

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
December 2, 2013
6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to approve minutes: Nov. 4, 2013
3. Consider approval of the proposals to purchase one recycler unit and two solar trash compactor units.

Approval of Regular Agenda:

4. Resolution to approve the 2014 Poverty Guidelines and Income Levels as presented by the Assessor.
5. Consideration of a request from the DPW Director to implement results and recommendations of the 2013 Utility Department wage study.
6. Discussion of proposed compensation study of Genoa Township staff.
7. Consider approval of the proposals to purchase one recycler unit and two solar trash compactor units.
8. Review of special use application, PUD Amendment, environmental impact assessment and site plan to construct a new 2,837 square foot Qdoba drive through restaurant located at the Meijer outlot at 3883 E. Grand River, Howell, petitioned by Kevin Egnatuk of Southwind Restaurants, LLC.
Disposition of Petition
 - A. Disposition of the Special Use Permit.
 - B. Disposition of PUD Amendment.
 - C. Disposition of Environmental Impact Assessment
 - D. Disposition of Site Plan
9. Discussion and direction to staff related to the Capital Improvements Program.

Correspondence

Member Discussion

Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: December 2, 2013

TOWNSHIP GENERAL EXPENSES: Thru December 2, 2013	
November 8, 2013 Bi Weekly Payroll	\$208,119.27
November 22, 2013 Bi Weekly Payroll	\$70,450.82
December 2, 2013 Longevity Payroll	\$79,272.85
December 2, 2013 Monthly Payroll	\$9,004.32
OPERATING EXPENSES: Thru December 2, 2013	\$10,216.48
	<u>\$158,573.49</u>
TOTAL:	\$535,637.23

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
30166	Equitabl	Equivest Unit Annuity Lock Box	11/08/2013	525.00
30167	AMERAWAR	American Awards & Engraving	11/01/2013	25.50
30168	DTE LAKE	DTE Energy	11/01/2013	1,189.99
30169	GENOADPW	Genoa Township DPW Fund	11/01/2013	234.86
30170	OEX	Office Express Inc.	11/01/2013	74.81
30171	SEMCOG	Semcog	11/01/2013	2,221.00
30172	USBANK	U. S. Bank Equipment Finance	11/01/2013	649.84
30173	GENOAPC	Genoa Township - Petty Cash	11/04/2013	91.00
30174	JETS PIZ	Jet's Pizza	11/04/2013	215.00
30175	assenma	Robert Assenmacher	11/05/2013	250.00
30176	ASSENMAC	Diane G. Assenmacher	11/05/2013	250.00
30177	BODALSKI	Mary Lynn Bodalski	11/05/2013	250.00
30178	Bowman	Chuck Bowman	11/05/2013	200.00
30179	Brender	Karen Brender	11/05/2013	200.00
30180	BRENNAN	Ann Brennan	11/05/2013	250.00
30181	BURGNER	Mary Burgner	11/05/2013	250.00
30182	COLLINS	Shawn Collins	11/05/2013	250.00
30183	Doucette	Louis Doucette	11/05/2013	200.00
30184	DubyC	Cynthia Duby	11/05/2013	200.00
30185	FRASHEC	Cheryl Frasheski	11/05/2013	200.00
30186	FRASHEK	Kenneth Frasheski	11/05/2013	200.00
30187	Gammon	Debra Gammon	11/05/2013	200.00
30188	HYSEN	Theodore Hysen	11/05/2013	200.00
30189	JonesC	Constance Jones	11/05/2013	200.00
30190	Kelloggs	Sarah Kellogg	11/05/2013	200.00
30191	LADUKJA	Janet La Duke	11/05/2013	200.00
30192	Lewis	Barbara Lewis	11/05/2013	200.00
30193	Lizak	Jean Lizak	11/05/2013	200.00
30194	LIZAKSTE	Steve Lizak	11/05/2013	200.00
30195	Lollo K	Kelly Lollo	11/05/2013	371.88
30196	MateviaG	Gerald Matevia	11/05/2013	200.00
30197	MateviaJ	Joyce Matevia	11/05/2013	250.00
30198	McCauley	Jennifer McCauley	11/05/2013	200.00
30199	McClure	Cecelia McClure	11/05/2013	200.00
30200	McGrath	Carol McGrath	11/05/2013	200.00
30201	Napper	Dawn Napper	11/05/2013	200.00
30202	OBrien	Thomas O'Brien	11/05/2013	200.00
30203	Poppy	Kathryn Poppy	11/05/2013	250.00
30204	Quattro	Terry Quattro	11/05/2013	200.00
30205	Sapienza	Kristen Renee Sapienza	11/05/2013	250.00
30206	SapienzP	Paul Sapienza Jr.	11/05/2013	250.00
30207	Saunder	John Saunders	11/05/2013	250.00
30208	Schelosk	Mary Scheloske	11/05/2013	200.00
30209	Sebastia	Paul Sebastian	11/05/2013	200.00
30210	WATSON V	Victor Watson	11/05/2013	200.00
30211	Wisser	Kathleen Wisser	11/05/2013	200.00
30212	BORDINE	Bordine Nursery	11/05/2013	21.56
30213	COLLINS	Shawn Collins	11/05/2013	56.25
30214	CRAMPTON	Crampton Electric Co., Inc.	11/05/2013	159.00
30215	DTE LAKE	DTE Energy	11/05/2013	49.02
30216	MDEQNCOM	State of Michigan-MDEQ	11/05/2013	130.14
30217	Net serv	Network Services Group, L.L.C.	11/05/2013	697.50
30218	SCODELLE	Scodeller Construction	11/05/2013	19,900.00
30219	ASSENMAC	Diane G. Assenmacher	11/07/2013	25.00
30220	BODALSKI	Mary Lynn Bodalski	11/07/2013	25.00
30221	BRIGCOMM	Brighton Community Education	11/07/2013	200.00
30222	Chilson	Chilson Hills Baptist Church	11/07/2013	200.00
30223	ChurchNa	Church of the Nazarene	11/07/2013	200.00
30224	CLEARYUN	Cleary University	11/07/2013	200.00
30225	COMM BIB	Community Bible Church	11/07/2013	200.00
30226	DHULS	Catherine Dhulster	11/07/2013	35.26
30227	Howells	Howell Public Schools	11/07/2013	200.00

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
30228	Sitnar	Susan Sitnar	11/07/2013	143.38
30229	SKOLAR P	Paulette Skolarus	11/07/2013	106.02
30230	WILLIAMS	Angela Williams	11/07/2013	48.02
30231	AMER IMA	Applied Imaging	11/07/2013	800.00
30232	AmerAqua	American Aqua	11/07/2013	103.80
30233	APEX SOF	Apex Software	11/07/2013	705.00
30234	CONSUMER	Consumers Energy	11/07/2013	87.20
30235	Duncan	Duncan Disposal Systems	11/07/2013	77,220.60
30236	GORDONFO	Gordon's Food Services	11/07/2013	168.44
30238	LivCTrea	Livingston County Treasurer	11/07/2013	879.20
30239	Mancuso	Mancuso & Cameron, P.C.	11/07/2013	2,185.25
30240	OEX	Office Express Inc.	11/07/2013	38.93
30241	Perfect	Perfect Maintenance Cleaning	11/07/2013	1,189.85
30242	RELIANCE	Reliance Standard Life Insuran	11/07/2013	1,770.91
30243	StateMI	State Of Michigan	11/07/2013	525.00
30244	ARCHINAL	Michael Archinal	11/12/2013	37.52
30245	Clearwat	Clearwater Systems	11/12/2013	39.00
30246	CNA Sure	CNA Surety	11/12/2013	100.00
30247	COMC	Comcast	11/12/2013	325.36
30248	COOPERST	Cooper's Turf Management LLC	11/12/2013	1,950.00
30249	GENOAPC	Genoa Township - Petty Cash	11/12/2013	125.83
30250	MASTER M	Master Media Supply	11/12/2013	368.50
30251	mhog	MHOG Utilities	11/12/2013	7,500.00
30252	Poppy	Kathryn Poppy	11/12/2013	46.67
30253	BGDOOR	Brighton Garage Door	11/13/2013	100.00
30254	BUS IMAG	Business Imaging Group	11/13/2013	863.41
30255	DYKEMA	Dykema Gossett PLLC	11/13/2013	75.00
30256	Equitabl	Equivest Unit Annuity Lock Box	11/22/2013	525.00
30257	StateOfM	State of Michigan	11/22/2013	6,013.74
30258	ATT& IL	AT&T	11/15/2013	126.67
30259	BLUE CRO	Blue Cross & Blue Shield Of Mi	11/15/2013	23,043.19
30260	ELECTSOU	MC&E/ELECTION SOURCE	11/15/2013	110.34
30261	GENOA TW	Genoa Township	11/15/2013	377.28
30262	HRdirect	HRdirect	11/15/2013	64.99
30263	LSL	LSL Planning, Inc.	11/15/2013	316.00
30264	MI AS AS	Michigan Assessor's Assoc	11/15/2013	225.00
30265	TRI COUN	Tri County Supply, Inc.	11/15/2013	393.32
30266	EHIM	EHIM, INC	11/19/2013	19,384.18
30267	FED EXPR	Federal Express Corp	11/19/2013	30.94
30268	JOHNSONR	Johnson, Rosati, Schultz & Jop	11/19/2013	1,300.85
30269	LCAA	LCAA	11/19/2013	69.00
30270	Lind Bry	Bryan Lindberg	11/19/2013	60.00
30271	OEX	Office Express Inc.	11/19/2013	50.32
30272	VERIZONW	Verizon Wireless	11/19/2013	897.51
30273	ARCHINAL	Michael Archinal	11/21/2013	500.00
30274	DTE EN	DTE Energy	11/21/2013	147.06
30275	MASTER M	Master Media Supply	11/21/2013	269.07
30276	SHELL	Shell	11/21/2013	114.73
30277	WALMART	Walmart Community	11/21/2013	325.15
30278	WESTSHOR	West Shore Services, Inc.	11/21/2013	2,125.00
30279	CARDM	Chase Card Services	11/22/2013	2,643.62
30280	LC MUNIC	Livingston County Municipal Cl	11/22/2013	42.00
30281	AT&T Fax	AT&T	11/25/2013	75.68
30282	BUS IMAG	Business Imaging Group	11/25/2013	42.77
30283	CRAMPTON	Crampton Electric Co., Inc.	11/25/2013	469.93
30284	MASTER M	Master Media Supply	11/25/2013	27.64
30285	MichMuni	Michigan Municipal Risk Mgmt A	11/25/2013	13,292.12
30286	RELIANCE	Reliance Standard Life Insuran	11/25/2013	1,905.67

Report Total: 208,119.27

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cathy

Printed: 10/31/2013 - 12:02

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
11202	AETNA LI	Aetna Life Insurance & Annuity	11/08/2013		25.00
Check 11202 Total:					25.00
11203	EFT-FED	EFT- Federal Payroll Tax	11/08/2013		7,522.42 4,128.35 4,128.35 965.49 965.49
Check 11203 Total:					17,710.10
11204	EFT-PENS	EFT- Payroll Pens Ln Pyts	11/08/2013		2,058.19
Check 11204 Total:					2,058.19
11205	EFT-TASC	EFT-Flex Spending	11/08/2013		871.10
Check 11205 Total:					871.10
30166	Equitabl	Equivest Unit Annuity Lock Box	11/08/2013		525.00
Check 30166 Total:					525.00
11206	FIRST NA	First National Bank	11/08/2013		2,480.00 46,706.43 75.00

Check 11206 Total:

49,261.43

Report Total:

70,450.82

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cathy

Printed: 11/14/2013 - 11:44

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
11208	AETNA LI	Aetna Life Insurance & Annuity	11/22/2013		25.00
			Check 11208 Total:		25.00
11209	EFT-FED	EFT- Federal Payroll Tax	11/22/2013		7,903.34 4,293.91 4,293.91 1,004.23 1,004.23
			Check 11209 Total:		18,499.62
11210	EFT-PENS	EFT- Payroll Pens Ln Pyts	11/22/2013		2,018.53
			Check 11210 Total:		2,018.53
11211	EFT-TASC	EFT-Flex Spending	11/22/2013		871.10
			Check 11211 Total:		871.10
30256	Equitabl	Equivest Unit Annuity Lock Box	11/22/2013		525.00
			Check 30256 Total:		525.00
11212	FIRST NA	First National Bank	11/22/2013		2,630.00 48,614.86 75.00

Check 11212 Total: 51,319.86

30257

StateOfM State of Michigan

11/22/2013

11/30/2013 6,013.74

Check 30257 Total: 6,013.74

Report Total: 79,272.85

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cathy

Printed: 11/26/2013 - 11:46

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
11220	EFT-FED	EFT- Federal Payroll Tax	12/02/2013		427.78
					527.00
					527.00
					123.27
					123.27

Check 11220 Total: 1,728.32

Report Total: 1,728.32

+ 7275.49

9,004.32

<u>Check No</u>	<u>Check Date</u>	<u>Employee Information</u>		<u>Amount</u>
12064	12/02/2013	Archinal	Michael Archinal	692.62
12065	12/02/2013	HanusCarol	Carol Hanus	461.75
12066	12/02/2013	HuntR	Robin Hunt	635.86
12067	12/02/2013	Lindberg	Tammy Lindberg	692.62
12069	12/02/2013	Mroczka	Laura Mroczka	420.04
12070	12/02/2013	Rojewski	Debra Rojewski	812.92
12071	12/02/2013	Ruthig	Amy Ruthig	692.62
12072	12/02/2013	SaariKaren	Karen Saari	420.04
12073	12/02/2013	SkolarusP	Paulette Skolarus	923.50
12074	12/02/2013	Van Tassel	Adam Van Tassell	600.02
12075	12/02/2013	VanMarter	Kelly VanMarter	461.75
12076	12/02/2013	McCririe	Gary McCririe	461.75
Total Number of Employees: 12		Total for Payroll Check Run:		7,275.49

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cathy

Printed: 11/19/2013 - 13:24

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
11215	EFT-FED	EFT- Federal Payroll Tax	12/02/2013		1,755.37 617.32 617.32 144.37 144.37
Check 11215 Total:					3,278.75
11216	EFT-PENS	EFT- Payroll Pens Ln Pyts	12/02/2013		294.21
Check 11216 Total:					294.21
11217	EFT-TASC	EFT-Flex Spending	12/02/2013		88.43
Check 11217 Total:					88.43
11218	FIRST NA	First National Bank	12/02/2013		6,555.09
Check 11218 Total:					6,555.09
Report Total:					10,216.48

10:23 AM
11/26/13

#595 PINE CREEK W/S FUND
Payment of Bills
October 30 through November 25, 2013

Type Date Num Name Memo Amount

no checks issued

10:18 AM

#503 DPW UTILITY FUND
Payments of Bills
October 30 through November 25, 2013

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
Check	11/01/2013	2652	Abe's Auto Glass, Inc.	Inv. #G35956 10/30/13	-235.95
Check	11/01/2013	2653	Complete Battery Source, Inc.	Inv. #280981BRI 10/30/13	-92.95
Check	11/01/2013	2654	Grundy Ace of Howell	Inv. #75127 10/22/13	-5.99
Check	11/01/2013	2655	MRWA	Inv. #T13-0266 10/22/13	-370.00
Check	11/01/2013	2656	Ashley Repke	Mileage Reimb 9/24/13 - 10/30/13	-125.43
Check	11/01/2013	2657	Victory Lane Quick Oil Change	Inv. #28719 10/23/13 & #28731 10/24/13	-129.45
Check	11/07/2013	2658	Occupational Health Centers	Inv. #709186849 10/30/13	-102.50
Check	11/07/2013	2659	PAETEC	Acct #2119355 11/1/2013	-34.92
Check	11/07/2013	2660	Spirit of Livingston	Inv. #00008845 10/24/13	-45.40
Check	11/07/2013	2661	TalentWise	Inv. #90816419 10/31/13	-190.62
Check	11/07/2013	2662	HOWELL TRUE VALUE HARDWARE	Inv. #066775 10/28/13	-2.99
Check	11/12/2013	2663	Bob Maxey Ford of Howell	Inv. #80405 9/20/13	-1,398.38
Check	11/12/2013	2664	LOWE'S	Acct #9900 641641 8 11/2/13	-2,393.05
Check	11/12/2013	2665	Tractor Supply Co.	Acct #6035 3012 0234 0252 10/30/13	-19.99
Check	11/13/2013	2666	Abe's Auto Glass, Inc.	Inv. #G35956 10/30/13	-235.95
Check	11/13/2013	2667	Auto Zone	DPW Invoices	-146.92
Check	11/13/2013	2668	Port City Communications, Inc.	Inv. #444411012013 11/1/13	-223.74
Check	11/13/2013	2669	Red Wing Shoe Store	Hunt/Anderson - Work Boots	-390.97
Check	11/13/2013	2670	Staples Credit Plan	Acct #6035 5178 6145 0400 11/4/13	-1,380.41
Check	11/14/2013	2671	U.S. POSTMASTER	Oak Pointe Billings Postage	-308.26
Check	11/15/2013	2672	SWANN'S CLOTHING STORE	Uniform Purchases	-340.00
Check	11/21/2013	2673	Absolute Auto Repair	Inv. #78398 10/24/13	-216.49
Check	11/21/2013	2674	Chase Card Services	Acct #4798609100133186 10/8-11/7	-1,475.25
Check	11/21/2013	2675	HOWELL TRUE VALUE HARDWARE	Inv. #067025 11/13/13	-6.99
Check	11/21/2013	2676	Tesha Humpriss	December 2013 Car Allowance	-500.00
Check	11/21/2013	2677	Shell Fleet Plus	Acct #065-332-306 11/12/13	-3,085.67
Check	11/21/2013	2678	Greg Tarara	December 2013 Car Allowance	-500.00
Check	11/21/2013	2679	Verizon Wireless	Acct #481002220-0002 11/06/2013	-241.96
Check	11/21/2013	2680	Victory Lane Quick Oil Change	Inv. #3068 11/14/13	-159.94
Check	11/25/2013	2681	MMRMA	Policy @M0001432 & R0001432 7/1/13 - 7/1/13	-7,964.97
Total					-22,325.14

#593 LAKE EDGEWOOD W/S FUND

Payment of Bills

October 30 through November 25, 2013

Type	Date	Num	Name	Memo	Amount
Check	11/01/2013	2438	Brighton Analytical L.L.C.	Lake Edgewood Invoices	-231.00
Check	11/01/2013	2439	Cooper's Turf Management	Inv. #11237 09/30/13	-310.00
Check	11/01/2013	2440	DTE Energy	LE Electricity Billings	-4,677.16
Check	11/01/2013	2441	GENOA TWP DPW FUND	LE Common Costs 7/1/13 - 9/30/13	-1,314.69
Check	11/01/2013	2442	PVS NOLWOOD CHEMICALS, INC	Invoices/Credits LE	-787.00
Check	11/07/2013	2443	Consumers Energy	Lake Edgewood Invoices	-156.57
Check	11/13/2013	2444	Brighton Analytical L.L.C.	Inv. #1013-83078 10/30/13	-77.00
Check	11/13/2013	2445	Cooper's Turf Management	Inv. #11371 10/31/13	-220.00
Check	11/13/2013	2446	FONSON, INC.	Inv. #10826 10/25/13	-4,108.15
Check	11/13/2013	2447	GENOA TWP DPW FUND	LE Maintenance/Billing Fees - November 2013	-9,300.17
Check	11/13/2013	2448	Genoa/Oceola Sewer Authority	Lab Costs - 10/1/12 - 09/30/13	-1,250.00
Check	11/13/2013	2449	USA BLUE BOOK	Inv. #190608 10/31/13	-2,175.86
Check	11/22/2013	2450	BullsEye Telecom	Inv. #17353537 11/9/13	-325.77
Check	11/25/2013	2451	MMRMA	Policy #M0001432 & R0001432 7/1/13 - 7/1/14	-793.23
Total					-25,726.60

#592 OAK POINTE WATER/SEWER FUND

Payment of Bills

October 30 through November 25, 2013

Type	Date	Num	Name	Memo	Amount
Check	11/01/2013	2819	BRIGHTON ANALYTICAL, LLC	Customer ID GENOATWP	-335.00
Check	11/01/2013	2820	CONSUMERS ENERGY	OP Billings from 09/28/13 - 10/28/13	-76.43
Check	11/01/2013	2821	COOPERS TURF MANAGEMENT, LLC	Invoices #11238 9/30/13	-545.00
Check	11/01/2013	2822	DUBOIS COOPER ASSOCIATES INCORPORA	Inv. #161081 10-11-13	-8,051.92
Check	11/01/2013	2823	DTE ENERGY	Oak Pointe Electricity Billings	-1,250.09
Check	11/01/2013	2824	EJ USA, Inc.	Inv. #3648262 10/22/13	-3,638.78
Check	11/01/2013	2825	FONSON, INC	Inv. #10790 09/30/13	-2,841.00
Check	11/01/2013	2826	GENOA TWP DPW FUND	Common Costs 7/1/13 - 9/30/13	-1,951.04
Check	11/05/2013	2827	AT&T(2)	Customer ID 810 227-9730 2115193	-0.38
Check	11/05/2013	2828	DTE ENERGY	Oak Pointe Electricity Billings	-6,218.74
Check	11/12/2013	2829	BRIGHTON ANALYTICAL, LLC	Customer ID GENOATWP	-67.00
Check	11/13/2013	2830	BRIGHTON ANALYTICAL, LLC	Customer ID GENOATWP	-134.00
Check	11/13/2013	2831	COOPERS TURF MANAGEMENT, LLC	OP Invoices	-799.50
Check	11/13/2013	2832	CLEARWATER KINETICO	Inv. #733425 10/31/13	-150.00
Check	11/13/2013	2833	FASTENAL	Invoices - Customer #MIBRG0781	-133.72
Check	11/13/2013	2834	FONSON, INC	Inv. #10825 10/25/13	-2,787.10
Check	11/13/2013	2835	GENOA TWP DPW FUND	OP Maintenance/Billing Fees	-35,986.34
Check	11/13/2013	2836	Genoa/Oceola Sewer Authority	Lab Costs 10/1/12 - 9/30/13	-3,750.00
Check	11/13/2013	2837	K & J Electric, INC	Inv #6306 10/17/13	-367.00
Check	11/13/2013	2838	NORTHWEST PIPE AND SUPPLY, INC	Inv #3026 & #3038 dated 10/17/13	-80.62
Check	11/13/2013	2839	PVS Nolwood Chemicals, Inc	Inv #421203 & CR #421203 9/12/13	-997.00
Check	11/13/2013	2840	STATE OF MI	Inv #837200 10/30/13	-1,224.94
Check	11/13/2013	2841	Utilities Instrumentation Service	Inv #530342139 10/31/13	-242.00
Check	11/15/2013	2842	AT&T	VOID: Acct #810 227-4883 026 3 dated 11/7/13 GJI	0.00
Check	11/15/2013	2843	AT&T	Acct #810 227-4883 026 3 dated 11/7/13	-57.33
Check	11/22/2013	2844	Bullseye Telecom	Inv #17592261 11/9/13 Acct #-003CA32	-256.67
Check	11/22/2013	2845	Genoa Township G/O New User Fund	Payment per K. Palka - 11/15/13	-15,000.00
Check	11/22/2013	2846	AT & T	Acct #124552625 11/12/13 - 12/11/13	-60.00
Check	11/22/2013	2847	Genoa Township G/O New User Fund	(2) Quarterly Payments per K. Palka 11/15/13	-21,241.23
Check	11/25/2013	2848	MMRMA	Policy#M0001432 & R0001432 7/1/13 - 7/1/2014 (Fi	-2,278.92
Total					-110,521.75

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting
November 4, 2013

MINUTES

Supervisor McCririe called the regular meeting of the Genoa Charter Township Board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following persons were present constituting a quorum for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Linda Rowell, Jim Mortensen, Todd Smith and Jean Ledford. Also present were Township Manager Michael Archinal and one person in the audience.

A Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Smith and supported by Ledford to approve all items under the consent agenda as requested. The motion passed.

1. Payment of Bills.

2. Request to approve minutes: Oct. 21, 2013

Approval of Regular Agenda:

Moved by Skolarus and supported by Mortensen to approve for action all items listed under the regular agenda. The motion passed.

3. Consider approval of Board Appointments as submitted by the Supervisor.

Moved by Skolarus and supported by Ledford to approve the appointments as requested. The motion passed.

The regular meeting of the Genoa Charter Township Board adjourned at 6:33.



Paulette A. Skolarus, Clerk
Genoa Charter Township

Press/argus 11/08/2013

Memorandum

TO: Genoa Township Board

FROM: Adam VanTassell

DATE: December 2, 2013

RE: Proposed Park Pavilion Solar Trash Compactor/Recycler purchase

Manager Review: _____

**CONSIDER APPROVAL OF THE PROPOSALS TO PURCHASE ONE
RECYCLER UNIT AND TWO SOLAR TRASH COMPACTOR UNITS**

Superior Play has placed two demonstration trash/recycle receptacles at the Park Pavilion for the last 6 months. The solar trash compactor has drawn a lot of positive attention from residents with its solar powered engine that compacts all deposited trash.

The proposal from Superior Play would transfer ownership of the existing demonstration models at the Park Pavilion as well as an additional solar trash compactor.

**MOVE TO APPROVE THE PROPOSAL BY SUPERIOR PLAY AT
A COST NOT TO EXCEED \$ 3,100.00.**



All P.O.'s Contracts or Checks Payable to:
Superior Play, L.L.C.
889 S. Old US Highway 23
Brighton, MI 48114 USA

Proposal

Date	Proposal #
11/14/2013	13-968

Bill To:
Genoa Township Mike Archinal 2911 Dorr Road Brighton, MI 48116

Ship To
Genoa Township Adam VanTassell Adam@genoa.org 2911 Dorr Rd Brighton, MI 48116

Customer Contact	Customer Phone	Customer Fax	Terms	P.O. No.	Rep
Mike Archinal	810-227-5225		Net 30		Eric

Item	Description	Qty	Weight	Price	Total
Misc	Big Belly Solar Trash Compactor, demo units	2		4,000.00	8,000.00T
DISC	Special Discount per Eric Sheffer	2		-2,800.00	-5,600.00T
Misc	Big Belly Recycler, demo unit	1		1,500.00	1,500.00T
DISC	Special Discount per Eric Sheffer	1		-800.00	-800.00T

Proposal Good For 30 Days
 Ship Via: Common Carrier
 Please Call 24 Hours Prior To Delivery: _____

Signature below accepting this proposal will constitute a purchase order.

Subtotal	\$3,100.00
Sales Tax (0.0%)	\$0.00
Total	\$3,100.00

Accepted By Customer

Superior Play, LLC
 889 S. Old US 23 Brighton, MI 48114
 P: 810-229-6245 TF: 888-778-7529 Fax: 810-229-6256

Memo

To: Genoa Township Board

From: Debra L. Rojewski 

Date: 11/6/2013

Re: Instructions for poverty exemption, guidelines for poverty exemption, Poverty Exemption application and Poverty Exemption worksheet.

Manager Review: 

I would like the Genoa Township Board to adopt these guidelines for the 2014 Board of Review. The township is required to adopt guidelines that set income levels for our poverty exemption guidelines. The State of Michigan also requires that poverty exemption guidelines are established by the townships local assessing unit and we shall include an asset level test. An asset level test means the amount of cash, fixed assets or other property that could be used or converted to cash for use in payment of property taxes.

The income levels the township is using were supplied by the Sate of Michigan. I have attached the income levels which are the Federal Poverty Guidelines that were supplied to us from the State of Michigan. If you have any further questions feel free to contact me.

Please consider the following action:

Moved by _____, supported by _____, to

Approve the 2014 Instructions for poverty exemption, guidelines for poverty exemption, Poverty exemption application and Poverty exemption worksheet as submitted.



STATE OF MICHIGAN
DEPARTMENT OF TREASURY
LANSING

RICK SNYDER
GOVERNOR

R. KEVIN CLINTON
STATE TREASURER

**BULLETIN NO. 14 of 2013
CHANGES FOR 2014
November 4, 2013**

TO: Assessors
Equalization Directors

FROM: State Tax Commission (STC)

RE: **PROCEDURAL CHANGES FOR THE 2014 ASSESSMENT YEAR**

The purpose of this Bulletin to provide information on statutory changes or procedural changes for the 2014 assessment year.

A. Inflation Rate Used in the 2014 Capped Value Formula.

The inflation rate, expressed as a multiplier, to be used in the 2014 Capped Value formula is 1.016. The 2014 Capped Value Formula is as follows:

$$2014 \text{ CAPPED VALUE} = (2013 \text{ TAXABLE VALUE} - \text{LOSSES}) \times 1.016 + \text{ADDITIONS}$$

The preceding formula does not include 1.05 because the inflation rate multiplier of 1.016 is lower than 1.05.

B. Federal Poverty Guidelines Used in the Determination of Poverty Exemptions for 2014.

MCL 211.7u, which deals with poverty exemptions, was significantly altered by PA 390 of 1994 and was further amended by PA 620 of 2002.

Local governing bodies are required to adopt guidelines that set income levels for their poverty exemption guidelines and those income levels shall not be set lower by a city or township than the federal poverty guidelines updated annually by the U.S. Department of Health and Human Services. This means, for example, that the income level for a household of 3 persons shall not be set lower than \$19,530 which is the amount shown on the following chart for a family of 3 persons. The income level for a family of 3 persons may be set higher than \$19,530. Following are the federal poverty guidelines for use in setting poverty exemption guidelines for 2014 assessments.

Size of Family Unit	Poverty Guidelines
1	\$ 11,490
2	\$ 15,510
3	\$ 19,530
4	\$ 23,550
5	\$ 27,570
6	\$ 31,590
7	\$ 35,610
8	\$ 39,630
For each additional person	\$4,020

Note: PA 390 of 1994 states that the poverty exemption guidelines established by the governing body of the local assessing unit shall also include an asset level test. An asset test means the amount of cash, fixed assets or other property that could be used, or converted to cash for use in the payment of property taxes. The asset test should calculate a maximum amount permitted and all other assets above that amount should be considered as available. Please see STC Bulletin 5 of 2012 for more information on poverty exemptions.

Note: P.A. 135 of 2012 changed the requirements for **filing** documentation in support of a poverty exemption to allow an affidavit (Treasury Form 4988) to be filed for all persons residing in the residence who were not required to file federal or state income tax returns in the current year or in the immediately preceding year. This does include the owner of the property who is filing for the exemption.

C. Multipliers for the Valuation of Free-Standing Communication Towers.

The State Tax Commission recommends that, subject to the qualifications stated below, communication towers should be valued for the 2014 assessment year using the table of historical (original cost when the tower was new) cost valuation multipliers set forth in the multiplier table below. These multipliers have been developed in a manner such that they account for the typical depreciation which is expected for a tower of the indicated age and also account for changes in the cost of the tower and erecting it that have occurred since the time the tower was constructed. On this basis, the multiplier table which is shown below is intended to predict the current true cash value of a tower of the vintage year in which the tower was constructed. An important component in determining the current value of a tower built in a given year is the change in the cost of materials, particularly changes in the cost of steel, between the time of construction and the current Tax Day. Since the table considers both depreciation and changes in construction costs, and since changes in construction cost have not always occurred at a constant rate, the multiplier table does not always evidence a decline in the rate by which the historical cost must be adjusted in order to determine current value. This effect is expected and can be better understood if one remembers that the multiplier table is not a depreciation table and the multipliers are applied to the historic cost of construction, not to the current replacement cost.

POLICY FOR APPLICANTS REQUESTING CONSIDERATION FOR A POVERTY EXEMPTION

IMPORTANT - PLEASE READ !

1. All applicants must obtain the proper applications from the Assessor's Office. Handicapped or infirmed applicants may call the Assessor's Office to make necessary arrangements for assistance.
2. All applicants must be the property owners & reside therein.
 - A. Must produce a driver's license or other acceptable method of identification.
 - B. Must produce a deed, land contract, or other evidence of ownership if the Assessor requests it.
3. All applicants must fill the application form in its entirety and return it, in person, to this office, except as noted in Item 1 above.
 - A. **Must not sign until returned.**
 - B. **Application must be notarized by the Assessing Office staff.**
4. All applicants must submit **most recent** copies of the following (**this includes EVERYONE IN THE HOUSEHOLDS income**):
 - A. Federal Income Tax Return - 1040 or 1040A
 - B. State of Michigan Income Tax Return
 - C. Homestead Property Tax Claim MI-1040CR
 - D. All statements of Income (W-2's, 1099's)
 - E. 2 Months of **ALL** Bank Account Statements
 - F. 2 Months of **ALL** Credit Card Statements

NOTE: All requested tax returns must be attached upon return to the Assessing Department. Without them the Board of Review will not consider your application.

5. All applications may be filed with this office beginning February 1st. An exemption may be granted for the current year only, and may only be considered by the Board of Review. The Board of Review meets three times per year, each March, July and December.
6. Applications may be reviewed by the Board of Review without applicant being present. However, the Board may request that any or all applicants be physically present to respond to any questions they may have. This means that you could be called to appear on short notice.
7. You may have to answer questions regarding your financial affairs, health, the status of people living in your home, etc. before the Board of Review, at a meeting which is open to and may be attended by the public.

**RESOLUTION #
GENOA CHARTER TOWNSHIP
COUNTY OF LIVINGSTON, MICHIGAN**

**RESOLUTION ESTABLISHING GUIDELINES FOR GRANTING OF POVERTY
EXEMPTIONS FROM PROPERTY TAXES PURSUANT TO MCL 211.7u AND
ESTABLISHING BEGINNING DATE FOR THE BOARD OF REVIEW**

At a regular meeting of the Board of Trustees of Genoa Charter Township, County of Livingston, State of Michigan, held on December 2, 2013, the following Resolution was moved, supported and adopted.

RECITALS:

WHEREAS, P.A. 390 of 1994, which amended Section 7u of Act 206 of the Public Acts of 1893, as amended by Act 313 of the Public Acts of 1993, being section 211.7u of the Michigan Compiled Laws, requires the governing body of the assessing unit to determine and make available to the public the policy and guidelines for granting of poverty exemptions under MCL 211.70;

NOW, THEREFORE BE IT RESOLVED that to be eligible for a poverty exemption pursuant to MCL 211.7u in the Township of Genoa, a person must be the owner and must occupy the property as a homestead, as defined, for which the exemption is requested; file a completed and notarized application; file copies of federal and state income tax returns for all persons residing in the homestead, including property tax credit forms and/or Statement of Benefits Paid from Michigan Department of Social Services or Social Security Administration; meet local (Genoa Charter Township) poverty income standards;

BE IT FURTHER RESOLVED that the applicant must have an annual household income less than the amounts shown in Attachment A;

BE IT FURTHER RESOLVED that the applicant must have an annual taxable and/or non-taxable dividend income less than \$500;

BE IT FURTHER RESOLVED that the applicant's asset level, excluding the homestead, may not exceed \$10,000;

BE IT FURTHER RESOLVED that the applicant may not have ownership interest in any real estate other than the homestead;

BE IT FURTHER RESOLVED that a poverty exemption may be granted for only one year at a time;

BE IT FURTHER RESOLVED that for the 2013 tax year the Genoa Charter Township Board of Review will begin its proceedings on Tuesday, March 4, 2014;

BE IT FURTHER RESOLVED that the board of review shall request identification of the applicant and/or proof of ownership of the homestead under consideration for poverty exemption;

BE IT FURTHER RESOLVED that the board of review may request from the applicant any supporting documents which may be utilized in determining a poverty exemption request;

BE IT FURTHER RESOLVED that the completed poverty exemption application must be filed after January 1, but before the day prior to the last day of the board of review in the year for which exemption is sought;

BE IT FURTHER RESOLVED that the board of review shall administer an oath wherein the applicant testifies as to the accuracy of the information provided;

BE IT FURTHER RESOLVED that the board of review may deviate from the established policy and guidelines only for substantial and compelling reasons. The applicant will be notified, in writing, the reasons for deviating from the policy and guidelines for poverty exemption;

BE IT FURTHER RESOLVED that to conform with the provisions of P.A. 390 of 1994, this resolution is hereby given immediate effect.

ATTACHMENT A

POVERTY LEVEL GUIDELINES FOR 2014 TAX YEAR

FAMILY UNIT	HOUSEHOLD INCOME
Family of 1:	\$11,490
Family of 2:	\$15,510
Family of 3:	\$19,530
Family of 4:	\$23,550
Family of 5:	\$27,570
Family of 6:	\$31,590
Family of 7:	\$35,630
Family of 8:	\$39,630
For each additional person add:	\$ 4,020

**GENOA CHARTER TOWNSHIP
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

COMPLETE ENTIRE APPLICATION AND RETURN IT ALONG WITH THE **MOST RECENT** COPIES OF THE FOLLOWING:

- (1) FEDERAL TAX RETURN
- (2) STATE OF MICHIGAN INCOME TAX RETURN
- (3) MICHIGAN HOMESTEAD PROPERTY TAX CREDIT CLAIM (1040-CR)
- (4) ALL INCOME STATEMENTS ASSOCIATED W/ABOVE RETURNS (1099'S, W-2'S)
- (5) 2 MONTHS OF ALL BANK ACCOUNT STATEMENTS
- (6) 2 MONTHS OF ALL CREDIT CARD STATEMENTS

YOUR APPLICATION WILL NOT BE CONSIDERED WITHOUT ALL OF THIS INFORMATION

PERSONAL DATA

Name: _____ Are you 65 or Older? YES NO
 Address: _____ Phone #: _____
 Social Security #: _____ Are you Disabled? YES NO
 Nature of Disability: _____

List all occupants of the home and their relationship:

NAME	RELATIONSHIP
_____	_____
_____	_____
_____	_____

Attach additional pages if necessary

PROPERTY INFORMATION

Year property was purchased: _____ Purchase Price: _____
 Do you own the property free and clear? YES NO -----> What is your monthly payment? _____
 Are the taxes included in your payment? YES NO
 Are the taxes current? YES NO -----> Amount past due: _____
 Do you own other real estate? NO YES -----> Please list below the location, value and type

LOCATION OF OTHER REAL ESTATE	VALUE	TYPE
_____	_____	_____
_____	_____	_____

Attach additional pages if necessary

EMPLOYMENT STATUS

Are you, your spouse, or other members of the household employed?

Self: NO YES -----> Employer Name & Address: _____
 Spouse: NO YES -----> Employer Name & Address: _____
 Other members in household: NO YES -----> Employer Name & Address: _____

**GENOA CHARTER TOWNSHIP
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

INCOME

TOTAL ESTIMATED HOUSEHOLD INCOME DECLARATION

SOURCE	MONTHLY AMOUNT	ANNUAL AMOUNT
Wages / Salaries / Tips	_____	_____
Social Security / SSI	_____	_____
Pension or Retirement	_____	_____
Interest and/or Dividends	_____	_____
Rental Income	_____	_____
Business or Royalty Income	_____	_____
Disability Payments	_____	_____
General Assistance / ADC	_____	_____
Alimony	_____	_____
Child Support	_____	_____
Unemployment Benefits	_____	_____
Other Income from Family	_____	_____
Income from Land Contracts, etc.	_____	_____
Dependents Income	_____	_____
Food Assistance	_____	_____
Assistance with Gas or Electric Bill (OLSHA or Salvation Army Ect.)	_____	_____
Any Other Income (Source)	_____	_____

TOTAL PROJECTED INCOME FOR CURRENT YEAR

ASSETS

Cars	NO	YES ----->	Make: _____	Model: _____
Do you have a savings account?	NO	YES ----->	Balance: _____	Bank: _____
Do you own any time certificates?	NO	YES ----->	Type: _____	Value: _____
Do you own any stocks or bonds?	NO	YES ----->	Type: _____	Value: _____
401K or 457	NO	YES ----->	Type: _____	Value: _____
IRA or ROTH	NO	YES ----->	Type: _____	Value: _____
Recreational Vehicles	NO	YES ----->	Type: _____	Value: _____
Boat, Snowmobile Ect.	NO	YES ----->	Type: _____	Value: _____
Jewelry	NO	YES ----->	Type: _____	Value: _____
ART	NO	YES ----->	Type: _____	Value: _____
Life Insurance	NO	YES ----->	Type: _____	Amount: _____
Other Assets (Electronic, Coin Collection Ect.)			Type: _____	Amount: _____

**GENOA CHARTER TOWNSHIP
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

EXPENSE INFORMATION

Average Monthly Expenses: _____
House Pmt (Prin. & Interest) _____
 Association Dues (if applicable) _____
Equity Loan Pmt. (Prin. & Interest) _____
Life Insurance _____
Health Insurance _____
Home Insurance _____
Auto Insurance _____
Taxes (Homestead) _____
Taxes on other Real Estate _____
Car Payment #1 _____ Year Make & Model _____
Car Payment #2 _____ Year Make & Model _____
Utilities: Electric _____
 Gas/Oil/Heat _____
 Telephone _____
 Water _____
 Cable _____
 Cell Phone _____
Child Care _____
Food & Clothing _____
Credit Card #1 _____ Balance _____
Credit Card #2 _____ Balance _____
Credit Card #3 _____ Balance _____
Other Loans _____
Medical Bills (**After Insurance**) _____
Lawn Care _____
Other (Specify) _____

Do you have any unusual expenses? NO YES-----> Please describe:

Is there any other information you feel the Board of Review should consider?

**GENOA CHARTER TOWNSHIP
APPLICATION FOR ONE YEAR HARDSHIP REDUCTION**

**I/WE DECLARE THAT I/WE ARE UNABLE TO PAY THE FULL PROPERTY TAX LEVY ON THE ABOVE DESCRIBED PARCEL AND
HEREBY MAKE APPLICATION FOR PROPERTY TAX RELIEF DUE TO HARDSHIP IN ACCORDANCE WITH SECTION 211.7u
OF MCL. I/WE DECLARE THAT THE STATEMENTS MADE HEREIN ARE COMPLETE, TRUE AND CORRECT. I/WE FURTHER
UNDERSTAND THAT IF ANY INFORMATION CONTAINED HEREIN IS FOUND TO BE FALSE OR INCOMPLETE, ANY AND ALL
RELIEF GRANTED BY THIS APPLICATION WILL BE FORFEITED AND PLACED BACK ON THE ASSESSMENT ROLL WITH
PENALTIES AND INTEREST, AND IS ALSO PUNISHABLE BY PENALTY OF PERJURY**

Applicant _____

Date _____

Applicant _____

Date _____

Witness / Notary _____




MEMO

TO: Members of the Genoa Charter Township Board

FROM: Greg Tatara, Utility Director
Kimberly MacLeod, Human Resources Generalist

DATE: November 26, 2013

SUBJECT: Utility Department Wage Study

MANAGER REVIEW: 

.....

The Township initiated in-house operations of the Genoa and MHOG Utility Systems in April of 2011. To date, bringing in-house operations to Genoa Township has saved a significant amount of money. In the past two years, \$246,589 was given back to utility systems in the form of refunds from finishing under budget for labor and equipment. These returned dollars are in addition to the estimated \$583,000 in savings from those cost associated with contract operations over the past two years. Therefore, we conservatively estimate that we have saved over \$800,000 since April 2011.

Despite our savings, however, we have endured a significant and uncomfortable amount of voluntary employee turnover during the past two years. After some candid exit interviews, confidential consultations with existing employees, and the recruiting efforts that were initiated due to these openings, we discovered that:

- Our organization structure was top heavy with supervisors relative to the number of hourly employees
- The frequency of employees serving on call was burdensome as most positions were serving every other week, and this was exacerbated further by the frequent vacancies in positions.
- Our hiring rates for entry to mid-level positions were below other published municipalities
- Our job description table had narrow categories and narrow pay ranges and was binding on experience and licenses

As a result and after much consideration, we modified our organizational structure to convert two supervisor positions to hourly lead operators, modified our on-call program with regard to frequency and equity, and conducted a comprehensive wage study. We firmly believe our utility systems will operate more efficiently and with increased life cycle if we can attract and retain qualified employees who view Genoa Charter Township and MHOG Utilities as a place to grow, develop, and have a sound and professional future with.

Presented in *Attachment 1* is the historic wage and operator classification table we developed in 2011, which was modified twice by the Genoa Township Board to add positions in 2012 and

2013. Upon review, it can be seen that the table has narrow pay ranges and job categories that locked employee's progression and forced supervisors to prematurely promote employees who "met expectations" rather than allow them to receive compensatory raises relative to their experience and responsibility level. It was our goal of the wage study, to not only look at titles and applicable pay ranges, but to develop an improved career path tool for the future of our staff. We will review with the board the November 2013 Utility Department wage study Power Point Synopsis, a copy of which is presented in *Attachment 2*. Through this review, we will demonstrate the need to:

- Increase salary midpoints and salary ranges for the water, wastewater, and support services divisions.
- Provide ranges that overlap and have a wider spread between minimum and maximum hourly rates to allow for adequate growth, reward within the job levels, and make sure that all staff are properly classified
- Implement a streamlined operator job progression by reducing 5 levels of operator classifications/titles down to 3 levels.
- Modify the operator job progression tool based more on responsibilities, complexity of assignments and tasks, and level of independent decision making that the operator maintains rather than simple length of service.

Following review and presentation of the wage study, we are asking that the Board please consider the below listed motion to adopt a revised Utility Department Wage Scale and Job Descriptions, presented as *Attachment 3*.

Moved by _____, supported by _____ to approve the Township Utility Department wage schedule for all Utility Department staff with an effective date of January 1, 2014.

