

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
MAY 15th, 2012
6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 12-09...A request by Douglas Milne, 6501 Forest Beach, for a height variance to allow an 8' fence.
2. 12-10...A request by Thomas Sipko and Kathi Presutti, 2712 Scottwood, for a side yard variance to construct a covered deck.
3. 12-11...A request by Dennis Dahlmann, 4582 Filbert, for a side yard variance to allow a new construction home.

ADMINISTRATIVE BUSINESS:

- A. ***Approval of minutes for the April 17th, 2012 Zoning Board of Appeals meeting.***
- B. ***Correspondence***
- C. ***Member Discussion***
- D. ***Adjournment***

Charter Township of Genoa
ZONING BOARD OF APPEALS
MAY 15th, 2012
CASE #12-09

PROPERTY LOCATION: 6501 Forest Beach Dr.

PETITIONER: Douglas Milne

ZONING: LDR (Low Density Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a height variance to allow for an 8 foot fence.

CODE REFERENCE: Section 11.04.04 (a) – Fences in front yards not to exceed 3 feet.
 Section 11.04.04 (a) – Front yard fences not to exceed 49 percent solid or impervious

STAFF COMMENTS: Any fence approved should not conflict with Section 11.04.04(d) which prohibits obstruction of motorist vision when exiting driveways.

DETACHED ACCESSORY STRUCTURE	Solidity or Imperviousness	One Side	Other Side	Rear	Size	Height
Setbacks of Zoning	49%					3
Setbacks Requested	100%					6
Variance Amount	100%					

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

GENOA TOWNSHIP
APR 23 2012

Case # 12-09

Meeting Date: 5-15-12

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Douglas A. Milne

Property Address: 6501 Forest Beach Dr. Phone: _____

Present Zoning: LDR Tax Code: 4711-26-301-015

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: 8 foot high fence

2. Intended property modifications: _____

This variance is requested because of the following reasons:

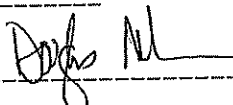
a. Unusual topography/shape of land (explain) _____

b. Other (explain) We would like to complete an existing 20 yr. old fence by extending it along the property line. This will enhance the property by providing a uniform appearance for neighbors and those using the easement.

Variance Application Requires the Following: (failure to meet these requirements may result in tabling of this petition)

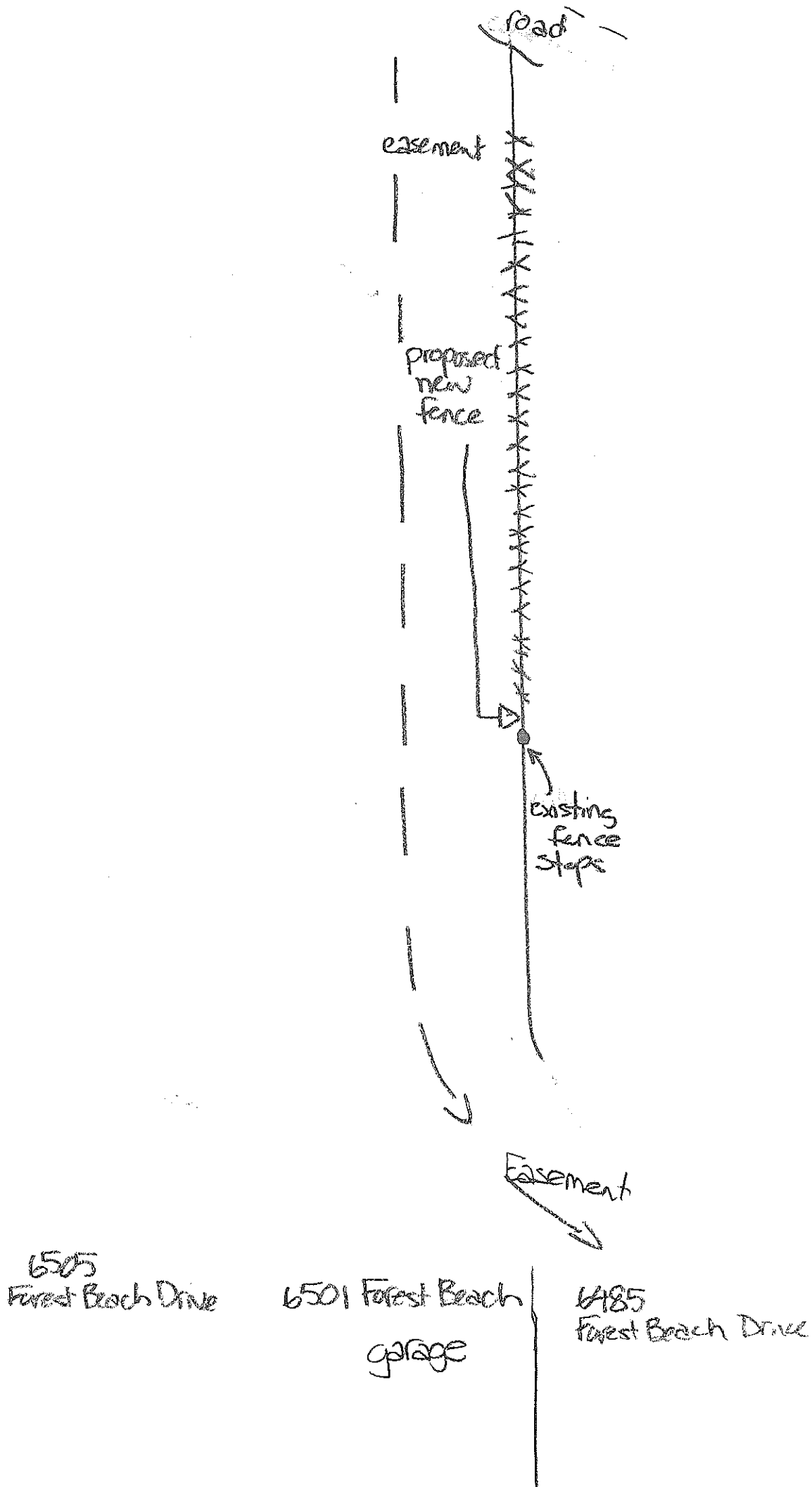
- **PROPERTY MUST BE STAKED SHOWING ALL** proposed improvements 5 days before the meeting and remain in place until after the meeting
- Plot Plan drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: will need 8 copies of any drawings larger than 11 x 17.
- Waterfront properties must indicate setback from water from adjacent homes.
- Petitioner (or a Representative) must be present at the meeting

Date: 4/20/12

Signature: 

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



road

easement

proposed
new
fence

existing
fence
steps

Easement

6505
Forest Beach Drive

6501 Forest Beach
garage

6485
Forest Beach Drive



Charter Township of Genoa
ZONING BOARD OF APPEALS
MAY 15th, 2012
CASE #12-10

PROPERTY LOCATION: 2712 Scottwood

PETITIONER: Thomas Sipko and Kathi Presutti

ZONING: SR (Suburban Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a side yard variance to construct a covered deck.

CODE REFERENCE: Table 3.04 – Dimensional Standards - SR (Suburban Residential)

STAFF COMMENTS: Petitioner is seeking a variance to enclose an existing conforming deck. Due to the placement of the existing building, this enclosure would project into the side yard setback.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	40	20	20	50	35	N/A
Setbacks Requested		16				
Variance Amount		4				

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 12-10

Meeting Date: 5-15-12 @ 6:30 p.m.

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Thomas Sipko & KATHI PRESUTTI

Property Address: 2712 SCOTTWOOD⁴⁸¹¹⁹ Phone: 810-227-2414

Present Zoning: SR Tax Code: 1123-401-027

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Side yard variance

2. Intended property modifications: Partial enclosure of existing deck

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) irregularly shaped lot, location of existing house on the lot
- b. Other (explain) _____

Variance Application Requires the Following:

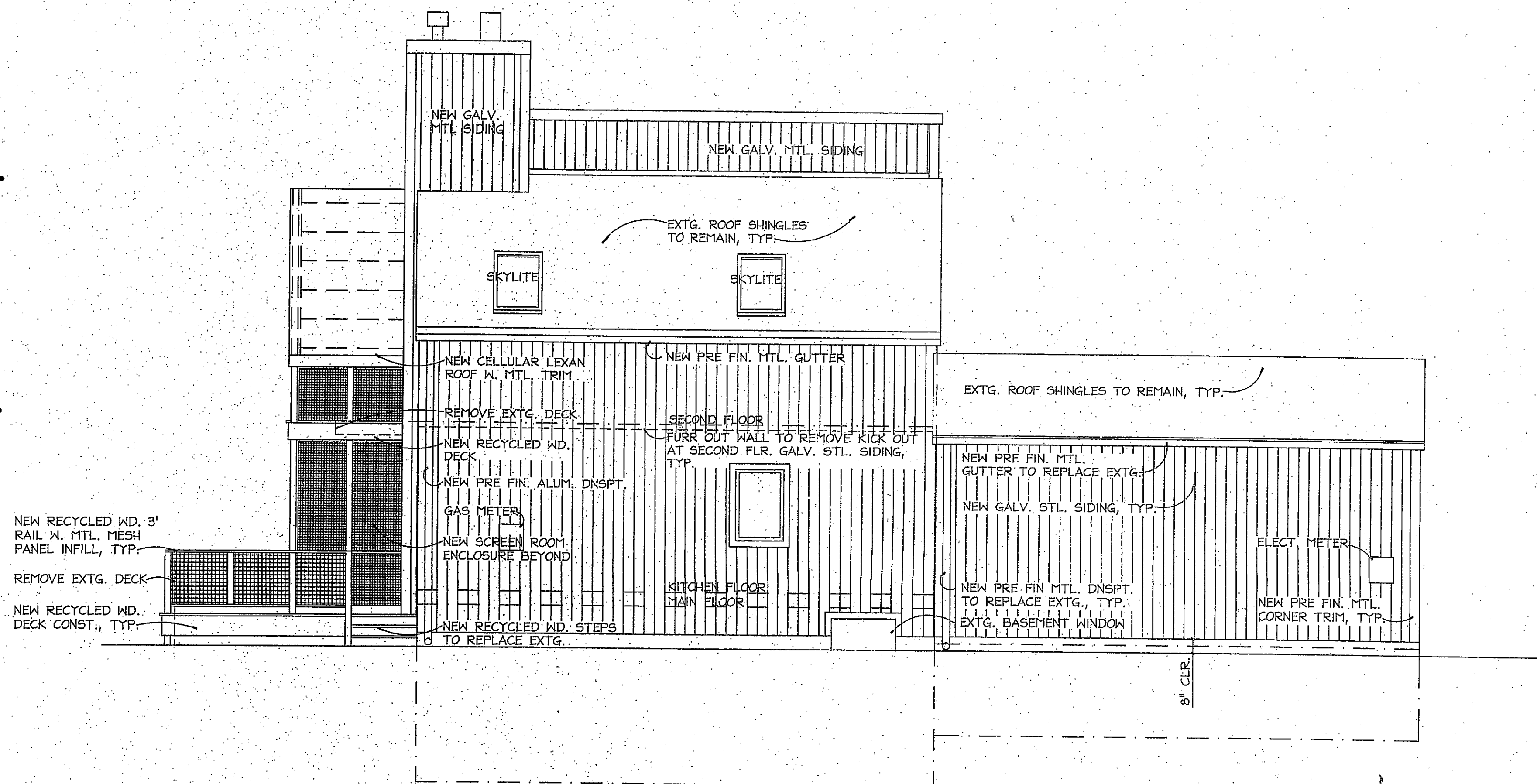
- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 4-23-12

