

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS

June 18, 2013

6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 13-13...A request by Curt Brown, Sec. 28, 4010 Homestead, for a front yard variance and a water front variance to replace an existing garage.
2. 13-15...A request by Ronald Socia, Sec. 22, 3950 Highcrest Drive, for a variance to make home improvements/modernization to nonconforming structures in excess of 10% of its replacement value.
3. 13-16...A request by Janine Exline, Sec. 22, 4009 Highcrest Drive, for a side yard variance.
4. 13-17...A request by Thomas and Diana Fleming, Sec. 28, 4049 Homestead, for a sight line and side yard variance.

ADMINISTRATIVE BUSINESS:

- A. Approval of minutes for the May 20, 2013 Zoning Board of Appeals meeting.**
- B. Correspondence**
- C. Member Discussion**
- D. Adjournment**



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: May 31, 2013
RE: ZBA 13-13; PID # 4711-28-202-001; Brown, Curt & Angela

STAFF REPORT (Amended 6/14/13)

File Number: ZBA#13-13

Site Address: No Site Address

Parcel Number: 4711-28-202-001

Parcel Size: 0.099 Acres

Applicant: Curt & Angela Brown, 4001 Homestead Dr., Howell, MI 48843

Property Owner: Same as applicant

Information Submitted: Application, site plan, building elevations

Request: Dimensional Variances

Project Description: Applicant is requesting variances from article 3.04.01 for front and waterfront setbacks, 11.04.01 for building size and height, and 24.05.02 for structural expansion of a non-conforming structure/use.

Zoning and Existing Use: LRR (Lakeshore Resort Residential), Garage (accessory building) existing on current parcel with no house (principal building).

Other:

Public hearing was published in the Livingston County Press and Argus and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

The proposed variance was considered at the previous ZBA meeting on May 21, 2013 and was tabled in order to seek more information regarding the property.

Background

The following is a brief summary of the background information we have on file:

- The parcel currently has an existing accessory building on it with no principal structure
- This accessory building was building in 1977.
- The existing structures setbacks are: F: 7.9' S: 5.3' S: 68' WF: 18'

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

- The existing structure's footprint is 675 sq ft and has a current lot coverage of 15.65%.
- The distance between the current accessory building and the accessory building on the adjacent parcel is 12.7'
- The parcel has frontage on West Crooked Lake and has an irregular shape.
- Due to these aspects of the property there is an existing non-conforming structure and use on the property.

Summary

The applicant is proposing to remove the existing accessory building at PID # 4711-28-202-001 and replace it with a larger accessory building on the parcel. The proposed project as depicted in the plot plan, requires several variances which have been requested by the property owner. The following is the height, bulk and setback aspects of the proposed structure:

- Setbacks: F: 8' S: 48' S: 6.7' WF: 15'
- Proposed distance between proposed accessory building and accessory building on adjacent parcel is 13.2'
- Proposed Building Size: 1342 sf
- Lot Coverage: 31.1%
- Building Height: 20.6'

Variance Requests

There are several variance requests associated with this project. They are as follows:

1. Article 3.04.01 Schedule of Area and Bulk Requirements – The proposed building does not meet the front and waterfront setback requirements for the LRR zoning district. The current zoning requirements are 35' for the front and 40' for the water front (based on the average distance requirement for waterfront parcels, the minimum distance of 40' is the applicable setback number). The request is for a 27' front yard setback variance and a 25' waterfront variance.
2. Article 24.05.02 Structural Expansion of a Nonconforming Use and Structure – This passage states as follows:
 - a. *Structural Expansion: No existing structure devoted to a nonconforming use shall be enlarged, extended, constructed, reconstructed, moved or structurally altered except in changing the use of the structure to a use permitted in the zoning district in which it is located, unless approved by the ZBA under Article 23.*

This proposed accessory building would be an expansion/reconstruction of an existing nonconforming structure/use and a variance would need to be granted from this section of the Zoning Ordinance for it to proceed.

3. Article 11.04.01 Accessory Building, Structures and Uses in General – The proposed building would exceed the maximum allowable size and height for an accessory building. The maximum allowable height is 14' and the maximum allowable size is 900 square feet in area on lots less than two acres in size. The

proposed structure is 20.6' in height and 1342 square feet in floor area. The request is for a 6.6' building height variance and a 442 square foot building area variance.

Standards for Approval

The following is the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. *No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:*

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Other Comments/Discussions

In the previous meeting there were several questions that were brought up regarding this application. I will attempt to address the ones that I am aware of and offer some analysis regarding the variance requests.

A question was asked by the applicant is whether or not the garage is considered an accessory building because it is the only building on the property. The Zoning Ordinance requires that an accessory building be used in connection with, incidental to and on the same lot with a principal building, but in the agricultural district allows them to be on a separate lot and used in conjunction with an activity of a permitted use on another lot under the same ownership. The current building on the subject property is a garage

which is of a nature customarily incidental and subordinate to, the principle structure the applicants own at 4001 Homestead, and is occupied or devoted exclusively to an accessory use. In the definition it does describe the accessory structure as being on the same lot as a principal structure, but the Zoning Ordinance does, as highlighted below, considers accessory buildings in the agricultural district despite them not being on the same lot as the principal. Due to the nature of the accessory use being identical whether it is on the same lot or not (i.e. domestic storage), it is my belief that handling this as a legal nonconforming accessory building is consistent with the intent of the Zoning Ordinance and is required to obtain a variance from the accessory building height and size standards.

I understand also there were concerns regarding the subject property being in a flood zone. The property in question is located in Flood Zone A which means that they have a 1% annual chance for a flood event and are required to purchase flood insurance and meet specific floodplain management standards. These standards are enforced through more stringent construction codes which are administered by Livingston County. Our responsibilities lie in identifying properties that are located within these flood zones. I have attached to this memo a map that identifies wetlands for this immediate area. This demonstrates that the parcel is entirely located within uplands and adjacent to the lake shore.

I would also like to comment that the ZBA has the ability to consider these variances individually and can approve some which meet the standards of approval and not deny others if they do not meet the standards of approval.

Finally I have attached a map that depicts parcels with existing detached accessory buildings with no principle structure in the immediate area with the square footage of those accessory structures for assistance in considering this request.

APR 25 2013

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

RECEIVED

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

6:30

Case # 13-13 Meeting Date: 5-21-13

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

4010
HOMESTEAD.
NOT GOOD
FOR GPS
PURPOSES

Applicant/Owner: CURT & ANGELA BROWN
 Property Address: Garage only no address on Homestead Phone: 586-243-0380 (cell) 810-220-2934 (home)
 Present Zoning: LRR Tax Code: 4711-28-202-001

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: 26 foot front yard set back variance (Required 35', proposed 9')
~~28 foot~~ 28 foot shoreline set back variance (Required 40', proposed 12')

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) Unusual shape of lot (a triangle). Based on setback requirements for LRR zoning there is NO buildable footprint.
- b. Other (explain) _____

Variance Application Requires the Following:

- **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **A Land Use Permit Application to be submitted with ZBA Variance Application.**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 4-26-13

Signature: Curt Brown

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

CR # 6171

Adam VanTassell

From: Brian Leek <bleek@dcsbiz.com>
Sent: Thursday, May 16, 2013 10:05 PM
To: Adam VanTassell
Subject: 4010 Homestead Dr - ZBA Meeting 21 May 2013

Hello Adam...we received a notice that the Brown's are applying for a variance at the ZBA meeting this coming Tuesday and wanted to send you a note to express our support. We have been homeowners on Homestead (3997) since 2005 and can understand the Brown's desire to improve their garage property on the west side of Homestead. Many of these garage properties have eroded over time due to poor drainage and proximity to the water table.

It is apparent that the Brown's will be treating the new garage project with the same design intent as one would building a house...which will certainly provide a stable structure and proper drainage into the lake. I feel if the ZBA would grant the variances requested by the Brown's this would set the an excellent precedent for other potential Homestead homeowners as well as taking a strong step to improve the conservation of the lake. Sincerely...Debbie and Brian Leek.

Brian Leek
President

Imaging Solutions (a division of Diversified Computer Supplies, Inc.)
734 677 7878 x 115
810 523 0115 mobile

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Adam VanTassell

From: shane@skieaglepoint.com
Sent: Monday, May 13, 2013 3:23 PM
To: Adam VanTassell
Subject: Brown Garage on Homestead

Dear Adam,

My name is Shane Gadbow and I own two homes on Homestead Dr in Howell (3961 and 3973). One of my neighbors, Curt Brown, is seeking one or more variances in order to build a garage in place of an existing one.

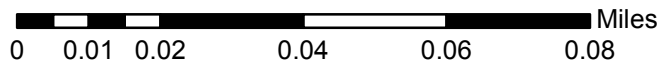
I want to let you know that we fully support the project and believe it will continue to improve the look of the surrounding area. Since I have known them, the Browns have taken a leadership role in investing to improve the Homestead neighborhood in a tasteful and responsible fashion.

If you have any questions, please feel free to contact me at 917-213-4270.

Best regards
Shane Gadbow

4711-21-400-021 KERR, DONALD D. & CAROLYN J. 4540 SEIM HOWELL MI 48843	4711-21-401-001 LEEK, J. BRIAN & DEBORAH K. 3997 HOMESTEAD HOWELL MI 48843	4711-21-401-002 PERRI ROSEMARY 3985 HOMESTEAD HOWELL MI 48843
4711-21-401-004 GADBAW SHANE & KINI PO BOX 2192 BEAVER UT 84713	4711-21-401-006 GADBAW, SHANE P. & KINI J. PO BOX 2192 BEAVER UT 84713	4711-21-401-008 ANDREWS LAND TITLE STANDARD 9.3 3949 HOMESTEAD HOWELL MI 48843
4711-21-401-012 REA, RONALD & ANNA D. 543 GREENWOOD BIRMINGHAM MI 48009	4711-21-401-024 REIMONDO DONALD & KAREN 3943 HOMESTEAD HOWELL MI 48843	4711-28-200-006 OAK POINTE COMMUNITY ASSOC. 1100 VICTORS WAY, STE 50 ANN ARBOR MI 48108
4711-28-201-001 BROWN, ANGELA & CURT 4001 HOMESTEAD HOWELL MI 48843	4711-28-201-002 OSWALT, GEOFFREY 4003 HOMESTEAD HOWELL MI 48843	4711-28-201-003 THORNE STEPHANIE TRUST 4007 HOMESTEAD HOWELL MI 48843
4711-28-201-004 HARTLEY WILLIAM 4011 HOMESTEAD HOWELL MI 48843	4711-28-201-005 RACINE TRUST 5 ROBINDALE CT DEARBORN MI 48124	4711-28-201-006 WALDO GEORGE E, ALICIA & DEANNA 4021 HOMESTEAD HOWELL MI 48843
4711-28-201-007 WALEGA GREGORY J & ELLEN L 4027 HOMESTEAD HOWELL MI 48843	4711-28-201-008 WALEGA GREG & ELLEN 4027 HOMESTEAD DR. HOWELL MI 48843	4711-28-202-001 BROWN CURT & ANGELA 4001 HOMESTEAD DRIVE HOWELL MI 48843
4711-28-202-002 THORNE STEPHANIE TRUST 4007 HOMESTEAD DR HOWELL MI 48843	4711-28-202-003 RACINE TRUST 5 ROBINDALE CT. DEARBORN MI 48124	4711-28-202-004 RACINE TRUST 5 ROBINDALE CT. DEARBORN MI 48124
4711-28-202-005 GOODLING, CHESTER & LOUISE 26431 LA MUERA Farmington MI 48334	4711-28-202-007 KIRCHOFF, ALAN 4026 HOMESTEAD HOWELL MI 48843	4711-28-202-008 UNKNOWN

300 ft Buffer for Noticing



Variance Case 13-13

Applicant: Curt and Angela Brown

Parcel: 11-28-202-001

Meeting Date: May 21, 2013



May 1, 2013

**Curt and Angela Brown
Homestead Drive
Variance to Rebuild a Garage**

Changes from the May ZBA Meeting

1. Water front setback is increased by three feet (i.e. moved three feet away from the water).
2. Front yard (road side) setback is reduced by one foot. This change will make the road side setback approximately the same as the existing structure (8 feet).
3. Structure is smaller.
4. Foundation of the structure is elevated three feet.

Reasons for the changes

1. Several of the ZBA Board members expressed concern about the proximity to the water. The proposed new structure will be only 5 feet closer to the water than the existing structure. The new structure will now be 15 feet from the water at its closest point. The previous request was for a 12 foot setback. The actual distance to the water ranges from 15-30 feet.
2. The smaller structure was needed to increase the waterfront setback.
3. Several of the ZBA Board members were concerned that the changing lake level could potentially flood the new structure. In our 11 years of living on the lake the water level has never come close to the garage. With that being said we still plan to raise the foundation at least 3 feet above the existing foundation level. This will help insure the garage stays dry and will significantly reduce the risk of flooding. In order to get the structure out of the FEMA Flood Zone the structure would need to be raised an additional 3 feet (estimate).

Questions / Clarifications from the May Meeting

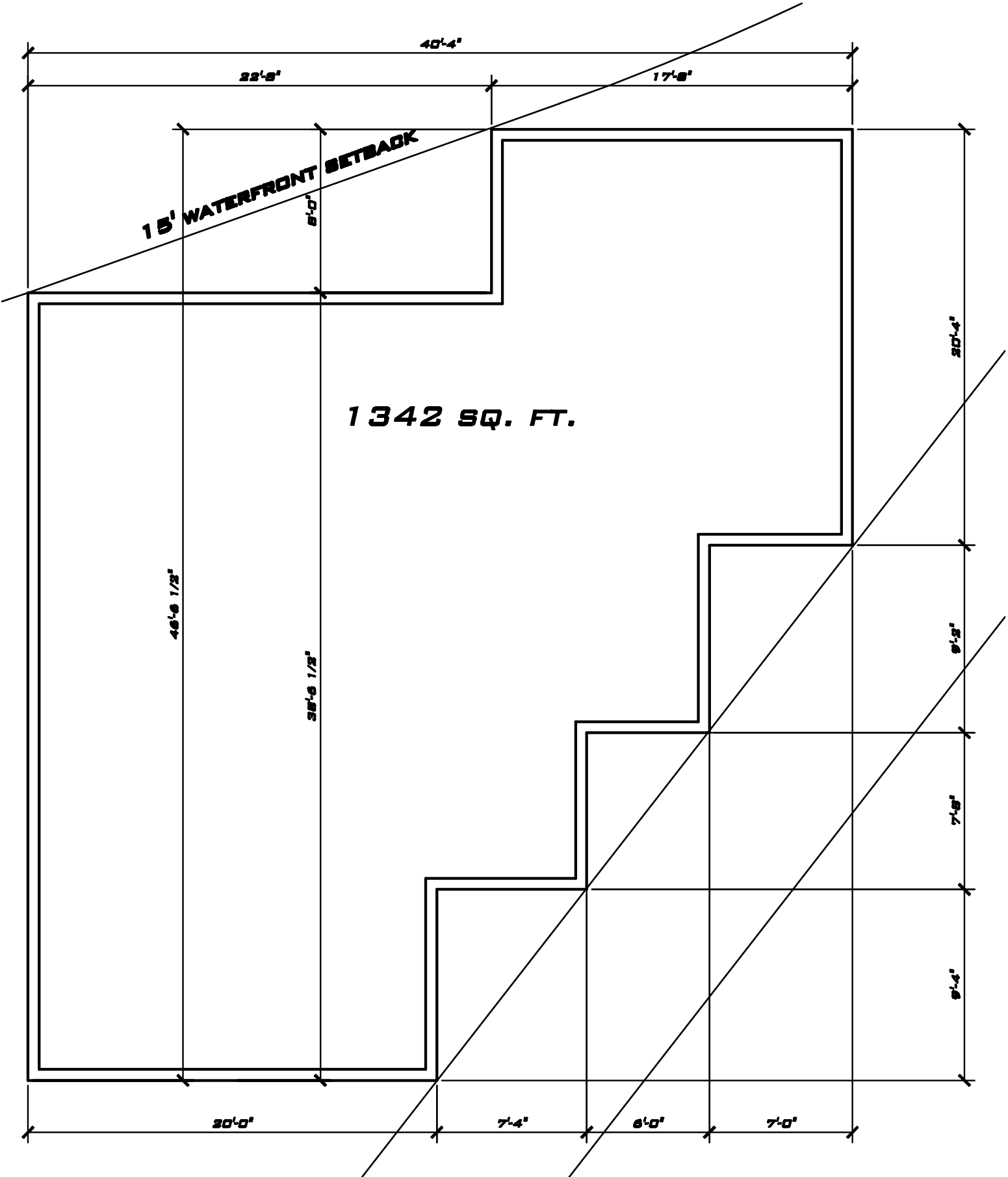
1. Is the property in the FEMA designation flood zone? Yes. Almost all the structures on Homestead are in the FEMA designated flood zone. **A new home can be built in a flood zone.** If a home is in a flood zone and has a mortgage loan from a US regulated financial institution FEMA requires the homeowner to have flood insurance. If there is not a mortgage loan on the property, then flood insurance is optional.
2. A home or structure is deemed to be in a flood zone based on the elevation of its first floor not its proximity to the water. This proposed garage could be built outside of the flood zone if the foundation was raised approximately 3 feet higher than the proposed structure. This would also increase the height of the structure and increase the cost. Given that the

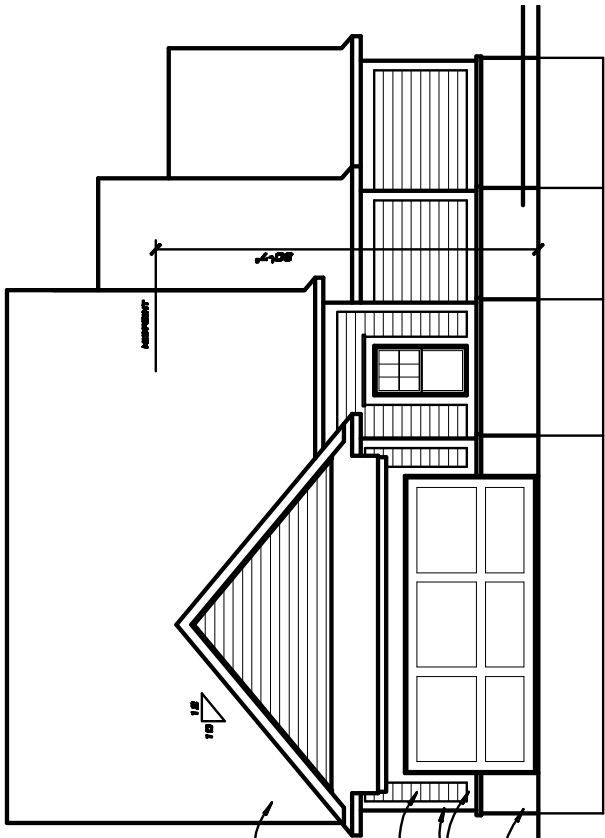
foundation of the proposed structure is 3 feet higher than the existing structure we are comfortable that the risk of flooding is extremely low.

3. Given the high water table and unstable soil, the foundation of the proposed garage will be engineered and constructed on helical piers. The piers are effectively large metal screws that are drilled into the ground (10-50 ft.) until they reach stable soil. The steel re-enforced concrete foundation is effectively constructed on the piers to insure the foundation will be stable.
4. How big is the proposed structure? The proposed structure is 1,342 square feet.
5. Is this an Accessory Structure? Our ordinance defines an Accessory Structure as “A detached structure on the same lot with, and of a nature customarily incidental and subordinate to, a principal structure, and occupied or devoted exclusively to an accessory use”. Given the proposed garage doesn't have a principal structure on the same lot it obviously doesn't meet the true definition of an Accessory Structure. Given that the proposed garage is the only structure on the lot and the design looks like a house I feel a variance from the 14ft height and 900 sq. ft. limits for an Accessory Structure is warranted.

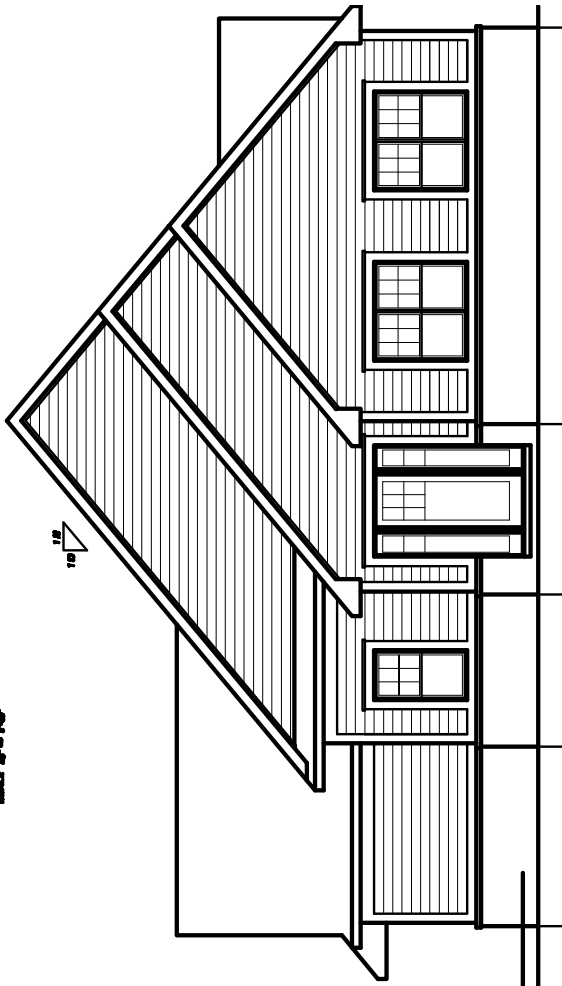
Summary

1. This is an extremely unique situation.
2. The lot shape is a triangle and has water on one of the sides. While the proposed structure only takes up 23% of the lot area (vs. maximum 35% allowed in the LRR zoning) significant setback variances are required due to the shape of the lot.
3. Even though this is the only structure on the lot and the structure looks like a house it is subject to the height and square footage limitations of an Accessory Structure. Given that the proposed structure does not fit the definition of an Accessory Structure (no other structure on the property) I think the ZBA needs to view this as a special situation and be willing to make an exception to the height and square footage limitations of an Accessory Structure.
4. The proposed structure is 15 feet from the water. Most of the lots on the west side of Homestead are shallow. As a result, many of the structures on the west side are close to the water. Approving a 15 foot setback from the waterfront will not be inconsistent with many other properties on the west side of Homestead. In addition, the new structure is only 5 feet closer to the water than the existing garage. It will be constructed on helical piers to insure its structural integrity which is a huge improvement over the existing garage.
5. The custom design, high quality building materials, and professional landscaping will make the new structure look like a house not a typical garage. I feel this mitigates the size variances required for an Accessory Structure.
6. All of our neighbors are supportive of this new structure. The new structure will look like a house and will be very consistent with all the high quality reconstruction that has greatly improved the neighborhood.

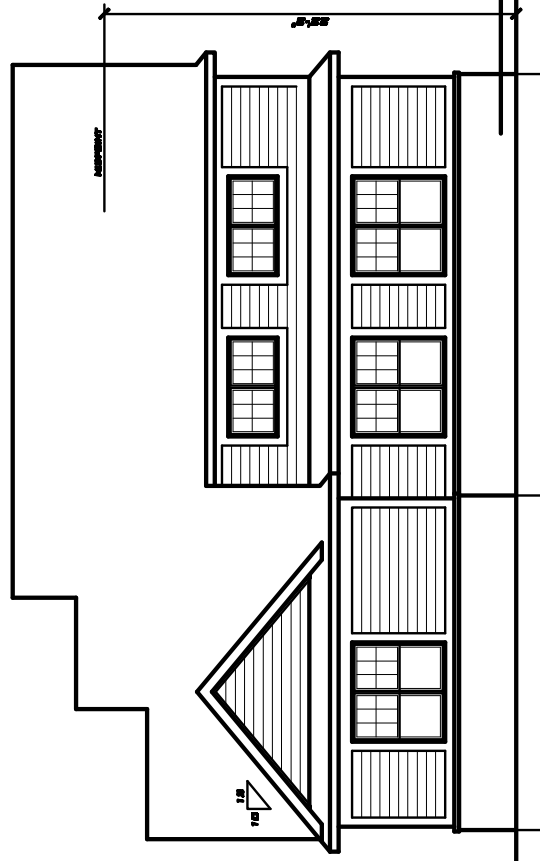
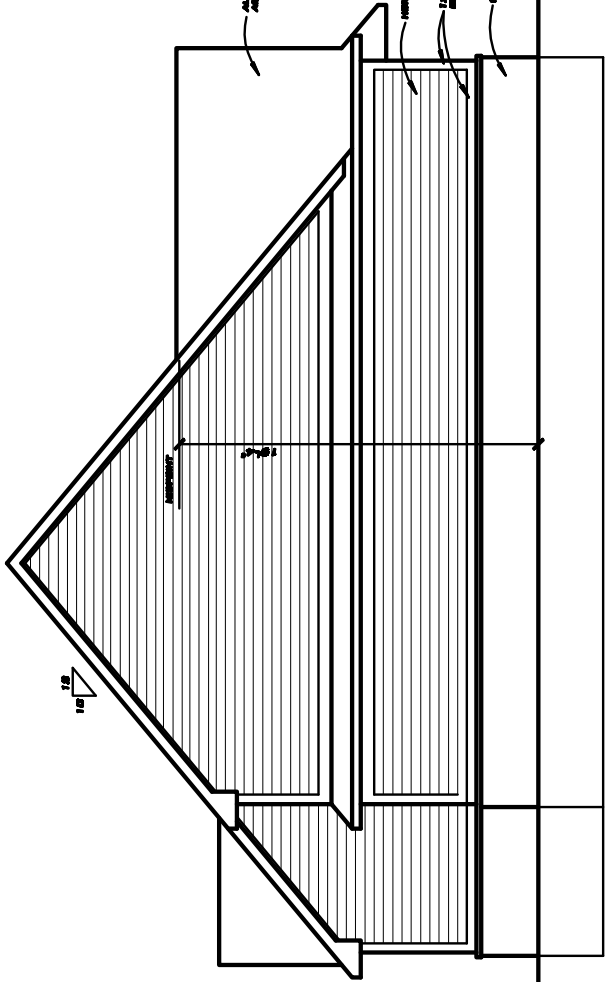