Attachment 1

Genoa Township Utility Department Salary Guidelines
 Approved by Township Board January 2013

POSITION/TITLE	HOURLY START RATES		
	<u>Minimum Starting Hourly Wage</u>	<u>Wage Study - 50th Percentile</u>	<u>Maximum Hourly Wage</u>
SUPPORT SERVICES GROUP			
Utility Director	\$38.00	\$39.66	\$47.00
Utility Engineer	\$33.00	\$34.61	\$42.00
Billing Specialist	\$15.00	\$18.99	\$26.00
Administrative Assistant (Part-Time)	\$11.50	\$14.19	\$18.50
Engineering Technician	\$16.00	\$19.00	\$22.00
Human Resources Manager (Part-Time)	\$20.00	\$21.51	\$28.00
WASTEWATER GROUP			
Deputy Waste Water Treatment & Collection (Salaried/Exempt)	\$28.50	\$33.36	\$35.00
WWTP Supervisor (Salaried/Exempt)	\$24.00	\$25.26	\$30.00
Senior Collection Supervisor (Salaried/Exempt)	\$22.00	\$22.93	\$27.00
WWTP Operator IV	\$18.00	\$18.31	\$20.00
WWTP Operator III	\$16.00	\$16.76	\$18.00
WWTP Operator II	\$14.00	\$15.53	\$16.00
WWTP Operator I	\$12.00	\$13.55	\$14.00
Field Operator IV	\$18.00	\$18.72	\$20.00
Field Operator III	\$16.00	\$17.05	\$18.00
Field Operator II	\$14.00	\$15.71	\$16.00
Field Operator I	\$12.00	\$14.07	\$14.00
WATER GROUP			
Deputy Water Treatment & Distribution (Salaried/Exempt)	\$28.50	\$33.36	\$35.00
WTP Supervisor (Salaried/Exempt)	\$24.00	\$25.26	\$30.00
Senior WTP Operator	\$20.00	\$22.00	\$25.00
Senior Distribution Supervisor (Salaried/Exempt)	\$22.00	\$22.93	\$27.00
WTP Operator IV	\$18.00	\$18.31	\$20.00
WTP Operator III	\$16.00	\$16.76	\$18.00
WTP Operator II	\$14.00	\$15.53	\$16.00
WTP Operator I	\$12.00	\$13.55	\$14.00
Field Operator IV	\$18.00	\$18.72	\$20.00
Field Operator III	\$16.00	\$17.05	\$18.00
Field Operator II	\$14.00	\$15.71	\$16.00
Field Operator I	\$12.00	\$14.07	\$14.00
SEASONAL			
Summer Field Intern	\$10.00	<i>no data available</i>	\$12.00
Summer Field Intern	\$10.00	<i>no data available</i>	\$12.00

Notes:

Wage Study Data was obtained through PayScale, MTA comp data, and ASCE data

Denotes a new addition to the table beyond those positions previously approved

Attachment 2



Utility Department Wage Study

*Marion, Howell, Oceola & Genoa Sewer and
Water Authority*

November 2013

Recommendations

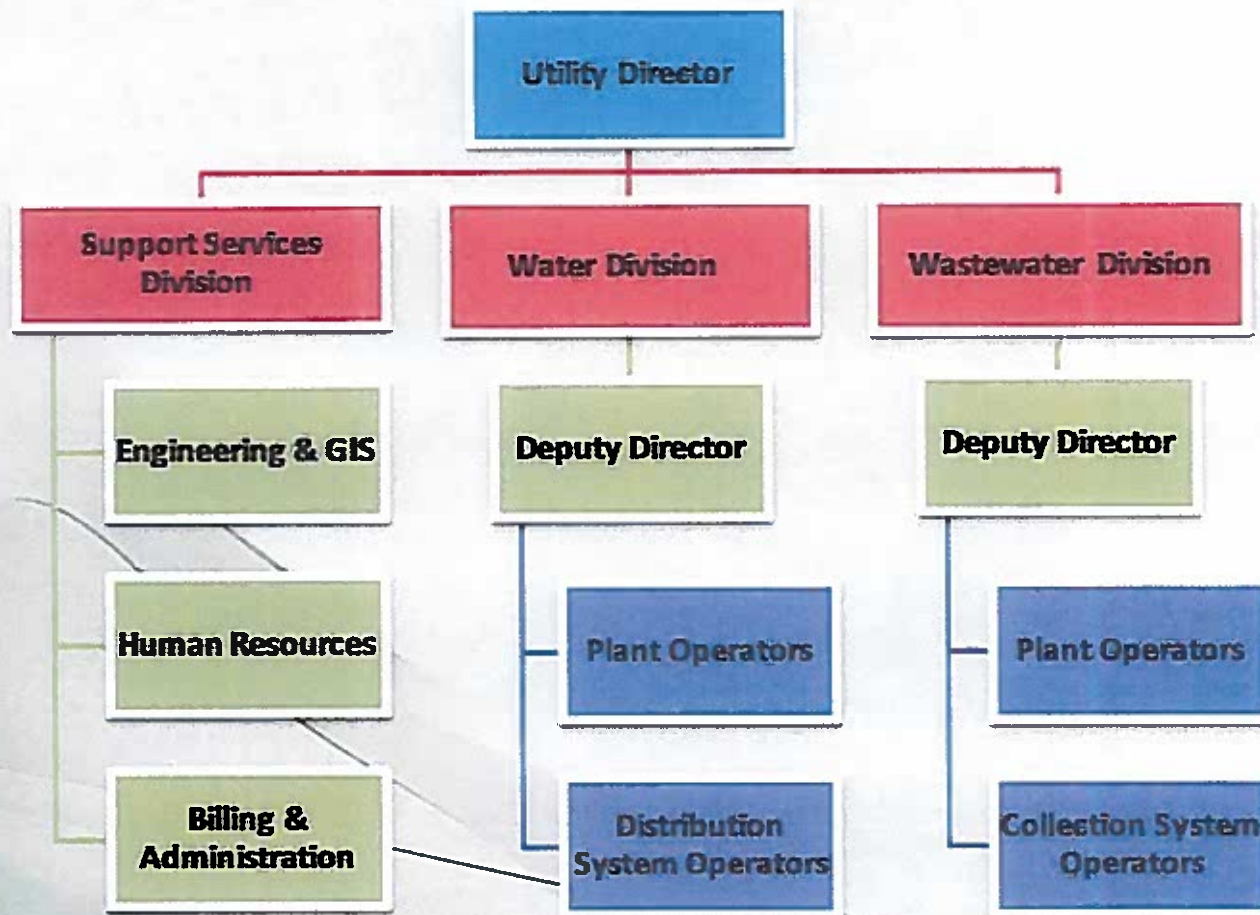
Based on a review of market wage data, current hire climate and internal considerations, the following actions are recommended:

- *Streamline Water, Wastewater and Field Operator job progressions from 4 or 5 levels of Operator classification to 3 levels.*
 - *New ranges to have wider spread between minimum and maximum to allow for adequate growth and reward within job; promotion to next job level to be clearly defined*
- *Increase Salary Range Midpoints for Water and Wastewater Divisions an average 15%, ranging from approximately 2% to 25%.*
 - *Note: Salaries are not increasing 15%, just the range midpoints due to less categories*
- *Increase Salary Range Midpoints for the Support Division an average 6.8% ranging from 2.6% to 19.8%. No market adjustments.*

Background

- *The Utility Department has experienced high voluntary turnover in Water and Wastewater Divisions throughout 2013.*
 - *Lost 5 employees / 31.5%*
 - *Turnover primarily attributed to pay*
 - *Market conditions for these positions reflect slight uptick (slide 8)*
- *Significant resources spent in recruitment, orientation and training.*
- *Pay ranges have not been reviewed in their entirety for several years.*

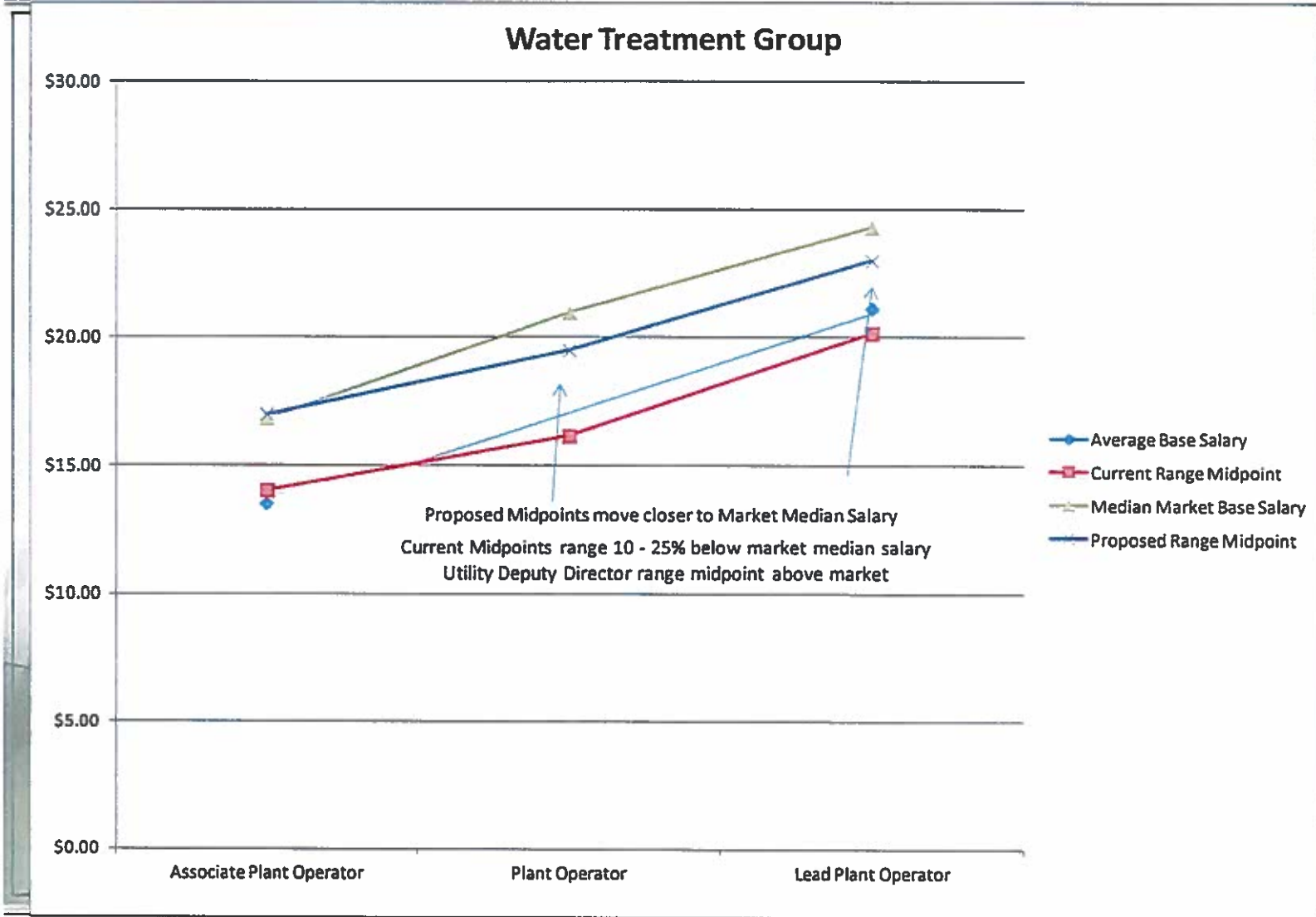
Background – Utility Department Organization Structure



Findings – Water and Wastewater Divisions

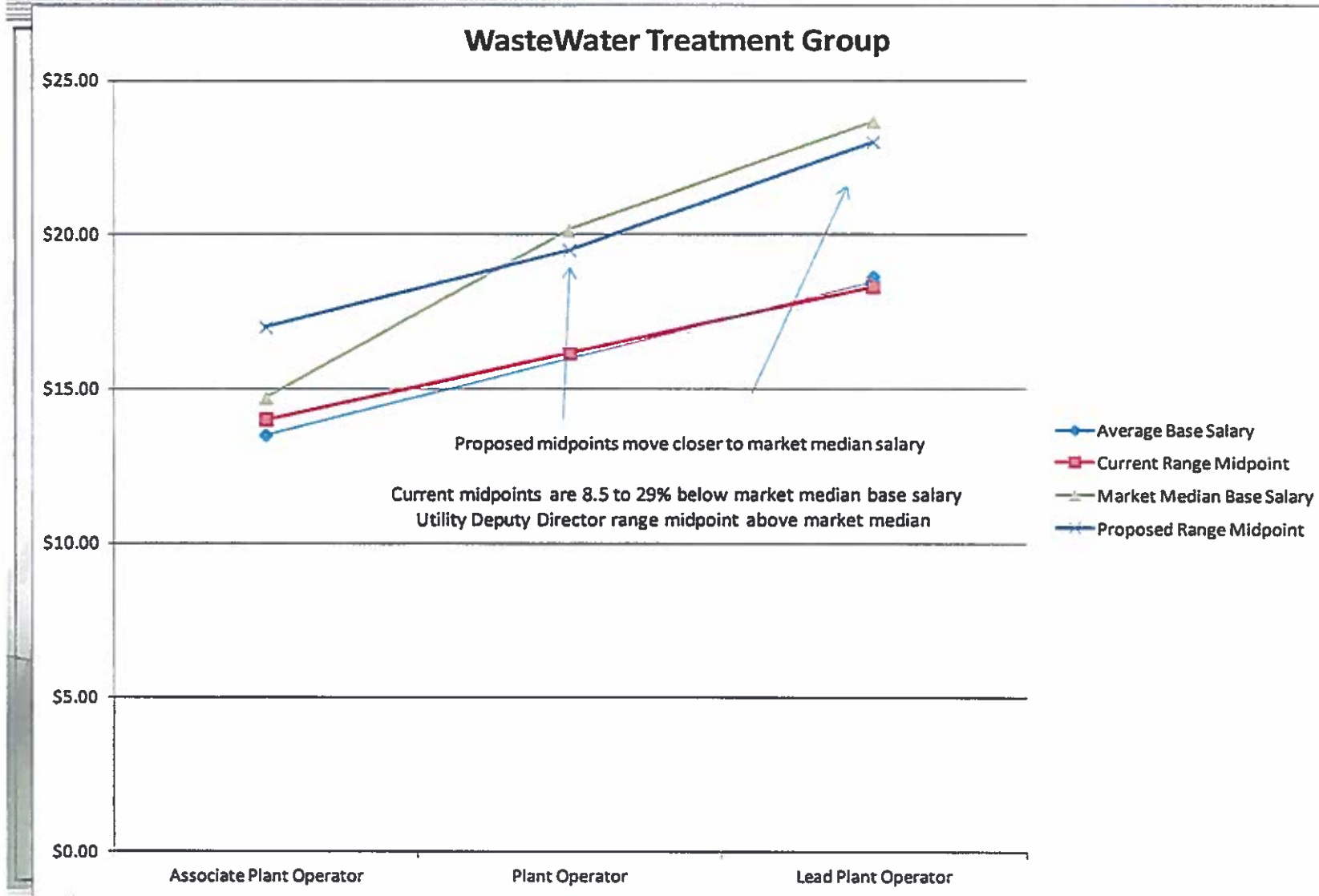
- *Range midpoints for non-exempt employees range from 8.5% to 29% below median market rates*
- *Range midpoints for exempt employees average above median market salaries*
- *Average base pay for non-exempt Operator employees, is below market median rates by 0.2% to 35%*
 - *Noted that some of significant differences due to new hires*

Findings – Water Division



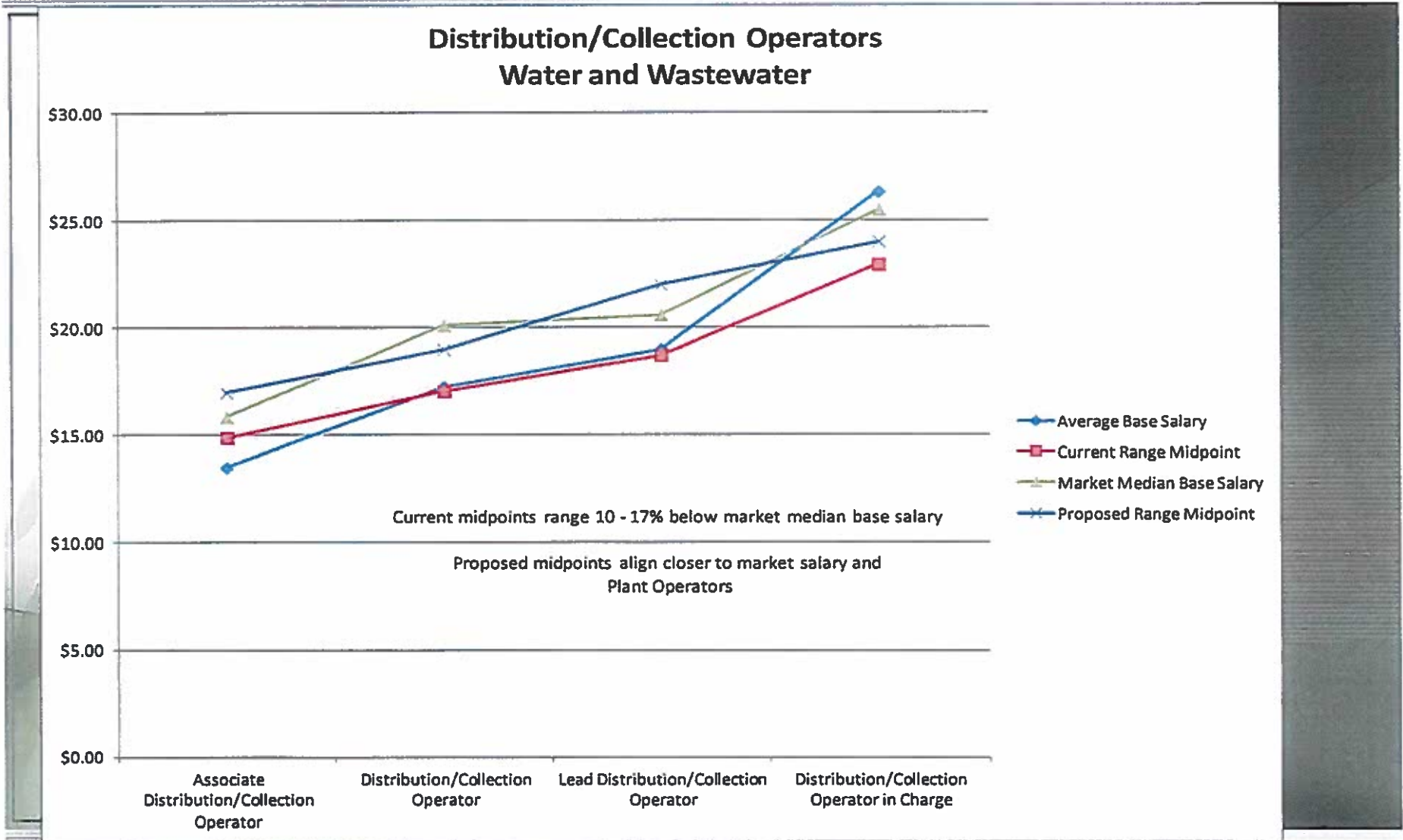
Survey Sources: 2012 American Water Works Association – Small & Medium Sized Utilities/2012 William M. Mercer Benchmark

Findings – Wastewater Division



Survey Sources: 2012 American Water Works Association – Small & Medium Sized Utilities/2012 William M. Mercer Benchmark

Findings—Distribution/Collection Operators



Survey Sources: 2012 American Water Works Association—Small & Medium Sized Utilities/2012 William M. Mercer Benchmark

Additional Information – Water & Wastewater

Local Township Rate Comparisons and Classifieds/Market Considerations

MTA (Michigan Townships Association) Wage Survey

	Data Date	Rate	DPW Avg Base Pay (all levels)
Water Technician			
White Lake	2011	19.33	16.00
Holland	2012	17.72	16.00
Plainfield	2011	17.54	16.00
Grand Blanc	2012	18.00	16.00
WasteWater Treatment Operator			
Hamburg	2012	24.62	15.00

Current Classifieds

	<u>Job</u>	<u>Rate</u>	<u>Cert required</u>	<u>DPW Current Hire Rate</u>
Lakewood Wastewater Authority	WWTP Operator	\$15 - \$18	MI Class D Cert	\$12 - \$14
City of Highland Park	Water Operator	no wages	S-1 or S-2	\$12 - \$14
City of Lansing	WWTP Op 500	\$16.93-22.18	MI Class D Cert	\$12 - \$14
Infrastructure Alternatives				
Brighton Township	WWTP Ops Spec	no wages	doesn't specify cert	\$12 - \$14

Lansing states several positions coming soon in WWTP

Proposed Ranges and Titles

Water & Wastewater

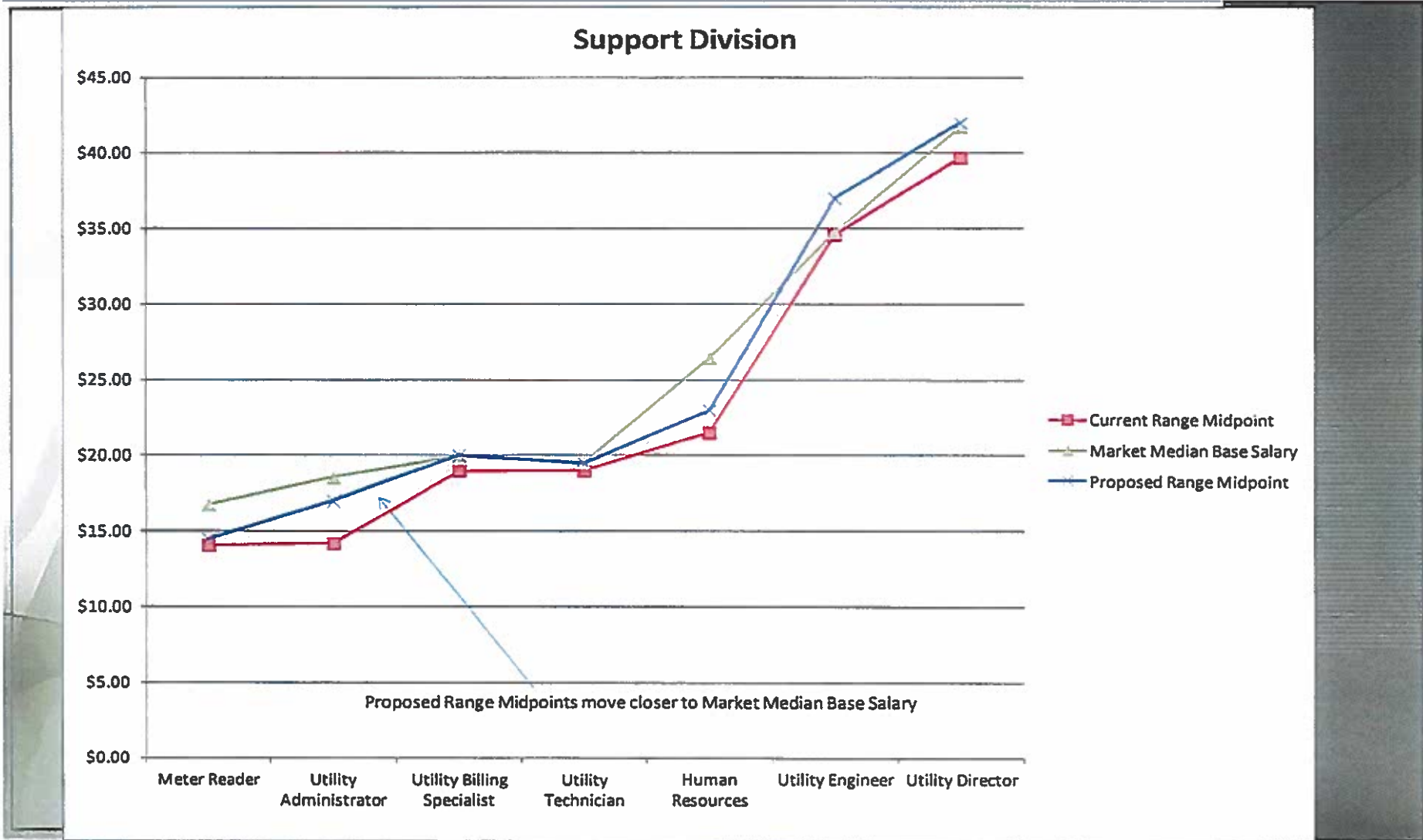
Current Job title	Salary Range (2013)			Proposed Salary Range (eff 1/1/14)			Proposed Job Title
	Min	Midpoint (50%ile)	Max	Min	Midpoint (50%ile)	Max	
Deputy WWTP (Salaried/Exempt)	28.50	33.36	35.00	26.50	34.00	41.50	Utility Deputy Director Distribution/Collection Operator in Charge
Collections Operator In Charge	22.00	22.93	27.00	19.00	24.00	29.00	Operator in Charge
Senior WWTP Operator	--	--	--	18.00	23.00	26.50	Lead Plant Operator
WWTP Operator IV	18.00	18.31	20.00				
WWTP Operator III	16.00	16.76	18.00	16.50	19.50	22.00	Plant Operator
WWTP Operator II	14.00	15.53	16.00				
WWTP Operator I	12.00	13.55	14.00	14.50	17.00	19.50	Associate Plant Operator
Deputy WTP (Salaried/Exempt)	28.50	33.36	35.00	26.50	34.00	41.50	Utility Deputy Director Distribution/Collection Operator in Charge
Distribution Operator In Charge	22.00	22.93	27.00	19.00	24.00	29.00	Operator in Charge
Senior WTP Operator	20.00	22.00	25.00	18.00	23.00	26.50	Lead Plant Operator
WTP Operator IV	18.00	18.31	20.00				
WTP Operator III	16.00	16.76	18.00	16.50	19.50	22.00	Plant Operator
WTP Operator II	14.00	15.53	16.00				
WTP Operator I	12.00	13.55	14.00	14.50	17.00	19.50	Associate Plant Operator
Field Operator IV	18.00	18.72	20.00	17.50	22.00	26.00	Lead Distributions/Collection Operator
Field Operator III	16.00	17.05	18.00	16.00	19.00	21.00	Distributions/Collection Operator
Field Operator II	14.00	15.71	16.00				
Field Operator I	12.00	14.07	14.00	14.50	17.00	19.00	Associate Distribution/Collections Operator

Support Division

Although review of salary ranges and base pay rates were initiated due to issues in Water & Wastewater Divisions, ranges across the board have not been reviewed in several years.

- Salary range midpoints for the Support Division average approximately 9.7% below median market salaries ranging from .5% to 30%*
- Average salaries; however, are about 3% (on average) above median market salaries*

Support Division



Proposed Ranges – Support Division

Current Job title	Salary Range (2013)			Proposed Salary Range (effective 1/1/14)		
	<u>Min</u>	<u>Midpoint (50%ile)</u>	<u>Max</u>	<u>Min</u>	<u>Midpoint (50%ile)</u>	<u>Max</u>
Utility Director	38.00	39.66	47.00	31.50	42.00	52.50
Utility Engineer	33.00	34.61	42.00	30.00	37.00	45.00
Human Resources	20.00	21.51	28.00	18.40	23.00	28.00
Utility Billing Specialist	15.00	18.99	26.00	16.00	20.00	24.00
Utility Technician	16.00	19.00	22.00	15.60	19.50	23.40
Utility Administrator	11.50	14.19	18.50	14.00	17.00	19.00
Meter Reader	12.00	14.07	14.00	12.25	14.50	17.50

Conclusion-Utility Department Ranges

*Recommend Genoa Township Board Adopt:
Utility Department New Job Titles and Rate Structure*

POSITION/TITLE	WAGE RANGE DATA		
	Minimum	Midpoint	Maximum
SUPPORT SERVICES GROUP			
Utility Director	\$31.50	\$42.00	\$52.50
Utility Engineer	\$30.00	\$37.00	\$45.00
Utility Billing Specialist	\$16.00	\$20.00	\$24.00
Utility Administrator	\$14.00	\$17.00	\$19.00
Utility Technician	\$15.60	\$19.50	\$23.40
Human Resources	\$18.40	\$23.00	\$28.00
Meter Reader	\$12.25	\$14.50	\$17.50
PLANT OPERATORS			
Utility Deputy Director	\$26.50	\$34.00	\$41.50
Lead Plant Operator	\$18.00	\$23.00	\$26.50
Plant Operator	\$16.50	\$19.50	\$22.00
Associate Plant Operator	\$14.50	\$17.00	\$19.50
DISTRIBUTION/COLLECTION OPERATORS			
Distribution/Collection Operator in Charge	\$19.00	\$24.00	\$29.00
Lead Distribution/Collection Operator	\$17.50	\$22.00	\$26.00
Distribution/Collection Operator	\$16.00	\$19.00	\$21.00
Associate Distribution/Collection Operator	\$14.50	\$17.00	\$19.00
SEASONAL			
Summer Field Intern	\$10.00	<i>no data available</i>	\$12.00

Conclusion – Next Steps

Upon approval by Genoa Township Board, effective January 2014:

- *Implement New Job Titles for Water and Wastewater Divisions*
- *Implement revised Salary Range Structure for All Divisions*
- *Provide an overall communication to Utility Department employees regarding changes to job structure and ranges*
- *One-on-one discussions with Water and Wastewater Division employees regarding changes to job progression and job titles*

Attachment 3

Genoa Township Utility Department Salary Guidelines

Proposed Effective Date: January 1, 2014

<u>POSITION/TITLE</u>	<u>WAGE RANGE DATA</u>		
	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>
SUPPORT SERVICES GROUP			
Utility Director	\$31.50	\$42.00	\$52.50
Utility Engineer	\$30.00	\$37.00	\$45.00
Utility Billing Specialist	\$16.00	\$20.00	\$24.00
Utility Administrator	\$14.00	\$17.00	\$19.00
Utility Technician	\$15.60	\$19.50	\$23.40
Human Resources	\$18.40	\$23.00	\$28.00
Meter Reader	\$12.25	\$14.50	\$17.50
PLANT OPERATORS			
Utility Deputy Director	\$26.50	\$34.00	\$41.50
Lead Plant Operator	\$18.00	\$23.00	\$26.50
Plant Operator	\$16.50	\$19.50	\$22.00
Associate Plant Operator	\$14.50	\$17.00	\$19.50
DISTRIBUTION/COLLECTION OPERATORS			
Distribution/Collection Operator in Charge	\$19.00	\$24.00	\$29.00
Lead Distribution/Collection Operator	\$17.50	\$22.00	\$26.00
Distribution/Collection Operator	\$16.00	\$19.00	\$21.00
Associate Distribution/Collection Operator	\$14.50	\$17.00	\$19.00
SEASONAL			
Summer Field Intern	\$10.00	<i>no data available</i>	\$12.00



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director
DATE: November 26, 2013
RE: Qdoba - Special Land Use & Site Plan Approval

MANAGER'S REVIEW: 

I have reviewed the special land use request, PUD Agreement amendment, revised site plan and environmental impact assessment for the proposed 2,837 square-foot Qdoba drive-through restaurant located at the Meijer outlot at 3883 E. Grand River, Howell. The applicant for this project is Kevin Egnatuk of Southwind Restaurants, LLC. Mr. Egnatuk has worked closely with the Township for many months on this project and has been very cooperative and responsive to recommendations by staff and consultants.

This project was recommended for approval by the Planning Commission on November 25, 2013. In an effort to get this project finalized so that Mr. Egnatuk can close on the property we have authorized the site plan that was approved by the Planning Commission to be used for review by the Township Board. My review and recommendation is based on the action taken by the Planning Commission and is provided for your consideration as follows:

Special Land Use Permit: I recommend approval of the Special Land Use for a drive-through restaurant with outdoor seating for the Qdoba restaurant. This Special Land Use is recommended for approval because the use is consistent with other uses in the Lorentzen PUD and because it complies with the standards provided in Sections 19.03.

Amendment to PUD Agreement: The Planning Commission has found that the proposed changes to the Planned Unit Development Agreement will not have a material adverse impact upon surrounding land uses, services, transportation systems and/or facilities. As a result, I recommend approval of the Amendment to the PUD Agreement with the following conditions:

1. The five building and parking setbacks listed under Section 1, Items (a.) through (d.) in the draft agreement are approved;
2. Section 1, Item (e.) in the Agreement shall be modified to allow 2 wall signs instead of 3;
3. An additional setback deviation is permitted for the ground sign to be less than 10 feet from the property line as depicted on the site plan. The setback amount should be specifically listed in the Agreement;

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

4. The parking setback deviation is approved for the three parking spaces to the east of the sign. The specific setback amount shall be added to the Agreement;
5. Language should be added to the Agreement stating that the Township waives the requirement for 2 larger/RV parking spaces on the site;
6. The changes recommended by the Township Attorney in his letter dated 11/21/13 will be incorporated and will require a second review by the Township Attorney prior to submission for a Land Use Permit;

Environmental Impact Assessment: I recommend **approval** of the impact assessment received 10/28/13 subject to the following:

1. Language should be added indicating that this is a single user facility;
2. The word cubit should be changed to cubic.

Site Plan: I recommend **approval** of the site plan with the following conditions:

1. Revised site plans shall be submitted incorporating required changes and the revision dates shall be listed on each sheet of the plan set. The revised plans shall be submitted prior to application for a Land Use Permit;
2. The building elevations and materials are acceptable and the display board will become the property of the Township;
3. A trash container will be added to the outdoor seating area;
4. There is concern about sheet flow exiting the site at the northwest entrance and further engineering review will be required with a possibility of an additional catch basin being installed. This shall be addressed prior to submittal for a Land Use Permit ;
5. The requirements of the Township Engineer as set forth in their 11/1/13 letter will be complied with. The tree shown above the sanitary sewer lead shall be relocated;
6. The requirements of the Brighton Area Fire Department letter of 11/7/13 will be complied with;
7. There will be minor adjustments to the landscape plan as referenced in the LSL Planning letter dated 11/19/13.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
November 25, 2013
6:30 P.M.
MINUTES**

CALL TO ORDER: The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were James Mortensen, John McManus, Eric Rauch, Chairman Doug Brown, Dean Tenggel, Diana Lowe. Also present were Kelly VanMarter, Township Planner; Brian Borden of LSL; and Gary Markstrom from Tetra Tech.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: **Motion** by Diana Lowe to approve the agenda as amended to include recommending approval of the special use permit under public hearing #1, as well as a recommendation regarding amendment to PUD under public hearing #1. The motion was supported by John McManus. **Motion carried unanimously.**

CALL TO THE PUBLIC: Chairman Brown made a call to the public at 6:31 p.m. No one wished to address any item not on the agenda.

OPEN PUBLIC HEARING #1... Review of site plan, special use, and environmental impact assessment to construct a new 2,837 square foot Qdoba drive through restaurant located at the Meijer outlot at 3883 E. Grand River, Howell, petitioned by Kevin Egnatuk of Southwind Restaurants, LLC.

Kevin Egnatuk addressed the Planning Commission as the petitioner. He provided a brief description of the project. They are requesting some amendments to the PUD, mostly setback requirements and signage requirements. They would like a drive-thru at their restaurant.

James Mortensen asked the petitioner whether it would be a single use building. There is some language that indicated multiple use. That is no longer applicable. That was in the August application and it has been updated.

Brian Borden reviewed the petition with the Planning Commission. There is a request for a drive-thru and outdoor seating. Generally speaking, there are no other issues as it relates to the special use component. As it relates to the outdoor seating, specs and plans were submitted. He believes a trash receptacle should be added.

As it relates to the amendment to the PUD, this is a relatively tight site according to Mr. Borden. Under the ordinance, the ZBA has limited authority. Therefore, any

dimensional deviations must go through the PUD amendment process. The test is whether the proposed modifications will significantly alter the intent of the PUD.

The site plan was also addressed by Mr. Borden. There is some general clean-up on this submittal that needs to be done. Sheets one and two of the site plan do not have a revision date and that is required. The requirement for two additional parking spaces to accommodate longer vehicles should be addressed. Chairman Brown suggested that the petitioner make an agreement with Meijer to use their parking lot. The petitioner indicated he has made contact and it was not well received. This ordinance was not in effect at the time of the original petition, so Mr. Mortensen believes this shouldn't be addressed. Kelly VanMarter indicates that a reason for not requiring it should be set forth in the PUD amendment.

Brian Borden addressed the buffer zone agreement with the bank to the east. No agreement is in place and it should be stricken from the plan. The landscape is deficient. The plantings and width are deficient. The width is part of the PUD request. There is a discrepancy between the table and plantings that needs to be corrected.

Mr. Borden addressed signage. Petitioner is requesting three signs. Chairman Brown indicated he would be agreeable to two walls signs and one monument sign. There is a deviation for setback of the monument sign, as well.

The petitioner does not disagree with any of the things Brian Borden has addressed.

Gary Markstrom of Tetra Tech addressed the Planning Commission. The review dated 11/1/13 was addressed. He thinks they are all clean-up items petitioner should address on the plans. The petitioner does not disagree with any of the recommendations by Tetra Tech.

The Brighton Area Fire Department letter was addressed by Chairman Brown. The petitioner does not disagree with any of the things requested in the letter by the Fire Department.

Eric Rauch asked about the grease trap. The petitioner indicated he will follow the ordinance. It will be strong enough to handle the loading above. He also addressed water flow. There are issues with water flow and there needs to be confirmation that the water flow is proper given the drainage on adjoining property. The petitioner will confirm this with Tetra Tech.

Kelly VanMarter will review the lighting plan.

Planning Commission disposition of petition

- A. Recommend Approval of the Special Use Permit.
- B. Recommendation regarding amendment to PUD.
- C. Recommendation of Environmental Impact Assessment (10-28-13).

D. Disposition of Site Plan (10-28-13).

Motion by James Mortensen to recommend to the Township Board approval of the special use permit to allow Qdoba outdoor seating and drive-thru service as depicted on the site plan dated 11/25/13. This recommendation is made because the uses being granted are consistent with other uses in the Lorentzen and PUD in section 19-03. Support by Dean Tengel. **Motion carried unanimously.**

Motion by James Mortensen to recommend to the Township Board a revision to Lorentzen PUD regarding Qdoba covering these points:

1. Five setbacks on the driveway and building;
2. An additional setback permitting the ground sign to be less than 10 feet from the property line as depicted on the site plan dated 11/25/13;
3. An additional revision permitting the three parking spaces to the east of that sign to infringe upon the setback to the property line as depicted in the site plan dated 11/25/13;
4. An amendment will be made to eliminate the requirement for 2 RV parking spaces on the set;
5. The changes recommended by the Township Attorney in his letter dated 11/21/13 will be incorporated as well as the additional changes covered this evening and will require a second review by the Township Attorney prior to submission to the Township Board;
6. The agreement will be further modified to eliminate reference to a third wall signing, resulting in no more than two wall signs;
7. The Planning Commission finds that these changes will not have a material adverse impact upon surrounding land uses, services, transportation systems and/or facilities.

Support by Diana Lowe. **Motion carried unanimously.**

Motion by James Mortensen to recommend to the Township Board approval of the environmental impact assessment dated 10/28/13, subject to:

1. A change specifying this is a single use facility;
2. The word cubit should be changed to cubic.

Support by John McManus. **Motion carried unanimously.**

Motion by James Mortensen to recommend to the Township Board approval of the site plan dated 11/25/13, subject to:

1. The application shall update the revision dates on the site plan drawing sheets one and two;

2. The building elevations and materials reviewed this evening by the Planning Commission are acceptable and the display board will become the property of the Township;
3. Two wall signs rather than three will be permitted;
4. The location of the proposed ground sign is acceptable as shown and is to be covered by an amendment to the PUD;
5. A trash container will be added to the outdoor seating area;
6. There is concern about sheet flow and further engineering review will be required with a possibility of an additional catch basin being installed;
7. The requirements of the Township Engineer as set forth in their 11/1/13 letter will be complied with, specifically in reference to a tree being planted above the sanitary sewer lead--the tree is to be relocated;
8. The requirements of the Brighton Area Fire Department letter of 11/7/13 will be complied with;
9. There will be minor adjustments to the landscape plan.

Support by Eric Rauch. **Motion carried unanimously.**

OPEN PUBLIC HEARING #2... Review of proposed Master Plan Update (10-22-13).

Brian Borden reviews the proposed update to the Master Plan. Chairman Brown referred to the Livingston County Planning Commission meeting that he attended with Kelly VanMarter. He reported that the voted for the project. The proposal was also sent to the City of Brighton, who wanted to see more residential areas addressed. The City of Howell liked the master plan updates. There will be signage that will promote the City of Howell and City of Brighton. Both cities commended the Township.

Bruce Baker of 2510 Nixon Road addressed the Planning Commission. He presented various slides to be shown to the Planning Commission. He believes this is a reasonable planning for the Nixon Road corridor. He no longer considers this a rural area. He believes a greater transition area would be needed toward Crooked Lake. He believes that the limitations on space prohibit a large scale growth operation such as a hospital and medical offices. He believes the sewer and water should not stop at the transition zone. He feels that it is no longer realistic to maintain this areas a rural area, so believes big development is prohibited as the Master Plan currently exists.

Kelly VanMarter indicated that there is currently no pipe in the ground. The plans submitted are more of a concept plan nature.

Ed Bishop, 2455 South Latson Road addressed the Commission. He asked how quickly the Commission could move if a big developer was interested in the property. Chairman Brown assured him the Township was ready to move quickly. Kelly advised that it can be subject to lengthier reviews that could take an additional two or three months if a master plan amendment is required.

Rob Vedro addressed the Commission. He grew up in Novi. He believes money talks and if a big developer appears, the Township will make things happen.

No other audience members wished to address the Commission.

Kelly VanMarter addressed the Providence Park hospital and the ancillary uses discussed. Because we do not yet know what businesses will set up out there, it is impossible to predict ancillary uses at this point.

John McManus addressed the changes he has witnessed in the community in the last 15 years. He is pleased with the flexibility built into the plan.

Planning Commission disposition of petition

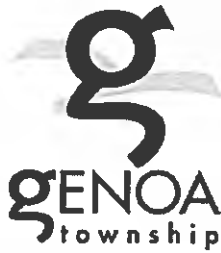
- A. Request for Approval of Resolution Adopting Updates to the Master Plan and Future Land Use Map.

Motion by John McManus to adopt the resolution. Support by Dean Tengel. **Motion carried unanimously.**

Yeas: Tengel, Lowe, Brown, Mortensen, McManus, Rauch
Nays: None

Administrative Business:

- *Staff report. Kelly VanMarter has nothing to report. There is no December meeting at this point.*
- *Approval of September 9, 2013 Planning Commission meeting minutes. **Motion** by Diana Lowe to approve the minutes as submitted. Support by John McManus. **Motion carried unanimously.***
- *Member discussion. Dean Tengel asked about the property for Dakota. Chairman Brown asked about Maxey Ford. Kelly VanMarter updated the Commission. The interchange will open 12/2/13.*
- *Adjournment. **Motion** by John McManus to adjourn. Support by Diana Lowe. **Motion carried unanimously.***



GENOA CHARTER TOWNSHIP APPLICATION
Site Plan Review

GENOA TOWNSHIP
AUG 08 2013

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: KEVIN EGNATUK, SOUTHWINDS RESTAURANTS, LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed. 109 E. BROADWAY

OWNER'S NAME & ADDRESS: Meijer INC 2929 WALKER AVE N.W.
MT. PLEASANT, MI 48858

SITE ADDRESS: Meijer outlot on Grand River PARCEL #(s): 49544

APPLICANT PHONE: (989) 205-1136 OWNER PHONE: ROGER DEHOEK (616) 791-3909

OWNER EMAIL: MEIJER - ROGER.DEHOEK@MEIJER.COM
SOUTHWINDS - KEGNATUK@COMCAST.NET

LOCATION AND BRIEF DESCRIPTION OF SITE: Meijer OUTLOT ON GRAND RIVER AVENUE.

BRIEF STATEMENT OF PROPOSED USE: CONSTRUCT A 2 UNIT RETAIL CENTER CONSISTING OF A QDOBA MEXICAN GRILL RESTAURANT & A 2ND 1200 SF RETAIL SPACE WHOSE USER IS STILL TO BE DETERMINED.

THE FOLLOWING BUILDINGS ARE PROPOSED: ONE BUILDING TOTAL OF 3912 SF QDOBA IS PROPOSED AS A DRIVE THRU RESTAURANT.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: KEVIN EGNATUK, SOUTHWINDS INC.

ADDRESS: 109 E. BROADWAY, MT. PLEASANT, MI 48858

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) KEVIN EGNATUK of SOUTHWIND INV. LLC at KEGNATUK@COMCAST.NET
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE  DATE: 8/7/13

PRINT NAME KEVIN EGNATUK PHONE 989-205-1136

ADDRESS 109 E. BROADWAY, MT. PLEASANT, ME 48858

Drive Thru Application
Allowed within PUD

GENOA TOWNSHIP

AUG 08 2013

APPLICATION FOR SPECIAL LAND USE GENOA TOWNSHIP

APPLICANT NAME* & ADDRESS: KEVIN EDWARDS, SOUTHWIND RESTAURANTS, LLC
 109 E. BROADWAY, MT. PLEASANT, MI 48858

OWNER NAME* & ADDRESS: MEYER, INC. 2929 WALKER AVE. N.W.
 GRAND RAPIDS, MI 49544

SITE ADDRESS: MEYER OUTLOT ON GRAND RIVER PARCEL #(s): _____

APPLICANT PHONE: 989-205-1136 OWNER PHONE: ROGER DEHEK 616-791-3909

Location and brief description of site and surroundings: MEYER OUTLOT ON GRAND RIVER, AVE.

