (Permit Guidebook Chapter 5.4.2)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Web 5.4.2</u> , WHMD, Hazardous Waste Section, 517-373-9875
<b>CONSTRUCTION PERMITS (LAND/WATER FEATURE)</b>			
Does the project involve filling, dredging, placement of structures, draining, or use of a <b>wetland</b> ? (Permit Guidebook Chapter 5.5.6)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <u>Web</u> ), <u>Web</u> Land & Water Management Division (LWMD), Permit Consolidation Unit, 517-373-9244
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development? (Permit Guidebook Chapter 5.5.6)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	(Permit Application, <u>Web</u> ), <u>Web</u> LWMD, Permit Consolidation Unit, 517-373-9244



<b>Great Lakes:</b> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes? (Permit Guidebook Chapter <u>5.5.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Inland Lakes and Streams:</b> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody? (Permit Guidebook Chapter <u>5.5.7</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
<b>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</b> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody? (Permit Guidebook Chapters <u>5.5.7</u> & <u>5.5.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.1</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse? (Permit Guidebook Chapter <u>5.5.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area? (Permit Guidebook Chapter <u>5.5.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <b>environmental area</b> ? (Permit Guidebook Chapter <u>5.5.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.1</a> , <a href="#">Web5.5.4</a> , <a href="#">Web5.5.6</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <b>critical dune area</b> ? (Permit Guidebook Chapter <u>5.5.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web</a> , LWMD, Permit Consolidation Unit, 517-373-9244
Does the project involve construction of a dam, weir or other structure to impound flow? (Permit Guidebook Chapters <u>5.5.7</u> ) & <u>5.5.8</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	(Permit Application <a href="#">Web</a> ), <a href="#">Web5.5.7</a> , <a href="#">Web5.5.8</a> , LWMD, Dam Safety Program, 517-241-9862
<b>CONSTRUCTION PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve a <b>subdivision or site condominium</b> project utilizing individual on-site subsurface disposal systems or individual wells? (Permit Guidebook Chapter <u>5.3.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1345
Does the project involve the construction or modification of a <b>campground</b> ? (Permit Guidebook Chapter <u>5.3.6</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, DWEHS, 517-241-1340
Does the project involve the construction or modification of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <u>5.3.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
<b>OPERATIONAL PERMITS</b>		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? (Permit Guidebook Chapter <u>5.1.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , AQD, Permit Section, 517-373-7023
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <u>5.2.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Appropriate District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program 517-241-1346
Does the facility have <b>industrial</b> activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? (Permit Guidebook Chapter <u>5.2.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<a href="#">Web</a> , WB, Permits Section, 517-241-8993 or appropriate DEQ District Office

Does the project involve the <b>discharge of wastewaters</b> into or onto the <b>ground</b> (e.g. subsurface disposal or irrigation)? (Permit Guidebook Chapter <u>5.2.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Groundwater Permits Program, 517-373-8148
Does the project involve the drilling or deepening of <b>wells for waste disposal</b> ? (Permit Guidebook Chapter <u>5.7.8</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve landfilling, transferring, or processing of any type of <b>solid non-hazardous waste</b> on-site, or placing <b>industrial residuals/sludge</b> into or onto the ground? (Permit Guidebook Chapter <u>4.4.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Appropriate DEQ District Office, WHMD 517-335-4035
Does the project involve the on-site treatment, storage, or disposal of <b>hazardous waste</b> ? (Permit Guidebook Chapters <u>4.4.3</u> & <u>4.4.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Hazardous Waste Section, 517-373-9875
Does the project require a <b>site identification number</b> (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD, Appropriate DEQ District Office
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of <b>radioactive material</b> in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Radioactive Material and Standards Unit, 517-241-1275
Do you desire to develop a <b>withdrawal</b> of over 2,000,000 gallons of <b>water</b> per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways? (Permit Guidebook Chapter <u>5.2.6</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, DWEHS, Source Water Protection Unit, 517-241-1318
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using <b>chemicals</b> or materials in, or in contact with, <b>drinking water</b> at any point in the <b>water works system</b> ? (Permit Guidebook Chapter <u>5.2.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Appropriate District Office, Public Water Supply Program 517-241-1318
Are you applying a chemical treatment for the purpose of <b>aquatic nuisance control</b> (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (Permit Guidebook Chapter <u>5.2.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Aquatic Nuisance Control and Remedial Action Unit 517-241-7734
Are you applying materials to a water body for a <b>water resource management project</b> (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? (Permit Guidebook Chapter <u>5.2.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Surface Water Assessment Section 517-373-2190
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the <b>transport</b> of some other facility's non-hazardous <b>liquid waste</b> ? (Permit Guidebook Chapter <u>4.2.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does the project involve the <b>transport hazardous waste</b> ? (Permit Guidebook Chapter <u>4.2.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Transporter Program, 586-753-3850
Does your facility have an <b>electric generating unit</b> that sells electricity to the grid and burns a fossil fuel? (Permit Guidebook Chapter <u>5.1.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , AQD, Acid Rain Permit Program, 517-373-7023
Is the project a <b>dry cleaning establishment</b> utilizing perchloroethylene or a flammable solvent in the cleaning process? (Permit Guidebook Chapter <u>4.1.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , DEQ, Air Quality Division (AQD), 517-241-1324
Does your <b>laboratory test potable water</b> as required for compliance and monitoring purposes of the Safe Drinking Water Act? (Permit Guidebook Chapter <u>4.1.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , ESSD, Laboratory Services Section 517-335-9800

Does the project involve the generation of <b>medical waste</b> or a facility that treats medical waste prior to its disposal? (Permit Guidebook Chapter <u>4.1.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Waste and Hazardous Materials Division (WHMD), Medical Waste Regulatory Program 517-241-1320
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of <b>septage</b> or sewage sludge into or onto the ground? (Permit Guidebook Chapter <u>4.2.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, DWEHS, Septage Program 517-241-1318
Do you store, haul, shred or process <b>scrap tires</b> ? (Permit Guidebook Chapters <u>4.2.2</u> or <u>4.4.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
Does the project involve the operation of a <b>public swimming pool</b> ? (Permit Guidebook Chapter <u>4.1.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> DEQ, WB, Drinking Water & Environmental Health Section (DWEHS), 517-241-1340
Does the project involve the operation of a <b>campground</b> ? (Permit Guidebook Chapter <u>4.1.6</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, DWEHS, 517-241-1340
Do you engage in the business of <b>hauling bulk water</b> for drinking or household purposes (except for your own household use)? (Permit Guidebook Chapter <u>4.2.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, DWEHS, Noncommunity Unit, 517-241-1370
Does the project involve composting over 200 cubic yards of yard clippings? (Permit Guidebook Chapter <u>4.4.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section 517-241-2924
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an <b>aboveground storage tank</b> for a flammable or combustible liquid (under 200 degrees Fahrenheit)? (Permit Guidebook Chapter <u>4.3.1</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, Storage Tank and Solid Waste Section (STSWs), 517-335-7211
Does the project involve the installation of a <b>compressed natural gas dispensing station</b> with storage? (Permit Guidebook Chapter <u>4.3.2</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the installation of a <b>liquefied petroleum gas</b> container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons? (Permit Guidebook Chapter <u>4.3.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the installation, removal, or upgrade of an <b>underground storage tank</b> containing a petroleum product or a hazardous substance? (Permit Guidebook Chapter <u>4.3.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WHMD, STSWs, 517-335-7211
Does the project involve the <b>installation of a hydrogen system</b> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD STSWs, 517-335-7211
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the <b>Certified Operator</b> to fulfill the requirements of a wastewater discharge permit (NPDES including Storm Water or Groundwater)? (Permit Guidebook Chapters <u>3.1</u> , <u>3.2</u> , & <u>3.5</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Hotlink to Program Web Page ( <u>Web</u> ) <u>Web3.1</u> , <u>Web3.2</u> , Environmental Science and Services Division (ESSD), Operator Training 517-373-4755 and, <u>Web3.5</u> Water Bureau (WB), Storm Water Program 517-241-8993
Are you a <b>drinking water operator</b> in charge of a water treatment or water distribution system, back-up operator, or shift operator? (Permit Guidebook Chapter <u>3.3</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , ESSD, Operator Training 517-241-7199
Are you a <b>water well drilling contractor</b> , pump installer, <b>dewatering well contractor</b> or dewatering well pump installer? (Permit Guidebook Chapter <u>3.4</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , WB, Well Construction Unit 517-241-1377



