

**GENOA CHARTER TOWNSHIP
BOARD OF TRUSTEES
PUBLIC HEARING AND REGULAR MEETING
JUNE 4, 2012
6:30 p.m.**

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to approve minutes: May 21, 2012
3. Request for approval of Genoa Charter Township Employee Handbook amendments as recommended by the Township Attorney.
4. Consideration of a request for approval of the Assessor's affidavit of the 2012 millage levies for the Township of Genoa, establishing the Millage levy at 0.8146 as requested by Debra Rojewski.

Approval of Regular Agenda:

5. Request for approval of a special use application, impact assessment and site plan for proposed outdoor sales and a 793 sq.ft. addition to the existing Speedway Gas Station located at 3598 E. Grand River, Howell. Sec. 5, petitioned by Speedway Super America.
 - A. Recommendation of Special Use Application
 - B. Recommendation of Impact Assessment
 - C. Recommendation of Site Plan.
6. Consideration of a request for a fireworks display on West Crooked Lake as requested by Calvin Heckman Jr.
7. Consideration of a request for a fireworks display on Lake Chemung as requested by Kurt Price.
8. Request for approval of Resolution #1 to Proceed with the Glenway Drive Road Improvement Project and Direct Preparation of the Plans and Cost Estimates.
9. Request for approval of Resolution #2 to Approve the Glenway Drive Road Improvement Project and Scheduling the First Hearing for June 18th, 2012 at 6:30 p.m. and Directing the Issuance of Statutory Notices.
10. Request for approval of an amendment to the Road Improvement Fund Budget No. 261 to change the Latson Road Project line item from \$200,000.00 to \$500,000.00. This action will allow for payments related to this project in line with the 1-million dollar maximum expenditure as previously approved by the Township Board.
11. Possible Closed Session to discuss pending litigation and written attorney opinion

Correspondence
Member Discussion
Adjournment

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: June 4, 2012

TOWNSHIP GENERAL EXPENSES: Thru June 4, 2012	\$101,670.81
May 25, 2012 Bi Weekly Payroll	\$68,154.30
June 1, 2012 Monthly Payroll	\$11,934.89
OPERATING EXPENSES: Thru June 4, 2012	\$289,116.02
TOTAL:	<u>\$470,876.02</u>

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
28527	AmerConc	American Concrete Leveling	05/14/2012	400.00
28528	Administ	Total Administrative Services	05/25/2012	930.72
28529	Equitabl	Equivest Unit Annuity Lock Box	05/25/2012	705.00
28530	Administ	Total Administrative Services	06/01/2012	227.27
28531	ARCHINAL	Michael Archinal	05/24/2012	23.45
28532	AT&T Fax	AT&T	05/24/2012	134.34
28533	AT&TLONG	AT&T Long Distance	05/24/2012	3.54
28534	ATT& IL	AT&T	05/24/2012	110.94
28535	BLUE CRO	Blue Cross & Blue Shield Of Mi	05/24/2012	25,686.04
28536	BullsEye	BullsEye Telecom	05/24/2012	1,040.26
28537	BUS IMAG	Business Imaging Group	05/24/2012	101.92
28538	CARDM	Chase Card Services	05/24/2012	4,381.15
28539	Certifie	Certified Document Destruction	05/24/2012	46.02
28540	Clearwat	Clearwater Systems	05/24/2012	42.00
28541	COMCAST	COMCAST	05/24/2012	101.03
28542	CONSUMER	Consumers Energy	05/24/2012	124.33
28543	COOPERST	Cooper's Turf Management LLC	05/24/2012	1,750.00
28544	DTE EN	DTE Energy	05/24/2012	205.36
28545	DYKEMA	Dykema Gossett PLLC	05/24/2012	1,984.80
28546	EHIM	EHIM, INC	05/24/2012	9,255.15
28547	ELECTSOU	MC&E/ELECTION SOURCE	05/24/2012	170.24
28548	ENVSYSRE	ESRI, INC.	05/24/2012	1,225.32
28549	ETNA SUP	Etna Supply Company	05/24/2012	34,093.30
28550	FED EXPR	Federal Express Corp	05/24/2012	65.78
28551	GENOA TW	Genoa Township	05/24/2012	503.04
28552	LEO'S CU	Leo's Custom Sprinkler Service	05/24/2012	75.00
28553	Lincoln	Lincoln National Life Ins Co.	05/24/2012	2,175.38
28554	LINDBERG	Phil Lindberg	05/24/2012	40.00
28555	LINDHOUT	Lindhout Associates Architects	05/24/2012	487.50
28556	LivingGu	Livingston Gutter, Inc.	05/24/2012	600.00
28557	Mancuso	Mancuso & Cameron, P.C.	05/24/2012	2,456.25
28558	MASTER M	Master Media Supply	05/24/2012	422.51
28559	MICA	MICA Crafters	05/24/2012	743.00
28560	NelsonD	Donna Nelson	05/24/2012	10.00
28561	PRINTING	PRINTING SYSTEMS	05/24/2012	650.93
28562	SHELL	Shell	05/24/2012	90.77
28563	Tetra Te	Tetra Tech Inc	05/24/2012	3,115.00
28564	VERIZONW	Verizon Wireless	05/24/2012	540.06
28565	WALMART	Walmart Community	05/24/2012	704.74
28566	SOM-TRE	State Of Mich- Dept Of Treasur	05/25/2012	5,592.89
28567	PETTYCAS	Petty Cash	05/25/2012	155.78
28568	ARCHINAL	Michael Archinal	05/30/2012	500.00

Report Total: 101,670.81

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: diane

Printed: 05/18/2012 - 12:08

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
28528	Administ	Total Administrative Services	05/25/2012		930.72
			Check 28528 Total:		930.72
10280	AETNA LI	Aetna Life Insurance & Annuity	05/25/2012		25.00
			Check 10280 Total:		25.00
10281	EFT-FED	EFT- Federal Payroll Tax	05/25/2012		6,777.26 2,703.64 3,991.07 933.42 933.42
			Check 10281 Total:		15,338.81
10282	EFT-PENS	EFT- Payroll Pens Ln Pyts	05/25/2012		1,424.25
			Check 10282 Total:		1,424.25
28529	Equitabl	Equivest Unit Annuity Lock Box	05/25/2012		705.00
			Check 28529 Total:		705.00
10283	FIRST NA	First National Bank	05/25/2012		300.00 2,920.00 45,785.14

Check 10283 Total:

49,005.14

Report Total:

67,428.92
2 checks 725.38
\$68,154.30

Genoa Charter Township
User: diane

Payroll
Computer Check Register

Printed: 05/18/12 11:43
Batch: 603-05-2012

<u>Check No</u>	<u>Check Date</u>	<u>Employee Information</u>	<u>Amount</u>
11996	05/25/2012	Olvin Dak Dakota Olvin	358.75
11997	05/25/2012	Olvin Zak Zakkery Olvin	366.63
Total Number of Employees: 2		Total for Payroll Check Run:	725.38

First National
Direct Deposit
MAY 25, 2012
Bi-Weekly Payroll

<u>Employee Name</u>	<u>Debit Amount</u>	<u>Credit Amount</u>
Genoa Township	\$49,005.14	
Aaron Korpela		\$1,150.42
Adam Van Tassell		\$1,206.87
Alex Chimpouras		\$1,965.67
Amy Ruthig		\$1,124.81
Angela Williams		\$975.25
Caitlin Nims		\$1,087.16
Carol Hanus		\$1,242.61
Craig Bunkoske		\$1,554.34
Daniel Schlack		\$1,217.50
Dave Estrada		\$1,239.20
David Miller		\$1,949.95
Deborah Rojewski		\$1,612.07
Diane Zerby		\$577.16
Duane Chatterson		\$1,622.67
Erin Daksiewicz		\$990.57
Greg Tatara		\$2,531.26
Jacob Mitchell		\$879.38
James Aulette		\$1,434.90
Jeffrey Meyers		\$1,175.45
Jenifer Kern		\$655.69
Jonathan Morton		\$988.92
Judith Smith		\$1,218.57
Karen J. Saari		\$994.64
Kelly VanMarter		\$2,085.96
Kimberly MacLeod		\$822.79
Kristen Sapienza		\$149.07
Kyle Mitchell		\$963.87
Laura Mrocicka		\$1,714.50
Martin Reich		\$1,609.71
Michael Archinal		\$2,973.79
Renee Gray		\$1,061.11
Robin Hunt		\$1,373.06
Scott Lowe		\$1,403.58
Steven Anderson		\$1,741.94
Susan Sitner		\$787.23
Tammy Lindberg		\$1,003.65
Tesha Humphriss		\$1,919.82
Total Deposit		<u><u>\$49,005.14</u></u>

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: diane

Printed: 05/24/2012 - 12:20

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
28530	Administ	Total Administrative Services	06/01/2012		<u>227.27</u>
			Check 28530 Total:		<u>227.27</u>
10284	EFT-FED	EFT- Federal Payroll Tax	06/01/2012		1,715.36
					482.40
					712.14
					166.54
					<u>166.54</u>
			Check 10284 Total:		<u>3,242.98</u>
10285	EFT-PENS	EFT- Payroll Pens Ln Pyts	06/01/2012		<u>212.66</u>
			Check 10285 Total:		<u>212.66</u>
10286	FIRST NA	First National Bank	06/01/2012		8,201.98
					50.00
			Check 10286 Total:		<u>8,251.98</u>
			Report Total:		<u>11,934.89</u>

First National
Direct Deposit
JUNE 1, 2012
Monthly Payroll

<u>Employee Name</u>	<u>Debit Amount</u>	<u>Credit Amount</u>
Genoa Township	\$8,251.98	
Adam Van Tassel		\$548.50
Gary McCririe		\$2,304.01
H.J. Mortensen		\$433.06
Jean Ledford		\$482.80
Paulette Skolarus		\$3,233.53
Steve Wildman		\$330.49
Todd Smith		\$919.59
Total Deposit		<u>\$8,251.98</u>

12:15 PM

#593 LAKE EDGEWOOD W/S FUND**Payment of Bills**

May 17 - 30, 2012

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
Check	05/25/2012	2160	AT&T	Acct 053465-1001 001 May 2012	-25.25
Check	05/25/2012	2161	Biotech Agronomics, Inc.	Inv 796 dated 4/30/2012	-11,135.02
Check	05/25/2012	2162	Brighton Analytical L.L.C.	Inv #'s 0412-76847, 0512-76907	-154.00
Check	05/25/2012	2163	BullsEye Telecom	Inv # 14140046	-316.94
Check	05/25/2012	2164	COOPER'S TURF MANAGEMENT	Inv 9742	-330.00
Check	05/25/2012	2165	Consumers Energy	Service from 4/10/12 - 5/7/12	-281.99
Check	05/25/2012	2166	UIS PROGRAMMABLE SERVICES	Inv 530339195	-344.00
Check	05/25/2012	2167	USA BLUE BOOK	Inv # 658906	-72.15
Grand Total					-12,659.35

12:18 PM

#592 OAK POINTE WATER/SEWER FUND**Payment of Bills**

May 17 - 30, 2012

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
Check	05/18/2012	2385	AT & T	Acct 053 465 0885 001	-14.01
Check	05/18/2012	2386	AT&T	Acct 810-227-4883 026 3	-91.52
Check	05/18/2012	2387	Bullseye Telecom	Inv # 14175866	-566.16
Check	05/18/2012	2388	BRIGHTON ANALYTICAL, LLC	April and May invoices	-268.00
Check	05/18/2012	2389	COOPERS TURF MANAGEMENT, L	April 2012 invoices	-2,239.70
Check	05/18/2012	2390	EJ USA, Inc.	Inv 3472194	-89.90
Check	05/18/2012	2391	Hubbell, Roth & Clark, Inc.	Inv 0117885	-6,541.04
Check	05/18/2012	2392	J.C.'s Countryside Plbg, LLC	4539, 4546 Golfview	-1,100.00
Check	05/18/2012	2393	Northern Plumbing, Inc.	VOID: Inv 12-J52 GJE, RGJE created on 05/2	0.00
Check	05/18/2012	2394	POLLARD WATER	Inv 1324295-IN	-508.22
Check	05/18/2012	2395	PVS Nolwood Chemicals, Inc	Inv 368016, Credit Memos 103583, 103990	-752.00
Check	05/18/2012	2396	State of Michigan'	Inv 711581	-897.00
Check	05/18/2012	2397	TETRA TECH, INC.	Inv # 50560828	-391.50
Check	05/18/2012	2398	UIS PROGRAMMABLE SERVICES	Inv 530339237	-405.00
Check	05/18/2012	2399	WATER MASTERS LLC	Inv 2298	-869.76
Check	05/25/2012	2400	Northern Pump & Well	Inv 12-J52	-800.00
Grand Total					-15,533.81

#595 PINE CREEK W/S FUND

Payment of Bills

May 17 - 30, 2012

Type	Date	Num	Name	Memo	Amount
------	------	-----	------	------	--------

no checks issued

05/30/12

#503 DPW UTILITY FUND

Payment of Bills

May 17 - 30, 2012

Type	Date	Num	Name	Memo	Amount
Check	05/17/2012	2092	Auto Zone	Inv #'s 2170725910, 911	-37.99
Check	05/17/2012	2093	Clearwater Systems	Ticket #'s 955127, 953278	-36.00
Check	05/17/2012	2094	Chase Card Services	Acct 5582508638932167	-834.02
Check	05/17/2012	2095	Press & Argus	Statement invoice 724694	-214.48
Check	05/17/2012	2096	Port City Communications, Inc.	Inv # 444405012012	-129.38
Check	05/17/2012	2097	Red Wing Shoe Store	Inv 1402	-488.97
Check	05/17/2012	2098	SENSUS USA	Inv ZA13001255	-1,524.60
Check	05/17/2012	2099	Victory Lane Quick Oil Change	Inv # 20045	-37.48
Check	05/18/2012	2100	Staples Credit Plan	Acct 6035517861450400	-745.10
Check	05/18/2012	2101	BUSINESS IMAGING GROUP	Business cards - Jenifer Kern	-48.87
Check	05/18/2012	2102	Genoa Township	Repay GF for DPW - per KP and Greg Tatar	-250,000.00
Check	05/24/2012	2103	Chase Card Services	Monitor for DPW Special Projects employee	-199.99
Check	05/24/2012	2104	ESRI	ArcGIS for Desktop Basic	-1,500.00
Check	05/24/2012	2105	Shell Fleet Plus	Fuel charges for DPW	-3,881.90
Check	05/24/2012	2106	Verizon Wireless	Inv 2742658328	-244.08
Check	05/30/2012	2107	TESHA HUMPHRISS	June 2012 monthly car allowance	-500.00
Check	05/30/2012	2108	Greg Tatar	June 2012 monthly car allowance	-500.00
Grand Total					-260,922.86

GENOA CHARTER TOWNSHIP BOARD

Public Hearing and Regular Meeting

May 21, 2012

6:30 p.m.

MINUTES

Supervisor McCririe called the regular meeting of the Genoa Charter Township Board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following persons were present constituting a quorum for the transaction of business: Gary McCririe, Robin Hunt, Steve Wildman, Jim Mortensen, Todd Smith and Jean Ledford. Also present were Township Manager Michael Archinal and five persons in the audience.

A Call to the Public was made. William Valliencourt introduced himself as a candidate for County Prosecutor.

Approval of Consent Agenda:

Moved by Ledford and supported by Wildman to approve all items listed under the consent agenda as requested. The motion carried unanimously.

1. Payment of Bills.

2. Request to approve minutes: May 7, 2012

Approval of Regular Agenda

Moved by Hunt and supported by Wildman to approve the Regular Agenda. The motion carried unanimously.

3. Consideration of a request for a fireworks display on West Crooked Lake as requested by Pepper Bergin.

Mr. Smith commented that this application is the same every year and is complete. Moved by Ledford and supported by Mortensen to approve the request. The motion carried unanimously.

4. Consideration of a request for a fireworks display on West Crooked Lake as requested by Michael Freeland.

Mr. Smith commented that the application is in order and has the necessary insurance. Moved by Ledford and supported by Mortensen to approve the request. The motion carried unanimously.

5. Consider approval of the 2012 Crack Sealing Program at a cost not to exceed \$53,000.

Manager Archinal described this year's program and noted that those subdivisions that have specially assessed themselves for road improvements receive a priority. Moved by Mortensen

and supported by Wildman to approve the Crack Sealing Program at a cost not to exceed \$53,000.

6. Continuation of a discussion regarding the SEMCOG 2040 Forecast.

General discussion ensued regarding the aging demographics of the Township. Contacts should be made to address the needs of this population. The Agency on Aging, Older Person's Organization and Senior Centers were discussed. All types of seniors should be considered; both active and less active. Staff was directed to supply the Board with detailed demographics of the community.

Trustee Ledford noted that Jim Maguire of Rochester Hills is willing to assist us. He spoke at a recent SEMCOG meeting and he was very compelling.

Supervisor McCririe suggested that a committee be created to consider the needs of an aging population.

Trustee Mortensen asked that the goals of whatever group is formed be defined. He is not interested in recreating what already exists.

Supervisor McCririe stated that he will bring back information for the next meeting.

Member Discussion.

Issues related to DEQ permit issues at the Oak Pointe Wastewater Treatment Plant were discussed.

The regular meeting of the Genoa Charter Township Board was adjourned at 6:54 p.m.

Respectfully submitted,

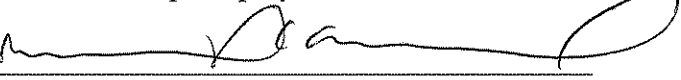
Michael Archinal

Township Manager



MEMO

TO: Honorable Members of the Genoa Charter Township Board
FROM: Kimberly MacLeod, Human Resources Director
DATE: May 30, 2012
RE: Genoa Charter Township Employee Handbook modifications

MANAGER REVIEW: 

.....

Recently, we had our township legal counsel (Frank Mancuso) review in its entirety our personnel manual for conformance with current labor laws. Per Mr. Mancuso's recommendations, please consider at tonight's Board Meeting the following changes to Genoa Township's Employee Handbook, the current version dated March 7, 2011.

Family and Medical Leave Act (FMLA):

- 1) The FMLA provides an entitlement of up to 12 weeks of job-protected, unpaid leave during any 12-month period to eligible, covered employees for the following reasons: 1) birth and care of the eligible employee's child, or placement for adoption or foster care of a child with the employee; 2) care of an immediate family member (spouse, child, parent) who has a serious health condition; or 3) care of the employee's own serious health condition. It also requires that employee's group health benefits be maintained during the leave. The FMLA is administered by the Employment Standards Administration's Wage and Hour Division within the U.S. Department of Labor. This Act is currently not covered in Genoa's Employee Manual and applies to all public agencies therefore the Handbook should be amended to include the FMLA provisions as required by Federal law.
- 2) The FMLA also includes a special leave entitlement that permits a spouse, son, daughter, parent, or next of kin to take up to 26 workweeks of leave to care for a member of the Armed Forces, including a member of the National Guard or Reserves, who is undergoing medical treatment, recuperation, or therapy, is otherwise in outpatient status, or is otherwise on the temporary disability retired list, for a serious injury or illness. This language also needs to be outlined in the Employee Manual.
- 3) If a covered employer has any eligible employees, such as GCT, it must also provide general notice to each employee by including the notice in employee handbooks or other written guidance to employees concerning benefits or leave rights if such written materials exist. Therefore, the document entitled "Employee Rights and Responsibilities under the Family and Medical Leave Act" needs to be inserted into the Employee Manual in its entirety to cover the employer's notification requirement as mandated by the DOL Wage and Hour division.
- 4) The goal of the revised policy, a copy of which is attached, is to meet the compliance requirements dictated by Federal Law.

Employee Handbook - Acknowledgement Form:

When initially hired, or at the Township's request, we instruct employees to review the Employee Handbook or an amended policy and sign the Acknowledgment form. This form acknowledges that the employee has read and is bound to the terms and provisions of the GCT Handbook. This document becomes a permanent record in the employee's personnel file. Mr. Mancuso highly recommended that we enhance our employee acknowledgement form to include explicit at-will employment language. This enhancement will act as another layer of protection for the Township should the future release of an employee result in a claim from dismissal.

Utility-Specific Professional Development Policy:

The Utility Department amended its original Professional Development policy to provide clarification on the policy to cover license exams, incentive programs, and professional memberships. This amended policy was approved at the February 2, 2012 Board Meeting. As we refer back to the policy in response to employee inquiries, we discovered a few items that need to be corrected:

Current Language: *Time required for review courses, sitting for exams, etc. are the employee's responsibility. This includes mileage and travel time to testing and/or exam sites.*

Amended Language: *Time required for review courses, sitting for exams, etc. are also covered by the Township, within budgetary limits. Meal expenses (one meal per exam if exam is a full day) will also be covered, up to \$10.00 per employee. Travel expenses should be covered by using a Township vehicle and carpooling when it makes sense.*

Utility-Specific Dress Code and Uniform Policy:

The original Dress Code and Uniform Policy was developed and approved by the Board in March of 2011. Due to our visibility with the residents, and because we have summer help and a low rate of attrition, we think it's crucial to add the following language to the policy effective immediately: *"Employees must return Township issued uniforms to Human Resources prior to his/her last day of work."* Our image and exceptional reputation is of utmost importance to the Township.

As an evolving growing and maturing department, we anticipate there may be future alterations to the Employee Handbook, however, we think it's important to address these and make the necessary modification as appropriate.

Based on the above summary, please consider the following motion:

Moved by _____, supported by _____ to adopt the Genoa Charter Township Professional Development Policy effective June 4, 2012.

G. FAMILY MEDICAL LEAVE ACT (FMLA)

1. An employee who has been employed for at least twelve (12) months and working at least 1250 hours during the previous twelve (12) month period is entitled to a total of twelve (12) weeks of **unpaid** leave during any twelve (12) month period. The twelve (12) month period will be calculated on a calendar year basis.
2. Nothing in the FMLA supersedes any provision of state or local law that affords greater family or medical leave rights than those provided by the FMLA. If leave qualifies under the FMLA and under state law, the leave used counts against the employee's entitlement under both laws.
3. Family and Medical Leave may be taken for one or more of the following reasons:
 - A. The birth of a child of the employee and to care for the child;
 - B. Placement of a child with the employee for adoption or foster care;
 - C. To care for a parent, spouse or child with a serious health condition; or
 - D. A serious health condition that makes the employee unable to perform his/her job functions

“**Serious health condition**” means an illness, injury, impairment, or physical or mental condition that involves either:

- (A.) Inpatient care (*i.e.*, an overnight stay) in a hospital, hospice, or residential medical-care facility, including any period of incapacity (*i.e.*, inability to work, attend school, or perform other regular daily activities) or subsequent treatment in connection with such inpatient care; **or**
- (B.) Continuing treatment by a health care provider, which includes:
 - (i.) A period of incapacity lasting more than three consecutive, full calendar days, and any subsequent treatment or period of incapacity relating to the same condition that **also** includes:
 - (a.) treatment two or more times by or under the supervision of a health care provider (*i.e.*, in-person visits, the first within seven (7) days and both within thirty (30) days of the first day of incapacity); **or**

(b.) one treatment by a health care provider (*i.e.*, an in-person visit within seven (7) days of the first day of incapacity) with a continuing regimen of treatment (*e.g.*, prescription medication, physical therapy); **or**

(ii.) Any period of incapacity related to pregnancy or for prenatal care. A visit to the health care provider is not necessary for each absence; **or**

(iii.) Any period of incapacity or treatment for a chronic serious health condition which continues over an extended period of time, requires periodic visits (at least twice a year) to a health care provider, and may involve occasional episodes of incapacity. A visit to a health care provider is not necessary for each absence; **or**

(iv.) A period of incapacity that is permanent or long-term due to a condition for which treatment may not be effective. Only supervision by a health care provider is required, rather than active treatment; **or**

(v.) Any absences to receive multiple treatments for restorative surgery or for a condition that would likely result in a period of incapacity of more than three days if not treated.

4. An employee who takes leave for a birth or placement of a child for adoption or foster care must take the leave within a year of the birth or placement.
5. An employee must first use any accrued vacation, sick or personal leave as part of their leave period.
6. When leave is foreseeable, an employee is expected to give at least thirty (30) days notice in writing of their plan to take leave (or as much notice as is possible under the circumstances).
7. If both husband and wife work for Genoa Township, and both are eligible for leave, they are limited to twelve (12) weeks leave per year combined for the birth of a child, adoption or foster care placement, or care of a family member. But if either spouse develops a serious health condition and is unable to perform the essential functions of the job, each would be entitled to the full twelve (12) weeks of unpaid leave per year for personal illness.

8. Employees on Family and Medical Leave will be restored to their previous position or an equivalent position with equivalent benefits, pay or other terms and conditions of employment. However, an employee on FMLA leave has no greater right to employment than if the employee had not taken leave; if employment would have been terminated anyway, the employee has no right to reinstatement. For example, if an employee's position was terminated due to lack of funding, and the employee would have been terminated even if he/she had been continuously employed, the employee would not have a right to reinstatement.
9. Medical coverage for an employee enrolled under Genoa Township's group health plan will continue while on Family or Medical Leave under the same terms and conditions as when the employee was working. If an employee fails to return to work from Family and Medical Leave, the employee must reimburse Genoa Township for the premiums it paid for continuing medical coverage. If an employee cannot return to work because of continuing or recurring health problems or for other reasons beyond their control, the employee will not be required to reimburse Genoa Township for premiums paid.
10. Employees returning to work from Family and Medical Leave must give at least one (1) week notice to the Township Manager prior to returning from leave. Those employees not intending to return after the completion of leave must also provide the Township Manager at least one (1) week notice of their intent not to return after leave. Failure to return to work on the scheduled date of return will indicate that the employee has resigned his/her employment with Genoa Township.
11. The employee shall provide their Supervisor with bi-weekly notification of their status while on leave and the date they intend to return to work.
12. Annual, Sick and Personal Leave do not accrue during Family and Medical Leave.
13. A medical certification may be required from a health care provider for Family and Medical Leave to care for a seriously ill parent, spouse, or child, or for an employee's own medical leave.
14. An employee may be required to obtain a medical certification from his/her health care provider stating that the employee is able (or unable) to return to work (i.e., a "fitness-for-duty" report).

15. Intermittent Leave to care for a new child is not permitted. Intermittent Leave is permitted for serious illness when it is medically necessary. Medical certification is required prior to granting intermittent leave. If leave is required on an intermittent basis or reduced leave basis, Genoa Township may require the employee to transfer temporarily to an alternative position that better accommodates the intermittent leave or a part-time schedule, provided the position has equivalent pay and benefits. The employee must discuss the proposed intermittent leave schedule with his/her supervisor before leave begins.

H. MILITARY FAMILY LEAVE

Military Caregiver Leave. The FMLA also includes a special leave entitlement that permits an eligible employee (an employee who has been employed for at least twelve (12) months and working at least 1250 hours during the previous twelve (12) month period) who is a spouse, son, daughter, parent or next of kin of a covered service member with a serious injury or illness to take up to twenty six (26) work weeks of **unpaid** leave to care for a covered service member during a single twelve (12) month period.

1. A covered service member is a current member of the Armed Forces, including a member of the National Guard or Reserves, who is undergoing medical treatment, recuperation or therapy, is otherwise in outpatient status, or is otherwise on the temporary disability retired list, for a serious injury or illness.

2. A serious injury or illness is one that was incurred by a service member in the line of duty on active duty that may render the service member medically unfit to perform duties of his or her office, grade, rank, or rating.

3. Employees seeking to use military caregiver leave must provide 30 days advance notice of the need to take FMLA leave for planned medical treatment for a serious injury or illness of a covered service member. If leave is foreseeable but 30 days advance notice is not practicable, the employee must provide notice as soon as practicable – generally, either the same or next business day.

4. The “single twelve (12) month period” begins on the first day the eligible employee takes leave and ends twelve (12) months later, regardless of the twelve (12) month period established for other types of FMLA leave.

5. An eligible employee is limited to a **combined** total of twenty six (26) workweeks of leave for any FMLA qualifying reason during the “single twelve (12) month period.” (Only twelve (12) of the twenty six (26) weeks total may be used for a FMLA qualifying reason other than to care for a covered service member.)

Qualifying Exigency Leave. An eligible employee (an employee who has been employed for at least twelve (12) months and working at least 1250 hours during the previous twelve (12) month period) is entitled to up to a total of twelve (12) workweeks of **unpaid** leave during the normal twelve (12) month period established for FMLA leave for qualifying exigencies arising out of the fact that the employee’s spouse, son, daughter, or parent is on active duty, or has been notified of an impending call or order to active duty, in support of a contingency operation.

1. A qualifying exigency leave is available to a family member of a military member in the National Guard or Reserves; it does not extend to family members of military members in the Regular Armed Forces.

2. Qualifying exigencies include:

(a.) Issue(s) arising from a covered military member’s short notice deployment (i.e., deployment on seven (7) or less days of notice) for a period of seven (7) days from the date of notification;

(b.) Military events and related activities, such as official ceremonies, programs, or events sponsored by the military or family support or assistance programs and informational briefings sponsored or promoted by the military, military service organizations, or the American Red Cross that are related to the active duty or call to active duty status of a covered military member;

(c.) Certain childcare and related activities arising from the active duty or call to active duty status of a covered military member, such as arranging for alternative childcare, providing childcare on a non-routine, urgent, immediate need basis, enrolling or transferring a child in a new school or day care facility, and attending certain meetings at a school or a day care facility if they are necessary due to circumstances arising from the active duty or call to active duty of the covered military member;

(d.) Making or updating financial and legal arrangements to address a covered military member’s absence;

(e.) Attending counseling provided by someone other than a health care provider for oneself, the covered military member, or the child of the covered military member, the need for which arises from the active duty or call to active duty status of the covered military member;

(f.) Taking up to five (5) days of leave to spend time with a covered military member who is on short-term temporary, rest and recuperation leave during deployment;

(g.) Attending to certain post-deployment activities, including attending arrival ceremonies, reintegration briefings and events, and other official ceremonies or programs sponsored by the military for a period of ninety (90) days following the termination of the covered military member's active duty status, and addressing issues arising from the death of a covered military member;

(h.) Any other event that the employee and employer agree is a qualifying exigency.

3. Spouses employed by Genoa Township are limited to a **combined** total of twenty six (26) workweeks in a "single twelve (12) month period" if the leave is to care for a covered service member with a serious injury or illness.

4. FMLA leave may be taken intermittently whenever **medically necessary** to care for a covered service member with a serious injury or illness.

5. FMLA leave also may be taken intermittently for a qualifying exigency arising out of the active duty status or call to active duty of a covered military member.

6. When leave is needed for planned medical treatment, the employee must make a reasonable effort to schedule treatment so as not to unduly disrupt Genoa Township's operation.

7. An employee must provide notice of the need for foreseeable leave due to a qualifying exigency as soon as practicable. When the need for military family leave is not foreseeable, the employee must provide notice to Genoa Township as soon as practicable under the facts and circumstances of the particular case.

8. The employee must provide "sufficient information" to make Genoa Township aware of the need for FMLA leave and the anticipated timing and duration of the leave. Depending on the situation, such information may include, as applicable:

(a.) that the leave is for a qualifying family member who is a covered service member with a serious injury or illness and the anticipated duration of the leave;

(b.) that the requested leave is for a particular qualifying exigency related to the active duty or call to active duty status of a covered military member and the anticipated duration of the leave.

Certification Requirements. Genoa Township may require that an employee's request for military family leave be supported by an appropriate certification. Genoa Township may require that:

(a.) leave to care for a covered service member with a serious injury or illness be supported by a certification completed by an authorized health care provider or by a copy of an Invitational Travel Order (ITO) or Invitational Travel Authorization (ITA) issued to any member of the covered service member's family;

(b.) leave for a qualifying exigency be supported by a copy of the covered military member's active duty orders and certification providing the appropriate facts related to the particular qualifying exigency for which leave is sought, including contact information if the leave involves meeting with a third party.

Genoa Township may use a health care provider, a human resource professional, a leave administrator, or a management official – but not the employee's direct supervisor – to authenticate or clarify a medical certification of a serious injury or illness, or an ITO or ITA. Additionally, Genoa Township may contact the individual or entity named in a certification of leave for a qualifying exigency for purposes of verifying the existence and nature of the meeting.

ASSESSOR'S AFFIDAVIT OF
THE 2012 MILLAGE LEVIES
FOR THE
TOWNSHIP OF GENOA

This report is to certify the 2012 Genoa Township **Operating Millage Levy** at **0 .8146** mills., the Maximum Allowable Millage Levy without a vote of the people.

The maximum allowable Operating Millage Levy is arrived at by calculations from form L-4034, 2010 Millage Reduction Fractions Worksheet to show the 2012 "Headlee Reduction Fraction", Sec. 211.34d, MCL (1.0000), the "Truth in Assessing" calculation, sec 211.34 MCL (1.0000), the "Truth in County Equalization", Sec. 211.34, MCL (1.0000), and the "Truth in Taxation" 2012 Base Tax Rate Fraction (1.0000)*.

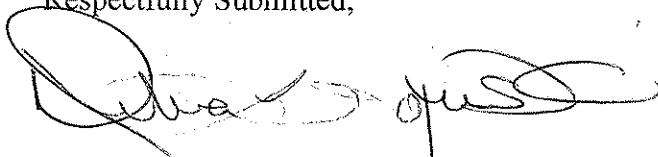
The asterisk (*) is to show that the 2012 Base Tax Rate Fraction of 1.0000 is due to Genoa Township being exempt from this calculation and the "Truth in Taxation Public Hearing" because the 2012 Millage Levy was less than One Mill (0.8146).

STATE TAX COMMISSION BULLETIN NO. 5

Dated August 2, 1999. The above STC BULLETIN addressed public act 38 of 1999, which requires that all calculations now "Round Down" the tax rate to 4 decimal places to be in compliance with the change in law under public act 38 of 1999. This request to certify the 2012 Millage levy for the Township of Genoa at 0.8146 mills for operating, is in compliance with all of the calculation requirements of form L-4029 Millage Request Report under Sections 211.34, 211.34d and 211.24e.

Therefore, it is requested that the Genoa Township Board pass a resolution to authorize the 2012 Millage Rate at **0.8146 mills.**

Respectfully Submitted,



Debra L. Rojewski, CMAE 3 PPE
Genoa Township Assessor

2012 Tax Rate Request (This form must be completed and submitted on or before September 30, 2012)

MILLAGE REQUEST REPORT TO COUNTY BOARD OF COMMISSIONERS

This form is issued under authority of MCL Sections 211.24e, 211.34 and 211.34d. Filing is mandatory; Penalty applies.

Carefully read the instructions on page 2.

County(ies) Where the Local Government Unit Levies Taxes LIVINGSTON	2012 Taxable Value of ALL Properties in the Unit as of 5-29-12 987,184,874
Local Government Unit Requesting Millage Levy GENOA CHARTER TOWNSHIP	For LOCAL School Districts: 2012 Taxable Value excluding Principal Residence, Qualified Agricultural, Qualified Forest, Industrial Personal and Commercial Personal Properties.

This form must be completed for each unit of government for which a property tax is levied. Penalty for non-filing is provided under MCL Sec 211.119. The following tax rates have been authorized for levy on the 2012 tax roll.

(1) Source	(2) Purpose of Millage	(3) Date of Election	(4) Original Millage Authorized by Election Charter, etc.	(5) ** 2011 Millage Rate Permanently Reduced by MCL 211.34d "Headlee"	(6) 2012 Current Year "Headlee" Millage Reduction Fraction	(7) 2012 Millage Rate Permanently Reduced by MCL 211.34d "Headlee"	(8) Sec. 211.34 Truth in Assessing or Equalization Millage Rollback Fraction	(9) Maximum Allowable Millage Levy *	(10) Millage Requested to be Levied July 1	(11) Millage Requested to be Levied Dec. 1	(12) Expiration Date of Millage Authorized
ALLOC	OPER.	N/A		.8146	1.0000	.8146	1.0000	.8146		.8146	

Prepared by DEBRA L. ROJEWSKI	Telephone Number 810-227-5225	Title of Preparer ASSESSOR	Date 5/29/2012
---	---	--------------------------------------	--------------------------

CERTIFICATION: As the representatives for the local government unit named above, we certify that these requested tax levy rates have been reduced, if necessary to comply with the state constitution (Article 9, Section 31), and that the requested levy rates have also been reduced, if necessary, to comply with MCL Sections 211.24e, 211.34 and, for LOCAL school districts which levy a Supplemental (Hold Harmless) Millage, 380.1211(3).