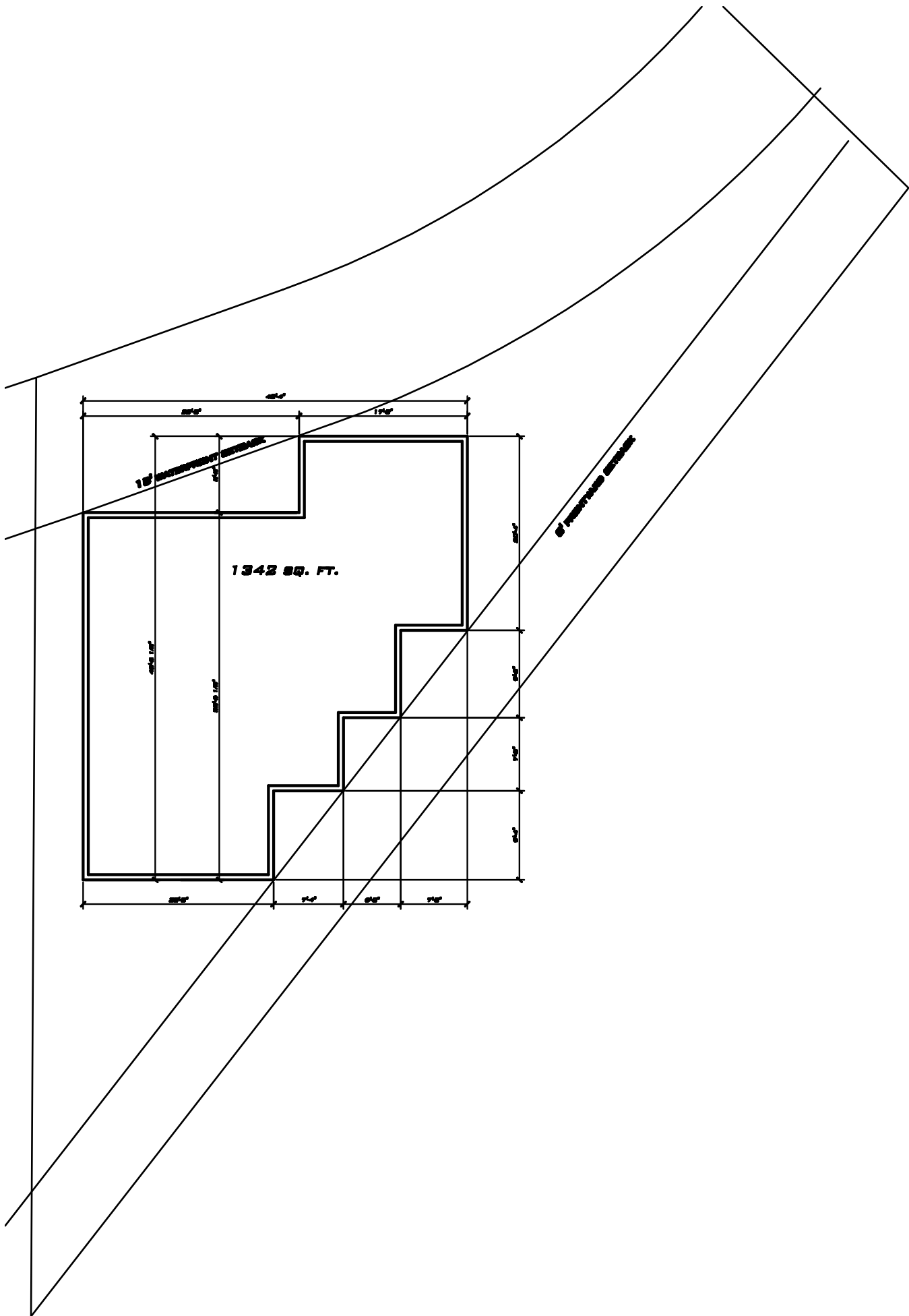


FRONT ELEVATION
SCALE: 3/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

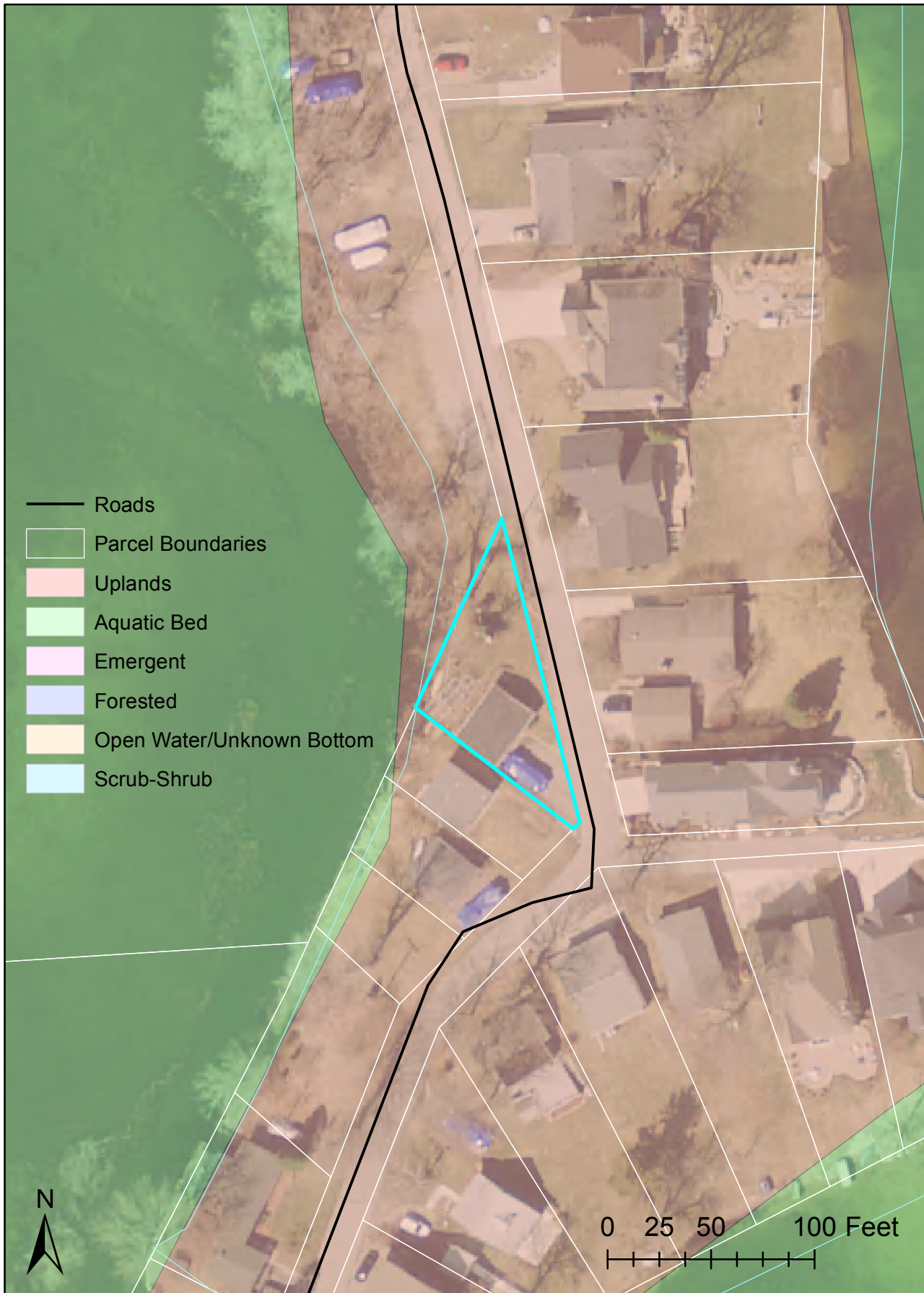




ZBA#13-13 Principal Residence Location Map



ZBA#13-13 Wetland Map



ZBA#13-13 Other Parcels with Detached Accessory and No Principle (Size)





MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: June 6, 2013
RE: ZBA 13-15; PID # 4711-22-302-064; Ronald A. Socia

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#13-15

Site Address: 3950 Highcrest Dr

Parcel Number: 4711-28-302-064

Parcel Size: 0.193 Acres

Applicant: Ronald A. Socia

Property Owner: Socia Living Trust, 46513 Maidstone Canton, MI 48187

Information Submitted: Floor Plan, Site Plan

Request: Dimensional Variances

Project Description: Applicant is requesting a variance from 24.05.04 & 24.04.06 of the Zoning Ordinance, which requires that improvement to a nonconforming building/use not exceed 10% of the current replacement value of the structure in any twelve (12) month period.

Zoning and Existing Use: LRR (Lakeshore Resort Residential), two (2) single family dwellings located on lot.

Other:

Public hearing was published in the Livingston County Press and Argus on June 2, 2013 and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information applicable to the variance we have on file:

- The parcel currently has two (2) single family dwellings located on it.
- The single family dwellings are 988 sf (Lake House) and 1056 sf (Road House) in size.
- The parcel has frontage on West Crooked Lake.
- The property has an existing non-conforming structure and use on the property.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

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Linda Rowell

- The estimated true cash value of the Lake House is \$64,238, and Road House is \$89,416.

Summary

The applicant is proposing to make improvements and modernize the existing nonconforming houses. These improvements require a variance from article 24.05.04 & article 24.04.06 of the Zoning Ordinance which address limitations on the amount of improvements that can be made to legal nonconforming properties. According to the submitted application there will be “no elevation or footprint changes to be made.” No information was provided as to what specific improvements are to be made to the property.

Variance Requests

There are several variance requests associated with this project. They are as follows:

1. Article 24.05.04 **Repairs, Improvements and Modernization:** Repairs, improvements, or modernization of non-conforming buildings or structures shall be permitted provided such repairs or improvements do not exceed one-half (1/2) of the value of the building or structure during any period of twelve (12) consecutive months. This cost/value calculation shall not include any costs associated with modernization of electrical, plumbing, heating or cooling systems to meet Building Code requirements. However, if a non-conforming structure or a structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of maintenance and repairs and is declared as such by the Building and Fire Departments, it shall not thereafter be restored, repaired, or rebuilt except in full conformity with the regulations in the district in which it is located.

The property is considered existing non-conforming due to the presence of two (2) dwellings on the lot and because of the non-conforming status, improvements can only be made that do not exceed ½ of the value of the building during a twelve (12) month period. The estimated true cash value of the buildings as calculated by the Township Assessors is \$64,238 for the Lake House and \$89,416 for the Road House. Using this logic, if approved we would be allowing improvements that exceed \$32,119 for the Lake House and \$44,708 for the Road House.

2. 24.05.04 **Repairs to Nonconforming Use:** On any structure devoted in whole or in part to any nonconforming use, work may be done in any period of twelve (12) consecutive months on ordinary repairs or on repair or replacement of nonbearing walls, fixtures, wiring or plumbing, to an extent not exceeding ten percent (10%) of the current replacement value of the structure, provided that the structure is not enlarged, extended, moved or structurally altered. This proposed accessory building would be an expansion/reconstruction of an existing nonconforming structure/use and a variance would need to be granted from this section of the Zoning Ordinance for it to proceed.

Having the second residential use on the property requires this to be qualified as a non-conforming building/use. This repair threshold is more stringent only allowing 10% of the replacement value of the building to be used for repairs. Using this standard, if approved we would be allowing improvements that exceed \$6,423 for the Lake House and \$8,941 for the Road House.

There are provisions in the Zoning Ordinance under article 1 which address conflicting regulations. It states that when conflicting regulations arise that the more restrictive provision will prevail (1.05.01). If the decision is to approve the proposed application, approving variances for both 24.05.04 & 24.05.04 is good housekeeping (ie dotting I's and crossing T's)

Standards for Approval

The following is the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

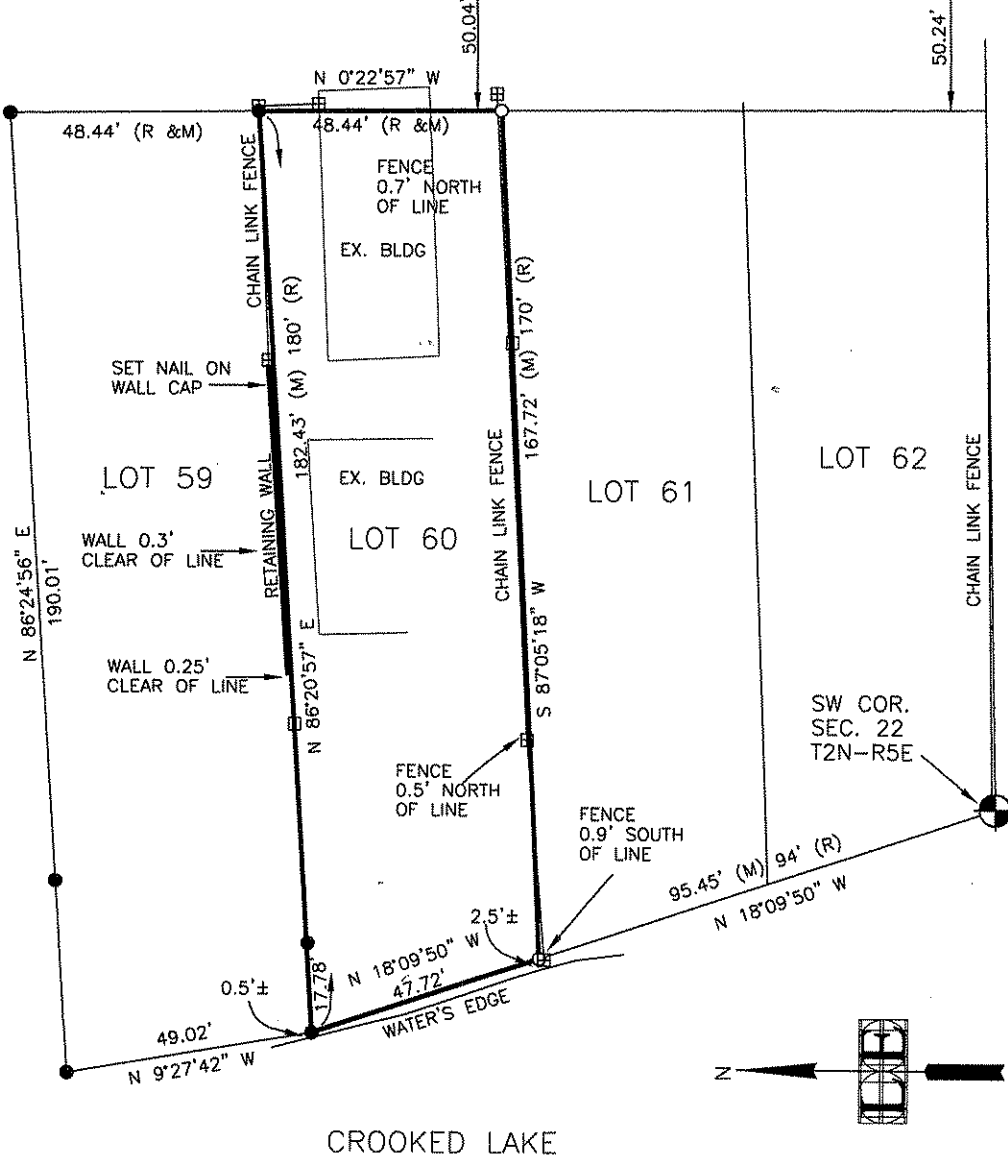
(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

HIGHCREST DRIVE (PLATTED AS HIGHLAND AVE.) 50 FT. WD R/W



LEGEND

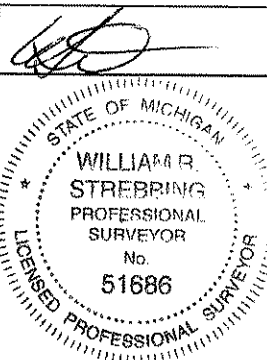
- SECTION CORNER
- SET IRON ROD
- FOUND MONUMENT
- ✕-✕-✕ FENCE
- FOUND IRON ROD/PIPE
- SOIL BORING



LIVINGSTON ENGINEERING
 CIVIL ENGINEERING SURVEYING PLANNING

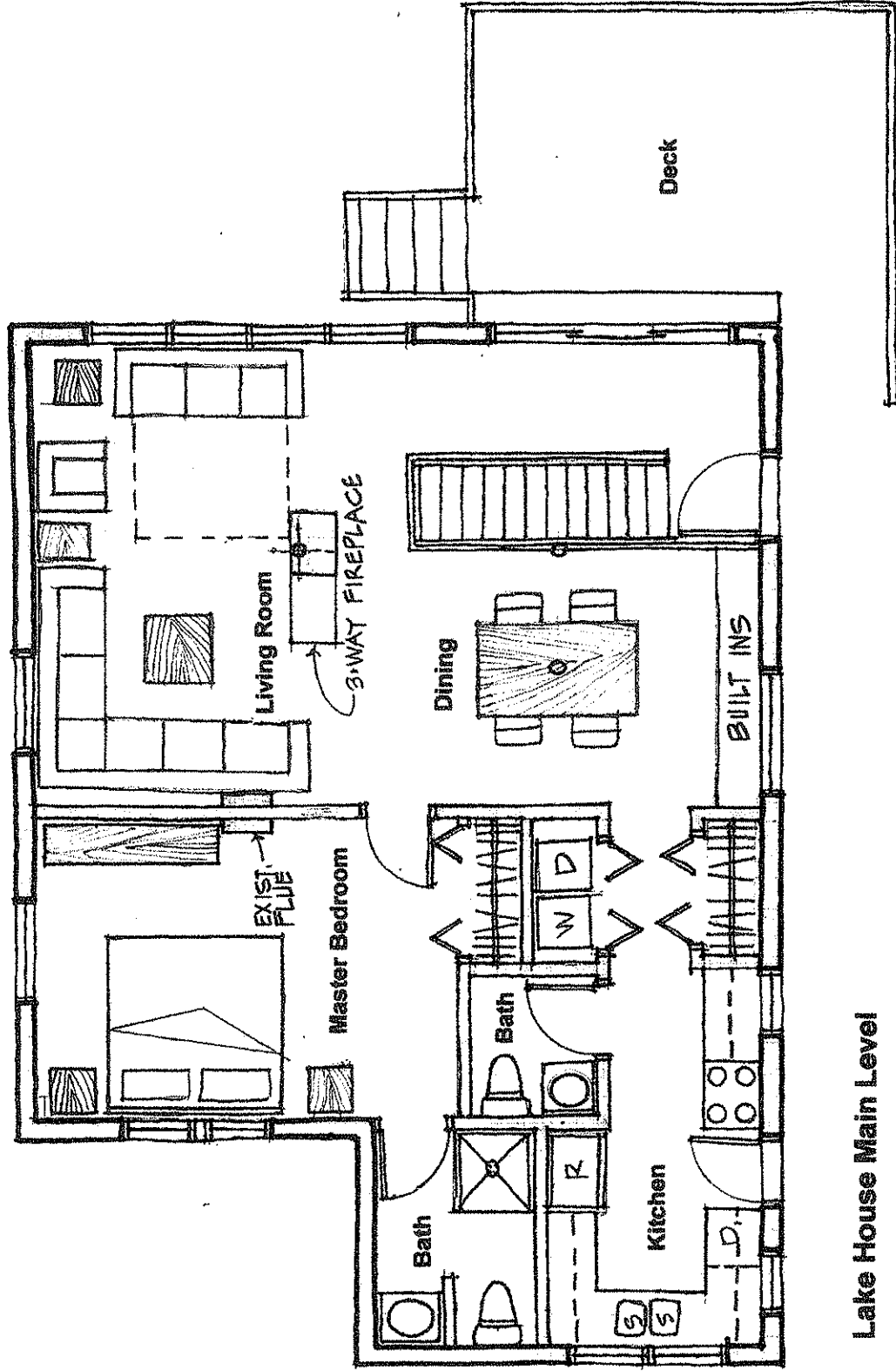
3300 S. OLD U.S. 23, BRIGHTON, MICHIGAN 48114

INTERNET: WWW.LIVINGSTONENG.COM PHONE: (810) 225-7100 FAX: (810) 225-7699



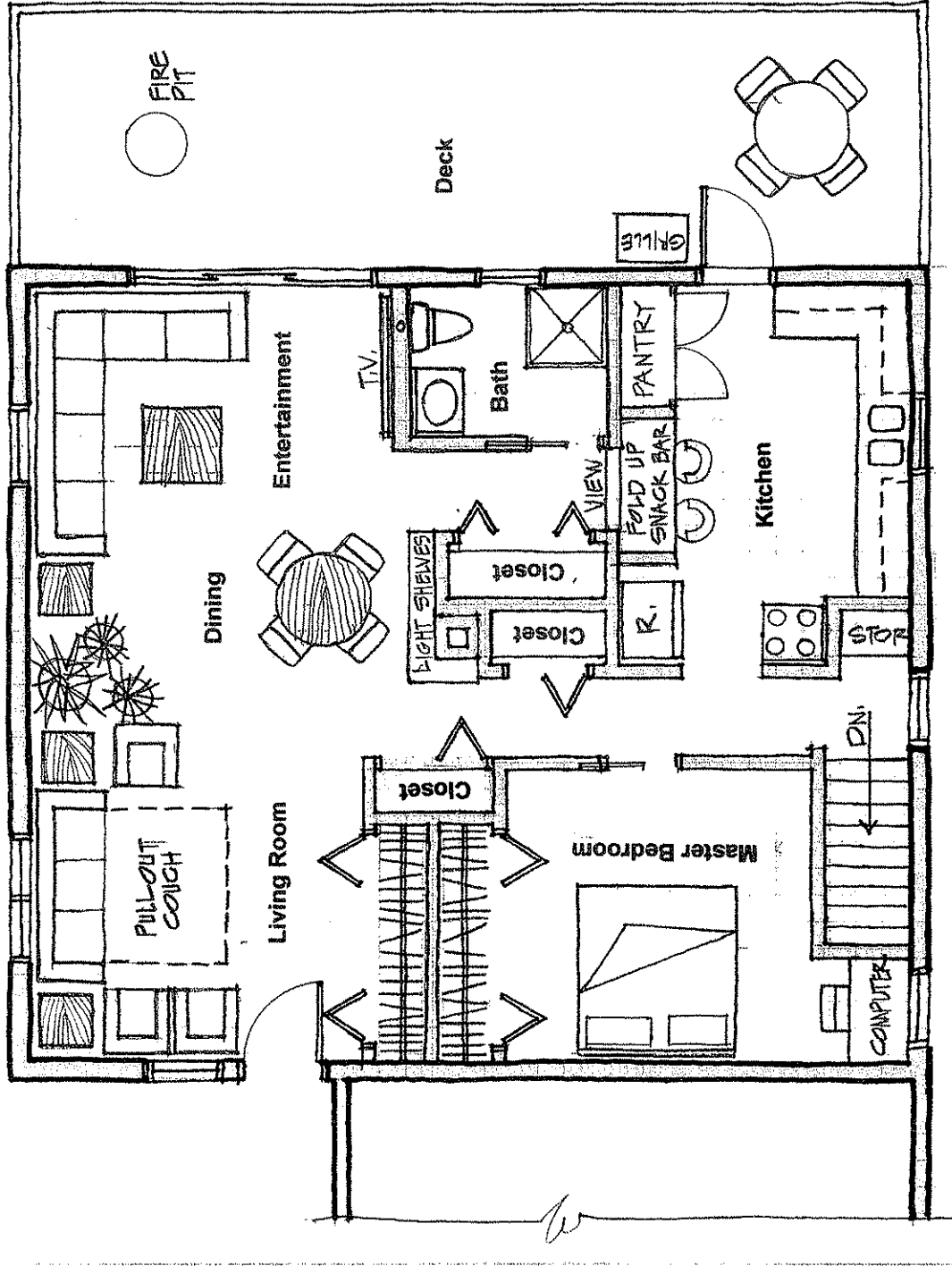
CLIENT SCOCIA	0' 30' 60'	DATE 08-18-09
DESCRIPTION SW 1/4, SECTION 22 T2N-R5E, GENOA TWP LIVINGSTON COUNTY, MI	SCALE 1"=30'	REV.
	SHEET No 1 of 1	CREW MMB
	DRAWN WRS	CHECK

IBI GROUP	PROJECT: BRIGHTON HOUSE	SHEET: 3 OF: 3
	CLIENT: RON & BETTY SOCIA	PREPARED BY: DOB
	DESCRIPTION: LAKE HOUSE	CHECKED BY:
		DATE: 12.30.2012
		OTHER:



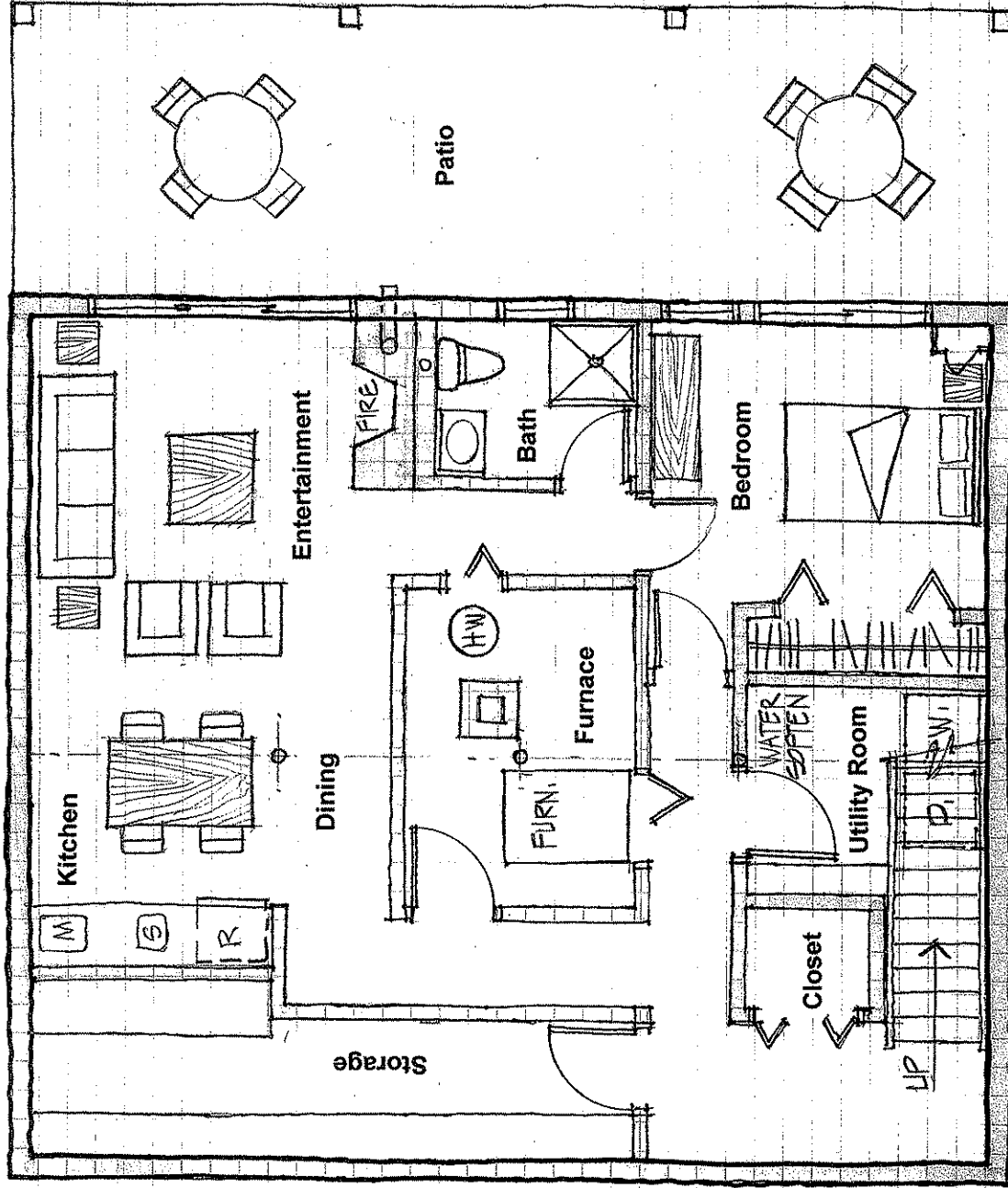
Lake House Main Level

IBI GROUP	PROJECT: BRIGHTON HOUSE	PROJECT NO.:	SHEET: 3	OF: 3
	CLIENT: RON & BETTY SOCIA	PREPARED BY: DOB	DATE: 12/30/2012	
	DESCRIPTION: ROAD HOUSE	CHECKED BY:	OTHER:	



Lake House

Road House Main Level



Road House Lower Level

GENOA TOWNSHIP
MAY 10 2013
RECEIVED

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116

(810) 227-5225 FAX (810) 227-3420

RECEIVED

6:30 PM

Case # 13-15

Meeting Date: 6-18-13

- PAID Variance Application Fee CR # 8890
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: RONALD A. SOCIA

Property Address: 3950 HIGHCREST DR Phone: 734-455-8886

LRR
Present Zoning: 401 RESIDENTIAL Tax Code: 4711-22-302-064

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: IMPROVEMENTS/MODERNIZATION TO BOTH HOUSES ALLOWING THE COST/VALUE RESTRICTIONS COVERED IN ARTICLES 24.05.04 AND 24.04.06 BE WAIVED. NO ELEVATION OR "FOOTPRINT" CHANGES ARE TO BE MADE.
- This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) _____

b. Other (explain) NONCONFORMING PROPERTY

Variance Application Requires the Following:

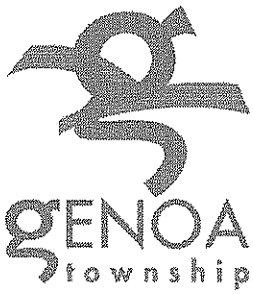
- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. *Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.*
- Waterfront properties must indicate setback from water for adjacent homes
- A Land Use Permit Application to be submitted with ZBA Variance Application.
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 5-10-13

Signature: Ronald A. Socia

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

May 28, 2011

Dear Property Owner:

The following is a proposed variance in your neighborhood that is on the agenda for the Genoa Township Zoning Board of Appeals meeting, Tuesday June 18, 2011, at 6:30 p.m. at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI.

State Statute provides for notifying property owners in close proximity to proposed variance requests. A request is being made in your area located in Section 22, 3950 Highcrest Drive, requested by Ronald A. Socia, for improvements to both houses on the property exceeding 10% of the current replacement value of the structures.