Proposed Use: CONSTRUCT A 3912 SQ RETAIL BUILDING TO BE COMPRISED OF A ODOBA MEXICAN GRILL RESTAURANT; A 2ND RETAIL USER TO BE DETERMINED

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

REQUEST IS FOR A DRIVE THRU WINDOW PERMITTED WITHIN THE PUD BUT REQUIRED TO OBTAIN A SPECIAL USE. THIS USE IS CONSISTENT WITH OTHER FAST FOOD RESTAURANTS; BANKS WITHIN THE SAME LOCAL VICINITY OF THE SITE.

b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

BLDG SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH TOWNSHIP ZONING ORDINANCES & CONSISTENT WITH OTHER RETAIL BUILDINGS IN THE GENERAL VICINITY OF THE SITE.

c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

ALL UTILITIES ARE PUBLIC & CURRENTLY LOCATED AT THE SITE. NO ADDITIONAL CURB CUTS WILL BE REQUIRED THAT WOULD IMPACT RIVER AVENUE.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

NO - ONLY POTENTIAL ISSUE IS COOKING ODOR FROM EXHAUST FANS BUT NO DIFFERENT THAN ANY OTHER RESTAURANTS IN THE VICINITY (MCDONALDS, BUNZ, BENIGIAN'S)

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)?
If so, describe how the criteria are met.

THE PUD AGREEMENT LISTS NO STANDARDS

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Kevin Eganak STATES THAT THEY ARE THE FREE OWNER* OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: KEVIN EGANAK, SOUTHWIND INVESTMENTS, LLC.

ADDRESS: 109 E. BROADWAY, MT. PLEASANT, ME 48858

*Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

See Purchase Agreement.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) KEVIN EGANAK of SOUTHWIND INVESTMENTS at 989-205-1136 (PHONE) - 989-773-5088 (FAX)

Note: This application must be accompanied by a site plan review application and the associated site plan review submittal requirements. (The Zoning Administrator may allow a less detailed sketch plan for a change in use.)

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE _____ DATE _____

PRINT NAME _____ PHONE _____

ADDRESS _____



LSL Planning, Inc.

Community Planning Consultants

November 19, 2013

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
Subject:	Qdoba Restaurant – Special Land Use and Site Plan Review #2
Location:	Outlot of Meijer property – north side of Grand River Avenue, west of Latson Road
Zoning:	MU-PUD Mixed Use Planned Unit Development District

Dear Commissioners:

At the Township’s request, we have reviewed the revised site plan (dated 7/31/13), as well as the supplemental information provided regarding the proposed development of a 2,837 square foot commercial building on an outlot in the southwest corner of the Meijer property. The building is intended for use as a Qdoba restaurant with a drive through window and outdoor seating.

As a side note, although Sheets 1 and 2 have been revised, no revision date is included in the title block. The applicant should provide a set of plans to the Township with an updated revision date so as to avoid any future confusion.

The site and adjacent properties are part of a Mixed Use PUD project, although the McDonald’s restaurant to the west and the gas station to the east are zoned RCD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and Master Plan.

A. Summary

1. The applicant should update the revision date on the site plan drawings (Sheets 1 and 2).
2. In our opinion, the general special land use standards of Article 19 are met; however, any issues raised by the Fire Department or Township Engineer must be addressed.
3. An amendment to the Lorentzen PUD is needed to accommodate the dimensional deviations proposed. In our opinion, the deviations requested do not significantly alter the intended character of the PUD.
4. The Planning Commission has approval authority over the building elevations.
5. The project does not provide the 2 required parking spaces for recreational vehicles. We suggest the applicant include this modification as part of their request to amend the PUD.
6. The landscape plan references an agreement with TCF Bank regarding the east side buffer zone; however, we were unable to locate the agreement in the submittal.
7. There is a minor discrepancy between the landscape plan and table that needs to be corrected.
8. The project could benefit from a pedestrian connection between the perimeter sidewalk and building entrance.
9. The submittal proposes 3 wall signs, while only 1 is permitted; however, a second wall sign may be allowed by the Planning Commission.
10. The proposed ground sign does not provide the 10-foot setback required by the Zoning Ordinance.
11. A trash container needs to be added to the outdoor seating area.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The Lorentzen PUD allows restaurants with drive throughs and outdoor seating as special land uses. In addition, because the development includes dimensional deviations, an amendment to the approved PUD is needed.

Following a public hearing, the Planning Commission may forward its recommendation on the special use, PUD amendment and site plan to the Township Board for their consideration.

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

- 1. Master Plan.** The Master Plan and Future Land Use Map identify the site and adjacent properties along Grand River as Regional Commercial. This classification is intended for “higher intensity commercial uses that serve the comparison shopping needs of the entire community and the regional market.” Restaurants, including fast-food (drive through), are specifically identified as uses expected in Regional Commercial areas.
- 2. Compatibility.** The site is located on the north side of Grand River Avenue in an area developed with a broad range of commercial uses, including other drive through restaurants. Given the established land use pattern in the area, the proposed project is generally expected to be compatible with surrounding land uses.
- 3. Public Facilities and Services.** As a property fronting Grand River Avenue and surrounded by commercial development, we are under the impression that necessary facilities and services are in place for the petitioner to access. Furthermore, the Impact Assessment notes that “all systems that being utilized were designed to handle usage in excess of this development’s needs.” With that being said, the applicant must address any comments provided by the Fire Department or Township Engineer with respect to this criterion.

4. **Impacts.** The site is located amongst other high-traffic commercial developments along the Township’s primary commercial corridor and we are unaware of any sensitive environmental features that could be impacted by the proposal.
5. **Mitigation.** If any additional concerns arise as part of this review process, the Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposed project.

D. PUD Amendment

As previously noted, a change in the dimensional requirements of a PUD requires an amendment, as opposed to variances via the ZBA. Per Section 10.11.04, such amendments are to be presented to the Planning Commission for their review and recommendation to the Township Board. The review essentially entails whether or not the proposed modifications “significantly alter the intent of the Conceptual PUD Plan.”

In this instance, the applicant seeks the following modifications:

- A reduction in the rear building setback from 50’ to 40’;
- A reduction in the rear parking setback from 10’ to 5.8’; and
- A reduction in the side parking setbacks from 10’ to approximately 7’.

Generally speaking, we do not believe the proposed modifications “significantly alter” what was originally envisioned for this site. This is due to the relatively small size of the site when compared to the other outlots fronting Grand Avenue in this area, as well as the curvilinear rear lot line, which compacts the building envelope.

E. Site Plan Review

1. **Dimensional Requirements.** The project has been reviewed for compliance with the dimensional requirements of this PUD, as follows:

District	Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Front Yard	Side Yard	Rear Yard	Parking		
MU-PUD	70	15	50	20 (front) 10 (side/rear)	35’	35% building 75% impervious
Proposal	74	70 (E) 62 (W)	40	20 (front) 7 (E side) 7.5 (W side) 5.8 (rear)	26’-3”	6% building 60% impervious

As noted above, the applicant seeks to amend the PUD for the rear yard building and side/rear yard parking setback deficiencies.

2. **Building Materials and Design.** Proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The submittal includes revised elevation drawings for the Commission’s consideration.

The predominant building material is brick, while accents include a stone base and stone columns, as well as horizontal brick accent bands. The project architect has provided material calculations demonstrating compliance with the provisions of Section 12.01 and a material and color sample board has been provided to the Township for the Commission’s consideration.

3. **Parking.** Based upon the proposed seating, the proposed restaurant requires 41 parking spaces, plus 3 short term waiting spaces for the drive through and 2 longer spaces designated for recreational vehicles. The revised site plan provides 44 parking spaces, although the 2 longer spaces are not provided. We suggest the applicant include this modification as part of their request to amend the PUD.

The parking spaces, drive aisles and number of barrier free spaces all meet the standards of Article 14, although parking spaces must be double striped or “looped.”

4. **Vehicular Circulation.** The site will be accessed via a shared drive off of Grand River with a one-way circulation patten around the building with one ingress and two egress points.

With respect to the drive through, the revised plan provides the required number of stacking spaces, as well as a bypass lane – both of which are significant improvements over the original proposal in terms of vehicular circulation.

5. **Loading.** Section 14.08.08 requires 1 loading space, which is to be located in a rear or side yard not directly visible to a public street. Per this standard, the revised plan identifies a 10’ x 50’ space at the rear of the building identified as an “after hours” loading/unloading zone.

6. **Landscaping.** The table below is a summary of the landscaping required by Section 12.02:

Location	Requirements	Proposed	Comments
Front yard greenbelt	6 canopy trees 20’ width	6 canopy trees 20’ width	Requirement met
Parking lot	5 canopy trees 2’ tall hedgerow 440 s.f. of landscaped area	5 canopy trees 2’ tall hedgerow 2,261 s.f. of landscaped area	Requirement met
Buffer Zone “C”	10 trees OR 40 shrubs 10’ width	No plantings 7’ width	The landscape plan references an agreement with the adjacent owner (TCF), although we did not find one in the submittal.

There is a minor discrepancy between the landscape plan and table of plantings that needs to be corrected: the plan shows 8 Fastigate European Hornbeam trees, while the table notes 7.

7. **Waste Receptacle and Enclosure.** The project includes a waste receptacle and enclosure northeast of the proposed building. The site plan identifies the required concrete base pad, while Sheet A301 identifies a 3-sided brick enclosure with a gate across the 4th side. Landscape screening is also provided around the enclosure.
8. **Pedestrian Circulation.** The site plan identifies a concrete sidewalk within the Grand River right-of-way, as well as sidewalks around the perimeter of the building and an asphalt pathway along the north and west sides of the property. We suggest the applicant consider a pedestrian connection between the perimeter sidewalk and building entrance. There appears to be the potential to utilize the crosswalk striped between the barrier free spaces on the west side as a connecting point.
9. **Exterior Lighting.** The lighting plan identifies 11 light fixtures – 7 parking lot light poles, 2 decorative light poles along Grand River and 2 wall mounted fixtures near the drive through window. The lighting plan notes the use of 4 different fixture types, details of which are provided as a supplemental package.

The photometric plan shows one reading of 10.2 footcandles near the drive through, which is just above the 10-footcandle maximum allowed. However, all other readings are well within the 10-footcandle maximum.

- 10. Signs.** The sign package provides details for 3 wall signs and 1 ground sign. The PUD Agreement notes that 1 ground sign of up to 60 square feet and wall signs with channel cut letters are permitted.

Current sign regulations allow 1 wall sign, although a second may be permitted by the Planning Commission in accordance with Footnote 2 under Table 16.1. The third wall sign is not permitted.

The size and height of the ground sign comply with the PUD Agreement; however, it does not provide the 10-foot setback required by Article 16.

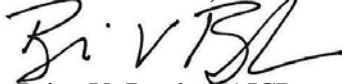
- 11. Outdoor Seating.** The project proposes 3 tables for outdoor seating with a total of 12 seats. Furniture and fencing details are included with the submittal. Our only comment is that some form of trash container needs to be included with the outdoor seating. The applicant must ensure that employees will keep the area free of debris.

- 12. Impact Assessment.** The submittal includes a revised Impact Assessment (dated 10/7/13). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP

Senior Planner

MANCUSO & CAMERON, P.C.

ATTORNEYS AND COUNSELORS

FRANK J. MANCUSO, JR.

DOUGLAS D. CAMERON

VICTORIA L. LESNER

November 21, 2013

Ms. Kelly VanMarter
Assistant Manager
Genoa Charter Township
2911 Dorr Road
Brighton, Michigan 48116

Re: Proposed Qdoba PUD Amendment
Lorentzen PUD

Dear Ms. VanMarter:

I have had an opportunity to review the proposed Qdoba PUD Amendment to the April 16, 1996 Lorentzen PUD Agreement. My comments are as follows:

1. Recitals. The Recitals of the Agreement should be modified to read as follows:

A. The Township and Birgit Lorentzen entered into a Planned Unit Development Agreement on April 12, 1996 (the "PUD Agreement") which was recorded on May 9, 1996, in Liber 2038, Page 0039, Livingston County Records.

B. The PUD Agreement was amended to redesignate industrial use to residential use consistent with MDR zoning and limiting the density to 264 units for property east of Latson Road. Said Amendment was approved by the Township Board on September 4, 2002.

C. The PUD Agreement was further amended on May 27, 2004 to permit a change in the PUD Concept Plan to redesign the commercial use to be compatible with the residential use east of Latson Road.

D. Article IX of the PUD Agreement provides that the PUD Agreement may be amended in writing by the parties to the Agreement and further provides that any reference in the PUD Agreement to the "owner" includes Birgit Lorentzen's transferees and assigns.

E. Owner purchased from Meijer, Inc., a transferee of Birgit Lorentzen, the parcel of land described in Exhibit A (the "Property") formerly designated in the PUD Agreement as parcel GC-2 which is contained within the property designated in the PUD Agreement as Lorentzen property west of Latson Road.

F. Owner and the Township desire to further amend the PUD Agreement only as it pertains to the Property to permit certain exceptions to the required setback provisions.

2. Under Section 1 of the proposed Amendment, all setbacks should be specified as "no less than" rather than "approximately."

3. I have also reviewed LSL Planning, Inc. and Tetra Tech's letters concerning their reviews of this project. I concur with all of the comments of both LSL and Tetra Tech, however, I should have the opportunity to review and comment on the Agreement between TCF Bank and the applicant regarding the east side buffer zone before the applicant receives Board approval.

4. Pursuant to Article I, Section 1.4.D, of the PUD Agreement, if the Planning commission approves the request, the Planning Commission is required to find that the proposed changes "will not have a material adverse impact upon surrounding land uses, services, transportation systems and/or facilities." The Planning Commission minutes should support this finding if in fact the Planning Commission approves the request.

If you should have any questions, please let me know.

Sincerely,

MANCUSO & CAMERON, PC



Frank J. Mancuso, Jr.

FJM/kdl



November 1, 2013

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Qdoba Site Plan Review #2

Dear Ms. Van Marter:

We have reviewed the resubmitted impact assessment, site plan documents and the letter from Southwind Restaurants and Excel Engineering dated October 10, 2013. The proposed 0.85 acre development now includes an approximate 2,837 sft building housing a Qdoba restaurant. Tetra Tech offers the following additional comments:

IMPACT ASSESSMENT

1. G. The petitioner provided records for water usage from a typical Qdoba restaurant with an average of 10,000-11,000 cft per quarter. Calculating an average of 10,500 cft/quarter * 4 quarters/year/365 days/year * 7.48 gallons/cft/260 GPD/REU = 3.3 REU's for sewer and water connection assessment. This figure is to be considered by the Township.

SITE PLAN

Sheet 1 of 2

1. A 167-foot-long stretch of 12" sewer is labeled as 12" storm U.D. with sock; this should be standard storm sewer.
2. Note included to construct bituminous ramp; need to include detail with construction plans indicating compliance with ADA accessibility requirements.
3. Sanitary sewer and water service lead will apparently need to go under the proposed 12" storm sewer beneath the curb line. A note should be included for the construction plans to maintain 18" clearance between these utilities.

LANDSCAPING PLAN

1. Review the location of the landscaping, as there is currently a 2.5" tree indicated almost directly above the sanitary sewer lead, with the cleanout approximately 2 feet away from the trunk of the tree. Recommend moving the sanitary service lateral to the west while in the

Tetra Tech

401 South Washington Square, Suite 100, Lansing, MI 48933
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com

Ms. Kelly Van Marter
Qdoba Site Plan Review #2
November 1, 2013
Page 2

parking lot. A second cleanout may be warranted at the second bend in the line as well, depending on final routing.

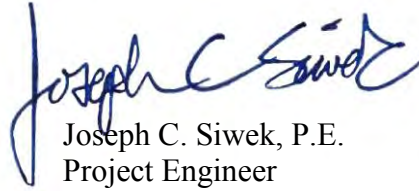
The petitioner has successfully addressed the primary initial concerns in recommending the site plan for approval. The above comments should be addressed prior to submitting the plan for approval to the Township Board.

Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Unit Vice President



Joseph C. Siwek, P.E.
Project Engineer

copy: Kevin Egnatuk, Southwind Restaurants, LLC
Don DeGroot, Excel Engineering Inc.



Brighton Area Fire Department

615 W. Grand River

Brighton, Michigan 48116

810-229-6640 Fax: 810-229-1619

November 7, 2013

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Qdoba Restaurant
3883 E. Grand River
Meijer Outlot

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on October 30, 2013 and the drawings are dated July 31, 2013 with no revision date on the site or utility plans. The project is based on a new 2,837 square foot restaurant building. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition. Previous comments appear to be addressed by the applicant in the revised submittal.

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.
IFC 505.1
2. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box will be located adjacent to the front door of the structure.
IFC 506.1

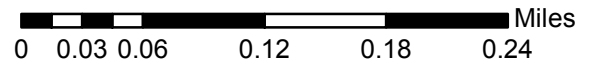
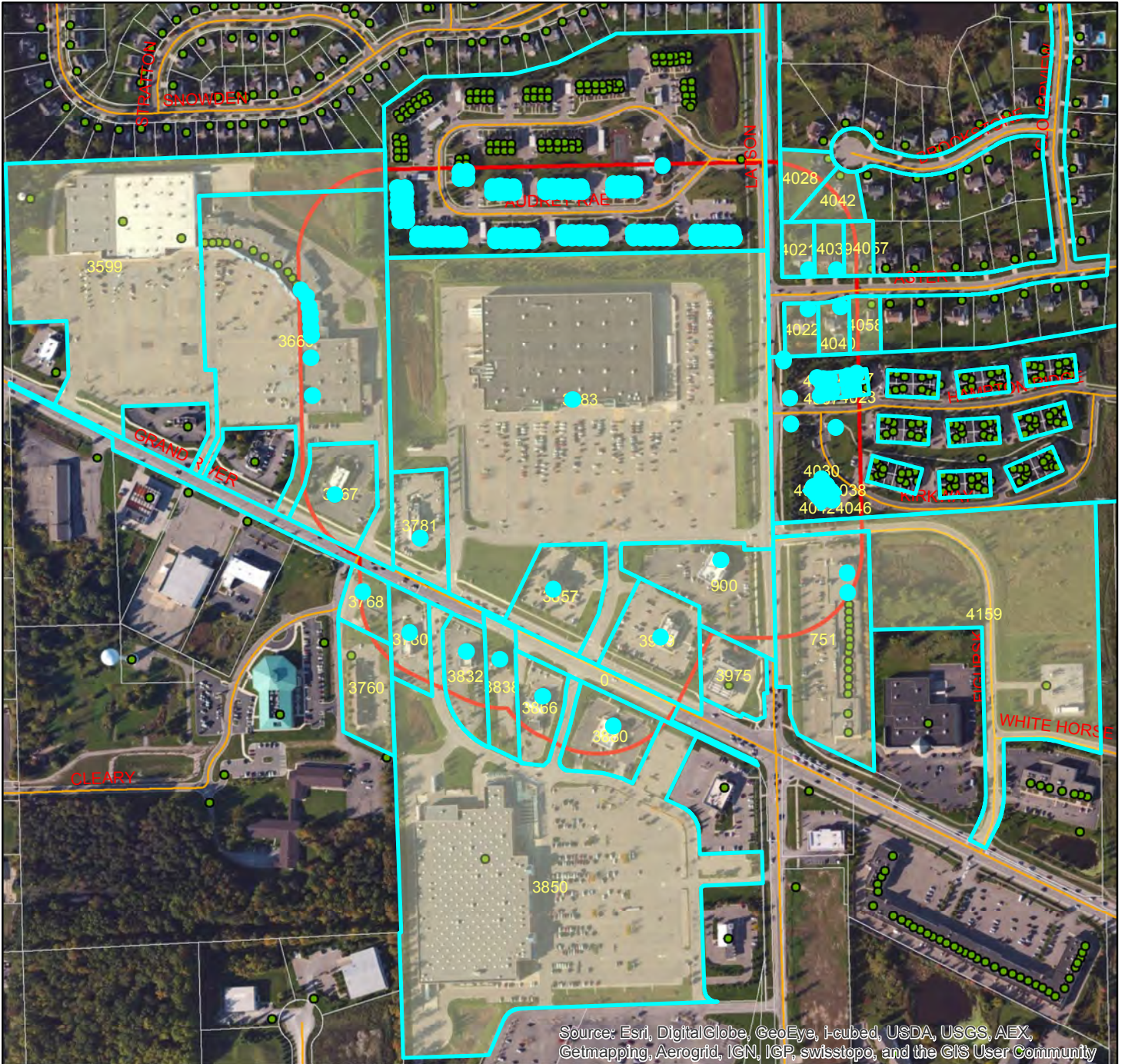
Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Respectfully yours,

A handwritten signature in black ink, appearing to read "Michael W. Evans".

Michael W. Evans, CFPS
Deputy Chief

300 Ft Buffer for Noticing



Qdoba Restaurant and Retail Building
Applicant: Kevin Egnatuk
Parcel: 11-05-400-060
Meeting Date: September 9, 2013



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

November 4, 2013

To Whom It May Concern:

There will be a hearing for a Special Land Use Permit in your general vicinity on Monday, November 25 at 6:30 p.m. at Genoa Township Hall, located at 2911 Dorr Road, Brighton, Michigan.

The property in question is located at the Meijer outlot at 3883 E. Grand River, Howell. The Special Land Use has been requested for a drive through associated with a new 2,837 square foot Qdoba restaurant and retail building. The request is petitioned by Kevin Egnatuk of Southwind Restaurants, LLC.

Materials relating to this request are available for public inspection at the Genoa Township Hall during regular business hours. If you have any questions or objections in this regard, please be present at the public hearing noted above. Written comments may be addressed to the Planning Commission.

Sincerely,

Kelly VanMarter
Assistant Township Manager / Community Development Director
KKV/kp

SUPERVISOR
Gary T. McCririe

CLERK
Paulette A. Skolarus

TREASURER
Robin L. Hunt

MANAGER
Michael C. Archinal

TRUSTEES
H. James Mortensen
Jean W. Ledford
Todd W. Smith
Linda Rowell



*A Franchisee of Qdoba Restaurant Corporation
109 East Broadway St.- Mt. Pleasant, MI 48858*

August 8, 2013
Revised October 10, 2013

Genoa Township Planning Commission
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Impact Statement for proposed Qdoba,
East Grand River Avenue, Howell, MI

A. Names and addresses of persons responsible for preparation

Kevin Egnatuk	Don DeGroot
Southwind Restaurants, LLC	Exxel Engineering, Inc.
109 East Broadway	5252 Clyde Park Avenue SW
Mt. Pleasant, MI 48858	Grand Rapids, MI 49509

B. Maps & written description /analysis of the project site

This site is presently part of the overall Meijer parcel and is presently vacant. The site fronts on Grand River Avenue to the South with the Meijer entrance and parking on the West and North and a developed site to the East (Bank). The property in question would be created through the Township's land division process and would be 1.06 acres in size including Grand River R.O.W. Please refer to submitted site plan for details of site.

C. Impact on natural features

The site is presently part of what Meijer maintains as part of their lawns. Features on the site are limited to a few scattered trees 6" or less in diameter. The elevations of the site drop approximately 6 feet from Southwest to Northeast. No sensitive or regulated features exist on the site. Based on the Soil Resource report for Livingston County the soils consist of Miami Loam (MoB).

D. Impact on storm water management

As part of the original PUD, the existing stormwater management pond located to the Northwest of subject site and due West of the Meijer store was designed to accommodate the development of this parcel. A 21" storm sewer was stubbed into this parcel for the developed storm water runoff.

E. Impact on surrounding land used

The proposed use of this site consists of a 2,840 s.f. Qdoba restaurant. Impact to the surrounding area will be minimal as all infrastructures have been put in place in anticipation of development of the parcel. All activities associated with the site (noise, lighting) will be designed to conform to the Township's ordinance.

F. Impact on public facilities and services

A typical Qdoba restaurant has 3-5 employees per shift, and yearly guest counts between 100,000 and 125,000. No significant impact is expected on public schools, or fire and police protection.

G. Impact on public utilities

This development will be utilizing the existing utilities as shown on our plan submittals. We will be tapping into existing 12" watermain off Grand River Avenue, the existing 6" lateral line off of Grand River Avenue, and the existing 21" storm sewer stub which drains into the existing detention basin. An average Qdoba uses the following:

Water usage – Average quarterly use is a range of 10,000-11,000 Cubit Ft.

Natural gas – Average monthly usage is a range of 650-950 CCF

Electricity – Average monthly usage is a range of 7,000-13,000 KW/h

All systems that are being utilized were designed to handle usage in excess of this development's needs.

H. Storage and handling of any hazardous materials

There will be no hazardous material used or stored at this facility.

I. Impact on traffic and pedestrians

This development will be accessed from the current Meijer access drives and will not have any curb cuts onto Grand River Avenue. Overall traffic volumes will be minimally impacted.

Based on the attached data supplied for 3 other Qdoba restaurants, the total peak hour sales orders range from 46-62, with an average of 54. Even though a Qdoba restaurant is considered to be a fast "casual" food restaurant (no category matches this in the ITE manual), for conservative comparison, we compare the trips generated in the P.M. peak, based on the ITE Land Use Code 934-Fast Food Restaurant with drive-through window category, which is 32.65 trips/1,000 s.f. of gross floor area. Of those trips, 50% of those visits would be the average pass-by trips (Tables 5.23 & 5.24 on pages 68 & 69 of the ITE Trip Generation Manual's User's Guide and Handbook, 9th Edition).

Applying this factor to the trip generation rate reduces new trips to 16.33/1,000 s.f. in the P.M. peak. Based on the above information, the 2,840 s.f. Qdoba would generate new trips in the P.M. peak of $16.33 \times 2.8 = 46$ new trips. It should be noted that this figure is certainly conservative when comparing to the actual total sales referenced above for the P.M. peak.

Parking requirements and a 10 car stack for the drive-through have been provided on the site. A waiver for the additional requirement of 2 RV spaces is requested. Ample parking spaces are available for RV patrons in close proximity . All deliveries requiring loading and unloading will be made when the restaurant is closed. A key drop is provided for this purpose.

The current walk along Grand River and blacktop walkway along the west and north property lines will be maintained for pedestrian traffic during and after construction is completed.

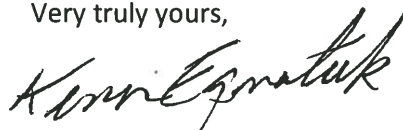
J. Special provisions

The site is subject to the following:

- Planned Unit Development Agreement dated April 12, 1996
- Genoa Township Zoning Ordinance
- Real Estate Option Contract between applicant and Meijer, Inc.

If you have any questions or require more information on any of the above information, please give myself, Kevin Egnatuk a call at 989-205-1136 or Don DeGroot, P.E. at Exxel Engineering, Inc. at 616-531-3660 or by email at ddegroot@exxelengineering.com

Very truly yours,



Kevin Egnatuk
Southwind Restaurants, LLC

WATER DEMAND						\$30.50
WATER GALLONS	742000	11/18/2012	754000	12/20/2012	12000	\$29.09

5% late fee charged if not paid by DUE DATE.

The City of Mt Pleasant's new electronic newsletters and announcements will keep you informed on what's happening in and around the City.
 Sign up today at www.mt-pleasant.org
 Questions call 779-5322

DUE DATE	02/15/2013
TOTAL DUE	\$115.73
AFTER DUE DATE:	\$121.52

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Reminder: If you were sent a past due notice, payment is due February 1st

Service Address: 1529 S MISSION - BLDG

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

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DUE DATE 02/15/2013

TOTAL DUE \$15.25

AFTER DUE DATE: \$16.01

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

Reminder: If you were sent a past due notice, payment is due February 1st

Account Number: 231-46305-00

WATER DEMAND									
WATER GALLONS	754000	12/20/2012	763000	1/16/2013		9000			
									\$30.50
									\$21.82

5% late fee charged if not paid by DUE DATE.

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DUE DATE	03/15/2013
TOTAL DUE	\$100.90
AFTER DUE DATE:	\$105.95

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
 (Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due March 1st

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

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Questions call 779-5322

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE	03/15/2013
TOTAL DUE	\$15.25
AFTER DUE DATE:	\$16.01

Reminder: If you were sent a past due notice, payment is due March 1st

Account Number: 231-46305-00

WATER DEMAND
WATER GALLONS

763000 1/16/2013

775000 2/15/2013

12000

\$30.50
\$29.09

5% late fee charged if not paid by DUE DATE.

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Sign up today at www.mt-pleasant.org
Questions call 779-5322

DUE DATE 04/15/2013

TOTAL DUE \$115.73

AFTER DUE DATE: \$121.52

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due April 4th

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

The City of Mt Pleasant's new electronic newsletters and announcements will keep you informed on what's happening in and around the City.
Sign up today at www.mt-pleasant.org
Questions call 779-5322

DUE DATE 04/15/2013

TOTAL DUE \$15.25

AFTER DUE DATE: \$16.01

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

Reminder: If you were sent a past due notice, payment is due April 4th

Account Number: 231-46305-00

WATER DEMAND					\$30.50
WATER GALLONS	775000	2/15/2013	790000	3/22/2013	15000
					\$36.36

5% late fee charged if not paid by DUE DATE.

DUE DATE	05/15/2013
----------	------------

TOTAL DUE	\$130.56
-----------	----------

AFTER DUE DATE:	\$137.10
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Get the most recent news and information
from the City right in your inbox!
Visit www.mt-pleasant.org/news to subscribe to City eNews today.

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due May 2nd

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

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from the City right in your inbox!
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(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE 05/15/2013

TOTAL DUE \$15.25

AFTER DUE DATE: \$16.01

Reminder: If you were sent a past due notice, payment is due May 2nd

Account Number: 231-46305-00

WATER DEMAND					\$30.50	
WATER GALLONS	790000	3/22/2013	799000	4/15/2013	9000	\$21.82

5% late fee charged if not paid by DUE DATE.

DUE DATE 06/17/2013

TOTAL DUE \$100.90

AFTER DUE DATE: \$105.95

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from the City right in your inbox!
Visit www.mt-pleasant.org/news to subscribe to City eNews today.

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due June 6th

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

Get the most recent news and information
from the City right in your inbox!
Visit www.mt-pleasant.org/news to subscribe to City eNews today.

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE 06/17/2013

TOTAL DUE \$15.25

AFTER DUE DATE: \$16.01

Reminder: If you were sent a past due notice, payment is due June 6th

Account Number: 231-46305-00

75-XXXX

5% late fee charged if not paid by DUE DATE.

Starting July 1, 2013 you will be able to view the Mt Pleasant annual water quality report on-line at <http://www.mt-pleasant.org/docs/dept/water/reports/2012waterreport.pdf>. This report contains important information about the source and quality of your drinking water. Please call (989) 779-5387 if you would like a paper report sent to you

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE	07/15/2013
TOTAL DUE	\$90.40
AFTER DUE DATE:	\$94.92

Reminder: If you were sent a past due notice, payment is due July 5th.

Account Number: 231-46305-00

WATER DEMAND					\$32.10
WATER GALLONS	799000	4/15/2013	812000	5/19/2013	13000
					\$31.51

75-XXXX

5% late fee charged if not paid by DUE DATE.

Starting July 1, 2013 you will be able to view the Mt Pleasant annual water quality report on-line at <http://www.mt-pleasant.org/docs/dept/water/reports/2012waterreport.pdf>. This report contains important information about the source and quality of your drinking water. Please call (989) 779-5387 if you would like a paper report sent to you

DUE DATE	07/15/2013
TOTAL DUE	\$120.67
AFTER DUE DATE:	\$126.72

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503 (Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due July 5th.

Account Number: 231-46300-00

WATER DEMAND
WATER GALLONS

812000 5/19/2013

823000 6/18/2013

11000

\$30.50
\$26.67

75-6691

5% late fee charged if not paid by DUE DATE.

Automatic Payment (ACH) and Paperless Bills (Email) are available.
Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.

DUE DATE

08/15/2013

TOTAL DUE

\$104.74

AFTER DUE DATE:

\$109.99

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due Aug 2nd.

Account Number: 231-46300-00

75-6691

5% late fee charged if not paid by DUE DATE.

**Automatic Payment (ACH) and Paperless Bills (Email) are available.
Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.**

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE	08/15/2013
TOTAL DUE	\$161.03
AFTER DUE DATE:	\$169.08

Reminder: If you were sent a past due notice, payment is due Aug 2nd.

Account Number: 231-46305-00

WATER DEMAND
WATER GALLONS

823000 6/18/2013

834000 7/22/2013

11000

\$30.50
\$26.67

5% late fee charged if not paid by DUE DATE.

**Automatic Payment (ACH) and Paperless Bills (Email) are available.
Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.**

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

DUE DATE 09/16/2013

TOTAL DUE \$110.79

AFTER DUE DATE: \$116.34

Reminder: If you were sent a past due notice, payment is due Sept 5th

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

**Automatic Payment (ACH) and Paperless Bills (Email) are available.
Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.**

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE 09/16/2013

TOTAL DUE \$131.61

AFTER DUE DATE: \$138.19

Reminder: If you were sent a past due notice, payment is due Sept 5th

Account Number: 231-46305-00

SEWER CONNECTION	007000 7/22/2013	075000 8/19/2013	11000	\$21.12
WATER DEMAND				\$30.50
WATER GALLONS	834000 7/22/2013	845000 8/19/2013	11000	\$26.67

5% late fee charged if not paid by DUE DATE.

Automatic Payment (ACH) and Paperless Bills (Email) are available.
 Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.

DUE DATE 10/15/2013

TOTAL DUE \$110.79

AFTER DUE DATE: \$116.34

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
 (Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - BLDG

Reminder: If you were sent a past due notice, payment is due Oct. 3rd

Account Number: 231-46300-00

5% late fee charged if not paid by DUE DATE.

Automatic Payment (ACH) and Paperless Bills (Email) are available.
Authorization forms may be printed from the City's website,
www.mt-pleasant.org or picked up at City Hall, 320 W Broadway.

Payments May Be Made:

- * By Mail - P.O. Box 503, Mt. Pleasant, MI 48804-0503
(Must be received by due date - postmarks not accepted)
- * At City Hall, 320 West Broadway, 8-4:30 M-F
- * At City Hall Dropbox east end of parking lot behind building
- * On-line at www.mt-pleasant.org
- * Auto payment form available on-line

Service Address: 1529 S MISSION - LAWN

DUE DATE 10/15/2013

TOTAL DUE \$66.16

AFTER DUE DATE: \$69.47

Reminder: If you were sent a past due notice, payment is due Oct. 3rd

Account Number: 231-46305-00

PLEASE DO NOT SEND THIS PAGE WITH YOUR PAYMENT. THANK YOU.



LANSING, MI 48937-0001

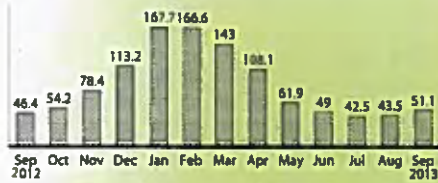
SOUTHWIND RESTAURANT LLC
109 E BROADWAY ST
MOUNT PLEASANT MI 48858-2312

Account Number: **1000 5559 7650**

Due: **10/10/13** Enclosed:

Total: **\$2,715.48**

OKEMOS GAS



Oct 2012 - Sep 2013 Usage 1079.2 Mcf
September gas use 51.1 Mcf
Gas use per day 1,597 Mcf
Gas cost per day \$11.45

Lighting Efficiency Pays Every Day: Lighting accounts for 30 to 60 percent of annual electric costs for most businesses. Consumers Energy offers incentives that make it easy to switch to energy efficient lighting. Visit www.ConsumersEnergy.com/mybusiness and choose "Lighting."

AVE MO USAGE =

890 CCF (CONVERTED FROM MCF)



GAYLORD GAS

Usage History

Account Number: 5403 739 0005
Service Address: 826 W MAIN ST STE Q'DOBA GAYLORD, MI 49735-1902
Usage History As of: 10/18/2013 8:40

Billing Period	Description	Meter Reading	Days Billed	Usage	Amount Billed
Aug 27, 2013 - Sep 26, 2013	Gas Commercial Heating	13626 Actual - 13076 Actual	30	550	\$458.74
Jul 29, 2013 - Aug 27, 2013	Gas Commercial Heating	13076 Actual - 12557 Actual	29	519	\$434.21
Jun 25, 2013 - Jul 29, 2013	Gas Commercial Heating	12557 Actual - 12003 Actual	34	554	\$475.20
May 28, 2013 - Jun 25, 2013	Gas Commercial Heating	12003 Actual - 11520 Actual	28	483	\$417.94
Apr 29, 2013 - May 28, 2013	Gas Commercial Heating	11520 Actual - 10875 Actual	29	645	\$548.50
Mar 27, 2013 - Apr 29, 2013	Gas Commercial Heating	10875 Actual - 9895 Actual	33	980	\$813.71
Feb 27, 2013 - Mar 27, 2013	Gas Commercial Heating	9895 Actual - 8774 Estimated	28	1121	\$916.58

AVE MO USAGE =
693 ecf



TRAVERSE CITY - AIRPORT RD. GAS

Usage History

Account Number: 5403 739 0003
Service Address: 1288 W SOUTH AIRPORT RD STE B TRAVERSE CITY, MI 49686-4717
Usage History As of: 10/18/2013 8:28

Billing Period	Description	Meter Reading	Days Billed	Usage
Aug 20, 2013 - Sep 19, 2013	Gas Choice Commercial	20026 Actual - 19465 Actual	30	561
Jul 22, 2013 - Aug 20, 2013	Gas Choice Commercial	19465 Actual - 18903 Actual	29	562
Jun 19, 2013 - Jul 22, 2013	Gas Choice Commercial	18903 Actual - 18265 Actual	33	638
May 21, 2013 - Jun 19, 2013	Gas Choice Commercial	18265 Actual - 17680 Actual	29	585
Apr 22, 2013 - May 21, 2013	Gas Choice Commercial	17680 Actual - 17038 Actual	29	642
Mar 26, 2013 - Apr 22, 2013	Gas Choice Commercial	17038 Actual - 16280 Actual	27	758
Mar 21, 2013 - Mar 26, 2013	Gas Choice Commercial	16280 Actual - 16155 Actual	5	125
Feb 22, 2013 - Mar 21, 2013	Gas Choice Commercial	16155 Actual - 15238 Actual	27	917
Jan 22, 2013 - Feb 22, 2013	Gas Choice Commercial	15238 Actual - 14118 Actual	31	1120
Dec 18, 2012 - Jan 22, 2013	Gas Choice Commercial	14118 Actual - 13069 Actual	35	1049
Nov 19, 2012 - Dec 18, 2012	Gas Choice Commercial	13069 Actual - 12254 Actual	29	815
Oct 18, 2012 - Nov 19, 2012	Gas Choice Commercial	12254 Actual - 11468 Actual	32	786
Sep 19, 2012 - Oct 18, 2012	Gas Choice Commercial	11468 Actual - 10870 Actual	29	598
Aug 17, 2012 - Sep 19, 2012	Gas Choice Commercial	10870 Actual - 10170 Actual	33	700
Jul 20, 2012 - Aug 17, 2012	Gas Choice Commercial	10170 Actual - 9483 Actual	28	687
Jun 20, 2012 - Jul 20, 2012	Gas Choice Commercial	9483 Actual - 8868 Actual	30	615
May 21, 2012 - Jun 20, 2012	Gas Choice Commercial	8868 Actual - 8187 Actual	30	681
Apr 19, 2012 - May 21, 2012	Gas Choice Commercial	8187 Actual - 7465 Actual	32	722
Mar 22, 2012 - Apr 19, 2012	Gas Choice Commercial	7465 Actual - 6639 Actual	28	826

Ave Mths
Usage
653 CCF

I 100055597650 000002715480 0000 2056 0 000000000000 H

Choose from a variety of ways to pay your bill. See the back for payment options, which include Auto-pay with checking/savings, online, at an authorized pay agent, by phone and more. Auto-pay with Visa or MasterCard is a residential payment option.



Learn more at www.ConsumersEnergy.com/waystopay

In case of an emergency, call us immediately day or night at 1-800-477-5050.

LANSING, MI 48937-0001

SOUTHWIND RESTAURANT LLC
 109 E BROADWAY ST
 MOUNT PLEASANT MI 48858-2312

Account Number: **1000 5559 7650**

Due: **10/10/13** Enclosed:

Total: **\$2,715.48**

Include Corrections/Comments on Back

*OKEMOS
ELECTRIC*

Detail of Current Charges

Elec Gen Sec Rate GS Com

Rate: 1100

Meter Number: **5310555** POD: 0000000609956

Meter Begin Read: 52523 Meter End Read: 67958

Read Type: estimate

Total Metered Energy Use: 15435 kWh

Electric Power Supply Charges

Energy	15435 @ 0.099744	\$1,539.55
PSCR	15435 @ 0.001570-	\$24.23
Renewable Energy		\$7.20

Electric Delivery Charges

System Access		\$20.00
Distribution	15435 @ 0.037011	\$571.26
Energy Efficiency		\$48.76
Securitization	15435 @ 0.001387	\$21.41
Securitization Tax	15435 @ 0.000682	\$10.53
Low-Income Assist Fund		\$0.99

Total Electric \$2,195.47



Oct 2012 - Sep 2013 Usage	149837 kWh
September electric use	15435 kWh
Electric use per day	482 kWh
Electric cost per day	\$68.61

Gas Gen Serv Rate GS-1 - Com Cust Choice

Rate: 277

Meter Number: **35100799** POD: 0000000609957

Meter Begin Read: 29205 Meter End Read: 29716

Read Type: estimate

Differential: 511 Constant: 0.1 Correction factor: 1.00000

Total Metered Energy Use: 51.1 Mcf

Gas Charges

Customer Charge		\$11.65
Gas Distribution	51.1 @ 2.178400	\$111.32
Energy Efficiency	51.1 @ 0.221900	\$11.34

Lakeshore Energy Services 888/200-3788

Supplier Charge CPA 51.1 @ 4.540000 \$231.99

Total Gas \$366.30

Summary of Charges

Account Number: 1000 5559 7650

Service:

SOUTHWIND RESTAURANT LLC
 1941 W GRAND RIVER AVE #B
 OKEMOS MI 48864-1701

Last Month's Account Balance	\$2,340.39
Payment 09/10/13 - Thank You	\$2,340.39-
Balance Forward	\$0.00

Payments applied after Sep 18, 2013 are not included.

Total Electric	\$2,195.47
Total Gas	\$366.30
Sales Tax	\$153.71
Total Energy Charges	\$2,715.48

Total Amount Due \$2,715.48

Total amount due will be deducted from your designated account on the due date.

Applicable Programs Direct Pay

Billing Period	08/17/13 - 09/17/13
Bill Month	September
Days Billed	32
Invoice	202871595475

Your next scheduled meterread date is on or around 10/16/2013.

Your payment is due October 10, 2013. After the due date, the unpaid balance is subject to a 2% late payment charge.

News You Can Use

Your bill includes a monthly per meter charge per MPSC order U-17377 on July 29, 2013, to support the Low-income Energy Assistance Fund (LIEAF).

Consumers Energy is committed to protecting customer information and data privacy. To review or comment on our proposed Customer Data Privacy tariff, please see Case U-17102 at <http://efile.mpsc.state.mi.us/efile/viewcase.php?casenum=17102>.

Questions about your bill? Get an explanation of all charges and learn more about the sections of your bill at www.ConsumersEnergy.com/business.

Sign up for our valuable eNewsletter: Learn smart ways other businesses are saving every month. The eNewsletter covers energy saving tips, rebate incentive updates and much more. Visit www.ConsumersEnergy.com/mybusiness and choose "Evaluation Tools."

FREE facility energy assessment online. Spend a few minutes with our Online Facility Assessment Wizard and uncover a wealth of information that can lower your energy costs, increase efficiency and improve your bottom line. Visit www.ConsumersEnergy.com/mybusiness and choose "Evaluation Tools."

*AVE MO
USAGE =
12,750
KWH*



Visit: www.ConsumersEnergy.com
 Call us: (800) 477-5050

KING FOODS INC
109 E BROADWAY ST
MOUNT PLEASANT MI 48858-2312

LANSING, MI 48937-0001

Account Number: **1000 6535 1502**

Due: **10/02/13** Enclosed:

Total: **\$1,810.86**

Include Corrections/Comments on Back

*GAYLORD
ELECTRIC*

Detail of Current Charges

Elec Gen Sec Rate GS Com

Rate: 1100

Meter Number: **73337544** POD: 0000004129087

Meter Begin Read: 51361 Meter End Read: 63247

Read Type: actual

Total Metered Energy Use: 11886 kWh

Electric Power Supply Charges

Energy	11886 @ 0.099744	\$1,185.56
PSCR	11886 @ 0.001570-	\$18.66-
Renewable Energy		\$7.20

Electric Delivery Charges

System Access		\$20.00
Distribution	11886 @ 0.037011	\$439.91
Energy Efficiency		\$48.76
Securitization	11886 @ 0.001387	\$16.49
Securitization Tax	11886 @ 0.000682	\$8.11
Low-Income Assist Fund		\$0.99

Total Electric \$1,708.36



Ave. Monthly Usage 9,764 kWh

Oct 2012 - Sep 2013 Usage	114101 kWh
September electric use	11886 kWh
Electric use per day	371 kWh
Electric cost per day	\$53.39

Summary of Charges

Account Number: 1000 6535 1502

Service:

KING FOODS INC
826 W Main St
Gaylord MI 49735-1902

Last Month's Account Balance	\$1,727.90
Payment 09/03/13 - Thank You	\$1,727.90-
Balance Forward	\$0.00

Payments applied after Sep 10, 2013 are not included.

Total Electric	\$1,708.36
Sales Tax	\$102.50
Total Energy Charges	\$1,810.86

Total Amount Due \$1,810.86

Total amount due will be deducted from your designated account on the due date.

Applicable Programs **Direct Pay**

Billing Period	08/09/13 - 09/09/13
Bill Month	September
Days Billed	32
Invoice	206253427568

Your next scheduled meter read date is on or around 10/08/2013.

Your payment is due October 02, 2013. After the due date, the unpaid balance is subject to a 2% late payment charge.