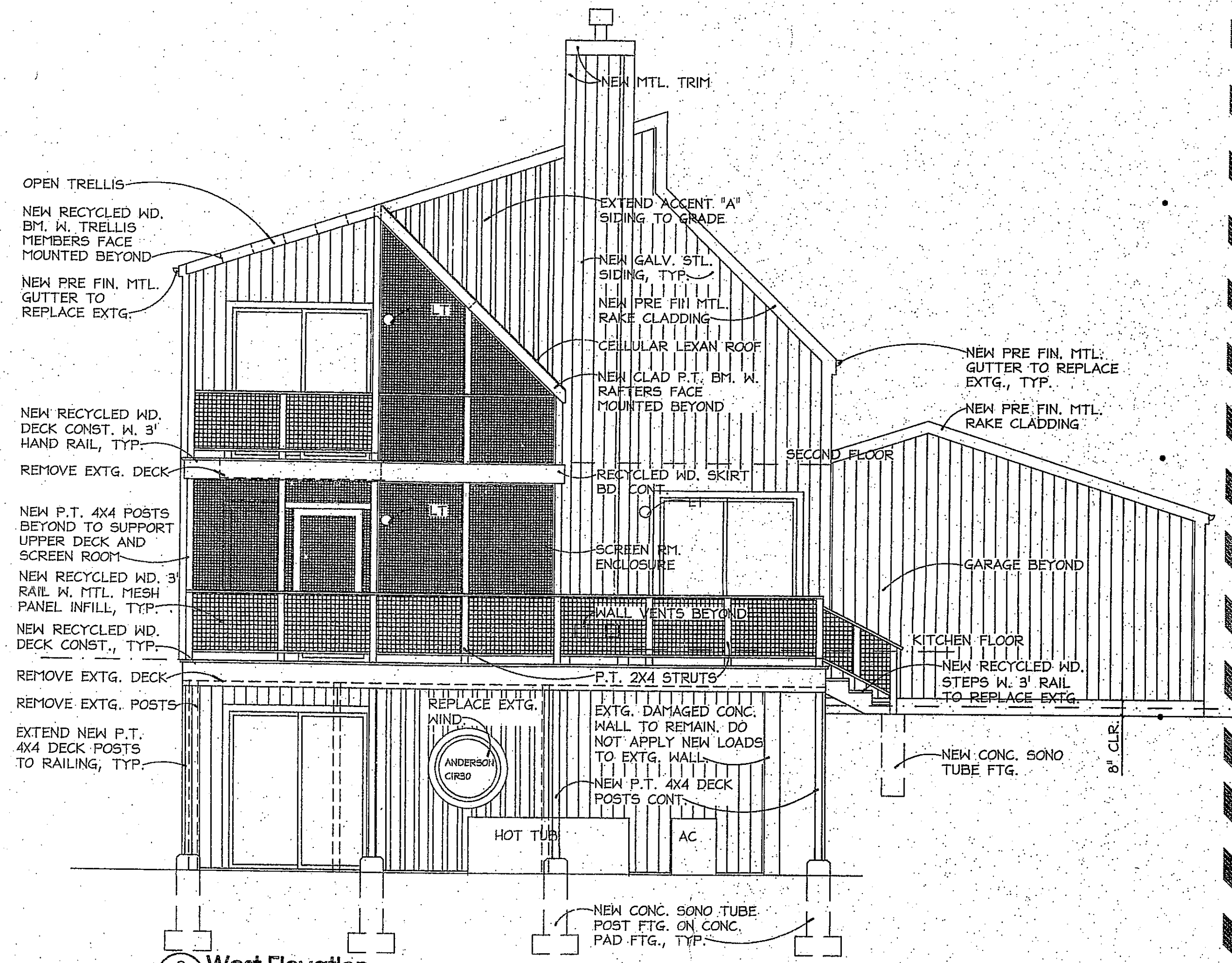
Signature: Kathi Presutti

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

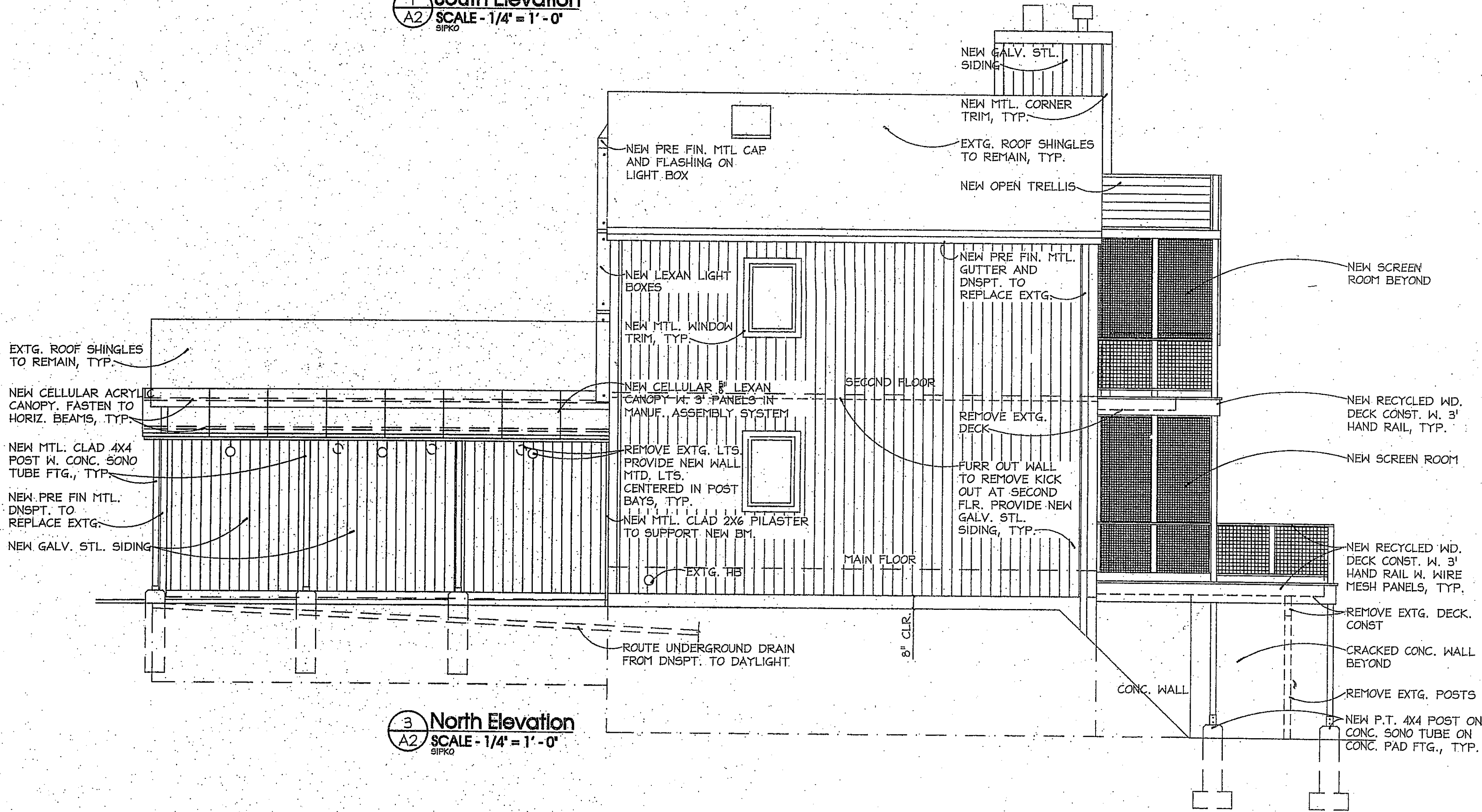
After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



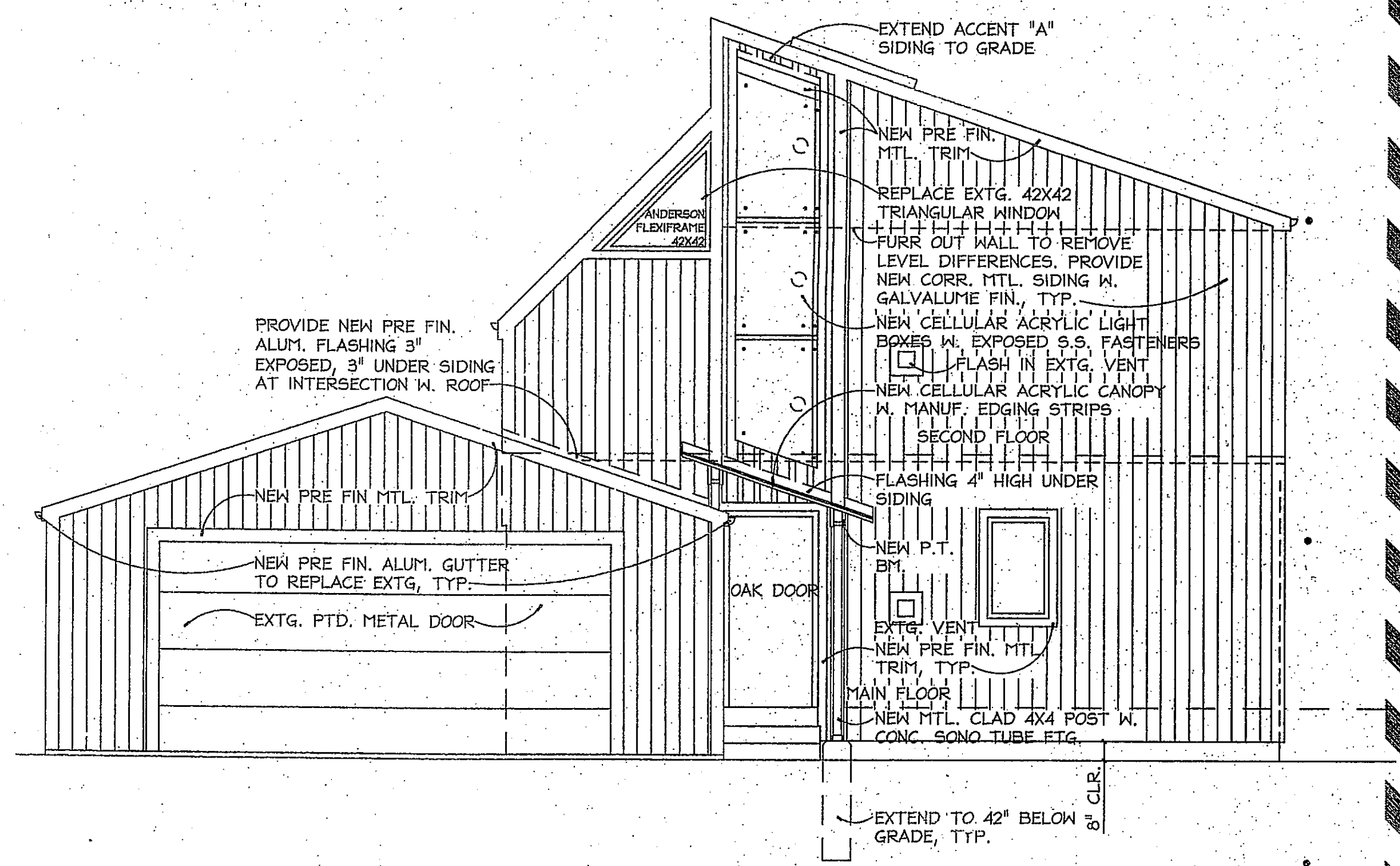
1 South Elevation
A2 SCALE - 1/4" = 1' - 0"