<b>OIL, GAS AND MINING</b>		
Do you want to operate a <b>central production facility</b> (applies to oil and gas production facilities where products of diverse ownership are commingled)? (Permit Guidebook Chapter 4.1.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Office of Geological Survey (OGS), Petroleum Geology and Production Unit 517-241-1515
Does the project involve the removal of sand from a <b>sand dune area</b> within two (2) miles of a Great Lakes shoreline? (Permit Guidebook Chapter 5.6.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , Office of Geological Survey (OGS), Minerals and Mapping Unit, 517-241-1542
Does the project involve the diversion and control of water for the mining and processing of <b>low-grade iron ore</b> ? (Permit Guidebook Chapter 5.6.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the surface or open-pit mining of <b>metallic mineral deposits</b> ? (Permit Guidebook Chapter 5.6.3)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve the mining of <b>nonferrous mineral deposits</b> at the surface or in underground mines? (Permit Guidebook Chapter 5.6.4)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Does the project involve mining <b>coal</b> ? (Permit Guidebook Chapter 5.6.5)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1542
Do you want to change the status of an <b>oil or gas well</b> (i.e. plug the well)? (Permit Guidebook Chapter 5.7.1)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve drilling of <b>oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells</b> ? (Permit Guidebook Chapter 5.7.2)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve plugging or deepening of an <b>oil or gas well</b> , or conveying rights in the well as an owner to another person? (Permit Guidebook Chapter 5.7.3, 5.7.4 & 5.7.5)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Permits and Bonding Unit, 517-241-1528
Does the project involve changing the status or plugging of a <b>mineral well</b> ? (Permit Guidebook Chapter 5.7.6 & 5.7.7)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve the drilling or deepening of <b>wells for brine production, solution mining, storage, or as test wells</b> ? (5.7.8)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>Web</u> , OGS, Minerals and Mapping Unit, 517-241-1532
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have <b>radioactive levels</b> above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WHMD Radioactive Material and Standards Unit, 517-241-1275

**ENVIRONMENTAL ASSISTANCE CENTER: 1-800-662-9278**



July 9, 2014

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Mike Archinal, AICP Township Manager
<b>Subject:</b>	Grace & Porta Office Building addition – Sketch Plan Review #1
<b>Location:</b>	7219 Grand River Avenue – north side of Grand River, west of Euler Road
<b>Zoning:</b>	PID Planned Industrial District

Dear Commissioners:

As requested, we have reviewed the sketch plan (dated 6/19/14) proposing a minor expansion of the existing office building at 7219 Grand River. Specifically, the applicant proposes a 360 square foot second floor addition above a portion of the existing office building. The floor plan identifies the new space simply as open office area.

The proposed project has been reviewed in accordance with the Genoa Township Zoning Ordinance and we provide the comments below for your consideration.

**A. Summary**

1. The project is eligible for sketch plan review (as opposed to a full site plan).
2. Building materials and colors are subject to review and approval by the Township. The Planning Commission has discretion to permit materials and colors that match the existing building.
3. The sidewalk is required to be constructed in the right-of-way, unless there are unique circumstances present (in which case, an easement would be required).
4. The Commission may wish to require 5 greenbelt trees to bring the site closer to compliance with current Ordinance standards.
5. The Commission may wish to request details of any existing lighting.

**B. Proposal/Process**

The applicant requests sketch plan approval for a relatively minor building expansion (360 square feet), which is intended for additional office space.

Given the scope of the project, it is eligible for sketch plan review (as opposed to full site plan review) in accordance with Article 18 of the Township Zoning Ordinance.

**C. Sketch Plan Review**

1. **Dimensional Requirements.** With respect to the dimensional requirements of Section 8.03, the only applicable standards are the side yard setbacks, both of which are met.
2. **Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. Based upon the submittal, the relatively small building addition will match the existing building in terms of materials, color and design.

While vinyl siding is not necessarily a material that would be encouraged in the PID, Section 12.01.08 allows the Planning Commission to permit building expansions where the design and materials match the existing building.



*Aerial view of site and surroundings (looking north)*

3. **Parking.** Based on the parking calculations provided by the applicant, 12 spaces are required while 24 are provided. Although the amount of parking exceeds the 120% limit, this is an existing condition that is not being altered as part of this request. In fact, the proposed building addition actually brings the ratio down slightly given an increase of 2 spaces in the requirement.
4. **Pedestrian Circulation.** The plan includes a 5-foot wide concrete sidewalk along its Grand River frontage, as required by Section 12.05. However, its placement appears to be outside of the right-of-way. Section 12.05.02 requires construction in the right-of-way unless there are unusual circumstances, in which case an easement is required.
5. **Vehicular Circulation.** The site currently has two driveways (one is one-way, the other two-way) accessing Grand River. The plan does not indicate that any changes to vehicular circulation are proposed as part of this project.
6. **Landscaping.** The plan identifies existing and proposed landscaping around the building and along the west side lot line. Overall, the site is deficient in terms of required plantings (greenbelt, parking lot, detention pond, etc.). Although the scope of the project is rather minor in nature, we believe the site would benefit greatly from the inclusion of the 5 required canopy trees in the front yard greenbelt along Grand River. The Commission may wish to require this as part of its sketch plan review.
7. **Exterior Lighting.** The submittal does not identify any existing or proposed lighting. The Township may wish to request details of existing site lighting to determine compliance with current standards (Section 12.03), although, again, the scope of the project is relatively minor in nature.
8. **Impact Assessment.** Impact Assessments are not generally required as part of a sketch plan review; however, the Township may require one if deemed necessary for their review. Given the scope of the project, we do not believe one is necessary.

Genoa Township Planning Commission

**Grace & Porta Benefits**

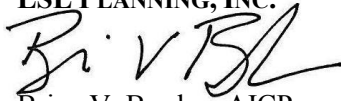
Sketch Plan Review

Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Sincerely,

**LSL PLANNING, INC.**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and written over the printed name below it.

Brian V. Borden, AICP

Senior Planner





July 9, 2014

Mr. Mike Archinal  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

**Re: Grace & Porta Benefits Building Addition  
Sketch Plan Review**

Dear Mr. Archinal:

We have reviewed the sketch plan submittal from Anthony Pucci Associates, PC, dated June 19, 2014. The petitioner is proposing to construct a 360 square foot second-floor addition on the northern side of the existing building on the property. The expansion will allow for the addition of office space. This minor increase in office space would only result in a 0.05 REU increase.

Our review found no engineering-related impacts to the existing site from the proposed addition as illustrated on the sketch plan. Therefore, we have no objections to the proposed addition.

Please call if you have any questions.

Sincerely,

A blue ink signature of Gary J. Markstrom, consisting of a stylized, cursive 'G' followed by 'Markstrom'.

Gary J. Markstrom, P.E.  
Unit Vice President

A blue ink signature of Joseph C. Siwek, consisting of a stylized 'J' followed by 'Siwek'.

Joseph C. Siwek, P.E.  
Project Engineer

copy: Josh Porta – Grace & Porta Benefits



# BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.  
Brighton, MI 48116  
o: 810-229-6640 f: 810-229-1619

June 24, 2014

Kelly VanMarter  
Genoa Township  
2911 Dorr Road  
Brighton, MI 48116

RE: Grace & Porta Benefits  
7219 W. Grand River Ave.  
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on June 20, 2014 and the drawings are dated June 19, 2014. The project is based on a 360 S.F. second floor addition to an existing 2,315 S. F. office building. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

This project is recommended for approval with the following condition that will be verified in the field at the time of final approval

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

**IFC 505.1**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "Michael Evans".

Michael Evans, EFO, CFPS  
Deputy Fire Chief

cc: Architect



## MEMORANDUM

**TO:** Grace and Porta Benefits  
**FROM:** Ron Akers, Zoning Official  
**DATE:** 6/25/14  
**RE:** Grace and Porta Benefits Tap Fee Calculation for Proposed Addition

---

2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

In regards to the proposed project the tap fees will be as follows:

Assuming 2,288 square feet, plus 360 square foot addition and 1,152 square foot retail building.