News You Can Use

If Consumers Energy is your natural gas provider, call us immediately at (800) 477-5050 in a gas emergency. To report an electric outage or if you have questions about Consumers Energy billing, rates or services call: (800) 805-0490 or visit us at www.ConsumersEnergy.com.

Your bill includes a monthly per meter charge per MPSC order U-17377 on July 29, 2013, to support the Low-Income Energy Assistance Fund (LIEAF).

Consumers Energy is committed to protecting customer information and data privacy. To review or comment on our proposed Customer Data Privacy tariff, please see Case U-17102 at <http://efile.mpsc.state.mi.us/efile/viewcase.php?casenum=17102>.

Questions about your bill? Get an explanation of all charges and learn more about the sections of your bill at www.ConsumersEnergy.com/business.

Sign up for our valuable eNewsletter: Learn smart ways other businesses are saving every month. The eNewsletter covers energy saving tips, rebate incentive updates and much more. Visit www.ConsumersEnergy.com/mybusiness and choose "Evaluation Tools."

TRAVERSE CITY

CHERRYLAND ELECTRIC COOPERATIVE

AIRPORT RD

Office: 5930 U.S. 31 South, Grawn, MI

ELECTRIC

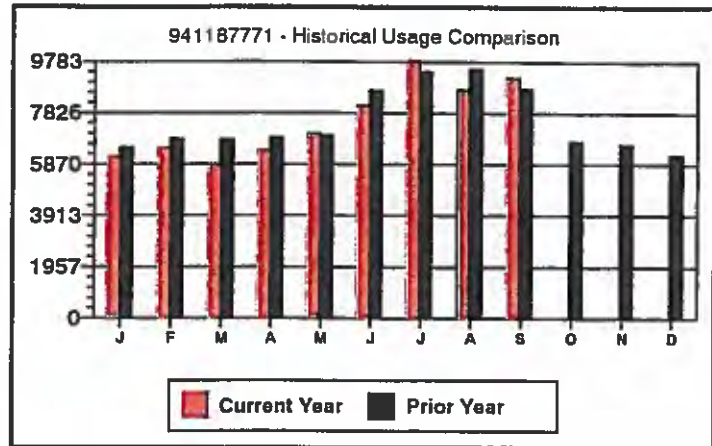
MONTHLY COMPARISONS

941187771	Current Month	Same Period Last Year
Days of Service	31	31
Total kWh	9149	8728
Avg kWh Day	295	281

Availability Charge helps cover the fixed costs incurred by the cooperative to serve a member regardless of the amount of electricity used by that member.

Power Supply Cost Recovery (PSCR) is used to equalize the difference between the cooperative's fixed retail energy rate and the actual cost paid for wholesale power. As a nonprofit organization Cherryland cannot over or under collect more than its actual cost of energy.

Current rate schedules and billing practices are available online at www.cherrylandelectric.com or will be mailed upon request.



AVERAGE MO USAGE =
7,000 KWH

HOURS: 7:30 AM - 4:00 PM MONDAY - FRIDAY
 PHONE: 231-486-9200 LOCAL or 1-800-442-8616 TOLL FREE
 WEBSITE: WWW.CHERRYLANDELECTRIC.COM

Cherryland Electric Cooperative is a member regulated utility



Project: Qdoba
File #: 131393E
Date: October 28, 2013

Design Criteria: Based on conventional standards for a 10 year storm even

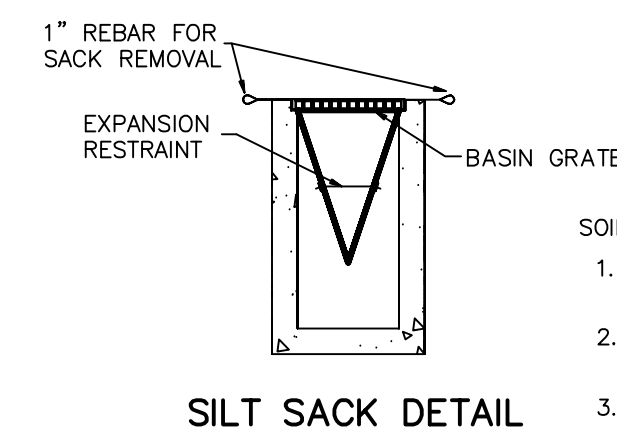
Runoff Coefficients, C

Grass	0.15				
Pavement	0.9				
From CB#	1	2	3	4	5
To CB#	2	3	5	5	21" Stm
Acres of:					
Grass	0.04	0.06	0.04	0.03	0.05
Pavement	0.17	0.12	0.17	0	0
Total	0.21	0.18	0.21	1.94	0.05
C-Adjust Total DA	0.76	0.71	0.73	0.69	0.69
Total Drainage Area, A	0.21	0.39	0.60	1.94	2.59
Time, t (min.)	15	15	15	15	15
Intensity, i	4.38	4.38	4.38	4.38	4.38
Flow, Q=CiA (CFS)	0.70	1.21	1.91	5.88	7.81
Slopes for:					
Concrete Pipe					
12 inch	0.3	0.3	0.3		
18 inch				0.31	
21 inch					0.24
Proposed Slope	0.6	0.6	12.6	0.0	0.3



Know what's below.
Call before you dig.

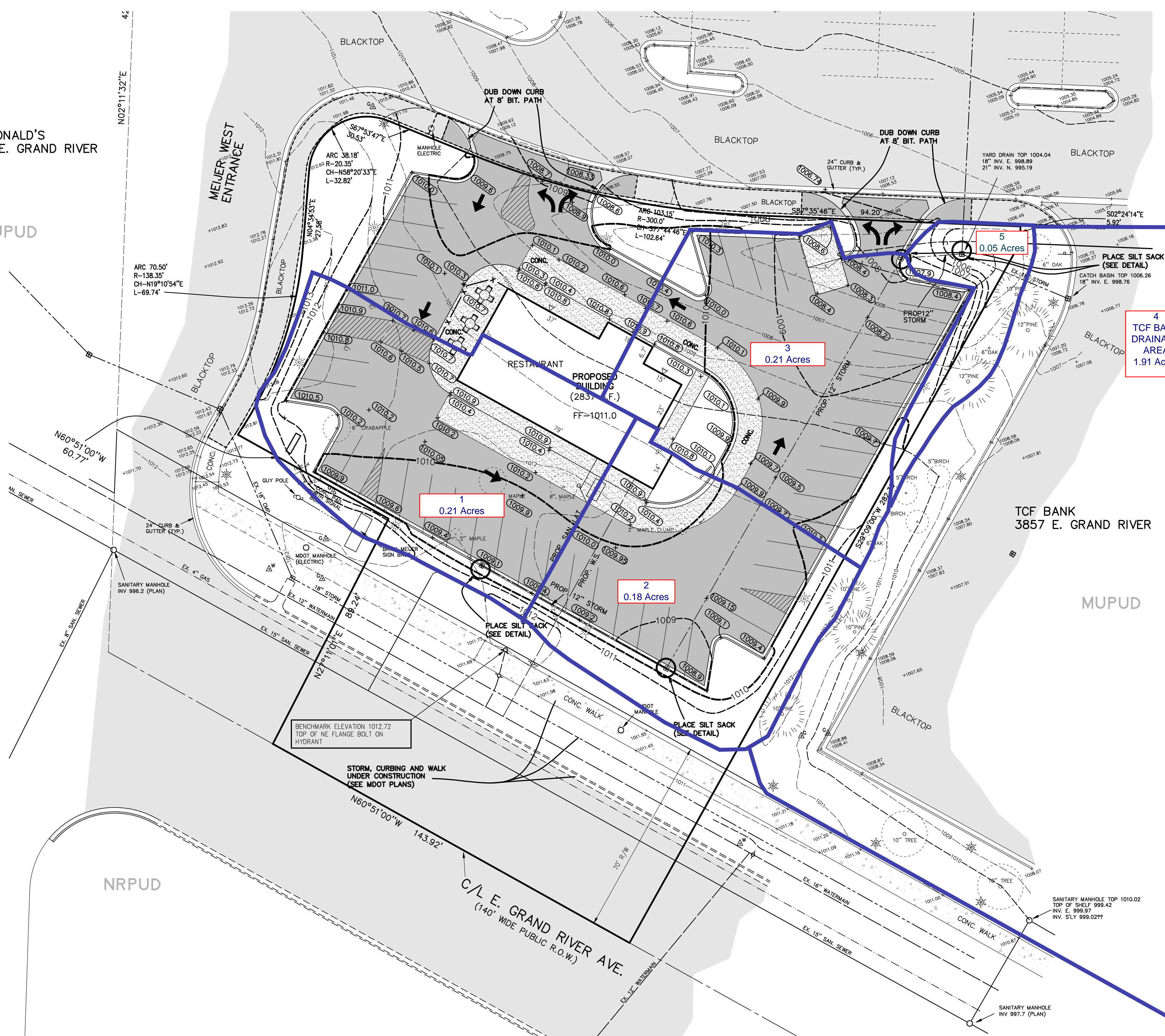
MUPUD



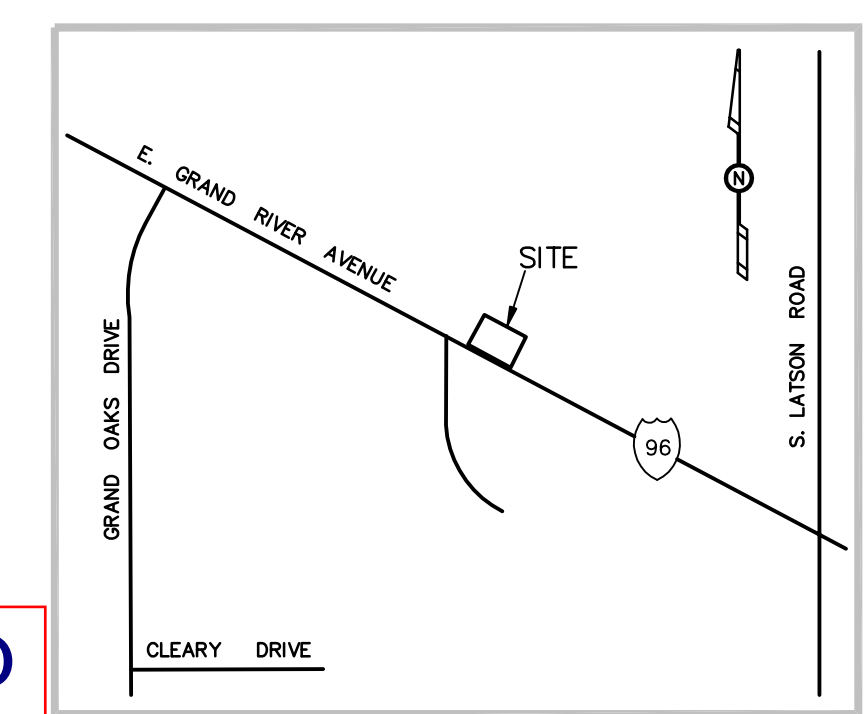
- SOIL EROSION CONTROL NOTES
1. Inspect and maintain all temporary soil erosion controls after each significant rainfall and until site has been permanently stabilized.
 2. All non-paved disturbed areas shall be restored with minimum 4" topsoil and seed.
 3. Protect all new storm inlets with sediment sacks

MC DONALD'S
3781 E. GRAND RIVER

MUPUD



SITE PHOTO



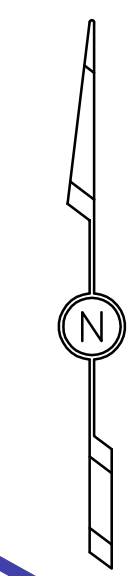
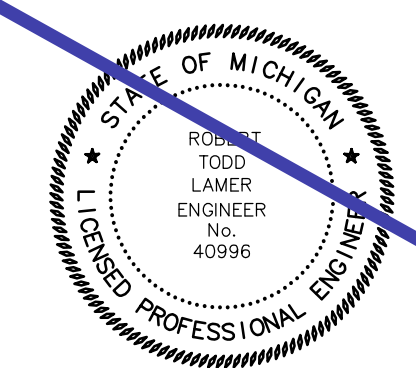
LOCATION MAP
NO SCALE

Drainage Map
10-28-2013
rtl

QDOBA SITE PLAN - 3800 BLOCK OF EAST GRAND RIVER AVENUE FOR OUTLOT

FOR: SOUTHWIND RESTAURANTS, LLC
ATT: KEVIN EGNATUK
109 EAST BROADWAY
MT. PLEASANT, MI 48858

IN: PART OF THE SE 1/4, SECTION 5, T2N, R5E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SCALE: 1" = 20'

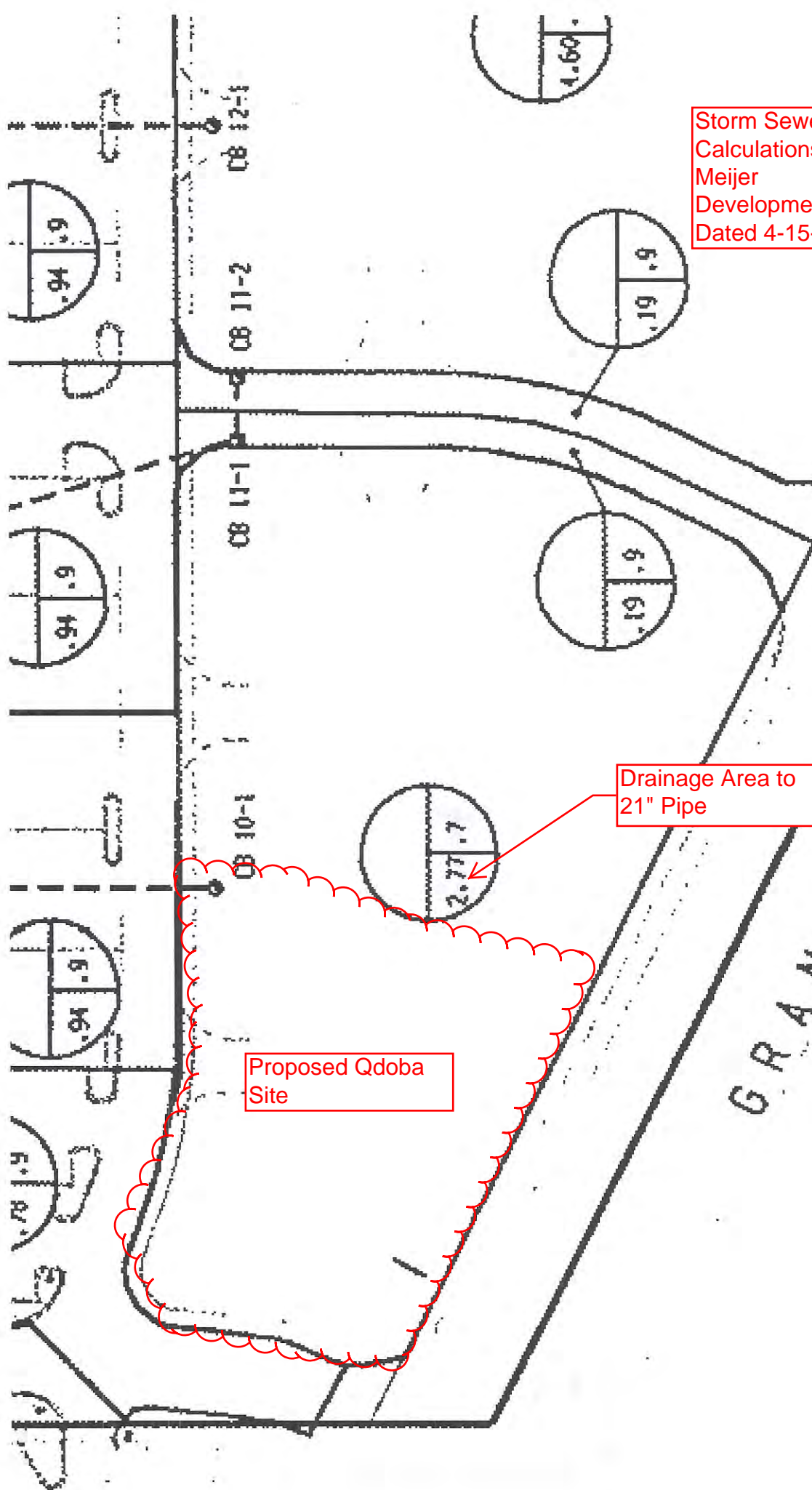
REVISIONS:

exxel engineering, inc.
planners • engineers • surveyors

5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 Fax: (616) 531-2121
www.exxelengineering.com

drawing number	E F								
DRAWN BY:	JSD	PROJ. ENG.:	DDG						
APPROVED BY:	DDG	PROJ. SURV.:							
FILE NO.:	131.39.3E	DATE:	7/31/2013						

Storm Sewer
Calculations from
Meijer
Development
Dated 4-15-1998



Drainage Area to
21" Pipe

Proposed Qdoba
Site

G R A

21" Storm Sewer Connection

FROM	TO	AREA	C	A°C INDIV.	TOTAL A°C	TIME ACCUM. min.	RAIN INTENSITY in/hr 175/T + 25	CAPACITY REQUIRED cfs	PIPE SIZE IN	PIPE SLOPE %	FULL FLOW CAPACITY cfs	FLOW VELOCITY ft/s	SEWER LENGTH ft.	FLOW TIME min.
CB 13	CB 12	1.00	0.90	0.90	0.90	15.00	4.38	3.938	18.00	0.37	3.940	3.20	163	0.85
CB 12	CB 12	4.60	0.70	3.22	3.22	15.00	4.38	14.088	24.00	0.4	14.346	4.55	161	0.59
CB 12	CB 11	0.94	0.90	0.85	4.97	15.85	4.28	21.275	27.00	0.48	21.514	5.40	227	0.70
CB 11	CB 11	0.19	0.90	0.17	0.17	15.00	4.38	0.748	12.00	0.32	2.021	2.57	43	0.28
CB 11	CB 11	0.19	0.90	0.17	0.34	15.28	4.34	1.486	12.00	0.32	2.021	2.57	182	1.18
CB 11	CB 10	0.94	0.90	0.85	6.15	16.55	4.21	25.920	30.00	0.4	26.011	5.28	195	0.62
CB 10	CB 10	2.77	0.70	1.94	1.94	15.00	4.38	8.483	24.00	0.3	8.702	3.61	161	0.74
CB 10	CB 9	0.94	0.90	0.85	8.94	17.16	4.15	37.100	36.00	0.31	37.235	5.25	172	0.55
CB 9	CB 2	0.78	0.90	0.70	9.64	17.71	4.10	39.503	36.00	0.35	39.565	5.58	152	0.45
CB 8	CB 7	1.00	0.90	0.90	0.90	15.00	4.38	3.938	18.00	0.2	4.710	2.66	210	1.32
CB 7	CB 7	0.97	0.20	0.19	0.19	15.00	4.38	0.849	12.00	0.32	2.021	2.57	57	0.37
CB 7	CB 6	0.95	0.90	0.86	1.95	16.32	4.24	8.255	24.00	0.27	8.255	3.42	201	0.98
CB 6	CB 6	0.36	0.20	0.07	0.07	15.00	4.38	0.315	12.00	0.32	2.021	2.57	112	0.73
CB 6	CB 5	1.05	0.90	0.95	2.97	17.30	4.14	12.272	27.00	0.16	12.421	3.12	163	0.87
CB 5	CB 4	1.77	0.90	1.59	4.56	18.17	4.05	18.482	30.00	0.21	18.847	3.83	227	0.99
CB 4	CB 3	1.97	0.90	1.77	6.33	19.16	3.96	25.095	30.00	0.38	25.352	5.15	195	0.63
CB 3	CB 2	1.85	0.90	1.67	8.00	19.79	3.91	31.248	36.00	0.22	31.368	4.43	162	0.61
CB 2	CB 1	0.81	0.90	0.73	18.37	20.40	3.85	70.803	42.00	0.5	71.332	7.39	85	0.19
CB 1	OUTLET	0.60	0.80	0.48	18.85	20.59	3.84	72.348	42.00	0.52	72.744	7.54	60	0.13

Design Capacity of 21"

STATE OF MICHIGAN
COUNTY OF LIVINGSTON
TOWNSHIP OF GENOA

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT RELATIVE TO
MEIJER OUTLOT

THIS AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT is made and entered into on this _____ day of _____, 2013, by **SOUTHWIND RESTAURANTS, LLC**, a Michigan limited liability company, having its principal office at 109 East Broadway, Mt. Pleasant, Michigan 48858 (the "Owner"), and the TOWNSHIP OF GENOA, a Michigan municipal corporation, whose address is 2911 Dorr Road, Brighton, Michigan 48116 (referred to as "Township").

RECITALS:

A. The Township and Birgit Lorenzen entered into a Planned Unit Development Agreement (the "PUD Agreement") on April 12, 1996, which was recorded on May 9, 1996, in Liber 2038, Page 0039 of Livingston County Records.

B. The Owner has purchased from Meijer, Inc. a parcel of land situated in the Township of Genoa, Livingston County, Michigan, as more fully described in Exhibit "A" (the "Property").

C. The Owner and Township desire to amend the PUD Agreement to permit certain exceptions to the required setback provisions.

NOW, THEREFORE, OWNER AND TOWNSHIP, in consideration of the mutual promises contained in this amendment and in the PUD Agreement, HEREBY AGREE AS FOLLOWS:

1. The Property shall be developed in accordance with the PUD Agreement and all amendments to the PUD Agreement, if any, except for the following:

- a. The rear yard setback at the northwest corner of the building located on the Property shall be approximately 40' as depicted on the drawing attached as Exhibit B.
- b. Along the north property line, the four parking spaces shall be setback 5.8' and the dumpster enclosure shall be approximately 2.5' from the property line as shown on Exhibit B.
- c. The parking setback for the southerly two parking spaces along the western edge of the Property shall be approximately 7.5' as depicted on Exhibit B.
- d. The parking setback on the east side of the Property shall be approximately 7' as shown on Exhibit B.
- e. The building shall have three (3) exterior signs affixed to the south, west and north walls as depicted on Exhibit C.

2. This Amendment to Planned Unit Development Agreement was approved by the Township Board on the _____ day of _____, 2013, at a meeting duly called and held.

IN WITNESS WHEREOF, the undersigned have executed this Amendment to Planned Unit Development Agreement as of the day and year first above written.

OWNER:
Southwind Restaurants, LLC

By: _____

Its: _____

TOWNSHIP:
Township of Genoa

By: _____

Its: _____

STATE OF MICHIGAN)
) SS
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2013, by _____, the _____ of Southwind Restaurants, LLC, a Michigan limited liability company, on behalf of the company.

Notary Public, State of _____,
County of _____
My Commission Expires: _____

STATE OF MICHIGAN)
) SS
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2013, by _____, the _____ of the Township of Genoa, a Michigan municipal corporation, on behalf of the company.

Notary Public, State of _____,
County of _____
My Commission Expires: _____

Drafted by, and when
Recorded return to:

Steven J. Morren
Varnum LLP
Bridgewater Place
P.O. Box 352
Grand Rapids, MI 49501-0352
6499392_2.DOCX

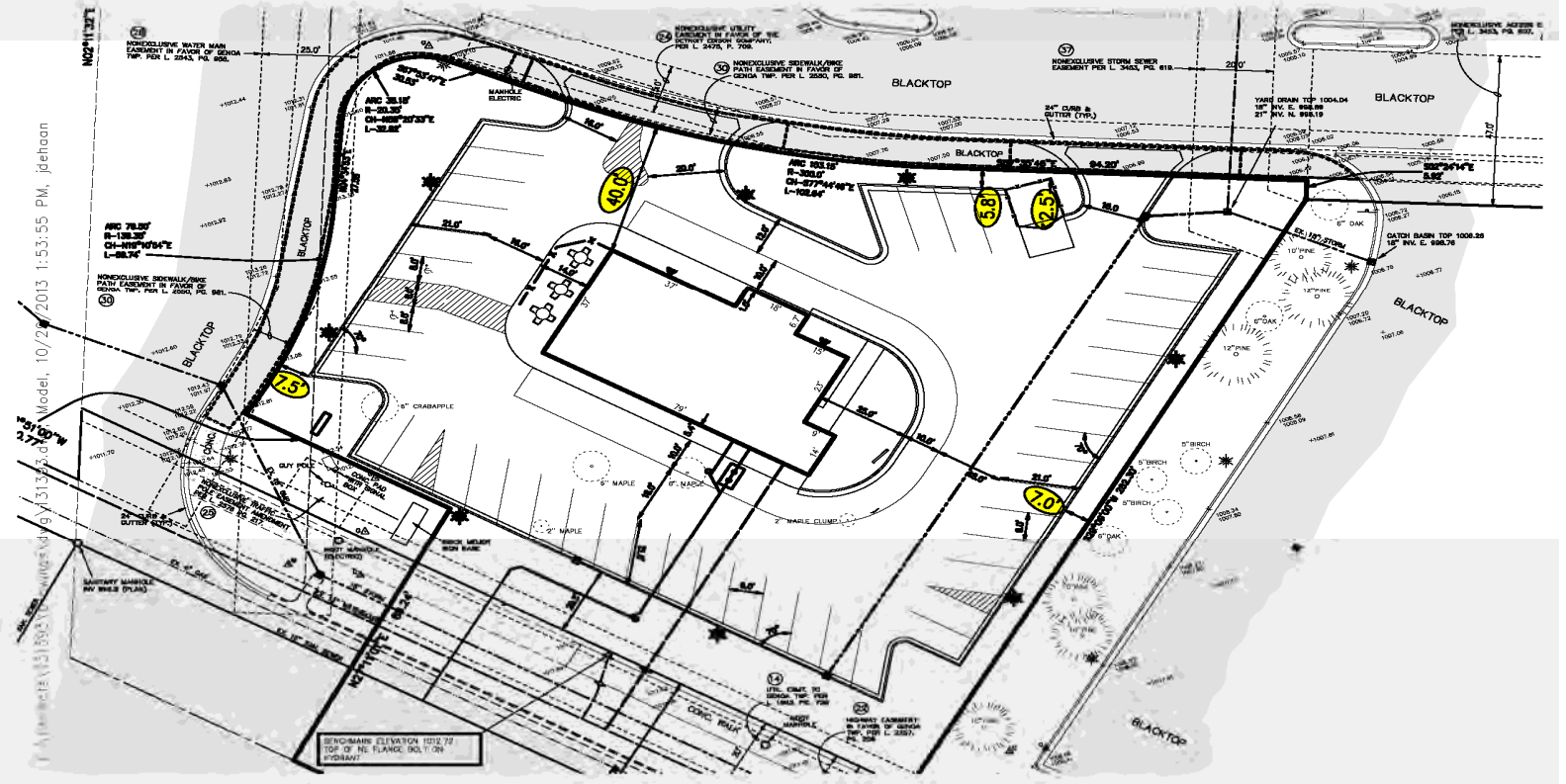
EXHIBIT A

(the Property)

Part of the SE 1/4, Section 5, T2N, R5E, Genoa Township, Livingston County, Michigan, described as: Commencing at the SE corner of said Section 5; thence N02°11'26"E 548.49 feet along the East line of said SE 1/4 to the centerline of Grand River Avenue; thence N60°51'00"W 1027.33 feet along said centerline to the PLACE OF BEGINNING of this description; thence N60°51'00"W 143.92 feet along said centerline; thence N27°11'01"E 89.24 feet; thence N60°51'00"W 60.77 feet; thence Northeasterly 70.50 feet along a 138.35 foot radius curve to the left, the chord of which bears N19°10'54"E 69.74 feet; thence N04°34'53"E 27.58 feet; thence Northeasterly 38.18 feet along a 20.35 foot radius curve to the right, the chord of which bears N58°20'33"E 32.82 feet; thence S67°53'47"E 30.53 feet; thence Southeasterly 103.15 feet along a 300.00 foot radius curve to the left, the chord of which bears S77°44'46"E 102.64 feet; thence S87°35'46"E 94.20 feet; thence S02°24'14"W 5.92 feet; thence S29°09'00"W 282.30 feet to the place of beginning.

EXHIBIT B

(Drawing depicting location of revised setback requirements)

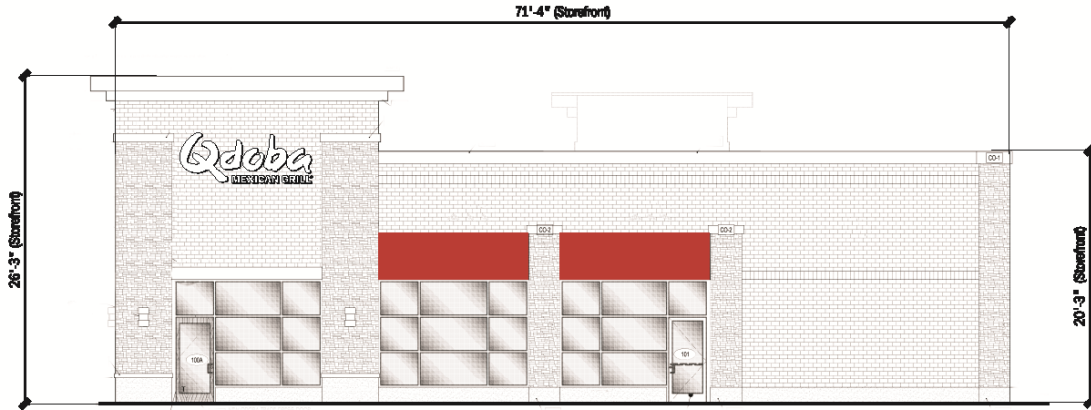


10/2/2013 1:53:55 PM, jdehaan
9/13/13 2:27 PM

ENGINEERING ELEVATION 102.72
TOP OF RE FLANGE ONLY ON
EVENING

EXHIBIT C

(Depiction of Three Exterior Building Signs)



Building Elevation - South - Facing Grand River

Scale: 1/8"=1'-0"

City allows:
 Monument: 72 sq. ft. max, 6' tall max, 10' setback
 1 wall sign allowed at 10% of facade or 100 sq. ft. max
 2nd sign allowed if located on a corner facing a street
 3rd A variance would be required, city stated there may not be too much resistance as there have been other variances granted in this corridor



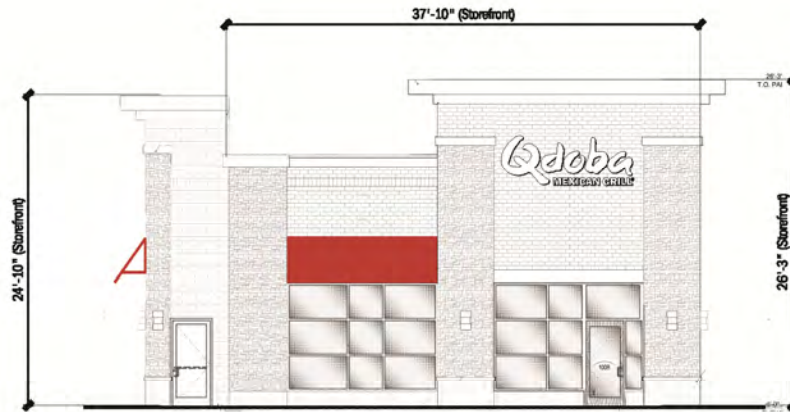
Design No.: 13-0127r10
Date: October 25, 2013
Sheet: 2 of 6
Location: 3883 E. Grand River Ave
City/State: Howell, MI

Contact Information:
Salesman: Todd Hefner
Designer: Trent Schultz
FB17.625.4323 FB17.625.2123
www.awningandsign.com

Final electrical connection notes:
 Customer is responsible for retaining a licensed electrician to complete final connection.
Printing Note: Illustration to be printed on 8 1/2"x 14" Legal paper.

The information contained in this Document and the Design work are the sole Property of National Awning & Sign, LLC and may not be copied distributed or made available to others without expressed written consent of National Awning & Sign, LLC.

Final Approvals
Customer:
Salesman:
Project Manager:



Building Elevation - West - Facing Meijer Entry way

Scale: 1/8"=1'-0"

City allows:

Monument: 72 sq. ft. max, 6' tall max, 10' setback

1 wall sign allowed at 10% of facade or 100 sq. ft. max

2nd sign allowed if located on a corner facing a street

3rd A variance would be required, city stated there may not be too much resistance as there have been other variances granted in this corridor



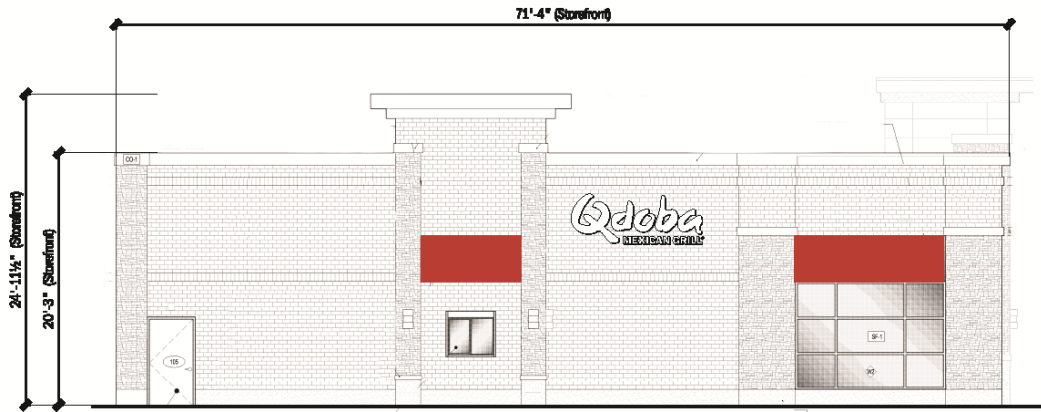
Design No.: 13-0127r10
Date: October 25, 2013
Sheet: 1 of 6
Location: 3883 E. Grand River Ave
City/State: Howell, MI

Contact Information:
Salesman: Todd Hefner
Designer: Trent Schultz
Phone: PB17.625.4323 FB17.625.2123
Website: www.awningandsign.com

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Final Approvals
Customer:
Salesman:
Project Manager:



Building Elevation - North - Facing Meijer Building

Scale: 1/8"=1'-0"

City allows:

Monument: 72 sq. ft. max, 6' tall max, 10' setback

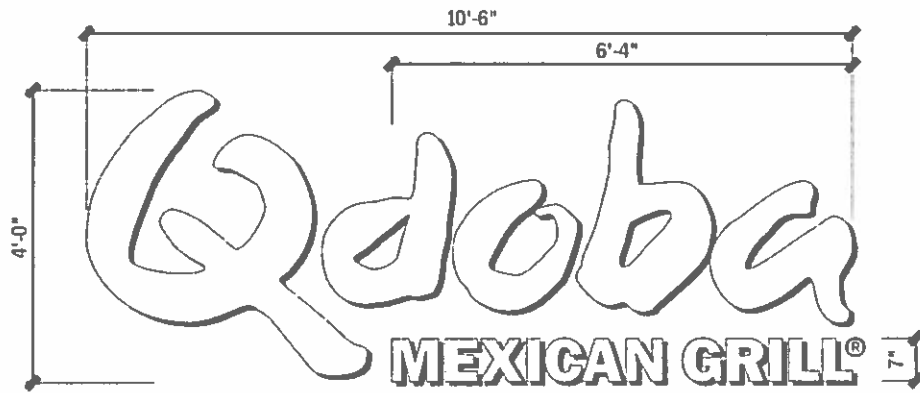
1 wall sign allowed at 10% of facade or 100 sq. ft. max

2nd sign allowed if located on a corner facing a street

3rd A variance would be required, city stated there may not be too much resistance as there have been other variances granted in this corridor



Design No.: 13-0127r10	Contact Information:	Final electrical connection notes:	The Information contained in this Document and the Design work are the sole Property of National Awning & Sign, LLC and may not be copied distributed or made available to others without expressed written consent of National Awning & Sign, LLC.	Final Approvals
Date: October 25, 2013	Salesman: Todd Hefner	Customer is responsible for retaining a licensed electrician to complete final connection.		Customer:
Sheet: 3 of 6	Designer: Trent Schultz	Printing Note: Illustration to be printed on 8 1/2"x 14" Legal paper.		Salesman:
Location: 3883 E. Grand River Ave	Phone: 817.625.4323 817.625.2123			Project Manager:
City/State: Howell, MI	Website: www.awningandsign.com			

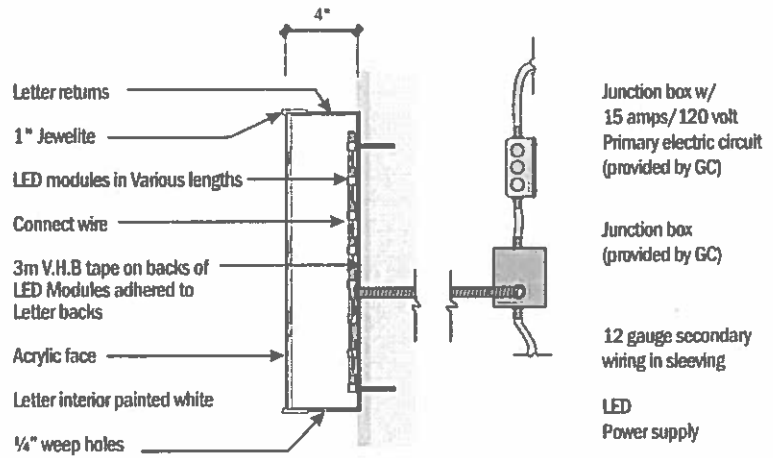


47.4 sq ft

Channel Letter Elevation

Scale: 1/2"=1'-0"

- Fabricated .063 aluminum backs with .040 pre-finished black returns
- White Plexiglas faces retained with 1" Black Jewelite retainers
- Internally illuminated with White LED's
- UL labels required
- Registration mark 1/4" Clear Lexan w/ 1st surface applied black vinyl Backed W/ White vinyl behind register only Mounted to back of letter



Scale: N/A



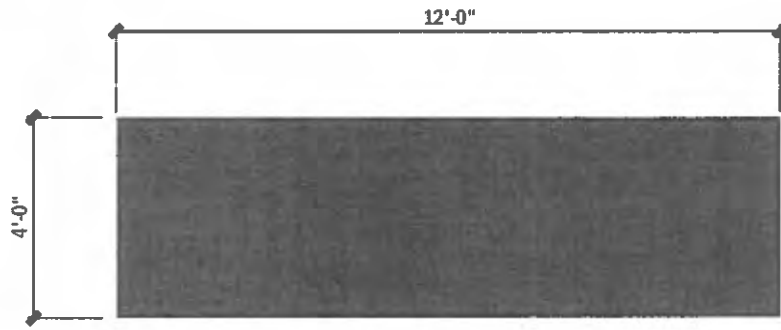
Design No.: 13-0127r10
Date: October 25, 2013
Sheet: 4 of 6
Location: 3883 E. Grand River Ave
City/State: Howell, MI

Contact Information:
Salesman: Todd Hefner
Designer: Trent Schultz
Phone: 817.625.4323 817.625.2123
Website: www.awningandsign.com

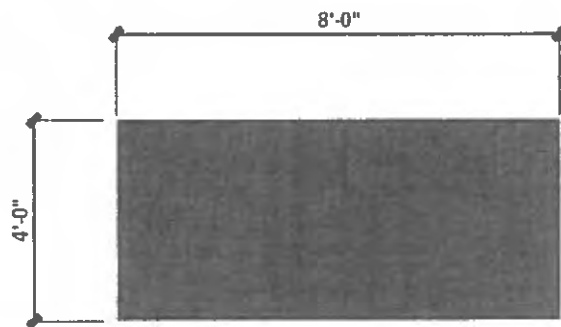
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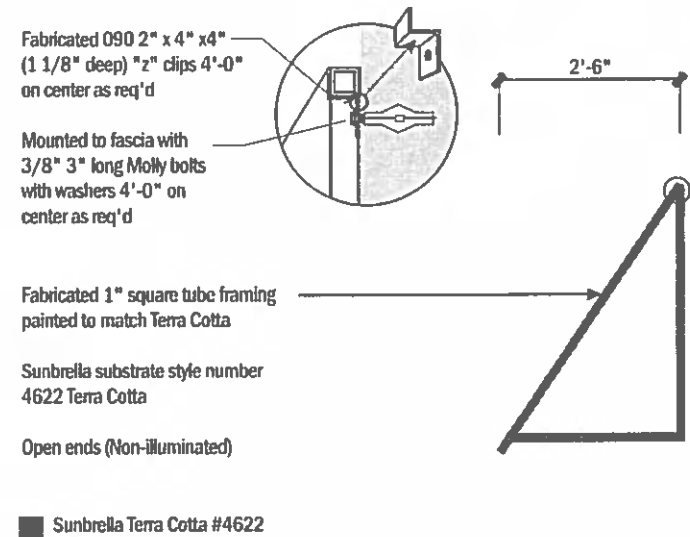
Final Approvals
Customer:
Salesman:
Project Manager:



(4) Required



(1) Required



Awning Elevations

Scale: 3/8"=1'-0" End View - Details

Scale: 1/2"=1'-0"



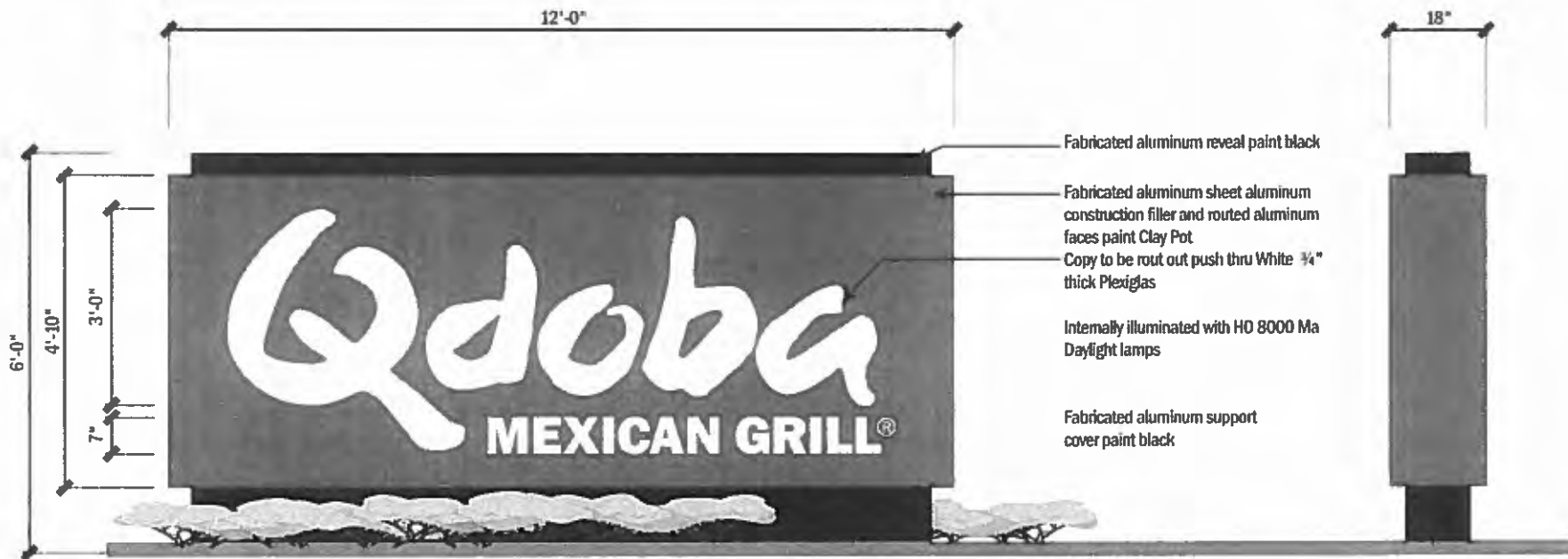
Design No.: 13-0127r10
Date: October 25, 2013
Sheet: 5 of 6
Location: 3883 E. Grand River Ave
City/State: Howell, MI

Contact Information:
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P: 817.625.4323 **F:** 817.625.2123
www.awningandsign.com

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Final Approvals
Customer:
Salesman:
Project Manager:



Pylon Sign Elevation

Scale: 1/2"=1'-0"

End View



Design No.: 13-0127r10
Date: October 25, 2013
Sheet: 6 of 6
Location: 3883 E. Grand River Ave
City/State: Howell, MI

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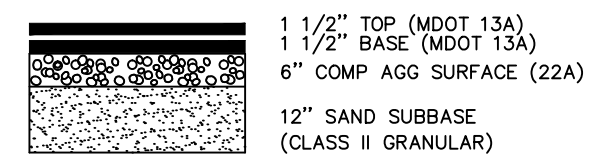
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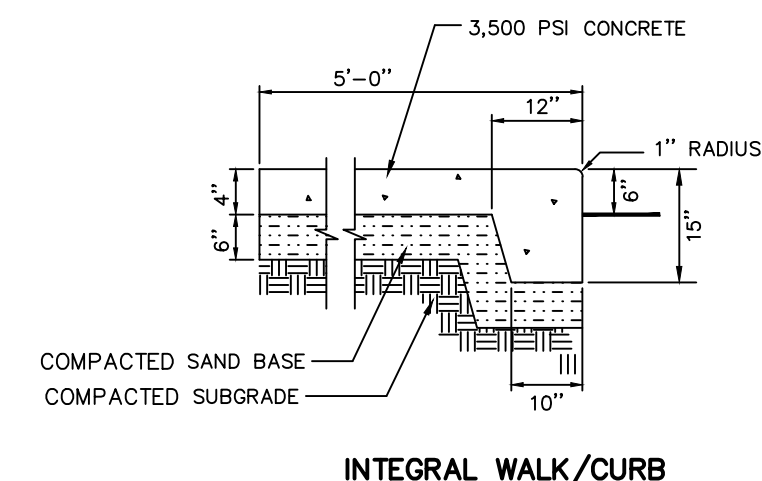


Know what's below. Call before you dig.