<input checked="" type="checkbox"/> Clerk	Signature	Print Name PAULETTE SKOLARUS	Date
<input type="checkbox"/> Secretary			
<input type="checkbox"/> Chairperson	Signature	Print Name GARY MCCRIE	Date
<input checked="" type="checkbox"/> President			

* Under Truth in Taxation, MCL Section 211.24e, the governing body may decide to levy a rate which will not exceed the maximum authorized rate allowed in column 9. The requirements of MCL 211.24e must be met prior to levying an operating levy which is larger than the base tax rate but not larger than the rate in column 9.

** **IMPORTANT:** See instructions on page 2 regarding where to find the millage rate used in column (5).

Local School District Use Only. Complete if requesting millage to be levied. See STC Bulletin 2 of 2012 for instructions on completing this section.

Total School District Operating Rates to be Levied (HH/Supp and NH Oper ONLY)	Rate
For Principal Residence, Qualified Ag, Qualified Forest and Industrial Personal	
For Commercial Personal	
For all Other	

2011 MILLAGE REDUCTION FRACTION CALCULATIONS WORKSHEET
INCLUDING MILLAGE REDUCTION FRACTION CALCULATIONS NOT
NOT SPECIFICALLY ASSIGNED TO THE COUNTY EQUALIZATION DIRECTOR BY LAW

L-4034

County	LIVINGSTON COUNTY	Taxing Jurisdiction	Genoa Twp.	(City, Twp., Village, County, Authority, School District)
--------	-------------------	---------------------	------------	---

2010 Total Taxable Value	<u>1,041,060,808</u>
Losses	<u>6,208,075</u>
Addition	<u>13,192,766</u>
2011 Total Taxable Value Based on SEV	<u>1,003,573,793</u>
2011 Total Taxable Value Based on Assessed Value (A.V.)	<u>1,003,573,793</u>
2011 Total Taxable Value Based on CEV	<u>1,003,573,793</u>
2011 Rate of Inflation (C.P.I.)	<u>1.017</u>

Note: The last two items above are only needed when it is necessary to calculate a Truth in Assessing or Truth in County Equalization Rollback Fraction.

1. Section 211.34d, MCL, "Headlee" (for each unit of local government)

$$\begin{array}{r}
 \text{(2010 Total Taxable Value-Losses) x Inflation Rate (C.P.I.)} \\
 \hline
 1,041,060,808 \quad \text{Minus} \quad 6,208,075 \quad \times \quad 1.017 \quad = \quad \underline{1.0000} \\
 1,003,573,793 \quad \text{Minus} \quad 13,192,766 \quad = \quad \underline{\del{1.0627}} \\
 \text{(2011 Total Taxable Value Based on SEV - Additions)}
 \end{array}$$

2011 Millage Reduction Fraction (Headlee). Round to 4 decimal places in the conventional manner. If number exceeds 1.0000, line through and enter 1.0000

See State Tax Commission Bulletin No. 3 of 1995 regarding the calculation of losses and additions. See also the Supplements to STC Bulletin No. 3 of 1995 contained in STC Bulletin No. 3 of 1997.

2a. Section 211.34, MCL, "Truth in Assessing" (for cities and townships if S.E.V. exceeds A.V. for 2009 only)

$$\begin{array}{r}
 \text{(2011 Total Taxable Value Based on} \\
 \text{Assessed Value for all Classes)} \\
 \hline
 1,003,573,793 \\
 \text{(2011 Total Taxable Value Based on SEV for all Classes)} \\
 \hline
 1,003,573,793
 \end{array}
 =
 \underline{1.0000}$$

2011 Rollback Fraction (Truth in Assessing) Round to 4 decimal places in the conventional manner. (Cannot exceed 1.000)

See State Tax Commission Bulletin No. 7 of 2004 for more information regarding this calculation.

2b. Section 211.34, MCL, "Truth in County Equalization" (for villages, counties and authorities if S.E.V. exceeds C.E.V. for 2009 only)

$$\begin{array}{r}
 \text{(2011 Total Taxable Value based on CEV for all Classes)} \\
 \hline
 1,003,573,793 \\
 \text{(2011 Total Taxable Value Based on SEV for all Classes)} \\
 \hline
 1,003,573,793
 \end{array}
 =
 \underline{1.0000}$$

2011 Rollback Fraction (Truth in County Equalization) Round to 4 decimal places in the Conventional manner. (Cannot exceed 1.000)

See State Tax Commission Bulletin No. 7 of 2004 for more information regarding this calculation.

3. Section 211.24e, MCL, "Truth in Taxation" (for each taxing jurisdiction that levied more than 1 mill for operating purposes in prior year only).

$$\begin{array}{r}
 \text{(2010 Total Taxable Value-Losses)} \\
 \hline
 1,041,060,808 \quad \text{minus} \quad 6,208,075 \\
 1,003,573,793 \quad \text{minus} \quad 13,192,766 \\
 \text{(2011 Total Taxable Value Based on SEV - Additions)}
 \end{array}
 =
 \underline{1.0449}$$

2011 Base Tax Rate Fraction (Truth in Taxation) Round to 4 decimal places in the conventional manner


Use the same amounts for additions and losses as were used for the 211.34d ("Headlee") rollback.

Note: The truth in taxation BTRF is independent from the cumulative millage reductions provided by sections 211.34d and 211.34. The Base Tax Rate equals the BTRF X 2002 Operating Rate levied.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Planning Director
DATE: May 31, 2012
RE: Speedway Addition & Outdoor Sales – Site Plan/Special Land Use
MANAGER'S REVIEW: 

I have reviewed the revised site plan (dated 5/25/12), Environmental Impact Assessment (dated 5-25-12), for a proposed a 793 sq. ft. addition and outdoor sales and display located at 3598 E. Grand River, Howell. My review of the revised submittal was focused on compliance with the outstanding items discussed at the May 14, 2012 Planning Commission meeting at which this item was recommended for approval.

In consideration of the aforementioned, I recommend the following action in this regard:

Recommendation of Special Use Permit: I recommend approval of the Special Land Use Permit for outdoor sales and display.

Recommendation of Impact assessment (dated 05-25-12): I recommend approval of the impact assessment.

Recommendation of Site Plan (dated 05-25-12): I recommend approval of the site plan with the condition that all requirements of the Township Engineer and Fire Department shall be met.

Should you have any questions concerning this matter, please do not hesitate to contact me.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Steven Wildman

**GENOA TOWNSHIP
APPLICATION FOR SITE PLAN REVIEW**

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Speedway LLC, Chuck Selves, 3117 Sheridan Blvd., Lennon, MI 48449

OWNER'S NAME & ADDRESS: Speedway Super America LLC 539 S. Main St. Findlay, OH 45840

SITE ADDRESS: 3598 E. Grand River Rd. PARCEL #(s): 4711-05-400-022

APPLICANT PHONE: (810) 955-7495 OWNER PHONE: (937) 863-7649

LOCATION AND BRIEF DESCRIPTION OF SITE:
Existing Speedway Store, 3598 E. Grand River Rd.

BRIEF STATEMENT OF PROPOSED USE:
No change to current use

THE FOLLOWING BUILDINGS ARE PROPOSED:
Construct 790 sq. ft. addition on existing building

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Chuck Selves

ADDRESS: 3117 Sheridan Blvd., Lennon, MI 48449

** If applicant is not the owner, a letter of Authorization from Property Owner is needed.*

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Chuck Selves of Speedway LLC at (419) 422-7758
Name Business Affiliation Fax No.

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Chuck Selves DATE: 4/6/2012

PRINT NAME: Chuck Selves PHONE: 810-955-7495

ADDRESS: 3117 Sheridan Blvd., Lennon, MI 48449

12-06

**APPLICATION FOR SPECIAL LAND USE
GENOA TOWNSHIP**

APPLICANT NAME* & ADDRESS: Speedway LLC, Chuck Selves, 3117 Sheridan Blvd., Lennon, MI 48449

OWNER NAME* & ADDRESS: Speedway Super America LLC 539 S. Main St. Findlay, OH 45840

SITE ADDRESS: 3598 E. Grand River Ave. PARCEL #(s): 4711-05-400-022

APPLICANT PHONE: (810) 955-7495 OWNER PHONE: (937) 863-7643

Location and brief description of site and surroundings:
Site is the location of a Speedway gas station and convenience store. It is surrounded on all three sides by developed lots zoned Regional Commercial District.

Proposed Use:
Commercial Outdoor Display Sales. Items to be displayed are propane cylinders for exchange in cages, bagged ice in freezer chests, and bottled water (summer) or windshield wash (winter)

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

While the proposed use does not advance the goals, objectives and policies of the Plan, it is not incompatible with or detract from those goals. This use will further accommodate a retail business which is "intended to serve a retail market area that includes Genoa Township, the surrounding communities and bypass traffic."

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The existing character of the vicinity is retail. The requested use is an extension of that. The displays will be maintained so as to not become unsightly. See attached merchandising plan and photos.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

N/A

- d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

The proposed use will not involve anything detrimental as noted in the question.

c. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)?
If so, describe how the criteria are met.
The proposed use meets all the criteria of 7.02.02(d) for commercial outdoor display sales.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Speedway Super America LLC STATES THAT THEY ARE THE FREE OWNER* OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Chuck Selves

ADDRESS: 3117 Sheridan Blvd., Lennon, MI 48449

*Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Chuck Selves of Speedway, LLC at (419) 422-7758
Name Business Affiliation Fax No.

Note: This application must be accompanied by a site plan review application and the associated site plan review submittal requirements. (The Zoning Administrator may allow a less detailed sketch plan for a change in use.)

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Chuck Selves

DATE: 4/6/2012

PRINT NAME: Chuck Selves

PHONE: 810-955-7495

ADDRESS: 3117 Sheridan Blvd., Lennon, MI 48449

9. The site shall conform to the Township lighting ordinance and 12' tall fixtures are recommended rather than the proposed 20' fixtures.
10. The Fire department letter dated 5-10-12 will be adhered to.

The motion carried unanimously.

OPEN PUBLIC HEARING # 4...Review of special use application, impact assessment and site plan for proposed outdoor sales and a 793 sq.ft. addition to the existing Speedway Gas Station located at 3598 E. Grand River, Howell. Sec. 5, petitioned by Speedway Super America.

David Bradt with Richard Bowen and Chuck Selves with Speedway are present on behalf of the petitioner. They are proposing a 793 sq. ft. addition with 5 additional parking spaces for employee parking. They are also adding the 8' sidewalk except for one area where it will be 6' to avoid the existing sign. The building will be repainted a tan color.

Chairman Brown does not support the outdoor storage of seasonal items as was shown in the photograph depicting building color. Mr. Selves stated the picture was for color only, they do not intend to display seasonal items outside. They are proposing to display outside the same items that they currently display and nothing additional.

Figurski wants to know what will happen with the shed. Mr. Brandt states they will pour a pad and relocate it on-site behind the building. Mr. Selves states the shed is used for returnable cans and bottles and some ice melt used in the winter.

Brad Strader goes over the LSL Planning letter dated May 8, 2012. This is older site that is lacking in landscaping. The applicant is proposing to add a significant amount of landscaping to bring the property into compliance with the ordinance. The outdoor display is required to be screened, and they are requesting a waiver from the screening requirements. Mr. Strader believes the request to waive the screening is reasonable in this case due to the location of the proposed display materials and the extensive landscaping they are adding. The canopy trees are being substituted for ornamental trees because of the overhead utilities. The Township may consider asking for some additional shrubs along Grand River Avenue. The Planning Commission also will need to approve the use of an LED light rather than metal halide.

Chairman Brown asks for clarification on the Kerosene dispenser. Mr. Bradt states that the Kerosene dispenser was shown as an error. It does not apply to this location and it will be removed if it is on the plans.

Mr. Strader states that the final planning issue is the screening of the rooftop equipment. Mr. Bradt states the existing units are not screened and they are not

proposing to make any changes to these units at this time. They are adding 2 new condenser units which will be screened by the canopy in front of the building. There is an increased cost to screening and the unit there now is not screened so they would prefer not to screen the units. Mr. Tenge indicates the units should be screened.

Figurski asks if the 3 trees on the east side look in poor health and wants to know if they will stay. She also questions if there will be landscaping installed on the west side towards SWAT. The applicant and Mr. Strader explain the landscaping and show that there is quite a bit of new landscaping proposed.

Chairman Brown feels the waiver from the required outdoor storage landscaping is justified because of the distance from Grand River Avenue and the proposed new landscaping along the Grand River frontage will significantly screen the display areas.

A call the public was made at 7:44pm with no response.

Planning Commission disposition of petition

A. Recommendation of Special Use Application.

Moved by Tenge, supported by Lowe to recommend approval of the special use application for outdoor sales and display at the existing Speedway Gas Station located at 3598 E. Grand River based on the following:

1. The comments and concerns of the Fire Department shall be satisfied.
2. The Planning Commission approves the use of existing building materials on the proposed expansion for consistency.
3. All existing and proposed roof top equipment shall be screened.
4. The ornamental trees rather than canopy trees are acceptable due to overhead lines.
5. The LED light fixtures are approved based on the LSL recommendation.
6. All reference to Kerosene dispenser shall be removed.

Motion carried unanimously.

B. Recommendation of Impact Assessment dated 4-9-12.

Moved by Figurski, supported by Lowe to recommend approval of the Environmental Impact Assessment dated 4-9-12 for a 793 sq. ft. addition with new parking and outdoor sales at the existing Speedway Gas Station located at 3598 E. Grand River with the following conditions:

1. A statement indicating that dust control measure shall be used during construction shall be added in Item E.
2. Any reference to Kerosene Dispenser shall be removed.

Motion carried unanimously.

C. Recommendation of Site Plan 5-1-12.

Moved by Tenge, supported by Figurski to recommend approval of the site plan dated 5-1-12 for a 793 sq. ft. addition with new parking and outdoor sales at the existing Speedway Gas Station located at 3598 E. Grand River with the following conditions:

1. All the items required as conditions of the Special Land Use approval shall be satisfied.
2. The outside sales area is approved and the screening requirement is waived because the proposed front greenbelt landscaping is adequate.
3. All requirements of the Township Engineers shall be met.

Motion carried unanimously.

Administrative Business:

- *Staff report:* Kelly VanMarter states that the June 11th meeting only has Industrial Resin Recycling on the agenda.
- *Approval of April 9, 2012 Planning Commission meeting minutes:*
Moved by Figurski, supported by Tenge to approve the minutes except under Public Hearing #1, 3rd paragraph "on" should be changed to "no".
Motion carried unanimously.
- *Member Discussion:* Chairman Brown states that when we update the Zoning Ordinance, Section 12.02.13 should be reworded. It has 3 "shalls". He also would like to see the Planning Commission having more discretion over outside storage for convenience stores.

Adjournment.

Moved by Figurski, supported by Lowe to adjourn the meeting at 7:53 pm.
Motion carried unanimously.

Submitted by:

Kelly VanMarter



LSL Planning, Inc.

Community Planning Consultants

May 8, 2012

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Planning Director
Subject:	Speedway Gas Station – Special Land Use and Site Plan Review #2
Location:	3598 E. Grand River Avenue – south side of Grand River, between Grand Oaks Drive and Cleary Drive
Zoning:	RCD Regional Commercial District

Dear Commissioners:

As requested, we have reviewed the special land use application and revised site plan (cover sheet dated 5/1/12) proposing building and parking lot expansions, as well as the addition of outdoor sales and display to the existing Speedway gas station. The property is located on the south side of Grand River Avenue and is zoned RCD Regional Commercial District. The proposed project has been reviewed for consistency with the Genoa Township Master Plan and compliance with the Township Zoning Ordinance.

A. Summary

1. Pending any comments from the Township Engineer or Fire Department, the project is generally consistent with the special land use standards of Section 19.03.
2. The applicant requests a waiver from the screening requirements of Section 7.02.02(d).
3. The Planning Commission has approval authority over building elevations and may allow the use of existing materials for the proposed expansion.
4. We recommend the Commission include a condition requiring screening for the roof-mounted mechanical equipment.
5. The applicant requests use of 10 ornamental trees in lieu of canopy trees to avoid utility conflicts.
6. We recommend the Commission allow the use of LED light fixtures in place of metal halide.
7. The submittal includes a detail of a kerosene dispenser; however, we believe the detail was included by mistake and request that it be removed to avoid any future confusion.

B. Proposal/Process

The applicant requests special land use and site plan approval for a 793-square foot building expansion, 5 new parking spaces at the rear of the building and outdoor sales and display for the existing Speedway gas station. The project also includes new landscaping and light fixtures.

Gasoline service stations and accessory outdoor display, sales and storage are allowed with special use approval in the RCD. The project does not include an expansion of the fueling area; as such the only item requiring special land use approval is the proposal to add outdoor display, sales and storage – chests for bagged ice, cages for propane tank exchange and seasonal items (bottled water and windshield wash fluid).

Based upon information supplied with the revised submittal, the outdoor display, sales and storage items are already in place. While “after the fact” approvals can complicate the review process, the Commission should focus on the Ordinance standards and whether or not the project is compliant or can be compliant.



Aerial view of site and surroundings (looking north)

C. Special Use Review

Section 19.03 of the Township Zoning Ordinance identifies the general review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Master Plan and Future Land Use Map identify the site and surrounding properties fronting Grand River as Regional Commercial. Other planned uses include public/quasi public and industrial to the south.

The Regional Commercial classification includes “higher intensity commercial uses that serve the comparison needs of the entire community and the regional market.” Automobile service establishments are specifically listed as uses that rely “on higher traffic volumes and easy access via a major arterial or highway.” In our opinion, the established use and proposed project are consistent with the stated intent of this classification.

2. **Compatibility.** Consistent with the Master Plan and current zoning, the properties along Grand River in this area of the Township are developed with more intensive commercial uses, such as fast food restaurants, big box retail chains, a minor automobile service establishment and an indoor recreation center. Given the nature of established land uses, we do not expect the proposed project to be incompatible with the existing or planned character of the area.
3. **Public Facilities and Services.** As a developed site along Grand River, the property currently has access to public utilities and infrastructure. Given the nature of the proposed activities, the project is not expected to impact public facilities and services. With that being said, the Commission should consider any comments provided by the Township Engineer or Fire Department, as they are the authorities on such matters.

4. **Impacts.** As a developed site, the proposed project is not expected to impact the natural environment; however, the stormwater management plan and report submitted are subject to review and comment by the Township Engineer.
5. **Mitigation.** If any additional concerns arise as part of the review process, the Township may require mitigation necessary to limit or alleviate any potential adverse impacts as a result of the proposed activities.

D. Specific Use Requirements

Section 7.02.02(d) provides specific requirements for commercial outdoor display, sales and storage. The revised submittal notes that the display items are placed at the far ends of the sidewalk along the front of the building. The project generally complies with the specific requirements; however, given the placement along the front of the building, the screening requirements are not met. In the cover letter (dated 5/1/12) the applicant requests a waiver from the requirements for a Buffer Zone B in the front yard.

In this instance, the applicant’s ability to comply with screening standards in the front yard is limited given the fact that the site is already developed. The Planning Commission generally has some discretion over landscaping and screening requirements and may modify/waive the requirement based upon the standards in Section 12.02.13.

E. Site Plan Review

1. **Dimensional Requirements.** As shown in the table below, the existing site and proposed project generally comply with the dimensional standards of the RCD. The only items not met are established conditions (lot area and side yard parking setback) that are not impacted by the proposal.

District	Lot Size		Minimum Setbacks (feet)				Max. Height (feet)	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
RCD	2	200	70	20	50	20 front 10 side/rear	45	35% building 75% impervious
Proposed	1.64	273	145	33 (W) 66 (E)	341	25 front 11.5 side (E) 3.5 side (W) 300 rear	13.7	15.8% building 50.9% impervious

2. **Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The proposed addition is constructed entirely of CMU block, which matches the existing building. Section 12.01.08 allows the Planning Commission to permit building expansions where the design and materials match the existing building.

It should be noted that additional building modifications are also proposed, including removal of the decorative band around the building, removal of windows and a door on the west side elevation and painting of the entire building.

Lastly, the building includes a number of roof-mounted mechanical units. The roof plan detail notes the removal of a parapet wall, but does not identify any new screening. In a letter dated May 1, 2012, the applicant states that screening will be provided. We recommend the Commission include this item as a condition of approval (if granted).

3. **Parking and Vehicular Circulation.** The parking standard for gas stations is based upon the number of service bays and employees, in addition to the size of the convenience store. If each fuel pump island is considered a service bay, the project requires 17 parking spaces. The project provides a total of 19 dedicated parking spaces, not including space at each pump island. All spaces and drive aisles comply with current Township requirements.
4. **Loading.** Given the size of the building, Section 14.08.08 requires 1 loading space, which is to be located in a rear or side yard not directly visible to a public street. The revised plan identifies the required space at the rear of the building. Since this placement could disrupt circulation around the rear of the building, the applicant notes that the 5 parking spaces at the rear of the building will be for employee use only. Given this situation, the proposed loading space will not disrupt the general traffic flow of the site.
5. **Landscaping.** The following table is a summary of the landscaping required by Section 12.02:

Location	Requirements	Proposed	Comments
Front yard greenbelt	7 canopy trees 20-foot width	7 ornamental trees 25-foot width	Applicant requests use of ornamental in lieu of canopy trees to avoid conflicts with overhead power lines
Buffer zone "C" (E)	27 canopy trees OR 27 evergreens OR 108 shrubs 10-foot width	8 canopy trees 5 evergreens 56 shrubs 10-foot width	Requirement met
Buffer zone "C" (W)	29 canopy trees OR 29 evergreens OR 116 shrubs 10-foot width	15 evergreens 3 ornamental trees 51 shrubs 10-foot width (except along waste receptacle access)	Applicant request use of ornamental in lieu of canopy trees to avoid conflicts with overhead power lines
Detention pond	9 canopy OR evergreen trees 86 shrubs	9 canopy trees 90 shrubs	Requirement met
Parking lot	2 canopy trees 190 s.f. of landscaped area	3 canopy trees 295 s.f. of landscaped area	Requirement met

In accordance with the applicant's request, Section 12.02.13 allows the Commission to modify landscaping requirements based on the "presence of utility easement and adjacent utility corridors."

6. **Waste Receptacle and Enclosure.** The submittal identifies an existing waste receptacle and enclosure along the west side lot line at the rear of the building. Aside from its placement within the required side yard, the enclosure appears to meet current requirements.
7. **Pedestrian Circulation.** Section 12.05 requires an 8-foot wide bike path along Grand River Avenue west of the I-96 exit 141 interchange. The site plan identifies the required bike path, although a small portion of its width is reduced to 6 feet between the existing curbing and ground sign.
8. **Exterior Lighting.** The site plan identifies 3 new light poles towards the rear of the building and 1 new wall mounted fixture on the west side of the building. Section 12.03 requires the use of shielded, cutoff and downward directed metal halide fixtures. The fixture details comply with requirements, except that they are LED instead of metal halide.

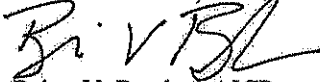
LED fixtures are a more current technology and their use is becoming more prevalent. In this instance, we recommend the Township allow the use of LED. Lastly, the revised photometric plan complies with the maximum light intensity, as well as that allowed at a non-residential property line (west lot line).

9. **Signs.** The site plan identifies an existing ground sign in the front yard of the property. The submittal does not indicate any changes to existing signage, aside from new landscaping around the base of the ground sign.
10. **Impact Assessment.** As required, the submittal includes an Impact Assessment (dated 4/9/12). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.
11. **Additional Considerations.** Sheet STD-QS-1 includes a detail for a kerosene dispenser; however, it is not shown on the site plan or mentioned anywhere in the submittal. As such, this item was likely included by mistake. Provided this is the case, we request that it be removed from the submittal to avoid any future confusion.

Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP

Senior Planner



TETRA TECH

May 9, 2012

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Speedway – Alterations & Improvements
Site Plan and Special Land Use Permit Application Review #2**

Dear Ms. Van Marter:

We have reviewed the site plan documents and the letter from Richard L. Bowen & Associates dated May 1, 2012. Tetra Tech has reviewed the documents and site plan and offers the following comments.

GENERAL

1. MDOT ROW permits as of January 1st 2011 are applied for and obtained online. The owner of the project, or authorized agent is required to set up an account in order to apply for the permit. The MDOT reviewer will indicate any specific traffic control and/or warning devices and will require these specific details to be located in the plan set. Traffic control devices may be required even if work activities are not explicitly taking place in the roadway. Failure to establish the permit account early enough may result in a delayed permit.

SITE PLAN

1. Sheet C3.0 – The plans indicate utilizing inlet protection, geotextile and stone. This will work well for the inlet found in the parkway area, however, inlet protection fabric drops may be more appropriate for the inlets located within paved areas.
2. Sheet C3.0 – The applicant currently doesn't show any proposed soil erosion measures at the end of the 12" culvert, I.E. = 1004.30. Grading activities will occur very close to this end section and an appropriate soil erosion control measure should be installed, depending on whether this is an inlet or an outlet. Applicant should confirm the direction of flow for this structure and add temporary silt fence for an inlet, or permanent riprap or filter berm for an outlet.

We are satisfied with the responses provided to the previous review letter and recommend approval of the site plan. The comments above are supplemental to the prior letter and it is recommended they are applied to simplify the permitting process.

Tetra Tech

123 Brighton Lake Road, Suite 203, Brighton, MI 48116
Tel 810.220.2112 Fax 810.220.0094 www.tetrattech.com

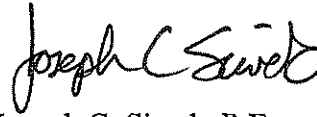
Ms. Kelly Van Marter
Genoa Township
Speedway SPR #2
May 9, 2012
Page 2

Please call if you have any questions.

Sincerely,



Gary J. Markstrom, P.E.
Unit Vice President



Joseph C. Siwek, P.E.
Project Engineer

Copy: David G. Bradt P.E., Richard L. Bowen & Associates, Inc.



Brighton Area Fire Department

615 W. Grand River

Brighton, Michigan 48116

810-229-6640 Fax: 810-229-1619

May 8, 2012

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Speedway
3598 E. Grand River Ave.
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The revised plans were received for review on May 4, 2012 and the drawings are dated May 1, 2012. The project is based on an existing 2,240 square foot building modified to 3,033 square feet (mercantile / gas station). The plan review is based on the requirements of the International Fire Code (IFC) 2009 edition.

1. Field verify the existing building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

IFC 505.1

2. Field verify the location of a key box (Knox Box) shall be indicated on future submittals. The Knox box will be located adjacent to the front door of the structure.

IFC 506.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "M. O'Brian".

Michael D. O'Brian
Fire Chief

IMPACT ASSESSMENT

FOR PROPOSED SPEEDWAY GAS STATION IMPROVEMENTS

3598 E. GRAND RIVER AVENUE
GENOA TOWNSHIP, MICHIGAN

PREPARED BY:

Richard L. Bowen + Associates, Inc.
13000 Shaker Boulevard
Cleveland, Ohio 44120
(216) 491-9300
Fax: (216) 491-8053

PREPARED FOR:

Speedway LLC
500 Speedway Drive
Enon, OH 45323
(937) 864-3000

May 25, 2012

IMPACT ASSESSMENT

INTRODUCTION

This report is being prepared as required by and in conformance with Article 18 of the Genoa Township Zoning Ordinance. The format of this report conforms to Section 18.07 of the same article. The proposed site improvement project consists of a building addition and parking expansion at the rear of the existing building and installation of a sidewalk along the front of the property.

A. PREPARER

Richard L. Bowen + Associates, Inc.
13000 Shaker Boulevard
Cleveland, Ohio 44120
(216) 491-9300

Richard L. Bowen + Associates is an architecture and engineering firm hired by Speedway LLC to perform architectural, engineering and permitting services for the proposed improvements. This assessment was prepared by a registered professional engineer on staff.

B. LOCATION

The site is located at 3598 East Grand River Avenue in Genoa Township, Livingston County, Michigan. The property is also designated as Parcel Number 4711-05-400-022. The site is currently the location of a Speedway Gas Station. There is a 2240 s.f. building, 8280 s.f. canopy over the fueling area, a 100 s.f. dumpster enclosure, a 120 s.f. storage shed, concrete pavement and curbing for drives, parking, etc., fuel dispensers, a stormwater detention basin, miscellaneous utilities and signage related to the operation of the business. Non-impervious areas, with the exception of the detention basin are covered with grass and miscellaneous trees, shrubs and other plantings.

The property is triangular in shape. The properties to the southeast and to the west are zoned retail commercial district, and are developed as such. The two properties to the south, with only the property corner in common, are zoned Office Service District. One parcel is undeveloped while the other has a water tower.

C. IMPACT ON NATURAL FEATURES

The site is relatively flat with predominately Miami Loam (2%-6%) soils. Depth to groundwater or impermeable soil layers is unknown. There are no wetlands, lakes, streams, creeks, or natural ponds on site. There is a detention basin on site at the rear of the property to which all stormwater from impervious surfaces flows and which discharges to a local storm sewer system at the rear of the property. There is an unused water well on site which will be plugged per applicable regulations. The quality of surface and ground water is unknown.

D. IMPACT ON STORMWATER MANAGEMENT

Existing stormwater from all impervious surfaces is conveyed to the detention basin at the rear of the property. Grassed areas in the rear flow either directly to the detention basin or sheet flow off site. Grassed areas in front eventually drain to the roadway drainage system. The proposed areas of development currently flow to the existing detention basin. The basin will be enlarged and the outlet structure replaced as necessary to meet current regulations, including flattening the side slopes to 4:1 minimum and removing the existing fence.

E. IMPACT ON SURROUNDING LAND USES

The proposed improvements are not expected to have a negative impact on surrounding land uses. The neighbor to the west is also making improvements to his lot, including installation of a front sidewalk. Design coordination on the front sidewalks will be necessary. Contractor will be directed to control fugitive dust emissions during construction.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The proposed improvements are expected to provide a minor increase in the number of patrons, but have negligible impact on public schools, recreation facilities, police protection, fire protection and emergency services.

G. IMPACT ON PUBLIC UTILITIES

The facility is currently served by public water and sanitary sewer facilities. The proposed improvements may result in a minor increase in water consumption. The building addition will be in a currently paved area so there will be no increase in impervious area. The parking addition is in an existing grass area but will be drained to the existing detention basin. Due to new stormwater management regulations since original construction of the basin and subsequent redesign of the outlet structure, the rate of outflow is expected decrease after completion of improvements. Runoff from the proposed sidewalk, which will be a minor increase, will be directly to the roadway drainage system. Typical erosion and sediment controls such as silt fencing and inlet protection, or others as required by the Township, will be employed during construction to control runoff. The building is also currently served by underground gas, electric, and telephone utilities. Changes to where these utilities enter the building may be necessary. The facility has a dumpster enclosure on site with the dumpster emptied regularly by a private waste disposal company.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

Gasoline and diesel fuels are stored in underground storage tanks which, along with piping and dispensers, are subject to the requirements of the State of Michigan Department of Environmental Quality. No changes to the current fuel facilities or operations will take place with the proposed improvements; therefore a Pollution Incident Prevention Plan was not requested by Township officials. The facility may have commercial type cleaners stored in the building from time to time but not in large quantities. The shed in the rear is used primarily for the storage of returned bottles and cans until pickup. It also contains old business files, maintenance tools, pavement deicer, unused product display items, and etc.

I. TRAFFIC IMPACT STUDY

The proposed improvements are expected to result in only minor increases in the number of patrons, therefore a traffic impact study was not requested by Township officials.

J. HISTORIC AND CULTURAL RESOURCES

The existing facility was constructed in 1993; therefore this section is not applicable.

K. SPECIAL PROVISIONS

There are no special provisions such as deed restrictions, protective covenants, master deed or association bylaws connected with this site.