- a. Office Buildings @ 0.14 per 1000 square feet.
- b. Retail Stores @ 0.20 per 1000 square feet

Previously Paid

Assessed: 1 REU

Tap Fee Calculation

Current Office Building - 2,288 sf @ 0.14 per 1000 sf = 0.32 REU's

Proposed Addition – 360 sf @ 0.14 per 1000 sf = 0.05 REU's

Retail Building – 1,152 sf @ 0.20 per 1000 sf = 0.23 REU's

Total REU's Required = 0.60 REU's

REU's Previously Paid = 1 REU

Total REU's Needed = 0

Total Amount Due = \$0

**SUPERVISOR**

Gary T. McCririe

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**MANAGER**

Michael C. Archinal

**TRUSTEES**

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

**MICHIGAN DEPARTMENT OF CONSUMER & INDUSTRY SERVICES  
BUREAU OF CONSTRUCTION CODES  
BARRIER FREE DESIGN BOARD  
2501 Woodlake Circle  
Okemos, Michigan 48864**

**GENOA TOWNSHIP  
JUN 19 2004**

**Application No. BFD 01-136  
Exception No. 2001-878  
Use Group: B**

**7219 W. Grand River  
Brighton, MI 48114, Michigan  
Livingston County**

**ORDER OF THE MICHIGAN BARRIER FREE DESIGN BOARD**

On September 14, 2001, the Barrier Free Design Board reviewed the Report of the Administrative Law Judge dated August 10, 2001. All supplemental materials received before the Board meeting were reviewed. Copies were sent to all parties. This order is issued pursuant to Section 5(6)(a) of 1966 P.A. 1, as amended; 1972 P.A. 230, as amended; and Section 81 of 1969 of P.A. 306, as amended, and Rule R 125.1016.

**FINDINGS AND CONCLUSIONS:** The Board adopted the report of the Administrative Law Judge. The Board concurs with the Conclusions of Law and Recommendation.

**THEREFORE,** it is the order of the Board to grant relief from the 1996 Part 4 Building Code Rules, Section 1104.4 for interior vertical barrier free access to the second floor.

The Board can only grant or deny exceptions to Michigan's barrier free design requirements. The Board has no authority over the federal standards contained in the Americans with Disabilities Act of 1990, 42 U.S.C. 12204.



Irvin J. Poke, AIA  
Chief, Plan Review Division for the  
Barrier Free Design Board

September 20, 2001

**THIS ORDER SHALL BE DISPLAYED IN A CONSPICUOUS LOCATION FOR  
PUBLIC EXAMINATION AS A CONDITION OF THE EXCEPTION.**





State of Michigan  
John Engler, Governor

Department of Consumer & Industry Services  
Kathleen M. Wilbur, Director

Bureau of Construction Codes  
P.O. Box 30254  
Lansing, Michigan 48909  
Plan Review Division  
Barrier Free Design Section  
(517) 241-9300

September 25, 2001

Dave Porta  
Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114

RE: BFD 01-136, 2001-878  
Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114, Livingston County

Dear Mr. Porta:

Enclosed is the **FINAL ORDER** of the Barrier Free Design Board in the above captioned matter. This order may be appealed to circuit court in the county the project is located in within 60 days after the date of this order.

Please contact me if you have any questions regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Irvin J. Poke". The signature is fluid and cursive, with a large initial "I" and "P".

Irvin J. Poke, AIA, Chief  
Plan Review Division

IJP/jj  
Enclosure

cc: John Wright

STATE OF MICHIGAN  
DEPARTMENT OF CONSUMER AND INDUSTRY SERVICES  
BUREAU OF HEARINGS

In the matter of

Docket No. 2001-878

Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114,

Agency No. BFD 01-136

Agency: Bureau of Construction  
Codes

Applicant

Case Type: Barrier Free Design  
Exception Request

Issued and entered  
this 10<sup>th</sup> day of August, 2001  
by C. David Jones  
Administrative Law Judge

**REPORT OF THE ADMINISTRATIVE LAW JUDGE**

**PROCEDURAL FINDINGS**

This is a proceeding held pursuant to the authority granted in Section 5 of 1966 PA 1, as amended, MCL 125.1351 *et seq.*; MSA 38.447(121) *et seq.*; 1972 PA 230, as amended, MCL 125.1501 *et seq.*; MSA 5.2949(1) *et seq.*; and 1969 PA 306, as amended, MCL 24.101 *et seq.*; MSA 38.560(101) *et seq.*

The purpose of this review is to examine an application for exception from requirements contained in the Barrier Free Design Rules of the State Construction Code. A hearing was held on July 30, 2001, at 2501 Woodlake Circle, Okemos, Michigan. Present were Anthony Pucci, architect for Applicant; Ed Grace, partner of Applicant; and Usha Menon representing the Barrier Free Design Division.

**MICHIGAN DEPARTMENT OF CONSUMER & INDUSTRY SERVICES  
BUREAU OF CONSTRUCTION CODES  
BARRIER FREE DESIGN BOARD  
2501 Woodlake Circle  
Okemos, Michigan 48864**

**GENOA TOWNSHIP  
JUN 19 2001**

**Application No. BFD 01-136  
Exception No. 2001-878  
Use Group: B**

**7219 W. Grand River  
Brighton, MI 48114, Michigan  
Livingston County**

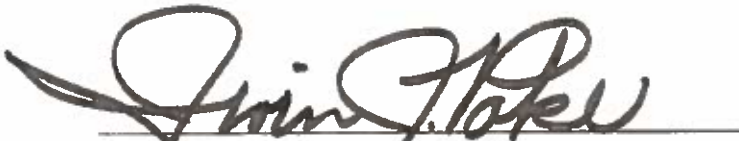
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Irvin J. Poke, AIA  
Chief, Plan Review Division for the  
Barrier Free Design Board

September 20, 2001

**THIS ORDER SHALL BE DISPLAYED IN A CONSPICUOUS LOCATION FOR  
PUBLIC EXAMINATION AS A CONDITION OF THE EXCEPTION.**



State of Michigan  
John Engler, Governor

Department of Consumer & Industry Services  
Kathleen M. Wilbur, Director

Bureau of Construction Codes  
P.O. Box 30254  
Lansing, Michigan 48909  
Plan Review Division  
Barrier Free Design Section  
(517) 241-9300

September 25, 2001

Dave Porta  
Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114

RE: BFD 01-136, 2001-878  
Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114, Livingston County

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Irvin J. Poke, AIA, Chief  
Plan Review Division

IJP/jj  
Enclosure

cc: John Wright



STATE OF MICHIGAN  
DEPARTMENT OF CONSUMER AND INDUSTRY SERVICES  
BUREAU OF HEARINGS

In the matter of

Docket No. 2001-878

Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114,

Agency No. BFD 01-136

Agency: Bureau of Construction  
Codes

Applicant  
\_\_\_\_\_ /

Case Type: Barrier Free Design  
Exception Request

Issued and entered  
this 10<sup>th</sup> day of August, 2001  
by C. David Jones  
Administrative Law Judge

REPORT OF THE ADMINISTRATIVE LAW JUDGE

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This is a proceeding held pursuant to the authority granted in Section 5 of 1966 PA 1, as amended, MCL 125.1351 *et seq.*; MSA 38.447(121) *et seq.*; 1972 PA 230, as amended, MCL 125.1501 *et seq.*; MSA 5.2949(1) *et seq.*; and 1969 PA 306, as amended, MCL 24.101 *et seq.*; MSA 38.560(101) *et seq.*

The purpose of this review is to examine an application for exception from requirements contained in the Barrier Free Design Rules of the State Construction Code. A hearing was held on July 30, 2001, at 2501 Woodlake Circle, Okemos, Michigan. Present were Anthony Pucci, architect for Applicant; Ed Grace, partner of Applicant; and Usha Menon representing the Barrier Free Design Division.