2 West Elevation
A2 SCALE - 1/4" = 1' - 0"



3 North Elevation
A2 SCALE - 1/4" = 1' - 0"

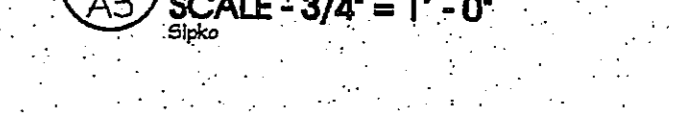
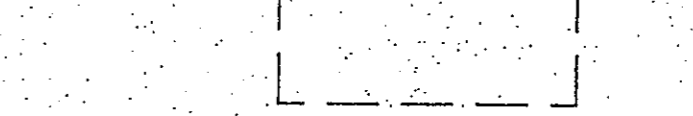
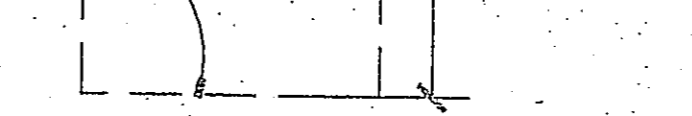
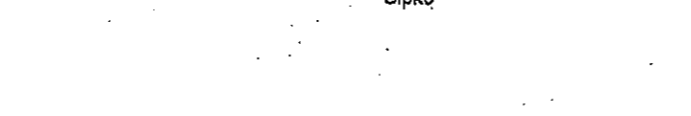
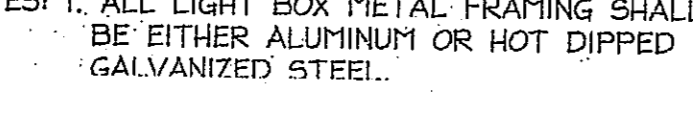
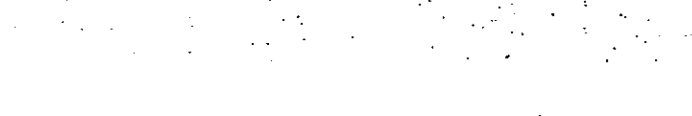
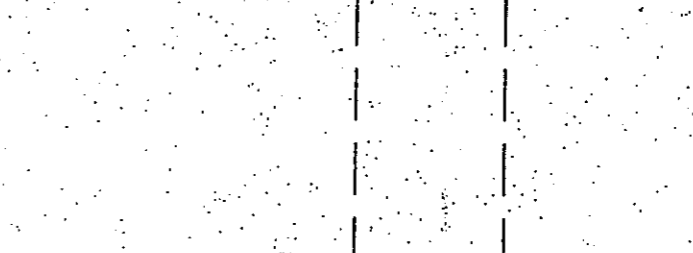
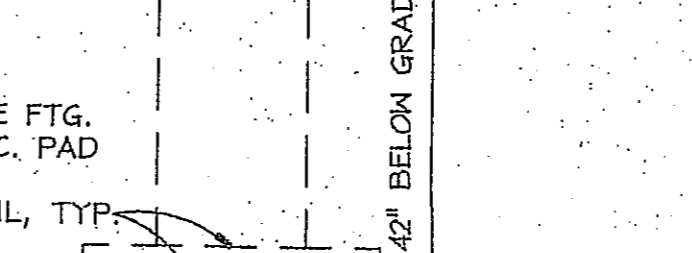
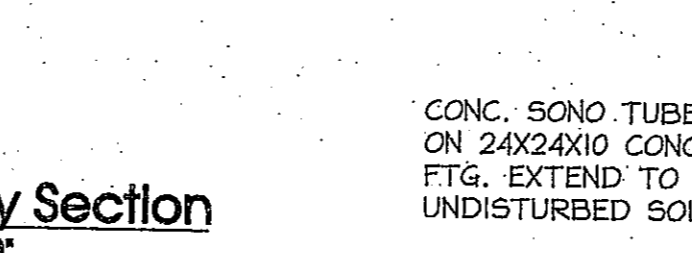
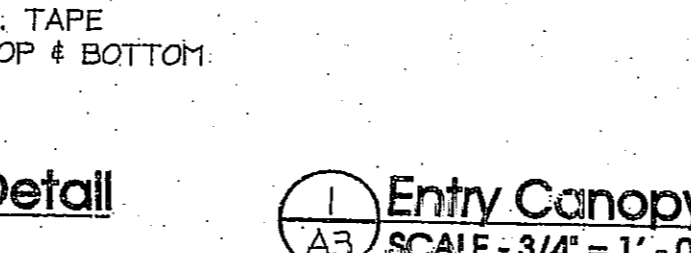
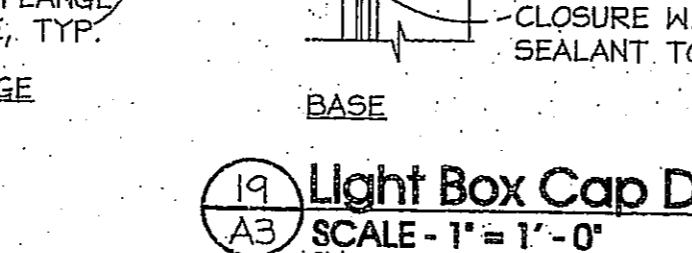
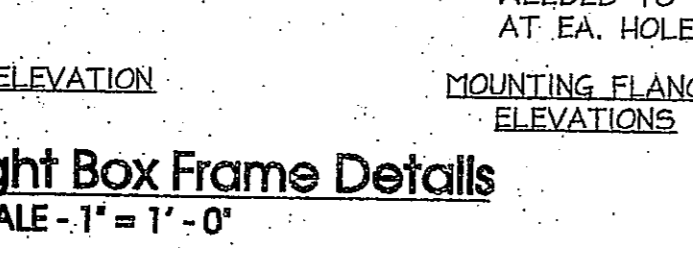
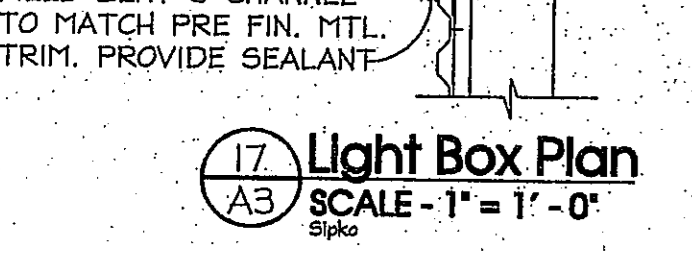