L. SOURCES

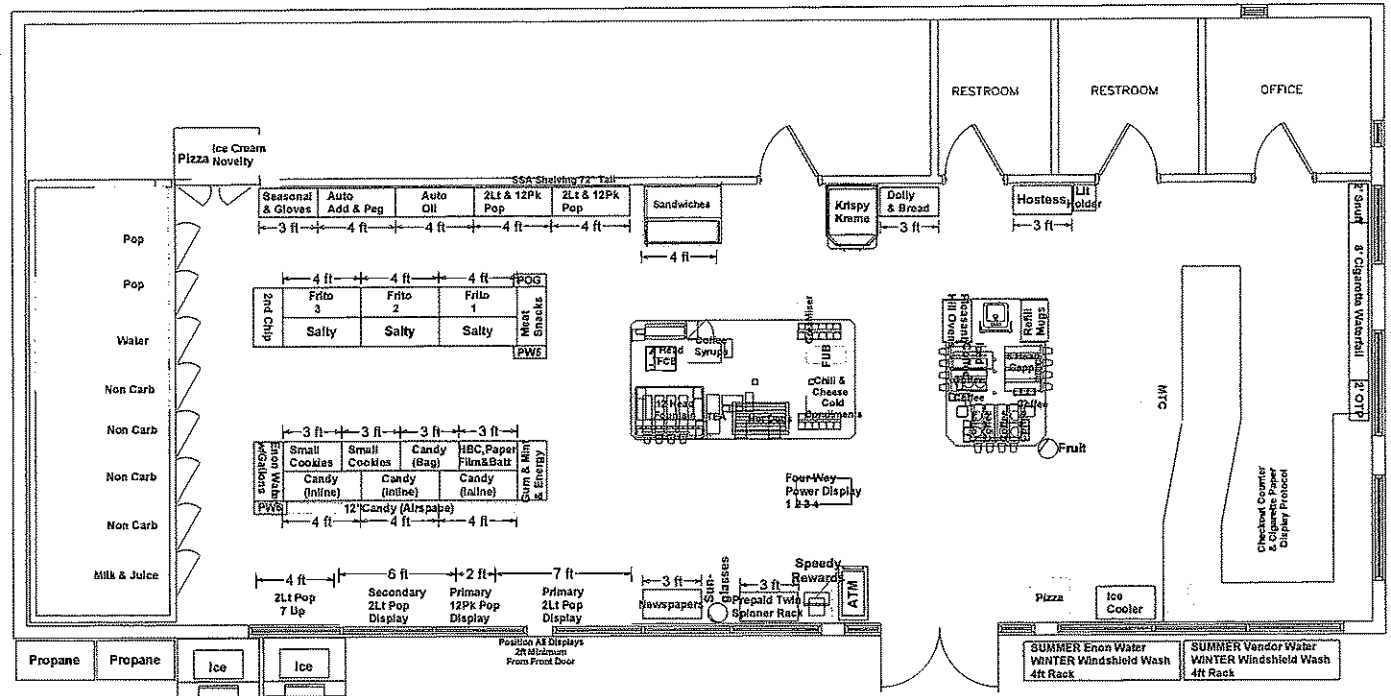
1. Genoa Township officials
2. Speedway LLC officials
3. Location survey by Williams & Works
4. USDA NRCS Soil Survey website

M. ATTACHMENTS

1. Williams & Works survey
2. Proposed Plot Plan
3. Soil Survey Map
4. Aerial Photo

**GENOA TOWNSHIP
MAY 29 2012**

EXHIBIT OUTDOOR DISPLAY SALES



Building Type: Medium Non Standard V3

SSA Store # 8770

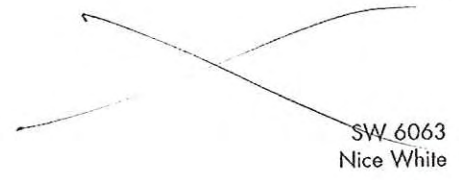
Howell, Mi

ProFloor 1/19/2012

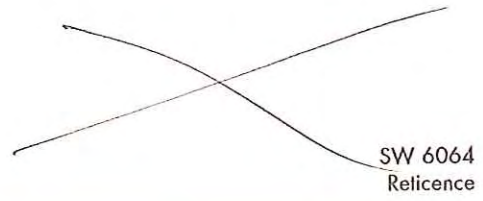
Last Modified: 1/20/2012



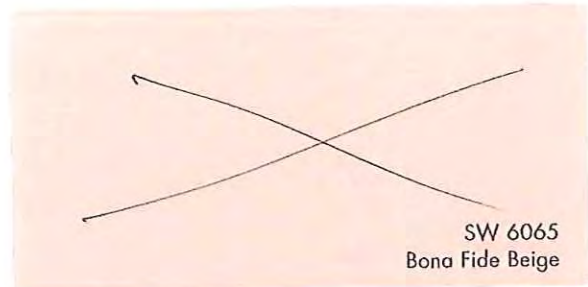
SIMILAR STORE, SAME COLOR



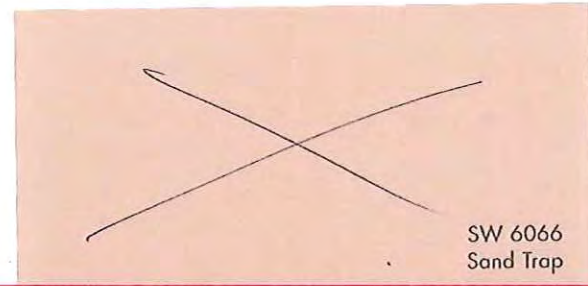
SW 6063
Nice White



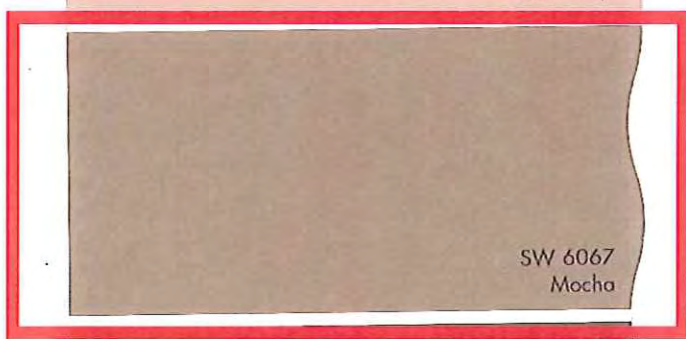
SW 6064
Relicence



SW 6065
Bona Fide Beige



SW 6066
Sand Trap



SW 6067
Mocha



SW 6068
Brevity Brown



SW 6069
French Roast

3598 E. GRAND RIVER AVE.

HOWELL, MICHIGAN

INTERIOR ALTERATIONS AND SITE IMPROVEMENTS

NOTICE
THIS ARCHITECTURAL AND
ENGINEERING DRAWING IS GIVEN
IN CONFIDENCE. NO USE OR
DISSEMINATION MAY BE MADE
WITHOUT PRIOR WRITTEN
CONSENT OF THE ARCHITECT. ALL
RIGHTS ARE HEREBY
SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC.
COPYRIGHT YEAR 2012

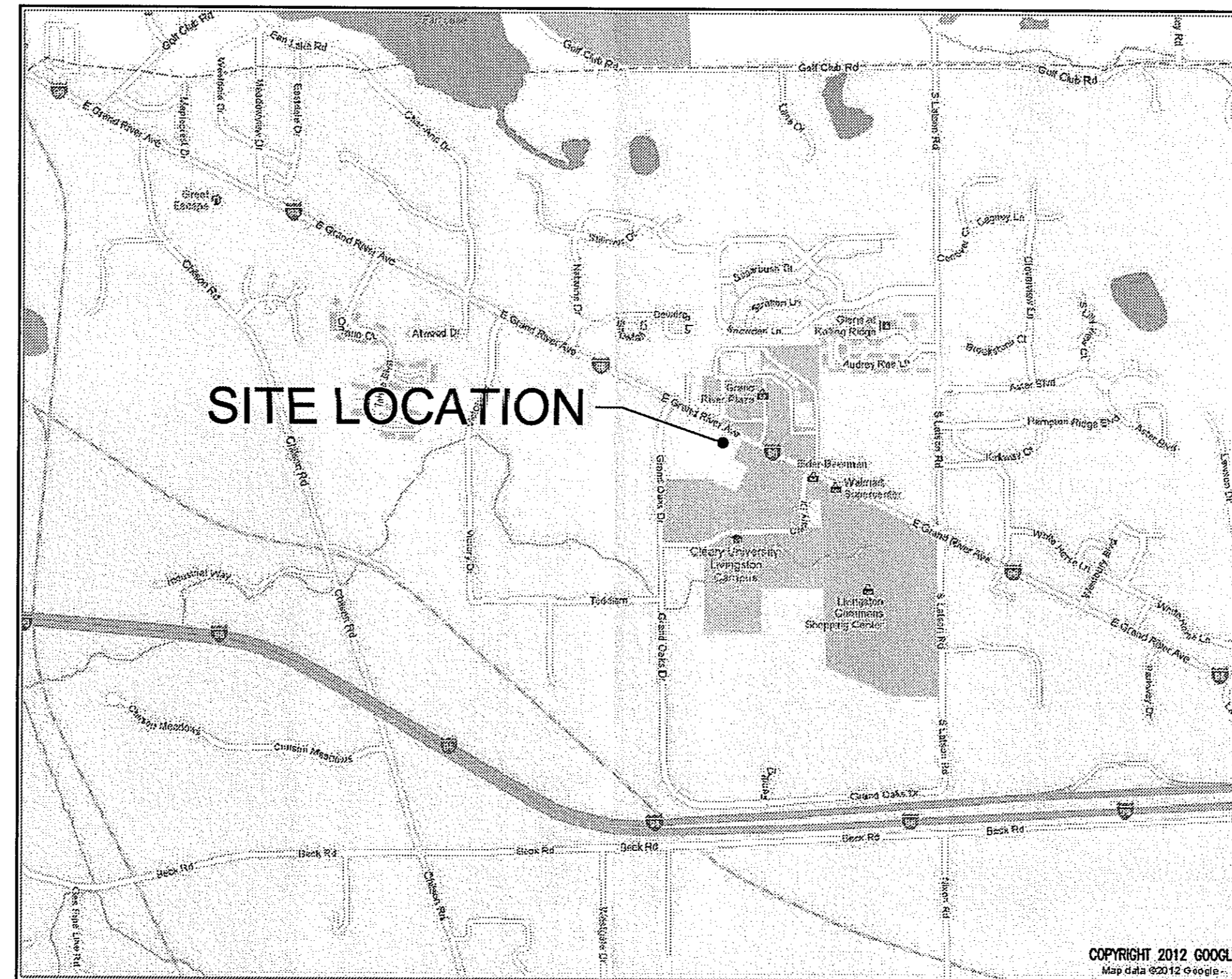
Speedway.
STORE # 8770 BUILDING
3598 E. GRAND RIVER AVE.
COUNTY: LIVINGSTON

ALTERATIONS & IMPROVEMENTS FOR:
Speedway
3598 E. GRAND RIVER AVE.
HOWELL, MICHIGAN 48843
TITLE SHEET

RLBA No: 7664.31 DATE
DRAWN BY: DMV 05.25.12
CHECK BY: RTV
DRWG. NO.: CV

SYMBOLS AND MATERIALS

	SECTION CUT INDICATOR		UNDISTURBED EARTH OR UNDISTURBED SUBGRADE		CONTINUOUS WOOD FRAMING
	MATCH LINE INDICATOR		COMPACTED EARTH OR COMPACTED SUBGRADE		WOOD BLOCKING
	DETAIL INDICATOR		POUROUS FILL OR SUBBASE		PLYWOOD
	INTERIOR ELEVATION INDICATOR		CAST-IN-PLACE CONCRETE		PARTICLE/FIBER BOARD
	ROOM NUMBER SEE ROOM FINISH SCHEDULE		PRECAST CONCRETE		FINISHED WOOD
	DOOR NUMBER SEE DOOR SCHEDULE		GROUT		BATT INSULATION
	WALL/PARTITION TYPE		CONCRETE MASONRY UNITS		RIGID INSULATION
	WALL/PARTITION		GLAZED FACE CONCRETE MASONRY UNITS		LATH AND PLASTER
	KEYNOTE		BRICK		GYPSUM BOARD
	WINDOW TYPE		GLAZED BRICK		CERAMIC TILE
	SIGNAGE TYPE		GLASS UNIT MASONRY		TERRAZZO
	CEILING HEIGHT		STEEL		ACOUSTICAL CEILING
			ALUMINUM		CARPET
			ORNAMENTAL METAL		



CODE DATA

THE BUILDING DESIGN SHALL COMPLY WITH THE FOLLOWING CODES:
MICHIGAN BUILDING CODE, LATEST EDITION
ADA - AMERICANS WITH DISABILITIES ACT
NEC - NATIONAL ELECTRIC CODE
INTERNATIONAL PLUMBING CODE
INTERNATIONAL MECHANICAL CODE

TYPE OF PROJECT EXTERIOR ADDITION 793.3 SQ. FT. AND INTERIOR ALTERATIONS & IMPROVEMENTS
USE AND OCCUPANCY CLASSIFICATION - CHAPTER 3
USE GROUP M SECTION 309
GENERAL BUILDING HEIGHTS AND AREAS CHAPTER 5
TABLE 503: 1 STORY (40'), 9,000 S.F. ALLOWED. 3,033 S.F. PROPOSED
TYPES OF CONSTRUCTION CHAPTER 6
SECTION 602.5 VB

ABBREVIATIONS

&	AND	E.J.	EXPANSION JOINT	JAN	JANITOR	REQ	REQUIRED
L	ANGLE	EL	ELEVATION	JB	JUNCTION BOX	REP	REPRESENTATIVE
o	AT	ELEC	ELECTRICAL	JT	JOINT	RFG	RECESSED FOOT GRILLE
x	BY	ELEV	ELEVATION	LAM	LAMINATED	RM	ROOM
#	NUMBER	ENCL	ENCLOSED (SURE)	LAV	LAVATORY	R/W	RIGHT-OF-WAY
A/C	AIR CONDITION(ER) (ING)	EQU	EQUIPMENT	LF	LINEAR FEET	RWC	RAIN WATER CONDUCTOR
AB	ANCHOR BOLT	ETC	ET CETERA	LN	LINOLEUM	S/H	SEALER/HARDENER
AC	ACOUSTICAL	EW	EACH WAY	LLH	LONG LEG HORIZONTAL	SC	SOLID CORE
ACT	ACOUSTICAL CEILING TILE	EW	ELECTRIC WATER COOLER	LLV	LONG LEG VERTICAL	SF	SQUARE FOOT
ADJ	ADJUSTABLE	EXT	EXISTING	M	MANT	SFCMU	SPLIT FACE CONCRETE MASONRY UNITS
ALT	ABOVE FINISHED FLOOR	EXT	EXTERIOR	M	MIRROR	SGB	STRUCTURAL GLAZED BLOCK
AL	ALTERNATE	FD	FLOOR DRAIN	M	MAINTENANCE	SM	SIMILAR
ALUM	ALUMINUM	FE	FIRE EXTINGUISHER	MATL	MATERIAL	SK	SINK
APPROX	APPROXIMATELY	FH	FIRE EXTINGUISHER CABINET	MAX	MAXIMUM	SOG	SLAB ON GRADE SPECIFICATIONS
ARCH	ARCHITECTURAL	FHC	FIRE HOSE CABINET	MCH	MECHANICAL	SP	SQUARE
BLDG	BUILDING	FIN	FINISH	MFR	MANUFACTURER	SRGB	SAC-RESISTANT GYPSUM BOARD
BLKG	BLOCKING	FL	FLOOR	MH	MANHOLE	SS	STAINLESS STEEL
BM	BEAM	FLD	FOLDING DOOR	MN	MINIMUM	STC	SOUND TRANSMISSION CLASS STANDARD
BR	BRICK	FM	FACTORY MUTUAL	MO	MASONRY OPENING	STD	STEEL
BRG	BEARING	FR	FIRE RATED	MOULD	MOULDING	STL	STORAGE
BTM	BOTTOM	FRW	FIRE RETARDANT TREATED WOOD	MTD	MOUNTED	STOR	STRUCTURAL SUPPLEMENTARY
BUR	BUILT UP ROOFING	FSS	FOLDING SHOWER SEAT	NIC	NOT IN CONTRACT	SUPPL	SUSPENDED
C/C	CENTER TO CENTER	FT	FOOT	NO.	NUMBER	SUSP	SHEET VINYL
CJ	CONSTRUCTION JOINT	FTG	FOOTING	NOM	NOMINAL	SV	SOLID VINYL TILE
C/L	CENTER LINE	FTG	FOOTING	NTS	NOT TO SCALE	SVF	
CAR	CARPET (ROLL GOODS/BROADLOOM)	GA	GAUGE	OC	ON CENTER	TEMP	TEMPERED
CEB	CEMENTITIOUS BACKER BOARD	GAUZ	GALVANIZED	OD	OUTSIDE DIAMETER	T/BM	TOP OF BEAM
CC	CUBICLE CURTAIN TRACK	GB	GRAB BAR	OPNG	OPENING	T&G	TONGUE AND GROOVE
CLG	CEILING	GC	GENERAL CONTRACTOR	OPN	OPPOSITE	THR	THRESHOLD
CLO	CLOSET	GC	GROUND FACE CONCRETE	OPR	OPPOSITE	TOP	TOP OF JOIST
CMU	CONCRETE MASONRY UNIT	GFCMU	GROUND FACE CONCRETE MASONRY UNITS	ORD	OVERFLOW ROOF DRAIN	TKBD	TACK BOARD
COL	COLUMN	GL	GLASS	PARTN	PARTITION	TOM	TOP OF MASONRY
CONC	CONCRETE	GLB	GLASS BLOCK	PERIM	PERIMETER	TOS	TOP OF SLAB
CONF	CONFERENCE	GLCMU	GLAZED FACE CONCRETE MASONRY UNITS	PL	PLATE	T/ST	TOP OF STEEL
CONST	CONSTRUCTION	GPLS	GYPSUM PLASTER	P/L	PROPERTY LINE	TD	TOILET TISSUE DISPENSER TYPICAL
CONT	CONTINUOUS	GWB	GYPSUM WALL BOARD	PLM	PLASTIC LAMINATE	UNO	UNLESS NOTED OTHERWISE
CONTR	CONTRACTOR	H	HIGH	PLB	PLUMBING	V	VINYL
CORR	CORRIDOR	HC	HANDICAPPED	PLS	PLASTER	VCT	VINYL COMPOSITION TILE
CPT	CARPET TILE	HD	HAND DRYER	PNL	PANEL	VERT	VERTICAL
CRS	COURSE	HW	HARDWARE	PTD	PAINTED (PAINTED FINISH)	VEST	VESTIBULE
CT	CERAMIC TILE	HW	HARDWOOD	PR	PAIR	W/	WITH
DBL	DOUBLE	HWD	HOLLOW METAL	PROJ	PROJECT	WC	WATER CLOSET
DEM	DEMISING	HR	HORIZONTAL(LY)	PT	PRESSURE TREATED	WD	WOOD
DF	DRINKING FOUNTAIN	PLWD	PLYWOOD	PLYWD	PLYWOOD	W/O	WITHOUT
DIAM	DIAMETER	RAD	RADIUS	RD	ROOF DRAIN	WR	WASTE RECEPTACLE
DN	DOWN	REAR	REINFORCING BAR	REIN	REINFORCEMENT	WTF	WOOD - PRESERVATIVE TREATED
DS	DOWN SPOUT	RECT	RECTANGULAR	REIN	REINFORCEMENT	WVF	WELDED WIRE FABRIC
DP	DEEP	REIN	REINFORCEMENT				
DR	DOOR						
DET	DETAIL						
DWG	DRAWING						
EA	EACH						
EF	EACH FACE						

NOTES:
1. FOR ADDITIONAL REFERENCE THE CONSTRUCTION INDUSTRY STANDARDS - C.S.I DOCUMENT TD - 2-4 ABBREVIATIONS.
2. THIS LEGEND DOES NOT ASSUME THAT ALL ABBREVIATIONS ARE USED.

INDEX TO DRAWINGS

COMMON	CIVIL	ARCHITECTURAL	STRUCTURAL	PLUMBING	MECHANICAL	ELECTRICAL
CV	TITLE SHEET: SYMBOLS & MATERIALS, ABBREVIATIONS, INDEX, CODE DATA, & CONSULTANTS	D-1 DEMO FLOOR PLAN, DEMO CEILING PLAN, & DEMO NOTES A-1 FLOOR PLAN, FLOOR PLAN NOTES, INTERIOR WALL TYPES A-2 REFLECTED CEILING PLAN, CEILING NOTES, BULKHEAD DETAILS A-3 FINISH PLAN, ROOM FINISH SCHEDULES, ROOM FINISH NOTES A-4 DOOR SCHEDULE, DOOR DETAILS, DOOR NOTES, MISC. DETAILS A-5 BUILDING ELEVATIONS & ROOF PLAN A-6 WALL SECTIONS & DETAILS EQ-1 EQUIPMENT PLAN, EQUIPMENT SCHEDULE, GRAPHICS SCHEDULE	S-1 GENERAL NOTES S-2 FOUNDATION PLAN S-3 ROOF FRAMING PLAN	P1.0 DOMESTIC WATER PLAN P2.0 SANITARY SYSTEM PLAN	M1.0 HVAC PLAN	E-1 POWER PLAN E-2 LIGHTING PLAN E-3 COMMUNICATIONS PLAN, COMMUNICATIONS NOTES, SECURITY PLAN E-4 SITE LIGHTING PLAN E-5 PANEL SCHEDULES, ELECTRICAL SCHEDULES

SPEEDWAY STANDARD DETAILS

DRAWING SHEET	DRAWING TITLE	LATEST DATE
	CIVIL SUPPORT	
STD-CP-1	PAVEMENT & CURBING DETAILS	07/11/2006
STD-QS-1	YARD EQUIPMENT INSTALLATION	12/16/2010
STD-PS-2	DRAINAGE & UTILITY DETAILS	11/14/2006
STD-QS-1	YARD EQUIPMENT INSTALLATION	05/06/2011
	PLUMBING SUPPORT	
STD-PG-1	PLUMBING DETAILS	11/19/2007
	MECHANICAL SUPPORT	
STD-MG-1	MECHANICAL DETAILS	12/11/2007
	ELECTRICAL SUPPORT	
STD-PQ-8	VEEDER-ROOT TLS-450 ELECTRONIC LEAK DETECTION AND AUTOMATIC TANK GAUGE INSTALLATION	04/05/2010
STD-TN-1	VEEDER-ROOT TLS-450 ELECTRONIC LEAK DETECTION AND	07/01/2010
STD-TN-2	VEEDER-ROOT TLS-450 ELECTRONIC LEAK DETECTION AND	07/01/2010

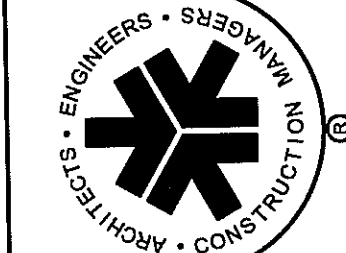
CONSULTANTS

CIVIL
RICHARD L. BOWEN + ASSOCIATES INC.
13000 SHAKER BOULEVARD
CLEVELAND, OHIO 44120
216.491.9300 (PH)
216.491.8053 (FAX)

ARCHITECT
RICHARD L. BOWEN + ASSOCIATES INC.
13000 SHAKER BOULEVARD
CLEVELAND, OHIO 44120
216.491.9300 (PH)
216.491.8053 (FAX)

MECHANICAL ENGINEER
RICHARD L. BOWEN + ASSOCIATES INC.
13000 SHAKER BOULEVARD
CLEVELAND, OHIO 44120
216.491.9300 (PH)
216.491.8053 (FAX)

ELECTRICAL ENGINEER
RICHARD L. BOWEN + ASSOCIATES INC.
13000 SHAKER BOULEVARD
CLEVELAND, OHIO 44120
216.491.9300 (PH)
216.491.8053 (FAX)



RICHARD L. BOWEN + ASSOCIATES INC.
 13000 Shaker Boulevard / Cleveland, Ohio 44120
 Phone: (216) 491-9300 Fax: (216) 491-9053
 www.rlb.com email:rlb@rlb.com

NOTICE
 THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
 RICHARD L. BOWEN + ASSOCIATES INC. COPYRIGHT YEAR 2012

Speedway.
 STORE TYPE: 198X BUILDING
 32'-0" x 70'-4"
 COUNTY: DIVINGTON

REVISIONS
 NO. DESCRIPTION

ALTERATIONS & IMPROVEMENTS FOR:
Speedway.
 3598 E. GRAND RIVER AVE.
 HOWELL, MICHIGAN 48843
 EX. COND. & DEMOLITION PLAN
 RLBA NO: 7664.31 DATE
 DRAWN BY: MAH 05.25.12
 CHECK BY: DGB 05.25.12
 DRWG. NO. **C1.0**

DEMOLITION PLAN NOTES

1. SITE PREPARATION/DEMOLITION
2. REMOVE CONCRETE CURB AND GUTTER FOR PAVEMENT EXPANSION.
3. REMOVE CONCRETE CURB AND GUTTER FOR CURB RAMP.
4. REMOVE DAMAGED CONCRETE PAVEMENT. CONCRETE SHALL BE REMOVED TO NEAREST JOINT. VERIFY EXTENTS OF PAVEMENT REPLACEMENT WITH PROJECT MANAGER PRIOR TO START OF CONSTRUCTION.
5. REMOVE CONCRETE PAVEMENT AS NECESSARY FOR BUILDING ADDITION.
6. REMOVE EXISTING CHAIN LINK FENCE AROUND DETENTION BASIN.
7. REMOVE EXISTING OUTLET STRUCTURE.
8. REMOVE CONCRETE PAVEMENT FOR NEW SIDEWALK.
9. REMOVE TREE/BUSH.
10. REMOVE BOLLARDS.
11. SHED TO BE RELOCATED AS SHOWN.
12. REMOVE EXISTING UTILITIES AS NEEDED.

LEGEND

- - WELL
- - HIGHWAY
- - MONUMENT
- - MONUMENT BOX
- - RIGHT OF WAY MARKER
- - SET WOODSTAKE
- + CUT - X CUT
- PK - PK NAIL
- - FOUND IRON STAKE
- - SET IRON STAKE
- - SIGN
- RR - RR SIGN
- - CUY POLE
- - CUY ANCHOR
- - UTILITY POLE
- - LIGHT POLE
- - ORNAMENTAL LIGHT POLE
- - POST/BOLLARD
- - U.G. UTILITY MARKER
- MB - MAILBOX
- - SATELLITE DISH
- - HAND HOLE
- - HANDICAP PARKING
- - AIR
- - U.G. UTILITY MARKER
- - FIRE HYDRANT
- - CLEANOUT
- - WATER VALVE
- - GAS VALVE
- - GAS MONITOR WELL
- - VST FILL PORT
- - GAS PUMP
- - GAS METER
- - WATER METER
- - TELEPHONE RISER
- - ELECTRIC METER
- - ELECTRIC TRANSFORMER
- - CABLE TV RISER
- - CATCH BASIN
- - ROUND CATCH BASIN
- - STORM MANHOLE
- - SANITARY MANHOLE
- - ELECTRIC MANHOLE
- - TELEPHONE MANHOLE
- - WATER MANHOLE
- - SHRUB
- - TREE
- - PINE TREE

UTILITY CONTACTS

- GENOA TOWNSHIP SERVICE
 DIRECTOR-WATER
 GREG TATARA
 810.227.5225
- AT&T
 CONNIE COOPER
 54 N. HILL ST. BOX 35
 PONTIAC, MI 48342
 248.456.9751
 CC5464@ATT.COM
- CONSUMERS ENERGY
 MARTY DIBLASE
 ONE ENERGY PLAZA-EP6-458
 JACKSON, MI 49203
 517.374.2120
 MISSOIGRES@CONTECHTS@CONSUMERSENERGY.COM
- CONSUMERS ENERGY GAS DISTRIBUTION
 LANSING OPERATIONS CENTER
 LENORE LENTZ
 530 W. WILLOW
 LANSING, MI 48909
 734.513.6236
- COMCAST
 DARL WOOD
 29608 TELEGRAPH ROAD
 SOUTHFIELD, MI 48034
 248.809.2749
 DARL_WOOD@CABLE.COMCAST.COM
- DETROIT EDISON
 ONE ENERGY PLAZA-5168B
 DETROIT, MI 48226-1221
 313.225.6532
 DESIGN_MSSD@DETROITEDISON.COM
- LIVINGSTON COUNTY DRAIN COMMISSION
 KEN RECKER
 2300 E. GRAND RIVER
 HOWELL, MI 48843-7581
 517.552.8772
 KRECKER@CO.LIVINGSTON.MI.US
- WINSTREEM CORPORATION
 CONNIE MCCORMICK
 929 MARTHA'S WAY
 HAWAIIA, HI 92233
 808.289.1001
 CONNIE.MCCORMICK@MCLCDDUSA.COM
- CONSUMERS ENERGY GAS DISTRIBUTION
 LANSING OPERATIONS CENTER
 LENORE LENTZ
 530 W. WILLOW
 LANSING, MI 48909
 734.513.6236
- PANHANDLE EASTERN PIPELINE
 TIM WALTER
 3990 CROOKED LAKE ROAD
 HOWELL, MI 48843
 517.546.4770
 TIMOTHY.WALTER@SUG.COM
- MICHIGAN DEPT. OF TRANSPORTATION
 BRIGHTON TSC
 TRAVIS KILPILA
 10321 E. GRAND RIVER, SUITE 500
 BRIGHTON, MI 48116
 810.225.2620
 KILPILAT@MICHIGAN.GOV

ZONING INFORMATION

SITE	REGIONAL COMMERCIAL
EAST PROPERTY	REGIONAL COMMERCIAL
WEST PROPERTY	REGIONAL COMMERCIAL
NORTH PROPERTY	REGIONAL COMMERCIAL
SOUTH PROPERTIES	OFFICE SERVICE

	PROVIDED	REQUIRED
LOT AREA*	1.64 AC.	1 AC. MIN.
LOT WIDTH*	273'	250' MIN.
FRONT YARD*	145.3'	70' MIN.
SIDE YARD - EAST*	66.7'	20' MIN.
SIDE YARD - WEST*	33.5'	20' MIN.
REAR YARD*	341.3'	50' MIN.
PARKING LOT - FRONT*	25.7'	20' MIN.
PARKING LOT - EAST*	11.5'	
PARKING LOT - WEST*	3.5'	10' MIN.
PARKING LOT - REAR*	300.5'	
PUMP ISLANDS*	67.8'	20' MIN.
COVERAGE - BLDG. (INCL. CANOPY)	15.8%	35% MAX.
COVERAGE - IMPERVIOUS	50.9%	75% MAX.
BUILDING HEIGHT	1 STY., 13.7'	3 STY., 45'
PARKING STALLS	20	17

*EXISTING CONDITION - NO PROPOSED CHANGE

LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 5, T24-N-R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 5; THENCE ALONG THE EAST LINE OF SAID SECTION 5 AND THE CENTERLINE OF LATSON ROAD, N 01°58'49" E, 583.87 FEET; THENCE IN S 84°04'39" W, 1422.26 FEET; THENCE ALONG THE SOUTH LINE OF GRAND RIVER AVENUE (50 FEET 1/2 RIGHT-OF-WAY) FEET; THENCE ALONG THE SOUTH LINE OF SAID GRAND RIVER AVENUE, S 82°17'23" E, 273.13 FEET TO THE POINT OF BEGINNING; CONTAINING 1.64 ACRES, MORE OR LESS, AND SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EXISTING GRAND RIVER AVENUE (6L 1-96, ALSO SUBJECT TO ANY OTHER EASEMENTS OF RESTRICTION OR RECORD.)

THIS MAP WAS MADE FROM THE ABOVE LEGAL DESCRIPTION WHICH WAS GIVEN TO US AS A COMPLETE DESCRIPTION OF THE PROPERTY. BOTH MAP AND DESCRIPTION SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE POLICY FOR ANY EXCEPTIONS, EASEMENTS OR DIFFERENCES IN DESCRIPTION.

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM. CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.

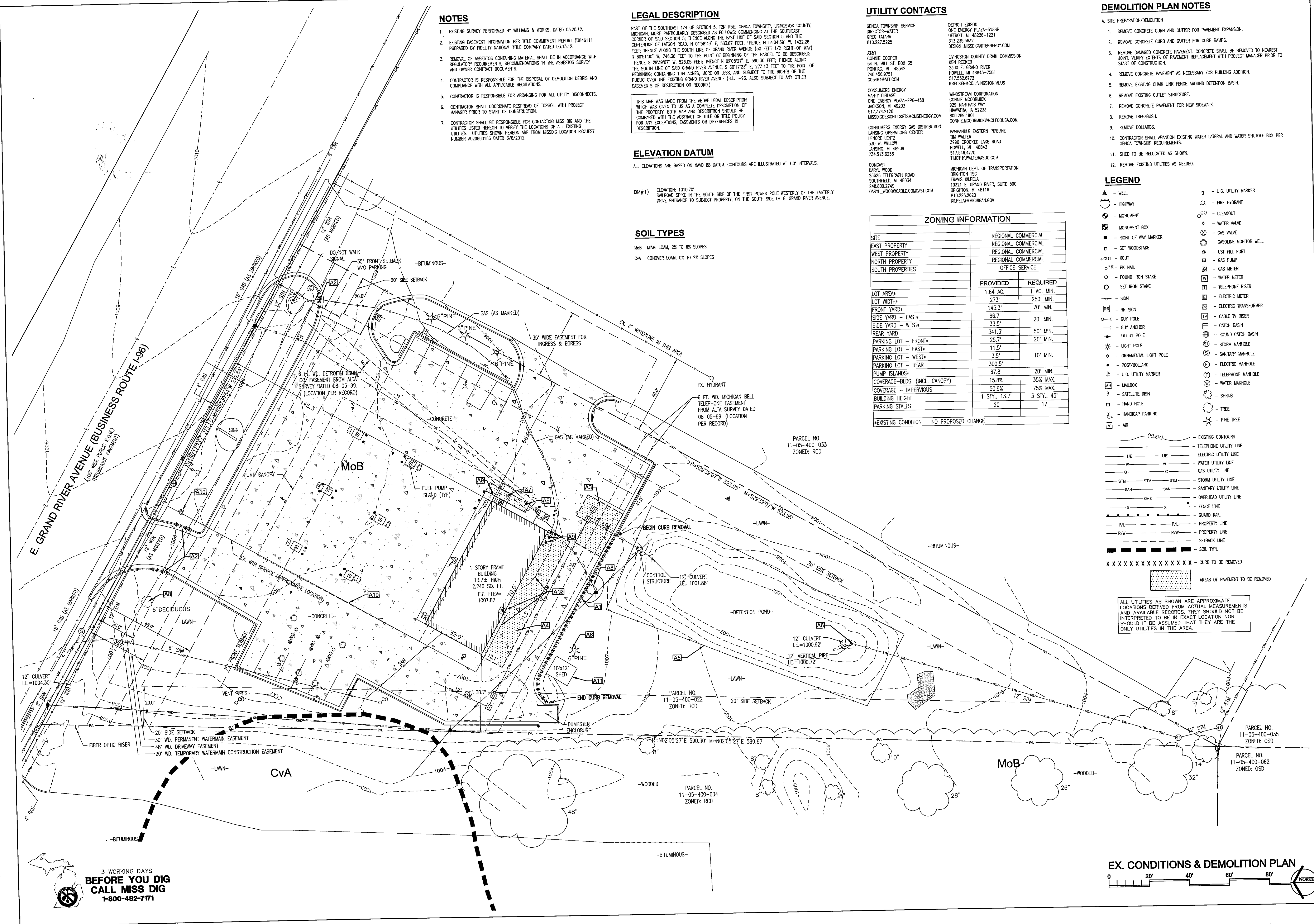
BM#1) ELEVATION: 1010.70'
 RAILROAD SPIKE IN THE SOUTH SIDE OF THE FIRST POWER POLE WESTERLY OF THE EASTERLY DRIVE ENTRANCE TO SUBJECT PROPERTY, ON THE SOUTH SIDE OF E. GRAND RIVER AVENUE.