If you have any comments regarding this request, please be present at the public hearing noted above.

Please address any written comments to the Genoa Township Zoning Board of Appeals either at the Genoa Township mailing address listed above or via email at mike@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Sincerely,

Michael C. Archinal
Genoa Township Manager

MCA/km

SUPERVISOR

Gary T. McCrie

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

4711-22-300-001
CRANE HAROLD L & DONOGHUE SHARON L,
WALSH JOHN & EVELYN
716 SPENCER RD
BRIGHTON MI 48116

4711-22-302-057
BARTOLOMUCCI, JOANN
3914 HIGHCREST
BRIGHTON MI 48116

4711-22-302-058
LINDSEY LEIGH
3920 HIGHCREST
BRIGHTON MI 48116

4711-22-302-059
COOK, ERIC & JODI
3924 HIGHCREST
BRIGHTON MI 48116

4711-22-302-060
COOK, GEORGE & BARBARA
3930 HIGHCREST
BRIGHTON MI 48116

4711-22-302-061
CRANE THOMAS S & BLAIR JACQUELINE
3934 HIGHCREST
BRIGHTON MI 48116

4711-22-302-062
MESSING TRUST
3940 HIGHCREST
BRIGHTON MI 48116

4711-22-302-063
PERKOWSKI, ADAM J. II
3944 HIGHCREST
BRIGHTON MI 48116

4711-22-302-064
SOCIA LIVING TRUST
46513 MAIDSTONE
CANTON MI 48187

4711-22-302-065
CROWLEY, FLOYD J.
3956 HIGHCREST
BRIGHTON MI 48116

4711-22-302-066
PERRI JOSEPH JR. & MARIA D
3962 HIGHCREST
BRIGHTON MI 48116

4711-22-302-073
BARTOLOMUCCI NICOLE
3968 HIGHCREST
BRIGHTON MI 48116

4711-22-302-074
DAVIDGE, MICHAEL & TIFFANEY
3974 HIGHCREST
BRIGHTON MI 48116

4711-22-302-075
KOTH WILLIAM R
3980 HIGHCREST
BRIGHTON MI 48116

4711-22-302-076
BOLAND MICHAEL A TRUST
3986 HIGHCREST
BRIGHTON MI 48116

4711-22-302-077
RICE REGINA & DEBRA
3994 HIGHCREST
BRIGHTON MI 48116

4711-27-100-001
WIENCEK INVESTMENT TRUST
2624 FRESHLY BREWED CT.
HENDERSON NV 89052

4711-27-100-002
HOLMES, THOMAS J. & SANDRA M.
3945 HIGHCREST
BRIGHTON MI 48116

4711-27-100-003
PAQUETTE JAMES & KATHERINE
3953 HIGHCREST
BRIGHTON MI 48116

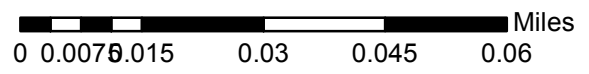
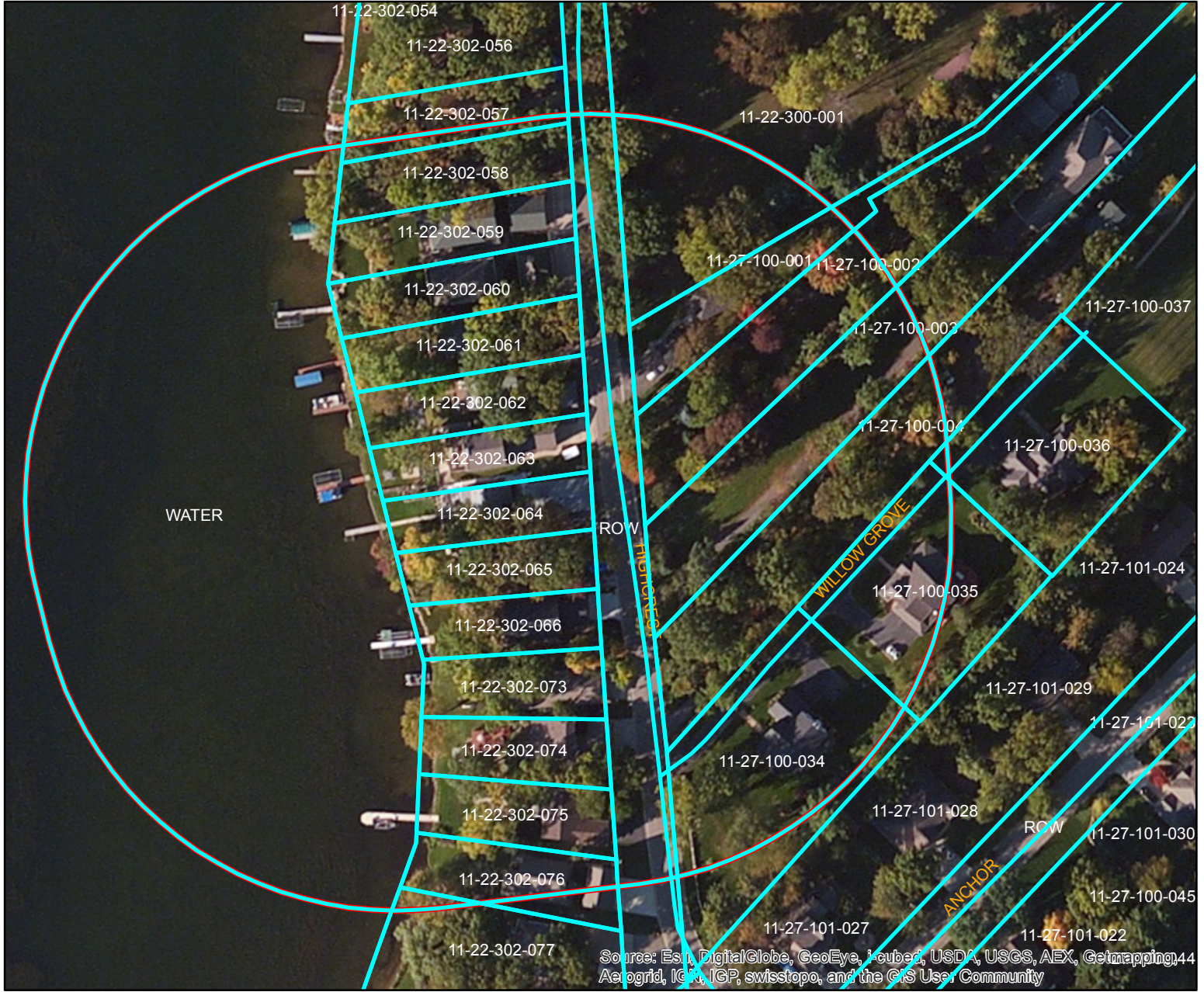
4711-27-100-004
STANEK, JOHN
3975 HIGHCREST
BRIGHTON MI 48116

4711-27-100-034
MERCIER, MARC F. & SHERYL C.
5054 WILLOW GROVE LANE
BRIGHTON MI 48116

4711-27-100-035
THAGARD JAMES & WENDY
5082 WILLOW GROVE LANE
BRIGHTON MI 48116

4711-27-100-036
PLUMMER KEITH & LINDSAY
5110 WILLOW GROVE LANE
BRIGHTON MI 48116

300 ft Buffer for Noticing



Variance Case #13-15

Applicant: Ronald A. Socia

Parcel: 4711-22-302-064

Meeting Date: 6-18-2013



May 17, 2013



MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: June 6, 2013
RE: ZBA 13-16; PID # 4711-22-302-122; Janine and James Exline

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#13-16

Site Address: 4009 Highcrest Dr

Parcel Number: 4711-28-302-122

Parcel Size: 0.197 Acres

Applicant: Janine Exline, 4009 Highcrest, Brighton, MI

Property Owner: Same as Owner

Information Submitted: Building Plans, Site Plan

Request: Dimensional Variances

Project Description: Applicant is requesting a variance from the side yard setback requirements in article 3.04.01 of the Zoning Ordinance, which requires that buildings and structures within the LRR Zoning District maintain side yard setbacks of at least five (5) feet on one side and at least ten (10) feet on the other side.

Zoning and Existing Use: LRR (Lakeshore Resort Residential), Single Family Dwelling located on lot

Other:

Public hearing was published in the Livingston County Press and Argus on June 2, 2013 and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- The parcel currently has single family dwelling located on it, built in 1957.
- There is also an accessory building on site.
- The existing structures setbacks are: F: 0' S: 2.26' S: 3.68' WF: 129'
- The existing structure's footprint is 1992 sf and has a current lot coverage of 23.2%.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

- The distance between the current building and the buildings on the adjacent parcels are not specified in the site plan nor determinable from existing aerial photos.
- The parcel has frontage on Round Lake.
- The building on the property is considered a non-conforming building due to it not meeting current setback standards.

Summary

The applicant is proposing to construct an addition on their existing house at 4009 Highcrest Dr. In order to obtain a permit for the construction of this addition the applicant will need to obtain a variance from sections of the ordinance pertaining to side yard setback requirements because this addition expands the existing non-conformity on the property. (2.26' side yard setback) The following are reflective of the proposed addition:

- Proposed Setbacks: F: N/A S: 2.25' S: 8.15'' WF: 129'
- Required Setbacks: F: 35' S1: 5' S2:10' WF: 129'
- Proposed Setback from Adjacent Building at 4011 Highcrest: Unknown (Needs to be verified)
- Required Setback from Adjacent Building at 4011 Highcrest: 10'
- Proposed lot coverage: 28.9%
- Required maximum lot coverage: 35%
- Proposed Building Height: 24.5'
- Maximum building height allowed: 25'

Variance Requests

The variance request is as follows:

1. Article 3.04.01 **Dimensional Standards (Table included in Packet)** (LRR Side yard setbacks)

Article 3.04.02(k) **LRR Side Yards:** In the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met:

- (1) The other side yard must be at least ten (10) feet.
- (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet.
- (3) The roof shall have gutters. (as amended 3/5/10)

The required side yard setback in the LRR district is five (5) feet as long as the conditions in article 3.04.02(k) are met. The existing structure is 2.26' from the west property line and 3.68' from the east property line. The proposed addition is located 2.25' from the west side property line and 8.15' from the east property line which fails to meet the 5' and 10' requirements. The proposed variance would be a 7.75' variance on the east side yard and a 1.85' variance on the west side yard. A variance is required because this addition would be considered the expansion of a non-conformity on an existing non-conforming building.

Standards for Approval

The following is the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

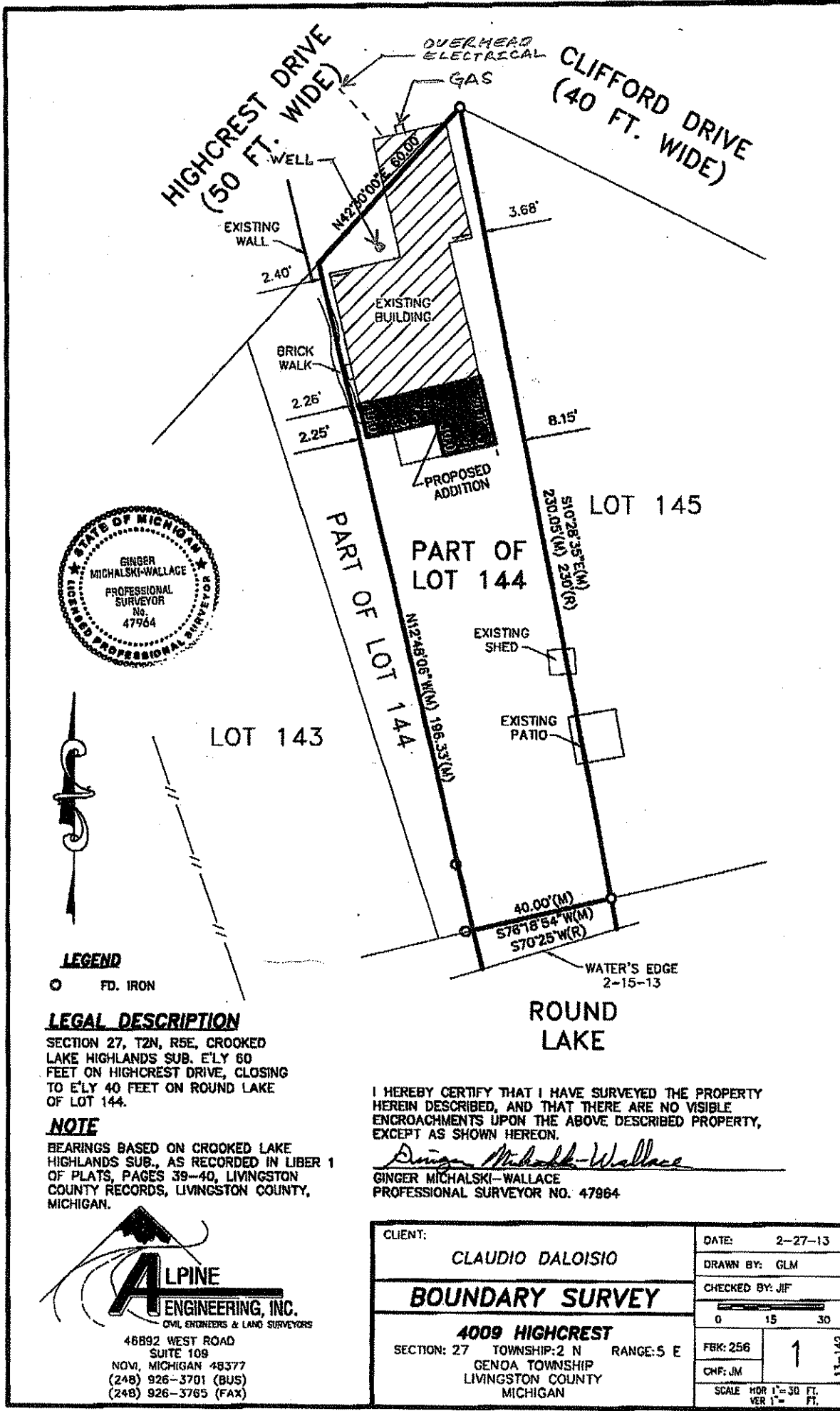
(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Other Comments/Discussion

None

3.8
20.2
24'



LOT 143

PART OF LOT 144
 PART OF LOT 145
 BRICK WALK
 EXISTING BUILDING
 PROPOSED ADDITION
 EXISTING SHED
 EXISTING PATIO
 WATER'S EDGE 2-15-13

LEGEND

○ FD. IRON

LEGAL DESCRIPTION

SECTION 27, T2N, R5E, CROOKED LAKE HIGHLANDS SUB. E'LY 60 FEET ON HIGHCREST DRIVE, CLOSING TO E'LY 40 FEET ON ROUND LAKE OF LOT 144.

NOTE

BEARINGS BASED ON CROOKED LAKE HIGHLANDS SUB., AS RECORDED IN LIBER 1 OF PLATS, PAGES 39-40, LIVINGSTON COUNTY RECORDS, LIVINGSTON COUNTY, MICHIGAN.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED, AND THAT THERE ARE NO VISIBLE ENCROACHMENTS UPON THE ABOVE DESCRIBED PROPERTY, EXCEPT AS SHOWN HEREON.

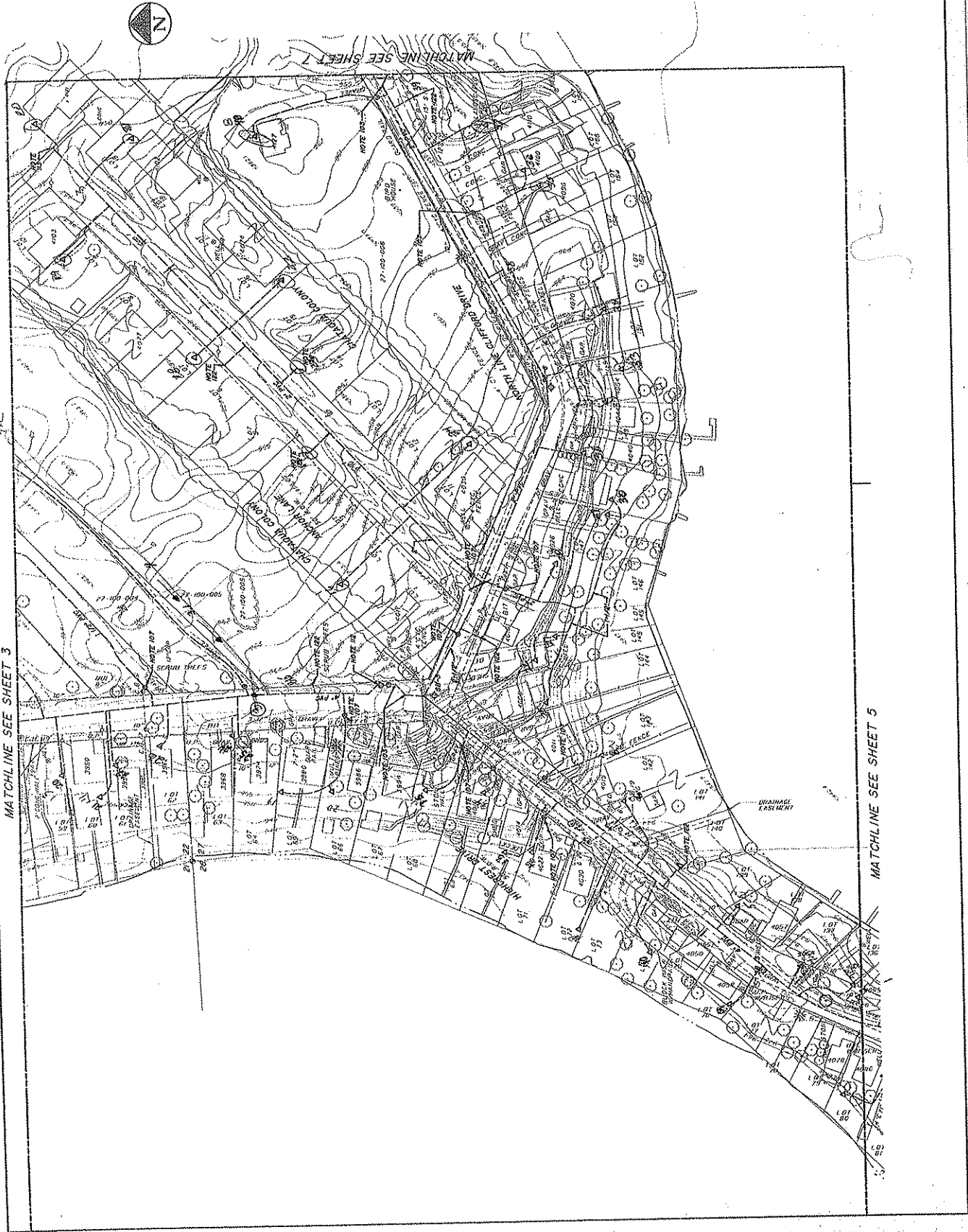
Ginger Michalski-Wallace
 GINGER MICHALSKI-WALLACE
 PROFESSIONAL SURVEYOR NO. 47964

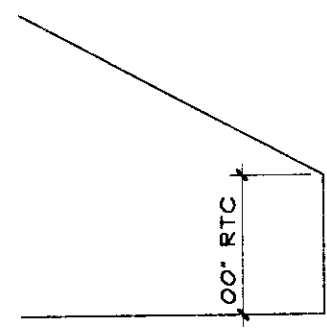
ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 48892 WEST ROAD
 SUITE 109
 NOV, MICHIGAN 48377
 (248) 926-3701 (BUS)
 (248) 926-3765 (FAX)

CLIENT: CLAUDIO DALOISIO	DATE: 2-27-13
BOUNDARY SURVEY	DRAWN BY: GLM
	CHECKED BY: JIF
4009 HIGHCREST SECTION: 27 TOWNSHIP: 2 N RANGE: 5 E GENOA TOWNSHIP LIVINGSTON COUNTY MICHIGAN	0 15 30
	FBK: 256
	CHP: JM
	SCALE HOR 1"=30 FT. VER 1"= FT.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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THE ENGINEERING COMPANY 1000 MARKET STREET, PHOENIX, ARIZONA	
PROJECT NO. 90-5-3	SHEET NO. 5
DATE: 10/15/90	DRAWN BY: J. W. BROWN
CHECKED BY: J. W. BROWN	APPROVED BY: J. W. BROWN
TITLE:	
PLAN:	





RTC DENOTES RAISED HEEL HEIGHT OF TRUSS (REFERENCE TO ROOF TRUSS)



TCB DENOTES TOP CHORD BEARING OF TRUSS (REFERENCE TO ROOF OR FLOOR TRUSS)



BCB DENOTES BOTTOM CHORD BEARING OF TRUSS (REFERENCE TO FLOOR TRUSS ONLY)



FG DENOTES FLOOR GIRDER TRUSS



GT DENOTES GIRDER TRUSS

BUILDING DESIGNER'S ASSUMPTION:

- ROOF TRUSSES TO CLEARSPAN UNLESS NOTED OTHERWISE.
- FLOOR TRUSSES TO CLEARSPAN BETWEEN BEARING WALLS AS SHOWN. ONE PIECE MULTIPLE SPANS TRUSSES ARE ALLOWED WITH APPROVAL OF BUILDING DESIGNER. DETAILS INDICATING AIR SPACES FOR SOUND CONTROL SHALL NOT BE VIOLATED WITH TRUSS MEMBERS.
- ROOF AND FLOOR TRUSSES IN FIRERATED SYSTEMS SHALL MEET OR BE LESS THAN THE MAXIMUM SPACING AND MEET OR EXCEED MINIMUM DEPTH REQUIREMENTS AS LISTED IN THE TEST REPORTS. TRUSS PLATES SHALL MEET CRITERIA LISTED IN TEST REPORTS.
- WIND LOADS ARE BEING TRANSFERRED THROUGH EXTERIOR WALLS WITH TRUSS CONNECTION POINTS AND THROUGH INTERIOR SHEAR WALLS WHERE INDICATED ON PLANS. WHERE ROOF SHEATHING IS INDICATED TO TRANSFER TO INTERIOR SHEAR WALL TRUSS CHORDS SHALL BE SIZED FOR NAILING PATTERNS AS INDICATED TO DIAPHRAGM TRUSS AND TRANSFER LOADS.
- CABLE-END TRUSSES: ALL GABLE TRUSSES TO BE SHEATHED WITH 1/4" OSB MATERIAL. VERTICAL REINFORCING OF WEB MEMBERS TO BE DESIGNED BY TRUSS DESIGNER TO PREVENT WITH-DRAWAL LOADS OCCURRING IN TRUSS PLATES. LATERAL BRACING OF TOP AND BOTTOM TRUSS CHORDS TO BE TRANSFERRED THROUGH ROOF AND CEILING SHEATHINGS. DIAGONAL BRACING IS DESIGNED BY TRUSS DESIGNER AND SHALL REMAIN IN PLACE TO PREVENT RACKING OF TRUSS UNDER LATERAL LOADING.
- SEE SHEET N-1 FOR REQUIRED LIVE AND DEAD LOADS.
- BUILDING DESIGNER IS NOT RESPONSIBLE FOR TRUSS CHORD MEMBERS SUBJECT TO DESIGN DEFICIENCIES. REINFORCING IF REQUIRED IS THE RESPONSIBILITY OF TRUSS DESIGNER.
- ANY DIFFERENCES BETWEEN CODE REQUIREMENTS AND TRUSS INDUSTRIES STANDARDS THE MORE STRINGENT SHALL APPLY.
- IT IS IMPORTANT FOR THE TRUSS DESIGNER/FABRICATOR TO TAKE GREAT CARE IN THE HANDLING, SHIPPING, AND DELIVERY PROCESS TO INSURE THE TRUSSES ARE NOT DAMAGED. SEE HB-91, PROVIDED BY TRUSS DESIGNER/FABRICATOR, FOR PROPER STORAGE METHODS FOR TRUSSES PRIOR TO DELIVERY AND ERECTION.

FLOOR & ROOF TRUSSES:

THE TRUSS DESIGNER IS TO PROVIDE A DESIGN FOR AN ENTIRE ROOF OR FLOOR SYSTEM, AND NOT FOR INDIVIDUAL COMPONENTS. THE TRUSS DESIGNER MUST ASCERTAIN THAT THE LOADS UTILIZED MEET OR EXCEED THE LOAD VALUES REQUIRED BY THE MICHIGAN BUILDING CODE OR THE MICHIGAN RESIDENTIAL CODE.

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSS DESIGNS INCLUDING GIRDERS, HANGERS, BEARING SEATS, AND ANCHORS FOR TRUSSES.

TRUSS FRAMING SHOWN ON PLANS IS FOR GENERAL REFERENCE AND TO INDICATE BEARING LOCATIONS. TRUSS MANUFACTURER SHALL NOTIFY ARCHITECT IF ADDITIONAL BEARING POINTS AND/OR WALLS ARE NEEDED PRIOR TO FABRICATION AND ERECTION.

ALL ROOF TRUSSING SHALL BE BRACED PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED ON DRAWINGS.

TRUSS DESIGN DRAWINGS, PREPARED IN COMPLIANCE WITH SECTION R-502.11, SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION. TRUSS DESIGN DRAWING SHALL BE PROVIDED WITH THE SHIPMENT OF TRUSSES DELIVERED TO THE JOBSITE. TRUSS DESIGN DRAWINGS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING INFORMATION REQUIRED BELOW.

- SLOPE OR DEPTH, SPAN, AND SPACING.
- LOCATION OF ALL JOINTS.
- REQUIRED BEARING WIDTHS.
- DESIGN LOADS AS APPLICABLE.
 - TOP CHORD LIVE LOAD (INCLUDING NORMAL SNOW LOADS & DRIFTING LOADS)
 - TOP CHORD DEAD LOAD.
 - BOTTOM CHORD LIVE LOAD.
 - BOTTOM CHORD DEAD LOAD.
 - CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION.
 - CONTROLLING WIND AND/OR EARTHQUAKE LOADS.
- ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE.
- EACH REACTION FORCE AND DIRECTION.

- JOINT CONNECTOR TYPE AND DESCRIPTION (E.G., SIZE, THICKNESS OR GAUGE); AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFACE.
- LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER.
 - CONNECTION REQUIREMENTS FOR:
 - TRUSS-TO-TRUSS GIRDER
 - TRUSS PLY-TO-PLY.
 - FIELD SPLICES.
 - CALCULATED DEFLECTION RATIO AND OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
 - MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS AND ANY REINFORCING REQUIRED FOR OVERSTRESSED MEMBERS. CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING, FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS.
 - REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE TRUSS LAYOUT DRAWINGS SHOWING THE FOLLOWING (IN ADDITION TO ANY CODE REQUIREMENTS):

- TRUSS TYPE INDICATORS CLEARLY MARKED.
- END LOAD REACTIONS FOR ALL GIRDER TRUSSES, INCLUDING ANY UPLIFT LOADS.

FIRERATED TRUSS SYSTEMS

TRUSS DESIGNER IS TO REVIEW ALL FIRERATED ASSEMBLIES INDICATED ON THE DRAWINGS. THE TRUSS DESIGN DRAWINGS SHALL PROVIDE CHORD MEMBERS AND INDICATE WHERE ANY BRIDGING, BLOCKING OR STIFFENERS ARE TO BE INSTALLED AS REQUIRED BY THE TESTED ASSEMBLY.

ALL METAL TRUSS PLATES USED IN THE FABRICATION OF THE TRUSSES SHALL BE AS SPECIFIED IN THE TESTED ASSEMBLY. ANY LOAD REDUCTION IN CAPACITY OF PLATES SHALL BE COMPLIED WITH.

WHERE PROPRIETARY PLATES, MATERIALS OR PROCESSES ARE LISTED AS A PART OF THE FIRERATED DESIGN THE TRUSS FABRICATOR SHALL OBTAIN MATERIALS OR CERTIFICATION OF COMPLIANCE WITH THE SYSTEM FROM THE PROPRIETARY HOLDER.