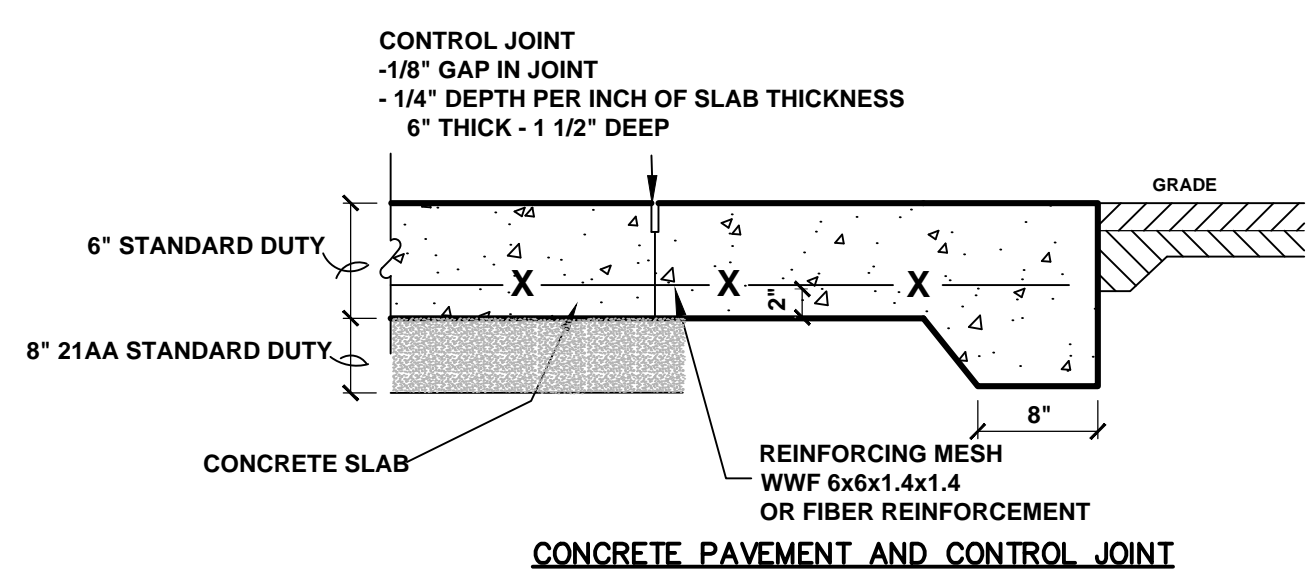
MUPUD



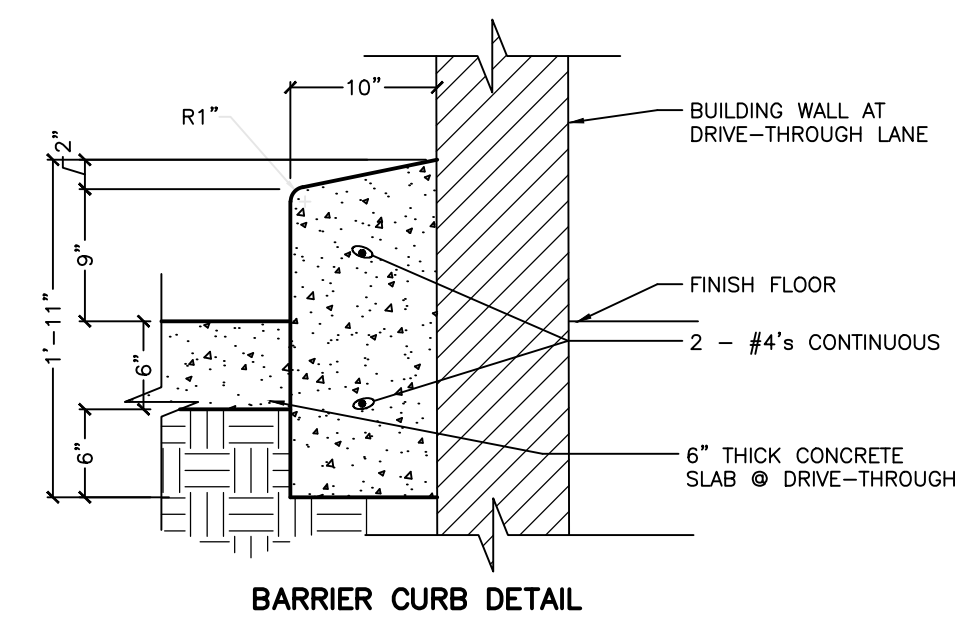
STANDARD PAVING CROSS SECTION



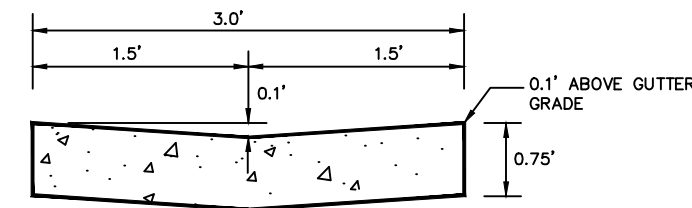
INTEGRAL WALK/CURB



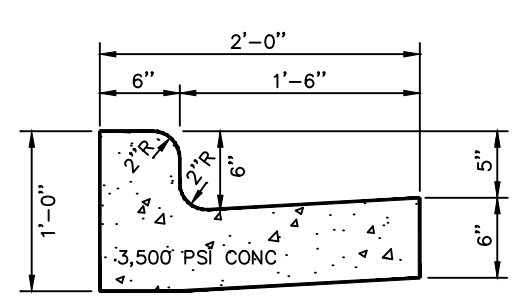
CONCRETE PAVEMENT AND CONTROL JOINT



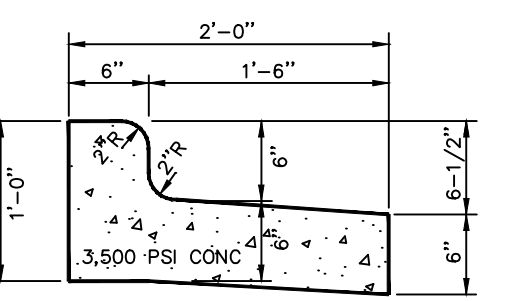
BARRIER CURB DETAIL



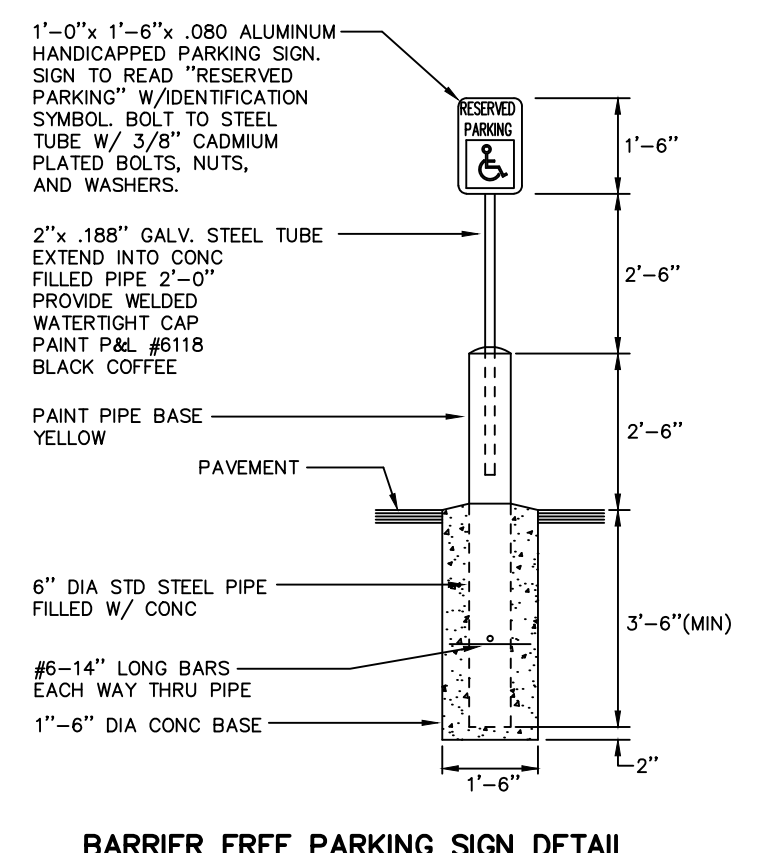
36" CONC GUTTER PAN AT APPROACH



24" HEAD CURB DETAIL (PITCHED IN)



24" HEAD CURB DETAIL (PITCHED OUT)



BARRIER FREE PARKING SIGN DETAIL

- GENERAL NOTES:**
- Legal Description: Part of the SE 1/4, Section 5, T2N, R5E, Genoa Township, Livingston County, Michigan, described as: Commencing at the SE corner of said Section 5; thence N02°11'25"E 548.49 feet along the East line of said SE 1/4 to the centerline of Grand River Avenue; thence N60°51'00"W 1027.33 feet a long said centerline to the PLACE OF BEGINNING of this description; thence N60°51'00"W 143.92 feet along said centerline; thence N27°11'01"E 89.24 feet; thence N60°51'00"W 60.77 feet; thence Northeasterly 70.50 feet along a 138.35 foot radius curve to the left, the chord of which bears N19°10'54"E 69.74 feet; thence N04°34'53"E 27.58 feet; thence Northeasterly 38.18 feet a long a 20.35 foot radius curve to the right, the chord of which bears N58°20'33"E 32.82 feet; thence S67°53'47"E 30.53 feet; thence Southeasterly 103.15 feet along a 300.00 foot radius curve to the left, the chord of which bears S77°44'46"E 102.64 feet; thence S87°35'46"E 94.20 feet; thence S02°24'14"W 5.92 feet; thence S29°09'00"W 282.30 feet to the place of beginning.
 - This property contains approximately 1.058 acres.
 - Existing Zoning - MUPUD Mixed Use PUD
Use: A restaurant is proposed. Neighboring properties includes - Retail, Banking and Restaurant
Building Setback & Height Requirements:
Front: 70' or 35' if no parking in front yard
Side: 15 feet
Rear: 50 feet
Height: Max. 35 feet and 2 stories
Lot Coverage
Building Impervious 35%
Impervious 75%
 - Building & Lot Coverage
Building Impervious Area 2,837 sq. ft. 6%
Lot Area 1,058 Acre
 - According to Soil Resource Report for Livingston County, the soils consist of Miami Loam (M0B).
Parking Requirements:
Restaurant:
0.5 parking spaces per dining seat, 3 designated short term drive-thru,
2 RV/Semi spaces
Indoor Seating 70 seats 35 parking spaces
Outdoor Seating 12 seats 6 parking spaces
Drive-thru 3 parking spaces
RV/Semi 2 parking spaces
Total: 46 parking spaces
Parking Provided:
On-site 44 parking spaces
Drive-thru Stacking Spaces
Required: 10 stacking spaces
Provided: 10 stacking spaces
 - The storm sewer and detention basin for the PUD includes this as being developed. A 21" storm sewer pipe has been brought to the NE corner of the site for the Qdoba storm water.

MC DONALD'S
3781 E. GRAND RIVER

MUPUD

MUPUD

TCF BANK
3857 E. GRAND RIVER

NRPUD

C/L E. GRAND RIVER AVE.
(140' WIDE PUBLIC R.O.W.)

SITE DIMENSION AND UTILITY PLAN

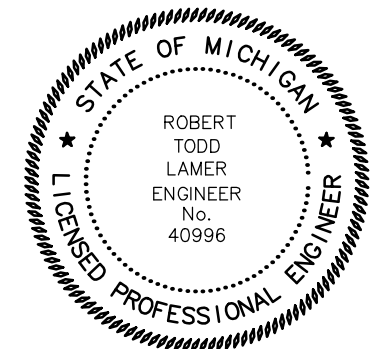
QDOBA SITE PLAN - 3800 BLOCK OF EAST GRAND RIVER AVENUE FOR OUTLET

FOR: SOUTHWIND RESTAURANTS, LLC
ATT: KEVIN EGNATUK
109 EAST BROADWAY
MT. PLEASANT, MI 48858

IN: PART OF THE SE 1/4, SECTION 5, T2N, R5E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS:

exxel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3600 Fax: (616) 531-2121
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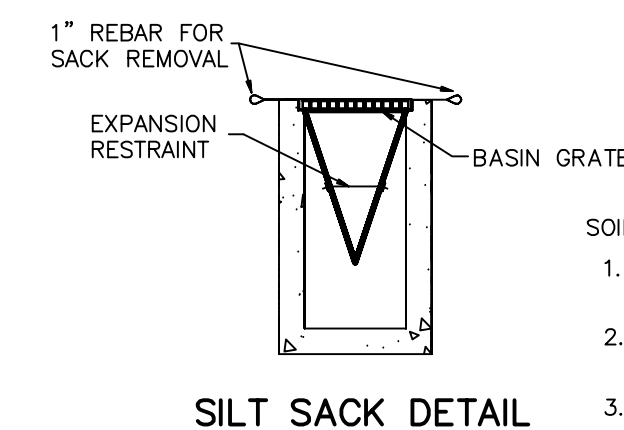


SCALE: 1" = 20'



Know what's below.
Call before you dig.

MUPUD



- SOIL EROSION CONTROL NOTES
1. Inspect and maintain all temporary soil erosion controls after each significant rainfall and until site has been permanently stabilized.
 2. All non-paved disturbed areas shall be restored with minimum 4" topsoil and seed.
 3. Protect all new storm inlets with sediment sacks

SILT SACK DETAIL

MC DONALD'S
3781 E. GRAND RIVER

MUPUD



TCF BANK
3857 E. GRAND RIVER

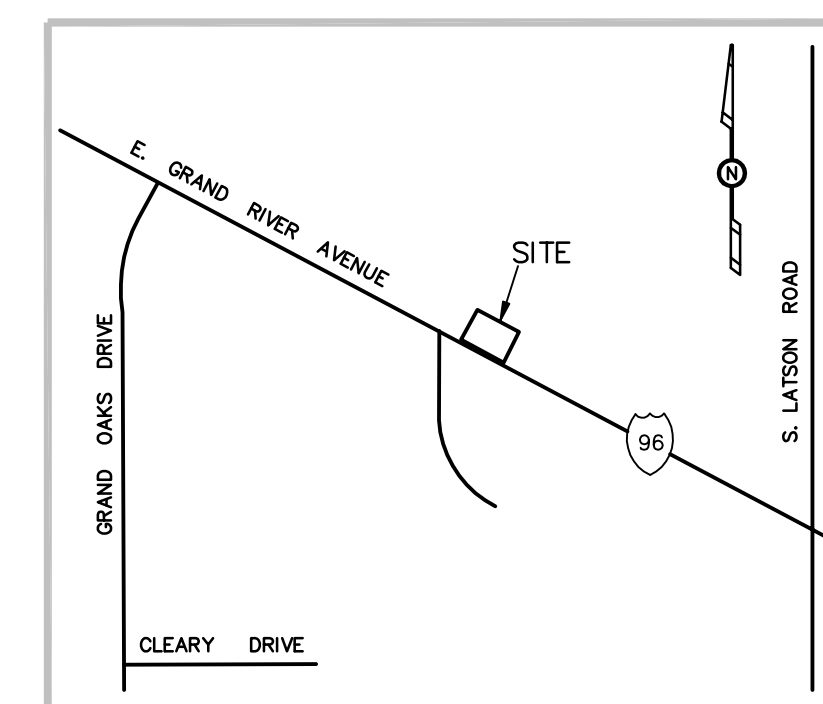
MUPUD

NRPUD

C/L E. GRAND RIVER AVE.
(140' WIDE PUBLIC R.O.W.)



SITE PHOTO



LOCATION MAP
NO SCALE

SITE GRADING PLAN

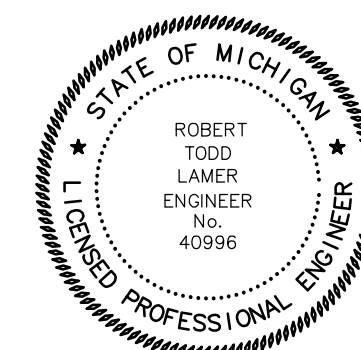
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109 EAST BROADWAY
MT. PLEASANT, MI 48858
IN: PART OF THE SE 1/4, SECTION 5, T2N, R5E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

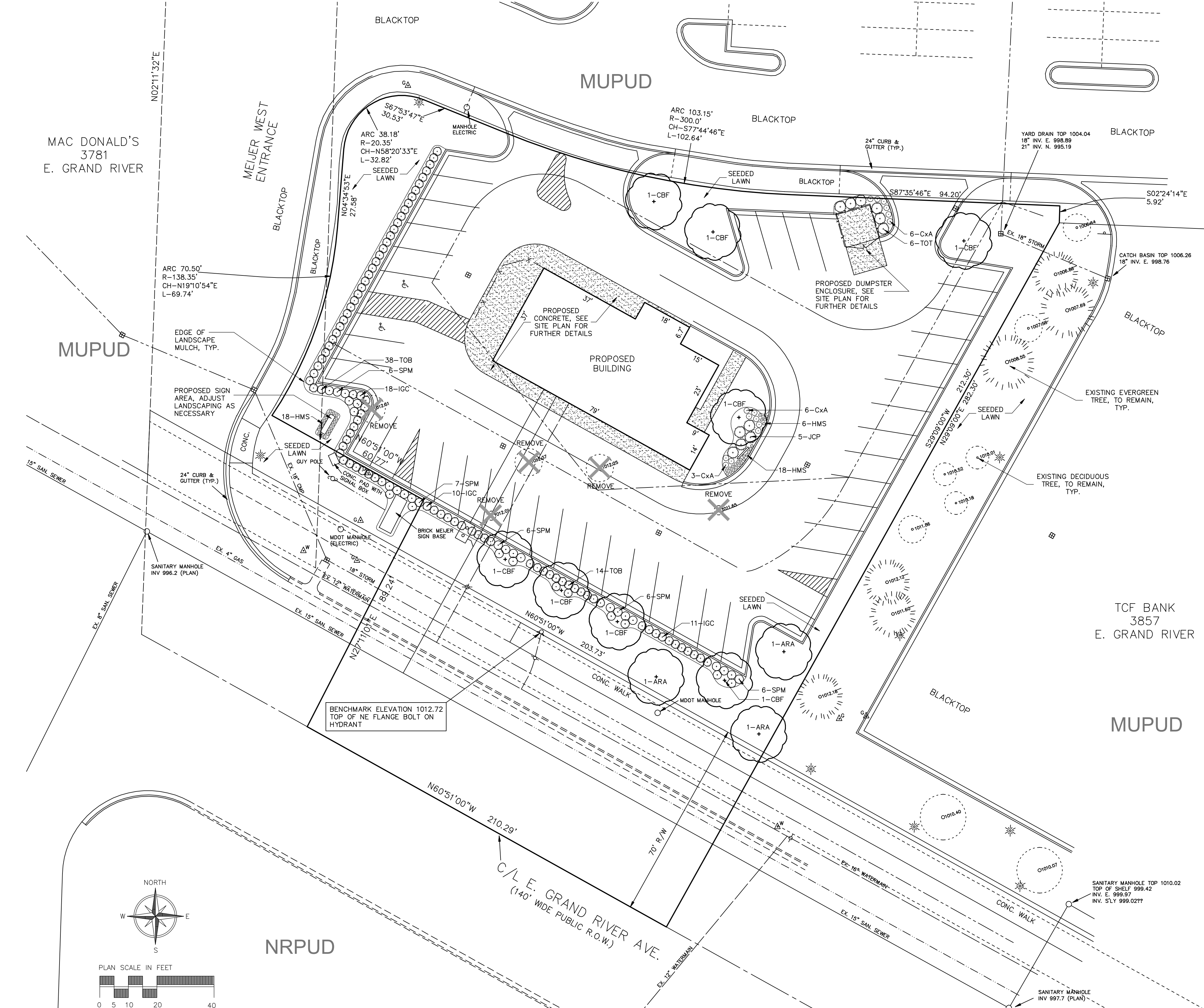
REVISIONS:



drawing number **E F** ...
DRAWN BY: JSD
APPROVED BY: DDG
FILE NO.: 131.39.3E
PROJ. ENG.: DDG
PROJ. SURV.:
DATE: 7/31/2013
SHEET 2 of 2



SCALE: 1" = 20'



LANDSCAPE CALCULATIONS

GRAND RIVER AVENUE (±213' = BACK OF MELJER ENTRANCE CURB TO EAST PL)	REQUIRED GREENBELT WIDTH	20' WIDE, MINIMUM
	REQUIRED CANOPY TREES	6 (1 PER 40')
	REQUIRED EVERGREEN SHRUBS	72 (1 PER 2.5' OF PARKING)
PROPOSED WIDTH	PROPOSED CANOPY TREES	22'
	PROPOSED EVERGREEN SHRUBS	6
		53 (ADD 31 DECIDUOUS = 84)
EAST PROPERTY LINE (±192' = GREENBELT TO NE PROPERTY CORNER)	REQUIRED TYPE C BUFFER WIDTH	10' WIDE, MINIMUM
	REQUIRED CANOPY TREES	10 (1 PER 20')
	REQUIRED EVERGREEN SHRUBS	40 (1 PER 20')
EXISTING WIDTH	EXISTING CANOPY TREES	25 (SEE AGREEMENT WITH TCF BANK)
	EXISTING EVERGREEN SHRUBS	12
NORTH PROPERTY LINE	NONE REQUIRED ALONG PRIVATE ACCESS DRIVES	
WEST PROPERTY LINE	NONE REQUIRED ALONG PRIVATE ACCESS DRIVES	
PROPOSED WIDTH	VARIES	
	PROPOSED CANOPY TREES	0
	PROPOSED EVERGREEN SHRUBS	38
INTERIOR PARKING		
PARKING PROVIDED	44 SPACES	
REQUIRED CANOPY TREES	4 (1 PER 10 SPACES)	
REQUIRED LANDSCAPE AREA	400 (100 SFT PER 10 SPACES)	
PROPOSED CANOPY TREES	4	
PROPOSED LANDSCAPE AREA	2261 (CORNERS AND DUMPSTER ISLAND)	

LANDSCAPE NOTES:

- LANDSCAPE PLAN PREPARED BY:
Corey J. Broersma, LLA
Licensed Landscape Architect
LA Solutions, LLC
161 Cambridge Ave, Holland, MI 49423 Ph: 616.393.6481
- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND LOCAL STANDARDS AND CODES.
- CALL "MISS DIG", 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY DIGGING.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY PROVIDED BY EXCEL ENGINEERING, INC. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN DIGGING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TRENCHING AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- ALL GRADING, UTILITY, AND ANY IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL, LANDSCAPE MULCH, OR SEED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH ALL CONTRACTORS ON SITE TO MINIMIZE REDO OF COMPLETED LANDSCAPE WORK, AND DAMAGE TO PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN LAYOUT WORK. IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING IN ALL TURF AND LANDSCAPE AREAS.
- PRIOR TO BEGINNING WORK THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE PLANS SHALL BE CORRECTED BEFORE PLACING ANY PLANTS OR TOPSOIL.
- CONTRACTOR SHALL NOTIFY ENGINEER IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL SPECIFIED PLANT MATERIAL IN ACCORDANCE WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" AS WELL AS THE METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TREE AND LANDSCAPE BEDS SHALL HAVE A MINIMUM 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH FREE OF DELETERIOUS MATERIAL AND SUITABLE FOR TOP DRESSING TREES, SHRUBS, AND PERENNIALS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- AREAS TO RECEIVE SEED SHALL BE RIPPED AND SPREAD WITH TOPSOIL, 4" DEEP, TO PROVIDE A REASONABLY SMOOTH AND UNIFORM SURFACE.
- FERTILIZER AND/OR LIME SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDING PREPARATION. IF A SOIL TEST IS NOT REQUIRED, FERTILIZER AND/OR LIME SHALL BE APPLIED ACCORDING TO THE SEED MANUFACTURER'S RECOMMENDATIONS. IF A SOIL TEST IS REQUIRED, APPLY FERTILIZER AND/OR LIME IN ACCORDANCE TO THE SOIL REPORT.
- LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH THE ESTABLISHMENT AND MAINTENANCE OF THE LAWN.
- LANDSCAPE CONTRACTOR SHALL SEED ALL EXISTING LAWNS AREAS DISTURBED BY CONSTRUCTION. REPAIR LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, & WEEDS.
- HYDRO-SEED REPAIRED LAWN AREAS WITH THE FOLLOWING GRASS SEED MIX AT A RATE OF 5 LB. PER 1,000 SFT., OR APPROVED EQUAL:
20% AWARD KENTUCKY BLUEGRASS (85 PERCENT MINIMUM GERMINATION)
20% BARON KENTUCKY BLUEGRASS (85 PERCENT MINIMUM GERMINATION)
20% RAMBO KENTUCKY BLUEGRASS (85 PERCENT MINIMUM GERMINATION)
15% MASSAU KENTUCKY BLUEGRASS (85 PERCENT MINIMUM GERMINATION)
15% NIGHTHAWK PERENNIAL RYE (90 PERCENT MINIMUM GERMINATION)
10% CREEPING RED FESCUE (85 PERCENT MINIMUM GERMINATION)
- LANDSCAPE CONTRACTOR SHALL ENSURE PROPER WATERING OF PLANTED AND SEEDING AREAS BEFORE, DURING, AND AFTER INSTALLATION INCLUDING THE WARRANTY PERIOD.
- THE LANDSCAPE CONTRACTOR SHALL WARRANT ALL PROVIDED AND INSTALLED PLANT MATERIAL FROM DEATH AND UNSATISFACTORY GROWTH FOR A PERIOD OF ONE YEAR FROM SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL REPLACE ALL DEAD PLANT MATERIAL IMMEDIATELY DURING THE PROPER PLANTING SEASON. PLANT MATERIAL MORE THAN 25% DEAD AT THE END OF THE WARRANTY PERIOD SHALL BE REPLACED. REPLACEMENTS SHALL BE LIMITED TO ONE PER PROVIDED AND INSTALLED PLANT UNLESS THE LANDSCAPE CONTRACTOR FAILS TO COMPLY WITH ANY OR ALL REQUIREMENTS.

TREE BRACING SCHEDULE

DECIDUOUS	EVERGREEN	BRACING TECHNIQUE
LESS THAN 2" CAL.	UNDER 6"	2 STAKES
2 1/2" OR GREATER CAL.	6"-8"	3 ANCHORS & CABLE

PLANT LIST

KEY	QUAN	DECIDUOUS TREE - BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SYMBOL
ARA	3	ACRE RUBRUM "AUTUMN FLAME"	AUTUMN FLAME MAPLE	2.5" CAL. MIN.	B&B	(Symbol)
CBF	7	CARPINUS BETULUS "FASTIGIATA"	FASTIGIATE EUROPEAN HORNBEEAM	2.5" CAL. MIN.	B&B	(Symbol)

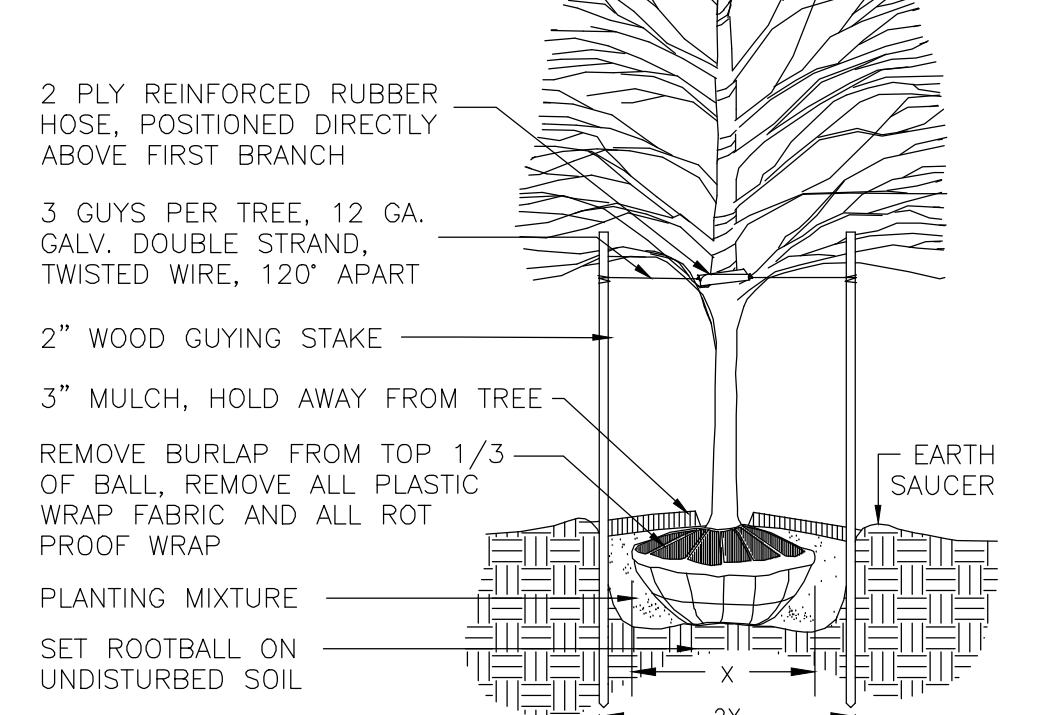
KEY	QUAN	EVERGREEN SHRUB - BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SYMBOL
IGC	39	ILEX GLABRA "CHAMZIN" NORDIC	NORDIC INKBERRY HOLLY	24" HT. MIN.	30" O.C.	(Symbol)
JCP	5	JUNIPERUS CHINENSIS "FITZGERIANA C."	COMPACT FITZGER JUNIPER	24" HT. MIN.	48" O.C.	(Symbol)
TOB	52	THUJA OCCIDENTALIS "BOBAZAM"	BOBAZAM GLOBE ARBORVITAE	24" HT. MIN.	30" O.C.	(Symbol)
TOT	6	THUJA OCCIDENTALIS "TECHNY"	TECHNY ARBORVITAE	48" HT. MIN.	48" O.C.	(Symbol)

KEY	QUAN	DECIDUOUS SHRUB - BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SYMBOL
SPM	31	SYRINGA PATULA "MISS KIM"	MISS KIM MANCHURIAN LIAC	24" HT. MIN.	30" O.C.	(Symbol)

KEY	QUAN	PERENNIAL - BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SYMBOL
HMS	42	HEMEROCALLIS "MINI STELLA"	MINI STELLA DAYLILLY	No.1	18" O.C.	(Symbol)
CxA	15	CALAMAGROSTIS X ACUTIFLORA "OVERDAM"	VARIEGATED FEATHER REED GRASS	No.1	24" O.C.	(Symbol)

NOTES:

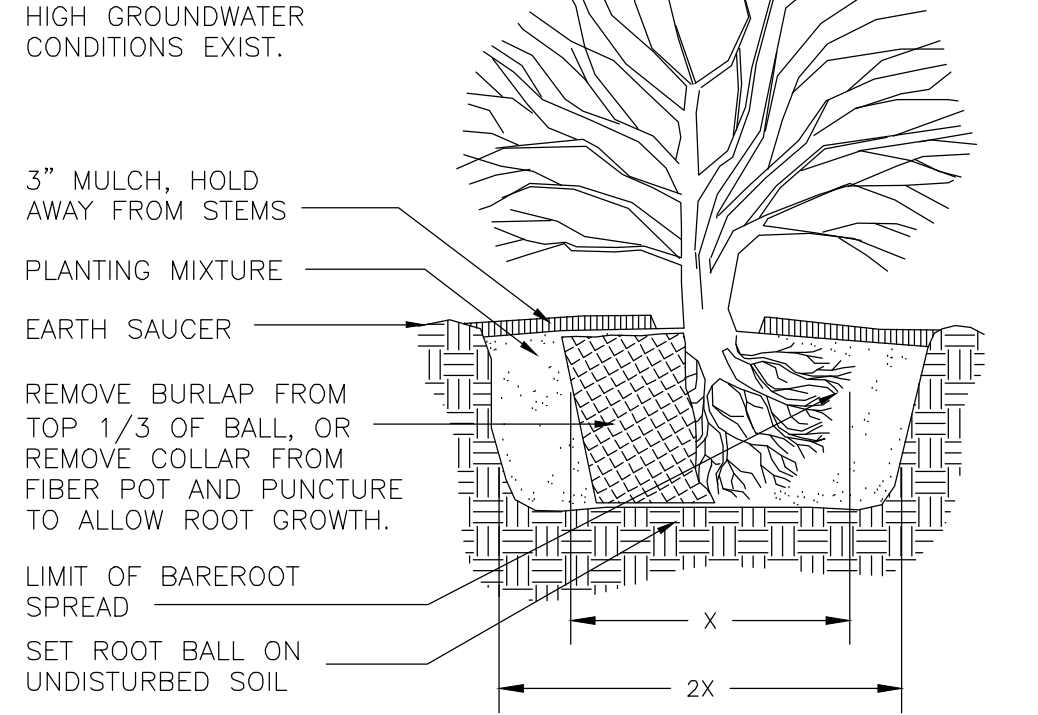
DO NOT CUT LEADER
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY, UNLESS HIGH GROUNDWATER CONDITIONS EXIST.



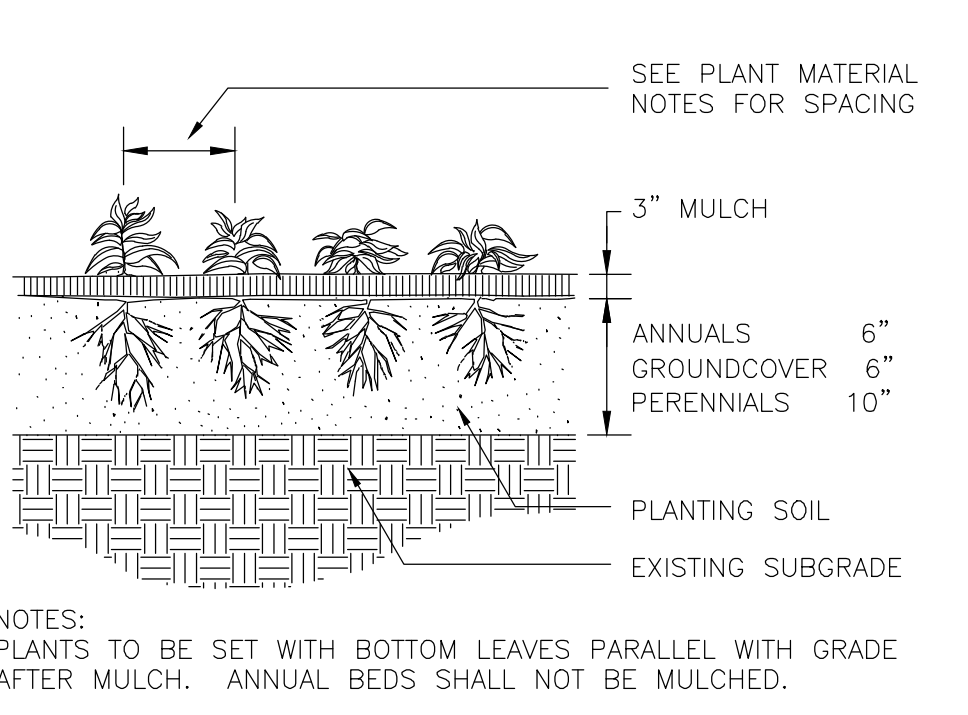
TREE PLANTING NOT TO SCALE

NOTES:

DO NOT TRIM EVERGREENS (APPLY WILT PROOF FIRST WINTER)
SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY, UNLESS HIGH GROUNDWATER CONDITIONS EXIST.



SHRUB PLANTING NOT TO SCALE



GROUND COVER & PERENNIAL PLANTING NOT TO SCALE



Know what's below.
Call before you dig.

QDOBA LANDSCAPE PLAN FOR OUTLOT
FOR: SOUTHWIND RESTAURANTS, LLC
ATT: KEVIN EGNATUK
109 EAST BROADWAY
MT. PLEASANT, MI 48858
IN: PART OF THE SE 1/4, SECTION 5, T2N, R5E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

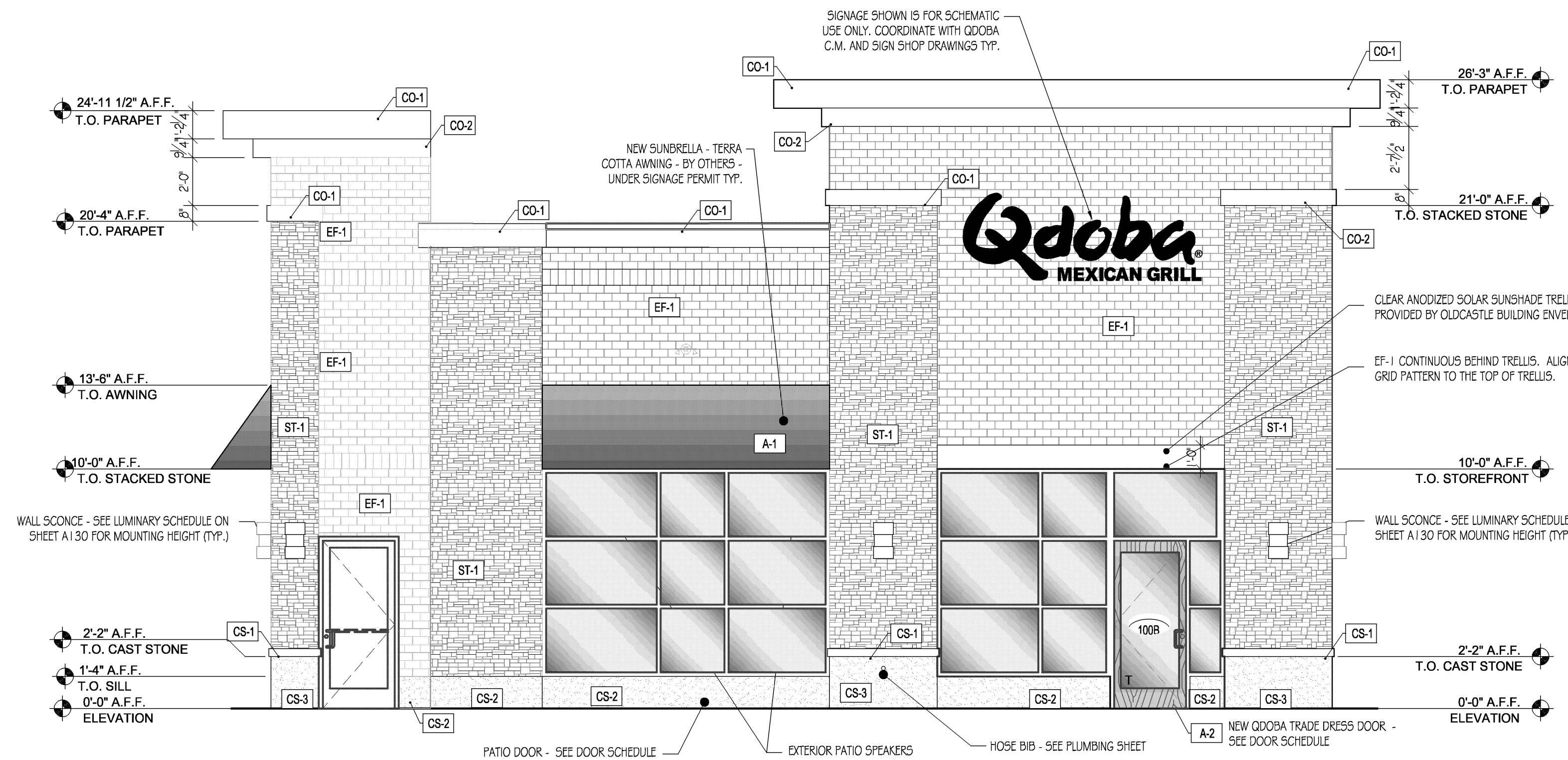
REVISIONS:

10/24/13	REVISED PER PC REVIEW
08/07/13	FOR SITE PLAN SUBMITTAL

exel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 Fax: (616) 531-2121
www.excelengineering.com

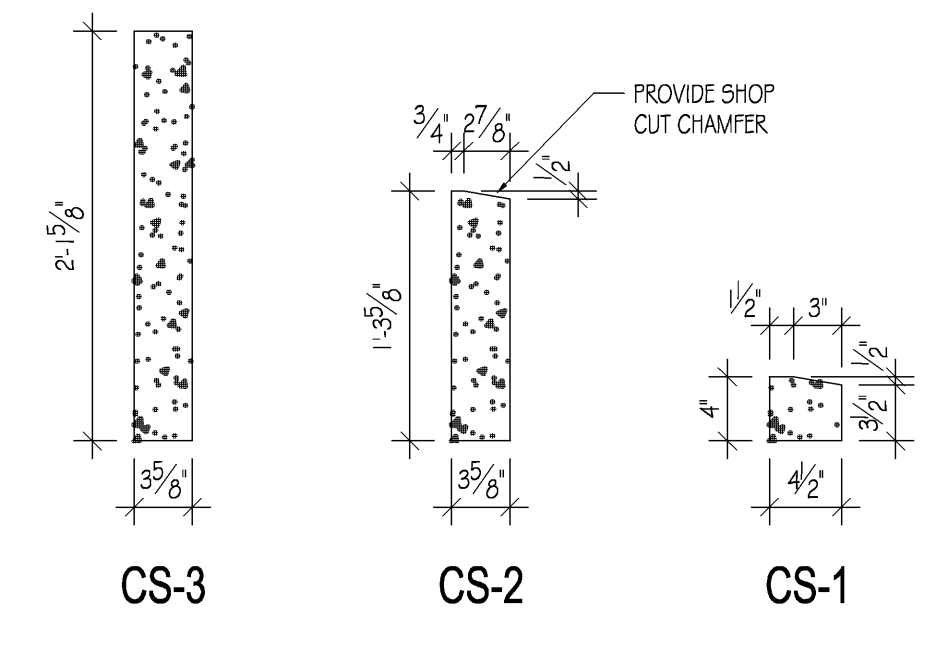
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APPROVED BY: [Signature]
FILE NO.: 131393E
PROJ. ENG.: DDG
PROJ. SURV.:
DATE: 7/31/2013

SHEET 1 of 1



C1 EXTERIOR ELEVATION (WEST)

Scale: 1/4" = 1'-0"

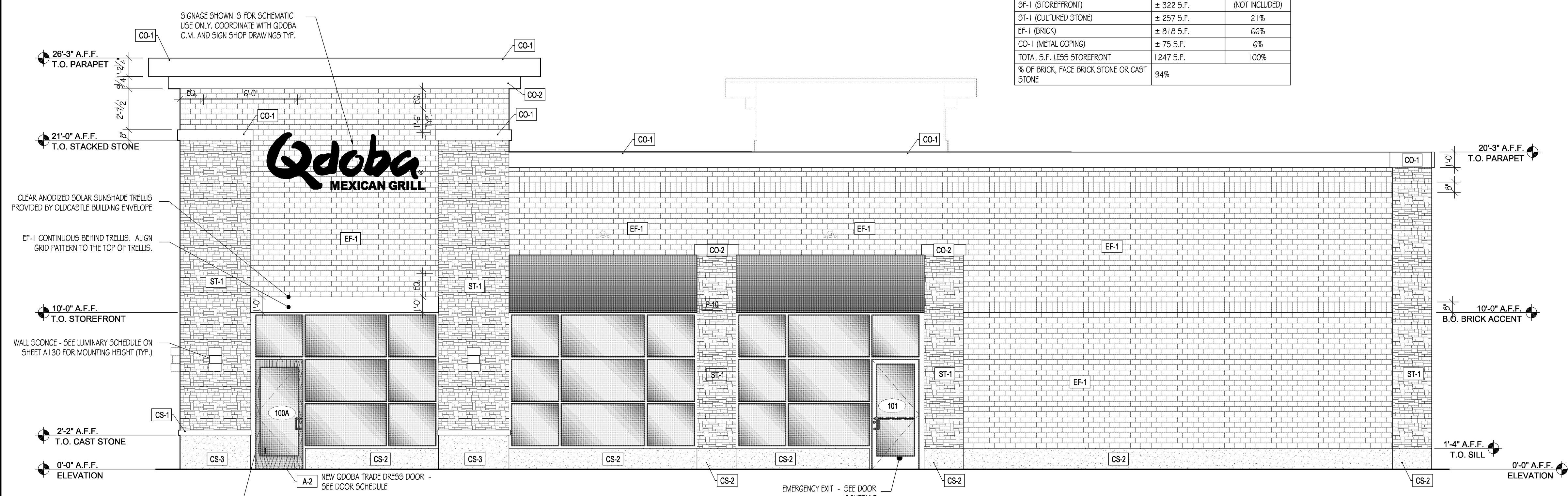


D3 CAST STONE PROFILES

Scale: 1" = 1'-0"

FINISH % WEST FACE		
FINISH TYPE	AREA	%
CS-1, CS-2 & CS-3 (CAST STONE)	± 72 S.F.	9%
SF-1 (STOREFRONT)	± 222 S.F.	(NOT INCLUDED)
ST-1 (CULTURED STONE)	± 289 S.F.	36%
EF-1 (BRICK)	± 379 S.F.	46%
METAL COPING	± 52 S.F.	7%
TOTAL S.F. LESS STOREFRONT	792 S.F.	100%
% OF BRICK, FACE BRICK STONE OR CAST STONE		93%