SOIL TYPES

- MoB MAMI LOAM, 2% TO 6% SLOPES
- CvA CONOVER LOAM, 0% TO 2% SLOPES

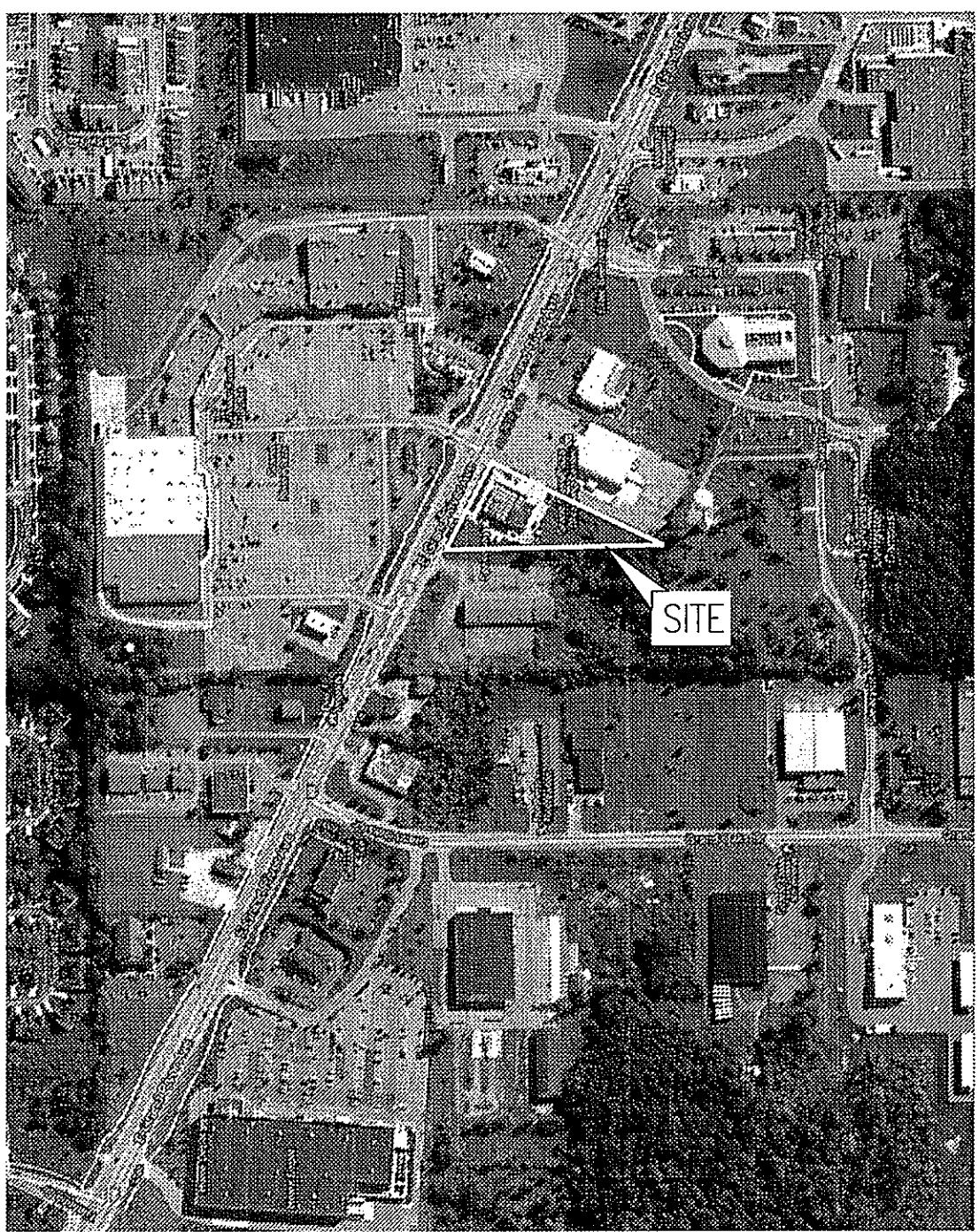
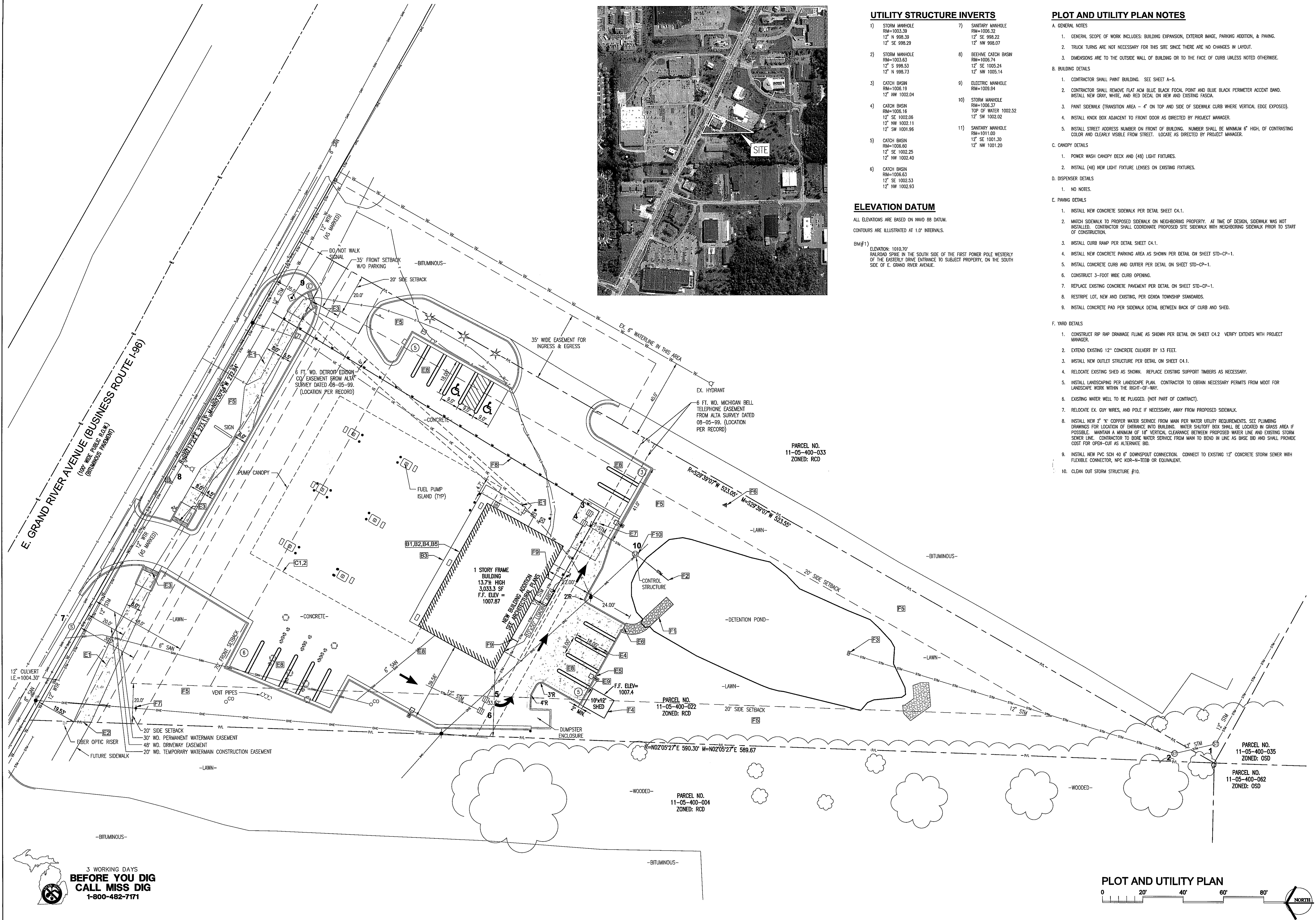
NOTES

1. EXISTING SURVEY PERFORMED BY WILLIAMS & WORKS, DATED 03.20.12.
2. EXISTING EASEMENT INFORMATION PER TITLE COMMITMENT REPORT #3846111 PREPARED BY FIDELITY NATIONAL TITLE COMPANY DATED 03.13.12.
3. REMOVAL OF ASBESTOS CONTAINING MATERIAL SHALL BE IN ACCORDANCE WITH REGULATORY REQUIREMENTS, RECOMMENDATIONS IN THE ASBESTOS SURVEY AND OWNER CONTRACT DOCUMENTS.
4. CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF DEMOLITION DEBRIS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL UTILITY DISCONNECTS.
6. CONTRACTOR SHALL COORDINATE RESPREAD OF TOPSOIL WITH PROJECT MANAGER PRIOR TO START OF CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIG AND THE UTILITIES LISTED HEREON TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. UTILITIES SHOWN HEREON ARE FROM MISSDG LOCATION REQUEST NUMBER A02060186 DATED 3/5/2012.



EX. CONDITIONS & DEMOLITION PLAN
 0 20' 40' 60' 80'
 NORTH

3 WORKING DAYS
**BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171**



UTILITY STRUCTURE INVERTS

- | | |
|--|---|
| 1) STORM MANHOLE
RM=1003.39
12" N 998.39
12" SE 998.29 | 7) SANITARY MANHOLE
RM=1006.32
12" SE 998.22
12" NW 998.07 |
| 2) STORM MANHOLE
RM=1003.63
12" S 998.53
12" NW 998.73 | 8) BEEHIVE CATCH BASIN
RM=1005.74
12" SE 1005.24
12" NW 1005.14 |
| 3) CATCH BASIN
RM=1006.19
12" NW 1002.04 | 9) ELECTRIC MANHOLE
RM=1009.94 |
| 4) CATCH BASIN
RM=1006.16
12" SE 1002.06
12" NW 1002.11
12" SW 1001.96 | 10) STORM MANHOLE
RM=1005.37
TOP OF WATER 1002.52
12" SW 1002.02 |
| 5) CATCH BASIN
RM=1006.60
12" SE 1002.25
12" NW 1002.40 | 11) SANITARY MANHOLE
RM=1011.00
12" SE 1001.30
12" NW 1001.20 |
| 6) CATCH BASIN
RM=1006.63
12" SE 1002.53
12" NW 1002.93 | |

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.
CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.
BM#1) ELEVATION: 1010.70'
RAILROAD SPIKE IN THE SOUTH SIDE OF THE FIRST POWER POLE WESTERLY OF THE EASTERLY DRIVE ENTRANCE TO SUBJECT PROPERTY, ON THE SOUTH SIDE OF E. GRAND RIVER AVENUE.

PLOT AND UTILITY PLAN NOTES

- A. GENERAL NOTES**
- GENERAL SCOPE OF WORK INCLUDES: BUILDING EXPANSION, EXTERIOR IMAGE, PARKING ADDITION, & PAVING.
 - TRUCK TURNS ARE NOT NECESSARY FOR THIS SITE SINCE THERE ARE NO CHANGES IN LAYOUT.
 - DIMENSIONS ARE TO THE OUTSIDE WALL OF BUILDING OR TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- B. BUILDING DETAILS**
- CONTRACTOR SHALL PAINT BUILDING. SEE SHEET A-5.
 - CONTRACTOR SHALL REMOVE FLAT ACN BLUE BLACK FOCAL POINT AND BLUE BLACK PERIMETER ACCENT BAND. INSTALL NEW GRAY, WHITE, AND RED DECAL ON NEW AND EXISTING FASCIA.
 - PAINT SIDEWALK (TRANSITION AREA - 4" ON TOP AND SIDE OF SIDEWALK CURB WHERE VERTICAL EDGE EXPOSED).
 - INSTALL KNOX BOX ADJACENT TO FRONT DOOR AS DIRECTED BY PROJECT MANAGER.
 - INSTALL STREET ADDRESS NUMBER ON FRONT OF BUILDING. NUMBER SHALL BE MINIMUM 6" HIGH, OF CONTRASTING COLOR AND CLEARLY VISIBLE FROM STREET. LOCATE AS DIRECTED BY PROJECT MANAGER.
- C. CANOPY DETAILS**
- POWER WASH CANOPY DECK AND (48) LIGHT FIXTURES.
 - INSTALL (48) NEW LIGHT FIXTURE LENSES ON EXISTING FIXTURES.
- D. DISPENSER DETAILS**
- NO NOTES.
- E. PAVING DETAILS**
- INSTALL NEW CONCRETE SIDEWALK PER DETAIL SHEET C4.1.
 - MATCH SIDEWALK TO PROPOSED SIDEWALK ON NEIGHBORING PROPERTY. AT TIME OF DESIGN, SIDEWALK WAS NOT INSTALLED. CONTRACTOR SHALL COORDINATE PROPOSED SITE SIDEWALK WITH NEIGHBORING SIDEWALK PRIOR TO START OF CONSTRUCTION.
 - INSTALL CURB RAMP PER DETAIL SHEET C4.1.
 - INSTALL NEW CONCRETE PARKING AREA AS SHOWN PER DETAIL ON SHEET STD-CP-1.
 - INSTALL CONCRETE CURB AND GUTTER PER DETAIL ON SHEET STD-CP-1.
 - CONSTRUCT 3-FOOT WIDE CURB OPENING.
 - REPLACE EXISTING CONCRETE PAVEMENT PER DETAIL ON SHEET STD-CP-1.
 - RESTRIPE LOT, NEW AND EXISTING, PER GENOA TOWNSHIP STANDARDS.
 - INSTALL CONCRETE PAD PER SIDEWALK DETAIL BETWEEN BACK OF CURB AND SHED.
- F. YARD DETAILS**
- CONSTRUCT RIP RAP DRAINAGE FLUME AS SHOWN PER DETAIL ON SHEET C4.2. VERIFY EXTENTS WITH PROJECT MANAGER.
 - EXTEND EXISTING 12" CONCRETE CULVERT BY 13 FEET.
 - INSTALL NEW OUTLET STRUCTURE PER DETAIL ON SHEET C4.1.
 - RELOCATE EXISTING SHED AS SHOWN. REPLACE EXISTING SUPPORT TIMBERS AS NECESSARY.
 - INSTALL LANDSCAPING PER LANDSCAPE PLAN. CONTRACTOR TO OBTAIN NECESSARY PERMITS FROM MDOT FOR LANDSCAPE WORK WITHIN THE RIGHT-OF-WAY.
 - EXISTING WATER WELL TO BE PLUGGED. (NOT PART OF CONTRACT).
 - RELOCATE EX. GUY WIRES, AND POLE IF NECESSARY, AWAY FROM PROPOSED SIDEWALK.
 - INSTALL NEW 2" X" COPPER WATER SERVICE FROM MAIN PER WATER UTILITY REQUIREMENTS. SEE PLUMBING DRAWINGS FOR LOCATION OF ENTRANCE INTO BUILDING. WATER SHUTOFF BOX SHALL BE LOCATED IN GRASS AREA IF POSSIBLE. MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN PROPOSED WATER LINE AND EXISTING STORM SEWER LINE. CONTRACTOR TO BORE WATER SERVICE FROM MAIN TO BEND IN LINE AS BASE BID AND SHALL PROVIDE COST FOR OPEN-CUT AS ALTERNATE BID.
 - INSTALL NEW PVC SCH 40 6" DOWNSPOUT CONNECTION. CONNECT TO EXISTING 12" CONCRETE STORM SEWER WITH FLEXIBLE CONNECTOR, NPC KOR-N-TECH OR EQUIVALENT.
 - CLEAN OUT STORM STRUCTURE #10.

RICHARD L. BOWEN + ASSOCIATES INC.
13000 Shaker Boulevard / Cleveland, Ohio 44120
Phone: (216) 491-5600 Fax: (216) 491-5655
www.rlb.com email:rlb@rlb.com

NOTICE
THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC. COPYRIGHT YEAR 2012

Speedway.
STORE TYPE: 1084 BUILDING
COUNTY: LIVINGSTON

NO.	REVISIONS

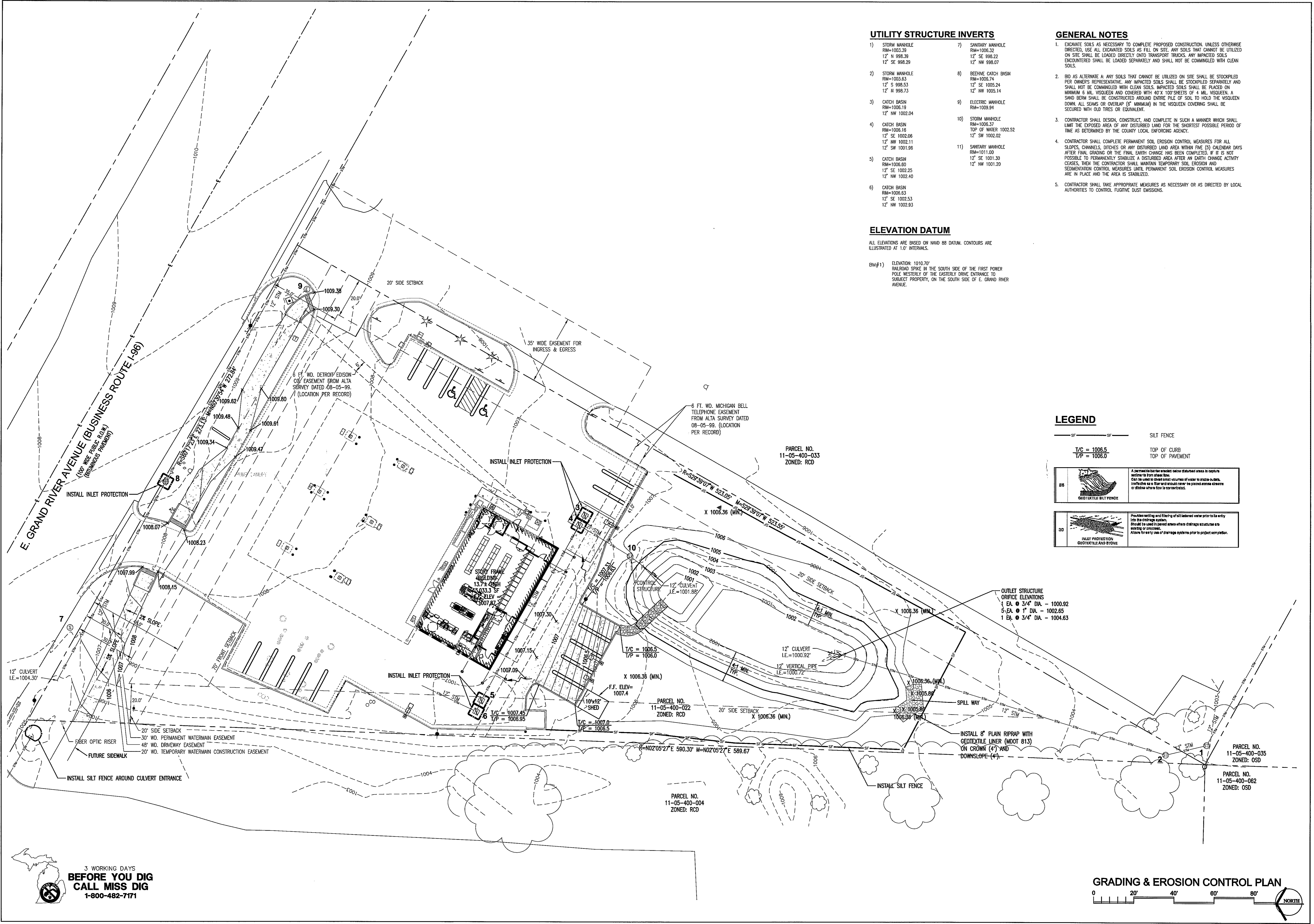
ALTERATIONS & IMPROVEMENTS FOR:
Speedway.
3598 E. GRAND RIVER AVE
HOWELL, MICHIGAN 48843
PLOT AND UTILITY PLAN

RLBA NO: 7664.31	DATE
DRAWN BY: MAH	05.25.12
CHECK BY: DGB	05.25.12
DRWG. NO.	

C2.0

3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171**

PLOT AND UTILITY PLAN
0 20' 40' 60' 80'
NORTH



UTILITY STRUCTURE INVERTS

- | | |
|--|---|
| 1) STORM MANHOLE
RM=1003.39
12" N 998.39
12" SE 998.29 | 7) SANITARY MANHOLE
RM=1006.32
12" SE 998.22
12" NW 998.07 |
| 2) STORM MANHOLE
RM=1003.63
12" S 998.53
12" N 998.73 | 8) BEEHIVE CATCH BASIN
RM=1006.74
12" SE 1005.24
12" NW 1005.14 |
| 3) CATCH BASIN
RM=1006.19
12" NW 1002.04 | 9) ELECTRIC MANHOLE
RM=1009.94 |
| 4) CATCH BASIN
RM=1006.16
12" SE 1002.06
12" NW 1002.11
12" SW 1001.96 | 10) STORM MANHOLE
RM=1006.37
TOP OF WATER 1002.52
12" SW 1002.02 |
| 5) CATCH BASIN
RM=1006.60
12" SE 1002.25
12" NW 1002.40 | 11) SANITARY MANHOLE
RM=1011.00
12" SE 1001.30
12" NW 1001.20 |
| 6) CATCH BASIN
RM=1006.63
12" SE 1002.53
12" NW 1002.93 | |

GENERAL NOTES

- EXCAVATE SOILS AS NECESSARY TO COMPLETE PROPOSED CONSTRUCTION. UNLESS OTHERWISE DIRECTED, USE ALL EXCAVATED SOILS AS FILL ON SITE. ANY SOILS THAT CANNOT BE UTILIZED ON SITE SHALL BE LOADED DIRECTLY ONTO TRANSPORT TRUCKS. ANY IMPACTED SOILS ENCOUNTERED SHALL BE LOADED SEPARATELY AND SHALL NOT BE COMINGLED WITH CLEAN SOILS.
- BID AS ALTERNATE A: ANY SOILS THAT CANNOT BE UTILIZED ON SITE SHALL BE STOCKPILED PER OWNER'S REPRESENTATIVE. ANY IMPACTED SOILS SHALL BE STOCKPILED SEPARATELY AND SHALL NOT BE COMINGLED WITH CLEAN SOILS. IMPACTED SOILS SHALL BE PLACED ON MINIMUM 6 MIL. VISQUEEN AND COVERED WITH 40" X 100" SHEETS OF 4 MIL. VISQUEEN. A SAND BEAM SHALL BE CONSTRUCTED AROUND ENTIRE PILE OF SOIL TO HOLD THE VISQUEEN DOWN. ALL SEAMS OR OVERLAP (5" MINIMUM) IN THE VISQUEEN COVERING SHALL BE SECURED WITH OLD TIRES OR EQUIVALENT.
- CONTRACTOR SHALL DESIGN, CONSTRUCT, AND COMPLETE IN SUCH A MANNER WHICH SHALL LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND FOR THE SHORTEST POSSIBLE PERIOD OF TIME AS DETERMINED BY THE COUNTY LOCAL ENFORCING AGENCY.
- CONTRACTOR SHALL COMPLETE PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. IF IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE ACTIVITY CEASES, THEN THE CONTRACTOR SHALL MAINTAIN TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES AS NECESSARY OR AS DIRECTED BY LOCAL AUTHORITIES TO CONTROL FUGITIVE DUST EMISSIONS.

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAD 88 DATUM. CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.

BM#1) ELEVATION: 1010.70'
RAILROAD SPIKE IN THE SOUTH SIDE OF THE FIRST POWER POLE WESTERLY OF THE EASTERLY DRIVE ENTRANCE TO SUBJECT PROPERTY, ON THE SOUTH SIDE OF E. GRAND RIVER AVENUE.

LEGEND

- SILT FENCE
- T/C = 1006.5
T/P = 1006.0
TOP OF CURB
TOP OF PAVEMENT
- 85
A permeable barrier around disturbed areas to capture surface runoff from site.
Can be used to prevent small volumes of water to erode culverts, inlets, etc. as a filter and silt trap. Do not place across streams or ditches unless flow is controlled.
- 80
Pre-Active settling and filtering of all sediments water prior to its entry into the drainage system.
Should be used in paved areas where drainage structures are existing or proposed.
Allow for early use of drainage systems prior to project completion.
- INLET PROTECTION
GEOTEXTILE AND STONE

RICHARD L. BOWEN + ASSOCIATES INC.
13000 Shaker Boulevard / Cleveland, Ohio 44120
Phone: (216) 491-8900 Fax: (216) 491-8063
www.rlb.com email:rlb@rlb.com

NOTICE
THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC.
COPYRIGHT YEAR 2012

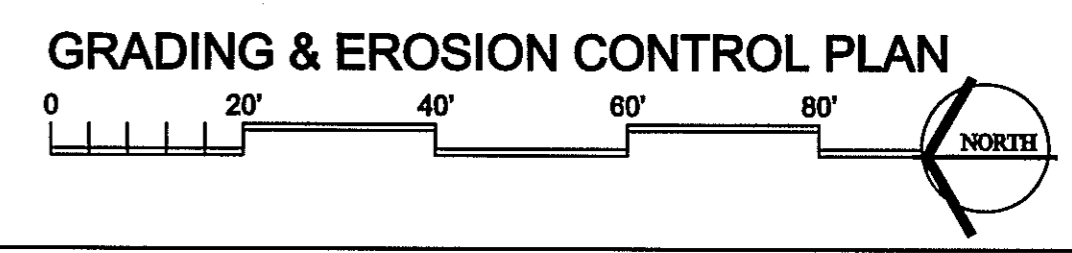
Speedway.
STORE TYPE: 1800 BUILDINGS
32'-0" X 70'-4"
COUNTY: LAMAR

This drawing is the property of Speedway, LLC and is not to be reproduced or used in any way without expressed written consent of Speedway, LLC.

ALTERATIONS & IMPROVEMENTS FOR:
Speedway.
3598 E. GRAND RIVER AVE.
HOWELL, MICHIGAN 48843
GRADING & EROSION CONTROL PLAN

RLBA NO: 7664.31 DATE
DRAWN BY: MAH 05.25.12
CHECK BY: DGB 05.25.12
DRWG. NO. **C3.0**

3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171**



MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 8' x 8'. SEE NOTES.

MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). FINISHING SLOPE 2% - 7% (0.5% MAXIMUM) SEE NOTES.

SIDEWALK RAMP TYPE R
ISOLATED SIDEWALK

SECTION A-A

SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)

DEPARTMENT DIRECTOR
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

APRIL 2010 PLAN DATE
R-28-G SHEET 1 OF 2

A MDOT SIDEWALK RAMP
C4.1 SCALE: NOT TO SCALE

WELD 1/2" BARS AT 3" O.C. AND WELD GRID TO 3x1/4" ANGLE. SECURE TO CMP WITH 1/4" STAINLESS STEEL SCREWS. WELDS TO CONFORM TO CURRENT ANS. STANDARDS

PLAN VIEW

PROFILE

OUTLET CONTROL STRUCTURE

DATE: APRIL 2010

R-2

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Inlet Protection Fabric Drop

04-07-2008 PLAN DATE
E&S-29-A SHEET 1 OF 2

B GENOA TOWNSHIP OUTLET CONTROL STRUCTURE
C4.1 SCALE: NOT TO SCALE

INLET PROTECTION DETAIL

DATE: APRIL 2010

R-2

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Inlet Protection Fabric Drop

04-07-2008 PLAN DATE
E&S-29-A SHEET 1 OF 2

C INLET PROTECTION DETAIL
C4.1 SCALE: NOT TO SCALE

SILT FENCE DETAIL

DATE: APRIL 2010

R-2

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Silt Fence

04-07-2008 PLAN DATE
E&S-26-A SHEET 1 OF 2

D SILT FENCE DETAIL
C4.1 SCALE: NOT TO SCALE

CONCRETE SIDEWALK

BITUMINOUS SIDEWALK

NOTE: SEE TOWNSHIP ZONING ORDINANCES FOR SIDEWALK WIDTHS

TYPICAL SIDEWALK CROSS SECTIONS

DATE: APRIL 2010

G-7

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Inlet Protection Fabric Drop

04-07-2008 PLAN DATE
E&S-29-A SHEET 2 OF 2

F GENOA TOWNSHIP SIDEWALK DETAIL
C4.1 SCALE: NOT TO SCALE

Use
Inlet Protection Fabric Drop is a temporary device used to prevent sediment from entering drainage structure inlets.

Installation and Maintenance
Inlet Protection Fabric Drop requires frequent maintenance to function properly.

Optional Measures
For those instances where the volume of storm water may be high, a Gravel Filter Berm (E & S-13) may be installed in one corner of the inlet Protection Fabric Drop to enable storm water to be filtered prior to entering the drainage structure.

Related SESC Measures
E & S-13 Gravel Filter Berm
F & S-31 Drain Inlet Protection Sediment Traps

Measurement and Payment
Payment for Inlet Protection Fabric Drop includes all labor and materials required to secure Geotextile Fabric as shown. Optional work shown when installed and maintained as directed by the Engineer, will be paid using the associated contract items listed here.

Contract Item (Pay Item)	Pay Unit
Erosion Control Inlet Protection Fabric Drop	Each
Erosion Control Gravel Filter Berm	Foot
Erosion Control Silt Fence	Foot
Erosion Control Maintenance, Sediment Removal	Cubic Yard
Sediment Removal	Cubic Yard

INLET PROTECTION NOTES

DATE: APRIL 2010

G-7

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Inlet Protection Fabric Drop

04-07-2008 PLAN DATE
E&S-29-A SHEET 2 OF 2

G INLET PROTECTION NOTES
C4.1 SCALE: NOT TO SCALE

Use
A Silt Fence is a permeable barrier erected adjacent to disturbed areas to capture sediment from sheet flow. It is made of woven geotextile fabric which is stretched and supported by wooden posts and tranchised in at the bottom.

Installation and Maintenance
The Silt Fence retards the movement of sediment-laden water allowing the deposition and retention of sediment.

Optional Measures
As an extra precautionary measure when there is a steep disturbed area adjacent to a watercourse, two rows of Silt Fences may be placed.

Related SESC Measures
E & S-2 Grubbing Unit
E & S-6 Vegetative Buffer Strips
E & S-9 Benches
E & S-24 Sand and Stone Bags
E & S-28 Mulching and Muck Anchoring
E & S-32 Surface Roughening and Scarification
E & S-33 Muck Blankets and High Velocity Muck Blankets.

Measurement and Payment
Optional work shown, when installed and maintained as directed by the Engineer, will be paid using the associated contract items listed here.

Contract Item (Pay Item)	Pay Unit
Erosion Control Silt Fence	Foot
Erosion Control Maintenance, Sediment Removal	Cubic Yard
Erosion Control Sand Bag	Each
Erosion Control Stone Bag	Each

SILT FENCE NOTES

DATE: APRIL 2010

H-7

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT SESC DETAIL FOR

Silt Fence

04-07-2008 PLAN DATE
E&S-26-A SHEET 2 OF 2

H SILT FENCE NOTES
C4.1 SCALE: NOT TO SCALE

E NOT USED
C4.1 SCALE: NOT TO SCALE

RICHARD L. BOWEN + ASSOCIATES INC.
13000 Shaker Boulevard / Cleveland, Ohio 44120
Phone: (216) 491-5500 Fax: (216) 491-8055
www.rlb.com - email@rlb.com

NOTICE
THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC. COPYRIGHT YEAR 2012

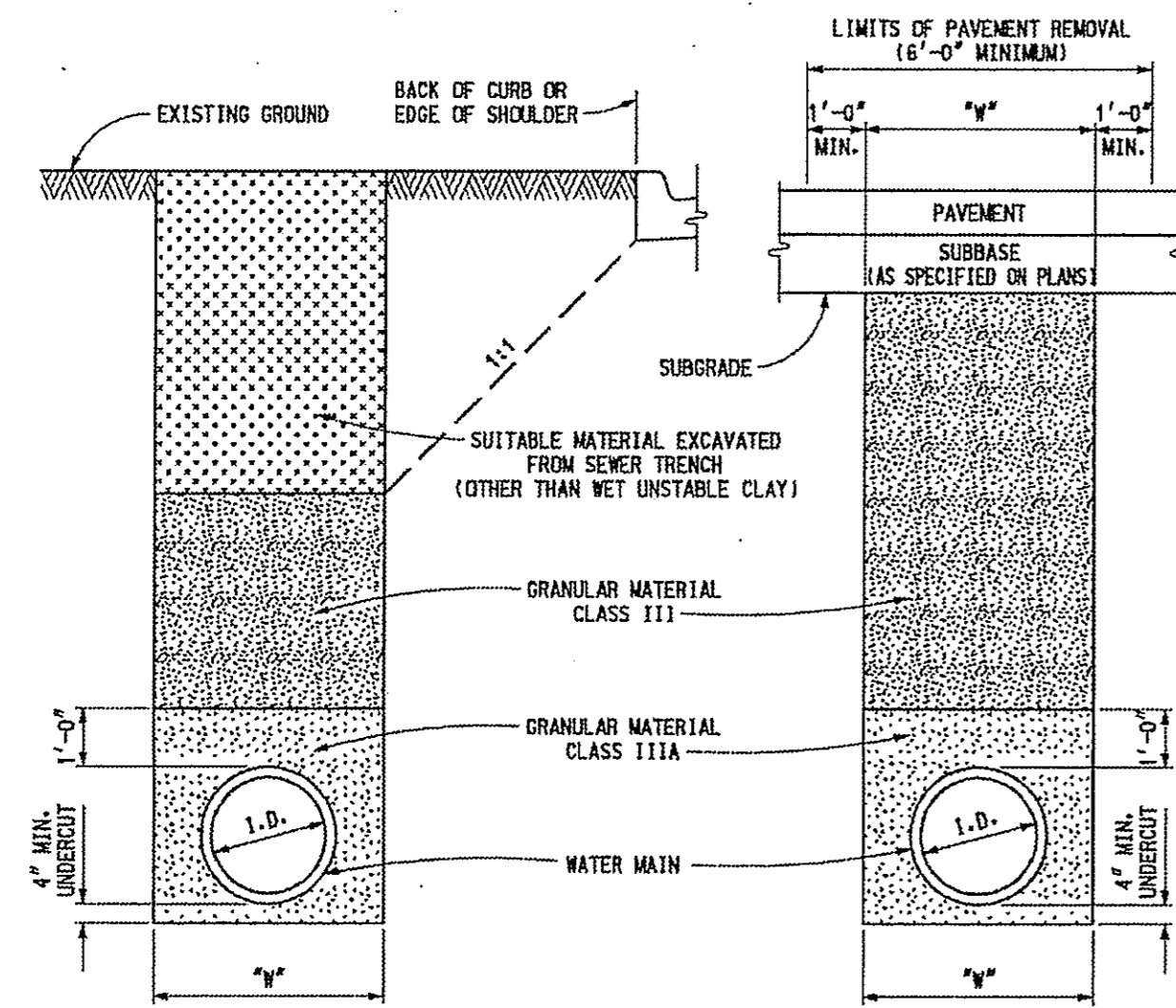
Speedway.
STORE TYPE: 68X BUILDING
COUNTY: LIVINGSTON

ALTERATIONS & IMPROVEMENTS FOR:
Speedway.
35598 E. GRAND RIVER AVE.
HOWELL, MICHIGAN 48843

SITE DETAILS

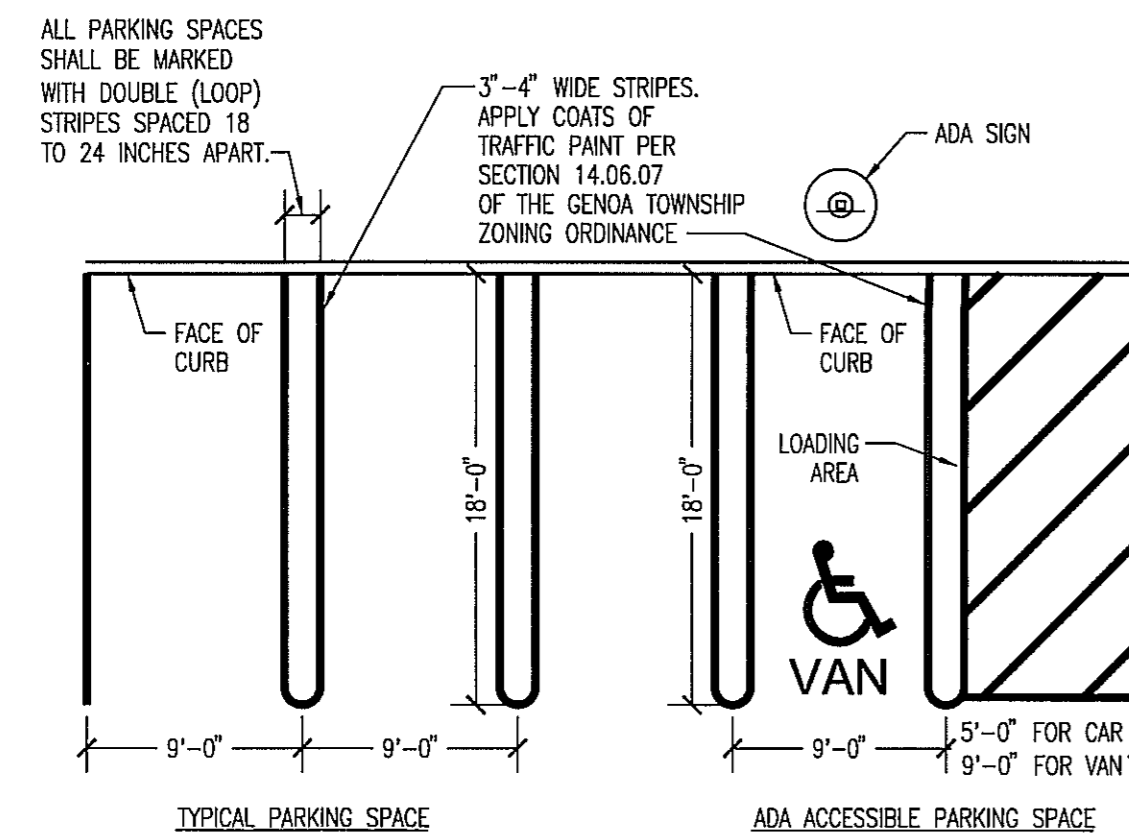
NO.	REVISIONS	DATE

RLBA NO: 7664.31 DATE: 05.25.12
DRAWN BY: MAH
CHECK BY: DGB
DRWG. NO. C4.1

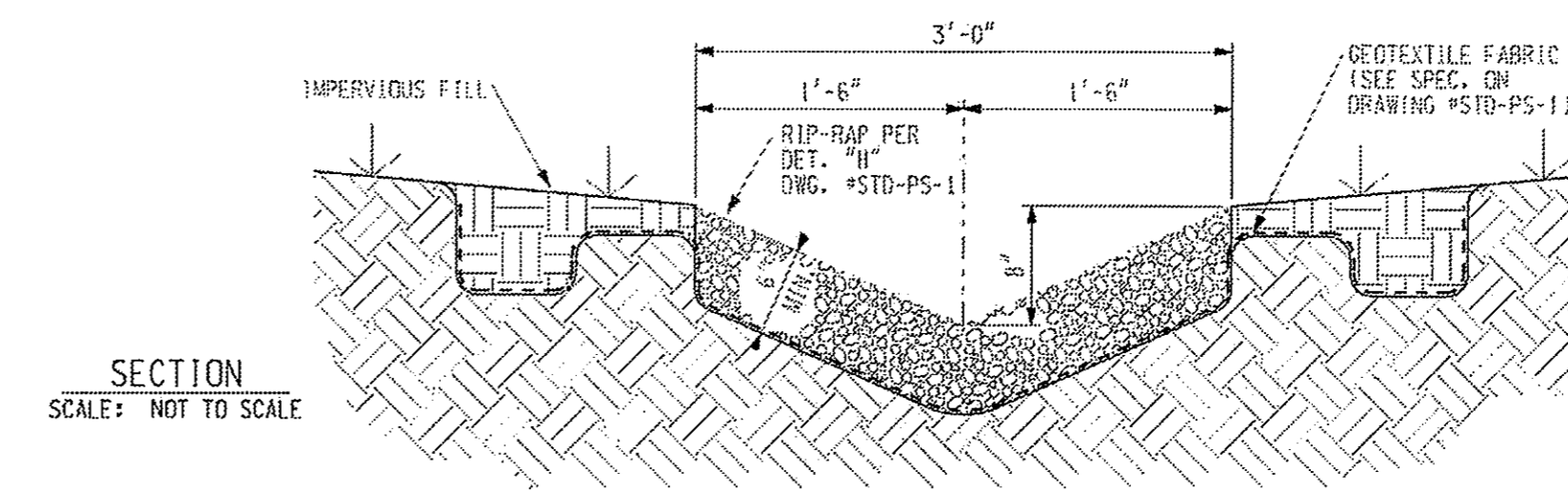


NOTE: WHEN WATER MAIN IS PLACED IN PROPOSED ROADWAY AREA, IT SHALL BE BACKFILLED WITH SELECTED EXCAVATION MATERIAL ABOVE FUTURE SUBGRADE TO EXISTING GROUND LINE.