NOTES TO TRUSS DESIGNER, TRUSS FABRICATOR, AND CARPENTER/TRUSS INSTALLER:

- LATERAL BRACING SHALL BE AS SHOWN IN DIAGRAMS OF 'HB-91' PUBLICATION PROVIDED BY TRUSS FABRICATOR:
 - SEE TABLE, HB-91 SUMMARY SHEET FRAME 3, 'PITCHED TRUSS TOP CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING. SEE TABLE, HB-91 SUMMARY SHEET FRAME 4, 'BOTTOM CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING.
 - BRACING MEMBER SHALL BE A MINIMUM OF 10'-0" LONG W/ A LAP OF ONE TRUSS BAY EACH END.
 - TEMPORARY BRACING SIZES FOR ROOF TRUSSES SHALL BE SPECIFIED BY TRUSS DESIGNER FOR INSTALLATION TO INTERIOR CHORD FACE OF TRUSSES.
 - SEE TABLE, HB-91 SUMMARY SHEET FRAME 3, 'PITCHED TRUSS TOP CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING OF DIAGONAL BRACING.
 - SEE TABLE, HB-91 SUMMARY SHEET FRAME 4, 'BOTTOM TRUSS CHORD TEMPORARY BRACING' FOR MAXIMUM SPACING OF DIAGONAL BRACING.
 - SEE TABLE, HB-91 SUMMARY SHEET FRAME 4 FOR DIAGONAL BRACING AT LATERAL BRACE LINES AND MAXIMUM SPACING.
- TRUSS DESIGNER SHALL PROVIDE COPIES OF ALL FIELD CORRECTIONS AND/OR REPAIR DIAGRAMS AND WRITTEN DIRECTIONS MADE DURING FIELD CONSTRUCTION.

ROOF TRUSSES:

- TRUSS SPACING SHALL BE DETERMINED BY THE TRUSS DESIGNER AND NOT EXCEED 24' O.C. AS REQUIRED FOR ROOF SHEATHING.
- PIGGY-BACK TRUSSES SHALL BEAR ON PERPENDICULAR BRACING INSTALLED ON TOP CHORD OF LOWER MAIN TRUSS. MAIN TRUSS SHALL BE DESIGNED AS REQUIRED WHERE TRUSS WEBS EXCEED ALLOWABLE AXIAL LOADS TRUSS DESIGNER SHALL SPECIFY REQUIRED STIFFENERS OR BRACING.
- THE 1/2" STRUCTURAL ROOF SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD THE 5/8" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD
- TRUSS DESIGNER SHALL DESIGN ALL TRUSSES FOR LOADS AND SPANS AS REQUIRED TO COMPLY WITH THE INTENT OF THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE TRUSS DESIGNER TO SIZE WEB MEMBERS TO BE STRUCTURALLY ADEQUATE FOR LOADS IMPOSED. OVER STRESSED MEMBERS SHALL HAVE NECESSARY REINFORCEMENT DESIGNED BY THE TRUSS DESIGNER.
- GABLE END TRUSSES SHALL BE DESIGNED TO RECEIVE WALL SHEATHING. BRACING FOR LATERAL LOADS SHALL BE DESIGNED BY TRUSS DESIGNER TO ELIMINATE OUT-OF-PLANE LOADS ON TRUSS PLATES.
- GABLE END TRUSSES SHALL BE DESIGNED TO MATCH THE CEILING PROFILE OF ROOM ADJACENT TO END WALL.
- TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR PERMANENT LATERAL BRACING TO FUNCTION WITH THE PROPOSED TRUSS SYSTEM. TRUSS CHORDS RECEIVING LOADS FROM BRACING SHALL BE SIZED ACCORDINGLY.
- TRUSS DESIGNER SHALL PROVIDE DESIGNS FOR LATERAL BRACING TO RUN CONTINUOUS ALONG TRUSS CHORDS WHERE PRACTICAL TO MAINTAIN LONGEST POSSIBLE BRACING LINE THROUGH TRUSS SYSTEM. WHERE BRACING LINE CANNOT BE MAINTAINED TRUSS DESIGNER IS TO PROVIDE DETAILS FOR TRANSFER OF LOADS IN BRACE LINE OR TERMINATION USING DIAGONAL BRACES.
- TRUSS DESIGNER SHALL DESIGN DIAGONAL BRACING AT TERMINATION POINTS OF PERMANENT LATERAL BRACING.
- TEMPORARY AND PERMANENT DIAGONAL BRACING SHALL BE INDICATED ON THE ROOF FRAMING LAYOUT PLANS, INCLUDING MEMBER SIZES.
- TRUSS DESIGNER SHALL PROVIDE WOOD GRADE QUALITY OF ALL BRACING MEMBERS TO ELIMINATE SPLITTING AND CRACKING DURING INSTALLATION BY CARPENTER.
- THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE OF THE CRITERIA AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THIS BUILDING. THEREFORE TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

FLOOR TRUSSES:

- THE TRUSS DESIGNER SHALL PROVIDE SIZE AND LOCATION OF STIFF BACK BRACING IN FLOOR TRUSSES TO COMPLY WITH DEFLECTION CRITERIA INDICATED ON DRAWINGS. SEE SHEET N-1 FOR LOADS AND DEFLECTION CRITERIA.
- THE 23/32" STRUCTURAL FLOOR SHEATHING SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS TOP CHORD. THE 1/2" MIN. GYPSUM BOARD SHALL BE INSTALLED AND IS INTENDED TO BECOME THE PERMANENT BRACING FOR THE TRUSS BOTTOM CHORD.
- ALL TEMPORARY BRACING REQUIRED BY THE TRUSS DESIGNER SHALL REMAIN AS PART OF THE PERMANENT BRACING SYSTEM.
- POINT LOADS FROM ABOVE REQUIRING SOLID BLOCKING SHALL BE DESIGNED WITH VERTICAL BLOCKS FABRICATED IN PLACE TO ALLOW LOAD TO CONTINUE THROUGH TO BEARING BELOW.
- BOND FLOOR TRUSSES SHALL BE DESIGNED TO TRANSFER LATERAL WALL LOADS TO BEARING BELOW.
- TRUSS SPACING SHALL BE DETERMINED BY TRUSS DESIGNER FOR LOAD AND DEFLECTION CRITERIA INDICATED ON DRAWINGS.
- FLOOR TRUSSES IN AREAS RECEIVING CERAMIC TILE OR OTHER SIMILAR MATERIAL SHALL SPACED A MAXIMUM OF 14' O.C. OR HAVE LADDER BLOCKING INSTALLED AT 14' O.C. BETWEEN TRUSSES (TRUSS DESIGNERS OPTION). SEE CONSTRUCTION DRAWINGS FOR ALL SUCH LOCATIONS. MAXIMUM DEFLECTION CRITERIA FOR SUCH MATERIALS SHALL BE AS SPECIFIED BY THE PRODUCT MANUFACTURER OR INDUSTRY STANDARDS.
- THE TRUSS DESIGNER UNDERSTANDS THAT THE BUILDING DESIGNER HAS NO KNOWLEDGE OF THE CRITERIA AND ASSUMPTIONS MADE IN THE DESIGN OF THE TRUSSES FOR THIS BUILDING. THEREFORE TRUSS CHORD MEMBERS AND PLATES SIZING TO ACCOMMODATE THE STATED REQUIRED BRACING REMAINS THE RESPONSIBILITY OF THE TRUSS DESIGNER.

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES & DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

7

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CLIENT/PROJECT
EXLINE RESIDENCE
4009 HIGHCREST DRIVE
BRIGHTON, MICHIGAN

DRAWN BY: DJ
CHECKED BY: PJ

SHEET INFORMATION
TRUSS NOTES

CAD FILE: EXLINE_RES.ecg

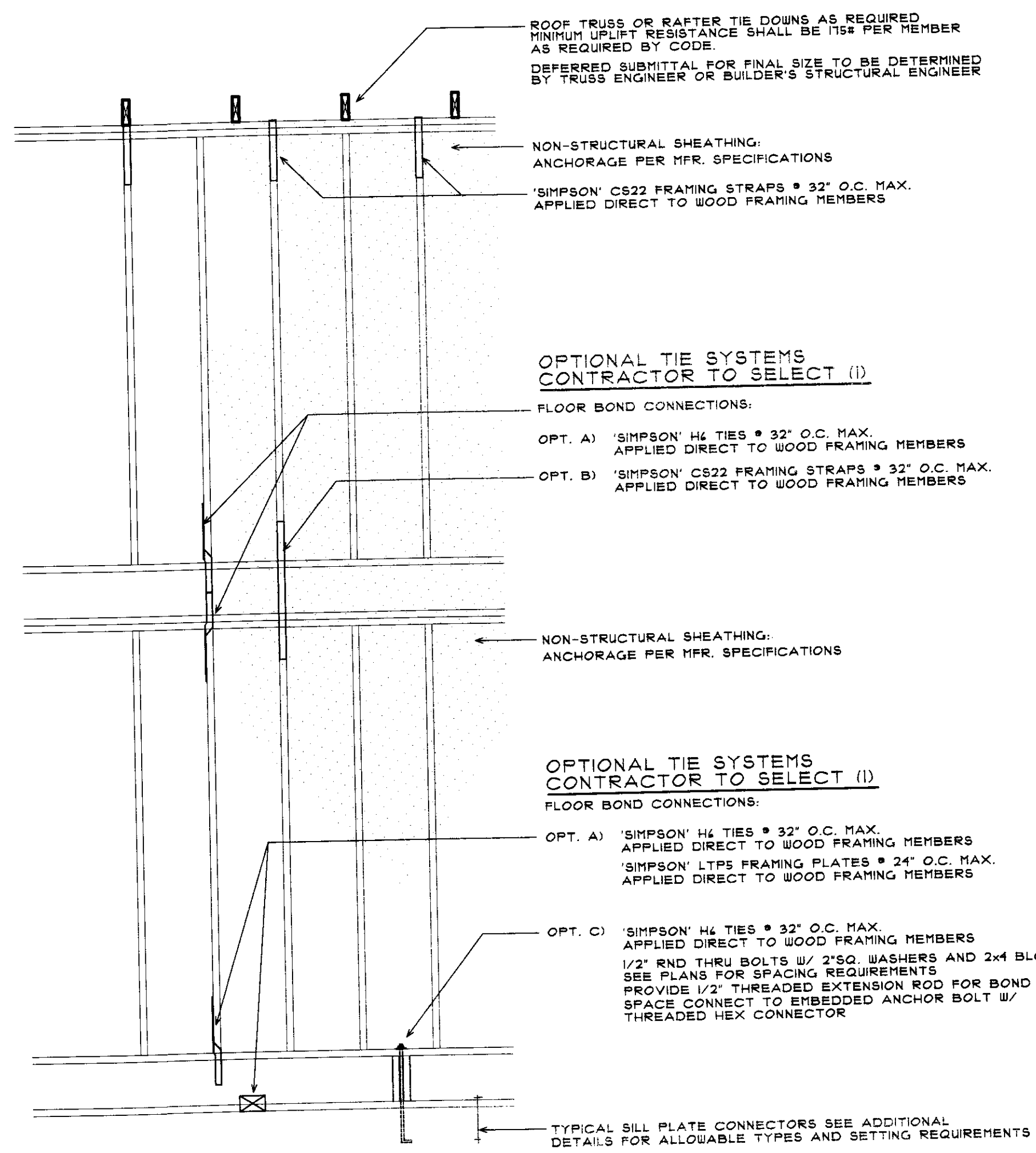
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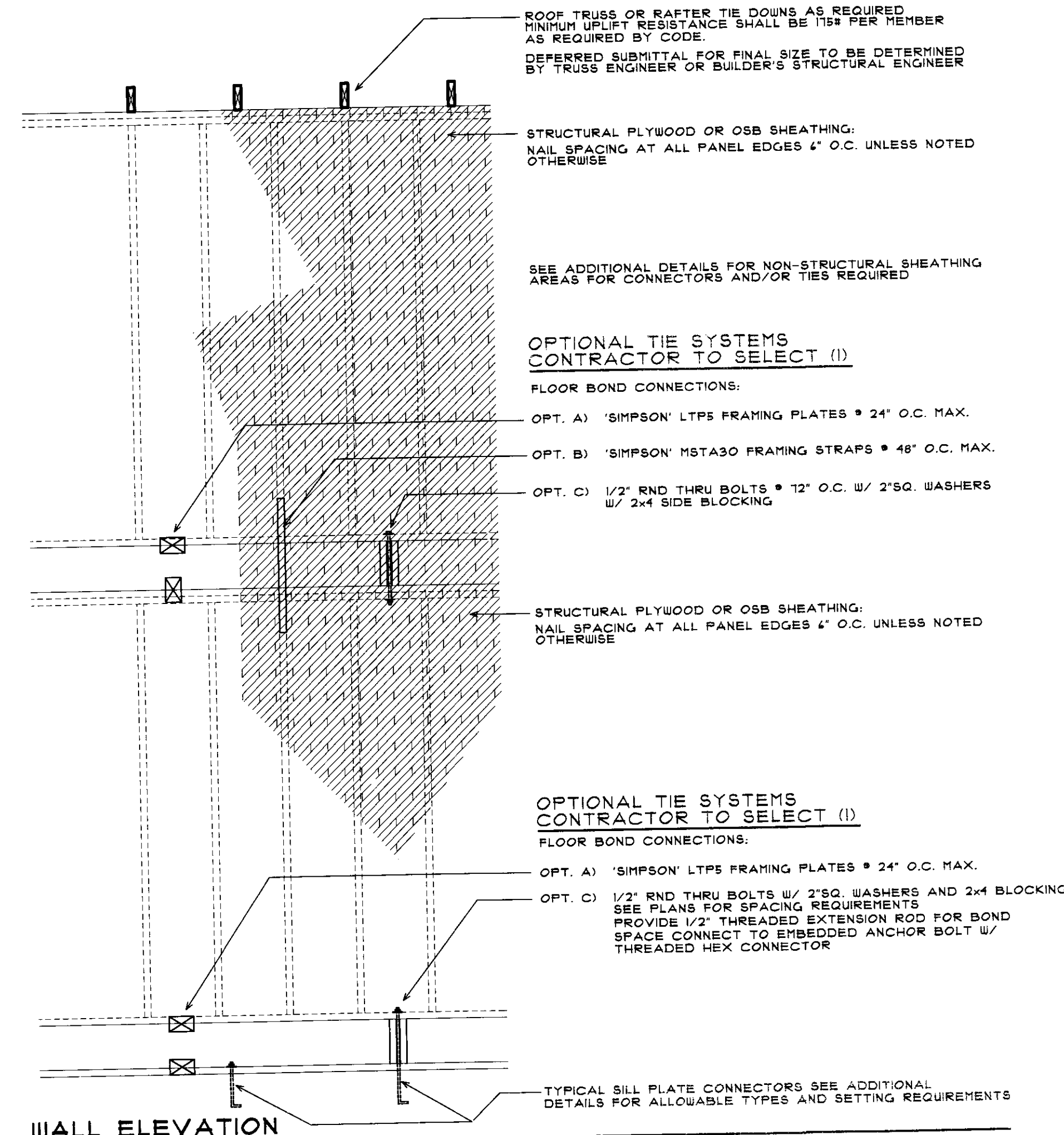
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JOB NO. 1241

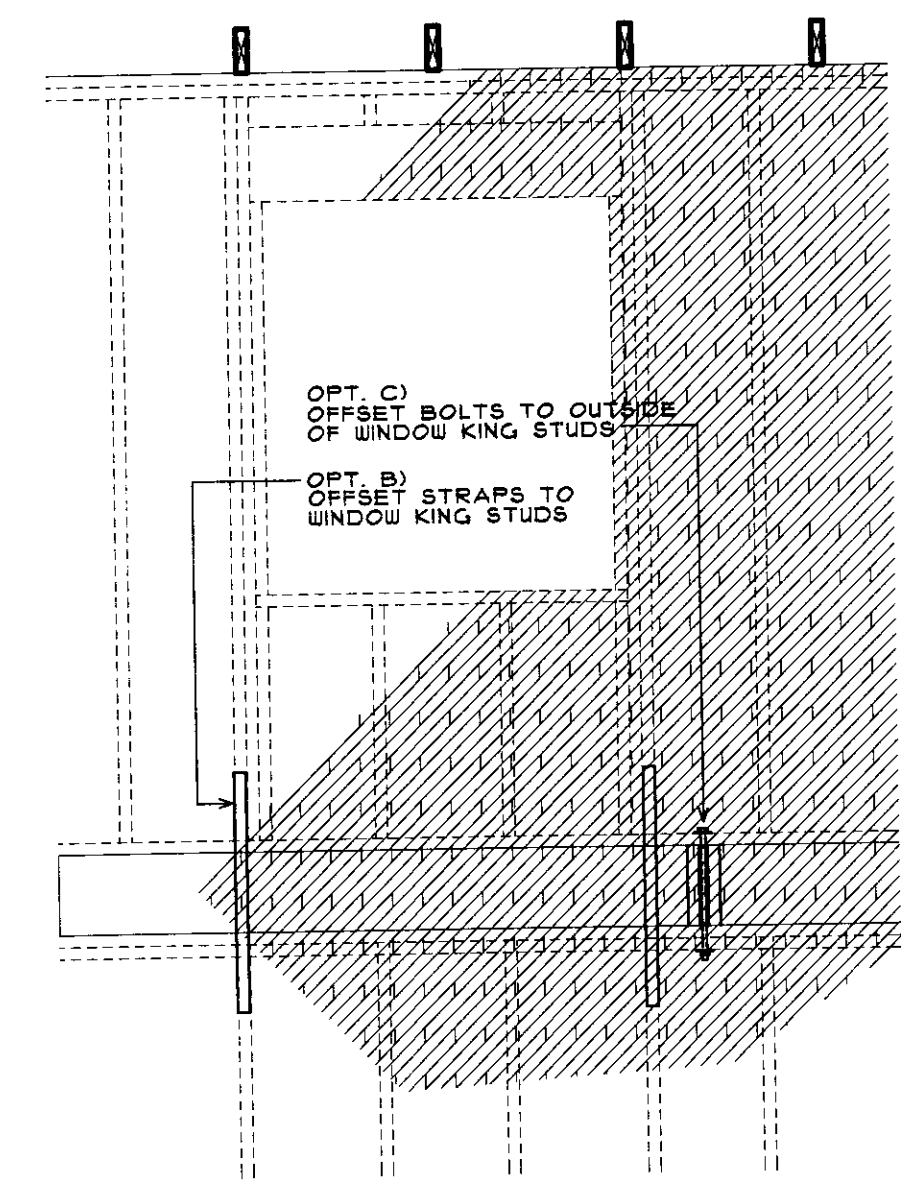
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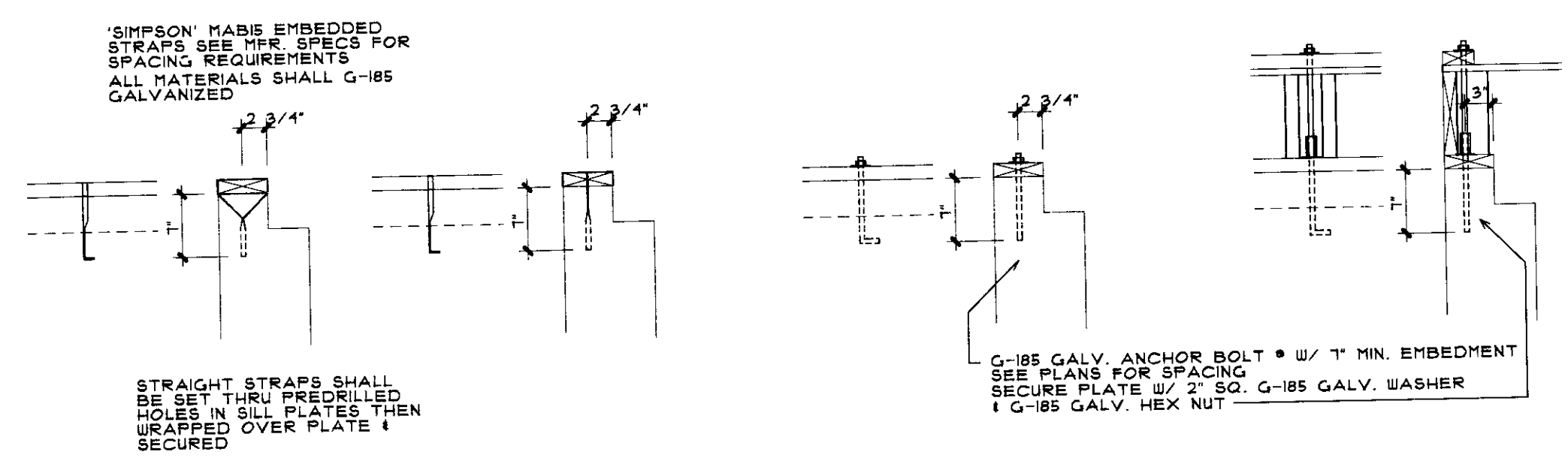
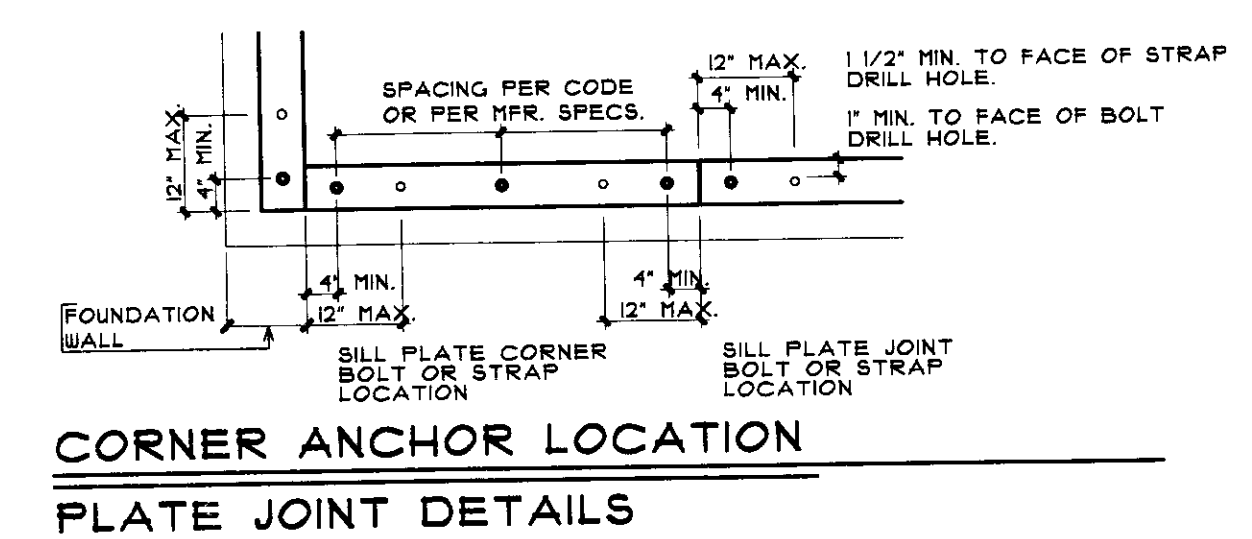
**WALL ELEVATION
LOAD PATH TIES
AT NON-STRUCTURAL SHEATHING**



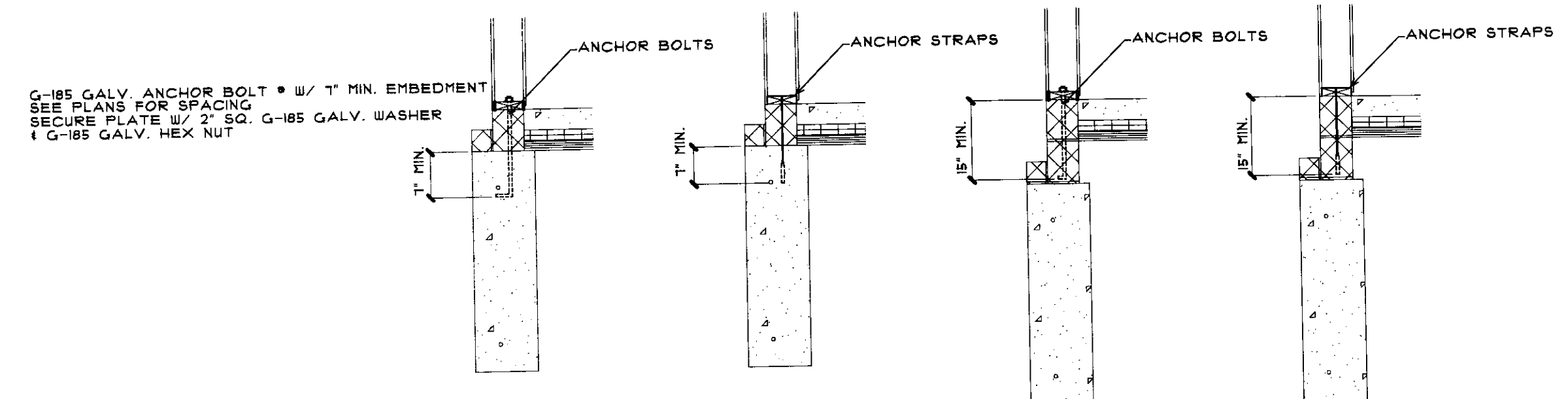
**WALL ELEVATION
OPTIONAL LOAD PATH TIES
AT STRUCTURAL SHEATHING**



**WALL/WINDOW ELEVATION
OPTIONAL LOAD PATH TIES**



**STRAP ANCHORS
STANDARD CONCRETE
ANCHOR EMBEDMENT**



**SINGLE BLOCK COURSE
EMBEDMENT** **TWO OR MORE BLOCK COURSE
EMBEDMENT**

GENERAL CONTRACTOR SHALL DETERMINE FOUNDATION ANCHOR SYSTEM

FOUNDATION CONTRACTOR SHALL INSTALL SILL PLATE ANCHORS OF TYPE CHOSEN WITH CORRECT SPACING AND EMBEDMENT DEPTH AS REQUIRED BY CODE OR MANUFACTURER'S WRITTEN SPECIFICATIONS

CORNER SILL PLATE ANCHORS SHALL BE INSTALLED AS DIMENSIONED ON DETAIL FOR SILL CORNERS.

GENERAL CONTRACTOR TO COORDINATE LOCATIONS FOR SILL PLATE JOINTS. WHERE ANCHOR SPACING DOES NOT OCCUR AS DETAILED CONTRACTOR SHALL INSTALL 1/2\"/>

CARPENTER CONTRACTOR SHALL INSTALL SILL PLATES AS DETAILED FOR ANCHOR BOLTS OR FOR STRAPS AS SPECIFIED BY STRAP MFR.

WHERE ANCHOR SYSTEM DOES NOT MEET CODE FOR MIN. & MAX. DIMENSIONS ADDITIONAL BOLTS SHALL BE INSTALLED FOR CORRECTIONS.

ALTERNATE FOR G-185 GALVANIZED MATERIALS SHALL BE STAINLESS STEEL OF GAGES AS SPECIFIED BY MANUFACTURER.