EXTERIOR FINISH SCHEDULE (March 07, 2013)			
TAG #	DESCRIPTION:	LOCATION(S):	NOTES:
EXTERIOR PAINT			
P-10	MANUFACTURER: SHERWIN-WILLIAMS MATERIAL: LATEX PAINT COLOR: PURE WHITE #9W7005 FINISH: SATIN	BUILDING TRIM	TO BE USED WHEN PAINTING EXISTING ELEMENTS.
P-11	MANUFACTURER: SHERWIN-WILLIAMS MATERIAL: LATEX PAINT COLOR: CARN STONE #5W0026 FINISH: SATIN	BASE BUILDING	TO BE USED WHEN PAINTING EXISTING ELEMENTS.
EXTERIOR FINISH / STONE			
EF-1	MANUFACTURER: GC PROVIDED MATERIAL: BRICK COLOR: FINISH:	BASE BUILDING FIELD	
ST-1	MANUFACTURER: BORAL CULTURED STONE MATERIAL: PRO-FIT LEDGESTONE COLOR: ALUMIN FINISH: FF-8015	PILASTER	
CAST STONE			
CS-1	MANUFACTURER: MIDWEST CAST STONE MATERIAL: CAST STONE 5-05, 4" x 4 1/2" COLOR: I GAC FINISH:	CAST STONE SILL	
CS-2	MANUFACTURER: MIDWEST CAST STONE MATERIAL: CAST STONE T-04, 15 3/8" x 3 3/8" COLOR: I GAC FINISH:	CAST STONE BASE	
CS-3	MANUFACTURER: MIDWEST CAST STONE MATERIAL: CAST STONE T-06, 25 3/8" x 3 3/8" COLOR: I GAC FINISH:	CAST STONE BASE	
MISC			
A-1	MANUFACTURER: SUNBRELLA MATERIAL: FABRIC COLOR: TERRACOTTA FINISH:	QDOBA AWNINGS	
A-2	MANUFACTURER: OLDCASTLE BUILDING ENVELOPE MATERIAL: ALUMINUM COLOR: CLEAR ANODIZED FINISH:	SOLAR SUNSHADE TRELLIS	CONTACT: OLDCASTLE BUILDING ENVELOPE, RANDI SCHIEBER, (800) 869-4567, RSchieber@OldcastleBE.com.
A-3	MANUFACTURER: SUNBRELLA MATERIAL: FABRIC COLOR: TAN STYLE 4 1 6 FINISH:	ADJACENT TENANT AWNINGS	
CO-1	MANUFACTURER: GC PROVIDED MATERIAL: ALUMINUM COLOR: NATURAL FINISH:	PARAPET CAP - METAL FLASHING	
CO-2	MANUFACTURER: GC PROVIDED MATERIAL: ALUMINUM COLOR: NATURAL FINISH:	PARAPET CAP - METAL FLASHING	
SF-1	MANUFACTURER: GC PROVIDED MATERIAL: ALUMINUM - DOUBLE PANE LOW E GLAZING COLOR: CLEAR ANODIZED FINISH:	STOREFRONT	

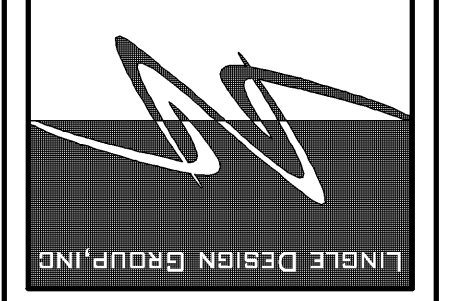


A1 EXTERIOR ELEVATION (SOUTH)

Scale: 1/4" = 1'-0"

FINISH % WEST FACE		
FINISH TYPE	AREA	%
CS-1, CS-2 & CS-3 (CAST STONE)	± 97 S.F.	8%
SF-1 (STOREFRONT)	± 322 S.F.	(NOT INCLUDED)
ST-1 (CULTURED STONE)	± 257 S.F.	21%
EF-1 (BRICK)	± 818 S.F.	66%
CO-1 (METAL COPING)	± 75 S.F.	6%
TOTAL S.F. LESS STOREFRONT	1247 S.F.	100%
% OF BRICK, FACE BRICK STONE OR CAST STONE		94%

LINGLEDISIGNGROUP, INC.
WEST MAIN STREET
LENA, IL 61108 158
PHONE: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDISIGN.COM



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PRELIMINARY
NOT FOR CONSTRUCTION

Qdoba MEXICAN GRILL
3883 East Grand River Avenue
Howell, Michigan 48843-8564

REVISIONS:	DATE:	DESCRIPTION:
#	08/09/13	ISSUED FOR PLANNING REVIEW
	09/06/13	REVISED PER ZONING COMMENTS

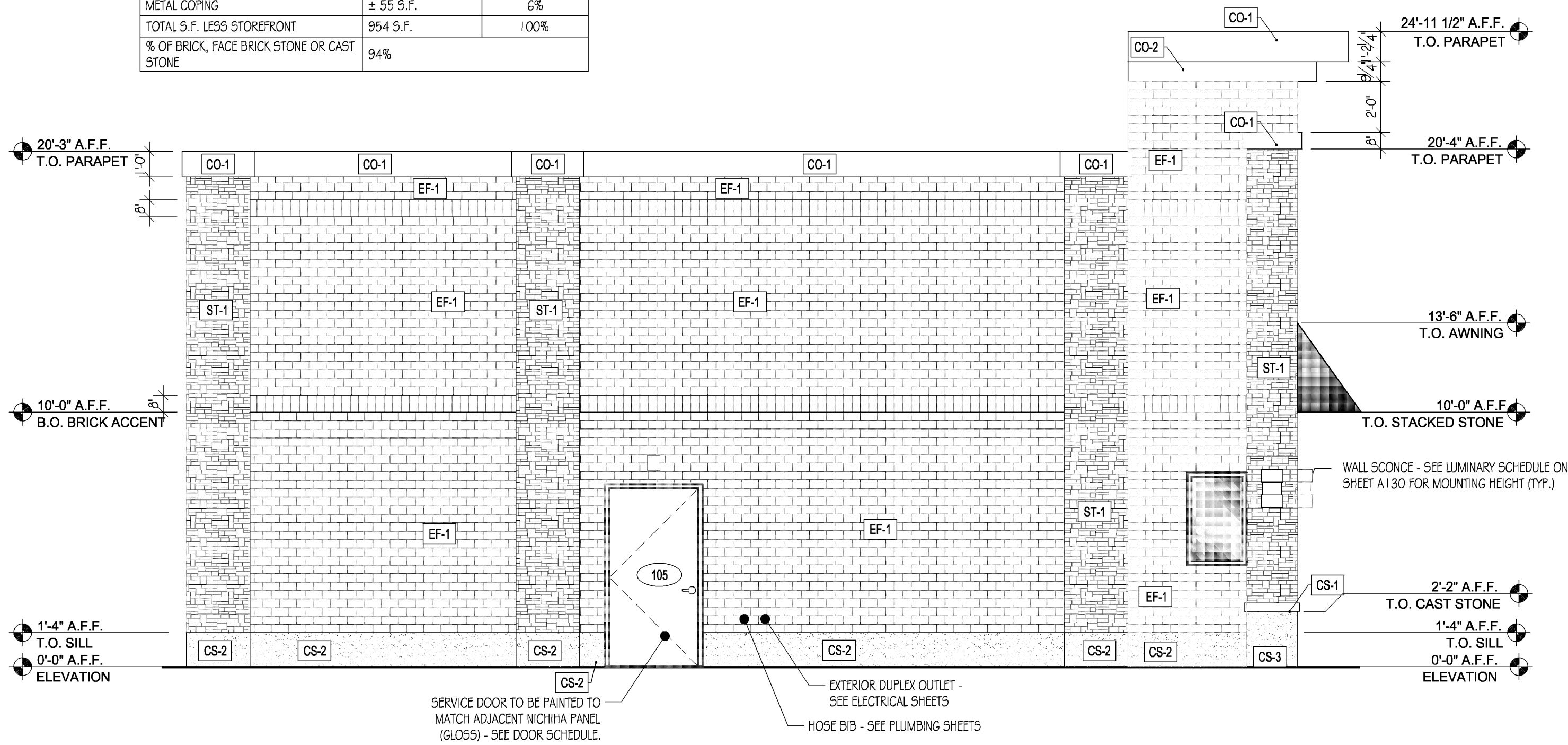
PROJECT NUMBER: 13-048
DRAWN BY: JTC
CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A200

FINISH % EAST FACE

FINISH TYPE	AREA	
CS-1, CS-2 & CS-3 (CAST STONE)	± 61 S.F.	6%
SF-1 (STOREFRONT)	± 222 S.F.	(NOT INCLUDED)
ST-1 (CULTURED STONE)	± 120 S.F.	13%
EF-1 (BRICK)	± 710 S.F.	74%
METAL COPING	± 55 S.F.	6%
TOTAL S.F. LESS STOREFRONT	954 S.F.	100%
% OF BRICK, FACE BRICK STONE OR CAST STONE	94%	

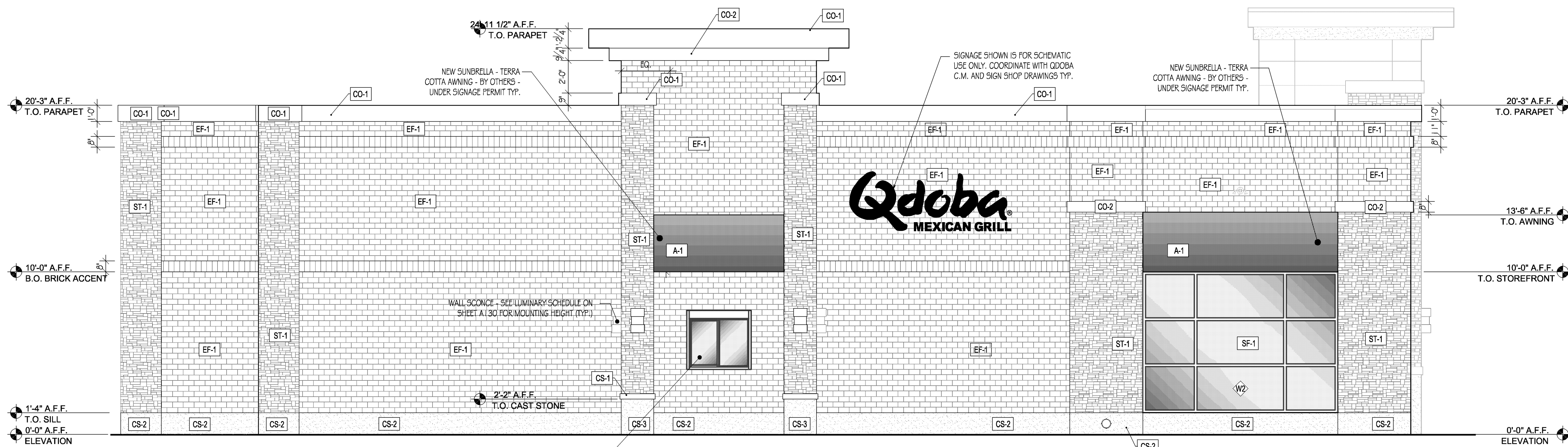


C1 EXTERIOR ELEVATION (EAST)

Scale: 1/4" = 1'-0"

FINISH % NORTH FACE

FINISH TYPE	AREA	
CS-1, CS-2 & CS-3 (CAST STONE)	± 94 S.F.	7%
SF-1 (STOREFRONT)	± 147 S.F.	(NOT INCLUDED)
ST-1 (CULTURED STONE)	± 229 S.F.	17%
EF-1 (BRICK)	± 952 S.F.	70%
METAL COPING	± 90 S.F.	7%
TOTAL S.F. LESS STOREFRONT	1365 S.F.	100%
% OF BRICK, FACE BRICK STONE OR CAST STONE	93%	



A1 EXTERIOR ELEVATION (NORTH)

Scale: 1/4" = 1'-0"

Qdoba MEXICAN GRILL Qdoba Logo Parasol Specifications 2007

UMBRELLA: 7'0" Hexagon 'Baymaster' Aluminum market umbrella for COMMERCIAL APPLICATION. Satin Anodized Finish with Silver Polymer Hubs, stainless steel hardware, 100% replaceable parts. 94" Center Pole. Manual lift with stainless steel security pin. Silver Polymer finish.

CANOPY FABRIC: SUNBRELLA 9.25oz Marine Grade Fabric #4622 Terracotta. Valance profile with terracotta binding on valance. Reinforced Vent & Pocket Construction. White Qdoba logo all valances.

BASE: 20" round, 65 lb aluminum, concrete filled base, powder coated black with stainless steel security plate and "star" handle security knob. Higher wind applications: 24" round, 95 lb aluminum, concrete filled base, powder coated black with stainless steel security plate and "star" handle security knob.

****NOTE:** Add 4" to head clearance when used with ACF base

Cambi #801 Designer: Alan Robinson

DETAILS

H	BW	TS	Lbs
29.5"	25"	32"	33

Outdoor/Indoor Umbrella Table
Umbrella Hole Dia. 1 9/16"
E-coated powder coat finish
Made in Italy

Top: Extended Steel Mesh
Base: Tubular Steel Legs
Assembly Required: Yes

Quick Ship Finishes:
Aluminum Antique Iron Antique Bronze Antique Black

Special Order Ship Finishes:
White Antique Red Antique Green Antique Blue

SHIPPING

Master Pack Quantity: 1
Master Pack Dimensions: 35"x5"x42"
Master Pack Weight: 35 Lbs.
Density: 9
Master Cartons/Pallet: 15
Freight Class: 85
FOB: PA 17042

emuamericas.com
T: (800) 726-0368 F: (800) 970-7708
www.emuamericas.com

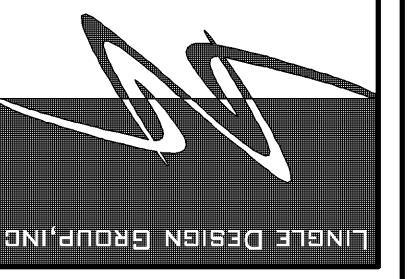
Ronda #116 Design: A. Ciabatti

Item # 116 Patented Outdoor/Indoor Stacking Armchair
Frame: Tubular Steel
Seat/Back: Steel Mesh
Finish: See Price List
Foot Caps: PVC
Weight Each: 12 Lbs.
Units Per Box: 6
Box Volume: 21 cubic ft.

Ronda # 119

emuamericas.com
T: (800) 726-0368 F: (800) 970-7708
www.emuamericas.com

LINLEDESIGNGROUP, INC
WEST MAIN STREET
LENA, IL 61048 158
PHONE: 815-369-9155
FAX: 815-369-4495
WWW.LINLEDESIGN.COM



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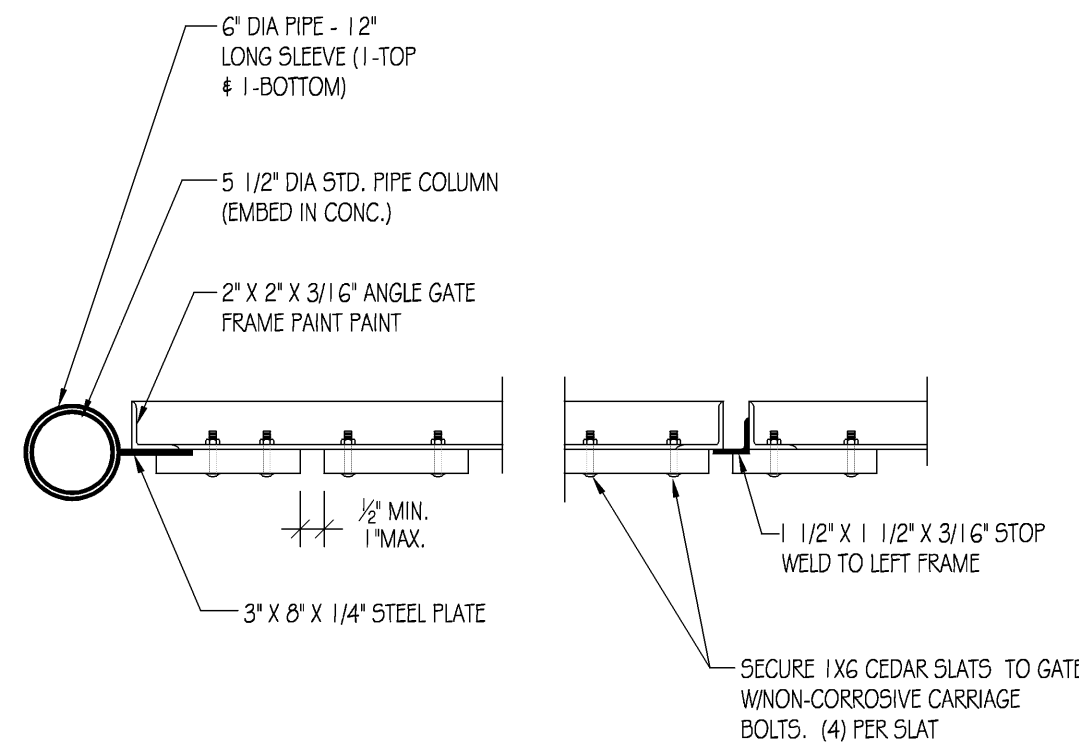
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2	09/06/13	REVISED PER ZONING COMMENTS

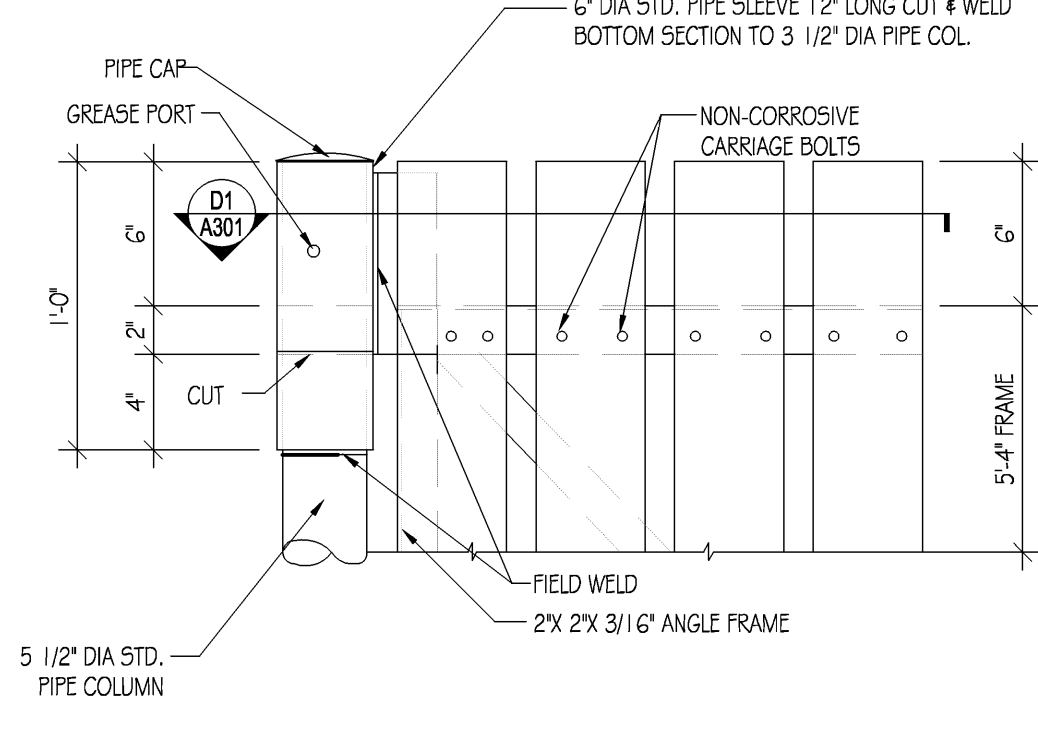
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DRAWN BY: JTC
CHECKED BY:

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EXTERIOR ELEVATIONS

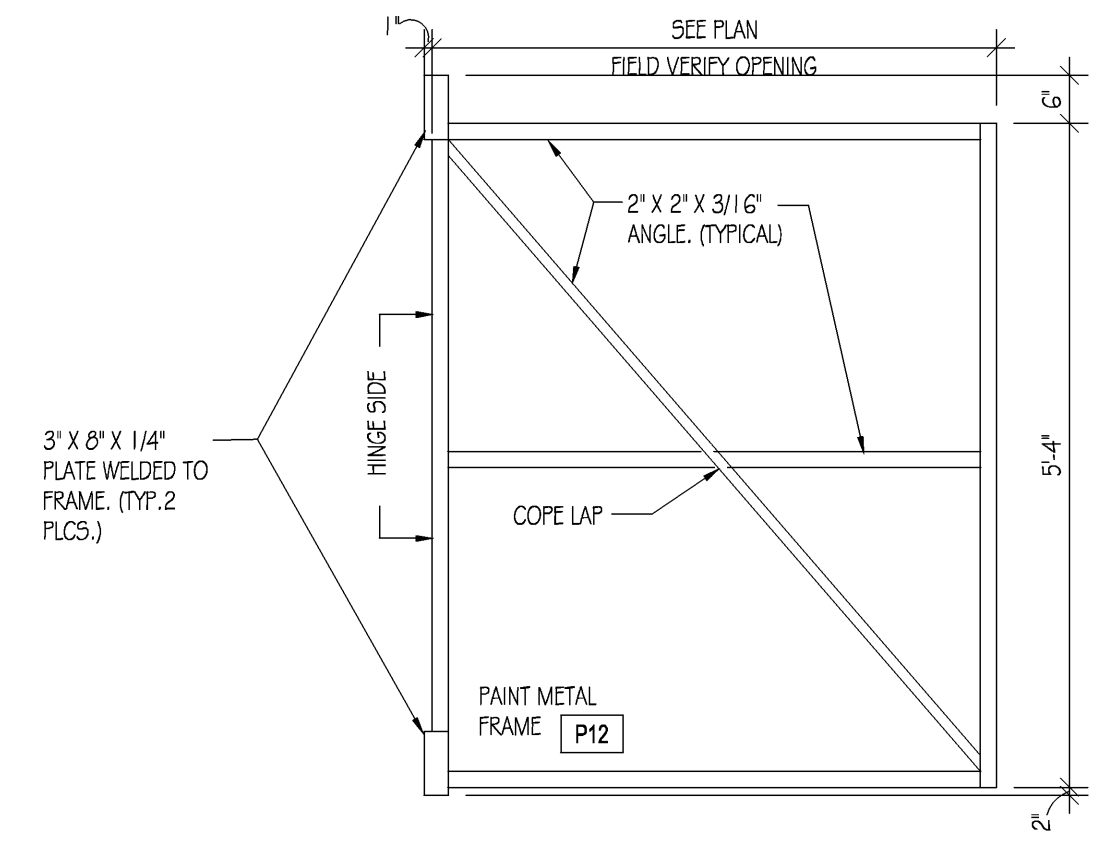
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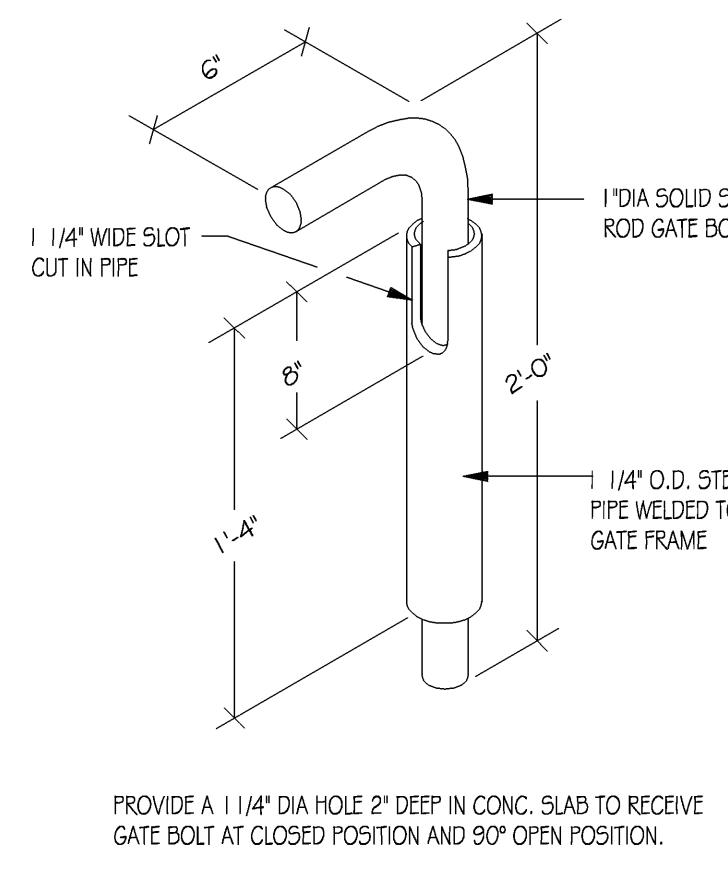
D1 GATE DETAIL - TOP VIEW
Scale: 1/4" = 1'-0"



D2 GATE DETAIL - FRONT VIEW
Scale: 1/4" = 1'-0"



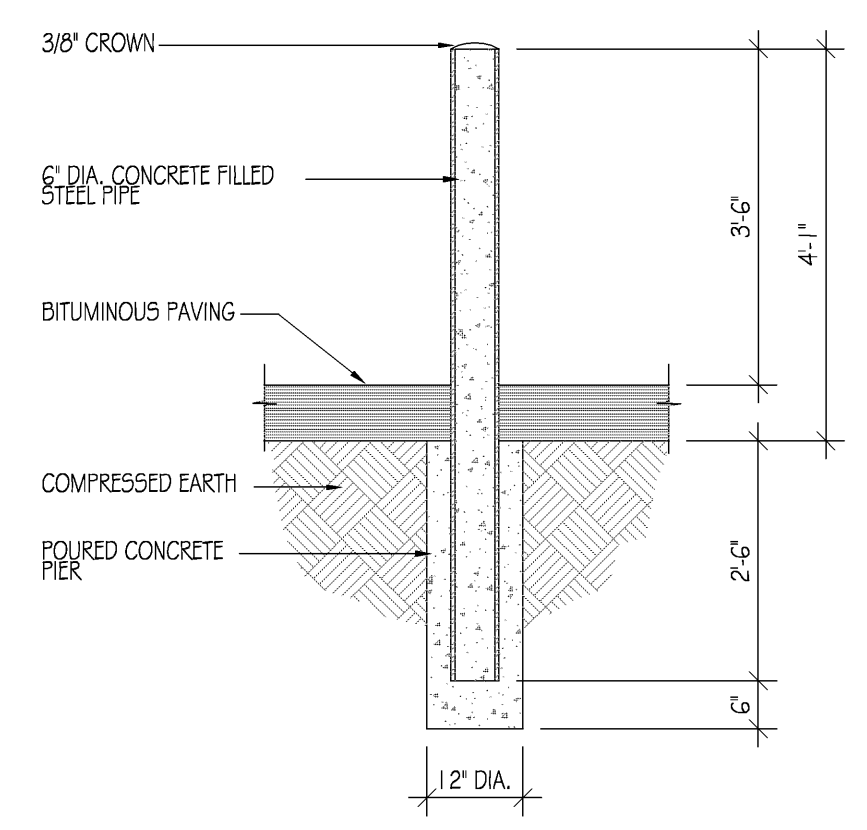
D3 GATE DETAIL - FRAME
Scale: 1/4" = 1'-0"



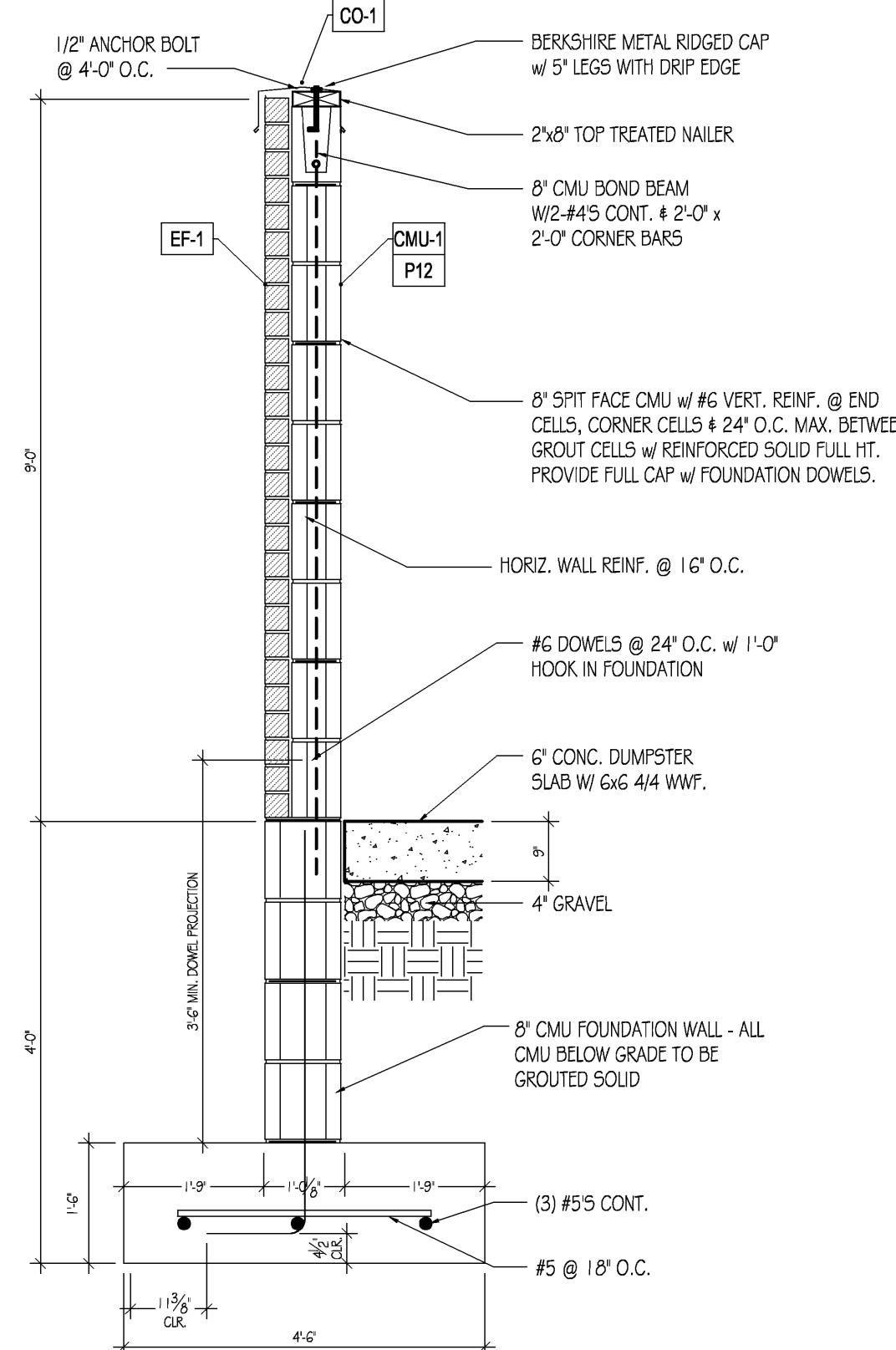
D4 GATE DETAIL - CANE BOLT
Scale: N.T.S.

EXTERIOR FINISH SCHEDULE			
Tag #	Description:	Location(s):	Notes:
CO-1	Manufacturer: GC Provided Material: Aluminum Color: White	METAL RIDGE CAP	
P11	Manufacturer: Sherwin-Williams Material: Latex Paint Color: Caen Stone #SW0028	TRASH ENCLOSURE - EXTERIOR	
P12	Manufacturer: Glidden Professional Material: Latex Paint Color: Deep Onyx #00N 077000	TRASH ENCLOSURE - INTERIOR, BOLLARDS, AND METAL DOOR FRAMES + HINGES	
S-1	Manufacturer: Material: WFP Cedar Planks Color: Western Red Cedar Finish/Seal: Natural #EV15) WRCLA1	CEDAR PLANKS	
EF-1	Manufacturer: GC PROVIDED Material: Brick Color:	TRASH CORRAL WALLS	

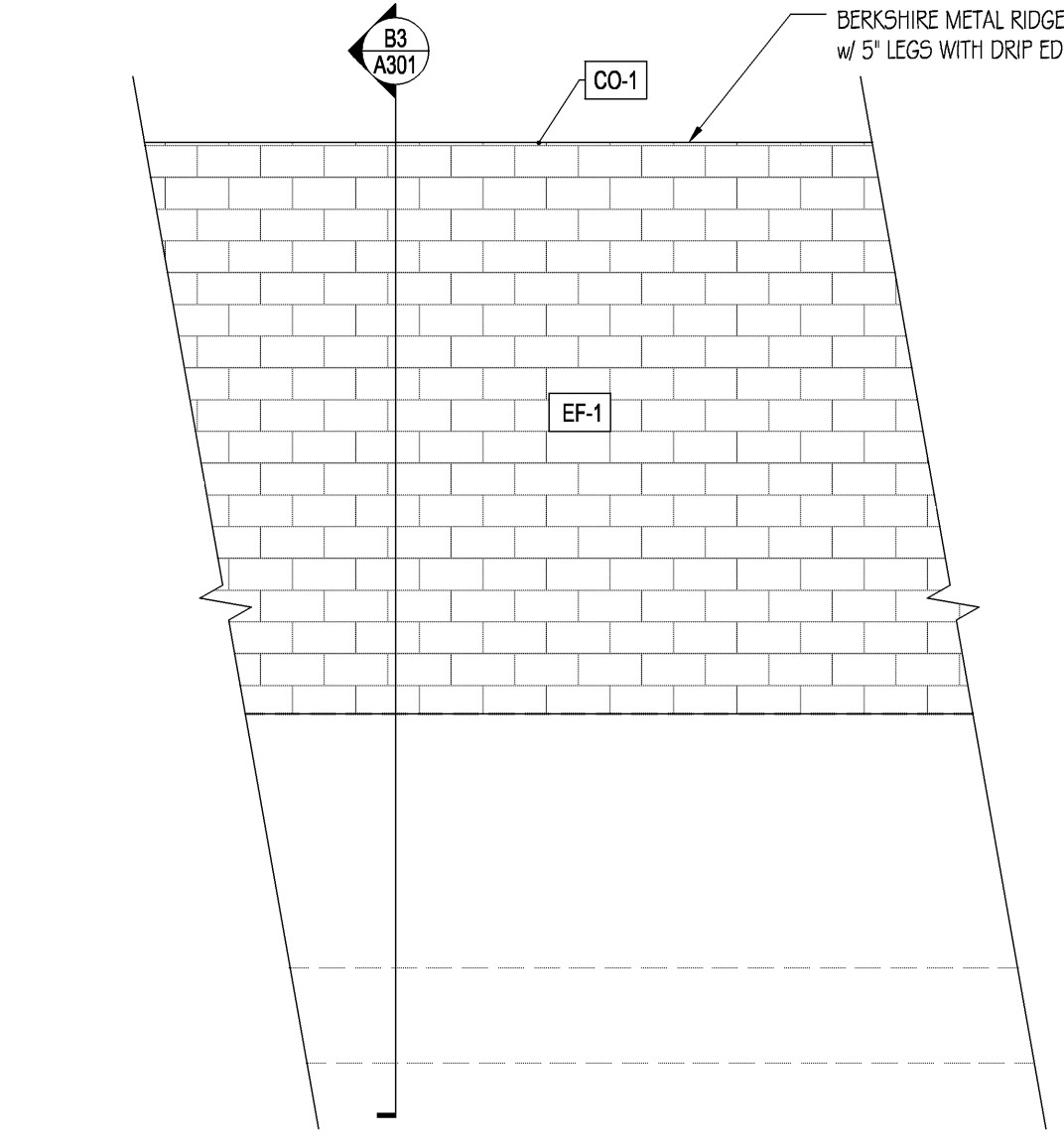
- GENERAL NOTES**
- GENERAL CONTRACTOR SHALL VERIFY DUMPSTER REQUIREMENTS WITH LOCAL AUTHORITIES AND COORDINATE WITH INDICATED DIMENSIONS.
 - GENERAL CONTRACTOR TO BUILD PER SITE PLAN LAYOUT.
 - DUMPSTER HARDWARE AND INSIDE DUMPSTER ENCLOSURE TO BE PAINTED WITH LOW GLOSS BLACK. SEE EXTERIOR FINISH SCHEDULE.



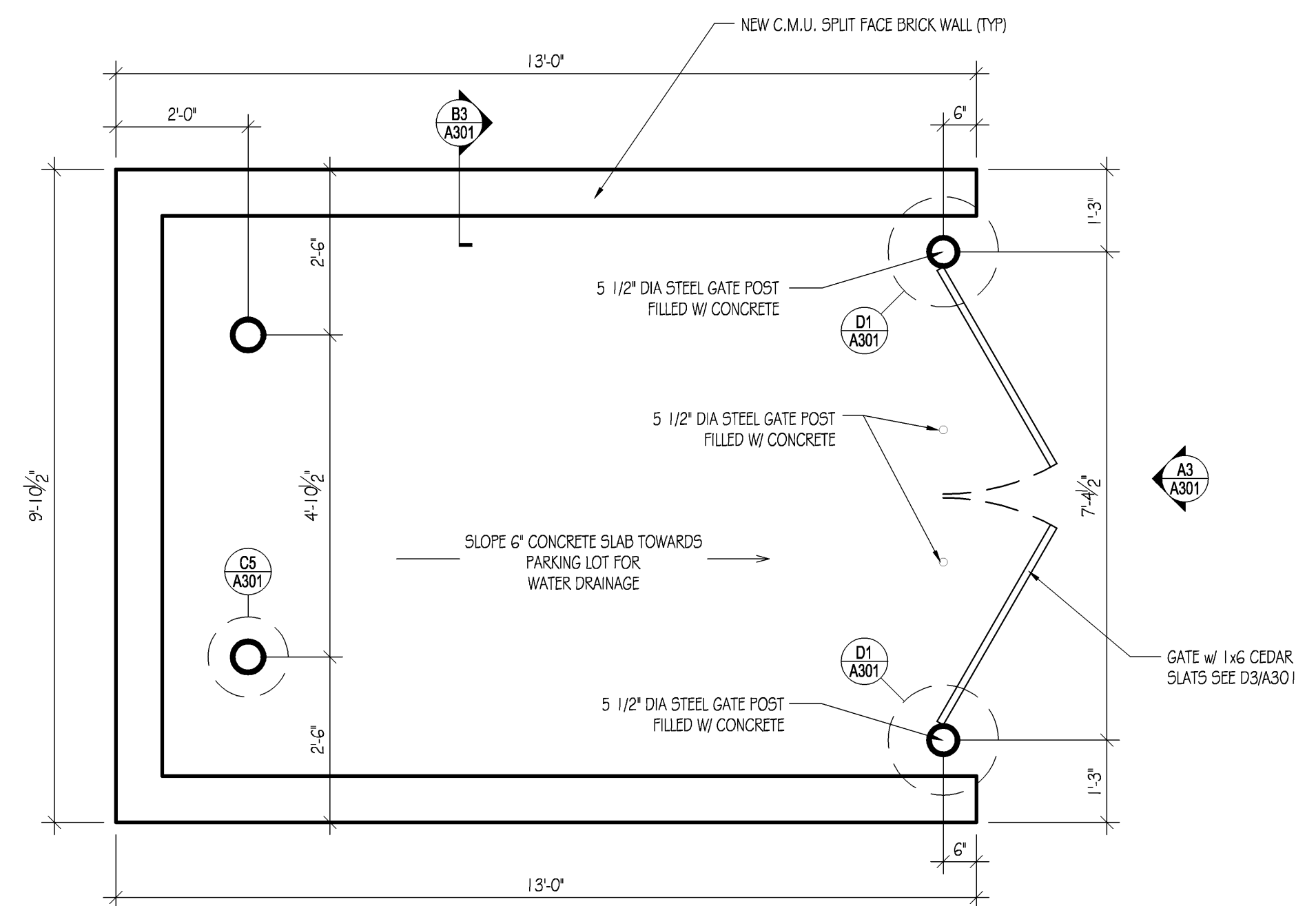
C5 TYPICAL TRASH ENCLOSURE ELEVATION
Scale: 1/2" = 1'-0"



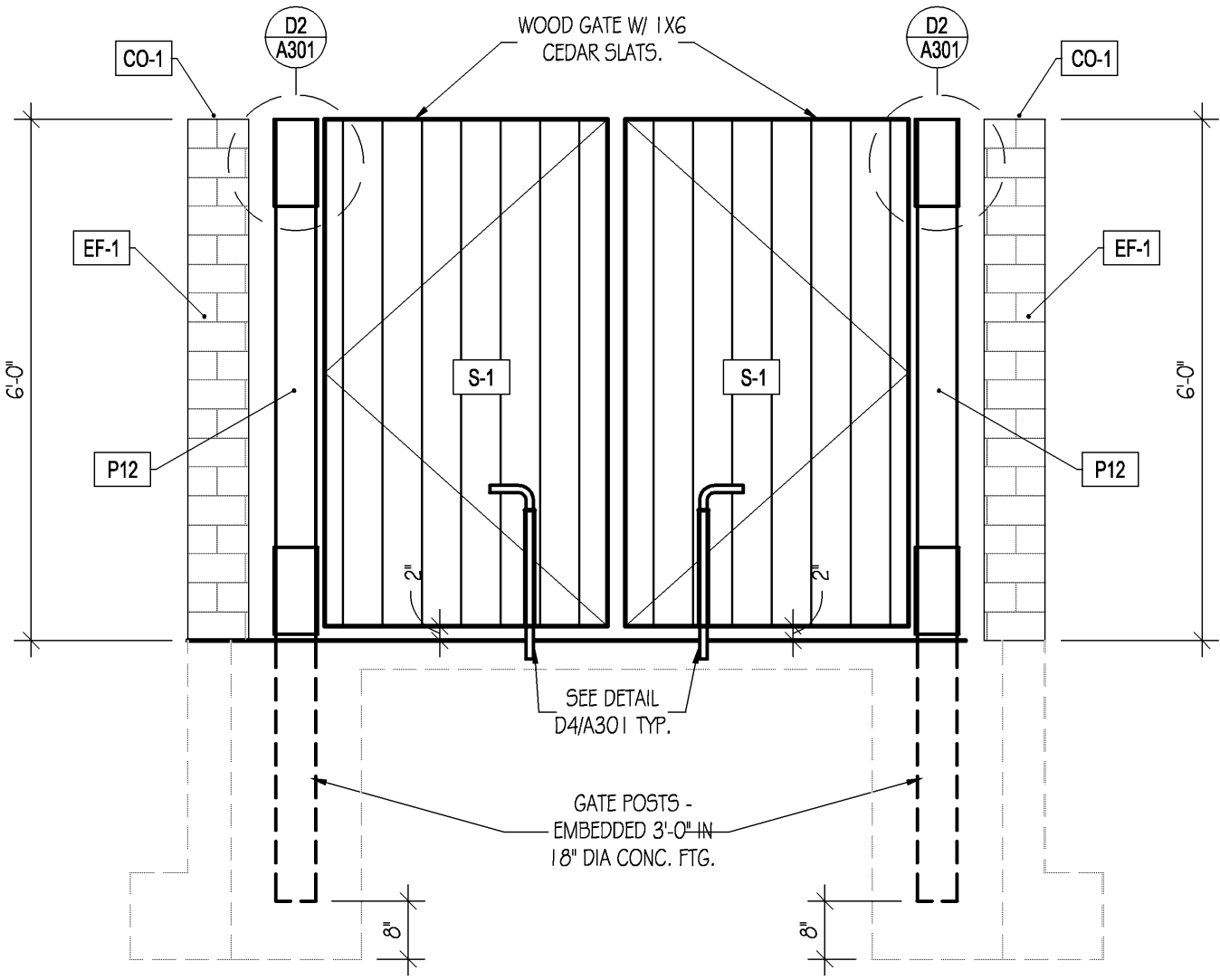
B3 TRASH ENCLOSURE WALL SECTION
Scale: 3/4" = 1'-0"



B4 TYPICAL TRASH ENCLOSURE ELEVATION
Scale: 1/2" = 1'-0"

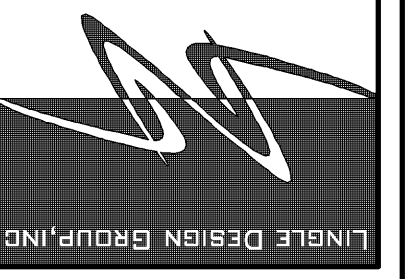


A1 ENLARGED DUMPSTER PLAN
Scale: 1/2" = 1'-0"



A3 TRASH ENCLOSURE ELEVATION
Scale: 1/2" = 1'-0"

LINGLEDISIGNGROUP, INC.
WEST MAIN STREET
LENA, IL 61048 158
PHONE: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDISIGN.COM



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PRELIMINARY
NOT FOR CONSTRUCTION