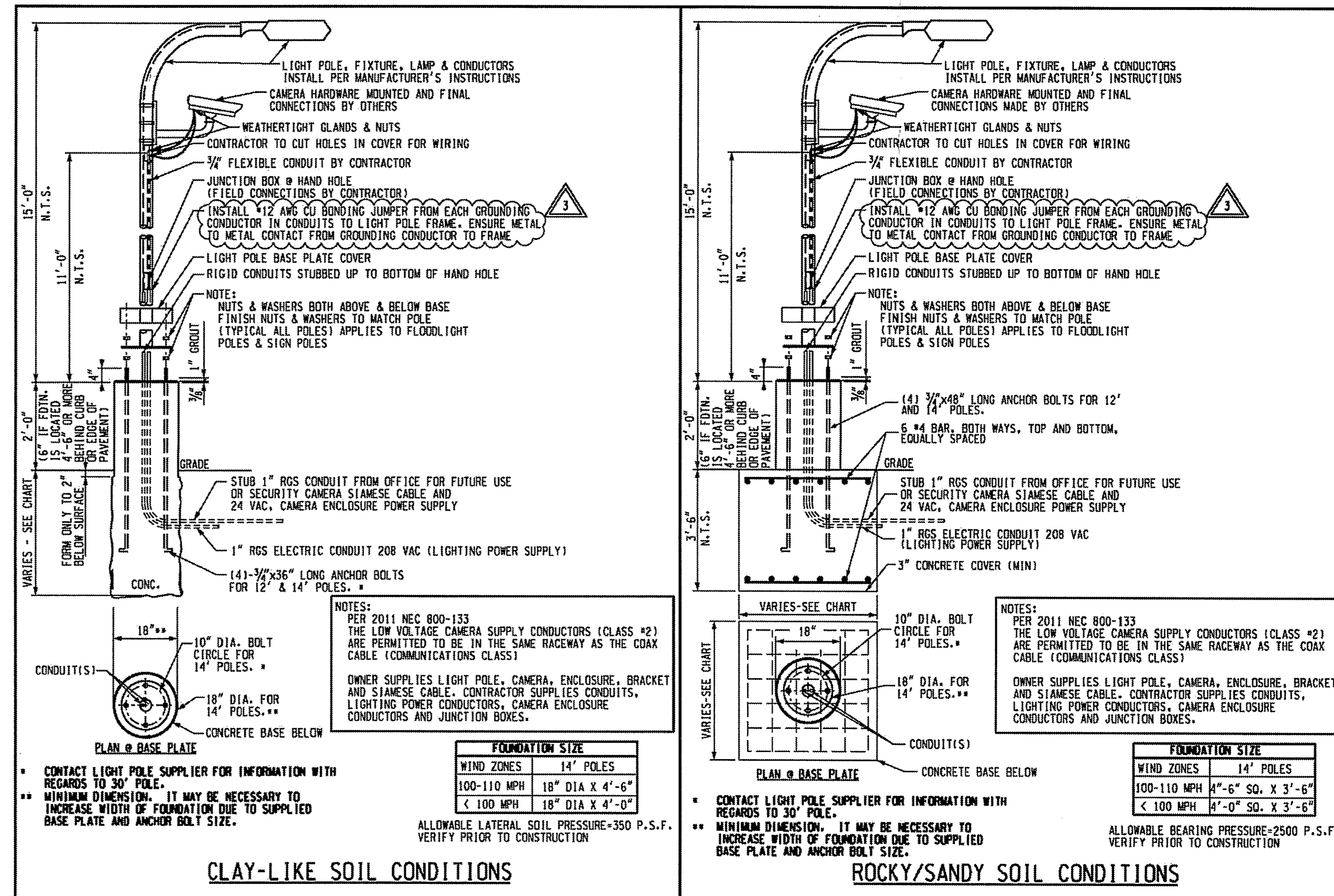
A WATER MAIN TRENCH DETAIL
C4.2 SCALE: NOT TO SCALE



D PARKING STALL STRIPING
C4.2 SCALE: NOT TO SCALE



E RIP-RAP DRAINAGE FLUME
C4.2 SCALE: NOT TO SCALE



B AREA LIGHT POLE FOUNDATION DETAILS
C4.2 SCALE: NOT TO SCALE

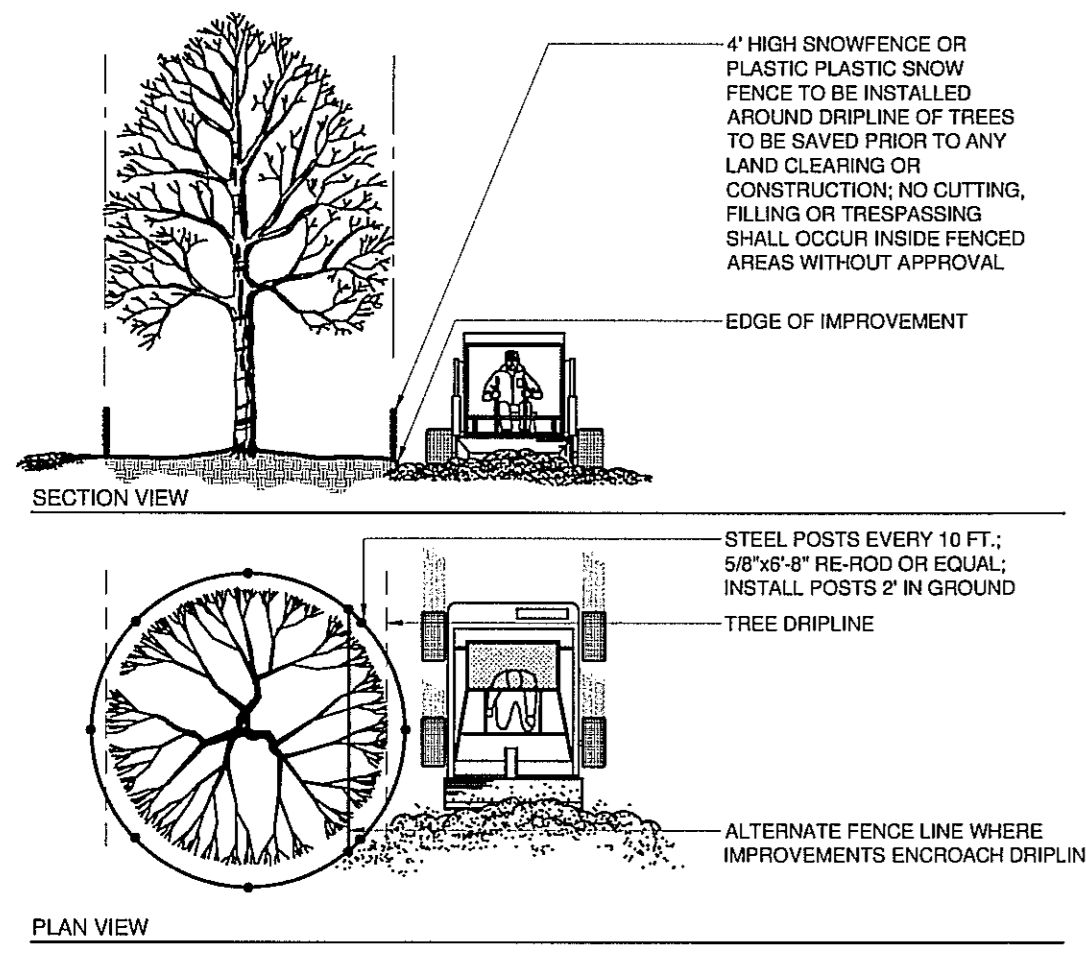
NOTICE
THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC. COPYRIGHT YEAR 2012

Speedway.

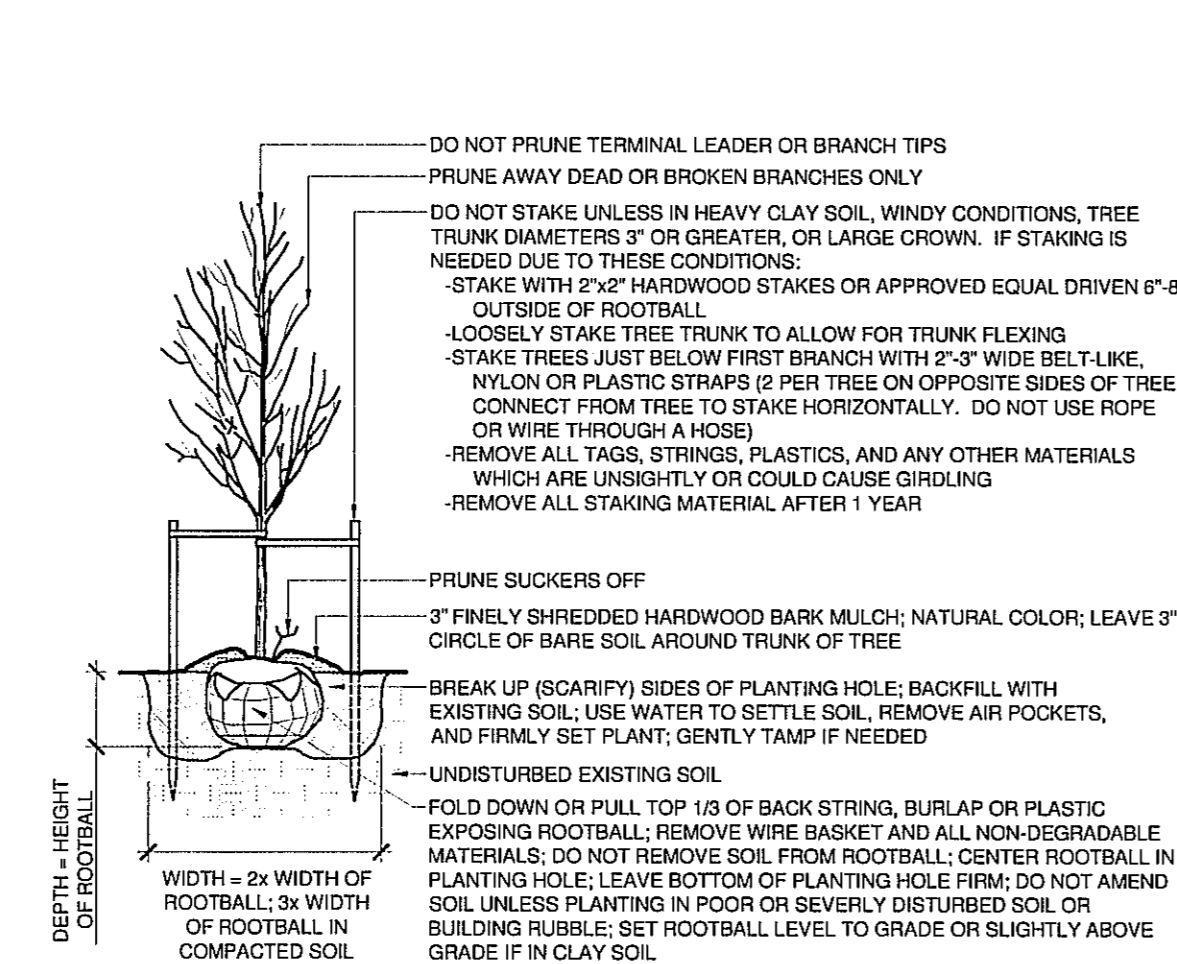
DESIGN PROJECT NO. 15000
NO. 15000
REVISIONS
NO. 1
DATE 05/25/12
DRAWN BY MAH
CHECK BY DGB
DRWG. NO. C4.2

ALTERATIONS & IMPROVEMENTS FOR:
Speedway
3598 E. GRAND RIVER AVE.
HOWELL, MICHIGAN 48843

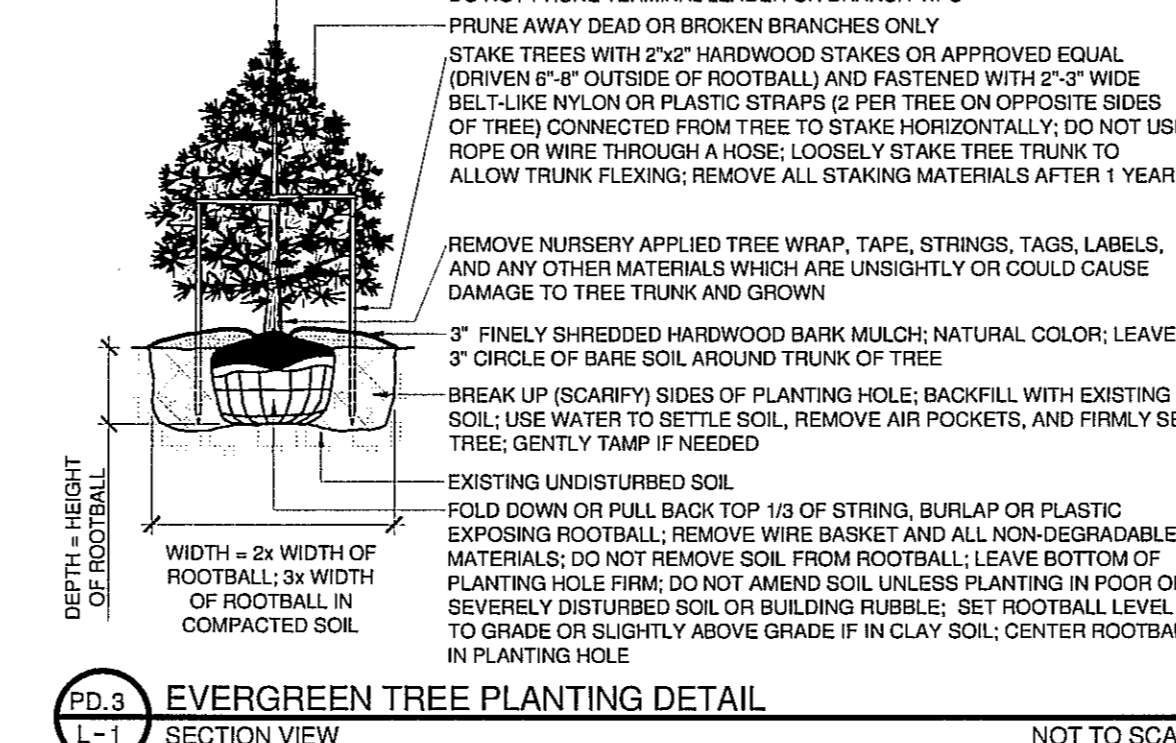
RLBA No: 7664.31 DATE 05.25.12
DRAWN BY: MAH 05.25.12
CHECK BY: DGB 05.25.12
DRWG. NO. C4.2



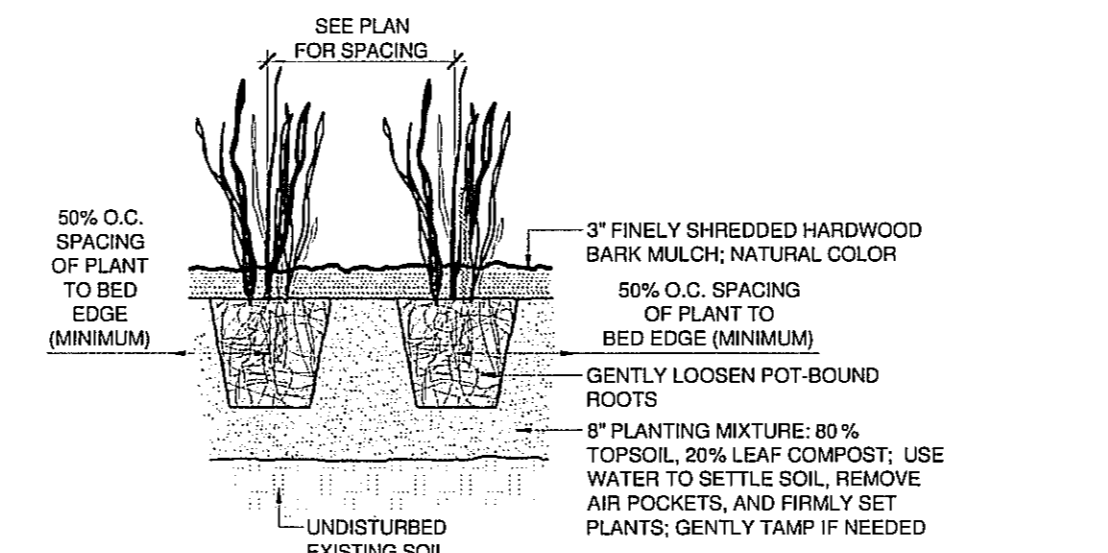
CD.1 TREE PROTECTION DETAIL
SECTION VIEW
NOT TO SCALE



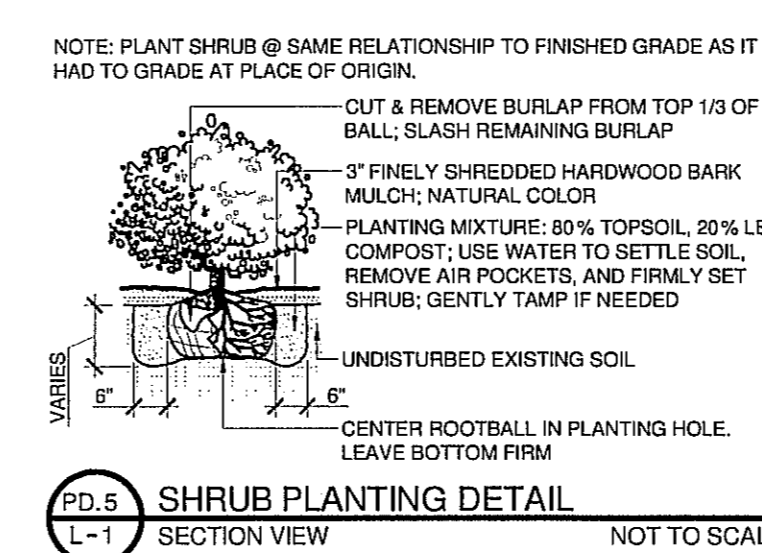
PD.2 DECIDUOUS TREE PLANTING DETAIL
SECTION VIEW
NOT TO SCALE



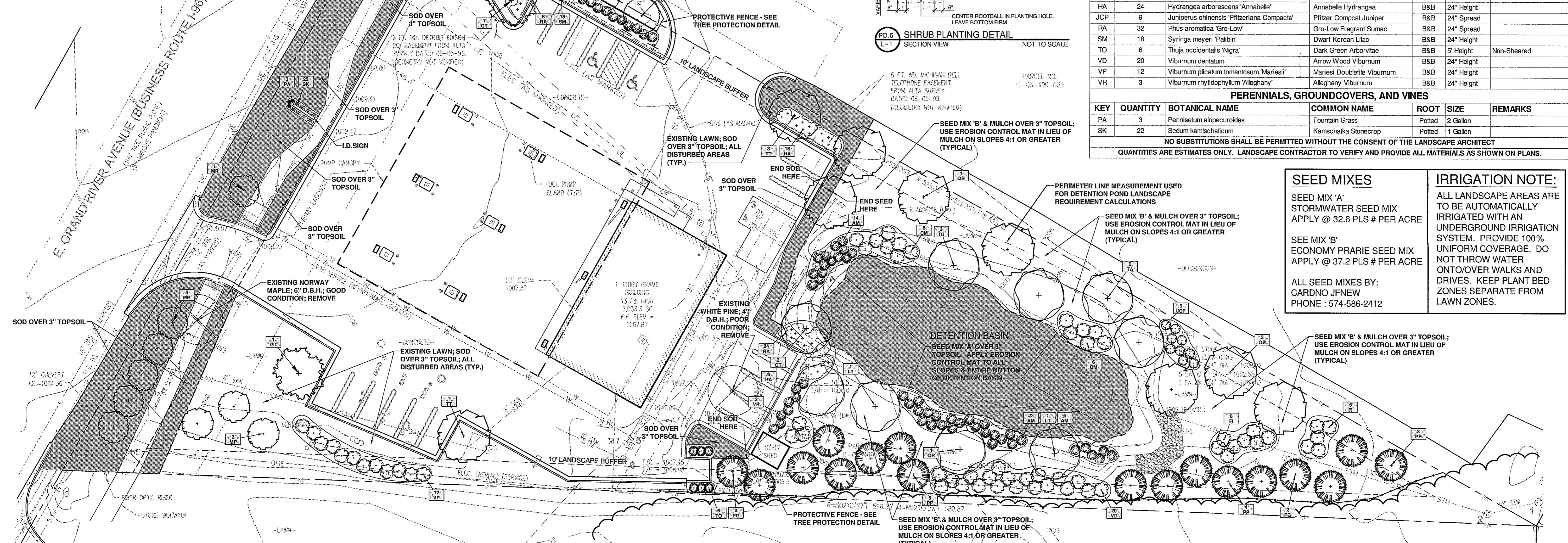
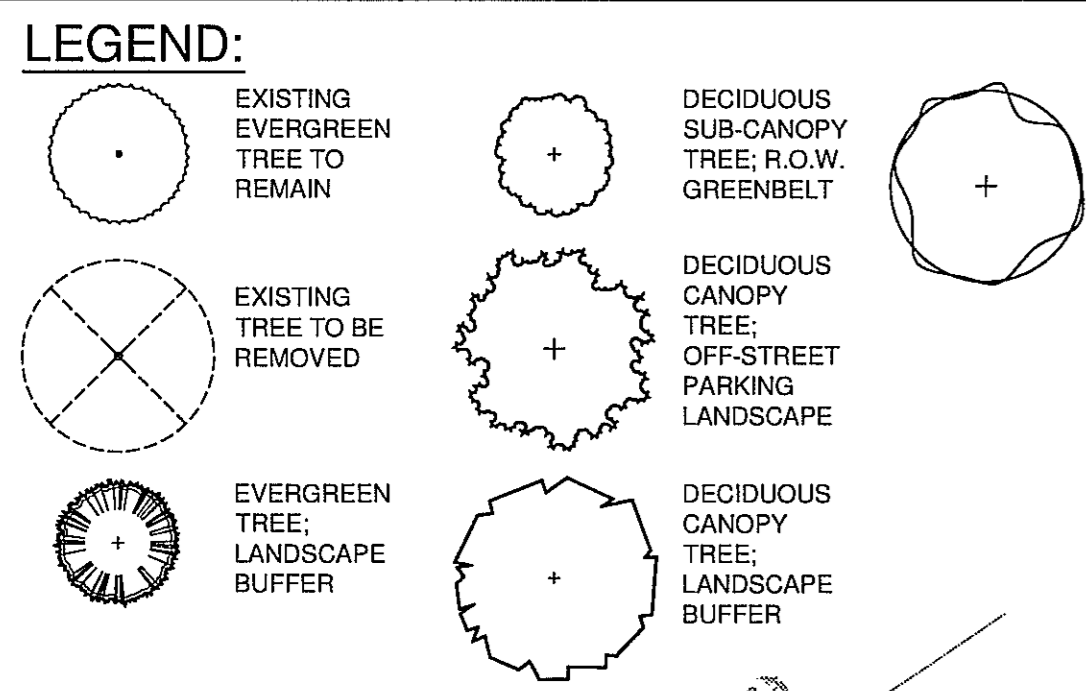
PD.3 EVERGREEN TREE PLANTING DETAIL
SECTION VIEW
NOT TO SCALE



PD.4 PERENNIAL PLANTING DETAIL
SECTION VIEW
NOT TO SCALE



PD.5 SHRUB PLANTING DETAIL
SECTION VIEW
NOT TO SCALE



Landscape Requirements

Requirement	Required	Provided
R.O.W. Greenbelt	20 Ft. Wide	25 Ft. Provided
Trees	7 Canopy Trees	7 Sub-Canopy Trees (See Note 1)
Buffer Zone - East	10 Ft. Wide	10 Ft. Wide
Buffer Zone - West	27 Canopy Trees	8 Canopy Trees, 2 Evergreen Trees, 3 Existing Evergreen Trees, & 56 Shrubs (See Note 3)
Trees	10 Ft. Wide	10 Ft. Wide
Off-Street Parking Landscape	29 Canopy Trees	16 Canopy Trees & 3 Sub-Canopy Trees & 40 Shrubs (See Note 2)
Trails	190 S.F.	295 S.F.
Detention Basin Landscape	2 Canopy Trees	2 Canopy Trees
Trees	9 Canopy Trees	9 Canopy Trees
Shrubs	85.2	86 Shrubs

Notes:
 1. Sub-Canopy Deciduous Trees were used in lieu of Canopy Deciduous Trees to avoid future conflicts with Overhead Electrical Lines along E. Grand River Avenue.
 2. 40 Shrubs & 3 Sub-Canopy Trees were substituted for the remainder 13 Canopy Trees required (4 Shrubs = 1 Canopy Tree required); 4 * 10 = 40 Shrubs required; (1 Sub-Canopy Deciduous Tree = 1 Canopy Deciduous Tree); Sub-Canopy Deciduous Trees were used in lieu of Canopy Deciduous Trees to avoid future conflicts with Overhead Electrical Line along the west boundary line.
 3. 56 Shrubs were substituted for the remainder 14 Canopy Trees required (14 * 4 = 56 Shrubs)

PLANT SCHEDULE

DECIDUOUS CANOPY TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
GT	4	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	B&B	2.5' Caliper	6' Min. Branch Ht.
LT	2	Liriodendron tulipifera	Tuliptree	B&B	2.5' Caliper	6' Min. Branch Ht.
QB	5	Quercus bicolor	Swamp Oak	B&B	2.5' Caliper	6' Min. Branch Ht.
TA	2	Tilia americana 'Redmond'	Redmond American Linden	B&B	2.5' Caliper	6' Min. Branch Ht.
TD	3	Taxodium distichum	Common Bald Cypress	B&B	2.5' Caliper	
TT	4	Tilia tomentosa 'Green Mountain'	Green Mountain Silver Linden	B&B	2.5' Caliper	6' Min. Branch Ht.

DECIDUOUS ORNAMENTAL TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
MP	3	Malus 'Prairifire'	Prairifire Crab	B&B	2.5' Caliper	5' Min. Branch Ht.
MR	7	Malus 'Red Jewel'	Red Jewel Crab	B&B	2.5' Caliper	5' Min. Branch Ht.

EVERGREEN TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
PB	3	Picea abies	Norway Spruce	B&B	6' Height	Non-Sheared
PG	5	Picea glauca	White Spruce	B&B	6' Height	Non-Sheared
PP	9	Picea pungens	Colorado Spruce	B&B	6' Height	Non-Sheared

SHRUBS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
AM	42	Aronia melanocarpa	Black Chokeberry	B&B	24" Height	
CM	14	Cornus mas	Cornelian Cherry	B&B	24" Height	
FI	13	Forsythia int. 'Lynwood Gold'	Lynwood Gold Forsythia	B&B	24" Height	
HA	24	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	B&B	24" Height	
JCP	9	Juniperus chinensis 'Pfitzeriana Compacta'	Pfitzer Compact Juniper	B&B	24" Spread	
RA	32	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	B&B	24" Spread	
SM	18	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	B&B	24" Height	
TO	6	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	B&B	5' Height	Non-Sheared
VD	20	Viburnum dentatum	Arrow Wood Viburnum	B&B	24" Height	
VP	12	Viburnum plicatum tomentosum 'Mariesii'	Mariesi Doublefile Viburnum	B&B	24" Height	
VR	3	Viburnum rhytidophyllum 'Alleghany'	Alleghany Viburnum	B&B	24" Height	

PERENNIALS, GROUNDCOVERS, AND VINES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
PA	3	Pennisetum alopecuroides	Fountain Grass	Potted	2 Gallon	
SK	22	Sedum kamtschaticum	Kamtschka Stonecrop	Potted	1 Gallon	

NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT
 QUANTITIES ARE ESTIMATES ONLY. LANDSCAPE CONTRACTOR TO VERIFY AND PROVIDE ALL MATERIALS AS SHOWN ON PLANS.

SEED MIXES

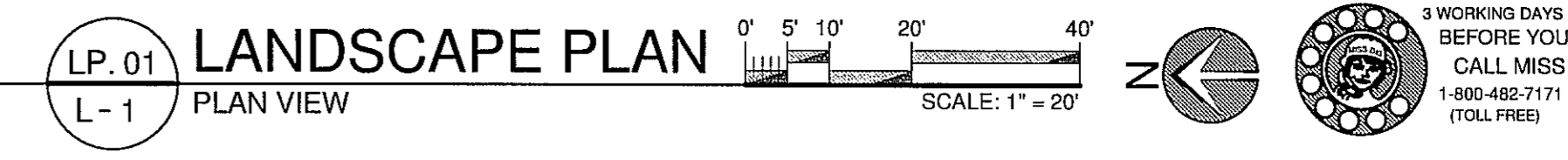
SEED MIX 'A'
STORMWATER SEED MIX
APPLY @ 32.6 PLS # PER ACRE

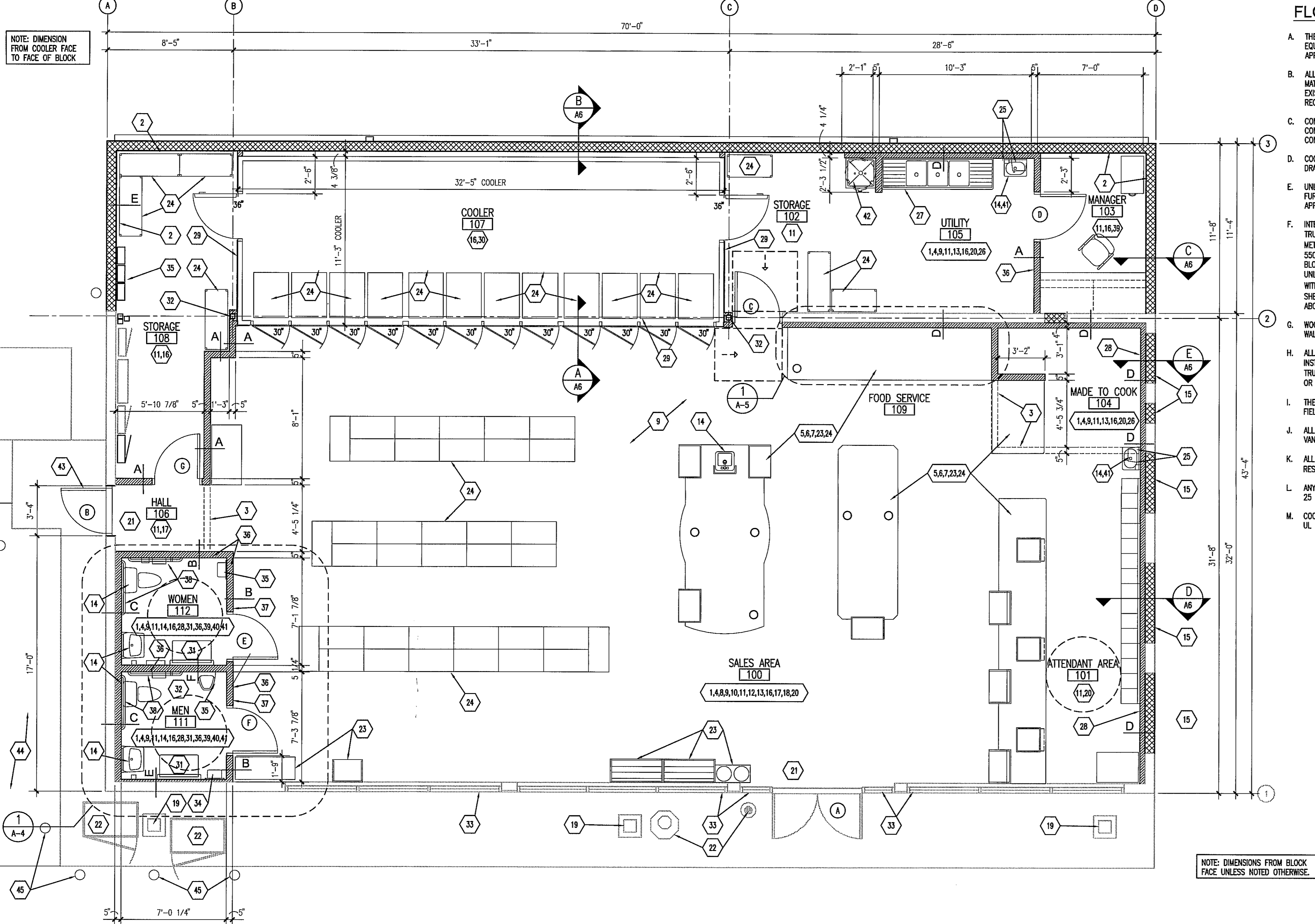
SEE MIX 'B'
ECONOMY PRARIE SEED MIX
APPLY @ 37.2 PLS # PER ACRE

ALL SEED MIXES BY:
CARDNO JFNEW
PHONE : 574-586-2412

IRRIGATION NOTE:

ALL LANDSCAPE AREAS ARE TO BE AUTOMATICALLY IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. PROVIDE 100% UNIFORM COVERAGE. DO NOT THROW WATER ONTO/OVER WALKS AND DRIVES. KEEP PLANT BED ZONES SEPARATE FROM LAWN ZONES.





FLOOR PLAN GENERAL NOTES:

- A. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION PER ALL APPLICABLE CODES AND THESE DRAWINGS, UNLESS OTHERWISE NOTED.
- B. ALL EXISTING FLOORS, WALLS, OR OTHER SURFACES TO RECEIVE A FINISH MATERIAL SHALL BE MADE SQUARE, LEVEL, AND PLUMB. CLEAN & PREP EXISTING WALLS AS NEEDED FOR NEW FINISH INSTALLATION AS PER MFR. RECOMMENDATIONS.
- C. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO COMMENCING WORK. IF ANY DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY PROJECT MANAGER IMMEDIATELY.
- D. COORDINATE ALL WORK WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. IF DISCREPANCY EXISTS, CONTACT PROJECT MANAGER.
- E. UNLESS NOTED OTHERWISE, ALL MATERIAL AND EQUIPMENT WILL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR. THIS NOTE APPLIES TO ALL DRAWINGS.
- F. INTERIOR STUD WALLS SHALL EXTEND FROM FLOOR TO BOTTOM OF TRUSSES. 4" (NOM.) STUD WALLS TO BE CONSTRUCTED OF 3625125-30 METAL STUDS AND 6" (NOM.) STUD WALLS TO BE CONSTRUCTED OF 5505125-30 METAL STUDS INCLUDING BOTTOM PLATES WITH HORIZONTAL BLOCKING BETWEEN STUDS AT MID-POINT BETWEEN FLOOR AND CEILING UNLESS OTHERWISE NOTED. ALL STUDS SHALL BE SPACED AT 16" O.C. WITH 5/8" MINIMUM SHEATHING OF PLYWOOD, AND / OR GYPSUM BOARD. SHEATHING SHALL EXTEND FROM 1/2" ABOVE FLOOR SLAB TO 8" (MIN.) ABOVE ADJACENT CEILING LINE.
- G. WOOD BLOCKING OR A/C PLYWOOD SHALL BE INSTALLED BEHIND ALL WALL-MOUNTED EQUIPMENT, FIXTURES, SHELVING, AND RACKS.
- H. ALL PLYWOOD ON THE INTERIOR SHALL BE A/C EXTERIOR GRADE. INSTALL w/ THE SANDED SIDE OUT. FASTEN WITH #8x1-1/2" PHILLIPS TRUMPET HEAD SCREWS BY ITW BUILDEX OR EQUAL INTO METAL STUDS OR FRAMING MEMBERS AT 16" O.C. MAX.
- I. THE CABINET VENDOR SHALL FURNISH SHOP DRAWINGS TO THE SPEEDWAY FIELD REPRESENTATIVE FOR HIS REVIEW PRIOR TO FABRICATING.
- J. ALL RESTROOM ACCESSORIES SHALL BE MOUNTED WITH VANDAL-RESISTANT METAL FASTENERS INTO WOOD BLOCKING.
- K. ALL GYPSUM BOARD ON RESTROOM CEILINGS SHALL BE 5/8" WATER RESISTANT GRADE.
- L. ANY INSULATION CONCEALED IN WALLS SHALL HAVE A FLAME SPREAD OF 25 MAX.
- M. COOLER PANELS SHALL CONFORM TO FM 4880, UL 1040, MFPA 286 OR UL 1715.