NOTE TO PLAN REVIEWER:
TRUSS TIEDOWN SIZES AND TYPES ARE A DEFERRED SUBMITTAL TO BE PROVIDED WITH TRUSS SHOP DRAWINGS BY OTHERS.
FINAL SIZE OF TRUSS TIES TO BE DETERMINED BY TRUSS ENGINEER OR BUILDER'S STRUCTURAL ENGINEER

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

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CLIENT PROJECT: **EXLINE RESIDENCE**
4009 HIGHCREST DRIVE
BRIGHTON, MICHIGAN

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SHEET INFORMATION: **WALL TIEDOWN DETAILS**

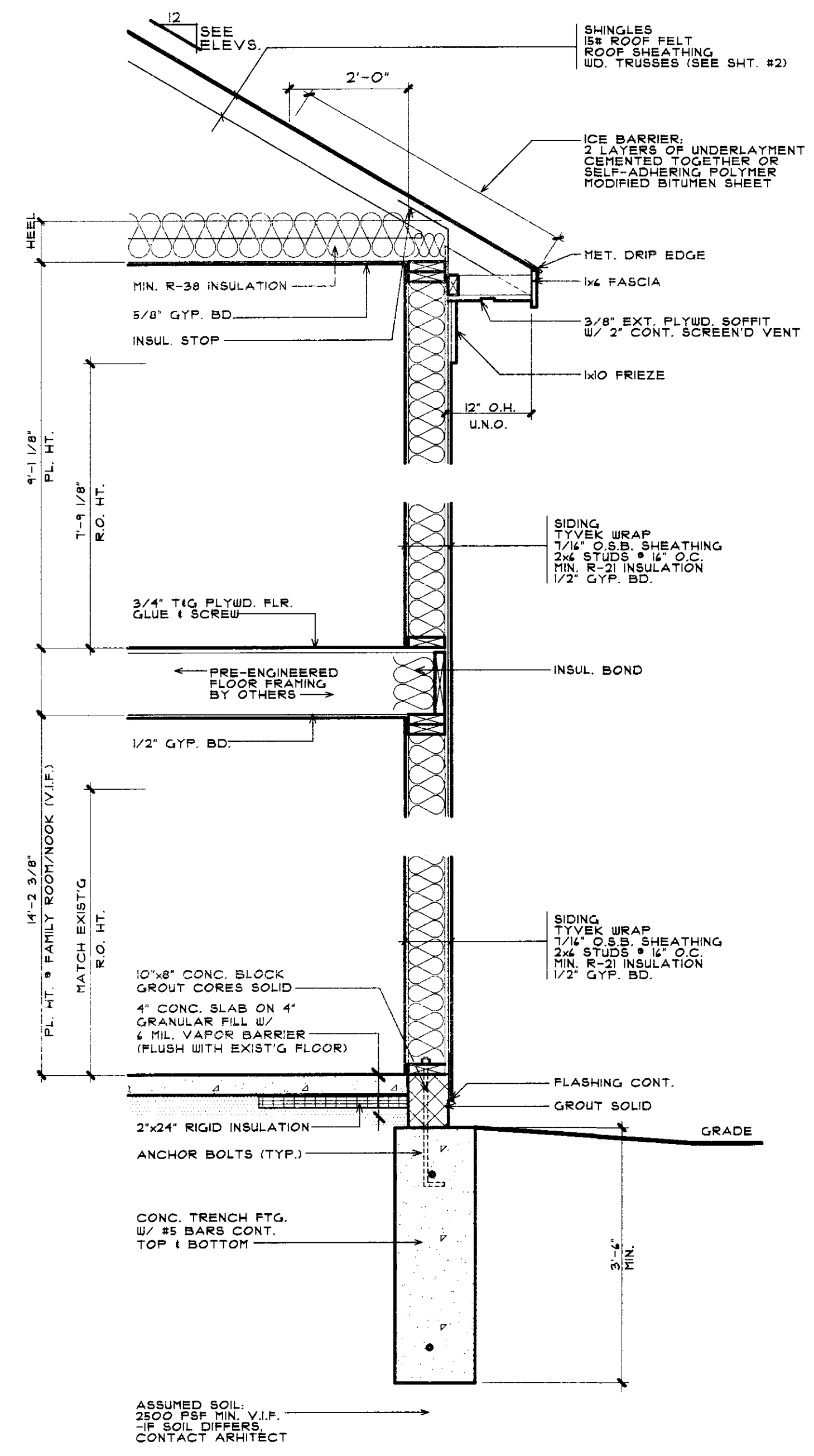
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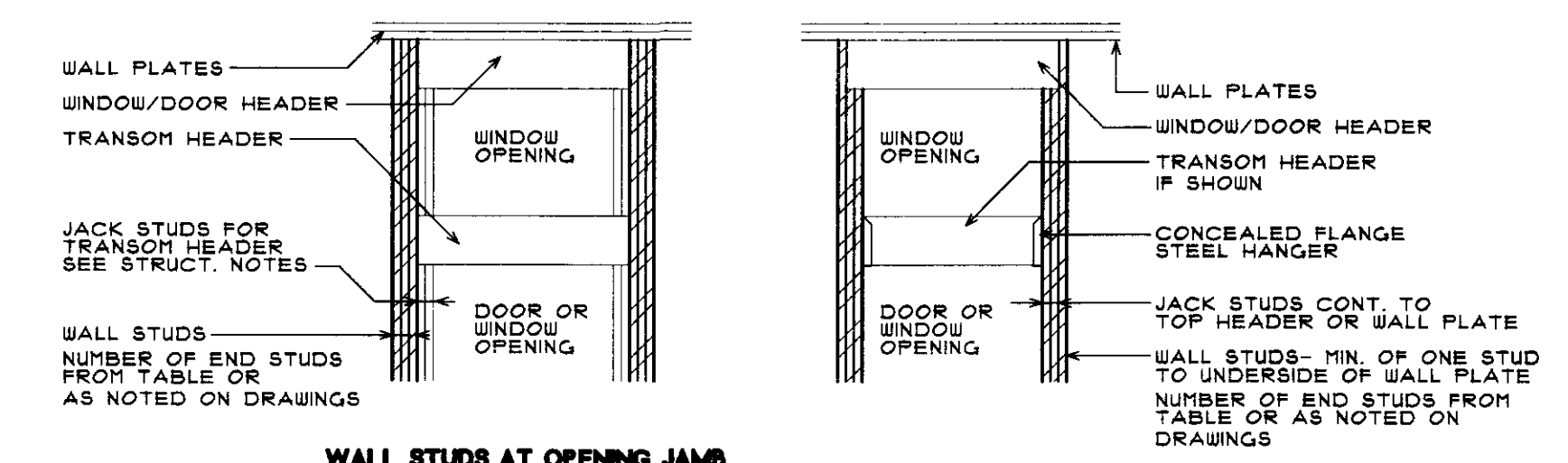
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ID SET: []
PERMIT SET: []
CONSTRUCTION SET: []

COMPLETION DATE: 04-08-13

SHEET NO. 3
JOB NO. 1241



403 WALL SECTION
SCALE: 3/4"=1'-0"

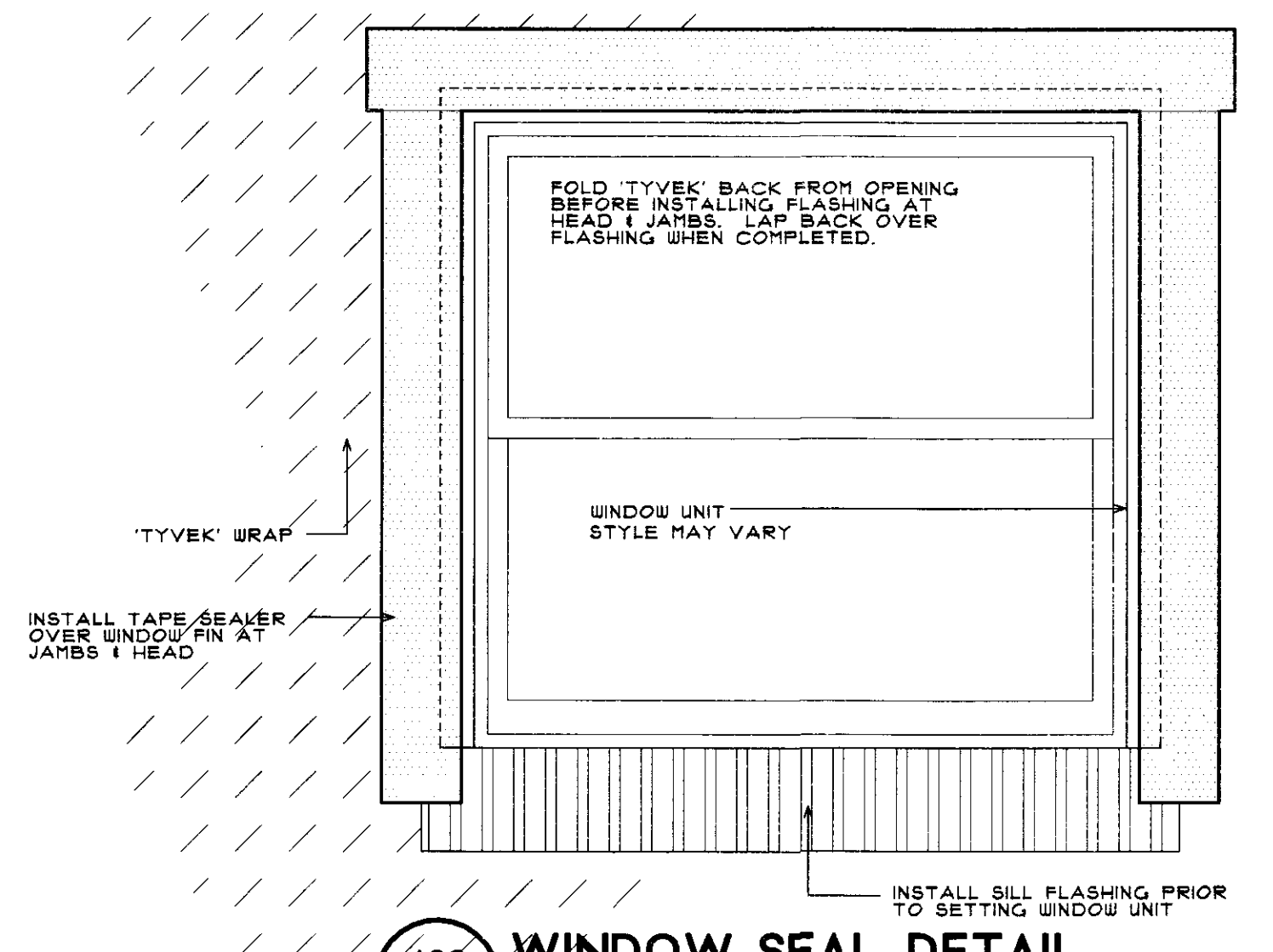


WALL STUDS AT OPENING JAMB

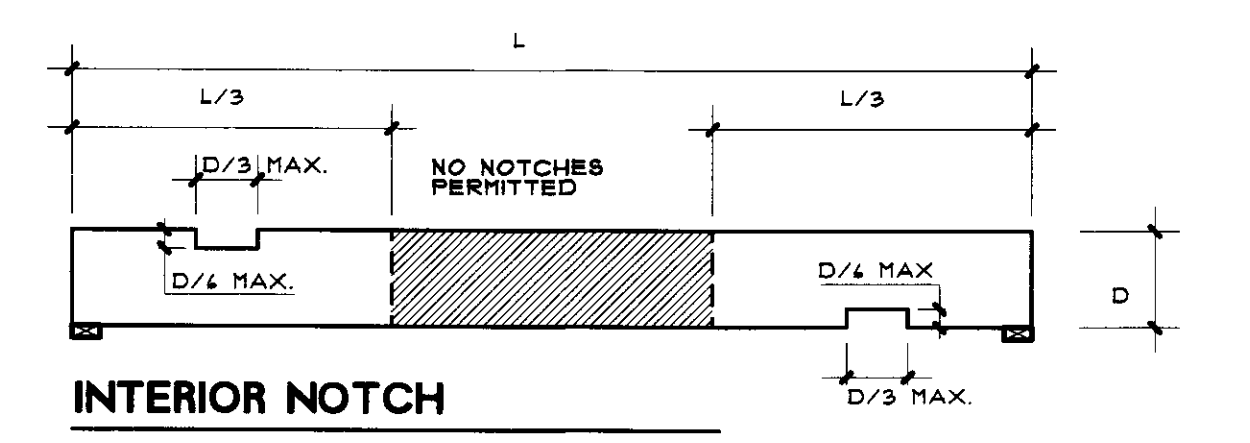
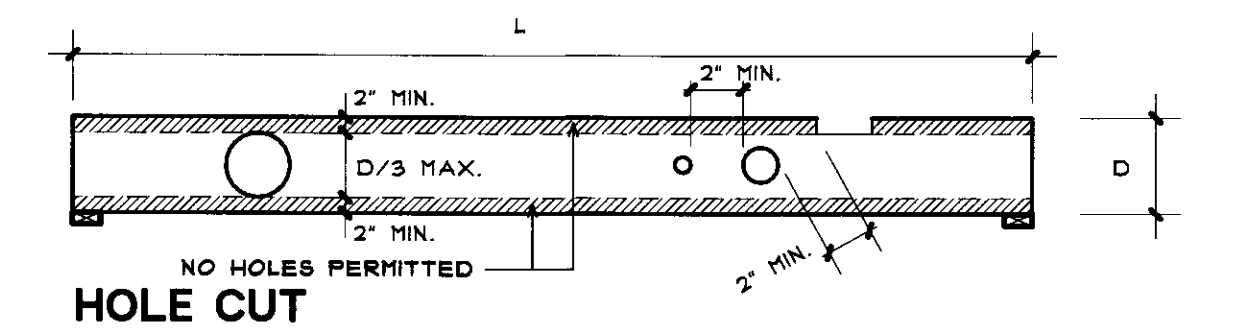
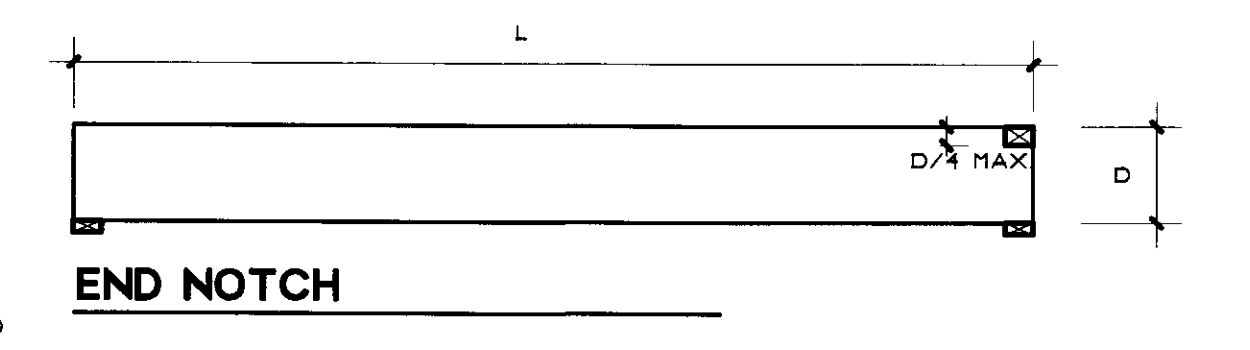
OPENING WIDTH	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"
NUMBER OF STUDS EACH SIDE	1	2	2	3	3	4

WINDOW/DOOR END STUD DETAIL

A MINIMUM OF ONE WALL STUD SHALL BE CONTINUOUS TO WALL PLATE AT EACH SIDE OF OPENING



402 WINDOW SEAL DETAIL
NO SCALE

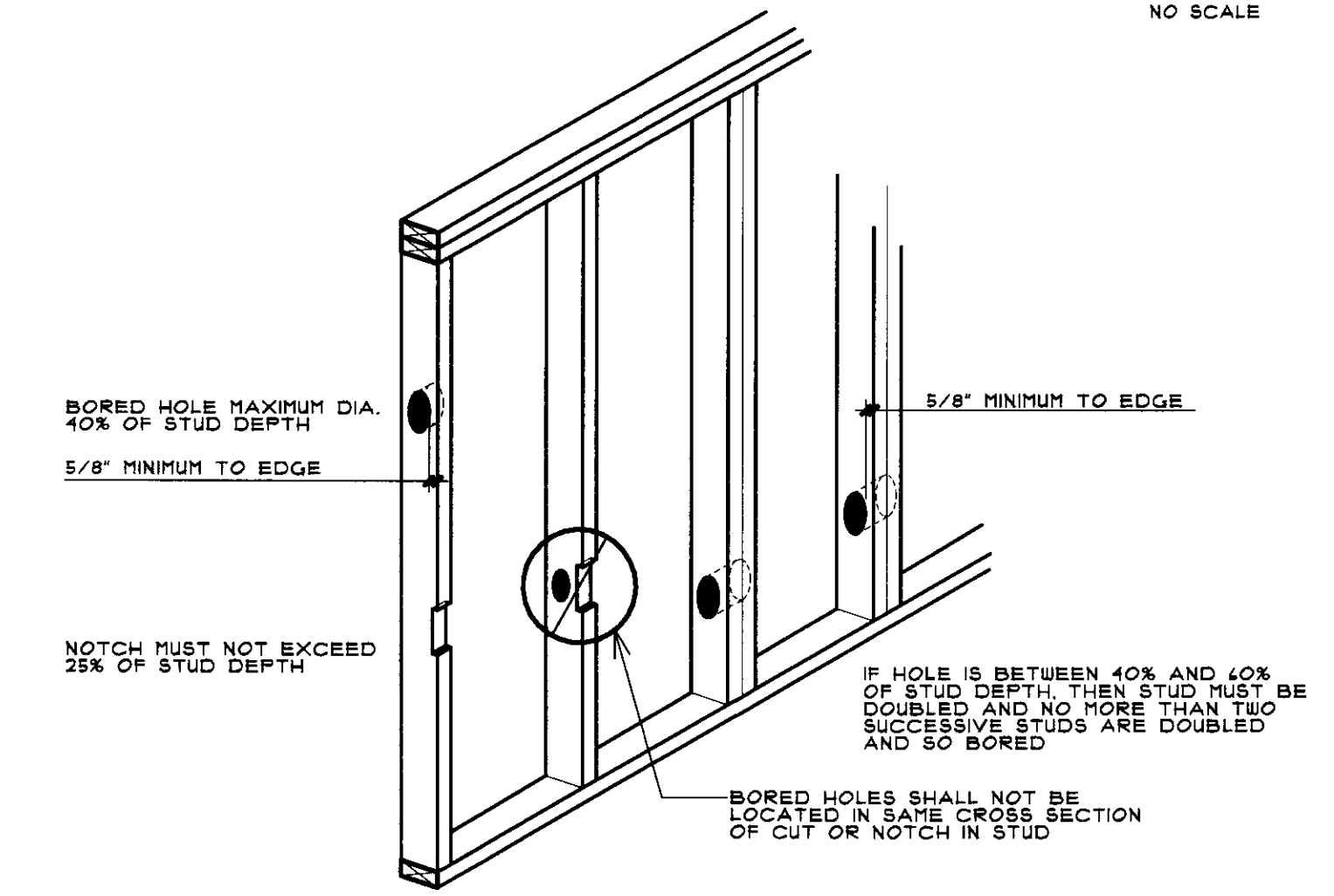


JOIST CUTTING DETAILS

JOIST SIZE	NOTCH (MIN)	HOLE DIAMETER (D/3)
2x8	2 3/8" x 1 1/8"	2 3/8"
2x10	3" x 1 1/2"	3"
2x12	3 3/4" x 1 1/8"	3 3/4"

ALL SIZES INDICATED ARE MAXIMUM AND INCLUDE ANY OVER-CUT BEYOND OPENING

JOIST CUTTING DETAILS



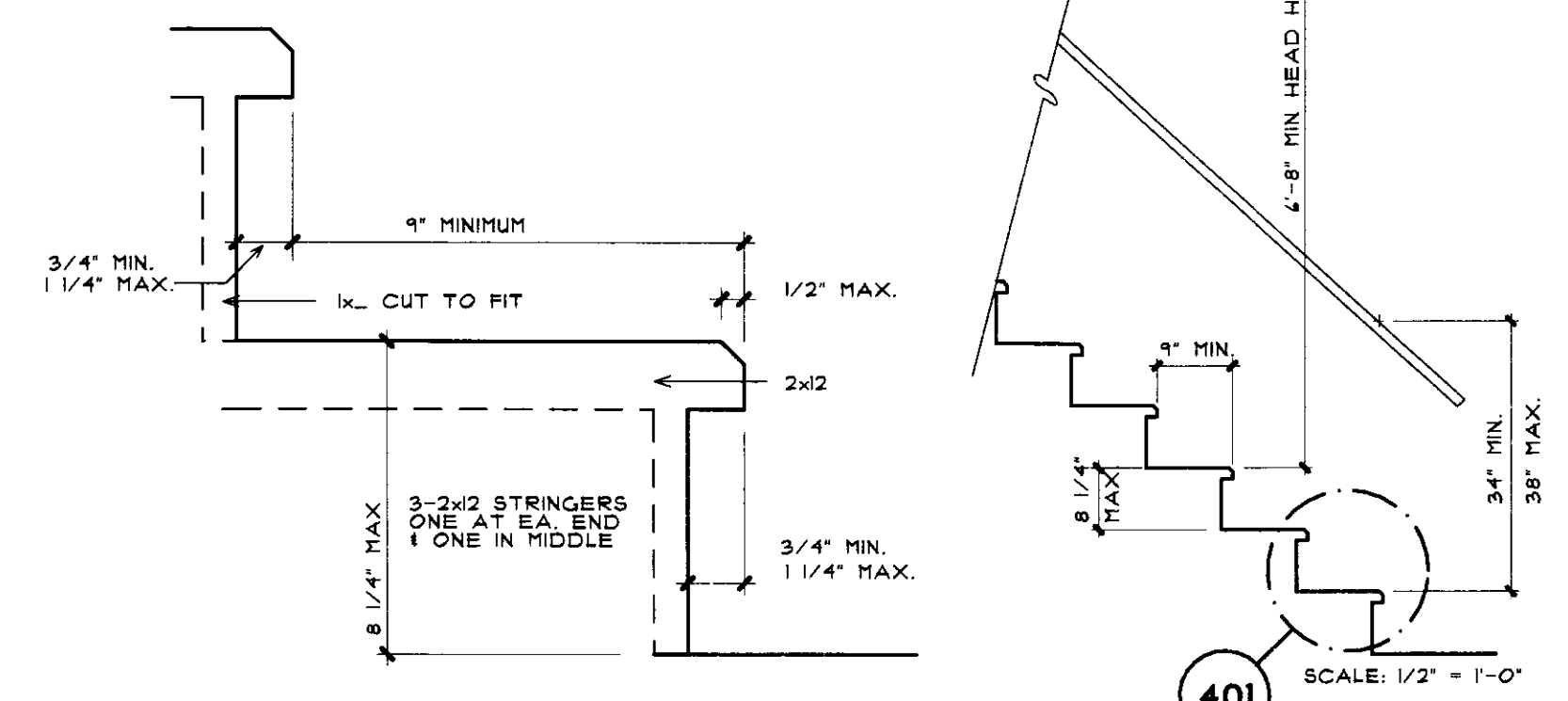
STUD SIZE	NOTCH	HOLE DIAMETER (40%)	(40%)
2x4	1 7/8"	2"	1 3/8"
2x6	1 3/8"	3"	2 3/8"
2x8	1 3/4"	4 1/4"	2 7/8"

ALL SIZES INDICATED ARE MAXIMUM AND INCLUDE ANY OVER-CUT BEYOND OPENING

*** SEE CURRENT CODE FOR COMPLETE WRITTEN DESCRIPTION OF ALLOWABLE CUTTING & BORING.

STUD BORING & CUTTING DETAILS

BEARING WALLS NO SCALE



401 TYPICAL STAIR DETAIL
SCALE: 3/4"=1'-0"

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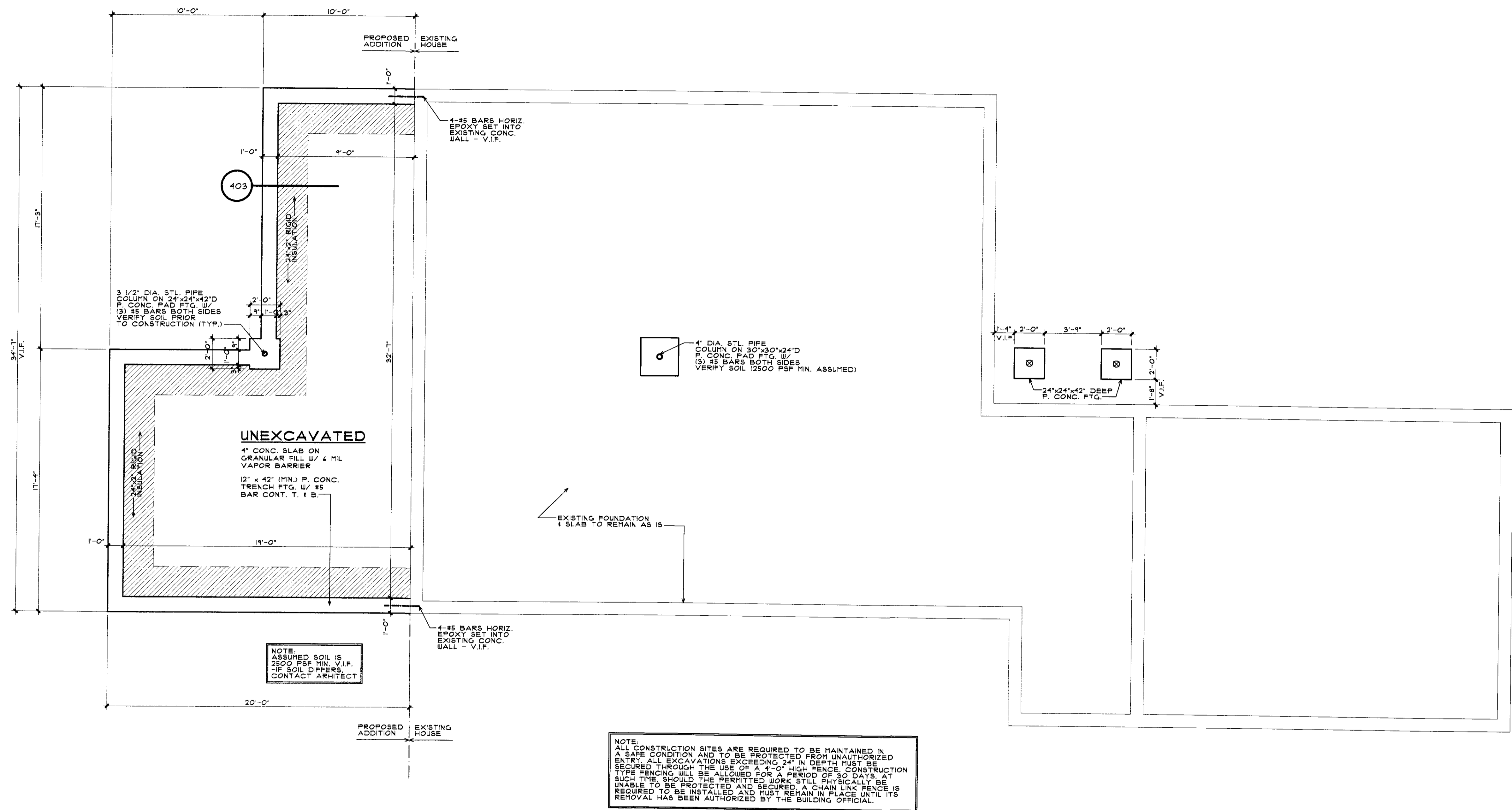
CLERY PROJECT
EXLINE RESIDENCE AND WALL SECTION
 4009 HIGHCREST DRIVE
 BRIGHTON, MICHIGAN

DRAWN BY: DZ
 CHECKED BY: DZ
 SHEET INFORMATION
TYPICAL DETAILS AND WALL SECTION
 CAD FILE: EXLINE RES. AEC

SCHEMATIC REVIEW SET: 03-20-13
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 PERMIT SET: 04-08-13
 CONSTRUCTION SET: 04-08-13

COMPLETION DATE: 04-08-13

JOB NO. 1241



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.

(2) 2x10 LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.

ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.

ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.

ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.

ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS. WHICH EVER IS GREATER.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ NODES AND CLEARLY STAMPED LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

CARPENTER CONTRACTOR TO INSTALL NAIL SIZES I NUMBER REQ'D AS SPECIFIED FOR EACH TYPE OF HANGER.

FLOOR TRUSS MANUF. TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALL(S) AND STAGGER STUD WALL(S) CONSTRUCTION.

PROVIDE VERTICAL BLOCKING 4 TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.

NOTE: ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORIES IN HIGH SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR SIGHT WITH MATERIALS HAVING THE REQUIRED FIRE RESISTANCE RATING.

WALL KEY:

NEW CONC. TRENCH FTG.

EXIST'G FOUNDATION

NOTE: EXIST'G ELECTRICAL TO REMAIN AS IS UNLESS NOTED OTHERWISE

NOTE: PROVIDE TEMPORARY SHOWING AS NECESSARY DURING DEMOLITION

GENERAL DEMOLITION NOTES:

SHUT OFF UTILITIES AS REQUIRED TO MAINTAIN SAFE CONDITIONS DURING DEMOLITION. ALL ELECTRICAL, GAS, AND WATER LINES SHALL BE SAFELY CAPPED PRIOR TO RESTORING SERVICE.

CONSULT WITH ARCHITECT PRIOR TO PERFORMING DEMOLITION WHICH MAY AFFECT STRUCTURAL ELEMENTS OF THE BUILDING.

CAREFULLY HANDLE AND SAVE ALL MATERIALS WANTED BY OWNER AND STORE IN AREA PROVIDED BY OWNER.