**ISSUE**

Whether an exception should be granted from Section 1104.4 of the Department of Consumer and Industry Services Building Code Rules, Part 4 (1996).

**FINDINGS OF FACT**

1. The Applicant is a business which provides investment counseling and life and health insurance. It has seven full-time and two part-time employees. Generally Applicant's employees visit clients at other locations, but about three to four clients per month come into the Applicant's office.

2. About one year ago the Applicant moved to Brighton and renovated a 96-year-old farm house for its offices. Construction is basically complete. The building has about 1,400 square feet on the first floor and 840 square feet on the second floor. The first floor has been made barrier free. The second floor is not fully accessible but is reached by a 3 foot wide stairway with a vertical height of 9 feet. On the first floor are the conference room, office machines, and an accessible bathroom. Customers can be met on the first floor and employees can be accommodated on the first floor. The second floor has four private offices for the partners.

3. The administrative authority is the Livingston County Building Department. The use group classification is B. The building permit was issued February 1, 2001. The authority issued a temporary occupancy permit for the first floor but will not allow the second floor to be used until the barrier free issue is resolved. The second floor

**ISSUE**

Whether an exception should be granted from Section 1104.4 of the Department of Consumer and Industry Services Building Code Rules, Part 4 (1996).

**FINDINGS OF FACT**

1. The Applicant is a business which provides investment counseling and life and health insurance. It has seven full-time and two part-time employees. Generally Applicant's employees visit clients at other locations, but about three to four clients per month come into the Applicant's office.

2. About one year ago the Applicant moved to Brighton and renovated a 96-year-old farm house for its offices. Construction is basically complete. The building has about 1,400 square feet on the first floor and 840 square feet on the second floor. The first floor has been made barrier free. The second floor is not fully accessible but is reached by a 3 foot wide stairway with a vertical height of 9 feet. On the first floor are the conference room, office machines, and an accessible bathroom. Customers can be met on the first floor and employees can be accommodated on the first floor. The second floor has four private offices for the partners.

3. The administrative authority is the Livingston County Building Department. The use group classification is B. The building permit was issued February 1, 2001. The authority issued a temporary occupancy permit for the first floor but will not allow the second floor to be used until the barrier free issue is resolved. The second floor

does not comply with Section 1104.4 of the Department of Consumer and Industry Services, Building Code Rules, Part 4 (1996).

4. The estimated project cost is \$100,000. The cost of compliance would be about \$20,000 to \$30,000 for an elevator or lift plus about \$20,000 to build a shaft. The shaft would probably eliminate one room upstairs and not be in a good traffic pattern. A platform lift would cost about \$15,000 to \$20,000.

5. The reason for the exception request is space, construction difficulty, and cost.

#### **CONCLUSIONS OF LAW**

Act 1 of the Public Acts of 1966, as amended, states that the barrier free design requirements were created "to provide for the accessibility and utilization by physically limited persons of public facilities and facilities used by the public." The Barrier Free Design Board is authorized by the Act to grant or deny requests for exceptions to any or all of the barrier free design requirements for a stated time period and upon stated conditions, and require alternatives when exceptions are granted.

An exception request is granted only when compelling need is demonstrated by the Applicant. The Applicant has the ultimate burden of proving that an exception should be granted. An exception is a special license to deviate from rules which have uniform applicability to all facilities. Compelling need may be present if the literal application of a specific barrier free design requirement would result in exceptional, practical difficulty to the Applicant or where compliance would not be economically, technologically, structurally,



or administratively feasible. MCL 125.1355(a); MSA 38.447(125)(a); 1988 AACR, R 125.1014.

Section 1104.4 of the Department of Consumer and Industry Services, Building Code Rules, Part 4 (1996), provides as follows:

**Vertical interior routes:** Accessible vertical interior routes that are in compliance with the requirements of section 1016.0 or section 1108.4 of the code shall be provided from all entrances to all levels, spaces, and elements of all building areas as required by section 1103.0 of the code.

Exception: Levels of buildings of use groups R-1 and R-2 where accessible units and communal facilities are not provided.

The Applicant has shown compelling need based on several factors. The cost of compliance in relationship to the total project cost is high. The existing building is a 96-year-old farm house and presents construction difficulties and space limitations. There is no need for the public or employees other than the partners to use the second floor. Few members of the public come into the building at all. The first floor does comply with barrier free design requirements.

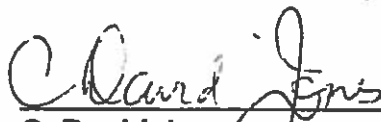
### **RECOMMENDED DECISION**

I recommend the Board grant the Applicant an exception from Section 1104.4 of the Department of Consumer and Industry Services, Building Code Rules, Part 4 (1996).

As a condition to granting this exception, the Board's Final Order, issued after review of this recommendation, shall be displayed in a conspicuous public location of the building.

**COMMENTS, CLARIFICATIONS OR OBJECTIONS**

A party may file comments, clarifications or objections to this Report, including written arguments, with the Barrier Free Design Board (Board). Any comment, clarification or objection shall be notarized and received by the Board's authorized agent before the Board meeting at the following address: Bureau of Construction Codes, 2501 Woodlake Circle, 2<sup>nd</sup> Floor, P.O. Box 30254, Lansing, Michigan 48909, Attention: Irvin Poke, Telephone: (517) 241-9300.




---

**C. David Jones**  
**Administrative Law Judge**

PROOF OF SERVICE

I hereby state, to the best of my knowledge, information and belief, that a copy of the foregoing document was served upon all parties and/or attorneys of record in this matter by Inter-Departmental mail to those parties employed by the State of Michigan and by UPS/Next Day Air, facsimile, and/or by mailing same to them via first class mail and/or certified mail, return receipt requested, at their respective addresses as disclosed by the file on the 10<sup>th</sup> day of August, 2001.

  
\_\_\_\_\_  
Tiffany C. Vedder  
Bureau of Hearings

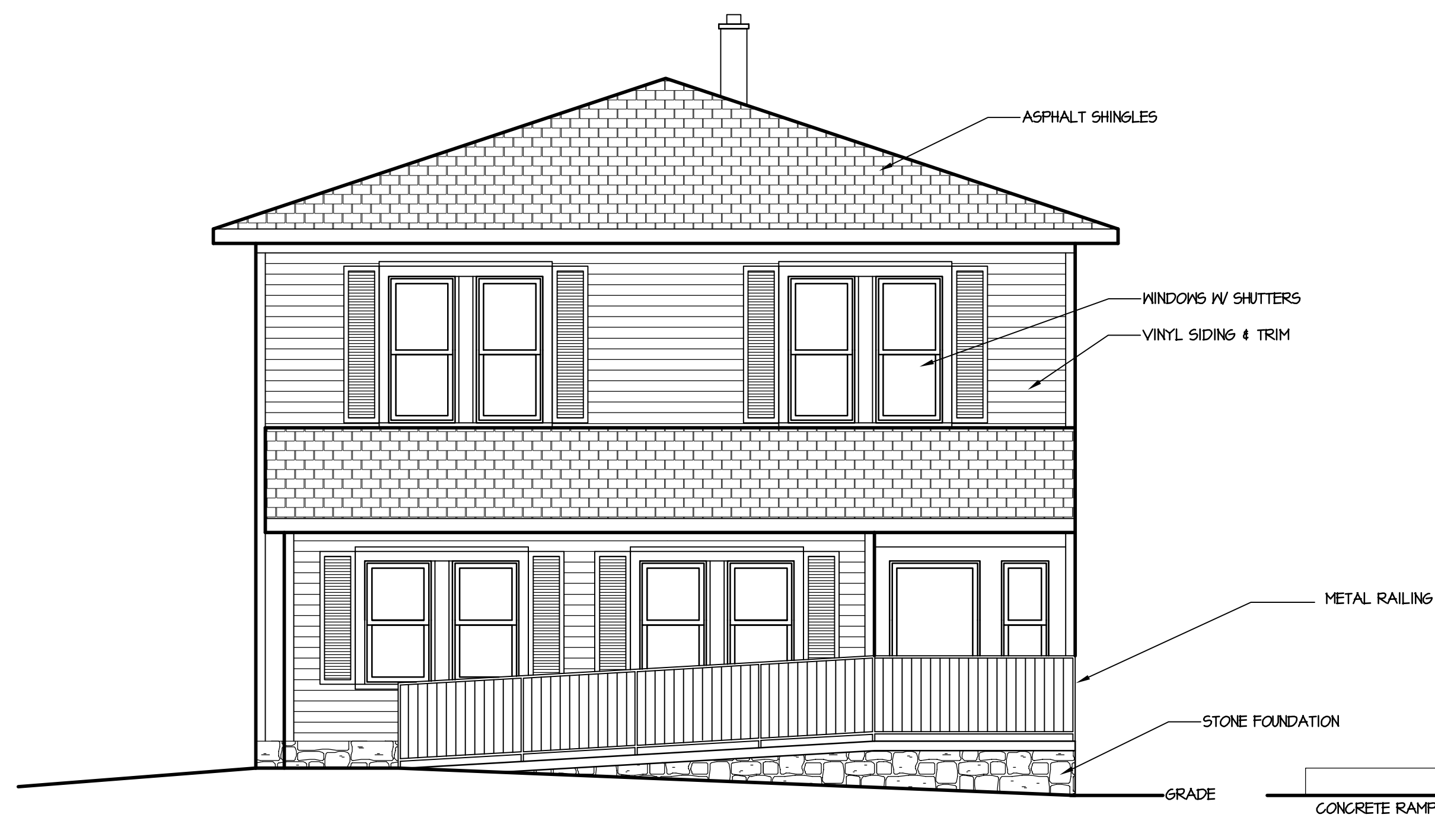
Dave Porta  
Grace & Porta Assoc.  
7219 W. Grand River  
Brighton, MI 48114