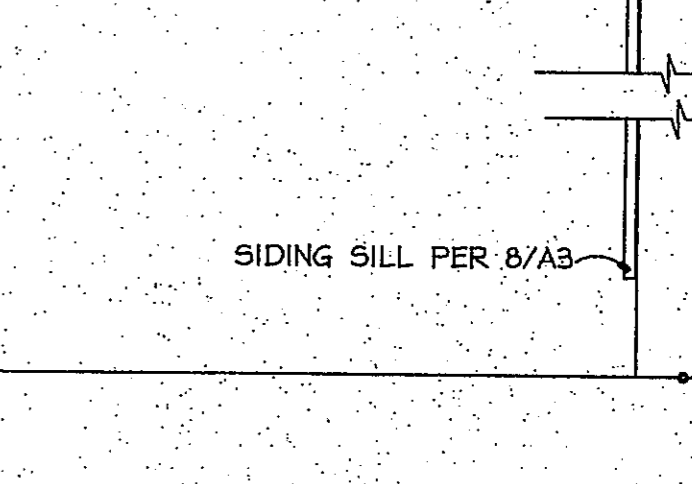
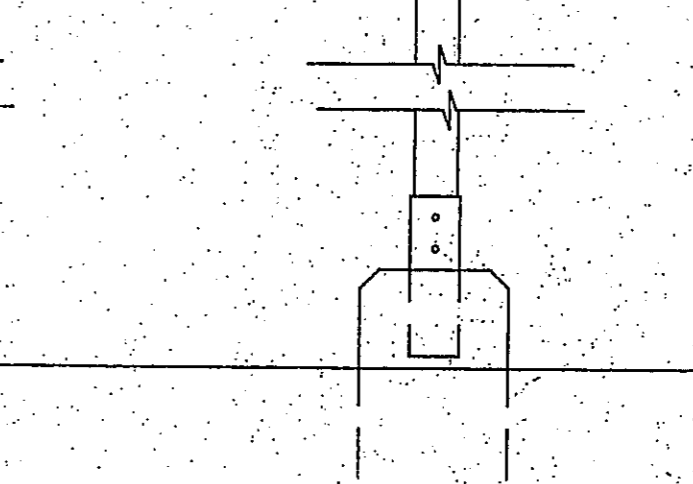
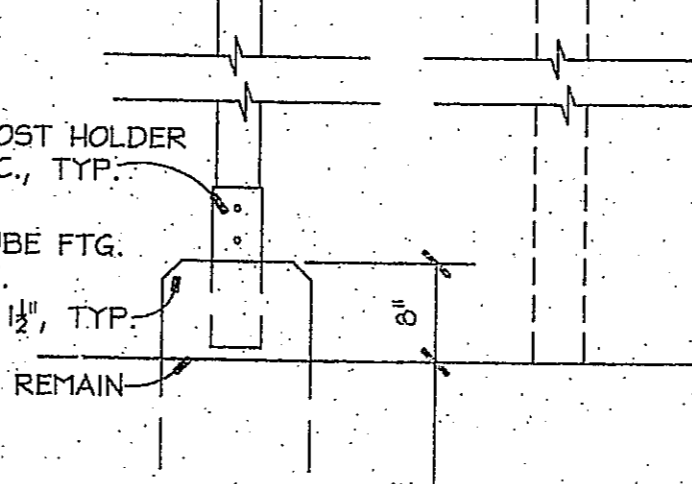
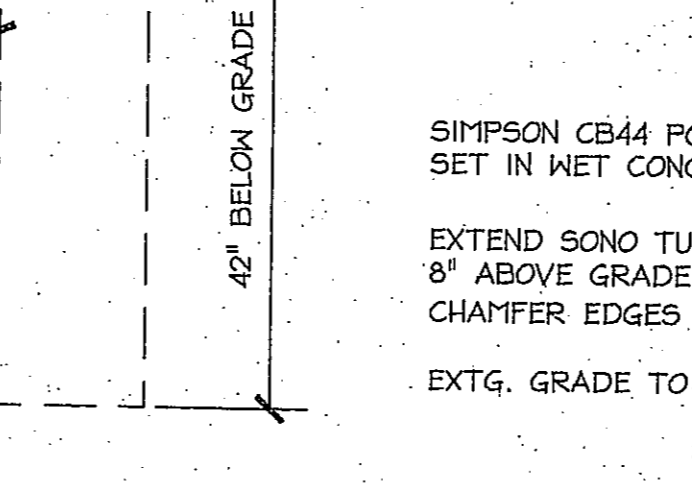
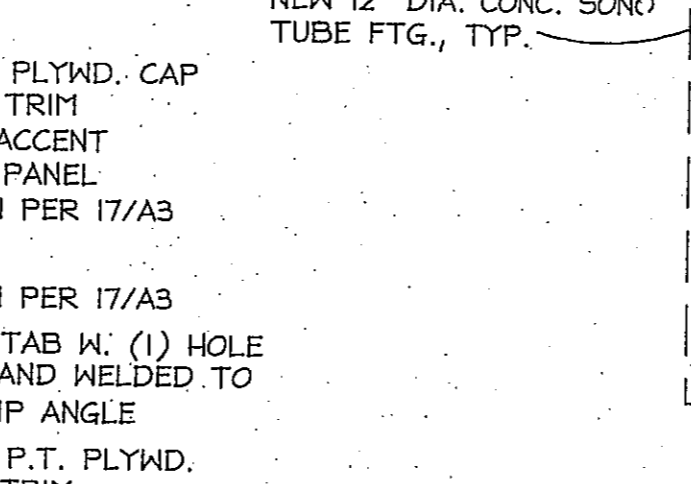
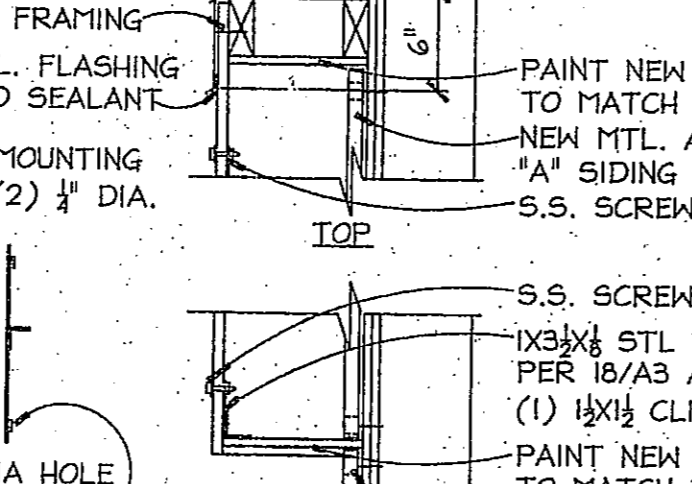
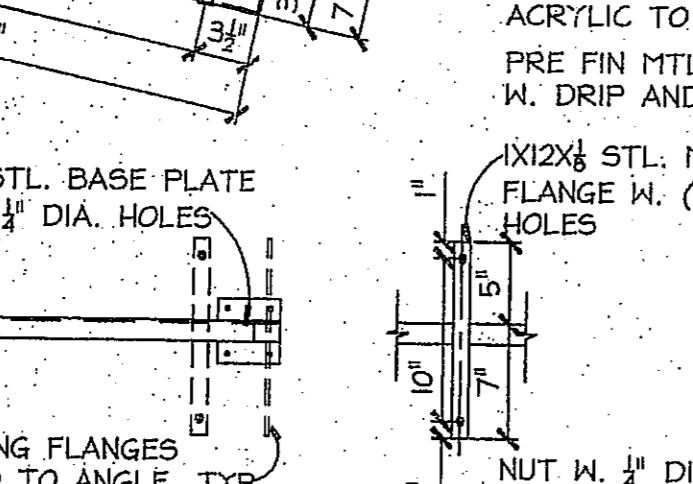
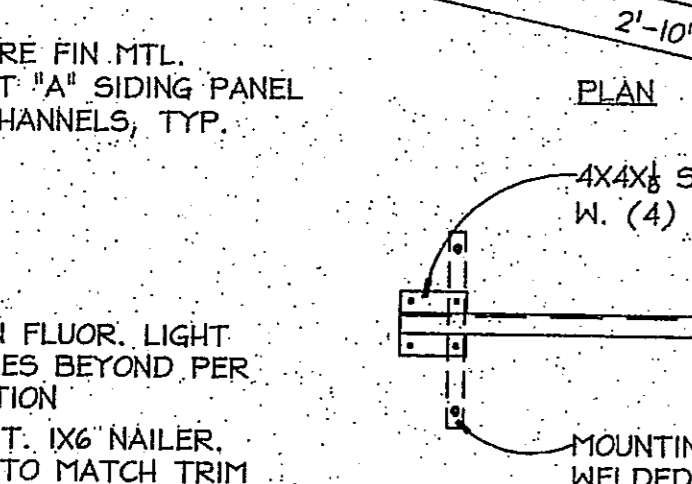
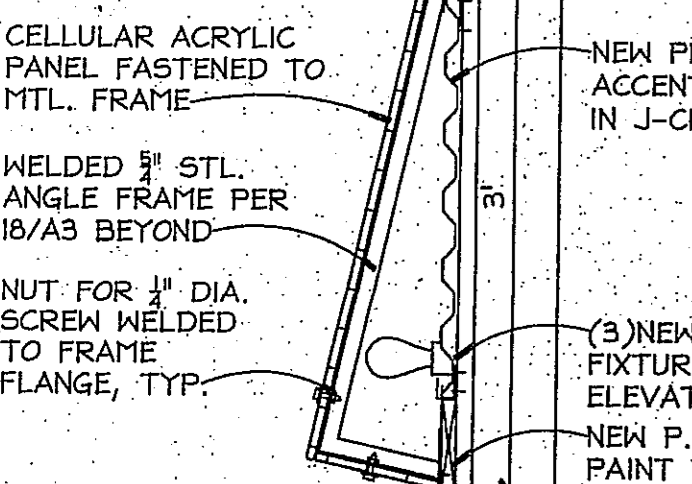
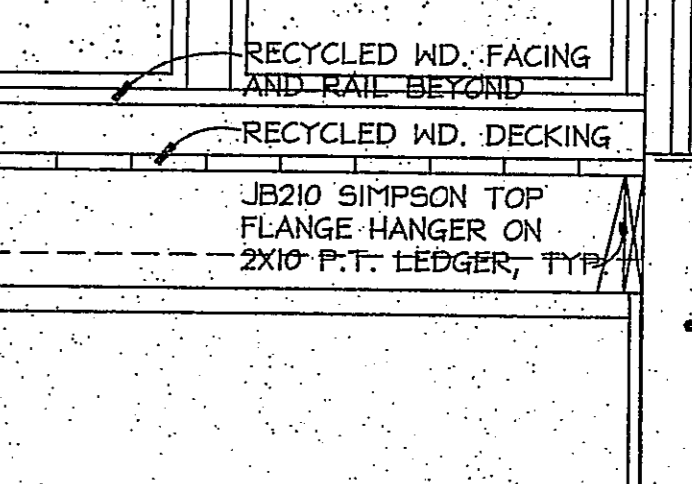
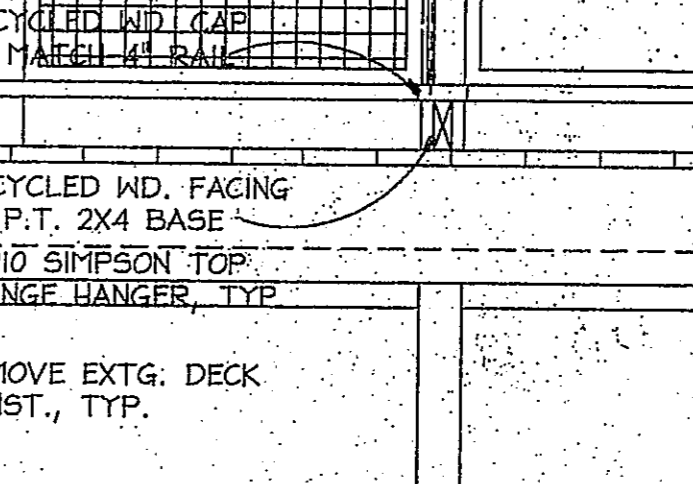
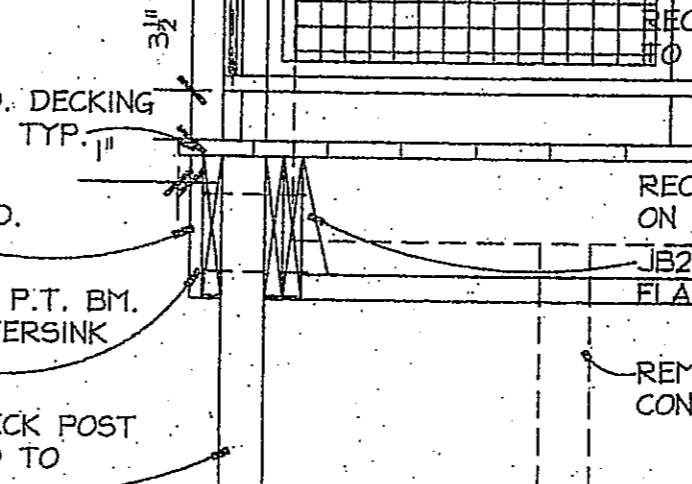
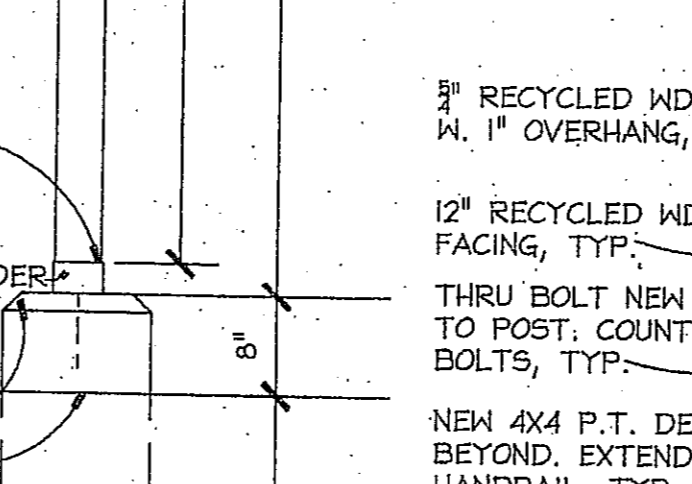
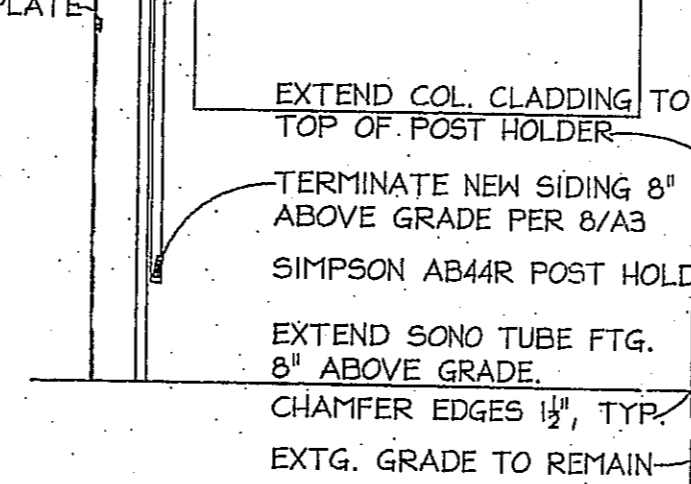
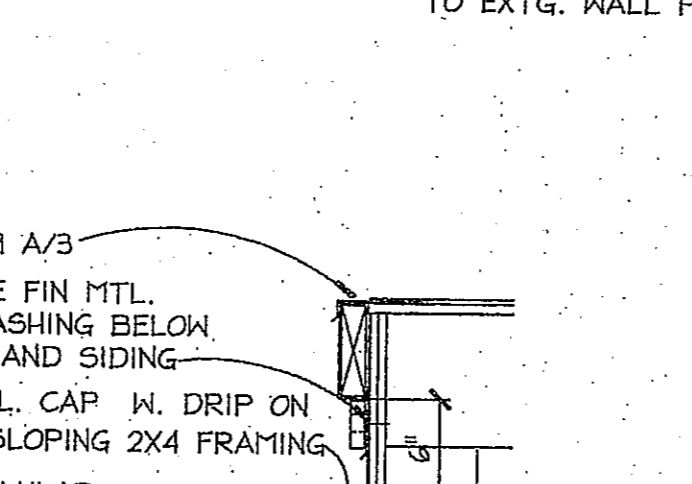