CONTRACTOR SHALL DISPOSE OF ALL MATERIALS TO BE REMOVED FROM SITE.

LOCATIONS OF IN SLAB UNDER SLAB ELECTRICAL, PLUMBING ETC. ARE UNKNOWN. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS.

TEMPORARILY CAP ALL FLOOR DRAINS DURING DEMOLITION.

SAWCUT CONCRETE SLABS AS REQUIRED FOR UNDERSLAB CONSTRUCTION.

REMOVE ELECTRICAL WIRING, CONDUIT, LIGHT FIXTURES, AND ACCESSORIES AS DETERMINED BY THE ELECTRICAL CONTRACTOR.

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

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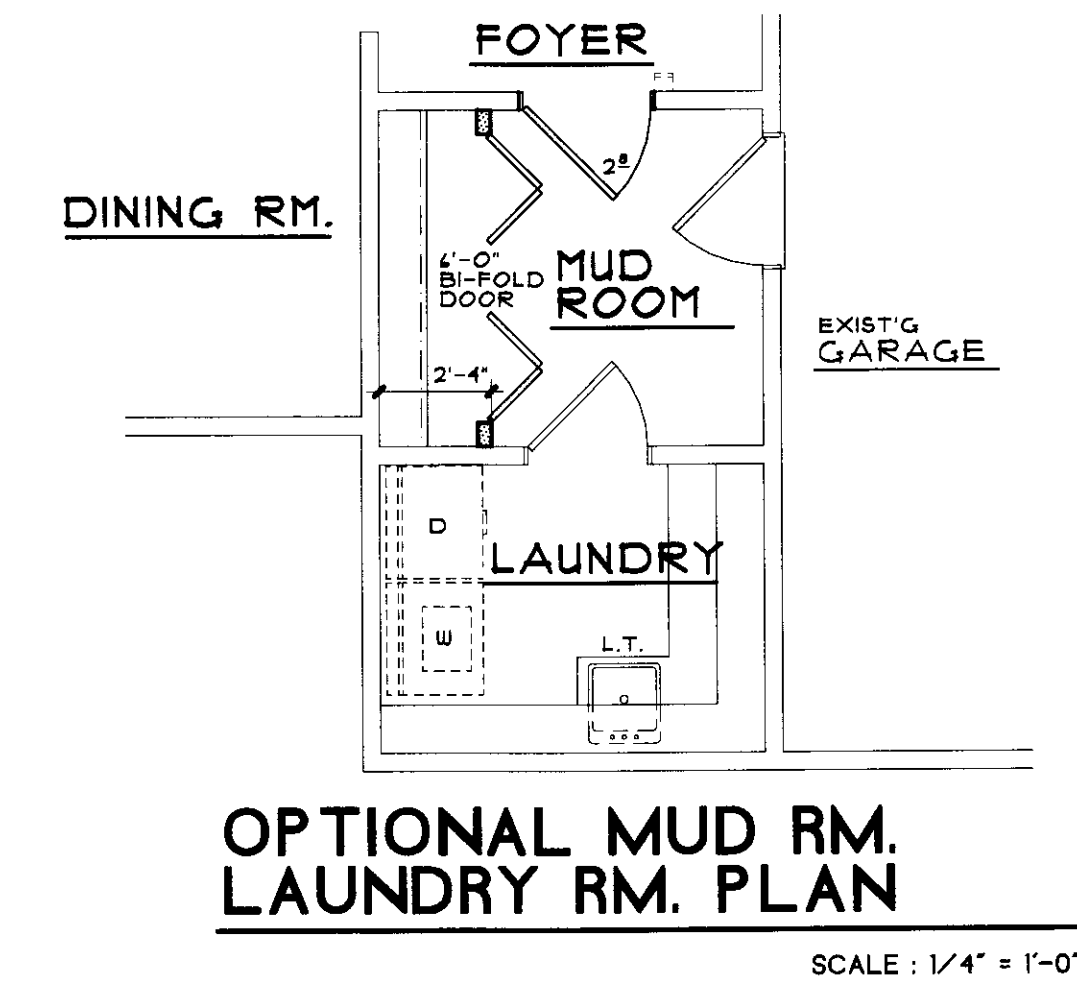
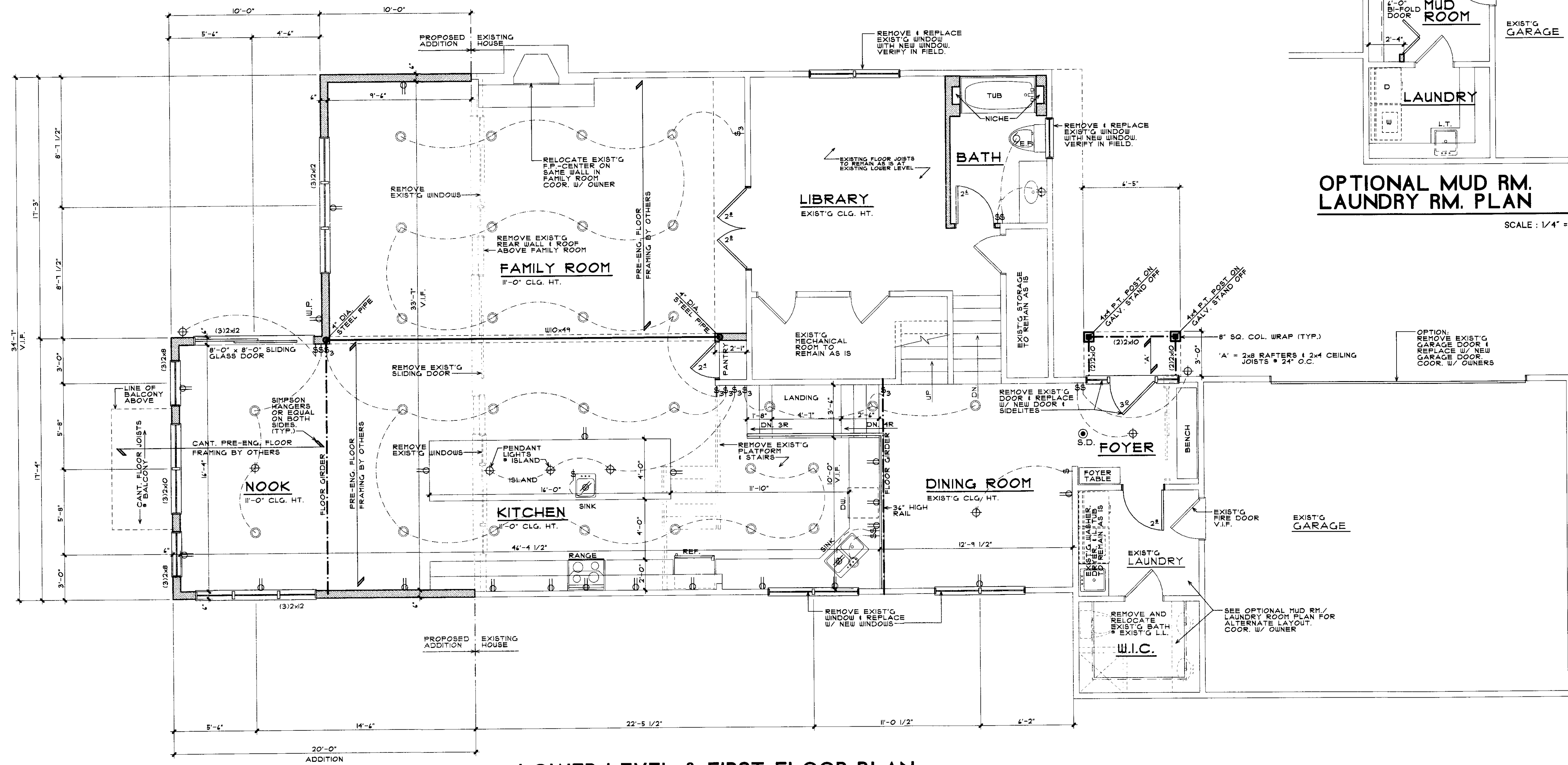
EXLINE RESIDENCE
4009 HIGHCREST DRIVE
BRIGHTON, MICHIGAN

FOUNDATION PLAN

03-20-13 04-08-13 04-08-13

COMPLETION DATE: 04-08-13

JOB NO. 1241



LOWER LEVEL & FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
L.L./1ST FLR. ADDITION	519 SQ. FT.
2ND FLOOR ADDITION	1231 SQ. FT.
TOTAL ADDITION	1750 SQ. FT.

STRUCTURAL NOTES:

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.

(2) 2x6 OR LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.

ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.

ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.

ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.

ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED & LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.

CARPENTER CONTRACTOR TO INSTALL NAIL SIZES & NUMBER REQ'D AS SPECIFIED IN TRUSS MANUF. TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALL(S) AND STAGGER STUD WALL(S) CONSTRUCTION.

PROVIDE VERTICAL BLOCKING * TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.

NOTE: ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORES IN HIGH, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE RESISTANCE RATING.

WALL KEY:

- NEW ROUGH STUD WALL
- EXIST'G WALLS
- EXIST'G WALL TO BE REMOVED

NOTE: EXIST'G ELECTRICAL TO REMAIN AS IS UNLESS NOTED OTHERWISE

NOTE: PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION

GENERAL DEMOLITION NOTES:

SHUT OFF UTILITIES AS REQUIRED TO MAINTAIN SAFE CONDITIONS DURING DEMOLITION. ALL ELECTRICAL, GAS, AND WATER LINES SHALL BE SAFELY CAPPED PRIOR TO RESTORING SERVICE.

CONSULT WITH ARCHITECT PRIOR TO PERFORMING DEMOLITION WHICH MAY AFFECT STRUCTURAL ELEMENTS OF THE BUILDING.

CAREFULLY HANDLE AND SAVE ALL MATERIALS WANTED BY OWNER AND STORE IN AREA PROVIDED BY OWNER.

CONTRACTOR SHALL DISPOSE OF ALL MATERIALS TO BE REMOVED FROM SITE.

LOCATIONS OF IN SLAB UNDER SLAB ELECTRICAL, PLUMBING ETC. ARE UNKNOWN. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS.

TEMPORARILY CAP ALL FLOOR DRAINS DURING DEMOLITION.

SAWCUT CONCRETE SLABS AS REQUIRED FOR UNDERSLAB CONSTRUCTION.

REMOVE ELECTRICAL WIRING, CONDUIT, LIGHT FIXTURES, AND ACCESSORIES AS DETERMINED BY THE ELECTRICAL CONTRACTOR.

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & #4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

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EXLINE RESIDENCE
4009 HIGHCREST DRIVE
BRIGHTON, MICHIGAN

DRAWN BY: [Signature]
CHECKED BY: [Signature]

SHEET INFORMATION
LOWER LEVEL AND FIRST FLOOR PLAN

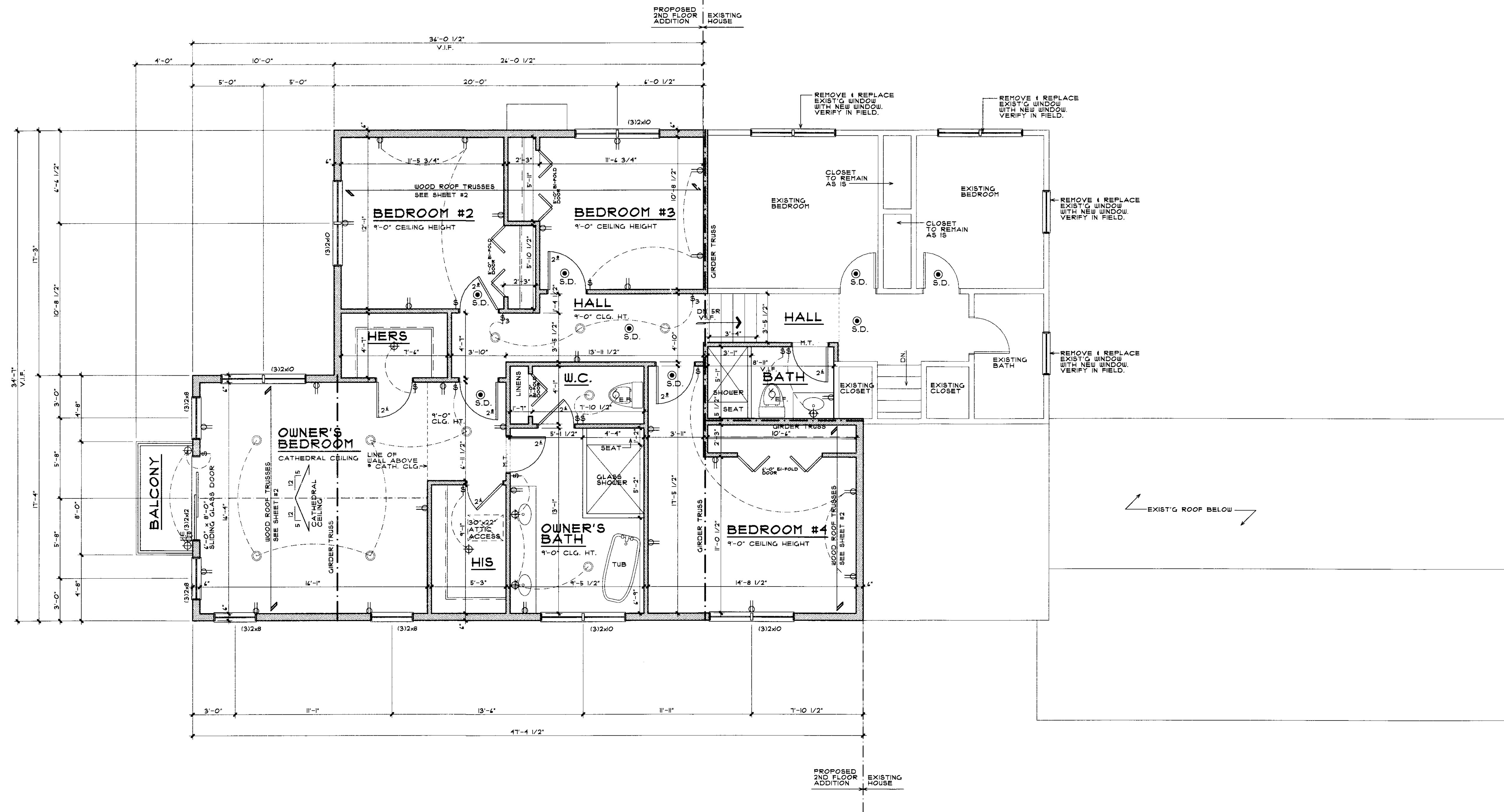
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03-20-13
04-08-13
04-08-13

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BD SET
PERMIT SET
CONSTRUCTION SET

COMPLETION DATE
04-08-13

JOB NO.
1241



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL NOTES:

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.
 (2) 2x10 & LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.
 ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.
 ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.
 ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.
 ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.

TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED & LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.
 CARPENTER CONTRACTOR TO INSTALL NAIL SIZES & NUMBER REQ'D. AS SPECIFIED FOR EACH TYPE OF HANGER.
 FLOOR TRUSS MANUF. TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALL(S) AND STAGGER STUD WALL(S) CONSTRUCTION.
 PROVIDE VERTICAL BLOCKING * TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.
 NOTE: ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL MORE THAN TWO STORIES IN HIGH, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

WALL KEY:

- NEW ROUGH STUD WALL
- EXIST'G WALLS
- EXIST'G WALL TO BE REMOVED

NOTE: EXIST'G ELECTRICAL TO REMAIN AS IS UNLESS NOTED OTHERWISE

NOTE: PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

DAZ
ARCHITECTURAL DESIGN, INC.

COPYRIGHT DATE: 2018

CLIENT/PROJECT: EXLINE RESIDENCE, 1000 HIGHCREST DRIVE, BRIGHTON, MICHIGAN

DRAWN BY: DZ
CHECKED BY: DZ

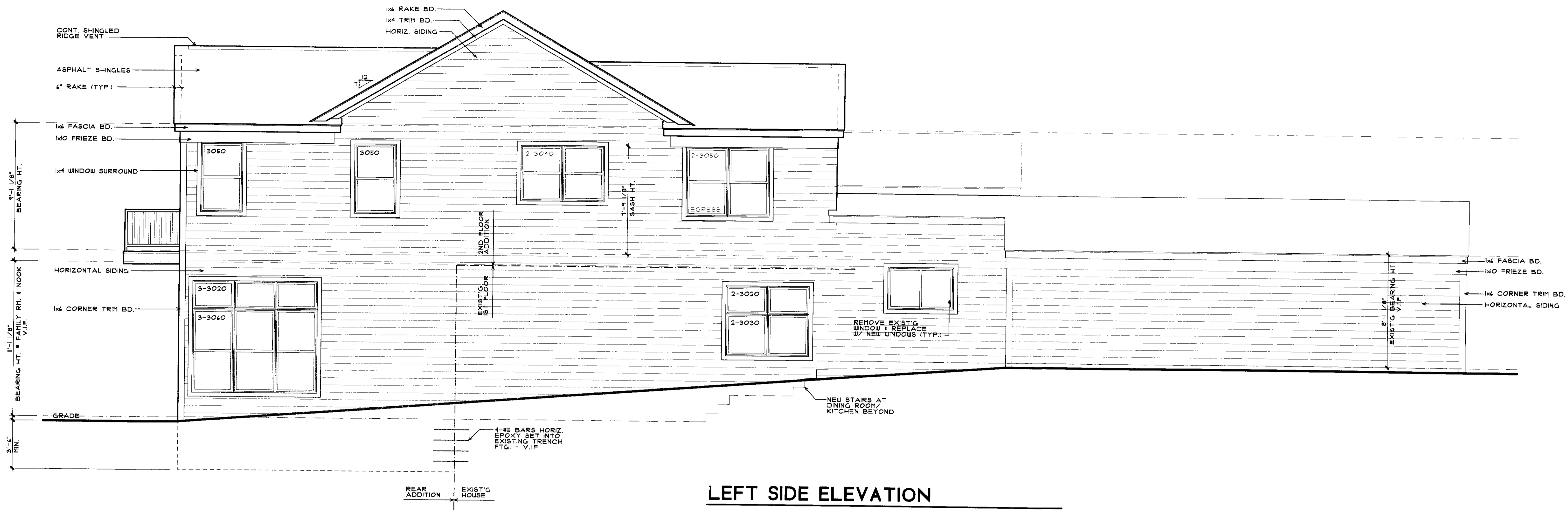
SECOND FLOOR PLAN

SHEET INFORMATION: CAD FILE: EXLINE_RES_AEC

SCHEMATIC REVIEW SET: 03-30-19
 BO SET: 04-08-19
 PERMIT SET: 04-09-19
 CONSTRUCTION SET: 04-09-19

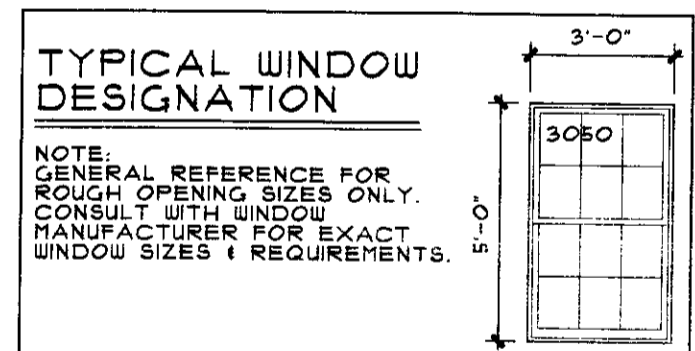
COMPLETION DATE: 04-08-13

JOB NO. 1241



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL WINDOW DESIGNATION

NOTE: GENERAL REFERENCE FOR ROUGH OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 8" AT BRICK AND 12" AT SIDING. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

STEEL LINTEL SCHEDULE

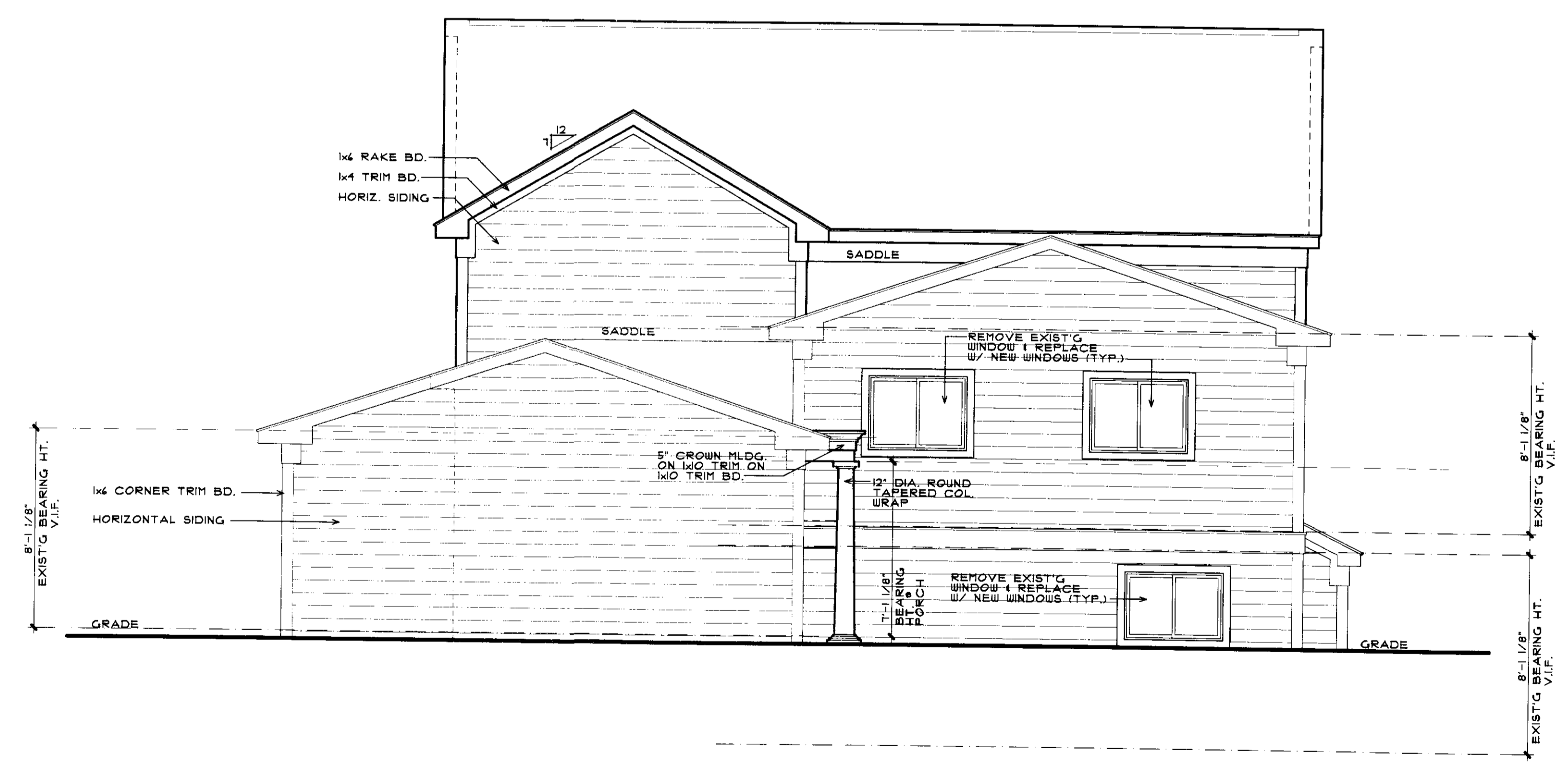
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR (ANGLES FOR BRICK OR STONE INO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
1'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
1'-0" OR LESS	4" x 3 1/2" x 5/16"
2'-0" OR LESS	5" x 3 1/2" x 5/16"
4'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	4" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

EGRESS WINDOW

NOTE: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS, OR RESCUE THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.



FRONT ELEVATION (STREET SIDE)

SCALE: 1/4" = 1'-0"

DAZ
ARCHITECTURAL DESIGN, INC.

COPYRIGHT DATE 2013

CLIENT/PROJECT
EXLINE RESIDENCE
4009 HIGHEST DRIVE
BRIGHTON, MICHIGAN

DRAWN BY: DZ
CHECKED BY: [Signature]

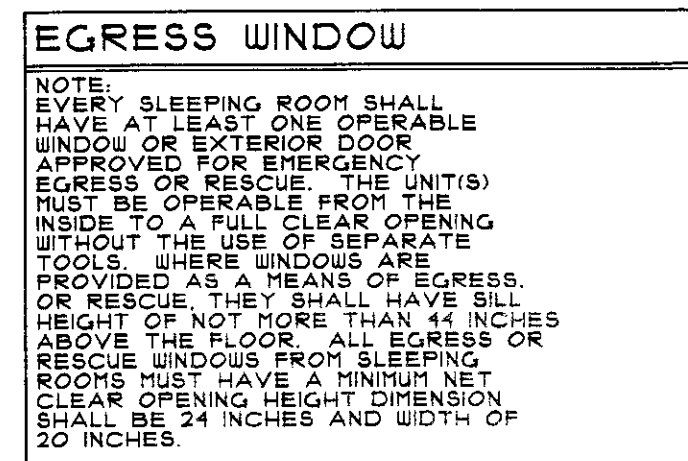
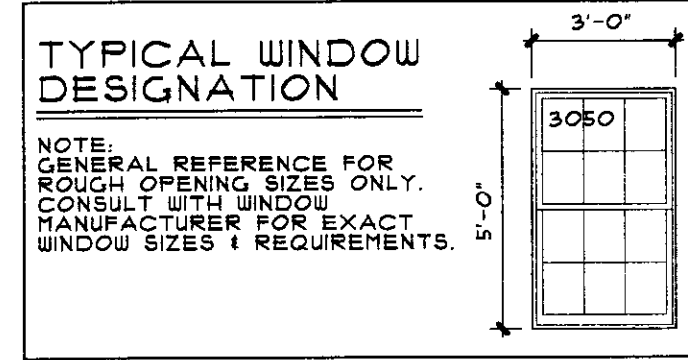
SHEET INFORMATION
FRONT ELEVATION & LEFT SIDE ELEVATION

CAD FILE: EXLINE_RES

SCHEMATIC REVIEW SET: 03-20-13	AS BUILT: 04-08-13	PERMIT SET: 04-08-13
BD SET: 04-08-13	CONSTRUCTION SET: 04-08-13	

COMPLETION DATE: 04-08-13

JOB NO. 1241



OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 8" AT BRICK AND 12" AT SIDING. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

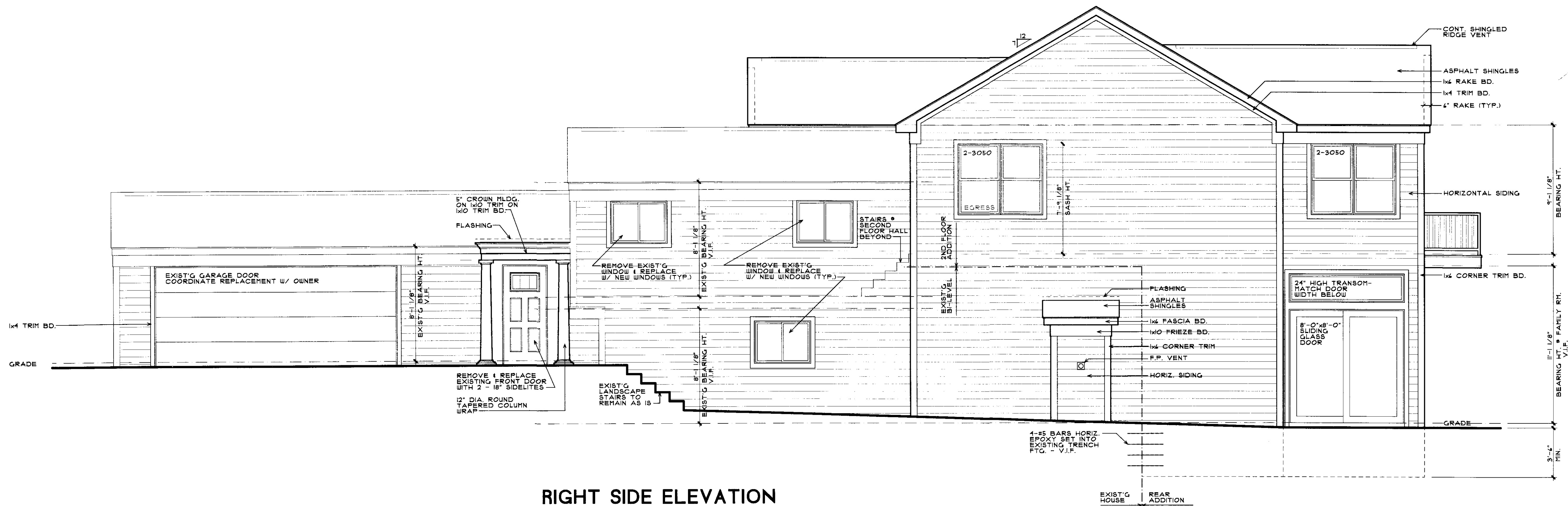
MAX. CLEAR SPAN	LINTEL SIZE
1'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
1'-0" OR LESS	4" x 3 1/2" x 5/16"
5'-0" OR LESS	5" x 3 1/2" x 5/16"
4'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	4" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.