John Wright  
Livingston County  
2300 East Grand River  
Howell, MI 48843

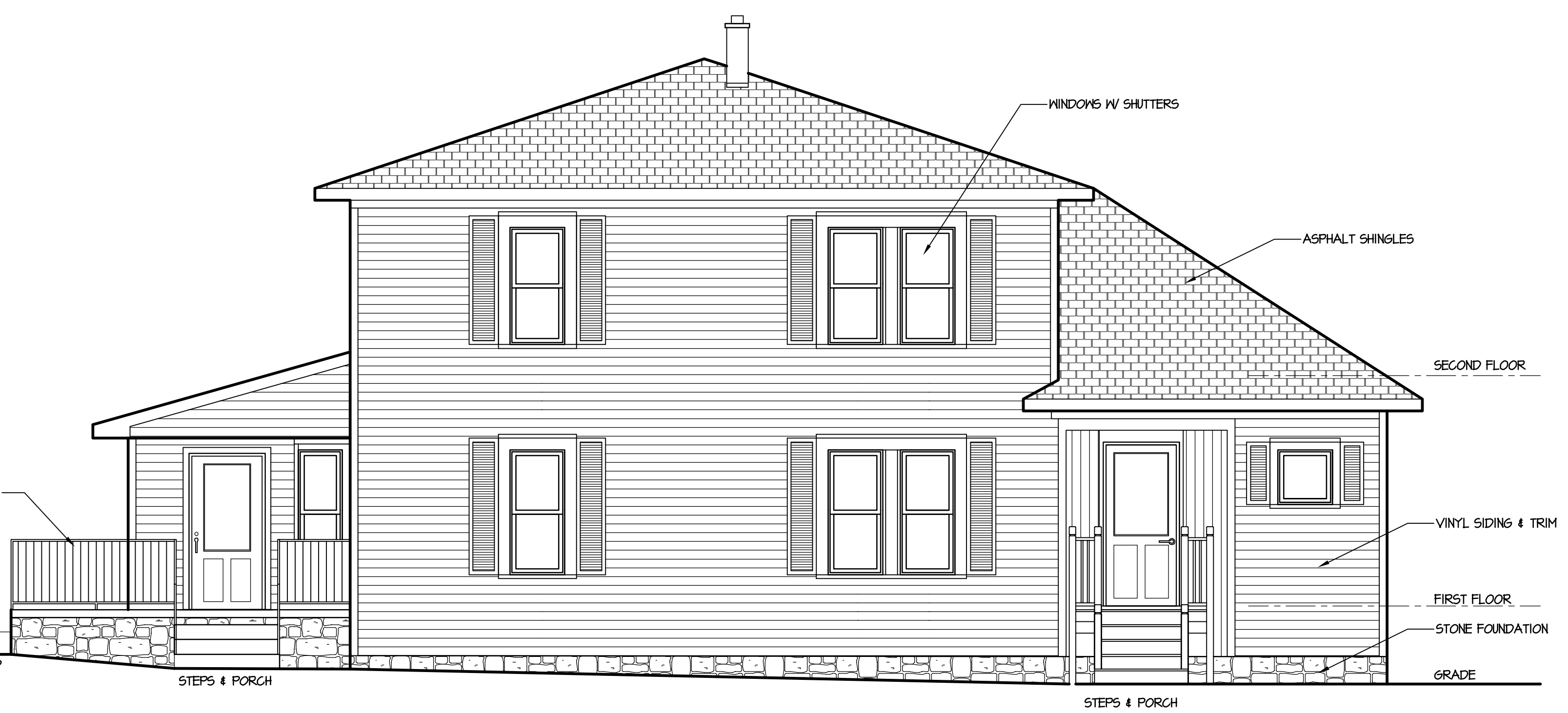
Bureau of Construction Codes  
Barrier Free Design Division  
c/o Irvin J. Poke  
2501 Woodlake Circle, Box 30254  
Lansing, MI 48909