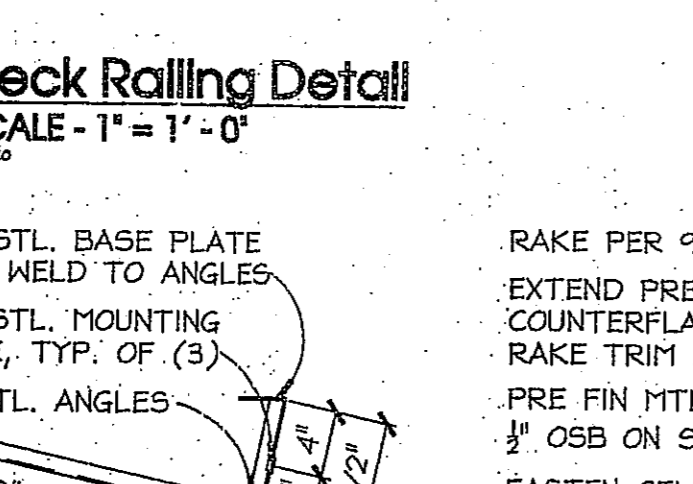
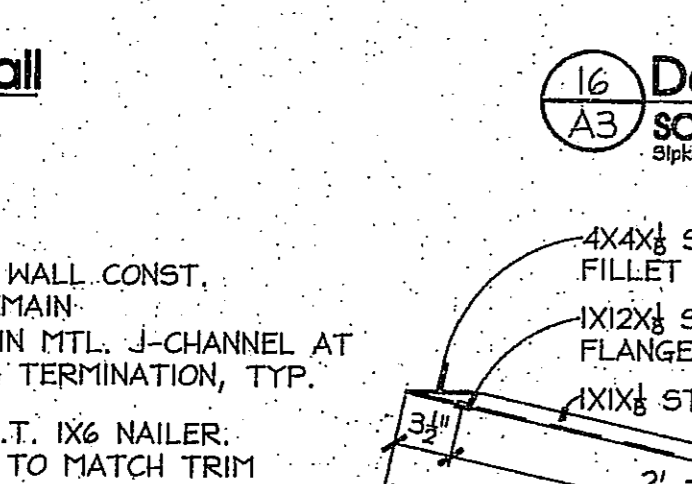
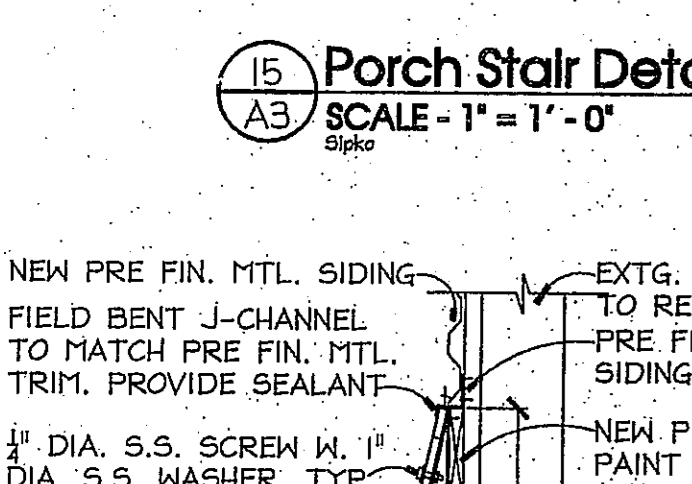
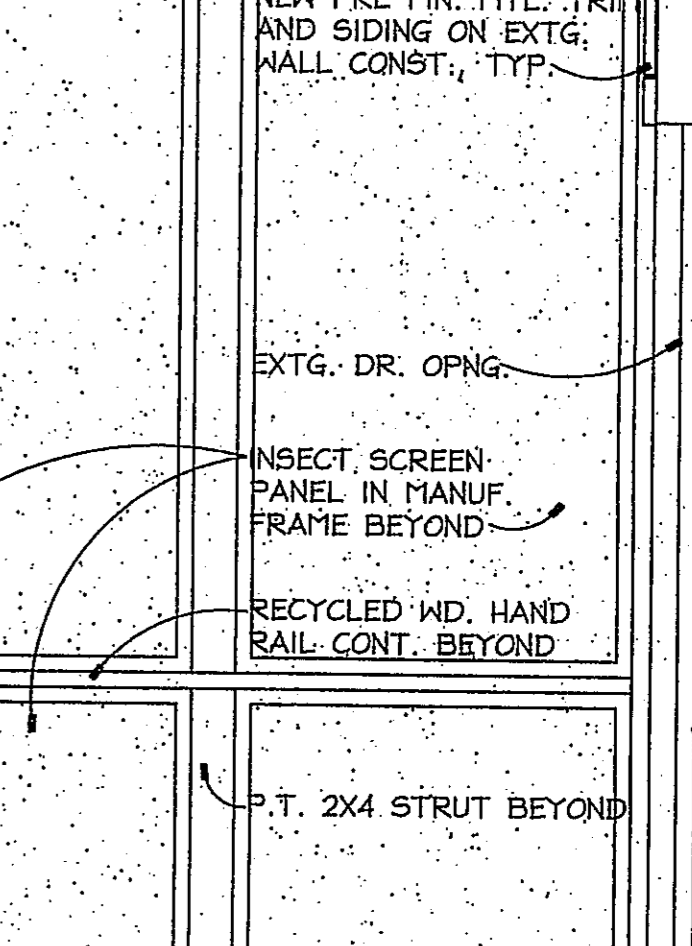
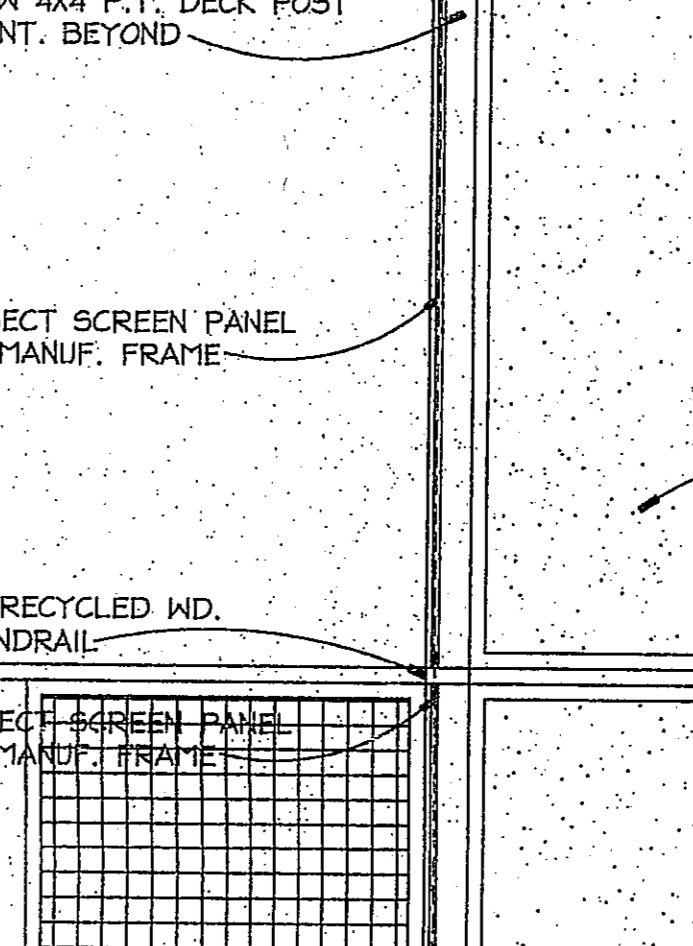
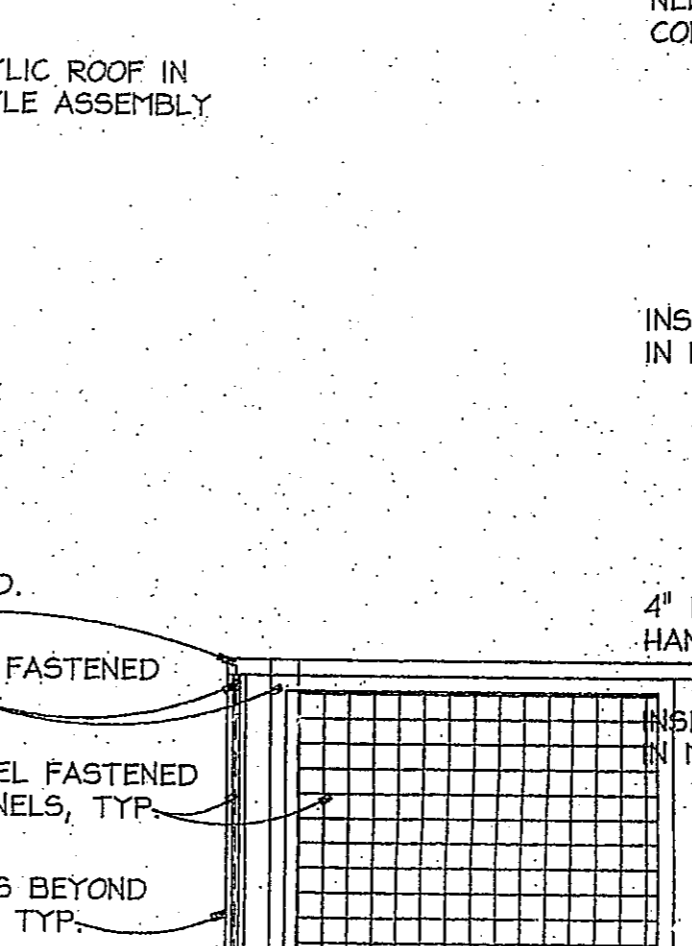
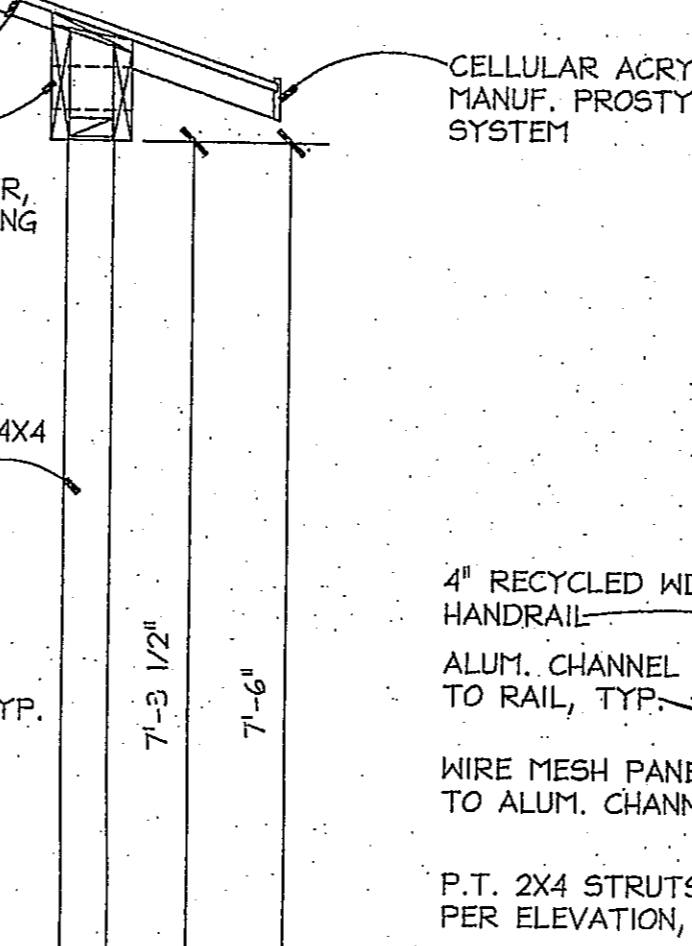
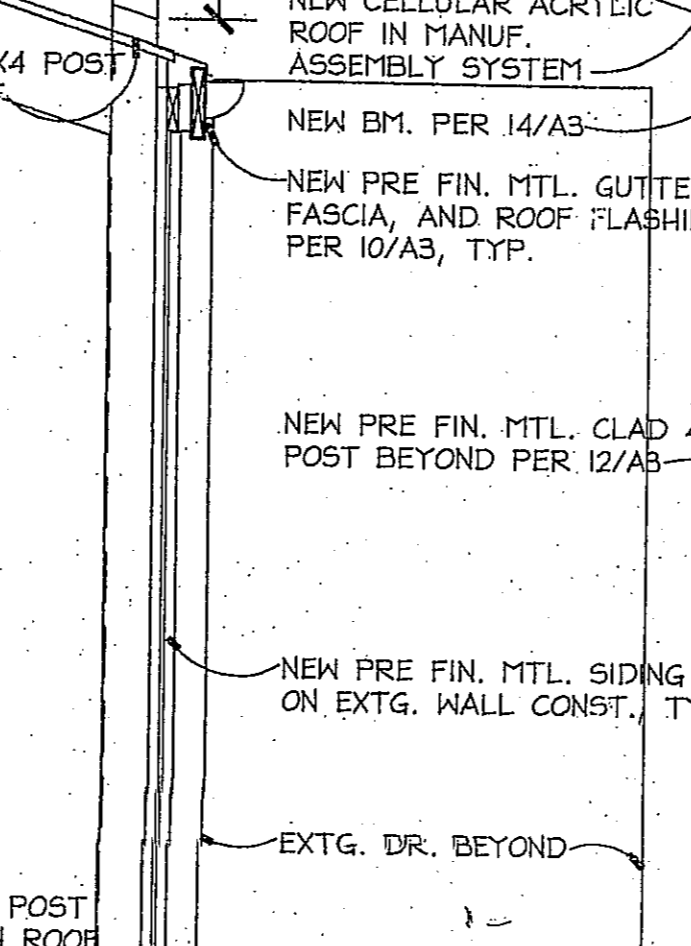
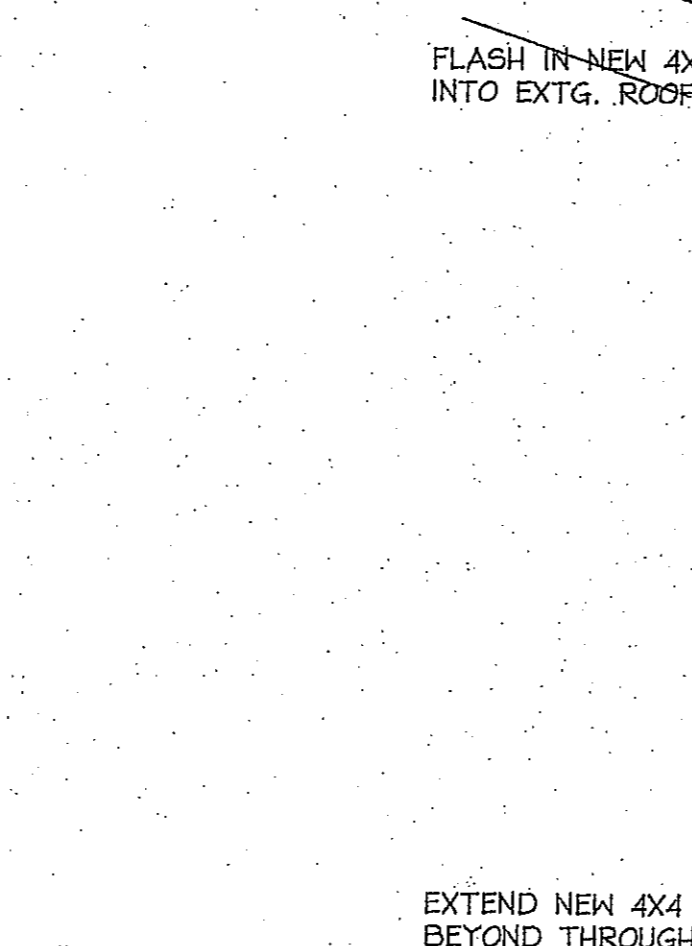
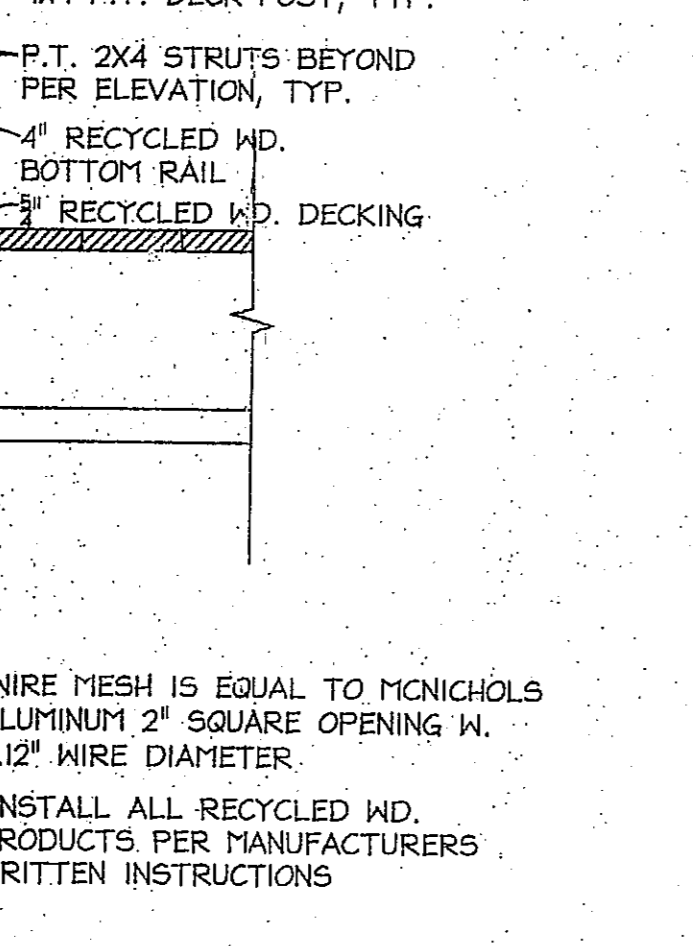
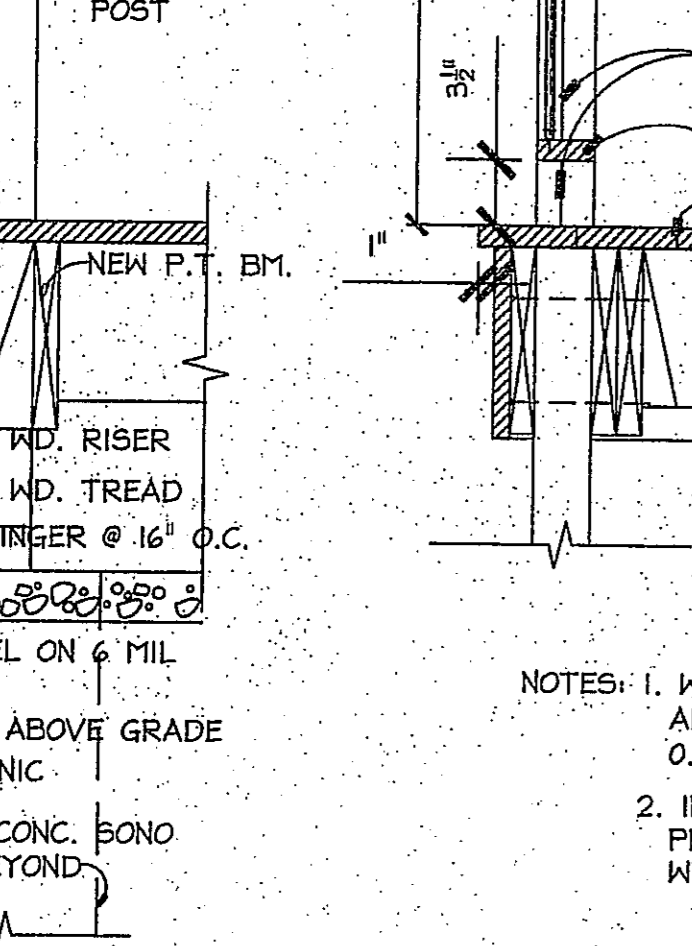
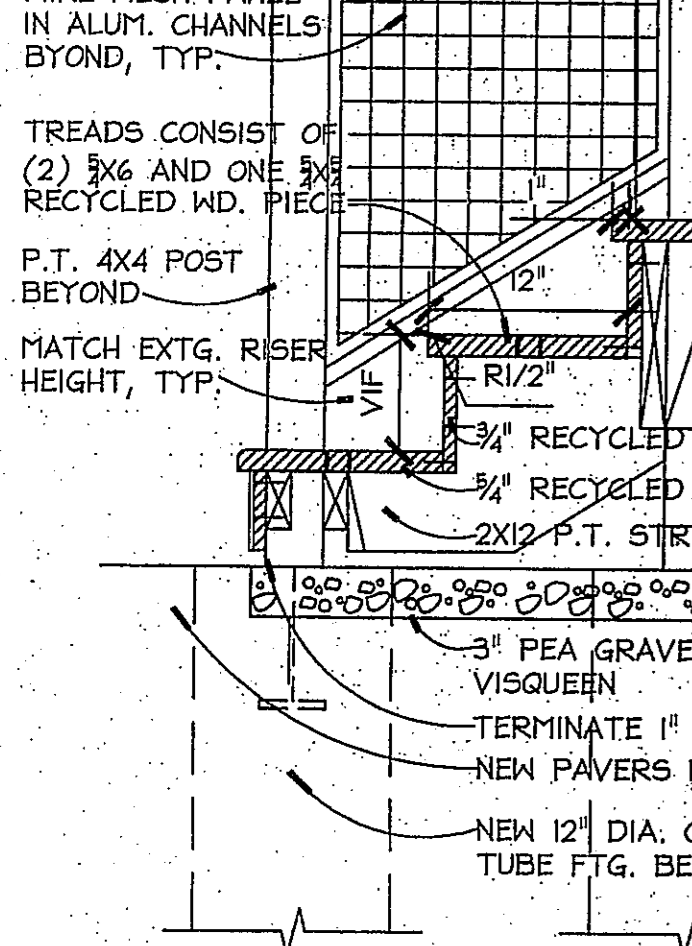
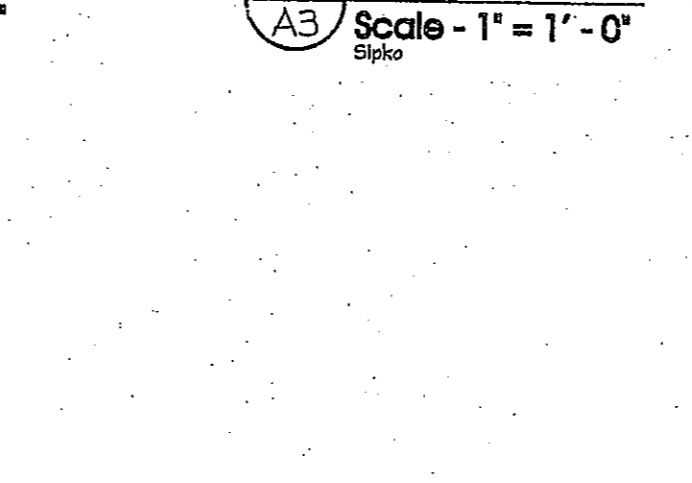
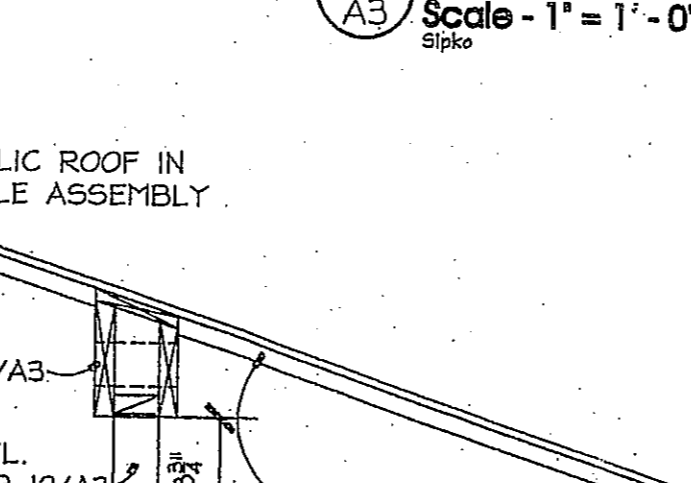
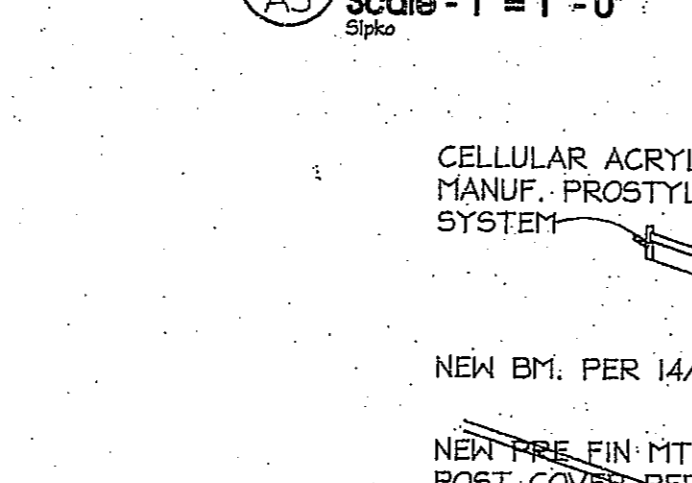