CONSTRUCTION FLOOR PLAN NOTES:

1. SEE INTERIOR WALL TYPE. CONSTRUCT STUD WALL FROM FLOOR TO ABOVE CEILING. INSTALL NEW DRYWALL FLUSH WITH EXISTING ELEMENTS TO REMAIN. WHERE DRYWALL REMAINS EXPOSED AND PAINTED, APPLY A MINIMUM OF (2) COATS OF JOINT COMPOUND OVER JOINT TAPE. APPLY CORNER BEAD IF REQUIRED. PROVIDE A SMOOTH FINISH SURFACE TO RECEIVE PAINT WITH COMPLETE SANDING BETWEEN COATS. FILL & SAND SMOOTH ALL FASTENER PENETRATIONS. SEE ROOM FINISH SCHEDULE.
2. EXPOSED BLOCK. NEW EXTERIOR BLOCK WALLS TO BE FILLED WITH FOAM INSULATION.
3. CONSTRUCT BULKHEAD. SEE REFLECTED CEILING PLAN SHEET FOR DETAILS.
4. BUILD NEW WALL WHERE SHOWN. WHERE WALL(S) JOIN FOOD SERVICE CABINERY, COORDINATE WITH CABINET VENDOR'S DRAWINGS AND INSTALLATION. INSTALL FINISH MATERIALS. PAINT AND APPLY GRAPHICS PER FINISH PLAN.
5. ALL ATTENDANT SALES & BEVERAGE COUNTERS, CANDY RACKS, ROLLER GRILLE, AND CONDIMENT ISLANDS, CUP HOLDERS, LID DISPENSERS, SLATWALL, TRENDAIR SHELVES (IF REQUIRED), AND ALL SIMILAR FIXTURES SHALL BE FABRICATED BY CABINET VENDOR AND INSTALLED BY CONTRACTOR. NEW CABINETS PROVIDED BY CABINET MAKER AND INSTALLED BY CONTRACTOR. COORDINATE WITH PROJECT MANAGER.
6. INSTALL 4" VINYL COVE BASE ON ALL CABINETS TO BE SUPPLIED BY THE GENERAL CONTRACTOR. SEE FINISH PLAN & FINISH SCHEDULES.
7. STAINLESS STEEL CORNER GUARDS FOR CABINERY TO BE FURNISHED AND INSTALLED BY CABINET VENDOR.
8. INSTALL COVE BASE. SEE FINISH MATERIALS SCHEDULE. PROVIDED AND INSTALLED BY CONTRACTOR PER MANUFACTURER'S INSTRUCTIONS.
9. GC SHALL REPAIR FLOOR WHERE WALLS ARE REMOVED AND FLOOR HAS BEEN SAWCUT FOR THE INSTALLATION OF NEW UTILITIES FOR CABINET ISLANDS.
10. REMOVE EXISTING AND INSTALL NEW WALL FINISHES. SEE INTERIOR ELEVATIONS, FINISH PLAN, AND FINISH SCHEDULES.
11. PAINT INTERIOR PER CURRENT PAINT SCHEDULE AND OWNER'S REPRESENTATIVE'S DIRECTION.
12. CONTRACTOR TO INSTALL CURRENT GRAPHIC STANDARDS. COORDINATE WITH THE PROJECT MANAGER.
13. CONTRACTOR SHALL MODIFY ELECTRICAL AND PLUMBING AS REQUIRED FOR NEW EQUIPMENT LOCATIONS PER REQUIRED CODE. SEE ELECTRICAL AND PLUMBING DRAWINGS.
14. INSTALL NEW PLUMBING FIXTURE(S) PER MANUFACTURER'S RECOMMENDATIONS. SEE PLUMBING DRAWINGS. COORDINATE WORK WITH PROJECT MANAGER.
15. PATCH WALL w/ 8" SPLIT FACE CONCRETE MASONRY UNITS - MATCH EXISTING.
16. PROVIDE AND INSTALL RELATED ELECTRICAL COMPONENTS FOR A COMPLETE LIGHTING SYSTEM. SEE ELECTRICAL DRAWINGS.
17. NEW EMERGENCY EXIT SIGNS AND EGRESS LIGHTS. SEE ELECTRICAL DRAWINGS.
18. INSTALL MERCHANDISING RACKS AND SHELVING PER MARKETING PLAN/DIAGRAM FOR THIS BUILDING TYPE. COORDINATE LAYOUT WITH SPEEDWAY FIELD REPRESENTATIVE. FOR STORAGE SHELVING LAYOUT - SEE EQUIPMENT PLAN DRAWING "EQ-1".
19. EX. CANOPY COLUMNS.
20. INSTALL "4608C" FIRE EXTINGUISHER IN ACCESSIBLE LOCATION WITH 36" CLEAR SPACE AROUND. EXTINGUISHER SHALL HAVE LABEL OF AN APPROVED AGENCY AND BE MOUNTED IN ACCORDANCE WITH NFPA 10. COORDINATE WITH LOCAL FIRE MARSHALL.
21. PROVIDE AND INSTALL TACTILE EXIT SIGNS AT BUILDING EXIT DOORS IF NOT EXISTING.
22. EQUIPMENT / FURNITURE: EXISTING (SEE EQUIPMENT SHEET).
23. EQUIPMENT / FURNITURE: EXISTING, IN NEW LOCATION (SEE EQUIPMENT SHEET).
24. EQUIPMENT / FURNITURE: NEW (SEE EQUIPMENT SHEET).
25. NEW PAPER TOWEL DISPENSER & SOAP DISPENSER.
26. FRP: INSTALL ON WALLS FROM 1/2" ABOVE FLOOR TO 7'-3-1/2" A.F.F. INSTALL 5/8" CDX PLYWOOD IN PLACE OF DRYWALL. PROVIDE PROPER EDGE & CORNER TRIM. SEE FINISH PLAN & FINISH SCHEDULES.
27. RELOCATED 3-COMP SINK.
28. NEW 5/8" GYPSUM OVER 3-5/8" METAL STUD FURRING TO 6" ABOVE NEW CEILING. REFER TO CEILING PLAN FOR HEIGHT.
29. COOLER WALLS: GLUE 1/2" GYPSUM BOARD TO EXPOSED FACE OF INTERIOR ROOMS AND FACE ADJACENT TO INTERIOR WALLS. INSTALL GYPSUM BOARD TO EXTERIOR WALL FACE AND DECK OR GYPSUM BOARD CEILING ABOVE. SEE SECTION "A/A2". COOLER WALLS TO CONFORM TO FM 4880, UL 1040, NFPA 286, OR UL 1714.
30. NEW WALK-IN COOLER - SEE EQ-1 AND COOLER VENDOR DRAWINGS.
31. INSTALL NEW BABY CHANGING TABLE.
32. NEW STRUCTURAL COLUMNS.
33. EXISTING GLASS AND ALUMINUM STOREFRONT GLAZING SYSTEM TO REMAIN.
34. NEW ELECTRIC HAND DRYER. SEE ELECTRICAL DWGS.
35. NEW ELECTRICAL PANEL. SEE ELECTRICAL DWGS.
36. RESTROOM & OFFICE WALLS SHALL BE INSULATED WITH 3-1/2" UNFACED FIBERGLASS BATTIS CONTINUOUS FROM FLOOR LINE TO 4" ABOVE HIGHEST ADJACENT CEILING.
37. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PLACED BESIDE ACCESSIBLE RESTROOM DOORS. MOUNT 5'-0" O/C ABOVE FINISH FLOOR. SEE DETAILS ON SHEET A4.
38. INSTALL NEW GRAB BARS. SEE RESTROOM DETAILS ON SHEET A4.
39. SEE SHEET A4 FOR RESTROOM EQUIPMENT PLACEMENT. PROVIDE BLOCKING IN WALLS AS NEEDED FOR EQUIPMENT.
40. INSTALL CEMENTITIOUS WALL BOARD SHEATHING FROM 1/2" A.F.F. TO 5'-4" A.F.F. FOR MOUNTING OF WALL TILE. BALANCE OF WALL TO BE WATER RESISTANT GYPSUM BOARD AND PAINTED. SEE RESTROOM ELEVATION DETAIL SHEET A3.
41. ALL PLUMBING UNDER LAVATORIES SHALL BE COVERED OR INSULATED WITH "TRAP WRAP" BY BROCAR-PRODUCTS, INC.
42. NEW HOT WATER TANK ON NEW BUILT-IN SHELF.
43. NEW EXTERIOR MAN DOOR.
44. NEW CONCRETE WALKWAY. SEE CIVIL DWGS.
45. NEW BOLLARDS. SEE CIVIL DWGS.

NOTE: DIMENSION FROM COOLER FACE TO FACE OF BLOCK

NOTE: DIMENSIONS FROM BLOCK FACE UNLESS NOTED OTHERWISE.

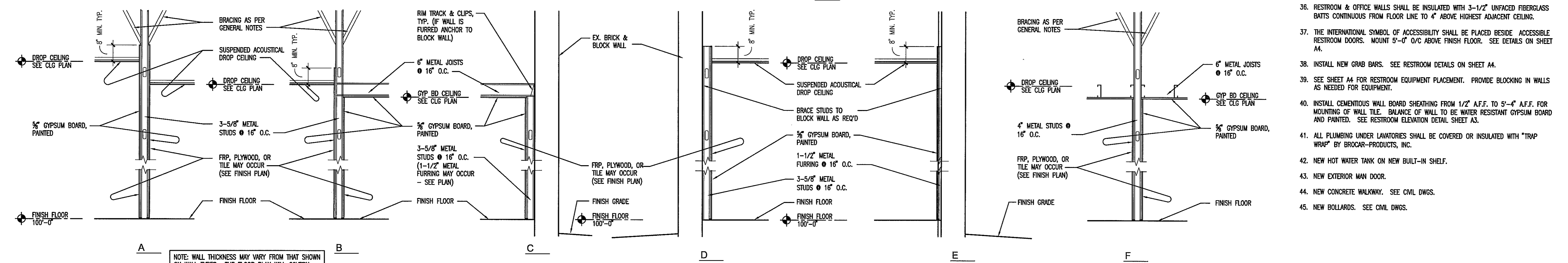
FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET KEY

- SEE CONSTRUCTION FLOOR PLAN NOTES
- SEE DOOR SCHEDULE & DETAILS
- ▨ NEW WALLS - SEE WALL TYPES



INTERIOR WALL TYPES

SCALE: 1/4" = 1'-0"

NOTE: WALL THICKNESS MAY VARY FROM THAT SHOWN ON WALL TYPES. THE FLOOR PLAN WILL GOVERN.

RICHARD L. BOWEN + ASSOCIATES INC.
 18000 Shaker Boulevard / Cleveland, Ohio 44120
 Phone: 216.945.9000 Fax: 216.945.9005
 www.rlbai.com email: rlbai@rlbai.com

NOTICE
 THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
 RICHARD L. BOWEN + ASSOCIATES INC.
 COPYRIGHT YEAR 2012

Speedway.
 STORE TYPE: 1894 BUILDING
 STORE # 8770 32'-0" x 70'-4"
 COUNTY: LIVINGSTON

NO.	REVISIONS	DATE	BY
1			

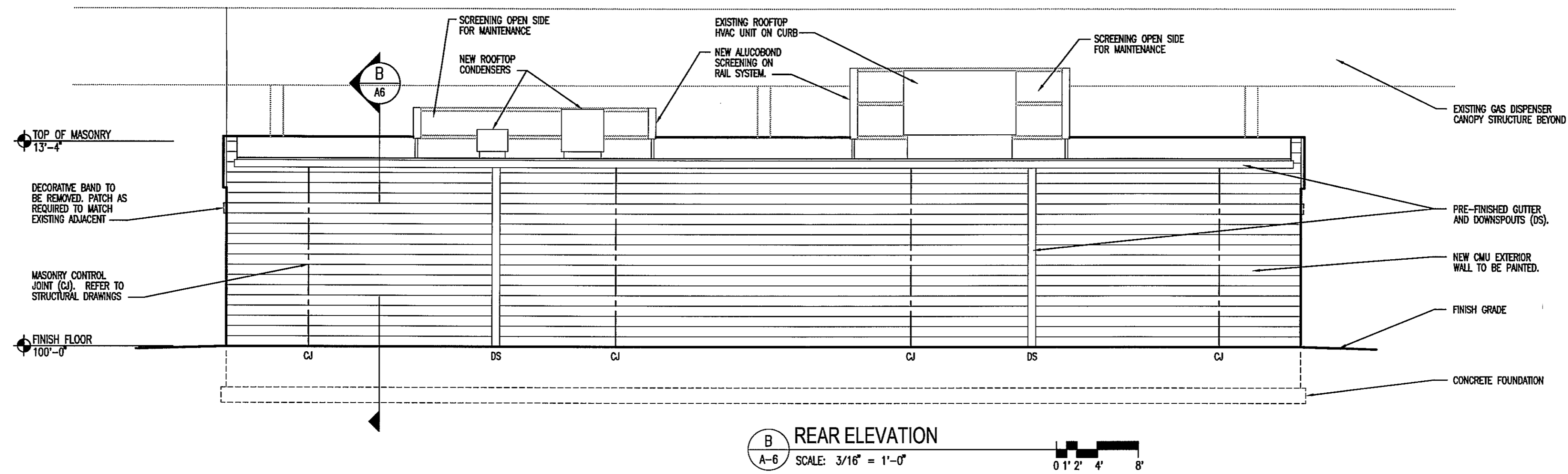
ALTERATIONS & IMPROVEMENTS FOR:
Speedway
 3598 E. GRAND RIVER AVE.
 HOWELL, MICHIGAN 48843

FLOOR PLAN

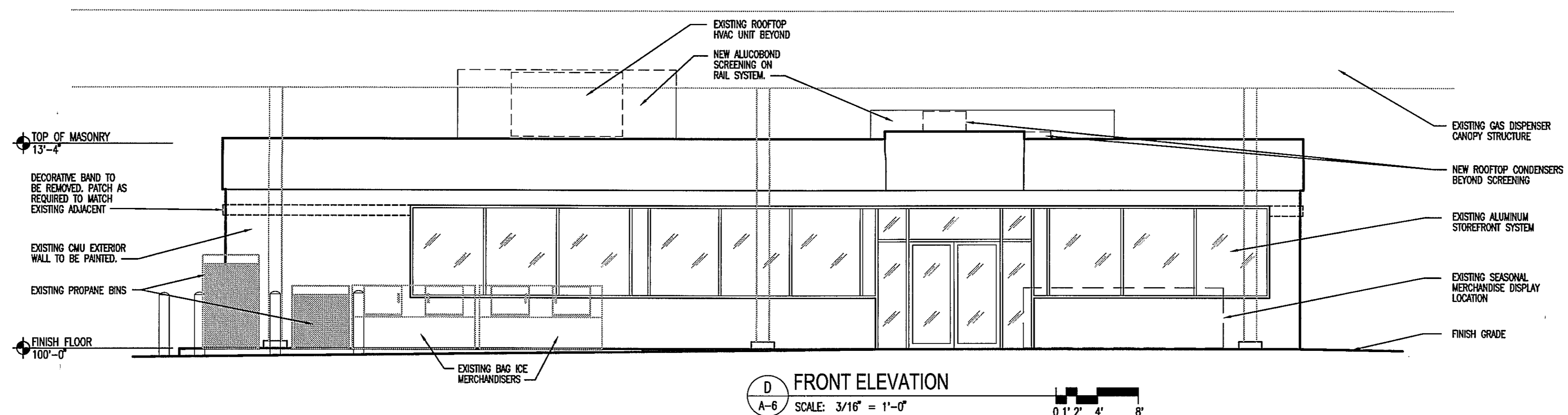
RIBA NO: 7664.31	DATE
DRAWN BY: DMY	05.25.12
CHECK BY: RTV	
DWG. NO.	

A-1

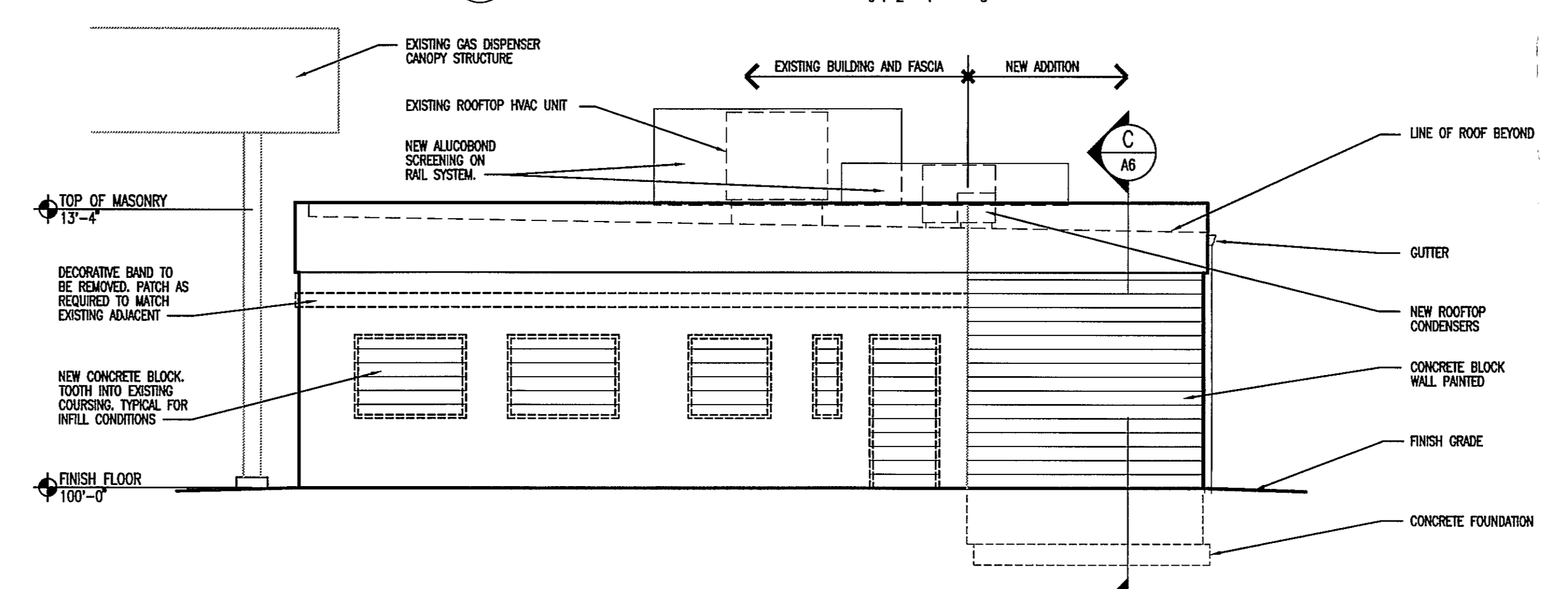
P:\186A\7664.31_HOWELL_18770\ARCH\7664.31_A01.DWG 05.25.2012 11:42AM BY RYAN WANKO



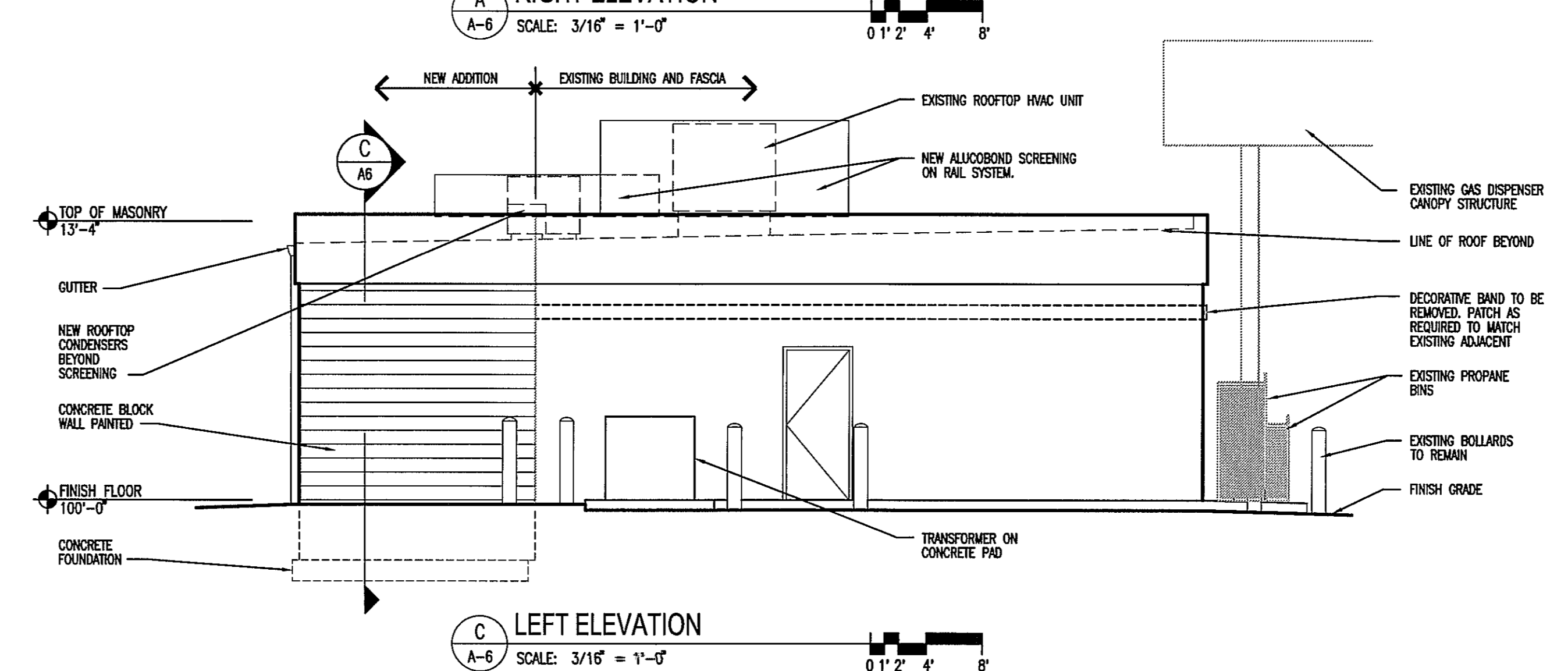
B REAR ELEVATION
SCALE: 3/16" = 1'-0"
0' 1' 2' 4' 8'



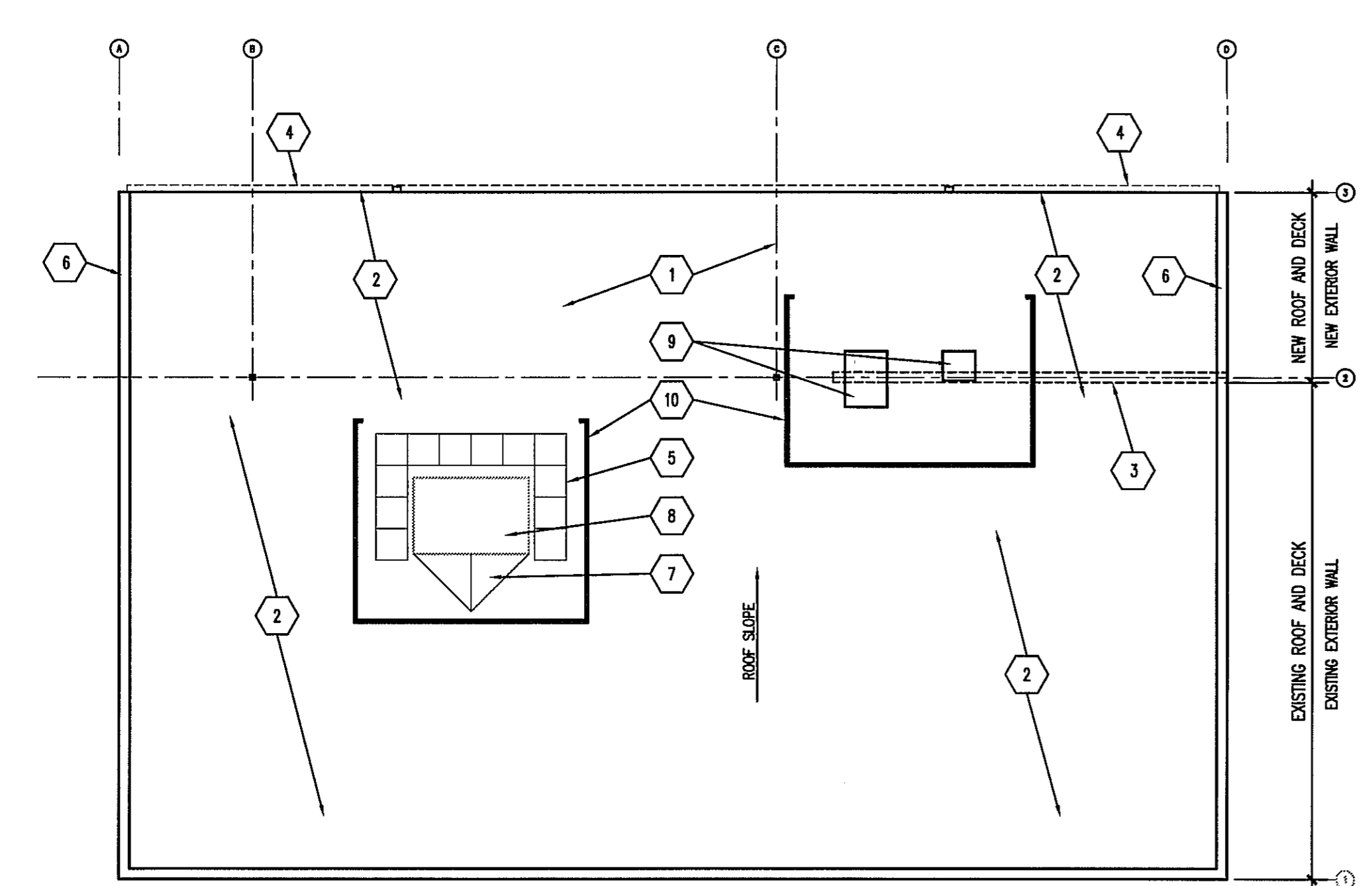
D FRONT ELEVATION
SCALE: 3/16" = 1'-0"
0' 1' 2' 4' 8'



A RIGHT ELEVATION
SCALE: 3/16" = 1'-0"
0' 1' 2' 4' 8'



C LEFT ELEVATION
SCALE: 3/16" = 1'-0"
0' 1' 2' 4' 8'



E ROOF PLAN
SCALE: 1/8" = 1'-0"
0' 1' 2' 4' 8'

ELEVATION GENERAL NOTES:

- A. STOREFRONT FRAMING SYSTEM IS EXISTING TO REMAIN.
- B. NEW CONCRETE BLOCK MATCH EXISTING IN SIZE, SHAPE, AND TEXTURE.
- C. CONCRETE BLOCK BONDING TO MATCH EXISTING. TOOTH ALL NEW BLOCK INTO EXISTING WALLS WHERE INDICATED. PROVIDE CONTROL JOINTS WHERE INDICATED.
- D. ATTENDANT COUNTER SIDE OF BUILDING STOREFRONT TO RECEIVE WINDOW SHADES FOR ANY SOUTHERLY OR WESTERLY EXPOSURES, UP TO, BUT NOT INCLUDING, THE FLOOR-TO-CEILING TEMPERED GLASS PANE NEXT TO THE ENTRANCE DOORS. SEE PLOT PLAN. SHADES TO BE TRANSLUCENT CLUTCH ROLLER SHADES (TCR SHADES). CONTRACTOR SHALL PLACE ORDER BY CONTACTING:
INSIDE OUTFITTERS
PHONE: 1-800-334-5252
- E. WHEN INSTALLING SIGNAGE, TAKE CARE TO ALIGN SIGN EDGES PLUMB AND SQUARE WITH BUILDING SURFACES. MAINTAIN UNIFORM AVERAGE SPACING BETWEEN BACK OF SIGN AND BUILDING WALL FACE.
- F. ALL EXTERIOR DOORS & FRAMES, AND LOUVERS (EXCLUDING ALUMINUM STOREFRONT) ARE TO BE PAINTED SHERWIN-WILLIAMS 'P3', SEE FINISH PLAN AND SCHEDULE.
- G. SEE PLOT PLAN FOR ANY SITE SPECIFIC BLOCK REQUIREMENTS THAT DEVIATE FROM THIS STANDARD DRAWING.
- H. ALL ELECTRICAL RECEPTACLES AND WALL HYDRANTS TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL DRAWINGS. IN CASE OF A DISCREPANCY CONTACT PROJECT MANAGER. ANY ELECTRICAL RECEPTACLES IN A FIRE-RATED WALL SHALL BE TESTED FOR USE IN THE FIRE-RESISTANT RATED ASSEMBLY AND INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING.
- I. HOSE BIBS AND RECEPTACLES ARE SHOWN FOR REFERENCE. SEE ELECTRICAL AND PLUMBING PLANS FOR EXACT LOCATIONS.
- J. PAINT EXISTING AND NEW ADDITION EXTERIOR CONCRETE MASONRY UNIT WALLS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS:
PRIMER: SHER-CRYL, B66W351
COLOR: SW6057 MOCHA
2.5-4.0 MILS DFT
TOP COAT: SHER-CRYL, B66W351
COLOR: SW6057 MOCHA
2.5-4.0 MILS DFT

ROOFING CONSTRUCTION NOTES:

- ALL ROOF CONDITIONS:**
1. CONTRACTOR TO PROVIDE & INSTALL ALL FLASHING, GUTTERS, DOWNSPOUTS & ALL RELATED MATERIALS TO COMPLETE THIS ROOF AREA. SLOPE TO GUTTERS AS INDICATED.

ROOFING GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WATER TIGHT ROOFING SYSTEM.
- B. CONTRACTOR IS RESPONSIBLE FOR PROVIDING & INSTALLING ROOF EDGE AND RIDGE FLASHING. ALL COUNTER FLASHING, ROOF PENETRATION BOOTS, GUTTERS & DOWNSPOUTS, ROOF INSULATION & ROOF MEMBRANE.
- C. ALL FLASHING TO BE PREFINISHED OR JOB PAINTED TO MATCH TRIM COLOR. INSTALL PREFINISHED GUTTERS AND DOWNSPOUTS.
- D. CONTRACTOR TO PROVIDE & INSTALL BLOCKING AS REQUIRED TO SUPPORT PIPING.

APPROVED ROOFING SYSTEMS:

NOTE: SUBSTITUTION OF ROOFING MATERIALS OF EQUIVALENT QUALITY SHALL BE MADE ONLY WITH APPROVAL OF PROJECT MANAGER.

THE DURO-LAST ROOFING SYSTEM CONSISTS OF A THERMOPLASTIC FORMULATED MEMBRANE CONTAINING RESINS, PLASTICIZERS, STABILIZERS, MILDEWICIDES, FLAME RETARDANTS, AND U.V. ABSORBENTS. THE MEMBRANE IS LAMINATED TO A WFT INSERTION KNITTED SCRM.

THE DURO-LAST SINGLE PLY ROOF MEMBRANE IS 0.04" THICK AND WEIGHS 0.25 POUNDS PER SQUARE FOOT. THE MEMBRANE CAN BE PROVIDED IN SECTIONS OF UP TO 2500 SQUARE FEET WITH NO DIMENSION EXCEEDING 100'. THE MEMBRANE IS ATTACHED TO THE ROOF DECK BY MECHANICALLY FASTENING THE SECUREMENT TABS OF THE MEMBRANE WITH APPROVED FASTENERS. SECTIONS OF MEMBRANE ARE OVERLAPPED A MINIMUM OF 6" AND ARE FIELD HEAT-WELDED TOGETHER TO FORM A ONE PIECE WATER TIGHT SYSTEM.

A LIMITED FIFTEEN YEAR WARRANTY AGAINST LEAKS CAUSED BY DEFECTS IN THE MEMBRANE MATERIALS AND ACCESSORIES IS PROVIDED.

THE WALKWAY PADS ARE PROVIDED IN TWO (2) SIZES:
A. 30" WIDE x 5'-0" LONG
B. 30" WIDE x 25'-0" LONG

DURO-LAST, INC.
525 WOKLEY DRIVE
SAGINAW, MI 48601
(800) 248-0280

CONSTRUCTION ROOF PLAN NOTES:

1. PROVIDE NEW ROOF, INSULATION, AND METAL DECK.
2. EXISTING ROOF TO TO BE REPLACED. EXISTING INSULATION AND METAL DECK TO REMAIN. REFER TO SPECIFICATIONS THIS SHEET.
3. EXISTING PARAPET WALL TO BE REMOVED TO BELOW ROOF DECK. PATCH AND OVERLAP NEW STEEL DECK PER STRUCTURAL DRAWINGS.
4. NEW PREFINISHED METAL GUTTER. REFER TO WALL SECTIONS.
5. PROVIDE WALK PAD AT EXISTING RTU.
6. PROVIDE NEW METAL COPING TYPICAL AT NEW WALLS.
7. PROVIDE TAPERED INSULATION AT RTU FOR POSITIVE DRAINAGE.
8. EXISTING RTU TO REMAIN.
9. NEW ROOFTOP CONDENSER UNITS. SEE MECHANICAL DWGS.
10. NEW ALUCOBOND SCREENING ON ALUMINUM RAIL SYSTEM. SEE ARCHITECTURAL & STRUCTURAL DETAILS.