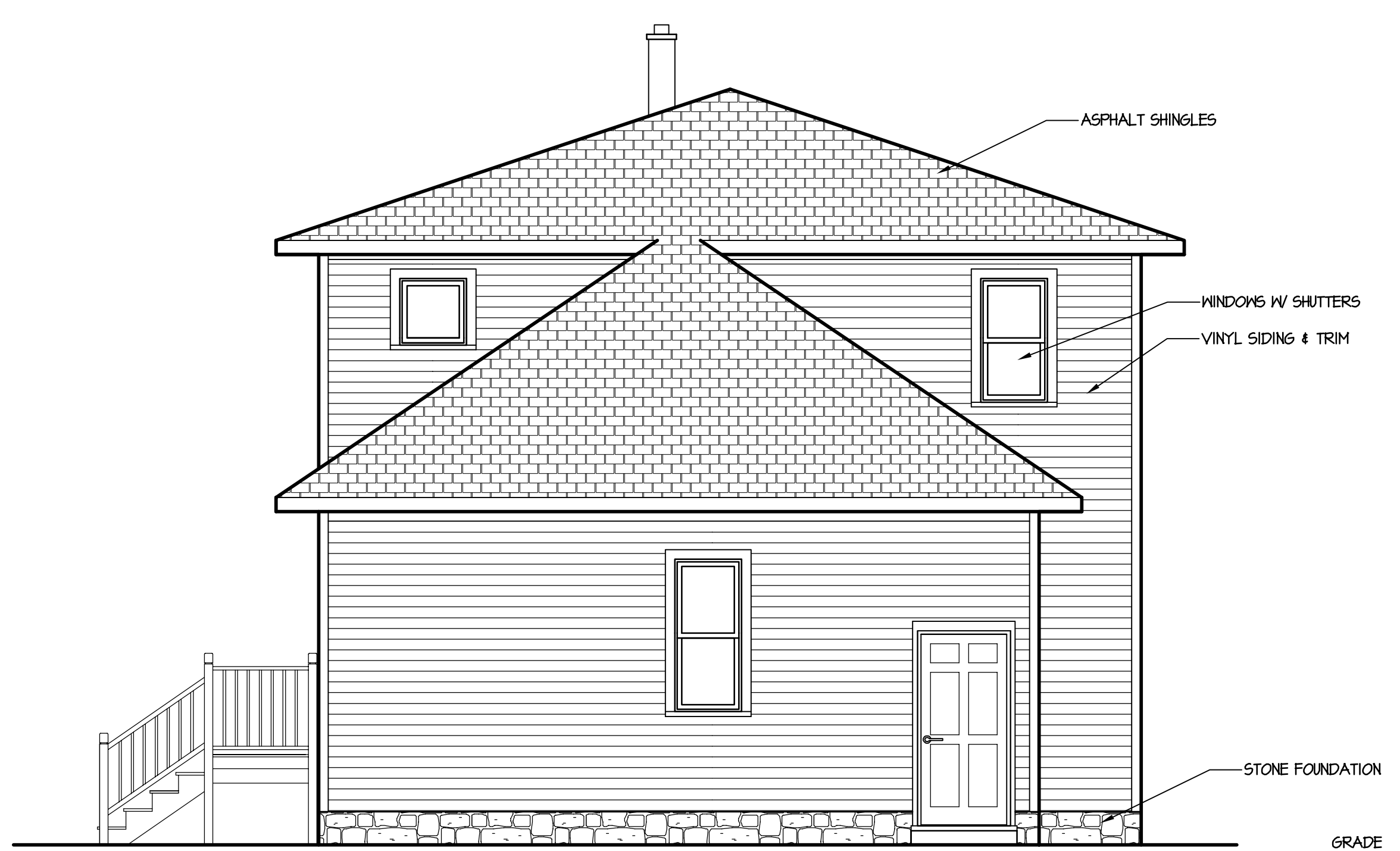




**EXISTING FRONT ELEVATION (SOUTH) - GRAND RIVER**  
SCALE: 1/4" = 1'-0"



**EXISTING RIGHT SIDE ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"



**EXISTING REAR ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



**EXISTING LEFT SIDE ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

**ANTHONY PUCCI ASSOCIATES, PC**  
ARCHITECTURE • PLANNING • DESIGN  
P. O. BOX 5020, BRIGHTON, MI 48116  
PHONE (813) 303-0715 • e-mail: ppucci@pucciassociates.net

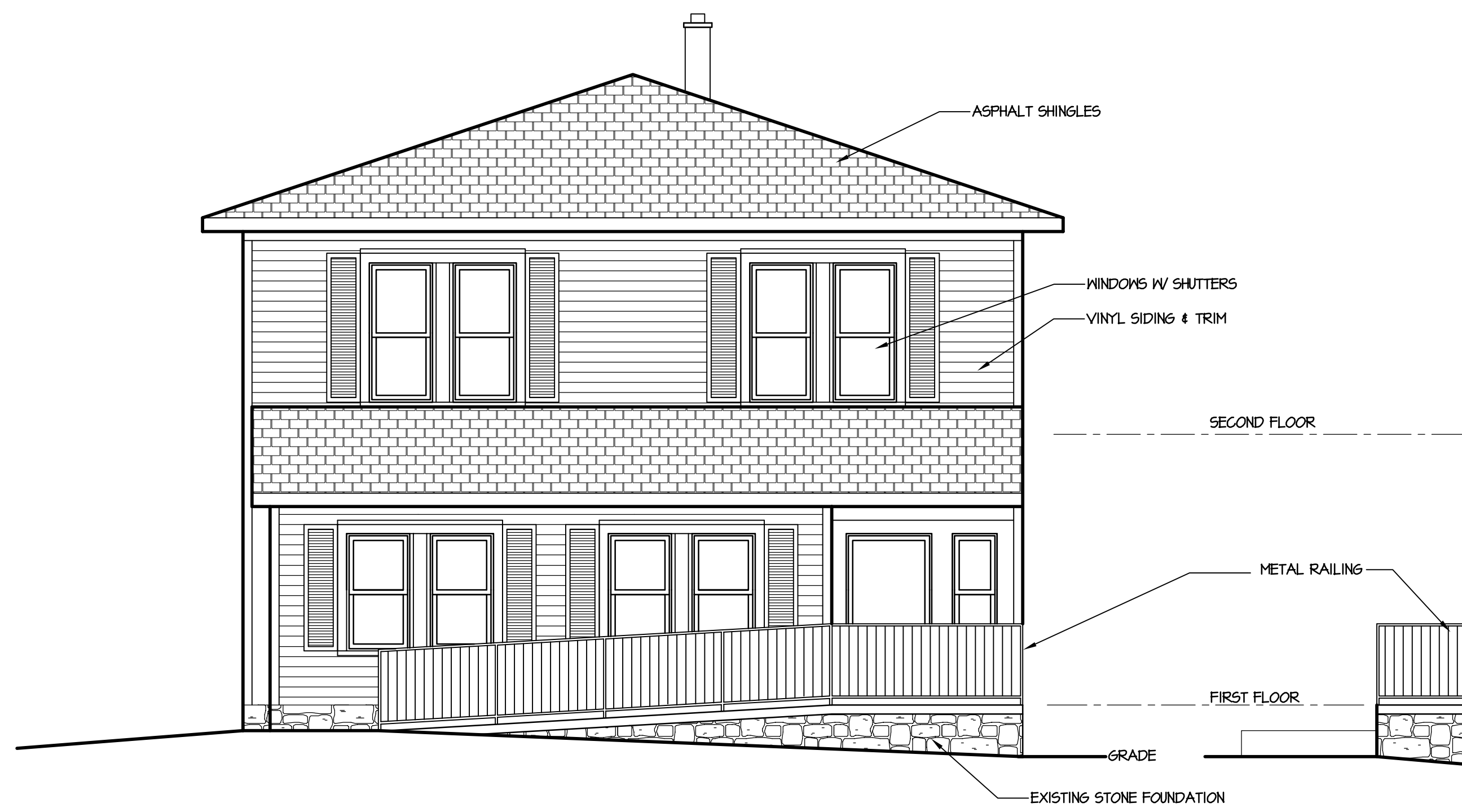
PROJECT: **GRACE & PORTA BENEFITS**  
7219 W. GRAND RIVER AVE.  
BRIGHTON, MI 48116  
SHEET TITLE: **EXISTING ELEVATIONS**