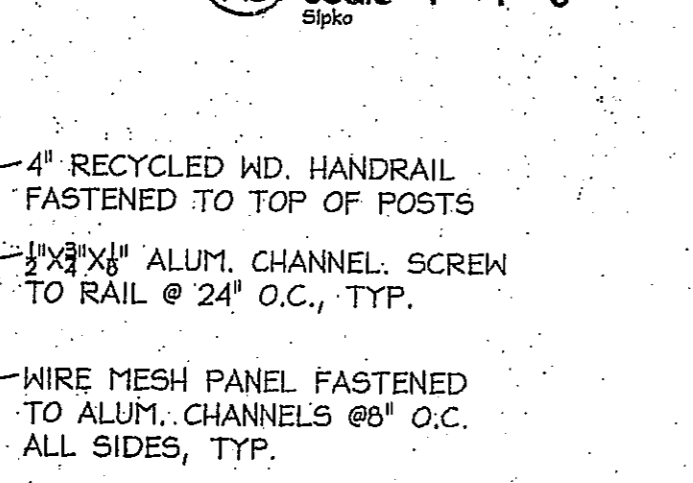
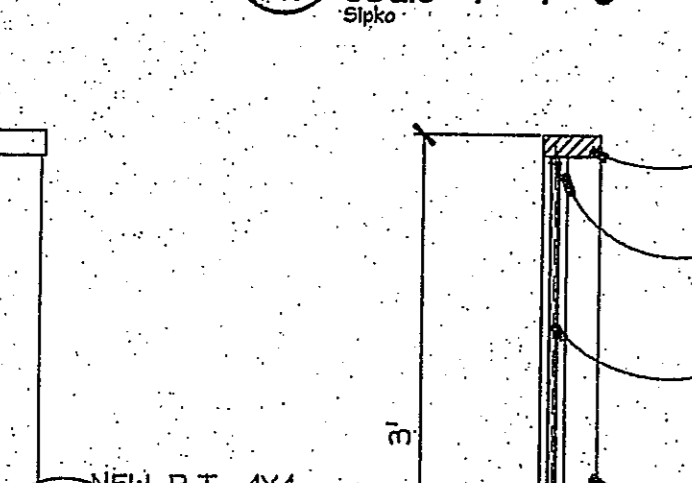
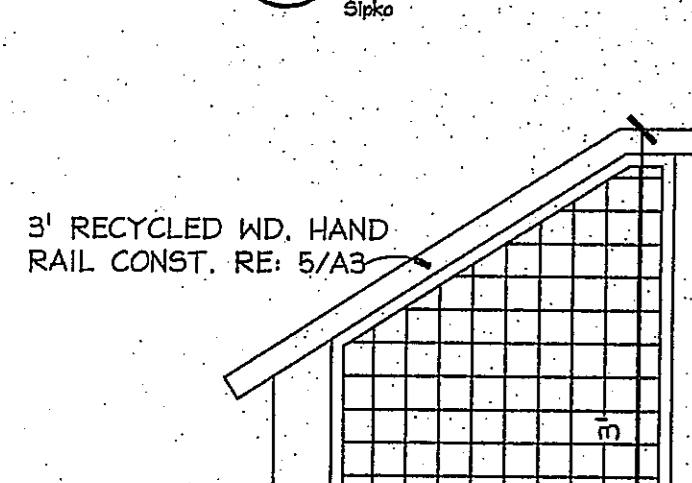
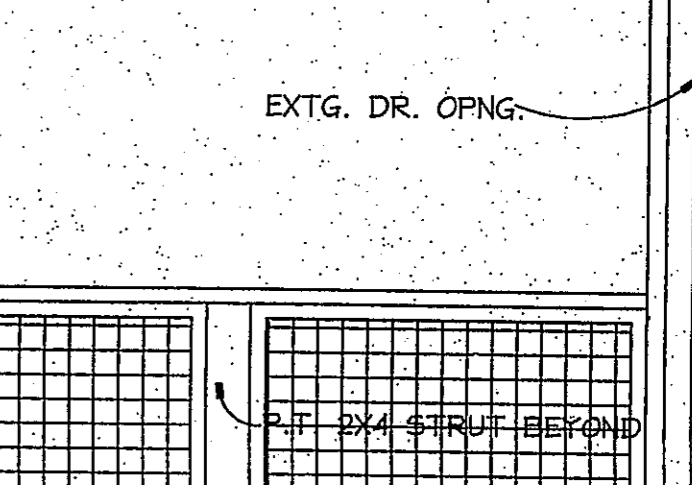
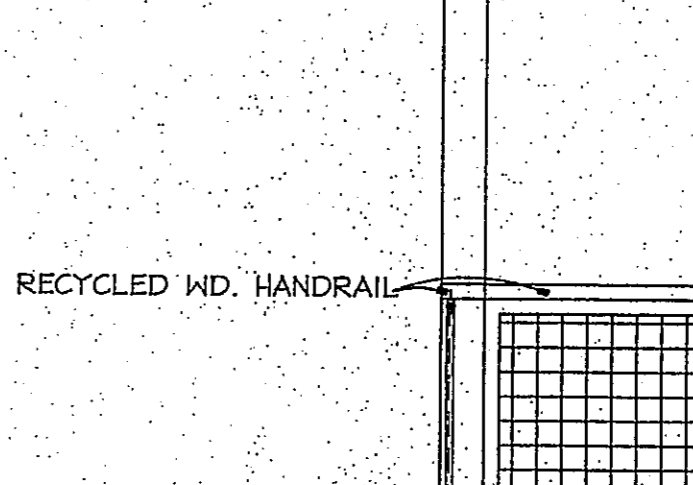
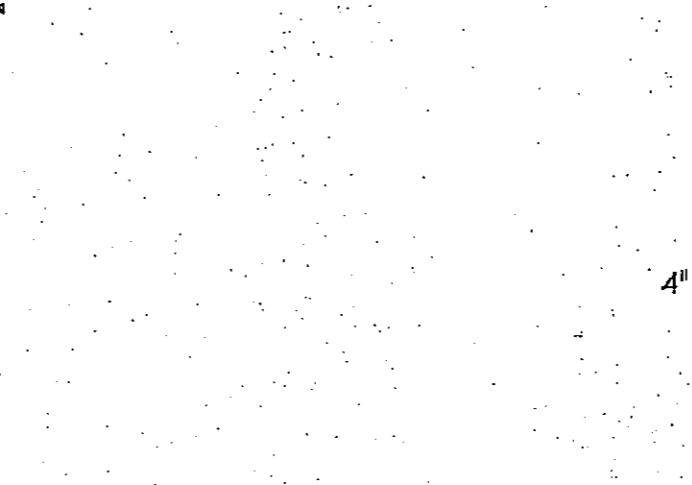
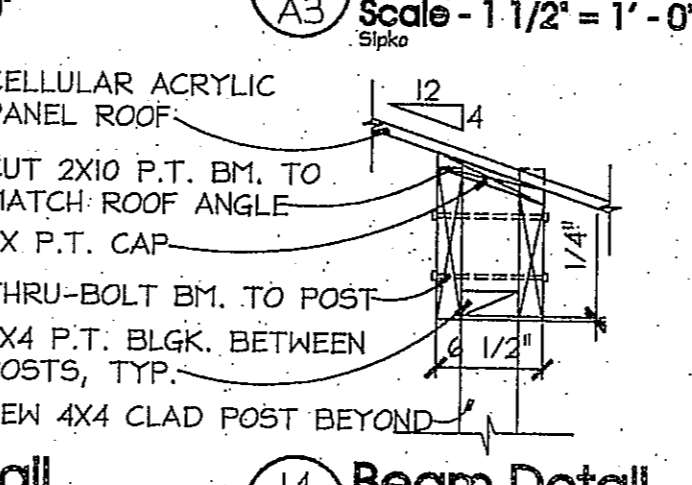
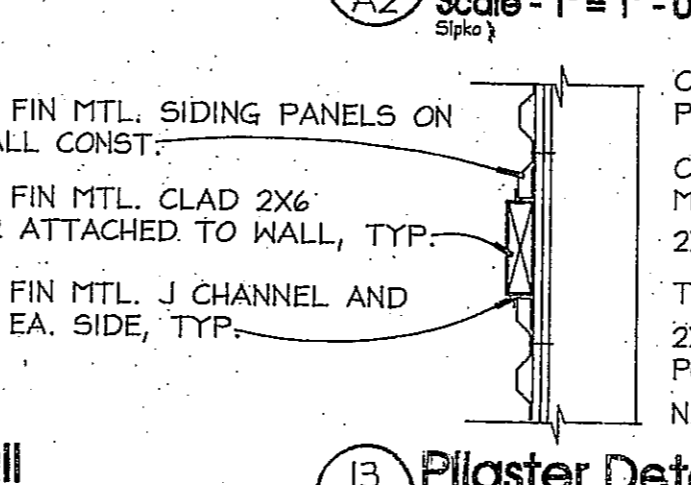
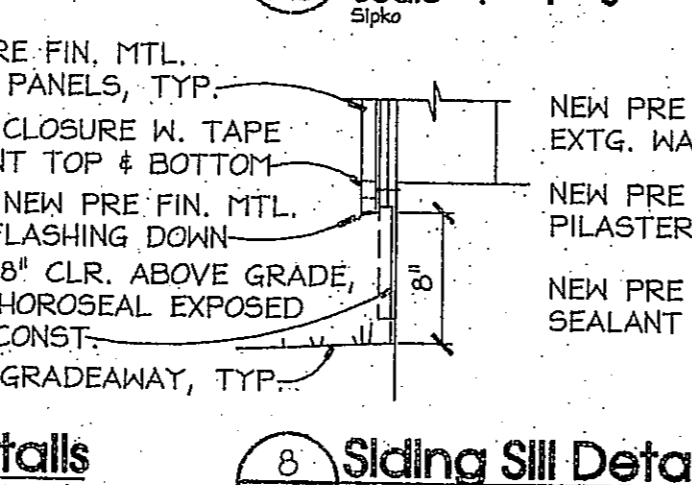
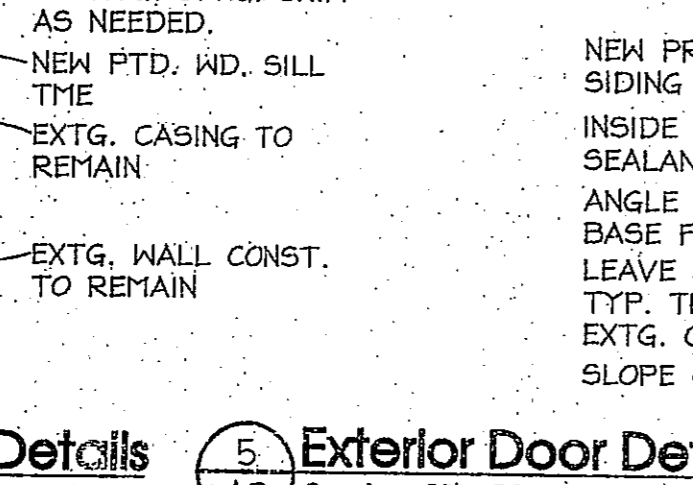
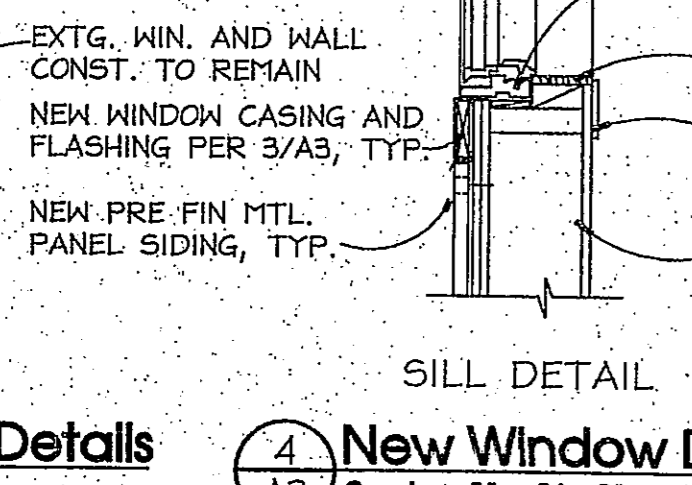
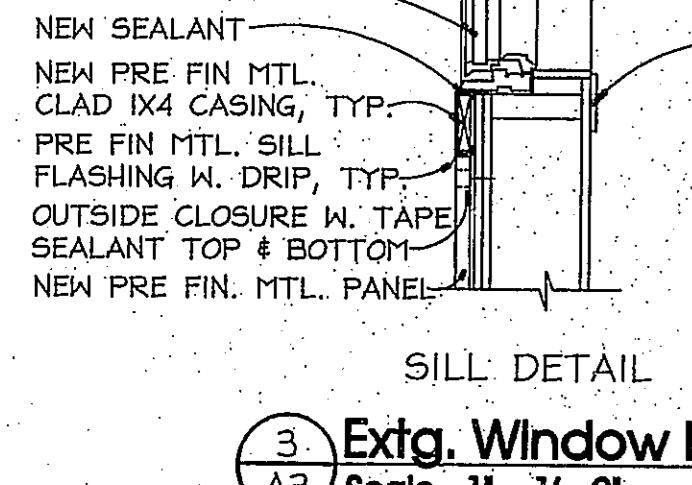
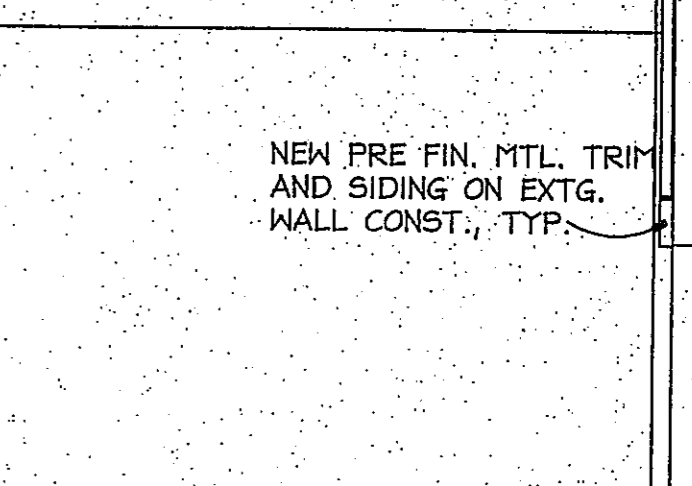
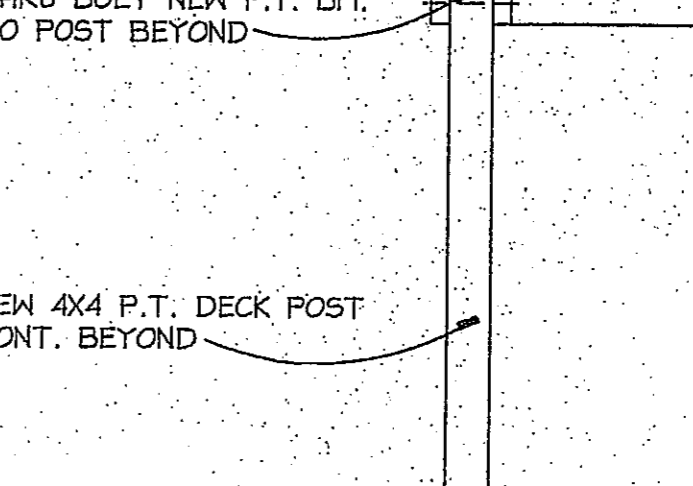
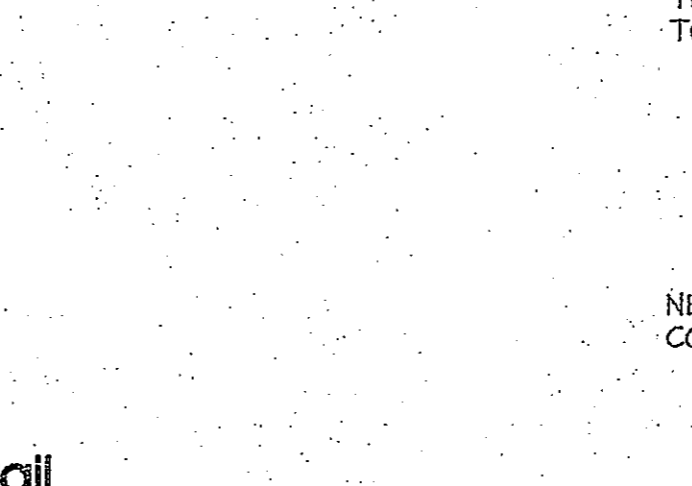