REAR ELEVATION (LAKE SIDE)

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DAZ
ARCHITECTURAL DESIGN, INC.

COPYRIGHT
DATE: 2018

CLIENT/PROJECT:
EXLINE RESIDENCE
1009 HIGHCREST DRIVE
BRIGHTON, MICHIGAN

DRAWN BY:
DZ
CHECKED BY:
DZ

SHEET INFORMATION
REAR ELEVATION & RIGHT SIDE ELEVATION

CAD FILE:
EXLINE_RES_AEC

SCHEMATIC REVIEW SET: 02-20-18	CONSTRUCTION SET: 04-08-18
PERMIT SET: 04-08-18	DATE: 04-08-18

JOB NO.
1241

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 13-16

Meeting Date: 213-016 6-18-13

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: JANINE EXLINE

Property Address: 4009 HIGHCREST Phone: 810-588-6527

Present Zoning: _____ Tax Code: 11-22 302-122

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: SIDE YARD SETBACK
VARIANCE 2.75' & 1.85'

2. Intended property modifications: ADDITION

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain)

NARROW LOT, EXISTING BUILDING CURRENTLY ENCLOSES

b. Other (explain) INTO SET BACK

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size
- **Waterfront properties must indicate setback from water for adjacent homes**
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

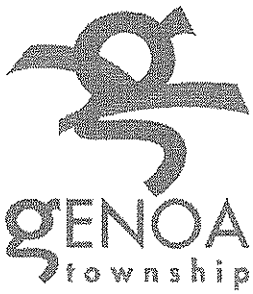
Date: 05/22/13

Signature: [Signature] FOR JANINE EXLINE

Property must be staked

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

May 28, 2013

Dear Property Owner:

The following is a proposed variance in your neighborhood that is on the agenda for the Genoa Township Zoning Board of Appeals meeting, Tuesday June 18, 2011, at 6:30 p.m. at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI.

State Statute provides for notifying property owners in close proximity to proposed variance requests. A request is being made in your area located in Section 22, 4009 Highcrest, requested by Janine Exline, for a side yard setback variance.

If you have any comments regarding this request, please be present at the public hearing noted above.

Please address any written comments to the Genoa Township Zoning Board of Appeals either at the Genoa Township mailing address listed above or via email at mike@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Sincerely,

Michael C. Archinal
Genoa Township Manager

SUPERVISOR

Gary T. McCrie

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

MCA/km

4711-22-302-073
BARTOLOMUCCI NICOLE
3968 HIGHCREST
BRIGHTON MI 48116

4711-22-302-074
DAVIDGE, MICHAEL & TIFFANEY
3974 HIGHCREST
BRIGHTON MI 48116

4711-22-302-075
KOTH WILLIAM R
3980 HIGHCREST
BRIGHTON MI 48116

4711-22-302-076
BOLAND MICHAEL A TRUST
3986 HIGHCREST
BRIGHTON MI 48116

4711-22-302-077
RICE REGINA & DEBRA
3994 HIGHCREST
BRIGHTON MI 48116

4711-22-302-079
NICKERSON TROY
4010 HIGHCREST
BRIGHTON MI 48116

4711-22-302-080
BOCHENEK, RICHARD J.
4014 HIGHCREST
BRIGHTON MI 48116

4711-22-302-081
KOSOSKI, JOHN
27358 KENNEDY DR
DEARBORN HEIGHTS MI 48127

4711-22-302-082
KOWALCZYK, JOSEPH & LOUISE
4099 HOMESTEAD
HOWELL MI 48843

4711-22-302-083
VERSCHURE, ROBERT & CAROL J.
TRUSTEES
4050 HIGHCREST
BRIGHTON MI 48116

4711-22-302-113
NASTWOLD, LARRY & PATRICIA
4054 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-114
JACKSON ESTER ANN, TITLE 9.3
4044 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-115
WILLIAMS, CHARLES F. & BARBARA A..
4040 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-116
HAGEN CRAIG REVOCABLE TRUST
4036 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-117
MATHEWS, TODD H.
4030 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-118
MC CRAITH, KEVIN & CONNIE
4026 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-120
HALL, MELVIN
4010 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-121
BRABANT JEFFREY
4004 CLIFFORD RD
BRIGHTON MI 48116

4711-22-302-122
EXLINE JANINE & JAMES
4009 HIGHCREST
BRIGHTON MI 48116

4711-22-302-123
FLEMING, MICHAEL E. & HOLLY D.
4011 HIGHCREST
BRIGHTON MI 48116

4711-22-302-125
PINGEL LEITH E.
4015 HIGHCREST
BRIGHTON MI 48116

4711-22-302-127
TAYLOR, ROBERT J. JR. & PRISCILLA J
4021 HIGHCREST
BRIGHTON MI 48116

4711-22-302-128
SAMPSON JOHN D & JUDITH K
4057 HIGHCREST
BRIGHTON MI 48116

4711-27-100-004
STANEK, JOHN
3975 HIGHCREST
BRIGHTON MI 48116

4711-27-100-034
MERCIER, MARC F. & SHERYL C.
5054 WILLOW GROVE LANE
BRIGHTON MI 48116

4711-27-100-044
HAVILAND CAROL K
6851 STOW RD
FOWLERVILLE MI 48836

4711-27-101-022
WOODHAMS, THOMAS & DIANE
4030 ANCHOR LANE
BRIGHTON MI 48116

4711-27-101-027
RATKE RICHARD & MARTHA
4017 ANCHOR LANE
BRIGHTON MI 48116

4711-27-101-028
WILKINSON PHILLIP & MARY
4041 ANCHOR LANE
BRIGHTON MI 48116



Residential Land Use Permit

Genoa Charter Township • 2911 Dorr Rd. • Brighton, MI 48116
Phone (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

RECEIVED

1. PROJECT INFORMATION

Site Address: 4009 HIGHCREST, BRIGHTON MI, 48116 Acreage: ~ 1/4

2. OWNER/APPLICANT INFORMATION

Owner Name: JANINE EXLINE Phone No.: 810-588-6527

Owner Address: 4009 HIGHCREST City: BRIGHTON State: MI Zip: 48116

Applicant is: Owner Contractor Lessee/Renter Architect/Engineer Other:

Applicant name: JANINE EXLINE Phone No.: 810-588-6527

Applicant Address: 4009 HIGHCREST City: BRIGHTON State: MI Zip: 48116

3. TYPE OF IMPROVEMENT:

A. Principal Structure
 New Single Family New Multiple Family Addition to Existing Building Grading/Site Work
 Other:

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn)
 Pool/Hot Tub
 Other:

4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION

A. Proposed Principal Structure Setbacks (in feet)

Front: 0 (measured from front property line, right-of-way line or private road easement, whichever is less)
Rear: 129 Least Side: 2.25 Side: 3.68 Water/Wetland: 129

B. Proposed Accessory Structure Setbacks (in feet)

Front: 0 Least Side: 2.25 Side: 3.68 Rear: 129 Water/Wetland: 129 Distance from Principle Structure:

C. Proposed Building/Improvement Dimensions

Size of Building/Improvement: 1,750 square feet Height: _____ feet SEE CONST. PLAN

5. SIGNATURE OF APPLICANT

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant: [Signature] Printed Applicant name: JANINE EXLINE Date: 5/22/13

FOR OFFICE USE ONLY

FLOODPLAIN

Floodplain: _____ Panel #: _____ Zone #: _____

ASSESSING APPROVAL

Approved Disapproved Approved by: _____ Date: _____

ZONING APPROVAL

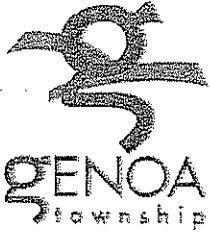
Parcel I.D. No.: _____ Zoning: _____
 Approved Disapproved Approved by: _____ Date: _____

Comments/Conditions:

ZBA Case #/Approval date: _____ Conditions: _____

3. FEES

Land Use: \$ _____ Water/Sewer: \$ _____ / _____ Meter: \$ _____



GENOA TOWNSHIP ASSESSING DEPARTMENT
 REQUIRED LAND USE INFORMATION FORM
 2911 Dorr Road ♦ Brighton, Michigan 48116
 Phone: (810) 227-5225 ♦ Fax: (810) 227-3420 ♦ www.genoa.org

PERMIT NO. _____

1. PROJECT INFORMATION

Site Address: 4009 HIGHCREST	Parcel I.D. No.: 4711-22-302-122	Zoning: RESIDENTIAL
--	--	-------------------------------

2. TYPE OF IMPROVEMENT

A. Principal Structure
 Single Family Multi-Family Addition to Existing Building

B. Accessory Structure
 Fence Deck Detached Accessory (garage, shed, pole barn) Sunroom
 Pool/Hot Tub: Above ground In ground

C. Value of Improvement: \$ **65,000**

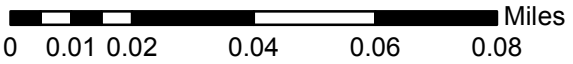
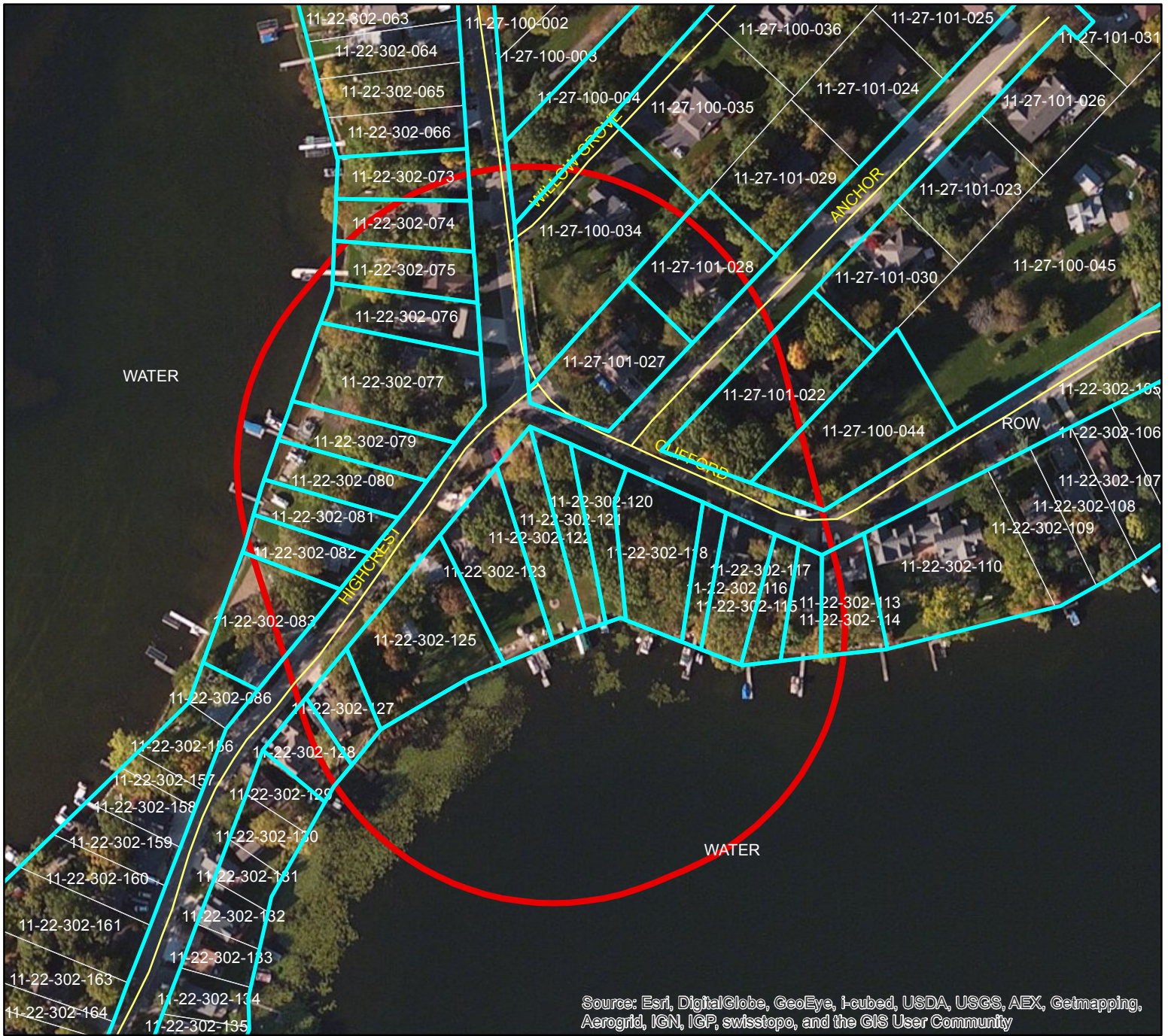
3. SELECTED CHARACTERISTICS OF IMPROVEMENT

Building Style	<input type="checkbox"/> Ranch	<input type="checkbox"/> 1.5 Story	<input checked="" type="checkbox"/> 2 Story
Frame	<input type="checkbox"/> Masonry, Wall Bearing	<input checked="" type="checkbox"/> Wood Frame	<input type="checkbox"/> Structural Steel <input type="checkbox"/> Reinforced Concrete
Exterior	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone	<input checked="" type="checkbox"/> Siding <input type="checkbox"/> Wood
Foundation	<input type="checkbox"/> Basement	<input type="checkbox"/> Crawl	<input checked="" type="checkbox"/> Slab
Area	New Building Square Footage: 4,050	Addition Square Footage: 1,750	
Bedrooms	No. of: 4		
Bathrooms	No. of Full: 2	No. of Half:	No. of Sinks: 3 No. of Showers: 2
Basement	Walkout: <input type="checkbox"/> Yes <input type="checkbox"/> No	Finished: <input type="checkbox"/> Yes <input type="checkbox"/> No	Finished Square Footage: Basement Baths: No. of Full: No. of Half:
Central Air	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Fire Suppression <input type="checkbox"/> Yes <input type="checkbox"/> No	
Fireplace	<input checked="" type="checkbox"/> Direct Vent	<input type="checkbox"/> Pre-fab	<input type="checkbox"/> Other:
Garage	<input type="checkbox"/> Attached <input type="checkbox"/> Detached	Height: feet	Depth: feet Width: feet
Inground Pool	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Gunite	<input type="checkbox"/> Plastic
Driveway	<input type="checkbox"/> Gravel <input type="checkbox"/> Asphalt <input type="checkbox"/> Concrete <input type="checkbox"/> Brick <input type="checkbox"/> Other		
Accessory Structure	Height: feet	Depth: feet	Width: feet Flooring- <input type="checkbox"/> Concrete <input type="checkbox"/> Dirt <input type="checkbox"/> Wood

4. APPLICANT SIGNATURE

I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent and agree to conform to all applicable ordinances of Genoa Township. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.

Signature of Applicant: <i>James Allen</i>	Date: 5/22/13
--	-----------------------------



Variance Case #13-16
 Applicant: Janine Exline
 Parcel: 11-22-302-122
 Meeting Date: 5-18-2013





MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Ron Akers, Zoning Official
DATE: June 6, 2013
RE: ZBA 13-17; PID # 4711-28-201-012; Thomas and Diana Fleming

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

STAFF REPORT

File Number: ZBA#13-17

Site Address: 4009 Highcrest Dr

Parcel Number: 4711-28-302-122

Parcel Size: 0.197 Acres

Applicant: Janine Exline, 7924 Payne, Dearborn, MI

Property Owner: Same as Owner

Information Submitted: Building Elevations, Site Plan, Floor Plan

Request: Dimensional Variances

Project Description: Applicant is requesting a variance from the side yard setback requirements in article 3.04.01 of the Zoning Ordinance, which requires that buildings and structures within the LRR Zoning District maintain side yard setbacks of at least five (5) feet on one side and at least ten (10) feet on the other side. The applicant is also requesting a variance from the required shoreline setback in article 3.04.02, which requires the structure to maintain a minimum 40 feet or consistent with the setbacks of adjacent buildings, as determined by the Zoning Administrator.

Zoning and Existing Use: LRR (Lakeshore Resort Residential), Single Family Dwelling located on lot

Other:

Public hearing was published in the Livingston County Press and Argus on June 2, 2013 and 300 foot mailings were sent to any real property within 300 feet of the property lines in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- The parcel currently has single family dwelling located on it, built in 1950
- The existing structures setbacks are: F: 29' S: 10' S: 5' WF: 85'
- The existing structure's footprint is 968 sf (garage 440 sf) and has a current lot coverage of 11%.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

- The distance between the current building and the buildings on the adjacent parcels are 9' of the East side and 23.6' on the west side.
- The parcel has frontage on West Crooked Lake.

Summary

The applicant is proposing to remove the existing home and garage on the property and construct a new single family house with an attached garage. The following are reflective of the proposed structure.

- Proposed Setbacks: F: 55' S: 7' S: 4'' WF: 85'
- Required Setbacks: F: 35' S1: 5' S2:10' WF: 115.5'
- Proposed Setback from Adjacent Buildings: E: 8' W: 21'
- Required Setback from Adjacent Buildings: 10'
- Proposed lot coverage: 15.6%
- Required maximum lot coverage: 35%
- Proposed Building Height: Unknown
- Maximum building height allowed: 25'

Variance Requests

The variance request is as follows:

1. Article 3.04.01 **Dimensional Standards (Table included in Packet)** (LRR Side yard setbacks)

Article 3.04.02(k) **LRR Side Yards:** In the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met:

- (1) The other side yard must be at least ten (10) feet.
- (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet.
- (3) The roof shall have gutters. (as amended 3/5/10)

The required side yard setback in the LRR district is five (5) feet as long as the conditions in article 3.04.02(k) are met. The existing structure is 10' from the west property line and 5' from the east property line. The proposed addition is located 7' from the west side property line and 4' from the east property line which fails to meet the 5' and 10' requirements. The proposed variance would be a 1' variance on the east side yard and a 3' variance on the west side yard.

2. **Article 3.04.02 Shoreline Setback**

Sites connected to public sewer in Lakeshore Resort Residential District: Minimum 40 feet or consistent with the setbacks of adjacent principal buildings, whichever is greater as determined by the Zoning Administrator.

The required waterfront setback as determined by calculating the average distance of the two (2) adjacent principal buildings on adjacent lots is 115.5'. The existing structure

is located 85' from the waterfront property line and the proposed structure is currently 85'

Standards for Approval

The following is the standards of approval that are listed in the Zoning Ordinance for Dimensional Variances:

23.05.03 Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of this Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

(a) Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

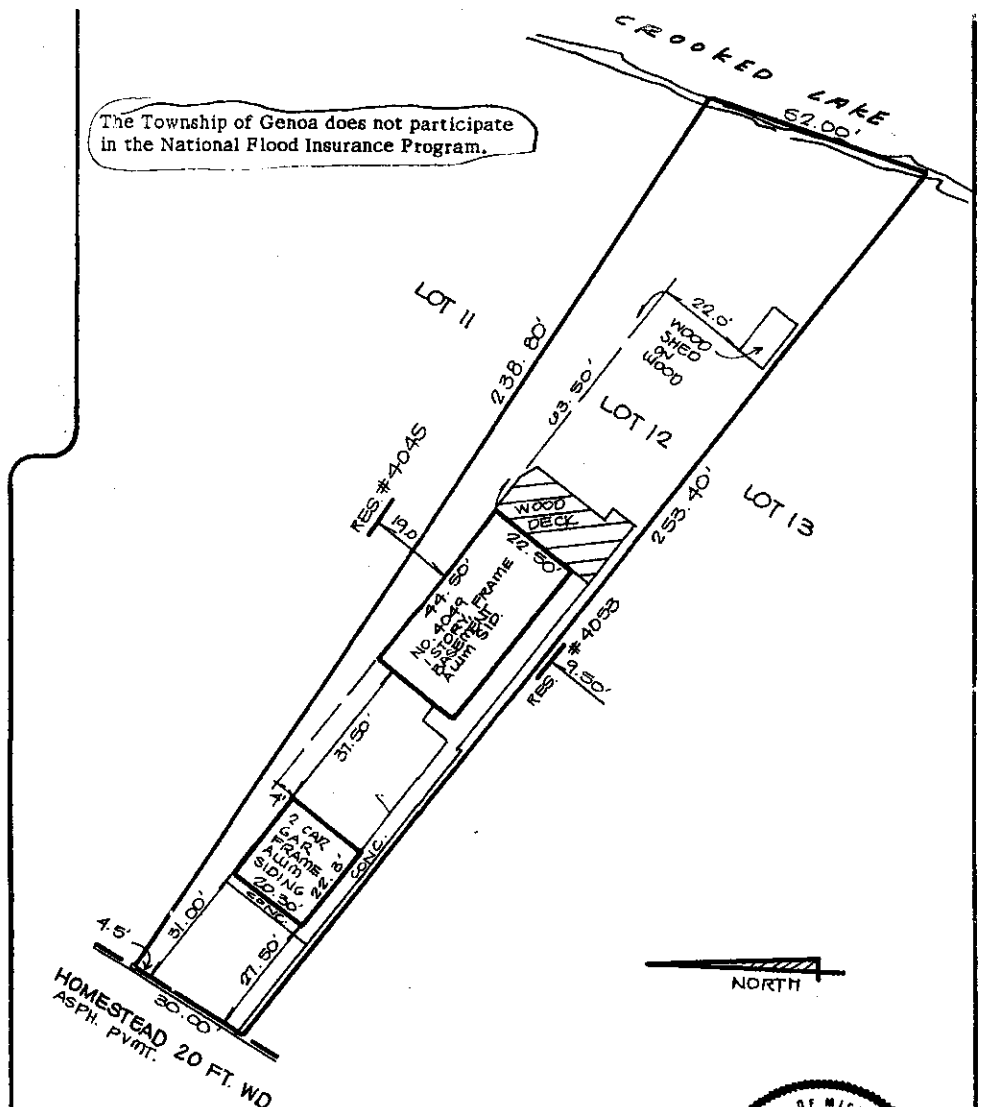
(b) Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

(c) Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Other Comments/Discussion

None

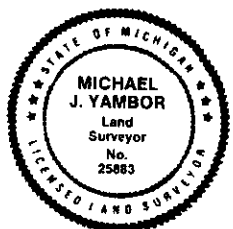


The Township of Genoa does not participate in the National Flood Insurance Program.

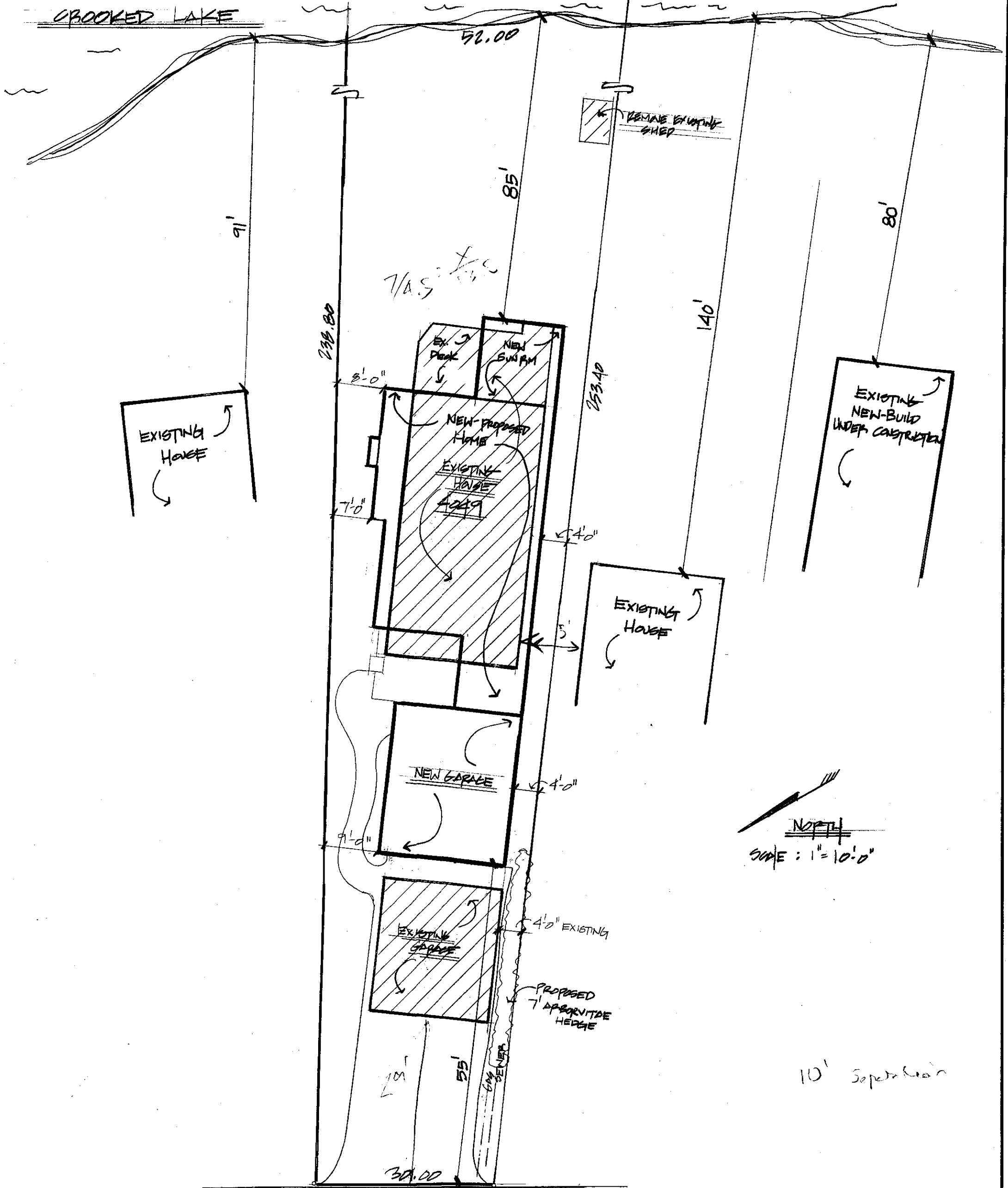
HEREBY CERTIFY that we have made a mortgage survey of the property herein described and that the building and improvements are located as shown and that there are no visible encroachments upon said property unless noted and shown. NOTE: This survey is for MORTGAGE purposes only and no property corners were set. Do not use for establishing fences or building lines.