NO.	DATE	BY	NOTES

DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY

DRAWN BY: AP  
CHECKED:  
APPROVED:  
DATE: JUNE 19, 2014  
PROJECT: 1409

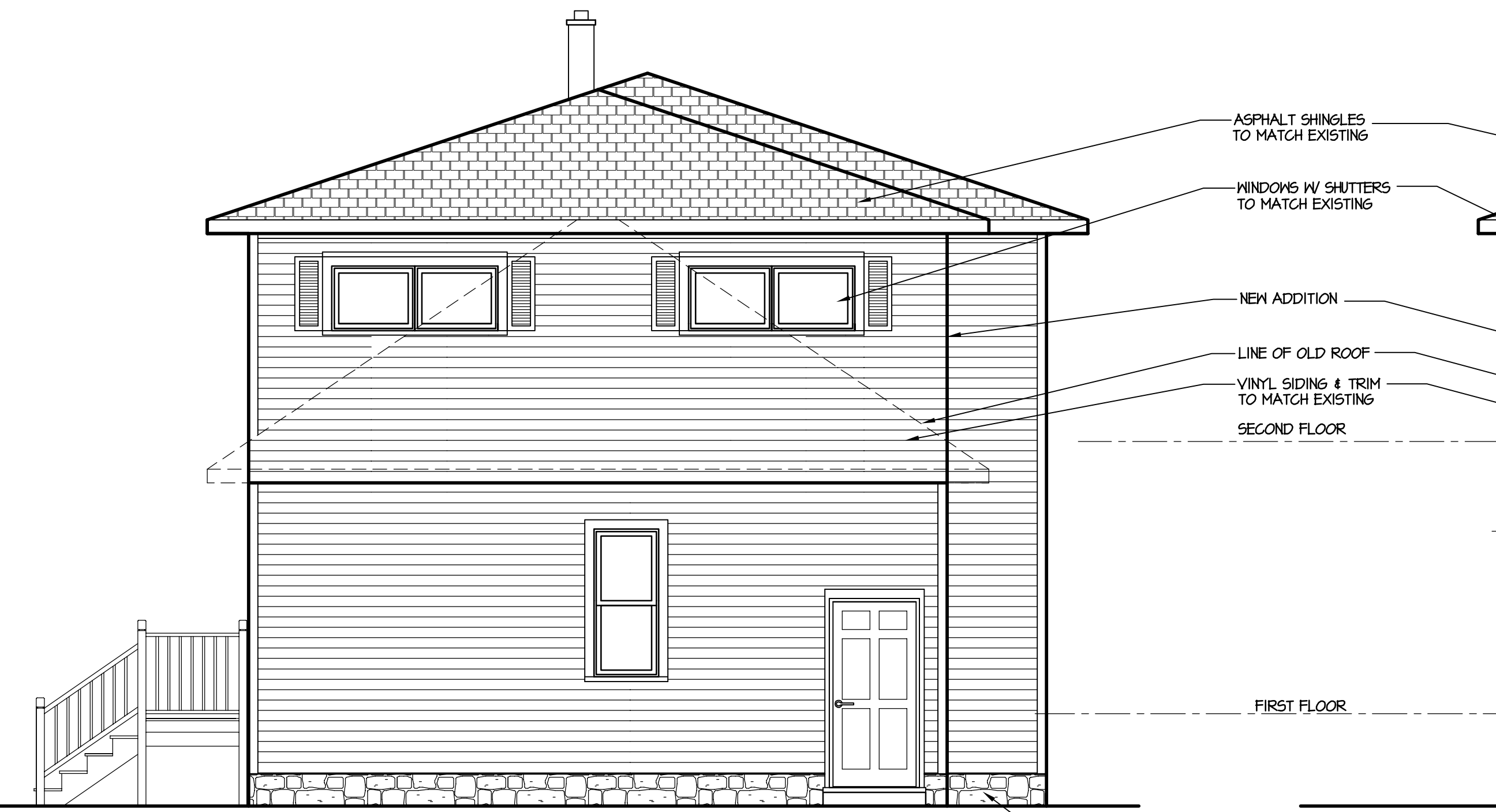
SHEET: **A2**



**EXISTING & PROPOSED FRONT ELEVATION (SOUTH) - GRAND RIVER**  
SCALE: 1/4" = 1'-0"



**PROPOSED RIGHT SIDE ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"



**PROPOSED REAR ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



**PROPOSED LEFT SIDE ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

**ANTHONY PUCCI ASSOCIATES, PC**  
ARCHITECTURE • PLANNING • DESIGN  
P. O. BOX 5020, BRIGHTON, MI 48116  
PHONE: (813) 303-0715 • e-mail: ppucci@pucciassociates.net

PROJECT: **GRACE & PORTA BENEFITS**  
7219 W. GRAND RIVER AVE.  
BRIGHTON, MI 48116  
SHEET TITLE: **PROPOSED ELEVATIONS**

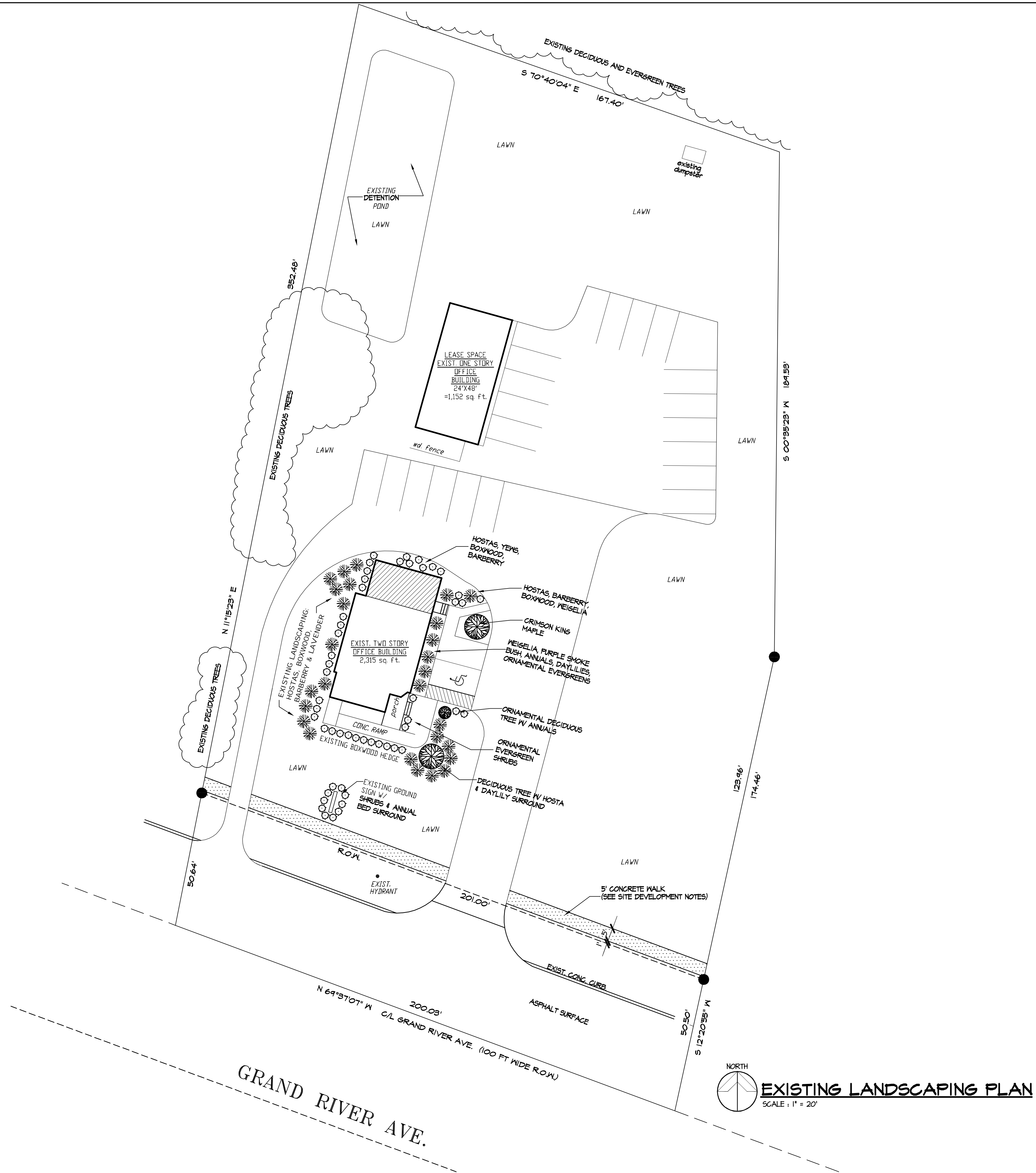
NO.	DATE	BY	NOTES

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DRAWN BY: AP  
CHECKED:  
APPROVED:  
DATE: JUNE 19, 2014  
PROJECT: 1409

SHEET:  
**A3**





**EXISTING LANDSCAPING PLAN**  
SCALE: 1" = 20'

**ANTHONY PUCCI ASSOCIATES, PC**  
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PROJECT: **GRACE & PORTA BENEFITS**  
7219 N. GRAND RIVER AVE.  
BRIGHTON, MI 48116  
SHEET TITLE: **EXISTING LANDSCAPING PLAN**

NO.	DATE	BY	NOTES

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DATE: JUNE 19, 2014  
PROJECT: 1409

SHEET: **LS1**



**GENOA CHARTER TOWNSHIP  
PLANNING COMMISSION  
PUBLIC HEARING  
JUNE 9, 2014  
6:30 P.M.  
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Eric Rauch, Jim Mortensen, John McManus, and Chairman Doug Brown. Barb Figurski, Dean Tengel and Diana Lowe were absent. Also present were Ron Akers, Zoning Official, Michael Archinal, Township Manager, Brian Borden of LSL Planning and 6 others.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: **Motion** by Mortensen to approve the agenda as submitted. The motion was supported by McManus. **Motion carried unanimously.**

CALL TO THE PUBLIC: Chairman Brown made a call to the public for the audience to address non-agenda items. There was no response.

**OPEN PUBLIC HEARING #1...** Review of site plan application and impact assessment for an 8,000 square foot Medical Building, located at a vacant lot on Grand River, Brighton, Parcel # 4711-14-200-023, south of Grand River between Hubert and Grand Beach. The request is petitioned by Howard Lipkin.