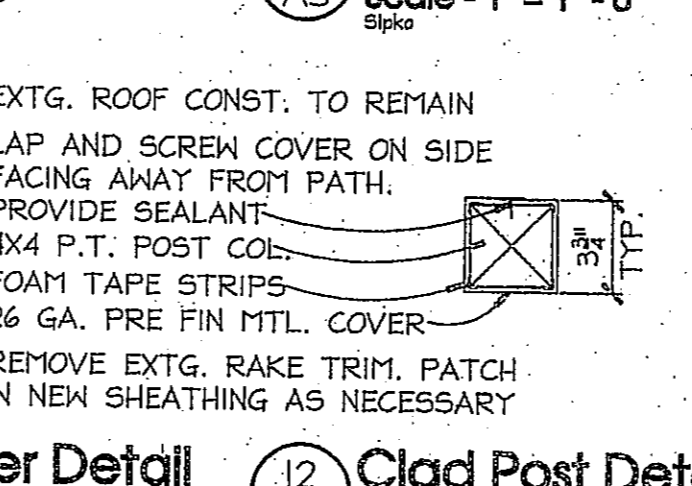
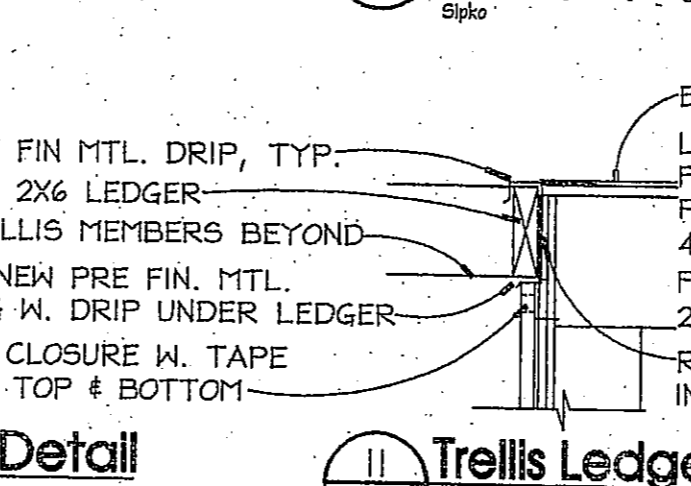
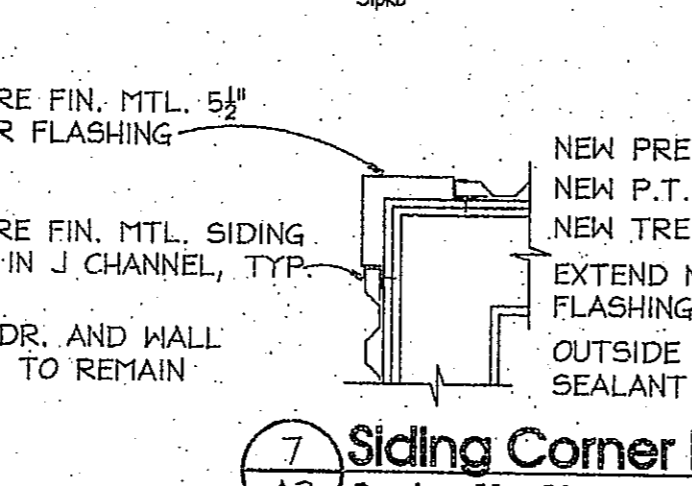
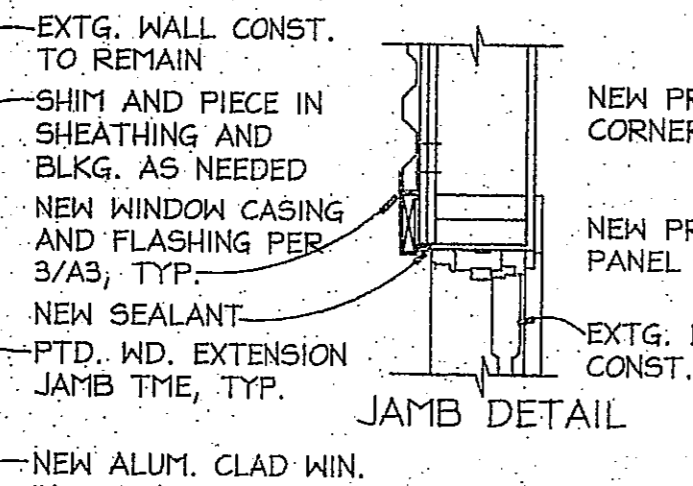
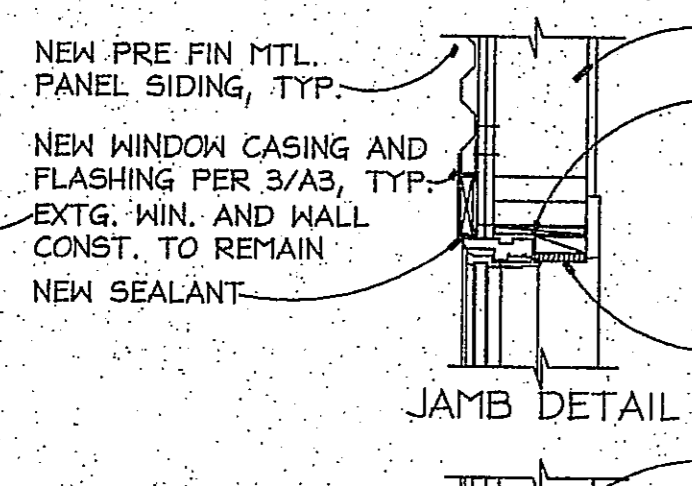
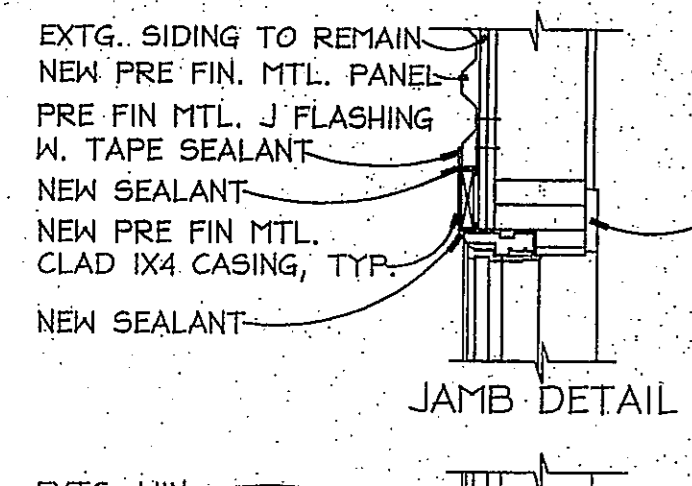
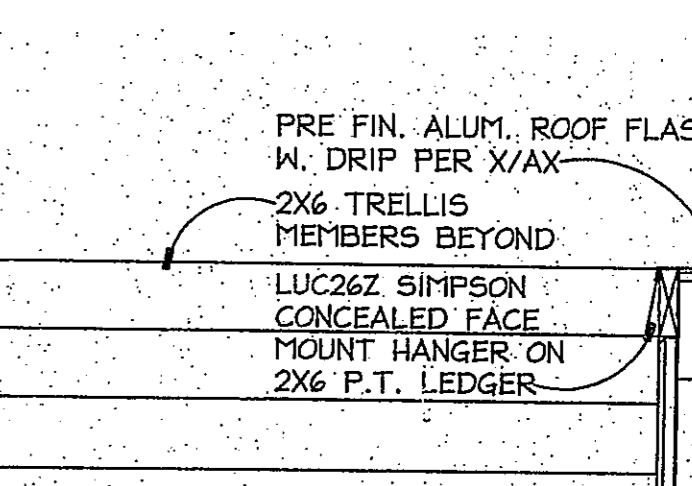
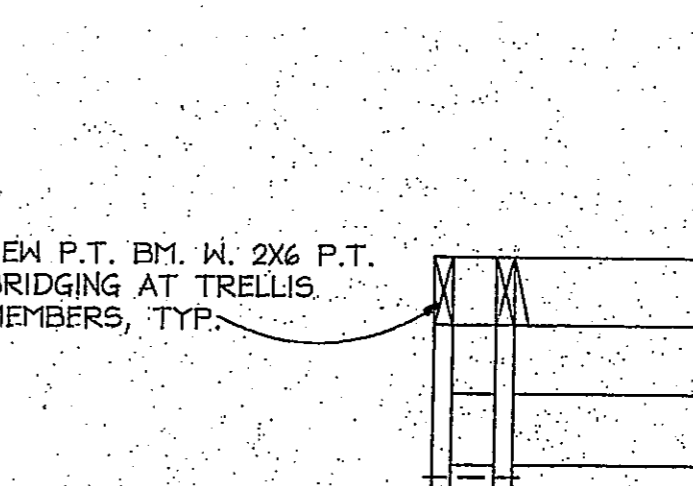
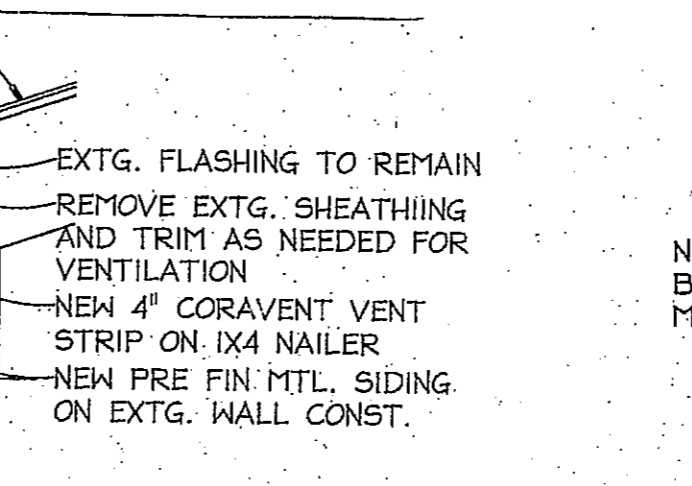
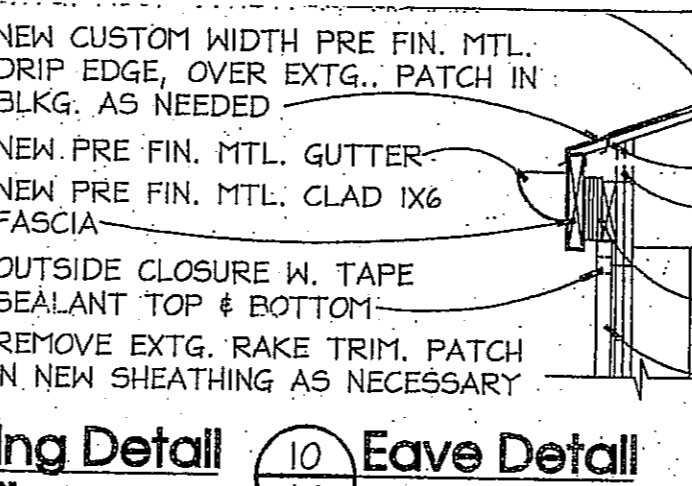
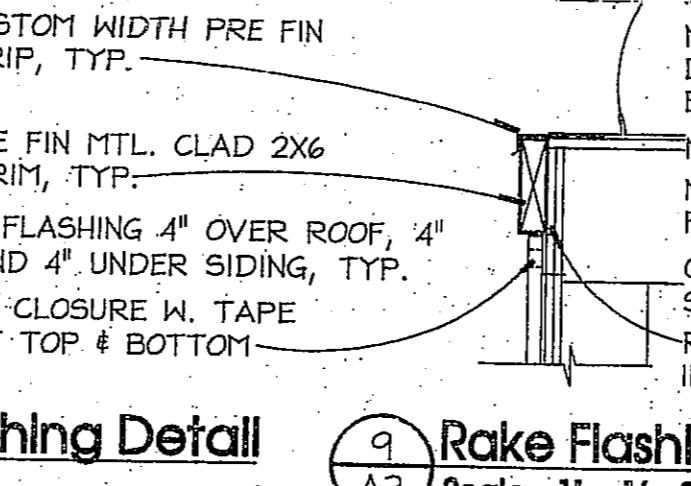
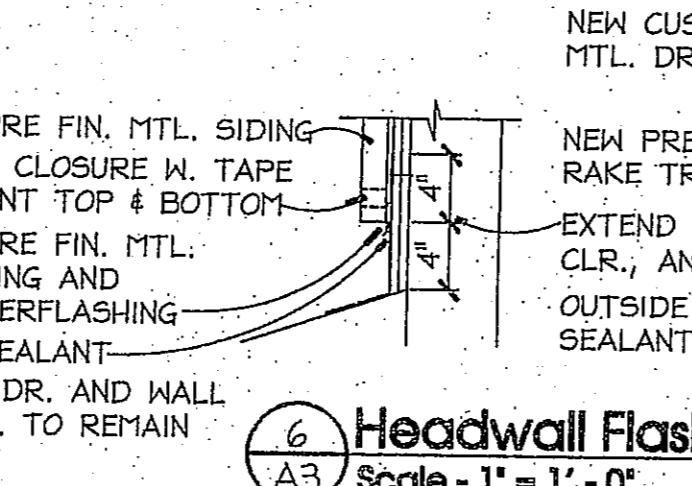
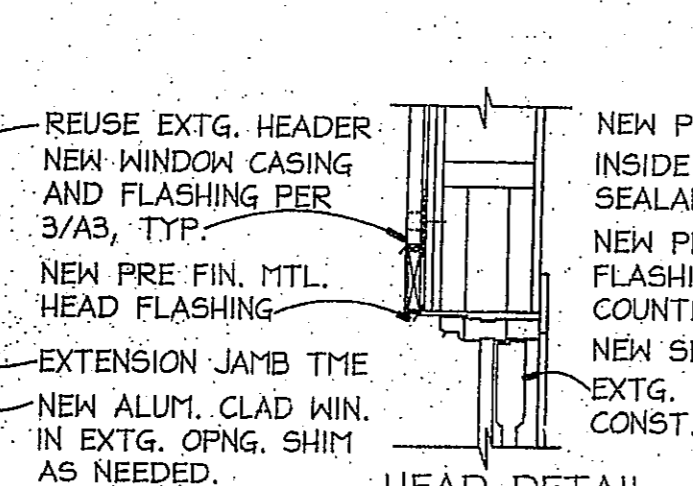
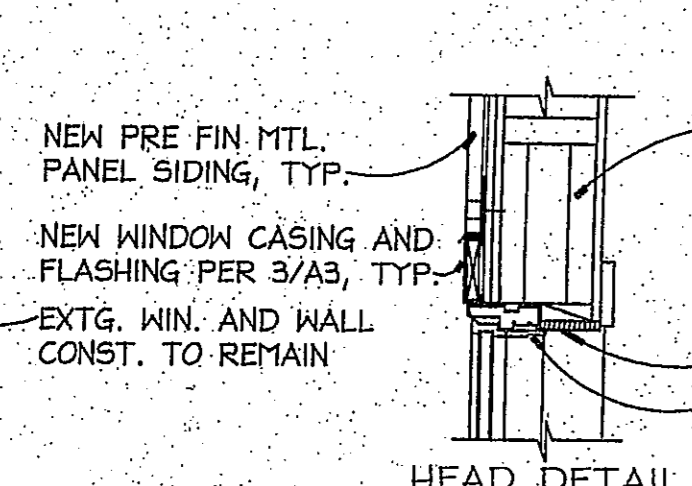
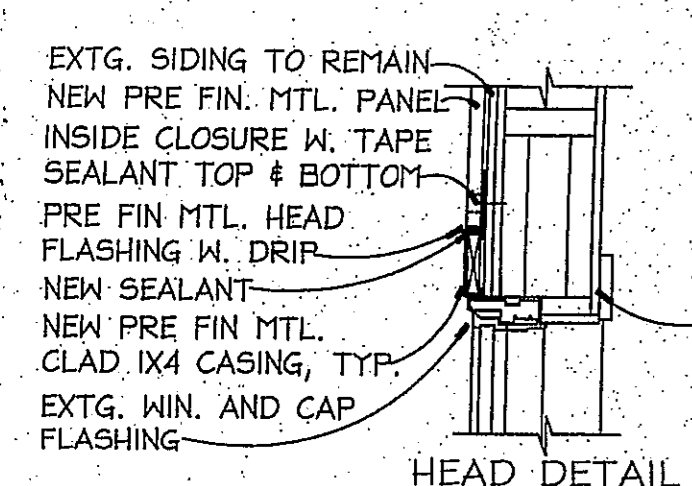