RICHARD L. BOWEN + ASSOCIATES INC.
13000 Starbuck Boulevard / Cleveland, OH 44120
Phone: (216) 491-3300 Fax: (216) 491-8833
www.rlb.com email@rlba.com

NOTICE
THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.
RICHARD L. BOWEN + ASSOCIATES INC. COPYRIGHT YEAR 2012

Speedway.
STORE #1870
STORE TYPE: 1994 BUILDING
COUNTY: LIVINGSTON

NO.	REVISIONS	DATE

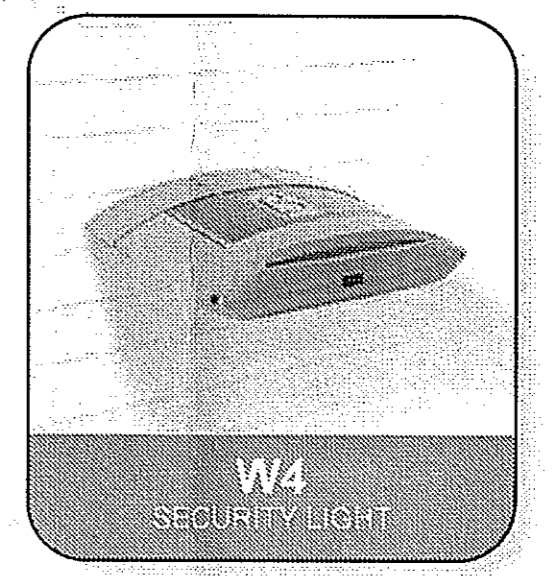
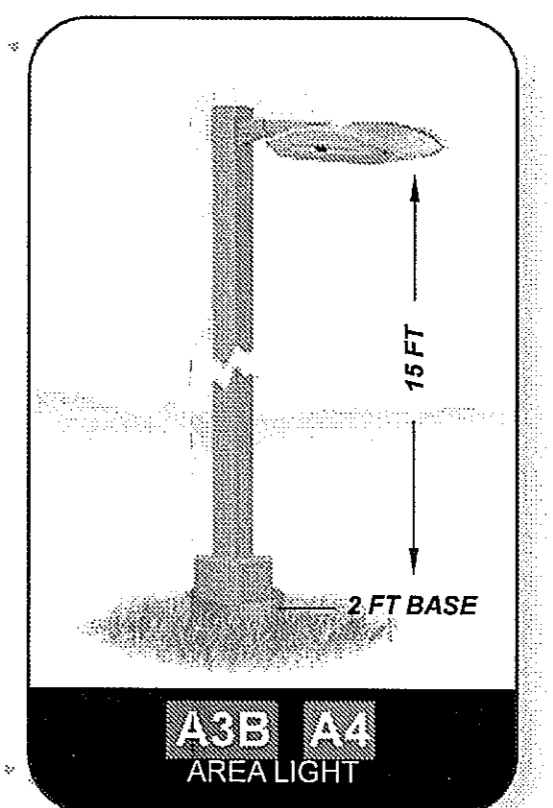
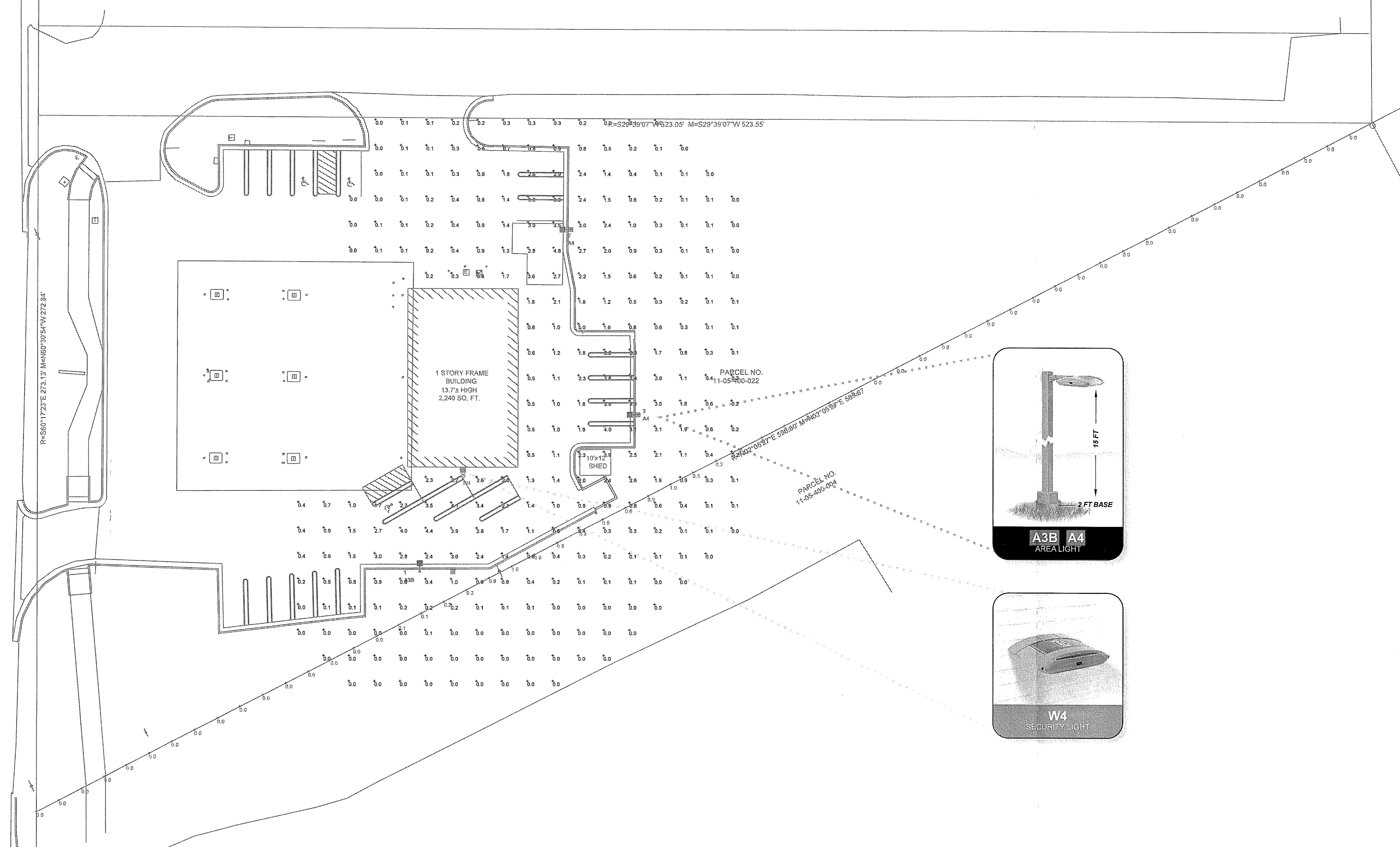
ALTERATIONS & IMPROVEMENTS FOR:
Speedway.
3698 E. GRAND RIVER AVE.
HOWELL, MICHIGAN 48843

BLDG ELEVATIONS & SECTIONS

RLBA NO: 7664.31 DATE: 05.25.12
DRAWN BY: DMV/ETC
CHECK BY: RTV
DRWG. NO. **A-5**

P:\7664\7664.31 HOWELL, MI #8770\ARCH\7664.31_AUS.DWG | PLOTTED 05.25.2012 11:39AM BY: RYAN HANCO

E. GRAND RIVER AVENUE (BUSINESS ROUTE I-96)
 (100' WIDE PUBLIC R.O.W.)
 (BITUMINOUS PAVEMENT)

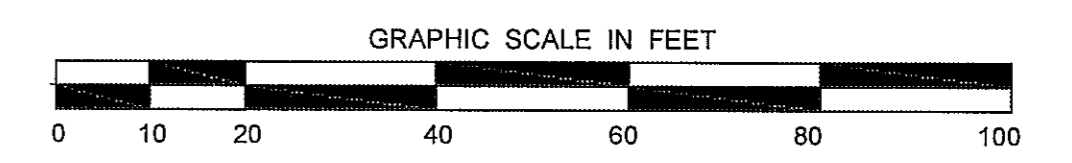


Symbol	Qty	Label	Arrangement	Lumens	LLF	Total Watts	Manufacturer	Description
○	1	A3B	SINGLE	7417	0.950	133	BETALED, A DIVISION OF RUUD LIGHTING	ARE-EDG-3M-DA-08-D-UL-BZ-525
○	2	A4	SINGLE	10575	0.950	266	BETALED, A DIVISION OF RUUD LIGHTING	ARE-EDG-4M-DA-08-D-UL-BZ-525
▸	1	W4	SINGLE	3627	0.950	45	BETALED, A DIVISION OF RUUD LIGHTING	SEC-EDG-3M-WM-04-D-UL-BZ-350

LumNo	Label	MTG HEIGHT	Tilt
1	A3B	17	0
2	A4	17	0
3	A4	17	0
5	W4	12	0

Label	Avg	Max	Min	Avg/Min	Max/Min
OVERALL	0.91	4.8	0.0	N.A.	N.A.
PROPERTY LINE	0.13	1.0	0.0	N.A.	N.A.

FOOTCANDLE LEVELS CALCULATED AT GRADE USING PREDICTED LUMEN VALUES AFTER 50K HRS OF OPERATION

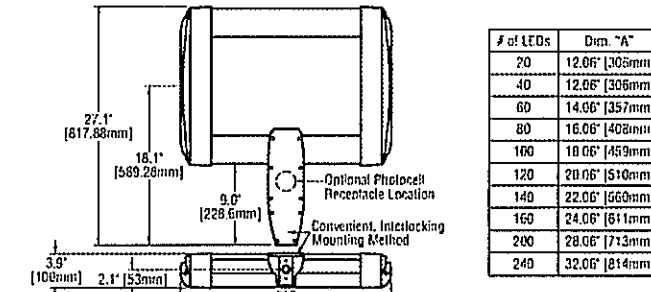
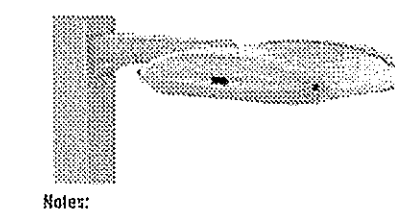


REV.	BY	DATE	DESCRIPTION
R1	DAR	4/9/12	UPDATED PER CORRECT SITE BACKGROUND PLAN
R2	DAR	4/30/12	UPDATED TO COMPLY WITH 1.0 MAX. FC AT PROPERTY LINE

SCALE: 1" = 20'	DATE: 4/9/12	LAYOUT BY: DAR	PROJECT NAME: SPEEDWAY #8770 HOWELL, MI	DWG SIZE: D	SHEET: 1 OF 2	DRAWING NUMBER: RL-0607-S1-R2	 5630 BRIDGETOWN RD., STE. 2 CINCINNATI, OH 45249 (513) 574-8500
<small>Illumination results shown on this lighting design are based on projected parameters provided by the manufacturer listed, used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy codes.</small>			<small>Building, canopy, dispenser & sign images for reference only. These images may vary. Any revisions to these images may not be reflected on this lighting plan.</small>				

AREA LIGHTS

ARE-EDG-3M-DA THE EDGE® LED Area Light – Type III Medium Rev. Date: 8/23/11



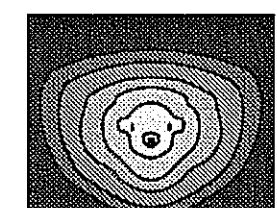
Part No.	Dim. "X"
30	12" (305mm)
32	12" (305mm)
34	12" (305mm)
36	12" (305mm)
38	12" (305mm)
40	12" (305mm)
42	12" (305mm)
44	12" (305mm)
46	12" (305mm)
48	12" (305mm)
50	12" (305mm)
52	12" (305mm)
54	12" (305mm)
56	12" (305mm)
58	12" (305mm)
60	12" (305mm)
62	12" (305mm)
64	12" (305mm)
66	12" (305mm)
68	12" (305mm)
70	12" (305mm)
72	12" (305mm)
74	12" (305mm)
76	12" (305mm)
78	12" (305mm)
80	12" (305mm)
82	12" (305mm)
84	12" (305mm)
86	12" (305mm)
88	12" (305mm)
90	12" (305mm)
92	12" (305mm)
94	12" (305mm)
96	12" (305mm)
98	12" (305mm)
100	12" (305mm)
102	12" (305mm)
104	12" (305mm)
106	12" (305mm)
108	12" (305mm)
110	12" (305mm)
112	12" (305mm)
114	12" (305mm)
116	12" (305mm)
118	12" (305mm)
120	12" (305mm)
122	12" (305mm)
124	12" (305mm)
126	12" (305mm)
128	12" (305mm)
130	12" (305mm)
132	12" (305mm)
134	12" (305mm)
136	12" (305mm)
138	12" (305mm)
140	12" (305mm)
142	12" (305mm)
144	12" (305mm)
146	12" (305mm)
148	12" (305mm)
150	12" (305mm)
152	12" (305mm)
154	12" (305mm)
156	12" (305mm)
158	12" (305mm)
160	12" (305mm)
162	12" (305mm)
164	12" (305mm)
166	12" (305mm)
168	12" (305mm)
170	12" (305mm)
172	12" (305mm)
174	12" (305mm)
176	12" (305mm)
178	12" (305mm)
180	12" (305mm)
182	12" (305mm)
184	12" (305mm)
186	12" (305mm)
188	12" (305mm)
190	12" (305mm)
192	12" (305mm)
194	12" (305mm)
196	12" (305mm)
198	12" (305mm)
200	12" (305mm)

QTY - 1 LABEL - A3B 3M SINGLE BACKSHIELD

Product	Family	Optic	Mounting	# of LEDs (± 1%)	LED Series	Voltage	Color	Drive Current mA	Factory-Installed Options
ARE	EDG	3M*	DA*	02	D	UL	SV	350	43K 4500K Color Temperature*
		3MP		04		UL	SV	350mA	DIM 0-10V Dimming**
				05		UL	SV	350	F Fuzes**
				08		UL	UL	525mA	HL Hi-Low (175/350/525, dual circuit input)*
				09		UL	UL	350	P Phosorcell**
				12		UL	BZ	700mA	B NEMA Phosorcell Receptacle**
				14		UL	FB		ML Multi-Level (75/225)**
				16		UL	WB		
				20		UL	BZ		
				24		UL	WB		

- Footnotes:**
- IESNA Type III Medium Distribution
 - IESNA Type III Medium Distribution w/ backlight control
 - Direct mounting arm for use with 3-4" (76-102mm) beam or recessed
 - Available on fixtures with 30-140 LEDs
 - Available on fixtures with 20-80 LEDs
 - Color temperature per fixture, 5000K standard, minimum 70 DIM
 - Control by others
 - Refer to drawing spec sheet for availability and additional information
 - Not available when ILL voltage is selected
 - When color decoder setting use time delay loss
 - Not available with all multi-level options. Refer to multi-level spec sheet for availability and additional information
 - Not available when ILL voltage is selected
 - Refer to multi-level spec sheet for availability and additional information
 - Not available when ILL voltage is selected
 - When color decoder setting use time delay loss
 - Phosorcell by others

Initial Deliverable		System		LED Performance		IESNA Type III Medium Distribution		IESNA Type III Medium Distribution w/ Backlight Control	
# of LEDs	Beam Diameter (mm)	Beam Diameter (mm)	Beam Diameter (mm)	Total Current (mA)	Color Temperature (K)	Total Current (mA)	Color Temperature (K)	Total Current (mA)	Color Temperature (K)
02	250	250	250	700	350	700	350	700	350
04	250	250	250	1400	350	1400	350	1400	350
05	250	250	250	1750	350	1750	350	1750	350
08	250	250	250	3500	350	3500	350	3500	350
09	250	250	250	3500	525	3500	525	3500	525
12	250	250	250	7000	700	7000	700	7000	700
14	250	250	250	7000	350	7000	350	7000	350
16	250	250	250	7000	350	7000	350	7000	350
20	250	250	250	14000	350	14000	350	14000	350
24	250	250	250	14000	350	14000	350	14000	350

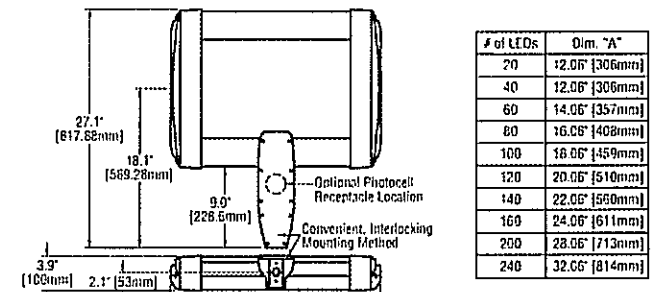
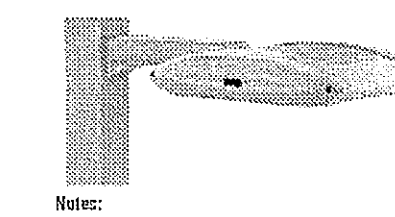


ARE-EDG-3M-B-DA-08-D-UL-BZ-525

© 2011 BetaLED®, a division of Ruud Lighting • 1200 92nd Street • Starkeville, WI 53177 • 800-236-6800 • www.betaLED.com
Made in the U.S.A. of U.S. and Imported parts.
Meets Buy American requirements within the ABRA.

AREA LIGHTS

ARE-EDG-4M-DA THE EDGE® LED Area Light – Type IV Medium Rev. Date: 8/23/11



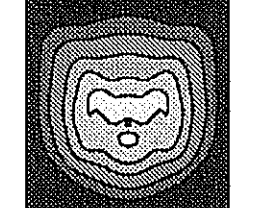
Part No.	Dim. "X"
30	12" (305mm)
32	12" (305mm)
34	12" (305mm)
36	12" (305mm)
38	12" (305mm)
40	12" (305mm)
42	12" (305mm)
44	12" (305mm)
46	12" (305mm)
48	12" (305mm)
50	12" (305mm)
52	12" (305mm)
54	12" (305mm)
56	12" (305mm)
58	12" (305mm)
60	12" (305mm)
62	12" (305mm)
64	12" (305mm)
66	12" (305mm)
68	12" (305mm)
70	12" (305mm)
72	12" (305mm)
74	12" (305mm)
76	12" (305mm)
78	12" (305mm)
80	12" (305mm)
82	12" (305mm)
84	12" (305mm)
86	12" (305mm)
88	12" (305mm)
90	12" (305mm)
92	12" (305mm)
94	12" (305mm)
96	12" (305mm)
98	12" (305mm)
100	12" (305mm)
102	12" (305mm)
104	12" (305mm)
106	12" (305mm)
108	12" (305mm)
110	12" (305mm)
112	12" (305mm)
114	12" (305mm)
116	12" (305mm)
118	12" (305mm)
120	12" (305mm)
122	12" (305mm)
124	12" (305mm)
126	12" (305mm)
128	12" (305mm)
130	12" (305mm)
132	12" (305mm)
134	12" (305mm)
136	12" (305mm)
138	12" (305mm)
140	12" (305mm)
142	12" (305mm)
144	12" (305mm)
146	12" (305mm)
148	12" (305mm)
150	12" (305mm)
152	12" (305mm)
154	12" (305mm)
156	12" (305mm)
158	12" (305mm)
160	12" (305mm)
162	12" (305mm)
164	12" (305mm)
166	12" (305mm)
168	12" (305mm)
170	12" (305mm)
172	12" (305mm)
174	12" (305mm)
176	12" (305mm)
178	12" (305mm)
180	12" (305mm)
182	12" (305mm)
184	12" (305mm)
186	12" (305mm)
188	12" (305mm)
190	12" (305mm)
192	12" (305mm)
194	12" (305mm)
196	12" (305mm)
198	12" (305mm)
200	12" (305mm)

QTY - 2 LABEL - A4 4M SINGLE

Product	Family	Optic	Mounting	# of LEDs (± 1%)	LED Series	Voltage	Color	Drive Current mA	Factory-Installed Options
ARE	EDG	4M*	DA*	02	D	UL	SV	350	43K 4500K Color Temperature*
		4MP		04		UL	SV	350mA	DIM 0-10V Dimming**
				05		UL	SV	350	F Fuzes**
				08		UL	UL	525mA	HL Hi-Low (175/350/525, dual circuit input)*
				09		UL	UL	350	P Phosorcell**
				12		UL	BZ	700mA	B NEMA Phosorcell Receptacle**
				14		UL	FB		ML Multi-Level (75/225)**
				16		UL	WB		
				20		UL	BZ		
				24		UL	WB		

- Footnotes:**
- IESNA Type IV Medium Distribution
 - IESNA Type IV Medium Distribution w/ backlight control
 - Direct mounting arm for use with 3-4" (76-102mm) beam or recessed
 - Available on fixtures with 20-140 LEDs
 - Available on fixtures with 20-80 LEDs
 - Color temperature per fixture, 5000K standard, minimum 70 DIM
 - Control by others
 - Refer to drawing spec sheet for availability and additional information
 - Not available when ILL voltage is selected
 - When color decoder setting use time delay loss
 - Not available when ILL voltage is selected
 - Refer to multi-level spec sheet for availability and additional information
 - Not available when ILL voltage is selected
 - When color decoder setting use time delay loss
 - Phosorcell by others

Initial Deliverable		System		LED Performance		IESNA Type IV Medium Distribution		IESNA Type IV Medium Distribution w/ Backlight Control	
# of LEDs	Beam Diameter (mm)	Beam Diameter (mm)	Beam Diameter (mm)	Total Current (mA)	Color Temperature (K)	Total Current (mA)	Color Temperature (K)	Total Current (mA)	Color Temperature (K)
02	250	250	250	700	350	700	350	700	350
04	250	250	250	1400	350	1400	350	1400	350
05	250	250	250	1750	350	1750	350	1750	350
08	250	250	250	3500	350	3500	350	3500	350
09	250	250	250	3500	525	3500	525	3500	525
12	250	250	250	7000	700	7000	700	7000	700
14	250	250	250	7000	350	7000	350	7000	350
16	250	250	250	7000	350	7000	350	7000	350
20	250	250	250	14000	350	14000	350	14000	350
24	250	250	250	14000	350	14000	350	14000	350

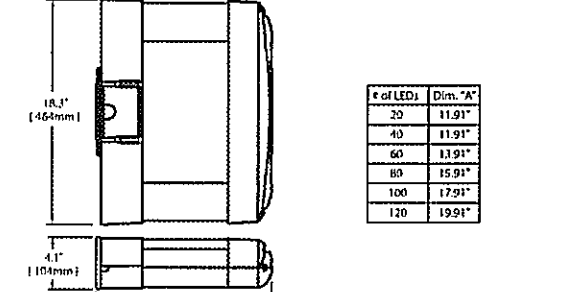
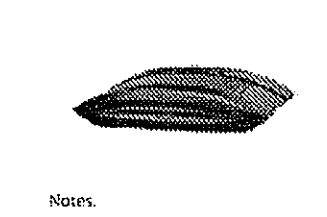


ARE-EDG-4M-DA-08-D-UL-BZ-525

© 2011 BetaLED®, a division of Ruud Lighting • 1200 92nd Street • Starkeville, WI 53177 • 800-236-6800 • www.betaLED.com
Made in the U.S.A. of U.S. and Imported parts.
Meets Buy American requirements within the ABRA.

WALL MOUNTED LIGHTS

SEC-EDG-3M-WM THE EDGE® LED Wall Pack Rev. Date: 8/30/11



Part No.	Dim. "X"
30	11" (279mm)
32	11" (279mm)
34	11" (279mm)
36	11" (279mm)
38	11" (279mm)
40	11" (279mm)
42	11" (279mm)
44	11" (279mm)
46	11" (279mm)
48	11" (279mm)
50	11" (279mm)
52	11" (279mm)
54	11" (279mm)
56	11" (279mm)
58	11" (279mm)
60	11" (279mm)
62	11" (279mm)
64	11" (279mm)
66	11" (279mm)
68	11" (279mm)
70	11" (279mm)
72	11" (279mm)
74	11" (279mm)
76	11" (279mm)
78	11" (279mm)
80	11" (279mm)
82	11" (279mm)
84	11" (279mm)
86	11" (279mm)
88	11" (279mm)
90	11" (279mm)
92	11" (279mm)
94	11" (279mm)
96	11" (279mm)
98	11" (279mm)
100	11" (279mm)
102	11" (279mm)
104	11" (279mm)
106	11" (279mm)
108	11" (279mm)
110	11" (279mm)
112	11" (279mm)
114	11" (279mm)
116	11" (279mm)
118	11" (279mm)
120	11" (279mm)
122	11" (279mm)
124	11" (279mm)
126	11" (279mm)
128	11" (279mm)
130	11" (279mm)
132	11" (279mm)
134	11" (279mm)
136	11" (279mm)
138	11" (279mm)
140	11" (279mm)
142	11" (279mm)
144	11" (279mm)
146	11" (279mm)
148	11" (279mm)
150	11" (279mm)
152	11" (279mm)
154	11" (279mm)
156	11" (279mm)
158	11" (279mm)
160	11" (279mm)
162	11" (279mm)
164	11" (279mm)
166	11" (279mm)
168	11" (279mm)
170	11" (279mm)
172	11" (279mm)
1	

6/8/2012

Genoa Twp Board,

I am requesting a permit again for this July's fire works, as I have put up the last 8 years for the public to enjoy at no cost to the Twp. 4127 Clifford Rd same site as past years with all most identical shells. Thank you in advance. All req paperwork is encl.

Sincerely Calvin Heckman Jr
Calvin Heckman Jr

2012
~~2011~~

Application for Fireworks Display Permit
Michigan Department of Energy, Labor, & Economic Growth
Bureau of Fire Services
P.O. Box 30700
Lansing, MI 48909
(517) 241-8847

Authority: 1968 PA 358 Compliance: Voluntary Penalty: Permit will not be issued	The Department of Energy, Labor & Economic Growth will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this agency.
---	--

<input checked="" type="checkbox"/> Public Display		<input type="checkbox"/> Agricultural Pest Control		DATE OF APPLICATION 5-22-2012
NAME OF APPLICANT Calvin Heckman Jr		ADDRESS 4263 Clifford Rd		AGE (18 or over) 53
IF A CORPORATION, NAME OF PRESENT		ADDRESS		
IF A NON-RESIDENT APPLICANT, NAME OF MICHIGAN ATTORNEY OR RESIDENT AGENT		ADDRESS		TELEPHONE NUMBER
NAME OF PYROTECHNIC OPERATOR Calvin Heckman Jr		ADDRESS SAME		AGE (18 or over) 53
NO. YEARS EXPERIENCE 11	NO. DISPLAYS 16	WHERE INDIANA and MI		
NAME OF ASSISTANT NONE		ADDRESS		AGE
NAME OF OTHER ASSISTANT		ADDRESS		AGE
EXACT LOCATION OF PROPOSED DISPLAY WATERS Edge 4122 Clifford				
DATE OF PROPOSED DISPLAY JULY 07 2012		TIME OF PROPOSED DISPLAY 10 15 PM		
NUMBER OF FIREWORKS		KIND OF FIREWORKS TO BE DISPLAYED		
36	3" Assort Shells			
72	4" Assort Shells			
28	5" Assort Shells			
10	6" Assort Shells			
6	8" Assort Shells			
Rain Date of July 7 th 2012				
MANNER AND PLACE OF STORAGE PRIOR TO DISPLAY (Subject to Approval of Local Fire Authorities) Kings Berry IN, State Regulated Bunker Storage Set UP + Shot SAME DAY!				
AMOUNT OF BOND OR INSURANCE (To be set by local government) 1,000,000		NAME OF BONDING CORPORATION OR INSURANCE COMPANY Lloyds of London		
ADDRESS OF BONDING CORPORATION OR INSURANCE COMPANY 205 San Marin Dr suite #5 Novato, CA 94945				
SIGNATURE OF APPLICANT Calvin Heckman Jr				

* FORM IS VALID FOR YEAR SHOWN ONLY *

Certificate of Insurance

110994

Issue Date: 4/27/2012

PRODUCER
 Deborah Merlino
 Combined Specialties International, Inc.
 205 San Marin Drive, Suite 5
 Novato, California 94945

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
 RKM Fireworks Company
 St. Evans, Inc.
 27383 May Street
 Edwardsburg, MI 49112

INSURER A: Underwriters, Lloyd's London

INSURER B:

INSURER C:

INSURER D:

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE NAMED INSURED ABOVE FOR THE PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES INCLUDING, BUT NOT LIMITED TO THOSE FOLLOWING: LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS, ADDITIONAL CONDITIONS AND EXCLUSIONS: 1) THE INSURANCE EVIDENCED BY THIS CERTIFICATE IS LIABILITY INSURANCE ONLY, IT IS NOT A BOND OR ANY FORM OF SURETY AGAINST WHICH SOMEONE OTHER THAN "INSURED" MAY ASSERT A CLAIM OR BRING ANY ACTION, SUBJECT TO POLICY TERMS, CONDITIONS, DEFINITIONS AND EXCLUSIONS THE INSURANCE ONLY INDEMNIFIES AN INSURED AGAINST CERTAIN LEGAL LIABILITY. 2) THE INSURANCE DOES NOT COVER CLAIMS FOR BODILY INJURY OR PROPERTY DAMAGE OF THE NAMED INSURED'S SHOOTER(S) ASSISTANT(S) OR ANY OTHER PERSON(S) INCLUDING ANY VOLUNTEER(S) PARTICIPATING IN ANY WAY IN ANY DISPLAY OR SPECIAL EFFECT PERFORMED OR EXECUTED BY THE NAMED INSURED. 3) COVERAGE DOES NOT APPLY TO CLAIMS FOR BODILY INJURY OR PROPERTY DAMAGE ARISING OUT OF THE INSURED'S FAILURE TO FOLLOW NFPA OR OTHER APPLICABLE REQUIREMENTS, LAWS OR RECOMMENDATIONS, INCLUDING THOSE RELATING TO POST DISPLAY OR SPECIAL EFFECT SEARCHES OR CLEAN UP.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (DD/MM/YY)	POLICY EXPIRATION DATE (DD/MM/YY)	LIMITS	
A	GENERAL LIABILITY CLAIMS MADE	CSI-725761-11	10/8/2011	10/8/2012	EACH ACCIDENT	\$5,000,000
					MEDICAL EXP (any one person)	\$5,000
					FIRE LEGAL LIABILITY	\$50,000
					GENERAL AGGREGATE	\$5,000,000
					PRODUCTS-COMP/OPS AGG	\$1,000,000
	AUTOMOBILE LIABILITY ANY AUTO ANY OWNED AUTO SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Each accident)	
					BODILY INJURY (Per Person)	
					BODILY INJURY (Per Accident)	
					PROPERTY DAMAGE (Per person)	
	EXCESS LIABILITY FOLLOWING FORM				EACH ACCIDENT	
					AGGREGATE	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY OTHER LIMITS	
					E.L. EACH ACCIDENT	
					E.L. DISEASE-EA EMPLOYER	
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Tri Lakes Association are Additional Insured as respects the June 30, 2012 (RD: July 7, 2012) 1.3G Fireworks Display at Crooked Lake

CERTIFICATE HOLDER

Tri Lakes Association
 4263 Clifford
 Brighton, MI 48116

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

Deborah M. Merlino

AUTHORIZED REPRESENTATIVE



U.S. Department of Justice
 Bureau of Alcohol, Tobacco, Firearms and Explosives
 Federal Explosives Licensing Center
 244 Needy Road
 Martinsburg, West Virginia 25405

901090: CRR/FLS
 5400
 File Number: 4MI00995

08/25/2010

SUBJECT: EMPLOYEE POSSESSOR LETTER OF CLEARANCE for:

CALVIN HECKMAN

09/05/1958

SHOOTER
 (810)227-6307

4263 CLIFFORD ,
 BRIGHTON, MI 48116

and is ONLY valid under the following Federal explosives license/permit:

4-MI-027-51-2L-00995

RKM FIREWORKS CO
 27383 MAY ST
 EDWARDSBURG, MI 49112

Dear CALVIN HECKMAN:

You have been approved to transport, ship, receive or possess explosive materials as an employee possessor under the Federal explosive license or permit indicated above. **This clearance is only valid under the license or permit referenced above.**

Sincerely,

Christopher R. Reeves

Christopher R. Reeves
 Chief, Federal Explosives Licensing Center (FELC)

CALVIN HECKMAN

Letter of Clearance for:

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

To Whom it may Concern;

5-18

This Contingency Ltr is provided to let it be known that any shells that, for any reason, do not get used in the show will be taken from the show site and stored in a registered bunker

Calvin Heckman Jr
CALVIN HECKMAN Jr.

North Shore

Channel to
Little Crooked

PETTER
BARRIS

ANCHOR LANE

BAY

~~XXXXXXXX~~
SHOW
SITE

SWAMP

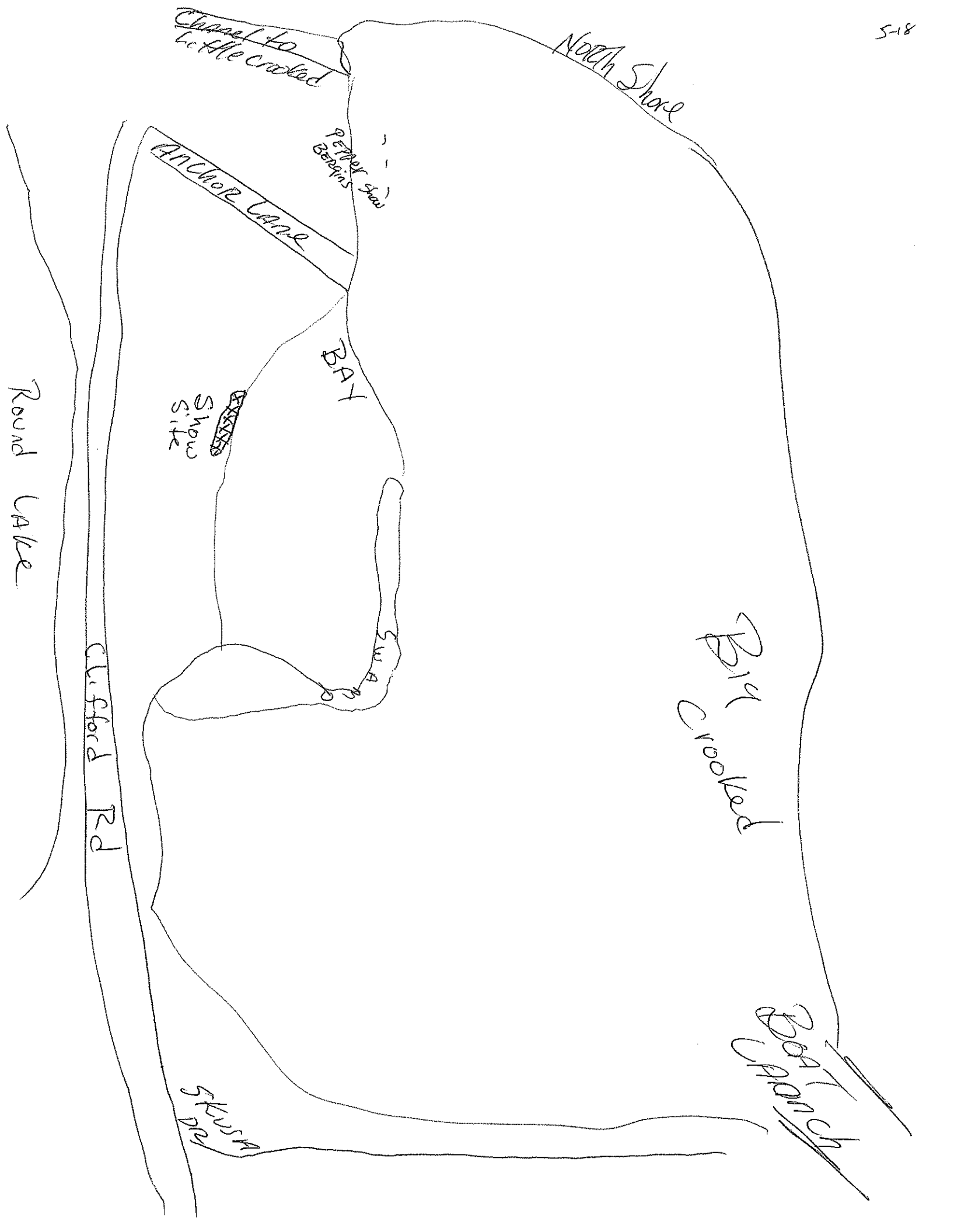
Bird
Crooked

~~Boat
Launch~~

AS
STRA
SPER

Cusford Rd

Round Lake



APPLICATION FOR FIREWORKS DISPLAY PERMIT

<input type="checkbox"/> PUBLIC DISPLAY		<input type="checkbox"/> AGRICULTURAL PEST CONTROL		Date of Application
Name of Applicant <u>Kurt Price</u>		Address <u>5393 Wildwood Dr.</u>		Age (18 or over)
Is a Corporation, Name of President <u>N/A</u>		Address <u>Howell, MI</u>		
Is a Nonresident Applicant: Name of Mich. Attorney or Res. Agent <u>N/A</u>		Address		Phone No.
Name of Pyrotechnic Operator <u>Rick Hennigar</u>		Address <u>325 Highlake Ann Arbor MI</u>		Age (18 or over) <u>50</u>
No. Years Experience <u>19+</u>	No. Displays <u>60+</u>	Where <u>State of Michigan</u>		
Name of Assistant <u>Rob Harris</u>		Address <u>609 Washington</u>		Age <u>43</u>
Name of Other Assistant		Address <u>Brighton, MI</u>		Age

Exact Location of Proposed Display
5393 Wildwood Howell, MI 300 ft NE from Waters Edge

Date of Proposed Display
6/30/12

Time of Proposed Display
10:00 P.M. (in Lake Chemistry)

NO. OF FIREWORKS	KIND OF FIREWORKS TO BE DISPLAYED
<u>Approx 65</u>	<u>3" Assorted Shells</u>
<u>65</u>	<u>4" Assorted Shells</u>
<u>15</u>	<u>Multi-Shots cakes from 5/8" Dia to 3" Dia</u>

Manner & Place of Storage Prior to Display (Subject to Approval of Local Fire Authorities)
Will not be stored - Delivered to shoot site on the day of use.

Amount of Bond or Insurance (to be set by local gov't.)
\$ 1,000,000

Name of Bonding Corporation or Insurance Company
Llyolds of London/combined specialties

Address of Bonding Corporation or Insurance Company
205 San Marin Drive Suite 5 Novato, CA 94945

Signature of Applicant

AUTHORITY: Act 358, P.A. of 1968
COMPLETION: Voluntary (but no permit will be issued without an application.)