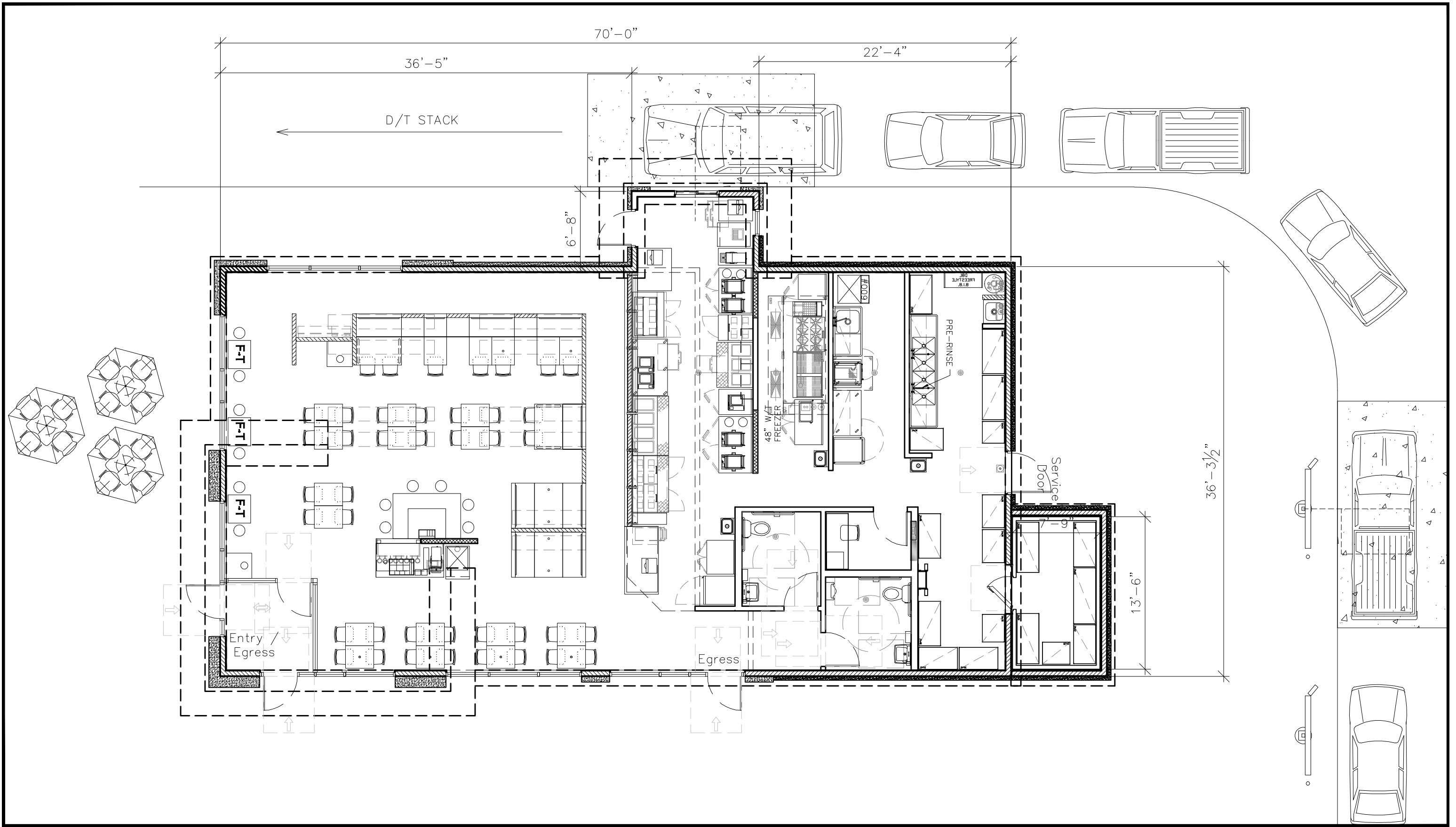
Gooba
MEXICAN GRILL
3883 East Grand River Avenue
Howell, Michigan 48843-8564

REVISIONS:	DATE:	DESCRIPTION:
#		
	08/09/13	ISSUED FOR PLANNING REVIEW
	09/06/13	REVISED PER ZONING COMMENTS
	10/23/13	REVISED PER OWNER COMMENTS

PROJECT NUMBER: 13-048
DRAWN BY: JTC
CHECKED BY:

SHEET TITLE:
ENLARGED TRASH ENCLOSURE PLAN

SHEET NUMBER:
A301



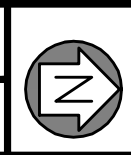
PROJ. NO.: 13-0449
 DATE: 10/28/13
 SHEET # 010

Schematic
 2602 Sq Ft
 70 Seats
 12 Patio Seats



OWNER / TENANT:
 Jonroe

SCALE:
 1/8" = 1'-0"



LINBLE DESIGN GROUP

158 WEST MAIN ST,
 LENA, IL 61048

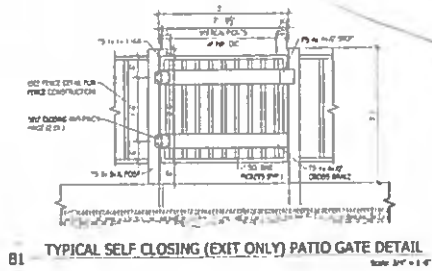
PH: 815-369-9155
 FAX: 815-369-4495
 WWW.LINBLEDESIGN.COM



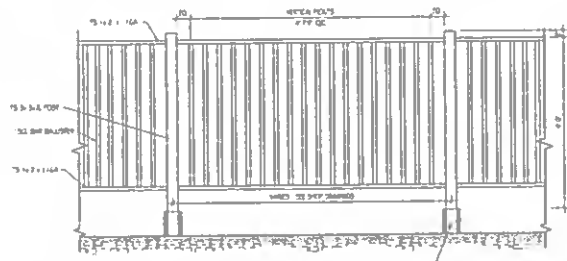
6912

Handicapped
Parking
Only

EXAMPLE OF SPEC

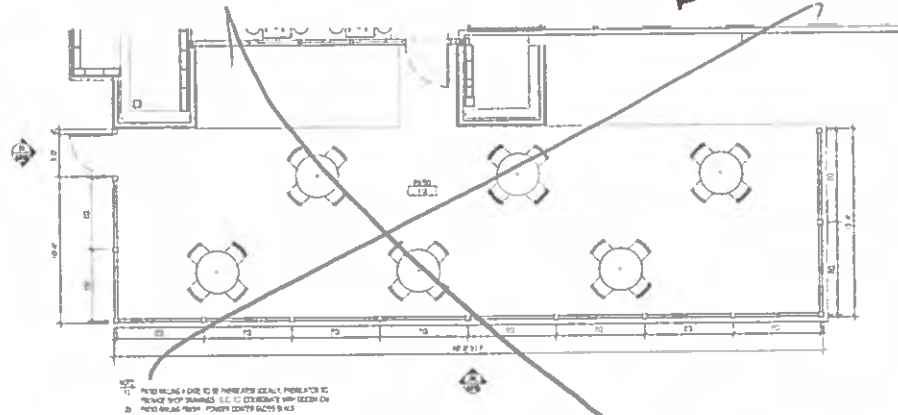


B1 TYPICAL SELF-CLOSING (EXIT ONLY) PATIO GATE DETAIL
Scale: 3/4" = 1'-0"



A1 TYPICAL PATIO FENCE DETAIL
Scale: 3/4" = 1'-0"

Do NOT USE THIS LAYOUT



A3 PATIO PLAN
Scale: 3/4" = 1'-0"

GENOA TOWNSHIP

OCT 28 2013

GENOA TOWNSHIP
3452 Fairlane Drive
Allen Park, MI 48106
Phone: 313.289.2300
Fax: 313.289.2301



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Allen Park, MI 48106
Phone: 313.289.2300
Fax: 313.289.2301

Genoa
TOWNSHIP
3452 Fairlane Drive
Allen Park, MI

PROJECT NUMBER	11100
DATE	10/28/13
DESIGNER	GENOA TOWNSHIP
CHECKED BY	JC

SHEET TITLE
PATIO PLAN

SHEET NUMBER
A310



Job Name:
Qudoba Howell
Distributor: Graybar Electric/GR (Walker)

Catalog Number:
D136/A028/150MH/120/BLK/SLL-FDR
Notes:

Type:
SA
MLS13-42715



A028 Series

800.364.0098 • Fax: 281.997.5441 • www.amerluxexterior.com

Description

The **A028 Series** consists of an efficient Type III (**T3**) or Type V (**T5**) refractive acorn combined with one of several styles of cast aluminum fitters.

Installation

The luminaire will mount to a 3" OD post or tenon with 5/16" black oxide coated stainless steel square head set screws to ensure a solid connection. The diffuser will be held to the fitter by (4) 5/16" black oxide coated stainless steel captive square head set screws.

Electrical

- High power factor ballast (HPF), core and coil type, pre-wired and tested
- Easy ballast pod access
- 4KV pulse rated porcelain socket
- Suitable for wet location

Diffuser choices

- Acrylic Type III (**AC-T3**)
- Acrylic Type V (**AC-T5**)
- Polycarbonate Type III (**PC-T3**)
- Polycarbonate Type V (**PC-T5**)

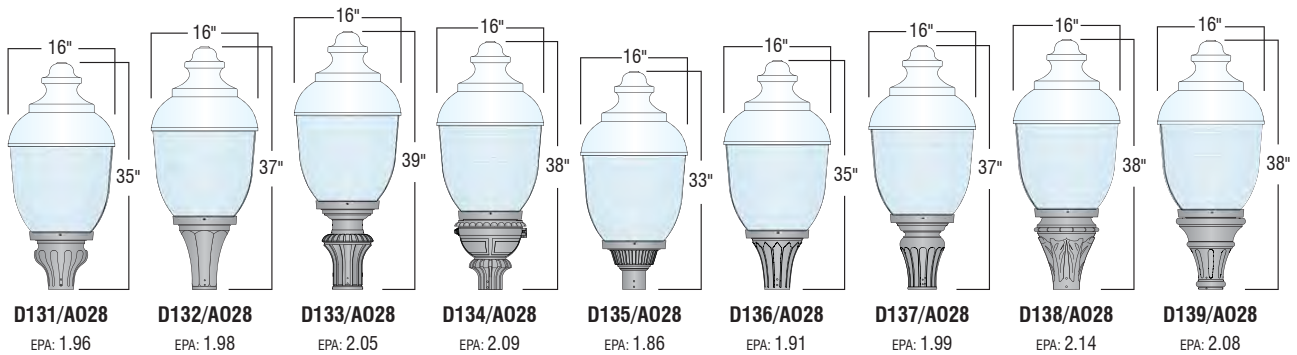
Finish

Premium quality thermoset polyester powdercoat (see Finish Selection)

D136/A028/AC-T5/BB-FW/CFIN



With optional SLL-FDR (T5 only)



Ordering Guide

Fitter	Diffuser	Diffuser Material	Light Distribution	Light Source	Voltage	Finish	Options
D136/A028	/ AC-T5	/	T3	100HPS - 120v	/	BLK	/ SLL-FDR / CFIN
		PC	T3	100MH,150MH	208v	CLB,GRN	HSS,PCL
				175MH-PS,250MH-PS	240v	WHT,TBK	LL,SLL
				150HPS,250HPS	277v	ATC,GTG	BB-FW

Additional light sources, voltages, and custom colors are available. Contact factory for details.

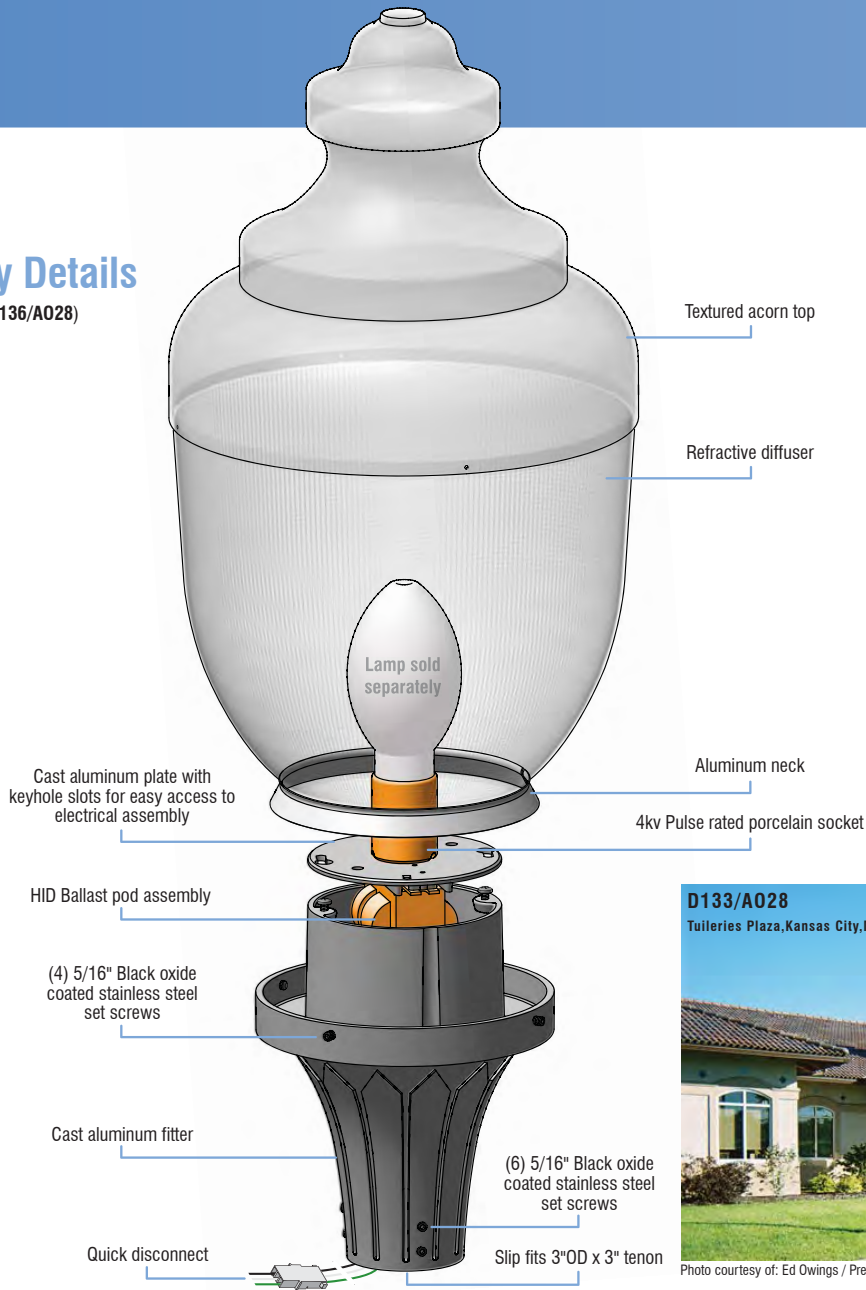
Light Sources

Wattage	Socket Type
50MH,70MH,100MH,150MH	Medium
175MH-PS,250MH-PS	Mogul
50HPS,70HPS,100HPS	Medium
150HPS,250HPS	Mogul
PL-13	2-pin
CFL 26,32,or 42	4-pin

A028 Series

Assembly Details

(Example: D136/A028)



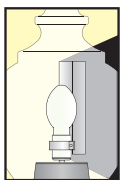
D133/A028
Tuileries Plaza, Kansas City, MO



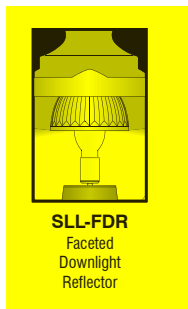
Photo courtesy of: Ed Owings / Premier Lighting



Options



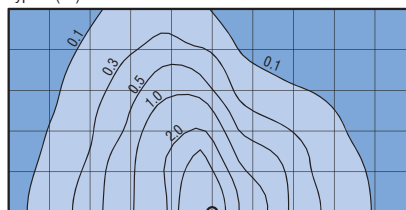
HSS
House
Side
Shield



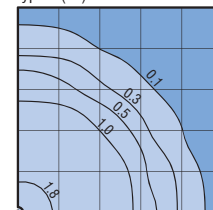
SLL-FDR
Faceted
Downlight
Reflector

Standard Photometry

Type III (T3)



Type V (T5)



A028 Assembly
Typical HID light source
14,000 Lumen
12' Mounting Height
Grid Spacing is 12'



Job Name:
 Qudoba Howell
 Distributor: Graybar Electric/GR (Walker)

Catalog Number:
 D136/A028/150MH/120/BLK/SLL-
 FDR
 Notes:

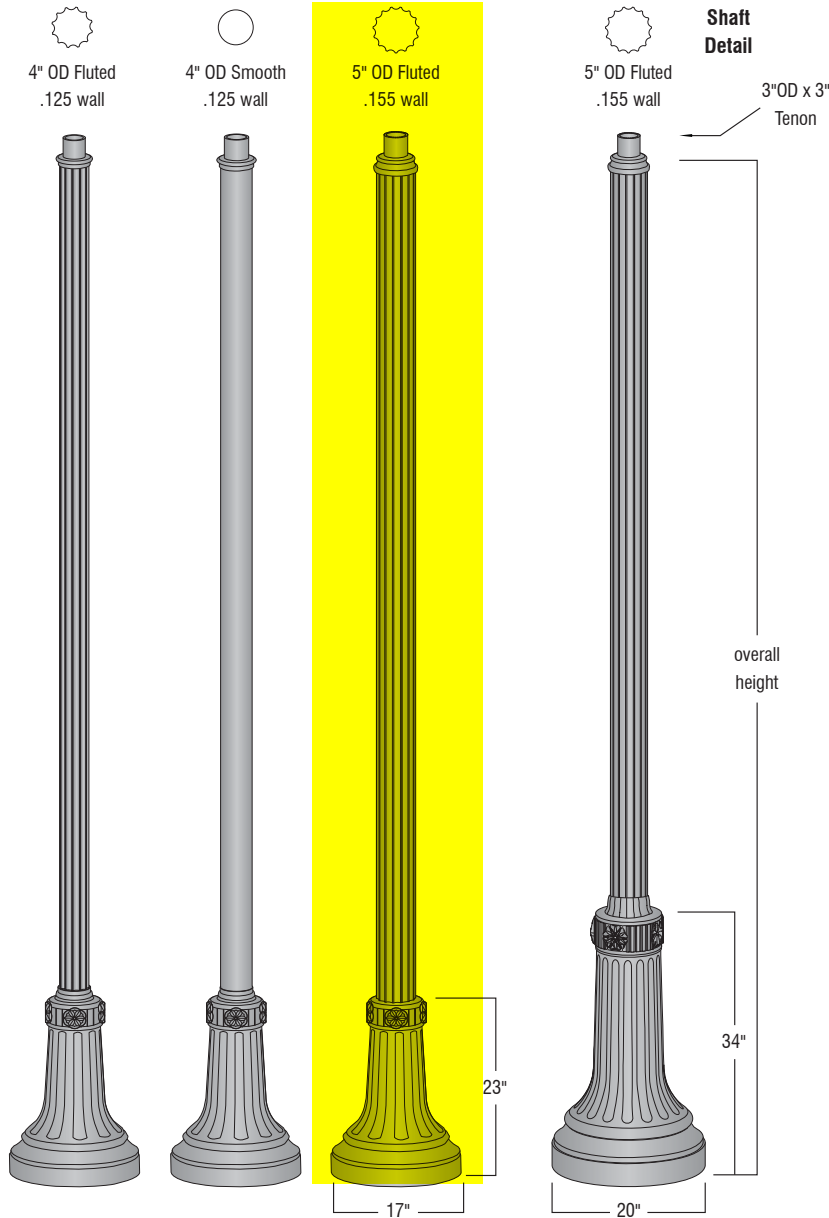
Type:
SA
 MLS13-42715

amerlux
GLOBAL LIGHTING SOLUTIONS
 exterior

800.364.0098

Fax: 281.997.5441

www.amerluxexterior.com



San Diego Series

Features

17" or 20" diameter tapered and fluted cast aluminum base

Choice of extruded shafts
 4" OD smooth round (.125 wall)
 4" OD fluted (12 flat flutes .125 wall)
 5" OD fluted (15 flat flutes .155 wall)

Extruded shaft is circumferentially welded to the base

3" tenon for luminaire mounting

Strong yet lightweight for ease of installation

Galvanized anchor bolts included

Access door for anchor bolts and wiring is secured with tamper resistant stainless steel screws

Ground lug provided inside base

Capable of supporting multiple light brackets

Materials

Base - Cast aluminum (A319)

Shaft - Extruded Aluminum (6005-T5)

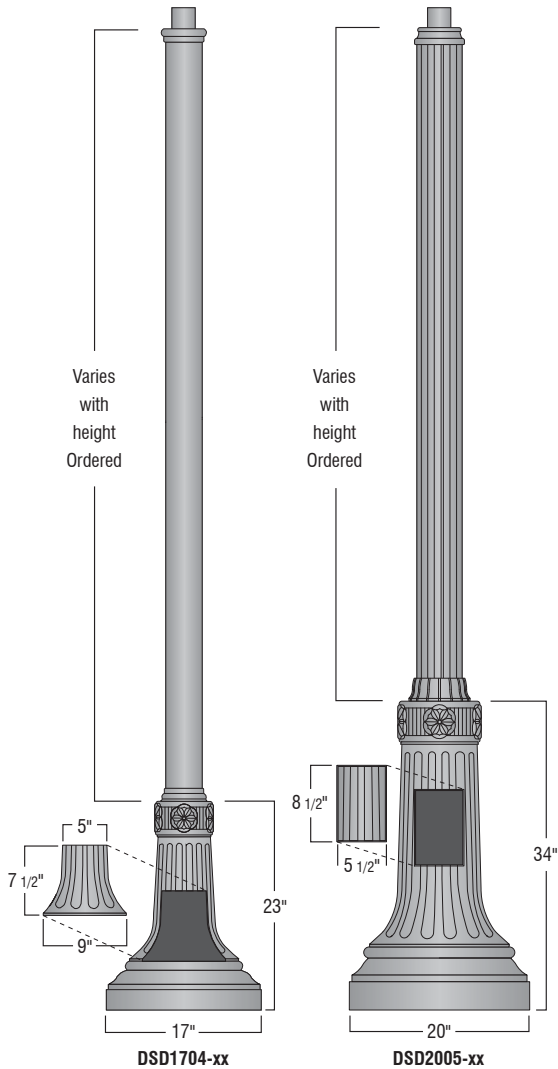
Tenon - Cast aluminum (A319)

Anchor Bolts - Hot dipped galvanized steel



DSD1703-xx	DSD1704-xx	DSD1705-xx		DSD2005-xx	overall height
DSD1703-08	DSD1704-08	DSD1705-08	7'-8"	DSD2005-10	9'-8"
DSD1703-10	DSD1704-10	DSD1705-10	9'-8"	DSD2005-12	11'-8"
DSD1703-12	DSD1704-12	DSD1705-12	11'-8"	DSD2005-14	13'-8"
DSD1703-14	DSD1704-14	DSD1705-14	13'-8"	DSD2005-15	14'-8"
		DSD1705-15	14'-8"	DSD2005-16	15'-8"

San Diego Series



Finish

The post will be finished with an electrostatically applied thermoset polyester powder coat. Prior to finishing, the parts are thoroughly cleaned using both abrasive and chemical methods. Our powder coat finish is durable, long lasting, attractive and scratch resistant as well as environmentally friendly. We offer 7 stock finishes or hundreds of special order colors including custom matching for existing projects (stock colors shown below).

Standard solid colors are:

- GRN** - Green
- CLB** - Classic Bronze
- TBK** - Textured Black
- BLK** - Satin Black

Premium finishes are:

- GTG** - Granite Green
- ATC** - Antique Copper
- WHT** - White

Accessories See "Accessories" section for more information



PCL
Dusk to dawn photocell Available for 120v (PCL) or 208-277v (PCL multi).



Banner Arms
Field rotatable or fixed location banner arms.



GFCI
Ground fault circuit protected duplex outlet. Available Recess mounted (GFCI-RM) as shown or surface mount (GFCI-SM).



Street Signage
Several mounting options and custom signs available. See guide in accessories section.

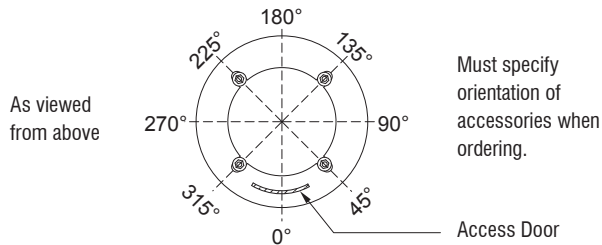


LR
Cast aluminum decorative ladder rest. Slip fits 3"o.d. pole or tenon (not designed to support ladder).

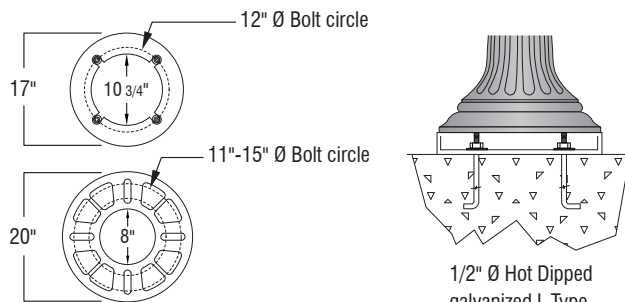


FPH-4 or FPH-5
Extruded aluminum holder for 1" OD flag poles. Available for 4" OD and 5" OD non-tapered pole.

Accessory Orientation Guide



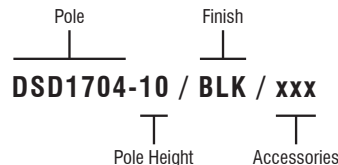
Anchor Details



Anchor bolts and templates can be requested prior to product shipment.

1/2" Ø Hot Dipped galvanized L-Type Anchor Bolts.
(4) Bolts at 90°

Ordering Guide





Job Name:
Qudoba Howell
Distributor: Graybar Electric/GR (Walker)

Catalog Number:
ARE-EHO-3M-AA-12-D-UL-BZ-
700MA
Notes:

Type:
C127

MLS13-42715

THE EDGE® ARE-EHO-3M-AA

High Output Area Luminaire - Type III Medium - Adjustable Arm Mount

Product Description

THE EDGE high output (HO) area luminaire is designed to deliver high lumen packages with precise optical control. Upgrade friendly unit features a slim, low profile design that minimizes wind load requirements and rugged die cast aluminum adjustable arm that mounts to a vertical 2" (51 mm) IP (2.375-3" [60-76mm] O.D.) tenon.

Performance Summary

Utilizes BetaLED® Technology

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)

Warranty: 5 years on luminaire/10 years on Colorfast DeltaGuard® finish

Accessories

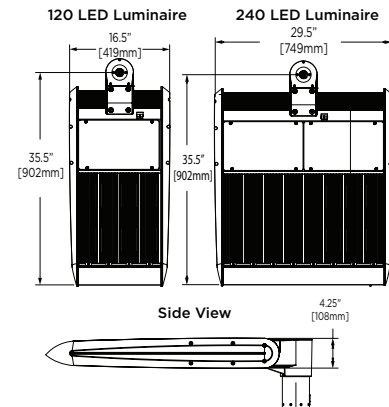
Field Installed Accessories

XA-BRDSPKXAK12

Bird Spikes for 120 LED luminaires

XA-BRDSPKXAK24

Bird Spikes for 240 LED luminaires



Ordering Information

Example: ARE-EHO-3M-AA-12-D-UL-SV-700-OPTIONS

ARE-EHO	3M	AA		D				
Product	Optic	Mounting	LED Count (x10)	Version	Voltage	Color Options	Drive Current	Options
ARE-EHO	3M Type III Medium	AA Adjustable Arm	12 24	D	UL Universal 120-277V UH Universal 347- 480V	SV Silver (Standard) BK Black BZ Bronze PB Platinum Bronze WH White	700 700mA 1000* 1000mA	40K 4000K Color Temperature - Color temperature per fixture DIM 0-10V Dimming - Control by others - Refer to dimming spec sheet for details - Can't exceed specified drive current F Fuse - When code dictates fusing, use time delay fuse R NEMA Photocell Receptacle - Photocell by others ML Multi-Level - Refer to ML spec sheet for details - Not available with 240 LEDs @ 1 Amp - Not available with UH voltage - Intended for horizontal mounting only UP Uplight Configuration - Product will be shipped orientated for upright installation

* Not available with UH voltage



Rev. Date: 8/28/2012



www.cree.com/lighting

T (800) 236-6800 F (262) 504-5415



Job Name:
Qudoba Howell
Distributor: Graybar Electric/GR (Walker)

Catalog Number:
ARE-EHO-3M-AA-12-D-UL-BZ-
700MA
Notes:

Type:
C127

MLS13-42715

High Output Area Luminaire - Type III Medium - Adjustable Arm Mount

Product Specifications

BETALED® TECHNOLOGY

Cree® THE EDGE® high output area luminaires are powered by BetaLED Technology delivering outstanding illumination, lasting performance and optimum energy efficiency. Patented NanoOptic® product technology optimizes target illumination, performance and offers flexibility with over 20 optic choices.

CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weather-tight LED driver compartments and high performance heat sinks
- Adjustable mounting arm is rugged die cast aluminum and mounts to 2" (51mm) IP (2.375-3" [60-76mm] O.D.) vertical tenon
- Extruded aluminum adjustable mounting shaft
- Luminaire is adjustable 45° towards fitter and 180° away from fitter
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Standard is silver. Bronze, black, white, and platinum bronze are also available

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

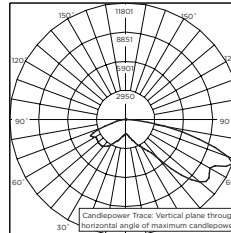
- cULus Listed
- Suitable for wet locations
- Consult factory for CE Certified products
- Pending ANSI C136.31-2001 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- RoHS Compliant
- Meets Buy American requirements within ARRA

PATENTS

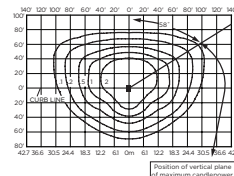
- Visit website for patents that cover these products:
Patents <http://www.cree.com/patents>

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by Independent Testing Laboratories, a NVLAP certified laboratory.



ITL Test Report #: 73524
ARE-EHO-3M-**-12-D-UL-1000-40K
Initial Delivered Lumens: 24,485



ARE-EHO-3M-**-12-D-UL-1000-40K
Mounting Height: 25' (7.6m)
Initial Delivered Lumens: 24,061
Initial FC at grade

IES Files

To obtain an IES file specific to your project consult:
<http://www.cree.com/lighting/tools-and-support/exterior-ies-configuration-tool>

Lumen Output, Electrical, and Lumen Maintenance Data

Type III Medium Distribution												
LED Count (x10)	5700K		4000K		System Watts 120-480V	TOTAL CURRENT						50K Hours Projected Lumen Maintenance Factor @ 15° C (59° F)**
	Initial Delivered Lumens	BUG Ratings* Per TM-15-11	Initial Delivered Lumens	BUG Ratings* Per TM-15-11		120V	208V	240V	277V	347V	480V	
700mA @ 25° C (77° F)												
12	19,997	B3 U0 G3	18,430	B3 U0 G3	279	2.32	1.34	1.16	1.01	0.80	0.58	91%
24	39,994	B4 U0 G4	36,860	B4 U0 G4	557	4.64	2.68	2.32	2.01	1.61	1.16	
1000mA @ 25° C (77° F)												
12	26,107	B4 U0 G4	24,061	B4 U0 G4	426	3.55	2.05	1.77	1.54	N/A	N/A	86%
24	52,214	B5 U0 G5	48,123	B5 U0 G5	851	7.09	4.09	3.55	3.07	N/A	N/A	

* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt.

** Projected L₈₀ (10K) Hours: >60,000. For recommended lumen maintenance factor data see TD-13

Weight and EPA

LED Count (x10)	Weight	EPA (Mounting Angle)								
		0°	10°	20°	30°	45°	60°	70°	80°	90°
12	45 lbs (20.4kg)	1.42	1.40	1.89	2.49	3.32	3.96	4.26	4.44	4.51
24	80 lbs (36.3kg)	1.42	2.09	3.23	4.32	5.82	6.99	7.53	7.86	7.97





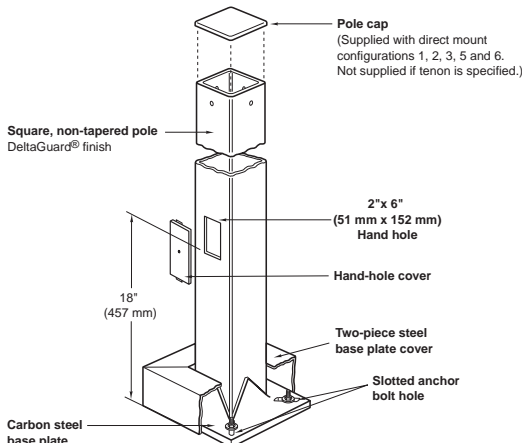
Job Name:
Qudoba Howell
Distributor: Graybar Electric/GR (Walker)

Catalog Number:
ARE-EHO-3M-AA-12-D-UL-BZ-700MA
Notes:

Type:
C127
MLS13-42715

PS Crown-Weld® Square Straight Steel Poles

Beta Catalog Number:



Notes:

Catalog Number	Height (feet) x Width (inches) x Wall (inches)	Bolt Circle/Range (inches)	Bolt Size (inches)	Pole "EPA" Ratings Pole Base Wind Velocity							Mount Configuration*	Color Options†	
				70	80	90	100	110	120	130			140
PS3S10C*†	10 x 3 x 0.125	10/9.3-11	3/4	31.4	23.6	18.2	14.3	11.5	9.3	7.0	6.3	1 - ■ Single ¹	BZ
PS3S15C*†	15 x 3 x 0.125	10/9.3-11	3/4	18.5	13.4	9.9	7.4	5.5	4.1	3.0	2.2	2 - ■ Twin @ 180° ¹	BK WH PB SV
PS3S20C*†	20 x 3 x 0.125	10/9.3-11	3/4	11.5	7.8	5.2	3.3	2.0	0.9	0.1	0.0	3 - ■ Twin @ 90° ¹	
PS4S10C*†	10 x 4 x 0.125	10/9.3-11	3/4	59.9	45.2	35.1	27.9	22.6	18.5	15.4	12.9	5 - ■ Triple ¹	
PS4S12C*†	12 x 4 x 0.125	10/9.3-11	3/4	48.4	36.2	27.9	21.9	17.5	14.2	11.6	9.5	6 - ■ Quad ¹	
PS4S15C*†	15 x 4 x 0.125	10/9.3-11	3/4	36.5	26.9	20.3	15.6	12.1	9.5	7.4	5.8	T Tenon ²	
PS4S17C*†	17 x 4 x 0.125	10/9.3-11	3/4	30.7	22.3	16.6	12.5	9.41	7.1	5.3	3.9		
PS4S20C*†	20 x 4 x 0.125	10/9.3-11	3/4	24.0	16.9	12.1	8.7	6.1	4.2	2.7	1.5		
PS4S22C*†	22 x 4 x 0.125	10/9.3-11	3/4	20.4	14.0	9.7	6.6	4.3	2.5	1.2	0.1		
PS4S25C*†	25 x 4 x 0.125	10/9.3-11	3/4	15.9	10.4	6.6	3.9	1.9	0.4	0.0	0.0		
PS4S25S*†	25 x 4 x 0.188	10/9.3-11	3/4	25.3	17.6	12.3	8.5	5.7	3.6	1.9	0.6		
PS4S27R*†	27 x 4 x 0.125	10/9.3-11	3/4	22.0	14.9	10.0	6.6	4.0	2.0	0.0	0.0		
PS4S30R*†	30 x 4 x 0.125	10/9.3-11	3/4	17.7	11.4	7.1	4.0	1.7	0.0	0.0	0.0		
PS4S30H*†	30 x 4 x 0.188	10/9.3-11	3/4	19.5	12.5	7.8	4.4	1.9	0.0	0.0	0.0		
PS5S25S*†	25 x 5 x 0.188	10/9.7-11.3	1	43.9	31.4	22.8	16.6	12.1	8.7	6.0	3.8		
PS5S30S*†	30 x 5 x 0.188	10/9.7-11.3	1	32.2	21.9	14.9	9.9	6.2	3.4	1.2	0.0		
PS6S30S*†	30 x 6 x 0.188	11.5/11.3-12.8	1	50.8	35.7	25.3	17.9	12.4	8.2	4.9	2.4		

Field-Installed Accessories



GFI Outlet Accessory - 120V
REC-GF1BZ REC-GF1PB
REC-GF1BK REC-GF1SV
REC-GF1WH

1-Direct mount pole configuration; add prefix "2" to conugation numbers for fixtures with Fixed 20" mount (i.e. "21", "22", "23", "25", "26") Example PS6S30S21BZ
2-Order tenon separately

General Description

Non-tapered square steel poles are supplied with welded base with cover, four galvanized anchor bolts, masonite mounting template and a pole cap (except tenon mount). Each anchor bolt is provided with two washers and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" (51 x 152 mm) hand hole, located 18" (457 mm) above bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside pole, opposite hand hole; a hand hole cover is supplied but shipped separately. In addition, 4" x 27" and 4" x 30" poles include an internal 5/16" steel reinforced sleeve welded inside the bottom 24" of the pole, as well as a reinforcement welded around the hand hole for added strength.

Materials

Square, non-tapered pole of structural steel tubing (ASTM A 500); with a minimum yield strength of 46,000 p.s.i. Welded to a formed carbon steel base plate with a minimum yield strength of 36,000 p.s.i.

Finish

Exclusive Colorfast DeltaGuard™ finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our 7 year limited warranty.

Labels

Beta Lighting square steel poles meet or exceed National Electrical Code Requirements. In the US, Beta square poles are classified by Underwriters Laboratories Inc. for electrical ground bonding; in Canada, they are CSA certified for electrical ground bonding and structural strength.

Patents

US 5,820,255; 6,640,517; Patent pending





Job Name:
 Qudoba Howell
 Distributor: Graybar Electric/GR (Walker)

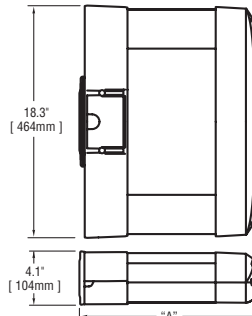
Catalog Number:
 SEC-EDG-3M-WM-06-D-UL-BZ-700MA
 Notes:

Type:
WM2
 MLS13-42715

SEC-EDG-3M-WM THE EDGE® LED Wall Pack Rev. Date: 8/30/11



Notes:



# of LEDs	Dim. "A"
20	11.91"
40	11.91"
60	13.91"
80	15.91"
100	17.91"
120	19.91"

Product	Family	Optic	Mounting	# of LEDs (x 10)	LED Series	Voltage	Color Options	Drive Current	Factory-Installed Options	
							Not Field Adjustable		Please type additional options in manually on the lines provided above.	
SEC	EDG	3M ¹ 3MB ²	WM ³	02 04 06 08 10 12	D	UL Universal 120-277V UH Universal 347-480V 12 120V 24 240V 27 277V 34 347V	SV Silver BK Black BZ Bronze PB Platinum Bronze WH White	350 350mA 525* 525mA 700* 700mA	43K 4300K Color Temperature ⁶ F Fuse ^{7,8,9} P Photocell ^{9,10} ML Multi-Level (75/525) ¹¹	

Footnotes

- IESNA Type III Medium distribution
- IESNA Type III Medium distribution w/ backlight control
- Wall mount
- Available on fixtures with 20-80 LEDs
- Available on fixtures with 20-60 LEDs
- Color temperature per fixture; 6000K standard; minimum 70 CRI
- Not available when UH voltage is selected
- When code dictates fusing use time delay fuse
- Not available with all multi-level options. Refer to multi-level spec sheet for availability and additional information
- Must specify voltage other than UL or UH
- Refer to multi-level spec sheet for availability and additional information

LED PERFORMANCE SPECS

# of LEDs	Initial Delivered Lumens - Type III Medium @ 6000K	B U G			Initial Delivered Lumens - Type III Medium w/ backlight control @ 6000K	B U G			Initial Delivered Lumens - Type III Medium @ 4300K	B U G			System Watts 120-480V	Total Current @ 120V	Total Current @ 240V	Total Current @ 277V	Total Current @ 347V	Total Current @ 480V	L ₇₀ Hours @ 25° C (77° F)	50K Hours Lumen Maintenance Factor* @ 15° C (59° F)					
		Rating**				Rating**				Rating**															
350mA Fixture Operating at 25° C (77° F)																									
20	1,814 (02)	1	1	1	1,342 (02)	0	1	1	1,672 (02)	1	1	1	1,237 (02)	0	1	1	1	26	0.20	0.11	0.10	0.09	0.07	>150,000	93%
40	3,628 (04)	1	1	1	2,683 (04)	1	1	1	3,343 (04)	1	1	1	2,473 (04)	0	1	1	1	47	0.40	0.21	0.19	0.15	0.12	>150,000	
60	5,371 (06)	2	2	2	3,973 (06)	1	2	1	4,950 (06)	2	2	2	3,662 (06)	1	2	1	1	68	0.58	0.30	0.26	0.20	0.16	>150,000	
80	7,161 (08)	2	2	2	5,298 (08)	1	2	2	6,600 (08)	2	2	2	4,882 (08)	1	2	1	1	90	0.77	0.38	0.34	0.26	0.20	>150,000	
100	8,929 (10)	3	3	3	6,605 (10)	1	3	2	8,230 (10)	2	2	2	6,088 (10)	1	2	2	1	111	0.95	0.47	0.42	0.32	0.24	>150,000	
120	10,715 (12)	3	3	3	7,926 (12)	1	3	2	9,876 (12)	3	3	3	7,305 (12)	1	3	2	1	132	1.15	0.56	0.50	0.38	0.28	>150,000	
525mA Fixture Operating at 25° C (77° F)																									
20	2,539 (02)	1	1	1	1,878 (02)	0	1	1	2,340 (02)	1	1	1	1,731 (02)	0	1	1	1	37	0.31	0.17	0.16	0.12	0.10	136,000	92%
40	5,079 (04)	2	2	2	3,757 (04)	1	2	1	4,681 (04)	2	2	2	3,462 (04)	1	2	1	1	70	0.57	0.29	0.26	0.21	0.16	136,000	
60	7,520 (06)	2	2	2	5,562 (06)	1	2	2	6,930 (06)	2	2	2	5,127 (06)	1	2	1	1	102	0.87	0.44	0.39	0.30	0.22	129,000	
80	10,026 (08)	3	3	3	7,417 (08)	1	3	2	9,240 (08)	3	3	3	6,835 (08)	1	3	2	1	133	1.14	0.56	0.49	0.39	0.29	129,000	
700mA Fixture Operating at 25° C (77° F)																									
20	3,102 (02)	1	1	1	2,281 (02)	0	1	1	2,858 (02)	1	1	1	2,102 (02)	0	1	1	1	50	0.42	0.22	0.20	0.15	0.12	111,000	90%
40	6,203 (04)	2	2	2	4,562 (04)	1	2	1	5,717 (04)	2	2	2	4,204 (04)	1	2	1	1	93	0.79	0.40	0.35	0.27	0.20	111,000	
60	9,185 (06)	3	3	3	6,754 (06)	1	3	2	8,465 (06)	2	3	2	6,225 (06)	1	2	2	1	137	1.18	0.59	0.51	0.39	0.29	111,000	

* For recommended lumen maintenance factor data see TD-13

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit www.iesna.org/PDF/Erratas/TM-15-07BugRatingsAddendum.pdf

NOTE: All data subject to change without notice.

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Made in the U.S.A. of U.S. and imported parts.
 Meets Buy American requirements within the ARRA.





Job Name:
Qudoba Howell
Distributor: Graybar Electric/GR (Walker)

Catalog Number:
SEC-EDG-3M-WM-06-D-UL-BZ-700MA
Notes:

Type:
WM2

MLS13-42715

SEC-EDG-3M-WM

THE EDGE® LED Wall Pack

Rev. Date: 8/30/11

General Description

Slim, low profile design. Fixture sides are rugged cast aluminum with integral, weather-tight LED driver compartments and high performance aluminum heatsinks specifically designed for LED applications. Housing is rugged aluminum. Furnished with low copper, lightweight mounting box designed for installation over standard and mud ring single gang J boxes. Secures to wall with four (4) 3/16" (4.8mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard. Five year limited warranty on fixture.

Electrical

Modular design accommodates varied lighting output from high power, white, 6000K (+/- 500K per full fixture), minimum 70 CRI, long life LED sources. Optional 4300K (+/- 300K per full fixture) also available. 120-277V 50/60 Hz, Class 1 LED drivers are standard. 347-480V 50/60 Hz driver is optional. LED drivers have power factor >90% and THD <20% at full load. Integral weather-tight J-box with leads (wire nuts) for easy power hook-up. Units provided with integral 10kV surge suppression protection standard. Surge protection tested in accordance with IEEE/ANSI C62.41.2.

Testing & Compliance

UL listed in the U.S. and Canada for wet locations and enclosure rsted IP66 per IEC 60529. Consult factory for CE Certified products. Dark Sky Friendly. IDA Approved. RoHS compliant.



Finish

Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable silver powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Bronze, black, white and platinum bronze powder topcoats are also available. The finish is covered by our 10 year limited warranty.

Fixture and finish are endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117.

Patents

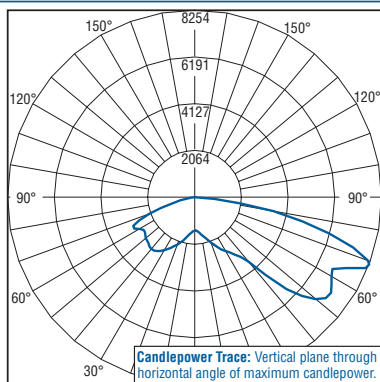
U.S. and international patents granted and pending. BetaLED is a division of Ruud Lighting, Inc. For a listing of Ruud Lighting, Inc. patents, visit www.uspto.gov.