Jay Parks of Skyline Property Group addressed the Planning Commission. He described that the project was on a 3.1 acre site and included the construction of an 8,000 square foot medical office building. There is a phase two depicted on the site plan, but it is not being asked for at this time.

Brian Borden addressed the Planning Commission. He reviewed the approval process of the site plan and environmental impact assessment. He indicated that when the applicant is prepared to apply for the second phase a special use permit will need to be sought due to building square footage being above the Zoning Ordinance threshold. Detailed elevation drawings have been provided and the building is compliant with dimensional and material standards, although the final design of the building is up to Planning Commission review and approval.

The largest item of discussion is related to parking. The Zoning Ordinance allows an additional 20% over the required amount of parking by right. Anything above this requires Planning Commission approval. The applicant has proposed an additional 137.5% above the required amount. The applicant's request for additional parking is based on the demand in their current office. The applicant also did not include a loading/unloading space on the site plan and indicated on the site plan that it was

unnecessary due to their deliveries coming from small trucks. There is enough room for a delivery vehicle adjacent to a parking island. The Planning Commission has discretion over the requirement of the inclusion of loading spaces. Other issues included minor mislabeling on the landscape plan which should be corrected.

Mike Archinal addressed the Planning Commission. He spoke with Gary Markstrom from Tetra Tech and reviewed the engineering letter provided to the Planning Commission. The engineering was clean and the changes in the letter were minor in nature.

Chairman Brown expressed concerns regarding the number of people using the building, the REU calculations identified in the Environmental Impact Statement. He also questioned the amount of extra parking needed.

Dr. Lipkin addressed the Planning Commission. He described a concern for running out of parking for his patients as the minimum required parking is inadequate.

Jim Mortensen recommended that the Planning Commission make no commitment to phase 2 as only phase 1 is being reviewed.

Chairman Brown indicated that the Planning Commission could entertain a larger number of parking spots than proposed, but would need further input from the applicant.

Jay Parks indicated 60 spaces would be adequate and questioned whether the applicant could come back to the Planning Commission to request additional parking if it was necessary.

Mike Archinal indicated that any increase in parking above 5 spaces would require site plan review.

Chairman Brown indicated that the Planning Commission will consider 60 parking spaces. Also requested that staff review the REU calculations to ensure they are compliant.

Eric Rauch asked whether the open curb cut on the property will be closed or dressed up and asked if the Planning Commission would seek a cross connection easement to the neighboring property to the east.

Brian Borden indicated that the site plan depicts the closure of the open curb cut. The Planning Commission discussed requiring a cross connection easement and determined that it would not be required due to the safety concerns of vehicles crossing through to the neighboring lot.

Chairman Brown summarized the review letters from Tetra Tech and the Brighton Area Fire Authority. Asked why Boss Engineering fails to put the name, address and

statement of qualification on the Environmental Impact Assessment despite it being a requirement of the Zoning Ordinance.

Chairman Brown made a call to the public with no response.

### **Planning Commission disposition of petition**

#### A. Recommendation of Environmental Impact Assessment

**Motion** by John McManus to recommend to the Township Board that they approve the Environmental Impact Assessment dated, May 21, 2014. We would also ask that staff review the REU calculation as it pertains to the building to ensure the applicant and Township are in synch with number of REUs required. Also ask that Boss Engineering be questioned as to why their credentials are not on the Impact Statement and whether they felt it was important. Approval of phase 1 does not imply approval of phase 2 in site plan

Support by Eric Rauch. **Motion Carried Unanimously.**

#### B. Disposition of Site Plan

**Motion** by Jim Mortensen to approve the site plan dated 5/21/14, subject to the following:

- A. Approval of the site plan specifically excludes phase 2. It should not be inferred or implied that phase 2 is approved.
- B. The building elevations are acceptable to the Planning Commission and the display board will become property of Genoa Township.
- C. The site plan will be revised to show 60 parking spots rather than 57 parking spots.
- D. The minor labeling issues on the landscape plan shall be corrected.
- E. A note shall be added to the site plan indicating the curb cut on the Northeast side of property will be removed and approval will be sought from the Livingston County Road Commission to re-curb the open space.
- F. Conditions of the Tetra Tech letter dated May 30, 2014 will be complied with.
- G. Conditions of the Brighton Area Fire Authority Letter dated June 2, 2014 will be complied with.

Supported by John McManus. **Motion Carried Unanimously.**

**OPEN PUBLIC HEARING #2...** Review of sketch plan application and sketch plan for a 276 square foot addition, located at 5000 Grand River, Brighton, Parcel # 4711-10-300-007. The request is petitioned by Stan Schafer on behalf of Champion Chevrolet.

Stan Schafer of Schafer Construction addressed the Planning Commission. He described that the current carwash is an overhead carwash and is dated. New

carwashes use less water and are more efficient, thus it is time to replace it. The new carwash is proposed to be a drive-thru carwash and needs additional space. The use of the carwash will be for the dealership. The proposed addition is located on the I-96 side of the building.

Brian Borden addressed the Planning Commission. He discussed the application requirements and requested that the applicant provide the Planning Commission with lot coverage calculations. He further discussed that the proposed concrete block siding is not generally what the Township would like to see in a commercial building, but the Zoning Ordinance allows building additions to match existing siding. He also indicated that the Planning Commission may wish to request additional detail on existing site elements such as lighting and landscaping. The Planning Commission has discretion to require additional site improvements. He also asked in regards to a parking area that was not depicted on the site plan on a separate piece of property.

Chairman Brown did not want to open the door for landscaping improvements during sketch plan review. Questioned whether the proposed improvements were where they are supposed to be on the site plan.

Leo Nadolski addressed the Planning Commission. He stated that Champion is already doing some landscaping upgrades on the Grand River side of the property. They are going to be adding 6 mature trees. The property is on 3 parcels which are owned under different companies, but all are controlled by Mr. Nadolski. The addition location is correct on the site plan.

There was discussion regarding the implications of combining all the parcels, the parking lot extending over parcel lines and differences between this site plan and previous site plans that were submitted. It was the consensus of the Planning Commission to address these issues in the future.

Chairman Brown indicated that the letter from Tetra Tech indicated that there would be no engineering issues and the letter from the Brighton Area Fire Authority also indicated there would be no issues.

Chairman Brown made a call to the public with no response.

### **Planning Commission disposition of petition**

A. Disposition of Sketch Plan.

**Motion** by Jim Mortensen to approve the sketch plan for an addition at Champion Chevrolet subject to the following:

A. Applicant shall comply with the requirements spelled out in the Brighton Area Fire Authority letter dated June 3, 2014.



- B. The building materials for the car wash will match existing materials of the dealership due to the small size of the addition.

Supported by Eric Rauch. **Motion carried unanimously.**

### **Review of the Zoning Board of Appeals 2013 Annual Report**

Ron Akers addressed the Planning Commission. He described the purpose of the Annual Report was to organize and describe to the Planning Commission the type and amount of variances that have been granted for the 2013 calendar year. The Planning Commission can use this for policy decisions, when the Zoning Ordinance is being reviewed.

Chairman Brown complimented Akers on the work he was doing with the Township and the information he provides to the Zoning Board of Appeals.

Jim Mortensen stated that he did not see any glaring issues based on the report, but requested that the Zoning Board of Appeals create an executive summary describing what they feel should be changed.

Brian Borden discussed how he recommends that communities he works in do this so trends can be evaluated. He stated that a trend may not show up this year, but they can become apparent over time.

There was discussion regarding properties on the lake and their setback requirements.

### **Administrative Business:**

- Staff report. Michael Archinal reported that the Township was working on sidewalk projects and development was picking up in the Township.
- Approval of April 14, 2014 Planning Commission Minutes. **Motion** by McManus supported by Rauch to approve the April 14, 2014 Planning Commission meeting minutes with the submitted corrections. **Motion carried unanimously.**
- Member discussion. There was no member discussion.
- Adjournment. Motion by John McManus to adjourn the meeting at 7:58 p.m. Supported by Jim Mortensen. **Motion carried unanimously.**