Certificate of Insurance

110073

Issue Date: 4/16/2012

PRODUCER
 Deborah Merlino
 Combined Specialties International, Inc.
 205 San Marin Drive, Suite 5
 Novato, California 94945

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
 Phoenix & Patriot Fireworks Co.
 P.O. Box 23
 Brighton, MI 48116

INSURER A: Underwriters, Lloyd's London

INSURER B:

INSURER C:

INSURER D:

CANCELLATION
 THIS IS NOT A POLICY. IT IS A SUMMARY OF THE POLICIES COVERED BY THIS CERTIFICATE. THE POLICIES COVERED BY THIS CERTIFICATE ARE SUBJECT TO THE TERMS, CONDITIONS, COVERAGES, EXCLUSIONS, LIMITS, COINSURANCE, CONTRIBUTIONS, DEDUCTIBLES, AND OTHER PROVISIONS OF THE POLICIES THEMSELVES. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THE POLICIES COVERED BY THIS CERTIFICATE ARE SUBJECT TO THE TERMS, CONDITIONS, COVERAGES, EXCLUSIONS, LIMITS, COINSURANCE, CONTRIBUTIONS, DEDUCTIBLES, AND OTHER PROVISIONS OF THE POLICIES THEMSELVES. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THE POLICIES COVERED BY THIS CERTIFICATE ARE SUBJECT TO THE TERMS, CONDITIONS, COVERAGES, EXCLUSIONS, LIMITS, COINSURANCE, CONTRIBUTIONS, DEDUCTIBLES, AND OTHER PROVISIONS OF THE POLICIES THEMSELVES. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (DD/MM/YY)	POLICY EXPIRATION DATE (DD/MM/YY)	LIMITS	
A	GENERAL LIABILITY CLAIMS MADE	CSI-812933-12	2/1/2012	2/1/2013	EACH ACCIDENT	\$1,000,000
					MEDICAL EXP (any one person)	\$5,000
					FIRE LEGAL LIABILITY	\$50,000
					GENERAL AGGREGATE	\$2,000,000
					PRODUCTS-COMP/OPS AGG	\$1,000,000
	AUTOMOBILE LIABILITY ANY AUTO ANY OWNED AUTO SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Each accident)	
					BODILY INJURY (Per Person)	
					BODILY INJURY (Per Accident)	
					PROPERTY DAMAGE (Per person)	
	EXCESS LIABILITY FOLLOWING FORM				EACH ACCIDENT	
					AGGREGATE	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY OTHER LIMITS	
					E.L. EACH ACCIDENT	
					E.L. DISEASE-EA EMPLOYER	
					E.L. DISEASE-POLICY LIMIT	
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Kurt Price as property owner and the Township of Genoa, Livingston County, MI are Additional Insured as respects the June 30, 2012 (RD: July 1, 2012) Fireworks Display at 5393 Wildwood Drive, Howell, MI

CERTIFICATE HOLDER

Kurt Price
 5393 Wildwood Drive
 Howell, MI 48116

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL UNDERTAKE TO MAIL IN DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER HAND TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

Deborah M. Merlino

AUTHORIZED REPRESENTATIVE



DEPARTMENT OF THE TREASURY - BUREAU OF ALCOHOL, TOBACCO AND FIREARMS

LICENSE/PERMIT (18 U.S.C. CHAPTER 40, EXPLOSIVES)

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555) you may engage in the activity specified in this license/permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. See "WARNING" and "NOTICES" on back.

DIRECT ATF
CORRESPONDENCE
TO
Christopher R. Reeves
Chief, Federal Explosives Licensing Center (FELC)
Bureau of Alcohol, Tobacco, Firearms and Explosives
244 Needy Road
Martinsburg, West Virginia 25405
Telephone: 1-877-283-3352 Fax: 1-304-816-4401

LICENSE/
PERMIT
NUMBER

4-MI-093-24-3E-00957

EXPIRATION
DATE

May 1, 2013

NAME
PHOENIX FIREWORKS LLC

Premises Address CHANGES? You must notify the FELC at least 10 days before the move
880 DEADWOOD
BRIGHTON MI 48114

TYPE OF LICENSE OR PERMIT
24-IMPORTER OF LOW EXPLOSIVES

CHIEF, FEDERAL EXPLOSIVES LICENSING CENTER (FELC)
Christopher R. Reeves
Christopher R. Reeves

PURCHASING CERTIFICATION









I certify that this is a true copy of a license/permit issued to me to engage in the activity specified.

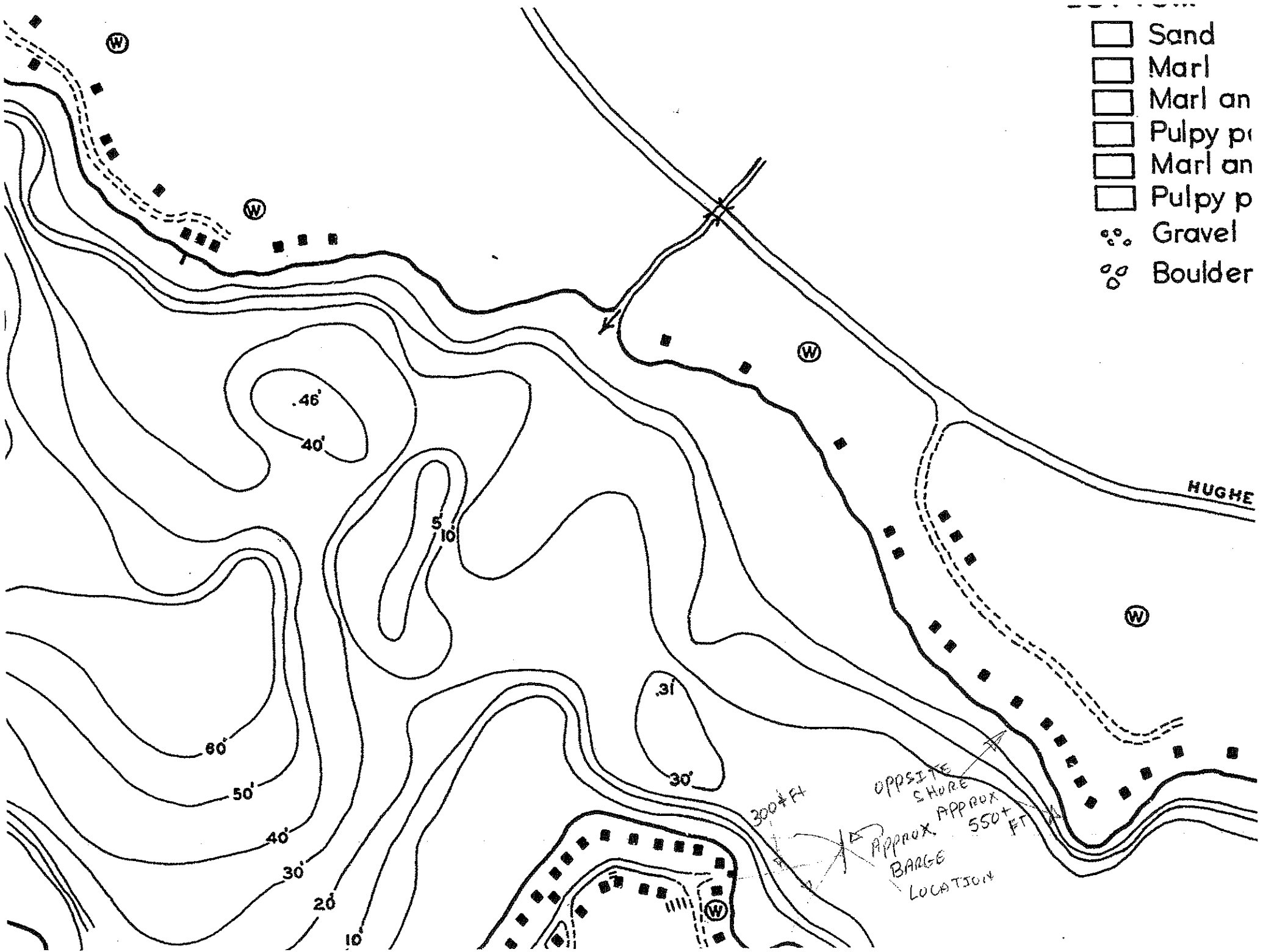
Jacob [Signature]
(SIGNATURE OF LICENSEE/PERMITEE)

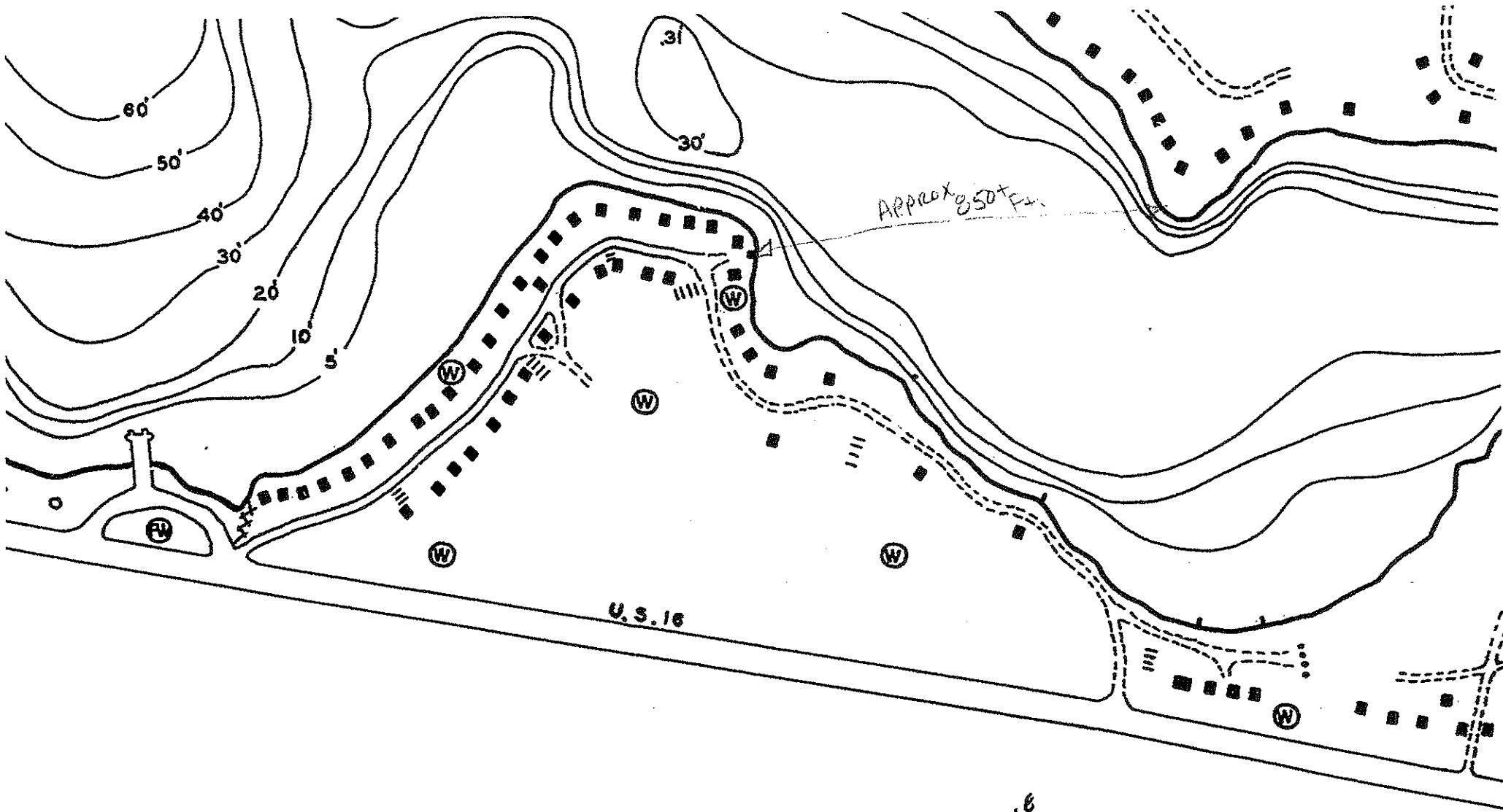
Mailing Address CHANGES? You must notify the FELC at least 10 days before the change

PHOENIX FIREWORKS LLC
PO BOX 254
BRIGHTON MI 48114

The licensee/permittee named herein shall use a reproduction of this license/permit to assist a transferor of explosives to verify the identity and status of the licensee/permittee as provided in 27 CFR Part 555. The signature on each reproduction must be an ORIGINAL signature.

-  Sand
-  Marl
-  Marl an
-  Pulpy p
-  Marl an
-  Pulpy p
-  Gravel
-  Boulder





Approx DISTANCE
SHORE TO SHORE
FROM 5393 WILDWOOD DR



MEMORANDUM

TO: Township Board

FROM: Mike Archinal 

DATE: 6/1/12

RE: Glenway Drive Road Improvements

We have been asked to provide an estimate for the reconstruction of Glenway Drive. We have developed an estimate, met with the Livingston County Road Commission and held an informational meeting for the residents.

There are 29 properties on Glenway Drive. Please find attached a spreadsheet showing the support of 20 owners representing 68% of the benefitted properties. The first two resolutions for special assessments under Public Act 188 are on your agenda this evening. Please consider approval of Resolution #1; To Proceed with the Project and Direct Preparation of the Plans and Cost Estimates and, Resolution #2; To Approve the Project, Schedule the First Hearing and Directing the Issuance of Statutory Notices.

As resolutions roll call votes are required.

Resolution #1 – Glenway Drive Road Improvement Project
Special Assessment Project (Summer 2012)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the “Township”) held at the Township Hall on June 4th, 2012, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____, and seconded by _____.

**Resolution to Proceed with the
Project and Direct
Preparation of the Plans and Cost Estimates**

WHEREAS, the Board of Trustees of the Township desires to create a special assessment district for a road improvement project to Glenway Drive within the Township as described in Exhibit A (the “Project”);

WHEREAS, the Board of Trustees of the Township has received petitions from owners of property adjoining Glenway Drive and determined to proceed with the Project in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Supervisor is directed to have plans prepared illustrating the Project, the location of the Project, and an estimate of the cost of the Project.

2. The plans and estimates identified in paragraph 1, when prepared, shall be filed with the Township Clerk.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSTAIN:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board (June 4th, 2012), at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus
Genoa Charter Township Clerk

EXHIBIT A

DESCRIPTION OF PROJECT A FIVE YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the “Project”) will consist of:

Description	Quantity	Unit	Unit Price	Total
Mobilization	1	LS	\$10,000	\$10,000
Removal of Pavement and Subsurface (5 Areas)	250	CY	\$20	\$5,000
Repair of Subbase (5 Areas)	170	CY	\$20	\$3,400
Aggregate Base, 8-inches under repair areas	85	CY	\$35	\$2,975
Hot Mix Asphalt, 2" 36A	740	tons	\$65	\$48,100
Undercut Allowance	1	LS	\$10,000	\$10,000
Bit Driveway Restoration	29	EA	\$800	\$23,200
Allowance for Drainage Work at Brighton and Glenway	1	LS	\$10,000	\$10,000
			Construction Sub-Total	\$113,000
			Contingencies – 20%	\$23,000
			Engineering, Legal, Administration – 20%	\$23,000
			Township Contribution - \$1,000 per parcel	(\$29,000)
			TOTAL	\$130,000

[Resolution #2 – Glenway Drive Road Improvement Project
Special Assessment Project (Summer 2012)]

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township of Livingston County, Michigan, (the “Township”) held at the Township Hall on June 4th, 2012, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by , and seconded by

**Resolution to Approve the Project,
Scheduling the First Hearing
and Directing the Issuance of Statutory Notices**

WHEREAS, the Board of Trustees of the Township has approved the Glenway Drive Road Improvement Project within the Township as described in Exhibit A (the “Project”);

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township Clerk;

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Project in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the special assessment district for the Project has been tentatively determined by the Township and is described in Exhibit B;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Board of Trustees of the Township hereby tentatively declares its intent to proceed with the Project.
2. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing on the Project and the proposed Special Assessment District for the Project which is known as the “Glenway Drive Road Improvement Project” (summer 2012) Special Assessment District.”
3. The public hearing will be held on June 18, 2012 at 6:30 p.m., at the offices of Genoa Charter Township, Livingston County, Michigan.

4. The Township Clerk is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the last Township tax assessment records. The last Township tax assessment records means the last assessment roll for ad valorem tax purposes which has been reviewed by the Township Board of Review, as supplemented by any subsequent changes in the names or addresses of such owners or parties listed thereon. The notice to be mailed by the Township Clerk shall be similar to the notice attached as Exhibit B and shall be mailed by first class mail on or before June 5th, 2012. Following the mailing of the notices, the Township Clerk shall complete an affidavit of mailing similar to the affidavit set forth in Exhibit C.

5. The Township Clerk is directed to publish a notice of the public hearing in the Livingston County Daily Press & Argus, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before June 8, 2012 and once on or before June 15, 2012. The notice shall be in a form substantially similar to the notice attached as Exhibit B.

A vote on the foregoing resolution was taken and was as follows:

YES:

NO:

ABSTAIN:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus
Genoa Charter Township Clerk

EXHIBIT A

DESCRIPTION OF PROJECT
A FIVE YEAR SPECIAL ASSESSMENT DISTRICT
WITH PROJECTED COSTS AS FOLLOWS:

The project (the “Project”) will consist of:

Description	Quantity	Unit	Unit Price	Total
Mobilization	1	LS	\$10,000	\$10,000
Removal of Pavement and Subsurface (5 Areas)	250	CY	\$20	\$5,000
Repair of Subbase (5 Areas)	170	CY	\$20	\$3,400
Aggregate Base, 8-inches under repair areas	85	CY	\$35	\$2,975
Hot Mix Asphalt, 2" 36A	740	tons	\$65	\$48,100
Undercut Allowance	1	LS	\$10,000	\$10,000
Bit Driveway Restoration	29	EA	\$800	\$23,200
Allowance for Drainage Work at Brighton and Glenway	1	LS	\$10,000	\$10,000
Construction Sub-Total				\$113,000
Contingencies – 20%				\$23,000
Engineering, Legal, Administration – 20%				\$23,000
Township Contribution - \$1,000 per parcel				(\$29,000)
TOTAL				\$130,000

EXHIBIT B

Genoa Charter Township
Livingston County, Michigan

NOTICE OF PUBLIC HEARING
UPON A PROPOSED GLENWAY DRIVE ROAD IMPROVEMENT PROJECT
AND SPECIAL ASSESSMENT DISTRICT FOR THE PROJECT

NOTICE IS HEREBY GIVEN:

(1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on June 18, 2012, at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review the following proposed special assessment district:

GENOA CHARTER TOWNSHIP – GLENWAY DRIVE ROAD IMPROVEMENT PROJECT
AND SPECIAL ASSESSMENT DISTRICT (Summer 2012)
(A five-year program with costs as follows)

and to hear any objections thereto and to the proposed project.

The project (the “Project”) will consist of:

Description	Quantity	Unit	Unit Price	Total
Mobilization	1	LS	\$10,000	\$10,000
Removal of Pavement and Subsurface (5 Areas)	250	CY	\$20	\$5,000
Repair of Subbase (5 Areas)	170	CY	\$20	\$3,400
Aggregate Base, 8-inches under repair areas	85	CY	\$35	\$2,975
Hot Mix Asphalt, 2" 36A	740	tons	\$65	\$48,100
Undercut Allowance	1	LS	\$10,000	\$10,000
Bit Driveway Restoration	29	EA	\$800	\$23,200
Allowance for Drainage Work at Brighton and Glenway	1	LS	\$10,000	\$10,000
Construction Sub-Total				\$113,000
Contingencies – 20%				\$23,000
Engineering, Legal, Administration – 20%				\$23,000
Township Contribution – \$1,000 per parcel				(\$29,000)
TOTAL				\$130,000

Total amount per parcel - \$4482.75 Amount per year for five years - \$896.55

(2) The Project is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included) and includes the specific properties that are identified by the following permanent parcel numbers:

11-34-102-001	11-34-102-002	11-34-102-003	11-34-102-004
11-34-102-005	11-34-102-006	11-34-102-007	11-34-102-008
11-34-102-009	11-34-102-010	11-34-102-012	11-34-102-013
11-34-102-014	11-34-102-015	11-34-102-018	11-34-102-019
11-34-102-020	11-34-102-021	11-34-102-022	11-34-102-023
11-34-102-024	11-34-102-025	11-34-102-026	11-34-102-027
11-34-102-028	11-34-102-029	11-34-102-031	11-34-102-032
11-34-102-033			

(3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.

(4) The preliminary plans and cost estimates for the proposed Project and the boundaries of the Special Assessment District are now on file in the office of the Township Clerk for public inspection. The Township Board has initiated the Project. Pursuant to the provisions of Public Act 188 of 1954, record owners of land have the right to file written objections to the Project with the Township Board and if written objections are filed by record owners of land constituting more than 20% of the land in the proposed Special Assessment District then the Township Board will not proceed with the Project unless petitions are filed in support of the Project by record owners of land constituting more than 50% of the land in the proposed Special Assessment District. Any person objecting to the proposed Project or the proposed Special Assessment District shall file an objection in writing with the Township Clerk before the close of the June 18, 2012 hearing or within such further time as the Township Board may grant.

This notice is given by order of the Genoa Township Board.

Dated: June 4, 2012

Paulette A. Skolarus
Genoa Township Clerk

(Press/Argus 6-8-12)

[ADD MAP OF SPECIAL ASSESSMENT DISTRICT]



EXHIBIT C

AFFIDAVIT OF MAILING

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

PAULETTE A. SKOLARUS, being first duly sworn, deposes and says that she personally prepared for mailing, and did on June 5, 2012, send by first-class mail, the notice of hearing, a true copy of which is attached hereto, to each record owner of or party in interest in all property to be assessed for the improvement described therein, as shown on the last local tax assessment records of the Township of Genoa; that she personally compared the address on each envelope against the list of property owners as shown on the current tax assessment rolls of the Township; that each envelope contained therein such notice and was securely sealed with postage fully prepaid for first-class mail delivery and plainly addressed; and that she personally placed all of such envelopes in a United States Post Office receptacle on the above date.

Paulette A. Skolarus
Genoa Charter Township Clerk

Subscribed and sworn to before me

This day of , 2012.

Notary Public

GLENWAY SPECIAL ASSESSMENT DISTRICT

PARCEL#	OWNER NAME	PROPERTY ADDRESS	In Favor	Against
4711-34-102-001	SPICHER, BRIAN K.	5031 GLENWAY DR		
4711-34-102-002	BALMFORTH, DAWN	5055 GLENWAY DR		
	ROYAL, KENNETH			
4711-34-102-029	GOODROW, DENNIS J.	5060 GLENWAY DR		
4711-34-102-028	VINCENT LESTER	5080 GLENWAY DR	Signed	
	VINCENT, LORI		Signed	
4711-34-102-027	HORGAN, THOMAS	5090 GLENWAY DR		
	HORGAN, SANDRA			
4711-34-102-003	LACROIX ROVOCABLE TRUST	5091 GLENWAY DR		
4711-34-102-026	VANNEST, BETTY A.	5100 GLENWAY DR	Signed	
4711-34-102-025	GALEJS LARIS	5130 GLENWAY DR	Signed	
	CURRAN, DIANA		Signed	
4711-34-102-004	MORRISON JOINT TRUST (Jim &Doreen)	5135 GLENWAY DR		
4711-34-102-024	MAYDAY, BRIAN	5150 GLENWAY DR	Signed	
	MAYDAY, RENEE		Signed	
4711-34-102-005	LIANG YA-TING	5165 GLENWAY DR		
4711-34-102-023	NEUMAN, RICHARD F.	5180 GLENWAY DR	Signed	
	NEUMAN, MARCIA		Signed	
4711-34-102-006	MARKO MICHAEL	5195 GLENWAY DR	Signed	
4711-34-102-007	WEAVER KLINE TRUST	5215 GLENWAY DR	Signed	
4711-34-102-022	BROWNE, ARTHUR E.	5220 GLENWAY DR	Signed	
	BROWNE, JOYCE		Signed	
4711-34-102-008	MAC NEIL, MARY P.	5245 GLENWAY DR	Signed	
4711-34-102-021	HEADLEY, PHILIP	5260 GLENWAY DR	Signed	
	HEADLEY, SALLY		Signed	
4711-34-102-020	CRUZ, ALVAN	5280 GLENWAY DR	Signed	
	CRUZ, MINH		Signed	
4711-34-102-009	DIEHR JAMES	5285 GLENWAY DR	Signed	
	DIEHR, NANCY		Signed	

4711-34-102-019	PUGH K SHARON TRUST	5310 GLENWAY DR	Signed	
PARCEL#	OWNER NAME	PROPERTY ADDRESS	In Favor	Against
4711-34-102-010	LARSON, KENNETH J.	5315 GLENWAY DR	Signed	
	LARSON, LYNNE L.		Signed	
4711-34-102-018	GIGL, RICHARD W.	5340 GLENWAY DR	Signed	
	GICL, MELISSA M.		Signed	
4711-34-102-033	CLARKSON, JAMES	5365 GLENWAY DR	Signed	
	CLARKSON, JOANNE		Signed	
4711-34-102-032	THIELKING PAUL	5370 GLENWAY DR	Signed	
4711-34-102-012	SUKOSKY, DAVID	5405 GLENWAY DR	Signed	
	SUKOSKY, JANE		Signed	
4711-34-102-013	WELSH, LISA	5435 GLENWAY DR		
4711-34-102-031	AMATO, WILLIAM	5440 GLENWAY DR		By Phone
	AMATO, DIANE			By Phone
4711-34-102-015	SHANNON MATHEW D	5460 GLENWAY DR	Signed	
4711-34-102-014	RATKOWSKI, ARNOLD	5465 GLENWAY DR	Signed	
	RATKOWSKI, JOAN		Signed	

GENOA TOWNSHIP - ROAD IMPROVEMENT FUND #261
BUDGET TO ACTUAL REPORT
BUDGETS FOR THE YEARS ENDING 3/31/2012 & 3/31/2013
ACTUAL FOR THE 9 MONTHS ENDING 12/31/11

3/19/12
FILED

ACCOUNT#	ACCOUNT DESCRIPTION	ACTUAL FOR 9 MONTHS 12/31/2011	ORIGINAL BUDGET FOR THE YEAR ENDING 3/31/2012	BUDGET REMAINING	PROPOSED BUDGET FOR THE YEAR ENDING 3/31/2013
REVENUES					
000-664-000	INTEREST INCOME	0	1,500	(1,500)	1,000
000-699-000	OPERATING TRANSFER IN (G/F)	200,000	200,000	0	200,000
	TOTAL REVENUES	200,000	201,500	(1,500)	201,000
EXPENDITURES					
441-968-000	I/96 LATSON INTERCHANGE	283,528	800,000	516,472	200,000 568,880
906-956-000	MISC	438	500	62	1,500
	TRANSFERS OUT	0	0	0	0
	TOTAL EXPENDITURES	283,966	800,500	516,534	201,500
	NET REVENUES/EXPENDITURES	(83,966)	(599,000)	515,034	(500)
	BEGINNING FUND BALANCE	1,249,055	1,249,055	0	650,055
	ENDING FUND BALANCE	1,165,089	650,055	515,034	649,555

LATSON INTERCHANGE FUND BALANCE (261)

5/18/2012

Project/Transaction	Cost	Remaining Balance	Payout #
Beginning Balance	\$	1,000,000.00	
Ammon	\$ 17,254.55	\$ 982,745.45	
Latson	\$ 134,916.00	\$ 847,829.45	
Walsh Appraisals	\$ 2,100.00	\$ 845,729.45	
Legal	\$ 4,373.76	\$ 841,355.69	
Consumers Appraisals	\$ 4,500.00	\$ 836,855.69	
Parker Appraisals	\$ 17,900.00	\$ 818,955.69	
Consumers 229&231	\$ 14,186.40	\$ 804,769.29	
FIRSTROW	\$ 35,000.00	\$ 769,769.29	
Fixture Appraisal	\$ 1,300.00	\$ 768,469.29	
Consumers Wire Transfer fee	\$ 101.00	\$ 768,368.29	
# 263 Consent to Grade	\$ 300.00	\$ 768,068.29	2
#249 Consent to Grade	\$ 300.00	\$ 767,768.29	1
#275 Consent to Grade	\$ 1,000.00	\$ 766,768.29	3
#290 Consent to Grade	\$ 300.00	\$ 766,468.29	4
#295 Consent to Grade	\$ 700.00	\$ 765,768.29	5
#244 ROW Esmt	\$ 6,600.00	\$ 759,168.29	8
FIRSTROW - add Rankin	\$ 480.00	\$ 758,688.29	
#251 Consent to Grade	\$ 500.00	\$ 758,188.29	6
#265 Consent to Grade	\$ 2,000.00	\$ 756,188.29	7
#245 Easement/Grade Drive	\$ 7,200.00	\$ 748,988.29	15
#300 - Consent to Grade	\$ 300.00	\$ 748,688.29	16
# 225 - Easement/Grade/GD	\$ 5,000.00	\$ 743,688.29	9
FIRSTROW - add 221	\$ 480.00	\$ 743,208.29	
#262 - Easement	\$ 500.00	\$ 742,708.29	14
#260 - Easement	\$ 1,000.00	\$ 741,708.29	10
#269 - Consent to Grade	\$ 3,500.00	\$ 738,208.29	13
#272 - Consent to Grade/Sign	\$ 6,500.00	\$ 731,708.29	11 & 12
FIRSTROW - 211,214,227,261,259	\$ 7,440.00	\$ 724,268.29	
Mortgage Release fee #260	\$ 250.00	\$ 724,018.29	
222 Appraisal	\$ 2,000.00	\$ 722,018.29	
#246 Easement and Consent	\$ 2,000.00	\$ 720,018.29	17
#288	\$ 500.00	\$ 719,518.29	18
FIRSTROW - add 218 \$ 223	\$ 3,480.00	\$ 716,038.29	
Boss Eng. Survey Work (304 & 236)	\$ 700.00	\$ 715,338.29	
FirstROW Aprsl. Review 227	\$ 480.00	\$ 714,858.29	
#264 - Consent to Grade	\$ 1,000.00	\$ 713,858.29	19
#276 - Relocation	\$ 880.00	\$ 712,978.29	20
#276 - Relocation Claim	\$ 2,111.15	\$ 710,867.14	21
#237 - Balance due from Closing	\$ 226.00	\$ 710,641.14	22
#239 - Balance due from Closing	\$ 201.00	\$ 710,440.14	23
#223 - Payment for Closing	\$ 4,534.40	\$ 705,905.74	24
#216 - Balance due from Closing	\$ 926.00	\$ 704,979.74	25
#213 - Actual Closing Costs	\$ 93,993.80	\$ 610,985.94	26
# 218 - Easement & Release	\$ 19,050.00	\$ 591,935.94	27
# 217 - Closing costs	\$ 67,567.60	\$ 524,368.34	28
# 213 - closing invoice	\$ 578.00	\$ 523,790.34	30
FirstROW HPS Position Paper	\$ 780.00	\$ 523,010.34	
#223 - Closing Invoice	\$ 216.00	\$ 522,794.34	31
Burchfield Invoice	\$ 3,397.50	\$ 519,396.84	
#219 - Sign	\$ 22,000.00	\$ 497,396.84	
#222 Tax Reimbursement	\$ 1,772.76	\$ 495,624.08	33
# 261 - Easements & Consent	\$ 1,000.00	\$ 494,624.08	32
FIRSTROW (Panhandle)	\$ 1,320.00	\$ 493,304.08	
#217 - Closing Costs	\$ 512.00	\$ 492,792.08	34 - 2/20/12
#234 - Closing Invoice	\$ 246.00	\$ 492,546.08	35 - 4/25/12
#227 - Boss Eng. Survey Work	\$ 2,300.00	\$ 490,246.08	36
#227 - Purchase/Closing Costs	\$ 315,187.00	\$ 175,059.08	
#259 - Purchase	\$ 1,700.00	\$ 173,359.08	37

GENOA TOWNSHIP'S CONTRIBUTION TO THE PROJECT IS \$1,000,000 FOR RIGHT OF WAY ACQUISITION

Note: the Board dedicated \$500,000 in funding specifically for the non-motorized component of the bridge. The Department successfully obtained a grant for 100% of the cost of the non-motorized path. The Township has since reallocated this \$500,000 towards extending the path south along Nixon Road. This \$500,000 should not be included as a funding source for the project.

\$	826,640.92	Twp. Funds Spent to Date
\$	314,770.00	Money MDOT Paid Out for Closings the Twp. Negotiated
\$	(141,410.92)	Remaining Balance including \$\$ MDOT Spent

Township Negotiated Parcels Paid by MDOT:

#237 & 239	\$ 47,000.00
#285	\$ 32,200.00
#216 - ROW, Consent, Sign	\$ 195,570.00
#236 Easement	\$ 40,000.00
TOTAL PAID BY MDOT	\$ 314,770.00

Mike Archinal

From: Don Botka <DonB@ledebuhr.net>
Sent: Thursday, May 31, 2012 1:16 PM
To: Mike Archinal
Subject: Great Job!

Mike,

My wife just called and said the crack fill job in 'WHITE PINES' subdivision *looks terrific!* The contractor was meticulous and precise with the fill and has done a much better job than was the case a few years ago. Thanks Mike for giving me the time and discussion on the matter this morning.

Regards,
Don

Donald L. Botka

Ledebuhr Industries, Inc.

Manufacturers of fluid metering and atomization systems

www.ledebuhr.net

101 Innovation Parkway, Williamston, MI USA

Toll-free: 866-641-4671 Ext.102 Mobile: 517-896-2197

Adam VanTassell

From: Craig Hagen <craig.d.hagen@gmail.com>
Sent: Thursday, May 31, 2012 8:06 PM
To: Adam VanTassell
Cc: Beth Hagen
Subject: Thank You Genoa Township

Dear Adam,

Please see that the appropriate person and department are forwarded this email. My wife Beth, and I live on Clifford Road. For several years, we would begin each commuting day by rounding the "curve" on Clifford Road. It was not a good start to any commute. The "curve" as we call it, would shake, rattle, and roll us both coming and going, so it didn't matter, we would start and end each trip with an unpleasant ride. Then one afternoon when returning home from work, we noticed that some of the trees along Clifford had been trimmed. Each of us, independent of the other, let a small idea begin to take shape in our minds. Could it be, was the curve going to be repaired? We dared not hope, for fear our most sought after road repair, would not be realized and the tree trimming, would be the end of our fantasy.

Then, one day on the way home from our work, we were met by heavy equipment and road construction guys; the real deal! If ever there was a day to be happy about our commute, it was that first day of heavy duty trucks and men. We both thank you very much for making the start of our day pleasant and the return home a smooth ride and a joyous experience. To those who made the decision to fix it, allocated the funds, did the engineering, supervised the process or were involved in even the tiniest bit of the rebirth of "THE CURVE" we are happy commuters and thankful tax payers.

Sincerely,

Craig & Beth Hagen
4036 Clifford Road (home of the "curve")
Brighton, MI 48116

Amy Ruthig

From: Jeff Doyle <Jeff@doylehomes.us>
Sent: Tuesday, May 15, 2012 12:25 PM
To: Amy Ruthig
Subject: RE: Copperleaf

Thank you. Another instance of great service from Genoa township

Jeff Doyle
President
Doyle Homes Inc.
3075 East Grand River, LL-2
Howell, MI 48843
Office: (810) 229-7505
Cell: (517) 404-8257
Fax: (517) 545-1350
<http://www.DoyleHomes.us>

From: Amy Ruthig [<mailto:amy@genoa.org>]
Sent: Tuesday, May 15, 2012 11:52 AM
To: jeff@doylehomes.us
Subject: FW: Copperleaf

Good Morning,

Attached are the site plan drawings for the Copperleaf Development. If you have any questions, please feel free to contact me.

Thank You,

Amy Ruthig
Assistant to the Township Manager



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Direct: (810) 224-5822, Fax: (810) 227-3420
E-mail: amy@genoa.org, Url: www.genoa.org

From: Tim Mentock [<mailto:tmentock@informationandrecords.com>]
Sent: Tuesday, May 15, 2012 11:28 AM
To: Amy Ruthig
Subject: RE: Copperleaf

Here is what we have for the site plan folder. Let me know if you need anything else.