Certified to All Title Companies
LEGAL DESCRIPTION PROVIDED BY OTHERS
Michael J. Yambor

JOB NO. 91-59616 SCALE: 1" = 80'
DATE 11-17-91 DR BY A.K.D



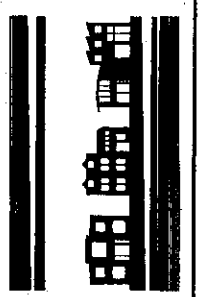
Michael J. Yambor & Associates, Inc.
Licensed Land Surveyors
3219 Coolidge Highway, Berkeley, Michigan 48072
(313) 547-8585 • Telefax: (313) 547-5874



NORTH
SCALE: 1" = 10'-0"
10' Separation

REVISIONS	BY

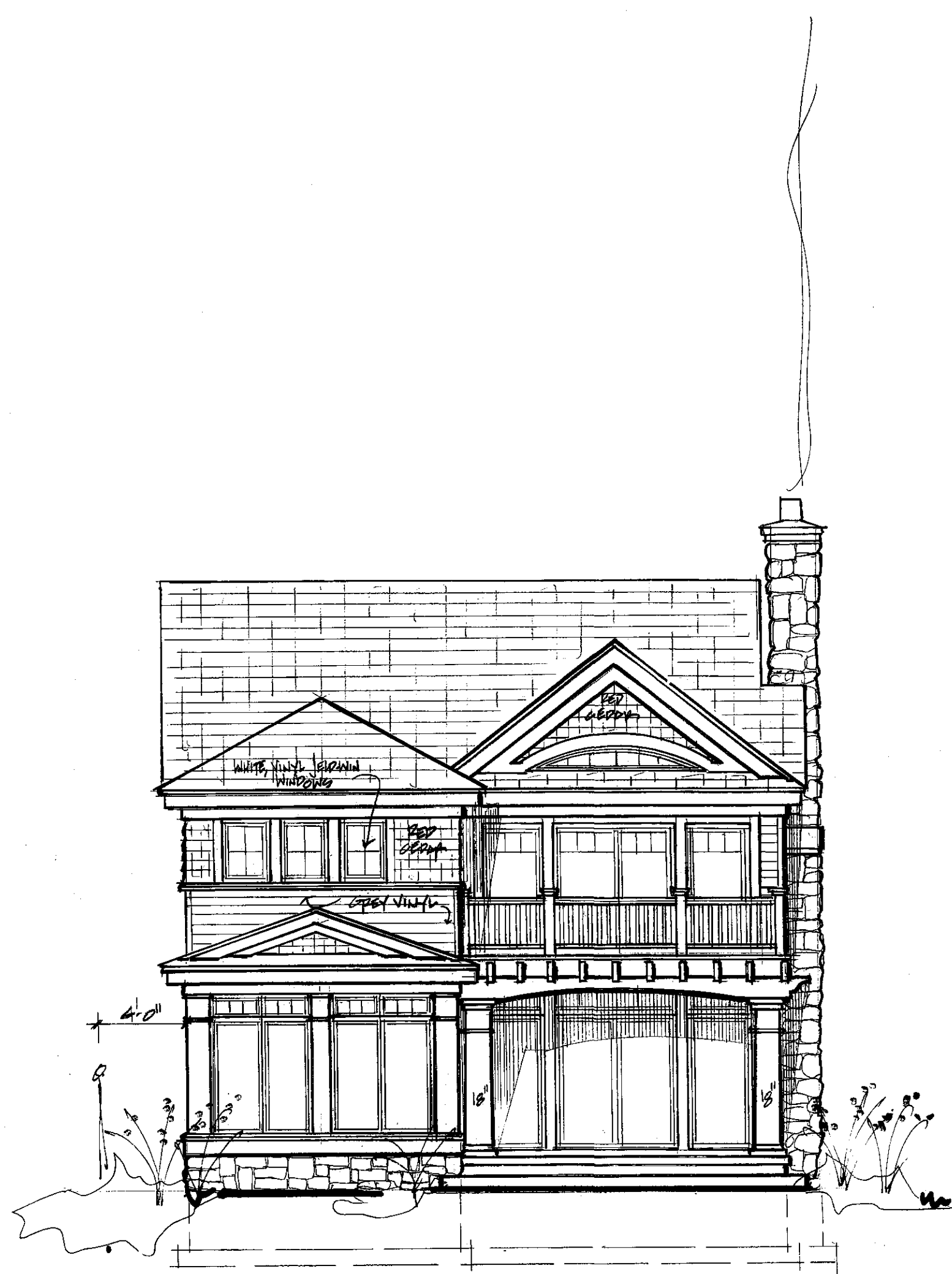
Karl Jasinski
DESIGNS
Genoa, MI - Sarosca, FL
(941)-445-7707 kjasdesigns@ yahoo.com



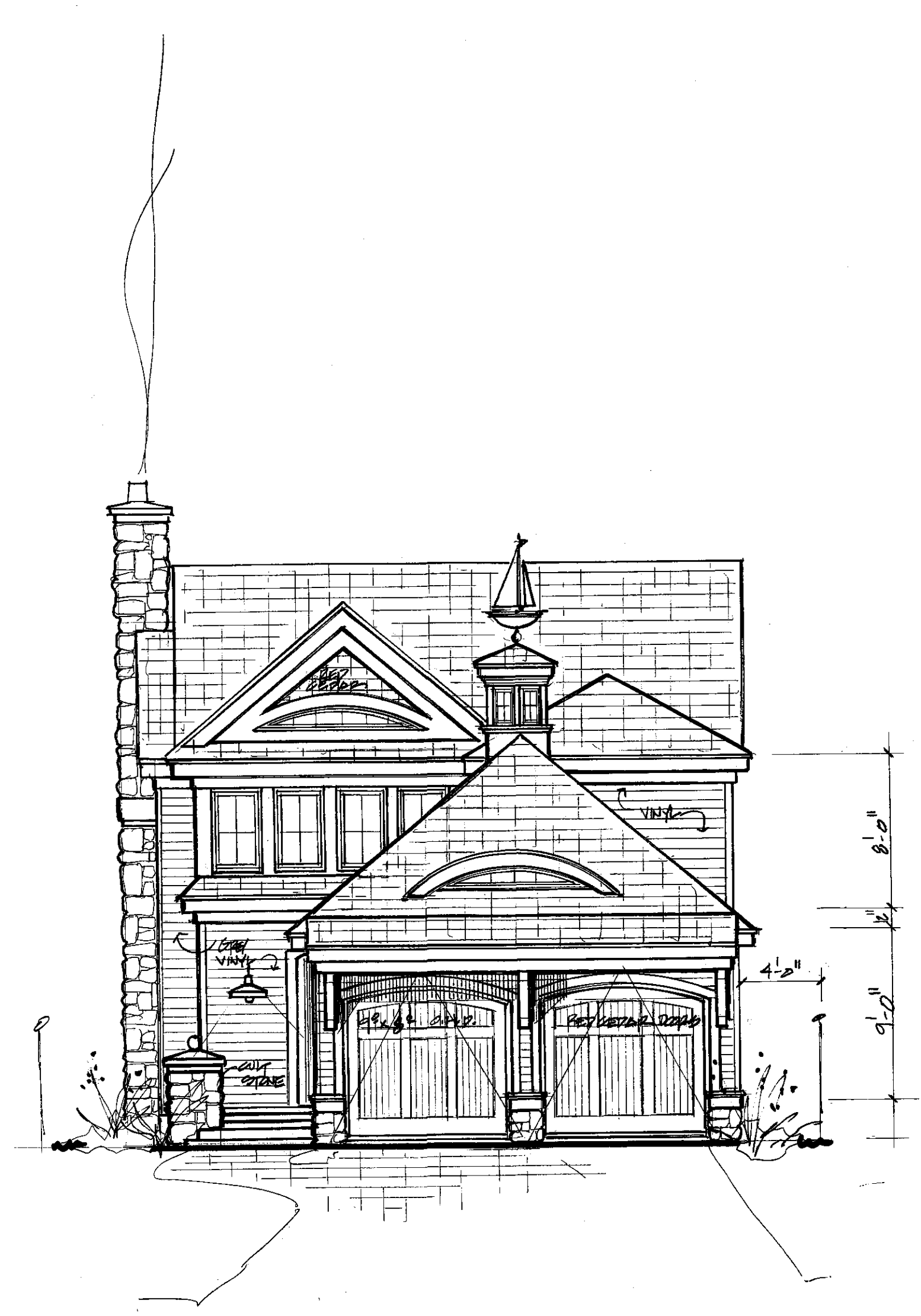
SITE PLAN
SCALE: 1" = 10'-0"

Fleming Residence
4049 Homestead Drive
Genoa Twp. MI.

Date	
Scale	
Drawn	
Job	
Sheet	
Of Sheets	



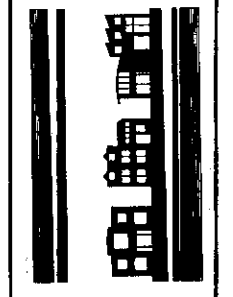
LAKE ELEVATION
 SCALE: 1/4" = 1'-0"



STREET ELEVATION
 1/4" = 1'-0"

REVISIONS	BY

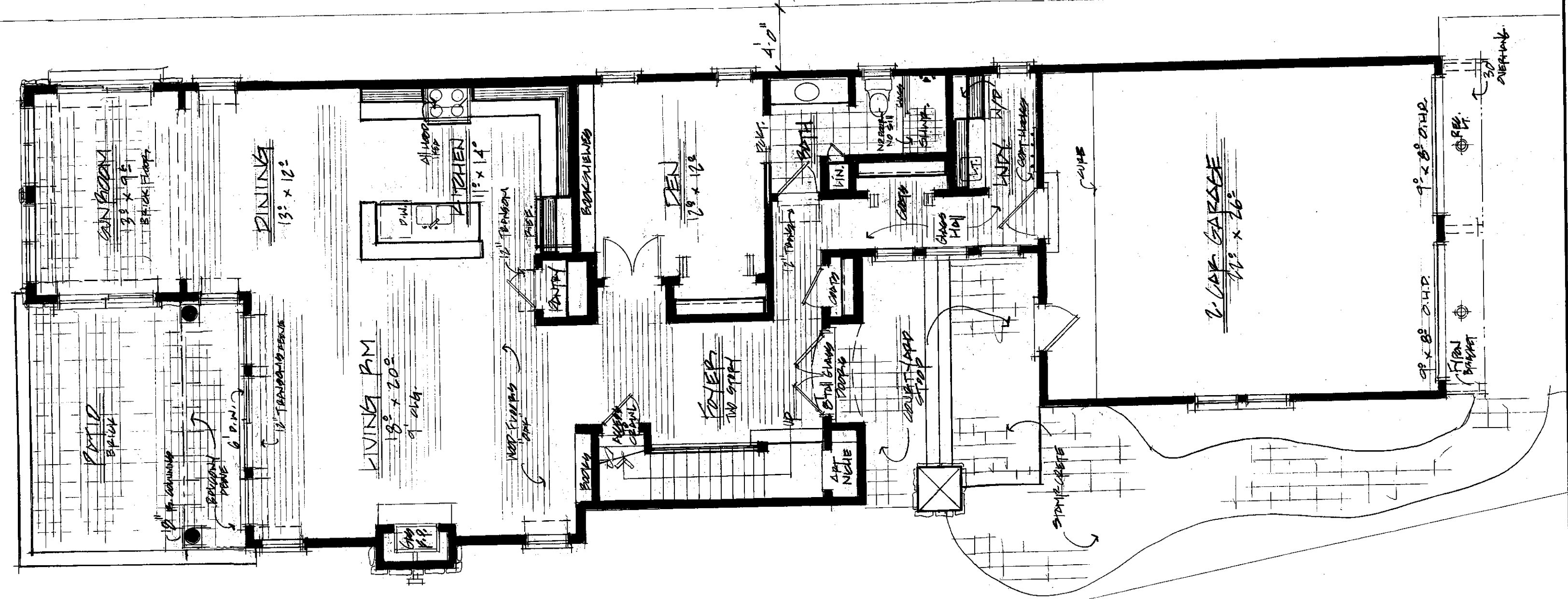
Karl Jasinski
 DESIGNS
 Fenton, MI, Sarasota, FL
 (941) 445-7707 kjasinski@yahoo.com



LAKE / STREET ELEVATION
 SCALE: 1/4" = 1'-0"

Fleming Residence
 4049 Homestead Drive
 Genoa Twp. MI.

Date	
Scale	
Drawn	
Job	
Sheet	
Of	
Sheets	



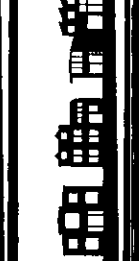
$$13 = \frac{4}{3} \times \frac{1}{2}$$

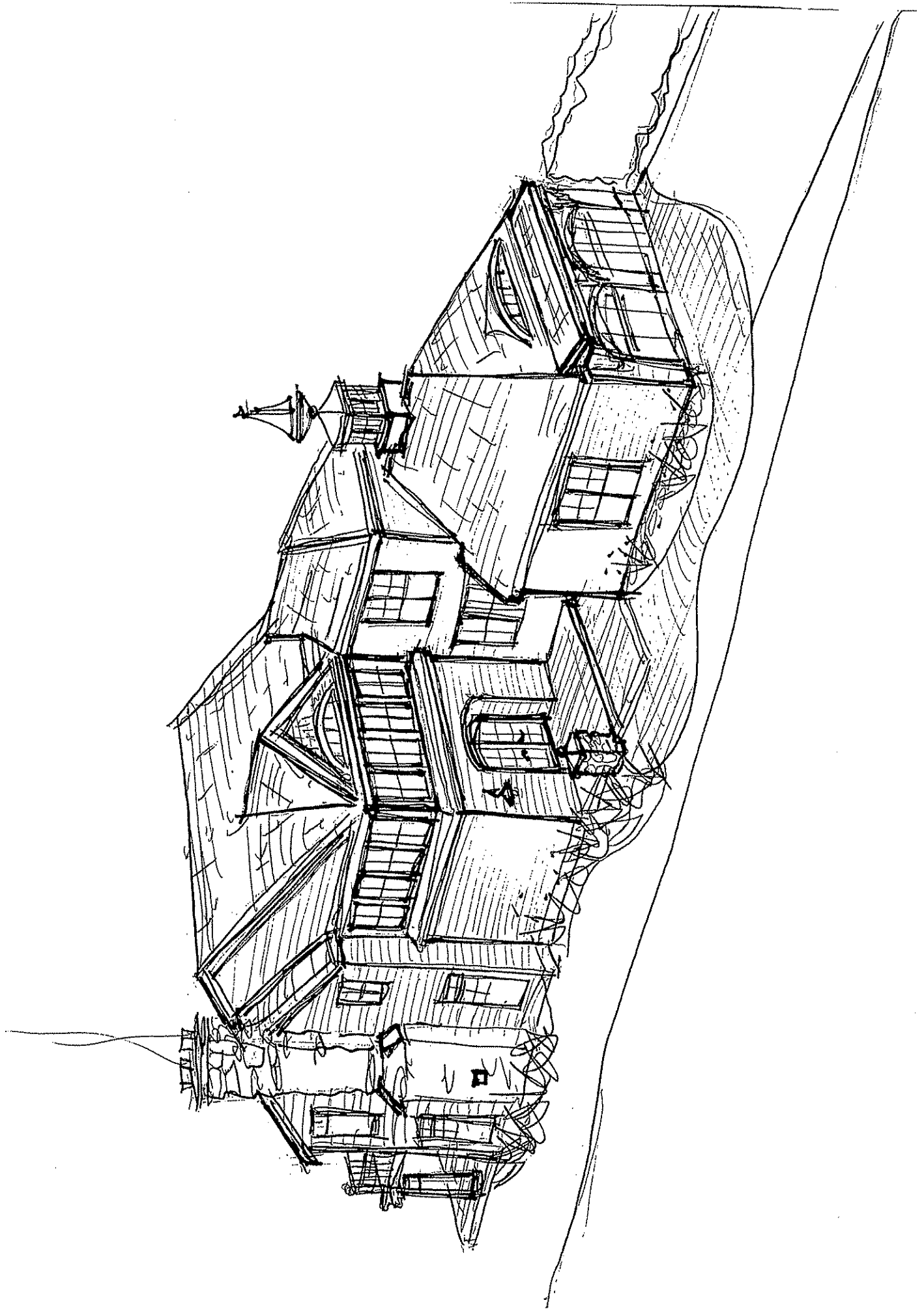
$$26 = 2 \times 13$$

$$\frac{113}{22} = \frac{21}{33}$$

MAIN: 1,484 sq.ft.
 SECOND: 1,214 sq.ft.
2,698 Total sq. ft.

2006

REVISIONS	BY			
		Karl Jasinski DESIGNS Fenton, MI, Sarason, FL (941)-445-7707 kjdesigns@yahoo.com		
<p>MAIN LEVEL PLAN SCALE: 1/4" = 1'-0"</p>		<p>Fleming Residence 4049 Homestead Drive Genoa Twp. MI. . .</p>		
Date		Scale		
Drawn		Job		
Sheet				
Of				



GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

GENOA TOWNSHIP

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

6:30

MAY 24 2013

Case # 13-17

Meeting Date: 6-18-13

RECEIVED

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: THOMAS & DIANA FLEMING
 Property Address: 4049 HOMESTEAD Phone: 810-922-9556
 Present Zoning: LRR Tax Code: 11-28-201-012

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: SIGHT LINE/LAKE SET-BACK,
SIDE YARD SET BACK

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) VERY NARROW BUT DEEP PARCEL
- b. Other (explain) NEW/PROPOSED HOME IS DESIGNED TO ALLOW FOR MORE OPEN SPACE BE; AREA BETWEEN GARAGE & HOUSE.

Variance Application Requires the Following:

- **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **A Land Use Permit Application to be submitted with ZBA Variance Application.**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 5/29/2013

Signature: Thomas J Fleming

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

CR # 10565

May 28, 2013

Dear Property Owner:

The following is a proposed variance in your neighborhood that is on the agenda for the Genoa Township Zoning Board of Appeals meeting, Tuesday June 18, 2013, at 6:30 p.m. at the Genoa Township Hall, 2911 Dorr Road, Brighton, MI.

State Statute provides for notifying property owners in close proximity to proposed variance requests. A request is being made in your area located in Section 28, 4049 Homestead, requested by Thomas and Diana Fleming for sight line, lake and side yard setbacks.

If you have any comments regarding this request, please be present at the public hearing noted above.

Please address any written comments to the Genoa Township Zoning Board of Appeals either at the Genoa Township mailing address listed above or via email at mike@genoa.org. All materials relating to this request are available for public inspection at the Genoa Township Hall prior to the hearing.

Sincerely,

Michael C. Archinal
Genoa Township Manager

MCA/km

4711-28-201-004
HARTLEY WILLIAM
4011 HOMESTEAD
HOWELL MI 48843

4711-28-201-005
RACINE TRUST
5 ROBINDALE CT
DEARBORN MI 48124

4711-28-201-006
WALDO GEORGE E, ALICIA & DEANNA
4021 HOMESTEAD
HOWELL MI 48843

4711-28-201-007
WALEGA GREGORY J & ELLEN L
4027 HOMESTEAD
HOWELL MI 48843

4711-28-201-008
WALEGA GREG & ELLEN
4027 HOMESTEAD DR.
HOWELL MI 48843

4711-28-201-011
TUCZAK, FRANK D. & LORI
4045 HOMESTEAD
HOWELL MI 48843

4711-28-201-012
FLEMING, THOMAS & DIANA
7924 PAYNE
Dearborn MI 48126

4711-28-201-013
LANZON, OLIVER & NANCY
4053 HOMESTEAD
HOWELL MI 48843

4711-28-201-014
MANCINI KAREN & LEO
4057 HOMESTEAD
HOWELL MI 48843

4711-28-201-017
SIRLS, LARRY T. & LISA J.
851 HAZELWOOD
Birmingham MI 48009

4711-28-201-018
JELNICKI JAMES & KITTY
3664 OLD CREEK
TROY MI 48084

4711-28-201-019
ELLERHOLZ PATRICK
4083 HOMESTEAD
HOWELL MI 48843

4711-28-201-020
SECHRIST THOMAS H & ROSEMARY J
23369 MYSTIC FOREST
NOVI MI 48375

4711-28-201-021
BLASZCZAK PHIL, ELAINE & JOHATHAN
4093 HOMESTEAD
HOWELL MI 48843

4711-28-201-055
WEINRAUCH, PETER & MARY ANN
4065 HOMESTEAD
HOWELL MI 48843

4711-28-201-057
VARNEY, BENJAMIN & KATHRYN
4700 HUNT ST
CASS CITY MI 48726

4711-28-202-005
GOODLING, CHESTER & LOUISE
26431 LA MUERA
Farmington MI 48334

4711-28-202-007
KIRCHOFF, ALAN
4026 HOMESTEAD
HOWELL MI 48843

4711-28-202-008
UNKNOWN

4711-28-202-009
VARNEY, BENJAMIN & KATHRYN
4700 HUNT ST
CASS CITY MI 48726

4711-28-202-010
VARNEY, BENJAMIN & KATHRYN
4700 HUNT ST
CASS CITY MI 48726

4711-28-202-011
FLEMING, THOMAS J.
7924 PAYNE AVE.
DEARBORN MI 48126

4711-28-202-012
FLEMING, THOMAS J.
7924 PAYNE AVE.
DEARBORN MI 48126

4711-28-202-013
WEINRAUCH, PETER & MARY ANN
4065 Homestead
Howell MI 48843

4711-28-202-014
WEINRAUCH, PETER & MARY ANN
4065 HOMESTEAD
HOWELL MI 48843

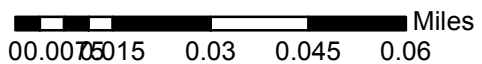
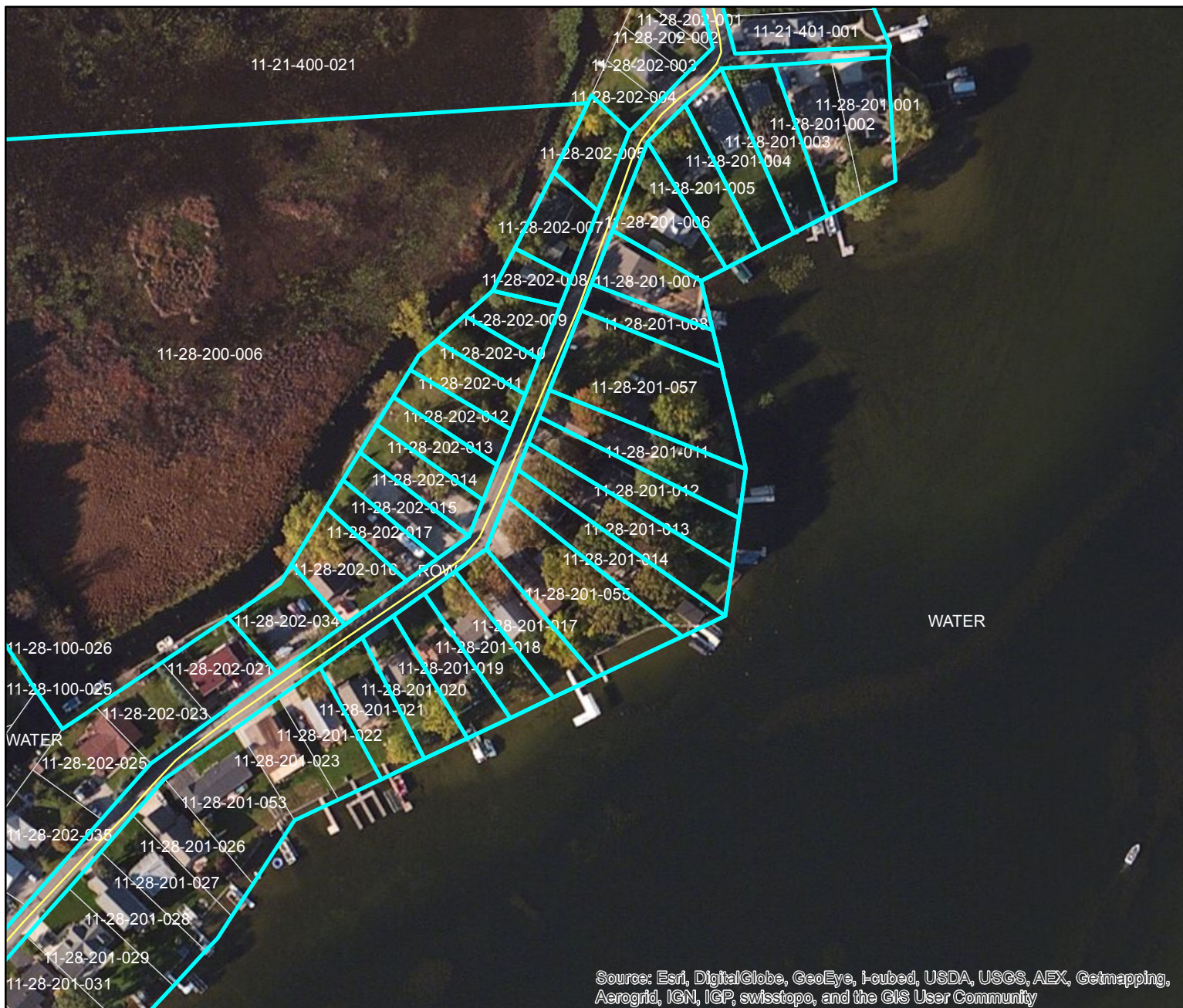
4711-28-202-015
SIRLS, LARRY T. & LISA J.
851 HAZELWOOD
Birmingham MI 48009

4711-28-202-016
HARMAN THORIN B
4084 HOMESTEAD
HOWELL MI 48843

4711-28-202-017
ELLERHOLZ PATRICK
4083 HOMESTEAD
HOWELL MI 48843

4711-28-202-034
KOWALCZYK, JOSEPH
4099 HOMESTEAD
HOWELL MI 48843

300 ft Buffer for Noticing



Variance Case #13-17

Applicant: Thomas and Diana Fleming

Parcel: 11-28-201-012

Meeting Date: 6-18-2013



May 24, 2013

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

May 21, 2013

6:30 p.m.

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30pm at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The members and staff of the Zoning Board of Appeals were then introduced. The board members in attendance were as follows: Chris Grajek, Marianne McCreary, Jean Ledford, Barbara Figurski and Jeff Dhaenens. Also present were Township staff member Adam VanTassell and 10 persons in the audience.

Moved by Figurski, supported by McCreary, to approve the agenda as submitted. **Motion carried unanimously.**

13-09...A request by Leo and Karen Mancini, 4057 Homestead Road, Sec. 28, for two side yard variances to construct an attached garage.

Dennis Disner from Arcadian Design was present for the petitioner.

A call to the public was made with no response.

Moved by Figurski, supported by Ledford to approve case #13-09, 4057 Homestead, for a 5'6" variance on both sides with a 4'6" setback on both sides. Conditioned upon the garage being guttered. The practical difficulty is the narrowness of the lot. **Motion carried unanimously.**

13-12...A request by Robert Morrison, Sec. 21, 3699 Nixon Road, for a variance to construction a pole barn on a vacant lot.

Robert Morrison was present for the petitioner.

A call to the public was made with the following response: Carolyn Kerr, 4540 Siem Road, stated the she is concern about the business being run out of the barn. There are large burn piles, large machines and traffic is a concern being located on the corner of Nixon and Siem Road. She is worried about it turning into a warehouse for a business instead of a residential barn. She also stated that it is inappropriate for that area.

Moved by Grajek, supported by Ledford, to deny case #13-12, 3699 Nixon Road for a variance to construct a barn on a vacant lot due to no practical difficulty. **Motion carried unanimously.**

13-13... A request by Curt Brown, Sec. 28, vacant Homestead Drive, for a front yard and waterfront variance to construct an addition on an existing nonconforming structure.

Curt Brown, homeowner, and Dennis Dinser from Arcadian Design were present for petitioner.

A call to the public was made with the following response: Carolyn Kerr, 4540 Siem Road, stated that she has property next to theirs and thinks that it is too large for that lot. There is no buffer between the building and the lake. She questioned where the runoff water would go.

Brian-Leek-3997 Homestead, stated that he has listen to everything presented and would like to encourage the Zoning Board of Appeals to look at the big picture.

Moved by Ledford, supported by Figurski, to table case#13-13, vacant Homestead Drive, until the next Zoning Board of Appeals meeting. **Motion carried as follows: Ayes- Dhaenens, Figurski, Ledford and McCreary. Nays-Grajek.**

13-14...A request by John Spencer, Sec. 21, 4030 Crooked Lake Road, for a variance to allow a lot split.

A call to the public was made with the following response: Chairman Dhaenens stated that a letter was received from Jim Lawrence, Manager of Nixon Meadow LLC, stated he owns property directly south of John and Melinda Spencer and he is in favor of their split request. Robert Knorr, 3035 Nixon Road, stated the he lives on two acres and has an easement over his property for Consumers Gas Company. He has no objection to Mr. Spencer building a house.

Moved by Grajek, supported by Ledford, to table case#13-14, 4030 Crooked Lake Road to give petitioner time to investigate rezoning the property. **Motion carried as unanimously.**

Moved by Figurski, supported by McCreary, to approve the March 19, 2013 and April 16, 2013 Zoning Board of Appeals meeting minutes with corrections as stated. **Motion carried unanimously.**

Moved by Figurski, Supported by Grajek, to adjourn the Zoning Board of Appeals meeting at 8:13 p.m. **Motion carried unanimously.**