Field-Installed Accessories

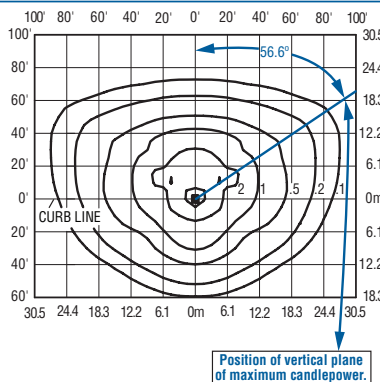


Bird Spikes
XA-BRDSPK

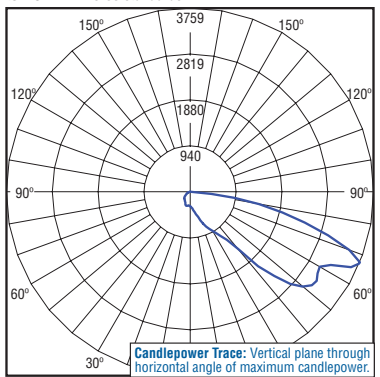
Photometrics



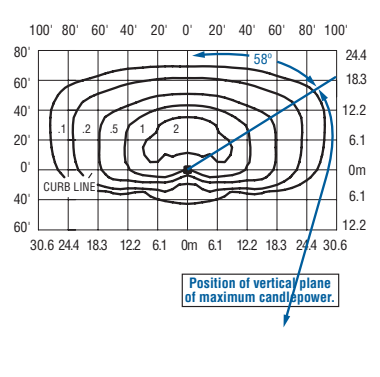
Independent Testing Laboratories certified test. Report No. ITL67871. Candlepower trace of 4300K, 160 LED Type III Medium area luminaire with 18,862 initial delivered lumens operating at 525mA. All published luminaire photometric testing performed to IESNA LM-79-08 standards.



Isofootcandle plot of 4300K, 120 LED Type III Medium security luminaire at 25' (7.6m) A.F.G. Luminaire with 13,826 initial delivered lumens operating at 525mA. Initial FC at grade.



Independent Testing Laboratories certified test. Report No. ITL68539. Candlepower trace of 4300K, 40 LED Type III Medium w/ backlight control area luminaire with 5,084 initial delivered lumens operating at 525mA. All published luminaire photometric testing performed to IESNA LM-79-08 standards.



Isofootcandle plot of 4300K, 120 LED Type III Medium area luminaire at 25' (7.6m) A.F.G. Luminaire with 10,227 initial delivered lumens operating at 525mA. Initial FC at grade.

NOTE: All data subject to change without notice.

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Made in the U.S.A. of U.S. and imported parts.
Meets Buy American requirements within the ARRA.

Qdoba- Howell, Mi

Qdoba Site - Howell, MI (0805) LUMINAIRE SCHEDULE						
TYPE	SYMBOL	DESCRIPTION	LAMP	MOUNTING/BALLAST	LIFE	QTY
C127	•	CREE ARE-EHD-3M-AA-12-E-UL-700-50 CREE EDGE HIGH OUTPUT, TYPE III	(20) 17,687 Lumens	269 Watts	0.94	2
C12B	•	CREE ARE-EHD-3MB-AA-12-E-UL-700-50K	(20) 13,472 Lumens	270 Watts	0.94	5
SA	•	Amerlux D136 A02B TYPE III 150 PSMH CAST METAL POST-TOP FITTER AND	(1) MSPS150 13,000 Lumens	HID	0.72	2
VM2	•	Cree SEC-EDG-3M-WM-06-D-UL-700-57k 60 LED TYPE III MEDIUM 700mA 4	(60) 9059 Lumens	133 Watts	0.94	2



RatingsDirect®

Summary:

Genoa Charter Township, Michigan; General Obligation

Primary Credit Analyst:

Michael S Furla, Chicago (1) 312-233-7002; michael.furla@standardandpoors.com

Secondary Contact:

Helen Samuelson, Chicago (1) 312-233-7011; helen.samuelson@standardandpoors.com

Table Of Contents

Rationale

Outlook

Related Criteria And Research

Summary:

Genoa Charter Township, Michigan; General Obligation

Credit Profile

Genoa Charter Twp (Dorr Road Wtr & Swr Imp Proj)

Long Term Rating

AA+/Stable

Upgraded

**Genoa Charter Twp spl assess bnds (Lake Edgewood Wtr Proj) ser 2000 dtd 05/01/2000 due 05/01/2001-2012
2014 2016 2018 2020**

Unenhanced Rating

AA+(SPUR)/Stable

Upgraded

Many issues are enhanced by bond insurance.

Rationale

Standard & Poor's Ratings Services raised its long-term and underlying (SPUR) ratings to 'AA+' from 'AA' on Genoa Charter Township, Mich.'s existing limited-tax general obligation (GO) bonds based on our recently released local GO criteria. The outlook is stable.

Outstanding debt is secured by special assessment collections for water system improvements within certain special assessment districts in the township. The township pledged its limited tax full faith and credit as additional security. The township is obligated to pay debt service payments as a first budgetary obligation from its general fund, and may levy additional ad valorem taxes within applicable constitutional charter and statutory tax rate limitations for any shortfalls.

The rating reflects our assessment of the following factors for the township:

- Very strong economy, with its projected per capita effective buying income at 141.5% of the U.S. and per capita market value of \$103,705. The township, with an estimated 2012 population of 20,442 also has access to the broad and diverse economy of the Detroit-Warren-Dearborn MSA.
- Continued very strong budgetary flexibility, with reserves above 125% of expenditures for the past several years and no plans to significantly spend them down. Audited fiscal 2013 available reserves (general fund plus various capital project funds available for general operations without legal payback required) were \$5 million or 127.5% of operating expenditures.
- Strong budgetary performance, with a slight 0.8% general fund deficit in fiscal 2013 and a 0.1% deficit for total governmental funds after adjusting one-time expenses for the Latson road interchange project.
- Very strong liquidity, with total government available cash as a percent of total governmental fund expenditures and as a percent of debt service both above 150%. We believe the township has strong access to external liquidity.
- Adequate management conditions, in our view. We revised our financial management assessment (FMA) score to "standard" from "good" due to less frequent reporting of investments to the board.
- Strong debt and contingent liabilities profile, with total governmental fund debt service as a percentage of total governmental fund expenditures at 27.6%, and with net direct debt as a percentage of total governmental fund revenue at 45.4%. The township does not plan to issue additional debt within the next two years.

- The township adopted the Principal Financial Group Money Purchase Pension plan, a defined contribution plan. The township contributed \$158,000 toward the plan in fiscal 2013. The township also participates in the Michigan Municipal Employees' Retirement System (MERS) a multiple-employer defined benefit plan. It has contributed 100% of the annual required contribution (ARC) in each of the past three years. The combined ARC pension costs and other postemployment benefit pay-as you-go costs for fiscal 2013 were less than 3% of expenditures, and we do not anticipate that these costs will increase substantially in the near term.
- We consider the Institutional Framework score for Michigan municipalities with a population greater than 4,000 as strong. See Institutional Framework Overview: Michigan Local Governments.

Outlook

The stable outlook reflects our view of the township's very strong budgetary flexibility and very strong economy. We do not anticipate changing the rating in the next two years because we believe the township will maintain very strong reserve levels and continue to participate in the broad and diverse Detroit-Warren-Dearborn metropolitan statistical area (MSA).

Related Criteria And Research

Related Criteria

- USPF Criteria: Local Government GO Ratings Methodology And Assumptions, Sept. 12, 2013
- USPF Criteria: Financial Management Assessment, June 27, 2006

Related Research

- U.S. State And Local Government Credit Conditions Forecast, Oct. 1, 2013
- S&P Public Finance Local GO Criteria: How We Adjust Data For Analytic Consistency, Sept. 12, 2013

Complete ratings information is available to subscribers of RatingsDirect at www.globalcreditportal.com. All ratings affected by this rating action can be found on Standard & Poor's public Web site at www.standardandpoors.com. Use the Ratings search box located in the left column.



**STANDARD & POOR'S
RATINGS SERVICES**
McGRAW HILL FINANCIAL

130 East Randolph Street
Suite 2900
Chicago, IL 60601
tel 312-233-7000
reference no.: 40108488

November 18, 2013

Charter Township of Genoa
2911 Dorr Road
Brighton, MI 48116
Attention: Ms. Robin Hunt, Treasurer

Re: *Genoa Charter Township Special Assessment Bonds (Lake Edgewood Water Project), Series 2000*

Dear Ms. Hunt:

Standard & Poor's Ratings Services ("Ratings Services") has reviewed the rating on the above-listed obligations. Based on our review, we have raised our credit rating from "AA" to "AA+" while affirming the stable outlook. A copy of the rationale supporting the rating and outlook is enclosed.

This letter constitutes Ratings Services' permission for you to disseminate the above rating to interested parties in accordance with applicable laws and regulations. However, permission for such dissemination (other than to professional advisors bound by appropriate confidentiality arrangements) will become effective only after we have released the rating on standardandpoors.com. Any dissemination on any Website by you or your agents shall include the full analysis for the rating, including any updates, where applicable.

To maintain the rating, Standard & Poor's must receive all relevant financial and other information, including notice of material changes to financial and other information provided to us and in relevant documents, as soon as such information is available. You understand that Ratings Services relies on you and your agents and advisors for the accuracy, timeliness and completeness of the information submitted in connection with the rating and the continued flow of material information as part of the surveillance process. Please send all information via electronic delivery to pubfin_statelocalgovt@standardandpoors.com. If SEC rule 17g-5 is applicable, you may post such information on the appropriate website. For any information not available in electronic format or posted on the applicable website,

Please send hard copies to:

Standard & Poor's Ratings Services
Public Finance Department
55 Water Street
New York, NY 10041-0003

The rating is subject to the Terms and Conditions, if any, attached to the Engagement Letter applicable to the rating. In the absence of such Engagement Letter and Terms and Conditions, the

rating is subject to the attached Terms and Conditions. The applicable Terms and Conditions are incorporated herein by reference.

Ratings Services is pleased to have the opportunity to provide its rating opinion. For more information please visit our website at www.standardandpoors.com. If you have any questions, please contact us. Thank you for choosing Ratings Services.

Sincerely yours,

A handwritten signature in black ink that reads "Standard & Poor's". The signature is written in a cursive, flowing style with a large initial 'S'.

Standard & Poor's Ratings Services

sp
enclosure



130 East Randolph Street
Suite 2900
Chicago, IL 60601
tel 312-233-7000
reference no.: 40120782

November 18, 2013

Charter Township of Genoa
2911 Dorr Road
Brighton, MI 48116
Attention: Ms. Robin Hunt, Treasurer

Re: *Genoa Charter Township, Michigan (Dorr Road Water and Sewer Improvement Project), Series 2001*

Dear Ms. Hunt:

Standard & Poor's Ratings Services ("Ratings Services") has reviewed the rating on the above-listed obligations. Based on our review, we have raised our credit rating from "AA" to "AA+" while affirming the stable outlook. A copy of the rationale supporting the rating and outlook is enclosed.

This letter constitutes Ratings Services' permission for you to disseminate the above rating to interested parties in accordance with applicable laws and regulations. However, permission for such dissemination (other than to professional advisors bound by appropriate confidentiality arrangements) will become effective only after we have released the rating on standardandpoors.com. Any dissemination on any Website by you or your agents shall include the full analysis for the rating, including any updates, where applicable.

To maintain the rating, Standard & Poor's must receive all relevant financial and other information, including notice of material changes to financial and other information provided to us and in relevant documents, as soon as such information is available. You understand that Ratings Services relies on you and your agents and advisors for the accuracy, timeliness and completeness of the information submitted in connection with the rating and the continued flow of material information as part of the surveillance process. Please send all information via electronic delivery to pubfin_statelocalgovt@standardandpoors.com. If SEC rule 17g-5 is applicable, you may post such information on the appropriate website. For any information not available in electronic format or posted on the applicable website,

Please send hard copies to:

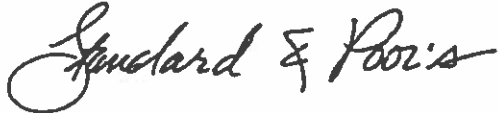
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New York, NY 10041-0003

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Ratings Services is pleased to have the opportunity to provide its rating opinion. For more information please visit our website at www.standardandpoors.com. If you have any questions, please contact us. Thank you for choosing Ratings Services.

Sincerely yours,

The logo for Standard & Poor's, written in a classic cursive script. The word "Standard" is on the top line, "&" is in the middle, and "Poor's" is on the bottom line. The letters are fluid and connected.

Standard & Poor's Ratings Services

sp
enclosure

Date: Oct. 31, 2013

To: Genoa Township Staff
From: Polly Skolarus & Robin Hunt

For your records the following holidays are scheduled for 2014:

New Year's Day	January 1, 2014
Martin Luther King Day	January 20, 2014
Good Friday	April 18, 2014
Memorial Day	May 26, 2014
Independence Day	July 4, 2014
Labor Day	September 1, 2014
Columbus/Stornant Day	October 13, 2014
Thanksgiving Day	November 27, 2014
Friday following Thanksgiving	November 28, 2014
Christmas Eve	December 24, 2014
Christmas Day	December 25, 2014
Floating Holiday	December 26, 2014
New Years Eve	December 31, 2014
New Year's Day	January 1, 2015
Floating Holiday	January 2, 2015

Policy/holidays

**GENOA TOWNSHIP
SCHEDULE OF MEETINGS
January 1, 2014 thru December 31, 2014**

Meetings will be held at the Genoa Township Hall located at 2911 Dorr Road. The Township Board meets at 6:30 p.m., the Zoning Board of Appeals meet at 6:30 p.m. The Planning Commission meets at 6:30 p.m.

Regular meetings of the Township Board are generally scheduled for the first and third Monday of every month. The Planning Commission generally meets the second and if necessary, the fourth Monday; and the Zoning Board of Appeals usually meets the third Tuesday of each month. Holidays will occasionally disrupt the meeting schedules.

TOWNSHIP BOARD SCHEDULE

January 6 & 21, 2014 (Tues.)	July 7 & 21, 2014
February 3 & 17, 2014	August 4 & 18, 2014
March 3 & 17, 2014	September 2 & 15, 2014
April 7 & 21, 2014	October 6 & 20, 2014
May 5 & 19, 2014	November 3, 2014
June 2 & 16, 2014	December 1 & 15, 2014

PLANNING COMMISSION SCHEDULE

January 13, 2014	July 14, 2014
February 10, 2014	August 11, 2014
March 10, 2014	September 8, 2014
April 14, 2014	October 14, 2014 (Tues.)
May 12, 2014	November 10, 2014
June 9, 2014	December 8, 2014

ZONING BOARD OF APPEALS SCHEDULE

January 14, 2014	July 15, 2014
February 18, 2014	August 19, 2014
March 18, 2014	September 16, 2014
April 15, 2014	October 21, 2014
May 20, 2014	November 11, 2014
June 17, 2014	December 9, 2014

Signed: Paulette A. Skolarus
Genoa Township Clerk

Notice Posted on Front Display
Nov. 1, 2013 thru Dec. 31, 2014

(Policy/schedule of meetings)

Mike Archinal

From: Tammy Lindberg
Sent: Tuesday, November 05, 2013 10:56 AM
To: Mike Archinal; Randy Duncan (Randy@mygarbageguy.com)
Subject: FW: Duncan Services to Chilson Hills Howell

-----Original Message-----

From: Carol Hanus
Sent: Friday, November 01, 2013 1:17 PM
To: Kennedy, Kimberly
Cc: Tammy Lindberg
Subject: RE: Duncan Services to Chilson Hills Howell

Hi Kimberly,
Thanks for the kind words. I'll forward this on the Township.
Have a great weekend.

Sincerely,

Carol Hanus
MHOG Billing Specialist
800-881-4109

MHOG Utilities Web Site: <http://www.genoa.org/departments/utilities/watersewer>
View or pay your bill online at: <https://genoa.merchanttransact.com/>

-----Original Message-----

From: Kennedy, Kimberly [<mailto:Kimberly.Kennedy@adp.com>]
Sent: Friday, November 01, 2013 11:09 AM
To: Duncansystems@mygarbageguy.com
Cc: Carol Hanus
Subject: Duncan Services to Chilson Hills Howell

Hello,
I wanted to let you know how much I appreciate the quality of service provided by the refuse collection portion of Duncan.

It was extremely wet and windy last night. When the refuse collectors came through, they righted my recycle bin and tucked things back in place in addition to their regular work.

My recycling service has improved as well and the office has been very responsive when I had concerns.

What great teamwork! Thank you Duncan Systems!!!

Kimberly Kennedy

360 Chalmers Lane
Howell

P.S. Hi Carol, please pass this onto the proper contact at the Township. Thx! Kim

This message and any attachments are intended only for the use of the addressee and may contain information that is privileged and confidential. If the reader of the message is not the intended recipient or an authorized representative of the intended recipient, you are hereby notified that any dissemination of this communication is strictly prohibited. If you have received this communication in error, notify the sender immediately by return email and delete the message and any attachments from your system.



November 8, 2013

GENOA TOWNSHIP

NOV 08 2013

RECEIVED

Genoa Township
Attn.: Township Council
2911 Door Rd.
Brighton, MI 48116

RE: America Recycles Day 2013

Dear Township Council:

Duncan Disposal Systems and Duncan Recycling provide recycling services to Michigan communities and have for many years, playing a significant role in preserving our natural resources. As well, we are proud to support and participate in the national program, America Recycles Day 2013 on November 15 through the Keep America Beautiful organization.

For our efforts in recycling and supporting America Recycles Day, we will be presented with a proclamation issued by Governor Rick Snyder on behalf of the State of Michigan November 11. To share our enthusiasm for the environment with the Genoa Township, we provided bookmarks to your community library to serve as reminders to our citizens that it takes everyone recycling to keep our world sustainable!

As partners in our efforts toward sustainability, we would also like to share these bookmarks with the Genoa Township. We hope you enjoy them as we work together to keep America beautiful through recycling.

Sincerely,

Tom, Scott and Randy Duncan
Duncan Disposal Systems
Duncan Recycling

Enclosure: Bookmarks

To Board 12/2/2013



November 15, 2013

Polly Skolarus, Clerk
Township of Genoa
2911 Dorr Rd.
Brighton, MI 48116

RE: Important Information—Price Changes

Dear Ms. Skolarus:

At Comcast, we are committed to constantly improving our customers' entertainment and communications experience in Genoa, and we continue to invest in making their services even better. As we make these and other investments, we periodically need to adjust prices due to increases we incur in programming and other business costs. Starting January 1, 2014, new prices will apply to select Video services and equipment as reflected in the enclosed notice.

Among these price changes, we have itemized a Broadcast TV Fee in order to defray the rising costs of retransmitting broadcast television signals. In the past, a portion of those costs were included within the basic service rate. In recent years, the cost of retransmitting broadcast television signals has increased significantly, and we want to address these increases through a separate itemized charge so they are clear to the customer. *

We promise to continue to provide our customers with a consistently superior experience, including 24/7 customer service, two-hour appointment windows and on-time arrival—or we'll credit the customer \$20 or provide a free premium channel for three months. We back up our services with the Comcast Customer Guarantee (visit www.comcast.com/guarantee for details).

We know you may have questions about these changes. If I can be of any further assistance, please contact me at 734-254-1888.

Sincerely,

A handwritten signature in black ink that reads "Frederick G. Eaton".

Frederick G. Eaton
Senior Manager, Government Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170

Enclosure

**If a customer was receiving services on a promotional basis, or under a minimum term agreement associated with a specific rate, as December 1, 2013, the customer will not be affected by the Broadcast TV Fee during the applicable period.*

Schedule of video-related price changes; effective January 1, 2014 (Michigan)

- VIDEO & OTHER FEES (Monthly unless noted otherwise)	<u>CURRENT PRICE</u>	<u>NEW PRICE</u>
Digital Starter Package (includes Limited Basic, additional digital channels, access to Pay-Per-View and On Demand programming and Music Choice.)	\$67.25	\$67.75
Digital Preferred Package (includes Digital Starter, additional digital channels, Encore, access to Pay-Per-View and On Demand programming and Music Choice)	\$85.20	\$85.70
Digital Preferred Package with 1 Premium** (includes Digital Preferred and choice of 1 premium: HBO, Showtime, Starz, Cinemax or The Movie Channel)	\$103.99	\$104.49
Digital Preferred Package with 2 Premiums** (includes Digital Preferred, HBO and choice of Showtime, Starz, Cinemax or The Movie Channel)	\$115.49	\$115.99
Digital Preferred Plus Package** (includes Digital Preferred, HBO, Showtime and Starz)	\$123.49	\$124.99
Digital Premier Package (includes Digital Preferred, HBO, Showtime, Starz and Cinemax)	\$130.49	\$131.99
Digital Premier Package with Sports Entertainment Package (includes Digital Preferred, HBO, Showtime, Starz, Cinemax and Sports Entertainment Package)	\$140.44	\$141.94
Digital Economy with Additional Product	\$34.95	\$39.95
MultiLatino	\$16.95	\$18.95
MultiLatino Plus (includes Limited Basic and MultiLatino)	\$31.95	\$34.95
MultiLatino Extra (includes Digital Economy and MultiLatino)	\$41.95	\$44.95
MultiLatino Max (includes MultiLatino Extra and additional digital channels, access to Pay-Per-View and On Demand programming)	\$61.95	\$64.95
MultiLatino Ultra (includes MultiLatino Max and additional digital channels)	\$78.90	\$81.95
Broadcast TV Fee	-	\$1.50
Video Reactivation Fee (no in-home visit required) per occurrence	\$5.00	\$6.00
Internet Reactivation Fee (no in-home visit required) per occurrence	\$5.00	\$6.00
Voice Reactivation Fee (no in-home visit required) per occurrence	\$5.00	\$6.00
Voice/Data Modem	\$7.00	\$8.00

<u>TRIPLE PLAY PACKAGES (Monthly)</u>	<u>CURRENT PRICE</u>	<u>NEW PRICE</u>
Economy Triple Play*	\$89.95	\$94.85
Economy Starter*	\$122.15	\$122.65
TP3.0 Value Plus*	\$137.15	\$137.65
TP3.0 HD Starter*	\$154.95	\$159.95
TP3.0 HD Plus*	\$184.95	\$189.95
TP3.0 Premier*	\$214.95	\$219.95
Starter XF Triple Play	\$144.95	\$149.95
Preferred XF Triple Play	\$154.95	\$159.95
HD Preferred XF Triple Play	\$164.95	\$169.95
HD Preferred Plus XF Triple Play with Blast!	\$184.95	\$189.95
HD Premier XF Triple Play with Blast!	\$214.95	\$219.95
HD Compete XF Triple Play with Blast!	\$244.95	\$249.95

<u>MULTILATINO PAQUETE TRIPLE PACKAGES (Monthly)</u>	<u>CURRENT PRICE</u>	<u>NEW PRICE</u>
MultiLatino Max Paquete Triple	\$144.95	\$149.95
MultiLatino Ultra Paquete Triple	\$154.95	\$159.95
MultiLatino Ultra HD Paquete Triple	\$164.95	\$169.95
MultiLatino Ultra HD Plus Paquete Triple	\$184.95	\$189.95
MultiLatino Total HD Paquete Triple	\$214.95	\$219.95

*No longer available for sale. **Effective 1/1/2014 no longer available for new subscription.

Subscription to Limited Basic is required to receive any other level of service. Certain services are available separately or as a part of other levels of service. Unless otherwise specified, prices shown are the monthly charge for residential service only and do not include federal, state and local taxes, FCC user and franchise fees or Regulatory Recovery fees or other related costs. Prices, services and features are subject to change. Not all services are available in all areas.



MEMO

From: Heather Mankes - Regulatory Analyst - Comcast Cable

Email address: Heather_Mankes@cable.comcast.com

Date: November 7, 2013

Regarding: Franchise/PEG Fee Statements

Comments:

Going forward, all Franchise/PEG Fee checks are now mailed directly to each area. It is our job to ensure that we mail all statements as support for your payments that are being made. The enclosed statement presents the Q313 franchise/PEG fee payment. To expedite the process, please provide me with your **email address and Vendor ID (located on your statement)** and I can email the statement directly to you. Feel free to contact me with any Franchise Fee related questions.

Respectfully,

Heather Mankes

610-650-2670

7030211 12/2/2013



System Name: Comcast of the South, Inc.
 Email: Heather_Mankes@cable.comcast.com
 Phone: 610-650-2670

Vendor ID:	113672
Contract Name:	Township of Genoa
Statement Period:	Jul - Sep, 2013
Payment Amount:	\$69,220.25
Statement Number:	130256
CUID:	MI0244
System ID:	9588-22

GENOA TOWNSHIP
 2911 DORR RD

 BRIGHTON, MI, 48116

This statement represents your payment for the period listed above.

Revenue Category	Amount
Expanded Basic Video Service	\$459,523.57
Limited Basic Video Service	\$213,794.33
Digital Video Service	\$309,388.81
Pay	\$93,869.16
PPV / VOD	\$46,978.71
Video Equipment	\$2,710.80
Digital Video Equipment	\$79,906.93
Video Installation / Activation	\$19,396.10
Franchise Fees	\$73,237.12
Other	\$4,912.43
Late Fees	\$10,225.92
Write-offs / Recoveries	(\$6,897.10)
Ad Sales	\$69,679.13
Home Shopping Commissions	\$7,679.19
Total	\$1,384,405.09
Franchise Fee %	5.00 %
Franchise Fee	\$69,220.25

10 Nov 12/2/2013



Brian Jonckheere

Livingston County Drain Commissioner

2300 E. Grand River Ave., Ste. 105

Howell, MI 48843-7581

Phone: 517-546-0040 FAX: 517-545-9658

Website: www.livgov.com/drain email: drain@livgov.com

November 21, 2013

Dear Landowner:

The Livingston County Drain Commissioner received a petition on November 2, 2012, requesting that the County locate, establish and construct a county drain. Enclosed you will find the Notice of Board of Determination.

In December, 2011, the Drain Commissioner was contacted by residents in the vicinity of Edwin Drive for emergency flooding assistance. It was determined that a historical underground pipe had stopped working. Due to the potential for damage to nearby homes, the Drain Commissioner's staff attempted to clear a possible blockage to the storm drain that previously flowed down to the lake. After permission was granted by a landowner, a new access point to this pipe was set off the south edge of the Hughes Road right of way. One of the blockages found in the pipe was a fence timber lodged in the old clay tile north of Hughes Road. The cost of this activity was a little over \$4,000.

In order for a permanent solution to this problem to be built, a new drain would be required to be constructed to convey drainage east of Edwin Drive to Lake Chemung. The Michigan Drain Code sets the requirements for construction of a drain to be maintained by the Drain Commissioner's office. Part of these requirements is that the Drain Commissioner's office hosts a hearing to determine the necessity to establish the drain. The law further requires all parties in the proposed special assessment district be notified by first class mail of the hearing. As a landowner within the proposed special assessment district for the drain, you are invited to attend this meeting to determine if a drain should be constructed by the Drain Commissioner pursuant to the Michigan Drain Code. The meeting will be held at 9:00 a.m. on Saturday, December 7, 2013, at the East Complex of the Livingston County Offices located at 2300 E. Grand River, Howell, Michigan. The notice on the back of this letter is part of our legal requirement to notify you of this meeting. In the near future, you will find the notice on the website listed in the heading and a map of the proposed drain.

If you attend this meeting, you will have an opportunity to express your opinion regarding the construction and dedication of this drain. However, no vote of the public will be taken at the meeting. Pursuant to the Drain Code, a three person board consisting of disinterested landowners will hear testimony from residents. The engineer associated with the construction, design, and inspection of this system will also make a presentation.

If you should have further questions or concerns please contact me or Debbie Ursin of this office.

Sincerely,

Kenneth E. Recker, II, P.E.

Chief Deputy Drain Commissioner

Enclosures

Cc: Genoa Township Hall; Michael Archinal, Manager and Paulette Skolarus, Clerk
Paul Lewsley, PE, Environmental Engineers

To Board 12/2/13

STATE OF MICHIGAN

OFFICE OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER

In the Matter of:

EDWIN COUNTY DRAIN

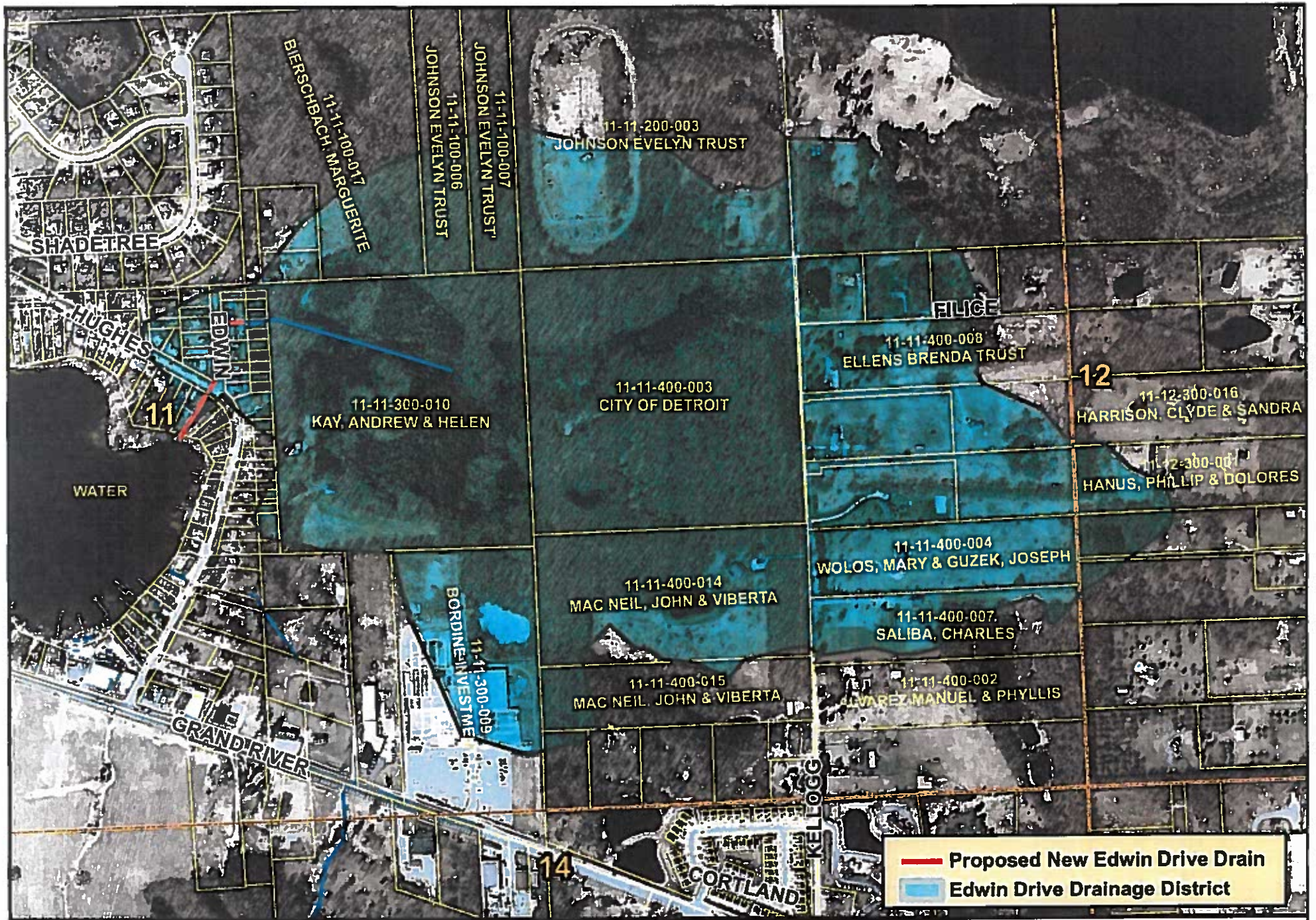
NOTICE OF MEETING OF BOARD OF DETERMINATION

Notice Is Hereby Given to you as a person liable for an assessment that the Board of Determination, composed of Charles Musson, Karen Thurner, and Larry Hopkins or alternate, Michael Sedlack, will meet on Saturday, December 7, 2013 at 9:00 A.M. held at the East Complex of the Livingston County Offices (West Entrance) located at 2300 E. Grand River, Avenue, Howell MI 48843, Livingston County, Michigan, to hear all interested persons and evidence and to determine whether the EDWIN COUNTY DRAIN within the Edwin Drain Drainage District, as prayed for in the Petition to LOCATING, ESTABLISHING AND CONSTRUCTING said drain or drains, or any part thereof, is necessary and conducive to the public health, convenience or welfare of Genoa Township dated November 2, 2012, in accordance with Section 72 of Act No. 40, P.A. 1956, as amended, and for the protection of the public health of the following cities, villages and townships:

Proceedings conducted at this public hearing will be subject to the provision of the Michigan Open Meetings Act and you are further notified that information regarding this meeting may be obtained from the County Drain Commissioner. Persons with disabilities needing accommodations for effective participation in the meeting should contact the County Drain Commissioner at the number noted below (voice) or through the Michigan Relay Center at 1-800-649-3777 (TDD) at least 24 hours in advance of the meeting to request mobility, visual, hearing or other assistance. Minutes of the meeting will be on file in the following offices:

You Are Further Notified, that persons aggrieved by the decisions of the Board of Determination may seek judicial review in the Circuit Court for the County of Livingston within ten (10) days of the determination.

Brian Jonckheere,
Livingston County Drain Commissioner
2300 E. Grand River Ave.,
Suite 105, Howell, MI 48843
517-546-0040

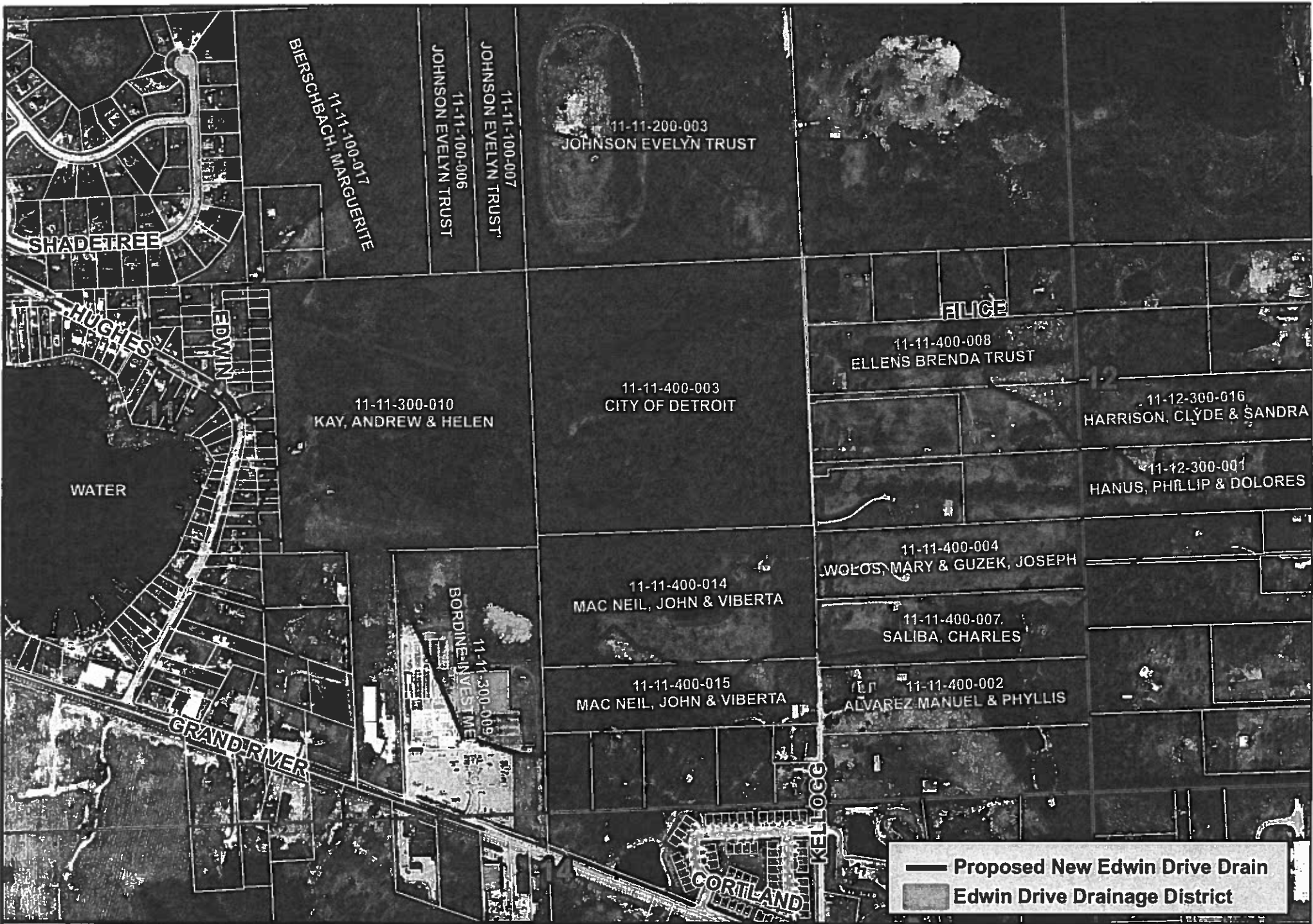


— Proposed New Edwin Drive Drain
 — Edwin Drive Drainage District

Livingston County Drain Commissioner
 2300 E Grand River
 Howell, MI. 48843
 Orthophoto Flown 2010
 Printed November 21, 2013

Edwin Drive Drain Drainage District
 A part of Sections 11 and 12
 of Genoa Township

N
 1 inch = 600 feet




 Livingston County Drain Commissioner
 2300 E Grand River
 Howell, MI. 48843
 Orthophoto Flown 2010
 Printed November 21, 2013

Edwin Drive Drain Drainage District
 A part of Sections 11 and 12
 of Genoa Township


 1 inch = 600 feet



MEMORANDUM

TO: Township Board
FROM: Ron Akers, Zoning Official
DATE: 11-18-13
RE: Draft Zoning Board of Appeals Rules of Procedure

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Attached is the draft Zoning Board of Appeals Rules of Procedure. The purpose of this document is to organize and record the procedures that the Zoning Board of Appeals uses to promote consistency and ensure that best practices are followed during meetings. We are at a stage in the development of these rules where we are requesting review and comments should there be any. Should members of the Township Board have any comments regarding the proposed rules of procedure, please feel free to contact me by phone (810)-227-5225, by e-mail (ron@genoa.org) or in person. Thank you and I look forward to your comments.

Copresponderce
Township Board.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS RULES OF PROCEDURE
Effective (blank)**

ARTICLE 1: AUTHORITY

These rules of procedure are adopted by the Genoa Charter Township Zoning Board of Appeals (hereinafter referred to as the “Board of Appeals”), to facilitate the duties of the Board of Appeals as outlined in Public Act 110 of 2006, as amended, being the Michigan Zoning Enabling Act, (M.C.L. 125.3101 et. seq.) and the Genoa Charter Township Zoning Ordinance.

ARTICLE 2: MEMBERSHIP

Section 1. The Board of Appeals shall consist of five (5) members as follows:

- A. Planning Commission Member.** The first member shall be a member of the Township Planning Commission.
- B. Other Members.** The remaining members shall be selected and appointed by the Township Board from among electors residing in the unincorporated area of the Township.
- C. Township Trustee.** Only one member may be from the Township Board and their membership term shall be limited to the time they are a member of the Township Board.
- D. Alternates.** The Township Board may appoint not more than two (2) alternate members for the same term as regular members to the Board of Appeals.
- E. Terms.** Terms shall be for three (3) years, except for members serving because of their membership on the Planning Commission or Township Board, whose terms shall be limited to the time they are members of those respective boards. Any vacancies shall be filled within one (1) month after the vacancy occurs. Vacancies for unexpired terms shall be filled for the remainder of the term.
- F. Removal.** Members of the Board of Appeals shall be removable by the Township Board for misfeasance, malfeasance or nonfeasance, upon filing of written charges and after a public hearing before the Township Board.
- G. Resignation.** A member may resign from the Board of Appeals by sending a letter of resignation to the Township Supervisor or the Township Board.

Section 2. Members of the Board of Appeals shall be subject to the following membership requirements.

- A. Attendance.** If any member of the Board of Appeals is absent from three (3) consecutive meetings then that member shall be considered delinquent. Delinquency can be grounds

vote of the membership present shall be declared elected. Newly elected officers will assume their office at the next meeting.

- B. Vacancies.** Vacancies in office shall be filled by regular election procedure and shall only serve the remainder of the term.

ARTICLE 4: ADMINISTRATIVE DUTIES

Section 1. Duties of Township Staff. Township Staff is responsible for the execution of documents in the name of the Board of Appeals and shall perform the duties hereinafter listed below, and other such duties as the Board of Appeals may determine.

- A. Minutes.** Township Staff shall be responsible for the permanent record of the minutes and shall have them recorded in suitable permanent records.
- B. Correspondence.** Township Staff shall be responsible for the issuance of formal written correspondence with other groups or persons, as directed by the Board of Appeals.
- C. Attendance.** Township Staff shall be responsible for maintaining an attendance record for each member of the Board of Appeals.
- D. Notices/Agenda.** Township Staff shall issue such notices and prepare the agendas for all meetings.

ARTICLE 5: MEETINGS

Section 1. Regular Meetings. Regular meetings of the Board of Appeals shall be held the third Tuesday of every month. The dates and times shall be posted at the Township Hall in accordance with the Open Meetings Act. Any changes in the date or time of the regular meetings shall be posted in the same manner as originally established. When a regular meeting falls on or near a legal holiday, suitable alternate dates in the same month shall be selected in accordance with the Open Meetings Act.

Section 2. Meeting Notices. All meetings shall be posted at the Township Hall according to the Open Meetings Act. The notice shall include the date, time and place of the meeting.

Section 3. Special Meetings. A special meeting may be called by three members of the Board of Appeals upon written request to the chairperson or by the chairperson himself/herself. The business which the Board of Appeals may perform shall be conducted at a public meeting held in compliance with the Open Meetings Act. Public notice of the time, date, and place of the special meeting shall be given in a manner as required by the Open Meetings Act, and Township Staff shall send notice of a special meeting to Board of Appeals members.

Section 4. Open Meetings. All meetings of the Board of Appeals shall be opened to the public and held in a place available to the general public. A person shall be permitted to address the Board of Appeals during call to the public. A person shall not be excluded from a meeting of the Board of Appeals except for breach of the peace, committed at the meeting.

hearings conducted by the Board of Appeals shall be run in an orderly and timely fashion. This shall be accomplished by the established hearing procedures as follows.

- A. Prior to holding a public hearing for any variance request, interpretation or appeal of administrative decision, the chairperson shall explain to the public the criteria in the zoning ordinance for how that decision is made.
- B. Announce Subject. The chairperson announces each agenda item and describes the subject to be considered.
- C. Open Public Hearing. The chairperson summarizes the hearing rules and then opens the hearing to the floor.
- D. Close Public Hearing. The chairperson should give ample opportunity for comment, including a “last call” for comments. The chairperson will then close the hearing.
- E. Deliberation. Any action of the Board of Appeals must be supported by reasonable findings and conclusions, which will become part of the record through minutes, resolutions, staff reports, etc. All motions shall summarize these findings, or provide reasons for the suggested action. If a matter is tabled to a specific meeting date, it is not necessary to re-advertise the hearing so long as the public hearing was opened and closed and proper notice as specified in the zoning ordinance and Zoning Enabling Act was given.
- F. Action. After deliberation, the Board of Appeals may take any of the following actions:
 - 1. In the event of a variance request, the Board of Appeals may table the request, approve the request, deny the request or approve the request with conditions.
 - 2. In the event of an administrative appeal, the Board of Appeals may decide in favor of the Zoning Administrator or may reverse any order, requirements, decision, or determination of the Zoning Administrator.
 - 3. In the event of a request to make an interpretation of the zoning ordinance, the Board of Appeals may take action explaining the interpretation.

ARTICLE 6: CONFLICT OF INTEREST

Section 1. Declaration of Conflict. No Board of Appeals member shall participate in any matter where they have a conflict of interest. Board of Appeals members shall declare a conflict of interest when any one (1) or more of the following occur:

- A. A relative or other family member is involved in any request for which the Board of Appeals is asked to make a decision.
- B. The Board of Appeals member has a business or financial interest in the property involved in the request, or has a business or financial interest in the applicant’s company, agency, or association.
- C. The Board of Appeals member owns or has a financial interest in neighboring property. For purposes of this Section, a neighboring property shall include any property falling within the notification radius for the request, as required by the zoning ordinance and Michigan Zoning Enabling Act.

Section 1. Duties. The following are duties which are expected of the individual members of the Board of Appeals.

A. Ex Parte Contact. Members shall avoid Ex Parte contact about cases where an administrative decision is before the Board of Appeals whenever possible. Sometimes it is not possible to avoid Ex Parte contact. When this occurs the member should take detailed notes about what was discussed and make every member or other interested parties aware of what was said.

B. Site Inspections. Members may perform site inspections, however, no more than two (2) members may perform site inspections at the same time.

C. Not Voting On the Same Issue Twice. Any member of the Board of Appeals shall avoid situations where they are sitting in judgement and voting on a decision, which they had a part in making. As used here, sitting in judgement and voting on a decision which they had a part in making at a minimum shall include, but not necessarily be limited to, the following:

1. When the appeal is of an administrative or other decision by the Planning Commission, and the member of the Board of Appeals sits both on the Planning Commission and Board of Appeals.
2. When the appeal is of an administrative or other decision by the Township Board, and the member of the Board of Appeals sits both on the Township Board and Board of Appeals.
3. When the appeal is of an administrative or other decision by any committee of the Planning Commission, Township Board, other committee, and the member of the Board of Appeals sits both on that committee and the Board of Appeals.

D. Accepting Gifts. Gifts shall not be accepted by a member of the Board of Appeals or liaisons from anyone connected with an agenda item before the Board of Appeals. As used here, gifts shall mean cash, any tangible item or service, regardless of value and food valued over \$10.

E. Spokesperson for the Board of Appeals. The Board of Appeals may appoint a spokesperson for the Board of Appeals for all matters which occur outside of the meetings.

ARTICLE 9: AMENDMENTS

These rules may be amended by the Board of Appeals by a concurring vote during any meeting, provided that all members have received an advance copy of the proposed amendments at least 3 days prior to the meeting at which such amendments are to be considered.