4 Entry Elevation
A2 SCALE - 1/4" = 1' - 0"

DANGEROUS ARCHITECTS, PC
 1041 south main street
 Chelsea, MI 48118
 734.763.6000 (toll free)
 WWW.DANGEROUSARCHITECTS.COM
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PROJECT
**EXTERIOR RENOVATIONS
 PRESUTTI/SIPKO RESIDENCE
 2712 SCOTTWOOD**
 Brighton, Michigan

REVIS: N
 DATE: 10.13.10
 PROJECT NUMBER: SIPKO
 FILE NUMBER:
 SHEET NUMBER: **A2**



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 WWW.DANGEROUS-ARCHITECTS.COM
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CONSULTANTS

PROJECT
 EXTERIOR RENOVATIONS
 PRESUTTI/SIPKO RESIDENCE
 2712 SCOTWOOD
 Brighton, Michigan

REVISION	DATE	PROJECT NUMBER	FILE NUMBER
	10.13.10	SIPKO	

SHEET NUMBER

A3



Charter Township of Genoa
ZONING BOARD OF APPEALS
MAY 15th, 2012
CASE #12-11

PROPERTY LOCATION: 4582 Filbert

PETITIONER: Dennis Dahlmann

ZONING: MUPUD (Mixed Use Planned Unit Development)

WELL AND SEPTIC INFO: Water and sewer

PETITIONERS REQUEST: Requesting a side yard variance to allow for a new home.

CODE REFERENCE: Oak Pointe Hills PUD

STAFF COMMENTS: Petitioner is seeking a variance for a recently constructed home. Due to an error during the original siting of the home on the lot, the home was constructed slightly too close to the side yard line.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	40	10	10	50	35	N/A
Setbacks Requested		9				
Variance Amount		1				

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116

(810) 227-5225 FAX (810) 227-3420

Case # 12-11

Meeting Date: 5-15-12

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: DENNIS DALLMANN

Property Address: 4582 Filbert Phone: 586-484-2063 cell

Present Zoning: Residential MUPUD Tax Code: 11-27-302-061

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Side set back

2. Intended property modifications: _____

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) LAND Drops off 20+ feet on West Side

b. Other (explain) _____

Variance Application Requires the Following:

- **Site Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: You need 5 copies of any drawings larger than 11x17 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: April 24, 2012

Signature: [Signature]

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
April 17th, 2012
6:30 P.M.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Barbara Figurski, Steve Wildman and Jeff Dhaenens. Also present was Township staff member Adam VanTassell and 6 persons in the audience.

Moved by Figurski, supported by Wildman, to approve the agenda. **Motion carried unanimously.**

A call to the public was made with no response.

12-03...A request by Christine Reum, Section 11, 1856 Hughes Road, for a size variance and a side and front yard variance to construct an addition to an existing non-conforming structure and to construct a new detached accessory structure.

Christine Reum – new proposed construction no longer is being made, petition is now only for the addition to the existing non-conforming addition.

A call to the public was made with no response.

Moved by Wildman, Supported by Figurski, to deny Case #12-03. The finding of fact is the petition does not meet all the requirements of Section 23.05.03, the structure was built on to another property, the building was nonconforming as well as the reasons set forth by the Township Attorney in his 2/29/2012 letter. Staff is directed to work with the petitioner on removing the structure immediately. **Motion carried unanimously.**

12-06...A request by Lance Newberry, Sec 30, 2929 Coon Lake Road, for a side yard variance to construct an addition to a detached accessory structure.

Scott Parisian, contractor for Mr. Newberry and acting on his behalf.

A call to the public was made with no response.

Moved by Wildman, Supported by Figurski, to deny Case #12-06. The finding of fact is the petition does not meet all the requirements of Section 23.05.03 and that there is available property to build a conforming addition. **Motion carried unanimously.**

12-07...A request by Krug Ford, Sec 6, 2798 E. Grand River, for a sign variance to install a new sign on an existing nonconforming pole.

Kevin Deters, from Metro Detroit Signs, 23554 Hoover Michigan, on behalf of Krug Ford.

A call to the public was made with no response.

Moved by Figurski, Supported by McCreary, to deny Case #12-07. The finding of fact is the petition does not meet all the requirements of Section 23.05.03, that per the ZBA decision of 8/20/2002 the sign was to be removed when it was no longer a Lincoln Mercury franchise as part of the variance at that time. **Motion carried as follows: Ayes – Dhaenens, Figurski, McCreary. Nays – Wildman.**

12-08...A request by Joseph Hobmeier, Section 21, 4790 Stillmeadow, for a size variance to construct a pergola.

Mr. and Mrs. Hobmeier were in attendance, representing themselves.

Joe Denatti – Association President. Stated association had approved the construction and was in favor of the petition.

Moved by McCreary, supported by Wildman. The finding of fact is that it meets all the requirements of Section 23.05.03 and the location of the structure on the lot and its exposure to the elements. **Motion carried unanimously.**

Moved by Figurski, supported McCreary to the approve the March 2012 Zoning Board of Appeals minutes with the corrections. **Motion carried unanimously.**

Moved by Figurski, supported by McCreary to adjourn the Zoning Board of Appeals meeting at 7:28 p.m. **Motion carried unanimously.**